- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF HOWARD COUNTY PLUS MSHA STANDARDS AND SPECIFICATIONS IF
- THE CONTRACTOR SHALL NOTIFY THE DEPARTMENT OF PUBLIC WORKS, BUREAU OF ENGINEERING, CONSTRUCTION INSPECTION DIVISION AT (410) 313-1880 AT LEAST FIVE (5) WORKING DAYS PRIOR TO THE START OF WORK.
- 3. THE CONTRACTOR SHALL NOTIFY "MISS UTILITY" AT 1-800-257-7777 AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION WORK BEING DONE.
- 4. PROJECT BACKGROUND LOCATION: ZONING: ELECTION DISTRICT:

RECORDING REFERENCE:

- TAX MAP #46, GRIDS 3 \$4 MXD-3 3.53 AC
- 5. THE CONTRACTOR SHALL NOTIFY THE HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS, BUREAU OF UTILITIES AT (410) 313-4900 AT LEAST FIVE (5) WORKING DAYS PRIOR TO STARTING
- PROPOSED USE: OFFICE BUILDING WITH POSSIBLE FIRST FLOOR RETAIL/RESTAURANT.

PLATS 21620

- 7. ALL PLAN DIMENSIONS ARE TO FACE OF BUILDING UNLESS OTHERWISE NOTED. DIMENSIONS ARE MEASURED PERPENDICULAR OR RADIALLY BETWEEN ITEMS UNLESS OTHERWISE NOTED.
- 8. EXISTING TOPOGRAPHY IS SHOWN PER FIELD RUN SURVEY PERFORMED BY GUTSCHICK, LITTLE & WEBER, P.A. IN JULY, 2021 AS WELL AS GRADES TAKEN FROM DESIGN PLANS FOR
- 9. COORDINATES AND BEARINGS ARE BASED UPON THE '83 MD STATE COORDINATE SYSTEM (NAD '83) AS PROJECTED BY HOWARD COUNTY GEODETIC CONTROL STATIONS NO. 4IEA, 4IEB, 4IGA
- IO. PROPERTY IS ZONED MXD-3 PER THE 02/02/04 COMPREHENSIVE ZONING PLAN. COMP LITE DATED 07/28/06 AND PER ZB-995M WAS APPROVED 12/29/00 AND ZB-1039M WAS APPROVED ON 03/20/06 GRANTING APPROVAL TO PDP.
- PREVIOUS DEPARTMENT OF PLANNING & ZONING FILE NUMBERS : S-01-17, ZB-995M, PB-353, 5-06-16, ZB-1039M, WP-01-111(*), WP-02-054(**), WP-12-180, P-02-12, F-03-001, F-05-018, F-05-178, F-06-140, F-07-037, F-11-085, F-12-021, SDP-05-036, SDP-06-067, SDP-12-069 AND
- 12. WATER AND SEWER SERVICE IS PUBLIC. THE WATER METER SETTING WILL BE INSIDE THE
- 13. ALL EXISTING WATER AND SEWER IS PER CONTRACT #24-4062-D AND 24-4243-D.
- 14. ALL EXISTING PUBLIC STORM DRAIN IS PER F-03-07 AND SDP 06-067.
- 15. STORMWATER MANAGEMENT FOR QUALITY AND QUANTITY CONTROL IS BEING PROVIDED IN AN EXISTING FACILITY. THE FACILITY IS A P-3 TYPE FACILITY LOCATED ON BUSINESS DISTRICT -OPEN SPACE LOT 2 AND WAS AS-BUILT AS PART OF F-03-07 IN APRIL, 2007.
- 16. EXISTING UTILITIES ARE BASED ON APPROVED DESIGN PLANS FOR CONSTRUCTION AND FIELD LOCATION BY GUTSCHICK, LITTLE & WEBER, P.A.
- 17. THERE ARE NO KNOWN CEMETERIES, GRAVE SITES OR HISTORIC STRUCTURES LOCATED ON THE
- 18. THERE ARE NO SCENIC ROADS WITHIN OR ADJACENT TO THE SUBJECT PROPERTY.
- 19. THERE IS NO FLOODPLAIN ON THIS SITE.
- 20. THERE ARE NO WETLANDS ON THIS SITE.
- 21. THIS PROPERTY WAS BROUGHT INTO THE METROPOLITAN DISTRICT ON AUGUST 8, 2001.
- 22. BUILDING SETBACKS AND BUILDING RESTRICTIONS ARE IN ACCORDANCE WITH THE APPROVED DEVELOPMENT CRITERIA PER PB CASE NO. 353, S-OI-IT, PB-378 AND S-06-I6.
- 23. AS A CONSEQUENCE OF THE SKETCH PLAN, S-OI-IT APPROVAL PRIOR TO NOVEMBER 15, 2001, THIS PROJECT IS GRANDFATHERED TO THE FOURTH EDITION OF THE SUBDIVISION AND LAND
- 24. THE TRAFFIC STUDY (APFO) WAS APPROVED AS PART OF SKETCH PLAN S-06-016 FOR AN OVERALL MAXIMUM EMPLOYMENT FLOOR AREA OF 1,860,012 SQ. FEET. THE RUNNING TOTAL OF FLOOR AREA UNDER THE APPROVED SDP'S THAT HAVE BEEN CONSTRUCTED OF TO BE CONSTRUCTED IS 1,851,900 SQ. FEET, INCLUDING THE 86,143 SQ. FEET FOR THIS SDP 22-002.
- 25. WATER AND SEWER HOUSE CONNECTION LIMITS SHOWN ON THESE PLANS IS FROM THE ROAD R/W OR LIMIT OF PUBLIC EASEMENT TO WITHIN 5' OF THE BUILDING. REFER TO ARCHITECTURALS FOR
- . BECAUSE THIS PLAN SUBMISSION IS NON-RESIDENTIAL USE, A NOISE STUDY IS NOT REQUIRED.
- 28. THIS OFFICE BUILDING IS LOCATED IN AN EMPLOYMENT AREA WHICH IS NOT PART OF A RETAIL CENTER

27. BUILDING WILL HAVE AN AUTOMATIC FIRE PROTECTION SPRINKLER SYSTEM W/ AN INSIDE METER.

- 29. THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH SECTION 16,124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL WITH 13 SHADE TREES, AND 167 SHRUBS. A LANDSCAPE SURETY IN THE AMOUNT OF \$8,910.00 WILL BE POSTED WITH THE GRADING PERMIT.
- 30. THE SHARED ACCESS AND PARKING AGREEMENT (INCLUDES DUMPSTERS FOR PRIVATE REFUSE SERVICE) FOR PARCELS C-23, C-24, AND C-26 IS RECORDED AT LIBER 7189 FOLIO 385. SEE THIS SHEET FOR THE "SHARED PARKING ANALYSIS".
- 31. ANY MODIFICATIONS OR CHANGES TO THE EXISTING PUBLIC STREET LIGHTS DURING CONSTRUCTION SHALL BE COORDINATED WITH THE HOWARD COUNTY TRAFFIC DIVISION, PLEASE CALL (410) 313-5752, ALL COSTS ASSOCIATED WITH STREET LIGHT WORK, SHALL BE PAID FOR BY THE DEVELOPER OF THIS PROJECT. THIS ALSO INCLUDES ANY DAMAGE DONE TO THE EXISTING STREET LIGHT CABLE.

3/8/2022

APPROVED: FOR PUBLIC WATER AND SEWERAGE SYSTEMS, HOWARD COUNTY HEALTH DEPARTMENT

Michael J. Davis

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county Health Officer

PLANNING BOARD OF HOWARD COUNTY

JANUARY 20, 2022

APPRIMED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING 3/8/2022

3/4/2022 mbeasing of Land Development Date (had Edmondson 3/3/2022 Development Engineering Division

PLANNING ENGINEERING SURVEYING

DEV DRAWN B DEV 3909 NATIONAL DRIVE I SUITE 250 I BURTONSVILLE. MD 20866 I GLWPA.CON HONE: 301-421-4024 | BALT: 410-880-1820 | DC&VA: 301-989-2524 | FAX: 301-421-4186 DATE

SITE DEVELOPMENT PLAN

GENERAL NOTES (cont.)

- 32. ALL EXTERIOR LIGHT FIXTURES SHALL BE FULLY OR PARTIALLY SHIELDED TO DIRECT LIGHT INWARDS AND DOWNWARDS AWAY FROM ALL ADJOINING RESIDENTIAL USE AREAS AND PUBLIC ROADS IN ACCORDANCE WITH SECTION 134 OF THE HOWARD COUNTY ZONING REGULATIONS
- 33. THIS SITE COMPLIES WITH SECTION 16.1200 OF THE HOWARD COUNTY CODE AND THE FOREST CONSERVATION MANUAL. FOREST CONSERVATION FOR THIS PROJECT HAS BEEN SATISFIED BY P 12-002, F 13-07, AND F 13-08.
- 34. THE BUILDING IS REQUIRED TO MEET THE GREEN BUILDING STANDARDS AND WILL COMPLY WITH THE GREEN BUILDING REQUIREMENTS PER SECTION 3.1005(A) OF THE HOWARD COUNTY CODE.
- 35. THE INFORMATION SHOWN ON THIS PLAN SET SUPERCEDES INFORMATION SHOWN ON F-03-007, THE F-03-007 PLAN SET ACKNOWLEDGED THAT THE IMPROVEMENTS ALONG MAPLE LAWN BOULEVARD FROM THE BACK OF CURB TO THE RIGHT-OF-WAY LINE WOULD BE CONSTRUCTED UNDER THE SITE
- DEVELOPMENT PLAN ALONG THAT SECTION OF THE ROADWAY. 36. TRAFFIC CONTROL DEVICES, MARKINGS, AND SIGNING SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD). ALL STREET AND REGULATORY SIGNS SHALL BE IN PLACE PRIOR TO THE PLACEMENT OF ANY ASPHALT.
- 37. HEALTH DEPARTMENT APPROVAL OF THIS SITE DEVELOPMENT PLAN DOES NOT ENSURE APPROVAL OF BUILDING PERMIT APPLICATION ASSOCIATED WITH THIS PLAN. PLANS FOR CERTAIN FACILITIES TO BE CONSTRUCTED WITHIN THE LIMITS DESCRIBED BY THIS PLAN WILL REQUIRE REVIEW AND APPROVAL BY THE HEALTH DEPARTMENT. SUCH FACILITIES MAY INCLUDE, BUT ARE NOT LIMITED TO, THOSE WHICH HAVE SWIMMING POOLS, OR THAT SELL PREPARED OR PACKAGED FOODS, OR THAT MAY HAVE EQUIPMENT THAT EMITS RADIATION.
- 38. STORMWATER MANAGEMENT IS PROVIDED IN ACCORDANCE WITH THE 2000 MARYLAND STORMWATER MANAGEMENT DESIGN MANUAL, VOLUMES I AND II. IT WAS DETERMINED THAT THIS PROJECT MET THE CRITERIA OUTLINED IN THE MDE STORMWATER MANAGEMENT REGULATIONS GUIDANCE FOR IMPLEMENTATION FOR ACCEPTANCE OF THE 2000 DESIGN CRITERIA AND THROUGH THE ADMINISTRATIVE WAIVER PROCESS, WAS GRANTED A WAIVER. THIS PLAN RECEIVED COMPREHENSIVE SKETCH PLAN APPROVAL (S 06-16) ON JANUARY 25, 2007. THIS PLAN IS ALSO SUBJECT TO THE EXPIRATION OF THIS WAIVER UNLESS ALL OF THE STORMWATER MANAGEMENT IS CONSTRUCTED BY
- 39. THE FOLLOWING ARE LEED REQUIRED ITEMS: I) REGISTRATION WITH THE GREEN BUILDING COUNCIL AND THAT THE APPLICABLE REGISTRATION FEE ii) THE APPROPRIATE DATE OF THE RECEIPT AND CHECKLIST THAT IS PREPARED, SIGNED AND
- 40. THE PLANNING BOARD APPROVED THIS SITE DEVELOPMENT PLAN ON XXXXXX XX, 2021 WITH NO
- 41. STREET LIGHT NOTES:
- I. THE DEVELOPER/CONSTRUCTION MANAGER SHALL CONTACT HOWARD COUNTY TRAFFIC (4IO-3I3-5752) TO COORDINATE THE INSTALLATION OF STREET LIGHT HAND BOXES/CONDUITS FOR THE EXISTING STREET LIGHTS
- 2. A FIELD MEETING WILL BE NEEDED WITH BGE AND HOWARD COUNTY TRAFFIC TO DISCUSS THE HAND BOX INSTALLATION AND THE INSTALLATION OF THE PAVERS/CONCRETE SIDEWALK AROUND THE EXISTING STREET LIGHTS.
- 3. A BGE "C-ORDER" WILL BE REQUIRED TO BE SIGNED BY THE DEVELOPER, MAKING THE DEVELOPER RESPONSIBLE FOR ANY DAMAGE DONE TO THE EXISTING STREET LIGHTS DURING CONSTRUCTION. CONTACT HOWARD COUNTY TRAFFIC TO ARRANGE.

SHEET INDEX

- COVER SHEET SITE DEVELOPMENT PLAN
- BUILDING ELEVATION, FOOTPRINT, AND DETAILS HANDICAP ACCESSIBILITY AND BUILDING PERIMETER GRADES

DATED BY THE LEED ACCREDITED PROFESSIONAL.

- PAVING DELINEATION PLAN and SITE DETAILS
- DRAINAGE AREA MAP and WALL ELEVATIONS SEDIMENT CONTROL AND DEMOLITION PLAN
- SEDIMENT CONTROL NOTES and DETAILS
- LANDSCAPE PLAN (by others)
- PERIMETER PLANTING, DETAILS, NOTES & TABULATIONS (by others)

- VEHICULAR INGRESS AND EGRESS TO MARYLAND ROUTE 216 AND ALONG PROPOSED MAPLE LAWN BOULEVARD EXTENSION THROUGH THE SUBDIVISION IS RESTRICTED, EXCEPT AT THE VARIOUS POINTS OF ACCESS TO BE APPROVED BY THE DEPARTMENT OF PLANNING AND ZONING UNDER THE CONDITIONS OF MP-01-111(*), WHICH WAS GRANTED ON MAY 2, 2001, ALLOWING THE FOLLOWING:
- A. ADDITIONAL POINTS ALONG MAPLE LAWN BOULEVARD OTHER THAN THOSE PERMITTED BY SECTION 16.119(F)(1). SUBJECT TO FURTHER ANALYSIS AND APPROVALS AT LATER PLAN STAGES, AND

B. RESIDENTIAL LOTS FRONT ON NEIGHBORHOOD PARKS INSTEAD OF BEING LIMITED TO FRONTAGE ON PUBLIC RIGHTS OF WAY AS IN SECTION 16.120(C)(2), SUBJECT TO ADEQUATE PRIVATE ALLEY ACCESS.

**WP-02-54

- NO GRADING, REMOVAL OF VEGETATIVE COVER OR TREES, OR PLACEMENT OF NEW STRUCTURES IS PERMITTED WITHIN LIMITS OF WETLANDS, STREAMS OR THEIR REQUIRED BUFFERS, AND 100 YEAR FLOOD PLAIN AREAS EXCEPT AS PERMITTED UNDER WP-02-54. WP 02-54 WAS GRANTED ON APRIL 2, 2002, ALLOWING THE FOLLOWING:
- I. DEVELOPMENT WITHIN A 100 YEAR FLOODPLAIN, AND
- 2. GRADING AND REMOVAL OF VEGETATIVE COVER WITHIN A 25' WETLAND BUFFER AND A 50' STREAM BUFFER.
- THE APPROVAL IS SUBJECT TO THE FOLLOWING CONDITIONS: THE WAIVER PETITION APPROVAL PERTAINS TO THE LIMITS OF DISTURBANCE TO THE WETLANDS, STREAM CHANNEL, AND FLOODPLAIN AREAS IDENTIFIED WITHIN THE PROPOSED EMPLOYMENT DISTRICT LOCATED IN THE SOUTHEAST
- PORTION OF PARCEL C-2. 2. MDE WATERWAY CONSTRUCTION APPROVAL IS REQUIRED PRIOR TO ROAD PLAN APPROVAL
- . ALL GRADING, CLEARING AND FILLING DISTURBANCES WITHIN THE 100 YEAR FLOODPLAIN, WETLANDS, STREAM CHANNEL AND THEIR REQUIRED BUFFERS ARE SUBJECT TO OBTAINING ALL NECESSARY WATER QUALITY CERTIFICATES AND PERMITS FROM THE MARYLAND DEPARTMENTS OF THE ENVIRONMENT NATURAL RESOURCES AND THE U.S. ARMY CORPS OF ENGINEERS, AND PRIOR TO COMMENCEMENT OF ANY GRADING DISTURBANCES. REFERENCE THE APPROVED PERMITS, CERTIFICATES OR TRACKING NUMBERS ON ALL FUTURE
- 4. THE PHASE I STREAM CHANNEL MITIGATION AND RESTORATION PLAN SHALL BE IMPLEMENTED FOR THIS PROJECT AS PROPOSED AND SHOWN ON THE PETITIONER'S WAIVER PETITION PLAN EXHIBIT "E".

