

**GENERAL NOTES**

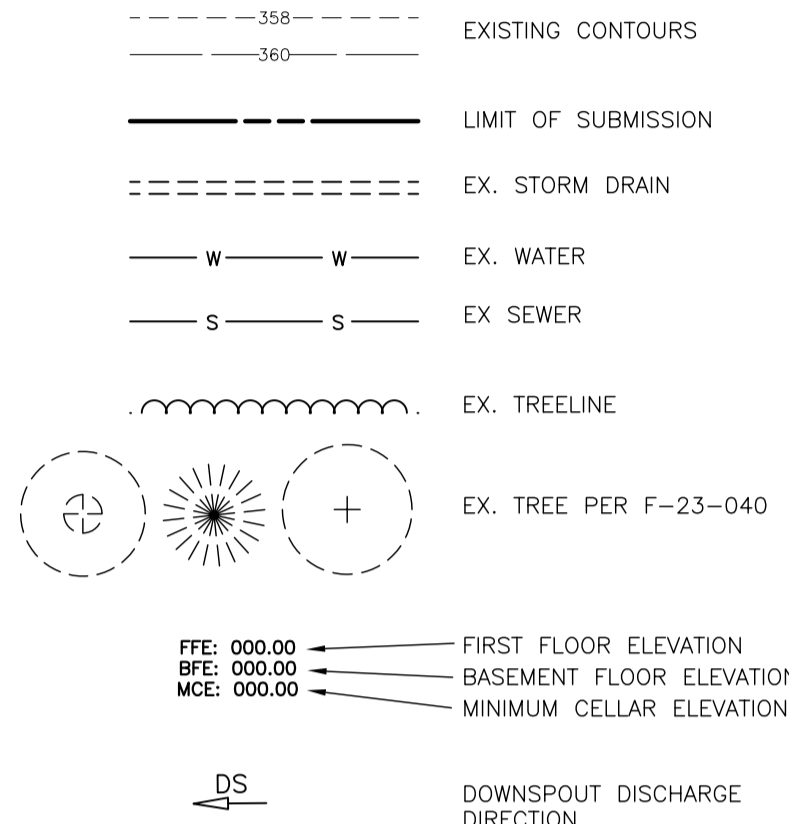
- SUBJECT PROPERTY IS ZONED R-SC PER THE OCTOBER 6, 2013 COMPREHENSIVE ZONING PLAN.
- THIS PROJECT IS SUBJECT TO THE AMENDED FIFTH EDITION OF THE SUBDIVISION AND LAND DEVELOPMENT REGULATIONS.
- THE PROJECT BOUNDARY IS BASED ON FIELD RUN SURVEY BY BENCHMARK ENGINEERING, INC, DECEMBER, 2022 AND RECORD PLAT #26380.
- EXISTING TOPOGRAPHY SHOWN IS BASED ON F-23-040.
- EXISTING UTILITIES ARE BASED ON DESIGN PLANS AND AS-BUILTS.
- THE COORDINATES SHOWN HEREON ARE BASED UPON THE HOWARD COUNTY GEODETIC CONTROL WHICH IS BASED UPON THE MARYLAND STATE PLANE COORDINATE SYSTEM AS ESTABLISHED FROM GPS OBSERVATION. MONUMENTS "TRAV.1" & "TRAV.2" WERE USED FOR THIS PROJECT.
- A NOISE STUDY IS NOT REQUIRED FOR THIS PROJECT AS IT DOES NOT MEET ANY OF THE REQUIREMENTS FOR A NOISE STUDY AS DEFINED IN SECTION 5.2.G.2 OF THE HOWARD COUNTY DESIGN MANUAL, VOLUME III.
- PER CB 1-2018 THE REQUIREMENT FOR A TRAFFIC IMPACT STUDY BEGINS AT 5 PEAK HOUR TRIPS. AN AFFIDAVIT VERIFYING THIS PROJECT GENERATES LESS THAN 5 PEAK HOUR TRIPS DATED APRIL 15, 2023, AND A SPEED STUDY AND A MULTIMODAL ANALYSIS DATED 12-11-22 WERE PREPARED BY MARS GROUP.
- THE ENVIRONMENTAL FINDINGS LETTER WAS PREPARED BY ECO-SCIENCE PROFESSIONALS, INC. NOVEMBER 2022.
- THERE ARE NO WETLANDS, STREAMS, THEIR BUFFERS, 100-YEAR FLOODPLAIN, OR 25% OR GREATER STEEP SLOPES LOCATED ON THESE LOTS
- THIS SITE IS WITHIN THE METROPOLITAN DISTRICT. PUBLIC WATER WILL CONNECT TO EX. CONTRACT 24-0833-D. PUBLIC SEWER WILL CONNECT TO EXISTING CONTRACT 34-1410-D. DRAINAGE IS LITTLE PATUXENT WRP.
- PREVIOUS DPZ FILE FOR THIS SITE IS: ECP-23-024, F-23-040
- TO THE BEST OF OUR KNOWLEDGE AND INFORMATION THERE ARE NO HISTORIC STRUCTURES OR CEMETERIES LOCATED ON THIS SITE.
- THE PROJECT IS IN CONFORMANCE WITH THE LATEST HOWARD COUNTY STANDARDS UNLESS WAIVERS HAVE BEEN APPROVED.
- FOREST CONSERVATION FOR THESE LOTS WAS PREVIOUSLY PROVIDED UNDER F-23-040.
- THE COMMUNITY MEETING WAS HELD ON FEBRUARY 23, 2023 AT THE SAVAGE BRANCH OF THE HOWARD COUNTY PUBLIC LIBRARY.
- FOR FLAG OR PIPESTEM LOTS, REFUSE COLLECTION, SNOW REMOVAL AND ROAD MAINTENANCE ARE PROVIDED TO THE JUNCTION OF THE FLAG OR PIPESTEM AND THE ROAD RIGHT-OF-WAY ONLY AND NOT UPON THE FLAG OR PIPESTEM LOT DRIVEWAY.
- DRIVEWAYS SHALL BE PROVIDED PRIOR TO ISSUANCE OF A USE AND OCCUPANCY PERMIT FOR ANY NEW DWELLINGS TO INSURE SAFE ACCESS FOR FIRE AND EMERGENCY VEHICLES PER THE FOLLOWING MINIMUM REQUIREMENTS:
  - WIDTH - 12' (16' SERVING MORE THAN ONE RESIDENCE).
  - SURFACE - 6" OF COMPACT CRUSHER RUN BASE WITH 1-1/2" MIN. TAR & CHIP COATING.
  - GEOMETRY - MAX. 15% GRADE, MAX. 10% GRADE CHANGE & MIN. 45' TURNING RADIUS.
  - STRUCTURES/CULVERTS/BRIDGES - CAPABLE OF SUPPORTING 25 GROSS TONS (H25 LOAD)
  - DRAINAGE ELEMENTS - CAPABLE OF SAFELY PASSING 100 YEAR FLOODPLAIN WITH NO MORE THAN 1 FOOT DEPTH OVER DRIVEWAY.
  - MAINTENANCE - SUFFICIENT TO ENSURE ALL WEATHER USE.
  - STRUCTURE CLEARANCE - MINIMUM 12 FEET
- THIS DEVELOPMENT IS DESIGNED TO BE IN ACCORDANCE WITH SECTION 16.127 - RESIDENTIAL INFILL DEVELOPMENT - OF THE SUBDIVISION AND LAND DEVELOPMENT REGULATIONS. THIS PROJECT IS COMPATIBLE WITH THE ADJACENT RESIDENTIAL NEIGHBORHOOD OF CONSISTING OF THE SAME UNIT TYPES (SFD). THIS PROJECT IS INTEGRATED WITH THE SURROUNDING RESIDENTIAL DEVELOPMENT BY INTERCONNECTING SIDEWALKS, LOTS, BUILDINGS, & SITE IMPROVEMENTS ARE CONFIGURED TO PROVIDE PRIVACY BY THE LOCATION OF THE NON-CREDITED OPEN SPACE, ORIENTATION OF THE HOUSES AND PERIMETER LANDSCAPING.
- THIS PROJECT IS SUBJECT TO THE AMENDED FIFTH EDITION OF THE SUBDIVISION AND LAND DEVELOPMENT REGULATIONS PER COUNCIL BILL 45-2003 AND THE ZONING REGULATIONS, AS AMENDED BY COUNCIL BILL 75-2003. DEVELOPMENT OR CONSTRUCTION ON THESE LOTS MUST COMPLY WITH SETBACK AND BUFFER REGULATIONS IN EFFECT AT THE TIME OF SUBMISSION OF THE SITE DEVELOPMENT PLAN, WAIVER PETITION APPLICATION, OR BUILDING/GRADING PERMIT.
