RESIDENTIAL SITE DEVELOPMENT PLAN
WELLINGTON FARMS
PHASE 1 SECTION 2
LOTS 54 thru 132

GENERAL NOTES

1.) THE PROJECT IS IN CONFORMANCE WITH THE LATEST HOWARD COUNTY STANDARDS UNLESS WAIVERS HAVE BEEN APPROVED.

2.) THE SUBJECT PROPERTY IS ZONED R-20-MXD-3 AND R-SC-MXD-3 PER THE 10-6-2013 COMPREHENSIVE ZONING PLAN.

3.) BOUNDARY IS BASED ON RECORDED PLAT NO. 26023-26035.

4.) THE EXISTING TOPOGRAPHY SHOWN ON THESE LOTS IS BASED ON MASS GRADING AS SHOWN ON APPROVED F-21-044 ROAD CONSTRUCTION PLANS.

5.) THE COORDINATES SHOWN HEREON ARE BASED UPON THE HOWARD COUNTY GEODETIC CONTROL WHICH IS BASED UPON THE MARYLAND STATE PLANE COORDINATE SYSTEM. HOWARD COUNTY MONUMENT NOS. 46FB AND 47AA WERE USED FOR THIS PROJECT.

6.) WATER IS PUBLIC. THE CONTRACT NUMBER IS 24-5137-D.

7.) SEWER IS PUBLIC. THE CONTRACT NUMBER IS 24-5137-D.

8.) THIS PROJECT IS LOCATED WITHIN THE METROPOLITAN DISTRICT. THE DRAINAGE AREA IS THE HUDSON BRANCH.

9.) EXISTING UTILITIES SHOWN ARE BASED ON APPROVED WATER/SEWER CONTRACT DRAWINGS, APPROVED ROAD CONSTRUCTION PLANS, AERIAL, AND FIELD SURVEYED LOCATIONS.

10.) THERE ARE NO WETLANDS, STREAMS, OR THEIR REQUIRED BUFFERS, 100-YEAR FLOODPLAIN OR 25% OR GREATER STEEP SLOPES THAT ARE AT LEAST 20,000 S.F. OF CONTIGUOUS AREA LOCATED ON THESE LOTS.

11.) TO THE BEST OF OUR KNOWLEDGE, THERE ARE NO BURIAL GROUNDS, CEMETERIES OR HISTORIC STRUCTURES LOCATED ON THESE LOTS.

12.) STORMWATER MANAGEMENT FOR THESE LOTS WAS PREVIOUSLY PROVIDED AND APPROVED UNDER F-21-044. THE ON-LOT DRY WELLS FOR TREATMENT OF THE HOUSES FOR THE LOTS THAT REQUIRE THEM ARE PROVIDED ON THIS SITE DEVELOPMENT PLAN. ALL THE DRYWELLS ARE TO BE OWNED AND MAINTAINED BY THE OWNERS OF THE LOTS ON WHICH THEY RESIDE.

13.) DRIVEWAYS SHALL BE PROVIDED PRIOR TO ISSUANCE OF A USE AND OCCUPANCY PERMIT FOR ANY NEW DWELLINGS FOR FIRE AND EMERGENCY VEHICLES PER THE FOLLOWINGMINIMUM REQUIREMENTS:

A) WIDTH – 12' (16' SERVING MORE THAN ONE RESIDENCE).
B) SURFACE – 6" OF COMPACT CRUSHER RUN BASE WITH TAR AND CHIP COATING (1-½" MIN.).
C) GEOMETRY – MAX. 15% GRADE, MAX. 10% GRADE CHANGE & MIN. 45' TURNING RADIUS.
D) STRUCTURES(CULVERTS/BRIDGES) – CAPABLE OF SUPPORTING 25 GROSS TONS (H25 LOAD)
E) DRAINAGE ELEMENTS – CAPABLE OF SAFELY PASSING 100 YEAR FLOODPLAIN WITH NO MORE THAN 1 FOOT DEPTH OVER DRIVEWAY.
G) MAINTENANCE – SUFFICIENT TO INSURE ALL WEATHER USE.

14.) FOR DRIVEWAY ENTRANCE DETAILS REFER TO THE HOWARD COUNTY DESIGN MANUAL, VOLUME IV, STANDARD DETAIL R-6.03 and R-6.05.

15.) LANDSCAPING IS PROVIDED IN ACCORDANCE WITH SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL AND SHOWN ON THE CERTIFIED LANDSCAPE PLAN WITHIN THIS SITE DEVELOPMENT PLAN SET. FINANCIAL SURETY IN THE AMOUNT OF $18,600.00 FOR THE REQUIRED 45 SHADE TREES AND 34 EVERGREEN TREES SHALL BE PAID AS PART OF THE GRADING PERMIT.

16.) THE REQUIREMENT OF SECTION 16.1200 OF THE HOWARD COUNTY CODE FOR FOREST CONSERVATION FOR THESE LOTS WAS PROVIDED UNDER F-21-044. THE EASEMENTS WERE RECORDED UNDER F-21-044, RECORD PLAT #26023-26035.

17.) THIS SUBDIVISION IS SUBJECT TO SECTION 18.122B OF THE HOWARD COUNTY CODE. PUBLIC WATER AND/OR SEWER SERVICE HAS BEEN GRANTED UNDER THE TERMS AND PROVISIONS, THEREOF, EFFECTIVE DECEMBER 22, 2021, ON WHICH DATE DEVELOPER AGREEMENT #F21044/24-5137-D WAS FILED AND ACCEPTED.

18.) THIS PROJECT IS SUBJECT TO THE AMENDED FIFTH EDITION OF THE SUBDIVISION AND LAND DEVELOPMENT REGULATIONS AND THE ZONING REGULATIONS EFFECTIVE OCTOBER 6, 2013.

19.) ANY DAMAGE TO THE COUNTY'S RIGHT-OF-WAY SHALL BE CORRECTED AT THE BUILDER'S EXPENSE.

20.) IN ACCORDANCE WITH SECTION 128 OF THE HOWARD COUNTY ZONING REGULATIONS, BAY WINDOWS, WINDOW WELLS, ORIELS, VESTIBULES, BALCONIES AND CHIMNEYS MAY ENCROACH 4 FEET INTO ANY SETBACK OR REQUIRED DISTANCE BETWEEN BUILDINGS PROVIDED THE FEATURE HAS A MAXIMUM WIDTH OF 16 FEET. EXTERIOR STAIRWAYS OR RAMPS, ABOVE OR BELOW GROUND LEVEL (EXCLUDING THOSE ATTACHED TO A PORCH OR DECK) MAY ENCROACH 10 FEET INTO A FRONT SETBACK OR A SETBACK FROM A PROJECT BOUNDARY, 16 FEET INTO A REAR SETBACK, 4 FEET INTO A SIDE SETBACK OR REQUIRED DISTANCE BETWEEN BUILDINGS. OPEN OR ENCLOSED PORCHES OR DECKS AND THE STAIRWAYS OR RAMPS ATTACHED THERETO MAY ENCROACH 10 FEET INTO A FRONT OR REAR SETBACK, SETBACK FROM A PROJECT BOUNDARY OR A REQUIRED DISTANCE BETWEEN BUILDINGS.

21.) THE CONTRACTOR SHALL NOTIFY THE DEPARTMENT OF PUBLIC WORKS/BUREAU OF ENGINEERING/CONSTRUCTION INSPECTION DIVISION AT 410-313-1880 AT LEAST FIVE (5) WORKING DAYS PRIOR TO THE START OF WORK.

22.) THE CONTRACTOR SHALL NOTIFY "MISS UTILITY" AT 1-800-257-7777 AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION WORK BEING DONE.

23.) THE ARTICLES OF INCORPORATION FOR THE HOMEOWNERS ASSOCIATION WAS ACCEPTED BY THE STATE DEPARTMENT OF ASSESSMENT AND TAXATION ON 2-9-2021 ID# D21406426.

24.) SECTION 110.0.d.1.e OF THE ZONING REGULATIONS LIMITS THE LENGTH OF SINGLE-FAMILY ATTACHED UNITS TO 120 FEET BUT IT ALSO GRANTS THE DIRECTOR OF DPZ THE AUTHORITY TO APPROVE A GREATER LENGTH UP TO A MAXIMUM OF 200 FEET BASED ON DETERMINATION THAT THE DESIGN OF THE BUILDING WILL MITIGATE THE VISUAL IMPACT OF THE INCREASED LENGTH. A REQUEST TO ALLOW FOR A GREATER BUILDING LENGTH FOR SEVERAL ROWS OF SINGLE-FAMILY ATTACHED UNITS WAS APPROVED BY THE DIRECTOR OF THE DEPARTMENT OF PLANNING AND ZONING ON MAY 19, 2020.

25.) A MIHU AGREEMENT AND COVENANTS WILL BE REQUIRED IN ACCORDANCE WITH SECTION 13.402 OF THE COUNTY CODE. THE AGREEMENT AND COVENANTS ARE RECORDED WITH THE FINAL PLAN, F-21-044. THERE ARE NO MIHUS TO BE PROVIDED WITH THIS SECTION/PHASE. A TOTAL OF 8 MIHUs WERE TO BE PROVIDED WITH PHASE 1 SECTION 1, 22 WITH PHASE 1 SECTION 3, AND 10 WITH PHASE 2 FOR A TOTAL OF 40 MIHUs WHICH MEETS THE OVERALL PROJECTS OBLIGATION.

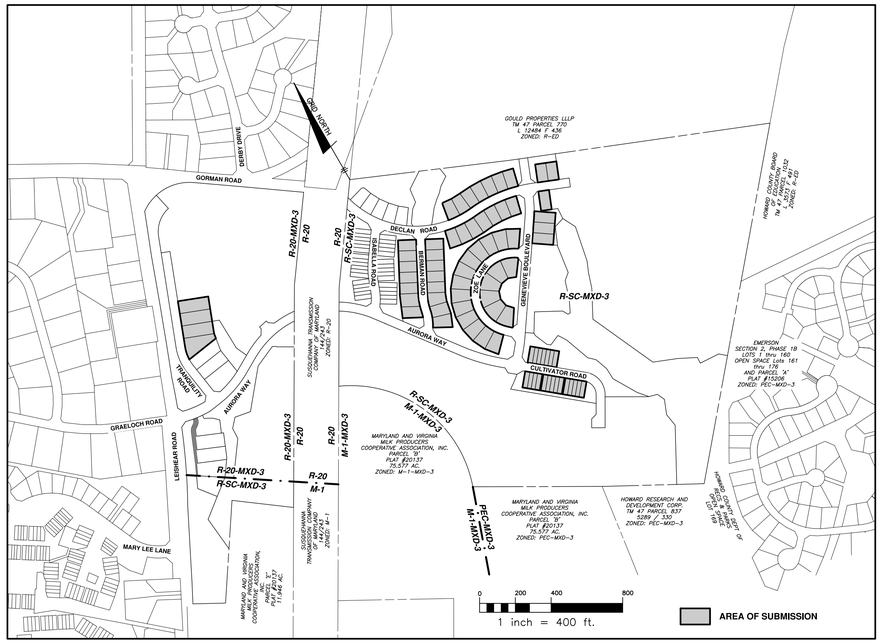
26.) NO GRADING, REMOVAL OF VEGETATIVE COVER OR TREES, PAVING AND NEW STRUCTURES SHALL BE PERMITTED WITHIN THE LIMITS OF WETLANDS, STREAMS, THEIR REQUIRED BUFFERS, FLOODPLAIN, OR FOREST CONSERVATION EASEMENTS.

27.) A NOISE STUDY IS NOT REQUIRED. THIS PROJECT IS NOT WITHIN THE LIMITS IDENTIFIED IN SECTION 2.5.F2. OF THE DESIGN MANUAL FOR A NOISE STUDY.

28.) THE TRAFFIC IMPACT STUDY WAS PREPARED BY THE TRAFFIC GROUP, INC. ON JUNE 29, 2018 AND REVISED ON NOVEMBER 16, 2018 AND FEBRUARY 6, 2019. IT WAS APPROVED WITH THE APPROVAL OF S-18-003.

29.) THE SPEED STUDY WAS PREPARED BY THE TRAFFIC GROUP, INC. ON SEPTEMBER 10, 2018 WITH THE SPEED COUNTS BEING TAKEN ON APRIL 5, 2018 AND APRIL 6, 2018. IT WAS APPROVED WITH THE APPROVAL OF S-18-003.

30.) IN ACCORDANCE WITH COUNCIL BILL 76-2018, EFFECTIVE JAN 11, 2019 AND PER SECTION 3.105(C) OF THE COUNTY CODE, ALL NEW RESIDENTIAL CONSTRUCTION THAT HAS A GARAGE, CARPORT, OR DRIVEWAY SHALL FEATURE A DEDICATED ELECTRIC LINE OF SUFFICIENT VOLTAGE SO THAT AN ELECTRIC VEHICLE CHARGING STATION MAY BE ADDED IN THE FUTURE. THIS DEDICATED LINE SHALL BE PROVIDED FOR EACH UNIT.

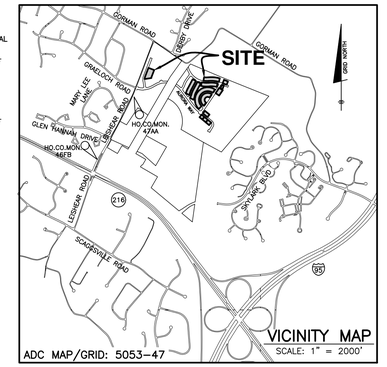


BENCHMARKS

NAD '83 HORIZONTAL – NAVD88 VERTICAL

STAMPED BRASS DISK SET ON TOP OF A 3ft DEEP COLUMN OF CONCRETE.
N 537149.785' E 1347468.998'
ELEVATION: 317.217'

STAMPED BRASS DISK SET ON TOP OF A 3ft DEEP COLUMN OF CONCRETE.
N 538961.645' E 1348439.009'
ELEVATION: 362.621'



ADDRESS CHART		
LOT		ADDRESS
54	7112	TRANQUILITY RD
55	7120	TRANQUILITY RD
56	7124	TRANQUILITY RD
57	7128	TRANQUILITY RD
58	7225	BERMAN RD
59	7221	BERMAN RD
60	7217	BERMAN RD
61	7213	BERMAN RD
62	7209	BERMAN RD
63	7205	BERMAN RD
64	7201	BERMAN RD
65	7200	BERMAN RD
66	7204	BERMAN RD
67	7208	BERMAN RD
68	7212	BERMAN RD
69	7216	BERMAN RD
70	7220	BERMAN RD
71	7224	BERMAN RD
72	7228	BERMAN RD
73	7427	DECLAN RD
74	7431	DECLAN RD
75	7435	DECLAN RD
76	7439	DECLAN RD
77	7443	DECLAN RD
78	7447	DECLAN RD
79	7451	DECLAN RD
80	7446	DECLAN RD
81	7442	DECLAN RD
82	7438	DECLAN RD
83	7434	DECLAN RD
84	7430	DECLAN RD
85	7426	DECLAN RD
86	7422	DECLAN RD
87	7553	ZOE LN
88	7549	ZOE LN
89	7545	ZOE LN
90	7541	ZOE LN
91	7537	ZOE LN
92	7533	ZOE LN
93	7529	ZOE LN
94	7521	ZOE LN
95	7517	ZOE LN
96	7513	ZOE LN
97	7509	ZOE LN
98	7505	ZOE LN
99	7501	ZOE LN
100	7500	ZOE LN
101	7508	ZOE LN
102	7516	ZOE LN
103	7528	ZOE LN
104	7538	ZOE LN
105	7548	ZOE LN
106	7459	DECLAN RD
107	7463	DECLAN RD
108	7458	DECLAN RD
109	7600	GENEVIEVE BLVD
110	7604	GENEVIEVE BLVD
111	7608	GENEVIEVE BLVD
112	7701	CULTIVATOR RD
113	7703	CULTIVATOR RD
114	7705	CULTIVATOR RD
115	7707	CULTIVATOR RD
116	7709	CULTIVATOR RD
117	7711	CULTIVATOR RD
118	7713	CULTIVATOR RD
119	7730	CULTIVATOR RD
120	7728	CULTIVATOR RD
121	7726	CULTIVATOR RD
122	7724	CULTIVATOR RD
123	7722	CULTIVATOR RD
124	7718	CULTIVATOR RD
125	7716	CULTIVATOR RD
126	7714	CULTIVATOR RD
127	7712	CULTIVATOR RD
128	7710	CULTIVATOR RD
129	7706	CULTIVATOR RD
130	7704	CULTIVATOR RD
131	7702	CULTIVATOR RD
132	7700	CULTIVATOR RD

SHEET INDEX	
SHEET	TITLE
1	SITE DEVELOPMENT PLAN COVER SHEET
2	GENERIC BOXES AND HOUSE FOOTPRINTS
3–5	SITE DEVELOPMENT AND GRADING PLAN
6–8	LANDSCAPE PLAN
9–12	SEDIMENT & EROSION CONTROL PLAN
13	SEDIMENT & EROSION CONTROL DETAILS AND ROOF LEADER MANIFOLD DETAIL

SITE ANALYSIS DATA CHART

A.) TOTAL PROJECT AREA (AS SHOWN ON F-21-044) 93.76 ACRES
B.) AREA OF PLAN SUBMISSION (BUILDABLE LOTS ONLY) 10.83 ACRES
C.) LIMIT OF DISTURBED AREA 11.70 ACRES
D.) PRESENT ZONING: R-20-MXD-3 & R-SC-MXD-3
E.) PROPOSED USE OF SITE: RESIDENTIAL – SINGLE FAMILY ATTACHED AND DETACHED
F.) FLOOR SPACE ON EACH LEVEL OF BLDG PER USE N/A
G.) TOTAL NUMBER OF UNITS ALLOWED AS SHOWN ON FINAL PLAT(S) 79
H.) TOTAL NUMBER OF UNITS PROPOSED 58 SFD, 21 TOWNHOUSES, 79 TOTAL
I.) MAXIMUM NUMBER OF EMPLOYEES, TENANTS ON SITE PER USE N/A
J.) NUMBER OF PARKING SPACES REQUIRED BY HO. CO. ZONING REGS AND/OR FDP CRITERIA 79 SFA x 2.5 = 198 SPACES
K.) NUMBER OF PARKING SPACES PROVIDED ONSITE (INCLUDES HANDICAPPED SPACES) 274 (PER F-21-044)
L.) OPEN SPACE ON-SITE N/A
M.) AREA OF RECREATIONAL OPEN SPACE REQUIRED 136,200 SF
AREA OF RECREATIONAL OPEN SPACE PROVIDED 372,478 SF (PROVIDED UNDER F-21-044)
N.) BUILDING COVERAGE OF SITE 2,024 SF } BASED ON THE SFA LOTS
PERCENTAGE OF GROSS AREA 47.8% } WITH LARGEST COVERAGE
(MAXIMUM ALLOWED 60%)
O.) APPLICABLE DPZ FILE REFERENCES: F-08-148, ECP-18-042, S-18-003, WP-20-039, WP-20-099, WP-20-117, P-20-006, F-21-025, F-21-044

