GENERAL NOTES

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF HOWARD COUNTY PLUS MSHA STANDARDS AND SPECIFICATIONS IF APPLICABLE.

- THE CONTRACTOR SHALL NOTIFY THE DEPARTMENT OF PUBLIC WORKS, BUREAU OF ENGINEERING, CONSTRUCTION INSPECTION DIVISION AT (4IO) 313-1880 AT LEAST FIVE (5) WORKING DAYS PRIOR
- 3. THE CONTRACTOR SHALL NOTIFY THE HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS, BUREAU OF UTILITIES AT (410) 313-4900 AT LEAST FIVE (5) DAYS PRIOR TO STARTING ANY EXCAVATION WORK.
- THE CONTRACTOR SHALL NOTIFY "MISS UTILITY" AT I-800-257-7777 AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION WORK BEING DONE.
- PROJECT BACKGROUND: TAX MAP #42, GRID 3 LOCATION: ELECTION DISTRICT: PARCEL AREA: RECORDING REFERENCE: PLAT NO. 6513
- PROPOSED USE: RESTAURANT (BUILDING B)
- ALL PLAN DIMENSIONS ARE TO FACE OF BUILDING AND/OR FACE OF CURB UNLESS OTHERWISE NOTED. DIMENSIONS ARE MEASURED PERPENDICULAR OR RADIALLY BETWEEN ITEMS UNLESS
- 3. EXISTING TOPOGRAPHY IS SHOWN PER FIELD RUN SURVEY PERFORMED BY GUTSCHICK, LITTLE \$ WEBER, P.A. IN NOVEMBER 2020 WITHIN THE LIMIT OF SUBMISSION AS WELL AS GRADES TAKEN FROM DESIGN PLANS FOR CONSTRUCTION AND HOWARD COUNTY GIS.
- PLANS WERE PREPARED USING THE FOLLOWING SURVEY DATUMS: HORIZONTAL DATUM IS PER THE RECORDED PLAN (PN 6513). VETICAL DATUM IS BASED ON TEH FLOOR ELEVATION OF THE EXISTING BUILDING (302.00) PER SDP-86-27
- PROPERTY IS ZONED NT PER THE 10/06/13 COMPREHENSIVE ZONING PLAN.
- PREVIOUS DEPARTMENT OF PLANNING & ZONING FILE NUMBERS: FDP-125-A, SDP-86-027, & ECP-21-028
- PROPOSED WATER AND SEWER EXTENSIONS ARE PUBLIC PER ADO #9871 BROKEN LAND PARKWAY APPROVED ON SEPTEMBER 9, 2021.
- 13. EXISTING WATER AND SEWER IS PER CONTRACT #24-1406-D.
- 14. ALL EXISTING PRIVATE STORM DRAIN ON-SITE IS PER SDP-86-027.
- 15. STORMWATER MANAGEMENT FOR QUALITY AND QUANTITY CONTROL IS BEING PROVIDED IN THE FOLLOWING MANNER:
- STORMCEPTOR (PRIVATELY OWNED AND MAINTAINED) PERMEABLE PAVEMENT (PRIVATELY OWNED AND MAINTAINED)
- LOCATION BY GUTSCHICK, LITTLE & WEBER, P.A.

16. EXISTING UTILITIES ARE BASED ON APPROVED DESIGN PLANS FOR CONSTRUCTION AND FIELD

- 17. THERE ARE NO KNOWN CEMETERIES, GRAVE SITES OR HISTORIC STRUCTURES LOCATED ON THE
- 18. THERE ARE NO SCENIC ROADS WITHIN OR ADJACENT TO THE SUBJECT PROPERTY.
- 19. THERE ARE NO FLOODPLAINS ON THIS SITE WITHIN THE LIMIT OF SUBMISSION
- 20. THERE ARE NO WETLANDS ON THE SITE.
- 21. THIS PROPERTY IS WITHIN THE METROPOLITAN DISTRICT.
- 22. BUILDING SETBACKS AND BUILDING RESTRICTIONS ARE PER F-125-A.
- 23. BECAUSE THIS PLAN SUBMISSION IS NON-RESIDENTIAL, A NOISE STUDY IS NOT REQUIRED.
- 24. THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE NEW TOWN ALTERNATIVE COMPLIANCE PROVISIONS OF SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE HOWARD COUNTY LANDSCAPE MANUAL. AN APPLICATION WAS SUBMITTED TO A.R.C. IN JUNE, 2021 AND APPROVED ON SEPTEMBER 22, 2021, A LANDSCAPE SURETY IN THE AMOUNT OF \$17,130.00 WILL BE POSTED AS PART OF THE DPW DEVELOPER AGREEMENT. SEE SHEET 12 FOR DETAILS.
- 25. THERE ARE NO NEW SITE LIGHTS PROPOSED AT THIS TIME. EXISTING PARKING LOT LIGHTS ARE TO REMAIN OR ARE TO BE RELOCATED. ALL EXTERIOR LIGHT FIXTURES SHALL BE FULLY OR PARTIALLY SHIELDED TO DIRECT LIGHT INWARDS AND DOWNWARDS AWAY FROM ALL ADJOINING RESIDENTIAL USE AREAS AND PUBLIC ROADS IN ACCORDANCE WITH SECTION 134 OF THE HOWARD COUNTY ZONING
- THIS PLAN COMPLIED WITH THE REQUIREMENTS OF SECTION 16.1200 OF THE HOWARD COUNTY CODE FOR FOREST CONSERVATION BY THE PAYMENT OF A FEE-IN-LIEU OF FOREST CONSERVATION. THE FEE-IN-LIEU IS \$2,951.63. SEE SHEET I3 FOR FEE COMPUTATION
- A TRAFFIC STUDY WAS COMPLETED BY THE TRAFFIC GROUP ON FEBRUARY 22 2021 AND APPROVED ON JULY 12, 2021. THE FOLLOWING IS THE SUMMARY OF FINDINGS. THIS STUDY SHOWS THAT TWO OF THE THREE INTERSECTIONS ARE PROJECTED TO MAINTAIN ACCEPTABLE LEVELS OF SERVICE DURING BOTH THE WEEKDAY MORNING AND EVENING PEAK HOURS. DURING THE WEEKDAY MORNING PEAK HOUR, ALL THREE STUDY INTERSECTIONS ARE PROJECTED TO OPERATE WITH ACCEPTABLE LEVEL OF SERVICE "B" OR BETTER CONDITIONS. DURING THE WEEKDAY EVENING PEAK HOUR. THE INTERSECTION OF BROKEN LAND PKWY, WITH SNOWDEN RIVER PKWY, IS PROJECTED TO OPERATE WITH LEVEL OF SERVICE "E" AND "F" CONDITIONS UNDER FUTURE, BACKGROUND, AND TOTAL TRAFFIC VOLUMES, HOWARD COUNTY HAS A CAPITAL PROJECT (J4167) TO PROVIDE INTERSECTION IMPROVEMENTS FOR THIS LOCATION WITH A CONTRIBUTION OF \$16,030,38 TO THE CAPITAL PROJECT, THE PROPOSED DEVELOPMENT SATISFIES HOWARD COUNTY ADEQUATE ROAD FACILITIES TEST EVALUATION REQUIREMENTS.
- 28. A GEOTECHNICAL REPORT WAS COMPLETED BY HILLIS CARNES ENGINEERING ASSOCIATES ON MAY
- 29. A PRE-SUBMISSION COMMUNITY MEETING IS NOT REQUIRED FOR FLOOR EXPANSIONS OF LESS THAN 25% PER SECTION 156.(a)(2)(b) OF THE SUBDIVISION AND LAND DEVELOPMENT REGULATIONS.
- 30. A DESIGN MANUAL WAIVER FROM DESIGN MANUAL VOL. III, APPENDIX G, TO REDUCE THE MINIMUM WIDTH OF A ONE-WAY DRIVE LANE IN PARKING LOT FROM 16' TO 12', WAS APPROVED ON JUNE 15. 2021. THE APPROVAL IS SUBJECT TO PROVIDING THAT THE AREA, DUE TO THE LIMITED WIDTH, CANNOT BE USED FOR ANY OTHER PURPOSE INCLUDING LOADING REQUIREMENTS.
- 31. AS OF SEPTEMBER 28, 2021, SDP-20-042 HAS NOT BEEN APPROVED YET. THEREFORE, THE ALIGNMENT OF THE ASPHALT PATH ALONG BROKEN LAND PARKWAY MAY NEED TO BE ADJUSTED WHERE IT MEETS PARCEL A-3 IF THE CURRENT PLAN CHANGES. THIS MAY REQUIRE A REDLINE
- . HEALTH DEPARTMENT APPROVAL OF THIS SITE DEVELOPMENT PLAN (SDP) DOES NOT ENSURE APPROVAL OF BUILDING PERMIT APPLICATIONS ASSOCIATED WITH THIS PLAN. PERMIT PLANS FOR CERTAIN FACILITIES TO BE CONSTRUCTED WITHIN THE LIMITS DESCRIBED BY THIS SDP WILL REQUIRE REVIEW AND APPROVAL BY THE HEALTH DEPARTMENT. SUCH FACILITIES MAY INCLUDE, BUT ARE NOT LIMITED TO, THOSE WHICH HAVE SWIMMING POOLS, OR THAT SELL PREPARED OR PACKAGED FOODS, OR THAT MAY HAVE EQUIPMENT THAT EMITS RADIATION.

APPROVED: HOWARD COUNTY HEALTH DEPARTMENT County Health Öfficer **APPROVED** PLANNING BOARD OF HOWARD COUNTY April 21, 2022 APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING Date **6/28/2022** DocuSigned by: Chief, Division of Lander Sexel semment 6/28/2022

SITE DEVELOPMENT PLAN WOODMERE RETAIL

VILLAGE OF OWEN BROWN PARCEL A-6

SITE ANALYSIS DATA

- I. ZONING: NT-COMMERCIAL
- 2. GROSS AREA OF PARCEL A-6 = 233,184 S.F. or 5.35 AC.
- 4. LIMIT OF DISTURBED AREA = 1.3 AC. (LIMIT OF PLAN SUBMISSION)
- 5. PROPOSED USE: RESTAURANT BUILDING 5,000 SF (I STORY) 6. BUILDING COVERAGE (% OF GROSS SITE AREA):
- EX. BUILDING 'A': 17,709 S.F. (PER SDP-86-027) PROP. BUILDING 'B': 5,000 S.F. TOTAL BUILDING COVERAGE = 22,709 SF (0.52 AC.) = 9.7 % OF PARCEL A-6 (5.35 AC.)
- 7. <u>APPLICANT/OWNER:</u>
- FKW WOODMERE C/O ABRAMS DEVELOPMENT GROUP 8601 ROBERT FULTON DRIVE, SUITE 100 COLUMBIA, MD 21046 ATTN. PETER MATHIESON TEL. (443) 539-4806
- 8. ZONING STANDARDS: (PER FDP-125-A) I. MINIMUM STRUCTURE SETBACK

FROM PUBLIC STREET R/W:

- 9. <u>PARKING ANALYSIS:</u>
- REQUIRED PARKING EX. OFFICE BLDG 'A':
- SEE SHARED USE PARKING AND TENANT SUMMARY TABLES (THIS SHEET)

<u>ALLOWED</u>

50 FT.

- REQUIRED PARKING PROP. BLDG. 'B':
- SEE SHARED USE PARKING AND TENANT SUMMARY TABLES (THIS SHEET)
- SITE TOTALS (PARCEL A-6):
- TOTAL REQUIRED PARKING = 199 SP (NON-SHARED) TOTAL REQUIRED PARKING = <u>182 SP</u> (SEE SHARED USE TABLE) TOTAL PROVIDED PARKING = 197 SP
- TOTAL REQUIRED HC PARKING = 6 SP TOTAL PROVIDED HC PARKING = 10 SP

	' / <i> </i> //		SHARED US	E PARKIN	G TABLE	PER H.C. Z	ZONING SEC	C. 133.0.F.I
			MEI	EKDAY			WEEKEND	
			MORNING MID-DAY 6am-8am 8am-3pm		EVENING 5pm-mid		EVENING 6pm-mid	NIGHTTIME mid-6am
		RESIDENTIAL	0.0 0.0 (0@80%) (0@60%)	0.0 (0@60%)	0.0 (0@100%)	0.0 (0@100%)	0.0 (0@100%)	0.0 (0@100%)
		OFFICE / INDUSTRIAL	103.0 128.0 (128@80%) (128@100%)	128.0 (128@100%)	13.0 (128@10%)	13.0 (128@10%)	1.0 (128@5%)	1.0 (128@5%)
		RETAIL	O.O O.O (O@20%) (O@60%)	0.0 (0@60%)	0.0 (0@90%)	0.0 (0@100%)	0.0 (0@70%)	0.0 (0@5%)
TIPARCELIA-517 = Land Fixed MoodMere LLC	<i>∥</i> /	HOTEL / MOTEL	O.O O.O (O@75%) (O@75%)	0.0 (0@75%)	0.0 (0@100%)	0.0 (0@75%)	0.0 (0@100%)	0.0 (0@100%)
C/O ABRAMS DEV. GROUP!		RESTAURANT	18.0 18.0 (35@50%)	18.0 (35@50%)	35.0 (35@100%)	35.0 (35@100%)	35.0 (35@100%)	4.0 (35@10%)
AAR K		RESTAURANT (FAST FOOD)	36.0 36.0 (36@100%)	36.0 (36@100%)	36,0 (36@100%)	36.0 (36@100%)	36.0 (36@100%)	36.0 (36@100%)
		THEATER, COMMERCIAL REC., NIGHTCLUB, OR RESTAURANT W/ ENTERTAINMENT	0.0 (0.010%)	0.0 (0@80%)	0.0 (0@100%)	0.0 (0@80%)	0.0 (0@100%)	0.0 (0@10%)
N 19°05'00' W N 61°39'0' F 537.76' - 537.76'	CRADLEROCK	TOTALS:	157.0 182.0	182.0	84.0	84.0	78.0	47.0
LOT 2 MBIA ASSOC. INC. PLAT 4641 PLAT 4641	WAY		F REGIANT RANT	NG SUMN	IARY TA	BLE	PEG	QUIRED PARK

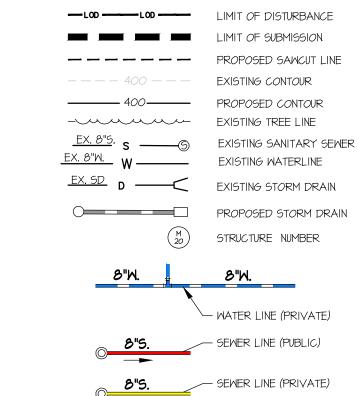
SCALE: I" = 200'

		TEN	NANT PAR	KING SUMN	IARY TA	BLE	
BUILDING ADDRESS	UNIT	OFFICE ₍₂₎ (2.0 SP/ 1,000 SF)	RESTAURANT _(I) (14.0 SP/	RESTAURANT (FAST FOOD) ₍₁₎ (14.0 SP/ 1,000 SF)	RETAIL ₍₁₎ (5.0 SP/ 1,000 SF)	REQUIRED PARKING SPACES	REQUIRED PARKING SPACES (SHARED USE)
		63,975 SF ₍₃₎		,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,	,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,	128 SP	128 SP
9881 BROKEN LAND PKMY (BLDG 'A')							
	1		2,500 SF			35 SP	18 SP
	2			1,250 SF		18 SP	18 SP
9871 BROKEN LAND PKWY (BLDG 'B')	3			1,250 SF		18 SP	18 SP
TOTALS						199 SP	182 SP

(I) REQUIRED PARKING PER ZONING SEC. 133.O.D.4 (2) REQUIRED PARKING PER FDP-125-A (3) BUILDING AREA PER SDP-86-027

BENCHMARKS 42BB ELEV. 305.613 N = 551,394.120 E = 1,355,639.470 36HB ELEV. = 313.434 N = 552.978.353 E = 1.354.677.983

ADC MAP: 5053 GRID: D1



- SEWER LINE (PRIVATE) = = = = EXISTING CURB AND GUTTER __ _ _ EXISTING EDGE OF PAVEMENT

EXISTING TREES -PROPOSED BUILDING CONCRETE

SIDEWALK SETBACK LINE EXISTING BUILDING

TO BE REMOVED SOIL BOUNDARY GnA→ SOIL TYPE

+ OHW - Q EXISTING OVERHEAD WIRES -EXISTING UTILITY POLES

SHEET INDEX SHEET TITLE SHEET NO. COVER SHEET EXISTING CONDITIONS & DEMOLITION PLAN SITE DEVELOPMENT PLAN GRADING PLAN SITE PLAN DETAILS UTILITY PLAN AND PROFILES SITE PLAN DETAILS STORMWATER MANAGEMENT PLAN 8 STORMWATER MANAGEMENT DETAILS SEDIMENT CONTROL PLAN 10 SEDIMENT CONTROL NOTES AND DETAILS LANDSCAPE PLAN LANDSCAPE DETAILS 13 DRAINAGE AREA MAP

BUILDING ELEVATIONS



STORMWATER MANAGEMENT INFORMATION CHART LOT / PARCEL NO. | FACILITY NAME / NO. | PRACTICE TYPE (QUANTITY) | PUBLIC / PRIVATE | MISC. PERMEABLE PAVEMENT STORMCEPTOR (SC-I) SC (1) PRIVATE

ADDRESS AND PERMIT INFORMATION CHART BUILDING ADDRESS: 9881 BROKEN LAND PARKWAY COLUMBIA, MD 21046 (BUILDING 'A') 9871 BROKEN LAND PARKWAY COLUMBIA, MD 21046 (BUILDING 'B') SUBDIVISION NAME: SECTION/AREA: PARCEL: PARCEL A-6 VILLAGE OF OWEN BROWN PLAT REFERENCE: TAX MAP: GRID: | ELECTION DISTRICT: | CENSUS TRACT: 42 6067.01 WATER & SEWER WATERSHED:

Chief, Development Erlette Fire Mendolly

3909 NATIONAL DRIVE | SUITE 250 | BURTONSVILLE, MD 20866 | GLWPA.COM HONE: 301-421-4024 | BALT: 410-880-1820 | DC&VA: 301-989-2524 | FAX: 301-421-4186

EWM DRAWN B **EWM DDS**

DATE

NOTE: PER PLANNING BOARD

BRICK TO MATCH AS CLOSE AS

REVISION

PRACTICAL TO EXISTING BUILDING.