- PERIMETER LANDSCAPING FOR LOTS 2 THRU 4 WAS PROVIDED UNDER F-23-040. FINANCIAL SURETY WAS INCLUDED IN THAT PLANS DEVELOPER AGREEMENT
- THIS PROJECT IS SUBJECT TO SECTION 13.402 OF THE COUNTY CODE FOR MODERATE INCOME HOUSING UNITS (MIHU), PER SECTION 13.402C.E., THIS REQUIREMENT SHALL BE MET BY A FEE-IN-LIEU PAYMENT THAT IS TO BE CALCULATED AND PAID TO THE DEPARTMENT OF INSPECTIONS LICENSES AND PERMITS AT THE TIME OF BUILDING PERMIT ISSUANCE.
- STORMWATER MANAGEMENT ENVIRONMENTAL SITE DESIGN (ESD) WAS PROVIDED IN ACCORDANCE WITH THE "MARYLAND DEPARTMENT OF THE ENVIRONMENT STORMWATER MANAGEMENT ACT OF 2007" AND THE "HOWARD COUNTY DESIGN MANUAL VOLUME 1, CHAPTER 5" TO THE MAXIMUM EXTENT PRACTICAL. STORMWATER MANAGEMENT IS PROVIDED BY ONE (M-6) MICRO-BIORETENTION PRACTICE. THE FACILITY IS PRIVATELY OWNED AND PRIVATELY MAINTAINED BY THE HOMEOWNERS ASSOCIATION. THE STORMWATER MANAGEMENT REPORT WAS APPROVED ON MAY 31, 2023 UNDER F-23-040.
- THE PRIVATE USE-IN-COMMON MAINTENANCE ACCESS AGREEMENT FOR LOTS 2 THRU 3 & OPEN SPACE LOT 4 SHALL BE RECORDED SIMULTANEOUSLY WITH THE RECORDATION OF THE SUBDIVISION PLAT.
- THE ARTICLES OF INCORPORATION FOR THE HOMEOWNERS ASSOCIATION HAVE BEEN ACCEPTED BY THE STATE DEPARTMENT OF ASSESSMENTS AND TAXATION, FEB 22, 2023; ID #023687452. THE HOMEOWNER'S DECLARATION OF COVENANTS AND RESTRICTIONS WILL BE RECORDED WITH THE PLAT.
- THE CONTRACTOR SHALL NOTIFY THE DEPARTMENT OF PUBLIC WORKS, BUREAU OF ENGINEERING, CONSTRUCTION INSPECTION DIVISION AT (410)-313-1880 AT LEAST FIVE (5) WORKING DAYS PRIOR TO THE START OF WORK.
- THE CONTRACTOR SHALL NOTIFY "MISS UTILITY" AT 1-800-257-7777 AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION WORK BEING DONE.
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF HOWARD COUNTY PLUS MSHA STANDARDS AND SPECIFICATIONS IF APPLICABLE.
- PUBLIC WATER AND SEWERAGE ALLOCATIONS WILL BE GRANTED AT TIME OF ISSUANCE OF BUILDING PERMITS IF CAPACITY IS AVAILABLE AT THAT TIME. WATER AND SEWER SERVICE TO THESE LOTS WILL BE GRANTED UNDER THE PROVISIONS OF SECTION 18.122.B OF THE HOWARD COUNTY CODE.
- IN ACCORDANCE WITH SECTION 128 OF THE HOWARD COUNTY ZONING REGULATIONS, BAY WINDOWS, WINDOW WELLS, ORIELS, VESTIBULES, BALCONIES AND CHIMNEYS MAY ENCRUCH 4 FEET INTO ANY SETBACK OR REQUIRED DISTANCE BETWEEN BUILDINGS PROVIDED THE FEATURE HAS A MAXIMUM WIDTH OF 16 FEET. EXTERIOR STAIRWAYS OR RAMPS, ABOVE OR BELOW GROUND LEVEL (EXCLUDING THOSE ATTACHED TO A PORCH OR DECK) MAY ENCRUCH TO FEET INTO A FRONT SETBACK OR A SETBACK FROM A PROJECT BOUNDARY, 16 FEET INTO A REAR SETBACK, 4 FEET INTO A SIDE SETBACK OR REQUIRED DISTANCE BETWEEN BUILDINGS, OPEN OR ENCLOSED PORCHES OR DECKS AND THE STAIRWAYS OR RAMPS ATTACHED THERETO MAY ENCRUCH 10 FEET INTO A FRONT OR REAR SETBACK, SETBACK FROM A PROJECT BOUNDARY OR A REQUIRED DISTANCE BETWEEN BUILDINGS.
- ANY DAMAGE TO THE COUNTY'S RIGHT-OF-WAY SHALL BE CORRECTED AT THE DEVELOPER'S EXPENSE.
- IN ACCORDANCE WITH COUNCIL BILL 76-2018, EFFECTIVE JAN 11, 2019 AND PER SECTION 3.105(C) OF THE COUNTY CODE, ALL NEW RESIDENTIAL CONSTRUCTION THAT HAS A GARAGE, CARPORT, OR DRIVEWAY SHALL FEATURE A DEDICATED ELECTRIC LINE OF SUFFICIENT VOLTAGE SO THAT AN ELECTRIC VEHICLE CHARGING STATION MAY BE ADDED IN THE FUTURE. THIS DEDICATED LINE SHALL BE PROVIDED FOR EACH UNIT.
- A PRIVATE RANGE OF ADDRESS STREET NAME SIGN (SNS) SHALL BE INSTALLED BY THE COUNTY AS PART OF THIS DEVELOPMENT. THE DEVELOPER WILL BE RESPONSIBLE FOR PAYING FOR THIS SIGN TO BE INSTALLED. PLEASE CONTACT HOWARD COUNTY TRAFFIC (410)-313-2430) TO MAKE ARRANGEMENTS FOR PAYMENT.
- SHC ELEVATIONS SHOWN ARE LOCATED AT THE PROPERTY LINE.

