GENERAL NOTES

4. PROJECT BACKGROUND

PARCEL AREA:

ELECTION DISTRICT:

ITEMS UNLESS OTHERWISE NOTED.

SDP-99-059, & ECP-21-024.

#24-1440-D.

THE SUBJECT PROPERTY

18. THERE ARE NO FLOODPLAINS ON THIS SITE.

PRELIMINARY APPROVED BEFORE 12/31/92.

APPROVED ON FEBRUARY 12, 2021.

FROM COLUMBIA GATEWAY DRIVE.

20. THIS PROPERTY IS WITHIN THE METROPOLITAN DISTRICT.

19. THERE ARE NO WETLANDS ON THE SITE.

LOCATION:

ZONING:

I. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF HOWARD COUNTY PLUS MSHA STANDARDS AND SPECIFICATIONS IF

2. THE CONTRACTOR SHALL NOTIFY THE DEPARTMENT OF PUBLIC WORKS, BUREAU OF

WORKING DAYS PRIOR TO THE START OF WORK.

PRIOR TO ANY EXCAVATION WORK BEING DONE.

5. PROPOSED USE: DAY CARE FACILITY (BUILDING 'B')

6TH

42CC. ALL ELEVATIONS ARE IN VERTICAL DATUM NAVD 88.

10. PREVIOUS DEPARTMENT OF PLANNING & ZONING FILE NUMBERS :

13. ALL EXISTING PUBLIC STORM DRAIN ON-SITE IS PER SDP-99-059.

9. PROPERTY IS ZONED M-I PER THE IO/06/13 COMPREHENSIVE ZONING PLAN.

37.08 AC.

6. ALL PLAN DIMENSIONS ARE TO FACE OF BUILDING AND/OR FACE OF CURB UNLESS

TAKEN FROM DESIGN PLANS FOR CONSTRUCTION AND HOWARD COUNTY GIS.

ENGINEERING, CONSTRUCTION INSPECTION DIVISION AT (410) 313-1880 AT LEAST FIVE (5)

RECORDING REFERENCE: PLAT NO. 6812 (PARCEL L), PLAT NO. 25755 (WATER EASEMENT)

OTHERWISE NOTED. DIMENSIONS ARE MEASURED PERPENDICULAR OR RADIALLY BETWEEN

7. THE EXISTING TOPOGRAPHY IS TAKEN FROM FIELD RUN SURVEY WITH MAXIMUM TWO FOOT CONTOUR INTERVALS PREPARED BY GLW DATED OCTOBER 2020 AS WELL AS GRADES

8. COORDINATES AND BEARINGS ARE BASED UPON THE '83 MD STATE COORDINATE SYSTEM

II. PROPOSED WATER AND SEWER EXTENSIONS ARE PUBLIC PER ADO #7115 COLUMBIA GATEWAY

12. EXISTING WATER IS PER CONTRACT #44-I539-D AND EXISTING SEWER IS PER CONTRACT

MANAGEMENT FOR THIS SITE WILL BE PROVIDED IN ACCORDANCE WITH CHAPTER 5 OF THE MDE

REQUIREMENTS A STORMCEPTORS (SC) WILL BE USED. THE STORMCEPTOR WILL BE PRIVATELY

15. EXISTING UTILITIES ARE BASED ON APPROVED DESIGN PLANS FOR CONSTRUCTION AND

16. THERE ARE NO KNOWN CEMETERIES, GRAVE SITES OR HISTORIC STRUCTURES LOCATED ON

21. BUILDING SETBACKS AND BUILDING RESTRICTIONS ARE PER THE HOWARD COUNTY ZONING

22 BECAUSE THIS PLAN SUBMISSION IS NON-RESIDENTIAL A NOISE STUDY IS NOT REQUIRED.

23. THIS PLAN IS PREPARED IN ACCORDANCE WITH SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL WITH 34 SHADE TREES, AND I3 EVERGREEN TREES. A

24. THIS SITE IS EXEMPT FROM THE FOREST CONSERVATION ORDINANCE IN ACCORDANCE WITH

SECTION 16.1202(B)(1)(III). A PLANNED OFFICE PARK OF AT LEAST 75 ACRES WHICH HAS

TRANSPORTATION PLANNERS AND ENGINEERS, DATED DECEMBER 8, 2020, AND WAS

26. HEALTH DEPARTMENT APPROVAL OF THIS SITE DEVELOPMENT PLAN (SDP) DOES NOT ENSURE

APPROVAL OF BUILDING PERMIT APPLICATIONS ASSOCIATED WITH THIS PLAN, PERMIT PLANS

FOR CERTAIN FACILITIES TO BE CONSTRUCTED WITHIN THE LIMITS DESCRIBED BY THIS SDP WILL REQUIRE REVIEW AND APPROVAL BY THE HEALTH DEPARTMENT. SUCH FACILITIES MAY

PREPARED OR PACKAGED FOODS, OR THAT MAY HAVE EQUIPMENT THAT EMITS RADIATION.

FROM ROBERT FULTON DRIVE TO PARCEL 'L'. THE COORDINATION SHALL INCLUDE LOCATION OF FUTURE UTILITIES AND LANDSCAPE FEATURES TO FACILITATE PROJECT DELIVERY.

I.) ADDITION OF (2) ADA ACCESSIBLE SIDEWALK RAMPS ON-SITE SOUTH OF THE ENTRANCE

3.) RE-STRIPING OF THE EXISTING CROSSWALK ACROSS COLUMBIA GATEWAY DRIVE.

2.) ADDITION OF (2) SIDEWALK RAMPS ON COLUMBIA GATEWAY DRIVE AT THE ENTRANCE TO

5/21/2021

5/21/2021

5/19/2021

Date 5/20/2021

Date

INCLUDE, BUT ARE NOT LIMITED TO, THOSE WHICH HAVE SWIMMING POOLS, OR THAT SELL

27. THE OWNER OF PARCEL 'L', COLGATEDRIVE ASSOCIATES, LLC, AND ALL SUCCESSORS WILL COOPERATE AND COORDINATE WITH THE DESIGN AND CONSTRUCTION OF THE ROBERT FULTON DRIVE PATHWAY PROJECT AND ASSOCIATED PEDESTRIAN CROSSING LOCATIONS

25. THE TRAFFIC STUDY FOR THIS PROJECT WAS PREPARED BY GOROVE/SLADE,

28. OFFSITE IMPROVEMENTS FOR THIS SITE INCLUDE THE FOLLOWING:

LANDSCAPE SURETY IN THE AMOUNT OF \$900.00 WILL BE POSTED AS PART OF THE DPW

14. THIS SITE QUALIFIES FOR REDEVELOPMENT UNDER MDE CRITERIA, STORMWATER

STORMMATER DESIGN MANUAL. IN ORDER TO FULFILL THE STORMMATER MANAGEMENT

17. THERE ARE NO SCENIC ROADS WITHIN OR ADJACENT TO THE SUBJECT PROPERTY.

REGULATIONS, SECTION 122.0: M-I (MANUFACTURING: LIGHT) DISTRICT.

(NAD '83) AS PROJECTED BY HOWARD COUNTY GEODETIC CONTROL STATIONS NO. 42CB AND

3. THE CONTRACTOR SHALL NOTIFY "MISS UTILITY" AT I-800-257-7777 AT LEAST 48 HOURS

# SITE DEVELOPMENT PLAN UNITED WAY DAY CARE

## COLUMBIA GATEWAY PARCEL L

#### GATEWAY OWNER A40 LLC C/O RREEF DEPT 201 PROP TAX PLAT NO. 12120 ZONED: M-I PARCEL N-12 GATEWAY 67 LLC PLAT NO. 17094 EXISTING BLDG. 'A' 7125 COLUMBIA GATEWAY DRIVE (OPEN SPACE COLUMBIA SSOCIATION IN PLAT NO. 6773 PARCEL L COLGATEDRIVE ASSOCIATES LLC PARCEL N-14 AMKE ROBERT FULTON LLC PLAT NO. 17578 ZONED: M-I (OPEN SPACE) COLUMBIA ASSOCIATION INC. PLAT NO. 6812 COLUMBIA **GATEWAY** DRIVE (OPEN SPACE) LEIDOS REALTY LLC COLUMBIA ASSOCIATION INC. C/O DUCHARME MCMILLEN & ASSOC. PLAT NO. 6814 PLAT NO. 9153 ZONED: M-I ZONED: M-I **GRAPHIC SCALE** SCALE: I" = 200'

#### SITE ANALYSIS DATA

I. ZONING: M-I

- 2. GROSS AREA OF PARCEL L = 1,615,248 S.F. or 37.08 AC.
- 3. DEED REFERENCE: L: 4699 F: 417
- 4. LIMIT OF DISTURBED AREA = 1.08 AC.
- 5. PROPOSED USE: DAY CARE FACILITY 10,052 SF (BUILDING 'B')
- 6. BUILDING COVERAGE (% OF GROSS SITE AREA): EX. BUILDING 'A': 650,990 S.F. or 14.94 AC. PROP. BUILDING 'B': 10,052 S.F. or 0.23 AC. TOTAL BUILDING COVERAGE = 14.94 AC. + 0.23 AC. = 15.17 AC. = 40.91% OF PARCEL L (37.08 AC.)
- 7. APPLICANT/OWNER: COLGATEDRIVE ASSOCIATES LLC 6711 COLUMBIA GATEWAY DRIVE, SUITE 300 COLUMBIA, MD 21046 ATTN: THOMAS FAHS TEL. (443) 285 -5647
- 8. ZONING STANDARDS: M-I ZONE

I. BUILDING HEIGHT (SEC. 122.0.D):	50 FT.
2. MINIMUM STRUCTURE & USE SETBACK A. FROM ANY EXTERNAL PUBLIC STREET R/W: EXCEPT PARKING USES AND FENCES ADJOINING	50 FT. 30 FT
PARKING USES: B. FROM ANY INTERNAL PUBLIC STREET R/W: EXCEPT PARKING USES AND FENCES ADJOINING PARKING USES:	50 FT.

EXCEPT RESIDENTIAL USES IN A CAC OR TOD DISTRICT: 75 FT.

<u>ALLOWED</u>

#### 9. <u>PARKING ANALYSIS:</u>

C. FROM ANY RESIDENTIAL DISTRICT:

REQUIRED PARKING (EX. BLDG 'A'): GENERAL OFFICE: 321,524 SF @ 3.3 SP/1,000 SF = 1,062 SP\* WAREHOUSE: 202,719 SF @0.75 SP/1,000 SF INDOOR COMM REC: 89,152 SF @ 5.0 SP.1,000 SF = 446 SP\* NON LEASEABLE: 37,595 SF @ 0.0 SP/1,000 SF EX. BLDG. 'A' SUBTOTAL SP REQUIRED TOTAL BUILDING 'A' SF = 660,990 SF\* (\*PER SDP-99-059) REQUIRED PARKING (PROP. BLDG. 'B'):

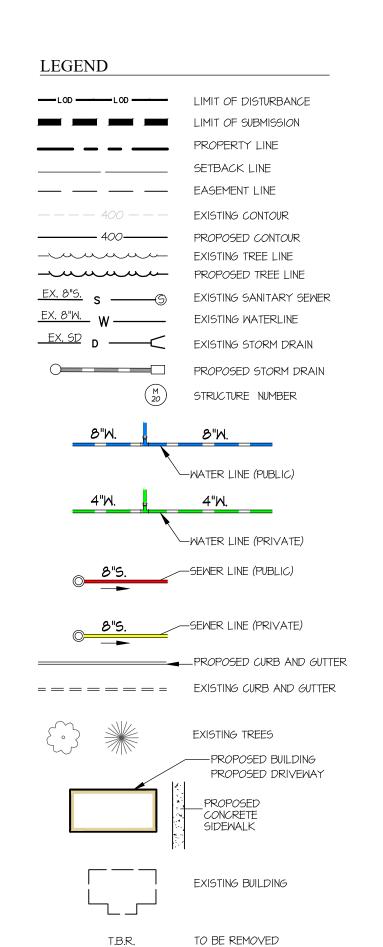
DAYCARE FACILITY: 10,052 SF @ 3.0 SP/1,000 SF = <u>31 SP</u> SITE TOTALS:

TOTAL REQUIRED PARKING TOTAL PROVIDED PARKING = <u>1,826 SP</u> TOTAL REQUIRED HC PARKING = <u>29 SP</u> = <u>45 SP</u> TOTAL PROVIDED HC PARKING

ADC MAP PAGE 5054, GRID A2 SCALE: 1" = 4,000

#### BENCHMARKS

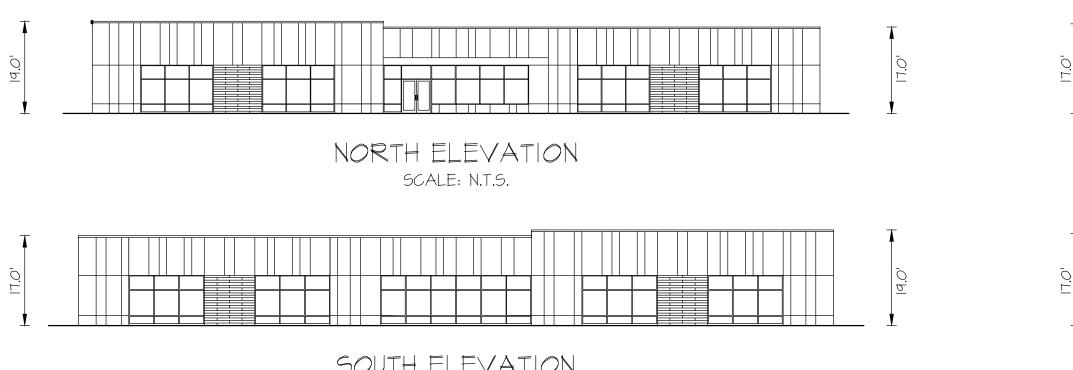
42CB ELEV. 335.482 N = 549,320.827 E = 1,366,327.333 42CC ELEV. = 345.984 N = 549.876.167 E = 1364.873.077



### **SHEET INDEX**

- I COVER SHEET 2 - EXISTING CONDITIONS & DEMOLITION PLAN 3 - SITE DEVELOPMENT PLAN 4 - SITE PLAN DETAILS
- 5 SITE PLAN DETAILS
- 6 GRADING PLAN
- 7 UTILITY PLAN & PROFILES 8 - SEDIMENT CONTROL PLAN
- 9 SEDIMENT CONTROL NOTES AND DETAILS 10 - LANDSCAPE PLAN
- II LANDSCAPE PLAN NOTES AND DETAILS 12 - STORM DRAIN & SWM DRAINAGE AREA MAP

## **BUILDING ELEVATIONS**



SOUTH ELEVATION SCALE: N.T.S.



WEST ELEVATION SCALE: N.T.S.

LECTION DISTRICT No. 6

ADDRESS AND PERMIT INFORMATION CHART BUILDING ADDRESS: 7115 COLUMBIA GATEMAY DRIVE COLUMBIA, MD 21046 SUBDIVISION NAME SECTION/AREA: PARCEL: PARCEL L COLUMBIA GATEWAY SECTION: N/A AREA: N/A PLAT REFERENCE: TAX MAP: GRID: | ELECTION DISTRICT: CENSUS TRACT: 6812 (PARCEL L) 43 6067.07 25755 (WATER EASEMENT) WATER & SEWER WATERSHED: E06 \$ 5333000

ief, Developaments...Engineering Division PLANNING ENGINEERING SURVEYING

DTVER75478A22B49A DTVERTSTORMENT Development

Chad Edmondson

APPROVED: HOWARD COUNTY HEALTH DEPARTMENT FOR PUBLIC WATER AND PUBLIC SEWER

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

PHONE: 301-421-4024 | BALT: 410-880-1820 | DC&VA: 301-989-2524 | FAX: 301-421-4186

Michael J. Davis

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t 5B4D5DD9470C4[ Docusigned by:

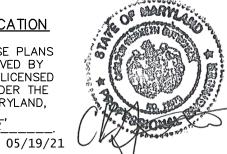
**EWM** DRAWN BY **EWM** CHECKED E 3909 NATIONAL DRIVE | SUITE 250 | BURTONSVILLE, MD 20866 | GLWPA.COM

**DDS** DATE

REVISION

OWNER/DEVELOPER: COLGATEDRIVE ASSOCIATES, LLC 6711 COLUMBIA GATEWAY DRIVE SUITE 300 COLUMBIA, MD 21046 ATTN: THOMAS FAHS TEL: 443-285-5647

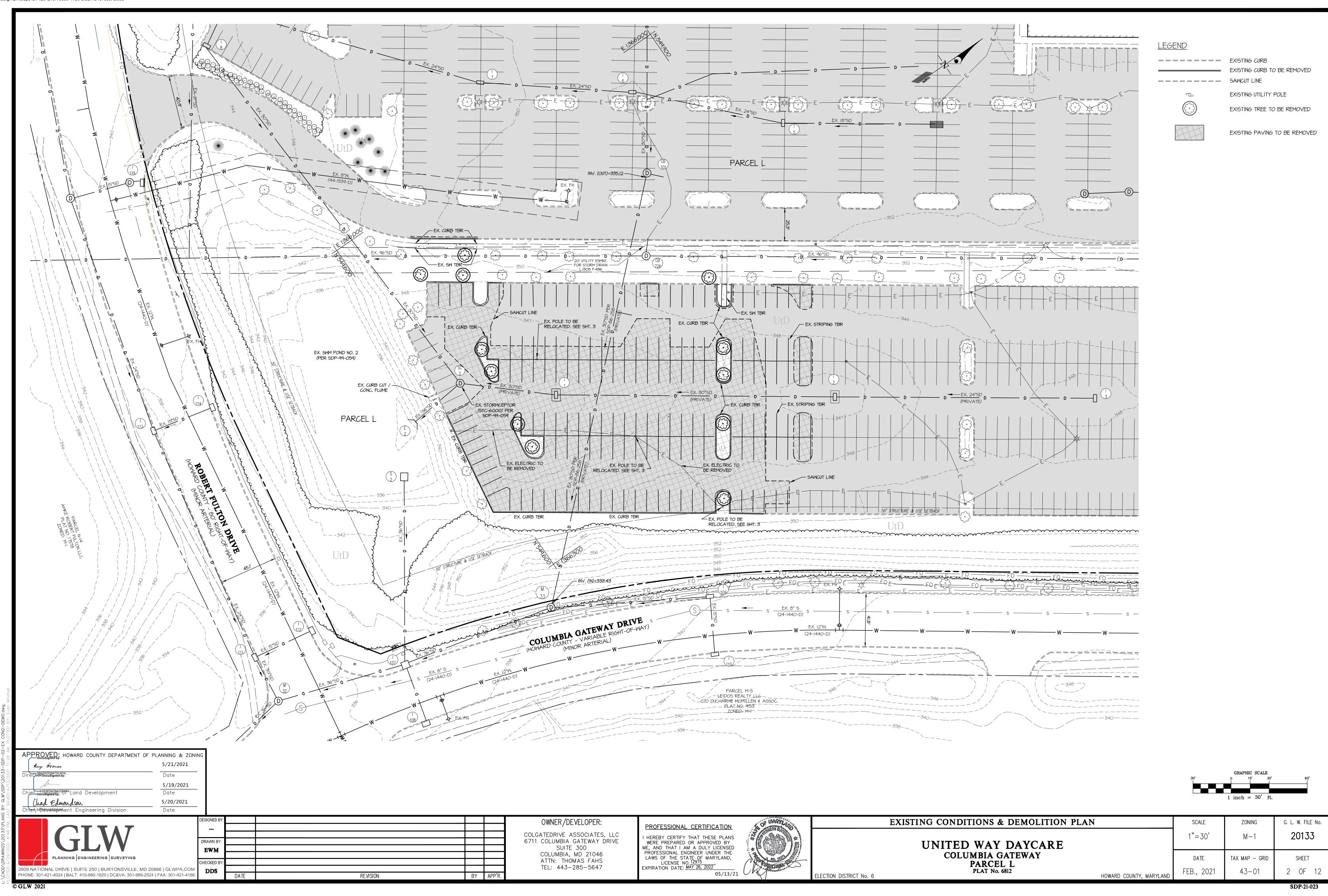
PROFESSIONAL CERTIFICATION HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 12975, EXPIRATION DATE: MAY 26, 2022