Dry Well Chart									
Lot	Address	Dry Well	Length (ft)	Width (ft)	Depth (ft)	Ground Elevation	Top of Storage Elevation	Bottom of Stone Elevation	Bottom of Sand Elevation
54	7112 Tranquility Rd	54A	12.0	6.0	4.0	374.50	373.50	369.50	368.50
		54B	12.0	6.0	4.0	374.50	373.50	369.50	368.50
55	7120 Tranquility Rd	55A	12.0	6.0	4.0	377.00	376.00	372.00	371.00
		55B	12.0	6.0	4.0	378.50	377.50	373.50	372.50
56	7124 Tranquility Rd	56A	12.0	6.0	4.0	379.00	378.00	374.00	373.00
		56B	12.0	6.0	4.0	380.50	379.50	375.50	374.50
57	7128 Tranquility Rd	57A	12.0	6.0	4.0	382.50	381.50	377.50	376.50
		57B	12.0	6.0	4.0	383.25	382.25	378.25	377.25
58	7225 Berman Rd	58A	10.0	5.0	4.0	394.50	393.50	389.50	388.50
		58B	10.0	5.0	4.0	395.00	394.00	390.00	389.00
59	7221 Berman Rd	59A	10.0	5.0	4.0	396.00	395.00	391.00	390.00
		59B	10.0	5.0	4.0	396.50	395.50	391.50	390.50
60	7217 Berman Rd	60A	10.0	5.0	4.0	397.00	396.00	392.00	391.00
		60B	10.0	5.0	4.0	397.50	396.50	392.50	391.50
70	7220 Berman Rd	70A	10.0	5.0	4.0	392.20	391.20	387.20	386.20
		70B	10.0	5.0	4.0	392.20	391.20	387.20	386.20
71	7224 Berman Rd	71A	10.0	5.0	4.0	391.00	390.00	386.00	385.00
		71B	10.0	5.0	4.0	391.00	390.00	386.00	385.00
72	7228 Berman Rd	72A	10.0	5.0	4.0	391.50	390.50	386.50	385.50
		72B	10.0	5.0	4.0	391.50	390.50	386.50	385.50
87	7553 Zoe Ln	87A	10.0	5.0	4.0	383.20	382.20	378.20	377.20
		87B	10.0	5.0	4.0	383.20	382.20	378.20	377.20
88	7549 Zoe Ln	88A	10.0	5.0	4.0	383.00	382.00	378.00	377.00
		88B	10.0	5.0	4.0	384.20	383.20	379.20	378.20
89	7545 Zoe Ln	89A	10.0	5.0	4.0	385.20	384.20	380.20	379.20
		89B	10.0	5.0	4.0	385.20	384.20	380.20	379.20
90	7541 Zoe Ln	90A	10.0	5.0	4.0	386.52	385.52	381.52	380.52
		90B	10.0	5.0	4.0	386.52	385.52	381.52	380.52
91	7537 Zoe Ln	91A	10.0	5.0	4.0	387.59	386.59	382.59	381.59
		91B	10.0	5.0	4.0	387.59	386.59	382.59	381.59
92	7533 Zoe Ln	92A	10.0	5.0	4.0	388.00	387.00	383.00	382.00
		92B	10.0	5.0	4.0	388.00	387.00	383.00	382.00
93	7529 Zoe Ln	93A	10.0	5.0	4.0	389.20	388.20	384.20	383.20
		93B	10.0	5.0	4.0	389.20	388.20	384.20	383.20
94	7521 Zoe Ln	94A	10.0	5.0	4.0	390.00	389.00	385.00	384.00
		94B	10.0	5.0	4.0	390.00	389.00	385.00	384.00
95	7517 Zoe Ln	95A	10.0	5.0	4.0	390.00	389.00	385.00	384.00
		95B	10.0	5.0	4.0	390.00	389.00	385.00	384.00
96	7513 Zoe Ln	96A	10.0	5.0	4.0	388.80	387.80	383.80	382.80
		96B	10.0	5.0	4.0	387.50	386.50	382.50	381.50
97	7509 Zoe Ln	97A	10.0	5.0	4.0	387.00	386.00	382.00	381.00
		97B	10.0	5.0	4.0	385.00	384.00	380.00	379.00
98	7505 Zoe Ln	98A	10.0	5.0	4.0	384.75	383.75	379.75	378.75
		98B	10.0	5.0	4.0	383.50	382.50	378.50	377.50
99	7501 Zoe Ln	99A	10.0	5.0	4.0	382.40	381.40	377.40	376.40
		99B	10.0	5.0	4.0	382.00	381.00	377.00	376.00
110	7604 Genevieve Blvd	110A	10.0	5.0	4.0	376.15	375.15	371.15	370.15
		110B	10.0	5.0	4.0	376.15	375.15	371.15	370.15
111	7608 Genevieve Blvd	111A	10.0	5.0	4.0	376.40	375.40	371.40	370.40
		111B	10.0	5.0	4.0	376.40	375.40	371.40	370.40

NOTE: STORMWATER MANAGEMENT REPORT WITH DRY WELL COMPUTATIONS PREVIOUSLY APPROVED UNDER F-21-044.

MODERATE INCOME HOUSING UNIT (MIHU) APPLICATION EXEMPTIONS TRACKING						
Phase/Section	P1S1	P1S2	P1S3	P2	TOTAL
Total Number of Lots/Units Proposed	45	79	126	144	394
Total Number of MIHU's Required	5	8	13	14	40
Number of MIHU's Provided Onsite (Exempt from APFO allocations)	8	0	22	10	40
Number of APFO Allocations Required (Remaining Lots/Units)	40	71	113	130	354
MIHU Fee-in-Lieu (Indicate Lot/Unit numbers)	NA	NA	NA	NA	NA

PERMIT INFORMATION CHART					
SUBDIVISION NAME:			SECTION/AREA:	LOT/PARCEL #	
WELLINGTON FARMS			PHASE 1 SECTION 2	LOTS 54-132	
PLAT No.	GRID No.	ZONE	TAX MAP NO	ELECTION DISTRICT	CENSUS TRACT
26023-26035	6	R-20-MXD-3 R-SC-MXD-3	46	6	606806

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

DocuSigned by: Chad Edmondson 08F6F0AA492A4C5... 4/22/2022
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

DocuSigned by: 4/25/2022
CHIEF, DIVISION OF LAND DEVELOPMENT DATE

DocuSigned by: Amy Gowan 4/25/2022
DIRECTOR DATE

NO.	DATE	REVISION

BENCHMARK
ENGINEERS ▲ LAND SURVEYORS ▲ PLANNERS
ENGINEERING, INC.
8480 BALTIMORE NATIONAL PIKE ▲ SUITE 315 ▲ ELLICOTT CITY, MARYLAND 21043
(P) 410-465-6105 (F) 410-465-6644
WWW.BEI-CIVILENGINEERING.COM

Professional Certification. I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland, License No. 22390, Expiration Date: May, 6-30-2023.

STATE OF MARYLAND – CHRISTOPHER L. MAY – 22390 – PROFESSIONAL ENGINEER

4/6/2022

OWNER:
ESC WELLINGTON, L.C.
5074 DORSEY HALL DRIVE, SUITE 205
ELLICOTT CITY, MARYLAND 21042
410-720-3021

BUILDER:
NVR
9720 PATUXENT WOODS DRIVE
COLUMBIA, MARYLAND 21046
703-956-4080

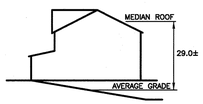
WELLINGTON FARMS
Phase 1 Section 2
Lots 54 thru 132
(previously recorded as Plat No. 26023-26035)

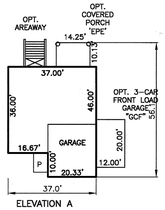
TAX MAP: 46 – GRID: 6 – PARCEL: 163
ZONED: R-20-MXD-3 / R-SC-MXD-3
ELECTION DISTRICT NO. 6 – HOWARD COUNTY, MARYLAND

SITE DEVELOPMENT PLAN COVER SHEET

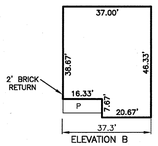
DESIGN: DBT	DRAFT: DBT	DATE: APRIL 7, 2022	BEI PROJECT NO. 3067
		SCALE: AS SHOWN	SHEET 1 OF 13

SDP-22-009





ELEVATION A



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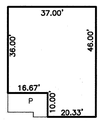
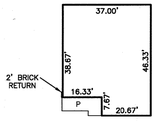
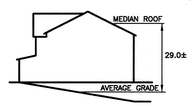


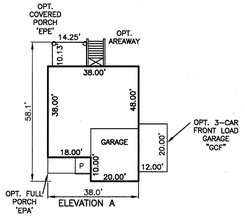
ELEVATION C AND K



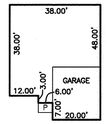
ELEVATION L

COLUMBIA (Ryan)
SCALE: 1" = 30'

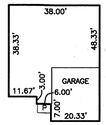




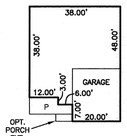
ELEVATION A



ELEVATION B

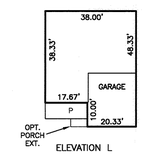


ELEVATION B WITH BRICK



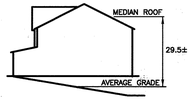
ELEVATION C

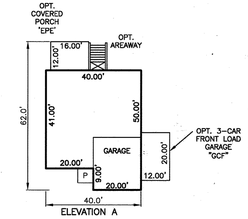
ELEVATION K



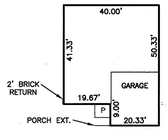
ELEVATION L

HUDSON (Ryan)
SCALE: 1" = 30'

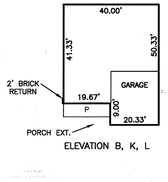




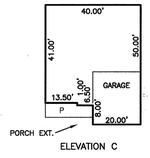
ELEVATION A



ELEVATION A WITH BRICK

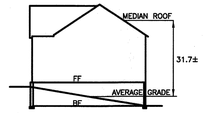


ELEVATION B, K, L

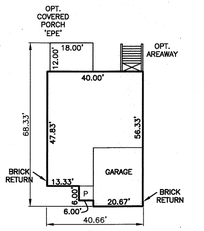


ELEVATION C

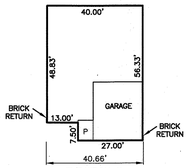
LEHIGH (Ryan)
SCALE: 1" = 30'



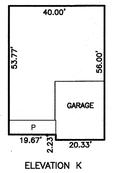
ELEVATION VIEW



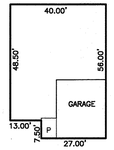
ELEVATION A



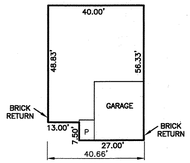
ELEVATION B



ELEVATION K

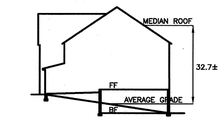


ELEVATION L

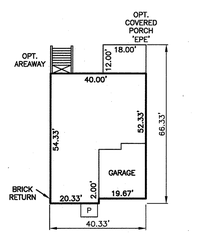


ELEVATION R

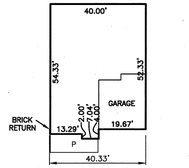
DANVILLE (NV)
SCALE: 1" = 30'



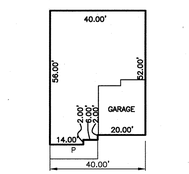
ELEVATION VIEW



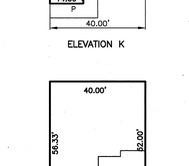
ELEVATION A



ELEVATION B



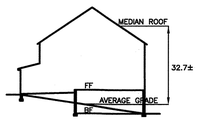
ELEVATION L



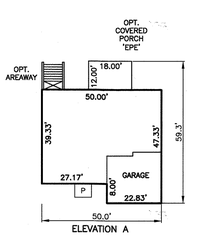
ELEVATION K

ELEVATION R

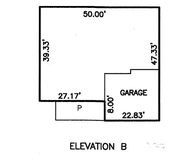
TYLER (NV)
SCALE: 1" = 30'



ELEVATION VIEW



ELEVATION A



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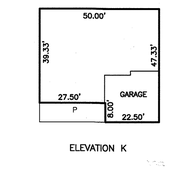
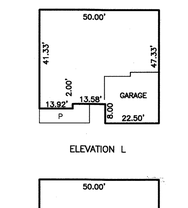
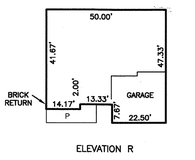


ELEVATION K

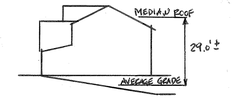


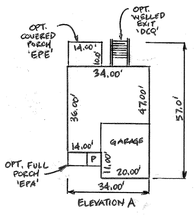
ELEVATION L



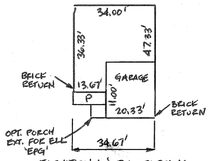
ELEVATION R

LONGWOOD (NV)
SCALE: 1" = 30'

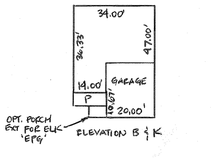




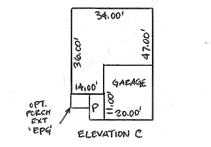
ELEVATION A



ELEVATION A & B WITH BRICK AND ELEVATION L



ELEVATION B & K



ELEVATION C

BALLENGER (Ryan)
SCALE: 1"=30'

ELEVATIONS: A, B, C, D, K, L, M, N

SERENADE (RYAN) (TOWNHOUSE)
SCALE: 1" = 30'

RYAN HOUSES

BALLENGER
-ALL ELEVATIONS

COLUMBIA
-ALL ELEVATIONS
-3 CAR GAR

HUDSON
-ALL ELEVATIONS
-3 CAR GAR

LEHIGH
-ALL ELEVATIONS
-3 CAR GAR

NV HOUSES

DANVILLE
-ALL ELEVATIONS

TYLER
-ALL ELEVATIONS

LONGWOOD
-ALL ELEVATIONS

BOX 'A'

RYAN HOUSES

COLUMBIA
-ALL ELEVATIONS

HUDSON
-ALL ELEVATIONS

LEHIGH
-ALL ELEVATIONS

BALLENGER
-ALL ELEVATIONS

BOX 'B'

RYAN HOUSES

BALLENGER
-ALL ELEVATIONS

COLUMBIA
-ALL ELEVATIONS
-3 CAR GAR

HUDSON
-ALL ELEVATIONS
-3 CAR GAR

LEHIGH
-ALL ELEVATIONS
-3 CAR GAR

NV HOUSES

DANVILLE
-ALL ELEVATIONS

TYLER
-ALL ELEVATIONS

BOX 'C'

RYAN HOUSES

BALLENGER
-ALL ELEVATIONS

COLUMBIA
-ALL ELEVATIONS
-3 CAR GAR

HUDSON
-ALL ELEVATIONS
-3 CAR GAR

LEHIGH
-ALL ELEVATIONS
-3 CAR GAR

NV HOUSES

DANVILLE
-ALL ELEVATIONS

TYLER
-ALL ELEVATIONS

LONGWOOD
-ALL ELEVATIONS

BOX 'D'

GENERIC BOXES (SINGLE FAMILY DETACHED)
SCALE: 1" = 30'

RYAN HOUSES

SERENADE
-ALL ELEVATIONS

BOX 'E'

BOX 'F'

GENERIC BOXES (TOWNHOUSES)
SCALE: 1" = 30'

NOTE:
HOUSE TYPES AND OPTIONS LISTED ABOVE EACH GENERIC BOX ARE THE HOUSE TYPES AND OPTIONS THAT FIT WITHIN THAT GENERIC BOX

NOTE:
COVERED PORCHES CAN EXTEND INTO REAR BRL'S UP TO 10 FEET PER ZONING SECTION 128.0. THEREFORE, THEY DO NOT HAVE TO FIT WITHIN GENERIC BOX AND THEY ARE NOT INCLUDED IN GENERIC BOX LISTING.

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

DocuSigned by: Chad Edmondson 4/22/2022
CHIEF, DEVELOPMENT ENGINEERING DIVISION — DATE

DocuSigned by: 4/25/2022
CHIEF, DIVISION OF LAND DEVELOPMENT — DATE

DocuSigned by: Amy Groman 4/25/2022
DIRECTOR — DATE

NO.	DATE	REVISION
1	7.6.2022	ADD THE BALLENGER HOUSE MODEL

BENCHMARK
ENGINEERING, INC.
ENGINEERS ▲ LAND SURVEYORS ▲ PLANNERS
8480 BALTIMORE NATIONAL PIKE ▲ SUITE 315 ▲ ELLICOTT CITY, MARYLAND 21043
(P) 410-465-6105 (F) 410-465-6644
WWW.BEI-CIVILENGINEERING.COM

Professional Certification. I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland, License No. 22390, Expiration Date: 6-30-2023.

STATE OF MARYLAND — CHRISTOPHER A. MASON — 22390 — PROFESSIONAL ENGINEER

4/06/2022

OWNER:
ESC WELLINGTON, L.C.
5074 DORSEY HALL DRIVE, SUITE 205
ELLICOTT CITY, MARYLAND 21042
410-720-3021

BUILDER:
NVR
9720 PATUXENT WOODS DRIVE
COLUMBIA, MARYLAND 21046
703-956-4080

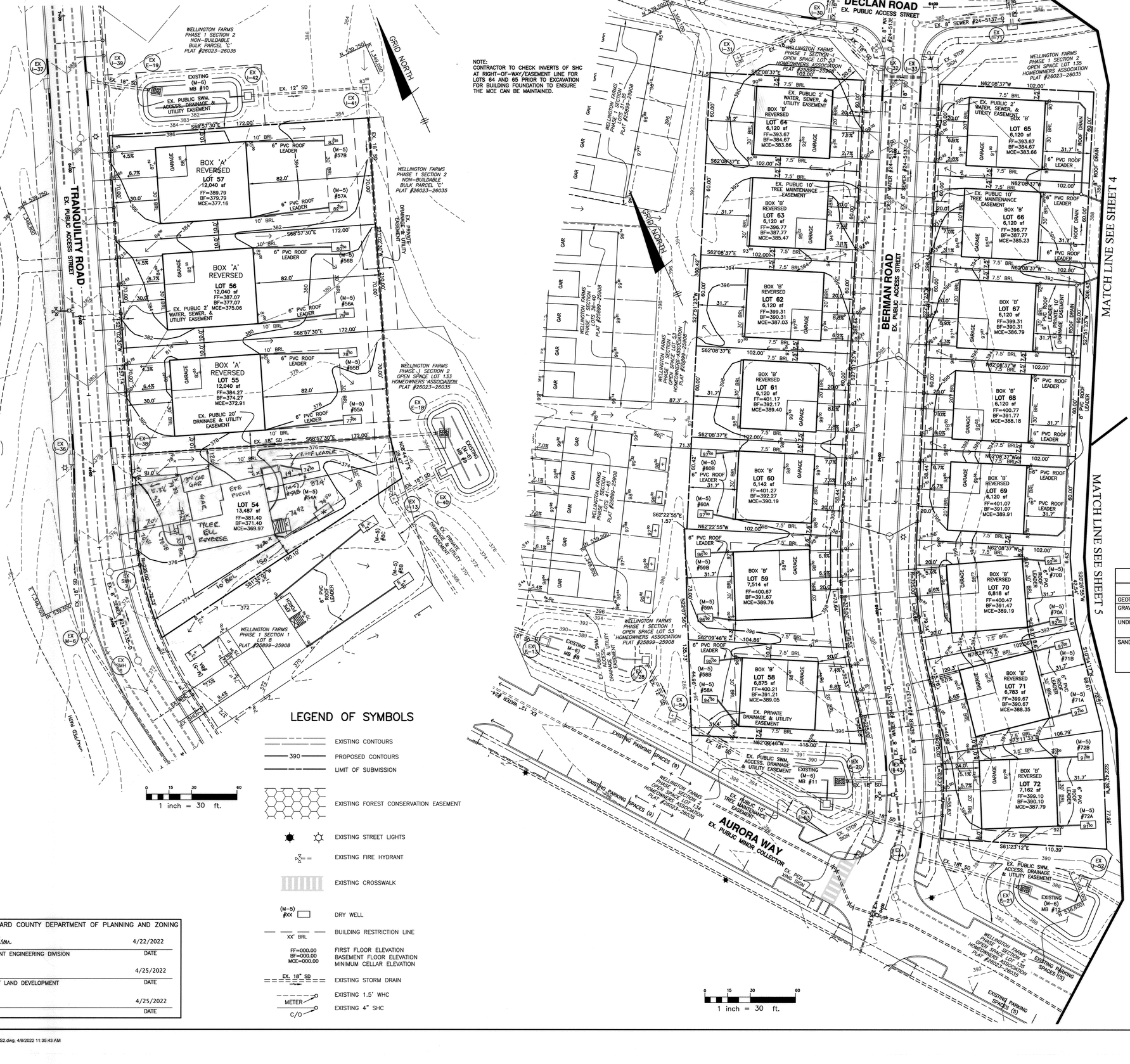
WELLINGTON FARMS
Phase 1 Section 2
Lots 54 thru 132
(previously recorded as Plat No. 26023-26035)

TAX MAP: 46 – GRID: 6 – PARCEL: 163
ZONED: R-20-MXD-3 / R-SC-MXD-3
ELECTION DISTRICT NO. 6 – HOWARD COUNTY, MARYLAND

GENERIC BOXES AND HOUSE FOOTPRINTS

DESIGN: DBT	DRAFT: DBT	DATE: APRIL 7, 2022	BEI PROJECT NO. 3067
		SCALE: AS SHOWN	SHEET 2 OF 13

SDP-22-009

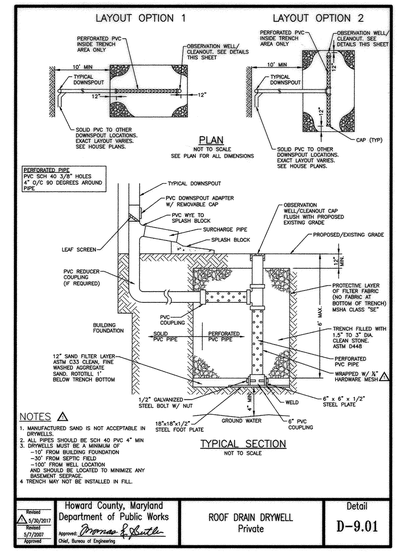


LEGEND OF SYMBOLS

- EXISTING CONTOURS
- 390 PROPOSED CONTOURS
- LIMIT OF SUBMISSION
- EXISTING FOREST CONSERVATION EASEMENT
- EXISTING STREET LIGHTS
- EXISTING FIRE HYDRANT
- EXISTING CROSSWALK
- (M-5) #XX DRY WELL
- XX' BRL BUILDING RESTRICTION LINE
- FF=000.00 BF=000.00 MCE=000.00 FIRST FLOOR ELEVATION, BASEMENT FLOOR ELEVATION, MINIMUM CELLAR ELEVATION
- EX. 18" SD EXISTING STORM DRAIN
- METER EXISTING 1.5" WHC
- C/O EXISTING 4" SHC

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

DocuSigned by: Chad Edmondson 4/22/2022	
CHIEF, DEVELOPMENT ENGINEERING DIVISION	DATE
DocuSigned by: 4/25/2022	
CHIEF, DIVISION OF LAND DEVELOPMENT	DATE
DocuSigned by: Amy Gowan 4/25/2022	
DIRECTOR	DATE



NOTES △
1. MANUFACTURED SAND IS NOT ACCEPTABLE IN DRYWELLS.
2. ALL PIPES SHOULD BE SCH 40 PVC 4" MIN
3. DRYWELLS MUST BE 10 MINIMUM OF:
- 50' FROM BUILDING FOUNDATION
- 50' FROM SEPTIC FIELD
- 100' FROM WELL LOCATION
AND SHOULD BE LOCATED TO MINIMIZE ANY BASEMENT SEEPAGE.
4 TRENCH MAY NOT BE INSTALLED IN FILL.

