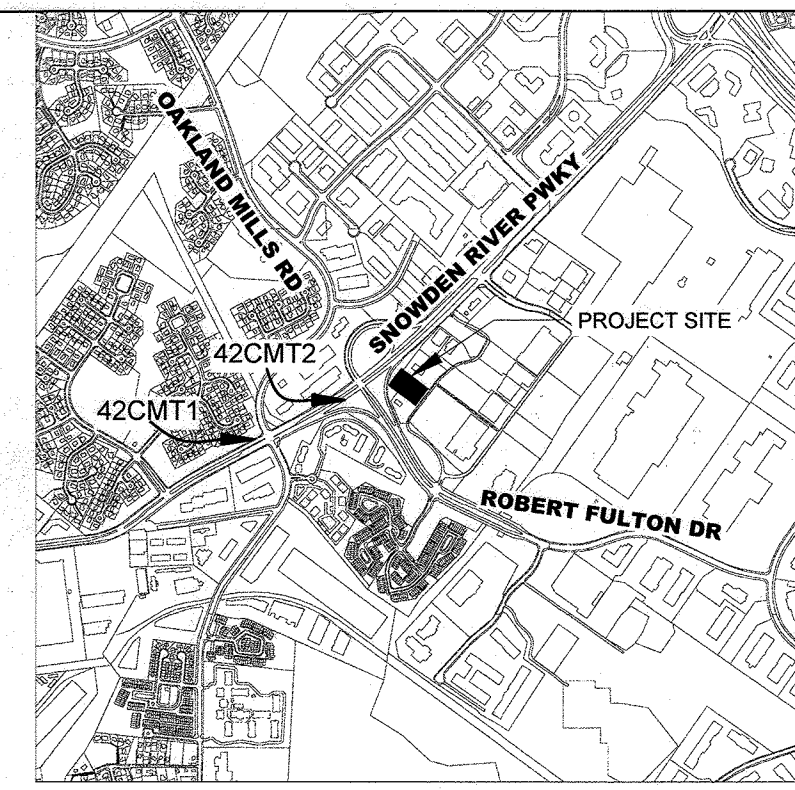


# SITE DEVELOPMENT PLAN RAISING CANE'S - COLUMBIA, MD

## 9071 SNOWDEN RIVER PARKWAY, COLUMBIA, MD 21046 ELECTION DISTRICT NO. 6 TAX MAP 0042, GRID 0006, PARCEL 0513



**VICINITY MAP**  
SCALE: 1" = 200'

**GEODETIC BENCHMARK**

STATION	NORTHING	EASTING	ELEVATION
42CMT1	1360936.6	550818.0	368.994
42CMT2	1361854.1	551216.3	376.529

**Sheet List Table**

Sheet Number	Sheet Title
1	COVER SHEET
2	EXISTING CONDITIONS
3	SITE PLAN
4	DRIVE-THRU OPERATION
5	SITE DETAILS
6	SITE DETAILS
7	SITE DETAILS
8	ARCHITECTURAL DETAILS
9	INITIAL ESC
10	FINAL ESC
11	ESC NOTES
12	ESC NOTES
13	ESC DETAILS
14	GRADING PLAN
15	STORM DRAIN DRAINAGE AREA MAP
16	STORM DRAIN PROFILES
17	STORM DRAIN DETAILS
18	EXISTING DRAINAGE AREA MAP
19	PROPOSED DRAINAGE AREA MAP
20	STORMWATER MANAGEMENT PLAN
21	SWM DETAILS
22	UTILITY PLAN
23	UTILITY PROFILES
24	UTILITY DETAILS
25	LANDSCAPE PLAN
26	LANDSCAPE NOTES

**SITE ANALYSIS DATA CHART**

TOTAL PROJECT AREA	1.793 ACRES (78,100 SF)
ZONING	B-2 (BUSINESS GENERAL)
EXISTING USES	STANDARD RESTAURANT
PROPOSED USES	FAST FOOD RESTAURANT
LOD AREA	1.18 ACRES (49,915 SF)
GREEN OPEN AREA (PROJECT AREA)	0.42 ACRES (18,438 SF)
PROPOSED IMPERVIOUS AREA (PROJECT AREA)	1.37 ACRES (59,662 SF)
WETLAND AREA	0 ACRES
WETLAND BUFFER AREA	0 ACRES
STREAM AREA	0 ACRES
STREAM BUFFER AREA	0 ACRES
FLOODPLAIN AREA	0 ACRES
STEEP SLOPE AREA (>15%)	0 ACRES
EXISTING # PARKING SPACES	132 (127 STANDARD, 5 ADA)
REQUIRED # PARKING SPACES	54 (52 STANDARD, 2 ADA)
PROPOSED # PARKING SPACES	75 (71 STANDARD, 4 ADA)
EXISTING FLOOR AREA	5,695 SF
PROPOSED FLOOR AREA	3,658 SF
OUTDOOR SEATING AREA	477 SF

- GENERAL NOTES:**
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF HOWARD COUNTY PLUS MSHA STANDARDS AND SPECIFICATIONS IF APPLICABLE.
  - THE CONTRACTOR SHALL NOTIFY THE DEPARTMENT OF PUBLIC WORKS/BUREAU OF ENGINEERING/CONSTRUCTION INSPECTION DIVISION AT (410) 313-1880 AT LEAST FIVE (5) WORKING DAYS PRIOR TO THE START OF WORK.
  - THE CONTRACTOR SHALL NOTIFY "MISS UTILITY" AT 1-800-257-7777 AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION WORK BEING DONE.
  - TRAFFIC CONTROL DEVICES, MARKINGS AND SIGNING SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD). ALL STREET AND REGULATORY SIGNS SHALL BE IN PLACE PRIOR TO THE PLACEMENT OF ANY ASPHALT.
  - ALL DIMENSIONS ARE FROM BUILDING WALL OR FACE OF CURB UNLESS OTHERWISE NOTED. THE EXISTING INFORMATION AND TOPOGRAPHY IS TAKEN FROM ALTA/NSPS LAND TITLE SURVEY WITH ONE FOOT CONTOUR INTERVALS PREPARED BY GRS GROUP, LLC DATED 10/14/21.
  - THE COORDINATES SHOWN HEREON ARE BASED UPON THE HOWARD COUNTY GEODETIC CONTROL, WHICH IS BASED UPON THE MARYLAND STATE PLANE COORDINATE SYSTEM. HOWARD COUNTY BENCHMARKS 42CMT1 AND 42CMT2 WERE USED FOR THIS PROJECT.
  - THERE IS NO FLOODPLAIN ON THIS SITE.
  - THERE ARE NO WETLANDS ON THIS SITE.
  - AT THE TIME OF THIS SURVEY THERE WAS NO OBSERVABLE EVIDENCE OF CURRENT EARTH MOVING WORK, BUILDING CONSTRUCTION OR BUILDING ADDITIONS.
  - AT THE TIME OF THIS SURVEY THERE WAS NO OBSERVABLE EVIDENCE OF WETLANDS AREAS, WETLANDS BUFFERS, STREAMS, STREAM BUFFERS, FLOODPLAIN, FORESTS AND STEEP SLOPES AS DELINEATED BY APPROPRIATE AUTHORITIES.
  - THE PROPERTY IN EXISTING CONDITIONS HAS 132 DEFINED PARKING SPACES.
  - REFER TO THE VICINITY MAP FOR THE TWO (2) HOWARD COUNTY GEODETIC COORDINATES.
  - THE EXISTING PROPERTY COMPRISES OF A +/- 5,695 SF RESTAURANT. THIS STRUCTURE IS TO BE DEMOLISHED WITH THE PROPOSED FUTURE DEVELOPMENT.
  - THERE ARE NO EXISTING SPECIMEN TREES LOCATED ON-SITE.
  - A SIGHT DISTANCE ANALYSIS IS NOT REQUIRED FOR A COMMERCIAL PARCEL.
  - WATER AND SANITARY SEWER SERVICE TO THE SITE ARE PUBLIC.
  - PER SECTION 128.0.A.1a OF THE ZONING REGULATIONS, THE CANOPY IS CONSIDERED A CANTILEVERED BUILDING FEATURE THAT CAN ENCROACH 3 FEET INTO THE 30 FOOT STRUCTURE AND USE SETBACK.
  - HEALTH DEPARTMENT APPROVAL OF THIS SITE DEVELOPMENT PLAN (SDP) DOES NOT ENSURE APPROVAL OF BUILDING PERMIT APPLICATIONS ASSOCIATED WITH THIS PLAN. PERMIT PLANS FOR CERTAIN FACILITIES TO BE CONSTRUCTED WITHIN THE LIMITS DESCRIBED BY THIS SDP WILL REQUIRE REVIEW AND APPROVAL BY THE HEALTH DEPARTMENT. SUCH FACILITIES MAY INCLUDE, BUT ARE NOT LIMITED TO, THOSE WHICH HAVE SWIMMING POOLS, OR THAT SELL PREPARED OR PACKAGED FOODS, OR THAT MAY HAVE EQUIPMENT THAT EMITS RADIATION.

**HOWARD COUNTY STANDARD GENERAL NOTES FOR COMMERCIAL DEVELOPMENT:**

- THE ACCOUNT IDENTIFIED FOR THE PROPERTY SHOWN HEREON IS 06-539289 AND IS ZONED "B-2" AS PER THE OCTOBER 6, 2013 COMPREHENSIVE ZONING PLAN.
- LANDSCAPING NOTE: THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH SECTION 16.124 OF THE HOWARD COUNTY CODE AND LANDSCAPE MANUAL WITH 10 SHADE TREES, 0 ORNAMENTAL TREES, 0 EVERGREEN TREES, AND 78 SHRUBS PROVIDED WITH LANDSCAPE SURETY IN THE AMOUNT OF \$5,340 WITH THE DEVELOPER'S AGREEMENT.
- FOREST CONSERVATION NOTE: THIS SUBDIVISION IS EXEMPT FROM THE REQUIREMENTS OF SECTION 16.1200 OF THE HOWARD COUNTY CODE FOR FOREST CONSERVATION BECAUSE OF SECTION 16.1202(b)(xiii) STATING AN ACTIVITY ON A PREVIOUSLY DEVELOPED AREA COVERED BY AN IMPERVIOUS SURFACE AND LOCATED IN THE PRIORITY FUNDING AREA MEETS THE CRITERIA FOR EXEMPTIONS TO REQUIREMENTS FOR FOREST CONSERVATION PLANS.

**DPZ FILE REFERENCES:**

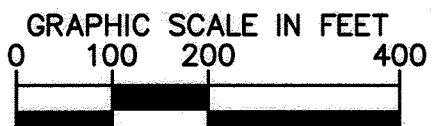
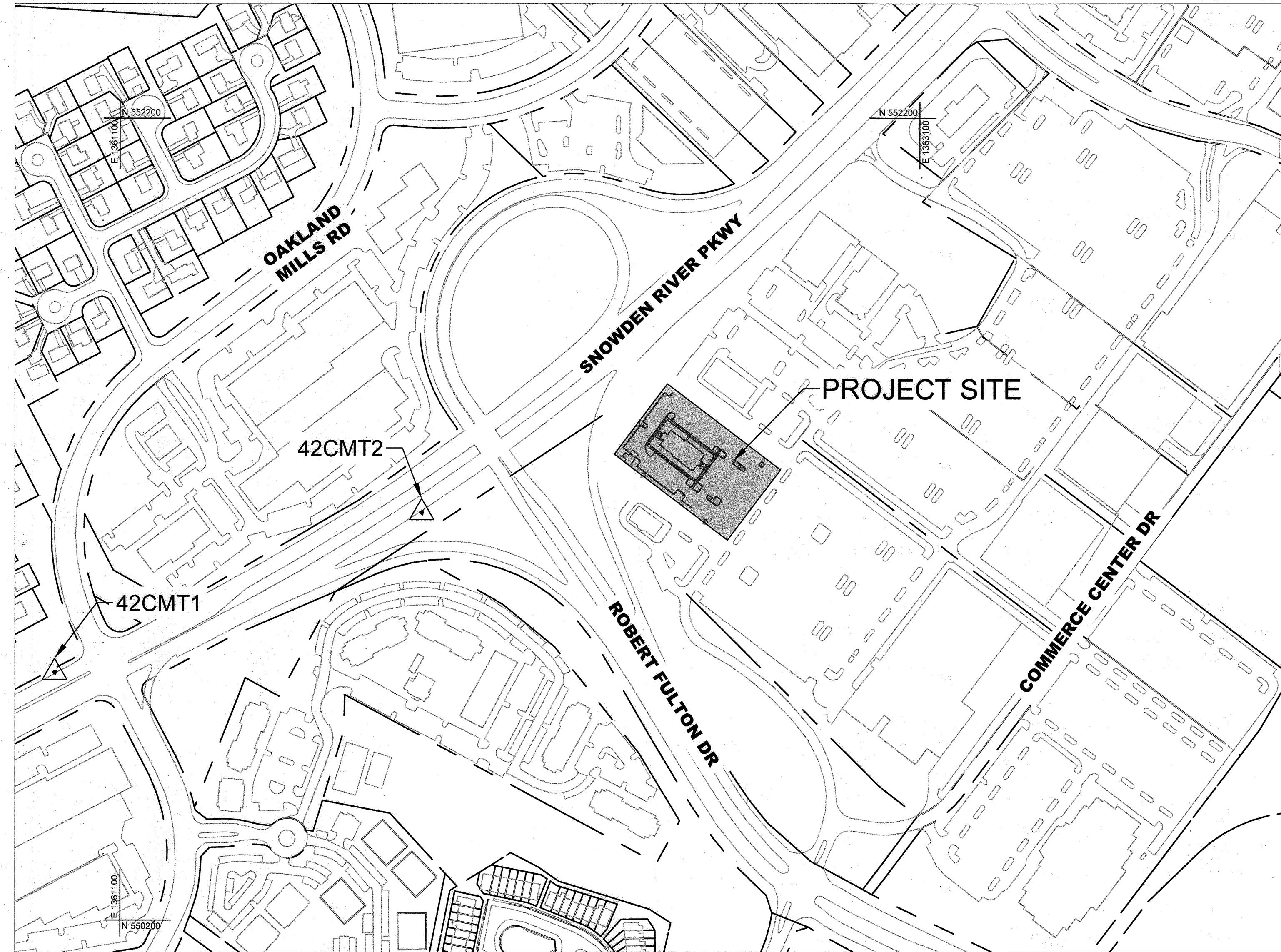
- HOWARD COUNTY SITE DEVELOPMENT PLAN (SDP) #92-49
- HOWARD COUNTY SITE DEVELOPMENT PLAN (SDP) #92-113
- HOWARD COUNTY ENVIRONMENTAL CONCEPT PLAN (ECP) #22-017 - APPROVAL 12-10-2021
- PLAT 10805 (F-93-103)
- PLAT 10538-10543 (F-92-140)
- WATER CONTRACT: 23-3185-D
- SEWER CONTRACT: 23-3185-D

**PARKING SCHEDULE**

	DESCRIPTION	RATE	REQUIRED	PROVIDED
PARKING	RESTAURANTS - FAST FOOD 3,658 SQ. FT. GROSS FLOOR AREA	14.0 SPACES PER 1,000 SQ. FT.	52	75
	RESTAURANTS - OUTDOOR SEATING 477 SQ. FT. SEATING AREA	FAST FOOD: 3.0 SPACES PER 1,000 SQ. FT.	2	
	TOTAL NUMBER OF PARKING SPACES		54	75
ACCESSIBLE	3 SPACES/51 TO 75 SPACES PROVIDED		3	4

Table 1 - Site Generated Traffic Volumes

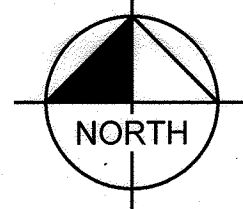
Phase	Land Use	Scale	Units	Land Use Code	AM Peak Hour			PM Peak Hour		
					In	Out	Total	In	Out	Total
Existing	High-Turnover (Sit-Down) Restaurant	5,695	SF	932	30	25	55	31	21	52
					Pass-By Trips (PM = 43%)					
Existing Net, New External Trips					30	25	55	20	10	30
Proposed	Fast-Food Restaurant with Drive-Through Window	3,658	SF	934	83	80	163	63	58	121
					Pass-By Trips (AM = 49%, PM = 50%)					
Proposed Net, New External Trips					43	40	83	32	29	61
Net Change in Site Trips					13	15	28	12	19	31



**LOCATION PLAN**

SCALE: 1" = 200'

ADC MAP 5053-J2



Horizontal datum for this as-built survey is based on the Maryland State Reference System NAD 83/2011. AS PROJECTED BY HOWARD COUNTY GEODETIC CONTROL STATIONS 42CA, 42CC.

Vertical datum for this as-built survey is North American Vertical Datum (NAVD) 1988 as projected by 8801D U.S.

This as-built survey was completed by Johnson Burns Associates, Inc.

The instruments were used in performing this as-built, 3-second Robotic Total Station.

**ARCHITECT**

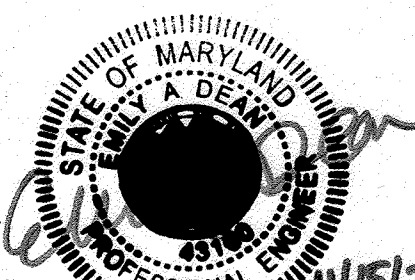
PM DESIGN, INC  
ATTN: TIM PRINCEHORN  
6530 WEST CAMPUS OVAL SUITE 190  
NEW ALBANY, OH 43054  
TEL: (614)-610-9616  
EMAIL: TPRINCEHORN@PMDESIGN.COM

**SURVEY INFORMATION**

GRS GROUP, LLC  
ATTN: KEVIN STEINHILBER  
6703 DELAND COURT  
SPRINGFIELD, VA 22152  
TEL: (703) 727-5828

**CIVIL ENGINEER / LANDSCAPE ARCHITECT**

KIMLEY-HORN AND ASSOCIATES, INC.  
ATTN: EMILY A. DEAN, PE  
W. DAVIS WALKER, PLA  
215 WASHINGTON AVE  
SUITE 500  
TOWSON, MD 21204  
TEL: (443) 743-3470  
EMAIL: EMILY.DEAN@KIMLEY-HORN.COM  
EMAIL: DAVIS.WALKER@KIMLEY-HORN.COM



**OWNER**

NATIONAL RETAIL PROPERTIES LP  
450 S ORANGE AVE  
SUITE 900  
ORLANDO FL 32801

**DEVELOPER**

RAISING CANE'S RESTAURANTS, LLC  
ATTN: FELICIA BIVENS  
6800 BISHOP ROAD  
PLANO, TX 75024  
TEL: 931-993-5258  
EMAIL: FELICIA.BIVENS@GMAIL.COM

**APPROVED: DEPARTMENT OF PLANNING AND ZONING**

Chief, Development Engineering Division	Date
Chief, Division of Land Use Management	Date
Planning Director	Date

**ADDRESS CHART**

LOT/PARCEL #	STREET ADDRESS
LOT A 36; PARCEL 513	9071 SNOWDEN RIVER PKWY

**PERMIT INFORMATION CHART**

Subdivision Name	Section/Area	Lot/Parcel No.
GATEWAY COMMERCE CENTER	N/A	513
Plat # of this	Tax Map No.	Election District
10805	0006	04
Water Code	Sewer Code	Census Tract
E06	49000000	806707

I HEREBY CERTIFY THAT THE DATA SHOWN ON THIS DRAWING, OBTAINED UNDER MY SUPERVISION, IS AN ACCURATE AND COMPLETE REPRESENTATION OF WHAT WAS CONSTRUCTED IN THE FIELD AND THAT THE PHYSICAL DIMENSIONS OR ELEVATIONS SHOWN ARE TRUE AS BUILT CONDITIONS, EXCEPT OTHERWISE NOTED HEREON.

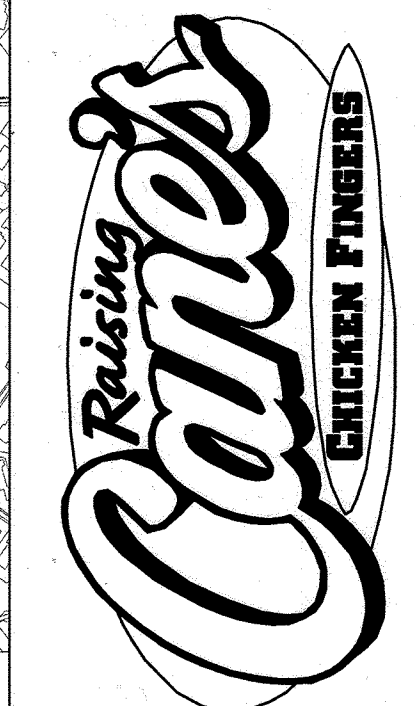
**AS-BUILT CERTIFICATION**

I hereby certify, by my seal, that to the best of my knowledge and belief the facilities shown on this plan were constructed as shown on this "AS-BUILT" plan sheet. The approved plans and specifications. NAME: Emily Dean DATE: 11/15/23 LICENSE NO. 43160 DATE OF AS-BUILT: 9/24/23

**APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS**

County Health Officer	Date
Howard County Health Department	12/20/2022

CALL 48 HOURS BEFORE YOU DIG  
IT'S THE LAW! DIAL 811  
Know what's below. Call before you dig.



Store:  
**9071 SNOWDEN RIVER PARKWAY**  
COLUMBIA, MD 21046  
RESTAURANT #C0838  
P4EV-AV SCHEME A

Professional of Record: EMILY A. DEAN



12/8/2022

PROFESSIONAL CERTIFICATION: I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NO. 43160 EXPIRATION DATE: 02/28/2025

9071 SNOWDEN RIVER PKWY  
COLUMBIA, MARYLAND  
TAX MAP: 42 PARCEL: 513  
ZONING: B-2  
6TH ELECTION DISTRICT  
2ND COUNCIL DISTRICT  
WATER & SEWER CONTRACT #: 24-3185

OWNER: NATIONAL RETAIL PROPERTIES LP  
450 S ORANGE AVE, SUITE 900  
ORLANDO, FL 32801

DEVELOPER: RAISING CANE'S RESTAURANTS, LLC  
ATTN: FELICIA BIVENS  
6800 BISHOP ROAD, PLANO, TX 75024  
931-993-5258

ENGINEER: KIMLEY-HORN AND ASSOCIATES, INC.  
ATTN: EMILY DEAN  
215 WASHINGTON AVE, SUITE 500  
TOWSON, MD 21204  
443-884-5085

Prototype: P4EV-AV 2020 - 2.0 RELEASE

Prototype Issue Date: 7.14.2020

Design Bulletin Updates: --

Date Issued: -- Bulletin Number: --

**FOR REVIEW**

**Kimley Horn**

11400 COMMERCE PARK DR., SUITE 400, RESTON, VA 20191  
PHONE: 703-674-1300 FAX: 703-674-1300  
WWW.KIMLEY-HORN.COM

**REVISIONS:**

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Sheet Title:

**COVER SHEET**

Date: 12/20/2022 11/09/2022

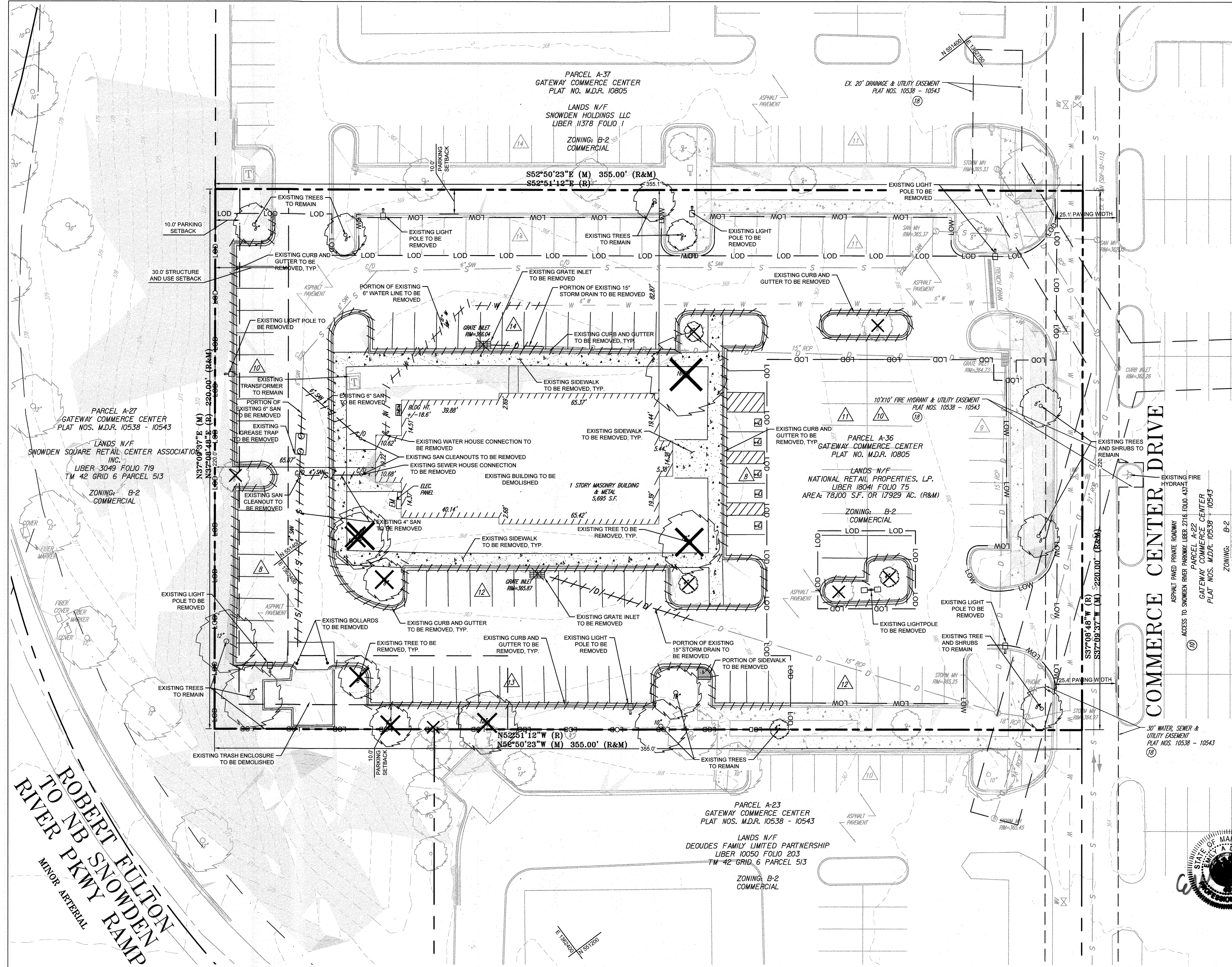
Project Number: 110723018

Drawn By: JAM

Checked By: EAD

Sheet Number: AS-BUILT



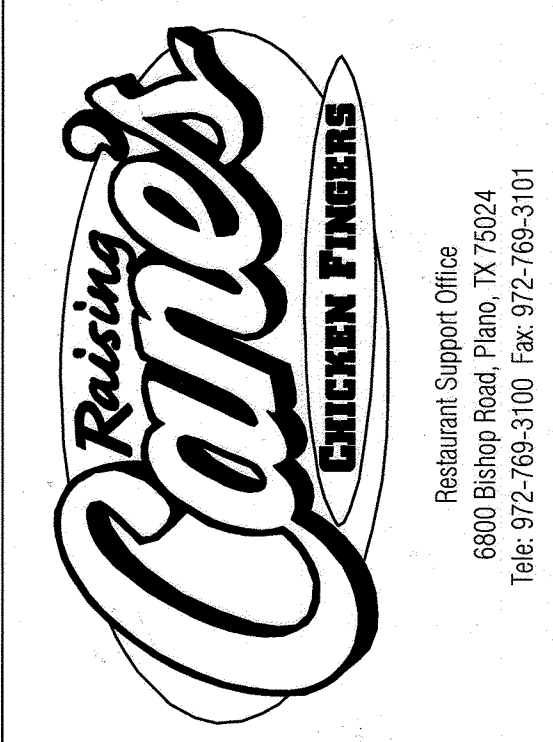


**EX CONDITIONS LEGEND**

- PROPERTY LINE
- ADJACENT PROPERTY LINE
- 110 EXISTING MAJOR CONTOUR
- 100 EXISTING MINOR CONTOUR
- S EXISTING SEWER LINE
- D EXISTING STORM DRAIN
- W EXISTING WATER LINE
- EXISTING DRAINAGE EASEMENT
- EXISTING UTILITY EASEMENT
- EXISTING STORM DRAIN MANHOLE
- EXISTING CLEANOUT
- EXISTING SEWER MANHOLE
- EXISTING FIRE HYDRANT
- EXISTING WATER VALVE
- EXISTING TRANSFORMER
- EXISTING LIGHTPOLE
- EXISTING ELECTRIC PANEL
- EXISTING GAS METER
- EXISTING TREE
- EXISTING PARKING COUNT
- EXISTING BUILDING
- SLOPES 15-24.9%
- SLOPES 25% OR GREATER

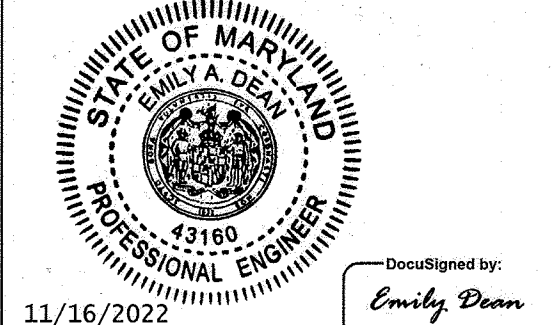
**GENERAL NOTES:**

1. THE EXISTING INFORMATION AND TOPOGRAPHY IS TAKEN FROM ALTA/NSPS LAND TITLE SURVEY WITH ONE FOOT CONTOUR INTERVALS PREPARED BY GRS GROUP, LLC DATED 10/14/21.
2. THE COORDINATES SHOWN HEREON ARE BASED UPON THE HOWARD COUNTY GEODETIC CONTROL, WHICH IS BASED UPON THE MARYLAND STATE PLANE COORDINATE SYSTEM. HOWARD COUNTY BENCHMARKS 42CM11 AND 42CM12 WERE USED FOR THIS PROJECT.
3. THE PROPERTY IN EXISTING CONDITIONS HAS 132 DEFINED PARKING SPACES.
4. THE EXISTING PROPERTY COMPRISES OF A +/- 5,695 SF RESTAURANT. THIS STRUCTURE IS TO BE DEMOLISHED WITH THE PROPOSED DEVELOPMENT.
5. THERE ARE NO EXISTING SPECIMEN TREES LOCATED ON-SITE.



Store:  
**9071 SNOWDEN RIVER PARKWAY**  
**COLUMBIA, MD 21046**  
**RESTAURANT #C0838**  
**P4EV-AV SCHEME A**

Professional of Record: EMILY A. DEAN



11/16/2022  
 EmSigned by: 037768A3DF0482...  
 PROFESSIONAL CERTIFICATION: I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.  
 LICENSE NO. 43160  
 EXPIRATION DATE 03/31/2022

9071 SNOWDEN RIVER PKWY  
 COLUMBIA, MARYLAND  
 TAX MAP: 42 PARCEL: 513  
 ZONING: B-2  
 6TH ELECTION DISTRICT  
 2ND COUNCIL DISTRICT  
 WATER & SEWER CONTRACT #: 24-3185

OWNER: NATIONAL RETAIL PROPERTIES LP  
 450 S ORANGE AVE, SUITE 900  
 ORLANDO, FL 32801

DEVELOPER: RAISING CANE'S RESTAURANTS, LLC  
 ATTN: FELICIA BIVENS  
 6800 BISHOP ROAD, PLANO, TX 75024  
 931-993-5258

ENGINEER: KIMLEY-HORN AND ASSOCIATES, INC.  
 ATTN: EMILY DEAN  
 215 WASHINGTON AVE, SUITE 500  
 TOWSON, MD 21204  
 443-884-5085

Prototype: P4EV- AV 2020 - 2.0 RELEASE

Prototype Issue Date: 7.14.2020

Design Bulletin Updates: --

Date Issued: Bulletin Number: --

**FOR REVIEW**

**Kimley»Horn**  
 11400 COMMERCE PARK DR., SUITE 400, RESTON, VA 20191  
 PHONE: 703-674-1300 FAX: 703-674-1350  
 WWW.KIMLEY-HORN.COM

**REVISIONS:**

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Sheet Title:

**EXISTING CONDITIONS**

Date: 11/09/2022

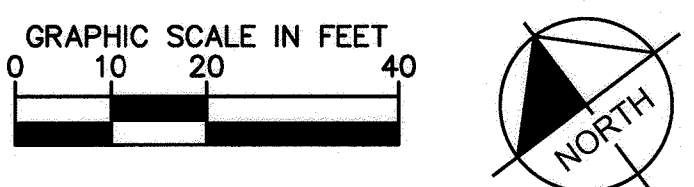
Project Number: 110723018

Drawn By: JAM

Checked By: EAD

Sheet Number:

**ROBERT FULTON RIVER PKWY RAMP**  
 MINOR ARTERIAL



CALL 48 HOURS BEFORE YOU DIG  
**811**  
 IT'S THE WAY! DIAL 811 Know what's below. Call before you dig.

**EXISTING CONDITIONS**  
 SCALE: 1" = 20'

SOIL TYPES		
MAP UNIT SYMBOL	SOIL NAME	HYDROLOGIC SOIL GROUP
UID	URBAN LAND - UDOTHERENTS COMPLEX, 0 TO 15 PERCENT SLOPES	D

**APPROVED: DEPARTMENT OF PLANNING AND ZONING**  
 12/19/2022

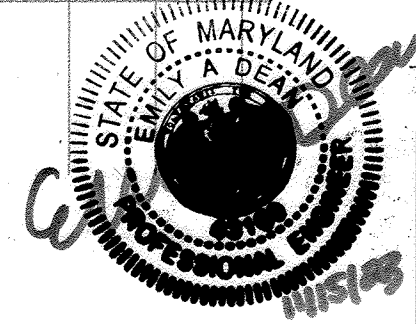
Chief, Development Engineering Division: *(Signature)* Date: 12/19/2022

Chief, Division of Land Development: *(Signature)* Date: 12/20/2022

Planning Director: *(Signature)* Date:

ADDRESS CHART	
LOT/PARCEL #	STREET ADDRESS
LOT A 36, PARCEL 513	9071 SNOWDEN RIVER PKWY

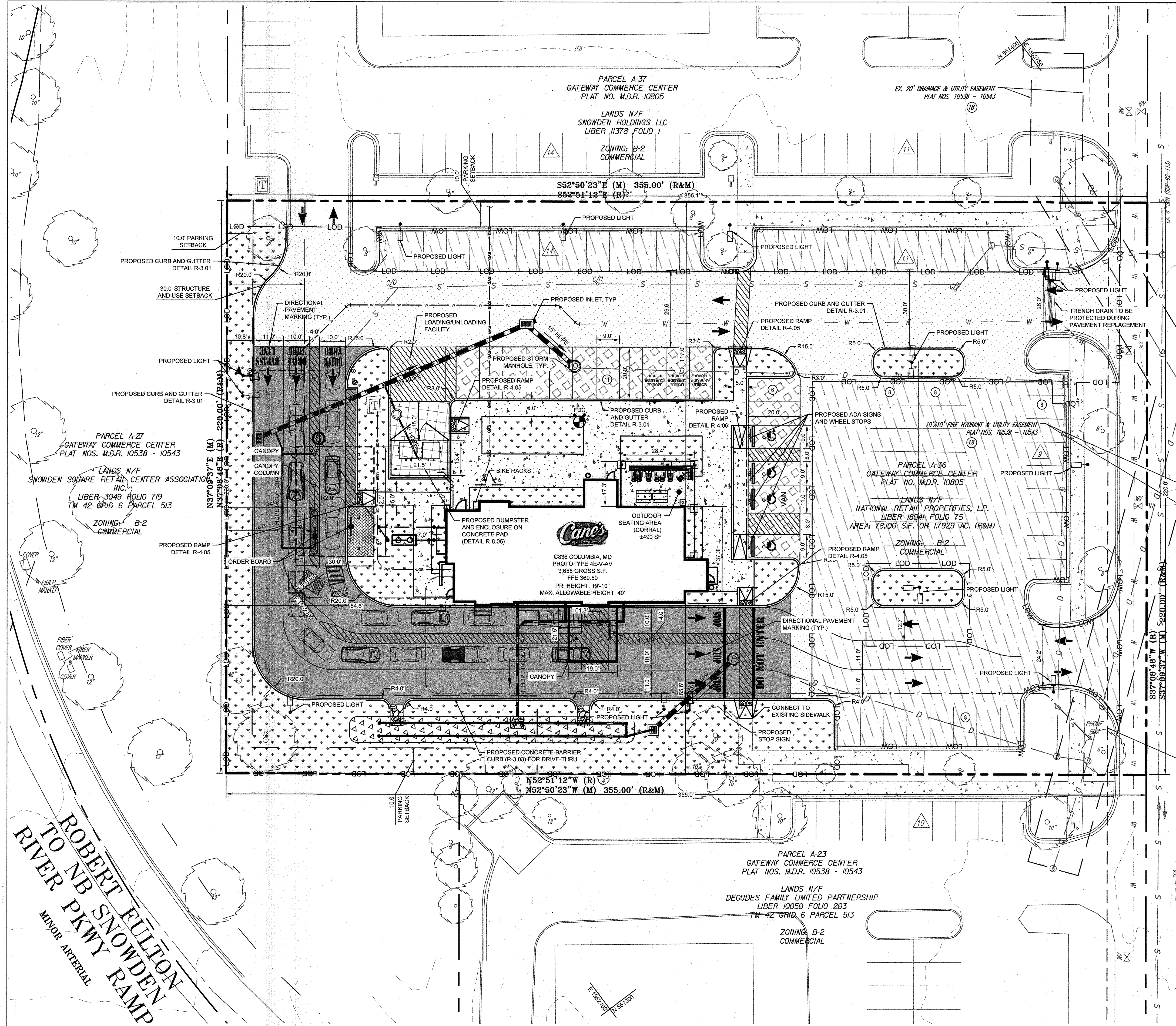
PERMIT INFORMATION CHART			
Subdivision Name	Section/Area	Lot/Parcel No.	
GATEWAY COMMERCE CENTER	N/A	513	
Plat # of L.P.	Gen. Map No.	Elect. District	Genus Type
10805	0006	28-29	806707
Water Code	Sewer Code		
E08	49000000		



THERE IS NO "AS-BUILT" INFORMATION ON THIS SHEET

NOTE:  
 1. CONTRACTOR SHALL TAKE ALL MEASURES REQUIRED TO PROTECT AND PRESERVE TREES CALLED TO REMAIN TO THE BEST OF THEIR ABILITY. REFER SHEET 10 FOR TREE PROTECTION FENCING LOCATION AND SHEET 13 FOR TREE PROTECTION FENCING DETAIL.





**GRAPHIC SCALE IN FEET**  
 0 10 20 40  
 SCALE: 1" = 20'

**811**  
 CALL 48 HOURS BEFORE YOU DIG  
 IT'S THE LAW! DIAL 811  
 Know what's below. Call before you dig.

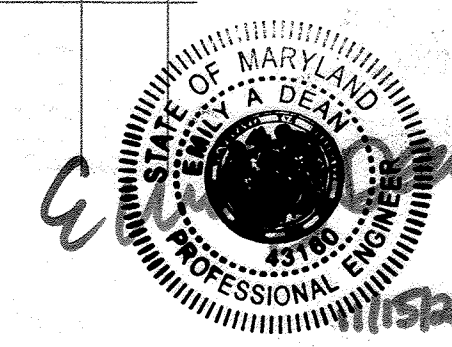
**SITE PLAN**  
 SCALE: 1" = 20'

PAVEMENT DESIGN			
TYPE	USE	LAYER	THICKNESS (IN.)
HEAVY DUTY FLEXIBLE (ASPHALTIC CONCRETE) SEE DETAIL ON SHEET 5	MAIN ACCESS DRIVE AISLES	HMA SUPERPAVE 9.5mm (SURFACE COURSE)	2.0
		HMA SUPERPAVE 25.0mm (BASE COURSE)	4.0
		GRADED AGGREGATE BASE (GAB) COURSE	6.0
LIGHT DUTY FLEXIBLE (ASPHALTIC CONCRETE) SEE DETAIL ON SHEET 5	PARKING LOT AND PARKING STALLS	HMA SUPERPAVE 9.5mm (SURFACE COURSE)	1.5
		HMA SUPERPAVE 25.0mm (BASE COURSE)	3.0
		GRADED AGGREGATE BASE (GAB) COURSE	6.0
HEAVY DUTY RIGID (PCC) SEE DETAIL ON SHEET 5	DUMPSTER PAD	PCC	6.0
		GRADED AGGREGATE BASE (GAB) COURSE	6.0
MEDIUM DUTY RIGID (PCC) SEE DETAIL ON SHEET 5	DRIVE THRU	PCC	5.0
		GRADED AGGREGATE BASE (GAB) COURSE	6.0
LIGHT DUTY (PCC) SEE DETAIL ON SHEET 5	SIDEWALKS	PCC	5.0
		GRADED AGGREGATE BASE (GAB) COURSE	4.0

**SITE LEGEND**

- PROPERTY LINE
- ADJACENT PROPERTY LINE
- PROPERTY SETBACK
- LIMITS OF DISTURBANCE
- LIMITS OF WORK
- PROPOSED CURB
- PROPOSED BUILDING
- PROPOSED ADA PARKING MARKING
- PROPOSED PARKING COUNT
- PROPOSED PARKING STRIPING
- PROPOSED LANDSCAPING
- PROPOSED SWM FACILITY
- LIGHT DUTY (PCC) SIDEWALK PAVEMENT SEE DETAIL ON SHEET C8.0
- LIGHT DUTY FLEXIBLE (ASPHALTIC CONCRETE) SEE DETAIL ON SHEET 7
- MEDIUM DUTY RIGID (PCC) SEE DETAIL ON SHEET 7
- HEAVY DUTY FLEXIBLE (ASPHALTIC CONCRETE) SEE DETAIL ON SHEET 7
- HEAVY DUTY RIGID (PCC) SEE DETAIL ON SHEET 7
- MILL AND OVERLAY
- PROPOSED SIGN
- EXISTING SIDEWALK

**COMMERCE CENTER DRIVE**



**AS-BUILT CERTIFICATION**  
 I hereby certify by my Seal, that to the best of my knowledge and belief the facilities shown on this plan were constructed as shown on this AS-BUILT plan meet the Approved Plans and Specifications.  
 NAME: Emily Dean DATE: 11/15/22  
 LICENSE NO. 43160 DATE OF AS-BUILT: 12/19/22

APPROVED: DEPARTMENT OF PLANNING AND ZONING		12/19/2022	
Chief, Development Engineering Division	<i>And Edmondson</i>	Date	12/19/2022
Chief, Division of Land Development	<i>Angy Groman</i>	Date	12/20/2022
Planning Director	58460004700404	Date	

ADDRESS CHART	
LOT/PARCEL #	STREET ADDRESS
LOT A 36; PARCEL 513	9071 SNOWDEN RIVER PKWY

PERMIT INFORMATION CHART				
Subdivision Name	Section/Area	N/A	Lot/Parcel No.	513
GATEWAY COMMERCE CENTER				
Plat No. 10505	Code 0006	Zoning 28-2	Tax Map No. 082	Elected District 6
Water Code E06	Sewer Code 49000000			Census Tract 806707

**Raising Cane's CHICKEN FINGERES**  
 Restaurant Support Office  
 6800 Bishop Road, Plano, TX 75024  
 Tele: 972-769-3100 Fax: 972-769-3101

Store:  
**9071 SNOWDEN RIVER PARKWAY**  
**COLUMBIA, MD 21046**  
**RESTAURANT #C0838**  
**P4EV-AV SCHEME A**  
 Professional of Record: EMILY A. DEAN

Professional Engineer Seal for Emily Dean, State of Maryland, License No. 43160, dated 11/16/2022.

PROFESSIONAL CERTIFICATION: I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A FULLY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.  
 LICENSE NO. 43160 EXPIRATION DATE 12/19/2022

9071 SNOWDEN RIVER PKWY  
 COLUMBIA, MARYLAND  
 TAX MAP: 42 PARCEL 513  
 ZONING: B-2  
 6TH ELECTION DISTRICT  
 2ND COUNCIL DISTRICT  
 WATER & SEWER CONTRACT #: 24-3185

OWNER: NATIONAL RETAIL PROPERTIES LP  
 450 S ORANGE AVE, SUITE 900  
 ORLANDO, FL 32801

DEVELOPER: RAISING CANE'S RESTAURANTS, LLC  
 ATTN: FELICIA BIVENS  
 6800 BISHOP ROAD, PLANO, TX 75024  
 931-993-5258

ENGINEER: KIMLEY-HORN AND ASSOCIATES, INC.  
 ATTN: EMILY DEAN  
 215 WASHINGTON AVE, SUITE 500  
 TOWSON, MD 21284  
 443-884-5085

Prototype: P4EV-AV 2020 - 2.0 RELEASE  
 Prototype Issue Date: 7.14.2020  
 Design Bulletin Updates: --  
 Date Issued: Bulletin Number: --

**FOR REVIEW**

**Kimley»Horn**  
 11400 COMMERCE PARK DR., SUITE 400, RESTON, VA 20191  
 PHONE: 703-674-1300 FAX: 703-674-1350  
 WWW.KIMLEY-HORN.COM

REVISIONS:	
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Sheet Title: **SITE PLAN**

Date: **1/16/2023 11:09:2022**

Project Number: 110723018

Drawn By: JAM

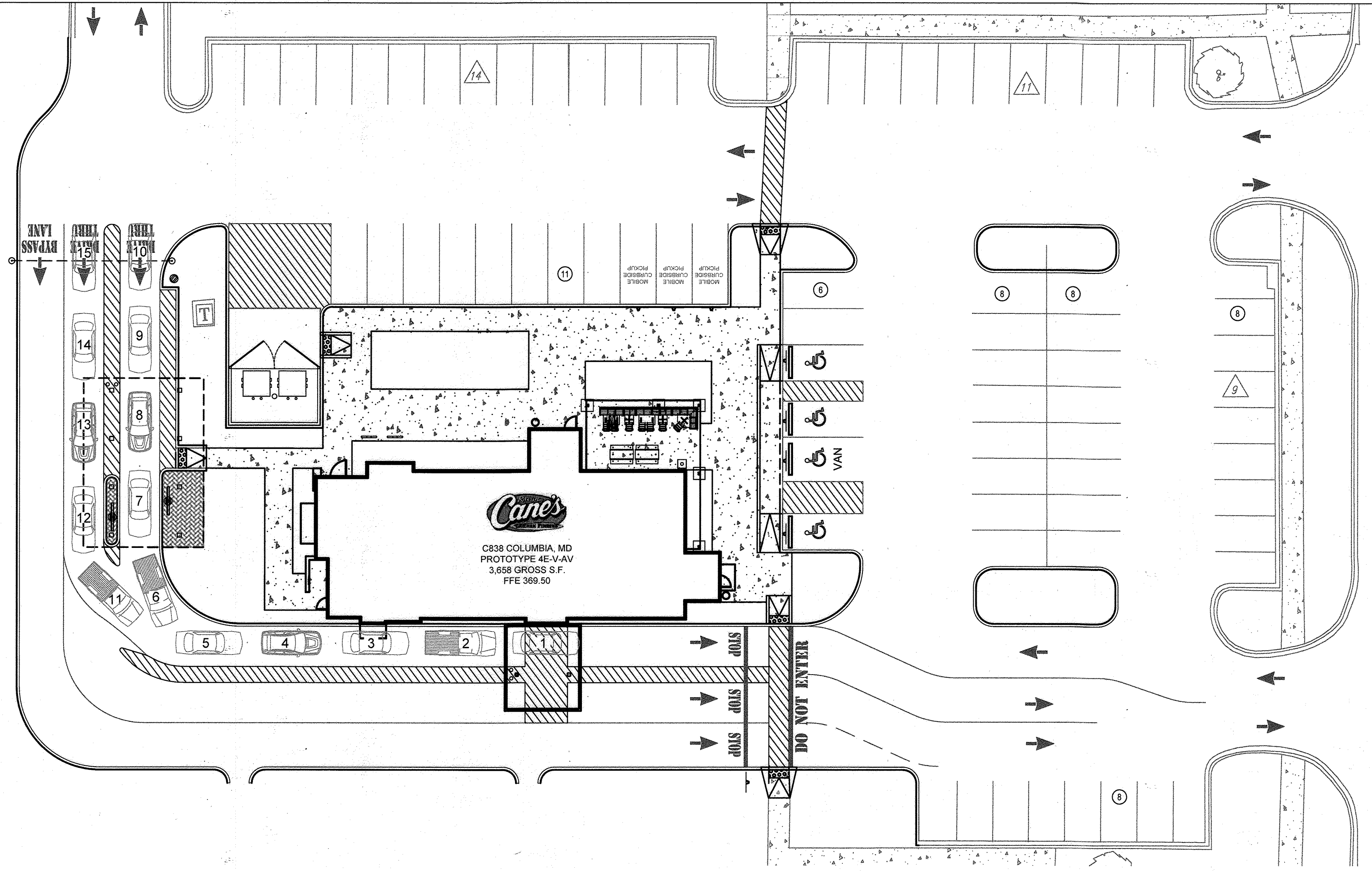
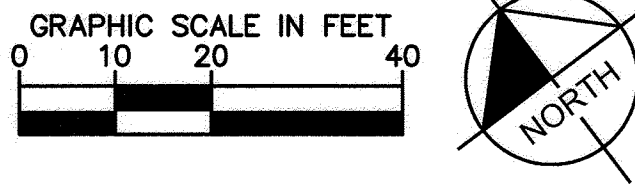
Checked By: EAD

Sheet Number: **AS-BUILT**



**DUAL DRIVE THRU LANE TO SINGLE PAY & PICK UP**

SCALE: 1" = 20'



**DRIVE THRU OPERATION NOTES:**

- DUAL LANES ARE USED TO INCREASE CAPACITY AND ASSIST WITH SPEED OF SERVICE. THE FUNCTION IS AS FOLLOWS:
- CUSTOMER ENTERS DRIVE-THROUGH IN EITHER LANE 1 OR LANE 2 AND APPROACH THEIR RESPECTIVE MENU BOARD.
  - ORDERS ARE TAKEN VIA THE BUILT-IN INTERCOM SYSTEM ON THE MENU BOARD.
  - AFTER THE ORDER IS PLACED, CUSTOMERS MOVE FORWARD TOWARDS THE FIRST WINDOW, WHICH IS A DEDICATED PAY WINDOW.
    - a. IF THE CUSTOMER IS IN LANE 2, THEY MERGE INTO LANE 1 TO GET TO THE PAY WINDOW.
    - b. ORDERS ARE TAKEN IN ALTERNATING SEQUENCE BETWEEN LANES 1 AND 2 TO STAGGER THE MERGING CARS.
  - PAYMENT IS TAKEN AT THE FIRST WINDOW.
  - THE CUSTOMER PULLS UP TO THE SECOND WINDOW AND RECEIVES THEIR ORDER.