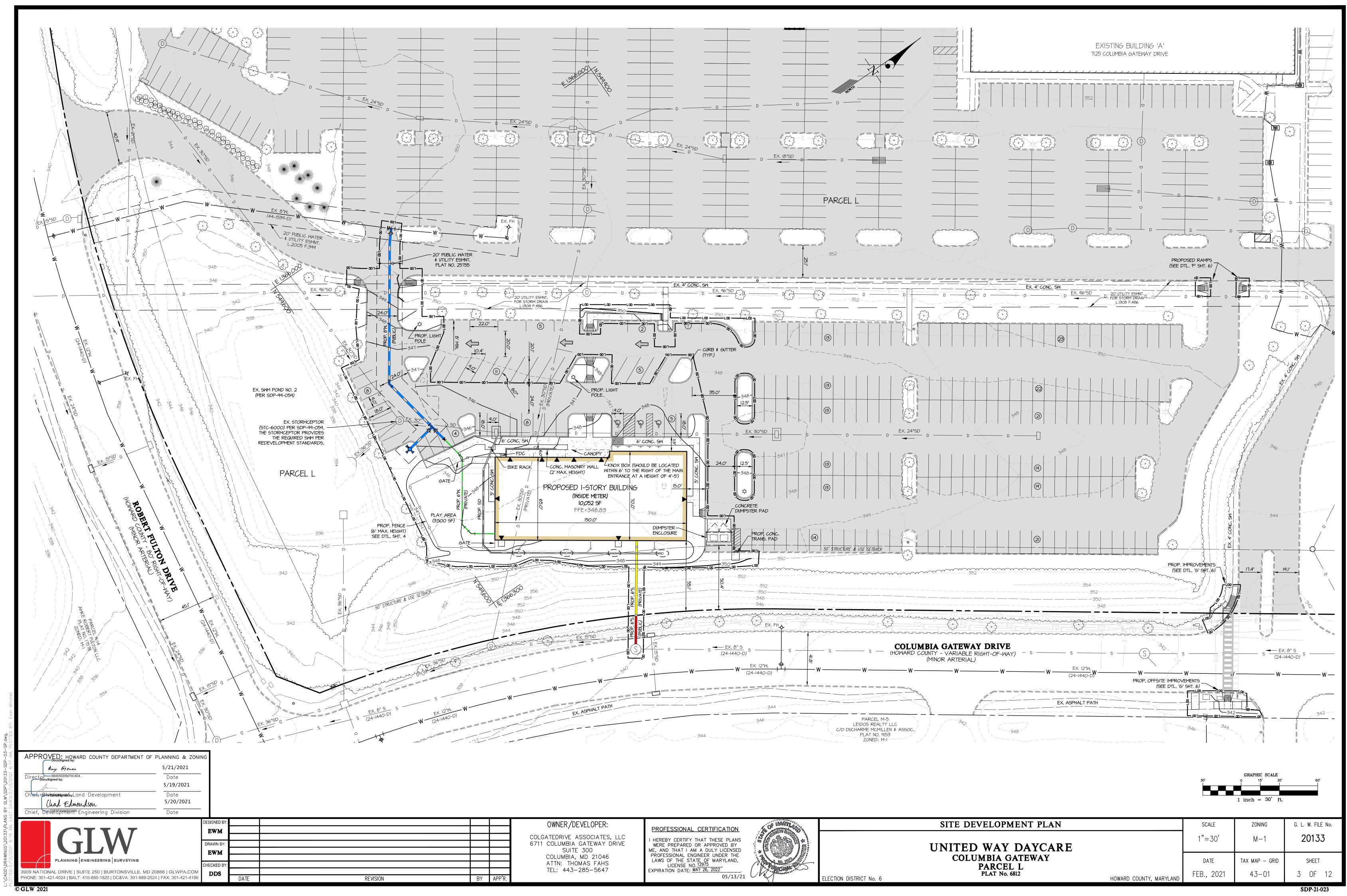


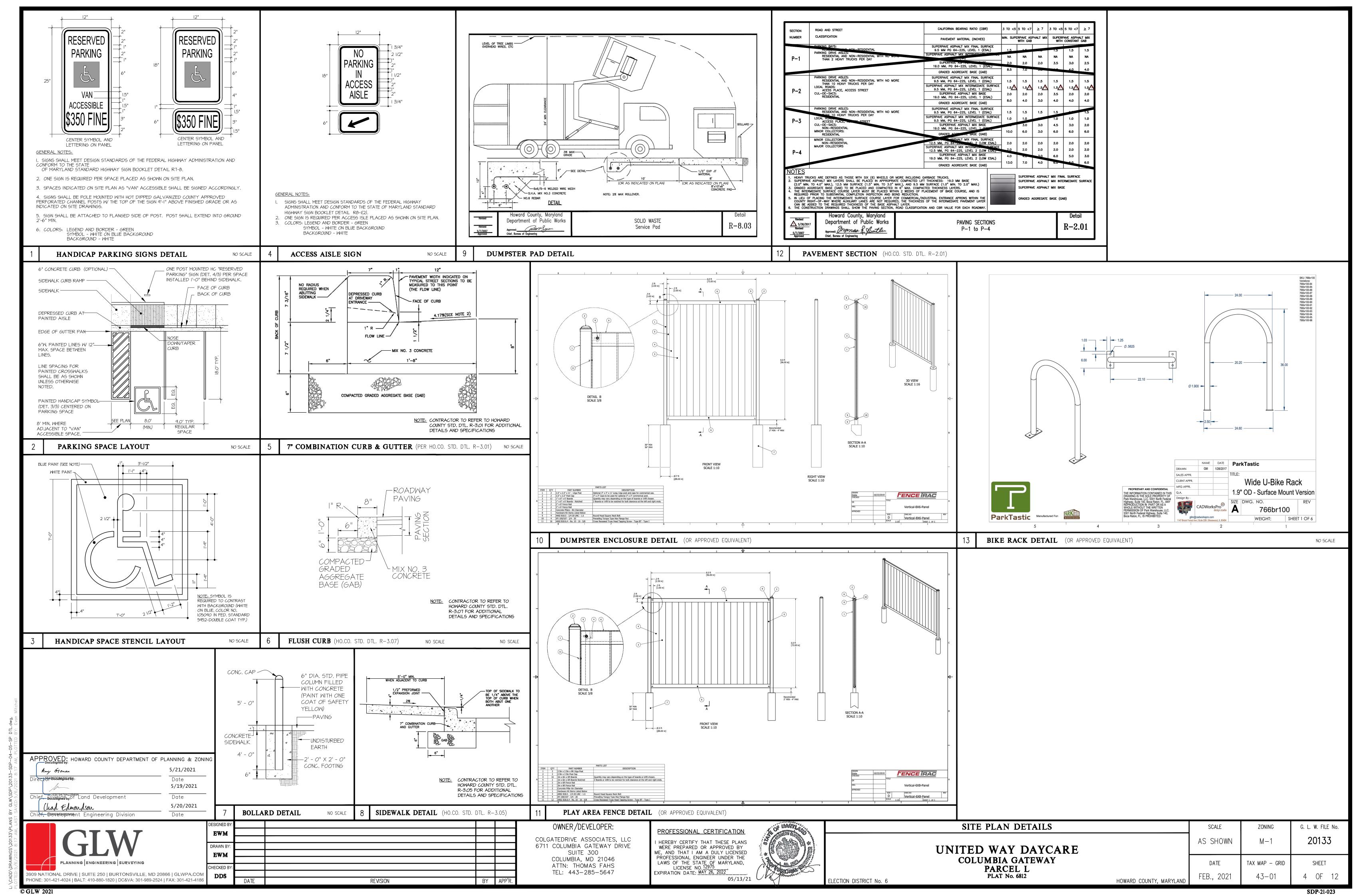
UNITED WAY DAYCARE **COLUMBIA GATEWAY** PARCEL L PLAT No. 6812

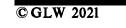
**COVER SHEET** 

# 5333000			
	SCALE	ZONING	G. L. W. FILE No.
	AS SHOWN	M-1	20133
	DATE	TAX MAP - GRID	SHEET
HOWARD COUNTY, MARYLAND	FEB., 2021	43-01	1 OF 12









Amy Gonan

Chief, Dolvis 1EB75478A22B49A Development

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PLANNING ENGINEERING SURVEYING

Chad Edmondson

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

5/21/2021

5/19/2021

5/20/2021

Date

Date

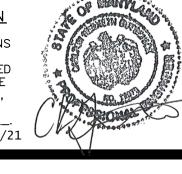
DocuSign Envelope ID: 4E34240A-5689-47B6-BCEA-B407580AB69D

**EWM** DRAWN BY **EWM** CHECKED BY 3909 NATIONAL DRIVE | SUITE 250 | BURTONSVILLE, MD 20866 | GLWPA.COM **DDS** PHONE: 301-421-4024 | BALT: 410-880-1820 | DC&VA: 301-989-2524 | FAX: 301-421-4186 DATE REVISION

COLGATEDRIVE ASSOCIATES, LLC 6711 COLUMBIA GATEWAY DRIVE SUITE 300 COLUMBIA, MD 21046 ATTN: THOMAS FAHS TEL: 443-285-5647

OWNER/DEVELOPER:

PROFESSIONAL CERTIFICATION I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND,
LICENSE NO. 12975
EXPIRATION DATE: MAY 26, 2022 05/13/21

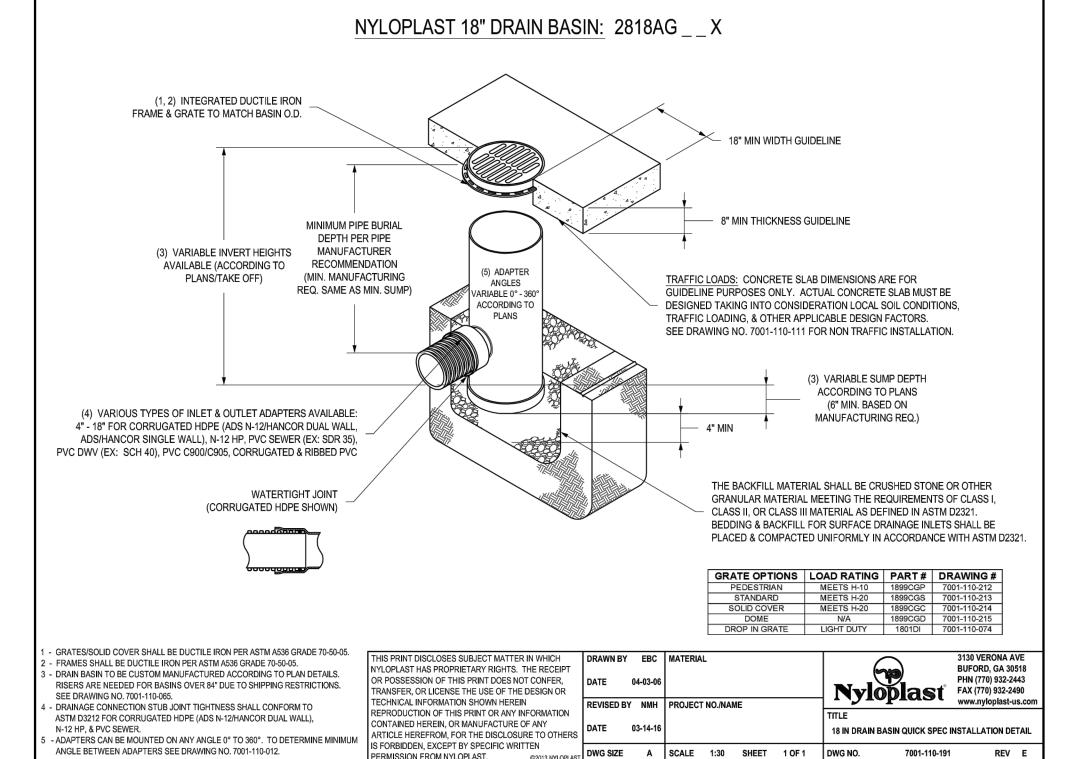


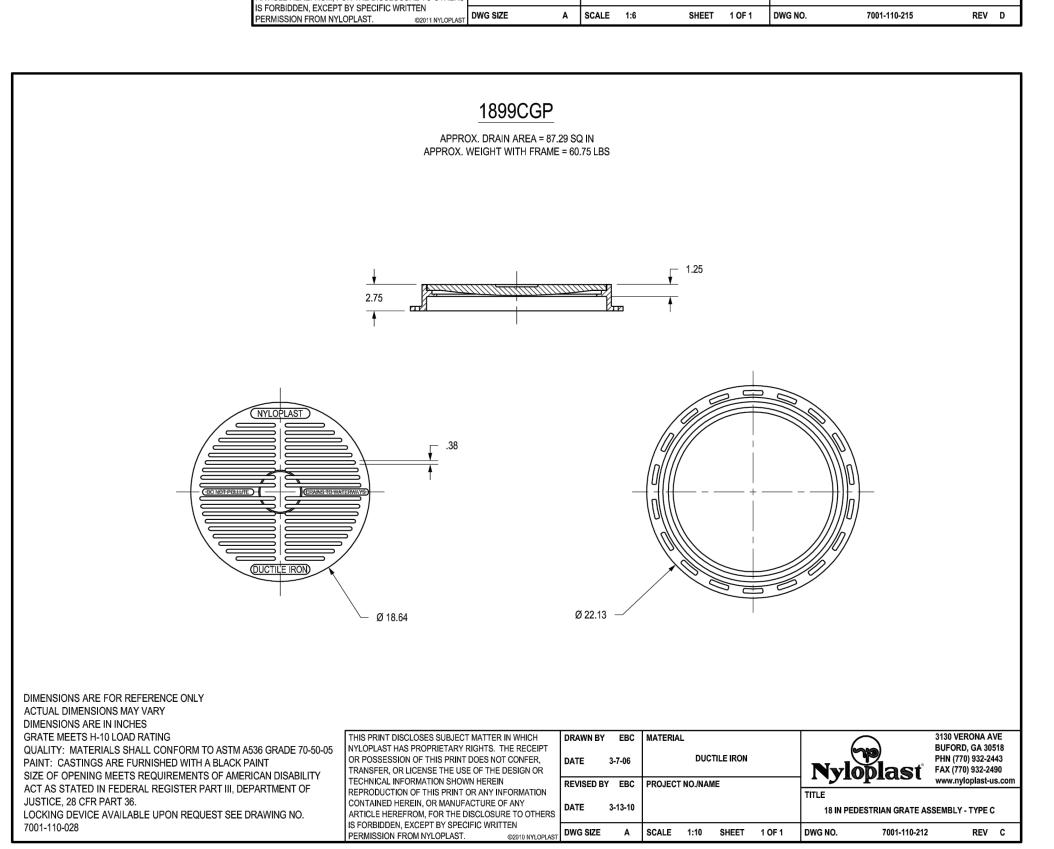
ELECTION DISTRICT No. 6

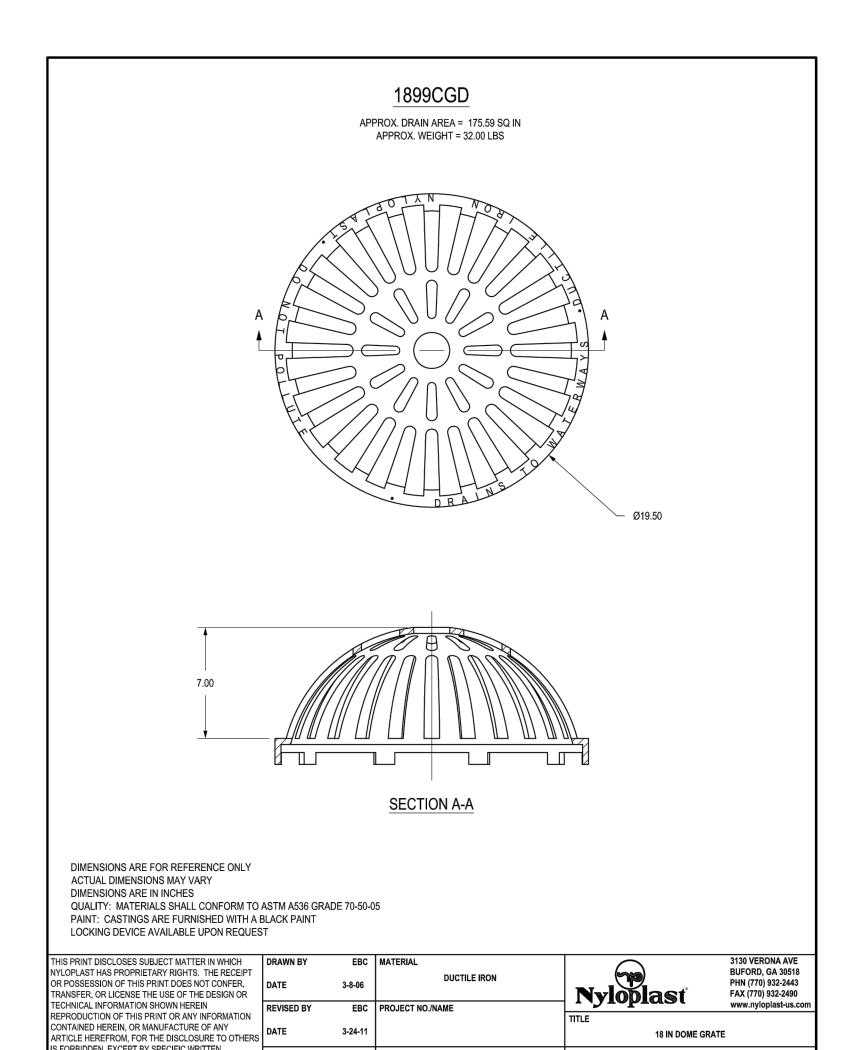
## UNITED WAY DAYCARE COLUMBIA GATEWAY PARCEL L PLAT No. 6812

