

GENERAL NOTES

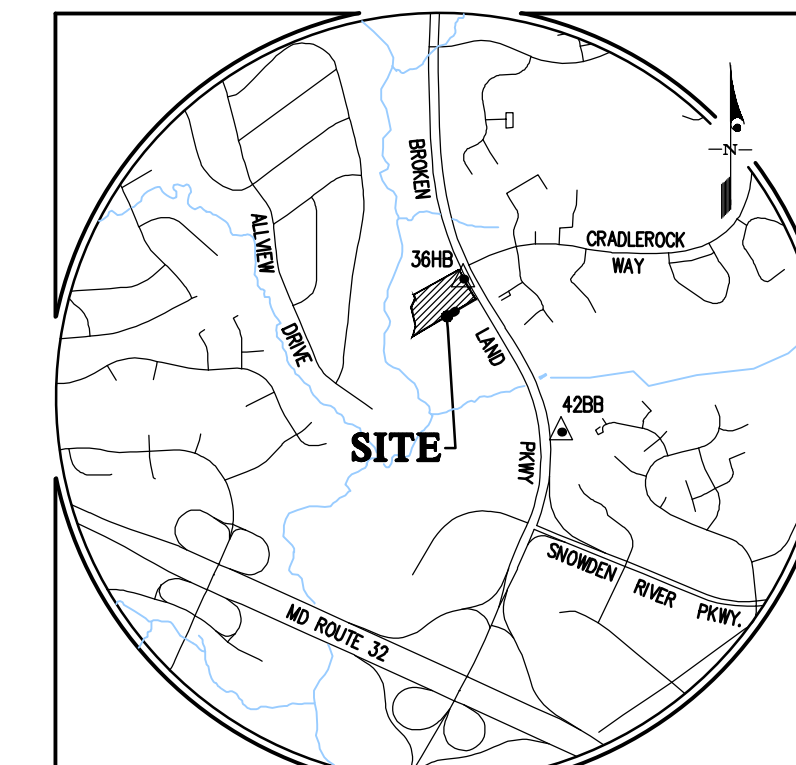
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF HOWARD COUNTY PLUS MSHA STANDARDS IF APPLICABLE.
- THE CONTRACTOR SHALL NOTIFY THE DEPARTMENT OF PUBLIC WORKS, BUREAU OF ENGINEERING, CONSTRUCTION INSPECTION DIVISION AT (410) 313-1860 AT LEAST FIVE (5) WORKING DAYS PRIOR TO THE START OF WORK.
- THE CONTRACTOR SHALL NOTIFY THE HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS, BUREAU OF UTILITIES AT (410) 313-4900 AT LEAST FIVE (5) DAYS PRIOR TO STARTING ANY EXCAVATION WORK.
- THE CONTRACTOR SHALL NOTIFY "MISS UTILITY" AT 1-800-251-7777 AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION WORK BEING DONE.
- PROJECT BACKGROUND:
 LOCATION: TAX MAP #42, GRID B
 ZONING: NT
 ELECTION DISTRICT: 6TH
 PARCEL AREA: 5.35 AC.
 RECORDING REFERENCE: PLAT NO. 6513
- PROPOSED USE: RESTAURANT (BUILDING B)
- ALL PLAN DIMENSIONS ARE TO FACE OF BUILDING AND/OR FACE OF CURB UNLESS OTHERWISE NOTED. DIMENSIONS ARE MEASURED PERPENDICULAR OR RADIIALLY BETWEEN ITEMS UNLESS OTHERWISE NOTED.
- EXISTING TOPOGRAPHY IS SHOWN PER FIELD RUN SURVEY PERFORMED BY GUTSCHICK, LITTLE & WEBER, P.A. IN NOVEMBER 2020 WITHIN THE LIMIT OF SUBMISSION AS WELL AS GRADES TAKEN FROM DESIGN PLANS FOR CONSTRUCTION AND HOWARD COUNTY GIS.
- PLANS WERE PREPARED USING THE FOLLOWING SURVEY DATUMS: HORIZONTAL DATUM IS PER THE RECORDED PLAN (PN 6513). VERTICAL DATUM IS BASED ON THE FLOOR ELEVATION OF THE EXISTING BUILDING (302.00) PER SDP-86-21
- PROPERTY IS ZONED NT PER THE 10/06/13 COMPREHENSIVE ZONING PLAN.
- PREVIOUS DEPARTMENT OF PLANNING & ZONING FILE NUMBERS:
 FDP-125-A, SDP-86-021, & ECP-21-028
- PROPOSED WATER AND SEWER EXTENSIONS ARE PUBLIC PER ADD #1871 BROKEN LAND PARKWAY APPROVED ON SEPTEMBER 4, 2021.
- EXISTING WATER AND SEWER IS PER CONTRACT #24-1406-D.
- ALL EXISTING PRIVATE STORM DRAIN ON-SITE IS PER SDP-86-021.
- STORMWATER MANAGEMENT FOR QUALITY AND QUANTITY CONTROL IS BEING PROVIDED IN THE FOLLOWING MANNER:
 1. STORMCEPTOR (PRIVATELY OWNED AND MAINTAINED)
 2. PERMEABLE PAVEMENT (PRIVATELY OWNED AND MAINTAINED)
- EXISTING UTILITIES ARE BASED ON APPROVED DESIGN PLANS FOR CONSTRUCTION AND FIELD LOCATION BY GUTSCHICK, LITTLE & WEBER, P.A.
- THERE ARE NO KNOWN CEMETERIES, GRAVE SITES OR HISTORIC STRUCTURES LOCATED ON THE SUBJECT PROPERTY.
- THERE ARE NO SCENIC ROADS WITHIN OR ADJACENT TO THE SUBJECT PROPERTY.
- THERE ARE NO FLOODPLAINS ON THIS SITE WITHIN THE LIMIT OF SUBMISSION.
- THERE ARE NO WETLANDS ON THIS SITE.
- THIS PROPERTY IS WITHIN THE METROPOLITAN DISTRICT.
- BUILDING SETBACKS AND BUILDING RESTRICTIONS ARE PER F-125-A.
- BECAUSE THIS PLAN SUBMISSION IS NON-RESIDENTIAL, A NOISE STUDY IS NOT REQUIRED.
- THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE NEW TOWN ALTERNATIVE COMPLIANCE PROVISIONS OF SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE HOWARD COUNTY LANDSCAPE MANUAL. AN APPLICATION WAS SUBMITTED TO ARC, IN JUNE 2021 AND APPROVED ON SEPTEMBER 22, 2021. A LANDSCAPE SURETY IN THE AMOUNT OF \$1130.00 WILL BE POSTED AS PART OF THE DPA DEVELOPER AGREEMENT. SEE SHEET 12 FOR DETAILS.
- THERE ARE NO NEW SITE LIGHTS PROPOSED AT THIS TIME. EXISTING PARKING LOT LIGHTS ARE TO REMAIN OR ARE TO BE RELOCATED. ALL EXTERIOR LIGHT FIXTURES SHALL BE FULLY OR PARTIALLY SHIELDED TO DIRECT LIGHT INWARDS AND DOWNWARDS AWAY FROM ALL ADJOINING RESIDENTIAL USE AREAS AND PUBLIC ROADS IN ACCORDANCE WITH SECTION 154 OF THE HOWARD COUNTY ZONING REGULATIONS.
- THIS PLAN COMPLIED WITH THE REQUIREMENTS OF SECTION 16.120Q OF THE HOWARD COUNTY CODE FOR FOREST CONSERVATION BY THE PAYMENT OF A FEE-IN-LIEU OF FOREST CONSERVATION. THE FEE-IN-LIEU IS \$2,451.63. SEE SHEET 13 FOR FEE COMPUTATION.
- A TRAFFIC STUDY WAS COMPLETED BY THE TRAFFIC GROUP, ON FEBRUARY 22, 2021 AND APPROVED ON JULY 12, 2021. THE FOLLOWING IS THE SUMMARY OF FINDINGS. THIS STUDY SHOWS THAT TWO OF THE THREE INTERSECTIONS ARE PROJECTED TO MAINTAIN ACCEPTABLE LEVELS OF SERVICE DURING BOTH THE WEEKDAY MORNING AND EVENING PEAK HOURS. DURING THE WEEKDAY MORNING PEAK HOUR, ALL THREE STUDY INTERSECTIONS ARE PROJECTED TO OPERATE WITH ACCEPTABLE LEVEL OF SERVICE "B" OR BETTER CONDITIONS. DURING THE WEEKDAY EVENING PEAK HOUR, THE INTERSECTION OF BROKEN LAND PARKWAY WITH SHODEN RIVER PARKWAY IS PROJECTED TO OPERATE WITH LEVEL OF SERVICE "E" AND "F" CONDITIONS UNDER FUTURE BACKGROUND, AND TOTAL TRAFFIC VOLUMES. HOWARD COUNTY HAS A CAPITAL PROJECT (J4617) TO PROVIDE INTERSECTION IMPROVEMENTS FOR THIS LOCATION WITH A CONTRIBUTION OF \$16,030.38 TO THE CAPITAL PROJECT. THE PROPOSED DEVELOPMENT SATISFIES HOWARD COUNTY ADEQUATE ROAD FACILITIES TEST EVALUATION REQUIREMENTS.
- A GEOTECHNICAL REPORT WAS COMPLETED BY HILLIS CARNES ENGINEERING ASSOCIATES ON MAY 10, 2021.
- A PRE-SUBMISSION COMMUNITY MEETING IS NOT REQUIRED FOR FLOOR EXPANSIONS OF LESS THAN 25% PER SECTION 156(a)(2)(b) OF THE SUBDIVISION AND LAND DEVELOPMENT REGULATIONS.
- A DESIGN MANUAL WAIVER FROM DESIGN MANUAL VOL. III, APPENDIX 6, TO REDUCE THE MINIMUM WIDTH OF A ONE-WAY DRIVE LANE IN PARKING LOT FROM 16' TO 12', WAS APPROVED ON JUNE 15, 2021. THE APPROVAL IS SUBJECT TO PROVING THAT THE AREA, DUE TO THE LIMITED WIDTH, CANNOT BE USED FOR ANY OTHER PURPOSE INCLUDING LOADING REQUIREMENTS.
- AS OF SEPTEMBER 28, 2021, SDP-20-042 HAS NOT BEEN APPROVED YET. THEREFORE, THE ALIGNMENT OF THE ASPHALT PATH ALONG BROKEN LAND PARKWAY MAY NEED TO BE ADJUSTED WHERE IT MEETS PARCEL A-3 IF THE CURRENT PLAN CHANGES. THIS MAY REQUIRE A REDLINE REVISION.
- HEALTH DEPARTMENT APPROVAL OF THIS SITE DEVELOPMENT PLAN (SDP) DOES NOT ENSURE APPROVAL OF BUILDING PERMIT APPLICATIONS ASSOCIATED WITH THIS PLAN. PERMIT PLANS FOR CERTAIN FACILITIES TO BE CONSTRUCTED WITHIN THE LIMITS DESCRIBED BY THIS SDP WILL REQUIRE REVIEW AND APPROVAL BY THE HEALTH DEPARTMENT. SUCH FACILITIES MAY INCLUDE, BUT ARE NOT LIMITED TO, THOSE WHICH HAVE SWIMMING POOLS, OR THAT SELL PREPARED OR PACKAGED FOODS, OR THAT MAY HAVE EQUIPMENT THAT EMITS RADIATION.

SITE DEVELOPMENT PLAN

WOODMERE RETAIL

VILLAGE OF OWEN BROWN

PARCEL A-6



VICINITY MAP
 SCALE: 1" = 2,000'

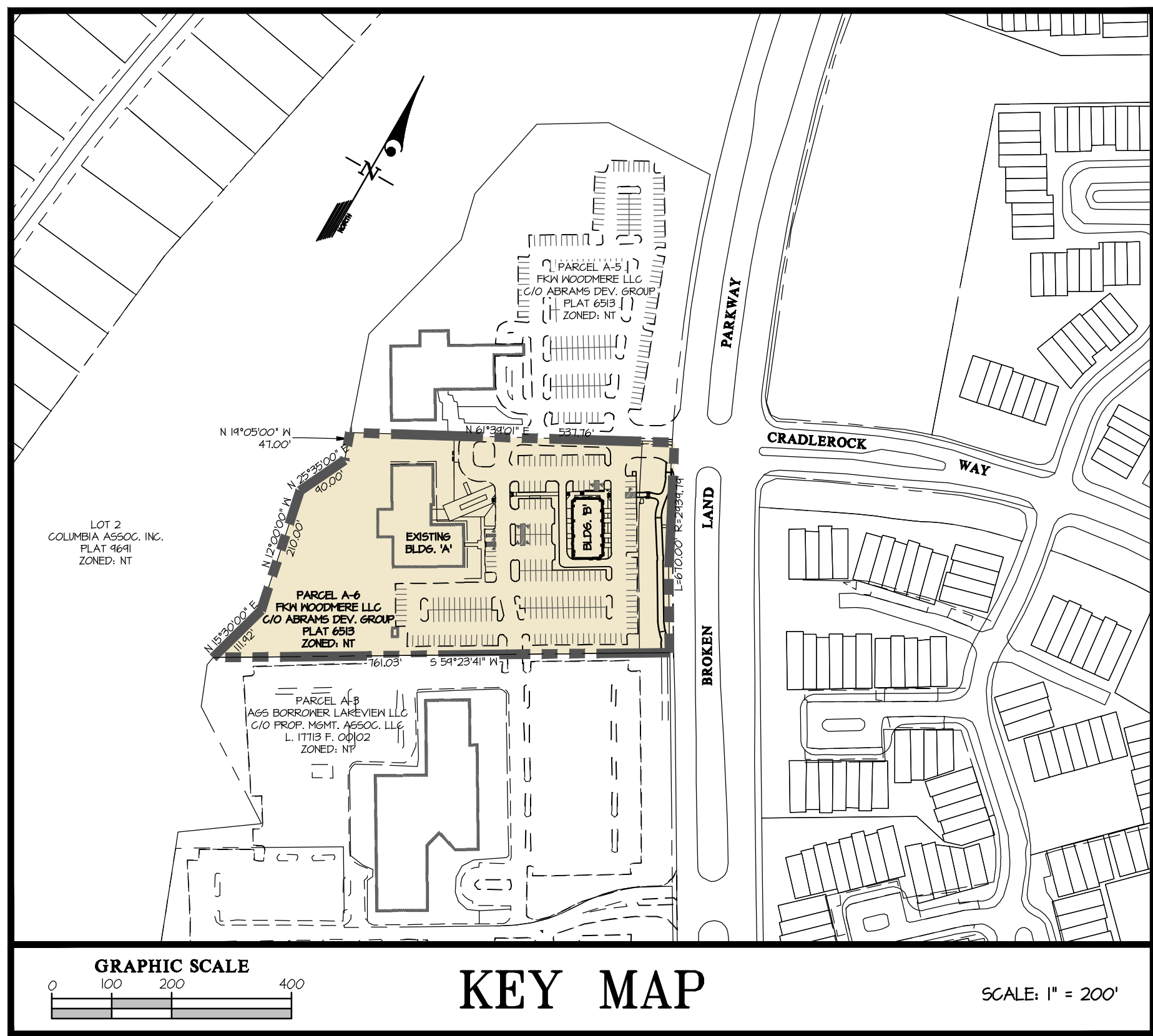
BENCHMARKS
 42BB ELEV. 305.615 N = 551,944.120 E = 1,955,634.470
 361B ELEV. = 315.454 N = 552,470.355 E = 1,954,671.983
 ADC MAP: 5053 GRID: D1

SITE ANALYSIS DATA

- ZONING: NT-COMMERCIAL
- GROSS AREA OF PARCEL A-6 = 233,014 SF, or 5.35 AC.
- PLAT 6513
- LIMIT OF DISTURBED AREA = 1.3 AC. (LIMIT OF PLAN SUBMISSION)
- PROPOSED USE: RESTAURANT BUILDING - 5,000 SF (1 STORY)
- BUILDING COVERAGE (% OF GROSS SITE AREA):
 EX. BUILDING 'A': 17,104 SF. (PER SDP-86-021)
 PROP. BUILDING 'B': 5,000 SF.
 TOTAL BUILDING COVERAGE = 22,104 SF (0.52 AC.)
 = 4.1 % OF PARCEL A-6 (5.35 AC.)
- APPLICANT/OWNER:
 FKW WOODMERE C/O ABRAMS DEVELOPMENT GROUP
 8601 ROBERT FULTON DRIVE, SUITE 100
 COLUMBIA, MD 21046
 ATTN: PETER MATHIESON
 TEL: (443) 534-4806

- ZONING STANDARDS (PER FDP-125-A):
 1. MINIMUM STRUCTURE SETBACK FROM PUBLIC STREET R/W: 50 FT. ALLOWED
- PARKING ANALYSIS:
 REQUIRED PARKING - EX. OFFICE BLDG 'A': SEE SHARED USE PARKING AND TENANT SUMMARY TABLES (THIS SHEET)
 REQUIRED PARKING - PROP. BLDG 'B': SEE SHARED USE PARKING AND TENANT SUMMARY TABLES (THIS SHEET)

SITE TOTALS (PARCEL A-6):
 TOTAL REQUIRED PARKING = 181 SP (NON-SHARED)
 TOTAL PROVIDED PARKING = 182 SP (SEE SHARED USE TABLE)
 TOTAL REQUIRED HC PARKING = 6 SP
 TOTAL PROVIDED HC PARKING = 10 SP



GRAPHIC SCALE
 0 100 200 400

KEY MAP
 SCALE: 1" = 200'

SHEET INDEX	
SHEET TITLE	SHEET NO.
COVER SHEET	1
EXISTING CONDITIONS & DEMOLITION PLAN	2
SITE DEVELOPMENT PLAN	3
GRADING PLAN	4
SITE PLAN DETAILS	5
UTILITY PLAN AND PROFILES	6
SITE PLAN DETAILS	7
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LANDSCAPE PLAN	12
LANDSCAPE DETAILS	13
DRAINAGE AREA MAP	14

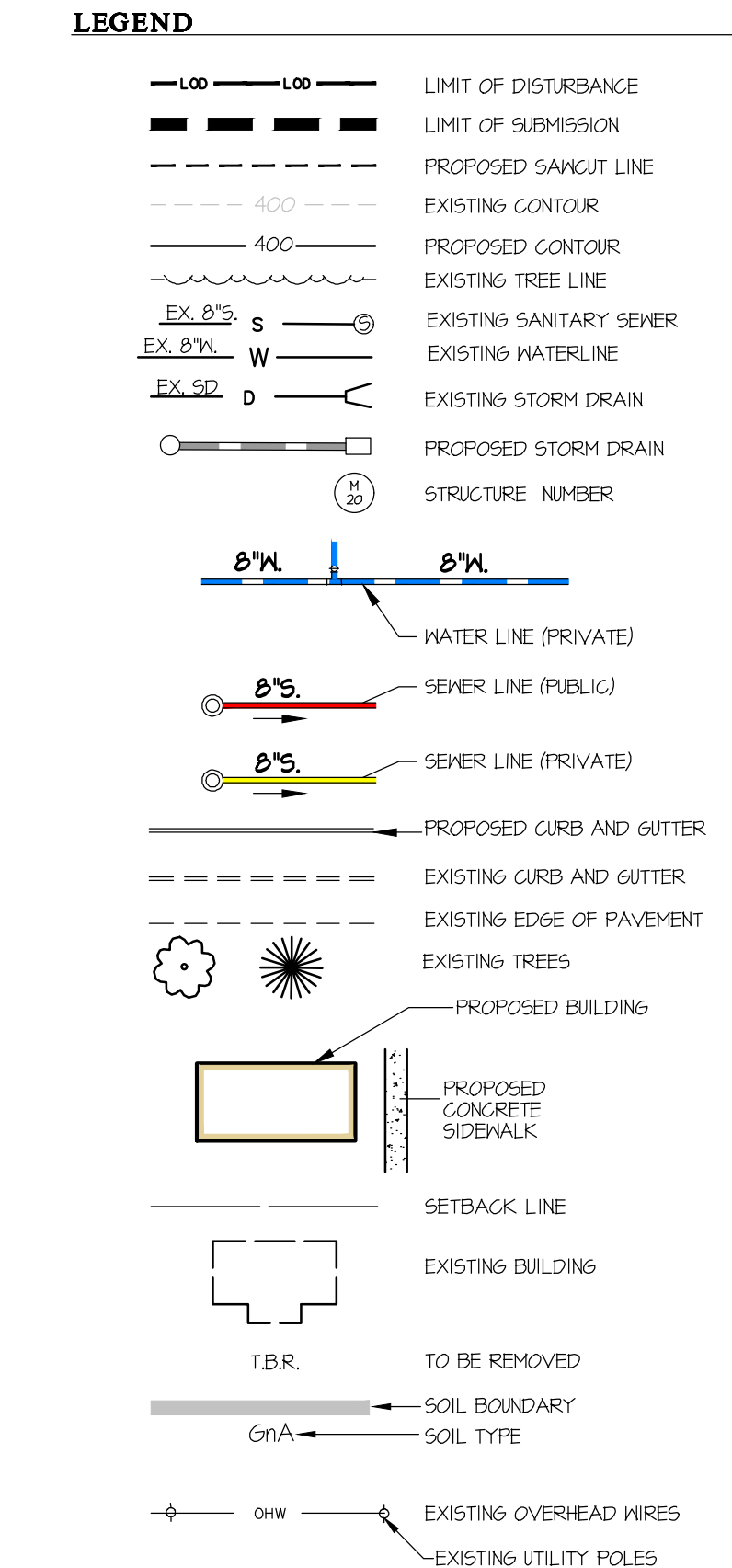
SHARED USE PARKING TABLE PER H.C. ZONING SEC. 133.0.F.1

	WEEKDAY				WEEKEND	
	MORNING 6am-9am	MID-DAY 9am-3pm	AFTERNOON 3pm-5pm	EVENING 5pm-mid	DAYTIME 6am-6pm	NIGHTTIME mid-6am
RESIDENTIAL	0.0 (0.0x0.0)	0.0 (0.0x0.0)	0.0 (0.0x0.0)	0.0 (0.0x0.0)	0.0 (0.0x0.0)	0.0 (0.0x0.0)
OFFICE / INDUSTRIAL	1.0 (1.0x0.0)	1.0 (1.0x0.0)	1.0 (1.0x0.0)	1.0 (1.0x0.0)	1.0 (1.0x0.0)	1.0 (1.0x0.0)
RETAIL	0.0 (0.0x0.0)	0.0 (0.0x0.0)	0.0 (0.0x0.0)	0.0 (0.0x0.0)	0.0 (0.0x0.0)	0.0 (0.0x0.0)
HOTEL / MOTEL	0.0 (0.0x0.0)	0.0 (0.0x0.0)	0.0 (0.0x0.0)	0.0 (0.0x0.0)	0.0 (0.0x0.0)	0.0 (0.0x0.0)
RESTAURANT	1.0 (1.0x0.0)	1.0 (1.0x0.0)	1.0 (1.0x0.0)	1.0 (1.0x0.0)	1.0 (1.0x0.0)	1.0 (1.0x0.0)
RESTAURANT (FAST FOOD)	3.0 (3.0x0.0)	3.0 (3.0x0.0)	3.0 (3.0x0.0)	3.0 (3.0x0.0)	3.0 (3.0x0.0)	3.0 (3.0x0.0)
THEATER, COMMERCIAL, REC., NIGHTCLUB, OR RESTAURANT W/ ENTERTAINMENT	0.0 (0.0x0.0)	0.0 (0.0x0.0)	0.0 (0.0x0.0)	0.0 (0.0x0.0)	0.0 (0.0x0.0)	0.0 (0.0x0.0)
TOTALS	15.0	15.0	15.0	15.0	15.0	15.0

TENANT PARKING SUMMARY TABLE

BUILDING ADDRESS	UNIT	OFFICE ⁽¹⁾	RESTAURANT ⁽¹⁾	RESTAURANT (FAST FOOD) ⁽¹⁾	RETAIL ⁽¹⁾	REQUIRED PARKING SPACES	REQUIRED PARKING SPACES (SHARED USE)
8881 BROKEN LAND PKWY (BLDG 'A')	1	0.0 SF (0.0 SF)	0.0 SF (0.0 SF)	0.0 SF (0.0 SF)	0.0 SF (0.0 SF)	128 SP	128 SP
8871 BROKEN LAND PKWY (BLDG 'B')	1	2,500 SF	2,500 SF	2,500 SF	2,500 SF	35 SP	18 SP
	2					18 SP	18 SP
	3					18 SP	18 SP
TOTALS						191 SP	182 SP

(1) REQUIRED PARKING PER ZONING SEC. 133.0.F.4
 (2) REQUIRED PARKING PER FDP-125-A
 (3) BUILDING AREA PER SDP-86-021



BUILDING ELEVATIONS



APPROVED HOWARD COUNTY HEALTH DEPARTMENT
 FOR PUBLIC WATER & SEWERAGE SYSTEM
 Michael J. Davis
 County Health Officer Date

APPROVED PLANNING BOARD OF HOWARD COUNTY
 Date: April 21, 2022

APPROVED HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
 Director Amy Gorman Date 6/28/2022
 Chief, Division of Land Management Date 6/28/2022
 Chief, Development Date

GLW
 PLANNING [ENGINEERING] SURVEYING
 3808 NATIONAL DRIVE | SUITE 250 | BURTONSVILLE, MD 20886 | GLWPA.COM
 PHONE: 301-421-4024 | BALT. 410-880-1820 | DC/VA: 301-989-2524 | FAX: 301-421-4188

DESIGNED BY:	DRAWN BY:	CHECKED BY:	DATE	REVISION	BY	APPR.
BWM	BWM	DDS				

OWNER/DEVELOPER:
 FKW WOODMERE LLC
 C/O ABRAMS DEVELOPMENT GROUP
 8601 ROBERT FULTON DRIVE, SUITE 100
 COLUMBIA, MD 21046
 ATTN: PETER MATHIESON
 TEL: 443-539-4806

PROFESSIONAL CERTIFICATION
 I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 12975
 EXPIRATION DATE: MAY 26, 2024
 06/23/22

COVER SHEET

WOODMERE RETAIL
VILLAGE OF OWEN BROWN, SEC. 3 AREA 1
PARCEL A-6
 PLAT 6513

SCALE: AS SHOWN
 ZONING: NT
 DATE: JUNE, 2022
 TAX MAP - GRID: 42-03
 SHEET: 1 OF 14

G. L. W. FILE NO. 20130
 HOWARD COUNTY, MARYLAND
 ELECTION DISTRICT No. 6

STORMWATER MANAGEMENT INFORMATION CHART

LOT / PARCEL NO.	FACILITY NAME / NO.	PRACTICE TYPE (QUANTITY)	PUBLIC / PRIVATE	MISC.
PARCEL A-6	PERMEABLE PAVEMENT	A-2 (1)	PRIVATE	
	STORMCEPTOR (SC-1)	SC (1)	PRIVATE	

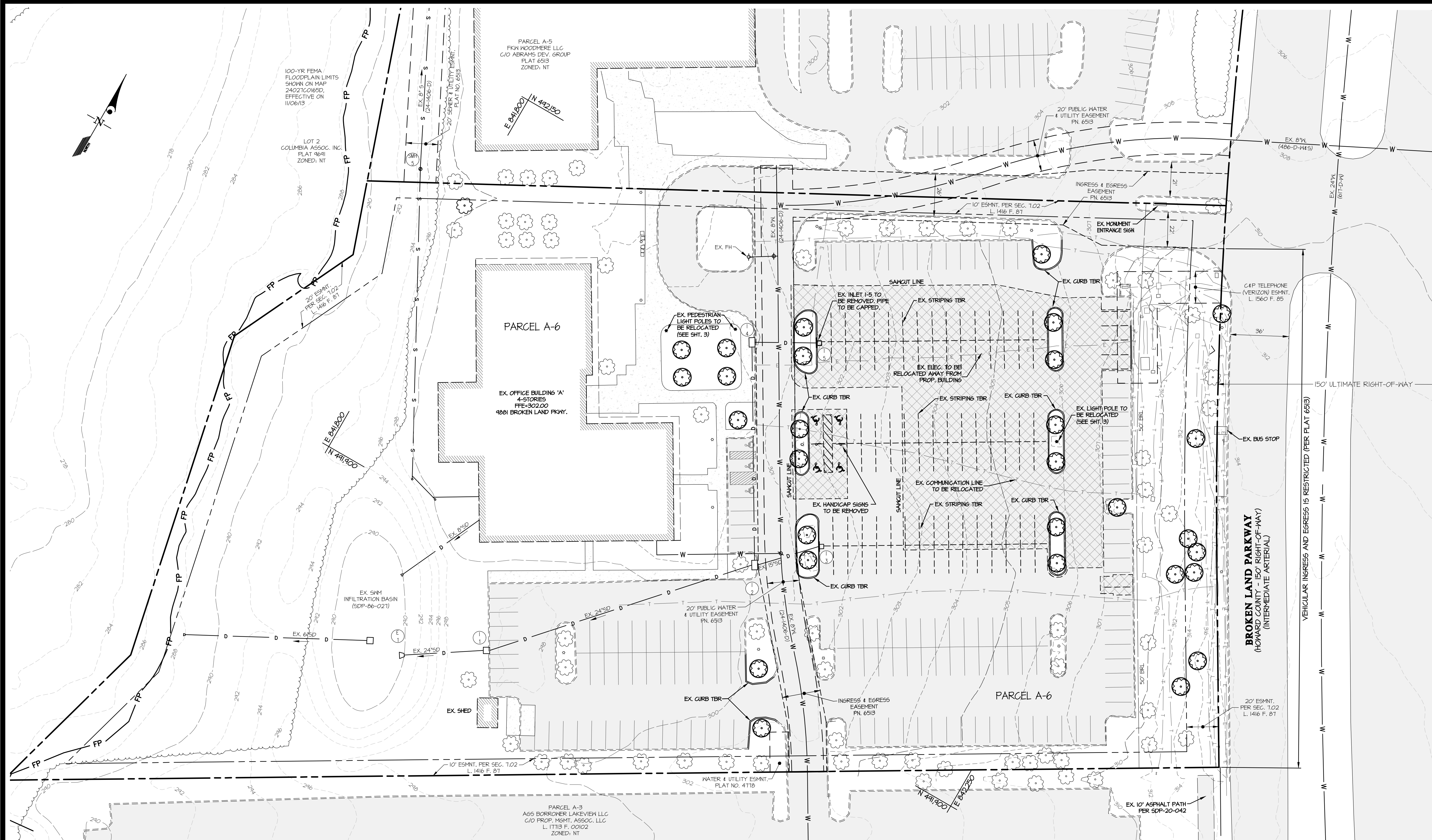
ADDRESS AND PERMIT INFORMATION CHART

BUILDING ADDRESS:	SECTION/AREA:	PARCEL:
8881 BROKEN LAND PARKWAY COLUMBIA, MD 21046 (BUILDING 'A')	SECTION 3 AREA 1	PARCEL A-6
8871 BROKEN LAND PARKWAY COLUMBIA, MD 21046 (BUILDING 'B')		

SUBDIVISION NAME:	TAX MAP:	GRID:	ELECTION DISTRICT:	CENSUS TRACT:
VILLAGE OF OWEN BROWN	42	3	6	6061.01

WATER & SEWER WATERSHED:

L:\CADD\DRAWINGS\20130\PLANS BY GLW\SDP\20130-SDP-01-COVER.dwg, PLOTTED: 6/22/2022, 4:01 PM, LAST SAVED: 6/22/2022, 4:01 PM, PLOTTED BY: Dan Swamy

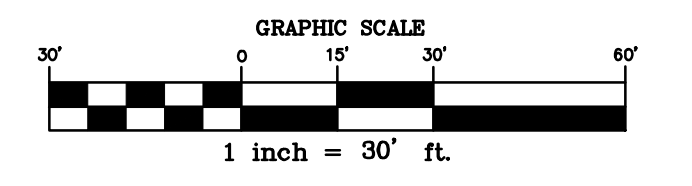


- LEGEND**
- EXISTING CURB
 - EXISTING CURB TO BE REMOVED
 - EXISTING STRIPING
 - EXISTING STRIPING TO BE REMOVED
 - SANICUT LINE
 - S --- EXISTING SANITARY SEWER
 - W --- EXISTING WATERLINE
 - D --- EXISTING STORM DRAIN
 - T --- EXISTING COMMUNICATION LINE (PER MISS UTILITY 2021 SURVEY)
 - E --- EXISTING ELECTRIC LINE (PER MISS UTILITY 2021 SURVEY)
 - EXISTING LIGHT POLE
 - ☆ EXISTING LIGHT POLE
 - EXISTING LIGHT POLE TO BE RELOCATED
 - ⊗ EXISTING TREE
 - ⊗ EXISTING TREE TO BE REMOVED
 - ▨ EXISTING PAVING TO BE REMOVED

APPROVED
PLANNING BOARD OF HOWARD COUNTY
 Date: April 21, 2022

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
 7/6/2022

Director: Amy Groman Date: 6/28/2022
 Chief, Division of Land Management: [Signature] Date: 6/28/2022
 Chief, Development: [Signature] Date:



GLW
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3808 NATIONAL DRIVE | SUITE 250 | BURTONSVILLE, MD 20866 | GLWPA.COM
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DESIGNED BY:	DATE	REVISION	BY	APPR.
BWM				
DRAWN BY:				
BWM				
CHECKED BY:				
DDS				

OWNER/DEVELOPER:
 FKW WOODMERE LLC
 C/O ABRAMS DEVELOPMENT GROUP
 8601 ROBERT FULTON DRIVE, SUITE 100
 COLUMBIA, MD 21046
 ATTN: PETER MATHESON
 TEL: 443-539-4806

PROFESSIONAL CERTIFICATION
 I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 12975, EXPIRATION DATE: MAY 26, 2024

06/07/22



EXISTING CONDITIONS & DEMOLITION PLAN

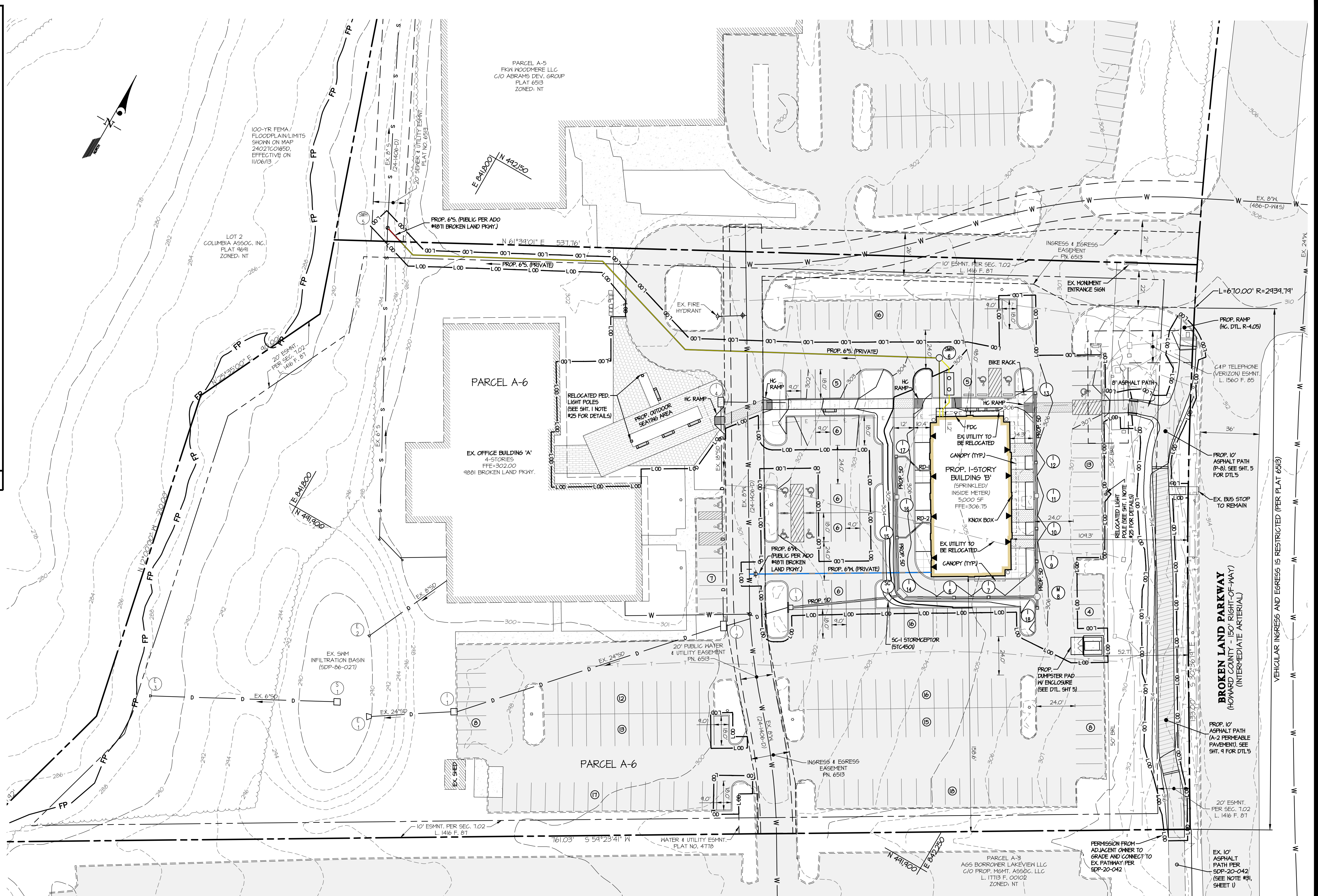
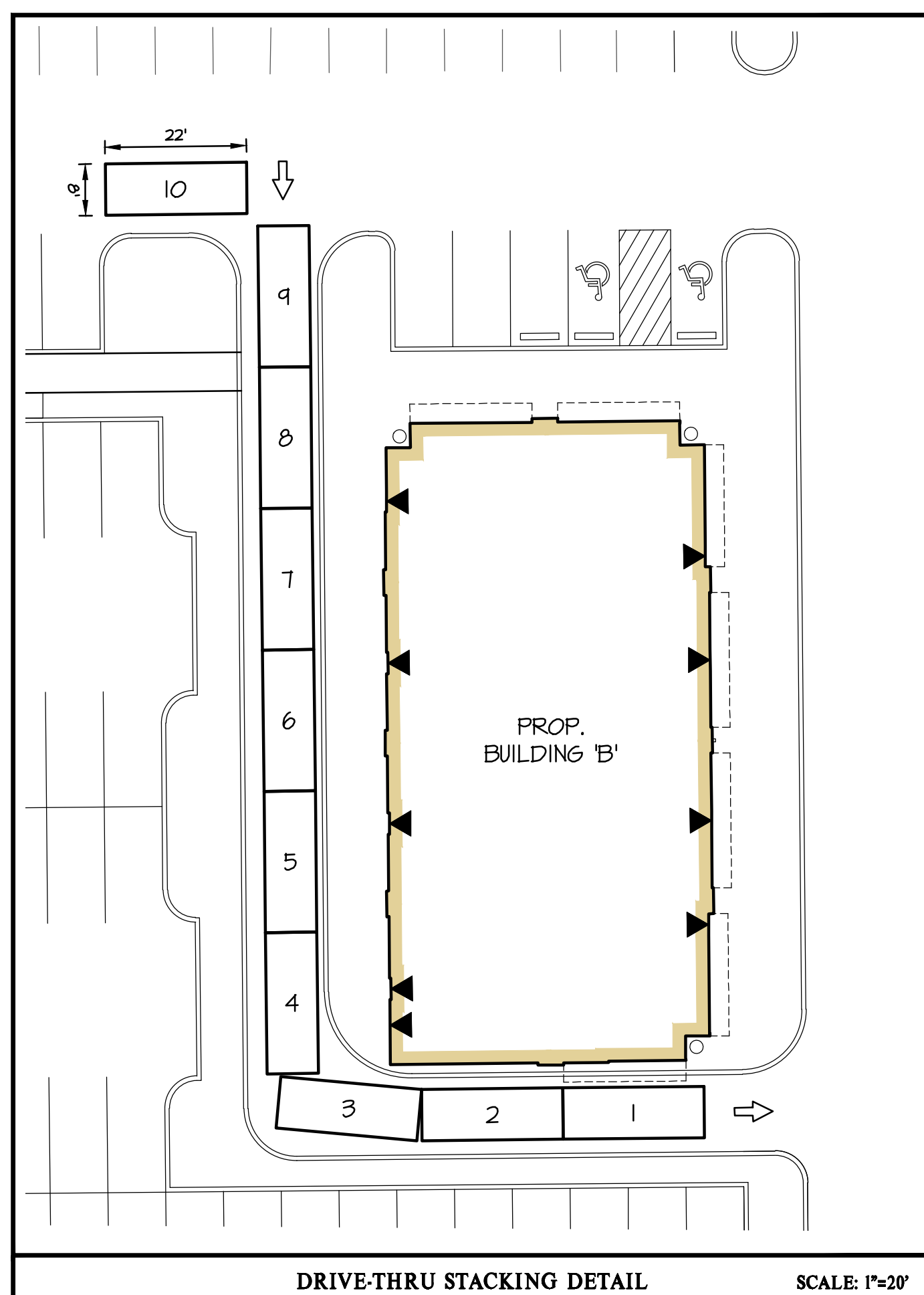
WOODMERE RETAIL VILLAGE OF OWEN BROWN, SEC. 3 AREA 1
PARCEL A-6
 PLAT 6513