TYPICAL SECTION
NOT TO SCALE

Revised △ 5/30/2017 Revised △ 5/7/2007 Approved	Howard County, Maryland Department of Public Works Approved: Bryan E. Smith Chief, Bureau of Engineering	ROOF DRAIN DRYWELL Private	Detail D-9.01

OPERATION AND MAINTENANCE SCHEDULE FOR PRIVATELY OWNED AND MAINTAINED (M-5) DRY WELLS

1. The monitoring wells and structures shall be inspected on a quarterly basis and after every large storm event.
2. Water levels and sediment build up in the monitoring wells shall be recorded over a period of several days to insure trench drainage.
3. A log book shall be maintained to determine the rate at which the facility drains.
4. When the facility becomes clogged so that it does not drain down within the 72 hour time period, corrective action shall be taken.
5. The maintenance log book shall be available to Howard County for inspection to insure compliance with operation and maintenance criteria.
6. Once the performance characteristics of the infiltration facility have been verified, the monitoring schedule can be reduced to an annual basis unless the performance data indicates that a more frequent schedule is required.

MATERIALS & SPECIFICATIONS FOR DRY WELLS

MATERIAL	SPECIFICATION	SIZE	NOTES:
GEOTEXTILE (CLASS "C")		N/A	PE TYPE 1 NONWOVEN
GRAVEL	AASHTO M 43	1 1/2" TO 2 1/2"	
UNDERDRAIN PIPING	F758, TYPE PS28 OR AASHTO M-278	4" TO 6" RIGID SCH.40 PVC, SDR35 OR HDPE	3/8" PERF. @ 6" O/C, 4 HOLES PER ROW; MINIMUM OF 2" OF GRAVEL OVER PIPES.
SAND	AASHTO M-6 OR ASTM-C-33	.02" TO .04"	SAND SUBSTITUTIONS SUCH AS DIABASE AND GRAYSTONE (AASHTO) #10 ARE NOT ACCEPTABLE. NO CALCIUM CARBONATED OR DOLOMITIC SAND SUBSTITUTIONS ARE ACCEPTABLE. NT ROCK DUST CAN BE USED FOR SAND.

NO.	DATE	REVISION
1	10.31.22	ADD THE TYLERE HOUSE TYPE WITH EFE AND 3RD CAR GARAGE ON LOT 54

BENCHMARK ENGINEERING, INC.
ENGINEERS ▲ LAND SURVEYORS ▲ PLANNERS
8480 BALTIMORE NATIONAL PIKE ▲ SUITE 315 ▲ ELLICOTT CITY, MARYLAND 21043
(P) 410-465-6105 (F) 410-465-6644
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Professional Certification. I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland, License No. 22390, Expiration Date: 6-30-2023.
4/06/2022

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410-720-3021

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9720 PATUXENT WOODS DRIVE
COLUMBIA, MARYLAND 21046
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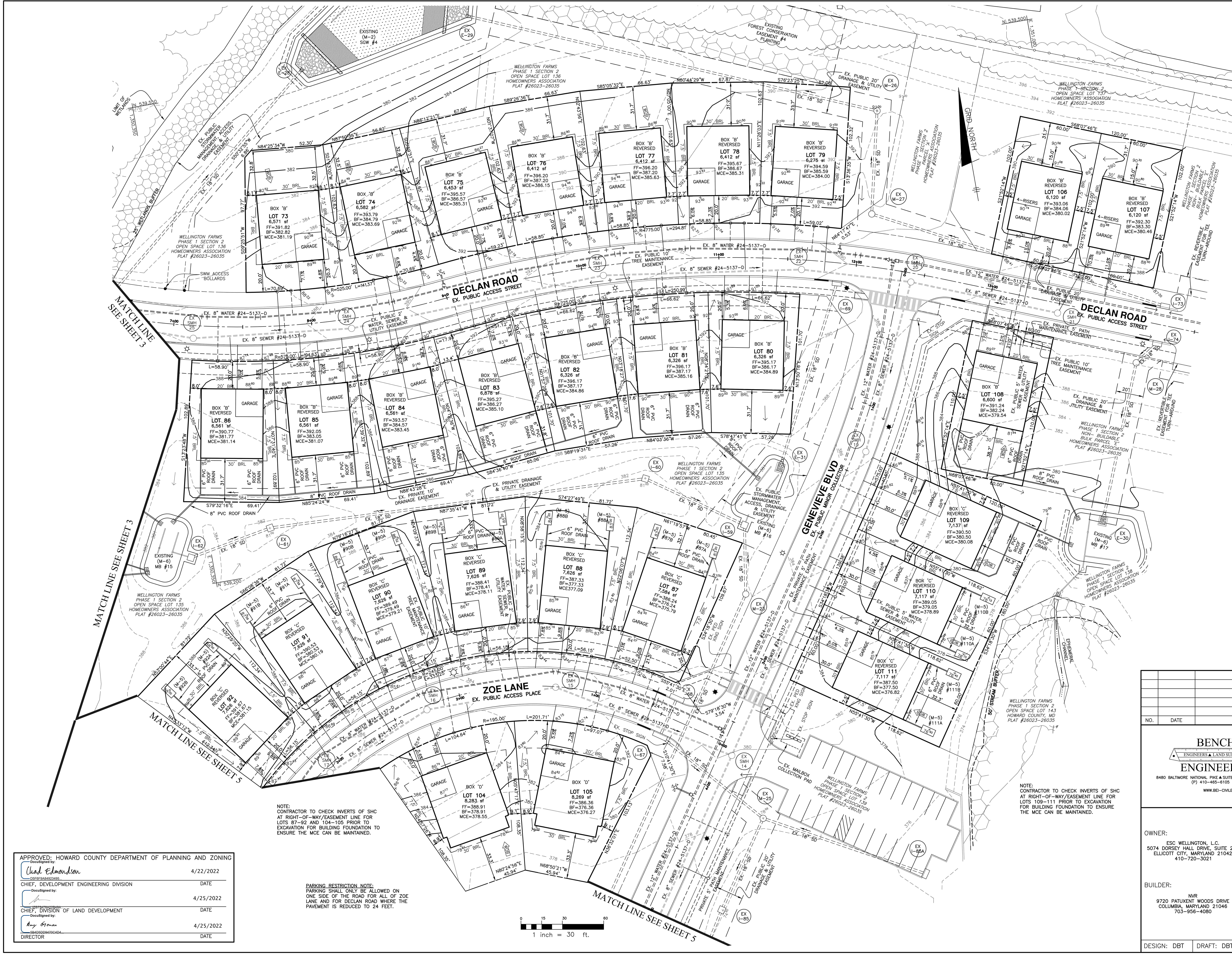
WELLINGTON FARMS
Phase 1 Section 2
Lots 54 thru 132
(previously recorded as Plat No. 26023-26035)

TAX MAP: 46 -- GRID: 6 -- PARCEL: 163
ZONED: R-20-MXD-3 / R-SC-MXD-3
ELECTION DISTRICT NO. 6 -- HOWARD COUNTY, MARYLAND

SITE DEVELOPMENT AND GRADING PLAN

DESIGN: DBT	DRAFT: DBT	SCALE: AS SHOWN	SHEET 3 OF 13
		DATE: APRIL 7, 2022	BEI PROJECT NO. 3067

SDP-22-009



NOTE:
CONTRACTOR TO CHECK INVERTS OF SHC AT RIGHT-OF-WAY/EASEMENT LINE FOR LOTS 87-92 AND 104-105 PRIOR TO EXCAVATION FOR BUILDING FOUNDATION TO ENSURE THE MCE CAN BE MAINTAINED.

PARKING RESTRICTION NOTE:
PARKING SHALL ONLY BE ALLOWED ON ONE SIDE OF THE ROAD FOR ALL OF ZOE LANE AND FOR DECLAN ROAD WHERE THE PAVEMENT IS REDUCED TO 24 FEET.

NOTE:
CONTRACTOR TO CHECK INVERTS OF SHC AT RIGHT-OF-WAY/EASEMENT LINE FOR LOTS 109-111 PRIOR TO EXCAVATION FOR BUILDING FOUNDATION TO ENSURE THE MCE CAN BE MAINTAINED.

LEGEND OF SYMBOLS

Symbol	Description
	EXISTING CONTOURS
390	PROPOSED CONTOURS
	LIMIT OF SUBMISSION
	EXISTING FOREST CONSERVATION EASEMENT
	EXISTING STREET LIGHTS
	EXISTING FIRE HYDRANT
	EXISTING CROSSWALK
(M-5) #XX	DRY WELL
XX' BRL	BUILDING RESTRICTION LINE
FF=000.00 BF=000.00 MCE=000.00	FIRST FLOOR ELEVATION BASEMENT FLOOR ELEVATION MINIMUM CELLAR ELEVATION
EX. 18" SD	EXISTING STORM DRAIN
METER	EXISTING 1.5' WHC
C/O	EXISTING 4" SHC

NO.	DATE	REVISION

BENCHMARK
ENGINEERS ▲ LAND SURVEYORS ▲ PLANNERS
ENGINEERING, INC.
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Professional Certification. I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland, License No. 22390, Expiration Date: 6-30-2023.

STATE OF MARYLAND CHRISTOPHER A. MALAGARI 22390 PROFESSIONAL ENGINEER

4/06/2022

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ELLICOTT CITY, MARYLAND 21042
410-720-3021

BUILDER:
NVR
9720 PATUXENT WOODS DRIVE
COLUMBIA, MARYLAND 21046
703-956-4080

WELLINGTON FARMS
Phase 1 Section 2
Lots 54 thru 132
(previously recorded as Plat No. 26023-26035)

TAX MAP: 46 – GRID: 6 – PARCEL: 163
ZONED: R-20-MXD-3 / R-SC-MXD-3
ELECTION DISTRICT NO. 6 – HOWARD COUNTY, MARYLAND

SITE DEVELOPMENT AND GRADING PLAN

DESIGN: DBT	DRAFT: DBT	DATE: APRIL 7, 2022	BEI PROJECT NO. 3067
		SCALE: AS SHOWN	SHEET 4 OF 13

SDP-22-009

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

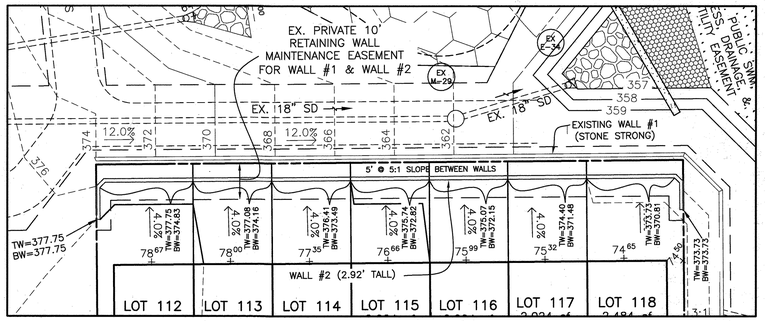
DocuSigned by:
Chad Edmondson
D5F6F9A84923495...
CHIEF, DEVELOPMENT ENGINEERING DIVISION — DATE 4/22/2022

DocuSigned by:
1EB75478A22B49A...
CHIEF, DIVISION OF LAND DEVELOPMENT — DATE 4/25/2022

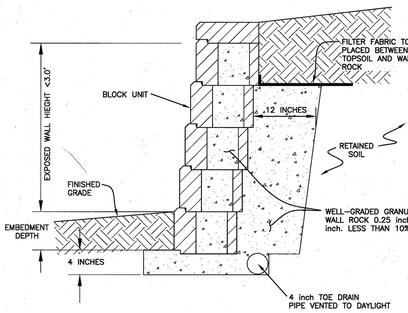
DocuSigned by:
Amy Gowan
5B4D5DD9470C4D4...
DIRECTOR — DATE 4/25/2022

NOTE:
CONTRACTOR TO CHECK INVERTS OF SHC AT RIGHT-OF-WAY/EASEMENT LINE FOR LOTS 93 AND 94 PRIOR TO EXCAVATION FOR BUILDING FOUNDATION TO ENSURE THE MCE CAN BE MAINTAINED.

PARKING RESTRICTION NOTE:
PARKING SHALL ONLY BE ALLOWED ON ONE SIDE OF THE ROAD FOR ALL OF ZOE LANE AND FOR DECLAN ROAD WHERE THE PAVEMENT IS REDUCED TO 24 FEET.



RETAINING WALL #2 DETAIL



TYPICAL RETAINING WALL (LESS THAN 3')
NOT TO SCALE

0 10 20 40
1 inch = 20 ft.

LEGEND OF SYMBOLS

- EXISTING CONTOURS
- 390 PROPOSED CONTOURS
- LIMIT OF SUBMISSION
- EXISTING FOREST CONSERVATION EASEMENT
- EXISTING STREET LIGHTS
- EXISTING FIRE HYDRANT
- EXISTING CROSSWALK
- (M-5) #XX DRY WELL
- XX' BRL BUILDING RESTRICTION LINE
- FF=000.00 BF=000.00 MCE=000.00 FIRST FLOOR ELEVATION / BASEMENT FLOOR ELEVATION / MINIMUM CELLAR ELEVATION
- EX. 18" SD EXISTING STORM DRAIN
- METER / C/O EXISTING 1.5" WHC
- EXISTING 4" SHC

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

DocuSigned by: Chad Edmondson 4/22/2022	
CHIEF, DEVELOPMENT ENGINEERING DIVISION	DATE
DocuSigned by: 4/25/2022	
CHIEF, DIVISION OF LAND DEVELOPMENT	DATE
DocuSigned by: Amy Gowan 4/25/2022	
DIRECTOR	DATE

0 15 30 60
1 inch = 30 ft.

NO.	DATE	REVISION
2	12.29.2022	ADD A TYLER W/3RD CAR FRONT LOAD GARAGE ON LOT 100
1	10.12.2022	ADD TYLER W/3RD CAR FRONT LOAD GARAGE ON LOT 101.

BENCHMARK
ENGINEERING, INC.
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8480 BALTIMORE NATIONAL PIKE ▲ SUITE 315 ▲ ELLICOTT CITY, MARYLAND 21043
(P) 410-465-6105 (F) 410-465-6644
WWW.BEI-CIVILENGINEERING.COM

Professional Certification. I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland, License No. 22390, Expiration Date: 6-30-2023.