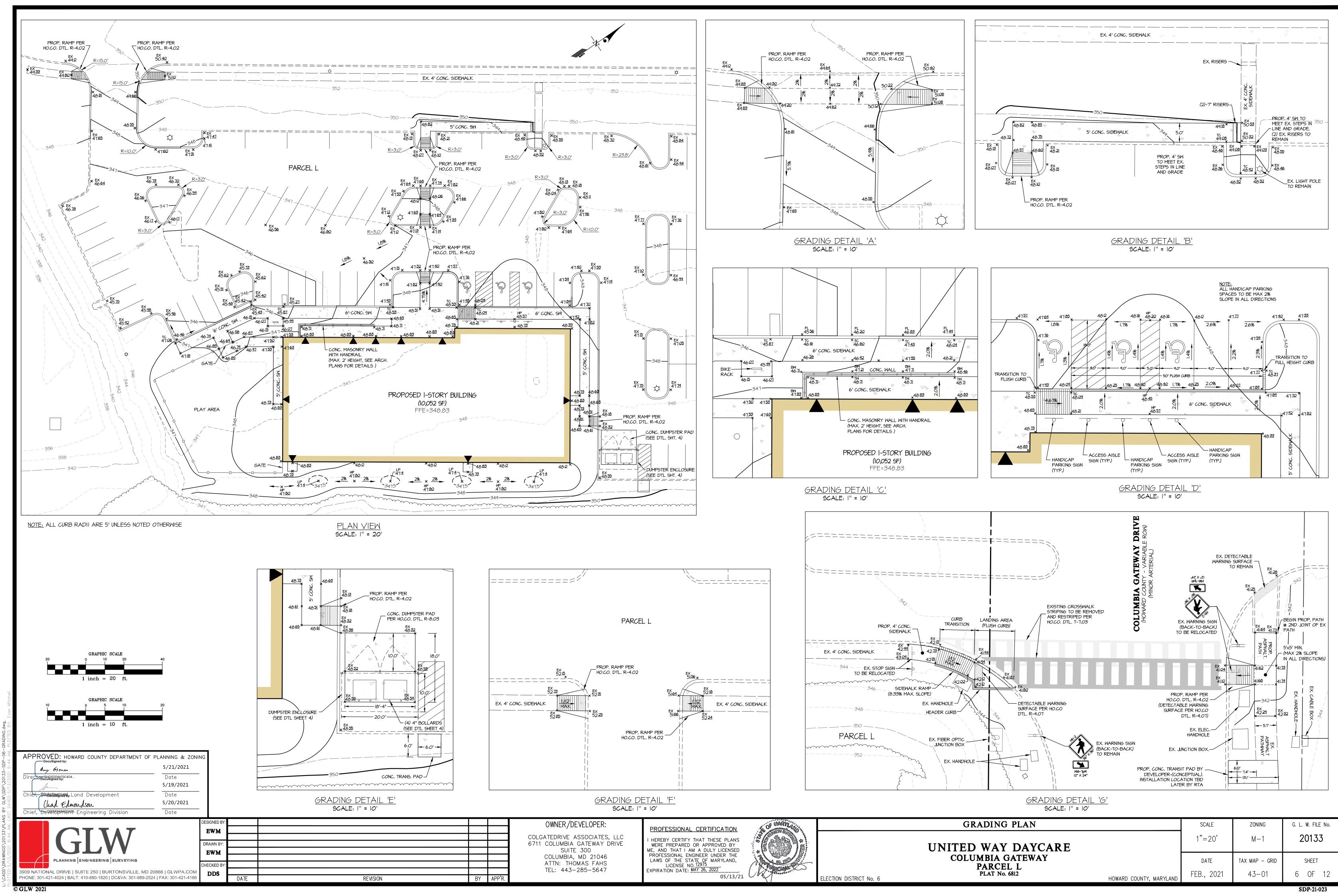
G. L. W. FILE No. ZONING 20133 TAX MAP - GRID SHEET FEB., 2021 5 OF 12 HOWARD COUNTY, MARYLAND

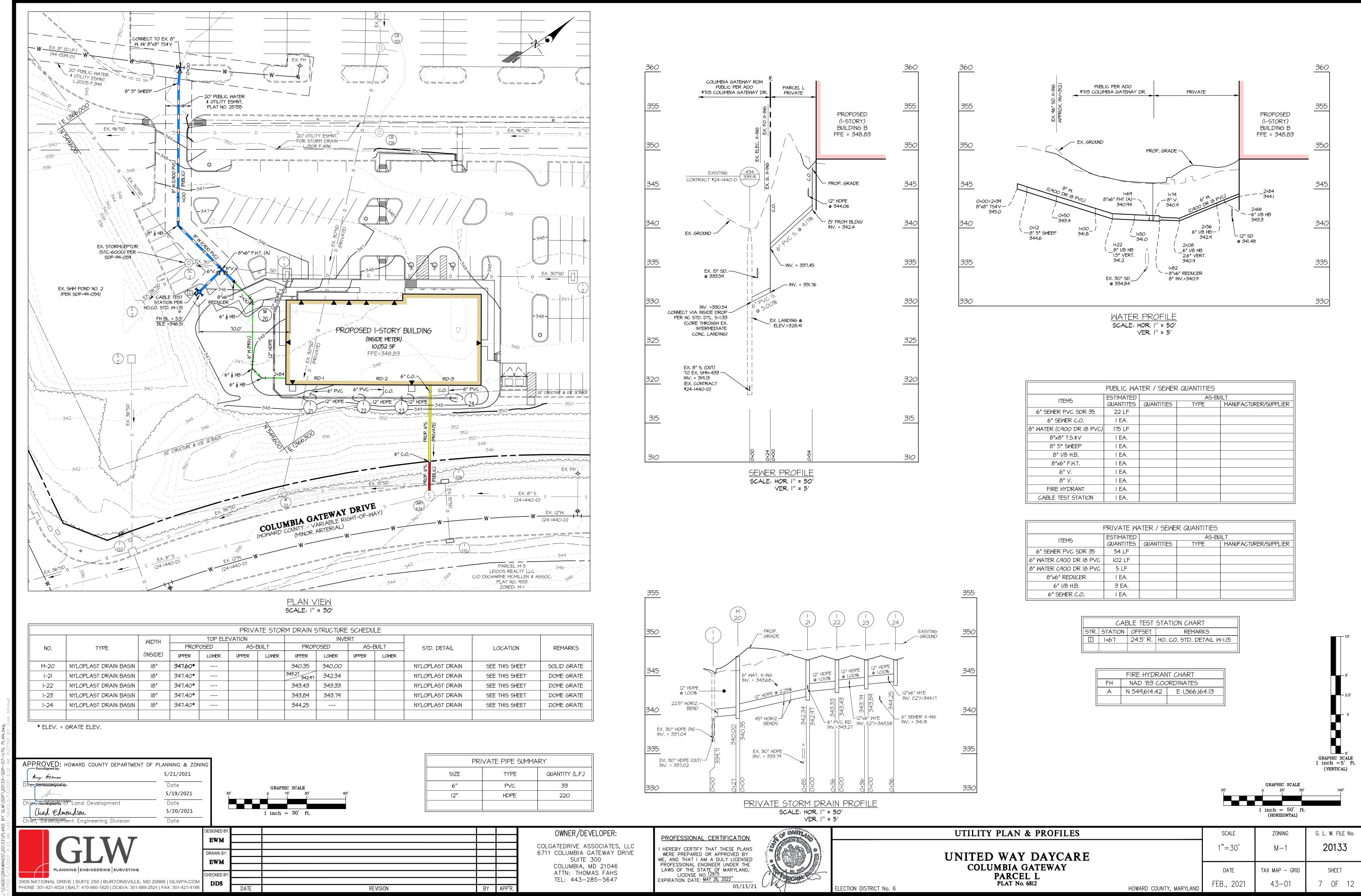
SITE PLAN DETAILS



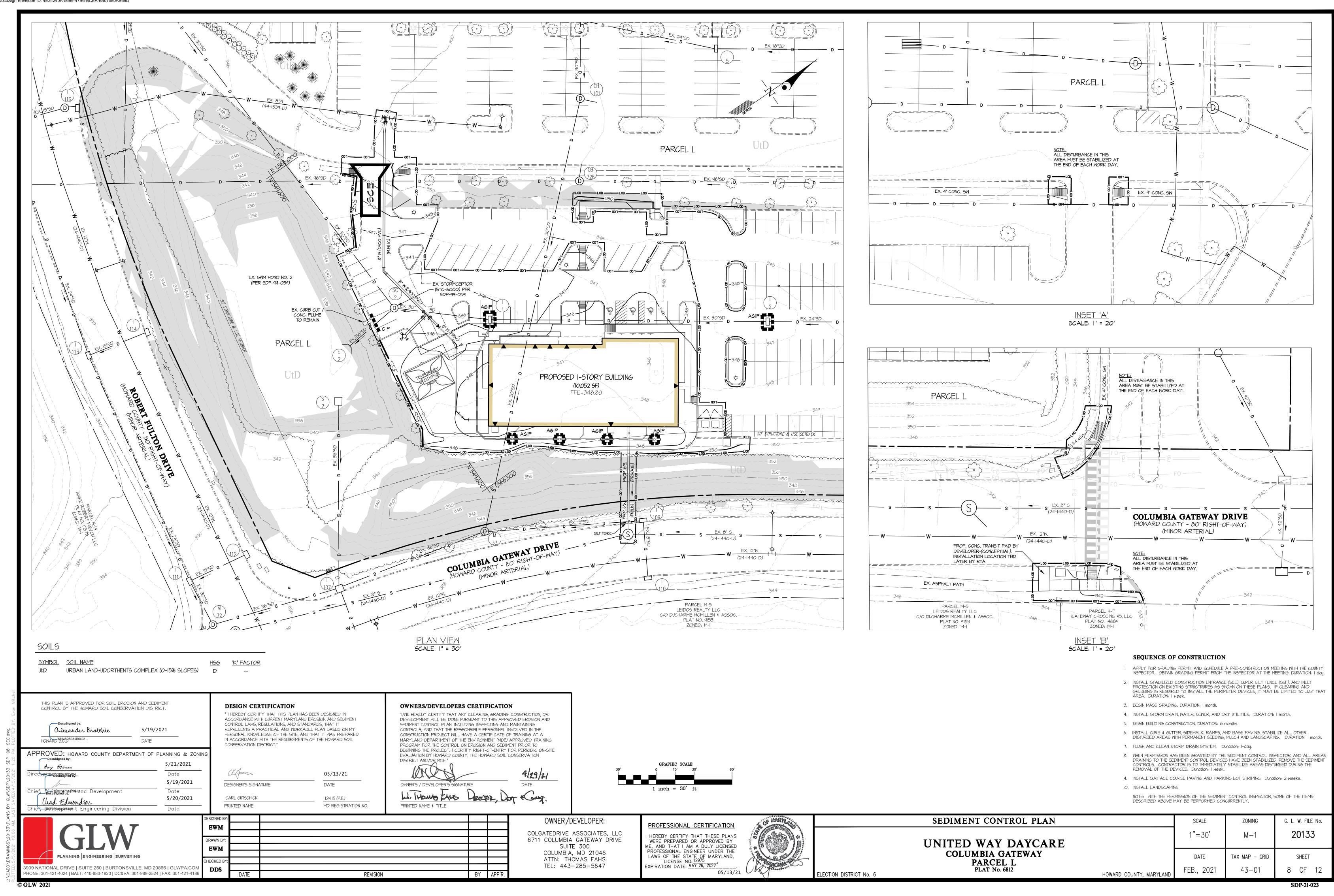








DP-21-023



### DocuSign Envelope ID: 4E34240A-5689-47B6-BCEA-B407580AB69D B-4-2 STANDARD AND SPECIFICATIONS FOR SOIL PREPARATION, TOPSOILING, AND SOIL AMENDMENTS <u>DEFINITION</u> THE PROCESS OF PREPARING THE SOILS TO SUSTAIN ADEQUATE VEGETATIVE STABILIZATION. TO PROVIDE A SUITABLE SOIL MEDIUM FOR VEGETATIVE GROWTH. CONDITIONS WHERE PRACTICE APPLIES WHERE VEGETATIVE STABILIZATION IS TO BE ESTABLISHED. A. SOIL PREPARATION I. TEMPORARY STABILIZATION a seedbed preparation consists of Loosening soil to a depth of 3 to 5 inches b IEANS OF SUITABLE AGRICULTURAL OR CONSTRUCTION EQUIPMENT, SUCH AS DISC HARROWS OR CHISEL PLOWS OR RIPPERS MOUNTED ON CONSTRUCTION EQUIPMENT. AFTER THE SOIL IS OOSENED, IT MUST NOT BE ROLLED OR DRAGGED SMOOTH BUT LEFT IN THE ROUGHENED CONDITION. SLOPES 3:1 OR FLATTER ARE TO BE TRACKED WITH RIDGES RUNNING PARALLEL ) THE CONTOUR OF THE SLOPE b. APPLY FERTILIZER AND LIME AS PRESCRIBED ON THE PLANS . INCORPORATE LIME AND FERTILIZER INTO THE TOP 3 TO 5 INCHES OF SOIL BY DISKING OR . PERMANENT STABILIZATION a. A SOIL TEST IS REQUIRED FOR ANY EARTH DISTURBANCE OF 5 ACRES OR MORE. THE MINIMUM SOIL CONDITIONS REQUIRED FOR PERMANENT VEGETATIVE ESTABLISHMENT ARE: I. SOIL PH BETWEEN 6.0 AND 7.0. II. SOLUBLE SALTS LESS THAN 500 PARTS PER MILLION (PPM). III. SOIL CONTAINS LESS THAN 40 PERCENT CLAY BUT ENOUGH FINE GRAINED MATERIAL (GREATER THAN 30 PERCENT SILT PLUS CLAY) TO PROVIDE THE CAPACITY TO HOLD A MODERATE AMOUNT OF MOISTURE. AN EXCEPTION: IF LOVEGRASS WILL BE PLANTED, THEN A SANDY SOIL (LESS THAN 30 PERCENT SILT PLUS CLAY) WOULD BE ACCEPTABLE. IV. SOIL CONTAINS 1.5 PERCENT MINIMUM ORGANIC MATTER BY WEIGHT. V. SOIL CONTAINS SUFFICIENT PORE SPACE TO PERMIT ADEQUATE ROOT PENETRATION. b. APPLICATION OF AMENDMENTS OR TOPSOIL IS REQUIRED IF ON-SITE SOILS DO NOT MEET THE ABOVE CONDITIONS. UNNECESSARY ON NEWLY DISTURBED AREAS. TOPSOILING TOPSOIL IS PLACED OVER PREPARED SUBSOIL PRIOR TO ESTABLISHMENT OF PERMANEN MATERIALS TOXIC TO PLANTS, AND/OR UNACCEPTABLE SOIL GRADATION. SECTION IN THE SOIL SURVEY PUBLISHED BY USDA-NRCS. TOPSOILING IS LIMITED TO AREAS HAVING 2:1 OR FLATTER SLOPES WHERE:

: GRADED AREAS MUST BE MAINTAINED IN A TRUE AND EVEN GRADE AS SPECIFIED ON THE APPROVED PLAN, THEN SCARIFIED OR OTHERWISE LOOSENED TO A DEPTH OF 3 TO 5 INCHES. d. APPLY SOIL AMENDMENTS AS SPECIFIED ON THE APPROVED PLAN OR AS INDICATED BY THE

A MIX SOIL AMENDMENTS INTO THE TOP 3 TO 5 INCHES OF SOIL BY DISKING OR OTHER SUITABLE MEANS RAKE LAWN AREAS TO SMOOTH THE SURFACE REMOVE LARGE OBJECTS LIKE STONES AND BRANCHES. AND READY THE AREA FOR SEED APPLICATION. LOOSEN RFACE SOIL BY DRAGGING WITH A HEAVY CHAIN OR OTHER EQUIPMENT TO ROUGHEN TH SURFACE WHERE SITE CONDITIONS WILL NOT PERMIT NORMAL SEEDBED PREPARATION. TRACK OR FLATTER WITH TRACKED EQUIPMENT LEAVING THE SOIL IN AN IRREGULAR CONDITION WITH RIDGES RUNNING PARALLEL TO THE CONTOUR OF THE SLOPE. LEAVE THE TOP 1 TO 3 INCHES OF SOIL LOOSE AND FRIABLE. SEEDBED LOOSENING MAY BE

- VEGETATION. THE PURPOSE IS TO PROVIDE A SUITABLE SOIL MEDIUM FOR VEGETATIVE GROWTH. SOILS OF CONCERN HAVE LOW MOISTURE CONTENT, LOW NUTRIENT LEVELS, LOW PH,
- TOPSOIL SALVAGED FROM AN EXISTING SITE MAY BE USED PROVIDED IT MEETS THE STANDARDS AS SET FORTH IN THESE SPECIFICATIONS. TYPICALLY, THE DEPTH OF TOPSOIL TO BE SALVAGED FOR A GIVEN SOIL TYPE CAN BE FOUND IN THE REPRESENTATIVE SOIL PROFILE
- a. THE TEXTURE OF THE EXPOSED SUBSOIL/PARENT MATERIAL IS NOT ADEQUATE TO PRODUCE THE SOIL MATERIAL IS SO SHALLOW THAT THE ROOTING ZONE IS NOT DEEP ENOUGH TO SUPPORT PLANTS OR FURNISH CONTINUING SUPPLIES OF MOISTURE AND PLANT NUTRIENTS.

THE ORIGINAL SOIL TO BE VEGETATED CONTAINS MATERIAL TOXIC TO PLANT GROWTH.

