

SHEET INDEX table with columns SHEET NO. and DESCRIPTION. Rows 1-6 listing title sheet, existing conditions, site development plan, sediment control plan, notes & details, and landscape plan.

SITE DEVELOPMENT PLAN
MYERS PROPERTY

5865 MAIN STREET

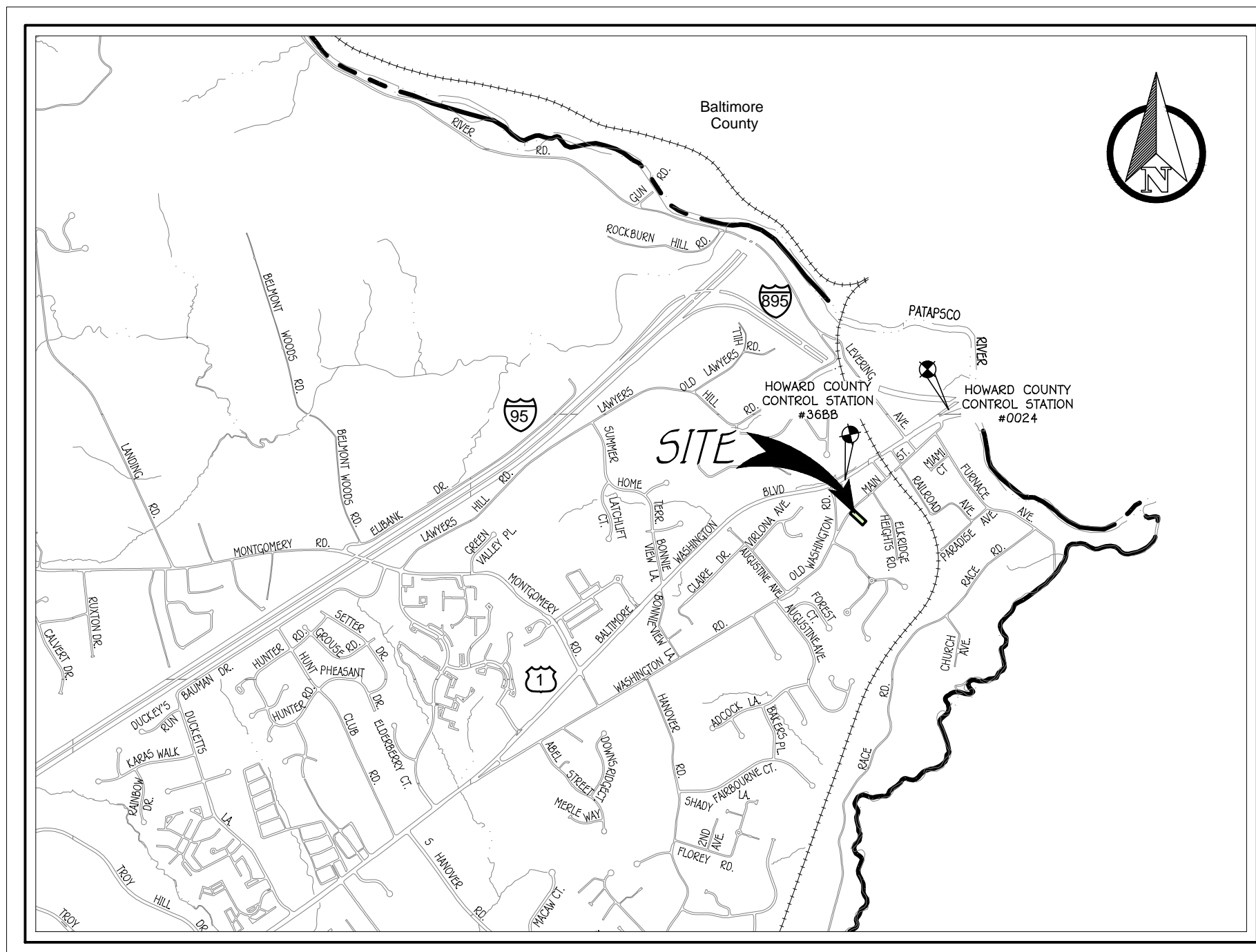
ZONING: R-12 (RESIDENTIAL: SINGLE) DISTRICT
TAX MAP No. 38 GRID No. 04 PARCEL No. 572

STORMWATER MANAGEMENT SUMMARY table with columns AREA ID, ESDv REQUIRED CU.FT., ESDv PROVIDED CU.FT., and REMARKS. Shows site total of 295 required and 439 provided.

CROSS AREA = 0.46 ACRE
LOD = 0.20 ACRES (SITE)
RCN = 70
TARGET Pe = 1.0
REV = 260 cu. ft. OF STORAGE PROVIDED
REV = 8 cu. ft. OF STORAGE REQUIRED

STORMWATER MANAGEMENT PRACTICES table with columns PARCEL #, PERMEABLE PAVING, DISCONNECTION OF ROOFTOP RUNOFF, FILTERBA INLETS, MICRO BIO-RETENTION, BIO-RETENTION, and DRYWELL. Shows 572 parcel with permeable paving and drywell.

STORMWATER MANAGEMENT INFORMATION table with columns Parcel No., Facility Name & Number, Practice Type, Public, Private, Homeowner Maintained, and Misc. Lists practices like DW 1-4 and A2-1.



HOWARD COUNTY GEODETIC SURVEY CONTROL NO. 3688
HOWARD COUNTY GEODETIC SURVEY CONTROL NO. 0024
REFER TO HOWARD CO. ADC MAP 35-F1

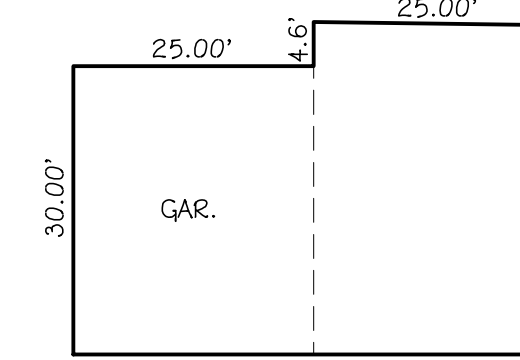
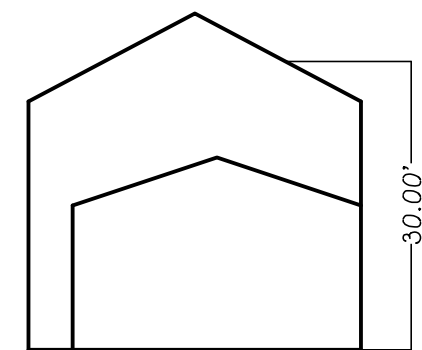
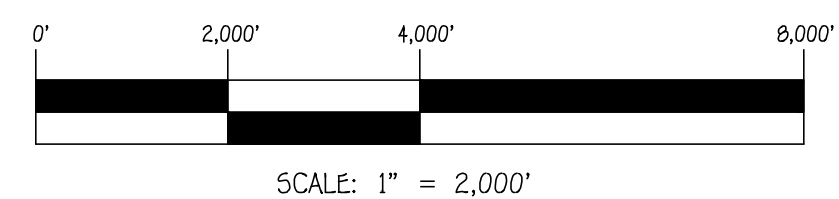
VICINITY MAP
SCALE: 1" = 2,000'

LEGEND table with columns SYMBOL and DESCRIPTION. Lists symbols for contours, easements, water, sewer, fences, soil stabilization, and trees.

SITE ANALYSIS DATA CHART

- A. TOTAL AREA OF THIS SUBMISSION = 0.46 AC.+
B. LIMIT OF DISTURBED AREA = 0.36 AC.+
C. PRESENT ZONING DESIGNATION = R-12
D. PROPOSED USE: RESIDENTIAL SINGLE FAMILY DETACHED
E. PREVIOUS HOWARD COUNTY FILES: N/A
F. TOTAL AREA OF FLOODPLAIN LOCATED ON-SITE = 0 AC
G. TOTAL AREA OF SLOPES IN EXCESS OF 25% = 0 AC+
H. TOTAL AREA OF WETLANDS (INCLUDING BUFFER) = 0 AC+
I. TOTAL AREA OF STREAM (INCLUDING BUFFER) = 0 AC+
J. TOTAL AREA OF EXISTING FOREST = 0 AC+
K. TOTAL AREA OF FOREST TO BE RETAINED = 0 AC+
L. TOTAL AREA OF LOTS / BUILDABLE PARCELS = 0.46 AC+
M. TOTAL GREEN OPEN AREA (PREVIOUS) = 0.39 AC+
N. TOTAL IMPERVIOUS AREA (EXCLUDES EXISTING IMPERVIOUS) = 0.08 AC+ (WITHIN LOD)
O. TOTAL AREA OF ERODIBLE SOILS = 0 AC+
P. TOTAL NUMBER OF PARKING SPACES REQUIRED = 2
Q. TOTAL NUMBER OF PARKING SPACES PROVIDED = 4 (2 GAR. & 2 D/W)

FIRST ELECTION DISTRICT
HOWARD COUNTY, MARYLAND



HOUSE ELEVATION
SCALE: 1" = 20'

Approval table with columns for APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING. Lists signatures and dates for Chief, Division of Land Development and Director.



PROFESSIONAL CERTIFICATION
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED UNDER MY SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 27020, EXPIRATION DATE: 01/25/24.