IF THE RESTAURANT IS BUSY, BOTH LANES CAN BE USED FOR FULL STACKING, WHERE THE MERGING FROM LANE 1 TO LANE 2 IS NOT IN PLACE AND LANE 2 IS USED FOR PICKUP AND ADDITIONAL STACKING.

- THE MENU BOARDS ARE OFF DURING THIS TIME.
- CUSTOMERS ENTER THE DRIVE THRU IN EITHER LANE 1 OR LANE 2.
- A CREWMEMBER (EMPLOYEE) GREETES THE CUSTOMER AT THEIR VEHICLE. CREWMEMBERS ARE LOCATED WITHIN STRIPED AREAS.
- THE ORDER AND PAYMENT ARE TAKEN VIA TABLET.
  - \*DURING THIS TIME THE MENU BOARDS AND ORDERING INTERCOMS ARE TURNED OFF\*
- AFTER PAYMENT THE CUSTOMER IS USHERED FORWARD BY ADDITIONAL CREWMEMBERS.
  - \*THE PAY WINDOW IS CLOSED DURING THIS TIME\*
- FOOD IS USHERED TO THE CUSTOMER'S VEHICLE BY CREWMEMBERS IN STRIPED PATHWAYS.
- FOOD IS PASSED THROUGH THE PICKUP WINDOW TO THE CREWMEMBER.
- AFTER RECEIVING THEIR FOOD, THE CUSTOMER IS USHERED FORWARD BY A CREWMEMBER TO FACILITATE LANES MERGING AS THE CUSTOMER LEAVES THE DRIVE THRU.



Restaurant Support Office  
6800 Bishop Road, Plano, TX 75024  
Tel: 972-769-3100 Fax: 972-769-3101

Store:  
**9071 SNOWDEN RIVER PARKWAY**  
**COLUMBIA, MD 21046**  
**RESTAURANT #C0838**  
**P4EV-AV SCHEME A**

Professional of Record: EMILY A. DEAN



11/16/2022  
Professional Certification: I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.  
LICENSE NO. 43160  
EXPIRATION DATE 12/31/2022

9071 SNOWDEN RIVER PKWY  
COLUMBIA, MARYLAND  
TAX MAP: 42 PARCEL: 513  
ZONING B-2  
6TH ELECTION DISTRICT  
2ND COUNCIL DISTRICT  
WATER & SEWER CONTRACT #: 24-3185

OWNER: NATIONAL RETAIL PROPERTIES LP  
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DEVELOPER: RAISING CANE'S RESTAURANTS, LLC  
ATTN: FELICIA BIVENS  
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REVISIONS:

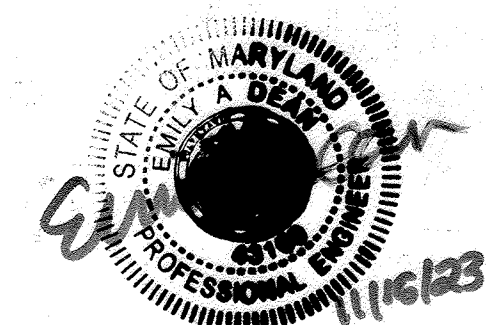
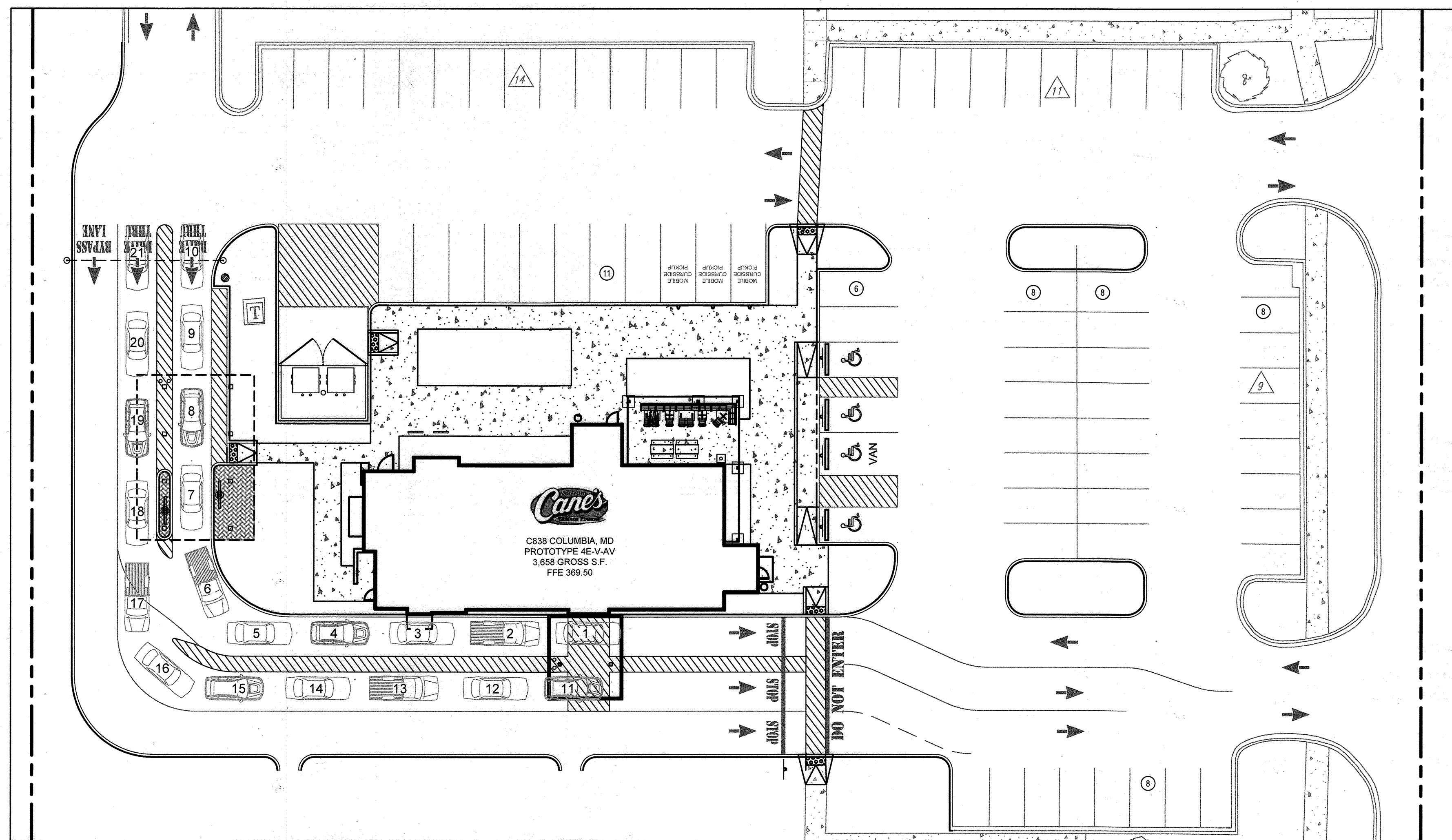
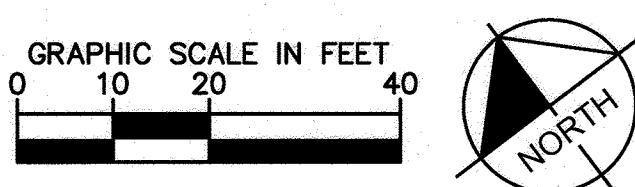
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Sheet Title:  
**DRIVE-THRU OPERATION**

Date: 11/09/2022  
Project Number: 110723018  
Drawn By: JAM  
Checked By: EAD  
Sheet Number:

**DUAL DRIVE THRU LANE TO DUAL EXPO LANE**

SCALE: 1" = 20'



THERE IS NO "AS-BUILT" INFORMATION ON THIS SHEET

APPROVED: DEPARTMENT OF PLANNING AND ZONING

Chief, Development Engineering Division: *Chad Edmondson* Date: 12/19/2022

Chief, Division of Land Development: *Angie Brown* Date: 12/20/2022

Planning Director: *Angie Brown* Date: 12/20/2022

ADDRESS CHART	
LOT/PARCEL #	STREET ADDRESS
LOT A 36, PARCEL 513	9071 SNOWDEN RIVER PKWY

PERMIT INFORMATION CHART				
Subdivision Name	Section/Area	Lot/Parcel No.	Water Code	Sewer Code
GATEWAY COMMERCE CENTER	N/A	513	10505	49000000
Plat # of L.P.	Code	Reg	Tax Map No.	Elect District
10505	0006	28-29	042	6
Census Tract				
				806707

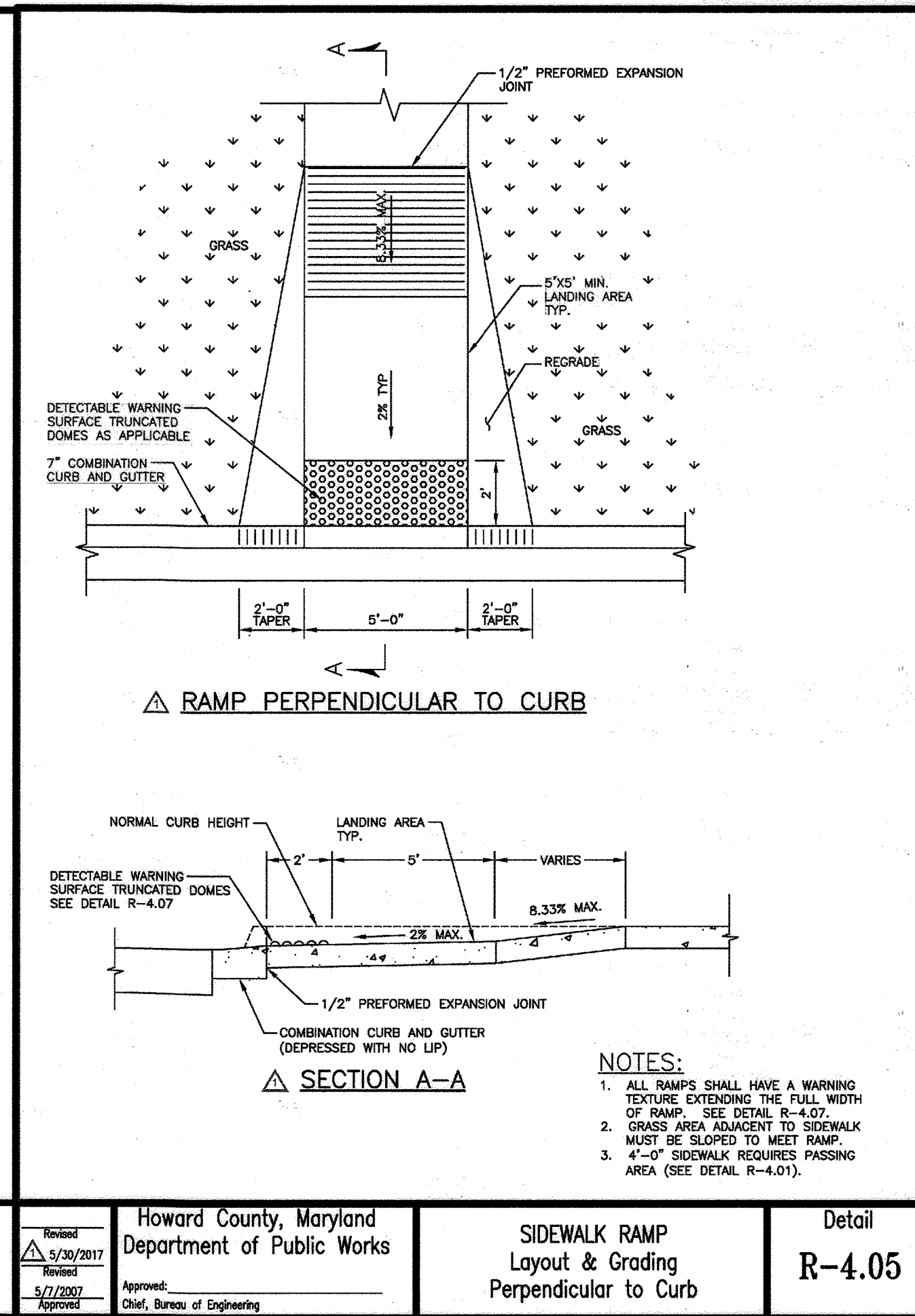
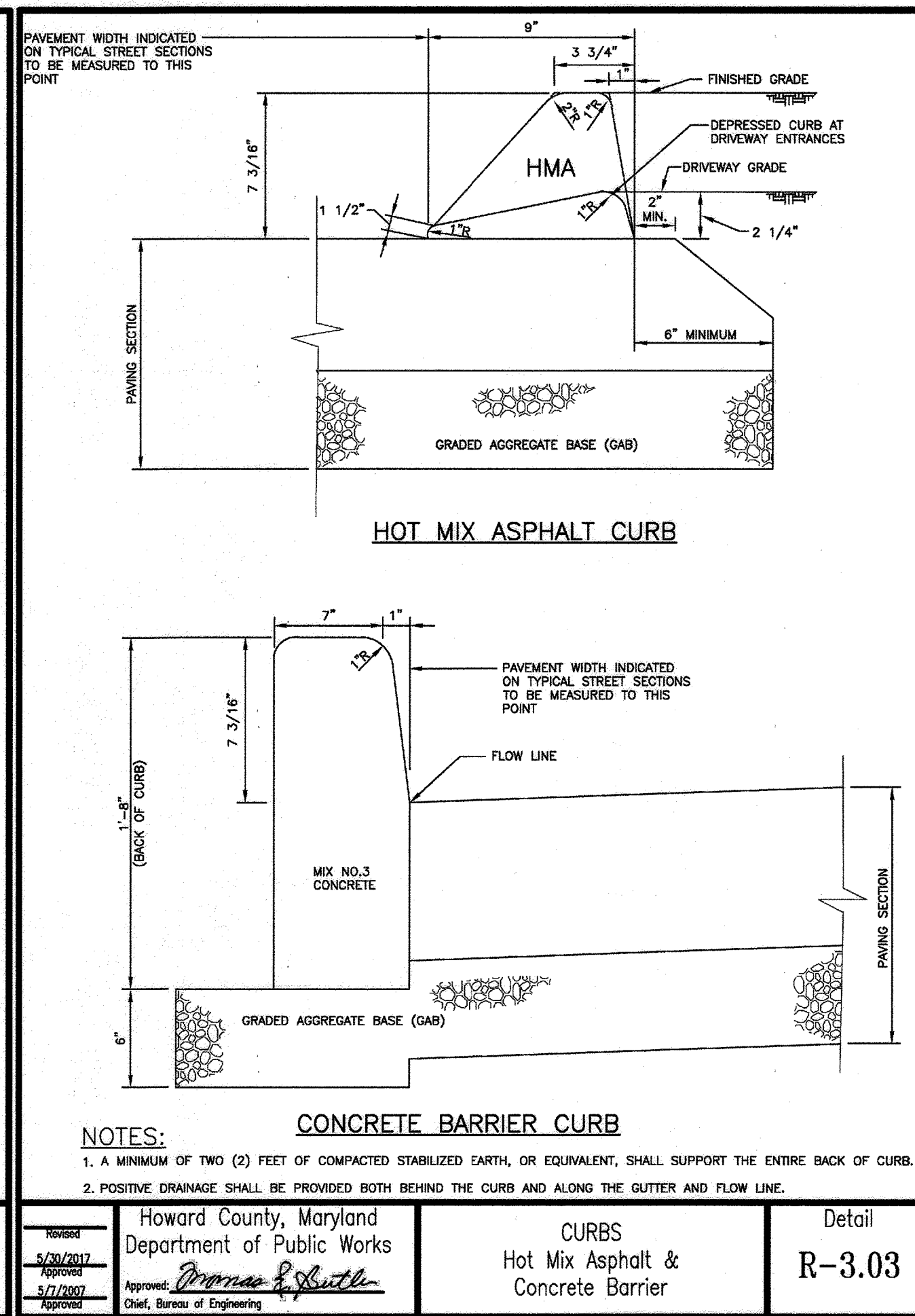
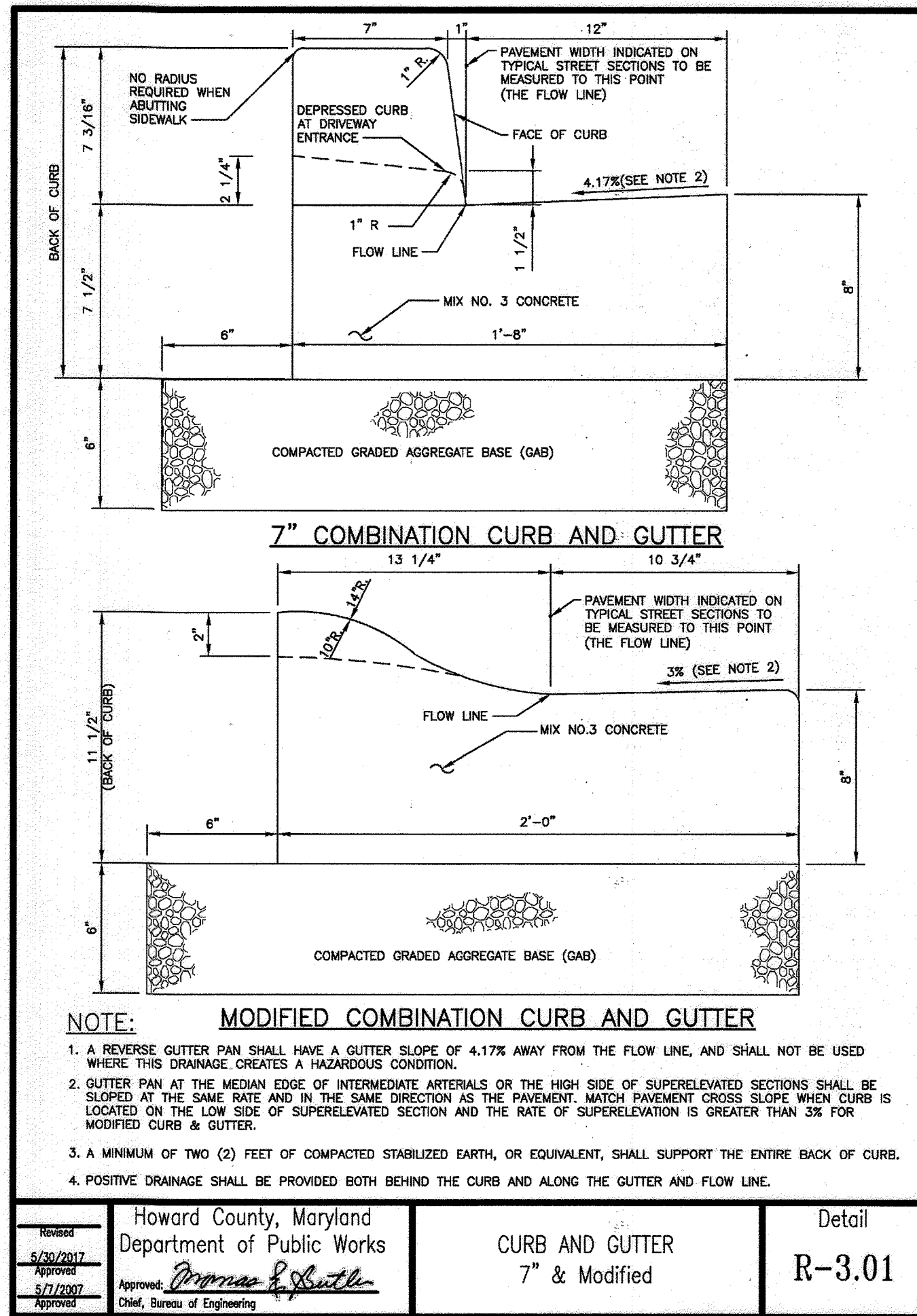
CALL 48 HOURS BEFORE YOU DIG

**811**

IT'S THE LAW! Dial 811 before you dig.

Know what's below. Call before you dig.

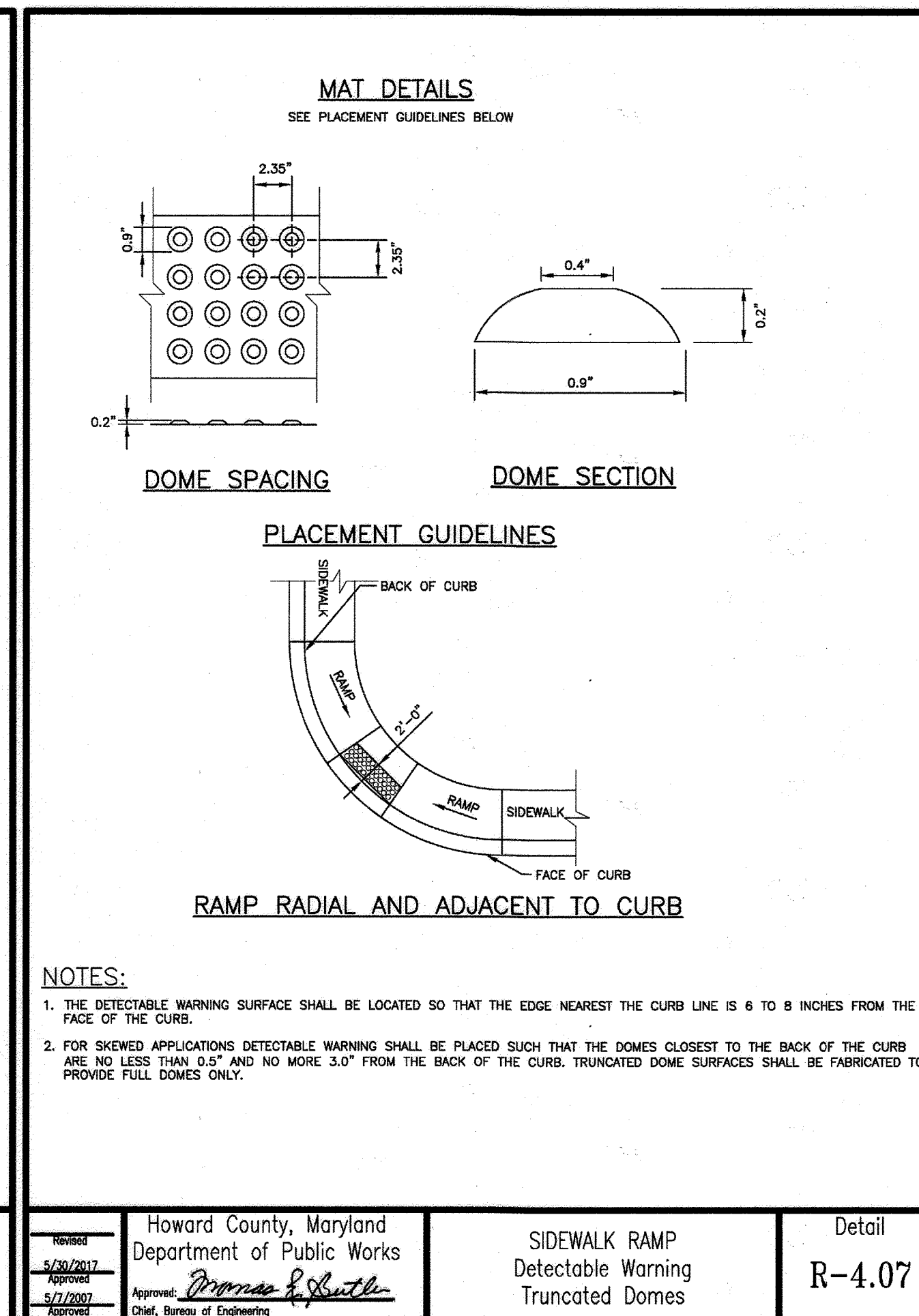
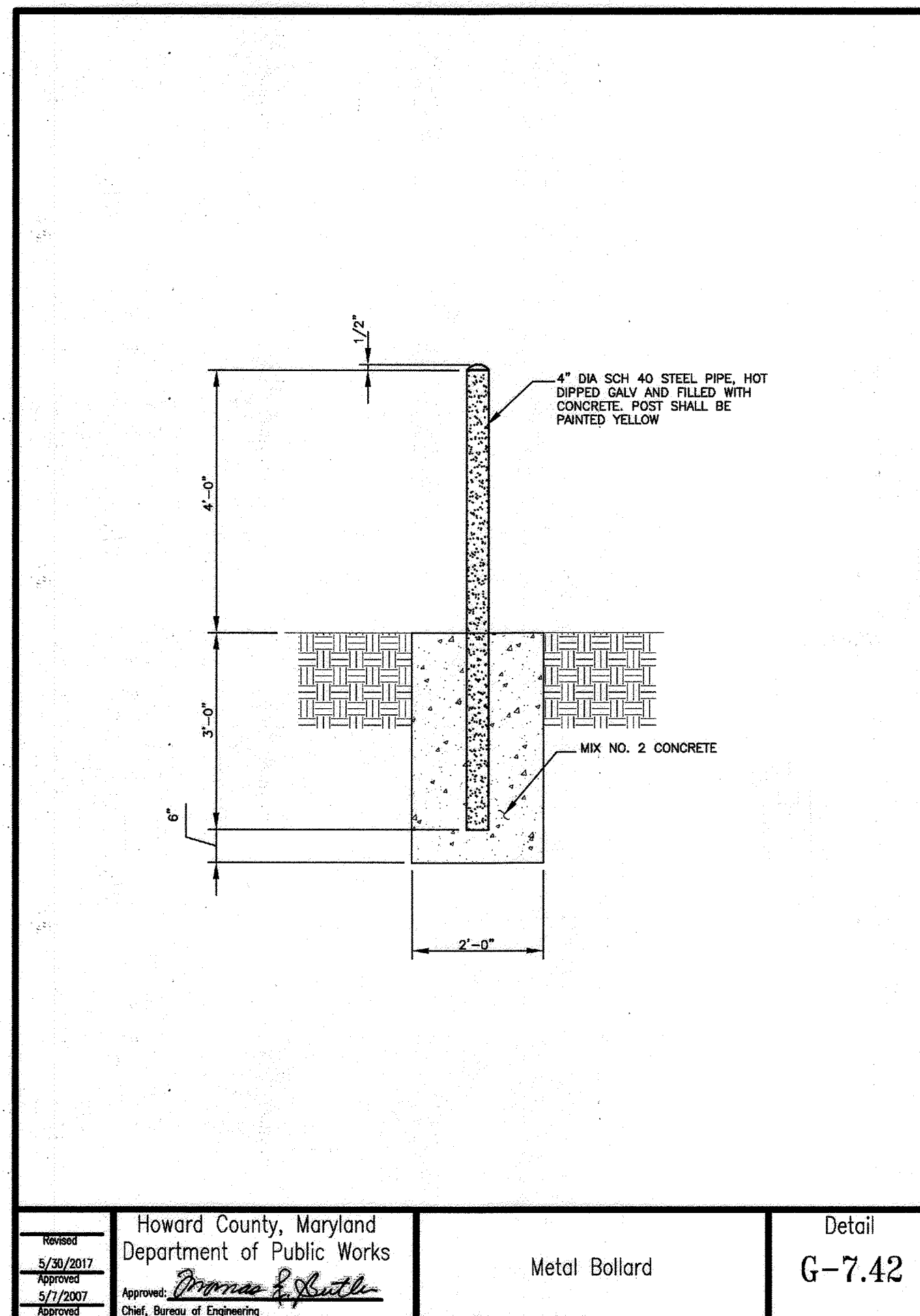




Revised: 5/20/2017 Approved: 5/17/2007	Howard County, Maryland Department of Public Works Approved: <i>Thomas E. Shultz</i> Chief, Bureau of Engineering	CURB AND GUTTER 7" & Modified	Detail R-3.01
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Revised: 5/20/2017 Approved: 5/17/2007	Howard County, Maryland Department of Public Works Approved: <i>Thomas E. Shultz</i> Chief, Bureau of Engineering	CURBS Hot Mix Asphalt & Concrete Barrier	Detail R-3.03
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Revised: 5/20/2017 Approved: 5/17/2007	Howard County, Maryland Department of Public Works Approved: <i>Thomas E. Shultz</i> Chief, Bureau of Engineering	SIDEWALK RAMP Layout & Grading Perpendicular to Curb	Detail R-4.05
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Revised: 5/20/2017 Approved: 5/17/2007	Howard County, Maryland Department of Public Works Approved: <i>Thomas E. Shultz</i> Chief, Bureau of Engineering	Metal Bollard	Detail G-7.42
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Revised: 5/20/2017 Approved: 5/17/2007	Howard County, Maryland Department of Public Works Approved: <i>Thomas E. Shultz</i> Chief, Bureau of Engineering	SIDEWALK RAMP Detectable Warning Truncated Domes	Detail R-4.07
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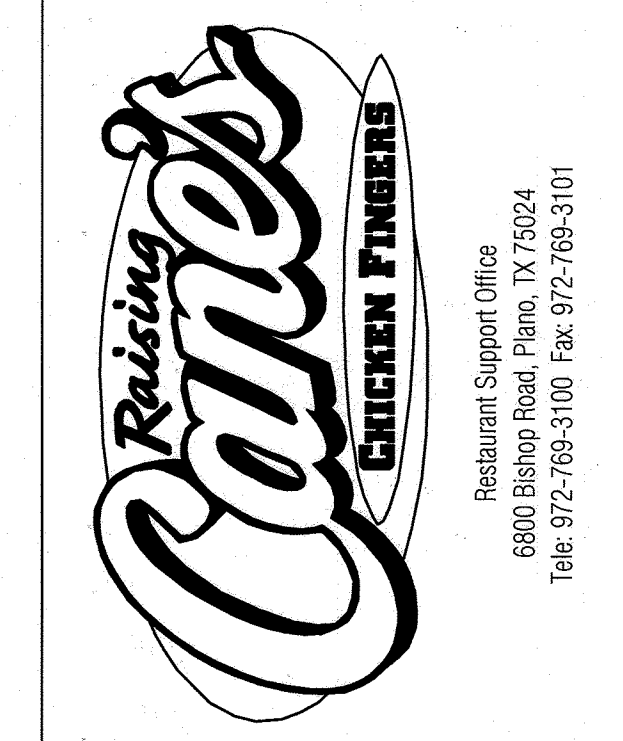


THERE IS NO "AS-BUILT" INFORMATION ON THIS SHEET.

APPROVED: DEPARTMENT OF PLANNING AND ZONING	
Chief, Development Engineering Division <i>Chad Edmondson</i>	Date: 12/19/2022
Chief, Division of Land Development <i>Emily Dean</i>	Date: 12/20/2022
Planning Director	Date:

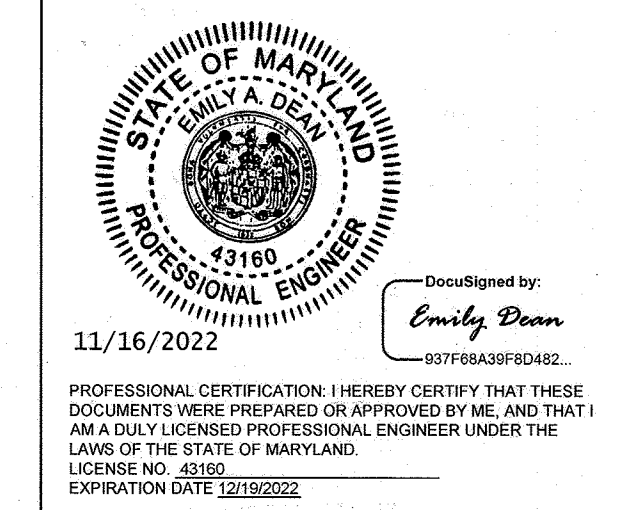
ADDRESS CHART	
LOT/PARCEL #	STREET ADDRESS
LOT A 36, PARCEL 513	9071 SNOWDEN RIVER PKWY

PERMIT INFORMATION CHART					
Subdivision Name	Section/Area	Lot/Parcel No.	Flt # of L.P.	Tax Map No.	Elect District
GATEWAY COMMERCE CENTER	N/A	513	10805	0606	4829
Water Code	Sewer Code	Census Tract			
E08	49000000	806707			



Store:  
**9071 SNOWDEN RIVER PARKWAY**  
**COLUMBIA, MD 21046**  
**RESTAURANT #C0838**  
**P4EV-AV SCHEME A**

Professional of Record: EMILY A. DEAN



9071 SNOWDEN RIVER PKWY  
COLUMBIA, MARYLAND  
TAX MAP: 42 PARCEL: 513  
ZONING B-2  
6TH ELECTION DISTRICT  
2ND COUNCIL DISTRICT  
WATER & SEWER CONTRACT #: 24-3185  
OWNER: NATIONAL RETAIL PROPERTIES LP  
450 S ORANGE AVE, SUITE 900  
ORLANDO, FL 32801  
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Prototype: P4EV-AV 2020 - 2.0 RELEASE  
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Sheet Title:

**SITE DETAILS**

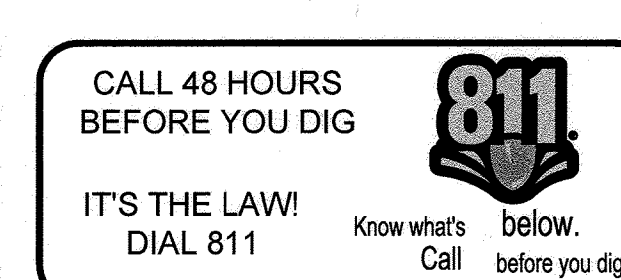
Date: 11/09/2022

Project Number: 110723018

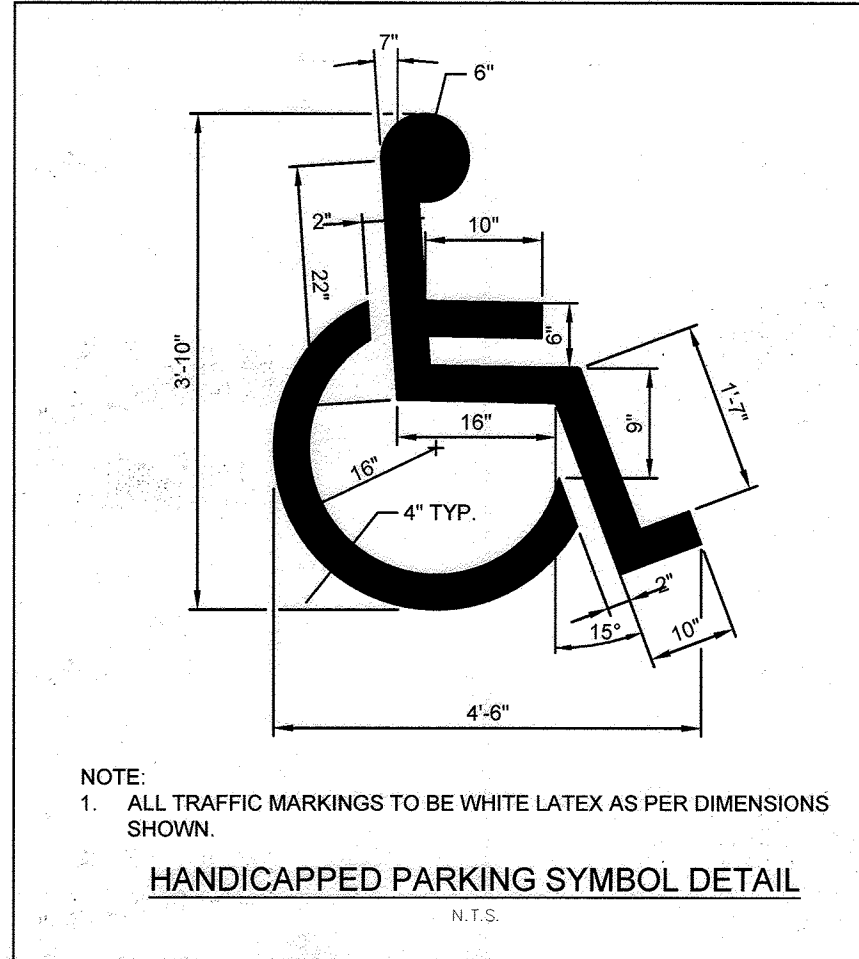
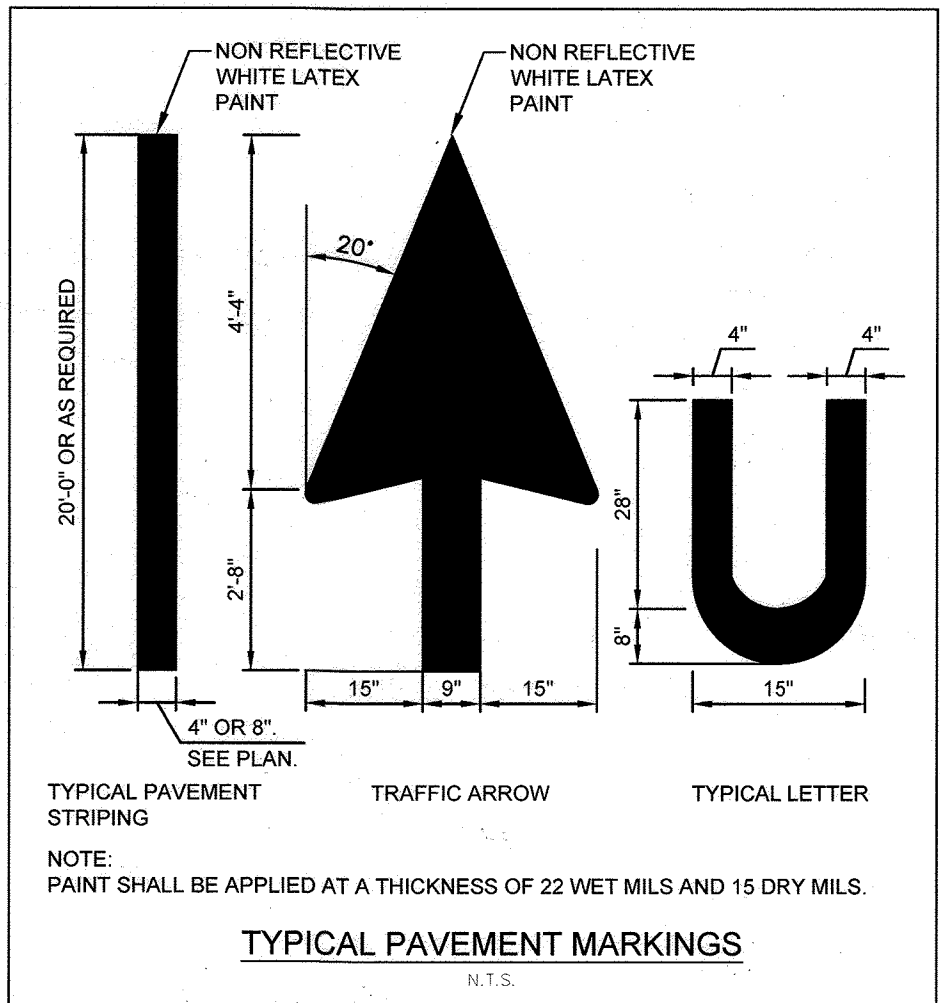
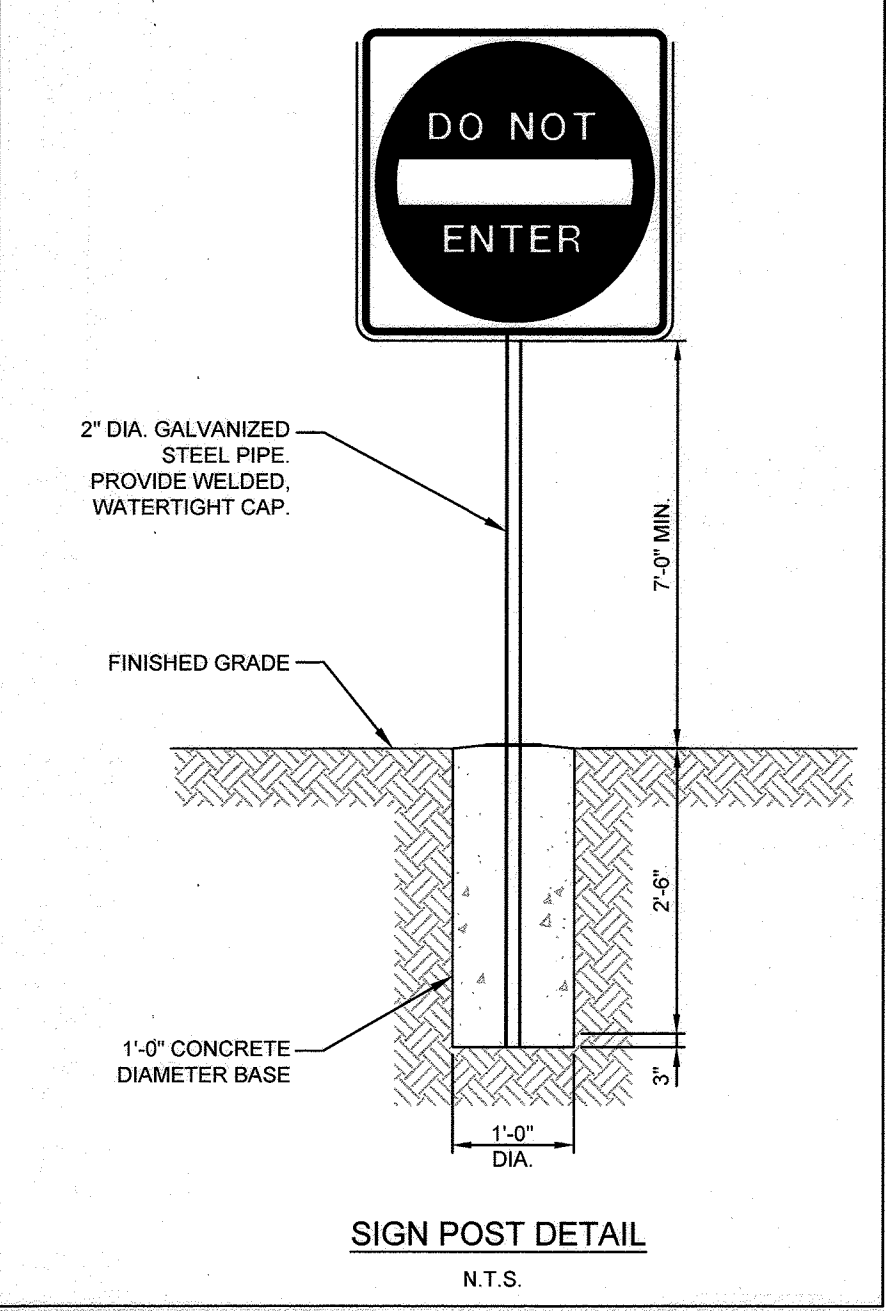
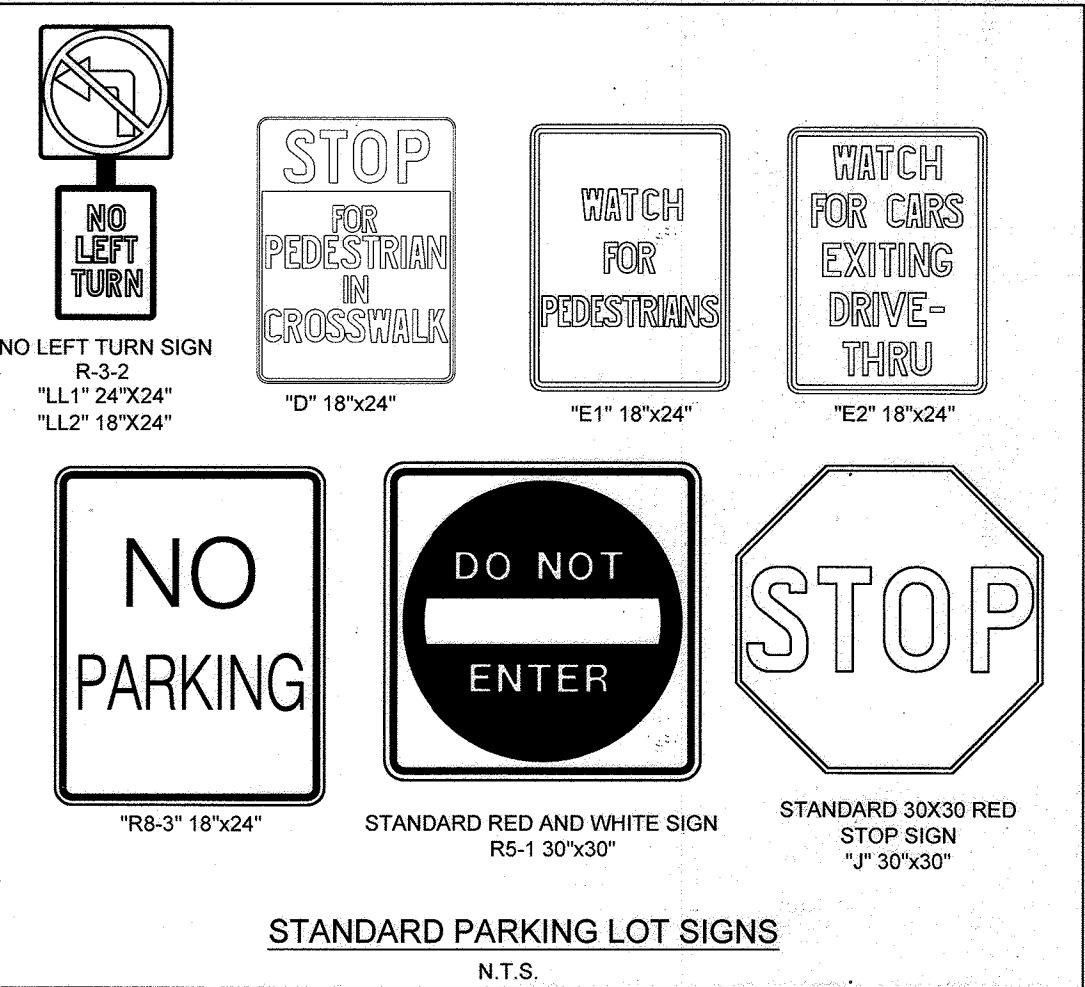
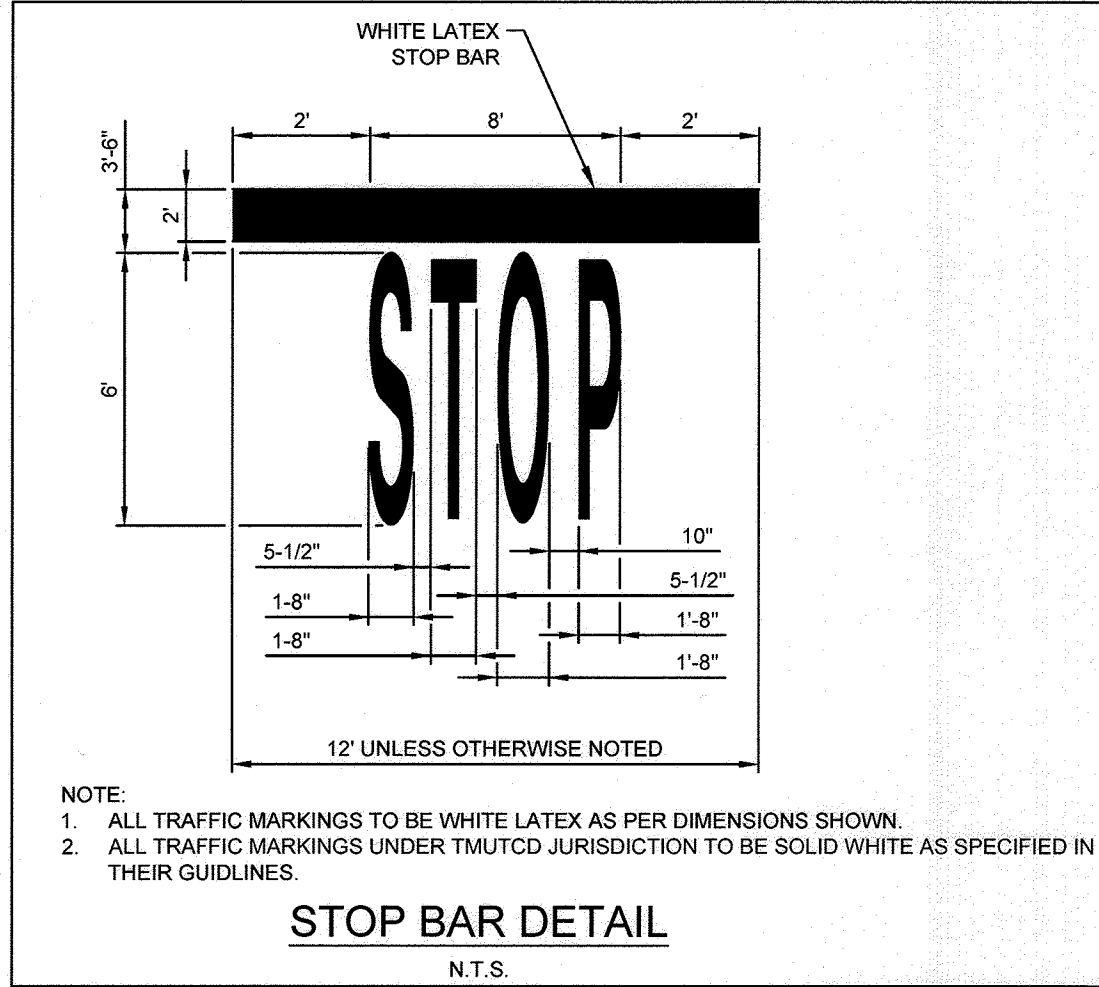
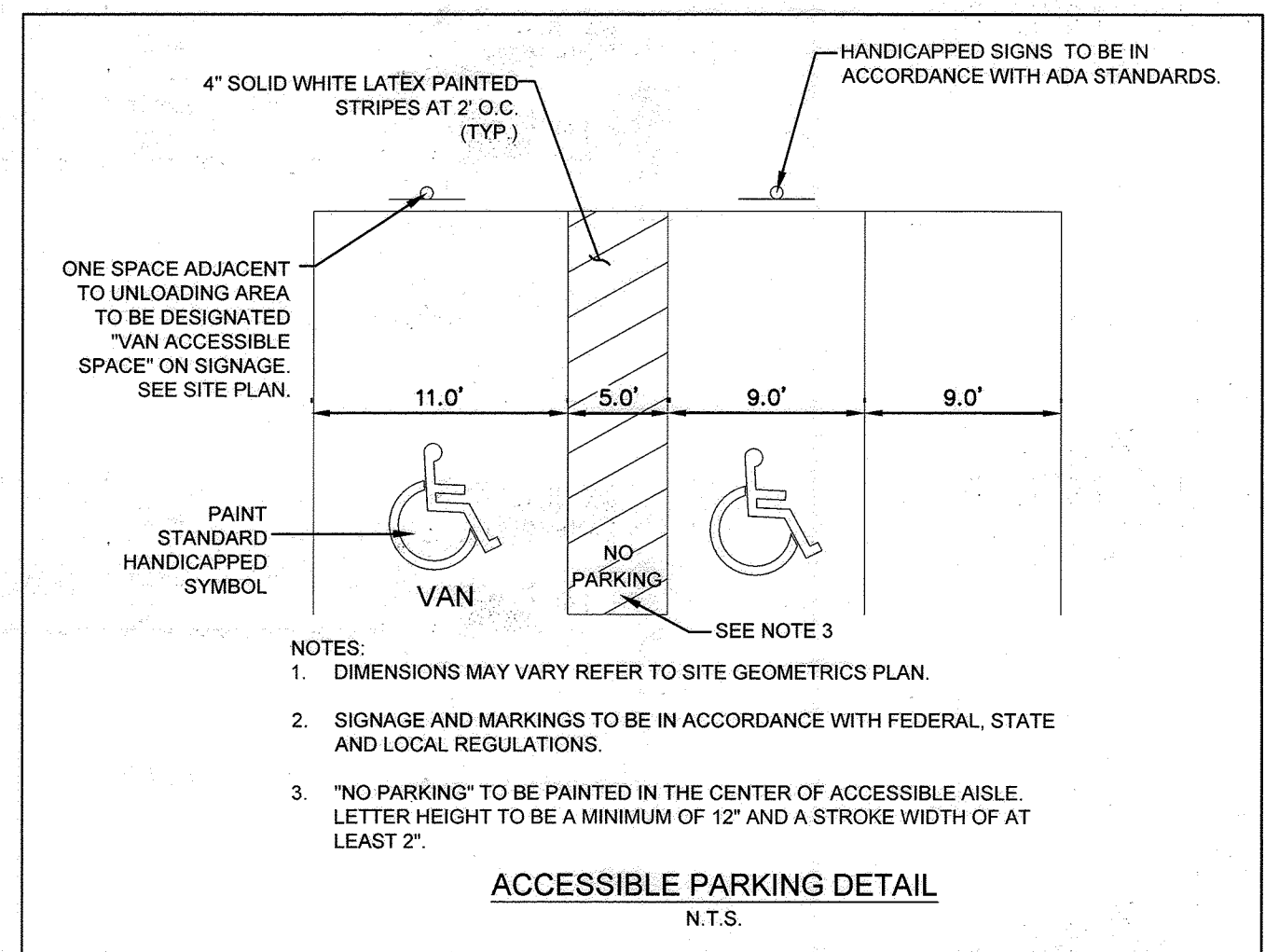
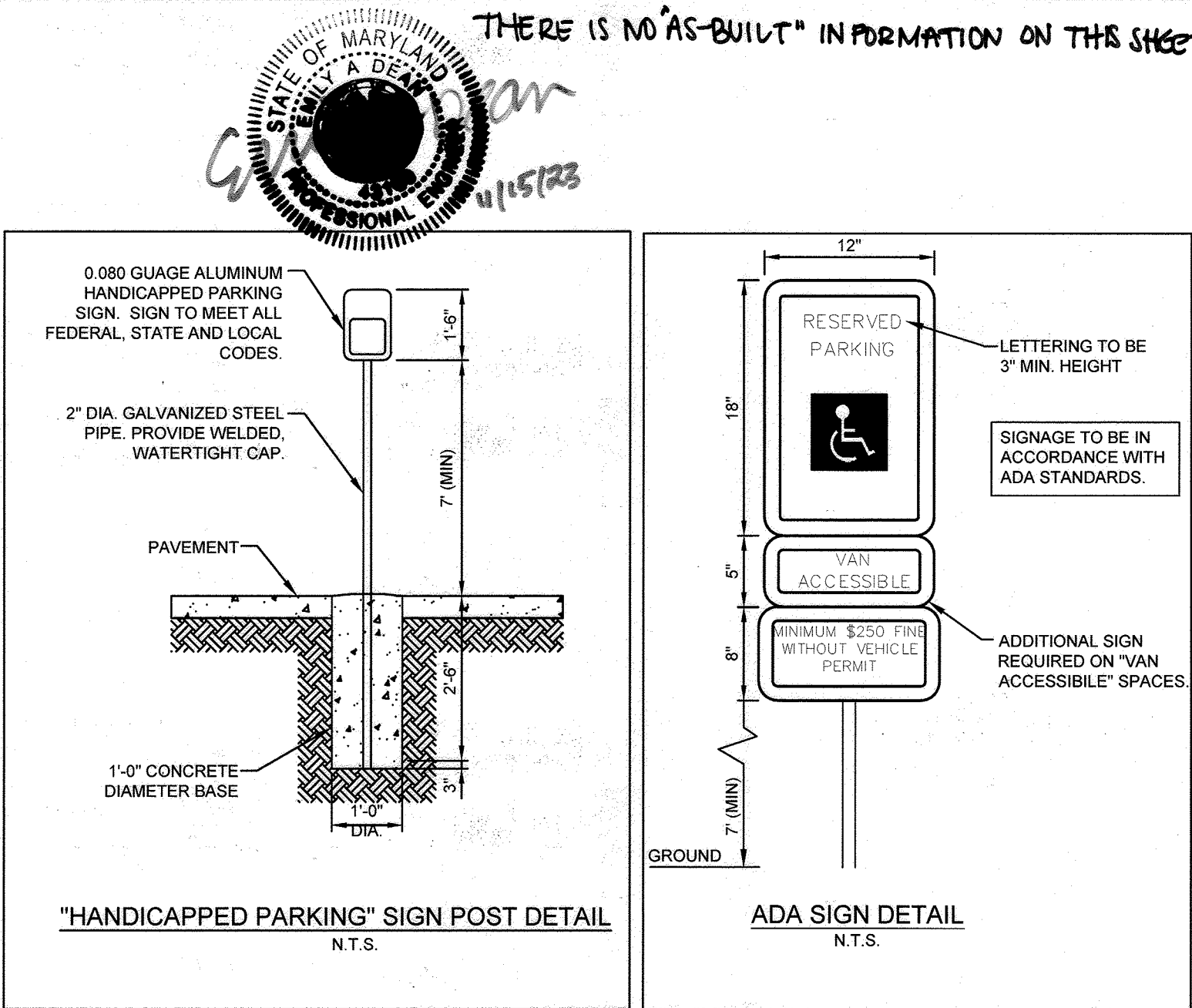
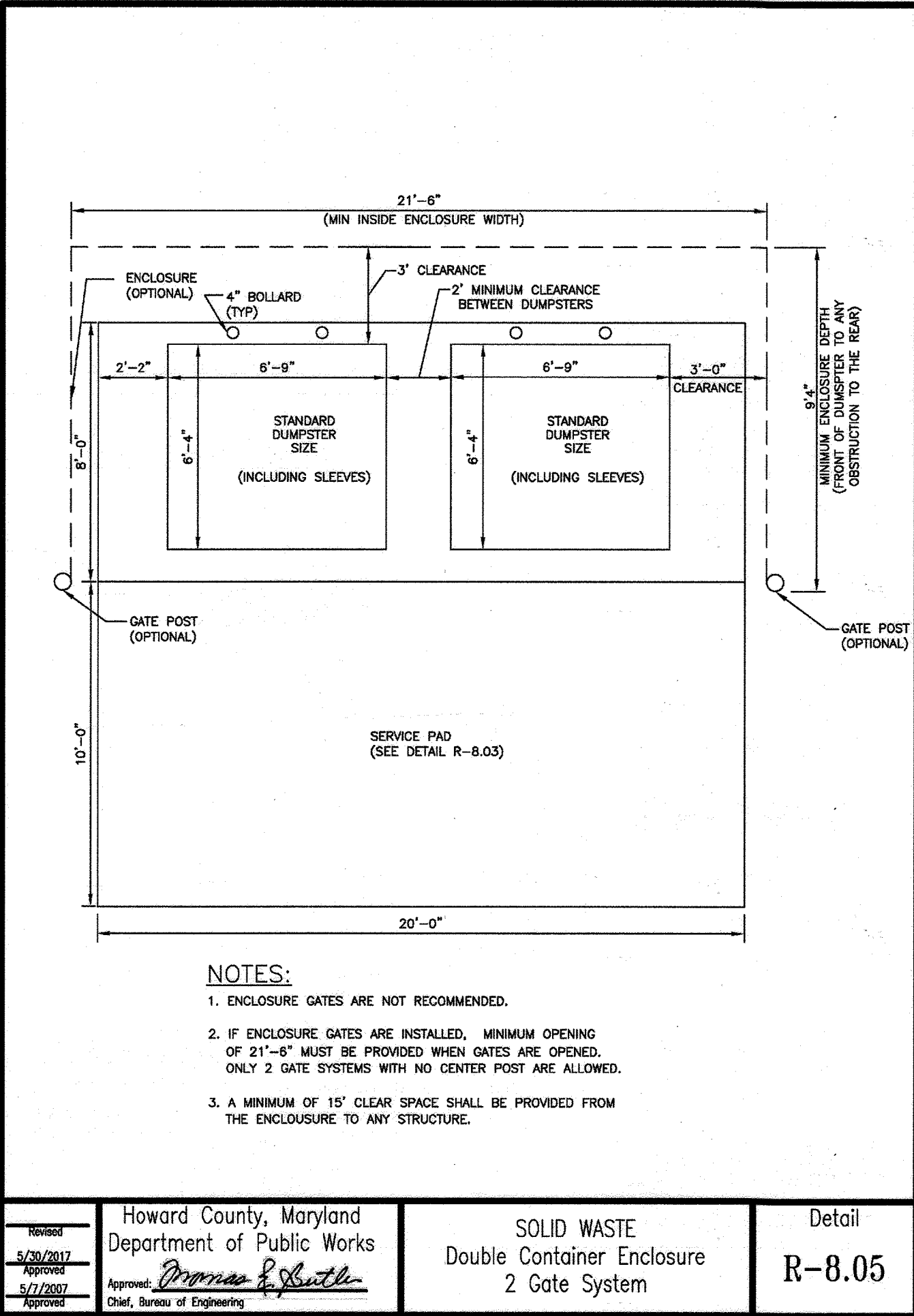
Drawn By: JAM