CONDITION OF APPROVAL, EXTERIOR

OWNER/DEVELOPER: FKW WOODMERE LLC C/O ABRAMS DEVELOPMENT GROUP 8601 ROBERT FULTON DRIVE, SUITE 100 COLUMBIA, MD 21046 ATTN: PETER MATHIESON TEL: 443-539-4806

IAGS BORROWER LAKEVIEW I

/O PROP. MGMT. A550C. LL

L. 17713 F. 00102 ZONED: NT

GRAPHIC SCALE

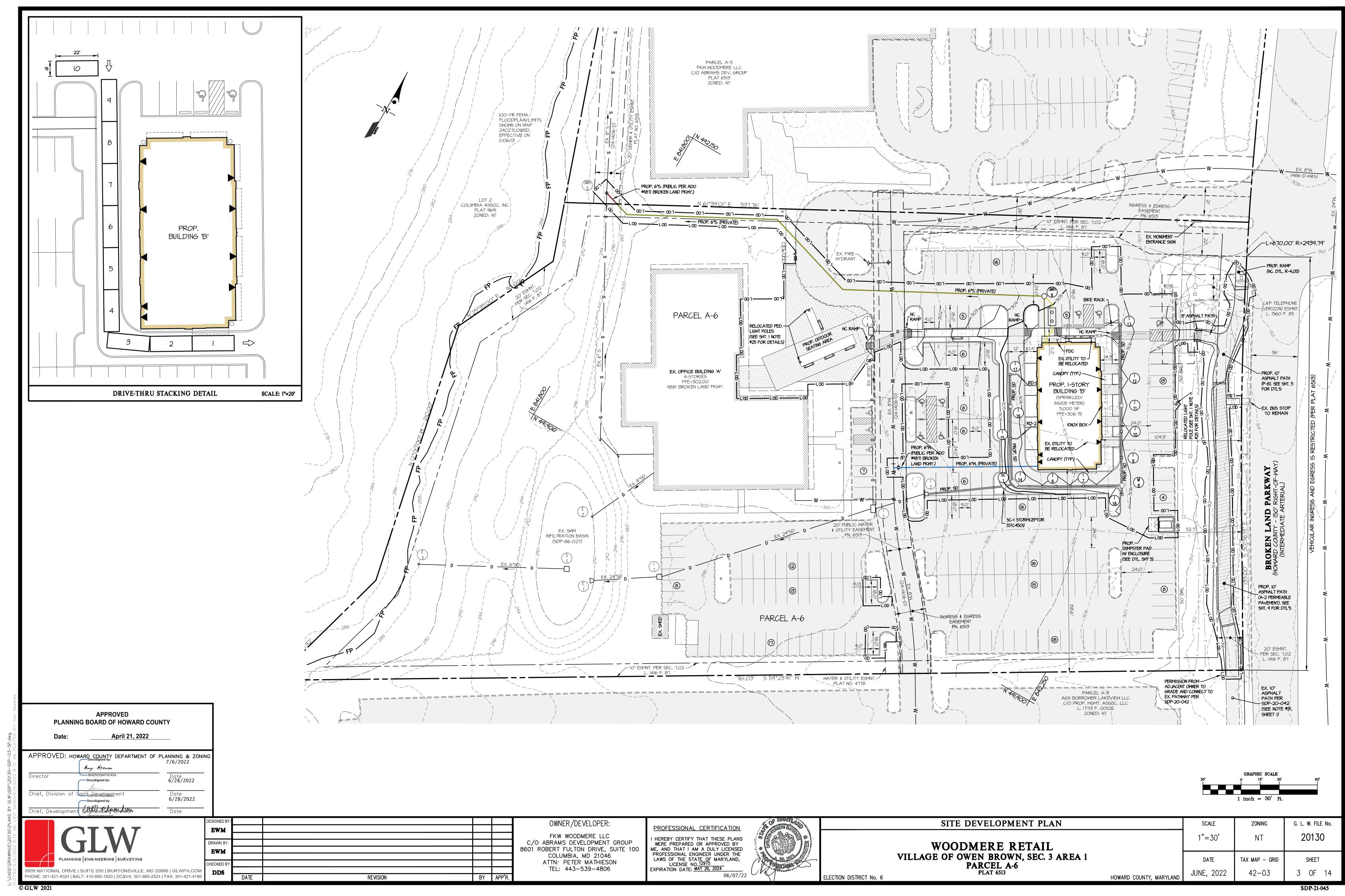
PROFESSIONAL CERTIFICATION HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 12975 EXPIRATION DATE: MAY 26, 2024

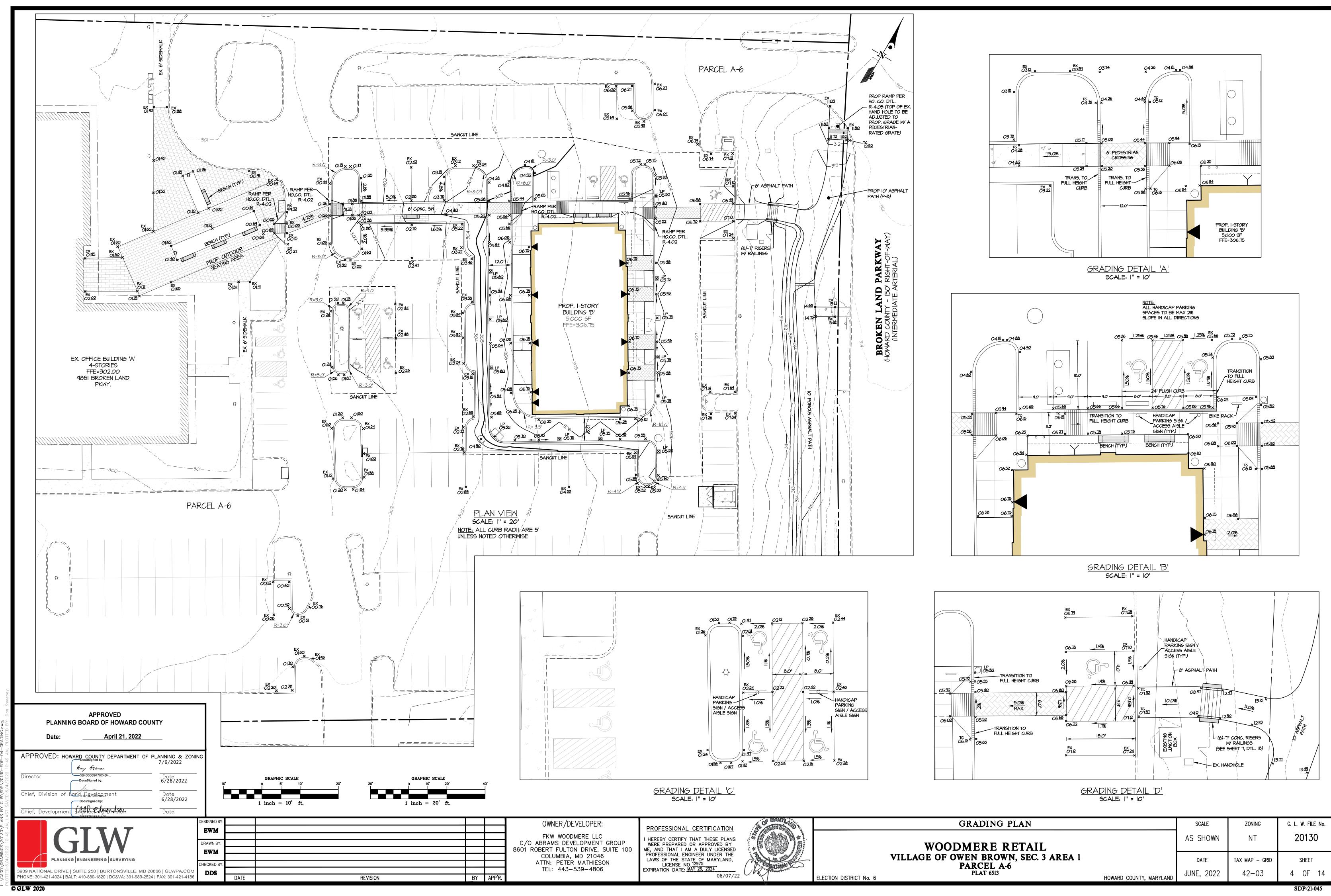
06/23/22

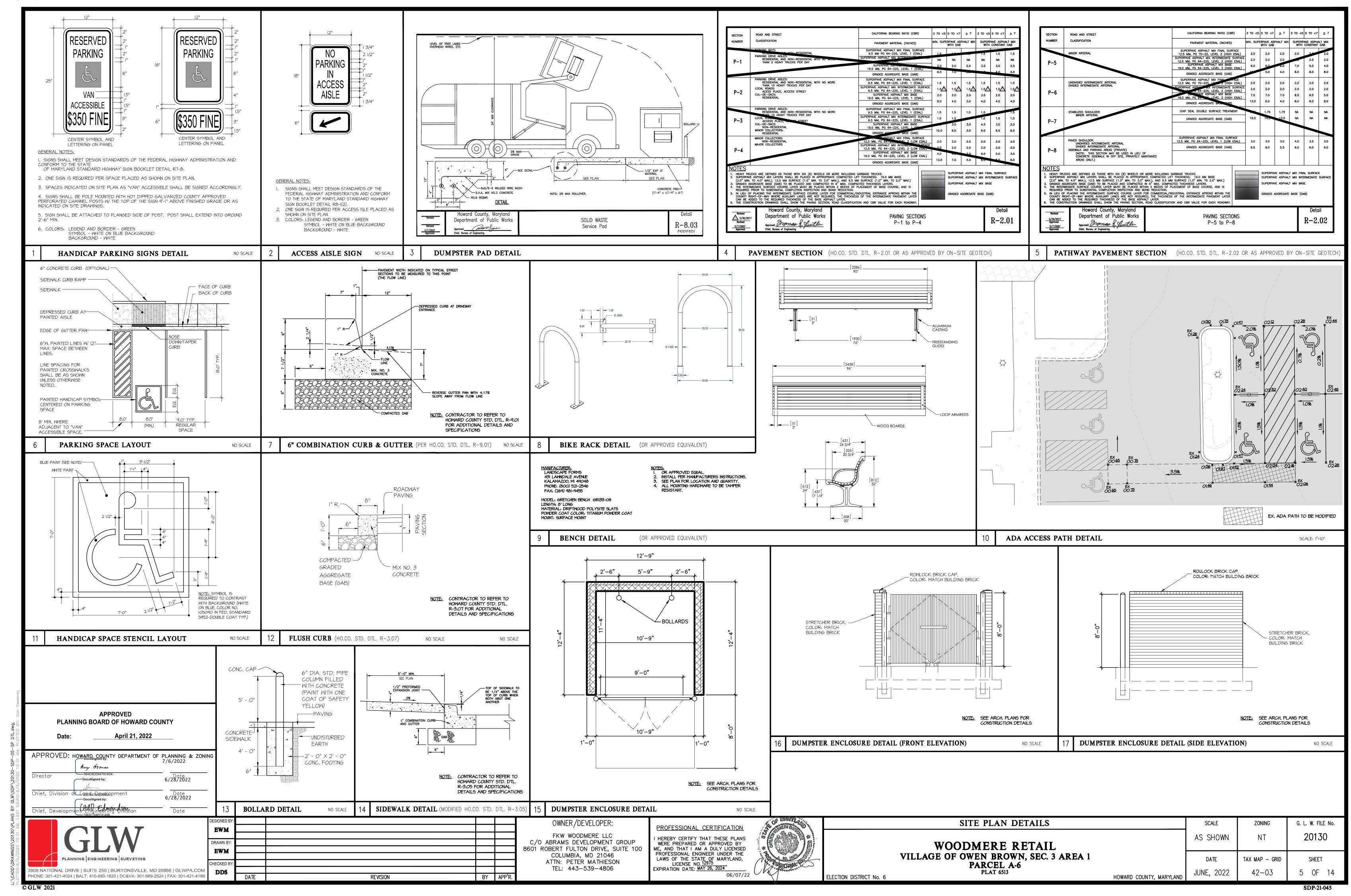
WOODMERE RETAIL VILLAGE OF OWEN BROWN, SEC. 3 AREA 1 PARCEL A-6 PLAT 6513 ELECTION DISTRICT No. 6

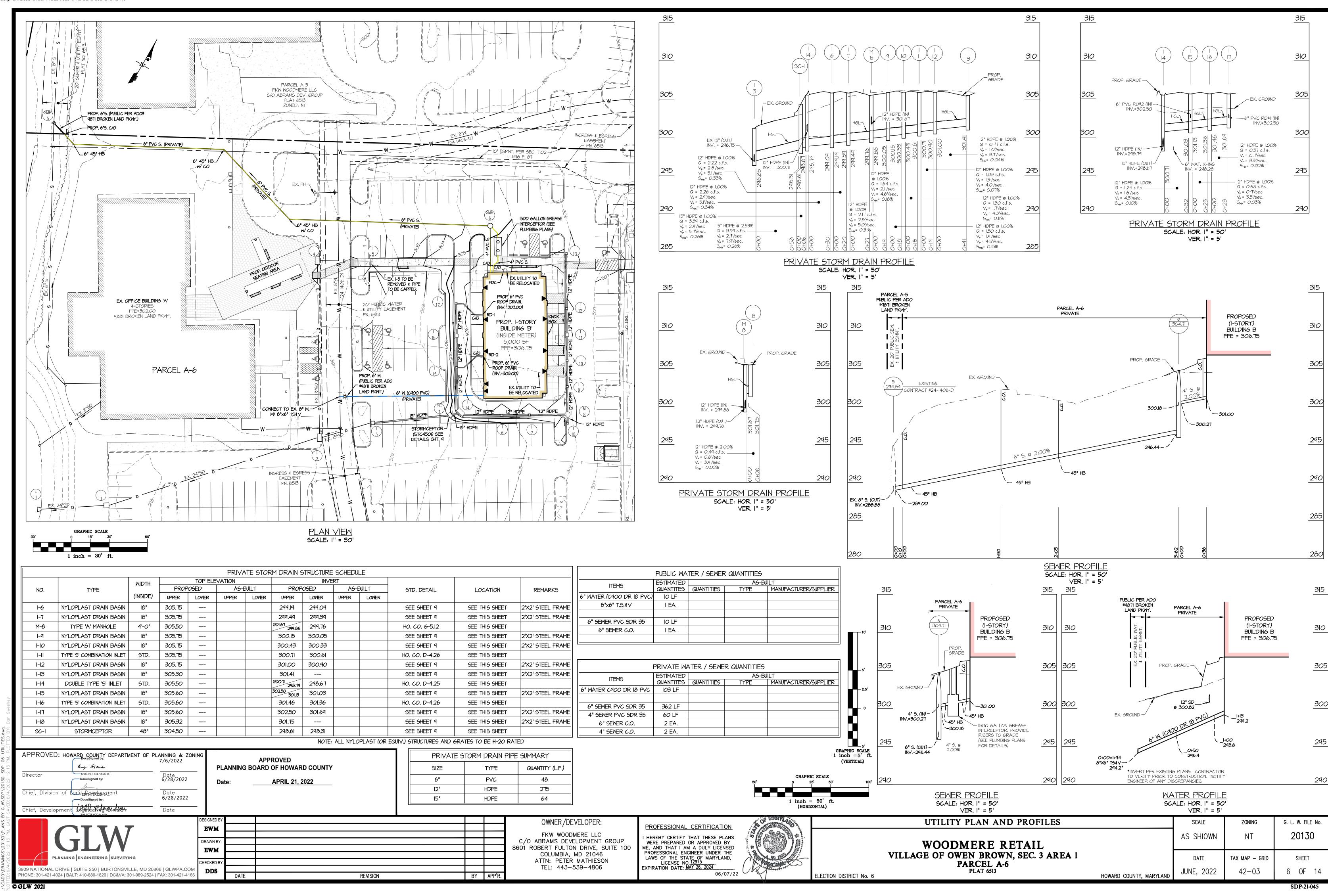
COVER SHEET

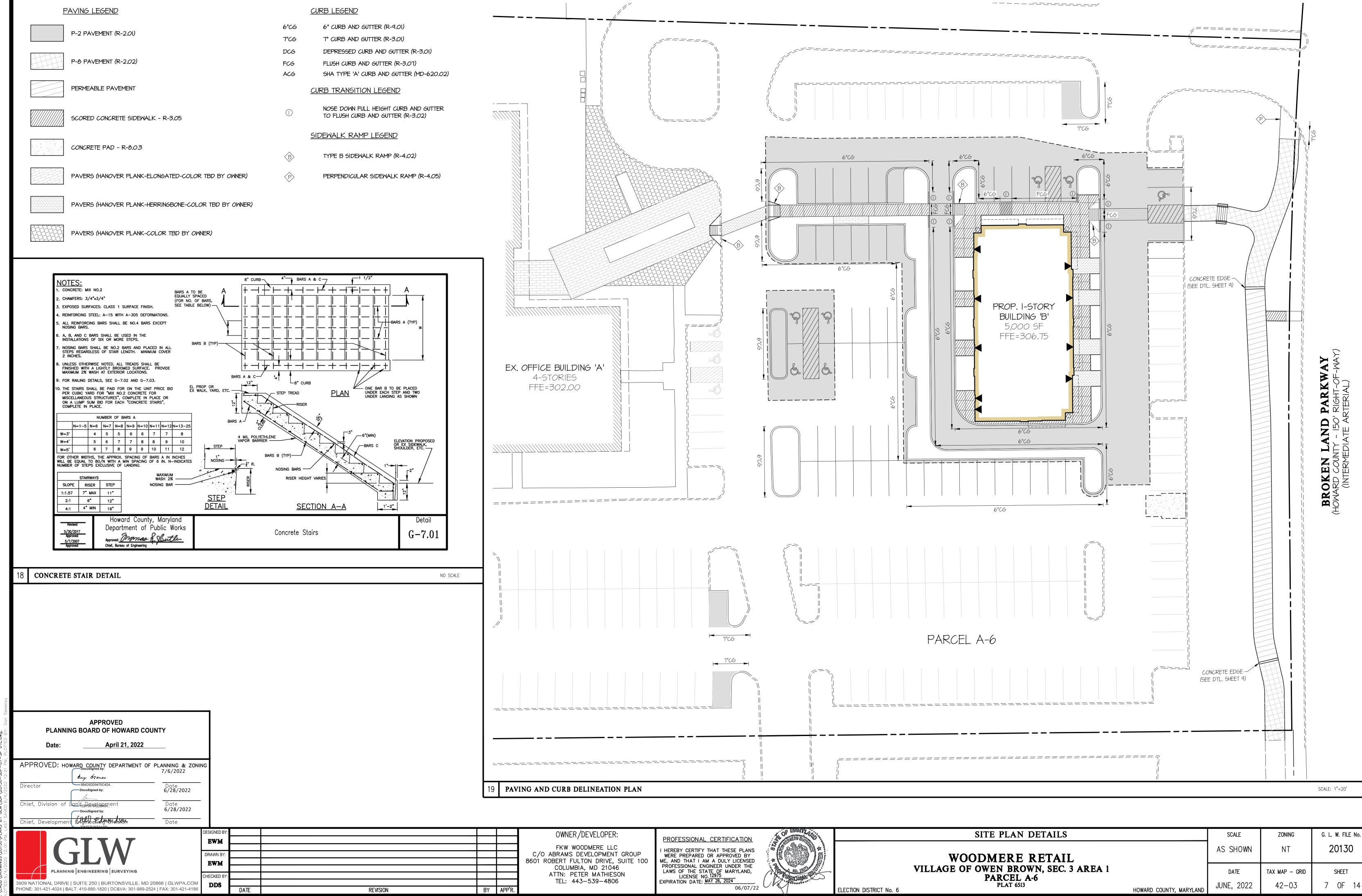
G. L. W. FILE No. AS SHOWN TAX MAP - GRID SHEET JUNE, 2022 OF 14 HOWARD COUNTY, MARYLAND

