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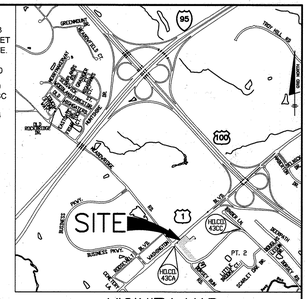
SITE DEVELOPMENT PLAN
CORRIDOR SQUARE
PARCEL B
1ST ELECTION DISTRICT
HOWARD COUNTY, MARYLAND

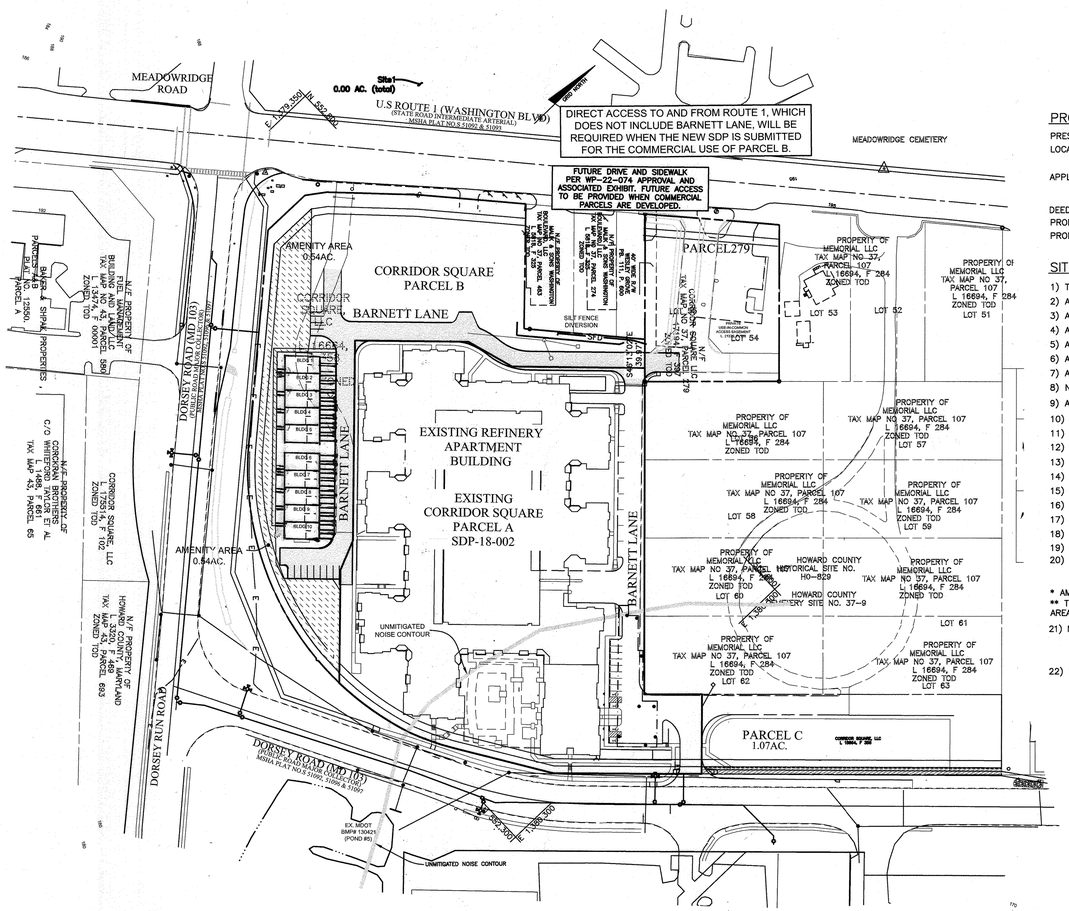
SHEET INDEX	
NO.	DESCRIPTION
1	COVER SHEET
2	EXISTING CONDITIONS AND SOILS MAP
3	SITE LAYOUT AND DIMENSION PLAN
4	GRADING AND SEDIMENT CONTROL PLAN
5	SEDIMENT CONTROL NOTES AND DETAILS
6	LANDSCAPE PLAN AND FOREST CONSERVATION PLAN
7	AMENITY AREA LANDSCAPE PLAN
8	AMENITY AREA LANDSCAPE PLAN
9	STORM DRAIN DRAINAGE AREA MAP
10	STORM DRAIN PROFILES
11	STORMWATER MANAGEMENT DRAINAGE AREA MAP AND DETAILS
12	STORMWATER MANAGEMENT DETAILS AND UTILITY PROFILES
13	BUILDING ELEVATION PLAN

BENCH MARKS (NAD'83)

HO.CO. No:43CA ELEV:191.633
STAMPED (BRASS OR ALUMINUM) DISC SET TOP OF A 3' DEEP COLUMN OF CONCRETE. AT CORNER US-1 AND DORSEY ROAD
N 552680129 E 1378380380

HO.CO. No:43CC ELEV:183.700
CONCRETE MONUMENT WITH BRASS DISC AT RT-103(DORSEY ROAD)1/3 MI.E.US-29
N 553201.462 E 1381152.814





LOCATION MAP
SCALE: 1" = 100'

GRAPHIC SCALE

100 0 50 100 200 400

(IN FEET)
1 inch = 100' ft.

ADDRESS CHART		
BUILDING 1	A	7021 BARNETT LANE
	B	7021 BARNETT LANE
BUILDING 2	A	7023 BARNETT LANE
	B	7023 BARNETT LANE
BUILDING 3	A	7025 BARNETT LANE
	B	7025 BARNETT LANE
BUILDING 4	A	7027 BARNETT LANE
	B	7027 BARNETT LANE
BUILDING 5	A	7029 BARNETT LANE
	B	7029 BARNETT LANE
BUILDING 6	A	7033 BARNETT LANE
	B	7033 BARNETT LANE
BUILDING 7	A	7035 BARNETT LANE
	B	7035 BARNETT LANE
BUILDING 8	A	7037 BARNETT LANE
	B	7037 BARNETT LANE
BUILDING 9	A	7039 BARNETT LANE
	B	7039 BARNETT LANE
BUILDING 10	A	7041 BARNETT LANE
	B	7041 BARNETT LANE

A=BOTTOM UNIT
B=TOP UNIT

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

CHIEF, DEVELOPMENT ENGINEERING DIVISION	DATE 1/17/2023
CHIEF, DIVISION OF LAND DEVELOPMENT	DATE 1/17/2023
DIRECTOR	DATE

PROJECT BACKGROUND INFORMATION

PRESENT ZONING: T.O.D.

LOCATION: TAX MAP 37 – GRID 24 – PARCELS 265, 272, 273, 107 (LOTS 64 & 65)
TAX MAP 43 – GRID 5 – PARCELS 73, 74, 75, 76, 77, 78, 79

APPLICABLE DPZ FILE REFERENCES: SDP–78–019, SDP–74–072, ECP–16–053, SDP–17–009, WP–18–006, F–18–005, WP–18–052, AA–17–011, SDP–18–002, F–18–005, ECP–20–011

DEED REFERENCES: L. 17551, F. 102, L. 16664, F. 358,

PROPOSED USE OF SITE: RESIDENTIAL APARTMENTS (SFA)(2 OVER 2 UNITS)

PROPOSED WATER AND SEWER SYSTEMS: ONSITE–PRIVATE WATER & SEWER

SITE DATA TABULATION

1) TOTAL PROJECT AREA.....4.09 AC.±
2) AREA OF 100–YR. FLOODPLAIN.....0.00 AC.±
3) AREA OF STEEP SLOPES (15% OR GREATER).....0.00 AC.±
4) AREA OF EXISTING FOREST.....1.73 AC.±
5) AREA OF ERODIBLE SOILS.....1.31 AC.±
6) AREA OF WETLANDS (INCLUDING BUFFER).....N/A
7) AREA OF STREAM BUFFER.....N/A
8) NET AREA OF PROJECT.....4.09 AC.±
9) AREA OF PROPOSED DEVELOPMENT.....4.09 AC.±
10) MINIMUM RESIDENTIAL DENSITY (20 PER NET ACRE).....81 UNITS
11) NUMBER OF UNITS RESIDENTIAL PROPOSED.....20 UNITS(APARTMENT)
12) NUMBER OF PARCELS.....1
13) APPROXIMATE LIMIT OF DISTURBANCE.....4.40 AC±(0.28 OFFSITE)
14) PRESENT ZONING DESIGNATION.....T.O.D.
15) PROPOSED USES FOR THE SITE & STRUCTURES.....RESIDENTIAL
16) MINIMUM LOT SIZE.....N/A
17) AMENITY AREA REQUIRED (10% DEVELOPMENT AREA).....0.41 ACRES
18) AMENITY AREA PROPOSED.....0.54 ACRES (13%)
19) RESIDENTIAL AREA ALLOWED (50%).....2.05 ACRES
20) RESIDENTIAL AREA PROVIDED.....0.54 ACRE AMENITY AREA *
0.28 ACRES UNIT AREA **
0.82 ACRES (20%) ACRES

* AMENITY AREAS INCLUDE PATHWAYS AND BENCHES TO BE USED BY THE PUBLIC.
** THE RESIDENTIAL AREAS INCLUDE THE BUILDING THAT CONTAINS UNITS AND AMENITY AREAS.

21) NUMBER OF PARKING SPACES :
RESIDENTIAL/APARTMENT (2.3 PER UNIT)(REQUIRED).....46 SPACES(20 UNITS PROVIDED.....51(2 PER UNIT AND 8 OVERFLOW)
22) TOTAL IMPERVIOUS AREA.....2.99 AC. ±

MODERATE INCOME HOUSING UNITS (MIHU) ALLOCATION EXEMPTIONS TRACKING	
TOTAL NUMBER OF UNITS PROPOSED	20
NUMBER OF MIHU REQUIRED	3
NUMBER OF MIHU PROVIDED ONSITE (EXEMPT FROM APFO ALLOCATION)	3
NUMBER OF APFO ALLOCATIONS REQUIRED (REMAINING UNITS)	17
MIHU FEE–IN–LIEU	NO

LEGEND

EXISTING CONTOURS 182 180
EXISTING TREELINE
EXISTING BUILDING EX. BUILDING
EXISTING FIBER OPTIC (APPROXIMATE LOCATION) FO
EXISTING SEWER S
EXISTING WATER
EXISTING STORMDRAIN
PROPOSED PAVING
PROPOSED AMENITY AREA

RuB

THIS RESIDENTIAL PROJECT IS REQUIRED TO PROVIDE A MINIMUM OF 15% OF THE DWELLING UNITS AS MODERATE INCOME HOUSING UNITS

PERMIT INFORMATION CHART					
PROJECT NAME: CORRIDOR SQUARE			SECTION/AREA: N/A		LOT/PARCEL#: PARCEL B
PLAT No.	GRID No.	ZONE	TAX MAP	ELECTION DISTRICT	CENSUS TRACT
26209–26210	23	T.O.D.	37	1ST	6012.03

GENERAL NOTES

1. THE SUBJECT PROPERTY IS ZONED TOD PER THE 10/06/13 COMPREHENSIVE ZONING PLAN.
2. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF HOWARD COUNTY PLUS MSHA STANDARDS AND SPECIFICATIONS IF APPLICABLE.
3. THE CONTRACTOR SHALL NOTIFY THE DEPARTMENT OF PUBLIC WORKS/BUREAU OF ENGINEERING/CONSTRUCTION INSPECTION DIVISION AT (410) 313–1880 AT LEAST FIVE (5) WORKING DAYS PRIOR TO THE START OF WORK.
4. THE CONTRACTOR SHALL NOTIFY "MISS UTILITY" AT 1–800–257–7777 AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION WORK BEING DONE.
5. TRAFFIC CONTROL DEVICES, MARKINGS AND SIGNING SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD). ALL STREET AND REGULATORY SIGNS SHALL BE IN PLACE PRIOR TO THE PLACEMENT OF ANY ASPHALT.
6. ALL PLAN DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
7. ALL EXISTING TOPOGRAPHY IS TAKEN FROM FIELD A RUN SURVEY WITH 2 FOOT CONTOUR INTERVALS PREPARED BY BENCHMARK ENGINEERING, INC. DATED NOVEMBER 2016.
8. THE COORDINATES SHOWN HEREON ARE BASED UPON THE HOWARD COUNTY GEODETIC CONTROL, WHICH IS BASED UPON THE MARYLAND STATE PLANE COORDINATE SYSTEM. HOWARD COUNTY MONUMENTS 43CA AND 43CC WERE USED FOR THIS PROJECT.
9. ONSITE WATER IS PRIVATE TIED TO CONTRACT 14–5029–D AND 44–4073
10. ONSITE SEWER IS PRIVATE/PUBLIC TIES TO CONTRACT 14–5029–D AND 210–S.
11. STORMWATER MANAGEMENT FOR THIS DEVELOPMENT WILL BE PROVIDED BY ESD PRACTICES TO INCLUDE MICRO–BIORETENTION FACILITIES AS WELL AS STORMPOD INLETS. UNDERGROUND STORAGE FOR THE REQUIRED 10 & 100 YEAR MANAGEMENT WILL BE PROVIDED BY STORMPOD DETENTION CHAMBERS.
12. THE ECP FOR THIS DEVELOPMENT WAS APPROVED ON APRIL 28, 2020; REFERENCE ECP–20–011.
13. EXISTING UTILITIES LOCATIONS ARE BASED ON FIELD LOCATIONS, MARKINGS BY MISS UTILITY AND AS–BUILT DRAWINGS.
14. THERE IS NO FLOODPLAIN LOCATED ON THE PROPERTY.
15. THERE ARE NO WETLANDS LOCATED ON THE PROPERTY BASED ON A FIELD ANALYSIS PERFORMED BY HILLIS–CARNES ENGINEERING ASSOCIATED DATED JANUARY 2017.
16. THE TRAFFIC STUDY FOR THIS PROJECT WAS PREPARED BY THE TRAFFIC GROUP DATED JUNE 2021.
17. A FOREST STAND DELINEATION FIELD STUDY WAS PERFORMED BY MICHAEL J. KLEBASKO (QUALIFIED PROFESSIONAL UNDER COMAR 08.19.06.01) DATED JANUARY 2017.
18. THE FOREST CONSERVATION OBLIGATIONS FOR THE REQUIRED AFFORESTATION FOR THIS PROJECT HAVE BEEN MET BY OFFSITE FOREST BANK LOCATED ON THE HIMEL PROPERTY, SDP–05–132.
19. THIS DEVELOPMENT WAS PRESENTED TO THE DESIGN ADVISORY PANEL (DAP) DATED JULY 8, 2020, REFERENCE #20–06.
20. THE ZONING DIVISION CONSIDERS THE TWO OVER TWO TOWNHOUSE UNITS TO BE APARTMENTS.
21. THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE PROVISIONS OF SECTION 16.124 OF THE HOWARD COUNTY CODE AND LANDSCAPE MANUAL.FINANCIAL SURETY IN THE AMOUNT OF $16,950.00 FOR 40 SHADE TREES, 33 EVERGREEN/ORNAMENTAL TREES HAS BEEN POSTED WITH THE DEVELOPER'S AGREEMENT.
22. THE 65DBA NOISE LEVEL ESTABLISHED BY HOWARD COUNTY TO ALERT DEVELOPERS, BUILDERS AND FUTURE RESIDENCES THAT AREAS BEYOND THIS THRESHOLD MAY EXCEED GENERALLY ACCEPTED NOISE LEVELS ESTABLISHED BY THE U.S. DEPARTMENT OF HOUSING AND URBAN DEVELOPMENT.
23. A PRE–SUBMISSION COMMUNITY MEETING FOR THIS PROJECT WAS HELD ON JULY 18, 2019 IN ACCORDANCE WITH SECTION 16.128 AND 16.147(b)(1) OF THE SUBDIVISION REGULATIONS. THE 1–YEAR DEADLINE FOR THIS EXPIRES JUNE 30, 2021 WHEN THE COVID–19 EXECUTIVE ORDER IS TERMINATED.
24. THE SUBJECT PARCEL IS NOT LOCATED WITHIN THE BOUNDARIES OF THE 1998 BALTIMORE/WASHINGTON INTERNATIONAL AIRPORT (BWI), AIRPORT NOISE ZONE AS WELL AS THE FOUR MILE RADIUS OF BWI AIRPORT. THEREFORE, NO APPROVAL FROM THE MARYLAND AVIATION ADMINISTRATION IS REQUIRED.
25. ALL PROPOSED EXTERIOR LIGHTING SHALL BE DIRECTED/REFLECTED AWAY FROM ALL ADJACENT PUBLIC ROADS AND RESIDENTIAL ZONING DISTRICTS IN ACCORDANCE WITH SECTION 134.0 OF THE HOWARD COUNTY ZONING REGULATIONS.
26. IN ACCORDANCE WITH SECTION 127.0.F.2.C. OF THE ZONING REGULATIONS, AT LEAST 15% OF THE DWELLING UNITS SHALL BE MODERATE INCOME HOUSING UNITS. MIHU UNITS WILL BE PROVIDED BY ON–SITE UNITS.
27. TRASH PICK–UP FOR THIS DEVELOPMENT WILL BE PRIVATE.
28. A NOISE STUDY WAS PREPARED BY HUSH ACOUSTICS LLC DATED OCTOBER 2020. FOR REDUCTION OF INSIDE NOISE HUSH HAS RECOMMENDED STC 25 WINDOWS, STC 24 FRONT DOORS AND STC 27 REAR SLIDING GLASS DOORS TO PROVIDE AN INDSIDE DNL BETWEEN 44.2 TO 45.0 Dbl.
29. DRIVEWAYS SHALL BE PROVIDED PRIOR TO RESIDENTIAL OCCUPANCY TO INSURE SAFE ACCESS FOR FIRE AND EMERGENCY VEHICLES PER THE FOLLOWING MINIMUM REQUIREMENTS:
    A) WIDTH – 12' (16' SERVING MORE THAN ONE RESIDENCE).
    B) SURFACE – 6" OF COMPACT CRUSHER RUN BASE WITH TAR AND CHIP COATING (1–1/2" MIN.)
    C) GEOMETRY – MAXIMUM 15% GRADE, MAXIMUM 10% GRADE CHANGE AND MINIMUM 45' TURNING RADIUS.
    D) STRUCTURES (CULVERTS/BRIDGES) – CAPABLE OF SUPPORTING 25 GROSS TONS (H25 LOADING).
    E) DRAINAGE ELEMENTS – CAPABLE OF SAFELY PASSING 100 YEAR FLOODPLAIN WITH NO MORE THAN 1 FOOT DEPTH OVER DRIVEWAY.
    F) STRUCTURE CLEARANCES – MINIMUM 12 FEET.
    G) MAINTENANCE – SUFFICIENT TO INSURE ALL WEATHER USE.
31. TRAFFIC CONTROL DEVICES:
    a) THE R1–1 ("STOP") SIGNS FOR THIS DEVELOPMENT MUST BE INSTALLED BEFORE THE BASE PAVING IS COMPLETED.
    b) ALL TRAFFIC CONTROL DEVICES AND THEIR LOCATIONS SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE "MARYLAND MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES"(MdMUTCD).
    c) ANY SIGN POSTS USED FOR TRAFFIC CONTROL SIGNS INSTALLED IN THE COUNTY RIGHT–OF–WAY SHALL BE MOUNTED ON A 2" GALVANIZED STEEL, PERFORATED (QUICK PUNCH), SQUARE TUBE POST (14 GAUGE) INSERTED INTO A 2–1/2" GALVANIZED STEEL, PERFORATED, SQUARE TUBE SLEEVE (12 GAUGE) –3' LONG. THE ANCHOR SHALL NOT EXTEND MORE THAN TWO "QUICK PUNCH" HOLES ABOVE GROUND LEVEL. A GALVANIZED STEEL POLE CAP SHALL BE MOUNTED ON TOP OF EACH POST.
    d) THE TRAFFIC CONTROL DEVICE LOCATIONS SHOWN ON THE PLANS ARE APPROXIMATE AND MUST BE FIELD APPROVED BY HOWARD COUNTY TRAFFIC DIVISION (410–313–2430) PRIOR TO THE INSTALLATION OF ANY OF THE TRAFFIC CONTROL DEVICES.
32. PARCEL 279 IS SUBJECT TO A DEED OF EASEMENT TO ALLOW FOR VEHICULAR AND PEDESTRIAN INGRESS AND EGRESS TO US ROUTE 1; REFERENCE LIBER 17551, FOLIO 102.
33. FURTHER DEVELOPMENT OF PARCEL B WILL REQUIRE SITE DEVELOPMENT PLAN. SINCE PARCEL B WAS SUBJECT TO AN ECP THAT COVERED THE ENTIRE PARCEL NO NEW ECP WILL BE REQUIRED. FOREST CONSERVATION AND AMENITY AREA ARE PROVIDED FOR THE ENTIRE DEVELOPMENT WITH THIS SDP, THEREFORE, NO ADDITIONAL FOREST CONSERVATION OR AMENITY AREA IS REQUIRED.
34. THE MIHU DOCUMENT WAS RECORDED IN THE HOWARD COUNTY LAND RECORDS ON 12/19/2022 AS L.21830, F.54.

NO.	DATE	REVISION
1	9.26.23	REVISE UNIT TYPE AND LOWER LEVEL ELEVATION

BENCHMARK
ENGINEERS ▲ LAND SURVEYORS ▲ PLANNERS
ENGINEERING, INC.
3300 NORTH RIDGE ROAD ▲ SUITE 140 ▲ ELLICOTT CITY, MARYLAND 21043
(P) 410–465–6105 (F) 410–465–6644
WWW.BEI–CIVILENGINEERING.COM

Professional Certification. I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland, License No. 22390, Expiration Date: 06.30.23.

12.07.22

OWNER:
CORRIDOR SQUARE, LLC
6800 DEERPATH ROAD
ELKRIDGE, MD 21075
410.579.2442

DEVELOPER:
CORRIDOR SQUARE, LLC
6800 DEERPATH ROAD
ELKRIDGE, MD 21075
410.579.2442

CORRIDOR SQUARE
PARCEL B AND PARCEL 279
RESIDENTIAL APARTMENT BUILDINGS

TAX MAP 37 – GRID 23 – PARCELS 272 & 279
ZONED: TOD
ELECTION DISTRICT NO. 1 – HOWARD COUNTY, MARYLAND

SITE DEVELOPMENT PLAN
COVER SHEET

DATE: DECEMBER 2022	BEI PROJECT NO. 2695
DESIGN: JCO / DRAFT: JCO	SCALE: AS NOTED / SHEET 1 OF 13

SDP-21-051

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SOILS CHART - SOIL SURVEY HOWARD COUNTY, MARYLAND PAGE 25					
SYMBOL	HYDRIC	HYDROLOGIC GROUP	ALTERNATE GROUP	Kw	NAME
Fia*	YES	D		0.02	FALLSINGTON SANDY LOAM, 0 TO 2 PERCENT, NORTHERN COASTAL PLAIN
RsB		C		0.24	RUSSETT FINE SANDY LOAM, 2 TO 5 PERCENT SLOPES
RuB		C	C	0.24	RUSSETT AND BELTSVILLE SOIL, 2 TO 5 PERCENT SLOPES
RuC		C	C	0.24	RUSSETT AND BELTSVILLE SOIL, 5 TO 10 PERCENT SLOPES
UtD		D	C	0.28	URBAN LAND-UDORTHENTS COMPLEX, 0 TO 15 PERCENT SLOPES

HOWARD COUNTY SOIL INDEX PAGE 25.
* INCLUDES HYDRIC SOILS

DIRECT ACCESS TO AND FROM ROUTE 1, WHICH DOES NOT INCLUDE BARNETT LANE, WILL BE REQUIRED WHEN THE NEW SDP IS SUBMITTED FOR THE COMMERCIAL USE OF PARCEL B.

FUTURE DRIVE AND SIDEWALK PER WP-22-074 APPROVAL AND ASSOCIATED EXHIBIT. FUTURE ACCESS TO BE PROVIDED WHEN COMMERCIAL PARCELS ARE DEVELOPED.

GRAPHIC SCALE
50 0 25 50 100 200
(IN FEET)
1 inch = 50 ft.

