

GENERAL NOTES

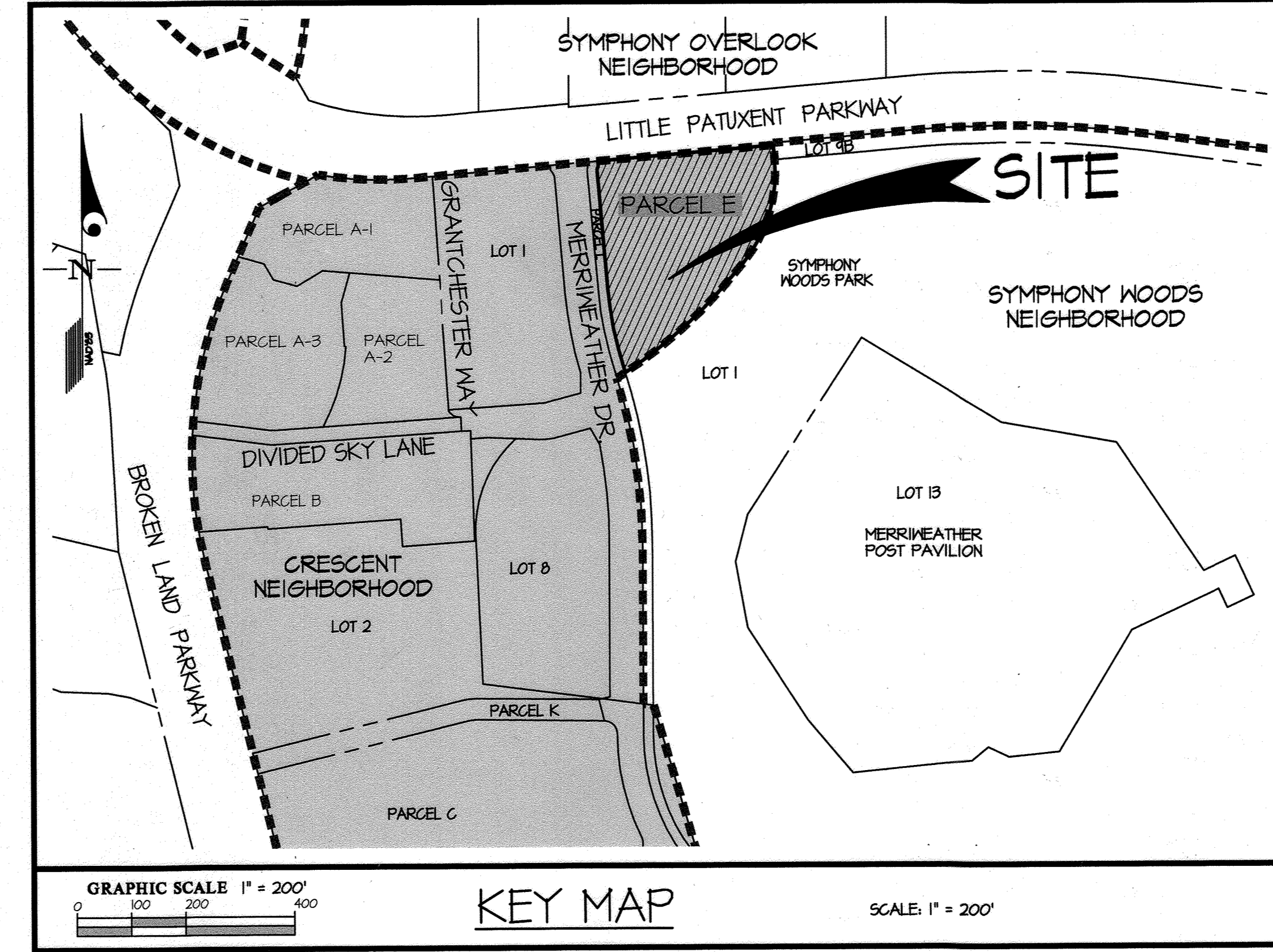
- 1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF HOWARD COUNTY PLUS MSHA STANDARDS AND SPECIFICATIONS IF APPLICABLE.
2. THE CONTRACTOR SHALL NOTIFY THE BUREAU OF ENGINEERING/CONSTRUCTION INSPECTION DIVISION AT (410) 313-1800 AT LEAST 48 HOURS PRIOR TO THE START OF WORK.
3. THE CONTRACTOR SHALL NOTIFY "MISS UTILITY" AT 1-800-291-7111 AT LEAST 48-HOURS PRIOR TO ANY EXCAVATION WORK.
4. THE CONTRACTOR SHALL NOTIFY THE HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS BUREAU OF UTILITIES AT (410) 313-4900 AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION WORK.
5. A) IF REQUIRED, ANY "STOP" SIGN OR THE STREET NAME SIGN (SNS) ASSEMBLY FOR THIS DEVELOPMENT MUST BE INSTALLED BEFORE THE BASE PAVING IS COMPLETED.
B) THE TRAFFIC CONTROL DEVICE LOCATIONS SHOWN ON THE PLANS ARE APPROXIMATE AND MUST BE FIELD APPROVED BY HOWARD COUNTY TRAFFIC DIVISION (410-313-2450) PRIOR TO THE INSTALLATION OF ANY OF THE TRAFFIC CONTROL DEVICES.
C) ALL TRAFFIC CONTROL DEVICES AND THEIR LOCATIONS SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE "MARYLAND MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" (MDMUTCD).
D) ALL SIGN POSTS USED FOR TRAFFIC CONTROL SHALL TAKE ALL NECESSARY PRECAUTIONS TO PROTECT THE EXISTING UTILITIES AND MAINTAIN UNINTERRUPTED SERVICE. ANY DAMAGE INCURRED DUE TO CONTRACTOR'S OPERATION SHALL BE REPAIRED IMMEDIATELY AT THE CONTRACTOR'S EXPENSE. EXISTING UTILITIES ARE SHOWN BASED ON THE BEST AVAILABLE INFORMATION.

10. SPOT ELEVATIONS SHOWN FOR CURB ARE BOTTOM OF CURB UNLESS OTHERWISE NOTED.
11. ALL PLAN DIMENSIONS ARE TO THE FACE OF BUILDING OR CURB UNLESS OTHERWISE NOTED. DIMENSIONS ARE MEASURED PERPENDICULAR OR RADIAL BETWEEN ITEMS UNLESS NOTED OTHERWISE. CURB RADII ARE 5' UNLESS NOTED OTHERWISE.
12. THE CEMETERY INVENTORY MAP DOES NOT SHOW ANY CEMETERIES WITHIN THE PROJECT LIMITS.
13. THE SCENIC ROADS MAP DOES NOT INDICATE ANY SCENIC ROADS IN THE VICINITY.
14. THERE ARE NO DESIGNATED HISTORIC OR CULTURALLY SIGNIFICANT EXISTING SITES, BUILDINGS, OR STRUCTURES OR PUBLIC ART WITHIN THE SITE AREA.
15. THE GEO-TECHNICAL REPORT WAS PROVIDED BY EGS MID ATLANTIC, LLC DATED FEBRUARY, 2023
16. A NOISE STUDY IS NOT REQUIRED FOR THIS PROJECT.
17. THE REGULATED WATER RESOURCES VERIFICATION FOR THIS PROJECT WAS PREPARED BY DAFT-MCGONE-WALKER, INC., DATED MARCH 6, 2023. THERE ARE NO REGULATED WATER RESOURCES ON THIS SITE.
18. SOILS DATA WAS TAKEN FROM THE SOIL SURVEY OF HOWARD COUNTY, MARYLAND ISSUED MARCH, 2008.
19. THE TRANSPORTATION AND PARKING STUDY FOR THIS PROJECT WAS PREPARED BY NELLIS AND ASSOCIATES AND WAS APPROVED WITH THIS SDP SUMMARY OF FINDINGS FOR APPO TRAFFIC ANALYSIS.

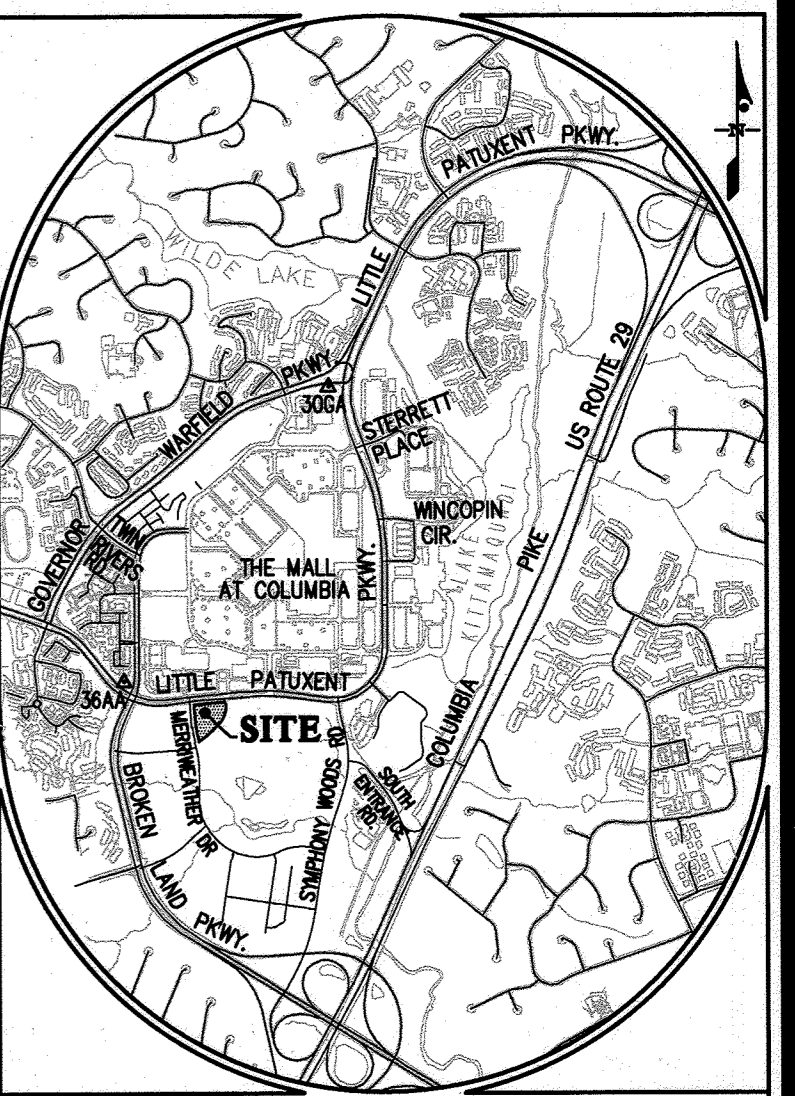
- 20. THE PARKING STUDY FOR THIS PROJECT WAS PREPARED BY NELLIS AND ASSOCIATES, DATED MARCH 10, 2023, AND WAS APPROVED WITH THIS SDP.
21. THIS SITE HAS BEEN REMOVED FROM THE MERRINEATHER POST PAVILION PARKING SUPPLY. SEE SDP-18-005 FOR THE MERRINEATHER PARKING CHART EFFECTIVE AS OF THE APPROVAL DATE OF THIS SDP.
22. BOUNDARY INFORMATION IS FROM BOUNDARY SURVEYS BY GLW DATED NOVEMBER, 2016.
23. THERE IS NO 100 YEAR FLOODPLAIN ON OR ADJACENT TO THE SITE.
24. NO GRADING, REMOVAL OF VEGETATIVE COVER OR TREES, OR PLACEMENT OF NEW STRUCTURES IS PERMITTED WITHIN LIMITS OF WETLANDS, STREAMS OR THEIR REQUIRED BUFFERS, OR 100 YEAR FLOODPLAIN AREAS, UNLESS PERMITTED UNDER AN APPROPRIATE WAIVER PETITION OR DETERMINED BY DPZ.
25. THE PROJECT IS WITHIN THE METROPOLITAN DISTRICT. WATER AND SEWER SERVICE IS PUBLIC (CONTR. #24-4128-D). THE PUBLIC EXTENSIONS ARE PER WITH ADOR 5801 MERRINEATHER DRIVE.
26. THIS SITE, WHICH IS SUBJECT TO A DEVELOPMENT RIGHTS AND RESPONSIBILITIES AGREEMENT (L 11457 F. 265), IS EXEMPT FROM FOREST CONSERVATION REQUIREMENTS OF SECTION 16.12002 OF THE HOWARD COUNTY CODE SECTION IN ACCORDANCE WITH THE SINCE REMOVED SECTION 16.1202 (B)(VI)(V) (PUD WITH A PDP APPROVED PRIOR TO 12/31/12) WHICH WAS IN PLACE AT THE TIME THE DEVELOPMENT RIGHTS AND RESPONSIBILITIES AGREEMENT WAS RECORDED IN FEBRUARY 2011.
27. ALL OUTDOOR LIGHTING SHALL BE ORIENTED TO DIRECT LIGHT INWARDS AND DOWNWARDS ON-SITE AWAY FROM ALL ADJOINING PUBLIC ROADS AND IN ACCORDANCE WITH SECTION 134 OF THE HOWARD COUNTY ZONING REGULATIONS.
28. TRASH COLLECTION FOR THE SITE WILL BE PRIVATE. TRASH WILL BE STORED IN THE TRASH ENCLOSE AND WHEELED OUT TO THE PARKING LOT AT THE TIME OF COLLECTION.
29. THE LANDSCAPE PLAN WAS PREPARED ACCORDING TO THE ALTERNATIVE COMPLIANCE SECTION OF THE LANDSCAPE MANUAL. THE LANDSCAPE PLANS HAVE BEEN PREPARED BY A REGISTERED LANDSCAPE ARCHITECT AND IS CERTIFIED TO MEET THE DESIGN INTENT OF THE CRESCENT NEIGHBORHOOD DESIGN GUIDELINES. SURETY FOR THE REQUIRED LANDSCAPING, \$9300 SHALL BE POSTED WITH THE DEVELOPER'S AGREEMENTS.
30. THE MINIMUM BUILDING SETBACKS RESTRICTIONS FROM PROPERTY LINES AND PUBLIC ROAD RIGHTS OF WAY ARE TO BE IN ACCORDANCE WITH FDP-DC-CRESCENT-IA AND CRESCENT NEIGHBORHOOD DESIGN GUIDELINES.
31. THE PROPOSED BUILDINGS WILL HAVE AN AUTOMATIC FIRE SUPPRESSION SPRINKLER SYSTEM.
32. THIS PROPERTY IS SUBJECT TO THE CRESCENT NEIGHBORHOOD SPECIFIC DESIGN GUIDELINES (NSDG), RECORDED IN L 16305, F. 415. THE CRESCENT NEIGHBORHOOD SPECIFIC IMPLEMENTATION PLAN (NSIP), RECORDED IN L 16306, F. 191. THE CRESCENT NEIGHBORHOOD CONCEPT PLAN (NCP) RECORDED AS PLAT NOS. 23941 THRU 23402 AND THE CRESCENT FINAL DEVELOPMENT PLAN (FDP-DC-CRESCENT-IA), RECORDED AS PLAT NOS. 24102 THRU 24110.
33. THE PROPOSED BUILDING IS LESS THAN 10,000 SF AND IS EXEMPT FROM THE HOWARD COUNTY GREEN BUILDING LAW PER SEC. 3.1003.(a)(2)
34. AT THE TIME OF SDP APPROVAL, THE SITE IS UNDER PHASE I OF THE DOWNTOWN REVITALIZATION PHASING PROGRESSION.
35. EACH OWNER OF PROPERTY DEVELOPED WITH COMMERCIAL USES PURSUANT TO SECTION 125.0.A.9 OF THE ZONING REGULATIONS SHALL PROVIDE AN ANNUAL PER SQUARE FOOT CHARGE IN AN AMOUNT OF \$0.25 PER SQUARE FOOT OF GROSS LEASABLE AREA FOR OFFICE AND RETAIL USES AND \$0.25 PER SQUARE FOOT OF NET FLOOR AREA FOR HOTELS TO THE DOWNTOWN COLUMBIA PARTNERSHIP ADJUSTED, CALCULATED AND PAYABLE IN ACCORDANCE WITH SECTION 28.115 OF THE COUNTY CODE (CEPPA 29).
36. TO ADDRESS AFFORDABLE HOUSING, THE PROPERTY HAS BEEN INCLUDED IN A DEVELOPMENT RIGHTS AND RESPONSIBILITIES AGREEMENT BETWEEN THE COUNTY AND PETITIONER RECORDED AMONG THE HOWARD COUNTY LAND RECORDS IN BOOK 11457 AT PAGE 269. ADDITIONAL TO EACH OWNER WITHIN THE FDP AREA WILL MAKE THE APPLICABLE ANNUAL PAYMENTS REQUIRED BY CEPPA 21, ADJUSTED, CALCULATED AND PAYABLE IN ACCORDANCE WITH SECTION 28.115 OF THE HOWARD COUNTY CODE.
37. IN ACCORDANCE WITH FDP-DC-CRESCENT-IA THERE IS A 1 STORY BUILDING HEIGHT LIMIT (NOT TO EXCEED 100 FEET)
38. PRIOR TO SUBMITTING THIS SITE DEVELOPMENT PLAN, A PRE-SUBMISSION COMMUNITY MEETING WAS HELD ON FEBRUARY 7, 2023 AT HISTORIC OAKLAND. NOTICE OF THE MEETING WAS PROVIDED IN ACCORDANCE WITH SECTION 18.029 OF THE ZONING REGULATIONS.
39. PRIOR TO SUBMITTING THIS SITE DEVELOPMENT PLAN, A SUBMISSION TO THE HOWARD COUNTY DESIGN ADVISORY PANEL WAS MADE IN ACCORDANCE WITH SECTION 125.11(b). THE DESIGN ADVISORY PANEL CONSIDERED THE APPLICATION AT ITS MEETING ON FEBRUARY 8, 2023. THE DAP ADOPTED TWO RECOMMENDATIONS TO THE PLANNING BOARD FOR THE PROJECT AS NOTED IN THE MINUTES.

SITE DEVELOPMENT PLAN
DOWNTOWN COLUMBIA
CRESCENT NEIGHBORHOOD
PHASE I

PARCEL E - RESTAURANT - BARK SOCIAL



CUMULATIVE DOWNTOWN COMMUNITY COMMONS TRACKING CHART
CRESCENT NEIGHBORHOOD (FDP-DC-CRESCENT-IA)
5% Downtown Community Commons (DCC) Requirement: 144,904 SF
Table with columns: SDP No., Parcel, DCC Area (to be) Provided (SF), KEY, NOTES



DEVELOPMENT CHART
Uses: Non-Residential (SF), Residential (DU)
Table with columns: Parcel, Area (SF), Area (Acre), Rest./Office, etc.

(1) THE NON-RESIDENTIAL AND RESIDENTIAL GROSS FLOOR AREA, THE NUMBER OF RESIDENTIAL UNITS AND/OR THE LAND USE APPROVED FOR AN INDIVIDUAL PARCEL MAY BE REALLOCATED AMONG OTHER PARCELS WITHIN THE FDP AREA AND/OR EXCEEDED ON A SUBSEQUENT SITE DEVELOPMENT PLAN WITHOUT AMENDING THE FDP, PROVIDED THE TOTAL NON-RESIDENTIAL AND RESIDENTIAL GROSS FLOOR AREA AND THE TOTAL NUMBER OF RESIDENTIAL UNITS APPROVED FOR ALL PARCELS WITHIN THE FDP AREA IS NOT EXCEEDED.
(2) NET NEW AREA TO BE USED TO CALCULATE DOWNTOWN REVITALIZATION SQUARE FOOTAGE FOR PHASING AND CEPPA'S

SHEET INDEX

- 1. COVER SHEET
2. ADDITIONAL NOTES AND DETAILS
3. EXISTING CONDITIONS / DEMOLITION PLAN
4. SITE DEVELOPMENT PLAN
5. BUILDING ELEVATIONS
6. GRADING PLAN
7. SITE DETAILS
8. UTILITY PLAN AND PROFILES
9. STORMWATER DETAILS
10. STORMWATER DETAIL AREA MAP
11. ESD DRAINAGE AREA MAP
12. SEDIMENT CONTROL PLAN
13. SEDIMENT CONTROL NOTES AND DETAILS
14. SEDIMENT CONTROL DETAILS
15. LANDSCAPE PLAN

APPROVED PLANNING BOARD OF HOWARD COUNTY
Date: JUNE 15, 2023
Director: Lynda Eversberg 10/23/2023
Chief, Division of Land Development: Michael E. Edmondson 10/23/2023

APPROVED: HOWARD COUNTY HEALTH DEPARTMENT
FOR PUBLIC WATER & SEWERAGE SYSTEM
Michael Davis 10/23/2023
County Health Officer

GLW PLANNING | ENGINEERING | SURVEYING
3809 NATIONAL DRIVE | SUITE 250 | BURTONSVILLE, MD 20886 | GLWPA.COM
PHONE: 301-421-4024 | BALT: 410-880-1820 | DC&VA: 301-889-2524 | FAX: 301-421-4186

OWNER/PREPARED FOR:
THE HOWARD RESEARCH AND DEVELOPMENT CORP
10960 CANTONCHERRY WAY, SUITE 110
COLUMBIA, MD 21044
ATTN: WILL BAUGHER

PROFESSIONAL CERTIFICATION
I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 54390
EXPIRATION DATE: MAY 14, 2025 10/10/23

COVER SHEET
BARK SOCIAL
DOWNTOWN COLUMBIA CRESCENT NEIGHBORHOOD
PARCEL E
RESTAURANT
PLAT NO. 26446

PERMIT INFORMATION CHART
SUBDIVISION NAME: DOWNTOWN COLUMBIA CRESCENT NEIGHBORHOOD - PHASE I
SECTION/AREA N/A
LOT PARCEL E
PLAT No. 26446
PARCEL 521
ZONE NT
TAX MAP 36
BLOCK
ELEC. DIST. 5
CENSUS TRACT 6054
WATER CODE: NA
SEWER CODE: NA

I. GENERAL SITE DATA
A. TOTAL SITE AREA (PARCEL E): 2.07 AC.
B. LIMIT OF DISTURBED AREA: 1.3 AC.
C. PRESENT ZONING: NT-DMIA (FDP DC-CRESCENT-IA)
D. PROPOSED USE OF SITE: RESTAURANT
E. FLOOR SPACE:
LEVEL: 4,000 SF
TOTAL: 2,672 SF

2. PARCEL E DEVELOPMENT DATA
B. RESTAURANT
I. PROPOSED AREA: 2,672 square feet
C. PARKING REQUIREMENTS:
INDOOR SEATING: 128 SF
OUTDOOR SEATING: 2,158 SF
TOTAL SEATING AREA: 2,286 SF (SEE SHEET 5 FOR SEATING AREA DELINEATION)













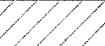
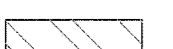
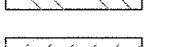
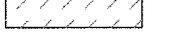

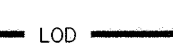

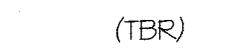
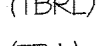

DESIGN HOUR PARKING RATIO: 26.67 SPACES / 1,000 SF OF SEATING AREA
SUB-TOTAL PARKING SPACES REQUIRED: 88 SPACES
NON-AUTO ADJUSTMENT: 2 SPACES
TOTAL PARKING REQUIRED: 90 SPACES
SEE PARKING STUDY BY NELLIS + ASSOCIATES DATED 11/17/23 FOR MORE INFO.
D. PARKING PROVIDED:
PARCEL E HAS 91 PARKING SPACES.

STORMWATER MANAGEMENT INFORMATION CHART
Table with columns: LOT/PARCEL, FACILITY NAME/NO., PRACTICE TYPE (QUANTITY), PUBLIC/PRIVATE, MISC.

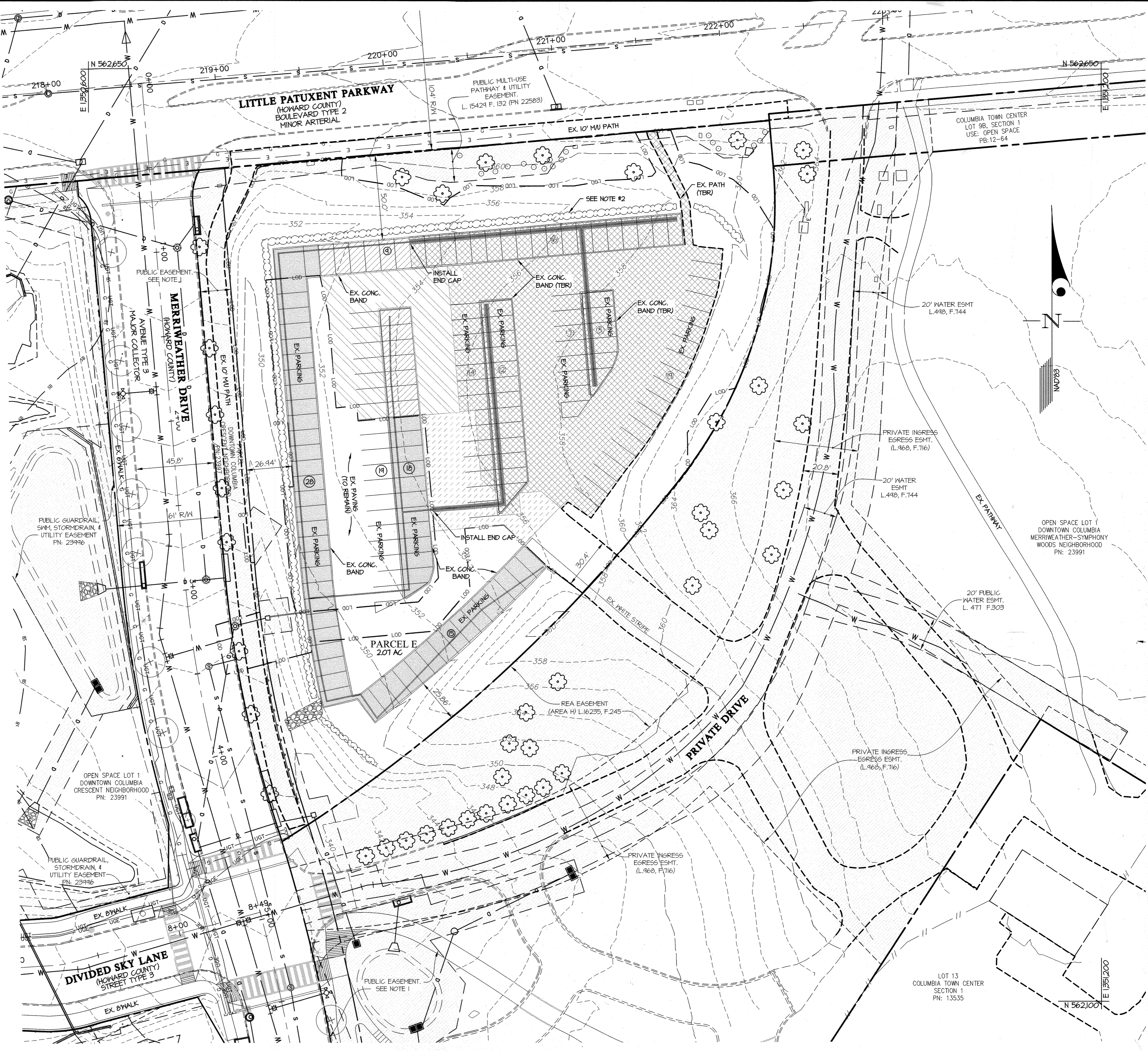
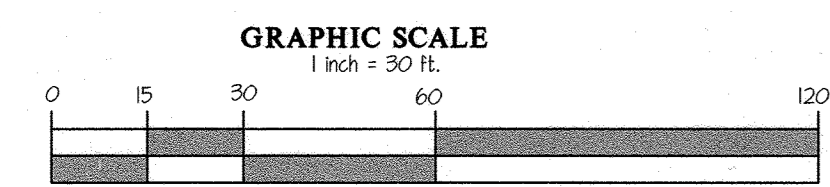
ADDRESS CHART
BUILDING: 5801 MERRINEATHER DRIVE

SCALE AS SHOWN
ZONING NT
G. L. W. FILE No. 22069
DATE OCT., 2023
TAX MAP - GRID 36 - 01
SHEET 1 OF 15

LEGEND

-  EXISTING EASEMENT
- EX. S^{1/2"}  EXISTING SANITARY SEWER
- EX. W^{1/2"}  EXISTING WATERLINE
- EX. SD^{1/2"}  EXISTING STORM DRAIN
- TV  CABLE TV LINE
- E  ELECTRIC LINE
- FO  FIBER OPTIC LINE
- G  GAS LINE
- T  TELECOMMUNICATIONS LINE
-  EXISTING CURB AND GUTTER
-  EXISTING EDGE OF PAVEMENT
-  EXISTING PARKING SPACES TO REMAIN
-  EXISTING PARKING SPACES TO BE REMOVED
-  EXISTING PAVEMENT OR CONCRETE TO BE REMOVED
-  EXISTING POROUS PAVEMENT TO BE RAISED (SEE SHEET 1)
-  EXISTING PAVEMENT TO BE RAISED (SEE SHEET 1)
-  MILL AND OVERLAY
-  EXISTING POROUS PAVEMENT TO REMAIN
-  LIMIT OF DISTURBANCE
-  EXISTING UTILITY (TO BE REMOVED/ABANDONED)
- (TBR) TO BE REMOVED
- (TBRL) TO BE RELOCATED
- (TBA) TO BE ABANDONED
-  EXISTING TREE
-  EXISTING SHRUB

- NOTES:**
1. PUBLIC STREET TREE, STREET LIGHT, GUARDRAIL, STORM DRAIN, STORMWATER MANAGEMENT, WATER, SEWER, & UTILITY EASEMENT. PLAT NUMBER 23491
 2. ALL EXISTING SHRUBS REMOVED DURING CONSTRUCTION MUST BE REPLACED.
 3. FOR ALL UTILITY SIZES, SEE UTILITY PLAN, SHEET 0.



