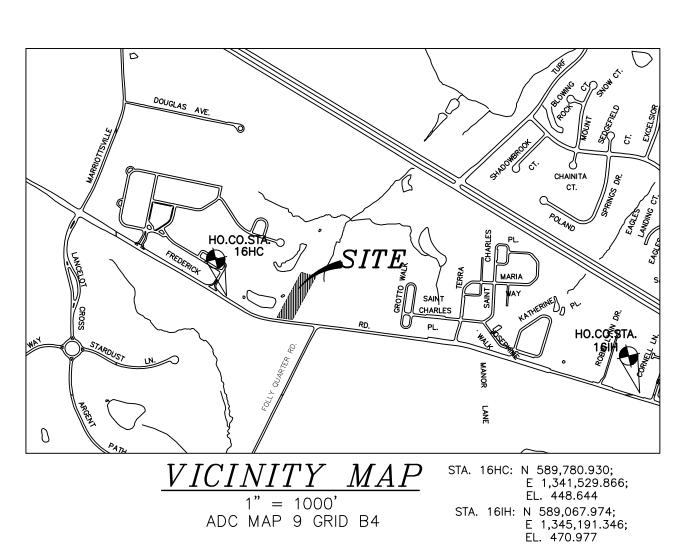


DATE:

UNIT

# SITE DEVELOPMENT PLAN FRIENDLY INN AGE RESTRICTED ADULT HOUSING UNITS 1 THRU 12 HOWARD COUNTY, MARYLAND



## SITE ANALYSIS DATA:

- 1. AREA OF THE SITE = 1.84 AC  $\pm$
- 2. AREA OF WETLANDS AND ITS BUFFERS = 0.28 AC  $\pm$ 3. AREA OF FLOODPLAIN = 0.00 AC  $\pm$
- 4. AREA OF EXISTING FOREST = 0.0 SQ.FT.
- 5. AREA OF STREAM BUFFER = 0.00 AC  $\pm$
- 6. AREA OF STEEP SLOPES 15% OR GREATER = 0.00 AC± 7. AREA OF STEEP SLOPES 25% OR GREATER = 0.00 AC±
- 8. NET BUILDABLE AREA =  $1.56 \text{ AC} \pm$
- 9. AREA OF ERODIBLE SOILS = 1.84 AC  $\pm$ 10. LIMIT OF DISTURBANCE AREA = 1.60 AC  $\pm$
- 11. GREEN OPEN AREA (PERVIOUS) =  $0.84 \text{ AC} \pm$
- 12. PROPOSED IMPERVIOUS AREA: 1.00 AC±

BUILDING#	ADDRESS
UNIT 1	3501 JOYLYNNE WAY
UNIT 2	3503 JOYLYNNE WAY
UNIT 3	3505 JOYLYNNE WAY
UNIT 4	3507 JOYLYNNE WAY
UNIT 5	3511 JOYLYNNE WAY
UNIT 6	3513 JOYLYNNE WAY
UNIT 7	3515 JOYLYNNE WAY
UNIT 8	3517 JOYLYNNE WAY
UNIT 9	3521 JOYLYNNE WAY
UNIT 10	3523 JOYLYNNE WAY
UNIT 11	3525 JOYLYNNE WAY
UNIT 12	3527 JOYLYNNE WAY
COMMUNITY BUILDING	3531 JOYLYNNE WAY

# ADDRESS CHART

- 28. ALL OF THE PROPOSED DWELLINGS SHALL BE APPROPRIATE FOR THE AGE-RESTRICTED POPULATION AND SHALL INCLUDE DESIGN FEATURES THAT INCORPORATE UNIVERSAL DESIGN PRINCIPALS TO BE D OR ADAPTABLE FOR RESIDENTS WITH LIMITED MO OTHER AGE RELATED FUNCTIONAL LIMITATION. ALL UNITS MUST HAVE THE FOLLOWING FEATURES:
  - NO-STEP ACCESS TO THE FRONT ENTRANCE WHERE TOPOGRAPHY PERMITS, OTHERWISE Α.
  - NO-STEP SIDE OR GARAGE ENTRY TO THE FIRST FLOOR. 36" WIDE FRONT DOOR WITH EXTERIOR LIGHTING AT THE ENTRANCE.
  - ALL EXTERIOR DOORWAYS AT LEAST 32" WIDE. HALLWAYS AT LEAST 36" WIDE.
- COMPLETE LIVING AREA INCLUDING MASTER BEDROOM & BATH ON FIRST FLOOR. LEVER HANDLES ON INTERIOR AND EXTERIOR DOORS. BLOCKING FOR GRAB BARS IN BATHROOM WALLS NEAR TOILET AND SHOWER.
- SLOPES OF RAMPS ON THE EXTERIOR OF UNITS SHALL BE IN ACCORDANCE WITH CURRENT HOWARD COUNTY REGULATIONS. 29. THIS PROJECT IS SUBJECT TO MDE APPROVAL. MDE TRACKING NO. 23-NT-3224
- 30. THIS PROJECT IS SUBJECT TO ALTERNATIVE COMPLIANCE WP-23-102 OF 16.120(B)(4)(III)(D) TO PERMIT CONDOMINIUM UNITS TO BE WITHIN 15 FEET FROM PROTECTED ENVIRONMENTAL FEATURES. THE APPLICANT PROPOSES TO CONSTRUCT BUILDINGS CONTAINING CONDOMINIUM UNITS CONTAINING UNITS 5-12 AND A COMMUNITY BUILDING BETWEEN 4'TO 14' FROM A WETLAND BUFFER ON THE SUBJECT PROPERTY. APPROVAL IS SUBJECT TO THE FOLLOWING CONDITIONS THE REDUCTION OF THE SETBACK FROM ENVIRONMENTAL FEATURES ARE LIMITED TO 4'TO 14'
- FOR UNITS 5-12 AND THE COMMUNITY BUILDING AS SHOWN ON THE EXHIBIT SUBMITTED WITH THIS ALTERNATIVE COMPLIANCE. 31. PROJECT APPEARED IN FRONT OF DAP ON 08/10/2022. DAP RECOMMENDATIONS ARE: THE APPLICANT CONSIDER ADDING SHADE TREES IN BETWEEN DRIVEWAYS WITHOUT A GRINDER
- THE APPLICANT USE THE BIOSWALE FOR WATER RETENTION AND ALSO PLANTING SO IT BECOMES A BUFFER BETWEEN ADJACENT COMMUNITIES.
- THE APPLICANT TRY TO PROVIDE A TRAIL CONNECTION TO THE EXISTING TRAIL ALONG THE WETLAND AREA OF JOHN BERNARD DRIVE 32. LANDSCAPING FOR THIS PROJECT IS PROVIDED IN ACCORDANCE WITH SECTION 16.124 OF THE
- HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL. SURETY FOR 54 SHADE AND, 25 EVERGREEN TREES AND 60 SHRUBS IN THE AMOUNT OF \$21,750.00 WILL BE POSTED WITH THE DEVELOPER'S AGREEMENT. 33. MDOT SHA TRACKING NO. 23APHO008XX MILE POST: 14.2
- 34. PROJECT SUBJECT TO SCENIC ROAD REQUIREMENTS. AN EXHIBIT IS SHOWN ON SHEET 6. PLANNING BOARD REVIEW IS NOT REQUIRED SINCE THIS PROPERTY IS NOT BEING SUBDIVIDED. 35. THE OWNER, TENANT AND/OR THEIR AGENTS SHALL BE RESPONSIBLE FOR MAINTENANCE OF THE
- REQUIRED LANDSCAPING PLANT MATERIALS, BERMS, FENCES AND WALLS, ALL PLANT MATERIALS SHALL BE MAINTAINED IN GOOD GROWING CONDITION, AND WHEN NECESSARY, REPLACED WITH NEW MATERIALS TO ENSURE CONTINUED COMPLIANCE WITH APPLICABLE REGULATIONS. ALL OTHER REQUIRED LANDSCAPING SHALL BE PERMANENTLY MAINTAINED IN GOOD CONDITION, AND WHEN NECESSARY REPAIRED OR REPLACED 36. PRE-SUBMISSION COMMUNITY MEETING WAS HELD ON JUNE 6, 2022 AT THE MILLER BRANCH
- 37. ALL PLAN DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.

# PERMIT INFORMATION BLOCK

BDIVISION NAME: FRIENDLY INN	SECTION AREA: NA	PARCEL: 98			
PLOT NO.	BLOCK(S)	) ZONING TAX MAP ELECTION DISTRICT		CENSUS TRACT	
NA	22	B-1	16	3RD	603004

# STORMWATER MANAGEMENT PRACTICES

BUILDING#	MODULAR WETLAND (L-8-16) NUMBER	MICRO-BIORETENTION (M-6) NUMBER				
UNIT 1-4	1	1				
UNIT 5-9	0	0				
IT 10-12 AND COMMUNITY BUILDING	0	0				

UNITS 10-12, THE COMMUNITY BUILDING AND PART OF THE ROAD CONSTITUTE LESS THAN 50% OF THE EXISTING IMPERVIOUS. THESE AREAS ARE NOT TREATED BASED ON THE REDEVELOPMENT CRITERIA

# MIHU TRACKING CHART

TOTAL NUMBER OF LOTS/UNITS	12
NUMBER OF MIHU REQUIRED (15%)	2
NUMBER OF MIHU PROVIDED ONSITE (EXEMPT FROM APFO ALLOCATIONS)	0
NUMBER OF APFO ALLOCATION REQUIRED (REMAINING LOTS/UNITS)	0
MIHU FEE-IN-LIEU (INDICATED LOT/UNIT NUMBERS	1–12

# GENERAL NOTES

- 1. THIS SUBJECT PROPERTY IS ZONED B-1 PER THE OCTOBER 6, 2013 COMPREHENSIVE ZONING PLAN. 2. PARCEL BACKGROUND:
  - ADDRESS :11074 FREDERICK RD. ROAD, ELLICOTT CITY, MD 21042 TAX MAP 16, GRID; 022, PARCEL 98
  - ELECTION DISTRICT : THIRD DEED REFERENCE: 18045/ 00210
  - AREA : 1.84 ACRES ±
  - DPZ FILE#: ECP-22-002, ECP 22-060, BA 22-031, WP 23-102
- 3. PROPOSED USE: AGE-RESTRICTED ADULT HOUSING (SEC. 131.0.N.1.C)
  - A. PROPOSED STRUCTURE TYPE: SINGLE FAMILY ATTACHED B. GROSS AREA: 1.84 AC ±
  - AREA OF FLOODPLAIN: 0 ACRES NET AREA: 1.84 ACRES
  - ALLOWED NUMBER OF UNITS= 18 NUMBER OF UNITS PROPOSED: 12 UNITS
  - C. MAXIMUM DENSITY: 10 UNITS PER NET ACRE PROPOSED DENSITY: 6.5 UNITS PER ACRE
  - D. THE DEVELOPMENT CONFORMS TO ALL THE BULK REGULATIONS OF SECTION 131.N.1. OF THE ZONING REGULATION. SETBACK FROM RESIDENTIAL LOTS REQUIRED: 30' BRL AND 10' PARKING AND USE
  - PROVIDED: 30' BRL AND 10' PARKING AND USE
  - SETBACK FORM PUBLIC ROAD REQUIRED: 30' BRL AND 10' PARKING AND USE PROVIDED: 30' BRL AND 10' PARKING AND USE
  - F. REQUIRED OPEN SPACE: 25% = 0.46 ACRES ±. PROVIDED OPEN SPACE: 35% = 0.64 ACRES ±
  - F. NO ACCESSORY BUSINESS USES ARE PROPOSED G. REQUIRED AREA OF COMMUNITY CENTER AT 20 S.F. PER UNIT: 260 S.F.(MIN 500 SQ.FT.)
  - PROPOSED AREA OF COMMUNITY CENTER: 500 S.F. H. NO LOADING OR TRASH AREAS ARE PROPOSED. STANDARD HOUSEHOLD CONTAINERS TO BE USED.
- I. THE PROPOSED BUILDINGS ARE COMPATIBLE IN SCALE AND CHARACTER WITH THE RESIDENTIAL DEVELOPMENTS IN THE VICINITY. SETBACKS TO EXISTING LOTS MEETS OR EXCEEDS REQUIREMENTS. J. THE DEVELOPMENT WILL BE ONE (1) PHASE.
- K. THE AGE RESTRICTION REQUIREMENT WILL BE ENFORCED THROUGH THE CONDOMINIUM/HOMEOWNER ASSOCIATION COVENANTS AND AS REQUIRED BY HOWARD COUNTY. L. ALL COMMON AREAS AND RELATED IMPROVEMENTS WILL BE MANAGED BY THE CONDOMINIUM
- ASSOCIATION. M. ALL BUILDINGS SHALL CONFORM TO THE UNIVERSAL DESIGN FOR THE AGE-RESTRICTED POPULATION.
- N. THE PROJECT SHALL CONFORM TO HOWARD COUNTY'S MODERATE INCOME HOUSING REQUIREMENTS. 4. PROPERTY IS BEING DEVELOPED AS A CONDITIONAL USE FOR A 12 UNITS AGE RESTRICTED ADULT HOUSING. A CONDITIONAL USE PETITION BA-22-031C WAS APPROVED ON 5/13/2023. CONDITIONS OF APPROVAL ARE:
- 4.1. THE USES SHALL BE CONDUCTED IN CONFORMANCE WITH, AND THE CONDITIONAL USE SHALL APPLY ONLY TO THE USES AND STRUCTURES AS DESCRIBED IN THE PETITION AND SHOWN ON THE PLAN, AND NOT TO ANY OTHER ACTIVITIES, USES, STRUCTURES OR ADDITIONS ON THE PROPERTY; AND 4.2. PETITIONER SHALL COMPLY WITH ALL FEDERAL, STATE, AND LOCAL LAWS AND REGULATIONS.
- 5. BOUNDARY AND TOPOGRAPHY SHOWN HERE IS BASED ON FIELD RUN SURVEY BY MILDENBERG, BOENDER & ASSOC, INC. ON OR ABOUT APRIL. 2021.
- 6. HORIZONTAL AND VERTICAL DATUMS ARE RELATED TO THE MARYLAND STATE PLANE COORDINATE SYSTEM AS PROJECTED FROM HOWARD COUNTY CONTROL STATIONS NO. 16HC & 16IH 7. NO CEMETERIES OR HISTORIC STRUCTURES EXIST ON SITE.
- 8. NO FOREST, STREAM, OR FLOODPLAIN EXIST ON SITE.
- 9. WETLANDS EXIST ON SITE.
- 10. PROPOSED USES: AGE RESTRICTED ADULT HOUSING (12 UNITS). 11. STORMWATER MANAGEMENT WAS DESIGNED IN ACCORDANCE WITH REDEVELOPMENT AS THIS PROJECT MEETS
- THE REDEVELOPMENT CRITERIA. 12. THIS PROJECT IS A SUBJECT TO DESIGN MANUAL WAIVER FOR LOW PRESSURE SEWER SYSTEM, APPROVED ON 09/19/2022.
- 13. PARKING REQUIREMENT
- PARKING SPACES REQUIRED (2 PER UNIT): 12X2=24
- GUEST PARKING REQUIRED (0.3 PER UNITS): 12X0.3=3.6
- TOTAL UNIT PARKING REQUIRED=28 TOTAL UNIT PARKING PROVIDED=36 (1 IN GARAGE AND 2 IN DRIVEWAY)
- COMMUNITY BUILDING PARKING REQUIRED: 5
- COMMUNITY BUILDING PARKING PROVIDED: 5 TOTAL SPACES REQUIRED= 33
- TOTAL SPACES PROVIDED= 41
- 14. THIS SITE IS NOT LOCATED IN A HISTORIC DISTRICT.
- 15. FOREST STAND DELINEATION WAS PREPARED BY ECO-SCIENCE, INC. IN FEBRUARY, 2022, FOLLOWED BY FIELD REVIEW ON, APRIL 2022 TO ASSESS THE ENVIRONMENTAL CONDITIONS ON THE SITE. SEE SHEET 6 FOR ADDITIONAL FOREST CONSERVATION DETAILS. 16. THIS PROJECT IS EXEMPT FROM APFO TRAFFIC REQUIREMENTS, PROJECT GENERATES LESS THAN 5 PEAK
- HOUR TRIPS. 17. THE EXISTING STRUCTURE AND EXISTING PAVEMENT ONSITE SHALL BE REMOVED.
- 18. STORMWATER MANAGEMENT REQUIREMENTS WILL BE SATISFIED VIA MICRO-BIORETENTION (M-6) AND
- MODULAR WETLAND SYSTEM. ALL FACILITIES WILL BE PRIVATELY OWNED AND MAINTAINED. 19. FOREST CONSERVATION OBLIGATIONS IN ACCORDANCE WITH SECTION 16.1200 OF THE HOWARD COUNTY CODE AND FOREST CONSERVATION MANUAL FOR THIS PROJECT WILL BE FULFILLED BY PLACING THE 0.6 ACRES OF AFFORESTATION FOR OUTSIDE WATERSHED IN A FOREST RETENTION BANK (2:1 RATIO) AT WINCOPIA FARMS, F-13-103, AS 0.6 ACRES OF RETENTION, WINCOPIA FARMS IS LOCATED ON TAX MAP NO. 47 AND IDENTIFIED AS PARCEL 472, SITUATED ON THE EAST SIDE OF GORMAN ROAD, SHOWN ON SHEET 69 OF F-13-103.
- 20. NO GRADING, REMOVAL OF VEGETATIVE COVER OR TREES, OR PLACEMENT OF NEW PAVING OR STRUCTURES IS PERMITTED WITHIN THE LIMITS OF WETLANDS, STREAM(S), OR THEIR BUFFERS, AND FOREST CONSERVATION EASEMENT AREAS.
- A NECESSARY DISTURBANCE REQUEST FOR THE WETLAND BUFFER ALONG THE WEST PROPERTY LINE FOR THE PURPOSE OF A STORMWATER MANAGEMENT PIPE WAS APPROVED ON 02.23.2024. APPROVAL IS BASED ON THE FOLLOWING CONDITIONS:
- THE CONSTRUCTION OF AN UNDERDRAIN INTO THE WETLAND BUFFER ALONG THE WESTERN BOUNDARY OF THE PROPERTY SHALL ONLY DISTURB THE WETLAND AS DELINEATED ON THE UPDATED PLAN EXHIBITS SUBMITTED TO THE COUNTY ON JANUARY 5, 2024. THERE WILL BE NO IMPACTS TO THE WETLAND OR BUFFER LOCATED AT THE NORTHEAST CORNER OF THE SITE. ANY DISTURBANCES TO REGULATED ENVIRONMENTAL FEATURES BEYOND THIS REQUEST ARE NOT PERMITTED UNLESS THE APPLICANT SUBMITS A FORMAL REQUEST TO THE DEPARTMENT OF PLANNING & ZONING IN ACCORDANCE WITH SECTION 16.116(C).
- THE DISTURBED AREA SHALL BE STABILIZED AND SEEDED AFTER CONSTRUCTION IS COMPLETE IN ACCORDANCE WITH THE EROSION & SEDIMENT CONTROL PLAN.
- THE APPLICANT WILL BE REQUIRED TO OBTAIN ALL NECESSARY APPROVALS AND AUTHORIZATIONS BY THE MARYLAND DEPARTMENT OF THE ENVIRONMENT (MDE) AND THE U.S. ARMY CORPS OF ENGINEERS (USACE) FOR ACTIVITIES IN REGULATED AREAS PRIOR TO BEGINNING CONSTRUCTION.
- PROVIDE A FINAL EXHIBIT WHICH SHOWS FINAL UPDATED DETAILS FOR THE STORMWATER MANAGEMENT (SWM) DESIGN. ANY CHANGES TO THE DESIGN THAT INCREASE OR CHANGE THE DIMENSIONS OF THE DISTURBANCE AREA SHOWN ON THE EXHIBIT WOULD REQUIRE AN UPDATED DISTURBANCE REQUEST. THUS FOR, SWM DESIGN CHANGES ARE ONLY OUTSIDE THE WETLAND DISTURBANCE AREA.
- 21. THIS PLAN IS SUBJECT TO THE AMENDED FIFTH EDITION OF THE SUBDIVISION AND LAND DEVELOPMENT REGULATIONS (COUNCIL BILL 45-2003). DEVELOPMENT OR CONSTRUCTION OF THIS SITE MUST COMPLY WITH SETBACK AND BUFFER REGULATIONS IN EFFECT AT THE TIME OF SUBMISSION OF THE SITE DEVELOPMENT PLAN, WAIVER PETITION OR BUILDING/GRADING PERMIT
- 22. IN ACCORDANCE WITH SECTION 128 OF THE HOWARD COUNTY ZONING REGULATIONS, BAY WINDOWS, CHIMNEYS OR EXTERIOR STAIRWAYS NOT MORE THAN 16 FEET IN WIDTH MAY PROJECT NOT MORE THAN 4 FEET INTO ANY SETBACKS. PORCHES OR DECKS, OPEN OR ENCLOSED MAY PROJECT NOT MORE THAN 10
- FEET INTO THE FRONT OR REAR YARD SETBACK. 23. THE CONTRACTOR SHALL NOTIFY THE FOLLOWING UTILITIES OR AGENCIES AT LEAST 48 HOURS PRIOR TO EXCAVATION WORK BEING DONE.