# RESIDENTIAL SITE DEVELOPMENT PLAN

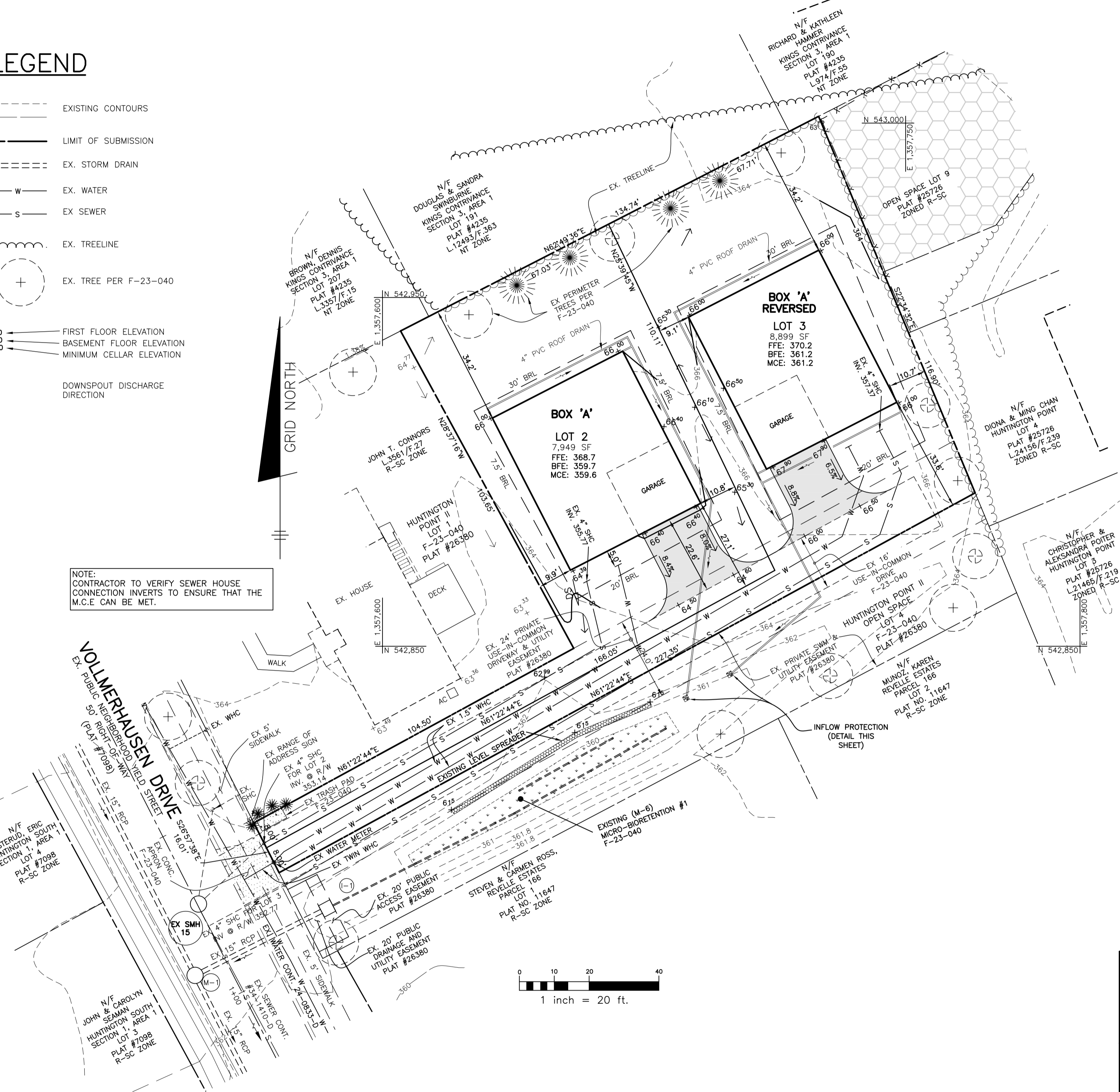
## HUNTINGTON POINT II

### LOTS 2 AND 3

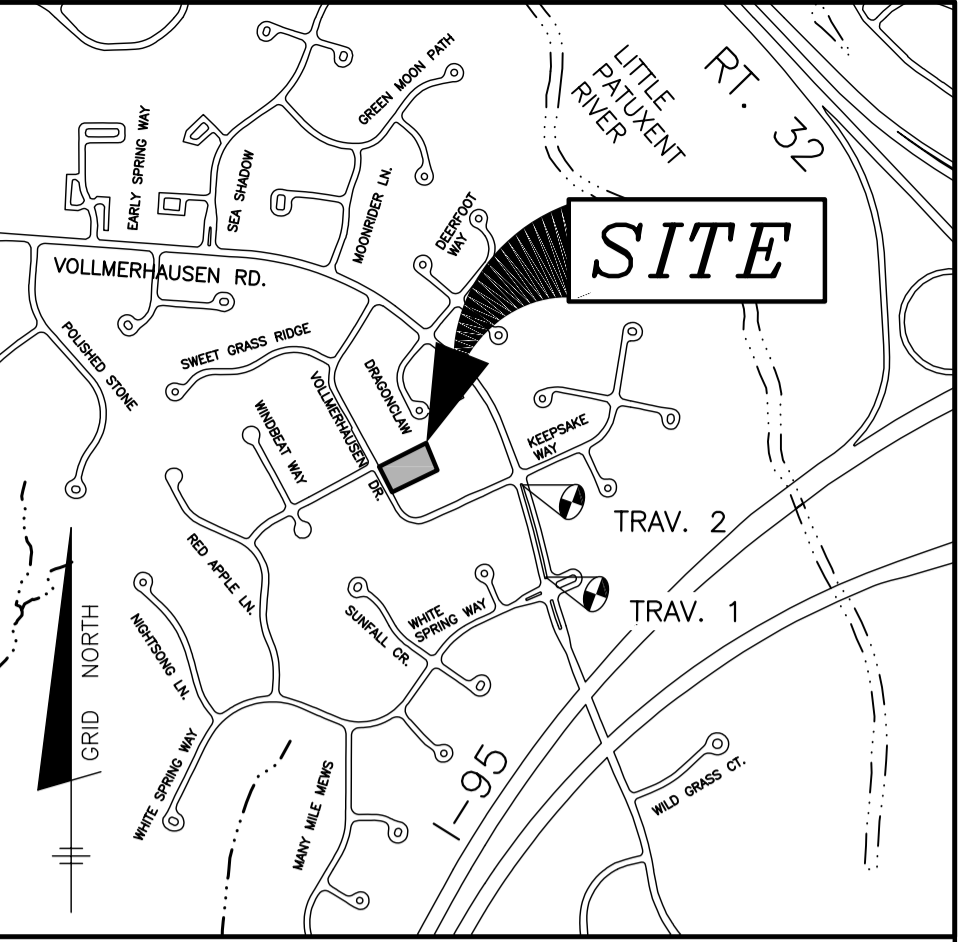
**LEGEND**



NOTE: CONTRACTOR TO VERIFY SEWER HOUSE CONNECTION INVERTS TO ENSURE THAT THE M.C.E CAN BE MET.



**BENCHMARKS\_NAD'83**  
**HORIZONTAL**  
 TRAV. 1 REBAR AND CAP N542370.1616', E1358287.1054' ELEVATION: 351.128'  
 TRAV. 2 REBAR AND CAP N542808.3770', E1358170.8510' ELEVATION: 356.641'



VICINITY MAP

SHEET INDEX	
SHEET	TITLE
1	SITE DEVELOPMENT AND GRADING PLAN
2	GENERIC BOX AND HOUSE FOOTPRINTS
3	SEDIMENT & EROSION CONTROL PLAN

ADDRESS CHART	
LOT	STREET ADDRESS
2	9468 VOLLMERHAUSEN DRIVE
3	9466 VOLLMERHAUSEN DRIVE

**SITE ANALYSIS DATA CHART**

- A.) TOTAL PROJECT AREA \_\_\_\_\_ 0.82 ACRES
- B.) AREA OF PLAN SUBMISSION \_\_\_\_\_ 0.39 ACRES
- C.) LIMIT OF DISTURBED AREA \_\_\_\_\_ 0.32 ACRES
- D.) PRESENT ZONING: \_\_\_\_\_ R-SC
- E.) PROPOSED USE OF SITE: \_\_\_\_\_ RESIDENTIAL SINGLE FAMILY DETACHED
- F.) FLOOR SPACE ON EACH LEVEL OF BLDG PER USE \_\_\_\_\_ N/A
- G.) TOTAL NUMBER OF UNITS ALLOWED AS SHOWN ON FINAL PLAT(S) \_\_\_\_\_ 2
- H.) TOTAL NUMBER OF UNITS PROPOSED \_\_\_\_\_ 2
- I.) MAXIMUM NUMBER OF EMPLOYEES, TENANTS ON SITE PER USE \_\_\_\_\_ N/A
- J.) NUMBER OF PARKING SPACES REQUIRED BY HO. CO. ZONING REGS AND/OR FDP CRITERIA \_\_\_\_\_ 2 SFD x 2.5 = 5.0 SPACES
- K.) NUMBER OF PARKING SPACES PROVIDED ONSITE (INCLUDES HANDICAPPED SPACES) \_\_\_\_\_ 8 (2 IN EACH GARAGE AND 2 IN EACH DRIVEWAY)
- L.) OPEN SPACE ON-SITE \_\_\_\_\_ N/A
- M.) AREA OF RECREATIONAL OPEN SPACE REQUIRED \_\_\_\_\_ N/A  
 AREA OF RECREATIONAL OPEN SPACE PROVIDED \_\_\_\_\_ N/A
- N.) BUILDING COVERAGE OF SITE \_\_\_\_\_ N/A  
 PERCENTAGE OF GROSS AREA (MAXIMUM ALLOWED 60%) \_\_\_\_\_ N/A