STATE OF MARYLAND — CHRISTOPHER A. MYERS — 22390 — PROFESSIONAL ENGINEER

4/06/2022

OWNER:
ESC WELLINGTON, L.C.
5074 DORSEY HALL DRIVE, SUITE 205
ELLICOTT CITY, MARYLAND 21042
410-720-3021

BUILDER:
NVR
9720 PATUXENT WOODS DRIVE
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WELLINGTON FARMS
Phase 1 Section 2
Lots 54 thru 132
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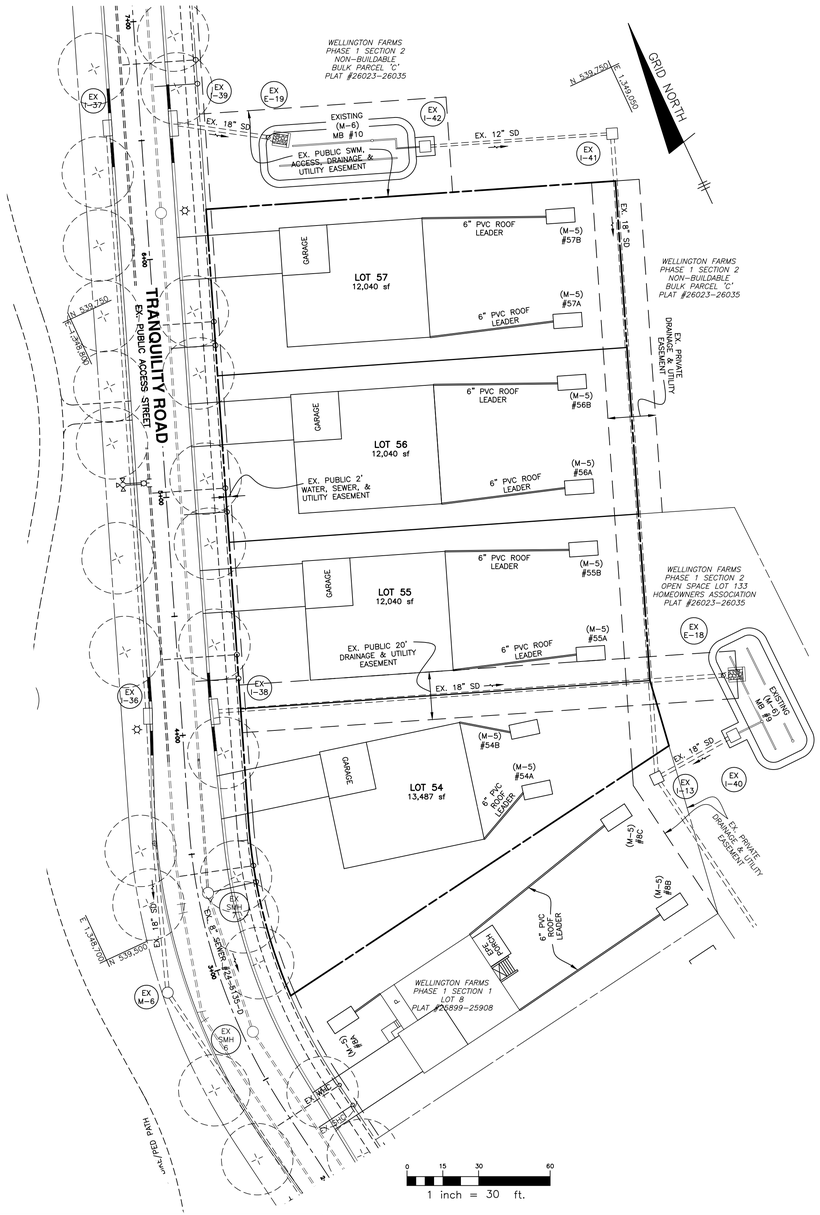
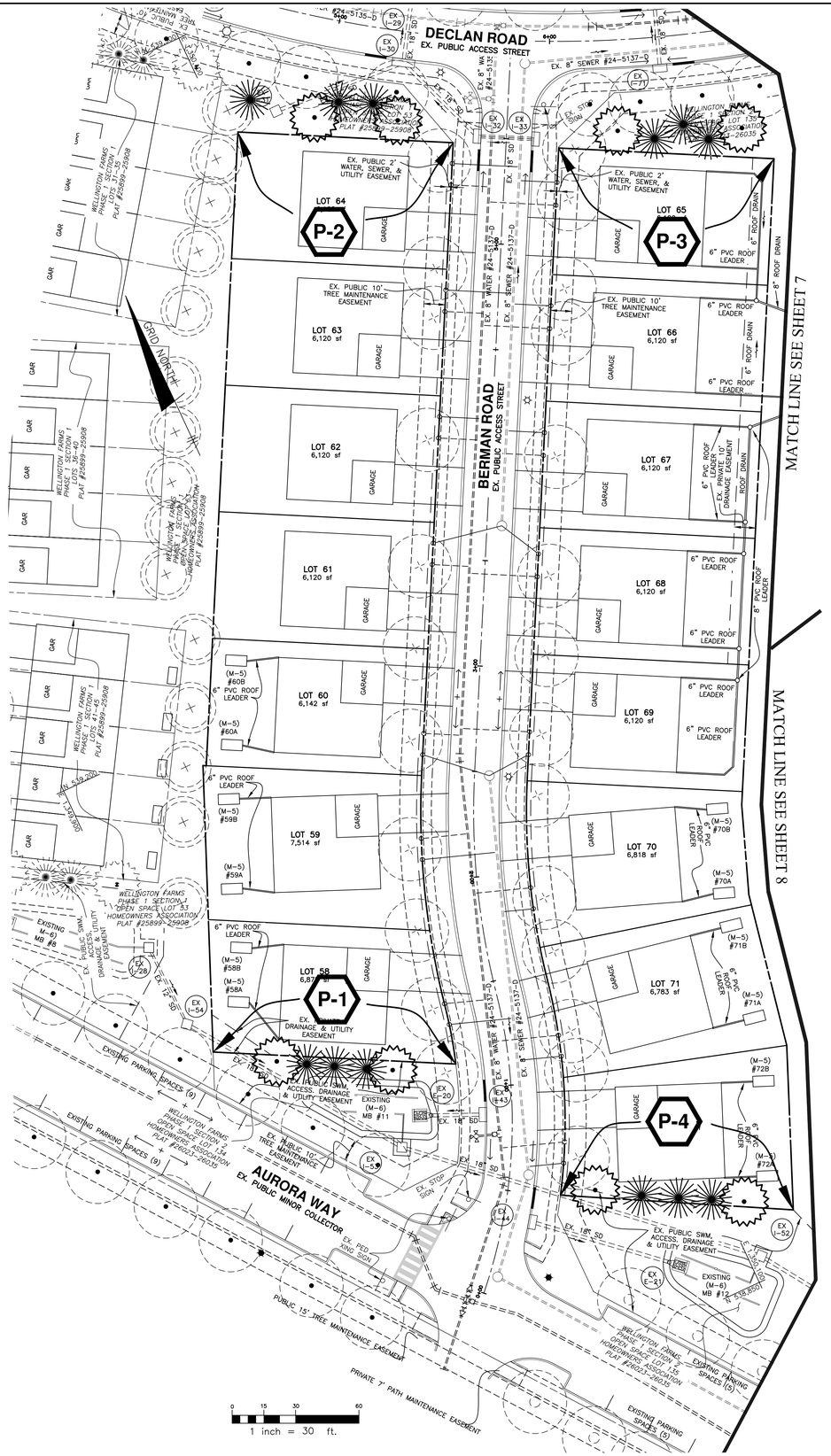
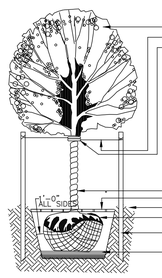
SITE DEVELOPMENT AND GRADING PLAN

DESIGN: DBT	DRAFT: DBT	DATE: APRIL 7, 2022	BEI PROJECT NO. 3067
		SCALE: AS SHOWN	SHEET 5 OF 13

SDP-22-009

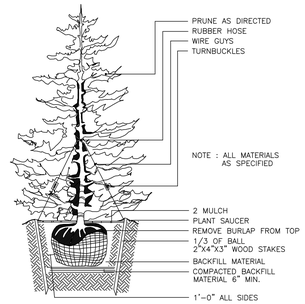






TYPICAL DECIDUOUS TREE PLANTING DETAIL

NOT TO SCALE



TYPICAL EVERGREEN TREE PLANTING DETAIL

NOT TO SCALE

LANDSCAPE NOTES:

1. THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE PROVISIONS OF SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE HOWARD COUNTY LANDSCAPE MANUAL.

2. STREET TREE LOCATIONS:
   A. WHEN THE DISTANCE BETWEEN THE CURB AND SIDEWALK IS 6 FEET OR GREATER, THE TREES SHALL BE LOCATED WITHIN THE RIGHT-OF-WAY AND SHALL BE CENTERED BETWEEN THE CURB AND SIDEWALK.
   B. WHEN THE DISTANCE BETWEEN THE CURB AND SIDEWALK IS LESS THAN 6 FEET, TREES MAY BE PLANTED 3 FEET FROM THE SIDEWALK IN THE DIRECTION AWAY FROM THE ROAD. A 10-FOOT WIDE TREE MAINTENANCE EASEMENT SHALL BE REQUIRED IF THE RIGHT-OF-WAY IS LIMITED.
   C. TREES SHALL BE PLANTED 6 FEET BEHIND CURB WHEN THERE ARE NO SIDEWALKS.
   D. TREES TO BE PLANTED MINIMUM 30 FEET FROM SIGNS AND INTERSECTIONS WHEN PLANTED BETWEEN SIDEWALK AND CURB. TREES MAY NOT BE PLANTED WITHIN 5 FEET OF A STORM DRAIN INLET, OPEN SPACE ACCESS STRIP, OR 10 FEET OF A DRIVEWAY.

3. AT THE TIME OF INSTALLMENT, ALL SHRUBS AND OTHER PLANTINGS HEREWITH LISTED AND APPROVED FOR THIS SITE, SHALL BE OF THE PROPER HEIGHT REQUIREMENTS IN ACCORDANCE WITH THE HOWARD COUNTY LANDSCAPE MANUAL. IN ADDITION, NO SUBSTITUTIONS OR RELOCATION OF REQUIRED PLANTINGS MAY BE MADE WITHOUT PRIOR REVIEW AND APPROVAL FROM THE DEPARTMENT OF PLANNING AND ZONING. ANY DEVIATION FROM THIS APPROVED LANDSCAPE PLAN MAY RESULT IN DENIAL OR DELAY IN RELEASE OF LANDSCAPE SURETY UNTIL SUCH TIME AS ALL REQUIRED MATERIALS ARE PLANTED AND/OR REVISIONS ARE MADE TO APPLICABLE PLANS AND CERTIFICATIONS.

4. THE OWNER, TENANTS AND/OR THEIR AGENTS SHALL BE RESPONSIBLE FOR MAINTENANCE OF THE REQUIRED LANDSCAPING INCLUDING BOTH PLANT MATERIALS AND BERMS, FENCES AND WALLS. ALL PLANT MATERIALS SHALL BE MAINTAINED IN GOOD GROWING CONDITION, AND WHEN NECESSARY, REPLACED WITH NEW MATERIALS TO ENSURE CONTINUED COMPLIANCE WITH APPLICABLE REGULATIONS. ALL OTHER REQUIRED LANDSCAPING SHALL BE PERMANENTLY MAINTAINED IN GOOD CONDITION, AND WHEN NECESSARY, REPAIRED OR REPLACED.

5. BGE ZONES: TREE HEIGHTS AT MATURITY SHALL BE LIMITED TO 25 FEET MAXIMUM WITHIN THE "GREEN ZONE". TREE HEIGHTS AT MATURITY SHALL BE LIMITED TO 40 FEET MAXIMUM WITHIN THE "YELLOW ZONE". IF TREES ARE TO BE PLANTED ON BERMS THE TREE HEIGHTS SHALL BE REDUCED BY THE HEIGHT OF THE BERM AS MEASURED ABOVE THE MEAN GROUND ELEVATION OF THE UTILITY POLE LINE

6. FINANCIAL SURETY IN THE AMOUNT OF $18,600.00 FOR THE REQUIRED 45 SHADE TREES AND 34 EVERGREEN TREES SHALL BE POSTED AS PART OF THE GRADING PERMIT.

NOTE:
SEE SHEET 8 FOR LANDSCAPE CHARTS AND PLANTING LIST.

BUILDER'S CERTIFICATE

I/WE CERTIFY THAT THE LANDSCAPING SHOWN ON THIS PLAN WILL BE DONE ACCORDING TO THE PLAN, SECTION 16.124 OF THE HOWARD COUNTY SUBDIVISION AND LAND DEVELOPMENT REGULATIONS AND LANDSCAPE MANUAL. I/WE FURTHER CERTIFY THAT UPON COMPLETION OF A LETTER OF LANDSCAPE INSTALLATION, ACCOMPANIED BY AN EXECUTED ONE-YEAR GUARANTEE OF PLANT MATERIALS, WILL BE SUBMITTED TO THE DEPARTMENT OF PLANNING AND ZONING.

Brent Hanauer 2022-04-06

BRENT HANAUER — DATE
NVR

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

DocuSigned by: Chad Edmondson 4/22/2022
CHIEF, DEVELOPMENT ENGINEERING DIVISION — DATE

DocuSigned by: 4/25/2022
CHIEF, DIVISION OF LAND DEVELOPMENT — DATE

DocuSigned by: Amy Gowan 4/25/2022
DIRECTOR — DATE

NO.	DATE	REVISION

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Professional Certification. I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland, License No. 22390, Expiration Date: 6-30-2023.

STATE OF MARYLAND — CHRISTOPHER A. MILLISON — 22390 — PROFESSIONAL ENGINEER

4/06/2022

OWNER:
ESC WELLINGTON, L.C.
5074 DORSEY HALL DRIVE, SUITE 205
ELLICOTT CITY, MARYLAND 21042
410-720-3021

BUILDER:
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9720 PATUXENT WOODS DRIVE
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WELLINGTON FARMS
Phase 1 Section 2
Lots 54 thru 132
(previously recorded as Plat No. 26023-26035)

TAX MAP: 46 – GRID: 6 – PARCEL: 163
ZONED: R-20-MXD-3 / R-SC-MXD-3
ELECTION DISTRICT NO. 6 – HOWARD COUNTY, MARYLAND

LANDSCAPE PLAN

DATE: APRIL 7, 2022 | BEI PROJECT NO. 3067
DESIGN: DBT | DRAFT: DBT | SCALE: AS SHOWN | SHEET 6 OF 13

SDP-22-009

NOTE:
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Brent Hanauer — 2022-04-06
BRENT HANAUER, NVR — DATE

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

DocuSigned by: Chad Edmondson (D5E6F9A84923495...) — 4/22/2022
CHIEF, DEVELOPMENT ENGINEERING DIVISION — DATE

DocuSigned by: (1EB7547BA22B49A...) — 4/25/2022
CHIEF, DIVISION OF LAND DEVELOPMENT — DATE

DocuSigned by: Amy Gowan (5B4D5DD9470C4D4...) — 4/25/2022
DIRECTOR — DATE

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STATE OF MARYLAND — CHRISTOPHER A. MALAGARI — 22390 — PROFESSIONAL ENGINEER — 4/06/2022

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5074 DORSEY HALL DRIVE, SUITE 205
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WELLINGTON FARMS

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LANDSCAPE PLAN

DESIGN: DBT	DRAFT: DBT	DATE: APRIL 7, 2022	BEI PROJECT NO. 3067
		SCALE: AS SHOWN	SHEET 7 OF 13

SDP-22-009

Schedule A
Perimeter Landscape Edge

Category	P-1	P-2	P-3	P-4	P-5	P-6	P-7	P-8	P-9	P-10	P-11	P-12	Totals
Landscape Type	B	B	B	B	B	B	B	B	B	B	B	B	
Linear Feet of Road Frontage or Perimeter	115	102	102	110	110	102	110	103	108	112	92	92	
Credit for Existing Vegetation (Yes, No, Linear Feet) (Describe below if needed)	0	0	0	0	0	0	0	0	0	0	0	0	
Credit for Wall, Fence, or Berm (Yes, No, Linear Feet) (Describe below if needed)	0	0	0	0	0	0	0	0	0	0	0	0	
Linear Feet of Planting	115	102	102	110	110	102	110	103	108	112	92	92	
Number of Plants Required													
Shade Trees	2	2	2	2	2	2	2	2	2	2	2	2	24
Evergreen Trees	3	3	3	3	3	3	3	3	3	3	2	2	34
Other Trees (2:1 substitute)													
Shrubs	0	0	0	0	0	0	0	0	0	0	0	0	0
Number of Plant Provided													
Shade Trees	2	2	2	2	2	2	2	2	2	2	2	2	24
Evergreen Trees	3	3	3	3	3	3	3	3	3	3	2	2	34
Other Trees (2:1 substitute)	0	0	0	0	0	0	0	0	0	0	0	0	0
Shrubs	0	0	0	0	0	0	0	0	0	0	0	0	0

Schedule C
Residential Development Internal Landscaping

Category	SFA	APT
Number of Dwelling Unit	21	0
Number of Trees Required (1:DU SFA; 1:3 DU Apts)	21	0
Number of Trees Provided Shade Trees Other Trees (2:1 substitution)	21	0

LANDSCAPE PLANTING LIST

SYMBOL	QUANTITY	NAME	REMARKS	DESCRIPTION
	21	CATALPA SPECIOSA (Northern Catalpa)	2.5" – 3"cal.	RESIDENTIAL INTERNAL SHADE TREES TO BE PROVIDED BY THE BUILDER
	24	CLADRASTIS KENTUKEA LUTEA (Yellowwood)	2.5" – 3"cal.	SHADE TREES ALONG PERIMETER EDGES TO BE PROVIDED BY THE BUILDER
	34	THUJA PLICATA GIANT ARBORVITAE 'GREEN GIANT'	5' – 6' ht.	EVERGREEN TREES ALONG PERIMETER EDGES TO BE PROVIDED BY THE BUILDER
				EXISTING STREET TREES PLANTED UNDER F-21-025 AND F-21-044
				EXISTING PERIMETER SHADE TREES AND INTERNAL LANDSCAPING TREES PLANTED UNDER F-21-025 OR F-21-044

BUILDER'S CERTIFICATE

I/WE CERTIFY THAT THE LANDSCAPING SHOWN ON THIS PLAN WILL BE DONE ACCORDING TO THE PLAN, SECTION 16.124 OF THE HOWARD COUNTY SUBDIVISION AND LAND DEVELOPMENT REGULATIONS AND LANDSCAPE MANUAL. I/WE FURTHER CERTIFY THAT UPON COMPLETION OF A LETTER OF LANDSCAPE INSTALLATION, ACCOMPANIED BY AN EXECUTED ONE-YEAR GUARANTEE OF PLANT MATERIALS, WILL BE SUBMITTED TO THE DEPARTMENT OF PLANNING AND ZONING.

Brent Hanauer — 2022-04-06

BRENT HANAUER — DATE
NVR

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

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5B4D5DD9470C4D4...
DIRECTOR — DATE