Checked By: EAD

Sheet Number:







**APPROVED: DEPARTMENT OF PLANNING AND ZONING**

Chief, Development Engineering Division: *Adrian Edmondson* Date: 12/19/2022

Chief, Division of Land Development: *Angie Gorman* Date: 12/20/2022

Planning Director: \_\_\_\_\_ Date: \_\_\_\_\_

ADDRESS CHART	
LOT/PARCEL #	STREET ADDRESS
LOT A 36, PARCEL 513	9071 SNOWDEN RIVER PKWY

PERMIT INFORMATION CHART			
Subdivision Name	Section/Area	Lot/Parcel No.	
GATEWAY COMMERCE CENTER	N/A	513	
Plot # of 1: 10805	Code: 0006	Zoning: B-2	Tax Map No.: 042
Water Code: E06			Elect District: 6
			Change Date: 806/07
			Sewer Code: 49000000

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**COLUMBIA, MD 21046**  
**RESTAURANT #C0838**  
**P4EV-AV SCHEME A**

Professional of Record: EMILY A. DEAN



11/16/2022

9071 SNOWDEN RIVER PKWY  
COLUMBIA, MARYLAND  
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REVISIONS:

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Sheet Title:

**SITE DETAILS**

Date: 11/09/2022

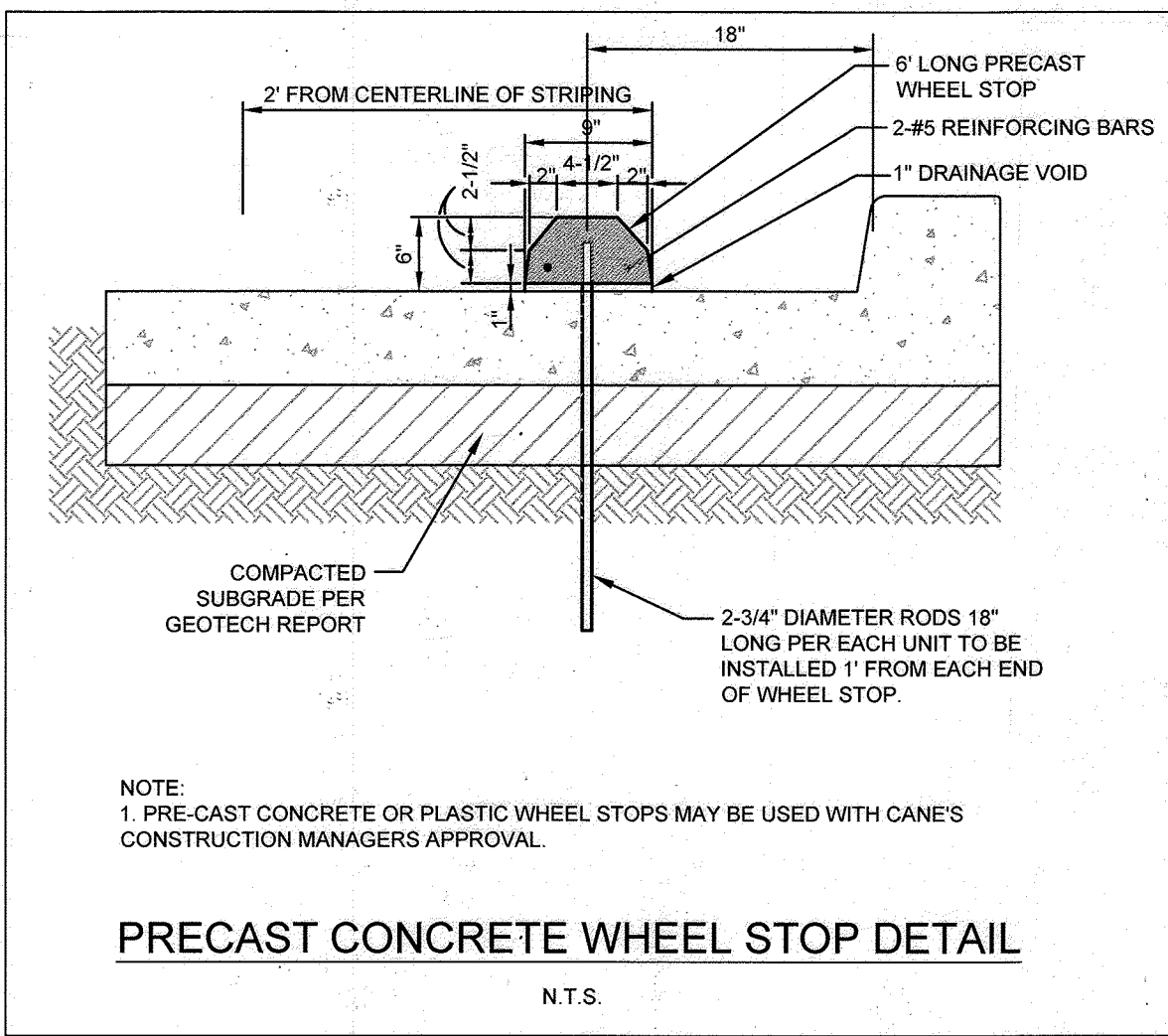
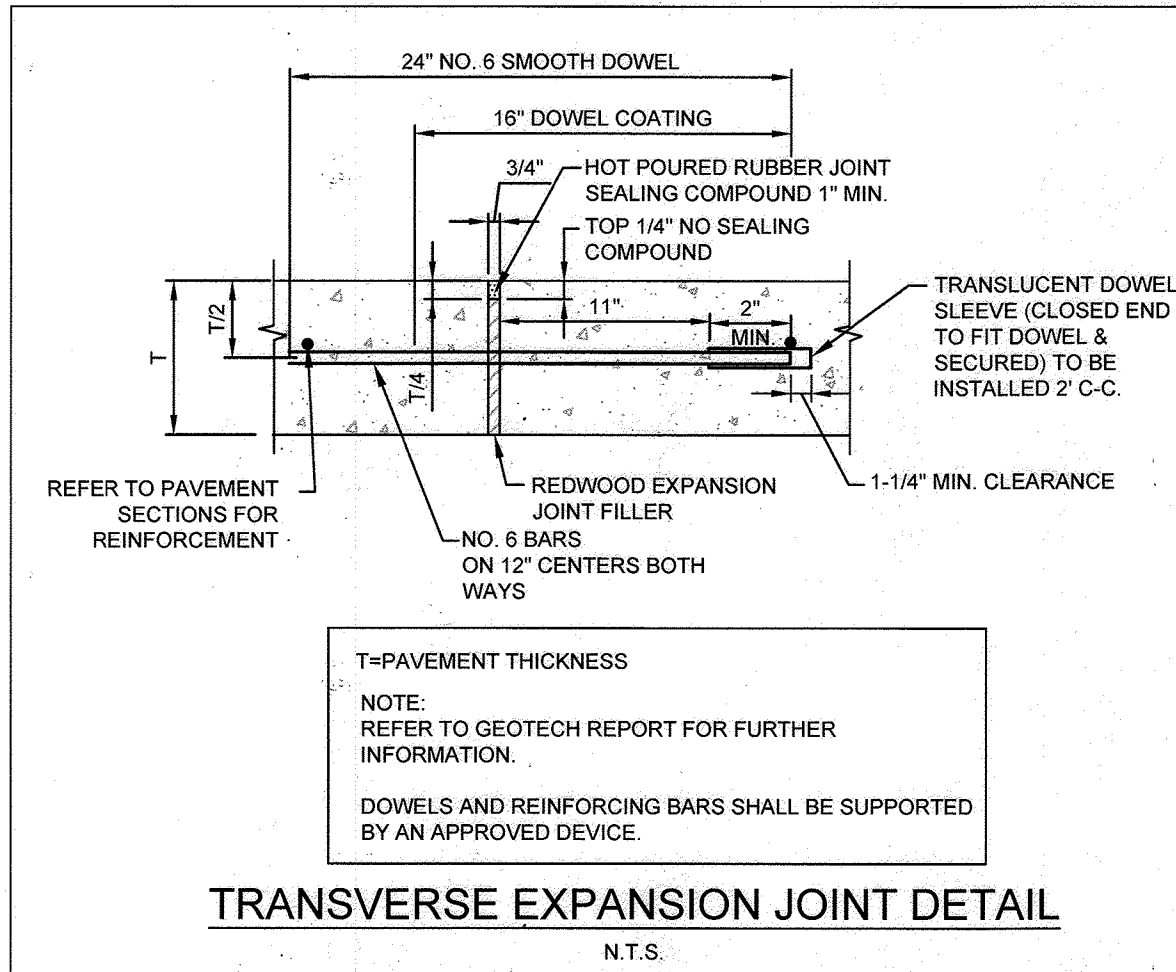
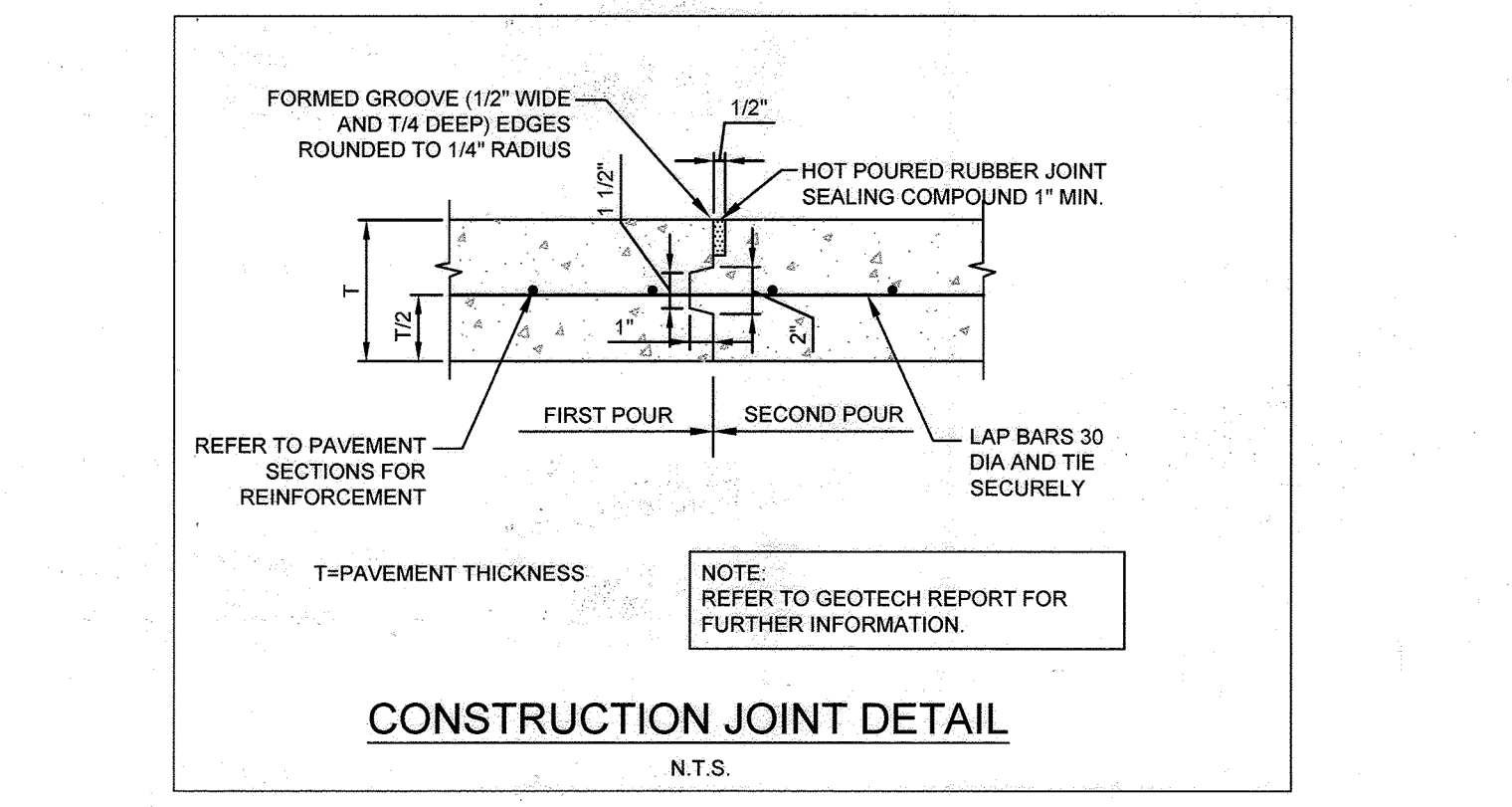
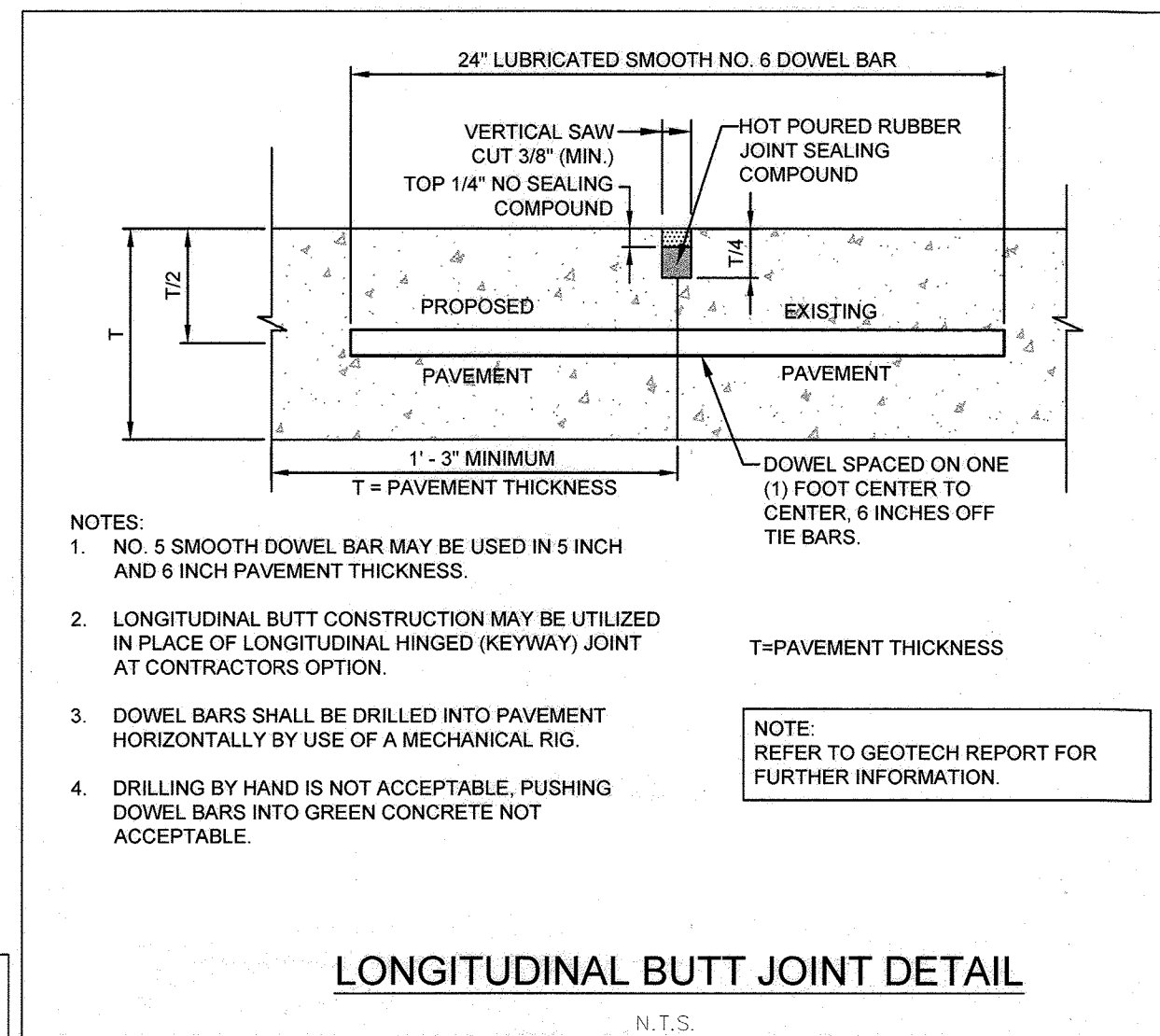
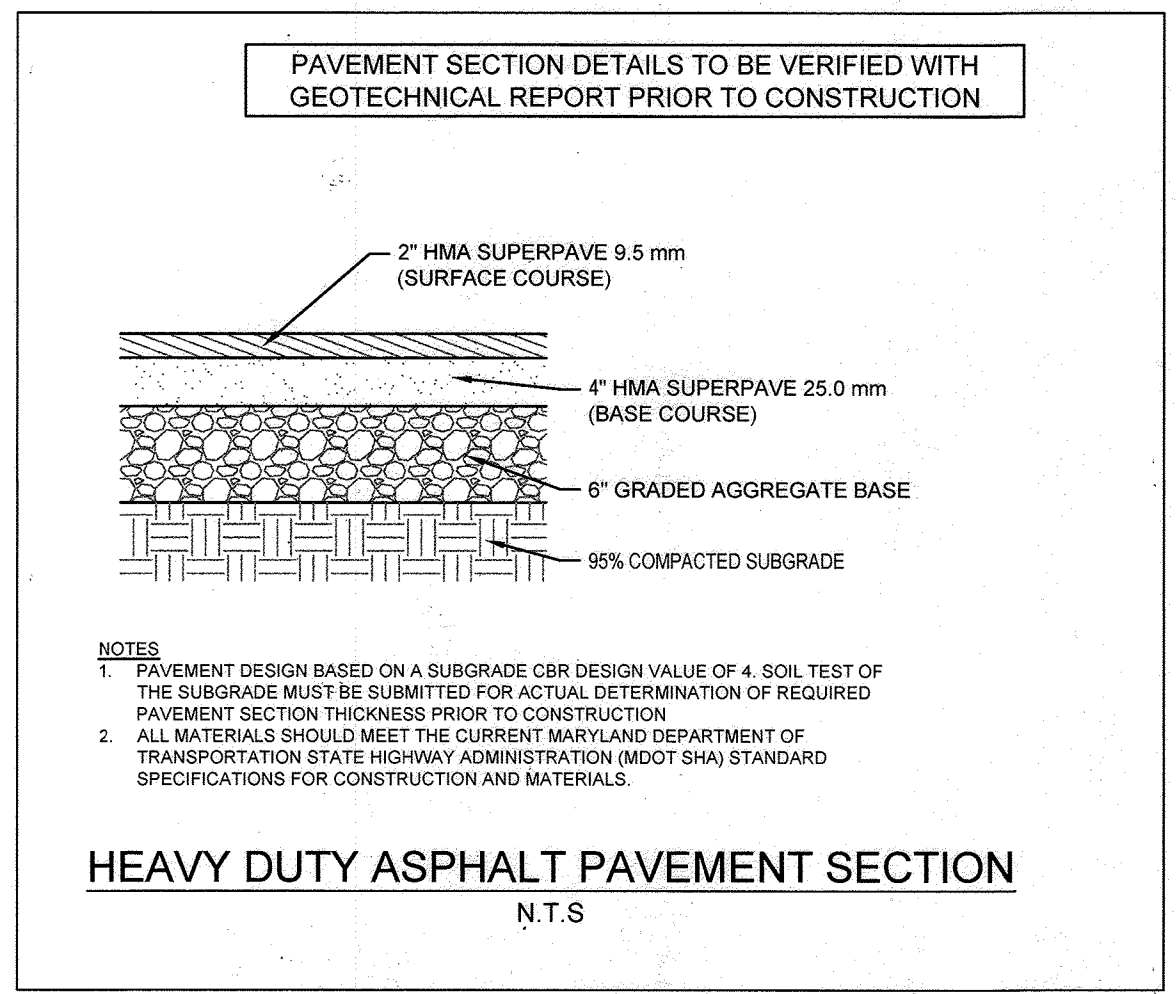
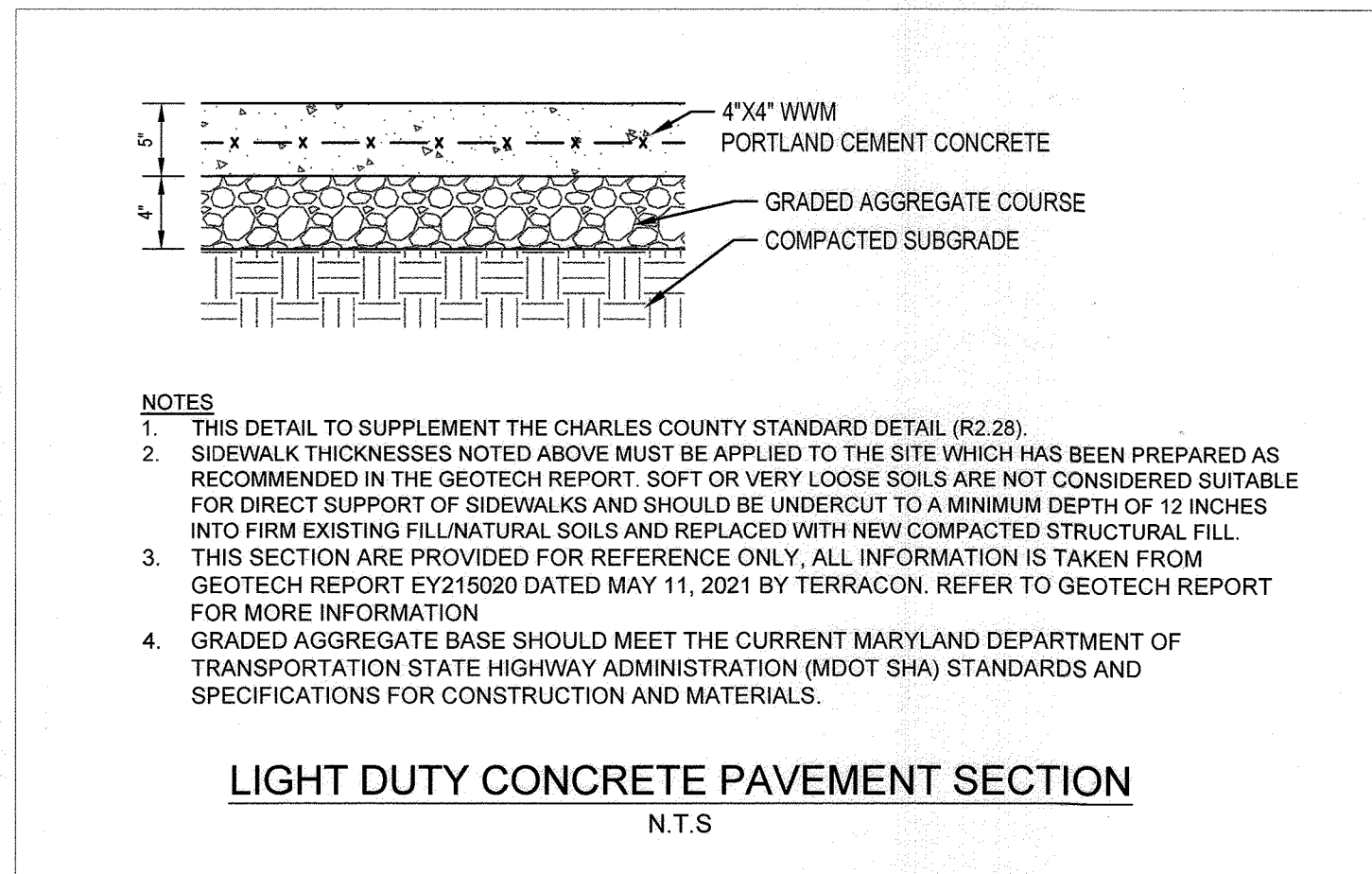
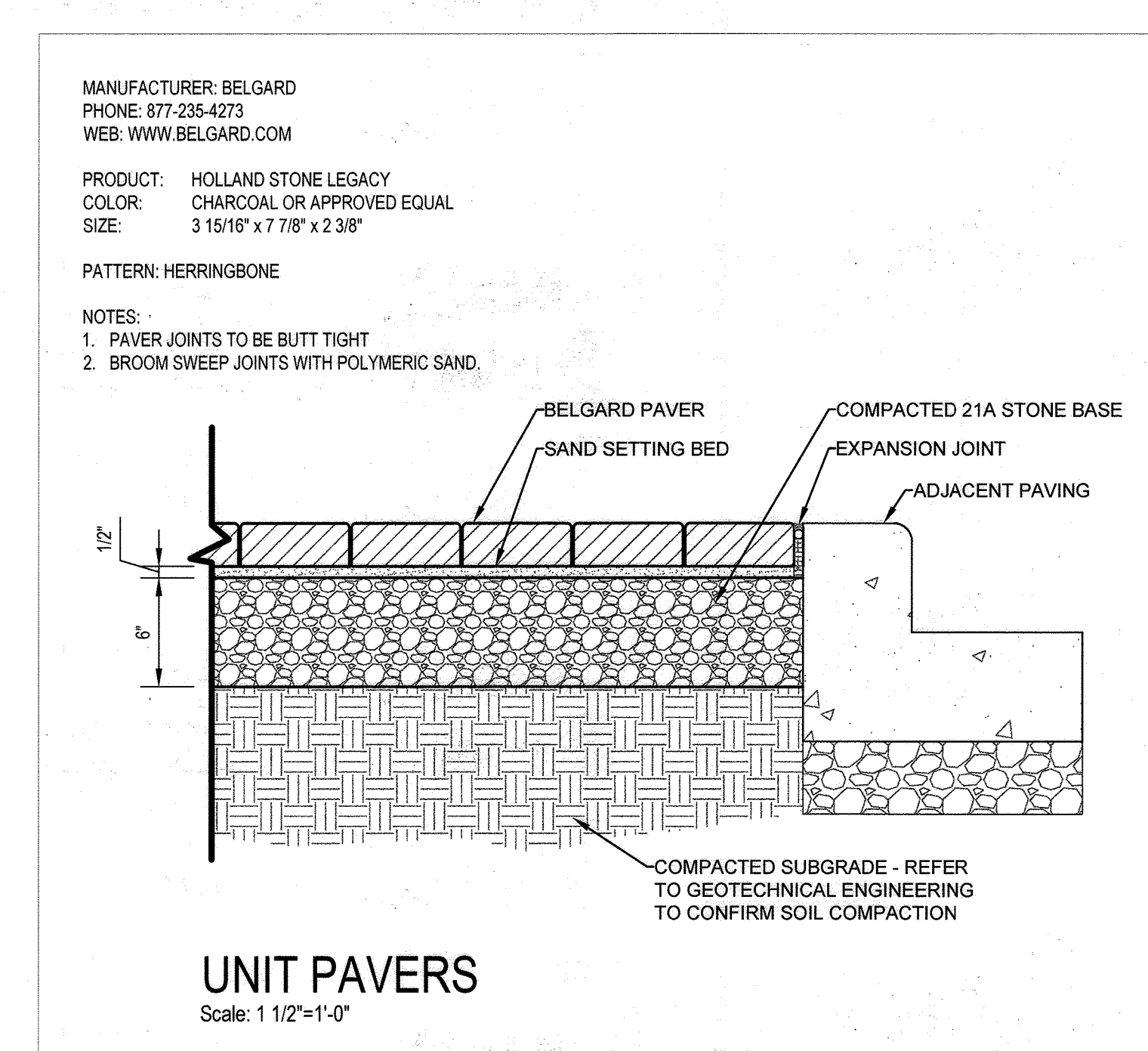
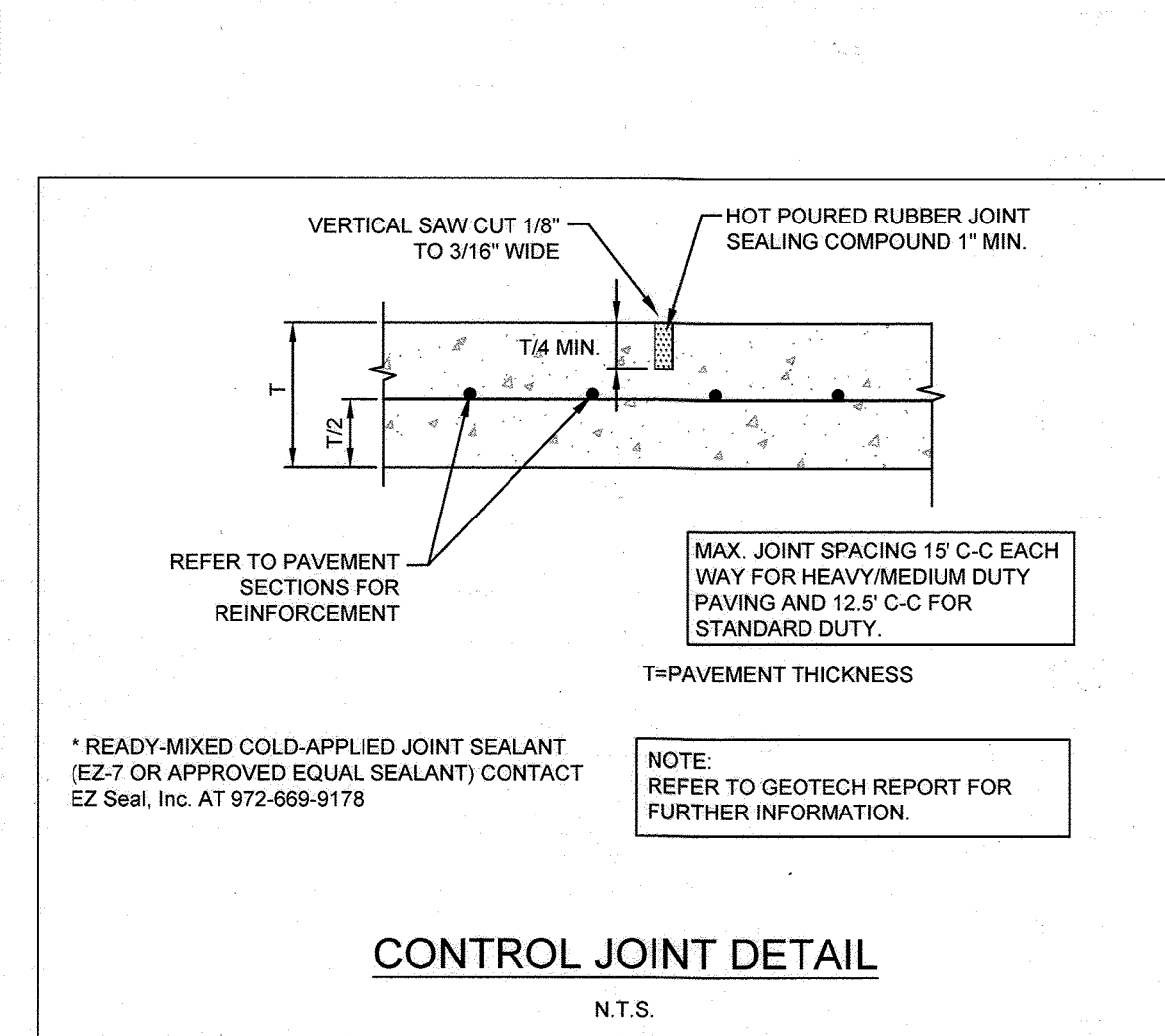
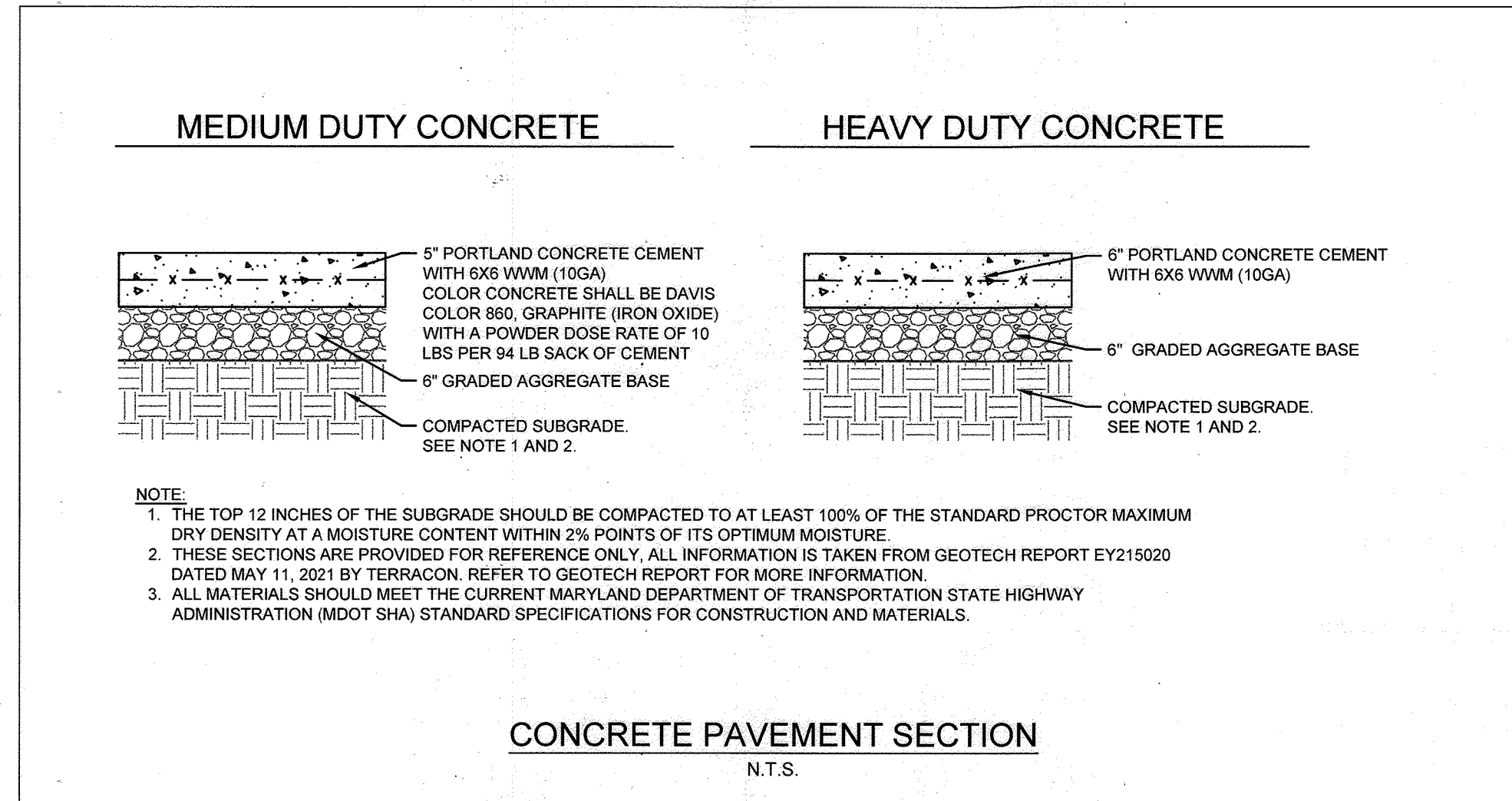
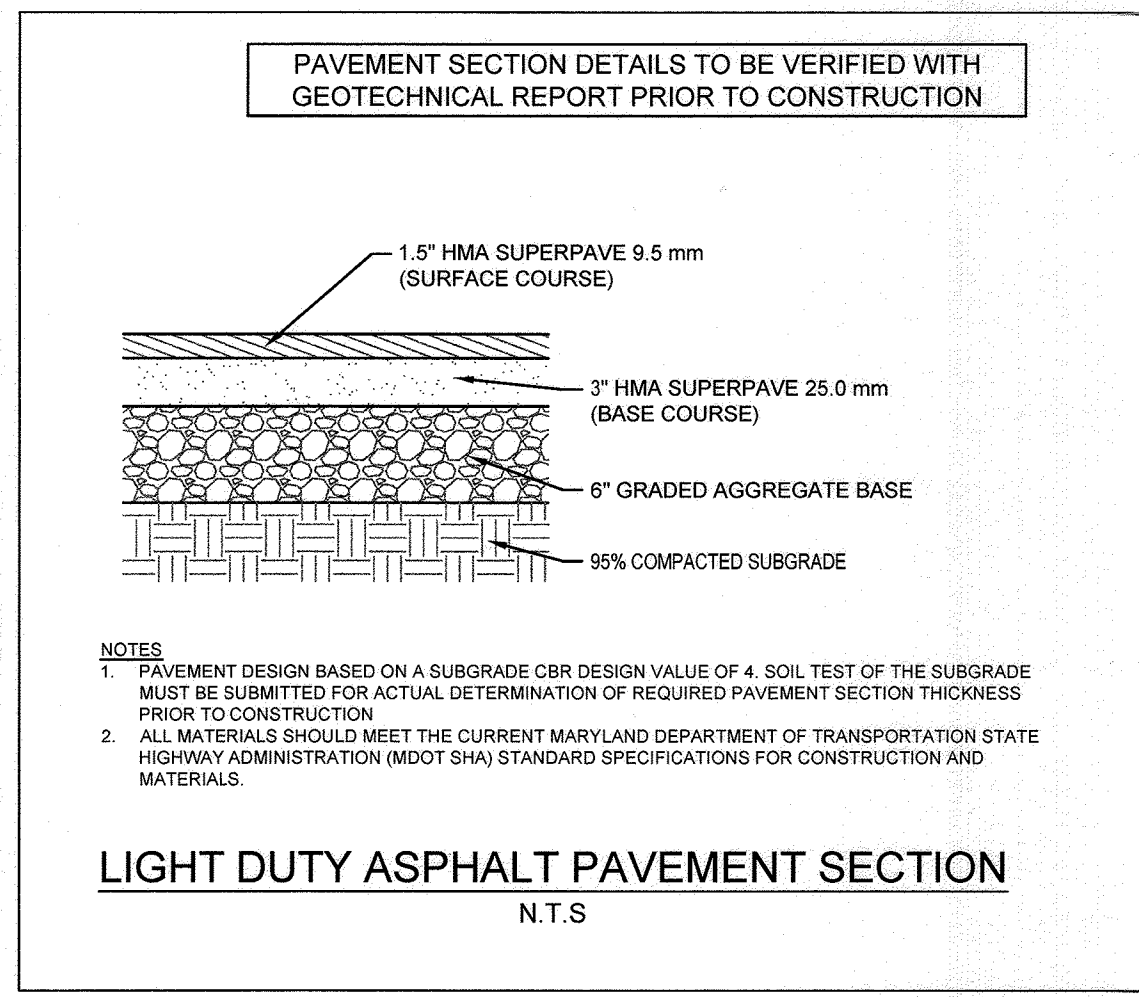
Project Number: 110723018

