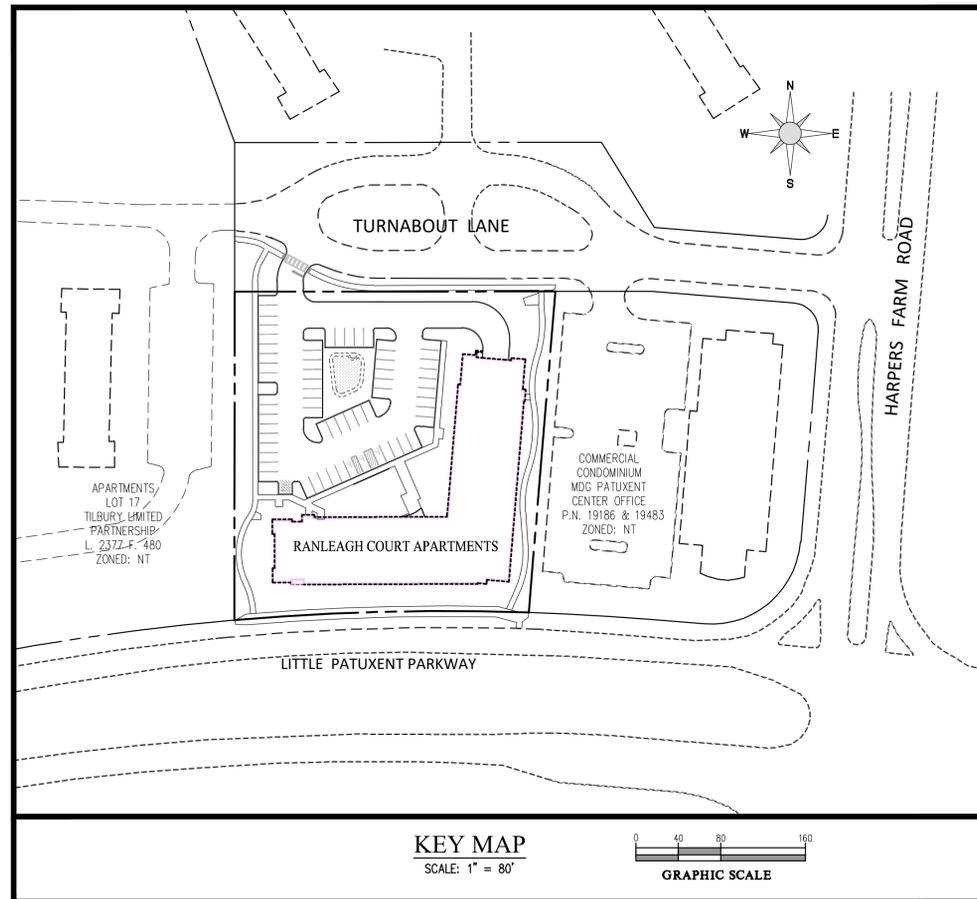


GENERAL NOTES

- 1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF HOWARD COUNTY PLUS MSHA STANDARDS AND SPECIFICATIONS IF APPLICABLE.
2. THE CONTRACTOR SHALL NOTIFY THE DEPARTMENT OF PUBLIC WORKS, BUREAU OF ENGINEERING, CONSTRUCTION INSPECTION DIVISION AT (410) 313-1880 AT LEAST FIVE (5) WORKING DAYS PRIOR TO THE START OF WORK.
3. THE CONTRACTOR SHALL NOTIFY THE HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS, BUREAU OF UTILITIES AT (410) 313-4900 AT LEAST FIVE (5) DAYS PRIOR TO STARTING ANY EXCAVATION WORK.
4. THE CONTRACTOR SHALL NOTIFY "MISS UTILITY" AT 1-800-257-7777 AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION WORK BEING DONE.
5. PROJECT BACKGROUND: LOCATION: TAX MAP #29, GRID 23; ZONING: NT; ELECTION DISTRICT: 5TH; AREA OF LOT-18: 2.01 AC; RECORDING REFERENCE: PLAT BOOK 13, PAGE 89 AND PLAT No. 26354.
6. PROPOSED USE: APARTMENTS
7. ALL PLAN DIMENSIONS ARE TO FACE OF BUILDING AND/OR FACE OF CURB UNLESS OTHERWISE NOTED. DIMENSIONS ARE MEASURED PERPENDICULAR OR RADIALY BETWEEN ITEMS UNLESS OTHERWISE NOTED.
8. EXISTING TOPOGRAPHY SHOWN ON THESE PLANS IS COMPILED FROM A 2017 ALTA SURVEY BY BENCHMARK ENGINEERING, FIELD RUN SURVEY PERFORMED BY GUTSCHICK, LITTLE & WEBER, P.A. IN FEBRUARY, 2021, FROM AVAILABLE DESIGN PLANS AND HOWARD COUNTY GIS. EXISTING GRADE WITHIN THE FOOTPRINT OF THE EXISTING IMPROVEMENTS (building & parking lot) TO BE RAZED ARE ADJUSTED (approx. 1-foot below existing to of slab and pavement elevations). FOR NON-ADJUSTED TOPO FOR THE EXISTING IMPROVEMENTS SEE THE DEMOLITION PLAN ON SHEET 3 OF 19.
9. COORDINATES AND BEARINGS ARE BASED ON NAD '83 AS PROJECTED BY HOWARD COUNTY GEODETIC CONTROL STATIONS Nos. 35C2 and 35C5.
10. PREVIOUS DEPARTMENT OF PLANNING & ZONING FILE NUMBERS: FDP-30-A-V, SDP-68-006, SDP-74-031, ZB1120M, WP-22-055, ECP-22-054, F-23-054 and WP-23-043 (for removal of a tree > 30"DBH) *The FDP (Item 8B) was amended and approved by the Planning Board on 9/15/2022 to allow the building height of up to 60' on Lot-18.
11. WP-22-055 WAS APPROVED TO ALLOW THE PRE-DEVELOPMENT COMMUNITY MEETING TO BE CONDUCTED VIRTUALLY (due to Covid-19 protocol) ON DECEMBER 22, 2021.
12. THIS PROPERTY IS WITHIN THE METROPOLITAN DISTRICT (PLANNED SERVICE AREA); THEREFORE, IT IS SERVED BY PUBLIC WATER AND SEWER. PUBLIC SEWER IS PROVIDED BY EX. CONTRACT 227-S (Manhole #2354 in Turnabout Lane). THE EXISTING PUBLIC 6" WATER UNDER C-285-W&S' SITE (Lot-18) SHALL BE PROPERLY ABANDONED (see Demolition Plan) AND REPLACED WITH A NEW 8" WATER MAIN EXTENSION UNDER CONTRACT No. 24-5203-D.
13. THE ON-SITE SEWER EXTENSION IS PRIVATELY OWNED AND MAINTAINED. THE ON-SITE PUBLIC WATER MAIN SYSTEM WITHIN THE PUBLIC WATER & UTILITY EASEMENT IS OWNED AND MAINTAINED BY HOWARD COUNTY. THE 6" WATER HOUSE CONNECTION IS PRIVATELY OWNED AND MAINTAINED.
14. THE PROPOSED 4-STORY BUILDING INCLUDING ITS PARKING GARAGE SHALL HAVE AN INSIDE METER SETTING AND IT SHALL BE EQUIPPED WITH AN AUTOMATIC FIRE PROTECTION SPRINKLER SYSTEM.
15. THE PROPOSED ON-SITE STORM DRAIN SYSTEM IS PRIVATELY OWNED AND MAINTAINED.
16. THE EXISTING IMPERVIOUS AREA IS 1.14 AC OF THE SITE; THEREFORE, STORMWATER MANAGEMENT FOR QUALITY FOR REDEVELOPMENT: STORMWATER MANAGEMENT FOR THE EXISTING IMPERVIOUS AREA WILL BE PROVIDED BY A PROPOSED STORMCEPTOR. THE NET INCREASE IN IMPERVIOUS AREA IS PROVIDED BY A MICRO-BIORETENTION FACILITY (M6). BOTH THE STORMCEPTOR AND THE M-6 ARE PRIVATELY OWNED BY MAINTAINED.
17. EXISTING WET UTILITIES (storm, water and sewer) ARE BASED ON APPROVED DESIGN PLANS FOR CONSTRUCTION AND FIELD SURVEY BY GUTSCHICK, LITTLE & WEBER, P.A.
18. THERE ARE NO KNOWN CEMETERIES, GRAVE SITES OR HISTORIC STRUCTURES LOCATED ON THE SUBJECT PROPERTY ACCORDING TO THE CEMETERY INVENTORY MAP AND HISTORIC SITES MAP.
19. THE SCENIC ROADS MAP DOES NOT SHOW ANY SCENIC ROADS ABUTTING THE SITE IN THE VICINITY.
20. THERE ARE NO 100-YR FLOODPLAIN, WETLANDS, STREAM OR THEIR BUFFERS OR FOREST ON THIS SITE OR THE LIMIT OF SUBMISSION. FOR ADDITIONAL INFORMATION, SEE "MEMORANDUM OF FINDINGS" FROM WETLAND STUDIES AND SOLUTIONS, INC (WSSI, dated 2/28/22) THAT WAS FILED WITH ECP-22-054.
21. OTHER STUDIES & REPORTS SUBMITTED FOR APPROVAL WITH THIS SDP:
- RANLEAGH COURT TRANSPORTATION NOISE ANALYSIS (dated 1/19/2022) BY PHOENIX NOISE & VIBRATION, LLC. SHOWS THE 65 dBA NOISE LINE ESTABLISHED BY HOWARD COUNTY TO ALERT THE DEVELOPER, BUILDERS AND FUTURE RESIDENTS THAT AREAS BEYOND THIS THRESHOLD MAY EXCEED GENERALLY ACCEPTED NOISE LEVELS ESTABLISHED BY THE U.S. DEPT. OF HOUSING AND URBAN DEVELOPMENT, WITH PROPER SPECIFICATION OF WINDOWS, A MITIGATED INTERIOR NOISE LEVELS WILL BE MAINTAINED BELOW 45 dBA WITHIN IMPACTED LIVING UNITS. THERE ARE NO APARTMENT UNITS WITH BALCONIES OR PATIOS; THEREFORE, THE APARTMENT UNITS DON'T HAVE EXTERIOR DOORS. WINDOWS WITH A MINIMUM RATING OF 29 STC ARE REQUIRED FOR IMPACTED UNITS; HOWEVER, FOR CONSTRUCTION CONSISTENCY ALL WINDOWS WITH A MINIMUM RATING OF 29 STC WILL BE USE. THE ENTIRE BUILDING, BUILDING CONSTRUCTION MATERIALS SHALL BE USED TO REDUCE THE INTERIOR SOUND TO 45 dBA.
- GEOTECHNICAL ENGINEERING STUDY (dated 3/23/2021) BY HILLUS-CARNES ENGINEERING ASSOCIATES.
- THE TRAFFIC STUDY (ADEQUATE ROAD FACILITIES TEST EVALUATION AND MULTIMODAL ANALYSIS) WAS PREPARED BY THE TRAFFIC GROUP, dated 6/14/2022 AND WAS APPROVED ON 2/14/2023. FOR SUMMARY OF FINDINGS FOR APPO TRAFFIC ANALYSIS SEE CHART ON RIGHT OF THIS SHEET.
22. THE PLAN COMPLIES WITH THE REQUIREMENT OF SECTION 16.1200 OF THE HOWARD COUNTY CODE FOR FOREST CONSERVATION BY THE PAYMENT OF A FEE-IN-LIEU FOR THE FOREST CONSERVATION OBLIGATIONS. THE FEE-IN-LIEU AMOUNT IS \$7,351.88. FOR THE CALCULATIONS OF THE THIS FEE, SEE SHEET 23.
23. FINANCIAL SURETY IN THE AMOUNT OF \$21,930.00 FOR THE REQUIRED LANDSCAPING HAS BEEN POSTED AS PART OF THE DPW DEVELOPER'S AGREEMENT FOR THIS SDP. SEE SHEET 13 FOR ADDITIONAL INFORMATION.
24. ALL EXTERIOR LIGHTING SHALL COMPLY WITH THE REQUIREMENTS IN SECTION 134 OF THE HOWARD COUNTY ZONING REGULATIONS.
25. THE CONTRACTOR SHALL TEST PIT IN AREAS OF EXISTING UTILITIES TO VERIFY LOCATION AND DEPTHS.
26. IN ALL NEW RESIDENTIAL MULTI-FAMILY BUILDINGS HAVING TWO OR MORE FLOORS, A UNIFORM NUMERIC SYSTEM SHALL BE UTILIZED TO IDENTIFY ALL DWELLING UNITS WITH A NUMBER THAT IS UNIQUE TO ONLY ONE UNIT. ALL UNITS IN A VERTICAL STACK OR COLUMN SHALL BE UNIFORMLY NUMBERED SUCH THAT THEY ALL SHARE A NUMERIC REFERENCE TO EACH OTHER IN THAT STACK OR COLUMN, AS APPROVED BY THE A.H.I. FOR EXAMPLE, UNIT 301 SHALL BE DIRECTLY OVER UNIT 201, WHICH IS DIRECTLY OVER UNIT 101. IN THE EVENT AN OPEN OR AMENITY SPACE ON ANY FLOOR PREVENTS THIS UNIFORMITY, THE CORRESPONDING UNIT NUMBER SHALL BE OMITTED RATHER THAN MOVED OUTSIDE OF THE NUMERICALLY UNIFORM COLUMN OR STACK.
27. FIRE DEPARTMENT CONNECTIONS FOR FIRE PROTECTION SYSTEMS SHALL BE LOCATED: (A) ON THE SIDE OF THE STRUCTURE DISPLAYING THE ADDRESS CLEARLY VISIBLE TO THE RESPONDING UNITS; (B) WITHIN 100 FT. OF A FIRE HYDRANT; (I) THE APPROPRIATE SIGN SHALL BE MOUNTED ON THE BUILDING'S WALL BETWEEN 8 AND 12 FEET ABOVE THE FIRE DEPARTMENT CONNECTION; (II) A FREE-STANDING FIRE DEPARTMENT CONNECTION SHALL HAVE THE SIGN MOUNTED ON A POLE DIRECTLY BEHIND THE CONNECTION APPROXIMATELY 6 FEET HIGH; (IV) SIGNS SHALL HAVE A WHITE REFLECTIVE BACKGROUND WITH A RED REFLECTIVE BORDER, RED REFLECTIVE LETTERS AND A RED REFLECTIVE ARROW. THE BORDER SHALL HAVE A 3/8" STROKE. THE LETTERS SHALL BE 6" HIGH WITH A 1" STROKE. THE ARROW SHALL HAVE A STROKE LESS THAN 2". THE OVERALL SIGN MEASUREMENTS SHALL BE 12" BY 18"; (V) ANY OBSTRUCTION OR CONDITION THAT DETERS OR HINDERS ACCESS TO A FDC IS PROHIBITED. A MINIMUM CLEAR SPACE OF 15 FEET (7.5 FEET ON ALL SIDES) SHALL BE MAINTAINED.
28. STREETLIGHT PLACEMENT, TYPES OF FIXTURES, AND POLES SHALL BE IN ACCORDANCE WITH HOWARD COUNTY DESIGN MANUAL, VOLUME III (2022), SECTION 2.7. A MINIMUM OF 20 FT SHALL BE MAINTAINED BETWEEN ANY STREETLIGHT AND ANY TREE.
29. ALL TRAFFIC CONTROL SIGNS SHALL BE PLACED IN FRONT OF TREE LOCATIONS FOR MAXIMUM VISIBILITY. NO TREE CAN BE INSTALLED WITHIN 30 FT OF ANY STOP SIGN (APPROACH DIRECTION), WHERE SIGNS NEED TO BE PLACED BEHIND THE SIDEWALK, ADDITIONAL SPACING BETWEEN TREES MAY BE REQUIRED AT THOSE LOCATIONS.
30. TRAFFIC CONTROL DEVICES:
a) THE R1-1 (STOP) SIGN AND THE STREET NAME SIGN (SNS) ASSEMBLY FOR THIS DEVELOPMENT MUST BE INSTALLED BEFORE THE BASE PAVING IS COMPLETED.
b) THE TRAFFIC CONTROL DEVICE LOCATIONS SHOWN ON THE PLANS ARE APPROXIMATE AND MUST BE FIELD APPROVED BY HOWARD COUNTY TRAFFIC DIVISION (410-313-2430) PRIOR TO THE INSTALLATION OF ANY OF THE TRAFFIC CONTROL DEVICES.
c) ALL TRAFFIC CONTROL DEVICES AND THEIR LOCATIONS SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MARYLAND MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MOMUTCD).
d) ALL SIGN POSTS USED FOR TRAFFIC CONTROL SIGNS INSTALLED IN THE COUNTY RIGHT-OF-WAY SHALL BE MOUNTED ON A 2" GALVANIZED STEEL, PERFORATED (QUICK PUNCH), SQUARE TUBE POST (14 GAUGE) INSERTED INTO A 2-1/2" GALVANIZED STEEL, PERFORATED, SQUARE TUBE SLEEVE (12 GAUGE) - 3' LONG. THE ANCHOR SHALL NOT EXTEND MORE THAN TWO QUICK PUNCH HOLES ABOVE GROUND LEVEL. A GALVANIZED STEEL POLE CAP SHALL BE MOUNTED ON TOP OF EACH POST.
e) ALL STREET AND REGULATORY SIGNS SHALL BE IN PLACE PRIOR TO THE PLACEMENT OF ANY ASPHALT.
f) STREET LIGHT PLACEMENT AND THE TYPE OF FIXTURE AND POLE SHALL BE IN ACCORDANCE WITH THE HOWARD COUNTY DESIGN MANUAL, VOLUME III (1993) AND AS MODIFIED BY "GUIDELINES FOR STREET LIGHTS IN RESIDENTIAL DEVELOPMENTS (JUNE 1993)." A MINIMUM SPACING OF 20' SHALL BE MAINTAINED BETWEEN ANY STREETLIGHT AND ANY TREE.
31. WP-23-043 WAS APPROVED ON DEC/22/2022 FOR A VARIANCE WITH RESPECT TO SECTION 16.1205(A)(3) TO REMOVE THE SPECIMEN TREE #15 (A 35" RED MAPLE). THE REMOVAL OF THE SPECIMEN TREE SHALL BE MITIGATED WITH A 2:1 REPLACEMENT WITH NATIVE 3"DBH TREES. THE TWO MITIGATION TREES ARE SHOWN SHEETS 12 & 13 (AS ACER RUBRUM 'OCTOBER GLORY').

SITE DEVELOPMENT PLAN
Village of Harper's Choice

Section 3 Area 2
Ranleigh Court Apartments (82 Units)



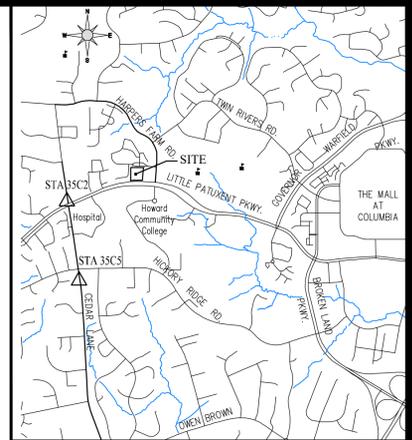
STORMWATER MANAGEMENT INFORMATION CHART table with columns: LOT / PARCEL NO., FACILITY NAME / NO., PRACTICE TYPE (QUANTITY), PUBLIC / PRIVATE, MISC., ADDRESS. Row 1: LOT 18, MICRO-BIORETENTION M-6 (1), PRIVATE, 6001 TURNABOUT LANE. Row 2: LOT 18, STORMCEPTOR (SC-1), SC (1), PRIVATE, 6001 TURNABOUT LANE.

SITE & REDEVELOPMENT DATA

- 1. THIS SITE IS IN THE NT (NEW TOWN) ZONING DISTRICT. IT IS REDEVELOPED IN ACCORDANCE WITH FDP-30-A-V.
2. EXISTING SITE DATA: TOTAL AREA OF SITE (LOT 18): 2.01± ACRES (87,536± SF.); WETLANDS AND THEIR BUFFER: NONE; 100-YR FLOODPLAIN: NONE; STREAM AND ITS BUFFER: NONE; FOREST: NONE; STEEP SLOPES 15% AND GREATER (within L.O.D.): NONE; ERODIBLE SOILS (within L.O.D.): NONE; IMPERVIOUS AREA (roof & pavement): 1.14 ac. (57%)
3. REDEVELOPMENT DATA: NUMBER OF APT. UNITS IN THE PROPOSED 4-STORY BUILDING: 82; BUILDING FOOTPRINT and PERCENT LOT COVERAGE: 23,455 S.F. BUILDING AREA; (% OF GROSS SITE AREA): 23,455 S.F. / 87,536 S.F. = 26.8%; LIMIT OF SUBMISSION (L.O.D.): 2.4± AC.
TOTAL NUMBER OF PARKING SPACES REQUIRED (at 1.5 spaces/unit per FDP-30-A-V, Sec. 9B): 123; TOTAL NUMBER OF PARKING SPACES PROVIDED: 123; 64 common parking lot spaces (including 3 ADA spaces); 59 garage parking spaces (including 3 ADA spaces and 4 EV spaces with Level-2 charging stations)
4. IN ACCORDANCE WITH SECTION 16.121(A)(4), THERE IS NO OVERALL OPEN SPACE REQUIREMENT FOR THIS PROPERTY; HOWEVER, THE FOLLOWING ARE PROPOSED AMENITIES FOR THIS REDEVELOPMENT OF THIS PROPERTY: 5,219 S.F. TOTAL (2 DOG PARKS, 2 PATIOS & 1 PLAYGROUND)
5. VILLAGE OF HARPERS CHOICE PHASE-30-A APARTMENT DENSITY ANALYSIS:

Table: VoHC Sec.3, Area-2 Average Density Analysis for Apartment Land Use Area. Columns: Lot, DPZ File No., Apt. Units. Rows for Lot 7, 9, 8, 11, 17, 18. Summary rows for Total Apartment Units (570), VoHC 3/2 total apartment land use area per FDP-30-A-5 (43.323 ac.), Apartment Land Use average number of units per acre (13.16), Apartment Land Use average maximum density allowed by FDP-30-A-5 (15.0).

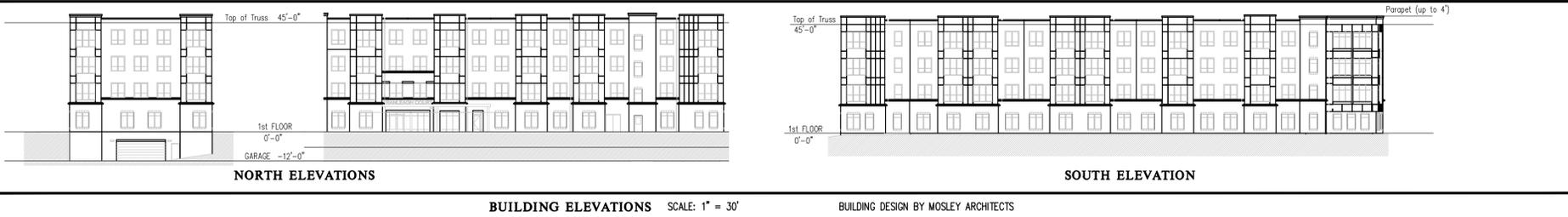
SUMMARY OF FINDINGS FOR APPO TRAFFIC ANALYSIS table with columns: A. Date of Report: June 14, 2022; B. Date of Counts: May 19, 2022; C. The study was submitted as part of the SDP-22-051 submission; D. On Thursday, May 19, 2022, Howard County schools were in session; E. Intersection: Harpers Farm Rd. and Little Patuxent Pkwy.; F. From the "Summary of Findings and Recommendations", the proposed redevelopment of the Ranleigh Court apartments satisfies Howard County Adequate Road Facilities Test Evaluation (ARFTE) Requirements. No recommendations were made for safety improvements.



HC CONTROL STATIONS table with columns: Station ID, Northing, Easting, Elevation, Date. Rows for 35C2 and 35C5.

SHEET INDEX table with columns: Sheet Number, Description. Lists 25 sheets including Cover Sheet, Site Development Plan, Demolition & Paving Delineation Plan, Site Details, Sediment Control Plan, Stormwater Management Drainage Area Map, ESD Notes and Details, Utility Profiles, Stormwater Drainage Area Delineation, Materials Plan (L101), Planting Minimums Plan (L401), Planting Schedules and Notes (L430), Planting Details (L440), Product Information (L500), Construction Details (S10), Maintenance of Traffic Plan - Phase 1, Maintenance of Traffic Plan - Phase 2, Maintenance of Traffic Plan - Phase 3, Maintenance of Traffic Plan - SHA Standards, Parking Garage Layout Plan, Forest Stand Delineation & Forest Conservation Obligation Analysis, Planting Betterments Plan (L402), Construction Details (L511).

APPROVED PLANNING BOARD OF HOWARD COUNTY
DATE: JANUARY 19, 2023
APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING 8/23/2023
Director: Lynda Eschberg, Date: 8/23/2023
Chief, Division of Land Development: Chad Edmondson, Date: 8/18/2023
Chief, Development Engineering Division: [Signature], Date: [Blank]



PERMIT INFORMATION CHART table with columns: SITE FEATURES, ADDRESS, SUBDIVISION NAME, SECTION/AREA, PARCEL, PLAT No., ZONE, TAX MAP, GRID, ELEC. DIST., CENSUS TRACT, WATER CODE, SEWER CODE, SCALE, ZONING, G. L. W. FILE No., DATE, TAX MAP - GRID, SHEET.

GLW PLANNING | ENGINEERING | SURVEYING
3909 NATIONAL DRIVE | SUITE 250 | BURTNSVILLE, MD 20896 | GLWPA.COM
PHONE: 301-421-4024 | BALT: 410-880-1820 | DC&VA: 301-985-2524 | FAX: 301-421-4166

DESIGNED BY: mbt; DRAWN BY: kip; CHECKED BY: ckg; DATE; REVISION; BY; APPR.

PREPARED FOR: Enterprise
Enterprise Community Homes Housing LLC (Owner)
Enterprise Community Development, Inc. (Developer)
875 Hollin Street, Suite 202, Baltimore, MD 21201
410-332-7400

PROFESSIONAL CERTIFICATION
I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 12978
EXPIRATION DATE: MAY 26, 2024
07/28/23

COVER SHEET
Village of Harper's Choice
Section 3, Area 2
Lot 18 (Ranleigh Court Apartments)
FDP-30-A-V
Plat No. 26354
ELECTION DISTRICT No. 5
HOWARD COUNTY, MARYLAND

Table with columns: SCALE, ZONING, G. L. W. FILE No., DATE, TAX MAP - GRID, SHEET. Values: AS SHOWN, NT, 21111, JULY 2023, 29 - 23, 1 OF 25.

