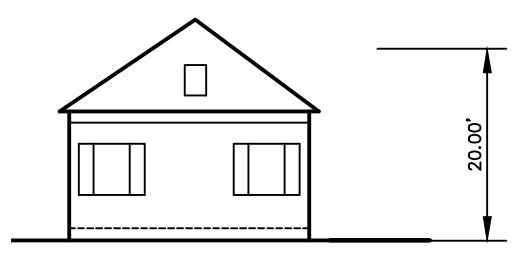
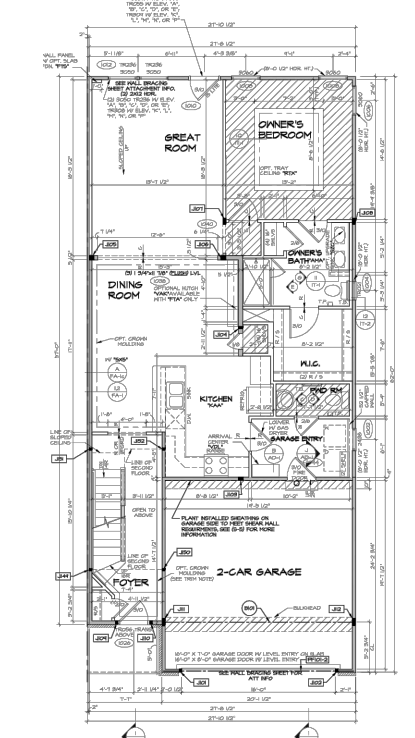


SHEET INDEX	
SHEETNO.	TITLE
1	COVER SHEET
2	EXISTING CONDITIONS & DEMOLITION PLAN
3	PRIVATE ROAD PLAN & PROFILE
4	GRADING & SEDIMENT CONTROL PLAN
5	SEDIMENT CONTROL NOTES & DETAILS
6	SCENIC ROAD EXHIBIT
7	DRAINAGE AREA & STORMWATER MANAGEMENT PLAN
8	STORM DRAIN & STORMWATER MANAGEMENT DETAILS
9	LANDSCAPE PLAN & DETAILS
10	PROPOSED PRIVATE LPSS PLAN & PROFILE
11	RT 144 ROAD IMPROVEMENT PLAN

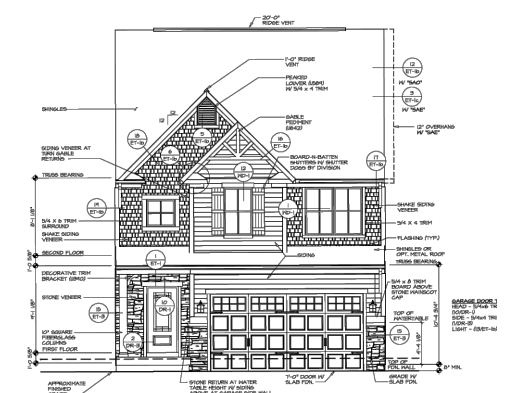
# SITE DEVELOPMENT PLAN FRIENDLY INN AGE RESTRICTED ADULT HOUSING UNITS 1 THRU 12 HOWARD COUNTY, MARYLAND



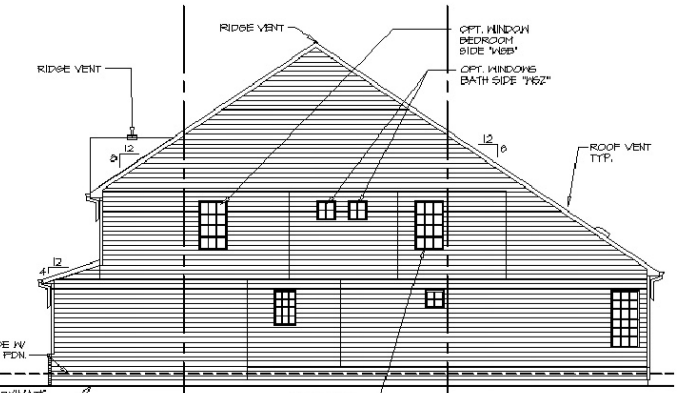
**COMMUNITY CENTER**  
SCALE 1"=20'



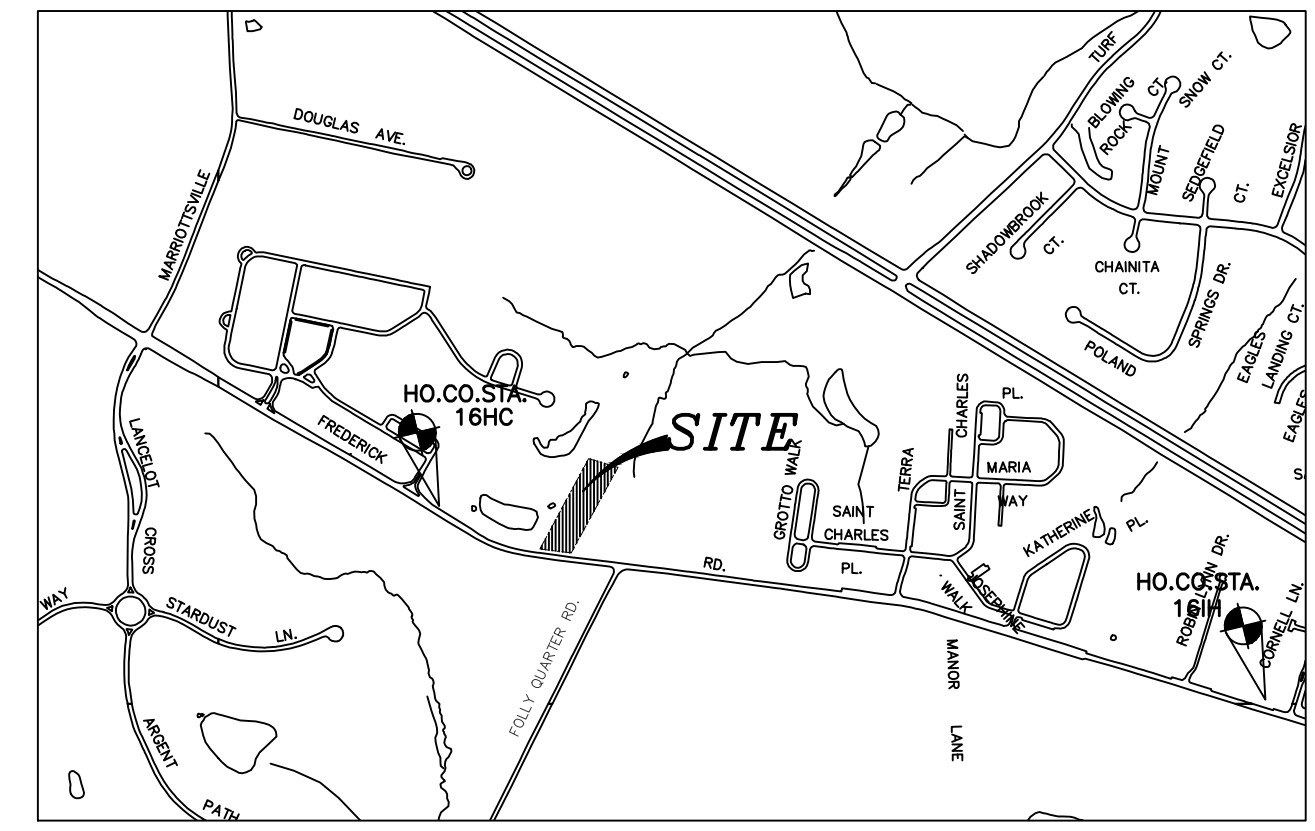
**PLAN (GRIFFIN HALL)**  
SCALE 1"=20'



**FRONT ELEVATIONS (GRIFFIN HALL)**  
MAX MEAN HEIGHT 34'  
SCALE 1"=20'



**LEFT SIDE ELEVATIONS (GRIFFIN HALL)**  
MAX MEAN HEIGHT 34'  
SCALE 1"=20'



**VICINITY MAP**  
1" = 1000'  
ADC MAP 9 GRID B4

STA. 16HC: N 589,780.930;  
E 1,341,529.866;  
EL. 448.644  
STA. 16IH: N 589,067.974;  
E 1,345,191.346;  
EL. 470.977

ADDRESS CHART	
BUILDING#	ADDRESS
UNIT 1	3501 JOYLYNNE WAY
UNIT 2	3503 JOYLYNNE WAY
UNIT 3	3505 JOYLYNNE WAY
UNIT 4	3507 JOYLYNNE WAY
UNIT 5	3511 JOYLYNNE WAY
UNIT 6	3513 JOYLYNNE WAY
UNIT 7	3515 JOYLYNNE WAY
UNIT 8	3517 JOYLYNNE WAY
UNIT 9	3521 JOYLYNNE WAY
UNIT 10	3523 JOYLYNNE WAY
UNIT 11	3525 JOYLYNNE WAY
UNIT 12	3527 JOYLYNNE WAY
COMMUNITY BUILDING	3531 JOYLYNNE WAY

PERMIT INFORMATION BLOCK					
SUBDIVISION NAME:	SECTION AREA:	PARCEL:	TAX MAP NO.	ELECTION DISTRICT	CENSUS TRACT
FRIENDLY INN	NA	98	16	3RD	603004

STORMWATER MANAGEMENT PRACTICES		
BUILDING#	MODULAR WETLAND (L-8-16) NUMBER	MICRO-BIORETENTION (M-6) NUMBER
UNIT 1-4	1	1
UNIT 5-9	0	0
UNIT 10-12 AND COMMUNITY BUILDING	0	0

MIHU TRACKING CHART	
TOTAL NUMBER OF LOTS/UNITS	12
NUMBER OF MIHU REQUIRED (15%)	2
NUMBER OF MIHU PROVIDED ON-SITE (EXEMPT FROM APFO ALLOCATIONS)	0
NUMBER OF APFO ALLOCATION REQUIRED (REMAINING LOTS/UNITS)	0
MIHU FEE-IN-LIEU (INDICATED LOT/UNIT NUMBERS)	1-12

UNITS 10-12, THE COMMUNITY BUILDING AND PART OF THE ROAD CONSTITUTE LESS THAN 50% OF THE EXISTING IMPERVIOUS. THESE AREAS ARE NOT TREATED BASED ON THE REDEVELOPMENT CRITERIA

**GENERAL NOTES**

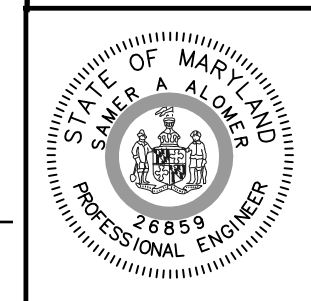
- THIS SUBJECT PROPERTY IS ZONED B-1 PER THE OCTOBER 6, 2013 COMPREHENSIVE ZONING PLAN.
- PARCEL BACKGROUND:  
ADDRESS :11074 FREDERICK RD, ROAD, ELLICOTT CITY, MD 21042  
TAX MAP 16, GRID: 022, PARCEL 98  
ELECTION DISTRICT : THIRD  
DEED REFERENCE: 18045/ 00210  
AREA : 1.84 ACRES ±  
DPZ FILE#: ECP-22-002, ECP 22-060, BA 22-031, WP 23-102
- PROPOSED USE: AGE-RESTRICTED ADULT HOUSING (SEC. 131.0.N.1.C)
  - PROPOSED STRUCTURE TYPE: SINGLE FAMILY ATTACHED
  - GROSS AREA: 1.84 AC ±  
AREA OF FLOODPLAIN: 0 ACRES  
NET AREA: 1.84 ACRES  
ALLOWED NUMBER OF UNITS= 18  
NUMBER OF UNITS PROPOSED: 12 UNITS
  - MAXIMUM DENSITY: 10 UNITS PER NET ACRE  
PROPOSED DENSITY: 6.5 UNITS PER ACRE
  - THE DEVELOPMENT CONFORMS TO ALL THE BULK REGULATIONS OF SECTION 131.N.1. OF THE ZONING REGULATION.  
SETBACK FROM RESIDENTIAL LOTS REQUIRED: 30' BRL AND 10' PARKING AND USE PROVIDED: 30' BRL AND 10' PARKING AND USE  
SETBACK FORM PUBLIC ROAD REQUIRED: 30' BRL AND 10' PARKING AND USE PROVIDED: 30' BRL AND 10' PARKING AND USE
  - REQUIRED OPEN SPACE: 25% = 0.46 ACRES ±.  
PROVIDED OPEN SPACE: 35% = 0.64 ACRES ±.
  - NO ACCESSORY BUSINESS USES ARE PROPOSED.
  - REQUIRED AREA OF COMMUNITY CENTER AT 20 S.F. PER UNIT: 260 S.F.(MIN 500 SQ.FT.)  
PROPOSED AREA OF COMMUNITY CENTER: 500 S.F.
  - NO LOADING OR TRASH AREAS ARE PROPOSED. STANDARD HOUSEHOLD CONTAINERS TO BE USED.
  - THE PROPOSED BUILDINGS ARE COMPATIBLE IN SCALE AND CHARACTER WITH THE RESIDENTIAL DEVELOPMENTS IN THE VICINITY. SETBACKS TO EXISTING LOTS MEETS OR EXCEEDS REQUIREMENTS.
  - THE DEVELOPMENT WILL BE ONE (1) PHASE.
  - THE AGE RESTRICTION REQUIREMENT WILL BE ENFORCED THROUGH THE CONDOMINIUM/HOMEOWNER ASSOCIATION COVENANTS AND AS REQUIRED BY HOWARD COUNTY.
  - ALL COMMON AREAS AND RELATED IMPROVEMENTS WILL BE MANAGED BY THE CONDOMINIUM ASSOCIATION.
  - ALL BUILDINGS SHALL CONFORM TO THE UNIVERSAL DESIGN FOR THE AGE-RESTRICTED POPULATION.
  - ONLY THE PROPOSED BUILDINGS SHALL CONFORM TO HOWARD COUNTY'S MODERATE INCOME HOUSING REQUIREMENTS.
  - PROPERTY IS BEING DEVELOPED AS A CONDITIONAL USE FOR A 12 UNITS AGE RESTRICTED ADULT HOUSING. A CONDITIONAL USE PETITION BA-22-031C WAS APPROVED ON 5/13/2023. CONDITIONS OF APPROVAL ARE:
    - THE USES SHALL BE CONDUCTED IN CONFORMANCE WITH, AND THE CONDITIONAL USE SHALL APPLY ONLY TO THE USES AND STRUCTURES AS DESCRIBED IN THE PETITION AND SHOWN ON THE PLAN, AND NOT TO ANY OTHER ACTIVITIES, USES, STRUCTURES OR ADDITIONS ON THE PROPERTY; AND
    - PETITIONER SHALL COMPLY WITH ALL FEDERAL, STATE, AND LOCAL LAWS AND REGULATIONS.
  - BOUNDARY AND TOPOGRAPHY SHOWN HERE IS BASED ON FIELD RUN SURVEY BY MILDENBERG, BOENDER & ASSOC, INC. ON OR ABOUT APRIL, 2021.
  - HORIZONTAL AND VERTICAL DATUMS ARE RELATED TO THE MARYLAND STATE PLANE COORDINATE SYSTEM AS PROJECTED FROM HOWARD COUNTY CONTROL STATIONS NO. 16HC & 16IH
  - NO CEMETERIES OR HISTORIC STRUCTURES EXIST ON SITE.
  - NO FOREST, STREAM, OR FLOODPLAIN EXIST ON SITE.
  - WETLANDS EXIST ON SITE.
  - PROPOSED USES: AGE RESTRICTED ADULT HOUSING (12 UNITS).
  - STORMWATER MANAGEMENT WAS DESIGNED IN ACCORDANCE WITH REDEVELOPMENT AS THIS PROJECT MEETS THE REDEVELOPMENT CRITERIA.
  - THIS PROJECT IS A SUBJECT TO DESIGN MANUAL WAIVER FOR LOW PRESSURE SEWER SYSTEM, APPROVED ON 09/19/2022.
  - PARKING REQUIREMENT:  
PARKING SPACES REQUIRED (2 PER UNIT): 12X2=24  
GUEST PARKING REQUIRED (0.3 PER UNITS): 12X0.3=3.6  
TOTAL UNIT PARKING REQUIRED=28  
TOTAL UNIT PARKING PROVIDED=36 ( 1 IN GARAGE AND 2 IN DRIVEWAY)  
COMMUNITY BUILDING PARKING REQUIRED: 5  
COMMUNITY BUILDING PARKING PROVIDED: 5  
TOTAL SPACES REQUIRED= 33  
TOTAL SPACES PROVIDED= 41
  - THIS SITE IS NOT LOCATED IN A HISTORIC DISTRICT.
  - FOREST STAND DELINEATION WAS PREPARED BY ECO-SCIENCE, INC. IN FEBRUARY, 2022, FOLLOWED BY FIELD REVIEW ON, APRIL 2022 TO ASSESS THE ENVIRONMENTAL CONDITIONS ON THE SITE. SEE SHEET 6 FOR ADDITIONAL FOREST CONSERVATION DETAILS.
  - THIS PROJECT IS EXEMPT FROM APFO TRAFFIC REQUIREMENTS, PROJECT GENERATES LESS THAN 5 PEAK HOUR TRIPS.
  - THE EXISTING STRUCTURE AND EXISTING PAVEMENT ON-SITE SHALL BE REMOVED.
  - STORMWATER MANAGEMENT REQUIREMENTS WILL BE SATISFIED VIA MICRO-BIORETENTION (M-6) AND MODULAR WETLAND SYSTEM. ALL FACILITIES WILL BE PRIVATELY OWNED AND MAINTAINED.
  - FOREST CONSERVATION OBLIGATIONS IN ACCORDANCE WITH SECTION 16.1200 OF THE HOWARD COUNTY CODE AND FOREST CONSERVATION MANUAL FOR THIS PROJECT WILL BE FULFILLED BY PLACING THE 0.6 ACRES OF AFFORESTATION FOR OUTSIDE WATERSHED IN A FOREST RETENTION BANK (2:1 RATIO) AT WINCOPIA FARMS, F-13-103, AS 0.6 ACRES OF RETENTION, WINCOPIA FARMS IS LOCATED ON TAX MAP NO. 47 AND IDENTIFIED AS PARCEL 472, SITUATED ON THE EAST SIDE OF GORMAN ROAD, SHOWN ON SHEET 69 OF F-13-103.
  - NO GRADING, REMOVAL OF VEGETATIVE COVER OR TREES, OR PLACEMENT OF NEW PAVING OR STRUCTURES IS PERMITTED WITHIN THE LIMITS OF WETLANDS, STREAM(S), OR THEIR BUFFERS, AND FOREST CONSERVATION EASEMENT AREAS.  
A NECESSARY DISTURBANCE REQUEST FOR THE WETLAND BUFFER ALONG THE WEST PROPERTY LINE FOR THE PURPOSE OF A STORMWATER MANAGEMENT PIPE WAS APPROVED ON 02.23.2024. APPROVAL IS BASED ON THE FOLLOWING CONDITIONS:
    - THE CONSTRUCTION OF AN UNDERDRAIN INTO THE WETLAND BUFFER ALONG THE WESTERN BOUNDARY OF THE PROPERTY SHALL ONLY DISTURB THE WETLAND AS DELINEATED ON THE UPDATED PLAN EXHIBITS SUBMITTED TO THE COUNTY ON JANUARY 5, 2024. THERE WILL BE NO IMPACTS TO THE WETLAND OR BUFFER LOCATED AT THE NORTHEAST CORNER OF THE SITE. ANY DISTURBANCES TO REGULATED ENVIRONMENTAL FEATURES BEYOND THIS REQUEST ARE NOT PERMITTED UNLESS THE APPLICANT SUBMITS A FORMAL REQUEST TO THE DEPARTMENT OF PLANNING & ZONING IN ACCORDANCE WITH SECTION 16.116(C).
    - THE DISTURBED AREA SHALL BE STABILIZED AND SEEDED AFTER CONSTRUCTION IS COMPLETE IN ACCORDANCE WITH THE EROSION & SEDIMENT CONTROL PLAN.
    - THE APPLICANT WILL BE REQUIRED TO OBTAIN ALL NECESSARY APPROVALS AND AUTHORIZATIONS BY THE MARYLAND DEPARTMENT OF THE ENVIRONMENT (MDE) AND THE U.S. ARMY CORPS OF ENGINEERS (USACE) FOR ACTIVITIES IN REGULATED AREAS PRIOR TO BEGINNING CONSTRUCTION.
    - PROVIDE A FINAL EXHIBIT WHICH SHOWS FINAL UPDATED DETAILS FOR THE STORMWATER MANAGEMENT (SWM) DESIGN. ANY CHANGES TO THE DESIGN THAT INCREASE OR CHANGE THE DIMENSIONS OF THE DISTURBANCE AREA SHOWN ON THE EXHIBIT WOULD REQUIRE AN UPDATED DISTURBANCE REQUEST. THUS FOR, SWM DESIGN CHANGES ARE ONLY OUTSIDE THE WETLAND DISTURBANCE AREA.
  - THIS PLAN IS SUBJECT TO THE AMENDED FIFTH EDITION OF THE SUBDIVISION AND LAND DEVELOPMENT REGULATIONS (COUNCIL BILL 45-2003). DEVELOPMENT OR CONSTRUCTION OF THIS SITE MUST COMPLY WITH SETBACK AND BUFFER REGULATIONS IN EFFECT AT THE TIME OF SUBMISSION OF THE SITE DEVELOPMENT PLAN, WAIVER PETITION OR BUILDING/GRADING PERMIT.
  - IN ACCORDANCE WITH SECTION 128 OF THE HOWARD COUNTY ZONING REGULATIONS, BAY WINDOWS, CHIMNEYS OR EXTERIOR STAIRWAYS NOT MORE THAN 16 FEET IN WIDTH MAY PROJECT NOT MORE THAN 4 FEET INTO ANY SETBACKS. PORCHES OR DECKS, OPEN OR ENCLOSED MAY PROJECT NOT MORE THAN 10 FEET INTO THE FRONT OR REAR YARD SETBACK.
  - THE CONTRACTOR SHALL NOTIFY THE FOLLOWING UTILITIES OR AGENCIES AT LEAST 48 HOURS PRIOR TO EXCAVATION WORK BEING DONE.
 