LEGEND
EXISTING CONTOURS
EXISTING TREELINE
EXISTING BUILDING (EX. BUILDING)
EXISTING FIBER OPTIC (APPROXIMATE LOCATION) (FO)
EXISTING SEWER
EXISTING WATER
EXISTING STORMDRAIN
SOILS BOUNDARY

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

CHIEF, DEVELOPMENT ENGINEERING DIVISION	DATE 1/17/2023
CHIEF, DIVISION OF LAND DEVELOPMENT	DATE 1/17/2023
DIRECTOR	DATE

NO.	DATE	REVISION

BENCHMARK ENGINEERING, INC.
ENGINEERS ▲ LAND SURVEYORS ▲ PLANNERS
3300 NORTH RIDGE ROAD ▲ SUITE 140 ▲ ELLICOTT CITY, MARYLAND 21043
(P) 410-465-6105 (F) 410-465-6644
WWW.BEI-CIVILENGINEERING.COM

Professional Certification. I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland, License No. 22390, Expiration Date: 06.30.23.
12.07.22

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410.579.2442

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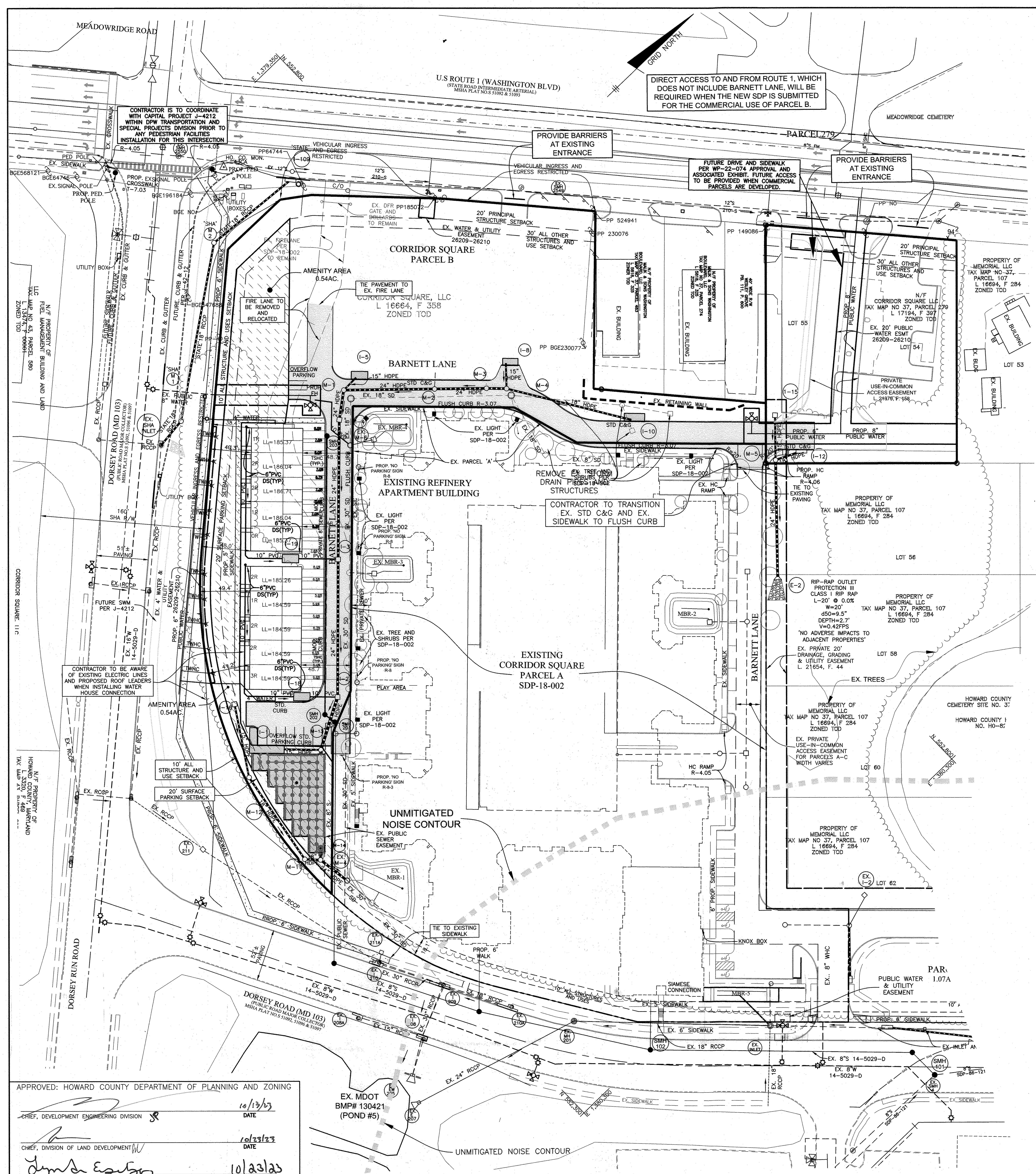
CORRIDOR SQUARE
PARCEL B AND PARCEL 279
RESIDENTIAL APARTMENT BUILDINGS

TAX MAP 37 – GRID 23 – PARCELS 272 & 279
ZONED: TOD
ELECTION DISTRICT NO. 1 – HOWARD COUNTY, MARYLAND

SITE DEVELOPMENT PLAN
EXISTING CONDITIONS PLAN AND SOILS MAP

DESIGN: JCO	DRAFT: JCO	SCALE: AS SHOWN	BEI PROJECT NO. 2695
		DATE: DECEMBER 2022	SHEET 2 OF 13

SDP-21-051


MEADOWRIDGE ROAD
U.S ROUTE 1 (WASHINGTON BLVD)
GRID NORTH
DIRECT ACCESS TO AND FROM ROUTE 1, WHICH DOES NOT INCLUDE BARNETT LANE, WILL BE REQUIRED WHEN THE NEW SDP IS SUBMITTED FOR THE COMMERCIAL USE OF PARCEL B.
CONTRACTOR IS TO COORDINATE WITH CAPITAL PROJECT J-4212 WITHIN DPW TRANSPORTATION AND SPECIAL PROJECTS DIVISION PRIOR TO ANY PEDESTRIAN FACILITIES INSTALLATION FOR THIS INTERSECTION
PROVIDE BARRIERS AT EXISTING ENTRANCE
FUTURE DRIVE AND SIDEWALK PER WP-22-074 APPROVAL AND ASSOCIATED EXHIBIT. FUTURE ACCESS TO BE PROVIDED WHEN COMMERCIAL PARCELS ARE DEVELOPED.
PROVIDE BARRIERS AT EXISTING ENTRANCE
MEADOWRIDGE CEMETERY
PARCEL 279
CORRIDOR SQUARE PARCEL B
CORRIDOR SQUARE, LLC L 16664, F 358 ZONED TOD
AMENITY AREA 0.54AC.
TIE PAVEMENT TO EX. FIRE LANE
FIRE LANE TO BE REMOVED AND RELOCATED
BARNETT LANE
EXISTING REFINERY APARTMENT BUILDING
CONTRACTOR TO TRANSITION EX. STD C&G AND EX. SIDEWALK TO FLUSH CURB
EXISTING CORRIDOR SQUARE PARCEL A SDP-18-002
CONTRACTOR TO BE AWARE OF EXISTING ELECTRIC LINES AND PROPOSED ROOF LEADERS WHEN INSTALLING WATER HOUSE CONNECTION
AMENITY AREA 0.54AC.
UNMITIGATED NOISE CONTOUR
EX. MDOT BMP# 130421 (POND #5)
UNMITIGATED NOISE CONTOUR
DORSEY ROAD (MD 103)
DORSEY RUN ROAD
N/F CORRIDOR SQUARE, LLC TAX MAP NO. 37, PARCEL 279 L 17194, F 397 ZONED TOD
PROPERTY OF MEMORIAL LLC TAX MAP NO 37, PARCEL 107 L 16694, F 284 ZONED TOD
RIP-RAP OUTLET PROTECTION III CLASS I RIP RAP L=20' @ 0.0% W=20' d50=9.5" DEPTH=2.7' V=0.42FPS "NO ADVERSE IMPACTS TO ADJACENT PROPERTIES"
HOWARD COUNTY CEMETERY SITE NO. 37
PUBLIC WATER & UTILITY EASEMENT

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

CHIEF, DEVELOPMENT ENGINEERING DIVISION — DATE 10/13/23

CHIEF, DIVISION OF LAND DEVELOPMENT — DATE 10/23/23

DIRECTOR — DATE 10/23/23

GRAPHIC SCALE

50 0 25 50 100 200

(IN FEET)
1 inch = 50 ft.

THIS SHEET REPLACES SHEET 3 SDP-21-051

NO.	DATE	REVISION
1	8.16.23	REVISE UNIT TYPE AND LOWER LEVEL ELEVATION

BENCHMARK
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Professional Certification. I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland, License No. 22390, Expiration Date: 06.30.25.

9-27-23

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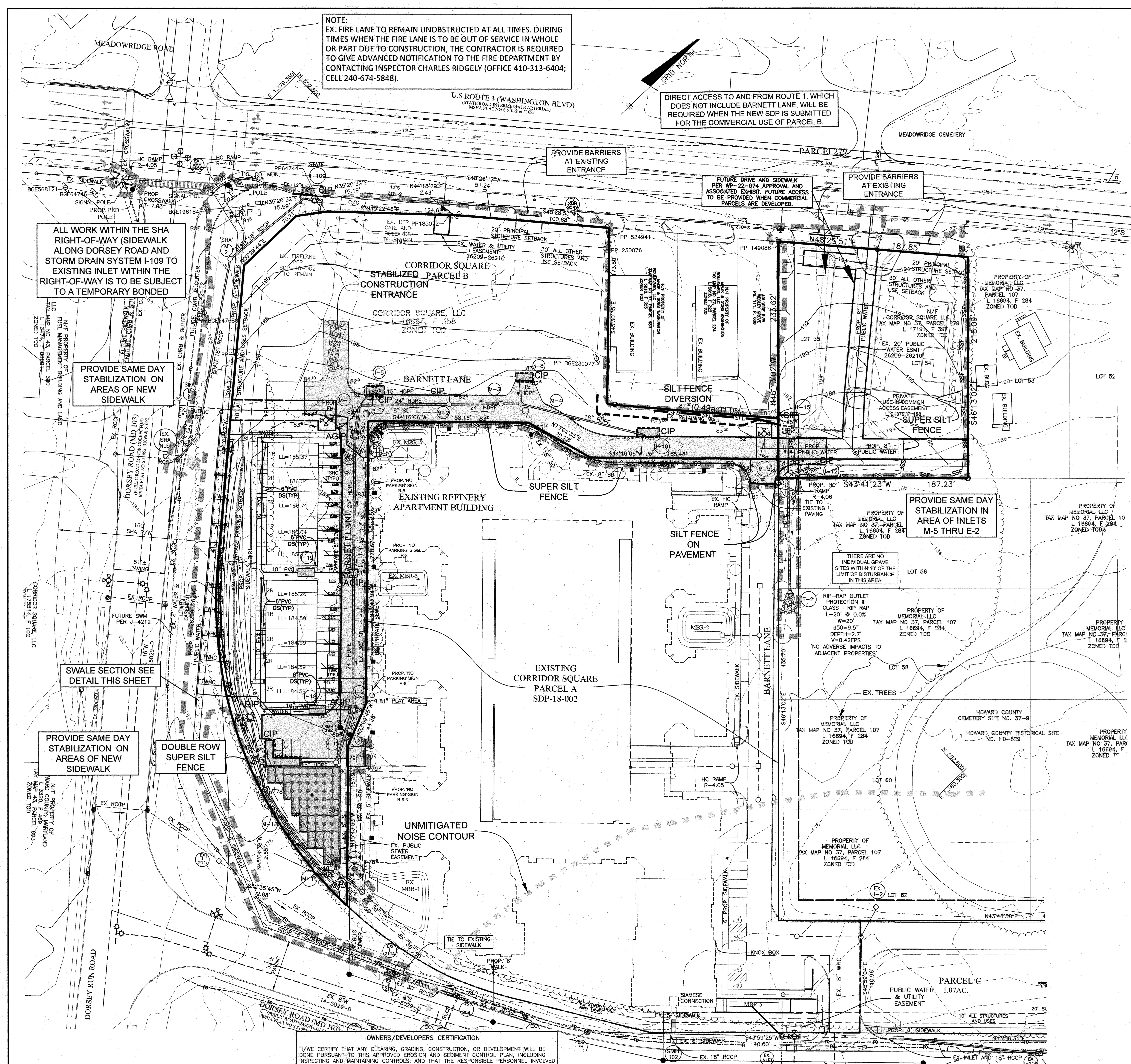
CORRIDOR SQUARE
PARCEL B AND PARCEL 279
RESIDENTIAL APARTMENT BUILDINGS

TAX MAP 37 – GRID 23 – PARCELS 272 & 279
ZONED: TOD
ELECTION DISTRICT NO. 1 – HOWARD COUNTY, MARYLAND

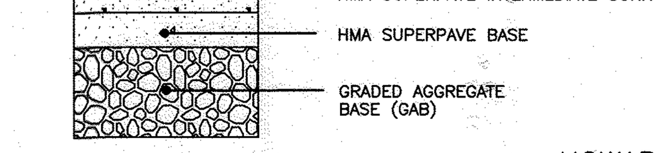
REVISED SITE DEVELOPMENT PLAN
SITE LAYOUT AND DIMENSION PLAN

DATE: SEPTEMBER 2023		BEI PROJECT NO. 2695	
DESIGN: JCO	DRAFT: JCO	SCALE: AS SHOWN	SHEET 3 OF 13

J:\2695 Gunter Properties\dwg\PARCEL B\8000V3REDLINE.dwg, 9/27/2023 10:56:08 AM



SECTION NUMBER	CALIFORNIA BEARING RATIO (CBR)	3 TO <5	5 TO <7	≥7	3 TO <5	5 TO <7	≥7
	PAVEMENT MATERIAL (INCHES)	MIN HMA WITH GAB			HMA WITH CONSTANT GAB		
P-2	HMA SUPERPAVE FINAL SURFACE 9.5 MM PG 64-22, LEVEL 1 (LOW ESAL)	1.5	1.5	1.5	1.5	1.5	1.5
	HMA SUPERPAVE INTERMEDIATE SURFACE 9.5 MM PG 64-22, LEVEL 1 (LOW ESAL)	1.0	1.0	1.0	1.0	1.0	1.0
	HMA SUPERPAVE BASE 19.0 MM PG 64-22, LEVEL 1 (LOW ESAL)	2.0	2.0	2.0	3.5	2.0	2.0
	GRADED AGGREGATE BASE (GAB)	8.0	4.0	3.0	4.0	4.0	4.0

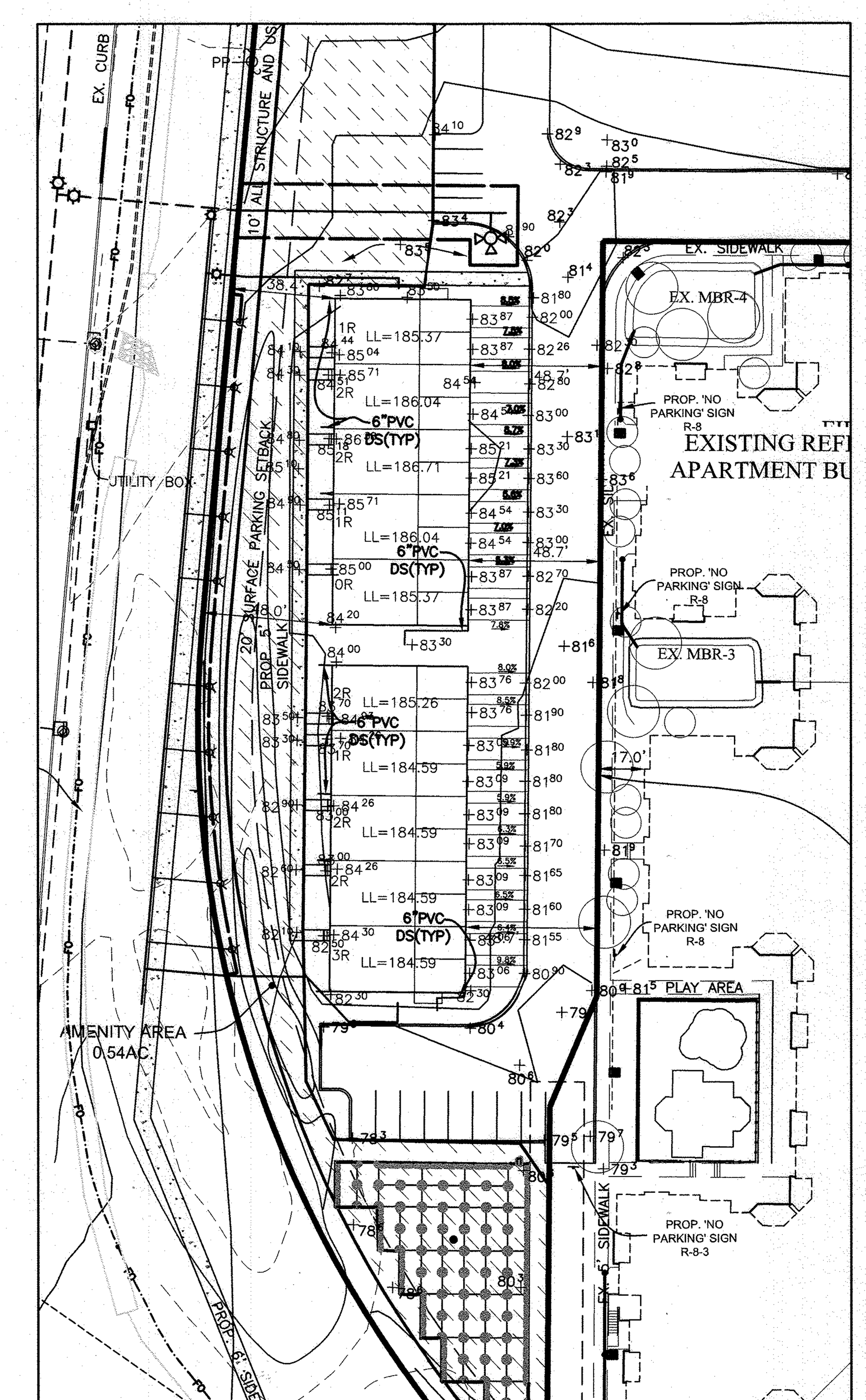


*PAVING SECTION SHALL BE CONFIRMED BY THE GEOTECHNICAL ENGINEER IN THE FIELD BASED ON THE CBR TESTS.

HOWARD COUNTY DETAIL R-2.01

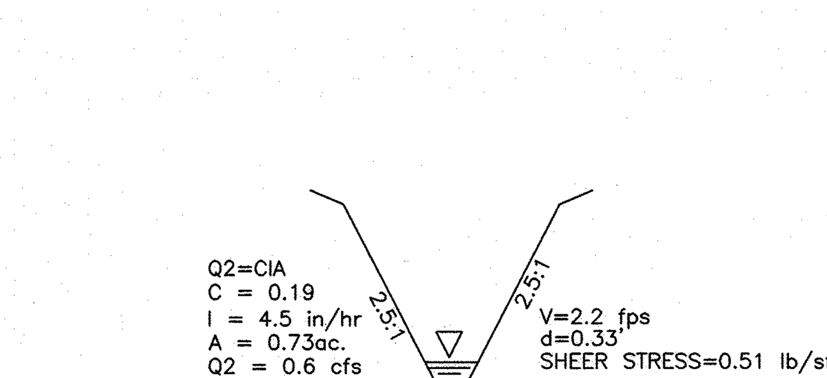
TYPICAL PAVING SECTION DETAIL

NOT TO SCALE



UNIT SPOT GRADES DETAIL

SCALE: 1"=50'



SWALE SECTION A-A

NOT TO SCALE

GRAPHIC SCALE

50 0 25 50 100 200

(IN FEET)
1 inch = 50 ft.

THIS SHEET REPLACES SHEET 4 SDP-21-051

NO.	DATE	REVISION
1	9.27.23	REVISE UNIT TYPE AND LOWER LEVEL ELEVATION

LEGEND

- EXISTING CONTOURS
- EXISTING TREELINE
- EXISTING BUILDING (EX. BUILDING)
- EXISTING FIBER OPTIC (APPROXIMATE LOCATION)
- EXISTING SEWER
- EXISTING WATER
- EXISTING STORMDRAIN
- PROPOSED PAVING
- LIMIT OF DISTURBANCE
- SUPER SILT FENCE
- STABILIZED CONSTRUCTION ENTRANCE

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

CHIEF, DEVELOPMENT ENGINEERING DIVISION JP — DATE 10/13/23

CHIEF, DIVISION OF LAND DEVELOPMENT — DATE 10/23/23

DIRECTOR — DATE 10/23/23

OWNERS/DEVELOPERS CERTIFICATION

"I/WE CERTIFY THAT ANY CLEARING, GRADING, CONSTRUCTION, OR DEVELOPMENT WILL BE DONE PURSUANT TO THIS APPROVED EROSION AND SEDIMENT CONTROL PLAN, INCLUDING INSPECTING AND MAINTAINING CONTROLS, AND THAT THE RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF TRAINING AT A MARYLAND DEPARTMENT OF THE ENVIRONMENT (MDE) APPROVED TRAINING PROGRAM FOR THE CONTROL OF EROSION AND SEDIMENT PRIOR TO BEGINNING THE PROJECT. I CERTIFY RIGHT-OF-ENTRY FOR PERIODIC ON-SITE EVALUATION BY HOWARD COUNTY, THE HOWARD SOIL CONSERVATION DISTRICT AND/OR MDE."

SIGNATURE — DATE 9/28/2023

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

HOWARD SOIL CONSERVATION DISTRICT — DATE 10/10/23

DESIGN CERTIFICATION

"I CERTIFY THAT THIS PLAN HAS BEEN DESIGNED IN ACCORDANCE WITH CURRENT MARYLAND EROSION AND SEDIMENT CONTROL LAWS, REGULATIONS, AND STANDARDS, THAT IT REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE, AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT."

ENGINEER CHRISTOPHER A. MALAGARI, P.E. — DATE 9-27-23 — MD REGISTRATION NO. 22390

BENCHMARK
ENGINEERS ▲ LAND SURVEYORS ▲ PLANNERS
ENGINEERING, INC.
3300 NORTH RIDGE ROAD ▲ SUITE 140 ▲ ELLICOTT CITY, MARYLAND 21043
(P) 410-465-6105 (F) 410-465-6644
WWW.BEI-CIVILENGINEERING.COM

Professional Certification. I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland, License No. 22390, Expiration Date: 06.30.25.

STATE OF MARYLAND — CHRISTOPHER A. MALAGARI — 22390 — PROFESSIONAL ENGINEER — 9-27-23

OWNER:
CORRIDOR SQUARE, LLC
6800 DEERPATH ROAD
ELKRIDGE, MD 21075
410.579.2442

DEVELOPER:
CORRIDOR SQUARE, LLC
6800 DEERPATH ROAD
ELKRIDGE, MD 21075
410.579.2442

DESIGN: JCO | DRAFT: JCO

CORRIDOR SQUARE
PARCEL B AND PARCEL 279
RESIDENTIAL APARTMENT BUILDINGS

TAX MAP 37 – GRID 23 – PARCELS 272 & 279
ZONED: TOD
ELECTION DISTRICT NO. 1 – HOWARD COUNTY, MARYLAND

REVISED SITE DEVELOPMENT PLAN GRADING, SEDIMENT & EROSION CONTROL PLAN

DATE: SEPTEMBER 2023 | BEI PROJECT NO. 2695
SCALE: 1"=50' | SHEET 4 OF 13

J:\2695 Gunter Properties\dwg\PARCEL B\8000V3REDLINE.dwg, 9/27/2023 10:56:57 AM

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B-4 STANDARDS AND SPECIFICATIONS
FOR
VEGETATIVE STABILIZATION

Definition

Using vegetation as cover to protect exposed soil from erosion.

Purpose

To promote the establishment of vegetation on exposed soil.

Conditions Where Practice Applies

On all disturbed areas not stabilized by other methods. This specification is divided into sections on incremental stabilization; soil preparation, soil amendments and topsoiling; seeding and mulching; temporary stabilization; and permanent stabilization.

Effects on Water Quality and Quantity

Stabilization practices are used to promote the establishment of vegetation on exposed soil. When soil is stabilized with vegetation, the soil is less likely to erode and more likely to allow infiltration of rainfall, thereby reducing sediment loads and runoff to downstream areas.
Planting vegetation in disturbed areas will have an effect on the water budget, especially on volumes and rates of runoff, infiltration, evaporation, transpiration, percolation, and groundwater recharge. Over time, vegetation will increase organic matter content and improve the water holding capacity of the soil and subsequent plant growth.
Vegetation will help reduce the movement of sediment, nutrients, and other chemicals carried by runoff to receiving waters. Plants will also help protect groundwater supplies by assimilating those substances present within the root zone.
Sediment control practices must remain in place during grading, seedbed preparation, seeding, mulching, and vegetative establishment.

Adequate Vegetative Establishment

Inspect seeded areas for vegetative establishment and make necessary repairs, replacements, and reseedings within the planting season.
1. Adequate vegetative stabilization requires 95 percent groundcover.
2. If an area has less than 40 percent groundcover, restabilize following the original recommendations for lime, fertilizer, seedbed preparation, and seeding.
3. If an area has between 40 and 94 percent groundcover, over-seed and fertilize using half of the rates originally specified.
4. Maintenance fertilizer rates for permanent seeding are shown in Table B.6.

B-4-1 STANDARDS AND SPECIFICATIONS
FOR
INCREMENTAL STABILIZATION

Definition

Establishment of vegetative cover on cut and fill slopes.

Purpose

To provide timely vegetative cover on cut and fill slopes as work progresses.

Conditions Where Practice Applies

Any cut or fill slope greater than 15 feet in height. This practice also applies to stockpiles.

Criteria

A. Incremental Stabilization - Cut Slopes
1. Excavate and stabilize cut slopes in increments not to exceed 15 feet in height. Prepare seedbed and apply seed and mulch on all cut slopes as the work progresses.
2. Construction sequence example (Refer to Figure B.1):
a. Construct and stabilize all temporary swales or dikes that will be used to convey runoff around the excavation.
b. Perform Phase 1 excavation, prepare seedbed, and stabilize.
c. Perform Phase 2 excavation, prepare seedbed, and stabilize. Overseed Phase 1 areas as necessary.
d. Perform final phase excavation, prepare seedbed, and stabilize. Overseed previously seeded areas as necessary.

Note: Once excavation has begun the operation should be continuous from grubbing through the completion of grading and placement of topsoil (if required) and permanent seed and mulch. Any interruptions in the operation or completing the operation out of the seeding season will necessitate the application of temporary stabilization.

B. Incremental Stabilization - Fill Slopes
1. Construct and stabilize fill slopes in increments not to exceed 15 feet in height. Prepare seedbed and apply seed and mulch on all slopes as the work progresses.
2. Stabilize slopes immediately when the vertical height of a lift reaches 15 feet, or when the grading operation ceases as prescribed in the plans.
3. At the end of each day, install temporary water conveyance practice(s), as necessary, to intercept surface runoff and convey it down the slope in a non-erosive manner.
4. Construction sequence example (Refer to Figure B.2):
a. Construct and stabilize all temporary swales or dikes that will be used to divert runoff around the fill. Construct silt fence on low side of fill unless other methods shown on the plans address this area.
b. At the end of each day, install temporary water conveyance practice(s), as necessary, to intercept surface runoff and convey it down the slope in a non-erosive manner.
c. Place Phase 1 fill, prepare seedbed, and stabilize.
d. Place Phase 2 fill, prepare seedbed, and stabilize.
e. Place final phase fill, prepare seedbed, and stabilize. Overseed previously seeded areas as necessary.

Note: Once the placement of fill has begun the operation should be continuous from grubbing through the completion of grading and placement of topsoil (if required) and permanent seed and mulch. Any interruptions in the operation or completing the operation out of the seeding season will necessitate the application of temporary stabilization.
Figure B.

B-4-5 STANDARDS AND SPECIFICATIONS
FOR
PERMANENT STABILIZATION

Definition

To stabilize disturbed soils with permanent vegetation.

Purpose

To use long-lived perennial grasses and legumes to establish permanent ground cover on disturbed soils.

Conditions Where Practice Applies

Exposed soils where ground cover is needed for 6 months or more.

Criteria

A. Seed Mixtures
1. General Use
a Select one or more of the species or mixtures listed in Table B.3 for the appropriate Plant Hardiness Zone (from Figure B.3) and based on the site condition or purpose found on Table B.2. Enter selected mixture(s), application rates, and seeding dates in the Permanent Seeding Summary. The Summary is to be placed on the plan.
b Additional planting specifications for exceptional sites such as shorelines, stream banks, or dunes or for special purposes such as wildlife or aesthetic treatment may be found in USDA-NRCS Technical Field Office Guild, Section 342 - Critical Area Planting.
c For sites having disturbed areas over 5 acres, use and show the rates recommended by the soil testing agency.
d For areas receiving low maintenance, apply urea form fertilizer (46-0-0) at 3 ½ pounds per 1000 square feet (150 pounds per acre) at the time of seeding in addition to the soil amendments shown in the Permanent Seeding Summary.
2. Turfgrass Mixtures
a. Areas where turfgrass may be desired include lawns, parks, playgrounds, and commercial sites which will receive a medium to high level of maintenance.
b. Select one or more of the species or mixtures listed below based on the site conditions or purpose. Enter selected mixture(s), application rates, and seeding dates in the Permanent Seeding Summary. The summary is to be placed on the plan.
i. Kentucky Bluegrass: Full sun Mixture: For use in areas that receive intensive management. Irrigation required in the areas of central Maryland and Eastern Shore. Recommended Certified Kentucky Bluegrass Cultivars Seeding Rate: 1.5 to 2.0 pounds per 1000 square feet. Choose a minimum of three Kentucky Bluegrass Cultivars with each ranging from 10 to 35 percent of the total mixture by weight.
ii. Kentucky Bluegrass/Perennial Rye: Full Sun Mixture: For use in full sun areas where rapid establishment is necessary and when turf will receive medium to intensive management. Certified Perennial Ryegrass Cultivars/Certified Kentucky Bluegrass Seeding Rate: 2 pounds mixture per 1000 square feet. Choose a minimum of three Kentucky Bluegrass Cultivars with each ranging from 10 to 35 percent of the total mixture by weight.
iii. Tall Fescue/Kentucky Bluegrass: Full Sun Mixture: For use in drought prone areas and/or for areas receiving low to medium management in full sun to medium shade. Recommended mixture includes; Certified Tall Fescue Cultivars 95 to 100 percent, Certified Kentucky Bluegrass Cultivars 0 to 5 percent. Seeding Rate: 5 to 8 pounds per 1000 square feet. One or more cultivars may be blended.
iv. Kentucky Bluegrass/Fine Fescue: Shade Mixture: For use in areas with shade in Bluegrass lawns. For establishment in high quality, intensively managed turf area. Mixture includes Certified Kentucky Bluegrass Cultivars 30 to 40 percent and Certified Fine Fescue and 60 to 70 percent. Seeding Rate: 1 ½ to 3 pounds per 1000 square feet.
Notes: Select turfgrass varieties from those listed in the most current University of Maryland Publication, Agronomy Memo #77, "Turfgrass Cultivar Recommendations for Maryland"
Choose certified material. Certified material is the best guarantee of cultivar purity. The certification program of the Maryland Department of Agriculture, Turf and Seed Section, provides a reliable means of consumer protection and assures a pure genetic line.
c. Ideal Times of Seeding for Turf Grass Mixtures
Western MD: March 15 to June 1, August 1 to October 1 (Hardiness Zones: 5b, 6a)
Central MD: March 1 to May 15, August 15 to October 15 (Hardiness Zone: 6b)
Southern MD, Eastern Shore: March 1 to May 15, August 15 to October 15 (Hardiness Zones: 7a, 7b)
d. Till areas to receive seed by disking or other approved methods to a depth of 2 to 4 inches, level and rake the areas to prepare a proper seedbed. Remove stones and debris over 1 ½ inches in diameter. The resulting seedbed must be in such condition that future mowing of grasses will pose no difficulty.
e. If soil moisture is deficient, supply new seedings with adequate water for plant growth (½ to 1 inch every 3 to 4 days depending on soil texture) until they are firmly established. This is not especially true when seedings are made late in the planting season, in abnormally dry or hot seasons, Or on adverse sites.