- O.) APPLICABLE DPZ FILE REFERENCES: \_\_\_\_\_ N/A

MODERATE INCOME HOUSING UNIT (MIHU) APPLICATION EXEMPTIONS TRACKING	
Total Number of Lots/Units Proposed	3
Total Number of MIHU's Required	1
Number of MIHU's Provided Onsite (Exempt from APFO allocations)	0
Number of APFO Allocations Required (Remaining Lots/Units)	2
MIHU Fee-in-Lieu (Indicate Lot/Unit numbers)	YES LOTS 2-3

F-23-040 STORMWATER MANAGEMENT SUMMARY TABLE									
Pe: 1.8 inches									
BIORETENTION FACILITIES (M-6)									
FACILITY	Drainage Area	Impenious	I (%)	Rv	ESDv (cf)	75% ESDv Ponding (cf)	Volume Stored	Volume treated (V/0.75)	Pe Treated
MB-1	27244	8886	33%	0.344	1403.9	1053.0	1094 cf	1459 cf	1.87
Rev Storage: 351 c.f. satisfied by 17.6 inches of stone below underdrain							Use 18"		

**NON-ROOFTOP DISCONNECTION (N-2)**  
 Sidewalks in Right of way will be disconnected, at 1:1 ratio, for a 1.0' treatment of 1118 sf. ESDv provided 95 cf

2'X2'X2' GABION BASKET WITH NO. 6 STONE. PLACE BOTTOM OF GABION BASKET 6" BELOW ADJACENT GRADE, AND EMBED INTO EMBANKMENT AS NEEDED TO EXTEND PIPE APPROXIMATELY 8" INTO STONES.

**INFLOW PROTECTION FOR ROOF DRAINS**

NOT TO SCALE

PERMIT INFORMATION CHART					
SUBDIVISION NAME:	SECTION/AREA:	LOT/PARCEL #			
HUNTINGTON POINT II	N/A	PARCEL 351			
PLAT No.	GRID No.	ZONE	TAX MAP NO	ELECTION DISTRICT	CENSUS TRACT
26380	22	R-SC	42	6	606804

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

*David Edmondson* 8/30/2023  
 CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

*Lynda Eubank* 9/1/2023  
 CHIEF, DIVISION OF LAND DEVELOPMENT DATE

*Lynda Eubank* 9/1/2023  
 DIRECTOR DATE

Professional Certification: I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland, License No. 33388, Expiration Date: 6-30-2025.