Drawn By: JAM

Checked By: EAD

Sheet Number:





SECTION NUMBER	ROAD AND STREET CLASSIFICATION	CALIFORNIA BEARING RATIO (CBR)	3 TO <5		5 TO <7		≥ 7		
			MIN. SUPERPAVE ASPHALT MIX WITH GAB	SUPERPAVE ASPHALT MIX WITH CONSTANT GAB	MIN. SUPERPAVE ASPHALT MIX WITH GAB	SUPERPAVE ASPHALT MIX WITH CONSTANT GAB	MIN. SUPERPAVE ASPHALT MIX WITH GAB	SUPERPAVE ASPHALT MIX WITH CONSTANT GAB	
P-1	PARKING DRIVE ASILES: RESIDENTIAL AND NON-RESIDENTIAL WITH NO MORE THAN 2 HEAVY TRUCKS PER DAY	SUPERPAVE ASPHALT MIX FINAL SURFACE 9.5 MM PG 64-225, LEVEL 1 (ESAL)	1.5	1.5	1.5	1.5	1.5	1.5	
			SUPERPAVE ASPHALT MIX INTERMEDIATE SURFACE (I/M)	NA	NA	NA	NA	NA	NA
			SUPERPAVE ASPHALT MIX BASE 19.0 MM, PG 64-225, LEVEL 1 (ESAL)	2.0	2.0	2.0	3.5	3.0	2.5
			GRADED AGGREGATE BASE (GAB)	8.5	7.0	5.0	4.0	4.0	4.0
P-2	PARKING DRIVE ASILES: RESIDENTIAL AND NON-RESIDENTIAL WITH NO MORE THAN 10 HEAVY TRUCKS PER DAY LOCAL ROADS: ACCESS PLACE, ACCESS STREET CUL-DE-SACS: RESIDENTIAL	SUPERPAVE ASPHALT MIX FINAL SURFACE 9.5 MM, PG 64-225, LEVEL 1 (ESAL)	1.5	1.5	1.5	1.5	1.5	1.5	
			SUPERPAVE ASPHALT MIX INTERMEDIATE SURFACE 9.5 MM, PG 64-225, LEVEL 1 (ESAL)	1.5	1.5	1.5	1.5	1.5	1.5
			SUPERPAVE ASPHALT MIX BASE 19.0 MM, PG 64-225, LEVEL 1 (ESAL)	2.0	2.0	2.0	3.5	2.0	2.0
			GRADED AGGREGATE BASE (GAB)	8.0	4.0	3.0	4.0	4.0	4.0
P-3	PARKING DRIVE ASILES: RESIDENTIAL AND NON-RESIDENTIAL WITH NO MORE THAN 10 HEAVY TRUCKS PER DAY LOCAL ROADS: ACCESS PLACE, ACCESS STREET CUL-DE-SACS: NON-RESIDENTIAL MINOR COLLECTORS: RESIDENTIAL	SUPERPAVE ASPHALT MIX FINAL SURFACE 9.5 MM, PG 64-225, LEVEL 1 (ESAL)	1.5	1.5	1.5	1.5	1.5	1.5	
			SUPERPAVE ASPHALT MIX INTERMEDIATE SURFACE 9.5 MM, PG 64-225, LEVEL 1 (ESAL)	1.0	1.0	1.0	1.0	1.0	1.0
			SUPERPAVE ASPHALT MIX BASE 19.0 MM, PG 64-225, LEVEL 1 (ESAL)	3.0	3.0	3.0	4.5	3.0	2.0
			GRADED AGGREGATE BASE (GAB)	10.0	6.0	3.0	6.0	6.0	6.0
P-4	MINOR COLLECTORS: NON-RESIDENTIAL MAJOR COLLECTORS	SUPERPAVE ASPHALT MIX FINAL SURFACE 12.5 MM, PG 64-225, LEVEL 2 (LOW ESAL)	2.0	2.0	2.0	2.0	2.0	2.0	
			SUPERPAVE ASPHALT MIX INTERMEDIATE SURFACE 12.5 MM, PG 64-225, LEVEL 2 (LOW ESAL)	2.0	2.0	2.0	2.0	2.0	2.0
			SUPERPAVE ASPHALT MIX BASE 19.0 MM, PG 64-225, LEVEL 2 (LOW ESAL)	4.0	4.0	3.0	6.0	5.0	3.0
			GRADED AGGREGATE BASE (GAB)	13.0	7.0	4.0	6.0	6.0	6.0

**NOTES:**

- HEAVY TRUCKS ARE DEFINED AS THOSE WITH SIX (6) WHEELS OR MORE INCLUDING GARBAGE TRUCKS.
- SUPERPAVE ASPHALT MIX LAYERS SHALL BE PLACED IN APPROPRIATE COMPACTED LIFT THICKNESS: 9.0 MM BASE (2.0" MIN. TO 4.0" MAX.), 12.5 MM SURFACE (1.0" MIN. TO 3.0" MAX.), AND 9.5 MM SURFACE (1.0" MIN. TO 2.0" MAX.).
- GRADED AGGREGATE BASE (GAB) TO BE PLACED AND COMPACTED IN 6" MAX. COMPACTED THICKNESS LAYERS.
- THE INTERMEDIATE SURFACE COURSE LAYER FOR COMMERCIAL/INDUSTRIAL ENTRANCE APPROXS WITHIN THE COUNTY RIGHT-OF-WAY WHERE AUXILIARY LANES ARE NOT REQUIRED, THE THICKNESS OF THE INTERMEDIATE PAVEMENT LAYER CAN BE ADDED TO THE REQUIRED THICKNESS OF THE BASE ASPHALT LAYER.
- THE CONSTRUCTION DRAWINGS SHALL SHOW THE PAVING SECTION, ROAD CLASSIFICATION AND CBR VALUE FOR EACH ROADWAY.

	Howard County, Maryland Department of Public Works Approved: <i>Thomas J. Smith</i> Chief, Bureau of Engineering	PAVING SECTIONS P-1 to P-4	Detail R-2.01
--	---	-------------------------------	------------------

**THERE IS NO 'AS-BUILT' INFORMATION ON THIS MAP.**

APPROVED: DEPARTMENT OF PLANNING AND ZONING  
12/19/2022

Chief, Development Engineering Division  
Date: 12/19/2022

Chief, Division of Land Development  
Date: 12/20/2022

Planning Director  
Date:

**ADDRESS CHART**

LOT/PARCEL #	STREET ADDRESS
LOT A 38, PARCEL 513	9071 SNOWDEN RIVER PKWY

**PERMIT INFORMATION CHART**

Subdivision Name	Section/Area	Lot/Parcel No.
GATEWAY COMMERCE CENTER	N/A	513
Flat # of L.P.	Tax Map No.	Elect District
10805	0006	28-2
Water Code	Sewer Code	Genus Type
E06	49000000	806707

Restaurant Support Office  
6800 Bishop Road, Plano, TX 75024  
Tele: 972-769-3100 Fax: 972-769-3101

Store:  
**9071 SNOWDEN RIVER PARKWAY**  
**COLUMBIA, MD 21046**  
**RESTAURANT #C0838**  
**P4EV-AV SCHEME A**

Professional of Record: EMILY A. DEAN

11/16/2022

9071 SNOWDEN RIVER PKWY  
COLUMBIA, MARYLAND  
TAX MAP: 42 PARCEL: 513  
ZONING: B-2  
6TH ELECTION DISTRICT  
2ND COUNCIL DISTRICT  
WATER & SEWER CONTRACT #: 24-3185

OWNER: NATIONAL RETAIL PROPERTIES LP  
450 S ORANGE AVE, SUITE 900  
ORLANDO, FL 32801

DEVELOPER: RAISING CANE'S RESTAURANTS, LLC  
ATTN: FELICIA BIVENS  
6800 BISHOP ROAD, PLANO, TX 75024  
931-993-5258

ENGINEER: KIMLEY-HORN AND ASSOCIATES, INC.  
ATTN: EMILY DEAN  
215 WASHINGTON AVE, SUITE 500  
TOWSON, MD 21204  
443-884-5085

Prototype: P4EV-AV 2020 - 2.0 RELEASE

Prototype Issue Date: 7.14.2020

Design Bulletin Updates: --

Date Issued: -- Bulletin Number: --

**FOR REVIEW**

**Kimley»Horn**

11400 COMMERCE PARK DR., SUITE 400, RESTON, VA 20191  
PHONE: 703-674-1300 FAX: 703-674-1350  
WWW.KIMLEY-HORN.COM

**REVISIONS:**

NO.	DESCRIPTION	DATE
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Sheet Title: **SITE DETAILS**

Date: 11/09/2022

Project Number: 110723018

Drawn By: JAM

Checked By: EAD

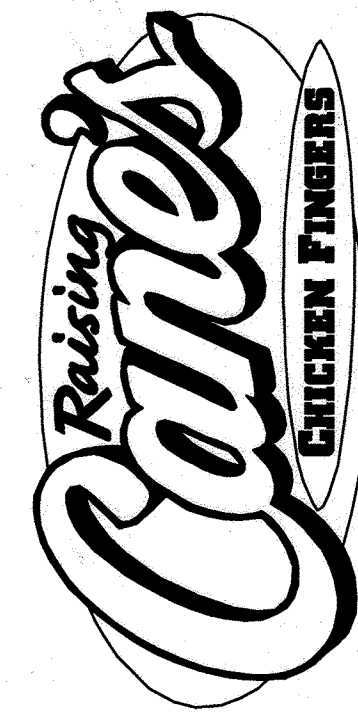
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6800 Bishop Road, Plano, TX 75024  
Tel: 972-769-3100 Fax: 972-769-3101

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**COLUMBIA, MD 21046**  
**RESTAURANT #C0838**  
**P4EV-AV SCHEME A**

Professional of Record:

9071 SNOWDEN RIVER PKWY  
COLUMBIA, MARYLAND  
TAX MAP: 42 PARCEL: 513  
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Prototype: P4EV-AV 2020 - 2.0 RELEASE  
Prototype Issue Date: 7.14.2020  
Design Bulletin Updates: --  
Date Issued: Bulletin Number: --

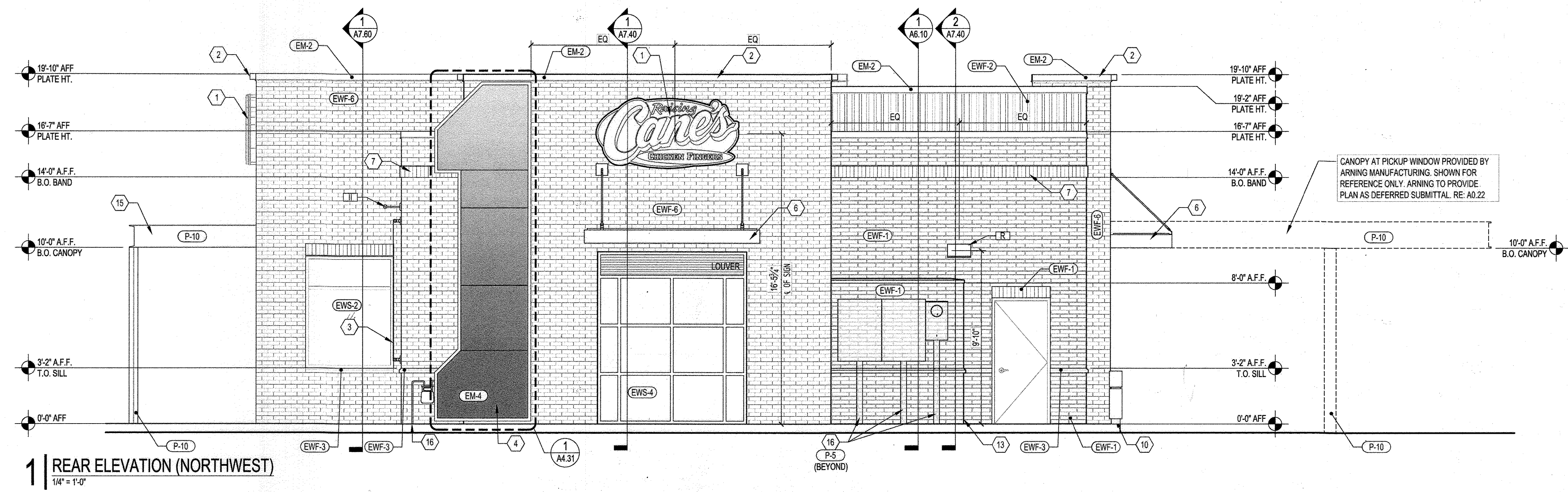
FOR REVIEW

**Kimley»Horn**  
11400 COMMERCE PARK DR., SUITE 400, RESTON, VA 20191  
PHONE: 703-674-1300 FAX: 703-674-1350  
WWW.KIMLEY-HORN.COM

REVISIONS:

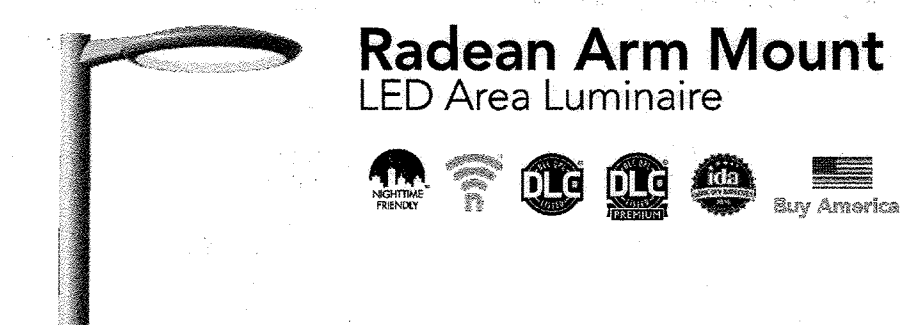
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Sheet Title:  
**ARCHITECTURAL DETAILS**  
Date: 11/09/2022  
Project Number: 110723018  
Drawn By: JAM  
Checked By: EAD  
Sheet Number:



**EXTERIOR ELEVATION**  
SCALE: N.T.S.

**NOTE:**  
BUILDING FOOTPRINT AND ELEVATIONS SHOWN FOR REFERENCE ONLY. PLEASE SEE BUILDING PLANS PREPARED FOR ARCHITECTURAL REVIEW COMMITTEE #GCC-220318 FOR ADDITIONAL BUILDING INFORMATION.



Catalog Number	
Notes	
Type	

**Introduction**  
The RADEAN arm mount luminaire is the perfect choice for pedestrian applications where daytime aesthetics and visual comfort are needed. Adding architectural flair to any space, the RADEAN's low-profile shape and smooth curves blend in while adding a touch of elegance.  
Perfect for campuses, parks, pedestrian malls, courtyards and pathways, the RADEAN arm mount is the Architect's choice to provide beautiful aesthetics both day and night.

Ordering Information EXAMPLE: RAD1 LED P3 30K SYM MVOLT RPA PE DNAXD

Part #	Part Description	Part Number	Part #	Part Description	Part #	Part Description
RAD1 LED	P1 3,000 Lumens	27X 2700K	SYM	Symmetric type V	MVOL1	277"
	P2 5,000 Lumens	30X 3000K	ASY	Asymmetric type IV	120"	347
	P3 7,000 Lumens	35X 3500K	PATH	Pathway type III	208"	480
	P4 11,000 Lumens	40X 4000K			240"	
	P5 16,000 Lumens	50X 5000K				

Part #	Part Description	Part #	Part Description	Part #	Part Description	
Shipped installed	SF Single face	Shipped separately	DBRZD	Dark bronze	DOBTZD	Textured dark bronze
NEZAR2	Right AR 2.0 enabled	DF Double face	DBLXZ	Black	DBLBD	Textured black
PR	Bi-level motion sensor (100% to 50%)	LS Left rotated optics	DNAXD	Natural aluminum	DNAXD	Textured natural aluminum
PE	Button protocol	RS Right rotated optics	DWWD	White	DWWDZ	Textured white
TKO	Field adjustable output					

LITHONIA LIGHTING COMMERCIAL OUTDOOR One Lithonia Way • Conyers, Georgia 30012 • Phone: 770-942-1000 © 2011-2021 Acuity Brands Lighting, Inc. All rights reserved. RAD1 LED Rev 03/17/21

**EXTERIOR LIGHTING DETAIL**  
SCALE: N.T.S.

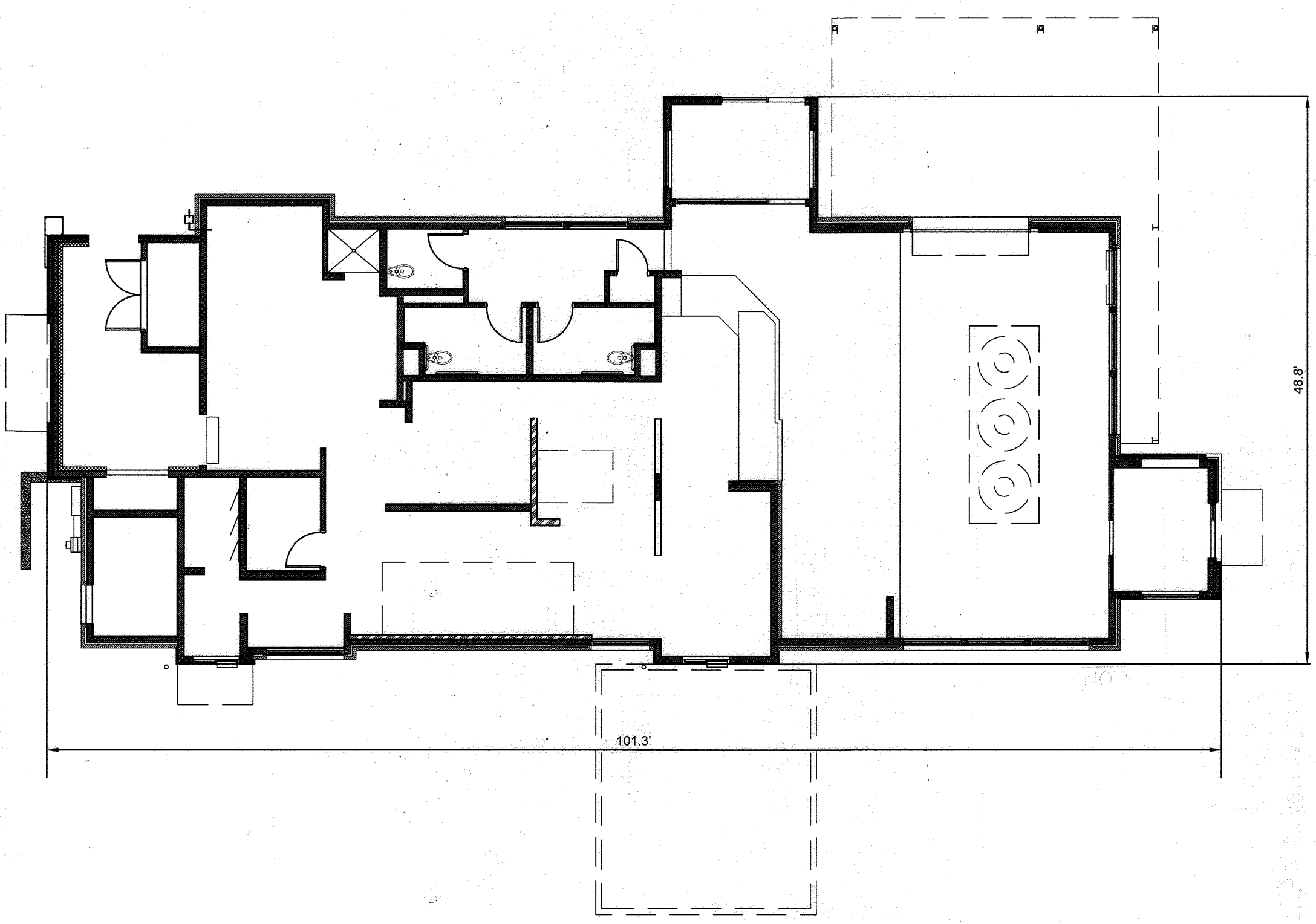
THERE IS NO "AS-BUILT" INFORMATION ON THIS SHEET.  
APPROVED: DEPARTMENT OF PLANNING AND ZONING  
12/19/2022  
Chief, Development Engineering Division  
Date: 12/19/2022  
Chief, Division of Land Development  
Date: 12/20/2022  
Planning Director  
Date:

ADDRESS CHART

LOT/PARCEL #	STREET ADDRESS
LOT A 38, PARCEL 513	9071 SNOWDEN RIVER PKWY

PERMIT INFORMATION CHART

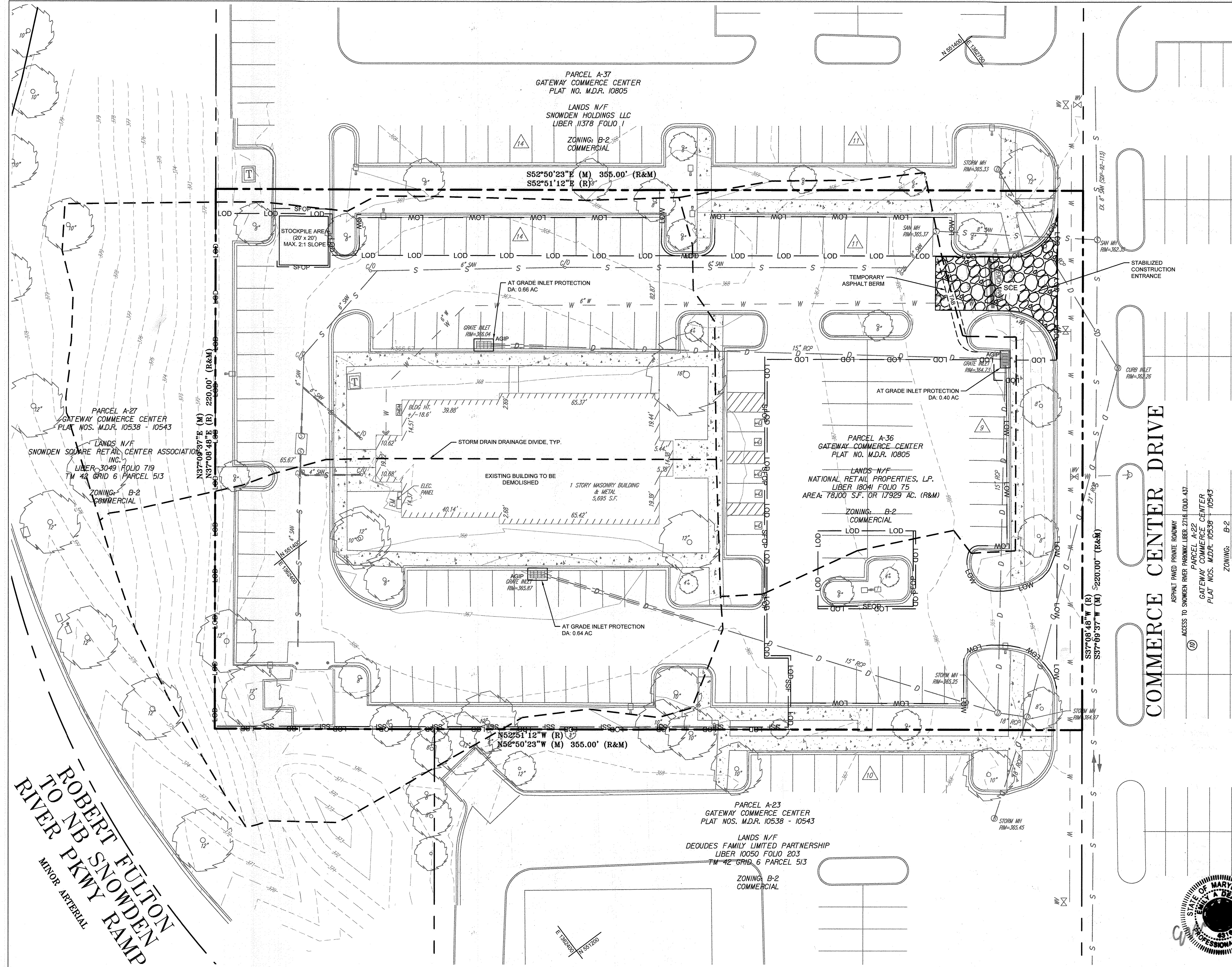
Subdivision Name: GATEWAY COMMERCE CENTER	Section/Area: N/A	Lot/Parcel No.: 513
Plat # or L.P. No.: 10805	Ord. No.: 0006	Gen. No.: 28-29
Water Code: E06	Sewer Code: 49000000	Tax Map No.: 042
		Elect. District: 6
		Gen. No.: 806707



**NOTE:**  
BUILDING FOOTPRINT AND ELEVATIONS SHOWN FOR REFERENCE ONLY. PLEASE SEE BUILDING PLANS PREPARED FOR ARCHITECTURAL REVIEW COMMITTEE #GCC-220318 FOR ADDITIONAL BUILDING INFORMATION.

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**EX CONDITIONS LEGEND**

- PROPERTY LINE
- ADJACENT PROPERTY LINE
- 110 --- EXISTING MAJOR CONTOUR
- 108 --- EXISTING MINOR CONTOUR
- S --- EXISTING SEWER LINE
- D --- EXISTING STORM DRAIN
- W --- EXISTING WATER LINE
- EXISTING DRAINAGE EASEMENT
- EXISTING UTILITY EASEMENT
- EXISTING STORM DRAIN MANHOLE
- EXISTING CLEANOUT
- EXISTING SEWER MANHOLE
- EXISTING FIRE HYDRANT
- EXISTING WATER VALVE
- EXISTING TRANSFORMER
- EXISTING LIGHTPOLE
- EXISTING ELECTRIC PANEL
- EXISTING GAS METER
- EXISTING TREE
- EXISTING PARKING COUNT
- EXISTING BUILDING

**SEDIMENT CONTROL LEGEND**

- PROPERTY LINE
- LOD --- LIMITS OF DISTURBANCE
- LOW --- LIMITS OF WORK
- DRAINAGE DIVIDE
- SFOP --- PROPOSED SILT FENCE ON PAVEMENT
- SSF --- PROPOSED SUPER SILT FENCE
- AGIP --- AT-GRADE INLET PROTECTION
- SIP --- STANDARD INLET PROTECTION
- TP --- TREE PROTECTION FENCING
- TAB --- TEMPORARY ASPHALT BERM
- SCE --- STABILIZED CONSTRUCTION ENTRANCE

**SEDIMENT CONTROL**

**Owners/Developer Certification:**

"I/We hereby certify that any clearing, grading, construction, or development will be done pursuant to this approved erosion and sediment control plan, including inspecting and maintaining controls, and that the responsible personnel involved in the construction project will have a Certificate of Training at a Maryland Department of the Environment (MDE) approved training program for the control on erosion and sediment prior to beginning the project. I certify right-of-entry for periodic on-site evaluation by Howard County, the Howard Soil Conservation District and/or MDE."

DocuSigned by:  
**Felicia Bivens** 11/17/2022  
 Owner's/ Developer's Signature Date  
 Felicia Bivens - Property Development Manager  
 Printed Name & Title

**Design Certification:**

"I hereby certify that this plan has been designed in accordance with current Maryland erosion and sediment control laws, regulations, and standards, and that it represents a practical and workable plan based on my personal knowledge of the site, and that it was prepared in accordance with the requirements of the Howard Soil Conservation District."

DocuSigned by:  
**Emily Dean** 11/16/2022  
 Designer's Signature Date  
 Emily Dean  
 Printed Name MD Registration No. 43160  
 (P.E.) R.L.S., or R.L.A. (circle one)

**APPROVED: DEPARTMENT OF PLANNING AND ZONING**  
 12/19/2022

Chief, Development Engineering Division	Date	12/19/2022
Chief, Division of Land Development	Date	12/20/2022
Planning Director	Date	

**Professional Certification:**

"I hereby certify these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland,  
 License No. 43160, Expiration Date: 12/19/2022"

(Title block, certification, seal, and signature shall appear close to each other)

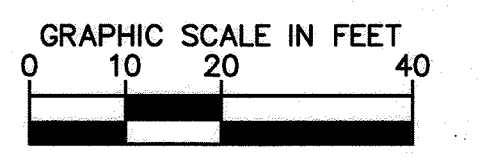
**Howard SCD Signature Block:**

This plan is approved for soil erosion and sediment control by the Howard Soil Conservation District.  
 DocuSigned by:  
**Alexander Bratchie** 12/19/2022  
 Howard Soil Conservation District Date

**ROBERT FULTON RIVER TO NB SNOWDEN RIVER PKWY RAMP**  
 MINOR ARTERIAL

**SOIL TYPES**

MAP UNIT SYMBOL	SOIL NAME	HYDROLOGIC SOIL GROUP
UID	URBAN LAND - UDORTMENTS COMPLEX, 0 TO 15 PERCENT SLOPES	D



**INITIAL ESC**  
 SCALE: 1" = 20'

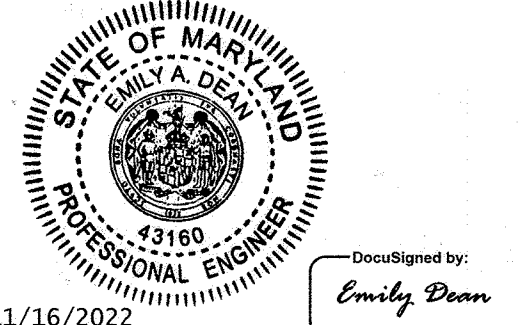
**NOTE:**  
 ALL VEGETATIVE AND STRUCTURAL PRACTICES ARE TO BE INSTALLED ACCORDING TO THE PROVISIONS OF THIS PLAN AND ARE TO BE IN CONFORMANCE WITH THE MOST CURRENT MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL, AND REVISIONS THERETO.

CALL 48 HOURS BEFORE YOU DIG  
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 IT'S THE LAW! DIAL 811  
 Know what's below. Call before you dig.



Store:  
**9071 SNOWDEN RIVER PARKWAY**  
**COLUMBIA, MD 21046**  
**RESTAURANT #C0838**  
**P4EV-AV SCHEME A**

Professional of Record: EMILY A. DEAN



11/16/2022  
 PROFESSIONAL CERTIFICATION: I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.  
 LICENSE NO. 43160  
 EXPIRATION DATE 12/19/2022

9071 SNOWDEN RIVER PKWY  
 COLUMBIA, MARYLAND  
 TAX MAP: 42 PARCEL: 513  
 ZONING: B-2  
 6TH ELECTION DISTRICT  
 2ND COUNCIL DISTRICT  
 WATER & SEWER CONTRACT #: 24-3185

OWNER: NATIONAL RETAIL PROPERTIES LP  
 450 S ORANGE AVE, SUITE 900  
 ORLANDO, FL 32801  
 DEVELOPER: RAISING CANES RESTAURANTS, LLC  
 ATTN: FELICIA BIVENS  
 6800 BISHOP ROAD, PLANO, TX 75024  
 931-993-5258  
 ENGINEER: KIMLEY-HORN AND ASSOCIATES, INC.  
 ATTN: EMILY DEAN  
 215 WASHINGTON AVE, SUITE 500  
 TOWSON, MD 21204  
 443-884-5085

Prototype: P4EV- AV 2020 - 2.0 RELEASE

Prototype Issue Date: 7.14.2020

Design Bulletin Updates: --

Date Issued: -- Bulletin Number: --

**FOR REVIEW**

**Kimley»Horn**  
 11400 COMMERCE PARK DR., SUITE 400, RESTON, VA 20191  
 PHONE: 703-674-1300 FAX: 703-674-1350  
 WWW.KIMLEY-HORN.COM

**REVISIONS:**

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Sheet Title: **INITIAL ESC**

Date: 11/09/2022

Project Number: 110723018

Drawn By: JAM

Checked By: EAD

Sheet Number:







**HOWARD SOIL CONSERVATION DISTRICT (HSCD)  
STANDARD SEDIMENT CONTROL NOTES**

- A pre-construction meeting must occur with the Howard County Department of Public Works, Construction Inspection Division (CID), 410-313-1855 after the future LOD and protected areas are marked clearly in the field. A minimum of 48 hour notice to CID must be given at the following stages:
  - Prior to the start of earth disturbance,
  - Upon completion of the installation of perimeter erosion and sediment controls, but before proceeding with any other earth disturbance or grading,
  - Prior to the start of another phase of construction or opening of another grading unit,
  - Prior to the removal or modification of sediment control practices.
- All building or grading inspection approvals may not be authorized until this initial approval by the inspection agency is made. Other related state and federal permits shall be referenced, to ensure coordination and to avoid conflicts with this plan.
- All vegetative and structural practices are to be installed according to the provisions of this plan and are to be in conformance with the 2011 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL, and revisions thereto.
- Following initial soil disturbance or re-disturbance, permanent or temporary stabilization is required within three (3) calendar days as to the surface of all perimeter controls, dikes, swales, ditches, perimeter slopes, and all slopes steeper than 3 horizontal to 1 vertical (3:1); and seven (7) calendar days as to all other disturbed areas on the project site except for those areas under active grading.
- All disturbed areas must be stabilized within the time period specified above in accordance with the 2011 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL for topsoil (Sec. B-4-2), permanent seeding (Sec. B-4-5), temporary seeding (Sec. B-4-4) and mulching (Sec. B-4-3). Temporary stabilization with mulch alone can only be applied between the fall and spring seeding dates if the ground is frozen. Incremental stabilization (Sec. B-4-1) specifications shall be enforced in areas with >15' of cut and/or fill. Stockpiles (Sec. B-4-8) in excess of 20 ft. must be benched with stable outlet. All concentrated flow, steep slope, and highly erodible areas shall receive soil stabilization matting (Sec. B-4-6).
- All sediment control structures are to remain in place, and are to be maintained in operative condition until permission for their removal has been obtained from the CID.
- Site Analysis:
 

Total Area of Site:	1.793	Acres
Area Disturbed:	1.15	Acres
Area to be roofed or paved:	0.86	Acres
Area to be vegetatively stabilized:	0.23	Acres
Total Cut:	354	Cu. Yds.
Total Fill:	841	Cu. Yds.
Offsite waste/borrow area location:		
- Any sediment control practice which is disturbed by grading activity for placement of utilities must be repaired on the same day of disturbance.
- Additional sediment control must be provided, if deemed necessary by the CID. The site and all controls shall be inspected by the contractor weekly; and the next day after each rain event. A written report by the contractor, made available upon request, is part of every inspection and should include:
  - Inspection date
  - Inspection type (routine, pre-storm event, during rain event)
  - Name and title of inspector
  - Weather information (current conditions as well as time and amount of last recorded precipitation)
  - Brief description of project's status (e.g., percent complete) and/or current activities
  - Evidence of sediment discharges
  - Identification of plan deficiencies
  - Identification of sediment controls that require maintenance
  - Identification of missing or improperly installed sediment controls
  - Compliance status regarding the sequence of construction and stabilization requirements
  - Photographs
  - Monitoring/sampling
  - Maintenance and/or corrective action performed
  - Other inspection items as required by the General Permit for Stormwater Associated with Construction Activities (NPDES, MDE).
- Trenches for the construction of utilities is limited to three pipe lengths or that which can and shall be back-filled and stabilized by the end of each workday, whichever is shorter.
- Any major changes or revisions to the plan or sequence of construction must be reviewed and approved by the HSCD prior to proceeding with construction. Minor revisions may be allowed by the CID per the list of HSCD-approved field changes.
- Disturbance shall not occur outside the L.O.D. A project is to be sequenced so that grading activities begin on one grading unit (maximum acreage of 20 ac. per grading unit) at a time. Work may proceed to a subsequent grading unit when at least 50 percent of the disturbed area in the preceding grading unit has been stabilized and approved by the CID. Unless otherwise specified and approved by the HSCD, no more than 30 acres cumulatively may be disturbed at a given time.
- Wash water from any equipment, vehicles, wheels, pavement, and other sources must be treated in a sediment basin or other approved washout structure.
- Topsoil shall be stockpiled and preserved on-site for redistribution onto final grade.
- All Silt Fence and Super Silt Fence shall be placed on-the-contour, or be imbricated at 25' maximum intervals, with lower ends curled uphill by 2' in elevation.
- Stream channels must not be disturbed during the following restricted time periods (inclusive):
  - Use I and IP March 1 - June 15
  - Use III and IIIP October 1 - April 30
  - Use IV March 1 - May 31

**B-4 STANDARDS AND SPECIFICATIONS**

**FOR**

**VEGETATIVE STABILIZATION**

**Definition**

Using vegetation as cover to protect exposed soil from erosion.

**Purpose**

To promote the establishment of vegetation on exposed soil.

**Conditions Where Practice Applies**

On all disturbed areas not stabilized by other methods. This specification is divided into sections on incremental stabilization; soil preparation, soil amendments and topsoiling; seeding and mulching; temporary stabilization; and permanent stabilization.

**Effects on Water Quality and Quantity**

Stabilization practices are used to promote the establishment of vegetation on exposed soil. When soil is stabilized with vegetation, the soil is less likely to erode and more likely to allow infiltration of rainfall, thereby reducing sediment loads and runoff to downstream areas.

Planting vegetation in disturbed areas will have an effect on the water budget, especially on volumes and rates of runoff, infiltration, evaporation, transpiration, percolation, and groundwater recharge. Over time, vegetation will increase organic matter content and improve the water holding capacity of the soil and subsequent plant growth.

Vegetation will help reduce the movement of sediment, nutrients, and other chemicals carried by runoff to receiving waters. Plants will also help protect groundwater supplies by assimilating those substances present within the root zone.

**Sediment control practices must remain in place during grading, seedbed preparation, seeding, mulching, and vegetative establishment.**

**Adequate Vegetative Establishment**

Inspect seeded areas for vegetative establishment and make necessary repairs, replacements, and reseedings within the planting season.

- Adequate vegetative stabilization requires 95 percent groundcover.
- If an area has less than 40 percent groundcover, restabilize following the original recommendations for lime, fertilizer, seedbed preparation, and seeding.
- If an area has between 40 and 94 percent groundcover, over-seed and fertilize using half of the rates originally specified.
- Maintenance fertilizer rates for permanent seeding are shown in Table B.6.

**B-4-1 STANDARDS AND SPECIFICATIONS**

**FOR**

**INCREMENTAL STABILIZATION**

**Definition**

Establishment of vegetative cover on cut and fill slopes.

**Purpose**

To provide timely vegetative cover on cut and fill slopes as work progresses.

**Conditions Where Practice Applies**

Any cut or fill slope greater than 15 feet in height. This practice also applies to stockpiles.

**Criteria**

- Incremental Stabilization - Cut Slopes**
  - Excavate and stabilize cut slopes in increments not to exceed 15 feet in height. Prepare seedbed and apply seed and mulch on all cut slopes as the work progresses.
  - Construction sequence example (Refer to Figure B.1):
    - Construct and stabilize all temporary swales or dikes that will be used to convey runoff around the excavation.
    - Perform Phase 1 excavation, prepare seedbed, and stabilize.
    - Perform Phase 2 excavation, prepare seedbed, and stabilize. Overseed Phase 1 areas as necessary.
    - Perform final phase excavation, prepare seedbed, and stabilize. Overseed previously seeded areas as necessary.

**Note: Once excavation has begun the operation should be continuous from grubbing through the completion of grading and placement of topsoil (if required) and permanent seed and mulch. Any interruptions in the operation or completing the operation out of the seeding season will necessitate the application of temporary stabilization.**

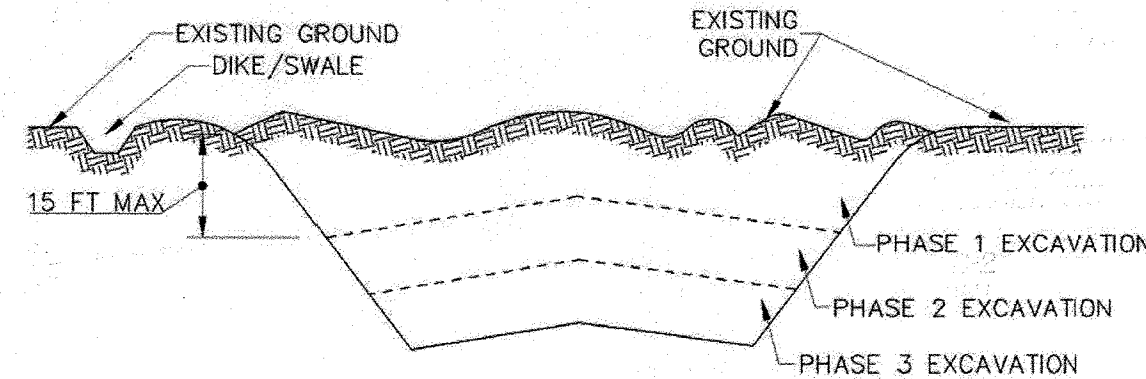


Figure B.1: Incremental Stabilization - Cut

**B. Incremental Stabilization - Fill Slopes**

- Construct and stabilize fill slopes in increments not to exceed 15 feet in height. Prepare seedbed and apply seed and mulch on all slopes as the work progresses.
- Stabilize slopes immediately when the vertical height of a lift reaches 15 feet, or when the grading operation ceases as prescribed in the plans.
- At the end of each day, install temporary water conveyance practice(s), as necessary, to intercept surface runoff and convey it down the slope in a non-erosive manner.
- Construction sequence example (Refer to Figure B.2):
  - Construct and stabilize all temporary swales or dikes that will be used to divert runoff around the fill. Construct silt fence on low side of fill unless other methods shown on the plans address this area.
  - At the end of each day, install temporary water conveyance practice(s), as necessary, to intercept surface runoff and convey it down the slope in a non-erosive manner.
  - Place Phase 1 fill, prepare seedbed, and stabilize.
  - Place Phase 2 fill, prepare seedbed, and stabilize.
  - Place final phase fill, prepare seedbed, and stabilize. Overseed previously seeded areas as necessary.

**Note: Once the placement of fill has begun the operation should be continuous from grubbing through the completion of grading and placement of topsoil (if required) and permanent seed and mulch. Any interruptions in the operation or completing the operation out of the seeding season will necessitate the application of temporary stabilization.**

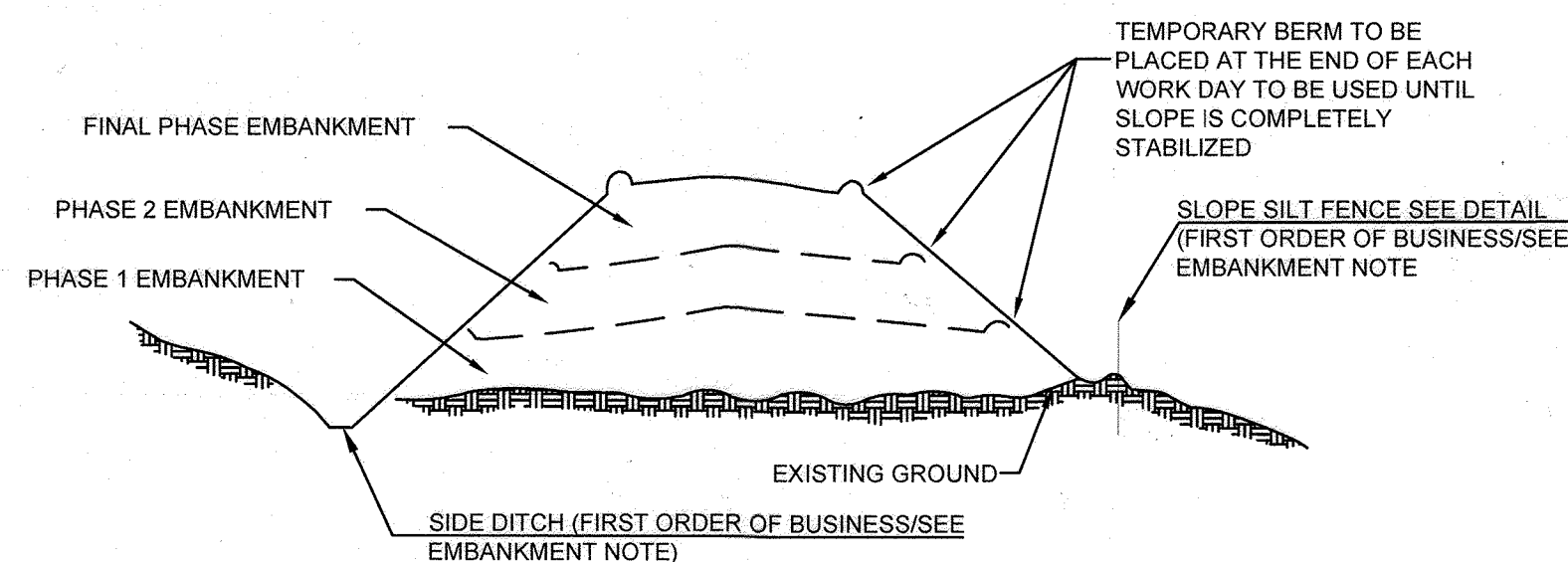


Figure B.2: Incremental Stabilization - Fill

**B-4-2 STANDARDS AND SPECIFICATIONS**

**FOR**

**SOIL PREPARATION, TOPSOILING, AND SOIL AMENDMENTS**

**Definition**

The process of preparing the soils to sustain adequate vegetative stabilization.

**Purpose**

To provide a suitable soil medium for vegetative growth.

**Conditions Where Practice Applies**

Where vegetative stabilization is to be established.

**Criteria**

- Soil Preparation**
  - Temporary Stabilization**
    - Seedbed preparation consists of loosening soil to a depth of 3 to 5 inches by means of suitable agricultural or construction equipment, such as disc harrows or chisel plows or rippers mounted on construction equipment. After the soil is loosened, it must not be rolled or dragged smooth but left in the roughened condition. Slopes 3:1 or flatter are to be tracked with ridges running parallel to the contour of the slope.
    - Apply fertilizer and lime as prescribed on the plans.
    - Incorporate lime and fertilizer into the top 3 to 5 inches of soil by disking or other suitable means.
  - Permanent Stabilization**
    - A soil test is required for any earth disturbance of 5 acres or more. The minimum soil conditions required for permanent vegetative establishment are:
      - Soil pH between 6.0 and 7.0.
      - Soluble salts less than 500 parts per million (ppm).
      - Soil contains less than 40 percent clay but enough fine grained material (greater than 30 percent silt plus clay) to provide the capacity to hold a moderate amount of moisture. An exception: if lovegrass will be planted, then a sandy soil (less than 30 percent silt plus clay) would be acceptable.
      - Soil contains 1.5 percent minimum organic matter by weight.
      - Soil contains sufficient pore space to permit adequate root penetration.
    - Application of amendments or topsoil is required if on-site soils do not meet the above conditions.
    - Graded areas must be maintained in a true and even grade as specified on the approved plan, then scarified or otherwise loosened to a depth of 3 to 5 inches.

**Professional Certification:**

"I hereby certify these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State Of Maryland,

License No. 43160, Expiration Date: 12/19/2022."

(Title block, certification, seal, and signature shall appear close to each other)

**Howard SCD Signature Block:**

This plan is approved for soil erosion and sediment control by the Howard Soil Conservation District.

Designed by: Alexander Bratohie 12/19/2022  
Howardscd.com Date

- Apply soil amendments as specified on the approved plan or as indicated by the results of a soil test.
- Mix soil amendments into the top 3 to 5 inches of soil by disking or other suitable means. Rake lawn areas to smooth the surface, remove large objects like stumps and branches, and ready the area for seed application. Loosen surface soil by dragging with a heavy chain or other equipment to roughen the surface where site conditions will not permit normal seedbed preparation. Track slopes 3:1 or flatter with tracked equipment leaving the soil in an irregular condition with ridges running parallel to the contour of the slope. Leave the top 1 to 3 inches of soil loose and friable. Seedbed loosening may be unnecessary on newly disturbed areas.