APPROVED
PLANNING BOARD OF HOWARD COUNTY
 Date: JUNE 15, 2023

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
 Director: Lyndee Easley 1/18/24
 Chief, Division of Land Development: Chad Eberhart 1/18/24
 Chief, Development Engineering Division: 15A 1.3.23

GLW
 PLANNING | ENGINEERING | SURVEYING
 3909 NATIONAL DRIVE | SUITE 250 | BURTONSVILLE, MD 20866 | GLWPA.COM
 PHONE: 301-421-4024 | BALT: 410-880-1820 | DC&VA: 301-989-2524 | FAX: 301-421-4186

DESIGNED BY:	DDS	DATE:	12/2023	REVISION:	▲ LIMIT OF PAVEMENT REMOVAL ADJUSTED	BY:	APPR.
DRAWN BY:	AWL						
CHECKED BY:							

OWNER/PREPARED FOR:
 THE HOWARD RESEARCH AND DEVELOPMENT CORP
 10960 CROMBIE WAY, SUITE 110
 COLUMBIA, MD 21044
 ATTN: WILL BAUGHER

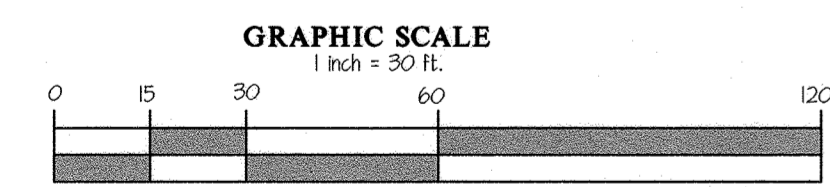
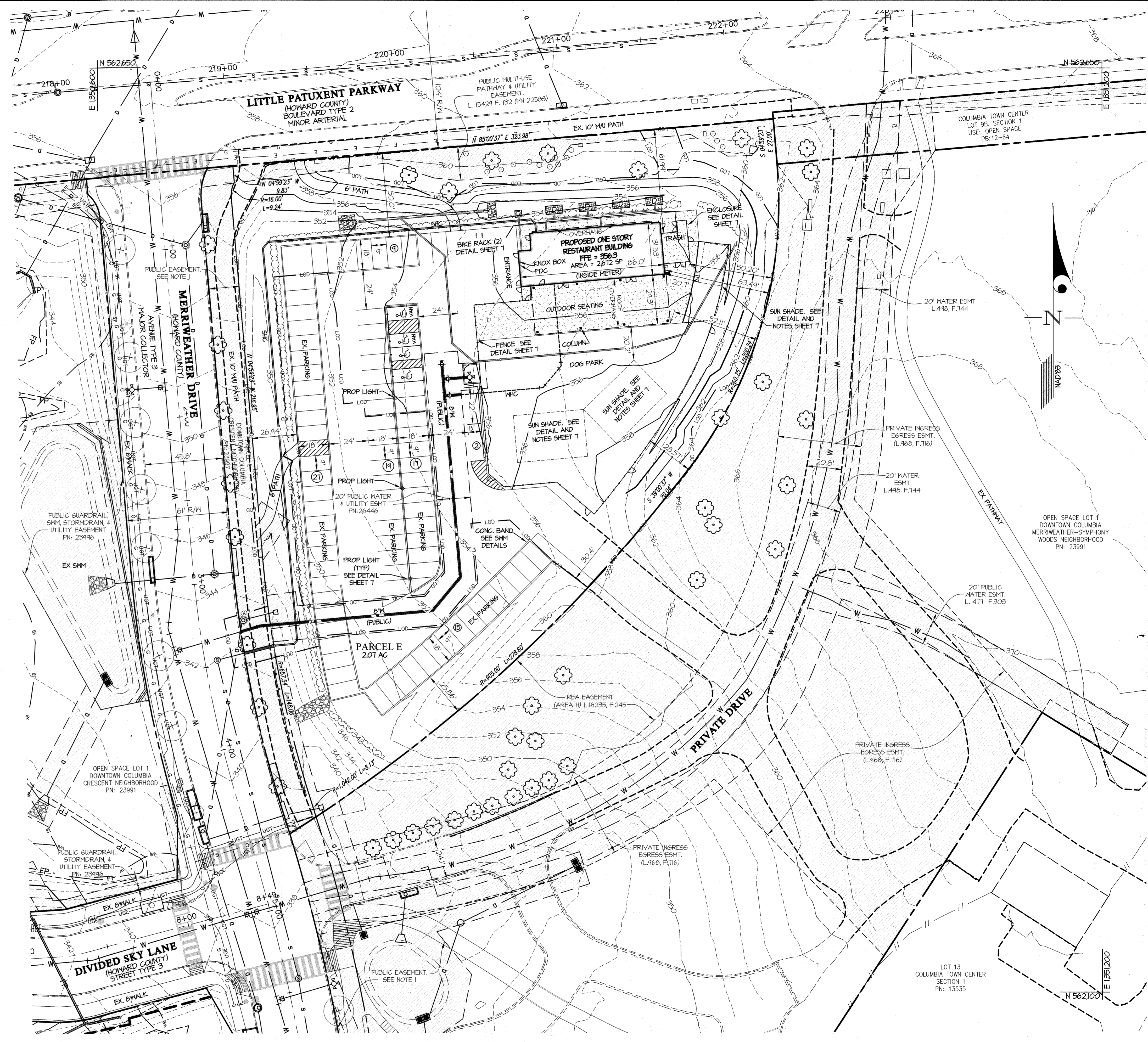
PROFESSIONAL CERTIFICATION
 I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 54390
 EXPIRATION DATE: MAY 14, 2025

EXISTING CONDITIONS / DEMOLITION PLAN
BARK SOCIAL
DOWNTOWN COLUMBIA CRESCENT NEIGHBORHOOD
PARCEL E
RESTAURANT
 PLAT NO. 26446
 ELECTION DISTRICT No. 5
 HOWARD COUNTY, MARYLAND

SCALE	ZONING	G. L. W. FILE NO.
1"=30'	NT	22069
DATE	TAX MAP - GRID	SHEET
DEC., 2023	36 - 01	3 OF 15

L:\CADD\DRAWINGS\22069\PLANS BY GLW\48\22069 DEMO.dwg
 PLOTTED: 12/18/2023 2:18 PM, LAST SAVE: 12/15/2023 10:37 AM, PLOTTED BY: Don Sweaney

- NOTES:
- PUBLIC STREET TREE, STREET LIGHT, GUARDRAIL, STORM DRAIN, STORMWATER MANAGEMENT, WATER, SEWER, & UTILITY EASEMENT. PLAT NUMBER 23941
 - BUILDING TO HAVE INTERNAL GREASE COLLECTION.
 - SEE SHEET 8 FOR ALL UTILITY INFORMATION.
 - TRASH AND RECYCLING TO BE KEPT IN TOTES LOCATED WITHIN THE DESIGNATED TRASH AREA. TOTES TO BE ROLLED OUT TO THE PARKING AREA JUST PRIOR TO COLLECTION AND RETURNED IMMEDIATELY AFTER COLLECTION.
 - KNOX BOXES SHALL BE LOCATED WITHIN 6' TO THE RIGHT OF THE MAIN ENTRANCE AT A RANGE OF 4'-5' IN HEIGHT. THE CONTRACTOR SHOULD CONTACT THE OFFICE OF THE FIRE MARSHAL PRIOR TO PURCHASING AND INSTALLING KNOX BOXES TO DETERMINE IF ADDITIONAL KNOX BOXES WILL BE REQUIRED AS WELL AS TO VERIFY THE LOCATION(S) WHERE THEY ARE TO BE MOUNTED.



APPROVED
PLANNING BOARD OF HOWARD COUNTY
 Date: JUNE 15, 2023

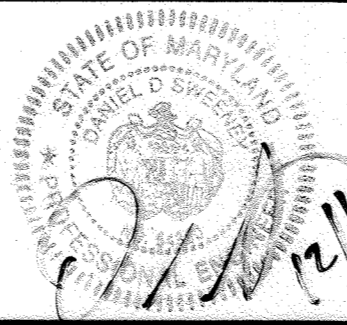
APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
 Director: Lynde Eason Date: 11/8/24
 Chief, Division of Land Development: Chad Edinger Date: 11/01/24
 Chief, Development Engineering Division: MEK Date: 1.3.24

GLW
 PLANNING | ENGINEERING | SURVEYING
 3909 NATIONAL DRIVE | SUITE 250 | BURTONSVILLE, MD 20886 | GLWPA.COM
 PHONE: 301-421-4024 | BALT: 410-880-1820 | DC&VA: 301-989-2524 | FAX: 301-421-4186

DESIGNED BY:	dds		
DRAWN BY:	dds		
CHECKED BY:			
DATE:	12/2023	REVISION:	▲ BUILDING FOOTPRINT REVISED
BY:		APPR.:	

OWNER/PREPARED FOR:
 THE HOWARD RESEARCH AND DEVELOPMENT CORP
 10960 GRANTCHESTER WAY, SUITE 110
 COLUMBIA, MD 21044
 ATTN: WILL BAUGHER

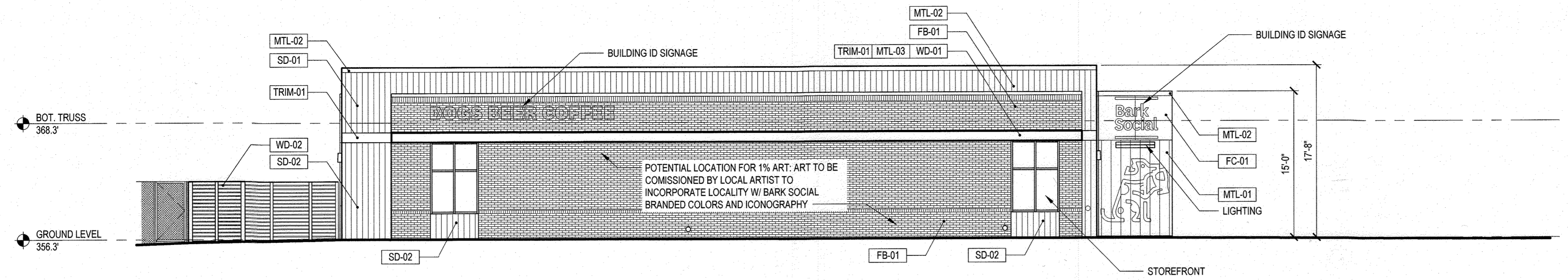
PROFESSIONAL CERTIFICATION
 I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 54380
 EXPIRATION DATE: MAY 14, 2025



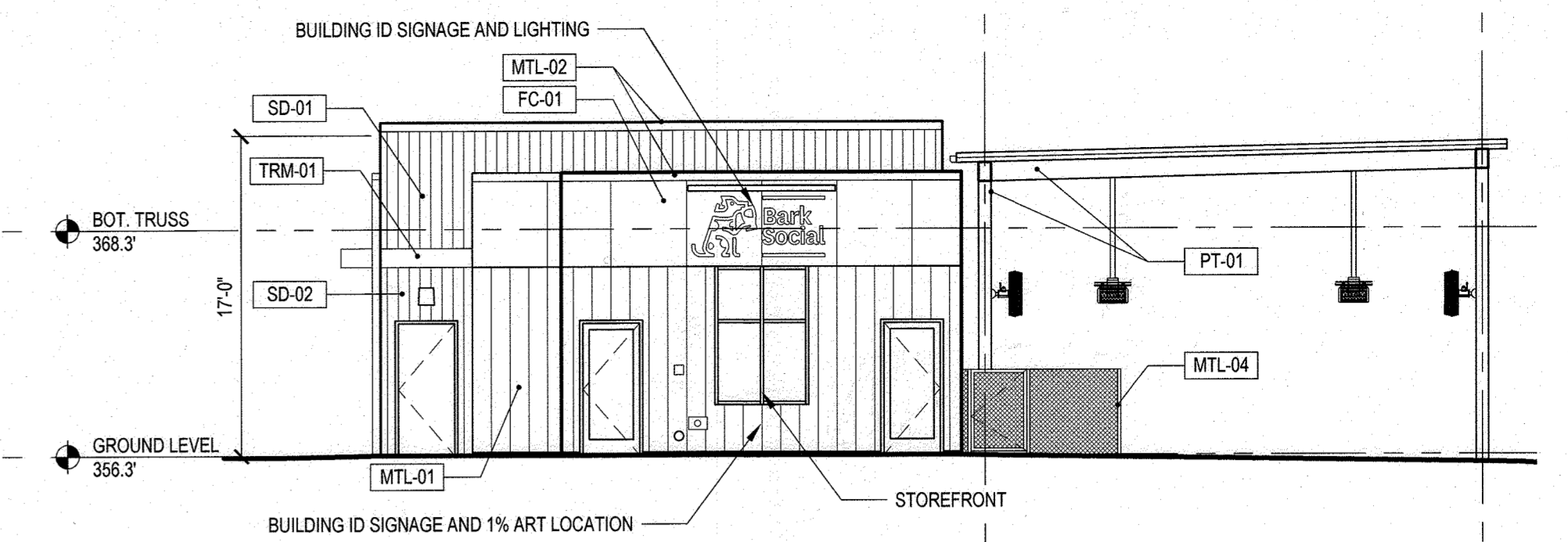
SITE DEVELOPMENT PLAN
BARK SOCIAL
DOWNTOWN COLUMBIA CRESCENT NEIGHBORHOOD
PARCEL E
RESTAURANT
 PLAT NO. 26446
 ELECTION DISTRICT No. 5
 HOWARD COUNTY, MARYLAND

SCALE	ZONING	G. L. W. FILE No.
1" = 30'	NT	22069
DATE	TAX MAP - GRID	SHEET
DEC., 2023	36 - 01	4 OF 15

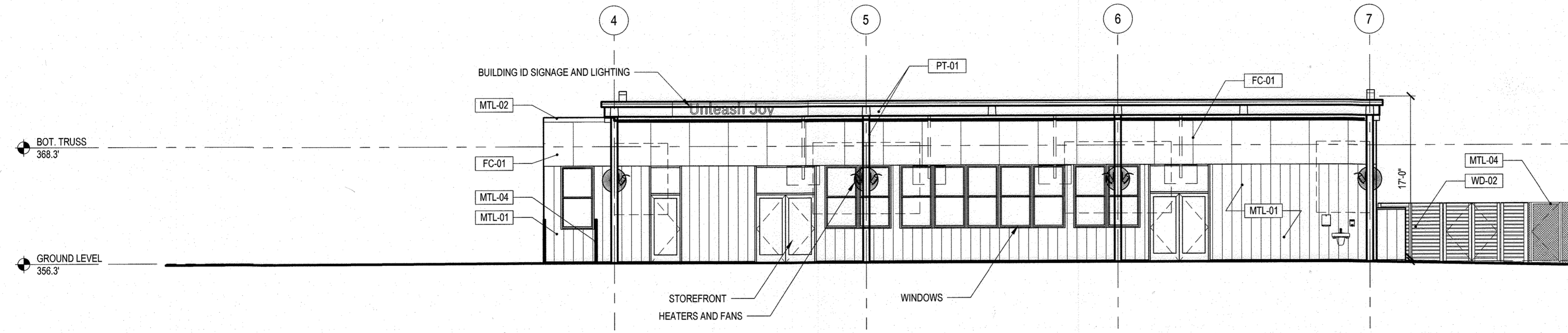
L:\CAD\DRAWINGS\22069 PLANS BY GLW\22069 SRP.dwg
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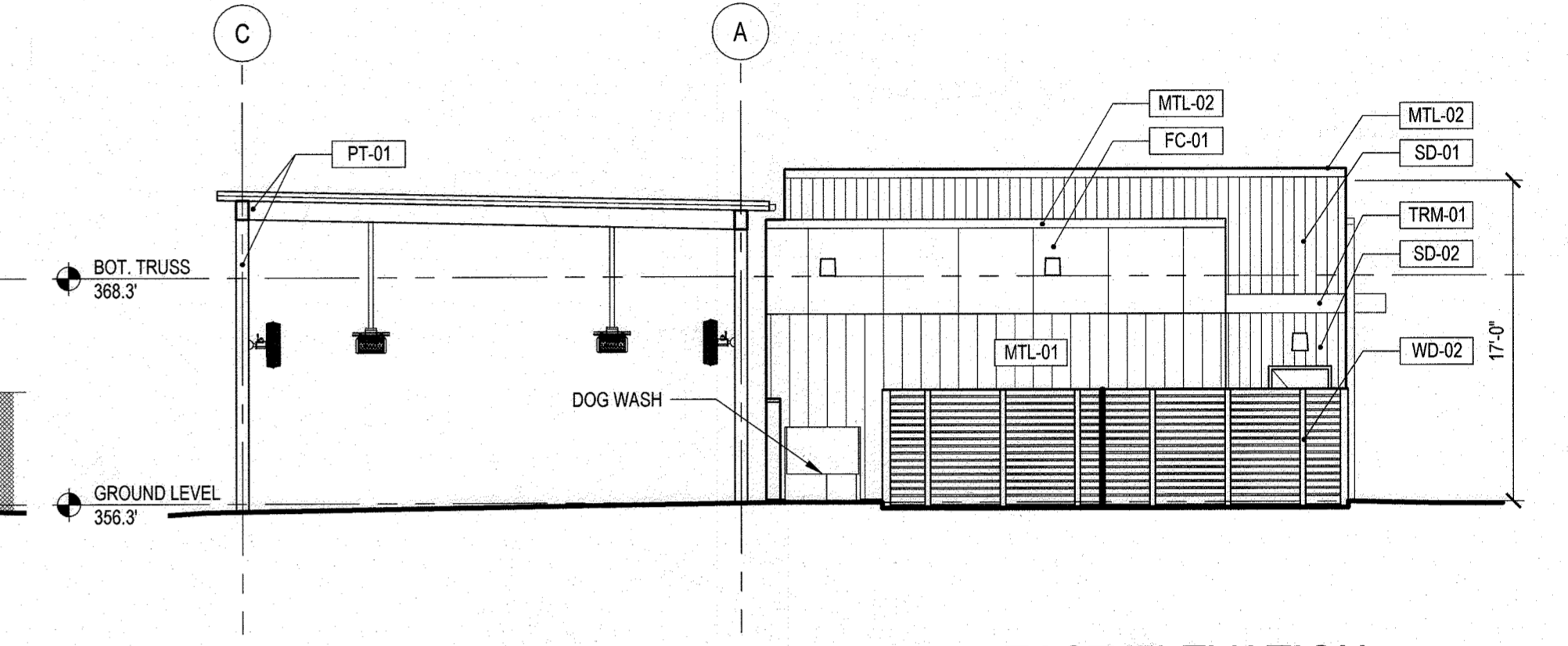
1 NORTH ELEVATION
SCALE: 1/8" = 1'-0"



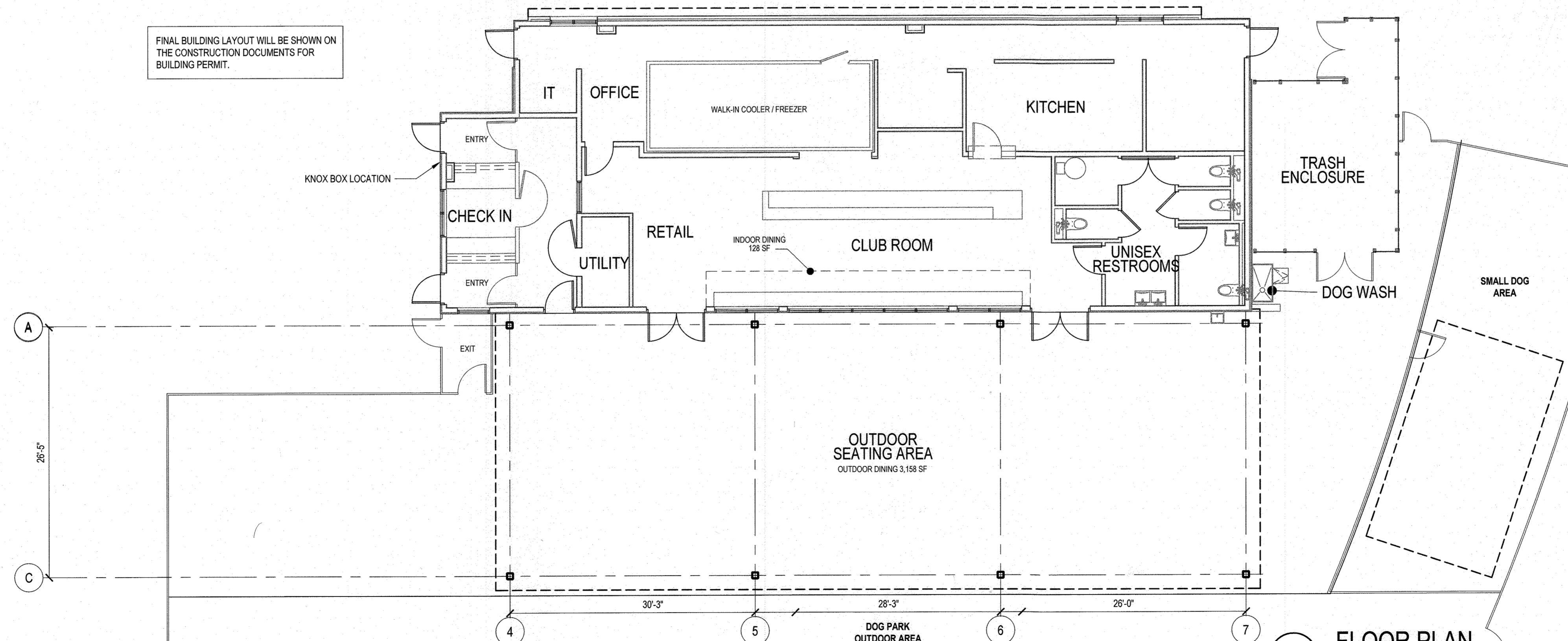
2 WEST ELEVATION
SCALE: 1/8" = 1'-0"



3 SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



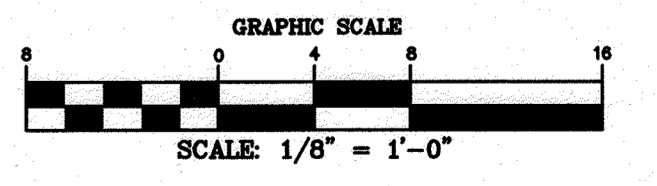
4 EAST ELEVATION
SCALE: 1/8" = 1'-0"



5 FLOOR PLAN
SCALE: 1/8" = 1'-0"

MATERIAL KEY	
DESIG.	DESCRIPTION
SD-01	VERTICAL SIDING (BLUE), SHERWIN WILLIAMS SW 6787 FOUNTAIN
SD-02	VERTICAL SIDING (GRAY), SHERWIN WILLIAMS 2124-40 SHADOW GRAY
FC-01	FIBER CEMENT PANELS (WHITE), SHERWIN WILLIAMS SW 7008 EXTRA WHITE
FB-01	PAINTED BRICK (WHITE), SHERWIN WILLIAMS SW 7008 EXTRA WHITE
MTL-01	METAL SIDING (GREEN), TO MATCH BENJAMIN MOORE 2033-50 BUD GREEN
MTL-02	METAL COPING
MTL-03 / TRIM-01	BROW ELEMENT
MTL-04	METAL FENCE/GATES
WD-01	WOOD SOFFIT
WD-02	WOOD FENCE/GATES
PT-01	PAINTED STEEL STRUCTURE

NOTES
THE BUILDING ELEVATIONS INDICATE HEIGHT, MASSING, AND ARCHITECTURAL INTENT AND MAY CHANGE WITH FURTHER DESIGN DEVELOPMENT. FINAL ARCHITECTURAL DESIGN WILL BE SHOWN ON THE CONSTRUCTION DOCUMENTS FOR BUILDING PERMIT.



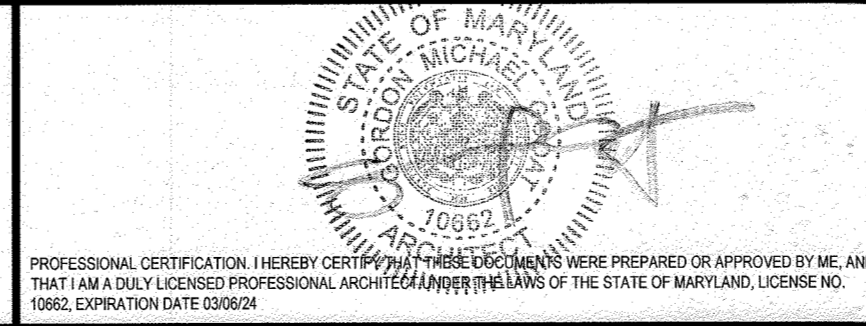
APPROVED
PLANNING BOARD OF HOWARD COUNTY
Date: JUNE 15, 2023

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
Director: *Lynne E. Eubank* Date: 1/18/24
Chief, Division of Land Development: *[Signature]* Date: 1/18/24
Chief, Development Engineering Division: *[Signature]* Date: 1-3-24

JP2 ARCHITECTS
2811 Dillon Street
Baltimore, MD 21224
t 410.646.8300
www.JP2architects.com

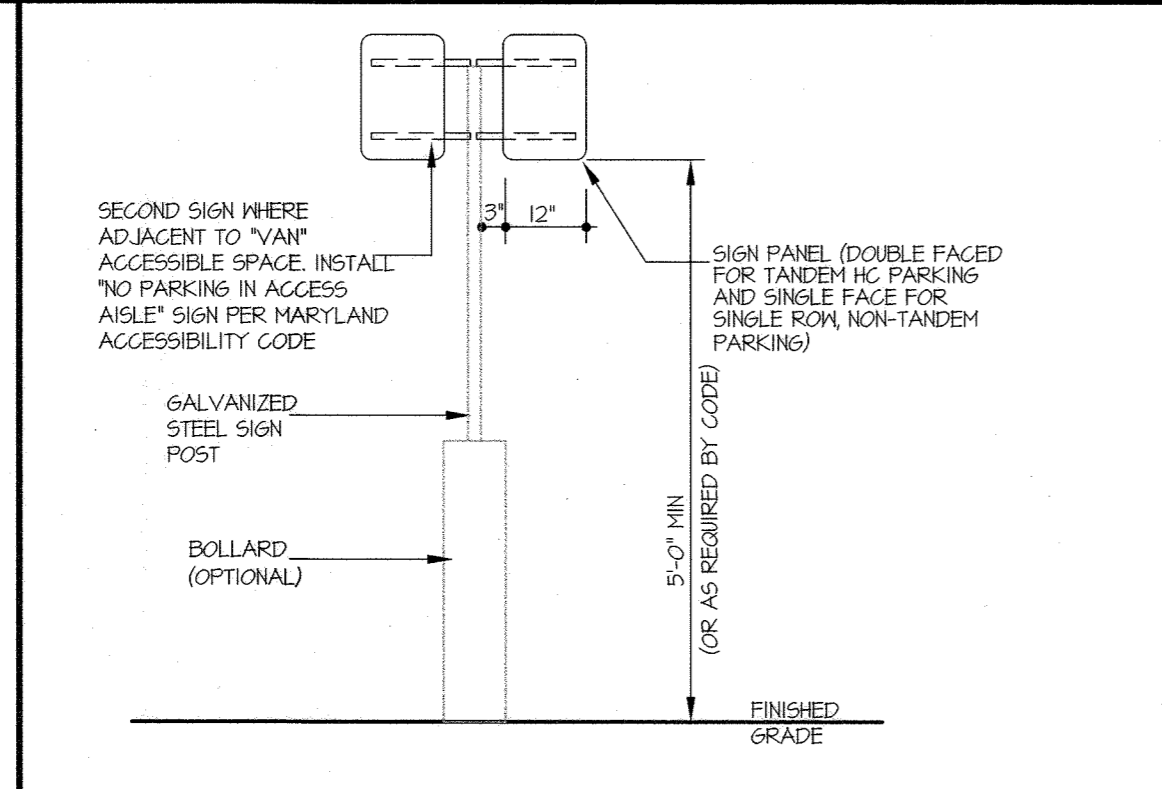
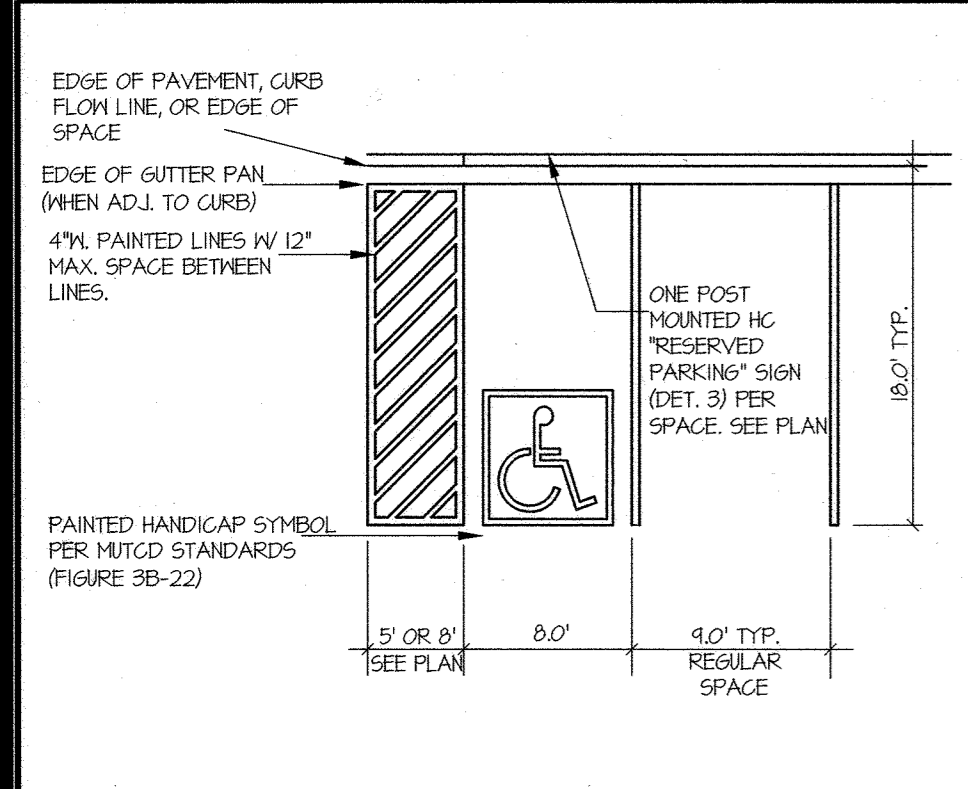
DESIGNED BY	DATE	REVISION	BY	APPR.
JB				
DRAWN BY				
JB				
CHECKED BY				
CG	2023-11	△ BUILDING FOOTPRINT AND ELEVATIONS REVISED		

OWNER/PREPARED FOR:
THE HOWARD RESEARCH AND DEVELOPMENT CORP
10960 GRANTCHESTER WAY, SUITE 110
COLUMBIA, MD 21044
ATTN: WILL BAUGHER



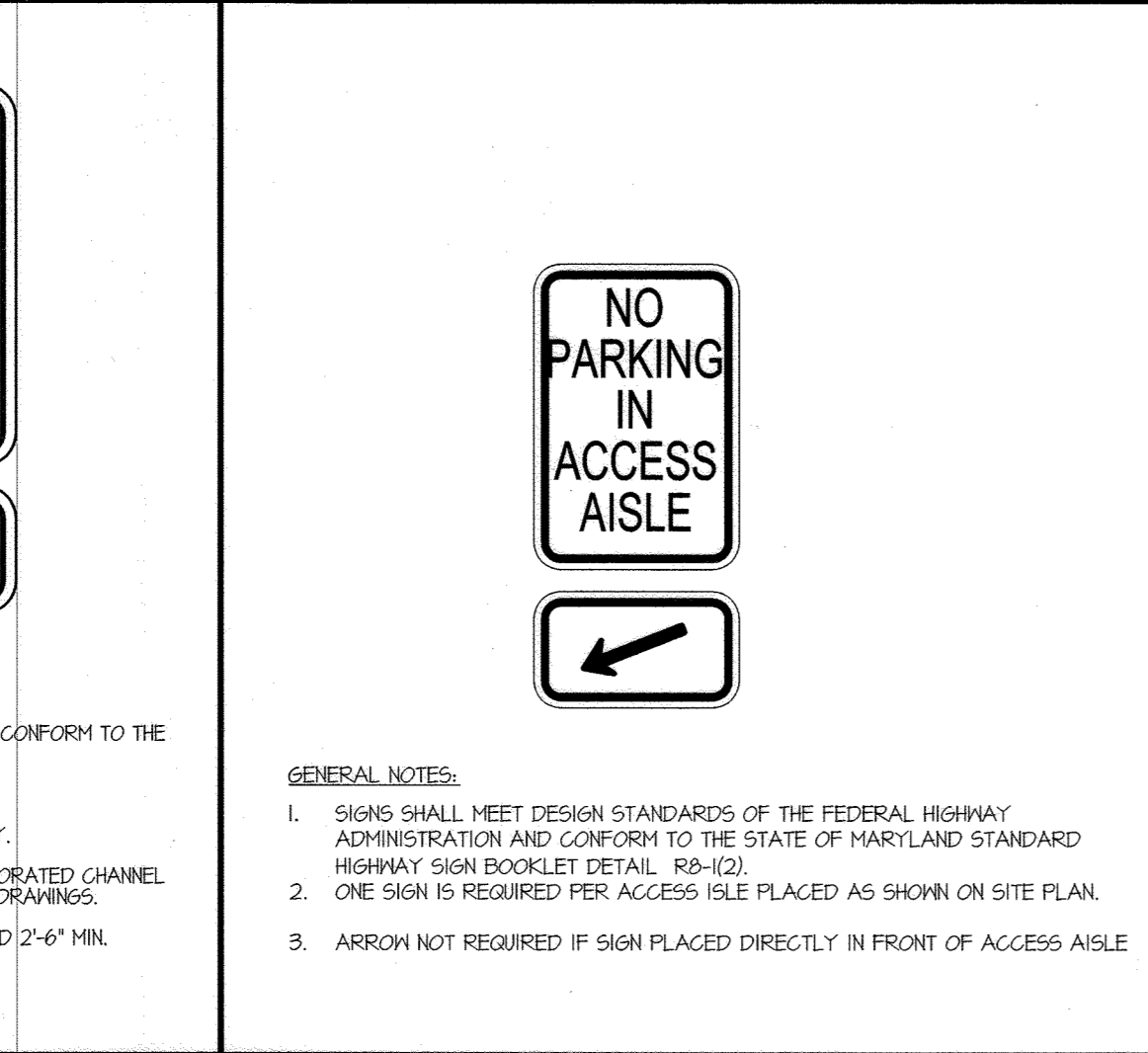
BUILDING PLAN AND ELEVATIONS
BARK SOCIAL
DOWNTOWN COLUMBIA CRESCENT NEIGHBORHOOD
PARCEL E
RESTAURANT
PLAT NO. 26446
ELECTION DISTRICT No. 5
HOWARD COUNTY, MARYLAND