**BENCHMARK ENGINEERING, INC.**  
 ENGINEERS • LAND SURVEYORS • PLANNERS  
 3300 N. RIDGE ROAD • SUITE 140 • ELLICOTT CITY, MARYLAND 21043  
 (P) 410-485-8108 (F) 410-485-6644  
 WWW.BE-CIVILENGINEERING.COM

08.17.2023

OWNER: JOHN CONNORS  
 9693 GERWIG LANE SUITE L COLUMBIA, MARYLAND 21046 410-792-2565

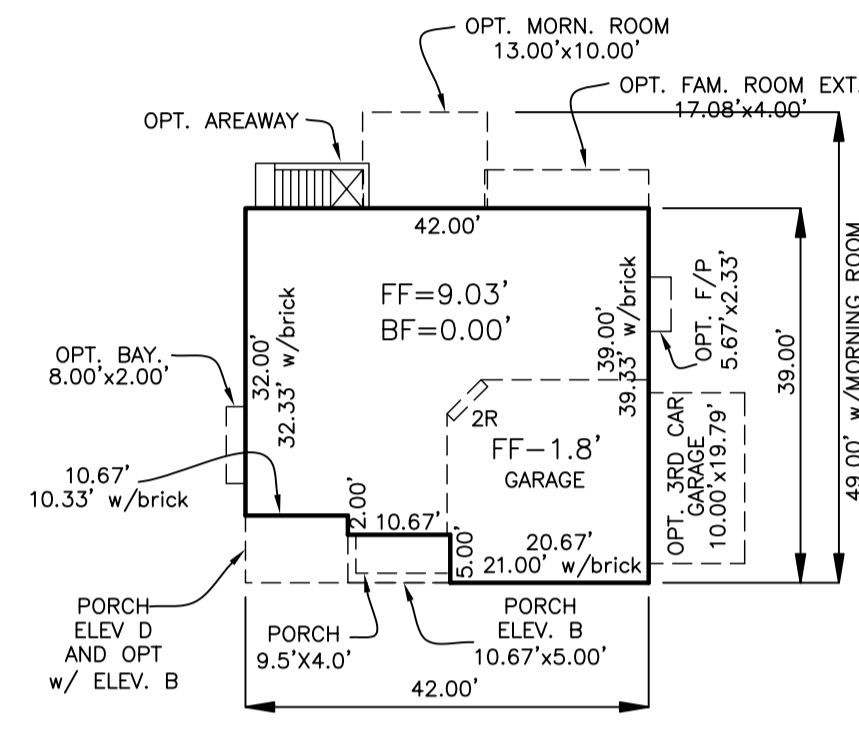
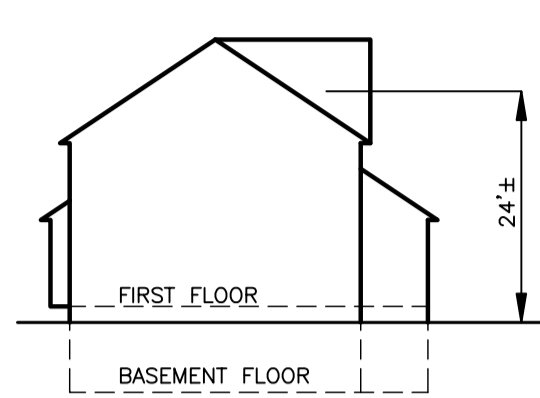
DEVELOPER: CORNERSTONE HOMES, LLC  
 9693 GERWIG LANE SUITE L COLUMBIA, MARYLAND 21046 410-792-2565

RESIDENTIAL HUNTINGTON POINT II LOTS 2 AND 3

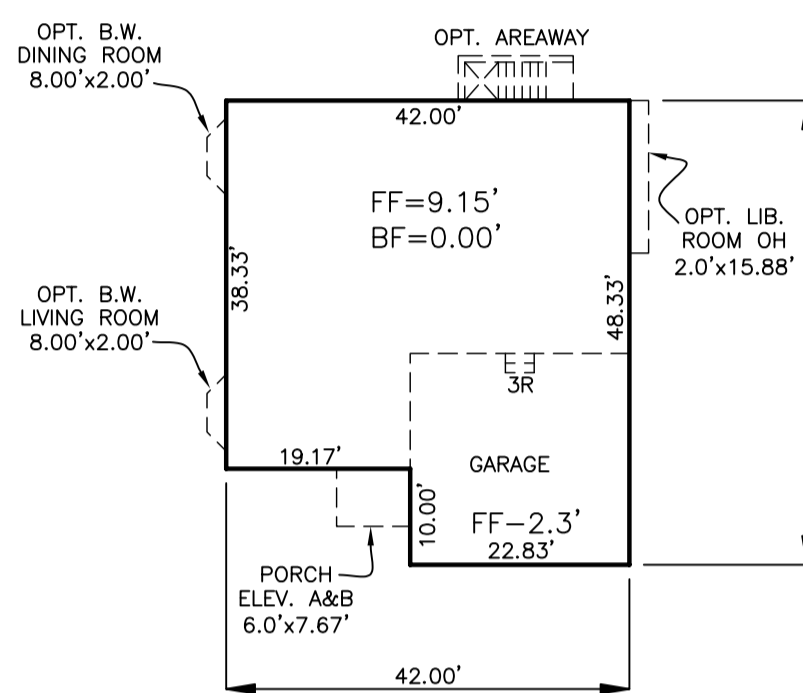
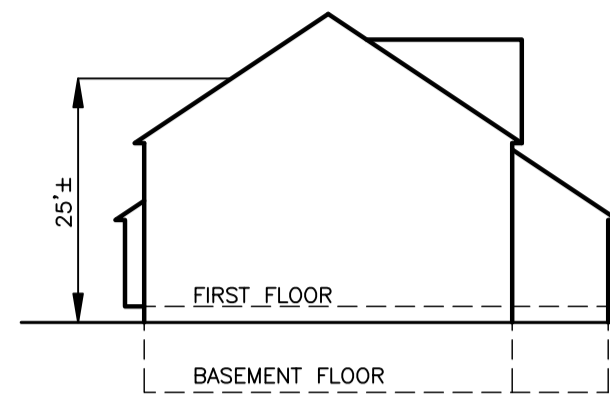
9470 VOLLMERHAUSEN DR. COLUMBIA, MARYLAND 21046  
 TAX MAP: 42 - GRID: 22 - PARCEL: 351  
 ZONED: R-SC  
 ELECTION DISTRICT NO. 6 - HOWARD COUNTY, MARYLAND