**B. Topsoiling**

- Topsoil is placed over prepared subsoil prior to establishment of permanent vegetation. The purpose is to provide a suitable soil medium for vegetative growth. Soils of concern have low moisture content, low nutrient levels, low pH, materials toxic to plants, and/or unacceptable soil gradation.
- Topsoil salvaged from an existing site may be used provided it meets the standards as set forth in these specifications. Typically, the depth of topsoil to be salvaged for a given soil type can be found in the representative soil profile section in the Soil Survey published by USDA-NRCS.
- Topsoiling is limited to areas having 2:1 or flatter slopes where:
  - The texture of the exposed subsoil/parent material is not adequate to produce vegetative growth.
  - The soil material is so shallow that the rooting zone is not deep enough to support plants or furnish continuing supplies of moisture and plant nutrients.
  - The original soil to be vegetated contains material toxic to plant growth.
  - The soil is so acidic that treatment with limestone is not feasible.
- Areas having slopes steeper than 2:1 require special consideration and design.
- Topsoil Specifications: Soil to be used as topsoil must meet the following criteria:
  - Topsoil must be a loam, sandy loam, clay loam, silt loam, sandy clay loam, or loamy sand. Other soils may be used if recommended by an agronomist or soil scientist and approved by the appropriate approval authority. Topsoil must not be a mixture of contrasting textured subsoils and must contain less than 5 percent by volume of cinders, stones, slag, coarse fragments, gravel, sticks, roots, trash, or other materials larger than 1 1/2 inches in diameter.
  - Topsoil must be free of noxious plants or plant parts such as Bermuda grass, quack grass, Johnson grass, nut sedge, poison ivy, thistle, or others as specified.
  - Topsoil substitutes or amendments, as recommended by a qualified agronomist or soil scientist and approved by the appropriate approval authority, may be used in lieu of natural topsoil.
- Topsoil Application
  - Erosion and sediment control practices must be maintained when applying topsoil.
  - Uniformly distribute topsoil in a 5 to 8 inch layer and lightly compact to a minimum thickness of 4 inches. Spreading is to be done in such a manner that sodding or seeding can proceed with a minimum of additional soil preparation and tillage. Any irregularities in the surface resulting from topsoiling or other operations must be corrected in order to prevent the formation of depressions or water pockets.
  - Topsoil must not be placed if the topsoil or subsoil is in a frozen or muddy condition, when the subsoil is excessively wet or in a condition that may otherwise be detrimental to proper grading and seedbed preparation.

**C. Soil Amendments (Fertilizer and Lime Specifications)**

- Soil tests must be performed to determine the exact ratios and application rates for both lime and fertilizer on sites having disturbed areas of 5 acres or more. Soil analysis may be performed by a recognized private or commercial laboratory. Soil samples taken for engineering purposes may also be used for chemical analyses.
- Fertilizers must be uniform in composition, free flowing and suitable for accurate application by appropriate equipment. Manure may be substituted for fertilizer with prior approval from the appropriate approval authority. Fertilizers must all be delivered to the site fully labeled according to the applicable laws and must bear the name, trade name or trademark and warranty of the producer.
- Lime materials must be ground limestone (hydrated or burnt lime may be substituted except when hydroseeding) which contains at least 50 percent total oxides (calcium oxide plus magnesium oxide). Limestone must be ground to such fineness that at least 50 percent will pass through a #100 mesh sieve and 98 to 100 percent will pass through a #20 mesh sieve.
- Lime and fertilizer are to be evenly distributed and incorporated into the top 3 to 5 inches of soil by disking or other suitable means.
- Where the subsoil is either highly acidic or composed of heavy clays, spread ground limestone at the rate of 4 to 8 tons/acre (200-400 pounds per 1,000 square feet) prior to the placement of topsoil.

**SEDIMENT CONTROL**

**Owners/Developer Certification:**

"I/We hereby certify that any clearing, grading, construction, or development will be done pursuant to this approved erosion and sediment control plan, including inspecting and maintaining controls, and that the responsible personnel involved in the construction project will have a Certificate of Training at a Maryland Department of the Environment (MDE) approved training program for the control on erosion and sediment prior to beginning the project. I certify right-of-entry for periodic on-site evaluation by Howard County, the Howard Soil Conservation District and/or MDE."

Designed by: Felicia Bivens 11/17/2022  
Owner's/Developer's Signature Date  
Felicia Bivens - Property Development Manager  
Printed Name & Title

**Design Certification:**

"I hereby certify that this plan has been designed in accordance with current Maryland erosion and sediment control laws, regulations, and standards, that it represents a practical and workable plan based on my personal knowledge of the site, and that it was prepared in accordance with the requirements of the Howard Soil Conservation District."

Designed by: Emily Dean 11/16/2022  
Designer's Signature Date  
Emily Dean  
Printed Name MD Registration No. 43160  
(P.E.) R.L.S., or R.L.A. (circle one)

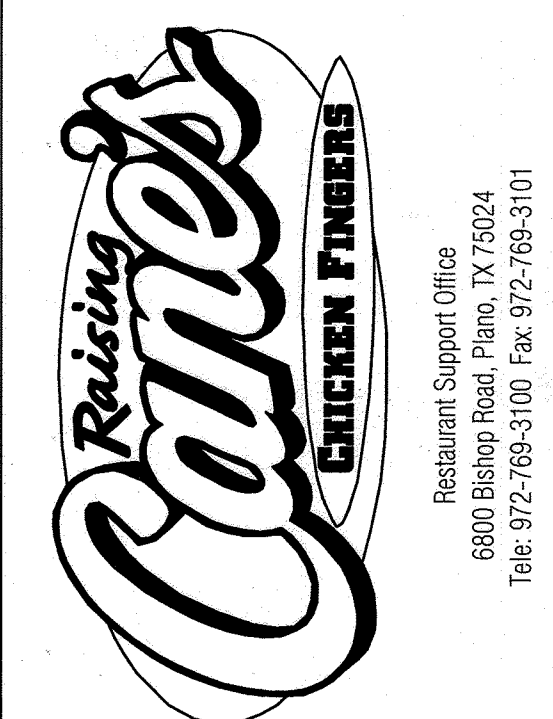
THERE IS NO "AS-BUILT" INFORMATION ON THIS SHEET.

APPROVED: DEPARTMENT OF PLANNING AND ZONING

Chief, Development Engineering Division	Date
<u>(Signature)</u>	12/19/2022
Chief, Division of Land Use/Planning	Date
<u>(Signature)</u>	12/20/2022
Planning Director	Date
<u>(Signature)</u>	

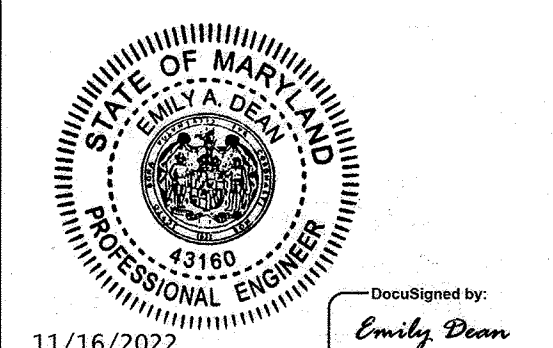
ADDRESS CHART	
LOT/PARCEL #	STREET ADDRESS
LOT A 36, PARCEL 513	9071 SNOWDEN RIVER PKWY

PERMIT INFORMATION CHART				
Subdivision Name	Section/Area	Lot/Parcel No.		
GATEWAY COMMERCE CENTER	N/A	513		
Plot # of 10805	0006	28-29	Tax Map No. 042	Elect District 8
Water Code E06	Sewer Code	49000000	Census Tract 806707	



Store:  
**9071 SNOWDEN RIVER PARKWAY**  
**COLUMBIA, MD 21046**  
**RESTAURANT #C0838**  
**P4EV-AV SCHEME A**

Professional of Record: EMILY A. DEAN



11/16/2022  
9071 SNOWDEN RIVER PKWY  
COLUMBIA, MARYLAND  
TAX MAP: 42 PARCEL: 513  
ZONING: B-2  
6TH ELECTION DISTRICT  
2ND COUNCIL DISTRICT  
WATER & SEWER CONTRACT #: 24-3185  
ORLANDO, FL 32801

OWNER: NATIONAL RETAIL PROPERTIES LP  
450 S ORANGE AVE, SUITE 900  
ORLANDO, FL 32801

DEVELOPER: RAISING CANE'S RESTAURANTS, LLC  
ATTN: FELICIA BIVENS  
6800 BISHOP ROAD, PLANO, TX 75024  
931-993-5258

ENGINEER: KIMLEY-HORN AND ASSOCIATES, INC.  
ATTN: EMILY DEAN  
215 WASHINGTON AVE, SUITE 500  
TOWSON, MD 21284  
443-884-5055

Prototype:	P4EV- AV 2020 - 2.0 RELEASE
Prototype Issue Date:	7.14.2020
Design Bulletin Updates:	--
Date Issued:	Bulletin Number:
--	--

**FOR REVIEW**

**Kimley»Horn**  
11400 COMMERCE PARK DR., SUITE 400, RESTON, VA 20191  
PHONE: 703-674-1300 FAX: 703-674-1350  
WWW.KIMLEY-HORN.COM

REVISIONS:	
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Sheet Title:

**ESC NOTES**

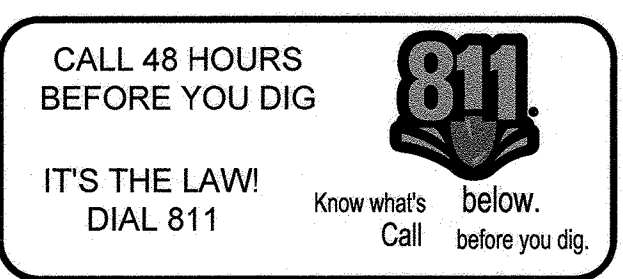
Date: 11/09/2022

Project Number: 110723018

Drawn By: JAM

Checked By: EAD

Sheet Number:





**B-4.3 STANDARDS AND SPECIFICATIONS**

**FOR**

**SEEDING AND MULCHING**

**Definition**

The application of seed and mulch to establish vegetative cover.

**Purpose**

To protect disturbed soils from erosion during and at the end of construction.

**Conditions Where Practice Applies**

To the surface of all perimeter controls, slopes, and any disturbed area not under active grading.

**Criteria**

**A. Seeding**

**1. Specifications**

- All seed must meet the requirements of the Maryland State Seed Law. All seed must be subject to re-testing by a recognized seed laboratory. All seed used must have been tested within the 6 months immediately preceding the date of sowing such material on any project. Refer to Table B.4 regarding the quality of seed. Seed tags must be available upon request to the inspector to verify type of seed and seeding rate.
- Mulch alone may be applied between the fall and spring seeding dates only if the ground is frozen. The appropriate seeding mixture must be applied when the ground thaws.
- Inoculants: The inoculant for treating legume seed in the seed mixtures must be a pure culture of nitrogen fixing bacteria prepared specifically for the species. Inoculants must not be used later than the date indicated on the container. Add fresh inoculants as directed on the package. Use four times the recommended rate when hydroseeding. Note: It is very important to keep inoculant as cool as possible until used. Temperatures above 75 to 80 degrees Fahrenheit can weaken bacteria and make the inoculant less effective.
- Sod or seed must not be placed on soil which has been treated with soil sterilants or chemicals used for weed control until sufficient time has elapsed (14 days min.) to permit dissipation of phyto-toxic materials.

**2. Application**

- Dry Seeding:** This includes use of conventional drop or broadcast spreaders.
  - Incorporate seed into the subsoil at the rates prescribed on Temporary Seeding Table B.1, Permanent Seeding Table B.3, or site-specific seeding summaries.
  - Apply seed in two directions, perpendicular to each other. Apply half the seeding rate in each direction. Roll the seeded area with a weighted roller to provide good seed to soil contact.
- Drill or Cultipacker Seeding:** Mechanized seeders that apply and cover seed with soil.
  - Cultipacking seeders are required to bury the seed in such a fashion as to provide at least 1/4 inch of soil covering. Seedbed must be firm after planting.
  - Apply seed in two directions, perpendicular to each other. Apply half the seeding rate in each direction.
- Hydroseeding:** Apply seed uniformly with hydroseeder (slurry includes seed and fertilizer).
  - If fertilizer is being applied at the time of seeding, the application rates should not exceed the following: nitrogen, 100 pounds per acre total of soluble nitrogen; P<sub>2</sub>O<sub>5</sub> (phosphorus), 200 pounds per acre; K<sub>2</sub>O (potassium), 200 pounds per acre.
  - Lime: Use only ground agricultural limestone (up to 3 tons per acre may be applied by hydroseeding). Normally, not more than 2 tons are applied by hydroseeding at any one time. Do not use burnt or hydrated lime when hydroseeding.
  - Mix seed and fertilizer on site and seed immediately and without interruption.
  - When hydroseeding do not incorporate seed into the soil.

**B. Mulching**

**1. Mulch Materials (in order of preference)**

- Straw consisting of thoroughly threshed wheat, rye, oat, or barley and reasonably bright in color. Straw is to be free of noxious weed seeds as specified in the Maryland Seed Law and not musty, moldy, caked, decayed, or excessively dusty. **Note: Use only sterile straw mulch in areas where one species of grass is desired.**
- Wood Cellulose Fiber Mulch (WCFM) consisting of specially prepared wood cellulose processed into a uniform fibrous physical state.
  - WCFM is to be dyed green or contain a green dye in the package that will provide an appropriate color to facilitate visual inspection of the uniformly spread slurry.
  - WCFM, including dye, must contain no germination or growth inhibiting factors.
  - WCFM materials are to be manufactured and processed in such a manner that the wood cellulose fiber mulch will remain in uniform suspension in water under agitation and will blend with seed, fertilizer and other additives to form a homogeneous slurry. The mulch material must form a blotter-like ground cover, on application, having moisture absorption and percolation properties and must cover and hold grass seed in contact with the soil without inhibiting the growth of the grass seedlings.
  - WCFM material must not contain elements or compounds at concentration levels that will be phyto-toxic.
  - WCFM must conform to the following physical requirements: fiber length of approximately 10 millimeters, diameter approximately 1 millimeter, pH range of 4.0 to 8.5, ash content of 1.6 percent maximum and water holding capacity of 90 percent minimum.

**Professional Certification:**

"I hereby certify these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland,  
License No. 43160, Expiration Date: 12/19/2022"

(Title block, certification, seal, and signature shall appear close to each other)

**Howard SCD Signature Block:**

This plan is approved for soil erosion and sediment control by the Howard Soil Conservation District.  
Developed by: Alexander Eratohie 12/19/2022  
Howard Soil Conservation District Date

**2. Application**

- Apply mulch to all seeded areas immediately after seeding.
- When straw mulch is used, spread it over all seeded areas at the rate of 2 tons per acre to a uniform loose depth of 1 to 2 inches. Apply mulch to achieve a uniform distribution and depth so that the soil surface is not exposed. When using a mulch anchoring tool, increase the application rate to 2.5 tons per acre.
- Wood cellulose fiber used as mulch must be applied at a net dry weight of 1500 pounds per acre. Mix the wood cellulose fiber with water to attain a mixture with a maximum of 50 pounds of wood cellulose fiber per 100 gallons of water.

**3. Anchoring**

- Perform mulch anchoring immediately following application of mulch to minimize loss by wind or water. This may be done by one of the following methods (listed by preference), depending upon the size of the area and erosion hazard:
  - A mulch anchoring tool is a tractor drawn implement designed to punch and anchor mulch into the soil surface a minimum of 2 inches. This practice is most effective on large areas, but is limited to flatter slopes where equipment can operate safely. If used on sloping land, this practice should follow the contour.
  - Wood cellulose fiber may be used for anchoring straw. Apply the fiber binder at a net dry weight of 750 pounds per acre. Mix the wood cellulose fiber with water at a maximum of 50 pounds of wood cellulose fiber per 100 gallons of water.
  - Synthetic binders such as Acrylic DLR (Agro-Tack), DCA-70, Petroset, Terra Tax II, Terra Tack AR or other approved equal may be used. Follow application rates as specified by the manufacturer. Application of liquid binders needs to be heavier at the edges where wind catches mulch, such as in valleys and on crests of banks. **Use of asphalt binders is strictly prohibited.**
  - Lightweight plastic netting may be stapled over the mulch according to manufacturer recommendations. Netting is usually available in rolls 4 to 15 feet wide and 300 to 3,000 feet long.

**B-4.4 STANDARDS AND SPECIFICATIONS**

**FOR**

**TEMPORARY STABILIZATION**

**Definition**

To stabilize disturbed soils with vegetation for up to 6 months.

**Purpose**

To use fast growing vegetation that provides cover on disturbed soils.

**Conditions Where Practice Applies**

Exposed soils where ground cover is needed for a period of 6 months or less. For longer duration of time, permanent stabilization practices are required.

**Criteria**

- Select one or more of the species or seed mixtures listed in Table B.1 for the appropriate Plant Hardness Zone (from Figure B.3), and enter them in the Temporary Seeding Summary below along with application rates, seeding dates and seeding depths. If this Summary is not put on the plan and completed, then Table B.1 plus fertilizer and lime rates must be put on the plan.
- For sites having soil tests performed, use and show the recommended rates by the testing agency. Soil tests are not required for Temporary Seeding.
- When stabilization is required outside of a seeding season, apply seed and mulch or straw mulch alone as prescribed in Section B-4.3.A.1.b and maintain until the next seeding season.

**Temporary Seeding Summary**

Hardness Zone (from Figure B.3): 6B Seed Mixture (from Table B.1): SEE BELOW					Fertilizer Rate (10-20-20)	Lime Rate
No.	Species	Application Rate (lb/acre)	Seeding Dates	Seeding Depths		
1	COOL-SEASON GRASSES: ANNUAL RYEGRASS	40	3/1-5/15; 8/1-10/15	0.5	436 lb/acre (10 lb/1000 sf)	2 tons/acre (90 lb/1000 sf)
2	WARM-SEASON GRASSES: PEARL MILLET	20	5/16-7/31	0.5		

**B-5 STANDARDS AND SPECIFICATIONS**

**FOR**

**DUST CONTROL**

**Definition**

Controlling the suspension of dust particles from construction activities.

**Purpose**

To prevent blowing and movement of dust from exposed soil surfaces to reduce on and off-site damage including health and traffic hazards.

**Conditions Where Practice Applies**

Areas subject to dust blowing and movement where on and off-site damage is likely without treatment.

**Specifications**

- Mulches:** See Section B-4.2 Soil Preparation, Topsoiling, and Soil Amendments, Section B-4.3 Seeding and Mulching, and Section B-4.4 Temporary Stabilization. Mulch must be anchored to prevent blowing.
- Vegetative Cover:** See Section B-4.4 Temporary Stabilization.
- Tillage:** Till to roughen surface and bring clods to the surface. Begin plowing on windward side of site. Chisel-type plows spaced about 12 inches apart, spring-toothed harrows, and similar plows are examples of equipment that may produce the desired effect.
- Irrigation:** Sprinkle site with water until the surface is moist. Repeat as needed. The site must not be irrigated to the point that runoff occurs.
- Barriers:** Solid board fences, silt fences, snow fences, burlap fences, straw bales, and similar material can be used to control air currents and soil blowing.
- Chemical Treatment:** Use of chemical treatment requires approval by the appropriate plan review authority.

**B-4.5 STANDARDS AND SPECIFICATIONS**

**FOR**

**PERMANENT STABILIZATION**

**Definition**

To stabilize disturbed soils with permanent vegetation.

**Purpose**

To use long-lived perennial grasses and legumes to establish permanent ground cover on disturbed soils.

**Conditions Where Practice Applies**

Exposed soils where ground cover is needed for 6 months or more.

**Criteria**

**A. Seed Mixtures**

**1. General Use**

- Select one or more of the species or mixtures listed in Table B.3 for the appropriate Plant Hardness Zone (from Figure B.3) and based on the site condition or purpose found on Table B.2. Enter selected mixture(s), application rates, and seeding dates in the Permanent Seeding Summary. The Summary is to be placed on the plan.
- Additional planting specifications for exceptional sites such as shorelines, stream banks, or dunes or for special purposes such as wildlife or aesthetic treatment may be found in USDA-NRCS Technical Field Office Guide, Section 342 - Critical Area Planting.
- For sites having disturbed area over 5 acres, use and show the rates recommended by the soil testing agency.
- For areas receiving low maintenance, apply urea form fertilizer (46-0-0) at 3 1/2 pounds per 1000 square feet (150 pounds per acre) at the time of seeding in addition to the soil amendments shown in the Permanent Seeding Summary.

**2. Turfgrass Mixtures**

- Areas where turfgrass may be desired include lawns, parks, playgrounds, and commercial sites which will receive a medium to high level of maintenance.
- Select one or more of the species or mixtures listed below based on the site conditions or purpose. Enter selected mixture(s), application rates, and seeding dates in the Permanent Seeding Summary. The summary is to be placed on the plan.
  - Kentucky Bluegrass: Full Sun Mixture: For use in areas that receive intensive management. Irrigation required in the areas of central Maryland and Eastern Shore. Recommended Certified Kentucky Bluegrass Cultivars Seeding Rate: 1.5 to 2.0 pounds per 1000 square feet. Choose a minimum of three Kentucky bluegrass cultivars with each ranging from 10 to 35 percent of the total mixture by weight.
  - Kentucky Bluegrass/Perennial Rye: Full Sun Mixture: For use in full sun areas where rapid establishment is necessary and when turf will receive medium to intensive management. Certified Perennial Ryegrass Cultivars/Certified Kentucky Bluegrass Seeding Rate: 2 pounds mixture per 1000 square feet. Choose a minimum of three Kentucky bluegrass cultivars with each ranging from 10 to 35 percent of the total mixture by weight.
  - Tall Fescue/Kentucky Bluegrass: Full Sun Mixture: For use in drought prone areas and/or for areas receiving low to medium management in full sun to medium shade. Recommended mixture includes: Certified Tall Fescue Cultivars 95 to 100 percent, Certified Kentucky Bluegrass Cultivars 0 to 5 percent. Seeding Rate: 5 to 8 pounds per 1000 square feet. One or more cultivars may be blended.

- Kentucky Bluegrass/Fine Fescue: Shade Mixture: For use in areas with shade in bluegrass lawns. For establishment in high quality, intensively managed turf area. Mixture includes; Certified Kentucky Bluegrass Cultivars 30 to 40 percent and Certified Fine Fescue and 60 to 70 percent. Seeding Rate: 1 1/2 to 3 pounds per 1000 square feet.

**Notes:**

Select turfgrass varieties from those listed in the most current University of Maryland Publication, Agronomy Memo #77, "Turfgrass Cultivar Recommendations for Maryland"  
Choose certified material. Certified material is the best guarantee of cultivar purity. The certification program of the Maryland Department of Agriculture, Turf and Seed Section, provides a reliable means of consumer protection and assures a pure genetic line

**c. Ideal Times of Seeding for Turf Grass Mixtures**

- Western MD:** March 15 to June 1, August 1 to October 1 (Hardiness Zones: 5b, 6a)
- Central MD:** March 1 to May 15, August 15 to October 15 (Hardiness Zone: 6b)
- Southern MD, Eastern Shore:** March 1 to May 15, August 15 to October 15 (Hardiness Zones: 7a, 7b)

- Till areas to receive seed by disking or other approved methods to a depth of 2 to 4 inches, level and rake the areas to prepare a proper seedbed. Remove stones and debris over 1 1/2 inches in diameter. The resulting seedbed must be in such condition that future mowing of grasses will pose no difficulty.
- If soil moisture is deficient, supply new seedlings with adequate water for plant growth (1/2 to 1 inch every 3 to 4 days depending on soil texture) until they are firmly established. This is especially true when seedings are made late in the planting season, in abnormally dry or hot seasons, or on adverse sites.

**SEDIMENT CONTROL**

**Owners/Developer Certification:**

"I/We hereby certify that any clearing, grading, construction, or development will be done pursuant to this approved erosion and sediment control plan, including inspecting and maintaining controls, and that the responsible personnel involved in the construction project will have a Certificate of Training at a Maryland Department of the Environment (MDE) approved training program for the control on erosion and sediment prior to beginning the project. I certify right-of-entry for periodic on-site evaluation by Howard County, the Howard Soil Conservation District and/or MDE."

Developed by: Emily Dean 11/17/2022  
Date  
Owner's/Developer's Signature  
Felicia Bivens - Property Development Manager  
Printed Name & Title

**Design Certification:**

"I hereby certify that this plan has been designed in accordance with current Maryland erosion and sediment control laws, regulations, and standards, that it represents a practical and workable plan based on my personal knowledge of the site, and that it was prepared in accordance with the requirements of the Howard Soil Conservation District."

Designed by: Emily Dean 11/16/2022  
Date  
Designer's Signature  
Emily Dean  
Printed Name  
MD Registration No. 43160  
(P.E.) R.L.S., or R.L.A. (circle one)

**Permanent Seeding Summary**

Hardness Zone (from Figure B.3): 6B Seed Mixture (from Table B.1): SEE BELOW					Fertilizer Rate (10-20-20)			Lime Rate
No.	Species	Application Rate (lb/acre)	Seeding Dates	Seeding Depths	N	P <sub>2</sub> O <sub>5</sub>	K <sub>2</sub> O	
1	COOL-SEASON GRASSES: TALL FESCUE ANNUAL RYEGRASS	40	3/1-5/15; 8/1-10/15	1/2 - 1/2 in	45 pounds per acre (2 lb/1000 sf)	90 lb/acre (1.0 lb/1000 sf)	90 lb/acre (2 lb/1000 sf)	2 tons/acre (90 lb/1000 sf)
2	WARM-SEASON GRASSES: PEARL MILLET	20	5/16-7/31	1/2 - 1/2 in	45 pounds per acre (2 lb/1000 sf)	90 lb/acre (1.0 lb/1000 sf)	90 lb/acre (2 lb/1000 sf)	2 tons/acre (90 lb/1000 sf)

**B. Sod:** To provide quick cover on disturbed areas (2:1 grade or flatter).

**1. General Specifications**

- Class of turfgrass sod must be Maryland State Certified. Sod labels must be made available to the job foreman and inspector.
- Sod must be machine cut at a uniform soil thickness of 3/4 inch, plus or minus 1/8 inch, at the time of cutting. Measurement for thickness must exclude top growth and thatch. Broken pads and torn or uneven ends will not be acceptable.
- Standard size sections of sod must be strong enough to support their own weight and retain their size and shape when suspended vertically with a firm grasp on the upper 10 percent of the section.
- Sod must not be harvested or transplanted when moisture content (excessively dry or wet) may adversely affect its survival.
- Sod must be harvested, delivered, and installed within a period of 36 hours. Sod not transplanted within this period must be approved by an agronomist or soil scientist prior to its installation.

**2. Sod Installation**

- During periods of excessively high temperature or in areas having dry subsoil, lightly irrigate the subsoil immediately prior to laying the sod.
- Lay the first row of sod in a straight line with subsequent rows placed parallel to it and tightly wedged against each other. Stagger lateral joints to promote more uniform growth and strength. Ensure that sod is not stretched or overlapped and that all joints are butted tight in order to prevent voids which would cause air drying of the roots.
- Wherever possible, lay sod with the long edges parallel to the contour and with staggering joints. Roll and tamp, peg or otherwise secure the sod to prevent slippage on slopes. Ensure solid contact exists between sod roots and the underlying soil surface.
- Water the sod immediately following rolling and tamping until the underside of the new sod pad and soil surface below the sod are thoroughly wet. Complete the operations of laying, tamping and irrigate for any piece of sod within eight hours.

**3. Sod Maintenance**

- In the absence of adequate rainfall, water daily during the first week or as often and sufficiently as necessary to maintain moist soil to a depth of 4 inches. Water sod during the heat of the day to prevent wilting.
- After the first week, sod watering is required as necessary to maintain adequate moisture content.
- Do not mow until the sod is firmly rooted. No more than 1/2 of the grass leaf must be removed by the initial cutting or subsequent cuttings. Maintain a grass height of at least 3 inches unless otherwise specified.

**B-4.8 STANDARDS AND SPECIFICATIONS**

**FOR**

**STACKPILE AREA**

**Definition**

A mound or pile of soil protected by appropriately designed erosion and sediment control measures.

**Purpose**

To provide a designated location for the temporary storage of soil that controls the potential for erosion, sedimentation, and changes to drainage patterns.

**Conditions Where Practice Applies**

Stockpile areas are utilized when it is necessary to salvage and store soil for later use.

**Criteria**

- The stockpile location and all related sediment control practices must be clearly indicated on the erosion and sediment control plan.
- The footprint of the stockpile must be sized to accommodate the anticipated volume of material and based on a side slope ratio no steeper than 2:1. Benching must be provided in accordance with Section B-3 Land Grading.
- Runoff from the stockpile area must drain to a suitable sediment control practice.
- Access the stockpile area from the upgrade side.
- Clear water runoff into the stockpile area must be minimized by use of a diversion device such as an earth ditch, temporary swale or diversion fence. Provisions must be made for discharging concentrated flow in a non-erosive manner.
- Where runoff concentrates along the toe of the stockpile fill, an appropriate erosion/sediment control practice must be used to intercept the discharge.
- Stockpiles must be stabilized in accordance with the 3/7 day stabilization requirement as well as Standard B-4-1 Incremental Stabilization and Standard B-4-4 Temporary Stabilization.
- If the stockpile is located on an impervious surface, a liner should be provided below the stockpile to facilitate cleanup. Stockpiles containing contaminated material must be covered with impermeable sheeting.

**Maintenance**

The stockpile area must continuously meet the requirements for Adequate Vegetative Establishment in accordance with Section B-4 Vegetative Stabilization. Side slopes must be maintained at no steeper than a 2:1 ratio. The stockpile area must be kept free of erosion. If the vertical height of a stockpile exceeds 20 feet for 2:1 slopes, 30 feet for 3:1 slopes, or 40 feet for 4:1 slopes, benching must be provided in accordance with Section B-3 Land Grading.

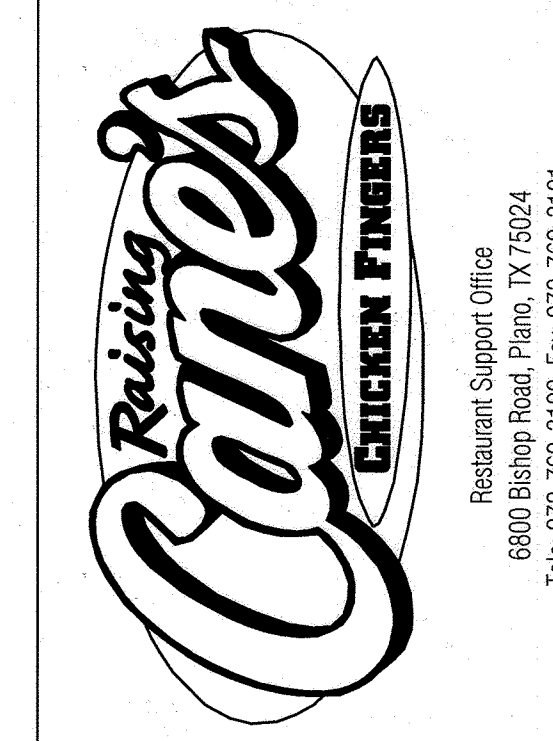


THERE IS NO "YES-BUILT" INFORMATION ON THIS SHEET.

APPROVED: DEPARTMENT OF PLANNING AND ZONING  
Date 12/19/2022  
Chief, Development Engineering Division  
Date 12/19/2022  
Chief, Division of Land Development  
Date 12/20/2022  
Planning Director  
Date

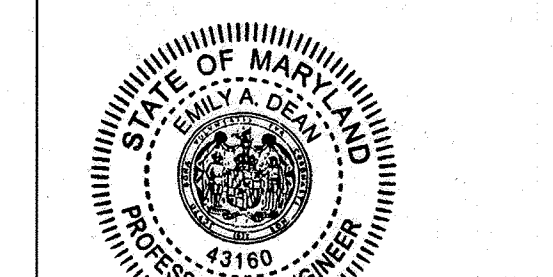
ADDRESS CHART	
LOT/PARCEL #	STREET ADDRESS
LOT A 38; PARCEL 513	9071 SNOWDEN RIVER PKWY

PERMIT INFORMATION CHART				
Subdivision Name	Section/Area	Lot/Parcel No.	Flat # or Lot #	City
GATEWAY COMMERCE CENTER	N/A	513	10805	0006
Flat # or Lot #	Tax Map No.	Elect District	Census Tract	Water Code
10805	0006	28-29	8	E06
Water Code	Sewer Code			
E06	49000000			



Store:  
**9071 SNOWDEN RIVER PARKWAY**  
**COLUMBIA, MD 21046**  
**RESTAURANT #C0838**  
**P4EV-AV SCHEME A**

Professional of Record: EMILY A. DEAN



11/16/2022  
PROFESSIONAL CERTIFICATION: I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.  
LICENSE NO. 43160  
EXPIRATION DATE 12/19/2022

9071 SNOWDEN RIVER PKWY  
COLUMBIA, MARYLAND  
TAX MAP: 42 PARCEL: 513  
ZONING: B-2  
6TH ELECTION DISTRICT  
2ND COUNCIL DISTRICT  
WATER & SEWER CONTRACT #: 24-3185  
OWNER: NATIONAL RETAIL PROPERTIES LP  
450 S ORANGE AVE, SUITE 900  
ORLANDO, FL 32801  
DEVELOPER: RAISING CANE'S RESTAURANTS, LLC  
ATTN: FELICIA BIVENS  
6800 BISHOP ROAD, PLANO, TX 75024  
931-993-5258  
ENGINEER: KIMLEY-HORN AND ASSOCIATES, INC.  
ATTN: EMILY DEAN  
215 WASHINGTON AVE., SUITE 500  
TOWSON, MD 21284  
443-884-5085

Prototype: P4EV-AV 2020 - 2.0 RELEASE  
Prototype Issue Date: 7.14.2020  
Design Bulletin Updates: --  
Date Issued: --  
Bulletin Number: --

**FOR REVIEW**

**Kimley»Horn**  
11400 COMMERCE PARK DR., SUITE 400, RESTON, VA 20191  
PHONE: 703-674-1300 FAX: 703-674-1350  
WWW.KIMLEY-HORN.COM

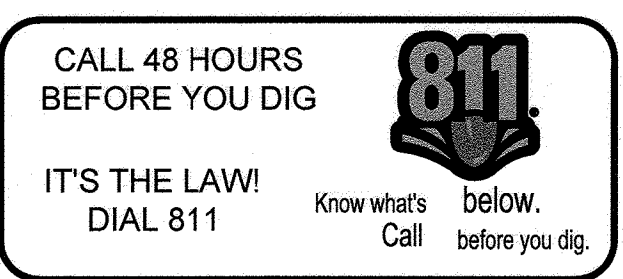
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Sheet Title:

**ESC NOTES**

Date: 11/09/2022  
Project Number: 110723018  
Drawn By: JAM  
Checked By: EAD  
Sheet Number:











Restaurant Support Office  
6800 Bishop Road, Plano, TX 75024  
Tel: 972-769-3100 Fax: 972-769-3101

Store:  
**9071 SNOWDEN RIVER PARKWAY**  
**COLUMBIA, MD 21046**  
**RESTAURANT #C0838**  
**P4EV-AV SCHEME A**

Professional of Record: EMILY A. DEAN



11/16/2022  
Emil Dean  
9378833P0402  
PROFESSIONAL CERTIFICATION: I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A FULLY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.  
LICENSE NO. 43160  
EXPIRATION DATE 12/31/2022

9071 SNOWDEN RIVER PKWY  
COLUMBIA, MARYLAND  
TAX MAP: 42 PARCEL: 513  
ZONING: B-2  
6TH ELECTION DISTRICT  
2ND COUNCIL DISTRICT  
WATER & SEWER CONTRACT #: 24-3185

OWNER: NATIONAL RETAIL PROPERTIES LP  
450 S ORANGE AVE, SUITE 900  
ORLANDO, FL 32801

DEVELOPER: RAISING CANE'S RESTAURANTS, LLC  
ATTN: FELICIA BIVENS  
6800 BISHOP ROAD, PLANO, TX 75024  
931-993-5258

ENGINEER: KIMLEY-HORN AND ASSOCIATES, INC.  
ATTN: EMILY DEAN  
215 WASHINGTON AVE, SUITE 500  
TOWSON, MD 21204  
443-884-5085

Prototype: P4EV-AV 2020 - 2.0 RELEASE

Prototype Issue Date: 7.14.2020

Design Bulletin Updates: --

Date Issued: Bulletin Number: --

FOR REVIEW

**Kimley»Horn**

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PHONE: 703-674-1300 FAX: 703-674-1350  
WWW.KIMLEY-HORN.COM

REVISIONS:

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Sheet Title:

**GRADING PLAN**

Date: **1/26/2023 11:09:2022**

Project Number: 110723018

Drawn By: JAM

Checked By: EAD

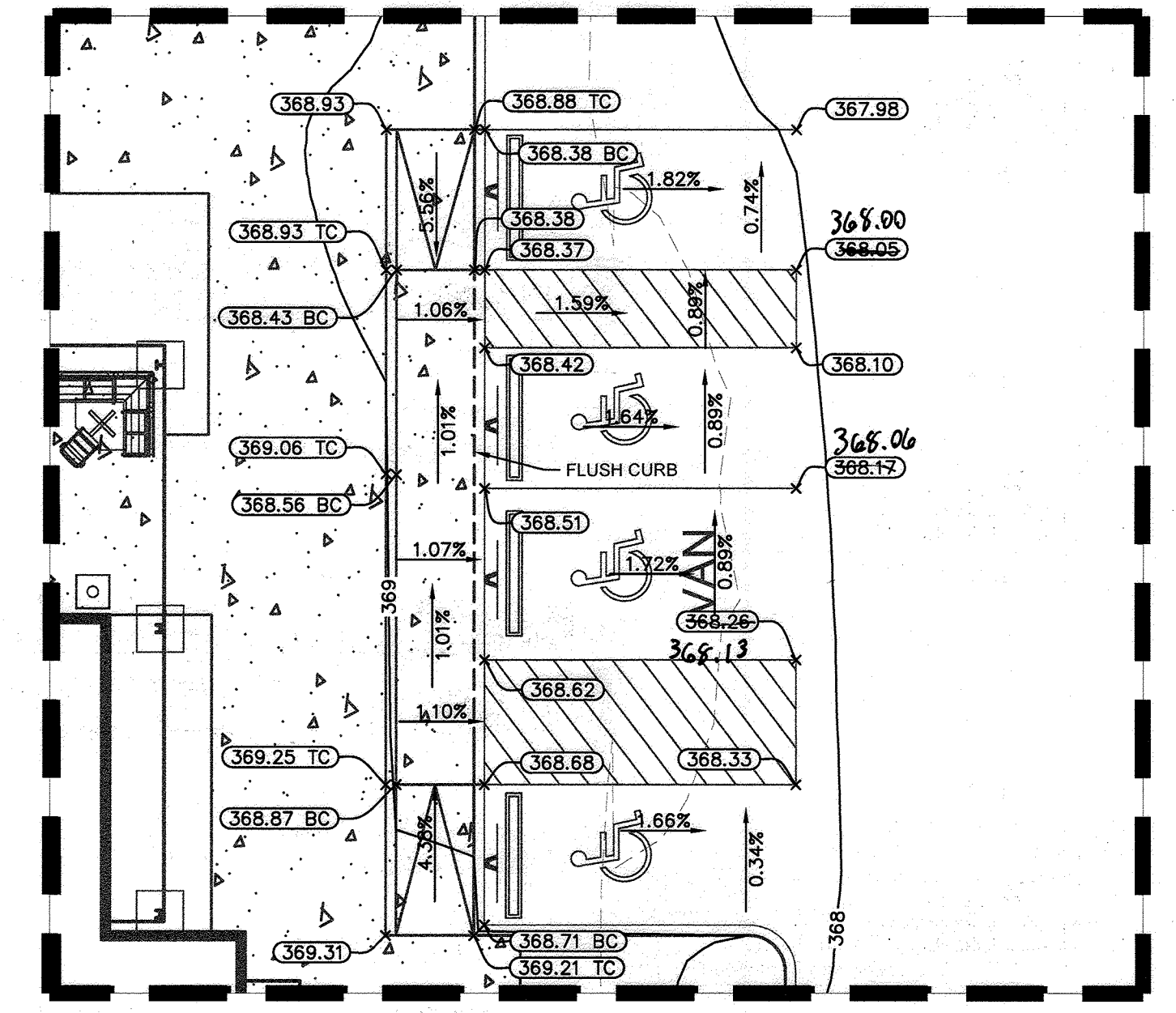
Sheet Number: **AS-BUILT**

**14 OF 26**

**GRADING PLAN LEGEND**

- PROPERTY LINE
- ULTIMATE RIGHT OF WAY
- EX. ADJACENT PROPERTY LINE
- ROAD CENTERLINE
- EX. CURB AND GUTTER
- PROP. CURB AND GUTTER
- EX. GAS LINE
- EX. WATER LINE
- D EX. STORM DRAIN
- S EX. SANITARY LINE
- UGE EX. ELECTRIC
- 100 EX. MAJOR CONTOUR
- 98 EX. MINOR CONTOUR
- 100 PROP. MAJOR CONTOUR
- 98 PROP. MINOR CONTOUR
- LIMITS OF DISTURBANCE

ABBREVIATIONS:  
BC: BOTTOM OF CURB  
FFE: FINISHED FLOOR ELEVATION  
LP: LOW POINT  
ME: MATCH EXISTING  
TC: TOP OF CURB



**GRADING ENLARGEMENT A**  
SCALE: 1" = 10'

NOTE: ALL SPOT ELEVATIONS ARE GROUND SHOTS UNLESS OTHERWISE NOTED.

**AS-BUILT CERTIFICATION**

I hereby certify, by my seal, that to the best of my knowledge and belief the facts shown on this plan were correctly as shown on this "AS-BUILT" plan with the Approved Plans and specifications.  
NAME: Emily Dean DATE: 1/16/23  
LICENSE NO.: 43160 DATE OF AS-BUILT: 1/26/23

**APPROVED: DEPARTMENT OF PLANNING AND ZONING**

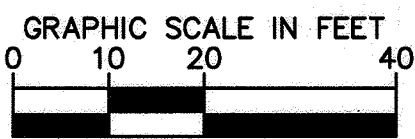
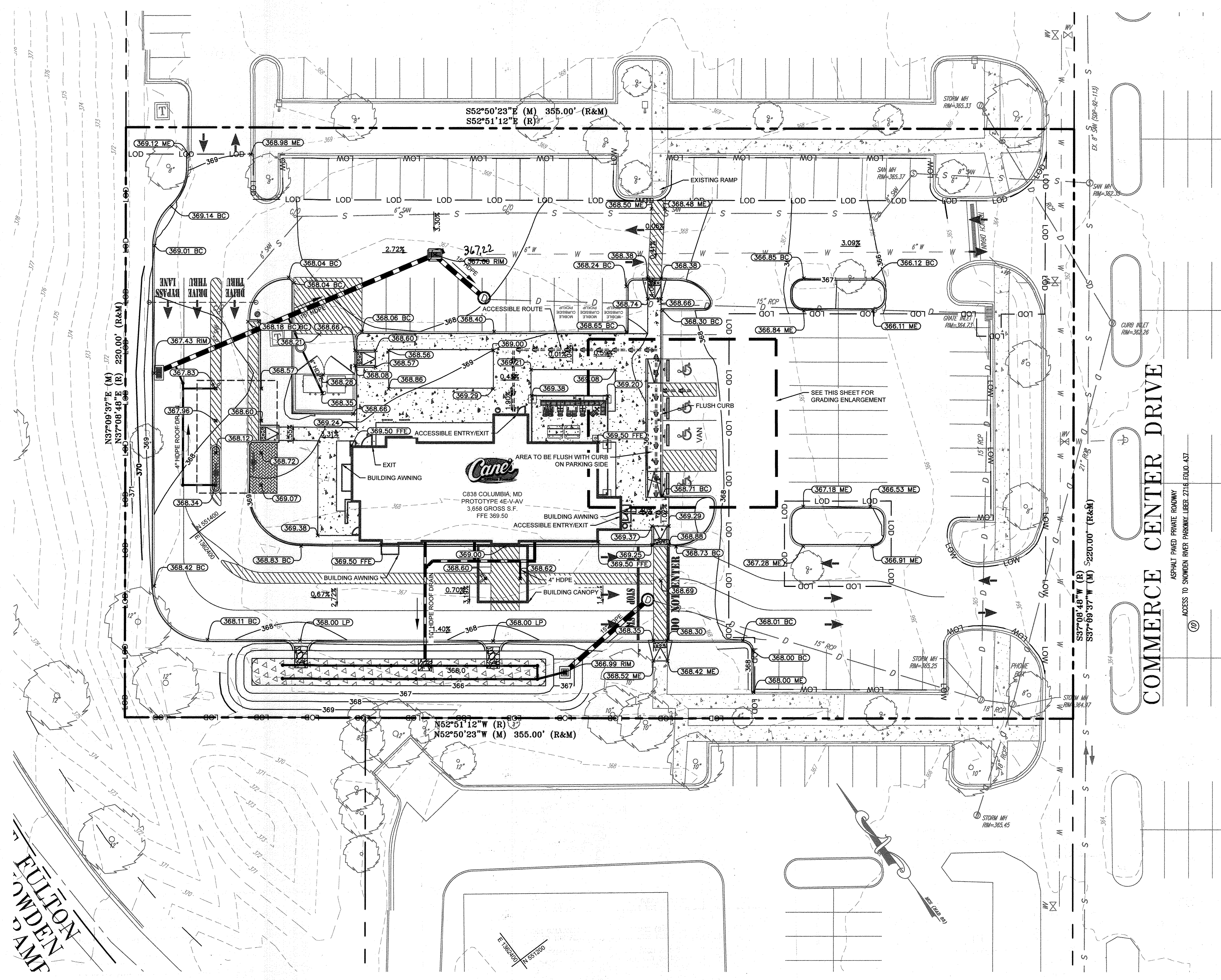
Chief, Development Engineering Division	Date
<i>(Signature)</i>	12/19/2022
Chief, Division of Land Occupancy and Planning	Date
<i>(Signature)</i>	12/20/2022
Planning Director	Date
<i>(Signature)</i>	

**ADDRESS CHART**

LOT/PARCEL #	STREET ADDRESS
LOT A 38, PARCEL 513	9071 SNOWDEN RIVER PKWY

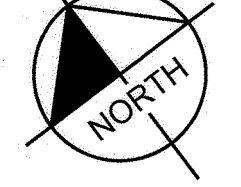
**PERMIT INFORMATION CHART**

Subdivision Name	Section/Area	Lot/Parcel No.
GATEWAY COMMERCE CENTER	N/A	513
Flat # of L.P.	Tax Map No.	Elect District
10805	48-29	8
Water Code	Sewer Code	Census Tract
E06	49000000	806707



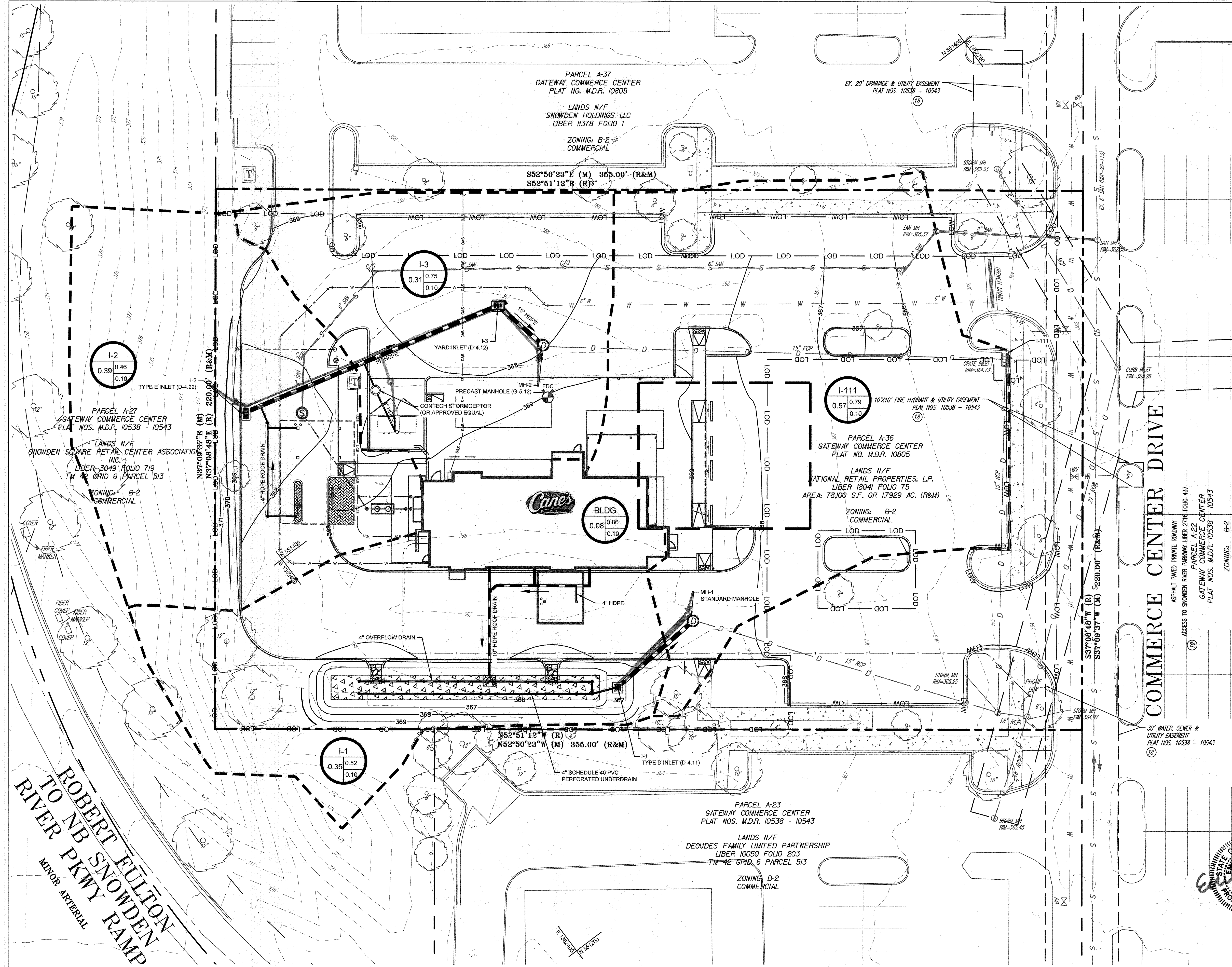
**GRADING PLAN**

SCALE: 1" = 20'



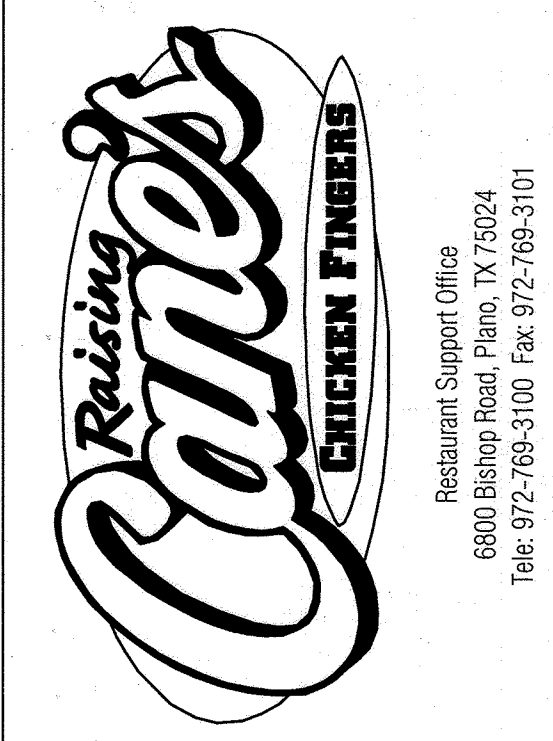
CALL 48 HOURS BEFORE YOU DIG  
**811**  
IT'S THE LAW! Dial 811  
Know what's below. Call before you dig.