A. Sod: to provide quick cover on disturbed areas (2:1 grade or flatter).
1. General Specifications
a. Class of turfgrass must be Maryland State Certified. Sod labels must be made available to the job foreman and inspector.
b. Sod must be machine cut at a uniform soil thickness of ¾ inch, plus or minus ¼ inch, at the time of cutting. Measurement for thickness must exclude top growth and thatch. Broken pads and torn or uneven ends will not be acceptable.
c. Standard size sections of sod must be strong enough to support their own weight and retain their size and shape when suspended vertically with a firm grasp on the upper 10 percent of the section.
d. Sod must not be harvested or transplanted when moisture content (excessively dry or wet) may adversely affect its survival.
e. Sod must be harvested, delivered, and installed within a period of 36 hours. Sod not transplanted within this period must be approved by an agronomist or soil scientist prior to its installation.
2. Sod Installation
a. During periods of excessively high temperature or in areas having dry subsoil, lightly irrigate the subsoil immediately prior to laying the sod.
b. Lay the first row of sod in a straight line with subsequent rows placed parallel to it and tightly wedged against each other. Stagger lateral joints to promote more uniform growth and strength. Ensure that sod is not stretched or overlapped and that all joints are butted tight in order to prevent voids which would cause air drying of the roots.
c. Wherever possible, lay sod with the long edges parallel to the contour and with staggering joints. Roll and tamp, peg or otherwise secure the sod to prevent slippage on slopes. Ensure solid contact exists between sod roots and the underlying soil surface.
d. Water the sod immediately following rolling and tamping until the underside of the new sod pad and soil surface below the sod are thoroughly wet. Complete the operations of laying, tamping and irrigating for any piece of sod within eight hours.
3. Sod Maintenance
a. In the absence of adequate rainfall, water daily during the first week or as often and sufficiently as necessary to maintain moist soil to a depth of 4 inches. Water sod during the heat of the day to prevent wilting.
b. After the first week, sod watering is required as necessary to maintain adequate moisture content.
c. Do not mow until the sod is firmly rooted. No more than 1/3 of the grass leaf must be removed by the initial cutting or subsequent cuttings. Maintain a grass height of at least 3 inches unless otherwise specified.

B-4-2 STANDARDS AND SPECIFICATIONS
FOR SOIL PREPARATION, TOPSOILING, AND SOIL AMENDMENTS

Definition: The process of preparing the soils to sustain adequate vegetative stabilization.
Purpose: To provide a suitable soil medium for vegetative growth.
Conditions Where Practice Applies: Where vegetative stabilization is to be established.

Criteria

A. Soil Preparation
1. Temporary Stabilization
a. Seedbed preparation consists of loosening soil to a depth of 3 to 5 inches by means of suitable agricultural or construction equipment, such as disc harrows or chisel plows or rippers mounted on construction equipment. After the soil is loosened, it must not be rolled or dragged smooth but left in the roughened condition. Slopes 3:1 or flatter are to be tracked with ridges running parallel to the contour of the slope.
b. Apply fertilizer and lime as prescribed on the plans.
c. Incorporate lime and fertilizer into the top 3 to 5 inches of soil by disking or other suitable means.
2. Permanent Stabilization
a. A soil test is required for any earth disturbance of 5 acres or more. The minimum soil conditions required for permanent vegetative establishment are:
i. Soil pH between 6.0 and 7.0.
ii. Soluble salts less than 500 parts per million (ppm).
iii. Soil contains less than 40 percent clay but enough fine grained material (greater than 30 percent silt plus clay) to provide the capacity to hold a moderate amount of moisture. An exception: if lovegrass will be planted, then a sandy soil (less than 30 percent silt plus clay) would be acceptable.
iv. Soil contains 1.5 percent minimum organic matter by weight.
v. Soil contains sufficient pore space to permit adequate root penetration.
b. Application of amendments or topsoil is required if on-site soils do not meet the above conditions.
c. Graded areas must be maintained in a true and even grade as specified on the approved plan, then scarified or otherwise loosened to a depth of 3 to 5 inches.
d. Apply soil amendments as specified on the approved plan or as indicated by the results of a soil test.
e. Mix soil amendments into the top 3 to 5 inches of soil by disking or other suitable means. Rake lawn areas to smooth the surface, remove large objects like stones and branches, and ready the area for seed application. Loosen surface soil by dragging with a heavy chain or other equipment to roughen the surface where site conditions will not permit normal seedbed preparation. Track slopes 3:1 or flatter with tracked equipment leaving the soil in an irregular condition with ridges running parallel to the contour of the slope. Leave the top 1 to 3 inches of soil loose and friable. Seedbed loosening may be unnecessary on newly disturbed areas.

B. Topsoiling
1. Topsoil is placed over prepared subsoil prior to establishment of permanent vegetation. The purpose is to provide a suitable soil medium for vegetative growth. Soils of concern have low moisture content, low nutrient levels, low pH, materials toxic to plants, and/or unacceptable soil gradation.
2. Topsoil salvaged from an existing site may be used provided it meets the standards as set forth in these specifications. Typically, the depth of topsoil to be salvaged for a given soil type can be found in the representative soil profile section in the Soil Survey published by USDA-NRCS.
3. Topsoiling is limited to areas having 2:1 or flatter slopes where:
a. The texture of the exposed subsoil/parent material is not adequate to produce vegetative growth.
b. The soil material is so shallow that the rooting zone is not deep enough to support plants or furnish continuing supplies of moisture and plant nutrients.
c. The original soil to be vegetated contains material toxic to plant growth.
d. The soil is so acidic that treatment with limestone is not feasible.
4. Areas having slopes steeper than 2:1 require special consideration and design.
5. Topsoil Specifications: Soil to be used as topsoil must meet the following criteria:
a. Topsoil must be a loam, sandy loam, clay loam, silt loam, sandy clay loam, or loamy sand. Other soils may be used if recommended by an agronomist or soil scientist and approved by the appropriate approval authority. Topsoil must not be a mixture of contrasting textured subsoils and must contain less than 5 percent by volume of cinders, stones, slag, coarse fragments, gravel, sticks, roots, trash, or other materials larger than 1½ inches in diameter.
b. Topsoil must be free of noxious plants or plant parts such as Bermuda grass, quack grass, Johnson grass, nut sedge, poison ivy, thistle, or others as specified.
c. Topsoil substitutes or amendments, as recommended by a qualified agronomist or soil scientist and approved by the appropriate approval authority, may be used in lieu of natural topsoil.
6. Topsoil Application
a. Erosion and sediment control practices must be maintained when applying topsoil.
b. Uniformly distribute topsoil in a 5 to 8 inch layer and lightly compact to a minimum thickness of 4 inches. Spreading is to be performed in such a manner that sodding or seeding can proceed with a minimum of additional soil preparation and tillage. Any irregularities in the surface resulting from topsoiling or other operations must be corrected in order to prevent the formation of depressions or water pockets.
c. Topsoil must not be placed if the topsoil or subsoil is in a frozen or muddy condition, when the subsoil is excessively wet or in a condition that may otherwise be detrimental to proper grading and seedbed preparation.

C. Soil Amendments (Fertilizer and Lime Specifications)
1. Soil tests must be performed to determine the exact ratios and application rates for both lime and fertilizer on sites having disturbed areas of 5 acres or more. Soil analysis may be performed by a recognized private or commercial laboratory. Soil samples taken for engineering purposes may also be used for chemical analyses.
2. Fertilizers must be uniform in composition, free flowing and suitable for accurate application by appropriate equipment. Manure may be substituted for fertilizer with prior approval from the appropriate approval authority. Fertilizers must all be delivered to the site fully labeled according to the applicable laws and must bear the name, trade name or trademark and warranty of the producer.
3. Lime materials must be ground limestone (hydrated or burnt lime may be substituted except when hydroseeding) which contains at least 50 percent total oxides (calcium oxide plus magnesium oxide). Limestone must be ground to such fineness that at least 50 percent will pass through a #100 mesh sieve and 98 to 100 percent will pass through a #20 mesh sieve.
4. Lime and fertilizer are to be evenly distributed and incorporated into the top 3 to 5 inches of soil by disking or other suitable means.
5. Where the subsoil is either highly acidic or composed of heavy clays, spread ground limestone at the rate of 4 to 8 tons/acre (200-400 pounds per 1,000 square feet) prior to the placement of topsoil.

B-4-4 STANDARDS AND SPECIFICATIONS
FOR TEMPORARY STABLIZATION

Definition

To stabilize disturbed soils with vegetation for up to 6 months.

Purpose

To use fast growing vegetation that provides cover on disturbed soils.

Conditions Where Practice Applies

Exposed soils where ground cover is needed for a period of 6 months or less. For longer duration of time, permanent stabilization practices are required.

Criteria

1. Select one or more of the species or seed mixtures listed in Table B.1 for the appropriate Plant Hardiness Zone (from Figure B.3), and enter them in the Temporary Seeding Summary below along with application rates, seeding dates and seeding depths. If this Summary is not put on the plan and completed, then Table B.1 plus fertilizer and lime rates must be put on the plan.
2. For sites having soil tests performed, use and show the recommended rates by the testing agency. Soil tests are not required for Temporary Seeding.
3. When stabilization is required outside of a seeding season, apply seed and mulch or straw mulch alone as prescribed in Section B-4-3.A.1.b and maintain until the next seeding season.

H-5 STANDARDS AND SPECIFICATIONS
FOR DUST CONTROL

Definition

Controlling the suspension of dust particles from construction activities.

Purpose

To prevent blowing and movement of dust from exposed soil surfaces to reduce on and off-site damage including health and traffic hazards.

Conditions Where Practice Applies

Areas subject to dust blowing and movement where on and off-site damage is likely without treatment.

Specifications

1. Mulches: See Section B-4-2 Soil Preparation, Topsoiling, and Soil Amendments, Section B-4-3 Seeding and Mulching, and Section B-4-4 Temporary Stabilization. Mulch must be anchored to prevent blowing.
2. Vegetative Cover: See Section B-4-4 Temporary Stabilization.
3. Tillage: Till to roughen surface and bring clods to the surface. Begin plowing on windward side of site. Chisel-type plows spaced about 12 inches apart, spring-toothed harrows, and similar plows are examples of equipment that may produce the desired effect.
4. Irrigation: Sprinkle site with water until the surface is moist. Repeat as needed. The site must not be irrigated to the point that runoff occurs.
5. Barriers: Solid board fences, silt fences, snow fences, burlap fences, straw bales, and similar material can be used to control air currents and soil blowing.
6. Chemical Treatment: Use of chemical treatment requires approval by the appropriate plan review authority.

B-4-8 STANDARDS AND SPECIFICATIONS
FOR STOCKPILE AREA

Definition

A mound or pile of soil protected by appropriately designed erosion and sediment control measures.

Purpose

To provide a designated location for the temporary storage of soil that controls the potential for erosion, sedimentation, and changes to drainage patterns.

Conditions Where Practice Applies

Stockpile areas are utilized when it is necessary to salvage and store soil for later use.

Criteria

1. The stockpile location and all related sediment control practices must be clearly indicated on the erosion and sediment control plan.
2. The footprint of the stockpile must be sized to accommodate the anticipated volume of material and based on a side slope ratio no steeper than 2:1. Benching must be provided in accordance with Section B-3 Land Grading.
3. Runoff from the stockpile area must drain to a suitable sediment control practice.
4. Access the stockpile area from the upgrade side.
5. Clear water runoff into the stockpile area must be minimized by use of a diversion device such as an earth dike, temporary swale or diversion fence. Provisions must be made for discharging concentrated flow in a non-erosive manner.
6. Where runoff concentrates along the toe of the stockpile fill, an appropriate erosion/sediment control practice must be used to intercept the discharge.
7. Stockpiles must be stabilized in accordance with the 3/7 day stabilization requirement as well as Standard B-4-1 Incremental Stabilization and Standard B-4-4 Temporary Stabilization.
8. If the stockpile is located on an impervious surface, a liner should be provided below the stockpile to facilitate cleanup. Stockpiles containing contaminated material must be covered with impermeable sheeting.

Maintenance

The stockpile area must continuously meet the requirements for Adequate Vegetative Establishment in accordance with Section B-4 Vegetative Stabilization. Side slopes must be maintained at no steeper than a 2:1 ratio. The stockpile area must be kept free of erosion. If the vertical height of a stockpile exceeds 20 feet for 2:1 slopes, 30 feet for 3:1 slopes, or 40 feet for 4:1 slopes, benching must be provided in accordance with Section B-3 Land Grading.

B-4-3 STANDARDS AND SPECIFICATIONS
FOR
SEEDING AND MULCHING

Definition

The application of seed and mulch to establish vegetative cover.

Purpose

To protect disturbed soils from erosion during and at the end of construction.

Conditions Where Practice Applies

To the surface of all perimeter controls, slopes, and any disturbed area not under active grading.

Criteria

A. Seeding
1. Specifications
a. All seed must meet the requirements of the Maryland State Seed Law. All seed must be subject to re-testing by a recognized seed laboratory. All seed used must have been tested within the 6 months immediately preceding the date of sowing such material on any project. Refer to Table B.4 regarding the quality of seed. Seed tags must be available upon request to the inspector to verify type of seed and seeding rate.
b. Mulch alone may be applied between the fall and spring seeding dates only if the ground is frozen. The appropriate seeding mixture must be applied when the ground thaws.
c. Inoculants: The inoculant for treating legume seed in the seed mixtures must be a pure culture of nitrogen fixing bacteria prepared specifically for the species. Inoculants must not be used later than the date indicated on the container. Add fresh inoculants as directed on the package. Use four times the recommended rate when hydroseeding. Note: It is very important to keep inoculant as cool as possible until used. Temperatures above 75 to 80 degrees Fahrenheit can weaken bacteria and make the inoculant less effective.
d. Sod or seed must not be placed on soil which has been treated with soil sterilants or chemicals used for weed control until sufficient time has elapsed (14 days min.) to permit dissipation of phyto-toxic materials.
2. Application
a. Dry Seeding: This includes use of conventional drop or broadcast spreaders.
i. Incorporate seed into the subsoil at the rates prescribed on Temporary Seeding Table B.1, Permanent Seeding Table B.3, or site-specific seeding summaries.
ii. Apply seed in two directions, perpendicular to each other. Apply half the seeding rate in each direction. Roll the seeded area with a weighted roller to provide good seed to soil contact.
b. Drill or Cultipacker Seeding: Mechanized seeders that apply and cover seed with soil.
i. Cultipacking seeders are required to bury the seed in such a fashion as to provide at least 1/4 inch of soil covering. Seedbed must be firm after planting.
ii. Apply seed in two directions, perpendicular to each other. Apply half the seeding rate in each direction.
c. Hydroseeding: Apply seed uniformly with hydroseeder (slurry includes seed and fertilizer).
i. If fertilizer is being applied at the time of seeding, the application rates should not exceed the following: nitrogen, 100 pounds per acre total of soluble nitrogen; P2O5 (phosphorous), 200 pounds per acre; K2O (potassium), 200 pounds per acre.
ii. Lime: Use only ground agricultural limestone (up to 3 tons per acre may be applied by hydroseeding). Normally, not more than 2 tons are applied by hydroseeding at any one time. Do not use burnt or hydrated lime when hydroseeding.
iii. Mix seed and fertilizer on site and seed immediately and without interruption.
iv. When hydroseeding do not incorporate seed into the soil.

B. Mulching
1. Mulch Materials (in order of preference)
a. Straw consisting of thoroughly threshed wheat, rye, oat, or barley and reasonably bright in color. Straw is to be free of noxious weed seeds as specified in the Maryland Seed Law and not musty, moldy, caked, decayed, or excessively dusty. Note: Use only sterile straw mulch in areas where one species of grass is desired.
b. Wood Cellulose Fiber Mulch (WCFM) consisting of specially prepared wood cellulose processed into a uniform fibrous physical state.
i. WCFM is to be dyed green or contain a green dye in the package that will provide an appropriate color to facilitate visual inspection of the uniformly spread slurry.
ii. WCFM, including dye, must contain no germination or growth inhibiting factors.
iii. WCFM materials are to be manufactured and processed in such a manner that the wood cellulose fiber mulch will remain in uniform suspension in water under agitation and will blend with seed, fertilizer and other additives to form a homogeneous slurry. The mulch material must form a blotter-like ground cover, on application, having moisture absorption and percolation properties and must cover and hold grass seed in contact with the soil without inhibiting the growth of the grass seedlings.
iv. WCFM material must not contain elements or compounds at concentration levels that will be phyto-toxic.
v. WCFM must conform to the following physical requirements: fiber length of approximately 10 millimeters, diameter approximately 1 millimeter, pH range of 4.0 to 8.5, ash content of 1.6 percent maximum and water holding capacity of 90 percent minimum.
2. Application
a. Apply mulch to all seeded areas immediately after seeding.
b. When straw mulch is used, spread it over all seeded areas at the rate of 2 tons per acre to a uniform loose depth of 1 to 2 inches. Apply mulch to achieve a uniform distribution and depth so that the soil surface is not exposed. When using a mulch anchoring tool, increase the application rate to 2.5 tons per acre.
c. Wood cellulose fiber used as mulch must be applied at a net dry weight of 1500 pounds per acre. Mix the wood cellulose fiber with water to attain a mixture with a maximum of 50 pounds of wood cellulose fiber per 100 gallons of water.
3. Anchoring
a. Perform mulch anchoring immediately following application of mulch to minimize loss by wind or water. This may be done by one of the following methods (listed by preference), depending upon the size of the area and erosion hazard:
i. A mulch anchoring tool is a tractor drawn implement designed to punch and anchor mulch into the soil surface a minimum of 2 inches. This practice is most effective on large areas, but is limited to flatter slopes where equipment can operate safely. If used on sloping land, this practice should follow the contour.
ii. Wood cellulose fiber may be used for anchoring straw. Apply the fiber binder at a net dry weight of 750 pounds per acre. Mix the wood cellulose fiber with water at a maximum of 50 pounds of wood cellulose fiber per 100 gallons of water.
iii. Synthetic binders such as Acrylic DLR (Agro-Tack), DCA-70, Petroset, Terra Tax II, Terra Tack AR or other approved equal may be used. Follow application rates as specified by the manufacturer. Application of liquid binders needs to be heavier at the edges where wind catches mulch, such as in valleys and on crests of banks. Use of asphalt binders is strictly prohibited.
iv. Lightweight plastic netting may be stapled over the mulch according to manufacturer recommendations. Netting is usually available in rolls 4 to 15 feet wide and 300 to 3,000 feet long.

Table B.1: Temporary Seeding for Site Stabilization

Plant Species	Seeding Rate 1/ lb/ac	Seeding Rate 1/ lb/1000 ft2	Seeding Depth 2/ (inches)	Recommended Seeding Dates by Plant Hardiness Zone 3/ — 5b and 6a	6b	7a and 7b
Cool-Season Grasses						
Annual Ryegrass (Lolium perenne ssp. Multiflorum	40	1.0	0.5		Mar 1 to May 15; Aug 1 to Oct 31	
Barley (Hordeum vulgare)	96	2.2	1.0		Mar 1 to May 15; Aug 1 to Oct 31	
Oats (Avena sativa)	72	1.7	1.0		Mar 1 to May 15; Aug 1 to Oct 31	
Wheat (Triticum aestivum)	120	2.8	1.0		Mar 1 to May 15; Aug 1 to Oct 31	
Cereal Rye (Secale cereale)	112	2.8	1.0		Mar 1 to May 15; Aug 1 to Nov 15	
Warm-Season Grasses						
Foxtail Millet (Serataria italica)	30	0.7	0.5		May 16 to Jul 31	
Pearl Millet (Pennisetum glaucum	20	0.5	0.5		May 16 to Jul 31	

Notes:
1/ Seeding rates for the warm season grasses are in pounds of Pure Live Seed (PLS). Actual planting rates shall be adjusted to reflect percent seed germination and purity, as tested. Adjustments are usually not needed for the cool-season grasses.

Seeding rates listed above are for temporary seedings, when planted alone. When planted as a nurse crop with permanent seed mixes, use 1/3 of the seeding rate listed above for barley, oats, and wheat. For smaller-seeded grasses (annual ryegrass, pearl millet, foxtail millet), do not exceed more than 5% (by weight) of the overall permanent seeding mix. Cereal rye generally should not be used as a nurse crop, unless planting will occur very late fall beyond the seeding dates for other temporary seedings. Cereal rye has allelopathic properties that inhibit the germination and growth of other plants. If it must be used as a nurse crop, seed at 1/3 of the rate listed above.

Oats are the recommended nurse crop for warm-season grasses.

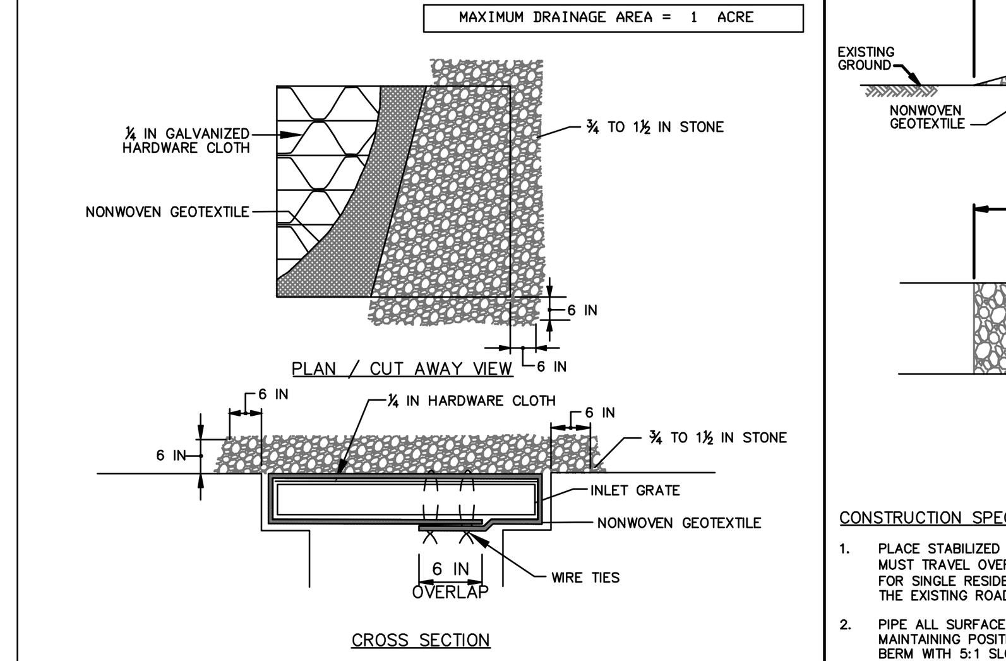
2/ For sandy soils, plant seeds at twice the depth listed above.
3/ The planting dates listed are averages for each Zone and may require adjustment to reflect local conditions, especially near the boundaries of the zone.

Permanent Seeding Summary

Hardiness Zone (from Figure B.3): 6b
Seed Misture (from Table B.3): Tall Fescue/Kentucky Bluegrass

No.	Species	Application Rate (lb/ac.)	Seeding Dates	Seeding Depths	Fertilizer Rate (10-20-20) N	P2O5	K2O	Lime Rate
9	Fescue, Tall	60	Mar 1 to May 15 Aug 1 to Oct 15	1/4 - 1/2 in	45 pounds per acre (1.0 lb/ 100 sf)	90 lb/ac (2 lb/ 1000 sf)	90 lb/ac 2 lb/ 1000 sf)	2 tons/ac (90lb/ 1000 sf)
	Bluegrass, Kentucky	40	Mar 1 to May 15 Aug 1 to Oct 15	1/4 - 1/2 in				
				1/4 - 1/2 in				

DETAIL E-9-2 AT-GRADE INLET PROTECTION
STANDARD SYMBOL AGIP
MAXIMUM DRAINAGE AREA = 1 ACRE



CONSTRUCTION SPECIFICATIONS
1. USE NONWOVEN GEOTEXTILE AS SPECIFIED IN SECTION H-1 MATERIALS.
2. LIFT GRATE AND WRAP WITH NONWOVEN GEOTEXTILE TO COMPLETELY COVER ALL OPENINGS. SECURE WITH WIRE TIES AND SET GRATE BACK IN PLACE.
3. PLACE CLEAN ¾ TO 1½ INCH STONE OR EQUIVALENT RECYCLED CONCRETE 6 INCHES THICK ON THE GRATE.
4. STORM DRAIN INLET PROTECTION REQUIRES FREQUENT MAINTENANCE. REMOVE ACCUMULATED SEDIMENT AFTER EACH RAIN EVENT TO MAINTAIN FUNCTION AND AVOID PREMATURE CLOGGING. IF INLET PROTECTION DOES NOT COMPLETELY DRAIN WITHIN 24 HOURS AFTER A STORM EVENT, IT IS CLOGGED. WHEN THIS OCCURS, REMOVE ACCUMULATED SEDIMENT AND CLEAN, OR REPLACE GEOTEXTILE AND STONE.

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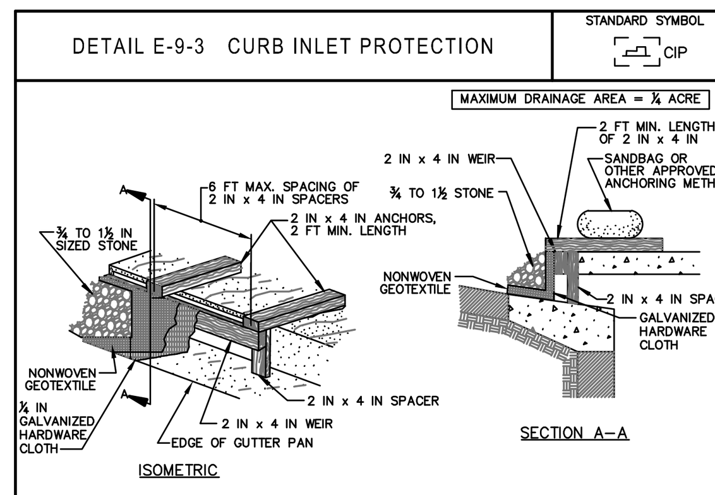
DETAIL E-9-3 CURB INLET PROTECTION
STANDARD SYMBOL CIP
MAXIMUM DRAINAGE AREA = ¼ ACRE



CONSTRUCTION SPECIFICATIONS
1. USE NOMINAL 2 INCH x 4 INCH LUMBER
2. USE NONWOVEN GEOTEXTILE AS SPECIFIED IN SECTION H-1 MATERIALS.
3. NAIL THE 2x4 WEIR TO 9 INCH LONG VERTICAL SPACERS (MAXIMUM 6 FEET APART).
4. ATTACH A CONTINUOUS PIECE OF ¼ INCH GALVANIZED HARDWARE CLOTH, WITH A MINIMUM WIDTH OF 30 INCHES AND A MINIMUM LENGTH OF 4 FEET LONGER THAN THE THROAT OPENING, TO THE 2x4 WEIR, EXTENDING IT 2 FEET BEYOND THROAT ON EACH SIDE.
5. PLACE A CONTINUOUS PIECE OF NONWOVEN GEOTEXTILE OF THE SAME DIMENSIONS AS THE HARDWARE CLOTH OVER THE HARDWARE CLOTH AND SECURELY ATTACH TO THE 2x4 WEIR.
6. PLACE THE ASSEMBLY AGAINST THE INLET THROAT AND NAIL TO 2x4 ANCHORS (MINIMUM 2 FEET LENGTH). EXTEND THE ANCHORS ACROSS THE INLET TOP AND HOLD IN PLACE BY SANDBAGS OR OTHER APPROVED ANCHORING METHOD.
7. INSTALL END SPACERS A MINIMUM OF 1 FOOT BEYOND THE ENDS OF THE THROAT OPENING.
8. FORM THE HARDWARE CLOTH AND THE GEOTEXTILE TO THE CONCRETE GUTTER AND FACE OF CURB TO SPAN THE INLET OPENING. COVER THE HARDWARE CLOTH AND GEOTEXTILE WITH CLEAN ¾ TO 1½ INCH STONE OR EQUIVALENT RECYCLED CONCRETE.
9. AT NON-SUMP LOCATIONS, INSTALL A TEMPORARY SANDBAG OR ASPHALT BERM TO PREVENT INLET BYPASS.
10. STORM DRAIN INLET PROTECTION REQUIRES FREQUENT MAINTENANCE. REMOVE ACCUMULATED SEDIMENT AFTER EACH RAIN EVENT TO MAINTAIN FUNCTION AND AVOID PREMATURE CLOGGING. IF INLET PROTECTION DOES NOT COMPLETELY DRAIN WITHIN 24 HOURS AFTER A STORM EVENT, IT IS CLOGGED. WHEN THIS OCCURS, REMOVE ACCUMULATED SEDIMENT AND CLEAN, OR REPLACE GEOTEXTILE AND STONE.