**SITE DEVELOPMENT PLAN**

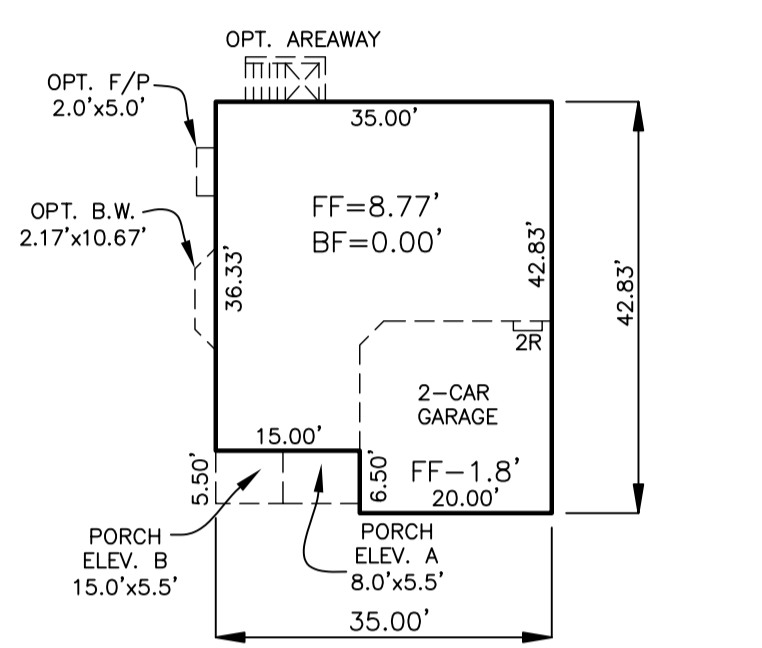
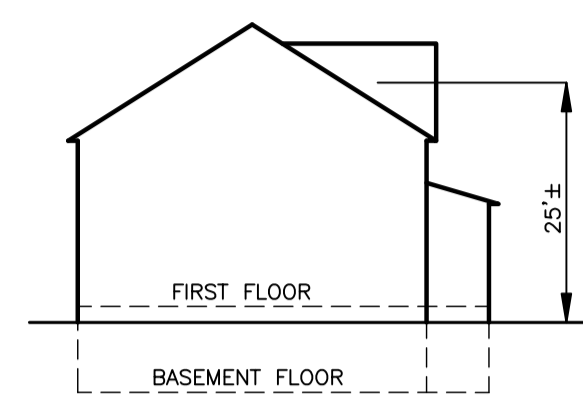
DATE: AUGUST 15, 2023 BEI PROJECT NO. 3140  
 SCALE: AS SHOWN SHEET 1 OF 3



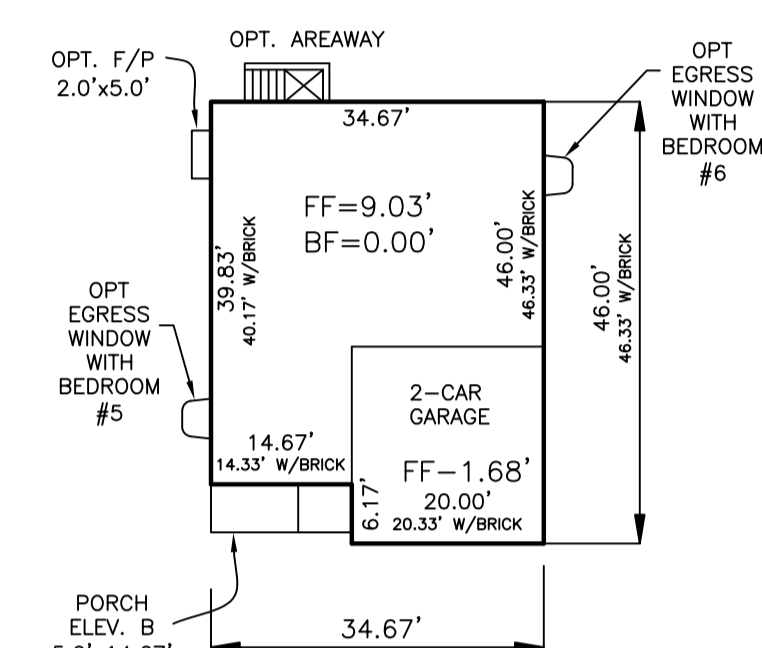
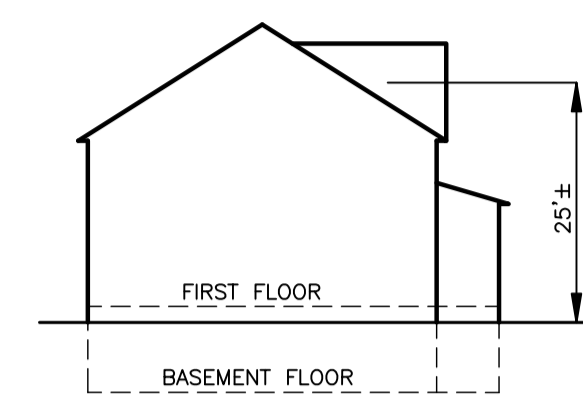
CHARTLEY



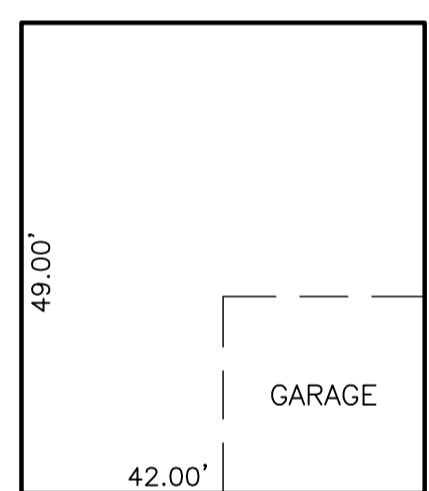
ABERDEEN



CLAREMONT

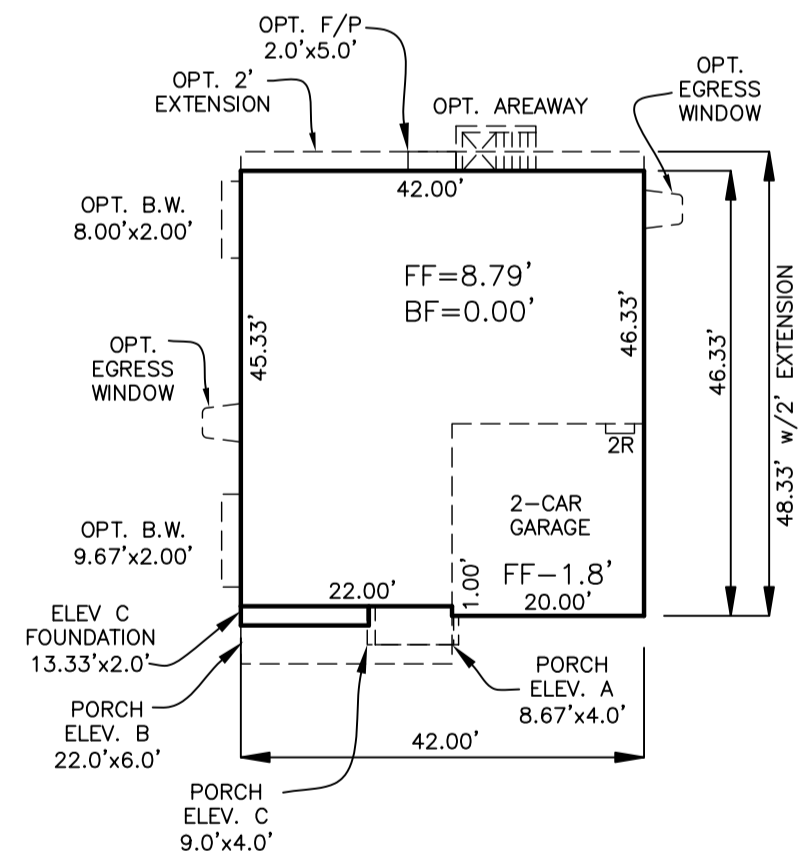
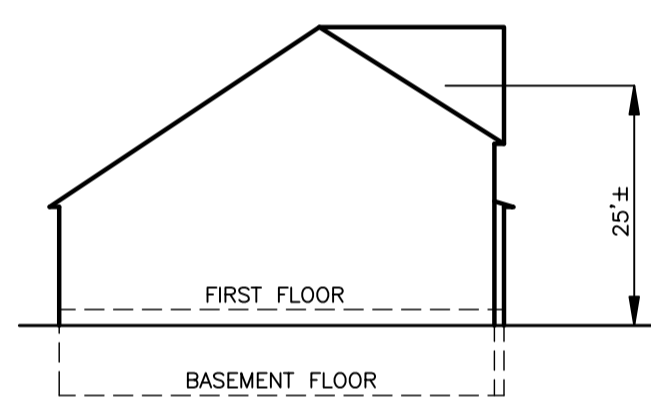