**SWM LEGEND**

- PROPERTY LINE
- ADJACENT PROPERTY LINE
- LOD
- LOW
- 370
- 372
- SWM DRAINAGE AREA
- PROPOSED SWM FACILITY
- PROPOSED RIPRAP
- EXISTING STORM DRAIN TO BE REMOVED
- PROPOSED STORM DRAIN PIPE
- PROPOSED ROOF DRAIN
- PROPOSED UNDERDRAIN
- PROPOSED CLEANOUT
- PROPOSED STORM DRAIN MANHOLE
- PROPOSED STORM INLETS



Store:  
**9071 SNOWDEN RIVER PARKWAY**  
**COLUMBIA, MD 21046**  
**RESTAURANT #C0838**  
**P4EV-AV SCHEME A**

Professional of Record: EMILY A. DEAN



11/16/2022  
 PROFESSIONAL CERTIFICATION: I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.  
 LICENSE NO. 43160  
 EXPIRATION DATE 12/31/2022

9071 SNOWDEN RIVER PKWY  
 COLUMBIA, MARYLAND  
 TAX MAP: 42 PARCEL 513  
 ZONING: B-2  
 6TH ELECTION DISTRICT  
 2ND COUNCIL DISTRICT  
 WATER & SEWER CONTRACT #: 24-3185  
 OWNER: NATIONAL RETAIL PROPERTIES LP  
 450 S ORANGE AVE, SUITE 900  
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 ENGINEER: KIMLEY-HORN AND ASSOCIATES, INC.  
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 215 WASHINGTON AVE, SUITE 500  
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Prototype: P4EV-AV 2020 - 2.0 RELEASE  
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**FOR REVIEW**

**Kimley»Horn**  
 11400 COMMERCE PARK DR., SUITE 400, RESTON, VA 20191  
 PHONE: 703-674-1300 FAX: 703-674-1350  
 WWW.KIMLEY-HORN.COM

REVISIONS:

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**AS-BUILT CERTIFICATION**  
 I HEREBY CERTIFY BY MY SEAL, THAT TO THE BEST OF MY KNOWLEDGE AND BELIEF THE FACILITIES SHOWN ON THIS PLAN WERE CONSTRUCTED AS SHOWN ON THIS "AS-BUILT" PLAN UNDER THE APPROVED PLANS AND SPECIFICATIONS.  
 NAME: Emily Dean DATE: 11/15/22  
 LICENSE NO. 43160 DATE OF AS-BUILT: 9/24/23

**APPROVED: DEPARTMENT OF PLANNING AND ZONING**  
 12/19/2022  
 Chief, Development Engineering Division: Chad Edmondson Date: 12/19/2022  
 Chief, Division of Land Development: [Signature] Date: 12/20/2022  
 Planning Director: [Signature] Date: \_\_\_\_\_

**ADDRESS CHART**

LOT/PARCEL #	STREET ADDRESS
LOT A 38, PARCEL 513	9071 SNOWDEN RIVER PKWY

**PERMIT INFORMATION CHART**

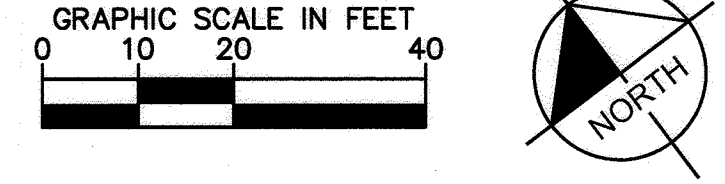
Subdivision Name: GATEWAY COMMERCE CENTER	Section/Area: N/A	Lot/Parcel No.: 513
Plat # of L.P.: 10805	Tax Map No.: 48-29	Election District: 6
Water Code: E06	Sewer Code: 49000000	Census Tract: 806707

**STORM DRAIN DRAINAGE AREA MAP**

SCALE: 1" = 20'

**Proposed Land Cover Table**

Drainage Area	Impervious Drainage Area		Pervious Drainage Area (2-6%)		Pervious Drainage Area (6%+)		Total Drainage area	Weighted C	Time of Concentration (min)
	SF	AC	SF	AC	SF	AC			
I-1	6,245	0.143	367	0.008	8,424	0.193	15036	0.35	6.0
I-2	5316	0.122	1464	0.034	16880	0.39	16880	0.39	6.0
I-3	11,012	0.253	2,361	0.054	0	0.000	13373	0.31	6.0
EX. I-111	22078	0.507	2917	0.067	0	0.000	24995	0.57	6.0
BUILDING	3,583	0.082	0	0.000	0	0.000	3583	0.08	6.0
							73,867	1.70	



CALL 48 HOURS BEFORE YOU DIG  
 IT'S THE LAW! DIAL 811  
 Know what's below. Call before you dig.

Sheet Title: **STORM DRAIN DRAINAGE AREA MAP**  
 Date: 9/24/23  
 Project Number: 110723018  
 Drawn By: JAM  
 Checked By: EAD  
 Sheet Number: **AS-BUILT**







**PAVEMENT SUB-BASE UNDERDRAIN DITCH TRENCH**

**SUB-SURFACE UNDERDRAIN TRENCH SECTION**

**UNDERDRAIN OUTLET TRENCH SECTION**

**UNDERDRAIN OUTLET ON ROADWAY SLOPE**

**NOTES:**

- SLOPE PROTECTION USING 4" TO 7" STONE SHALL BE USED. THE WIDTH OF STONE PROTECTION TO BE 2'.
- WITH THE APPROVAL OF THE ENGINEER, THE DIMENSIONS SHOWN MAY BE VARIED WHERE UNDERDRAIN DISCHARGES INTO AN INLET OR WHERE OTHER UNUSUAL CONDITIONS PREVAIL. SEE SPECIFICATIONS PERTAINING TO PAVEMENT FOR EXTRA TRENCH DEPTH.
- UNDERDRAIN SHALL BE LAID ON A MINIMUM 1.0% GRADE UNLESS OTHERWISE APPROVED BY THE ENGINEER.
- UNDERDRAINS SHALL BE DISCHARGED INTO INLETS AND MANHOLES WHERE POSSIBLE AND SHALL BE DISCHARGED ONTO THE EXISTING SLOPE ONLY WHERE NO INLETS OR MANHOLES ARE AVAILABLE FOR CONNECTION.
- FOR JOINTS, REFER TO SPECIFICATIONS.
- WRAP #57 AGGREGATE WITH GEOTEXTILE FABRIC. SEE DETAIL IN THIS SHEET. GEOTEXTILE CLASS SHALL BE SPECIFIED IN PLANS.

**GEOTEXTILE FABRIC**

Howard County, Maryland  
Department of Public Works  
UNDERDRAIN  
Detail  
R-1.09

**SECTION A-A**

**SECTION B-B**

**GENERAL NOTES:**

- SEE DETAIL D-4.01 FOR GENERAL NOTES APPLICABLE TO ALL STORM DRAIN INLETS.
- CONCRETE TO BE MIX NO.8 (4500 PSI).
- REINFORCING - 2 LAYERS OF 4x4-#4x6 W#40 WELDED WIRE FABRIC.
- THREADED PLASTIC INSERTS TO BE PROVIDED FOR HANDLING.
- GRATING SHALL BE STEEL "RING X-BAR" TYPE "A" OR APPROVED EQUIVALENT. ALL MATERIAL TO BE HOT DIPPED GALV.
- GRADE AND SLOPE ADJUSTMENTS TO BE COMPLETED IN THE FIELD USING CONC. MIX NO.8 OR BRICK AND MORTAR. MIN. ONE LAYER OF BRICK OR 2" OF CONCRETE.
- PIPE OPENINGS TO BE PROVIDED AS REQUIRED, FOR SIZE, LOCATION AND INVERT ELEVATING NOTES TO BE NOTED ON THE PLANS. SEE DETAIL G-5.02 FOR THE KNOCKOUT DETAILS.
- PLACE OF SURFACE DRAINAGE WILL BE AS NOTED ON THE PLANS. SEE DETAIL G-5.02 FOR THE KNOCKOUT DETAILS.
- MINIMUM DEPTH FROM FINISH "GRADE" TO INVERT INCLUDES DEPTH UP TO 3'-0" MEASURED FROM THE INVERT TO THE TOP OF THE GRATE. VERTICAL DEPTH FROM FINISH PER LINEAR FOOT FOR DEPTHS IN EXCESS OF 3'-0".

Howard County, Maryland  
Department of Public Works  
YARD INLET  
Precast  
Detail  
D-4.12

**SECTION A-A**

**SECTION B-B**

**GENERAL NOTES APPLICABLE TO ALL PRECAST MANHOLES**

- MANHOLE BASE SECTION SHALL BE BUILT ON 8-INCH #57 AGGREGATE ON FIRM SURFACE.
- #57 AGGREGATE MATERIAL SHALL BE EXTENDED FROM 6-INCHES UNDERNEATH BOTTOM OF STRUCTURE TO SUBGRADE (STORM ONLY).
- CONNECTION BETWEEN MANHOLE WALL AND PIPE TO BE NON-SHRINK GROUT (STORM) OR COMPRESSION TYPE RUBBER GASKET (SANITARY SEWER).
- MANHOLE STEPS SHALL BE AS SPECIFIED ON DETAIL G-5.11.
- MANHOLE COVER SHALL BE AS SPECIFIED ON DETAIL G-5.11, G-5.12, G-5.13, & G-5.14.
- PROVIDE TWO APPLICATIONS OF BITUMINOUS MATERIAL (MINIMUM 15 MILS DFT) COATING ON EXTERIOR SURFACE OF MANHOLES (SANITARY SEWER).
- MANHOLE CHAMBER SHALL BE FINISHED TO PROVIDE A SMOOTH TRANSITION BETWEEN PIPES. BENCH SHALL BE TO TOP OF PIPE OR AS SHOWN ON CONTRACT DOCUMENTS. SANITARY SEWER MANHOLE CHAMBER AND BENCH SHALL BE PRECAST OR FORMED IN PLACE. SEWER SHALL BE SET ON GROUND.
- MANHOLE SHALL BE IN ACCORDANCE WITH ASTM A-478 EXCEPT AS INDICATED.
- MAXIMUM SANITARY SEWER INVERT DIFFERENTIAL IS 5 INCHES WITHOUT A DROP CONNECTION. SEE DETAIL G-5.13 FOR DROP CONNECTION DETAILS.
- THE MINIMUM DISTANCE BETWEEN PIPE OPENINGS IN THE WALL OF THE MANHOLE SHALL BE 12 INCHES.
- A MINIMUM OF 4" SHALL BE PROVIDED BETWEEN MANHOLE FLOOR AND LOWEST PIPE INVERT.
- PRECAST RINGS MAY BE LAPPED IN PLACE OF BRICK MASONRY COURSES. SEE DETAIL G-5.10.
- MANHOLE INTERMEDIATE LINGS SHALL BE AS INDICATED ON DETAIL G-5.11.
- SEE DETAIL G-4.01 FOR GRANITE BOTTOM WHEN INVERT DIFFERENTIAL IS EQUAL OR GREATER THAN 6" FOR STORM DRAIN MANHOLES.

Howard County, Maryland  
Department of Public Works  
PRECAST MANHOLE  
Notes  
Detail  
G-5.11

**SECTION A-A**

**SECTION B-B**

**GENERAL NOTES:**

- SEE GENERAL NOTES APPLICABLE TO ALL PRECAST MANHOLES ON DETAIL G-5.11.
- FOR PIPE SIZES 27" TO 36" USE DETAIL G-5.13.
- WHERE 24" COVER IS USED, USE 27" MANHOLE.
- FEET USE STANDARD PRECAST MANHOLE.
- MAXIMUM INVERT DIFFERENTIAL FOR SANITARY SEWER IS 6" WITHOUT DROP CONNECTION. SEE DETAIL G-5.13 FOR DROP CONNECTION.
- SEE DETAIL D-4.01 REQUIREMENT FOR GRANITE BOTTOM.

Howard County, Maryland  
Department of Public Works  
PRECAST MANHOLE  
Standard and Shallow  
4'-0" for 24" Pipe and smaller  
Detail  
G-5.12

**MANHOLE COVER LETTERING**

Howard County, Maryland  
Department of Public Works  
Manhole  
Cover Lettering  
Detail  
G-5.13

STRUCTURE TABLE			
STRUCTURE NAME:	DETAILS:	PIPES IN:	PIPES OUT:
EX. I-111	EXISTING GRATE INLET RIM: 364.73 INV IN: 361.10 INV OUT: 360.33	FROM MH-2, 15" REINFORCED CONCRETE INV IN: 361.10 @ 1.25% 0.74%	TO EX. MH-110, 15" REINFORCED CONCRETE INV OUT: 360.33 @ 1.00%
EX. MH-110	EXISTING MANHOLE RIM: 365.28 INV IN: 360.63 INV IN: 358.89 INV OUT: 357.07	FROM MH-1, 15" REINFORCED CONCRETE INV IN: 360.63 @ 4.00% 0.81% FROM EX. I-111, 15" REINFORCED CONCRETE INV IN: 358.89 @ 1.00%	TO EX. MH-1005, 18" REINFORCED CONCRETE INV OUT: 357.07 @ 1.00%
I-1	TYPE D INLET (D-4.11) RIM: 366.99 INV OUT: 362.15		TO MH-1, 15" HDPE INV OUT: 362.15 @ 0.50% 0.95%
I-2	TYPE E INLET (D-4.22) RIM: 367.45 INV IN: 367.43 INV OUT: 364.98		TO TEE-1, 15" HDPE INV OUT: 364.95 @ 0.50% 364.94 1.12%
I-3	YARD INLET (D-4.12) RIM: 367.00 INV IN: 363.29 INV OUT: 363.66	FROM TEE-2, 15" HDPE INV IN: 363.79 @ 0.50% 363.71 1.12%	TO MH-2, 15" HDPE INV OUT: 363.66 @ 0.50% 363.64 4.64%
MH-1	PRECAST MANHOLE (G-5.12) RIM: 368.62 INV IN: 367.57 INV OUT: 364.93	FROM I-1, 15" HDPE INV IN: 367.57 @ 0.50% 361.74 0.81%	TO EX. MH-110, 15" REINFORCED CONCRETE INV OUT: 361.93 @ 1.00% 361.68 0.81%
MH-2	PRECAST MANHOLE (G-5.12) RIM: 367.95 INV IN: 363.57 INV OUT: 363.42	FROM I-3, 15" HDPE INV IN: 363.57 @ 0.50% 361.76 4.64%	TO EX. I-111, 15" REINFORCED CONCRETE INV OUT: 363.47 @ 1.25% 361.68 0.74%
TEE-1	4" ADS INSERTA TEE RIM: 366.99 INV IN: 364.32 INV OUT: 364.32	FROM I-2, 15" HDPE INV IN: 364.32 @ 0.50% 364.99 1.12%	TO TEE-2, 15" HDPE INV OUT: 364.32 @ 0.50% 364.93 1.12%
TEE-2	4" ADS INSERTA TEE RIM: 366.49 INV IN: 364.09 INV OUT: 364.39	FROM TEE-1, 15" HDPE INV IN: 364.09 @ 0.50% 364.39 1.12%	TO I-3, 15" HDPE INV OUT: 364.09 @ 0.50% 364.39 1.12%

CALL 48 HOURS BEFORE YOU DIG

IT'S THE LAW! Dial 811

Know what's below. Call before you dig.

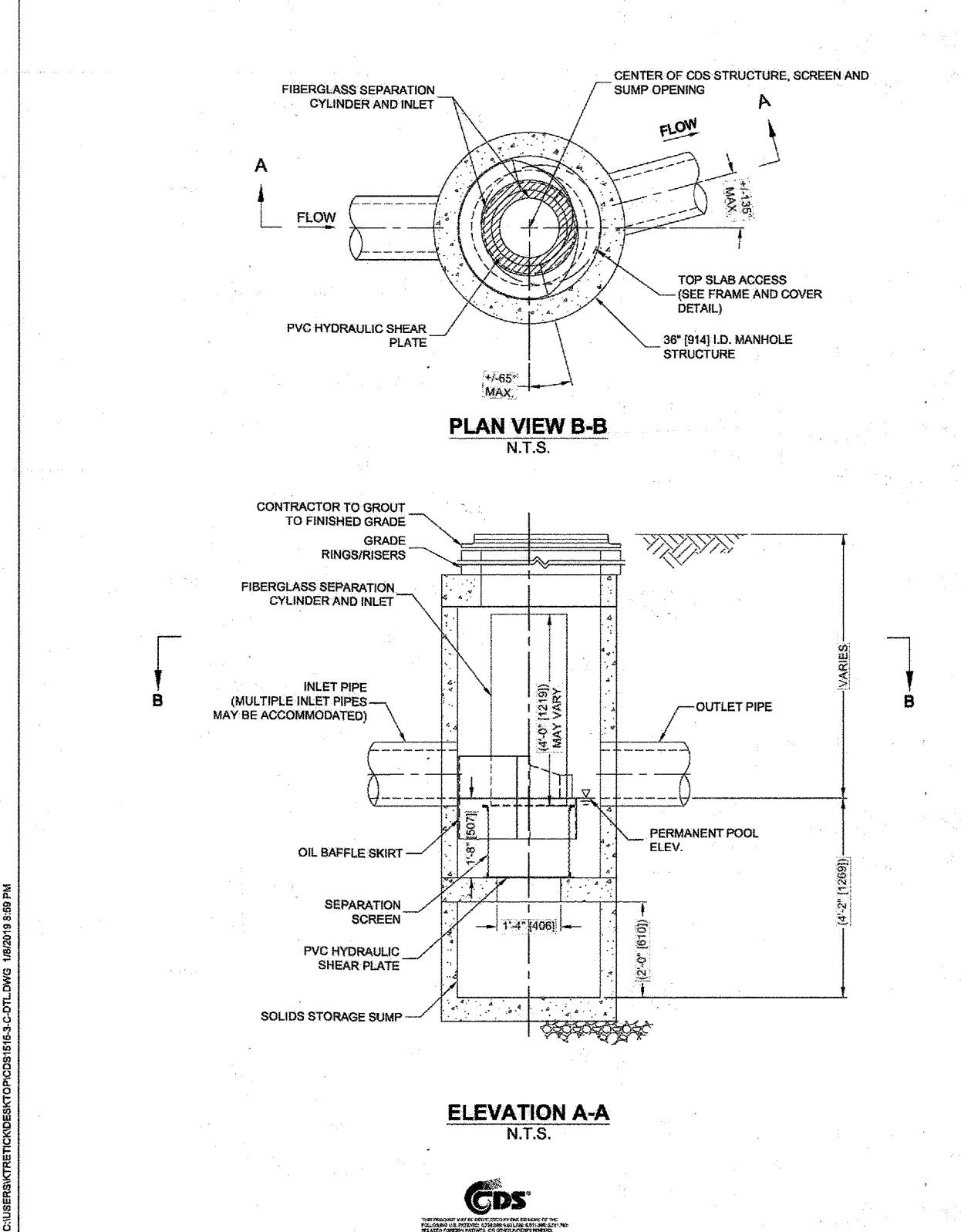
**AS-BUILT CERTIFICATION**

I hereby certify, by my seal, that to the best of my knowledge and belief the activities shown on this plan were completed as shown on this "AS-BUILT" plan under the Approved Plans and Specifications.

NAME: Emily Dean  
DATE OF AS-BUILT: 9/16/22  
LICENSE NO.: 43160

**OPERATION AND MAINTENANCE SCHEDULE FOR PRIVATELY OWNED AND MAINTAINED STORMCEPTOR WATER QUALITY DEVICE**

- The Stormceptor water quality structure shall be periodically inspected and cleaned to maintain operation and function. The owner shall inspect the Stormceptor unit yearly at a minimum, utilizing the Stormceptor Inspection/Monitoring Form. Inspections shall be done by using a clear Plexiglas tube ("sludge judge") to extract a water column sample. When the sediment depths exceed the level specified in Table 6 of the Stormceptor Technical Manual, the unit must be cleaned.
- The Stormceptor water quality structure shall be checked and cleaned immediately after petroleum spills. The owner shall contact the appropriate regulatory agencies.
- The maintenance of the Stormceptor unit shall be done using a vacuum truck which will remove the water, sediment, debris, floating hydrocarbons and other materials in the unit. Proper cleaning and disposal of the removed materials and liquid must be followed by the owner.
- The inlet and outlet pipes shall be checked for any obstructions at least once every six months. If obstructions are found the owner shall have them removed. Structural parts of the Stormceptor unit shall be repaired as needed.
- The owner shall retain and make the Stormceptor Inspection/Monitoring Forms available to the Howard County officials upon their request.



**CDS1515-3-C ONLINE CDS STANDARD DETAIL**

**SITE SPECIFIC DATA REQUIREMENTS**

STRUCTURE ID	WATER QUALITY FLOW RATE (GFS OR L/S)	PEAK FLOW RATE (GFS OR L/S)	RETURN PERIOD OF PEAK FLOW (YRS)	SCREEN APERTURE (2000 OR 4700)
	-	-	-	-

**GENERAL NOTES:**

- CONTRACTOR TO PROVIDE ALL MATERIALS UNLESS NOTED OTHERWISE.
- FOR SITE SPECIFIC DIMENSIONS AND WEIGHT, PLEASE CONTACT YOUR CONTECH ENGINEER.
- CONTRACTOR TO PROVIDE EQUIPMENT WITH SUFFICIENT LIFTING AND REACH CAPACITY TO LIFT AND SET THE CDS MANHOLE STRUCTURE.
- CONTRACTOR TO PROVIDE INSTALL AND GROUT INLET AND OUTLET PIPES. MATCH PIPE INVERTS WITH ELEVATIONS SHOWN. ALL PIPE CENTERLINES TO MATCH PIPE OPENING CENTERLINES.
- CONTRACTOR TO TAKE APPROPRIATE MEASURES TO ASSURE UNIT IS WATER TIGHT, HOLDING WATER TO FLOWLINE INVERT MINIMUM. IT IS SUGGESTED THAT ALL JOINTS BELOW PIPE INVERTS ARE GROUTED.

CONTECH ENGINEERED SOLUTIONS LLC  
CDS1515-3-C ONLINE CDS STANDARD DETAIL

**APPROVED: DEPARTMENT OF PLANNING AND ZONING**

Chief, Development Engineering Division: [Signature] Date: 12/19/2022

Chief, Division of Land Use Planning: [Signature] Date: 12/20/2022

Planning Director: [Signature] Date:

**ADDRESS CHART**

LOT/PARCEL #	STREET ADDRESS
LOT A 36, PARCEL 513	9071 SNOWDEN RIVER PKWY

**PERMIT INFORMATION CHART**

Subdivision Name	Section/Area	Lot/Parcel No.
GATEWAY COMMERCE CENTER	N/A	513

Plan #	Sheet	Tax Map No.	Elect District	Genus Zone
10805	0006	28-29	042	8

Water Code	Sewer Code
E08	49000000

**Raising Cane's CHICKEN FRIEDS**

Restaurant/Support Office  
6800 Bishop Road, Plano, TX 75024  
Tel: 972-769-3100 Fax: 972-769-3101

Store:  
**9071 SNOWDEN RIVER PARKWAY**  
**COLUMBIA, MD 21046**  
**RESTAURANT #C0838**  
**P4EV-AV SCHEME A**

Professional of Record: EMILY A. DEAN

STATE OF MARYLAND  
PROFESSIONAL ENGINEER  
43160  
Emily Dean  
9376638380482  
3/17/2002  
11/16/2022

9071 SNOWDEN RIVER PKWY  
COLUMBIA, MARYLAND  
TAX MAP: 42 PARCEL: 513  
ZONING: B-2  
6TH ELECTION DISTRICT  
2ND COUNCIL DISTRICT  
WATER & SEWER CONTRACT #: 24-3185

OWNER: NATIONAL RETAIL PROPERTIES LP  
450 S ORANGE AVE, SUITE 900  
ORLANDO, FL 32801

DEVELOPER: RAISING CANE'S RESTAURANTS, LLC  
ATTN: FELICIA BIVENS  
6800 BISHOP ROAD, PLANO, TX 75024  
931-993-5258

ENGINEER: KIMLEY-HORN AND ASSOCIATES, INC.  
ATTN: EMILY DEAN  
215 WASHINGTON AVE, SUITE 500  
TOWSON, MD 21204  
443-884-5085

Prototype: P4EV-AV 2020 - 2.0 RELEASE

Prototype Issue Date: 7.14.2020

Design Bulletin Updates: --

Date Issued: -- Bulletin Number: --

**FOR REVIEW**

**Kimley Horn**

11400 COMMERCE PARK DR., SUITE 400, RESTON, VA 20191  
PHONE: 703-674-1300 FAX: 703-674-1350  
WWW.KIMLEY-HORN.COM

**REVISIONS:**

NO.	DATE	DESCRIPTION
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2		
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Sheet Title: **STORM DRAIN DETAILS**

Date: 9/16/22 11:09:2022

Project Number: 110723018

Drawn By: JAM

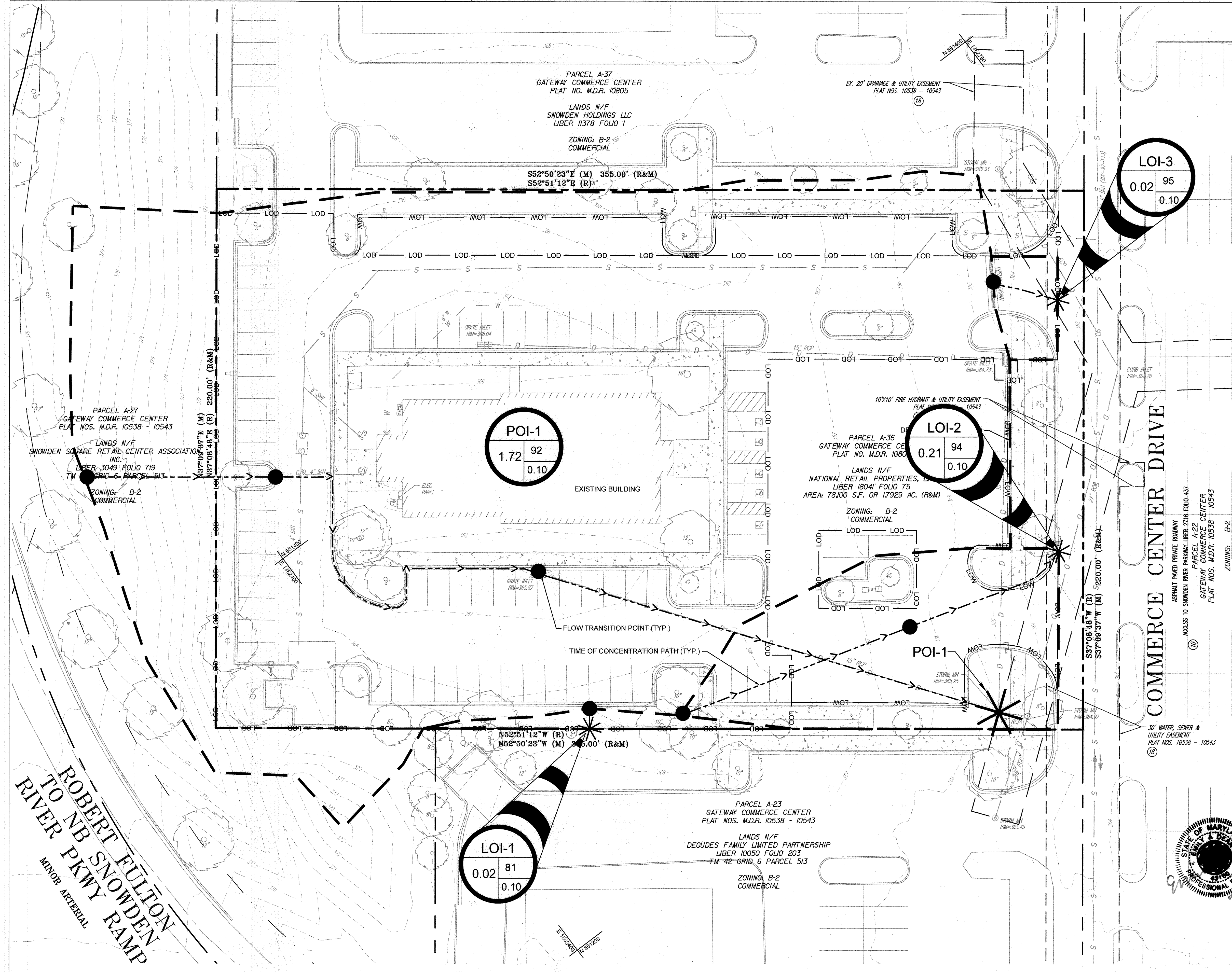
Checked By: EAD

Sheet Number: AS-BUILT

**17 OF 26**

SDP-22-035

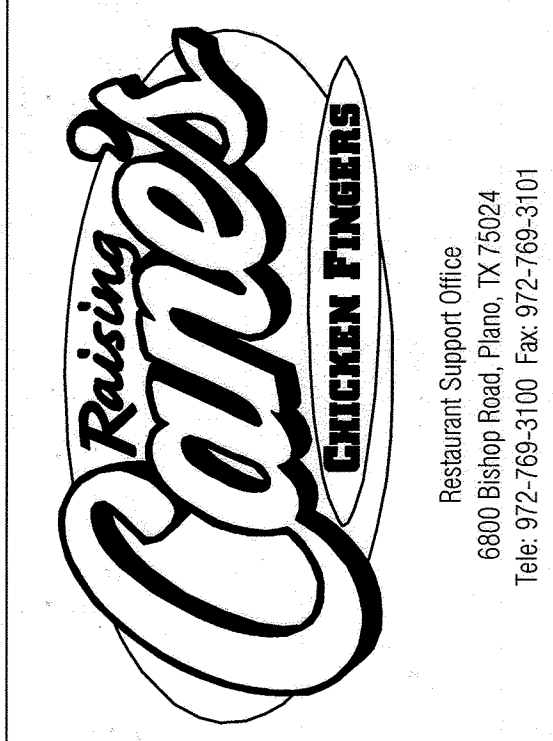




### EXISTING DRAINAGE AREA LEGEND

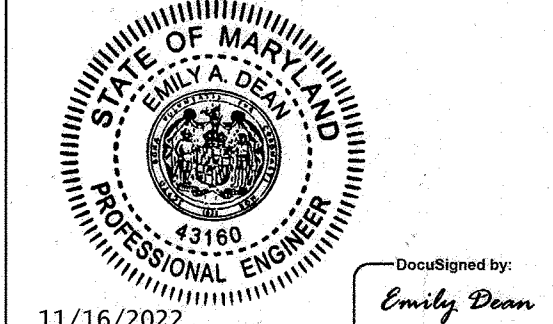
- PROPERTY LINE
- ADJACENT PROPERTY LINE
- EXISTING MAJOR CONTOUR
- EXISTING MINOR CONTOUR
- LIMITS OF DISTURBANCE
- DRAINAGE AREA DIVIDE
- EXISTING DRAINAGE EASEMENT
- EXISTING STORM DRAIN
- TIME OF CONCENTRATION PATH
- POINT OF INVESTIGATION
- LIMIT OF INVESTIGATION
- DRAINAGE AREA

AC: ACRES  
CN: CURVE NUMBER  
TC: TIME OF CONCENTRATION (HRS)



Store:  
**9071 SNOWDEN RIVER PARKWAY**  
**COLUMBIA, MD 21046**  
**RESTAURANT #C0838**  
**P4EV-AV SCHEME A**

Professional of Record: EMILY A. DEAN



11/16/2022  
PROFESSIONAL CERTIFICATION: I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.  
EXPIRATION DATE: 12/31/2022

9071 SNOWDEN RIVER PKWY  
COLUMBIA, MARYLAND  
TAX MAP: 42 PARCEL: 513  
ZONING: B-2  
6TH ELECTION DISTRICT  
2ND COUNCIL DISTRICT  
WATER & SEWER CONTRACT #: 24-3185  
OWNER: NATIONAL RETAIL PROPERTIES LP  
450 S ORANGE AVE, SUITE 900  
ORLANDO, FL 32801  
DEVELOPER: RAISING CANE'S RESTAURANTS, LLC  
ATTN: FELICIA BIVENS  
6800 BISHOP ROAD, PLANO, TX 75024  
931-993-5258  
ENGINEER: KIMLEY-HORN AND ASSOCIATES, INC.  
ATTN: EMILY DEAN  
215 WASHINGTON AVE, SUITE 500  
TOWSON, MD 21284  
443-884-5085

Prototype: P4EV-AV 2020 - 2.0 RELEASE  
Prototype Issue Date: 7.14.2020  
Design Bulletin Updates: --  
Date Issued: -- Bulletin Number: --

FOR REVIEW

**Kimley»Horn**  
11400 COMMERCE PARK DR., SUITE 400, RESTON, VA 20191  
PHONE: 703-674-1300 FAX: 703-674-1350  
WWW.KIMLEY-HORN.COM

REVISIONS:

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Sheet Title:  
**EXISTING DRAINAGE AREA MAP**

Date: 11/09/2022  
Project Number: 110723018  
Drawn By: JAM  
Checked By: EAD  
Sheet Number:

THERE IS NO "AS-BUILT" INFORMATION ON THIS SHEET.

SOIL TYPES		
MAP UNIT SYMBOL	SOIL NAME	HYDROLOGIC SOIL GROUP
UD	URBAN LAND - UDORTMENTS COMPLEX, 0 TO 15 PERCENT SLOPES	D

APPROVED: DEPARTMENT OF PLANNING AND ZONING

Chief, Development Engineering Division: *Chad Edmondson* Date: 12/19/2022

Chief, Division of Land Development: *Angie Stovall* Date: 12/20/2022

Planning Director: *Angie Stovall* Date: 12/20/2022

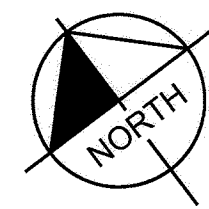
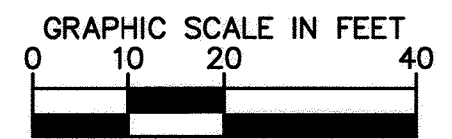
ADDRESS CHART	
LOT/PARCEL #	STREET ADDRESS
LOT A 36; PARCEL 513	9071 SNOWDEN RIVER PKWY

PERMIT INFORMATION CHART				
Subdivision Name	Section/Area	Lot/Parcel No.	Plat No.	Plat Date
GATEWAY COMMERCE CENTER	N/A	513	10805	08/06/2020
Water Code: E06	Sewer Code: 49000000	Tax Map No.: 48-29	Election District: 042	Census Tract: 806707

**EXISTING DRAINAGE AREA MAP**  
SCALE: 1" = 20'

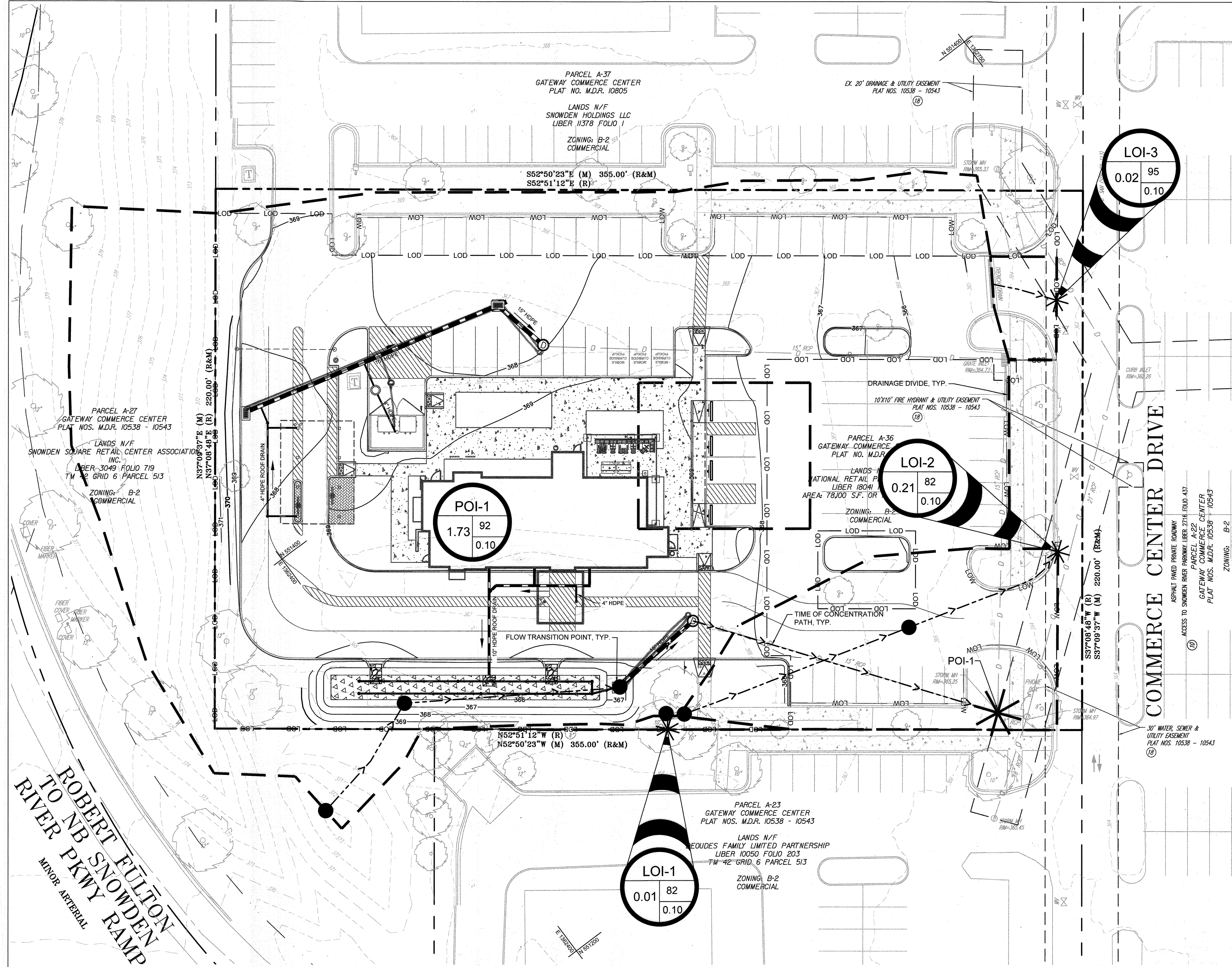
PRE DEVELOPMENT										
Drainage Area No.	POI/LOI	Pervious Land (sf) (ac)	Impervious Land (sf) (ac)	Total Area (ac)	Weighted CN	Tc (hrs)	Q1 (cfs)	Q10 (cfs)	Q100 (cfs)	Q100 (cfs)
1	POI #1	25,293 0.58	49,546 1.14	1.72	92	0.10	4.75	10.02	18.15	
2	LOI #1	657 0.02	19 0.00	0.02	81	0.10	0.00	0.09	0.18	
3	LOI #2	2,139 0.049	6,918 0.16	0.21	94	0.10	0.63	1.27	2.25	
4	LOI #3	191 0.004	836 0.02	0.02	95	0.10	0.06	0.12	0.21	
Total		28,280 0.65	57,319 1.32	1.97	-	-	5.44	11.50	20.78	

**ROBERT FULTON RIVER TO NB SNOWDEN RIVER PKWY RAMP**  
MINOR ARTERIAL



CALL 48 HOURS BEFORE YOU DIG  
IT'S THE LAW! DIAL 811  
Know what's below. Call before you dig.





**PROPOSED DRAINAGE AREA LEGEND**

PROPERTY LINE

ADJACENT PROPERTY LINE

EXISTING MAJOR CONTOUR

EXISTING MINOR CONTOUR

PROPOSED MAJOR CONTOUR

PROPOSED MINOR CONTOUR

LIMITS OF DISTURBANCE

DRAINAGE AREA DIVIDE

EXISTING DRAINAGE EASEMENT

EXISTING STORM DRAIN

PROPOSED STORM DRAIN PIPE

PROPOSED ROOF DRAIN

PROPOSED STORM DRAIN MANHOLE

PROPOSED STORM INLETS

PROPOSED SWM FACILITY

TIME OF CONCENTRATION PATH

POINT OF INVESTIGATION

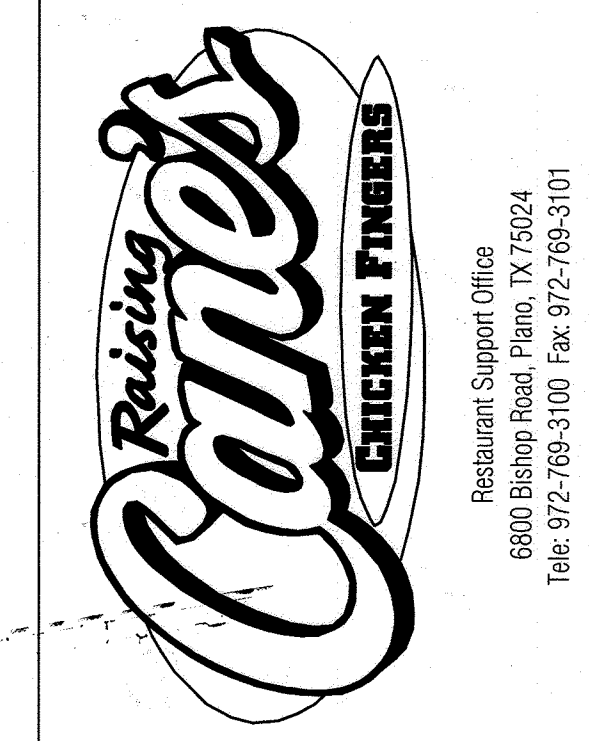
LIMIT OF INVESTIGATION

DRAINAGE AREA

AC: ACRES

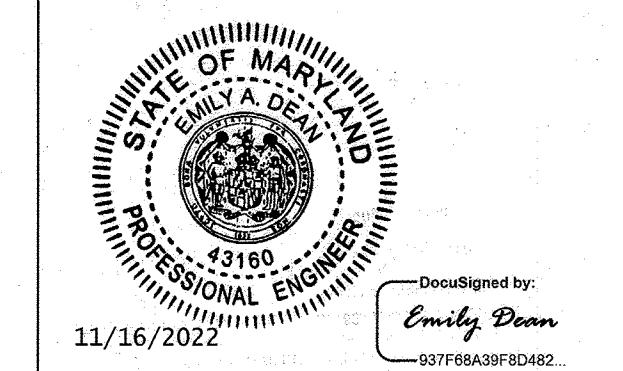
CN: CURVE NUMBER

TC: TIME OF CONCENTRATION (HRS)



Store:  
**9071 SNOWDEN RIVER PARKWAY**  
**COLUMBIA, MD 21046**  
**RESTAURANT #C0838**  
**P4EV-AV SCHEME A**

Professional of Record: EMILY A. DEAN



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9071 SNOWDEN RIVER PKWY  
 COLUMBIA, MARYLAND  
 TAX MAP: 42 PARCEL: 513  
 ZONING: B-2  
 6TH ELECTION DISTRICT  
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OWNER: NATIONAL RETAIL PROPERTIES LP  
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Prototype: P4EV-AV 2020 - 2.0 RELEASE

Prototype Issue Date: 7.14.2020

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**FOR REVIEW**

**Kimley»Horn**

11400 COMMERCE PARK DR., SUITE 400, RESTON, VA 20191  
 PHONE: 703-674-1300 FAX: 703-674-1350  
 WWW.KIMLEY-HORN.COM

REVISIONS:

NO.	DATE	DESCRIPTION
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Sheet Title: **PROPOSED DRAINAGE AREA MAP**

Date: **9/26/2023 11:00:00 AM**

Project Number: 110723018

Drawn By: JAM

Checked By: EAD

Sheet Number: **AS-BUILT**

**ADDRESS CHART**

LOT/PARCEL #	STREET ADDRESS
LOT A 38, PARCEL 513	9071 SNOWDEN RIVER PKWY

**PERMIT INFORMATION CHART**

Subdivision Name	Section/Area	Lot/Parcel No.
GATEWAY COMMERCE CENTER	N/A	513
Plat # of L.P.	Code	Block
10805	0006	48-20
Tax Map No.	Election District	Genus Type
042	8	806707
Water Code	Sewer Code	
E06	49000000	

**POST DEVELOPMENT**

Drainage Area No.	POI/LOI	Pervious Land (sf)	Impervious Land (sf)	Total Area (ac)	Weighted CN	Tc (hrs)	Q1 (cfs)	Q10 (cfs)	Q100 (cfs)
1	POI#1	25,976	49,006	1.721	92	0.10	4.75	10.02	18.15
2	LOI#1	515	31	0.013	81	0.10	0.00	0.09	0.18
3	LOI#2	682	586	0.029	88	0.10	0.07	0.17	0.33
4	LOI#3	170	857	0.024	95	0.10	0.06	0.12	0.21
Total		27,343	50,480	1.16	1.79	-	4.89	10.40	18.85

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Know what's below. Call before you dig.







**B.4.C Specifications for Micro-Bioretentation, Rain Gardens, Landscape Infiltration & Infiltration Berms**

**1. Material Specifications**

The allowable materials to be used in these practices are detailed in Table B.4.1.

**2. Filtering Media or Planting Soil**

The soil shall be a uniform mix, free of stones, stumps, roots or other similar objects larger than two inches. No other materials or substances shall be mixed or dumped within the micro-bioretentation practice that may be harmful to plant growth, or prove a hindrance to the planting or maintenance operations. The planting soil shall be free of Bermuda grass, Quackgrass, Johnson grass, or other noxious weeds as specified under COMAR 15.08.01.05.

The planting soil shall be tested and shall meet the following criteria:

- Soil Component - Loamy Sand or Sandy Loam (USDA Soil Textural Classification)
- Organic Content - Minimum 10% by dry weight (ASTM D 2974). In general, this can be met with a mixture of loamy sand (60%-65%) and compost (35% to 40%) or sandy loam (30%), coarse sand (30%), and compost (40%).
- Clay Content - Media shall have a clay content of less than 5%.
- pH Range - Should be between 5.5 - 7.0. Amendments (e.g., lime, iron sulfate plus sulfur) may be mixed into the soil to increase or decrease pH.

There shall be at least one soil test per project. Each test shall consist of both the standard soil test for pH, and additional tests of organic matter, and soluble salts. A textural analysis is required from the site stockpiled topsoil. If topsoil is imported, then a texture analysis shall be performed for each location where the topsoil was excavated.

**3. Compaction**

It is very important to minimize compaction of both the base of bioretention practices and the required backfill. When possible, use excavation hoes to remove original soil. If practices are excavated using a loader, the contractor should use wide track or marsh track equipment, or light equipment with turf type tires. Use of equipment with narrow tracks or narrow tires, rubber tires with large lugs, or high-pressure tires will cause excessive compaction resulting in reduced infiltration rates and is not acceptable. Compaction will significantly contribute to design failure.