MISS UTILITY	800-257-7777
VERIZON TELEPHONE COMPANY	(410) 725-9976
HOWARD COUNTY BUREAU OF UTILITIES	(410) 313-4900
AT&T CABLE LOCATION DIVISION	(410) 393-3533
BALTIMORE GAS AND ELECTRIC	(410) 685-0123
STATE HIGHWAY ADMINISTRATION	(410) 531-5533
  - THE CONTRACTOR SHALL NOTIFY THE DEPARTMENT OF PUBLIC WORKS/BUREAU OF ENGINEERING/CONSTRUCTION INSPECTION DIVISION AT (410)313-1880 AT LEAST FIVE (5) WORKING DAYS PRIOR TO THE START OF WORK.
  - ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF HOWARD COUNTY PLUS MSHA STANDARDS AND SPECIFICATIONS IF APPLICABLE.
  - ANY DAMAGE TO THE COUNTY RIGHT-OF-WAY SHALL BE CORRECTED AT THE DEVELOPER'S EXPENSE.
  - TRAFFIC CONTROL DEVICES:
    - THE R1-1 (STOP ) SIGN AND THE STREET NAME SIGN (SNS) ASSEMBLY FOR THIS DEVELOPMENT MUST BE INSTALLED BEFORE THE BASE PAVING IS COMPLETED.
    - THE TRAFFIC CONTROL DEVICE LOCATIONS SHOWN ON THE PLANS ARE APPROXIMATE AND MUST BE FIELD APPROVED BY HOWARD COUNTY TRAFFIC DIVISION (410-313-2430) PRIOR TO THE INSTALLATION OF ANY OF THE TRAFFIC CONTROL DEVICES.
    - ALL TRAFFIC CONTROL DEVICES AND THEIR LOCATIONS SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MARYLAND MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MDMUTCD).
    - ALL SIGN SYSTEMS INSTALLED FOR TRAFFIC CONTROL SIGNS INSTALLED IN THE COUNTY RIGHT-OF-WAY SHALL BE MOUNTED ON A 2" GALVANIZED STEEL PERFORATED (QUICK PUNCH ), SQUARE TUBE POST (14 GAUGE) INSERTED INTO A 2-1/2" GALVANIZED STEEL PERFORATED, SQUARE TUBE SLEEVE (12 GAUGE) - 3' LONG. THE ANCHOR SHALL NOT EXTEND MORE THAN TWO PUNCH HOLES ABOVE GROUND LEVEL. A GALVANIZED STEEL POLE CAP SHALL BE MOUNTED ON TOP OF EACH POST.

Y:\12-020-Friendly Inn\Engineering\Drawings\SDP\_V021-1-020-SDP-REV02.dwg, 7/25/2024 4:25:28 PM, Sameer Alover, 1:1

APPROVED: DEPARTMENT OF PLANNING AND ZONING  
 CHIEF, DEVELOPMENT ENGINEERING DIVISION  
 CHIEF, DIVISION OF LAND DEVELOPMENT  
 DIRECTOR, DEPARTMENT OF PLANNING AND ZONING

9/5/2024  
 9/9/2024  
 9/9/2024



**DEVELOPER**  
 FRIENDLY INN DEVELOPMENT COMPANY LLC  
 8318 FORREST ST. SUITE 200  
 ELLICOTT CITY, MD 21042  
 410 992 4600

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 28859, EXP DATE 08/08/25

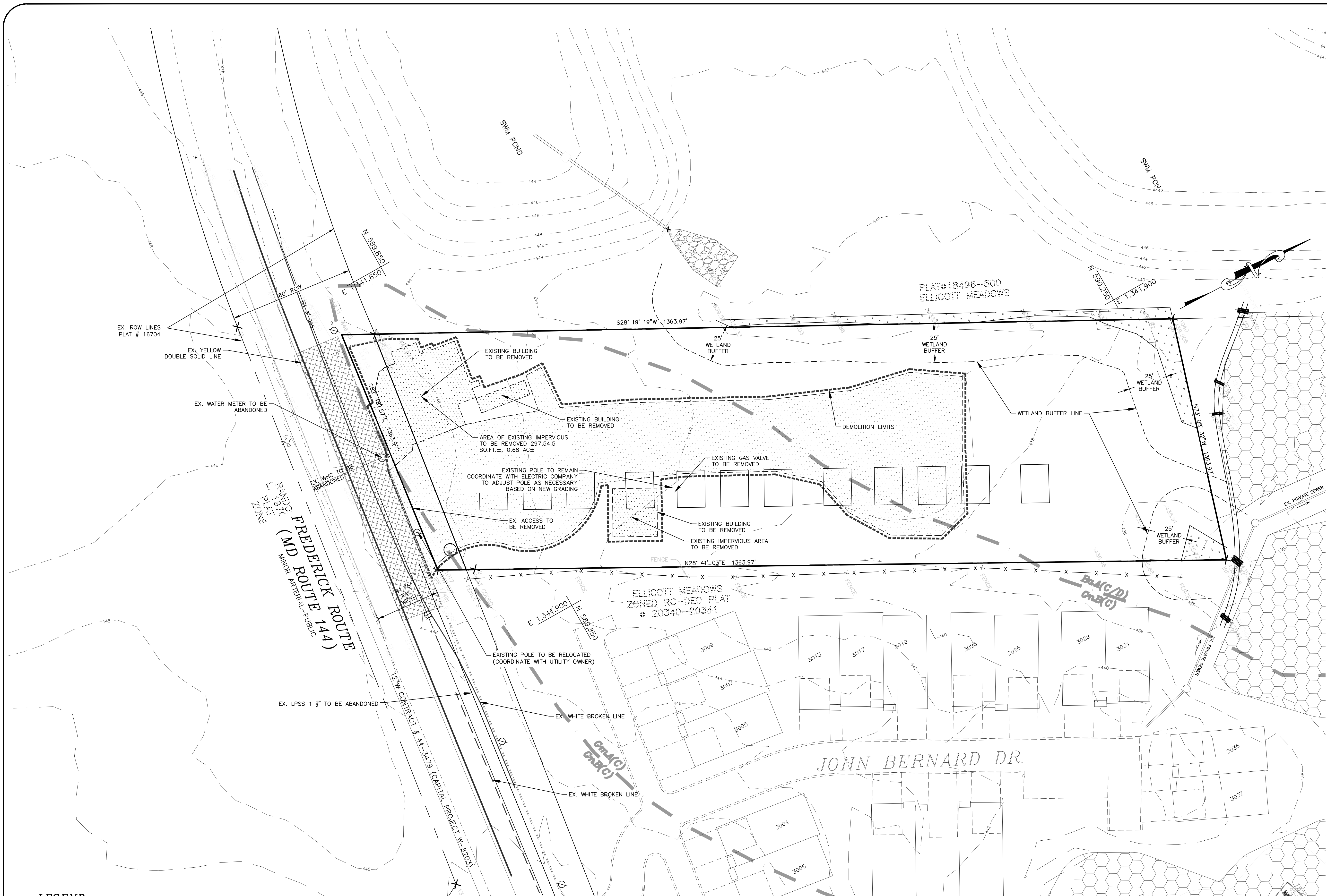
Samer Alover  
 SAMER A. ALOVER, P.E.  
 7/25/2024

Project	date	07.25.2024
21-020	engineering	
FK	SAAs	
scale	approval	SAAs
1"=60'		

description	date
revisions	
no.	

**FRIENDLY INN**  
 AGE RESTRICTED ADULT HOUSING  
 TAX MAP: 16 - GRID: 22 - PARCEL: 98  
 THIRD ELECTION DISTRICT  
 HOWARD COUNTY, MARYLAND  
 COVER SHEET

**MILDENBERG, & ASSOC., INC.**  
 Engineers Planners Surveyors  
 8918 FORREST ST. ELLICOTT CITY, MD 21043  
 (410) 997-0296 Fax. (410) 997-0298 Fax.

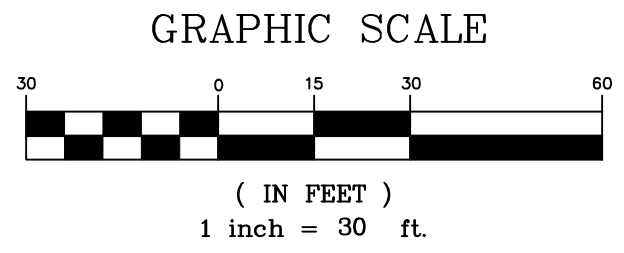


**LEGEND**  
 [Pattern] EXISTING IMPERVIOUS AREA  
 [Pattern] WETLAND AREA  
 -x- EXISTING FENCE  
 -o- OVERHEAD WIRE

**DEVELOPER**  
 FRIENDLY INN DEVELOPMENT  
 COMPANY LLC  
 8318 FORREST ST. SUITE 200  
 ELLICOTT CITY, MD 21042  
 410 992 4600

**SOILS TABLE**

SYMBOL	RATING	DESCRIPTION	K FACTOR	MAP NO.	COMMENTS
BaA	C/D	BAILE SILT LOAM, 0 TO 3 PERCENT SLOPES	0.49		
GmA	C	GLENVILLE SILT LOAM, SOMEWHAT POORLY DRAINED, 0 TO 3 PERCENT SLOPES	0.49		
GnB	C	GLENVILLE-BAILE SILT LOAMS, 0 TO 8 PERCENT SLOPES	0.49		



APPROVED: DEPARTMENT OF PLANNING AND ZONING  
 [Signature] 9/5/2024  
 CHIEF, DEVELOPMENT ENGINEERING DIVISION  
 [Signature] 9/9/2024  
 CHIEF, DIVISION OF LAND DEVELOPMENT  
 [Signature] 9/9/2024  
 DIRECTOR, DEPARTMENT OF PLANNING AND ZONING  
 [Signature] 9/9/2024



I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 26859, EXP DATE 08/08/25  
 Documented by:  
 Samer Alomer 7/25/2024  
 SAMER A. ALOMER, P.E. DATE:

Project	date
21-020	07.25.2024
illustration	engineering
FK	SAA
scale	approval
1"=30'	SAA

no.	description	date
	revisions	

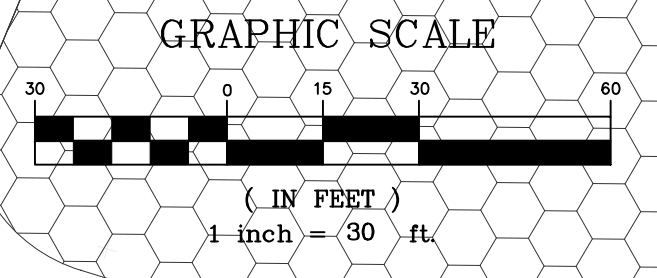
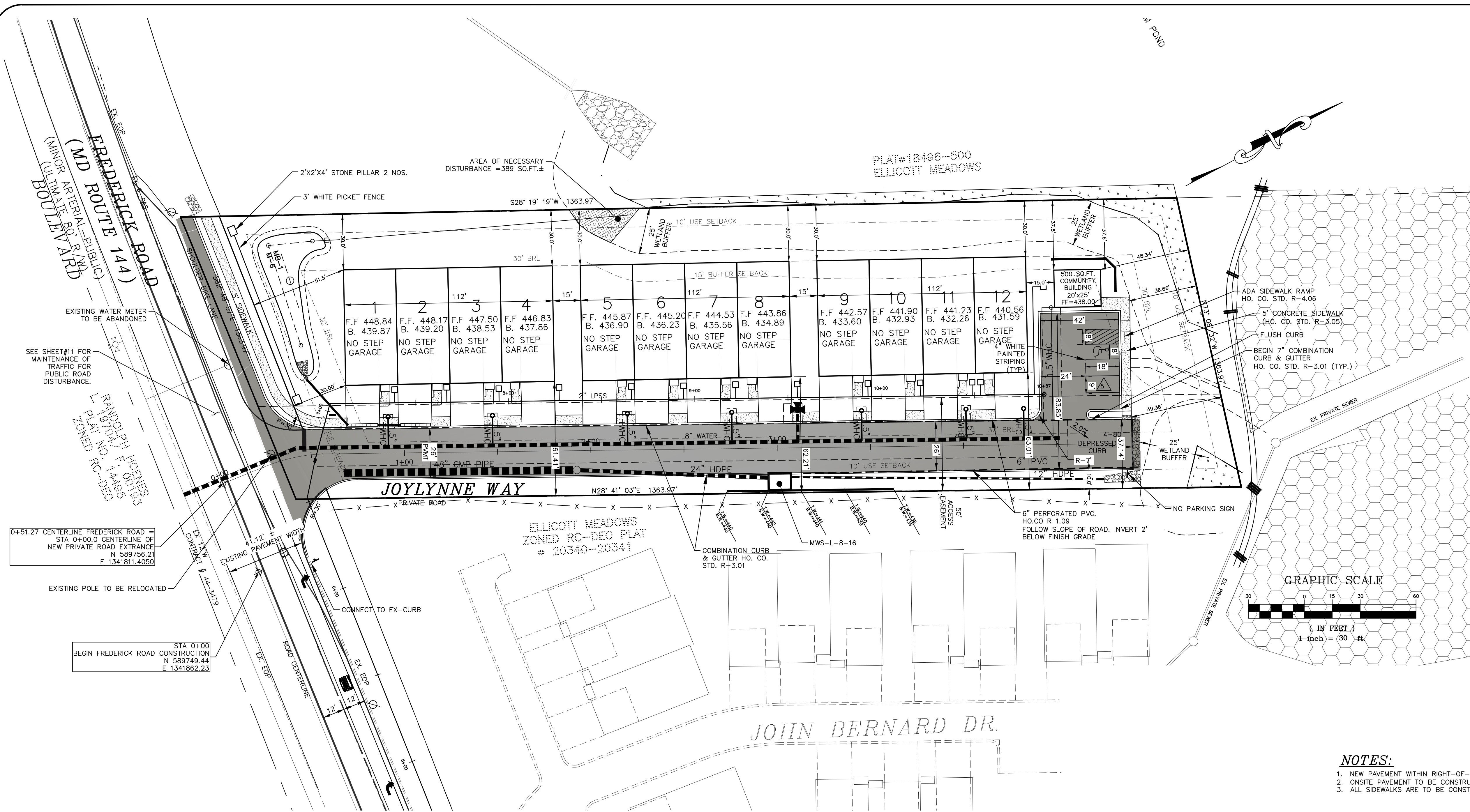
**FRIENDLY INN**  
 11074 FREDERICK RD. ROAD, ELLICOTT CITY, MD 21042  
 TAX MAP: 16 - GRID: 22 - PARCEL: 98  
 THIRD ELECTION DISTRICT HOWARD COUNTY, MARYLAND  
**EXISTING CONDITIONS & DEMOLITION PLAN**

**MILDENBERG, BOENDER & ASSOC., INC.**  
 Engineers Planners Surveyors  
 8318 FORREST ST. ELLICOTT CITY, MD 21043  
 (410) 997-0296 Fax. (410) 997-0298 Fax.

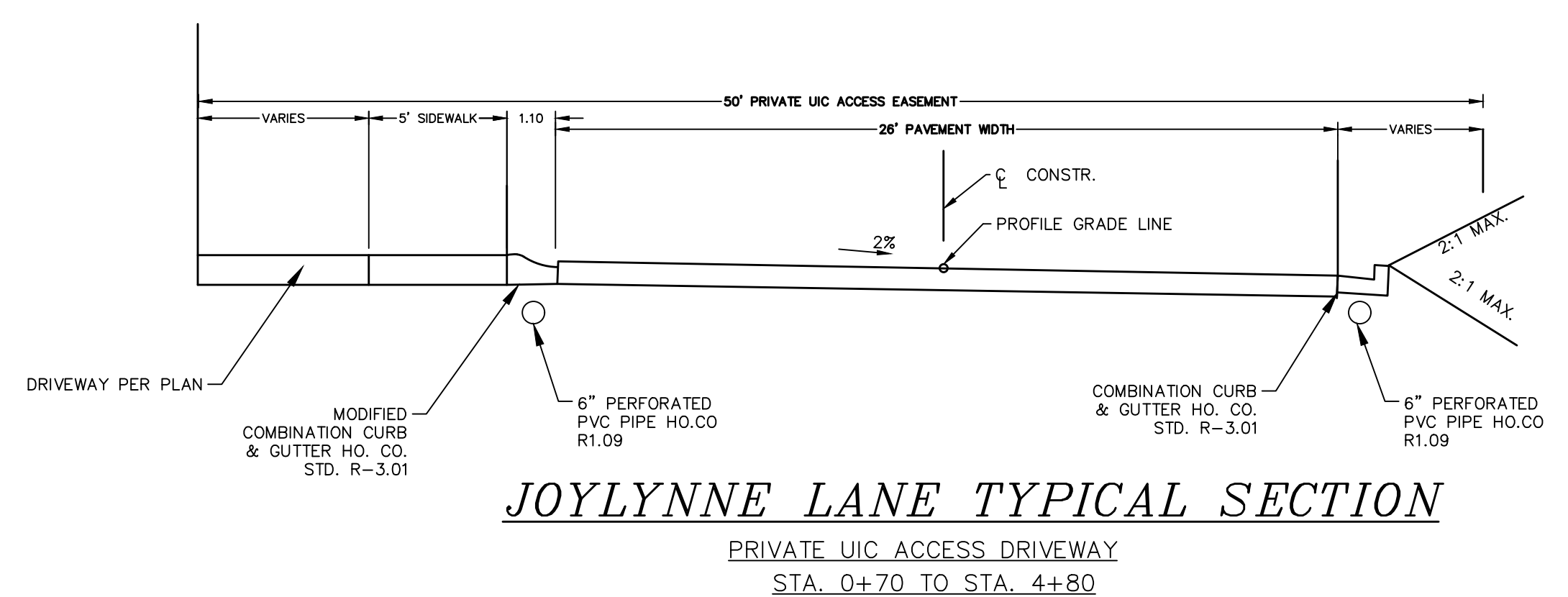
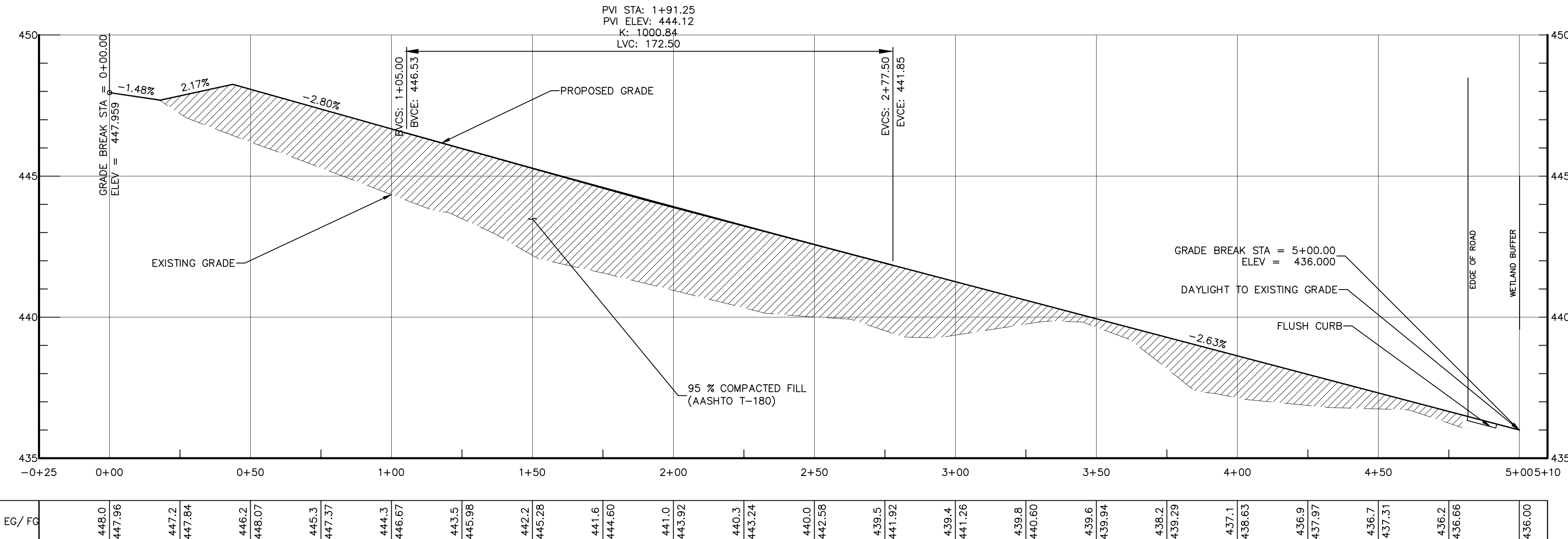
**LEGEND**

- PROPOSED SIDEWALK
- WETLAND AREA
- ACCESSIBLE PARKING SPACE
- MODULAR WETLAND SYSTEM
- NUMBER OF PARKING SPACES
- MB MICRO-BIORETENTION
- FENCE

Project	date	07.25.2024
21-020	illustration	FK
SA	scale	1"=30'
SA	approval	SA

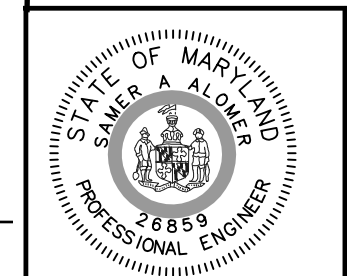


- NOTES:**
- NEW PAVEMENT WITHIN RIGHT-OF-WAY TO BE CONSTRUCTED PER SHA TYPICAL SECTION. SEE SHEET 9.
  - ONSITE PAVEMENT TO BE CONSTRUCTED PER HO. CO. STD. "P-2" PAVEMENT SECTION.
  - ALL SIDEWALKS ARE TO BE CONSTRUCTED PER HO. CO. STD. R-3.05.