SCALE	ZONING	FILE No.
1/8" = 1'-0"	NT	
DATE	TAX MAP - GRID	SHEET
DEC., 2023	36 - 01	5 OF 15



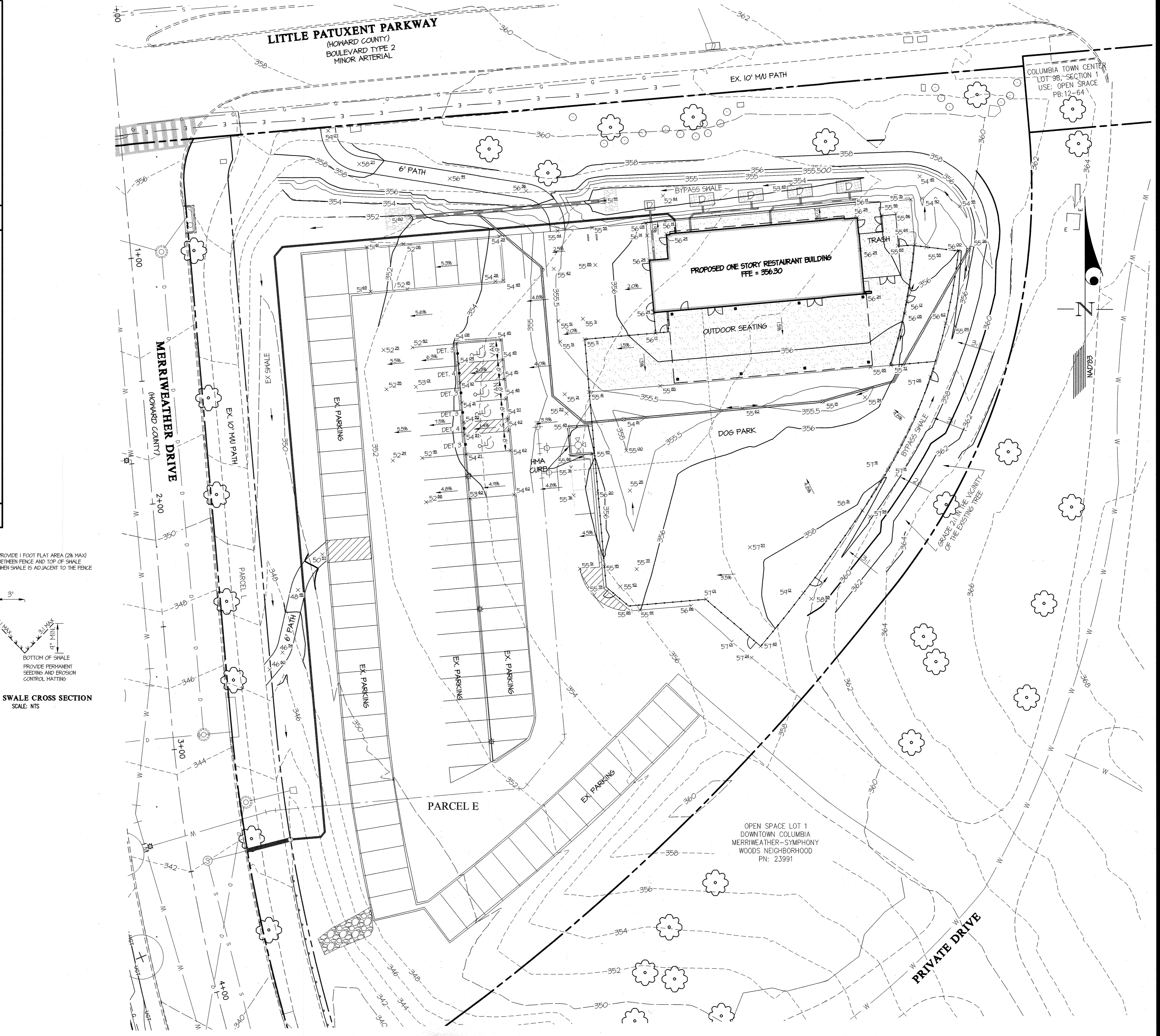
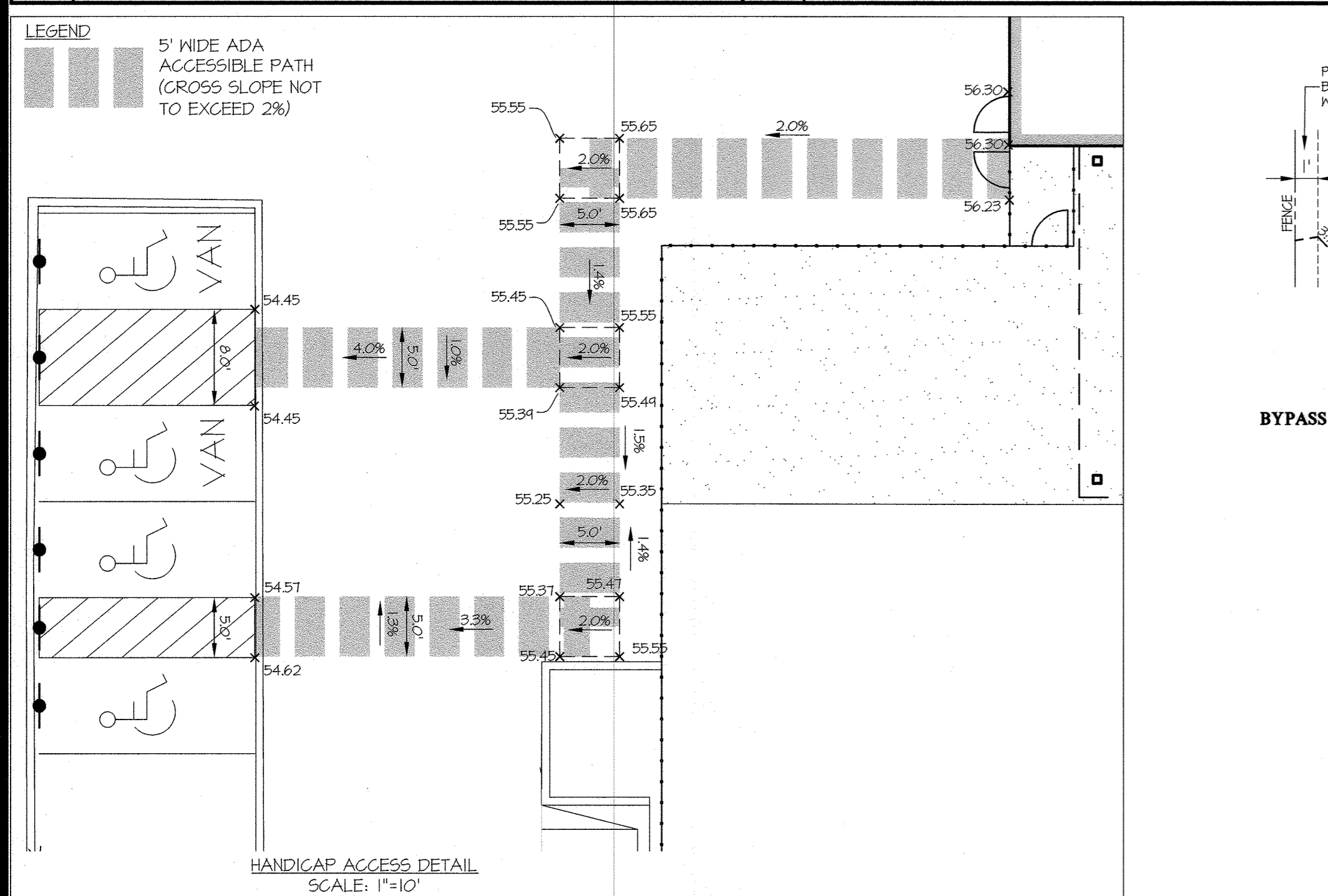
1 PARKING SPACE LAYOUT NO SCALE

2 RESTRICTED PARKING SIGN(S) INSTALLATION DETAIL NO SCALE



3 HANDICAP PARKING SIGNS DETAIL

4 ACCESS AISLE SIGN NO SCALE



APPROVED
PLANNING BOARD OF HOWARD COUNTY

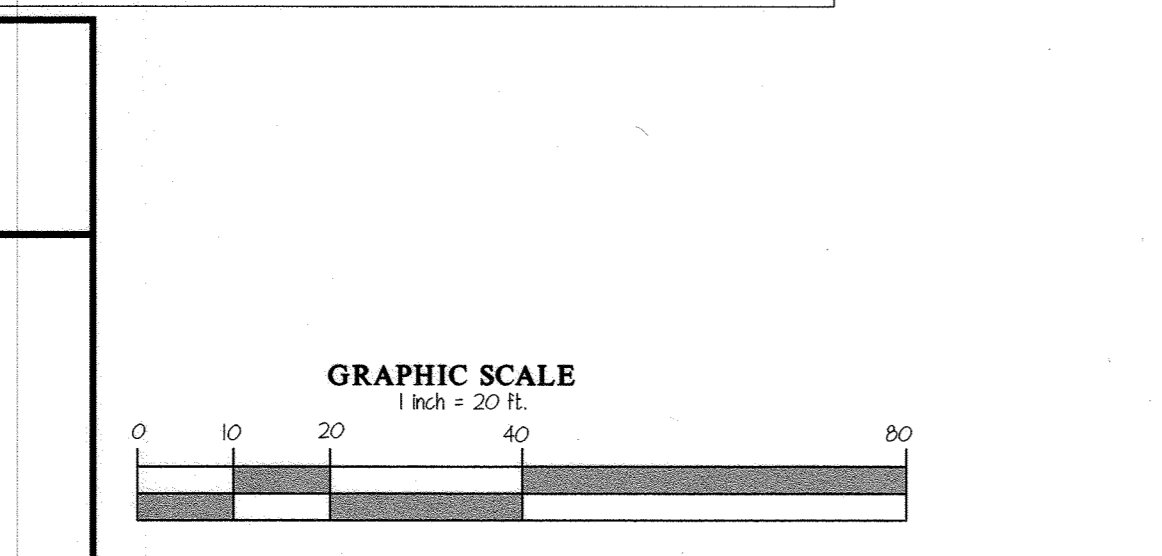
Date: JUNE 15, 2023

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

Lynda Easton 1/18/24
Director Date

Chad Blumh 1/18/24
Chief, Division of Land Development Date

Chad Blumh 1-3-24
Chief, Development Engineering Division Date



GLW
PLANNING | ENGINEERING | SURVEYING

3909 NATIONAL DRIVE | SUITE 250 | BURTONSVILLE, MD 20866 | GLWPA.COM
PHONE: 301-421-4024 | BALT: 410-880-1820 | DC&VA: 301-989-2524 | FAX: 301-421-4186

DESIGNED BY:	dds				
DRAWN BY:	dds				
CHECKED BY:					
DATE	12/2023	REVISION	▲ BUILDING FOOTPRINT REVISED	BY	APPR.

OWNER/PREPARED FOR:
THE HOWARD RESEARCH AND DEVELOPMENT CORP
10960 CRANCHESTER WAY, SUITE 110
COLUMBIA, MD 21044
ATTN: WILL BAUGHER

PROFESSIONAL CERTIFICATION

I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 24390

EXPIRATION DATE: MAY 14, 2025

ELECTION DISTRICT No. 5

GRADING PLAN
BARK SOCIAL
DOWNTOWN COLUMBIA CRESCENT NEIGHBORHOOD
PARCEL E
RESTAURANT
PLAT NO. 26446

SCALE
1"=20'

ZONING
NT

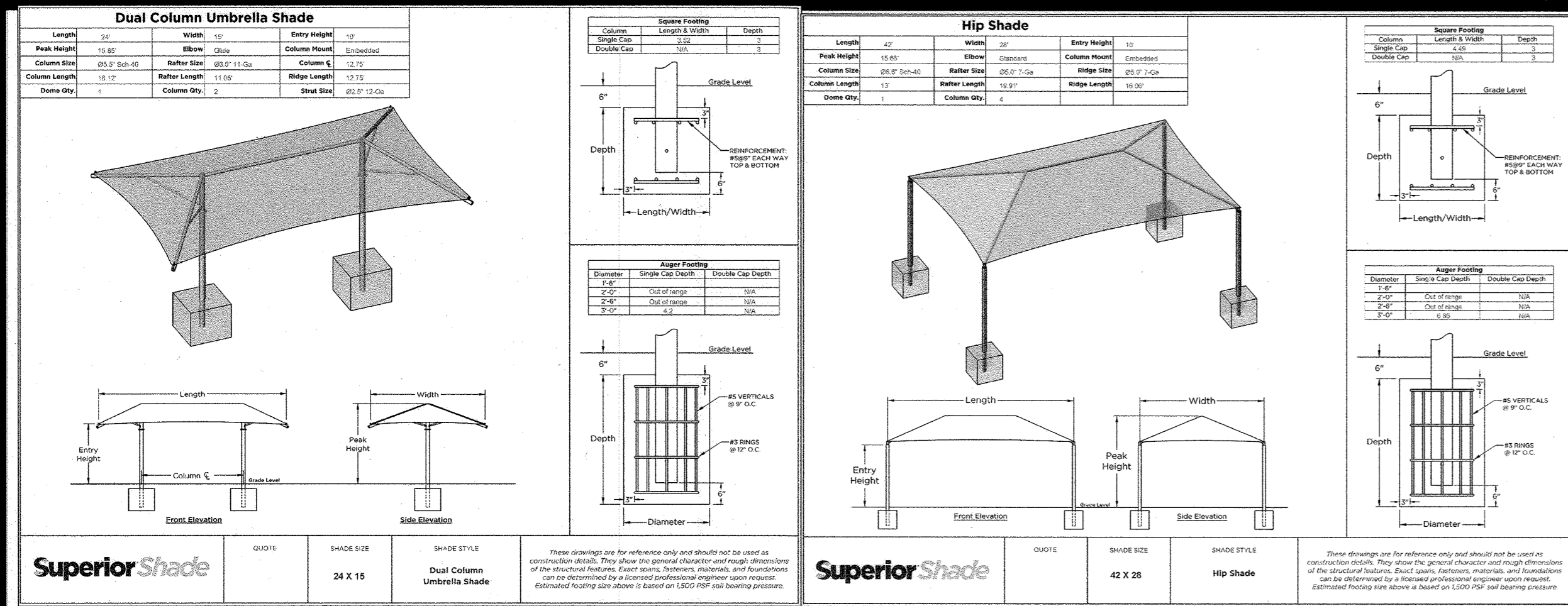
G. L. W. FILE No.
22069

DATE
DEC., 2023

TAX MAP - GRID
36 - 01

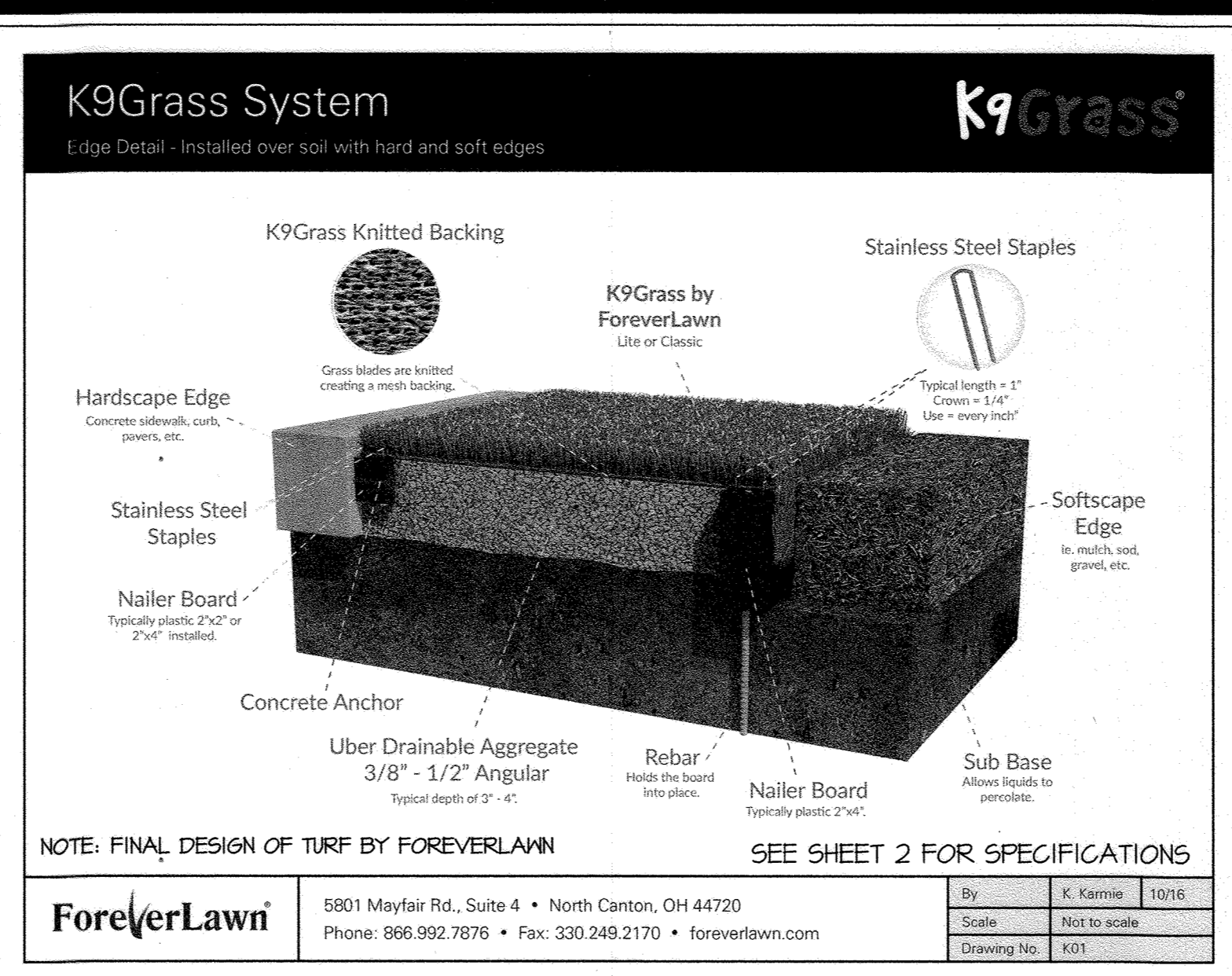
SHEET
6 OF 15

HOWARD COUNTY, MARYLAND



NOTES:

- EXACT SIZE, CONFIGURATION, HEIGHT AND QUANTITY MAY VARY. DOG PARK OPERATOR MY RECONFIGURE SUN SHADES AS NEEDED FOR BUSINESS OPERATIONS
- FOUNDATION DESIGN BY OTHERS

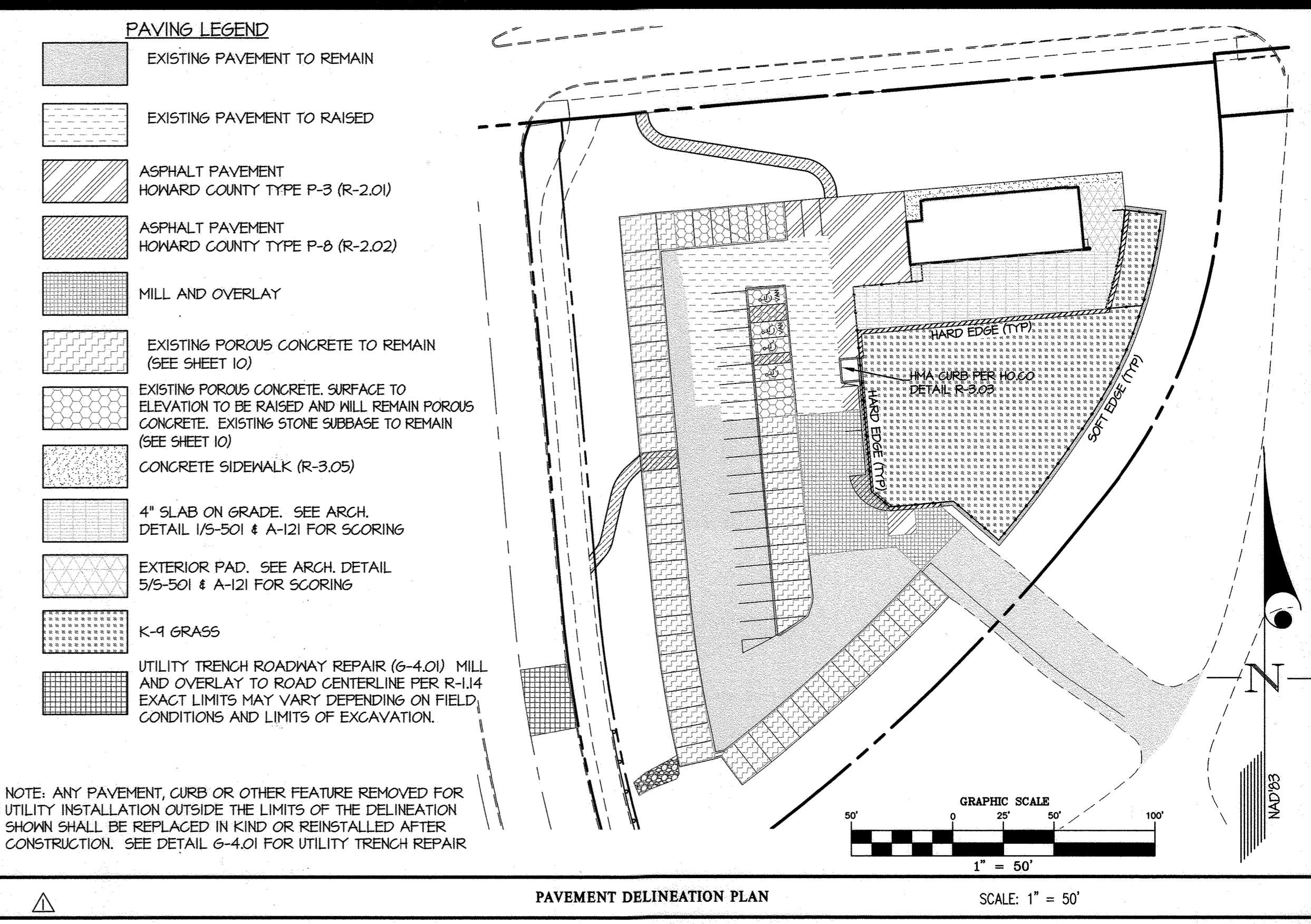


OPERATION AND MAINTENANCE SCHEDULE

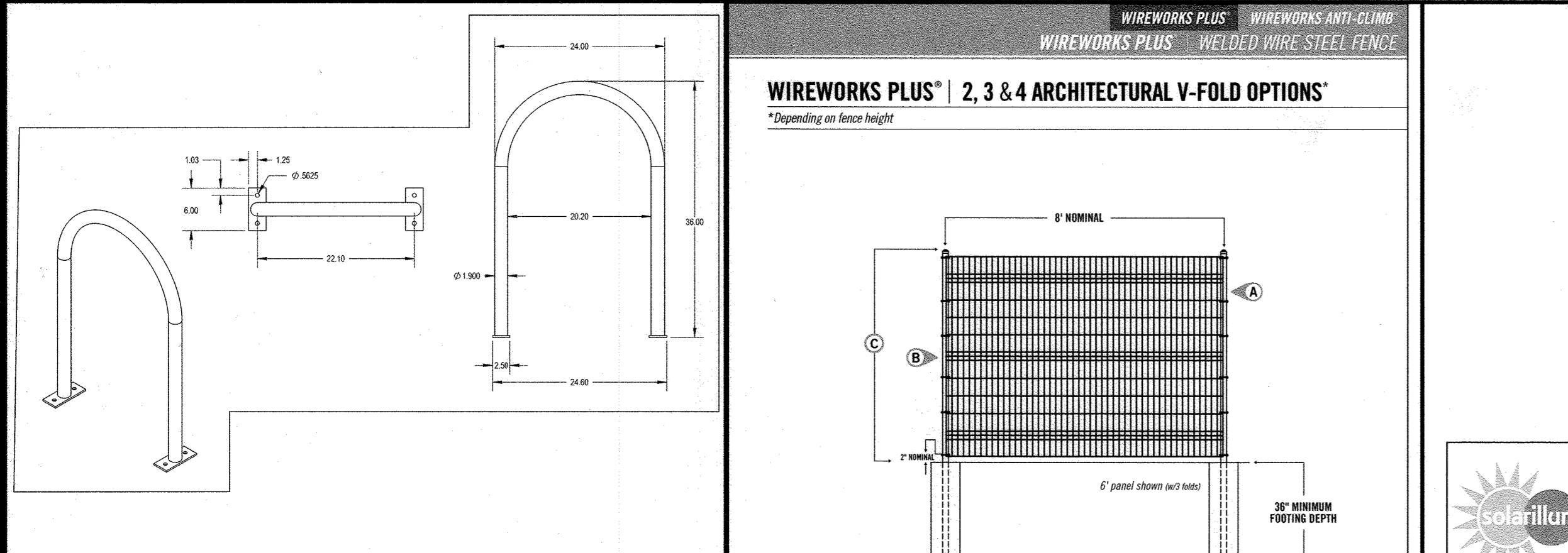
- REMOVE SOLID WASTE AS SOON AS POSSIBLE.
- REMOVE DEBRIS SUCH AS LEAVES, STICKS, AND DOG TREATS DAILY.
- RINSE THE TURF A MINIMUM OF ONCE A WEEK UNLESS THERE IS A SIGNIFICANT RAINFALL EVENT.
- VACUUM TURF A MINIMUM OF ONCE A MONTH.