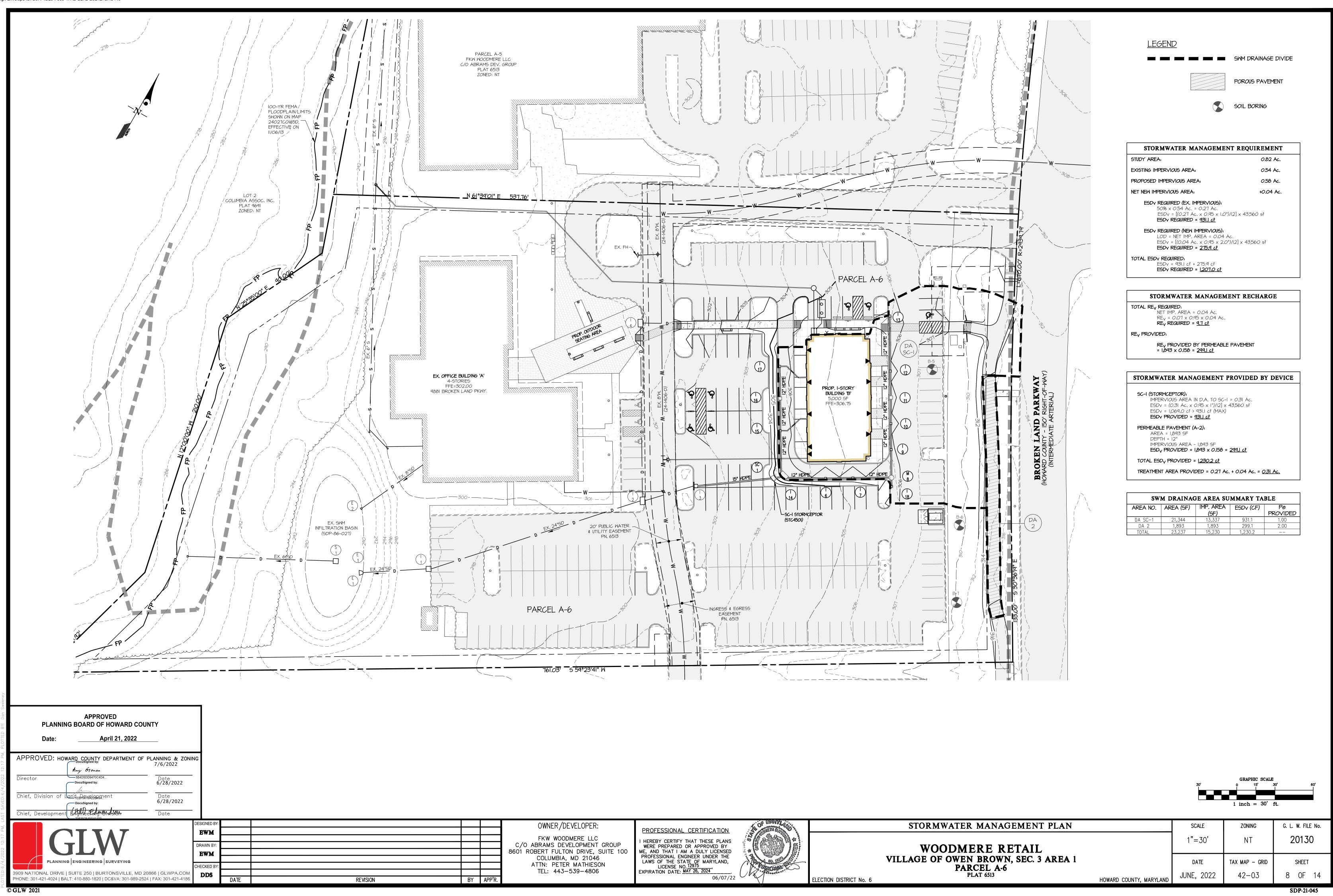


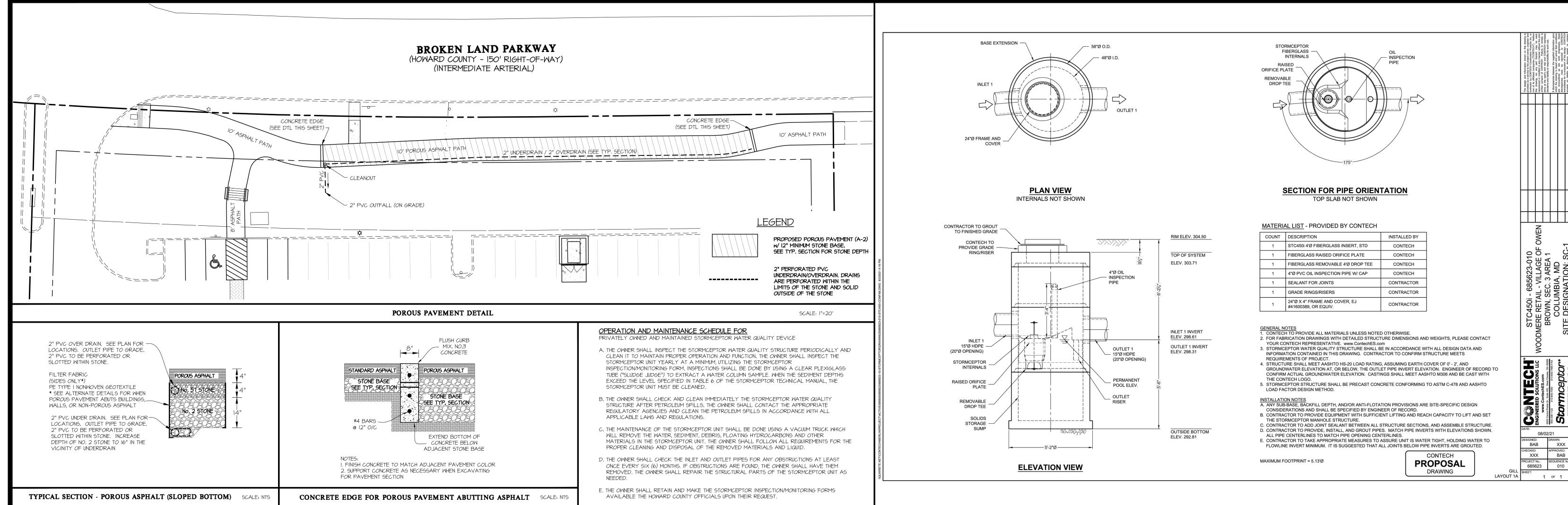












SPECIFICATIONS FOR PERMEABLE PAVEMENTS

I. POROUS ASPHALT SPECIFICATIONS

VOID CONTENT OF ASPAHLT SHALL BE 15-20%

UNDERDRAIN - USE 2 TO 4 INCH DIAMETER PERFORATED PVC PIPE (OR EQUIVALENT CORRUGATED HDPE) WITH 3/8-INCH PERFORATIONS AT 6 INCHES ON CENTER

OVERDRAIN - USE 2 TO 4 INCH DIAMETER PERFORATED PVC PIPE (OR EQUIVALENT CORRUGATED HDPE) WITH 3/8-INCH PERFORATIONS AT 6 INCHES ON CENTER

INSTALLATION - CONSTRUCTION SHALL ONLY BEGIN AFTER THE ENTIRE CONTRIBUTING DRAINAGE AREA HAS BEEN STABILIZED. THE SYSTEM SHALL NOT BE INSTALLED IN RAIN OR SNOW. WHERE POSSIBLE, EXCAVATORS OR BACKHOES SHOULD WORK FROM THE SIDES TO EXCAVATE THE RESERVOIR LAYER. EXCAVATING EQUIPMENT SHOULD HAVE ARMS WITH ADEQUATE EXTENSION SO THEY DO NOT HAVE TO WORK INSIDE THE FOOTPRINT OF THE PERMEABLE PAVEMENT AREA. EXCAVATED MATERIAL SHOULD BE PLACED AWAY FROM THE OPEN EXCAVATION SO AS TO NOT JEOPARDIZE THE STABILITY OF THE SIDE WALLS. THE NATIVE SOILS ALONG THE BOTTOM OF THE PERMEABLE PAVEMENT SYSTEM SHALL BE SCARIFIED OR TILLED TO A DEPTH OF 3 TO 4 INCHES PRIOR TO THE PLACEMENT OF THE FILTER LAYER. FILTER FABRIC SHALL BE INSTALLED ON THE SIDES OF THE RESERVOIR LAYER.

SEDIMENT CONTROL - ALL PERMEABLE PAVEMENT AREAS SHALL BE FULLY PROTECTED FROM SEDIMENT INTRUSION BY SILT FENCE OR CONSTRUCTION FENCING. PERMEABLE PAVEMENT AREAS SHALL REMAIN OUTSIDE THE LIMIT OF DISTURBANCE DURING CONSTRUCTION TO PREVENT SOIL COMPACTION BY HEAVY EQUIPMENT. TO PREVENT SOIL COMPACTION, HEAVY VEHICULAR AND FOOT TRAFFIC SHALL BE KEPT OUT OF PERMEABLE PAVEMENT AREAS DURING AND IMMEDIATELY AFTER CONSTRUCTION. DURING CONSTRUCTION, CARE SHALL BE TAKEN TO AVOID TRACKING SEDIMENT ONTO ANY PERMEABLE PAVEMENT SURFACE TO AVOID CLOGGING.

APPROVED PLANNING BOARD OF HOWARD COUNTY

April 21, 2022

APPROVED: HOWAR	D COUNTY DEPARTMENT	OF PLANNING & ZONING 7/6/2022
	my Gonan	
D: 1	ED ADEDDO AZOCADA	6 .

Director 6/28/2022 DocuSigned by: Chief, Division of Lander Server Spannent 6/28/2022 Chief, Development Erlette Fire Mendolly

PLANNING ENGINEERING SURVEYING

NYLOPLAST DRAIN BASIN (TYPICAL DETAIL)

(1, 2) INTEGRATED DUCTILE IRON FRAME & GRATE TO MATCH BASIN O.D.

(3) VARIABLE INVERT HEIGHTS AVAILABLE (ACCORDING TO PLANS/TAKE OFF) (I

4" - 18" FOR CORRUGATED HDPE (ADS N-12/HANCOR DUAL WALL ADS/HANCOR SINGLE WALL), N-12 HP, PVC SEWER (EX: SDR 35)

- Frvanies Shall be dud till from Per ASTM ASSI GRADE 70-50-05.

PARIM BASIN TO BE CUSTOM MANUFACTURED ACCORDING TO PLAN DETAILS.
RISERS ARE NEEDED FOR BASINS OVER 84" DUE TO SHIPPING RESTRICTIONS.
SEE DRAWING NO. 7001-110-065.
PARIMAGE CONNECTION STUB JOINT TIGHTNESS SHALL CONFORM TO
ASTM D3212 FOR CORRUGATED HDPE (ADS N-12/HANCOR DUAL WALL),
M.12 JUB 8-017 SEMEED

N-12 HP, 8 PVC SEWER.

- ADAPTERS CAN BE MOUNTED ON ANY ANGLE 0° TO 380°. TO DETERMINE MINIMUM ANGLE BETWEEN ADAPTERS SEE DRAWING NO. 7001-110-012.

DEPTH PER PIPE
MANUFACTURER
RECOMMENDATION
(MIN. MANUFACTURING
REQ. SAME AS MIN. SUMP)

EWM DRAWN BY **EWM** CHECKED E 3909 NATIONAL DRIVE | SUITE 250 | BURTONSVILLE, MD 20866 | GLWPA.COM **DDS** PHONE: 301-421-4024 | BALT: 410-880-1820 | DC&VA: 301-989-2524 | FAX: 301-421-4186 DATE BY APP'R. REVISION

THIS PRINT DISCLOSES SUBJECT MATTER IN WHICH NYLOPLAST HAS PROPRIETARY RIGHTS. THE RECEIPT OR POSSESSION OF THIS PRINT DOES NOT COMPER, TRANSFER, OR LICENSE THE USE OF THE DESIGN OR TECHNICAL INFORMATION SHOWN HEREIN REPRODUCTION OF THIS PRINT OR ANY INFORMATION CONTAINED HEREIN, OR IMANUFACTURE OF ANY ARTICLE HEREFROM, FOR THE DISCLOSURE TO OTHERS IN STORBIDDEN, EXCEPT BY SPECIFIC WRITTEN PERMISSION FROM NYLOPLAST.

OPERATION AND MAINTENANCE SCHEDULE FOR

PRIVATELY OWNED AND MAINTAINED PERMEABLE PAVEMENT (A-2)

- A. THE OWNER SHALL PERIODICALLY SWEEP THE PAVEMENT SURFACES TO REDUCE SEDIMENT ACCUMULATION AND ENSURE CONTINUED SURFACE POROSITY SWEEPING SHOULD BE PERFORMED AT LEAST TWICE ANNUALLY WITH A COMMERCIAL CLEANING UNIT. WASHING OR COMPRESSED AIR UNITS SHOULD NOT BE USED TO PERFORM SURFACE CLEANING.
- B. THE OWNER SHALL PERIODICALLY CLEAN DRAINAGE PIPES, INLETS, STONE EDGE DRAINS AND OTHER STRUCTURES WITHIN OR DRAINING TO THE SUBBASE.
- C. THE OWNER SHALL USE DEICERS IN MODERATION. DEICERS SHOULD BE NON-TOXIC AND BE APPLIED EITHER AS CALCIUM MAGNESIUM ACETATE OR AS

NYLOPLAST 18" DRAIN BASIN: 2818AG _ _ X

— 8" MIN THICKNESS GUIDELINE

--- 4" MIN

TRAFFIC LOADS: CONCRETE SLAB DIMENSIONS ARE FOR GUIDELINE PURPOSES ONLY. ACTUAL CONCRETE SLAB MUST BE DESIGNED TAKING INTO CONSIDERATION LOCAL SOIL CONDITIONS,

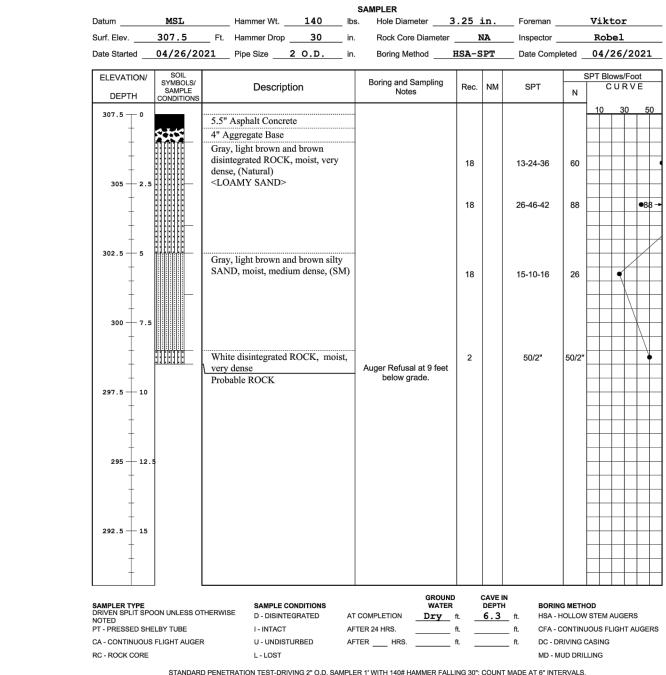
DESIGNED TAKING INTO CONSIDERATION LOCAL SOIL CONDITIONS, TRAFFIC LOADING, & OTHER APPLICABLE DESIGN FACTORS. SEE DRAWING NO. 7001-110-111 FOR NON TRAFFIC INSTALLATION.

(3) VARIABLE SUMP DEPTH (6" MIN. BASED ON

THE BACKFILL MATERIAL SHALL BE CRUSHED STONE OR OTHER

GRANULAR MATERIAL MEETING THE REQUIREMENTS OF CLASS I, CLASS II, OR CLASS III MATERIAL AS DEFINED IN ASTM D2321 BEDDING & BACKFILL FOR SURFACE DRAINAGE INLETS SHALL BE PLACED & COMPACTED UNIFORMLY IN ACCORDANCE WITH ASTM D2321.

D. THE OWNER SHALL ENSURE SNOW PLOWING IS PERFORMED CAREFULLY WITH BLADES SET ONE INCH ABOVE THE SURFACE. PLOWED SNOW PILES AND SNOWMELT SHOULD NOT BE DIRECTED TO PERMEABLE PAVEMENT.



HILLIS - CARNES ENGINEERING ASSOCIATES, INC.