ELECTION DISTRICT No. 6

HOWARD COUNTY, MARYLAND

SCALE	ZONING	G. L. W. FILE No.
1"=30'	NT	20130
DATE	TAX MAP - GRID	SHEET
JUNE, 2022	42-03	2 OF 14

L: CAD/DRAWINGS/20130 PLANS BY GLW/SDP/20130-SDP-02-EX COND.dwg
 PLOTTED: 6/7/2022 7:54 AM, LAST SAVED: 6/7/2022 7:52 AM, PLOTTED BY: Don Sawyer



APPROVED
PLANNING BOARD OF HOWARD COUNTY
Date: April 21, 2022

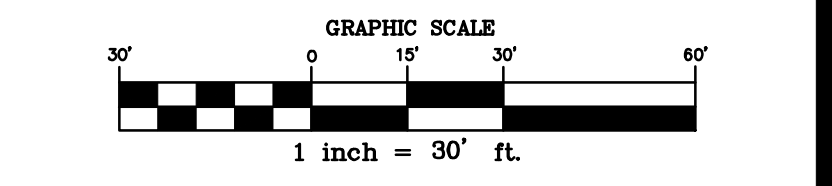
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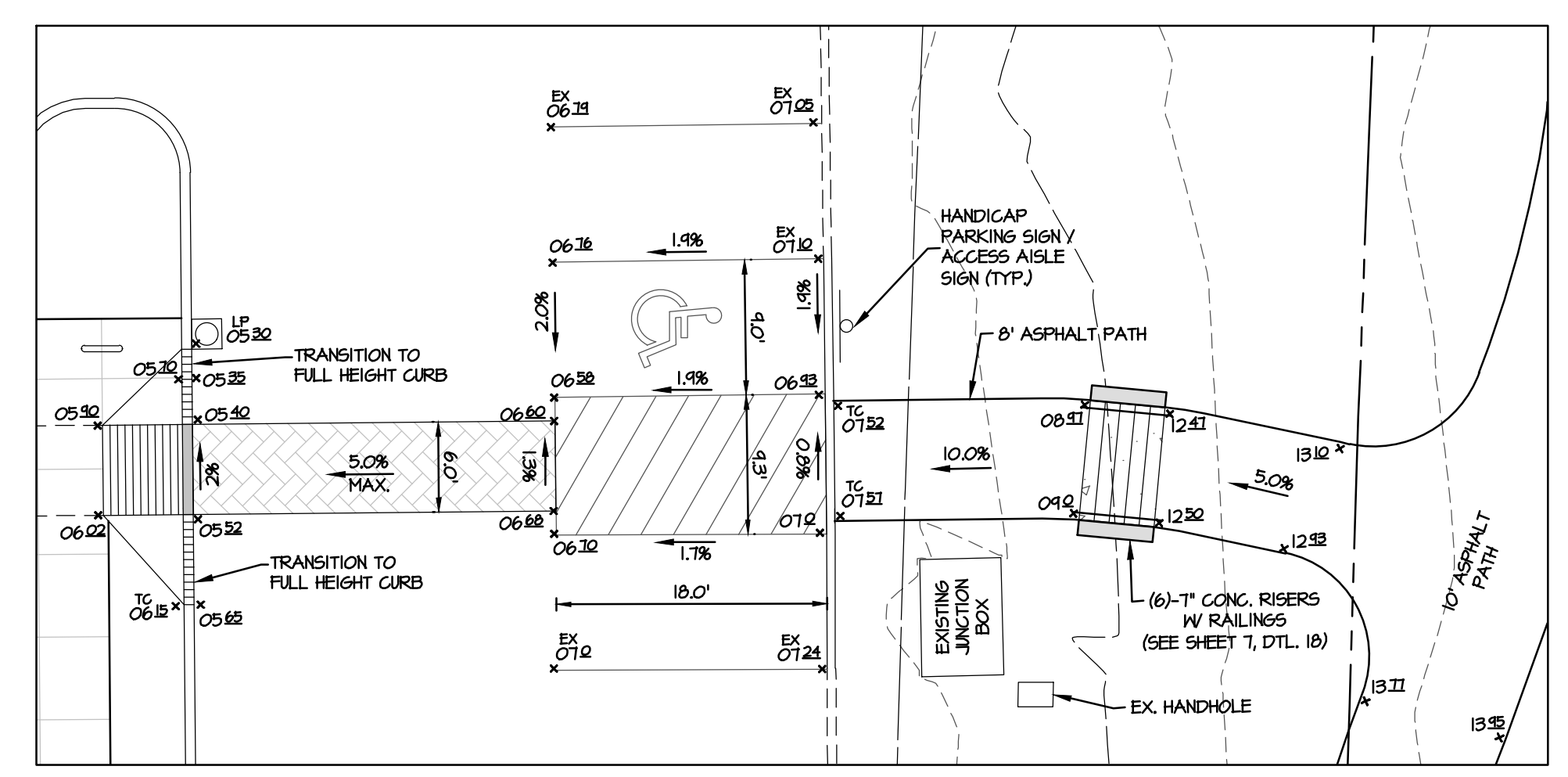
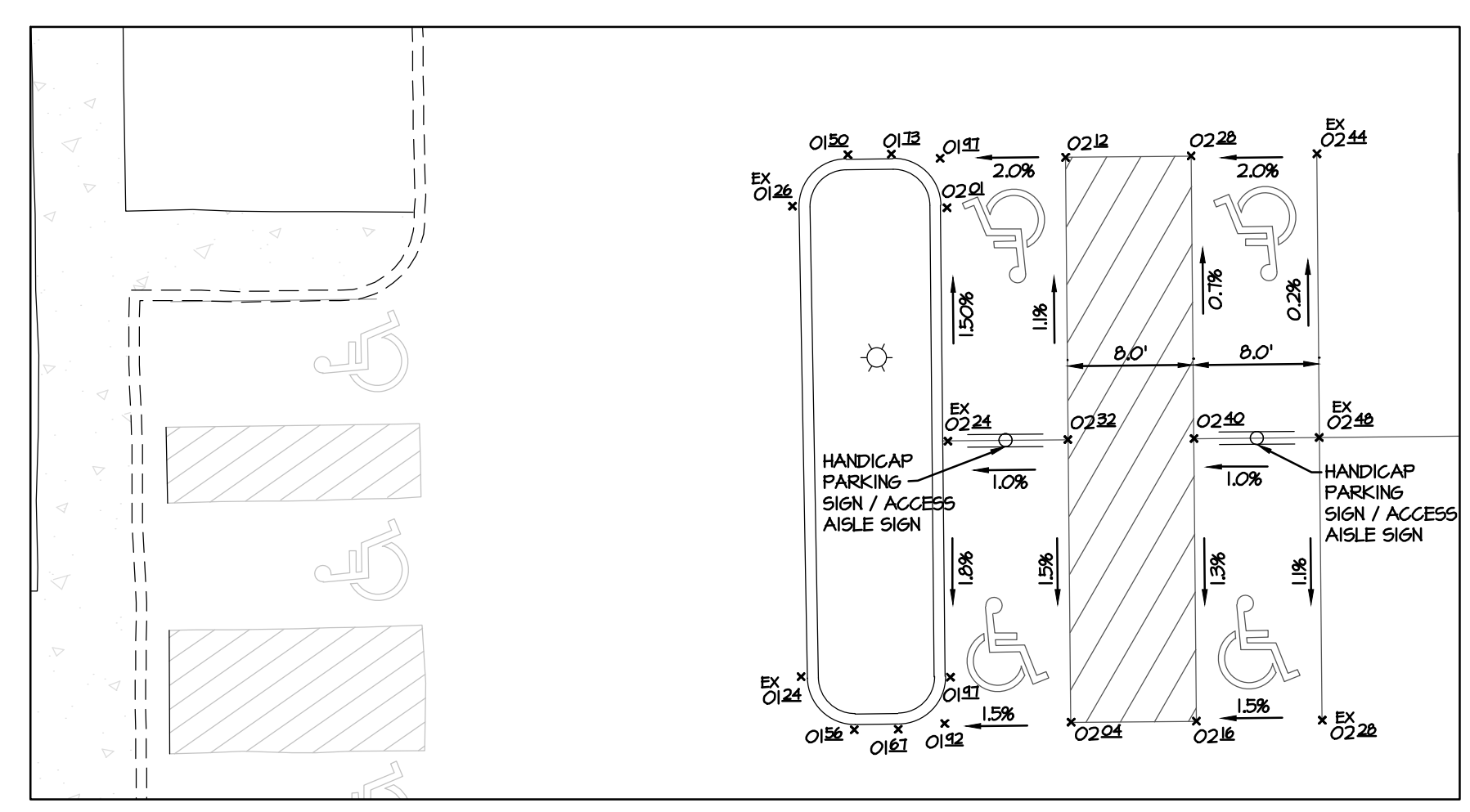
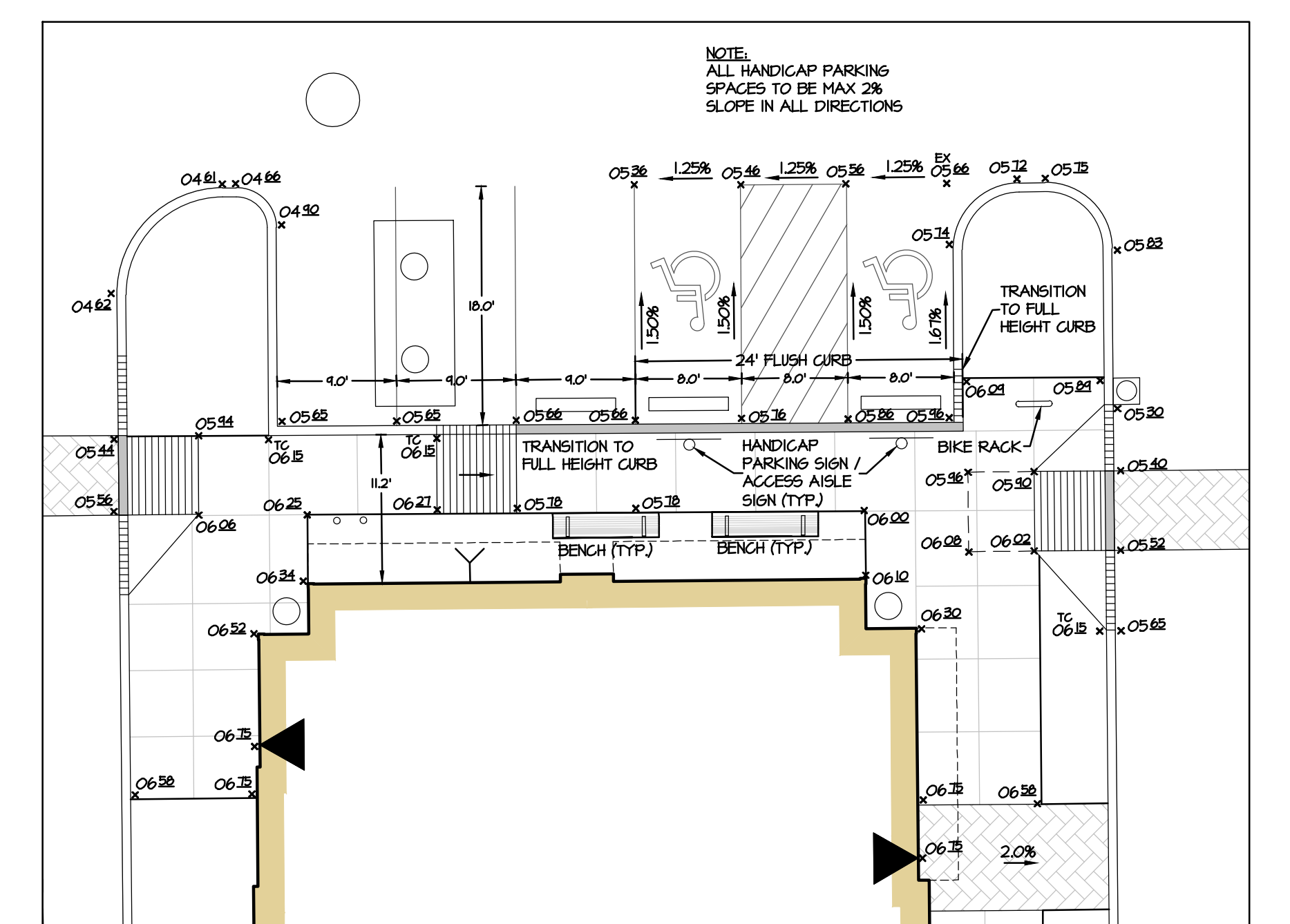
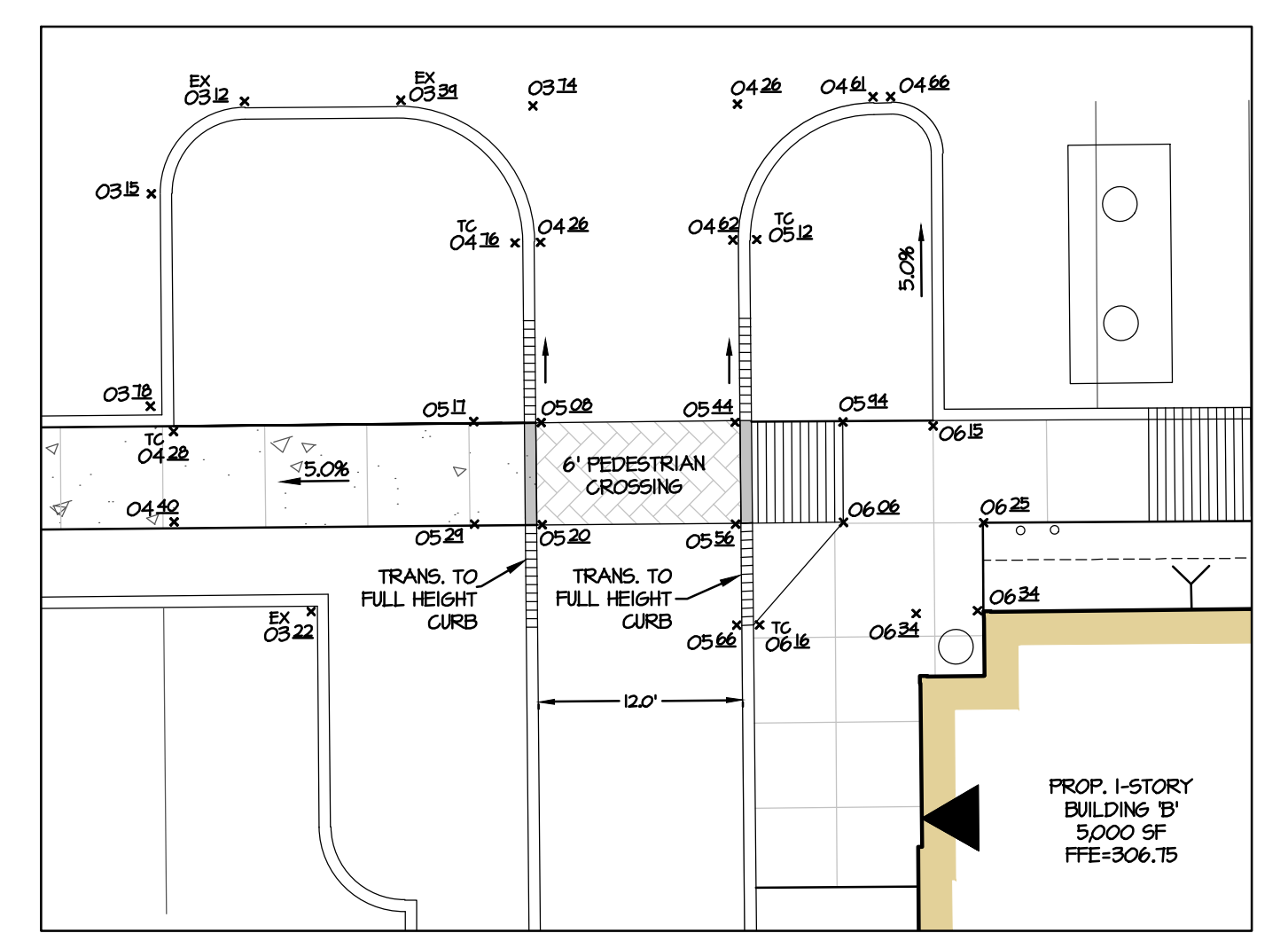
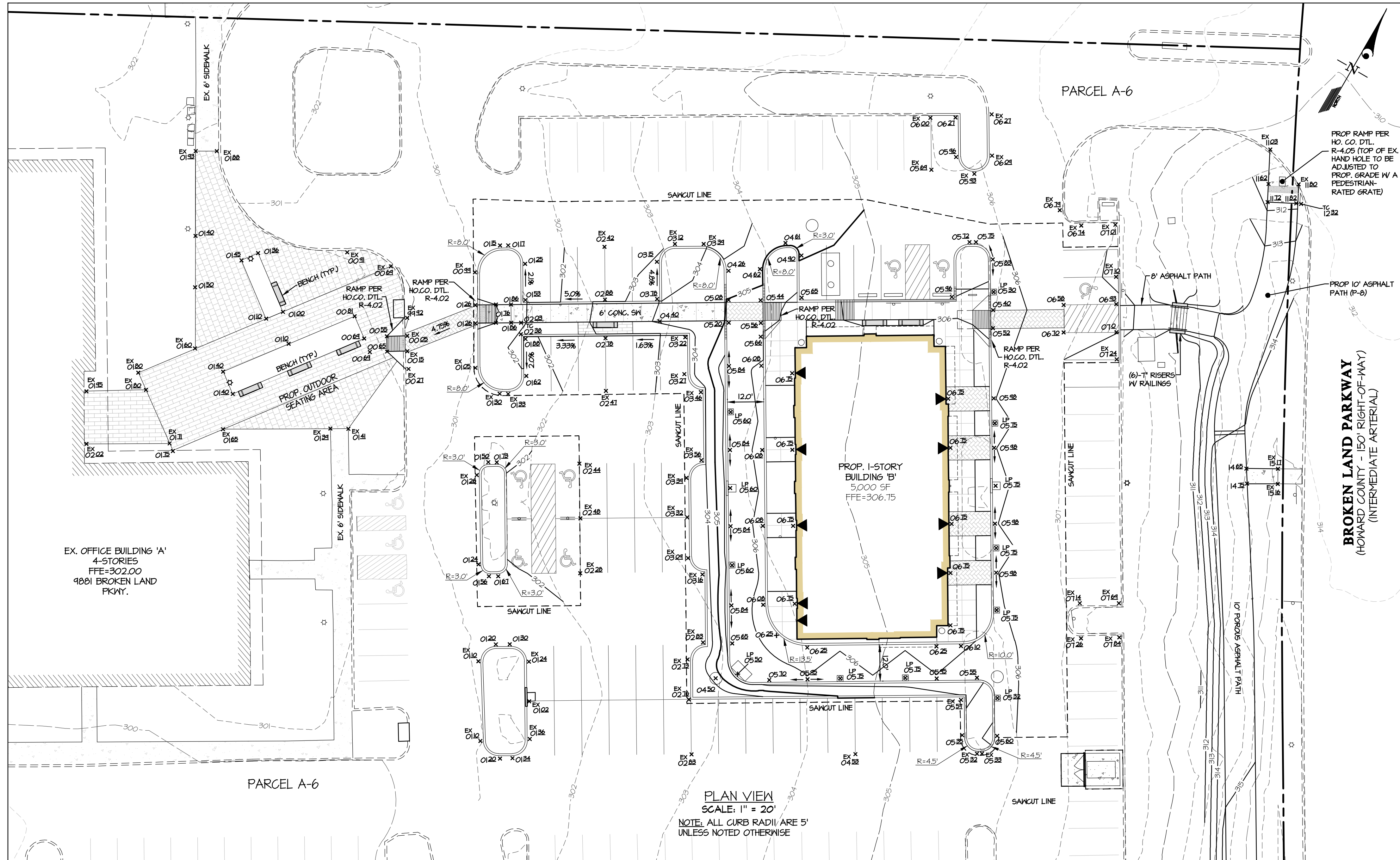
DESIGNED BY:	OWNER/DEVELOPER:
EWM	FKW WOODMERE LLC C/O ABRAMS DEVELOPMENT GROUP 8601 ROBERT FULTON DRIVE, SUITE 100 COLUMBIA, MD 21046 ATTN: PETER MATHIESON TEL: 443-539-4806
DRAWN BY:	PROFESSIONAL CERTIFICATION
EWM	I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 12975, EXPIRATION DATE: <u>MAY 26, 2024</u>
CHECKED BY:	
DDS	
DATE	REVISION
	BY
	APPR.

SITE DEVELOPMENT PLAN
WOODMERE RETAIL
VILLAGE OF OWEN BROWN, SEC. 3 AREA 1
PLAT 6513
ELECTION DISTRICT No. 6
HOWARD COUNTY, MARYLAND

SCALE	ZONING	G. L. W. FILE NO.
1"=30'	NT	20130
DATE	TAX MAP - GRID	SHEET
JUNE, 2022	42-03	3 OF 14



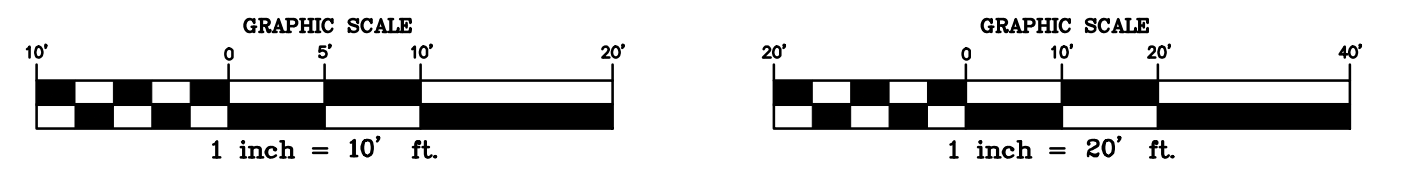
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APPROVED
PLANNING BOARD OF HOWARD COUNTY
Date: April 21, 2022

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
7/6/2022

Director: Amy Groman Date: 6/28/2022
Chief, Division of Land Use Management: [Signature] Date: 6/28/2022
Chief, Development: [Signature] Date: []



GLW
PLANNING | ENGINEERING | SURVEYING

3908 NATIONAL DRIVE | SUITE 2501 | BURTONSVILLE, MD 20896 | GLWPA.COM
PHONE: 301-421-4024 | BALT: 410-880-1820 | DC&VA: 301-989-2524 | FAX: 301-421-4186

DESIGNED BY:	EWM
DRAWN BY:	EWM
CHECKED BY:	DDS
DATE:	
REVISION:	
BY:	
APPR:	

OWNER/DEVELOPER:
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06/07/22

GRADING PLAN

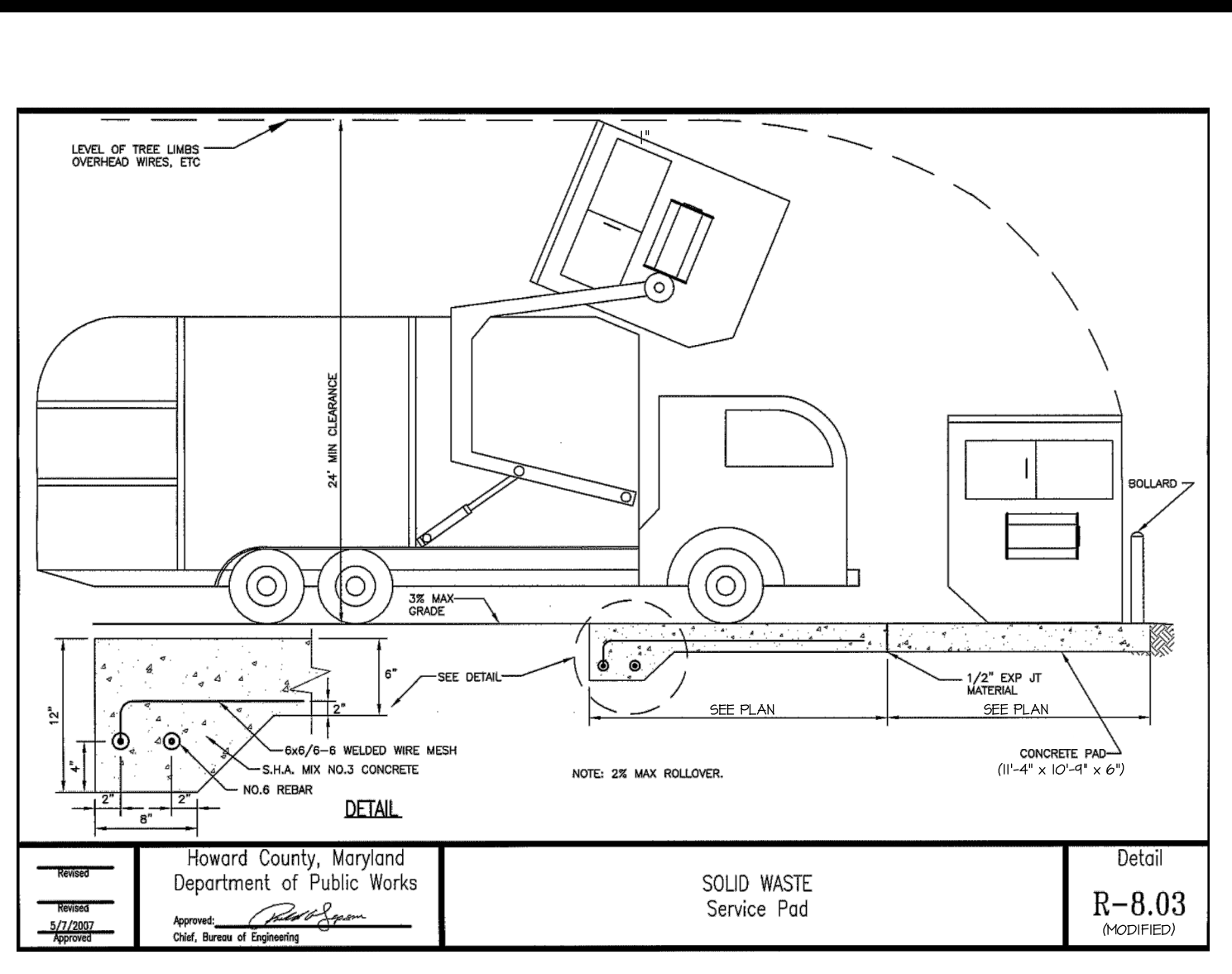
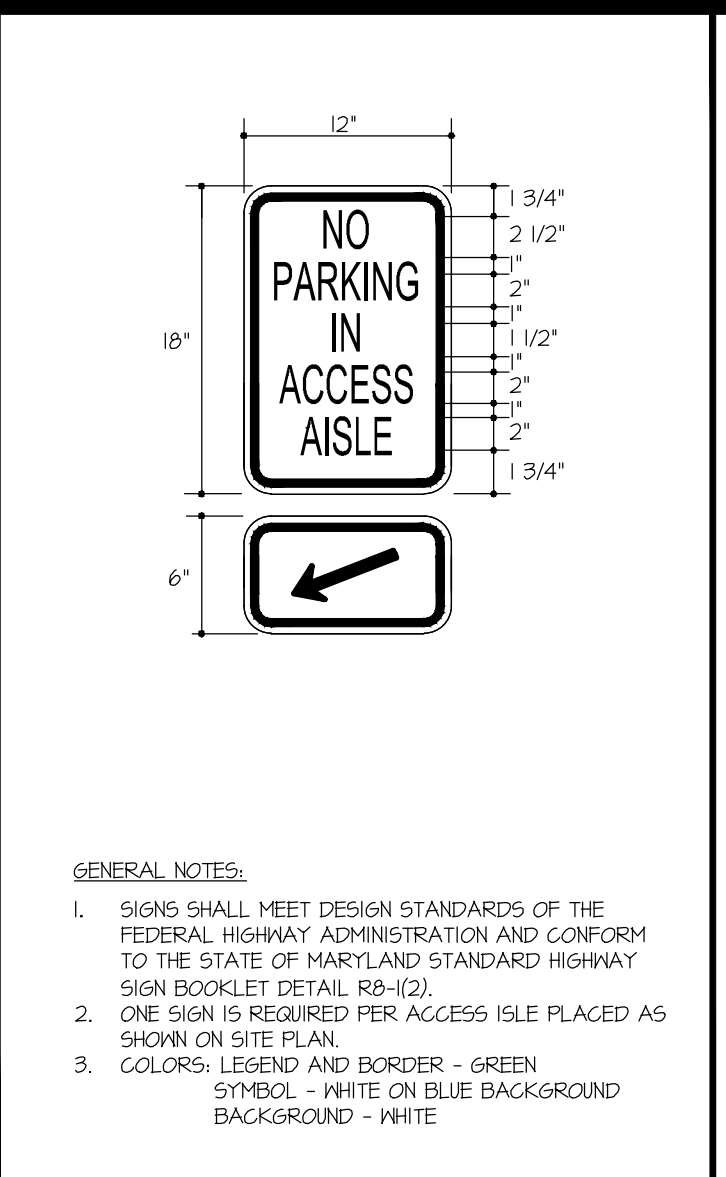
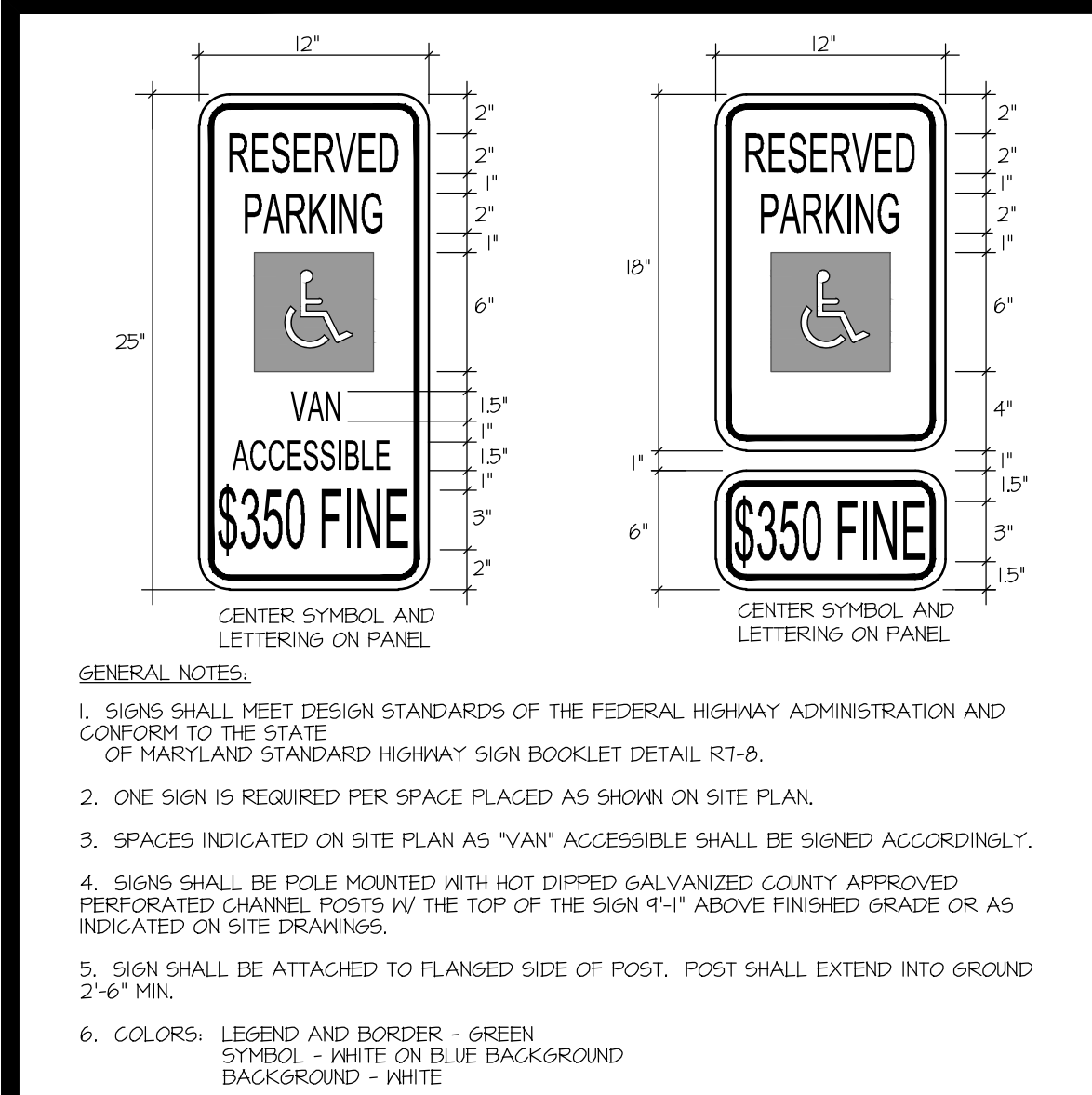
WOODMERE RETAIL
VILLAGE OF OWEN BROWN, SEC. 3 AREA 1
PARCEL A-6
PLAT 6513

ELECTION DISTRICT No. 6

HOWARD COUNTY, MARYLAND

SCALE	ZONING	G. L. W. FILE NO.
AS SHOWN	NT	20130
DATE	TAX MAP - GRID	SHEET
JUNE, 2022	42-03	4 OF 14

L:\CADD\DRAWINGS\20130\PLANS BY GLW\SPR\20130-SP-04-GRADING.dwg
 PLOTTED: 6/28/2022 10:49 AM, LAST SAVED: 6/28/2022 10:49 AM, PLOTTED BY: Don Swamy



SECTION NUMBER	ROAD AND STREET CLASSIFICATION	CALIFORNIA BEARING RATIO (CBR)	3 TO <5> 5 TO <7> 7			3 TO <5> 5 TO <7> 7		
			MIN. SUPERPAVE ASPHALT MIX WITH GAB	MIN. SUPERPAVE ASPHALT MIX WITH GAB	MIN. SUPERPAVE ASPHALT MIX WITH GAB	MIN. SUPERPAVE ASPHALT MIX WITH GAB	MIN. SUPERPAVE ASPHALT MIX WITH GAB	MIN. SUPERPAVE ASPHALT MIX WITH GAB
P-1	PARKING DRIVE ASILES: RESIDENTIAL AND NON-RESIDENTIAL WITH NO MORE THAN 2 HEAVY TRUCKS PER DAY	SUPERPAVE ASPHALT MIX FINAL SURFACE 9.5 MM PG 64-225, LEVEL 1 (ESAL)	1.5	1.5	1.5	1.5	1.5	1.5
			2.0	2.0	2.0	3.5	3.0	2.5
			8.5	7.0	7.0	1.0	1.0	4.0
			GRADED AGGREGATE BASE (GAB)					
P-2	PARKING DRIVE ASILES: RESIDENTIAL AND NON-RESIDENTIAL WITH NO MORE THAN 10 HEAVY TRUCKS PER DAY	SUPERPAVE ASPHALT MIX FINAL SURFACE 9.5 MM PG 64-225, LEVEL 1 (ESAL)	1.5	1.5	1.5	1.5	1.5	1.5
			1.5	1.5	1.5	1.5	1.5	1.5
			2.0	2.0	2.0	3.5	3.0	2.0
			GRADED AGGREGATE BASE (GAB)					
P-3	PARKING DRIVE ASILES: RESIDENTIAL AND NON-RESIDENTIAL WITH NO MORE THAN 10 HEAVY TRUCKS PER DAY	SUPERPAVE ASPHALT MIX FINAL SURFACE 9.5 MM PG 64-225, LEVEL 1 (ESAL)	1.5	1.5	1.5	1.5	1.5	1.5
			1.5	1.5	1.5	1.5	1.5	1.5
			3.0	3.0	3.0	4.5	3.0	2.0
			GRADED AGGREGATE BASE (GAB)					
P-4	MINOR COLLECTORS: NON-RESIDENTIAL MAJOR COLLECTORS	SUPERPAVE ASPHALT MIX FINAL SURFACE 12.5 MM PG 64-225, LEVEL 2 (LOW ESAL)	2.0	2.0	2.0	2.0	2.0	2.0
			2.0	2.0	2.0	2.0	2.0	2.0
			4.0	7.0	4.0	6.0	5.0	3.0
			GRADED AGGREGATE BASE (GAB)					

NOTES:

- HEAVY TRUCKS ARE DEFINED AS THOSE WITH SIX (6) WHEELS OR MORE INCLUDING GARAGE TRUCKS.
- SUPERPAVE ASPHALT MIX LAYERS SHALL BE PLACED IN APPROPRIATE COMPACTED LIFT THICKNESS: 10.0 MM BASE (1.0" MIN. TO 4.0" MAX.), 12.5 MM SURFACE (1.0" MIN. TO 3.0" MAX.), AND 9.5 MM SURFACE (1.0" MIN. TO 2.0" MAX.).
- GRADED AGGREGATE BASE (GAB) TO BE PLACED AND COMPACTED IN 4" MAX. COMPACTED THICKNESS LAYERS.
- THE INTERMEDIATE SURFACE COURSE LAYER MUST BE PLACED WITHIN 2 WEEKS OF PLACEMENT OF BASE COURSE, AND IS REQUIRED PRIOR TO SUBMITTING COMPLETION INSPECTION AND ROAD REVISION.
- IN LIEU OF PLACING THE INTERMEDIATE SURFACE COURSE LAYER FOR COMMERCIAL/INDUSTRIAL ENTRANCE AREAS WITHIN THE COUNTY RIGHT-OF-WAY WHERE AUXILIARY LANES ARE NOT REQUIRED, THE THICKNESS OF THE INTERMEDIATE PAVEMENT LAYER CAN BE ADDED TO THE REQUIRED THICKNESS OF THE BASE ASPHALT LAYER.
- THE CONSTRUCTION DRAWINGS SHALL SHOW THE PAVING SECTION, ROAD CLASSIFICATION AND CBR VALUE FOR EACH ROADWAY.