- d. THE SOIL IS SO ACIDIC THAT TREATMENT WITH LIMESTONE IS NOT FEASIBLE. 4. AREAS HAVING SLOPES STEEPER THAN 2:1 REQUIRE SPECIAL CONSIDERATION AND DESIGN.
- TOPSOIL SPECIFICATIONS: SOIL TO BE USED AS TOPSOIL MUST MEET THE FOLLOWING a. TOPSOIL MUST BE A LOAM, SANDY LOAM, CLAY LOAM, SILT LOAM, SANDY CLAY LOAM, OR
- SCIENTIST AND APPROVED BY THE APPROPRIATE APPROVAL AUTHORITY. TOPSOIL MUST NOT F A MIXTURE OF CONTRASTING TEXTURED SUBSOILS AND MUST CONTAIN LESS THAN 5 PERCENT BY VOLUME OF CINDERS, STONES, SLAG, COARSE FRAGMENTS, GRAVEL, STICKS, ROOTS, TRASH, OR OTHER MATERIALS LARGER THAN 1.5 INCHES IN DIAMETER. b. TOPSOIL MUST BE FREE OF NOXIOUS PLANTS OR PLANT PARTS SUCH AS BERMUDA GRASS, QUACK GRASS, JOHNSON GRASS, NUT SEDGE, POISON IVY, THISTLE, OR OTHERS AS
- . TOPSOIL SUBSTITUTES OR AMENDMENTS. AS RECOMMENDED BY A QUALIFIED AGRONOMIST OR
- SOIL SCIENTIST AND APPROVED BY THE APPROPRIATE APPROVAL AUTHORITY, MAY BE USED IN LIEU OF NATURAL TOPSOIL. TOPSOIL APPLICATION

- 1. EROSION AND SEDIMENT CONTROL PRACTICES MUST BE MAINTAINED WHEN APPLYING TOPSOIL ). UNIFORMLY DISTRIBUTE TOPSOIL IN A 5 TO 8 INCH LAYER AND LIGHTLY COMPACT TO A MINIMUM THICKNESS OF 4 INCHES. SPREADING IS TO BE PERFORMED IN SUCH A MANNER THAT SODDING OR SEEDING CAN PROCEED WITH A MINIMUM OF ADDITIONAL SOIL PREPARATION AND TILLAGE. ANY IRREGULARITIES IN THE SURFACE RESULTING FROM TOPSOILING OR OTHER OPERATIONS MUST BE CORRECTED IN ORDER TO PREVENT THE FORMATION OF DEPRESSIONS OR WATER POCKET TOPSOIL MUST NOT BE PLACED IF THE TOPSOIL OR SUBSOIL IS IN A FROZEN OR MUDDY
- CONDITION. WHEN THE SUBSOIL IS EXCESSIVELY WET OR IN A CONDITION THAT MAY OTHERWISE BE DETRIMENTAL TO PROPER GRADING AND SEEDBED PREPARATION.

#### SOIL AMENDMENTS (FERTILIZER AND LIME SPECIFICATIONS)

- SOIL TESTS MUST BE PERFORMED TO DETERMINE THE EXACT RATIOS AND APPLICATION RATES FOR BOTH LIME AND FERTILIZER ON SITES HAVING DISTURBED AREAS OF 5 ACRES OR MORE. SOIL ANALYSIS MAY BE PERFORMED BY A RECOGNIZED PRIVATE OR COMMERCIAL LABORATORY. SOIL SAMPLES TAKEN FOR ENGINEERING PURPOSES MAY ALSO BE USED FOR FERTILIZERS MUST BE UNIFORM IN COMPOSITION, FREE FLOWING AND SUITABLE FOR ACCURATE APPLICATION BY APPROPRIATE EQUIPMENT. MANURE MAY BE SUBSTITUTED FOR FERTILIZER WITH PRIOR APPROVAL FROM THE APPROPRIATE APPROVAL AUTHORITY. FERTILIZERS MUST ALL BE DELIVERED TO THE SITE FULLY LABELED ACCORDING TO THE
- APPLICABLE LAWS AND MUST BEAR THE NAME, TRADE NAME OR TRADEMARK AND WARRANTY OF THE PRODUCER. LIME MATERIALS MUST BE GROUND LIMESTONE (HYDRATED OR BURNT LIME MAY BE SUBSTITUTED EXCEPT WHEN HYDROSEEDING) WHICH CONTAINS AT LEAST 50 PERCENT TOTAL OXIDES (CALCIUM OXIDE PLUS MAGNESIUM OXIDE). LIMESTONE MUST BE GROUND TO SUCH
- FINENESS THAT AT LEAST 50 PERCENT WILL PASS THROUGH A #100 MESH SIEVE AND 98 TO 100 PERCENT WILL PASS THROUGH A #20 MESH SIEVE. LIME AND FERTILIZER ARE TO BE EVEN'LY DISTRIBUTED AND INCORPORATED INTO THE TOP 3 5 INCHES OF SOIL BY DISKING OR OTHER SUITABLE MEANS. WHERE THE SUBSOIL IS EITHER HIGHLY ACIDIC OR COMPOSED OF HEAVY CLAYS. SPREAD GROUND LIMESTONE AT THE AT THE RATE OF 4 TO 8 TONS/ACRE (200-400 POUNDS PER 1,000 SQUARE FEET) PRIOR TO THE PLACEMENT OF TOPSOIL.

#### THIS PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

Olexander Bratchie

65648D5BA9B64C1

7,10	
APPROVED: HOWARD COUNTY DEPARTMENT OF	PLANNING & ZONING
Any Gonan	5/21/2021
Director 584D5DD9470C4D4	Date
M	5/19/2021
Chief, Dispision Development	Date

	• •	
	Any Glonan	5/21/2021
irecto	-5B4D5DD9470C4D4	Date
	b-	5/19/2021
hief, [	DEPISATE ALZ BARAL and Development	Date
	Chad Edmondson	5/20/2021
hief, Y	Devotopasterates.Engineering Division	Date

5/19/2021

PRINTED NAME MD REGISTRATION NO. **EWM** DRAWN BY **EWM** CHECKED E PHONE: 301-421-4024 | BALT: 410-880-1820 | DC&VA: 301-989-2524 | FAX: 301-421-4186 DATE REVISION

05/13/21

12975 (P.E.)

HOWARD SOIL CONSERVATION DISTRICT (HSCD) STANDARD SEDIMENT CONTROL NOTES

A PRE-CONSTRUCTION MEETING MUST OCCUR WITH THE HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS, CONSTRUCTION INSPECTION DIVISION (CID), 410-313-1855 AFTER THE FUTURE LOD AND PROTECTED AREAS ARE MARKED CLEARLY'ÍN THE FIELD. A MINIMUM OF 48 HOUR NOTICE TO CID MUST BE GIVEN AT THE FOLLOWING STAGES:

B-4-3 STANDARDS AND SPECIFICATIONS FOR SEEDING and

MULCHING

<u>DEFINITION</u>

THE APPLICATION OF SEED AND MULCH TO ESTABLISH VEGETATIVE COVER.

TO PROTECT DISTURBED SOILS FROM EROSION DURING AND AT THE END OF

CONDITIONS WHERE PRACTICE APPLIES

TO THE SURFACE OF ALL PERIMETER CONTROLS, SLOPES, AND ANY DISTURBED AREA

NOT UNDER ACTIVE GRADING.

a. ALL SEED MUST MEET THE REQUIREMENTS OF THE MARYLAND STATE SEED LAW

ALL SEED MUST BE SUBJECT TO RE-TESTING BY A RECOGNIZED SEED LABORATORY

ALL SEED USED MUST HAVE BEEN TESTED WITHIN THE 6 MONTHS IMMEDIATELY

TABLE B.4 REGARDING THE QUALITY OF SEED. SEED TAGS MUST BE AVAILABLE UPON REQUEST TO THE INSPECTOR TO VERIFY TYPE OF SEED AND SEEDING RATI

ONLY IF THE GROUND IS FROZEN. THE APPROPRIATE SEEDING MIXTURE MUST BE

INOCULANTS: THE INOCULANT FOR TREATING LEGUME SEED IN THE SEED MIXTURES

MUST BE A PURE CULTURE OF NITROGEN FIXING BACTERIA PREPARED SPECIFICALLY

PACKAGE, USE FOUR TIMES THE RECOMMENDED RATE WHEN HYDROSEFDING, NOTE

IT IS VERY IMPORTANT TO KEEP INOCULANT AS COOL AS POSSIBLE UNTIL USED.

TEMPERATURES ABOVE 75 TO 80 DEGREES FAHRENHEIT CAN WEAKEN BACTERIA

d. SOD OR SEED MUST NOT BE PLACED ON SOIL WHICH HAS BEEN TREATED WITH SOIL

ELAPSED (14 DAYS MIN.) TO PERMIT DISSIPATION OF PHYTO-TOXIC MATERIALS.

a. DRY SEEDING: THIS INCLUDES USE OF CONVENTIONAL DROP OR BROADCAST

INCORPORATE SEED INTO THE SUBSOIL AT THE RATES PRESCRIBED ON

TEMPORARY SEEDING TABLE B.1, PERMANENT SEEDING TABLE B.3, OR

ii. APPLY SEED IN TWO DIRECTIONS, PERPENDICULAR TO EACH OTHER. APPLY HALF THE SEEDING RATE IN EACH DIRECTION. ROLL THE SEEDED AREA WITH A

WEIGHTED ROLLER TO PROVIDE GOOD SEED TO SOIL CONTACT.

MUST BE FIRM AFTER PLANTING.

K20 (POTASSIUM) 200 POUNDS PER ACRE

SEED AND FERTILIZER).

LIME WHEN HYDROSEEDING

. MULCH MATERIALS (IN ORDER OF PREFERENCE)

AREAS WHERE ONE SPECIES OF GRASS IS DESIRED

INSPECTION OF THE UNIFORMLY SPREAD SLURRY

HALF THE SEEDING RATE IN EACH DIRECTION.

b. DRILL OR CULTIPACKER SEEDING: MECHANIZED SEEDERS THAT APPLY AND COVER

CULTIPACKING SEEDERS ARE REQUIRED TO BURY THE SEED IN SUCH A

FASHION AS TO PROVIDE AT LEAST 1/4 INCH OF SOIL COVERING. SEEDBED

APPLY SEED IN TWO DIRECTIONS, PERPENDICULAR TO EACH OTHER. APPLY

IF FERTILIZER IS BEING APPLIED AT THE TIME OF SEEDING, THE APPLICATION

RATES SHOULD NOT EXCEED THE FOLLOWING: NITROGEN, 100 POUNDS PER ACRE

TOTAL OF SOLUBLE NITROGEN; P205 (PHOSPHOROUS), 200 POUNDS PER ACRE;

ii. LIME: USE ONLY GROUND AGRICULTURAL LIMESTONE (UP TO 3 TONS PER ACRE

MAY BE APPLIED BY HYDROSEEDING). NORMALLY, NOT MORE THAN 2 TONS ARE

MIX SEED AND FERTILIZER ON SITE AND SEED IMMEDIATELY AND WITHOUT

a. STRAW CONSISTING OF THOROUGHLY THRESHED WHEAT, RYE, OAT, OR BARLEY AND

REASONABLY BRIGHT IN COLOR. STRAW IS TO BE FREE OF NOXIOUS WEED SEEDS AS SPECIFIED IN THE MARYLAND SEED LAW AND NOT MUSTY, MOLDY, CAKED,

DECAYED, OR EXCESSIVELY DUSTY. NOTE: USE ONLY STERILE STRAW MULCH IN

CELLULOSE PROCESSED INTO A ÚNIFORM FIBROUS PHYSICAL STATE

. WOOD CELLULOSE FIBER MULCH (WCFM) CONSISTING OF SPECIALLY PREPARED WOOD

WCFM IS TO BE DYED GREEN OR CONTAIN A GREEN DYE IN THE PACKAGE

ii. WCFM, INCLUDING DYE, MUST CONTAIN NO GERMINATION OR GROWTH INHIBITING

MANNER THAT THE WOOD CELLULOSE FIBER MULCH WILL REMAIN IN UNIFORM SUSPENSION IN WATER UNDER AGITATION AND WILL BLEND WITH SEED,

FERTILIZER AND OTHER ADDITIVES TO FORM A HOMOGENEOUS SLURRY. THE

APPLICATION, HAVING MOISTURE ABSORPTION AND PERCOLATION PROPERTIES

APPROXIMATELY 10 MILLIMETERS, DIAMETER APPROXIMATELY 1 MILLIMETER, PH

RANGE OF 4.0 TO 8.5, ASH CONTENT OF 1.6 PERCENT MAXIMUM AND WATER

AND MUST COVER AND HOLD GRASS SEED IN CONTACT WITH THE SOIL

iii. WCFM MATERIALS ARE TO BE MANUFACTURED AND PROCESSED IN SUCH A

MULCH MATERIAL MUST FORM A BLOTTER-LIKE GROUND COVER. ON

WCFM MATERIAL MUST NOT CONTAIN ELEMENTS OR COMPOUNDS AT

b. WHEN STRAW MULCH IS USED, SPREAD IT OVER ALL SEEDED AREAS AT THE RATE

MULCH TO ACHIEVE A UNIFORM DISTRIBUTION AND DEPTH SO THAT THE SOIL

TONS PER ACRE TO A UNIFORM LOOSE DEPTH OF 1 TO 2 INCHES. APPLY

URFACE IS NOT EXPOSED. WHEN USING A MULCH ANCHORING TOOL, INCREASE THE

WOOD CELLULOSE FIBER USED AS MULCH MUST BE APPLIED AT A NET DRY WEIGHT

F 1500 POUNDS PER ACRE. MIX THE WOOD CELLULOSE FIBER WITH WATER TO

ATTAIN A MIXTURE WITH A MAXIMUM OF 50 POUNDS OF WOOD CELLULOSE FIBER

a. PERFORM MULCH ANCHORING IMMEDIATELY FOLLOWING APPLICATION OF MULCH TO

MINIMIZE LOSS BY WIND OR WATER. THIS MAY BE DONE BY ONE OF THE FOLLOWING

METHODS (LISTED BY PREFERENCE), DEPENDING UPON THE SIZE OF THE AREA AND

PUNCH AND ANCHOR MULCH INTO THE SOIL SURFACE A MINIMUM OF 2 INCHES.

SLOPES WHERE EQUIPMENT CAN OPERATE SAFELY. IF USED ON SLOPING LAND,

ELLULOSE FIBER WITH WATER AT A MAXIMUM OF 50 POUNDS OF WOOD

SYNTHETIC BINDERS SUCH AS ACRYLIC DLR (AGRO-TACK), DCA-7

LIGHTWEIGHT PLASTIC NETTING MAY BE STAPLED OVER THE MULCH

ACCORDING TO MANUFACTURER RECOMMENDATIONS. NETTING IS USUALLY

AVAILABLE IN ROLLS 4 TO 15 FEET WIDE AND 300 TO 3,000 FEET LONG

" I HEREBY CERTIFY THAT THIS PLAN HAS BEEN DESIGNED IN

CONTROL LAWS, REGULATIONS, AND STANDARDS, THAT IT

ACCORDANCE WITH CURRENT MARYLAND EROSION AND SEDIMENT

REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY

IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL

PERSONAL KNOWLEDGE OF THE SITE, AND THAT IT WAS PREPARED

THIS PRACTICE IS MOST FEFECTIVE ON LARGE AREAS. BUT IS LIMITED TO FLATTER

WOOD CELLULOSE FIBER MAY BE USED FOR ANCHORING STRAW. APPLY THE

FIBER BINDER AT A NET DRY WEIGHT OF 750 POUNDS PER ACRE. MIX THE WOOD

PETROSET, TERRA TAX II, TERRA MANUFACTURER.`APPLICATION´OF LIQUIÓ BINDERS

CATCHES MULCH, SUCH AS IN VALLEYS AND ON CRESTS OF BANKS. USE OF

A MULCH ANCHORING TOOL IS A TRACTOR DRAWN IMPLEMENT DESIGNED TO

v. WCFM MUST CONFORM TO THE FOLLOWING PHYSICAL REQUIREMENTS: FIBER

WITHOUT INHIBITING THE GROWTH OF THE GRASS SEEDLINGS

CONCENTRATION LEVELS THAT WILL BE PHYTO-TOXIC

1. APPLY MULCH TO ALL SEEDED AREAS IMMEDIATELY AFTER SEEDING

HOLDING CAPACITY OF 90 PERCENT MINIMUM.

THIS PRACTICE SHOULD FOLLOW THE CONTOUR.

CELLULOSE FIBER PER 100 GALLONS OF WATER.

ASPHALT BINDERS IS STRICTLY PROHIBITED

DESIGN CERTIFICATION

CONSERVATION DISTRICT."

Clare

CARL GUTSCHICK

DESIGNER'S SIGNATURE

NEEDS TO BE HEAVIER AT THE EDGES WHERE WIND

. APPLICATION

PER 100 GALLONS OF WATER.

APPROPRIATE COLOR TO FACILITATE VISUAL

iv. WHEN HYDROSEEDING DO NOT INCORPORATE SEED INTO THE SOIL.

APPLIED BY HYDROSEEDING AT ANY ONE TIME. DO NOT USE BURNT OR HYDRATED

. HYDROSEEDING: APPLY SEED UNIFORMLY WITH HYDROSEEDER (SLURRY INCLUDES

STERILANTS OR CHEMICALS USED FOR WEED CONTROL UNTIL SUFFICIENT TIME HAS

PRECEDING THE DATE OF SOWING SUCH MATERIAL ON ANY PROJECT, REFER T

b. MULCH ALONE MAY BE APPLIED BETWEEN THE FALL AND SPRING SEEDING DATE

FOR THE SPECIES. INOCULANTS MUST NOT BE USED LATER THAN THE DATE

INDICATED ON THE CONTAINER, ADD FRESH INOCULANTS AS DIRECTED ON THE

A. SEEDING

. APPLICATION

CONSTRUCTION.

A. PRIOR TO THE START OF EARTH DISTURBANCE. B. UPON COMPLETION OF THE INSTALLATION OF PERIMETER EROSION AND SEDIMENT CONTROLS, BUT BEFORE PROCEEDING WITH ANY OTHER EARTH DISTURBANCE OR C. PRIOR TO THE START OF ANOTHER PHASE OF CONSTRUCTION OR OPENING OF

ANOTHER GRADING UNIT. D. PRIOR TO THE REMOVAL OR MODIFICATION OF SEDIMENT CONTROL PRACTICES. OTHER BUILDING OR GRADING INSPECTION APPROVALS MAY NOT BE JTHORIZED UNTIL THIS INITIAL APPROVAL BY THE INSPECTION AGAENCY IS LATED STATE AND FEDERAL PERMITS SHALL BE

ORDINATION AND TO AVOID CONFLICTS WITH THIS PLAN. ALL VEGETATIVE AND STRUCTURAL PRACTICES ARE TO BE INSTALLED ACCORDING TO THE PROVISIONS OF THIS PLAN AND ARE TO BE IN CONFORMANCE WITH THE "2011 MARYLAND" STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL" AND

FOLLOWING INITIAL SOIL DISTURBANCE OR RE-DISTURBANCE. PERMANENT OR TEMPORAR STABILIZATION IS REQUIRED WITHIN THREE (3) CALENDAR DAYS AS TO THE SURFACE OF ALL PERIMETER CONTROLS, DIKES, SWALES, DITCHES, PERIMETER SLOPES, AND ALL SLOPES STEEPER THAN 3 HORIZONTAL TO 1 VERTICAL (3:1); AND SEVEN (7) CALENDAR DAYS AS TO ALL OTHER DISTURBED AREAS ON THE PROJECT SITE EXCEPT FOR THOSE AREAS UNDER ACTIVE GRADING.