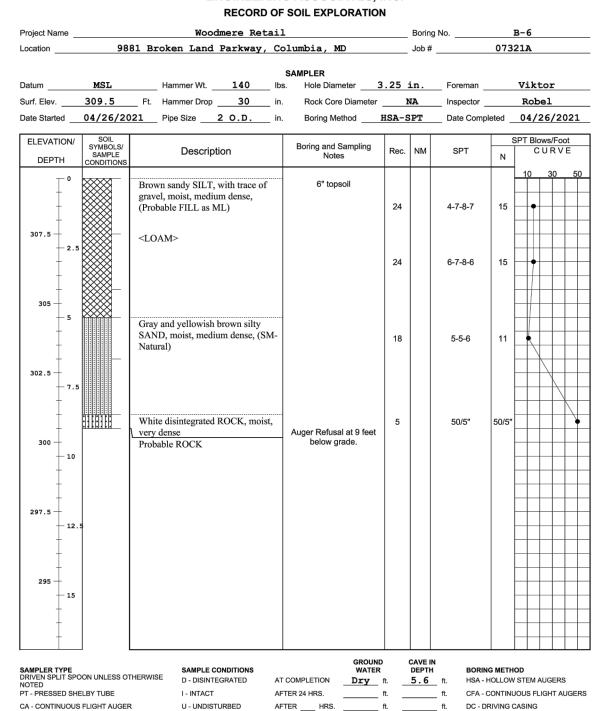
RECORD OF SOIL EXPLORATION

07321A

Woodmere Retail

9881 Broken Land Parkway, Columbia, MD

RECORD OF SOIL EXPLORATION



HILLIS - CARNES ENGINEERING ASSOCIATES, INC

Project Name _		Woodmere	Retail		Boring	No		B-7		
			way, Columbia, MD							
Surf. Elev	310	Hammer Wt. 14 Ft. Hammer Drop 30 21 Pipe Size 2 0.0) in. Rock Core Dian	eter	NA	Foreman		Viktor Robel		
ELEVATION/ DEPTH	SOIL SYMBOLS/ SAMPLE	Description	Boring and Sampli Notes	ng	NM	SPT		SPT Blows/Foot		
310 — 0		Gray, very light brown and silty SAND, moist, medium (SM-Natural) <loamy sand=""> Gray and yellowish brown disintegrated ROCK, moist.</loamy>	brown 6" topsoil dense,	24 24 18		4-5-7-10 7-8-7-6 6-8-10 50-50/3"	12 15 18	10 30		
297.5 — 12.		dense Probable ROCK	Auger Refusal at 9.5 below grade.	ifeet						
SAMPLER TYPE DRIVEN SPLIT SPC NOTED PT - PRESSED SHE CA - CONTINUOUS RC - ROCK CORE	LBY TUBE	I - INTACT	AFTER 24 HRS.	COUND ATER CY ft ft	CAVE IN DEPTH 6.1	ft. HSA - ft. CFA - ft. DC - I		V STEM AUGERS UOUS FLIGHT AUG CASING		

ELECTION DISTRICT No. 6

RC - ROCK CORE

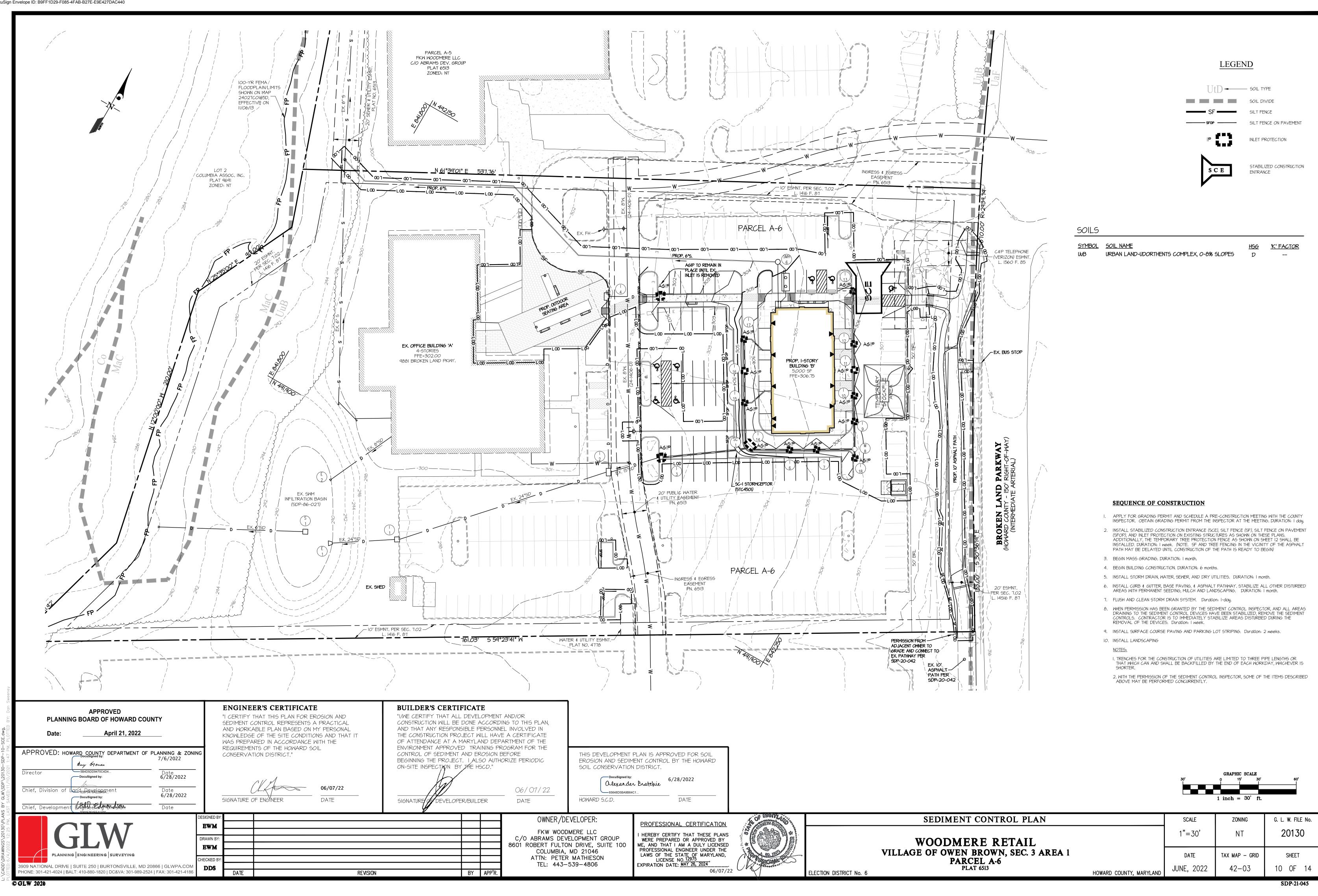
L - LOST

OWNER/DEVELOPER: PROFESSIONAL CERTIFICATION FKW WOODMERE LLC HEREBY CERTIFY THAT THESE PLANS C/O ABRAMS DEVELOPMENT GROUP WERE PREPARED OR APPROVED BY 8601 ROBERT FULTON DRIVE, SUITE 100 ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE COLUMBIA, MD 21046 LAWS OF THE STATE OF MARYLAND,
LICENSE NO. 12975
EXPIRATION DATE: MAY 26, 2024 ATTN: PETER MATHIESON TEL: 443-539-4806

06/07/22

PARCEL A-6

STANDARD PENETRATION TEST-DRIVING 2" O.D. SAMPLER 1' WITH 140# HAMMER FALLING 30": COUNT MADE AT 6" INTERVALS.



THE PROCESS OF PREPARING THE SOILS TO SUSTAIN ADEQUATE VEGETATIVE STABILIZATION.

WHERE VEGETATIVE STABILIZATION IS TO BE ESTABLISHED.

TO PROVIDE A SUITABLE SOIL MEDIUM FOR VEGETATIVE GROWTH. CONDITIONS WHERE PRACTICE APPLIES

A. SOIL PREPARATION

I. TEMPORARY STABILIZATION

- 1. SEEDBED PREPARATION CONSISTS OF LOOSENING SOIL TO A DEPTH OF 3 TO 5 INCHES BY MEANS OF SUITABLE AGRICULTURAL OR CONSTRUCTION EQUIPMENT. SUCH AS DISC HARROWS OR CHISEL PLOWS OR RIPPERS MOUNTED ON CONSTRUCTION EQUIPMENT. AFTER THE SOIL IS LOOSENED, IT MUST NOT BE ROLLED OR DRAGGED SMOOTH BUT LEFT IN THE ROUGHENED CONDITION. SLOPES 3:1 OR FLATTER ARE TO BE TRACKED WITH RIDGES RUNNING PARALLEL
- APPLY FERTILIZER AND LIME AS PRESCRIBED ON THE PLANS. INCORPORATE LIME AND FERTILIZER INTO THE TOP 3 TO 5 INCHES OF SOIL BY DISKING OR OTHER SUITABLE MEANS.
- 2. PERMANENT STABILIZATION
- a. A SOIL TEST IS REQUIRED FOR ANY EARTH DISTURBANCE OF 5 ACRES OR MORE. THE MINIMUM SOIL CONDITIONS REQUIRED FOR PERMANENT VEGETATIVE ESTABLISHMENT ARE: I. SOIL PH BETWEEN 6.0 AND 7.0.
- II. SOLUBLE SALTS LESS THAN 500 PARTS PER MILLION (PPM).
- III. SOIL CONTAINS LESS THAN 40 PERCENT CLAY BUT ENOUGH FINE GRAINED MATERIAL (GREATER THAN 30 PERCENT SILT PLUS CLAY) TO PROVIDE THE CAPACITY TO HOLD A MODERATE AMOUNT OF MOISTURE. AN EXCEPTION: IF LOVEGRASS WILL BE PLANTED, THEN A SANDY SOIL (LESS THAN 30 PERCENT SILT PLUS CLAY) WOULD BE ACCEPTABLE.
- IV. SOIL CONTAINS 1.5 PERCENT MINIMUM ORGANIC MATTER BY WEIGHT.
- V. SOIL CONTAINS SUFFICIENT PORE SPACE TO PERMIT ADEQUATE ROOT PENETRATION. b. APPLICATION OF AMENDMENTS OR TOPSOIL IS REQUIRED IF ON-SITE SOILS DO NOT MEET THE
- . GRADED AREAS MUST BE MAINTAINED IN A TRUE AND EVEN GRADE AS SPECIFIED ON THE APPROVED PLAN, THEN SCARIFIED OR OTHERWISE LOOSENED TO A DEPTH OF 3 TO 5 INCHES.
- d. APPLY SOIL AMENDMENTS AS SPECIFIED ON THE APPROVED PLAN OR AS INDICATED BY THE
- e. MIX SOIL AMENDMENTS INTO THE TOP 3 TO 5 INCHES OF SOIL BY DISKING OR OTHER E STONES AND BRANCHES. AND READY THE AREA FOR SEED APPLICATION. LOOSEN URFACE SOIL BY DRAGGING WITH A HEAVY CHAIN OR OTHER EQUIPMENT TO ROUGHEN THE SURFACE WHERE SITE CONDITIONS WILL NOT PERMIT NORMAL SEEDBED PREPARATION. TRACK SLOPES 3:1 OR FLATTER WITH TRACKED EQUIPMENT LEAVING THE SOIL IN AN IRREGULAR CONDITION WITH RIDGES RUNNING PARALLEL TO THE CONTOUR OF THE SLOPE. LEAVE THE TOP 1 TO 3 INCHES OF SOIL LOOSE AND FRIABLE. SEEDBED LOOSENING MAY BE UNNECESSARY ON NEWLY DISTURBED AREAS.

. TOPSOILING

- TOPSOIL IS PLACED OVER PREPARED SUBSOIL PRIOR TO ESTABLISHMENT OF PERMANENT VEGETATION. THE PURPOSE IS TO PROVIDE A SUITABLE SOIL MEDIUM FOR VEGETATIVE GROWTH. SOILS OF CONCERN HAVE LOW MOISTURE CONTENT, LOW NUTRIENT LEVELS, LOW PH, MATERIALS TOXIC TO PLANTS, AND/OR UNACCEPTABLE SOIL GRADATION.
- TOPSOIL SALVAGED FROM AN EXISTING SITE MAY BE USED PROVIDED IT MEETS THE STANDARDS AS SET FORTH IN THESE SPECIFICATIONS. TYPICALLY, THE DEPTH OF TOPSOIL TO BE SALVAGED FOR A GIVEN SOIL TYPE CAN BE FOUND IN THE REPRESENTATIVE SOIL PROFILE
- TOPSOILING IS LIMITED TO AREAS HAVING 2:1 OR FLATTER SLOPES WHERE:
- . THE TEXTURE OF THE EXPOSED SUBSOIL/PARENT MATERIAL IS NOT ADEQUATE TO PRODUC b THE SOIL MATERIAL IS SO SHALLOW THAT THE ROOTING ZONE IS NOT DEEP ENOUGH TO SUPPORT PLANTS OR FURNISH CONTINUING SUPPLIES OF MOISTURE AND PLANT NUTRIENTS
- THE ORIGINAL SOIL TO BE VEGETATED CONTAINS MATERIAL TOXIC TO PLANT GROWTH. THE SOIL IS SO ACIDIC THAT TREATMENT WITH LIMESTONE IS NOT FEASIBLE. AREAS HAVING SLOPES STEEPER THAN 2:1 REQUIRE SPECIAL CONSIDERATION AND DESIGN.
- TOPSOIL SPECIFICATIONS: SOIL TO BE USED AS TOPSOIL MUST MEET THE FOLLOWING
- a. TOPSOIL MUST BE A LOAM, SANDY LOAM, CLAY LOAM, SILT LOAM, SANDY CLAY LOAM. OR LOAMY SAND. OTHER SOILS MAY BE USED IF RECOMMENDED BY AN AGRONOMIST OR SOIL SCIENTIST AND APPROVED BY THE APPROPRIATE APPROVAL AUTHORITY, TOPSOIL MUST NO BE A MIXTURE OF CONTRASTING TEXTURED SUBSOILS AND MUST CONTAIN LESS THAN 5 PERCENT BY VOLUME OF CINDERS, STONES, SLAG, COARSE FRAGMENTS, GRAVEL, STICKS, ROOTS, TRASH, OR OTHER MATERIALS LARGER THAN 1.5 INCHES IN DIAMETER.
- b. TOPSOIL MUST BE FREE OF NOXIOUS PLANTS OR PLANT PARTS SUCH AS BERMUDA GRASS, QUACK GRASS, JOHNSON GRASS, NUT SEDGE, POISON IVY, THISTLE, OR OTHERS AS
- c. TOPSOIL SUBSTITUTES OR AMENDMENTS, AS RECOMMENDED BY A QUALIFIED AGRONOMIST OR SOIL SCIENTIST AND APPROVED BY THE APPROPRIATE APPROVAL AUTHORITY, MAY BE USED IN LIEU OF NATURAL TOPSOIL.
- TOPSOIL APPLICATION 1. EROSION AND SEDIMENT CONTROL PRACTICES MUST BE MAINTAINED WHEN APPLYING TOPSOIL.
- UNIFORMLY DISTRIBUTE TOPSOIL IN A 5 TO 8 INCH LAYER AND LIGHTLY COMPACT TO A MINIMUM THICKNESS OF 4 INCHES. SPREADING IS TO BE PERFORMED IN SUCH A MANNER HAT SODDING OR SEEDING CAN PROCEED WITH A MINIMUM OF ADDITIONAL SOIL PREPARATION AND TILLAGE. ANY IRREGULARITIES IN THE SURFACE RESULTING FROM TOPSOILING OR OTHER OPERATIONS MUST BE CORRECTED IN ORDER TO PREVENT THE FORMATION OF DEPRESSIONS OR WATER POCKETS TOPSOIL MUST NOT BE PLACED IF THE TOPSOIL OR SUBSOIL IS IN A FROZEN OR MUDDY
- ONDITION, WHEN THE SUBSOIL IS EXCESSIVELY WET OR IN A CONDITION THAT MAY OTHERWISÉ BE DETRIMENTAL TO PROPER GRADING AND SEEDBED PREPARATION.

SOIL AMENDMENTS (FERTILIZER AND LIME SPECIFICATIONS)

- SOIL TESTS MUST BE PERFORMED TO DETERMINE THE EXACT RATIOS AND APPLICATION RATES FOR BOTH LIME AND FERTILIZER ON SITES HAVING DISTURBED AREAS OF 5 ACRES OR MORE. SOIL ANALYSIS MAY BE PERFORMED BY A RECOGNIZED PRIVATE OR COMMERCIAL LABORATORY. SOIL SAMPLES TAKEN FOR ENGINEERING PURPOSES MAY ALSO BE USED FOR CHEMICAL ANALYSES FERTILIZERS MUST BE UNIFORM IN COMPOSITION. FREE FLOWING AND SUITABLE FOR
- ACCURATE APPLICATION BY APPROPRIATE FQUIPMENT, MANURE MAY BE SUBSTITUTED FOR FERTILIZER WITH PRIOR APPROVAL FROM THE APPROPRIATE APPROVAL AUTHORITY. APPLICABLE LAWS AND MUST BEAR THE NAME, TRADE NAME OR TRADEMARK AND WARRANTY
- LIME MATERIALS MUST BE GROUND LIMESTONE (HYDRATED OR BURNT LIME MAY BE SUBSTITUTED EXCEPT WHEN HYDROSEFDING) WHICH CONTAINS AT LEAST 50 PERCENT TOTAL OXIDES (CALCIUM OXIDE PLUS MAGNESIUM OXIDE). LIMESTONE MUST BE GROUND TO SUCH FINENESS THAT AT LEAST 50 PERCENT WILL PASS THROUGH A #100 MESH SIEVE AND 98 TO 100 PERCENT WILL PASS THROUGH A #20 MESH SIEVE.
- LIME AND FERTILIZER ARE TO BE EVENLY DISTRIBUTED AND INCORPORATED INTO THE TOP 3 5 INCHES OF SOIL BY DISKING OR OTHER SUITABLE MEANS. WHERE THE SUBSOIL IS EITHER HIGHLY ACIDIC OR COMPOSED OF HEAVY CLAYS, SPREAD GROUND LIMESTONE AT THE T THE RATE OF 4 TO 8 TONS/ACRE (200-400 POUNDS PER 1,000 SQUARE FEET) PRIOR

APPROVED PLANNING BOARD OF HOWARD COUNTY

April 21, 2022

APPROVED	: HOWARD COUNTY DEPARTMENT	OF PLANNING & ZONING 7/6/2022
	Amy Gonan	1,0,2022
Director	5B4D5DD9470C4D4 DocuSigned by:	Date 6/28/2022

	Nay Clouds	
Director	5B4D5DD9470C4D4	Date
	DocuSigned by:	Date 6/28/2022
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Chief, Division of	Lander Seysel spament	Date
	DocuSigned by:	6/28/2022
	(ua) rl	
Chief, Developmer	it Edithe Eidmendsky	Date

HONE: 301-421-4024 | BALT: 410-880-1820 | DC&VA: 301-989-2524 | FAX: 301-421-4186

DESIGN CERTIFICATION

DESIGNED

ASPHALT BINDERS IS STRICTLY PROHIBITED

THIS PRACTICE SHOULD FOLLOW THE CONTOUR.

CELLULOSE FIBER PER 100 GALLONS OF WATER.

NEEDS TO BE HEAVIER AT THE EDGES WHERE WIND

" I HEREBY CERTIFY THAT THIS PLAN HAS BEEN DESIGNED IN ACCORDANCE WITH CURRENT MARYLAND EROSION AND SEDIMENT CONTROL LAWS REGULATIONS AND STANDARDS THAT IT REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE, AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

B-4-3 STANDARDS AND SPECIFICATIONS FOR SEEDING and

MULCHING

<u>DEFINITION</u>

THE APPLICATION OF SEED AND MULCH TO ESTABLISH VEGETATIVE COVER.

TO PROTECT DISTURBED SOILS FROM EROSION DURING AND AT THE END OF

CONDITIONS WHERE PRACTICE APPLIES

TO THE SURFACE OF ALL PERIMETER CONTROLS, SLOPES, AND ANY DISTURBED AREA

NOT UNDER ACTIVE GRADING.

a. ALL SEED MUST MEET THE REQUIREMENTS OF THE MARYLAND STATE SEED LAW

PRECEDING THE DATE OF SOWING SUCH MATERIAL ON ANY PROJECT. REFER T

b. MULCH ALONE MAY BE APPLIED BETWEEN THE FALL AND SPRING SEEDING DATE

FOR THE SPECIES. INOCULANTS MUST NOT BE USED LATER THAN THE DATE

INDICATED ON THE CONTAINER, ADD FRESH INOCULANTS AS DIRECTED ON THE

TABLE B.4 REGARDING THE QUALITY OF SEED. SEED TAGS MUST BE AVAILABLE UPON REQUEST TO THE INSPECTOR TO VERIFY TYPE OF SEED AND SEEDING RATI

ONLY IF THE GROUND IS FROZEN. THE APPROPRIATE SEEDING MIXTURE MUST BE

INOCULANTS: THE INOCULANT FOR TREATING LEGUME SEED IN THE SEED MIXTURES

MUST BE A PURE CULTURE OF NITROGEN FIXING BACTERIA PREPARED SPECIFICALLY

PACKAGE, USE FOUR TIMES THE RECOMMENDED RATE WHEN HYDROSEFDING, NOTE

IT IS VERY IMPORTANT TO KEEP INOCULANT AS COOL AS POSSIBLE UNTIL USED.