Y:\12-020\Friendly\m\Engineering\Draw\21-020-SDP-REV\02.dwg, 7/25/2024 4:26:37 PM, SamerAlomer, 1:11

APPROVED: DEPARTMENT OF PLANNING AND ZONING	DATE	9/5/2024
CHIEF, DEVELOPMENT ENGINEERING DIVISION	DATE	9/9/2024
CHIEF, DIVISION OF LAND DEVELOPMENT	DATE	9/9/2024
DIRECTOR, DEPARTMENT OF PLANNING AND ZONING	DATE	



I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 26859, EXP DATE 08/08/25

Samer Alomer  
SAMER A. ALOMER, P.E. DATE: 7/25/2024

**JOYLYNNE LANE PROFILE**

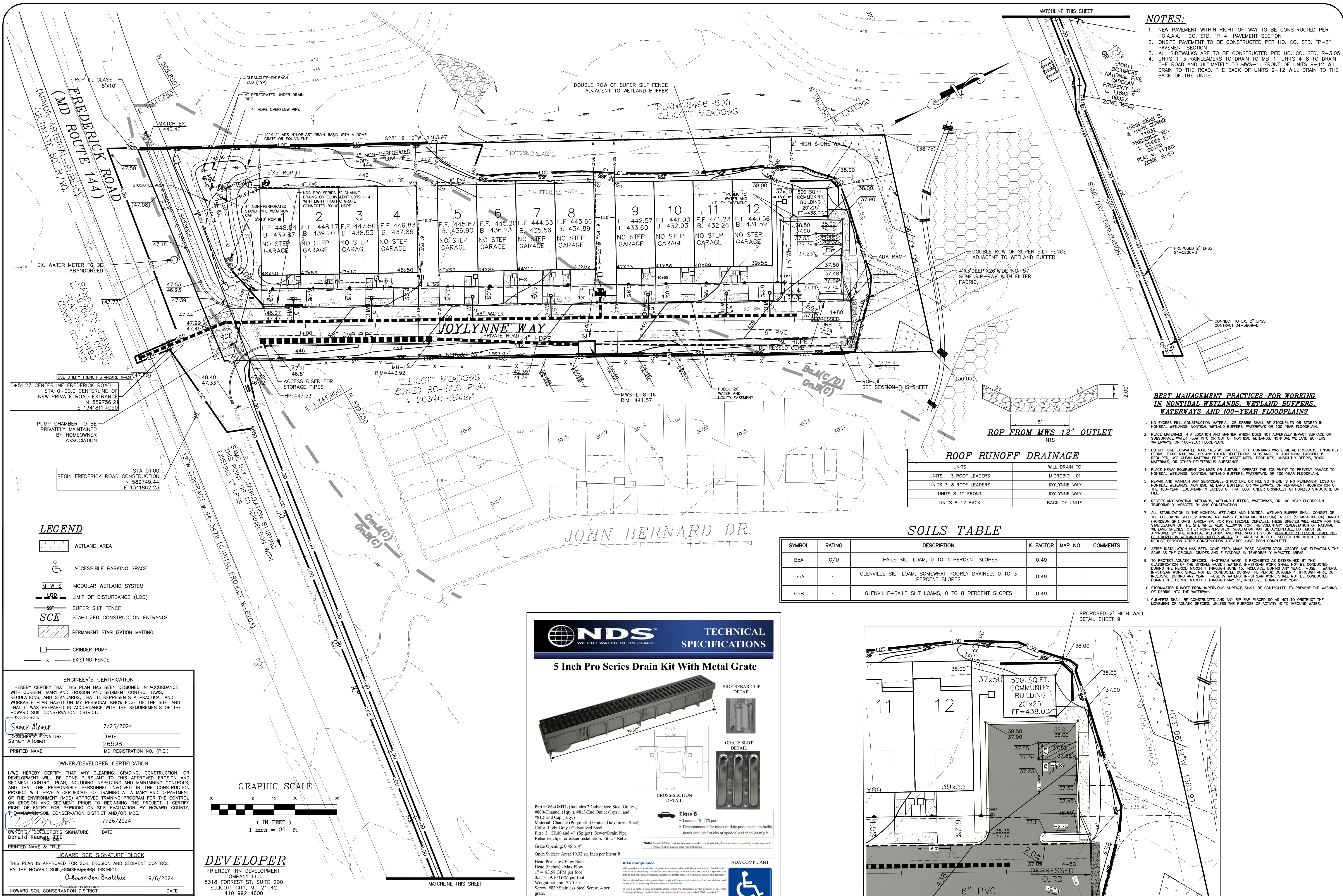
**DEVELOPER**  
FRIENDLY INN DEVELOPMENT COMPANY LLC  
8318 FORREST ST. SUITE 200  
ELICOTT CITY, MD 21042  
410 992 4600

Project	date	07.25.2024
21-020	illustration	FK
SA	scale	1"=30'
SA	approval	SA

**FRIENDLY INN**  
AGE RESTRICTED ADULT HOUSING  
TAX MAP: 16 - GRID: 22 - PARCEL: 98  
THIRD ELECTION DISTRICT HOWARD COUNTY, MARYLAND

**PRIVATE ROAD PLAN & PROFILE**

**MILDENBERG, & ASSOC., INC.**  
Engineers Planners Surveyors  
8318 FORREST ST. ELICOTT CITY, MD 21043  
(410) 997-0296 Fax. (410) 997-0298 Fax.



- NOTES:**
1. NEW PAVEMENT WITHIN RIGHT-OF-WAY TO BE CONSTRUCTED PER HO. CO. STD. "P-4" PAVEMENT SECTION
  2. ON-SITE PAVEMENT TO BE CONSTRUCTED PER HO. CO. STD. "P-2" PAVEMENT SECTION
  3. ALL SIDEWALKS ARE TO BE CONSTRUCTED PER HO. CO. STD. R-3.05
  4. UNITS 1-3 RAINLEADERS TO DRAIN TO MWS-1. UNITS 4-8 TO DRAIN THE ROAD AND ULTIMATELY TO MWS-1. FRONT OF UNITS 9-12 WILL DRAIN TO THE ROAD. THE BACK OF UNITS 9-12 WILL DRAIN TO THE BACK OF THE UNITS.

**BEST MANAGEMENT PRACTICES FOR WORKING IN NONTIDAL WETLANDS, WETLAND BUFFERS, WATERWAYS AND 100-YEAR FLOODPLAINS**

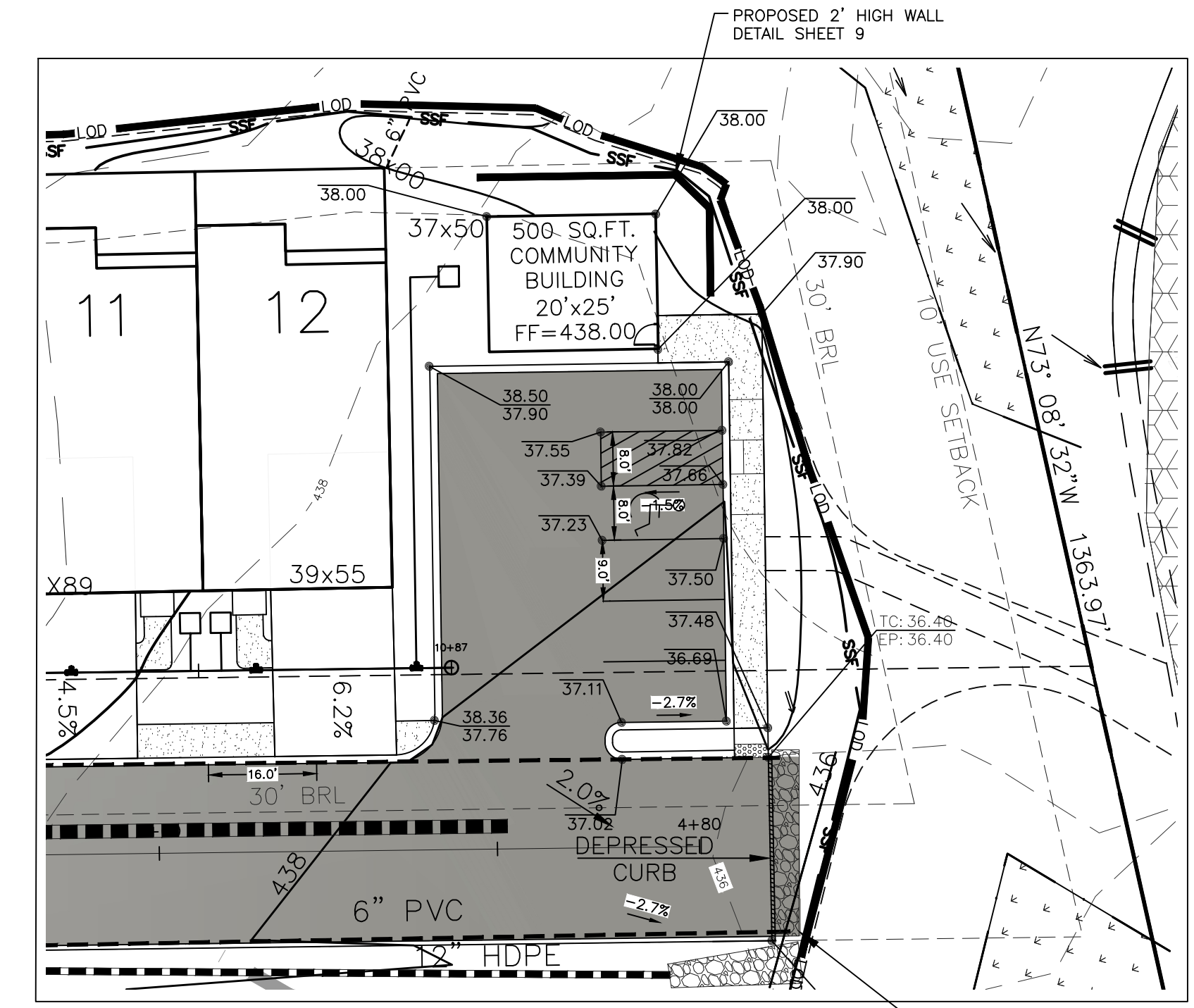
1. NO EXCESS FILL, CONSTRUCTION MATERIAL OR DEBRIS SHALL BE STOCKPILED OR STORED IN NONTIDAL WETLANDS, NONTIDAL WETLAND BUFFERS, WATERWAYS OR 100-YEAR FLOODPLAIN.
2. PLACE MATERIALS IN A LOCATION AND MANNER WHICH DOES NOT ADVERSELY IMPACT SURFACE OR SUBSURFACE WATER FLOW INTO OR OUT OF NONTIDAL WETLANDS, NONTIDAL WETLAND BUFFERS, WATERWAYS, OR 100-YEAR FLOODPLAIN.
3. DO NOT USE EXCAVATED MATERIALS AS BACKFILL IF IT CONTAINS WASTE METAL PRODUCTS, UNSIGHTLY DEBRIS, TOXIC MATERIAL, OR ANY OTHER DELTERIOUS SUBSTANCE IF ADDITIONAL BACKFILL IS REQUIRED, USE CLEAN MATERIAL FREE OF WASTE METAL PRODUCTS, UNSIGHTLY DEBRIS, TOXIC MATERIALS, OR OTHER DELTERIOUS SUBSTANCE.
4. PLACE HEAVY EQUIPMENT ON MATS OR SUITABLY OPERATE THE EQUIPMENT TO PREVENT DAMAGE TO NONTIDAL WETLANDS, NONTIDAL WETLAND BUFFERS, WATERWAYS, OR 100-YEAR FLOODPLAIN.
5. REPAIR AND MAINTAIN ANY SERVICEABLE STRUCTURE OR FILL SO THERE IS NO PERMANENT LOSS OF NONTIDAL WETLANDS, NONTIDAL WETLAND BUFFERS, OR WATERWAYS, OR PERMANENT MODIFICATION OF THE 100-YEAR FLOODPLAIN IN EXCESS OF THAT LOST UNDER ORIGINALLY AUTHORIZED STRUCTURE OR FILL.
6. RECTIFY ANY NONTIDAL WETLANDS, WETLAND BUFFERS, WATERWAYS, OR 100-YEAR FLOODPLAIN TEMPORARILY IMPACTED BY ANY CONSTRUCTION.
7. ALL STABILIZATION IN THE NONTIDAL WETLANDS AND NONTIDAL WETLAND BUFFER SHALL CONSIST OF THE FOLLOWING SPECIES: ANNUAL PEGWEEG (LOLUM MULTIFLORUM), MILLET (SETARIA ITALICA) BARLEY (HORDEUM SP.) OATS (Avena sp. FOR RYE (SECALE CEREALE). THESE SPECIES WILL ALLOW FOR THE STABILIZATION OF THE SITE WHILE ALSO ALLOWING FOR THE VOLUNTARY REVEGETATION OF NATURAL WETLAND SPECIES. OTHER NON-PERSISTENT VEGETATION MAY BE ACCEPTABLE, BUT MUST BE APPROVED BY THE NONTIDAL WETLANDS AND WATERWAYS DIVISION, KENTUCKY. THESE SPECIES SHALL NOT BE PLANTED IN WETLAND OR BUFFER AREAS. THE AREA SHOULD BE SEEDED AND MULCHED TO REDUCE EROSION AFTER CONSTRUCTION ACTIVITIES HAVE BEEN COMPLETED.
8. AFTER INSTALLATION HAS BEEN COMPLETED, MAKE POST-CONSTRUCTION GRADES AND ELEVATIONS THE SAME AS THE ORIGINAL GRADES AND ELEVATIONS IN TEMPORARILY IMPACTED AREAS.
9. TO PROTECT AQUATIC SPECIES, IN-STREAM WORK IS PROHIBITED AS DETERMINED BY THE CLASSIFICATION OF THE STREAM. -USE I WATERS. IN-STREAM WORK SHALL NOT BE CONDUCTED DURING THE PERIOD MARCH 1 THROUGH JUNE 15, INCLUSIVE, DURING ANY YEAR. -USE II WATERS. IN-STREAM WORK SHALL NOT BE CONDUCTED DURING THE PERIOD OCTOBER 1 THROUGH APRIL 30, INCLUSIVE, DURING ANY YEAR. -USE IV WATERS. IN-STREAM WORK SHALL NOT BE CONDUCTED DURING THE PERIOD MARCH 1 THROUGH MAY 31, INCLUSIVE, DURING ANY YEAR.
10. STORMWATER RUNOFF FROM IMPERVIOUS SURFACE SHALL BE CONTROLLED TO PREVENT THE WASHING OF DEBRIS INTO THE WATERWAY.
11. CULVERTS SHALL BE CONSTRUCTED AND ANY RIP RAP PLACED SO AS NOT TO OBSTRUCT THE MOVEMENT OF AQUATIC SPECIES, UNLESS THE PURPOSE OF ACTIVITY IS TO IMPOUND WATER.

**ROOF RUNOFF DRAINAGE**

UNITS	WILL DRAIN TO
UNITS 1-3 ROOF LEADERS	MICROBIO -01
UNITS 3-8 ROOF LEADERS	JOYLYNNE WAY
UNITS 8-12 FRONT	JOYLYNNE WAY
UNITS 8-12 BACK	BACK OF UNITS

**SOILS TABLE**

SYMBOL	RATING	DESCRIPTION	K FACTOR	MAP NO.	COMMENTS
BoA	C/D	BAILLE SILT LOAM, 0 TO 3 PERCENT SLOPES	0.49		
GmA	C	GLENVILLE SILT LOAM, SOMEWHAT POORLY DRAINED, 0 TO 3 PERCENT SLOPES	0.49		
GhB	C	GLENVILLE-BAILLE SILT LOAMS, 0 TO 8 PERCENT SLOPES	0.49		



**PARKING AREA DETAILS**  
SCALE: 1"=20'

- LEGEND**
- WETLAND AREA
  - ACCESSIBLE PARKING SPACE
  - MODULAR WETLAND SYSTEM
  - LIMIT OF DISTURBANCE (LOD)
  - SUPER SILT FENCE
  - STABILIZED CONSTRUCTION ENTRANCE
  - PERMANENT STABILIZATION MATTING
  - GRINDER PUMP
  - EXISTING FENCE

**ENGINEER'S CERTIFICATION**  
I HEREBY CERTIFY THAT THIS PLAN HAS BEEN DESIGNED IN ACCORDANCE WITH CURRENT MARYLAND EROSION AND SEDIMENT CONTROL LAWS, REGULATIONS, AND STANDARDS, THAT IT REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE, AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

**OWNER/DEVELOPER CERTIFICATION**  
I/WE HEREBY CERTIFY THAT ANY CLEARING, GRADING, CONSTRUCTION, OR DEVELOPMENT WILL BE DONE PURSUANT TO THIS APPROVED EROSION AND SEDIMENT CONTROL PLAN, INCLUDING INSPECTING AND MAINTAINING CONTROLS, AND THAT THE RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF TRAINING AT A MARYLAND DEPARTMENT OF THE ENVIRONMENT (MDE) APPROVED TRAINING PROGRAM FOR THE CONTROL OF EROSION AND SEDIMENT PRIOR TO BEGINNING THE PROJECT. I CERTIFY RIGHT-OF-ENTRY FOR PERIODIC ON-SITE EVALUATION BY HOWARD COUNTY, MARYLAND SOIL CONSERVATION DISTRICT AND/OR MDE.

**HOWARD SCD SIGNATURE BLOCK**  
THIS PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

**HOWARD SOIL CONSERVATION DISTRICT**  
DATE: 9/6/2024

**APPROVED: DEPARTMENT OF PLANNING AND ZONING**  
DATE: 9/5/2024

**CHIEF, DEVELOPMENT ENGINEERING DIVISION**  
DATE: 9/9/2024

**CHIEF, DIVISION OF LAND USE PLANNING AND ZONING**  
DATE: 9/9/2024

**DEVELOPER**  
FRIENDLY INN DEVELOPMENT  
8318 FORREST ST. SUITE 200  
ELLCOTT CITY, MD 21042  
410 992 4600

**STATE OF MARYLAND**  
REGISTERED PROFESSIONAL ENGINEER  
28859

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 26859, EXP DATE 08/08/25

**Samer Alomer** 7/25/2024  
DATE: SAMER A. ALOMER, P.E.

**NDS TECHNICAL SPECIFICATIONS**  
WE PUT WATER IN ITS PLACE

**5 Inch Pro Series Drain Kit With Metal Grate**

Part #: 804GMDL (Includes 2 Galvanized Steel Grates, 8800-Channel (10' x 1) #813 End Outlet (10' x 1), and #812-End Cap (10' x 1))

Material: Channel (Polyolefin) Grates (Galvanized Steel)  
Color: Light Gray / Galvanized Steel  
Fits: 3" (Hub) and 4" (Spigot) Sewer/Drain Pipe  
Rebar tie clips for easier installation: Fits #4 Rebar  
Grate Opening: 0.45" x 4"

Open Surface Area: 19.32 sq. inch per linear ft.