SECTION NUMBER	ROAD AND STREET CLASSIFICATION	CALIFORNIA BEARING RATIO (CBR)	3 TO <5> 5 TO <7> 7			3 TO <5> 5 TO <7> 7		
			MIN. SUPERPAVE ASPHALT MIX WITH GAB	MIN. SUPERPAVE ASPHALT MIX WITH GAB	MIN. SUPERPAVE ASPHALT MIX WITH GAB	MIN. SUPERPAVE ASPHALT MIX WITH GAB	MIN. SUPERPAVE ASPHALT MIX WITH GAB	MIN. SUPERPAVE ASPHALT MIX WITH GAB
P-5	MINOR ARTERIAL	SUPERPAVE ASPHALT MIX FINAL SURFACE 12.5 MM PG 64-225, LEVEL 2 (HIGH ESAL)	2.0	2.0	2.0	2.0	2.0	2.0
			2.0	2.0	2.0	2.0	2.0	2.0
			6.0	6.0	6.0	7.0	5.0	4.0
			GRADED AGGREGATE BASE (GAB)					
P-6	UNDEVELOPED INTERMEDIATE ARTERIAL	SUPERPAVE ASPHALT MIX FINAL SURFACE 12.5 MM PG 64-225, LEVEL 2 (HIGH ESAL)	2.0	2.0	2.0	2.0	2.0	2.0
			2.0	2.0	2.0	2.0	2.0	2.0
			7.0	7.0	7.0	8.5	6.5	5.0
			GRADED AGGREGATE BASE (GAB)					
P-7	STABILIZED SHOULDER: MINOR ARTERIAL	CHIP SEAL DOUBLE SURFACE TREATMENT	1.75	1.75	NA	NA	NA	NA
			16.0	16.0	13.0	13.0	NA	NA
			GRADED AGGREGATE BASE (GAB)					
			GRADED AGGREGATE BASE (GAB)					
P-8	PAVED SHOULDER: UNDEVELOPED INTERMEDIATE ARTERIAL, SECONDARY AND PARKING AREAS (PRIVATE) (NOTE: THIS SECTION MAY BE USED IN LIEU OF CONCRETE SIDEWALK IN OFF SITE, PRIVATELY MAINTAINED AREAS ONLY)	SUPERPAVE ASPHALT MIX FINAL SURFACE 12.5 MM PG 64-225, LEVEL 1 (LOW ESAL)	3.0	3.0	3.0	4.0	3.5	3.5
			3.0	3.0	3.0	3.0	3.0	3.0
			9.5	8.0	5.5	6.0	6.0	6.0
			GRADED AGGREGATE BASE (GAB)					

NOTES:

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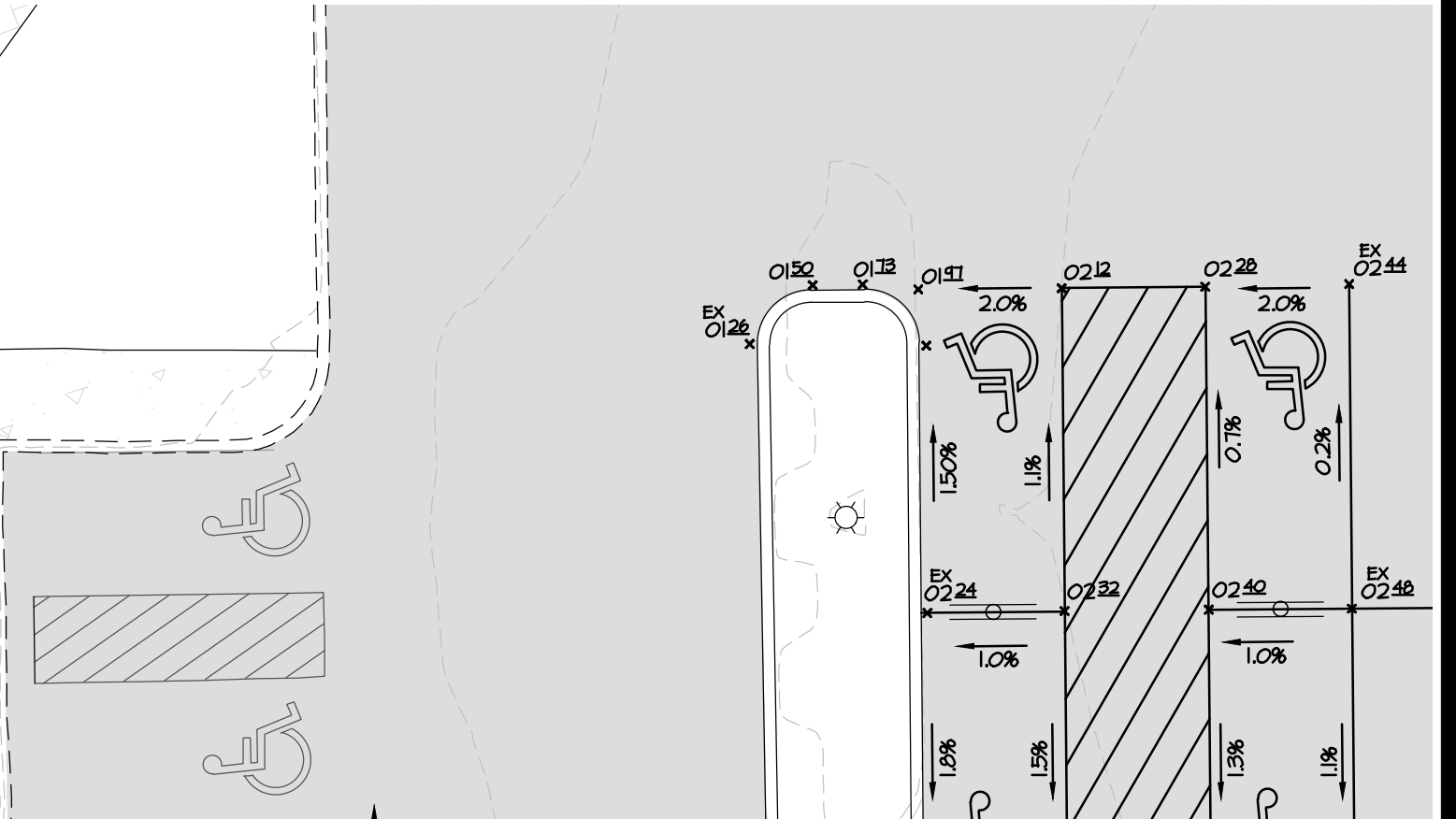
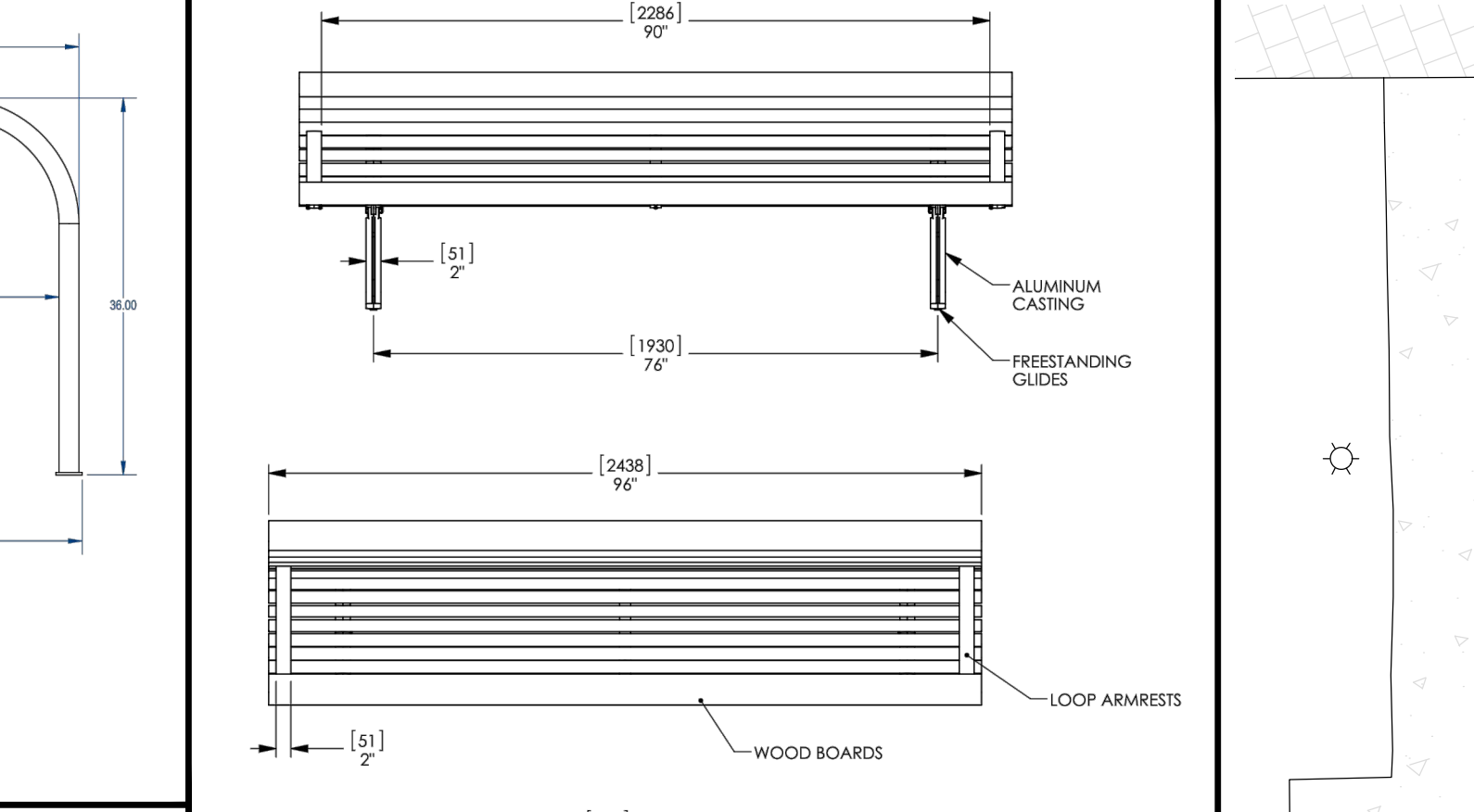
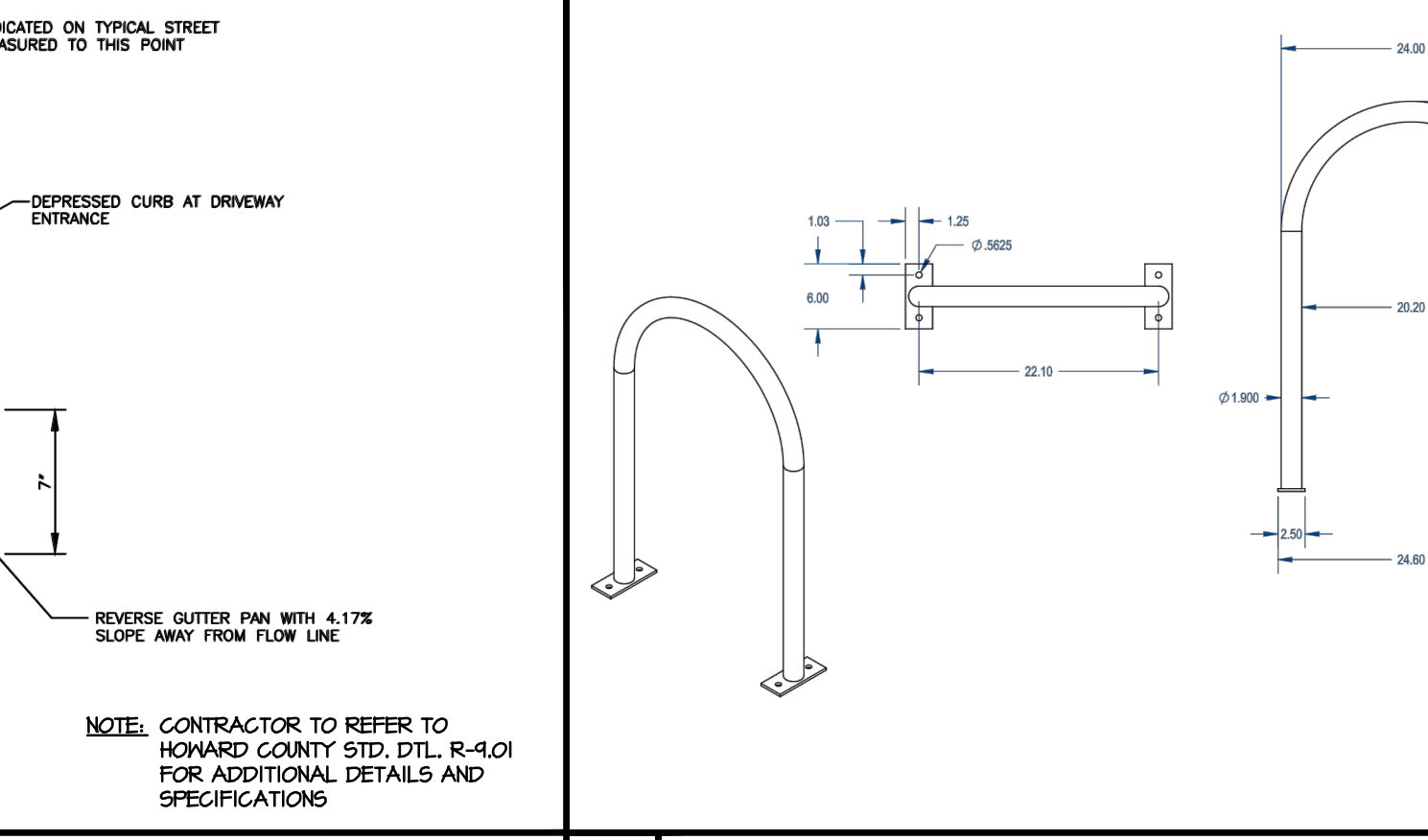
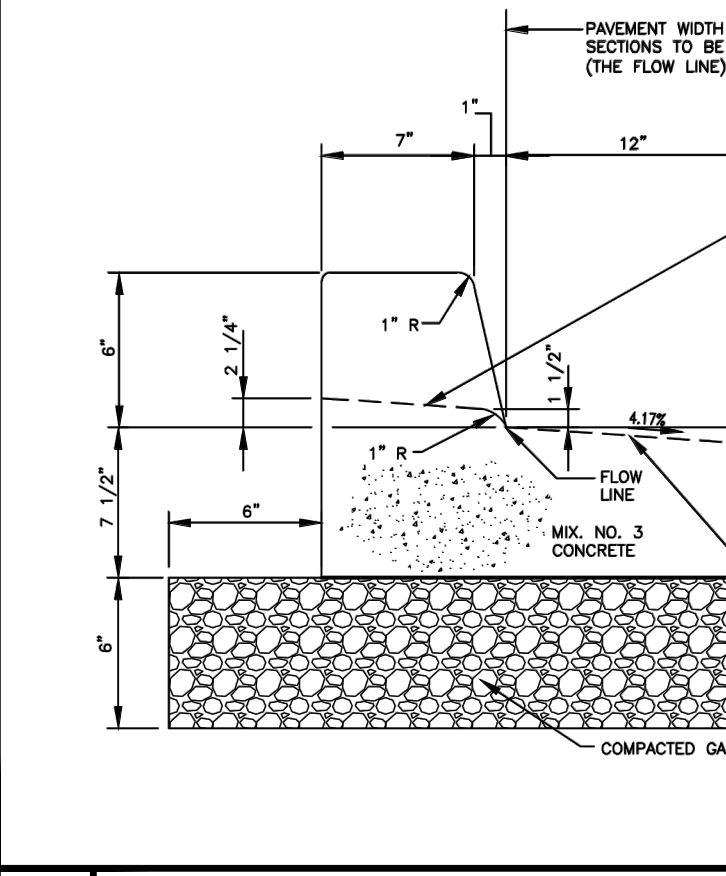
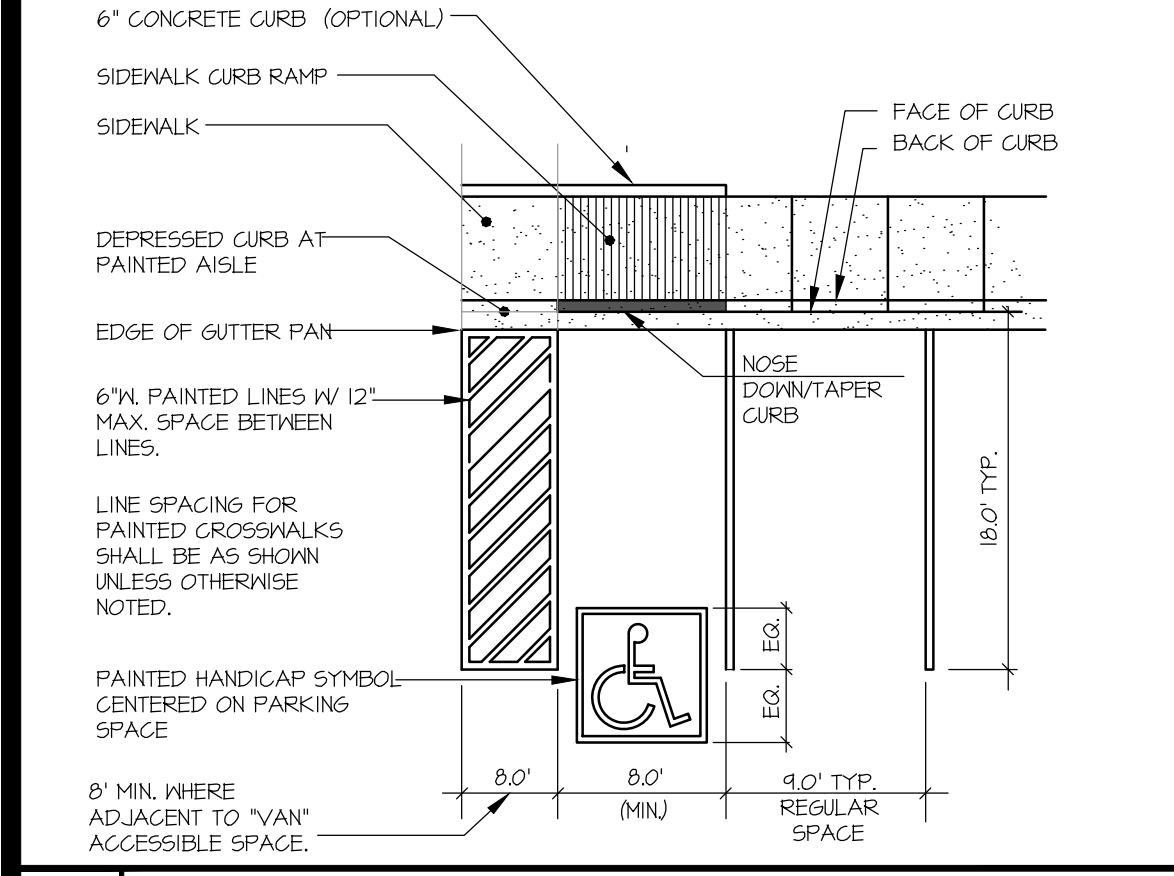
1 HANDICAP PARKING SIGNS DETAIL NO SCALE

2 ACCESS AISLE SIGN NO SCALE

3 DUMPSTER PAD DETAIL

4 PAVEMENT SECTION (HO.CO. STD. DTL. R-2.01 OR AS APPROVED BY ON-SITE GEOTECH)

5 PATHWAY PAVEMENT SECTION (HO.CO. STD. DTL. R-2.02 OR AS APPROVED BY ON-SITE GEOTECH)



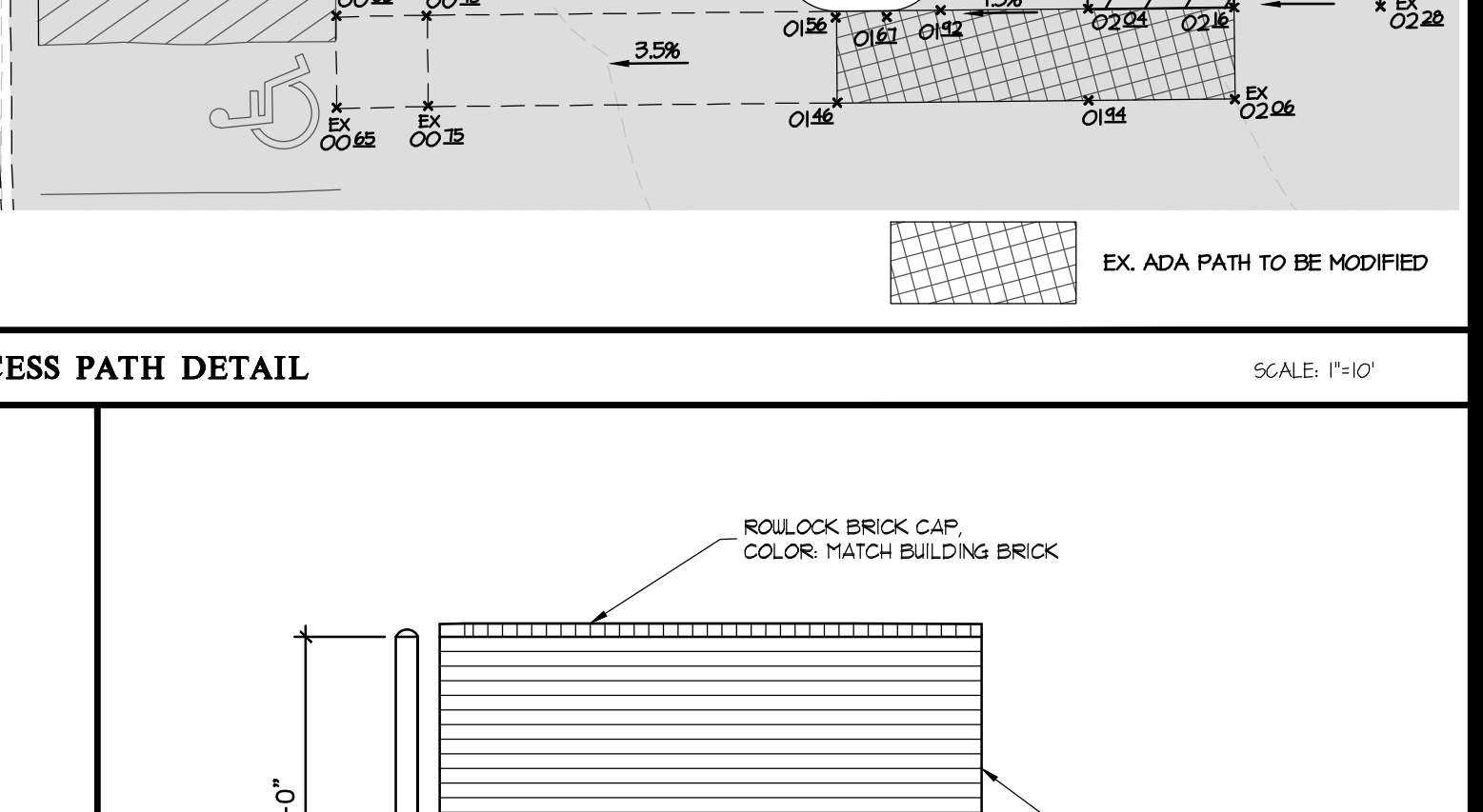
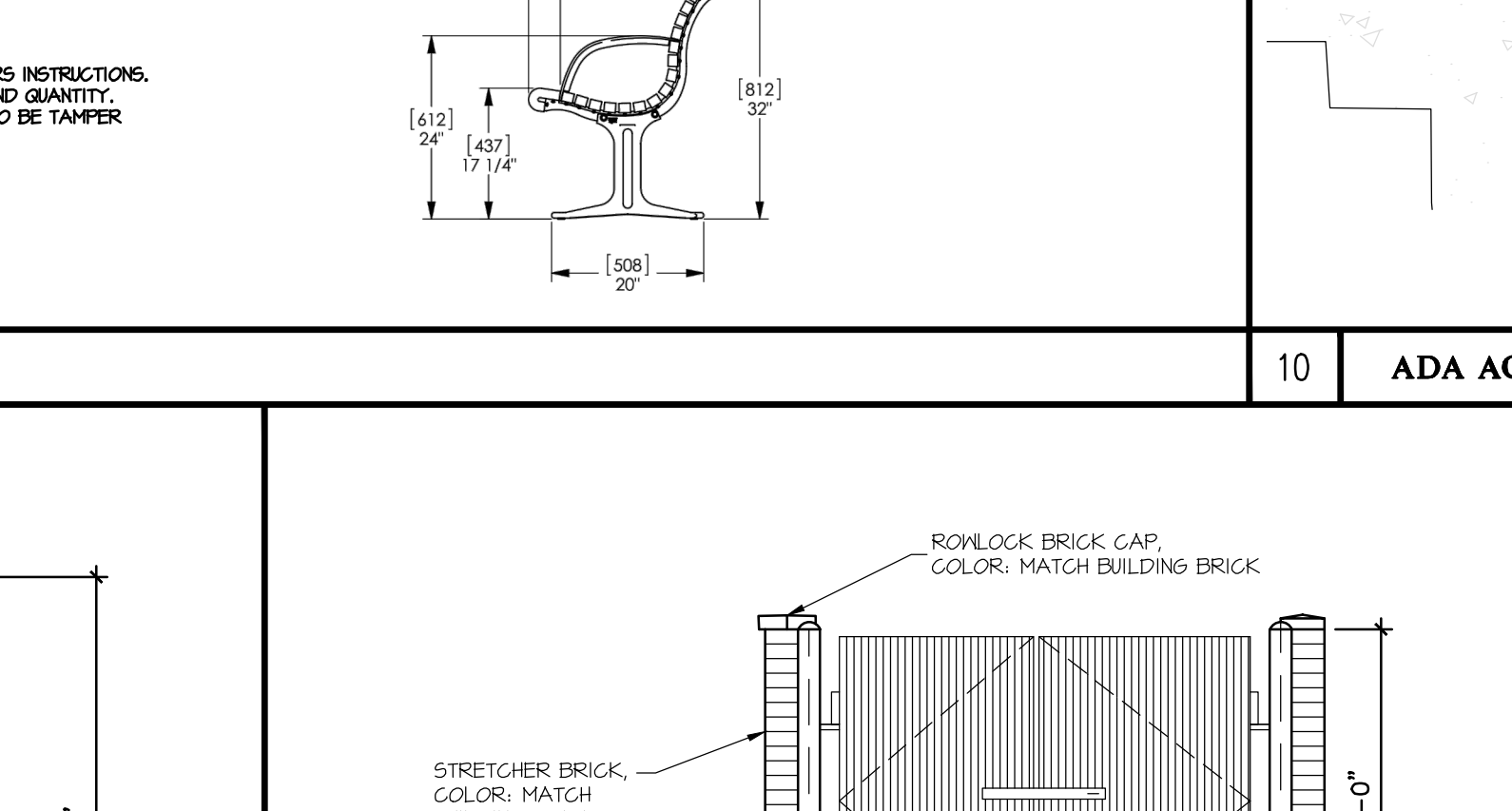
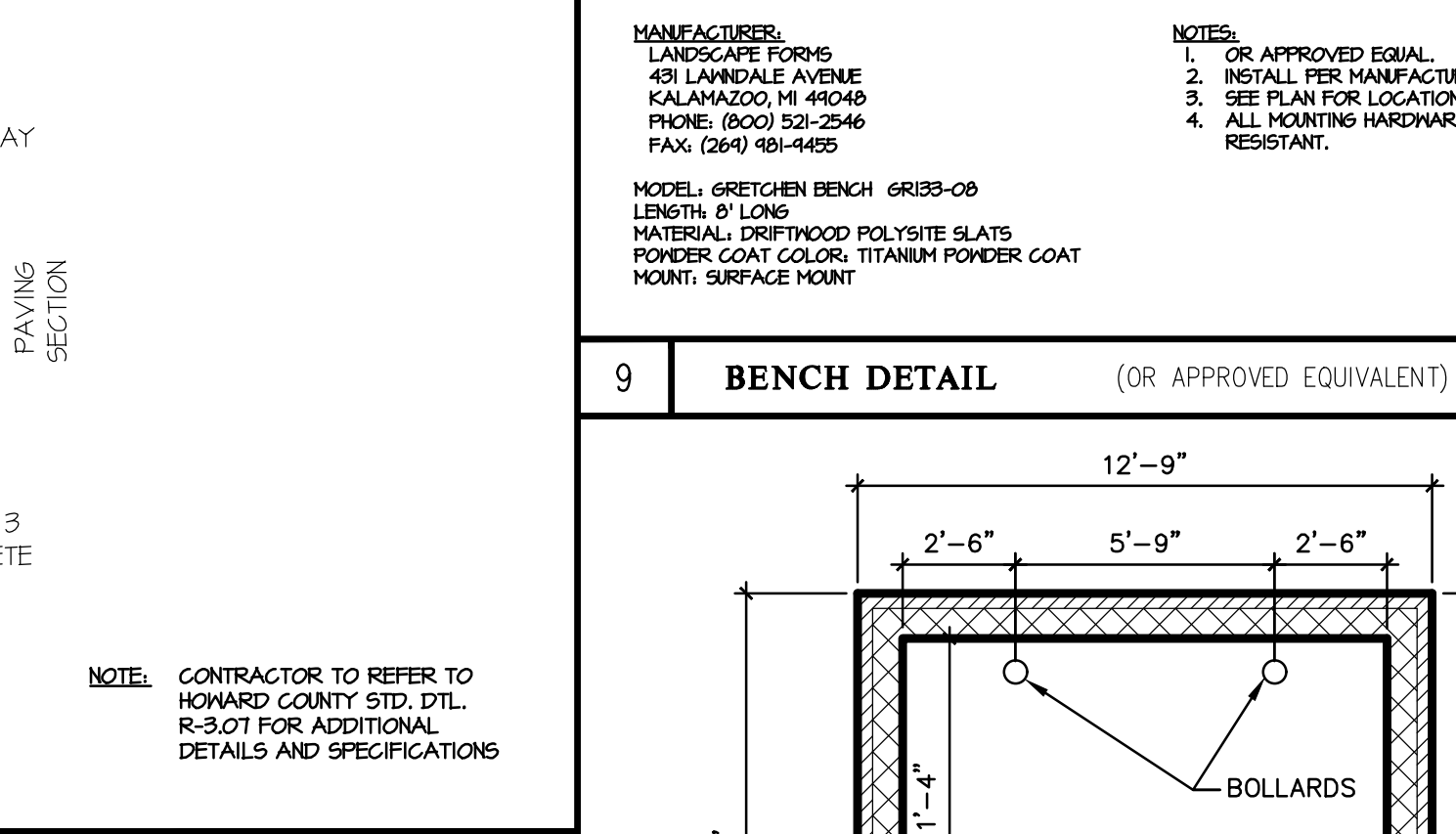
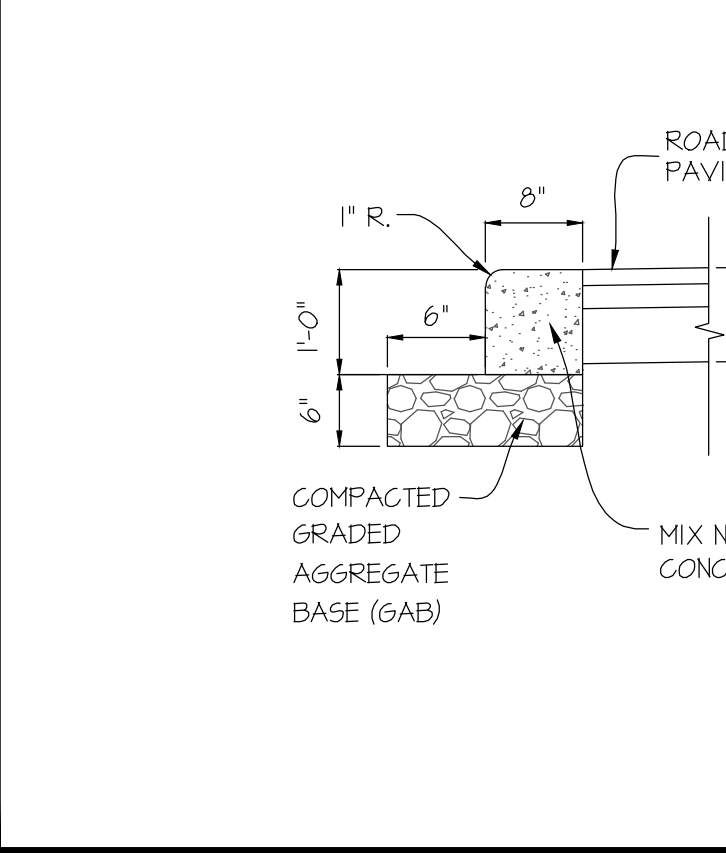
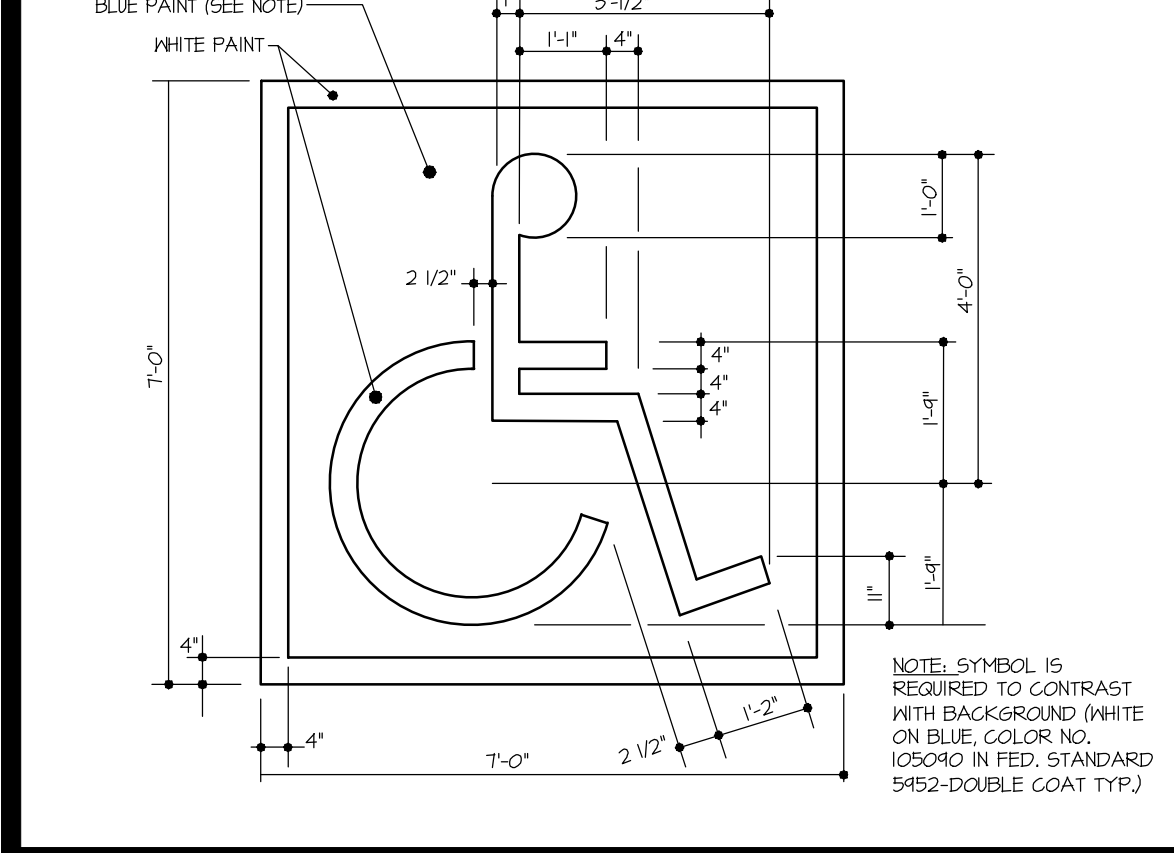
6 PARKING SPACE LAYOUT NO SCALE