ALL DISTURBED AREAS MUST BE STABILIZED WITHIN THE TIME PERIOD SPECIFIED ABOVE IN ACCORDANCE WITH THE "2011 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL" FOR TOPSOIL (SEC. B-4-2), PERMANENT SEEDING SEC. B-4-5). TEMPORARY SEEDING (SEC. B-4-4) AND MULCHING (SEC. B-4-4) TEMPORARY STABILIZATION WITH MULCH ALONE CAN ONLY BE APPLIED BETWEEN THE FALL AND SPRING SEEDING DATES IF THE GROUND IS FROZEN. INCREMENTAL STABILIZATION (SEC. B-4-1) SPECIFICATIONS SHALL BE ENFORCED IN AREAS WITH >15 OF CUT AND/OR FILL. STOCKPILES (SEC. B-4-8) IN EXCESS OF 20 FT. MUST BE BENCHED WITH STABLE OUTLET. ALL CONCENTRATED FLOW, STEEP SLOPE, AND HIGHLY ERODIBLE AREAS SHALL RECEIVE SOIL STABILIZATION MATTING (SEC. B-4-6).

ALL SEDIMENT CONTROL STRUCTURES ARE TO REMAIN IN PLACE, AND ARE TO BE MAINTAINED IN OPERATIVE CONDITION UNTIL PERMISSION FOR THEIR REMOVAL HAS BEEN OBTAINED FROM THE CID.

TOTAL AREA OF SITE 1.7± Acres (LIMIT OF SUBMISSION) AREA DISTURBED 1.1± Acres AREA TO BE ROOFED OR PAVED : 0.7± Acres AREA TO BE VEGETATIVELY STABILIZED 0.4± Acres TOTAL CUT 0 Cu. Yds. 732 Cu. Yds. OFF-SITE WASTE/BORROW AREA LOCATION : TO BE DETERMINED

ANY SEDIMENT CONTROL PRACTICE WHICH IS DISTURBED BY GRADING ACTIVITY FOR PLACEMENT OF UTILITIES MUST BE REPAIRED ON THE SAME DAY OF DISTURBANCE ADDITIONAL SEDIMENT CONTROL MUST BE PROVIDED. IF DEEMED NECESSARY BY THE CID HE SITE AND ALL CONTROLS SHALL BE INSPECTED BY THE CONTRACTOR WEEKLY; AND THE NEXT DAY AFTER EACH RAIN EVENT. A WRITTEN REPORT BY THE CONTRACTOR, MADE AVAILABLE UPON REQUEST, IS PART OF EVERY INSPECTION AND SHOULD INCLUDE:

INSPECTION TYPE (ROUTINE, PRE-STORM EVENT, DURING RAIN EVENT) NAME AND TITLE OF INSPECTOR

WEATHER INFORMATION (CURRENT CONDITIONS AS WELL AS TIME AND AMOUNT OF LAST RECORDED PRECIPITATION) BRIEF DESCRIPTION OF PROJECT'S STATUS (E.G., PERCENT COMPLETE) AND /OR CURRENT EVIDENCE OF SEDIMENT DISCHARGES

IDENTIFICATION OF PLAN DEFICIENCIE IDENTIFICATION OF SEDIMENT CONTROLS THAT REQUIRE MAINTENANCE IDENTIFICATION OF MISSING OR IMPROPERLY INSTALLED SEDIMENT CONTROLS COMPLIANCE STATUS REGARDING THE SEQUENCE OF CONSTRUCTION AND STABILIZATION REQUIREMENTS

PHOTOGRAPHS MONITORING/SAMPLING MAINTENANCE AND/OR CORRECTIVE ACTION PERFORMED OTHER INSPECTION ITEMS AS REQUIRED BY THE "GENERAL PERMIT FOR STORMWATER" ASSOCIATED WITH CONSTRUCTION ACTIVITIES" (NPDES, MDE).

TRENCHES FOR THE CONSTRUCTION OF UTILITIES IS LIMITED TO THREE PIPE LENGTHS OR THAT WHICH CAN AND SHALL BE BACK-FILLED AND STABILIZED BY THE END OF EACH WORKDAY, WHICHEVER IS SHORTER.

ANY MAJOR CHANGES OR REVISIONS TO THE PLAN OR SEQUENCE OF CONSTRUCTION

MUST BE REVIEWED AND APPROVED BY THE HSCD PRIOR TO PROCEEDING WITH CONSTRUCTION. MINOR REVISIONS MAY BE ALLOWED BY THE CID PER THE LIST OF HSCD-APPROVED FIELD CHANGES. DISTURBANCE SHALL NOT OCCUR OUTSIDE THE LOD. A PROJECT IS TO BE SEQUENCED SO

THAT GRADING ACTIVITIES BEGIN ON ONE GRADING UNIT (MAXIMUM ACREAGE OF 20 AC. PER GRADING UNIT) AT A TIME. WORK MAY PROCEED TO A SUBSEQUENT GRADING UNIT WHEN AT LEAST 50 PERCENT OF THE DISTURBED AREA IN THE PRECEDING GRADING UNIT HAS BEEN STABILIZED AND APPROVED BY THE CID. UNLESS OTHERWISE SPECIFIED AND APPROVED BY THE HSCD, NO MORE THAN 30 ACRES CUMULATIVELY MAY BE DISTURBED AT A GIVEN TIME

WASH WATER FROM ANY EQUIPMENT, VEHICLES, WHEELS PAVEMENT, AND OTHER SOURCES MUST BE TREATED IN A SEDIMENT BASIN OR OTHER APPROVED WASHOUT STRUCTURE. TOPSOIL SHALL BE STOCKPILED AND PRESERVED ON-SITE FOR REDISTRIBUTION ONTO

ALL SILT FENCE AND SUPER SILT FENCE SHALL BE PLACED ON-THE-CONTOUR, AND BE IMBRICATED AT 25' MINIMUM INTERVALS, WITH LOWER ENDS CURLED UPHILL BY 2' IN

STREAM CHANNELS MUST NOT BE DISTURBED DURING THE FOLLOWING RESTRICTED TIME PERIODS (INCLUSIVE): USE LAND IP MARCH 1 - JUNE 1 USE III AND IIIP OCTOBER 1 - APRIL 30 USE IV MARCH 1 - MAY 31

A COPY OF THIS PLAN. THE "2011 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL," AND ASSOCIATED PERMITS SHALL BE ON-SITE AND AVAILABLE WHEN THE SITE IS ACTIVE

OWNERS/DEVELOPERS CERTIFICATION

DISTRICT AND/OR MDE

OWNER'S / DEVELOPER'S SIGNATU

"I/WF HEREBY CERTIFY THAT ANY CLEARING, GRADING, CONSTRUCTION, OR

DEVELOPMENT WILL BE DONE PURSUANT TO THIS APPROVED EROSION AND

MARYLAND DEPARTMENT OF THE ENVIRONMENT (MDE) APPROVED TRAINING

BEGINNING THE PROJECT. I CERTIFY RIGHT-OF-ENTRY FOR PERIODIC ON-SITE

SEDIMENT CONTROL PLAN, INCLUDING INSPECTING AND MAINTAINING

CONTROLS, AND THAT THE RESPONSIBLE PERSONNEL INVOLVED IN THE

CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF TRAINING AT A

PROGRAM FOR THE CONTROL ON EROSION AND SEDIMENT PRIOR TO

EVALUATION BY HOWARD COUNTY, THE HOWARD SOIL CONSERVATION

<u>DEFINITION</u> TO STABILIZE DISTURBED SOILS WITH PERMANENT VEGETATION.

TO USE LONG-LIVED PERENNIAL GRASSES AND LEGUMES TO ESTABLISH PERMANENT GROUND COVER ON DISTURBED SOILS. CONDITIONS WHERE PRACTICE APPLIES

EXPOSED SOILS WHERE GROUND COVER IS NEEDED FOR 6 MONTHS OR MORE.

#### SEED MIXTURES

REFERENCED. TO ENSURE

a. SELECT ONE OR MORE OF THE SPECIES OR MIXTURES LISTED IN TABLE B.3 FOR THE APPROPRIATE PLANT HARDINESS ZONE (FROM FIGURE B.3) AND BASED ON THE SITE CONDITION OR PURPOSE FOUND ON TABLE B.2. ENTER SELECTED MIXTURE(S), APPLICATION RATES, AND SEEDING DATES IN THE PERMANENT SEEDING SUMMARY. THE SÚMMARY IS TO BE PLACED ON THE PLAN.

ADDITIONAL PLANTING SPECIFICATIONS FOR EXCEPTIONAL SITES SUCH AS SHORELINES. STREAM BANKS, OR DUNES OR FOR SPECIAL PURPOSES SUCH AS WILDLIFE OR AESTHETIC TREATMENT MAY BE FOUND IN USDA-NRCS TECHNICAL FIELD OFFICE GUIDE, SECTION 342 CRITICAL AREA PLANTING FOR SITES HAVING DISTURBED AREA OVER 5 ACRES, USE AND SHOW THE RATES

RECOMMENDED BY THE SOIL TESTING AGENCY. . FOR AREAS RECEIVING LOW MAINTENANCE, APPLY UREA FORM FERTILIZER (46-0-0) AT 3 1/2 POUNDS PER 1000 SQUARE FEET (150 POUNDS PER ACRE) AT THE TIME OF SEEDING IN ADDITION TO THE SOIL AMENDMENTS SHOWN IN THE PERMANENT SEEDING SUMMARY.

a. AREAS WHERE TURFGRASS MAY BE DESIRED INCLUDE LAWNS, PARKS, PLAYGROUNDS, AND COMMERCIAL SITES WHICH WILL RECEIVE A MEDIUM TO HIGH LEVEL OF MAINTENANCE. b. SELECT ONE OR MORE OF THE SPECIES OR MIXTURES LISTED BELOW BASED ON THE SITE CONDITIONS OR PURPOSE. ENTER SELECTED MIXTURE(S), APPLICATION RATES, AND SEEDING DATES IN THE PERMANENT SEEDING SUMMARY. THE SUMMARY IS TO BE PLACED ON THE

> KENTUCKY BLUEGRASS: FULL SUN MIXTURE: FOR USE IN AREAS THAT RECEIVE INTENSIVE MANAGEMENT, IRRIGATION REQUIRED IN THE AREAS OF CENTRAL MARYLAND AND EASTERN SHORE, RECOMMENDED CERTIFIED KENTUCKY BLUEGRASS CULTIVARS SEEDING RATE: 1.5 TO 2.0 POUNDS PER 1000 SQUARE FEET. CHOOSE A MINIMUM OF THREE KENTUCKY BLUEGRASS CULTIVARS WITH EACH RANGING FROM 10 TO 35

> KENTUCKY BLUEGRASS/PERENNIAL RYE: FULL SUN MIXTURE: FOR USE IN FULL SUN AREAS WHERE RAPID ÉSTABLISHMENT IS NECESSARY AND WHEN TURF WILL RECEIVE MEDIUM TO INTENSIVE MANAGEMENT. CERTIFIED PERENNIAL RYEGRASS CULTIVARS/CERTIFIED KENTUCKY BLUEGRASS SEEDING RATE: 2 POUNDS MIXTURE PER 00 SQUÁRE FEET. CHOOSE A MINIMUM OF THREE KENTUCKY BLUEGRASS CULTIVAR: WITH EACH RANGING FROM 10 TO 35 PERCENT OF THE TOTAL MIXTURE BY WEIGHT.

iii. TALL FESCUE/KENTUCKY BLUEGRASS: FULL SUN MIXTURE: FOR USE IN DROUGHT PRONE AREAS AND/OR FOR AREAS RECEIVING LOW TO MEDIUM MANAGEMENT IN FULL RECOMMENDED MIXTURE INCLUDES; CERTIFIED TALL FESCUE CULTIVARS 95 TO 100 PERCENT, CERTIFIED KENTUCKY BLUEGRASS CULTIVARS 0 TO 5 PERCENT. SEEDING RATE: 5 TO 8 POUNDS PER 1000 SQUARE FEET. ONE OR MORE CULTIVARS MAY BE

iv. KENTUCKY BLUEGRASS/FINE FESCUE: SHADE MIXTURE: FOR USE IN AREAS WITH SHADE IN BLUEGRASS LAWNS. FOR ESTABLISHMENT IN HIGH QUALITY, INTENSIVELY MANAGED TURF AREA. MIXTURE INCLUDES: CERTIFIED KENTUCKY BLUEGRASS CULTIVARS 30 TO 40 PERCENT AND CERTIFIED FINE FESCUE AND 60 TO 70 PERCENT SEEDING RATE: 1 1/2 TO 3 POUNDS PER 1000 SQUARE FEET.

SELECT TURFGRASS VARIETIES FROM THOSE LISTED IN THE MOST CURRENT UNIVERSITY OF MARYLAND PUBLICATION, AGRONOMY MEMO #77, "TURFGRASS CULTIVAR RECOMMENDATIONS FOR MARYLAND"

CHOOSE CERTIFIED MATERIAL. CERTIFIED MATERIAL IS THE BEST GUARANTEE OF CULTIVAR PURITY. THE CERTIFICATION PROGRAM OF THE MARYLAND DEPARTMENT OF AGRICULTURE, TURF AND SEED SECTION, PROVIDES A RELIABLE MEANS OF CONSUMER PROTECTION AND ASSURES A PURE GENETIC LINE

IDEAL TIMES OF SEEDING FOR TURF GRASS MIXTURES WESTERN MD: MARCH 15 TO JUNE 1, AUGUST 1 TO OCTOBER 1 (HARDINESS ZONES: 5B, CENTRAL MD: MARCH 1 TO MAY 15, AUGUST 15 TO OCTOBER 15 (HARDINESS ZONE: SOUTHERN MD, EASTERN SHORE: MARCH 1 TO MAY 15, AUGUST 15 TO OCTOBER 15

(HARDINESS ZONES: 7A, 7B) TILL AREAS TO RECEIVE SEED BY DISKING OR OTHER APPROVED METHODS TO A DEPTH O 2 TO 4 INCHES, LEVEL AND RAKE THE AREAS TO PREPARE A PROPER SEEDBED. REMOVE STONES AND DEBRIS OVER 1 1/2 INCHES IN DIAMETER. THE RESULTING SEEDBED MUST BE IN SUCH CONDITION THAT FUTURE MOWING OF GRASSES WILL POSE NO DIFFICULTY

k. IF SOIL MOISTURE IS DEFICIENT, SUPPLY NEW SEEDINGS WITH ADEQUATE WATER FOR PLANT GROWTH (1/2 TO 1 INCH EVERY 3 TO 4 DAYS DEPENDING ON SOIL TEXTURE) UNTIL THEY ARE FIRMLY ESTABLISHED. THIS IS ESPECIALLY TRUE WHEN SEEDINGS ARE MADE LATE IN THE PLANTING SEASON, IN ABNORMALLY DRY OR HOT SEASONS, OR ON ADVERSE SITES.

## PERMANENT SEEDING SUMMARY

HARDINESS ZONE: 6b SEED MIXTURE: #9 (Tall Fescue/ Kentucky Bluegrass)						
No.	SPECIES	APPLICATION RATE	SEEDING DATES	SEEDING DEPTHS	RATE (10-20-20)	LIME RATE
9	*Certified Tall Fescue blend (95% by weight): Falcon IV, Penn 1901 & Rebel Exeda and Certified Kentucky Bluegrass blend (5% by weight): Courtyard, Raven & Yankee	6-8 lb/ 1000 s.f.	Mar. 1 to May 15, Aug. 15 to Oct. 15	1/4 – 1/2 IN.	1.0 lb/ 1000 s.f. (45 lb/acre)	90 lb/ 1000 s.f.

\* Other cultivars listed as "proven" in the most current UMD TT-77 may also be used B. SOD: TO PROVIDE QUICK COVER ON DISTURBED AREAS (2:1 GRADE OR FLATTER).

a. CLASS OF TURFGRASS SOD MUST BE MARYLAND STATE CERTIFIED. SOD LABELS MUST BE MADE AVAILABLE TO THE JOB FOREMAN AND INSPECTOR. b. SOD MUST BE MACHINE CUT AT A UNIFORM SOIL THICKNESS OF 3/4 INCH, PLUS OR MINUS 1/4 INCH. AT THE TIME OF CUTTING. MEASUREMENT FOR THICKNESS MUST EXCLUDE TOP

GROWTH AND THATCH. BROKEN PADS AND TORN OR UNEVEN ENDS WILL NOT BE STANDARD SIZE SECTIONS OF SOD MUST BE STRONG ENOUGH TO SUPPORT THEIR OWN WEIGHT AND RETAIN THEIR SIZE AND SHAPE WHEN SUSPENDED VERTICALLY WITH A FIRM GRASP ON THE UPPER 10 PERCENT OF THE SECTION. d. SOD MUST NOT BE HARVESTED OR TRANSPLANTED WHEN MOISTURE CONTENT (EXCESSIVELY

DRY OR WET) MAY ADVERSELY AFFECT ITS SURVIVAL e. SOD MUST BÉ HARVESTED, DELIVERED, AND INSTALLED WITHIN A PERIOD OF 36 HOURS. DD NOT TRANSPLANTED WITHIN THIS PERIOD MUST BE APPROVED BY AN AGRONOMIST OR SOIL SCIENTIST PRIOR TO ITS INSTALLATION.

#### SOD INSTALLATION

a. DURING PERIODS OF EXCESSIVELY HIGH TEMPERATURE OR IN AREAS HAVING DRY SUBSOIL, LIGHTLY IRRIGATE THE SUBSOIL IMMEDIATELY PRIOR TO LAYING THE SOD. LAY THE FIRST ROW OF SOD IN A STRAIGHT LINE WITH SUBSEQUENT ROWS PLACED PARALLEL TO IT AND TIGHTLY WEDGED AGAINST EACH OTHER. STAGGER LATERAL JOINTS TO PROMOTE MORE UNIFORM GROWTH AND STRENGTH. ENSURE THAT SOD IS NOT STRETCHED OR OVERLAPPED AND THAT ALL JOINTS ARE BUTTED TIGHT IN ORDER TO PREVENT VOIDS WHICH WOULD CAUSE AIR DRYING OF THE ROOTS WHEREVER POSSIBLE, LAY SOD WITH THE LONG EDGES PARALLEL TO THE CONTOUR AND

WITH STAGGERING JOINTS. ROLL AND TAMP, PEG OR OTHERWISE SECURE THE SOD TO PREVENT SLIPPAGE ON SLOPES. ENSURE SÓLID CONTACT EXISTS BETWEEN SOD ROOTS AND WATER THE SOD IMMEDIATELY FOLLOWING ROLLING AND TAMPING UNTIL THE UNDERSIDE OF THE NEW SOD PAD AND SOIL SURFACE BELOW THE SOD ARE THOROUGHLY WET. COMPLETE THE OPERATIONS OF LAYING, TAMPING AND IRRIGATING FOR ANY PIECE OF SOD WITHIN

#### SOD MAINTENANCE

EIGHT HOURS.