WAS APPROVED ON JUNE 19, 2007 TO WAIVE SECTION 16.146 AND TO ALLOW FOR THE RECONFIGURATION OF EXISITNG COMMERCIAL PARCELS (ONE OF WHICH IS THIS PARCEL C-18) EXPANDING INTO A PORTION OF THE WESTSIDE DISTRICT (FORMERLY WESSEL PROPERTY) ON A RESUBIDIVISION PLAT PRIOR TO PRELIMINARY PLAN APPROVAL.

ALREADY BEEN CONSTRUCTED.

PLAN AND PERMIT SUBMITTALS.

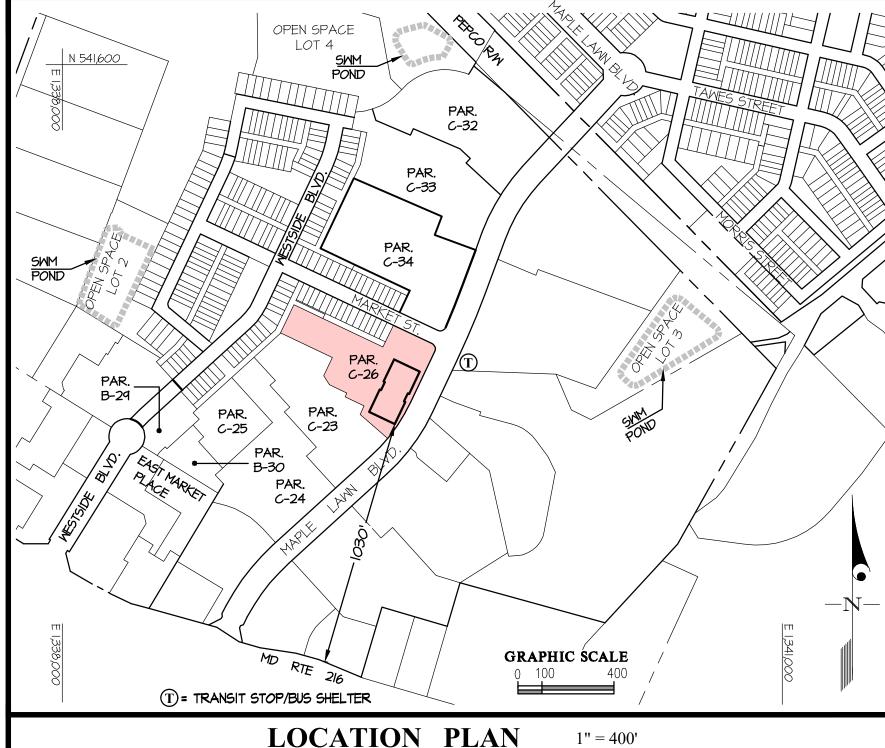
WAS APPROVED ON JULY 3, 2012 TO WAIVE SECTIONS 16.144(a) \$ 16.144(f), WHICH REQUIRES A SKETCH PLAN AND PRELIMINARY PLAN APPROVAL AS PART OF THE SUBDIVISION PROCESS. THE APPROVAL WAS GRANTED BASED ON THE FOLLOWING: NO PUBLIC INFRASTRUCTURE IS REQUIRED AS PART OF THE DEVELOPMENT.

REVISION

2. STORMWATER MANAGEMENT FOR THIS DEVELOPMENT IS PRIVATE AND HAS

MAPLE LAWN FARMS

Business District - Area 1 Parcel 'C-26' (OFFICE BUILDING No. 5)



- 1. ZONING: MXD-3. 2. GROSS AREA OF PARCEL C-26 = 153,672 SF = 3.53 AC.
- 3. LIMIT OF DISTURBED AREA = 3.65 AC. (LIMIT OF PLAN
- SUBMISSION)
- 4. PROPOSED USE: OFFICE BUILDING (OTHER USES MAY INCLUDE: FIRST FLOOR RETAIL, RESTAURANTS, PERSONAL SERVICE
- ESTABLISHMENTS, AND OTHER USES AS ALLOWED BY THE COMPREHENSIVE SKETCH PLAN)
- BUILDING COVERAGE (% OF GROSS SITE AREA): OFFICE BUILDING-5: 29,280 S.F. or 0.67 AC. = 19.0% OF PARCEL C-26 (3.53 AC.)
- FLOOR AREA RATIO (F.A.R.) CALCULATIONS

: 120011711127110 (11)	
	BLDG. #5 (C-26)
LOOR I	28,851 S. F.
FLOORS 2 AND 3	28,646 S. F. EA.
OTAL GROSS FLOOR AREA	86,143 S. F. (1.98 ac)
PARCEL AREA	3.53 ac
A.R.	0.56

PARKING CAI CUI ATIONS

17444110 074200				
	RENTABLE FLOOR AREA	ASSUMED USE	PARKING RATE	PARKING REQ.
FIRST FLOOR	25,966 S.F.	NON-OFFICE 2	5.0 PER 1000 S.F	130
SECOND FLOOR	25,781 S.F.	GENERAL OFFICE	3.3 PER 1000 S.F.	<i>8</i> 5
THIRD FLOOR	25,781 S.F.	GENERAL OFFICE	3.3 PER 1000 S.F.	<i>8</i> 5
			PARKING REQUIRED	300
			PARKING PROVIDED	254 SPACES

HANDICAP PARKING CALCULATIONS: PARKING RATE PARKING REQUIRED

8 FOR 301-400

REGULAR SPACES

HANDICAP

PARKING PROVIDED

) NET FLOOR AREA IS 90% OF THE GROSS FLOOR AREA AS DEFINED BY B.O.M.A. (BUILDING OWNERS AND MANAGERS ASSOCIATION) GUIDELINES. "NON-OFFICE HAS BEEN SHOWN AS THE ASSUMED USE FOR ILLUSTRATIVE PURPOSES ONLY. THE 5 SPACES PER 1000 S.F.

COVERS ALL NON-OFFICE USES WITHIN THE OFFICE BUILDING THAT ARE PERMITTED ON THE FIRST FLOOR INCLUDING RETAIL. RESTAURANTS, AND PERSONAL SERVICE ESTABLISHMENTS, AND MEDICAL OFFICES. WE HAVE PROVIDED THE PARKING TABULATION FOR THE MOST DEMANDING USE TO DEMONSTRATE THAT THE PARKING PROVIDED WILL BE ADEQUATE FOR ANY ANTICIPATED USES, INCLUDING GENERAL OFFICE. (3) OFFICE BUILDING 5 IS BEING PROPOSED WITH POSSIBLE PERSONAL SERVICES AND RESTAURANTS ON THE FIRST

PARKING WILL STILL BE ADEQUATE. SHARED PARKING CALCULATIONS B-29/B-30 C-23 C-24 C-25 I Ist FLOOR | 2nd \$ 3rd FLOORS 3LDG. AREA (GROSS) | 38,067 S.F. | 100,288F. | 93,945 S.F. | 34,858 S.F. 28,851 S.F. 57,292 S.F. 53,301 S.F BLDG. AREA (NET) () 34,260 S.F. 90,259 S.F. 84,551 S.F. 31,372 S.F. 25,966 S.F 51,563 S.F REQ. PARKING RATIO 3.3 3.3 3.3 (PER 1000 S.F. NET) OTAL REQ. PARKING 298 280 130 104 PER CODE ON SITE PARKING 325 328 1081 (NOT ON PUB. STREET ON PUBLIC STREET 10 OTAL PARKING 334 1122 338 272 AVAILABLE

SHARED PARKING TIME OF DAY ADJUSTMENT															
TYPE OF USE	MAX. PARKING				WEEK	(DAY				WEEKEND			NIGH"	T TIME	
	DEMAND FOR	6 A.M.	-8 A.M.	8 A.M	3 P.M.	3 P.M.	5 P.M.	5 P.M.	-12 A.M.	6 A.M.	6 P.M.	6 P.M.	-12 A.M.	12 A.M	6 A.N
	USE TYPE	%	ADJ.	%	ADJ.	%	ADJ.	%	ADJ.	%	ADJ.	%	ADJ.	%	ADJ.
PERSONAL SERVICE	130	20	26	60	78	60	78	90	117	100	130	70	91	5	7
OFFICE	967	80	774	100	967	00	967	10	97	0	97	5	49	5	49
TOTAL ADJUS	STED DEMAND		800		1045*		1045*		2 4		227		140		56

PARKING REQUIRED BASED ON MAXIMUM DEMAND = 1045 SPACES ON SITE PARKING PROVIDED = 1081

• 15' TO PUBLIC RIGHT-OF-WAY OF MAPLE LAWN BOULEVARD (EXCEPT FOR PARALLEL PARKING ADJACENT TO • 10' TO ANY OTHER PROPERTY OR BOUNDARY LINE (EXCEPT FOR PARALLEL PARKING ADJACENT TO ROADWAY, OR WHERE A PARCEL LINE LIES WITHIN A USE-IN-COMMON PARKING AREA SERVING MULTIPLE PARCELS.) • 20' TO PROJECT BOUNDARY LINE ALONG JOHNS HOPKINS OR ROUTE 216

EXCEPTIONS TO SETBACK REQUIREMENTS
STRUCTURES MAY BE LOCATED ANYWHERE WITHIN SETBACK AREAS IN ACCORDANCE WITH A SITE DEVELOPMENT PLAN APPROVED BY THE HOWARD COUNTY PLANNING BOARD

BAY WINDOWS, EAVES, FRENCH BALCONIES, PORTICOS, CORNICES, AWNINGS, SIGNS, AND SIMILAR ARCHITECTURAL ELEMENTS MAY ENCROACH FULLY INTO ANY SETBACK. ARCADES MAY ENCROACH INTO ANY SETBACK TO WITHIN I' OF THE PROPERTY LINE. WHERE SUCH ARCADES ARE PROPOSED, THE FRONT FACADE MAY ALIGN, VERTICALLY, WITH THE FRONT OF THE ARCADE, THEREBY REDUCING THE REQUIRED FRONT SETBACK ACCORDINGLY. AN ARCADE IS AN ARCHED BUILDING, OR FORTION OF A BUILDING, OR GALLERY OFTEN COVERED WITH A ROOF STRUCTURE OR BUILDING SUPPORTED BY A SERIES OF

ARCHES AND/OR COLUMNS ON PIERS. A MINIMUM OF FIVE PARKING SPACES SHALL BE PROVIDED FOR EACH 1,000 SQUARE FEET OF NET LEASABLE AREA DEVOTED TO COMMERCIAL RETAIL SALES USES. A MINIMUM OF 3.3 PARKING SPACES SHALL BE PROVIDED FOR EACH 1,000 SQUARE FEET OF NET LEASABLE AREA THAT IS DEVOTED TO OFFICE OR RESEARCH AND DEVELOPMENT USES.

NO PARKING REQUIREMENT IS IMPOSED UPON ANY RESTAURANT, COFFEE SHOP OR SIMILAR FACILITY.

CONSTRUCTED WITHIN BUILDINGS WHICH PRIMARILY SERVES TENANTS AND EMPLOYEES OF SUCH BUILDINGS, OR NEIGHBORING BUILDINGS ACCESSIBLE BY PEDESTRIANS. ONE PARKING SPACE SHALL BE PROVIDED FOR EACH BEDROOM CONTAINED WITHIN ANY HOTEL, INN OR SIMILAR FACILITY AND ONE PARKING SPACE SHALL BE PROVIDED FOR EACH FIVE EMPLOYEES OF SUCH FACILITY.
ONE PARKING SPACE SHALL BE PROVIDED FOR EACH THREE SEATS WITHIN ANY RESTAURANT, COFFEE SHOP OR

SIMILAR FACILITY CONSTRUCTED WITHIN A HOTEL, INN OR SIMILAR FACILITY OR AS A FREESTANDING STRUCTURE AND ONE PARKING SPACE SHALL BE PROVIDED FOR EACH FIVE EMPLOYEES OF ANY SUCH FACILITY. ONE PARKING SPACE SHALL BE PROVIDED FOR EACH TWO BEDS IN ANY HOSPITAL OR CLINIC, ONE PARKING SPACE SHALL BE PROVIDED FOR EACH EMPLOYEE ON A MAJOR SHIFT; AND EIGHT PARKING SPACES SHALL BE PROVIDED FOR EACH DOCTOR TREATING OUTPATIENTS ON A MAJOR SHIFT

'FLEX' SPACE (INDUSTRIAL/OFFICE) 2.5 SPACES PER 1,000 SQUARE FEET OF NET LEASABLE AREA 2.0 SPACES PER 1,000 SQUARE FEET OF NET LEASABLE AREA. OTHER INDUSTRIAL RECREATIONAL USES: 10.0 SPACES PER 1,000 SQUARE FEET OF NET LEASABLE AREA HEALTH CLUB

0.5 SPACES PER 1,000 SQUARE FEET OF NET LEASABLE AREA

LO SPACE PER SEVEN PERSONS PERMITTED IN THE POOL AT ONE TIME

BY THE DEPT OF HEALTH 2.0 SPACES PER COURT "NET LEASEABLE AREA" IS DEFINED AS 90% OF THE GROSS FLOOR AREA (AFTER DEDUCTING ANY FLOORS DEVOTED TO STORAGE AND COMMON USES), UNLESS A MORE PRECISE VALUE IS DETERMINED BY REDUCING THE GROSS FLOOR AREA BY AREAS DEVOTED TO PARKING, VEHICULAR CIRCULATION, OFFICE BUILDING STORAGE

REQUIRED MINIMUM PARKING FOR ALL SUCH COMMERCIAL AND EMPLOYMENT USES SHALL BE MET OFF-STREET. ADDITIONAL PARKING MAY BE ACCOMMODATED ON-STREET, IN PARALLEL PARKING WITHIN PUBLIC ROAD RIGHTS-OF-WAY, PARALLEL SPACES LOCATED ON PAVED AREAS ADJACENT TO PUBLICLY MAINTAINED ROADWAYS OR ORIENTED DIAGONALLY OR AT RIGHT ANGLES TO SUCH ROADWAYS, IN AND/OR OUT OF THE PUBLIC R/W. REDUCTIONS IN PARKING REQUIREMENTS ARE PERMITTED PURSUANT TO THE HOWARD COUNTY ZONING REGULATIONS

SECTIONS 133.D.8 (PARKING STUDIES), 133.E.I (SHARED PARKING) AND 133.E.2 (TRIP REDUCTION PLANS).

ELECTION DISTRICT No. 5

AREAS, EQUIPMENT AND MECHANICAL ROOMS/AREAS, LOCKER AND SHOWER FACILITIES, ENTRANCE

DISTRICI RESERVOIR **VICINITY MAP** ADC MAP 5052 **SCALE:** 1'' = 2000'BENCHMARKS ELEV. = 472.16 ELEV. = 431.17 N = 539,925.13 E=1,337,205.77 N = 538,656.76 E=1,339,461.55 STANDARD DISC ON CONCRETE MONUMENT STANDARD DISC ON CONCRETE MONUMEN **RETAIL and SERVICE** TRACKING CHART AREA of RETAIL (s.f SDP-04-096 10,941 SDP-05-008 9,312 SDP-05-036 SDP-05-047 SDP-06-067 FLOOR ONLY (5 SPACES / IOOO S.F.). IF THE FIRST FLOOR IS USED FOR OFFICE (3.3 SPACES / IOOO S.F.), THE SDP-06-148 SDP-07-002 14,918 SDP-08-056 49,815 SDP-08-058 Not built, see SDP-20-03 SDP-08-114 33,892

> A TOTAL OF 152,370 S.F. OF RETAIL IS ALLOWED IN ACCORDANCE WITH S-01-17, OR TOTAL OF 181590 S.F. OF RETAIL UNDER S-06-16. 2. THE RETAIL TRACKING CHART MUST BE UPDATED IF TENANT SPACE CHANGES USE T

SDP-09-060

SDP-10-002

SDP-10-067

SDP-12-059

SDP-14-007

SDP-16-011

SDP-16-048

SDP-16-007

SDP-17-011

SDP-17-026

SDP-18-051

SDP-20-038

SDP-21-053

13,281

11,099

143,258

Not built, see SDP-20-05

FLOOR AREA RATIO (F.A.R.) TRACKING CHART									
DPZ File Numbers	MLF District	Parcel A	Area (ac./s.f.)	Gross Floor Area (s.f.)	F.A.R.				
SDP-04-44 (Office Bldg.1)	Business	4.40	191,550	93,945	0.49				
SDP04-96 (Retail Bldg. 1 and Bank)	Business	3.17	137,933	24,088	0.17				
SDP-05-08 (Retail Bldg.2 and Gas Station)	Business	3.20	139,520	22,218	0.16				
SDP-05-36 (Office Bldg.2, Par. C-24)	Business	3.99	173,818	93,945	0.54				
SDP-05-47 (Office Bldg.3, Par. C-21 and Bank, Par. C-22)	Business	5.58	243,230	123,740	0.51				
SDP-06-67 (Office Bldg.4, Par. C-23)	Business	3.49	152,117	100,288	0.66				
SDP-06-148 (Medical and Office Buildings)	Midtown	8.54	371,950	127,186	0.34				
SDP-07-02 (Bank, School, Retail & Restaurant)	Midtown	7.36	320,659	47,133	0.15				
SDP-08-56 (Harris Teeter Grocery Store, Par. B6)	Westside	4.24	184,615	49,815	0.27				
SDP-08-058 (Bank, Parcel B-11) voided, see SDP-20-038	Westside								
SDP-08-114 (Parcels B-7 thru B-10 and B-22 & B-26)	Westside	6.51	283,685	58,574	0.21				
SDP-09-060 (Parcels B- 13 thru B-17)	Westside	17.06	743,157	210,100	0.28				
SDP-10-002 (Office Bldg.2A, Par. C-25)	Business	1.54	66,954	34,375	0.51				
SDP-10-067 (Bldg.7, Parcel B-18 & Bldg-8, Parcel B-19)	Westside	2.81	122,406	17,192	0.14				
SDP-12-059 (Office Bldg.6, Parcel C-28)	Business	6.00	261,261	139,421	0.53				
SDP-14-007 (Office Bldg.8, Parcel C-29)	Business	5.73	249,400	130,629	0.52				
SDP-16-011 (Office Bldg.10, Parcel C-22)	Business	4.35	189,537	104,412	0.55				
SDP-16-048 (Office Bldg. 9, Parcel C-33)	Business	3.97	172,926	102,263	0.59				
SDP-16-007 (Hotel Bldg.14 & Office Bldg.15)	Westside	3.63	158,063	108,667	0.69				
SDP-17-011 (Bldgs. 12a & 12b) not built, see SDP-21-053	Westside	0.00							
SDP-17-026 (Bldg.9 & Bldg.10)	Westside	2.59	112,996	20,258	0.18				
SDP-18-051 (Office Bldg.7, Parcel C-34)	Business	4.68	204,025	115,420	0.57				
SDP-20-038 (Restaurant, Parcel B-11)	Westside	0.80	34,895	4,021	0.12				
SDP-21-053, (Office Bldg.12, Parcels B-29 & B-30)	Westside	1.55	67,385	38,067	0.56				
SDP-22-002, (Office Bldg.5, Parcels C-26) - this SDP	Business	3.53	153,766	86,143	0.56				
Employment Area Recorded as Road R/W		13.28	578,314	0	0.00				
Running Sub-total		122.00	5,314,162	1,851,900	0.35				
Total Area Allowed to be Recorded as Employment		122.00		1,860,012	0.35				

ADDRESS and PERMIT INFORMATION CHART 8150 MAPLE LAWN BOULEVARD (Building No. 5) SECTION/AREA PARCELS BUSINESS DISTRICT - AREA I C-26 TAX MAP BLOCK ELEC. DIST. CENSUS TRACT ZONE

The maximum total floor area permitted per S-0-16 is 1,860,012 s.f. (0.35 FAR) which is 35% of 122.0 acres.