Paul G. Cavanaugh
6/23/2023
Date

OWNER: HS HOMEBUILDER LLC, 5865 MAIN ST., ELK RIDGE, MARYLAND 21075
DEVELOPER: MR. SURINDER SINGH BABBU HOMES LLC, 10610 WARBURTON CT, ELLICOTT CITY, MARYLAND 21042, 410-350-6333

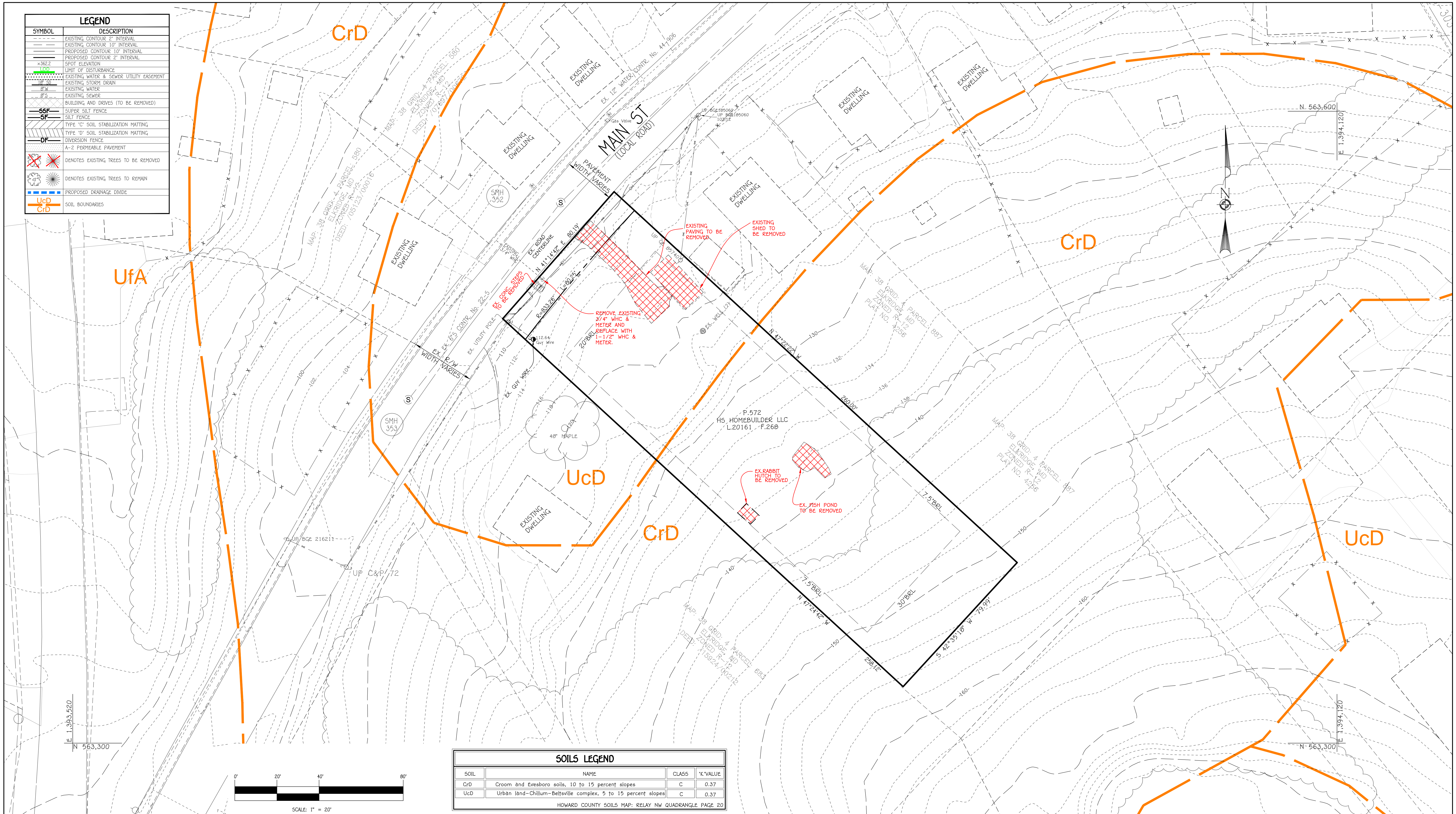
Table with columns NO., REVISION, SECTION/AREA, LOT Nos., DATE. Includes DEEDS, BLOCK NO., ZONE, TAX MAP, ELEC. DIST., and CENSUS TR.

TITLE SHEET

MYERS PROPERTY
5865 MAIN STREET

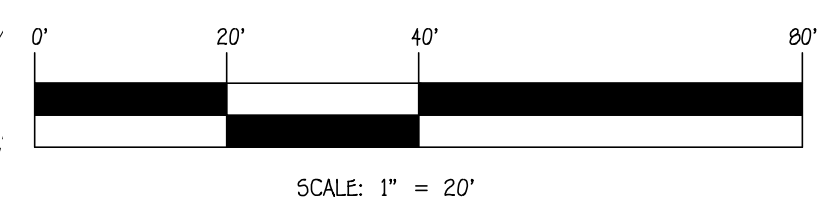
ZONING: R-12
TAX MAP 38 GRID 04,
PARCEL 572
FIRST ELECTION DISTRICT HOWARD COUNTY, MARYLAND
SCALE AS SHOWN JANUARY, 2023
SHEET 1 OF 6

LEGEND	
SYMBOL	DESCRIPTION
	EXISTING CONTOUR 2' INTERVAL
	EXISTING CONTOUR 10' INTERVAL
	PROPOSED CONTOUR 10' INTERVAL
	PROPOSED CONTOUR 2' INTERVAL
	SPOT ELEVATION
	LIMIT OF DISTURBANCE
	EXISTING WATER & SEWER UTILITY EASEMENT
	EXISTING STORM DRAIN
	EXISTING WATER
	EXISTING SEWER
	BUILDING AND DRIVES (TO BE REMOVED)
	SUPER SILT FENCE
	SILT FENCE
	TYPE 'C' SOIL STABILIZATION MATTING
	TYPE 'D' SOIL STABILIZATION MATTING
	DIVERSION FENCE
	A-2 PERMEABLE PAVEMENT
	DENOTES EXISTING TREES TO BE REMOVED
	DENOTES EXISTING TREES TO REMAIN
	PROPOSED DRAINAGE DIVIDE
	SOIL BOUNDARIES



SOILS LEGEND			
SOIL	NAME	CLASS	Kc VALUE
CrD	Croom and Evesboro soils, 10 to 15 percent slopes	C	0.37
UcD	Urban land-Chillum-Beltsville complex, 5 to 15 percent slopes	C	0.37

HOWARD COUNTY SOILS MAP: RELAY NW QUADRANGLE PAGE 20



APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

DocuSigned by: 1E876478A22849A	6/27/2023
Chief, Division of Land Development	Date
DocuSigned by: Chad Edmondson	6/26/2023
Chief, Development Engineering Division	Date
DocuSigned by: Lynda Eisenberg	6/28/2023
Director - Department of Planning and Zoning	Date



PROFESSIONAL CERTIFICATION
 I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED UNDER MY SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 27020, EXPIRATION DATE: 01/25/24.

Paul G. Cavanaugh 6/23/2023
 PAUL G. CAVANAUGH Date

OWNER HS HOMEBUILDER LLC 5865 MAIN ST. ELK RIDGE, MARYLAND 21075	DEVELOPER MR. SURINDER SINGH BABBU HOMES LLC 10610 WARBURTON CT ELLICOTT CITY, MARYLAND 21042 410-350-6333
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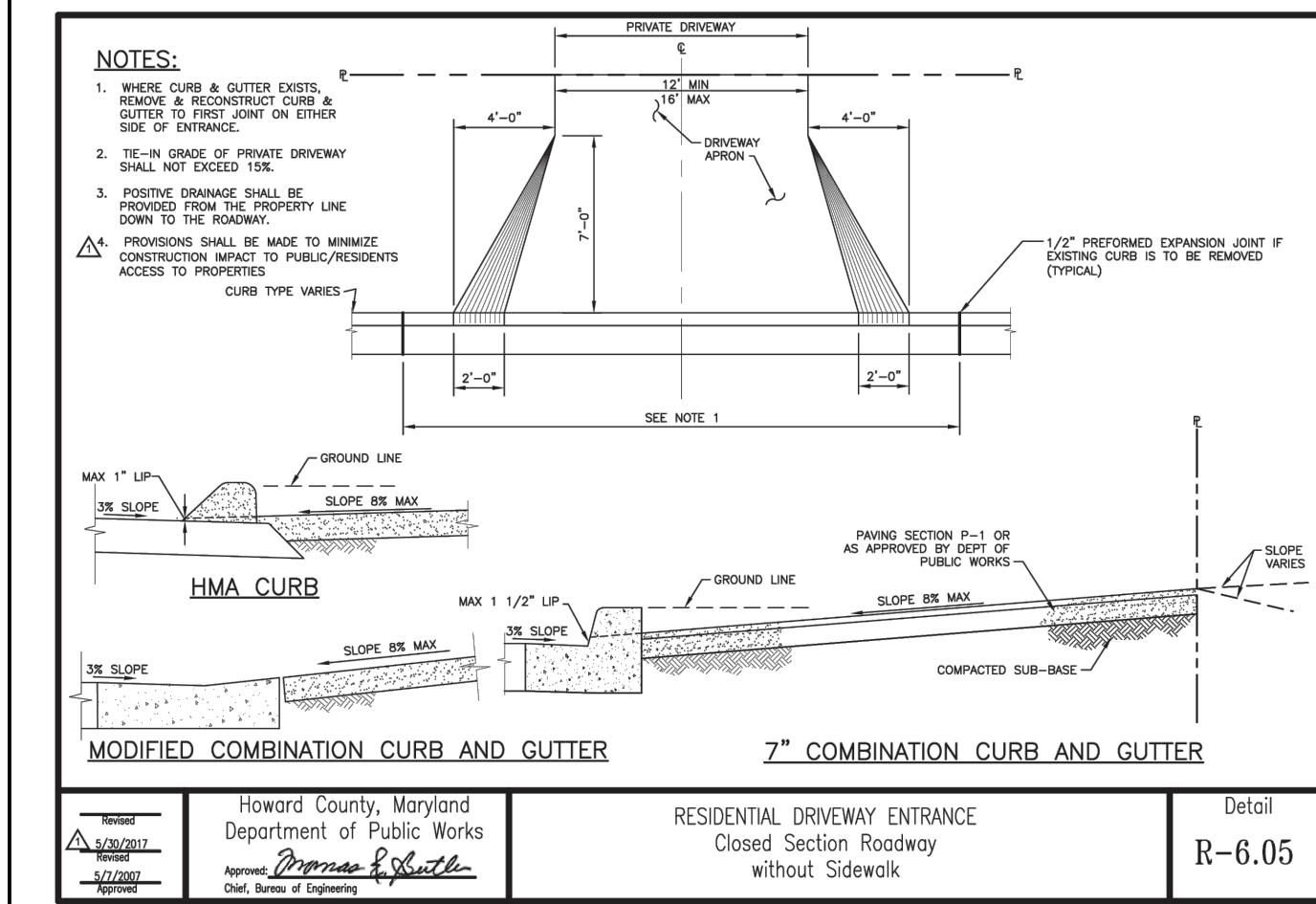
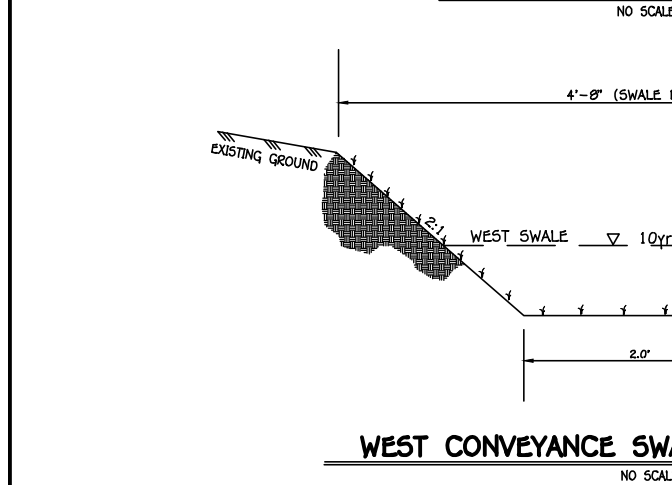
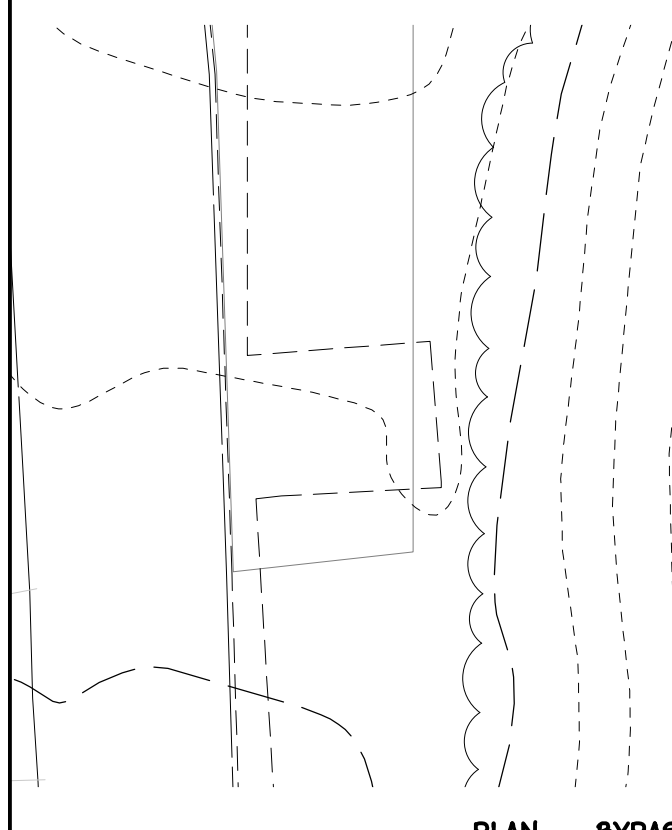
NO.	REVISION	DATE			
SUBDIVISION	SECTION/AREA	LOT Nos.			
N/A	N/A	N/A			
DEEDS	BLOCK NO.	ZONE	TAX MAP	ELEC. DIST.	CENSUS TR.
6553/58	04	R-12	3B	1	X