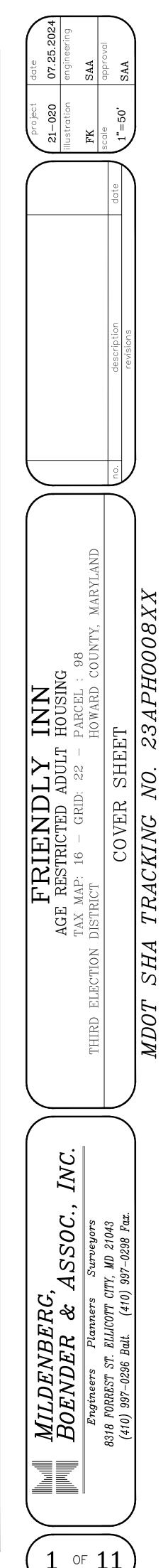
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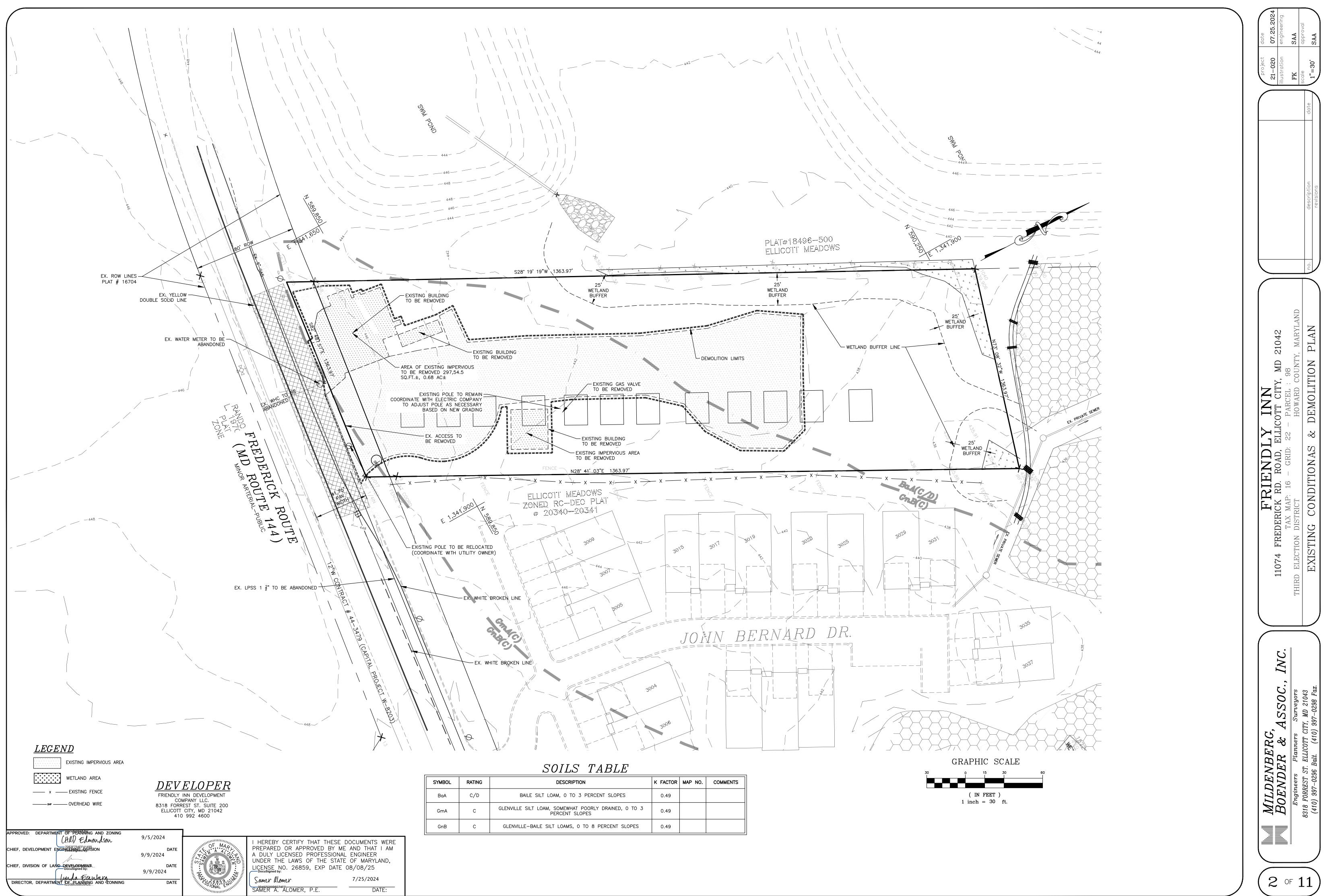
(410) 725-9976

- MISS UTILITY
- VERIZON TELEPHONE COMPANY HOWARD COUNTY BUREAU OF UTILITIES (410) 313-4900 AT&T CABLE LO BALTIMORE GAS STATE HIGHWAY

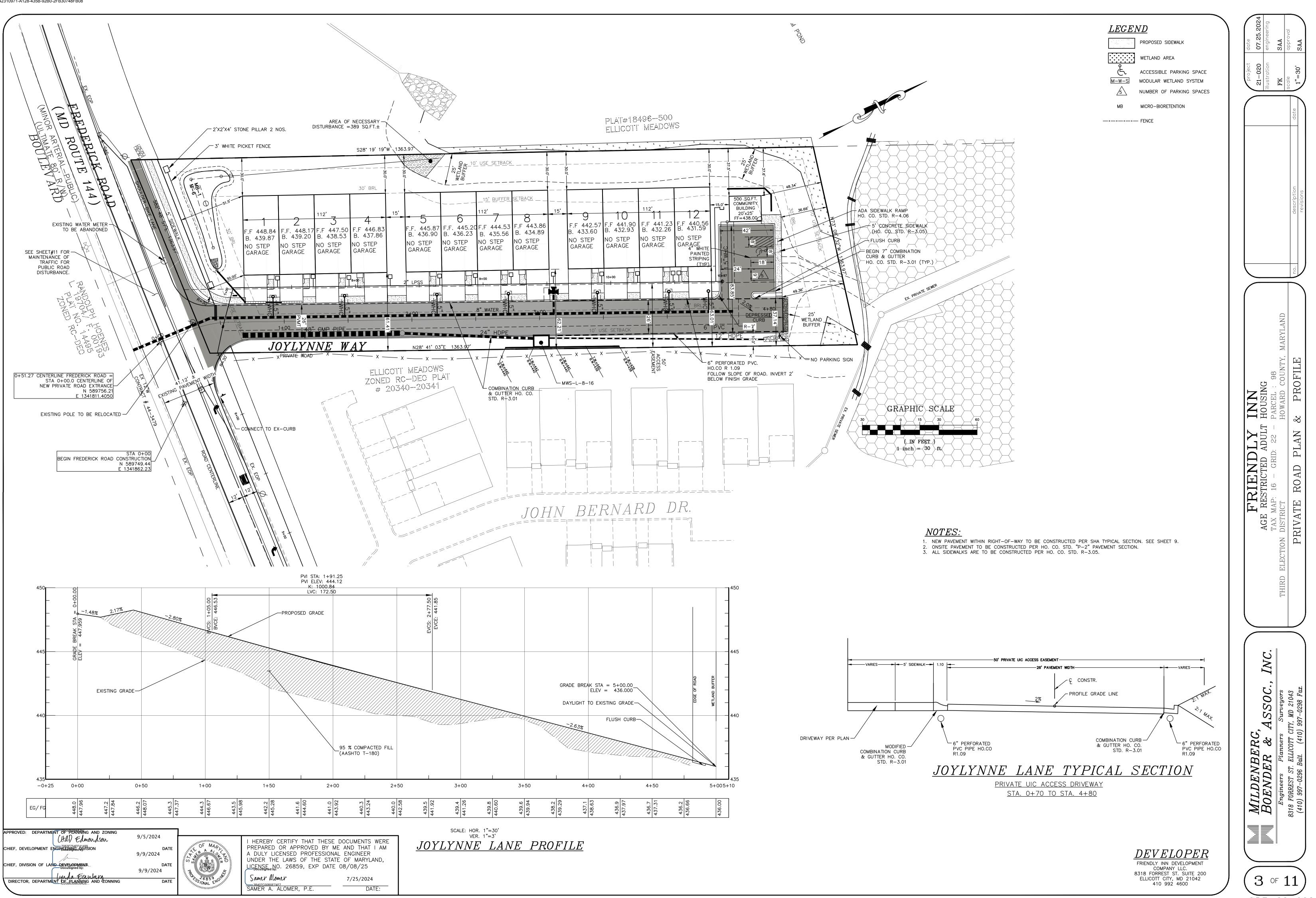
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S AND ELECTRIC	(410)	685-0	123
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ALL NOTIFY THE DEPARTME	NT OF	PUBLIC	WC

- 24. THE CONTRACTOR SHA VORKS/BUREAU OF ENGINEERING/CONSTRUCTION INSPECTION DIVISION AT (410)313-1880 AT LEAST FIVE (5) WORKING DAYS
- PRIOR TO THE START OF WORK. 25. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF HOWARD COUNTY PLUS MSHA STANDARDS AND SPECIFICATIONS IF APPLICABLE.
- 26. ANY DAMAGE TO THE COUNTY RIGHT-OF-WAY SHALL BE CORRECTED AT THE DEVELOPER'S EXPENSE. 27. TRAFFIC CONTROL DEVICES:
- a. THE R1-1 (STOP ) SIGN AND THE STREET NAME SIGN (SNS) ASSEMBLY FOR THIS DEVELOPMENT MUST BE INSTALLED BEFORE THE BASE PAVING IS COMPLETED.
- b. THE TRAFFIC CONTROL DEVICE LOCATIONS SHOWN ON THE PLANS ARE APPROXIMATE AND MUST BE FIELD APPROVED BY HOWARD COUNTY TRAFFIC DIVISION (410-313-2430) PRIOR TO THE INSTALLATION OF ANY OF THE TRAFFIC CONTROL DEVICES.
- c. ALL TRAFFIC CONTROL DEVICES AND THEIR LOCATIONS SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MARYLAND MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MDMUTCD). d. ALL SIGN POSTS USED FOR TRAFFIC CONTROL SIGNS INSTALLED IN THE COUNTY RIGHT-OF-WAY
- SHALL BE MOUNTED ON A 2" GALVANIZED STEEL, PERFORATED (QUICK PUNCH ), SQUARE TUBE POST (14 GAUGE) INSERTED INTO A 2-1/2" GALVANIZED STEEL, PERFORATED, SQUARE TUBE SLEEVE (12 GAUGE) - 3' LONG. THE ANCHOR SHALL NOT EXTEND MORE THAN TWO PUNCH HOLES ABOVE GROUND LEVEL. A GALVANIZED STEEL POLE CAP SHALL BE MOUNTED ON TOP OF EACH POST.



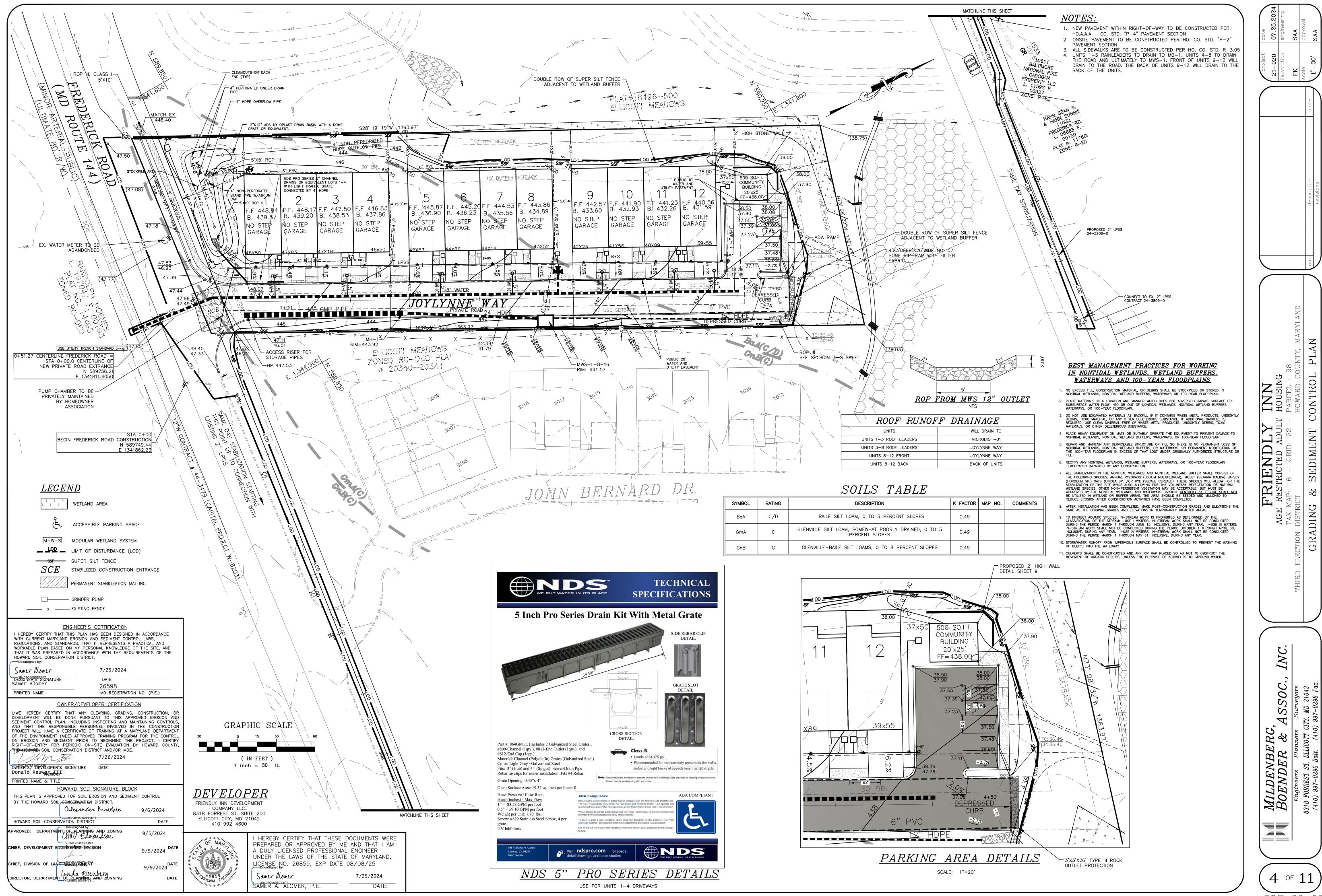


SYMBOL	RATING	DESCRIPTION	K FACTOR	MAP NO.	COMMENTS
BaA	C/D	BAILE SILT LOAM, 0 TO 3 PERCENT SLOPES	0.49		
GmA	С	GLENVILLE SILT LOAM, SOMEWHAT POORLY DRAINED, 0 TO 3 PERCENT SLOPES	0.49		
GnB	С	GLENVILLE-BAILE SILT LOAMS, 0 TO 8 PERCENT SLOPES	0.49		



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SDP-23-038



SYMBOL	RATING	DESCRIPTION
BaA	C/D	BAILE SILT LOAM, 0 TO 3 PERCENT SLOP
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GnB	С	GLENVILLE-BAILE SILT LOAMS, 0 TO 8 PERCENT