BUILDING ADDRESS: SUBDIVISION NAME MAPLE LAWN FARMS PLAT Nos. MXD-3 6051.02 46 3 \$ 4 SEWER CODE: WATER CODE: 7695000

TOTAL REMAINING EMPLOYMENT AREA (acres)



SWIMMING POOL, COMMUNITY

FOYERS/ATRIA, AND SIMILAR AREAS.

COVER SHEET MAPLE LAWN FARMS

Business District - Area 1 Parcel 'C-26' (Office Building No. 5 - A LEED Certified Green Building) (Proposed Office Space with possible First Floor Retail, Restaurant, or Personal Service) PLAT No. 21620

G. L. W. FILE No 21067 AS SHOWN TAX MAP - GRID SHEET FEB. 2022 OF 11 46: 3&4 HOWARD COUNTY, MARYLAND

PARCEL SIZE NO MINIMUM OR MAXIMUM PARCEL SIZES APPLY IN THE EMPLOYMENT LAND USE AREAS. MAXIMUM BUILDING HEIGHT SHALL BE LIMITED TO 120' UNLESS APPROVED TO BE GREATER ON A SITE DEVELOPMENT PLAN BY THE HOWARD

COMMERCIAL DEVELOPMENT DESIGN CRITERIA PER S-06-16

COUNTY PLANNING BOARD. ADDITIONALLY, THE FOLLOWING SHALL APPLY: • COMMERCIAL BUILDINGS AT THE CORNER OF JOHNS HOPKINS ROAD AND MAPLE LAWN BOULEVARD SHALL NOT EXCEED THREE STORIES. COMMERCIAL BUILDINGS EAST OF MAPLE LAWN BOULEVARD AT THE FOCAL POINT SHALL NOT EXCEED FOUR STORIES. COMMERCIAL BUILDINGS IN THE BUSINESS DISTRICT WITHIN 300 FEET OF MD ROUTE 216 SHALL NOT EXCEED ONE STORY. • COMMERCIAL BUILDINGS IN THE BUSINESS DISTRICT LOCATED BETWEEN 300 FEET AND 500 FEET FROM MD ROUTE 216 SHALL NOT

• COMMERCIAL BUILDINGS IN THE BUSINESS DISTRICT BEYOND 500 FEET FROM MD ROUTE 216 SHALL NOT EXCEED EIGHT STORIES ABOVE THE HIGHEST ADJOINING GRADE. · COMMERCIAL BUILDINGS IN THE WESTSIDE DISTRICT WITHIN 300 FEET OF MD ROUTE 216 SHALL NOT EXCEED TWO STORIES.

• COMMERCIAL BUILDINGS IN THE WESTSIDE DISTRICT BEYOND 300 FEET FROM MD ROUTE 216 SHALL NOT EXCEED FOUR STORIES ABOVE

PERMITTED USES
THE FOLLOWING USES ARE PERMITTED IN EMPLOYMENT LAND USE AREAS:

EMPLOYMENT USES PERMITTED ONLY WITHIN M-1 ZONING DISTRICT SHALL NOT BE PERMITTED. ALL USES PERMITTED AS A MATTER OF RIGHT IN THE POR, B-I AND M-I DISTRICTS, AS PER PETITIONER'S PDP EXHIBIT 18, WITHOUT REGARD TO ANY LIMITATIONS OR RESTRICTIONS ON RETAIL OR PERSONAL SERVICE USES OTHERWISE PERMITTED IN SUCH DISTRICTS; FAST FOOD, CONVENIENCE STORES, COUNTRY CLUBS AND GOLF COURSES, MOVIE THEATERS, LEGITIMATE THEATERS AND DINNER THEATERS, PUBLIC UTILITY USES (EXCLUDING STAND-ALONE COMMUNICATION TOWERS), GROUP CARE FACILITIES, HOUSING FOR THE ELDERLY AND/OR HANDICAPPED PERSONS, NURSING HOMES AND SHELTERED HOUSING. PARCEL A-2 MAY CONTAIN LIVE-WORK UNITS AS DEFINED IN THE OTHER RESIDENTIAL (OR) SECTION. ACCESSORY STRUCTURES AND

ACCESSORY USES ARE ALSO PERMITTED. THE FOLLOWING ADDITIONAL USES NOT REFERRED TO OR INCLUDED IN THE ABOVE USES, WHICH ARE ALLOWED BY SPECIAL EXCEPTION IN THE POR, B-I AND M-I DISTRICTS, WILL BE PERMITTED AS A MATTER OF RIGHT IN THE EMPLOYMENT LAND USE AREAS, AND ARE SPECIFICALLY APPROVED BY THE PLANNING BOARD ON THIS AMENDED COMPREHENSIVE SKETCH PLAN, PROVIDED, HOWEVER, THAT QUARRIES, TEMPORARY WRECKED VEHICLE STORAGE AND YARD WASTE SHALL NOT BE ALLOWED: PUBLIC SCHOOL BUILDINGS-TEMPORARY CONVERSION TO OTHER USES

 THEATERS, LEGITIMATE AND DINNER THEATERS, MOVIE • PUBLIC UTILITY USES, LIMITED TO THE FOLLOWING: UTILITY SUBSTATIONS, ABOVE GROUND PIPELINES, PUMPING STATIONS, TELEPHONE STATIONS, AND TELEPHONE EXCHANGES, BUT NO STAND-ALONE COMMERCIAL COMMUNICATIONS TOWERS.

• NO MORE THAN 15% OF THE TOTAL EMPLOYMENT LAND USE AREA MAY BE DEVOTED TO WAREHOUSE AND LIGHT MANUFACTURING USES. • CEMETERIES, MAUSOLEUMS & CREMATORIUMS ARE NOT PERMITTED · A MAXIMUM OF ONE GASOLINE SERVICE STATION IS PERMITTED. THE GASOLINE SERVICE STATION MAY INCLUDE A CAR WASH, CAR

REPAIR FACILITIES AND/OR CONVENIENCE STORE FOOD • NO SINGLE RETAIL CENTER SHALL CONTAIN MORE THAN 150,000 SQUARE FEET OF GROSS FLOOR AREA DESIGNATED FOR USE BY RETAIL AND PERSONAL SERVICE BUSINESSES. DESIGNATED RETAIL CENTERS MAY INCLUDE RETAIL STORES, PERSONAL SERVICE ESTABLISHMENTS, AND SIMILAR USES, AS WELL AS FAST FOOD RESTAURANTS AND A GASOLINE SERVICE STATION; HOWEVER FOR ALL RETAIL CENTERS THE TOTAL SQUARE FOOT AREA WHICH MAY BE USED FOR RETAIL AND PERSONAL SERVICE BUSINESS SHALL NOT EXCEED 181590 (300 SQUARE FEET PER GROSS ACRE). NO INDIVIDUAL RETAIL ESTABLISHMENT WITHIN THE MXD-3 DISTRICT SHALL HAVE A GROSS FLOOR AREA GREATER THAN 65,000 SQUARE FEET. RETAIL AND PERSONAL SERVICES AND OTHER ALLOWED USES, SUCH AS RESTAURANTS AND A GASOLINE SERVICE STATION MAY ALSO BE LOCATED WITHIN OTHER DESIGNATED EMPLOYMENT AREAS OUTSIDE

SECTION 128.6 SHALL APPLY TO EMPLOYMENT LAND USE AREAS.

COVERAGE NO COVERAGE REQUIREMENT IS IMPOSED IN EMPLOYMENT LAND USE AREAS

MLFCC PARCEL 5, LLC

BALTIMORE, MD 21208

ATTN.: MARK BENNETT

PH. 410-484-8400

1829 REISTERSTOWN ROAD

FLOOR AREA RATIO (FAR) OVERALL LIMIT IS 0.35 CALCULATED ON THE TOTAL ACREAGE FOR ALL EMPLOYMENT LAND USE AREAS. SETBACKS (ALSO SEE "PROJECT BOUNDARY SETBACKS")

PREPARED FOR:

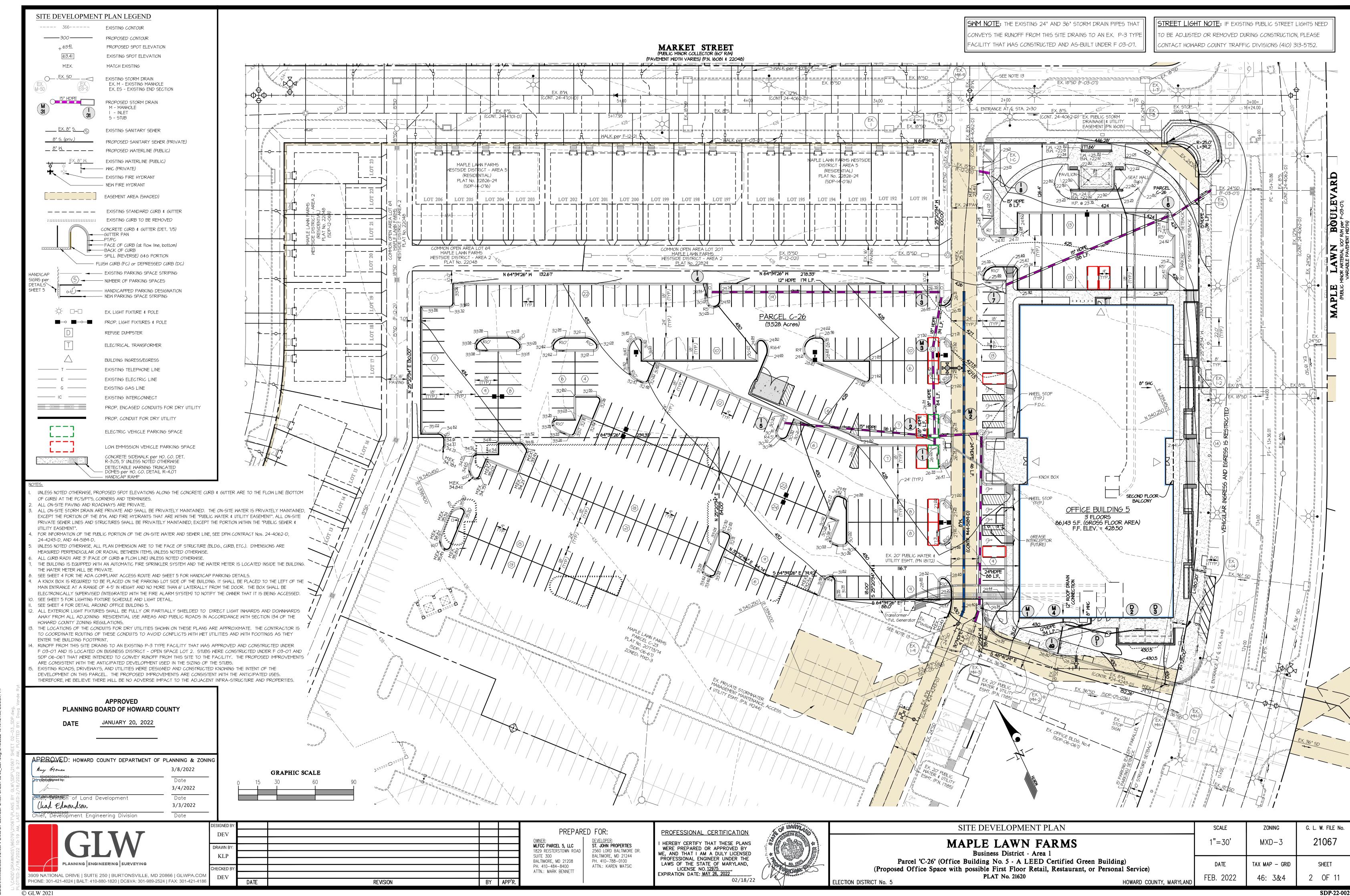
THE MINIMUM SETBACK FOR EMPLOYMENT/COMMERCIAL STRUCTURES SHALL BE AS FOLLOWS: • 50' FROM THE BOUNDARY LINE ALONG JOHNS HOPKINS ROAD OR ROUTE 216 • 10' FROM THE RIGHT-OF-WAY OF MAPLE LAWN BOULEVARD • NO SETBACK IS REQUIRED FROM THE RIGHT-OF-WAY OF ANY INTERNAL PUBLIC OR PRIVATE ROADS OTHER THAN FOR MAPLE LAWN

BOULEVARD AS NOTED ABOVE • 10' FROM ANY OTHER PROPERTY LINE

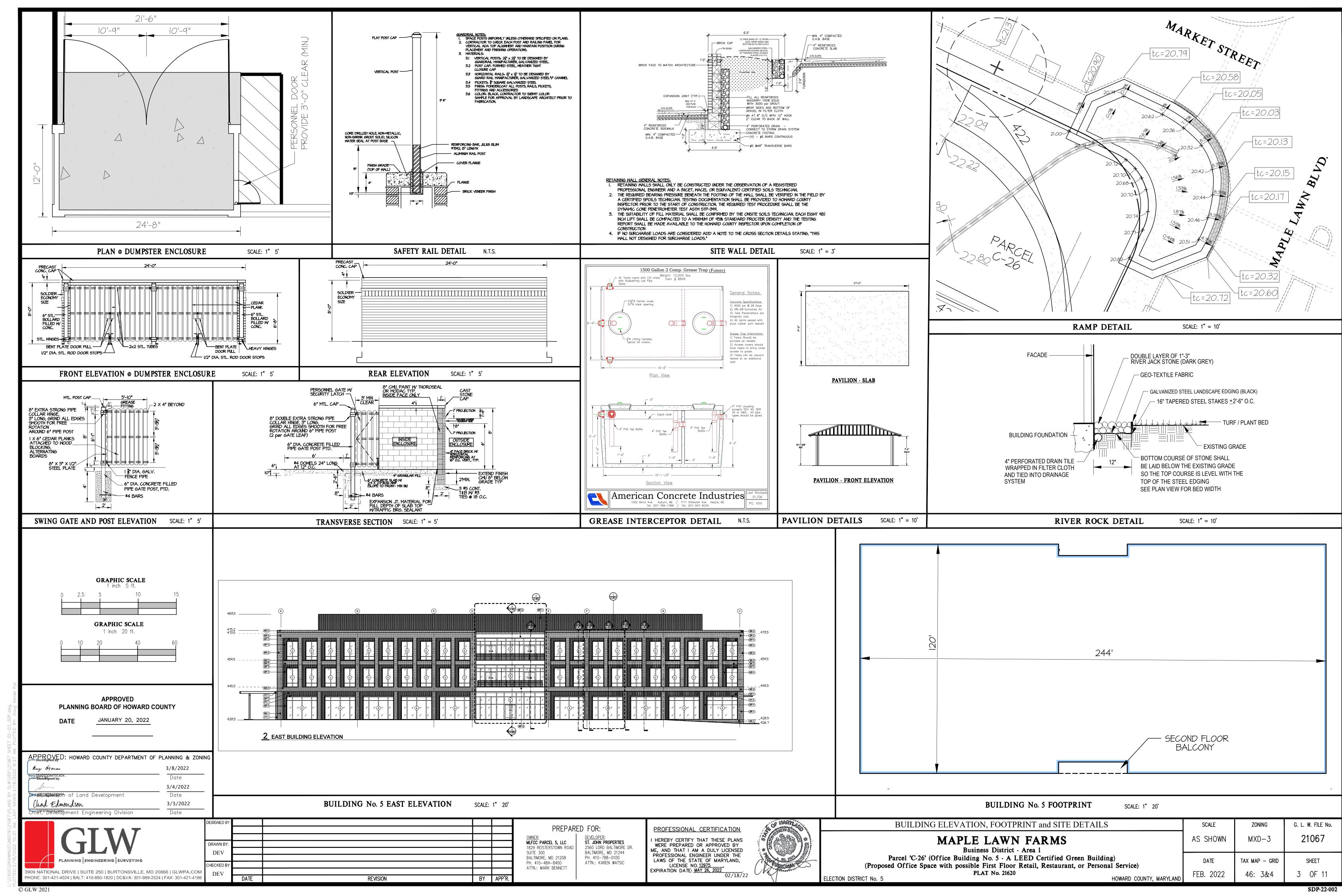
> PROFESSIONAL CERTIFICATION ST. JOHN PROPERTIES 2560 LORD BALTIMORE DR BALTIMORE, MD 21244 PH. 410-788-0100 ATTN.: KAREN WATSIC