TEMPERATURES ABOVE 75 TO 80 DEGREES FAHRENHEIT CAN WEAKEN BACTERIA

d. SOD OR SEED MUST NOT BE PLACED ON SOIL WHICH HAS BEEN TREATED WITH SOIL

ELAPSED (14 DAYS MIN.) TO PERMIT DISSIPATION OF PHYTO-TOXIC MATERIALS.

INCORPORATE SEED INTO THE SUBSOIL AT THE RATES PRESCRIBED ON

ii. APPLY SEED IN TWO DIRECTIONS, PERPENDICULAR TO EACH OTHER. APPLY

DRILL OR CULTIPACKER SEEDING: MECHANIZED SEEDERS THAT APPLY AND COVER

CULTIPACKING SEEDERS ARE REQUIRED TO BURY THE SEED IN SUCH A

FASHION AS TO PROVIDE AT LEAST 1/4 INCH OF SOIL COVERING. SEEDBED

IF FERTILIZER IS BEING APPLIED AT THE TIME OF SEEDING, THE APPLICATION

RATES SHOULD NOT EXCEED THE FOLLOWING: NITROGEN, 100 POUNDS PER ACRE

TOTAL OF SOLUBLE NITROGEN: P205 (PHOSPHOROUS), 200 POUNDS PER ACRE;

ii. LIME: USE ONLY GROUND AGRICULTURAL LIMESTONE (UP TO 3 TONS PER ACRE

APPLIED BY HYDROSEEDING AT ANY ONE TIME. DO NOT USE BURNT OR HYDRATED

MAY BE APPLIED BY HYDROSEEDING). NORMALLY, NOT MORE THAN 2 TONS ARE

i. MIX SEED AND FERTILIZER ON SITE AND SEED IMMEDIATELY AND WITHOUT

a. STRAW CONSISTING OF THOROUGHLY THRESHED WHEAT, RYE, OAT, OR BARLEY AND

REASONABLY BRIGHT IN COLOR. STRAW IS TO BE FREE OF NOXIOUS WEED SEEDS

AS SPECIFIED IN THE MARYLAND SEED LAW AND NOT MUSTY, MOLDY, CAKED,

DECAYED, OR EXCESSIVELY DUSTY. NOTE: USE ONLY STERILE STRAW MULCH IN

WOOD CELLULOSE FIBER MULCH (WCFM) CONSISTING OF SPECIALLY PREPARED WOOD CELLULOSE PROCESSED INTO A UNIFORM FIBROUS PHYSICAL STATE.

WCFM IS TO BE DYED GREEN OR CONTAIN A GREEN DYE IN THE PACKAGE

ii. WCFM, INCLUDING DYE, MUST CONTAIN NO GERMINATION OR GROWTH INHIBITING

MANNER THAT THE WOOD CELLULOSE FIBER MULCH WILL REMAIN IN UNIFORM SUSPENSION IN WATER UNDER AGITATION AND WILL BLEND WITH SEED.

FERTILIZER AND OTHER ADDITIVES TO FORM A HOMOGENEOUS SLURRY. THE

APPLICATION, HAVING MOISTURE ABSORPTION AND PERCOLATION PROPERTIES

APPROXIMATELY 10 MILLIMETERS, DIAMETER APPROXIMATELY 1 MILLIMETER, PH

RANGE OF 4.0 TO 8.5, ASH CONTENT OF 1.6 PERCENT MAXIMUM AND WATER

AND MUST COVER AND HOLD GRASS SEED IN CONTACT WITH THE SOIL

v. WCFM MUST CONFORM TO THE FOLLOWING PHYSICAL REQUIREMENTS: FIBER

b. WHEN STRAW MULCH IS USED, SPREAD IT OVER ALL SEEDED AREAS AT THE RATE

MULCH TO ACHIEVE A UNIFORM DISTRIBUTION AND DEPTH SO THAT THE SOIL

TONS PER ACRE TO A UNIFORM LOOSE DEPTH OF 1 TO 2 INCHES. APPLY

URFACE IS NOT EXPOSED. WHEN USING A MULCH ANCHORING TOOL, INCREASE THE

WOOD CELLULOSE FIBER USED AS MULCH MUST BE APPLIED AT A NET DRY WEIGHT

F 1500 POUNDS PER ACRE. MIX THE WOOD CELLULOSE FIBER WITH WATER TO

ATTAIN A MIXTURE WITH A MAXIMUM OF 50 POUNDS OF WOOD CELLULOSE FIBER

a. PERFORM MULCH ANCHORING IMMEDIATELY FOLLOWING APPLICATION OF MULCH TO

MINIMIZE LOSS BY WIND OR WATER. THIS MAY BE DONE BY ONE OF THE FOLLOWING

METHODS (LISTED BY PREFERENCE), DEPENDING UPON THE SIZE OF THE AREA AND

PUNCH AND ANCHOR MULCH INTO THE SOIL SURFACE A MINIMUM OF 2 INCHES.

SLOPES WHERE EQUIPMENT CAN OPERATE SAFELY. IF USED ON SLOPING LAND,

THIS PRACTICE IS MOST FEFECTIVE ON LARGE AREAS. BUT IS LIMITED TO FLATTER

WOOD CELLULOSE FIBER MAY BE USED FOR ANCHORING STRAW. APPLY THE

FIBER BINDER AT A NET DRY WEIGHT OF 750 POUNDS PER ACRE. MIX THE WOOD

PETROSET, TERRA TAX II, TERRA MANUFACTURER.`APPLICATION´OF LIQUIÓ BINDERS

CATCHES MULCH, SUCH AS IN VALLEYS AND ON CRESTS OF BANKS. USE OF

ELLULOSE FIBER WITH WATER AT A MAXIMUM OF 50 POUNDS OF WOOD

SYNTHETIC BINDERS SUCH AS ACRYLIC DLR (AGRO-TACK), DCA-7

LIGHTWEIGHT PLASTIC NETTING MAY BE STAPLED OVER THE MULCH

ACCORDING TO MANUFACTURER RECOMMENDATIONS. NETTING IS USUALLY

AVAILABLE IN ROLLS 4 TO 15 FEET WIDE AND 300 TO 3,000 FEET LONG

A MULCH ANCHORING TOOL IS A TRACTOR DRAWN IMPLEMENT DESIGNED TO

iii. WCFM MATERIALS ARE TO BE MANUFACTURED AND PROCESSED IN SUCH A

MULCH MATERIAL MUST FORM A BLOTTER-LIKE GROUND COVER, ON

WCFM MATERIAL MUST NOT CONTAIN ELEMENTS OR COMPOUNDS AT

WITHOUT INHIBITING THE GROWTH OF THE GRASS SEEDLINGS

CONCENTRATION LEVELS THAT WILL BE PHYTO-TOXIC

a. APPLY MULCH TO ALL SEEDED AREAS IMMEDIATELY AFTER SEEDING

HOLDING CAPACITY OF 90 PERCENT MINIMUM.

PER 100 GALLONS OF WATER.

APPROPRIATE COLOR TO FACILITATE VISUAL

iv. WHEN HYDROSEEDING DO NOT INCORPORATE SEED INTO THE SOIL.

APPLY SEED IN TWO DIRECTIONS, PERPENDICULAR TO EACH OTHER. APPLY

. HYDROSEEDING: APPLY SEED UNIFORMLY WITH HYDROSEEDER (SLURRY INCLUDES

WEIGHTED ROLLER TO PROVIDE GOOD SEED TO SOIL CONTACT.

MUST BE FIRM AFTER PLANTING.

K20 (POTASSIUM) 200 POUNDS PER ACRE

SEED AND FERTILIZER).

LIME WHEN HYDROSFEDING

. MULCH MATERIALS (IN ORDER OF PREFERENCE)

AREAS WHERE ONE SPECIES OF GRASS IS DESIRED

INSPECTION OF THE UNIFORMLY SPREAD SLURRY

HALF THE SEEDING RATE IN EACH DIRECTION.

HALF THE SEEDING RATE IN EACH DIRECTION. ROLL THE SEEDED AREA WITH A

TEMPORARY SEEDING TABLE B.1, PERMANENT SEEDING TABLE B.3, OR

 $\ensuremath{\mathtt{a}}.$ DRY SEEDING: THIS INCLUDES USE OF CONVENTIONAL DROP OR BROADCAST

STERILANTS OR CHEMICALS USED FOR WEED CONTROL UNTIL SUFFICIENT TIME HAS

ALL SEED MUST BE SUBJECT TO RE-TESTING BY A RECOGNIZED SEED LABORATORY

SEED USED MUST HAVE BEEN TESTED WITHIN THE 6 MONTHS IMMEDIATELY

N. SEEDING



HOWARD SOIL CONSERVATION DISTRICT (HSCD) STANDARD SEDIMENT CONTROL NOTES

- A PRE-CONSTRUCTION MEETING MUST OCCUR WITH THE HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS, CONSTRUCTION INSPECTION DIVISION (CID), 410-313-1855 AFTER THE FUTURE LOD AND PROTECTED AREAS ARE MARKED CLEARLY'IN THE FIELD. A MINIMUM OF 48 HOUR NOTICE TO CID MUST BE GIVEN AT THE FOLLOWING STAGES:
- A. PRIOR TO THE START OF EARTH DISTURBANCE. B. UPON COMPLETION OF THE INSTALLATION OF PERIMETER EROSION AND SEDIMENT
- CONTROLS, BUT BEFORE PROCEEDING WITH ANY OTHER EARTH DISTURBANCE OR C. PRIOR TO THE START OF ANOTHER PHASE OF CONSTRUCTION OR OPENING OF ANOTHER GRADING UNIT D. PRIOR TO THE REMOVAL OR MODIFICATION OF SEDIMENT CONTROL PRACTICES.
- OTHER BUILDING OR GRADING INSPECTION APPROVALS MAY NOT BE THORIZED UNTIL THIS INITIAL APPROVAL BY THE INSPECTION AGAENCY IS LATED STATE AND FEDERAL PERMITS SHALL BE REFERENCED. TO ENSURE ORDINATION AND TO AVOID CONFLICTS WITH THIS PLAN.
- ALL VEGETATIVE AND STRUCTURAL PRACTICES ARE TO BE INSTALLED ACCORDING TO THE PROVISIONS OF THIS PLAN AND ARE TO BE IN CONFORMANCE WITH THE "2011 MARYLAND" STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL" AND
- FOLLOWING INITIAL SOIL DISTURBANCE OR RE-DISTURBANCE, PERMANENT OR TEMPORAR STABILIZATION IS REQUIRED WITHIN THREE (3) CALENDAR DAYS AS TO THE SURFACE OF ALL PERIMETER CONTROLS, DIKES, SWALES, DITCHES, PERIMETER SLOPES, AND ALL SLOPES STEEPER THAN 3 HORIZONTAL TO 1 VERTICAL (3:1); AND SEVEN (7) CALENDAR DAYS AS TO ALL OTHER DISTURBED AREAS ON THE PROJECT SITE EXCEPT FOR THOSE AREAS UNDER ACTIVE GRADING.
- ALL DISTURBED AREAS MUST BE STABILIZED WITHIN THE TIME PERIOD SPECIFIED ABOVE IN ACCORDANCE WITH THE "2011 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL" FOR TOPSOIL (SEC. B-4-2), PERMANENT SEEDING SEC. B-4-5). TEMPORARY SEEDING (SEC. B-4-4) AND MUI CHING (SEC. B-4-TEMPORARY STABILIZATION WITH MULCH ALONE CAN ONLY BE APPLIED BETWEEN THE FALL AND SPRING SEEDING DATES IF THE GROUND IS FROZEN. INCREMENTAL STABILIZATION (SEC. B-4-1) SPECIFICATIONS SHALL BE ENFORCED IN AREAS WITH >15' OF CUT AND/OR FILL. STOCKPILES (SEC. B-4-8) IN EXCESS OF 20 FT. MUST BE BENCHED WITH STABLE OUTLET. ALL CONCENTRATED FLOW, STEEP SLOPE, AND HIGHLY ERODIBLE AREAS SHALL RECEIVE SOIL STABILIZATION MATTING (SEC. B-4-6).
- ALL SEDIMENT CONTROL STRUCTURES ARE TO REMAIN IN PLACE, AND ARE TO BE MAINTAINED IN OPERATIVE CONDITION UNTIL PERMISSION FOR THEIR REMOVAL HAS BEEN OBTAINED FROM THE CID.
- TOTAL AREA OF SITE 5.5± Acres AREA DISTURBED 1.3± Acres AREA TO BE ROOFED OR PAVED 1.15± Acres AREA TO BE VEGETATIVELY STABILIZED 0.2± Acres TOTAL CUT 74 Cu. Yds. 1,528 Cu. Yds. OFF-SITE WASTE/BORROW AREA LOCATION : TO BE DETERMINED
- ANY SEDIMENT CONTROL PRACTICE WHICH IS DISTURBED BY GRADING ACTIVITY FOR PLACEMENT OF UTILITIES MUST BE REPAIRED ON THE SAME DAY OF DISTURBANCE ADDITIONAL SEDIMENT CONTROL MUST BE PROVIDED, IF DEEMED NECESSARY BY THE CID. HE SITE AND ALL CONTROLS SHALL BE INSPECTED BY THE CONTRACTOR WEEKLY; AND THE NEXT DAY AFTER EACH RAIN EVENT. A WRITTEN REPORT BY THE CONTRACTOR, MADE AVAILABLE UPON REQUEST, IS PART OF EVERY INSPECTION AND SHOULD INCLUDE:
- INSPECTION TYPE (ROUTINE, PRE-STORM EVENT, DURING RAIN EVENT) NAME AND TITLE OF INSPECTOR
- WEATHER INFORMATION (CURRENT CONDITIONS AS WELL AS TIME AND AMOUNT OF LAST RECORDED PRECIPITATION) BRIEF DESCRIPTION OF PROJECT'S STATUS (E.G., PERCENT COMPLETE) AND /OR CURRENT
- EVIDENCE OF SEDIMENT DISCHARGES IDENTIFICATION OF PLAN DEFICIENCIE IDENTIFICATION OF SEDIMENT CONTROLS THAT REQUIRE MAINTENANCE IDENTIFICATION OF MISSING OR IMPROPERLY INSTALLED SEDIMENT CONTROLS COMPLIANCE STATUS REGARDING THE SEQUENCE OF CONSTRUCTION AND STABILIZATION
- REQUIREMENTS PHOTOGRAPHS MONITORING/SAMPLING MAINTENANCE AND/OR CORRECTIVE ACTION PERFORMED

OTHER INSPECTION ITEMS AS REQUIRED BY THE "GENERAL PERMIT FOR STORMWATER

- ASSOCIATED WITH CONSTRUCTION ACTIVITIES" (NPDES, MDE). TRENCHES FOR THE CONSTRUCTION OF UTILITIES IS LIMITED TO THREE PIPE LENGTHS OR THAT WHICH CAN AND SHALL BE BACK-FILLED AND STABILIZED BY THE END OF EACH WORKDAY, WHICHEVER IS SHORTER.
- ANY MAJOR CHANGES OR REVISIONS TO THE PLAN OR SEQUENCE OF CONSTRUCTION MUST BE REVIEWED AND APPROVED BY THE HSCD PRIOR TO PROCEEDING WITH CONSTRUCTION. MINOR REVISIONS MAY BE ALLOWED BY THE CID PER THE LIST OF HSCD-APPROVED FIELD CHANGES.
- DISTURBANCE SHALL NOT OCCUR OUTSIDE THE LOD. A PROJECT IS TO BE SEQUENCED SO THAT GRADING ACTIVITIES BEGIN ON ONE GRADING UNIT (MAXIMUM ACREAGE OF 20 AC. PER GRADING UNIT) AT A TIME. WORK MAY PROCEED TO A SUBSEQUENT GRADING UNIT WHEN AT LEAST 50 PERCENT OF THE DISTURBED AREA IN THE PRECEDING GRADING UNIT HAS BEEN STABILIZED AND APPROVED BY THE CID. UNLESS OTHERWISE SPECIFIED AND APPROVED BY THE HSCD, NO MORE THAN 30 ACRES CUMULATIVELY MAY BE DISTURBED
- WASH WATER FROM ANY EQUIPMENT, VEHICLES, WHEELS PAVEMENT, AND OTHER SOURCES MUST BE TREATED IN A SEDIMENT BASIN OR OTHER APPROVED WASHOUT STRUCTURE. TOPSOIL SHALL BE STOCKPILED AND PRESERVED ON-SITE FOR REDISTRIBUTION ONTO
- ALL SILT FENCE AND SUPER SILT FENCE SHALL BE PLACED ON-THE-CONTOUR, AND BE IMBRICATED AT 25' MINIMUM INTERVALS, WITH LOWER ENDS CURLED UPHILL BY 2' IN
- STREAM CHANNELS MUST NOT BE DISTURBED DURING THE FOLLOWING RESTRICTED TIME PERIODS (INCLUSIVE): USE I AND IP MARCH 1 - JUNE 1 USE III AND IIIP OCTOBER 1 – APRIL 30 USE IV MARCH 1 - MAY 31
- A COPY OF THIS PLAN. THE "2011 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL," AND ASSOCIATED PERMITS SHALL BE ON-SITE AND AVAILABLE WHEN THE SITE IS ACTIVE

THIS PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

6/28/2022 Olexander Bratchie

HOWARD S.C.D.

OWNERS/DEVELOPERS CERTIFICATION "I/WE HEREBY CERTIFY THAT ANY CLEARING, GRADING, CONSTRUCTION, OR DEVELOPMENT WILL BE DONE PURSUANT TO THIS APPROVED FROSION AND SEDIMENT CONTROL PLAN, INCLUDING INSPECTING AND MAINTAINING CONTROLS AND THAT THE RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF TRAINING AT A MARYLAND DEPARTMENT OF THE ENVIRONMENT (MDE) APPROVED TRAINING PROGRAM FOR THE CONTROL ON EROSION AND SEDIMENT PRIOR TO BEGINNING THE PROJECT I CERTIFY RIGHT-OF-ENTRY FOR PERIODIC ON-SITE EVALUATION BY HOWARD

COUNTY, THE HOWARD SOIL CONSERVATION DISTRICT AND/OR MDE."