Head Pressure / Flow Rate:  
Head (inches) - Max Flow  
1" = 83.58 GPM per foot  
0.5" = 59.10 GPM per foot  
Color: Light Gray / Galvanized Steel  
Screw: #829 Stainless Steel Screw, 4 per grate  
UV Inhibitors

**ADA COMPLIANT**  
ADA Compliance: This product meets the requirements of the Americans with Disabilities Act (ADA) Accessibility Guidelines for Buildings and Facilities Section 4.02.4 as applicable to ground and above ground drainage systems. It is designed to provide a slip-resistant surface that complies with these requirements, but not individual users. It is based on testing the grate only and not the grate and channel together.  
To use if a grate is ADA compliant, please check the description of the product in our NDS Channeling products that meet the requirements of the ADA. We do not warrant the product for ADA compliance and do not warrant the product for ADA compliance.

**NDS**  
Visit [ndspro.com](http://ndspro.com) for specs, detail drawings, and case studies.

**NDS 5" PRO SERIES DETAILS**  
USE FOR UNITS 1-4 DRIVEWAYS

**FRIENDLY INN**  
AGE RESTRICTED ADULT HOUSING  
TAX MAP: 16 - GRID: 22 - PARCEL: 98  
THIRD ELECTION DISTRICT

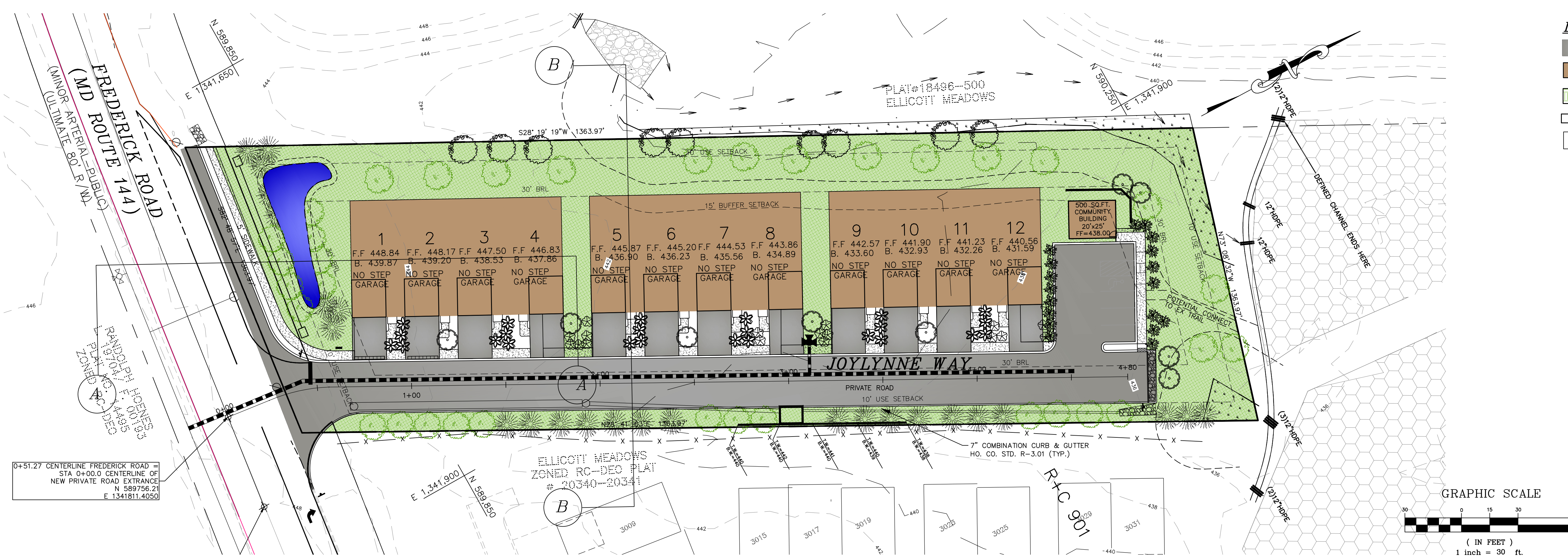
**MILDENBERG, BOENDER & ASSOC., INC.**  
Engineers Planners Surveyors  
8818 FOREST ST. ELLCOTT CITY, MD 21043  
(410) 997-0296 Fax. (410) 997-0296

**GRADING & SEDIMENT CONTROL PLAN**

Project: 21-020  
date: 07.25.2024  
Illustration: FK  
scale: SAA  
revision: SAA  
description: 1"=30'

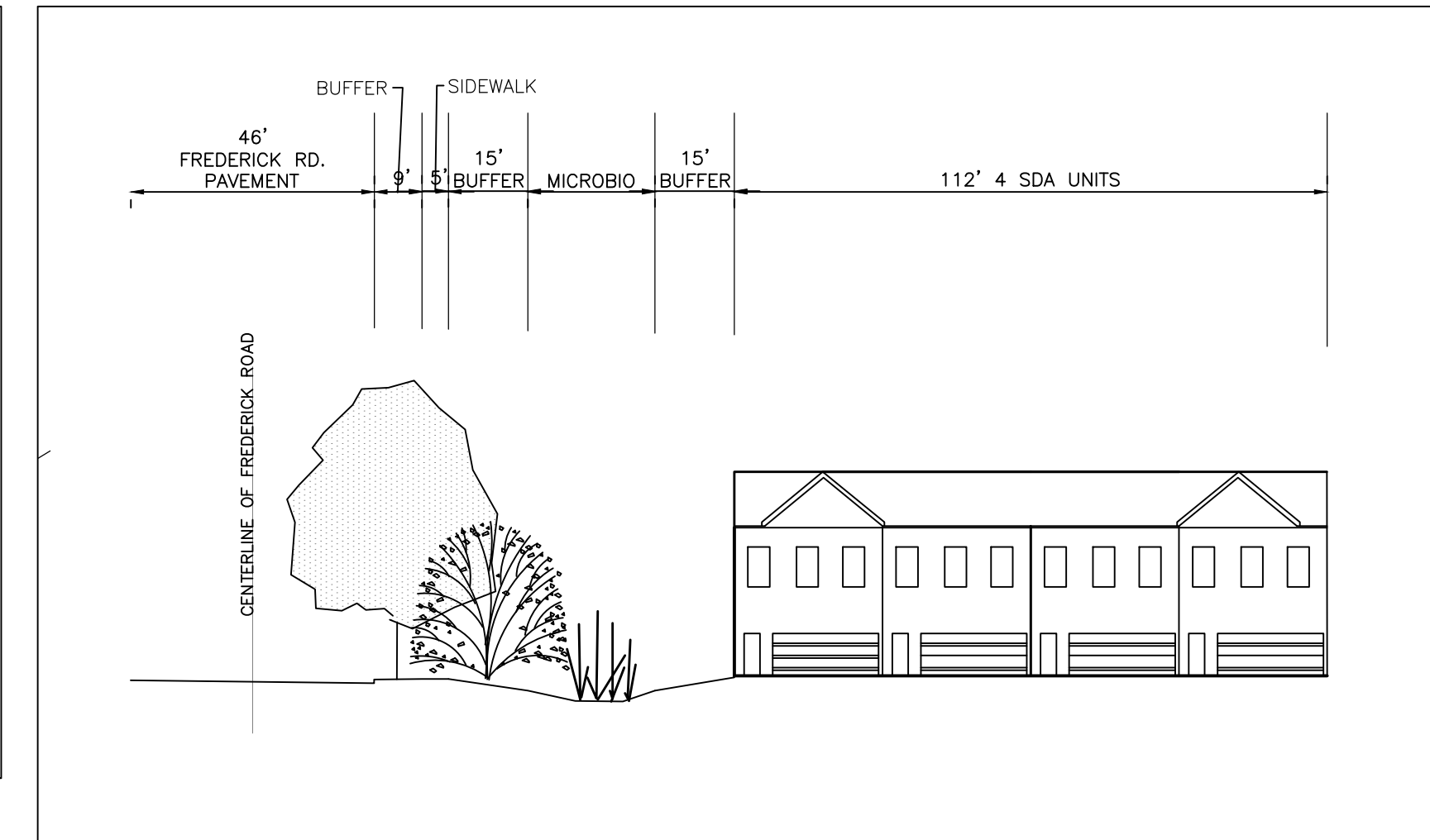
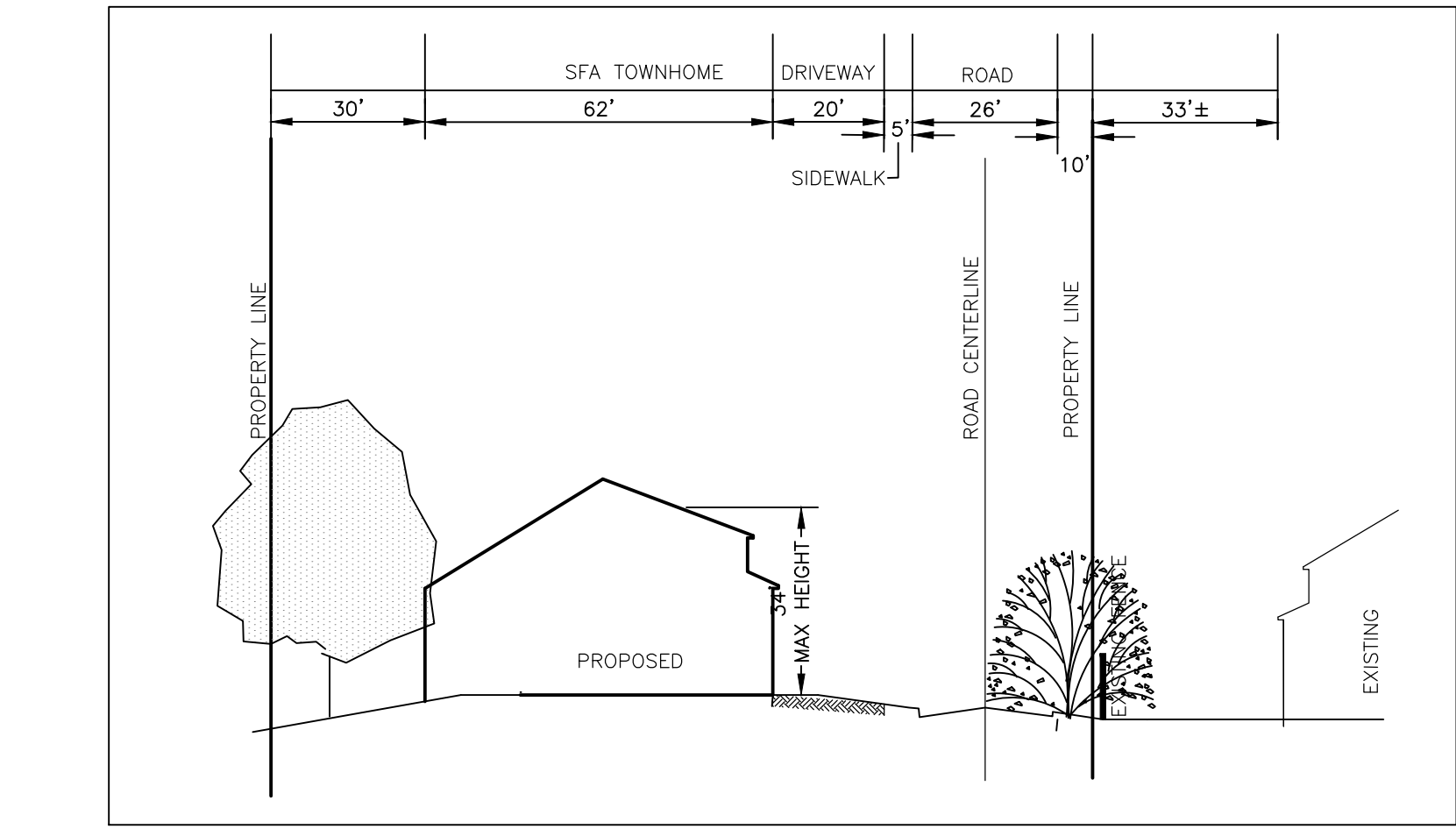
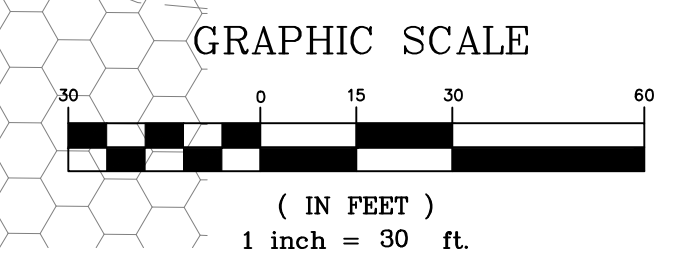
4 OF 11  
SDP-23-038





**LEGEND**

- PAVEMENT
- STRUCTURES
- GREEN AREA
- PILLAR AND 3' HIGH FENCE
- WETLANDS



APPROVED: DEPARTMENT OF PLANNING AND ZONING  
DATE: 9/5/2024

CHIEF, DEVELOPMENT ENGINEERING DIVISION  
DATE: 9/9/2024

CHIEF, DIVISION OF LAND DEVELOPMENT  
DATE: 9/9/2024

DIRECTOR, DEPARTMENT OF PLANNING AND ZONING  
DATE:



I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 26859, EXP DATE 08/08/25

DocuSigned by:  
**Samer Alomer** 7/25/2024  
SAMER A. ALOMER, P.E. DATE:

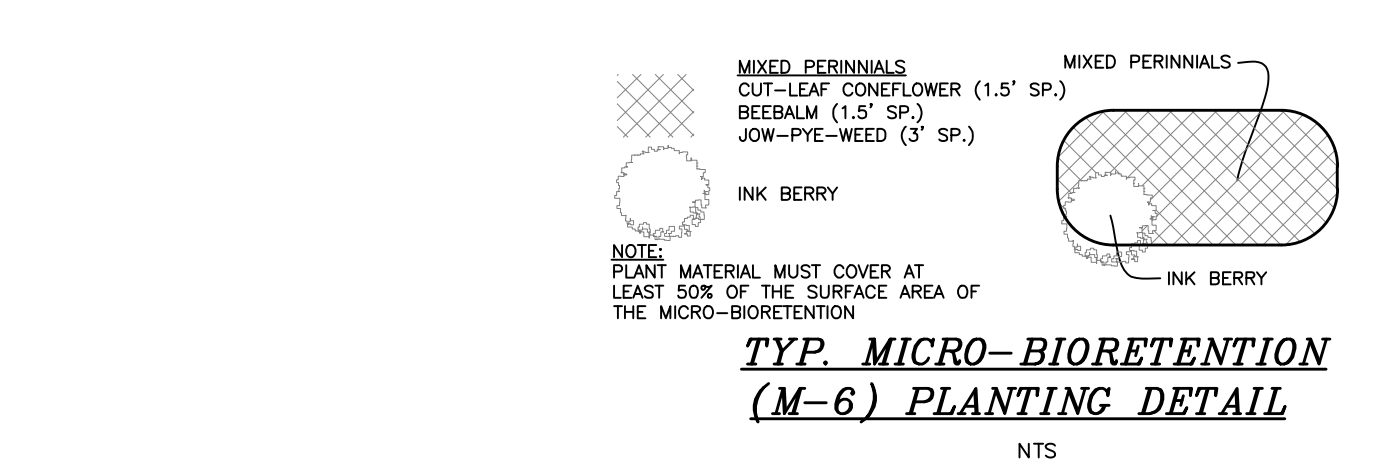
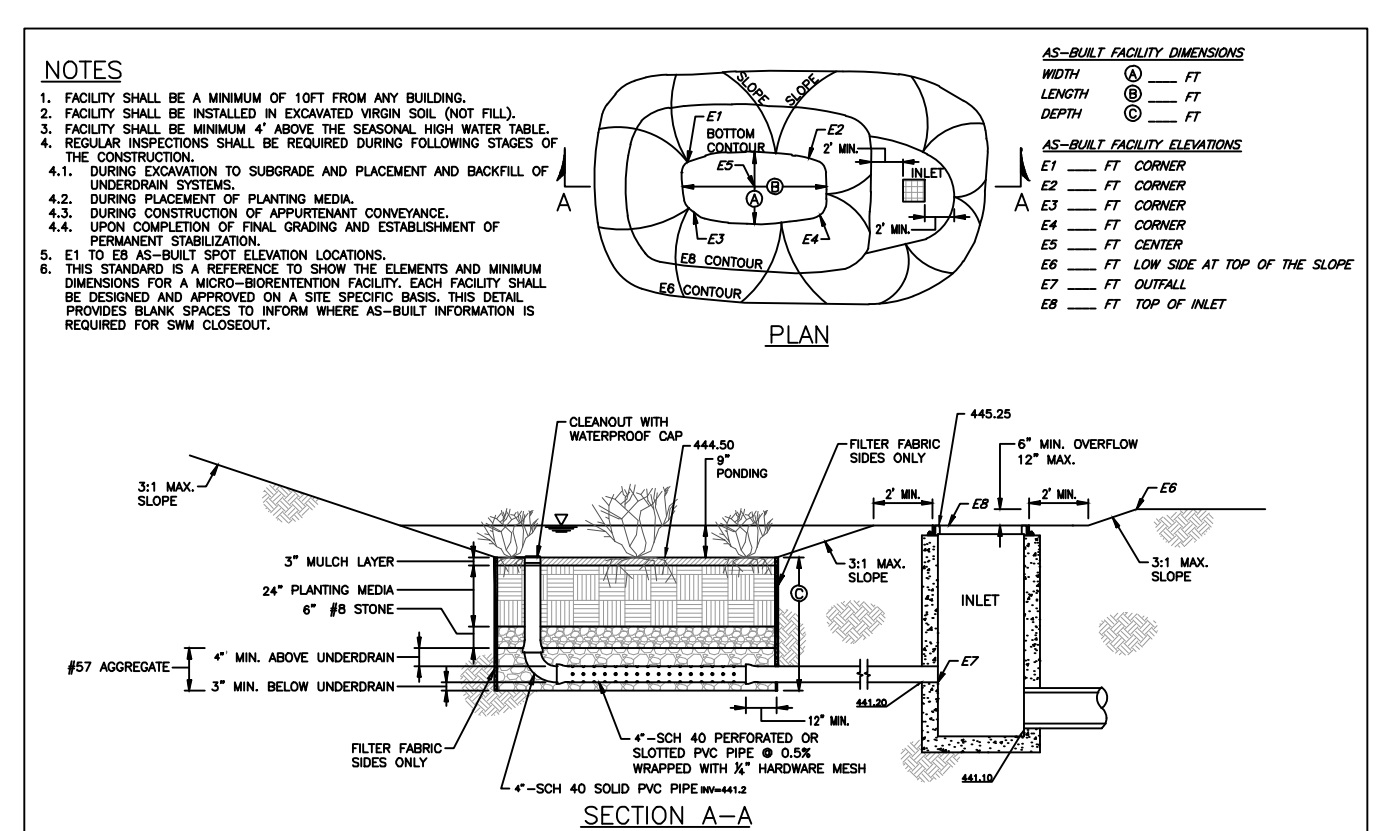
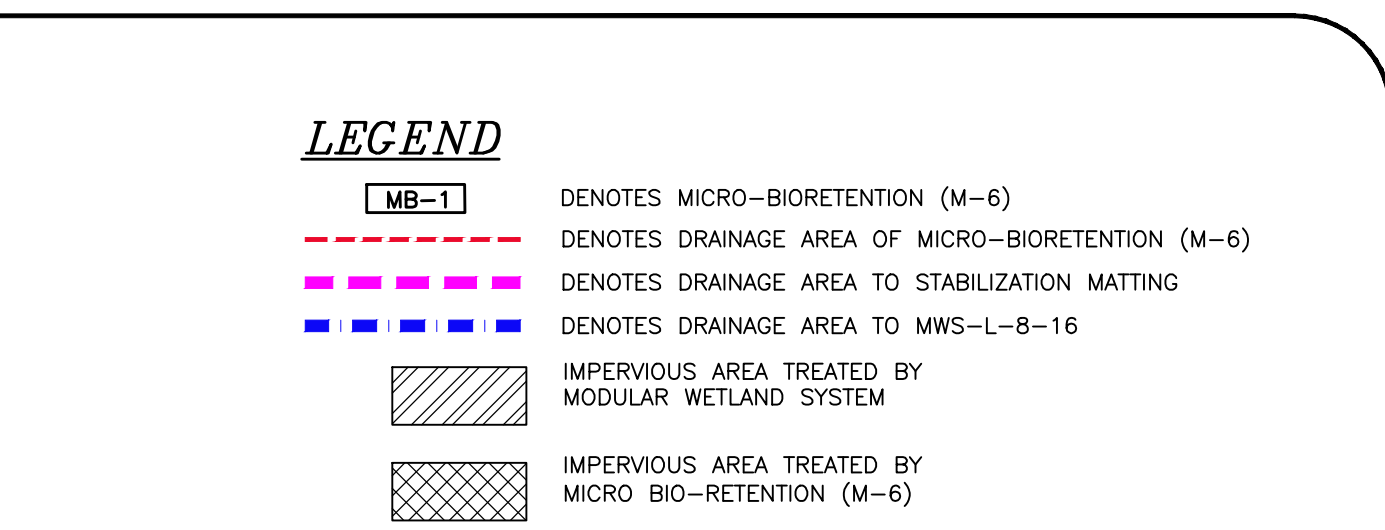
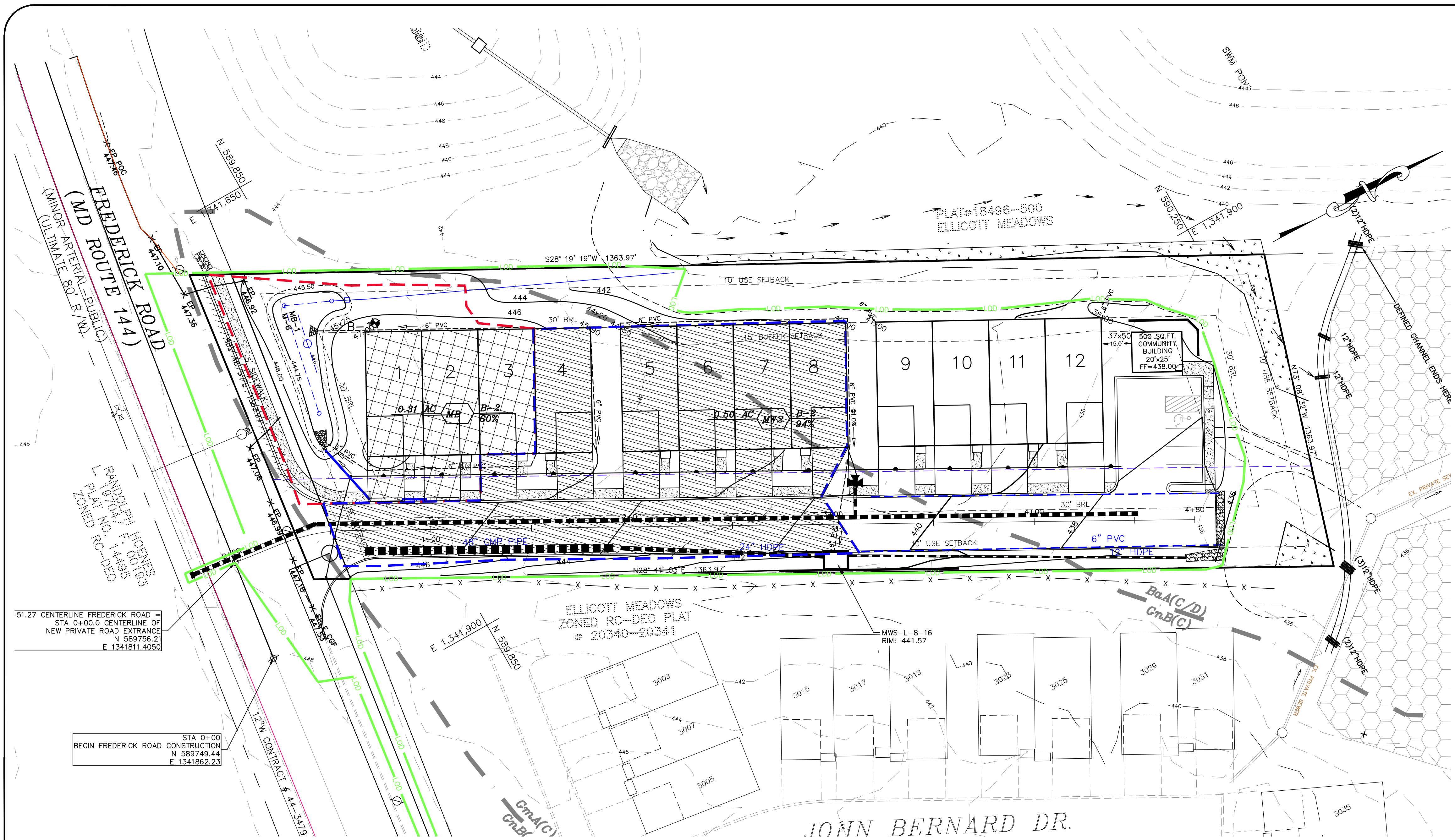
**DEVELOPER**  
FRIENDLY INN DEVELOPMENT COMPANY LLC.  
8318 FORREST ST, SUITE 200  
ELICOTT CITY, MD 21042  
410 992 4600