Compaction can be alleviated at the base of the bioretention facility by using a primary tilling operation such as a chisel plow, ripper, or subsoiler. These tilling operations are to refracture the soil profile through the 12 inch compaction zone. Substitute methods must be approved by the engineer. Rototillers typically do not till deep enough to reduce the effects of compaction from heavy equipment.

Rototill 2 to 3 inches of sand into the base of the bioretention facility before backfilling the optional sand layer. Pump any ponded water before preparing (rototilling) base.

When backfilling the topsoil over the sand layer, first place 3 to 4 inches of topsoil over the sand, then rototill the sand/topsoil to create a gradation zone. Backfill the remainder of the topsoil to final grade.

When backfilling the bioretention facility, place soil in lifts 12" to 18". Do not use heavy equipment within the bioretention basin. Heavy equipment can be used around the perimeter of the basin to supply soils and sand. Grade bioretention materials with light equipment such as a compact loader or a dozer/loader with marsh tracks.

**4. Plant Material**

Recommended plant material for micro-bioretentation practices can be found in Appendix A, Section A.2.3.

**5. Plant Installation**

Compost is a better organic material source, is less likely to float, and should be placed in the invert and other low areas. Mulch should be placed in surrounding to a uniform thickness of 2" to 3". Shredded or chipped hardwood mulch is the only accepted mulch. Pine mulch and wood chips will float and move to the perimeter of the bioretention area during a storm event and are not acceptable. Shredded mulch must be well aged (6 to 12 months) for acceptance.

Rootstock of the plant material shall be kept moist during transport and on-site storage. The plant root ball should be planted so 1/8" of the ball is above final grade surface. The diameter of the planting pit shall be at least six inches larger than the diameter of the planting ball. Set and maintain the plant straight during the entire planting process. Thoroughly water ground bed cover after installation.

Trees shall be braced using 2" by 2" stakes only as necessary and for the first growing season only. Stakes are to be equally spaced on the outside of the tree ball.

Grasses and legume seed should be drilled into the soil to a depth of at least one inch. Grass and legume plugs shall be planted following the non-grass ground cover planting specifications.

The topsoil specifications provide enough organic material to adequately supply nutrients from natural cycling. The primary function of the bioretention structure is to improve water quality. Adding fertilizers defeats, or at a minimum, impedes this goal. Only add fertilizer if wood chips or mulch are used to amend the soil. Rototill urea fertilizer at a rate of 2 pounds per 1000 square feet.

**6. Underdrains**

Underdrains should meet the following criteria:

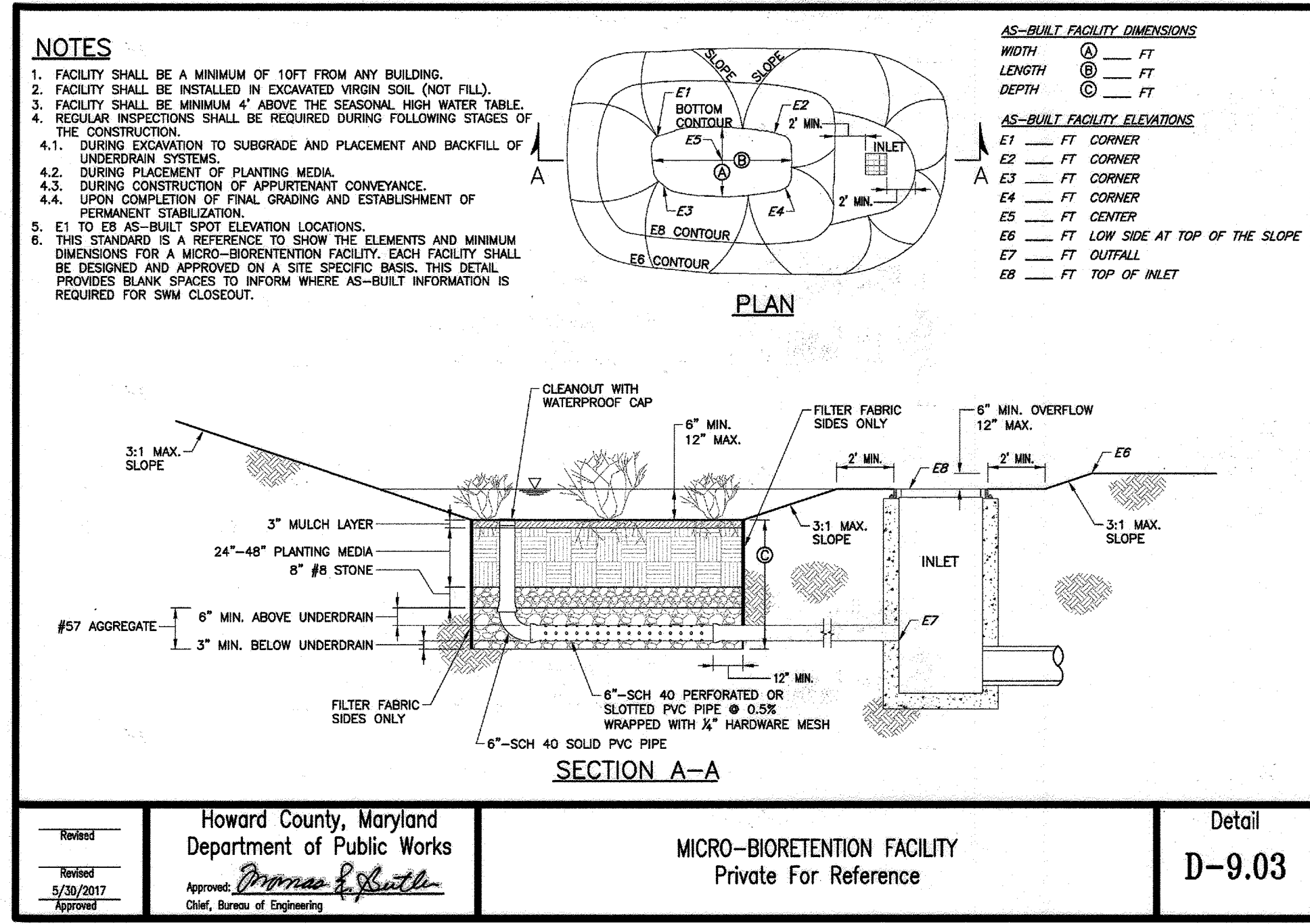
- Pipe - Should be 4" to 6" diameter, slotted or perforated rigid plastic pipe (ASTM F 758, Type PS 28, or AASHTO-M-278) in a gravel layer. The preferred material is slotted, 4" rigid pipe (e.g., PVC or HDPE).
- Perforations - If perforated pipe is used, perforations should be 1/4" diameter located 6" on center with a minimum of four holes per row. Pipe shall be wrapped with a 1/4" (No. 4 or 4x4) galvanized hardware cloth.
- Gravel - The gravel layer (No. 57 stone preferred) shall be at least 3" thick above and below the underdrain.
- The main collector pipe shall be at a minimum 0.5% slope.
- A rigid, non-perforated observation well must be provided (one per every 1,000 square feet) to provide a clean-out port and monitor performance of the filter.
- A 4" layer of pea gravel (1/4" to 3/8" stone) shall be located between the filter media and underdrain to prevent migration of fines into the underdrain. This layer may be considered part of the filter bed when bed thickness exceeds 24".

The main collector pipe for underdrain systems shall be constructed at a minimum slope of 0.5%. Observation wells and/or clean-out pipes must be provided (one minimum per every 1000 square feet of surface area).

**7. Miscellaneous**

These practices may not be constructed until all contributing drainage area has been stabilized.

Material	Specification	Size	Notes
Plantings	see Appendix A, Table A.4	n/a	plantings are site-specific
Planting soil [2' to 4' deep]	loamy sand (60 - 65%) & compost (35 - 40%) or sandy loam (30%), coarse sand (30%) & compost (40%)	n/a	USDA soil types loamy sand or sandy loam; clay content < 5%
Organic content	Min. 10% by dry weight (ASTM D 2974)		
Mulch	shredded hardwood		aged 6 months, minimum; no pine or wood chips
Pea gravel diaphragm	pea gravel: ASTM-D-448	NO. 8 OR NO. 9 (1/8" TO 3/8")	
Curtain drain	ornamental stone: washed cobbles	stone: 2" to 5"	
Geotextile		n/a	PE Type 1 nonwoven
Gravel (underdrains and infiltration berms)	AASHTO M-43	NO. 57 OR NO. 6 AGGREGATE (3/8" to 3/4")	
Underdrain piping	F 758, Type PS 28 or AASHTO M-278	4" to 6" rigid schedule 40 PVC or SDR35	Slotted or perforated pipe; 3/8" perf. @ 6" on center, 4 holes per row; minimum of 3" of gravel over pipes; not necessary underneath pipes. Perforated pipe shall be wrapped with 1/4-inch galvanized hardware cloth
Poured in place concrete (if required)	MSHA Mix No. 3; $f_c = 3500$ psi @ 28 days, normal weight, air-entrained; reinforcing to meet ASTM-615-60	n/a	on-site testing of poured-in-place concrete required: 28 day strength and slump test; all concrete design (cast-in-place or pre-cast) not using previously approved State or local standards requires design drawings sealed and approved by a professional structural engineer licensed in the State of Maryland - design to include meeting ACI Code 350 R/89; vertical loading [H-10 or H-20]; allowable horizontal loading (based on soil pressures); and analysis of potential cracking
Sand	AASHTO-M-6 or ASTM-C-33	0.02" to 0.04"	Sand substitutions such as Diabase and Graystone (AASHTO) #10 are not acceptable. No calcium carbonated or dolomitic sand substitutions are acceptable. No "rock dust" can be used for sand.

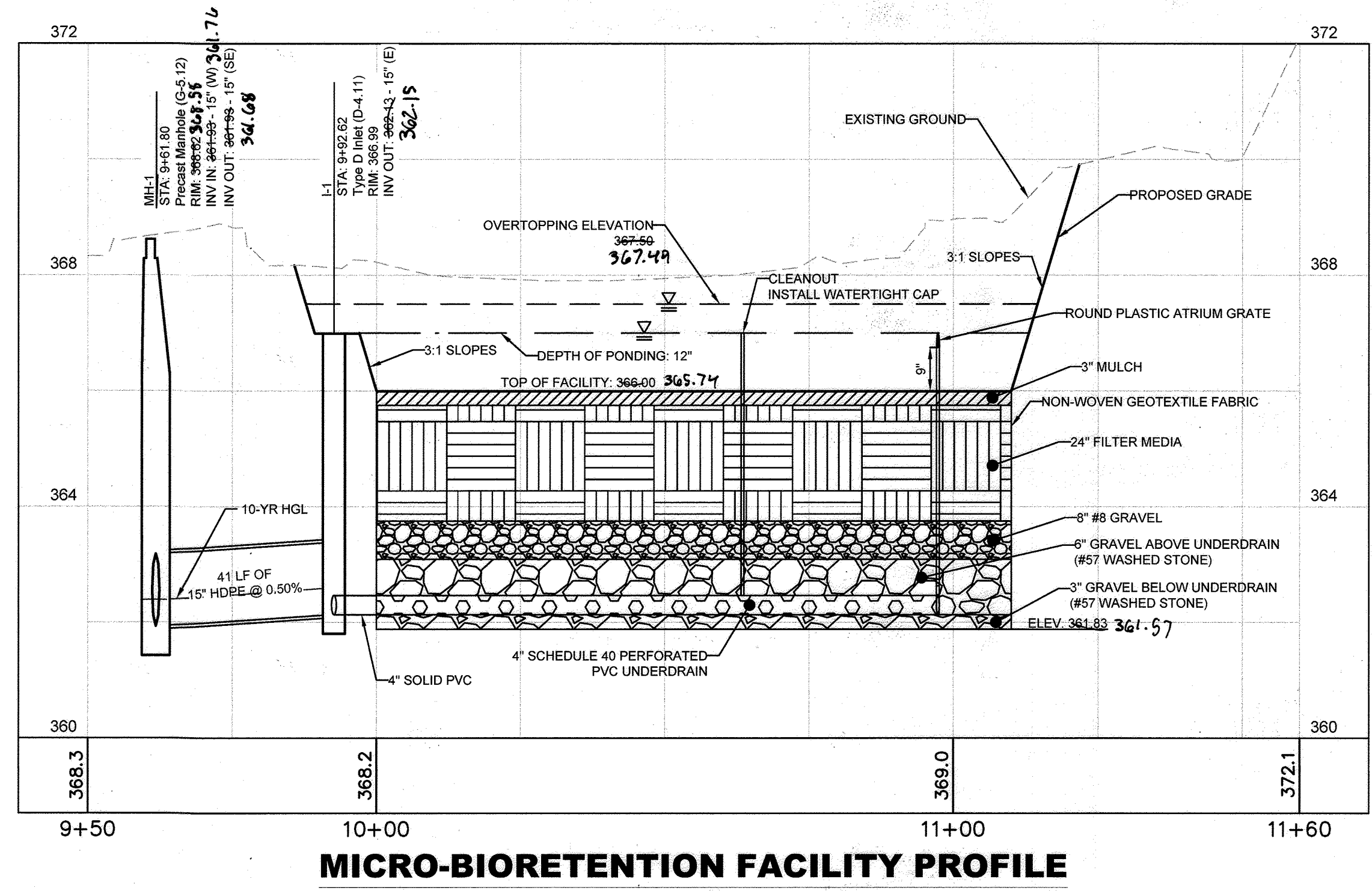


Howard County, Maryland  
 Department of Public Works

Approved: *Thomas R. Smith*  
 Chief, Bureau of Engineering

MICRO-BIORETENTION FACILITY  
 Private For Reference

Detail  
 D-9.03



NOTE: WRAP THE PERFORATED UNDERDRAIN PIPE WITH 1/4" WIRE MESH OR GALVANIZED HARDWARE CLOTH.

ESD ID	ESD Type	Mulch Top Elev (ft)	Filter Top Elev (ft)	Filter Bed Depth (ft)	Top of Pea Gravel (ft)	Depth of #8 Gravel (in)	Top of Gravel Elev (ft)	Underdrain in Size (in)	Inv Elev of Underdrain (ft)	Depth of Gravel (in)	Bottom of Facility (ft)	Depth of Ponding (in)	Grate Elevation (ft)	Overtopping Elev (ft)
MBR-1	Micro-Bio	366.00	365.25	2	363.75	8	362.75	6	362.15	15	361.57	12	367.06	367.50

APPROVED: DEPARTMENT OF PLANNING AND ZONING  
 12/19/2022

Chief, Development Engineering Division  
 Date: 12/19/2022

Chief, Division of Land Development  
 Date: 12/20/2022

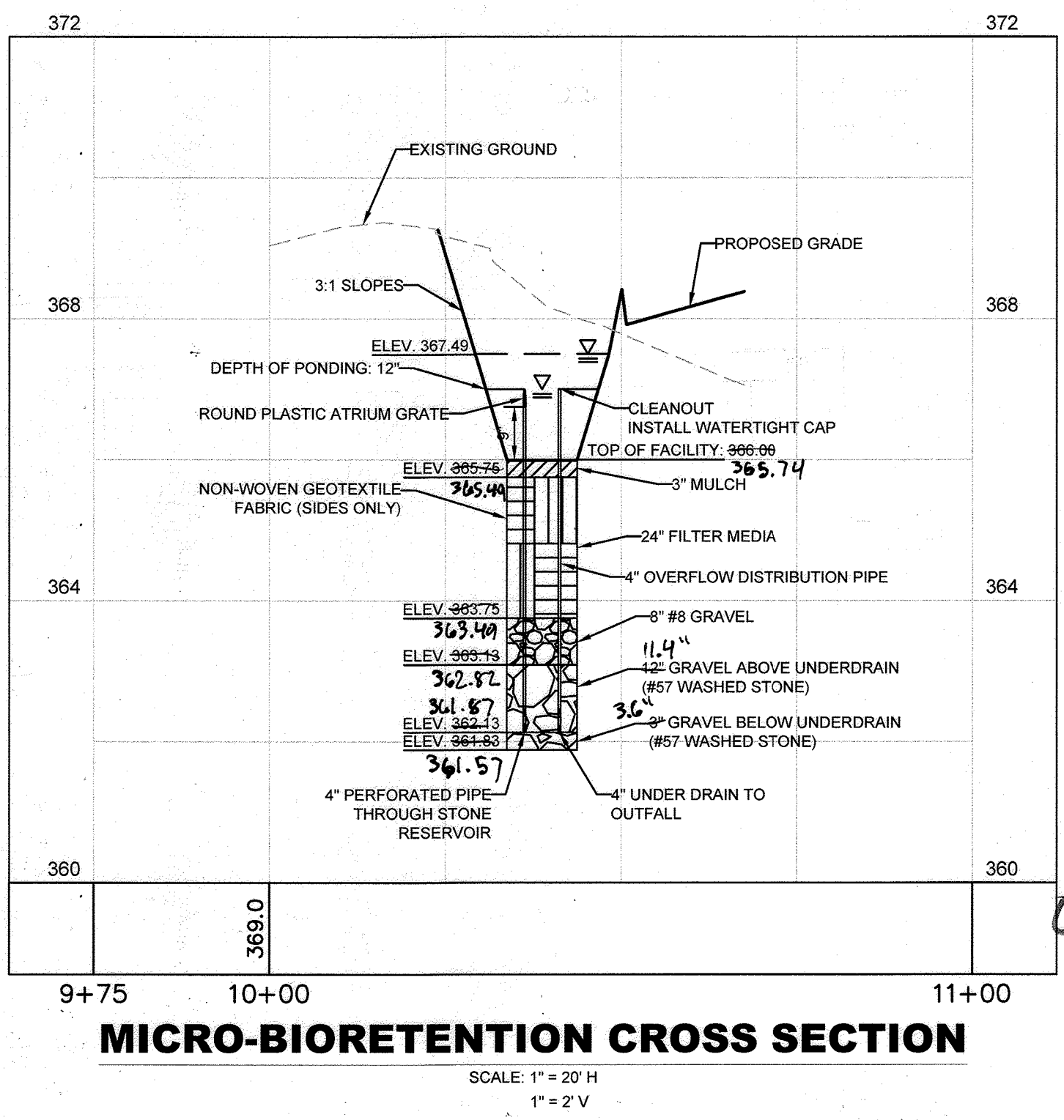
Planning Director  
 Date:

LOT/PARCEL #	STREET ADDRESS
LOT 4 38, PARCEL 513	9071 SNOWDEN RIVER PKWY

Subdivision Name	Section/Area	Lot/Parcel No.
GATEWAY COMMERCE CENTER	N/A	513
Part # of L.P.	10805	0006
Gen. Map No.	28-29	042
Water Code	E06	Sewer Code 49000000

**OPERATION AND MAINTENANCE SCHEDULE FOR LANDSCAPE INFILTRATION (M-3) MICRO-BIORETENTION (M-6), RAIN GARDENS (M-7), BIORETENTION SWALE (M-8), ENHANCED FILTERS (M-9)]**

- The Owner shall maintain the plant material, mulch layer and soil layer annually. Maintenance of mulch and soil is limited to correcting areas of erosion or wash out. Any mulch replacement shall be done in the spring. Plant material shall be checked for disease and insect infestation and maintenance will address dead material and pruning. Acceptable replacement plant material is limited to the following: 2000 Maryland Stormwater Design Manual Volume II, Table A.4.1 and 2.
- The Owner shall perform a plant in the spring and in the fall of each year. During the inspection, the Owner shall remove dead and diseased vegetation considered beyond treatment, replace dead plant material with acceptable replacement plant material, treat diseased trees and shrubs, and replace all deficient stakes and wires.
- The Owner shall inspect the mulch each spring. The mulch shall be replaced every two to three years. The previous mulch layer shall be removed before the new layer is applied.
- The Owner shall correct soil erosion on an as needed basis, with a minimum of once per month and after each heavy storm.



AS-BUILT CERTIFICATION

I hereby certify, by my seal, that to the best of my knowledge and belief the facilities shown on this plan were constructed as shown on this AS-BUILT plan meet the Approved Plans and Specifications.

NAME: *Emily Dean* DATE: *11/15/23*  
 LICENSE NO. *43160* DATE OF AS-BUILT: *1/15/23*

GRAPHIC SCALE IN FEET  
 HORIZONTAL: 0 10 20 40  
 VERTICAL: 0 1 2 4

CALL 48 HOURS BEFORE YOU DIG

811

IT'S THE LAW! DIAL 811

Know what's below. Call before you dig.

Raising Cane's CHICKEN FRIERS

Restaurant Support Office  
 6800 Bishop Road, Plano, TX 75024  
 Tel: 972-769-3100 Fax: 972-769-3101

Store:  
**9071 SNOWDEN RIVER PARKWAY**  
**COLUMBIA, MD 21046**  
**RESTAURANT #C0838**  
**P4EV-AV SCHEME A**

Professional of Record: EMILY A. DEAN

STATE OF MARYLAND  
 PROFESSIONAL ENGINEER  
 43160  
 EXPIRATION DATE: 12/31/2022

11/16/2022

PROFESSIONAL CERTIFICATION: I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.  
 LICENSE NO. 43160  
 EXPIRATION DATE: 12/31/2022

9071 SNOWDEN RIVER PKWY  
 COLUMBIA, MARYLAND  
 TAX MAP: 42 PARCEL: 513  
 ZONING: B-2  
 6TH ELECTION DISTRICT  
 2ND COUNCIL DISTRICT  
 WATER & SEWER CONTRACT #: 24-3185

OWNER: NATIONAL RETAIL PROPERTIES LP  
 450 S ORANGE AVE, SUITE 900  
 ORLANDO, FL 32801

DEVELOPER: RAISING CANE'S RESTAURANTS, LLC  
 ATTN: FELICIA BIVENS  
 6800 BISHOP ROAD, PLANO, TX 75024  
 931-993-5258

ENGINEER: KIMLEY-HORN AND ASSOCIATES, INC.  
 ATTN: EMILY DEAN  
 215 WASHINGTON AVE, SUITE 500  
 TOWSON, MD 21284  
 443-884-5085

FOR REVIEW

Prototype: P4EV-AV 2020 - 2.0 RELEASE

Prototype Issue Date: 7.14.2020

Design Bulletin Updates: --

Date Issued: -- Bulletin Number: --

**Kimley Horn**

11400 COMMERCE PARK DR., SUITE 400, RESTON, VA 20191  
 PHONE: 703-674-1300 FAX: 703-674-1350  
 WWW.KIMLEY-HORN.COM

REVISIONS:

NO.	DESCRIPTION	DATE
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Sheet Title: **SWM DETAILS**

Date: **9/16/2023 11:09:2022**

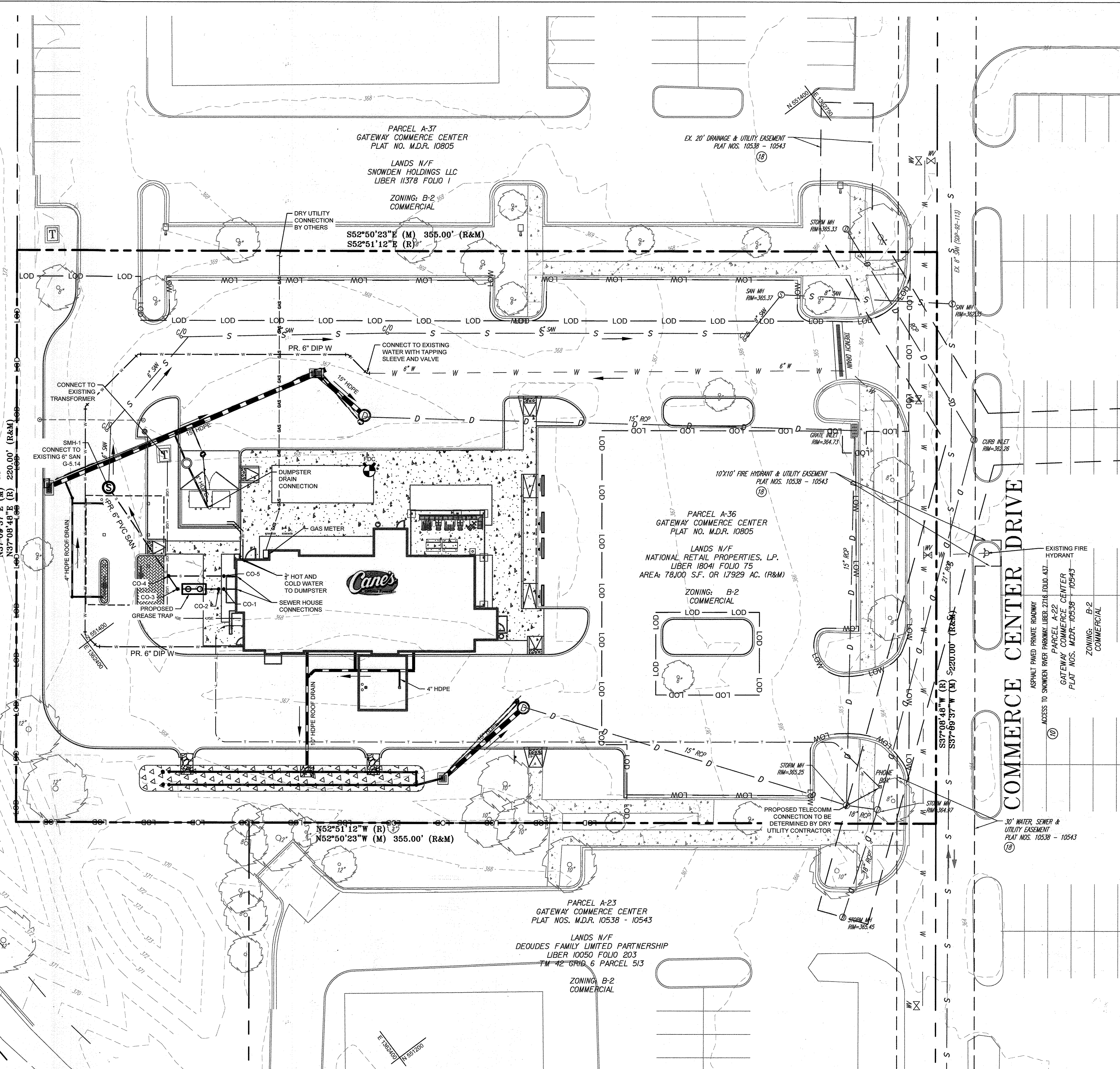
Project Number: 110723018

Drawn By: JAM

Checked By: EAD

Sheet Number: AS-BUILT



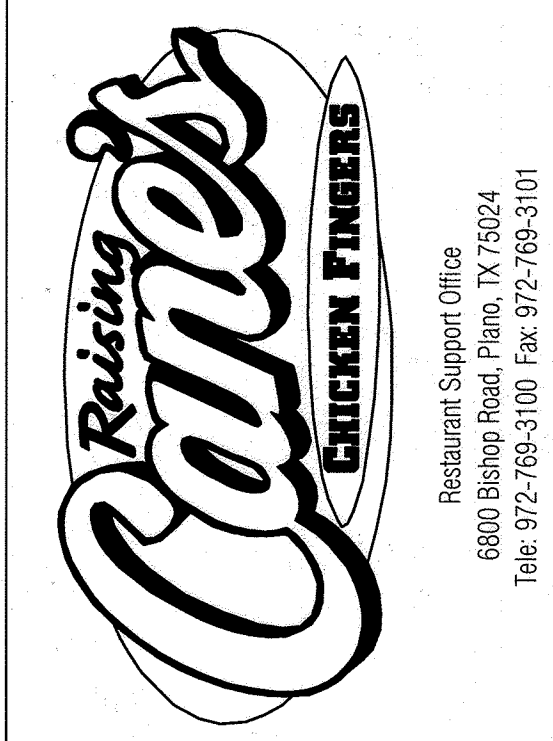


**UTILITY LEGEND**

- PROPERTY LINE
- ADJACENT PROPERTY LINE
- LIMITS OF DISTURBANCE
- EXISTING DRAINAGE EASEMENT
- EXISTING UTILITY EASEMENT
- EXISTING WATER
- EXISTING WATER VALVE
- EXISTING FIRE HYDRANT
- EXISTING SEWER
- EXISTING SEWER CLEANOUT
- EXISTING SEWER MANHOLE
- EXISTING STORM DRAIN
- EXISTING STORM MANHOLE
- EXISTING STORM INLET
- EXISTING TRANSFORMER
- EXISTING LIGHT POLE
- PROPOSED WATER
- PROPOSED FIRE DEPT. CONNECTION
- PROPOSED WATER METER
- PROPOSED SEWER
- PROPOSED GREASE TRAP  
REFER TO MEP FOR GREASE TRAP INFO
- PROPOSED SEWER CLEANOUT
- PROPOSED SEWER MANHOLE
- PROPOSED STORM DRAIN
- PROPOSED STORM INLETS
- PROPOSED STORM MANHOLE
- PROPOSED UNDERGROUND ELECTRIC  
FOR REFERENCE ONLY, REFER TO E4 PL.

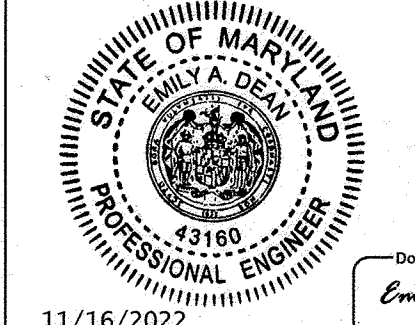
- GENERAL NOTES:**
- APPROXIMATE LOCATIONS OF EXISTING MAINS ARE SHOWN. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PROTECT EXISTING MAINS AND SERVICES AND MAINTAINS UNINTERRUPTED SERVICE. ANY DAMAGE INCURRED SHALL BE REPAIRED IMMEDIATELY TO THE SATISFACTION OF THE ENGINEER AT THE CONTRACTOR'S EXPENSE.
  - TOPOGRAPHIC FIELD SURVEYS WERE PERFORMED ON OCTOBER 14TH, 2021 BY GRS GROUP, LLC.
  - THE COORDINATES SHOWN ON THE DRAWINGS ARE BASED ON MARYLAND STATE REFERENCE SYSTEM NAD 83/91 AS PROJECTED BY HOWARD COUNTY GEODETIC CONTROL STATIONS 42CMT1 AND 42CMT2. ALL VERTICAL CONTROLS ARE BASED ON NAVD 83.
  - ALL PIPE ELEVATIONS SHOWN ARE INVERT ELEVATIONS UNLESS OTHERWISE NOTED ON THE PLANS.
  - CLEAR ALL UTILITIES BY A MINIMUM OF 12 INCHES. CLEAR ALL POLES BY 5'-0" MINIMUM OR TUNNEL AS REQUIRED UNLESS OTHERWISE NOTED. THE OWNER HAS CONTACTED THE UTILITY COMPANIES AND HAS MADE ARRANGEMENTS FOR BRACING OF POLES AS SHOWN ON THE DRAWINGS. IN THE EVENT THE CONTRACTOR'S WORK REQUIRES THE BRACING OF ADDITIONAL POLES, ANY COST INCURRED BY THE OWNER FOR THE BRACING OF ADDITIONAL POLES OR DAMAGES SHALL BE DEDUCTED FROM MONIES OWED THE CONTRACTOR. THE CONTRACTOR SHALL COORDINATE WITH THE UTILITY COMPANIES TO SCHEDULE THE BRACING OF THE POLES.
  - FOR DETAILS NOT SHOWN ON THE DRAWING, AND FOR MATERIALS AND CONSTRUCTION METHODS, USE HOWARD COUNTY DESIGN MANUAL, VOLUME IV, STANDARD SPECIFICATIONS AND DETAILS FOR CONSTRUCTION (LATEST EDITION). THE CONTRACTOR SHALL HAVE A COPY OF VOLUME IV ON THE JOB.
  - THE CONTRACTOR SHALL NOTIFY THE FOLLOWING UTILITY COMPANIES OR AGENCIES AT LEAST FIVE WORKING DAYS BEFORE STARTING WORK SHOWN ON THESE PLANS:
 

7.1. AT&T	800-252-1133
7.2. BGE (CONTRACTOR SERVICES)	410-637-8713
7.3. BGE (EMERGENCY)	410-685-0123
7.4. BUREAU OF UTILITIES	410-313-4900
7.5. COLONIAL PIPELINE CO	410-795-1390
7.6. MGS UTILITY	800-257-7777
7.7. STATE HIGHWAY ADMINISTRATION	410-531-5533
7.8. VERIZON	800-743-0033
  - TREES AND SHRUBS ARE TO BE PROTECTED FROM DAMAGE TO THE MAXIMUM EXTENT. TREES AND SHRUBS LOCATED WITHIN THE CONSTRUCTION STRIP ARE NOT TO BE REMOVED OR DAMAGED BY THE CONTRACTOR.
  - THE CONTRACTOR SHALL REMOVE TREES, STUMPS AND ROOTS ALONG THE LINE OF EXCAVATION. PAYMENT FOR SUCH REMOVAL SHALL BE INCLUDED IN THE UNIT PRICE BID FOR CONSTRUCTION OF THE MAIN.
  - ALL WATER MAINS SHALL BE D.I.P. CLASS 54 UNLESS OTHERWISE NOTED.
  - TOPS OF ALL WATER MAINS SHALL HAVE A MINIMUM OF 3.5' OF COVER UNLESS OTHERWISE NOTED.
  - VALVES ADJACENT TO TREES SHALL BE STRAPPED TO TREES.
  - ALL FITTINGS SHALL BE BUTTRESSED OR ANCHORED WITH CONCRETE IN ACCORDANCE WITH STANDARD DETAILS UNLESS OTHERWISE PROVIDED FOR ON THE DRAWINGS.



Store:  
**9071 SNOWDEN RIVER PARKWAY**  
**COLUMBIA, MD 21046**  
**RESTAURANT #C0838**  
**P4EV-AV SCHEME A**

Professional of Record: EMILY A. DEAN



11/16/2022  
 PROFESSIONAL CERTIFICATION I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.  
 LICENSE NO. 43160  
 EXPIRATION DATE 12/31/2022

9071 SNOWDEN RIVER PKWY  
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 2ND COUNCIL DISTRICT  
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Prototype: P4EV-AV 2020 - 2.0 RELEASE  
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**FOR REVIEW**

**Kimley»Horn**  
 11400 COMMERCE PARK DR., SUITE 400, RESTON, VA 20191  
 PHONE: 703-674-1300 FAX: 703-674-1350  
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REVISIONS:

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Sheet Title:  
**UTILITY PLAN**  
 Date: **9/24/2023 11:09:2022**  
 Project Number: 110723018  
 Drawn By: JAM  
 Checked By: EAD  
 Sheet Number: **AS-BUILT**

**APPROVED: DEPARTMENT OF PLANNING AND ZONING**

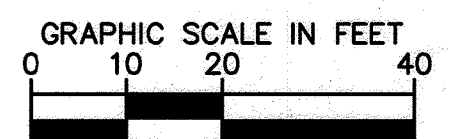
Chief, Development Engineering Division	Date: 12/19/2022
Chief, Division of Land Development	Date: 12/20/2022
Planning Director	Date:

**ADDRESS CHART**

LOT/PARCEL #	STREET ADDRESS
LOT A 36, PARCEL 513	9071 SNOWDEN RIVER PKWY

**PERMIT INFORMATION CHART**

Subdivision Name: GATEWAY COMMERCE CENTER	Section/Area: N/A	Lot/Parcel No.: 513
Plat # of City: 10805	0006	28-29
Water Code: E08	Sewer Code: 49000000	Tax Map No.: 042
		Election District: 806/707



**UTILITY PLAN**  
 SCALE: 1" = 20'



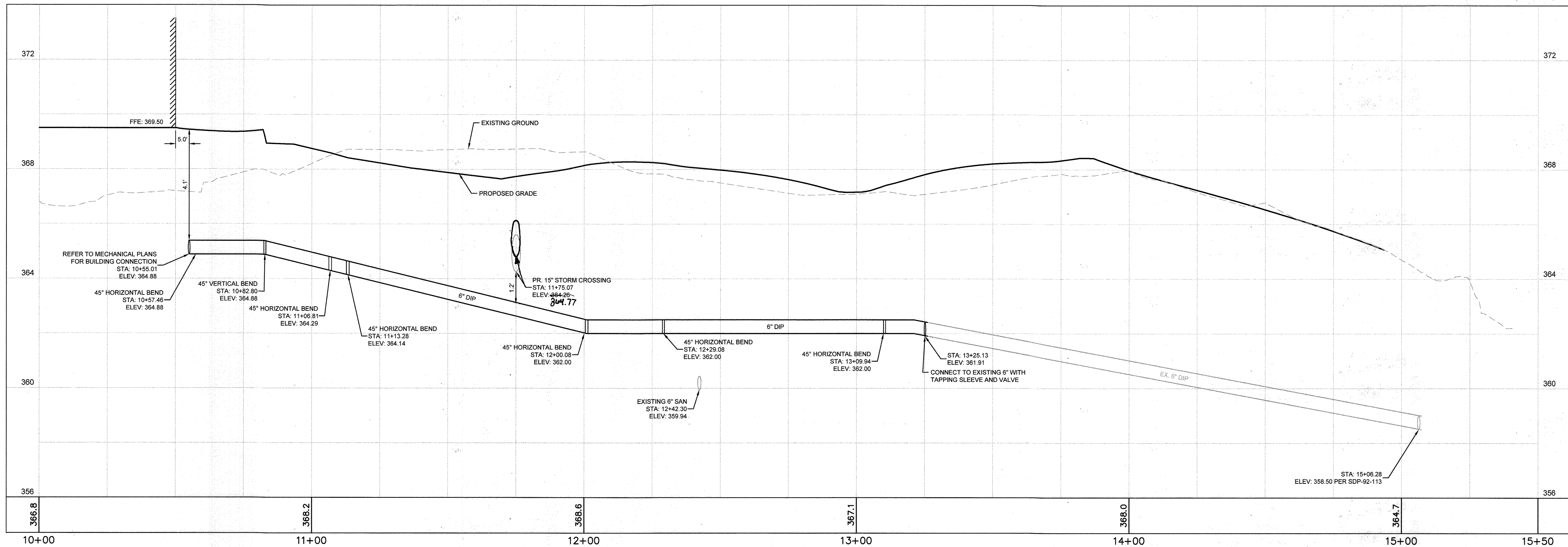
**AS-BUILT CERTIFICATION**  
 I hereby certify, by my seal, that to the best of my knowledge and belief the facilities shown on this plan were constructed as shown on this "AS-BUILT" plan meet the approved plans and specifications.  
 NAME: **Emily Dean** DATE: **11/15/23**  
 LICENSE NO. **43160** DATE OF AS-BUILT: **9/24/23**

- GENERAL NOTES CONTINUED:**
- THE CONTRACTOR SHALL NOT OPERATE ANY WATER MAIN VALVES ON THE EXISTING WATER SYSTEM.
  - THE WATER METER IS OUTSIDE THE BUILDING AND IS PUBLIC.
  - ALL SEWER MAINS SHALL BE D.I.P. OR P.V.C. UNLESS OTHERWISE NOTED.
  - ALL MANHOLES SHALL BE 4' INSIDE DIAMETER UNLESS OTHERWISE NOTED.
  - MANHOLES DESIGNATED W.T. IN PLAN AND PROFILE SHALL HAVE WATERTIGHT FRAME AND COVER. STANDARD DETAIL G5.52. WHERE WATERTIGHT MANHOLE FRAMES AND COVERS ARE USED, SET TOP OF FRAME 1.5' ABOVE FINISHED GRADE UNLESS OTHERWISE NOTED ON THE DRAWINGS.

**ROBERT FULTON RIVER PKWY RAMP**  
 MINOR ARTERIAL

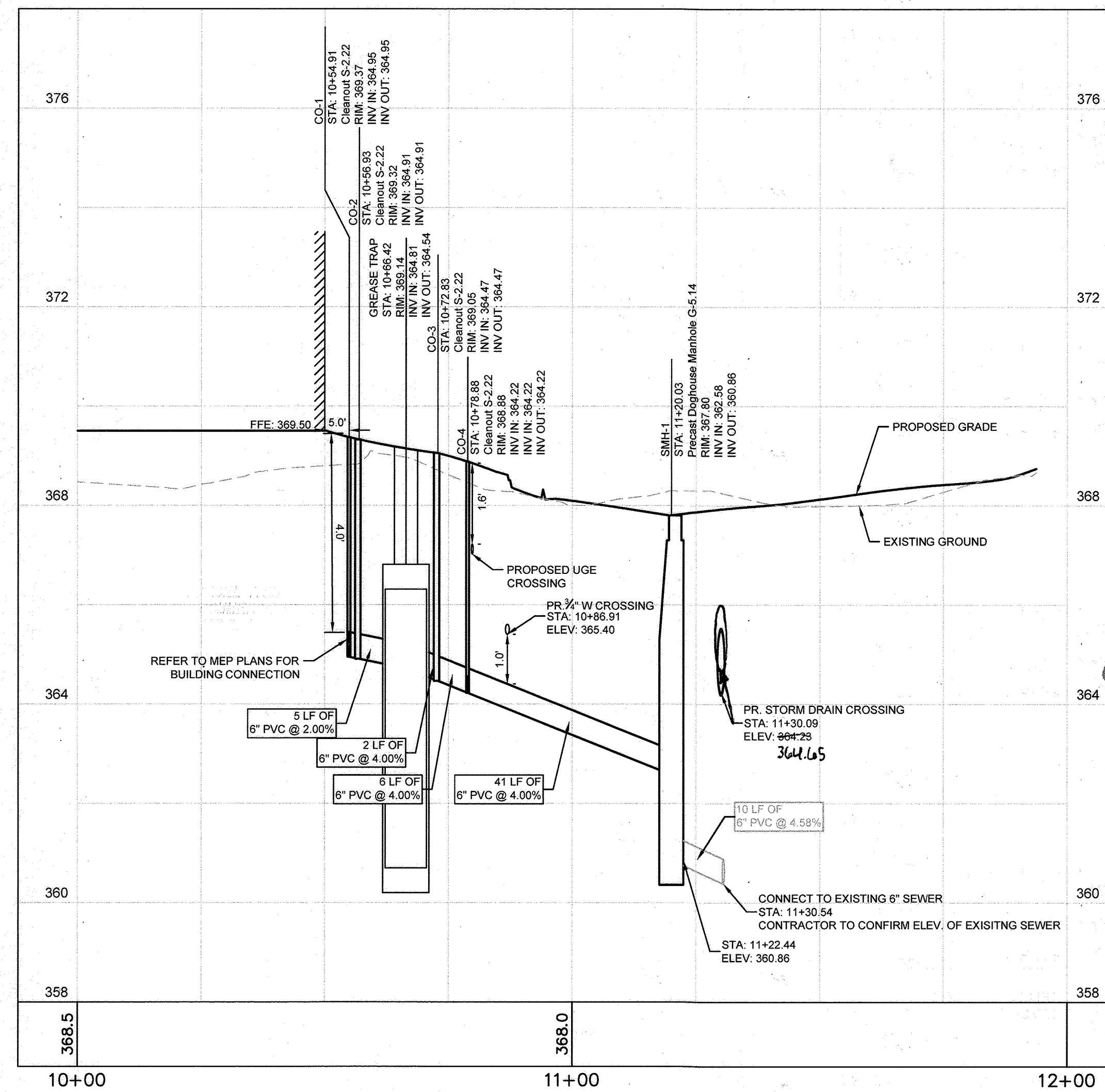
CALL 48 HOURS BEFORE YOU DIG  
**811**  
 IT'S THE LAW! Dial 811  
 Know what's below. Call before you dig.





**6-INCH WATER PROFILE**

SCALE: 1" = 20' H  
1" = 2' V

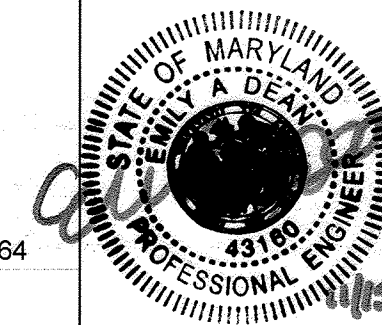
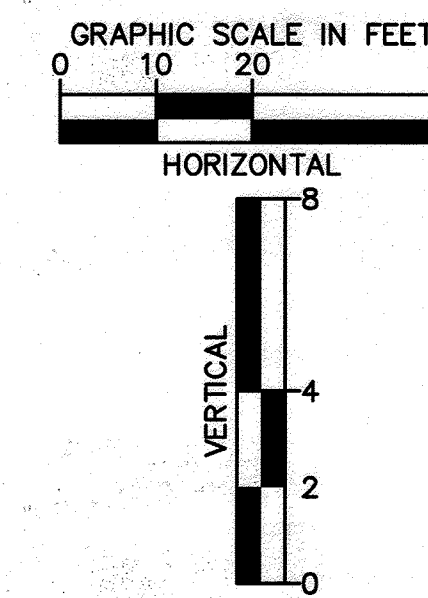


**6-INCH SEWER PROFILE**

SCALE: 1" = 20' H  
1" = 2' V

SANITARY STRUCTURE TABLE			
STRUCTURE NAME:	DETAILS:	PIPES IN:	PIPES OUT:
CO-1	CLEANOUT S-2.22 RIM: 369.37 INV IN: 364.95 INV OUT: 364.95	FROM BUILDING, 6" PVC INV IN: 364.95 @ 2.00%	TO CO-2, 6" PVC INV OUT: 364.95 @ 2.00%
CO-2	CLEANOUT S-2.22 RIM: 369.32 INV IN: 364.91 INV OUT: 364.91	FROM CO-1, 6" PVC INV IN: 364.91 @ 2.00%	TO GREASE TRAP (IN), 6" PVC INV OUT: 364.91 @ 2.00%
CO-3	CLEANOUT S-2.22 RIM: 369.05 INV IN: 364.47 INV OUT: 364.47	FROM GREASE TRAP (OUT), 6" PVC INV IN: 364.47 @ 4.00%	TO CO-4, 6" PVC INV OUT: 364.47 @ 4.00%
CO-4	CLEANOUT S-2.22 RIM: 368.88 INV IN: 364.22 INV OUT: 364.22	FROM CO-3, 6" PVC INV IN: 364.22 @ 4.00% FROM CO-5, 4" PVC INV IN: 364.22 @ 2.00%	TO SMH-1, 6" PVC INV OUT: 364.22 @ 4.00%
SMH-1	PRECAST DOGHOUSE MANHOLE G-5.14 RIM: 367.80 INV IN: 362.58 INV OUT: 360.86	FROM CO-4, 6" PVC INV IN: 362.58 @ 4.00%	TO EX. PVC, 6" PVC INV OUT: 360.86 @ 4.58%

NOTE:  
1. ALL PIPES AND STRUCTURES SHOWN ON BOTH THE 6-INCH WATER AND 6-INCH SEWER PROFILES ARE PRIVATE UTILITIES.