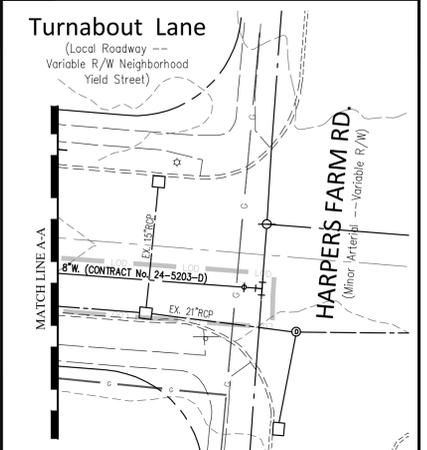
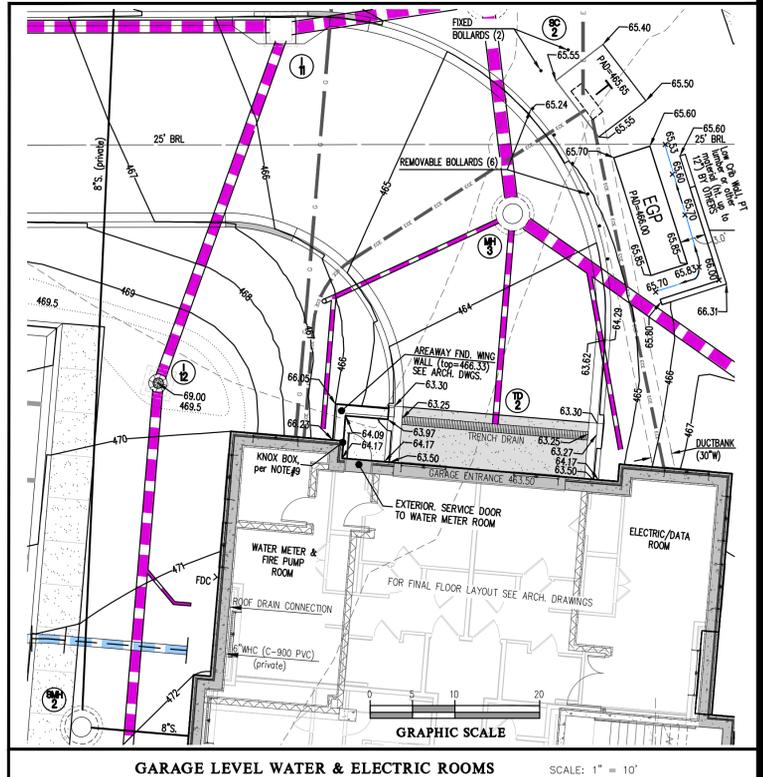
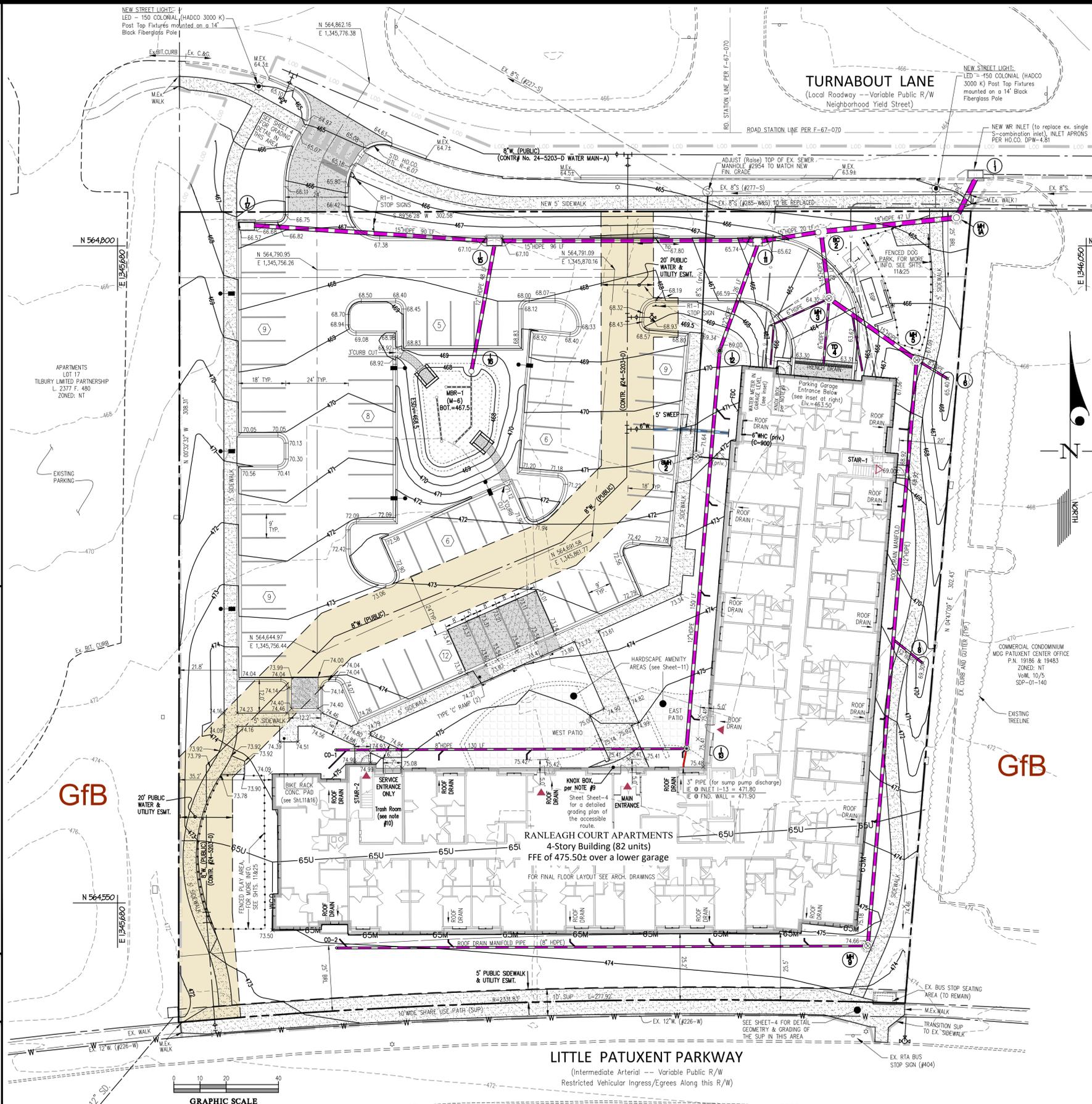
SITE DEVELOPMENT PLAN LEGEND

- 366 EXISTING CONTOUR
- 300 PROPOSED 2 FT. CONTOUR LINE (EVEN)
- + 63.41 PROPOSED SPOT ELEVATION
- M.E.X. MATCH EXISTING
- EX. 15" SD EXISTING STORM DRAIN
- PROPOSED STORMWATER PIPE & STRUCTURES
 - MH - MANHOLE STRUCTURE
 - INL - INLET STRUCTURE
 - TD - TRENCH DRAIN
 - SC - STORMCEPTOR
- EX. 8" S EXISTING SANITARY SEWER
- 8" S (PRV.) PROPOSED SANITARY SEWER (PRIVATE)
- MHC (Water House Connection, private)
- PUBLIC WATERLINE & EASEMENT AREA (shaded)
- FIRE HYDRANT (PUBLIC)
- EXISTING CURB (BITUMINUS & CONCRETE) TO REMAIN
- EXISTING CURB & GUTTER TO REMAIN
- HANDICAPPED PARKING DESIGNATION
- CONCRETE CURB & GUTTER (see Sheet-3 Parking Delineation for additional information)
- P1/PC CUTTER PAN
- FACE OF CURB
- BACK OF CURB
- TAPER CURB
- TUSH CURB
- HANDICAP SIGNS (Per details on Sheet-4) NUMBER OF PARKING SPACES
- CONCRETE SIDEWALK PER HO. CO. DET. R-3.05, 5' WIDE UNLESS NOTED OTHERWISE
- DETECTABLE WARNING TRUNCATED DOMES PER HO. CO. DETAIL R-4.07
- HANDICAP RAMP
- UTILITY EASEMENT AREA (SHADED)
- EXISTING LIGHT FIXTURES & POLE (TO REMAIN)
- PROPOSED STREET LIGHT FIXTURES & POLE
- PROPOSED PARKING LIGHT FIXTURES & POLE
- BGE TRANSFORMER PAD
- ELECTRIC GENERATOR PAD
- ADA ACCESSIBLE DOOR
- NON-ADA ACCESSIBLE DOOR (EGRESS ONLY)
- 65U 65DBA TRAFFIC NOISE CONTOUR (unmitigated)
- 65M 65DBA TRAFFIC NOISE CONTOUR (mitigated)
- G GAS
- E ELECTRIC
- ECE ELECTRIC (Concrete Encased Duct Bank)

- NOTES:
- UNLESS NOTED OTHERWISE, PROPOSED SPOT ELEVATIONS ALONG THE CONCRETE CURB & GUTTER ARE TO THE FLOW LINE (BOTTOM OF CURB) AT THE PC'S/PT'S, CORNERS AND TERMINUSES.
 - ALL ON-SITE PAVING AND ROADWAYS ARE PRIVATE.
 - ALL ON-SITE STORM DRAIN ARE PRIVATE AND SHALL BE PRIVATELY MAINTAINED. THE ON-SITE WATER IS PRIVATELY MAINTAINED, EXCEPT THE PORTION OF THE S.W. AND FIRE HYDRANTS THAT ARE WITHIN THE PUBLIC WATER & UTILITY EASEMENT. ALL ON-SITE PRIVATE SEWER LINES AND STRUCTURES SHALL BE PRIVATELY MAINTAINED, EXCEPT THE PORTION WITHIN THE "PUBLIC SEWER & UTILITY EASEMENT".
 - FOR INFORMATION ON THE PUBLIC PORTION OF THE WATER AND SEWER, SEE DPW CONTRACT No. 24-5203-D.
 - UNLESS NOTED OTHERWISE, ALL PLAN DIMENSIONS ARE TO THE FACE OF STRUCTURE (BUILDING, CURB, ETC.). DIMENSIONS ARE MEASURED PERPENDICULAR OR RADIAL BETWEEN ITEMS.
 - THE BUILDING IS EQUIPPED WITH AN AUTOMATIC FIRE SPRINKLER SYSTEM AND THE WATER METER IS LOCATED INSIDE THE BUILDING.
 - 2 KNOX BOXES IS REQUIRED TO BE PLACED ON THE BUILDING. THEY SHALL BE PLACED TO THE RIGHT OF THE MAIN ENTRANCE AND EXTERIOR DOOR TO METER ROOM AT A RANGE OF 4'-5' IN HEIGHT AND NO MORE THAN 6' LATERALLY FROM THE DOOR. THE BOXES SHALL BE ELECTRONICALLY SUPERVISED (INTEGRATED WITH THE FIRE ALARM SYSTEM) TO NOTIFY THE OWNER THAT IT IS BEING ACCESSED.
 - PROPOSED LED MOUNTED PARKING LOT LIGHTING. 30-WATTS LED LIGHTING FIXTURE MOUNTED ON 20' POLE. SEE ARCH. PLAN SET (Sheet ES1.0.1) FOR THE MAKE/MODEL. SELECTED OF THE PARKING LOT LIGHTING AND OTHER DECORATIVE LIGHTING. ALL OUTDOOR LIGHTING SHALL COMPLY WITH ZONING CODE SECTION 134.
 - KNOX BOXES SHALL BE LOCATED WITHIN 6' TO THE RIGHT OF THE MAIN ENTRANCE AT A RANGE OF 4'-5' IN HEIGHT. THE CONTRACTOR SHOULD CONTACT THE OFFICE OF THE FIRE MARSHAL PRIOR TO PURCHASING AND INSTALLING KNOX BOXES TO DETERMINE IF ADDITIONAL KNOX BOXES WILL BE REQUIRED AS WELL AS TO VERIFY THE LOCATION(S) WHERE THEY ARE TO BE MOUNTED.
 - WHEELED CONTAINERS ARE LOCATED INSIDE THE "TRASH ROOM" FOR THE COLLECTION OF TRASH AND RECYCLABLES. ON TRASH DAYS, THESE CONTAINERS ARE ROLLED OUT BY PROPERTY MANAGEMENT TO THE 12'x12' SERVICE PAD FOR PICK-UP. AFTERWARD, THE EMPTIED CONTAINERS ARE RETURNED TO THE TRASH ROOM.

APPROVED
PLANNING BOARD OF HOWARD COUNTY
DATE: JANUARY 19, 2023

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING 8/23/2023
 Director *Lynda Eisenberg* Date 8/23/2023
 Chief, Division of Land Development *Chad Edmondson* Date 8/18/2023
 Chief, Development Engineering Division



GLW
PLANNING | ENGINEERING | SURVEYING
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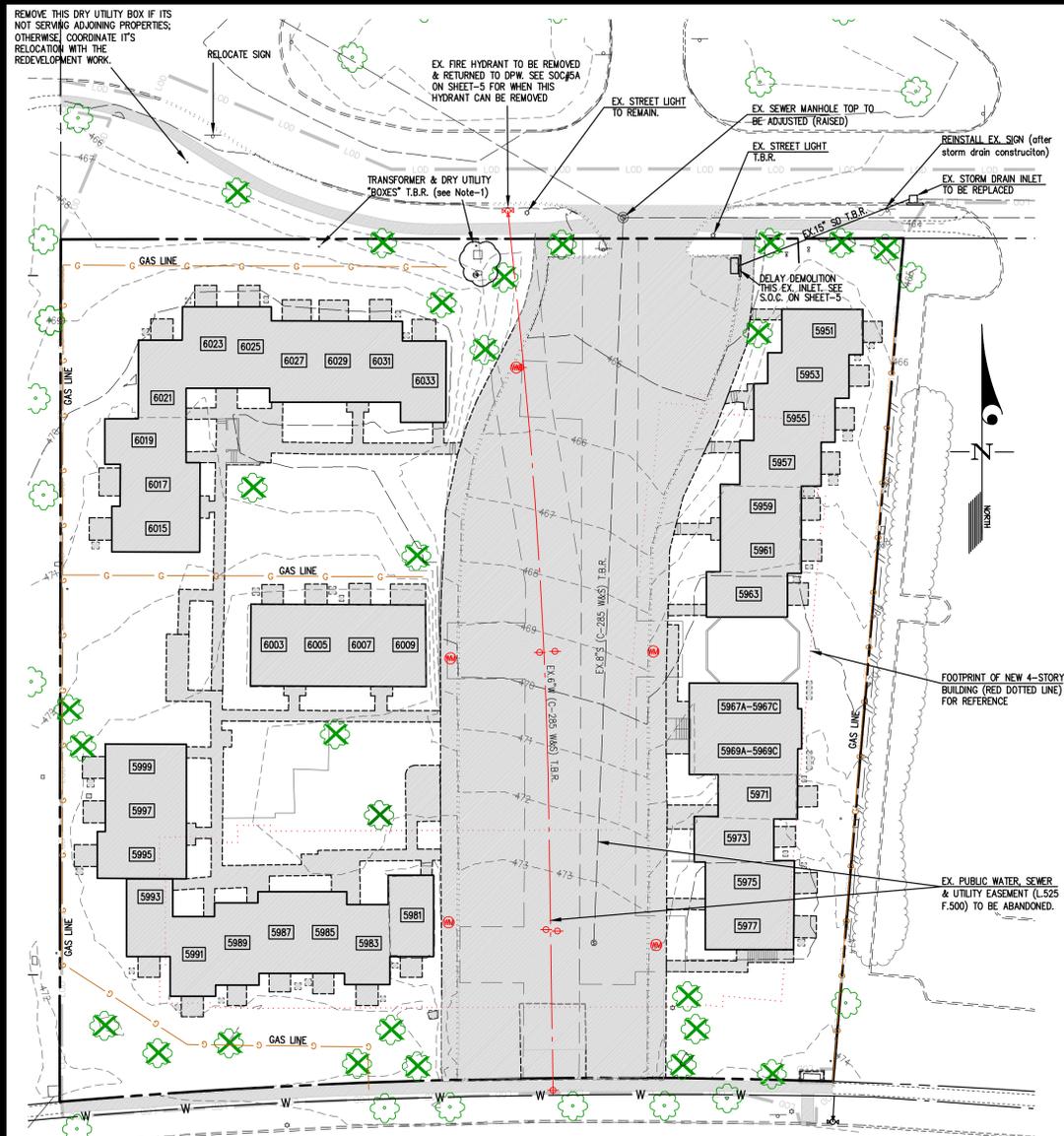
DESIGNED BY:				
DRAWN BY:				
CHECKED BY:				
DATE	REVISION	BY	APPR.	

PREPARED FOR:
Enterprise
Enterprise Community Homes Housing LLC (Owner)
Enterprise Community Development, Inc. (Developer)
875 Hollin Street, Suite 202, Baltimore, MD 21201
410-332-7400

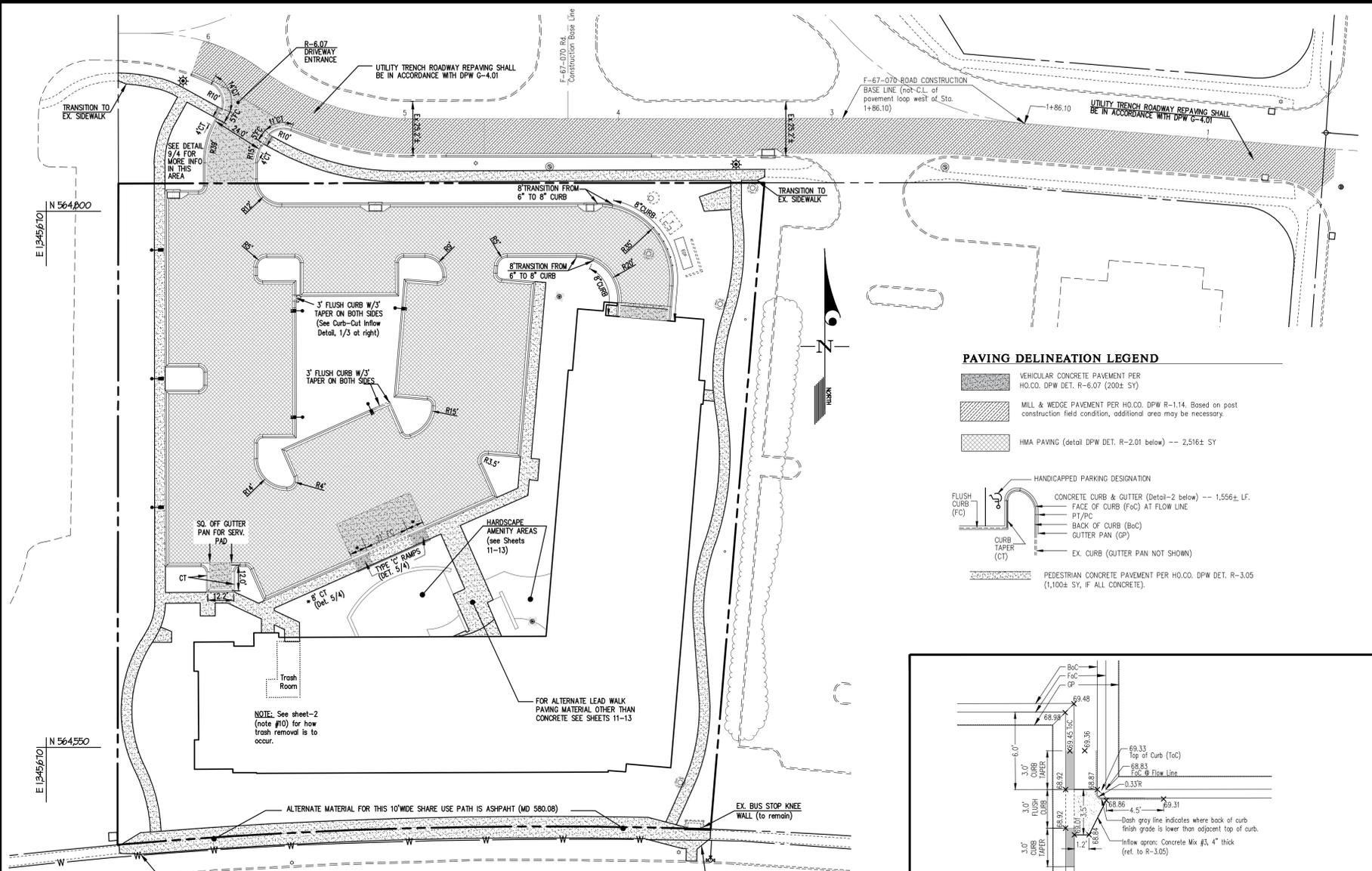
PROFESSIONAL CERTIFICATION
I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 12978
EXPIRATION DATE: MAY 28, 2024
07/28/23

SITE DEVELOPMENT PLAN
Village of Harper's Choice
Section 3, Area 2
Lot 18 (Ranleigh Court Apartments)
FDP-30-A-V
Plat No. 26354
ELECTION DISTRICT No. 5
HOWARD COUNTY, MARYLAND

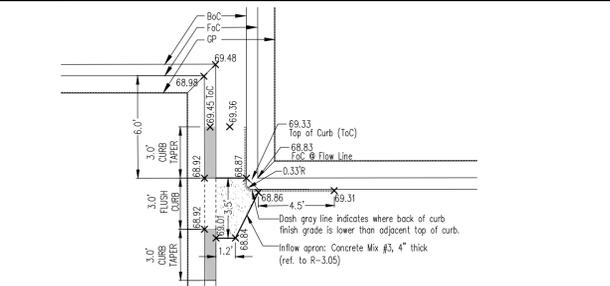
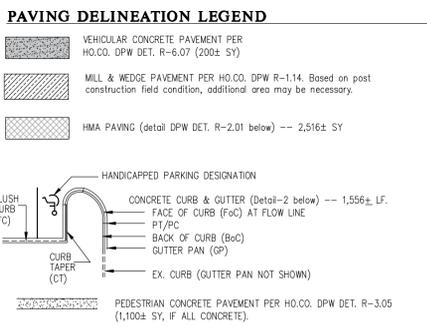
SCALE	ZONING	G. L. W. FILE NO.
1" = 20'	NT	21111
DATE	TAX MAP - GRID	SHEET
JULY 2023	29 - 23	2 OF 25



DEMOLITION PLAN
SCALE: 1" = 30'



PAVING DELINEATION PLAN
SCALE: 1" = 30'



1 CURB-CUT INFLOW DETAIL
1" = 5'

DEMOLITION PLAN LEGEND

- EX. CURB TO REMAIN
 - EX. CURB IN TURNABOUT LANE TO BE REMOVED
 - ✕ EXISTING TREES TO BE REMOVED
- UNLESS NOTED OTHERWISE, ALL EXISTING BUILDINGS & PAVEMENTS, UTILITY PADS & IMPROVEMENTS, ON-SITE TO BE RAZED.

DEMOLITION NOTES:

1. OBTAIN UTILITY DISCONNECTION LETTERS/DOCUMENTATION FROM ALL UTILITY COMPANIES TO APPLY A FOR DEMOLITION PERMIT. VERIFY THAT ALL ON-SITE DRY UTILITIES HAVE BEEN DISCONNECTED IN ORDER TO PROCEED WITH THEIR DEMOLISHED. DRY UTILITIES ON THIS SITE THAT ALSO SERVES ADJOINING PROPERTIES MUST BE RELOCATED BY THE APPROPRIATE UTILITY COMPANIES. THE EX. WATER AND SEWER MAIN AND APPURTENANCES (C-285 WAS) SHALL BE ABANDONED IN ACCORDANCE WITH HOWARD CO. DMV2 Sec.5.6.3. SEE S.O.C. ON SHEET 5 FOR WHEN THE EX. 6" W MAIN & IT'S FIRE HYDRANT CAN BE ABANDONED.
2. SEE SHEETS 5-6 FOR REQUIRED SEDIMENT AND EROSION CONTROL MEASURES.
3. REMOVE ALL DEBRIS FROM THE SITE HAUL IT TO A RECYCLE FACILITY AND/OR A LEGAL LAND FILL.
4. ADDITIONAL CURB OR SIDEWALK MAY HAVE TO BE REPLACED IN THE FIELD.
5. THIS DOCUMENT INCLUDES INFORMATION AND DEPICTIONS OF BALTIMORE GAS AND ELECTRIC COMPANY'S ("BGE") ELECTRIC AND/OR GAS UTILITIES LOCATED WITHIN THE PROJECT AREA (THE "BGE UTILITY INFORMATION"). LOCATIONS, DIMENSIONS, DEPTHS AND OTHER DETAILS OF ANY SUCH UTILITIES MAY NOT BE AS-BUILT, AND THE INFORMATION SHALL NOT BE RELIED UPON WITHOUT FIELD VERIFICATION. EXCAVATORS MUST EMPLOY SAFE DIGGING BEST PRACTICES WHEN APPROACHING BGE ELECTRIC AND GAS UTILITIES AND COMPLY WITH ALL APPLICABLE FEDERAL, STATE, AND LOCAL LAWS, INCLUDING, BUT NOT LIMITED TO, THE "MISS UTILITY LAW," NO REPRESENTATIONS, WARRANTIES, OR WARRANTIES, EXPRESS OR IMPLIED, ARE MADE BY BGE AS TO THE QUALITY, COMPLETENESS, OR ACCURACY OF THE BGE UTILITY INFORMATION, AND IN ACCEPTING THIS DOCUMENT, THE RECIPIENT EXPRESSLY ACKNOWLEDGES AND AGREES THAT IT IS NOT RELYING ON THE ACCURACY OF THE SAME.



APPROVED
PLANNING BOARD OF HOWARD COUNTY
DATE: JANUARY 19, 2023

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
8/23/2023

Director: *Linda Eisenberg* Date: 8/23/2023
Chief, Division of Land Development: *Chad Edmondson* Date: 8/18/2023
Chief, Development Engineering Division: _____ Date: _____

SECTION NUMBER	ROAD AND STREET CLASSIFICATION / TYPE	CALIFORNIA BEARING RATIO (CBR)	3 TO <5	5 TO <7	≥ 7	3 TO <5	5 TO <7	≥ 7
P-1	NEW STREET TYPE	PAVEMENT MATERIAL (INCHES)						
		RESIDENTIAL AND NON-RESIDENTIAL PARKING DRIVE ASILES:	1.5	1.5	1.5	1.5	1.5	1.5
		RESIDENTIAL AND NON-RESIDENTIAL WITH NO MORE THAN 2 HEAVY TRUCKS PER DAY	NA	NA	NA	NA	NA	NA
P-2	ALLEY	PAVEMENT MATERIAL (INCHES)						
		RESIDENTIAL AND NON-RESIDENTIAL WITH NO MORE THAN 10 HEAVY TRUCKS PER DAY	1.5	1.5	1.5	1.5	1.5	1.5
		LOCAL ROADS	1.0	1.0	1.0	1.0	1.0	1.0
P-3	RURAL DEVELOPMENT STREET	PAVEMENT MATERIAL (INCHES)						
		RESIDENTIAL AND NON-RESIDENTIAL WITH NO MORE THAN 10 HEAVY TRUCKS PER DAY	1.5	1.5	1.5	1.5	1.5	1.5
		LOCAL ROADS	1.0	1.0	1.0	1.0	1.0	1.0
P-4	NEIGHBORHOOD STREET 1	PAVEMENT MATERIAL (INCHES)						
		RESIDENTIAL AND NON-RESIDENTIAL WITH NO MORE THAN 10 HEAVY TRUCKS PER DAY	2.0	2.0	2.0	2.0	2.0	2.0
		LOCAL ROADS	1.0	1.0	1.0	1.0	1.0	1.0

- NOTES:**
1. HEAVY TRUCKS ARE DEFINED AS THOSE WITH SIX (6) WHEELS OR MORE INCLUDING GARAGE TRUCKS.
 2. SUPERPAVE ASPHALT MIX LAYERS SHALL BE PLACED IN APPROPRIATE COMPACTED LIFT THICKNESS: 19.0 MM BASE (2.0" MIN. TO 4.0" MAX.), 12.5 MM SURFACE (1.5" MIN. TO 3.0" MAX.), AND 9.5 MM SURFACE (1.0" MIN. TO 2.0" MAX.).
 3. GRADED AGGREGATE BASE (GAB) TO BE PLACED AND COMPACTED IN 6" MAX. COMPACTED THICKNESS LAYERS.
 4. THE INTERMEDIATE SURFACE COURSE LAYER MUST BE PLACED WITHIN 2 WEEKS OF PLACEMENT OF BASE COURSE, AND IS REQUIRED PRIOR TO SUBSTANTIAL COMPLETION INSPECTION AND ROAD REACTION.
 5. IN LIEU OF PLACING THE INTERMEDIATE SURFACE COURSE LAYER FOR COMMERCIAL/INDUSTRIAL ENTRANCE APPROXNS WITHIN THE COUNTY RIGHT-OF-WAY WHERE AUXILIARY LANES ARE NOT REQUIRED, THE THICKNESS OF THE INTERMEDIATE PAVEMENT LAYER CAN BE ADDED TO THE REQUIRED THICKNESS OF THE BASE ASPHALT LAYER.
 6. THE CONSTRUCTION DRAWINGS SHALL SHOW THE PAVING SECTION, ROAD CLASSIFICATION AND CBR VALUE FOR EACH ROADWAY.