Project: 21-020  
date: 07.25.2024  
illustration: FK  
scale: 1"=30'  
approval: SAA

description: revisions  
date:

FRIENDLY INN  
AGE RESTRICTED ADULT HOUSING  
TAX MAP: 16 - GRID: 22 - PARCEL: 98  
THIRD ELECTION DISTRICT  
HOWARD COUNTY, MARYLAND  
SCENIC ROAD EXHIBIT

**MILDENBERG, BOENDER & ASSOC., INC.**  
Engineers Planners Surveyors  
8318 FORREST ST. ELICOTT CITY, MD 21043  
(410) 997-0296 Cell. (410) 997-0298 Fax.



### MICRO-BIORETENTION SCHEDULE

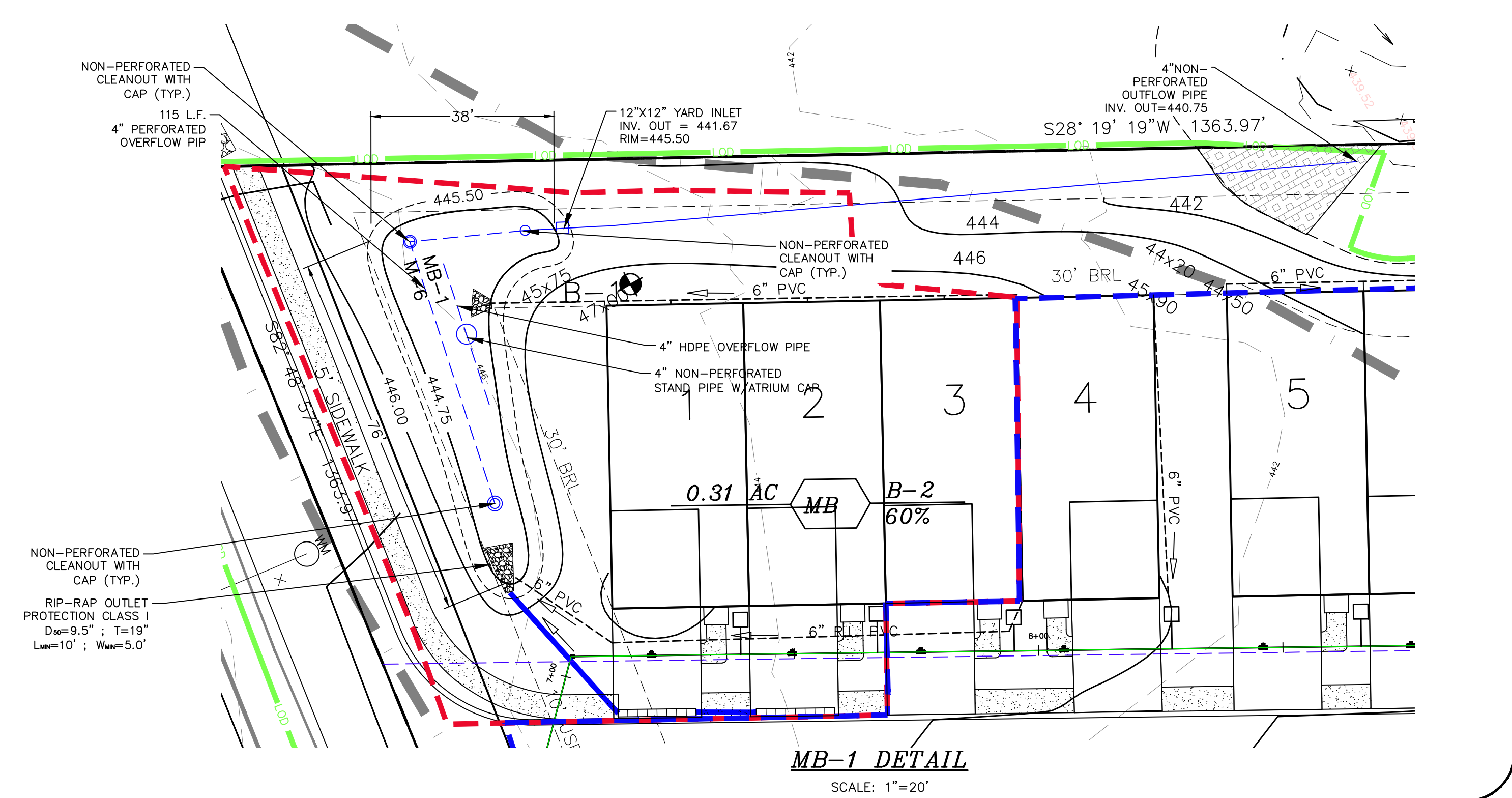
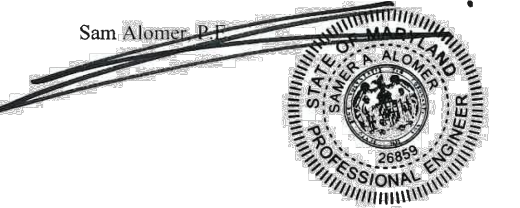
FACILITY	TOP EL. (SURFACE)	WEIR EL. (PONDING)	BERM EL.	INV. IN	INV. OUT	SURFACE AREA	PONDING AREA	PONDING DEPTH	GRAVEL DEPTH BELOW UNDERDRAIN	SIDE SLOPE
MB-1	444.75	445.50	445.75	441.20	440.25	1205	1667	0'-9"	1'-0"	3:1

**MILDENBERG, BOENDER & ASSOC., INC.**  
 Engineers Planners Surveyors  
 6218 Forrest Street, Suite 300, Ellicott City, MD 21043  
 (410) 997-0296 (410) 997-0298 Fax

Project: Friendly Inn Ellicott City  
 Test Date: October 25, 2022  
 Subject: Limited subsurface exploration.  
 No. of Borings: 1  
 Probing Method: Excavator  
 Findings:

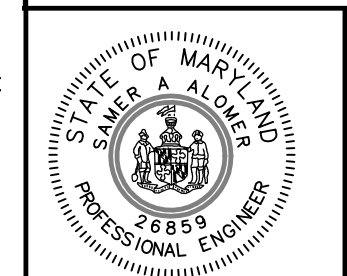
Boring	Groundwater	Rocks	Hole depth (feet)	Notes
B-1	No Groundwater observed	No Rocks observed	9	Acceptable

All Depths below existing ground surface.



**DEVELOPER**  
 FRIENDLY INN DEVELOPMENT COMPANY LLC  
 8318 FORREST ST., SUITE 200  
 ELICOTT CITY, MD 21042  
 410 992 4600

APPROVED: DEPARTMENT OF PLANNING AND ZONING  
 [Signature]  
 9/5/2024 DATE  
 CHIEF, DEVELOPMENT ENGINEERING DIVISION  
 [Signature]  
 9/9/2024 DATE  
 CHIEF, DIVISION OF LAND MANAGEMENT  
 [Signature]  
 9/9/2024 DATE  
 DIRECTOR, DEPARTMENT OF PLANNING AND ZONING



I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 26859, EXP DATE 08/08/25

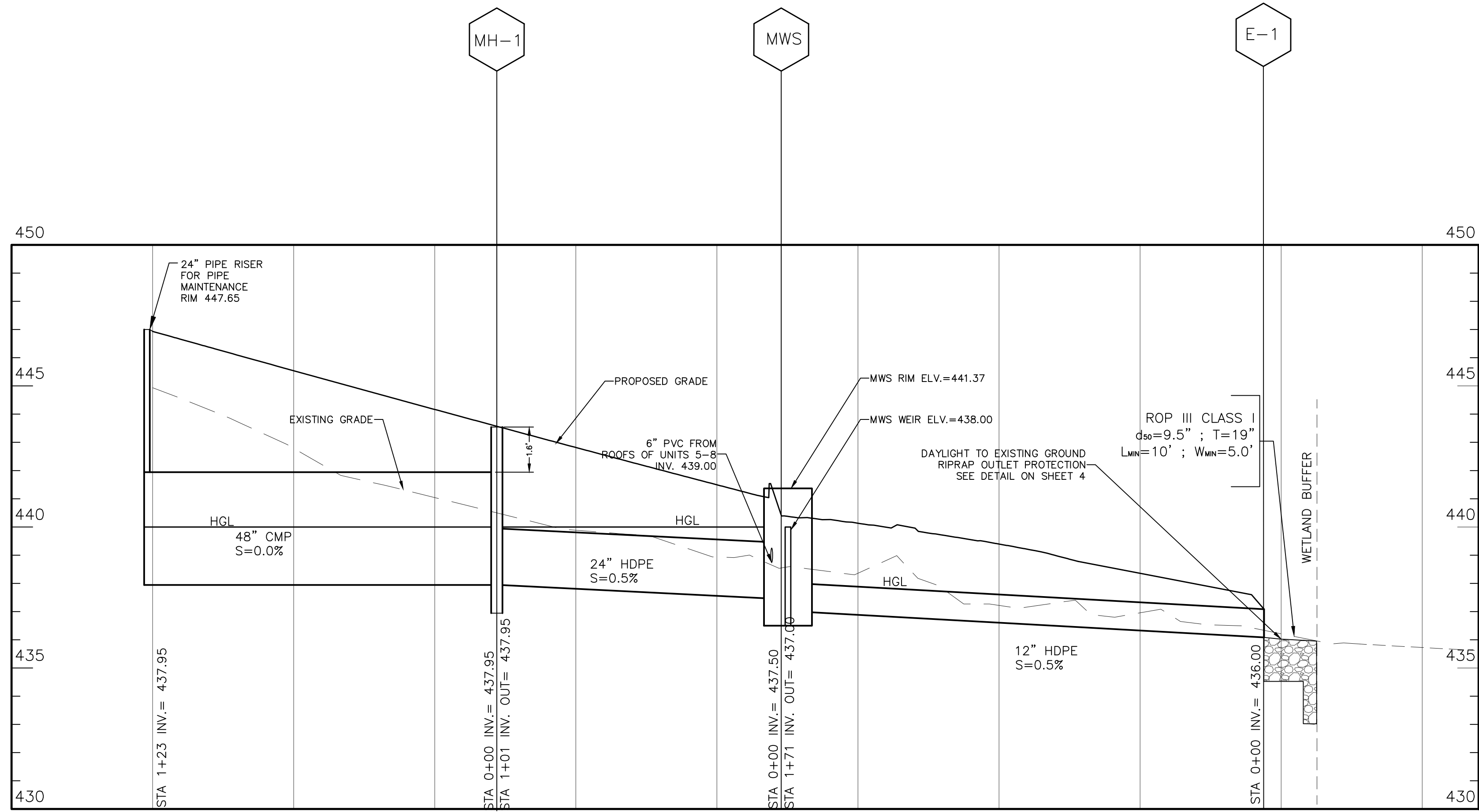
Signed by: **Samer Alomer** 7/25/2024  
 SAMER A. ALOMER, P.E. DATE:

Project	date	06.18.2024
21-020	illustration	FK
scale	1"=30'	SAA
description	revisions	
date		
description	revisions	
date		

Project	date	06.18.2024
21-020	illustration	FK
scale	1"=30'	SAA
description	revisions	
date		
description	revisions	
date		

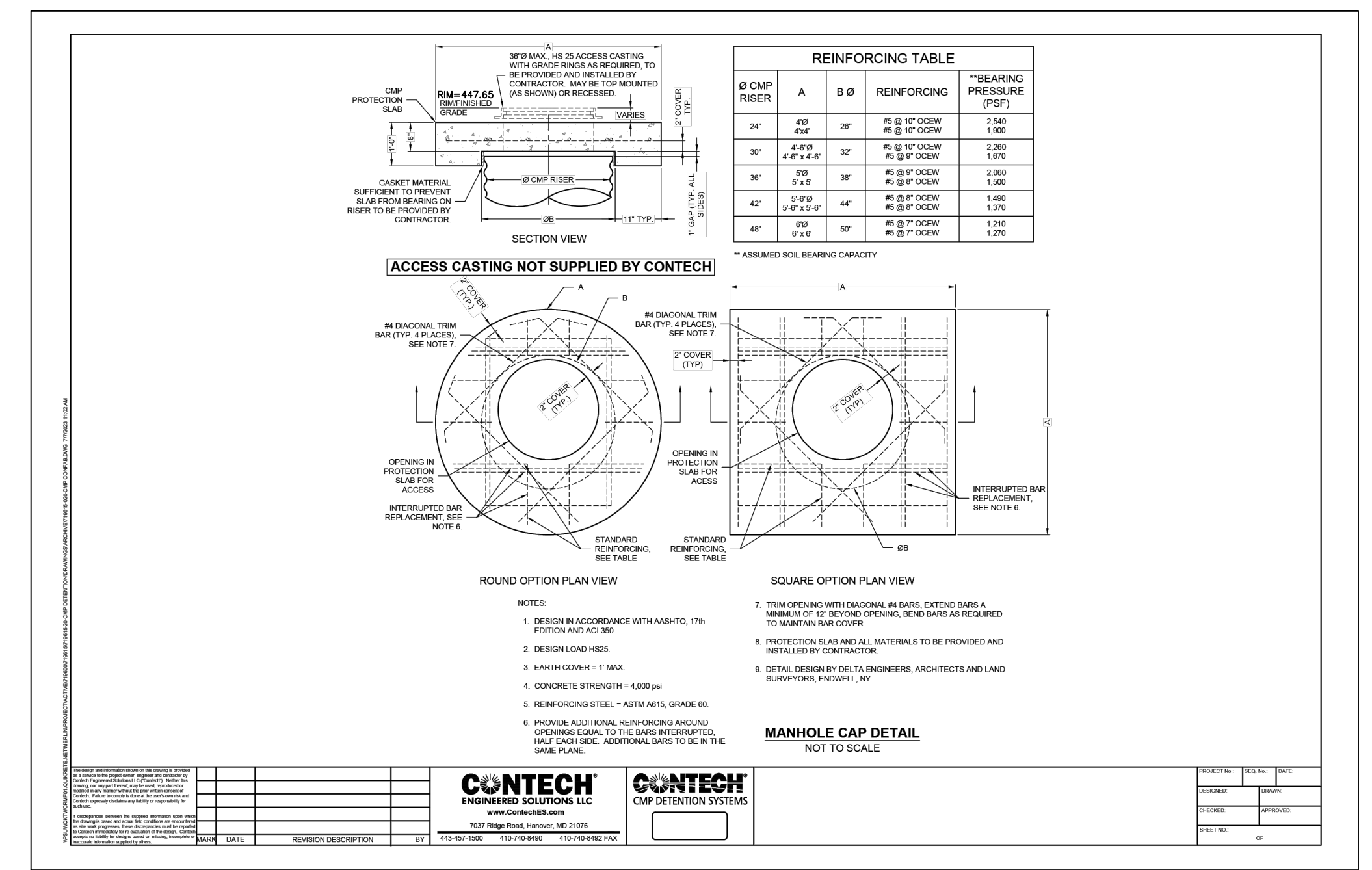
**FRIENDLY INN**  
 AGE RESTRICTED ADULT HOUSING  
 TAX MAP: 16 - GRID: 22 - PARCEL: 98  
 HOWARD COUNTY, MARYLAND  
 THIRD ELECTION DISTRICT  
**DRAINAGE AREA & STORMWATER MANAGEMENT PLAN**

**MILDENBERG, BOENDER & ASSOC., INC.**  
 Engineers Planners Surveyors  
 8318 FORREST ST. ELICOTT CITY, MD 21043  
 (410) 997-0296 Ball. (410) 997-0298 Fax



**STORM DRAIN PROFILE**

SCALE: HOR. 1"=30'  
VER. 1"=3'



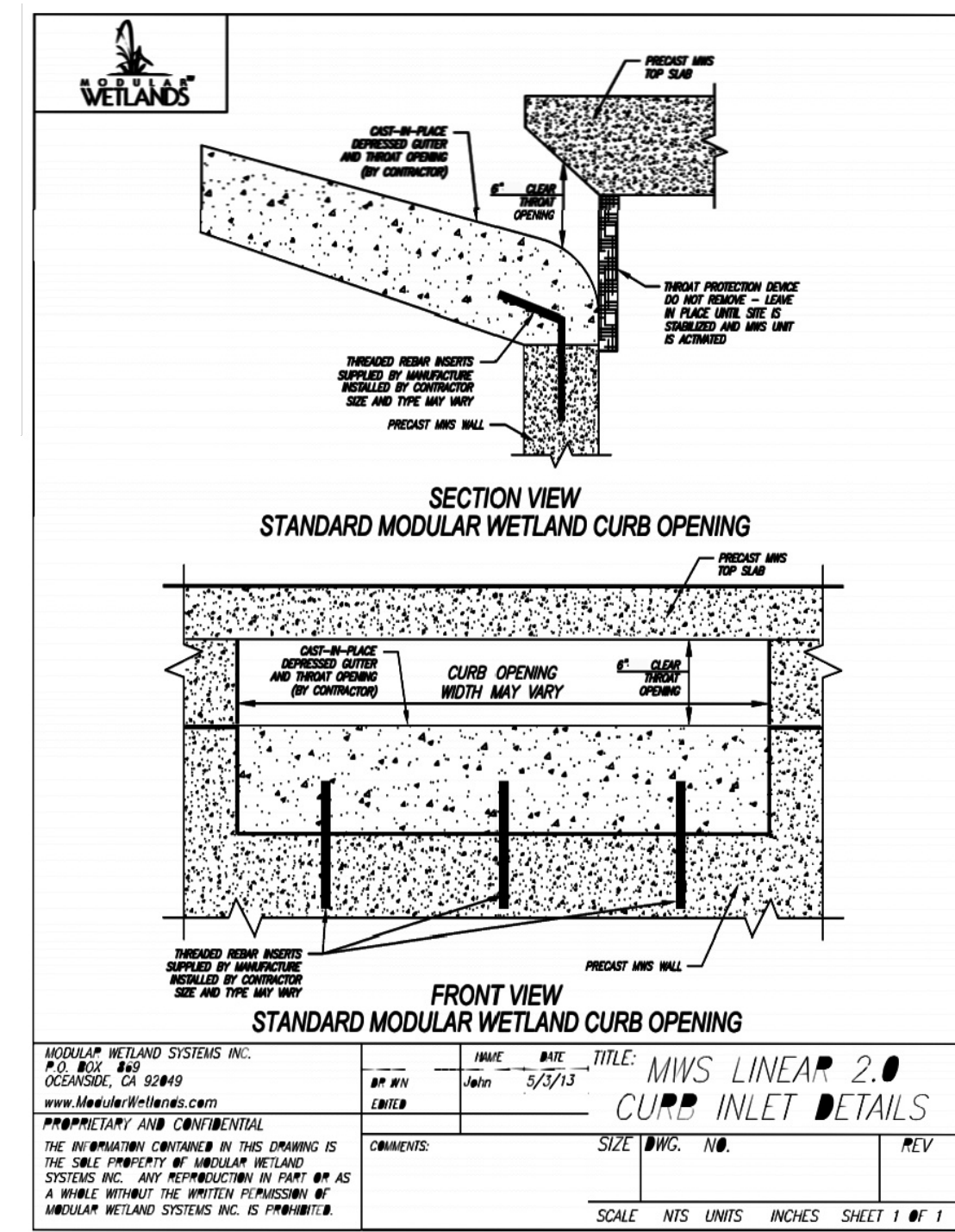
**RISER DETAIL FOR 24" PIPE MAINTENANCE**

**PIPE SCHEDULE**

PIPE SIZE	QUANTITY
6" PVC	350 L.F.
12" HDPE	171 L.F.
24 HDPE	101 L.F.
48" CMP	123 L.F.