IN THE ABSENCE OF ADEQUATE RAINFALL, WATER DAILY DURING THE FIRST WEEK OR AS OFTEN AND SUFFICIENTLY AS NECESSARY TO MAINTAIN MOIST SOIL TO A DEPTH OF 4 INCHES. WATER SOD DURING THE HEAT OF THE DAY TO PREVENT WILTING. AFTER THE FIRST WEEK, SOD WATERING IS REQUIRED AS NECESSARY TO MAINTAIN

ADEQUATE MOISTURE CONTENT. DO NOT MOW UNTIL THE SOD IS FIRMLY ROOTED. NO MORE THAN 1/3 OF THE GRASS LEAF MUST BE REMOVED BY THE INITIAL CUTTING OR SUBSEQUENT CUTTINGS. MAINTAIN A GRASS

HEIGHT OF AT LEAST 3 INCHES UNLESS OTHERWISE SPECIFIED.

DETAIL B-1 STABILIZED CONSTRUCTION SCE ENTRANCE MOUNTABLE BERM (6 IN MIN.) - EXISTING PAVEMENT MIN. 6 IN OF 2 TO 3 IN AGGREGATE OVER LENGTH AND WIDTH OF ENTRANCE NONWOVEN GEOTEXTILE — -PIPE (SEE NOTE 6) PROFILE PLAN VIEW

INSTRUCTION SPECIFICATIONS PLACE STABILIZED CONSTRUCTION ENTRANCE IN ACCORDANCE WITH THE APPROVED PLAN. VEHICLES MUST TRAVEL OVER THE ENTIRE LENGTH OF THE SCE. USE MINIMUM LENGTH OF 50 FEET (\*30 FEET FOR SINGLE RESIDENCE LOT). USE MINIMUM WIDTH OF 10 FEET. FLARE SCE 10 FEET MINIMUM AT THE EXISTING ROAD TO PROVIDE A TURNING RADIUS. IPE ALL SURFACE WATER FLOWING TO OR DIVERTED TOWARD THE SCE UNDER THE E AINTAINING POSITIVE DRAINAGE. PROTECT PIET INSTALLED THROUGH THE SCE WITH . ERM WITH S:! SLOPES AND A MINIMUM OF 12 INCHES OF STONE OVER THE PIPE. PI

. PREPARE SUBGRADE AND PLACE NONWOVEN GEOTEXTILE, AS SPECIFIED IN SECTION H-1 MATERIALS PLACE CRUSHED AGGREGATE (2 TO 3 INCHES IN SIZE) OR EQUIVALENT RECYCLED CONCRETE (WITHOUT REBAR) AT LEAST 6 INCHES DEEP OVER THE LENGTH AND WIDTH OF THE SCE. 5. MAINTAIN ENTRANCE IN A CONDITION THAT MINIMIZES TRACKING OF SEDIMENT. ADD STONE OR MAKE OTHER REPAIRS AS CONDITIONS DEMAND TO MAINTAIN CLEAN SURFACE, MOUNTABLE BERM, AND SPECIFIED DIMENSIONS. IMMEDIATELY REMOVE STONE AND/OR SEDIMENT SPILLED, DROPPED, OR TRACKED ONTO ADJACENT ROADWAY BY VACUUMING, SCRAPING, AND/OR SWEEPING. WASHING ROADWAY TO REMOVE MUD TRACKED ONTO TAYMENT IS NOT ACCEPTABLE UNLESS WASH WATER IS DIRECTED TO AN APPROVED SEDIMENT CONTROL PRACTICE.

MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL 2011 MARYLAND DEPARTMENT OF ENVIRONMENT
WATER MANAGEMENT ADMINISTRATION

PLAN / CUT AWAY VIEW

CROSS SECTION

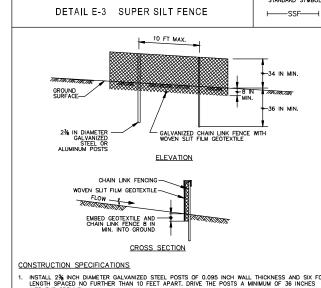
. LIFT GRATE AND WRAP WITH NONWOVEN GEOTEXTILE TO COMPLETELY COVER ALL OPENINGS, SECURE WITH WIRE TIES AND SET GRATE BACK IN PLACE.

U.S. DEPARTMENT OF AGRICULTURE 2011 MARYLAND DEPARTMENT OF ENVIRONMENT NATURAL RESOURCES CONSERVATION SERVICE 2011 WATER MANAGEMENT ADMINISTRATION

3. PLACE CLEAN 1/4 TO 1/4 INCH STONE OR EQUIVALENT RECYCLED CONCRETE 6 INCHES THICK ON TH

USE NONWOVEN GEOTEXTILE AS SPECIFIED IN SECTION H-1 MATERIALS

CONSTRUCTION SPECIFICATIONS

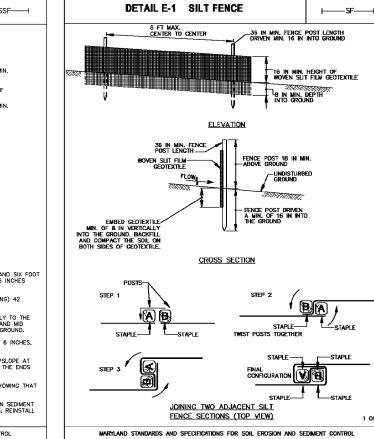


INSTALL 2% INCH DIAMETER GALVANIZED STEEL POSTS OF 0.095 INCH WALL THICKNESS AND SIX FOOT LENGTH SPACED NO FURTHER THAN 10 FEET APART. DRIVE THE POSTS A MINIMUM OF 36 INCHES INTO THE GROUND . FASTEN 9 GAUGE OR HEAVIER GALVANIZED CHAIN LINK FENCE (2% INCH MAXIMUM OPENING) 42 INCHES IN HEIGHT SECURELY TO THE FENCE POSTS WITH WIRE TIES OR HUG RINGS. FASTEN WOVEN SLIT FILM GEOTEXTILE AS SPECIFIED IN SECTION H-1 MATERIALS, SECURELY TO THE UPSLOPE SIDE OF CHAIN LINK FROE WITH TIES SPACED EVERY 24 MOHES AT THE TOP AND MID SECTION. EMBED GEOTEXTILE AND CHAIN LINK FEMCE A MINIMUM OF 8 INCHES INTO THE GROUND. . WHERE ENDS OF THE GEOTEXTILE COME TOGETHER, THE ENDS SHALL BE OVERLAPPED BY 6 INCHES, FOLDED, AND STAPLED TO PREVENT SEDIMENT BY PASS.

EXTEND BOTH ENDS OF THE SUPER SILT FENCE A MINIMUM OF FIVE HORIZONTAL FEET UPSLOPE AT 45 DEGREES TO THE MAIN FENCE ALIGNMENT TO PREVENT RUNOFF FROM GOING AROUND THE ENDS OF THE SUPER SILT FENCE. PROVIDE MANUFACTURER CERTIFICATION TO THE INSPECTION/ENFORCEMENT AUTHORITY SHOWING THAT GEOTEXTILE USED MEETS THE REQUIREMENTS IN SECTION  $H\!-\!1$  MATERIALS. REMOVE ACCUMULATED SEDIMENT AND DEBRIS WHEN BULGES DEVELOP IN FENCE OR WHEN SEDIMENT REACHES 25% OF FENCE HEIGHT. REPLACE GEOTEXTILE IF TORN. IF UNDERMINING OCCURS, REINSTALL CHAIN LINK FENCING AND GEOTEXTILE. MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL U.S. DEPARTMENT OF AGRICULTURE
NATURAL RESOURCES CONSERVATION SERVICE

2011

MARYLAND DEPARTMENT OF ENVIRONMENT
WATER MANAGEMENT ADMINISTRATION

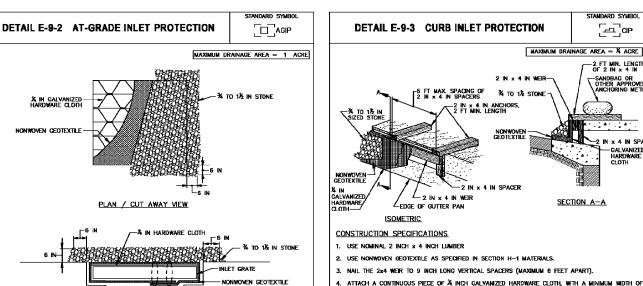


DETAIL E-1 SILT FENCE ⊢----SF------| USE WOOD POSTS 1% x 1%  $\pm$  % INCH (MINNUM) SQUARE CUT OF SOUND QUALITY HARDWOOD. AS AN ALIERNATIVE TO WOODEN POST USE STANDARD "T" OR "U" SECTION STEEL POSTS WEIGHING NOT LESS THAN 1 POUND PER UNEAR FOOT. USE 36 INCH MINIMUM POSTS DRIVEN 16 INCH MINIMUM INTO GROUND NO NORE THAN 6 FEET APAR USE WOVEN SLIT FILM GEOTEXTILE AS SPECIFIED IN SECTION H-1 MATERIALS AND FASTEN GEOTEXTILE SECURELY TO UPSLOPE SIDE OF FENCE POSTS WITH WIRE TIES OR STAPLES AT TOP AND MID—SECTION. PROVIDE MANUFACTURER CERTIFICATION TO THE AUTHORIZED REPRESENTATIVE OF THE INSPECTION/ENFORCEMENT AUTHORITY SHOWNG THAT THE GEOTEXTILE USED MEETS THE REQUIREMENTS IN SECTION H—1 MATERIALS. EMBED SECTEXTILE A MINIMUM OF 8 INCHES VERTICALLY INTO THE GROUND, BACKFILL AND COMPACT THE SOIL ON BOTH SIDES OF FABRIC. WHERE TWO SECTIONS OF GEOTEXTILE ADJOIN: OVERLAP, TWIST, AND STAPLE TO POST IN ACCORDANCE WITH THIS DETAIL

STANDARD SYMBOL

EXTEND BOTH ENDS OF THE SILT FENCE A MINIMUM OF FIVE HORIZONTAL FEET UPSLOPE AT 45 DEGREES TO THE MAIN FENCE ALICAMENT TO PREVENT RUNOFF FROM GOING AROUND THE ENDS OF THE SILT FENCE. REMOVE ACCUMULATED SEDIMENT AND DEBRIS WHEN BULGES DEVELOP IN SILT FENCE OR WHEN SEDIMENT REACHES 25% OF FENCE HEIGHT, REPLACE GEOTEXTILE IF TORN, IF UNDERMINING OCCURS, DEMOCRAL REPORTS

MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL U.S. DEPARTMENT OF AGRICULTURE NATURAL RESOURCES CONSERVATION SERVICE



ATTACH A CONTINUOUS PIECE OF 3 INCH CALYANZED HARDWARE CLOTH, WITH A MINIMUM WIDTH OF 30 CIVILES AND A MINIMUM LENGTH OF 4 FEET LONGER THAN THE THROAT OPENING, TO THE 2x4 WER, EXTENDING IT 2 FEET BEYOND THROAT ON EACH SIDE.

PLACE A CONTINUOUS PIECE OF NONWOVEN GEOTEXTILE OF THE SAME DIMENSIONS AS THE HARDWARE CLOTH OVER THE HARDWARE CLOTH AND SECURELY ATTACH TO THE 2x4 WEIR. PLACE THE ASSEMBLY AGAINST THE INLET THROAT AND NAIL TO 2x4 ANCHORS (MINIMUM 2 FEET LENGTH). EXTEND THE ANCHORS ACROSS THE INLET TOP AND HOLD IN PLACE BY SANDBAGS OR OTHER APPROVED ANCHORING METHOD. INSTALL END SPACERS A MINIMUM OF 1 FOOT BEYOND THE EMDS OF THE THROAT OPENING.

1. FORM THE HARDWARE CLOTH AND THE GEOTEXTILE TO THE CONCRETE GUTTER AND FACE OF CURB TO SPAN THE NILET DENING. COVER THE HARDWARE CLOTH AND GEOTEXTILE WITH CLEAN % TO 1/2 INCH STONE OR EQUIVALENT RECYCLED CONCRETE. AT NON-SUMP LOCATIONS, INSTALL A TEMPORARY SANDBAG OR ASPHALT BERM TO PREVENT INLET RYPASS MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTRO

U.S. DEPARTMENT OF AGRICULTURE
NATURAL RESOURCES CONSERVATION SERVICE

2011

MARYLAND DEPARTMENT OF ENVIRONMENT
WATER MANAGEMENT ADMINISTRATION

B-4-4 STANDARDS AND SPECIFICATIONS FOR TEMPORARY STABILIZATION

TO STABILIZE DISTURBED SOILS WITH VEGETATION FOR UP TO 6 MONTHS.

TO USE FAST GROWING VEGETATION THAT PROVIDES COVER ON DISTURBED SOILS. CONDITIONS WHERE PRACTICE APPLIES EXPOSED SOILS WHERE GROUND COVER IS NEEDED FOR A PERIOD OF 6 MONTHS OR LESS. FOR LONGER DURATION OF TIME, PERMANENT STABILIZATION PRACTICES ARE REQUIRED.

SELECT ONE OR MORE OF THE SPECIES OR SEED MIXTURES LISTED IN TABLE B.1 FOR TH APPROPRIATE PLANT HARDINESS ZONE (FROM FIGURE B.3), AND ENTER THEM IN THE TEMPORARY SEEDING SUMMARY BELOW ALONG WITH APPLICATION RATES. SEEDING DATES AND SEEDING DEPTHS. IF THIS SUMMARY IS NOT PUT ON THE PLAN AND COMPLETED, THEN TARLE BY PLUS FERTILIZER AND LIME RATES MUST BE PLIT ON THE PLAN FOR SITES HAVING SOIL TESTS PERFORMED, USE AND SHOW THE RECOMMENDED RATES BY THE TESTING AGENCY SOIL TESTS ARE NOT REQUIRED FOR TEMPORARY SEEDING. WHEN STABILIZATION IS REQUIRED OUTSIDE OF A SEEDING SEASON, APPLY SEED AND MULCH OR STRAW MULCH ALONE AS PRESCRIBED IN SECTION B-4-3.A.1.B AND MAINTAIN UNTIL THE NEXT SEEDING SEASON.

### TEMPORARY SEEDING SUMMARY

HARDINESS 2	ZONE: 6b				
SEED MIXTUR	RE:			FERTILIZER RATE	LIME RATE
SPECIES	APPLICATION RATE (lb/ac.)	SEEDING DATES	SEEDING DEPTHS	(10-10-10)	LIME RAIE
ANNUAL RYEGRASS	40 lb/ac	Mar. 1 to May 15, Aug. 1 to Oct. 15	0.5 INCHES	436 lb./ac. (10 lb./	2 tons/ac. (90 lb./
PEARL MILLET	20 lb/ac	May 16 to July 31	0.5 INCHES	1,000 sf)	1,000 sf)

STANDARDS AND SPECIFICATIONS FOR DUST CONTROL

<u>DEFINITION</u>

CONTROLLING THE SUSPENSION OF DUST PARTICLES FROM CONSTRUCTION ACTIVITIES.

TO PREVENT BLOWING AND MOVEMENT OF DUST FROM EXPOSED SOIL SURFACES TO REDUCE ON AND OFF-SITE DAMAGE INCLUDING HEALTH AND TRAFFIC HAZARDS. CONDITIONS WHERE PRACTICE APPLIES AREAS SUBJECT TO DUST BLOWING AND MOVEMENT WHERE ON AND OFF-SITE DAMAGE IS LIKELY WITHOU

TREATMENT. <u>SPECIFICATIONS</u>

B-4-3 SEEDING AND MULCHING, AND SECTION B-4-4 TEMPORARY STABILIZATION. MULCH MUST BE ANCHORED TO PREVENT BLOWING. VEGETATIVE COVER: SEE SECTION B-4-4 TEMPORARY STABILIZATION. TILLAGE: TILL TO ROUGHEN SURFACE AND BRING CLODS TO THE SURFACE, BEGIN PLOWING ON WINDWARD SIDE OF SITE. CHISEL-TYPE PLOWS SPACED ABOUT 12 INCHES APART, SPRING-TOOTHED

MULCHES: SEE SECTION B-4-2 SOIL PREPARATION, TOPSOILING, AND SOIL AMENDMENTS, SECTION

HARROWS, AND SIMILAR PLOWS ARE EXAMPLES OF EQUIPMENT THAT MAY PRODUCE THE DESIRED

IRRIGATION: SPRINKLE SITE WITH WATER UNTIL THE SURFACE IS MOIST. REPEAT AS NEEDED. THE SI MUST NOT BE IRRIGATED TO THE POINT THAT RUNOFF OCCURS. BARRIERS: SOLID BOARD FENCES, SILT FENCES, SNOW FENCES, BURLAP FENCES, STRAW BALES, AN SIMILAR MATERIAL CAN BE USED TO CONTROL AIR CURRENTS AND SOIL BLOWING. CHEMICAL TREATMENT: USE OF CHEMICAL TREATMENT REQUIRES APPROVAL BY THE APPROPRIATE

LECTION DISTRICT No. 6

To provide timely vegetative cover on cut and fill slopes as work progress

Any cut or fill slope greater than 15 feet in height. This practice also applies to stockpile

1. Excavate and stabilize cut slopes in increments not to exceed 15 feet in height. Prepare seedbed an Construction sequence example (Refer to Figure B.1): Construct and stabilize all temporary swales or dikes that will be used to convey runoff around the appropriate.

b. Perform Phase 1 excavation, prepare seedbed, and stabilize c. Perform Phase 2 excavation, prepare seedbed, and stabilize. Overseed Phase 1 areas as d. Perform final phase excavation, prepare seedbed, and stabilize. Overseed previously seeds areas as necessary. Note: Once excavation has begun the operation should be continuous from grubbing through completion of grading and placement of topsoll (if required) and permanent seed and mulch.

-PHASE 3 EXCAVATION

Incremental Stabilization - Fill Slopes 2. Stabilize slopes immediately when the vertical height of a lift reaches 15 feet, or when the grading

 Construct and stabilize all temporary swales or dikes that will be used to divert runoff around
the fill. Construct silt fence on low side of fill unless other methods shown on the plans addre At the end of each day, install temporary water conveyance practice(s), as necessary, to intercept surface rumoff and convey it down the slope in a non-erosive manner. . Place Phase 1 fill, prepare seedbed, and stabilize d. Place Phase 2 fill, prepare seedbed, and stabiliz

4. Construction sequence example (Refer to Figure B.2):

Note: Once the placement of fill has begun the operation should be continuous from grubbing through the completion of grading and placement of topsoil (if required) and permanent seed and mulch. Any interruptions in the operation or completing the operation out of the seeding season will necessitate the PLACED AT THE END OF EACH WORK DAY TO BE USED UNTIL SLOPE IS COMPLETELY STABILIZE

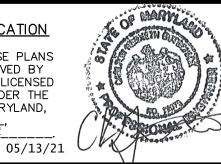
e. Place final phase fill, prepare seedbed, and stabilize. Overseed previously seeded areas as

AS SHOWN TAX MAP - GRID

PLANNING ENGINEERING SURVEYING 3909 NATIONAL DRIVE | SUITE 250 | BURTONSVILLE, MD 20866 | GLWPA.COM

OWNER/DEVELOPER: COLGATEDRIVE ASSOCIATES, LLC 6711 COLUMBIA GATEWAY DRIVE SUITE 300 COLUMBIA, MD 21046 ATTN: THOMAS FAHS TEL: 443-285-5647

PROFESSIONAL CERTIFICATION HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 12975 EXPIRATION DATE: MAY 26, 2022



PLAN REVIEW AUTHORITY.