06/07/22 DATE

DATE

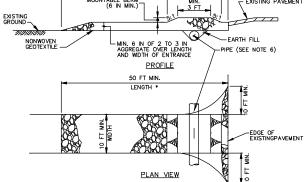
OWNER/DEVELOPER:

8601 ROBERT FULTON DRIVE, SUITE 100 COLUMBIA, MD 21046 ATTN: PETER MATHIESON

PROFESSIONAL CERTIFICATION HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 12975 _____,



MOUNTABLE BERM (6 IN MIN.) NONWOVEN GEOTEXTILE - MIN. 6 IN OF 2 TO 3 IN AGGREGATE OVER LENGTH AND WIDTH OF ENTRANCE <u>PROFILE</u>



CONSTRUCTION SPECIFICATIONS PLACE STABILIZED CONSTRUCTION ENTRANCE IN ACCORDANCE WITH THE APPROVED PLAN. VEHICLES MUST TRAVEL OVER THE ENTRE LENGTH OF THE SCE. USE MINIMUM LENGTH OF 50 FEET (*30 FEET FOR SINGLE RESIDENCE LOT). USE MINIMUM WIDTH OF 10 FEET. FLARE SCE 10 FEET MINIMUM AT THE ZISTING ROAD TO PROVIDE A TURNING RADIUS. PIPE ALL SURFACE WATER FLOWING TO OR DIVERTED TOWARD THE SCE UNDER THE ET MAINTAINING POSITIVE DRAINAGE. PROTECT PIPE INSTALLED THROUGH THE SCE WITH A

- STREAM BANKS, OR DUNES OR FOR SPECIAL PURPOSES SUCH AS WILDLIFE OR AESTHETIC TREATMENT MAY BE FOUND IN USDA-NRCS TECHNICAL FIELD OFFICE GUIDE, SECTION 342 FOR SITES HAVING DISTURBED AREA OVER 5 ACRES, USE AND SHOW THE RATES RECOMMENDED BY THE SOIL TESTING AGENCY. . FOR AREAS RECEIVING LOW MAINTENANCE, APPLY UREA FORM FERTILIZER (46-0-0) AT 3 1/2 POUNDS PER 1000 SQUARE FEET (150 POUNDS PER ACRE) AT THE TIME OF SEEDING
- IN ADDITION TO THE SOIL AMENDMENTS SHOWN IN THE PERMANENT SEEDING SUMMARY. a. AREAS WHERE TURFGRASS MAY BE DESIRED INCLUDE LAWNS, PARKS, PLAYGROUNDS, AND

<u>DEFINITION</u>

TO STABILIZE DISTURBED SOILS WITH PERMANENT VEGETATION.

TO USE LONG-LIVED PERENNIAL GRASSES AND LEGUMES TO ESTABLISH PERMANENT GROUND COVER

ON DISTURBED SOILS.

CONDITIONS WHERE PRACTICE APPLIES

EXPOSED SOILS WHERE GROUND COVER IS NEEDED FOR 6 MONTHS OR MORE.

a. SELECT ONE OR MORE OF THE SPECIES OR MIXTURES LISTED IN TABLE B.3 FOR THE

APPROPRIATE PLANT HARDINESS ZONE (FROM FIGURE B.3) AND BASED ON THE SITE

ADDITIONAL PLANTING SPECIFICATIONS FOR EXCEPTIONAL SITES SUCH AS SHORELINES.

CONDITION OR PURPOSE FOUND ON TABLE B.2. ENTER SELECTED MIXTURE(S). APPLICATION

ATES, AND SEEDING DATES IN THE PERMANENT SEEDING SUMMARY. THE SÚMMARY IS TO

SEED MIXTURES

CRITICAL AREA PLANTING

- COMMERCIAL SITES WHICH WILL RECEIVE A MEDIUM TO HIGH LEVEL OF MAINTENANCE. b. SELECT ONE OR MORE OF THE SPECIES OR MIXTURES LISTED BELOW BASED ON THE SITE CONDITIONS OR PURPOSE. ENTER SELECTED MIXTURE(S), APPLICATION RATES, AND SEEDING DATES IN THE PERMANENT SEEDING SUMMARY. THE SUMMARY IS TO BE PLACED ON THE
 - KENTUCKY BLUEGRASS: FULL SUN MIXTURE: FOR USE IN AREAS THAT RECEIVE INTENSIVE MANAGEMENT IRRIGATION REQUIRED IN THE AREAS OF CENTRAL MARYLAND AND EASTERN SHORE. RECOMMENDED CERTIFIED KENTUCKY BLUEGRASS CULTIVARS SEEDING RATE: 1.5 TO 2.0 POUNDS PER 1000 SQUARE FEET. CHOOSE A MINIMUM OF HREE KENTUCKY BLUEGRASS CULTIVARS WITH EACH RANGING FROM 10 TO 35
 - AREAS WHERE RAPID ÉSTABLISHMENT IS NECESSARY AND WHEN TURF WILL RECEIVE MEDIUM TO INTENSIVE MANAGEMENT. CERTIFIED PERENNIAL RYEGRASS CULTIVARS/CERTIFIED KENTUCKY BLUEGRASS SEEDING RATE: 2 POUNDS MIXTURE PER 00 SQUÁRE FEET. CHOOSE A MINIMUM OF THREE KENTUCKY BLUEGRASS CULTIVAR: WITH EACH RANGING FROM 10 TO 35 PERCENT OF THE TOTAL MIXTURE BY WEIGHT.
 - iii. TALL FESCUE/KENTUCKY BLUEGRASS: FULL SUN MIXTURE: FOR USE IN DROUGHT PRONE AREAS AND/OR FOR AREAS RECEIVING LOW TO MEDIUM MANAGEMENT IN FULL RECOMMENDED MIXTURE INCLUDES; CERTIFIED TALL FESCUE CULTIVARS 95 TO 100 PERCENT, CERTIFIED KENTUCKY BLUEGRASS CULTIVARS 0 TO 5 PERCENT. SEEDING RATE: 5 TO 8 POUNDS PER 1000 SQUARE FEET. ONE OR MORE CULTIVARS MAY BE
- iv. KENTUCKY BLUEGRASS/FINE FESCUE: SHADE MIXTURE: FOR USE IN AREAS WITH SHADE IN BLUEGRASS LAWNS. FOR ESTABLISHMENT IN HIGH QUALITY, INTENSIVELY MANAGED TURF AREA. MIXTURE INCLUDES: CERTIFIED KENTUCKY BLUEGRASS CULTIVARS 30 TO 40 PERCENT AND CERTIFIED FINE FESCUE AND 60 TO 70 PERCENT SEEDING RATE: 1 1/2 TO 3 POUNDS PER 1000 SQUARE FEET.
- SELECT TURFGRASS VARIETIES FROM THOSE LISTED IN THE MOST CURRENT UNIVERSITY OF MARYLAND PUBLICATION, AGRONOMY MEMO #77, "TURFGRASS CULTIVAR RECOMMENDATIONS FOR MARYLAND"
- CULTIVAR PURITY. THE CERTIFICATION PROGRAM OF THE MARYLAND DEPARTMENT OF AGRICULTURE, TURF AND SEED SECTION, PROVIDES A RELIABLE MEANS OF CONSUMER PROTECTION AND ASSURES A PURE GENETIC LINE
- CENTRAL MD: MARCH 1 TO MAY 15, AUGUST 15 TO OCTOBER 15 (HARDINESS ZONE:
- TILL AREAS TO RECEIVE SEED BY DISKING OR OTHER APPROVED METHODS TO A DEPTH O 2 TO 4 INCHES, LEVEL AND RAKE THE AREAS TO PREPARE A PROPER SEEDBED. REMOVE STONES AND DEBRIS OVER 1 1/2 INCHES IN DIAMETER. THE RESULTING SEEDBED MUST BE
- IN SUCH CONDITION THAT FUTURE MOWING OF GRASSES WILL POSE NO DIFFICULTY k. IF SOIL MOISTURE IS DEFICIENT, SUPPLY NEW SEEDINGS WITH ADEQUATE WATER FOR PLANT

	ARDINESS ZONE: 6b EED MIXTURE: #9 (Tall Fescue/	FERTILIZER		'				
lo.	SPECIES	APPLICATION RATE	SEEDING DATES	SEEDING DEPTHS	RATE (10-20-20)	LIME RATE	2	
	*Certified Tall Fescue blend (95% by weight): Falcon IV, Penn 1901 & Rebel Exeda and Certified Kentucky Bluegrass blend (5% by weight): Courtyard, Raven & Yankee	6-8 lb/ 1000 s.f.	Mar. 1 to May 15, Aug. 15 to Oct. 15	1/4 – 1/2 IN.	1.0 lb/ 1000 s.f. (45 lb/acre)	90 lb/ 1000 s.f.	3.	•

B. SOD: TO PROVIDE QUICK COVER ON DISTURBED AREAS (2:1 GRADE OR FLATTER).

- MADE AVAILABLE TO THE JOB FOREMAN AND INSPECTOR. GROWTH AND THATCH. BROKEN PADS AND TORN OR UNEVEN ENDS WILL NOT BE
- STANDARD SIZE SECTIONS OF SOD MUST BE STRONG ENOUGH TO SUPPORT THEIR OWN GRASP ON THE UPPER 10 PERCENT OF THE SECTION.
- DRY OR WET) MAY ADVERSELY AFFECT ITS SURVIVAL e. SOD MUST BÉ HARVESTED, DELIVERED, AND INSTALLED WITHIN A PERIOD OF 36 HOURS.

SOD INSTALLATION

- LIGHTLY IRRIGATE THE SUBSOIL IMMEDIATELY PRIOR TO LAYING THE SOD. LAY THE FIRST ROW OF SOD IN A STRAIGHT LINE WITH SUBSEQUENT ROWS PLACED WHICH WOULD CAUSE AIR DRYING OF THE ROOTS
- WITH STAGGERING JOINTS. ROLL AND TAMP, PEG OR OTHERWISE SECURE THE SOD TO PREVENT SLIPPAGE ON SLOPES. ENSURE SÓLID CONTACT EXISTS BETWEEN SOD ROOTS AND WATER THE SOD IMMEDIATELY FOLLOWING ROLLING AND TAMPING UNTIL THE UNDERSIDE OF THE NEW SOD PAD AND SOIL SURFACE BELOW THE SOD ARE THOROUGHLY WET. COMPLETE THE OPERATIONS OF LAYING, TAMPING AND IRRIGATING FOR ANY PIECE OF SOD WITHIN EIGHT HOURS.

SOD MAINTENANCE

- a. IN THE ABSENCE OF ADEQUATE RAINFALL, WATER DAILY DURING THE FIRST WEEK OR AS OFTEN AND SUFFICIENTLY AS NECESSARY TO MAINTAIN MOIST SOIL TO A DEPTH OF 4 INCHES. WATER SOD DURING THE HEAT OF THE DAY TO PREVENT WILTING. AFTER THE FIRST WEEK, SOD WATERING IS REQUIRED AS NECESSARY TO MAINTAIN
- ADEQUATE MOISTURE CONTENT.

DETAIL B-1 STABILIZED CONSTRUCTION SCE DETAIL E-2 SILT FENCE ON PAVEMENT ENTRANCE - EXISTING PAVEMENT 2 IN x 4 IN ACROSS— TOP OF STONE

CONSTRUCTION SPECIFICATIONS

. USE NOMINAL 2 INCH X 4 INCH LUMBER.

MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL U.S. DEPARTMENT OF AGRICULTURE
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PLAN / CUT AWAY VIEW

LIFT GRATE AND WRAP WITH NONWOYEN GEOTEXTILE TO COMPLETELY COVER ALL OPENINGS. SECURE WITH WIRE TIES AND SET GRATE BACK IN PLACE.

3. PLACE CLEAN 3/4, TO 1/2 INCH STONE OR EQUIVALENT RECYCLED CONCRETE 6 INCHES THICK ON THE

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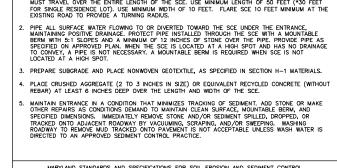
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CONSTRUCTION SPECIFICATION

. Use nonwoven geotextile as specified in section H=1 materials

DETAIL E-9-2 AT-GRADE INLET PROTECTION



- CHOOSE CERTIFIED MATERIAL. CERTIFIED MATERIAL IS THE BEST GUARANTEE OF
- IDEAL TIMES OF SEEDING FOR TURF GRASS MIXTURES WESTERN MD: MARCH 15 TO JUNE 1, AUGUST 1 TO OCTOBER 1 (HARDINESS ZONES: 5B,
- SOUTHERN MD, EASTERN SHORE: MARCH 1 TO MAY 15, AUGUST 15 TO OCTOBER 15 (HARDINESS ZONES: 7A, 7B)
- GROWTH (1/2 TO 1 INCH EVERY 3 TO 4 DAYS DEPENDING ON SOIL TEXTURE) UNTIL THEY ARE FIRMLY ESTABLISHED. THIS IS ESPECIALLY TRUE WHEN SEEDINGS ARE MADE LATE IN THE PLANTING SEASON, IN ABNORMALLY DRY OR HOT SEASONS, OR ON ADVERSE SITES.

PERMANENT SEEDING SUMMARY

ARDINESS ZONE: 6b EED MIXTURE: #9 (Tall Fescue _/	FERTILIZER		1.			
SPECIES	APPLICATION RATE	SEEDING DATES	SEEDING DEPTHS	RATE (10-20-20)	LIME RATE	2
*Certified Tall Fescue blend (95% by weight): Falcon IV, Penn 1901 & Rebel Exeda and Certified Kentucky Bluegrass blend (5% by weight): Courtyard, Raven & Yankee	6-8 lb/ 1000 s.f.	Mar. 1 to May 15, Aug. 15 to Oct. 15	1/4 – 1/2 IN.	1.0 lb/ 1000 s.f. (45 lb/acre)	90 lb/ 1000 s.f.	3.

* Other cultivars listed as "proven" in the most current UMD TT-77 may also be used

- a. CLASS OF TURFGRASS SOD MUST BE MARYLAND STATE CERTIFIED. SOD LABELS MUST BE b. SOD MUST BE MACHINE CUT AT A UNIFORM SOIL THICKNESS OF 3/4 INCH, PLUS OR MINUS 1/4 INCH, AT THE TIME OF CUTTING. MEASUREMENT FOR THICKNESS MUST EXCLUDE TOP
- WEIGHT AND RETAIN THEIR SIZE AND SHAPE WHEN SUSPENDED VERTICALLY WITH A FIRM SOD MUST NOT BE HARVESTED OR TRANSPLANTED WHEN MOISTURE CONTENT (EXCESSIVELY
- OD NOT TRANSPLANTED WITHIN THIS PERIOD MUST BE APPROVED BY AN AGRONOMIST OR SOIL SCIENTIST PRIOR TO ITS INSTALLATION.

- a. DURING PERIODS OF EXCESSIVELY HIGH TEMPERATURE OR IN AREAS HAVING DRY SUBSOIL, . TO IT AND TIGHTLY WEDGED AGAINST EACH OTHER. STAGGER LATERAL JOINTS TO PROMOTE MORE UNIFORM GROWTH AND STRENGTH. ENSURE THAT SOD IS NOT STRETCHED OR OVERLAPPED AND THAT ALL JOINTS ARE BUTTED TIGHT IN ORDER TO PREVENT VOIDS WHEREVER POSSIBLE, LAY SOD WITH THE LONG EDGES PARALLEL TO THE CONTOUR AND

- DO NOT MOW UNTIL THE SOD IS FIRMLY ROOTED. NO MORE THAN 1/3 OF THE GRASS LEAF MUST BE REMOVED BY THE INITIAL CUTTING OR SUBSEQUENT CUTTINGS. MAINTAIN A GRASS HEIGHT OF AT LEAST 3 INCHES UNLESS OTHERWISE SPECIFIED.

06/07/22

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B-4-4 STANDARDS AND SPECIFICATIONS FOR TEMPORARY STABILIZATION

AGIP

MAXIMUM DRAINAGE AREA = 1 ACRI

—¾ to 1½ in stone

_ % TO 1½ IN STONE

TO STABILIZE DISTURBED SOILS WITH VEGETATION FOR UP TO 6 MONTHS.

TO USE FAST GROWING VEGETATION THAT PROVIDES COVER ON DISTURBED SOILS. CONDITIONS WHERE PRACTICE APPLIES EXPOSED SOILS WHERE GROUND COVER IS NEEDED FOR A PERIOD OF 6 MONTHS OR LESS. FOR LONGER DURATION OF TIME, PERMANENT STABILIZATION PRACTICES ARE REQUIRED.

SELECT ONE OR MORE OF THE SPECIES OR SEED MIXTURES LISTED IN TABLE B.1 FOR TH APPROPRIATE PLANT HARDINESS ZONE (FROM FIGURE B.3), AND ENTER THEM IN THE TEMPORARY SEEDING SUMMARY BELOW ALONG WITH APPLICATION RATES. SEEDING DATES AND SEEDING DEPTHS. IF THIS SUMMARY IS NOT PUT ON THE PLAN AND COMPLETED, THEN TARLE R.1 PLUS FERTILIZER AND LIME RATES MUST BE PUT ON THE PLAN FOR SITES HAVING SOIL TESTS PERFORMED, USE AND SHOW THE RECOMMENDED RATES BY THE TESTING AGENCY SOIL TESTS ARE NOT REQUIRED FOR TEMPORARY SEEDING. WHEN STABILIZATION IS REQUIRED OUTSIDE OF A SEEDING SEASON, APPLY SEED AND MULCH OR STRAW MULCH ALONE AS PRESCRIBED IN SECTION B-4-3.A.1.B AND MAINTAIN UNTIL THE NEXT SEEDING SEASON.

TEMPORARY SEEDING SUMMARY

_							
	HARDINESS 7						
	SEED MIXTUR	FERTILIZER RATE	LIME RATE				
	SPECIES	APPLICATION RATE (lb/ac.)	SEEDING DATES	SEEDING DEPTHS	(10-10-10)	LIWL RAIE	
	ANNUAL RYEGRASS	40 lb/ac	Mar. 1 to May 15, Aug. 1 to Oct. 15	0.5 INCHES	436 lb./ac. (10 lb./	2 tons/ac (90 lb./	
	PEARL MILLET	20 lb/ac	May 16 to July 31	0.5 INCHES	1,000 sf)	1,000 sf)	

STANDARDS AND SPECIFICATIONS FOR DUST CONTROL <u>DEFINITION</u> CONTROLLING THE SUSPENSION OF DUST PARTICLES FROM CONSTRUCTION ACTIVITIES.

TO PREVENT BLOWING AND MOVEMENT OF DUST FROM EXPOSED SOIL SURFACES TO REDUCE ON AND OFF-SITE DAMAGE INCLUDING HEALTH AND TRAFFIC HAZARDS.