**STRUCTURE SCHEDULE**

NO.	LOCATION*	TOP**	INV. IN	INV. OUT	COMMENTS
MWS	JOYLYNNE WAY STA. 3+01.17	441.37	24"=437.50 6"=439.00	12"=437.00	MWS-L-8-16
MH-1	JOYLYNNE WAY STA. 1+92.36 OFFSET 10.45' R	443.92	437.95	437.95	



**CURB OPENING DETAIL**  
PROVIDE AT MWS-1

**MWS MAINTENANCE PROCEDURE**

**Maintenance Procedures**

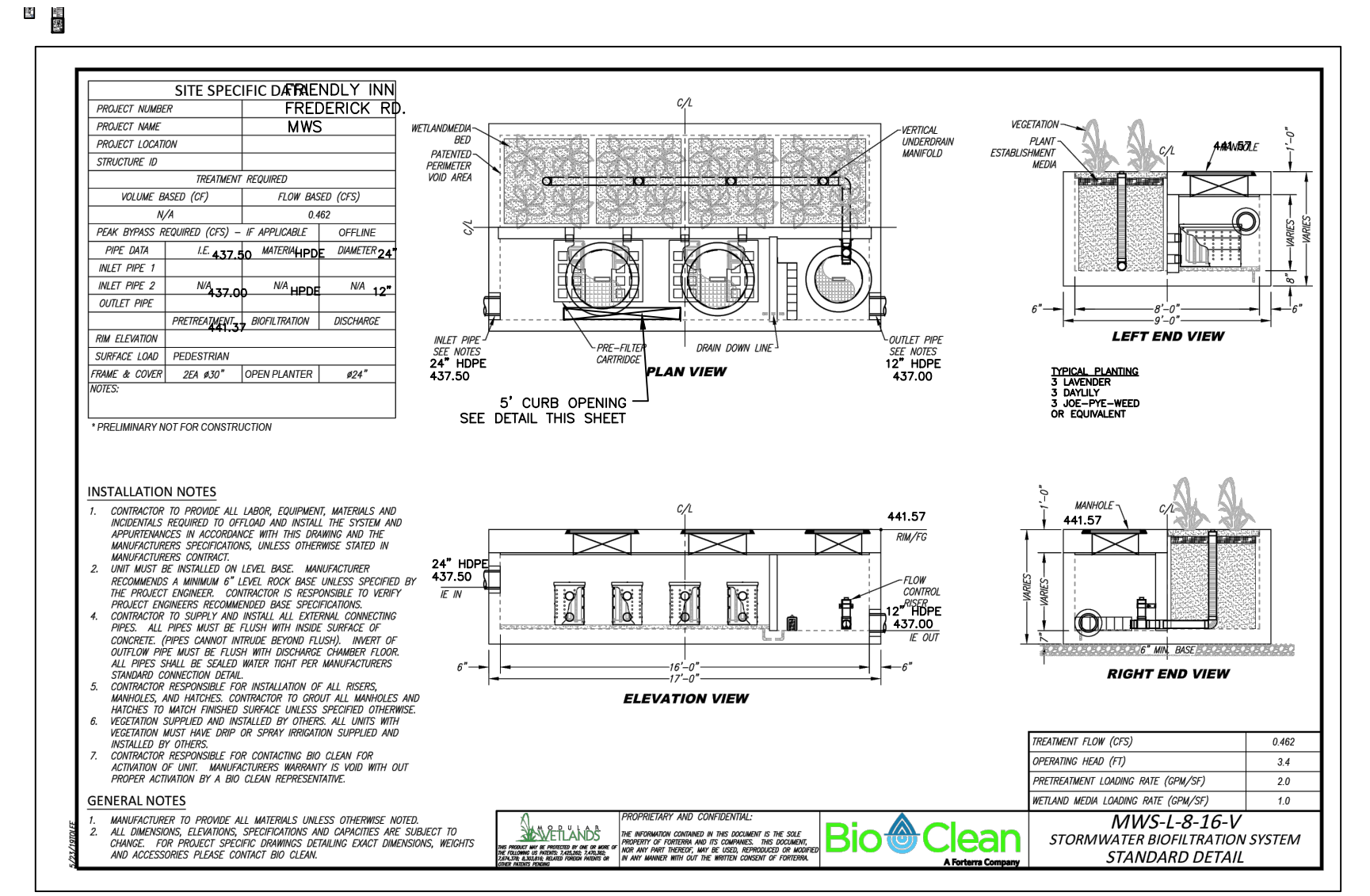
- Screening Device**
1. Perform maintenance procedures of screening device listed above before maintaining the separation chamber.
  2. With a pressure washer, spray down pollutants accumulated on walls and cartridge filters.
  3. Vacuum out old media and accumulated pollutants.
- Separation Chamber**
1. Perform maintenance procedures of screening device listed above before maintaining the separation chamber.
  2. With a pressure washer, spray down pollutants accumulated on walls and cartridge filters.
  3. Vacuum out old media and accumulated pollutants.

**Cartridge Filters**

1. Perform maintenance procedures on screening device and separation chamber before maintaining cartridge filters.
2. Enter separation chamber.
3. Unscrew the two bolts holding the lid on each cartridge filter and remove lid.
4. Remove each of 4 to 8 media cages holding the media in place.
5. Spray down the cartridge filter to remove any accumulated pollutants.
6. Vacuum out old media and accumulated pollutants.
7. Reinstall media cages and fill with new media from manufacturer or outside supplier. Manufacturer will provide specification of media and sources to purchase.
8. Replace the lid and tighten down bolts. Replace screening device, grate or manhole cover when completed.

**Drain Down Filter**

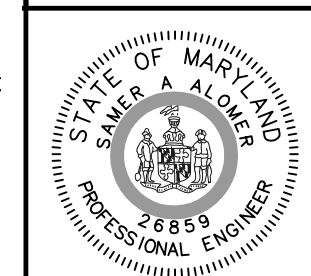
1. Remove hatch or manhole cover over discharge chamber and enter chamber. Entry into chambers may require confined space training based on state and local regulations.
2. Unlock and lift drain down filter housing and remove old media block. Replace with new media block. Lower drain down filter housing and lock into place.
3. Exit chamber and replace hatch or manhole cover.



**DEVELOPER**

FRIENDLY INN DEVELOPMENT  
COMPANY, LLC  
8318 FORREST ST. SUITE 200  
ELLCOTT CITY, MD 21042  
410 992 4600

APPROVED: DEPARTMENT OF PLANNING AND ZONING	9/5/2024
CHIEF, DEVELOPMENT ENGINEERING DIVISION	9/9/2024
CHIEF, DIVISION OF LAND DEVELOPMENT	9/9/2024
DIRECTOR, DEPARTMENT OF PLANNING AND ZONING	



I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 26859, EXP DATE 08/08/25

DocuSigned by:  
**Samer Alomer**  
9/25/2024

SAMER A. ALOMER, P.E. DATE:

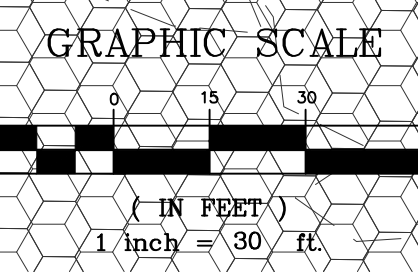
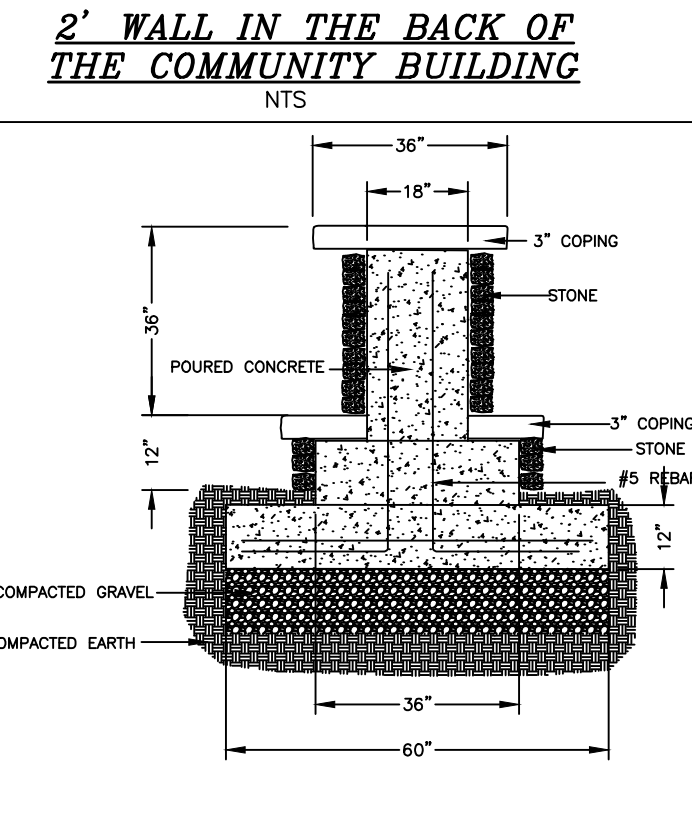
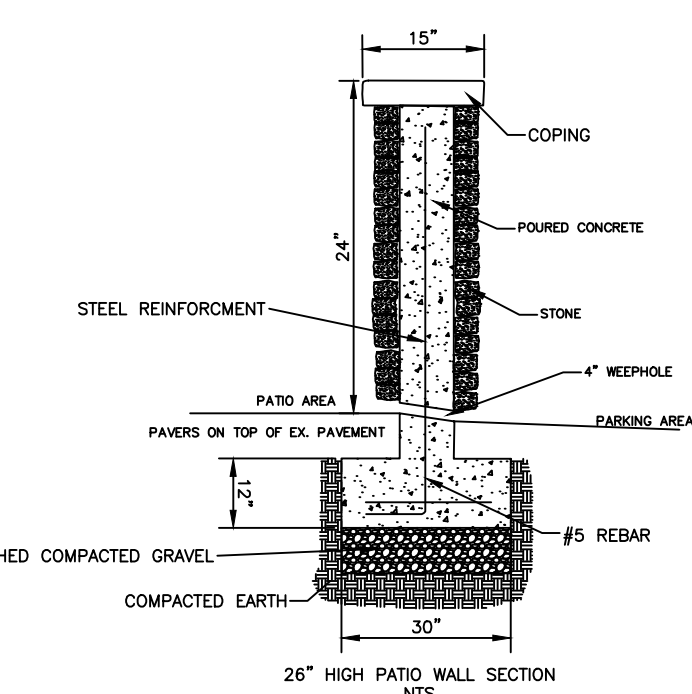
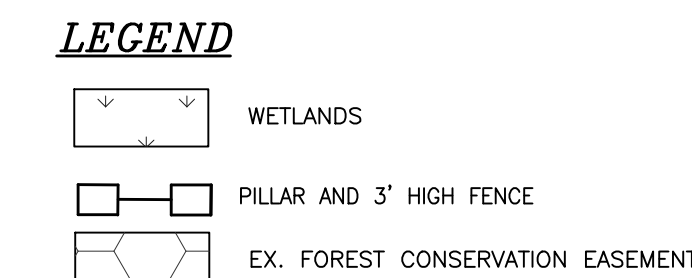
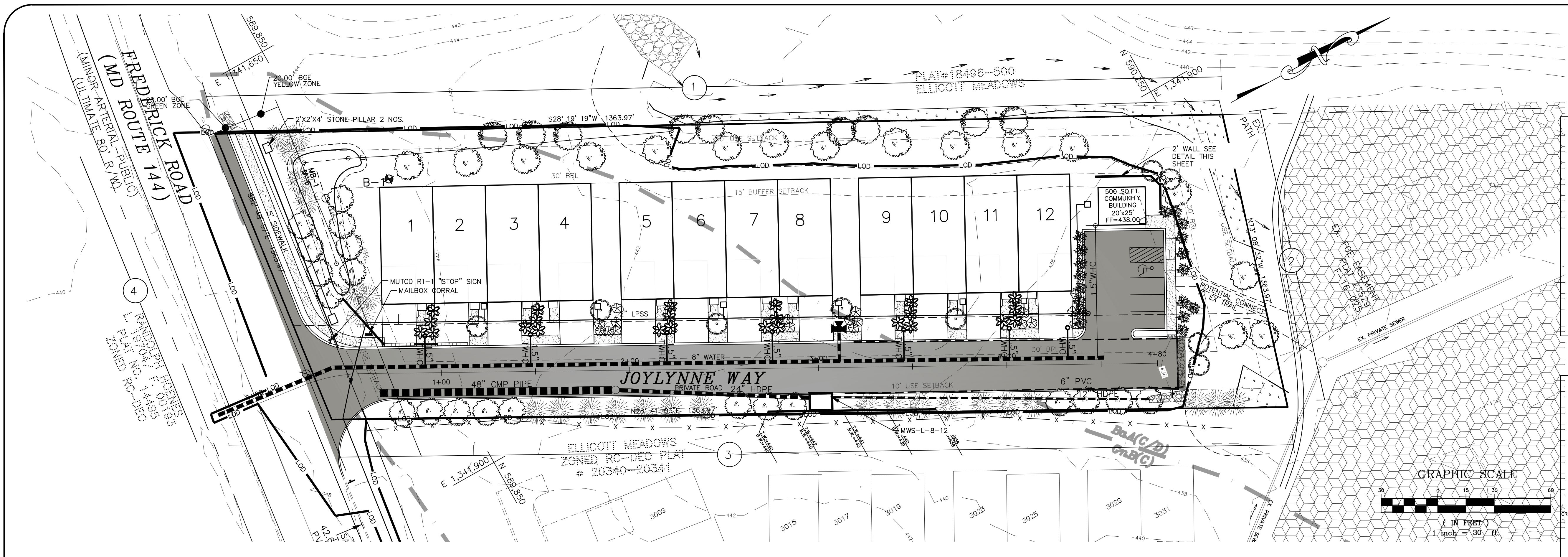
Project	21-020	date	07.25.2024
Illustration	FK	engineering	
scale	1"=30'	SAAs	
revisions		approval	SAAs

no.	description	date

**FRIENDLY INN**  
AGE RESTRICTED ADULT HOUSING  
TAX MAP: 16 - GRID: 22 - PARCEL: 98  
THIRD ELECTION DISTRICT - HOWARD COUNTY, MARYLAND  
**STORM DRAIN & STORMWATER MANAGEMENT DETAILS**

**MILDENBERG, BOENDER & ASSOC., INC.**  
Engineers Planners Surveyors  
8918 FORREST ST. ELLICOTT CITY, MD 21043  
(410) 997-0296 Fax: (410) 997-0298 Fax





**LANDSCAPE PLANTING SCHEDULE**

SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE
	ACER SACCHARUM 'GREEN MOUNTAIN'	GREEN MOUNTAIN SUGAR MAPLE (OR EQUIVALENT)	2.5" - 3" CAL.
	PRUNUS SARGENTII	SARGENT CHERRY (OR EQUIVALENT)	2.5" - 3" CAL.
	THUJA OCCIDENTALS	ELEGANTISSIMA ABRORVITALE (OR EQUIVALENT)	6' - 8' HEIGHT

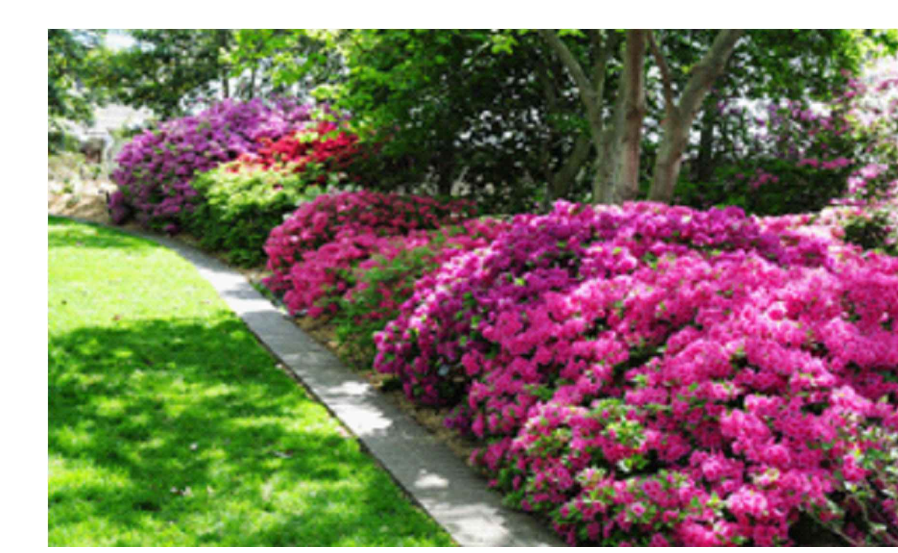
**SOILS TABLE**

SYMBOL	RATING	DESCRIPTION	K FACTOR	MAP NO.	COMMENTS
BaA	C/D	BAILE SILT LOAM, 0 TO 3 PERCENT SLOPES	0.49		
GmA	C	GLENVILLE SILT LOAM, SOMEWHAT POORLY DRAINED, 0 TO 3 PERCENT SLOPES	0.49		
GnB	C	GLENVILLE-BAILE SILT LOAMS, 0 TO 8 PERCENT SLOPES	0.49		

**SCHEDULE A : PERIMETER LANDSCAPED EDGE**

CATEGORY	ADJACENT TO PERIMETER PROPERTIES				TOTAL
	A (PERIMETER 1)	A (PERIMETER 2)	B (PERIMETER 3)	C (PERIMETER 4)	
LANDSCAPE TYPE	534.50 LF	158.90 LF	507.00 LF	163.37 LF	1,307.4 LF
LINEAR FEET OF PERIMETER					
CREDIT FOR EXISTING VEGETATION (YES, NO, LINEAR FEET)	NO	NO	NO	NO	
CREDIT FOR WALL, FENCE, OR BERM (YES, NO, LINEAR FEET)	NO	NO	NO	NO	
NUMBER OF PLANTS REQUIRED	9 SHADE TREES 0 EVERGREEN TREES 0 SHRUBS	3 SHADE TREES 0 EVERGREEN TREES 0 SHRUBS	10 SHADE TREES 13 EVERGREEN TREES 0 SHRUBS	4 SHADE TREES 21 EVERGREEN TREES 0 SHRUBS	26 SHADE TREES 21 EVERGREEN TREES 0 SHRUBS
NUMBER OF PLANTS PROVIDED	9 SHADE TREES 0 EVERGREEN TREES 0 OTHER TREES (2:1 SUBSTITUTION) 0 SHRUBS (10:1 SUBSTITUTION)	3 SHADE TREES 0 EVERGREEN TREES 0 OTHER TREES (2:1 SUBSTITUTION) 0 SHRUBS (10:1 SUBSTITUTION)	12 SHADE TREES 17 EVERGREEN TREES 0 SUBSTITUTION TREES 0 SUBSTITUTION SHRUBS	4 SHADE TREES 8 EVERGREEN TREES 0 SUBSTITUTION TREES 0 SUBSTITUTION SHRUBS	28 SHADE TREES 25 EVERGREEN TREES 0 SUBSTITUTION TREES 0 SUBSTITUTION SHRUBS