K9 TURF SECTION

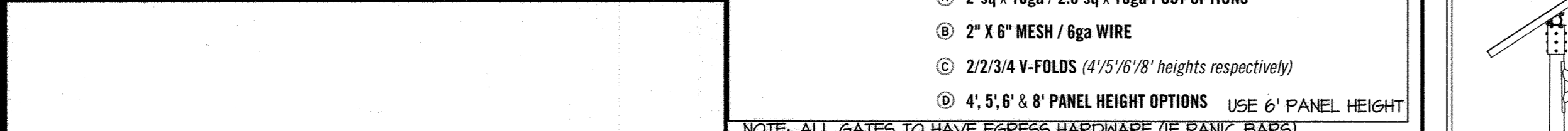
3 **K9 GRASS** (OR APPROVED EQUIVALENT) NO SCALE



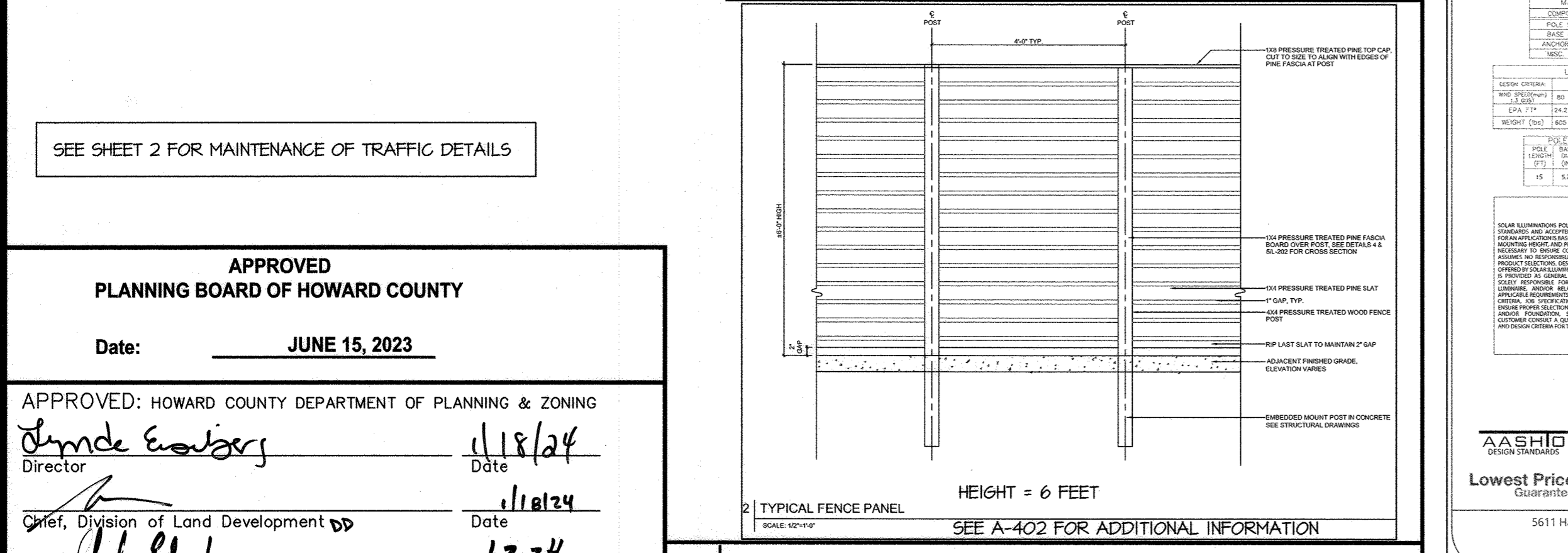
1 **SUN SHADE DETAILS** (OR APPROVED EQUIVALENT) △



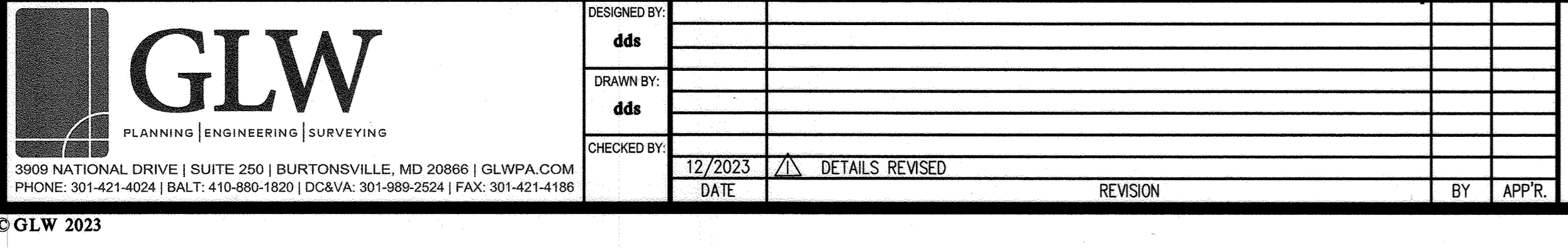
4 **BIKE RACK DETAIL** (U RACK OR APPROVED EQUIVALENT)



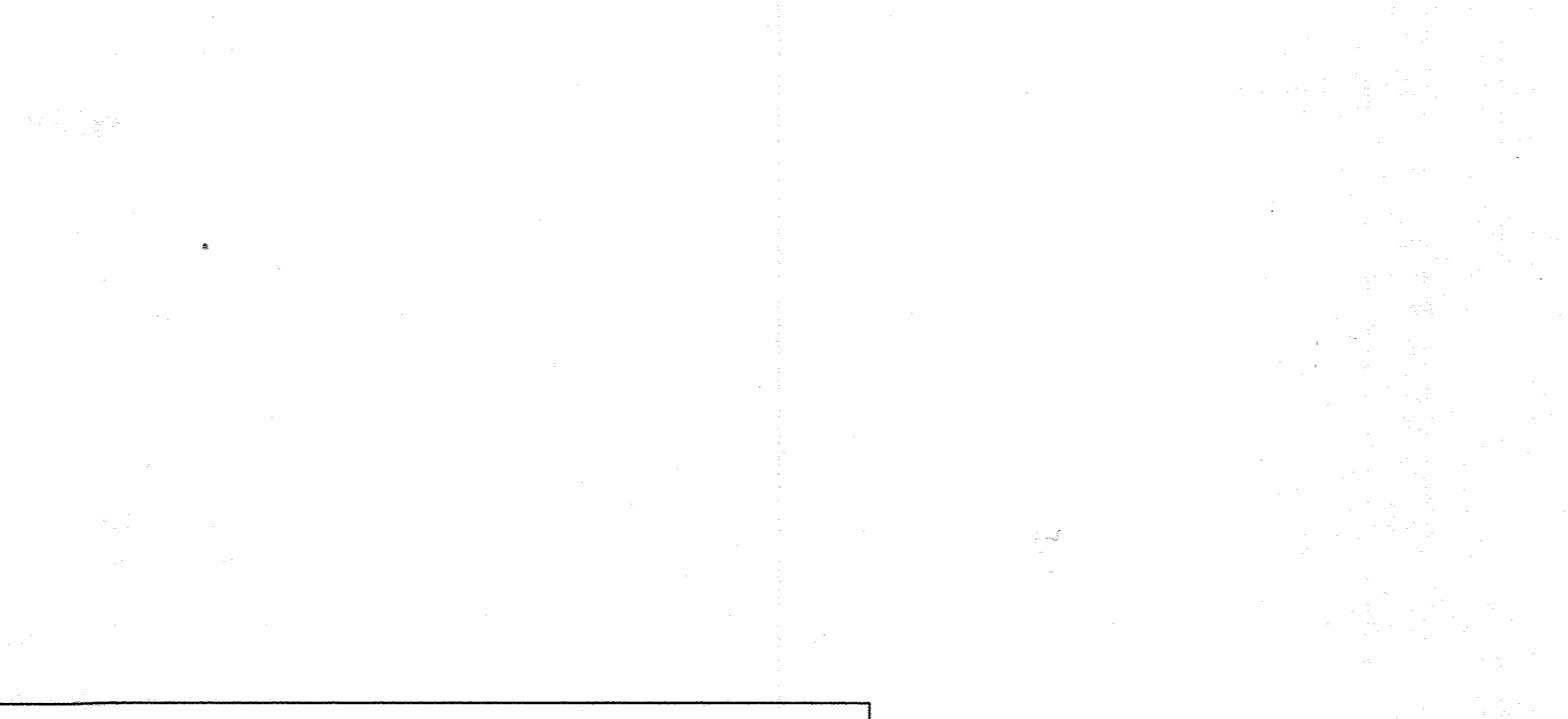
5 **FENCE DETAIL** (OR APPROVED EQUIVALENT) NO SCALE



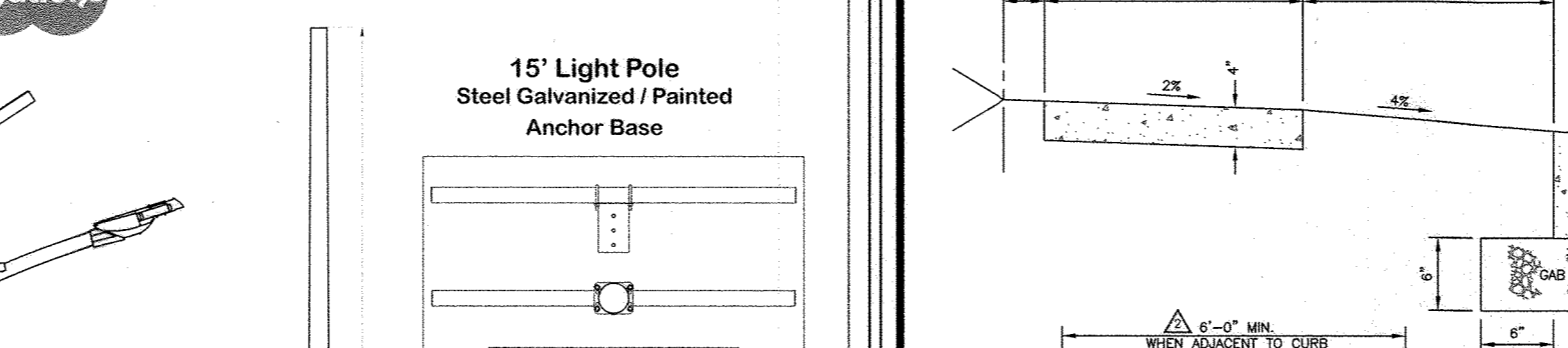
7 **ENCLOSURE DETAIL** (OR APPROVED EQUIVALENT) NO SCALE



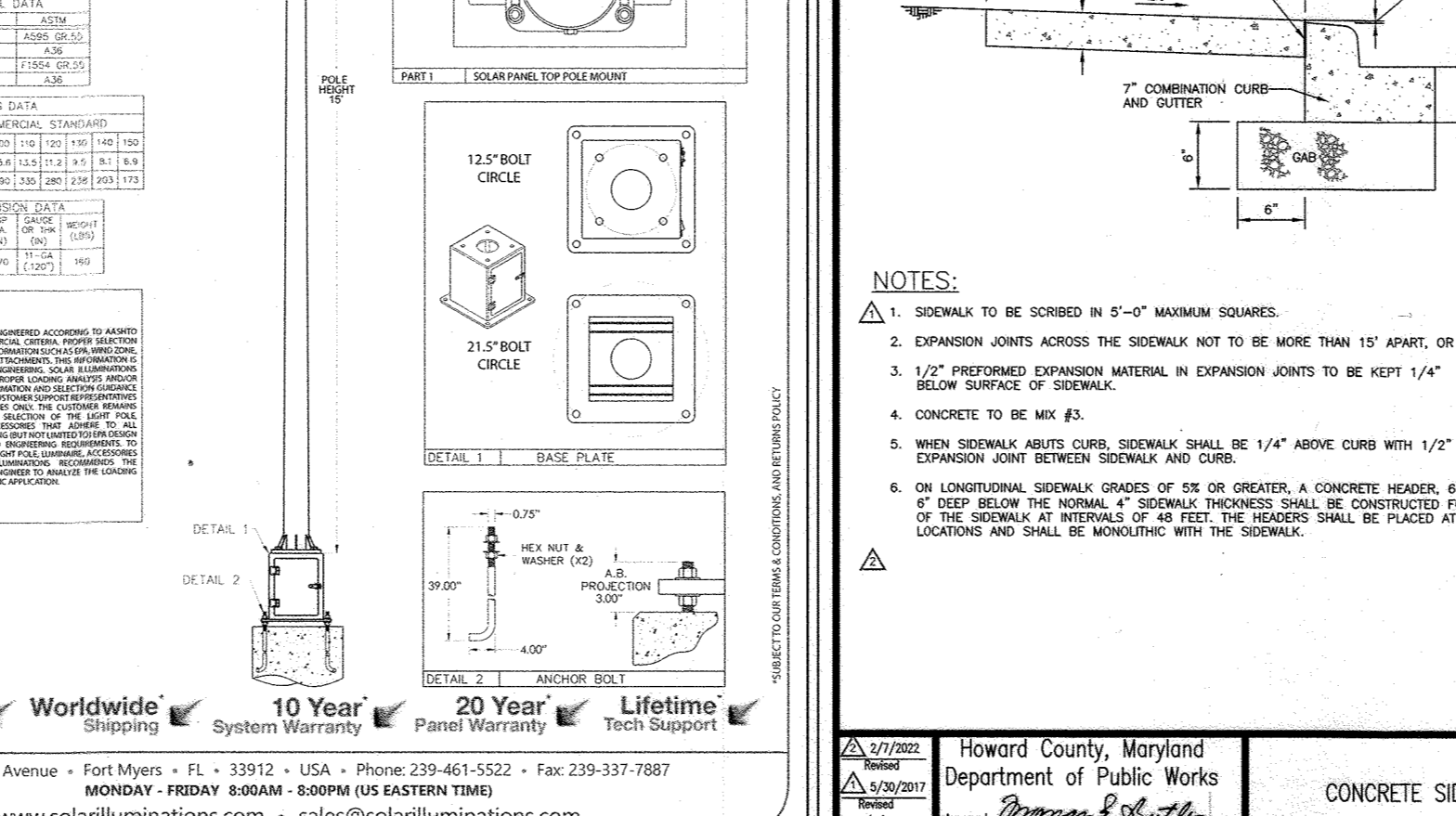
3 **K9 GRASS** (OR APPROVED EQUIVALENT) NO SCALE



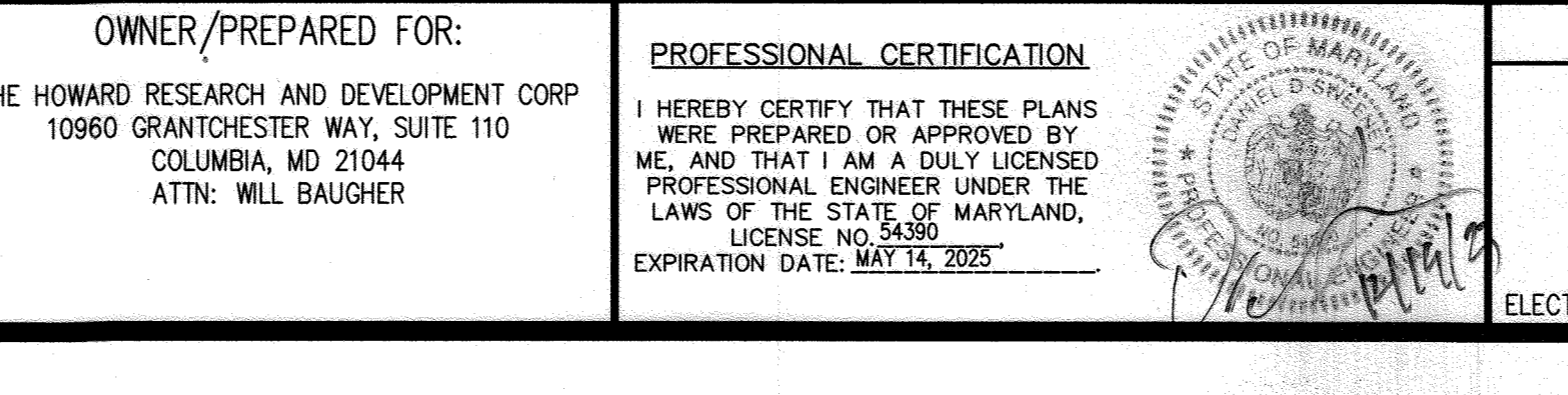
4 **BIKE RACK DETAIL** (U RACK OR APPROVED EQUIVALENT)



5 **FENCE DETAIL** (OR APPROVED EQUIVALENT) NO SCALE



7 **ENCLOSURE DETAIL** (OR APPROVED EQUIVALENT) NO SCALE



SECTION NUMBER	ROAD AND STREET CLASSIFICATION / TYPE	PAVEMENT MATERIAL (INCHES)	CALIFORNIA BEARING RATIO (CBR)	3 TO <5	5 TO <7	≥ 7	3 TO <5	5 TO <7	≥ 7
P-3	NEW STREET TYPE	RETROFIT PROJECTS ONLY							
	RURAL DEVELOPMENT STREET	PARKING DRIVE ASILES: RESIDENTIAL AND NON-RESIDENTIAL WITH NO EXCEPT SINGLE FAMILY DETACHED LOCAL ROADS ACCESS PLACE, ACCESS STREET	SUPERPAVE ASPHALT MIX FINAL SURFACE 9.5 MM, PG 64-22S, LEVEL 1 (ESAL)	1.5	1.5	1.5	1.5	1.5	1.5
	NEIGHBORHOOD YIELD STREET		SUPERPAVE ASPHALT MIX INTERMEDIATE SURFACE 9.5 MM, PG 64-22S, LEVEL 1 (ESAL)	1.0	1.0	1.0	1.0	1.0	1.0
	TOWN CENTER STREET		SUPERPAVE ASPHALT MIX BASE 19.0 MM, PG 64-22S, LEVEL 1 (ESAL)	3.0	3.0	3.0	4.5	3.0	2.0

NOTES:

- HEAVY TRUCKS ARE DEFINED AS THOSE WITH SIX (6) WHEELS OR MORE INCLUDING GARBAGE TRUCKS.
- SUPERPAVE ASPHALT MIX LAYERS SHALL BE PLACED IN APPROPRIATE COMPACTED LIFT THICKNESS: 19.0 MM BASE (2.0" MIN. TO 4.0" MAX.), 12.5 MM SURFACE (1.5" MIN. TO 3.0" MAX.), AND 9.5 MM SURFACE (1.0" MIN. TO 2.0" MAX.).
- GRADED AGGREGATE BASE (GAB) TO BE PLACED AND COMPACTED IN 6" MAX. COMPACTED THICKNESS LAYERS.
- THE INTERMEDIATE SURFACE COURSE LAYER MUST BE PLACED WITHIN 2 WEEKS OF PLACEMENT OF BASE COURSE, AND IS REQUIRED PRIOR TO SUBSTANTIAL COMPLETION INSPECTION AND BOND REDUCTION.
- IN LIEU OF PLACING THE INTERMEDIATE SURFACE COURSE LAYER FOR COMMERCIAL/INDUSTRIAL ENTRANCE APRONS WITHIN THE COUNTY RIGHT-OF-WAY WHERE AUXILIARY LANES ARE NOT REQUIRED, THE THICKNESS OF THE INTERMEDIATE PAVEMENT LAYER CAN BE ADDED TO THE REQUIRED THICKNESS OF THE BASE ASPHALT LAYER.
- THE CONSTRUCTION DRAWINGS SHALL SHOW THE PAVING SECTION, ROAD CLASSIFICATION AND CBR VALUE FOR EACH ROADWAY.

Howards County, Maryland Department of Public Works

PAVING SECTIONS P-1 to P-4

Detail R-2.01

SECTION NUMBER	ROAD AND STREET CLASSIFICATION / TYPE	PAVEMENT MATERIAL (INCHES)	CALIFORNIA BEARING RATIO (CBR)	3 TO <5	5 TO <7	≥ 7	3 TO <5	5 TO <7	≥ 7
P-8	NEW STREET TYPE	RETROFIT PROJECTS ONLY							
	PAVED SHOULDER: UNDIVIDED INTERMEDIATE ARTERIAL DIVIDED INTERMEDIATE ARTERIAL SIDEWALK AND PARKING AREAS (PRIVATE)		SUPERPAVE ASPHALT MIX FINAL SURFACE 12.5 MM, PG 64-22S, LEVEL 1 (LOW ESAL)	3.0	3.0	3.0	4.0	3.5	3.5

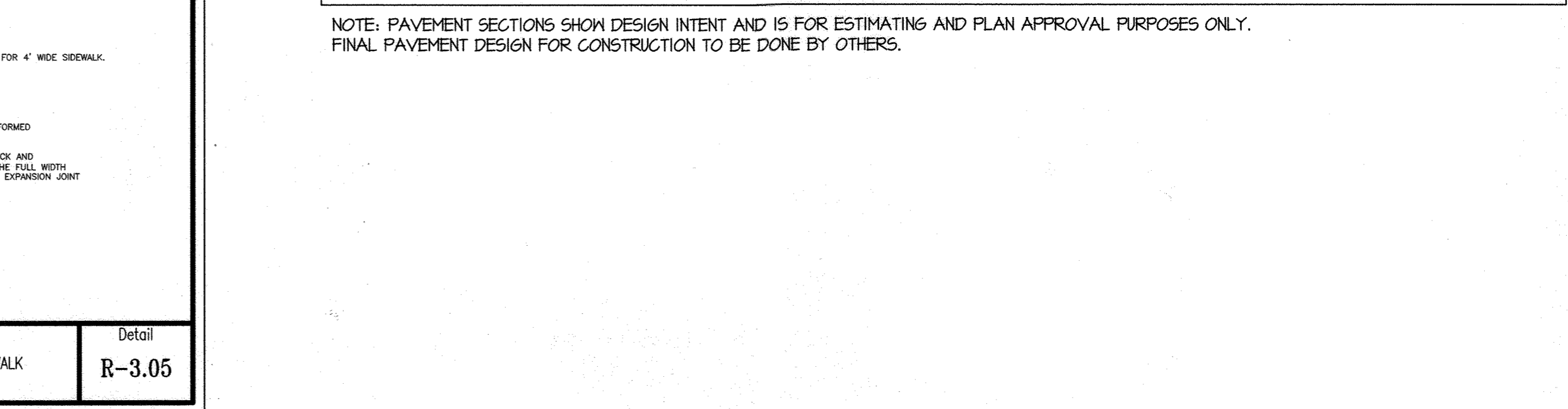
NOTES:

- HEAVY TRUCKS ARE DEFINED AS THOSE WITH SIX (6) WHEELS OR MORE INCLUDING GARBAGE TRUCKS.
- SUPERPAVE ASPHALT MIX LAYERS SHALL BE PLACED IN APPROPRIATE COMPACTED LIFT THICKNESS: 19.0 MM BASE (2.0" MIN. TO 4.0" MAX.), 12.5 MM SURFACE (1.5" MIN. TO 3.0" MAX.), AND 9.5 MM SURFACE (1.0" MIN. TO 2.0" MAX.).
- GRADED AGGREGATE BASE (GAB) TO BE PLACED AND COMPACTED IN 6" MAX. COMPACTED THICKNESS LAYERS.
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- IN LIEU OF PLACING THE INTERMEDIATE SURFACE COURSE LAYER FOR COMMERCIAL/INDUSTRIAL ENTRANCE APRONS WITHIN THE COUNTY RIGHT-OF-WAY WHERE AUXILIARY LANES ARE NOT REQUIRED, THE THICKNESS OF THE INTERMEDIATE PAVEMENT LAYER CAN BE ADDED TO THE REQUIRED THICKNESS OF THE BASE ASPHALT LAYER.
- THE CONSTRUCTION DRAWINGS SHALL SHOW THE PAVING SECTION, ROAD CLASSIFICATION AND CBR VALUE FOR EACH ROADWAY.

Howards County, Maryland Department of Public Works

PAVING SECTIONS P-5 to P-8

Detail R-2.02



APPROVED PLANNING BOARD OF HOWARD COUNTY

Date: JUNE 15, 2023

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

Director: [Signature] Date: 1/18/24

Chief, Division of Land Development: [Signature] Date: 1/11/24

Chief, Development Engineering Division: [Signature] Date: 1/3/24

DESIGNED BY: dds

DRAWN BY: dds

CHECKED BY: [Signature]

DATE: 12/2023

DETAILS REVISED

DATE	REVISION	BY	APPR.
12/2023	DETAILS REVISED		

OWNER/PREPARED FOR: THE HOWARD RESEARCH AND DEVELOPMENT CORP 10960 GRANTCHESTER WAY, SUITE 110 COLUMBIA, MD 21044 ATTN: WILL BAUGHER

PROFESSIONAL CERTIFICATION: I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 54380 EXPIRATION DATE: MAY 14, 2025

HOWARD COUNTY, MARYLAND DEPARTMENT OF PUBLIC WORKS

CONCRETE SIDEWALK

Detail R-3.05

SITE DETAILS

BARK SOCIAL

DOWNTOWN COLUMBIA CRESCENT NEIGHBORHOOD

PARCEL E

RESTAURANT

PLAT NO. 26446

SCALE: AS SHOWN

ZONING: NT

G. L. W. FILE NO.: 22069

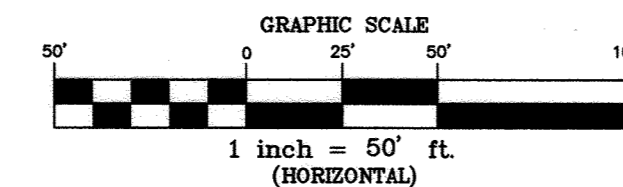
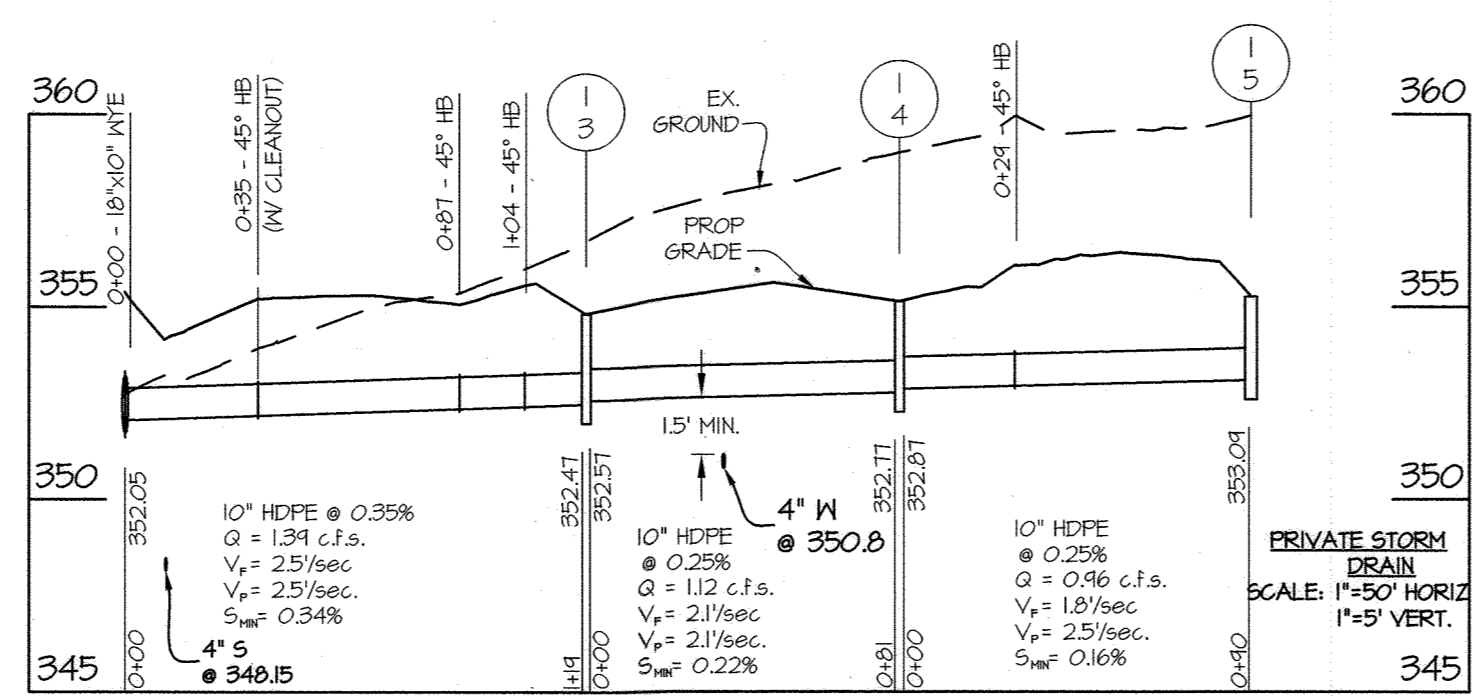
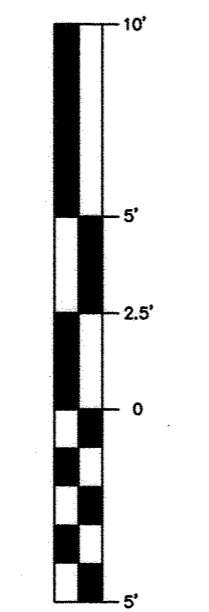
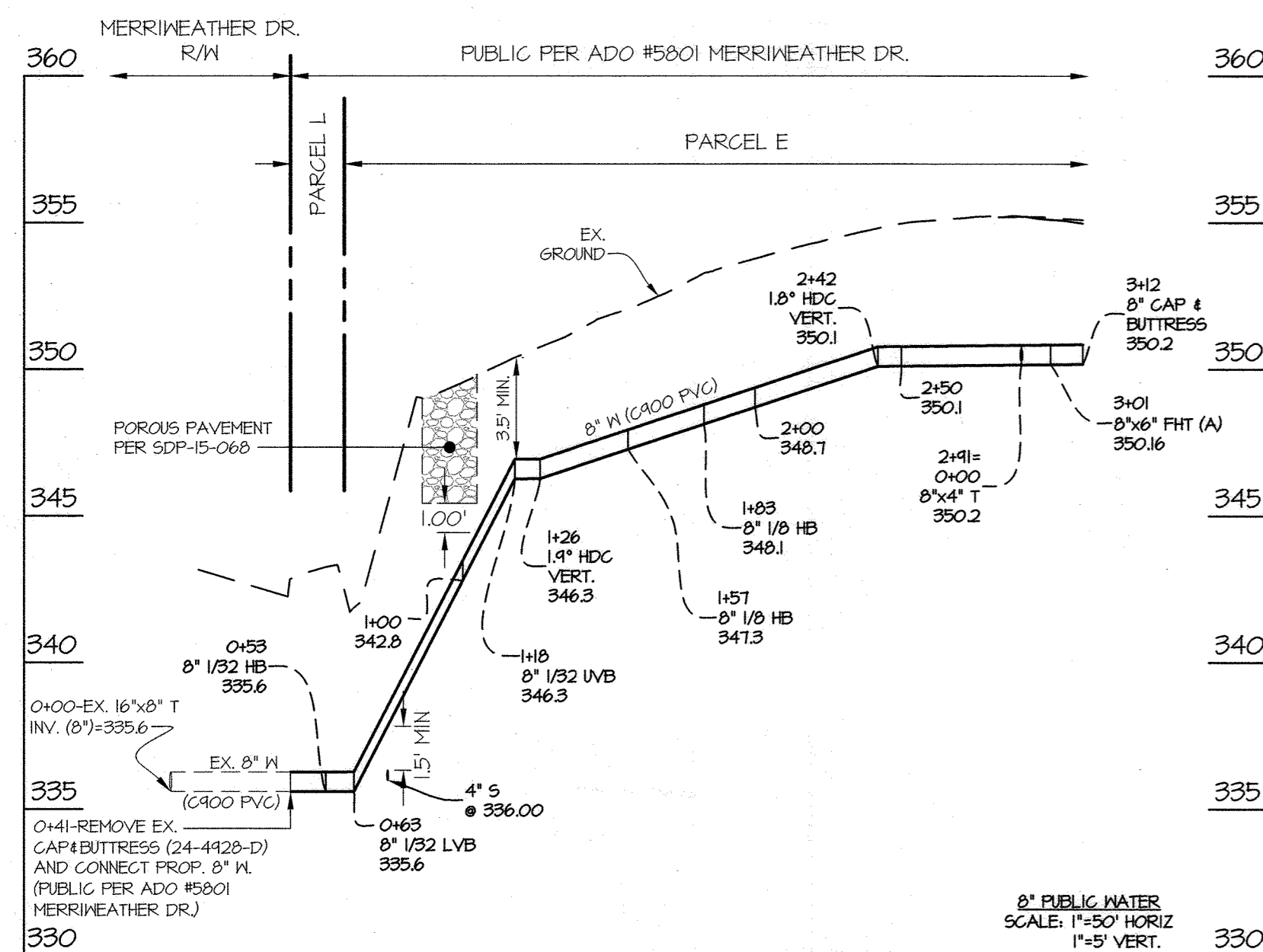
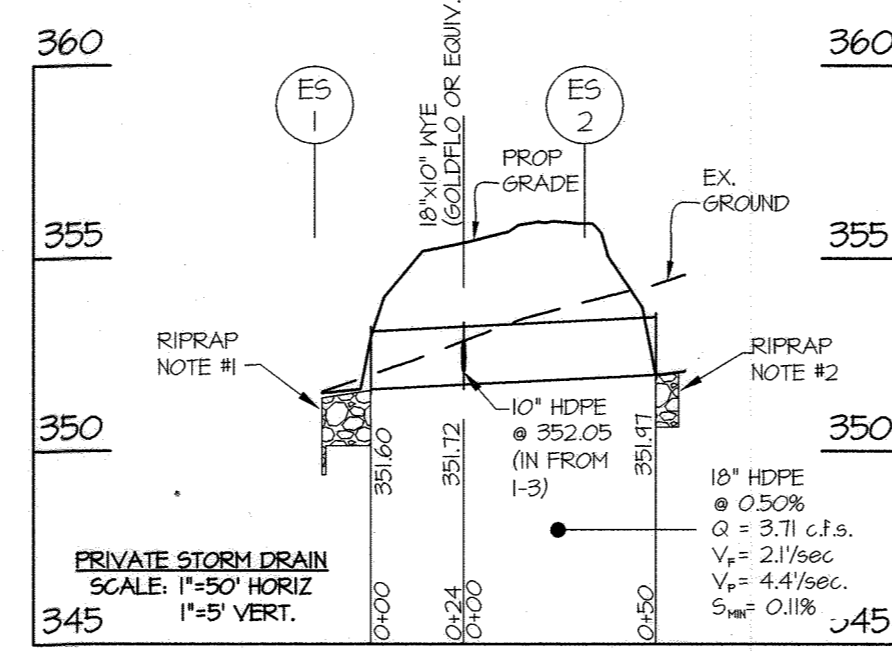
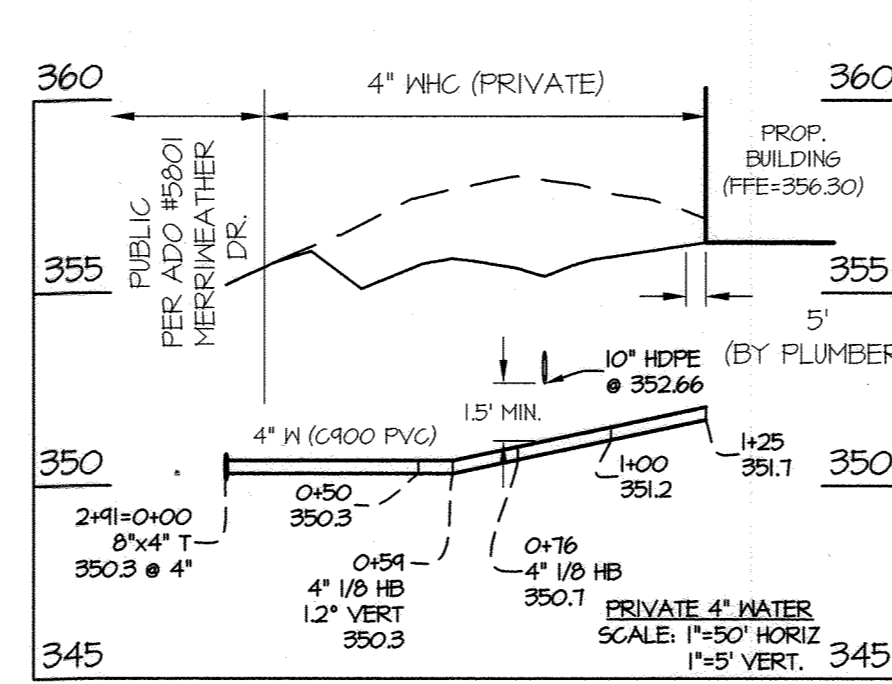
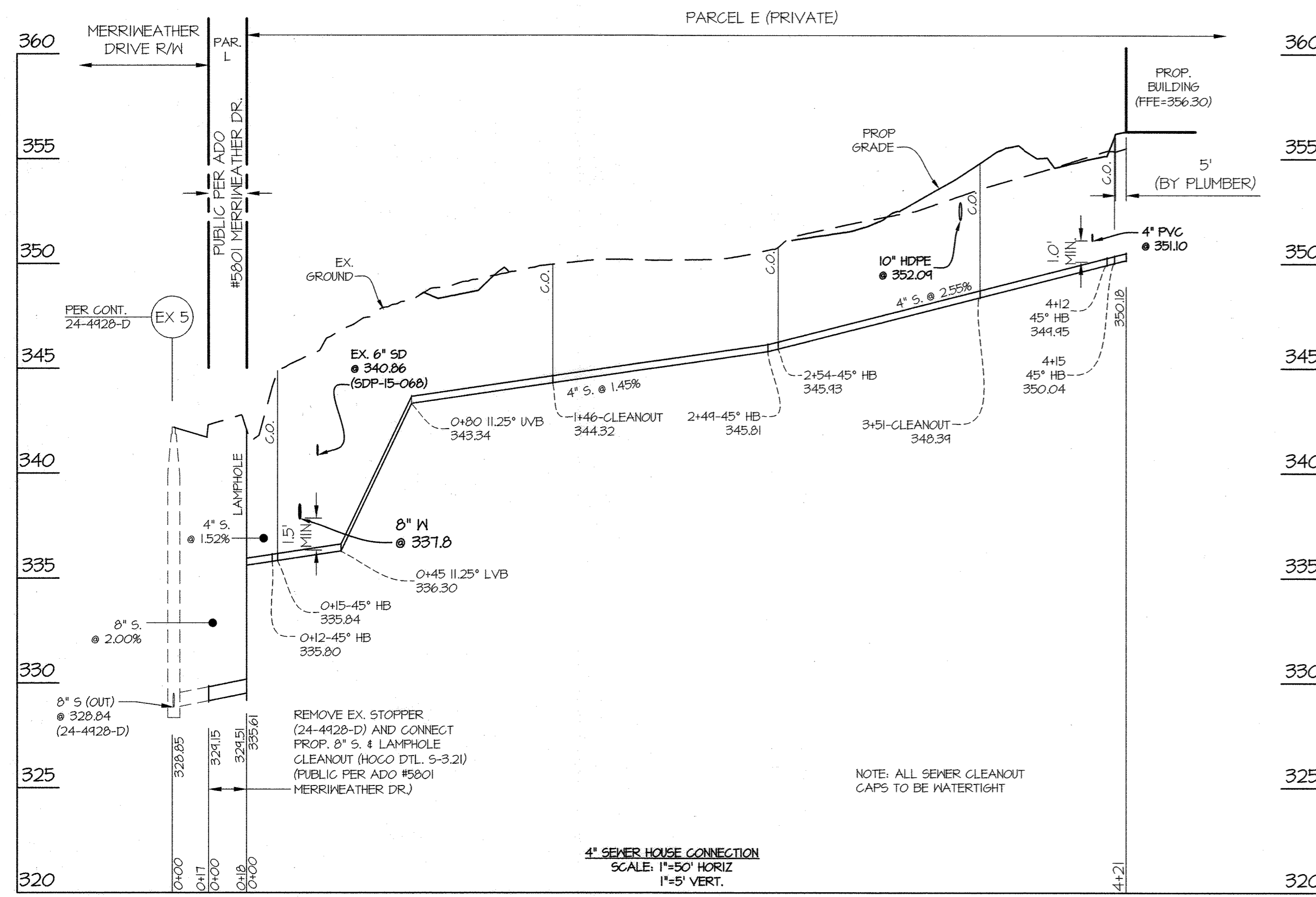
DATE: DEC, 2023