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4/06/2022

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DESIGN: DBT | DRAFT: DBT

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Lots 54 thru 132
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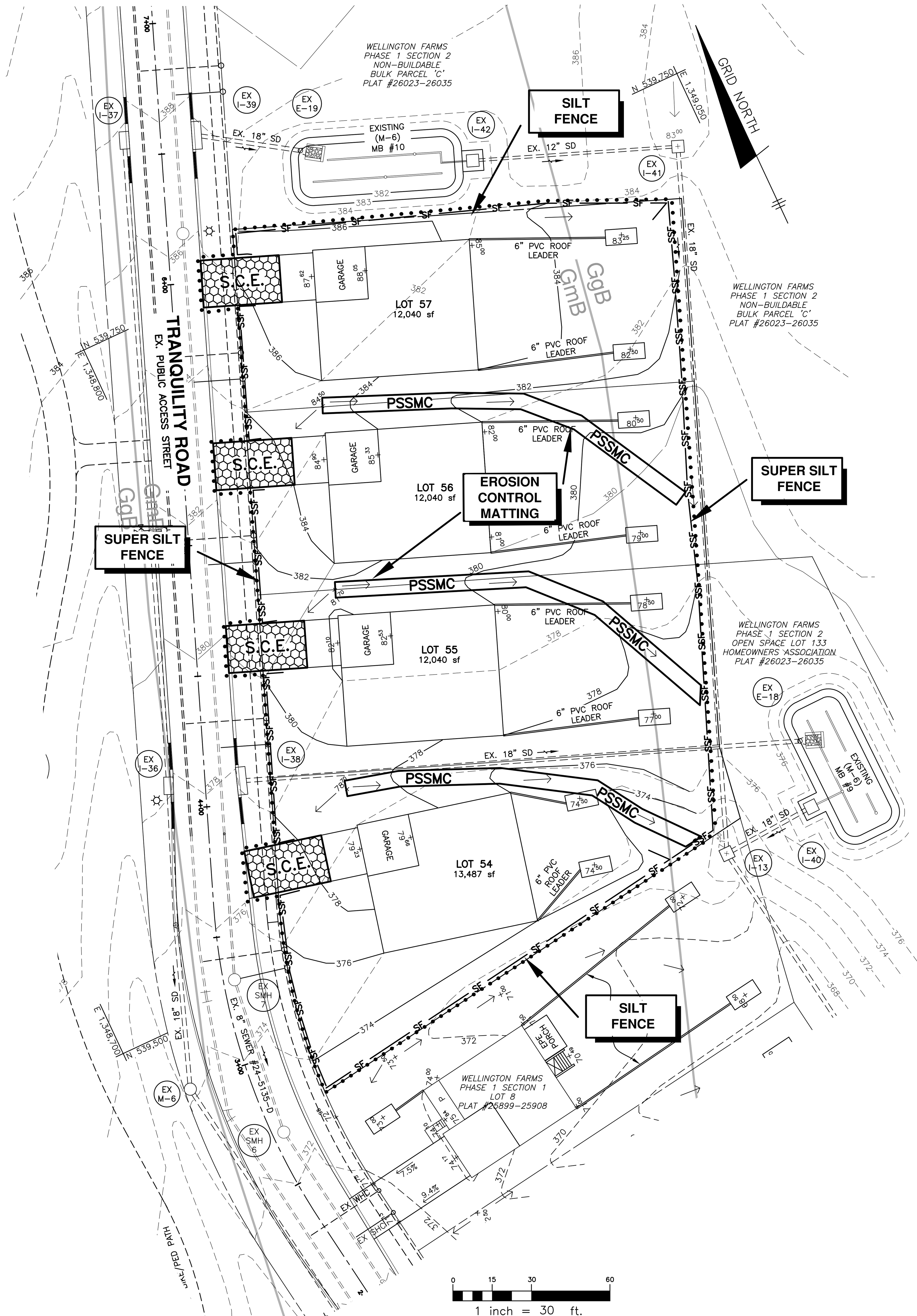
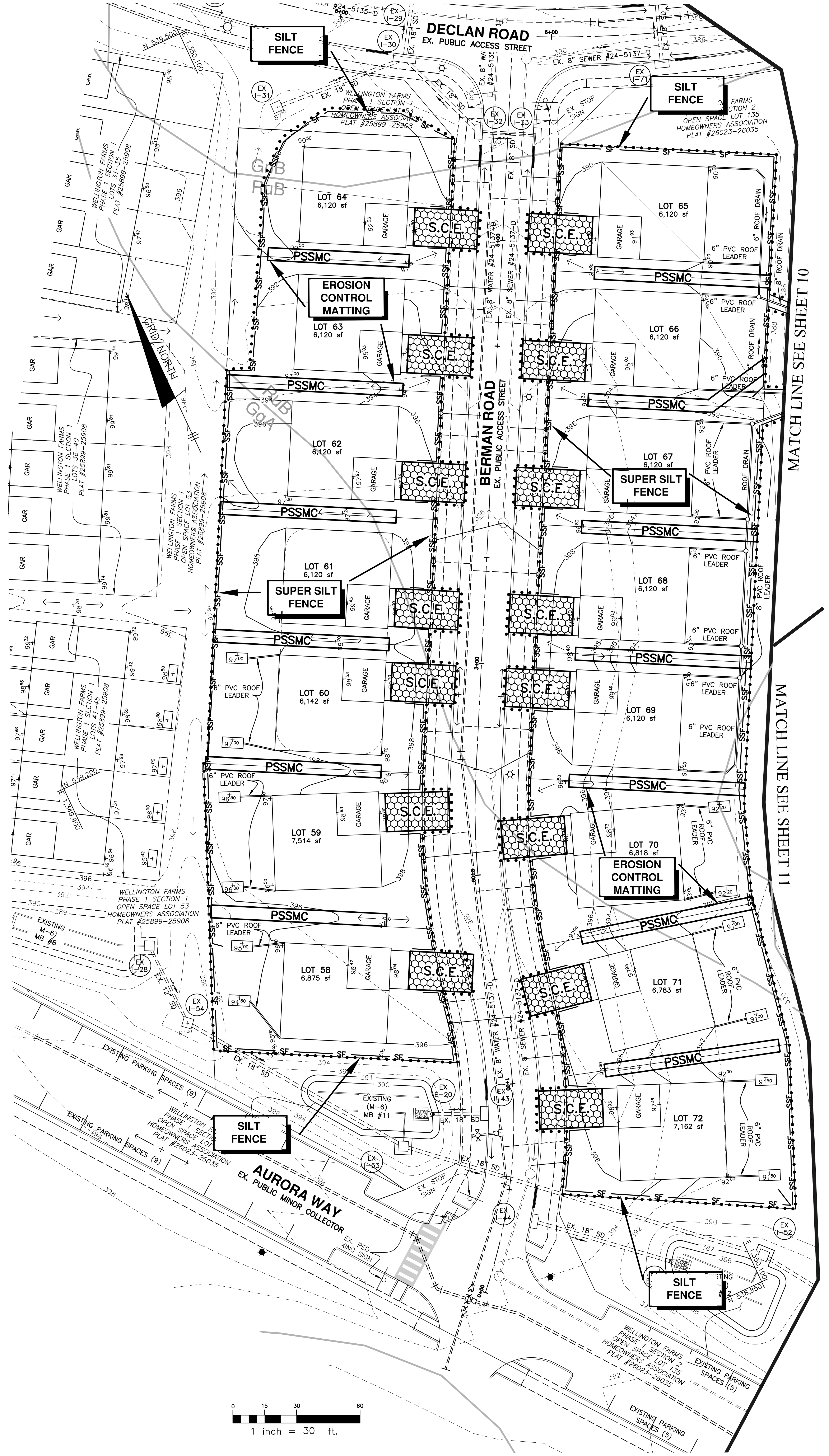
LANDSCAPE PLAN

DATE: APRIL 7, 2022 | BEI PROJECT NO. 3067
SCALE: AS SHOWN | SHEET 8 OF 13

SDP-22-009





SEDIMENT CONTROL LEGEND

Symbol	Description
• • • • • • • •	LIMIT OF DISTURBANCE
—— SF —— SF ——	SILT FENCE
—SSF——SSF——SSF—	SUPER SILT FENCE
S.C.E.	STABILIZED CONSTRUCTION ENTRANCE
———	SOILS LINE
GgB	SOILS TYPE
PSSMC	PERMANENT SOIL STABILIZATION MATTING CHANNEL APPLICATION

NOTE:
SUPER SILT FENCE TO BE UTILIZED ALONG PUBLIC RIGHT-OF-WAY AND AT BOTTOM OF ALL SWALES AS SHOWN THIS PLAN.

THIS PLAN IS FOR SEDIMENT AND EROSION CONTROL ONLY.

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

DocuSigned by: Alexander Bratchie — 4/25/2022
HOWARD SOIL CONSERVATION DISTRICT — DATE

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

DocuSigned by: Chad Edmondson — 4/22/2022
CHIEF, DEVELOPMENT ENGINEERING DIVISION — DATE

DocuSigned by: [signature] — 4/25/2022
CHIEF, DIVISION OF LAND DEVELOPMENT — DATE

DocuSigned by: Amy Gowan — 4/25/2022
DIRECTOR — DATE

ENGINEER'S CERTIFICATE

"I CERTIFY THAT THIS PLAN FOR SEDIMENT AND EROSION CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

Christopher Malagari — 2022-04-06
ENGINEER — DATE

DEVELOPER'S CERTIFICATE

"I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN FOR SEDIMENT AND EROSION CONTROL, AND THAT ALL RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT."

Brent Hanauer — 2022-04-06
DEVELOPER — DATE

NO.	DATE	REVISION

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4/06/2022

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SEDIMENT AND EROSION CONTROL PLAN

DATE: APRIL 7, 2022	BEI PROJECT NO. 3067
DESIGN: DBT / DRAFT: DBT / SCALE: AS SHOWN	SHEET 9 OF 13

SDP-22-009

J:\3067 Wellington Farms\dwg\P1S2\8023 P1S2.dwg, 4/6/2022 11:43:13 AM

SEDIMENT CONTROL LEGEND

- LIMIT OF DISTURBANCE
- SF — SF — SILT FENCE
- SSF — SSF — SSF — SUPER SILT FENCE
- S.C.E. — STABILIZED CONSTRUCTION ENTRANCE
- SOILS LINE
- GgB — SOILS TYPE
- PSSMC — PERMANENT SOIL STABILIZATION M CHANNEL APPLICATION

SUPER SILT FENCE
SILT FENCE
EROSION CONTROL MATTING
MATCH LINE SEE SHEET 9
MATCH LINE SEE SHEET 11
DECLAN ROAD
EX. PUBLIC ACCESS STREET
ZOE LANE
EX. PUBLIC ACCESS PLACE
GENEVIEVE BLVD
EX. PUBLIC MINOR COLLECTOR
WELLINGTON FARMS PHASE 1 SECTION 2 OPEN SPACE LOT 136 HOMEOWNERS ASSOCIATION PLAT #26023-26035
WELLINGTON FARMS PHASE 1 SECTION 2 OPEN SPACE LOT 135 HOMEOWNERS ASSOCIATION PLAT #26023-26035
WELLINGTON FARMS PHASE 1 SECTION 2 OPEN SPACE LOT 137 HOMEOWNERS ASSOCIATION PLAT #26023-26035
WELLINGTON FARMS PHASE 1 SECTION 2 NON-BUILDABLE BULK PARCEL 'E' HOMEOWNERS ASSOCIATION PLAT #26023-26035
WELLINGTON FARMS PHASE 1 SECTION 2 OPEN SPACE LOT 143 HOWARD COUNTY, MD PLAT #26023-26035
LOT 73 6,571 sf
LOT 74 6,582 sf
LOT 75 6,453 sf
LOT 76 6,412 sf
LOT 77 6,412 sf
LOT 78 6,412 sf
LOT 79 6,275 sf
LOT 80 6,326 sf
LOT 81 6,326 sf
LOT 82 6,326 sf
LOT 83 6,878 sf
LOT 84 6,561 sf
LOT 85 6,561 sf
LOT 86 6,561 sf
LOT 87 7,384 sf
LOT 88 7,626 sf
LOT 89 7,626 sf
LOT 90 7,626 sf
LOT 91 7,626 sf
LOT 92 7,626 sf
LOT 104 8,283 sf
LOT 105 8,269 sf
LOT 106 6,120 sf
LOT 107 6,120 sf
LOT 108 6,600 sf
LOT 109 7,137 sf
LOT 110 7,117 sf
LOT 111 7,117 sf
SWM ACCESS BOLLARDS
EXISTING (M-2) SWM #4
EXISTING (M-6) MB #15
EXISTING (M-6) MB #16
EXISTING (M-6) MB #17
EX. 8" WATER #24-5137-D
EX. 8" SEWER #24-5137-D
EX. 12" WATER #24-5137-D
EX. 12" SEWER #24-5137-D
EX. 18" SD
EX. 6" SEWER #24-5137-D
EX. 3" SEWER #24-5137-D
EX. STOP SIGN
EX. RED XING SIGN
EX. STOP SIGN
6" PVC ROOF DRAIN
8" PVC ROOF DRAIN
6" PVC SUBDRAIN
4-RISERS
GARAGE
EX. MAILBOX COLLECTION PAD
EPHEMERAL CHANNEL
50' STREAM BUFFER
25' WETLAND BUFFER
LIMIT OF WETLAND
EX. DEAD END BARRICADE
N 539,500 E 1,350,000
N 539,200 E 1,350,300

NOTE:
SUPER SILT FENCE TO BE UTILIZED ALONG PUBLIC RIGHT-OF-WAY AND AT BOTTOM OF ALL SWALES AS SHOWN THIS PLAN.

THIS PLAN IS FOR SEDIMENT AND EROSION CONTROL ONLY.

0 15 30 60
1 inch = 30 ft.

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

DocuSigned by: Alexander Bratchie 4/25/2022
HOWARD SOIL CONSERVATION DISTRICT — DATE

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

DocuSigned by: Chad Edmondson 4/22/2022
CHIEF, DEVELOPMENT ENGINEERING DIVISION — DATE

DocuSigned by: 4/25/2022
CHIEF, DIVISION OF LAND DEVELOPMENT — DATE

DocuSigned by: Amy Gowan 4/25/2022
DIRECTOR — DATE

ENGINEER'S CERTIFICATE

"I CERTIFY THAT THIS PLAN FOR SEDIMENT AND EROSION CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

Christopher Malagari 2022-04-06
ENGINEER — DATE

DEVELOPER'S CERTIFICATE

"I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN FOR SEDIMENT AND EROSION CONTROL, AND THAT ALL RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT."

Brent Hanauer 2022-04-06
DEVELOPER — DATE

NO.	DATE	REVISION

BENCHMARK
ENGINEERS ▲ LAND SURVEYORS ▲ PLANNERS
ENGINEERING, INC.
8480 BALTIMORE NATIONAL PIKE ▲ SUITE 315 ▲ ELLICOTT CITY, MARYLAND 21043
(P) 410-465-6105 (F) 410-465-6644
WWW.BEI-CIVILENGINEERING.COM

Professional Certification. I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland, License No. 22390, Expiration Date: 6-30-2023.

STATE OF MARYLAND — CHRISTOPHER A. MALAGARI — 22390 — PROFESSIONAL ENGINEER

4/06/2022

OWNER:
ESC WELLINGTON, L.C.
5074 DORSEY HALL DRIVE, SUITE 205
ELLICOTT CITY, MARYLAND 21042
410-720-3021

BUILDER:
NVR
9720 PATUXENT WOODS DRIVE
COLUMBIA, MARYLAND 21046
703-956-4080

WELLINGTON FARMS

Phase 1 Section 2
Lots 54 thru 132
(previously recorded as Plat No. 26023-26035)

TAX MAP: 6 – GRID: 6 – PARCEL: 163
ZONED: R-20-MXD-3 / R-SC-MXD-3
ELECTION DISTRICT NO. 6 – HOWARD COUNTY, MARYLAND

SEDIMENT AND EROSION CONTROL PLAN

DESIGN: DBT	DRAFT: DBT	DATE: APRIL 7, 2022	BEI PROJECT NO. 3067
		SCALE: AS SHOWN	SHEET 10 OF 13

SDP-22-009

SOILS CHART - SOIL SURVEY HOWARD COUNTY, MARYLAND					
SYMBOL	HYDRIC	HYDROLOGIC GROUP	NAME	k-VALUE	ERODIBLE
GgA		B	GLENELG LOAM, 0 TO 3 PERCENT SLOPES	0.20	NO
GgB		B	GLENELG LOAM, 3 TO 8 PERCENT SLOPES	0.20	NO
GmB*	YES	C	GLENVILLE SILT LOAM, 3 TO 8 PERCENT SLOPES	0.37	YES
GmC		C	GLENVILLE SILT LOAM, 8 TO 15 PERCENT SLOPES	0.37	NO
GnB*	YES	C	GLENVILLE-BAILE SILT LOAM, 0 TO 8 PERCENT SLOPES	0.37/0.32	NO
MaC		B	MANOR LOAM, 8 TO 15 PERCENT SLOPES	0.24	YES
MaD		B	MANOR LOAM, 15 TO 25 PERCENT SLOPES	0.24	YES
RuB		C	RUSSETT AND BELTSVILLE SOIL, 2 TO 5 PERCENT SLOPES	0.24/0.37	NO

HSCD Newsletter dated April, 2013 defines erodible soils as those soils with a slope greater than 15 percent or those soils with a soil erodibility factor K greater than 0.35 and with a slope greater than 5%.

SEDIMENT CONTROL LEGEND

- LIMIT OF DISTURBANCE
- SF — SF — SILT FENCE
- SUPER SILT FENCE
- S.C.E. — STABILIZED CONSTRUCTION ENTRANCE
- SOILS LINE
- GgB — SOILS TYPE
- PSSMC — PERMANENT SOIL STABILIZATION MATTING CHANNEL APPLICATION

NOTE:
SUPER SILT FENCE TO BE UTILIZED ALONG PUBLIC RIGHT-OF-WAY AND AT BOTTOM OF ALL SWALES AS SHOWN THIS PLAN.

MATCH LINE SEE SHEET 10

MATCH LINE SEE SHEET 9

WELLINGTON FARMS PHASE 1 SECTION 2 OPEN SPACE LOT 140 HOMEOWNERS ASSOCIATION PLAT #26023-26035

WELLINGTON FARMS PHASE 1 SECTION 2 OPEN SPACE LOT 143 HOWARD COUNTY, MD PLAT #26023-26035

WELLINGTON FARMS PHASE 1 SECTION 2 OPEN SPACE LOT 141 HOMEOWNERS ASSOCIATION PLAT #26023-26035 — EXISTING (M-2) SCW #6

WELLINGTON FARMS PHASE 1 SECTION 2 OPEN SPACE LOT 142 HOMEOWNERS ASSOCIATION PLAT #26023-26035

WELLINGTON FARMS PHASE 1 SECTION 2 OPEN SPACE LOT 135 HOMEOWNERS ASSOCIATION PLAT #26023-26035

WELLINGTON FARMS PHASE 1 SECTION 2 NON-BUILDABLE BULK PARCEL 'D' PLAT #26023-26035

GRID NORTH

ALL SIGNS TO BE R1-1 (30"x30")

LOT 93 7,626 sf — LOT 94 7,626 sf — LOT 95 7,626 sf — LOT 96 7,626 sf — LOT 97 7,626 sf — LOT 98 — LOT 99 7,626 sf — LOT 100 8,215 sf — LOT 101 8,283 sf — LOT 102 8,283 sf — LOT 103 8,283 sf

LOT 112 2,484 sf — LOT 113 2,024 sf — LOT 114 2,024 sf — LOT 115 2,024 sf — LOT 116 2,024 sf — LOT 117 2,024 sf — LOT 118 2,484 sf — LOT 119 2,487 sf — LOT 120 2,028 sf — LOT 121 2,028 sf — LOT 122 2,028 sf — LOT 123 2,489 sf — LOT 124 2,484 sf — LOT 125 2,024 sf — LOT 126 2,024 sf — LOT 127 2,024 sf — LOT 128 2,484 sf — LOT 129 2,484 sf — LOT 132 2,484 sf

ZOE LANE — EX. PUBLIC ACCESS PLACE

GENEVIEVE BLVD — EX. PUBLIC MINOR COLLECTOR

CULTIVATOR ROAD — EX. PUBLIC ACCESS STREET

AURORA WAY — EX. PUBLIC MINOR COLLECTOR

EX. 8" SEWER #24-5137-D — EX. 8" WATER #24-5137-D — EX. 12" WATER #24-5137-D — EX. 18" SD — EX. 6" SEWER #24-5137-D

SILT FENCE — SUPER SILT FENCE — EROSION CONTROL MATTING — A.G.I.P. — S.C.E. — PSSMC — 6" PVC ROOF DRAIN — EX. PED XING SIGN — EX. STOP SIGN — EX. SWM ACCESS — EX. MAILBOX COLLECTION PAD — SWM ACCESS BOLLARDS — EX. WALL #1 — RETAINING WALL #2 — EXISTING PARKING SPACES (10) — EXISTING PARKING SPACES (4) — EXISTING PARKING SPACES (2) — EXISTING (M-6) MB #13 — EXISTING (M-5) MB #14 — 75' STREAM BUFFER — 25' WETLANDS BUFFER — LIMIT OF WETLANDS

GgB — GgA — GmB

0 15 30 60
1 inch = 30 ft.

THIS PLAN IS FOR SEDIMENT AND EROSION CONTROL ONLY.

ENGINEER'S CERTIFICATE

"I CERTIFY THAT THIS PLAN FOR SEDIMENT AND EROSION CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

Christopher Malagari 2022-04-06

ENGINEER — DATE

DEVELOPER'S CERTIFICATE

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Brent Hanauer 2022-04-06

DEVELOPER — DATE

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

DocuSigned by: Alexander Bratchie 4/25/2022

HOWARD SOIL CONSERVATION DISTRICT — DATE

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

DocuSigned by: Chad Edmondson 4/22/2022

CHIEF, DEVELOPMENT ENGINEERING DIVISION — DATE

DocuSigned by: 4/25/2022

CHIEF, DIVISION OF LAND DEVELOPMENT — DATE

DocuSigned by: Amy Gowan 4/25/2022

DIRECTOR — DATE

NO.	DATE	REVISION

BENCHMARK ENGINEERING, INC.
ENGINEERS ▲ LAND SURVEYORS ▲ PLANNERS
8480 BALTIMORE NATIONAL PIKE ▲ SUITE 315 ▲ ELLICOTT CITY, MARYLAND 21043
(P) 410-465-6105 (F) 410-465-6644
WWW.BEI-CIVILENGINEERING.COM

Professional Certification. I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland, License No. 22390, Expiration Date: 6-30-2023.

STATE OF MARYLAND — CHRISTOPHER A. MALAGARI — 22390 — PROFESSIONAL ENGINEER

4/06/2022

OWNER:
ESC WELLINGTON, L.C.
5074 DORSEY HALL DRIVE, SUITE 205
ELLICOTT CITY, MARYLAND 21042
410-720-3021

BUILDER:
NVR
9720 PATUXENT WOODS DRIVE
COLUMBIA, MARYLAND 21046
703-956-4080

WELLINGTON FARMS

Phase 1 Section 2
Lots 54 thru 132
(previously recorded as Plat No. 26023-26035)

TAX MAP: 46 — GRID: 6 — PARCEL: 163
ZONED: R-20-MXD-3 / R-SC-MXD-5
ELECTION DISTRICT NO. 6 — HOWARD COUNTY, MARYLAND

SEDIMENT AND EROSION CONTROL PLAN

DESIGN: DBT	DRAFT: DBT	DATE: APRIL 7, 2022	BEI PROJECT NO. 3067
		SCALE: AS SHOWN	SHEET 11 OF 13

SDP-22-009

B-4 STANDARDS AND SPECIFICATIONS
FOR
VEGETATIVE STABILIZATION

Definition

Using vegetation as cover to protect exposed soil from erosion.