SDP-23-038

STANDARD SEDIMENT CONTROL NOTES           1. A PRE-CONSTRUCTION MEETING MUST OCCUR WITH THE HOWARD COUNT		(B-4-2) STANDARDS AND SPECIFICATIO FOR SOIL PREPARATION, TOPSOILING, AND SOIL A
WORKS, CONSTRUCTION INSPECTION DIVISION (CID), 410-313-1855 AFTE PROTECTED AREAS ARE MARKED CLEARLY IN THE FIELD. A MINIMUM OF MUST BE GIVEN AT THE FOLLOWING STAGES:		<u>DEFINITION</u> THE PROCESS OF PREPARING THE SOILS TO SUSTAIN ADEQUATE VEGETATIVE STABIL <u>PURPOSE</u>
<ul> <li>A. PRIOR TO THE START OF EARTH DISTURBANCE,</li> <li>B. UPON COMPLETION OF THE INSTALLATION OF PERIMETER EROSION A BUT BEFORE PROCEEDING WITH ANY OTHER EARTH DISTURBANCE OF</li> <li>C. PRIOR TO THE START OF ANOTHER PHASE OF CONSTRUCTION OR C GRADING UNIT,</li> <li>D. PRIOR TO THE REMOVAL OR MODIFICATION OF SEDIMENT CONTROL</li> </ul>	R GRADING, PENING OF ANOTHER	TO PROVIDE A SUITABLE SOIL MEDIUM FOR VEGETATIVE GROWTH. <u>CONDITIONS WHERE PRACTICE APPLIES</u> WHERE VEGETATIVE STABILIZATION IS TO BE ESTABLISHED. <u>CRITERIA</u> A DEPENDENTION
D. PRIOR TO THE REMOVAL OR MODIFICATION OF SEDIMENT CONTROL OTHER BUILDING OR GRADING INSPECTION APPROVALS MAY NOT BE AUTH APPROVAL BY THE INSPECTION AGENCY IS MADE. OTHER RELATED STATE SHALL BE REFERENCED, TO ENSURE COORDINATION AND TO AVOID CONF	IORIZED UNTIL THIS INITIAL AND FEDERAL PERMITS	<ul> <li>A. SOIL PREPARATION</li> <li>1. TEMPORARY STABILIZATION</li> <li>a. SEEDBED PREPARATION CONSISTS OF LOOSENING SOIL TO A DEPTH OF 3 TO SUITABLE AGRICULTURAL OR CONSTRUCTION EQUIPMENT, SUCH AS DISC HARRI</li> </ul>
<ol> <li>ALL VEGETATIVE AND STRUCTURAL PRACTICES ARE TO BE INSTALLED ACC PROVISIONS OF THIS PLAN AND ARE TO BE IN CONFORMANCE WITH THE STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CON THERETO.</li> </ol>	ORDING TO THE 2011 MARYLAND	RIPPERS MOUNTED ON CONSTRUCTION EQUIPMENT. AFTER THE SOIL IS LOOSEN OR DRAGGED SMOOTH BUT LEFT IN THE ROUGHENED CONDITION. SLOPES 3:1 ( TRACKED WITH RIDGES RUNNING PARALLEL TO THE CONTOUR OF THE SLOPE. b. APPLY FERTILIZER AND LIME AS PRESCRIBED ON THE PLANS. c. INCORPORATE LIME AND FERTILIZER INTO THE TOP 3 TO 5 INCHES OF SOIL B' SUITABLE MEANS.
3. FOLLOWING INITIAL SOIL DISTURBANCE OR RE-DISTURBANCE, PERMANENT STABILIZATION IS REQUIRED WITHIN THREE (3) CALENDAR DAYS AS TO TH PERIMETER CONTROLS, DIKES, SWALES, DITCHES, PERIMETER SLOPES, AN THAN 3 HORIZONTAL TO 1 VERTICAL (3:1); AND SEVEN (7) CALENDAR D DISTURBED AREAS ON THE PROJECT SITE EXCEPT FOR THOSE AREAS UN	HE SURFACE OF ALL D ALL SLOPES STEEPER AYS AS TO ALL OTHER	<ul> <li>2. PERMANENT STABILIZATION</li> <li>a. A SOIL TEST IS REQUIRED FOR ANY EARTH DISTURBANCE OF 5 ACRES OR MO CONDITIONS REQUIRED FOR PERMANENT VEGETATIVE ESTABLISHMENT ARE: <ol> <li>SOIL PH BETWEEN 6.0 AND 7.0.</li> <li>SOLUBLE SALTS LESS THAN 500 PARTS PER MILLION (PPM).</li> <li>SOIL CONTAINS LESS THAN 40 PERCENT CLAY BUT ENOUGH FINE GRAINED M</li> </ol> </li> </ul>
4. ALL DISTURBED AREAS MUST BE STABILIZED WITHIN THE TIME PERIOD SF ACCORDANCE WITH THE 2011 MARYLAND STANDARD AND SPECIFICATION: SEDIMENT CONTROL FOR TOPSOIL (SEC. B-4-2), PERMANENT SEEDING ( TEMPORARY SEEDING (SEC. B-4-4) AND MULCHING (SEC. B-4-3). TEM	S FOR SOIL EROSION AND (SEC. B-4-5),	PERCENT SILT PLUS CLAY) TO PROVIDE THE CAPACITY TO HOLD A MODERATI EXCEPTION: IF LOVEGRASS WILL BE PLANTED, THEN A SANDY SOIL (LESS TH CLAY) WOULD BE ACCEPTABLE. IV. SOIL CONTAINS 1.5 PERCENT MINIMUM ORGANIC MATTER BY WEIGHT. V. SOIL CONTAINS SUFFICIENT PORE SPACE TO PERMIT ADEQUATE ROOT PENETF
WITH MULCH ALONE CAN ONLY BE APPLIED BETWEEN THE FALL AND SPI THE GROUND IS FROZEN. INCREMENTAL STABILIZATION (SEC. B-4-1) SP ENFORCED IN AREAS WITH >15' OF CUT AND/OR FILL. STOCKPILES (SEC 20 FT. MUST BE BENCHED WITH STABLE OUTLET. ALL CONCENTRATED FL	ECIFICATIONS SHALL BE C. B–4–8) IN EXCESS OF OW, STEEP SLOPE, AND	<ul> <li>APPLICATION OF AMENDMENTS OR TOPSOIL IS REQUIRED IF ON-SITE SOILS DO CONDITIONS.</li> <li>GRADED AREAS MUST BE MAINTAINED IN A TRUE AND EVEN GRADE AS SPECIFIED OR OTHERWISE LOOSENED TO A DEPTH OF 3 TO 5 INCHES.</li> <li>APPLY SOIL AMENDMENTS AS SPECIFIED ON THE APPROVED PLAN OR AS INDIVIDUAL ON THE APPROVED PLAN ON AS INDIVIDUAL ON A DIFFERENCE ON THE APPROVED PLAN ON AS INDIVIDUAL ON AS INDIVIDUAL ON A DIFFERENCE ON THE APPROVED PLAN ON AS INDIVIDUAL ON AS INDIVIDUAL ON AS INDIVIDUAL ON A DIFFERENCE ON THE APPROVED PLAN ON AS INDIVIDUAL ON AS INDI</li></ul>
HIGHLY ERODIBLE AREAS SHALL RECEIVE SOIL STABILIZATION MATTING (SI 5. ALL SEDIMENT CONTROL STRUCTURES ARE TO REMAIN IN PLACE, AND AF OPERATIVE CONDITION UNTIL PERMISSION FOR THEIR REMOVAL HAS BEEN CID.	RE TO BE MAINTAINED IN	SOIL TEST. e. MIX SOIL AMENDMENTS INTO THE TOP 3 TO 5 INCHES OF SOIL BY DISKING OR RAKE LAWN AREAS TO SMOOTH THE SURFACE, REMOVE LARGE OBJECTS LIKE READY THE AREA FOR SEED APPLICATION. LOOSEN SURFACE SOIL BY DRAGGIN OTHER EQUIPMENT TO ROUGHEN THE SURFACE WHERE SITE CONDITIONS WILL I PREPARATION. TRACK SLOPES 3:1 OR FLATTER WITH TRACKED EQUIPMENT LEA IRREGULAR CONDITION WITH RIDGES RUNNING PARALLEL TO THE CONTOUR OF
6. SITE ANALYSIS: TOTAL AREA OF SITE:1.84ACRES AREA DISTURBED:1.60ACRES AREA TO BE ROOFED OR PAVED:1.00ACRES AREA TO BE VEGETATIVE STABILIZED:0.84ACRES		1 TO 3 INCHES OF SOIL LOOSE AND FRIABLE. SEEDBED LOOSENING MAY BE UP DISTURBED AREAS. <u>B. TOPSOILING</u>
AREA TO BE VEGETATIVE STABILIZED:0.84ACRES TOTAL CUT:599CU. YDS. TOTAL FILL:4462CU. Y OFFSITE WASTE/BORROW LOCATION:AREA WITH APPROVED GRADI	DS. NG PERMIT	2. TOPSOIL SALVAGED FROM AN EXISTING SITE MAY BE USED PROVIDED IT MEETS
<ol> <li>ANY SEDIMENT CONTROL PRACTICE WHICH IS DISTURBED BY GRADING AC UTILITIES MUST BE REPAIRED ON THE SAME DAY OF DISTURBANCE.</li> <li>ADDITIONAL SEDIMENT CONTROL MUST BE PROVIDED, IF DEEMED NECE</li> </ol>		FORTH IN THESE SPECIFICATIONS. TYPICALLY, THE DEPTH OF TOPSOIL TO BE S TYPE CAN BE FOUND IN THE REPRESENTATIVE SOIL PROFILE SECTION IN THE S USDA-NRCS. 3. TOPSOILING IS LIMITED TO AREAS HAVING 2:1 OR FLATTER SLOPES WHERE:
BY THE CID. THE SITE AND ALL CONTROLS SHALL BE INSPECTED BY AND THE NEXT DAY AFTER EACH RAIN EVENT. A WRITTEN REPORT BY AVAILABLE UPON REQUEST, IS PART OF EVERY INSPECTION AND SHOU —INSPECTION DATE	THE CONTRACTOR WEEKLY; THE CONTRACTOR, MADE JLD INCLUDE:	<ul> <li>a. THE TEXTURE OF THE EXPOSED SUBSOIL/PARENT MATERIAL IS NOT ADEQUATE GROWTH.</li> <li>b. THE SOIL MATERIAL IS SO SHALLOW THAT THE ROOTING ZONE IS NOT DEEP E OR FURNISH CONTINUING SUPPLIES OF MOISTURE AND PLANT NUTRIENTS.</li> <li>c. THE ORIGINAL SOIL TO BE VEGETATED CONTAINS MATERIAL TOXIC TO PLANT G THE ORIGINAL SOIL TO BE VEGETATED CONTAINS MATERIAL TOXIC TO PLANT G THE ORIGINAL SOIL TO BE VEGETATED CONTAINS MATERIAL TOXIC TO PLANT G THE ORIGINAL SOIL TO BE VEGETATED CONTAINS MATERIAL TOXIC TO PLANT G THE ORIGINAL SOIL TO BE VEGETATED CONTAINS MATERIAL TOXIC TO PLANT G THE ORIGINAL SOIL TO BE VEGETATED CONTAINS MATERIAL TOXIC TO PLANT G THE ORIGINAL SOIL TO BE VEGETATED CONTAINS MATERIAL TOXIC TO PLANT G THE ORIGINAL SOIL TO BE VEGETATED CONTAINS MATERIAL TOXIC TO PLANT G THE ORIGINAL SOIL TO BE VEGETATED CONTAINS MATERIAL TOXIC TO PLANT G THE ORIGINAL SOIL TO BE VEGETATED CONTAINS MATERIAL TOXIC TO PLANT G THE ORIGINAL SOIL TO BE VEGETATED CONTAINS MATERIAL TOXIC TO PLANT G THE ORIGINAL SOIL TO BE VEGETATED CONTAINS MATERIAL TOXIC TO PLANT G THE ORIGINAL SOIL TO BE VEGETATED CONTAINS MATERIAL TOXIC TO PLANT G THE ORIGINAL SOIL TO PLANT THE ORIGINAL SOULT THE ORIGINAL SOULT</li></ul>
<ul> <li>-INSPECTION TYPE (ROUTINE, PRE-STORM EVENT, DURING RA</li> <li>-NAME AND TITLE OF INSPECTOR</li> <li>-WEATHER INFORMATION (CURRENT CONDITIONS AS WELL AS</li> <li>LAST RECORDED PRECIPITATION)</li> <li>-BRIEF DESCRIPTION OF PROJECT'S STATUS (E.G., PERCENT OF</li> </ul>		<ul> <li>d. THE SOIL IS SO ACIDIC THAT TREATMENT WITH LIMESTONE IS NOT FEASIBLE.</li> <li>4. AREAS HAVING SLOPES STEEPER THAN 2:1 REQUIRE SPECIAL CONSIDERATION</li> <li>5. TOPSOIL SPECIFICATIONS: SOIL TO BE USED AS TOPSOIL MUST MEET THE FOLL</li> <li>a. TOPSOIL MUST BE A LOAM, SANDY LOAM, CLAY LOAM, SILT LOAM, SANDY CLA</li> </ul>
CURRENT ACTIVITES		THE APPROPRIATE APPROVAL AUTHORITY. TOPSOIL MUST NOT BE A MIXTURE O
-IDENTIFICATION OF PLAN DEFICIENCIES -IDENTIFICATION OF SEDIMENT CONTROLS THAT REQUIRE MAIN -IDENTIFICATION OF MISSING OR IMPROPERLY INSTALLED SEDI -COMPLIANCE STATUS REGARDING THE SEQUENCE OF CONSTR STABILIZATION REQUIREMENTS -PHOTOGRAPHS -MONITORING (SAMPLING)	MENT CONTROLS UCTION AND	<ul> <li>GRASS, JOHNSON GRASS, NUT SEDGE, POISON IVY, THISTLE, OR OTHERS AS S</li> <li>C. TOPSOIL SUBSTITUTES OR AMENDMENTS, AS RECOMMENDED BY A QUALIFIED A SCIENTIST AND APPROVED BY THE APPROPRIATE APPROVAL AUTHORITY, MAY TOPSOIL.</li> <li>6. TOPSOIL APPLICATION</li> </ul>
STABILIZATION REQUIREMENTS -PHOTOGRAPHS -MONITORING/SAMPLING -MAINTENANCE AND/OR CORRECTIVE ACTION PERFORMED -OTHER INSPECTION ITEMS AS REQUIRED BY THE GENERAL P STORMWATER ASSOCIATED WITH CONSTRUCTION ACTIVITIES (NPI	ERMIT FOR DES, MDE).	<ul> <li>a. EROSION AND SEDIMENT CONTROL PRACTICES MUST BE MAINTAINED WHEN APF</li> <li>b. UNIFORMLY DISTRIBUTE TOPSOIL IN A 5 TO 8 INCH LAYER AND LIGHTLY COMP THICKNESS OF 4 INCHES. SPREADING IS TO BE PERFORMED IN SUCH A MANNE SFEDING CAN PROCEED WITH A MINIMUM OF ADDITIONAL SOIL PREPARATION AI</li> </ul>
<ol> <li>TRENCHES FOR THE CONSTRUCTION OF UTILITIES IS LIMITED TO THREE WHICH CAN AND SHALL BE BACK-FILLED AND STABILIZED BY THE EN WHICHEVER IS SHORTER.</li> </ol>	PIPE LENGTHS OR THAT D OF EACH WORKDAY,	GRADING AND SEEDBED PREPARATION.
<ol> <li>ANY MAJOR CHANGES OR REVISIONS TO THE PLAN OR SEQUENCE OF REVIEWED AND APPROVED BY THE HSCD PRIOR TO PROCEEDING WITH REVISIONS MAY ALLOWED BY THE CID PER THE LIST OF HSCD-APPROV</li> <li>DISTURBANCE SHALL NOT OCCUR OUTSIDE THE L.O.D. A PROJECT IS T</li> </ol>	CONSTRUCTION. MINOR /ED FIELD CHANGES.	<ul> <li>C. SOIL AMENDMENTS (FERTILIZER AND LIME SPECIFICATIONS)</li> <li>1. SOIL TESTS MUST BE PERFORMED TO DETERMINE THE EXACT RATIOS AND APP LIME AND FERTILIZER ON SITES HAVING DISTURBED AREAS OF 5 ACRES OR MC PERFORMED BY A RECOGNIZED PRIVATE OR COMMERCIAL LABORATORY. SOIL S ENGINEERING PURPOSES MAY ALSO BE USED FOR CHEMICAL ANALYSES.</li> </ul>
<ol> <li>DISTORBANCE SHALL NOT OCCOR OUTSIDE THE LO.D. A PROJECT IS T THAT GRADING ACTIVITIES BEGIN ON ONE GRADING UNIT (MAXIMUM ACF GRADING UNIT) AT A TIME. WORK MAY PROCEED TO A SUBSEQUENT GI LEAST 50 PERCENT OF THE DISTURBED AREA IN THE PRECEDING GRAE STABILIZED AND APPROVED BY THE CID. UNLESS OTHERWISE SPECIFIED HSCD, NO MORE THAN 30 ACRES CUMULATIVELY MAY BE DISTURBED A</li> <li>12. WASH WATER FROM ANY EQUIPMENT, VEHICLES, WHEELS, PAVEMENT, AI MUST BE TREATED IN A SEDIMENT BASIN OR OTHER APPROVED WASHC</li> </ol>		
HSCD, NO MORE THAN 30 ACRES CUMULATIVELY MAY BE DISTURBED A 12. WASH WATER FROM ANY EQUIPMENT, VEHICLES, WHEELS, PAVEMENT, AI MUST BE TREATED IN A SEDIMENT BASIN OR OTHER APPROVED WASHC	T A GIVEN TIME. ND OTHER SOURCES UT STRUCTURE.	<ul> <li>WARRANTY OF THE PRODUCER.</li> <li>LIME MATERIALS MUST BE GROUND LIMESTONE (HYDRATED OR BURNT LIME MA WHEN HYDROSEEDING) WHICH CONTAINS AT LEAST 50 PERCENT TOTAL OXIDES MAGNESIUM OXIDE). LIMESTONE MUST BE GROUND TO SUCH FINENESS THAT A PASS THROUGH A #100 MESH SIEVE AND 98 TO 100 PERCENT WILL PASS THF</li> </ul>
<ol> <li>TOPSOIL SHALL BE STOCKPILED AND PRESERVED ON-SITE FOR REDIST GRADE.</li> <li>ALL SILT FENCE AND SUPER SILT FENCE SHALL BE PLACED ON-THE-</li> </ol>	CONTOUR, AND BE	<ol> <li>LIME AND FERTILIZER ARE TO BE EVENLY DISTRIBUTED AND INCORPORATED IN OF SOIL BY DISKING OR OTHER SUITABLE MEANS.</li> <li>WHERE THE SUBSOIL IS EITHER HIGHLY ACIDIC OR COMPOSED OF HEAVY CLAY AT THE RATE OF 4 TO 8 TONS/ACRE (200-400 POUNDS PER 1,000 SQUARE</li> </ol>
IMBERICATED AT 25' MINIMUM INTERVALS, WITH LOWER ENDS CURLED U ELEVATION. 15. STREAM CHANNELS MUST NOT BE DISTURBED DURING THE FOLLOWING	JPHILL BY 2' IN	PLACEMENT OF TOPSOIL. (B-4-8) STANDARDS AND SPECIFICATION FOR S
PERIODS (INCLUSIVE): USE I AND IP MARCH 1 – JUNE 15 USE III AND IIIP OCTOBER 1 – APRIL 30 USE IV MARCH 1 – MAY 31		DEFINITION A MOUND OR PILE OF SOIL PROTECTED BY APPROPRIATELY DESIGNED EROSION AND PURPOSE TO PROVIDE A DESIGNATED LOCATION FOR THE TEMPORARY STORAGE OF SOIL THAT EROSION, SEDIMENTATION ,AND CHANGES TO DRAINAGE PATTERNS.
16. A COPY OF THIS PLAN, THE 2011 MARYLAND STANDARDS AND SPECI 'EROSION AND SEDIMENT CONTROL AND ASSOCIATED PERMITS SHALL B AVAILABLE WHEN THE SITE IS ACTIVE.		CONDITIONS WHERE PRACTICE APPLIES STOCKPILE AREAS ARE UTILIZED WHEN IT IS NECESSARY TO SALVAGE AND STORE SO CRITERIA 1. THE STOCKPILE LOCATION AND ALL RELATED SEDIMENT CONTROL PRACTICES MUST
STANDARD STABILIZATION NOTE: FOLLOWING INITIAL SOIL DISTURBANCE OR RE-DISTURBANCE, PERMANENT OR TEMPOR COMPLETED WITHIN:	ARY STABILIZATION MUST BE	<ul> <li>THE EROSION AND SEDIMENT CONTROL PLAN.</li> <li>2. THE FOOTPRINT OF STOCKPILE MUST BE SIZED TO ACCOMMODATE THE ANTICIPATEL BASED ON A SIDE SLOPE RATIO NO STEEPER THAN 2:1. BENCHING MUST BE PROV SECTION B-3 LAND GRADING.</li> <li>3. RUNDEE FROM THE STOCKPILE AREA MUST DRAIN TO A SUITABLE SEDIMENT CONTR</li> </ul>
<ul> <li>A. THREE (3) CALENDAR DAYS AS TO THE SURFACE OF ALL PERIMETER DIKES, SV SLOPES, AND ALL SLOPES STEEPER THAN 3 HORIZONTAL TO 1 VERTICAL (3:1),</li> <li>B. SEVEN (7) CALENDAR DAYS AS TO ALL OTHER DISTURBED OR GRADED AREAS UNDER ACTIVE GRADING.</li> </ul>	AND	<ol> <li>RUNOFF FROM THE STOCKPILE AREA MUST DRAIN TO A SUITABLE SEDIMENT CONTF</li> <li>ACCESS THE STOCKPILE AREA FROM THE UPGRADE SIDE.</li> <li>CLEAR WATER RUNOFF INTO THE STOCKPILE AREA MUST BE MINIMIZED BY USE OF AN EARTH DIKE, TEMPORARY SWALE OR DIVERSION FENCE. PROVISIONS MUST BE M CONCENTRATED FLOW IN A NON-EROSIVE MANNER.</li> <li>WHERE PLINGEE CONCENTRATES ALONG THE TOP OF THE STOCKPILE FULL AN APPRICACION.</li> </ol>
		<ol> <li>WHERE RUNOFF CONCENTRATES ALONG THE TOE OF THE STOCKPILE FILL, AN APPF CONTROL PRACTICE MUST BE USED TO INTERCEPT THE DISCHARGE.</li> <li>STOCKPILE MUST BE STABILIZED IN ACCORDANCE WITH THE 3/7 DAY STABILIZATIO STANDARD B-4-I INCREMENTAL STABILIZATION AND STANDARD B-4-4 TEMPORAR</li> <li>IF THE STOCKPILE IS LOCATED ON AN IMPERVIOUS SURFACE, A LINER SHOULD BE TO FACILITATE CLEANUES STOCKPILES CONTAINING THE MATERIAL MUST.</li> </ol>
ENGINEER'S CERTIFICATION I HEREBY CERTIFY THAT THIS PLAN HAS BEEN DESIGNED IN ACCORDANCE WITH CURRENT MARYLAND EROSION AND SEDIMENT CONTROL LAWS, REGULATIONS, AND STANDARDS, THAT IT REPRESENTS A PRACTICAL AND		TO FACILITATE CLEANUP. STOCKPILES CONTAINING CONTAMINATED MATERIAL MUST SHEETING. <u>MAINTENANCE</u> THE STOCKPILE AREA MUST CONTINUOUSLY MEET THE REQUIREMENTS FOR ADEQUATE ACCORDANCE WITH SECTION B-4 VEGETATIVE STABILIZATION. SIDE SLOPES MUST BE I
REGULATIONS, AND STANDARDS, THAT IT REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE, AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT. — DocuSigned by:		THAN 2:1 RATIO. THE STOCKPILE AREA MUST BE KEPT FREE OF EROSION. IF THE VEI EXCEEDS 20 FEET FOR 2:1 SLOPES, 30 FEET FOR 3:1 SLOPES, OR 40 FEET FOR 4:1 PROVIDED IN ACCORDANCE WITH SECTION $B-3$ LAND GRADING.
Samer Alomer 7/25/2024 DESIGNER'S SIGNATURE DATE Samer Alomer 2005 OB		<u>EROSION AND SEDIMENT CONTROL NOTES</u> <ol> <li>ALL SEDIMENT CONTROL OPERATIONS ARE TO BE DONE IN ACCORDANCE WI HOWARD COUNTY VOLUME IV DESIGN MANUAL AND THE STANDARDS AND SP CONTROL IN DEVELOPING AREAS.</li> </ol>
PRINTED NAME     26598 MD REGISTRATION NO. (P.E.)       OWNER/DEVELOPER     CERTIFICATION		2. ALL EROSION AND SEDIMENT CONTROL DEVICES SHALL BE INSTALLED AS THI 3. ALL EXCAVATED MATERIALS SHALL BE STOCKPILED ON THE UPGRADE SIDE OF 4. EXCAVATION AND BACKFILL SHALL BE LIMITED TO THAT WHICH CAN BE STAB
/WE HEREBY CERTIFY THAT ANY CLEARING, GRADING, CONSTRUCTION, OR DEVELOPMENT WILL BE DONE PURSUANT TO THIS APPROVED EROSION AND SEDIMENT CONTROL PLAN, INCLUDING INSPECTING AND MAINTAINING CONTROLS, AND THAT THE RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION		<ol> <li>IMMEDIATELY FOLLOWING BACKFILL OF THE SEWER TRENCH, ALL DISTURBED IN ACCORDANCE WITH THE PERMANENT STABILIZATION AND SEEDING NOTES</li> <li>THROUGHOUT THE PROJECT, THE CONTRACTOR SHALL REGULARLY INSPECT ALL</li> </ol>
PROJECT WILL HAVE A CERTIFICATE OF TRAINING AT A MARYLAND DEPARTMENT OF THE ENVIRONMENT (MDE) APPROVED TRAINING PROGRAM FOR THE CONTROL ON EROSION AND SEDIMENT PRIOR TO BEGINNING THE PROJECT. I CERTIFY RIGHT-OF-ENTRY FOR PERIODIC ON-SITE EVALUATION BY HOWARD COUNTY,		AND PROVIDE ALL NECESSARY MAINTENANCE TO INSURE THAT ALL DEVICES 7. ALL SEDIMENT CONTROL FACILITIES SHALL REMAIN IN PLACE UNTIL PERMISSI BEEN OBTAINED FROM THE HOWARD COUNTY SEDIMENT CONTROL INSPECTOR
THE <sup>D</sup> 9425447571A02485 OWNER S/ DEVELOPER'S SIGNATURE DATE		PERMANENT SEEDING SUMMARY         NE (FROM FIGURE B.3): 6a       FERTILIZER RATE
PRINTED NAME & TITLE HOWARD SCD SIGNATURE BLOCK		RE (FROM TABLE B.3): 8     (10-20-20)       PPLICATION SEEDING DATES     SEEDING DEPTHS     N
THIS PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT. Olexander Bratchie 9/6/2024	1 TALL FESCUE	MARCH         15-MAY         15         45 LBS.         90 LBS
HOWARD SOIL CONSERVATION DATE Docusigned by: PPROVED: DEPARTMENT OF PLANNING AND ZONING HUV ELMONDSON 9/5/2024	MIXIURES 1, 4–7, 9, ANL CONTROL MAY BE USED.	I HEREBY CERTIFY THAT THESE DOCUMENTS WERE
HIEF, DEVELOPMENT ENGINPERIME DIVISION 9/9/2024 DATE	UNIT OF MARL	PREPARED OR APPROVED BY ME AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND,
HIEF, DIVISION OF LAND DESTRICTION OF LAND DESTRICTUON OF LAND DES	Ba 26859 NGW 111	LICENSE NO. 26859, EXP DATE 08/08/25 Docusigned by: Samer Alomer 7/29/2024 B318 F ELLIC