TAX MAP - GRID: 36 - 01

SHEET: 7 OF 15

ELECTION DISTRICT No. 5

L:\CAD\DRAWINGS\22069\PLANS BY GLW\AS 22069 BEETS.dwg, PLOTTED: 12/15/2023 2:46:46 PM, LAST SAVED: 12/15/2023 10:53 AM, PLOTTED BY: Don Sawney



PUBLIC 8" W - FITTING CHART

STATION	FITTING	NAD '83/'11 COORDINATES
0+55	8" 1/2 HD	N 562,317.1 E 1,350,696.9
0+63	8" 1/2 LVB	(SEE PROFILE-THIS SHEET)
1+10	8" 1/2 LVB	(SEE PROFILE-THIS SHEET)
1+26	HDC (VERT)	(SEE PROFILE-THIS SHEET)
1+51	8" 1/2 HD	N 562,321.0 E 1,350,800.1
1+83	8" 1/2 HD	N 562,346.9 E 1,350,816.7
2+42	HDC (VERT)	(SEE PROFILE-THIS SHEET)
2+41	8"x4" T	N 562,454.0 E 1,350,207.3
3+01	8"x6" FHT	N 562,464.0 E 1,350,206.4
3+12	8" CAP & BUTTRESS	N 562,475.1 E 1,350,205.4

FIRE HYDRANT CHART

FH	NAD '83/'11 COORDINATES
A	N 562,466.1 E 1,350,822.2

CABLE TEST STATION CHART

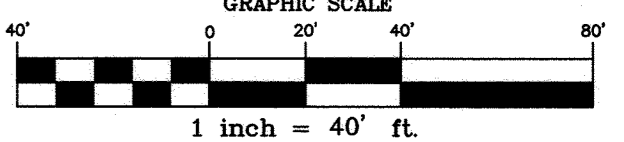
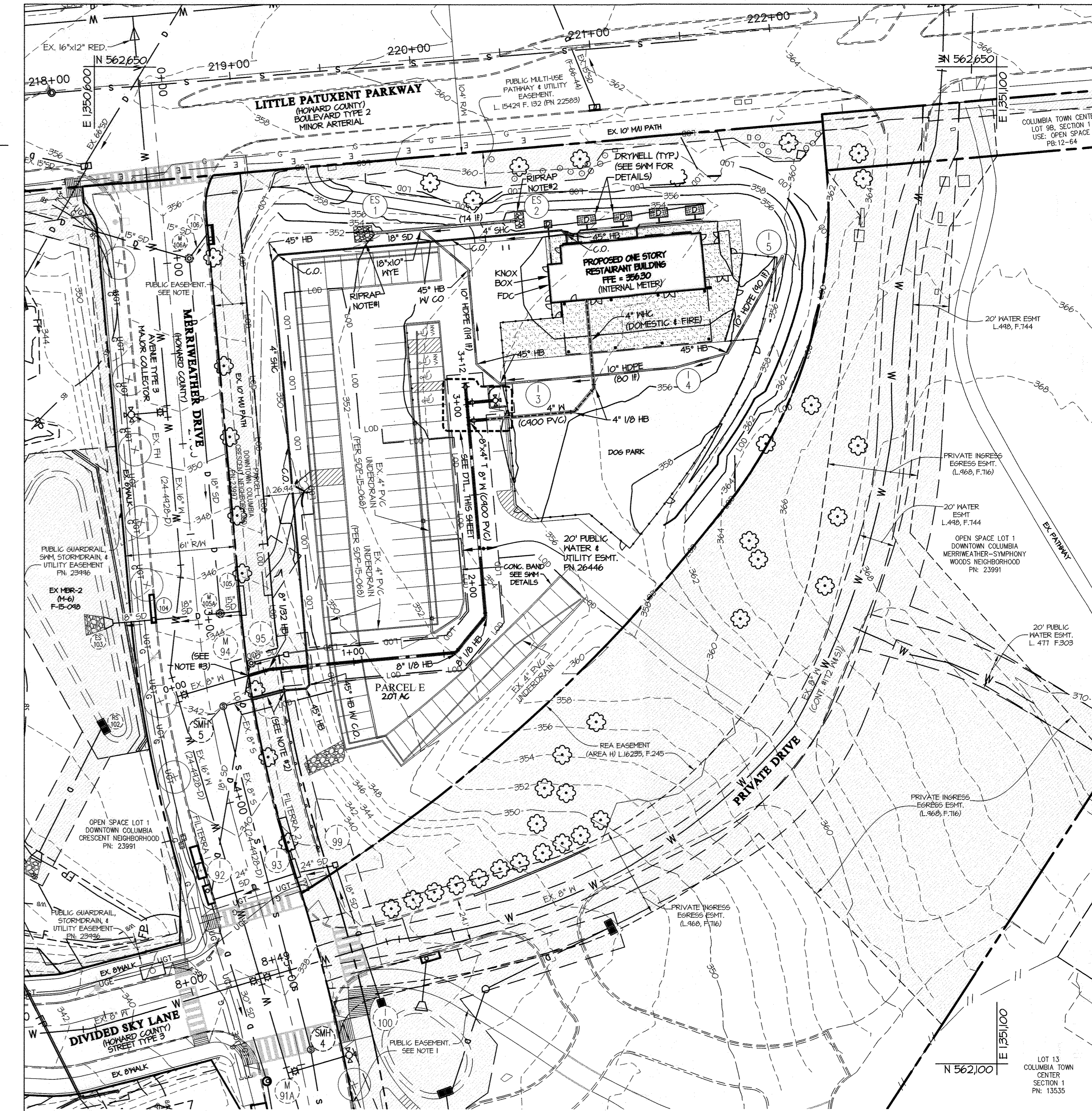
STR.	STA.	OFFSET	REMARKS
II	2+49	16' R	HO. CO. STD. DETAIL 6-8.21

STORM DRAIN PIPE SCHEDULE

SIZE	TYPE	QUANTITY (L)	REMARKS
10"	HDPE	240	
18"	HDPE	14	

STRUCTURE SCHEDULE

NO	TYPE	WIDTH (INSIDE)	TOP ELEVATION		INVERT		STD. DETAIL	LOCATIONS	PRIVATE/PUBLIC
			PROPOSED UPPER	AS-BUILT LOWER	PROPOSED UPPER	AS-BUILT LOWER			
I-3	NYLOPLAST DRAIN BASIN	1'-0"	354.82	---	352.51	352.41		N 562,476.0 E 1,350,640.7	PRIVATE
I-4	NYLOPLAST DRAIN BASIN	1'-0"	355.13	---	352.81	352.71		N 562,484.0 E 1,350,421.1	PRIVATE
I-5	NYLOPLAST DRAIN BASIN	1'-0"	355.21	---	353.04	---		N 562,545.9 E 1,350,941.1	PRIVATE
ES-1	END SECTION	18"	353.10	---	---	351.60		N 562,594.0 E 1,350,160.0	PRIVATE
ES-2	END SECTION	18"	353.41	---	---	351.91		N 562,564.0 E 1,350,226.9	PRIVATE



RIP RAP NOTES

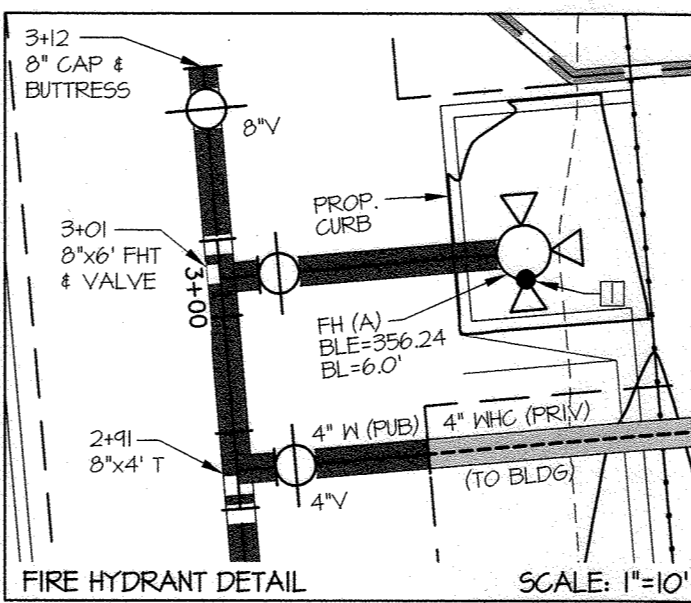
- (AT ES-1) ROCK OUTLET PROTECTION TYPE 2. 10 LF OF CLASS 0 RIP RAP. D50 = 5.5" T = 11". PROVIDE 3" TOE WALL PER DETAIL.
- (AT ES-2) ROCK OUTLET PROTECTION TYPE 2. 5 LF OF CLASS 0 RIP RAP. D50 = 5.5" T = 11". PROVIDE 3" TOE WALL PER DETAIL.

PUBLIC WATER / SEWER QUANTITIES

ITEMS	ESTIMATED QUANTITIES	AS-BUILT	
		QUANTITIES	TYPE MANUFACTURER/SUPPLIER
8" WATER (C900 PVC DR-18)	21 LF		
6" WATER (D.I.P. CL 54)	16 LF		
4" WATER (C900 PVC DR-18)	10 LF		
FIRE HYDRANT	1 EA.		
8"x6" FHT. V.	1 EA.		
8" 1/2 BEND	2 EA.		
8" 1/2 BEND	3 EA.		
8" HDC.	2 EA.		
8" CAP	1 EA.		
8" VALVE	1 EA.		
8"x4" T	1 EA.		
4" VALVE	1 EA.		
8" SEWER PVC SDR 35	18 LF		
8" SEWER C.O.	1 EA.		

PRIVATE WATER / SEWER QUANTITIES

ITEMS	ESTIMATED QUANTITIES	AS-BUILT	
		QUANTITIES	TYPE MANUFACTURER/SUPPLIER
4" WATER (C900 PVC DR-18)	15 LF		
4" 1/2 BEND	2 EA.		
4" SEWER PVC SDR 35	42 LF		
4" SEWER C.O.	5 EA.		
4" SEWER 1/25" HB	2 EA.		
4" SEWER 45" HB	6 EA.		



APPROVED
PLANNING BOARD OF HOWARD COUNTY
 Date: JUNE 15, 2023
 APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
 Director: Lynda Eassey Date: 11/8/24
 Chief, Division of Land Development: Chad Edmund Date: 1-7-24
 Chief, Development Engineering Division: KA Date: 1-7-24

GLW
 PLANNING [ENGINEERING] SURVEYING
 3909 NATIONAL DRIVE | SUITE 250 | BURTONSVILLE, MD 20886 | GLWPA.COM
 PHONE: 301-421-4024 | BALT: 410-880-1820 | DC&VA: 301-989-2524 | FAX: 301-421-4186

DESIGNED BY	DATE	CHECKED BY	DATE
DDS/AWL		AWL	12/2023
AWL		DDS	

OWNER/PREPARED FOR:
 THE HOWARD RESEARCH AND DEVELOPMENT CORP
 10960 GRANTCHESTER WAY, SUITE 110
 COLUMBIA, MD 21044
 ATTN: WILL BAUGHER

PROFESSIONAL CERTIFICATION
 I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 34380
 EXPIRATION DATE: MAY 14, 2025

REVISED UTILITY PLAN AND PROFILES
BARK SOCIAL
DOWNTOWN COLUMBIA CRESCENT NEIGHBORHOOD
PARCEL E
RESTAURANT
 PLAT NO. 26446
 HOWARD COUNTY, MARYLAND

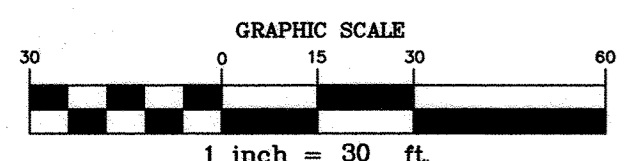
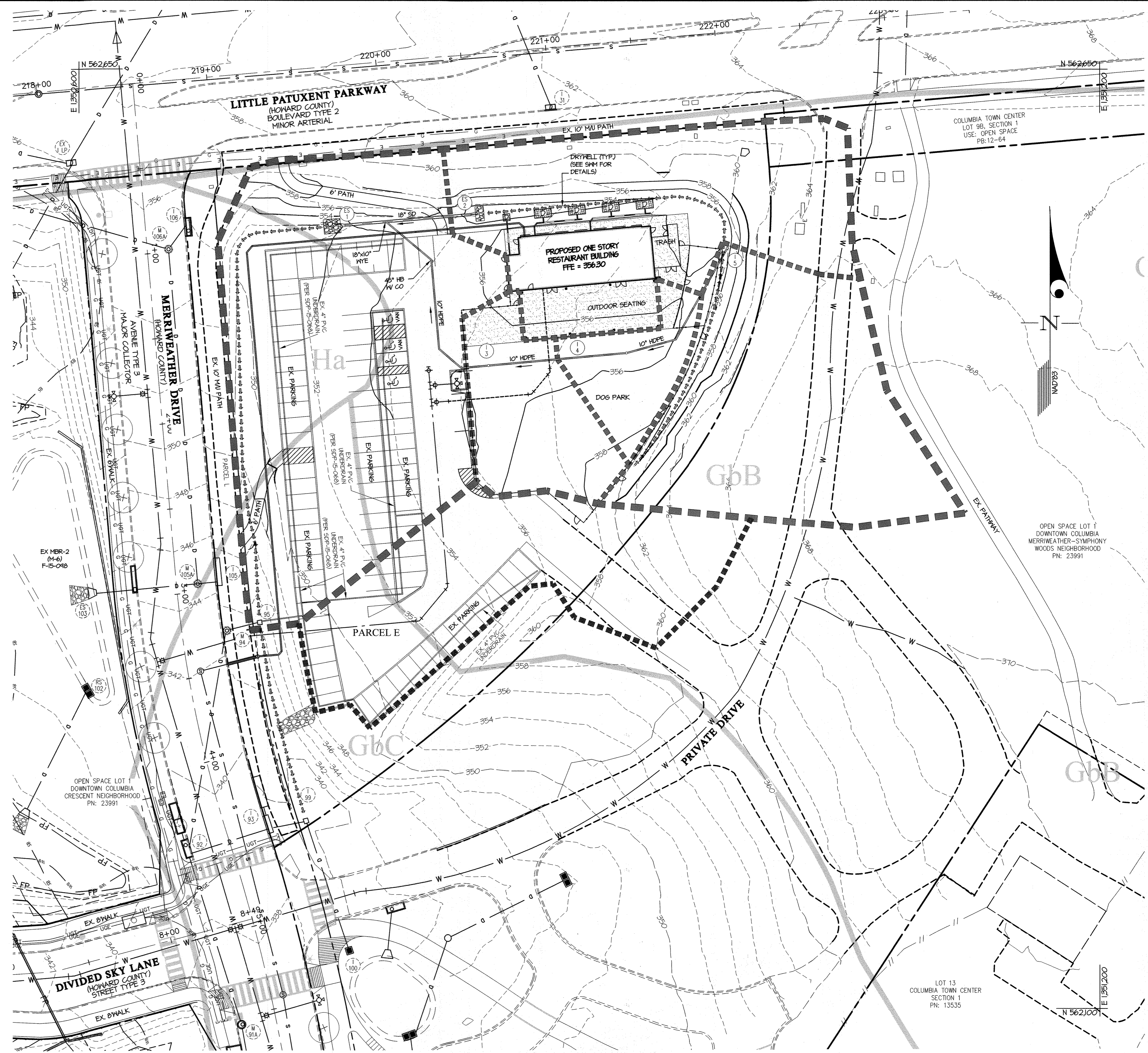
SCALE	ZONING	G. L. W. FILE NO.
1" = 30'	NT	22069
DATE	TAX MAP - GRID	SHEET
DEC., 2023	36 - 01	8 OF 15

L:\CAD\DRAWINGS\22069 PLANS BY GLW\22069 PLANS BY GLW\22069 UTILITY.dwg, PLOTTED: 12/15/2023 2:50 PM, LAST SAVED: 12/15/2023 2:40 PM, PLOTTED BY: Don Stoner

STR. No.	AREA (AC.)	C	% IMP
ES-2	0.50 Ac.	0.42	28%
I-3	0.17 Ac.	0.24	0%
I-4	0.10 Ac.	0.24	0%
I-5	0.47 Ac.	0.24	0%
EX I-45	2.02 Ac.	0.47	31%

■ ■ ■ ■ ■ = 0.42 Ac. (AREA TO EXISTING UNDERDRAIN SYSTEM CONSTRUCTED UNDER SDP-15-068. UNDERDRAIN WAS CONNECTED TO EX I-45 UNDER F-15-048.)

--- = SWALE



APPROVED
PLANNING BOARD OF HOWARD COUNTY
 Date: JUNE 15, 2023

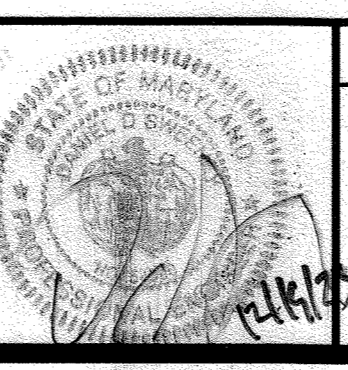
APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
Lyndee E. Senter
 Director Date: 11/8/24
 Chief, Division of Land Development Date: 11/8/24
Chris Clark
 Chief, Development Engineering Division Date: 1-7-24

GLW
 PLANNING | ENGINEERING | SURVEYING
 3909 NATIONAL DRIVE | SUITE 250 | BURTONSVILLE, MD 20866 | GLWPA.COM
 PHONE: 301-421-4024 | BALT: 410-880-1820 | DC&VA: 301-988-2524 | FAX: 301-421-4186

DESIGNED BY:	DATE:	REVISION:	AWL	DDS
DDS				
DRAWN BY:				
AWL				
CHECKED BY:				
DATE:	12/2023	REPLACED SHEET SIGNED ON 10/23/23	AWL	DDS
BY:				APPR.

OWNER/PREPARED FOR:
 THE HOWARD RESEARCH AND DEVELOPMENT CORP
 10960 GRANTCHESTER WAY, SUITE 110
 COLUMBIA, MD 21044
 ATTN: WILL BAUGHER

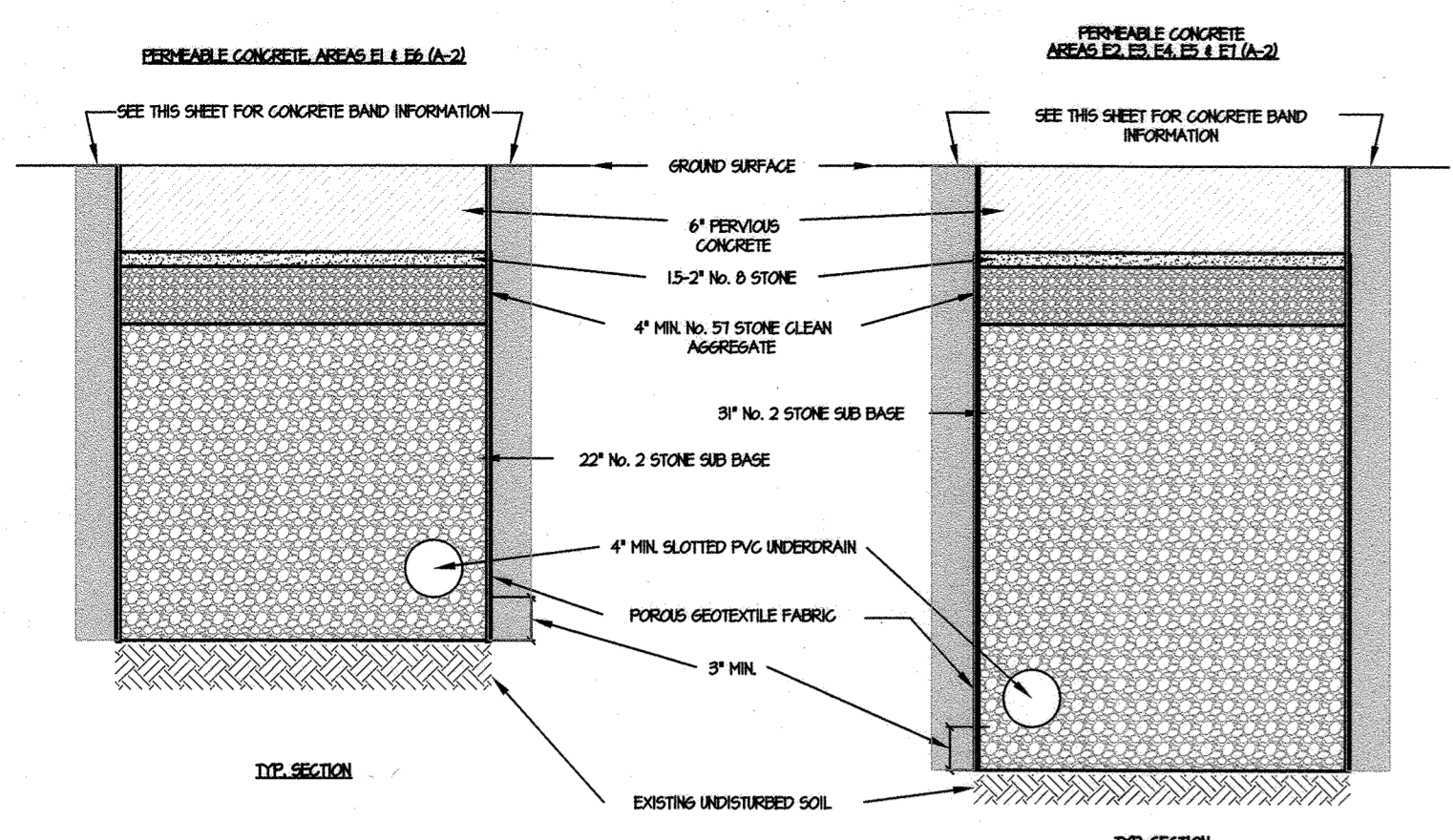
PROFESSIONAL CERTIFICATION
 I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 54390
 EXPIRATION DATE: MAY 14, 2025



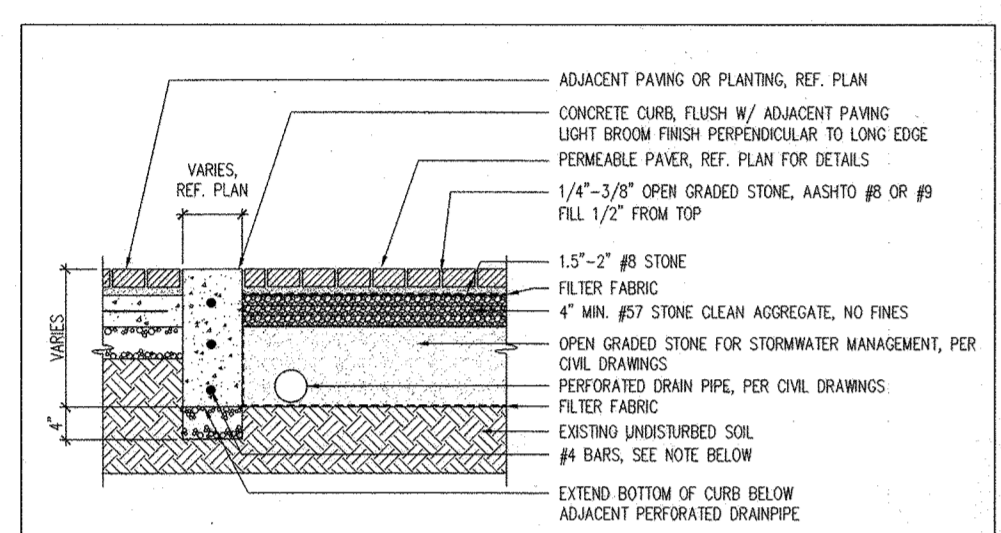
REVISED STORM DRAIN DRAINAGE AREA MAP
BARK SOCIAL
DOWNTOWN COLUMBIA CRESCENT NEIGHBORHOOD
PARCEL E
RESTAURANT
 PLAT NO. 26446
 HOWARD COUNTY, MARYLAND
 ELECTION DISTRICT No. 5

SCALE	ZONING	G. L. W. FILE No.
1"=30'	NT	22069
DATE	TAX MAP - GRID	SHEET
DEC., 2023	36 - 01	9 OF 15

L:\CARD\DRAWINGS\20269\PLANS BY GLW\20269 SD-DAN.dwg, PLOTTED: 12/19/2023 1:28 PM, LAST SAVED: 12/15/2023 11:45 AM, PLOTTED BY: Don Swartz



POROUS PAVEMENT SECTION NO SCALE (FROM SDP-15-068)



UNIT PAVER (PERMEABLE) - PED. SECTION NO SCALE (FROM SDP-15-068)

CONCRETE BAND DETAIL NO SCALE

STORMWATER MANAGEMENT GENERAL NOTES:
 1. THE STORMWATER MANAGEMENT OBLIGATION WAS MET WITH ESD PRACTICES INCLUDING: DRY WELLS (M-5), POROUS PAVEMENT (A-2)
 2. ALL STORMWATER FACILITIES WILL BE PRIVATELY OWNED AND MAINTAINED BY THE PROPERTY OWNER.
 3. IN ADDITION TO STANDARD MOE REQUIREMENTS, THE CONTRACTOR SHOULD BE PREPARED TO DEWATER EXCAVATIONS AND MAINTAIN TRAFFICABILITY OF THE SMM AREAS DURING CONSTRUCTION. ALL EXCAVATIONS SHOULD BE PROPERLY SHORED AND SUPPORTED IN ACCORDANCE WITH THE LATEST OSHA REQUIREMENTS. IF INFILTRATION FACILITY AREAS ARE EXCAVATED USING A LOADER, THE CONTRACTOR SHOULD USE WIDE-TRACK OR LIGHTWEIGHT EQUIPMENT WITH TURF TIRES TO MINIMIZE COMPACTION OF THE SUBGRADE SOILS. EXCESSIVE COMPACTION WITHIN THE INFILTRATION AREA WILL RESULT IN POOR PERFORMANCE OF THE FACILITIES. THE BASE OF THE INFILTRATION FACILITIES SHOULD BE TILLED TO A DEPTH OF 12 INCHES TO ALLEVIATE ANY COMPACTION OF THE SUBGRADE BY EXCAVATION EQUIPMENT. BACKFILL OF THE INFILTRATION FACILITIES SHOULD BE PERFORMED IN ACCORDANCE WITH MOE GUIDELINES.