EXISTING CONDITIONS AND DEMO PLAN

MYERS PROPERTY
5865 MAIN STREET

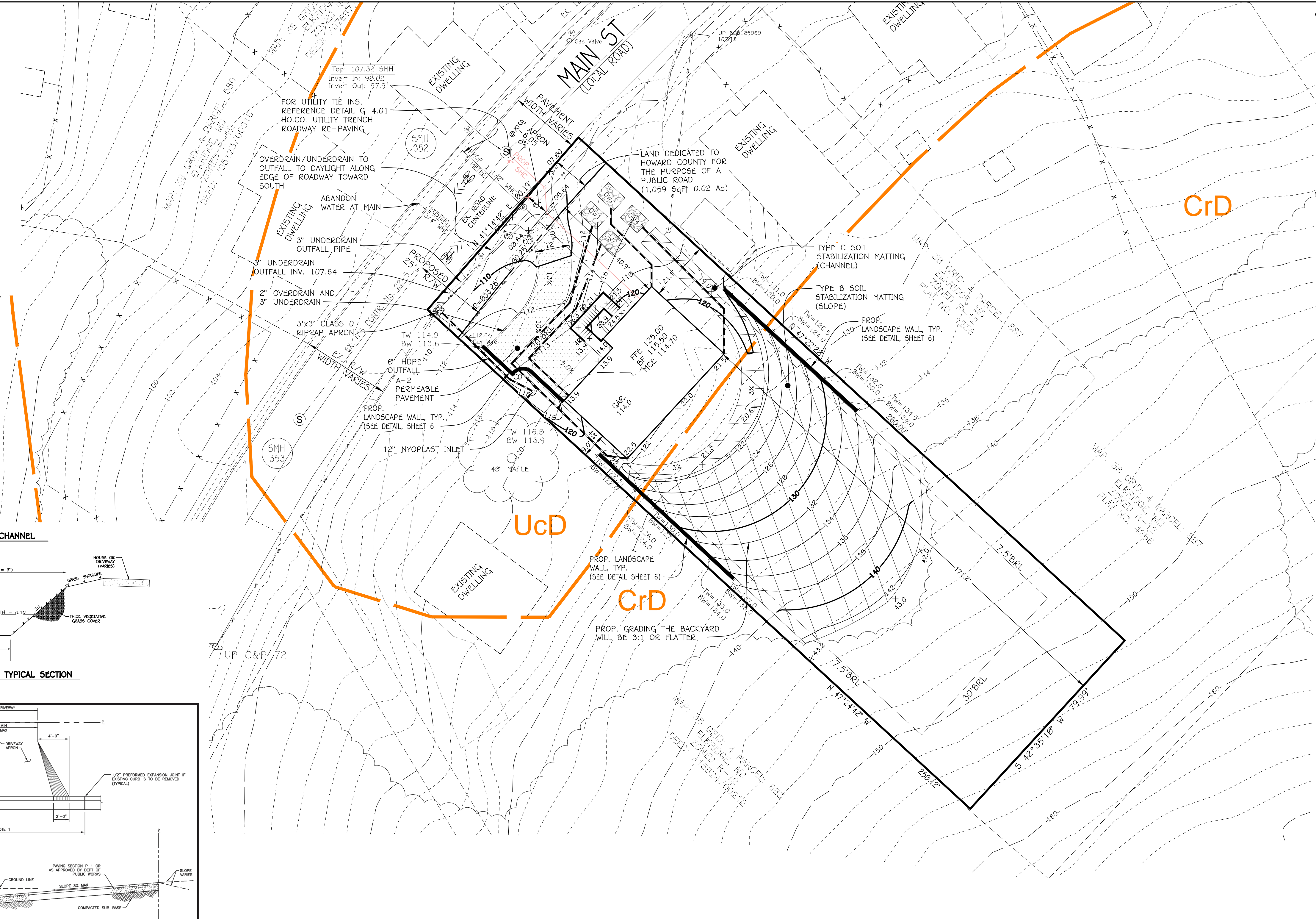
ZONING: R-12
 TAX MAP 3B GRID 04,
 PARCEL 572
 FIRST ELECTION DISTRICT HOWARD COUNTY, MARYLAND
 SCALE AS SHOWN JANUARY, 2023
 SHEET 2 OF 6

LEGEND	
SYMBOL	DESCRIPTION
	EXISTING CONTOUR 2' INTERVAL
	EXISTING CONTOUR 10' INTERVAL
	PROPOSED CONTOUR 10' INTERVAL
	PROPOSED CONTOUR 2' INTERVAL
	SPOT ELEVATION
	LIMIT OF DISTURBANCE
	EXISTING WATER & SEWER UTILITY EASEMENT
	EXISTING STORM DRAIN
	EXISTING SEWER
	BUILDING AND DRIVES (TO BE REMOVED)
	SUPER SILT FENCE
	SILT FENCE
	TYPE 'C' SOIL STABILIZATION MATTING
	TYPE 'D' SOIL STABILIZATION MATTING
	DEFLECTION FENCE
	A-2 PERMEABLE PAVEMENT
	DENOTES EXISTING TREES TO BE REMOVED
	DENOTES EXISTING TREES TO REMAIN
	PROPOSED DRAINAGE DIVIDE
	SOIL BOUNDARIES



STORMWATER MANAGEMENT NOTES

- STORMWATER MANAGEMENT IS PROVIDED IN ACCORDANCE WITH THE 2000 MARYLAND STORMWATER DESIGN MANUAL.
- MAXIMUM CONTRIBUTING ROOF TOP AREA TO EACH DOWNSPOUT SHALL BE LESS THAN 1000 SQ. FT.
- DRYWELLS SHALL BE PROVIDED AT LOCATIONS WHERE THE LENGTH OF DISCONNECTION IS LESS THAN 75' AT 5% SLOPE AND CONSTRUCTION OF THE DRYWELL SHALL BE IN ACCORDANCE WITH THE FIGURE 5-2 OF THE MANUAL AND THE DETAIL SHOWN ON THIS SHEET.
- FINAL GRADING IS SHOWN ON THIS ENVIRONMENTAL CONCEPT PLAN.



SOILS LEGEND			
SOIL	NAME	CLASS	K _v VALUE
CrD	Croom and Evesboro soils, 10 to 15 percent slopes	C	0.37
UcD	Urban land-Chillum-Beltsville complex, 5 to 15 percent slopes	C	0.37