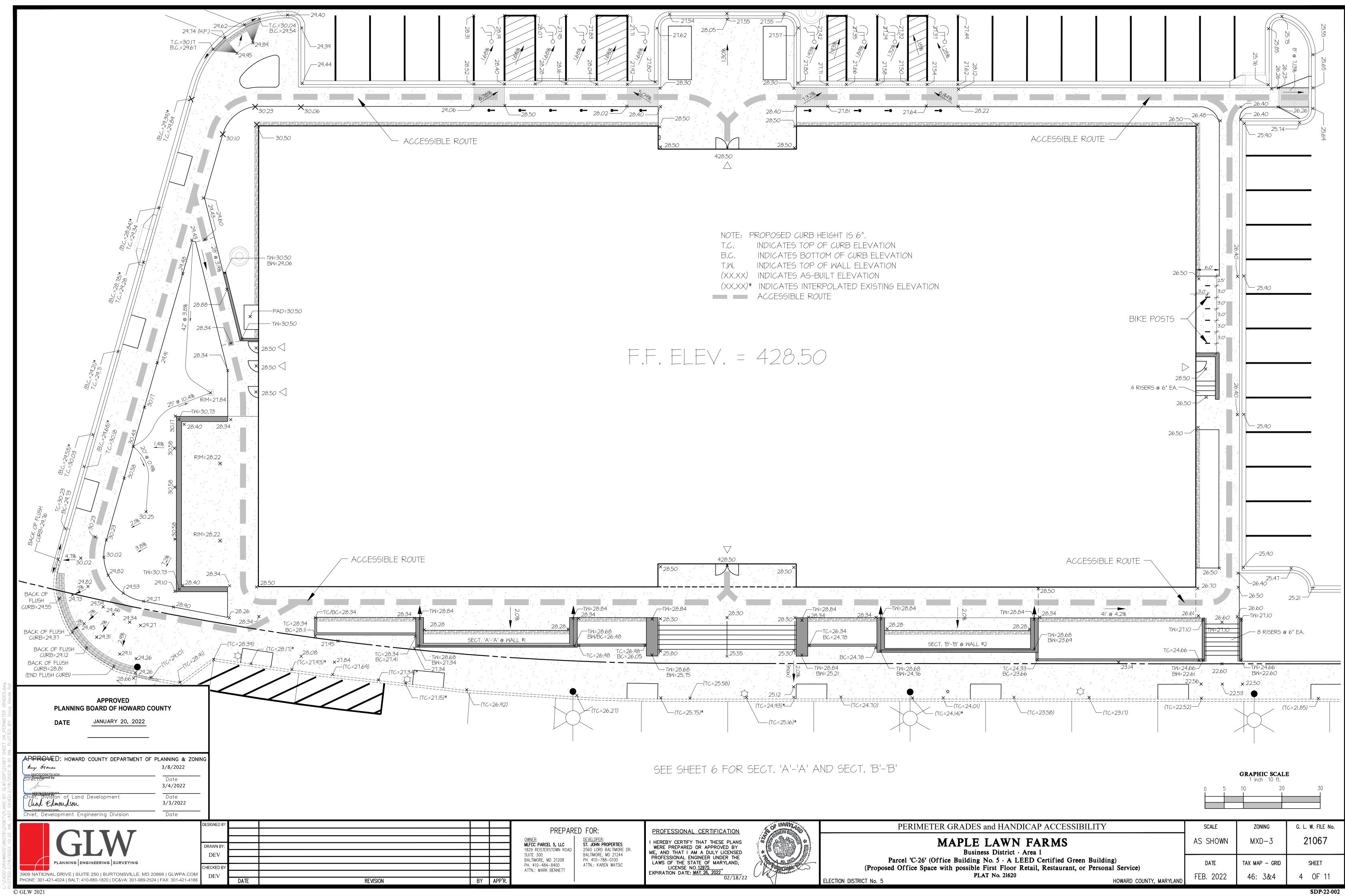
HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 12975_____, EXPIRATION DATE: MAY 26, 2022

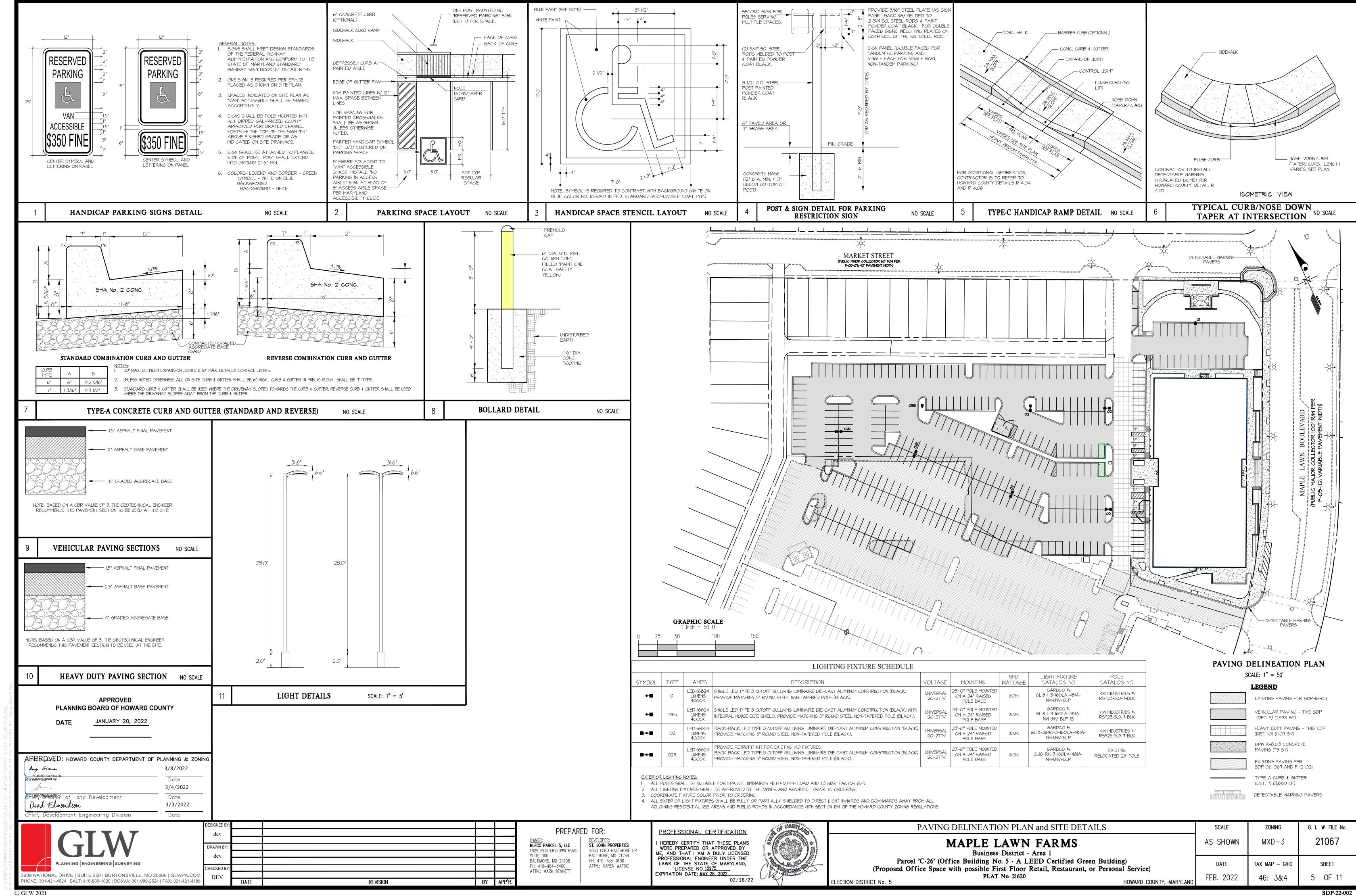
02/18/22

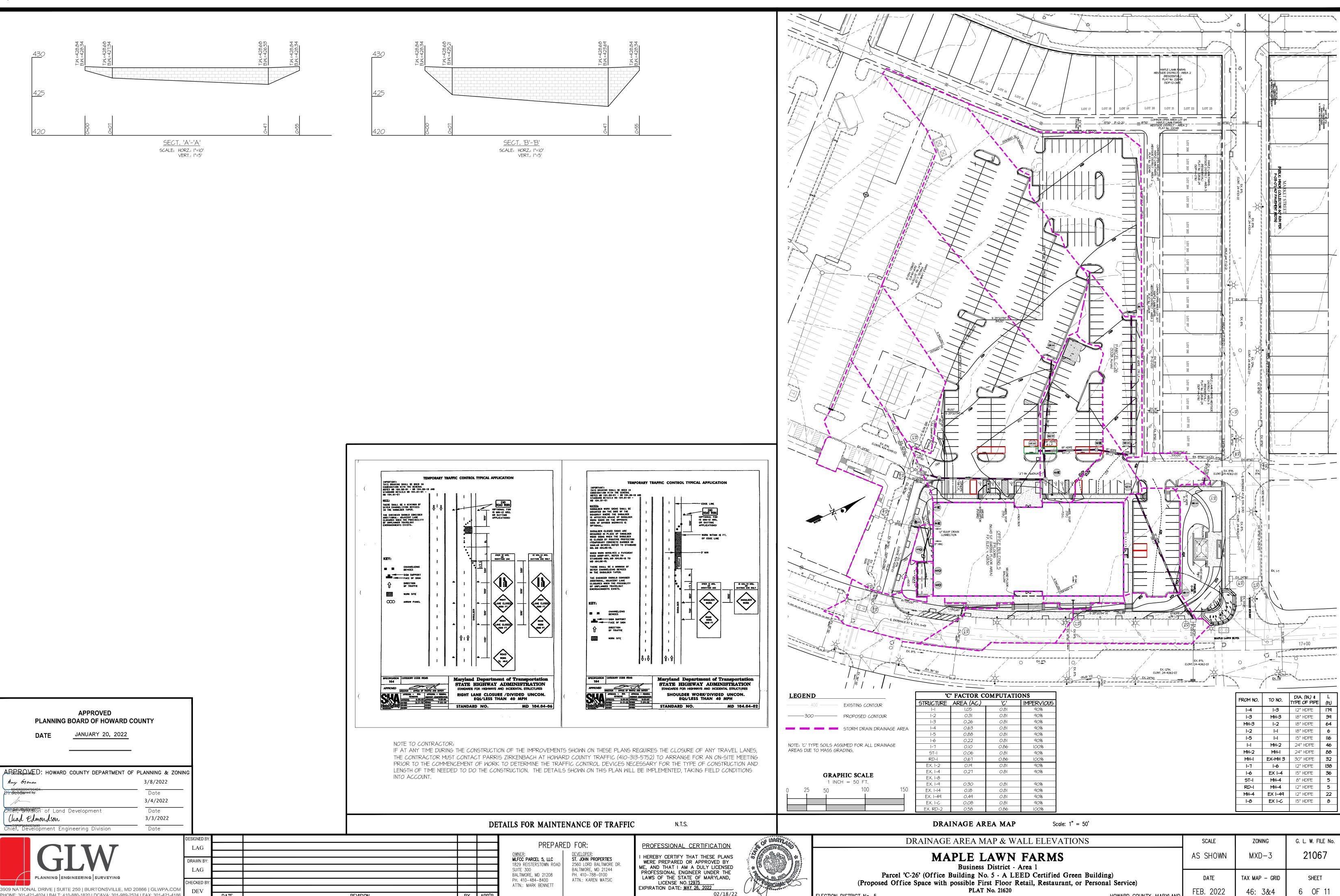


22-002









02/18/22

BY APP'R.

REVISION

ELECTION DISTRICT No. 5

© GLW 2021

PHONE: 301-421-4024 | BALT: 410-880-1820 | DC&VA: 301-989-2524 | FAX: 301-421-4186

DATE

SDP-22-002

HOWARD COUNTY, MARYLAND

SOIL TYPES

Symbol	Description	Soil Type	Км
ChB2	Chester Silt Loam, 3 to 8 percent slopes, moderately eroded	В	0.37
EkB2	Elioak Silt Loam, 3 to 8 percent slopes, moderately eroded	C	0.32
GIB2	Glenelg Loam, 3 to 8 percent slopes, moderately eroded	В	0.20
GIC2	Glenelg Loam, 8 to 15 percent slopes, moderately eroded	В	0.20

NOTE: 'C' TYPE SOILS ASSUMED FOR ALL DRAINAGE AREAS DUE TO MASS GRADING.

GRAPHIC SCALE 0 20 40

BUILDER'S CERTIFICATE

"I/WE CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A MARYLAND DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HSCD."

SIGNATURE OF DEVELOPER/BUILDER

2/18/22

ENGINEER'S CERTIFICATE

'I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT."

02/18/22

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT. Olexander Bratchie 3/3/2022

APPROVED PLANNING BOARD OF HOWARD COUNTY

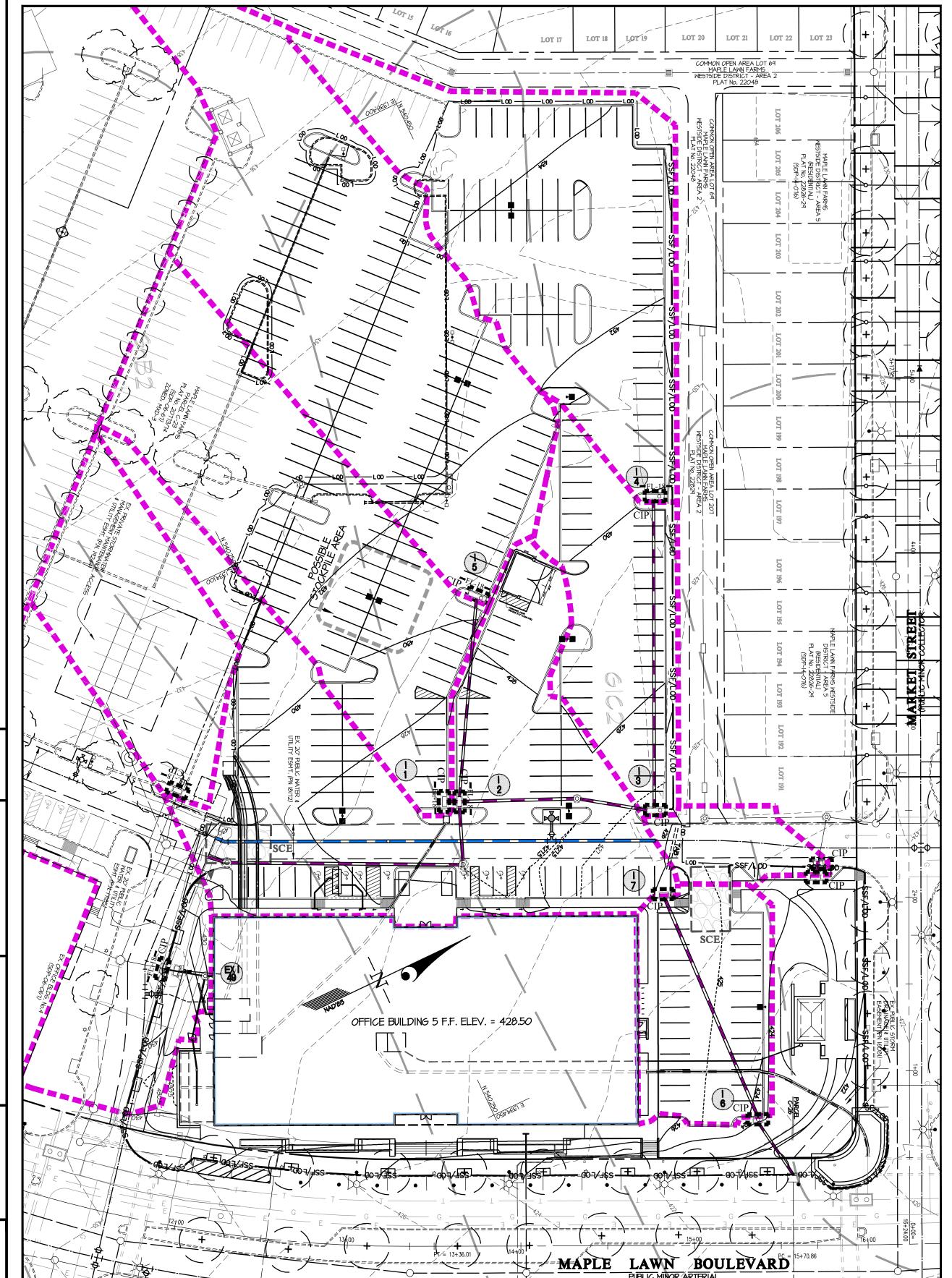
APPRAMED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING 3/8/2022

JANUARY 20, 2022

chien and Development Date Chad Edmondson Chief, Development Engineering Division

3/4/2022 3/3/2022 Date

DATE



SEDIMENT CONTROL DEVICE DRAINAGE AREA MAP

INLET DA & TREATMENT TABLE							
STRUCTURE	AREA (AC.)	SEC DEVICE					
I-I	1. <i>0</i> 5	CURB INLET PROTECTION & FILTER LOG					
I-2	0.31	CURB INLET PROTECTION & FILTER LOG					
I-3	0.26	CURB INLET PROTECTION					
1-4	0.63	CURB INLET PROTECTION & FILTER LOG					
I-5	0.88	CURB INLET PROTECTION & FILTER LOG					
1-6	0.22	CURB INLET PROTECTION					
1-7	0.10	CURB INLET PROTECTION					

BY APP'R.