APPROVED
PLANNING BOARD OF HOWARD COUNTY
 Date: **JUNE 15, 2023**

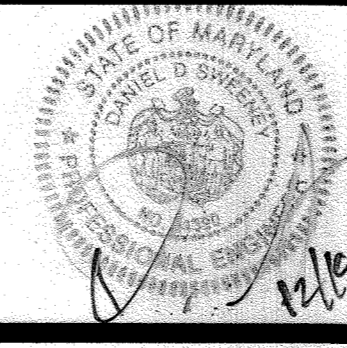
APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
Jimmie E. Easley 1/18/24
 Director Date
John E. Easley 1/3/24
 Chief, Division of Land Development Date
 Chief, Development Engineering Division

GLW
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 3909 NATIONAL DRIVE | SUITE 250 | BURTONSVILLE, MD 20866 | GLWPA.COM
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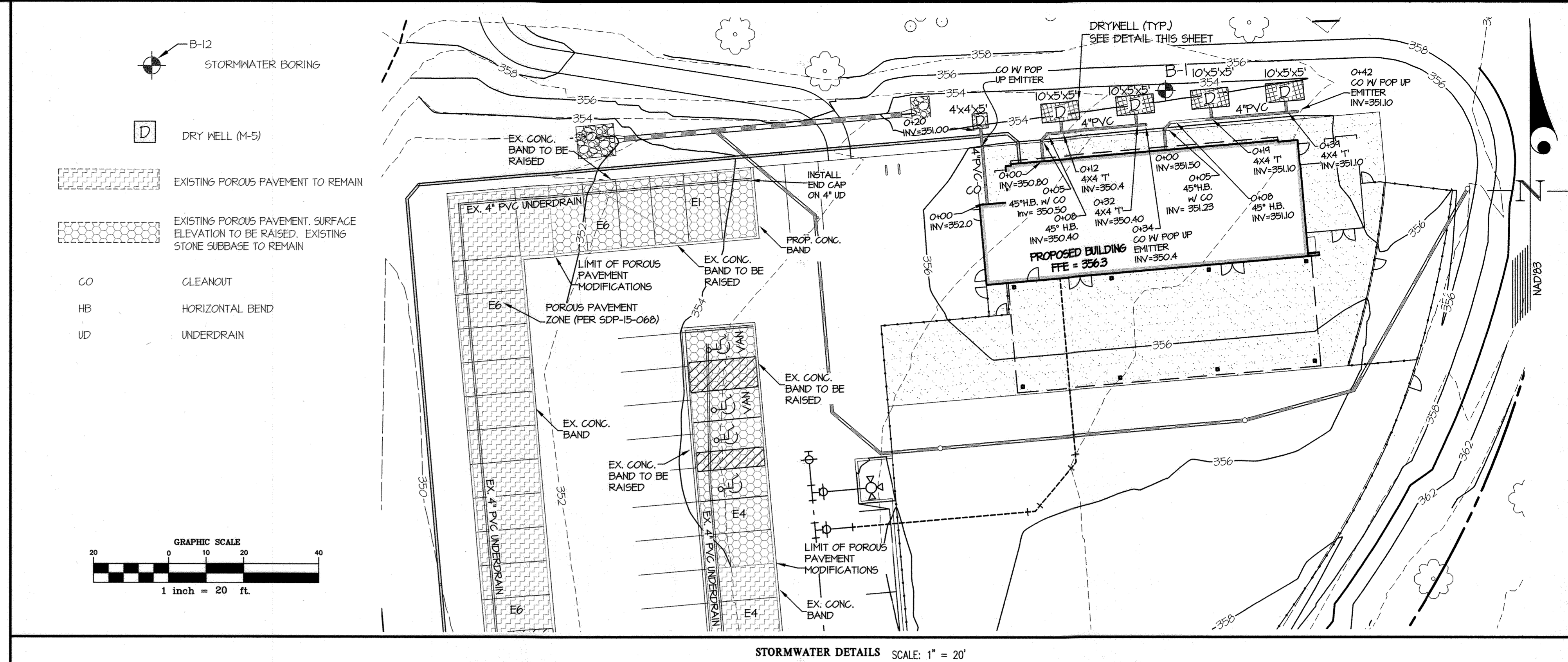
DESIGNED BY	DRAWN BY	CHECKED BY	DATE	REVISION	BY	APPR.
DDS	AWL		12/2023	BUILDING FOOTPRINT AND DRYWELL LAYOUT REVISED		

OWNER/PREPARED FOR:
 THE HOWARD RESEARCH AND DEVELOPMENT CORP
 10960 GRANTCHESTER WAY, SUITE 110
 COLUMBIA, MD 21044
 ATTN: WILL BAUGHER

PROFESSIONAL CERTIFICATION
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 EXPIRATION DATE: MAY 14, 2025



ELECTION DISTRICT No. 5

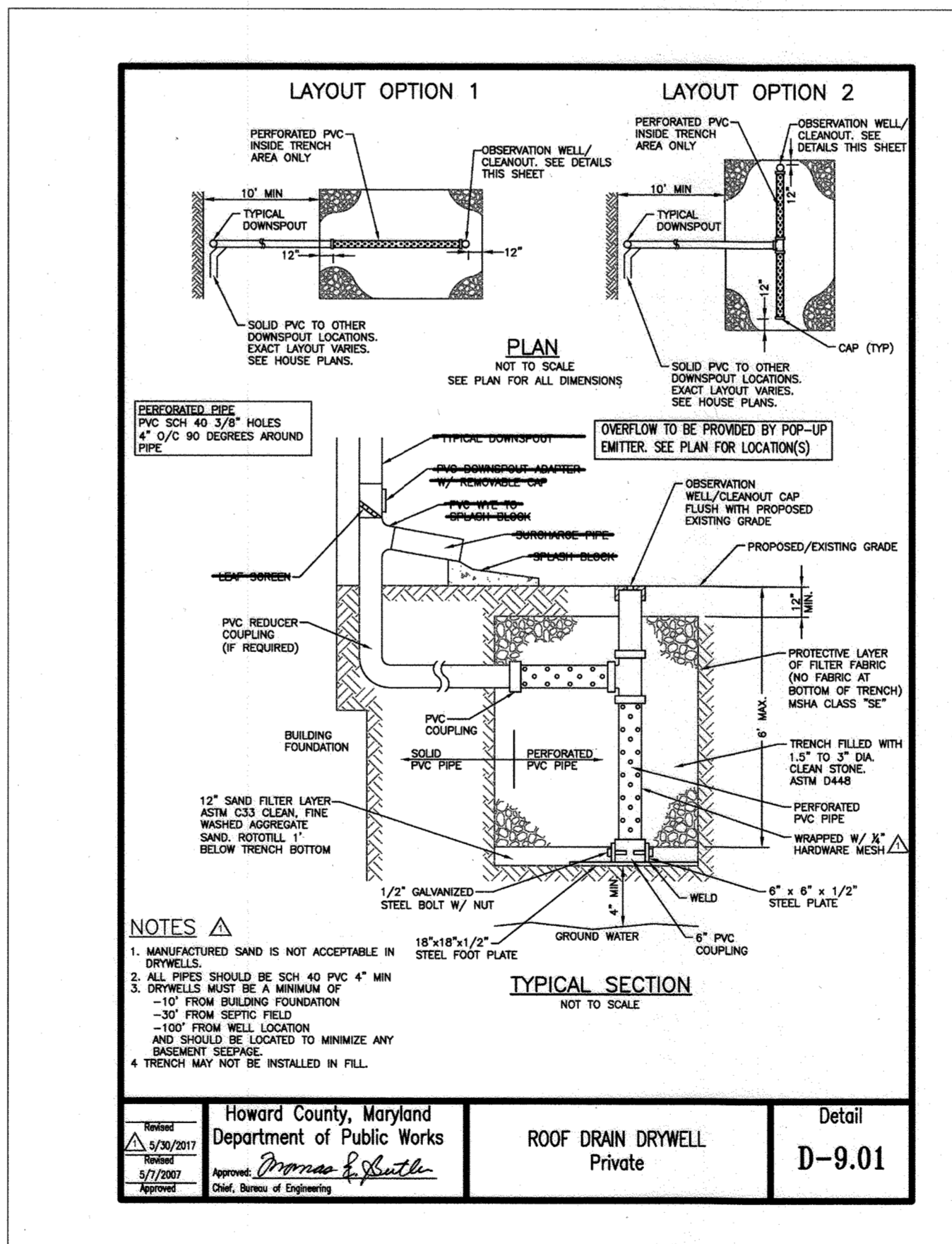


STORMWATER DETAILS SCALE: 1" = 20'

BAR SPECIFICATIONS FOR PERMEABLE PAVEMENTS & REINFORCED TUBE
 1. PERVIOUS CONCRETE SPECIFICATION
 DESIGN THICKNESS - PERVIOUS CONCRETE APPLICATIONS SHALL BE DESIGNED SO THAT THE THICKNESS OF THE CONCRETE SLAB SHALL SUPPORT THE TRAFFIC AND VEHICLE TYPES THAT WILL BE CARRIED. APPLICATIONS MAY BE DESIGNED USING EITHER STANDARD PAVEMENT PROCEDURES (E.G., AASHTO A3 325 SR, A3 330R) OR USING STRUCTURAL VALUES DERIVED FROM FLEXIBLE PAVEMENT DESIGN PROCEDURES.
 MIX & INSTALLATION - TRADITIONAL PORTLAND CEMENTS (ASTM C 150, C 1157) MAY BE USED IN PERVIOUS CONCRETE APPLICATIONS. PHOSPHORUS ADMIXTURES MAY ALSO BE USED. MATERIALS SHOULD BE TESTED (E.G., TRIAL BATCHING) PRIOR TO CONSTRUCTION SO THAT CRITICAL PROPERTIES (E.G., SETTLING TIME, RATE OF STRENGTH DEVELOPMENT, POROSITY, PERMEABILITY) CAN BE DETERMINED.
 AGGREGATE - PERVIOUS CONCRETE CONTAINS A LIMITED FINE AGGREGATE CONTENT. COMMONLY USED GRADATIONS INCLUDE ASTM C 33 NO. 67 (MIN. TO NO. 4), NO. 8 (MIN. TO NO. 16) AND NO. 89 (MIN. TO NO. 50) SIEVES. SINGLE-SIZED AGGREGATE (UP TO 1 INCH) MAY ALSO BE USED.
 WATER CONTENT - WATER-TO-CEMENT RATIOS BETWEEN 0.27 AND 0.30 ARE USED ROUTINELY WITH PROPER INCLUSION OF CHEMICAL ADMIXTURES. WATER QUALITY SHOULD MEET AQ 30A. AS A GENERAL RULE, POTABLE WATER SHOULD BE USED ALTHOUGH RECYCLED CONCRETE PRODUCTION WATER MEETING ASTM C 94 (ASHTO M 157) MAY ALSO BE USED.
 ADMIXTURES - CHEMICAL ADMIXTURES (E.G., RETARDERS OR HYDRATION-STABILIZERS) ARE USED TO OBTAIN SPECIAL PROPERTIES IN PERVIOUS CONCRETE. USE OF ADMIXTURES SHOULD MEET ASTM C 494 (CHEMICAL ADMIXTURES) AND ASTM C 260 (AIR ENTRAINING ADMIXTURES) AND CLOSELY FOLLOW MANUFACTURER'S RECOMMENDATIONS.
 BASE COURSE - THE BASE COURSE SHALL BE AASHTO NO. 3 OR 4 COURSE AGGREGATE WITH AN ASSUMED OPEN PORE SPACE OF 30% (N = 0.30).
OPERATION AND MAINTENANCE SCHEDULE FOR PRIVATELY OWNED AND MAINTAINED DRY WELLS (M-5)
 A. THE OWNER SHALL INSPECT THE MONITORING WELLS AND STRUCTURES ON A QUARTERLY BASIS AND AFTER EVERY HEAVY STORM EVENT.
 B. THE OWNER SHALL RECORD THE WATER LEVELS AND SEEDMENT BUILD UP IN THE MONITORING WELLS OVER A PERIOD OF SEVERAL DAYS TO INSURE TRENCH DRAINAGE.
 C. THE OWNER SHALL MAINTAIN A LOG BOOK TO DETERMINE THE RATE AT WHICH THE FACILITY DRAINS.
 D. WHEN THE FACILITY BECOMES CLOGGED SO THAT IT DOES NOT DRAIN DOWN WITHIN A SEVENTY-TWO (72) HOUR TIME PERIOD, CORRECTIVE ACTION SHALL BE TAKEN.
 E. THE MAINTENANCE LOG BOOK SHALL BE AVAILABLE TO HOWARD COUNTY FOR INSPECTION TO INSURE COMPLIANCE WITH OPERATION AND MAINTENANCE CRITERIA.
 F. ONCE THE PERFORMANCE CHARACTERISTICS OF THE INFILTRATION FACILITY HAVE BEEN VERIFIED, THE MONITORING SCHEDULE CAN BE REDUCED TO AN ANNUAL BASIS UNLESS THE PERFORMANCE DATA INDICATES THAT A MORE FREQUENT SCHEDULE IS REQUIRED.
OPERATION AND MAINTENANCE SCHEDULE FOR PRIVATELY OWNED AND MAINTAINED PERMEABLE PAVEMENT (A-2)
 A. THE OWNER SHALL PERIODICALLY SWEEP THE PAVEMENT SURFACES TO REDUCE SEDIMENT ACCUMULATION AND ENSURE CONTINUED SURFACE POROSITY. SWEEPING SHOULD BE PERFORMED AT LEAST TWICE ANNUALLY WITH A COMMERCIAL CLEANING UNIT, MASHING OR COMPRESSED AIR UNITS SHOULD NOT BE USED TO PERFORM SURFACE CLEANING.
 B. THE OWNER SHALL PERIODICALLY CLEAN DRAINAGE PIPES, INLETS, STONE EDGE DRAINS AND OTHER STRUCTURES WITHIN OR DRAINING TO THE SUBBASE.
 C. THE OWNER SHALL USE DEICERS IN MODERATION. DEICERS SHOULD BE NON-TOXIC AND BE APPLIED EITHER AS CALCIUM MAGNESIUM ACETATE OR AS PRETREATED SALT.
 D. THE OWNER SHALL ENSURE SNOW PLOWING IS PERFORMED CAREFULLY WITH BLADES SET ONE INCH ABOVE THE SURFACE. PLOWED SNOW PILES AND SNOWMELT SHOULD NOT BE DIRECTION TO PERMEABLE PAVEMENT.

NDS
POP-UP DRAINAGE EMITTERS
 The Pop-up Drainage Emitter is an easy, safe and efficient solution that allows water to be directed and released to water safe areas away from structures, erosion-prone landscapes, and poor drainage areas.
 Pop-up Drainage Emitters allow water captured by grates, catch basins, channel drains, Bio-Nail, E2flow, downspouts and roof gutter systems to flow through drainage pipe and away from structural foundations to safe or useful areas. For example, water can be routed from a low area next to a foundation to a water-safe area in the landscape, or a curbside drainage system where allowed. The emitter opens under minimal hydrostatic pressure from water through upstream drainage pipes, the emitter closes as flow ceases. The special patented design allows the Emitter to open with even the smallest flow. Since the Emitter is closed during dry weather, debris and rodents cannot enter the drain pipes. Spring automatically retracts - closes and prevents damage from lawn mowers. It's flat profile blends discreetly into the surrounding landscape.
3" & 4" Pop-up Drainage Emitter

Part No.	Description	Color	Qty. (Each)	1/2" Ex. (In.)	Product Class	Specifications
400	3" & 4" Pop-up Drainage Emitter	Green	20	0.25	W88	3" and 4" polyethylene casing bonded to 1/2" diameter PVC pipe. Pop-up Drainage Emitter with 1/2" diameter, 40 GPM capacity. 40 GPM at 1" of head. (See note 1).
401	Emitter with 2" Elbow	Green	25	0.50	W88	3" and 4" polyethylene casing bonded to 1/2" diameter PVC pipe. Pop-up Drainage Emitter with 2" diameter, 40 GPM capacity. 40 GPM at 1" of head. (See note 1).
402	Emitter with 4" Elbow	Green	20	0.75	W88	3" and 4" polyethylene casing bonded to 1/2" diameter PVC pipe. Pop-up Drainage Emitter with 4" diameter, 40 GPM capacity. 40 GPM at 1" of head. (See note 1).



ROOF DRAIN DRYWELL Private Detail D-9.01

DEPTH (FT)	SAMPLE NUMBER	SAMPLE TYPE	SAMPLE DIST (IN)	RECOVERY (IN)	DESCRIPTION OF MATERIAL	WATER LEVELS (FT)	ELEVATION (FT)	BLOWBY (IN)
					Topsoil Thickness (4")			
S-1	SS 18 18				(SM) SILTY SAND, trace gravel, brown, moist, medium dense		34.4 (32)	
S-2	SS 18 18				(SC) CLAYEY SAND, trace gravel, gray, moist, medium dense		33.2 (31)	
S-3	SS 18 18				(SM) SILTY SAND, brown and gray, moist, medium dense to dense		31.2 (29)	
S-4	SS 18 18				(WR) WEATHERED ROCK SAMPLED AS SILTY SAND, dark gray, moist, very dense [Weathered Rock]		12.20-25 (45)	
							34.2	
							33.7	
							33.2	
							32.7	

Symbol	Condition	Start Date	Completion Date	Logged By	Drilling Method
☒	WL (First Encountered)	Dry (Feb 16 2023)	Feb 16 2023	INAC	HSA
▼	WL (Completion)	Dry (Feb 16 2023)	Feb 16 2023	INAC	HSA
▼	WL (Seasonal High Water)	Dry (Feb 20 2023)	Feb 20 2023	INAC	HSA
☒	WL (Stabilized)	Dry (Feb 20 2023)	Feb 20 2023	INAC	HSA

STORMWATER DETAILS
BARK SOCIAL
DOWNTOWN COLUMBIA CRESCENT NEIGHBORHOOD
PARCEL E
RESTAURANT
PLAT NO. 26446
 HOWARD COUNTY, MARYLAND

SCALE	ZONING	G. L. W. FILE NO.
AS SHOWN	NT	22069
DATE	TAX MAP - GRID	SHEET
DEC., 2023	36 - 01	10 OF 15

L:\CAD\DRAWINGS\22069\PLANS BY GLW\AS 22069 SWM DET.dwg, PLOTTED: 12/19/2023 4:50 PM, LAST SAVES: 12/19/2023 12:38 PM, PLOTTED BY: Don Sawyer
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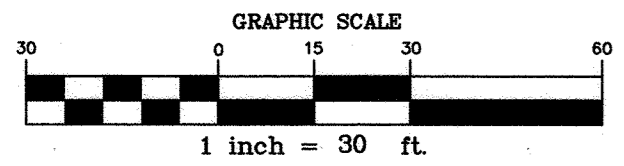
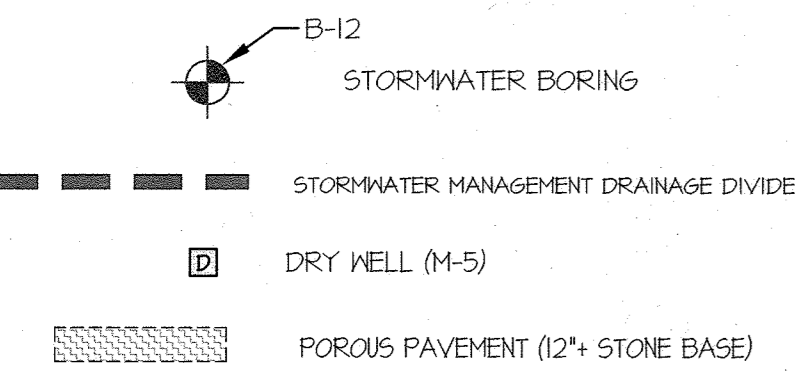
STORMWATER MANAGEMENT REQUIREMENT	
STUDY AREA (LOD):	84,820 SF
IMPERVIOUS AREA:	44,400 SF
% IMPERVIOUS:	49%
Rv:	0.445
TARGET P _e :	1.2"
REQUIRED ESDV:	A x Rv x P _e /12 = (84,820 x 0.445 x 1.2)/12 = 6,668 CF

STORMWATER MANAGEMENT RECHARGE	
STUDY AREA:	84,820 SF
% IMPERVIOUS:	49%
RECHARGE FACTOR:	0.235
REQUIRED RECHARGE:	S x Rv x A/12 = (0.235 x 0.445 x 84,820)/12 = 872 CF

STORMWATER MANAGEMENT PROVIDED BY DEVICE	
DRY WELLS (1) (M-5):	432 CU-FT
POROUS PAVEMENT (A-1):	6,768 CU-FT
TOTAL:	7,200 CU-FT

ESD SUMMARY TABLE				
AREA NO.	AREA (SF)	IMPERVIOUS	ESDV (CF)	P _e
DA E1	1,924	100%	186	1.22
DA E4	10,170	100%	1,883	2.60
DA E5	10,715	95%	2,078	2.57
DA E6	8,180	100%	1,370	2.12
DA E7	9,700	52%	1,040	2.49
DA R1	2,440	100%	200	1.04
DA R2	2,440	100%	200	1.04
DA R3	200	100%	32	2.02
TOTAL	45,769		7,200	
REQUIRED ESDV			6,668 cf	
PROVIDED ESDV			7,200 cf	

- NOTES:
1. ALL STORMWATER MANAGEMENT FACILITIES WILL BE PRIVATELY OWNED AND MAINTAINED BY THE PROPERTY OWNER.
 2. POROUS PAVEMENT ZONES E-1, E-4, E-5, E-6, E-7 FROM SDP-15-068. THE DRAINAGE AREA TO EACH PAVEMENT ZONE WAS UPDATED BASED ON THE PROPOSED GRADING. EXISTING STONE SUB-BASE TO REMAIN IN POROUS PAVEMENT ZONES.
 3. STORMWATER MANAGEMENT FOR PARCEL E WAS PREVIOUSLY PROVIDED BY SDP-15-068. THE ENTIRE PARKING LOT WAS TREATED BY POROUS PAVEMENT. THE STORMWATER MANAGEMENT REQUIREMENT FOR THE SITE HAS BEEN RECALCULATED USING THE PROPOSED IMPROVEMENTS. THE EXISTING POROUS PAVEMENT WILL CONTINUE TO TREAT THE PARKING LOT THAT REMAINS. DRYWELLS WILL TREAT THE PROPOSED ROOF.



APPROVED
PLANNING BOARD OF HOWARD COUNTY

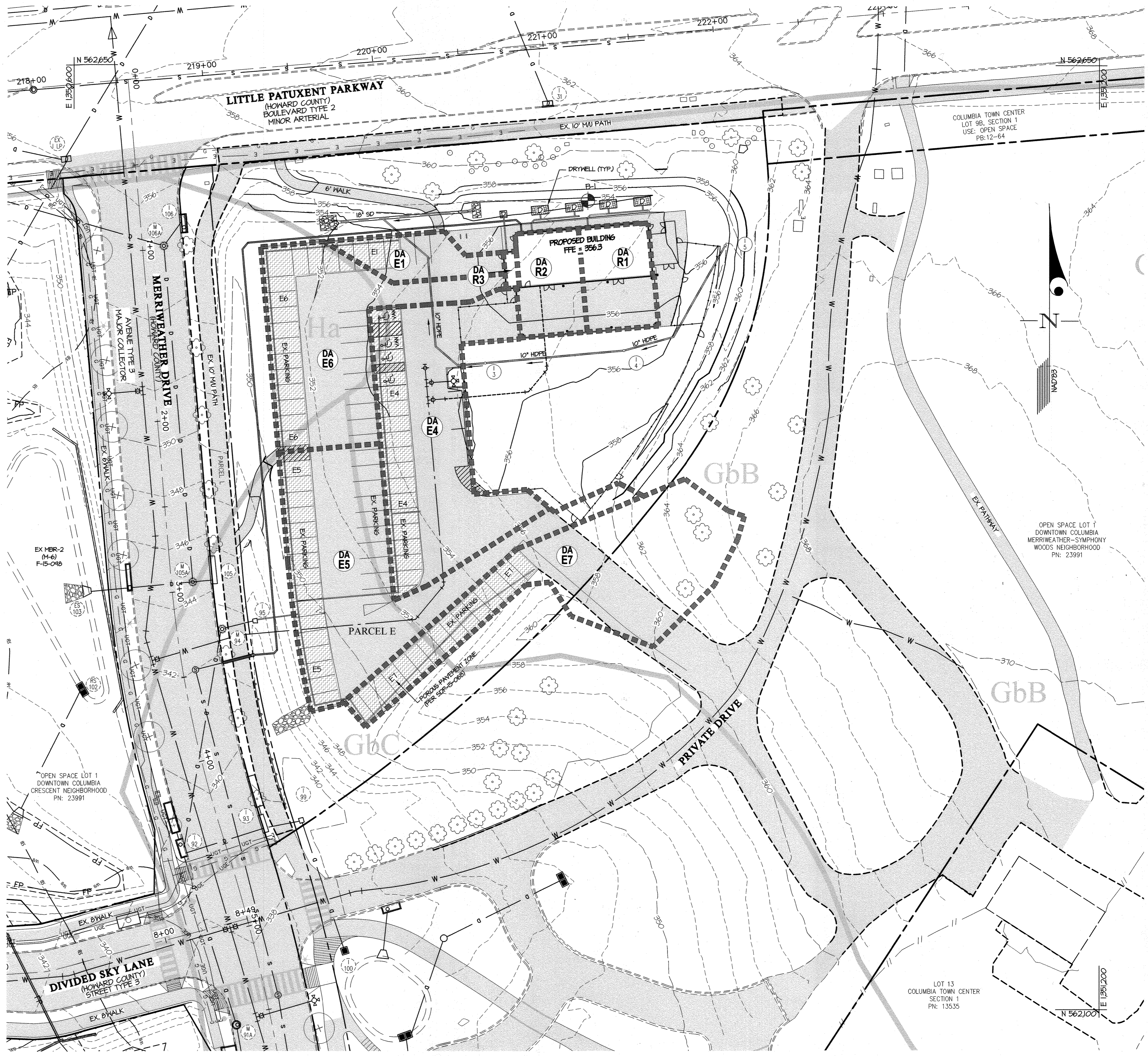
Date: JUNE 15, 2023

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
Dynda Eschery 11/8/24
 Director Date

[Signature] 1/3/24
 Chief, Division of Land Development Date

[Signature] 1-3-24
 Chief, Development Engineering Division Date

SOIL TYPES			
Symbol	Description	Soil Type	K Factor
Ha	Hatboro Codorus, 0 to 3 percent slopes	D	0.31
GbB	Gladstone Loom, 3 to 8 percent slopes	B	0.20
GbC	Gladstone Loom, 8 to 15 percent slopes	B	0.20



L:\GDD\DRAWINGS\22069 PLANS BY G\W\2023 ESD-DAM.dwg, DATE: 12/19/2023 9:45 AM, LAST SAVED: 12/19/2023 4:52 PM, PLOTTED BY: Don Swamy

3909 NATIONAL DRIVE | SUITE 250 | BURTONSVILLE, MD 20886 | GLWPA.COM
 PHONE: 301-421-4024 | BALT: 410-880-1820 | DC&VA: 301-988-2524 | FAX: 301-421-4186

DESIGNED BY:	DATE:	REVISION:	BY:	APPR:
dds				
drawn by:				
dds				
CHECKED BY:	11/2023	BUILDING FOOTPRINT AND DRAINAGE AREAS REVISED		

OWNER/PREPARED FOR:
 THE HOWARD RESEARCH AND DEVELOPMENT CORP
 10960 GRANTCHESTER WAY, SUITE 110
 COLUMBIA, MD 21044
 ATTN: WILL BAUGHER

PROFESSIONAL CERTIFICATION
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 EXPIRATION DATE: MAY 14, 2025

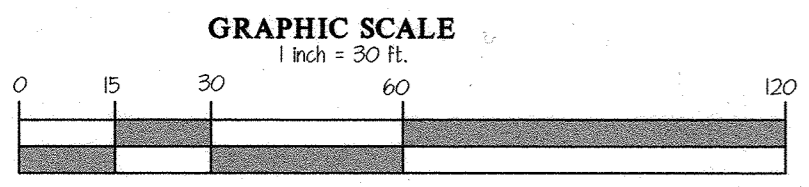
ESD DRAINAGE AREA MAP
BARK SOCIAL
 DOWNTOWN COLUMBIA CRESCENT NEIGHBORHOOD
 PARCEL E
 RESTAURANT
 PLAT NO. 26446

ELECTION DISTRICT No. 5
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SCALE	ZONING	G. L. W. FILE No.
1" = 30'	NT	22069
DATE	TAX MAP - GRID	SHEET
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- SEQUENCE OF CONSTRUCTION:**
1. OBTAIN GRADING PERMIT AND ARRANGE FOR AN ON SITE PRE-CONSTRUCTION MEETING. (1 DAY)
 2. INSTALL SCE, TAB, SFOP, DF. INSTALL IP AT EX. I-44 AND EX. I-45. INSTALL BERM BEHIND EX. I-45 TO PREVENT FLOW BYPASS. (3 DAYS)
 3. WATER AND SEWER INSTALLATION MAY BEGIN. SEE NOTES ON PLAN ABOUT SAME DAY STABILIZATION AND MAINTENANCE OF TRAFFIC. (1 DAY)
 4. REMOVE ENOUGH PAVEMENT AND INSTALL SSF ADJACENT TO BUILDING (3 DAYS)
 5. GRADE SITE, INSTALL UTILITIES, AND BEGIN BUILDING CONSTRUCTION. INSTALL INLET PROTECTION ON INLETS 15 - 15 AS THEY ARE BUILT. (3 MONTHS)
 6. ONCE WATER & SEWER, 18" SD, AND BYPASS SWALE ARE ALL CONSTRUCTED, INSTALL EROSION CONTROL MATTING AND STABILIZE THE AREA OUTSIDE OF THE EXISTING PARKING LOT. INSTALL SF ALONG NORTH SIDE OF BUILDING (3 DAYS)
 7. INSTALL NEW PAVEMENT, TURF, AND RAISE EXISTING PAVED AREAS AT THE APPROPRIATE TIME. (5 DAYS)
 8. ONCE ALL REMAINING AREAS HAVE BEEN STABILIZED AND CONSTRUCTION IS COMPLETE, REMOVE ANY REMAINING SEDIMENT CONTROLS. (5 DAYS)
 9. INSPECT EXISTING POROUS PAVEMENT AND TAKE ANY CORRECTIVE ACTIONS NECESSARY TO ENSURE POROUS PAVEMENT IS IN GOOD CONDITION AT THE END OF CONSTRUCTION. (1 DAY)

- LEGEND**
- LOD LIMIT OF DISTURBANCE
 - SFOP SILT FENCE ON PAVEMENT
 - SSF SUPERSILT FENCE
 - GnA SOIL BOUNDARY
 - SOIL TYPE
 - SCE STABILIZED CONSTRUCTION ENTRANCE
 - AGIP AT GRADE INLET PROTECTION
 - GIP GABION INLET PROTECTION
 - PROPOSED TEMPORARY STOCKPILE AREA
 - HIGHLY ERODIBLE SOIL
Highly erodible soils are those soils with a slope greater than 15 percent or those soils with a soil erodibility factor K greater than 0.35 and with a slope greater than 5 percent
 - EROSION CONTROL MATTING PER DETAIL B-4-6-C (SHEAR STRESS < 2.5 LB/SF)
 - T-TFF TREE PROTECTION FENCE
 - TAB TEMPORARY ASPHALT BERM
 - EXISTING POROUS CONCRETE TO BE PROTECTED THROUGHOUT CONSTRUCTION



THIS PLAN IS FOR SEDIMENT CONTROL PURPOSES ONLY

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

Alexander Bratchi 12/27/23
HOWARD SOIL CONSERVATION DISTRICT DATE

DEVELOPER'S/BUILDER'S CERTIFICATE

I HEREBY CERTIFY THAT ANY CLEARING, GRADING, CONSTRUCTION OR DEVELOPMENT WILL BE DONE PURSUANT TO THIS APPROVED EROSION AND SEDIMENT CONTROL PLAN, INCLUDING INSPECTING AND MAINTAINING CONTROLS, AND THAT THE RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF TRAINING AT A MARYLAND DEPARTMENT OF THE ENVIRONMENT (MDE) APPROVED TRAINING PROGRAM FOR THE CONTROL ON EROSION AND SEDIMENT PRIOR TO BEGINNING THE PROJECT. I CERTIFY RIGHT-OF-ENTRY FOR PERIODIC ON-SITE EVALUATION BY HOWARD COUNTY, THE HOWARD SOIL CONSERVATION DISTRICT AND/OR MDE.