7 6 inch COMBINATION CURB & GUTTER (PER HO.CO. STD. DTL. R-9.01) NO SCALE

8 BIKE RACK DETAIL (OR APPROVED EQUIVALENT)

9 BENCH DETAIL (OR APPROVED EQUIVALENT)

10 ADA ACCESS PATH DETAIL SCALE: 1"=10'



11 HANDICAP SPACE STENCIL LAYOUT NO SCALE

12 FLUSH CURB (HO.CO. STD. DTL. R-3.07) NO SCALE

13 BOLLARD DETAIL NO SCALE

14 SIDEWALK DETAIL (MODIFIED HO.CO. STD. DTL. R-3.05)

15 DUMPSTER ENCLOSURE DETAIL NO SCALE

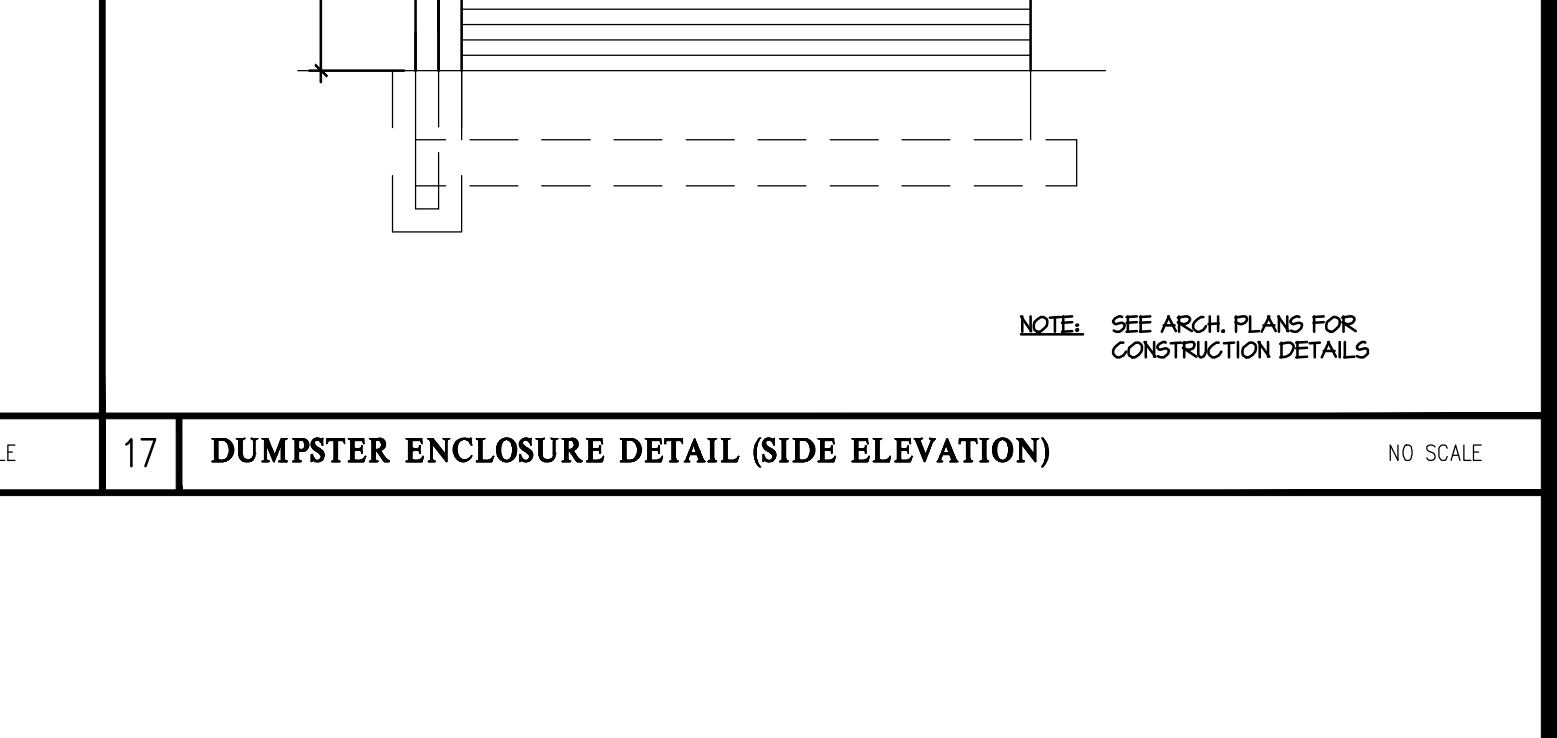
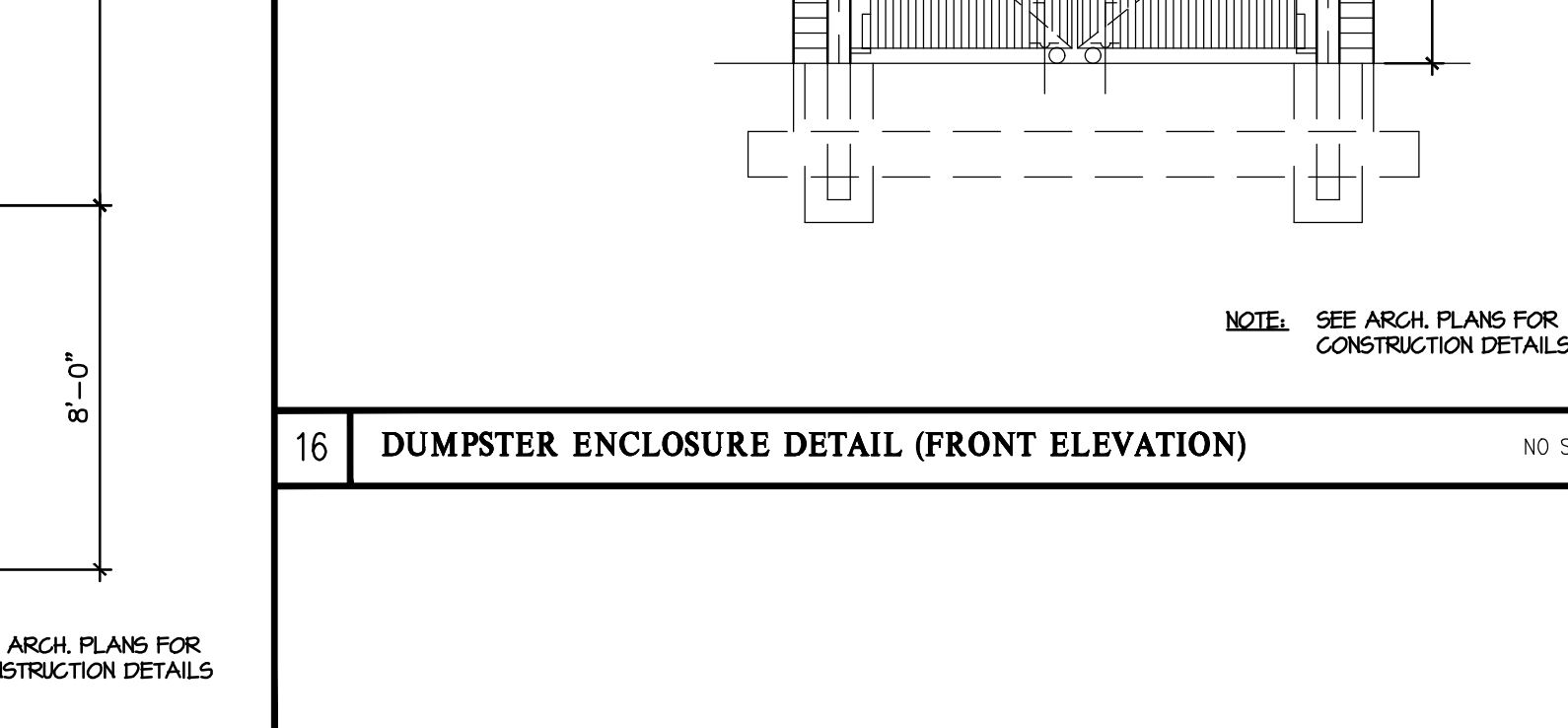
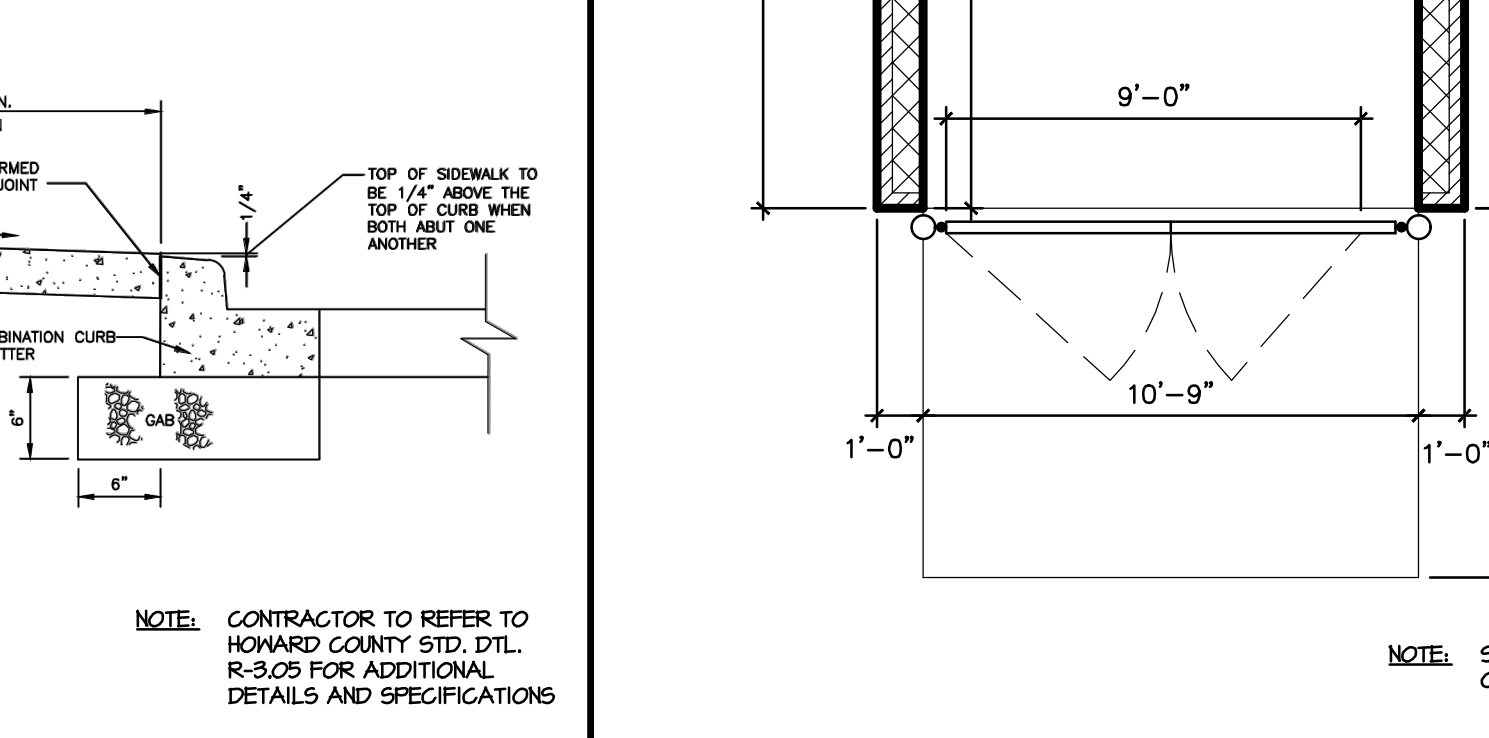
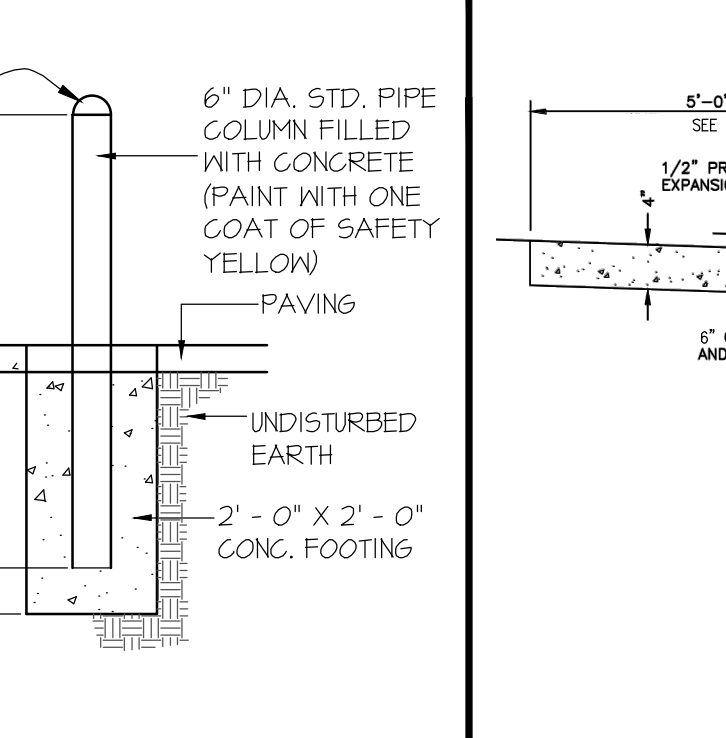
APPROVED
PLANNING BOARD OF HOWARD COUNTY
Date: April 21, 2022

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING 7/6/2022

Director: Amy Groman Date: 6/28/2022

Chief, Division of Land Development Date: 6/28/2022

Chief, Development Division Date: 6/28/2022



DESIGNED BY: **BWM**

DRAWN BY: **BWM**

CHECKED BY: **DDS**

DATE: _____

REVISION: _____

BY: _____

APPR: _____

OWNER/DEVELOPER:
FKW WOODMERE LLC
C/O ABRAMS DEVELOPMENT GROUP
8601 ROBERT FULTON DRIVE, SUITE 100
COLUMBIA, MD 21046
ATTN: PETER MATHIESON
TEL: 443-539-4806

PROFESSIONAL CERTIFICATION
I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 12915
EXPIRATION DATE: MAY 26, 2024

06/07/22

SITE PLAN DETAILS

WOODMERE RETAIL
VILLAGE OF OWEN BROWN, SEC. 3 AREA 1
PARCEL A-6
PARCEL 6513

ELECTION DISTRICT No. 6

SCALE: AS SHOWN

ZONING: NT

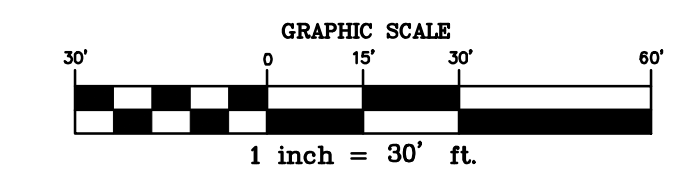
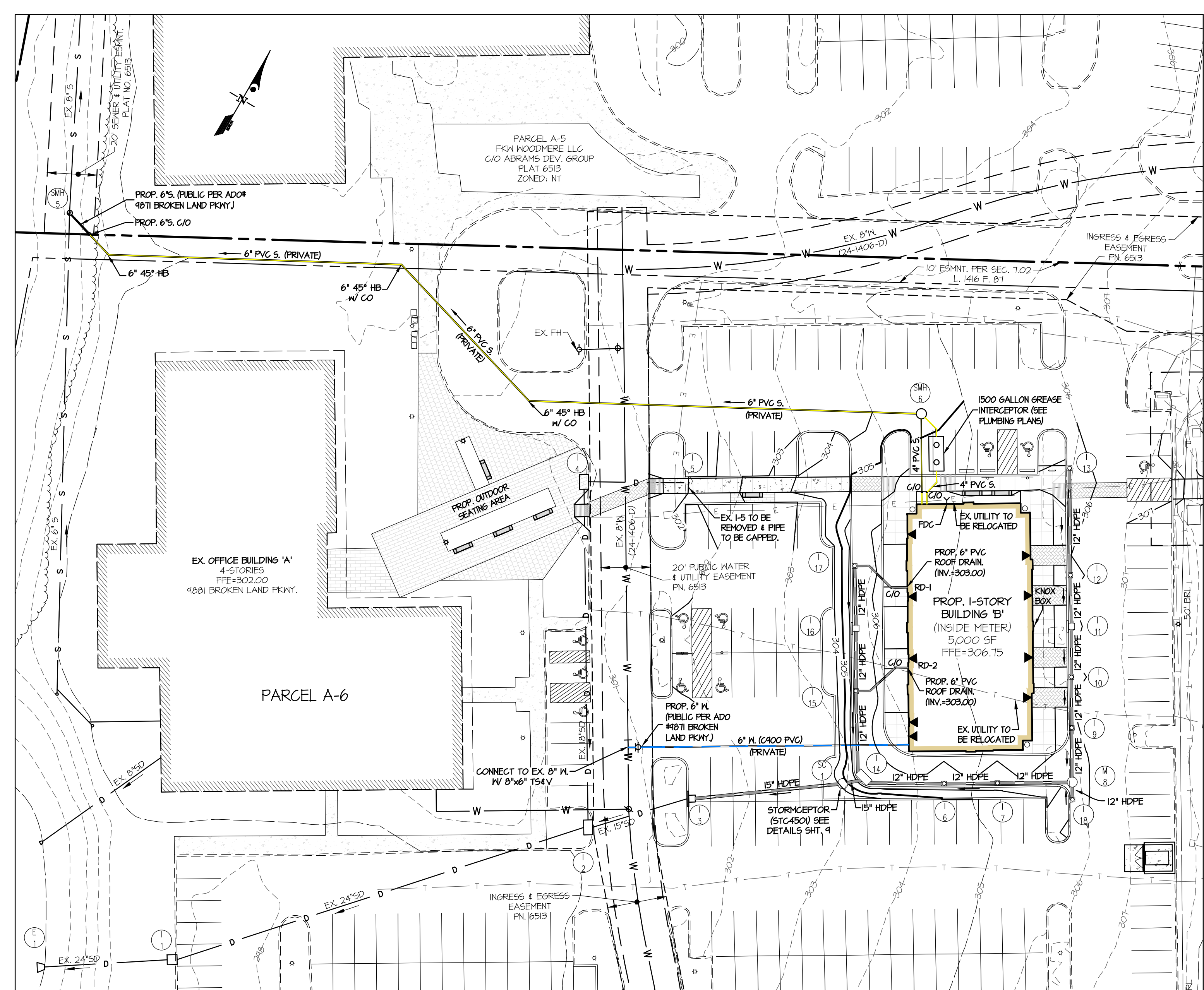
G. L. W. FILE NO.: 20130

DATE: JUNE, 2022

TAX MAP - GRID: 42-03

SHEET: 5 OF 14

SDP-21-045



PLAN VIEW SCALE: 1" = 30'

PRIVATE STORM DRAIN STRUCTURE SCHEDULE table with columns for NO., TYPE, WIDTH, TOP ELEVATION, INVERT, STD. DETAIL, LOCATION, and REMARKS.

NOTE: ALL NYLOPLAST (OR EQUIV.) STRUCTURES AND GRATES TO BE H-20 RATED

PUBLIC WATER / SEWER QUANTITIES table listing items like 6" WATER (C400 DR 10 PVC) and 6" SEWER PVC SDR 35.

PRIVATE WATER / SEWER QUANTITIES table listing items like 6" WATER C400 DR 10 PVC and 6" SEWER PVC SDR 35.

PRIVATE STORM DRAIN PIPE SUMMARY table with columns for SIZE, TYPE, and QUANTITY (L.F.).

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING 7/6/2022. Director: Amy Groman.

APPROVED: PLANNING BOARD OF HOWARD COUNTY APRIL 21, 2022.

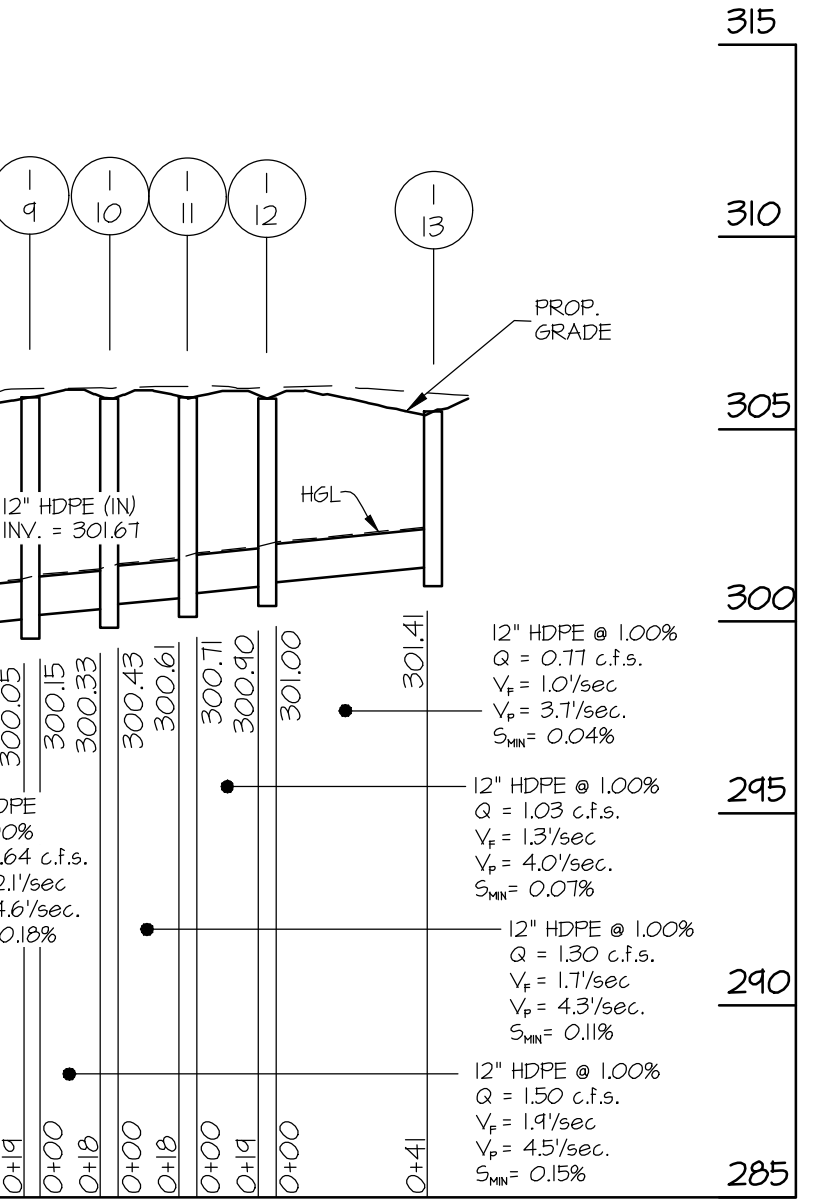
GLW logo and contact information: 3809 NATIONAL DRIVE | SUITE 250 | BURTONSVILLE, MD 20886 | GLWPA.COM

DESIGNED BY, DRAWN BY, CHECKED BY table with columns for name and date.

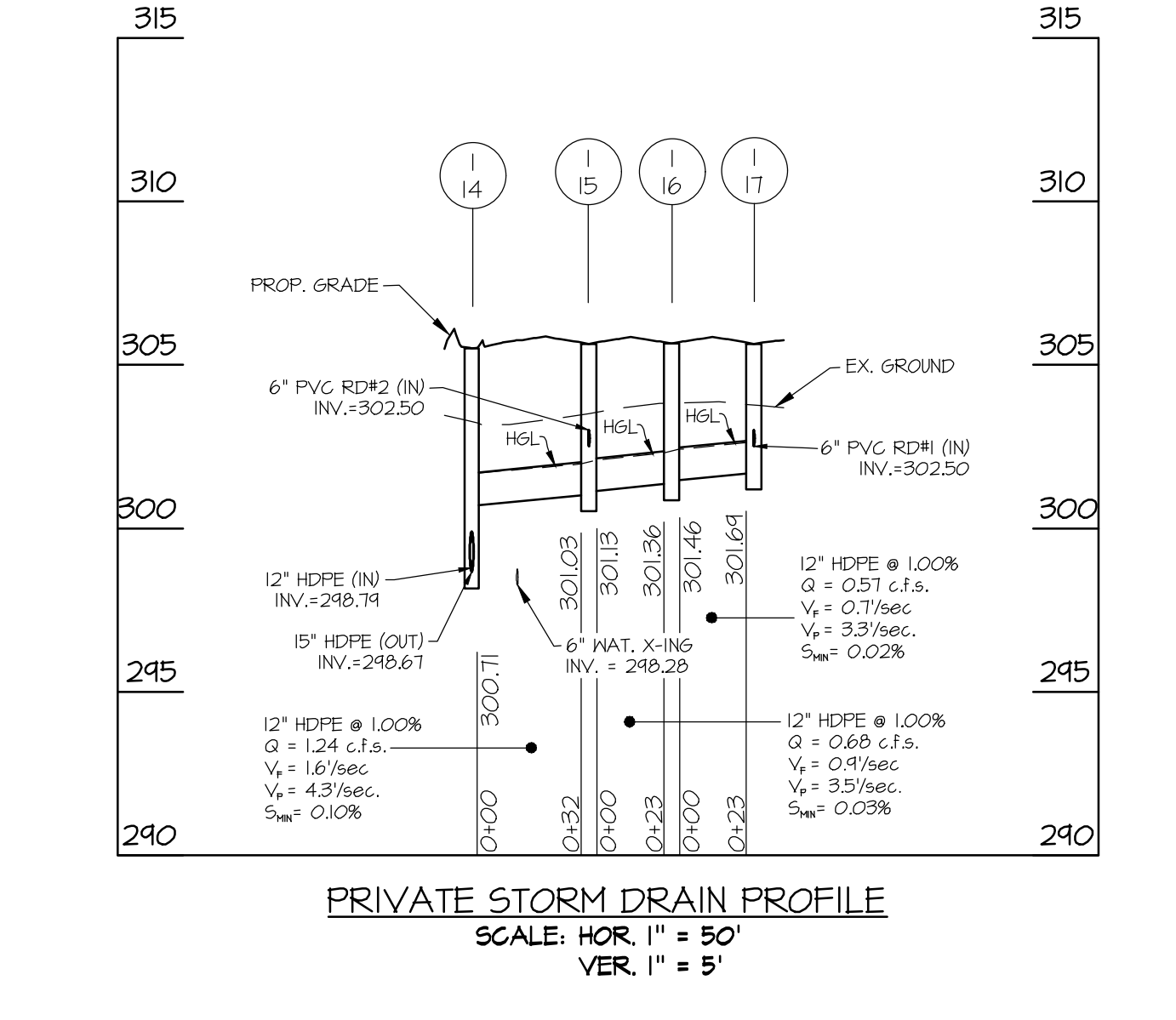
OWNER/DEVELOPER: FKW WOODMERE LLC, C/O ABRAMS DEVELOPMENT GROUP, 8601 ROBERT FULTON DRIVE, SUITE 100, COLUMBIA, MD 21046.

PROFESSIONAL CERTIFICATION: I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.

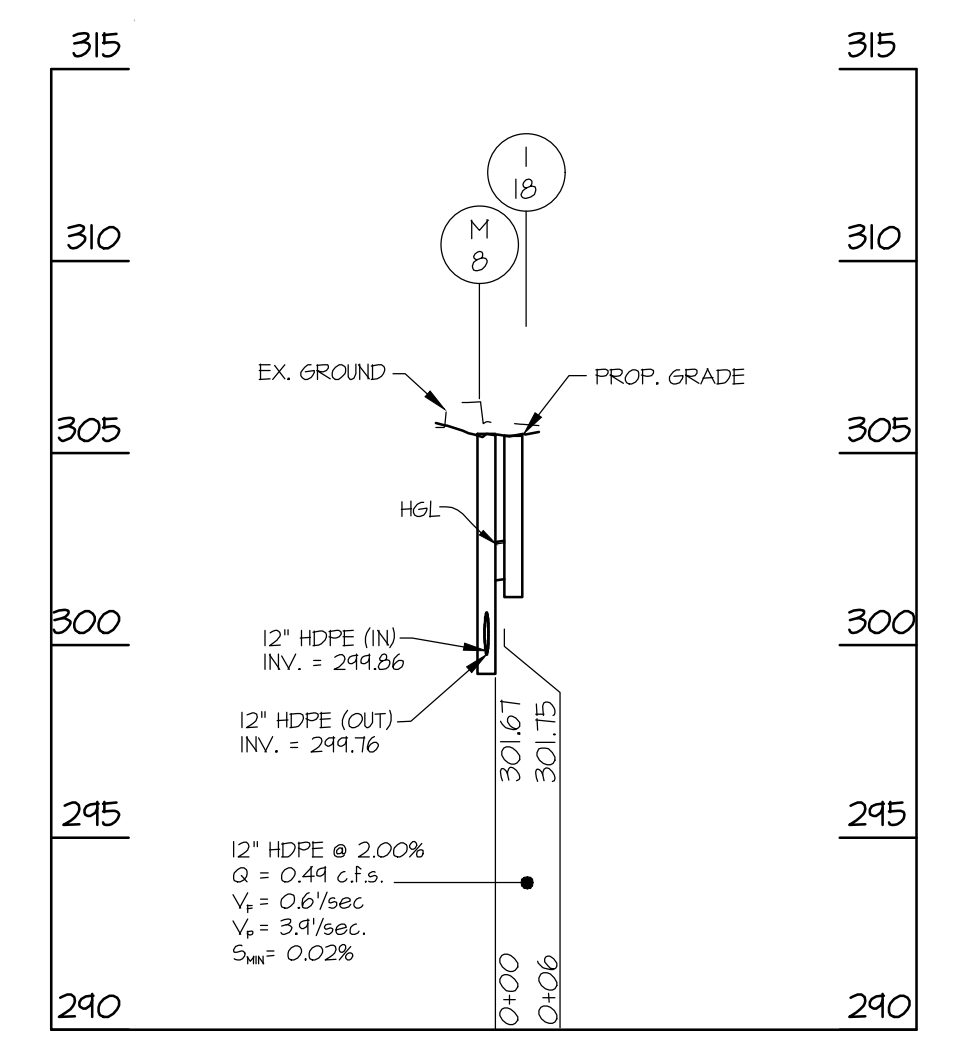
ELECTION DISTRICT No. 6



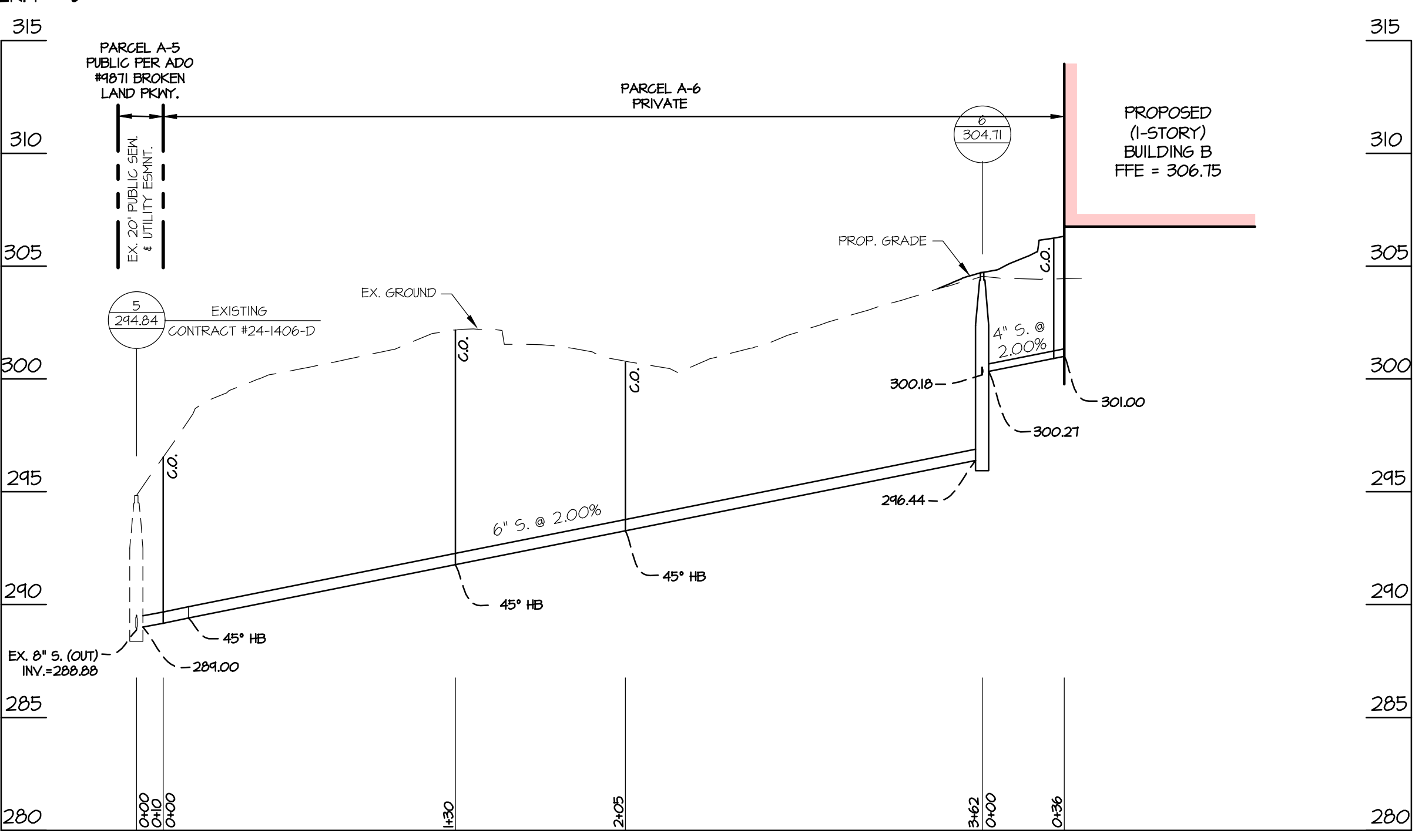
PRIVATE STORM DRAIN PROFILE SCALE: HOR. 1" = 50' VER. 1" = 5'



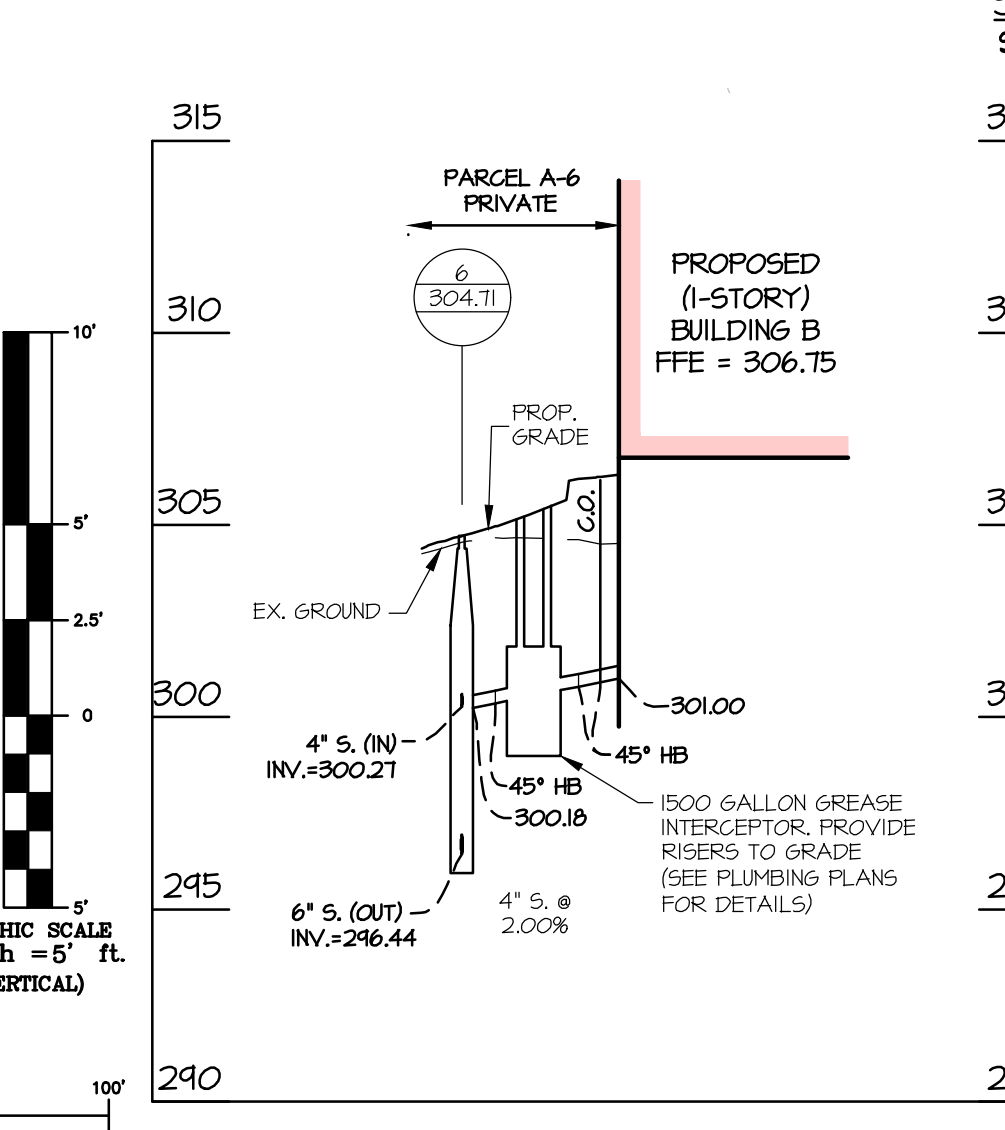
PRIVATE STORM DRAIN PROFILE SCALE: HOR. 1" = 50' VER. 1" = 5'



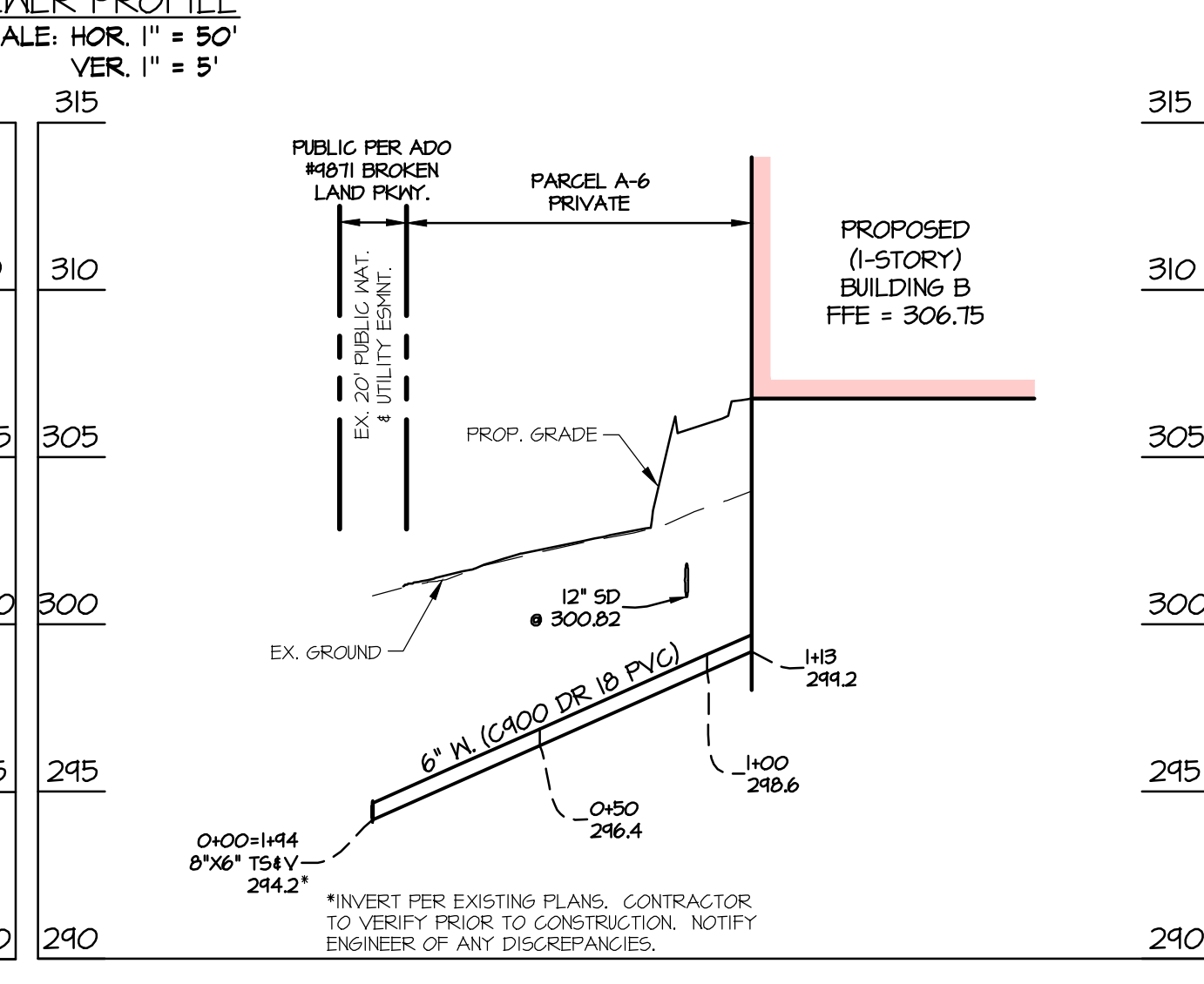
PRIVATE STORM DRAIN PROFILE SCALE: HOR. 1" = 50' VER. 1" = 5'



SEWER PROFILE SCALE: HOR. 1" = 50' VER. 1" = 5'



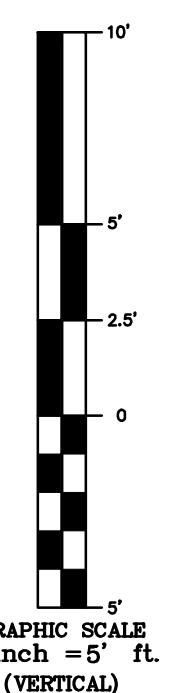
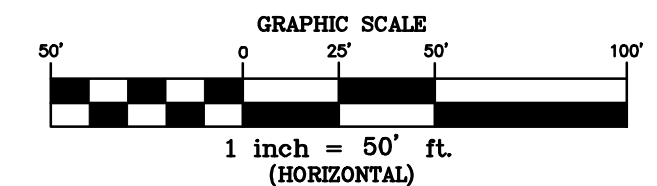
SEWER PROFILE SCALE: HOR. 1" = 50' VER. 1" = 5'



WATER PROFILE SCALE: HOR. 1" = 50' VER. 1" = 5'

UTILITY PLAN AND PROFILES section containing SCALE, ZONING (NT), SHEET (6 OF 14), DATE (JUNE, 2022), TAX MAP - GRID (42-03), SHEET (6 OF 14), and HOWARD COUNTY, MARYLAND.