MAINTENANCE OF TRAFFIC: SEE SHEET 6 FOR MAINTENANCE OF TRAFFIC DETAILS.

TREMOVED, DEMO EX. TREE TO BE EX. CURB REMOVED/RELOCATED _ EX. CONDUIT TO BE EX. PAVILION TO EX. COMMUNICATION CABLE TO REMAIN EX. COMMUNICATION CABLE TO REMAIN EX. CABLE/JUNCTION BOX TO BE ADJUSTED EXTEND EX. SD PIPE WORK TO EX. COMMUNICATION CABLE TO REMAIN FX. GAS MAIN TO REMAIN EX. INLET (I-C) TO BE REMOVED TRIM EX. SD PIPE TO WORK WITH NEW LOCATION OF INLET - EX. INLET (1-49) TO BE RELOCATED EX. JUNCTION BOX_ TO REMAIN EX. HANDBOXES (2) -- EX. CABLE/JUNCTION BOXES (5) TO BE ADJUSTED TO BE ADJUSTED → EX. ASPHALT WALK TO BE REMOVED EX. ASPHALT WALK MAPLE LAWN/BOULEVARD **DEMOLITION PLAN LEGEND DEMOLITION PLAN** EX. CURB TO BE REMOVED = = = = EX. CURB TO REMAIN T.B.R. TO BE REMOVED DEMOLITION NOTES: REMOVE ALL DEBRIS FROM MAPLE LAWN FARMS & HAUL IT TO A RECYCLE FACILITY. THIS PLAN IS FOR SEDIMENT CONTROL PURPOSES ONLY ADDITIONAL CURB or SIDEWALK MAY HAVE TO BE REPLACED IN THE FIELD.

(SOLID) TO BE REMOVED_

EX. LIGHT TO BE

EX. INLET 1-41 TO BE

EX: MANHOLE (MH-40) TO BE REMOVED

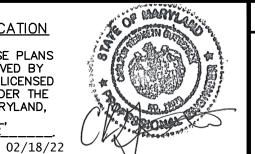
3909 NATIONAL DRIVE | SUITE 250 | BURTONSVILLE, MD 20866 | GLWPA.COM PHONE: 301-421-4024 | BALT: 410-880-1820 | DC&VA: 301-989-2524 | FAX: 301-421-4186

DRAWN BY DEV

REVISION

OWNER: MLFCC PARCEL 5, LLC 1829 REISTERSTOWN ROAD BALTIMORE, MD 21208 PH. 410-484-8400 ATTN.: MARK BENNETT

PREPARED FOR: PROFESSIONAL CERTIFICATION <u>DEVELOPER:</u> ST. JOHN PROPERTIES I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY 2560 LORD BALTIMORE DR. ME, AND THAT I AM A DULY LICENSED BALTIMORE, MD 21244 PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 12975 _____, EXPIRATION DATE: MAY 26, 2022 _____. PH. 410-788-0100 ATTN.: KAREN WATSIC



SEDIMENT CONTROL and DEMOLITION PLAN	SCALE	ZONING	G. L. W. FILE No.
MAPLE LAWN FARMS Business District - Area 1	1"=40'	MXD-3	21067
Parcel 'C-26' (Office Building No. 5 - A LEED Certified Green Building) (Proposed Office Space with possible First Floor Retail, Restaurant, or Personal Service)	DATE	TAX MAP — GRID	SHEET
PLAT No. 21620 ELECTION DISTRICT No. 5 HOWARD COUNTY, MARYLAND	FEB. 2022	46: 3&4	7 OF 11

B-4-2 STANDARD AND SPECIFICATIONS FOR SOIL PREPARATION, TOPSOILING, AND SOIL AMENDMENTS <u>DEFINITION</u> THE PROCESS OF PREPARING THE SOILS TO SUSTAIN ADEQUATE VEGETATIVE STABILIZATION.

TO PROVIDE A SUITABLE SOIL MEDIUM FOR VEGETATIVE GROWTH.

CONDITIONS WHERE PRACTICE APPLIES WHERE VEGETATIVE STABILIZATION IS TO BE ESTABLISHED.

A. SOIL PREPARATION . TEMPORARY STABILIZATION

a. SEEDBED PREPARATION CONSISTS OF LOOSENING SOIL TO A DEPTH OF 3 TO 5 INCHES BY MEANS (JITABLE AGRICULTURAL OR CONSTRUCTION EQUIPMENT, SUCH AS DISC HARROWS OR CHIS RIPPERS MOUNTED ON CONSTRUCTION EQUIPMENT. AFTER THE SOIL IS LOOSENED, IT MUST NOT BI ROLLED OR DRAGGED SMOOTH BUT LEFT IN THE ROUGHENED CONDITION. SLOPES 3:1 OR FLATTER ARE O BE TRACKED WITH RIDGES RUNNING PARALLEL TO THE CONTOUR OF THE SLOPE.

b. APPLY FERTILIZER AND LIME AS PRESCRIBED ON THE PLANS. 2. INCORPORATE LIME AND FERTILIZER INTO THE TOP 3 TO 5 INCHES OF SOIL BY DISKING OR OTHER SUITABLE MEANS

. PERMANENT STABILIZATION

a. A SOIL TEST IS REQUIRED FOR ANY EARTH DISTURBANCE OF 5 ACRES OR MORE. THE MINIMUM SOIL CONDITIONS REQUIRED FOR PERMANENT VEGETATIVE ESTABLISHMENT ARE: I. SOIL PH BETWEEN 6.0 AND 7.0.

II. SOLUBLE SALTS LESS THAN 500 PARTS PER MILLION (PPM).

III. SOIL CONTAINS LESS THAN 40 PERCENT CLAY BUT ENOUGH FINE GRAINED MATERIAL (GREATER THAN 30 PERCENT SILT PLUS CLAY) TO PROVIDE THE CAPACITY TO HOLD A MODERATE AMOUNT OF MOISTURE. AN EXCEPTION: IF LOVEGRASS WILL BE PLANTED, THEN A SANDY SOIL (LESS THAN 30 PERCENT SILT PLUS CLAY) WOULD BE ACCEPTABLE.

IV. SOIL CONTAINS 1.5 PERCENT MINIMUM ORGANIC MATTER BY WEIGHT.

V. SOIL CONTAINS SUFFICIENT PORE SPACE TO PERMIT ADEQUATE ROOT PENETRATION.

b. APPLICATION OF AMENDMENTS OR TOPSOIL IS REQUIRED IF ON-SITE SOILS DO NOT MEET THE ABOVE :. GRADED AREAS MUST BE MAINTAINED IN A TRUE AND EVEN GRADE AS SPECIFIED ON THE APPROVED

PLAN, THEN SCARIFIED OR OTHERWISE LOOSENED TO A DEPTH OF 3 TO 5 INCHES. d. APPLY SOIL AMENDMENTS AS SPECIFIED ON THE APPROVED PLAN OR AS INDICATED BY THE RESULTS

e. MIX SOIL AMENDMENTS INTO THE TOP 3 TO 5 INCHES OF SOIL BY DISKING OR OTHER SUITABLE MEANS. RAKE LAWN AREAS TO SMOOTH THE SURFACE, REMOVE LARGE OBJECTS LIKE STONES AND BRANCHES, AND READY THE AREA FOR SEED APPLICATION. LOOSEN SURFACE SOIL BY DRAGGING WITH A HEAVY CHAIN OR OTHER EQUIPMENT TO ROUGHEN THE SURFACE WHERE SITE CONDITIONS WILL NOT PERMIT NORMAL SEEDBED PREPARATION, TRACK SLOPES 3:1 OR FLATTER WITH TRACKED EQUIPMENT LEAVING THE SOIL IN AN IRREGULAR CONDITION WITH RIDGES RUNNING PARALLEL TO THE CONTOUR OF THE SLOPE. LEAVE THE TOP 1 TO 3 INCHES OF SOIL LOOSE AND FRIABLE. SEEDBED LOOSENING MAY BE UNNECESSARY ON NEWLY DISTURBED AREAS.

TOPSOIL IS PLACED OVER PREPARED SUBSOIL PRIOR TO ESTABLISHMENT OF PERMANENT VEGETATION THE PURPOSE IS TO PROVIDE A SUITABLE SOIL MEDIUM FOR VEGETATIVE GROWTH. SOILS OF CONCERN HAVE LOW MOISTURE CONTENT, LOW NUTRIENT LEVELS, LOW PH, MATERIALS TOXIC TO PLANTS, AND/OR

TOPSOIL SALVAGED FROM AN EXISTING SITE MAY BE USED PROVIDED IT MEETS THE STANDARDS AS SET FORTH IN THESE SPECIFICATIONS. TYPICALLY, THE DEPTH OF TOPSOIL TO BE SALVAGED FOR A GIVEN SOIL TYPE CAN BE FOUND IN THE REPRESENTATIVE SOIL PROFILE SECTION IN THE SOIL SURVEY

TOPSOILING IS LIMITED TO AREAS HAVING 2:1 OR FLATTER SLOPES WHERE:

a. THE TEXTURE OF THE EXPOSED SUBSOIL/PARENT MATERIAL IS NOT ADEQUATE TO PRODUCE VEGETATIVE HE SOIL MATERIAL IS SO SHALLOW THAT THE ROOTING ZONE IS NOT DEEP ENOUGH TO SUPPORT PLANTS OR FURNISH CONTINUING SUPPLIES OF MOISTURE AND PLANT NUTRIENTS.

THE ORIGINAL SOIL TO BE VEGETATED CONTAINS MATERIAL TOXIC TO PLANT GROWTH d. THE SOIL IS SO ACIDIC THAT TREATMENT WITH LIMESTONE IS NOT FEASIBLE.

AREAS HAVING SLOPES STEEPER THAN 2:1 REQUIRE SPECIAL CONSIDERATION AND DESIGN. TOPSOIL SPECIFICATIONS: SOIL TO BE USED AS TOPSOIL MUST MEET THE FOLLOWING CRITERIA:

a. TOPSOIL MUST BE A LOAM, SANDY LOAM, CLAY LOAM, SILT LOAM, SANDY CLAY LOAM, OR LOAMY SAN OTHER SOILS MAY BE USED IF RECOMMENDED BY AN AGRONOMIST OR SOIL SCIENTIST AND APPROVED RY THE APPROPRIATE APPROVAL ALITHORITY TOPSOIL MUST NOT BE A MIXTURE OF CONTRASTING TEXTURED SUBSOILS AND MUST CONTAIN LESS THAN 5 PERCENT BY VOLUME OF CINDERS, STONES AG, COARSE FRAGMENTS, GRAVEL, STICKS, ROOTS, TRASH, OR OTHER MATERIALS LARGER THAN 1.5.

b. TOPSOIL MUST BE FREE OF NOXIOUS PLANTS OR PLANT PARTS SUCH AS BERMUDA GRASS, QUACK

GRASS, JOHNSON GRASS, NUT SEDGE, POISON IVY, THISTLE, OR OTHERS AS SPECIFIED. c. TOPSOIL SUBSTITUTES OR AMENDMENTS, AS RECOMMENDED BY A QUALIFIED AGRONOMIST OR SOIL SCIENTIST AND APPROVED BY THE APPROPRIATE APPROVAL AUTHORITY, MAY BE USED IN LIEU OF

TOPSOIL APPLICATION

1. EROSION AND SEDIMENT CONTROL PRACTICES MUST BE MAINTAINED WHEN APPLYING TOPSOIL. UNIFORMLY DISTRIBUTE TOPSOIL IN A 5 TO 8 INCH LAYER AND LIGHTLY COMPACT TO A MINIMUM THICKNESS OF 4 INCHES. SPREADING IS TO BE PERFORMED IN SUCH A MANNER THAT SODDING OR SFEDING CAN PROCEED WITH A MINIMUM OF ADDITIONAL SOIL PREPARATION AND TILLAGE. ANY IRREGULARITIES IN THE SURFACE RESULTING FROM TOPSOILING OR OTHER OPERATIONS MUST BE CORRECTED IN ORDER TO PREVENT THE FORMATION OF DEPRESSIONS OR WATER POCKETS. TOPSOIL MUST NOT BE PLACED IF THE TOPSOIL OR SUBSOIL IS IN A FROZEN OR MUDDY CONDITION,

PROPER GRADING AND SEEDBED PREPARATION. <u>SOIL AMENDMENTS (FERTILIZER AND LIME SPECIFICATIONS)</u>

SOIL TESTS MUST BE PERFORMED TO DETERMINE THE EXACT RATIOS AND APPLICATION RATES FOR BOTH LIME AND FERTILIZER ON SITES HAVING DISTURBED AREAS OF 5 ACRES OR MORE. SOIL ANALYSIS MAY F PFRFORMED BY A RECOGNIZED PRIVATE OR COMMERCIAL LABORATORY. SOIL SAMPLES TAKEN FOR ENGINEERING PURPOSES MAY ALSO BE USED FOR CHEMICAL ANALYSES. RTILIZERS MUST BE UNIFORM IN COMPOSITION, FREE FLOWING AND SUITABLE FOR ACCURATE

APPLICATION BY APPROPRIATE EQUIPMENT. MANURE MAY BE SUBSTITUTED FOR FERTILIZER WITH PRIOR

WHEN THE SUBSOIL IS EXCESSIVELY WET OR IN A CONDITION THAT MAY OTHERWISE BE DETRIMENTAL T

APPROVAL FROM THE APPROPRIATE APPROVAL AUTHORITY. FERTILIZERS MUST ALL BE DELIVERED TO THE SITE FULLY LABELED ACCORDING TO THE APPLICABLE LAWS AND MUST BEAR THE NAME, TRADE NAME OR TRADEMARK AND WARRANTY OF THE PRODUCER. LIME MATERIALS MUST BE GROUND LIMESTONE (HYDRATED OR BURNT LIME MAY BE SUBSTITUTED EXCEPT WHEN HYDROSEEDING) WHICH CONTAINS AT LEAST 50 PERCENT TOTAL OXIDES (CALCIUM OXIDE

PLUS MAGNESIUM OXIDE). LIMÉSTONE MUST BE GROUND TO SUCH FINENESS THAT AT LÈAST 50 PERCENT WILL PASS THROUGH A #100 MESH SIEVE AND 98 TO 100 PERCENT WILL PASS THROUGH A #20 MESH SIEVE. LIME AND FERTILIZER ARE TO BE EVENLY DISTRIBUTED AND INCORPORATED INTO THE TOP 3 TO 5 NCHES OF SOIL BY DISKING OR OTHER SUITABLE MEANS. WHERE THE SUBSOIL IS EITHER HIGHLY ACIDIC OR COMPOSED OF HEAVY CLAYS, SPREAD GROUND LIMESTONE AT THE AT THE RATE OF 4 TO 8

TONS/ACRE (200-400 POUNDS PER 1,000 SQUARE FEET) PRIOR TO THE PLACEMENT OF TOPSOIL.

PLANNING BOARD OF HOWARD COUNTY

JANUARY 20, 2022

	HOWARD	COUNTY	DEPARTMENT	OF	PLANNING	&	ZONING
Amy Gonan					3/8/20	22	
5B4D5DD9470C4D4							

Date 3/4/2022 ni per sport of Land Development Date had Edmondson 3/3/2022

Date hief, Development Engineering Division

HOWARD SOIL CONSERVATION DISTRICT (HSCD) <u>DEFINITION</u>

THE APPLICATION OF SEED AND MULCH TO ESTABLISH VEGETATIVE COVER.

TO PROTECT DISTURBED SOILS FROM EROSION DURING AND AT THE END OF CONSTRUCTION.

B-4-3 STANDARDS AND SPECIFICATIONS FOR SEEDING and

CONDITIONS WHERE PRACTICE APPLIES TO THE SURFACE OF ALL PERIMETER CONTROLS, SLOPES, AND ANY DISTURBED AREA NOT UNDER ACTIVE GRADING.