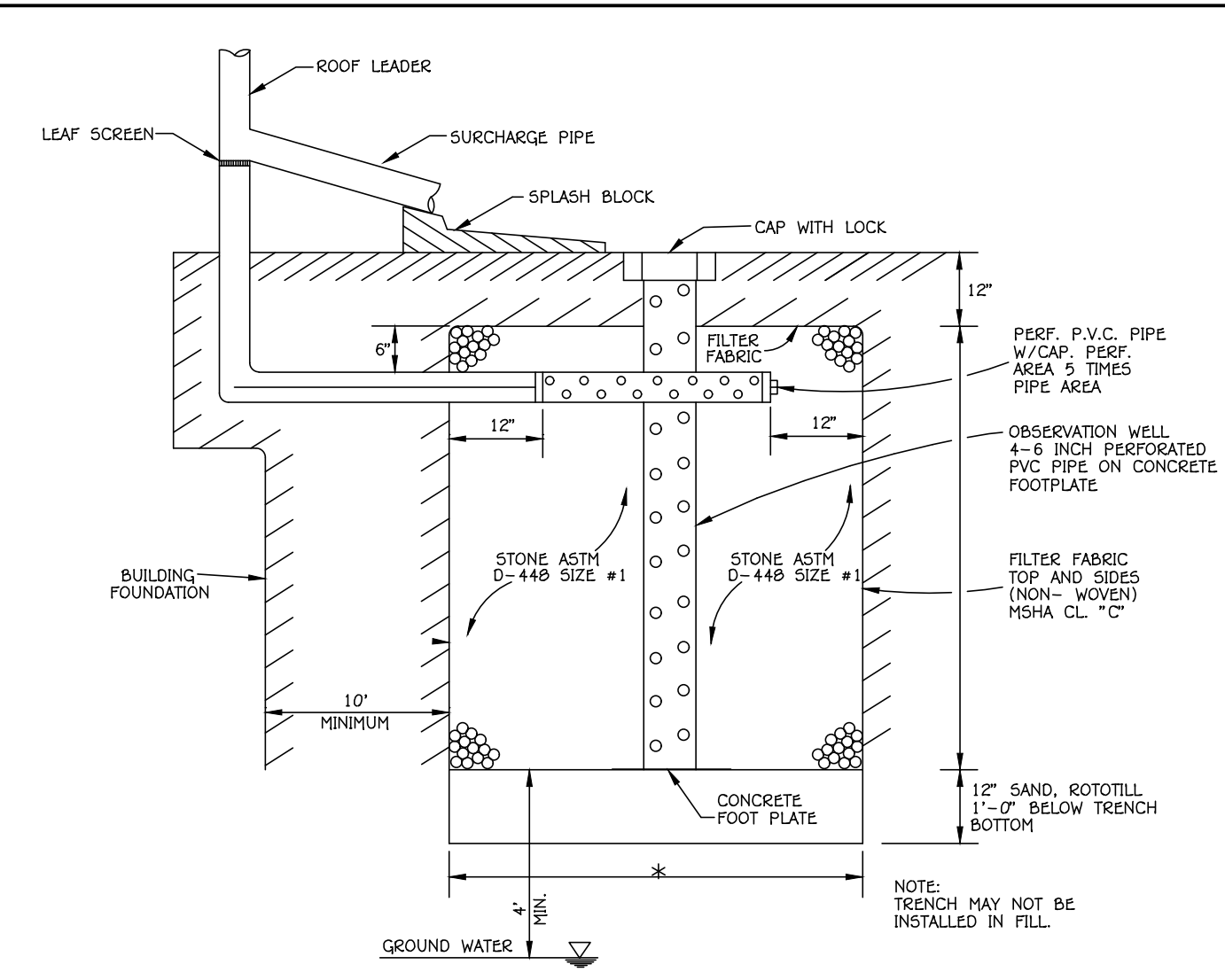
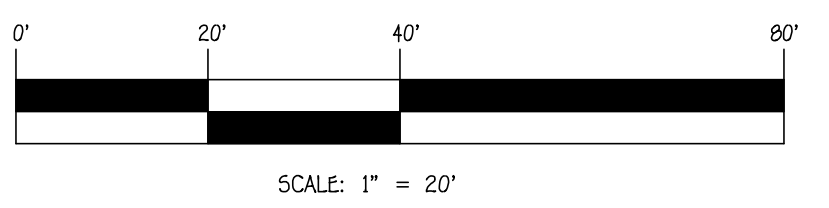
HOWARD COUNTY SOILS MAP: RELAY NW QUADRANGLE PAGE 20

OPERATION AND MAINTENANCE SCHEDULE FOR DRYWELLS (M-5)

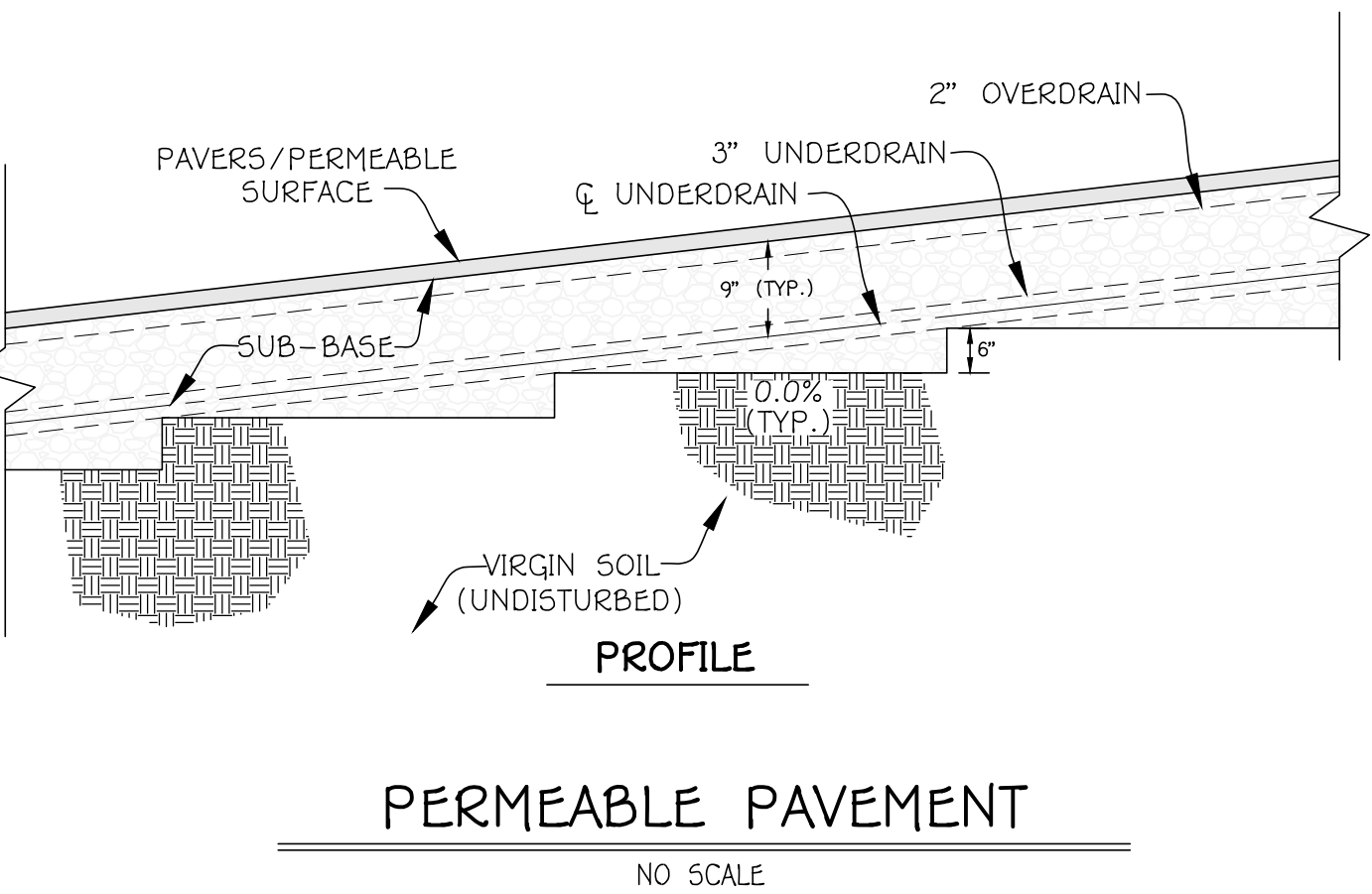
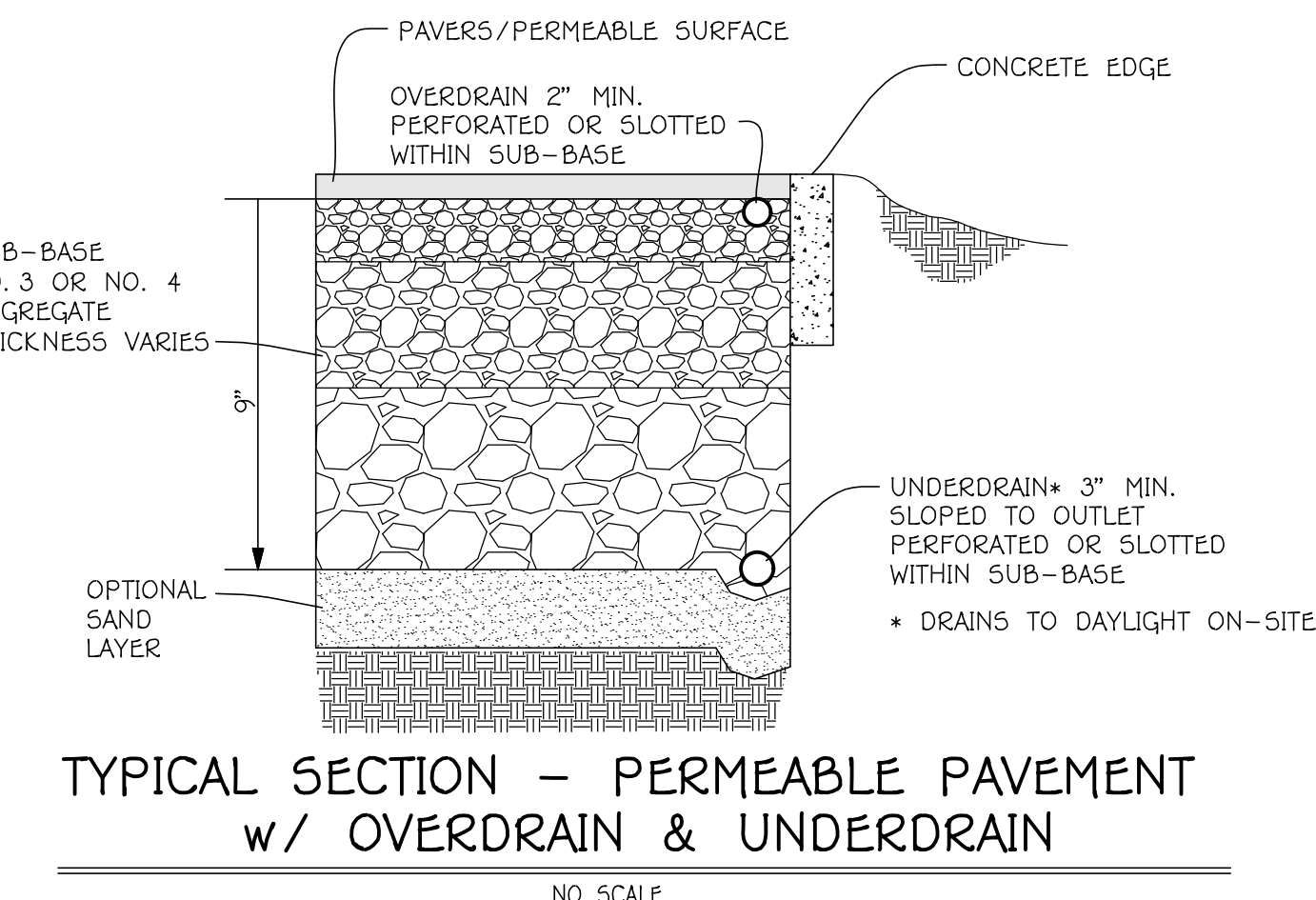
- The Owner Shall Inspect The Monitoring Wells And Structures On A Quarterly Basis After Every Heavy Storm Event.
- The Owner Shall Record The Water Levels And Sediment Build Up In The Monitoring Wells Over A Period Of Several Days To Insure Trench Drainage.
- The Owner Shall Maintain A Log Book To Determine The Rate At Which The Facility Drains.
- When The Facility Becomes Clogged So That It Does Not Drain Down Within A Seventy Two (72) Hour Time Period, Corrective Action Shall Be Taken.
- The Maintenance Log Book Shall Be Available To Howard County For Inspection To Insure Compliance With Operation And Maintenance Criteria.
- Once The Performance Characteristics Of The Infiltration Facility Have Been Verified, The Monitoring Schedule Can Be Reduced To And Annual Basis Unless The Performance Data Indicates That A More Frequent Schedule Is Required.