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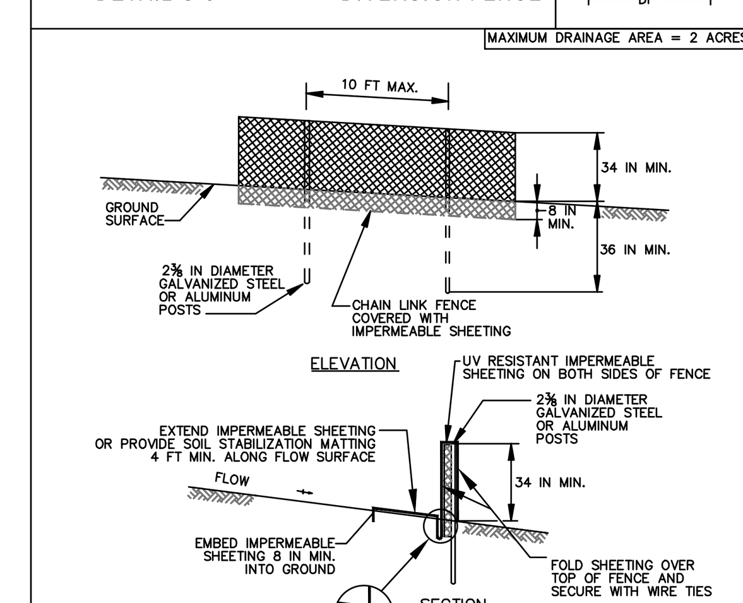
DETAIL C-9 DIVERSION FENCE
STANDARD SYMBOL DF
MAXIMUM DRAINAGE AREA = 2 ACRES



CONSTRUCTION SPECIFICATIONS
1. USE 42 INCH HIGH, 9 GAUGE OR THICKER CHAIN LINK FENCING (2⅜ INCH MAXIMUM OPENING).
2. USE 2⅜ INCH DIAMETER GALVANIZED STEEL POSTS OF 0.095 INCH WALL THICKNESS AND SIX FOOT LENGTH SPACED NO FURTHER THAN 10 FEET APART. THE POSTS DO NOT NEED TO BE SET IN CONCRETE.
3. FASTEN CHAIN LINK FENCE SECURELY TO THE FENCE POSTS WITH WIRE TIES.
4. SECURE 10 MIL OR THICKER UV RESISTANT, IMPERMEABLE SHEETING TO CHAIN LINK FENCE WITH TIES SPACED EVERY 24 INCHES AT TOP, MID SECTION, AND BELOW GROUND SURFACE.
5. EXTEND SHEETING A MINIMUM OF 4 FEET ALONG FLOW SURFACE AND EMBED END A MINIMUM OF 8 INCHES INTO GROUND. SOIL STABILIZATION MATTING MAY BE USED IN LIEU OF IMPERMEABLE SHEETING ALONG FLOW SURFACE.
6. WHEN TWO SECTIONS OF SHEETING ADJOIN EACH OTHER, OVERLAP BY 6 INCHES AND FOLD WITH SEAM FACING DOWNGRADE.
7. KEEP FLOW SURFACE ALONG DIVERSION FENCE AND POINT OF DISCHARGE FREE OF EROSION. REMOVE ACCUMULATED SEDIMENT AND DEBRIS. MAINTAIN POSITIVE DRAINAGE. REPLACE IMPERMEABLE SHEETING IF TORN. IF UNDERMINING OCCURS, REINSTALL FENCE.

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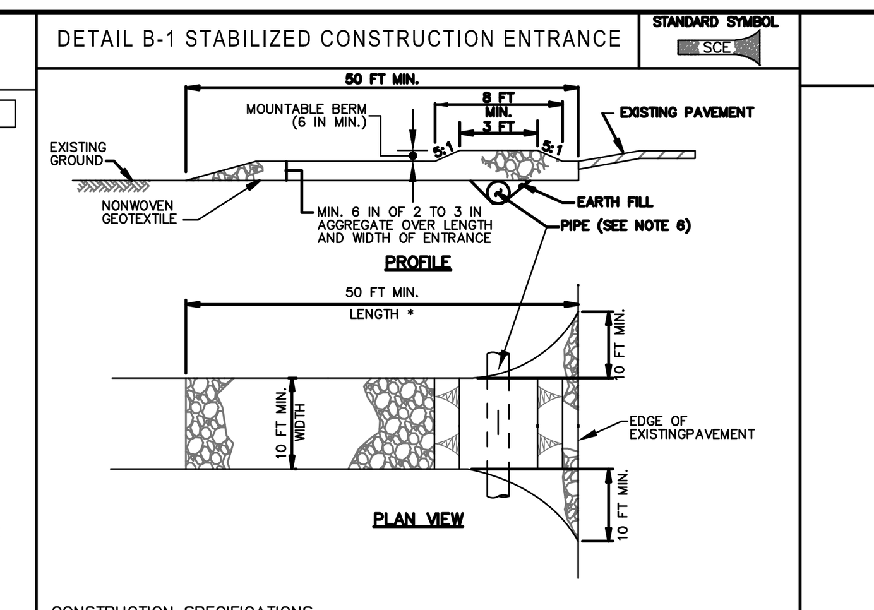
DETAIL B-1 STABILIZED CONSTRUCTION ENTRANCE
STANDARD SYMBOL SCE



CONSTRUCTION SPECIFICATIONS
1. PLACE STABILIZED CONSTRUCTION ENTRANCE IN ACCORDANCE WITH THE APPROVED PLAN. VEHICLES MUST TRAVEL OVER THE ENTIRE LENGTH OF THE SCE. USE MINIMUM LENGTH OF 50 FEET (*30 FEET FOR SINGLE RESIDENCE LOT). USE MINIMUM WIDTH OF 10 FEET. FLARE SCE 10 FEET MINIMUM AT THE EXISTING ROAD TO PROVIDE A TURNING RADIUS.
2. PIPE ALL SURFACE WATER FLOWING TO OR DIVERTED TOWARD THE SCE UNDER THE ENTRANCE, MAINTAINING POSITIVE DRAINAGE. PROTECT PIPE INSTALLED THROUGH THE SCE WITH A MOUNTABLE BERM WITH 5:1 SLOPES AND A MINIMUM OF 12 INCHES OF STONE OVER THE PIPE. PROVIDE PIPE AS SPECIFIED ON APPROVED PLAN. WHEN THE SCE IS LOCATED AT A HIGH SPOT AND HAS NO DRAINAGE TO CONVEY, A PIPE IS NOT NECESSARY. A MOUNTABLE BERM IS REQUIRED WHEN SCE IS NOT LOCATED AT A HIGH SPOT.
3. PREPARE SUBGRADE AND PLACE NONWOVEN GEOTEXTILE, AS SPECIFIED IN SECTION H-1 MATERIALS.
4. PLACE CRUSHED AGGREGATE (2 TO 3 INCHES IN SIZE) OR EQUIVALENT RECYCLED CONCRETE (WITHOUT REBAR) AT LEAST 6 INCHES DEEP OVER THE LENGTH AND WIDTH OF THE SCE.
5. **MAINTAIN ENTRANCE IN A CONDITION THAT MINIMIZES TRACKING OF SEDIMENT. ADD STONE OR MAKE OTHER REPAIRS AS CONDITIONS DEMAND TO MAINTAIN CLEAN SURFACE, MOUNTABLE BERM, AND SPECIFIED DIMENSIONS. IMMEDIATELY REMOVE STONE AND/OR SEDIMENT SPILLED, DROPPED, OR TRACKED ONTO ADJACENT ROADWAY BY VACUUMING, SCRAPING, AND/OR SWEEPING. WASHING ROADWAY TO REMOVE MUD TRACKED ONTO PAVEMENT IS NOT ACCEPTABLE UNLESS WASH WATER IS DIRECTED TO AN APPROVED SEDIMENT CONTROL PRACTICE.**

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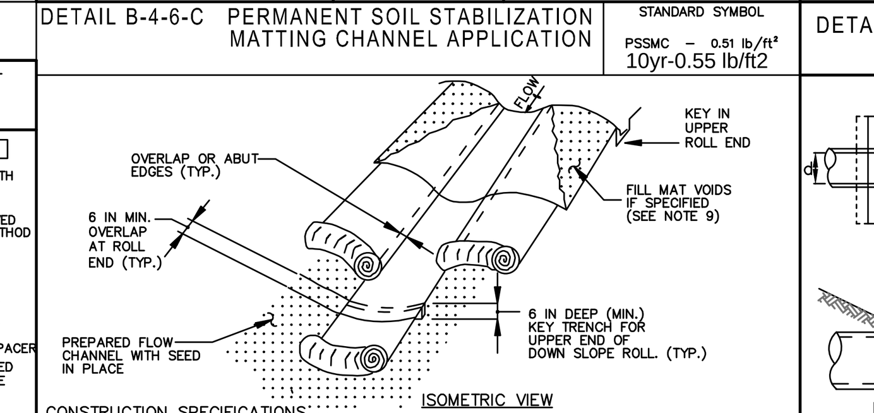
DETAIL B-4-6-C PERMANENT SOIL STABILIZATION MATTING CHANNEL APPLICATION
STANDARD SYMBOL PSSMC – 0.51 lb/ft² 10yr-0.55 lb/ft2



CONSTRUCTION SPECIFICATIONS
1. USE MATTING THAT HAS A DESIGN VALUE FOR SHEAR STRESS EQUAL TO OR HIGHER THAN THE SHEAR STRESS DESIGNATED ON APPROVED PLANS.
2. USE PERMANENT SOIL STABILIZATION MATTING MADE OF OPEN WEAVE SYNTHETIC, NON-DEGRADABLE FIBERS OR ELEMENTS OF UNIFORM THICKNESS AND DISTRIBUTION THROUGHOUT. CHEMICALS USED IN THE MAT MUST BE NON-LEACHING AND NON-TOXIC TO VEGETATION AND SEED GERMINATION AND NON-INJURIOUS TO THE SKIN. IF PRESENT, NETTING MUST BE EXTRUDED PLASTIC WITH A MAXIMUM MESH OPENING OF 2x2 INCHES AND SUFFICIENTLY BONDED OR SEWN ON 2 INCH CENTERS ALONG LONGITUDINAL AXIS OF THE MATERIAL TO PREVENT SEPARATION OF THE NET FROM THE PARENT MATERIAL.
3. SECURE MATTING USING STEEL STAPLES OR WOOD STAKES. STAPLES MUST BE "U" OR "T" SHAPED STEEL WIRE HAVING A MINIMUM GAUGE OF NO. 11 AND NO. 8 RESPECTIVELY. "U" SHAPED STAPLES MUST AVERAGE 1 TO 1 ½ INCHES WIDE AND BE A MINIMUM OF 6 INCHES LONG. "T" SHAPED STAPLES MUST HAVE A MINIMUM 8 INCH MAIN LEG, A MINIMUM 1 INCH SECONDARY LEG, AND MINIMUM 4 INCH HEAD. WOOD STAKES MUST BE ROUGH-SAWN HARDWOOD, 12 TO 24 INCHES IN LENGTH, 1x3 INCH IN CROSS SECTION, AND WEDGE SHAPE AT THE BOTTOM.
4. PERFORM FINAL GRADING, TOPSOIL APPLICATION, SEEDBED PREPARATION, AND PERMANENT SEEDING IN ACCORDANCE WITH SPECIFICATIONS. PLACE MATTING WITHIN 48 HOURS OF COMPLETING SEEDING OPERATIONS, UNLESS END OF WORKDAY STABILIZATION IS SPECIFIED ON THE APPROVED EROSION AND SEDIMENT CONTROL PLAN.
5. UNROLL MATTING IN DIRECTION OF WATER FLOW, CENTERING THE FIRST ROLL ON THE CHANNEL CENTER LINE. WORK FROM CENTER OF CHANNEL OUTWARD WHEN PLACING ROLLS. LAY MATTING SMOOTHLY AND FIRMLY UPON THE SEEDED SURFACE. AVOID STRETCHING THE MATTING.
6. OVERLAP OR ABUT EDGES OF MATTING ROLLS PER MANUFACTURER RECOMMENDATIONS. OVERLAP ROLL ENDS BY 6 INCHES (MINIMUM), WITH THE UPSTREAM MAT OVERLAPPING ON TOP OF THE NEXT DOWNSTREAM MAT.
7. KEY IN THE TOP OF SLOPE END OF MAT 6 INCHES (MINIMUM) BY DIGGING A TRENCH, PLACING THE MATTING ROLL END IN THE TRENCH, STAPLING THE MAT IN PLACE, REPLACING THE EXCAVATED MATERIAL, AND TAMPING TO SECURE THE MAT END IN THE KEY.
8. STAPLE/STAKE MAT IN A STAGGERED PATTERN ON 4 FOOT (MAXIMUM) CENTERS THROUGHOUT AND 2 FOOT (MAXIMUM) CENTERS ALONG SEAMS, JOINTS, AND ROLL ENDS.
9. IF SPECIFIED BY THE DESIGNER OR MANUFACTURER AND DEPENDING ON THE TYPE OF MAT BEING INSTALLED, ONCE THE MATTING IS KEYED AND STAPLED IN PLACE, FILL THE MAT VOIDS WITH TOP SOIL OR GRANULAR MATERIAL AND LIGHTLY COMPACT OR ROLL TO MAXIMIZE SOIL/MAT CONTACT WITHOUT CRUSHING MAT.
10. ESTABLISH AND MAINTAIN VEGETATION SO THAT REQUIREMENTS FOR ADEQUATE VEGETATIVE ESTABLISHMENT ARE CONTINUOUSLY MET IN ACCORDANCE WITH SECTION B-4 VEGETATIVE STABILIZATION.

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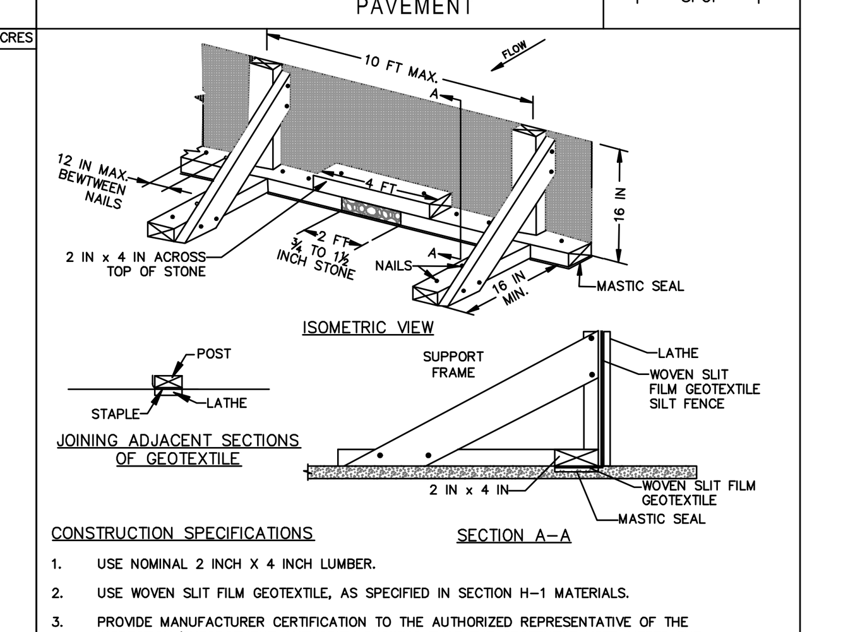
DETAIL E-2 SILT FENCE ON PAVEMENT
STANDARD SYMBOL SFOP



CONSTRUCTION SPECIFICATIONS
1. USE NOMINAL 2 INCH X 4 INCH LUMBER.
2. USE WOVEN SLIT FILM GEOTEXTILE, AS SPECIFIED IN SECTION H-1 MATERIALS.
3. PROVIDE MANUFACTURER CERTIFICATION TO THE AUTHORIZED REPRESENTATIVE OF THE INSPECTION/ENFORCEMENT AUTHORITY SHOWING THAT THE GEOTEXTILE USED MEETS THE REQUIREMENTS IN SECTION H-1 MATERIALS.
4. SPACE UPRIGHT SUPPORTS NO MORE THAN 10 FEET APART.
5. PROVIDE A TWO FOOT OPENING BETWEEN EVERY SET OF SUPPORTS AND PLACE STONE IN THE OPENING OVER GEOTEXTILE.
6. KEEP SILT FENCE TAUT AND SECURELY STAPLE TO THE UPSLOPE SIDE OF UPRIGHT SUPPORTS. EXTEND GEOTEXTILE UNDER 2x4.
7. WHERE TWO SECTIONS OF GEOTEXTILE ADJOIN: OVERLAP, FOLD, AND STAPLE TO POST IN ACCORDANCE WITH THIS DETAIL. ATTACH LATHE.
8. PROVIDE A MASTIC SEAL BETWEEN PAVEMENT, GEOTEXTILE, AND 2x4 TO PREVENT SEDIMENT-LADEN WATER FROM ESCAPING BENEATH SILT FENCE INSTALLATION.
9. SECURE BOARDS TO PAVEMENT WITH 40D 5 INCH MINIMUM LENGTH NAILS.
10. REMOVE ACCUMULATED SEDIMENT AND DEBRIS WHEN BULGES DEVELOP IN SILT FENCE OR WHEN SEDIMENT REACHES 25% OF FENCE HEIGHT. REPLACE GEOTEXTILE IF TORN. MAINTAIN WATER TIGHT SEAL ALONG BOTTOM. REPLACE STONE IF DISPLACED.

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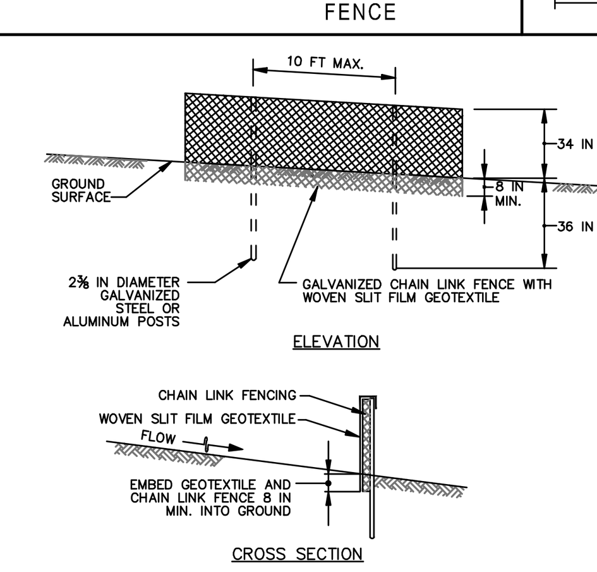
DETAIL E-3 SUPER SILT FENCE
STANDARD SYMBOL SSF



CONSTRUCTION SPECIFICATIONS
1. INSTALL 2⅜ INCH DIAMETER GALVANIZED STEEL POSTS OF 0.095 INCH WALL THICKNESS AND SIX FOOT LENGTH SPACED NO FURTHER THAN 10 FEET APART. DRIVE THE POSTS A MINIMUM OF 36 INCHES INTO THE GROUND.
2. FASTEN 9 GAUGE OR HEAVIER GALVANIZED CHAIN LINK FENCE (2⅜ INCH MAXIMUM OPENING) 42 INCHES IN HEIGHT SECURELY TO THE FENCE POSTS WITH WIRE TIES OR HUG RINGS.
3. FASTEN WOVEN SLIT FILM GEOTEXTILE AS SPECIFIED IN SECTION H-1 MATERIALS, SECURELY TO THE UPSLOPE SIDE OF CHAIN LINK FENCE WITH TIES SPACED EVERY 24 INCHES AT THE TOP AND MID SECTION. EMBED GEOTEXTILE AND CHAIN LINK FENCE A MINIMUM OF 8 INCHES INTO THE GROUND.
4. WHERE ENDS OF THE GEOTEXTILE COME TOGETHER, THE ENDS SHALL BE OVERLAPPED BY 6 INCHES, FOLDED, AND STAPLED TO PREVENT SEDIMENT BY PASS.
5. EXTEND BOTH ENDS OF THE SUPER SILT FENCE A MINIMUM OF FIVE HORIZONTAL FEET UPSLOPE AT 45 DEGREES TO THE MAIN FENCE ALIGNMENT TO PREVENT RUNOFF FROM GOING AROUND THE ENDS OF THE SUPER SILT FENCE.
6. PROVIDE MANUFACTURER CERTIFICATION TO THE INSPECTION/ENFORCEMENT AUTHORITY SHOWING THAT GEOTEXTILE USED MEETS THE REQUIREMENTS IN SECTION H-1 MATERIALS.
7. **REMOVE ACCUMULATED SEDIMENT AND DEBRIS WHEN BULGES DEVELOP IN FENCE OR WHEN SEDIMENT REACHES 25% OF FENCE HEIGHT. REPLACE GEOTEXTILE IF TORN. IF UNDERMINING OCCURS, REINSTALL CHAIN LINK FENCING AND GEOTEXTILE.**

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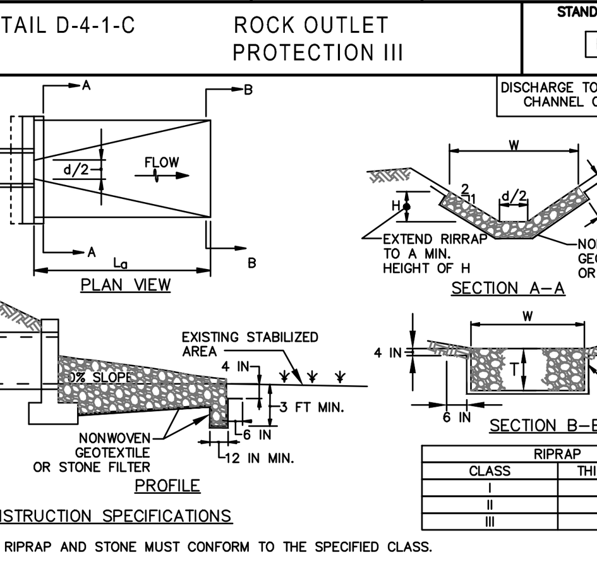
DETAIL D-4-1-C ROCK OUTLET PROTECTION III
STANDARD SYMBOL ROPIII
DISCHARGE TO AN UNCONFINED CHANNEL OR FLAT AREA



RIPRAP CLASS	THICKNESS (T)
I	19 IN
II	32 IN
III	46 IN

CONSTRUCTION SPECIFICATIONS
1. RIPRAP AND STONE MUST CONFORM TO THE SPECIFIED CLASS.
2. USE NONWOVEN GEOTEXTILE, AS SPECIFIED IN SECTION H-1 MATERIALS, AND PROTECT FROM PUNCTURING, CUTTING, OR TEARING. REPAIR ANY DAMAGE OTHER THAN AN OCCASIONAL SMALL HOLE BY PLACING ANOTHER PIECE OF GEOTEXTILE OVER THE DAMAGED PART OR BY COMPLETELY REPLACING THE GEOTEXTILE. PROVIDE A MINIMUM OF ONE FOOT OVERLAP FOR ALL REPAIRS AND FOR JOINING TWO PIECES OF GEOTEXTILE TOGETHER.
3. PREPARE THE SUBGRADE FOR GEOTEXTILE OR STONE FILTER (⅜ TO 1½ INCH MINIMUM STONE FOR 6 INCH MINIMUM DEPTH) AND RIPRAP TO THE REQUIRED LINES AND GRADES. COMPACT ANY FILL REQUIRED IN THE SUBGRADE TO A DENSITY OF APPROXIMATELY THAT OF THE SURROUNDING UNDISTURBED MATERIAL.
4. EXTEND GEOTEXTILE AT LEAST 6 INCHES BEYOND EDGES OF RIPRAP AND EMBED AT LEAST 4 INCHES AT SIDES OF RIPRAP.
5. CONSTRUCT RIPRAP OUTLET TO FULL COURSE THICKNESS IN ONE OPERATION AND IN SUCH A MANNER AS TO AVOID DISPLACEMENT OF UNDERLYING MATERIALS. PLACE STONE FOR RIPRAP OUTLET IN A MANNER THAT WILL ENSURE THAT IT IS REASONABLY HOMOGENOUS WITH THE SMALLER STONES AND SPALLS FILLING THE VOIDS BETWEEN THE LARGER STONES. PLACE RIPRAP IN A MANNER TO PREVENT DAMAGE TO THE FILTER BLANKET OR GEOTEXTILE. HAND PLACE TO THE EXTENT NECESSARY.
6. WHERE NO ENDWALL IS USED, CONSTRUCT THE UPSTREAM END OF THE APRON SO THAT THE WIDTH IS TWO TIMES THE DIAMETER OF THE OUTLET PIPE, AND EXTEND THE STONE UNDER THE OUTLET BY A MINIMUM OF 18 INCHES.
7. CONSTRUCT APRON WITH 0% SLOPE ALONG ITS LENGTH AND WITHOUT OBSTRUCTIONS. PLACE STONE SO THAT IT BLENDS IN WITH EXISTING GROUND.
8. MAINTAIN LINE, GRADE, AND CROSS SECTION. KEEP OUTLET FREE OF EROSION. REMOVE ACCUMULATED SEDIMENT AND DEBRIS. AFTER HIGH FLOWS INSPECT FOR SCOUR AND RIPRAP DISLODGED RIPRAP. MAKE NECESSARY REPAIRS IMMEDIATELY.