UNITED WAY DAYCARE **COLUMBIA GATEWAY** PARCEL L PLAT No. 6812

SEDIMENT CONTROL NOTES AND DETAILS

G. L. W. FILE No. 20133 SHEET FEB., 2021 9 OF 12 HOWARD COUNTY, MARYLAND

#### LANDSCAPE NOTES

THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH SECTION 16.124 OF THE HOWARD COUNTY CODE & THE HOWARD COUNTY LANDSCAPE MANUAL.

- . CONTRACTOR SHALL NOTIFY ALL UTILITIES AT LEAST (5) FIVE DAYS BEFORE STARTING WORK. ALL GENERAL NOTES, ESPECIALLY THOSE REGARDING UTILITIES, ON SHEET No. I
- FIELD VERIFY UNDERGROUND UTILITY LOCATIONS AND EXISTING CONDITIONS BEFORE STARTING PLANTING WORK. CONTACT CONSTRUCTION MANAGER OR OWNER IF ANY RELOCATIONS ARE
- PLANT QUANTITIES SHOWN ON THE PLANT LIST ARE PROVIDED FOR THE CONVENIENCE OF THE CONTRACTOR ONLY. IF DISCREPANCIES EXIST BETWEEN QUANTITIES SHOWN ON THE PLAN AND THOSE SHOWN ON THE PLANT LIST, THE QUANTITIES ON THE PLAN SHALL TAKE
- ALL PLANT MATERIAL SHALL BE FULL, HEAVY, WELL FORMED, SYMMETRICAL, AND CONFORM TO THE AMERICAN STD. FOR NURSERY STOCK (ANSI ZO6.I-Latest Edition) ALL PLANT MATERIAL SHALL BE INSTALLED IN ACCORDANCE WITH THE HOWARD COUNTY
- AT THE TIME OF PLANT INSTALLATION, ALL SHRUBS AND TREES LISTED AND APPROVED ON THE LANDSCAPE PLAN, SHALL COMPLY WITH THE PROPER HEIGHT REQUIREMENT IN ACCORDANCE WITH THE HOWARD COUNTY LANDSCAPE MANUAL. IN ADDITION, NO SUBSTITUTIONS OR RELOCATIONS OF THE REQUIRED PLANTINGS MAY BE MADE WITHOUT PRIOR REVIEW AND APPROVAL FROM THE DEPARTMENT OF PLANNING AND ZONING. ANY DEVIATION FROM THE APPROVED LANDSCAPE PLAN MAY RESULT IN DENIAL OR DELAY IN THE RELEASE OF LANDSCAPE SURETY UNTIL SUCH TIME AS ALL REQUIRED MATERIALS ARE PLANTED AND/OR REVISIONS ARE MADE TO THE APPLICABLE PLANS.
- ALL AREAS DISTURBED BY CONSTRUCTION ACTIVITIES BUT NOT OTHERWISE PLANTED, PAVED, OR MULCHED SHALL BE SODDED OR SEEDED IN ACCORDANCE WITH THE PERMANENT SEEDING SPECIFICATION. A MINIMUM OF 4" OF TOPSOIL SHALL BE PROVIDED TO ALL PLANTING AREAS (FOR TOPSOIL SPEC. SEE SHEET 8).
- THE CONTRACTOR SHALL NOTIFY THE OWNER IN WRITING IF HE/SHE ENCOUNTERS SOIL DRAINAGE CONDITIONS THAT MAY BE DETRIMENTAL TO THE GROWTH OF THE PLANTS.
- ALL EXPOSED EARTH WITHIN THE LIMITS OF PLANTING BEDS SHALL BE MULCHED WITH SHREDDED HARDWOOD MULCH PER THE PLANTING DETAILS.
- ). DO NOT PLANT WITHIN THE PUBLIC WATER, SEWER AND UTILITY EASEMENT, IF ANY. THE OWNER, TENANTS AND/OR THEIR AGENTS SHALL BE RESPONSIBLE FOR MAINTENANCE
- F THE REQUIRED LANDSCAPING INCLUDING BOTH PLANT MATERIALS AND BERMS, FENCES AND WALLS. ALL PLANT MATERIALS SHALL BE MAINTAINED IN GOOD GROWING CONDITION, AND WHEN NECESSARY, REPLACED WITH NEW MATERIALS TO ENSURE CONTINUED COMPLIANCE WITH APPLICABLE REGULATIONS. ALL OTHER REQUIRED LANDSCAPING SHALL BE PERMANENTLY MAINTAINED IN GOOD CONDITION, AND WHEN NECESSARY, REPAIRED OR REPLACED
- SCHEDULES "A" AND "B" IS PROVIDED FOR LANDSCAPE SURETY CALCULATION PURPOSES. FINANCIAL SURETY FOR THE REQUIRED LANDSCAPING SHALL BE POSTED WITH THE GRADING PERMIT IN THE AMOUNT OF \$ 900.00 AS FOLLOWS:

3 SHADE TREES AT \$300/TREE = \$ 900.00

FOR LANDSCAPE INSPECTION TO OBTAIN THE RELEASE OF THE LANDSCAPE SURETY, CONTACT HOWARD COUNTY DEPT. OF PLANNING & ZONING AT 410-313-2350.

#### PLANTING LEGEND

EXISTING TREELINE



EXISTING EVERGREEN TREE TO REMAIN

EXISTING DECIDUOUS TREE TO BE REMOVED



EXISTING DECIDUOUS TREE TO REMAIN



PROPOSED SHADE TREE

SHADE TREES/LF	EVG. TREES/LF	SHRUBS/LF	
1:60	0	0	
I:50	1:40	0	
l:40	1:20	0	
1:60	1:10	0	
1:40	0	1:4	
	:60  :50  :40  :60	:60	

#### DEVELOPER'S/BUILDER'S CERTIFICATE

I/WE CERTIFY THAT THE LANDSCAPING SHOWN ON THIS PLAN WILL BE DONE ACCORDING TO THE PLAN, SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE HOWARD COUNTY LANDSCAPE MANUAL. I/WE FURTHER CERTIFY THAT UPON COMPLETION A LETTER OF LANDSCAPE INSTALLATION, ACCOMPANIED BY AN EXECUTED ONE YEAR GUARANTEE OF PLANT MATERIALS, WILL BE SUBMITTED TO THE DEPARTMENT OF PLANNING AND ZONING.



5/19/2021

5/20/2021

Date

Date

NAME		•			D.	ATE		
APP	PRO\	/ED: HOWARD	COUNTY	DEPARTMENT	OF	PLANNING	&	ZON
	Any	61 onan				5/21/2	202	1
Dira	5B4D	5DD9470C4D4				Data		

Director Babbbb 9470C41 DocuSigned by: nie Development

Chad Edmondson

ni<del>ef, চুভাগোও</del>ঞ্চাৰ Engineering Division

PLANNING ENGINEERING SURVEYING 3909 NATIONAL DRIVE | SUITE 250 | BURTONSVILLE, MD 20866 | GLWPA.COM PHONE: 301-421-4024 | BALT: 410-880-1820 | DC&VA: 301-989-2524 | FAX: 301-421-4186

**EWM** DRAWN BY **EWM** CHECKED BY **DDS** REVISION DATE

20' PUBLIC WATER

EX. SWM POND NO. 2

(PER SDP-99-059)

SEE PREVIOUS SDP FOR SCHEDULE D BUFFER

- - 338 -

PUBLIC WATER

LANDSCAPE ISLAND

AREA = 200 SF

# UTILITY ESMNT.

PLAY AREA

(3,500 SF)

SUITE 300 COLUMBIA, MD 21046 ATTN: THOMAS FAHS TEL: 443-285-5647

OWNER/DEVELOPER:

PROFESSIONAL CERTIFICATION I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND,
LICENSE NO. 12975
EXPIRATION DATE: MAY 26, 2022 05/13/21

LIMIT OF SUBMISSION

PROPOSED I-STORY BUILDING

(10,052 SF)

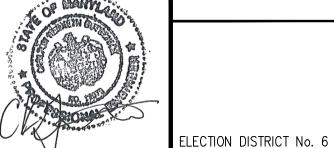
FFE=348.83

EX. 30"SD

(24-1440-D)

(24-1440-D)

EX. 24"SD



UNITED WAY DAYCARE
COLUMBIA GATEWAY
PARCEL L
PLAT No. 6812

LANDSCAPE PLAN

PERIMETER # EX. #I (SDP-99-059) PARKING ADJACENT NON-RESIDENTIAL REAR NON-RESIDENTIAL REAR USE SITUATION TO ROADWAY ADJACENT TO ROADWAY LOADING (DUMPSTER) ADJACENT TO ROADWAY LANDSCAPE BUFFER TYPE TYPE C TYPE D TYPE E INEAR FEET OF 2050' 200' ROADWAY/ PERIMETER FRONTAGE/BLDG. CREDIT FOR EX. VEGETATION YES YES YES (YES, NO; LINEAR FEET; DESCRIBE 2050' 200' BELOW IF NEEDED) CREDIT FOR WALL, FENCE OR BERM NONE NONE (YES, NO; LINEAR FEET; DESCRIBE BELOW IF NEEDED) NUMBER OF PLANTS REQUIRED SHADE TREES EVERGREEN TREES ORNAMENTALS SHRUBS NUMBER OF PLANTS PROVIDED SHADE TREES EVERGREEN TREES ORNAMENTALS SHRUBS SUBSTITUTIONS MADE

SCHEDULE-A: PERIMETER LANDSCAPE EDGE

NOTE - EXISTING PERIMETER I FROM SDP-99-051 ORIGINALLY INCLUDED THE NEW PERIMETERS 3 & 4. THE NEW PERIMETERS ARE SHOWN AS A RESULT OF THE CHANGE IN USE. THE EXISTING VEGETATION USED TO MEET PERIMETER I REQUIREMENT ON SDP-99-051 WILL BE USED TO MEET THE REQUIREMENTS FOR PROPOSED PERIMETERS 3 & 4

	SCHEDULE	B PARKING LOT INTERNAL LANDSCAPING
	NUMBER OF PARKING SPACES	51 SPACES (WITHIN LIMIT OF SUBMISSION)
	NUMBER OF TREES REQUIRED	3 (I SHADE TREE PER 20 PARKING SPACES)
	NUMBER OF TREES PROVIDED	
1	SHADE TREES	3
	OTHER TREES (2:1 substitution)	N/A

NOTE - SEE SDP-99-051 FOR THE OVERALL PARCEL L INTERNAL LANDSCAPING REQUIREMENT. ALL TREES REMOVED WITHIN THE LIMIT OF SUBMISSION ARE EXCESS TREES NOT REQUIRED TO MEET THE LANDSCAPE REQUIREMENTS SHOWN

	PLANT LIST						
SYMBOL QTY. NAMES (BOTANICAL / SCIENTIFIC)		SIZE	ROOT/COMMENTS				
SHADE TREE							
$\overline{\left(\cdot\right)}$	3	MATCH EXISTING PARKING LOT TREES ACER RUBRUM 'RED SUNSET'/ RED SUNSET MAPLE	2 I/2-3" CAL	B∉B			

COLGATEDRIVE ASSOCIATES, LLC 6711 COLUMBIA GATEWAY DRIVE

PARCEL M-5 LEIDOS REALTY LLG

UNITED WAY DAYCARE
COLUMBIA GATEWAY
PARCEL L
PLAT No. 6812

1 inch = 30' ft.

OF 12

#### 1.0 GENERAL CONDITIONS

- I.I SCOPE OF WORK: A. THE LANDSCAPE CONTRACTOR SHALL PROVIDE ALL MATERIALS, LABOR AND EQUIPMENT TO COMPLETE ALL LANDSCAPE WORK AS SHOWN ON THE PLANS AND SPECIFICATIONS.
- B. TOTAL NUMBER OF PLANTS SHALL BE DRAWN ON THE LANDSCAPE PLAN. IF THERE IS A DISCREPANCY BETWEEN THE DRAWING AND THE LIST ON THE PLANS, THE CONTRACTOR SHALL REQUEST CLARIFICATION FROM THE LANDSCAPE ARCHITECT. A. ALL PLANT MATERIAL SHALL CONFORM TO THE CURRENT ISSUE OF THE AMERICAN STANDARD FOR NURSERY STOCK (ANSI 260.1). ALL TREES
- TO BRANCH SYMMETRICALLY AROUND CENTRAL LEADER. NO FORKED LEADER STOCK WILL BE ACCEPTED PLANT MATERIAL MUST BE SELECTED FROM NURSERIES THAT HAVE BEEN INSPECTED AND CERTIFIED BY STATE PLANT INSPECTORS. NOMENCLATURE WILL BE IN ACCORDANCE WITH HORTUS III BY L.H. BAILEY.
- WHEN REQUESTED BY THE OWNER OR OWNER'S REPRESENTATIVE, SAMPLES OF ALL MATERIAL OTHER THAN PLANTS SHALL BE SUBMITTED TO THE OWNER'S DESIGNATED REPRESENTATIVE FOR APPROVAL.
- I.4 APPROVALS: ALL APPROVALS WILL BE IN WRITING.
- IT IS THE LANDSCAPE CONTRACTOR'S RESPONSIBILITY TO MAKE EVERY REASONABLE EFFORT TO FIND THE MATERIAL SPECIFIED BY THE LANDSCAPE ARCHITECT. THE LANDSCAPE CONTRACTOR MAY OFFER SUBSTITUTIONS TO THE LANDSCAPE ARCHITECT FOR HIS/HER CONSIDERATION. THE LANDSCAPE CONTRACTOR WILL NOTIFY THE LANDSCAPE ARCHITECT IF THERE ARE KNOWN DISEASE OR INSECT RESISTANT SPECIES THAT CAN BE SUBSTITUTED FOR A SELECTED PEST-PRONE PLANT. ALL SUBSTITUTIONS SHALL BE APPROVED BY HOWARD COUNTY GOVERNMENT.
- UTILITIES AND UNDERGROUND FEATURES: THE LANDSCAPE CONTRACTOR SHALL NOTIFY UTILITY COMPANIES AND/OR THE GENERAL CONTRACTOR IN ADVANCE OF CONSTRUCTION TO LOCATE
- DRAINAGE IF PLANTS ARE TO BE INSTALLED IN AREAS THAT SHOW OBVIOUS POOR DRAINAGE, AND THE PLANTS ARE INAPPROPRIATE FOR THAT CONDITION, THE LANDSCAPE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT AND OWNER. IF THEY DEEM NECESSARY, THE PLANTS SHALL BE RELOCATED, THE CONTRACT SHALL BE ADJUSTED TO ALLOW FOR DRAINAGE CORRECTION AT A NEGOTIATED COST, OR THE PLANT SELECTION MODIFIED BY THE LANDSCAPE ARCHITECT TO ACCOMMODATE THE POOR DRAINAGE SITUATION.
- WORKMANSHIP: A. DURING DELIVERY AND INSTALLATION, THE LANDSCAPE CONTRACTOR SHALL PERFORM IN A WORKMANLIKE MANNER, COORDINATING HIS/HER ACTIVITIES SO AS NOT TO INTERFERE UNDULY WITH THE WORK OF OTHER TRADES AND LEAVING HIS/HER WORK AREA(S) CLEAN OF LETTER
- AND DEBRIS AT THE CLOSE OF EACH WORKDAY. B. DURING PLANTING, ALL AREAS SHALL BE KEPT NEAT AND CLEAN; PRECAUTIONS SHALL BE TAKEN TO AVOID DAMAGE TO EXISTING PLANTS,
  LARGE TREES, TURF AND STRUCTURES. WHERE EXISTING TREES ARE TO BE PRESERVES, ADDITIONAL PRECAUTIONS SHOULD BE TAKEN TO AVOID UNNECESSARY ACCUMULATION OF EXCAVATED MATERIALS, SOIL COMPACTION OR ROOT DAMAGE.
- UPON COMPLETION, ALL DEBRIS AND WASTE MATERIAL RESULTING FROM PLANTING OPERATIONS SHALL BE REMOVED FROM THE PROJECT AND ANY DAMAGE TO THE EXISTING UTILITIES, BUILDINGS, PAVING, CURB AND WALLS, AND VEGETATION (NOT SO DESIGNATED FOR REMOVAL ON
- THESE PLANS) SHALL BE REPAIRED TO PREVIOUS CONDITION OR REPLACED BY THE CONTRACTOR AT HIS EXPENSE.

A. THE OWNER SHALL SUPPLY WATER ON SITE AT NO COST. IF THE LANDSCAPE CONTRACTOR HAS TO SUPPLY WATER TO THE SITE, IT SHALL BE

- AT AN ADDITIONAL COST. I.IO PLANTING SEASONS A. RED OAK, WHITE OAK, WILLOW OAK, SCARLET OAKS, DOGWOOD, SWEET GUM, CONIFERS, AND BROAD LEAF EVERGREENS WILL NOT BE PLANTED
- BETWEEN NOVEMBER 15 AND MARCH I, UNLESS THE LANDSCAPE CONTRACTOR STATES IN WRITING THAT HE/SHE WILL GUARANTEE PLANTS. I.II INSPECTIONS AND ACCEPTANCE: A. INITIAL INSPECTION: PRIOR TO PLANTING, ALL PLANT LOCATIONS SHALL BE STAKED IN THE FIELD BY THE CONTRACTOR. THE LANDSCAPE ARCHITECT SHALL BE CONTACTED TO INSPECT AND APPROVE ALL PLANT LOCATIONS BEFORE PLANTING.
- B. FINAL ACCEPTANCE INSPECTION: A VERIFICATION OF PERFORMANCE FOR WORK BY CONTRACT DOCUMENTS, TO BE CONDUCTED BY THE LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE ON-SITE AND IN THE PRESENCE OF THE LANDSCAPE CONTRACTOR FOR THE PURPOSE
- FINAL WARRANTY INSPECTION: THE LANDSCAPE CONTRACTOR SHALL CONDUCT A FINAL INSPECTION WITH THE OWNER OR OWNER'S REPRESENTATIVE AT THE END OF THE ONE YEAR PERIOD. I.I2 WARRANTY:
- A. THE STANDARD WARRANTY IS FOR ONE (I) YEAR PERIOD, EXCLUDING BULBS AND ANNUALS, COMMENCING ON THE DATE OF INITIAL ACCEPTANCE. ALL PLANTS SHALL BE ALIVE AND IN SATISFACTORY GROWTH AT THE END OF THE GUARANTEE PERIOD. B. ANY MATERIAL THAT IS 25% DEAD OR MORE SHALL BE CONSIDERED DEAD AND MUST BE REPLACED AT NO CHARGE. A TREE SHALL BE CONSIDERED DEAD WHEN THE MAIN LEADER HAS DIED BACK, OR 25% OF THE CROWN IS DEAD.
- PERENNIALS SHALL BE GUARANTEED FOR ONE YEAR AFTER INITIAL ACCEPTANCE.