Kristi Smith 12/17/23
SIGNATURE OF DEVELOPER/BUILDER DATE
Kristi Smith, Vice President, The Howard Research And Development Corporation
PRINTED NAME & TITLE

ENGINEER'S CERTIFICATE

I HEREBY CERTIFY THAT THIS PLAN HAS BEEN DESIGNED IN ACCORDANCE WITH CURRENT MARYLAND EROSION AND SEDIMENT CONTROL LAWS, REGULATIONS, AND STANDARDS, THAT IT REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE, AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

Dan Sheehy 12/14/23
ENGINEER'S SIGNATURE DATE
DAN SHEEHY 54390 (P.E.)
PRINTED NAME MD REGISTRATION NO.

APPROVED
PLANNING BOARD OF HOWARD COUNTY

Date: JUNE 15, 2023

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

Lynde Eubanks 1/18/24
Director Date

Chad Clark 1/3/24
Chief, Division of Land Development Date

Chad Clark 1/3/24
Chief, Development Engineering Division Date

- NOTES:**
1. STANDARD SILT FENCE MAY BE REPLACED WITH SUPER SILT FENCE AT THE DIRECTION OF THE SEDIMENT CONTROL INSPECTOR.
 2. WHEN SUPER SILT FENCE IS RIPPING AT A SLOPE GREATER THEN 5% FOR A DISTANCE OVER 50', CURL FENCE UP 2" FOR EVERY 2' OF ELEVATION CHANGE ALONG SILT FENCE.
 3. SEDIMENT CONTROL INSPECTOR MAY RELOCATE STABILIZED CONSTRUCTION ENTRANCES.
 4. SEE DETAIL B-4-6 ON SHEET B FOR STOCKPILE BENCHING REQUIREMENTS.
 5. ANY SEDIMENT CONTROLS INTERRUPTED BY THE INSTALLATION OF A UTILITY IS TO BE REPAIRED IMMEDIATELY.
 6. IF STOCKPILING OCCURS OVERTOP OF EXISTING POROUS PAVEMENT, PROVIDE AN IMPERMEABLE LINER BETWEEN THE STOCKPILE AND POROUS PAVEMENT. PROVIDE SILT FENCE ON PAVEMENT AT THE LOW SIDE OF STOCKPILES WHEN STOCKPILING ON PAVEMENT.

STANDARD STABILIZATION NOTE:

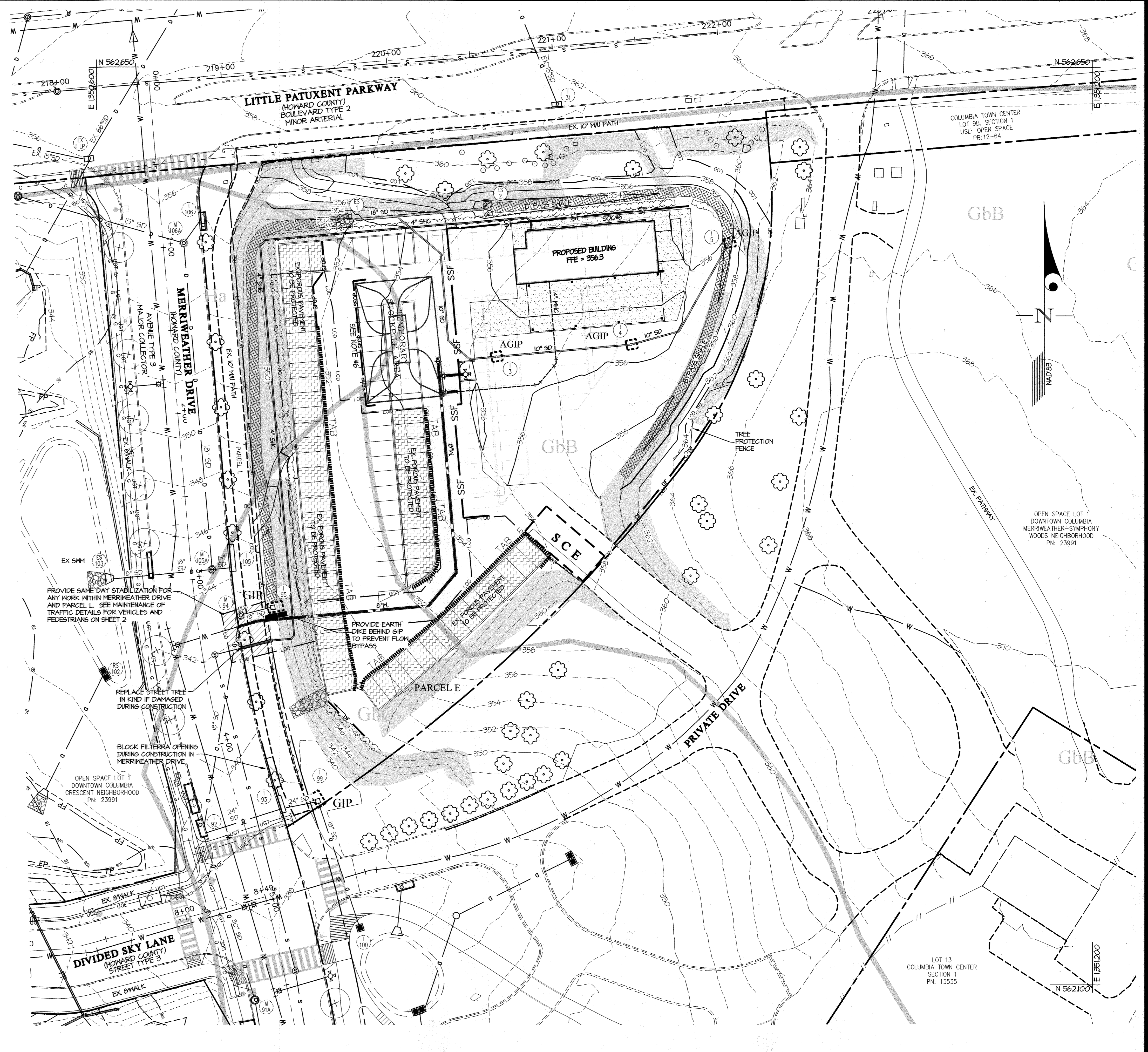
FOLLOWING INITIAL SOIL DISTURBANCE OR RE-DISTURBANCE, PERMANENT OR TEMPORARY STABILIZATION MUST BE COMPLETED WITHIN:

A) THREE (3) CALENDAR DAYS AS TO THE SURFACE OF ALL PERIMETER DIKES, SWALES, DITCHES, PERIMETER SLOPES, AND ALL SLOPES STEEPER THAN 3 HORIZONTAL TO 1 VERTICAL (3:1), AND

B) SEVEN (7) CALENDAR DAYS AS TO ALL OTHER DISTURBED OR GRADED AREAS ON THE PROJECT SITE NOT UNDER ACTIVE GRADING.

SOIL TYPES

Symbol	Description	Soil Type	K Factor
Ha	Haltom Codorus, 0 to 3 percent slopes	D	0.37
GbB	Gladstone Loom, 3 to 8 percent slopes	B	0.20
GbC	Gladstone Loom, 8 to 15 percent slopes	B	0.20



DESIGNED BY:	dds
DRAWN BY:	dds
CHECKED BY:	12/2023
DATE:	12/2023
REVISION:	BY APPR.

OWNER/PREPARED FOR:

THE HOWARD RESEARCH AND DEVELOPMENT CORP
10960 GRANTCHESTER WAY, SUITE 110
COLUMBIA, MD 21044
ATTN: WILL BAUGHER

PROFESSIONAL CERTIFICATION

I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 54390

EXPIRATION DATE: MAY 14, 2025

12/19/23

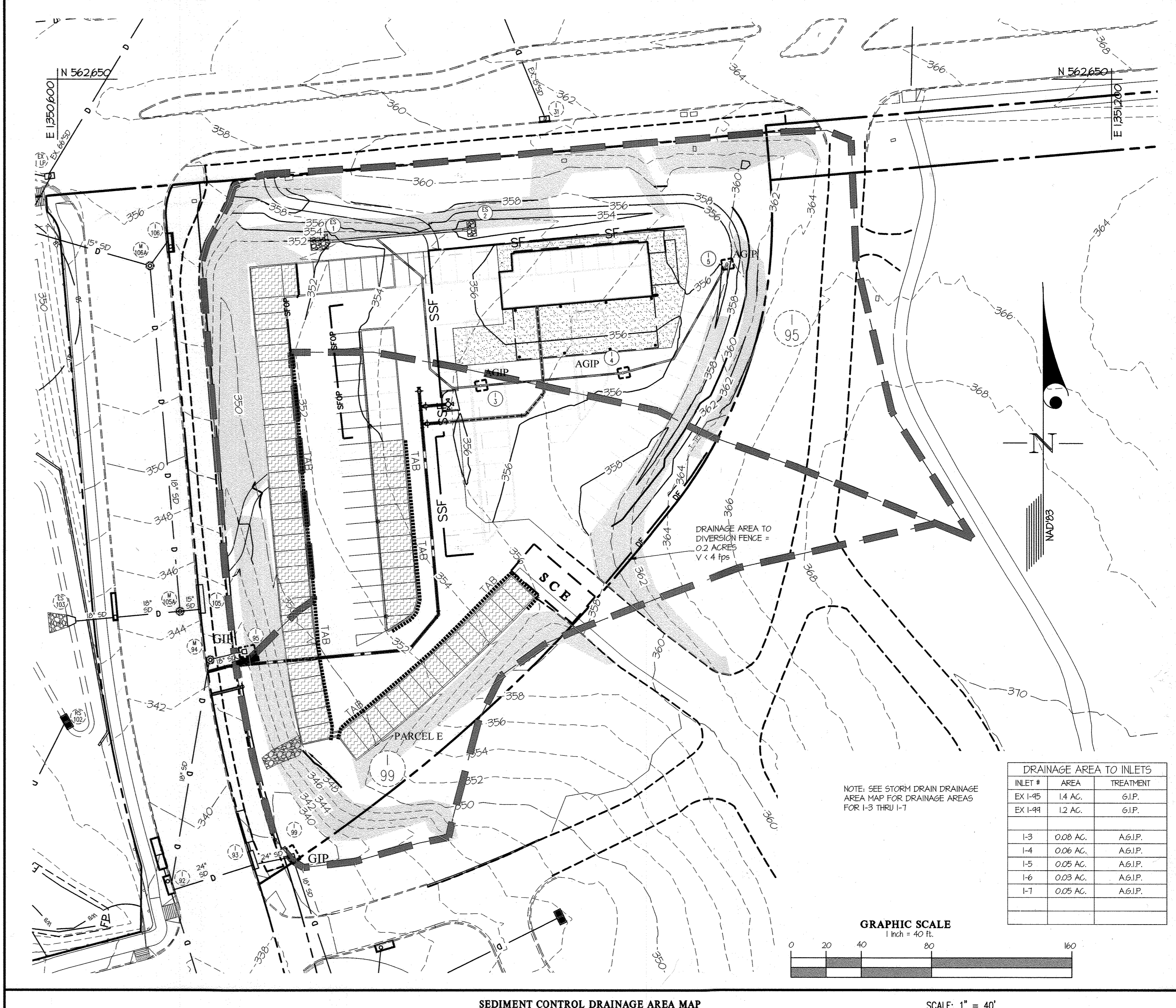
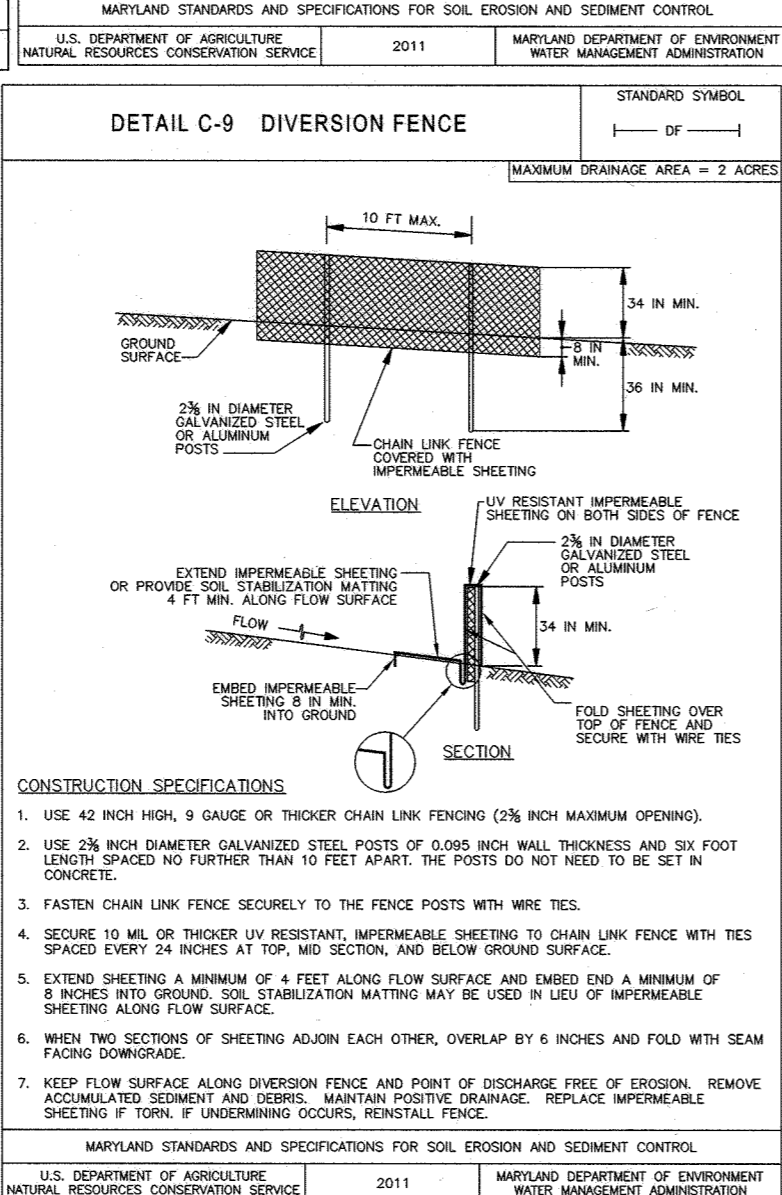
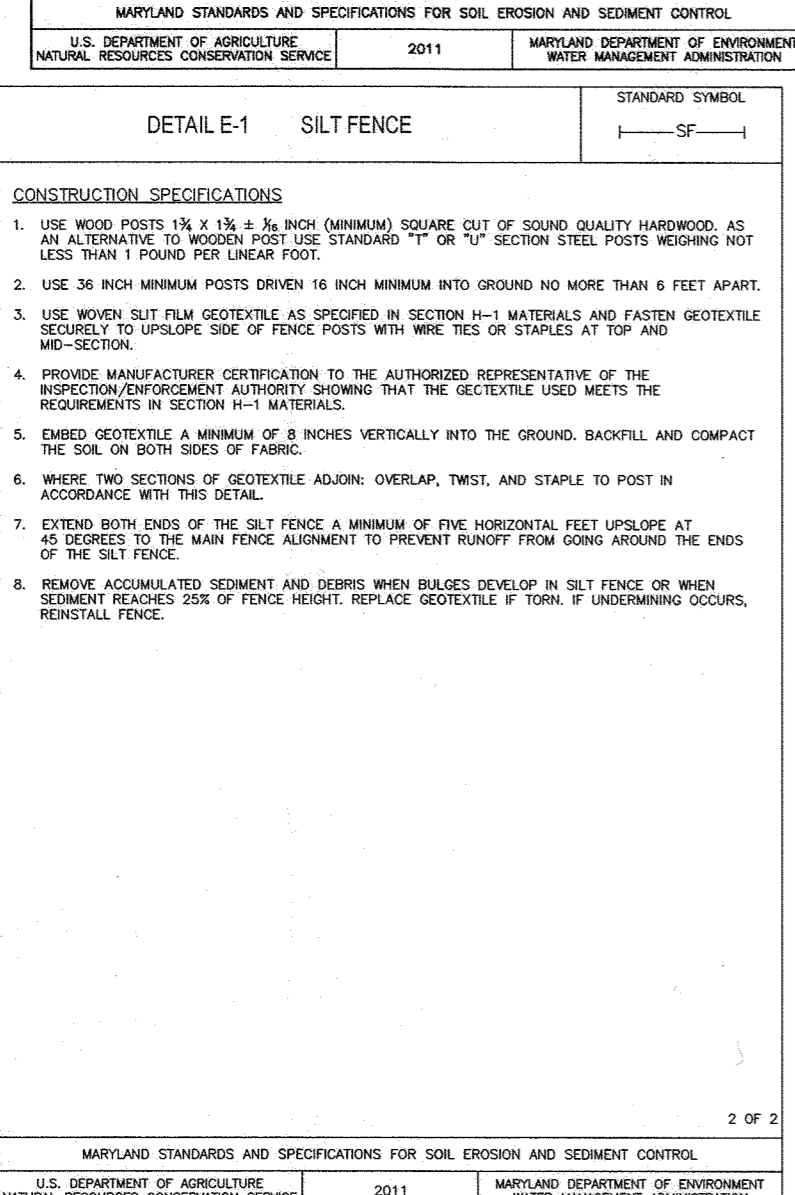
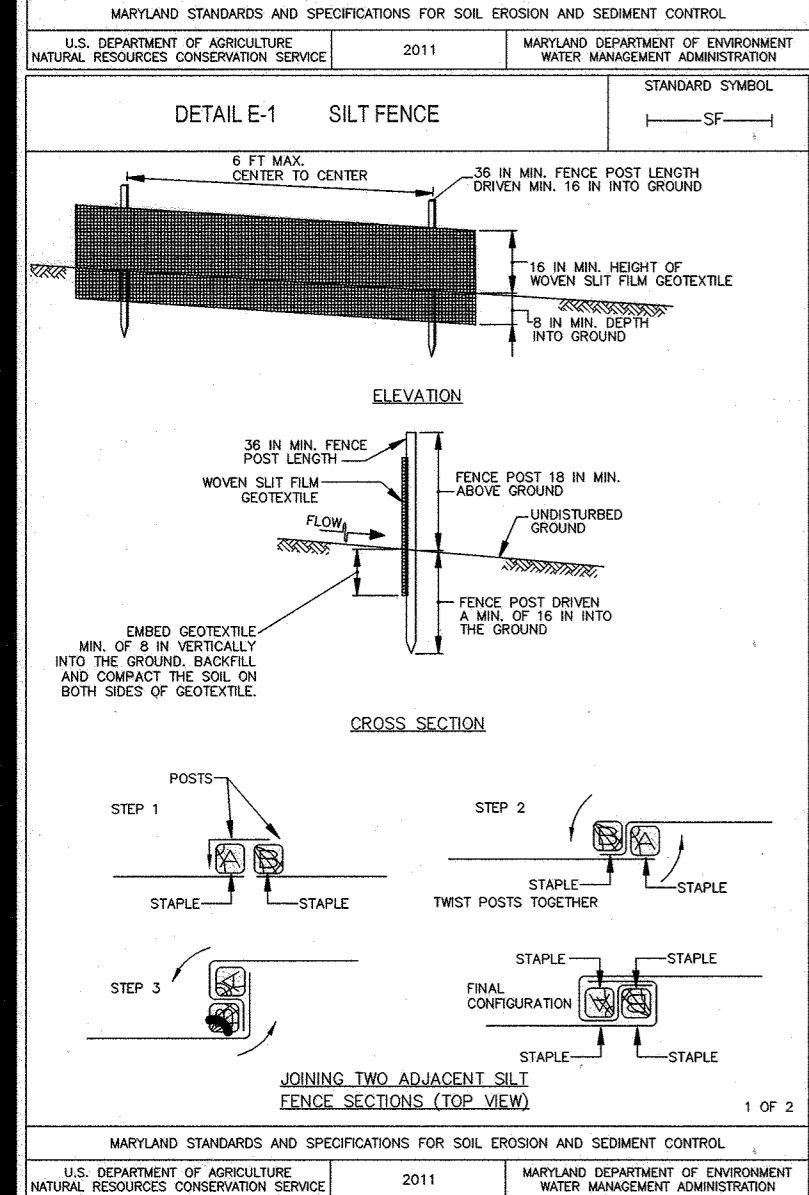
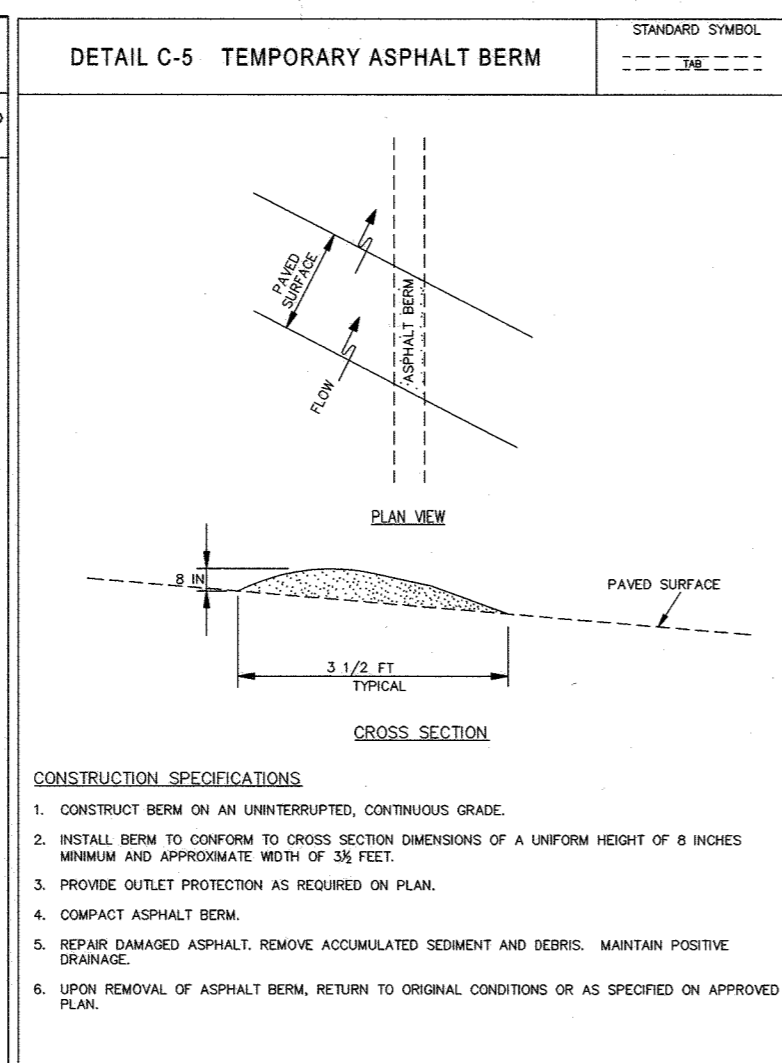
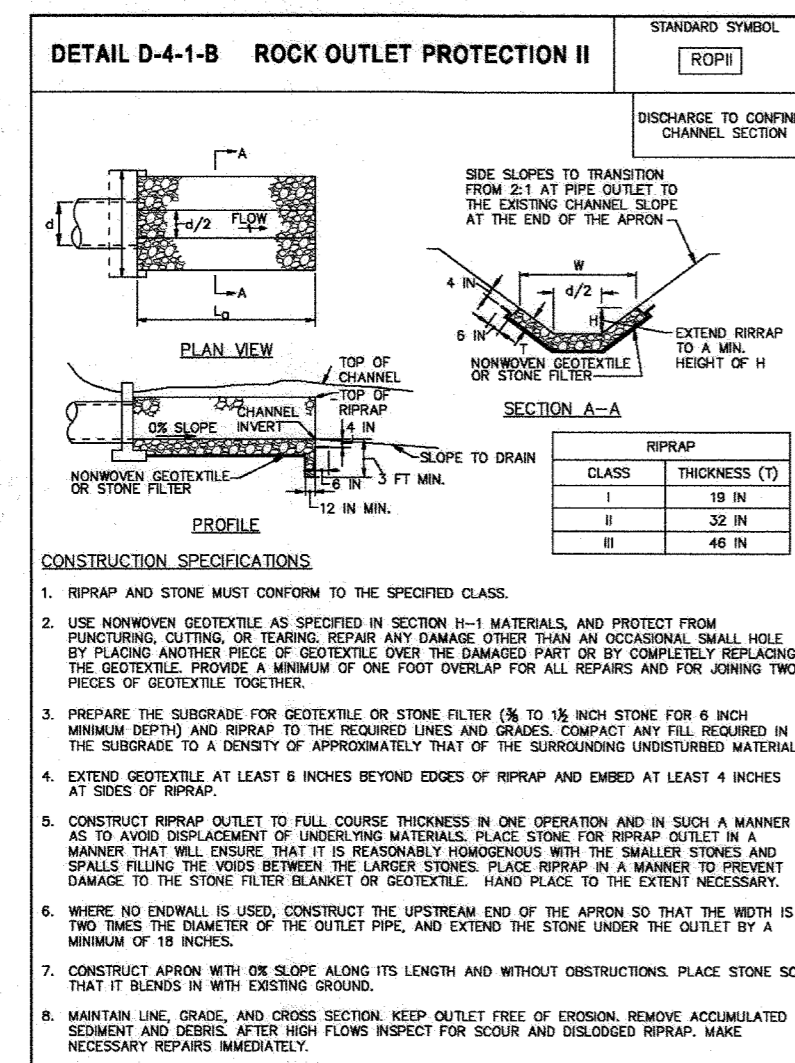
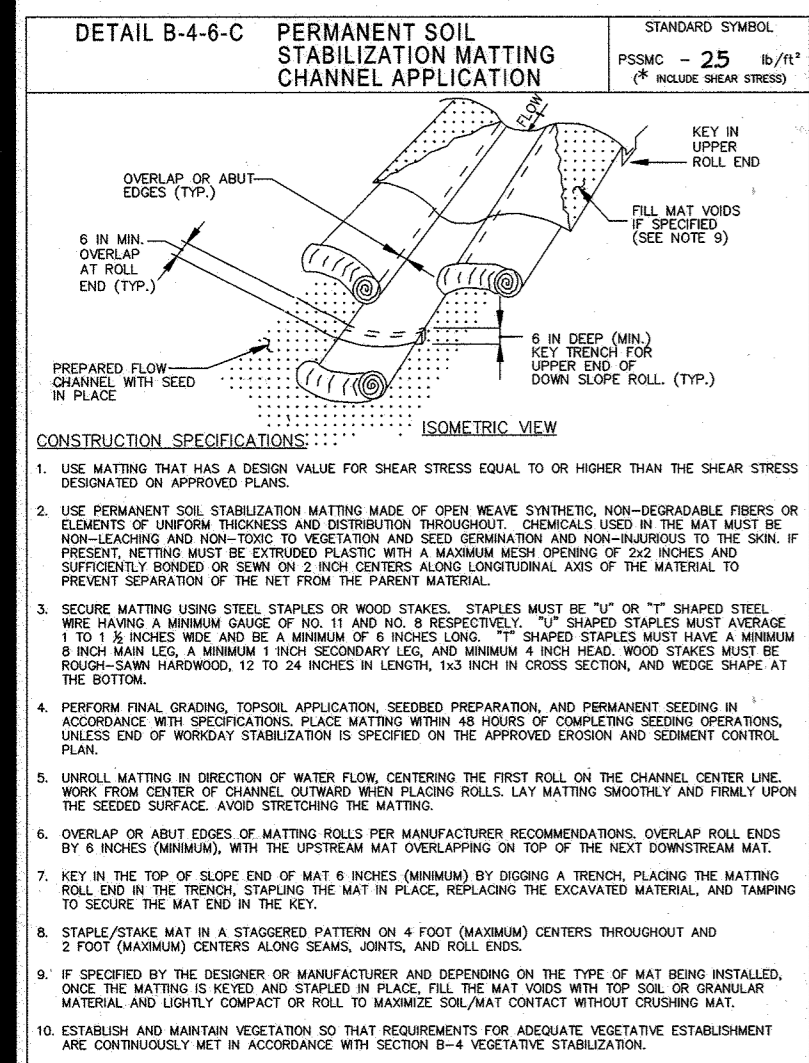
SEDIMENT CONTROL PLAN

BARK SOCIAL
DOWNTOWN COLUMBIA CRESCENT NEIGHBORHOOD
PARCEL E
RESTAURANT
PLAT NO. 26446

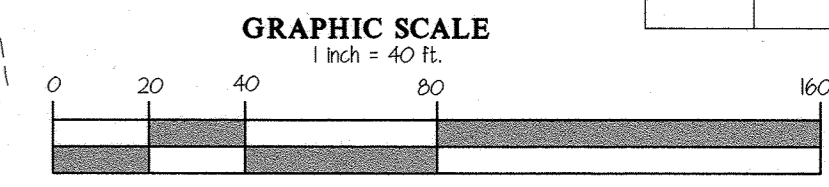
HOWARD COUNTY, MARYLAND

SCALE	ZONING	G. L. W. FILE No.
1"=30'	NT	22069
DATE	TAX MAP - GRID	SHEET
DEC., 2023	36 - 01	12 OF 15

L:\CADD\DRAWINGS\22069\PLANS BY G.L.W.\22069_SNE.dwg, PLOTTED: 12/19/2023 4:15 PM, LAST SAVER: 12/19/2023 1:45 PM, PLOTTED BY: Don Sheehy



DRAINAGE AREA TO INLETS		
INLET #	AREA	TREATMENT
EX 1-45	1.4 AC.	G.I.P.
EX 1-44	1.2 AC.	G.I.P.
I-3	0.09 AC.	A.G.I.P.
I-4	0.06 AC.	A.G.I.P.
I-5	0.05 AC.	A.G.I.P.
I-6	0.03 AC.	A.G.I.P.
I-1	0.05 AC.	A.G.I.P.



THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

Alexander Butcher 12/27/23
 HOWARD SOIL CONSERVATION DISTRICT DATE

DEVELOPER/BUILDER'S CERTIFICATE

"I HEREBY CERTIFY THAT ANY CLEARING, GRADING, CONSTRUCTION OR DEVELOPMENT WILL BE DONE PURSUANT TO THIS APPROVED EROSION AND SEDIMENT CONTROL PLAN, INCLUDING INSPECTING AND MAINTAINING CONTROLS, AND THAT THE RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF TRAINING AT A MARYLAND DEPARTMENT OF THE ENVIRONMENT (MDE) APPROVED TRAINING PROGRAM FOR THE CONTROL ON EROSION AND SEDIMENT PRIOR TO BEGINNING THE PROJECT. I CERTIFY RIGHT-OF-ENTRY FOR PERIODIC ON-SITE EVALUATION BY HOWARD COUNTY, THE HOWARD SOIL CONSERVATION DISTRICT AND/OR MDE."