A. SEEDING

a. ALL SEED MUST MEET THE REQUIREMENTS OF THE MARYLAND STATE SEED LAW. ALL SEED MUST BE SUBJECT TO RE-TESTING BY A RECOGNIZED SEED LABORATOR ALL SEED USED MUST HAVE BEEN TESTED WITHIN THE 6 MONTHS IMMEDIATELY PRECEDING THE DATE OF SOWING SUCH MATERIAL ON ANY PROJECT. REFER TO TABLE B.4 REGARDING THE QUALITY OF SEED. SEED TAGS MUST BE AVAILABLE UPON REQUEST TO THE INSPECTOR TO VERIFY TYPE OF SEED AND SEEDING RATI

. MULCH ALONE MAY BE APPLIED BETWEEN THE FALL AND SPRING SEEDING DATE: ONLY IF THE GROUND IS FROZEN. THE APPROPRIATE SEEDING MIXTURE MUST BE INOCULANTS: THE INOCULANT FOR TREATING LEGUME SEED IN THE SEED MIXTURE MUST BE A PURE CULTURE OF NITROGEN FIXING BACTERIA PREPARED SPECIFICAL FOR THE SPECIES. INOCULANTS MUST NOT BE USED LATER THAN THE DATE INDICATED ON THE CONTAINER ADD FRESH INOCULANTS AS DIRECTED ON THE PACKAGE, USE FOUR TIMES THE RECOMMENDED RATE WHEN HYDROSEFDING, NOT T IS VERY IMPORTANT TO KEEP INOCULANT AS COOL AS POSSIBLE UNTIL USED. IMPERATURES ABOVE 75 TO 80 DEGREES FAHRENHEIT CAN WEAKEN BACTERIA

SOD OR SEED MUST NOT BE PLACED ON SOIL WHICH HAS BEEN TREATED WITH S

STERILANTS OR CHEMICALS USED FOR WEED CONTROL UNTIL SUFFICIENT TIME HAS

ELAPSED (14 DAYS MIN.) TO PERMIT DISSIPATION OF PHYTO-TOXIC MATERIALS.

 $\alpha.$ DRY SEEDING: THIS INCLUDES USE OF CONVENTIONAL DROP OR BROADCAST INCORPORATE SEED INTO THE SUBSOIL AT THE RATES PRESCRIBED ON

TEMPORARY SEEDING TABLE B.1, PERMANENT SEEDING TABLE B.3, OR APPLY SEED IN TWO DIRECTIONS, PERPENDICULAR TO EACH OTHER. APPLY HALF THE SEEDING RATE IN EACH DIRECTION. ROLL THE SEEDED AREA WITH WEIGHTED ROLLER TO PROVIDE GOOD SEED TO SOIL CONTACT.

DRILL OR CULTIPACKER SEEDING: MECHANIZED SEEDERS THAT APPLY AND COVER CULTIPACKING SEEDERS ARE REQUIRED TO BURY THE SEED IN SUCH A FASHION AS TO PROVIDE AT LEAST 1/4 INCH OF SOIL COVERING. SEEDBED

MUST BE FIRM AFTER PLANTING. APPLY SEED IN TWO DIRECTIONS, PERPENDICULAR TO EACH OTHER. APPLY HALF THE SEEDING RATE IN EACH DIRECTION.

HYDROSEEDING: APPLY SEED UNIFORMLY WITH HYDROSEEDER (SLURRY INCLUDES SEED AND FERTILIZER) IF FERTILIZER IS BEING APPLIED AT THE TIME OF SEEDING, THE APPLICATION RATES SHOULD NOT EXCEED THE FOLLOWING: NITROGEN, 100 POUNDS PER ACRE TOTAL OF SOLUBLE NITROGEN; P205 (PHOSPHOROUS), 200 POUNDS PER ACRE; K20 (POTASSIUM) 200 POUNDS PER ACRE LIME: USE ONLY GROUND AGRICULTURAL LIMESTONE (UP TO 3 TONS PER ACF

MAY BE APPLIED BY HYDROSEEDING). NORMALLY, NOT MORE THAN 2 TONS ARE APPLIED BY HYDROSEEDING AT ANY ONE TIME. DO NOT USE BURNT OR HYDRATE LIME WHEN HYDROSEEDIN MIX SEED AND FERTILIZER ON SITE AND SEED IMMEDIATELY AND WITHOUT

iv. WHEN HYDROSEEDING DO NOT INCORPORATE SEED INTO THE SOIL.

B. MULCHING

MULCH MATERIALS (IN ORDER OF PREFERENCE)

a. STRAW CONSISTING OF THOROUGHLY THRESHED WHEAT. RYE. OAT. OR BARLEY AN REASONABLY BRIGHT IN COLOR. STRAW IS TO BE FREE OF NOXIOUS WEED SEEDS AS SPECIFIED IN THE MARYLAND SEED LAW AND NOT MUSTY, MOLDY, CAKED. DECAYED, OR EXCESSIVELY DUSTY. NOTE: USE ONLY STERILE STRAW MULCH IN

AREAS WHERE ONE SPECIES OF GRASS IS DESIRED. WOOD CELLULOSE FIBER MULCH (WCFM) CONSISTING OF SPECIALLY PREPARED WO FLLULOSE PROCESSED INTO A ÚNIFORM FIBROUS PHYSICAL STATE WCFM IS TO BE DYED GREEN OR CONTAIN A GREEN DYE IN THE PACKAGE APPROPRIATE COLOR TO FACILITATE VISUA INSPECTION OF THE UNIFORMLY SPREAD SLURRY

WCFM, INCLUDING DYE, MUST CONTAIN NO GERMINATION OR GROWTH INHIBITIN

iii. WCFM MATERIALS ARE TO BE MANUFACTURED AND PROCESSED IN SUCH A MANNER THAT THE WOOD CELLULOSE FIBER MULCH WILL REMAIN IN UNIFORM SUSPENSION IN WATER UNDER AGITATION AND WILL BLEND WITH SEED, ERTILIZER AND OTHER ADDITIVES TO FORM A HOMOGENEOUS SLURRY. THE MULCH MATERIAL MUST FORM A BLOTTER-LIKE GROUND COVER, ON APPLICATION, HAVING MOISTURE ABSORPTION AND PERCOLATION PROPERTIES AND MUST COVER AND HOLD GRASS SEED IN CONTACT WITH THE SOIL

WITHOUT INHIBITING THE GROWTH OF THE GRASS SEEDLINGS. WCFM MATERIAL MUST NOT CONTAIN ELEMENTS OR COMPOUNDS AT CONCENTRATION LEVELS THAT WILL BE PHYTO-TOXIC. v. WCFM MUST CONFORM TO THE FOLLOWING PHYSICAL REQUIREMENTS: FIBER

APPROXIMATELY 10 MILLIMETERS. DIAMETER APPROXIMATELY 1 MILLIMETER. PH RANGE OF 4.0 TO 8.5, ASH CONTENT OF 1.6 PERCENT MAXIMUM AND WATER HOLDING CAPACITY OF 90 PERCENT MINIMUM.

APPLICATION

a. APPLY MULCH TO ALL SEEDED AREAS IMMEDIATELY AFTER SEEDING. b. WHEN STRAW MULCH IS USED, SPREAD IT OVER ALL SEEDED AREAS AT THE RATE OF 2 TONS PER ACRE TO A UNIFORM LOOSE DEPTH OF 1 TO 2 INCHES. APPLY MULCH TO ACHIEVE A UNIFORM DISTRIBUTION AND DEPTH SO THAT THE SOIL SURFACE IS NOT EXPOSED. WHEN USING A MULCH ANCHORING TOOL, INCREASE T WOOD CELLULOSE FIBER USED AS MULCH MUST BE APPLIED AT A NET DRY WEIGH OF 1500 POUNDS PER ACRE. MIX THE WOOD CELLULOSE FIBER WITH WATER TO ATTAIN A MIXTURE WITH A MAXIMUM OF 50 POUNDS OF WOOD CELLULOSE FIBER PER 100 GALLONS OF WATER.

1. PERFORM MULCH ANCHORING IMMEDIATELY FOLLOWING APPLICATION OF MULCH TO MINIMIZE LOSS BY WIND OR WATER. THIS MAY BE DONE BY ONE OF THE FOLLOWIN METHODS (LISTED BY PREFERENCE), DEPENDING UPON THE SIZE OF THE AREA AND A MULCH ANCHORING TOOL IS A TRACTOR DRAWN IMPLEMENT DESIGNED TO PUNCH AND ANCHOR MULCH INTO THE SOIL SURFACE A MINIMUM OF 2 INCHES.

THIS PRACTICE IS MOST EFFECTIVE ON LARGE AREAS, BUT IS LIMITED TO FLATTER SLOPES WHERE EQUIPMENT CAN OPERATE SAFELY. IF USED ON SLOPING LAND, THIS PRACTICE SHOULD FOLLOW THE CONTOUR. WOOD CELLULOSE FIBER MAY BE USED FOR ANCHORING STRAW. APPLY THE FIBER BINDER AT A NET DRY WEIGHT OF 750 POUNDS PER ACRE. MIX THE WOOD CELLULOSE FIBER WITH WATER AT A MAXIMUM OF 50 POUNDS OF WOOD CELLULOSE FIBER PER 100 GALLONS OF WATER.

SYNTHETIC BINDERS SUCH AS ACRYLIC DLR (AGRO-TACK), DCA-70 PETROSET, TERRA TAX II, TERRA MANUFACTURER. APPLICATION OF LIQUID BINDERS NEEDS TO BE HEAVIER AT THE EDGES WHERE WIND CATCHES MULCH, SUCH AS IN VALLEYS AND ON CRESTS OF BANKS. USE OF ASPHALT BINDERS IS STRICTLY PROHIBITED LIGHTWEIGHT PLASTIC NETTING MAY BE STAPLED OVER THE MULCH ACCORDING TO MANUFACTURER RECOMMENDATIONS. NETTING IS USUALLY

AVAILABLE IN ROLLS 4 TO 15 FEET WIDE AND 300 TO 3,000 FEET LONG.

ENGINEER'S CERTIFICATE

"I CERTIFY THAT THIS PLAN FOR FROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE

REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT." SIGNATURE OF ENGINEER

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

Olexander Bratchie 3/3/2022 HOWARD S.C.D.

STANDARD SEDIMENT CONTROL NOTES

A PRE-CONSTRUCTION MEETING MUST OCCUR WITH THE HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS, CONSTRUCTION INSPECTION DIVISION (CID), 410-313-1855 AFTER THE FUTURE LOD AND PROTECTED AREAS ARE MARKED CLEARLY'ÎN THE FIELD. A MINIMUM OF 48 HOUR NOTICE TO CID MUST BE GIVEN AT THE FOLLOWING STAGES:

A. PRIOR TO THE START OF EARTH DISTURBANCE. B. UPON COMPLETION OF THE INSTALLATION OF PERIMETER EROSION AND SEDIMENT

CONTROLS, BUT BEFORE PROCEEDING WITH ANY OTHER EARTH DISTURBANCE OR C. PRIOR TO THE START OF ANOTHER PHASE OF CONSTRUCTION OR OPENING OF ANOTHER GRADING UNIT. D. PRIOR TO THE REMOVAL OR MODIFICATION OF SEDIMENT CONTROL PRACTICES.

OTHER BUILDING OR GRADING INSPECTION APPROVALS MAY NOT BE THORIZED UNTIL THIS INITIAL APPROVAL BY THE INSPECTION AGAENCY IS LATED STATE AND FEDERAL PERMITS SHALL BE REFERENCED. TO ENSURE ORDINATION AND TO AVOID CONFLICTS WITH THIS PLAN.

ALL VEGETATIVE AND STRUCTURAL PRACTICES ARE TO BE INSTALLED ACCORDING TO THE PROVISIONS OF THIS PLAN AND ARE TO BE IN CONFORMANCE WITH THE "2011 MARYLAND" STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL" AND

FOLLOWING INITIAL SOIL DISTURBANCE OR RE-DISTURBANCE. PERMANENT OR TEMPORAR STABILIZATION IS REQUIRED WITHIN THREE (3) CALENDAR DAYS AS TO THE SURFACE OF ALL PERIMETER CONTROLS, DIKES, SWALES, DITCHES, PERIMETER SLOPES, AND ALL SLOPES STEEPER THAN 3 HORIZONTAL TO 1 VERTICAL (3:1); AND SEVEN (7) CALENDAR DAYS AS TO ALL OTHER DISTURBED AREAS ON THE PROJECT SITE EXCEPT FOR THOSE

ALL DISTURBED AREAS MUST BE STABILIZED WITHIN THE TIME PERIOD SPECIFIED ABOVE IN ACCORDANCE WITH THE "2011 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL" FOR TOPSOIL (SEC. B-4-2), PERMANENT SEEDING SEC. B-4-5). TEMPORARY SEEDING (SEC. B-4-4) AND MULCHING (SEC. B-4-4) EMPORARY STABILIZATION WITH MULCH ALONE CAN ONLY BE APPLIED BETWEEN THE FALL AND SPRING SEEDING DATES IF THE GROUND IS FROZEN. INCREMENTAL STABILIZATION (SEC. B-4-1) SPECIFICATIONS SHALL BE ENFORCED IN AREAS WITH >15' OF CUT AND/OR FILL. STOCKPILES (SEC. B-4-8) IN EXCESS OF 20 FT. MUST BE BENCHED WITH STABLE OUTLET. ALL CONCENTRATED FLOW, STEEP SLOPE, AND HIGHLY ERODIBLE AREAS SHALL RECEIVE SOIL STABILIZATION MATTING (SEC. B-4-6).

ALL SEDIMENT CONTROL STRUCTURES ARE TO REMAIN IN PLACE, AND ARE TO BE MAINTAINED IN OPERATIVE CONDITION UNTIL PERMISSION FOR THEIR REMOVAL HAS BEEN OBTAINED FROM THE CID.

TOTAL AREA OF SITE 3.5± Acres AREA DISTURBED 3.6± Acres AREA TO BE ROOFED OR PAVED 2.9± Acres AREA TO BE VEGETATIVELY STABILIZED : 0.7± Acres 2,962 Cu. Yds. TOTAL CUT

2,962 Cu. Yds. OFF-SITE WASTE/BORROW AREA LOCATION : Approved Sediment Control Plan within Maple Lawn Farms ANY SEDIMENT CONTROL PRACTICE WHICH IS DISTURBED BY GRADING ACTIVITY FOR

PLACEMENT OF UTILITIES MUST BE REPAIRED ON THE SAME DAY OF DISTURBANCE ADDITIONAL SEDIMENT CONTROL MUST BE PROVIDED, IF DEEMED NECESSARY BY THE CID THE SITE AND ALL CONTROLS SHALL BE INSPECTED BY THE CONTRACTOR WEEKLY; AND THE NEXT DAY AFTER EACH RAIN EVENT. A WRITTEN REPORT BY THE CONTRACTOR, MADE AVAILABLE UPON REQUEST, IS PART OF EVERY INSPECTION AND SHOULD INCLUDE:

INSPECTION TYPE (ROUTINE, PRE-STORM EVENT, DURING RAIN EVENT)

NAME AND TITLE OF INSPECTOR WEATHER INFORMATION (CURRENT CONDITIONS AS WELL AS TIME AND AMOUNT OF LAST RECORDED PRECIPITATION) BRIEF DESCRIPTION OF PROJECT'S STATUS (E.G., PERCENT COMPLETE) AND /OR CURRENT

EVIDENCE OF SEDIMENT DISCHARGES IDENTIFICATION OF PLAN DEFICIENCIE IDENTIFICATION OF SEDIMENT CONTROLS THAT REQUIRE MAINTENANCE IDENTIFICATION OF MISSING OR IMPROPERLY INSTALLED SEDIMENT CONTROLS COMPLIANCE STATUS REGARDING THE SEQUENCE OF CONSTRUCTION AND STABILIZATION

REQUIREMENTS PHOTOGRAPHS MONITORING/SAMPLING MAINTENANCE AND/OR CORRECTIVE ACTION PERFORMED

OTHER INSPECTION ITEMS AS REQUIRED BY THE "GENERAL PERMIT FOR STORMWATER ASSOCIATED WITH CONSTRUCTION ACTIVITIES" (NPDES, MDE). TRENCHES FOR THE CONSTRUCTION OF UTILITIES IS LIMITED TO THREE PIPE LENGTHS OR THAT WHICH CAN AND SHALL BE BACK-FILLED AND STABILIZED BY THE END OF EACH

WORKDAY, WHICHEVER IS SHORTER. ANY MAJOR CHANGES OR REVISIONS TO THE PLAN OR SEQUENCE OF CONSTRUCTION MUST BE REVIEWED AND APPROVED BY THE HSCD PRIOR TO PROCEEDING WITH CONSTRUCTION. MINOR REVISIONS MAY BE ALLOWED BY THE CID PER THE LIST OF HSCD-APPROVED FIELD CHANGES.