#### 2.0 PLANT MATERIALS

- THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR FURNISHING AND INSTALLING ALL PLANT MATERIAL SHOWN ON THE DRAWINGS AND 2.2 INSPECTION:
- A. PLANTS SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE OWNER OR OWNER'S REPRESENTATIVE AT THE PLACE OF GROWTH (BEFORE DIGGING - TREES) OR HOLDING YARD (SHRUBS) FOR CONFORMITY TO SPECIFICATION REQUIREMENTS AS TO QUALITY, SIZE, AND

#### 3.0 PRODUCTS

- MANUFACTURER'S CERTIFIED ANALYSIS SHALL ACCOMPANY PACKAGED STANDARD PRODUCTS.
- PEAT MOSS TYPE I SPHAGNUM PEAT MOSS; FINELY DIVIDED WITH A PH OF 3.1 TO 5.0. SEDGE PEAT - DECOMPOSES PEAT CONTAINING NO IDENTIFIABLE FIBERS.
- LEAF COMPOST THAT IS SCREENED AND FREE TO TRASH. COMPOSTED SEWAGE SLUDGE - APPROVED, SCREENED, POLYMER-DEWATERED SEWAGE SLUDGE WITH A PH OF 9.2 - 7.2.6 MA
- 3.3 TOPSOIL: A. IT SHALL BE FREE OF STONES, LUMPS, PLANTS, ROOTS AND OTHER DEBRIS OVER 1½". TOPSOIL MUST ALSO BE FREE OF PLANTS OR PLANT PARTS OF BERMUDAGRASS, QUACKGRASS, JOHNSONGRASS, MUGMORT, NUTSEDGE, POISON IVY, CANADIAN THISTLE OR OTHERS AS SPECIFIED.
- IT SHALL NOT CONTAIN TOXIC SUBSTANCES HARMFUL TO PLANT GROWTH, I.E. PESTICIDE RESIDUÉS. 3.4 BACKFILL MIXTURE: A. BACKFILL MIXTURE FOR TREES AND SHRUBS SHALL BE 3/4 EXISTING SOIL MIXED WITH I/4 ORGANIC MATERIAL, PLUS GRANULAR FERTILIZER.
- A. MATERIAL SHALL BE COMPOSTED, SHREDDED HARDWOOD BARK, WITH LESS THAN 10% SAPWOOD, DARK BROWN IN COLOR, OR APPROVED
- B. MATERIAL SHALL BE UNIFORM IN SIZE AND FREE OF FOREIGN MATTER.

#### 4.0 PLANTING PROCEDURE FOR TREES

- 4.I TREE PLANTING: WALL OF TREE PIT SHALL BE DUG SO THAT THEY ARE VERTICAL OR SLOPING OUTWARD IN HEAVY SOILS, BE AND SCARIFIED
- THE TREE PIT MUST BE A MINIMUM OF 9" LARGER ON EVERY SIDE THAN THE BALL OF THE TREE. PLACE THE TREE IN THE PIT CARRYING THE BALL AND THEN LOWERING IT INTO THE PIT. NEVER LIFT THE TREE BY THE TRUNK OR BRANCHES. SET THE TREE STRAIGHT AND IN THE CENTER OF THE PIT WITH THE MOST DESIRABLE SIDE FACING TOWARD THE PROMINENT VIEW.
- BACKFILL TREE PIT WITH A SOIL MIXTURE STATED IN THE SPECIFICATIONS. CUT AND REMOVE ROPE OR WIRE OFF THE TOP 50% OF ROOTBALL AND PULL BURLAP BACK TO THE EDGE OF THE BALL. REMOVE AS MUCH BURLAP, WOVEN PRODUCTS AND TWINE AS POSSIBLE. ALL PLASTIC OR SYNTHETIC FILM MUST BE REMOVED FROM THE ROOTBALL. CUT ALL
- TWINE AWAY FROM TRUNK. FORM A SAUCER ABOVE EXISTING GRADE, AROUND THE OUTER RIM OF THE TREE PIT, ESPECIALLY ON SLOPES AND IN HEAVY SOILS. MULCH TOP OF ROOT BALL AND SAUCER TO A MINIMUM DEPTH OF 2", NOT TO EXCEED 3". DO NOT PLACE MULCH AGAINST THE TRUNK WATER THOROUGHLY ON THE INTERIOR OF THE TREE SAUCER UNTIL IT IS FILLED, EVEN IF IT IS RAINING. A SECOND WATERING MAY BE
- NECESSARY TO INSURE SATURATION OF THE ROOT BALL AND ELIMINATION OF AIR POCKETS. PRUNING SHOULD BE RESTRICTED TO CORRECTIVE PRUNING TO IMPROVE FORM ONLY.

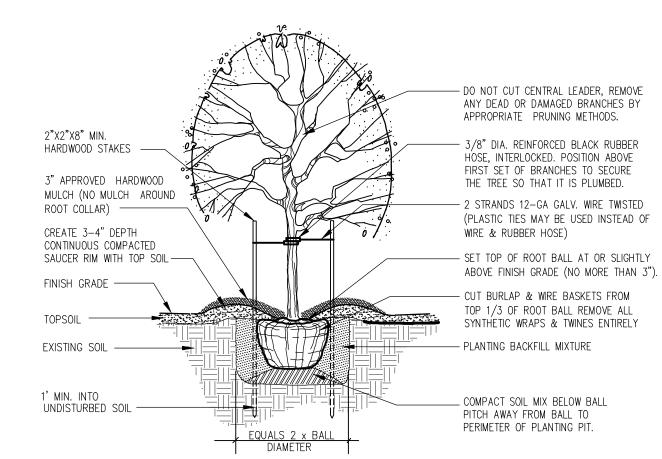
#### STAKE TREE PER PLANTING DETAIL 5.0 PLANTING PROCEDURES FOR SHRUBS

#### 5.I PLANTING SHRUBS

- A. FOR A SINGLE SHRUB, THE PIT SHALL BE DUG I' WIDER THAN THE ROOTBALL AND DEEP ENOUGH TO ALLOW I/8TH OF THE ROOTBALL TO SET ABOVE EXISTING GRADE. (SINGLE SHRUB PLANTINGS ONLY IF NOTED ON PLANS)
- B. FOR A SHRUB MASS PLANTING, THE ENTIRE BED AREA SHALL BE TILLED 4-6" DEEP. TILLING SHOULD ONLY BE DONE IN DRY SOIL TO AVOID COMPACTION. IF THE SOIL IS HEAVY IN CLAY AND SILT, ORGANIC MATERIAL SHOULD BE ADDED. EACH SHRUB PIT SHALL BE EXCAVATED FOR THE PROPER SETTING OF THE ROOTBALL
- PLACE THE SHRUB IN THE PIT BY LIFTING AND CARRYING IT BY THE ROOTBALL. REMOVE CONTAINERS FROM ALL CONTAINER-GROWN SHRUBS; SLASH THE EDGES OF THE ROOTBALL FROM TOP TO BOTTOM, AT LEAST I" DEEP.
- SET THE SHRUB AND IN THE CENTER OF THE PIT WITH THE MOST DESIRABLE SIDE FACING TOWARD THE PROMINENT VIEW. CUT AND REMOVE ROPE OR WIRE OFF THE TOP 50 % OF ROOTBALL AND PULL BURLAP BACK TO THE EDGE OF THE BALL. REMOVE AS MUCH BURLAP, WOVEN PRODUCTS AND TWINE AS POSSIBLE. ALL PLASTIC OR SYNTHETIC FILM MUST BE REMOVED FROM THE ROOTBALL. CUT ALL
- TWINE AWAY FROM TRUNK FORM A SAUCER ABOVE THE EXISTING GRADE AND COMPLETELY AROUND THE PLANTING PIT.
- MULCH TOP OF ROOTBALL AND SAUCER A MAXIMUM DEPTH OF 2". WATER SHRUB MASS THOROUGHLY EVEN IF IT IS RAINING. A SECOND WATERING MAY BE NECESSARY TO INSURE SATURATION OF THE ROOT BALL AND ELIMINATION OF AIR POCKETS.

#### 6.0 PLANTING PROCEDURES FOR GROUND COVER, PERENNIALS AND ANNUALS

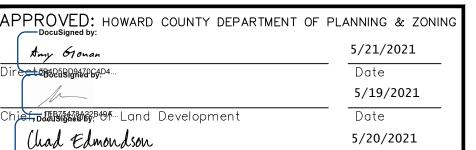
- 6.1 PLANTING GROUND COVER, PERENNIAL AND ANNUAL BEDS
- A. THE PLANTING BED SHALL BE LOOSENED WHEN THE SOIL IS DRY PRIOR TO PLANTING BY TILLING. SOIL SHALL BE LOOSENED TO A DEPTH OF 4 B. ORGANIC MATTER SHALL BE SPREAD OVER THE BED TO A DEPTH OF 2" FOR PEAT MOSS OF I" DEEP FOR COMPOST, I.E. NOT TO EXCEED 4
- CUBIC YARDS OF COMPOST/1000 SQUARE FEET, AFTER THE SOIL HAS BEEN LOOSENED. THE ORGANIC MATTER SHALL BE WORKED INTO THE FERTILIZER SHALL BE TOP-DRESSED OVER BED AREA.
  THE PLANT, EITHER POTTED OR BARE ROOT, SHALL BE INSTALLED SO THAT THE ROOTS ARE SURROUNDED BY SOIL BELOW THE MULCH, POTTED
- PLANTS SHALL BE SET SO THAT THE TOP OF THE POT IS EVEN WITH THE EXISTING GRADE. THE ROOTS OF BARE ROOT PLANTS SHALL BE SPACING OF PLANTS SHALL BE INSTALLED AS NOTED ON THE LANDSCAPE PLAN.
- THE ENTIRE BED SHALL BE MULCHED TO A MINIMUM DEPTH OF I", 2" MAXIMUM, WITH APPROVED MULCH. THE ENTIRE PLANTING BED SHALL BE THOROUGHLY WATERED.



NOTE: ALL SUPPORTING DEVICES (STAKES, WRES, ETC.) SHALL BE REMOVED AFTER 2 GROWING SEASONS.

DECIDUOUS TREE PLANTING DETAIL

FOR PLANTING MATERIAL UP TO 3 1/2" CALIPER



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PROFESSIONAL CERTIFICATION HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 12975 EXPIRATION DATE: MAY 26, 2022

OWNER/DEVELOPER:

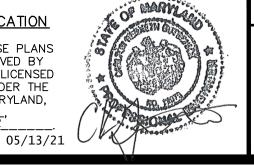
COLGATEDRIVE ASSOCIATES, LLC

6711 COLUMBIA GATEWAY DRIVE

SUITE 300

COLUMBIA, MD 21046

ATTN: THOMAS FAHS TEL: 443-285-5647



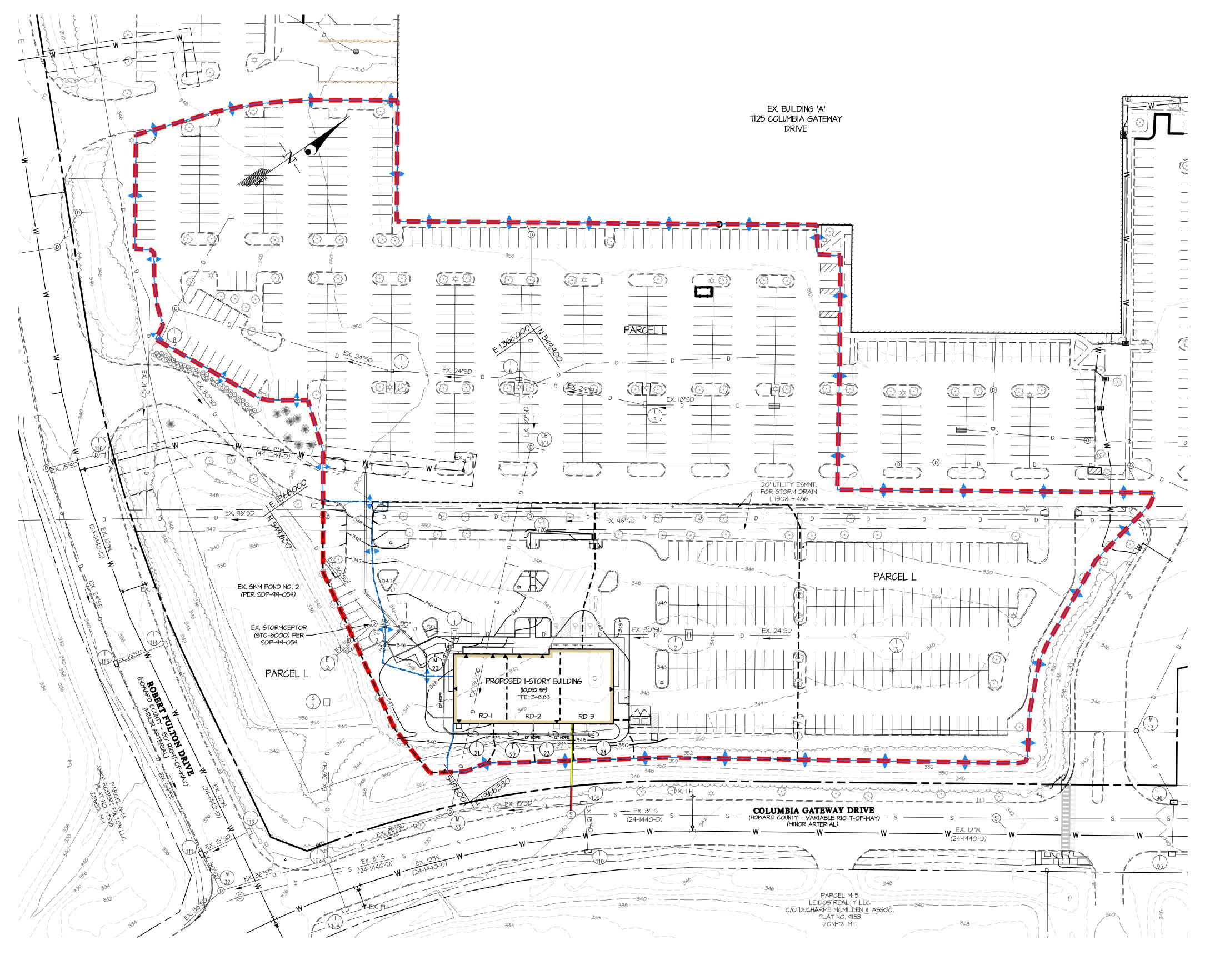
LECTION DISTRICT No. 6

LANDSCAPE PLAN - NOTES AND DETA
UNITED WAY DAYCARE COLUMBIA GATEWAY PARCEL L PLAT No. 6812

ES AND DETAILS		SCALE	ZONING	G. L. W. FILE No.
DAYCARE		N/A	M-1	20133
ΓEWAY		DATE	TAX MAP - GRID	SHEET
	HOWARD COUNTY, MARYLAND	FEB., 2021	43-01	11 OF 12
				GDD 01 000

APPROVED: HOWARD COUNTY DEPARTMENT OF F	PLANNING & ZONING
Any Glonan	5/21/2021
Directomorgo406404	Date
b	5/19/2021

Chief,pJ銀號和跨路也作Land Development	Date
Chad Edmondson	5/20/2
Chief, ত্যুদ্ধ প্রাপ্ত Engineering Division	Date



'C' FACTOR COMPUTATIONS STRUCTURE AREA (AC.)

-0.21 Ac.

EX. STORMCEPTOR DRAINAGE DIVIDE PER SDP-99-059

PROP. STORMCEPTOR DRAINAGE DIVIDE

---- STORM DRAIN DRAINAGE DIVIDE

STORMWATER MANAGEMENT SUMMARY TABLE

STUDY AREA (LIMIT OF DISTURBANCE): 1.14 Ac. EXISTING IMPERVIOUS AREA: 0.91 Ac. PROPOSED IMPERVIOUS AREA: 0.70 Ac. NET IMPERVIOUS AREA:

ESDv REQUIRED:  $50\% \times 0.91 \text{ Ac.} = 0.46 \text{ Ac.}$ 0.46 Ac. - 0.21 Ac. = 0.25 Ac.

ESDv =  $[(0.25 \text{ Ac.} \times 0.95 \times 1")/12] \times 43,560 \text{ sf}$ ESDv REQUIRED = 862 cf

ESDv PROVIDED:

<u>LEGEND</u>

IMP. AREA IN STUDY AREA TO EX. SC-2 = 0.55 Ac.  $ESDv = (0.55 \text{ Ac. } \times 0.95 \times 1^{\circ})/12] \times 43,560 \text{ sf}$ ESDv = 1,897 cf > 862 cf (MAX)

ESDv PROVIDED = 862 cf

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING 5/21/2021 Amy Gonan 5/19/2021 hief, Dreising 15875478A22849A and Development Date Chad Edmondson 5/20/2021

1 inch = 50' ft.

GLW
PLANNING ENGINEERING SURVEYING

, Development Engineering Division

	DESIGNED
	EWM
LTI.VV	DRAWN B
	EWM
PLANNING ENGINEERING SURVEYING	
	CHECKED
3909 NATIONAL DRIVE   SUITE 250   BURTONSVILLE, MD 20866   GLWPA.COM	DDS
PHONE: 301-421-4024   BALT: 410-880-1820   DC&VA: 301-989-2524   FAX: 301-421-4186	

Date

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COLGATEDRIVE ASSOCIATES, LLC 6711 COLUMBIA GATEWAY DRIVE SUITE 300 COLUMBIA, MD 21046 ATTN: THOMAS FAHS TEL: 443-285-5647

OWNER/DEVELOPER:

PROFESSIONAL CERTIFICATION I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 12975

EXPIRATION DATE: MAY 26, 2022 05/13/21



ELECTION DISTRICT No. 6

UNITED WAY DAYCARE
COLUMBIA GATEWAY
PARCEL L
PLAT No. 6812

STORM DRAIN & SWM DRAINAGE AREA MAP

	1"=50'	M-1	20133
	DATE	TAX MAP - GRID	SHEET
HOWARD COUNTY, MARYLAND	FEB., 2021	43-01	12 OF 12

G. L. W. FILE No.