**STONE PILLAR DETAIL**



AZALEA



GREEN MOUNTAIN BOXWOOD

**PERIMETER LANDSCAPE REQUIREMENT PLANTING SCHEDULE**

QUANTITY	SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE
19		PRUNUS SARGENTII OR EQUIVALENT AS OUTLINED IN THE HOWARD COUNTY LANDSCAPE MANUAL.	SARGENT CHERRY OR EQUIVALENT AS OUTLINED IN THE HOWARD COUNTY LANDSCAPE MANUAL.	2.5" - 3" CAL.
9		ACER RUBRUM 'RED SUNSET' OR EQUIVALENT AS OUTLINED IN THE HOWARD COUNTY LANDSCAPE MANUAL.	RED SUNSET RED MAPLE OR EQUIVALENT AS OUTLINED IN THE HOWARD COUNTY LANDSCAPE MANUAL.	2.5" - 3" CAL.
25		THUJA OCCIDENTALS OR EQUIVALENT AS OUTLINED IN THE HOWARD COUNTY LANDSCAPE MANUAL.	ELEGANTISSIMA ABRORVITALE OR EQUIVALENT AS OUTLINED IN THE HOWARD COUNTY LANDSCAPE MANUAL.	6' - 8' HEIGHT
<b>TOTAL</b>				<b>28 SHADE TREES, 25 EVERGREENS</b>

**SCHEDULE B : RESIDENTIAL DEVELOPMENT INTERNAL LANDSCAPING**

NUMBER OF DWELLING LOTS	12
DWELLING TYPE	SFA
NUMBER OF PLANTS REQUIRED	12 SHADE TREES 0 EVERGREEN TREES 0 SHRUBS
NUMBER OF PLANTS PROVIDED	13 SHADE TREES 0 EVERGREEN TREES 0 OTHER TREES (2:1 SUBSTITUTION) 0 SHRUBS (10:1 SUBSTITUTION)

**FOREST CONSERVATION WORKSHEET FOR:**

Net Tract Area	A = Total (Gross) Tract Area	B = Area within 100-year Floodplain	C = Other Deductions (Identify)	D = Net Tract Area	E = Afforestation Threshold (Net Tract Area x 15%)	F = Reforestation Threshold (Net Tract Area x 20%)
Existing Forest Cover	G = Existing Forest Cover within the Net Tract Area	H = Area of Forest above Afforestation Threshold	I = Area of Forest above Reforestation Threshold	J = Break Even Point	K = Forest Clearing Permitted without Mitigation	L = Total Area of Forest to be Cleared
Proposed Forest Clearing	M = Total Area of Forest to be Cleared	N = Reforestation for Clearing above the Reforestation Threshold	O = Reforestation for Clearing below the Reforestation Threshold	P = Credit for Retention above the Reforestation Threshold	Q = Total Reforestation Required	R = Total Afforestation Required
Planting Requirements Inside Watershed	S = Total Afforestation Required	T = Total Reforestation and Afforestation Requirement	U = 75% of Total Obligation (Retention + Planting)	V = Planting Required Onsite to meet 75% Obligation	W = Total Planting within Development Site Watershed	X = Total Afforestation Required
Planting Requirements Outside Watershed	Y = Remaining Planting within Watershed for Reforestation Credit	Z = Reforestation for Clearing above the Reforestation Threshold	AA = Reforestation for Clearing below the Reforestation Threshold	BB = Credit for Retention above the Reforestation Threshold	CC = Total Reforestation Required	DD = Total Afforestation and Reforestation Requirement



ELEGANTISSIMA ABRORVITALE



WHITE FLOWERING DOGWOOD



FORSYTHIA



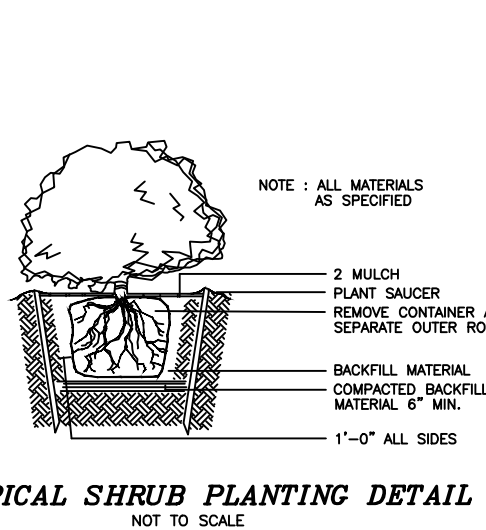
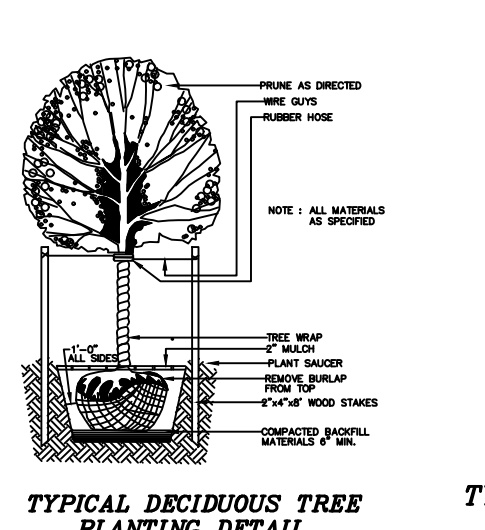
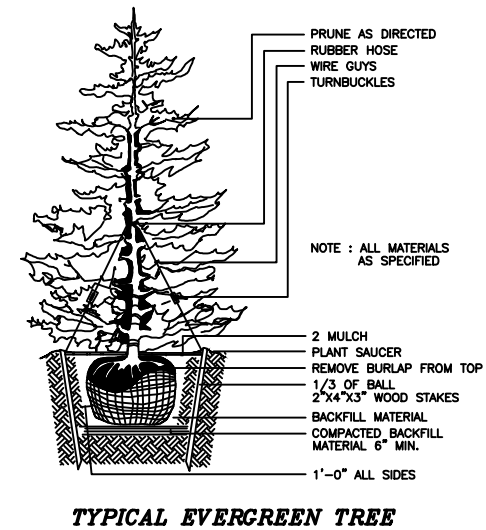
GREEN MOUNTAIN SUGAR MAPLE

**ADDITIONAL INTERNAL LANDSCAPE PROVIDED**

QUANTITY	SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE
9		CORNUS FLORIDA 'RUBRA' OR EQUIVALENT AS OUTLINED IN THE HOWARD COUNTY LANDSCAPE MANUAL.	RED FLOWERING DOGWOOD OR EQUIVALENT AS OUTLINED IN THE HOWARD COUNTY LANDSCAPE MANUAL.	8' - 10' HEIGHT
24		SEBOLD WEeping FORSYTHIA OR EQUIVALENT AS OUTLINED IN THE HOWARD COUNTY LANDSCAPE MANUAL.	SEBOLD WEeping FORSYTHIA OR EQUIVALENT AS OUTLINED IN THE HOWARD COUNTY LANDSCAPE MANUAL.	2' - 2.5' HEIGHT
18		AZALEA 'HERSHEY RED' OR EQUIVALENT AS OUTLINED IN THE HOWARD COUNTY LANDSCAPE MANUAL.	HERSHEY RED AZALEA OR EQUIVALENT AS OUTLINED IN THE HOWARD COUNTY LANDSCAPE MANUAL.	18" - 24" SPREAD
18		BUXUS 'GREEN MOUNTAIN' OR EQUIVALENT AS OUTLINED IN THE HOWARD COUNTY LANDSCAPE MANUAL.	BOXUS 'GREEN MOUNTAIN' OR EQUIVALENT AS OUTLINED IN THE HOWARD COUNTY LANDSCAPE MANUAL.	18" - 24" SPREAD
4		PRUNUS SARGENTII OR EQUIVALENT AS OUTLINED IN THE HOWARD COUNTY LANDSCAPE MANUAL.	SARGENT CHERRY OR EQUIVALENT AS OUTLINED IN THE HOWARD COUNTY LANDSCAPE MANUAL.	2.5" - 3" CAL.
<b>TOTAL</b>				<b>13 SHADE TREES, 60 SHRUBS</b>

**INTERNAL LANDSCAPE PLANTING SCHEDULE**

QUANTITY	SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE
13		PRUNUS SARGENTII	SARGENT CHERRY OR EQUIVALENT	2 1/2" - 3" CAL.
<b>TOTAL</b>				<b>13 INTERNAL LANDSCAPE TREES</b>



**DEVELOPER'S/OWNER'S CERTIFICATE**

I/WE CERTIFY THAT THE LANDSCAPING SHOWN ON THIS PLAN WILL BE DONE ACCORDING TO THE PLAN, SECTION 16.124 OF THE HOWARD COUNTY CODE, AND THE HOWARD COUNTY LANDSCAPE MANUAL. I/WE FURTHER CERTIFY THAT UPON COMPLETION A CERTIFICATION OF LANDSCAPE INSTALLATION, ACCOMPANIED BY AN EXECUTED ONE-YEAR GUARANTEE OF PLANT MATERIALS, WILL BE SUBMITTED TO THE DEPARTMENT OF PLANNING AND ZONING.

Signed by: DATE: 7/26/2024

OWNER

APPROVED: DEPARTMENT OF PLANNING AND ZONING 9/5/2024

CHIEF, DEVELOPMENT ENGINEERING DIVISION 9/9/2024 DATE

CHIEF, DIVISION OF LAND DEVELOPMENT 9/9/2024 DATE

DIRECTOR, DEPARTMENT OF PLANNING AND ZONING

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 26859, EXP. DATE 08/08/25

Signed by: DATE: 7/25/2024

SAMER ALOMER, P.E. DATE:

**DEVELOPER**

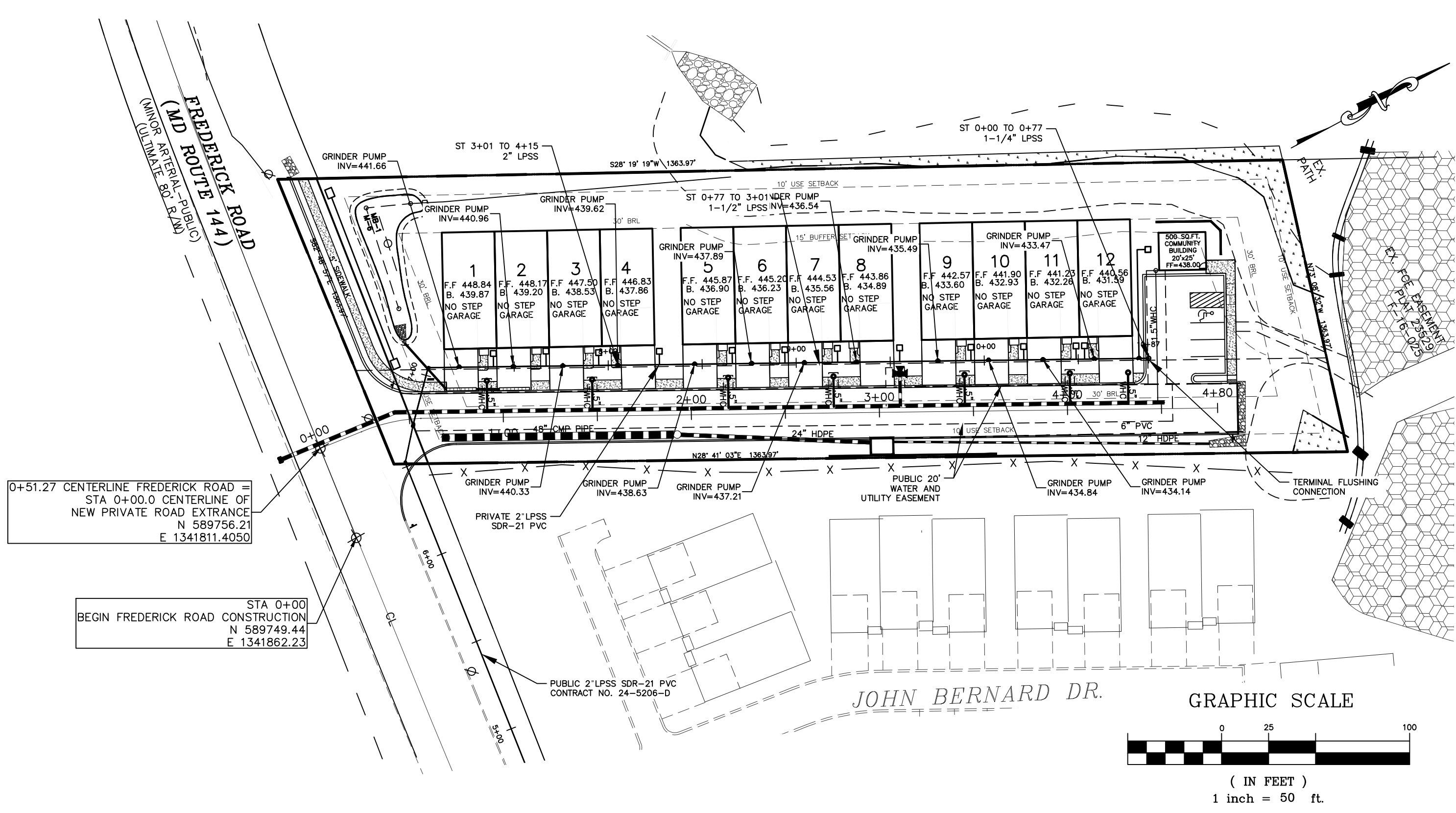
FRIENDLY INN DEVELOPMENT COMPANY LLC  
8318 FORREST ST., SUITE 200  
ELLCOTT CITY, MD 21042  
410 992 4600

Project	date	07.25.2024
21-020	illustration	engineering
FK	SAA	approval
scale	1" = 30'	SAA

no.	description	revisions	date

**FRIENDLY INN**  
AGE RESTRICTED ADULT HOUSING  
TAX MAP: 16 - GRID: 22 - PARCEL: 98  
THIRD ELECTION DISTRICT  
HOWARD COUNTY, MARYLAND  
**LANDSCAPE PLAN & DETAILS**

**MILDENBERG, BOENDER & ASSOC., INC.**  
Engineers Planners Surveyors  
8318 FORREST ST. ELLICOTT CITY, MD 21043  
(410) 997-0296 Ball. (410) 997-0298 Fax.



QUANTITY TABLE				
ITEMS	QUANTITIES ESTIMATED	QUANTITIES		
		QUANTITIES	TYPE	MANUFACTURED/SUPPLIER
2" SDR-21 PVC	470 LF			
1.5" SHC	156 LF			
1.5" X 2" TEE	13 EACH			
2" 90 DEG BEND	1 EACH			

NAME OF UTILITY CONTRACTOR:  
SURVEY AND DRAFTING DIVISION AS BUILT

NOTE:  
ALL INDIVIDUAL LOW PRESSURE PVC PIPES FROM UNITS TO MAIN ARE 1.25"

**E/ONE EXTREME**

## DH151/DR151

**General Features**

- The model DH151 or DR151 grinder pump station is a complete unit that includes: the grinder pump, check valve, polyethylene tank, controls, and alarm panel.
- A single DH151 or DR151 is a popular choice for up to two, average single-family homes and can also be used for up to six average single-family homes where codes allow and with consent of the factory.
- Rated for flows of 1500 gpd (5678 lpd)
- 150 gallons (568 liters) of capacity
- Indoor or outdoor installation
- Standard outdoor heights range from 63 inches to 160 inches

**Operational Information**

**Motor**  
1 hp, 1,725 rpm, high torque, capacitor start, thermally protected, 120/240V, 60 Hz, 1 phase

**Inlet Connections**  
4-inch inlet grommet standard for DWV pipe. Other inlet configurations available from the factory.

**Discharge Connections**  
Pump discharge terminates in 1.25-inch NPT female thread. Can easily be adapted to 1.25-inch PVC pipe or any other material required by local codes.

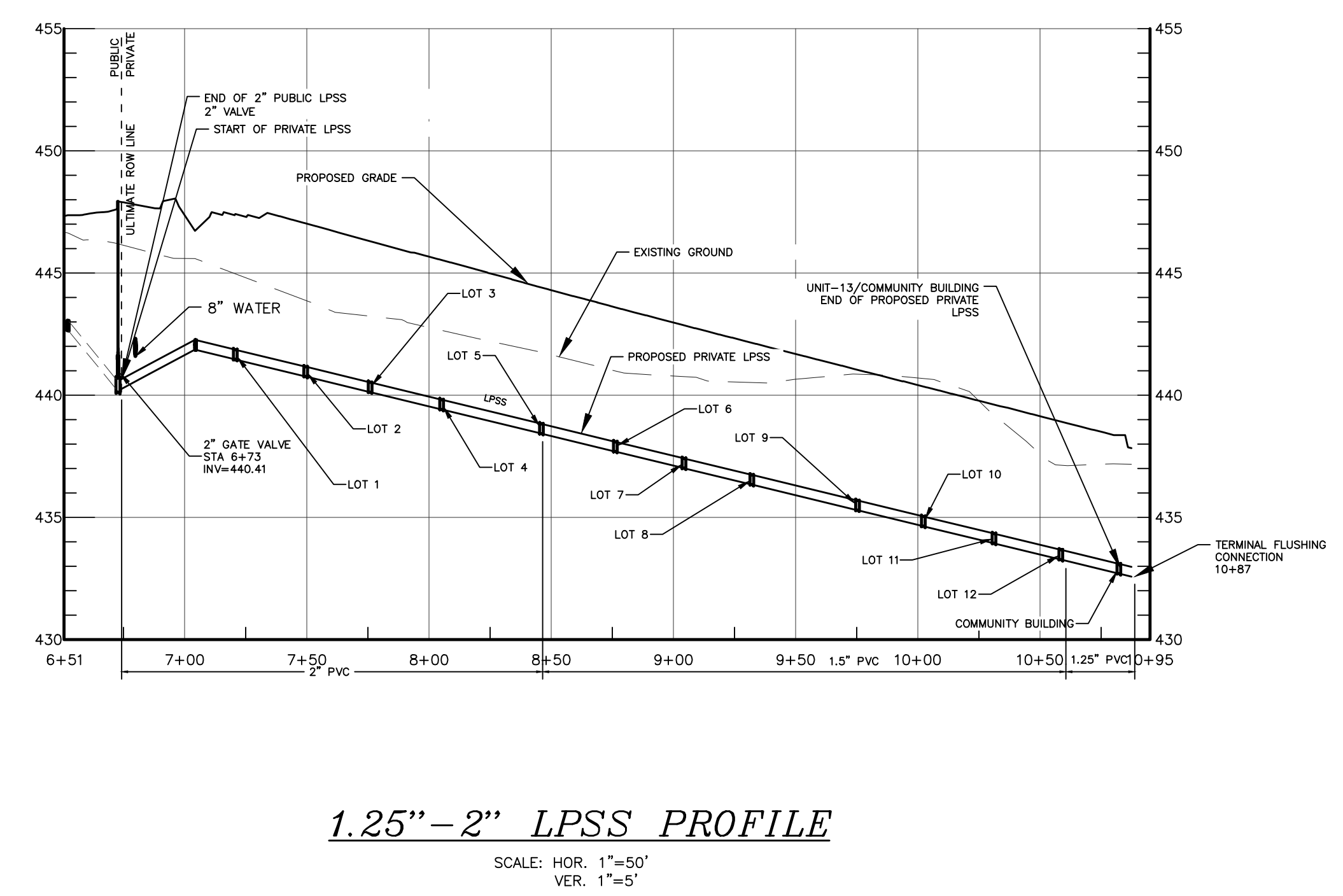
**Discharge**  
15 gpm at 0 psig (0.95 lps at 0 m)  
11 gpm at 40 psig (0.69 lps at 26 m)  
7.8 gpm at 80 psig (0.49 lps at 56 m)

**Accessories**  
E/One requires that the Uni-Lateral, E/One's own stainless steel check valve, be installed between the grinder pump station and the street main for added protection against backflow.