### 4-2) STANDARDS AND SPECIFICATIONS EPARATION, TOPSOILING, AND SOIL AMENDMENTS

THE SOILS TO SUSTAIN ADEQUATE VEGETATIVE STABILIZATION.

### I CONSISTS OF LOOSENING SOIL TO A DEPTH OF 3 TO 5 INCHES BY MEANS OF OR CONSTRUCTION EQUIPMENT, SUCH AS DISC HARROWS OR CHISEL PLOWS OR CONSTRUCTION EQUIPMENT. AFTER THE SOIL IS LOOSENED. IT MUST NOT BE ROLLED UT LEFT IN THE ROUGHENED CONDITION. SLOPES 3:1 OR FLATTER ARE TO BE

FERTILIZER INTO THE TOP 3 TO 5 INCHES OF SOIL BY DISKING OR OTHER

ED FOR ANY EARTH DISTURBANCE OF 5 ACRES OR MORE. THE MINIMUM SOIL

THAN 40 PERCENT CLAY BUT ENOUGH FINE GRAINED MATERIAL (GREATER THAN 30 CLAY) TO PROVIDE THE CAPACITY TO HOLD A MODERATE AMOUNT OF MOISTURE. AN ASS WILL BE PLANTED, THEN A SANDY SOIL (LESS THAN 30 PERCENT SILT PLUS

### NENT PORE SPACE TO PERMIT ADEQUATE ROOT PENETRATION. DMENTS OR TOPSOIL IS REQUIRED IF ON-SITE SOILS DO NOT MEET THE ABOVE

BE MAINTAINED IN A TRUE AND EVEN GRADE AS SPECIFIED ON THE APPROVED PLAN, HERWISE LOOSENED TO A DEPTH OF 3 TO 5 INCHES. NTS AS SPECIFIED ON THE APPROVED PLAN OR AS INDICATED BY THE RESULTS OF INTO THE TOP 3 TO 5 INCHES OF SOIL BY DISKING OR OTHER SUITABLE MEANS. SMOOTH THE SURFACE, REMOVE LARGE OBJECTS LIKE STONES AND BRANCHES, AND SEED APPLICATION. LOOSEN SURFACE SOIL BY DRAGGING WITH A HEAVY CHAIN OR ROUGHEN THE SURFACE WHERE SITE CONDITIONS WILL NOT PERMIT NORMAL SEEDBED OPES 3:1 OR FLATTER WITH TRACKED EQUIPMENT LEAVING THE SOIL IN AN MITH RIDGES RUNNING PARALLEL TO THE CONTOUR OF THE SLOPE. LEAVE THE TOP LOOSE AND FRIABLE. SEEDBED LOOSENING MAY BE UNNECESSARY ON NEWLY

### ER PREPARED SUBSOIL PRIOR TO ESTABLISHMENT OF PERMANENT VEGETATION. THE DE A SUITABLE SOIL MEDIUM FOR VEGETATIVE GROWTH. SOILS OF CONCERN HAVE LOW W NUTRIENT LEVELS, LOW PH, MATERIALS TOXIC TO PLANTS, AND/OR UNACCEPTABLE

OM AN EXISTING SITE MAY BE USED PROVIDED IT MEETS THE STANDARDS AS SET FICATIONS. TYPICALLY, THE DEPTH OF TOPSOIL TO BE SALVAGED FOR A GIVEN SOIL THE REPRESENTATIVE SOIL PROFILE SECTION IN THE SOIL SURVEY PUBLISHED BY

EXPOSED SUBSOIL/PARENT MATERIAL IS NOT ADEQUATE TO PRODUCE VEGETATIVE SO SHALLOW THAT THE ROOTING ZONE IS NOT DEEP ENOUGH TO SUPPORT PLANTS G SUPPLIES OF MOISTURE AND PLANT NUTRIENTS. BE VEGETATED CONTAINS MATERIAL TOXIC TO PLANT GROWTH.

### STEEPER THAN 2:1 REQUIRE SPECIAL CONSIDERATION AND DESIGN. S: SOIL TO BE USED AS TOPSOIL MUST MEET THE FOLLOWING CRITERIA:

SANDY LOAM, CLAY LOAM, SILT LOAM, SANDY CLAY LOAM, OR LOAMY SAND USED IF RECOMMENDED BY AN AGRONOMIST OR SOIL SCIENTIST AND APPROVED BY ROVAL AUTHORITY. TOPSOIL MUST NOT BE A MIXTURE OF CONTRASTING TEXTURED ONTAIN LESS THAN 5 PERCENT BY VOLUME OF CINDERS, STONES, SLAG, COARSE STICKS, ROOTS, TRASH, OR OTHER MATERIALS LARGER THAN 1% INCHES IN DIAMETER. OF NOXIOUS PLANTS OR PLANT PARTS SUCH AS BERMUDA GRASS, QUACK

### , NUT SEDGE, POISON IVY, THISTLE, OR OTHERS AS SPECIFIE R AMENDMENTS AS RECOMMENDED BY A QUALIFIED AGRONOMIST OR SOIL OVED BY THE APPROPRIATE APPROVAL AUTHORITY, MAY BE USED IN LIEU OF NATURAL

CONTROL PRACTICES MUST BE MAINTAINED WHEN APPLYING TOPSOIL. TOPSOIL IN A 5 TO 8 INCH LAYER AND LIGHTLY COMPACT TO A MINIMUM ES. SPREADING IS TO BE PERFORMED IN SUCH A MANNER THAT SODDING OR WITH A MINIMUM OF ADDITIONAL SOIL PREPARATION AND TILLAGE. ANY SURFACE RESULTING FROM TOPSOILING OR OTHER OPERATIONS MUST BE PREVENT THE FORMATION OF DEPRESSIONS OR WATER POCKETS. PLACED IF THE TOPSOIL OR SUBSOIL IS IN A FROZEN OR MUDDY CONDITION, WHEN SIVELY WET OR IN A CONDITION THAT MAY OTHERWISE BE DETRIMENTAL TO PROPER

ERFORMED TO DETERMINE THE EXACT RATIOS AND APPLICATION RATES FOR BOTH N SITES HAVING DISTURBED AREAS OF 5 ACRES OR MORE. SOIL ANALYSIS MAY BE OGNIZED PRIVATE OR COMMERCIAL LABORATORY. SOIL SAMPLES TAKEN FOR

### UNIFORM IN COMPOSITION, FREE FLOWING AND SUITABLE FOR ACCURATE APPLICATION PMENT. MANURE MAY BE SUBSTITUTED FOR FERTILIZER WITH PRIOR APPROVAL FROM ROVAL AUTHORITY. FERTILIZERS MUST ALL BE DELIVERED TO THE SITE FULLY LABELED PLICABLE LAWS AND MUST BEAR THE NAME, TRADE NAME OR TRADEMARK AND

BE GROUND LIMESTONE (HYDRATED OR BURNT LIME MAY BE SUBSTITUTED EXCEPT WHICH CONTAINS AT LEAST 50 PERCENT TOTAL OXIDES (CALCIUM OXIDE PLUS IESTONE MUST BE GROUND TO SUCH FINENESS THAT AT LEAST 50 PERCENT WILL MESH SIEVE AND 98 TO 100 PERCENT WILL PASS THROUGH A #20 MESH SIEVE. RE TO BE EVENLY DISTRIBUTED AND INCORPORATED INTO THE TOP 3 TO 5 INCHES

EITHER HIGHLY ACIDIC OR COMPOSED OF HEAVY CLAYS, SPREAD GROUND LIMESTONE 8 TONS/ACRE (200-400 POUNDS PER 1,000 SQUARE FEET) PRIOR TO THE

# NDARDS AND SPECIFICATION FOR STOCKPILE AREA

PROTECTED BY APPROPRIATELY DESIGNED EROSION AND SEDIMENT CONTROL MEASURES. LOCATION FOR THE TEMPORARY STORAGE OF SOIL THAT CONTROLS THE POTENTIAL FOR

# IZED WHEN IT IS NECESSARY TO SALVAGE AND STORE SOIL FOR LATER USE.

N AND ALL RELATED SEDIMENT CONTROL PRACTICES MUST BE CLEARLY INDICATED ON MENT CONTROL PLAN. KPILE MUST BE SIZED TO ACCOMMODATE THE ANTICIPATED VOLUME OF MATERIAL AND RATIO NO STEEPER THAN 2:1. BENCHING MUST BE PROVIDED IN ACCORDANCE WITH KPILE AREA MUST DRAIN TO A SUITABLE SEDIMENT CONTROL PRACTICE.

NTO THE STOCKPILE AREA MUST BE MINIMIZED BY USE OF A DIVERSION DEVISE SUCH AS SWALE OR DIVERSION FENCE. PROVISIONS MUST BE MADE FOR DISCHARGING

RATES ALONG THE TOE OF THE STOCKPILE FILL, AN APPROPRIATE EROSION/SEDIMENT BILIZED IN ACCORDANCE WITH THE 3/7 DAY STABILIZATION REQUIREMENT AS WELL AS IENTAL STABILIZATION AND STANDARD B-4-4 TEMPORARY STABILIZATION CATED ON AN IMPERVIOUS SURFACE. A LINER SHOULD BE PROVIDED BELOW THE STOCKPILE STOCKPILES CONTAINING CONTAMINATED MATERIAL MUST COVERED WITH IMPERMEABLE

CONTINUOUSLY MEET THE REQUIREMENTS FOR ADEQUATE VEGETATIVE ESTABLISHMENT IN I B-4 VEGETATIVE STABILIZATION. SIDE SLOPES MUST BE MAINTAINED AT NO STEEPER KPILE AREA MUST BE KEPT FREE OF EROSION. IF THE VERTICAL HEIGHT OF A STOCKPILE SLOPES, 30 FEET FOR 3:1 SLOPES, OR 40 FEET FOR 4:1 SLOPES, BENCHING MUST BE

### DL OPERATIONS ARE TO BE DONE IN ACCORDANCE WITH SECTION 219 OF THE JME IV DESIGN MANUAL AND THE STANDARDS AND SPECIFICATIONS FOR SEDIMENT

DIMENT CONTROL DEVICES SHALL BE INSTALLED AS THE FIRST ORDER OF BUSINESS. ALS SHALL BE STOCKPILED ON THE UPGRADE SIDE OF THE MAIN TRENCH. FILL SHALL BE LIMITED TO THAT WHICH CAN BE STABILIZED WITHIN 1 WORKING DAY. BACKFILL OF THE SEWER TRENCH, ALL DISTURBED AREAS ARE TO BE STABILIZED THE PERMANENT STABILIZATION AND SEEDING NOTES SHOWN ON THIS SHEET.

### ECT, THE CONTRACTOR SHALL REGULARLY INSPECT ALL SEDIMENT CONTROL DEVICES CESSARY MAINTENANCE TO INSURE THAT ALL DEVICES ARE IN OPERATIVE CONDITION. FACILITIES SHALL REMAIN IN PLACE UNTIL PERMISSION FOR THEIR REMOVAL HAS

410 992 4600

DATE:

SAMER A. ALOMER, P.E.

(B-4-3) STANDARDS AND SPECIFICATIONS FOR SEEDING AND MULCHING

**DEFINITION** THE APPLICATION OF SEED AND MULCH TO ESTABLISH VEGETATIVE COVER. <u>PURPOSE</u>

### O PROTECT DISTURBED SOILS FROM EROSION DURING AND AT THE END OF CONSTRUCTION. CONDITIONS WHERE PRACTICE APPLIES TO THE SURFACE OF ALL PERIMETER CONTROLS, SLOPES, AND ANY DISTURBED AREA NOT UNDER ACTIVE GRADING. CRITERIA A. SEEDING

### 1. SPECIFICATIONS a. ALL SEED MUST MEET THE REQUIREMENTS OF THE MARYLAND STATE SEED LAW. ALL SEED MUST BE SUBJECT TO RE-TESTING BY A RECOGNIZED SEED LABORATORY. ALL SEED USED MUST HAVE BEEN TESTED WITHIN THE 6 MONTHS IMMEDIATELY PRECEDING THE DATE OF SOWING SUCH MATERIAL ON ANY PROJECT. REFER TO TABLE B.4 REGARDING THE QUALITY OF SEED. SEED TAGS MUST BE AVAILABLE UPON REQUEST TO THE INSPECTOR TO VERIFY TYPE OF SEED AND SEEDING RATE.

- b. MULCH ALONE MAY BE APPLIED BETWEEN THE FALL AND SPRING SEEDING DATES ONLY IF THE GROUND IS FROZEN. THE APPROPRIATE SEEDING MIXTURE MUST BE APPLIED WHEN THE GROUND THAWS. c. INOCULANTS: THE INOCULANT FOR TREATING LEGUME SEED IN THE SEED MIXTURES MUST BE A PURE CULTURE OF NITROGEN FIXING BACTERIA PREPARED SPECIFICALLY FOR THE SPECIES. INOCULANTS MUST NOT BE USED LATER THAN THE DATE INDICATED ON THE CONTAINER. ADD FRESH INOCULANTS AS DIRECTED ON THE PACKAGE. USE FOUR TIMES THE RECOMMENDED RATE WHEN HYDROSEEDING. NOTE: IT IS VERY IMPORTANT TO KEEP NOCULANT AS COOL AS POSSIBLE UNTIL USED. TEMPERATURES ABOVE 75 TO 80 DEGREES FAHRENHEIT CAN WEAKEN BACTERIA AND MAKE THE INOCULANT LESS EFFECTIVE.
- d. SOD OR SEED MUST NOT BE PLACED ON SOIL WHICH HAS BEEN TREATED WITH SOIL STERILANTS OR CHEMICALS USED FOR WEED CONTROL UNTIL SUFFICIENT TIME HAS ELAPSED (14 DAYS MIN.) TO PERMIT DISSIPATION OF PHYTO-TOXIC MATERIALS. 2. APPLICATION
- a. DRY SEEDING: THIS INCLUDES USE OF CONVENTIONAL DROP OR BROADCAST SPREADERS. . INCORPORATE SEED INTO THE SUBSOIL AT THE RATES PRESCRIBED ON TEMPORARY SEEDING TABLE B.1, PERMANENT SEEDING TABLE B.3. OR SITE-SPECIFIC SEEDING SUMMARIES. II. APPLY SEED IN TWO DIRECTIONS, PERPENDICULAR TO EACH OTHER. APPLY HALF THE SEEDING RATE IN EACH DIRECTION. ROLL THE SEEDED AREA WITH A WEIGHTED ROLLER TO PROVIDE GOOD SEED TO SOIL
- CONTACT b. DRILL OR CULTIPACKER SEEDING: MECHANIZED SEEDERS THAT APPLY AND COVER SEED WITH SOIL.

   CULTIPACKING SEEDERS ARE REQUIRED TO BURY THE SEED IN SUCH A FASHION AS TO PROVIDE AT LEAST 1/4 INCH OF SOIL COVERING. SEEDBED MUST BE FIRM AFTER PLANTING. II. APPLY SEED IN TWO DIRECTIONS, PERPENDICULAR TO EACH OTHER. APPLY HALF THE SEEDING RATE IN EACH DIRECTION.
- c. HYDROSEEDING: APPLY SEED UNIFORMLY WITH HYDROSEEDER (SLURRY INCLUDES SEED AND FERTILIZER). I. IF FERTILIZER IS BEING APPLIED AT THE TIME OF SEEDING, THE APPLICATION RATES SHOULD NOT EXCEED THE FOLLOWING: NITROGEN, 100 POUNDS PER ACRE TOTAL OF SOLUBLE NITROGEN; P O (PHOSPHOROUS). 200 POUNDS PER ACRE; K20 (POTASSIUM), 200 POUNDS PER ACRE. II. LIME: USE ONLY GROUND AGRICULTURAL LIMESTONE (UP TO 3 TONS PER ACRE MAY BE APPLIED BY HYDROSEEDING). NORMALLY, NOT MORE THAN 2 TONS ARE APPLIED BY HYDROSEEDING AT ANY ONE
- TIME. DO NOT USE BURNT OR HYDRATED LIME WHEN HYDROSEEDING III. MIX SEED AND FERTILIZER ON SITE AND SEED IMMEDIATELY AND WITHOUT INTERRUPTION. IV. WHEN HYDROSEEDING DO NOT INCORPORATE SEED INTO THE SOIL.