HIGHLAND

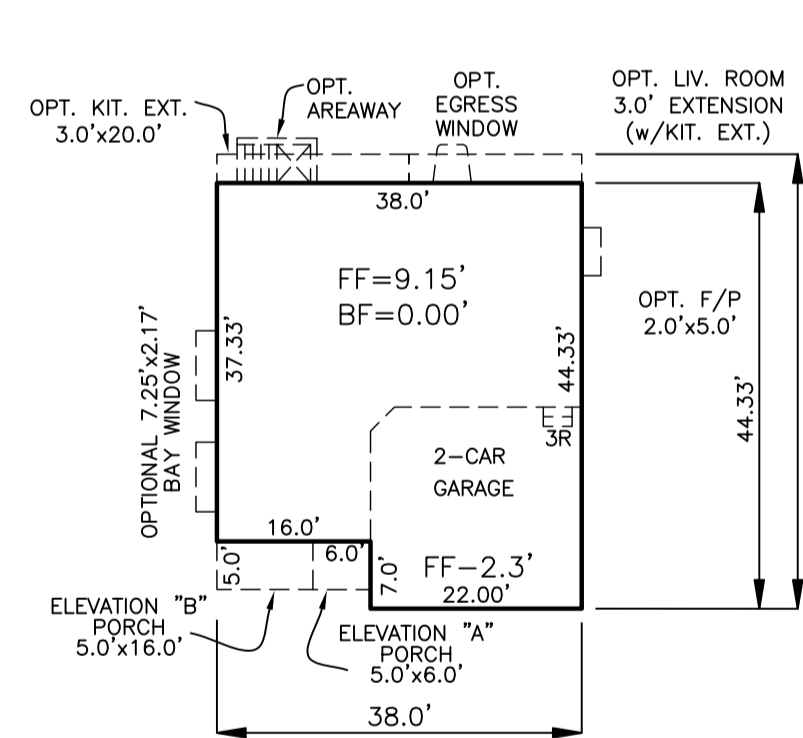
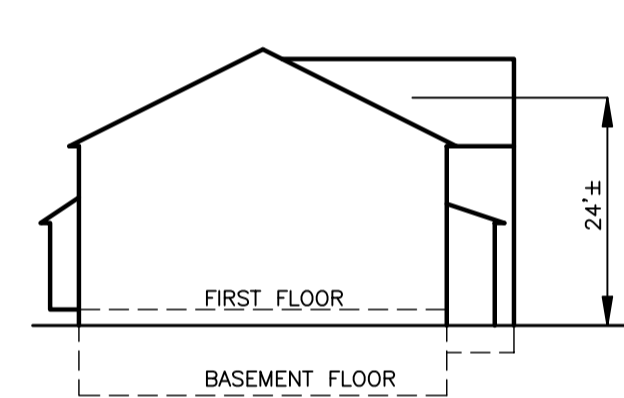


GENERIC BOX 'A'

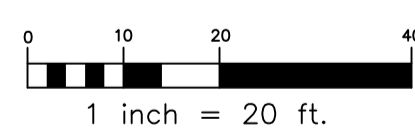
ALL HOUSE TYPES AND FOUNDATION OPTIONS SHOWN FIT WITHIN THE GENERIC BOX  
NO 3RD CAR GARAGE (CHARTLEY)