Purpose

To promote the establishment of vegetation on exposed soil.

Conditions Where Practice Applies

On all disturbed areas not stabilized by other methods. This specification is divided into sections on incremental stabilization; soil preparation, soil amendments and topsoiling; seeding and mulching; temporary stabilization; and permanent stabilization.

Effects on Water Quality and Quantity

Stabilization practices are used to promote the establishment of vegetation on exposed soil. When soil is stabilized with vegetation, the soil is less likely to erode and more likely to allow infiltration of rainfall, thereby reducing sediment loads and runoff to downstream areas.
Planting vegetation in disturbed areas will have an effect on the water budget, especially on volumes and rates of runoff, infiltration, evaporation, transpiration, percolation, and groundwater recharge. Over time, vegetation will increase organic matter content and improve the water holding capacity of the soil and subsequent plant growth.
Vegetation will help reduce the movement of sediment, nutrients, and other chemicals carried by runoff to receiving waters. Plants will also help protect groundwater supplies by assimilating those substances present within the root zone.
Sediment control practices must remain in place during grading, seedbed preparation, seeding, mulching, and vegetative establishment.

Adequate Vegetative Establishment

Inspect seeded areas for vegetative establishment and make necessary repairs, replacements, and reseedings within the planting season.
1. Adequate vegetative stabilization requires 95 percent groundcover.
2. If an area has less than 40 percent groundcover, restabilize following the original recommendations for lime, fertilizer, seedbed preparation, and seeding.
3. If an area has between 40 and 94 percent groundcover, over-seed and fertilize using half of the rates originally specified.
4. Maintenance fertilizer rates for permanent seeding are shown in Table B.6.

B-4-1 STANDARDS AND SPECIFICATIONS
FOR
INCREMENTAL STABILIZATION

Definition

Establishment of vegetative cover on cut and fill slopes.

Purpose

To provide timely vegetative cover on cut and fill slopes as work progresses.

Conditions Where Practice Applies

Any cut or fill slope greater than 15 feet in height. This practice also applies to stockpiles.

Criteria

A. Incremental Stabilization - Cut Slopes
1. Excavate and stabilize cut slopes in increments not to exceed 15 feet in height. Prepare seedbed and apply seed and mulch on all cut slopes as the work progresses.
2. Construction sequence example (Refer to Figure B.1):
a. Construct and stabilize all temporary swales or dikes that will be used to convey runoff around the excavation.
b. Perform Phase 1 excavation, prepare seedbed, and stabilize.
c. Perform Phase 2 excavation, prepare seedbed, and stabilize. Overseed Phase 1 areas as necessary.
d. Perform final phase excavation, prepare seedbed, and stabilize. Overseed previously seeded areas as necessary.

Note: Once excavation has begun the operation should be continuous from grubbing through the completion of grading and placement of topsoil (if required) and permanent seed and mulch. Any interruptions in the operation or completing the operation out of the seeding season will necessitate the application of temporary stabilization

B. Incremental Stabilization - Fill Slopes
1. Construct and stabilize fill slopes in increments not to exceed 15 feet in height. Prepare seedbed and apply seed and mulch on all slopes as the work progresses.
2. Stabilize slopes immediately when the vertical height of a lift reaches 15 feet, or when the grading operation ceases as prescribed in the plans.
3. At the end of each day, install temporary water conveyance practice(s), as necessary, to intercept surface runoff and convey it down the slope in a non-erosive manner.
4. Construction sequence example (Refer to Figure B.2):
a. Construct and stabilize all temporary swales or dikes that will be used to divert runoff around the fill. Construct silt fence on low side of fill unless other methods shown on the plans address this area.
b. At the end of each day, install temporary water conveyance practice(s), as necessary, to intercept surface runoff and convey it down the slope in a non-erosive manner.
c. Place Phase 1 fill, prepare seedbed, and stabilize.
d. Place Phase 2 fill, prepare seedbed, and stabilize.
e. Place final phase fill, prepare seedbed, and stabilize. Overseed previously seeded areas as necessary.

Note: Once the placement of fill has begun the operation should be continuous from grubbing through the completion of grading and placement of topsoil (if required) and permanent seed and mulch. Any interruptions in the operation or completing the operation out of the seeding season will necessitate the application of temporary stabilization.
Figure B.
.

ENGINEER'S CERTIFICATE

"I CERTIFY THAT THIS PLAN FOR SEDIMENT AND EROSION CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

Christopher Malagari 2022-04-06

ENGINEER DATE

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Brent Hanauer 2022-04-06

DEVELOPER DATE

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DocuSigned by: *Alexander Bratchie* 4/25/2022
65648D5BA0B64C1...
HOWARD SOIL CONSERVATION DISTRICT DATE

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

DocuSigned by: *Chad Edmondson* 4/22/2022
D5F6F9A84923495...
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

DocuSigned by: [signature] 4/25/2022
1EB75478A92B48A...
CHIEF, DIVISION OF LAND DEVELOPMENT DATE

DocuSigned by: *Amy Gowan* 4/25/2022
5B4D5DD9470C4D4...
DIRECTOR DATE

B-4-2 STANDARDS AND SPECIFICATIONS
FOR
SOIL PREPARATION, TOPSOILING, AND SOIL AMENDMENTS

Definition

The process of preparing the soils to sustain adequate vegetative stabilization.

Purpose

To provide a suitable soil medium for vegetative growth.

Conditions Where Practice Applies

Where vegetative stabilization is to be established.

Criteria

A. Soil Preparation
1. Temporary Stabilization
a. Seedbed preparation consists of loosening soil to a depth of 3 to 5 inches by means of suitable agricultural or construction equipment, such as disc harrows or chisel plows or rippers mounted on construction equipment. After the soil is loosened, it must not be rolled or dragged smooth but left in the roughened condition. Slopes 3:1 or flatter are to be tracked with ridges running parallel to the contour of the slope.
b. Apply fertilizer and lime as prescribed on the plans.
c. Incorporate lime and fertilizer into the top 3 to 5 inches of soil by disking or other suitable means.
2. Permanent Stabilization
a. A soil test is required for any earth disturbance of 5 acres or more. The minimum soil conditions required for permanent vegetative establishment are:
i. Soil pH between 6.0 and 7.0.
ii. Soluble salts less than 500 parts per million (ppm).
iii. Soil contains less than 40 percent clay but enough fine grained material (greater than 30 percent silt plus clay) to provide the capacity to hold a moderate amount of moisture. An exception: if lovegrass will be planted, then a sandy soil (less than 30 percent silt plus clay) would be acceptable.
iv. Soil contains 1.5 percent minimum organic matter by weight.
v. Soil contains sufficient pore space to permit adequate root penetration.
b. Application of amendments or topsoil is required if on-site soils do not meet the above conditions.
c. Graded areas must be maintained in a true and even grade as specified on the approved plan, then scarified or otherwise loosened to a depth of 3 to 5 inches.
d. Apply soil amendments as specified on the approved plan or as indicated by the results of a soil test.
e. Mix soil amendments into the top 3 to 5 inches of soil by disking or other suitable means. Rake lawn areas to smooth the surface, remove large objects like stones and branches, and ready the area for seed application. Loosen surface soil by dragging with a heavy chain or other equipment to roughen the surface where site conditions will not permit normal seedbed preparation. Track slopes 3:1 or flatter with tracked equipment leaving the soil in an irregular condition with ridges running parallel to the contour of the slope. Leave the top 1 to 3 inches of soil loose and friable. Seedbed loosening may be unnecessary on newly disturbed areas.

B. Topsoiling
1. Topsoil is placed over prepared subsoil prior to establishment of permanent vegetation. The purpose is to provide a suitable soil medium for vegetative growth. Soils of concern have low moisture content, low nutrient levels, low pH, materials toxic to plants, and/or unacceptable soil gradation.
2. Topsoil salvaged from an existing site may be used provided it meets the standards as set forth in these specifications. Typically, the depth of topsoil to be salvaged for a given soil type can be found in the representative soil profile section in the Soil Survey published by USDA-NRCS.
3. Topsoiling is limited to areas having 2:1 or flatter slopes where:
a. The texture of the exposed subsoil/parent material is not adequate to produce vegetative growth.
b. The soil material is so shallow that the rooting zone is not deep enough to support plants or furnish continuing supplies of moisture and plant nutrients.
c. The original soil to be vegetated contains material toxic to plant growth.
d. The soil is so acidic that treatment with limestone is not feasible.
4. Areas having slopes steeper than 2:1 require special consideration and design.
5. Topsoil Specifications: Soil to be used as topsoil must meet the following criteria:
a. Topsoil must be a loam, sandy loam, clay loam, silt loam, sandy clay loam, or loamy sand. Other soils may be used if recommended by an agronomist or soil scientist and approved by the appropriate approval authority. Topsoil must not be a mixture of contrasting textured subsoils and must contain less than 5 percent by volume of cinders, stones, slag, coarse fragments, gravel, sticks, roots, trash, or other materials larger than 1½ inches in diameter.
b. Topsoil must be free of noxious plants or plant parts such as Bermuda grass, quack grass, Johnson grass, nut sedge, poison ivy, thistle, or others as specified.
c. Topsoil substitutes or amendments, as recommended by a qualified agronomist or soil scientist and approved by the appropriate approval authority, may be used in lieu of natural topsoil.
6. Topsoil Application
a. Erosion and sediment control practices must be maintained when applying topsoil.
b. Uniformly distribute topsoil in a 5 to 8 inch layer and lightly compact to a minimum thickness of 4 inches. Spreading is to be performed in such a manner that sodding or seeding can proceed with a minimum of additional soil preparation and tillage. Any irregularities in the surface resulting from topsoiling or other operations must be corrected in order to prevent the formation of depressions or water pockets.
c. Topsoil must not be placed if the topsoil or subsoil is in a frozen or muddy condition, when the subsoil is excessively wet or in a condition that may otherwise be detrimental to proper grading and seedbed preparation.

C. Soil Amendments (Fertilizer and Lime Specifications)
1. Soil tests must be performed to determine the exact ratios and application rates for both lime and fertilizer on sites having disturbed areas of 5 acres or more. Soil analysis may be performed by a recognized private or commercial laboratory. Soil samples taken for engineering purposes may also be used for chemical analyses.
2. Fertilizers must be uniform in composition, free flowing and suitable for accurate application by appropriate equipment. Manure may be substituted for fertilizer with prior approval from the appropriate approval authority. Fertilizers must all be delivered to the site fully labeled according to the applicable laws and must bear the name, trade name or trademark and warranty of the producer.
3. Lime materials must be ground limestone (hydrated or burnt lime may be substituted except when hydroseeding) which contains at least 50 percent total oxides (calcium oxide plus magnesium oxide). Limestone must be ground to such fineness that at least 50 percent will pass through a #100 mesh sieve and 98 to 100 percent will pass through a #20 mesh sieve.
4. Lime and fertilizer are to be evenly distributed and incorporated into the top 3 to 5 inches of soil by disking or other suitable means.
5. Where the subsoil is either highly acidic or composed of heavy clays, spread ground limestone at the rate of 4 to 8 tons/acre (200-400 pounds per 1,000 square feet) prior to the placement of topsoil.

B-4-3 STANDARDS AND SPECIFICATIONS
FOR
SEEDING AND MULCHING

Definition

The application of seed and mulch to establish vegetative cover.

Purpose

To protect disturbed soils from erosion during and at the end of construction.

Conditions Where Practice Applies

To the surface of all perimeter controls, slopes, and any disturbed area not under active grading.

Criteria

A. Seeding
1. Specifications
a. All seed must meet the requirements of the Maryland State Seed Law. All seed must be subject to re-testing by a recognized seed laboratory. All seed used must have been tested within the 6 months immediately preceding the date of sowing such material on any project. Refer to Table B.4 regarding the quality of seed. Seed tags must be available upon request to the inspector to verify type of seed and seeding rate.
b. Mulch alone may be applied between the fall and spring seeding dates only if the ground is frozen. The appropriate seeding mixture must be applied when the ground thaws.
c. Inoculants: The inoculant for treating legume seed in the seed mixtures must be a pure culture of nitrogen fixing bacteria prepared specifically for the species. Inoculants must not be used later than the date indicated on the container. Add fresh inoculants as directed on the package. Use four times the recommended rate when hydroseeding. Note: It is very important to keep inoculant as cool as possible until used. Temperatures above 75 to 80 degrees Fahrenheit can weaken bacteria and make the inoculant less effective.
d. Sod or seed must not be placed on soil which has been treated with soil sterilants or chemicals used for weed control until sufficient time has elapsed (14 days min.) to permit dissipation of phyto-toxic materials.
2. Application
a. Dry Seeding: This includes use of conventional drop or broadcast spreaders.
i. Incorporate seed into the subsoil at the rates prescribed on Temporary Seeding Table B.1, Permanent Seeding Table B.3, or site-specific seeding summaries.
ii. Apply seed in two directions, perpendicular to each other. Apply half the seeding rate in each direction. Roll the seeded area with a weighted roller to provide good seed to soil contact.
b. Drill or Cultipacker Seeding: Mechanized seeders that apply and cover seed with soil.
i. Cultipacking seeders are required to bury the seed in such a fashion as to provide at least 1/4 inch of soil covering. Seedbed must be firm after planting.
ii. Apply seed in two directions, perpendicular to each other. Apply half the seeding rate in each direction.
c. Hydroseeding: Apply seed uniformly with hydroseeder (slurry includes seed and fertilizer).
i. If fertilizer is being applied at the time of seeding, the application rates should not exceed the following: nitrogen, 100 pounds per acre total of soluble nitrogen; P2O5 (phosphorous), 200 pounds per acre; K2O (potassium), 200 pounds per acre.
ii. Lime: Use only ground agricultural limestone (up to 3 tons per acre may be applied by hydroseeding). Normally, not more than 2 tons are applied by hydroseeding at any one time. Do not use burnt or hydrated lime when hydroseeding.
iii. Mix seed and fertilizer on site and seed immediately and without interruption.
iv. When hydroseeding do not incorporate seed into the soil.

B. Mulching
1. Mulch Materials (in order of preference)
a. Straw consisting of thoroughly threshed wheat, rye, oat, or barley and reasonably bright in color. Straw is to be free of noxious weed seeds as specified in the Maryland Seed Law and not musty, moldy, caked, decayed, or excessively dusty. Note: Use only sterile straw mulch in areas where one species of grass is desired.
b. Wood Cellulose Fiber Mulch (WCFM) consisting of specially prepared wood cellulose processed into a uniform fibrous physical state.
i. WCFM is to be dyed green or contain a green dye in the package that will provide an appropriate color to facilitate visual inspection of the uniformly spread slurry.
ii. WCFM, including dye, must contain no germination or growth inhibiting factors.
iii. WCFM materials are to be manufactured and processed in such a manner that the wood cellulose fiber mulch will remain in uniform suspension in water under agitation and will blend with seed, fertilizer and other additives to form a homogeneous slurry. The mulch material must form a blotter-like ground cover, on application, having moisture absorption and percolation properties and must cover and hold grass seed in contact with the soil without inhibiting the growth of the grass seedlings.
iv. WCFM material must not contain elements or compounds at concentration levels that will be phyto-toxic.
v. WCFM must conform to the following physical requirements: fiber length of approximately 10 millimeters, diameter approximately 1 millimeter, pH range of 4.0 to 8.5, ash content of 1.6 percent maximum and water holding capacity of 90 percent minimum.
2. Application
a. Apply mulch to all seeded areas immediately after seeding.
b. When straw mulch is used, spread it over all seeded areas at the rate of 2 tons per acre to a uniform loose depth of 1 to 2 inches. Apply mulch to achieve a uniform distribution and depth so that the soil surface is not exposed. When using a mulch anchoring tool, increase the application rate to 2.5 tons per acre.
c. Wood cellulose fiber used as mulch must be applied at a net dry weight of 1500 pounds per acre. Mix the wood cellulose fiber with water to attain a mixture with a maximum of 50 pounds of wood cellulose fiber per 100 gallons of water.
3. Anchoring
a. Perform mulch anchoring immediately following application of mulch to minimize loss by wind or water. This may be done by one of the following methods (listed by preference), depending upon the size of the area and erosion hazard:
i. A mulch anchoring tool is a tractor drawn implement designed to punch and anchor mulch into the soil surface a minimum of 2 inches. This practice is most effective on large areas, but is limited to flatter slopes where equipment can operate safely. If used on sloping land, this practice should follow the contour.
ii. Wood cellulose fiber may be used for anchoring straw. Apply the fiber binder at a net dry weight of 750 pounds per acre. Mix the wood cellulose fiber with water at a maximum of 50 pounds of wood cellulose fiber per 100 gallons of water.
iii. Synthetic binders such as Acrylic DLR (Agro-Tack), DCA-70, Petroset, Terra Tax II, Terra Tack AR or other approved equal may be used. Follow application rates as specified by the manufacturer. Application of liquid binders needs to be heavier at the edges where wind catches mulch, such as in valleys and on crests of banks. Use of asphalt binders is strictly prohibited.
iv. Lightweight plastic netting may be stapled over the mulch according to manufacturer recommendations. Netting is usually available in rolls 4 to 15 feet wide and 300 to 3,000 feet long.

B-4-5 STANDARDS AND SPECIFICATIONS
FOR
PERMANENT STABILIZATION

Definition

To stabilize disturbed soils with permanent vegetation.

Purpose

To use long-lived perennial grasses and legumes to establish permanent ground cover on disturbed soils.

Conditions Where Practice Applies

Exposed soils where ground cover is needed for 6 months or more.

Criteria

A. Seed Mixtures
1. General Use
a Select one or more of the species or mixtures listed in Table B.3 for the appropriate Plant Hardiness Zone (from Figure B.3) and based on the site condition or purpose found on Table B.2. Enter selected mixture(s), application rates, and seeding dates in the Permanent Seeding Summary. The Summary is to be placed on the plan.
b Additional planting specifications for exceptional sites such as shorelines, stream banks, or dunes or for special purposes such as wildlife or aesthetic treatment may be found in USDA-NRCS Technical Field Office Guild, Section 342 - Critical Area Planting.
c For sites having disturbed areas over 5 acres, use and show the rates recommended by the soil testing agency.
d For areas receiving low maintenance, apply urea form fertilizer (46-0-0) at 3 ½ pounds per 1000 square feet (150 pounds per acre) at the time of seeding in addition to the soil amendments shown in the Permanent Seeding Summary.
2. Turfgrass Mixtures
a. Areas where turfgrass may be desired include lawns, parks, playgrounds, and commercial sites which will receive a medium to high level of maintenance.
b. Select one or more of the species or mixtures listed below based on the site conditions or purpose. Enter selected mixture(s), application rates, and seeding dates in the Permanent Seeding Summary. The summary is to be placed on the plan.
i. Kentucky Bluegrass: Full sun Mixture: For use in areas that receive intensive management. Irrigation required in the areas of central Maryland and Eastern Shore. Recommended Certified Kentucky Bluegrass Cultivars Seeding Rate: 1.5 to 2.0 pounds per 1000 square feet. Choose a minimum of three Kentucky Bluegrass Cultivars with each ranging from 10 to 35 percent of the total mixture by weight.
ii. Kentucky Bluegrass/Perennial Rye: Full Sun Mixture: For use in full sun areas where rapid establishment is necessary and when turf will receive medium to intensive management. Certified Perennial Ryegrass Cultivars/Certified Kentucky Bluegrass Seeding Rate: 2 pounds mixture per 1000 square feet. Choose a minimum of three Kentucky Bluegrass Cultivars with each ranging from 10 to 35 percent of the total mixture by weight.
iii. Tall Fescue/Kentucky Bluegrass: Full Sun Mixture: For use in drought prone areas and/or for areas receiving low to medium management in full sun to medium shade. Recommended mixture includes; Certified Tall Fescue Cultivars 95 to 100 percent, Certified Kentucky Bluegrass Cultivars 0 to 5 percent. Seeding Rate: 5 to 8 pounds per 1000 square feet. One or more cultivars may be blended.
iv. Kentucky Bluegrass/Fine Fescue: Shade Mixture: For use in areas with shade in Bluegrass lawns. For establishment in high quality, intensively managed turf area. Mixture includes Certified Kentucky Bluegrass Cultivars 30 to 40 percent and Certified Fine Fescue and 60 to 70 percent. Seeding Rate: 1 ½ to 3 pounds per 1000 square feet.
Notes:Select turfgrass varieties from those listed in the most current University of Maryland Publication, Agronomy Memo #77, "Turfgrass Cultivar Recommendations for Maryland" Choose certified material. Certified material is the best guarantee of cultivar purity. The certification program of the Maryland Department of Agriculture, Turf and Seed Section, provides a reliable means of consumer protection and assures a pure genetic line.
c. Ideal Times of Seeding for Turf Grass Mixtures
Western MD: March 15 to June 1, August 1 to October 1 (Hardiness Zones: 5b, 6a)
Central MD:March 1 to May 15, August 15 to October 15 (Hardiness Zone: 6b)
Southern MD, Eastern Shore: March 1 to May 15, August 15 to October 15 (Hardiness Zones: 7a, 7b)
d. Till areas to receive seed by disking or other approved methods to a depth of 2 to 4 inches, level and rake the areas to prepare a proper seedbed. Remove stones and debris over 1 ½ inches in diameter. The resulting seedbed must be in such condition that future mowing of grasses will pose no difficulty.
e. If soil moisture is deficient, supply new seedings with adequate water for plant growth (½ to 1 inch every 3 to 4 days depending on soil texture) until they are firmly established. This is not especially true when seedings are made late in the planting season, in abnormally dry or hot seasons, or on adverse sites.