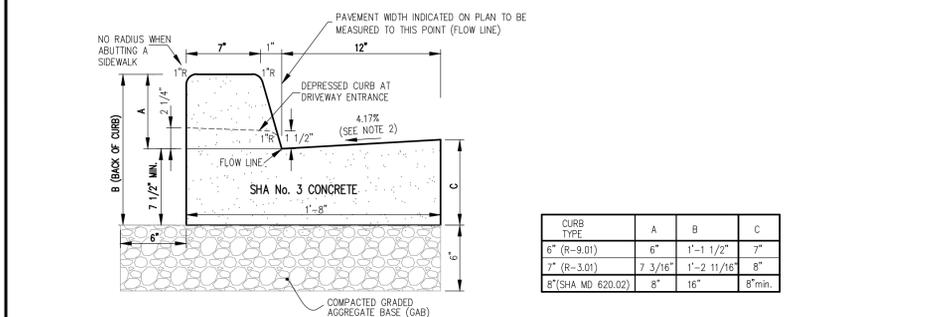
Howard County, Maryland
Department of Public Works

PAVING SECTIONS
P-1 to P-4

Detail
R-2.01

APPROVED: *Thomas E. Butler*
Chief, Bureau of Engineering

NOTE: USE THE P-3 PAVING SECTION WITH THE CBR RATIO OF 3 TO < 5, UNLESS APPROVED OTHERWISE BY THE GEOTECH ENGINEER, CDA AND THE OWNER.



- STANDARD COMBINATION CURB AND GUTTER**
- NOTES:
1. A REVERSE GUTTER PAN SHALL HAVE A GUTTER SLOPE OF 4.17% AWAY FROM THE FLOW LINE, AND SHALL NOT BE USED WHERE THIS CREATES A HAZARDOUS CONDITION.
 2. GUTTER PAN AT THE MEDIAN EDGE OF INTERMEDIATE ARTERIALS OR THE HIGH SIDE OF SUPERELEVATED SECTIONS SHALL BE SLOPED AT THE SAME RATE AND IN THE SAME DIRECTION AS THE PAVEMENT, MATCH PAVEMENT CROSS SLOPE WHEN CURB IS LOCATED ON THE LOW SIDE OF SUPERELEVATED SECTION AND THE RATE OF SUPERELEVATION IS GREATER THAN 3% FOR MODIFIED CURB AND GUTTER.
 3. A MINIMUM OF TWO (2) FEET OF COMPACTED STABILIZED EARTH, OR EQUIVALENT, SHALL SUPPORT THE ENTIRE BACK OF CURB.
 4. POSITIVE DRAINAGE SHALL BE PROVIDED BOTH BEHIND THE CURB AND ALONG THE GUTTER AND FLOW LINE.
 5. 50' MAX. BETWEEN EXPANSION JOINTS & 10' MAX. BETWEEN CONTROL JOINTS.
 6. UNLESS NOTED OTHERWISE, ALL ON-SITE CURB & GUTTER ARE 6" HIGH (CURB & GUTTER IN PUBLIC RIGHT-OF-WAY SHALL BE 7"-TYPE).
 7. CURB FILLET RADIUS ARE 3' UNLESS NOTED OTHERWISE.

2 CONCRETE CURB AND GUTTER
NO SCALE

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DESIGNED BY:	DRAWN BY:	CHECKED BY:	DATE	REVISION	BY	APPR.

PREPARED FOR:
Enterprise
Enterprise Community Homes Housing LLC (Owner)
Enterprise Community Development, Inc. (Developer)
875 Hollin Street, Suite 202, Baltimore, MD 21201
410-332-7400

PROFESSIONAL CERTIFICATION

I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 19793, EXPIRATION DATE: MAY 28, 2024.

07/28/23

STATE OF MARYLAND
Professional Engineer
ELECTION DISTRICT No. 5

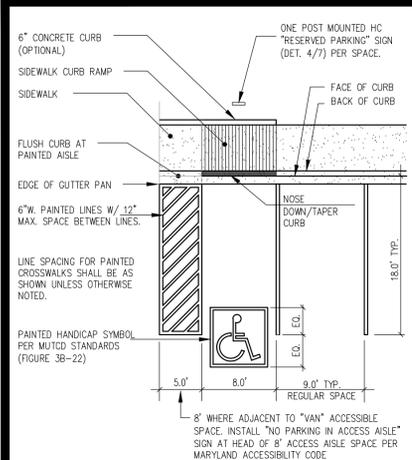
DEMOLITION & PAVING DELINEATION PLAN

Village of Harper's Choice
Section 3, Area 2
Lot 18 (Ranleigh Court Apartments)
FDP-30-A-V
Plat No. 26354

SCALE: 1" = 30'
ZONING: NT
G. L. W. FILE NO.: 21111

DATE: JULY 2023
TAX MAP - GRID: 29 - 23
SHEET: 3 OF 25

HOWARD COUNTY, MARYLAND



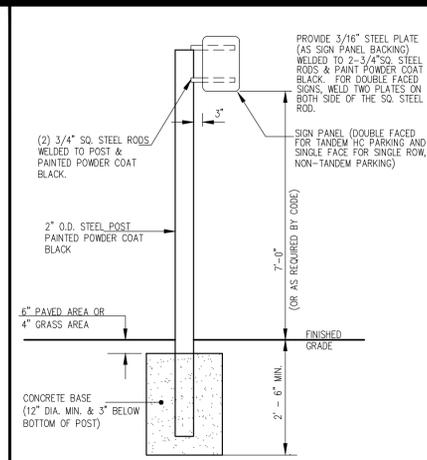
1 PARKING SPACE LAYOUT NO SCALE



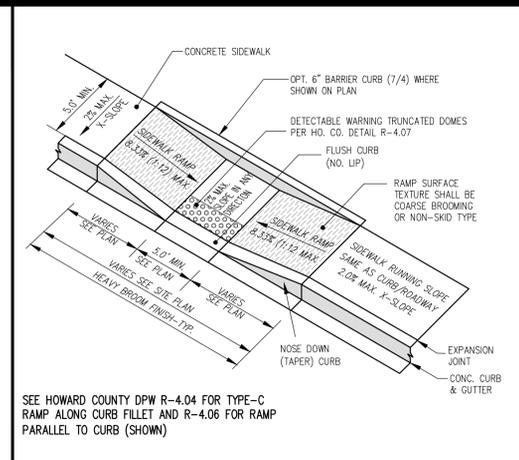
3 HANDICAP PARKING SIGNS DETAIL NO SCALE



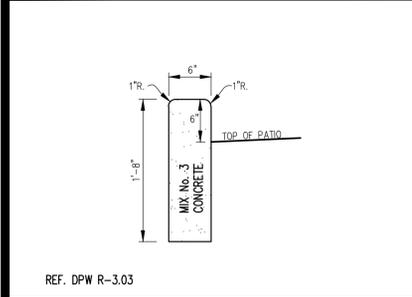
4 POST & SIGN DETAIL FOR PARKING RESTRICTION SIGN NO SCALE



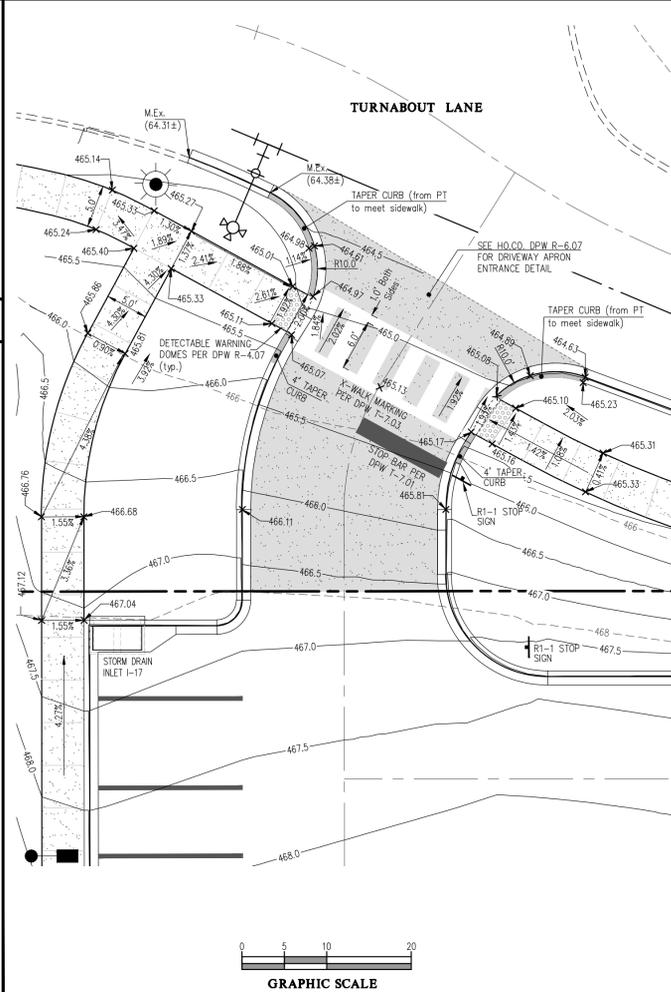
5 TYPE-C SIDEWALK RAMP NO SCALE



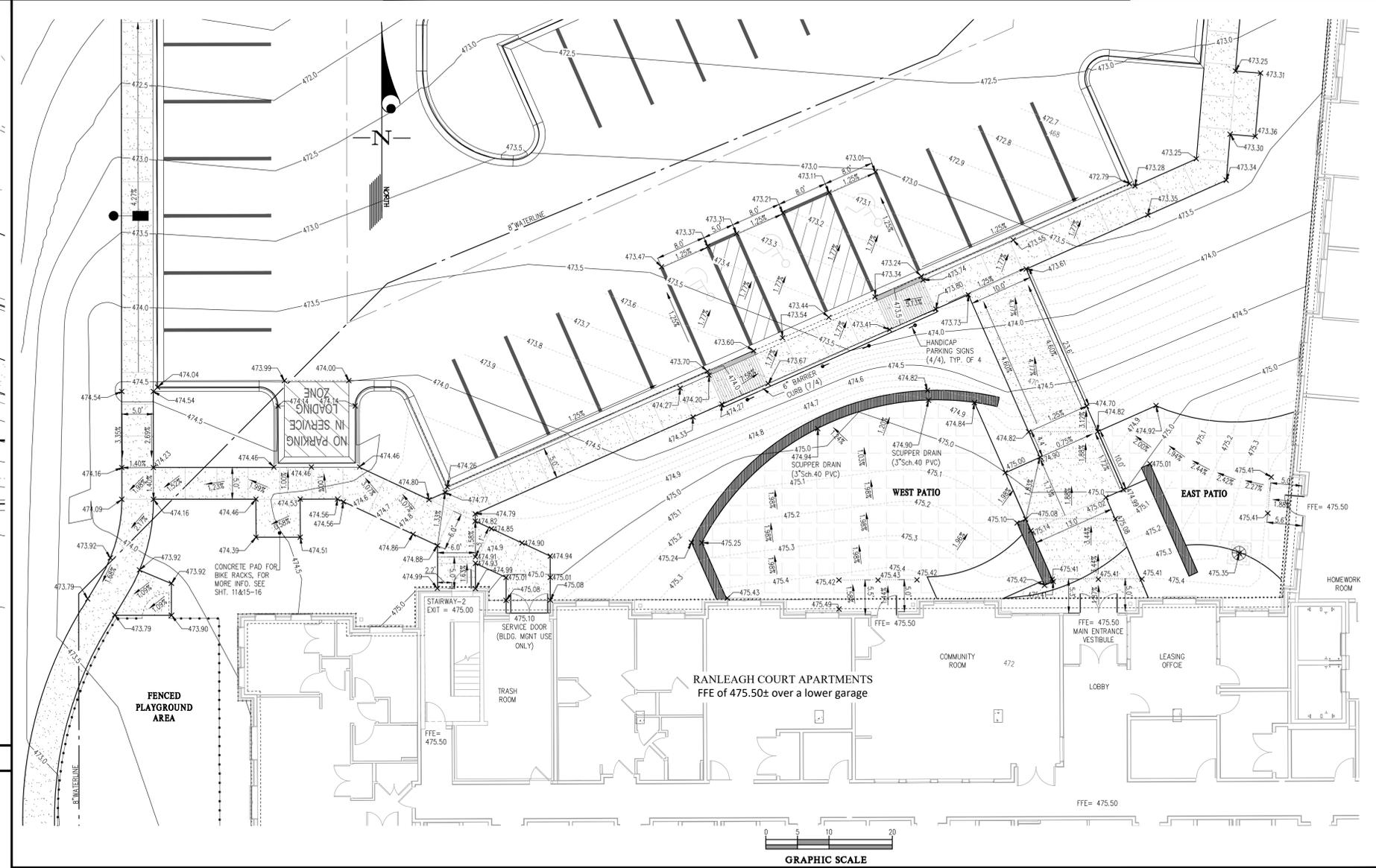
6 TYPE-B HANDICAP RAMP DETAIL NO SCALE



7 6\"/>



9 HARDSCAPE GRADING DETAIL FOR ENTRANCE SCALE: 1\"/>



10 HARDSCAPE GRADING DETAIL SCALE: 1\"/>

APPROVED
PLANNING BOARD OF HOWARD COUNTY
DATE: JANUARY 19, 2023

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
8/23/2023
Director: *Lynda Eisenberg* Date: 8/23/2023
Chief, Division of Land Development: *Chad Edmondson* Date: 8/18/2023
Chief, Development Engineering Division: _____ Date: _____

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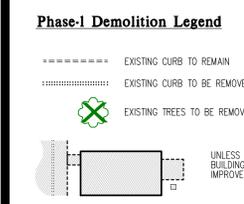
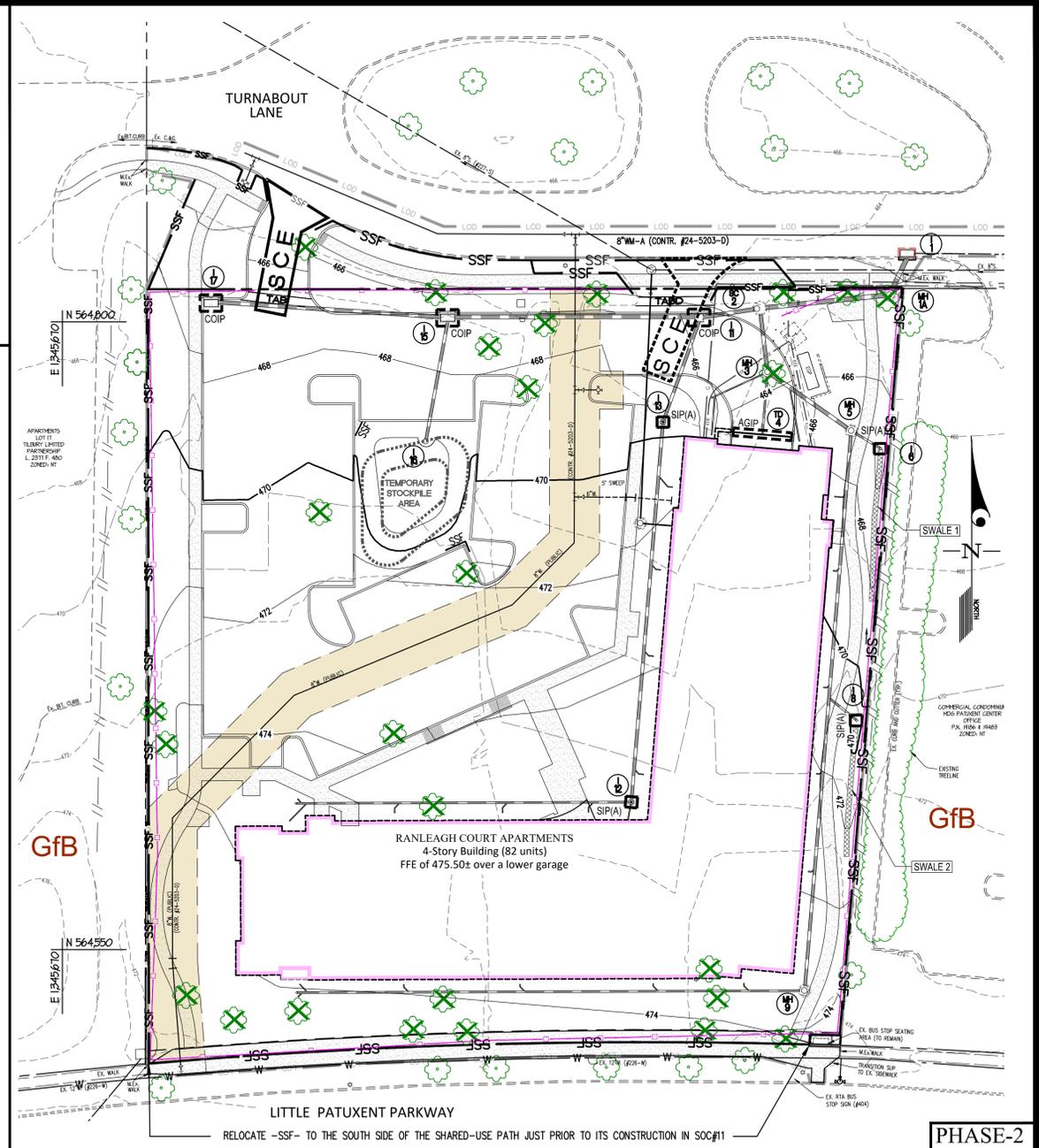
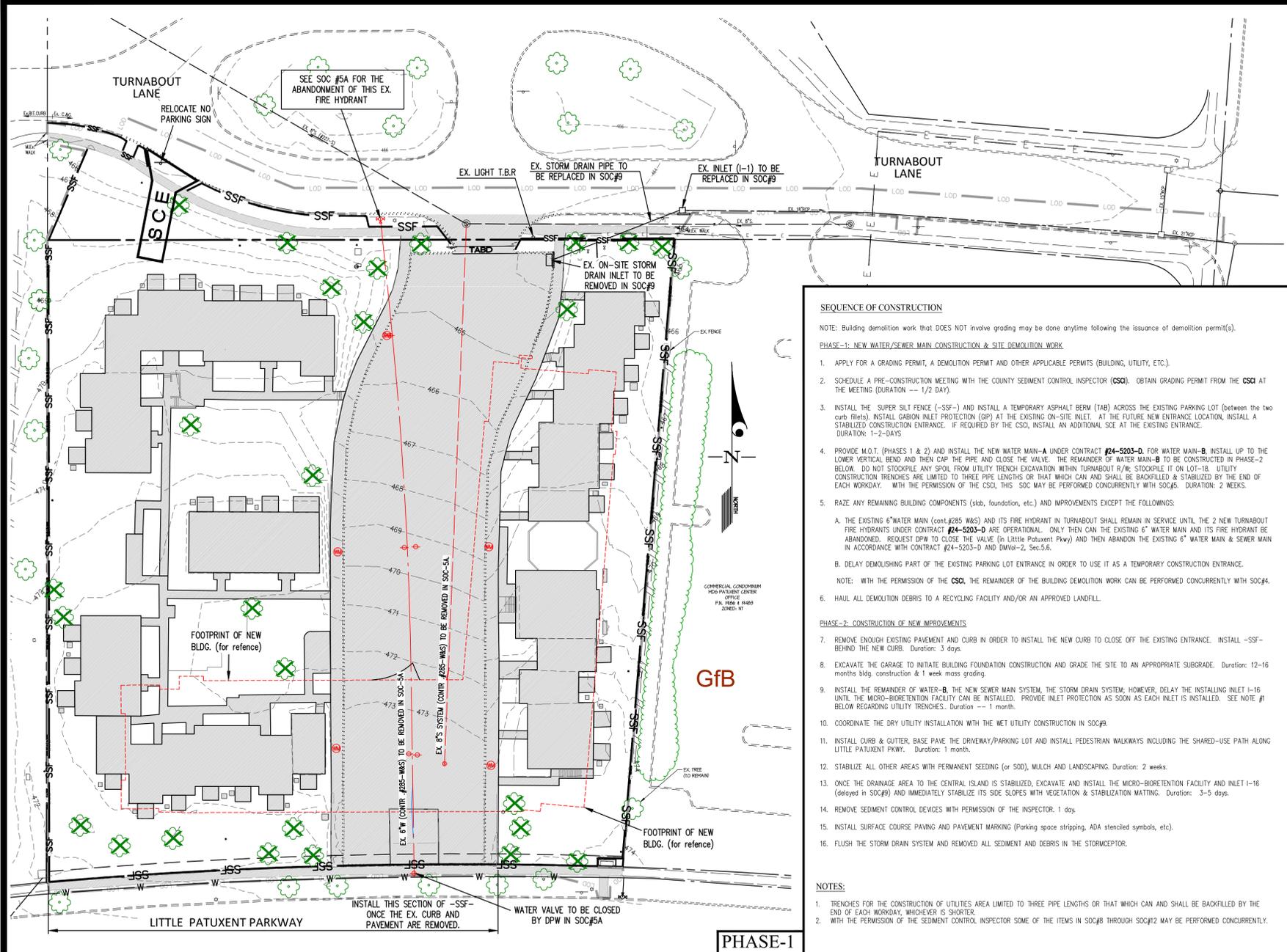
DESIGNED BY:	DATE:	REVISION:	BY:	APPR.:

PREPARED FOR:
Enterprise
Enterprise Community Homes Housing LLC (Owner)
Enterprise Community Development, Inc. (Developer)
875 Hollin Street, Suite 202, Baltimore, MD 21201
410-332-7400

PROFESSIONAL CERTIFICATION
I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 19793
EXPIRATION DATE: MAY 28, 2024 07/28/23

SITE DETAILS
Village of Harper's Choice
Section 3, Area 2
Lot 18 (Ranleigh Court Apartments)
FDP-30-A-V
Plat No. 26354
ELECTION DISTRICT No. 5
HOWARD COUNTY, MARYLAND

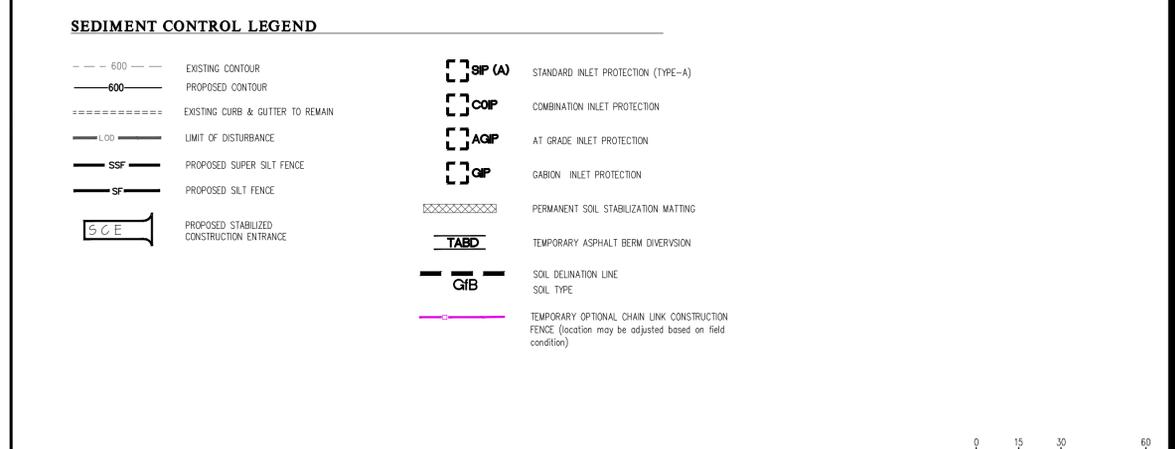
SCALE	ZONING	G. L. W. FILE NO.
AS SHOWN	NT	21111
DATE	TAX MAP - GRID	SHEET
JULY 2023	29 - 23	4 OF 25



SOIL	NAME	CLASS	K FACTOR
GfB	Cladstone-Urban Land Complex, 0 to 8 percent slopes	A	0.32

NO HIGHLY ERODABLE SOILS ON-SITE (highly erodible soils are those soils with a slope > 15% or those with a soil erodibility K-factor > 0.35 and a slope > 5%)

D.A. #	Channel Slope (%)	Q ₁₀ (cfs)	V ₁₀	D (ft)	CA (sq/ft)	Wp (ft)	R (ft)	Sw (ft/ft)	Shear Stress t (lb/ft ²)	10-yr Stabilization Requirement
SWALE-1	5.00	0.16	0.56	0.12	0.280	2.760	0.101	0.050	0.32	Permanent*
SWALE-2	6.67	0.16	0.62	0.11	0.260	2.700	0.096	0.067	0.40	Permanent*



APPROVED PLANNING BOARD OF HOWARD COUNTY
DATE: JANUARY 19, 2023

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
8/23/2023

Director: *Linda Eisenberg* Date: 8/23/2023
Chief, Division of Land Development: *Carl K. Edmondson* Date: 8/18/2023
Chief, Development Engineering Division

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

DocuSigned by: *Alexander Bratohie* 8/21/2023

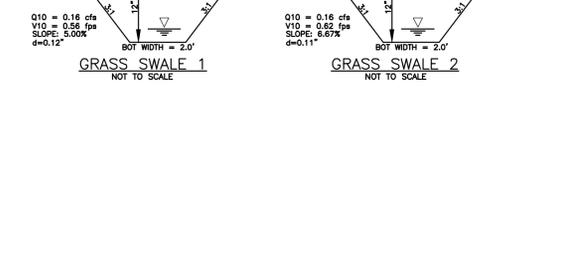
HOWARD S.C.D. DATE

ENGINEER'S CERTIFICATE
I HEREBY CERTIFY THAT THIS PLAN HAS BEEN DESIGNED IN ACCORDANCE WITH CURRENT MARYLAND EROSION AND SEDIMENT CONTROL LAWS, REGULATIONS, AND STANDARDS, THAT IT REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE, AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

DESIGNER'S SIGNATURE: *Carlton K Gutschick* DATE: 07/28/23
PRINTED NAME: *Carlton K Gutschick* DATE: 07/28/23
MD REGISTRATION No. 12975

OWNER'S/DEVELOPER'S/BUILDER'S CERTIFICATION
I/WE HEREBY CERTIFY THAT ANY CLEARING, GRADING, CONSTRUCTION, OR DEVELOPMENT WILL BE DONE PURSUANT TO THIS APPROVED EROSION AND SEDIMENT CONTROL PLAN, INCLUDING INSPECTING AND MAINTAINING CONTROLS, AND THAT THE RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF TRAINING AT A MARYLAND DEPARTMENT OF THE ENVIRONMENT (MDE) APPROVED TRAINING PROGRAM FOR THE CONTROL ON EROSION AND SEDIMENT PRIOR TO BEGINNING THE PROJECT. I CERTIFY RIGHT-OF-ENTRY FOR PERIODIC ON-SITE EVALUATION BY HOWARD COUNTY, THE HOWARD SOIL CONSERVATION DISTRICT AND/OR MDE.

OWNER'S/DEVELOPER'S/BUILDER'S SIGNATURE: *Stacie Birenbach* DATE: 07/28/23
PRINTED NAME & TITLE: *Stacie Birenbach vp*



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DESIGNED BY	DRAWN BY	CHECKED BY	DATE	REVISION	BY	APPR.