VERTICAL SCALE: 1 inch = 5 feet



PAVING LEGEND

- P-2 PAVEMENT (R-2.01)
- P-6 PAVEMENT (R-2.02)
- PERMEABLE PAVEMENT
- SCORED CONCRETE SIDEWALK - R-3.05
- CONCRETE PAD - R-6.0.3
- PAVERS (HANOVER PLANK-ELONGATED-COLOR TBD BY OWNER)
- PAVERS (HANOVER PLANK-HERRINGBONE-COLOR TBD BY OWNER)
- PAVERS (HANOVER PLANK-COLOR TBD BY OWNER)

CURB LEGEND

- 6"CG 6" CURB AND GUTTER (R-4.01)
- 1"CG 1" CURB AND GUTTER (R-3.01)
- DCG DEPRESSED CURB AND GUTTER (R-3.01)
- FCG FLUSH CURB AND GUTTER (R-3.01)
- ACG SHA TYPE 'A' CURB AND GUTTER (MD-620.02)

CURB TRANSITION LEGEND

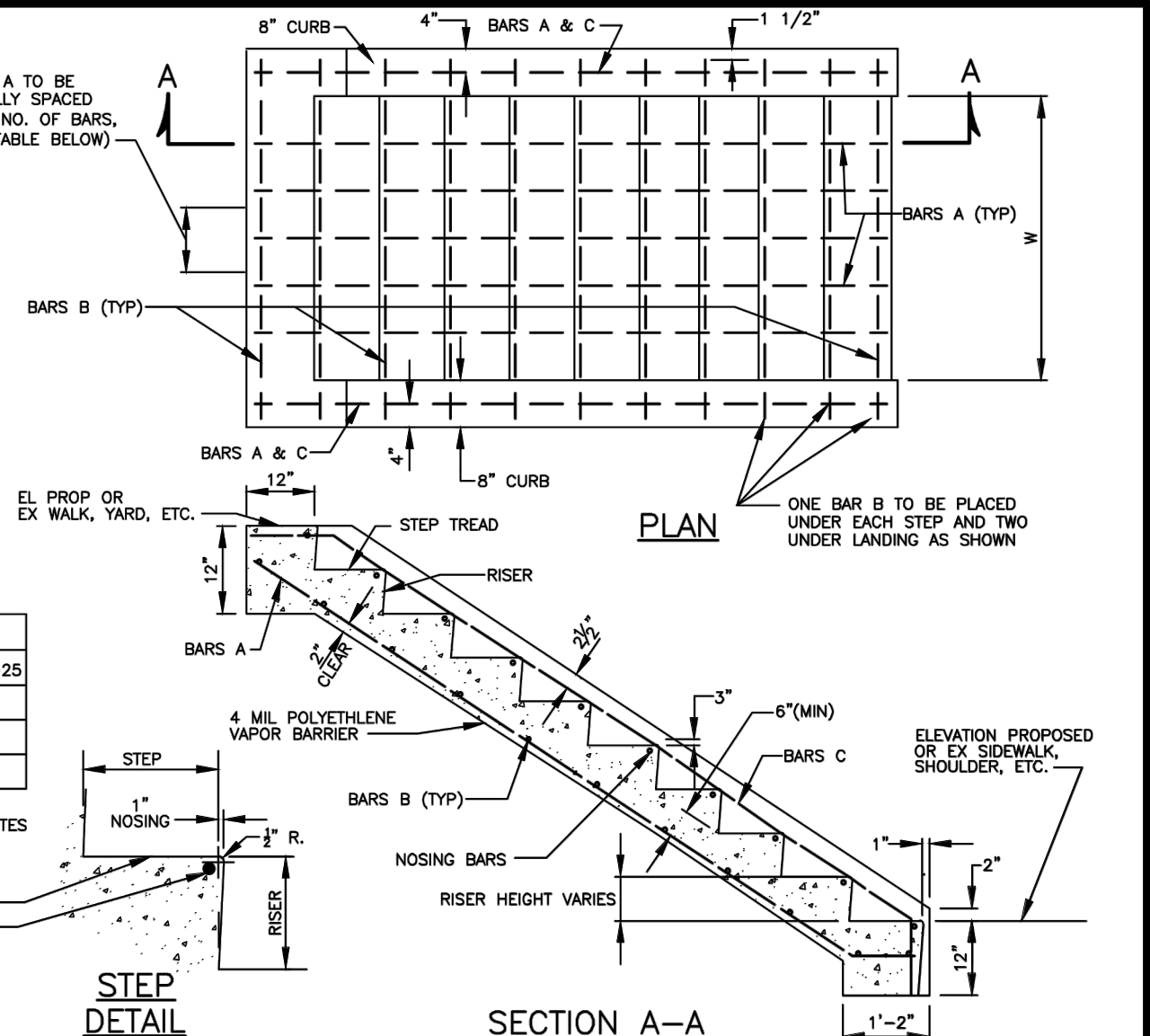
- ⊙ NOSE DOWN FULL HEIGHT CURB AND GUTTER TO FLUSH CURB AND GUTTER (R-3.02)

SIDEWALK RAMP LEGEND

- ◇ TYPE B SIDEWALK RAMP (R-4.02)
- ◇ PERPENDICULAR SIDEWALK RAMP (R-4.05)

NOTES:

1. CONCRETE: MIX NO.2
2. CHAMFERS: 3/4"x3/4"
3. EXPOSED SURFACES: CLASS 1 SURFACE FINISH.
4. REINFORCING STEEL: A-15 WITH A-305 DEFORMATIONS.
5. ALL REINFORCING BARS SHALL BE NO.4 BARS EXCEPT NOSING BARS.
6. A, B, AND C BARS SHALL BE USED IN THE INSTALLATIONS OF SIX OR MORE STEPS.
7. NOSING BARS SHALL BE NO.2 BARS AND PLACED IN ALL STEPS REGARDLESS OF STAIR LENGTH. MINIMUM COVER 2 INCHES.
8. UNLESS OTHERWISE NOTED, ALL TREADS SHALL BE FINISHED WITH A LIGHTLY BROOMED SURFACE. PROVIDE MAXIMUM 2% WASH AT EXTERIOR LOCATIONS.
9. FOR RAILING DETAILS, SEE G-7.02 AND G-7.03.
10. THE STAIRS SHALL BE PAID FOR ON THE UNIT PRICE BID PER CUBIC YARD FOR "MIX NO.2 CONCRETE FOR MISCELLANEOUS STRUCTURES", COMPLETE IN PLACE OR ON A LUMP SUM BID FOR EACH "CONCRETE STAIRS", COMPLETE IN PLACE.



NUMBER OF BARS A												
N=1-5	N=6	N=7	N=8	N=9	N=10	N=11	N=12	N=13-25				
W=3"	4	5	5	6	6	7	7	8				
W=4"	5	6	7	7	8	8	9	10				
W=5"	6	7	8	9	9	10	11	12				

FOR OTHER WIDTHS, THE APPROX. SPACING OF BARS A IN INCHES WILL BE EQUAL TO 80/W WITH A MIN. SPACING OF 6 IN. N=INDICATES NUMBER OF STEPS EXCLUSIVE OF LANDING.

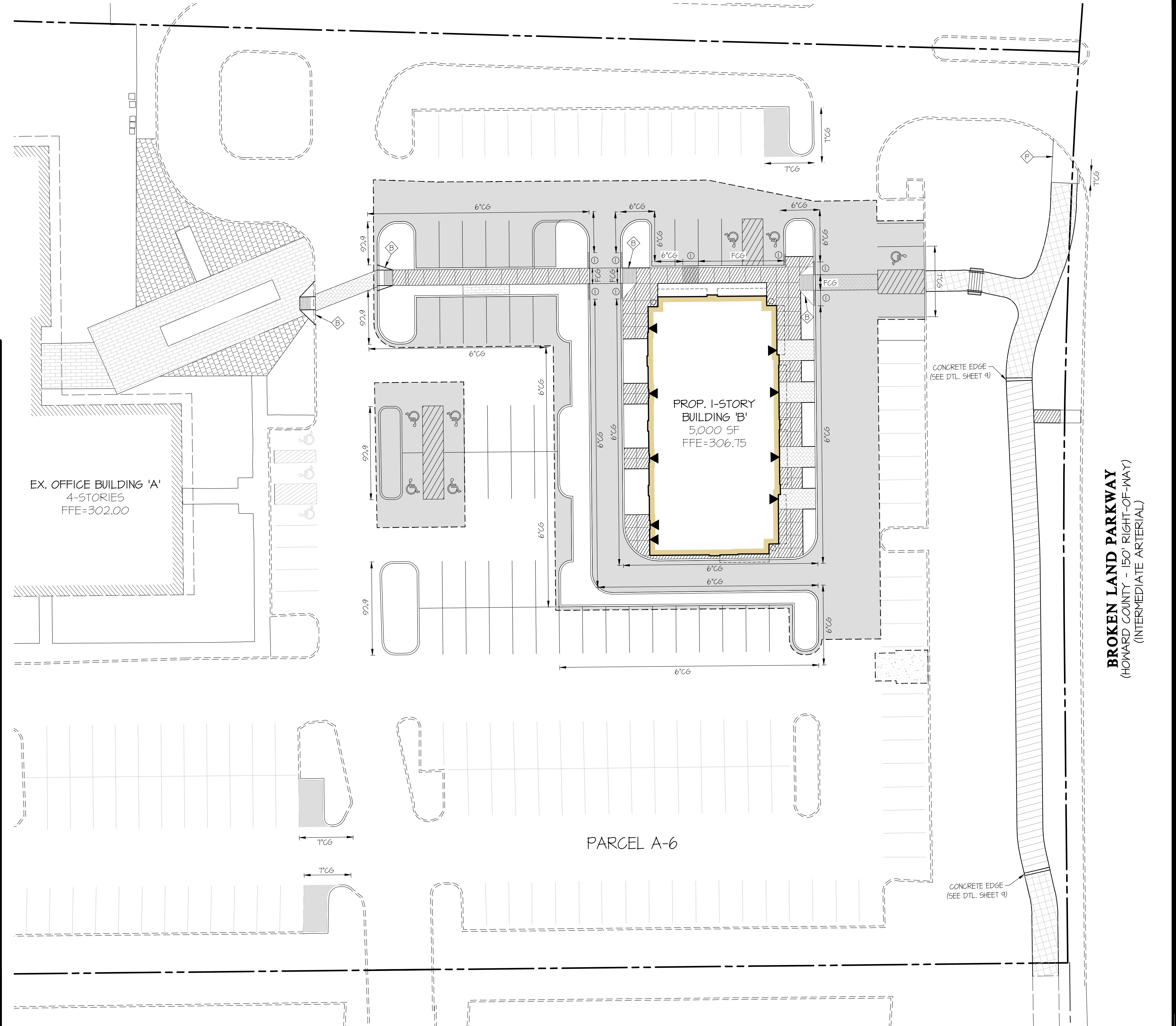
STAIRWAYS		
SLOPE	RISER	STEP
1:1.57	7" MAX	11"
2:1	6"	12"
4:1	4" MIN	16"

Howard County, Maryland
Department of Public Works

Detail
Concrete Stairs
G-7.01

Approved: *[Signature]*
Chief, Bureau of Engineering

18 CONCRETE STAIR DETAIL NO SCALE



19 PAVING AND CURB DELINEATION PLAN SCALE: 1"=20'

APPROVED
PLANNING BOARD OF HOWARD COUNTY
Date: April 21, 2022

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
7/6/2022

Director: *[Signature]* Date: 6/28/2022

Chief, Division of Land Use and Zoning: *[Signature]* Date: 6/28/2022

Chief, Development: *[Signature]* Date:

GLW
PLANNING | ENGINEERING | SURVEYING

3909 NATIONAL DRIVE | SUITE 250 | BURTONSVILLE, MD 20866 | GLWPA.COM
PHONE: 301-421-4024 | BALT: 410-880-1820 | DC&VA: 301-989-2524 | FAX: 301-421-4186

DESIGNED BY:	DRAWN BY:	CHECKED BY:	DATE	REVISION	BY	APPR.
EWM	EWM	DDS				

OWNER/DEVELOPER:
FKW WOODMERE LLC
C/O ABRAMS DEVELOPMENT GROUP
8601 ROBERT FULTON DRIVE, SUITE 100
COLUMBIA, MD 21046
ATTN: PETER MATHIESON
TEL: 443-539-4806

PROFESSIONAL CERTIFICATION
I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 12975
EXPIRATION DATE: MAY 26, 2024

06/07/22

SITE PLAN DETAILS

WOODMERE RETAIL
VILLAGE OF OWEN BROWN, SEC. 3 AREA 1
PLAT 6513

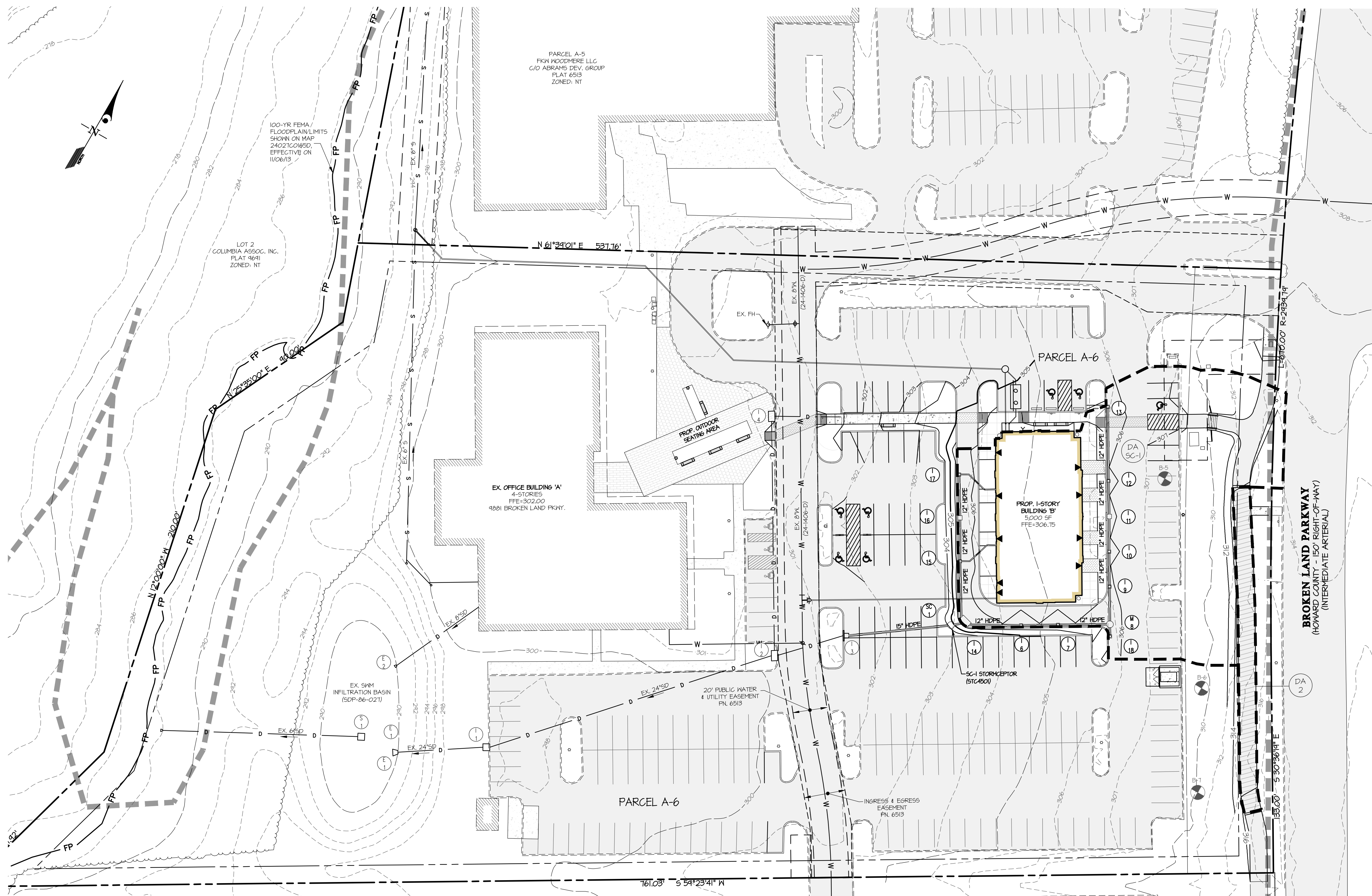
ELECTION DISTRICT No. 6
HOWARD COUNTY, MARYLAND

SCALE	ZONING	G. L. W. FILE No.
AS SHOWN	NT	20130
DATE	TAX MAP - GRID	SHEET
JUNE, 2022	42-03	7 OF 14

L:\CADD\DRAWINGS\20130\PLANS BY GLW\SP\20130-SP-07-SP-DTL.dwg, PLOTTED: 6/4/2022 12:01 PM, LAST SAVED: 6/4/2022 12:01 PM, PLOTTED BY: Don Swamy

BROKEN LAND PARKWAY
(HOWARD COUNTY - 150' RIGHT-OF-WAY)
(INTERMEDIATE ARTERIAL)

SCALE: 1"=20'



LEGEND

- SWM DRAINAGE DIVIDE
- [Hatched Box] POROUS PAVEMENT
- [Circle with X] SOIL BORING

STORMWATER MANAGEMENT REQUIREMENT

STUDY AREA:	0.82 Ac.
EXISTING IMPERVIOUS AREA:	0.54 Ac.
PROPOSED IMPERVIOUS AREA:	0.58 Ac.
NET NEW IMPERVIOUS AREA:	+0.04 Ac.
ESDV REQUIRED (EX. IMPERVIOUS):	
50% x 0.54 Ac. = 0.27 Ac.	
ESDV = $[0.27 \text{ Ac.} \times 0.45 \times 1.0' / 12] \times 43,560 \text{ sf}$	
ESDV REQUIRED = 493.1 cf	
ESDV REQUIRED (NEW IMPERVIOUS):	
LDD = NET IMP. AREA = 0.04 Ac.	
ESDV = $[0.04 \text{ Ac.} \times 0.45 \times 2.0' / 12] \times 43,560 \text{ sf}$	
ESDV REQUIRED = 215.9 cf	
TOTAL ESDV REQUIRED:	
ESDV = 493.1 cf + 215.9 cf	
ESDV REQUIRED = 1,207.0 cf	

STORMWATER MANAGEMENT RECHARGE

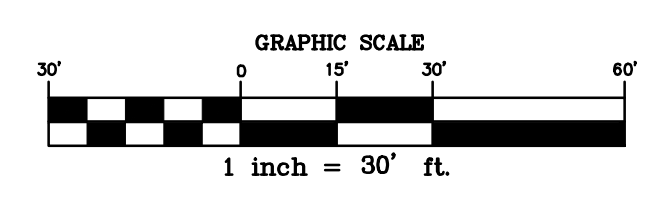
TOTAL RECHARGE REQUIRED:	0.04 Ac.
NET IMP. AREA = 0.04 Ac.	
RECHARGE = $0.07 \times 0.95 \times 0.04 \text{ Ac.}$	
RECHARGE REQUIRED = 3.1 cf	
RECHARGE PROVIDED:	
RECHARGE PROVIDED BY PERMEABLE PAVEMENT = $1,843 \times 0.158 = 293.1 \text{ cf}$	

STORMWATER MANAGEMENT PROVIDED BY DEVICE

SC-1 (STORMCEPTOR):	
IMPERVIOUS AREA IN D.A. TO SC-1 = 0.31 Ac.	
ESDV = $(0.31 \text{ Ac.} \times 0.45 \times 1' / 12) \times 43,560 \text{ sf}$	
ESDV = 1,064.0 cf > 931.1 cf (MAX)	
ESDV PROVIDED = 931.1 cf	
PERMEABLE PAVEMENT (A-2):	
AREA = 1,843 SF	
DEPTH = 12"	
IMPERVIOUS AREA = 1,843 SF	
ESDV PROVIDED = $1,843 \times 0.158 = 293.1 \text{ cf}$	
TOTAL ESDV PROVIDED = 1,224.2 cf	
TREATMENT AREA PROVIDED = 0.21 Ac. + 0.04 Ac. = 0.25 Ac.	

SWM DRAINAGE AREA SUMMARY TABLE

AREA NO.	AREA (SF)	IMP. AREA (SF)	ESDV (CF)	Fe PROVIDED
DA SC-1	21,344	13,337	931.1	1.00
DA 2	1,893	1,893	299.1	2.00
TOTAL	23,237	15,230	1,230.2	--



APPROVED
PLANNING BOARD OF HOWARD COUNTY
 Date: April 21, 2022

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
 7/6/2022

Director: Amy Gorman Date: 6/28/2022
 Chief, Division of Land Management: [Signature] Date: 6/28/2022
 Chief, Development: [Signature] Date: 6/28/2022

GLW
 PLANNING | ENGINEERING | SURVEYING

3808 NATIONAL DRIVE | SUITE 250 | BURTONSVILLE, MD 20866 | GLWPA.COM
 PHONE: 301-421-4024 | BALT: 410-880-1820 | DC&VA: 301-989-2524 | FAX: 301-421-4186

DESIGNED BY:	DATE	REVISION	BY	APPR.
EWM				
DDS				

OWNER/DEVELOPER:
 FKW WOODMERE LLC
 C/O ABRAMS DEVELOPMENT GROUP
 8601 ROBERT FULTON DRIVE, SUITE 100
 COLUMBIA, MD 21046
 ATTN: PETER MATHIESON
 TEL: 443-539-4806

PROFESSIONAL CERTIFICATION
 I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 12975, EXPIRATION DATE: MAY 26, 2024

06/07/22

STORMWATER MANAGEMENT PLAN

WOODMERE RETAIL VILLAGE OF OWEN BROWN, SEC. 3 AREA 1
PARCEL A-6
 PLAT 6513

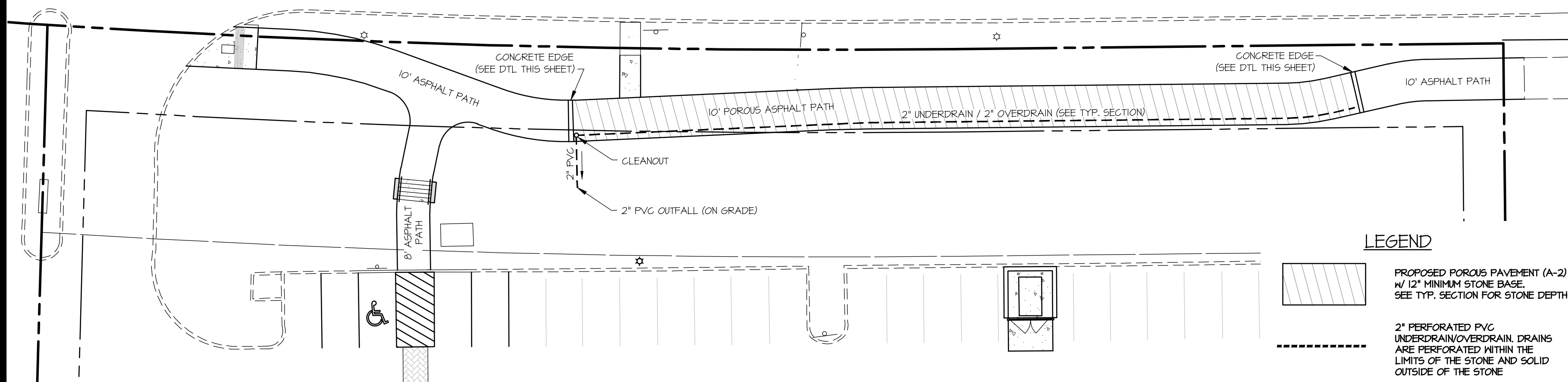
ELECTION DISTRICT No. 6

HOWARD COUNTY, MARYLAND

SCALE	ZONING	G. L. W. FILE NO.
1" = 30'	NT	20130
DATE	TAX MAP - GRID	SHEET
JUNE, 2022	42-03	8 OF 14

L:\CADD\DRAWINGS\20130\PLANS BY GLW\SDP\20130-SDP-08-SWM.dwg, PLOTTED: 6/4/2022 12:17 PM, LAST SAVED: 6/4/2022 12:17 PM, PLOTTED BY: Don Swamy

BROKEN LAND PARKWAY (HOWARD COUNTY - 150' RIGHT-OF-WAY) (INTERMEDIATE ARTERIAL)

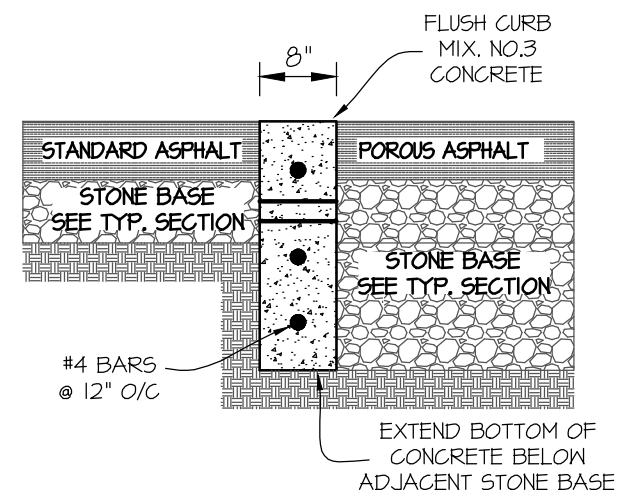
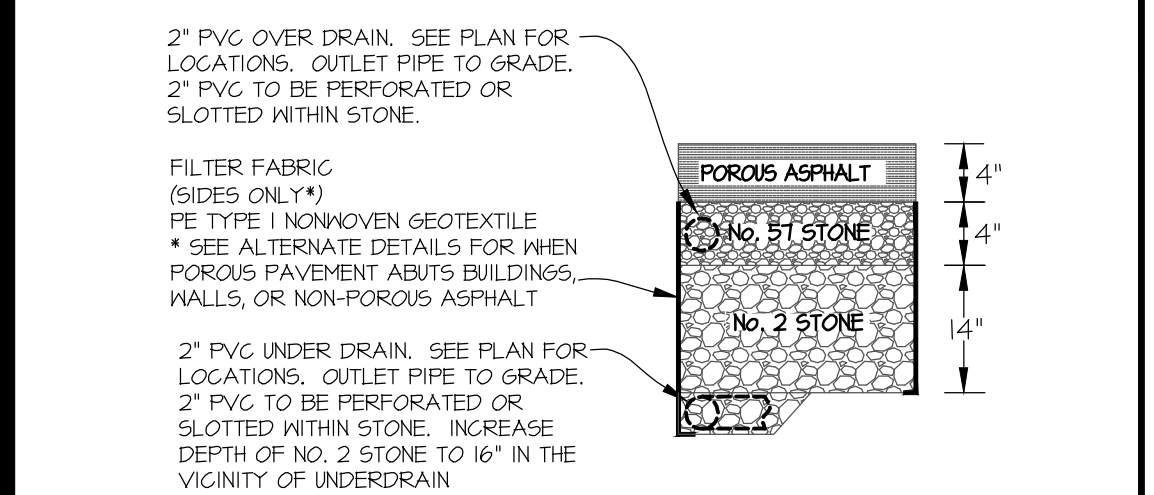


LEGEND

- PROPOSED POROUS PAVEMENT (A-2) w/ 12" MINIMUM STONE BASE. SEE TYP. SECTION FOR STONE DEPTH
- 2" PERFORATED PVC UNDERDRAIN/OVERDRAIN DRAINS ARE PERFORMED WITHIN THE LIMITS OF THE STONE AND SOLID OUTSIDE OF THE STONE

POROUS PAVEMENT DETAIL

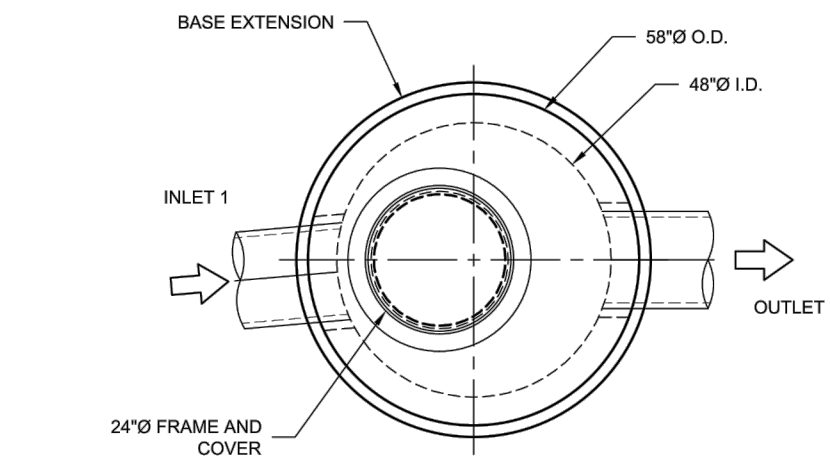
SCALE: 1"=20'



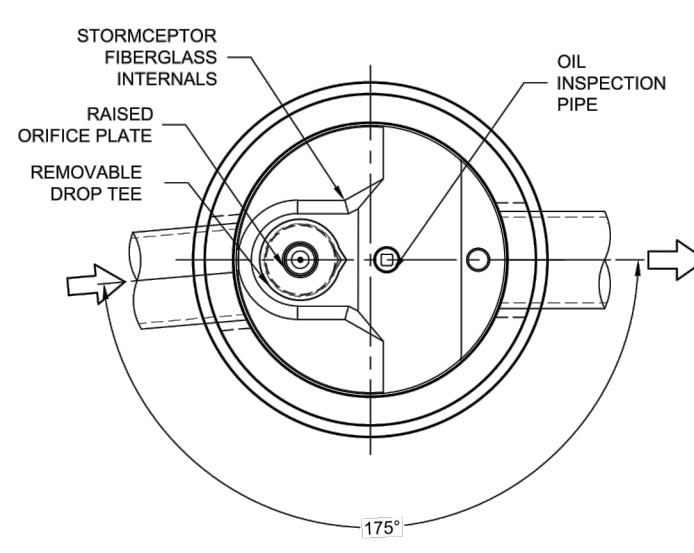
NOTES:
1. FINISH CONCRETE TO MATCH ADJACENT PAVEMENT COLOR
2. SUPPORT CONCRETE AS NECESSARY WHEN EXCAVATING FOR PAVEMENT SECTION

OPERATION AND MAINTENANCE SCHEDULE FOR PRIVATELY OWNED AND MAINTAINED STORMCEPTOR WATER QUALITY DEVICE

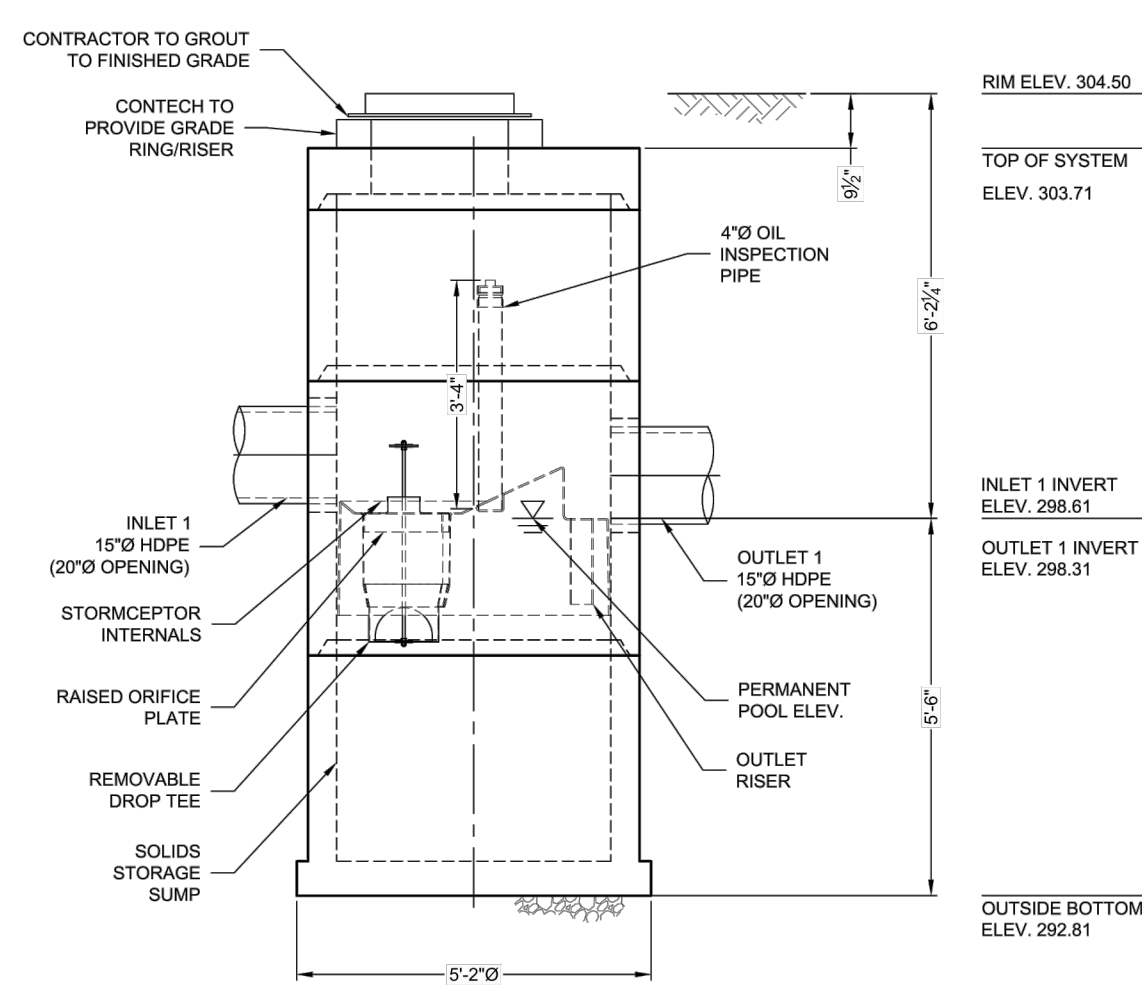
- THE OWNER SHALL INSPECT THE STORMCEPTOR WATER QUALITY STRUCTURE PERIODICALLY AND CLEAN IT TO MAINTAIN PROPER OPERATION AND FUNCTION. THE OWNER SHALL INSPECT THE STORMCEPTOR UNIT YEARLY AT A MINIMUM UTILIZING THE STORMCEPTOR INSPECTION/MONITORING FORM. INSPECTIONS SHALL BE DONE BY USING A CLEAR PLEXIGLASS TUBE ('SLUDGE JUDGE') TO EXTRACT A WATER COLUMN SAMPLE. WHEN THE SEDIMENT DEPTHS EXCEED THE LEVEL SPECIFIED IN TABLE 6 OF THE STORMCEPTOR TECHNICAL MANUAL, THE STORMCEPTOR UNIT MUST BE CLEANED.
- THE OWNER SHALL CHECK AND CLEAN IMMEDIATELY THE STORMCEPTOR WATER QUALITY STRUCTURE AFTER PETROLEUM SPILLS. THE OWNER SHALL CONTACT THE APPROPRIATE REGULATORY AGENCIES AND CLEAN THE STORMCEPTOR IN ACCORDANCE WITH ALL APPLICABLE LAWS AND REGULATIONS.
- THE MAINTENANCE OF THE STORMCEPTOR UNIT SHALL BE DONE USING A VACUUM TRUCK WHICH WILL REMOVE THE WATER, SEDIMENT, DEBRIS, FLOATING HYDROCARBONS AND OTHER MATERIALS IN THE STORMCEPTOR UNIT. THE OWNER SHALL FOLLOW ALL REQUIREMENTS FOR THE PROPER CLEANING AND DISPOSAL OF THE REMOVED MATERIALS AND LIQUID.
- THE OWNER SHALL CHECK THE INLET AND OUTLET PIPES FOR ANY OBSTRUCTIONS AT LEAST ONCE EVERY SIX (6) MONTHS. IF OBSTRUCTIONS ARE FOUND, THE OWNER SHALL HAVE THEM REMOVED. THE OWNER SHALL REPAIR THE STRUCTURAL PARTS OF THE STORMCEPTOR UNIT AS NEEDED.
- THE OWNER SHALL RETAIN AND MAKE THE STORMCEPTOR INSPECTION/MONITORING FORMS AVAILABLE TO THE HOWARD COUNTY OFFICIALS UPON THEIR REQUEST.