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STANDARD SEDIMENT CONTROL NOTES

1. A PRE-CONSTRUCTION MEETING MUST OCCUR WITH THE HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS, CONSTRUCTION INSPECTION DIVISION (CID), 410-313-1855 AFTER THE FUTURE LOD AND PROTECTED AREAS ARE MARKED CLEARLY IN THE FIELD. A MINIMUM OF 48 HOUR NOTICE TO CID MUST BE GIVEN AT THE FOLLOWING STAGES:
A. PRIOR TO THE START OF EARTH DISTURBANCE,
B. UPON COMPLETION OF THE INSTALLATION OF PERIMETER EROSION AND SEDIMENT CONTROLS, BUT BEFORE PROCEEDING WITH ANY OTHER EARTH DISTURBANCE OR GRADING,
C. PRIOR TO THE START OF ANOTHER PHASE OF CONSTRUCTION OR OPENING OF ANOTHER GRADING UNIT,
D. PRIOR TO THE REMOVAL OR MODIFICATION OF SEDIMENT CONTROL PRACTICES.
OTHER BUILDING OR GRADING INSPECTION APPROVALS MAY NOT BE AUTHORIZED UNTIL THIS INITIAL APPROVAL BY THE INSPECTION AGENCY IS MADE. OTHER RELATED STATE AND FEDERAL PERMITS SHALL BE REFERENCED, TO ENSURE COORDINATION AND TO AVOID CONFLICTS WITH THIS PLAN.
2. ALL VEGETATIVE AND STRUCTURAL PRACTICES ARE TO BE INSTALLED ACCORDING TO THE PROVISIONS OF THIS PLAN AND ARE TO BE IN CONFORMANCE WITH THE 2011 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL, AND REVISIONS THERETO.
3. FOLLOWING INITIAL SOIL DISTURBANCE OR RE-DISTURBANCE, PERMANENT OR TEMPORARY STABILIZATION IS REQUIRED WITHIN THREE (3) CALENDAR DAYS AS TO THE SURFACE OF ALL PERIMETER CONTROLS, DIKES, SWALES, DITCHES, PERIMETER SLOPES, AND ALL SLOPES STEEPER THAN 3 HORIZONTAL TO 1 VERTICAL (3:1); AND SEVEN (7) CALENDAR DAYS AS TO ALL OTHER DISTURBED AREAS ON THE PROJECT SITE EXCEPT FOR THOSE AREAS UNDER ACTIVE GRADING.
4. ALL DISTURBED AREAS MUST BE STABILIZED WITHIN THE TIME PERIOD SPECIFIED ABOVE IN ACCORDANCE WITH THE 2011 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL FOR TOPSOIL (SEC. B-4-2), PERMANENT SEEDING (SEC. B-4-5), TEMPORARY SEEDING (SEC. B-4-4) AND MULCHING (SEC. B-4-3). TEMPORARY STABILIZATION WITH MULCH ALONE CAN ONLY BE APPLIED BETWEEN THE FALL AND SPRING SEEDING DATES IF THE GROUND IS FROZEN. INCREMENTAL STABILIZATION (SEC. B-4-1) SPECIFICATIONS SHALL BE ENFORCED IN AREAS WITH >15' OF CUT AND/OR FILL. STOCKPILES (SEC. B-4-8) IN EXCESS OF 20 FT. MUST BE BENCHED WITH STABLE OUTLET. ALL CONCENTRATED FLOW, STEEP SLOPE, AND HIGHLY ERODIBLE AREAS SHALL RECEIVE SOIL STABILIZATION MATTING (SEC. B-4-6).
5. ALL SEDIMENT CONTROL STRUCTURES ARE TO REMAIN IN PLACE, AND ARE TO BE MAINTAINED IN OPERATIVE CONDITION UNTIL PERMISSION FOR THEIR REMOVAL HAS BEEN OBTAINED FROM THE CID.
6. SITE ANALYSIS:

TOTAL AREA OF SITE:	4.12	ACRES
AREA DISTURBED: **0.28 OFFSITE	4.40**	ACRES
AREA TO BE ROOFED OR PAVED:	2.99	ACRES
AREA TO BE VEGETATIVELY STABILIZED:	1.41	ACRES
TOTAL CUT:	2200 *	CU. YDS.
TOTAL FILL:	2200 *	CU. YDS.
OFFSITE WASTE/BORROW AREA LOCATION:		

*CUT/FILL NUMBERS ARE FOR SEDIMENT CONTROL PURPOSES ONLY. CONTRACTOR TO VERIFY.

7. ANY SEDIMENT CONTROL PRACTICE WHICH IS DISTURBED BY GRADING ACTIVITY FOR PLACEMENT OF UTILITIES MUST BE REPAIRED ON THE SAME DAY OF DISTURBANCE.
8. ADDITIONAL SEDIMENT CONTROL MUST BE PROVIDED, IF DEEMED NECESSARY BY THE CID. THE SITE AND ALL CONTROLS SHALL BE INSPECTED BY THE CONTRACTOR WEEKLY; AND THE NEXT DAY AFTER EACH RAIN EVENT. A WRITTEN REPORT BY THE CONTRACTOR, MADE AVAILABLE UPON REQUEST, IS PART OF EVERY INSPECTION AND SHOULD INCLUDE:
• INSPECTION DATE
• INSPECTION TYPE (ROUTINE, PRE-STORM EVENT, DURING RAIN EVENT)
• NAME AND TITLE OF INSPECTOR
• WEATHER INFORMATION (CURRENT CONDITIONS AS WELL AS TIME AND AMOUNT OF LAST RECORDED PRECIPITATION)
• BRIEF DESCRIPTION OF PROJECT'S STATUS (E.G., PERCENT COMPLETE) AND/OR CURRENT ACTIVITIES
• EVIDENCE OF SEDIMENT DISCHARGES
• IDENTIFICATION OF PLAN DEFICIENCIES
• IDENTIFICATION OF SEDIMENT CONTROLS THAT REQUIRE MAINTENANCE
• IDENTIFICATION OF MISSING OR IMPROPERLY INSTALLED SEDIMENT CONTROLS
• COMPLIANCE STATUS REGARDING THE SEQUENCE OF CONSTRUCTION AND STABILIZATION REQUIREMENTS
• PHOTOGRAPHS
• MONITORING/SAMPLING
• MAINTENANCE AND/OR CORRECTIVE ACTION PERFORMED
• OTHER INSPECTION ITEMS AS REQUIRED BY THE GENERAL PERMIT FOR STORMWATER ASSOCIATED WITH CONSTRUCTION ACTIVITIES (NPDES, MDE).
9. TRENCHES FOR THE CONSTRUCTION OF UTILITIES IS LIMITED TO THREE PIPE LENGTHS OR THAT WHICH CAN AND SHALL BE BACK-FILLED AND STABILIZED BY THE END OF EACH WORKDAY, WHICHEVER IS SHORTER.
10. ANY MAJOR CHANGES OR REVISIONS TO THE PLAN OR SEQUENCE OF CONSTRUCTION MUST BE REVIEWED AND APPROVED BY THE HSCD PRIOR TO PROCEEDING WITH CONSTRUCTION. MINOR REVISIONS MAY ALLOWED BY THE CID PER THE LIST OF HSCD-APPROVED FIELD CHANGES.
11. DISTURBANCE SHALL NOT OCCUR OUTSIDE THE L.O.D. A PROJECT IS TO BE SEQUENCED SO THAT GRADING ACTIVITIES BEGIN ON ONE GRADING UNIT (MAXIMUM ACREAGE OF 20 AC. PER GRADING UNIT) AT A TIME. WORK MAY PROCEED TO A SUBSEQUENT GRADING UNIT WHEN AT LEAST 50 PERCENT OF THE DISTURBED AREA IN THE PRECEDING GRADING UNIT HAS BEEN STABILIZED AND APPROVED BY THE CID. UNLESS OTHERWISE SPECIFIED AND APPROVED BY THE HSCD, NO MORE THAN 30 ACRES CUMULATIVELY MAY BE DISTURBED AT A GIVEN TIME.
12. WASH WATER FROM ANY EQUIPMENT, VEHICLES, WHEELS, PAVEMENT, AND OTHER SOURCES MUST BE TREATED IN A SEDIMENT BASIN OR OTHER APPROVED WASHOUT STRUCTURE.
13. TOPSOIL SHALL BE STOCKPILED AND PRESERVED ON-SITE FOR REDISTRIBUTION ONTO FINAL GRADE.
14. ALL SILT FENCE AND SUPER SILT FENCE SHALL BE PLACED ON-THE-CONTOUR, AND BE IMBRICATED AT 25' MINIMUM INTERVALS, WITH LOWER ENDS CURLED UPHILL BY 2' IN ELEVATION.
15. STREAM CHANNELS MUST NOT BE DISTURBED DURING THE FOLLOWING RESTRICTED TIME PERIODS (INCLUSIVE):
• USE I AND IP MARCH 1 – JUNE 15
• USE III AND IIIP OCTOBER 1 – APRIL 30
• USE IV MARCH 1 – MAY 31
16. A COPY OF THIS PLAN, THE 2011 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL, AND ASSOCIATED PERMITS SHALL BE ON-SITE AND AVAILABLE WHEN THE SITE IS ACTIVE.
REV. 8/2015

SEQUENCE OF CONSTRUCTION

NOTIFY SEDIMENT CONTROL DIVISION 48 HOUR PRIOR TO START OF CONSTRUCTION

1.) OBTAIN GRADING PERMIT.	DAY 1
2.) INSTALL PERIMETER SEDIMENT CONTROLS: STABILIZED CONSTRUCTION ENTRANCE, SUPER SILT FENCE AND SILT FENCE ON PAVEMENT. AND DIVERSION FENCE.	DAY 2-6
3.) CLEAR & GRUB SITE AND BEGIN MASS GRADING OF SITE.	DAY 7-28
4.) WITH MASS SITE GRADED INSTALL UGSWMF.	DAY 8-28
5.) BEGIN CONSTRUCTION OF SITE STRUCTURES.	ON GOING(9 MONTHS)
6.) INSTALL WATER & SEWER, STORM DRAIN, CURB & GUTTER AND INLET PROTECTION AS NEEDED.	DAY 29-47
7.) BASE PAVE SITE.	DAY 48-68
8.) AS STRUCTURE CONSTRUCTION PROGRESSES FINAL GRADE SITE AND SITE AMENITIES AREAS AND INSTALL SIDEWALKS AND STABILIZE AREAS.	DAY 69-93
9.) WHEN BUILDING CONSTRUCTION IS COMPLETE FINE GRADE AND STABILIZE IN ACCORDANCE WITH PERMANENT SEEDBED NOTES.	DAY 94-101
10.) INSTALL LANDSCAPING PER LANDSCAPE AND AMENITY PLANS.	DAY 102-109
11.) WITH THE APPROVAL OF THE HOWARD COUNTY SEDIMENT CONTROL INSPECTOR, REMOVE SEDIMENT CONTROL DEVICES AND STABILIZE ANY REMAINING DISTURBED AREAS.	DAY 110-124

DESIGN CERTIFICATION

"I CERTIFY THAT THIS PLAN HAS BEEN DESIGNED IN ACCORDANCE WITH CURRENT MARYLAND EROSION AND SEDIMENT CONTROL LAWS, REGULATIONS, AND STANDARDS, THAT IT REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE, AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT."

(signature) 2022-12-07
ENGINEER — CHRISTOPHER A. MALAGARI. P.E. — DATE — MD REGISTRATION NO. 22390

OWNERS/DEVELOPERS CERTIFICATION

"I/WE CERTIFY THAT ANY CLEARING, GRADING, CONSTRUCTION, OR DEVELOPMENT WILL BE DONE PURSUANT TO THIS APPROVED EROSION AND SEDIMENT CONTROL PLAN, INCLUDING INSPECTING AND MAINTAINING CONTROLS, AND THAT THE RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF TRAINING AT A MARYLAND DEPARTMENT OF THE ENVIRONMENT (MDE) APPROVED TRAINING PROGRAM FOR THE CONTROL OF EROSION AND SEDIMENT PRIOR TO BEGINNING THE PROJECT. I CERTIFY RIGHT-OF-ENTRY FOR PERIODIC ON-SITE EVALUATION BY HOWARD COUNTY, THE HOWARD SOIL CONSERVATION DISTRICT AND/OR MDE."

Mark Levy 2022-12-07
SIGNATURE — DATE

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.
DocuSigned by: Alexander Bratchie 65648D5BA9B64C1... — 1/17/2023
HOWARD SOIL CONSERVATION DISTRICT — DATE

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

DocuSigned by: CHAD Edmondson 7063F754EF41499... — 1/17/2023
CHIEF, DEVELOPMENT ENGINEERING DIVISION — DATE

DocuSigned by: (signature) 1EB75478A22B49A... — 1/17/2023
CHIEF, DIVISION OF LAND DEVELOPMENT — DATE

DocuSigned by: Amy Gowan 5B4D5DD9470C4D4... — 1/17/2023
DIRECTOR — DATE

NO.	DATE	REVISION

BENCHMARK
ENGINEERS ▲ LAND SURVEYORS ▲ PLANNERS
ENGINEERING, INC.
3300 NORTH RIDGE ROAD ▲ SUITE 140 ▲ ELLICOTT CITY, MARYLAND 21043
(P) 410-465-6105 (F) 410-465-6644
WWW.BEI-CIVILENGINEERING.COM

Professional Certification. I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland, License No. 22390, Expiration Date: 06.30.23.
(Seal: STATE OF MARYLAND — CHRISTOPHER A. MALAGARI — 22390 — PROFESSIONAL ENGINEER) 12.07.22

OWNER:
CORRIDOR SQUARE, LLC
6800 DEERPATH ROAD
ELKRIDGE, MD 21075
410.579.2442

DEVELOPER:
CORRIDOR SQUARE, LLC
6800 DEERPATH ROAD
ELKRIDGE, MD 21075
410.579.2442

CORRIDOR SQUARE
PARCEL B AND PARCEL 279
RESIDENTIAL APARTMENT BUILDINGS

TAX MAP 37 – GRID 23 – PARCELS 272 & 279
ZONED: TOD
ELECTION DISTRICT NO. 1 – HOWARD COUNTY, MARYLAND

SITE DEVELOPMENT PLAN
SEDIMENT CONTROL NOTES AND DETAILS

DATE: DECEMBER 2022 | BEI PROJECT NO. 2695
DESIGN: JCO | DRAFT: JCO | SCALE: 1"=50' | SHEET 5 OF 13

SDP-21-051

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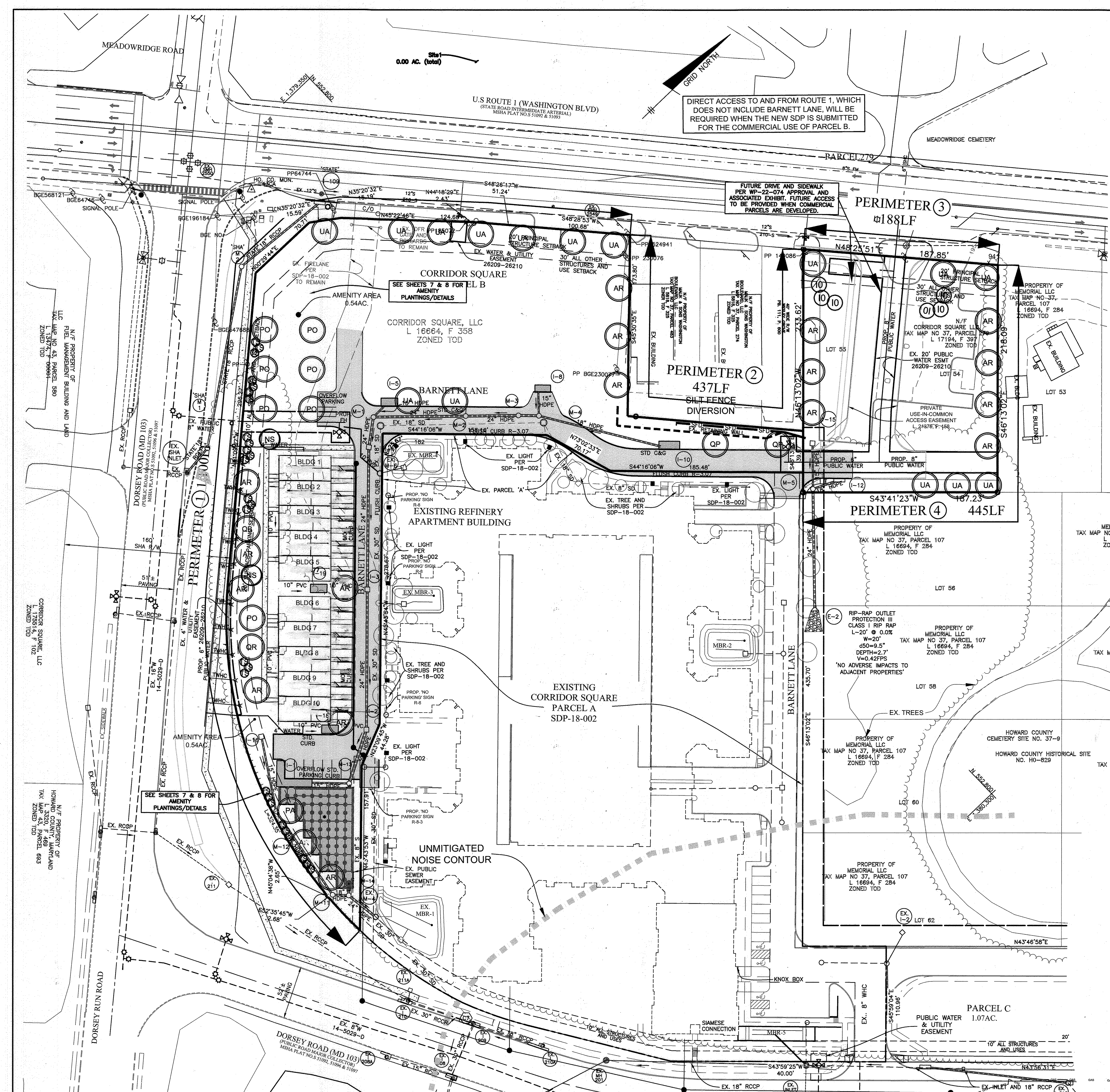


APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

CHAD Edmondson (DocuSigned by)	1/17/2023
CHIEF, DEVELOPMENT ENGINEERING DIVISION	DATE
DocuSigned by: [signature]	1/17/2023
CHIEF, DIVISION OF LAND DEVELOPMENT	DATE
DocuSigned by: Amy Gowan	1/17/2023
DIRECTOR	DATE

FOREST CONSERVATION WORKSHEET FOR PARCEL B

Net Tract Area

A.	Total (Gross) Tract Area	A =	4.09
B.	Area within 100-year Floodplain	B =	0.00
C.	Other Deductions (Identify:)	C =	0.00
D.	Net Tract Area	D =	4.09

Land Use Category

Insert the number "1" under the appropriate land use (limit to only one en

Resid. Rural LD	Resid. Rural MD	Resid. Suburban	Inst./ Linear	Retail/Ind./Mixed Use/ Office	PUD
0	0	1	0	0	0

E.	Afforestation Threshold (Net Tract Area x 15%)	E =	0.60
F.	Reforestation Threshold (Net Tract Area x 20%)	F =	0.80

Existing Forest Cover

G.	Existing Forest Cover within the Net Tract Area	G =	0.92
H.	Area of Forest above Afforestation Threshold	H =	0.30
I.	Area of Forest above Reforestation Threshold	I =	0.10

Break Even Point

J.	Break Even Point	J =	0.83
K.	Forest Clearing Permitted without Mitigation	K =	0.09

Proposed Forest Clearing

L.	Total Area of Forest to be Cleared	L =	0.92
M.	Total Area of Forest to be Retained	M =	0.00

Planting Requirements Inside Watershed

N.	Reforestation for Clearing above the Reforestation Threshold	N =	0.10
P	Reforestation for Clearing below the Reforestation Threshold	P =	1.60
Q.	Credit for Retention above the Reforestation Threshold	Q =	0.00
R.	Total Reforestation Required	R =	1.70
S.	Total Afforestation Required	S =	0.00
T	Total Reforestation and Afforestation Requirement	T=	1.70
U	75% of Total Obligation (Retention + Planting)	U=	1.30
V	Planting Required Onsite to meet 75% Obligation	V=	1.30

Planting Requirements Outside Watershed

W.	Total Planting within Development Site Watershed	W=	0.00
X.	Total Afforestation Required	X=	0.00
Y.	Remaining Planting within Watershed for Reforestation Credit	Y=	0.00
Z.	Reforestation for Clearing above the Reforestation Threshold	Z=	0.20
AA.	Reforestation for Clearing below the Reforestation Threshold	AA=	2.40
BB.	Credit for Retention above the Reforestation Threshold	BB=	0.00
CC.	Total Reforestation Required	CC=	2.60
DD.	Total Afforestation and Reforestation Requirement	DD=	2.60

THIS SITE INCLUDES 0.82 ACRES OF RESIDENTIAL USE.

THIS SITE IS LOCATED IN THE PATAPSCO WATERSHED 02-13-09-06-10-14.

THE AFFORESTATION OBLIGATION OF 5.20 AC FOR THIS SITE ARE PROVIDED BY AN OFFSITE EASEMENT LOCATE ON THE HIMEL PROPERTY, SDP-05-132.

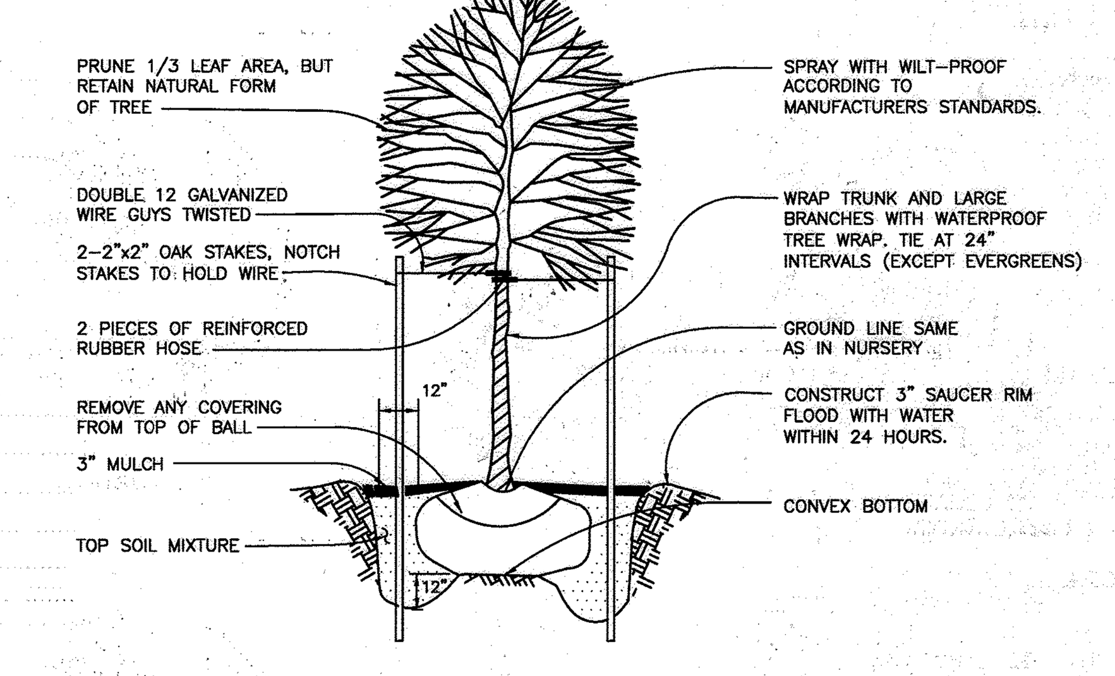
SCHEDULE A PERIMETER LANDSCAPE EDGE

CATEGORY						TOTAL
	ADJACENT TO ROADWAY	YES	NO	YES	NO	
	ADJACENT TO PERIMETER PROPERTIES	NO	YES	NO	YES	
PERIMETER NO. / LANDSCAPE TYPE		(1) B	(2) A	(3) B	(4) A	
LINEAR FEET OF PERIMETER (PERIMETER/ROADWAY)		1,100	437	188	445	
CREDIT FOR EXISTING VEGETATION: NO OR YES (w/LINEAR FEET) (DESCRIBE BELOW IF NEEDED)		NO	NO	NO	NO	
LINEAR FEET OF REQUIRED PERIMETER LANDSCAPING		1,100	437	188	445	
CREDIT FOR WALL, FENCE OR BERM: NO OR YES (w/LINEAR FEET) (DESCRIBE BELOW IF NEEDED)		– –	– –	– –	– –	
NUMBER OF PLANTS REQUIRED:	SHADE TREES(1:60) OR (1:50)	22	7	4	7	40
	EVERGREEN TREES (1:40)	28	0	5	0	33
	OTHER TREES (2:1 SUBSTITUTE)	–	–	–	–	–
	SHRUBS	–	–	–	–	–
NUMBER OF PLANTS PROVIDED:	SHADE TREES	22	7	4	7	40
	EVERGREEN TREES	28	0	5	0	33
	OTHER TREES (2:1 SUBSTITUTE)	–	–	–	–	–
	SHRUBS (10:1 SUBSTITUTE) (DESCRIBE PLANT SUBSTITUTION CREDITS BELOW IF NEEDED)	–	–	–	–	–

PLANTING NOTE: MINIMUM LANDSCAPE REQUIREMENTS ARE GENERALLY PLACED IN A LOCATION THAT MEET THE INTENT OF THE SPECIFIC REQUIREMENT (PERIMETER, RESIDENTIAL DEVELOPMENT, ETC). WHEN UTILITIES AND OTHER SITE CONSTRAINTS LIMIT PLACEMENT OF LANDSCAPE, THE REQUIREMENT MAY BE STRATEGICALLY LOCATED ELSEWHERE ON THE PROPERTY WITH THE DUAL INTENT TO MEET THE MINIMUM LANDSCAPE REQUIREMENT AND TO PLACE LANDSCAPE IN A LOCATION THAT BENEFITS THE OVERALL PROJECT.

SCHEDULE C – RESIDENTIAL DEVELOPMENT INTERNAL LANDSCAPING

SYMBOL	QUANTITY	NAME	REMARKS
(circle)	1/3 UNITS 20 UNITS 7 REQUIRED 7 PROVIDED	QUERCUS RUBRA NORTHERN RED OAK	2 1/2"–3" CAL



TREE PLANTING DETAIL

NOT TO SCALE

LANDSCAPING NOTES

1.) THE PROPOSED LANDSCAPING SHALL BE PROVIDED BY THE PLANTINGS AS SHOWN ON THESE PLANS.

2.) THE DEVELOPER SHALL BE RESPONSIBLE FOR ALL INTERNAL PLANTINGS; THE PRESERVATION OF THE EXISTING PERIMETER VEGETATION; AND FOR THE PERIMETER PLANTINGS AS SHOWN ON THESE PLANS. BONDING FOR THE PROPOSED PLANTINGS IS THE OBLIGATION OF THE DEVELOPER AS PART OF THE DEVELOPERS AGREEMENT.

3.) TREES MUST BE A MINIMUM OF FOUR (4) FEET FROM THE CURB OR SIDEWALK AND MUST BE A MINIMUM OF FIVE (5) FEET FROM ANY STORM DRAIN.

4.) A MINIMUM DISTANCE OF TWENTY (20) FEET MUST BE MAINTAINED BETWEEN ANY TREES LOCATED ALONG THE CURB LINE AND FROM STREET LIGHTS.

5.) TREE MUST BE PLANTED A MINIMUM OF FIVE (5) FEET FROM AN OPEN SPACE ACCESS STRIP AND TEN(10) FEET FROM A DRIVEWAY.

6.) THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE PROVISIONS OF SECTION 16.124 OF THE HOWARD COUNTY CODE AND LANDSCAPE MANUAL.

7.) STREET TREES SHALL BE PLANTED SIX (6) FEET BEHIND FACE OF CURB WHEN THERE ARE NO SIDEWALKS.

8.) ALL LANDSCAPING PLANT TYPES SHOWN ON THESE PLANS ARE RECOMMENDATIONS AND MAY BE SUBSTITUTED WITH APPROVED EQUIVALENTS FROM THE HOWARD COUNYY LANDSCAPE MANUAL.

9.) NO TREES SHALL BE PLACED WITHIN 10' BEHIND A RETAINING WALL OR WITHIN A RELATED MAINTENANCE EASEMENT, WHICHEVER IS GREATER.

10.) THE SURETY FOR THE 40 SHADE TREES, 33 EVERGERRN TREES AND 6 ORNAMENTAL TREES ($16,950.00) HAS BEEN POSTED AS PART OF THE DEVELOPERS AGREEMENT.

11.) THE OWNER, TENANT AND/OR THEIR AGENTS SHALL BE RESPONSIBLE FOR MAINTENANCE OF THE REQUIRED LANDSCAPING, INCLUDING BOTH MATERIALS AND BERMS, FENCES ANS WALLS. ALL PLANT MATERIALS SHALL BE MAINTAINED IN GOOD GROWING CONDITION, AND WHEN NECESSARY, REPLACE WITH NEW MATERIALS TO ENSURE CONTINUED COMPLIANCE WITH APPLICABLE REGULATIONS. ALL OTHER REQUITED LANDSCAPING SHALL BE PERMANENTLY MAINTAINED IN GOOD CONDITION AND WHEN NECESSARY, REPAIRED OR REPLACED.