OPERATION AND MAINTENANCE SCHEDULE FOR PRIVATELY OWNED AND MAINTAINED PERMEABLE PAVEMENT (A-2)

- The owner shall periodically sweep (or vacuum porous concrete pavement) the pavement surfaces to reduce sediment accumulation and insure continued surface porosity. Sweeping should be performed at least twice annually with a commercial cleaning unit. Washing or compressed air units should not be used to perform surface cleaning.
- The owner shall periodically clean drainage pipes, inlets, stone edge drains and other structures within or draining to the subbase.
- The owner shall use deicers in moderation. Deicers should be non-toxic and be applied either as calcium magnesium acetate or its pretreated salt.
- Once the owner shall ensure snow plowing is performed carefully with blades set one inch above the surface. Plowed snow piles and snowmelt should not be directed to permeable pavement.



DRY WELL CHART								
LOT NO.	AREA OF ROOF PER DRYWELL	VOLUME REQUIRED	VOLUME PROVIDED	AREA OF TREATMENT	L	W	D	REMARKS
P. 572	500 SQ.FT.	14 CF	67 CF	100%	8'	6'	3.5'	DW 1
P. 572	500 SQ.FT.	14 CF	67 CF	100%	8'	6'	3.5'	DW 2
P. 572	500 SQ.FT.	14 CF	67 CF	100%	8'	6'	3.5'	DW 3
P. 572	500 SQ.FT.	14 CF	67 CF	100%	8'	6'	3.5'	DW 4



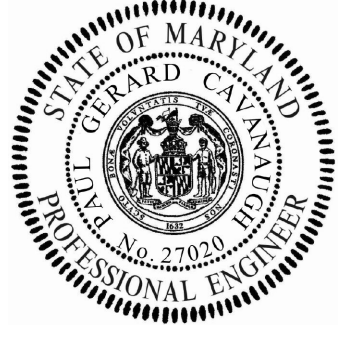
FISHER, COLLINS & CARTER, INC.
CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
100 NATIONAL SQUARE, OFFICE PARK - 10072 BALTIMORE NATIONAL PARK
ELICOTT CITY, MARYLAND 21042
(410) 461-2855

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

DocuSigned by:
181875762028494
Chief, Division of Land Development
Date: 6/27/2023

DocuSigned by:
CHAD Edmondson
7083751614169
Chief, Development Engineering Division
Date: 6/26/2023

DocuSigned by:
Lynda Eisenberg
628885889426
Director - Department of Planning and Zoning
Date: 6/28/2023



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Paul G. Cavanaugh 6/23/2023
PAUL G. CAVANAUGH Date

OWNER
HS HOMEBUILDER LLC
5865 MAIN ST.
ELKRIDGE, MARYLAND 21075

DEVELOPER
MR. SURINDER SINGH
BABBU HOMES LLC
10610 WASHINGTON CT
ELICOTT CITY, MARYLAND 21042
410-350-6333

NO.		REVISION		DATE

SUBDIVISION	SECTION/AREA	LOT Nos.
N/A	N/A	N/A

DEEDS	BLOCK NO.	ZONE	TAX MAP	ELEC. DIST.	CENSUS TR.
6553/58	04	R-12	3B	1	X

SITE DEVELOPMENT PLAN

MYERS PROPERTY
5865 MAIN STREET
ZONING: R-12
TAX MAP 3B GRID 04,
PARCEL 572
FIRST ELECTION DISTRICT HOWARD COUNTY, MARYLAND
SCALE AS SHOWN JANUARY, 2023
SHEET 3 OF 6

SOIL PREPARATION, TOPSOILING AND SOIL AMENDMENTS (B-4-2)

- A. Soil Preparation
1. Temporary Stabilization
a. Seeded preparation consists of loosening soil to a depth of 3 to 5 inches by means of suitable agricultural or construction equipment...
b. Apply fertilizer and lime as prescribed on the plans.
2. Permanent Stabilization
a. A soil test is required for every earth disturbance of 5 acres or more.
3. Anchoring
a. Perform mulch anchoring immediately following application of mulch to minimize loss by wind or water.

- B. Sod: To provide quick cover on disturbed areas (2:1 grade or flatter).
a. Class of turfgrass sod must be Maryland State Certified.
b. Sod must be machine cut at a uniform soil thickness of 3/4 inch, plus or minus 1/8 inch.
2. Sod Installation
a. During periods of excessively high temperature or in areas having dry subsoil, lightly irrigate the subsoil immediately prior to laying the sod.
3. Sod Maintenance
a. In the absence of adequate rainfall, water daily during the first week or as often and sufficiently as necessary to maintain sod to a depth of 4 inches.

TEMPORARY SEEDING NOTES (B-4-4)

- Definition
To stabilize disturbed soils with vegetation for up to 6 months.
Purpose
To use fast growing vegetation that provides cover on disturbed soils.
Conditions Where Practice Applies
Exposed soils where ground cover is needed for a period of 6 months or less.

B-4-B STANDARDS AND SPECIFICATIONS FOR STOCKPILE AREAS

- Definition
A mound or pile of soil protected by appropriate vegetative erosion and sediment control measures.
Purpose
To provide a designated location for the temporary storage of soil that controls the potential for erosion, sedimentation, and changes to drainage patterns.
Construction Specifications
1. The stockpile location and all related sediment control practices must be clearly indicated on the erosion and sediment control plan.
2. The footprint of the stockpile must be sized to accommodate the anticipated volume of material and based on a side slope ratio no steeper than 2:1.

Table with 3 columns: Species, Application Rate (lb/ac), Seeding Dates, Seeding Depths, Fertilizer Rate (lb/ac), Lime Rate (tons/ac or 1000 sf).

PERMANENT SEEDING NOTES (B-4-5)

- A. Seed Mixtures
1. General Use
a. Select one or more of the species or mixtures listed in Table B.1 for the appropriate Plant Hardness Zone...
2. Turfgrass Mixtures
a. Areas where turfgrass may be desired include lawns, parks, playgrounds, and commercial sites...
3. Kentucky Bluegrass/Perennial Ryegrass
a. Kentucky Bluegrass/Perennial Ryegrass: Full Sun Mixture: For use in all sun areas where rapid establishment is necessary...

HOWARD SOIL CONSERVATION DISTRICT (HSCD) STANDARD SEDIMENT CONTROL NOTES

- 1. A pre-construction meeting must occur with the Howard County Department of Public Works...
2. Erosion and sediment control practices must be maintained when applying topsoil.
3. Following initial soil disturbance or re-disturbance, permanent or temporary stabilization is required within three (3) calendar days...
4. All disturbed areas must be stabilized within the time period specified above in accordance with the 2011 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL...

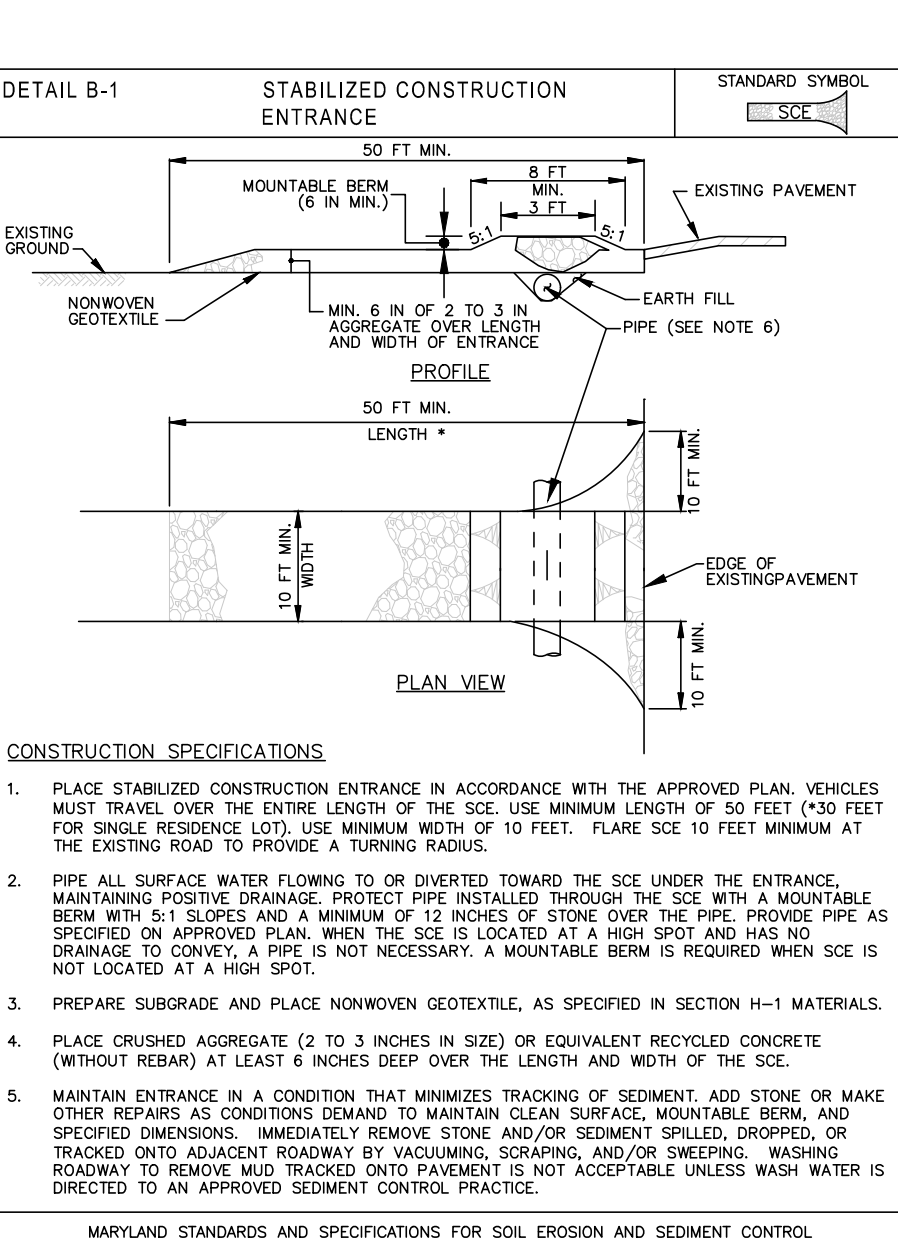


Table: CONSTRUCTION SPECIFICATIONS for Detail B-1. 1. PLACE STABILIZED CONSTRUCTION ENTRANCE IN ACCORDANCE WITH THE APPROVED PLAN. VEHICLES MUST TRAVEL OVER THE ENTIRE LENGTH OF THE SCE. USE MINIMUM LENGTH OF 50 FEET. FLARE SCE TO FEET MINIMUM AT THE EXISTING ROAD TO PROTECT THE ENTRANCE.