PLAN VIEW INTERNALS NOT SHOWN



SECTION FOR PIPE ORIENTATION TOP SLAB NOT SHOWN



ELEVATION VIEW

MATERIAL LIST - PROVIDED BY CONTECH

COUNT	DESCRIPTION	INSTALLED BY
1	STC4501 4\"/>	

- #### GENERAL NOTES
- CONTECH TO PROVIDE ALL MATERIALS UNLESS NOTED OTHERWISE.
 - FOR FABRICATION DRAWINGS WITH DETAILED STRUCTURE DIMENSIONS AND WEIGHTS, PLEASE CONTACT YOUR CONTECH REPRESENTATIVE: www.contech.com
 - STORMCEPTOR WATER QUALITY STRUCTURE SHALL BE IN ACCORDANCE WITH ALL DESIGN DATA AND INFORMATION CONTAINED IN THIS DRAWING. CONTRACTOR TO CONFIRM STRUCTURE MEETS REQUIREMENTS OF PROJECT.
 - STRUCTURE SHALL MEET AASHTO HS-20 LOAD RATING. ASSUMING EARTH COVER OF 0'±, AND GROUNDWATER ELEVATION AT OR BELOW THE OUTLET PIPE INVERT ELEVATION. ENGINEER OF RECORD TO CONFIRM ACTUAL GROUNDWATER ELEVATION. CASTINGS SHALL MEET AASHTO M308 AND BE CAST WITH THE CONTECH LOGO.
 - STORMCEPTOR STRUCTURE SHALL BE PRECAST CONCRETE CONFORMING TO ASTM C-478 AND AASHTO LOAD FACTOR DESIGN METHOD.
- #### INSTALLATION NOTES
- ANY SUB-BASE, BACKFILL DEPTH, AND/OR ANTI-FLOTATION PROVISIONS ARE SITE-SPECIFIC DESIGN CONSIDERATIONS AND SHALL BE SPECIFIED BY ENGINEER OF RECORD.
 - CONTRACTOR TO PROVIDE EQUIPMENT WITH SUFFICIENT LIFTING AND REACH CAPACITY TO LIFT AND SET THE STORMCEPTOR MANHOLE STRUCTURE.
 - CONTRACTOR TO ADD JOINT SEALANT BETWEEN ALL STRUCTURE SECTIONS, AND ASSEMBLE STRUCTURE.
 - CONTRACTOR TO PROVIDE, INSTALL, AND GROUT PIPES. MATCH PIPE INVERTS WITH ELEVATIONS SHOWN. ALL PIPE CENTERLINES TO MATCH PIPE OPENING CENTERLINES.
 - CONTRACTOR TO TAKE APPROPRIATE MEASURES TO ASSURE UNIT IS WATER TIGHT. HOLDING WATER TO FLOWLINE INVERT MINIMUM. IT IS SUGGESTED THAT ALL JOINTS BELOW PIPE INVERTS ARE GROUTED.

CONTECH PROPOSAL DRAWING

STC4501 - 665623-010
WOODMERE RETAIL - VILLAGE OF OWEN BROWN, SEC. 3 AREA 1
COLUMBIA, MD
SITE DESIGNATION: SC-1

CONTECH ENGINEERED SOLUTIONS LLC
www.contech.com
Stormceptor

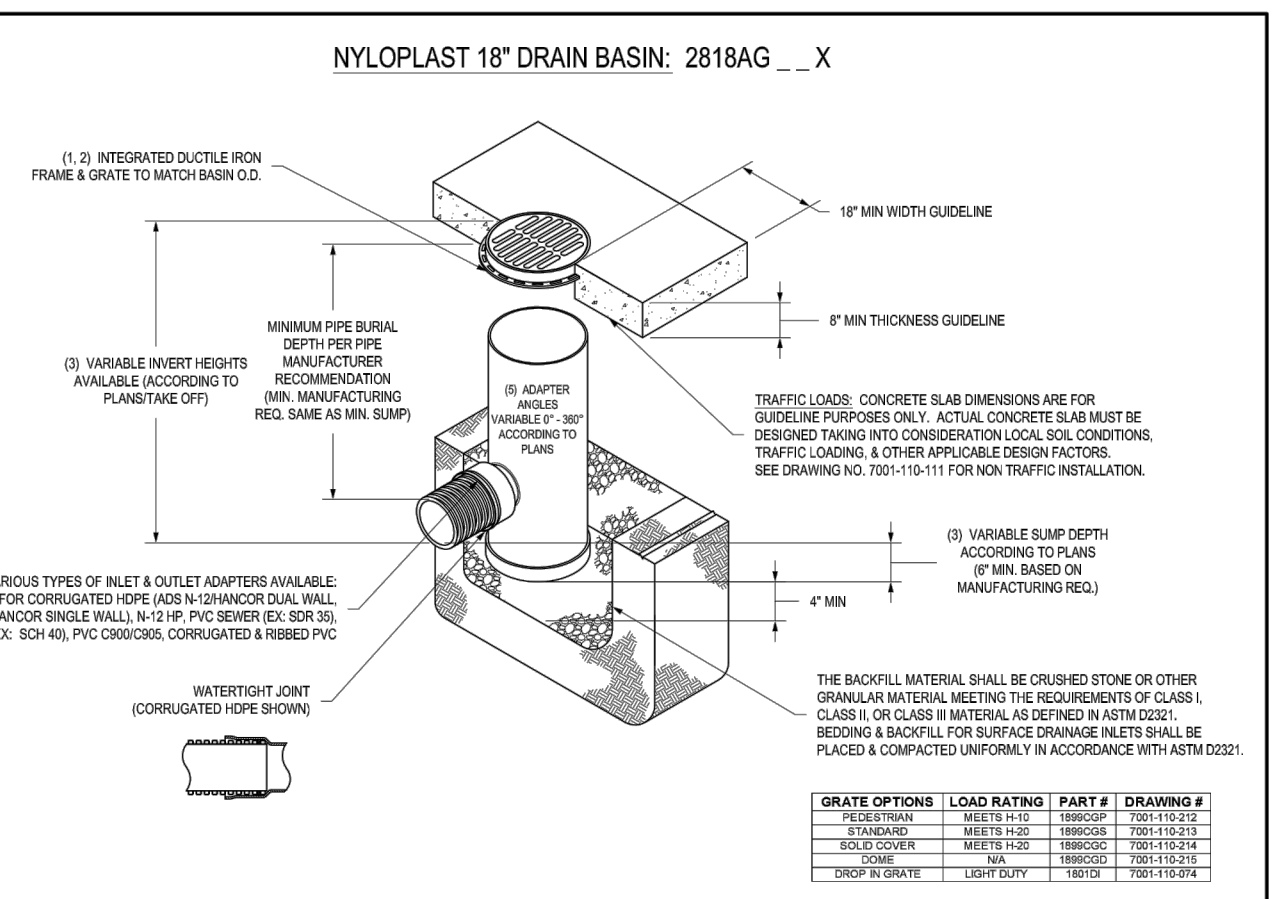
DATE: 08/02/21
DESIGNED BY: BAB
CHECKED BY: XXX
PROJECT NO.: 665623
SCALE: 1\"/>

SPECIFICATIONS FOR PERMEABLE PAVEMENTS

- #### 1. POROUS ASPHALT SPECIFICATIONS
- VOID CONTENT OF ASPHALT SHALL BE 15-20%
- UNDERDRAIN - USE 2 TO 4 INCH DIAMETER PERFORATED PVC PIPE (OR EQUIVALENT CORRUGATED HDPE) WITH 3/8-INCH PERFORATIONS AT 6 INCHES ON CENTER
- OVERDRAIN - USE 2 TO 4 INCH DIAMETER PERFORATED PVC PIPE (OR EQUIVALENT CORRUGATED HDPE) WITH 3/8-INCH PERFORATIONS AT 6 INCHES ON CENTER
- INSTALLATION - CONSTRUCTION SHALL ONLY BEGIN AFTER THE ENTIRE CONTRIBUTING DRAINAGE AREA HAS BEEN STABILIZED. THE SYSTEM SHALL NOT BE INSTALLED IN RAIN OR SNOW, WHERE POSSIBLE. EXCAVATORS OR BACKHOES SHOULD WORK FROM THE SIDES TO EXCAVATE THE RESERVOIR LAYER. EXCAVATING EQUIPMENT SHOULD HAVE ARMS WITH ADEQUATE EXTENSION SO THEY DO NOT HAVE TO WORK INSIDE THE FOOTPRINT OF THE PERMEABLE PAVEMENT AREA. EXCAVATED MATERIAL SHOULD BE PLACED AWAY FROM THE OPEN EXCAVATION SO AS TO NOT JEOPARDIZE THE STABILITY OF THE SIDE WALLS. THE NATIVE SOILS ALONG THE BOTTOM OF THE PERMEABLE PAVEMENT SYSTEM SHALL BE SCARIFIED OR TILLED TO A DEPTH OF 3 TO 4 INCHES PRIOR TO THE PLACEMENT OF THE FILTER LAYER. FILTER FABRIC SHALL BE INSTALLED ON THE SIDES OF THE RESERVOIR LAYER.
- SEDIMENT CONTROL - ALL PERMEABLE PAVEMENT AREAS SHALL BE FULLY PROTECTED FROM SEDIMENT INTRUSION BY SILT FENCE OR CONSTRUCTION FENCING. PERMEABLE PAVEMENT AREAS SHALL REMAIN OUTSIDE THE LIMIT OF DISTURBANCE DURING CONSTRUCTION TO PREVENT SOIL COMPACTION BY HEAVY EQUIPMENT. TO PREVENT SOIL COMPACTION, HEAVY VEHICULAR AND FOOT TRAFFIC SHALL BE KEPT OUT OF PERMEABLE PAVEMENT AREAS DURING AND IMMEDIATELY AFTER CONSTRUCTION. DURING CONSTRUCTION, CARE SHALL BE TAKEN TO AVOID TRACKING SEDIMENT ONTO ANY PERMEABLE PAVEMENT SURFACE TO AVOID CLOGGING.

OPERATION AND MAINTENANCE SCHEDULE FOR PRIVATELY OWNED AND MAINTAINED PERMEABLE PAVEMENT (A-2)

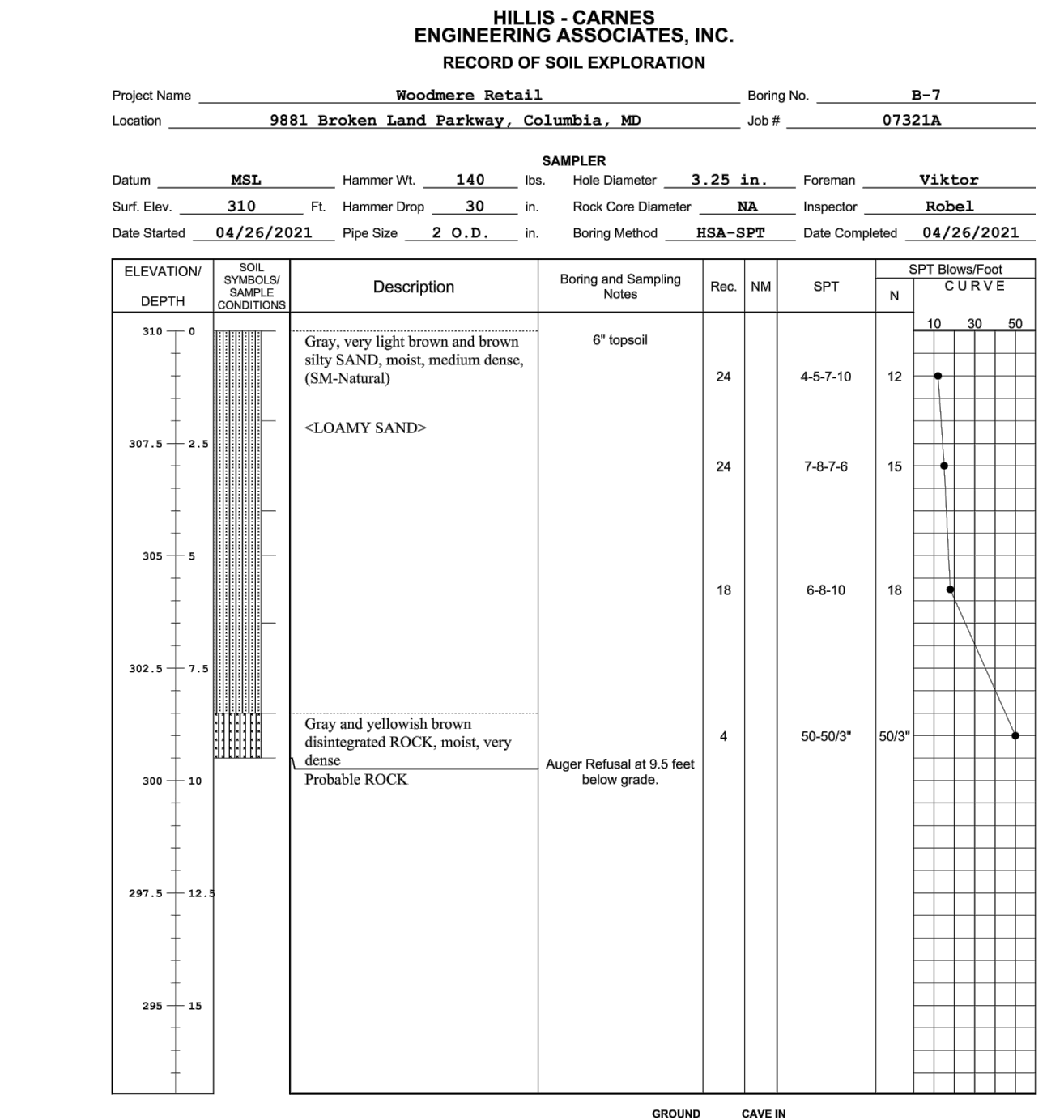
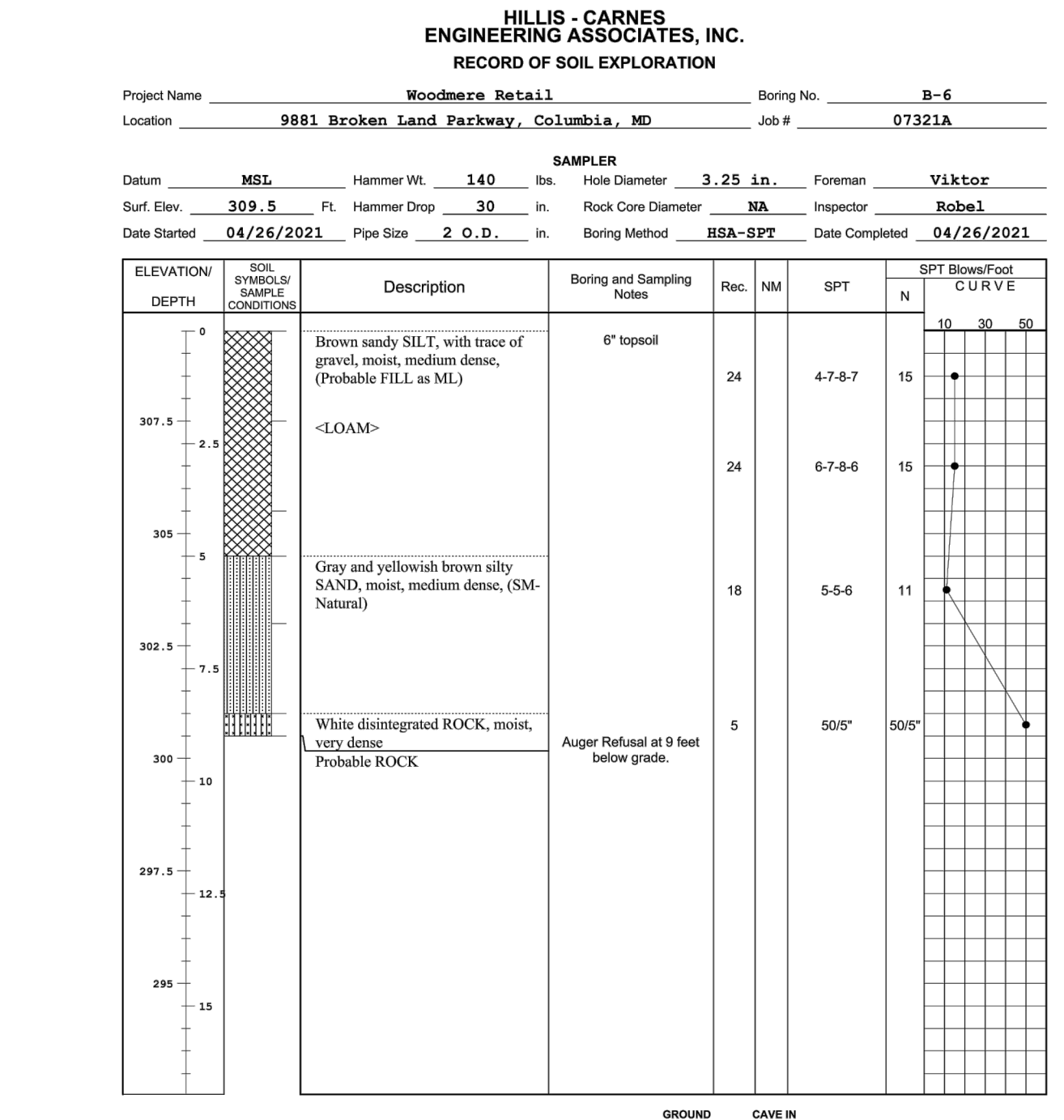
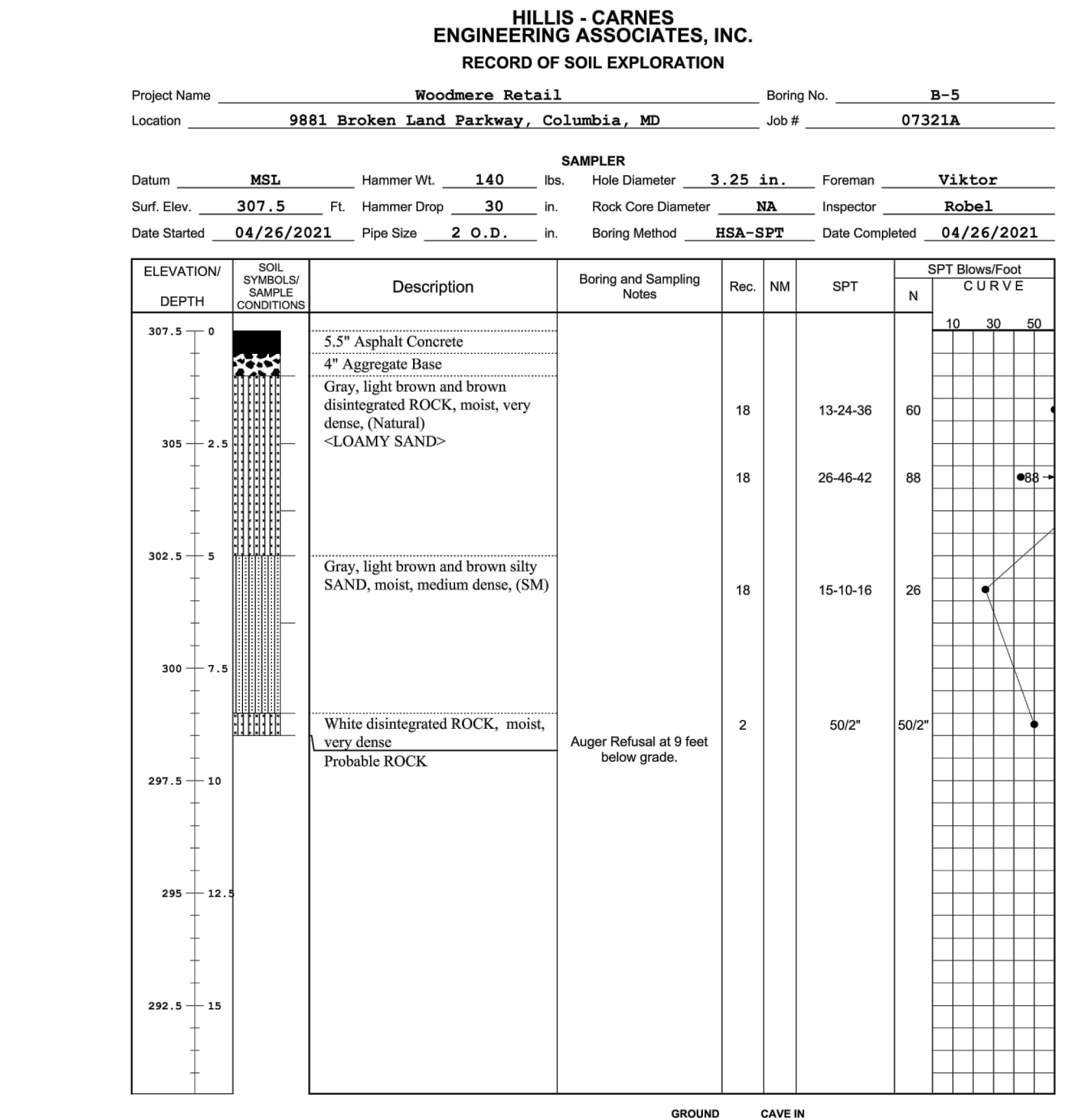
- THE OWNER SHALL PERIODICALLY SWEEP THE PAVEMENT SURFACES TO REDUCE SEDIMENT ACCUMULATION AND ENSURE CONTINUED SURFACE POROSITY. SWEEPING SHOULD BE PERFORMED AT LEAST TWICE ANNUALLY WITH A COMMERCIAL CLEANING UNIT, WASHING OR COMPRESSED AIR UNITS SHOULD NOT BE USED TO PERFORM SURFACE CLEANING.
- THE OWNER SHALL PERIODICALLY CLEAN DRAINAGE PIPES, INLETS, STONE EDGE DRAINS AND OTHER STRUCTURES WITHIN OR DRAINING TO THE SUBBASE.
- THE OWNER SHALL USE DEICERS IN MODERATION. DEICERS SHOULD BE NON-TOXIC AND BE APPLIED EITHER AS CALCIUM MAGNESIUM ACETATE OR AS PRETREATED SALT.
- THE OWNER SHALL ENSURE SNOW PLOWING IS PERFORMED CAREFULLY WITH BLADES SET ONE INCH ABOVE THE SURFACE. PLOWED SNOW PILES AND SNOWMELT SHOULD NOT BE DIRECTED TO PERMEABLE PAVEMENT.



NYLOPLAST DRAIN BASIN (TYPICAL DETAIL)

SCALE: NTS

DESIGNED BY	DRAWN BY	CHECKED BY
BAB	BAB	DDS



APPROVED PLANNING BOARD OF HOWARD COUNTY
Date: April 21, 2022

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
7/5/2022
Director: Amy Gorman
Chief, Division of Land Management: [Signature]
Chief, Development: [Signature]

DESIGNED BY: EWM
DRAWN BY: EWM
CHECKED BY: DDS

DATE: [] REVISION: [] BY: [] APPR: []

OWNER/DEVELOPER:
FKW WOODMERE LLC
C/O ABRAMS DEVELOPMENT GROUP
8601 ROBERT FULTON DRIVE, SUITE 100
COLUMBIA, MD 21046
ATTN: PETER MATHEISON
TEL: 443-539-4806

PROFESSIONAL CERTIFICATION
I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 12975
EXPIRATION DATE: MAY 26, 2024

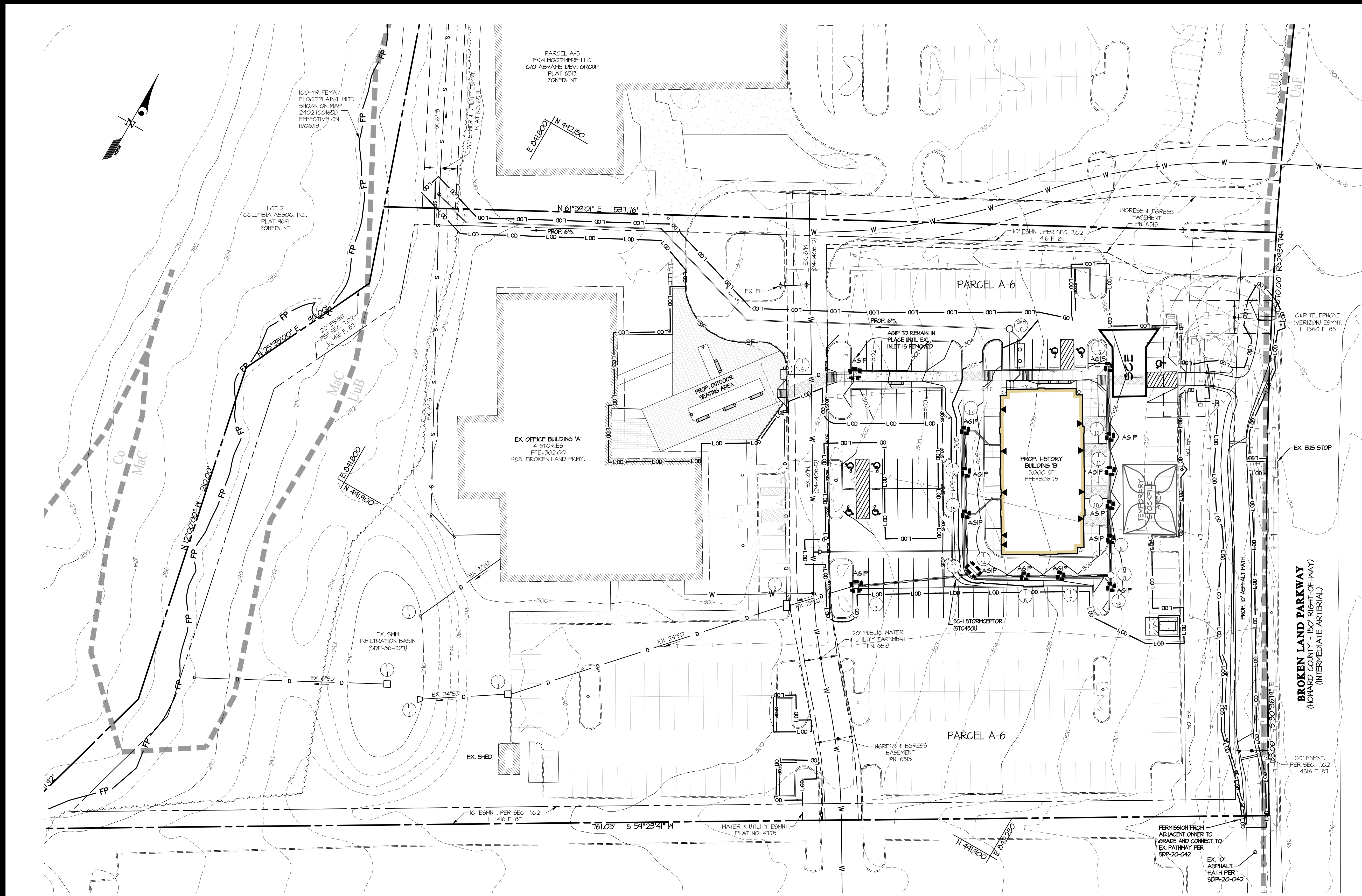
STORMWATER MANAGEMENT DETAILS

SCALE: AS SHOWN
ZONING: NT
DATE: JUNE, 2022
TAX MAP - GRID: 42-03
SHEET: 9 OF 14

G. L. W. FILE NO. 20130

WOODMERE RETAIL VILLAGE OF OWEN BROWN, SEC. 3 AREA 1 PARCEL A-6 PLAT 613

ELECTION DISTRICT No. 6
HOWARD COUNTY, MARYLAND



LEGEND

- UD — SOIL TYPE
- SOIL DIVIDE
- SF — SILT FENCE
- SFP — SILT FENCE ON PAVEMENT
- IP — INLET PROTECTION
- SCE — STABILIZED CONSTRUCTION ENTRANCE

SOILS

SYMBOL	SOIL NAME	H ₅₀	K _f FACTOR
UB	URBAN LAND-UDORTHENTS COMPLEX, 0-8% SLOPES	D	—

- SEQUENCE OF CONSTRUCTION**
1. APPLY FOR GRADING PERMIT AND SCHEDULE A PRE-CONSTRUCTION MEETING WITH THE COUNTY INSPECTOR. OBTAIN GRADING PERMIT FROM THE INSPECTOR AT THE MEETING. DURATION: 1 day.
 2. INSTALL STABILIZED CONSTRUCTION ENTRANCE (SCE), SILT FENCE (SF), SILT FENCE ON PAVEMENT (SFP), AND INLET PROTECTION ON EXISTING STRUCTURES AS SHOWN ON THESE PLANS. ADDITIONALLY, THE TEMPORARY TREE PROTECTION FENCE AS SHOWN ON SHEET 12 SHALL BE INSTALLED. DURATION: 1 week. (NOTE: SF AND TREE FENCING IN THE VICINITY OF THE ASPHALT PATH MAY BE DELAYED UNTIL CONSTRUCTION OF THE PATH IS READY TO BEGIN)
 3. BEGIN MASS GRADING. DURATION: 1 month.
 4. BEGIN BUILDING CONSTRUCTION. DURATION: 6 months.
 5. INSTALL STORM DRAIN, WATER, SEWER, AND DRY UTILITIES. DURATION: 1 month.
 6. INSTALL CURB & GUTTER, BASE PAVING, & ASPHALT PATHWAY. STABILIZE ALL OTHER DISTURBED AREAS WITH PERMANENT SEEDING, MULCH AND LANDSCAPING. DURATION: 1 month.
 7. FLUSH AND CLEAN STORM DRAIN SYSTEM. DURATION: 1-day.
 8. WHEN PERMISSION HAS BEEN GRANTED BY THE SEDIMENT CONTROL INSPECTOR, AND ALL AREAS DRAINING TO THE SEDIMENT CONTROL DEVICES HAVE BEEN STABILIZED, REMOVE THE SEDIMENT CONTROLS. CONTRACTOR IS TO IMMEDIATELY STABILIZE AREAS DISTURBED DURING THE REMOVAL OF THE DEVICES. DURATION: 1 week.
 9. INSTALL SURFACE COURSE PAVING AND PARKING LOT STRIPING. DURATION: 2 weeks.
 10. INSTALL LANDSCAPING.
- NOTES:**
1. TRENCHES FOR THE CONSTRUCTION OF UTILITIES ARE LIMITED TO THREE PIPE LENGTHS OR THAT WHICH CAN AND SHALL BE BACKFILLED BY THE END OF EACH WORKDAY, WHICHEVER IS SHORTER.
 2. WITH THE PERMISSION OF THE SEDIMENT CONTROL INSPECTOR, SOME OF THE ITEMS DESCRIBED ABOVE MAY BE PERFORMED CONCURRENTLY.

APPROVED PLANNING BOARD OF HOWARD COUNTY

Date: April 21, 2022

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
7/16/2022

Director: Amy Groman Date: 6/28/2022
 Chief, Division of Land Management: [Signature] Date: 6/28/2022
 Chief, Development: [Signature] Date: []

ENGINEER'S CERTIFICATE

"I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT."

Signature of Engineer: [Signature] Date: 06/07/22

BUILDER'S CERTIFICATE

"I/WE CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A MARYLAND DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HSCD."

Signature of Developer/Builder: [Signature] Date: 06/01/22

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

Declassified by: Alexander Bratek Date: 6/28/2022
 HOWARD S.C.D. DATE

GLW
PLANNING | ENGINEERING | SURVEYING

3808 NATIONAL DRIVE | SUITE 250 | BURTONSVILLE, MD 20866 | GLWPA.COM
 PHONE: 301-421-4024 | BALT: 410-880-1820 | DC&VA: 301-989-2524 | FAX: 301-421-4186

DESIGNED BY	DRAWN BY	CHECKED BY	DATE	REVISION	BY	APPR.
BWM	BWM	DDS				

OWNER/DEVELOPER:

FKW WOODMERE LLC
 C/O ABRAMS DEVELOPMENT GROUP
 8601 ROBERT FULTON DRIVE, SUITE 100
 COLUMBIA, MD 21046
 ATTN: PETER MATHESON
 TEL: 443-539-4806

PROFESSIONAL CERTIFICATION

I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 12975
 EXPIRATION DATE: MAY 26, 2024

06/07/22

SEDIMENT CONTROL PLAN

WOODMERE RETAIL VILLAGE OF OWEN BROWN, SEC. 3 AREA 1 PARCEL A-6
 PLAT 6513

ELECTION DISTRICT No. 6
 HOWARD COUNTY, MARYLAND

SCALE	ZONING	G. L. W. FILE NO.
1"=30'	NT	20130
DATE	TAX MAP - GRID	SHEET
JUNE, 2022	42-03	10 OF 14

DEFINITION: THE PROCESS OF PREPARING THE SOILS TO SUSTAIN ADEQUATE VEGETATIVE STABILIZATION. TO PROVIDE A SUITABLE SOIL MEDIUM FOR VEGETATIVE GROWTH.

CRITERIA: 1. TEMPORARY STABILIZATION a. SEEDING PREPARATION CONSISTS OF LOOSENING SOIL TO A DEPTH OF 3 TO 5 INCHES BY MEANS OF SUITABLE AGRICULTURAL OR CONSTRUCTION EQUIPMENT...

2. PERMANENT STABILIZATION a. A SOIL TEST IS REQUIRED FOR ANY EARTH DISTURBANCE OF 5 ACRES OR MORE. THE MINIMUM SOIL CONDITIONS REQUIRED FOR PERMANENT VEGETATIVE ESTABLISHMENT ARE: I. SOIL PH BETWEEN 6.0 AND 7.0.

b. SOIL CONTAINS LESS THAN 40 PERCENT CLAY BUT ENOUGH FINE GRAINED MATERIAL (GREATER THAN 30 PERCENT SILT PLUS CLAY) TO PROVIDE THE CAPACITY TO HOLD A MODERATE AMOUNT OF WATER...

B. TOPSOILING: 1. TOPSOIL IS PLACED OVER PREPARED SUBSOIL PRIOR TO ESTABLISHMENT OF PERMANENT VEGETATION. THE PURPOSE IS TO PROVIDE A SUITABLE SOIL MEDIUM FOR VEGETATIVE GROWTH...

3. TOPSOILING IS LIMITED TO AREAS HAVING 2:1 OR FLATTER SLOPES WHERE: a. THE TEXTURE OF THE EXPOSED SUBSOIL/PARENT MATERIAL IS NOT ADEQUATE TO PRODUCE VEGETATIVE GROWTH.

4. AREAS HAVING SLOPES STEEPER THAN 2:1 REQUIRE SPECIAL CONSIDERATION AND DESIGN. TOPSOIL SPECIFICATIONS: SOIL TO BE USED AS TOPSOIL MUST MEET THE FOLLOWING CRITERIA:

5. EROSION AND SEDIMENT CONTROL PRACTICES MUST BE MAINTAINED WHEN APPLYING TOPSOIL. UNIFORMLY DISTRIBUTE TOPSOIL IN A 5 TO 8 INCH LAYER AND LIGHTLY COMPACT TO A MINIMUM THICKNESS OF 4 INCHES...

6. SOIL AMENDMENTS (FERTILIZER AND LIME SPECIFICATIONS): 1. SOIL TESTS MUST BE PERFORMED TO DETERMINE THE EXACT RATIOS AND APPLICATION RATES FOR BOTH LIME AND FERTILIZER ON SITES HAVING DISTURBED AREAS OF 5 ACRES OR MORE...

APPROVED PLANNING BOARD OF HOWARD COUNTY Date: April 21, 2022

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING 7/6/2022 Director: Any Gorman Date: 6/28/2022

DESIGNED BY: BWB DRAWN BY: BWB CHECKED BY: DDS DATE: 06/28/2022 SIGNATURE OF ENGINEER: [Signature] DATE: 06/07/22 SIGNATURE OF DEVELOPER/BUILDER: [Signature] DATE: 06/07/22

OWNER/DEVELOPER: C/O AFWA WOODMERE LLC 8601 ROBERT FULTON DRIVE SUITE 100 COLUMBIA, MD 21046 ATTN: PETER MATHESON TEL: 443-539-4806

B-4-3 STANDARDS AND SPECIFICATIONS FOR SEEDING and MULCHING. DEFINITION: THE APPLICATION OF SEED AND MULCH TO ESTABLISH VEGETATIVE COVER. TO PROTECT DISTURBED SOILS FROM EROSION DURING AND AT THE END OF CONSTRUCTION.

1. SPECIFICATIONS a. ALL SEED MUST MEET THE REQUIREMENTS OF THE MARYLAND STATE SEED LAW. ALL SEED MUST BE SUBJECT TO RE-TESTING BY A RECOGNIZED SEED LABORATORY. PRECEDING THE DATE OF SOWING SUCH MATERIAL ON ANY PROJECT...