B. Sod: to provide quick cover on disturbed areas (2:1 grade or flatter).
1. General Specifications
a. Class of turfgrass must be Maryland State Certified. Sod labels must be made available to the job foreman and inspector.
b. Sod must be machine cut at a uniform soil thickness of ¾ inch, plus or minus ¼ inch, at the time of cutting. Measurement for thickness must exclude top growth and thatch. Broken pads and torn or uneven ends will not be acceptable.
c. Standard size sections of sod must be strong enough to support their own weight and retain their size and shape when suspended vertically with a firm grasp on the upper 10 percent of the section.
d. Sod must not be harvested or transplanted when moisture content (excessively dry or wet) may adversely affect its survival.
e. Sod must be harvested, delivered, and installed within a period of 36 hours. Sod not transplanted within this period must be approved by an agronomist or soil scientist prior to its installation.
2. Sod Installation
a. During periods of excessively high temperature or in areas having dry subsoil, lightly irrigate the subsoil immediately prior to laying the sod.
b. Lay the first row of sod in a straight line with subsequent rows placed parallel to it and tightly wedged against each other. Stagger lateral joints to promote more uniform growth and strength. Ensure that sod is not stretched or overlapped and that all joints are butted tight in order to prevent voids which would cause air drying of the roots.
c. Wherever possible, lay sod with the long edges parallel to the contour and with staggering joints. Roll and tamp, peg or otherwise secure the sod to prevent slippage on slopes. Ensure solid contact exists between sod roots and the underlying soil surface.
d. Water the sod immediately following rolling and tamping until the underside of the new sod pad and soil surface below the sod are thoroughly wet. Complete the operations of laying, tamping and irrigating for any piece of sod within eight hours.
3. Sod Maintenance
a. In the absence of adequate rainfall, water daily during the first week or as often and sufficiently as necessary to maintain moist soil to a depth of 4 inches. Water sod during the heat of the day to prevent wilting.
b. After the first week, sod watering is required as necessary to maintain adequate moisture content.
c. Do not mow until the sod is firmly rooted. No more than 1/3 of the grass leaf must be removed by the initial cutting or subsequent cuttings. Maintain a grass height of at least 3 inches unless otherwise specified.

B-4-4 STANDARDS AND SPECIFICATIONS
FOR
TEMPORARY STABLIZATION

Definition

To stabilize disturbed soils with vegetation for up to 6 months.

Purpose

To use fast growing vegetation that provides cover on disturbed soils.

Conditions Where Practice Applies

Exposed soils where ground cover is needed for a period of 6 months or less. For longer duration of time, permanent stabilization practices are required.

Criteria

1. Select one or more of the species or seed mixtures listed in Table B.1 for the appropriate Plant Hardiness Zone (from Figure B.3), and enter them in the Temporary Seeding Summary below along with application rates, seeding dates and seeding depths. If this Summary is not put on the plan and completed, then Table B.1 plus fertilizer and lime rates must be put on the plan.
2. For sites having soil tests performed, use and show the recommended rates by the testing agency. Soil tests are not required for Temporary Seeding.
3. When stabilization is required outside of a seeding season, apply seed and mulch or straw mulch alone as prescribed in Section B-4-3.A.1.b and maintain until the next seeding season.

H-5 STANDARDS AND SPECIFICATIONS
FOR
DUST CONTROL

Definition

Controlling the suspension of dust particles from construction activities.

Purpose

To prevent blowing and movement of dust from exposed soil surfaces to reduce on and off-site damage including health and traffic hazards.

Conditions Where Practice Applies

Areas subject to dust blowing and movement where on and off-site damage is likely without treatment.

Specifications

1. Mulches: See Section B-4-2 Soil Preparation, Topsoiling, and Soil Amendments, Section B-4-3 Seeding and Mulching, and Section B-4-4 Temporary Stabilization. Mulch must be anchored to prevent blowing.
2. Vegetative Cover: See Section B-4-4 Temporary Stabilization.
3. Tillage: Till to roughen surface and bring clods to the surface. Begin plowing on windward side of site. Chisel-type plows spaced about 12 inches apart, spring-toothed harrows, and similar plows are examples of equipment that may produce the desired effect.
4. Irrigation: Sprinkle site with water until the surface is moist. Repeat as needed. The site must not be irrigated to the point that runoff occurs.
5. Barriers: Solid board fences, silt fences, snow fences, burlap fences, straw bales, and similar material can be used to control air currents and soil blowing.
6. Chemical Treatment: Use of chemical treatment requires approval by the appropriate plan review authority.

Table B.1: Temporary Seeding for Site Stabilization

Plant Species	Seeding Rate 1/ lb/ac	Seeding Rate 1/ lb/1000 ft2	Seeding Depth 2/ (inches)	Recommended Seeding Dates by Plant Hardiness Zone 3/ 5b and 6a	6b	7a and 7b
Cool-Season Grasses						
Annual Ryegrass (Lolium perenne ssp. Multiflorum	40	1.0	0.5		Mar 1 to May 15; Aug 1 to Oct 31	
Barley (Hordeum vulgare)	96	2.2	1.0		Mar 1 to May 15; Aug 1 to Oct 31	
Oats (Avena sativa)	72	1.7	1.0		Mar 1 to May 15; Aug 1 to Oct 31	
Wheat (Triticum aestivum)	120	2.8	1.0		Mar 1 to May 15; Aug 1 to Oct 31	
Cereal Rye (Secale cereale)	112	2.8	1.0		Mar 1 to May 15; Aug 1 to Nov 15	
Warm-Season Grasses						
Foxtail Millet (Serataria italica)	30	0.7	0.5		May 16 to Jul 31	
Pearl Millet (Pennisetum glaucum	20	0.5	0.5		May 16 to Jul 31	

Notes:
1/ Seeding rates for the warm season grasses are in pounds of Pure Live Seed (PLS). Actual planting rates shall be adjusted to reflect percent seed germination and purity, as tested. Adjustments are usually not needed for the cool-season grasses.

Seeding rates listed above are for temporary seedings, when planted alone. When planted as a nurse crop with permanent seed mixes, use 1/3 of the seeding rate listed above for barley, oats, and wheat. For smaller-seeded grasses (annual ryegrass, pearl millet, foxtail millet), do not exceed more than 5% (by weight) of the overall permanent seeding mix. Cereal rye generally should not be used as a nurse crop, unless planting will occur very late fall beyond the seeding dates for other temporary seedings. Cereal rye has allelopathic properties that inhibit the germination and growth of other plants. If it must be used as a nurse crop, seed at 1/3 of the rate listed above.

Oats are the recommended nurse crop for warm-season grasses.

2/ For sandy soils, plant seeds at twice the depth listed above.
3/ The planting dates listed are averages for each Zone and may require adjustment to reflect local conditions, especially near the boundaries of the zone.

Permanent Seeding Summary

Hardiness Zone (from Figure B.3): 6b
Seed Misture (from Table B.3): Tall Fescue/Kentucky Bluegrass

No.	Species	Application Rate (lb/ac.)	Seeding Dates	Seeding Depths	Fertilizer Rate (10-20-20) N	P2O5	K2O	Lime Rate
	Fescue, Tall	60	Mar 1 to May 15 Aug 1 to Oct 15	1/4 - 1/2 in				
9	Bluegrass, Kentucky	40	Mar 1 to May 15 Aug 1 to Oct 15	1/4 - 1/2 in	45 pounds per acre (1.0 lb/ 100 sf)	90 lb/ac (2 lb/ 1000 sf)	90 lb/ac 2 lb/ 1000 sf)	2 tons/ac (90lb/ 1000 sf)
				1/4 - 1/2 in				

SEQUENCE OF CONSTRUCTION

NOTIFY SEDIMENT CONTROL DIVISION 48 HOURS PRIOR TO START OF WORK

SEQUENCE PERTAINS TO EACH INDIVIDUAL HOUSE OR TOWNHOUSE STICK AS PERMITS ARE ISSUED. NOT ALL HOUSES/STICKS WILL BE CONSTRUCTED AT THE SAME TIME.

1. Obtain grading/building permit. Notify D.I.L.P. at 410-313-1880 at least 24 hours before starting any work. (1 day)

2. Hold on-site pre-construction meeting. (day 2)

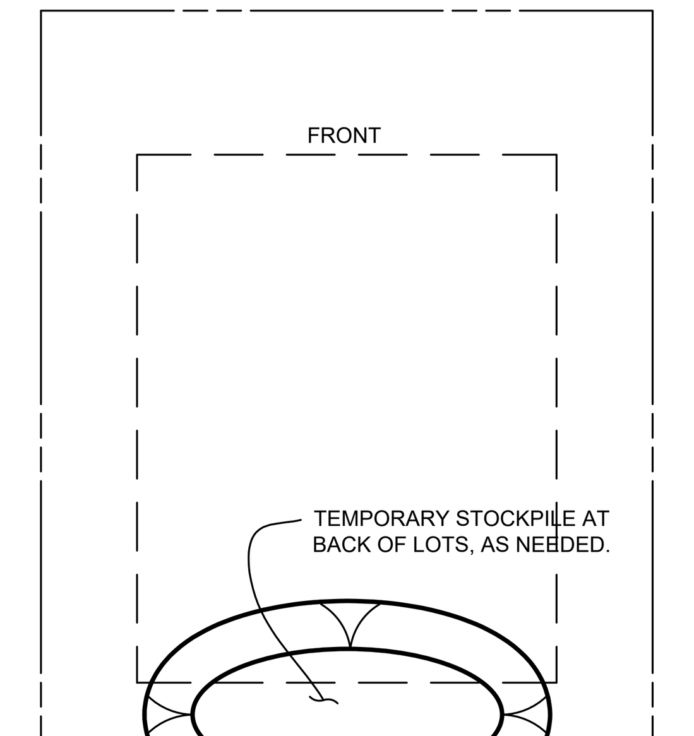
3. Install individual lot perimeter controls (i.e. stabilized construction entrance). (day 3)

4. Excavate for foundation, rough grade lot, and stabilize in accordance with the temporary seedbed notes. (day 4-10)

5. Construct house, install water and sewer house connections from easement/right-of-way up to house, backfill, and construct driveway. Install on-lot dry wells and connect roof leaders for lots that require them. (day 11-90)

6. Upon approval from the Howard County Sediment Control Inspector, remove all sediment control devices and stabilize any remaining disturbed areas in accordance with the permanent seedbed notes. (day 91-100)

Note: Following initial soil disturbance or any re-disturbances, permanent or temporary stabilization shall be completed within:
A. 3 calendar days for all perimeter sediment control structures, dikes, swales and all slopes greater than 3:1.
B. 7 calendar days for all other disturbed areas.
During grading and after each rainfall, contractor will inspect and provide necessary maintenance to the sediment control measures of this plan.



B-4-8 STANDARDS AND SPECIFICATIONS
FOR
STOCKPILE AREA

Definition

A mound or pile of soil protected by appropriately designed erosion and sediment control measures.

Purpose

To provide a designated location for the temporary storage of soil that controls the potential for erosion, sedimentation, and changes to drainage patterns.

Conditions Where Practice Applies

Stockpile areas are utilized when it is necessary to salvage and store soil for later use.

Criteria

1. The stockpile location and all related sediment control practices must be clearly indicated on the erosion and sediment control plan.
2. The footprint of the stockpile must be sized to accommodate the anticipated volume of material and based on a side slope ratio no steeper than 2:1. Benching must be provided in accordance with Section B-3 Land Grading.
3. Runoff from the stockpile area must drain to a suitable sediment control practice.
4. Access the stockpile area from the upgrade side.
5. Clear water runoff into the stockpile area must be minimized by use of a diversion device such as an earth dike, temporary swale or diversion fence. Provisions must be made for discharging concentrated flow in a non-erosive manner.
6. Where runoff concentrates along the toe of the stockpile fill, an appropriate erosion/sediment control practice must be used to intercept the discharge.
7. Stockpiles must be stabilized in accordance with the 3/7 day stabilization requirement as well as Standard B-4-1 Incremental Stabilization and Standard B-4-4 Temporary Stabilization.
8. If the stockpile is located on an impervious surface, a liner should be provided below the stockpile to facilitate cleanup. Stockpiles containing contaminated material must be covered with impermeable sheeting.

Maintenance

The stockpile area must continuously meet the requirements for Adequate Vegetative Establishment in accordance with Section B-4 Vegetative Stabilization. Side slopes must be maintained at no steeper than a 2:1 ratio. The stockpile area must be kept free of erosion. If the vertical height of a stockpile exceeds 20 feet for 2:1 slopes, 30 feet for 3:1 slopes, or 40 feet for 4:1 slopes, benching must be provided in accordance with Section B-3 Land Grading.

HOWARD SOIL CONSERVATION DISTRICT (HSCD)
STANDARD SEDIMENT CONTROL NOTES

1. A pre-construction meeting must occur with the Howard County Department of Public Works, Construction Inspection Division (CID), 410-3133-1855 after the future LOD and protected areas are marked clearly in the field. A minimum of 48 hours notice to CID must be given at the following stages:

a. Prior to the start of earth disturbance,
b. Upon completion of the installation of perimeter erosion and sediment controls, but before proceeding with any other earth disturbance or grading,
c. Prior to the start of another phase of construction or opening of another grading unit,
d. Prior to the removal or modification of sediment control practices.

2. All vegetative and structural practices are to be installed according to the provisions of this plan and are to be in conformance with the 2011 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL, and revisions thereto.

3. Following initial soil disturbance or re-disturbance, permanent or temporary stabilization is required within three (3) calendar days as to the surface of all perimeter controls, dikes, swales, ditches, perimeter slopes, and all slopes steeper than 3 horizontal to 1 vertical (3:1); and seven (7) calendar days as to all other disturbed areas on the project site except for those areas under active grading.

4. All disturbed areas must be stabilized within the time period specified above in accordance with the 2011 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL for topsoil (Sec. B-4-2), permanent seeding (Sec. B-4-5), temporary seeding (Sec. B-4-4) and mulching (Sec. B-4-3). Temporary stabilization with mulch alone can only be applied between the fall and spring seeding dates if the ground is frozen. Incremental stabilization (Sec. B-4-1) specifications shall be enforced in areas with >15' of cut and/or fill. Stockpiles (Sec. B-4-8) in excess of 20 feet must be benched with stable outlet. All concentrated flow, steep slope, and highly erodible areas shall receive soil stabilization matting (Sec. B-4-6).

5. All sediment control structures are to remain in place, and are to be maintained in operative condition until permission for their removal has been obtained from the CID.

6. Site Analysis:

Total Area of Site:	10.83	Acres
Area Disturbed:	11.70	Acres
Area to be roofed or paved:	5.96	Acres
Area to be vegetatively stabilized:	5.74	Acres
Total cut:	1,740 *	Cu Yds
Total fill:	1,740 *	Cu Yds
Off-site waste/borrow area location:	SITE WITH AN ACTIVE GRADING PERMIT	

*CUT/FILL NUMBERS ARE ROUGH ESTIMATE FOR SEDIMENT CONTROL PURPOSES ONLY. CONTRACTOR TO VERIFY.

7. Any sediment control practice which is disturbed by grading activity for placement of utilities must be repaired on the same day of disturbance.

8. Additional sediment control must be provided, if deemed necessary by the CID. The site and all controls shall be inspected by the contractor weekly; and the next day after each rain event. A written report by the contractor, made available upon request, is part of every inspection and should include:

- Inspection date
- Inspection type (routine, pre-storm event, during rain event)
- Name and title of inspector
- Weather information (current conditions as well as time and an=mount of last recorded precipitation
- Brief description of project's status (e.g. percent complete) and/or current activities
- Evidence of sediment discharges
- Identification of plan deficiencies
- Identification of sediment controls that require maintenance
- Identification of missing or improperly installed sediment controls
- Compliance status regarding the sequence of construction and stabilization requirements
- Photographs
- Monitoring/sampling
- Maintenance and/or corrective action performed
- Other inspection items as required by the General Permit for Stormwater Associated with Construction Activities (NPDES, MDE).

9. Trenches for the construction of utilities is limited to three pipe lengths or that which can and shall be back filled and stabilized by the end of each work day, whichever is shorter.

10. Any major changes or revisions to the plan or sequence of construction must be reviewed and approved by the HSCD prior to proceeding with construction. Minor revisions may be allowed by the CID per the list of HSCD-approved field changes.

11. Disturbance shall not occur outside the L.O.D. A project is to be sequenced so that grading activities begin on one grading unit (maximum acreage of 20 ac. per grading unit) at a time. Work may proceed to a subsequent grading unit when at least 50 percent of the disturbed area in the preceding grading unit has been stabilized and approved by the CID. Unless otherwise specified and approved by the HSCD, no more than 20 acres cumulatively may be disturbed at a given time.

12. Wash water from any equipment, vehicles, wheels, pavement, and other sources must be treated in a sediment basin or other approved washout structure.

13. Topsoil shall be stockpiled and preserved on-site for redistribution onto final grade.

14. All silt fence and super silt fence shall be placed on-the-contour, and be imbricated at 25' minimum intervals, with lower ends curled uphill by 2' in elevation.

15. Stream channels must not be disturbed during the following restricted time periods (inclusive):

- Use I and IP March 1 – June 15
- Use III and IIIP October 1 – April 30
- Use IV March 1 – May 31

16. A copy of this plan, the 2011 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL, and associated permits shall be on-site and available when the site is active.