Table: MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL. U.S. DEPARTMENT OF AGRICULTURE NATURAL RESOURCES CONSERVATION SERVICE 2011

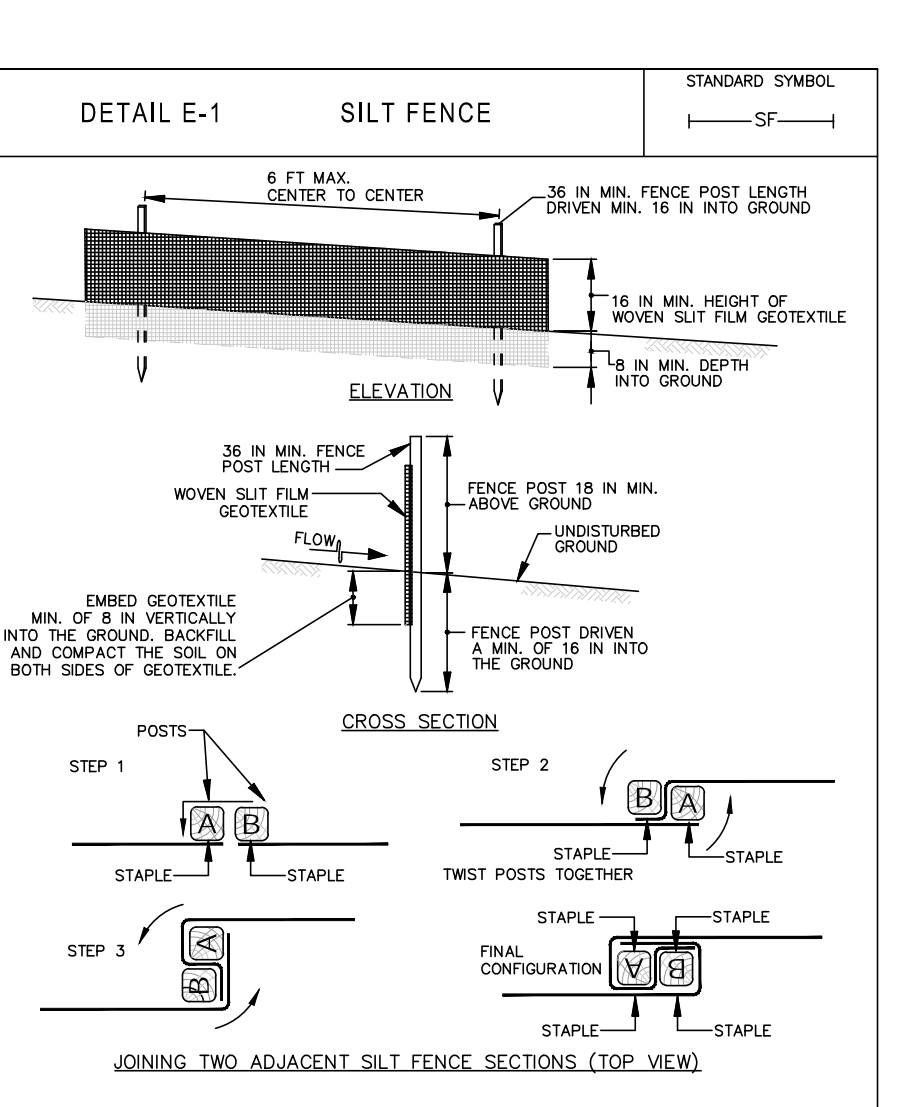


Table: CONSTRUCTION SPECIFICATIONS for Detail E-1. 1. USE WOVEN SILT FENCE POSTS 1 1/2 X 1 1/2 X 3/8 INCH (MINIMUM) SQUARE CUT OF SOUND QUALITY HARDWOOD...

Table: MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL. U.S. DEPARTMENT OF AGRICULTURE NATURAL RESOURCES CONSERVATION SERVICE 2011

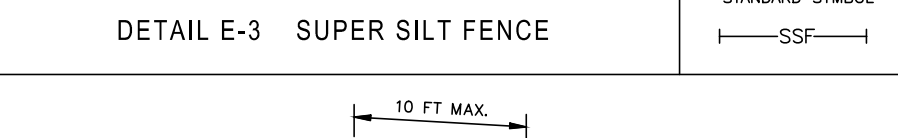


Table: CONSTRUCTION SPECIFICATIONS for Detail E-3. 1. INSTALL 2 1/2 INCH DIAMETER GALVANIZED STEEL POSTS OF 0.095 INCH WALL THICKNESS AND SIX FOOT LENGTH NO FURTHER THAN 10 FEET APART. DRIVE THE POSTS OR INTO CONCRETE...

Table: MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL. U.S. DEPARTMENT OF AGRICULTURE NATURAL RESOURCES CONSERVATION SERVICE 2011



Table: CONSTRUCTION SPECIFICATIONS for Detail C-9. 1. USE 4 INCH HIGH 4 GAUGE OR THICKER CHAIN LINK FENCING (25 INCH MAXIMUM OPENING) INSTALLED TO THE GROUND.

Table: MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL. U.S. DEPARTMENT OF AGRICULTURE NATURAL RESOURCES CONSERVATION SERVICE 2011

- B. Topsoiling
1. Topsoil is placed over prepared subsoil prior to establishment of permanent vegetation.
2. Topsoil salvaged from an existing site may be used provided it meets the standards as set forth in these specifications.
3. Topsoiling is limited to areas having 2:1 or flatter slopes where:
a. The texture of the exposed subsoil/parent material is not adequate to produce vegetative growth.
4. Areas having slopes steeper than 2:1 require special consideration and design.
5. Topsoil Specifications: Soil to be used as topsoil must meet the following criteria:
a. Topsoil must be a loam, sandy loam, clay loam, silty loam, sandy clay loam, or loamy sand.
6. Topsoil Application
a. Erosion and sediment control practices must be maintained when applying topsoil.

B-4-3 STANDARDS AND SPECIFICATIONS FOR SEEDING AND MULCHING

- Definition
The application of seed and mulch to establish vegetative cover.
Purpose
To protect disturbed soils from erosion during and at the end of construction.
Conditions Where Practice Applies
To the surface of all perimeter controls, slopes, and any disturbed area not under active grading.
Criteria
A. Seeding
1. Specifications
a. All seed must meet the requirement of the Maryland State Seed Law.
2. Application
a. Dry Seeding: This includes use of conventional drop or broadcast spreaders.

Table: Permanent Seeding Summary. Columns: Hardness Zone, Seed Mixture (from Table B.3), Seeding Dates, Seeding Depths, Fertilizer Rate, Lime Rate.

Table: Hardness Zone. Columns: No., Species, Application Rate (lb/ac), Seeding Dates, Seeding Depths, N, P2O5, K2O.

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Signature: Paul G. Cavanaugh, Date: 6/23/2023

BUILDER/DEVELOPER'S CERTIFICATE

I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN, FOR SEDIMENT AND EROSION CONTROL AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DESIGNATED SEMINAR... Signature: Swinder Singh, Date: 6/23/2023

SEQUENCE OF CONSTRUCTION

- 1. OBTAIN A GRADING PERMIT AND HOLD PRE-CONSTRUCTION MEETING WITH COUNTY INSPECTOR (14 DAYS)
2. NOTIFY 'MESS UTILITY' AT LEAST 48 HOURS BEFORE BEGINNING ANY WORK AT 1-800-297-7777. NOTIFY THE HOWARD COUNTY OFFICE OF CONSTRUCTION/ INSPECTION AT 410-313-1330 AT LEAST 24 HOURS BEFORE STARTING WORK. (7 DAYS)
3. CLEAR AND GRUB AS NECESSARY FOR INSTALLATION OF PERIMETER CONTROLS. (2 DAYS)
4. INSTALL THE STABILIZED CONSTRUCTION ENTRANCE, SUPER SILT FENCE, DIVERSION FENCE & CLEAN WATER DIVERSION. (7 DAYS)
5. WITH PERMISSION FROM THE HOWARD COUNTY SEDIMENT CONTROL INSPECTOR, BEGIN ROUGH GRADE DRIVEWAY, ROUGH GRADE AROUND HOUSE SITE AND INSTALL TEMPORARY SEEDING, IF REQUIRED. (7 DAYS)
6. WITH PERMISSION FROM THE HOWARD COUNTY SEDIMENT CONTROL INSPECTOR, BEGIN SOFT GRADE DRIVEWAY, ROUGH GRADE AROUND HOUSE SITE AND INSTALL TEMPORARY SEEDING, IF REQUIRED. (7 DAYS)
7. WITH PERMISSION FROM THE HOWARD COUNTY SEDIMENT CONTROL INSPECTOR, BEGIN SOFT GRADE DRIVEWAY, ROUGH GRADE AROUND HOUSE SITE AND INSTALL TEMPORARY SEEDING, IF REQUIRED. (7 DAYS)
8. ALL FINAL GRADES AND STABILIZATION SHOULD BE COMPLETED BEFORE ANY REMOVAL OF CONTROLS WHEN ALL CONTRIBUTING AREAS TO THE SEDIMENT CONTROL DEVICES HAVE BEEN STABILIZED AND WITH THE PERMISSION OF THE SEDIMENT CONTROL INSPECTOR, THE SEDIMENT CONTROL DEVICES AND DIVERSION FENCING, MAY BE REMOVED. (3 DAYS)

DESIGN CERTIFICATION:

"I hereby certify that this plan has been designed in accordance with current Maryland erosion and sediment control laws, regulations, and standards, that it represents a prudent and workable plan based on my personal knowledge of the site, and that it was prepared in accordance with the requirements of the Howard Soil Conservation District."