2. APPLICATION a. DRY SEEDING: THIS INCLUDES USE OF CONVENTIONAL DROP OR BROADCAST SPREADERS. I. INCORPORATE SEED INTO THE SUBSOIL AT THE RATES PRESCRIBED ON TEMPORARY SEEDING TABLE B.1.

3. ANCHORING a. PERFORM MULCH ANCHORING IMMEDIATELY FOLLOWING APPLICATION OF MULCH TO MINIMIZE LOSS BY WIND OR WATER. THIS MAY BE DONE BY ONE OF THE FOLLOWING METHODS (LISTED BY PREFERENCE):

B. MULCHING: 1. MULCH MATERIALS (IN ORDER OF PREFERENCE): a. STRAW CONSISTING OF THOROUGHLY THRESHED WHEAT, RYE, OAT, OR BARLEY AND REASONABLY BRIGHT IN COLOR...

2. WASH WATER FROM ANY EQUIPMENT, VEHICLES, WHEELS PAVEMENT, AND OTHER SOURCES MUST BE TREATED IN A SEDIMENT BASIN OR OTHER APPROVED WITHOUT STRUCTURE.

3. ANCHORING a. PERFORM MULCH ANCHORING IMMEDIATELY FOLLOWING APPLICATION OF MULCH TO MINIMIZE LOSS BY WIND OR WATER. THIS MAY BE DONE BY ONE OF THE FOLLOWING METHODS (LISTED BY PREFERENCE):

DESIGN CERTIFICATION: I HEREBY CERTIFY THAT THIS PLAN HAS BEEN DESIGNED IN ACCORDANCE WITH CURRENT MARYLAND EROSION AND SEDIMENT CONTROL LAWS, REGULATIONS, AND STANDARDS...

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING 7/6/2022 Director: Any Gorman Date: 6/28/2022

OWNER/DEVELOPER: C/O AFWA WOODMERE LLC 8601 ROBERT FULTON DRIVE SUITE 100 COLUMBIA, MD 21046 ATTN: PETER MATHESON TEL: 443-539-4806

SCALE: 1"=30' ZONING: NT SHEET: 20130 DATE: JUNE, 2022 TAX MAP - GRID: 42-03 SHEET: 11 OF 14

HOWARD SOIL CONSERVATION DISTRICT (HSCD) STANDARD SEDIMENT CONTROL NOTES

DEFINITION: TO STABILIZE DISTURBED SOILS WITH PERMANENT VEGETATION. TO USE LONG-LIVED PERENNIAL GRASSES AND LEGUMES TO ESTABLISH PERMANENT GROUND COVER ON DISTURBED SOILS.

1. A PRE-CONSTRUCTION MEETING MUST OCCUR WITH THE HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS, CONSTRUCTION INSPECTION DIVISION (CID), 410-313-1855 AFTER THE FUTURE LODD AND PROTECTED AREAS ARE MARKED CLEARLY IN THE FIELD...

2. TURFGRASS MIXTURES: a. AREAS WHERE TURFGRASS MAY BE DESIRED INCLUDE LAWNS, PARKS, PLAYGROUNDS, AND COMMERCIAL SITES WHICH WILL RECEIVE A MEDIUM TO HIGH LEVEL OF MAINTENANCE.

3. ANCHORING a. PERFORM MULCH ANCHORING IMMEDIATELY FOLLOWING APPLICATION OF MULCH TO MINIMIZE LOSS BY WIND OR WATER. THIS MAY BE DONE BY ONE OF THE FOLLOWING METHODS (LISTED BY PREFERENCE):

4. DISTURBANCE SHALL NOT OCCUR OUTSIDE THE LOD. A PROJECT IS TO BE SEQUENCED SO THAT GRADING ACTIVITIES BEGIN ON ONE GRADING UNIT (MAXIMUM ACREAGE OF 20 AC. PER GRADING UNIT) AT A TIME, WORK MAY PROCEED TO A SUCCESSFUL GRADING UNIT WHEN AT LEAST 50 PERCENT OF THE DISTURBED AREA IN THE PRECEDING GRADING UNIT HAS BEEN STABILIZED AND APPROVED BY THE CID...

PERMANENT SEEDING SUMMARY: TABLE WITH COLUMNS: HARDNESS ZONE, SEED MIXTURE, SPECIES, APPLICATION RATE, SEEDING DATES, SEEDING DEPTHS, FERTILIZER RATE, LIME RATE

THIS PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT. Dated: 6/28/2022 by Alexander Bratchie

OWNERS/DEVELOPERS CERTIFICATION: I/WE HEREBY CERTIFY THAT ANY CLEARING, GRADING, CONSTRUCTION OR DEVELOPMENT WILL BE DONE PURSUANT TO THIS APPROVED EROSION AND SEDIMENT CONTROL PLAN...

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING 7/6/2022 Director: Any Gorman Date: 6/28/2022

OWNER/DEVELOPER: C/O AFWA WOODMERE LLC 8601 ROBERT FULTON DRIVE SUITE 100 COLUMBIA, MD 21046 ATTN: PETER MATHESON TEL: 443-539-4806

SCALE: 1"=30' ZONING: NT SHEET: 20130 DATE: JUNE, 2022 TAX MAP - GRID: 42-03 SHEET: 11 OF 14

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1. GENERAL USE: a. SELECT ONE OR MORE OF THE SPECIES OR MIXTURES LISTED IN TABLE B.3 FOR THE APPROPRIATE PLANT HARDNESS ZONE (FROM FIGURE B.3) AND BASED ON THE SITE CONDITION OR PURPOSE FOUND ON TABLE B.2...

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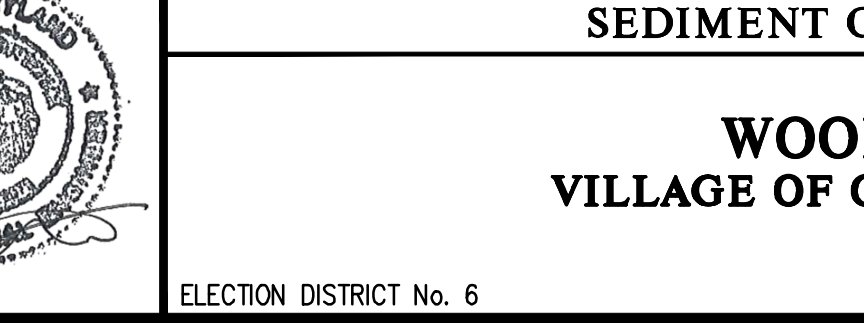
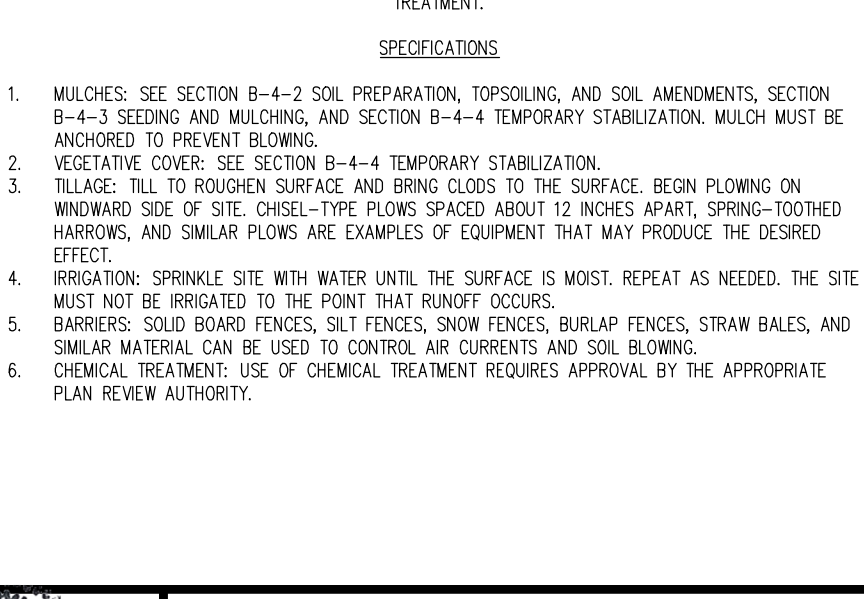
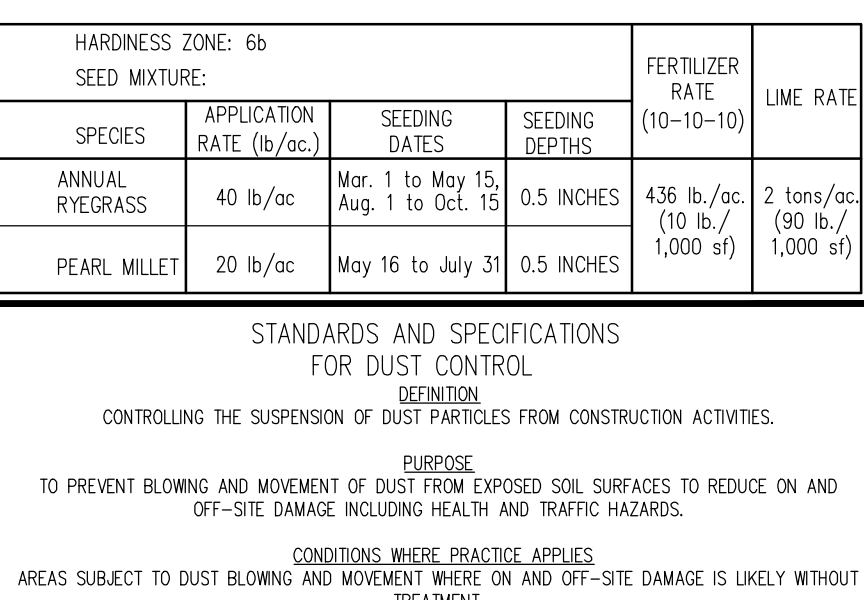
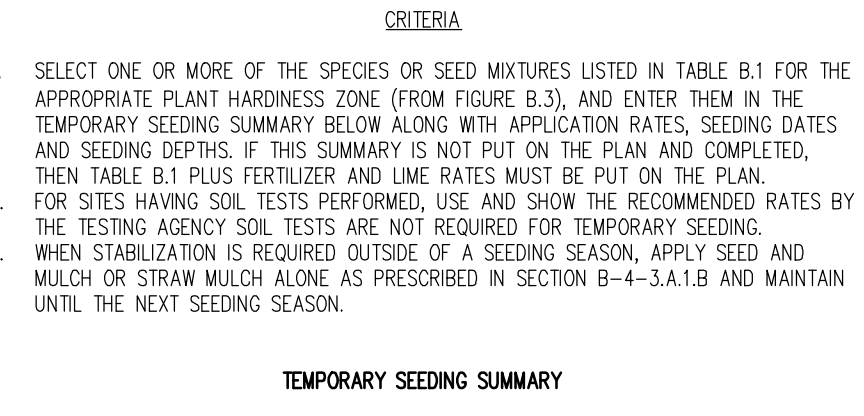
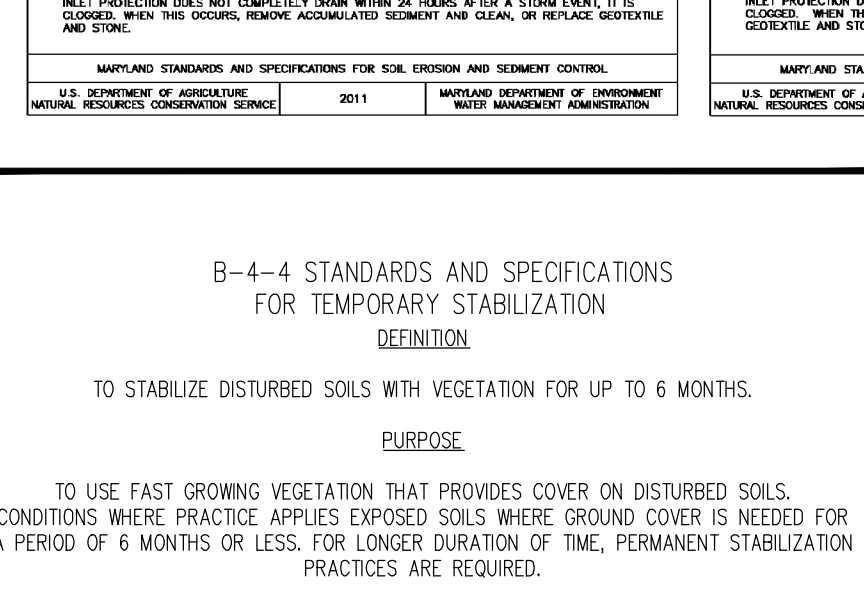
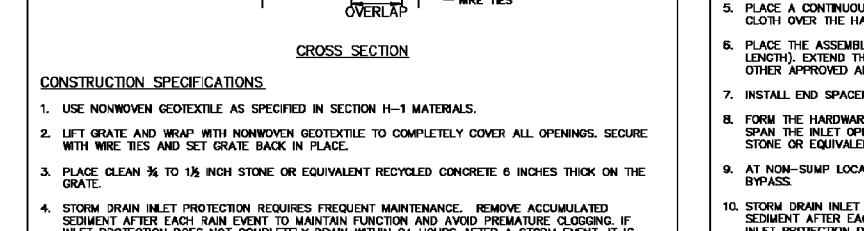
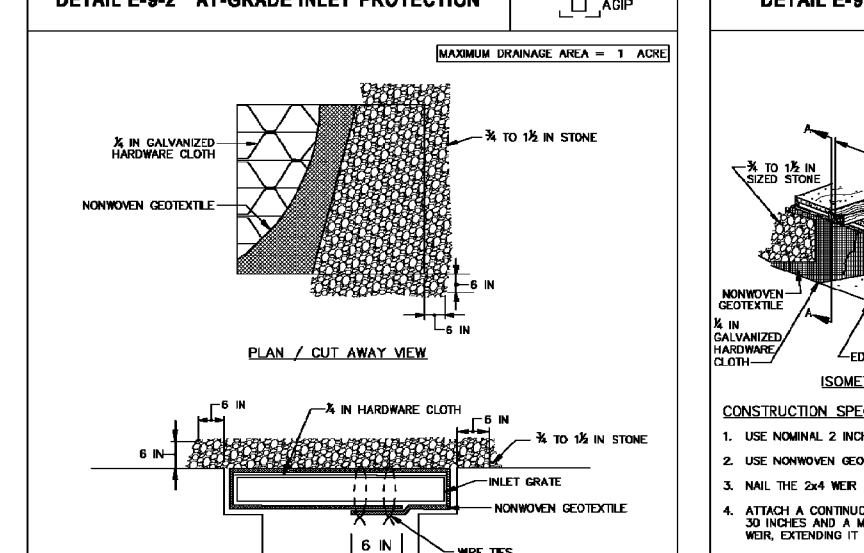
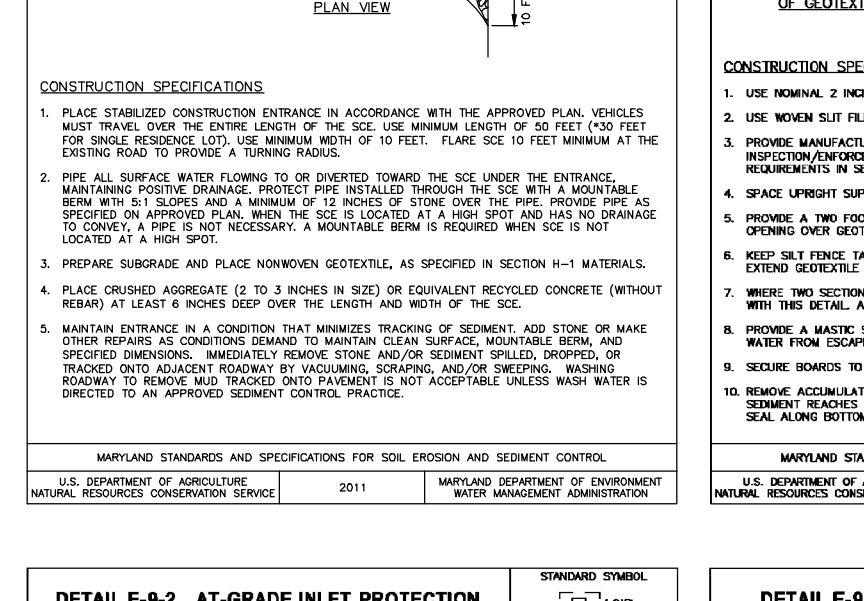
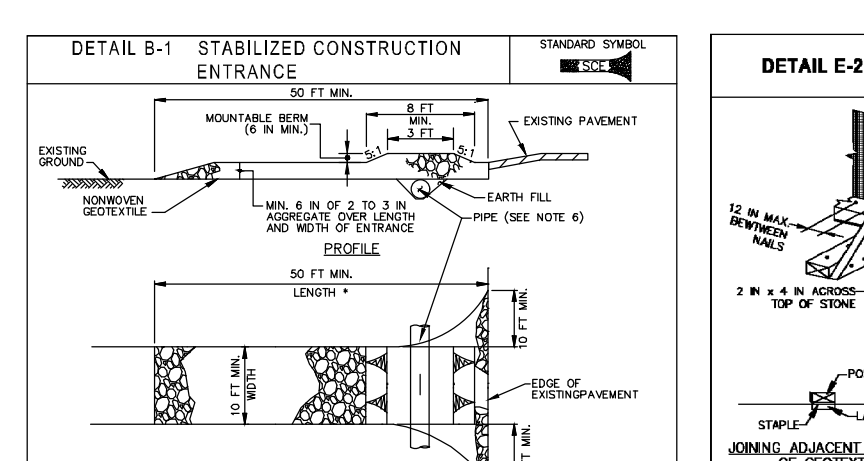
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APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING 7/6/2022 Director: Any Gorman Date: 6/28/2022

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SCALE: 1"=30' ZONING: NT SHEET: 20130 DATE: JUNE, 2022 TAX MAP - GRID: 42-03 SHEET: 11 OF 14



CONSTRUCTION SPECIFICATIONS: 1. USE NOMINAL 2 INCH X 4 INCH LUMBER AS SHOWN IN SECTION B-1 MATERIALS. 2. USE NOMINAL 2 INCH X 4 INCH LUMBER AS SHOWN IN SECTION B-1 MATERIALS.

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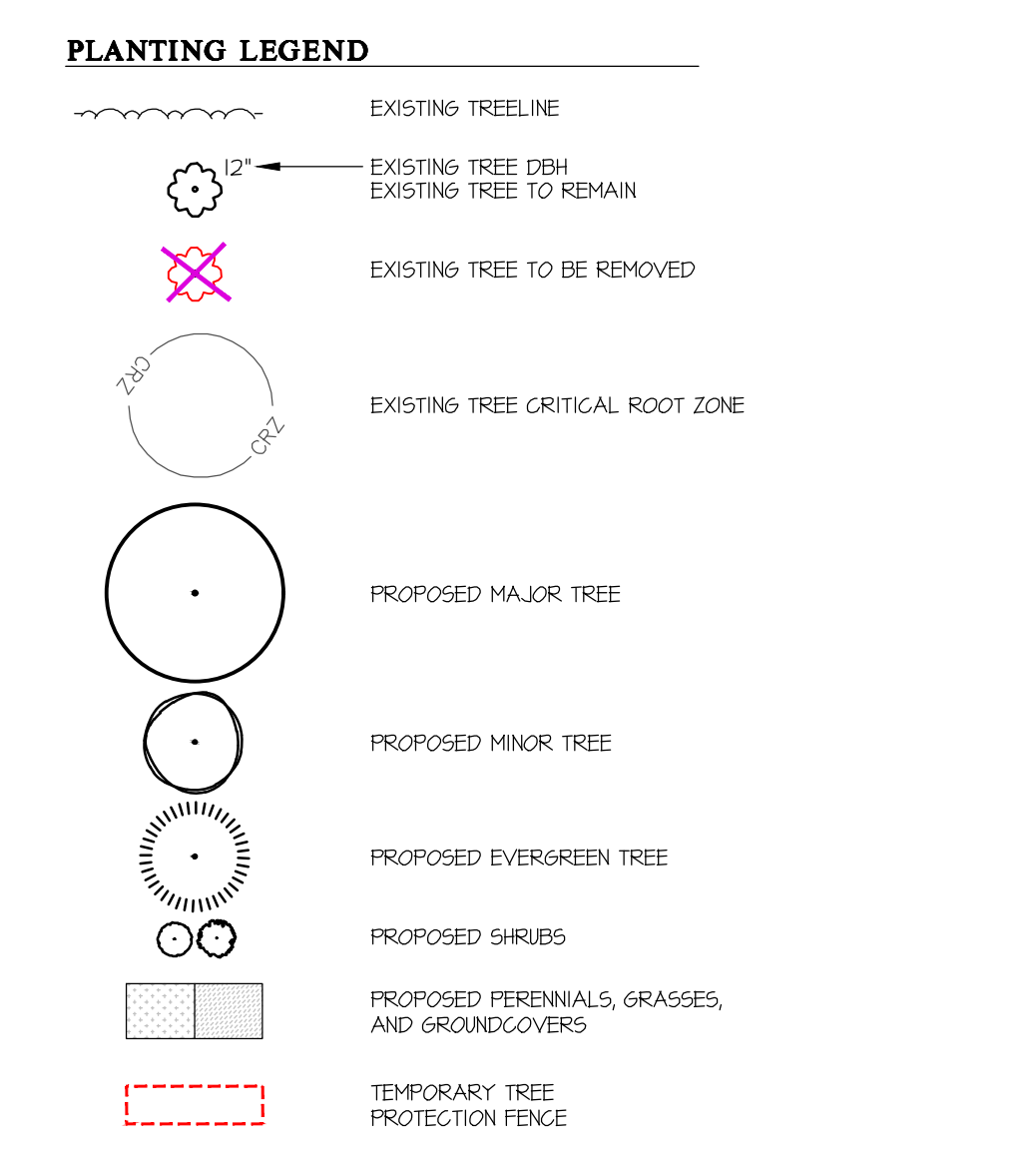
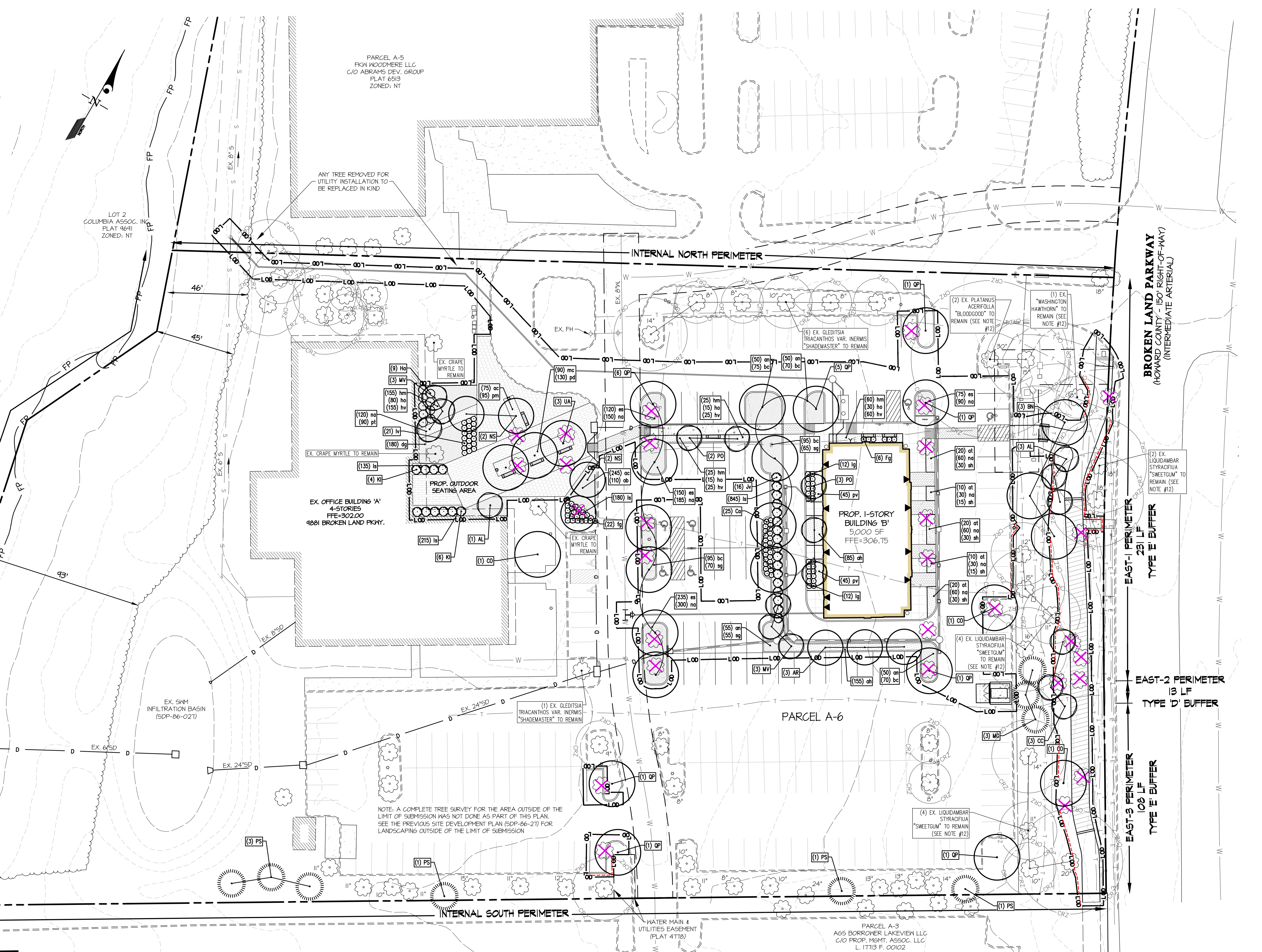
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LANDSCAPE NOTES

- 1. THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE NEW TOWN ALTERNATIVE COMPLIANCE PROVISIONS OF SECTION 16124 OF THE HOWARD COUNTY CODE AND THE HOWARD COUNTY LANDSCAPE MANUAL.
2. CONTRACTOR SHALL NOTIFY ALL UTILITIES AT LEAST (5) FIVE DAYS BEFORE STARTING WORK. ALL GENERAL NOTES, ESPECIALLY THOSE REGARDING UTILITIES, ON SHEET 1 SHALL APPLY.
3. FIELD VERIFY UNDERGROUND UTILITY LOCATIONS AND EXISTING CONDITIONS BEFORE STARTING PLANTING WORK. CONTACT CONSTRUCTION MANAGER OR OWNER IF ANY RELOCATIONS ARE REQUIRED.
4. PLANT QUANTITIES SHOWN ON THE PLANT LIST ARE PROVIDED FOR THE CONVENIENCE OF THE CONTRACTOR ONLY. IF DISCREPANCIES EXIST BETWEEN QUANTITIES SHOWN ON THE PLAN AND THOSE SHOWN ON THE PLANT LIST, THE QUANTITIES ON THE PLAN SHALL TAKE PRECEDENCE.
5. ALL PLANT MATERIAL SHALL BE FULL, HEAVY, WELL FORMED, SYMMETRICAL, AND CONFORM TO THE AMERICAN STD. FOR NURSERY STOCK (ANSI Z600-1-2018 Edition). ALL PLANT MATERIAL SHALL BE INSTALLED IN ACCORDANCE WITH THE HOWARD COUNTY LANDSCAPE MANUAL.
6. AT THE TIME OF PLANT INSTALLATION, ALL SHRUBS AND TREES LISTED AND APPROVED ON THE LANDSCAPE PLAN SHALL COMPLY WITH THE PROPER HEIGHT REQUIREMENT IN ACCORDANCE WITH THE HOWARD COUNTY LANDSCAPE MANUAL. IN ADDITION, NO SUBSTITUTIONS OR RELOCATIONS OF THE REQUIRED PLANTINGS MAY BE MADE WITHOUT PRIOR REVIEW AND APPROVAL. ANY DEVIATION FROM THE APPROVED LANDSCAPE PLAN MAY RESULT IN DELAY OR CANCELLATION OF THE LANDSCAPE SURETY UNTIL SUCH TIME AS ALL REQUIRED MATERIALS ARE PLANTED AND/OR REVISIONS ARE MADE TO THE APPLICABLE PLANS.
7. ALL AREAS DISTURBED BY CONSTRUCTION ACTIVITIES BUT NOT OTHERWISE PLANTED, GRAVED OR MULCHED SHALL BE SOLOPED OR SEEDING IN ACCORDANCE WITH THE PERMANENT SEEDING SPECIFICATION. A MINIMUM OF 4" OF TOPSOIL SHALL BE PROVIDED TO ALL PLANTING AREAS (FOR TOPSOIL SPEC. SEE SHEET 11).
8. THE CONTRACTOR SHALL NOTIFY THE OWNER IN WRITING IF HE/SHE ENCOUNTERS SOIL DRAINAGE CONDITIONS THAT MAY BE DETRIMENTAL TO THE GROWTH OF THE PLANTS.
9. ALL EXPOSED EARTH WITHIN THE LIMITS OF PLANTING BEDS SHALL BE MULCHED WITH SHREDDED HARDWOOD MULCH PER THE PLANTING DETAILS.
10. DO NOT PLANT WITHIN THE PUBLIC WATER, SEWER AND UTILITY EASEMENT, IF ANY.
11. THE OWNER, TENANTS AND/OR THEIR AGENTS SHALL BE RESPONSIBLE FOR MAINTENANCE OF THE REQUIRED LANDSCAPING INCLUDING BOTH PLANT MATERIALS AND BERM, FENCE AND WALLS. ALL PLANT MATERIALS SHALL BE MAINTAINED IN GOOD GROWING CONDITION, AND WHEN NECESSARY, REPLACED WITH NEW MATERIALS TO ENSURE CONTINUED COMPLIANCE WITH APPLICABLE REGULATIONS. ALL OTHER REQUIRED LANDSCAPING SHALL BE PERMANENTLY MAINTAINED IN GOOD CONDITION, AND WHEN NECESSARY, REPAIRED OR REPLACED.
12. ANY EXISTING TREE THAT DIES WITHIN (3) THREE YEARS OF CONSTRUCTION IS TO BE REPLACED OF THE SAME KIND.
13. CONTRACTOR IS TO MINIMIZE DISTURBANCE WHILE CONSTRUCTING THE 10' ASPHALT PATH ALONG BROKEN LAND PARKWAY TO LIMIT DAMAGE TO THE EXISTING TREES AND THEIR CRITICAL ROOT ZONES. HEAVY EQUIPMENT AND SOIL COMPACTION IN THIS AREA SHOULD ALSO BE KEPT TO A MINIMUM.
13. FINANCIAL SURETY FOR THE REQUIRED LANDSCAPING SHALL BE POSTED WITH THE DEVELOPER AGREEMENT IN THE AMOUNT OF \$ 113,000.00 AS FOLLOWS:
30 SHADE TREES AT \$300/TREE = \$ 9,000.00
2 ORNAMENTAL TREES AT \$150/TREE = \$ 300.00
4 EVERGREEN TREES AT \$150/TREE = \$ 600.00
12 SHRUBS AT \$30/SHRUB = \$ 360.00
FOR LANDSCAPE INSPECTION TO OBTAIN THE RELEASE OF THE LANDSCAPE SURETY, CONTACT HOWARD COUNTY DEPT. OF PLANNING & ZONING AT 410-313-2550.



SHADE TREES, ORNAMENTAL TREES, EVERGREEN TREES, SHRUBS, PERENNIALS, GRASSES & GROUNDCOVERS. Includes columns for Symbol, Quantity, Botanical Name, Common Name, Size, and Notes.

SCHEDULE-A: PERIMETER LANDSCAPE EDGE

Table with columns: PERIMETER, EAST-1, EAST-2, EAST-3, WEST. Rows include USE SITUATION, LANDSCAPE BUFFER TYPE, LINEAR FEET OF ROADWAY/PERIMETER FRONTAGE/BLDG., CREDIT FOR EX. VEGETATION, CREDIT FOR WALL, FENCE OR BERM, NUMBER OF PLANTS REQUIRED, SHADE TREES, EVERGREEN TREES, ORNAMENTALS, SHRUBS.

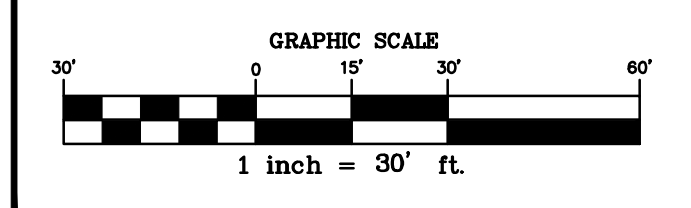
SCHEDULE B: PARKING LOT INTERNAL LANDSCAPING

Table with columns: NUMBER OF PARKING SPACES, NUMBER OF TREES REQUIRED, NUMBER OF TREES PROVIDED, SHADE TREES.

APPROVED PLANNING BOARD OF HOWARD COUNTY Date: April 21, 2022

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING Director, Chief, Division of Land Management, Chief, Development

DEVELOPER'S/BUILDER'S CERTIFICATE I HEREBY CERTIFY THAT THE LANDSCAPING SHOWN ON THIS PLAN WILL BE DONE ACCORDING TO THE PLAN, SECTION 16124 OF THE HOWARD COUNTY CODE AND THE HOWARD COUNTY LANDSCAPE MANUAL. I HEREBY CERTIFY THAT UPON COMPLETION A LETTER OF LANDSCAPE INSTALLATION, ACCOMPANIED BY AN EXECUTED ONE YEAR GUARANTEE OF PLANT MATERIALS, WILL BE SUBMITTED TO THE DEPARTMENT OF PLANNING AND ZONING.



THIS PLAN IS FOR LANDSCAPING PURPOSES ONLY

GLW PLANNING ENGINEERING SURVEYING 3909 NATIONAL DRIVE | SUITE 250 | BURTONSVILLE, MD 20866 | GLWP/PA.COM

DESIGNED BY, DRAWN BY, CHECKED BY, DATE, REVISION, BY, APPR.