NO.	DATE	REVISION

BENCHMARK
ENGINEERS ▲ LAND SURVEYORS ▲ PLANNERS
ENGINEERING, INC.
8480 BALTIMORE NATIONAL PIKE ▲ SUITE 315 ▲ ELLICOTT CITY, MARYLAND 21043
(P) 410-465-6105 (F) 410-465-6644
WWW.BEI-CIVILENGINEERING.COM

Professional Certification. I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland, License No. 22390, Expiration Date: 6-30-2023.
STATE OF MARYLAND — CHRISTOPHER A. MALAGARI — 22390 — PROFESSIONAL ENGINEER
4/06/2022

OWNER:
ESC WELLINGTON, L.C.
5074 DORSEY HALL DRIVE, SUITE 205
ELLICOTT CITY, MARYLAND 21042
410-720-3021

BUILDER:
NVR
9720 PATUXENT WOODS DRIVE
COLUMBIA, MARYLAND 21046
703-956-4080

WELLINGTON FARMS
Phase 1 Section 2
Lots 54 thru 132
(previously recorded as Plat No. 26023-26035)

TAX MAP: 46 – GRID: 6 – PARCEL: 163
ZONED: R-20-MXD-3 / R-SC-MXD-3
ELECTION DISTRICT NO. 6 – HOWARD COUNTY, MARYLAND

SEDIMENT AND EROSION CONTROL NOTES

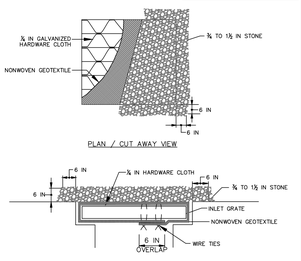
DATE: APRIL 7, 2022 | BEI PROJECT NO. 3067
DESIGN: DBT | DRAFT: DBT | SCALE: AS SHOWN | SHEET 12 OF 13

SDP-22-009

DETAIL E-9-2 AT-GRADE INLET PROTECTION

STANDARD SYMBOL: AGIP

MAXIMUM DRAINAGE AREA = 1 ACRE



CONSTRUCTION SPECIFICATIONS

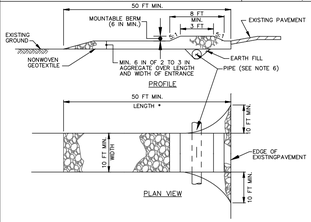
1. USE NONWOVEN GEOTEXTILE AS SPECIFIED IN SECTION H-1 MATERIALS.
2. LIFT GRATE AND WRAP WITH NONWOVEN GEOTEXTILE TO COMPLETELY COVER ALL OPENINGS. SECURE WITH WIRE TIES AND SET GRATE BACK IN PLACE.
3. PLACE CLEAN ¾ TO 1½ INCH STONE OR EQUIVALENT RECYCLED CONCRETE 6 INCHES THICK ON THE GRATE.
4. STORM DRAIN INLET PROTECTION REQUIRES FREQUENT MAINTENANCE. REMOVE ACCUMULATED SEDIMENT AFTER EACH RAIN EVENT TO MAINTAIN FUNCTION AND AVOID PREMATURE CLOGGING. IF INLET PROTECTION DOES NOT COMPLETELY DRAIN WITHIN 24 HOURS AFTER A STORM EVENT, IT IS CLOGGED. WHEN THIS OCCURS, REMOVE ACCUMULATED SEDIMENT AND CLEAN, OR REPLACE GEOTEXTILE AND STONE.

MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL

U.S. DEPARTMENT OF AGRICULTURE NATURAL RESOURCES CONSERVATION SERVICE	2011	MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION

DETAIL B-1 STABILIZED CONSTRUCTION ENTRANCE

STANDARD SYMBOL: SCE



CONSTRUCTION SPECIFICATIONS

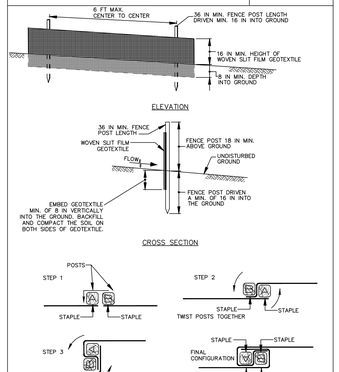
1. PLACE STABILIZED CONSTRUCTION ENTRANCE IN ACCORDANCE WITH THE APPROVED PLAN. VEHICLES MUST TRAVEL OVER THE ENTIRE LENGTH OF THE SCE. USE MINIMUM LENGTH OF 50 FEET (*50 FEET FOR SINGLE RESIDENCE LOT). USE MINIMUM WIDTH OF 10 FEET. FLARE SCE 10 FEET MINIMUM AT THE EXISTING ROAD TO PROVIDE A TURNING RADIUS.
2. PIPE ALL SURFACE WATER FLOWING TO OR DIVERTED TOWARD THE SCE UNDER THE ENTRANCE, MAINTAINING POSITIVE DRAINAGE. PROTECT PIPE INSTALLED THROUGH THE SCE WITH A MOUNTABLE BERM WITH 5:1 SLOPES AND A MINIMUM OF 12 INCHES OF STONE OVER THE PIPE. PROVIDE PIPE AS SPECIFIED ON APPROVED PLAN. WHEN THE SCE IS LOCATED AT A HIGH SPOT AND HAS NO DRAINAGE TO CONVEY, A PIPE IS NOT NECESSARY. A MOUNTABLE BERM IS REQUIRED WHEN SCE IS NOT LOCATED AT A HIGH SPOT.
3. PREPARE SUBGRADE AND PLACE NONWOVEN GEOTEXTILE, AS SPECIFIED IN SECTION H-1 MATERIALS.
4. PLACE CRUSHED AGGREGATE (2 TO 3 INCHES IN SIZE) OR EQUIVALENT RECYCLED CONCRETE (WITHOUT REBAR) AT LEAST 6 INCHES DEEP OVER THE LENGTH AND WIDTH OF THE SCE.
5. MAINTAIN ENTRANCE IN A CONDITION THAT MINIMIZES TRACKING OF SEDIMENT. ADD STONE OR MAKE OTHER REPAIRS AS CONDITIONS DEMAND TO MAINTAIN CLEAN SURFACE, MOUNTABLE BERM, AND SPECIFIED DIMENSIONS. IMMEDIATELY REMOVE STONE AND/OR SEDIMENT SPILLED, DROPPED, OR TRACKED ONTO ADJACENT ROADWAY BY VACUUMING, SCRAPING, AND/OR SWEEPING. WASHING ROADWAY TO REMOVE MUD TRACKED ONTO PAVEMENT IS NOT ACCEPTABLE UNLESS WASH WATER IS DIRECTED TO AN APPROVED SEDIMENT CONTROL PRACTICE.

MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL

U.S. DEPARTMENT OF AGRICULTURE NATURAL RESOURCES CONSERVATION SERVICE	2011	MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION

DETAIL E-1 SILT FENCE

STANDARD SYMBOL: SF



JOINING TWO ADJACENT SILT FENCE SECTIONS (TOP VIEW)

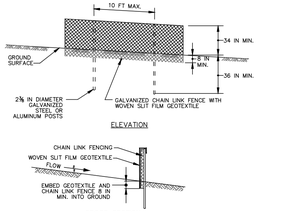
1 OF 2

MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL

U.S. DEPARTMENT OF AGRICULTURE NATURAL RESOURCES CONSERVATION SERVICE	2011	MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION

DETAIL E-3 SUPER SILT FENCE

STANDARD SYMBOL: SSF



CONSTRUCTION SPECIFICATIONS

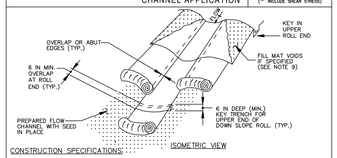
1. INSTALL 2⅜ INCH DIAMETER GALVANIZED STEEL POSTS OF 0.095 INCH WALL THICKNESS AND SIX FOOT LENGTH SPACED NO FURTHER THAN 10 FEET APART. DRIVE THE POSTS A MINIMUM OF 36 INCHES INTO THE GROUND.
2. FASTEN 9 GAUGE OR HEAVIER GALVANIZED CHAIN LINK FENCE (2⅜ INCH MAXIMUM OPENING) 42 INCHES IN HEIGHT SECURELY TO THE FENCE POSTS WITH WIRE TIES OR HOG RINGS.
3. FASTEN WOVEN SLIT FILM GEOTEXTILE AS SPECIFIED IN SECTION H-1 MATERIALS, SECURELY TO THE UPSLOPE SIDE OF CHAIN LINK FENCE WITH TIES SPACED EVERY 24 INCHES AT THE TOP AND MID SECTION. EMBED GEOTEXTILE AND CHAIN LINK FENCE A MINIMUM OF 8 INCHES INTO THE GROUND.
4. WHERE ENDS OF THE GEOTEXTILE COME TOGETHER, THE ENDS SHALL BE OVERLAPPED BY 6 INCHES, FOLDED, AND STAPLED TO PREVENT SEDIMENT BY PASS.
5. EXTEND BOTH ENDS OF THE SUPER SILT FENCE A MINIMUM OF FIVE HORIZONTAL FEET UPSLOPE AT 45 DEGREES TO THE MAIN FENCE ALIGNMENT TO PREVENT RUNOFF FROM GOING AROUND THE ENDS OF THE SUPER SILT FENCE.
6. PROVIDE MANUFACTURER CERTIFICATION TO THE INSPECTION/ENFORCEMENT AUTHORITY SHOWING THAT GEOTEXTILE USED MEETS THE REQUIREMENTS IN SECTION H-1 MATERIALS.
7. REMOVE ACCUMULATED SEDIMENT AND DEBRIS WHEN BULGES DEVELOP IN FENCE OR WHEN SEDIMENT REACHES 25% OF FENCE HEIGHT. REPLACE GEOTEXTILE IF TORN. IF UNDERMINING OCCURS, REINSTALL CHAIN LINK FENCING AND GEOTEXTILE.

MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL

U.S. DEPARTMENT OF AGRICULTURE NATURAL RESOURCES CONSERVATION SERVICE	2011	MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION

DETAIL B-4-6-C PERMANENT SOIL STABILIZATION MATTING CHANNEL APPLICATION

STANDARD SYMBOL: PSSMC — * 0.36 lb/ft² (* INCLUDE SHEAR STRESS)

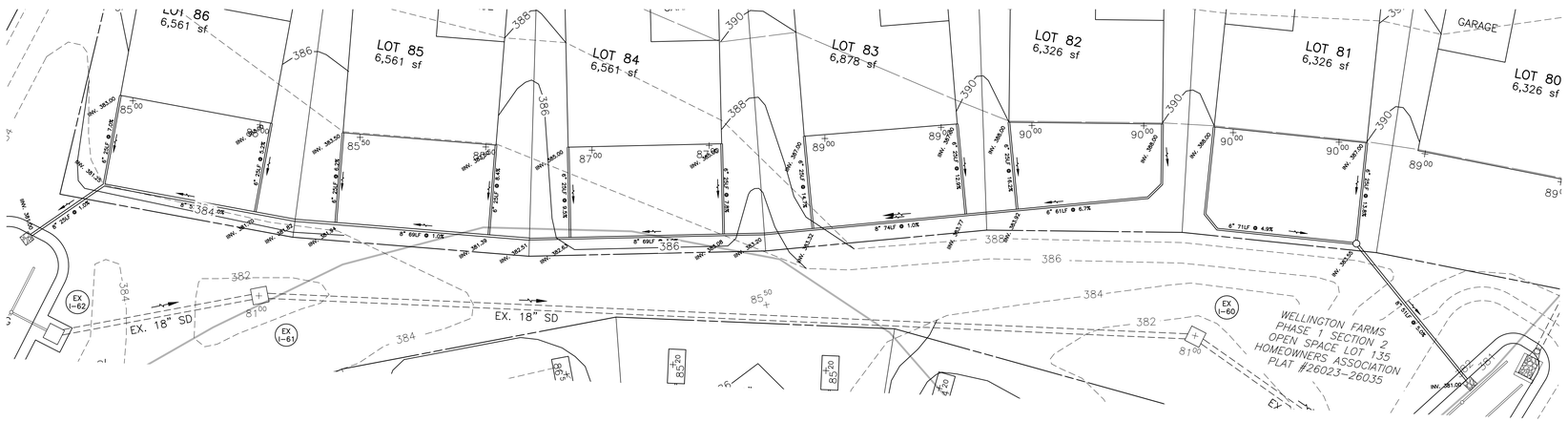


CONSTRUCTION SPECIFICATIONS:

1. USE MATTING THAT HAS A DESIGN VALUE FOR SHEAR STRESS EQUAL TO OR HIGHER THAN THE SHEAR STRESS DESIGNATED ON APPROVED PLANS.
2. USE PERMANENT SOIL STABILIZATION MATTING MADE OF OPEN WEAVE SYNTHETIC, NON-DEGRADABLE FIBERS OR ELEMENTS OF UNIFORM THICKNESS AND DISTRIBUTION THROUGHOUT. CHEMICALS USED IN THE MAT MUST BE NON-LEACHING AND NON-TOXIC TO VEGETATION AND SEED GERMINATION AND NON-INJURIOUS TO THE SKIN. IF PRESENT, NETTING MUST BE EXTRUDED PLASTIC WITH A MAXIMUM MESH OPENING OF 2x2 INCHES AND SUFFICIENTLY BONDED OR SEWN ON 2 INCH CENTERS ALONG LONGITUDINAL AXIS OF THE MATERIAL TO PREVENT SEPARATION OF THE NET FROM THE PARENT MATERIAL.
3. SECURE MATTING USING STEEL STAPLES OR WOOD STAKES. STAPLES MUST BE "U" OR "T" SHAPED STEEL WIRE HAVING A MINIMUM GAUGE OF NO. 11 AND NO. 8 RESPECTIVELY. "U" SHAPED STAPLES MUST AVERAGE 1 TO 1 ½ INCHES WIDE AND BE A MINIMUM OF 6 INCHES LONG. "T" SHAPED STAPLES MUST HAVE A MINIMUM 8 INCH MAIN LEG, A MINIMUM 1 INCH SECONDARY LEG, AND MINIMUM 4 INCH HEAD. WOOD STAKES MUST BE ROUGH-SAWN HARDWOOD, 12 TO 24 INCHES IN LENGTH, 1x3 INCH IN CROSS SECTION, AND WEDGE SHAPE AT THE BOTTOM.
4. PERFORM FINAL GRADING, TOPSOIL APPLICATION, SEEDBED PREPARATION, AND PERMANENT SEEDING IN ACCORDANCE WITH SPECIFICATIONS. PLACE MATTING WITHIN 48 HOURS OF COMPLETING SEEDING OPERATIONS, UNLESS END OF WORKDAY STABILIZATION IS SPECIFIED ON THE APPROVED EROSION AND SEDIMENT CONTROL PLAN.
5. UNROLL MATTING IN DIRECTION OF WATER FLOW, CENTERING THE FIRST ROLL ON THE CHANNEL CENTER LINE. WORK FROM CENTER OF CHANNEL OUTWARD WHEN PLACING ROLLS. LAY MATTING SMOOTHLY AND FIRMLY UPON THE SEEDED SURFACE. AVOID STRETCHING THE MATTING.
6. OVERLAP OR ABUT EDGES OF MATTING ROLLS PER MANUFACTURER RECOMMENDATIONS. OVERLAP ROLL ENDS BY 6 INCHES (MINIMUM), WITH THE UPSTREAM MAT OVERLAPPING ON TOP OF THE NEXT DOWNSTREAM MAT.
7. KEY IN THE TOP OF SLOPE END OF MAT 6 INCHES (MINIMUM) BY DIGGING A TRENCH, PLACING THE MATTING ROLL END IN THE TRENCH, STAPLING THE MAT IN PLACE, REPLACING THE EXCAVATED MATERIAL, AND TAMPING TO SECURE THE MAT END IN THE KEY.
8. STAPLE/STAKE MAT IN A STAGGERED PATTERN ON 4 FOOT (MAXIMUM) CENTERS THROUGHOUT AND 2 FOOT (MAXIMUM) CENTERS ALONG SEAMS, JOINTS, AND ROLL ENDS.
9. IF SPECIFIED BY THE DESIGNER OR MANUFACTURER AND DEPENDING ON THE TYPE OF MAT BEING INSTALLED, ONCE THE MATTING IS KEYED AND STAPLED IN PLACE, FILL THE MAT VOIDS WITH TOP SOIL OR GRANULAR MATERIAL AND LIGHTLY COMPACT OR ROLL TO MAXIMIZE SOIL/MAT CONTACT WITHOUT CRUSHING MAT.
10. ESTABLISH AND MAINTAIN VEGETATION SO THAT REQUIREMENTS FOR ADEQUATE VEGETATIVE ESTABLISHMENT ARE CONTINUOUSLY MET IN ACCORDANCE WITH SECTION B-4 VEGETATIVE STABILIZATION.

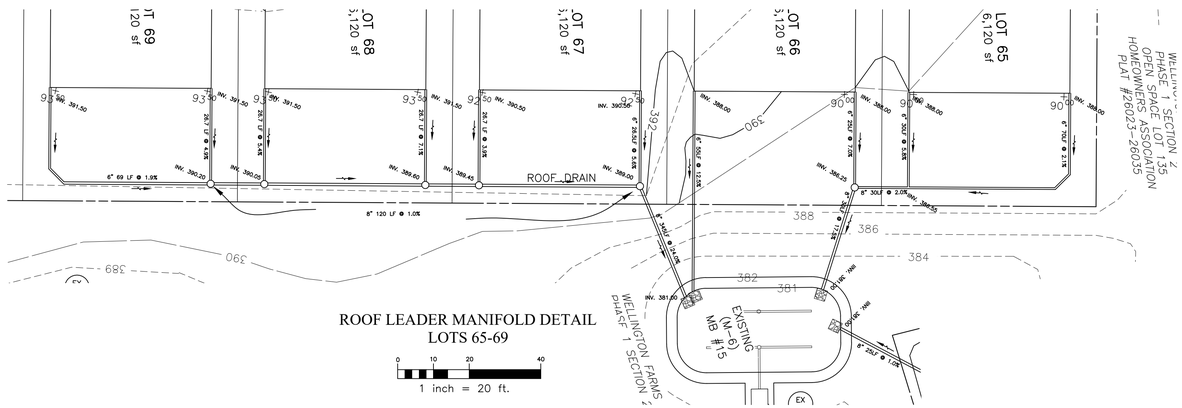
MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL

U.S. DEPARTMENT OF AGRICULTURE NATURAL RESOURCES CONSERVATION SERVICE	2011	MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION



ROOF LEADER MANIFOLD DETAIL
LOTS 81-86

0 10 20 40
1 inch = 20 ft.



ROOF LEADER MANIFOLD DETAIL
LOTS 65-69

0 10 20 40
1 inch = 20 ft.

ENGINEER'S CERTIFICATE

"I CERTIFY THAT THIS PLAN FOR SEDIMENT AND EROSION CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

Christopher Malagari 2022-04-06

ENGINEER DATE

DEVELOPER'S CERTIFICATE

"I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN FOR SEDIMENT AND EROSION CONTROL, AND THAT ALL RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT."

Brent Hanauer 2022-04-06

DEVELOPER DATE

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

DocuSigned by: Alexander Bratchie 4/25/2022

HOWARD SOIL CONSERVATION DISTRICT DATE

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

DocuSigned by: Chad Edmondson 4/22/2022

CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

DocuSigned by: 4/25/2022

CHIEF, DIVISION OF LAND DEVELOPMENT DATE

DocuSigned by: Amy Gowan 4/25/2022

DIRECTOR DATE

NO.	DATE	REVISION

BENCHMARK
ENGINEERS ▲ LAND SURVEYORS ▲ PLANNERS
ENGINEERING, INC.
8480 BALTIMORE NATIONAL PIKE ▲ SUITE 315 ▲ ELLICOTT CITY, MARYLAND 21043
(P) 410-465-6105 (F) 410-465-6644
WWW.BEI-CIVILENGINEERING.COM

Professional Certification. I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland, License No. 22390, Expiration Date: 6-30-2023.

STATE OF MARYLAND CHRISTOPHER L. MALAGARI 22390 PROFESSIONAL ENGINEER

4/06/2022

OWNER:
ESC WELLINGTON, L.C.
5074 DORSEY HALL DRIVE, SUITE 205
ELLICOTT CITY, MARYLAND 21042
410-720-3021

BUILDER:
NVR
9720 PATUXENT WOODS DRIVE
COLUMBIA, MARYLAND 21046
703-956-4080

WELLINGTON FARMS

Phase 1 Section 2
Lots 54 thru 132
(previously recorded as Plat No. 26023-26035)

TAX MAP: 46 – GRID: 6 – PARCEL: 163
ZONED: R-20-MXD-3 / R-SC-MXD-3
ELECTION DISTRICT NO. 6 – HOWARD COUNTY, MARYLAND

SEDIMENT AND EROSION CONTROL DETAILS AND ROOF LEADER MANIFOLD DEAILS

DESIGN: DBT	DRAFT: DBT	DATE: APRIL 7, 2022	BEI PROJECT NO. 3067
		SCALE: AS SHOWN	SHEET 13 OF 13

SDP-22-009