PREPARED FOR:
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Enterprise Community Homes Housing LLC (Owner)
Enterprise Community Development, Inc. (Developer)
875 Hollis Street, Suite 202, Baltimore, MD 21201
410-332-7400

PROFESSIONAL CERTIFICATION
I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 12975
EXPIRATION DATE: MAY 28, 2024

07/28/23

THIS PLAN IS FOR SEDIMENT CONTROL PURPOSES ONLY

SEDIMENT CONTROL PLAN
Village of Harper's Choice
Section 3, Area 2
Lot 18 (Ranleigh Court Apartments)
FDP-30-A-V
Plat No. 26354

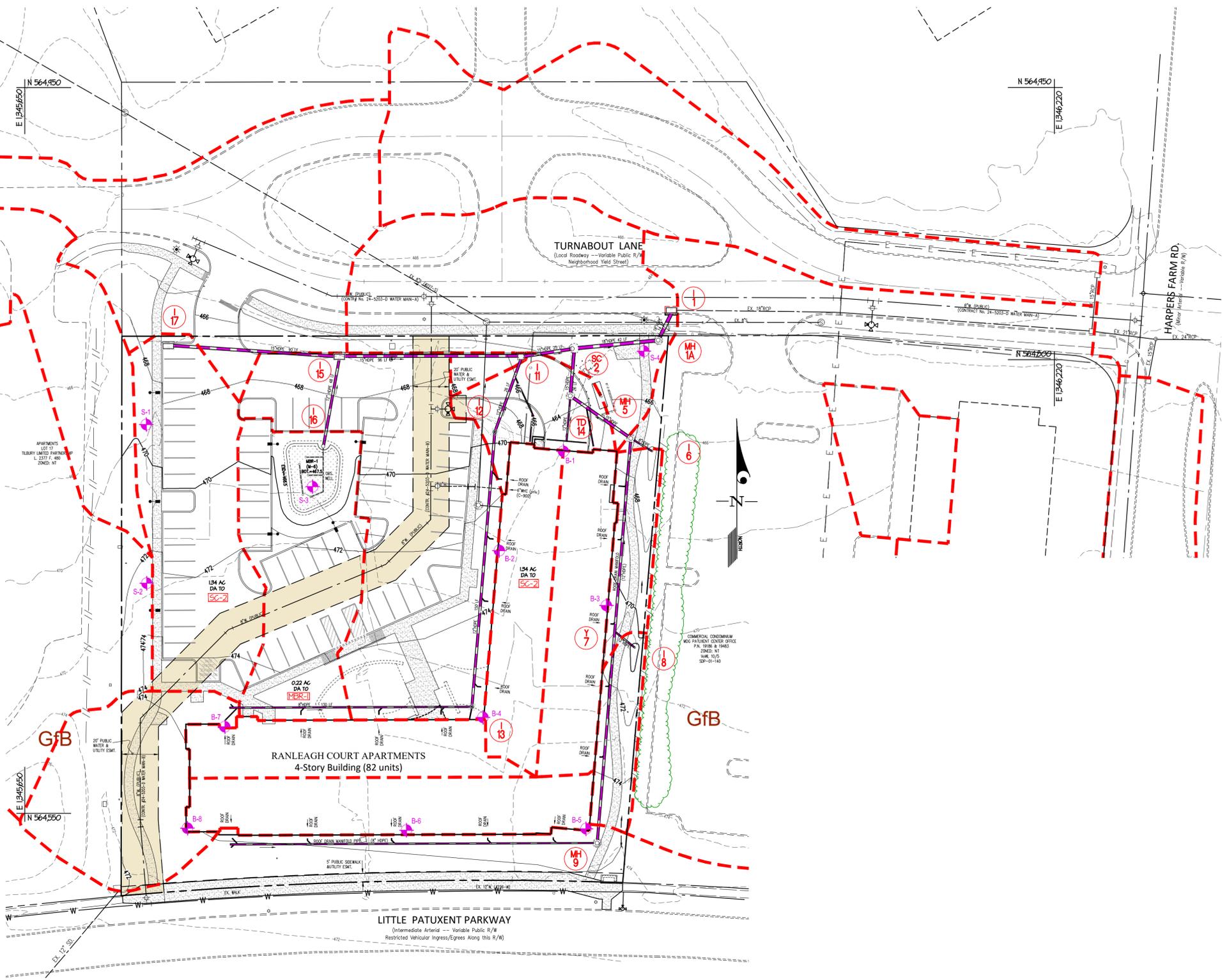
SCALE: 1" = 30'
ZONING: NT
DATE: JULY 2023
TAX MAP - GRID: 29 - 23
SHEET: 5 OF 25

G. L. W. FILE NO. 21111

ELECTION DISTRICT No. 5
HOWARD COUNTY, MARYLAND
SDP-22-051

DA No.	Total Area (sq-ft)	Area (Ac)	Composite C	% IMPERVIOUS (C)	AC
EX DA 7	24,501	0.56 Ac.	0.58	50%	0.31
PROJ DA 7	18,228	0.37 Ac.	0.59	50%	0.22
*EXISTING DRAINAGE AREA BASED DRAINAGE AREA SHOWN IN SDP-76-23					

NOTE: EXISTING DRAINAGE AREA 7 HAS BEEN REDUCED, SEE TABLE THIS SHEET.



STORMWATER MANAGEMENT REQUIREMENT

STUDY AREA: 2.01 Ac.
 EXISTING IMPERVIOUS AREA: 1.14 Ac.
 PROPOSED IMPERVIOUS AREA: 1.28 Ac.
 NET NEW IMPERVIOUS AREA: +0.14 Ac.

ESDv REQUIRED (EX. IMPERVIOUS):
 $50R \times 1.14 \text{ Ac.} = 0.57 \text{ Ac.}$
 $ESDv = [(0.57 \text{ Ac.} \times 0.95 \times 1.07)/12] \times 43,560 \text{ sf}$
ESDv REQUIRED = 1,966 cf

ESDv REQUIRED (NEW IMPERVIOUS):
 $LOD = \text{NET IMP. AREA} = 0.04 \text{ Ac.}$
 $ESDv = [(0.14 \text{ Ac.} \times 0.95 \times 2.6)/12] \times 43,560 \text{ sf}$
ESDv REQUIRED = 1,266 cf

TOTAL ESDv REQUIRED:
 $ESDv = 1,966 \text{ cf} + 1,266 \text{ cf}$
ESDv REQUIRED = 3,232 cf

MINIMUM TREATMENT AREA REQUIRED:
 $\text{MIN. AREA} = 50\% \text{ EX. IMP. AREA} + \text{NET NEW IMP. AREA}$
 $= 0.57 \text{ Ac.} + 0.14 \text{ Ac.}$
MIN. TREATMENT AREA = 0.71 Ac.

STORMWATER MANAGEMENT RECHARGE

TOTAL RECHARGE REQUIRED:
 NET IMP. AREA = 0.14 Ac.
 $RE_{v(\text{req})} = [0.38 \times 0.95 \times 0.14 \text{ Ac.}]/12$
RE_v REQUIRED = 184 cf

RECHARGE PROVIDED:
 $RE_{v(\text{prov})} = (463.75 - 462.73)/(0.4)$
RE_v PROVIDED BY MBR-1 = 317 cf

ESD VOLUME PROVIDED BY DEVICE

SC-2 (STORMCEPTOR):
 D.A. = 39,640 SF (DOES NOT INCLUDE MBR-1 D.A.)
 IMPERVIOUS AREA = 33,106 SF
 $ESDv = (39,640 \times 0.80 \times 1.07)/12$
 $ESDv = 2,642 \text{ cf} > 1,966 \text{ cf (MAX)}$
ESDv PROVIDED = 1,966 cf

MBR-1 (M-8):
 D.A. = 9,553 SF
 IMPERVIOUS AREA = 5,718 SF (60%)
 $R_v = 0.59$
 $A_v = 776 \text{ SF}$
ESDv PROVIDED = 1,266 cf

TOTAL ESDv PROVIDED = 3,232 cf
 TREATMENT AREA PROVIDED = 0.91 Ac. + 0.27 Ac. = 1.18 Ac.

SWM DRAINAGE AREA SUMMARY TABLE

AREA NO.	AREA (SF)	IMP. AREA (SF)	ESDv (CF) PROVIDED	P ₀ PROVIDED	REV PROVIDED
DA SC-2	39,640	33,106	1,966	1.0	0
DA MBR-1	9,553	5,718	1,266	2.7	317
TOTAL (Provided)	49,193	38,824	3,232	---	317
TOTAL (Required)	---	30,928	3,222	---	184

APPROVED
 PLANNING BOARD OF HOWARD COUNTY
 DATE: JANUARY 19, 2023

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
 8/23/2023
 Director: *Lynda Eisenberg*
 Chief, Division of Land Development: *Chad Edmondson*

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DESIGNED BY	DRAWN BY	CHECKED BY	DATE	REVISION	BY	APPR.
LDD	LDD					

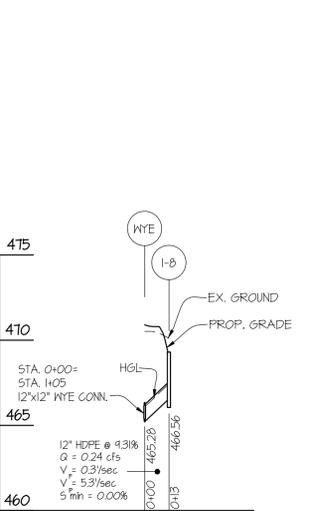
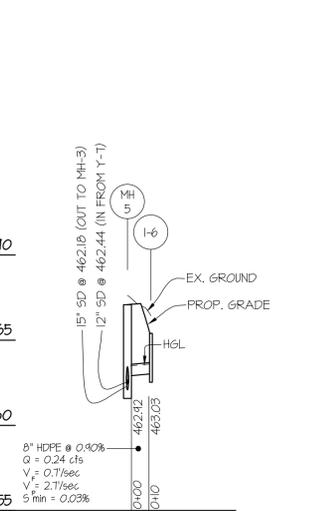
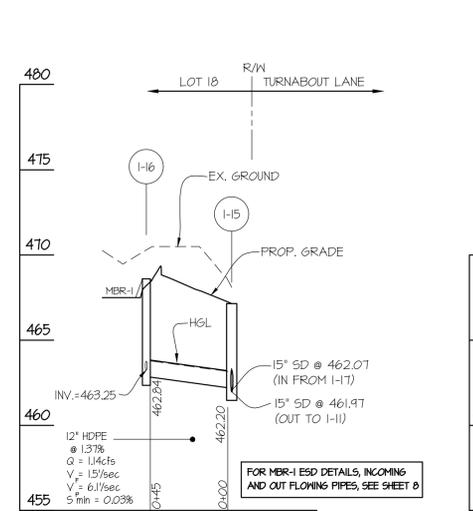
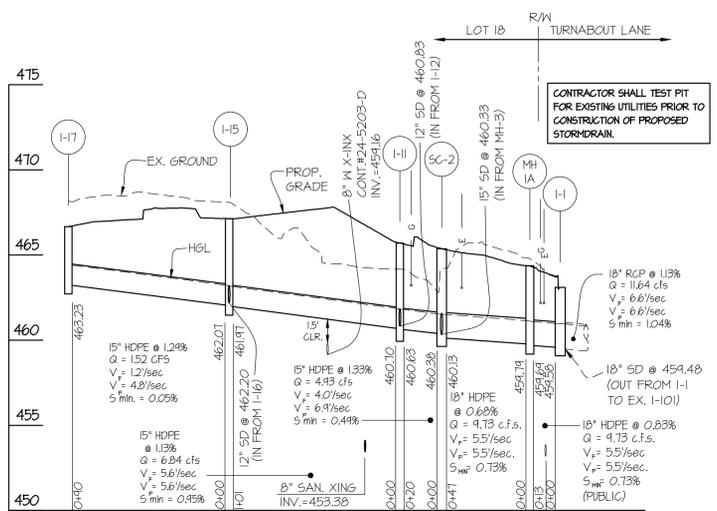
PREPARED FOR:
Enterprise
 Enterprise Community Homes Housing LLC (Owner)
 Enterprise Community Development, Inc. (Developer)
 875 Hollin Street, Suite 202, Baltimore, MD 21201
 410-332-7400

PROFESSIONAL CERTIFICATION
 I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.
 LICENSE NO. 12978
 EXPIRATION DATE: MAY 28, 2024
 07/28/23

STORMWATER MANAGEMENT DRAINAGE AREA MAP
Village of Harper's Choice
 Section 3, Area 2
Lot 18 (Ranleigh Court Apartments)
 FDP-30-A-V
 Plat No. 26354
 ELECTION DISTRICT No. 5
 HOWARD COUNTY, MARYLAND

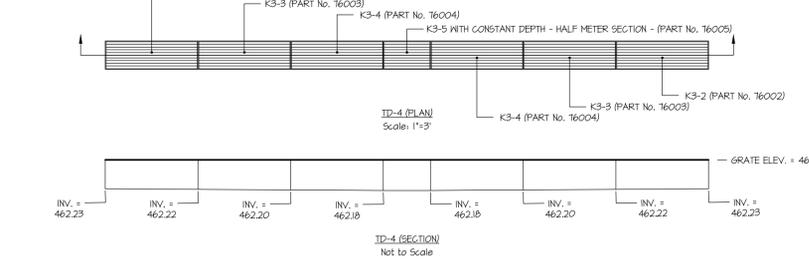
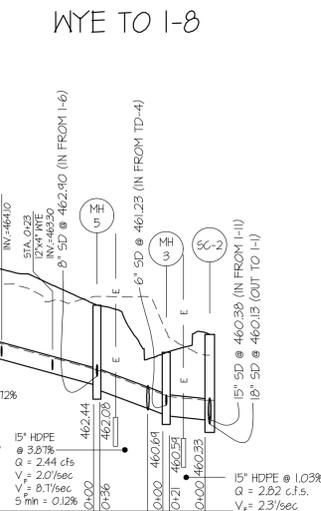
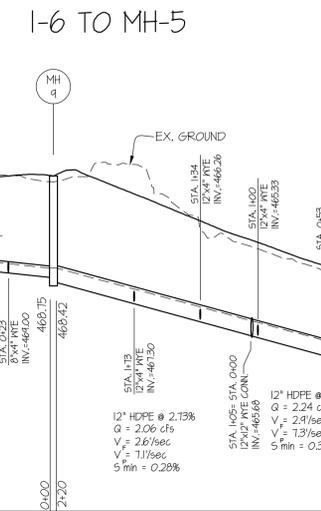
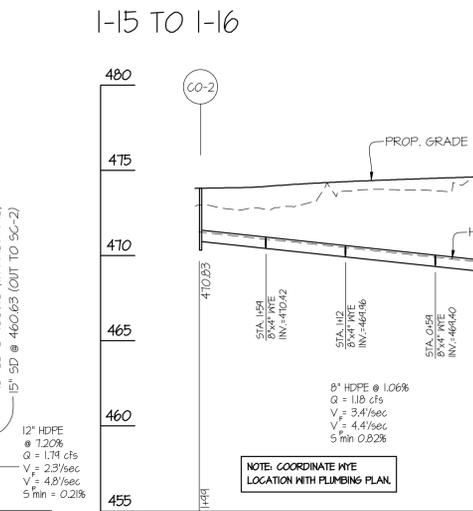
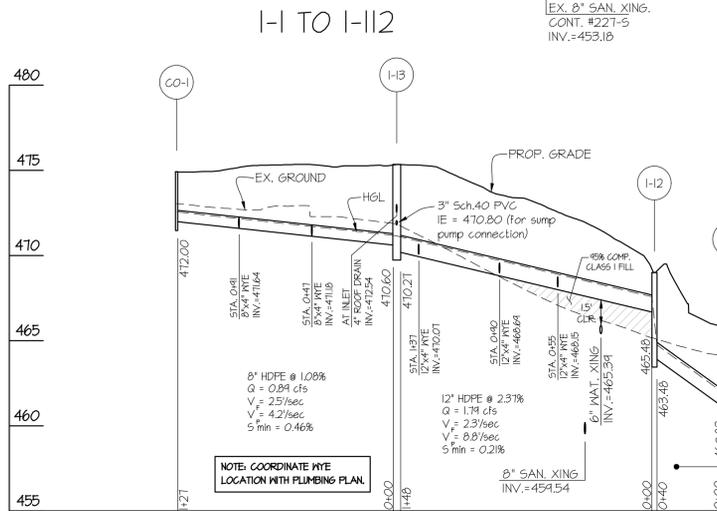
SCALE	ZONING	G. L. W. FILE NO.
1" = 30'	NT	21111
DATE	TAX MAP - GRID	SHEET
JULY 2023	29 - 23	7 OF 25





STRUCTURE SCHEDULE (STORM DRAIN)									
NO	TYPE	WIDTH (INSIDE)	TOP ELEVATION		INVERT		STD. DETAIL	LOCATIONS	REMARKS
			UPPER	LOWER	UPPER	LOWER			
I-1	SHA IR INLET	5'-6"	463.10	463.10	459.48	459.48	MD 314.04	N 564.821 E 1346.008	
I-6	18" NYLOPLAST DRAIN	1'-6"	465.40	---	---	---	NYLOPLAST 18" DRAIN W/ DOME GRATE OR EQUIV.	N 564.145 E 1345.916	
I-8	18" NYLOPLAST DRAIN	1'-6"	463.30	---	---	---	NYLOPLAST 18" DRAIN W/ DOME GRATE OR EQUIV.	N 564.641 E 1345.908	
I-11	TYPE 5' INLET	2'-7"	466.22	466.14	460.83	460.83	HO. CO. D-4.26	N 564.802 E 1345.424	
I-12	TYPE 2' INLET	2'-6"	464.00	---	---	---	HO. CO. D-4.11	N 564.160 E 1345.910	
I-13	TYPE 2' INLET	2'-6"	475.35	---	473.54	473.50	HO. CO. D-4.11	N 564.604 E 1345.818	
I-15	DOUBLE 'WR' INLET	2'-6"	467.60	---	462.20	461.41	HO. CO. D-4.31	N 564.802 E 1345.824	
I-16	18" NYLOPLAST DRAIN	2'-6"	468.00	---	463.25	462.84	NYLOPLAST 18" DRAIN W/ DOME GRATE OR EQUIV.	N 564.152 E 1345.815	SEE DETAIL THIS SHEET
I-17	DOUBLE 'WR' INLET	2'-6"	467.20	---	461.10	---	HO. CO. D-4.31	N 564.808 E 1345.730	
SC-2	STORMCEPTOR MANHOLE	6'-0"	465.41	---	460.38	460.33	SEE SHEET 8	N 564.805 E 1345.444	
MH-1A	STANDARD MANHOLE	4'-0"	464.38	---	459.14	459.64	HO. CO. G-5.12	N 564.811 E 1346.001	
MH-3	STANDARD MANHOLE	5'-0"	464.32	---	460.54	460.54	HO. CO. G-5.13	N 564.780 E 1345.852	
MH-5	STANDARD MANHOLE	4'-0"	467.09	---	462.44	462.18	HO. CO. G-5.12	N 564.756 E 1345.887	
MH-4	STANDARD MANHOLE	4'-0"	474.66	---	468.75	468.42	HO. CO. G-5.12	N 564.533 E 1345.868	
TD-4	TRENCH DRAIN	-	463.25	---	---	VARIES	---	N 564.755 E 1345.950	

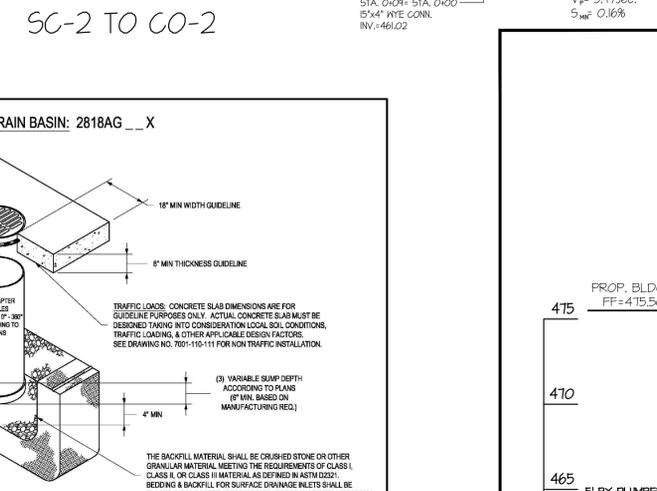
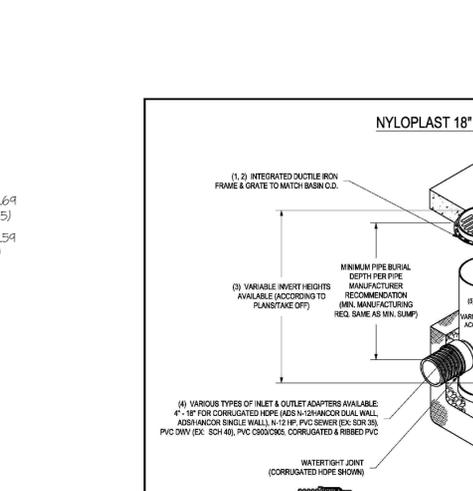
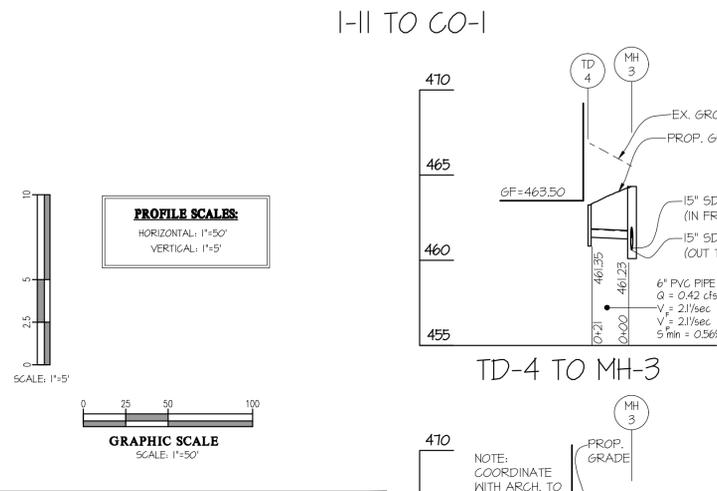
COORDINATE POINT GIVEN IS TO THE CENTERLINE OF THE STRUCTURE AT THE FACE OF CURB FOR INLETS AND TO THE CENTER OF STRUCTURE FOR MANHOLES AND END SECTIONS.
SEE MANUFACTURER'S SPECIFICATIONS FOR THE INSTALLATION OF TD-4. TD-4 WILL UTILIZE K300 CHANNELS WITH TYPE 51660 IRON GRATES (PART NO. 13673) OR EQUIVALENT. ALL TRENCH DRAIN COMPONENTS TO BE CLASS-C OR BETTER.



QUANTITIES (PRIVATE WATER & SEWER)		
ITEM	QUANTITY	TYPE
LAMP HOLE	1 EA.	-
8" SEWER MAIN	106 L.F.	PVC
4" MANHOLE	1 EA.	-
6" MHG	24 L.F.	C-900 DR-18

PIPE SCHEDULE (STORM DRAIN)			
SIZE	TYPE	QUANTITY (L.F.)	REMARKS
6"	PVC	65	PERFORMED
8"	HDPE	336	N-12 DUAL WALL
12"	HDPE	453	N-12 DUAL WALL
15"	HDPE	263	N-12 DUAL WALL
18"	HDPE	60	N-12 DUAL WALL

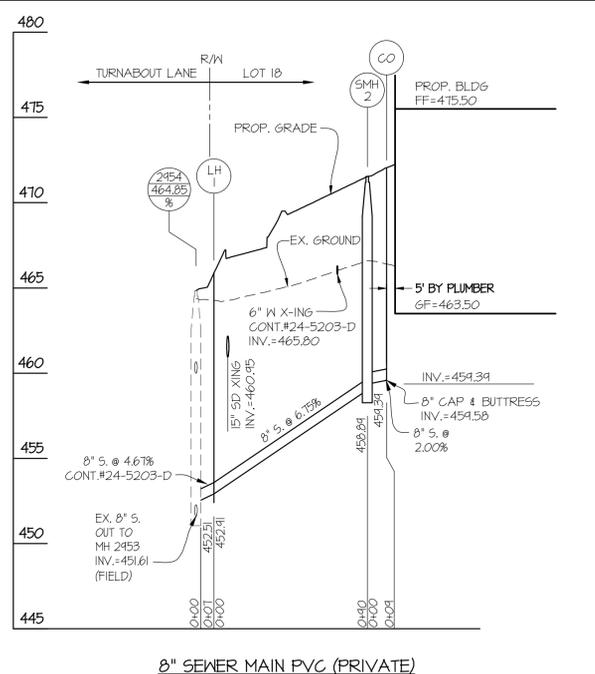
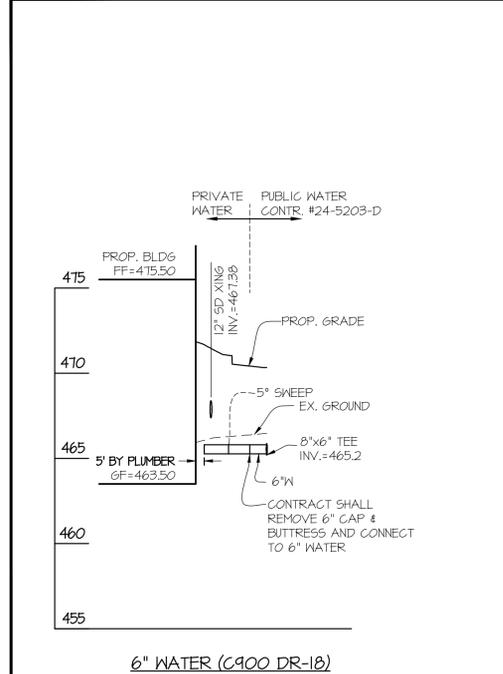
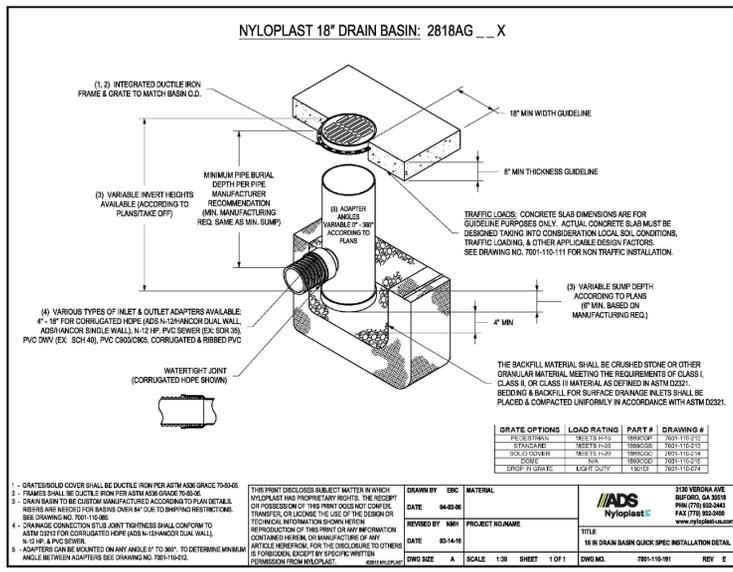
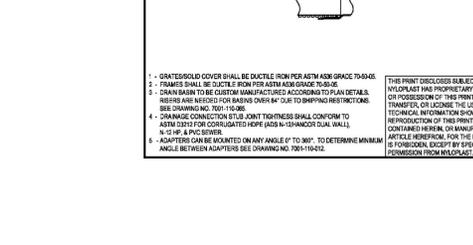
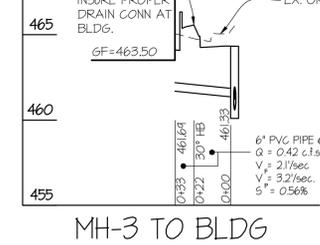
HDPE INDICATES HIGH DENSITY POLYETHYLENE PIPE, SUCH AS N-12 BY ADS, OR H-Q BY HANGOR OR AN APPROVED EQUAL.
TRENCH BEDDING TO BE PROVIDED PER HOWARD COUNTY DETAIL 6.2.01, TRENCH FOR P.V.C. PIPE AND H.D.P.E.