**AS-BUILT CERTIFICATION**

I hereby certify, by my seal, that to the best of my knowledge and belief the facilities shown on this plan were constructed as shown on this "AS-BUILT" plan meet the approved plans and specifications.  
NAME: Emily A. Dean DATE: 11/15/23  
LICENSE NO.: 43160 DATE OF AS-BUILT: 9/22/23

APPROVED: DEPARTMENT OF PLANNING AND ZONING	
Chief, Development Engineering Division	Date: 12/19/2022
Chief, Division of Land Development	Date: 12/20/2022
Planning Director	Date:

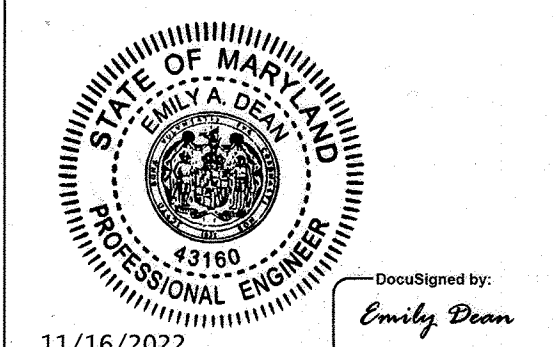
ADDRESS CHART	
LOT/PARCEL #	STREET ADDRESS
LOT A 38, PARCEL 513	9071 SNOWDEN RIVER PKWY

PERMIT INFORMATION CHART			
Subdivision Name: GATEWAY COMMERCE CENTER	Section/Area: N/A	Lot/Parcel No.: 513	
Plot # of 1/4: 10805	Grid: 0056	Tax Map No.: 48-28	Elect District: 8
Water Code: E06	Sewer Code: 49000000	Census Code: 806707	



Store:  
**9071 SNOWDEN RIVER PARKWAY**  
**COLUMBIA, MD 21046**  
**RESTAURANT #C0838**  
**P4EV-AV SCHEME A**

Professional of Record: EMILY A. DEAN



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EXPIRATION DATE: 11/16/2022

9071 SNOWDEN RIVER PKWY  
COLUMBIA, MARYLAND  
TAX MAP: 42 PARCEL: 513  
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WATER & SEWER CONTRACT #: 24-3185  
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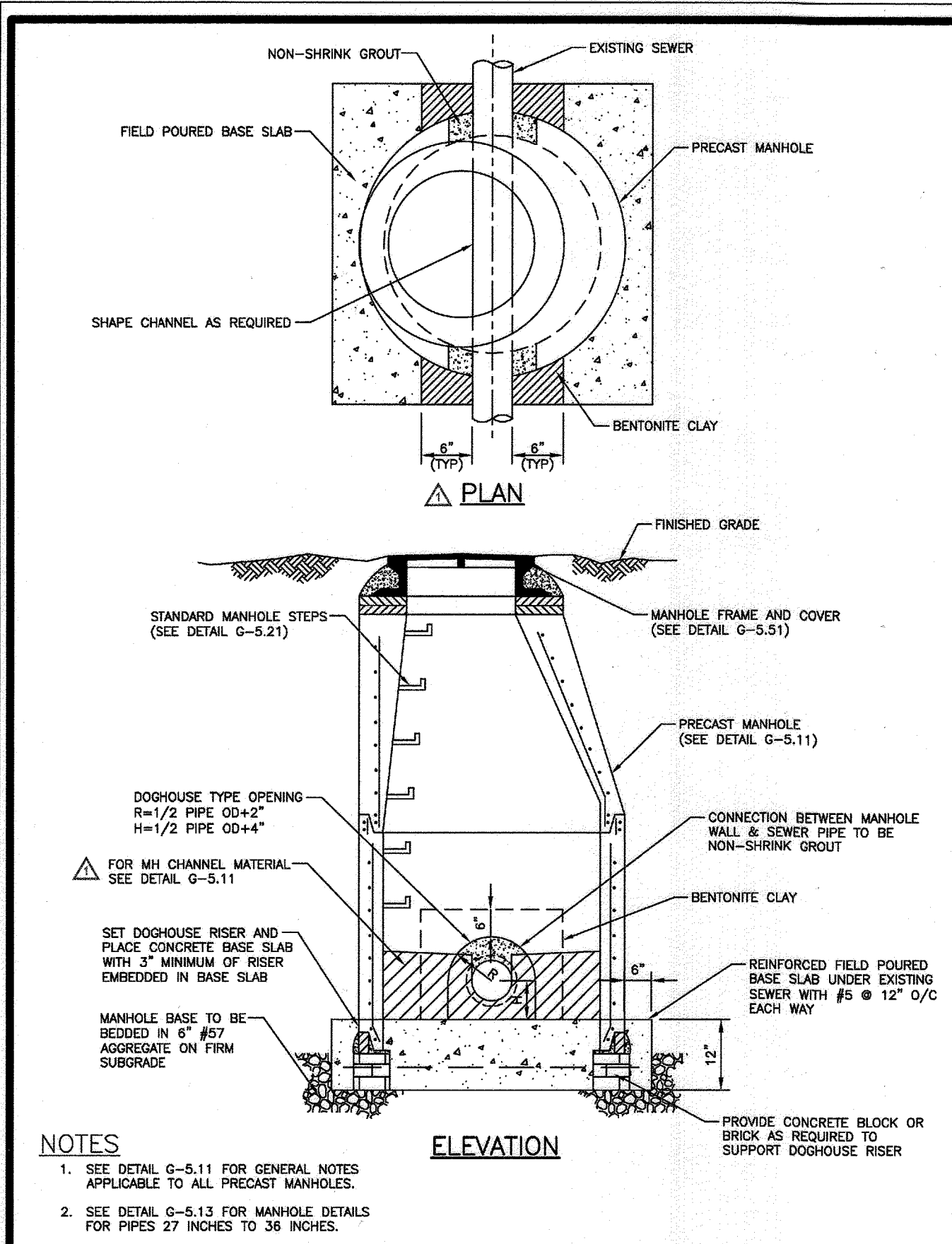
**FOR REVIEW**



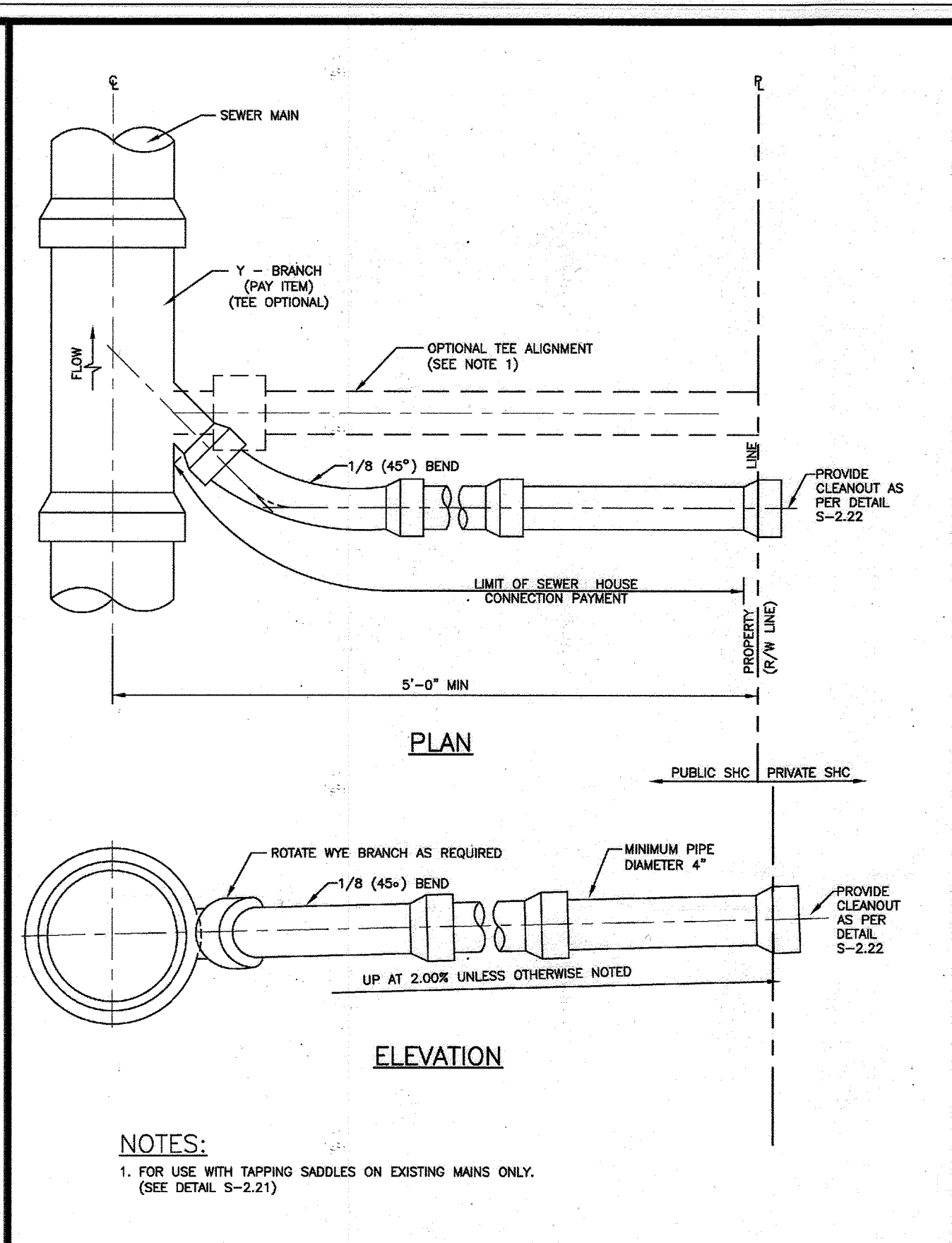
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Sheet Title:  
**UTILITY PROFILES**  
Date: 9/20/23 11/09/2022  
Project Number: 110723018  
Drawn By: JAM  
Checked By: EAD  
Sheet Number: **AS-BUILT**

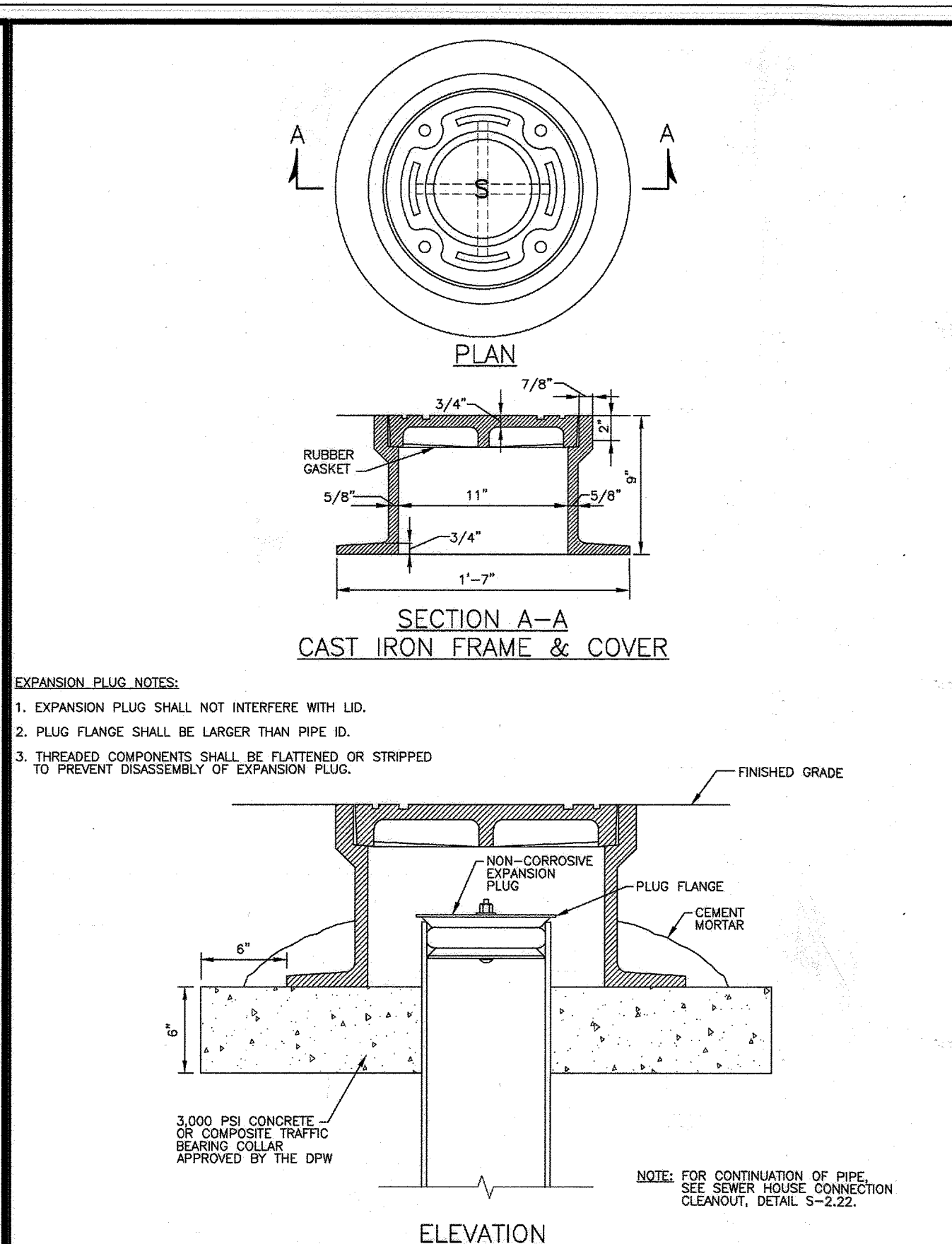




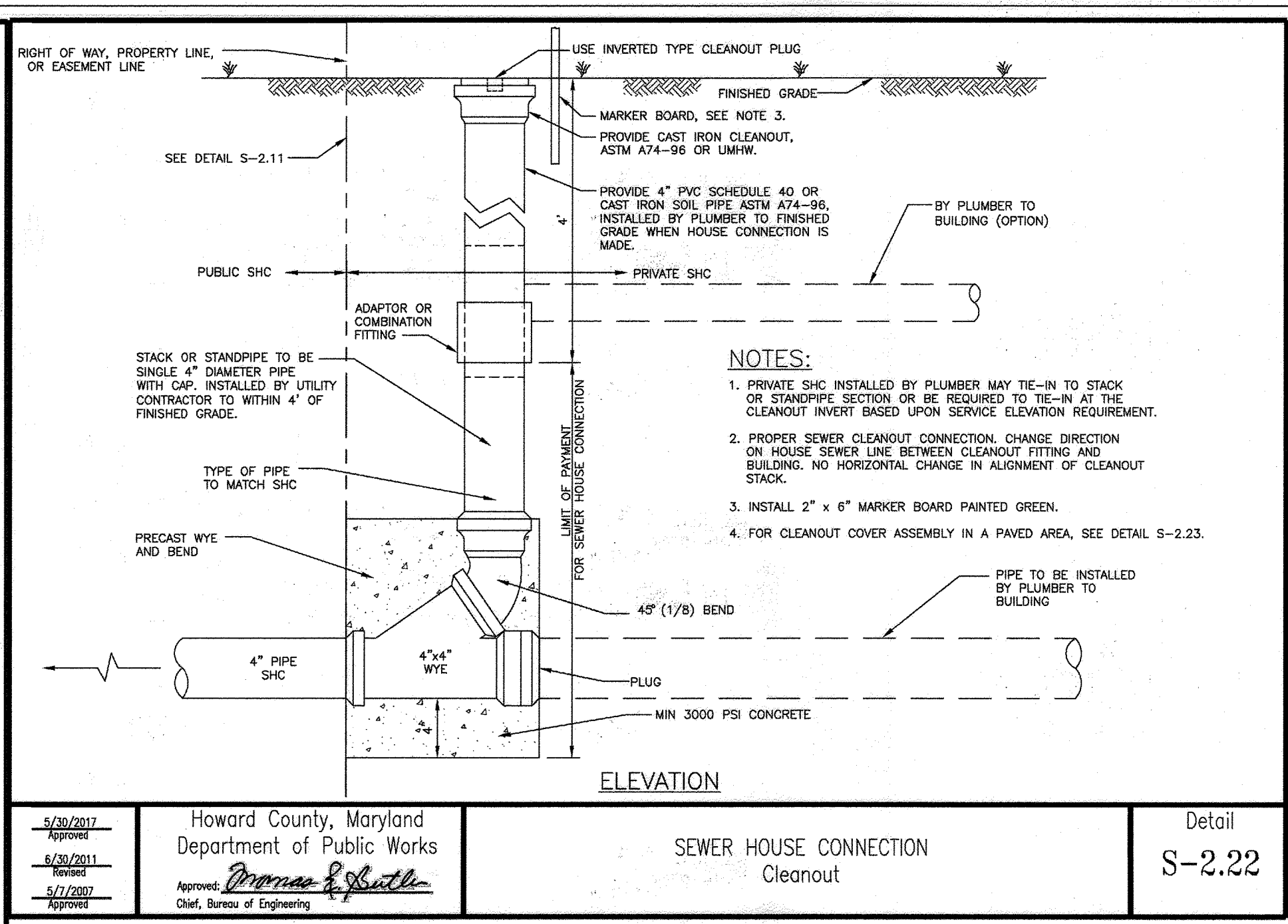
5/20/2017 5/20/2017 5/17/2007 Approved Chief, Bureau of Engineering	Howard County, Maryland Department of Public Works	PRECAST MANHOLE Doghouse Over Existing Sewer 24" Pipe and Smaller	Detail G-5.14
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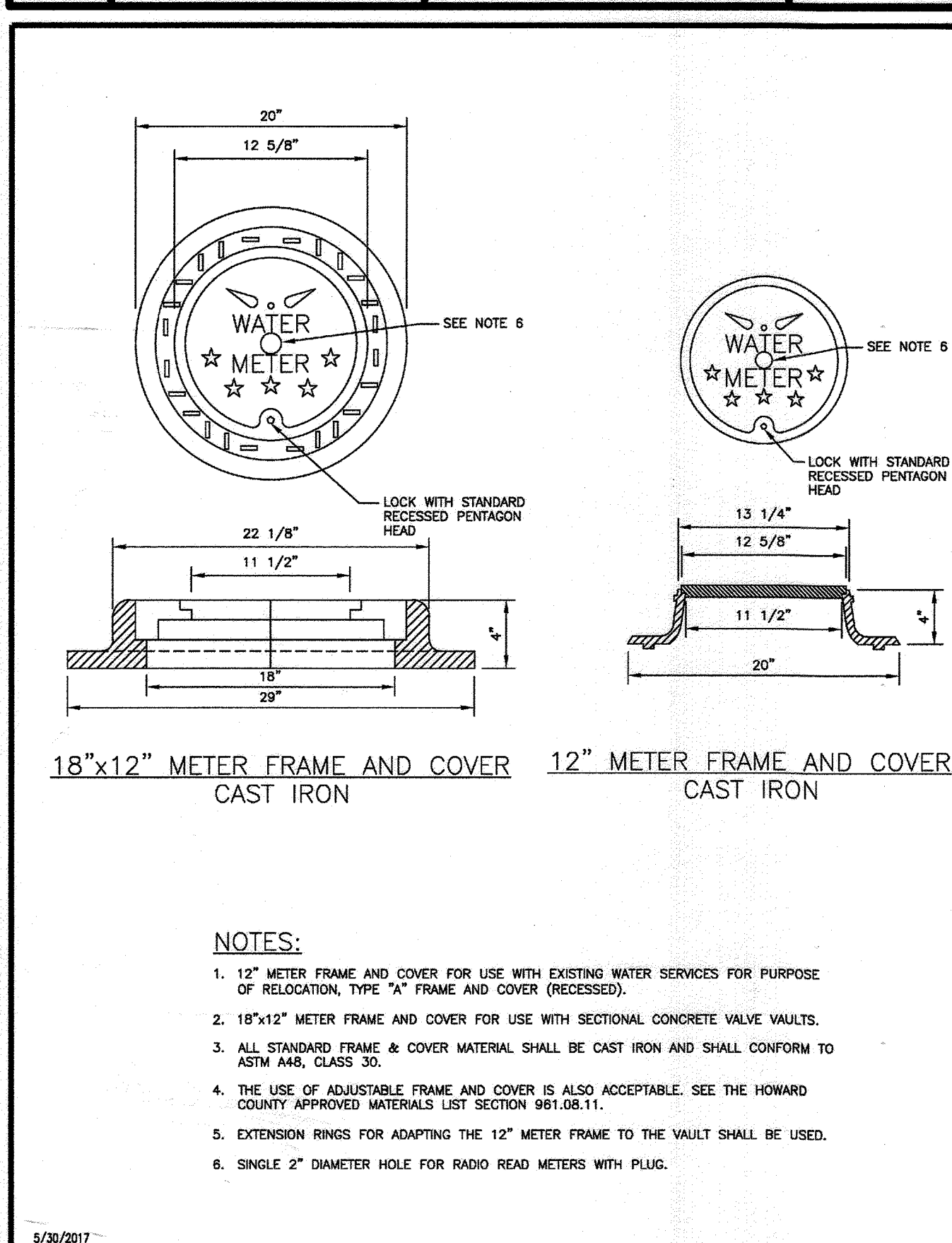
5/20/2017 5/20/2017 5/17/2007 Approved Chief, Bureau of Engineering	Howard County, Maryland Department of Public Works	SEWER HOUSE CONNECTION SHC	Detail S-2.11
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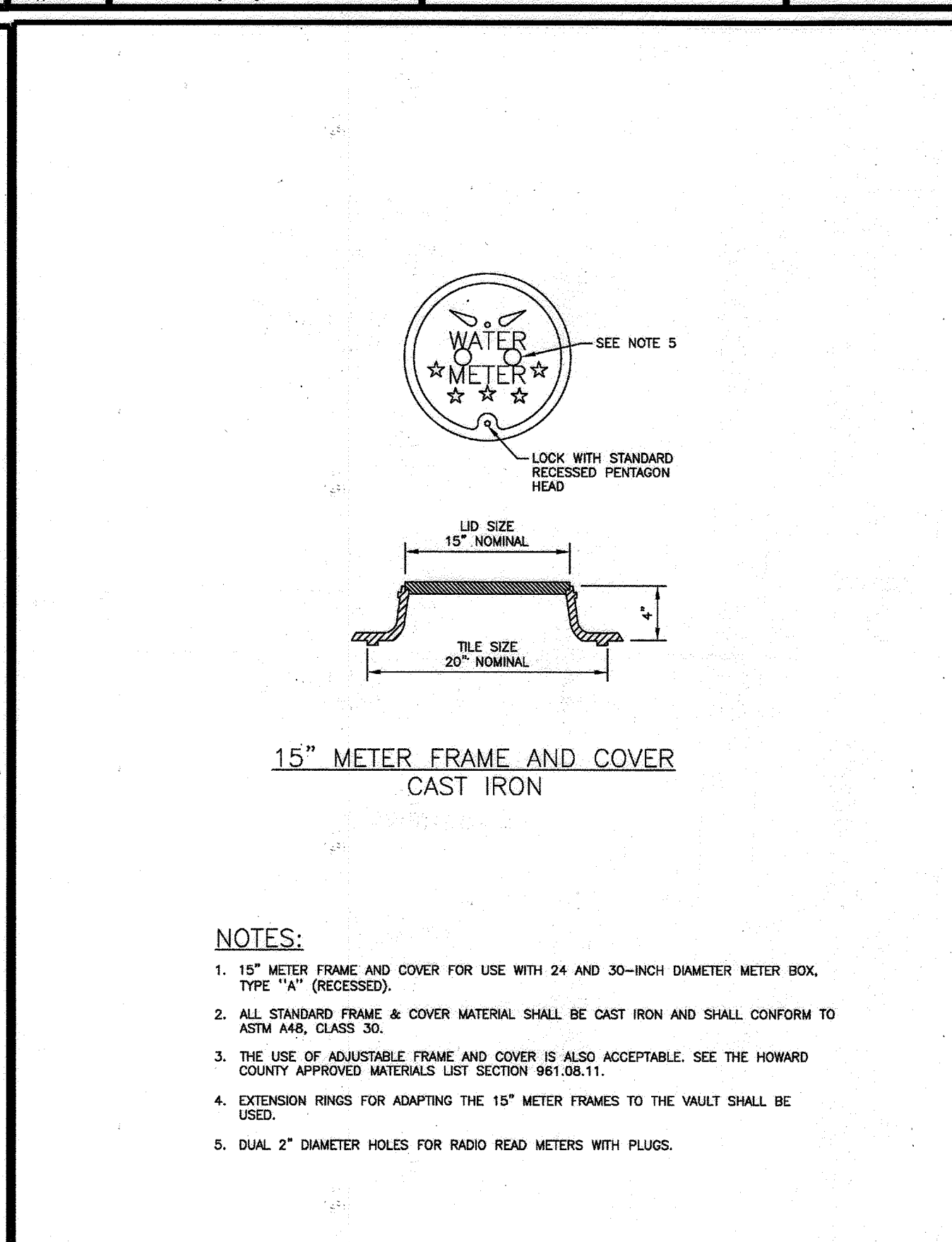
5/20/2017 5/20/2017 5/17/2007 Approved Chief, Bureau of Engineering	Howard County, Maryland Department of Public Works	Cleanout Cover Assembly For All Paved Areas	Detail S-2.23
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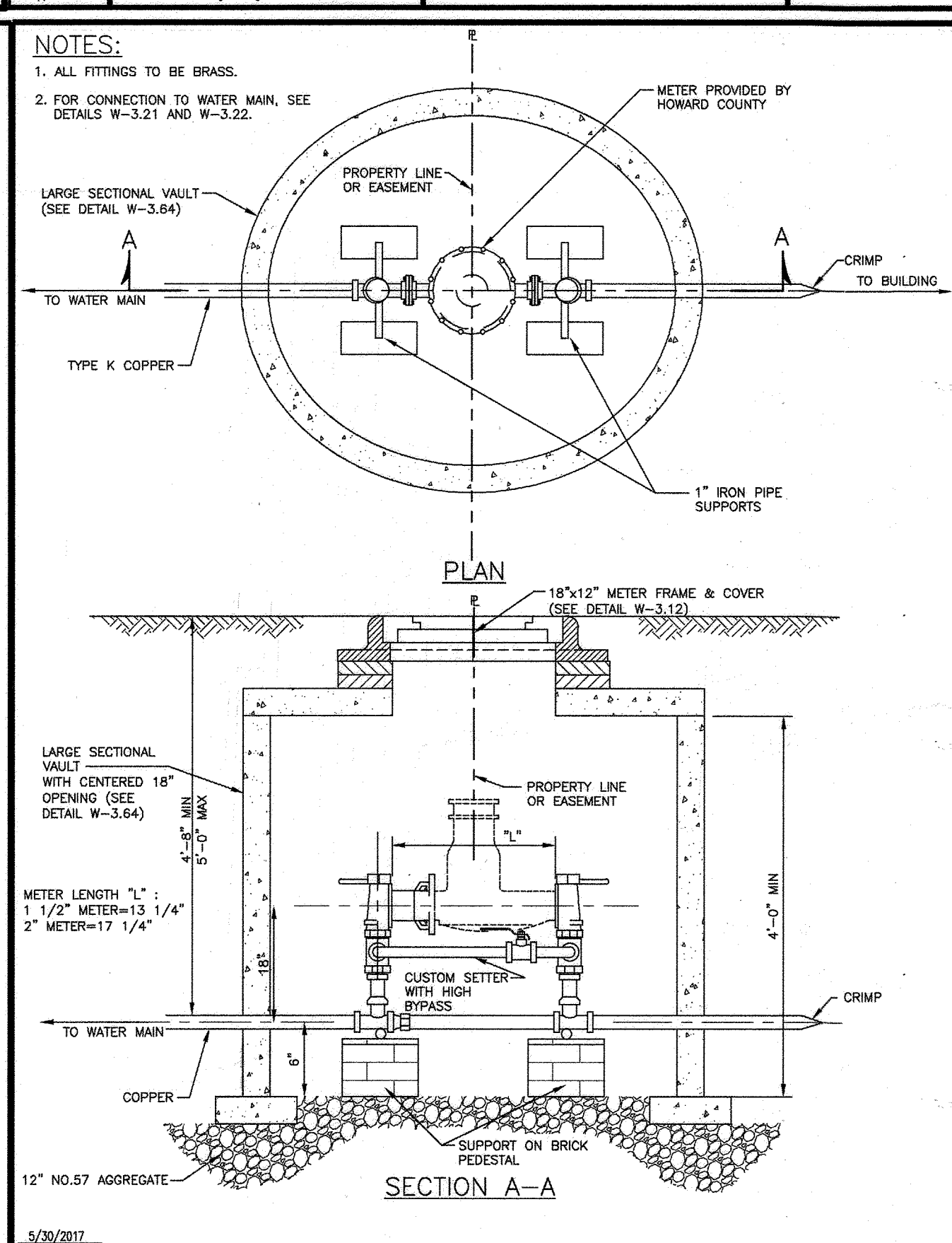
5/20/2017 5/20/2017 5/17/2007 Approved Chief, Bureau of Engineering	Howard County, Maryland Department of Public Works	SEWER HOUSE CONNECTION Cleanout	Detail S-2.22
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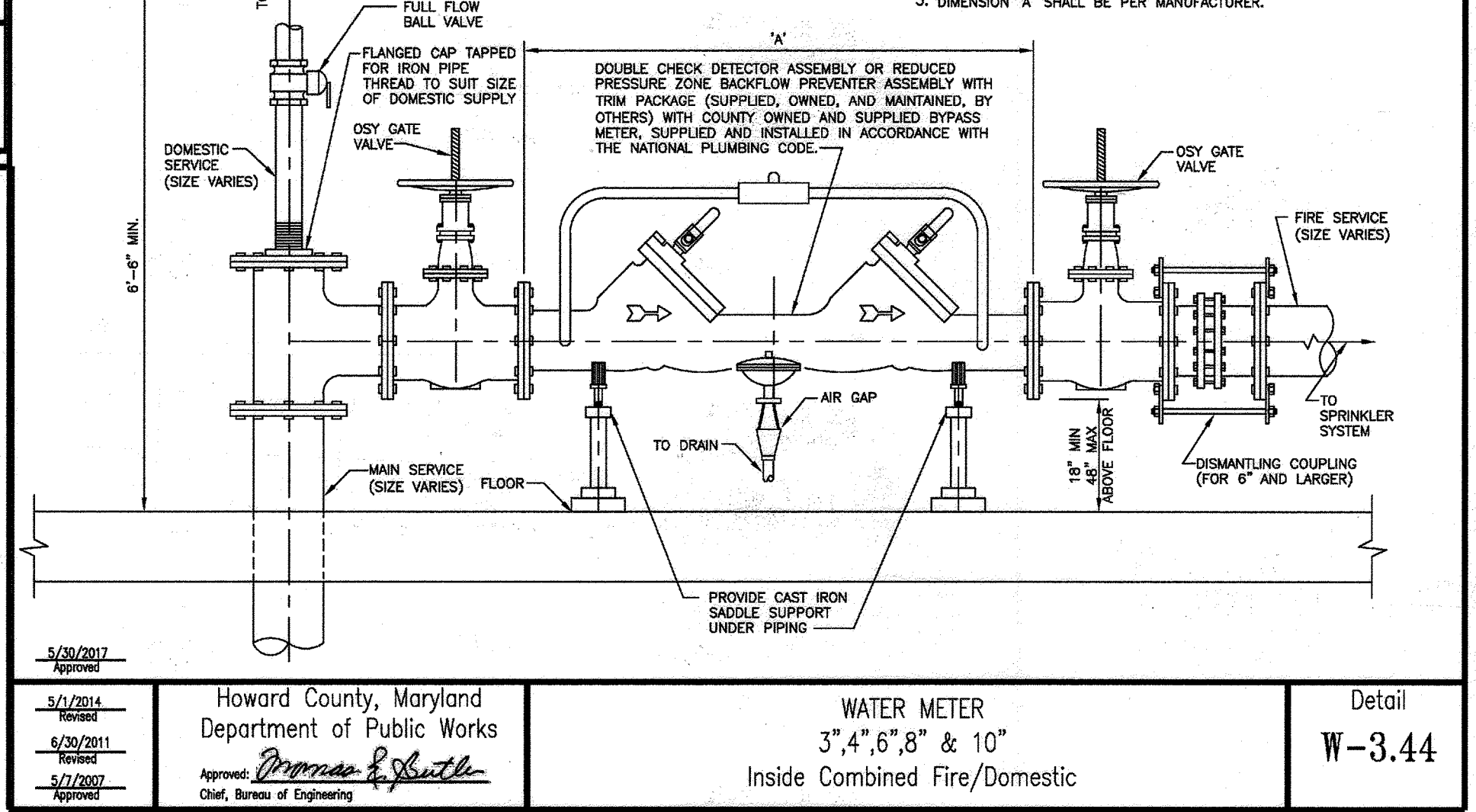
5/20/2017 5/20/2017 5/17/2007 Approved Chief, Bureau of Engineering	Howard County, Maryland Department of Public Works	WATER METER Frame and Cover	Detail W-3.12
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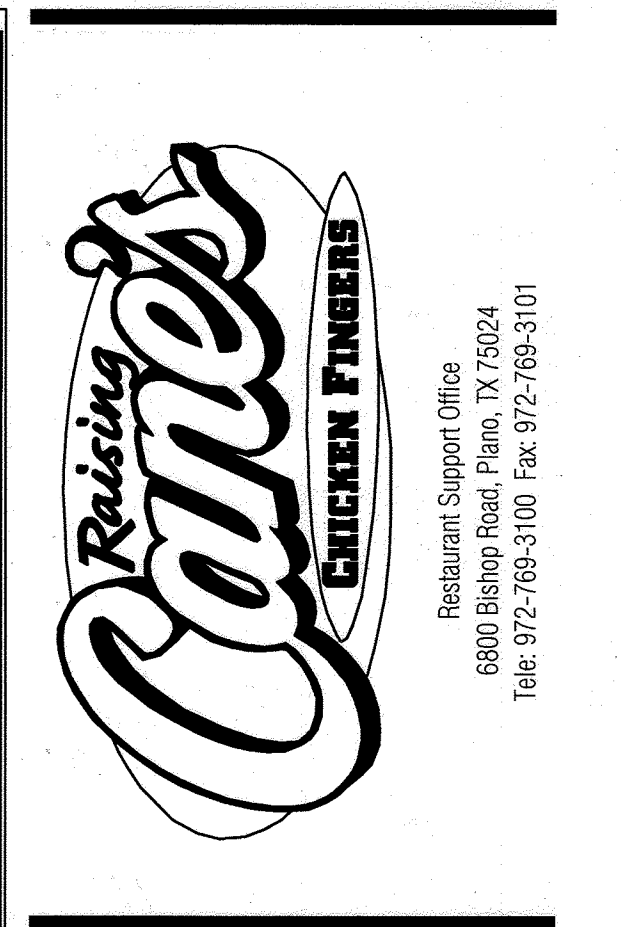
5/20/2017 5/20/2017 5/17/2007 Approved Chief, Bureau of Engineering	Howard County, Maryland Department of Public Works	WATER METER 15" Frame and Cover	Detail W-3.13
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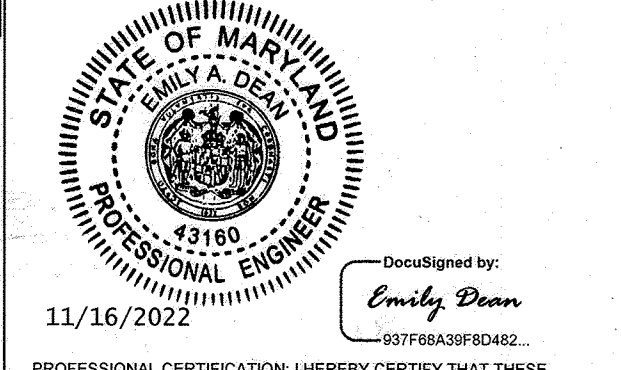
5/20/2017 5/20/2017 5/17/2007 Approved Chief, Bureau of Engineering	Howard County, Maryland Department of Public Works	WATER METER 1 1/2" & 2" Outside Meter Settings	Detail W-3.34
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5/20/2017 5/20/2017 5/17/2007 Approved Chief, Bureau of Engineering	Howard County, Maryland Department of Public Works	WATER METER 3", 4", 6", 8" & 10" Inside Combined Fire/Domestic	Detail W-3.44
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Store:  
**9071 SNOWDEN RIVER PARKWAY**  
**COLUMBIA, MD 21046**  
**RESTAURANT #C0838**  
**P4EV-AV SCHEME A**



Professional of Record: EMILY A. DEAN

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Sheet Title: **UTILITY DETAILS**

Date: 11/09/2022

Project Number: 110723018

Drawn By: JAM

Checked By: EAD

Sheet Number: --

ADDRESS CHART	
LOT/PARCEL #	STREET ADDRESS
LOT A 36, PARCEL 513	9071 SNOWDEN RIVER PKWY

PERMIT INFORMATION CHART			
Subdivision Name	Section/Area	Lot/Parcel No.	
GATEWAY COMMERCE CENTER	N/A	513	
Flat # of 1/4	Cons	Dist	Elect District
10805	0006	48-20	042
Water Code	SEWER CODE		
E06	49000000		

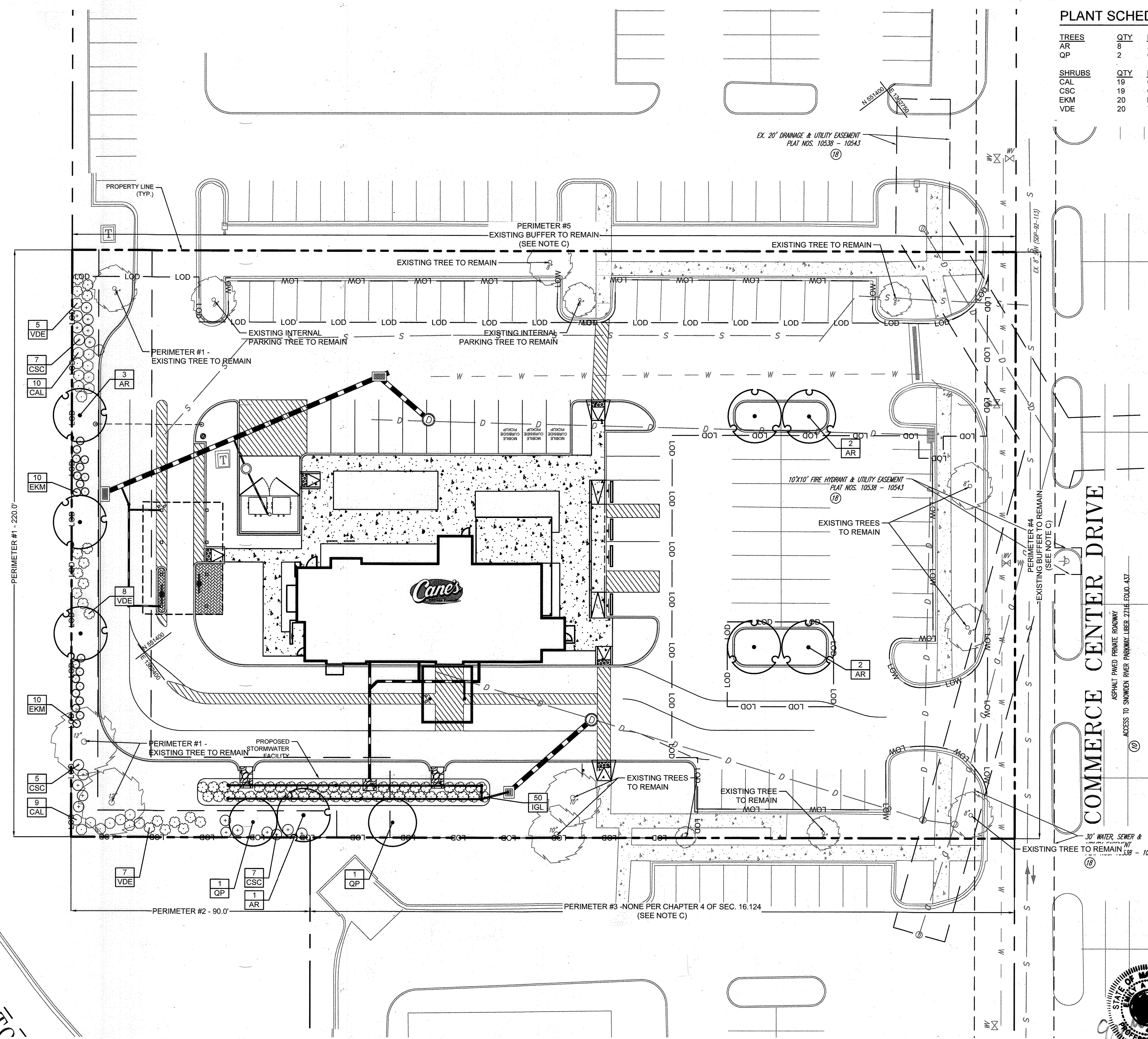
CALL 48 HOURS BEFORE YOU DIG

**811**

IT'S THE LAW! DIAL 811

Know what's below. Call before you dig.





**PLANT SCHEDULE**

TREES	QTY	BOTANICAL NAME	COMMON NAME	CONT	CAL / HT
AR	8	Acer rubrum 'Red Sunset'	Red sunset Red Maple	B & B	2.5' - 3' Cal
QP	2	Quercus phellos	Willow Oak	B & B	2.5' - 3' Cal

SHRUBS	QTY	BOTANICAL NAME	COMMON NAME	CONT	HEIGHT
CAL	19	Clethra alnifolia	Summersweet	Cont.	30" HT MIN.
CSC	19	Cornus sericea	Red Twig Dogwood	Cont.	30" HT MIN.
EKM	20	Euonymus kiautschovicus 'Manhattan'	Manhattan Euonymus	Cont.	24" HT MIN.
VDE	20	Viburnum dentatum 'Arrowwood'	Arrowwood Viburnum	Cont.	30" HT MIN.

**SCHEDULE A**  
PERIMETER LANDSCAPE EDGE  
*Howard County Landscape Manual Pg. 14, 18*

Category	Perimeter #1	Perimeter #2
Landscape Type	E	E
Linear Feet of Roadway Frontage / Perimeter	220 LF	90 LF
Shade Trees Ratio	1 / 40 LF	1 / 40 LF
Shrub Ratio	1 / 4 LF	1 / 4 LF
<b>Number of Plants Required:</b>		
Shade Trees	6	3
Shrubs	55	23
<b>Number of Plants Provided:</b>		
Existing Trees	3	0
Proposed Shade Trees	3	3
Proposed Shrubs	55	23

**SCHEDULE B**  
PARKING LOT INTERNAL LANDSCAPING  
*Howard County Landscape Manual Pg. 28*

Number of Parking Spaces	75
Number of Trees Required (1 per 20 Spaces)	4
Number of Trees Provided	
Existing Trees	2
Proposed Trees	4

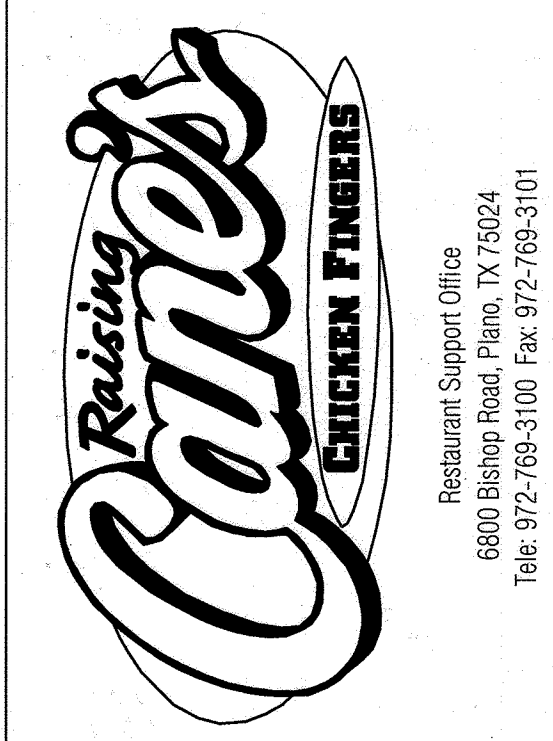
**PLANT SCHEDULE SWM**

SHRUBS	QTY	BOTANICAL NAME	COMMON NAME	CONT	HEIGHT
IGL	50	Ilex glabra	Inkberry Holly	Cont.	30" HT MIN.

**NOTE:**  
PER DESIGN MANUAL SEC 5.2.3(K), THE STORMWATER MANAGEMENT PLANTING COMPLIES WITH THE CURRENT MDE DESIGN MANUAL AND THE HOWARD COUNTY DESIGN MANUAL FOR SWM DESIGN

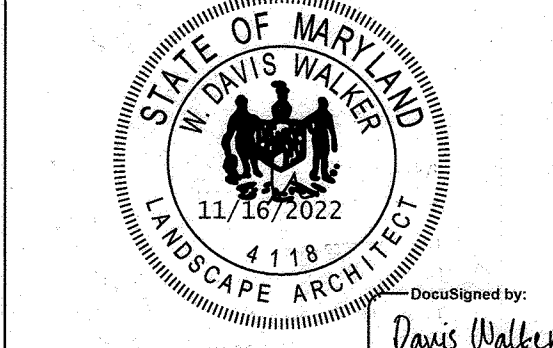
**LANDSCAPE NOTES**

- AT THE TIME OF PLANT INSTALLATION, ALL SHRUBS AND TREES LISTED AND APPROVED ON THE LANDSCAPE PLAN, SHALL COMPLY WITH THE PROPER HEIGHT REQUIREMENT IN ACCORDANCE WITH THE HOWARD COUNTY LANDSCAPE MANUAL. IN ADDITION, NO SUBSTITUTIONS OR RELOCATIONS OF THE REQUIRED PLANTINGS MAY BE MADE WITHOUT PRIOR REVIEW AND APPROVAL FROM THE DEPARTMENT OF PLANNING AND ZONING. ANY DEVIATION FROM THE APPROVED LANDSCAPE PLAN MAY RESULT IN DENIAL OR DELAY IN THE RELEASE OF LANDSCAPE SURETY, UNTIL SUCH TIME AS ALL REQUIRED MATERIALS ARE PLANTED AND/OR REVISIONS ARE MADE TO THE APPLICABLE PLANS.
- THE OWNER, TENANTS AND/OR THEIR AGENTS SHALL BE RESPONSIBLE FOR MAINTENANCE OF THE REQUIRED LANDSCAPING INCLUDING BOTH PLANT MATERIALS AND BERMS, FENCES AND WALLS. ALL PLANT MATERIALS SHALL BE MAINTAINED IN GOOD GROWING CONDITION, AND WHEN NECESSARY, REPLACED WITH NEW MATERIALS TO ENSURE CONTINUED COMPLIANCE WITH APPLICABLE REGULATIONS. ALL OTHER REQUIRED LANDSCAPING SHALL BE PERMANENTLY MAINTAINED IN GOOD CONDITION, AND WHEN NECESSARY, REPAIRED OR REPLACED.
- PER CHAPTER 4 OF SEC. 16.124, NO LANDSCAPE EDGES, BUFFERING, OR SCREENING ARE REQUIRED BETWEEN INTERNAL LOTS OR PARCELS WITHIN THE SAME DEVELOPMENT.



Store:  
**9071 SNOWDEN RIVER PARKWAY**  
**COLUMBIA, MD 21046**  
**RESTAURANT #C0838**  
**P4EV-AV SCHEME A**

Professional of Record: **W. DAVIS WALKER**



PROFESSIONAL CERTIFICATION I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL LANDSCAPE ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND.  
4118  
EXPIRATION DATE: 06/05/2022

9071 SNOWDEN RIVER PKWY  
COLUMBIA, MARYLAND  
TAX MAP: 42 PARCEL: 513  
ZONING B-2  
6TH ELECTION DISTRICT  
2ND COUNCIL DISTRICT  
WATER & SEWER CONTRACT #: 24-3185  
OWNER: NATIONAL RETAIL PROPERTIES LP  
450 S ORANGE AVE, SUITE 900  
ORLANDO, FL 32801  
DEVELOPER: RAISING CANE'S RESTAURANTS, LLC  
ATTN: FELICIA BIVENS  
6800 BISHOP ROAD, PLANO, TX 75024  
931-993-5258  
ENGINEER: KIMLEY-HORN AND ASSOCIATES, INC.  
ATTN: EMILY DEAN  
215 WASHINGTON AVE, SUITE 500  
TOWSON, MD 21204  
443-884-5085

Prototype: P4EV-AV 2020 - 2.0 RELEASE  
Prototype Issue Date: 7.14.2020  
Design Bulletin Updates: --  
Date Issued: --  
Bulletin Number: --

**FOR REVIEW**

**Kimley»Horn**  
11400 COMMERCE PARK DR., SUITE 400, RESTON, VA 20191  
PHONE: 703-674-1300 FAX: 703-674-1350  
WWW.KIMLEY-HORN.COM

REVISIONS:

NO.	DATE	DESCRIPTION
1		
2		
3		
4		
5		
6		
7		
8		
9		

Sheet Title: **LANDSCAPE PLAN**

Date: 11/09/2022  
Project Number: 110723018  
Drawn By: JAM  
Checked By: EAD  
Sheet Number:

**THERE IS NO "AS-BUILT" INFORMATION ON THIS SHEET.**

APPROVED: DEPARTMENT OF PLANNING AND ZONING  
12/19/2022

Chief, Development Engineering Division  
Date: 12/19/2022

Chief, Division of Land Development  
Date: 12/20/2022

Planning Director  
Date:

**ADDRESS CHART**

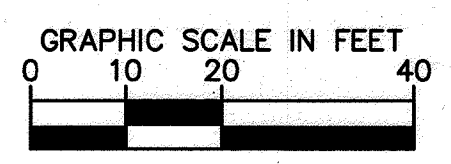
LOT/PARCEL #	STREET ADDRESS
LOT A 38, PARCEL 513	9071 SNOWDEN RIVER PKWY

**PERMIT INFORMATION CHART**

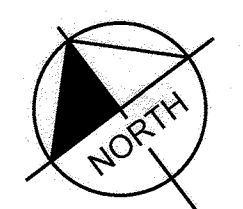
Subdivision Name	Section/Area	Lot/Parcel No.
GATEWAY COMMERCE CENTER	N/A	513
Plat # of L.P.	10805	0056
Water Code	E06	Sewer Code: 49000000

THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE PROVISIONS OF SECTION 16.124 OF THE HOWARD COUNTY CODE AND LANDSCAPE MANUAL. FINANCIAL SURETY IN THE AMOUNT OF \$5,340 FOR 10 SHADE TREES AND 75 SHRUBS HAS BEEN POSTED WITH THE (DEVELOPER'S AGREEMENT OR GRADING PERMIT).

ROBERT FULTON  
TO NB SNOWDEN  
RIVER PKWY  
MINOR ARTERIAL



**LANDSCAPE PLAN**  
SCALE: 1" = 20'



**LANDSCAPE DEVELOPER'S CERTIFICATE**  
I/WE CERTIFY THAT THE LANDSCAPING SHOWN ON THIS PLAN WILL BE DONE ACCORDING TO THE PLAN, SECTION 16.124 OF THE HOWARD COUNTY CODE, THE HOWARD COUNTY LANDSCAPE MANUAL, AND THE LANDSCAPE DESIGN CRITERIA. I/WE FURTHER CERTIFY THAT UPON COMPLETION A LETTER OF LANDSCAPE INSTALLATION ACCOMPANIED BY AN EXECUTED ONE YEAR GUARANTEE OF PLANT MATERIALS WILL BE SUBMITTED TO THE DEPARTMENT OF PLANNING AND ZONING.  
11/17/2022  
SIGNATURE: Felicia Bivens  
DATE

CALL 48 HOURS BEFORE YOU DIG  
IT'S THE WAY! DIAL 811  
Know what's below. Call before you dig.