### B. MULCHING 1 MULCH MATERIALS (IN ORDER OF PREFERENCE)

- a. STRAW CONSISTING OF THOROUGHLY THRESHED WHEAT, RYE, OAT, OR BARLEY AND REASONABLY BRIGHT IN COLOR. STRAW IS TO BE FREE OF NOXIOUS WEED SEEDS AS SPECIFIED IN THE MARYLAND SEED LAW AND NOT MUSTY, MOLDY, CAKED, DECAYED, OR EXCESSIVELY DUSTY. NOTE: USE ONLY STERILE STRAW MULCH IN AREAS WHERE ONE SPECIES OF GRASS IS DESIRED.
- b. WOOD CELLULOSE FIBER MULCH (WCFM) CONSISTING OF SPECIALLY PREPARED WOOD CELLULOSE PROCESSED INTO A UNIFORM FIBROUS PHYSICAL STATE. I. WCFM IS TO BE DYED GREEN OR CONTAIN A GREEN DYE IN THE PACKAGE THAT WILL PROVIDE AN APPROPRIATE COLOR TO FACILITATE VISUAL INSPECTION OF THE UNIFORMLY SPREAD SLURRY. II. WCFM, INCLUDING DYE, MUST CONTAIN NO GERMINATION OR GROWTH INHIBITING FACTORS. III. WCM, INCLUDING TALLS ARE TO BE MANUFACTURED AND PROCESSED IN SUCH A MANNER THAT THE WOOD CELLULOSE FIBER MULCH WILL REMAIN IN UNIFORM SUSPENSION IN WATER UNDER AGITATION AND WILL
- BLEND WITH SEED, FERTILIZER AND OTHER ADDITIVES TO FORM A HOMOGENEOUS SLURRY. THE MULCH MATERIAL MUST FORM A BLOTTER-LIKE GROUND COVER, ON APPLICATION, HAVING MOISTURE ABSORPTION AND PERCOLATION PROPERTIES AND MUST COVER AND HOLD GRASS SEED IN CONTACT WITH THE SOIL WITHOUT INHIBITING THE GROWTH OF THE GRASS SEEDLINGS. IV. WCFM MATERIAL MUST NOT CONTAIN ELEMENTS OR COMPOUNDS AT CONCENTRATION LEVELS THAT WILL RE PHYTO\_TON
- V. WCFM MUST CONFORM TO THE FOLLOWING PHYSICAL REQUIREMENTS: FIBER LENGTH OF APPROXIMATELY 10 MILLIMETERS, DIAMETER APPROXIMATELY 1 MILLIMETER, PH RANGE OF 4.0 TO 8.5, ASH CONTENT OF 1.6 PERCENT MAXIMUM AND WATER HOLDING CAPACITY OF 90 PERCENT MINIMUM. 2. APPLICATION
- a. APPLY MULCH TO ALL SEEDED AREAS IMMEDIATELY AFTER SEEDING. b. WHEN STRAW MULCH IS USED, SPREAD IT OVER ALL SEEDED AREAS AT THE RATE OF 2 TONS PER ACRE TO A UNIFORM LOOSE DEPTH OF 1 TO 2 INCHES. APPLY MULCH TO ACHIEVE A UNIFORM DISTRIBUTION AND DEPTH SO THAT THE SOIL SURFACE IS NOT EXPOSED. WHEN USING A MULCH ANCHORING TOOL, INCREASE
- THE APPLICATION RATE TO 2.5 TONS PER ACRE. WOOD CELLULOSE FIBER USED AS MULCH MUST BE APPLIED AT A NET DRY WEIGHT OF 1500 POUNDS PFR ACRE. MIX THE WOOD CELLULOSE FIBER WITH WATER TO ATTAIN A MIXTURE WITH A MAXIMUM OF 50 POUNDS OF WOOD CELLULOSE FIBER PER 100 GALLONS OF WATER.
- 3. ANCHORING a. PERFORM MULCH ANCHORING IMMEDIATELY FOLLOWING APPLICATION OF MULCH TO MINIMIZE LOSS BY WIND OR WATER. THIS MAY BE DONE BY ONE OF THE FOLLOWING METHODS (LISTED BY PREFERENCE), DEPENDING UPON THE SIZE OF THE AREA AND EROSION HAZARD: I. A MULCH ANCHORING TOOL IS A TRACTOR DRAWN IMPLEMENT DESIGNED TO PUNCH AND ANCHOR MULCH
- INTO THE SOIL SURFACE A MINIMUM OF 2 INCHES THIS PRACTICE IS MOST FEFECTIVE ON LARGE AREAS. BUT IS LIMITED TO FLATTER SLOPES WHERE EQUIPMENT CAN OPERATE SAFELY. IF USED ON SLOPING LAND, THIS PRACTICE SHOULD FOLLOW THE CONTOUR. III. WOOD CELLULOSE FIBER MAY BE USED FOR ANCHORING STRAW. APPLY THE FIBER BINDER AT A NET DRY WEIGHT OF 750 POUNDS PER ACRE. MIX THE WOOD CELLULOSE FIBER WITH WATER AT A MAXIMUM OF
- 50 POUNDS OF WOOD CELLULOSE FIBER PER 100 GALLONS OF WATER. III. SYNTHETIC BINDERS SUCH AS ACRYLIC DLR (AGRO-TACK), DCA-70, PETROSET, TERRA TAX II, TERRA TACK AR OR OTHER APPROVED EQUAL MAY BE USED. FOLLOW APPLICATION RATES AS SPECIFIED BY THE MANUFACTURER. APPLICATION OF LIQUID BINDERS NEEDS TO BE HEAVIER AT THE EDGES WHERE WIND CATCHES MULCH, SUCH AS IN VALLEYS AND ON CRESTS OF BANKS. USE OF ASPHALT BINDERS IS STRICTLY PROHIBITED.
- IV. LIGHTWEIGHT PLASTIC NETTING MAY BE STAPLED OVER THE MULCH ACCORDING TO MANUFACTURER RECOMMENDATIONS. NETTING IS USUALLY AVAILABLE IN ROLLS 4 TO 15 FEET WIDE AND 300 TO 3,000 FEET LONG. (B-4-4) STANDARDS AND SPECIFICATIONS FOR

# TEMPORARY STABILIZATION

- DEFINITION TO STABILIZE DISTURBED SOIL WITH VEGETATION FOR UP TO 6 MONTHS.
- PURPOSE TO USE FAST GROWING VEGETATION THAT PROVIDES COVER ON DISTURB SOIL.
- CONDITIONS WHERE PRACTICE APPLIES EXPOSED SOILS WHERE GROUND COVER IS NEEDED FOR A PERIOD OF 6 MONTHS OR LESS. FOR LONGER DURATION OF TIME, PERMANENT STABILIZATION PRACTICES ARE REQUIRED. **CRITERIA**
- 1. SELECT ONE OR MORE OF THE SPECIES OR SEED MIXTURES LISTED IN TABLE B.1 FOR THE APPROPRIATE PLANT HARDINESS ZONE (FROM FIGURE 8.3), AND ENTER THEM IN THE TEMPORARY SEEDING SUMMARY ALONG WITH APPLICATION RATES, SEEDING DATES AND SEEDING DEPTHS. IF THIS SUMMARY IS NOT PUT ON THE PLAN AND COMPLETED, THEN TABLE B-1 PLUS FORTELIZER AND LIME RATES MUST BE PUT ON THE
- 2. FOR SITES HAVING SOIL TESTS PERFORMED, USE AND SHOW THE RECOMMENDED RATES BY THE TESTING AGENCY. SOIL TESTS ARE NOT REQUIRED FOR TEMPORARY SEEDING. 3. WHEN STABILIZATION IS REQUIRED OUTSIDE OF A SEEDING SEASON, APPLY SEED AND MULCH OR STRAW
- MULCH ALONE AS PRESCRIBED IN SECTION B-4-3.A.1b, AND MAINTAIN UNTIL THE NEXT SEEDING SEASON. **OPERATION & MAINTENANCE SCHEDULE FOR MICRO-BIORETENTION (M-6)** A. THE OWNER SHALL MAINTAIN THE PLANT MATERIAL, MULCH LAYER AND SOIL LAYER ANNUALLY. MAINTENANCE OF MULCH AND SOIL IS LIMITED TO CORRECTING AREAS OF EROSION OR WASH OUT. ANY MULCH REPLACEMENT SHALL BE DONE IN THE SPRING. PLANT MATERIAL SHALL BE CHECKED FOR DISEASE AND INSECT INFESTATION AND MAINTENANCE WILL ADDRESS DEAD MATERIAL AND PRUNING. ACCEPTABLE
- REPLACEMENT PLANT MATERIAL IS LIMITED TO THE FOLLOWING: 2000 MARYLAND STORMWATER DESIGN MANUAL VOLUME II. TABLE A.4.1 AND 2. B. THE OWNER SHALL PERFORM A PLANT IN THE SPRING AND IN THE FALL OF EACH YEAR, DURING THE INSPECTION. THE OWNER SHALL REMOVE DEAD AND DISEASED VEGETATION CONSIDERED BEYOND TREATMENT, REPLACE DEAD PLANT MATERIAL WITH ACCEPTABLE REPLACEMENT PLANT MATERIAL, TREAT
- DISEASED TREES AND SHRUBS AND REPLACE ALL DEFICIENT STAKES AND WIRES. HE OWNER SHALL INSPECT THE MULCH EACH SPRING. THE MULCH SHALL BE REPLACED EVERY TWO TO THREE YEARS. THE PREVIOUS MULCH LAYER SHALL BE REMOVED BEFORE THE NEW LAYER IS APPLIED. D. THE OWNER SHALL CORRECT SOIL EROSION ON AN AS NEEDED BASIS, WITH A MINIMUM OF ONCE PER MONTH AND AFTER EACH HEAVY STORM.

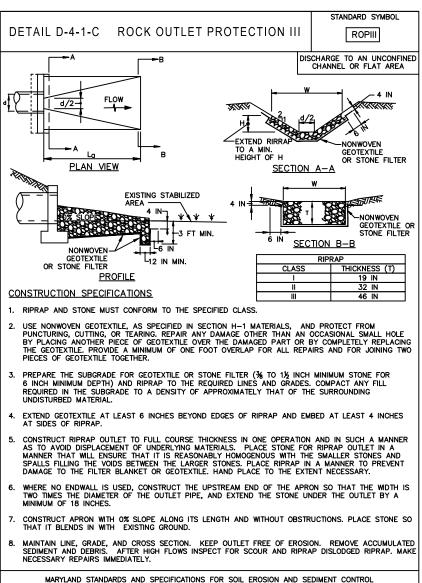
### (B-4-5) STANDARDS AND SPECIFICATIONS FOR PERMANENT STABILIZATION **DEFINITION** TO STABILIZE DISTURBED SOIL WITH PERMANENT VEGETATION.

<u>PURPOSE</u> TO USE LONG-LIVED PERENNIAL GRASSES AND LEGUMES TO ESTABLISH PERMANENT GROUND COVER OF DISTURBED CONDITIONS WHERE PRACTICE APPLIES EXPOSED SOILS WHERE GROUND COVER IS NEEDED FOR 6 MONTHS OR MORE. **CRITERIA** 

- A. SEED MIXTURES 1. GENERAL US A. SELECT ONE OR MORE OF THE SPIECES OF MIXTURES LISTED IN TABLE B.3 FOR THE APPROPRIATE PLANT
- HARDINESS ZONE (FROM FIGURE B.3) AND BASED IN THE SITE CONDITION OR PURPOSE FOUND ON TABLE B.2. ENTER SELECTED MIXTURE(S), APPLICATION RATES, AND SEEDING DATES IN THE PERMANENT SEEDING
- ADDITIONAL PLANTING SPECIFICATIONS FOR EXCEPTIONAL SITES SUCH AS SHORELINES, STREAM BANKS, OR DINES OR FOR SPECIAL PURPOSES SUCH AS WILDLIFE OR AESTHETIC TREATMENT MAY BE FOUND IN USDA-NRCS TECHNICAL FIELD GUIDE, SECTION 342-CRITICAL AREA PLANTING.
- FOR SITES HAVING DISTURBED AREA OVER 5 ACRES, USE AND SHOW RATES RECOMMENDED BY THE SOIL TESTING AGENCY. FOR AREAS RECEIVING LOW MAINTENANCE, APPLY UREA FROM FERTILIZED (40-0-01) AT 3 1 POUNDS PER
- 1000 S.F. (150 POUNDS PER ACRE) AT THE TIME OF SEEDING IN ADDITION TO THE SOIL AMENDMENTS SHOWN IN THE PERMANENT SEEDING SUMMARY.
- <u>2. TUREGRASS MIXTURES</u>
   A. AREAS WHERE TUREGRASS MAY BE DESIRE INCLUDE LAWNS, PARKS, PLAYGROUNDS, AND COMMERCIAL SITES WHICH WILL RECEIVE A MEDIUM TO HIGH LEVEL OF MAINTENANCE. B. SELECT ONE OR MORE OF THE SPECIES OF MIXTURES LISTED BELOW BASED ON THE SITE CONDITIONS OR PURPOSE. ENTER SELECTED MIXTURE(S), APPLICATION RATES, AND SEEDING DATES IN THE PERMANENT SEEDING SUMMARY I. KENTUCKY BLUEGRASS: FULL SUN MIXTURE: FOR USE IN AREAS THAT RECEIVE INTENSIVE MANAGEMENT.
- IRRIGATION REQUIRED IN THE AREAS OF CENTRAL MARYLAND AND EASTERN SHORE. RECOMMENDED CERTIFIED KENTUCKY BLUEGRASS SEEDING REATE: 1.5 TO 2.0 POUNDS PER 1000 S.F. CHOOSE A MINIMUM OF THREE KENTUCKY BLUEGRASS CULTIVARS WITH EACH RANGING FROM 10 TO 35 PERCENT OF THE TOTAL MIXTURE BY WEIGHT. II. KENTUCKY BLUEGRASS/PERENNIAL RYE: FULL SUN MIXTURE: FOR USE IN FULL SUN AREAS WHERE RAPID ESTABLISHMENT IS NECESSARY AND WHEN TURF WILL RECEIVE MEDIUM TO INTENSIVE MANAGEMENT. CERTIFIED PERENNIAL RYEGRASS CULTIVARS/CERTIFIED KENTUCKY BLUEGRASS SEEDING RATE: 2 POUNDS
- MIXTURE PER 1000 S.F. CHOOSE A MINIMUM OF THREE KENTUCKY BLUEGRASS CULTIVARS WITH EACH RANGING FROM 10 TO 35 PERCENT OF THE TOTAL MIXTURE BY WEIGHT. III. TALL FESCUE/KENTUCKY BLUEGRASS: FULL MIXTURE: FOR USE IN DROUGHT AREAS AND/OR FOR AREAS RECEIVING LOW TO MEDIUM MANAGEMENT IN FULL SUN TO MEDIUM SHADE. RECOMMENDED MIXTURE INCLUDES; CERTIFIED TALL FESCUE CULTIVARS 65 TO 100 PERCENT, CERTIFIED KENTUCKY BLUEGRASS CULTIVARS 0 TO 5 PERCENT. SEEDING RATE: 5 TO 8 PERCENT PER 1000 S.F. ONE OR MORE CULTIVARS MAY BE BLENDED.
- IV. KENTUCKY BLUEGRASS/FINE FESCUE: SHADE MIXTURE: FOR USE IN AREAS WITH SHADE IN BLUEGRASS LAWNS. FOR ESTABLISHMENT IN HIGH QUALITY, INTENSIVELY MANAGED TURF AREA. MIXTURE INCLUDES; CERTIFIED KENTUCKY BLUEGRASS CULTIVARS 30 TO 40 PERCENT AND CERTIFIES FINE FESCUE AND 60 TO 70 PERCENT. SEEDING RATES 1 1/2 TO 3 POUNDS PER1000 S.F. C. IDEAL TIMES OF SEEDING FOR TURF GRASS MIXTURE
- WESTERN MD: MARCH 15 TO JUNE 1, AUGUST 1 TO OCTOBER 1 (HARDINESS ZONES: 5B,6A) CENTRAL MD: MARCH 1 TO MAY 15, AUGUST 15 TO OCTOBER 15 (HARDINESS ZONE: 6B) SOUTHERN MD, EASTERN SHORE: MARCH 1 TO MAY 15, AUGUST 15 TO OCTOBER 15 (HARDINESS ZONE:7A,7B) TILL AREAS TO RECEIVE SEED BY DISKING OR OTHER APPROVED METHODS TO A DEPTH OF 2 TO 4 INCHES,
- LEVEL AND RAKE THE AREAS TO PREPARE A PROPER SEEDBED. REMOVE STONE AND DEBRIS OVER 1.5 INCHES IN DIAMETER. THE RESULTING SEEDBED MUST BE IN SUCH CONDITION THAT FUTURE MOWING OF GRASS WILL POSE NO DIFFICULT E. IF SOIL MOISTURE IS DEFICIENT, SUPPLY NEW SEEDINGS WITH ADEQUATE WATER FOR PLANT GROWTH 0.5 TO 1 INCH EVERY 3 TO 4 DAYS DEPENDING ON SOIL TEXTURE) UNTIL THEY ARE FIRMLY ESTABLISHED. THIS IS ESPECIALLY TRUE WHEN SEEDINGS ARE MADE LATE IN THE PLANTING SEASON, IN ABNORMALLY DRY OR HOT SEASON, OR ON ADVERSE SITES.

# SEQUENCE OF CONSTRUCTION

- REQUEST PRE-CONSTRUCTION MEETING IF NECESSARY AND OBTAIN GRADING PERMIT. (1DAY). CONSTRUCT STABILIZED CONSTRUCTION ENTRANCE AT LOCATION SHOWN (1 DAY) INSTALL SUPER SILT FENCE (1 DAY).
- CLEAR AND GRUB SITE (3 DAYS) GRADE SITE PER PLAN (2 DAYS).
- CONSTRUCT WATER SEWER LINES WITHIN SITE (10 DAYS). CONSTRUCT PRIVATE ROAD (10 DAYS). CONSTRUCT LPSS IN FREDERICK ROAD. SAME DAY STABILIZATION REQUIRED. (3 DAYS)
- INSTALL NDS DRAIN TRENCHES AND PIPES FOR UNITS 1-4. BLOCK NDS, CURB AND MODULAR WETLAND SYSTEM (10 DAYS). 10. STABILIZE ALL DISTURBED AREAS (1 DAY)
- . MILL AND RESURFACE LABELED AREAS OF OLD FREDERICK ROAD; (5 DAY). 2. BUILD HOMES (180 DAYS).
- 13. CONSTRUCT MICROBIO FACILITY AND UNBLOCK INLETS UPON COMPLETION AND STABILIZATION OF DRAINAGE AREAS (6 DAYS) SEED AND MULCH ALL REMAINING DISTURBED AREAS. (3 DAYS).
- 12. WHEN ALL CONTRIBUTING DRAINAGE AREAS TO SEDIMENT CONTROL DEVICES HAVE BEEN STABILIZED, AND WITH THE APPROVAL OF THE SEDIMENT CONTROL INSPECTOR, REMOVE SEDIMENT CONTROL DEVICES AND STABILIZE REMAINING DISTURBED AREAS (1 DAY).