12.) AT THE TIME OF INSTALLMENT, ALL SHRUBS AND OTHER PLANTINGS HEREWITH LISTED AND APPROVED FOR THIS SITE, SHALL BE OF THE PROPER HEIGHT REQUIREMENTS IN ACCORDANCE WITH THE HOWARD COUNTY LANDSCAPE MANUAL. IN ADDITION, NO SUBSTITUTIONS OR RELOCATION OF REQUIRED PLANTINGS MAY BE MADE WITHOUT PRIOR REVIEW AND APPROVAL FROM THE DEPARTMENT OF PLANNING AND ZONING. ANY DEVIATION FROM THIS APPROVED LANDSCAPE PLAN MAY RESULT IN DENIAL OR DELAY IN THE RELEASE OF LANDSCAPE SURETY UNTIL SUCH TIME AS ALL REQUIRED MATERIALS ARE PLANTED AND/OR REVISIONS ARE MADE TO APPLICABLE PLANS AND CERTIFICATES.

13.) THERE ARE NO SPECIMEN TREES OR TREES THAT ARE 75% OF THE SIZE OF A MARYLAND STATE CHAMPION TREE ON THE PROPERTY.

DEVELOPER'S/BUILDER'S CERTIFICATE

I/WE CERTIFY THAT THE LANDSCAPING SHOWN ON THIS PLAN WILL BE DONE ACCORDING TO THE PLAN, SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE HOWARD COUNTY LANDSCAPE MANUAL. I/WE FURTHER CERTIFY THAT UPON COMPLETION OF A LETTER OF LANDSCAPE INSTALLATION, ACCOMPANIED BY AN EXECUTED ONE-YEAR GUARANTEE OF PLANT MATERIALS, WILL BE SUBMITTED TO THE DEPARTMENT OF PLANNING AND ZONING.

Mark Levy — 2022-12-07

DEVELOPER — DATE

LEGEND

- EXISTING CONTOURS (182 / 180)
- EXISTING TREELINE
- EXISTING BUILDING (EX. BUILDING)
- EXISTING FIBER OPTIC (APPROXIMATE LOCATION) (FO)
- EXISTING SEWER
- EXISTING WATER
- EXISTING STORMDRAIN
- PROPOSED PAVING
- PROPOSED AMENITY AREA
- EX. TREES AND SHRUBS PER SDP-18-002

GRAPHIC SCALE

50 0 25 50 100 200

(IN FEET)
1 inch = 50 ft.

NO.	DATE	REVISION
1	9.26.23	REVISE UNIT TYPE AND LOWER LEVEL ELEVATION

J. Brody McAllister
ISA Certified Arborist
Cert ID: MA6471A
MD DNR FCA Qualified Professional

Eco-Science Professionals, Inc.
CONSULTING ECOLOGISTS
P.O. BOX 5006 GLEN ARM, MARYLAND 21057
Telephone (410) 683-7840
www.ecoscienceprofessionalsinc.com

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(P) 410-465-6105 (F) 410-465-6644
WWW.BEI-CIVILENGINEERING.COM

Professional Certification. I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland, License No. 22390, Expiration Date: 06.30.23.

(Seal: STATE OF MARYLAND — CHRISTOPHER A. MALAGARI — 22390 — PROFESSIONAL ENGINEER) 12.07.22

OWNER:
CORRIDOR SQUARE, LLC
6800 DEERPATH ROAD
ELKRIDGE, MD 21075
410.579.2442

DEVELOPER:
CORRIDOR SQUARE, LLC
6800 DEERPATH ROAD
ELKRIDGE, MD 21075
410.579.2442

CORRIDOR SQUARE
PARCEL B AND PARCEL 279
RESIDENTIAL APARTMENT BUILDINGS

TAX MAP 37 – GRID 23 – PARCELS 272 & 279
ZONED: TOD
ELECTION DISTRICT NO. 1 – HOWARD COUNTY, MARYLAND

SITE DEVELOPMENT PLAN LANDSCAPING AND FOREST CONSERVATION PLAN

DATE:	DECEMBER 2022	BEI PROJECT NO.	2695
DESIGN: JCO	DRAFT: JCO	SCALE: AS SHOWN	SHEET 6 OF 13

J:\2695 Gunter Properties\dwg\PARCEL B\8000V3a.dwg, 12/6/2022 4:53:59 PM

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12/7/2022
9:48
AM

US ROUTE 1

DORSEY RD

PLANTING SCHEDULE - REF. SHEET 8 OF 13

MATCH LINE B - SEE ENLARGEMENT 2 SHEET 7 OF 13

VIB SHA (5)
VIB SHA (4)
VIB SHA (11)
ILE COM (68)
ADIRONDACK CHAIRS
ABE GRA (7)
VIB SHA (4)
VIB SHA (3)
VIB ALL (7)
BENCH
ABE GRA (5)
ABE GRA (3)
ABE GRA (7)

VISITOR PARKING

EX. RETAINING WALL

EX. MICRO-BIORETENTION

BLDG 1
BLDG 2
BLDG 3
BLDG 4
BLDG 5

THE REFINERY

REFINERY PLANTING

EX. SIDEWALK

MATCH LINE A - SEE ENLARGEMENT 1 SHEET 7 OF 13

1 LANDSCAPE ENLARGEMENT A - NORTH
1"=20'

2 BENCH
N.T.S.

3 PICNIC TABLE
N.T.S.

4 ADIRONDACK
N.T.S.

N

0 20 40 80 FEET

Digitally signed by Matt D'Amico
Contact Info: mdamico@designcollective.com
Date: 2022.12.07 11:01:43-05'00'

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

DocuSigned by: Chad Edmondson 584D60D94704C4D...	1/17/2023
CHIEF, DEVELOPMENT ENGINEERING DIVISION	DATE
DocuSigned by: [signature]	1/17/2023
CHIEF, DIVISION OF LAND DEVELOPMENT	DATE
DocuSigned by: Amy Gowan 584D60D94704C4D...	1/17/2023
DIRECTOR	DATE

Design Collective
ARCHITECTURE PLANNING INTERIORS
LANDSCAPE ARCHITECTURE GRAPHICS
601 East Pratt Street, Suite 300
Baltimore, Maryland 21202
P 410 685 6655 | www.designcollective.com

Professional Certification. I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional landscape architect under the laws of the State of Maryland, License No. 1039, Expiration Date: 06.12.24

OWNER:
CORRIDOR SQUARE, LLC
6800 DEERPATH ROAD
ELKRIDGE, MD 21075
410.579.2442

DEVELOPER:
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ELKRIDGE, MD 21075
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CORRIDOR SQUARE
PARCEL B AND PARCEL 279
COMMERCIAL BUILDING AND RESIDENTIAL APARTMENT BUILDINGS

TAX MAP 37 – GRID 23 – PARCELS 272 & 279
ZONED: TOD
ELECTION DISTRICT NO. 1 – HOWARD COUNTY, MARYLAND

SITE DEVELOPMENT PLAN
AMENITY AREA LANDSCAPE PLAN

DATE:	DECEMBER 2022	BEI PROJECT NO.	2695
DESIGN: JCO	DRAFT: JCO	SCALE: AS SHOWN	SHEET 7 OF 13

SDP-21-051

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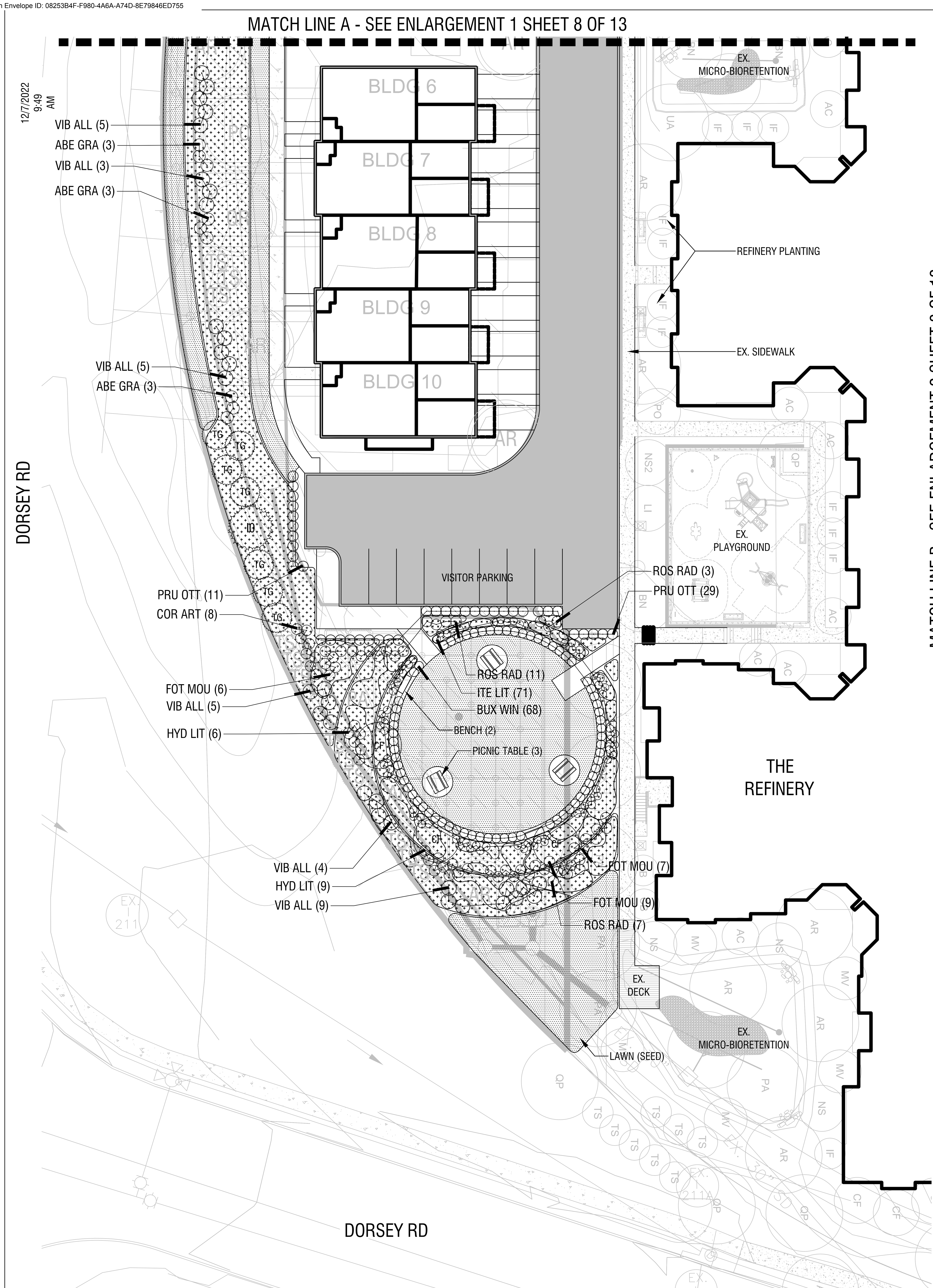
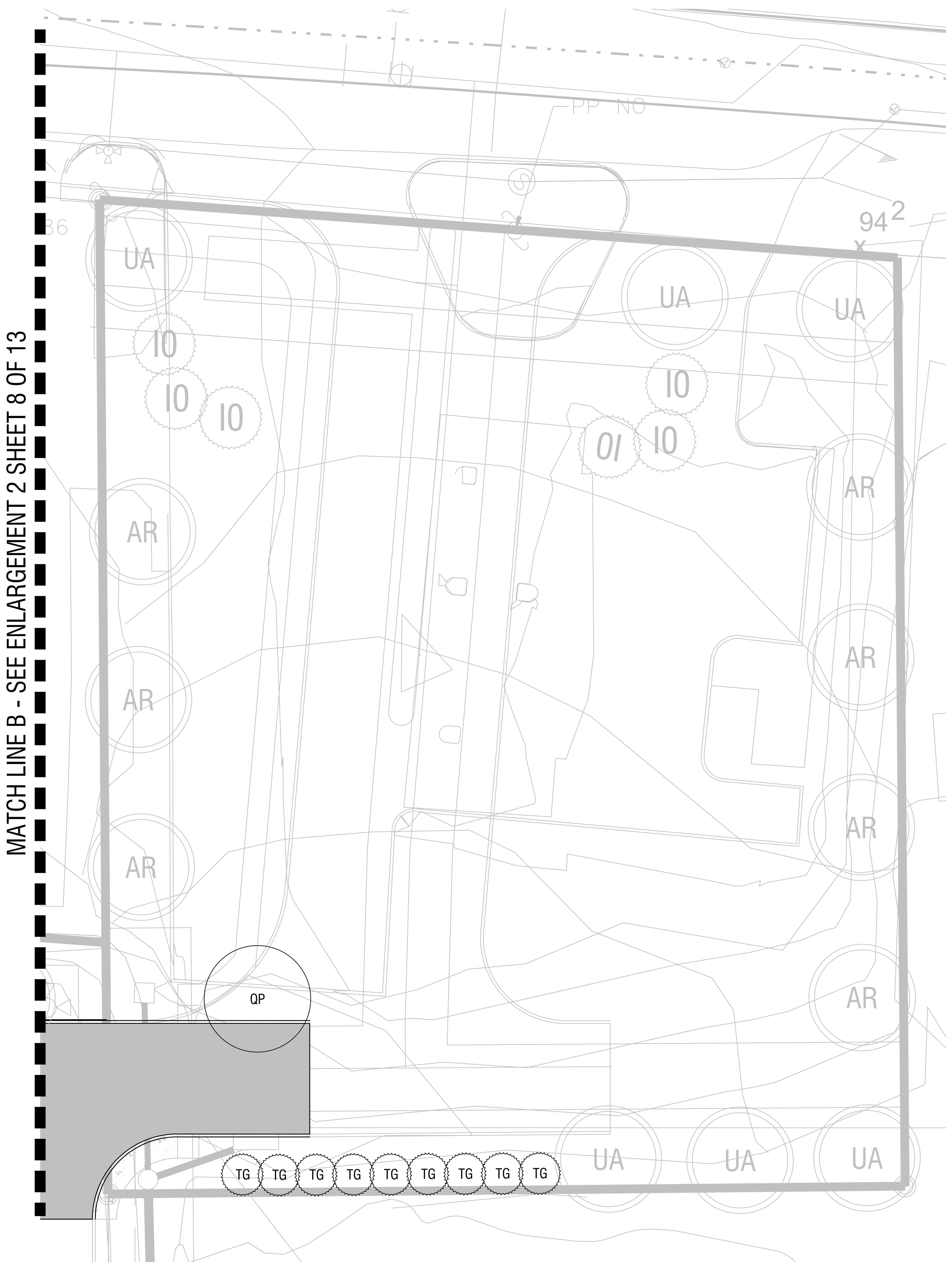


1 LANDSCAPE ENLARGEMENT B - SOUTH
1"=20'



2 LANDSCAPE ENLARGEMENT C - EAST
1"=20'

PLANT SCHEDULE

EVERGREEN TREES	QTY	BOTANICAL / COMMON NAME	CONT	CAL	SIZE
IO	1	ILEX OPACA 'SATYR HILL' SATYR HILL AMERICAN HOLLY SPECIMEN; MATCHED	B & B		7-8` HT.
TG	33	THUJA X 'GREEN GIANT' GREEN GIANT ARBORVITAE SPECIMEN; FULL TO BASE; MATCHED	B & B		9`-10` HT.

DECIDUOUS TREES	QTY	BOTANICAL / COMMON NAME	CONT	CAL	SIZE
AR	2	ACER RUBRUM 'OCTOBER GLORY' RED MAPLE SPECIMEN; MATCHED	B & B	3"CAL	
QP	3	QUERCUS PHELLOS WILLOW OAK STRONG MAIN LEADER, FALL DUG	B & B	3"CAL	
UA	1	ULMUS AMERICANA `PRINCETON` PRINCETON ELM SPECIMEN; MATCHED	B & B	3"CAL	

FLOWERING TREES	QTY	BOTANICAL / COMMON NAME	CONT	CAL	SIZE
CF	6	CORNUS FLORIDA `APPALACHIAN SPRING` APPALACHIAN SPRING EASTERN DOGWOOD SPECIMEN; MULTI STEM	B & B		10-12` HT.
PY	14	PRUNUS X YEDOENSIS YOSHINO CHERRY SPECIMEN; MATCHED	B & B	2.5" CAL.	

SHRUBS	QTY	BOTANICAL / COMMON NAME	SIZE	SPACING
ABE GRA	31	ABELIA X GRANDIFLORA GLOSSY ABELIA 30" WXH MIN.	7 GAL	48" O.C.
BUX WIN	69	BUXUS MICROPHYLLA KOREANA `WINTERGREEN` KOREAN BOXWOOD 30" WXH MIN.; MATCHED	B & B	36" O.C.
COR ART	8	CORNUS SERICEA `ARTIC FIRE` ARTIC FIRE DOGWOOD FULL	7 GAL	42" O.C.
FOT MOU	22	FOTHERGILLA X INTERMEDIA 'MOUNT AIRY' MOUNT AIRY FOTHERGILLA FULL	10 GAL	42" O.C.
HYD LIT	15	HYDRANGEA PANICULATA 'JANE' TM LITTLE LIME PANICLE HYDRANGEA FULL	7 GAL	42" O.C.
ILE COM	68	ILEX GLABRA 'COMPACTA' COMPACT INKBERRY DENSE AND FULL TO BASE; MATCHED	30" HT.	48"
ITE LIT	72	ITEA VIRGINICA `LITTLE HENRY` TM VIRGINIA SWEETSPIRE FULL	3 GAL	30" O.C.
PRU OTT	40	PRUNUS LAUROCERASUS `OTTO LUYKEN` LUYKENS LAUREL SPECIMEN; MATCHED; 30" HT. MIN.	10 GAL	42" O.C.
ROS RAD	21	ROSA X `KNOCKOUT` TM ROSE FULL	7 GAL	42" O.C.
VIB ALL	38	VIBURNUM RHYTIDOPHYLLUM 'ALLEGHANY' LEATHERLEAF VIBURNUM FULL TO BASE; MATCHED	10 GAL	5` O.C.
VIB SHA	27	VIBURNUM PLICATUM TOMENTOSUM 'SHASTA' SHASTA DOUBLEFILE VIBURNUM FULL	10 GAL	6` O.C.

Design Collective

Digitally signed by Matt D'Amico
Contact Info: mdamico@designcollective.com
Date: 2022.12.07 11:01:24-05'00'

N

0 20 40 80 FEET

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

CHIEF, DEVELOPMENT ENGINEERING DIVISION	DATE 1/17/2023
CHIEF, DIVISION OF LAND DEVELOPMENT	DATE 1/17/2023
DIRECTOR	DATE 1/17/2023

Design Collective
ARCHITECTURE PLANNING INTERIORS LANDSCAPE ARCHITECTURE GRAPHICS

Professional Certification. I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional landscape architect under the laws of the State of Maryland, License No. 1039, Expiration Date: 06.12.24

OWNER:
CORRIDOR SQUARE, LLC
6800 DEERPATH ROAD
ELKRIDGE, MD 21075
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DEVELOPER:
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410.579.2442

CORRIDOR SQUARE
PARCEL B AND PARCEL 279
COMMERCIAL BUILDING AND RESIDENTIAL APARTMENT BUILDINGS

TAX MAP 37 – GRID 23 – PARCELS 272 & 279
ZONED: TOD
ELECTION DISTRICT NO. 1 – HOWARD COUNTY, MARYLAND

SITE DEVELOPMENT PLAN
AMENITY AREA LANDSCAPE PLAN

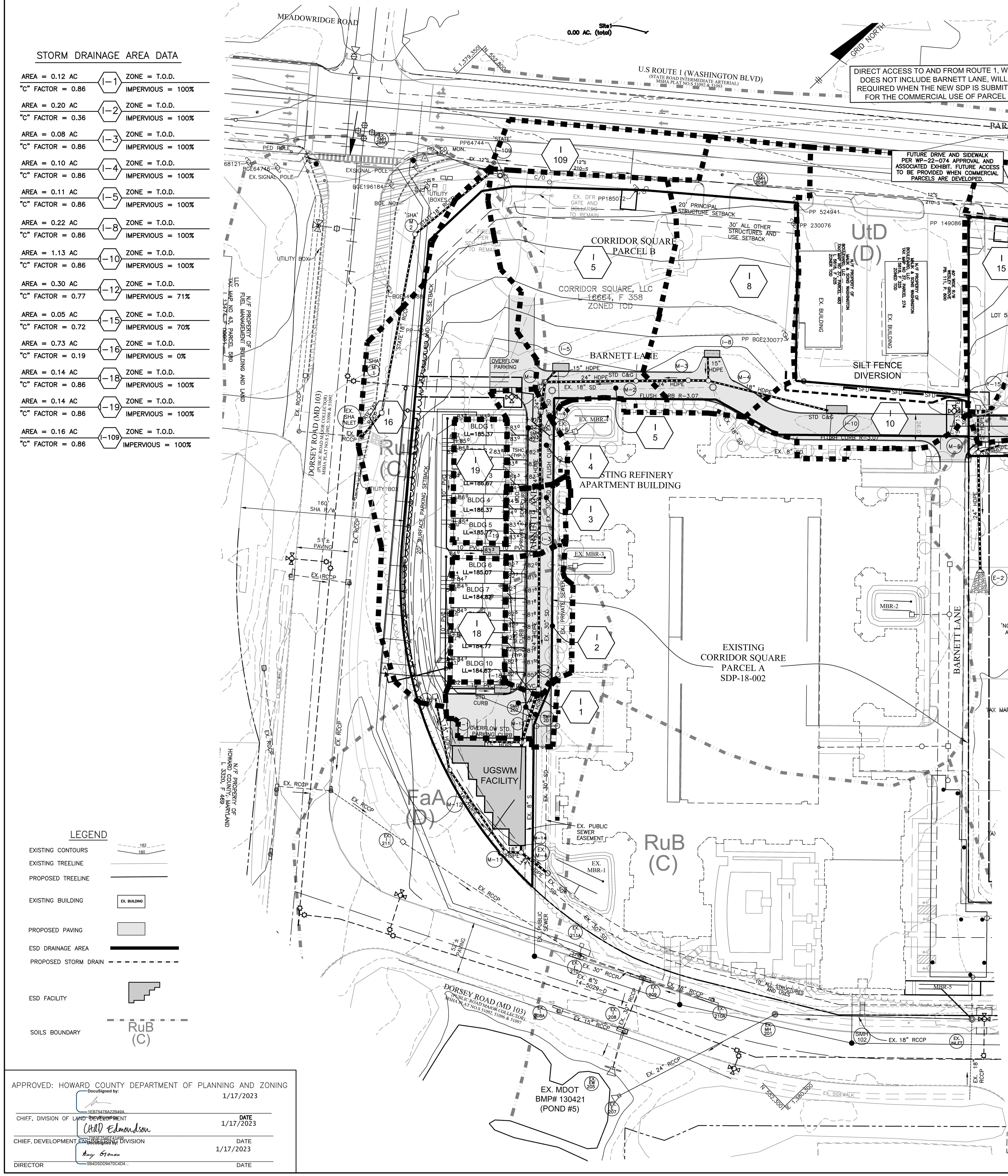
DATE: DECEMBER 2022		BEI PROJECT NO. 2695	
DESIGN: JCO	DRAFT: JCO	SCALE: AS SHOWN	SHEET 8 OF 13

SDP-21-051

DocuSign Envelope ID: 08253B4F-F980-4A6A-A74D-8E79846ED755

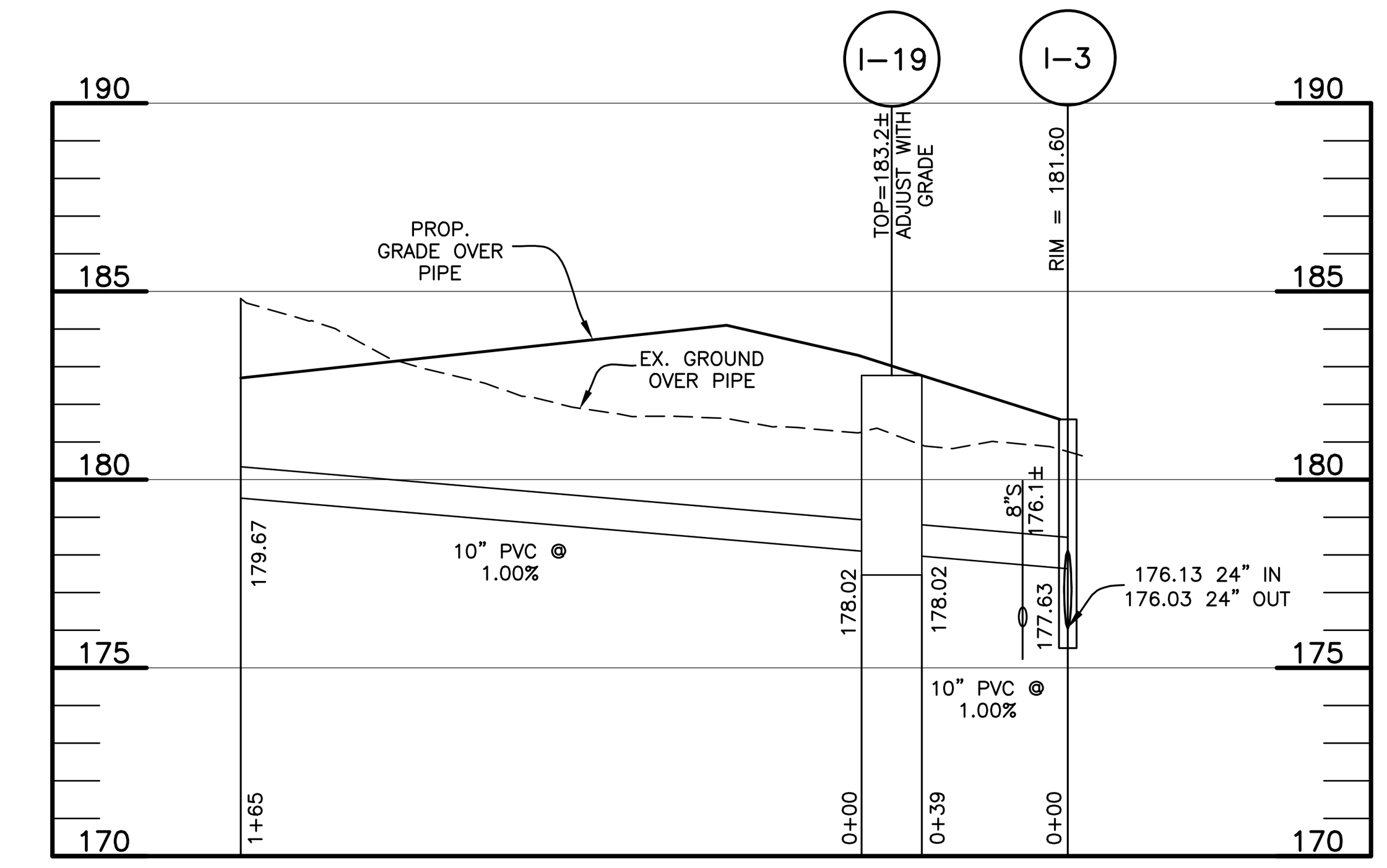
STORM DRAINAGE AREA DATA

AREA	"C" FACTOR	DRAINAGE AREA	ZONE	IMPERVIOUS
AREA = 0.12 AC	"C" FACTOR = 0.86	I-1	ZONE = T.O.D.	IMPERVIOUS = 100%
AREA = 0.20 AC	"C" FACTOR = 0.36	I-2	ZONE = T.O.D.	IMPERVIOUS = 100%
AREA = 0.08 AC	"C" FACTOR = 0.86	I-3	ZONE = T.O.D.	IMPERVIOUS = 100%
AREA = 0.10 AC	"C" FACTOR = 0.86	I-4	ZONE = T.O.D.	IMPERVIOUS = 100%
AREA = 0.11 AC	"C" FACTOR = 0.86	I-5	ZONE = T.O.D.	IMPERVIOUS = 100%
AREA = 0.22 AC	"C" FACTOR = 0.86	I-8	ZONE = T.O.D.	IMPERVIOUS = 100%
AREA = 1.13 AC	"C" FACTOR = 0.86	I-10	ZONE = T.O.D.	IMPERVIOUS = 100%
AREA = 0.30 AC	"C" FACTOR = 0.77	I-12	ZONE = T.O.D.	IMPERVIOUS = 71%
AREA = 0.05 AC	"C" FACTOR = 0.72	I-15	ZONE = T.O.D.	IMPERVIOUS = 70%
AREA = 0.73 AC	"C" FACTOR = 0.19	I-16	ZONE = T.O.D.	IMPERVIOUS = 0%
AREA = 0.14 AC	"C" FACTOR = 0.86	I-18	ZONE = T.O.D.	IMPERVIOUS = 100%
AREA = 0.14 AC	"C" FACTOR = 0.86	I-19	ZONE = T.O.D.	IMPERVIOUS = 100%
AREA = 0.16 AC	"C" FACTOR = 0.86	I-109	ZONE = T.O.D.	IMPERVIOUS = 100%