APPROVED
PLANNING BOARD OF HOWARD COUNTY
DATE: JANUARY 19, 2023

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
8/23/2023

Director: *Linda Eisenberg* Date: 8/23/2023
Chief, Division of Land Development: *Chad Edmondson* Date: 8/18/2023
Chief, Development Engineering Division: _____ Date: _____



GLW
PLANNING | ENGINEERING | SURVEYING
3509 NATIONAL DRIVE | SUITE 250 | BURTONTSVILLE, MD 20886 | GLWPA.COM
PHONE: 301-421-4024 | BALT: 410-890-1820 | DC&VA: 301-948-2024 | FAX: 301-421-4186

DESIGNED BY:	DATE:	REVISION	BY	APPR.
LDD				
LDD				

PREPARED FOR:
Enterprise
Enterprise Community Homes Housing LLC (Owner)
Enterprise Community Development, Inc. (Developer)
875 Hollin Street, Suite 202, Baltimore, MD 21201
410-332-7400

PROFESSIONAL CERTIFICATION
I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 12978
EXPIRATION DATE: MAY 28, 2024



UTILITY PROFILES
Village of Harper's Choice
Section 3, Area 2
Lot 18 (Ranleigh Court Apartments)
FDP-30-A-V
Plat No. 26354

SCALE: AS SHOWN
ZONING: NT
DATE: JULY 2023
TAX MAP - GRID: 29 - 23
SHEET: 9 OF 25

ELECTION DISTRICT No. 5
HOWARD COUNTY, MARYLAND

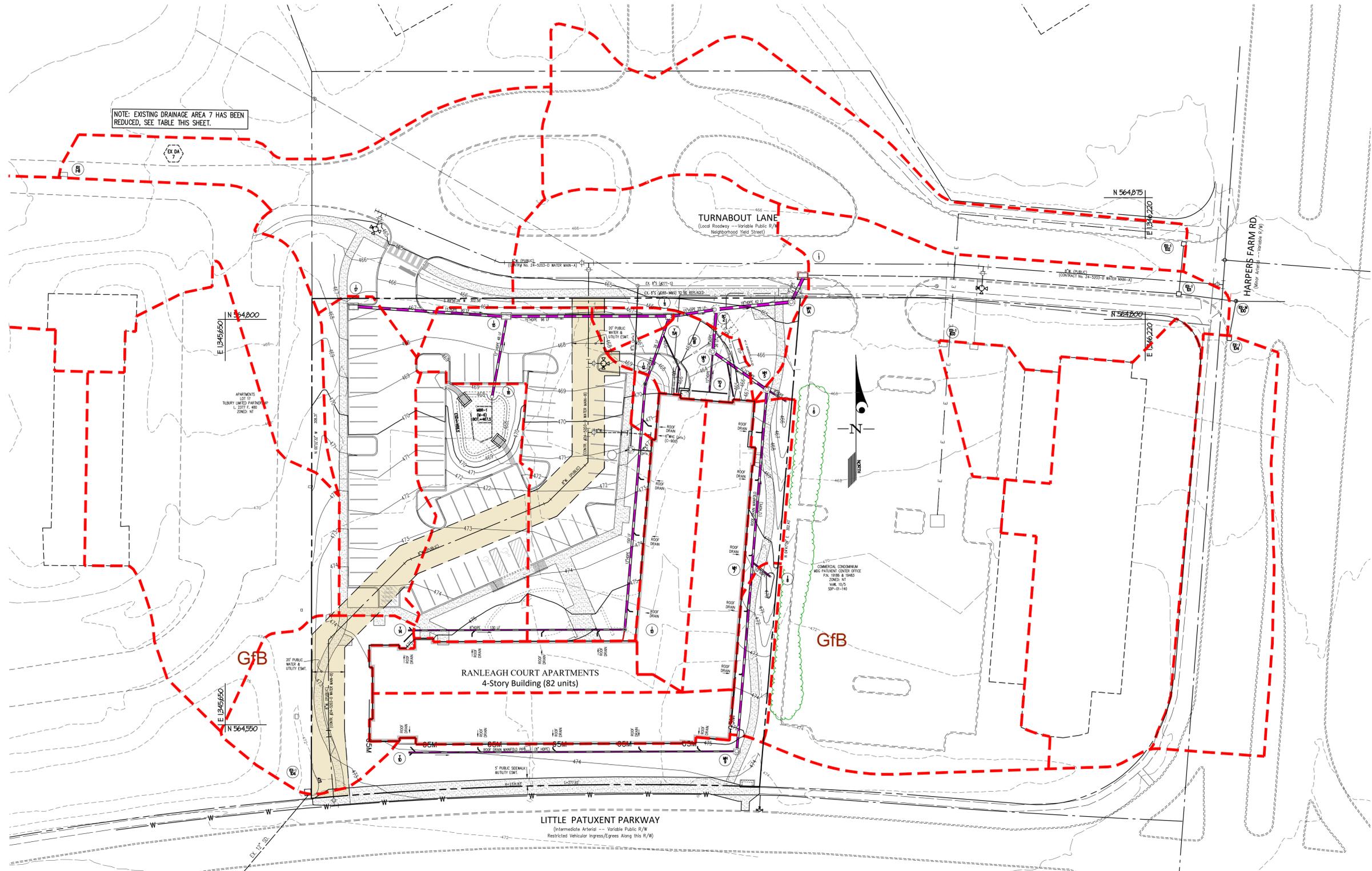
SCALE	ZONING	G. L. W. FILE NO.
AS SHOWN	NT	21111
DATE	TAX MAP - GRID	SHEET
JULY 2023	29 - 23	9 OF 25

'C' FACTOR COMPUTATIONS			
STRUCTURE	AREA (AC.)	'C'	IMPERVIOUS
I-1	0.33	0.56	50%
I-6	0.05	0.56	50%
I-8	0.05	0.56	50%
I-11	0.02	0.81	100%
I-12	0.02	0.30	10%
I-15	0.34	0.71	75%
I-16	0.25	0.62	54%
I-17	0.23	0.78	85%
MH-4	0.13	0.81	100%
MH-10	0.16	0.81	100%
MH-13	0.13	0.81	100%
MH-14	0.12	0.81	100%
TD-4	0.07	0.71	75%
ESD	0.54	0.62	60%
EX. I-101	1.17	0.65	65%
EX. I-102	0.53	0.81	55%
EX. I-103	0.11	0.74	60%
EX. I-104	0.32	0.71	75%
EX. I-105	0.14	0.30	10%

EXHIBIT A - For Existing & Proposed Drainage Area to Existing Inlet I-8					
DA No.	Total Area (sq-ft)	Composite Area (Ac.)	Composite 'C'	% IMPERVIOUS	AC
*EX. DA-7	24,501	0.56 Ac.	0.56	50%	0.31
PROJ. DA-7	16,228	0.37 Ac.	0.59	58%	0.22

*EXISTING DRAINAGE AREA BASED DRAINAGE AREA SHOWN IN SDP-23

FROM NO.	TO NO.	DIA. (IN) #	L (FT)
Y-10	MH-4	12" HDPE	168
MH-4	MH-7	12" HDPE	115
I-8	MH-7	12" HDPE	13
Y-7	MH-5	12" HDPE	104
I-6	MH-5	12" HDPE	12
MH-5	MH-3	15" HDPE	42
TD-4	MH-3	6" HDPE	25
MH-3	SG-2	15" HDPE	26
Y-14	I-13	8" HDPE	130
I-13	I-12	12" HDPE	150
I-12	I-11	12" HDPE	36
I-17	I-15	15" HDPE	90
I-16	I-15	12" HDPE	47
I-15	I-11	15" HDPE	96
I-11	SG-2	15" HDPE	25
SG-2	I-1	18" HDPE	52
I-1	EX. I-101	18" RCP	70



NOTE: EXISTING DRAINAGE AREA 7 HAS BEEN REDUCED, SEE TABLE THIS SHEET.

APPROVED
PLANNING BOARD OF HOWARD COUNTY
DATE: JANUARY 19, 2023

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
8/23/2023
Director: *Lynda Eisenberg*
Date: 8/23/2023
Chief, Division of Land Development: *Mark Edmondson*
Date: 8/18/2023
Chief, Development Engineering Division: _____
Date: _____

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DESIGNED BY:	DATE:	REVISION:	BY:	APPR.:

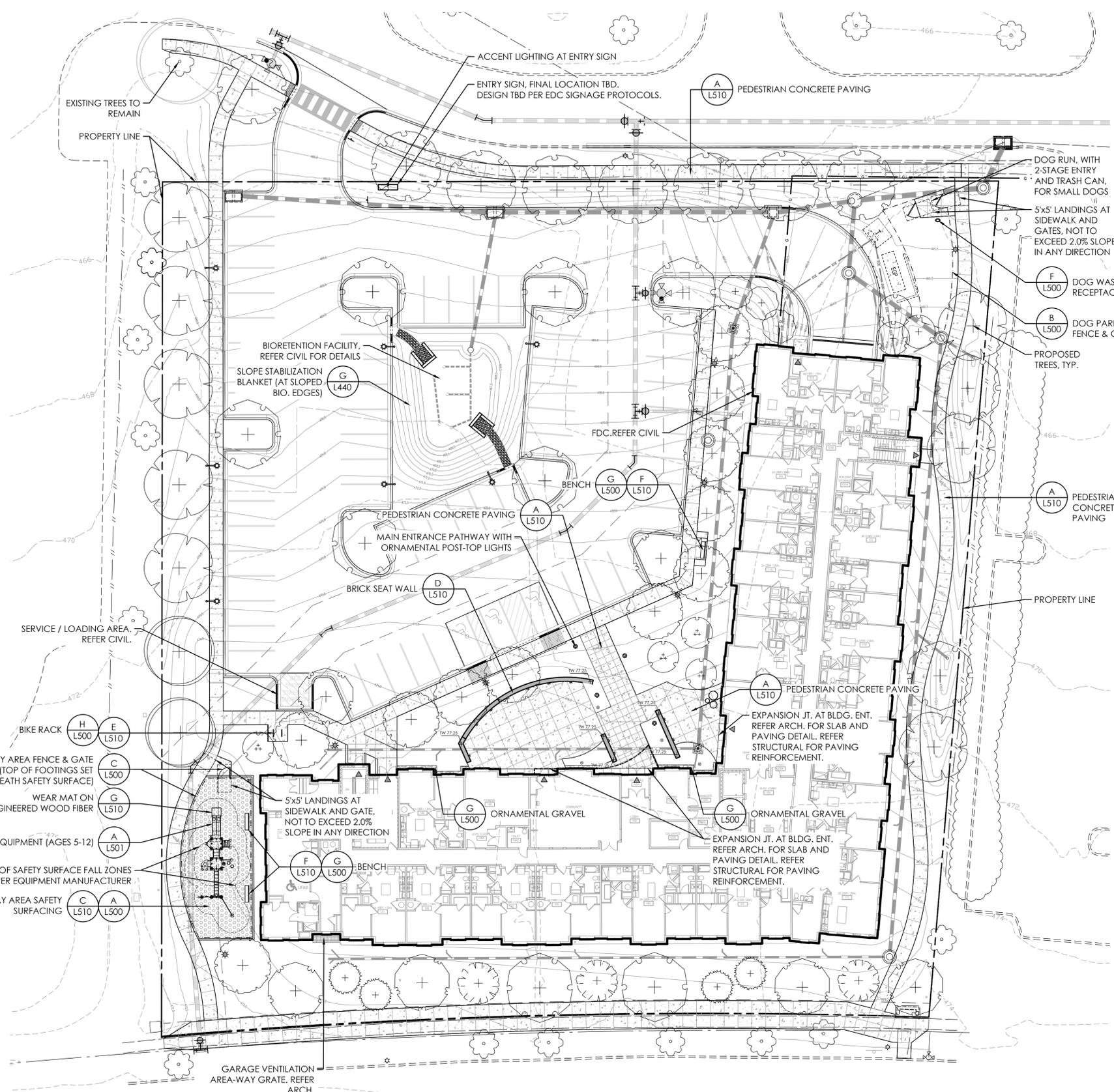
PREPARED FOR:
Enterprise
Enterprise Community Homes Housing LLC (Owner)
Enterprise Community Development, Inc. (Developer)
875 Hollin Street, Suite 202, Baltimore, MD 21201
410-332-7400

PROFESSIONAL CERTIFICATION
I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 12973
EXPIRATION DATE: MAY 28, 2024 07/28/23

STORMDRAIN DRAINAGE AREA DELINEATION
Village of Harper's Choice
Section 3, Area 2
Lot 18 (Ranleigh Court Apartments)
FDP-30-A-V
Plat No. 26354
ELECTION DISTRICT No. 5
HOWARD COUNTY, MARYLAND

SCALE	ZONING	G. L. W. FILE NO.
1" = 30'	NT	21111
DATE	TAX MAP - GRID	SHEET
JULY 2023	29 - 23	10 OF 25





MATERIALS LEGEND

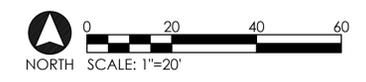
- PROPERTY LINE
- DOG PARK FENCE
- PLAYGROUND FENCE
- CONCRETE PAVING
- ORNAMENTAL GRAVEL
- PLAYGROUND SAFETY SURFACE
- SYNTHETIC TURF AT DOG RELIEF AREAS
- BIORETENTION; REFER CIVIL FOR DEPTH AND SPECIFICATIONS
- LIGHT L1
- LIGHT L2
- LIGHT L3
- LIGHT L4
- LIGHT L5
- SITE BENCH

SEE SHEET L800 FOR FULL EXTERIOR LIGHTING PLAN

* CONTRACTOR TO VERIFY THAT ALL QUANTITIES LISTED MATCH THE PLAN. NOTIFY LANDSCAPE ARCHITECT OF DISCREPANCIES.

APPROVED
PLANNING BOARD OF HOWARD COUNTY
DATE: JANUARY 19, 2023

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
8/23/2023
Director: *Lynda Eisenberg* Date: 8/23/2023
Chief, Division of Land Development: *Chad Edmondson* Date: 8/18/2023
Chief, Development Engineering Division: _____ Date: _____



SDP SUBMISSION

DESIGNED BY:	ET			
DRAWN BY:	ET, PT			
CHECKED BY:	SB			
	DATE	REVISION	BY	APPR.

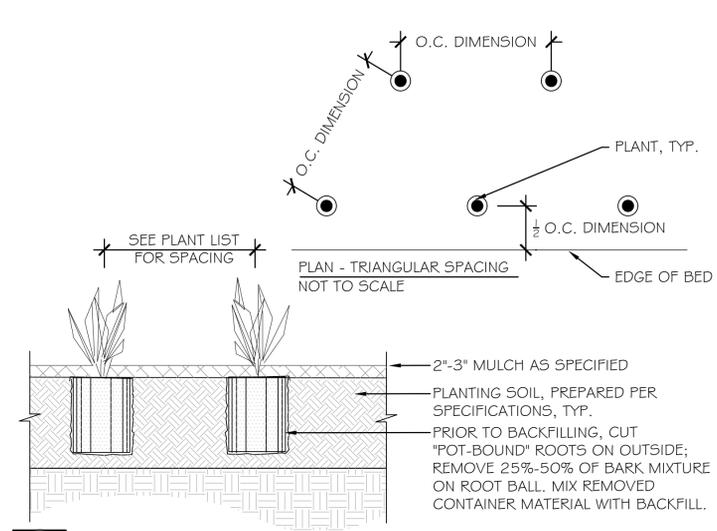
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BRADLEY SITE DESIGN, INC.
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www.bradleysitedesign.com

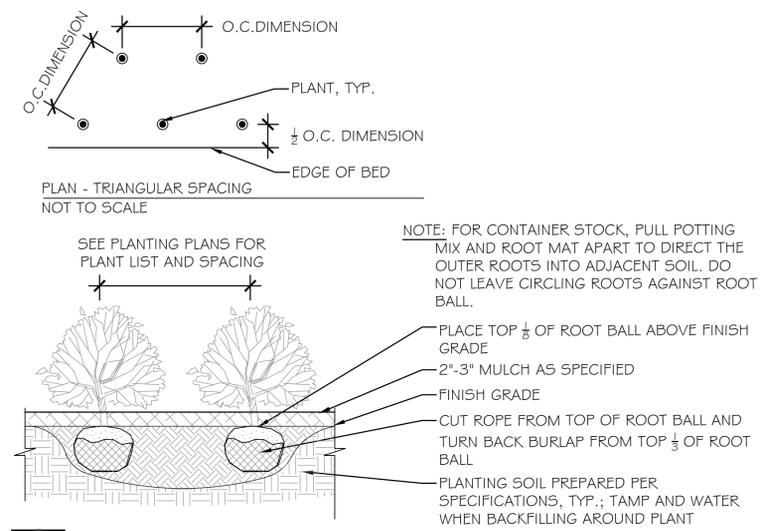


MATERIALS PLAN
Village of Harper's Choice
Section 3, Area 2
Lot 18 (Ranleigh Court Apartments)
FDP-30-A-V
Plat No. 26354
ELECTION DISTRICT No. 5
HOWARD COUNTY, MARYLAND

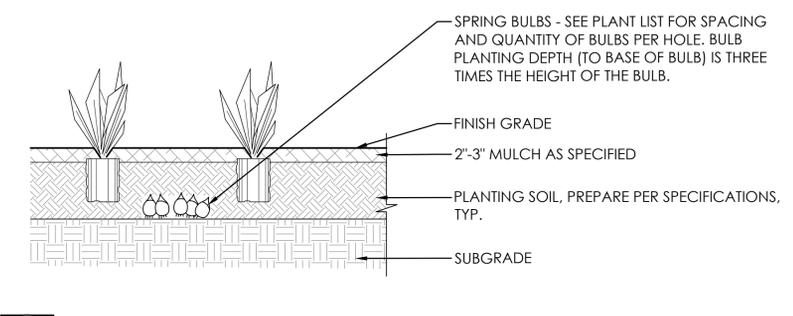
SCALE	ZONING	B.S.D. FILE No.
1" = 20'	NT	L101
DATE	TAX MAP - GRID	SHEET
JULY 2023	29 - 23	11 OF 25



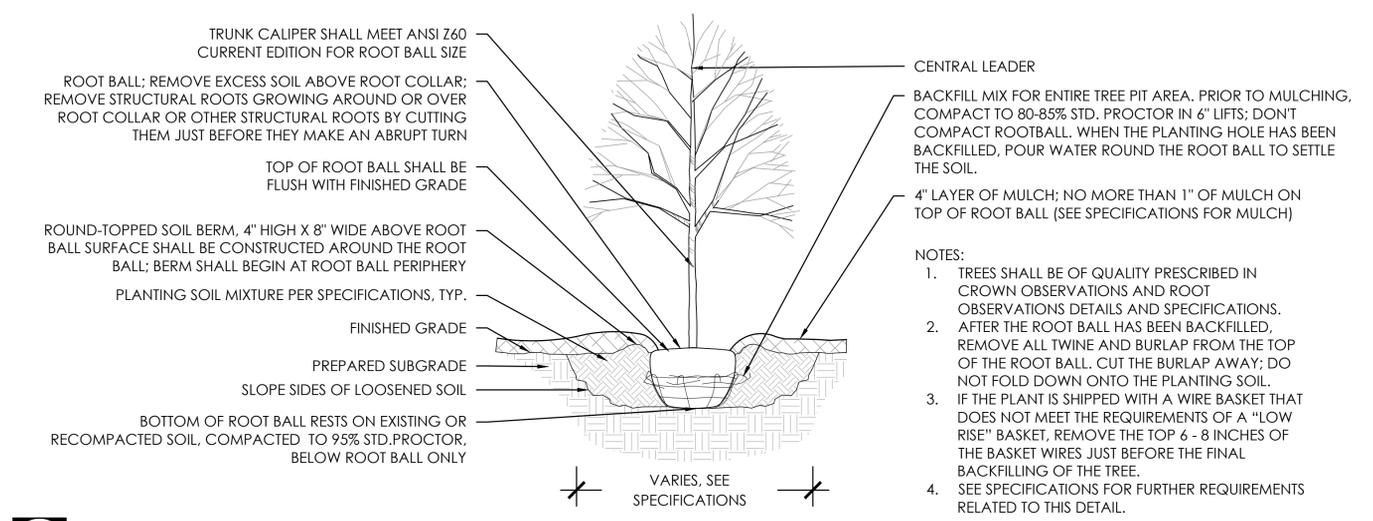
A PERENNIAL PLANTING
1" = 1'-0"



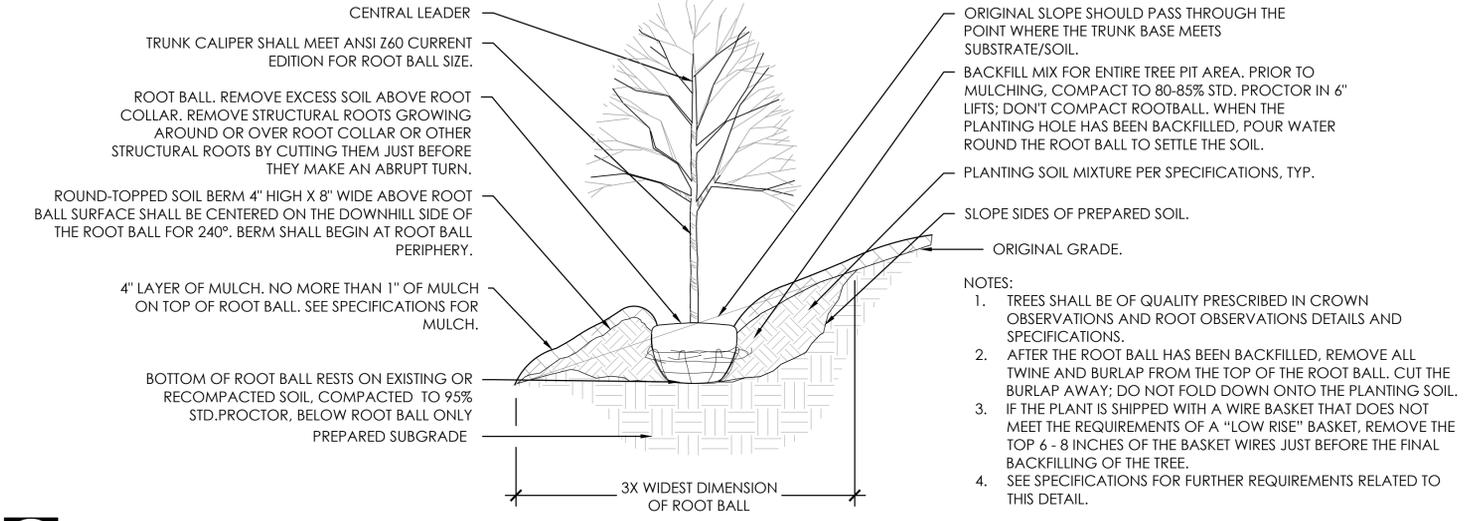
B SHRUB PLANTING
1" = 1'-0"



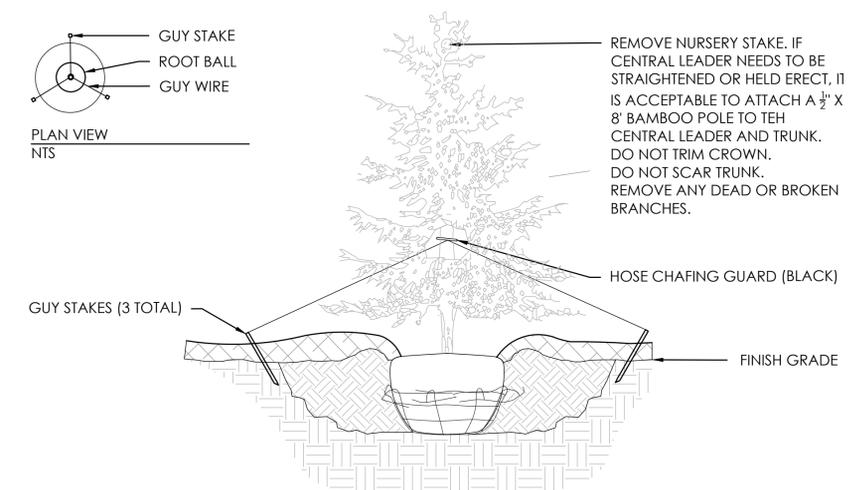
C BULB PLANTING (2)
1" = 1'-0"



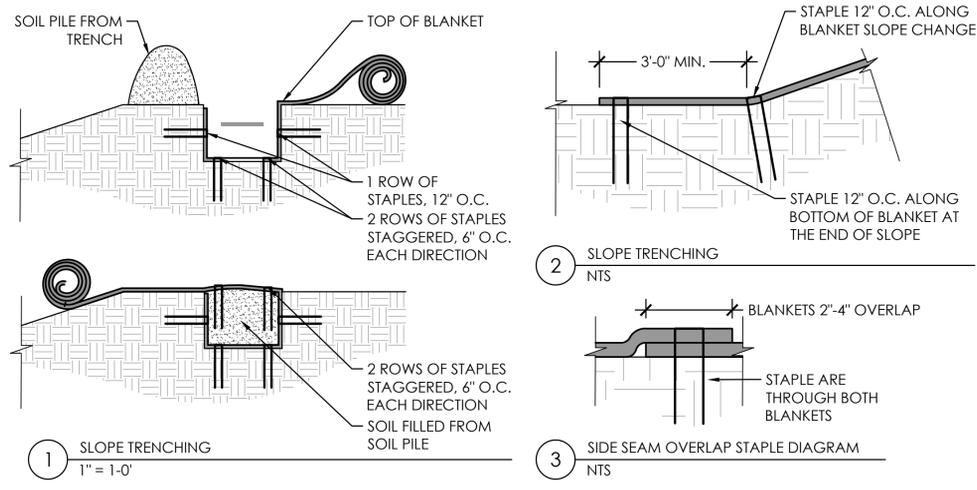
D TREE PLANTING
3/4" = 1'-0"



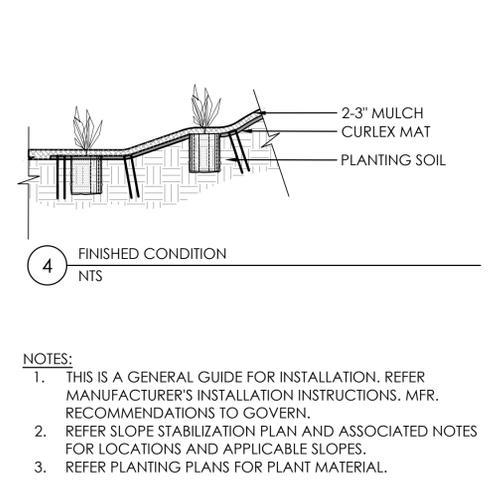
E TREE PLANTING ON 5%-50% SLOPE
3/4" = 1'



F EVERGREEN TREE PLANTING
NTS



G SLOPE STABILIZATION BLANKET
VARIES



H FINISHED CONDITION
NTS

APPROVED
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DATE: JANUARY 19, 2023

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8/23/2023
Director: *Lynda Eisenberg*
Date: 8/23/2023

Chief, Division of Land Development: *Chad Edmondson*
Date: 8/18/2023
Chief, Development Engineering Division: _____
Date: _____

DESIGNED BY:	BS			
DRAWN BY:	EMACT			
CHECKED BY:	SB			
DATE		REVISION		BY APPR.

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BRADLEY SITE DESIGN, INC.
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PLANTING DETAILS
Village of Harper's Choice
Section 3, Area 2
Lot 18 (Ranleigh Court Apartments)
FDP-30-A-V
Plat No. 26354
ELECTION DISTRICT No. 5
HOWARD COUNTY, MARYLAND

SCALE	ZONING	B.S.D. FILE No.
AS SHOWN	NT	L440
DATE	TAX MAP - GRID	SHEET
JULY 2023	29 - 23	14 OF 25

SDP SUBMISSION



PRODUCT: WOODCARPET SYSTEM 1 - ENGINEERED WOOD FIBER
 MANUFACTURER: ZEAGER BROTHERS INC.
 4000 EAST HARRISBURG PIKE
 MIDDLETOWN, PA 17057
 800.346.8524
 MATERIAL(S): ENGINEERED WOOD FIBER
 COLOR(S): NATURAL
 FINISH: REFER TO PLAN DRAWINGS

A PIP SAFETY SURFACE



PRODUCT: WIREWORKS PLUS WELDED WIRE STEEL FENCE W/ SINGLE GATE
 MANUFACTURER: AMERISTAR
 WWW.AMERISTARFENCE.COM
 DIMENSIONS: 4' HT.
 MATERIAL(S): STEEL
 COLOR(S): BLACK
 FINISH: N/A
 QTY: REFER TO PLAN DRAWINGS
 NOTES: "OPEN" PER ZONING CODE.

B DOG PARK FENCE & GATE



PRODUCT: MONTAGE PLUS ORNAMENTAL FENCE W/ SINGLE GATE
 MANUFACTURER: AMERISTAR
 WWW.AMERISTARFENCE.COM
 DIMENSIONS: 4' HT
 MATERIAL(S): STEEL
 COLOR(S): BLACK
 FINISH: N/A
 QTY: REFER TO PLAN DRAWINGS
 NOTES: "OPEN" PER ZONING CODE

C PLAY AREA FENCE & GATE



PRODUCT: TUFFMAT
 MANUFACTURER: ZEAGER BROTHERS INC.
 4000 EAST HARRISBURG PIKE
 MIDDLETOWN, PA 17057
 800.346.8524
 DIMENSIONS: 40" X 40" X 1.5"
 MATERIAL(S): HEAVY DUTY VINYL OVER RECYCLED POLYETHYLENE FOAM BASE
 FINISH: REFER TO PLAN DRAWINGS

D WEAR MAT AT PLAY AREA



PRODUCT: MODERN DOG KIT
 MANUFACTURER: PET PICK-UPS
 DENVER, CO 80246
 www.petpickups.com
 P: 303-443-8914
 DIMENSIONS: 72.4" H X 19.4" W X 9.1" D
 COLOR(S): SILVER
 NOTES: CONTRACTOR TO ATTACH TO 2"x2" GALVANIZED STEEL SQUARE POST AT HEIGHT PER MANUFACTURER.