ANNAPOLIS



PARKER



SMARTfence42 MAY BE USED IN LIEU OF SUPER SILT FENCE AT THE DESCRETION OF THE CONTRACTOR

Detail - SMARTfence® 42

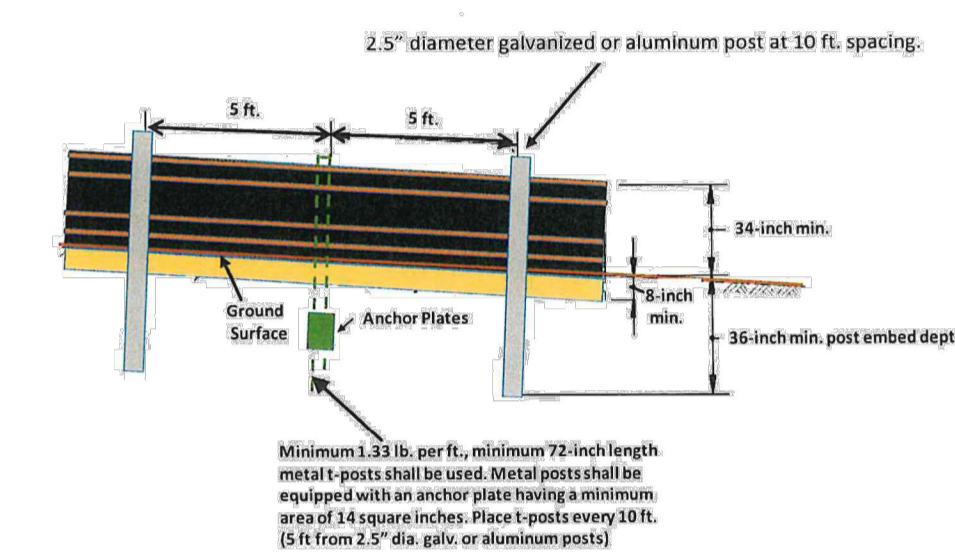


Figure 1 - Elevation

CONSTRUCTION SPECIFICATIONS

- Step 1: Excavate trench a maximum of 6 inches wide and 8 inches deep. The trench shall be hand-cleaned following excavation to remove bulky debris such as rocks, sticks, and soil clods from the trench. Drive **studded** metal T-posts with anchor plates having a minimum weight of 1.33 lb. per ft. and a minimum 72-inch length. Drive post into ground a minimum of 3 ft. depth. T-Post spacing will be 10 ft. maximum. In addition, drive 2.5" diameter galvanized or aluminum poles set at 10' maximum spacing. Poles should be installed a minimum 36" below the ground surface and extend a minimum of 33" aboveground. Alternate t-posts and poles every 5 ft. of fence length.
- Step 2: Layout SMARTfence® 42 along proposed fence line next to anchor trench. Locate one end of the SMARTfence® 42 and position near the initial post. Position SMARTfence® 42 vertically along the initial post.
- Step 3: For the initial 2.5" diameter pole, place the end of SMARTfence® 42 along the pole height and rotate the post 360 degrees, maintaining tension on the fence system. Secure the fence to the post **at all four (4) orange-colored hand locations** with minimum 10-inch long nylon ties.
- Step 4: For fastening SMARTfence® 42 to metal T-posts and 2.5" poles, use the following method:  
Minimum 10-inch nylon heavy-duty, UV-stabilized cable ties (zip-ties) with minimum 120-pound tensile strength. Puncture two 0.25-inch openings, spaced at a width apart that is roughly equivalent to the post width/pole diameter, and secure the fence to the post/pole. Tighten ties against the post/pole.
- Step 5: Drive the initial post/pole with the attached fence into the ground to 3-ft. depth.
- Step 6: Drive the all remaining interior posts and poles of the fence system into the ground at least 3 ft., with the exception of the last pole along the fence length.
- Step 7: Move to the next post/pole location while pulling SMARTfence® 42 **tightly**. Position the SMARTfence® 42 in front of the adjacent post/pole in preparation for fastening the fence to the post/pole. Fasten fence to post/pole **at all four (4) orange-colored hand locations** as instructed in Step 4.
- Step 8: After the interior posts have been fastened to the SMARTfence® 42, secure the fence to the final 2.5" diameter pole by **pulling the final section of fencing taut**, then rotating the post 360 degrees, maintaining tension on the fence system. Secure the fence to the post **at all four (4) orange-colored hand locations** with the nylon ties per Step 4. Drive the final post into the ground to 3-ft. depth.
- Step 9: Place the bottom 8 inches of fabric into the trench. Backfill trench (coverfill) with soil placed around fabric. Compact soil backfill with either manual tamping (or other manual means) or via mechanical equipment such as the front wheel of a tractor, skid steer, roller, or other device (per Note 5 of ASTM D 6462, *Standard Practice for Silt Fence Installation*). Do not damage the fabric during compaction (damaged fabric shall be replaced).

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING	
DocuSigned by: <i>CHAD Edmondson</i>	8/30/2023
CHIEF, DEVELOPMENT ENGINEERING DIVISION	DATE
DocuSigned by: <i>[Signature]</i>	9/1/2023
CHIEF, DIVISION OF LAND DEVELOPMENT	DATE
DocuSigned by: <i>Linda Eversberg</i>	9/1/2023
DIRECTOR	DATE

NO.		DATE		REVISION	
3300 N. RIDGE ROAD • SUITE 140 • ELLICOTT CITY, MARYLAND 21043 (P) 410-485-8105 (F) 410-485-6644 WWW.BE-CIVILENGINEERING.COM					
Professional Certification: I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland, License No. 22390, expiring 06/30/2025.					
08.17.2023					
OWNER:			RESIDENTIAL		
JOHN CONNORS 9693 GERWIG LANE SUITE L COLUMBIA, MARYLAND 21046 410-792-2565			HUNTINGTON POINT II LOTS 2 AND 3		
DEVELOPER:			9470 VOLLMEHHAUSEN DR. COLUMBIA, MARYLAND 21046 TAX MAP: 42 - GRID: 22 - PARCEL: 351 ZONED: R-SC ELECTION DISTRICT NO: 6 - HOWARD COUNTY, MARYLAND		
CORNERSTONE HOMES, LLC 9693 GERWIG LANE SUITE L COLUMBIA, MARYLAND 21046 410-792-2565			GENERIC BOX AND HOUSE FOOTPRINTS		
DATE: AUGUST 15, 2023		BEI PROJECT NO: 3140			
DES: AAM/DBT		CHECK: CAM		SCALE: AS SHOWN	
				SHEET 2 OF 3	

Table with 2 columns: Section (B.4.1, B.4.2, B.4.3, B.4.4), Title (Standards and Specifications), and Content (Detailed text for each section regarding soil stabilization, application, and maintenance).

Table with 2 columns: Section (B.4.1, B.4.2, B.4.3, B.4.4), Title (Standards and Specifications), and Content (Detailed text for each section regarding soil stabilization, application, and maintenance).

Table with 2 columns: Section (B.4.1, B.4.2, B.4.3, B.4.4), Title (Standards and Specifications), and Content (Detailed text for each section regarding soil stabilization, application, and maintenance).

DESIGN CERTIFICATION section containing signatures and dates for Christopher A. Malagari (2023-08-17) and Justin Boy (2023-08-17), along with project details and approval stamps.

Table with 2 columns: Section (B.4.1, B.4.2, B.4.3, B.4.4), Title (Standards and Specifications), and Content (Detailed text for each section regarding soil stabilization, application, and maintenance).

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SOILS LEGEND section including a table of soil types and their symbols, and detailed cross-section diagrams of the SUPER SILT FENCE and STABILIZED CONSTRUCTION ENTRANCE.

Table with 2 columns: Section (B.4.1, B.4.2, B.4.3, B.4.4), Title (Standards and Specifications), and Content (Detailed text for each section regarding soil stabilization, application, and maintenance).

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SEQUENCE OF CONSTRUCTION section detailing 10 numbered steps from site preparation to final site cleanup, including notes on sediment control and timing.

Table B.1: Temporary Seeding for Site Stabilization. Columns include Plant Species, Seeding Rate, Seeding Depth, and Recommended Seeding Dates.

Table B.2: Permanent Seeding Summary. Columns include No., Species, Application Rate, Seeding Dates, Seeding Depth, Fertilizer Rate, and Lime Rate.

Table B.3: Soil Amendments (Fertilizer and Lime Specifications). Columns include Section, Title, and Content.

Table B.4: Standards and Specifications. Columns include Section, Title, and Content.

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LEGEND section defining symbols for SUPER SILT FENCE, STABILIZED CONSTRUCTION ENTRANCE, and SOILS TYPE - ENTIRE SITE.

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LEGEND section defining symbols for SUPER SILT FENCE, STABILIZED CONSTRUCTION ENTRANCE, and SOILS TYPE - ENTIRE SITE.

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LEGEND section defining symbols for SUPER SILT FENCE, STABILIZED CONSTRUCTION ENTRANCE, and SOILS TYPE - ENTIRE SITE.