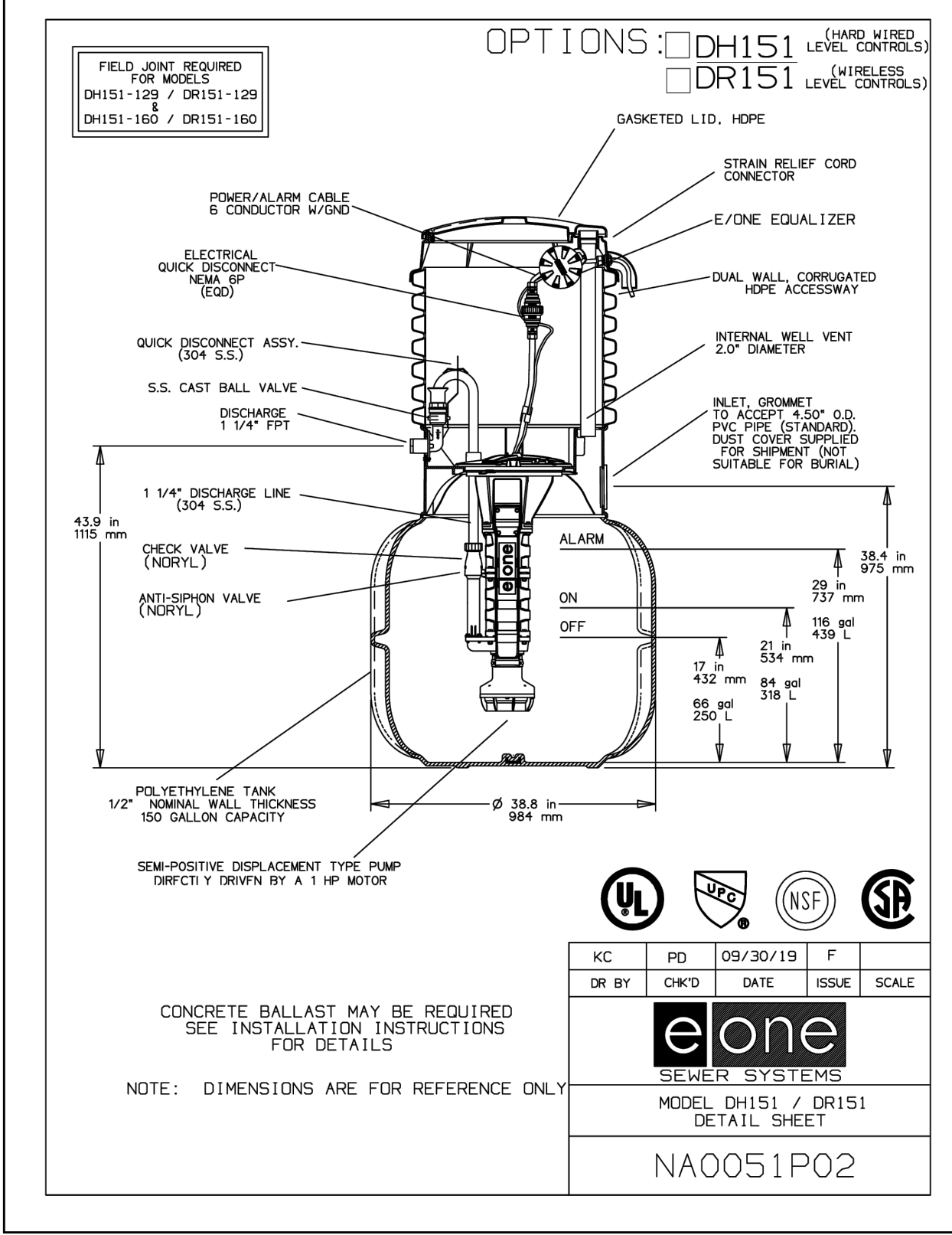
Alarm panels are available with a variety of options, from basic monitoring to advanced notice of service requirements.

The Remote Sentry is ideal for installations where the alarm panel may be hidden from view.

NA0051P01 Rev E

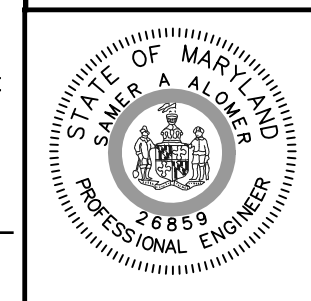


PUMP MODEL NUMBER AND INVERTS		
UNIT NO.	PUMP MODEL	INVERT IN AT PUMP CHAMBER
UNIT 1	DH151-160	437.83
UNIT 2	DH151-160	437.16
UNIT 3	DH151-160	436.49
UNIT 4	DH151-160	436.49
UNIT 5	DH151-160	434.90
UNIT 6	DH151-160	434.23
UNIT 7	DH151-160	433.56
UNIT 8	DH151-160	432.89
UNIT 9	DH151-160	431.60
UNIT 10	DH151-160	430.93
UNIT 11	DH151-160	430.26
UNIT 12	DH151-160	429.59
COMMUNITY BUILDING	DH071-61	436.00



Y:\21020\Friendly\enr\Engineering\Drawings\SDP\2021-020-SDP-REV\02.dwg, 7/25/2024 4:26:12 PM, SamerAlomer, 1:1

APPROVED: DEPARTMENT OF PLANNING AND ZONING	9/5/2024
CHIEF, DEVELOPMENT ENGINEERING DIVISION	9/9/2024
CHIEF, DIVISION OF LAND MANAGEMENT	9/9/2024
DIRECTOR, DEPARTMENT OF PLANNING AND ZONING	



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DocuSigned by:  
**Samer Alomer**  
7/25/2024

SAMER A. ALOMER, P.E. DATE:

**DEVELOPER**  
FRIENDLY INN DEVELOPMENT COMPANY, LLC.  
8318 FORREST ST. SUITE 200  
ELLICOTT CITY, MD 21042  
410 992 4600

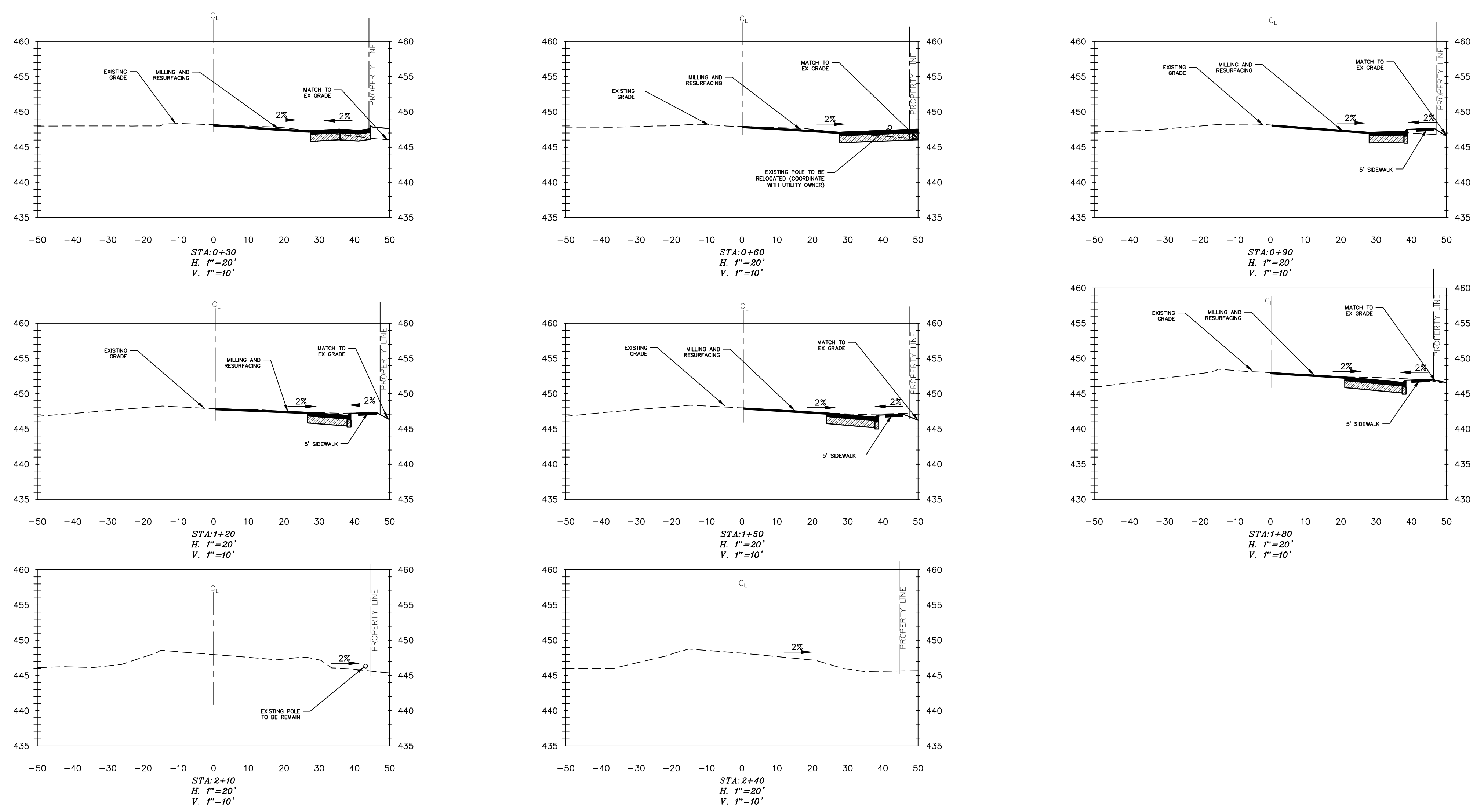
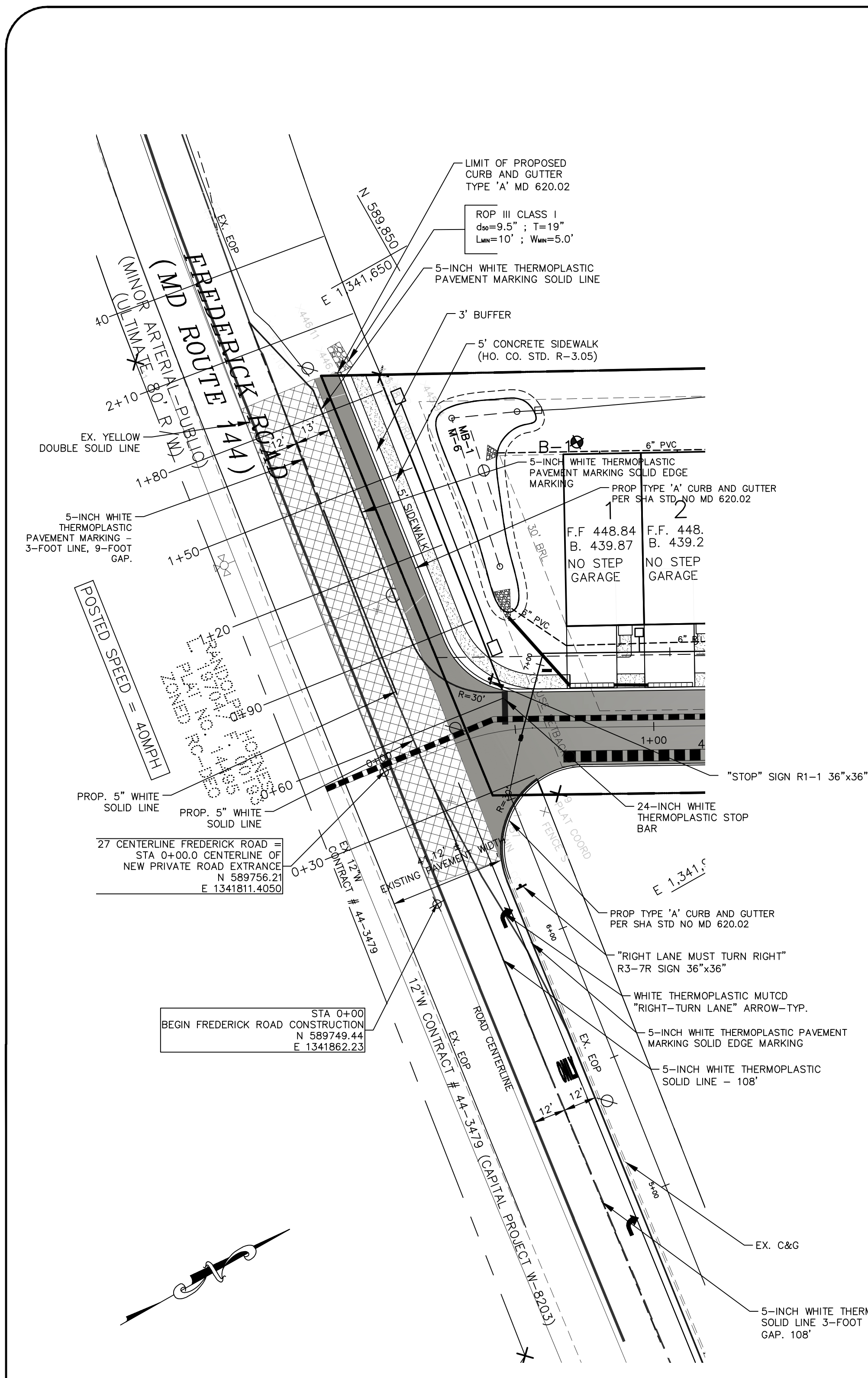
date 06.18.2024  
Project 21-020  
Illustration FK  
Scale 1"=30'  
Approval SAA

date  
description  
revisions

FRIENDLY INN  
AGE RESTRICTED ADULT HOUSING  
TAX MAP: 16 - GRID: 22 - PARCEL: 98  
THIRD ELECTION DISTRICT - HOWARD COUNTY, MARYLAND

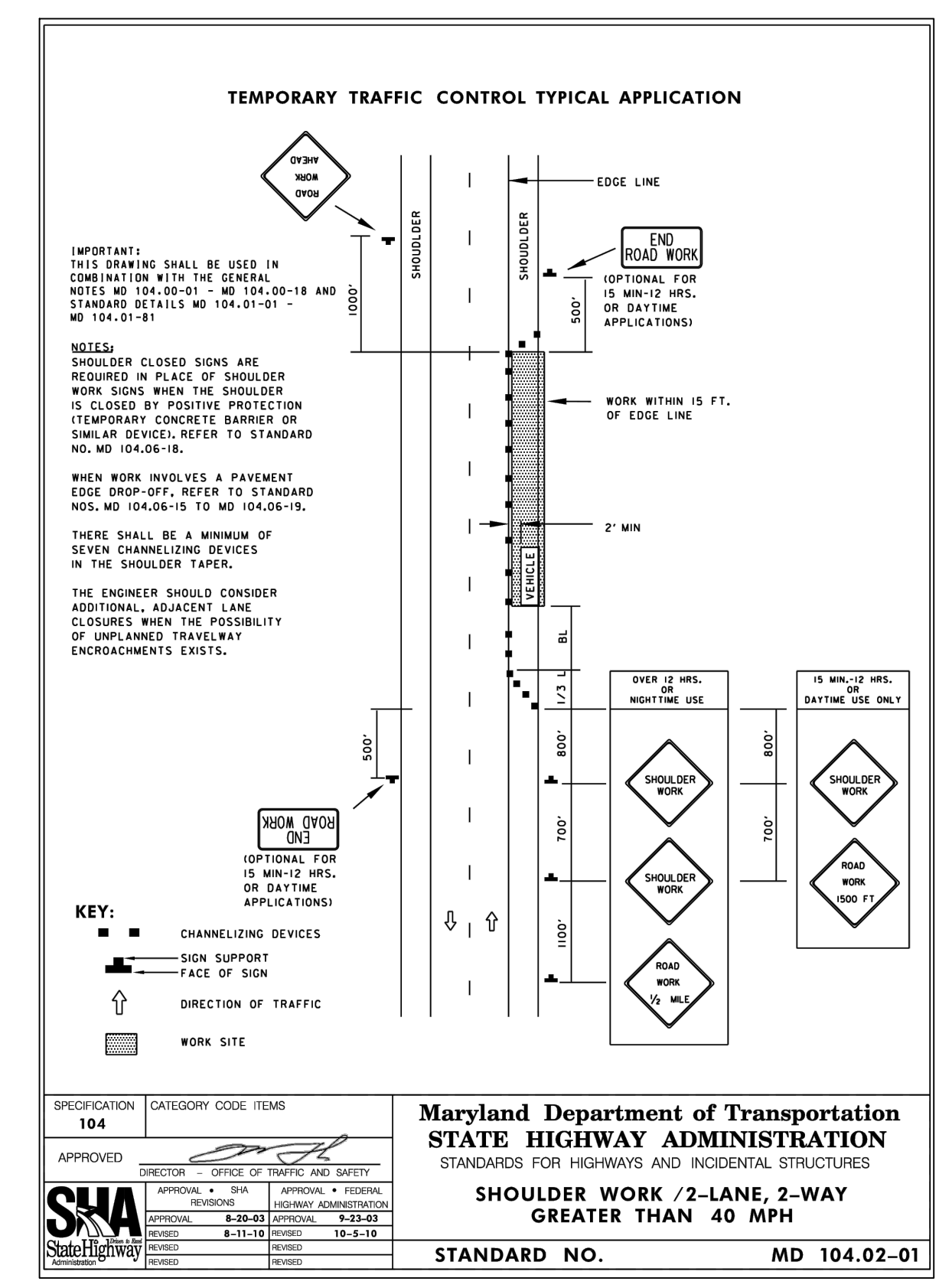
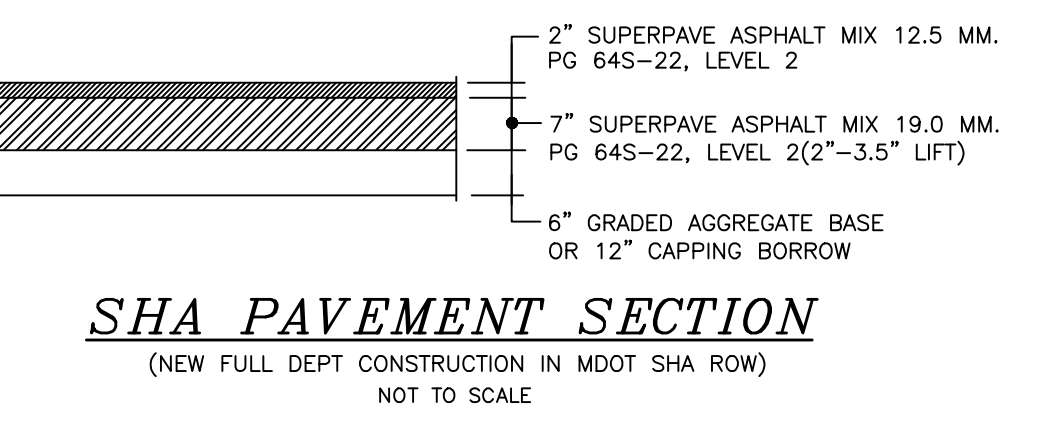
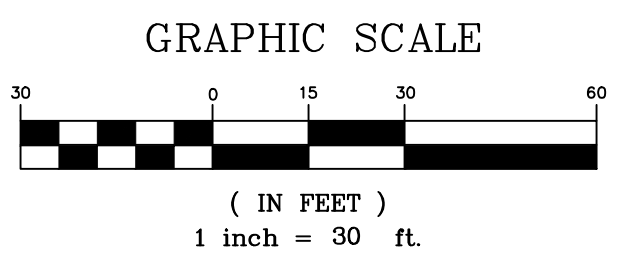
PROPOSED 2" PRIVATE LPSS PLAN & PROFILE

MILDENBERG, BOENDER & ASSOC., INC.  
Engineers Planners Surveyors  
8318 FORREST ST. ELLICOTT CITY, MD 21043  
(410) 997-0296 Fax (410) 997-0298 Fax



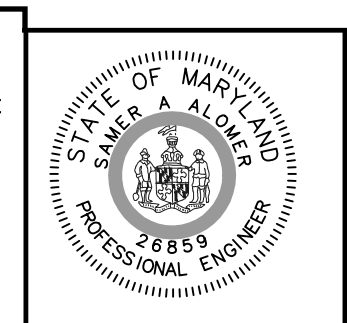
**LEGEND**

- FULL DEPTH PAVING (SECTION)
- MILL AND OVERLAY (SECTION)
- EXISTING ROW (SECTION)
- ROAD CENTERLINE (SECTION)
- PROPOSED CURB (SECTION)
- FULL DEPTH PAVING SECTION (PLAN)
- MILL AND OVERLAY (PLAN)



**DEVELOPER**  
 FRIENDLY INN DEVELOPMENT  
 COMPANY, LLC  
 8318 FORREST ST, SUITE 200  
 ELLICOTT CITY, MD 21042  
 410 992 4600

APPROVED: DEPARTMENT OF PLANNING AND ZONING	9/5/2024
CHIEF, DEVELOPMENT ENGINEERING DIVISION	9/9/2024
CHIEF, DIVISION OF LAND MANAGEMENT	9/9/2024
DIRECTOR, DEPARTMENT OF PLANNING AND ZONING	



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**Samer Alomer** 7/25/2024  
 SAMER A. ALOMER, P.E. DATE:

Project	date	06.18.2024
21-020	illustration	engineering
FK	scale	SAA
	revisions	approval
		SA

Project	date	06.18.2024
21-020	illustration	engineering
FK	scale	SAA
	revisions	approval
		SA

**FRIENDLY INN**  
 AGE RESTRICTED ADULT HOUSING  
 TAX MAP: 16 - GRID: 22 - PARCEL: 98  
 THIRD ELECTION DISTRICT HOWARD COUNTY, MARYLAND  
**RT 144 ROAD IMPROVEMENT PLAN**

**MILDENBERG, BOENDER & ASSOC., INC.**  
 Engineers Planners Surveyors  
 8318 FORREST ST. ELLICOTT CITY, MD 21043  
 (410) 997-0296 Fax. (410) 997-0298 Fax.