Signature: Paul G. Cavanaugh, Date: 6/23/2023, Printed Name: Paul G. Cavanaugh, MD Registration No. 27020, P.E., R.L.S., or R.L.A. (circle one)

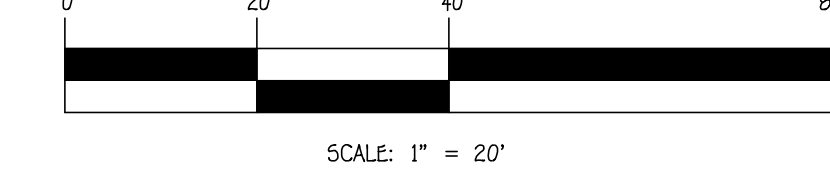
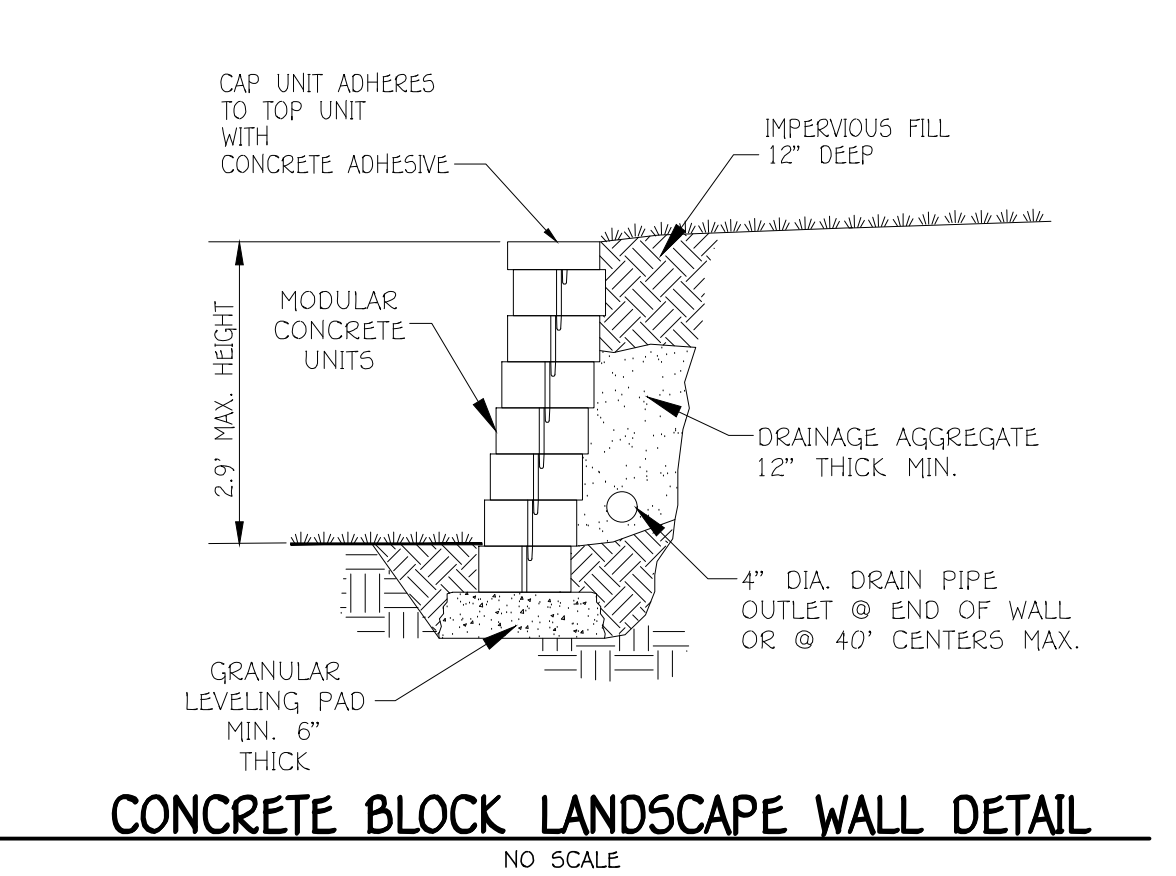
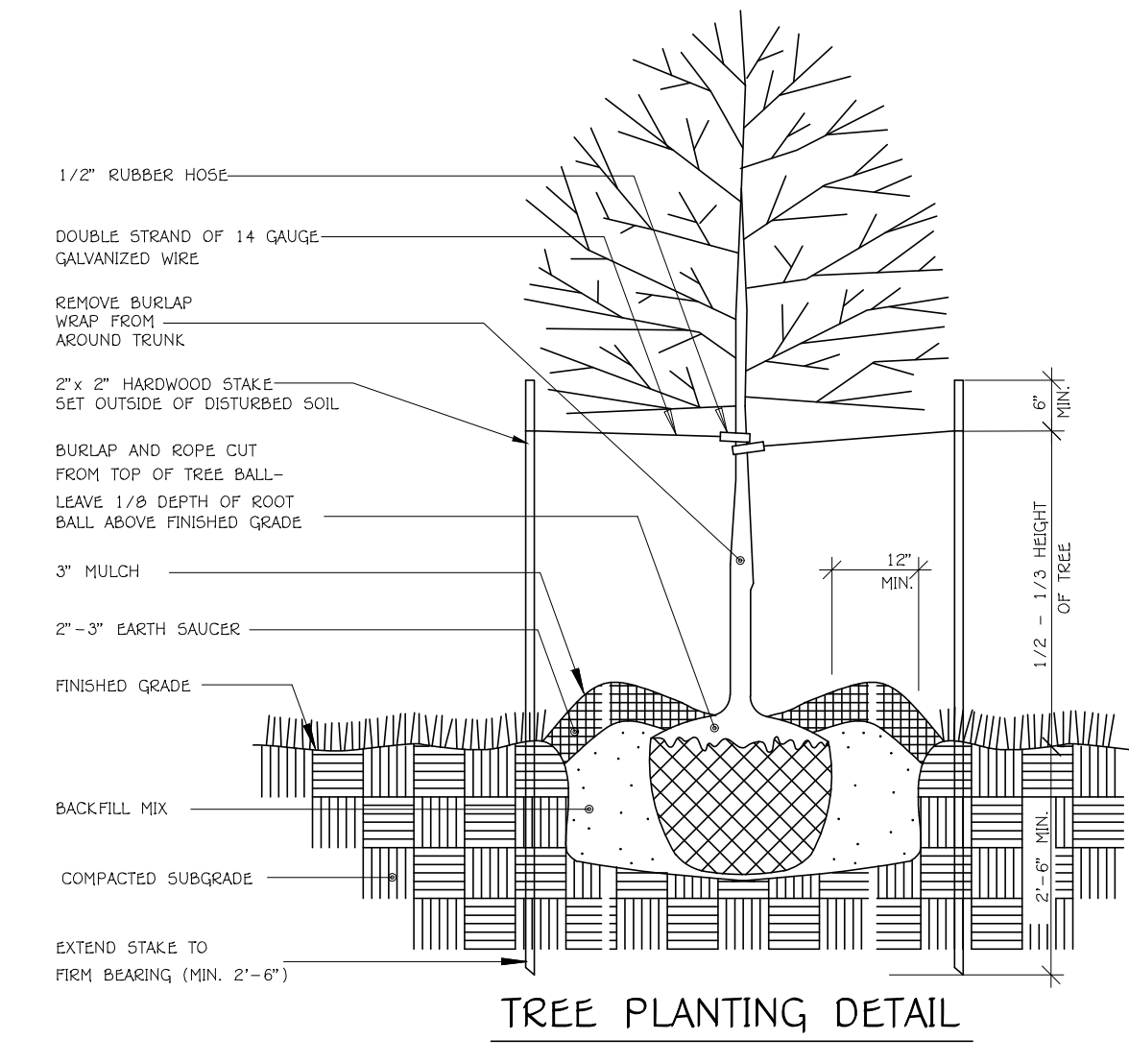
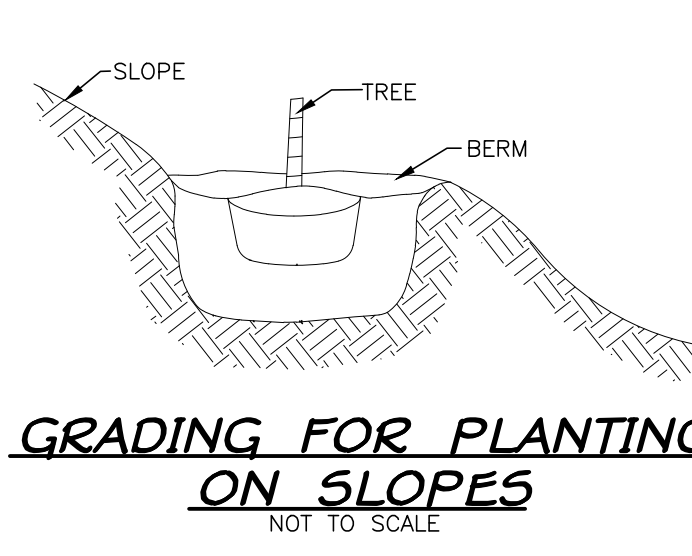
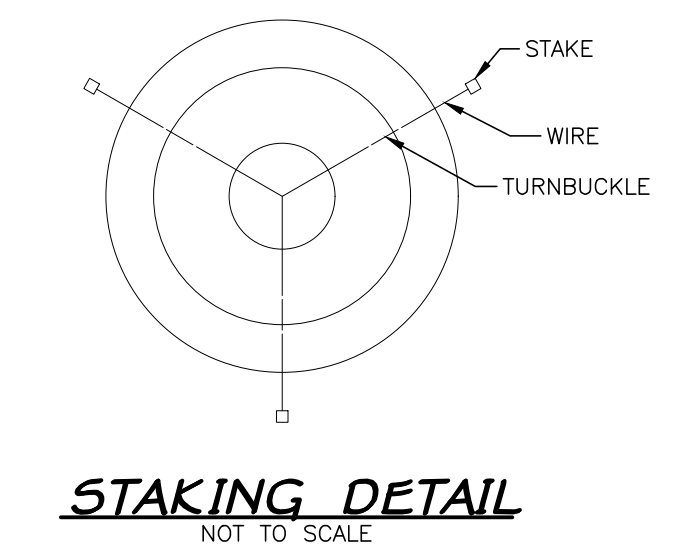
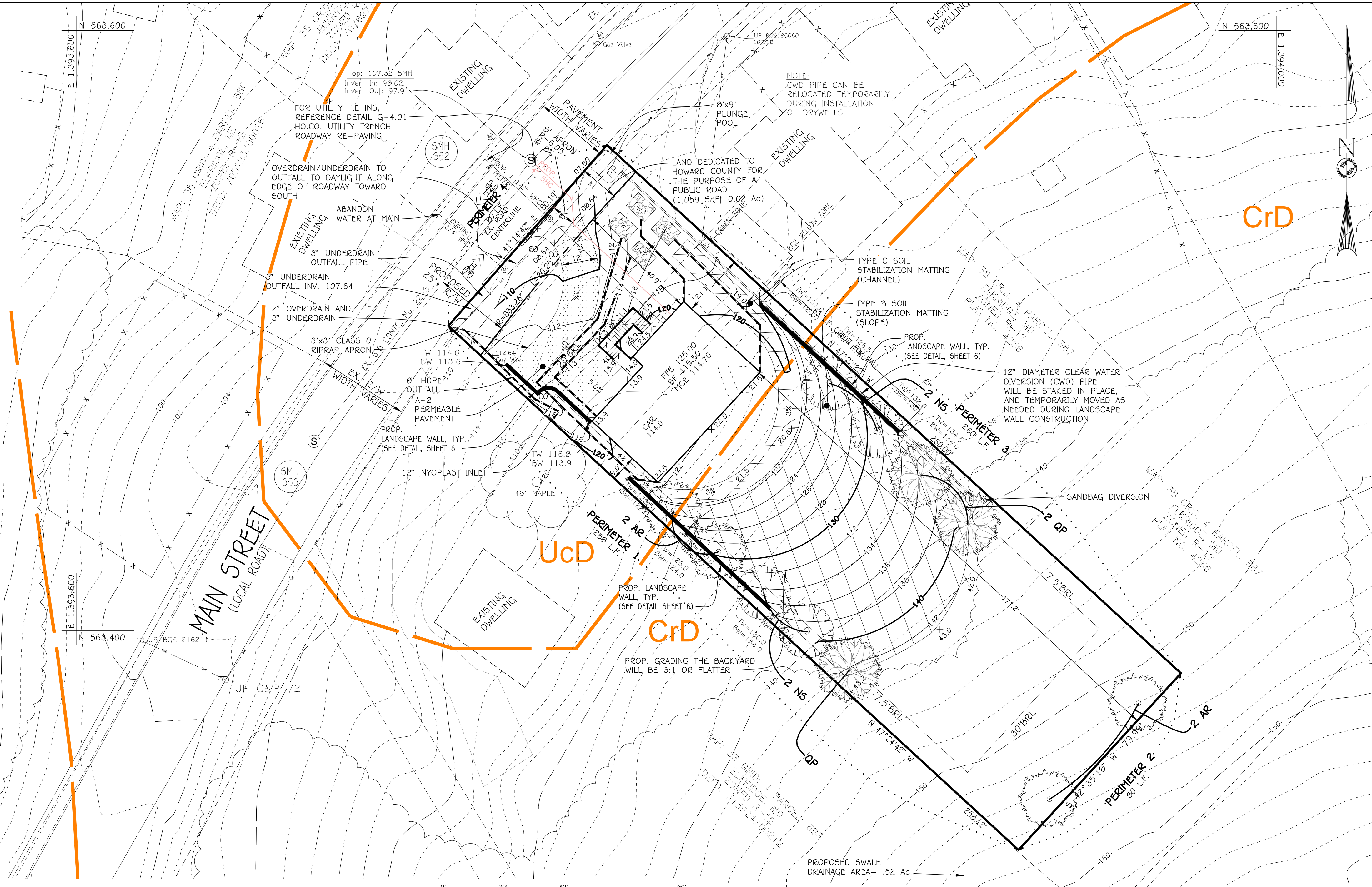
SEDIMENT & EROSION CONTROL NOTES AND DETAILS