E DOG WASTE RECEPTACLE



PRODUCT: LINK BENCH - INLINE STRAIGHT - BACKED WITH ARMS - METAL LEGS
 MANUFACTURER: LANDSCAPEFORMS
 KELLIE MCKEEVER SUTTON - KELLIE@NOALNBRANDS.COM
 NOLAN BRANDS
 703.994.9342
 DIMENSIONS: 25.25"W X 67.5"L X 33.75"H
 MATERIAL(S): WOOD, POWDER-COATED METAL
 COLOR(S): TITANIUM
 FINISH: N/A
 QTY: REFER TO PLAN DRAWINGS

F BENCH



PRODUCT: HUDSON VALLEY GRAVEL 1" - 3"
 MANUFACTURER: THE STONE STORE
 7535 RAILROAD AVENUE
 HARMANS, MD 21077
 410.766.4242 / SALES@THESTONESTORE.COM
 DIMENSIONS: 1" - 3"
 FINISH: REFER TO PLAN DRAWINGS

G ORNAMENTAL GRAVEL



PRODUCT: BOLA BIKE RACK
 MANUFACTURER: LANDSCAPEFORMS
 7800 E. MICHIGAN AVE, KALAMAZOO, MI 49084
 LANDSCAPEFORM.COM
 MARIE DAVIS
 703.864.6323 marie@nolanbrands.com
 DIMENSIONS: 2'D x 28"W x 32"H
 MATERIAL(S): METAL
 COLOR(S): TITANIUM
 FINISH: PANGARD II POLYESTER POWDERCOATED METAL
 QTY: REFER TO PLAN DRAWINGS

H BIKE RACK

APPROVED
 PLANNING BOARD OF HOWARD COUNTY
 DATE: JANUARY 19, 2023

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
 8/23/2023
 Director: *Lynda Eisenberg* Date: 8/23/2023
 Chief, Division of Land Development: *[Signature]* Date: 8/18/2023
 Chief, Development Engineering Division: *[Signature]* Date:

SDP SUBMISSION

DESIGNED BY:	ET				
DRAWN BY:	ET, PT				
CHECKED BY:	SB				
	DATE	REVISION	BY	APPR.	

PREPARED FOR:
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 Enterprise Community Homes Housing LLC (Owner)
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 875 Hollin Street, Suite 202, Baltimore, MD 21201
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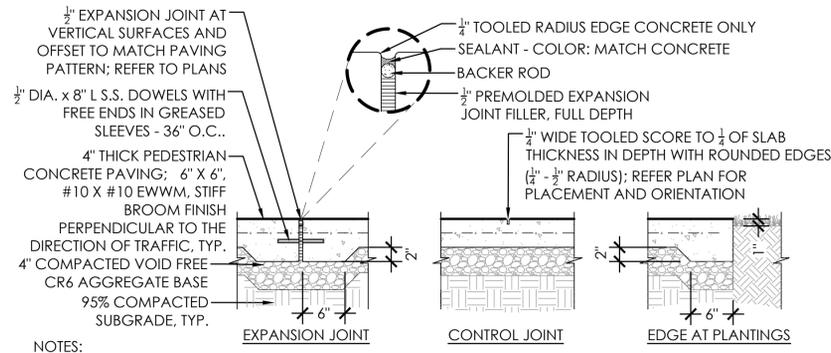
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Sharon Bradley

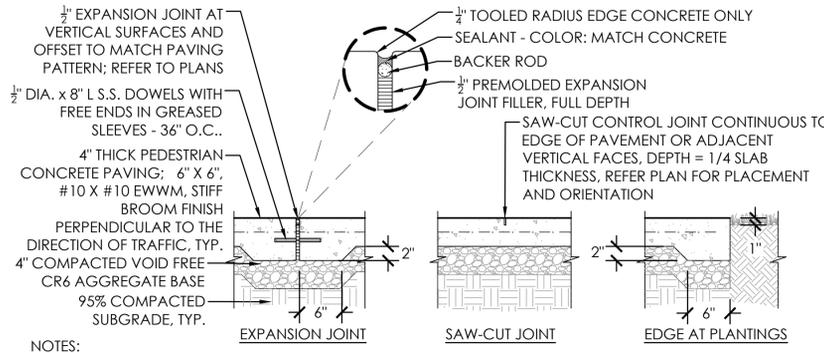
PRODUCT INFORMATION
 Village of Harper's Choice
 Section 3, Area 2
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SCALE	ZONING	B.S.D. FILE No.
NTS	NT	L500
DATE	TAX MAP - GRID	SHEET
JULY 2023	29 - 23	15 OF 25



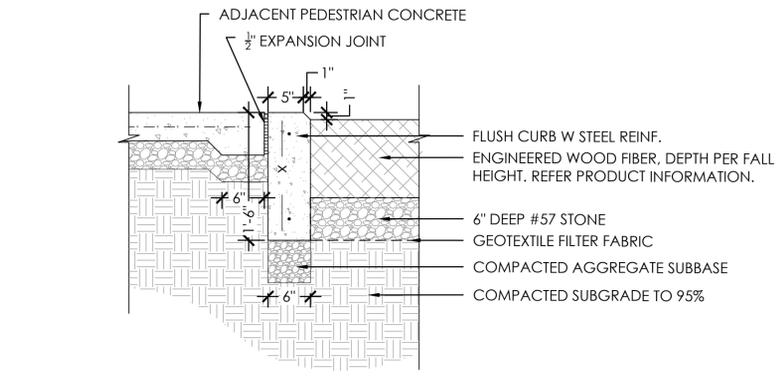
- NOTES:
- CONDITIONS VARY, PROVIDE EXPANSION JOINT WHERE WALKS ARE POURED AGAINST VERTICAL SURFACES AND/OR DIFFERENT PAVING MATERIALS AND AS SPECIFIED IN CIVIL DRAWINGS. EXPANSION JOINTS SHALL OCCUR EVERY 400 SF OR 20 LF IN SIDEWALKS.
 - MEET 1" ABOVE ADJACENT FINISHED LAWN AND PLANTING AREA GRADES.
 - REMOVE TOOL MARKS.
 - CROSS SLOPES ON SIDEWALKS MUST NOT BE LESS THAN 1% OR EXCEED 2%. MANHOLES, VALVE BOXES AND OTHER AT GRADE UTILITIES AND COVERS MUST BE ADJUSTED TO MEET FINISH GRADE.

A PEDESTRIAN CONCRETE PAVING
1" = 1'-0"

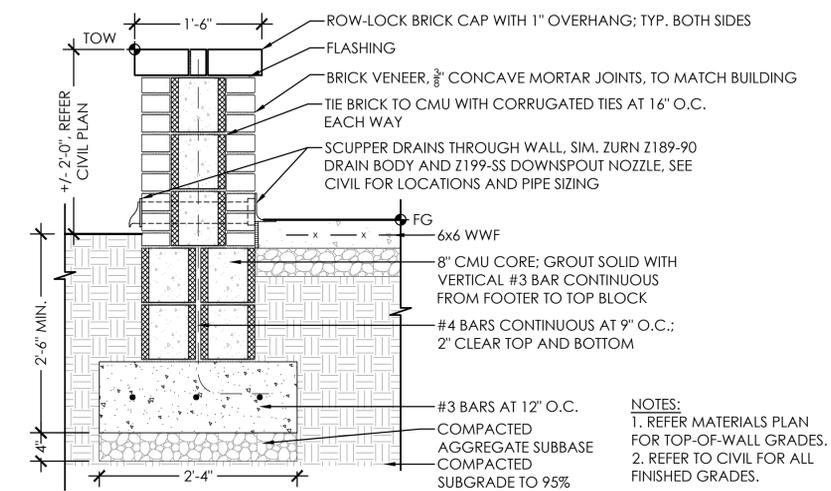


- NOTES:
- CONDITIONS VARY, PROVIDE EXPANSION JOINT WHERE WALKS ARE POURED AGAINST VERTICAL SURFACES AND/OR DIFFERENT PAVING MATERIALS AND AS SPECIFIED IN CIVIL DRAWINGS. EXPANSION JOINTS SHALL OCCUR EVERY 400 SF OR 20 LF IN SIDEWALKS.
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 - REMOVE TOOL MARKS.
 - CROSS SLOPES ON SIDEWALKS MUST NOT BE LESS THAN 1% OR EXCEED 2%. MANHOLES, VALVE BOXES AND OTHER AT GRADE UTILITIES AND COVERS MUST BE ADJUSTED TO MEET FINISH GRADE.
 - PROVIDE MOCKUP FOR APPROVAL BY LANDSCAPE ARCHITECT PRIOR TO POUR.

B PEDESTRIAN CONCRETE PAVING WITH SAW-CUT JOINTS
1" = 1'-0"

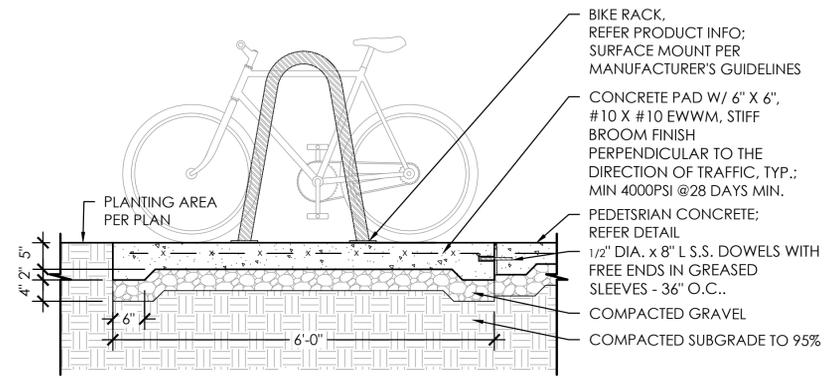


C PLAY AREA SAFETY SURFACING
1" = 1'-0"

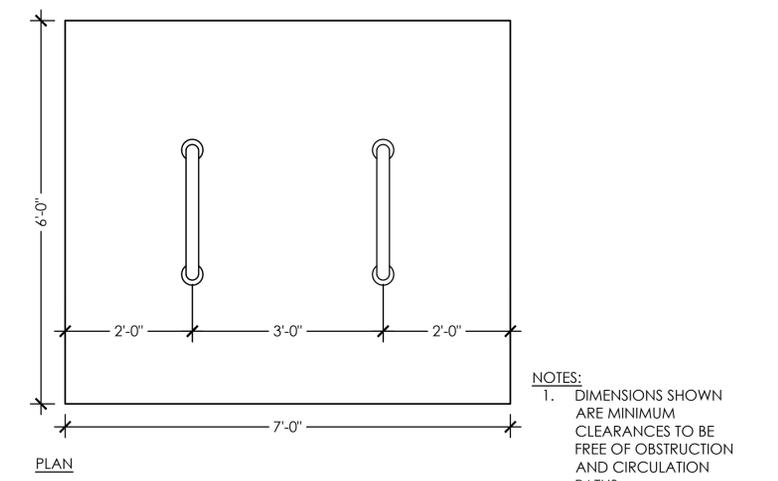


- NOTES:
- REFER MATERIALS PLAN FOR TOP-OF-WALL GRADES.
 - REFER TO CIVIL FOR ALL FINISHED GRADES.

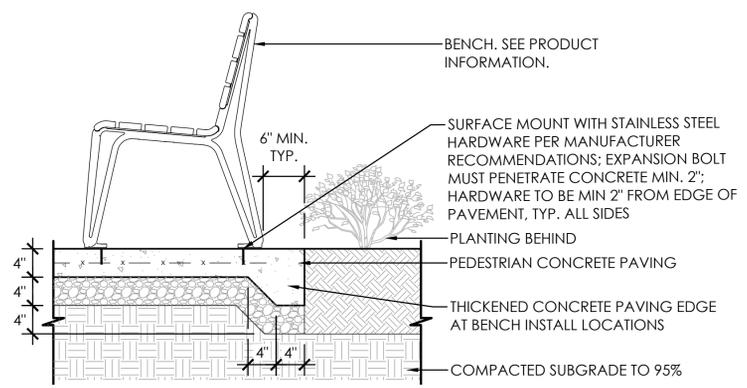
D BRICK SEAT WALL
1" = 1'-0"



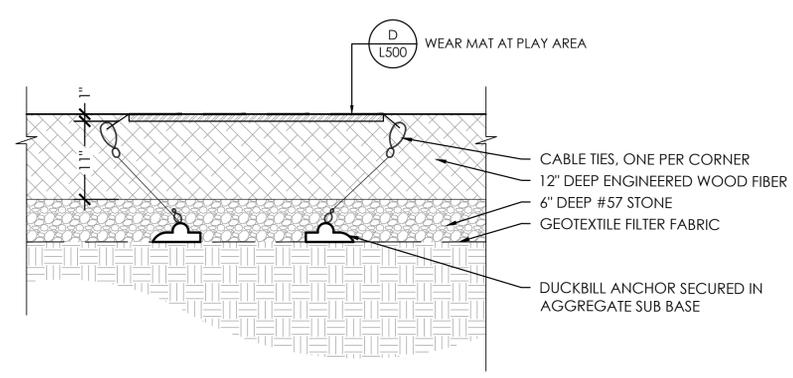
E BIKE RACK
3/4" = 1'-0"



- NOTES:
- DIMENSIONS SHOWN ARE MINIMUM CLEARANCES TO BE FREE OF OBSTRUCTION AND CIRCULATION PATHS.



F BENCH MOUNTING
1" = 1'-0"



G WEAR MAT ON ENGINEERED WOOD FIBER
1" = 1'-0"

APPROVED
PLANNING BOARD OF HOWARD COUNTY
DATE: JANUARY 19, 2023

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
8/23/2023
Director: *Lynda Eisenberg* Date: 8/23/2023
Chief, Division of Land Development: *Chad Edmondson* Date: 8/18/2023
Chief, Development Engineering Division

DESIGNED BY:	DATE	REVISION	BY	APPR.
ET				
DRAWN BY:				
ET, PT				
CHECKED BY:				
SB				

PREPARED FOR:
Enterprise
Enterprise Community Homes Housing LLC (Owner)
Enterprise Community Development, Inc. (Developer)
875 Hollin Street, Suite 202, Baltimore, MD 21201
410-332-7400

BRADLEY SITE DESIGN, INC.
Landscape Architecture
1010 Wisconsin Avenue NW Suite 620
Washington, DC 20007
P: 202.695.8056 08/02/23
www.bradleysitedesign.com



CONSTRUCTION DETAILS
Village of Harper's Choice
Section 3, Area 2
Lot 18 (Ranleigh Court Apartments)
FDP-30-A-V
Plat No. 26354
ELECTION DISTRICT No. 5
HOWARD COUNTY, MARYLAND

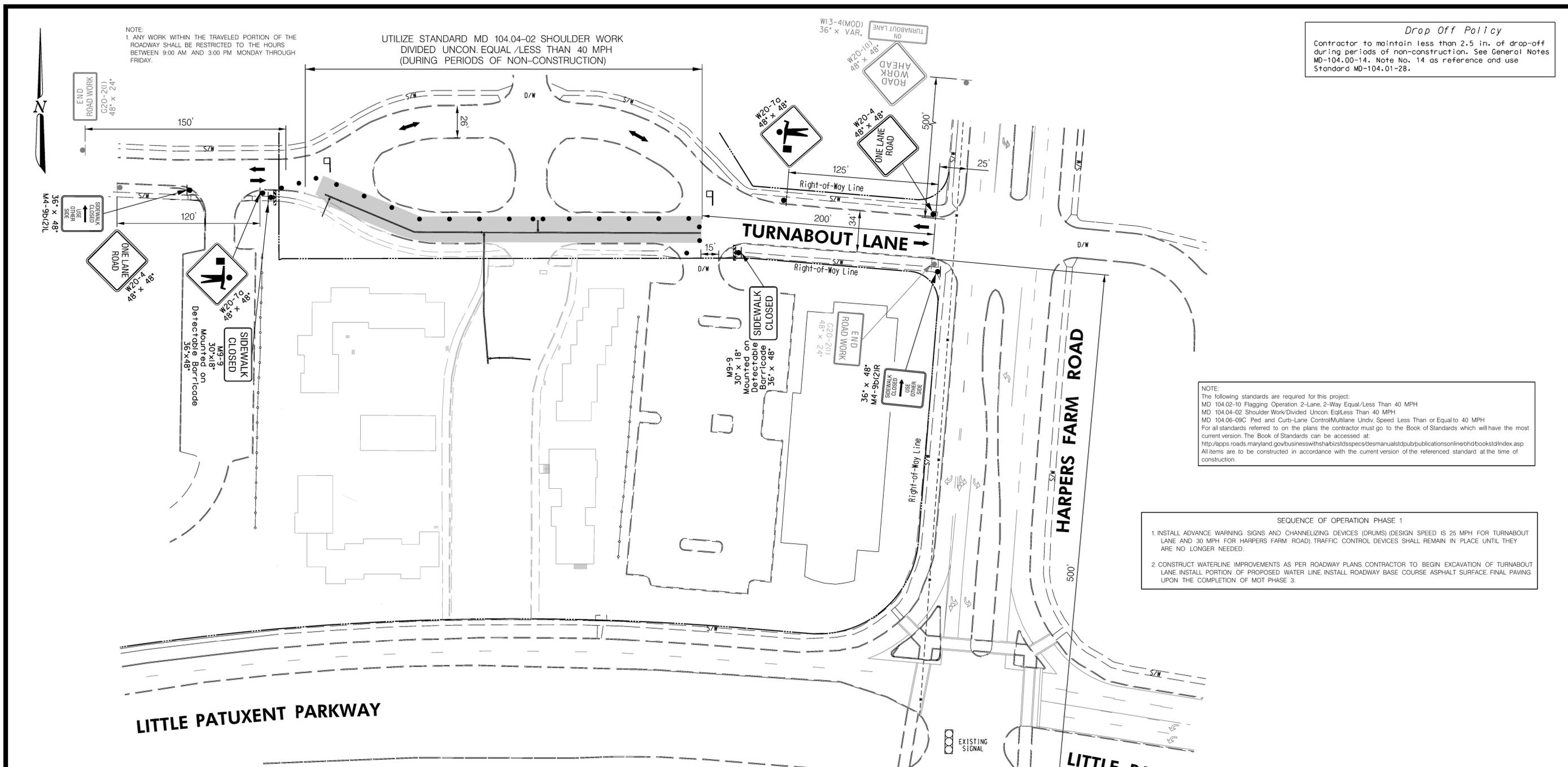
SCALE	ZONING	B.S.D. FILE No.
AS SHOWN	NT	L510
DATE	TAX MAP - GRID	SHEET
JULY 2023	29 - 23	16 OF 25

SDP SUBMISSION

Drop Off Policy
 Contractor to maintain less than 2.5 in. of drop-off during periods of non-construction. See General Notes MD-104.00-14. Note No. 14 as reference and use Standard MD-104.01-28.

NOTE:
 1. ANY WORK WITHIN THE TRAVELED PORTION OF THE ROADWAY SHALL BE RESTRICTED TO THE HOURS BETWEEN 9:00 AM AND 3:00 PM MONDAY THROUGH FRIDAY.

UTILIZE STANDARD MD 104.04-02 SHOULDER WORK DIVIDED UNCON. EQUAL /LESS THAN 40 MPH (DURING PERIODS OF NON-CONSTRUCTION)



NOTE:
 The following standards are required for this project:
 MD 104.02-10 Flagging Operation 2-Lane, 2-Way Equal/Less Than 40 MPH
 MD 104.04-02 Shoulder Work/Divided Uncon. Eq/Less Than 40 MPH
 MD 104.06-09C Ped and Curb-Lane Control/Multi Lane Undiv. Speed Less Than or Equal to 40 MPH
 For all standards referred to on the plans the contractor must go to the Book of Standards which will have the most current version. The Book of Standards can be accessed at:
<http://apps.roads.maryland.gov/businesswithshabizstdspecsdesmanualstdpubpublicationsonline/hdb/boostd/index.asp>
 All items are to be constructed in accordance with the current version of the referenced standard at the time of construction.

SEQUENCE OF OPERATION PHASE 1

1. INSTALL ADVANCE WARNING SIGNS AND CHANNELIZING DEVICES (DRUMS) (DESIGN SPEED IS 25 MPH FOR TURNABOUT LANE AND 30 MPH FOR HARPERS FARM ROAD); TRAFFIC CONTROL DEVICES SHALL REMAIN IN PLACE UNTIL THEY ARE NO LONGER NEEDED.
2. CONSTRUCT WATERLINE IMPROVEMENTS AS PER ROADWAY PLANS CONTRACTOR TO BEGIN EXCAVATION OF TURNABOUT LANE. INSTALL PORTION OF PROPOSED WATER LINE. INSTALL ROADWAY BASE COURSE ASPHALT SURFACE. FINAL PAVING UPON THE COMPLETION OF MOT PHASE 3.

LITTLE PATUXENT PARKWAY

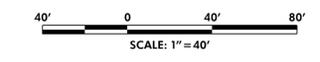
LITTLE PATUXENT PARKWAY

APPROVED
 PLANNING BOARD OF HOWARD COUNTY
 DATE: JANUARY 19, 2023

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
 8/23/2023
 Director: *Linda Eisenberg*
 Date: 8/23/2023
 Chief, Division of Planning: *Chad Edmondson*
 Date: 8/18/2023
 Chief, Development Engineering Division: _____
 Date: _____

LEGEND

- DRUM
- ↑ POST SIGN
- ↑ TRAFFIC FLOW ARROW
- CURRENT PHASE WORK AREA
- ◇ ROAD WORK EXISTING SIGN
- ◇ ROAD WORK PROPOSED SIGN
- ⊞ EXISTING SIGNAL
- ⊞ ARROW PANEL



The Traffic Group, Inc.
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 Baltimore, Maryland 21236
 410-931-6600 1-800-583-8411 Fax: 410-931-6601
 www.trafficgroup.com
 "Merging Innovation and Excellence"®

DESIGNED BY	DATE	REVISION	BY	APPR.

PREPARED FOR:
Enterprise
 Enterprise Community Homes Housing LLC (Owner)
 Enterprise Community Development, Inc. (Developer)
 875 Hollin Street, Suite 202, Baltimore, MD 21201
 410-332-7400

PROFESSIONAL CERTIFICATION - I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.
 LICENSE NO.: 17243
 EXPIRATION DATE: 2-7-25 08/02/23

MICKEY A. CORRIE, III
 PROFESSIONAL ENGINEER

MAINTENANCE OF TRAFFIC PLAN - PHASE 1
 VILLAGE OF HARPER'S CHOICE
 Section 3, Area 2
 Lot 18 (Ranleigh Court Apartments)
 FDP-30-A-V
 PLAT NO. 26354
 HOWARD COUNTY, MARYLAND
 ELECTION DISTRICT No. 5

SCALE	ZONING	TTG FILE NO.
1" = 40'	NT	2022-0513
DATE	TAX MAP - GRID	SHEET
AUGUST 2023	29 - 23	17 OF 25

SEQUENCE OF OPERATION PHASE 2

- INSTALL ADVANCE WARNING SIGNS AND CHANNELIZING DEVICES (DRUMS) (DESIGN SPEED IS 25 MPH FOR TURNABOUT LANE AND 30 MPH FOR HARPERS FARM ROAD). TRAFFIC CONTROL DEVICES SHALL REMAIN IN PLACE UNTIL THEY ARE NO LONGER NEEDED.
- CONSTRUCT WATERLINE IMPROVEMENTS AS PER ROADWAY PLANS. CONTRACTOR TO BEGIN EXCAVATION OF TURNABOUT LANE.) INSTALL PORTION OF PROPOSED WATER LINE. INSTALL ROADWAY BASE COURSE ASPHALT SURFACE. FINAL PAVING UPON THE COMPLETION OF PHASE 3.

NOTE:
The following standards are required for this project:
MD 104.03-02 Shoulder Work /Multilane Undiv. Eqt/Less Than 40 MPH
MD 104.04-06 Right Lane Closure /Divided Uncon. Eqt/Less Than 40 MPH
MD 104.006-09C Ped and Curb-Lane Control/Multilane Undiv. Speed Less Than or Equal to 40 MPH
For all standards referred to on the plans the contractor must go to the Book of Standards which will have the most current version. The Book of Standards can be accessed at:
<http://apps.roads.maryland.gov/businesswithshabizstdspecsdesmanualstdpubpublicationsonlinebhdbookstd/index.asp>
All items are to be constructed in accordance with the current version of the referenced standard at the time of construction.

NOTES:

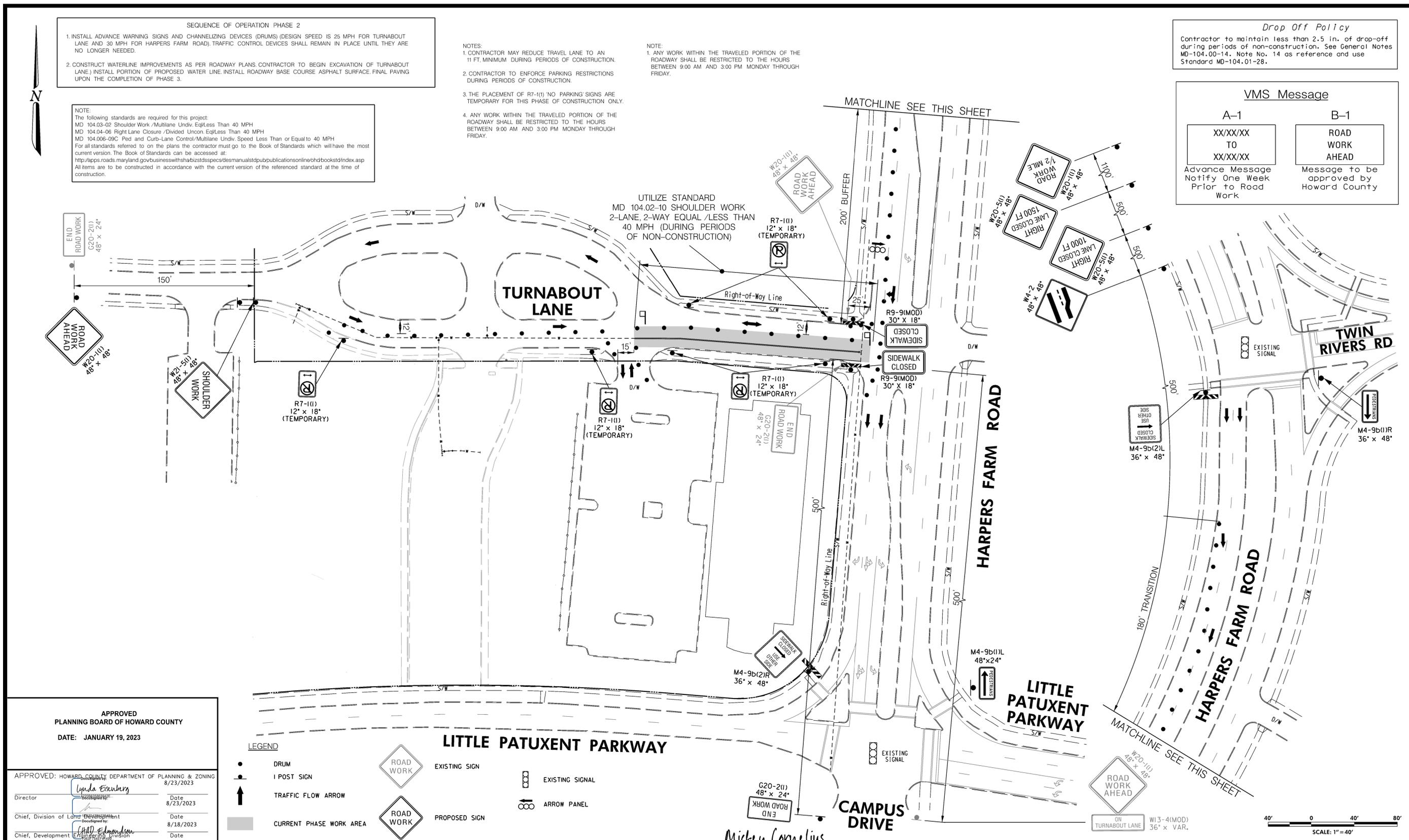
- CONTRACTOR MAY REDUCE TRAVEL LANE TO AN 11 FT. MINIMUM DURING PERIODS OF CONSTRUCTION.
- CONTRACTOR TO ENFORCE PARKING RESTRICTIONS DURING PERIODS OF CONSTRUCTION.
- THE PLACEMENT OF R7-1(I) 'NO PARKING' SIGNS ARE TEMPORARY FOR THIS PHASE OF CONSTRUCTION ONLY.
- ANY WORK WITHIN THE TRAVELED PORTION OF THE ROADWAY SHALL BE RESTRICTED TO THE HOURS BETWEEN 9:00 AM AND 3:00 PM MONDAY THROUGH FRIDAY.