2011

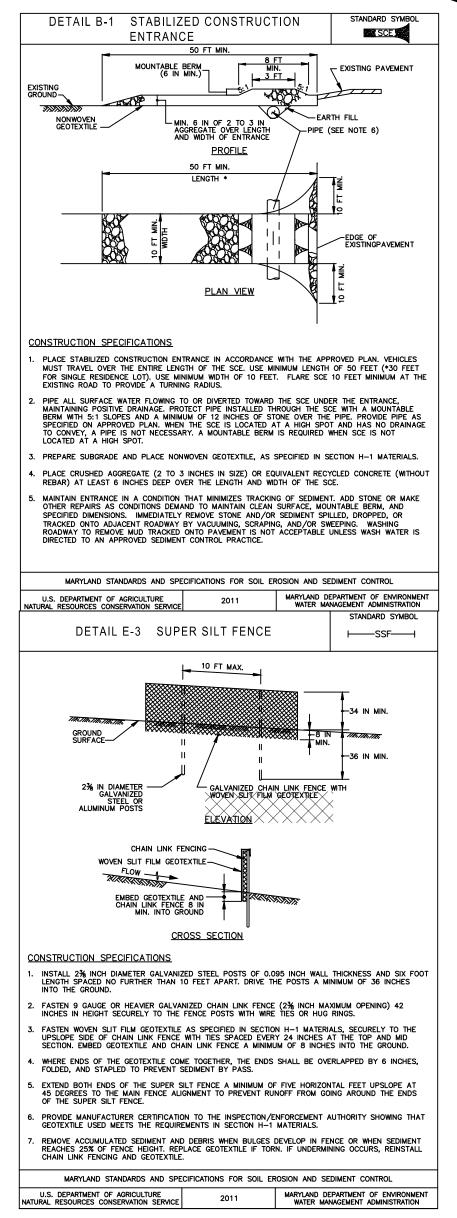
U.S. DEPARTMENT OF AGRICULTURE RAL RESOURCES CONSERVATION SERVICE

TEMPORARY SEEDING FOR SITE STABILIZATION SEEDING RECOMMENDED SEEDING DATED BY PLANT HARDINESS ZONE RATE - DEPTH PLANT SPECIES 5B AND 6A 7A AND 7B LIME RATE KО COOL SEASON GRASSES ANNUAL RYEGRASS MAR 1 TO MAY 15; FEB.15 TO APR 30 MAR 15 TO MAY 31 90 LBS. 40 1.0 0.5 2 TONS / ACRE (LOLIUM PERENNE SSP. MULTIFLORUM) AUG 1 TO SEP 30 AUG 1 TO OCT 15 AUG 15 TO NOV 30 PER ACRE (2 LB./1000 | (2 LB./1000 |(90 LBS / 1000 MAR 15 TO MAY 31: | MAR 1 TO MAY 15: | FEB.15 TO APR 30 BARI F SF) 96 2.2 0.5 SF) (HORDEUM VULGARE) AUG 1 TO SEP 30 | AUG 1 TO OCT 15 | AUG 15 TO NOV 30 011 MARYLAND STANDARD AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT MAR 15 TO MAY 31: MAR 1 TO MAY 15; FEB.15 TO APR 30; 72 1.7 0.5 (AVENA SATIVA) AUG 1 TO SEP 30 AUG 1 TO OCT 15 AUG 15 TO NOV 30 MAR 15 TO MAY 31; MAR 1 TO MAY 15; FEB.15 TO APR 30 WHEAT 120 2.8 0.5 (TRITICUM AESTIVUM) AUG 1 TO SEP 30 AUG 1 TO OCT 15 AUG 15 TO NOV 30 CEREAL RYE MAR 15 TO MAY 31; MAR 1 TO MAY 15; FEB.15 TO APR 30; 112 2.8 0.5 DEVELOPER AUG 1 TO OCT 31 AUG 1 TO OCT 15 AUG 15 TO DEC 15 (SECALE ITALICA) WARM SEASON GRASSES FRIENDLY INN DEVELOPMENT FOXTAIL MILLET 0.5 J 30 0.7 COMPANY LLC JUN 1 TO JUL 31 | MAY 16 TO JUL 31 | MAY 1 TO AUG 14 (SETARIA ITALICA) 8318 FORREST ST. SUITE 200 PEARL MILLET ELLICOTT CITY, MD 21042 20 0.5 0.5 JUN 1 TO JUL 31 MAY 16 TO JUL 31 MAY 1 TO AUG 14

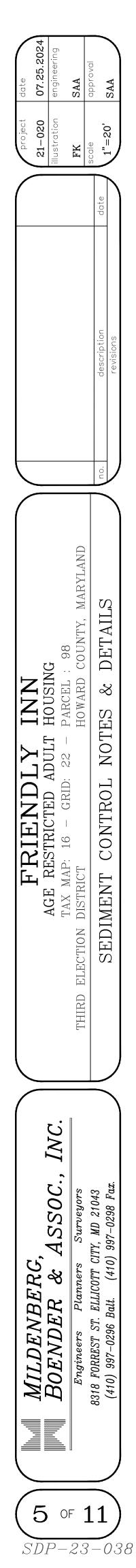
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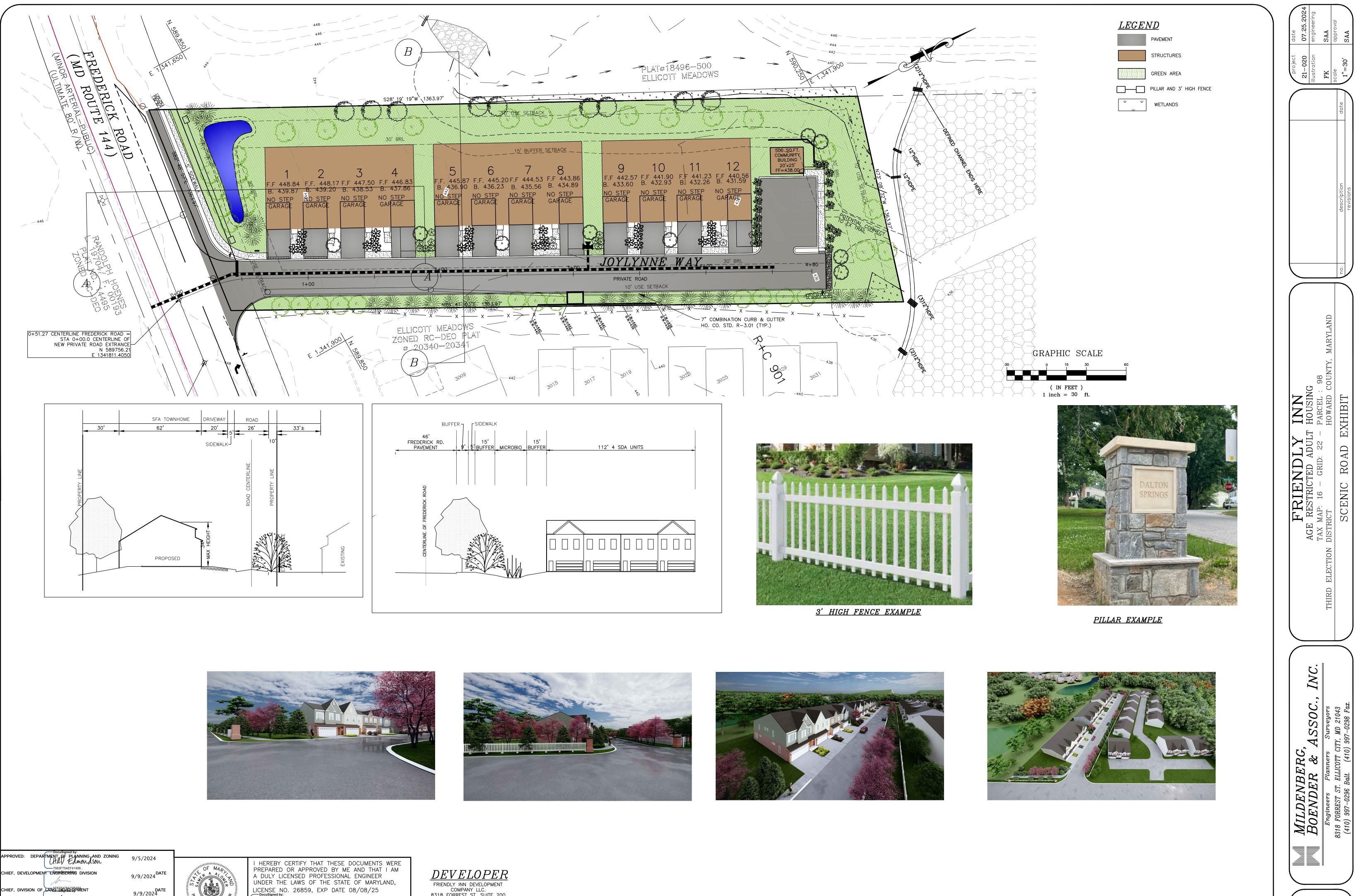


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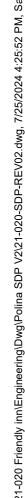


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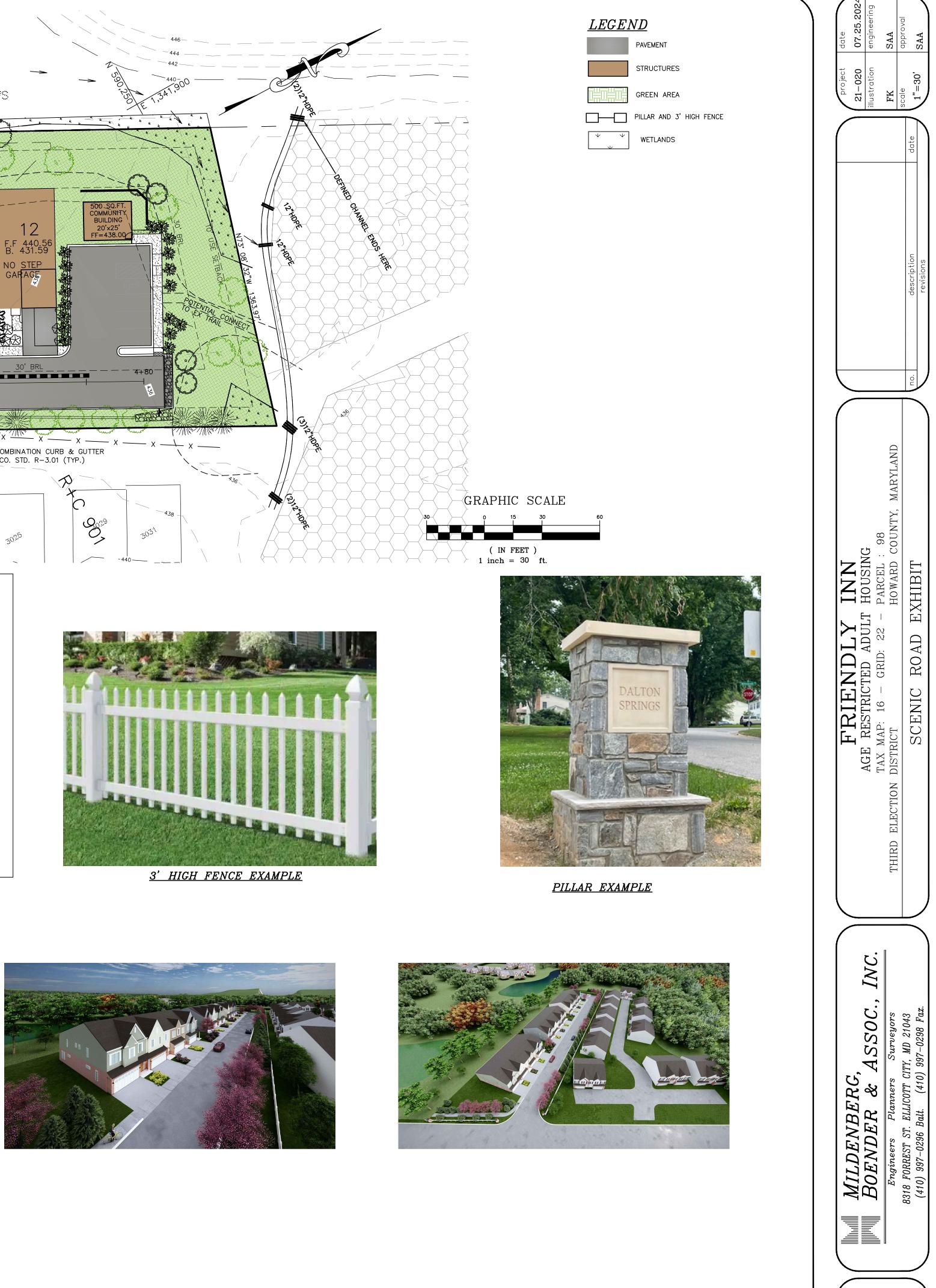
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DATE 9/9/2024 DATE



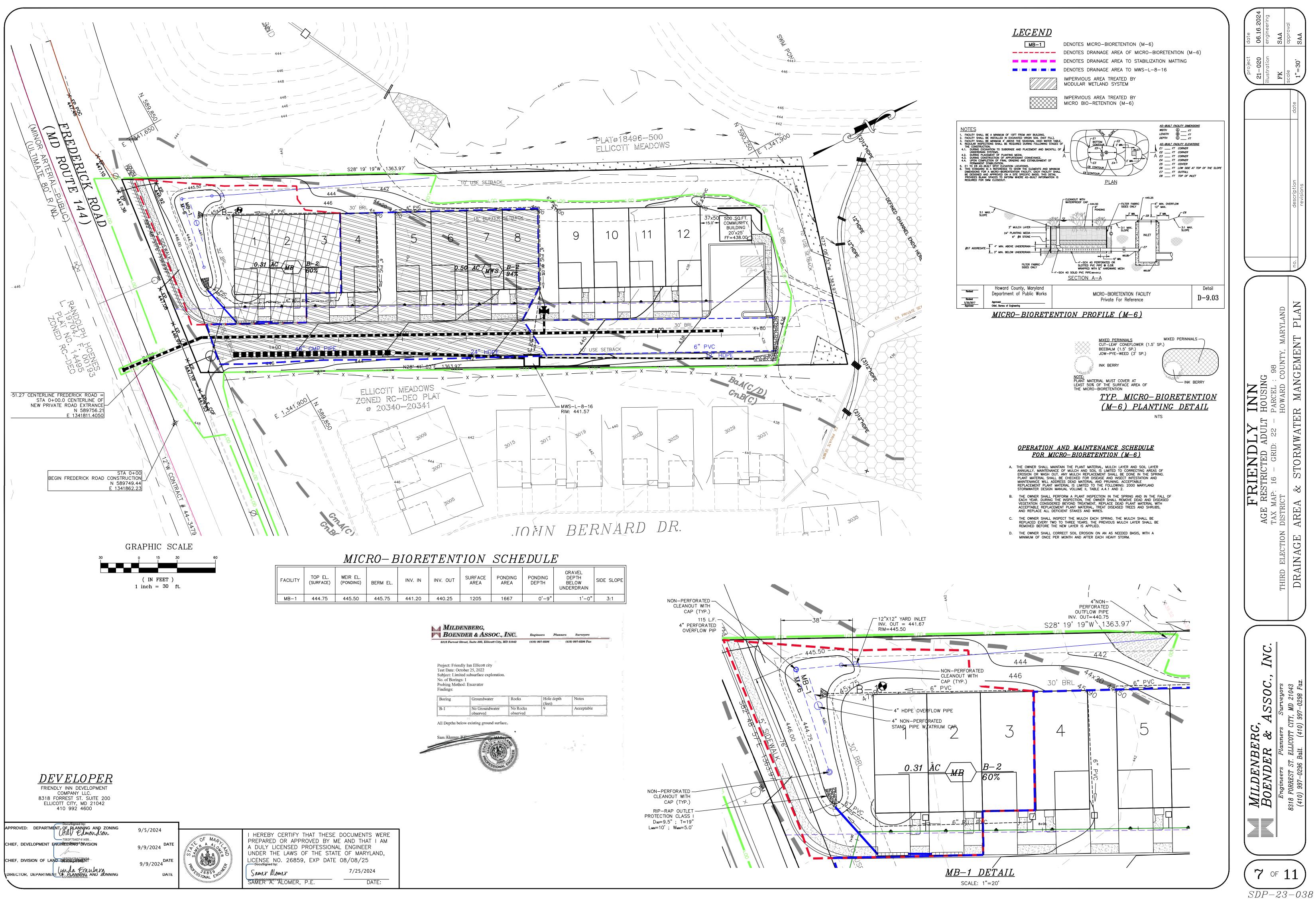
LICENSE NO. 26859, EXP DATE 08/08/25 Samer Alomer 7/25/2024 SAMEROBAETALOMER, P.E. DATE:

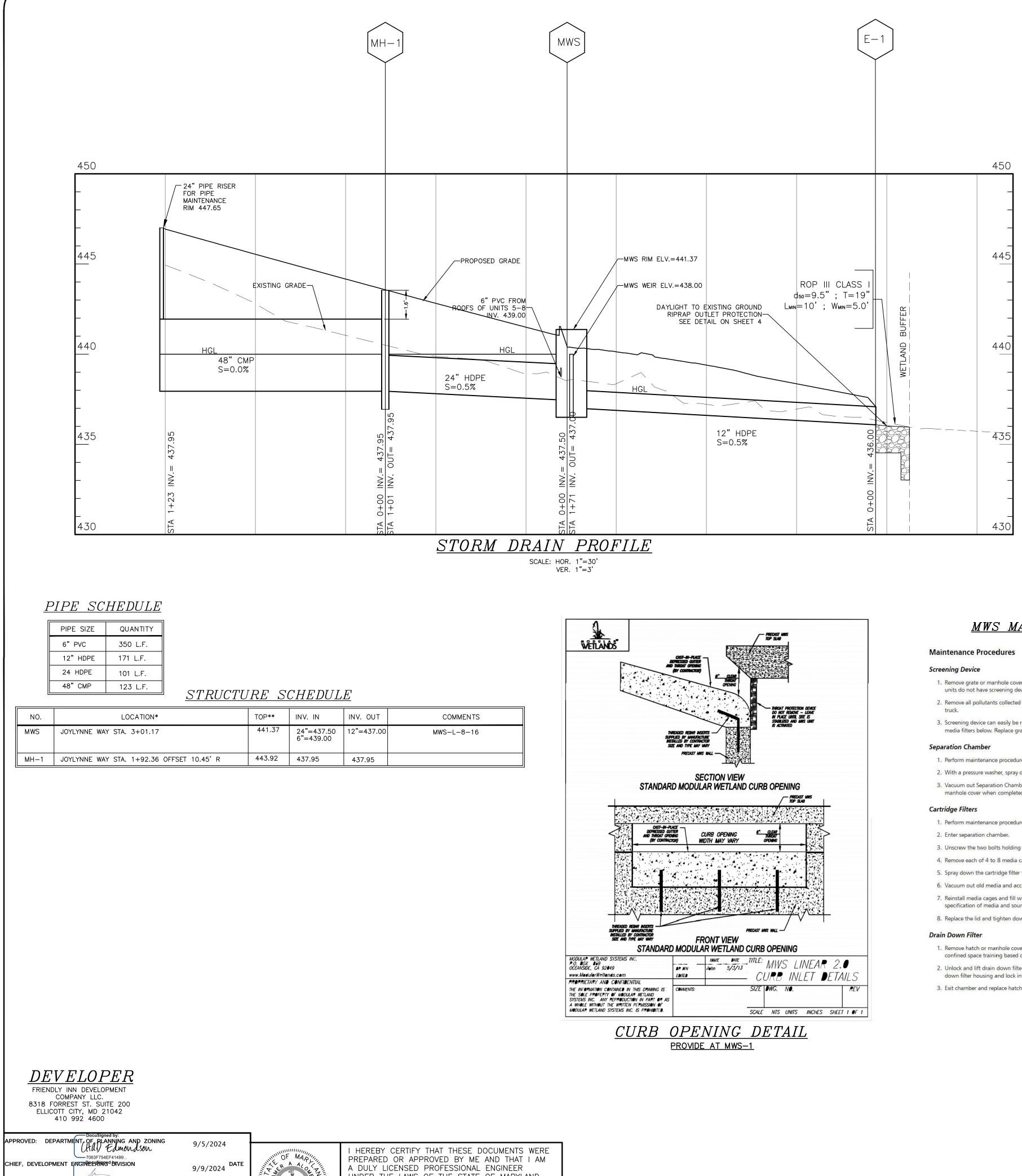




FRIENDLY INN DEVELOPMENT COMPANY LLC. 8318 FORREST ST. SUITE 200 ELLICOTT CITY, MD 21042 410 992 4600

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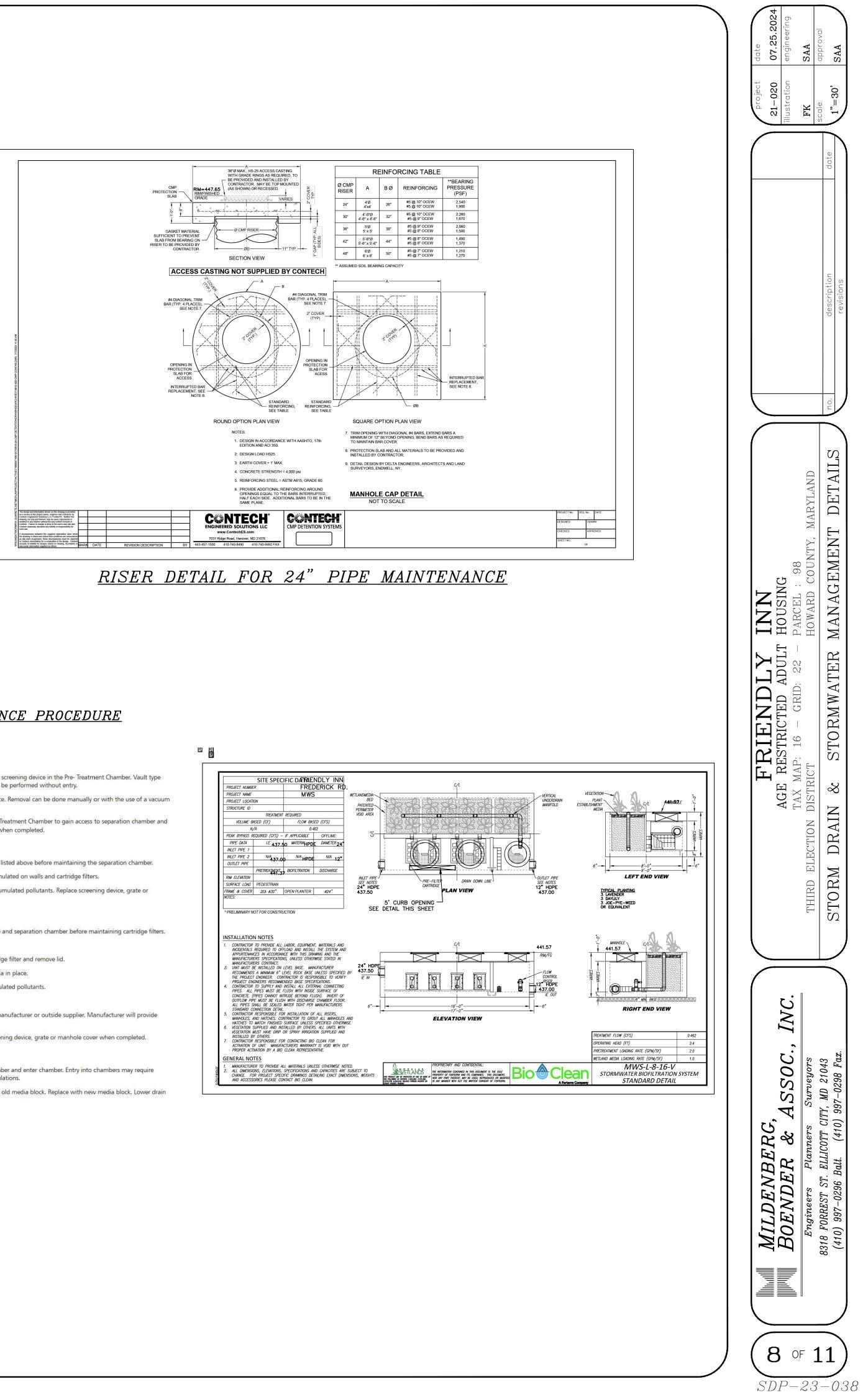


CHIEF, DIVISION OF LAND DENSIGNER DIRECTOR, DEPARTMENT OF PLANNING AND ZONNING

DATE 9/9/2024 DATE



A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 26859, EXP DATE 08/08/25 DocuSigned b 7/25/2024 Samer Alomer DATE: SAMER A. ALOMER, P.E.