OWNER/DEVELOPER: FWK WOODMERE LLC C/O ABRAMS DEVELOPMENT GROUP 8601 ROBERT FULTON DRIVE, SUITE 100 COLUMBIA, MD 21046 ATTN: PETER MATHIESON TEL: 443-539-4806

PROFESSIONAL CERTIFICATION I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 12875. EXPIRATION DATE: MAY 28, 2024

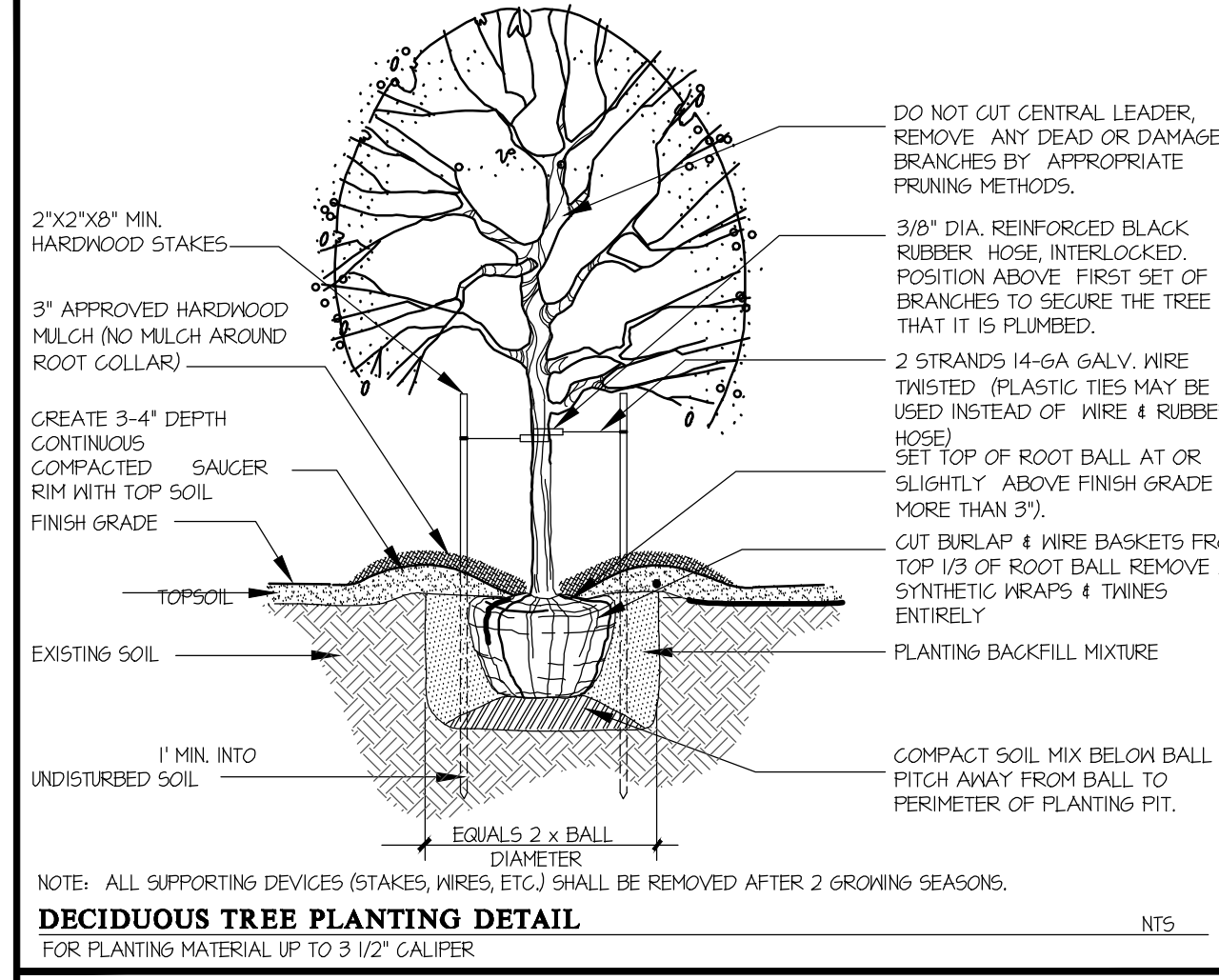
LANDSCAPE PLAN WOODMERE RETAIL VILLAGE OF OWEN BROWN, SEC. 3 AREA 1 PARCEL A-6 PLAT 6513

SCALE 1"=30', ZONING NT, G. L. W. FILE NO. 20130, DATE JUNE, 2022, TAX MAP - GRID 42-03, SHEET 12 OF 14

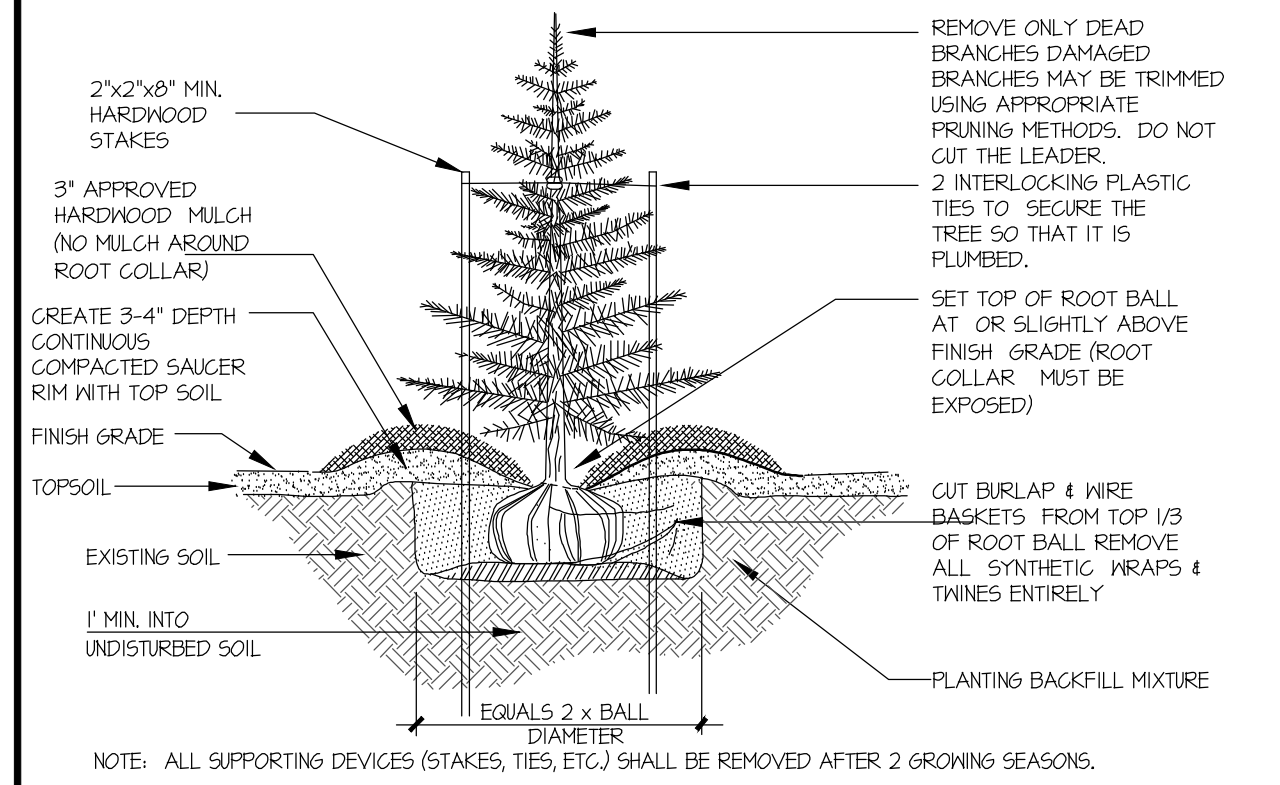
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LANDSCAPE SPECIFICATIONS:

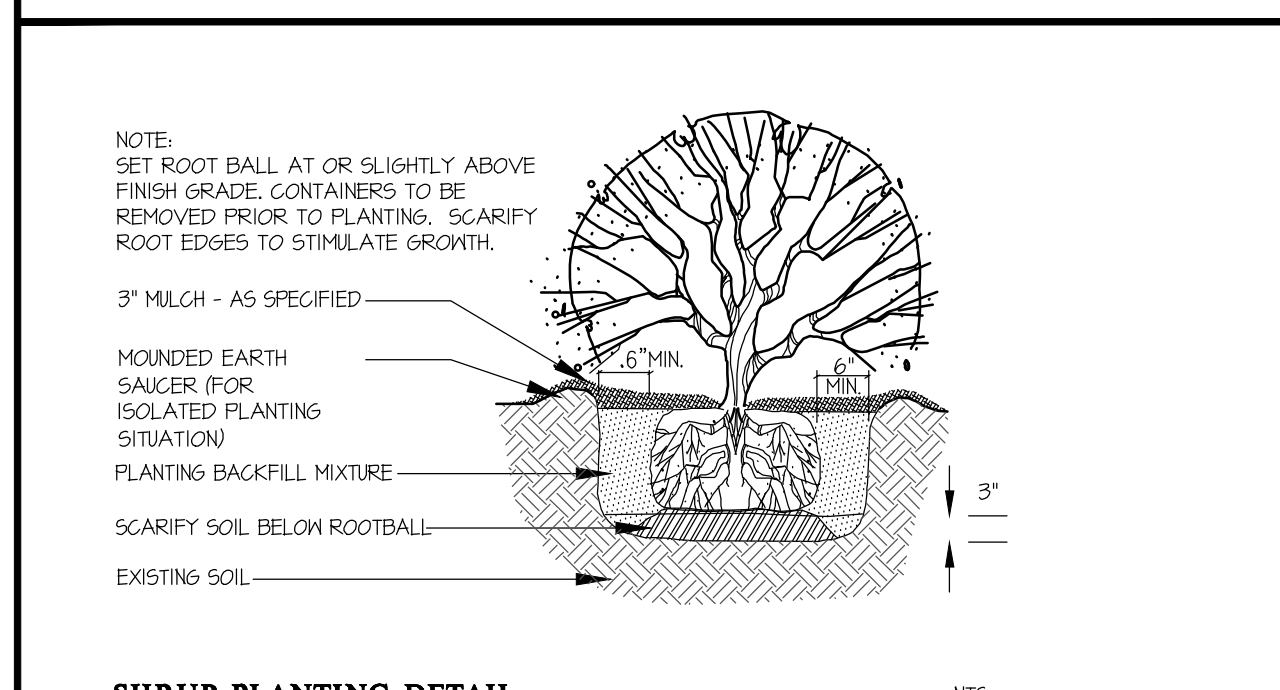
- 1.0 GENERAL CONDITIONS
- 1.1 SCOPE OF WORK:
 - A. THE LANDSCAPE CONTRACTOR SHALL PROVIDE ALL MATERIALS, LABOR AND EQUIPMENT TO COMPLETE ALL LANDSCAPE WORK AS SHOWN ON THE PLANS AND SPECIFICATIONS.
 - B. TOTAL NUMBER OF PLANTS SHALL BE DRAWN ON THE LANDSCAPE PLAN. IF THERE IS A DISCREPANCY BETWEEN THE DRAWING AND THE LIST ON THE PLANS, THE CONTRACTOR SHALL REQUEST CLARIFICATION FROM THE LANDSCAPE ARCHITECT.
- 1.2 STANDARDS:
 - A. ALL PLANT MATERIAL SHALL CONFORM TO THE CURRENT ISSUE OF THE AMERICAN STANDARD FOR NURSERY STOCK (ANSI 260.1). ALL TREES TO BE BRANCH SYMMETRICALLY AROUND CENTRAL LEADER. NO FORKED LEADER STOCK WILL BE ACCEPTED.
 - B. PLANT MATERIAL MUST BE SELECTED FROM NURSERIES THAT HAVE BEEN INSPECTED AND CERTIFIED BY STATE PLANT INSPECTORS.
 - C. NOMENCLATURE WILL BE IN ACCORDANCE WITH HORTUS III BY L.H. BAILEY.
- 1.3 SUBMITTALS:
 - A. WHEN REQUESTED BY THE OWNER OR OWNER'S REPRESENTATIVE, SAMPLES OF ALL MATERIAL OTHER THAN PLANTS SHALL BE SUBMITTED TO THE OWNER'S DESIGNATED REPRESENTATIVE FOR APPROVAL.
- 1.4 APPROVALS:
 - A. ALL APPROVALS WILL BE IN WRITING.
 - B. SUBSTITUTIONS:
 - IT IS THE LANDSCAPE CONTRACTOR'S RESPONSIBILITY TO MAKE EVERY REASONABLE EFFORT TO FIND THE MATERIAL SPECIFIED BY THE LANDSCAPE ARCHITECT. THE LANDSCAPE CONTRACTOR MAY OFFER SUBSTITUTIONS TO THE LANDSCAPE ARCHITECT FOR HIGHER CONSIDERATION. THE LANDSCAPE CONTRACTOR WILL NOTIFY THE LANDSCAPE ARCHITECT IF THERE ARE KNOWN DISEASE OR INSECT RESISTANT SPECIES THAT CAN BE SUBSTITUTED FOR A SELECTED TREE OR SHRUB. ALL SUBSTITUTIONS SHALL BE APPROVED BY HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING.
- 1.6 UTILITIES AND UNDERGROUND FEATURES:
 - A. THE LANDSCAPE CONTRACTOR SHALL NOTIFY UTILITY COMPANIES AND/OR THE GENERAL CONTRACTOR IN ADVANCE OF CONSTRUCTION TO LOCATE UTILITIES.
- 1.7 DRAINAGE:
 - A. IF PLANTS ARE TO BE INSTALLED IN AREAS THAT SHOW OBVIOUS POOR DRAINAGE, AND THE PLANTS ARE INAPPROPRIATE FOR THAT CONDITION, THE LANDSCAPE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT AND OWNER. IF THEY DEEM NECESSARY, THE PLANTS SHALL BE RELOCATED, THE CONTRACT SHALL BE ADJUSTED TO ALLOW FOR DRAINAGE CORRECTION AT A NEGOTIATED COST, OR THE PLANT SELECTION MODIFIED BY THE LANDSCAPE ARCHITECT TO ACCOMMODATE THE POOR DRAINAGE SITUATION.
- 1.8 WORKMANSHIP:
 - A. DURING DELIVERY AND INSTALLATION, THE LANDSCAPE CONTRACTOR SHALL PERFORM IN A WORKMANLIKE MANNER, COORDINATING HIS/HER ACTIVITIES SO AS NOT TO INTERFERE UNNECESSARILY WITH THE WORK OF OTHER TRADES AND LEAVING HIS/HER WORK AREA(S) CLEAN OF LETTER AND DEBRIS AT THE CLOSE OF EACH WORKDAY.
 - B. DURING PLANTING, ALL AREAS SHALL BE KEPT NEAT AND CLEAN. PRECAUTIONS SHALL BE TAKEN TO AVOID DAMAGE TO EXISTING PLANTS, LARGE TREES, TURF AND STRUCTURES. WHERE EXISTING TREES ARE TO BE PRESERVED, ADDITIONAL PRECAUTIONS SHOULD BE TAKEN TO AVOID UNNECESSARY ACCUMULATION OF EXCAVATED MATERIALS, SOIL COMPACTION OR ROOT DAMAGE.
 - C. UPON COMPLETION, ALL DEBRIS AND WASTE MATERIAL, RESULTING FROM PLANTING OPERATIONS SHALL BE REMOVED FROM THE PROJECT AND THE AREA CLEANED UP.
 - D. ANY DAMAGE TO THE EXISTING UTILITIES, BUILDINGS, PAVING, CURB AND WALLS, AND VEGETATION (NOT SO DESIGNATED FOR REMOVAL ON THESE PLANS) SHALL BE REPAIRED TO PREVIOUS CONDITION OR REPLACED BY THE CONTRACTOR AT HIS EXPENSE.
- 1.9 WATER:
 - A. THE OWNER SHALL SUPPLY WATER ON SITE AT NO COST. IF THE LANDSCAPE CONTRACTOR HAS TO SUPPLY WATER TO THE SITE, IT SHALL BE AT AN ADDITIONAL COST.
- 1.10 PLANTING SEASONS:
 - A. RED OAK, WHITE OAK, WILLOW OAK, SCARLET OAKS, DOGWOOD, SHEET GUM, CONIFERS, AND BROAD LEAF EVERGREENS WILL NOT BE PLANTED BETWEEN NOVEMBER 15 AND MARCH 1 UNLESS THE LANDSCAPE CONTRACTOR STATES IN WRITING THAT HE/SHE WILL GUARANTEE PLANTS.
- 1.11 INSPECTIONS AND ACCEPTANCE:
 - A. INITIAL INSPECTION: PRIOR TO PLANTING, ALL PLANT LOCATIONS SHALL BE STAKED IN THE FIELD BY THE CONTRACTOR. THE LANDSCAPE ARCHITECT SHALL BE CONTACTED TO INSPECT AND APPROVE ALL PLANT LOCATIONS BEFORE PLANTING.
 - B. FINAL ACCEPTANCE INSPECTION: A VERIFICATION OF PERFORMANCE FOR WORK BY CONTRACT DOCUMENTS, TO BE CONDUCTED BY THE LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE ON-SITE AND IN THE PRESENCE OF THE LANDSCAPE CONTRACTOR FOR THE PURPOSE OF ACCEPTANCE.
 - C. FINAL WARRANTY INSPECTION: THE LANDSCAPE CONTRACTOR SHALL CONDUCT A FINAL INSPECTION WITH THE OWNER OR OWNER'S REPRESENTATIVE AT THE END OF THE ONE YEAR PERIOD.
- 1.12 WARRANTY:
 - A. THE STANDARD WARRANTY IS FOR ONE (1) YEAR PERIOD, EXCLUDING BULBS AND ANNUALS, COMMENCING ON THE DATE OF INITIAL ACCEPTANCE. ALL PLANTS SHALL BE ALIVE AND IN SATISFACTORY GROWTH AT THE END OF THE GUARANTEE PERIOD.
 - B. ANY MATERIAL THAT IS 25% DEAD OR MORE SHALL BE CONSIDERED DEAD AND MUST BE REPLACED AT NO CHARGE. A TREE SHALL BE CONSIDERED DEAD WHEN THE MAIN LEADER HAS DIED BACK OR 25% OF THE CROWN IS DEAD.
 - C. PERENNIALS SHALL BE GUARANTEED FOR ONE YEAR AFTER INITIAL ACCEPTANCE.
- 2.0 PLANT MATERIALS
- 2.1 SCOPE OF WORK:
 - A. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR FURNISHING AND INSTALLING ALL PLANT MATERIAL SHOWN ON THE DRAWINGS AND PLANT LIST.
- 2.2 INSPECTION:
 - A. PLANTS SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE OWNER OR OWNER'S REPRESENTATIVE AT THE PLACE OF GROWTH (BEFORE DIGGING - TREES) OR HOLDING YARD (SHRUBS) FOR CONFORMITY TO SPECIFICATION REQUIREMENTS AS TO QUALITY, SIZE, AND VARIETY.
- 3.0 PRODUCTS
- 3.1 QUALITY ASSURANCE:
 - A. MANUFACTURER'S CERTIFIED ANALYSIS SHALL ACCOMPANY PACKAGED STANDARD PRODUCTS.
- 3.2 ORGANIC MATTER:
 - A. PEAT MOSS - TYPE I SPHAGNUM PEAT MOSS, FINELY DIVIDED WITH A PH OF 3.1 TO 5.0.
 - B. SEDGE PEAT - DECOMPOSES PEAT CONTAINING NO IDENTIFIABLE FIBERS.
 - C. LEAF COMPOST - THAT IS SCREENED AND FREE TO TRASH.
 - D. COMPOSTED SEWAGE SLUDGE - APPROVED, SCREENED, POLYMER-DEWATERED SEWAGE SLUDGE WITH A PH OF 9.2 - 12.6 MA
- 3.3 TOPSOIL:
 - A. IT SHALL BE FREE OF STONES, LUMPS, PLANTS, ROOTS AND OTHER DEBRIS OVER 1/2" IN SIZE. IT SHALL ALSO BE FREE OF PLANTS OR PLANT PARTS OF BERMUDAGRASS, QUACKGRASS, JOHNSONGRASS, MIGNONNETTE, NUTSEDGE, POISON IVY, CANADIAN THISTLE OR OTHERS AS SPECIFIED.
 - B. IT SHALL NOT CONTAIN TOXIC SUBSTANCES HARMFUL TO PLANT GROWTH, I.E. PESTICIDE RESIDUES.
- 3.4 BACKFILL MIXTURE:
 - A. BACKFILL MIXTURE FOR TREES AND SHRUBS SHALL BE 3/4 EXISTING SOIL MIXED WITH 1/4 ORGANIC MATERIAL, PLUS GRANULAR FERTILIZER.
- 3.5 MULCH:
 - A. MATERIAL SHALL BE COMPOSTED, SHREDDED HARDWOOD BARK, WITH LESS THAN 10% SAPHWOOD, DARK BROWN IN COLOR, OR APPROVED EQUAL.
 - B. MATERIAL SHALL BE UNIFORM IN SIZE AND FREE OF FOREIGN MATTER.
- 4.0 PLANTING PROCEDURE FOR TREES
- 4.1 TREE PLANTING:
 - A. WALL OF TREE PIT SHALL BE DUG SO THAT THEY ARE VERTICAL OR SLOPING OUTWARD IN HEAVY SOILS, BE AND SCARIFIED.
 - B. THE TREE PIT MUST BE A MINIMUM OF 4" LARGER ON EVERY SIDE THAN THE BALL OF THE TREE.
 - C. PLACE THE TREE IN THE PIT CARRYING THE BALL AND THEN LOWERING IT INTO THE PIT. NEVER LIFT THE TREE BY THE TRUNK OR BRANCHES.
 - D. SET THE TREE STRAIGHT AND IN THE CENTER OF THE PIT WITH THE MOST DESIRABLE SIDE FACING TOWARD THE PROMINENT VIEW.
 - E. BACKFILL TREE PIT WITH A SOIL MIXTURE STATED IN THE SPECIFICATIONS.
 - F. CUT AND REMOVE ROPE OR WIRE OFF THE TOP 50% OF ROOTBALL AND PULL BURLAP BACK TO THE EDGE OF THE BALL. REMOVE AS MUCH BURLAP, WOVEN PRODUCTS AND TWINE AS POSSIBLE. ALL PLASTIC OR SYNTHETIC FILM MUST BE REMOVED FROM THE ROOTBALL. CUT ALL TWINE AWAY FROM TRUNK.
 - G. FORM A SAUCER ABOVE EXISTING GRADE, AROUND THE OUTER RIM OF THE TREE PIT, ESPECIALLY ON SLOPES AND IN HEAVY SOILS.
 - H. MULCH TOP OF ROOTBALL AND SAUCER TO A MINIMUM DEPTH OF 2". DO NOT EXCEED 3". DO NOT PLACE MULCH AGAINST THE TRUNK.
 - I. WATER THOROUGHLY ON THE INTERIOR OF THE TREE SAUCER UNTIL IT IS FILLED, EVEN IF IT IS RAINING. A SECOND WATERING MAY BE NECESSARY TO INSURE SATURATION OF THE ROOT BALL AND ELIMINATION OF AIR POCKETS.
 - J. PRUNING SHOULD BE RESTRICTED TO CORRECTIVE PRUNING TO IMPROVE FORM ONLY.
 - K. STAKE TREE PER PLANTING DETAIL.
- 4.2 PLANTING PROCEDURES FOR SHRUBS
- 5.1 PLANTING SHRUBS:
 - A. FOR A SINGLE SHRUB THE PIT SHALL BE DUG 1" WIDER THAN THE ROOTBALL AND DEEP ENOUGH TO ALLOW 1/8TH OF THE ROOTBALL TO SET ABOVE EXISTING GRADE. (SINGLE SHRUB PLANTINGS ONLY IF NOTED ON PLANS)
 - B. FOR A SHRUB MASS PLANTING, THE ENTIRE BED AREA SHALL BE TILLED 4-6" DEEP. TILLING SHOULD ONLY BE DONE IN DRY SOIL TO AVOID COMPACTION. IF THE SOIL IS HEAVY IN CLAY AND SILT, ORGANIC MATERIAL SHOULD BE ADDED. EACH SHRUB PIT SHALL BE EXCAVATED FOR THE PROPER SETTING OF THE ROOTBALL.
 - C. PLACE THE SHRUB IN THE PIT BY LIFTING AND CARRYING IT BY THE ROOTBALL. REMOVE CONTAINERS FROM ALL CONTAINER-GROWN SHRUBS; SLASH THE EDGES OF THE ROOTBALL FROM TOP TO BOTTOM, AT LEAST 1" DEEP.
 - D. SET THE SHRUB AND IN THE CENTER OF THE PIT WITH THE MOST DESIRABLE SIDE FACING TOWARD THE PROMINENT VIEW.
 - E. CUT AND REMOVE ROPE OR WIRE OFF THE TOP 50% OF ROOTBALL AND PULL BURLAP BACK TO THE EDGE OF THE BALL. REMOVE AS MUCH BURLAP, WOVEN PRODUCTS AND TWINE AS POSSIBLE. ALL PLASTIC OR SYNTHETIC FILM MUST BE REMOVED FROM THE ROOTBALL. CUT ALL TWINE AWAY FROM TRUNK.
 - F. FORM A SAUCER ABOVE THE EXISTING GRADE AND COMPLETELY AROUND THE PLANTING PIT.
 - G. MULCH TOP OF ROOTBALL AND SAUCER TO A MINIMUM DEPTH OF 2".
 - H. WATER SHRUB MASS THOROUGHLY EVEN IF IT IS RAINING. A SECOND WATERING MAY BE NECESSARY TO INSURE SATURATION OF THE ROOT BALL AND ELIMINATION OF AIR POCKETS.
- 6.0 PLANTING PROCEDURES FOR GROUND COVER, PERENNIALS AND ANNUALS
- 6.1 PLANTING GROUND COVER, PERENNIAL AND ANNUAL BEDS:
 - A. THE PLANTING BED SHALL BE LOOSENEED WHEN THE SOIL IS DRY PRIOR TO PLANTING BY TILLING. SOIL SHALL BE LOOSENEED TO A DEPTH OF 4" TO 6".
 - B. ORGANIC MATTER SHALL BE SPREAD OVER THE BED TO A DEPTH OF 2" FOR PEAT MOSS OF 1" DEEP FOR COMPOST, I.E. NOT TO EXCEED 4 CUBIC YARDS OF COMPOST/1000 SQUARE FEET, AFTER THE SOIL HAS BEEN LOOSENEED. THE ORGANIC MATTER SHALL BE WORKED INTO THE BED BY TILLING.
 - C. FERTILIZER SHALL BE TOP-DRESSED OVER BED AREA.
 - D. THE PLANT, EITHER POTTED OR BARE ROOT, SHALL BE INSTALLED SO THAT THE ROOTS ARE SURROUNDED BY SOIL BELOW THE MULCH. POTTED PLANTS SHALL BE SET SO THAT THE TOP OF THE POT IS EVEN WITH THE EXISTING GRADE. THE ROOTS OF BARE ROOT PLANTS SHALL BE COVERED TO THE CROWN.
 - E. SPACING OF PLANTS SHALL BE INSTALLED AS NOTED ON THE LANDSCAPE PLAN.
 - F. THE ENTIRE BED SHALL BE MULCHED TO A MINIMUM DEPTH OF 1" - 2" MAXIMUM, WITH APPROVED MULCH.
 - G. THE ENTIRE PLANTING BED SHALL BE THOROUGHLY WATERED.



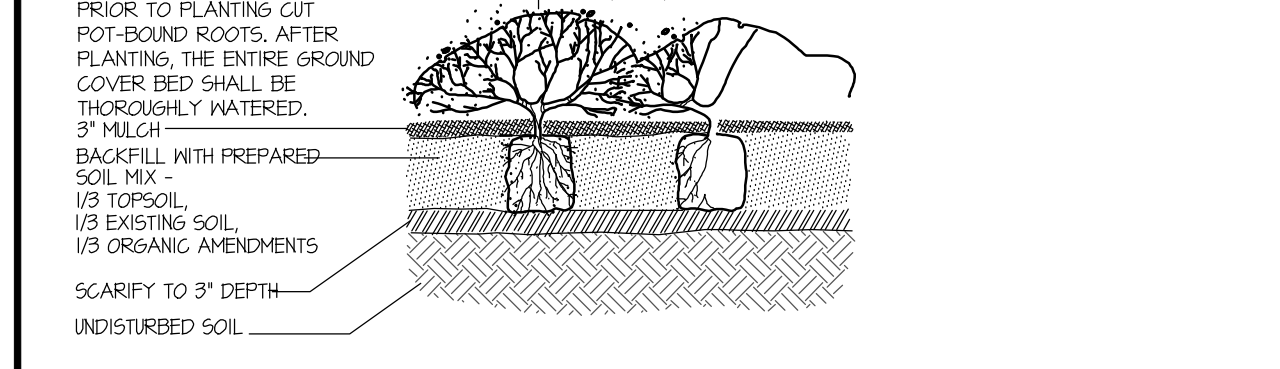
DECIDUOUS TREE PLANTING DETAIL
FOR PLANTING MATERIAL UP TO 3 1/2" CALIPER



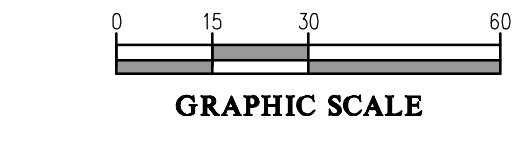
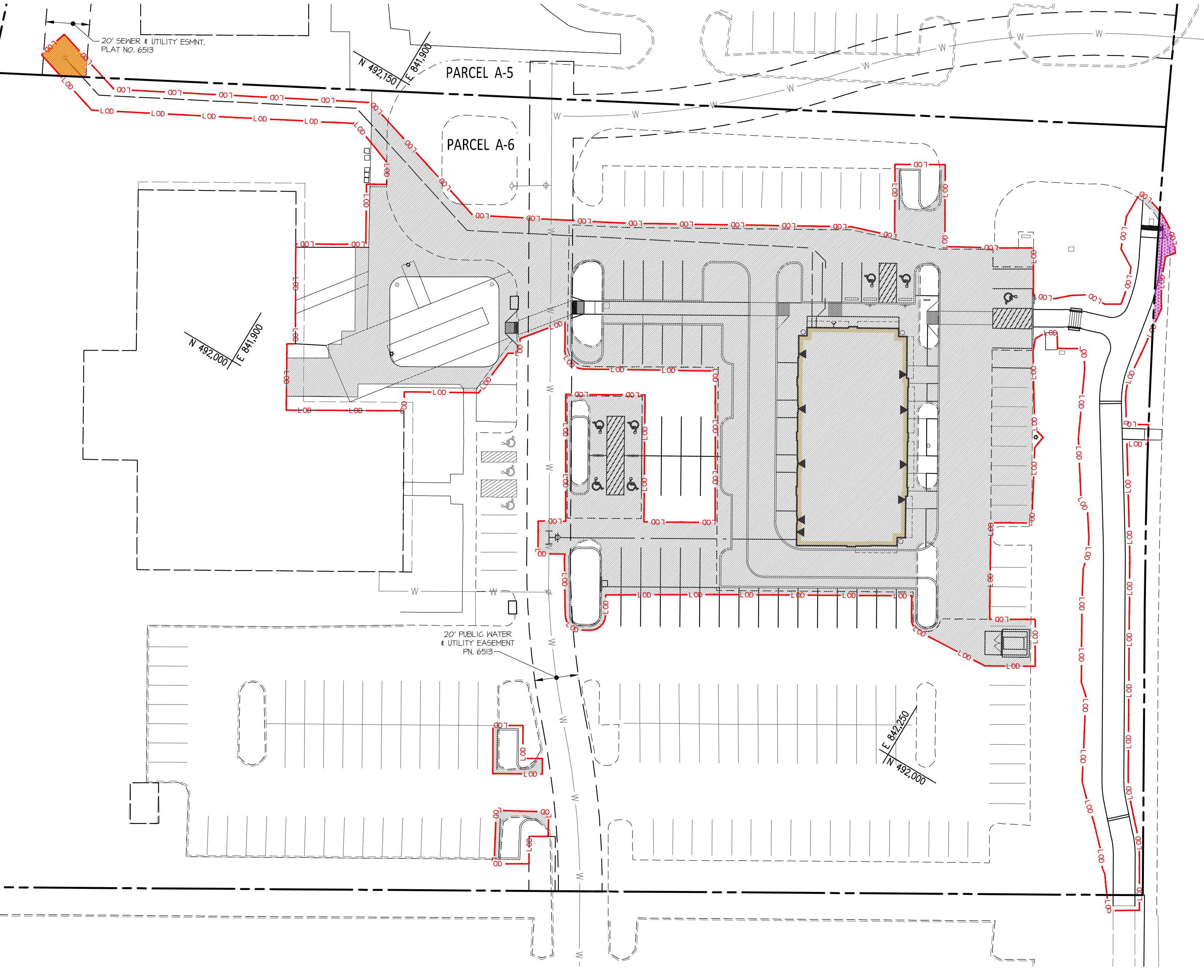
EVERGREEN TREE PLANTING DETAIL



SHRUB PLANTING DETAIL



GROUND COVER PLANTING DETAIL



Proposed Redevelopment Area Analysis		
Project Name: Woodmere Retail	DPZ File No.	SDP-21-045
1. Input Information	square feet	Acres (if >10)
a. Parcel A-6 area	233,182	5.35
b. LOD of proposed redevelopment for SDP approval & Grading permit application for construction (Project Area)	55,212	1.27
c. Portion of LOD on-site	54,624	1.25
d. Portion of LOD off-site (on the adjacent properties)	588	less 0.1
e. Balance of existing Parcel (or lot) outside the on-site LOD not changing use (1a-1c). The Forest conservation obligation for this area is deferred to any future site changes requiring an SOP (or redline) for site work permitting.	178,558	4.10
2. Deductions & Adjustments		
a. Sec. 161202(b)(1)(viii) existing impervious area within the proposed LOD (Project Area)	38,953	0.89
b. Existing public utility easement and right-of-way reservation within the above LOD that is not impervious.	517	less 0.1
c. Total adjustments (deductions) to the Project Area (2a + 2b)	39,470	0.91
d. Adjusted Project Area (APA= 1b-2c) to use in calculating the Forest Conservation Obligation (FCO):	15,742	0.36
3. Forest Conservation Obligation		
a. FCO = Afforestation obligation at 15% of the APA= 2d*0.15	2,361	less 0.1
b. Fee-in-lieu rate per CR-14-2019	\$ 1,225	
c. Fee-in-lieu requested	\$ 2,951.63	

- 55,212± s.f. PROPOSED L.O.D. (of which 270 s.f. are within existing a Public Road R/W and 382 s.f. are on adjacent parcels)
- 38,953 s.f. EX. IMPERVIOUS AREA (within the parts of the proposed L.O.D. that's on Parcel A-6)
- 247 s.f. PUBLIC UTILITY R.O.W. (within propose L.O.D. that's not ex. impervious area)
- 270 s.f. EXISTING PUBLIC R/W RESERVATION WITHIN PROPOSED L.O.D.

STATE OF MARYLAND
Michael B. Tran
REGISTERED LANDSCAPE ARCHITECT
933
06/07/22

FOREST CONSERVATION FEE-IN-LIEU COMPUTATION

LANDSCAPE NOTES, DETAIL & FEE-IN-LIEU COMPUTATION

WOODMERE RETAIL
VILLAGE OF OWEN BROWN, SEC. 3 AREA 1
PARCEL A-6
PLAT 6513

SCALE	ZONING	G. L. W. FILE No.
1"=30'	NT	20130
DATE	TAX MAP - GRID	SHEET
JUNE, 2022	42-03	13 OF 14

APPROVED
PLANNING BOARD OF HOWARD COUNTY
Date: April 21, 2022

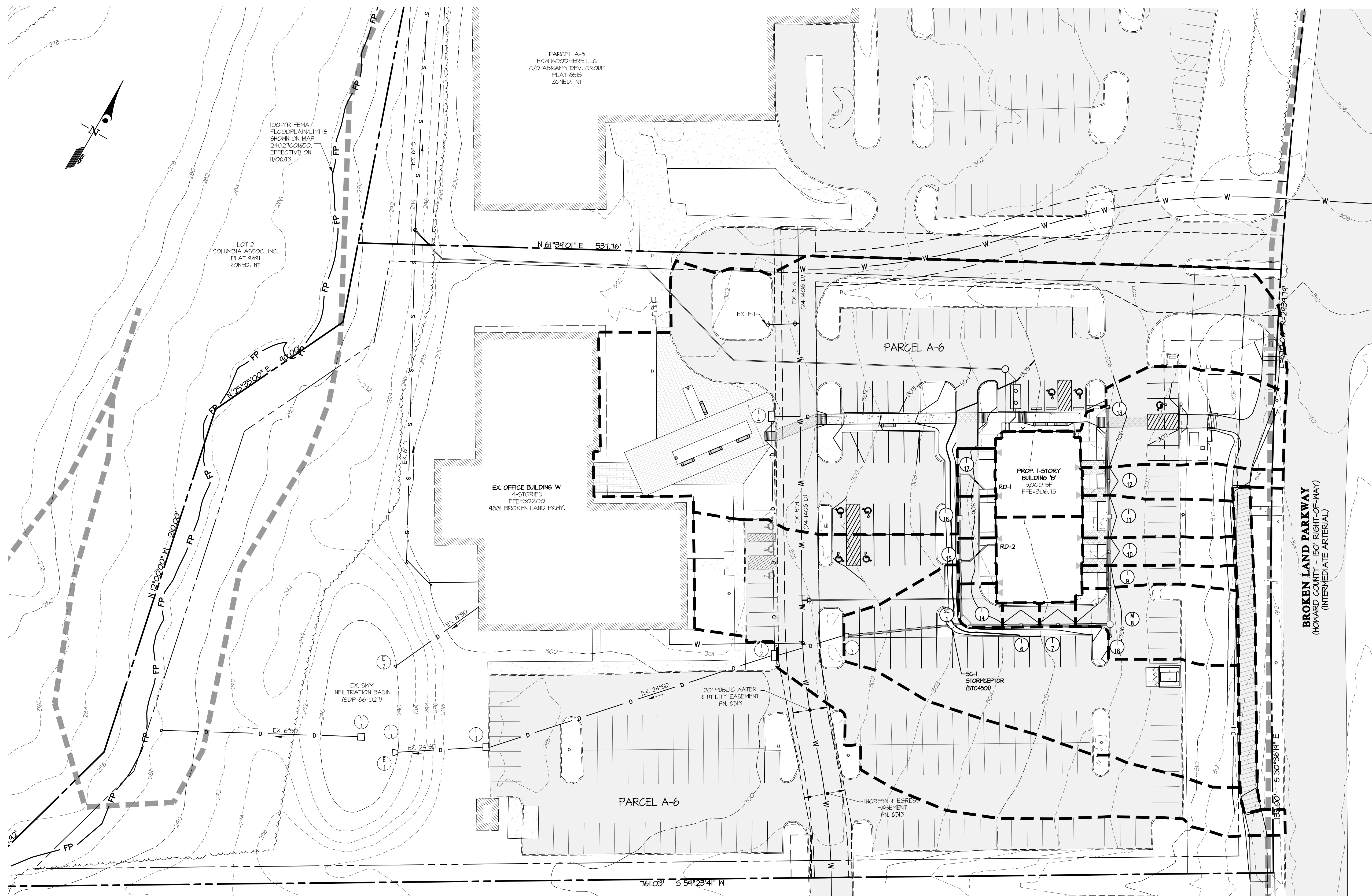
APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
Director: Amy Green
Chief, Division of Land Development: Chad Edmondson

GLW PLANNING | ENGINEERING | SURVEYING
3809 NATIONAL DRIVE | SUITE 250 | BURTONSVILLE, MD 20866 | GLWPA.COM
PHONE: 301-421-4024 | BALT: 410-880-1820 | DC&VA: 301-989-2524 | FAX: 301-421-4186

DESIGNED BY	DRAWN BY	CHECKED BY	DATE	REVISION	BY	APPR.
EWM	EWM	DDS				

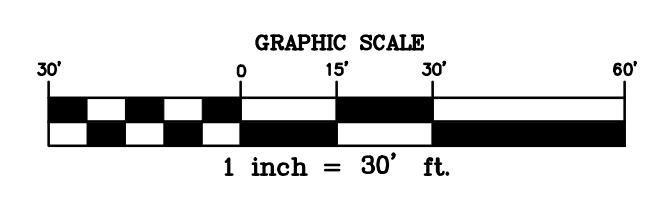
OWNER/DEVELOPER:
FKW WOODMERE LLC
C/O ABRAMS DEVELOPMENT GROUP
8601 ROBERT FULTON DRIVE, SUITE 100
COLUMBIA, MD 21046
ATTN: PETER MATHESON
TEL: 443-539-4806

ELECTION DISTRICT No. 6
HOWARD COUNTY, MARYLAND



LEGEND
 - - - - - DRAINAGE DIVIDE

STORM DRAIN SUMMARY TABLE			
STRUCTURE	AREA (AC.)	C'	IMPERVIOUS
I-2	0.46	0.85	84%
I-3	0.33	0.80	76%
I-4	1.02	0.76	69%
I-6	0.01	0.96	100%
I-7	0.01	0.96	100%
I-9	0.03	0.72	64%
I-10	0.03	0.72	64%
I-11	0.05	0.73	66%
I-12	0.05	0.67	57%
I-13	0.14	0.65	54%
I-14	0.01	0.96	100%
I-15	0.01	0.96	100%
I-16	0.01	0.96	100%
I-17	0.01	0.96	100%
I-18	0.09	0.67	57%
RD-1	0.06	0.96	100%
RD-2	0.06	0.96	100%



APPROVED
PLANNING BOARD OF HOWARD COUNTY
 Date: April 21, 2022

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
 7/6/2022

Director: Amy Gorman Date: 6/28/2022
 Chief, Division of Land Use Management: [Signature] Date: 6/28/2022
 Chief, Development: [Signature] Date: _____

GLW
 PLANNING | ENGINEERING | SURVEYING

3909 NATIONAL DRIVE | SUITE 250 | BURTONSVILLE, MD 20896 | GLWPA.COM
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DESIGNED BY:	DATE	REVISION	BY	APPR.
EWM				
EWM				
DDS				

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 FKW WOODMERE LLC
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 8601 ROBERT FULTON DRIVE, SUITE 100
 COLUMBIA, MD 21046
 ATTN: PETER MATHIESON
 TEL: 443-539-4806

PROFESSIONAL CERTIFICATION
 I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 12975, EXPIRATION DATE: MAY 26, 2024

06/07/22

DRAINAGE AREA MAP

WOODMERE RETAIL VILLAGE OF OWEN BROWN, SEC. 3 AREA 1
PARCEL A-6
 PLAT 6513

ELECTION DISTRICT No. 6

HOWARD COUNTY, MARYLAND

SCALE	ZONING	G. L. W. FILE NO.
1"=30'	NT	20130
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JUNE, 2022	42-03	14 OF 14

L:\CADD\DRAWINGS\20130\PLANS BY GLW\SDP\20130-SDP-14-DAM.dwg
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