CONDITIONS WHERE PRACTICE APPLIES AREAS SUBJECT TO DUST BLOWING AND MOVEMENT WHERE ON AND OFF-SITE DAMAGE IS LIKELY WITHOUT TREATMENT.

SPECIFICATIONS

- MULCHES: SEE SECTION B-4-2 SOIL PREPARATION, TOPSOILING, AND SOIL AMENDMENTS, SECTION B-4-3 SEEDING AND MULCHING, AND SECTION B-4-4 TEMPORARY STABILIZATION. MULCH MUST BE ANCHORED TO PREVENT BLOWING.
- VEGETATIVE COVER: SEE SECTION B-4-4 TEMPORARY STABILIZATION. TILLAGE: TILL TO ROUGHEN SURFACE AND BRING CLODS TO THE SURFACE, BEGIN PLOWING ON WINDWARD SIDE OF SITE. CHISEL-TYPE PLOWS SPACED ABOUT 12 INCHES APART, SPRING-TOOTHED HARROWS, AND SIMILAR PLOWS ARE EXAMPLES OF EQUIPMENT THAT MAY PRODUCE THE DESIRED
- IRRIGATION: SPRINKLE SITE WITH WATER UNTIL THE SURFACE IS MOIST. REPEAT AS NEEDED. THE SI MUST NOT BE IRRIGATED TO THE POINT THAT RUNOFF OCCURS. BARRIERS: SOLID BOARD FENCES, SILT FENCES, SNOW FENCES, BURLAP FENCES, STRAW BALES, AN SIMILAR MATERIAL CAN BE USED TO CONTROL AIR CURRENTS AND SOIL BLOWING CHEMICAL TREATMENT: USE OF CHEMICAL TREATMENT REQUIRES APPROVAL BY THE APPROPRIATE PLAN REVIEW AUTHORITY.

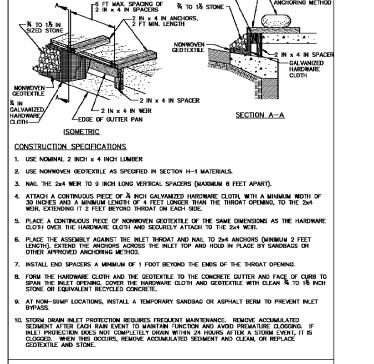
DETAIL E-1 SILT FENCE ⊢----SF------| 36 IN MIN. FENCE POST LENGTH DRIVEN MIN. 16 IN INTO GROUND 16 in Min. Height of Woven sut film geotextile Les in Min. Depth into ground ELEVATION FENCE POST 18 IN MIN.
-- ABOVE GROUND WOVEN SLIT FILM—— GEOTEXTILE - Fence Post Driven A Nin. Of 16 in into The Ground SECTION A-A CROSS SECTION . Use woven slit film geotextile, as specified in section H-1 materials. . PROVIDE MANUFACTURER CERTIFICATION TO THE AUTHORIZED REPRESENTATIVE OF THE INSPECTION/ENFORCEMENT AUTHORITY SHOWING THAT THE GEOTEXTILE USED MEETS THE REQUIREMENTS IN SECTION H-1 MATERIALS. PROVIDE A TWO FOOT OPENING BETWEEN EVERY SET OF SUPPORTS AND PLACE STONE IN THE OPENING OVER GEOTEXTILE. KEEP SILT FENCE TAUT AND SECURELY STAPLE TO THE UPSLOPE SIDE OF UPRIGHT SUPPORTS. EXTEND GEOTEXTILE UNDER 2x4. . WHERE TWO SECTIONS OF GEOTEXTILE ADJOIN: OVERLAP, FOLD, AND STAPLE TO POST IN ACCORDANCE WITH THIS DETAIL. ATTACH LATHE. PROVIDE A MASTIC SEAL BETWEEN PAVEMENT, GEOTEXTILE, AND 2x4 TO PREVENT SEDIMENT-LADEN WATER FROM ESCAPING BENEATH SILT FENCE INSTALLATION. SECURE BOARDS TO PAVEMENT WITH 400 5 INCH MINIMUM LENGTH NAILS REMOVE ACCUMULATED SEDIMENT AND DEBRIS WHEN BULGES DEVELOP IN SILT FENCE OR WHEN SEDIMENT REACHES 25% OF FENCE HEIGHT, REPLACE GEOTEXTILE IF TORN. MAINTAIN WATER TIGHT SCAL ALONG BOTTOM. REPLACE STONE IF DISPLACED. JOINING TWO ADJACENT SILT FENCE SECTIONS (TOP VIEW) MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL

STANDARD SYMBOL DETAIL E-1 SILT FENCE ⊢----SF------I Use wood posts 1% x 1% \pm 1% inch (minimum) square cut of sound quality hardwood. As an alternative to wooden post use standard "1" or "u" section sieel posts weighing not less than 1 pound per linear foot. . USE 36 INCH MINIMUM POSTS DRIVEN 16 INCH MINIMUM INTO CROUND NO NORE THAN 6 FEET APART . Use woven slit film geotextile as specified in section H-1 materials and fasten geotextile securely to upslope side of fence posts with wire ties or staples at top and hid-sections. PROVIDE MANUFACTURER CERTIFICATION TO THE AUTHORIZED REPRESENTATIVE OF THE INSPECTION/ENFORCEMENT AUTHORITY SHOWING THAT THE GEOTEXTILE USED MEETS THE REQUIREMENTS IN SECTION H—1 MATERIALS. . Embed sectextile a minimum of 8 inches vertically into the ground, backfill and compact the soil on both sides of Fabric. WHERE TWO SECTIONS OF GEOTEXTILE ADJOIN: OVERLAP, TWIST, AND STAPLE TO POST IN ACCORDANCE WITH THIS DETAIL. EXTEND BOTH ENDS OF THE SILT FENCE A MINIMUM OF FIVE HORIZONTAL FEET UPSLOPE AT 45 DEGREES TO THE MAIN FENCE ALIGNMENT TO PREVENT RUNOFF FROM GOING AROUND THE ENDS OF THE SILT FENCE. . Remove accumulated seciment and debris when bulges develop in SLT fence or when seciment reaches 25% of Fence Height. Replace geotextile if torn. If undermining occurs, projectly enough. MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL

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J.S. DEPARTMENT OF AGRICULTURE
AL RESOURCES CONSERVATION SERVICE 2011 WATER MANAGEMENT ADMINISTRATION

2 IN x 4 IN WER−

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FT MIN. LENGTH

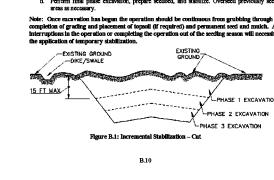
SANDBAG OR OTHER APPROVED ANCHORING METH

MAXIMUM DRAINAGE AREA = 14 ACRE

DETAIL E-9-3 CURB INLET PROTECTION

Any cut or fill slope greater than 15 feet in height. This practice also applies to stockpiles.

- A. Incremental Stabilization Cut Slopes 1. Excavate and stabilize cut slopes in increments not to exceed 15 feet in height. Prepare seedbed and
- a. Construct and stabilize all temporary swales or dikes that will be used to convey runoff around b. Perform Phase 1 excavation, prepare seedbed, and stabilize . Perform Phase 2 excavation, prepare seedbed, and stabilize. Overseed Phase 1 areas a d. Perform final phase excavation, prepare seedbed, and stabilize. Overseed previously seeded e: Once excavation has begun the operation should be continuous from grubbing through upletion of grading and placement of topsoil (if required) and permanent seed and mutch. A gruptions in the operation or completing the operation out of the seeding season will necessi



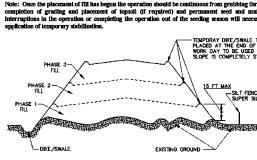
B-4-8 STANDARDS AND SPECIFICATIONS

A mound or pile of soil protected by appropriately designed erosion and sediment control measurements

le a designated location for the temporary storage of soil that controls the potential for erosion,

. Access the stockpile area from the upgrade side.

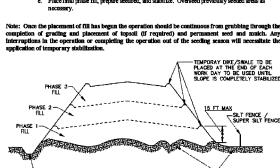
- Stabilize slopes immediately when the vertical height of a lift reaches 15 feet, or when the grading At the end of each day, install temporary water conveyance practice(s), as necessary, t surface runoff and convey it down the slope in a non-crosive manner.
- . Construction sequence example (Refer to Figure B.2): b. At the end of each day, install temporary water conveyance practice(s), as necessary, to intercept surface runoff and convey it down the slope in a non-crosive manner.
- c. Place Phase 1 fill, prepare seedbed, and stabilize d. Place Phase 2 fill, prepare seedbed, and stabilize. e. Place final phase fill, prepare seedbed, and stabilize. Overseed previously seeded areas as



- The stockpile location and all related sediment control practices must be clearly indicated on the erosion and sediment control plan. The footprint of the stockpile must be sized to accommodate the anticipated volume of materia and based on a side slope ratio no steeper than 2:1. Benching must be provided in accordance with Section B-3 Land Gradding.
- Clear water runoff into the stockpile area must be minimized by use of a diversion device such as an earth dike, temporary swale or diversion fence. Provisions must be made for discharging Where runoff concentrates along the toe of the stockpile fill, an appropriate erosion/sediment control practice must be used to intercept the discharge. Stockpiles must be stabilized in accordance with the 3/7 day stabilization requirement as well as Standard B-4-1 Incremental Stabilization and Standard B-4-4 Temporary Stabilization.

If the stockpile is located on an impervious surface, a liner should be provided below the stockpile to facilitate cleanup. Stockpiles containing contaminated material must be covered with impermeable

The stockpile area must continuously meet the requirements for Adequate Vegetative Establishment in ice with Section B-4 Vegetative Stabilization. Side slopes must be maintained at no steeper than a 2 b. The stockpile area must be kept free of erosion. If the vertical height of a stockpile exceeds 20 feet for 2 es, 30 feet for 3:1 slopes, or 40 feet for 4:1 slopes, benching must be provided in accordance with Section



STOCKPILE AREA

Stockpile areas are utilized when it is necessary to salvage and store soil for later use.

3. Runoff from the stockpile area must drain to a suitable sediment control practice

G. L. W. FILE No. 20130 1"=30' SHEET TAX MAP - GRID JUNE, 2022

PLANNING ENGINEERING SURVEYING 3909 NATIONAL DRIVE | SUITE 250 | BURTONSVILLE, MD 20866 | GLWPA.COM

EWM DRAWN B **EWM** CHECKED **DDS** DATE REVISION BY APP'R.

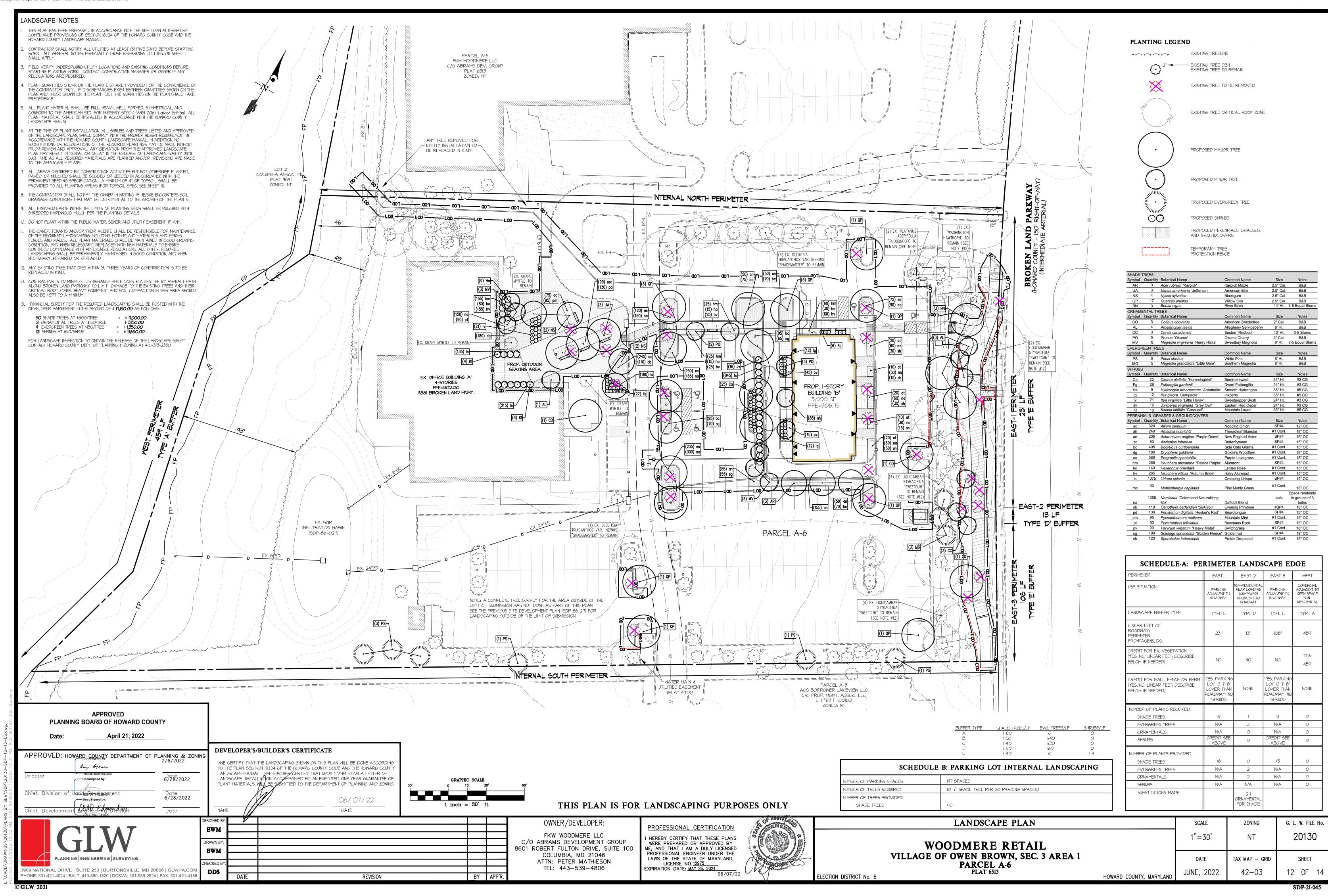
FKW WOODMERE LLC C/O ABRAMS DEVELOPMENT GROUP

EXPIRATION DATE: MAY 26, 2024 TEL: 443-539-4806

WOODMERE RETAIL VILLAGE OF OWEN BROWN, SEC. 3 AREA 1 PARCEL A-6 PLAT 6513 ELECTION DISTRICT No. 6

SEDIMENT CONTROL NOTES AND DETAILS

11 OF 14 HOWARD COUNTY, MARYLAND



LANDSCAPE SPECIFICATIONS:

1.0 GENERAL CONDITIONS

- A. THE LANDSCAPE CONTRACTOR SHALL PROVIDE ALL MATERIALS, LABOR AND EQUIPMENT TO COMPLETE ALL LANDSCAPE WORK AS SHOWN ON THE PLANS AND SPECIFICATIONS.
- TOTAL NUMBER OF PLANTS SHALL BE DRAWN ON THE LANDSCAPE PLAN. IF THERE IS A DISCREPANCY BETWEEN THE DRAWING AND THE LIST ON THE PLANS, THE CONTRACTOR SHALL REQUEST CLARIFICATION FROM THE LANDSCAPE ARCHITECT.
- A. ALL PLANT MATERIAL SHALL CONFORM TO THE CURRENT ISSUE OF THE AMERICAN STANDARD FOR NURSERY STOCK (ANSI 260.1). ALL TREES TO BRANCH SYMMETRICALLY AROUND CENTRAL LEADER. NO FORKED LEADER STOCK WILL BE ACCEPTED. PLANT MATERIAL MUST BE SELECTED FROM NURSERIES THAT HAVE BEEN INSPECTED AND CERTIFIED BY STATE PLANT INSPECTORS. NOMENCLATURE WILL BE IN ACCORDANCE WITH HORTUS III BY L.H. BAILEY.
- WHEN REQUESTED BY THE OWNER OR OWNER'S REPRESENTATIVE, SAMPLES OF ALL MATERIAL OTHER THAN PLANTS SHALL BE SUBMITTED TO THE OWNER'S DESIGNATED REPRESENTATIVE FOR APPROVAL.