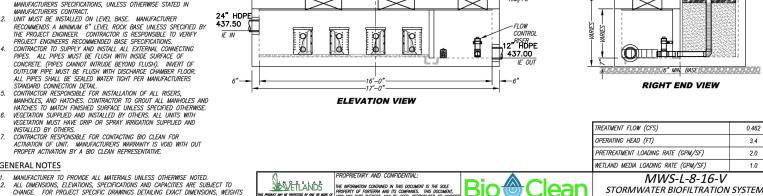
# MWS MAINTENANCE PROCEDURE

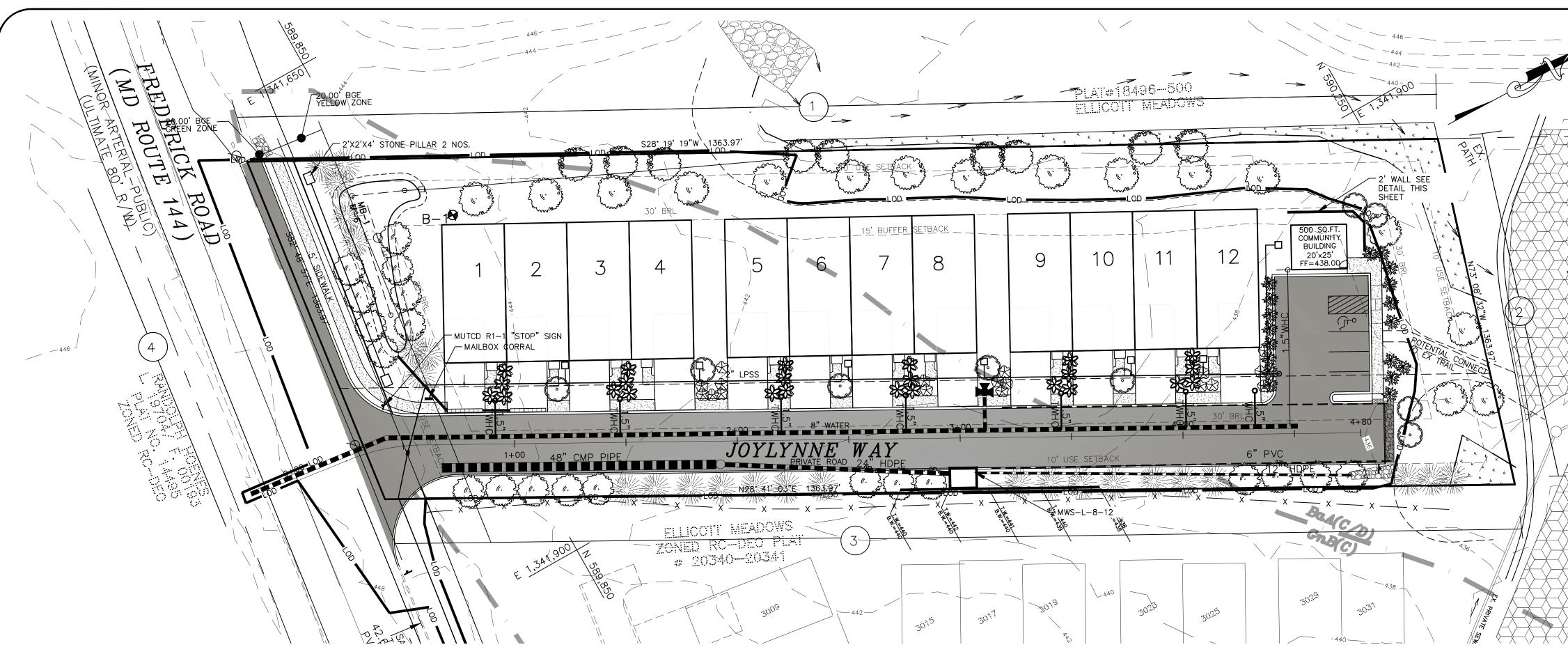
- 1. Remove grate or manhole cover to gain access to the screening device in the Pre- Treatment Chamber. Vault type units do not have screening device. Maintenance can be performed without entry.
- 2. Remove all pollutants collected by the screening device. Removal can be done manually or with the use of a vacuum
- 3. Screening device can easily be removed from the Pre-Treatment Chamber to gain access to separation chamber and media filters below. Replace grate or manhole cover when completed.

- 1. Perform maintenance procedures of screening device listed above before maintaining the separation chamber.
- 2. With a pressure washer, spray down pollutants accumulated on walls and cartridge filters.
- 3. Vacuum out Separation Chamber and remove all accumulated pollutants. Replace screening device, grate or manhole cover when completed.

- 1. Perform maintenance procedures on screening device and separation chamber before maintaining cartridge filters.
- 3. Unscrew the two bolts holding the lid on each cartridge filter and remove lid.
- 4. Remove each of 4 to 8 media cages holding the media in place.
- 5. Spray down the cartridge filter to remove any accumulated pollutants.
- 6. Vacuum out old media and accumulated pollutants.
- 7. Reinstall media cages and fill with new media from manufacturer or outside supplier. Manufacturer will provide specification of media and sources to purchase.
- 8. Replace the lid and tighten down bolts. Replace screening device, grate or manhole cover when completed.

- 1. Remove hatch or manhole cover over discharge chamber and enter chamber. Entry into chambers may require confined space training based on state and local regulations.
- 2. Unlock and lift drain down filter housing and remove old media block. Replace with new media block. Lower drain down filter housing and lock into place.
- 3. Exit chamber and replace hatch or manhole cover.





## LANDSCAPE PLANTING SCHEDULE

	LANDSCAPE PLANTING SCHEDULE SOILS TABLE			LANDSCAPE PLANTING SCHEDULE			CATEGORY	ADJ	ACENT TO PERIMETER P	ROPERTIES	ADJACENT TO ROA				
		1			]	1					LANDSCAPE TYPE	A (PERIMETER 1)	A (PERIMETER 2)	B (PERIMETER 3)	C (PERIMETER 4)
	<u>SYMBOL</u>	BOTANICAL NAME	COMMON NAME	<u>SIZE</u>	SYMBOL	RATING	DESCRIPTION	K FACTOR	MAP NO.	COMMENTS	LINEAR FEET OF PERIMETER	534.50 LF	158.90 LF	507.00 LF	163.37 LF
		ACER SACCHARUM 'GREEN MOUNTAIN'	GREEN MOUNTAIN SUGAR MAPLE (OR EQUIVALENT)	2.5" – 3" CAL.	BaA	C/D	BAILE SILT LOAM, 0 TO 3 PERCENT SLOPES	0.49			CREDIT FOR EXISTING VEGETATION (YES, NO, LINEAR FEET)	NO	NO	NO	NO
		PRUNUS SARGENTII	SARGENT CHERRY	2.5" – 3" CAL.	GmA	с	GLENVILLE SILT LOAM, SOMEWHAT POORLY DRAINED, 0 TO 3 PERCENT SLOPES	0.49			CREDIT FOR WALL, FENCE, OR BERM (YES, NO, LINEAR FEET)	NO	NO	NO	NO
	- Contractor	THUJA OCCIDENTALS	(OR EQUIVALENT) ELEGANTSSIMA ABRORVITALE (OR EQUIVALENT)	6' – 8' HEIGHT	GnB	с	GLENVILLE-BAILE SILT LOAMS, 0 TO 8 PERCENT SLOPES	0.49			NUMBER OF PLANTS REQUIRED SHADE TREES EVERGREEN TREES SHRUBS	9 SHADE TREES 0 EVERGREEN TREES 0 SHRUBS	3 SHADE TREES 0 EVERGREEN TREES 0 SHRUBS	10 SHADE TREES 13 EVERGREEN TREES 0 SHRUBS	4 SHADE TREES 8 EVERGREEN TREES 0 SHRUBS
		1				~~~~~					NUMBER OF PLANTS PROVIDED SHADE TREES EVERGREEN TREES	9 SHADE TREES 0 EVERGREEN TREES	3 SHADE TREES 0 EVERGREEN TREES	12 SHADE TREES 17 EVERGREEN TREES	4 SHADE TREES 8 EVERGREEN TREES

## PERIMETER LANDSCAPE REQUIREMENT PLANTING SCHEDULE

QUANTITY SYMBOL BOTANICAL NAME

. .

QUANTITY SYMBOL BOTANICAL NAME

19

25

PRUNUS SARGENTII OR EQUIVALENT AS OUTLINED IN THE HOWARD COUNTY LANDSCAPE MANUAL.

ACER RUBRUM 'RED SUNSET' OR EQUIVALENT AS OUTLINED IN THE

HOWARD COUNTY LANDSCAPE MANUAL.

HOWARD COUNTY LANDSCAPE MANUAL.

ADDITIONAL INTERNAL LANDSCAPE PROVIDED

THUJA OCCIDENTALS OR EQUIVALENT AS OUTLINED IN THE

TOTAL 28 SHADE TREES, 25 EVERGREENS

20B635863942E RECTOR, DEPARTMENT OF PLANNING AND ZONNING

COMMON NAME	SIZE
SARGENT CHERRY OR EQUIVALENT AS OUTLINED IN THE HOWARD COUNTY LANDSCAPE MANUAL.	2.5" – 3" CAL.
RED SUNSET RED MAPLE OR EQUIVALENT AS OUTLINED IN THE HOWARD COUNTY LANDSCAPE MANUAL.	2.5" – 3" CAL.
ELEGANTSSIMA ABRORVITALE OR EQUIVALENT AS OUTLINED IN THE HOWARD COUNTY LANDSCAPE MANUAL.	6' – 8' HEIGHT

DATE

COMMON NAME

# INTERNAL LANDSCAPING

	······
NUMBER OF DWELLING LOTS	12
DWELLING TYPE	SFA
NUMBER OF PLANTS REQUIRED SHADE TREES EVERGREEN TREES SHRUBS	12 SHADE TREES 0 EVERGREEN TREES 0 SHRUBS
NUMBER OF PLANTS PROVIDED SHADE TREES EVERGREEN TREES OTHER TREES (2:1 SUBSTITUTION) SHRUBS (10:1 SUBSTITUTION)	13 SHADE TREES 0 EVERGREEN TREES 0 OTHER TREES (2:1 SUBSTITUTION) 0 SHRUBS (10:1 SUBSTITUTION)

<u></u>	<u>VTERNA</u>	L LANDSCAPE	PLANTING SCH	HEDULE
QUANTITY	SYMBOL	BOTANICAL NAME	COMMON NAME	<u>SIZE</u>
13	and the second sec	PRUNUS SARGENTII	SARGENT CHERRY OR EQUIVALENT	2 1/2" - 3" CAL.
τοται		LANDSCARE TREES		

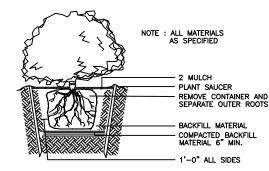
	$\sim$	CORNUS FLORIDA 'RUBRA'	RED_FLOWERING DO		8' – 10' HEIGHT		<u></u>	NTERNA.	<u>L LANDSCAI</u>	<u>PE PLANTING SCI</u>	<u>HEDULE</u>
9	$\mathbf{\dot{\mathbf{v}}}$	OR EQUIVALENT AS OUTLINED IN THE HOWARD COUNTY LANDSCAPE MANUAL. FORSYTHIA SUSPENSA VAR.	OR EQUIVALENT AS OU HOWARD COUNTY LANI SIEBOLD WEEPING FOR:	DSCAPE MANUAL.	2'- 2.5 HEIGHT		QUANTITY	SYMBOL	BOTANICAL NAME	COMMON_NAME	SIZE
24	*	OR EQUIVALENT AS OUTLINED IN THE HOWARD COUNTY LANDSCAPE MANUAL.	OR EQUIVALENT AS OU HOWARD COUNTY LAND				13	ζ	PRUNUS SARGENTII	SARGENT CHERRY	2 1/2" - 3" CAL.
18	$\bigotimes$	AZALEA 'HERSHEY RED' OR EQUIVALENT AS OUTLINED IN THE	HERSHEY RED AZALEA OR EQUIVALENT AS OU	ILINED IN THE	18"-24" SPREAD		<u>TOTAL</u>	13 INTERNAL	L LANDSCAPE TREES	OR EQUIVALENT	<u> </u>
18	*	HOWARD COUNTY LANDSCAPE MANUAL. GREEN MOUNTAIN BOXWOOD OR EQUIVALENT AS OUTLINED IN THE	HOWARD COUNTY LAND BUXUS X 'GREEN MOU OR FOLIIVALENT AS OU	NTAIN'	18"–24" SPREAD						
	بررسهم	HOWARD COUNTY LANDSCAPE MANUAL. PRUNUS SARGENTII	OR EQUIVALENT AS OU HOWARD COUNTY LAND SARGENT CHERRY	SCAPE MANUAL.	2.5" – 3" CAL.						
4	Le	OR EQUIVALENT AS OUTLINED IN THE HOWARD COUNTY LANDSCAPE MANUAL.	OR EQUIVALENT AS OU HOWARD COUNTY LANE	TLINED IN THE ISCAPE MANUAL.	2.3 - 3 CAL.						
TOTAL	13 SH	ADE TREES, 60 SHRUBS			Ser	PRUNE AS DIRECTED					
	10 011				- And the way		لأم				
									RUBBER HOSE		
						,					NOTE : ALL MATERIALS
					The second second				NOTE : ALL MATERIALS AS SPECIFIED		AS SPECIFIED
						NOTE : ALL MATERIAL AS SPECIFIED					2 MULCH
				_		2 MULCH			TREE WRAP		REMOVE CONTAINER A SEPARATE OUTER ROO
$\int \underline{DE'}$	/E'LOI	PER'S/OWNER'S	<u>CERTIFICAT</u>	<u>E'</u>		REMOVE BURLAP FRO 1/3 OF BALL 2"X4"X3" WOOD STAL			PLANT SAUCER REMOVE BURLAP FROM TOP 2"x4"x8" WOOD STAKES	TON H	BACKFILL MATERIAL COMPACTED BACKFILL MATERIAL 6" MIN.
• •		THAT THE LANDSCAPING SHOWN THE PLAN, SECTION 16.124 OF				BACKFILL MATERIAL COMPACTED BACKFILL MATERIAL 6" MIN.	20		COMPACTED BACKFILL MATERIALS 6° MIN.	X)/ANNIXXX/K	MATERIAL 6 MIN.
AND T	HE HOWA	RD COUNTY LANDSCAPE MANUA	AL. I/WE FURTHER (	ERTIFY THAT	sehennennen ki	1'-0" ALL SIDES	~~~ TV1	DICAI DECI	× IDUOUS TREE	TYPICAL SHRUB	PLANTING DETAIL
BY AN	EXECUT	ED ONE YEAR GUARANTEE OF F	LANT MATERIALS, WI		PLANTIN	REGREEN TREE IG DETAIL	111	PLANTING NOT TO SC	DETAIL	NOT TO S	
	E DEPAR	TMENT OF PLANNING AND ZONIN	IG.		NOT	o scale					
	Jon e	BIF	7,	/26/2024							
	AD2A7571A024 OWNER	85DocuSigned by:		DATE							
APPROVED:	DEPART	HENT HTIL PLATING MEDIAN DS OF ONING	9/5/2024		I HEREBY (	CERTIFY THAT TH	HESE DOCL	JMENTS W	VERE		
		7063F754EF41499 DocuSigned by:	0 (0 (2024	WITTER A AL	PREPARED	OR APPROVED	BY ME ANI	D THAT I	A 1 4	EVELOPEF	ς
CHIEF, DEV	ELOPMENT	ENGINE RING DIVISION	9/9/2024 <sub>DATE</sub>	S S S S S S S S S S S S S S S S S S S	UNDER THE	ENSED PROFES				IENDLY INN DEVELOPMENT	<u> </u>
		1EB75478A22B49A DocuSigned by:	9/9/2024 <sub>DATE</sub>	A S S S S S S S S S S S S S S S S S S S	LICENSE NO	. 26859, EXP	DATE 08/0	08/25	831	COMPANY LLC. 8 FORREST ST. SUITE 200	)
		lynda Eisenberg			Samer Ale	omer	7,	/25/2024		LLICOTT CITY, MD 21042 410 992 4600	

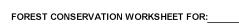
SAMER CORESE ALOMER, P.E.