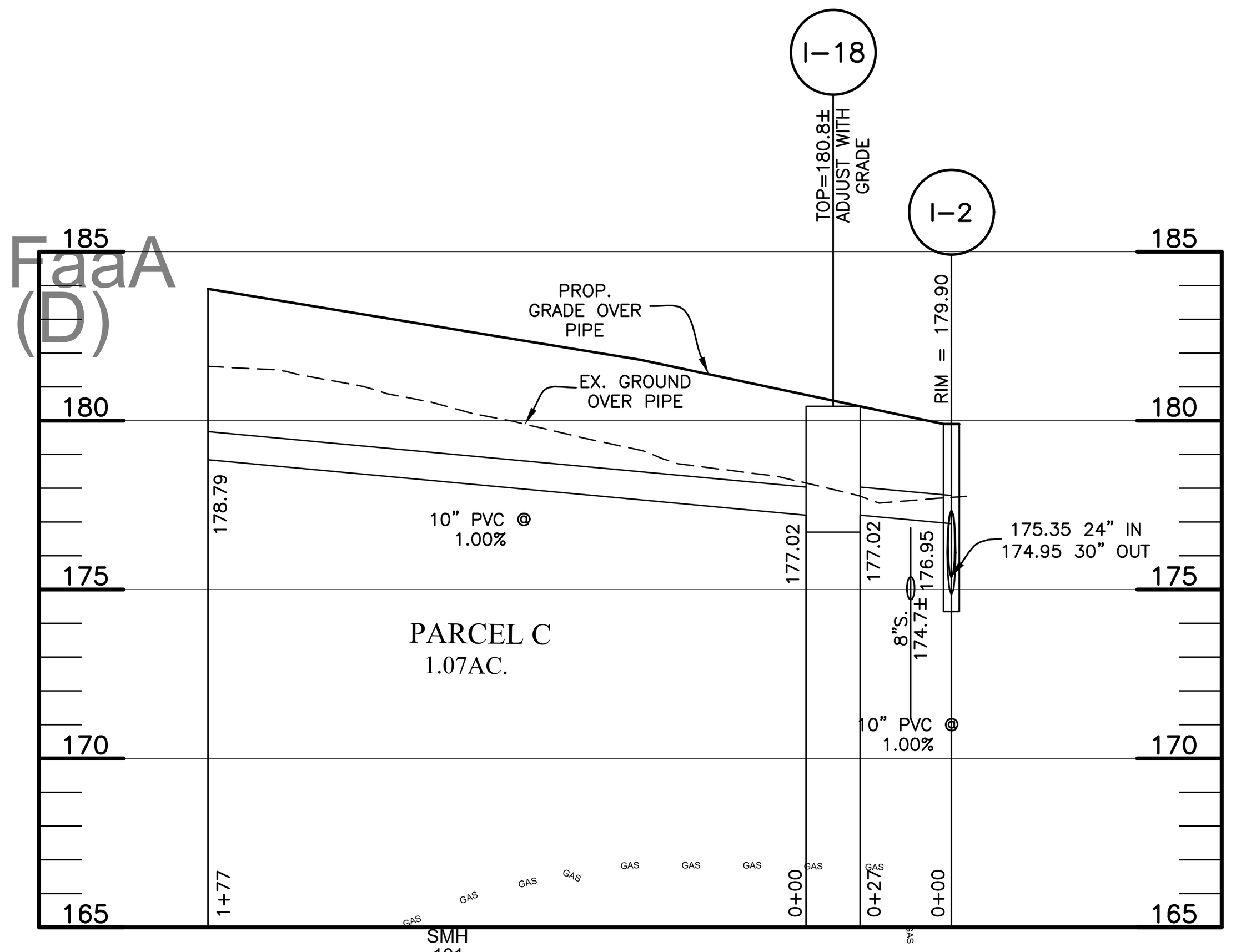


STRUCTURE TABLE

NUMBER	TYPE	LOCATION	INVERT IN	INVERT OUT	TOP ELEV.	STD. DETAIL
I-1	STORMPOD INLET	552323.2771 1379818.1798	–	174.70(15")	178.90	SEE PLAN
I-2	S	552407.5534 1379839.5147	176.95(10") 175.35(24")	174.95(30")	179.90	D-4.24
I-3	S	552501.3094 1379742.9147	177.63(10") 176.13(24")	176.03(24")	181.60	D-4.24
I-4	S	552596.7725 1379645.1979	176.92(24")	176.82(24")	181.40	D-4.24
I-5	STORMPOD INLET	552634.4281 1379626.9466	–	178.02(15")	182.50	SEE PLAN
I-8	STORMPOD INLET	552750.8216 1379719.3027	–	178.80(15")	183.20	SEE PLAN
I-10	STORMPOD INLET	552802.7731 1379845.1060	–	178.49(18")	182.30	SEE PLAN
I-12	A-10	552903.4919 1379979.6070	FUTURE 181.74(18")	181.64(18")	185.10	D-4.02
I-15	D	552907.8179 1379937.5843	–	182.40(15")	185.50	D-4.10 OPEN 4 SIDES
I-16	D	552329.8964 1379774.6431	–	172.90(15")	176.40	D-4.10 OPEN 4 SIDES
I-18	STORMPOD INLET	552382.6347 1379815.1509	177.02(10")	177.02(10")	180.8	SEE PLAN
I-19	STORMPOD INLET	552468.1748 1379710.0062	178.02(10")	178.02(10")	183.20	SEE PLAN
M-1	48" MH	552619.9603 1379627.2773	176.72(24") 177.17(15")	177.07(24")	182.00	G-5.12
M-2	48" MH	552684.7704 1379687.8825 (FUTURE)	177.27(24") 177.53(15")	177.17(24")	183.40	G-5.12
M-3	48" MH	552750.0989 1379698.7415 (FUTURE)	177.63(24") 177.73(18")	177.53(24")	183.80	G-5.12
M-4	48" MH	552735.9831 1379736.5075	177.83(18") 178.08(15")	177.73(24")	182.80	G-5.12
M-5	48" MH	552877.8907 1379969.5729	181.50(18") 181.75(15")	181.07(24")	185.20	G-5.12
M-11	48" MH	552274.4859 1379931.9412	171.80(18")	171.70(18")	176.10	G-5.12
M-12	48" MH	552290.6069 1379836.3474	172.40(15")	172.15(18")	178.87	G-5.12
M-13	48" MH	552359.9679 1379865.5609	174.58(15") 173.83(30")	173.73(30")	180.20	G-5.13
M-14	48" MH	552284.1433 1379941.9031	170.45(24") 170.95(18")	170.35(24")	177.00	G-5.12
E-2	24" CONCRETE END SECTION	552800.2937 1380053.0413	–	180.50(24")	180.70	D-5.51
I-109	STD. 10' COG/COS	552726.1687 1379441.6308	–	185.92(18")	191.61	MD-374.61
SHA M-2	SHA 48" MH	552627.9670 1379435.1693	184.95(18")	184.85(18")	CONTRACTOR TO ADJUST IN FIELD	MD-384.01
SHA M-1	SHA 48" MH	552483.7948 1379538.6242	179.73(18")	179.63(18")	CONTRACTOR TO ADJUST IN FIELD	MD-384.01



ROOF DRAIN PROFILE BLDG 1-5
SCALE: 1"=50' HORIZ., 1"=5' VERT.



ROOF DRAIN PROFILE BLDG 6-10
SCALE: 1"=50' HORIZ., 1"=5' VERT.

GRAPHIC SCALE

(IN FEET)
1 inch = 50 ft.

NO.	DATE	REVISION

BENCHMARK
ENGINEERS ▲ LAND SURVEYORS ▲ PLANNERS
ENGINEERING, INC.
3300 NORTH RIDGE ROAD ▲ SUITE 140 ▲ ELLICOTT CITY, MARYLAND 21043
(P) 410-465-6105 (F) 410-465-6644
WWW.BEI-CIVILENGINEERING.COM

Professional Certification. I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland, License No. 22390, Expiration Date: 06.30.23.

12.07.22

OWNER:
CORRIDOR SQUARE, LLC
6800 DEERPATH ROAD
ELKRIDGE, MD 21075
410.579.2442

DEVELOPER:
CORRIDOR SQUARE, LLC
6800 DEERPATH ROAD
ELKRIDGE, MD 21075
410.579.2442

CORRIDOR SQUARE
PARCEL B AND PARCEL 279
RESIDENTIAL APARTMENT BUILDINGS

TAX MAP 37 – GRID 23 – PARCELS 272 & 279
ZONED: TOD
ELECTION DISTRICT NO. 1 – HOWARD COUNTY, MARYLAND

SITE DEVELOPMENT PLAN
STORM DRAIN DRAINAGE AREA MAP

DATE: DECEMBER 2022		BEI PROJECT NO. 2695	
DESIGN: JCO	DRAFT: JCO	SCALE: 1"=50'	SHEET 9 OF 13

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

CHIEF, DIVISION OF LAND DEVELOPMENT	DATE 1/17/2023
CHIEF, DEVELOPMENT ENGINEERING DIVISION	DATE 1/17/2023
DIRECTOR	DATE 1/17/2023

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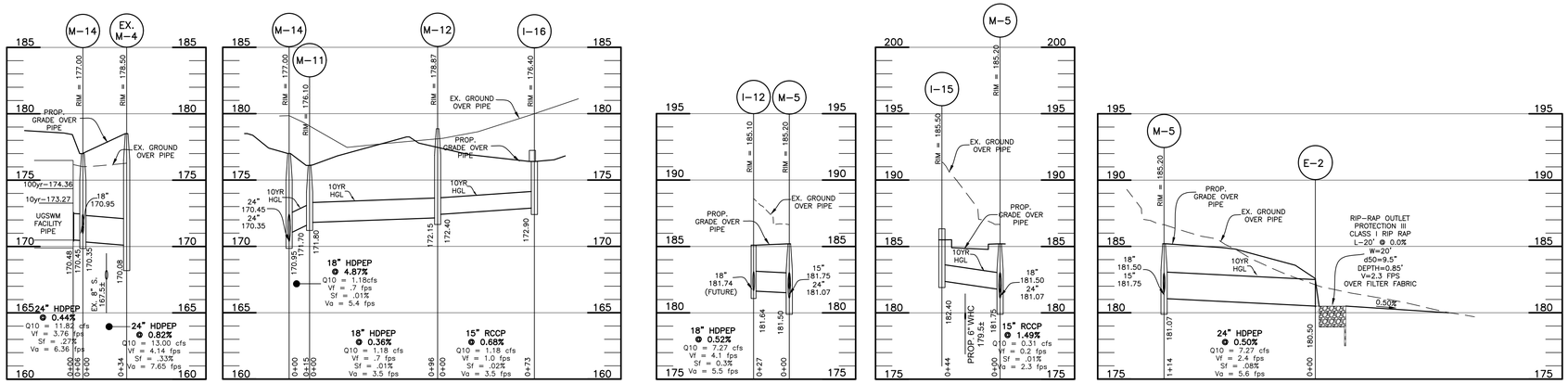
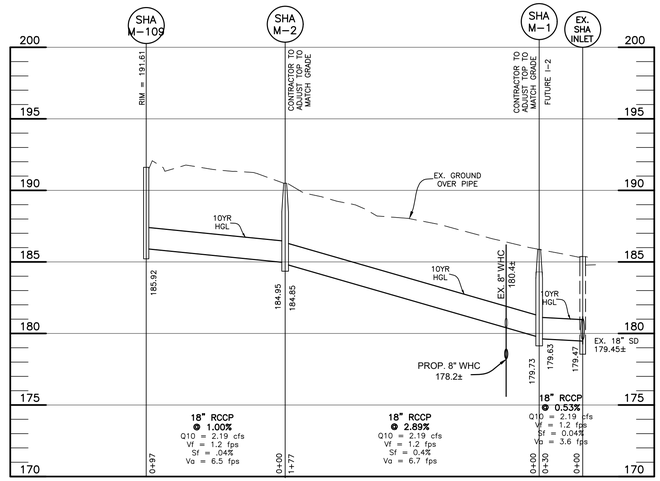
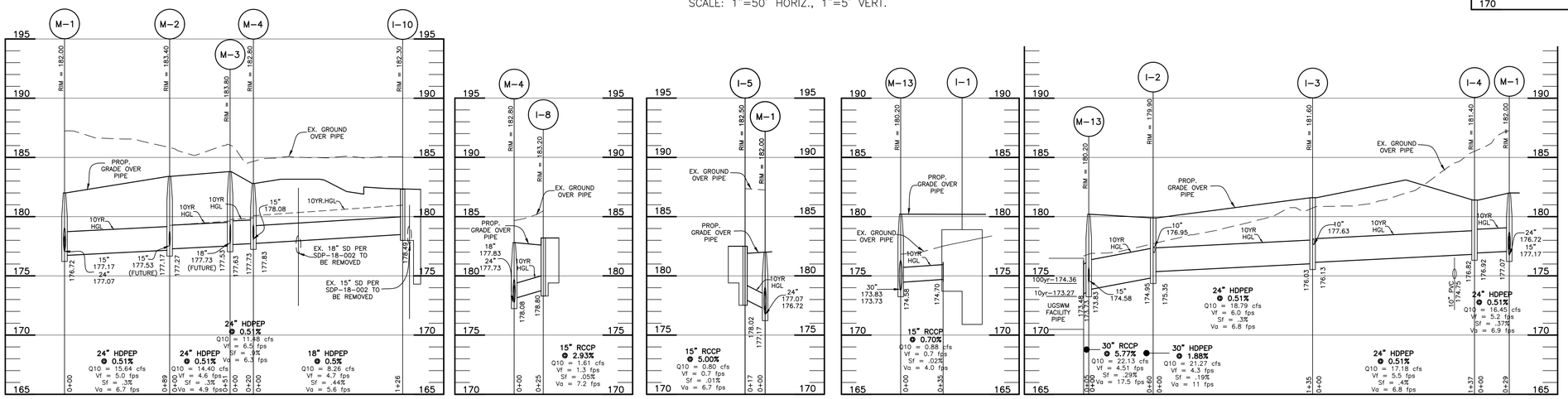


PRIVATE STORM DRAIN PROFILE
SCALE: 1"=50' HORIZ., 1"=5' VERT.



(STORMDRAIN WITHIN SHE R/W)
SHA BONDED STORM DRAIN PROFILE
SCALE: 1"=50' HORIZ., 1"=5' VERT.



PRIVATE STORM DRAIN PROFILE
SCALE: 1"=50' HORIZ., 1"=5' VERT.

GRAPHIC SCALE

50 0 25 50 100 200

(IN FEET)
1 inch = 50 ft.

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

DocuSigned by: Chad Edmondson 1/17/2023	
CHIEF, DEVELOPMENT ENGINEERING DIVISION	DATE
DocuSigned by: 1/17/2023	
CHIEF, DIVISION OF LAND DEVELOPMENT	DATE
DocuSigned by: Amy Gowan 1/17/2023	
DIRECTOR	DATE

NO.	DATE	REVISION

BENCHMARK
ENGINEERS ▲ LAND SURVEYORS ▲ PLANNERS
ENGINEERING, INC.
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Professional Certification. I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland, License No. 22390, Expiration Date: 06.30.23.

STEPHEN A. MILLARD — 22390 — PROFESSIONAL ENGINEER

12.07.2022

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DEVELOPER:
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ELKRIDGE, MD 21075
410.579.2442

CORRIDOR SQUARE
PARCEL B AND PARCEL 279
RESIDENTIAL APARTMENT BUILDINGS

TAX MAP 37 – GRID 23 – PARCELS 272 & 279
ZONED: TOD
ELECTION DISTRICT NO. 1 – HOWARD COUNTY, MARYLAND

SITE DEVELOPMENT PLAN
STORM DRAIN PROFILES

DESIGN: JCO	DRAFT: JCO	DATE: DECEMBER 2022	BEI PROJECT NO. 2695
		SCALE: 1"=50'	SHEET 10 OF 13

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MEADOWRIDGE ROAD
U.S ROUTE 1 (WASHINGTON BLVD)
GRID NORTH
DIRECT ACCESS TO AND FROM ROUTE 1, WHICH DOES NOT INCLUDE BARNETT LANE, WILL BE REQUIRED WHEN THE NEW SDP IS SUBMITTED FOR THE COMMERCIAL USE OF PARCEL B.
PROVIDE BARRIERS AT EXISTING ENTRANCE
PARCEL 279
MEADOWRIDGE CEMETERY
CORRIDOR SQUARE PARCEL B
CORRIDOR SQUARE, LLC L 16664, F 358 ZONED TOD
BC-4
BC-6
BC-8
BC-3
BC-2
BC-1A BC-1B
BARNETT LANE
EXISTING REFINERY APARTMENT BUILDING
EXISTING CORRIDOR SQUARE PARCEL A SDP-18-002
BLDG 1
BLDG 4
BLDG 5
BLDG 6
BLDG 7
BLDG 9
BLDG 10
SWM-3
UGSWF FACILITY
SWM-4
DORSEY ROAD (MD 103)
THERE ARE NO INDIVIDUAL GRAVE SITES WITHIN 10' OF THE LIMIT OF DISTURBANCE IN THIS AREA
RIP-RAP OUTLET PROTECTION III CLASS I RIP RAP L=20' @ 0.0% W=20' d50=9.5" DEPTH=2.7' V=0.42FPS "NO ADVERSE IMPACTS TO ADJACENT PROPERTIES"
HOWARD COUNTY CEMETERY SITE NO. 37-9
HOWARD COUNTY HISTORICAL SITE NO. HO-829
PROPERTY OF MEMORIAL LLC TAX MAP NO 37, PARCEL 107 L 16694, F 284 ZONED TOD
PRIVATE 20' GRADING & UTILITY EASEMENT
PARCEL C 1.07AC.
EX. MDOT BMP# 130421 (POND #5)
GRAPHIC SCALE
(IN FEET)
1 inch = 50 ft.
LEGEND
EXISTING CONTOURS
EXISTING TREELINE
PROPOSED TREELINE
EXISTING BUILDING
PROPOSED PAVING
ESD DRAINAGE AREA
PROPOSED STORM DRAIN
ESD FACILITY
SOILS BOUNDARY

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

CHIEF, DIVISION OF LAND DEVELOPMENT	1/17/2023
CHIEF, DEVELOPMENT ENGINEERING DIVISION	DATE 1/17/2023
DIRECTOR	DATE 1/17/2023

NO.	DATE	REVISION

BENCHMARK ENGINEERING, INC.
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CORRIDOR SQUARE
PARCEL B AND PARCEL 279
RESIDENTIAL APARTMENT BUILDINGS

TAX MAP 37 – GRID 23 – PARCELS 272 & 279
ZONED: TOD
ELECTION DISTRICT NO. 1 – HOWARD COUNTY, MARYLAND

SITE DEVELOPMENT PLAN STORMWATER MANAGEMENT DRAINAGE AREA MAP AND DETAILS

DATE: DECEMBER 2022	BEI PROJECT NO. 2695
DESIGN: JCO / DRAFT: JCO / SCALE: AS SHOWN	SHEET 11 OF 13

J:\2695 Gunter Properties\dwg\PARCEL B\8000V3a.dwg, 12/7/2022 8:55:21 AM

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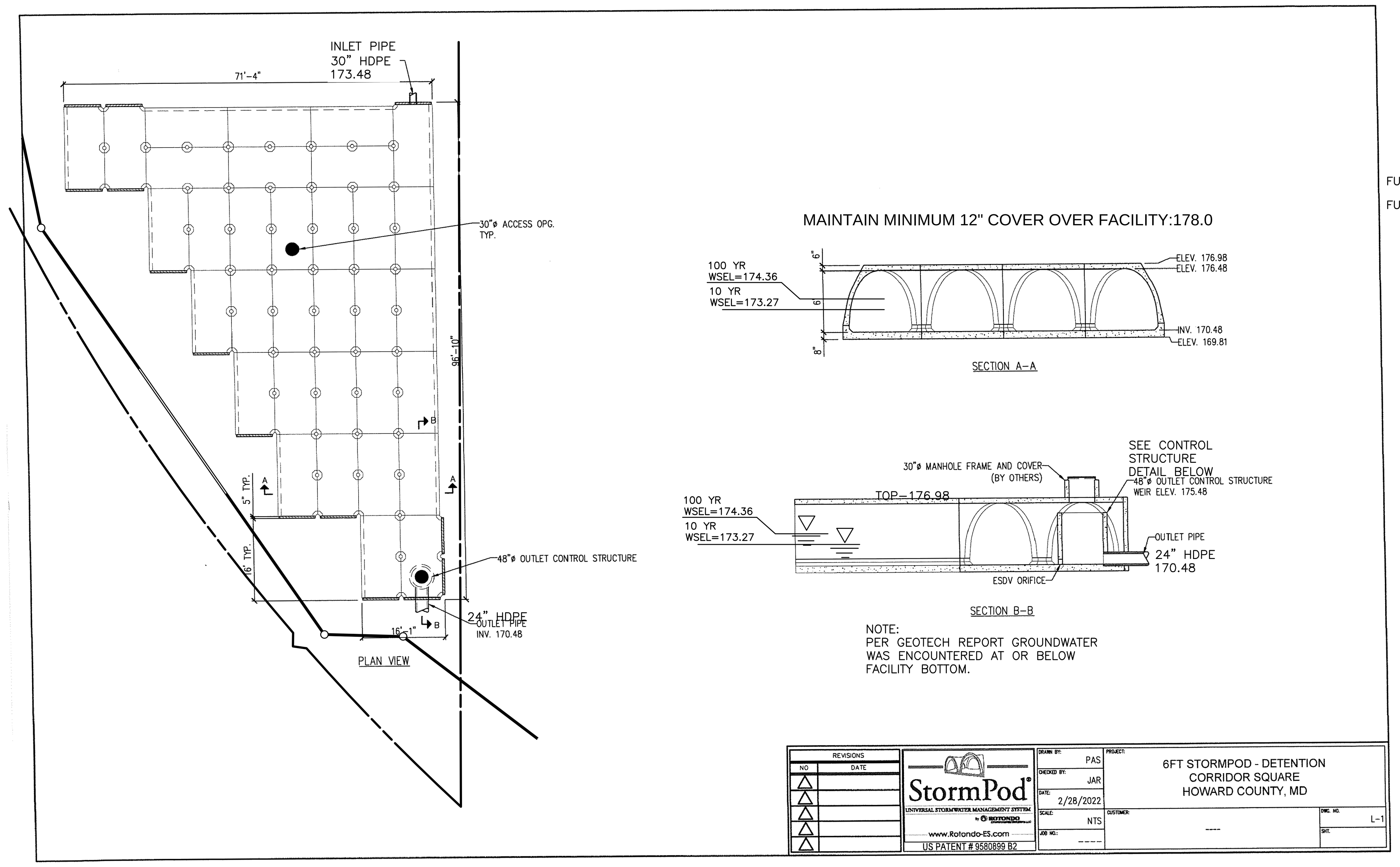
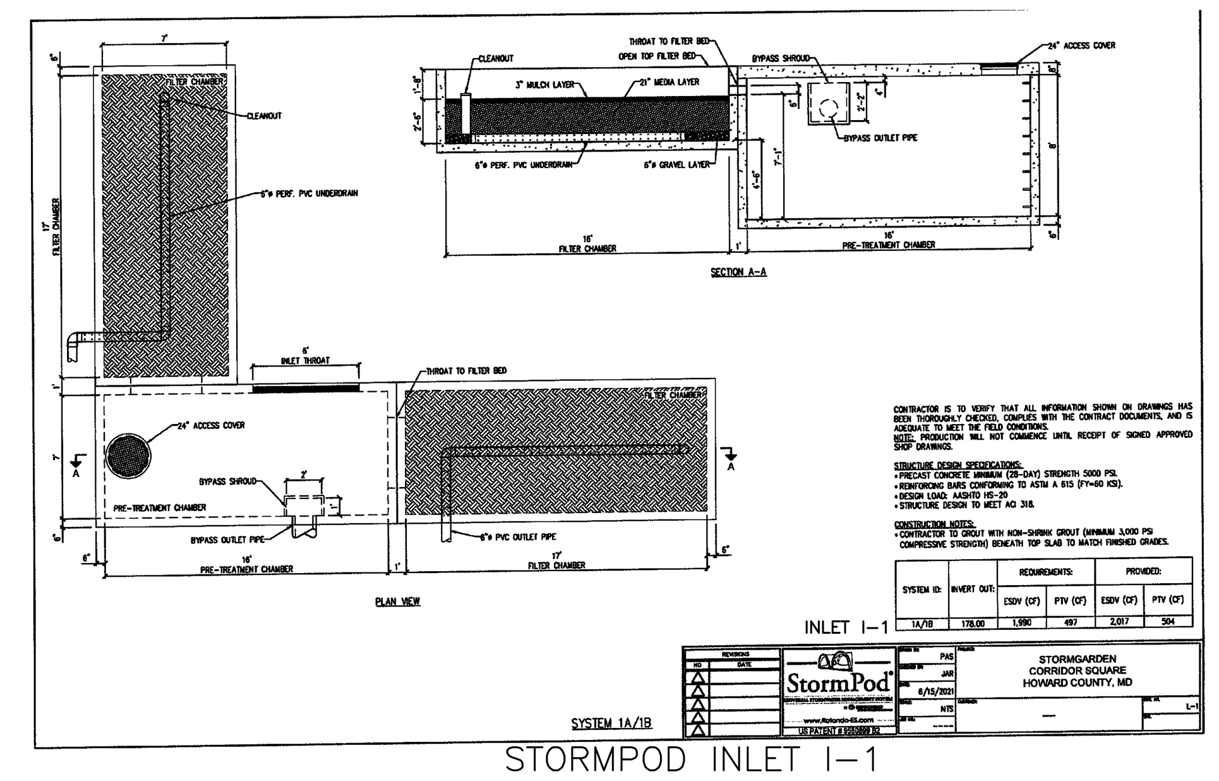