14 APPROVALS ALL APPROVALS WILL BE IN WRITING.

- IT IS THE LANDSCAPE CONTRACTOR'S RESPONSIBILITY TO MAKE EVERY REASONABLE EFFORT TO FIND THE MATERIAL SPECIFIED BY THE LANDSCAPE ARCHITECT. THE LANDSCAPE CONTRACTOR MAY OFFER SUBSTITUTIONS TO THE LANDSCAPE ARCHITECT FOR HIS/HER CONSIDERATION. HE LANDSCAPE CONTRACTOR WILL NOTIFY THE LANDSCAPE ARCHITECT IF THERE ARE KNOWN DISEASE OR INSECT RESISTANT SPECIES THAT CAN BE SUBSTITUTED FOR A SELECTED PEST-PRONE PLANT. ALL SUBSTITUTIONS SHALL BE APPROVED BY HOWARD COUNTY DEPARTMENT OF PLANNING
- 1.6 UTILITIES AND UNDERGROUND FEATURES: THE LANDSCAPE CONTRACTOR SHALL NOTIFY UTILITY COMPANIES AND/OR THE GENERAL CONTRACTOR IN ADVANCE OF CONSTRUCTION TO LOCATE
- DRAINAGE IF PLANTS ARE TO BE INSTALLED IN AREAS THAT SHOW OBVIOUS POOR DRAINAGE, AND THE PLANTS ARE INAPPROPRIATE FOR THAT CONDITION, THE LANDSCAPE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT AND OWNER. IF THEY DEEM NECESSARY, THE PLANTS SHALL BE RELOCATED, THE CONTRACT SHALL BE ADJUSTED TO ALLOW FOR DRAINAGE CORRECTION AT A NEGOTIATED COST, OR THE PLANT SELECTION
- MODIFIED BY THE LANDSCAPE ARCHITECT TO ACCOMMODATE THE POOR DRAINAGE SITUATION. A. DURING DELIVERY AND INSTALLATION, THE LANDSCAPE CONTRACTOR SHALL PERFORM IN A WORKMANLIKE MANNER, COORDINATING HIS/HER
- ACTIVITIES SO AS NOT TO INTERFERE UNDULY WITH THE WORK OF OTHER TRADES AND LEAVING HIS/HER WORK AREA(S) CLEAN OF LETTER AND DEBRIS AT THE CLOSE OF EACH WORKDAY.
- B. DURING PLANTING, ALL AREAS SHALL BE KEPT NEAT AND CLEAN; PRECAUTIONS SHALL BE TAKEN TO AVOID DAMAGE TO EXISTING PLANTS,
 LARGE TREES, TURF AND STRUCTURES. WHERE EXISTING TREES ARE TO BE PRESERVES, ADDITIONAL PRECAUTIONS SHOULD BE TAKEN TO
 AVOID UNNECESSARY ACCUMULATION OF EXCAVATED MATERIALS, SOIL COMPACTION OR ROOT DAMAGE. UPON COMPLETION, ALL DEBRIS AND WASTE MATERIAL RESULTING FROM PLANTING OPERATIONS SHALL BE REMOVED FROM THE PROJECT AND
- ANY DAMAGE TO THE EXISTING UTILITIES, BUILDINGS, PAVING, CURB AND WALLS, AND VEGETATION (NOT SO DESIGNATED FOR REMOVAL ON THESE PLANS) SHALL BE REPAIRED TO PREVIOUS CONDITION OR REPLACED BY THE CONTRACTOR AT HIS EXPENSE.
- A. THE OWNER SHALL SUPPLY WATER ON SITE AT NO COST. IF THE LANDSCAPE CONTRACTOR HAS TO SUPPLY WATER TO THE SITE, IT SHALL BE AT AN ADDITIONAL COST.
- RED OAK, WHITE OAK, WILLOW OAK, SCARLET OAKS, DOGWOOD, SWEET GUM, CONIFERS, AND BROAD LEAF EVERGREENS WILL NOT BE PLANTED BETWEEN NOVEMBER 15 AND MARCH I, UNLESS THE LANDSCAPE CONTRACTOR STATES IN WRITING THAT HE/SHE WILL GUARANTEE PLANTS.
- INITIAL INSPECTION: PRIOR TO PLANTING, ALL PLANT LOCATIONS SHALL BE STAKED IN THE FIELD BY THE CONTRACTOR. THE LANDSCAPE ARCHITECT SHALL BE CONTACTED TO INSPECT AND APPROVE ALL PLANT LOCATIONS BEFORE PLANTING. FINAL ACCEPTANCE INSPECTION: A VERIFICATION OF PERFORMANCE FOR WORK BY CONTRACT DOCUMENTS, TO BE CONDUCTED BY THE LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE ON-SITE AND IN THE PRESENCE OF THE LANDSCAPE CONTRACTOR FOR THE PURPOSE
- FINAL WARRANTY INSPECTION: THE LANDSCAPE CONTRACTOR SHALL CONDUCT A FINAL INSPECTION WITH THE OWNER OR OWNER'S REPRESENTATIVE AT THE END OF THE ONE YEAR PERIOD.
- . THE STANDARD WARRANTY IS FOR ONE (I) YEAR PERIOD, EXCLUDING BULBS AND ANNUALS, COMMENCING ON THE DATE OF INITIAL ACCEPTANCE. ALL PLANTS SHALL BE ALIVE AND IN SATISFACTORY GROWTH AT THE END OF THE GUARANTEE PERIOD. ANY MATERIAL THAT IS 25% DEAD OR MORE SHALL BE CONSIDERED DEAD AND MUST BE REPLACED AT NO CHARGE. A TREE SHALL BE CONSIDERED DEAD WHEN THE MAIN LEADER HAS DIED BACK, OR 25% OF THE CROWN IS DEAD.

2.0 PLANT MATERIALS

- THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR FURNISHING AND INSTALLING ALL PLANT MATERIAL SHOWN ON THE DRAWINGS AND
- 2.2 INSPECTION: A. PLANTS SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE OWNER OR OWNER'S REPRESENTATIVE AT THE PLACE OF GROWTH (BEFORE DIGGING - TREES) OR HOLDING YARD (SHRUBS) FOR CONFORMITY TO SPECIFICATION REQUIREMENTS AS TO QUALITY, SIZE, AND

3.0 PRODUCTS

MANUFACTURER'S CERTIFIED ANALYSIS SHALL ACCOMPANY PACKAGED STANDARD PRODUCTS

PERENNIALS SHALL BE GUARANTEED FOR ONE YEAR AFTER INITIAL ACCEPTANCE.

- PEAT MOSS TYPE I SPHAGNUM PEAT MOSS; FINELY DIVIDED WITH A PH OF 3.1 TO 5.0. SEDGE PEAT - DECOMPOSES PEAT CONTAINING NO IDENTIFIABLE FIBERS.
- LEAF COMPOST THAT IS SCREENED AND FREE TO TRASH. COMPOSTED SEWAGE SLUDGE - APPROVED, SCREENED, POLYMER-DEWATERED SEWAGE SLUDGE WITH A PH OF 9.2 - 7.2.6 MA
- A. IT SHALL BE FREE OF STONES, LUMPS, PLANTS, ROOTS AND OTHER DEBRIS OVER 1½". TOPSOIL MUST ALSO BE FREE OF PLANTS OR PLANT PARTS OF BERMUDAGRASS, QUACKGRASS, JOHNSONGRASS, MUGWORT, NUTSEDGE, POISON IVY, CANADIAN THISTLE OR OTHERS AS SPECIFIED.
- IT SHALL NOT CONTAIN TOXIC SUBSTANCES HARMFUL TO PLANT GROWTH, I.E. PESTICIDE RESIDUES.
- BACKFILL MIXTURE FOR TREES AND SHRUBS SHALL BE 3/4 EXISTING SOIL MIXED WITH I/4 ORGANIC MATERIAL, PLUS GRANULAR FERTILIZER. A. MATERIAL SHALL BE COMPOSTED, SHREDDED HARDWOOD BARK, WITH LESS THAN IO% SAPWOOD, DARK BROWN IN COLOR, OR APPROVED B. MATERIAL SHALL BE UNIFORM IN SIZE AND FREE OF FOREIGN MATTER.

O PLANTING PROCEDURE FOR TREES

- TREE PLANTING: WALL OF TREE PIT SHALL BE DUG SO THAT THEY ARE VERTICAL OR SLOPING OUTWARD IN HEAVY SOILS, BE AND SCARIFIED.
- THE TREE PIT MUST BE A MINIMUM OF 9" LARGER ON EVERY SIDE THAN THE BALL OF THE TREI PLACE THE TREE IN THE PIT CARRYING THE BALL AND THEN LOWERING IT INTO THE PIT. NEVER LIFT THE TREE BY THE TRUNK OR BRANCHES. SET THE TREE STRAIGHT AND IN THE CENTER OF THE PIT WITH THE MOST DESIRABLE SIDE FACING TOWARD THE PROMINENT VIEW. BACKFILL TREE PIT WITH A SOIL MIXTURE STATED IN THE SPECIFICATIONS. CUT AND REMOVE ROPE OR WIRE OFF THE TOP 50% OF ROOTBALL AND PULL BURLAP BACK TO THE EDGE OF THE BALL. REMOVE AS MUCH BURLAP, WOVEN PRODUCTS AND TWINE AS POSSIBLE. ALL PLASTIC OR SYNTHETIC FILM MUST BE REMOVED FROM THE ROOTBALL. CUT ALL
- FORM A SAUCER ABOVE EXISTING GRADE, AROUND THE OUTER RIM OF THE TREE PIT, ESPECIALLY ON SLOPES AND IN HEAVY SOILS. MILCH TOP OF ROOT BALL AND SAICER TO A MINIMIN DEPTH OF 2", NOT TO EXCEED 3". DO NOT PLACE MILCH AGAINST THE TRUNK WATER THOROUGHLY ON THE INTERIOR OF THE TREE SAUCER UNTIL IT IS FILLED, EVEN IF IT IS RAINING. A SECOND WATERING MAY BE
- NECESSARY TO INSURE SATURATION OF THE ROOT BALL AND ELIMINATION OF AIR POCKETS. PRUNING SHOULD BE RESTRICTED TO CORRECTIVE PRUNING TO IMPROVE FORM ONLY.

FORM A SAUCER ABOVE THE EXISTING GRADE AND COMPLETELY AROUND THE PLANTING PIT.

5.0 PLANTING PROCEDURES FOR SHRUBS

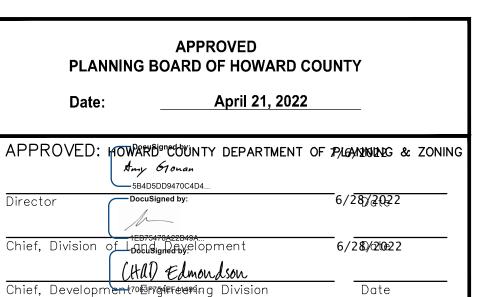
- A. FOR A SINGLE SHRUB, THE PIT SHALL BE DUG I' WIDER THAN THE ROOTBALL AND DEEP ENOUGH TO ALLOW 1/8TH OF THE ROOTBALL TO SET ABOVE EXISTING GRADE. (SINGLE SHRUB PLANTINGS ONLY IF NOTED ON PLANS)
- B. FOR A SHRUB MASS PLANTING, THE ENTIRE BED AREA SHALL BE TILLED 4-6" DEEP. TILLING SHOULD ONLY BE DONE IN DRY SOIL TO AVOID COMPACTION. IF THE SOIL IS HEAVY IN CLAY AND SILT, ORGANIC MATERIAL SHOULD BE ADDED. EACH SHRUB PIT SHALL BE EXCAVATED FOR THE PROPER SETTING OF THE ROOTBALL.
- PLACE THE SHRUB IN THE PIT BY LIFTING AND CARRYING IT BY THE ROOTBALL. REMOVE CONTAINERS FROM ALL CONTAINER-GROWN SHRUBS;
- SLASH THE EDGES OF THE ROOTBALL FROM TOP TO BOTTOM, AT LEAST 1" DEEP.

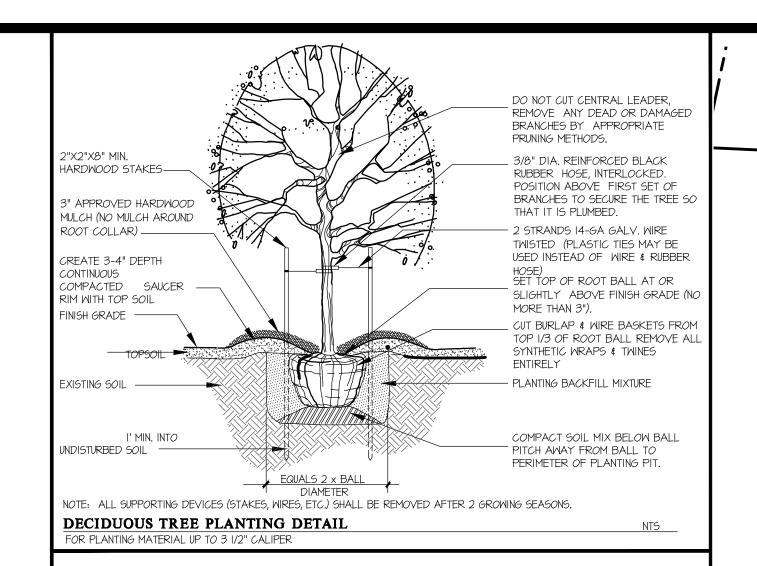
 SET THE SHRUB AND IN THE CENTER OF THE PIT WITH THE MOST DESIRABLE SIDE FACING TOWARD THE PROMINENT VIEW.

 CUT AND REMOVE ROPE OR WIRE OFF THE TOP 50 % OF ROOTBALL AND PULL BURLAP BACK TO THE EDGE OF THE BALL. REMOVE AS MUCH BURLAP, WOVEN PRODUCTS AND TWINE AS POSSIBLE. ALL PLASTIC OR SYNTHETIC FILM MUST BE REMOVED FROM THE ROOTBALL. CUT ALL THINKS AND TRUBE.
- MULCH TOP OF ROOTBALL AND SAUCER A MAXIMUM DEPTH OF 2". WATER SHRUB MASS THOROUGHLY EVEN IF IT IS RAINING. A SECOND WATERING MAY BE NECESSARY TO INSURE SATURATION OF THE ROOT BALL AND ELIMINATION OF AIR POCKETS.

6.0 PLANTING PROCEDURES FOR GROUND COVER, PERENNIALS AND ANNUALS

- 6.1 PLANTING GROUND COVER, PERENNIAL AND ANNUAL BEDS A. THE PLANTING BED SHALL BE LOOSENED WHEN THE SOIL IS DRY PRIOR TO PLANTING BY TILLING. SOIL SHALL BE LOOSENED TO A DEPTH OF 4
- B. ORGANIC MATTER SHALL BE SPREAD OVER THE BED TO A DEPTH OF 2" FOR PEAT MOSS OF I" DEEP FOR COMPOST, I.E. NOT TO EXCEED 4 CUBIC YARDS OF COMPOST/1000 SQUARE FEET, AFTER THE SOIL HAS BEEN LOOSENED. THE ORGANIC MATTER SHALL BE WORKED INTO THE
- FERTILIZER SHALL BE TOP-DRESSED OVER BED AREA.
 THE PLANT, EITHER POTTED OR BARE ROOT, SHALL BE INSTALLED SO THAT THE ROOTS ARE SURROUNDED BY SOIL BELOW THE MULCH. POTTED PLANTS SHALL BE SET SO THAT THE TOP OF THE POT IS EVEN WITH THE EXISTING GRADE. THE ROOTS OF BARE ROOT PLANTS SHALL BE
- COVERED TO THE CROWN.
- SPACING OF PLANTS SHALL BE INSTALLED AS NOTED ON THE LANDSCAPE PLAN.
 THE ENTIRE BED SHALL BE MULCHED TO A MINIMUM DEPTH OF I", 2" MAXIMUM, WITH APPROVED MULCH. THE ENTIRE PLANTING BED SHALL BE THOROUGHLY WATERED.





-20' SEWER & UTILITY ESMNT.

GRAPHIC SCALE

PARCEL A-5

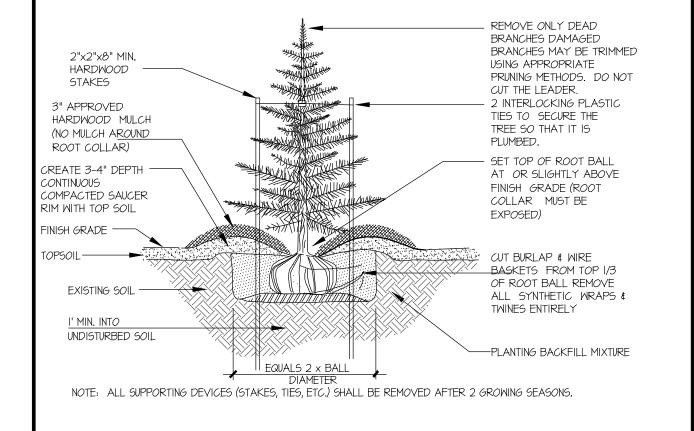
PARCEL A-6

20' PUBLIC WATER

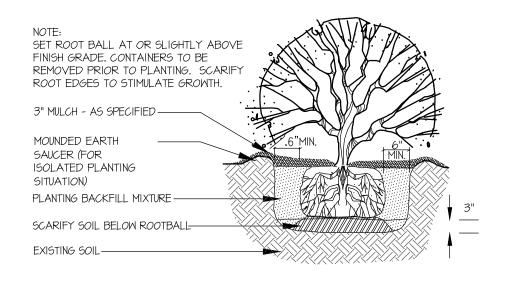
UTILITY EASEMENT

PN. 6513 —

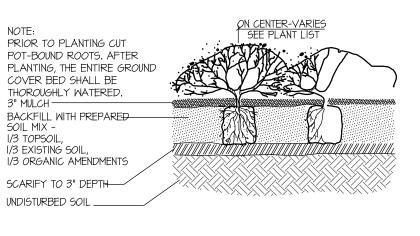
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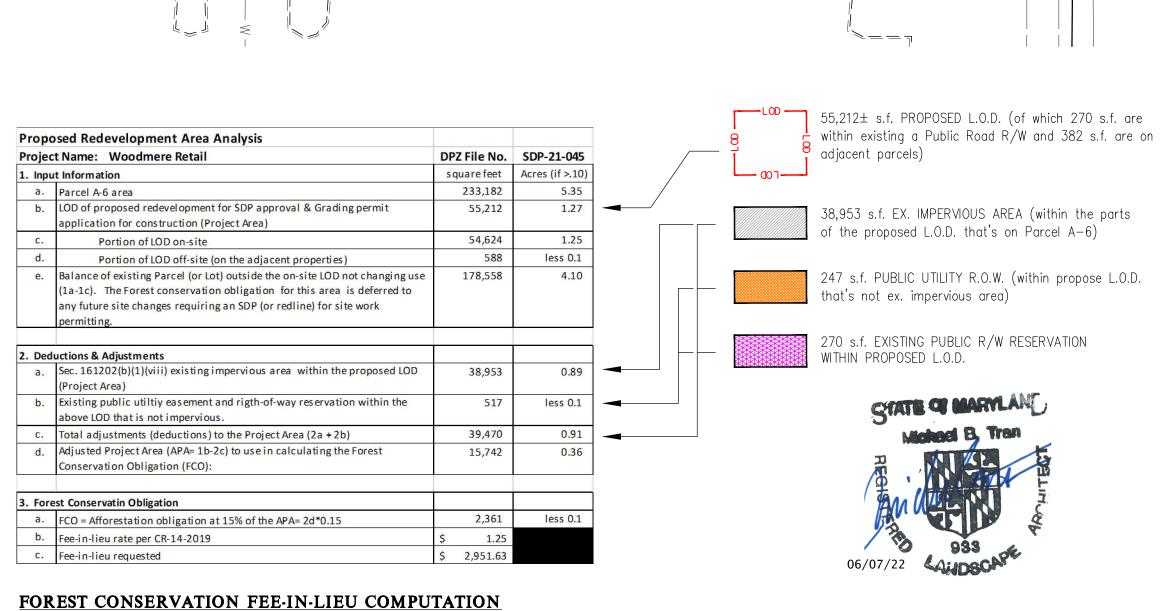
EVERGREEN TREE PLANTING DETAIL



SHRUB PLANTING DETAIL



GROUNDCOVER PLANTING DETAIL





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PLANNING ENGINEERING SURVEYING	_ ** -**						
I PHIMIA PHOMPETIMO SAKAT (MA							
3909 NATIONAL DRIVE SUITE 250 BURTONSVILLE, MD 20866 GLWPA.COM							
PHONE: 301-421-4024 BALT: 410-880-1820 DC&VA: 301-989-2524 FAX: 301-421-4186		DATE	R	EVISION	BY	APP'R.	

OWNER/DEVELOPER: FKW WOODMERE LLC C/O ABRAMS DEVELOPMENT GROUP 3601 ROBERT FULTON DRIVE, SUITE 100 COLUMBIA, MD 21046 ATTN: PETER MATHIESON TEL: 443-539-4806

LANDSCAPE NOTES, DETAIL & FEE-IN-LIEU COMPUTATION SCALE 1"=30' **WOODMERE RETAIL** VILLAGE OF OWEN BROWN, SEC. 3 AREA 1 PARCEL A-6 PLAT 6513 ELECTION DISTRICT No. 6 HOWARD COUNTY, MARYLAND

13 OF 14

G. L. W. FILE No.

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