<u>SIZE</u>

# SOILS TABLE

# <u>SCHEDULE B : RESIDENTAL DEVELOPMENT</u>





- Net Tract Area A. Total (Gross) Tract Area
- B. Area within 100-year Floodplain Other Deductions (Identify:
- Net Tract Area Land Use Category
- Insert the number "1" under the appropriate land use (limit to only one entry) Resid. Resid. Inst./ Retail/Ind./ Mixed Use/ Rural LD Rural MD Suburban Linear Office PUD

(Net Tract Area x

(Net Tract Area x

- E. Afforestation Threshold
- F. Reforestation Threshold Existing Forest Cover
- G. Existing Forest Cover within the Net Tract Area H. Area of Forest above Afforestation Threshold I. Area of Forest above Reforestation Threshold
- Break Even Point J. Break Even Point
- K. Forest Clearing Permitted without Mitigation Proposed Forest Clearing
- L. Total Area of Forest to be Cleared M. Total Area of Forest to be Retained
- Planting Requirements Inside Watershed N. Reforestation for Clearing above the Reforestation Threshold P Reforestation for Clearing below the Reforestation Threshold Q. Credit for Retention above the Reforestation Threshold
- R. Total Reforestation Required S. Total Afforestation Required
- T Total Reforestation and Afforestation Requirement U 75% of Total Obligation (Retention + Planting) V Planting Required Onsite to meet 75% Obligation
- Planting Requirements Outside Watershed
- W. Total Planting within Development Site Watershed X Total Afforestation Required Y. Remaining Planting within Watershed for Reforestation Credit
- Reforestation for Clearing above the Reforestation Threshold AA. Reforestation for Clearing below the Reforestation Threshold BB. Credit for Retention above the Reforestation Threshold
- CC. Total Reforestation Required DD. Total Afforestation and Reforestation Requirement
- I = 0.0J = 0.0 K = 0.0= 0.0 N = 0.0 0.0 P = 0.0 00 0.2 0.2 0.2

AA= 0.0

BB= 0.0

 $\begin{array}{c} \text{CC} = \\ \text{DD} = \\ \end{array} \begin{array}{c} 0.0 \\ 0.3 \end{array}$ 



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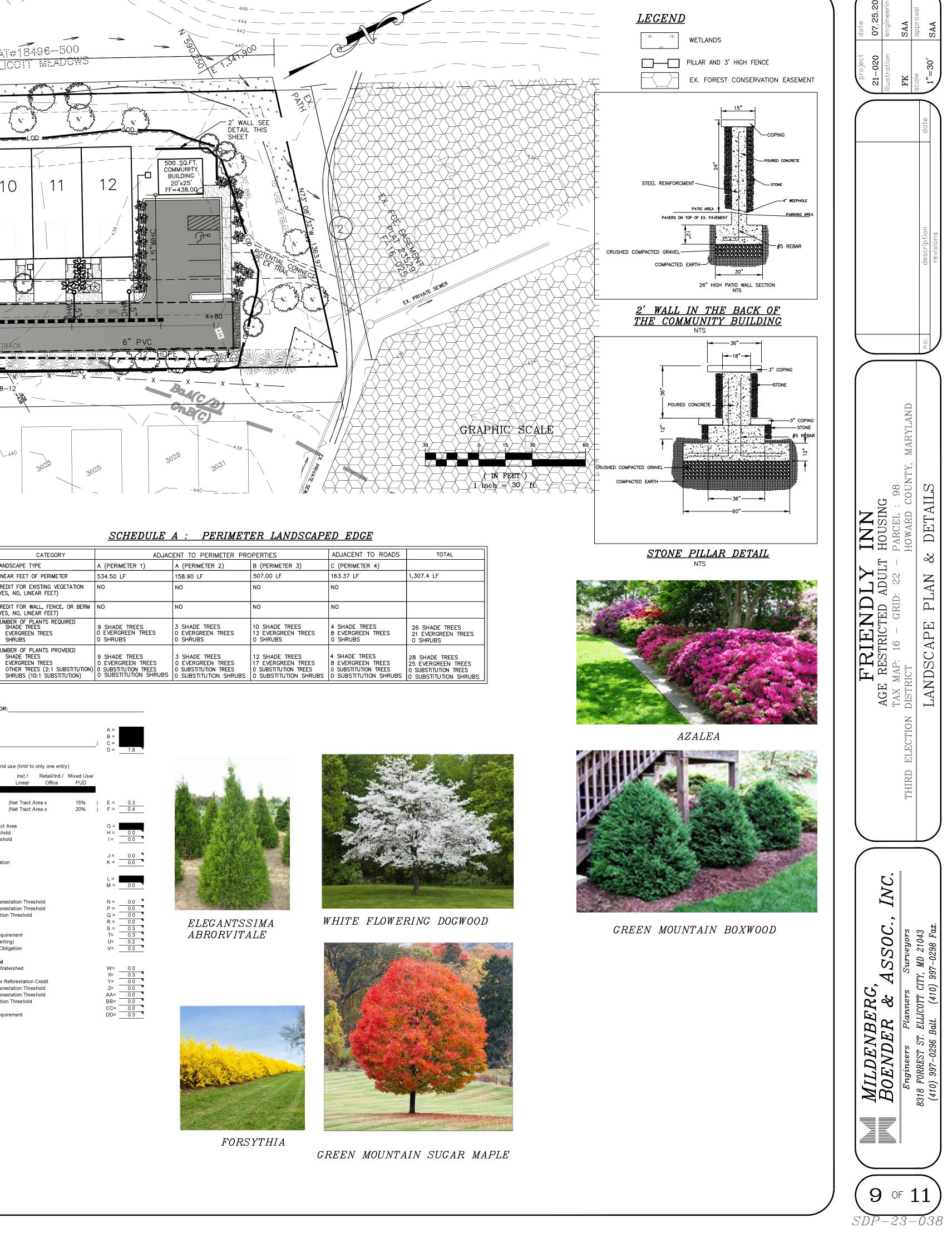
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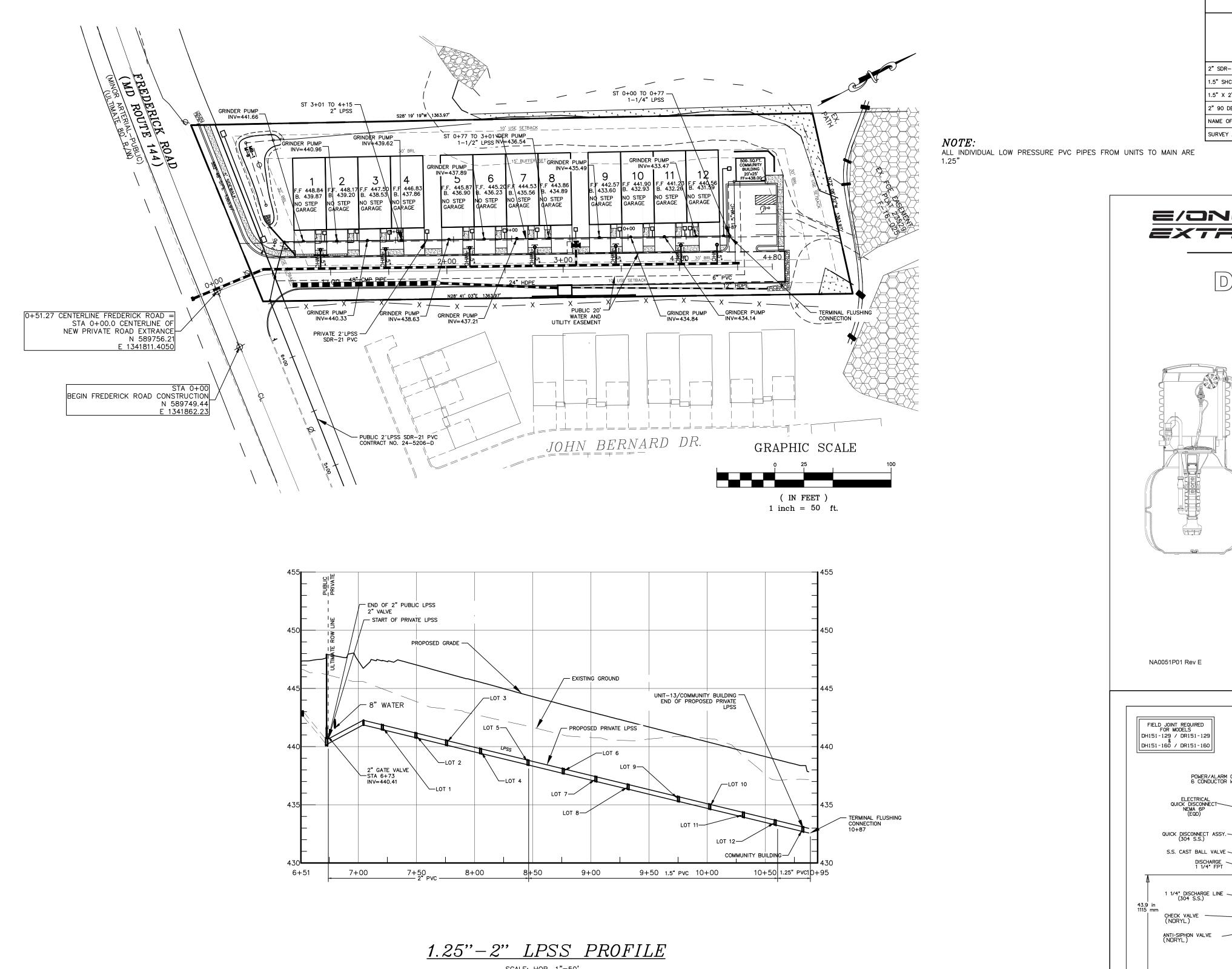
# SCHEDULE A : PERIMETER LANDSCAPED EDGE

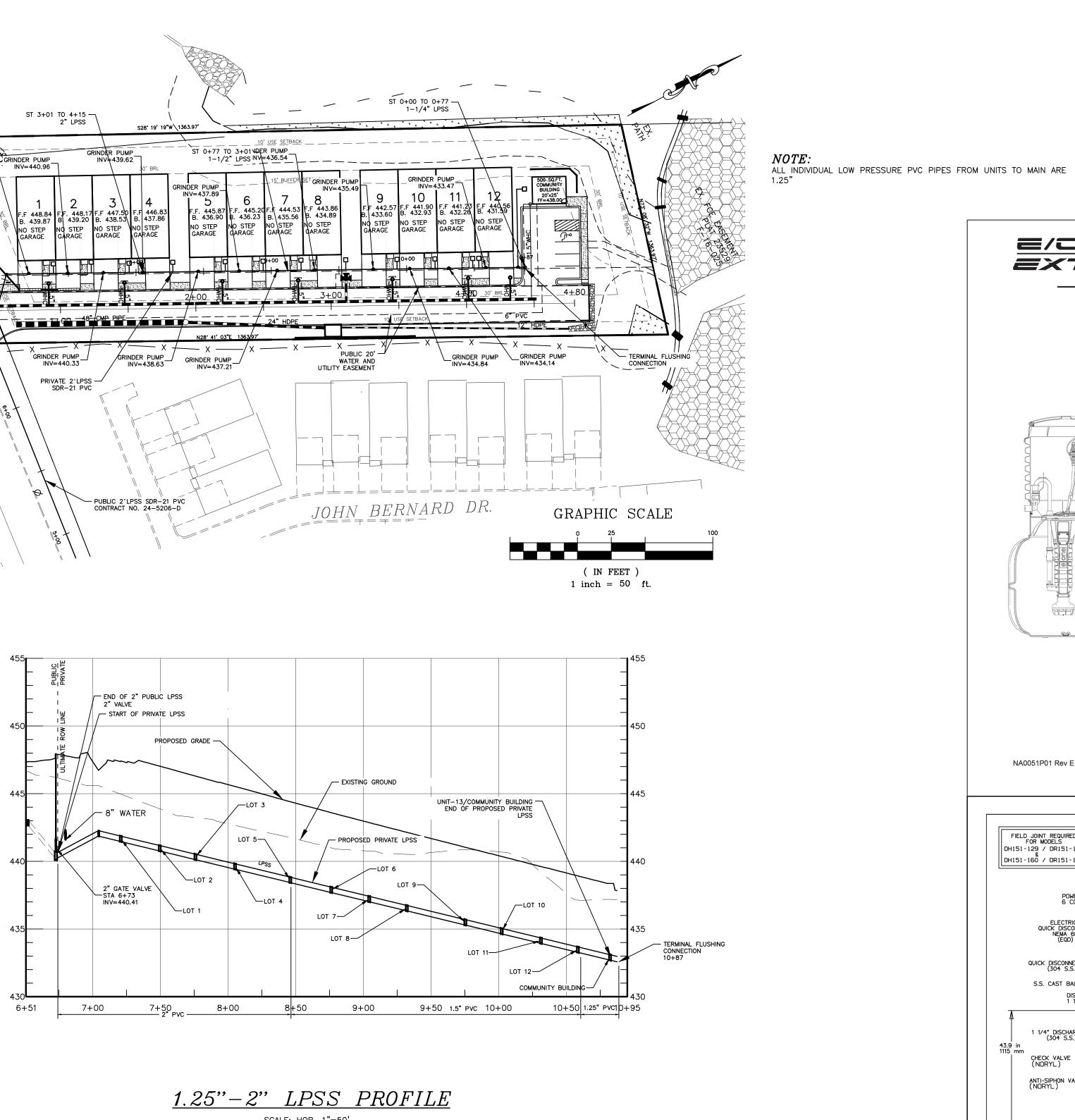
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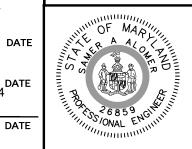






APPROVED: DEPARTMENT OF PLANNING AND ZONING -7063F754EF41499 CHIEF, DEVELOPMENT ENGINEERING DIVISION CHIEF, DIVISION OF LAND DESTRICT lynda Eisenberg DIRECTOR, DEPARTMENT OF 2018 2000 MARCE AND ZONNING

9/5/2024 9/9/2024 DATE DATE 9/9/2024



HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 26859, EXP DATE 08/08/25 DocuSigned by: 7/25/2024 Samer Alomer SAMERCOORSETALOMER, P.E.

DATE:

SCALE: HOR. 1"=50' VER. 1"=5'

PUM	P MODEL NUMBER AND IN	NVERTS
UNIT NO.	PUMP MODEL	INVERT IN AT PUMP CHAMBER
UNIT 1	DH151-160	437.83
UNIT 2	DH151-160	437.16
UNIT 3	DH151-160	436.49
UNIT 4	DH151-160	436.49
UNIT 5	DH151-160	434.90
UNIT 6	DH151-160	434.23
UNIT 7	DH151-160	433.56
UNIT 8	DH151-160	432.89
UNIT 9	DH151-160	431.60
UNIT 10	DH151-160	430.93
UNIT 11	DH151-160	430.26
UNIT 12	DH151-160	429.59
COMMUNITY BUILDING	DH071-61	436.00

<u>DEVELOPER</u> FRIENDLY INN DEVELOPMENT COMPANY LLC. 8318 FORREST ST. SUITE 200 ELLICOTT CITY, MD 21042 410 992 4600

ITEMS           QUANTITIES ESTIMATED         QUANTITIES         TYPE         MANUFACTURED/SUPPLIER           2" SDR-21 PVC         470 LF		QUA.	NTITY T	ABLE	ה י
ESTIMATEDQUANTITIESTYPEMANUFACTURED/SUPPLIER2" SDR-21 PVC470 LF1.5" SHC156 LF1.5" X 2" TEE13 EACH2" 90 DEG BEND1 EACHNAME OF UTILITY CONTRACTOR:	ITEMS				
1.5" SHC       156 LF       Image: Constraint of the second secon	TIEMS	ESTIMATED	QUANTITIES	TYPE	MANUFACTURED/SUPPLIER
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# DH151/DR151

### **General Features**

The model DH151 or DR151 grinder pump station is a complete unit that includes: the grinder pump, check valve, polyethylene tank, controls, and alarm panel. A single DH151 or DR151 is a popular choice for up to two, average single-family homes and can also be used for up to six average single-family homes where codes allow and with consent of the factory.

### • Rated for flows of 1500 gpd (5678 lpd) 150 gallons (568 liters) of capacity Indoor or outdoor installation

 Standard outdoor heights range from 63 inches to 160 inches The DH151 is the "hardwired," or "wired," model where a cable connects the motor controls to the level controls through watertight penetrations.

The DR151 is the "radio frequency identification" (RFID), or "wireless," model that uses wireless technology to communicate between the level controls and the motor controls.

### **Operational Information**

Motor 1 hp, 1,725 rpm, high torque, capacitor start, thermally protected, 120/240V, 60 Hz, 1 phase

## Inlet Connections

4-inch inlet grommet standard for DWV pipe. Other inlet configurations available from the factory. Discharge Connections

Pump discharge terminates in 1.25-inch NPT female thread. Can easily be adapted to 1.25-inch PVC pipe or any other material required by local codes. Discharge

15 gpm at 0 psig (0.95 lps at 0 m) 11 gpm at 40 psig (0.69 lps at 28 m) 7.8 gpm at 80 psig (0.49 lps at 56 m)

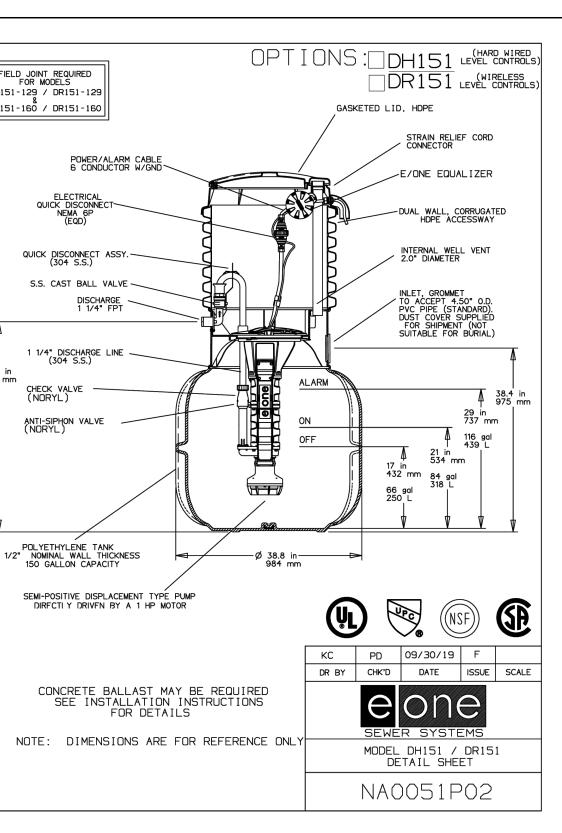
### Accessories

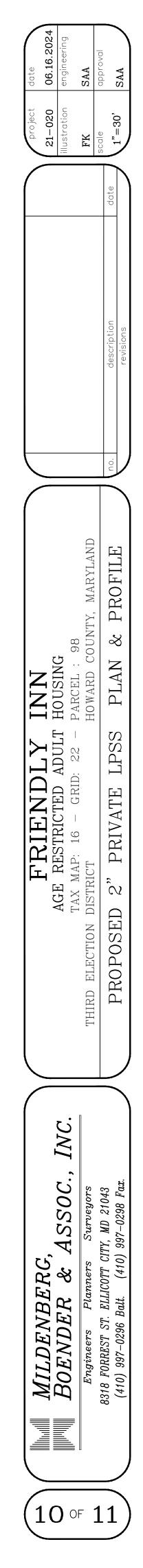
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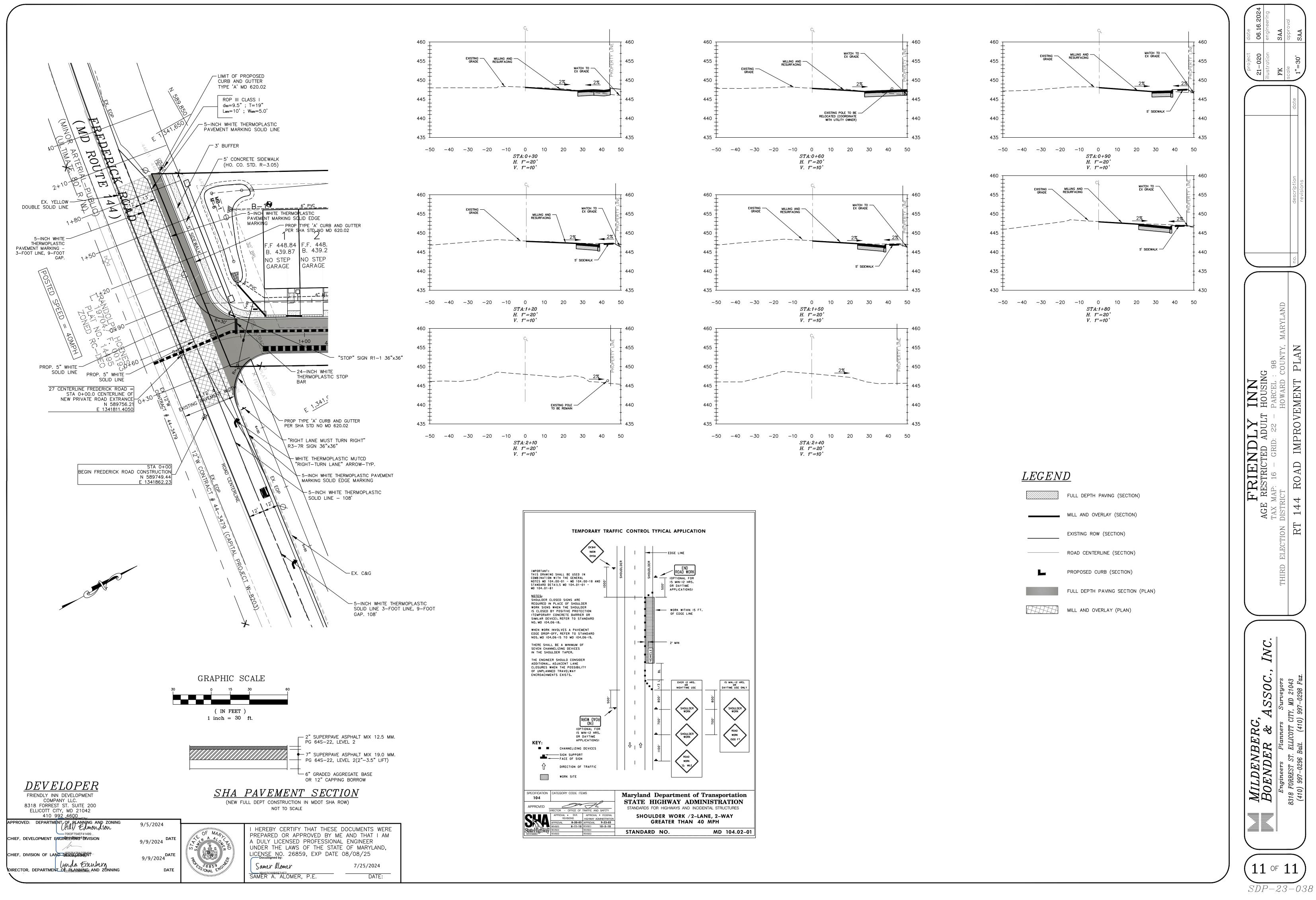
E/One requires that the Uni-Lateral, E/One's own stainless steel check valve, be installed between the grinder pump station and the street main for added protection against backflow.

### Alarm panels are available with a variety of options, from basic monitoring to advanced notice of service requirements.

The Remote Sentry is ideal for installations where the alarm panel may be hidden







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