NOTE:
1. ANY WORK WITHIN THE TRAVELED PORTION OF THE ROADWAY SHALL BE RESTRICTED TO THE HOURS BETWEEN 9:00 AM AND 3:00 PM MONDAY THROUGH FRIDAY.

Drop Off Policy
Contractor to maintain less than 2.5 in. of drop-off during periods of non-construction. See General Notes MD-104.00-14. Note No. 14 as reference and use Standard MD-104.01-28.

VMS Message

A-1 XX/XX/XX TO XX/XX/XX Advance Message Notify One Week Prior to Road Work	B-1 ROAD WORK AHEAD Message to be approved by Howard County
--------------------------------------------------------------------------------------------------	-------------------------------------------------------------------------------



APPROVED
PLANNING BOARD OF HOWARD COUNTY
DATE: JANUARY 19, 2023

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
8/23/2023
Director: *Lynda Eisenberg*
Date: 8/23/2023
Chief, Division of Land Development: *David Edmondson*
Date: 8/18/2023
Chief, Development Engineering Division: *David Edmondson*
Date:

LEGEND

●	DRUM	EXISTING SIGN	EXISTING SIGNAL
I	POST SIGN	ROAD WORK	ARROW PANEL
↑	TRAFFIC FLOW ARROW	ROAD WORK	
■	CURRENT PHASE WORK AREA	PROPOSED SIGN	

The Traffic Group, Inc.
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9900 Franklin Square Drive
Baltimore, Maryland 21236
410-931-6600 1-800-583-8411 Fax: 410-931-6601
www.trafficgroup.com
"Merging Innovation and Excellence"®

DESIGNED BY	DRAWN BY	CHECKED BY	DATE	REVISION	BY	APPR.

PREPARED FOR:
Enterprise
Enterprise Community Homes Housing LLC (Owner)
Enterprise Community Development, Inc. (Developer)
875 Hollin Street, Suite 202, Baltimore, MD 21201
410-332-7400

PROFESSIONAL CERTIFICATION -
I HEREBY CERTIFY THAT THESE PLANS WERE
PREPARED OR APPROVED BY ME, AND THAT I
AM A DULY LICENSED PROFESSIONAL ENGINEER
UNDER THE LAWS OF THE STATE OF MARYLAND.
LICENSE NO.: 17243
EXPIRATION DATE: 2-7-25 08/02/23

Mickey Cornelius
PROFESSIONAL ENGINEER

MAINTENANCE OF TRAFFIC PLAN - PHASE 2
VILLAGE OF HARPER'S CHOICE
Section 3, Area 2
Lot 18 (Ranleigh Court Apartments)
FDP-30-A-V
PLAT NO. 26354
HOWARD COUNTY, MARYLAND
ELECTION DISTRICT No. 5

SCALE	ZONING	TTG FILE NO.
1" = 40'	NT	2022-0513
DATE	TAX MAP - GRID	SHEET
AUGUST 2023	29 - 23	18 OF 25

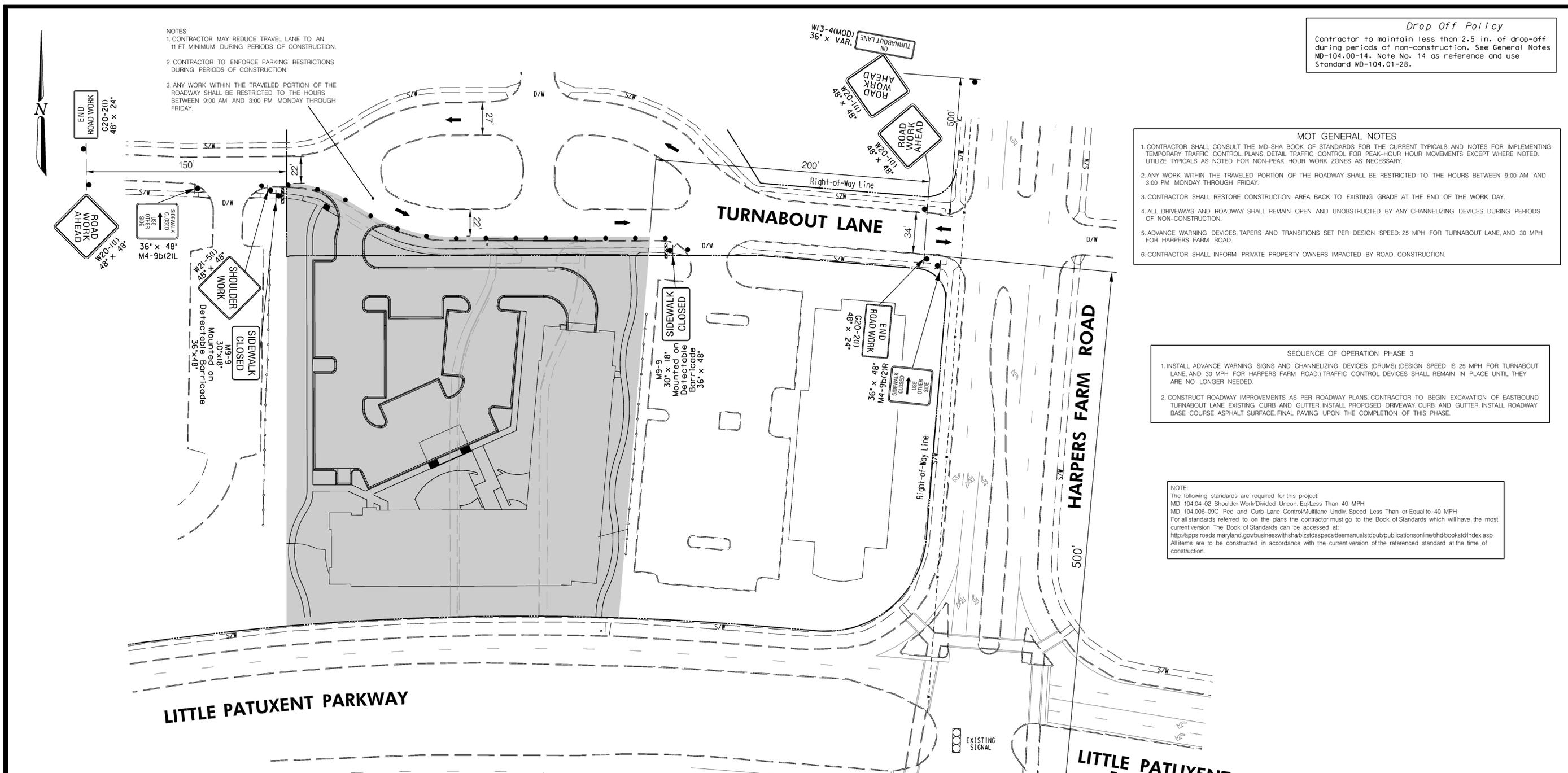
Drop Off Policy
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- NOTES:**
1. CONTRACTOR MAY REDUCE TRAVEL LANE TO AN 11 FT. MINIMUM DURING PERIODS OF CONSTRUCTION.
 2. CONTRACTOR TO ENFORCE PARKING RESTRICTIONS DURING PERIODS OF CONSTRUCTION.
 3. ANY WORK WITHIN THE TRAVELED PORTION OF THE ROADWAY SHALL BE RESTRICTED TO THE HOURS BETWEEN 9:00 AM AND 3:00 PM MONDAY THROUGH FRIDAY.

- MOT GENERAL NOTES**
1. CONTRACTOR SHALL CONSULT THE MD-SHA BOOK OF STANDARDS FOR THE CURRENT TYPICALS AND NOTES FOR IMPLEMENTING TEMPORARY TRAFFIC CONTROL PLANS. DETAIL TRAFFIC CONTROL FOR PEAK-HOUR MOVEMENTS EXCEPT WHERE NOTED. UTILIZE TYPICALS AS NOTED FOR NON-PEAK HOUR WORK ZONES AS NECESSARY.
 2. ANY WORK WITHIN THE TRAVELED PORTION OF THE ROADWAY SHALL BE RESTRICTED TO THE HOURS BETWEEN 9:00 AM AND 3:00 PM MONDAY THROUGH FRIDAY.
 3. CONTRACTOR SHALL RESTORE CONSTRUCTION AREA BACK TO EXISTING GRADE AT THE END OF THE WORK DAY.
 4. ALL DRIVEWAYS AND ROADWAY SHALL REMAIN OPEN AND UNOBSTRUCTED BY ANY CHANNELIZING DEVICES DURING PERIODS OF NON-CONSTRUCTION.
 5. ADVANCE WARNING DEVICES, TAPERS AND TRANSITIONS SET PER DESIGN SPEED: 25 MPH FOR TURNABOUT LANE, AND 30 MPH FOR HARPERS FARM ROAD.
 6. CONTRACTOR SHALL INFORM PRIVATE PROPERTY OWNERS IMPACTED BY ROAD CONSTRUCTION.

- SEQUENCE OF OPERATION PHASE 3**
1. INSTALL ADVANCE WARNING SIGNS AND CHANNELIZING DEVICES (DRUMS) (DESIGN SPEED IS 25 MPH FOR TURNABOUT LANE, AND 30 MPH FOR HARPERS FARM ROAD). TRAFFIC CONTROL DEVICES SHALL REMAIN IN PLACE UNTIL THEY ARE NO LONGER NEEDED.
 2. CONSTRUCT ROADWAY IMPROVEMENTS AS PER ROADWAY PLANS. CONTRACTOR TO BEGIN EXCAVATION OF EASTBOUND TURNABOUT LANE EXISTING CURB AND GUTTER. INSTALL PROPOSED DRIVEWAY, CURB AND GUTTER. INSTALL ROADWAY BASE COURSE ASPHALT SURFACE. FINAL PAVING UPON THE COMPLETION OF THIS PHASE.

NOTE:
 The following standards are required for this project:
 MD 104.04-02 Shoulder Work/Divided Uncon. Egl/Less Than 40 MPH
 MD 104.006-09C Ped and Curb-Lane Control/MultiLane Undiv. Speed Less Than or Equal to 40 MPH
 For all standards referred to on the plans the contractor must go to the Book of Standards which will have the most current version. The Book of Standards can be accessed at:
<http://apps.roads.maryland.gov/businesswithshabizstdspecs/tesmanualstdpub/publicationonline/bhd/bookstd/index.asp>
 All items are to be constructed in accordance with the current version of the referenced standard at the time of construction.



LITTLE PATUXENT PARKWAY

LITTLE PATUXENT PARKWAY

CAMPUS DRIVE

Mickey Cornelius

APPROVED
PLANNING BOARD OF HOWARD COUNTY
 DATE: JANUARY 19, 2023

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
 8/23/2023
 Director: *Lynda Eschberg* Date: 8/23/2023
 Chief, Division of Land Development: *David Edmonson* Date: 8/18/2023
 Chief, Development Engineering Division: *David Edmonson* Date:

LEGEND

- DRUM
- ⊥ I POST SIGN
- ↑ TRAFFIC FLOW ARROW
- CURRENT PHASE WORK AREA
- ◇ ROAD WORK EXISTING SIGN
- ◇ ROAD WORK PROPOSED SIGN
- ⊞ EXISTING SIGNAL
- ⊞ EXISTING SIGNAL
- ⇄ ARROW PANEL



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 Baltimore, Maryland 21236
 410-931-6600 1-800-583-8411 Fax: 410-931-6601
 www.trafficgroup.com
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DESIGNED BY	DATE	REVISION	BY	APPR.

PREPARED FOR:
Enterprise
 Enterprise Community Homes Housing LLC (Owner)
 Enterprise Community Development, Inc. (Developer)
 875 Hollin Street, Suite 202, Baltimore, MD 21201
 410-332-7400

PROFESSIONAL CERTIFICATION - I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.
 LICENSE NO. 17243
 EXPIRATION DATE: 2-7-25 08/02/23

STATE OF MARYLAND
MICKEY A. CORNELIUS
 PROFESSIONAL ENGINEER
 NO. 17243

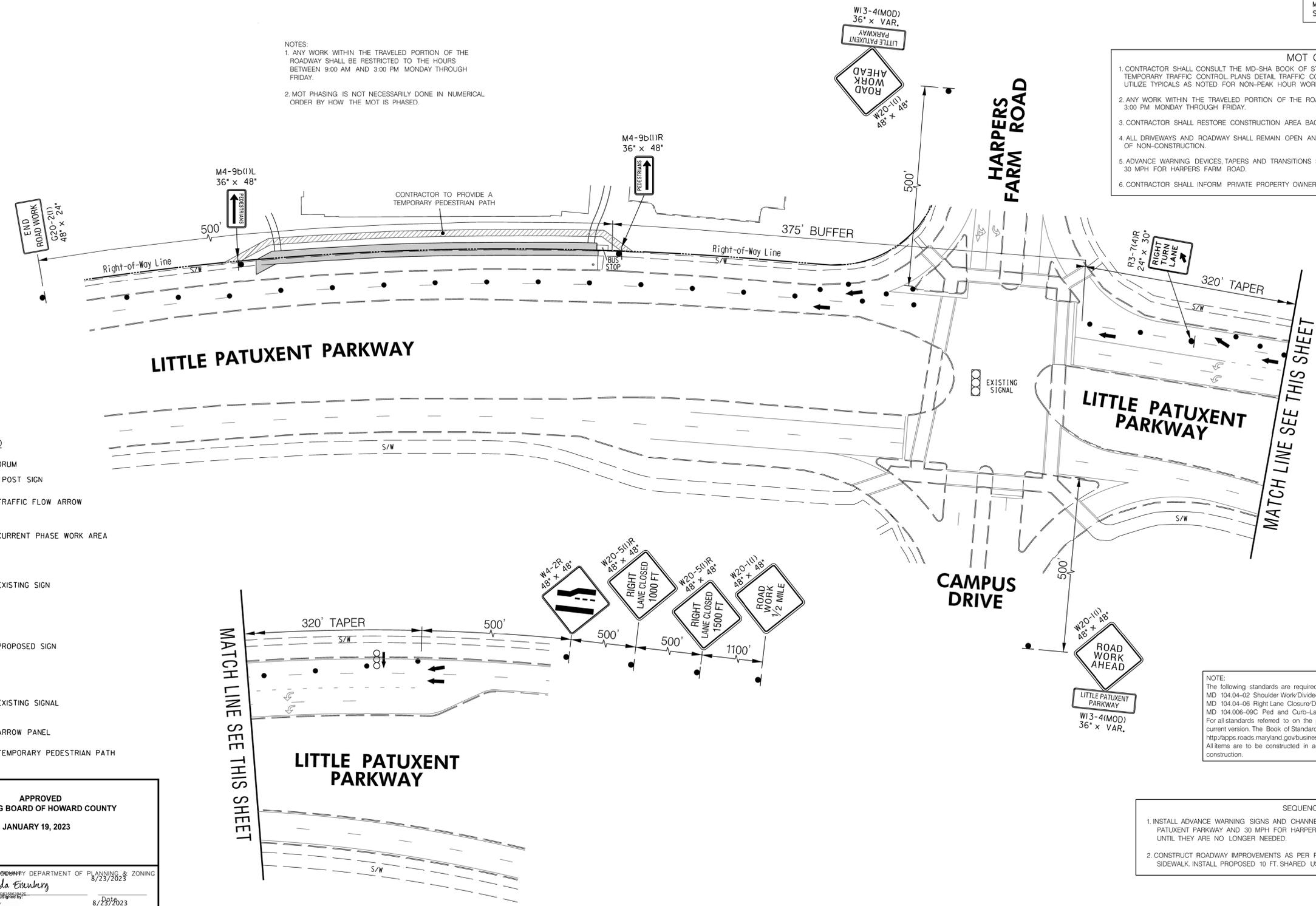
MAINTENANCE OF TRAFFIC PLAN - PHASE 3
 VILLAGE OF HARPER'S CHOICE
 Section 3, Area 2
 Lot 18 (Ranleigh Court Apartments)
 FDP-30-A-V
 Plat No. 26354
 ELECTION DISTRICT No. 5
 HOWARD COUNTY, MARYLAND

SCALE	ZONING	TTG FILE NO.
1" = 40'	NT	2022-0513
DATE	TAX MAP - GRID	SHEET
AUGUST 2023	29 - 23	19 OF 25

Drop Off Policy
 Contractor to maintain less than 2.5 in. of drop-off during periods of non-construction. See General Notes MD-104.00-14, Note No. 14 as reference and use Standard MD-104.01-28.

NOTES:
 1. ANY WORK WITHIN THE TRAVELED PORTION OF THE ROADWAY SHALL BE RESTRICTED TO THE HOURS BETWEEN 9:00 AM AND 3:00 PM MONDAY THROUGH FRIDAY.
 2. MOT PHASING IS NOT NECESSARILY DONE IN NUMERICAL ORDER BY HOW THE MOT IS PHASED.

MOT GENERAL NOTES
 1. CONTRACTOR SHALL CONSULT THE MD-SHA BOOK OF STANDARDS FOR THE CURRENT TYPICALS AND NOTES FOR IMPLEMENTING TEMPORARY TRAFFIC CONTROL PLANS. DETAIL TRAFFIC CONTROL FOR PEAK-HOUR MOVEMENTS EXCEPT WHERE NOTED. UTILIZE TYPICALS AS NOTED FOR NON-PEAK HOUR WORK ZONES AS NECESSARY.
 2. ANY WORK WITHIN THE TRAVELED PORTION OF THE ROADWAY SHALL BE RESTRICTED TO THE HOURS BETWEEN 9:00 AM AND 3:00 PM MONDAY THROUGH FRIDAY.
 3. CONTRACTOR SHALL RESTORE CONSTRUCTION AREA BACK TO EXISTING GRADE AT THE END OF THE WORK DAY.
 4. ALL DRIVEWAYS AND ROADWAY SHALL REMAIN OPEN AND UNOBSTRUCTED BY ANY CHANNELIZING DEVICES DURING PERIODS OF NON-CONSTRUCTION.
 5. ADVANCE WARNING DEVICES, TAPERS AND TRANSITIONS SET PER DESIGN SPEED: 40 MPH FOR LITTLE PATUXENT PARKWAY AND 30 MPH FOR HARPERS FARM ROAD.
 6. CONTRACTOR SHALL INFORM PRIVATE PROPERTY OWNERS IMPACTED BY ROAD CONSTRUCTION.



- LEGEND**
- DRUM
 - I POST SIGN
 - ↑ TRAFFIC FLOW ARROW
 - CURRENT PHASE WORK AREA
 - ◇ ROAD WORK EXISTING SIGN
 - ◇ ROAD WORK PROPOSED SIGN
 - ⊞ EXISTING SIGNAL
 - ⇄ ARROW PANEL
 - ▨ TEMPORARY PEDESTRIAN PATH

NOTE:
 The following standards are required for this project:
 MD 104.04-02 Shoulder Work/Divided Uncon. Eq/Less Than 40 MPH
 MD 104.04-06 Right Lane Closure/Divided Uncon. Eq/Less Than 40 MPH
 MD 104.006-09C Ped and Curb-Lane Control/Multilane Undiv. Speed Less Than or Equal to 40 MPH
 For all standards referred to on the plans the contractor must go to the Book of Standards which will have the most current version. The Book of Standards can be accessed at:
<http://apps.roads.maryland.gov/businesswithshabizstdsstdsmanualstdpubpublicationsonline/bdbookstd/index.asp>
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SEQUENCE OF OPERATION PHASE 4
 1. INSTALL ADVANCE WARNING SIGNS AND CHANNELIZING DEVICES (DRUMS) (DESIGN SPEED IS 40 MPH FOR LITTLE PATUXENT PARKWAY AND 30 MPH FOR HARPERS FARM ROAD), TRAFFIC CONTROL DEVICES SHALL REMAIN IN PLACE UNTIL THEY ARE NO LONGER NEEDED.
 2. CONSTRUCT ROADWAY IMPROVEMENTS AS PER ROADWAY PLANS, CONTRACTOR TO BEGIN EXCAVATION OF EXISTING SIDEWALK. INSTALL PROPOSED 10 FT. SHARED USE PATH ON WESTBOUND LITTLE PATUXENT PARKWAY.

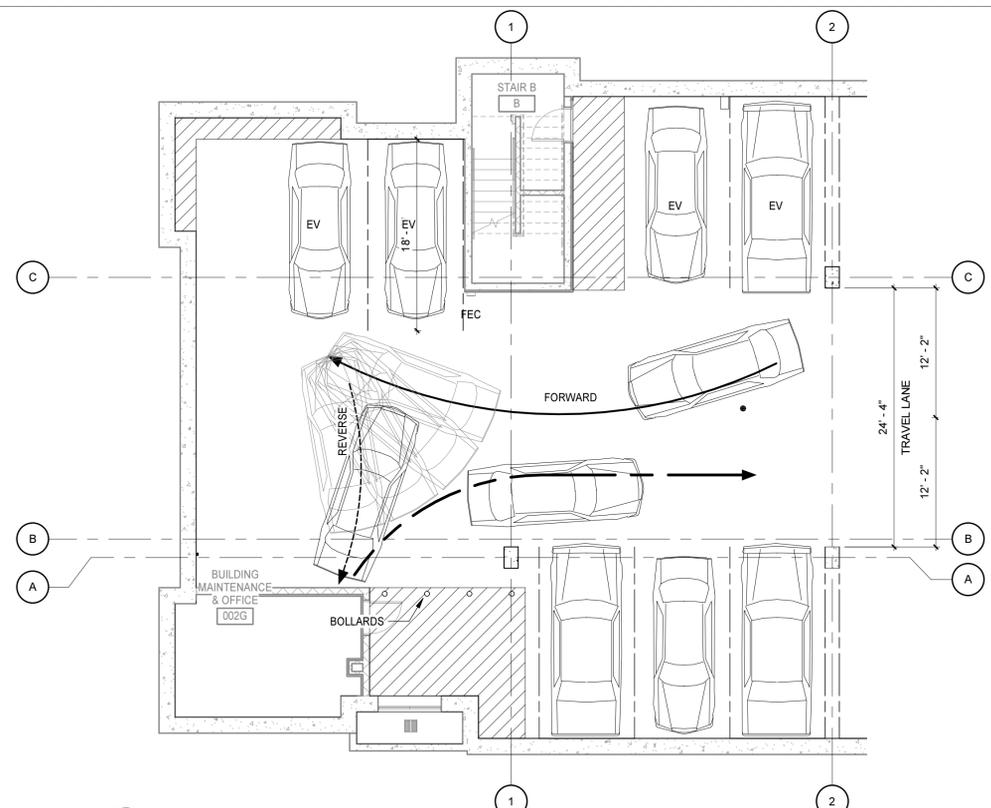


APPROVED
PLANNING BOARD OF HOWARD COUNTY
 DATE: JANUARY 19, 2023

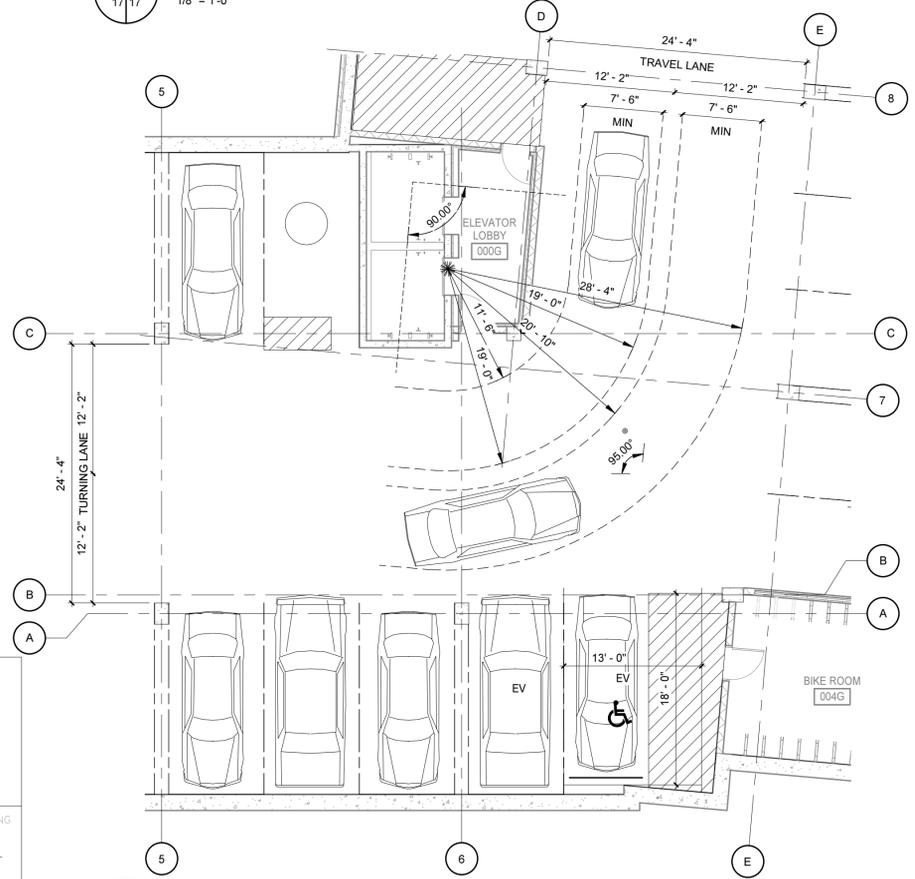
APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
 8/23/2023
 Director: *Lynda Eisenberg*
 Chief, Division of Land Use Management: *CHAD Edmondson*
 Date: 8/18/2023

Mickey Cornelius

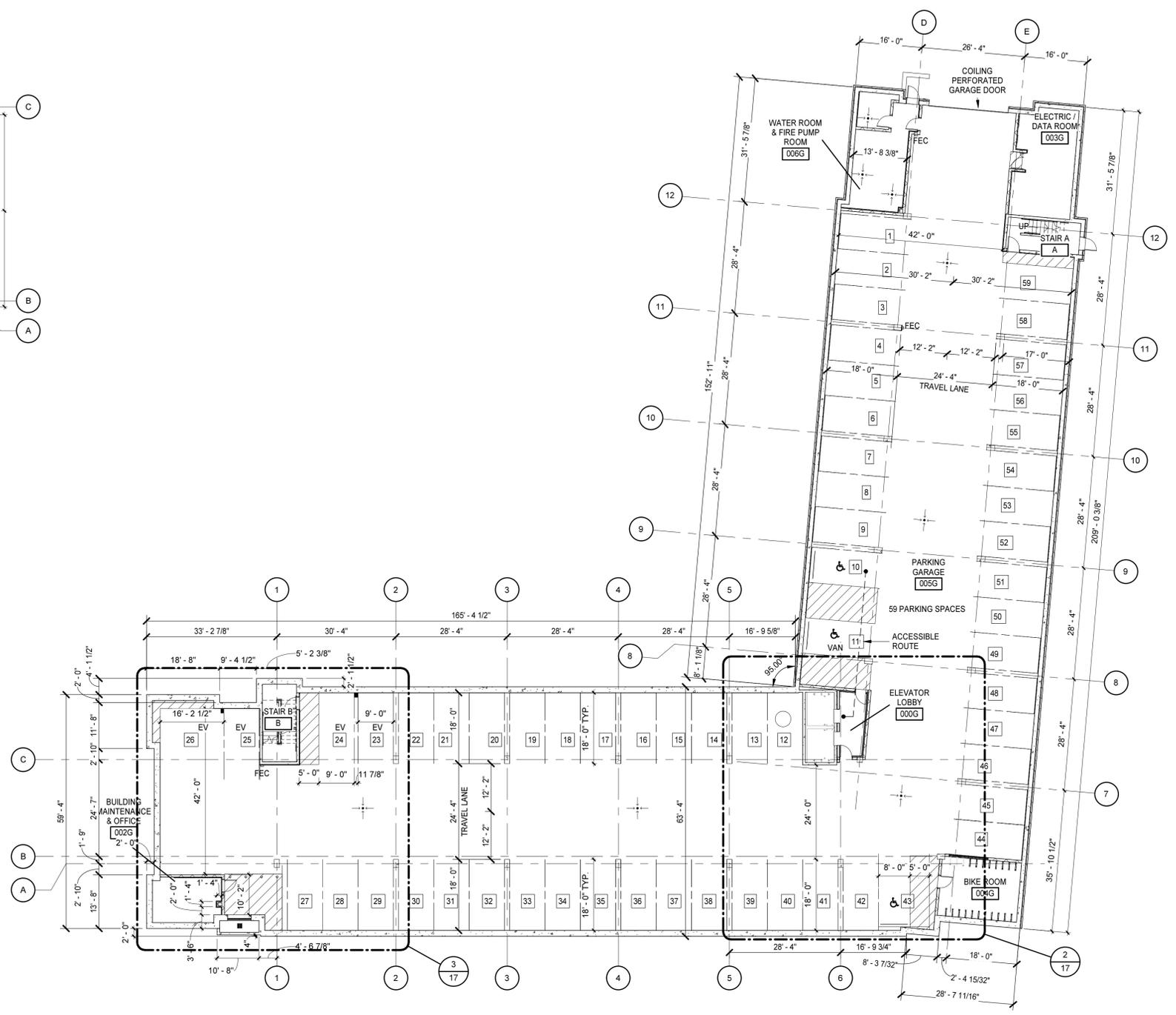
 Suite H 9900 Franklin Square Drive Baltimore, Maryland 21236 410-931-6600 1-800-583-8411 Fax: 410-931-6601 www.trafficgroup.com "Merging Innovation and Excellence"®	DESIGNED BY:		PREPARED FOR:	PROFESSIONAL CERTIFICATION - I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NO.: 17243 EXPIRATION DATE: 2-7-25 08/02/23	MAINTENANCE OF TRAFFIC PLAN - PHASE 4 VILLAGE OF HARPER'S CHOICE Section 3, Area 2 Lot 18 (Ranleigh Court Apartments) FDP-30-A-V PLAT NO. 26354 HOWARD COUNTY, MARYLAND			SCALE:	ZONING:	TTG FILE NO.:
	DRAWN BY:		Enterprise Community Homes Housing LLC (Owner) Enterprise Community Development, Inc. (Developer) 875 Hollin Street, Suite 202, Baltimore, MD 21201 410-332-7400		1" = 40'	NT	2022-0513			
CHECKED BY:		DATE:	BY:	APPR.:	DATE:	TAX MAP - GRID:	SHEET:			
					AUGUST 2023	29 - 23	20 OF 25			



3 TURN AROUND LOCATION
1/8" = 1'-0"



2 CAR TURNING DIAGRAM
1/8" = 1'-0"



1 GARAGE FLOOR PLAN
1/16" = 1'-0"

APPROVED
PLANNING BOARD OF HOWARD COUNTY
DATE: JANUARY 19, 2023

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
8/23/2023
Director: *Linda Eisenberg*
Chief, Division of Development: *CHAD Edmondson*
Chief, Development Division

DESIGNED BY:			
DRAWN BY:			
CHECKED BY:			
DATE	REVISION	BY	APPR.