MYERS PROPERTY 5865 MAIN STREET. ZONING: R-12, TAX MAP 38 GRID 04, PARCEL 572, FIRST ELECTION DISTRICT HOWARD COUNTY, MARYLAND, SCALE AS SHOWN, JANUARY, 2023, SHEET 5 OF 6.

Table with columns: NO., SUBDIVISION, REVISION, SECTION/AREA, LOT Nos., DATE.

Table with columns: DEEDS, BLOCK NO., ZONE, TAX MAP, ELEC. DIST., CENSUS TR.

LEGEND	
SYMBOL	DESCRIPTION
---	EXISTING CONTOUR 2' INTERVAL
---	EXISTING CONTOUR 10' INTERVAL
---	PROPOSED CONTOUR 2' INTERVAL
---	PROPOSED CONTOUR 10' INTERVAL
---	SPOT ELEVATION
---	LIMIT OF DISTURBANCE
---	EXISTING WATER & SEWER UTILITY EASEMENT
---	EXISTING STORM DRAIN
---	EXISTING WATER
---	EXISTING SEWER
---	BUILDING AND DRIVES (TO BE REMOVED)
---	SUPER SILT FENCE
---	SILT FENCE
---	TYPE 'C' SOIL STABILIZATION MATTING
---	TYPE 'D' SOIL STABILIZATION MATTING
---	DIVERSION FENCE
---	A-2 PERMEABLE PAVEMENT
---	DENOTES EXISTING TREES TO BE REMOVED
---	DENOTES EXISTING TREES TO REMAIN
---	PROPOSED DRAINAGE DIVIDE
---	SOIL BOUNDARIES



SCHEDULE A - PERIMETER LANDSCAPE EDGE

PERIMETER	P-1	P-2	P-3	P-4	TOTAL
CATEGORY	ADJACENT TO PERIMETER PROPERTIES	ADJACENT TO PERIMETER PROPERTIES	ADJACENT TO PERIMETER PROPERTIES	FRONT ADJACENT TO ROADWAY	
LANDSCAPE TYPE	A	A	A	N/A	
LINEAR FEET OF PERIMETER	250 L.F.	80 L.F.	260 L.F.	216 L.F.	
NUMBER OF PLANTS REQUIRED					11
SHADE TREES	(250/60' = 4.3 OR 5)	(80/60' = 1.3 OR 2)	(197/60' = 3.3 OR 4)		
EVERGREEN TREES	-	-	-	-	-
CREDIT FOR EXISTING VEGETATION	-	-	-	-	-
SHADE TREES	-	-	-	-	-
EVERGREEN TREES	-	-	-	-	-
CREDIT FOR WALL, FENCE, OR BERM			63 L.F.		63 L.F.
NUMBER OF PLANTS PROVIDED					11
SHADE TREES	5	2	4	-	
EVERGREEN TREES	-	-	-	-	-

LANDSCAPING PLANT LIST

SYMBOL	QUANTITY	BOTANICAL AND COMMON NAME	SIZE
	4	ACER RUBRUM (AR) "OCTOBER GLORY" RED MAPLE	2 1/2" - 3" CAL.
	3	QUERCUS PALUSTRIS (QP) PIN OAK	2 1/2" - 3" CAL.
	4	NYSSA SYLVATICA (NS) (BLACK GUM)	2 1/2" - 3" CAL.

TOTALS: 11 SHADE TREES

LANDSCAPE NOTES

- THE PERIMETER LANDSCAPE OBLIGATION IS PROVIDED IN ACCORDANCE WITH SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE SURETY IN THE AMOUNT OF \$3,300.00 BASED ON 11 SHADE TREES @ \$300/SHADE TREE SHALL BE BONDED AS PART OF THE DPW DEVELOPERS AGREEMENT.
- AT THE TIME OF INSTALLMENT, ALL SHRUBS AND OTHER PLANTINGS HEREWITH LISTED AND APPROVED FOR THIS SITE, SHALL BE OF THE PROPER HEIGHT REQUIREMENTS IN ACCORDANCE WITH THE HOWARD COUNTY LANDSCAPING MANUAL. IN ADDITION, NO SUBSTITUTIONS OR RELOCATION OF REQUIRED PLANTINGS MAY BE MADE WITHOUT PRIOR REVIEW AND APPROVAL FROM THE DEPARTMENT OF PLANNING AND ZONING. ANY DEVIATION FROM THIS APPROVED LANDSCAPE PLAN MAY RESULT IN DENIAL OR DELAY IN THE RELEASE OF LANDSCAPE SURETY UNTIL SUCH TIME AS ALL REQUIRED MATERIALS ARE PLANTED AND/OR REVISIONS ARE MADE TO APPLICABLE PLANS AND CERTIFICATES.
- THE OWNER, TENANT, AND/OR THEIR AGENTS SHALL BE RESPONSIBLE FOR MAINTENANCE OF THE REQUIRED LANDSCAPING, INCLUDING BOTH PLANT MATERIALS AND BERMS, FENCES AND WALLS. ALL PLANT MATERIALS SHALL BE MAINTAINED IN GOOD GROWING CONDITION, AND WHEN NECESSARY, REPLACED WITH NEW MATERIALS TO ENSURE CONTINUED COMPLIANCE WITH APPLICABLE REGULATIONS. ALL OTHERS REQUIRED LANDSCAPING SHALL BE PERMANENTLY MAINTAINED IN GOOD CONDITION, AND WHEN NECESSARY, REPAIRED OR REPLACED.
- FOR ANY TREE DESIGNATED FOR PRESERVATION, FOR WHICH CREDIT IS GIVEN, BE REMOVED OR DIE PRIOR TO RELEASE OF BONDS, THE OWNER WILL BE REQUIRED TO REPLACE THE TREE WITH THE EQUIVALENT SPECIES OR IF THE TREE IS LISTED AS A PROHIBITED OR INVASIVE SPECIES ON THE DPZ TREE LIST IT SHOULD BE REPLACED WITH A RECOMMENDED TREE SPECIES WHICH WILL OBTAIN THE SAME HEIGHT, SPREAD AND GROWTH CHARACTERISTICS. THE REPLACEMENT TREE MUST BE A MINIMUM OF 3 INCHES IN CALIPER AND INSTALLED AS REQUIRED IN THE LANDSCAPE MANUAL.

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

DocuSigned by:
1837476232848
Chief, Division of Land Development
Date: 6/27/2023

DocuSigned by:
CHAD Edmondson
17607754814599
Chief, Development Engineering Division
Date: 6/26/2023

DocuSigned by:
Lynda Eisenberg
12088888942
Director - Department of Planning and Zoning
Date: 6/28/2023



PROFESSIONAL CERTIFICATION
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED UNDER MY SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 27020, EXPIRATION DATE: 01/25/24.

Paul G. Cavanaugh 6/23/2023
PAUL G. CAVANAUGH Date

OWNER
H5 HOMEBUILDER LLC
5865 MAIN ST
ELK RIDGE, MARYLAND 21075

DEVELOPER
MR. SURINDER SINGH
BABBU HOMES LLC
10610 WASHINGTON CT
ELLCOTT CITY, MARYLAND 21042
410-350-6333

NO.	REVISION	DATE

SUBDIVISION	SECTION/AREA	LOT Nos.
N/A	N/A	N/A

DEEDS	BLOCK NO.	ZONE	TAX MAP	ELEC. DIST.	CENSUS TR.
6553/50	04	R-12	30	1	X

LANDSCAPE PLAN

MYERS PROPERTY
5865 MAIN STREET
ZONING: R-12
TAX MAP 308 GRID 04,
PARCEL 572
FIRST ELECTION DISTRICT HOWARD COUNTY, MARYLAND
SCALE AS SHOWN JANUARY, 2023
SHEET 6 OF 6