Kristi Smith 12/19/23
 SIGNATURE OF DEVELOPER/BUILDER DATE

Kristi Smith, Vice President, The Howard Research and Development Corporation
 PRINTED NAME & TITLE

ENGINEER'S CERTIFICATE

"I HEREBY CERTIFY THAT THIS PLAN HAS BEEN DESIGNED IN ACCORDANCE WITH CURRENT MARYLAND EROSION AND SEDIMENT CONTROL LAWS, REGULATIONS, AND STANDARDS, THAT IT REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE, AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT."

Dan Sheehy 12/19/23
 ENGINEER'S SIGNATURE DATE

DAN SHEEHY 54390 (P.E.)
 PRINTED NAME MD REGISTRATION NO.

APPROVED
PLANNING BOARD OF HOWARD COUNTY

Date: JUNE 15, 2023

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

Jenifer Cusack 1/18/24
 Director Date

Chad Edwards 1/3/24
 Chief, Division of Land Development Date

Chad Edwards 1/3/24
 Chief, Development Engineering Division Date

THIS PLAN IS FOR SEDIMENT CONTROL PURPOSES ONLY

DESIGNED BY:	dds				
DRAWN BY:	dds				
CHECKED BY:					
DATE	12/2023	REVISION	BUILDING FOOTPRINT REVISED	BY	APPR.

OWNER/PREPARED FOR:
 THE HOWARD RESEARCH AND DEVELOPMENT CORP
 10960 GRANTCHESTER WAY, SUITE 110
 COLUMBIA, MD 21044
 ATTN: WILL BAUGHER

PROFESSIONAL CERTIFICATION

I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 54390
 EXPIRATION DATE: MAY 14, 2025

SEDIMENT CONTROL DETAILS

BARK SOCIAL
DOWNTOWN COLUMBIA CRESCENT NEIGHBORHOOD
PARCEL E
RESTAURANT
 PLAT NO. 26446

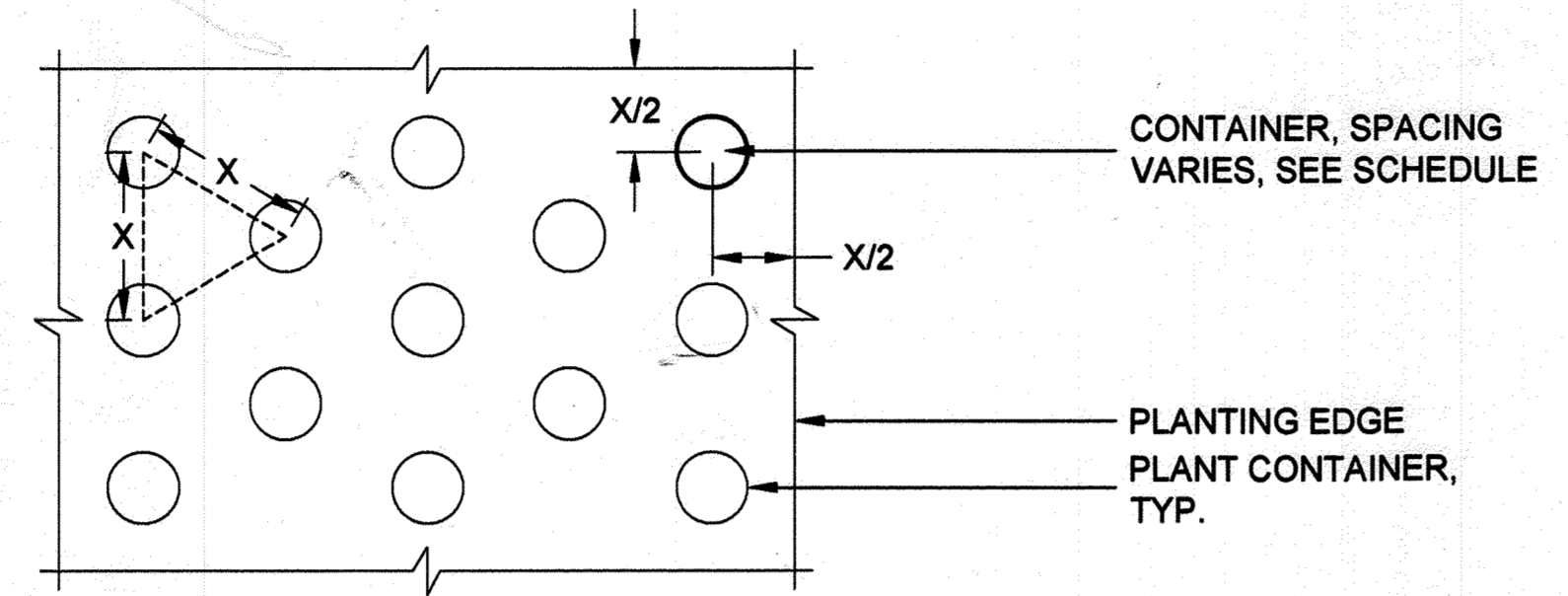
SCALE: AS SHOWN
 ZONING: NT
 DATE: DEC., 2023
 TAX MAP - GRID: 36 - 01
 SHEET: 14 OF 15

G. L. W. FILE No. 22069
 ELECTION DISTRICT No. 5
 HOWARD COUNTY, MARYLAND

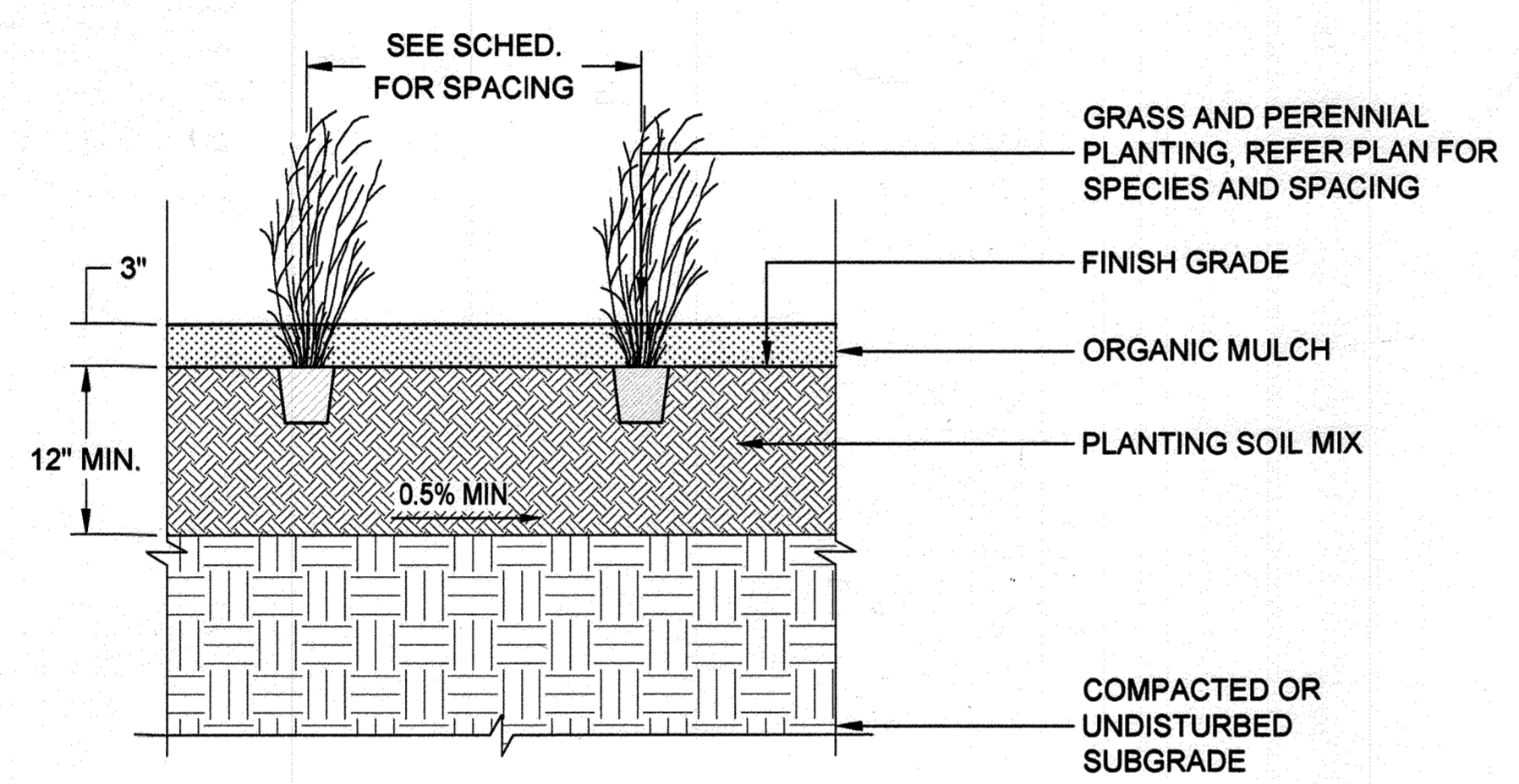
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PLANTING NOTES

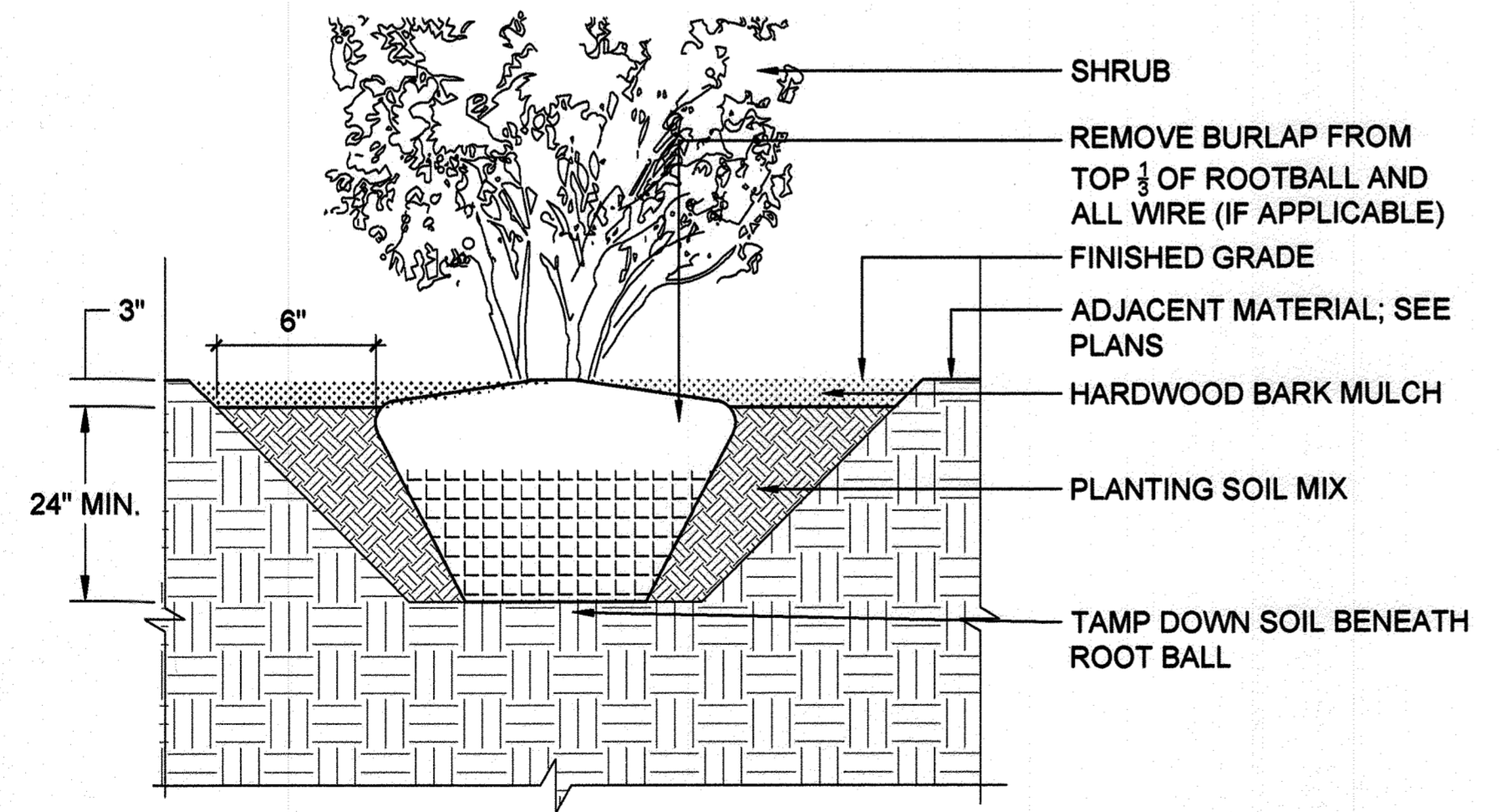
1. BASE INFORMATION PROVIDED BY GUTSCHICK, LITTLE & WEBER, PA FOR CIVIL, JP2 ARCHITECTS FOR ARCHITECTURE.
2. THE CONTRACTOR SHALL SUPPLY ALL PLANT MATERIAL IN QUANTITIES SUFFICIENT TO COMPLETE THE PLANTING SHOWN IN THE DRAWINGS.
3. CONTRACTOR SHALL REMOVE ALL HARD LUMPS OF CLAY, STONES OVER 2" IN DIAMETER, AND ALL CONSTRUCTION DEBRIS INCLUDING GRAVEL, ROOTS, LIMBS AND OTHER DELETERIOUS MATTER WHICH WOULD BE HARMFUL, OR PREVENT PROPER ESTABLISHMENT AND/OR MAINTENANCE OF THE PLANTING AREAS.
4. ALL PLANTS SHALL BE BALLED IN BURLAP OR CONTAINER GROWN UNLESS OTHERWISE NOTED IN THE PLANTING SCHEDULE.
5. ALL PLANTS SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO THEIR ARRIVAL ON SITE.
6. THE LAYOUT OF PLANTS IN THE FIELD IS TO BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO PLANTING.
7. SEE PLANTING SCHEDULES FOR QUANTITIES.
8. THE CONTRACTOR SHALL SUPPLY ALL LABOR, PLANTS, AND MATERIALS IN QUANTITIES SUFFICIENT TO COMPLETE THE WORK SHOWN ON THE DRAWING(S) AND LISTED IN THE PLANT SCHEDULE(S), IN THE EVENT OF A DISCREPANCY BETWEEN QUANTITIES SHOWN IN THE PLANT SCHEDULE AND THOSE REQUIRED BY THE DRAWINGS, THE LARGER SHALL APPLY. ALL PLANTS SHALL BE ACCLIMATED BY THE SUPPLY NURSERY TO THE LOCAL HARDINESS ZONE AND SHRUBS SHALL BE CERTIFIED THAT THE PLANTING MATERIAL HAS BEEN GROWN FOR A MINIMUM OF (2) TWO YEARS AT THE SOURCE AND OBTAINED WITHIN 200 MILES OF PROJECT SITE UNLESS OTHERWISE APPROVED BY OWNER, CERTIFIED LANDSCAPE INSPECTOR, OR LANDSCAPE ARCHITECT.
9. THE CONTRACTOR SHALL IDENTIFY ANY PLANT MATERIAL UNAVAILABLE AFTER THOROUGH ATTEMPT TO LOCATE PLANT MATERIAL SPECIFIED AS WELL AS IDENTIFY POTENTIAL SUBSTITUTIONS SIMILAR IN TYPE AND SCALE SPECIFIED. THE CONTRACTOR SHALL CONFIRM ALL FINAL PLANT SELECTIONS AND NOTED DESCRIPTION FOR EACH AS IDENTIFIED ON THE PLANT SCHEDULE AS WELL AS SOURCE PROVIDER FOR EACH IN WRITTEN DOCUMENT WITH PHOTOGRAPHS SUBMITTED TO OWNER AND LANDSCAPE ARCHITECT PRIOR TO FINAL PLANT SELECTION AND TAGGING. AS NECESSARY, THE OWNER AND LANDSCAPE ARCHITECT SHALL PROVIDE THE CONTRACTOR WITH ALL REQUIRED SUBSTITUTIONS AND/OR PREFERRED SUBSTITUTIONS BASED ON AVAILABILITY OF ALTERNATIVE VARIETY OF COMPARABLE TYPE, SIZE, QUANTITY, AND/OR COST OR AS OTHERWISE APPROVED BY THE OWNER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONFIRMING ALL FINAL PLANT MATERIAL SELECTIONS AND SOURCE PROVIDERS PRIOR TO DELIVERY SO AS TO NOT CAUSE DELAY OF ANY KIND TO THE SCHEDULED TIMELINE FOR PLANT DELIVERY AND INSTALLATION.



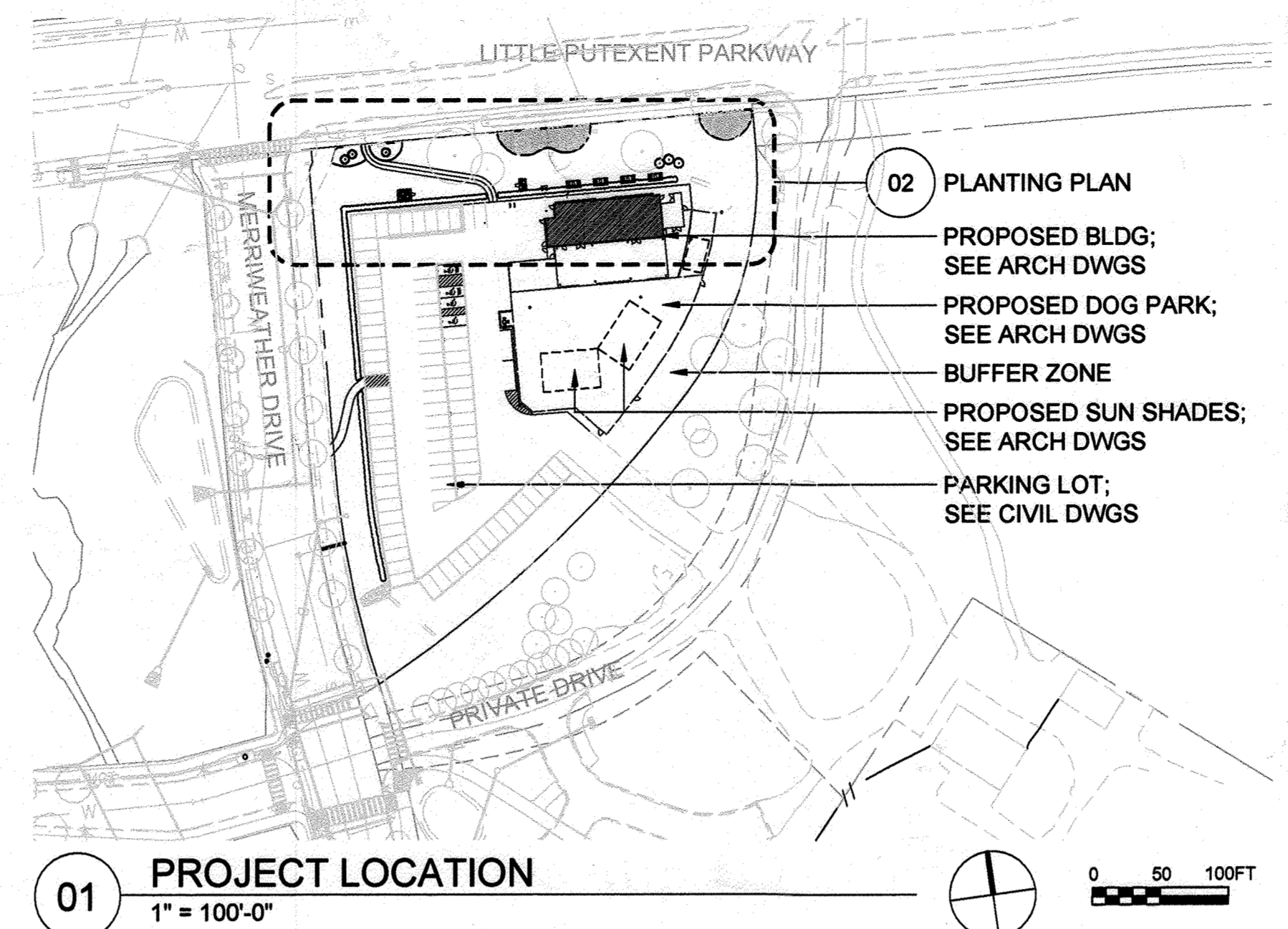
03 TYP. PERENNIAL, GRASS, & GROUND COVER PLANTING
SCALE: 1" = 1'-0"
TYPICAL PLAN



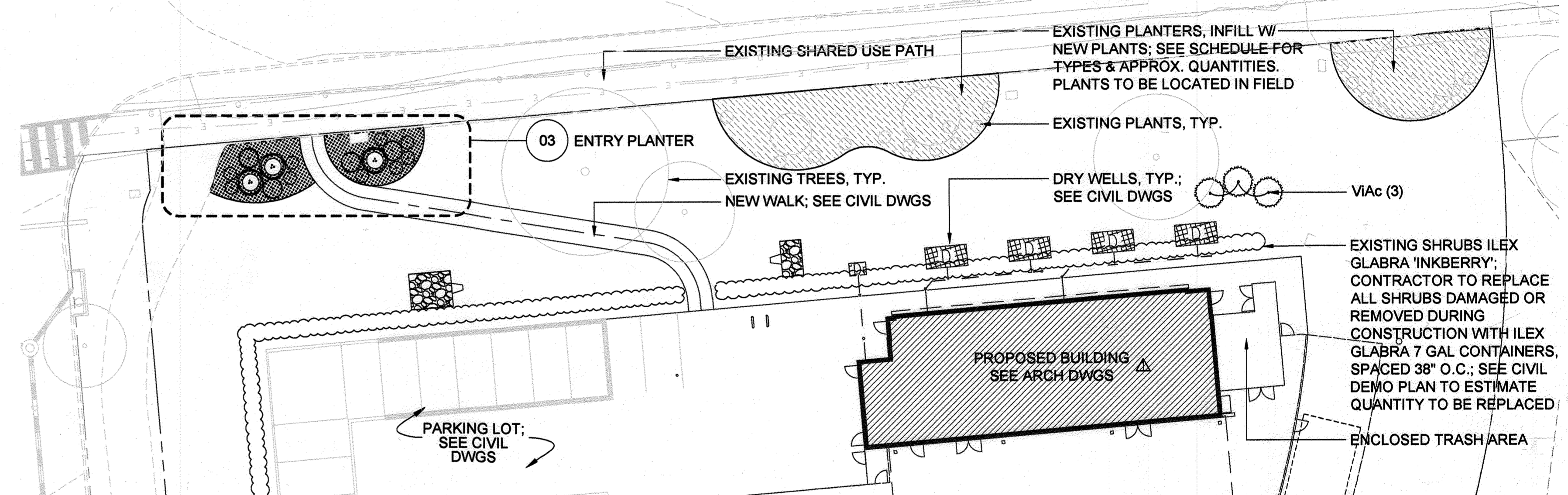
02 TYP. PERENNIAL, GRASS, & GROUND COVER PLANTING
SCALE: 1" = 1'-0"
TYPICAL SECTION



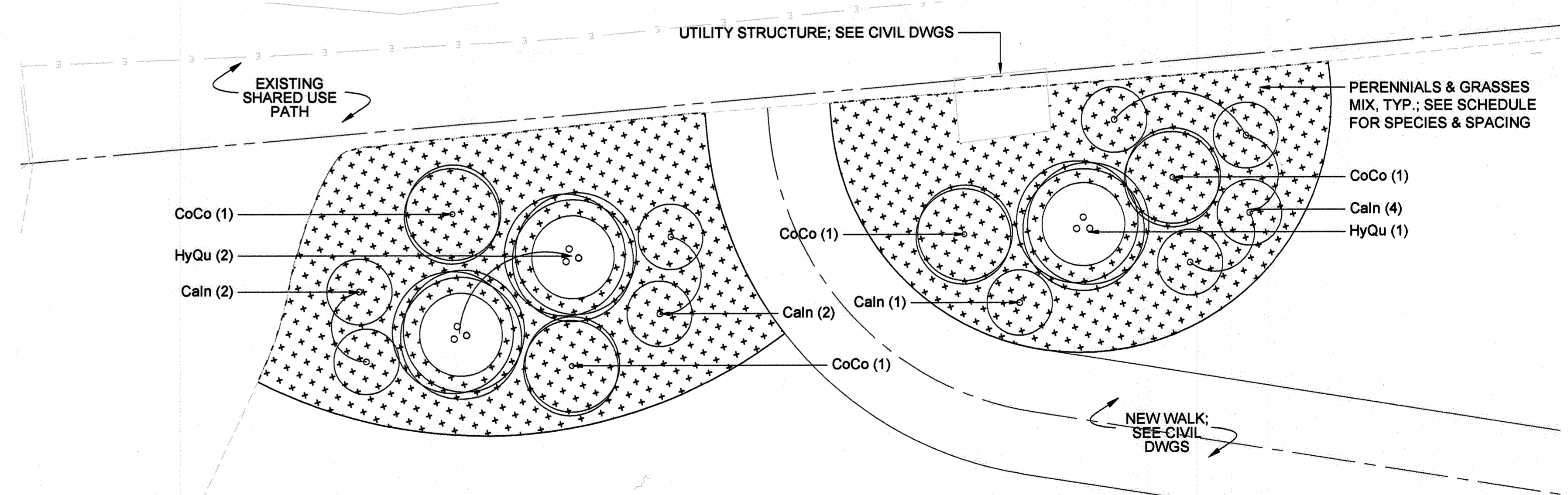
01 TYP. SHRUB PLANTING
SCALE: 1" = 1'-0"



01 PROJECT LOCATION
1" = 100'-0"



02 PLANTING PLAN
1" = 20'-0"



03 ENTRY PLANTER
1/4" = 1'-0"

BARK SOCIAL PLANTING SCHEDULE							INFILL SCHED.			
SYM	ITEM DESCRIPTION	COMMON NAME	CULTIVER	SIZE	SPACING	MIX	AREA	TOTAL QTY	AREA	TOTAL QTY
SHRUBS										
ViAc	<i>Viburnum acerifolium</i>	Maple Leaf Viburnum		5 GAL	60"			3		
HyQu	<i>Hydrangea quercifolia</i>	Oak Leaf Hydrangea	'Brenhill'	5 GAL	48"			3		
CoCo	<i>Cotinus coccinifera</i>	Smokebush	'Winecraft Gold'	5 GAL	48"			4		7
Cain	<i>Caryopteris incana</i>	Bluebeard	'Sunshine Blue II'	5 GAL	48"			9		14
PERENNIALS + GRASSES MIX										
LiSp	<i>Liatris spicata</i>	Blazing Star		PLUG	24" O.C.	15%		19		67
RuHi	<i>Rudbeckia hirta</i>	Black-eyed Susan		PLUG	24" O.C.	15%		19		67
SpHe	<i>Sporobolus heterolepis</i>	Prairie Dropseed		PLUG	24" O.C.	35%	488 SF	44		157
ScSc	<i>Schizachyrium scoparium</i>	Little Bluestem		PLUG	24" O.C.	35%		44		157

SURETY CALCULATION			
TYPE	QUANTITY	BOND RATE	BOND CALCULATION
SHRUB SURETY CALCULATION			
SHRUBS	40	\$30.00	\$1,200.00
SHRUB TOTAL			\$1,200.00
HERBACEOUS SURETY CALCULATION			
GRASSES	402	\$5.25	\$2,110.50
PERENNIALS	172	\$4.25	\$731.00
HERBACEOUS TOTAL			\$2,110.50
GRAND TOTAL			\$3,310.50

1. PERENNIALS + GRASSES MIX SHOULD BE DISTRIBUTED EVENLY BASED ON THE PERCENTAGES LISTED IN THE TABLE. PERENNIALS SHOULD BE CLUSTERED TOGETHER IN GROUPS OF 5 OR 7 PLUGS.
2. INFILL PLANTING FOR EXISTING PLANTERS TO BE FIELD LOCATED ON SITE BY LANDSCAPE ARCHITECT. INFILL PLANTING QUANTITIES BASED OFF APPROXIMATE PLANTER AREA.
3. THE BOND RATES FOR GRASSES AND PERENNIALS REFLECT NURSERY COSTS PROVIDED BY THE GENERAL CONTRACTOR FOR THE PROJECT. THE BOND RATE IS CALCULATED FROM \$25 PER FLAT, AT 35 PLUGS PER FLAT.

BUILDER'S CERTIFICATE

I/WE CERTIFY THAT THE LANDSCAPING SHOWN ON THIS PLAN WILL BE DONE ACCORDING TO THE PLAN, SECTION 16.124 OF THE HOWARD COUNTY CODE, THE LANDSCAPE MANUAL FOR NEW TOWN ALTERNATIVE COMPLIANCE, AND THE CRESCENT NEIGHBORHOOD DESIGN GUIDELINES, RECORDED AS BOOK 16305, PAGE 415 ADOPTED FOR THE SUBJECT PROPERTY. I/WE FURTHER CERTIFY THAT UPON COMPLETION, A LETTER OF LANDSCAPE INSTALLATION, ACCOMPANIED BY AN EXECUTED ONE YEAR GUARANTEE OF PLANT MATERIALS, WILL BE SUBMITTED TO THE DEPARTMENT OF PLANNING AND ZONING.

[Signature] 12/19/23
Date

APPROVED
PLANNING BOARD OF HOWARD COUNTY

Date: **JUNE 15, 2023**

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

[Signature] 11/18/24
Date

[Signature] 11/18/24
Date

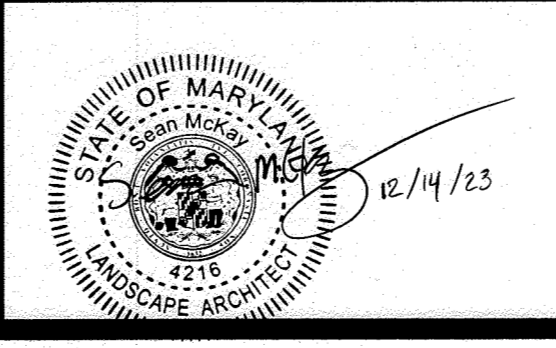
[Signature] 1-3-24
Date

port
Chicago + Philadelphia
porturbanism.com

PORT Chicago
53 W Jackson Blvd
Suite 830
Chicago, IL 60604
312.888.2864

DESIGNED BY:	DATE	REVISION
BB		
DRAWN BY:		
BB		
CHECKED BY:		
BB	2023-11	▲ BUILDING FOOTPRINT REVISED

OWNER/PREPARED FOR:
THE HOWARD RESEARCH AND DEVELOPMENT CORP
10960 GRANTCHESTER WAY, SUITE 110
COLUMBIA, MD 21044
ATTN: WILL BAUGHER



PLANTING PLAN
BARK SOCIAL
DOWNTOWN COLUMBIA CRESCENT NEIGHBORHOOD
PARCEL E
RESTAURANT
PLAT NO. 26446

SCALE: VARIES
ZONING: NT
DATE: DEC., 2023
TAX MAP - GRID: 36 - 01
SHEET: 15 OF 15

ELECTION DISTRICT No. 5
HOWARD COUNTY, MARYLAND