PREPARED FOR:
Enterprise Community Homes Housing LLC (Owner)
Enterprise Community Development, Inc. (Developer)
875 Hollis Street, Suite 202, Baltimore, MD 21201
410-332-7400

MOSELEYARCHITECTS
1414 KEY HIGHWAY, BALTIMORE, MD 21230
PHONE (410) 539-4300 FAX (410) 539-0660
MOSELEYARCHITECTS.COM

PARKING GARAGE LAYOUT PLAN
Village of Harper's Choice
Section 3, Area 2
Lot 18 (Ranleigh Court Apartments)
FDP-30-A-V
Plat No. 26354

SCALE	ZONING	M.A. FILE No.
1/16" = 1'-0"	NT	
DATE	TAX MAP - GRID	SHEET
JULY 2023	29 - 23	22 of 25

PARKING SPACE DATA	
STANDARD PARKING SPACES	53
ACCESSIBLE PARKING SPACES	3
EV PARKING SPACES	4
TOTAL PARKING SPACES	59



PLAN LEGEND

- PROPERTY LINE
- EX 8" S --- EXISTING SANITARY SEWER
- EX 6" W --- EXISTING WATERLINE
- EX SD --- EXISTING STORM DRAIN
- * --- EXISTING STREET/PARKING LOT LIGHTS
- EXISTING CURB AND GUTTER
- EXISTING IMPERVIOUS AREA (ROOF & PAVING) ON LOT-18 IS A SHADED CROSS HATCH (APPROX. 1.11± AC.)
- EXISTING TREES:
 - NUMBERED TREES ARE 24" DBH OR GREATER (SEE LIST)
 - CRZ=CRITICAL ROOT ZONE INDICATES TREE ≥ 30" DBH
 - A BOLD "X" INDICATES TREE TO BE REMOVED

NARRATIVE

LOT 18 IS AN APARTMENT COMMUNITY BUILT IN THE EARLY 1970 UNDER SDP-68-006. CURRENTLY OVER 50% OF THE SITE IS IMPERVIOUS (ROOF & PAVEMENT SURFACES). THE NON-IMPERVIOUS AREAS CONSIST OF LAWN, MULCH BEDS (WITH PLAY EQUIP. OR LANDSCAPING) AND SCATTERED LANDSCAPE TREES. THERE IS ONE TREE THAT IS GREATER THAN 30" DBH. TREE #15 IS A 35" DBH SILVER MAPLE (A PROHIBITED TREE FOR LANDSCAPE PLANTING NOWADAYS).

BECAUSE NO FOREST OR ENVIRONMENTAL AREAS EXIST ON THIS PROPERTY WHICH IS ALSO LOCATED IN A "PRIORITY FUNDING AREA", THIS PLAN EXAMINES THE FOREST CONSERVATION REQUIREMENTS FOR THIS PROPERTY IN A SIMPLIFIED MANNER. THE FOREST CONSERVATION OBLIGATION (FCO) FOR THIS PROPERTY WOULD BE THE AFFORESTATION THRESHOLD FOR THE AREA OF THE SITE THAT IS NOT EXEMPT FROM FOREST CONSERVATION REQUIREMENTS IN ACCORDANCE WITH SEC.16.1201.(b)(1)(xiii).

SINCE THE AFFORESTATION AMOUNT FOR THIS PROPERTY IS WELL UNDER AN ACRE, A FEE-IN-LIEU PAYMENT (TO THE COUNTY) IS REQUESTED TO SATISFY THE FORESTATION CONSERVATION OBLIGATION.

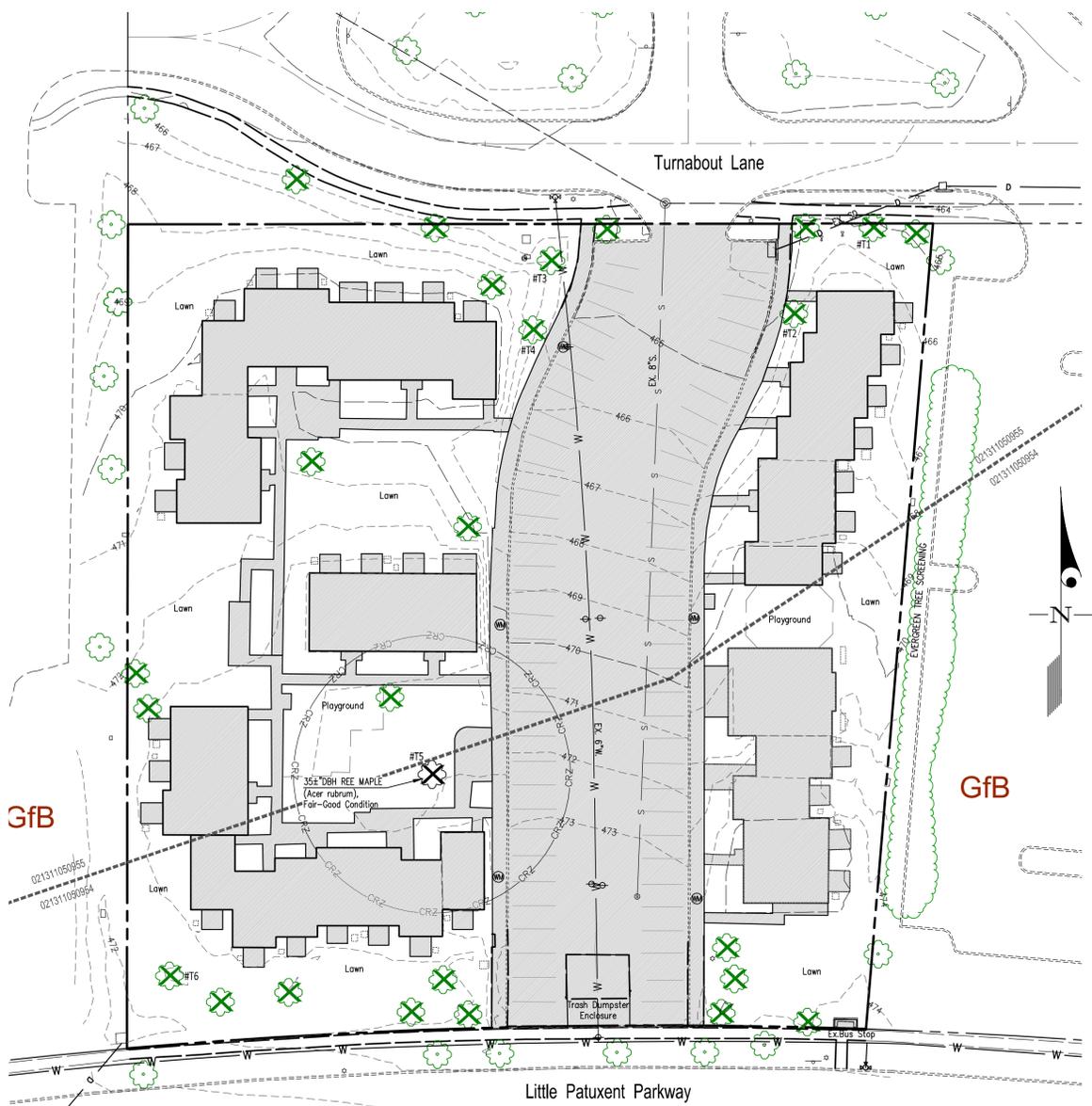
STATE OF MARYLAND
 Michael B. Tran
 REGISTERED ARCHITECT
 933 LANDSCAPE ARCHITECT
 07/28/23



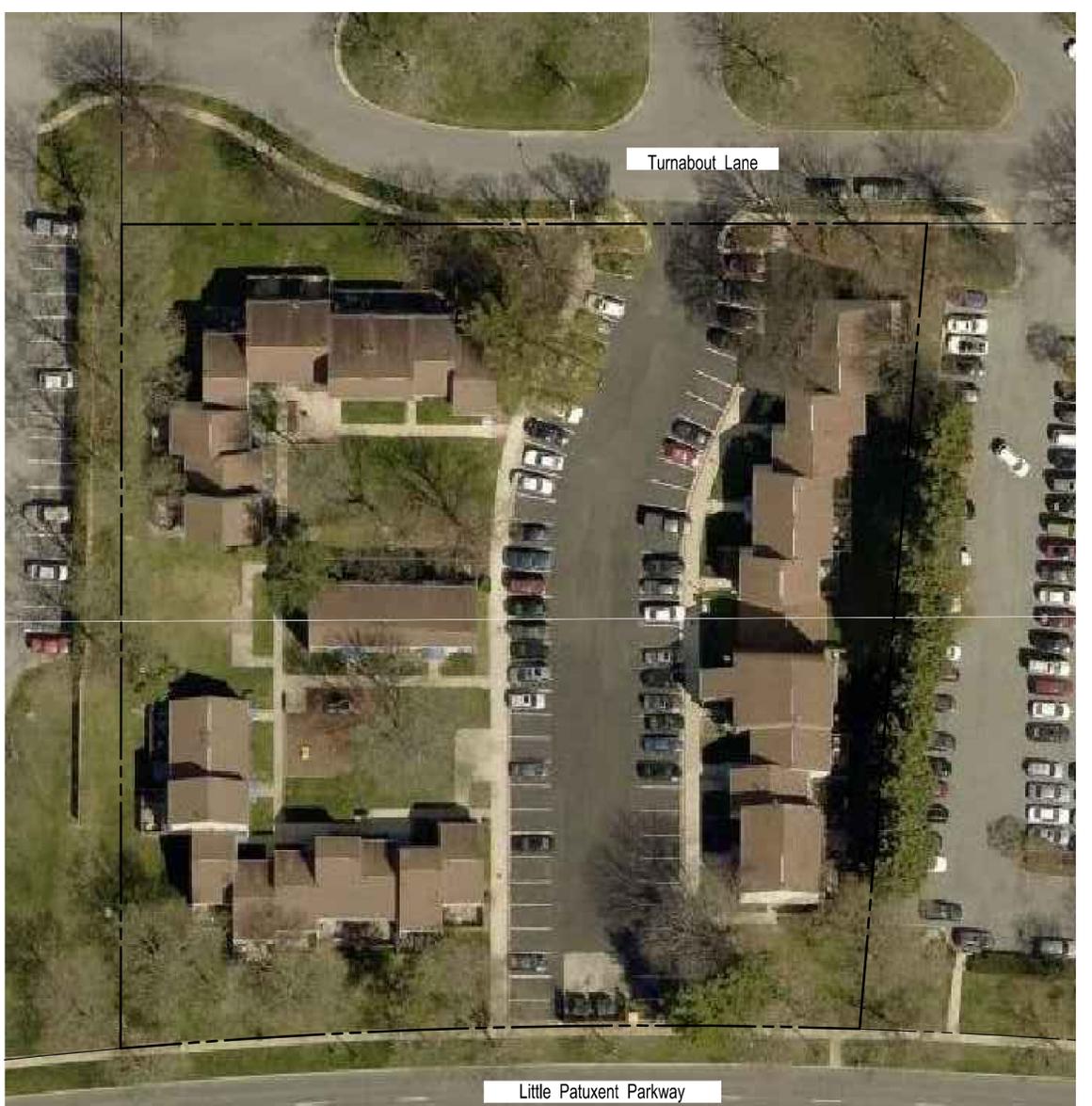
SOILS LEGEND

SOIL	NAME	CLASS	K ¹ FACTOR
GfB	Gladstone-Urban Land Complex, 0 to 8 percent slopes	A	0.32

NO HIGHLY ERODIBLE SOILS ON-SITE (highly erodible soils are those soils with a slope > 15% or those with a soil erodibility K-factor > 0.35 and a slope > 5%). Tree stand information is not available for this urban land complex.



EXISTING CONDITIONS PLAN (as FSD)
 SCALE: 1" = 30'



5-YEAR LOOK BACK (to April 2017)
 APPROX. SCALE: 1" = 30'

AERIAL IMAGE SOURCE --- <https://data.howardcountymd.gov/DataExplorer/PictometryConnect.aspx>

FOREST CONSERVATION WORKSHEET FOR DPZ file SDP-22-051

Net Tract Area	Value
A. Total (Gross) Tract Area of Lot-18 at VoHC 3/2	A = 2.0
B. Area within 100-year Floodplain	B = 0.0
C. Other Deductions (Identify Section 16.1202(b)(1)(iii) exempt areas)	C = 1.1
D. Net Tract Area	D = 0.9

Land Use Category	Value
E. Afforestation Threshold (Net Tract Area x 15%)	E = 0.1
F. Reforestation Threshold (Net Tract Area x 20%)	F = 0.2

Existing Forest Cover	Value
G. Existing Forest Cover within the Net Tract Area	G = 0.0
H. Area of Forest above Afforestation Threshold	H = 0.0
I. Area of Forest above Reforestation Threshold	I = 0.0

Proposed Forest Clearing	Value
L. Total Area of Forest to be Cleared (on net tract)	L = 0.0
M. Total Area of Forest to be Retained (on net tract)	M = 0.0

Planting Requirements Inside Watershed	Value
N. Reforestation for Clearing above the Reforestation Threshold	N = 0.0
P. Reforestation for Clearing below the Reforestation Threshold	P = 0.0
Q. Credit for Retention above the Reforestation Threshold	Q = 0.0
R. Total Reforestation Required	R = 0.0
S. Total Afforestation Required	S = 0.1
T. Total Reforestation and Afforestation Requirement	T = 0.1
U. 75% of Total Obligation (Retention + Planting)	U = 0.1
V. Planting Required Onsite to meet 75% Obligation	V = 0.1

Planting Requirements Outside Watershed	Value
W. Total Planting within Development Site Watershed	W = 0.0
X. Total Afforestation Required	X = 0.1
Y. Remaining Planting within Watershed for Reforestation Credit	Y = 0.0
Z. Reforestation for Clearing above the Reforestation Threshold	Z = 0.0
AA. Reforestation for Clearing below the Reforestation Threshold	AA = 0.0
BB. Credit for Retention above the Reforestation Threshold	BB = 0.0
CC. Total Reforestation Required	CC = 0.0
DD. Total Afforestation and Reforestation Requirement	DD = 0.1

Redevelopment Area Forest Conservation Obligation Analysis

Project Name:	VoHC 3/2, Lot-18 Ranleigh Court Apt.	DPZ File No.	SDP-22-051
1. Input Information		square feet	Acres (if >10)
a. Lot-18 boundary area (Gross "Site Area" subject to Forest Conservation Requirements)	87,535		2.01
2. Deductions & Adjustments			
a. Section 16.1202(b)(1)(iii) existing impervious within the boundary of Lot-18	48,325		1.11
b. Adjusted Site Area (ASA= 1a - 2a) to use in calculating the forest conservation obligation (FCO):	39,210		0.90
3. Forest Conservation Obligation			
a. FCO = Afforestation obligation at 15% of the ASA = 2b*0.15	5,882		0.14
b. Fee-in-lieu rate per CR-14-2019	\$ 1.25		
c. Fee-in-lieu requested	\$ 7,351.88		

LIST of Trees with a DBH of 24" or Greater

No.	DBH"	Name	Condition	Comments	BT-id	circum.	Diameter	75% Dia
T1	24	Linden (<i>Tilia sp.</i>)	Fair-Good	to be removed	BT-2634	223	71.0	53.2
T2	29	Linden (<i>Tilia sp.</i>)	Fair-Good	to be removed	"	"	"	"
T3	29	Linden (<i>Tilia sp.</i>)	Fair-Good	to be removed	"	"	"	"
T4	29	Zelkova (<i>Zelkova sp.</i>)	Fair-Good	to be removed	BT-3010	227	72.3	54.2
T5	35	Red Maple (<i>Acer Rubrum</i>)	Fair-Good	to be removed (see WP-23-043)	BT-2299	252	80.2	60.2
T6	28	Sycamore (<i>Platanus sp.</i>)	Fair-Good	to be removed	BT-2293	326	103.8	77.8

**Trees were measured in Sept/2022 with a tree diameter tape
 **Source of State Champion Tree information is from -- <https://www.mdbigtrees.org/state-champion-trees>

WP-23-043 WAS APPROVED ON DEC/22/2022 FOR A VARIANCE WITH RESPECT TO SECTION 16.1205(a)(3) TO REMOVE THE SPECIMEN TREE #15 (A 35" RED MAPLE). THE REMOVAL OF THE SPECIMEN TREE SHALL BE MITIGATED WITH A 2:1 REPLACEMENT WITH NATIVE 3"DBH TREES. THE TWO MITIGATION TREES ARE SHOWN SHEETS 12 & 13 (AS ACER RUBRUM 'OCTOBER GLORY).



APPROVED
 PLANNING BOARD OF HOWARD COUNTY
 DATE: JANUARY 19, 2023

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
 8/23/2023

Director: *Lynnda Eisenberg* Date: 8/23/2023
 Chief, Division of Land Development: *Chad Edmondson* Date: 8/18/2023
 Chief, Development Engineering Division: _____ Date: _____

GLW
 PLANNING | ENGINEERING | SURVEYING
 3909 NATIONAL DRIVE | SUITE 250 | BURTNSVILLE, MD 20896 | GLWPA.COM
 PHONE: 301-421-4024 | BALT: 410-880-1820 | DC&VA: 301-989-2524 | FAX: 301-421-4196

DESIGNED BY:	DATE	REVISION	BY	APPR.
mbt				
DRAWN BY:				
MBT				
CHECKED BY:				

PREPARED FOR:
Enterprise
 Enterprise Community Homes Housing LLC (Owner)
 Enterprise Community Development, Inc. (Developer)
 875 Hollin Street, Suite 202, Baltimore, MD 21201
 410-332-7400

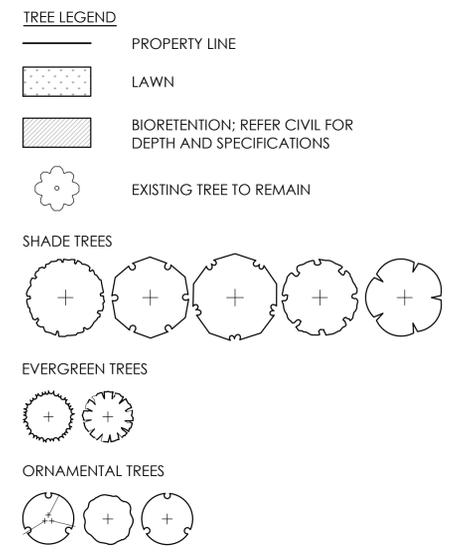
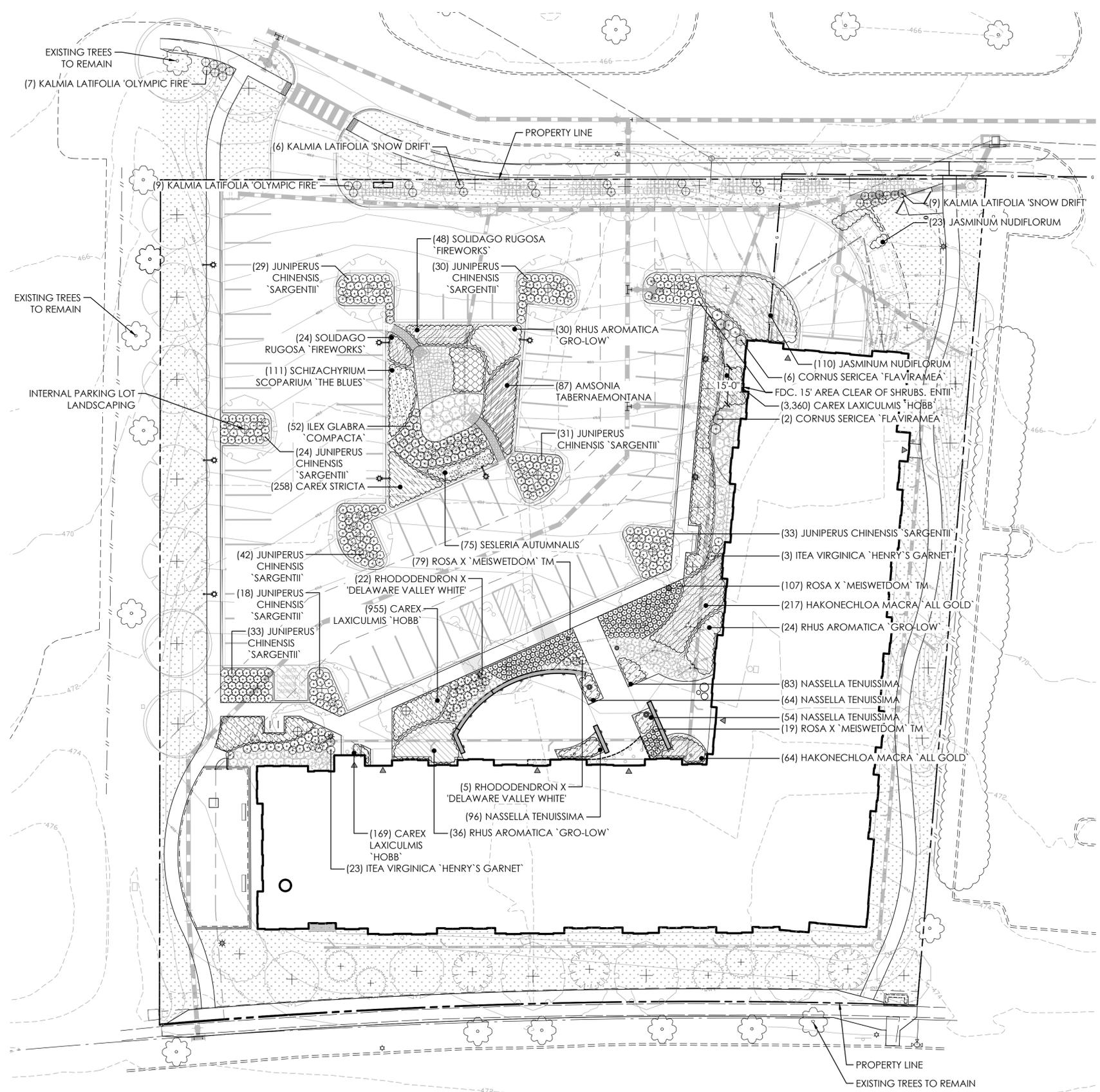
DATE	REVISION	BY	APPR.

FOREST STAND DELINEATION & FOREST CONSERVATION OBLIGATION ANALYSIS

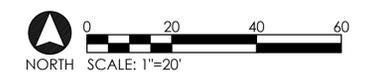
Village of Harper's Choice
 Section 3, Area 2
Lot 18 (Ranleigh Court Apartments)
 FDP-30-A-V
 Plat No. 26354

ELECTION DISTRICT No. 5

SCALE	ZONING	G. L. W. FILE No.
1" = 30'	NT	21111
DATE	TAX MAP - GRID	SHEET
JULY 2023	29 - 23	23 OF 25



NOTES:
 THIS BETTERMENTS PLAN IS IN ADDITION TO THE MINIMUMS PLAN ON SHEET L401. THESE LANDSCAPING BETTERMENTS WILL ONLY BE INSTALLED IN THE EVENT THAT FUNDING IS AVAILABLE. FINANCIAL SURETY WILL BE POSTED ONLY FOR THE MINIMUMS PLAN ON SHEET L401 AND L430.



DEVELOPER'S/BULDER'S CERTIFICATE
 I/WE CERTIFY THAT THE LANDSCAPING INSTALLED UNDER THIS PLAN WILL MEET THE REQUIREMENTS OF SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE HOWARD COUNTY LANDSCAPE MANUAL. THE LANDSCAPING DEPICTED ON THE BETTERMENTS PLAN EXCEEDS MINIMUM REQUIREMENTS AND WILL ONLY BE INSTALLED IN THE EVENT PROJECT FINANCING ALLOWS.

NAME Stacie Birnbach 8/23 DATE

APPROVED PLANNING BOARD OF HOWARD COUNTY
 DATE: **JANUARY 19, 2023**

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
 8/23/2023

Director Lynda Eisenberg Date 8/23/2023
 Chief, Division of Land Development Chad Edmondson Date 8/18/2023
 Chief, Development Engineering Division

SDP SUBMISSION

DESIGNED BY:	ET				
DRAWN BY:	ET, PT				
CHECKED BY:	SB				
	DATE	REVISION	BY	APPR.	

PREPARED FOR:
Enterprise
 Enterprise Community Homes Housing LLC (Owner)
 Enterprise Community Development, Inc. (Developer)
 875 Hollin Street, Suite 202, Baltimore, MD 21201
 410-332-7400

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 Landscape Architecture
 1010 Wisconsin Avenue NW Suite 620
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 P: 202.695.8056 08/02/23
 www.bradleysitedesign.com

PLANTING BETTERMENTS PLAN
 Village of Harper's Choice
 Section 3, Area 2
 Lot 18 (Ranleigh Court Apartments)
 FDP-30-A-V
 Plat No. 26354
 ELECTION DISTRICT No. 5
 HOWARD COUNTY, MARYLAND

SCALE	ZONING	B.S.D. FILE No.
1" = 20'	NT	L402
DATE	TAX MAP - GRID	SHEET
JULY 2023	29 - 23	24 OF 25