DISTURBANCE SHALL NOT OCCUR OUTSIDE THE LOD. A PROJECT IS TO BE SEQUENCED SO THAT GRADING ACTIVITIES BEGIN ON ONE GRADING UNIT (MAXIMUM ACREAGE OF 20 AC. PER GRADING UNIT) AT A TIME. WORK MAY PROCEED TO A SUBSEQUENT GRADING UNIT WHEN AT LEAST 50 PERCENT OF THE DISTURBED AREA IN THE PRECEDING GRADING UNIT HAS BEEN STABILIZED AND APPROVED BY THE CID. UNLESS OTHERWISE SPECIFIED AND APPROVED BY THE HSCD, NO MORE THAN 30 ACRES CUMULATIVELY MAY BE DISTURBED

WASH WATER FROM ANY EQUIPMENT, VEHICLES, WHEELS PAVEMENT, AND OTHER SOURCES MUST BE TREATED IN A SEDIMENT BASIN OR OTHER APPROVED WASHOUT STRUCTURE. TOPSOIL SHALL BE STOCKPILED AND PRESERVED ON-SITE FOR REDISTRIBUTION ONTO

ALL SILT FENCE AND SUPER SILT FENCE SHALL BE PLACED ON-THE-CONTOUR, AND BE IMBRICATED AT 25' MINIMUM INTERVALS, WITH LOWER ENDS CURLED UPHILL BY 2' IN

STREAM CHANNELS MUST NOT BE DISTURBED DURING THE FOLLOWING RESTRICTED TIME PERIODS (INCLUSIVE): USE LAND IP MARCH 1 - JUNE 1 USE III AND IIIP OCTOBER 1 - APRIL 30 USE IV MARCH 1 - MAY 31

A COPY OF THIS PLAN. THE "2011 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL," AND ASSOCIATED PERMITS SHALL BE ON-SITE AND AVAILABLE WHEN THE SITE IS ACTIVE.

BUILDER'S CERTIFICATE

"I/WE CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A MARYLAND DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HSCD."

SIGNATURE OF DEVELOPER/BUILDER

<u>DEFINITION</u> TO STABILIZE DISTURBED SOILS WITH PERMANENT VEGETATION.

TO USE LONG-LIVED PERENNIAL GRASSES AND LEGUMES TO ESTABLISH PERMANENT GROUND COVER ON DISTURBED SOILS. CONDITIONS WHERE PRACTICE APPLIES

EXPOSED SOILS WHERE GROUND COVER IS NEEDED FOR 6 MONTHS OR MORE.

SEED MIXTURES

a. SELECT ONE OR MORE OF THE SPECIES OR MIXTURES LISTED IN TABLE B.3 FOR THE APPROPRIATE PLANT HARDINESS ZONE (FROM FIGURE B.3) AND BASED ON THE SITE CONDITION OR PURPOSE FOUND ON TABLE B.2. ENTER SELECTED MIXTURE(S), APPLICATION ATES, AND SEEDING DATES IN THE PERMANENT SEEDING SUMMARY. THE SÚMMARY IS TO

ADDITIONAL PLANTING SPECIFICATIONS FOR EXCEPTIONAL SITES SUCH AS SHORELINES. STREAM BANKS, OR DUNES OR FOR SPECIAL PURPOSES SUCH AS WILDLIFE OR AESTHETIC TREATMENT MAY BE FOUND IN USDA-NRCS TECHNICAL FIELD OFFICE GUIDE, SECTION 342 CRITICAL AREA PLANTING FOR SITES HAVING DISTURBED AREA OVER 5 ACRES, USE AND SHOW THE RATES

RECOMMENDED BY THE SOIL TESTING AGENCY. . FOR AREAS RECEIVING LOW MAINTENANCE, APPLY UREA FORM FERTILIZER (46-0-0) AT 3 1/2 POUNDS PER 1000 SQUARE FEET (150 POUNDS PER ACRE) AT THE TIME OF SEEDING IN ADDITION TO THE SOIL AMENDMENTS SHOWN IN THE PERMANENT SEEDING SUMMARY.

a. AREAS WHERE TURFGRASS MAY BE DESIRED INCLUDE LAWNS, PARKS, PLAYGROUNDS, AND COMMERCIAL SITES WHICH WILL RECEIVE A MEDIUM TO HIGH LEVEL OF MAINTENANCE. SELECT ONE OR MORE OF THE SPECIES OR MIXTURES LISTED BELOW BASED ON THE SITE CONDITIONS OR PURPOSE. ENTER SELECTED MIXTURE(S), APPLICATION RATES, AND SEEDING DATES IN THE PERMANENT SEEDING SUMMARY. THE SUMMARY IS TO BE PLACED ON THE

> KENTUCKY BLUEGRASS: FULL SUN MIXTURE: FOR USE IN AREAS THAT RECEIVE INTENSIVE MANAGEMENT, IRRIGATION REQUIRED IN THE AREAS OF CENTRAL MARYLAND AND EASTERN SHORE. RECOMMENDED CERTIFIED KENTUCKY BLUEGRASS CULTIVARS SEEDING RATE: 1.5 TO 2.0 POUNDS PER 1000 SQUARE FEET. CHOOSE A MINIMUM OF THREE KENTUCKY BLUEGRASS CULTIVARS WITH EACH RANGING FROM 10 TO 35

> AREAS WHERE RAPID ÉSTABLISHMENT IS NECESSARY AND WHEN TURF WILL RECEIVE MEDIUM TO INTENSIVE MANAGEMENT. CERTIFIED PERENNIAL RYEGRASS CULTIVARS/CERTIFIED KENTUCKY BLUEGRASS SEEDING RATE: 2 POUNDS MIXTURE PER OO SQUÁRE FEET. CHOOSE A MINIMUM OF THREE KENTUCKY BLUEGRASS CULTIVARS WITH EACH RANGING FROM 10 TO 35 PERCENT OF THE TOTAL MIXTURE BY WEIGHT.

iii. TALL FESCUE/KENTUCKY BLUEGRASS: FULL SUN MIXTURE: FOR USE IN DROUGHT PRONE AREAS AND/OR FOR AREAS RECEIVING LOW TO MEDIUM MANAGEMENT IN FULL RECOMMENDED MIXTURE INCLUDES; CERTIFIED TALL FESCUE CULTIVARS 95 TO 100 PERCENT, CERTIFIED KENTUCKY BLUEGRASS CULTIVARS 0 TO 5 PERCENT. SEEDING RATE: 5 TO 8 POUNDS PER 1000 SQUARE FEET. ONE OR MORE CULTIVARS MAY BE

iv. KENTUCKY BLUEGRASS/FINE FESCUE: SHADE MIXTURE: FOR USE IN AREAS WITH SHADE IN BLUEGRASS LAWNS. FOR ESTABLISHMENT IN HIGH QUALITY, INTENSIVELY MANAGED TURF AREA. MIXTURE INCLUDES: CERTIFIED KENTUCKY BLUEGRASS CULTIVARS 30 TO 40 PERCENT AND CERTIFIED FINE FESCUE AND 60 TO 70 PERCENT. SEEDING RATE: 1 1/2 TO 3 POUNDS PER 1000 SQUARE FEET.

SELECT TURFGRASS VARIETIES FROM THOSE LISTED IN THE MOST CURRENT UNIVERSITY OF MARYLAND PUBLICATION, AGRONOMY MEMO #77, "TURFGRASS CULTIVAR RECOMMENDATIONS FOR MARYLAND"

CHOOSE CERTIFIED MATERIAL. CERTIFIED MATERIAL IS THE BEST GUARANTEE OF CULTIVAR PURITY. THE CERTIFICATION PROGRAM OF THE MARYLAND DEPARTMENT OF AGRICULTURE, TURF AND SEED SECTION, PROVIDES A RELIABLE MEANS OF CONSUMER PROTECTION AND ASSURES A PURE GENETIC LINE IDEAL TIMES OF SEEDING FOR TURE GRASS MIXTURES.

WESTERN MD: MARCH 15 TO JUNE 1, AUGUST 1 TO OCTOBER 1 (HARDINESS ZONES: 5B, CENTRAL MD: MARCH 1 TO MAY 15, AUGUST 15 TO OCTOBER 15 (HARDINESS ZONE: SOUTHERN MD, EASTERN SHORE: MARCH 1 TO MAY 15, AUGUST 15 TO OCTOBER 15

(HARDINESS ZONES: 7A, 7B) TILL AREAS TO RECEIVE SEED BY DISKING OR OTHER APPROVED METHODS TO A DEPTH O 2 TO 4 INCHES, LEVEL AND RAKE THE AREAS TO PREPARE A PROPER SEEDBED. REMOVE STONES AND DEBRIS OVER 1 1/2 INCHES IN DIAMETER. THE RESULTING SEEDBED MUST BE IN SUCH CONDITION THAT FUTURE MOWING OF GRASSES WILL POSE NO DIFFICULTY

k. IF SOIL MOISTURE IS DEFICIENT, SUPPLY NEW SEEDINGS WITH ADEQUATE WATER FOR PLANT GROWTH (1/2 TO 1 INCH EVERY 3 TO 4 DAYS DEPENDING ON SOIL TEXTURE) UNTIL THEY ARE FIRMLY ESTABLISHED. THIS IS ESPECIALLY TRUE WHEN SEEDINGS ARE MADE LATE IN THE PLANTING SEASON, IN ABNORMALLY DRY OR HOT SEASONS, OR ON ADVERSE SITES.

PERMANENT SEEDING SUMMARY

	ARDINESS ZONE: 6b ED MIXTURE: #9 (Tall Fescue/	FERTILIZER						
lo.	SPECIES	APPLICATION RATE	SEEDING DATES	SEEDING DEPTHS	RATE (10-20-20)	LIME RATE		2
9	*Certified Tall Fescue blend (95% by weight): Falcon IV, Penn 1901 & Rebel Exeda and Certified Kentucky Bluegrass blend (5% by weight): Courtyard, Raven & Yankee	6-8 lb/ 1000 s.f.	Mar. 1 to May 15, Aug. 15 to Oct. 15		1.0 lb/ 1000 s.f. (45 lb/acre)	90 lb/ 1000 s.f.	2	

* Other cultivars listed as "proven" in the most current UMD TT-77 may also be used B. SOD: TO PROVIDE QUICK COVER ON DISTURBED AREAS (2:1 GRADE OR FLATTER).

a. CLASS OF TURFGRASS SOD MUST BE MARYLAND STATE CERTIFIED. SOD LABELS MUST BE MADE AVAILABLE TO THE JOB FOREMAN AND INSPECTOR. . SOD MUST BE MACHINE CUT AT A UNIFORM SOIL THICKNESS OF 3/4 INCH, PLUS OR MINUS 1/4 INCH. AT THE TIME OF CUTTING. MEASUREMENT FOR THICKNESS MUST EXCLUDE TOP

GROWTH AND THATCH. BROKEN PADS AND TORN OR UNEVEN ENDS WILL NOT BE STANDARD SIZE SECTIONS OF SOD MUST BE STRONG ENOUGH TO SUPPORT THEIR OWN WEIGHT AND RETAIN THEIR SIZE AND SHAPE WHEN SUSPENDED VERTICALLY WITH A FIRM GRASP ON THE UPPER 10 PERCENT OF THE SECTION

. SOD MUST NOT BE HARVESTED OR TRANSPLANTED WHEN MOISTURE CONTENT (EXCESSIVELY DRY OR WET) MAY ADVERSELY AFFECT ITS SURVIVAL e. SOD MUST BÉ HARVESTED, DELIVERED, AND INSTALLED WITHIN A PERIOD OF 36 HOURS. OD NOT TRANSPLANTED WITHIN THIS PERIOD MUST BE APPROVED BY AN AGRONOMIST OR SOIL SCIENTIST PRIOR TO ITS INSTALLATION.

SOD INSTALLATION

a. DURING PERIODS OF EXCESSIVELY HIGH TEMPERATURE OR IN AREAS HAVING DRY SUBSOIL, LIGHTLY IRRIGATE THE SUBSOIL IMMEDIATELY PRIOR TO LAYING THE SOD. LAY THE FIRST ROW OF SOD IN A STRAIGHT LINE WITH SUBSEQUENT ROWS PLACED PARALLEL TO IT AND TIGHTLY WEDGED AGAINST EACH OTHER. STAGGER LATERAL JOINTS TO PROMOTE MORE UNIFORM GROWTH AND STRENGTH. ENSURE THAT SOD IS NOT STRETCHED OR OVERLAPPED AND THAT ALL JOINTS ARE BUTTED TIGHT IN ORDER TO PREVENT VOIDS WHICH WOULD CAUSE AIR DRYING OF THE ROOTS.
WHEREVER POSSIBLE, LAY SOD WITH THE LONG EDGES PARALLEL TO THE CONTOUR AND

WITH STAGGERING JOINTS. ROLL AND TAMP, PEG OR OTHERWISE SECURE THE SOD TO PREVENT SLIPPAGE ON SLOPES. ENSURE SOLID CONTACT EXISTS BETWEEN SOD ROOTS AND WATER THE SOD IMMEDIATELY FOLLOWING ROLLING AND TAMPING UNTIL THE UNDERSIDE OF THE NEW SOD PAD AND SOIL SURFACE BELOW THE SOD ARE THOROUGHLY WET. COMPLETE THE OPERATIONS OF LAYING, TAMPING AND IRRIGATING FOR ANY PIECE OF SOD WITHIN

SOD MAINTENANCE

FIGHT HOURS

a. IN THE ABSENCE OF ADEQUATE RAINFALL, WATER DAILY DURING THE FIRST WEEK OR AS OFTEN AND SUFFICIENTLY AS NECESSARY TO MAINTAIN MOIST SOIL TO A DEPTH OF 4 INCHES. WATER SOD DURING THE HEAT OF THE DAY TO PREVENT WILTING.

AFTER THE FIRST WEEK, SOD WATERING IS REQUIRED AS NECESSARY TO MAINTAIN ADEQUATE MOISTURE CONTENT. DO NOT MOW UNTIL THE SOD IS FIRMLY ROOTED. NO MORE THAN 1/3 OF THE GRASS LEAF MUST BE REMOVED BY THE INITIAL CUTTING OR SUBSEQUENT CUTTINGS. MAINTAIN A GRASS

P 2 FT MIN. LENGTH OF 2 IN x 4 IN 2 IN x 4 IN WEIR-6 FT MAX. SPACING OF 2 IN x 4 IN SPACERS ¾ TO 1½ STONE 2 IN x 4 IN ANCHORS, 2 FT MIN. LENGTH

ATTACH A CONTINUOUS PIECE OF X INCH GALVANIZED HARDWARE CLOTH, WITH A MINIMUM WIDTH OF 30 INCHES AND A MINIMUM LENGTH OF 4 FEET LONGER THAN THE THROAT OPENING, TO THE 2x4 WEIR, EXTENDING IT 2 FEET BEYOND THROAT ON EACH SIDE.

. Place a continuous piece of nonwoven geotextile of the same dimensions as the hardware cloth over the hardware cloth and securely attach to the 2x4 weir.

. Place the assembly against the inlet throat and nail to 2x4 anchors (minimum 2 feet length), extend the anchors across the inlet top and hold in place by sandbags or other approved anchoring method.

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USE NONWOVEN GEOTEXTILE AS SPECIFIED IN SECTION H-1 MATERIALS

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NATURAL RESOURCES CONSERVATION SERVICE

3. NAIL THE 2x4 WEIR TO 9 INCH LONG VERTICAL SPACERS (MAXIMUM 6 FEET APART).

INSTALL END SPACERS A MINIMUM OF 1 FOOT BEYOND THE ENDS OF THE THROAT OPENING

AT NON-SUMP LOCATIONS, INSTALL A TEMPORARY SANDBAG OR ASPHALT BERM TO PREVENT INLET BYPASS.

DETAIL E-9-3 CURB INLET PROTECTION CHAIN LINK FENCING -WOVEN SLIT FILM GEOTEXTILE-FLOW CONSTRUCTION SPECIFICATIONS USE NOMINAL 2 INCH x 4 INCH LUMBER

> CROSS SECTION NSTRUCTION SPECIFICATIONS FASTEN 9 GAUGE OR HEAVIER GALVANIZED CHAIN LINK FENCE (2% INCH MAXIMUM OPENING) 42 INCHES IN HEIGHT SECURELY TO THE FENCE POSTS WITH WIRE TIES OR HUG RINGS.

FORM THE HARDWARE CLOTH AND THE GEOTEXTILE TO THE CONCRETE GUTTER AND FACE OF CURB TO SPAN THE INLET OPENING. COVER THE HARDWARE CLOTH AND GEOTEXTILE WITH CLEAN 3/2 TO 11/2 INCH STONE OR EQUIVALENT RECYCLED CONCRETE. . WHERE ENDS OF THE GEOTEXTILE COME TOGETHER, THE ENDS SHALL BE OVERLAPPED BY 6 INCHES, FOLDED, AND STAPLED TO PREVENT SEDIMENT BY PASS. EXTEND BOTH ENDS OF THE SUPER SILT FENCE A MINIMUM OF FIVE HORIZONTAL FEET UPSLOPE AT 45 DEGREES TO THE MAIN FENCE ALIGNMENT TO PREVENT RUNOFF FROM GOING AROUND THE ENDS OF THE SUPER SILT FENCE. PROVIDE MANUFACTURER CERTIFICATION TO THE INSPECTION/ENFORCEMENT AUTHORITY SHOWING THAT GEOTEXTILE USED MEETS THE REQUIREMENTS IN SECTION H $^-$ 1 MATERIALS.