STORAGE CHAMBER DETAILS–BY OTHERS

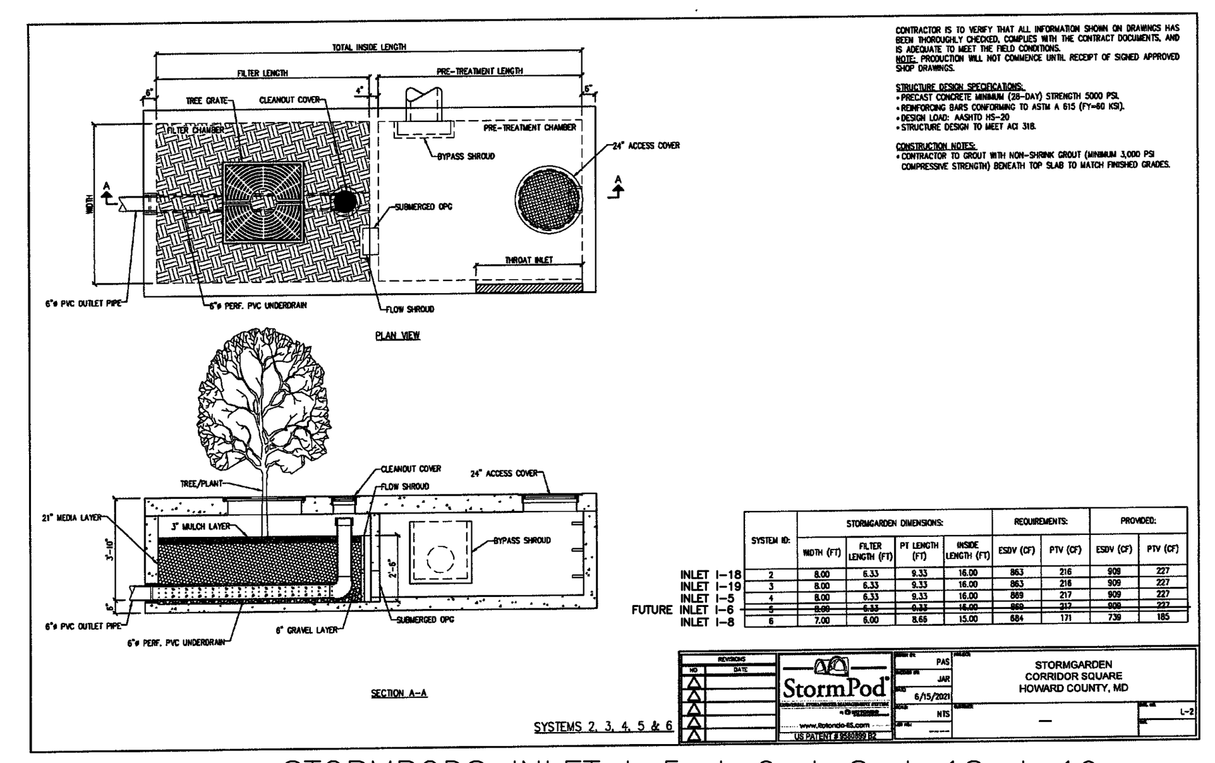
NO SCALE

INLET NO.		REQUIRED ESDv	REQUIRED PTv	PROVIDED ESDv	PROVIDED PTv	STORMGARDEN DIMENSIONS Width	Total Filter Length	Filter Chamber Inside Height (In.)	PT Length	PT Chamber Inside Height (In.)	Total Length (Outside)
I–1	BC-1A/1B*	3,979	995	4,008	1,002	7.00	34.00	42.00	16.00	96.00	53.00
I–18	BC-2	863	216	909	227	8.00	6.33	STANDARD	9.33	STANDARD	17.0
I–19	BC-3	863	216	909	227	8.00	6.33	STANDARD	9.33	STANDARD	17.0
I–5	BC-4	869	217	909	227	8.00	6.33	STANDARD	9.33	STANDARD	17.0
FUTURE ~~I–6~~	~~BC-5~~	~~869~~	~~217~~	~~909~~	~~227~~	~~8.00~~	~~6.33~~	~~STANDARD~~	~~9.33~~	~~STANDARD~~	~~17.0~~ FUTURE
I–8	BC-6	684	171	739	185	7.00	6.00	STANDARD	8.66	STANDARD	16.0
FUTURE ~~I–9~~	~~BC-7~~	~~1,829~~	~~457~~	~~1,833~~	~~458~~	~~8.00~~	~~13.00~~	~~38.00~~	~~7.00~~	~~96.00~~	~~22.0~~ FUTURE
I–10	BC-8	1,496	374	1,587	397	8.00	11.00	38.00	6.00	96.00	19.0

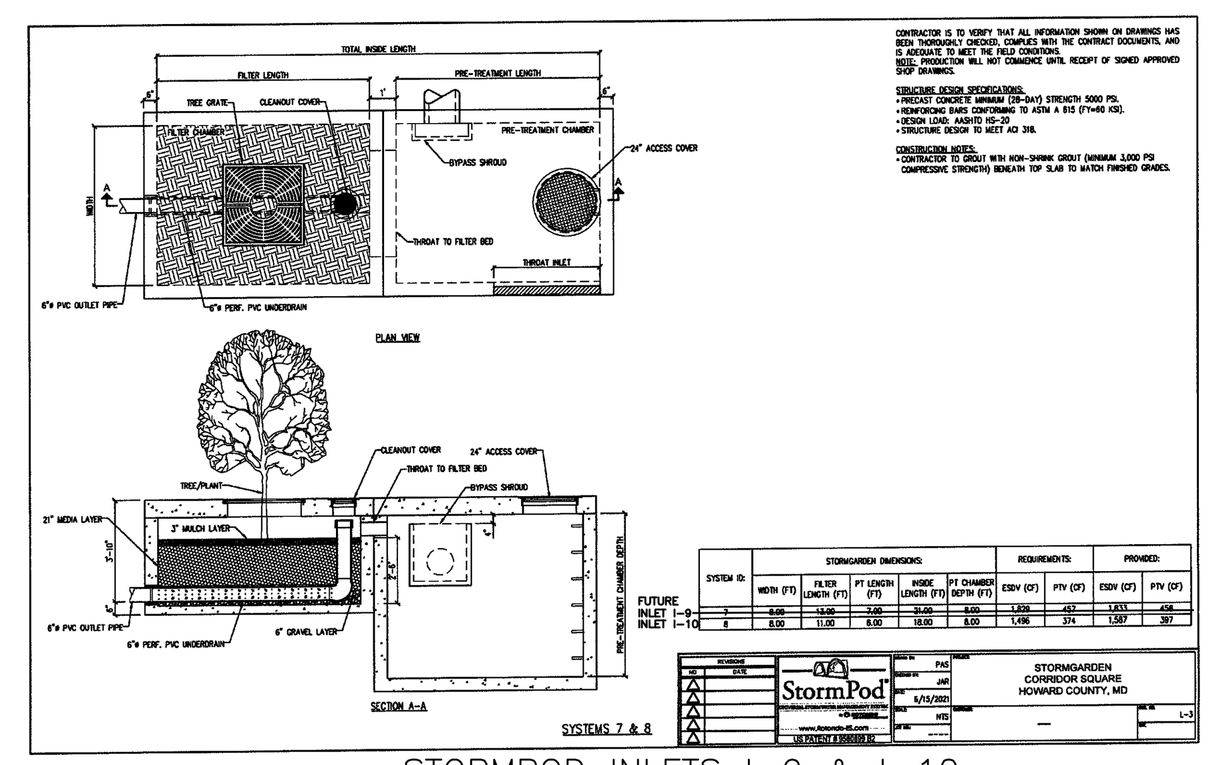
* BC-1A & BC-1B combined into single system with 2 Filter Chambers flanking a single PT Chamber



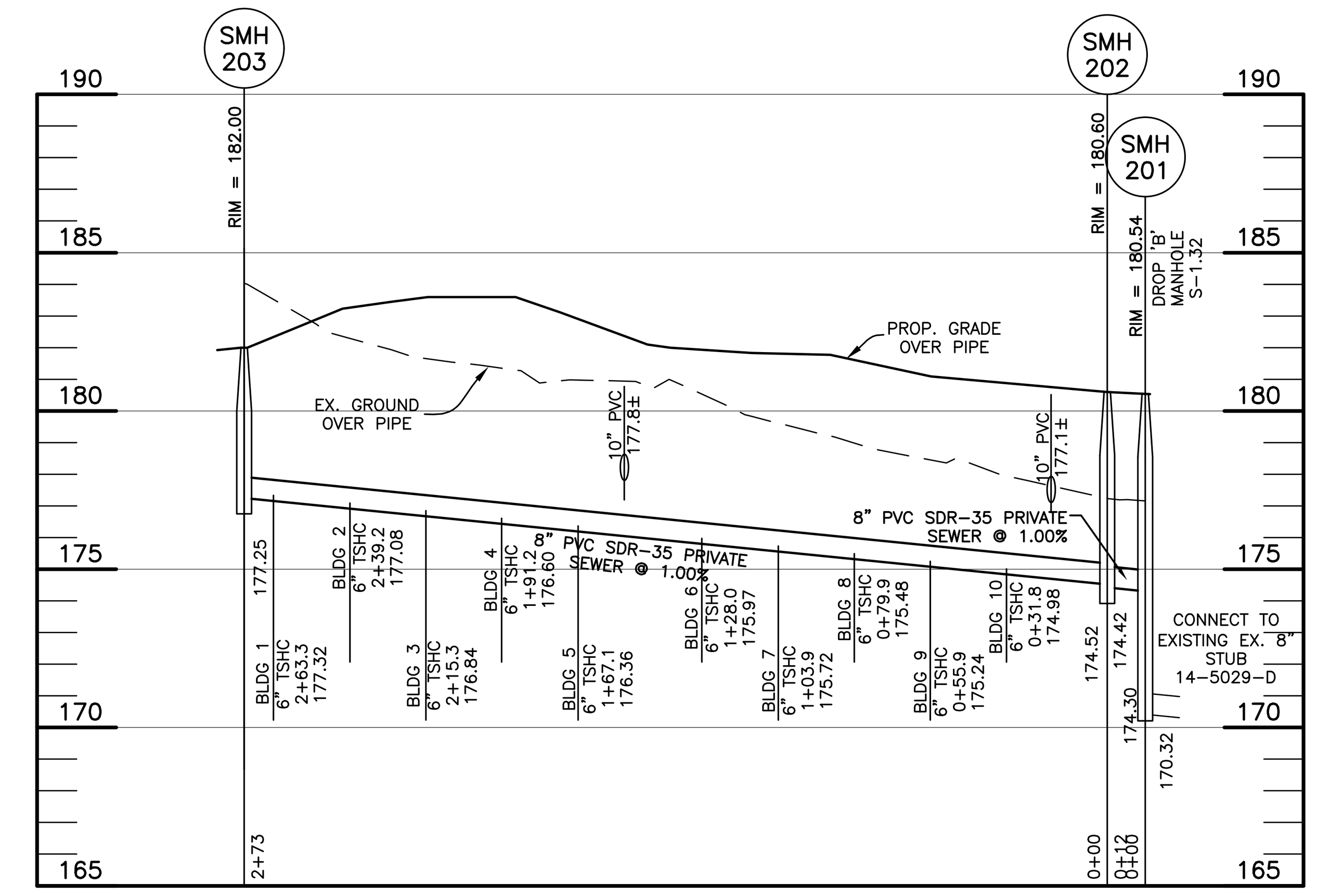
STORMPOD INLET I–1



STORMPODS INLET I–5, I–6, I–8, I–18, I–19



STORMPOD INLETS I–9 & I–10



PRIVATE SEWER PROFILE

SCALE: 1"=50' HORIZ., 1"=5' VERT.

OPERATION AND MAINTENANCE SCHEDULE FOR PRIVATELY OWNED AND MAINTAINED UNDERGROUND STORMWATER DETENTION FACILITY

ROUTINE MAINTENANCE:
1. FACILITY SHALL BE INSPECTED ANNUALLY AND AFTER MAJOR STORMS. INSPECTIONS SHALL BE PERFORMED DURING WET WEATHER TO DETERMINE IF THE FACILITY IS FUNCTIONING PROPERLY.
2. DEBRIS AND LITTER SHALL BE REMOVED DURING REGULAR INSPECTIONS AND AS NEEDED.
3. ANY DETERIORATION IN MATERIAL AND/OR VISIBLE SIGNS OF EROSION IN THE RIPRAP OUTLET AREA SHALL BE REPAIRED AS SOON AS IT IS NOTICED.

NON – ROUTINE MAINTENANCE:
1. STRUCTURAL COMPONENTS OF THE FACILITY SUCH AS THE PIPES, THE RISERS, AND THE OUTFALL PIPES SHALL BE REPAIRED UPON THE DETECTION OF ANY DAMAGE. THE COMPONENTS SHALL BE INSPECTED DURING ROUTINE MAINTENANCE OPERATIONS.
2. SEDIMENT SHALL BE REMOVED FROM THE FACILITY WHEN THE ACCUMULATIONS MEET A DEPTH OF SIX INCHES (6").

UNDERGROUND STORMWATER MANAGEMENT FACILITY NOTES:

1. ALL PIPE CONNECTIONS SHALL BE WATERPROOF/GASEKETED.
2. CONTRACTOR SHALL ENSURE THAT DEBRIS SHALL BE KEPT FROM ENTERING THE SYSTEM DURING THE SITE CONSTRUCTION PERIOD.
3. POST CONSTRUCTION, THE OWNER SHALL ENSURE THAT TRASH AND DEBRIS DOES NOT ENTER THE FACILITY.
4. RISERS SHALL BE 48" DIAMETER AND ACCESS COVERS SHALL HAVE 30" COVERS
5. STONE BASE BELOW PIPES SHALL BE A MINIMUM OF 12".
6. A TRASH RACK SHALL BE PROVIDED FOR THE 'LOW FLOW' 20" ORIFACE. THE TRASH RACK SHALL BE 2.5' HIGH AND 2.5' WIDE, AND SHALL BE GALVANIZED AND PAINTED BATTLESHIP GRAY.

*BENCHMARK ENGINEERING, INC. SIGNATURE/SEAL IS FOR CONFIRMATION THAT THE STORMPOD PRECAST DESIGN MEETS THE VOLUME REQUIREMENTS FOR THE STORMWATER MANAGEMENT. CONTRACTOR SHALL OBTAIN SEALED SHOP DRAWINGS FROM STORMPOD PRECASTER BEFORE ORDERING STRUCTURES AND CONSTRUCTION COMMENCES.

10-100 Year Management:

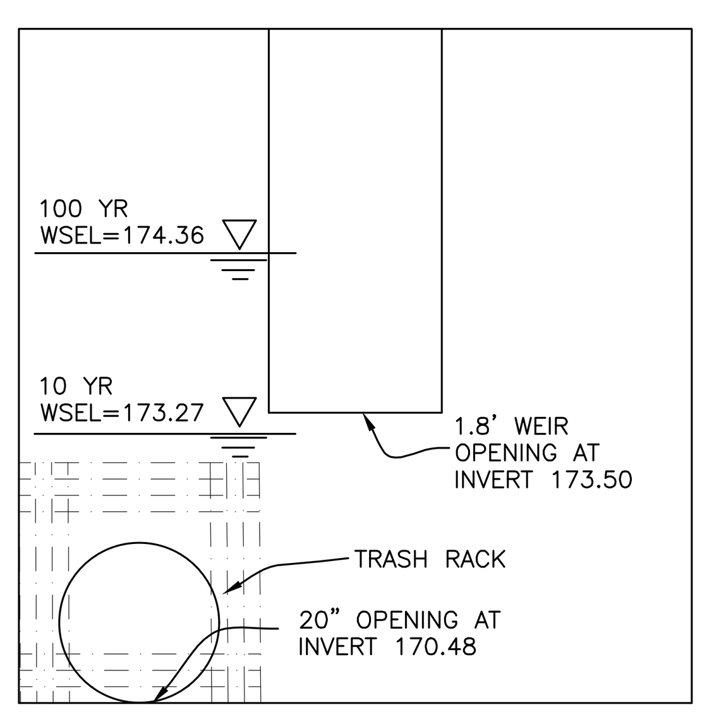
Underground storage chambers with control structure to manage the storms

EX. 10YR RUNOFF: 15.48 CFS
DEV. 10 RUNOFF W/SWM: 11.82 CFS

EX. 100YR RUNOFF: 22.59 CFS
DEV. 100YR RUNOFF W/SWM: 18.47 CFS

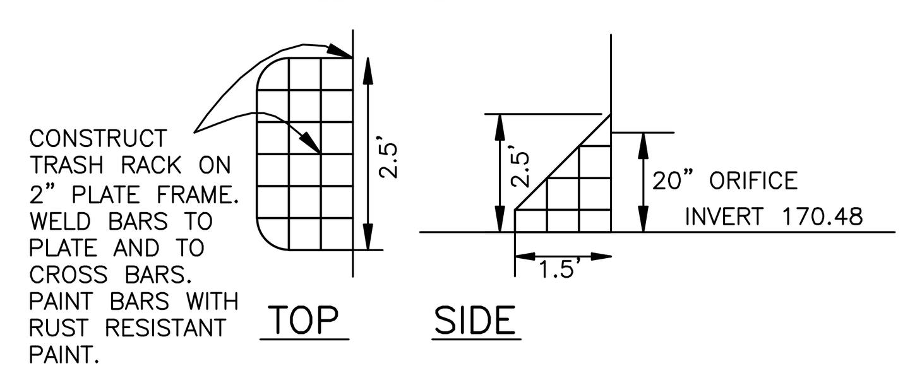
10YR STORAGE: 9,934 CF @ 173.27
100YR STORAGE: 13,846 CF @ 174.36

Based on the results of the stormwater management for this site we are managing the respected storms as well as reducing the anticipated runoff assumed under SDP-18-002 for Parcel B. Under SDP-18-002 the 10 year storm within the storm drain system was computed to be 22.90 cfs. With the provided UGSWMF for this site it is now computed as 19.2 cfs. With the reduction in runoff there will no adverse affects to any existing down stream conditions.



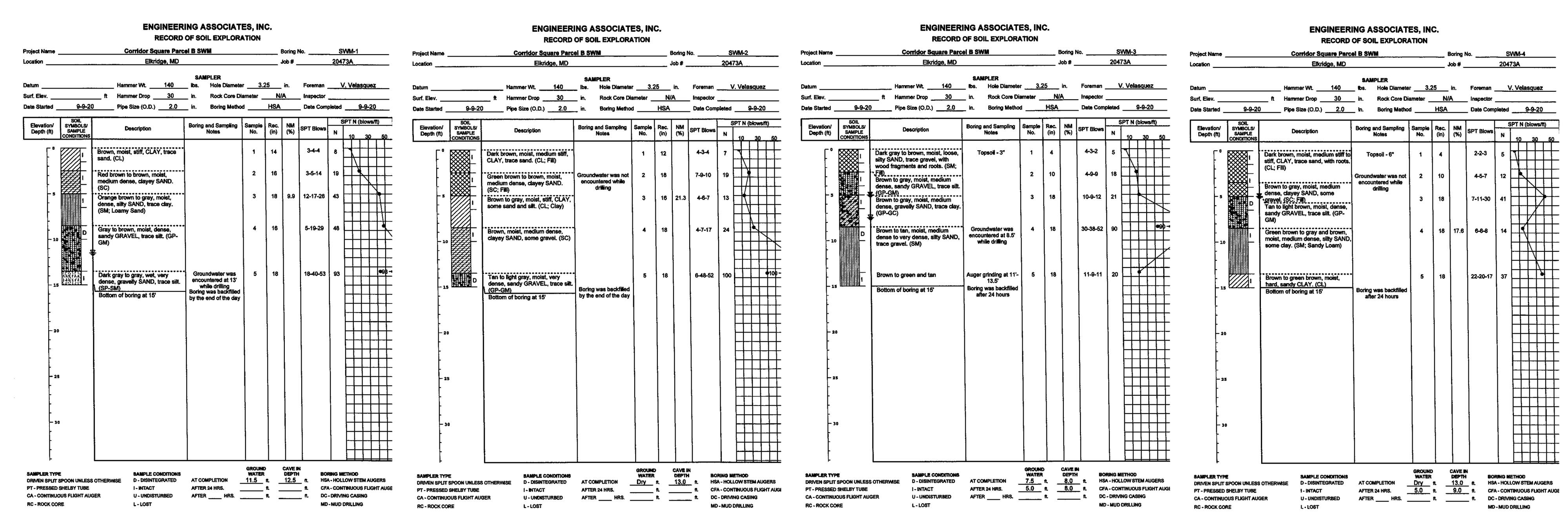
OUTLET CONTROL STRUCTURE DETAIL

SCALE: 1"=2'



TRASH RACK DETAIL

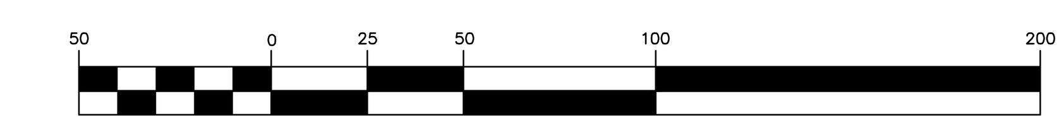
NOT TO SCALE



STORMWATER MANAGEMENT BORINGS

BORING PROVIDED BY HILLIS-CARNES

GRAPHIC SCALE



(IN FEET)
1 inch = 50 ft.

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

DocuSigned by: 1EB75478A22B49A... 1/17/2023
CHIEF, DIVISION OF LAND DEVELOPMENT — DATE

DocuSigned by: CHAD Edmondson 7063F754EF41499... 1/17/2023
CHIEF, DEVELOPMENT ENGINEERING DIVISION — DATE

DocuSigned by: Amy Gowan 5B4D5DD9470C4D4... 1/17/2023
DIRECTOR — DATE

NO.	DATE	REVISION

BENCHMARK
ENGINEERS ▲ LAND SURVEYORS ▲ PLANNERS
ENGINEERING, INC.
3300 NORTH RIDGE ROAD ▲ SUITE 140 ▲ ELLICOTT CITY, MARYLAND 21043
(P) 410-465-6105 (F) 410-465-6644
WWW.BEI-CIVILENGINEERING.COM

Professional Certification. I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland, License No. 22390, Expiration Date: 06.30.23.

STATE OF MARYLAND — CHRISTOPHER A. MALAGARI — 22390 — PROFESSIONAL ENGINEER
C. Malagari 12.07.2022

OWNER:
CORRIDOR SQUARE, LLC
6800 DEERPATH ROAD
ELKRIDGE, MD 21075
410.579.2442

DEVELOPER:
CORRIDOR SQUARE, LLC
6800 DEERPATH ROAD
ELKRIDGE, MD 21075
410.579.2442

CORRIDOR SQUARE
PARCEL B AND PARCEL 279
RESIDENTIAL APARTMENT BUILDINGS

TAX MAP 37 – GRID 23 – PARCELS 272 & 279
ZONED: TOD
ELECTION DISTRICT NO. 1 – HOWARD COUNTY, MARYLAND

SITE DEVELOPMENT PLAN STORMWATER MANAGEMENT DETAILS AND UTILITY PROFILES

DESIGN: JCO	DRAFT: JCO	DATE: DECEMBER 2022	BEI PROJECT NO. 2695
		SCALE: AS SHOWN	SHEET 12 OF 13

SDP-21-051

Home Site	**BLDG 1**	**BLDG 2**	**BLDG 3**	**BLDG 4**	**BLDG 5**
Interior / End Unit	**End Unit**	**Interior Unit**	**Interior Unit**	**Interior Unit**	**End Unit**
Plan Orientation	**Standard (Front Door Right)**	**Reverse (Front Door Left)**	**Reverse (Front Door Left)**	**Reverse (Front Door Left)**	**Reverse (Front Door Left)**
FRONT ELEVATION: Elevation #	**6CE**	**4B**	**5C**	**3B**	**2CE**

FRONT APARTMENT BUILDING ELEVATIONS (BUILDINGS 1–5)
NTS

Home Site	**BLDG 5**	**BLDG 4**	**BLDG 3**	**BLDG 2**	**BLDG 1**
Interior / End Unit	**End Unit**	**Interior Unit**	**Interior Unit**	**Interior Unit**	**End Unit**
Plan Orientation	**Reverse (Front Door Left)**	**Reverse (Front Door Left)**	**Reverse (Front Door Left)**	**Reverse (Front Door Left)**	**Standard (Front Door Right)**
FRONT ELEVATION: Elevation #	**2CE**	**3B**	**5C**	**4B**	**6CE**

REAR APARTMENT BUILDING ELEVATIONS (BUILDINGS 1–5)
NTS

Home Site	**BLDG 6**	**BLDG 7**	**BLDG 8**	**BLDG 9**	**BLDG 10**
Interior / End Unit	**End Unit**	**Interior Unit**	**Interior Unit**	**Interior Unit**	**End Unit**
Plan Orientation	**Standard (Front Door Right)**	**Reverse (Front Door Left)**	**Reverse (Front Door Left)**	**Reverse (Front Door Left)**	**Reverse (Front Door Left)**
FRONT ELEVATION: Elevation #	**6CE**	**4B**	**5C**	**3B**	**2CE**

FRONT APARTMENT BUILDING ELEVATIONS (BUILDINGS 6–10)
NTS

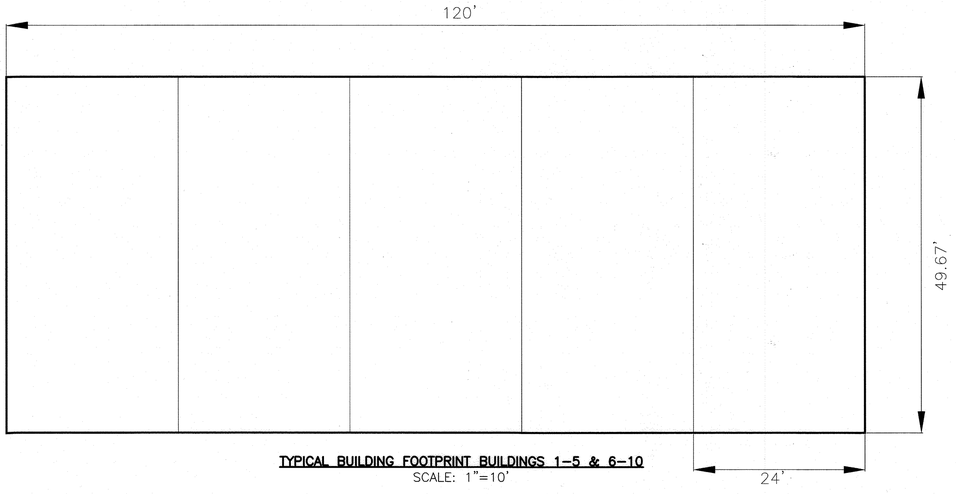
Home Site	**BLDG 10**	**BLDG 9**	**BLDG 8**	**BLDG 7**	**BLDG 6**
Interior / End Unit	**End Unit**	**Interior Unit**	**Interior Unit**	**Interior Unit**	**End Unit**
Plan Orientation	**Reverse (Front Door Left)**	**Reverse (Front Door Left)**	**Reverse (Front Door Left)**	**Reverse (Front Door Left)**	**Standard (Front Door Right)**
FRONT ELEVATION: Elevation #	**2CE**	**3B**	**5C**	**4B**	**6CE**

REAR APARTMENT BUILDING ELEVATIONS (BUILDINGS 6–10)
NTS

GRAPHIC SCALE

10 0 5 10 20 40

(IN FEET)
1 inch = 10' ft.



TYPICAL BUILDING FOOTPRINT BUILDINGS 1–5 & 6–10
SCALE: 1"=10'

THIS SHEET REPLACES SHEET 13 SDP-21-051

NO.	DATE	REVISION
1	9.27.23	REVISED UNIT TYPE

BENCHMARK
ENGINEERS ▲ LAND SURVEYORS ▲ PLANNERS
ENGINEERING, INC.
3300 NORTH RIDGE ROAD ▲ SUITE 140 ▲ ELLICOTT CITY, MARYLAND 21043
(P) 410-465-6105 (F) 410-465-6644
WWW.BEI-CIVILENGINEERING.COM

Professional Certification. I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland, License No. 22390, Expiration Date: 06.30.25

STATE OF MARYLAND — CHRISTOPHER A. MILLER — 22390 — REGISTERED PROFESSIONAL ENGINEER

9-27-23

OWNER:
CORRIDOR SQUARE, LLC
6800 DEERPATH ROAD
ELKRIDGE, MD 21075
410.579.2442

DEVELOPER:
CORRIDOR SQUARE, LLC
6800 DEERPATH ROAD
ELKRIDGE, MD 21075
410.579.2442

CORRIDOR SQUARE
PARCEL B AND PARCEL 279
RESIDENTIAL APARTMENT BUILDINGS

TAX MAP 37 – GRID 23 – PARCELS 272 & 279
ZONED: TOD
ELECTION DISTRICT NO. 1 – HOWARD COUNTY, MARYLAND

REVISED SITE DEVELOPMENT PLAN
BUILDING ELEVATION PLAN

DATE:	SEPTEMBER 2023	BEI PROJECT NO.	2695
SCALE:	AS SHOWN	SHEET	13 OF 13
DESIGN: JCO	DRAFT: JCO		

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

CHIEF, DIVISION OF LAND DEVELOPMENT — 10/23/23 DATE

CHIEF, DEVELOPMENT ENGINEERING DIVISION — 10/13/23 DATE

APPROVED: Howard County Department of Planning and Zoning
DIRECTOR — 10/23/23

SDP-21-051

J:\2695 Gunter Properties\dwg\PARCEL B\8000V3REDLINE.dwg, 9/27/2023 10:57:55 AM