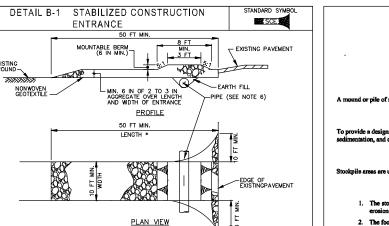
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MARYLAND DEPARTMENT OF ENVIRONMENT
WATER MANAGEMENT ADMINISTRATION

If the stockpile is located on an impervious surface, a liner should be provided below the stockpile to facilitate cleanup. Stockpiles containing contaminated material must be covered with impermeable

ne stockpile area must continuously meet the requirements for Adequate Vegetative Establishment coordance with Section B-4 Vegetative Stabilization. Side slopes must be maintained at no steeper than a tio. The stockpile area must be kept free of erosion. If the vertical height of a stockpile exceeds 20 feet for



MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION

CONSTRUCTION SPECIFICATIONS PLACE STABILIZED CONSTRUCTION ENTRANCE IN ACCORDANCE WITH THE APPROVED PLAN. VEHICLE MUST TRAVEL OVER THE ENTIRE LENGTH OF THE SCE. USE MINIMUM LENGTH OF 50 FEET (*30 FEF FOR SINGLE RESIDENCE LOT). USE MINIMUM WIDTH OF 10 FEET. FLARE SCE 10 FEET MINIMUM AT EXISTING ROAD TO PROVIDE A TURNING RADIUS.

PREPARE SUBGRADE AND PLACE NONWOVEN GEOTEXTILE, AS SPECIFIED IN SECTION H-1 MATERIALS. PLACE CRUSHED AGGREGATE (2 TO 3 INCHES IN SIZE) OR EQUIVALENT RECYCLED CONCRETE (WITHOUT REBAR) AT LEAST 6 INCHES DEEP OVER THE LENGTH AND WIDTH OF THE SCE. 5. MAINTAIN ENTRANCE IN A CONDITION THAT MINIMIZES TRACKING OF SEDIMENT. ADD STONE OR MAKE OTHER REPAIRS AS CONDITIONS DEMAND TO MAINTAIN CLEAN SURFACE, MOUNTABLE BERM, AND SPECIFIED DIMENSIONS. IMMEDIATELY REMOVE STONE AND/OR SEDIMENT SPILLED, DROPPED, OR CKED ONTO ADJACENT ROADWAY BY VACUUMING, SCRAPING, AND/OR SWEEPING. WASHING DWAY TO REMOVE MUD TRACKED ONTO PAVENT IS NOT ACCEPTABLE UNLESS WASH WATER IS CTED TO AN APPROVED SEDIMENT CONTROL PRACTICAL.

MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL U.S. DEPARTMENT OF AGRICULTURE
VATURAL RESOURCES CONSERVATION SERVICE

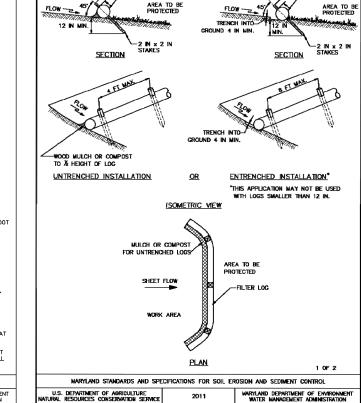
2011

MARYLAND DEPARTMENT OF ENVIRONMEN
WATER MANAGEMENT ADMINISTRATION

DETAIL E-3 SUPER SILT FENCE DETAIL E-6 FILTER LOG ⊢—SSF——I GALVANIZED CHAIN LINK FENCE WITH WOVEN SLIT FILM GEOTEXTILE WOOD MULCH OR COMPOST TO 1/2 HEIGHT OF LOG EMBED GEOTEXTILE AND — CHAIN LINK FENCE B IN MIN. INTO GROUND

INSTALL 2% INCH DIAMETER GALVANIZED STEEL POSTS OF 0.095 INCH WALL THICKNESS AND SIX FOOT LENGTH SPACED NO FURTHER THAN 10 FEET APART. DRIVE THE POSTS A MINIMUM OF 36 INCHES INTO THE GROUND FASTEN WOVEN SLIT FILM GEOTEXTILE AS SPECIFIED IN SECTION H-1 MATERIALS, SECURELY TO TH UPSLOPE SIDE OF CHAIN LINK FENCE WITH TIES SPACED EVERY 24 INCHES AT THE TOP AND MID SECTION. EMBED GEOTEXTILE AND CHAIN LINK FENCE A MINIMUM OF 8 INCHES INTO THE GROUND.

REMOVE ACCUMULATED SEDIMENT AND DEBRIS WHEN BULGES DEVELOP IN FENCE OR WHEN SEDIMENT REACHES 25% OF FENCE HEIGHT. REPLACE GEOTEXTILE IF TORN. IF UNDERMINING OCCURS, REINSTALL CHAIN LINK FENCING AND GEOTEXTILE.



DESIGNATION FL-18 REFERS TO 18 INCH DIAMETER FILTER LOG.

STANDARD SYMBOL DETAIL E-6 FILTER LOG Designation FL-18 refers to 18 inch Diameter Filter Log. PRIOR TO INSTALLATION, CLEAR ALL OBSTRUCTIONS INCLUDING ROCKS, CLODS, AND DEBRIS GREATER THAN ONE INCH THAT MAY INTERFERE WITH PROPER FUNCTION OF FILTER LOG. FILL LOG NETTING UNIFORMLY WITH COMPOST (IN ACCORDANCE WITH SECTION H-1 MATERIALS), OR OTHER APPROVED BIODEGRADABLE MATERIAL TO DESIRED LENGTH SUCH THAT LOGS DO NOT DEFORM. INSTALL FILTER LOGS PERPENDICULAR TO THE FLOW DIRECTION AND PARALLEL TO THE SLOPE WITH THE BEGINNING AND END OF THE INSTALLATION POINTING SLIGHTLY UP THE SLOPE CREATING A "J" SHAPE AT EACH END TO PREVENT BYPASS. . FOR UNTRENCHED INSTALLATION BLOW OR HAND PLACE MULCH OR COMPOST ON UPHILL SIDE OF THE SLOPE ALDING LOG. STAKE FILTER LOG EVERY 4 FEET OR CLOSER ALONG ENTIRE LENGTH OF LOG OR TRENCH LOG INTO GROUND A MINIMUM OF 4 INCHES AND STAKE LOG EVERY B FEET OR CLOSER. USE STAKES WITH A MINIMUM NOMINAL CROSS SECTION OF 2X2 INCH AND OF SUFFICIENT LENGTH TO ATTAIN A MINIMUM OF 12 INCHES INTO THE GROUND AND 3 INCHES PROTRUDING ABOVE LOG. WHEN MORE THAN ONE LOG IS NEEDED, OVERLAP ENDS 12 INCHES MINIMUM AND STAKE. I. REMOVE SEDIMENT WHEN IT HAS ACCUMULATED TO A DEPTH OF \$\mathcal{E}\$ THE EXPOSED HEIGHT OF LOG AND REPLACE MULCH REPLACE HER LOG IF TORN, REMSTALL FILTER LOG IF INDERMINING OR DISLODGING OCCURS, REPLACE CLOGGED FILTER LOGS, FOR PERMANENT APPLICATIONS, ESTABLISH AND CONTINUOUSLY MEET REQUIREMENTS FOR ADEQUATE VEGETATIVE ESTABLISHMENT IN ACCORDANCE WITH SECTION B-4 VEGETATIVE STABLISHMENT AND CONTINUOUSLY MEET REQUIREMENTS FOR ADEQUATE VEGETATIVE ESTABLISHMENT IN ACCORDANCE WITH SECTION B-4 VEGETATIVE STABLISHMENT IN ACCORDANCE WITH

MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL

U.S. DEPARTMENT OF AGRICULTURE
NATURAL RESOURCES CONSERVATION SERVICE

2011

WARYLAND DEPARTMENT OF ENVIRONMENT
WATER MANAGEMENT ADMINISTRATION

B-4-8 STANDARDS AND SPECIFIC STOCKPILE AREA o provide a designated location for the temporary storage of soil that controls the potential for erosion Stockpile areas are utilized when it is necessary to salvage and store soil for later use. The stockpile location and all related sediment control practices must be clearly indicated on the PLAN VIEW based on a side slope ratio no steeper than 2:1. Benching must be provided in accordance Runoff from the stockpile area must drain to a suit earth dike, temporary swale or diversion fence. Provisions must be made for discharging necestrated flow in a non-crosive manner. i. Where rupoff concentrates along the toe of the stockpile fill, an appropriate erosion/sediment CROSS SECTION

> CONSTRUCT BERM ON AN UNINTERRUPTED, CONTINUOUS GRADE INSTALL BERM TO CONFORM TO CROSS SECTION DIMENSIONS OF A UNIFORM HEIGHT OF 8 INCHES MINIMUM AND APPROXIMATE WIDTH OF $3 \mbox{$\!\!\!\sl k}$ FEET. PROVIDE OUTLET PROTECTION AS REQUIRED ON PLAN. REPAIR DAMAGED ASPHALT. REMOVE ACCUMULATED SEDIMENT AND DEBRIS. MAINTAIN POSITIVE

MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL U.S. DEPARTMENT OF AGRICULTURE 2011 MARYLAND DEPARTMENT OF ENVIRONMEN WATER MANAGEMENT ADMINISTRATION

<u>SEQUENCE OF CONSTRUCTION</u>

APPLY FOR GRADING PERMIT AND SCHEDULE A PRE-CONSTRUCTION MEETING WITH THE INSPECTOR. OBTAIN GRADING PERMIT FROM THE INSPECTOR AT THE MEETING.

. INSTALL STABILIZED CONSTRUCTION ENTRANCE (SCE) AND SUPER SILT FENCE (SSF) AS SHOWN ON THESE PLANS. DURATION: 1-day.

INSTALL STORM DRAINS AND OTHER SITE UTILITIES. INSTALL INLET PROTECTION AS SOON AS STORM DRAIN INLETS ARE INSTALLED. INSTALL FILTER LOGS AT ALL INLETS

INSTALL CURB AND GUTTER, SIDEWALKS AND BASE PAVING. STABILIZE ALL OTHER DISTURBED AREAS WITH PERMANENT SEEDING, MULCH AND LANDSCAPING. DURATION: 1

WHEN PERMISSION HAS BEEN GRANTED BY THE SEDIMENT CONTROL INSPECTOR, AND ALL AREAS DRAINING TO THE SEDIMENT CONTROL DEVICES HAVE BEEN STABILIZED,

INSTALL SURFACE COURSE PAVING AND PARKING LOT STRIPING. Duration: 2 weeks.

AND SEEDING DEPTHS. IF THIS SUMMARY IS NOT PUT ON THE PLAN AND COMPLETED, THEN TABLE B.1 PLUS FERTILIZER AND LIME RATES MUST BE PUT ON THE PLAN. FOR SITES HAVING SOIL TESTS PERFORMED, USE AND SHOW THE RECOMMENDED RATES BY

B-4-4 STANDARDS AND SPECIFICATIONS

FOR TEMPORARY STABILIZATION

TO STABILIZE DISTURBED SOILS WITH VEGETATION FOR UP TO 6 MONTHS.

TO USE FAST GROWING VEGETATION THAT PROVIDES COVER ON DISTURBED SOILS.

PRACTICES ARE REQUIRED.

SELECT ONE OR MORE OF THE SPECIES OR SEED MIXTURES LISTED IN TABLE B.1 FOR TH

TEMPORARY SEEDING SUMMARY BELOW ALONG WITH APPLICATION RATES. SEEDING DATES

APPROPRIATE PLANT HARDINESS ZONE (FROM FIGURE B.3), AND ENTER THEM IN THE

THE TESTING AGENCY SOIL TESTS ARE NOT REQUIRED FOR TEMPORARY SEEDING.

UNTIL THE NEXT SEEDING SEASON.

WHEN STABILIZATION IS REQUIRED OUTSIDE OF A SEEDING SEASON, APPLY SEED AND

MULCH OR STRAW MULCH ALONE AS PRESCRIBED IN SECTION B-4-3.A.1.B AND MAINTAIN

TEMPORARY SEEDING SUMMARY								
HARDINESS 2 SEED MIXTUR				FERTILIZER RATE	LIME RATE			
SPECIES	APPLICATION RATE (lb/ac.)	SEEDING DATES	SEEDING DEPTHS	(10-10-10)	LIML NATE			
ANNUAL RYEGRASS	40 lb/ac	Mar. 1 to May 15, Aug. 1 to Oct. 15	0.5 INCHES	436 lb./ac.	2 tons/ac. (90 lb./			
				1 1.0 10.7	() 5 () ()			

STANDARDS AND SPECIFICATIONS FOR DUST CONTROL

1,000 sf) 1,000 s

<u>DEFINITION</u>

CONTROLLING THE SUSPENSION OF DUST PARTICLES FROM CONSTRUCTION ACTIVITIES. TO PREVENT BLOWING AND MOVEMENT OF DUST FROM EXPOSED SOIL SURFACES TO REDUCE ON AND

PEARL MILLET | 20 lb/ac | May 16 to July 31 | 0.5 INCHES

CONDITIONS WHERE PRACTICE APPLIES AREAS SUBJECT TO DUST BLOWING AND MOVEMENT WHERE ON AND OFF-SITE DAMAGE IS LIKELY WITHOUT TREATMENT.

SPECIFICATIONS

OFF-SITE DAMAGE INCLUDING HEALTH AND TRAFFIC HAZARDS.

MULCHES: SEE SECTION B-4-2 SOIL PREPARATION, TOPSOILING, AND SOIL AMENDMENTS, SECTION B-4-3 SEEDING AND MULCHING, AND SECTION B-4-4 TEMPORARY STABILIZATION. MULCH MUST BE ANCHORED TO PREVENT BLOWING. VEGETATIVE COVER: SEE SECTION B-4-4 TEMPORARY STABILIZATION.

SIMILAR MATERIAL CAN BE USED TO CONTROL AIR CURRENTS AND SOIL BLOWING

MUST NOT BE IRRIGATED TO THE POINT THAT RUNOFF OCCURS.

TILLAGE: TILL TO ROUGHEN SURFACE AND BRING CLODS TO THE SURFACE. BEGIN PLOWING ON WINDWARD SIDE OF SITE. CHISEL-TYPE PLOWS SPACED ABOUT 12 INCHES APART, SPRING-TOOTHED HARROWS, AND SIMILAR PLOWS ARE EXAMPLES OF EQUIPMENT THAT MAY PRODUCE THE DESIRED

IRRIGATION: SPRINKLE SITE WITH WATER UNTIL THE SURFACE IS MOIST. REPEAT AS NEEDED. THE SITE

BARRIERS: SOLID BOARD FENCES, SILT FENCES, SNOW FENCES. BURLAP FENCES. STRAW BALES. AN

CHEMICAL TREATMENT: USE OF CHEMICAL TREATMENT REQUIRES APPROVAL BY THE APPROPRIATE

4. FINE GRADE SITE AND BEGIN BUILDING CONSTRUCTION. PROVIDE DUST CONTROL AS NECESSARY. DURATION: 9 months.

CONDITIONS WHERE PRACTICE APPLIES EXPOSED SOILS WHERE GROUND COVER IS NEEDED FOR FLUSH AND CLEAN STORM DRAIN SYSTEM. Duration: 1-day. A PERIOD OF 6 MONTHS OR LESS. FOR LONGER DURATION OF TIME, PERMANENT STABILIZATION

REMOVE THE SEDIMENT CONTROLS. Duration: 1 week.

COMPLETE BUILDING INTERIOR WORK AND OBTAIN USE AND OCCUPANCY PERMIT.

PLANNING ENGINEERING SURVEYING

DRAWN BY LAG CHECKED E 3909 NATIONAL DRIVE | SUITE 250 | BURTONSVILLE, MD 20866 | GLWPA.COM DEV PHONE: 301-421-4024 | BALT: 410-880-1820 | DC&VA: 301-989-2524 | FAX: 301-421-4186

DATE BY APP'R. REVISION

02/18/22

MLFCC PARCEL 5, LLC

BALTIMORE, MD 21208

ATTN.: MARK BENNETT

PH. 410-484-8400

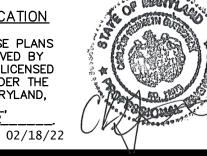
1829 REISTERSTOWN ROAD

2/18/22

HEIGHT OF AT LEAST 3 INCHES UNLESS OTHERWISE SPECIFIED.

PREPARED FOR: ST. JOHN PROPERTIES 2560 LORD BALTIMORE DR. BALTIMORE, MD 21244 PH. 410-788-0100 ATTN.: KAREN WATSIC

PROFESSIONAL CERTIFICATION HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 12975 EXPIRATION DATE: MAY 26, 2022



ELECTION DISTRICT No. 5

SEDIMENT CONTROL NOTES and DETAILS G. L. W. FILE No. 21067 MAPLE LAWN FARMS AS SHOWN MXD-3Business District - Area 1 Parcel 'C-26' (Office Building No. 5 - A LEED Certified Green Building) TAX MAP - GRID SHEET (Proposed Office Space with possible First Floor Retail, Restaurant, or Personal Service) PLAT No. 21620 FEB. 2022 OF 11 46: 3&4 HOWARD COUNTY, MARYLAND

SDP-22-002

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