

GENERAL NOTES

1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF HOWARD COUNTY STANDARDS AND SPECIFICATIONS. ALL WORK AND MATERIALS SHALL COMPLY WITH O.S.H.A. STANDARDS.

APPROXIMATE CONSTRUCTION IMPLEMENTATION

Table with columns: YEAR, 2019-2020, 2021-2022, 2023-2024, 2025-2026, 2027-2028, 2029-2030. Rows: RESIDENTIAL, OFFICE, TOTAL.

Table with columns: RESIDENTIAL PHASING, NON-RESIDENTIAL PHASING, PLANNING AREA, ALLOCATION YEAR, PHASE, OFFICE (SQ) (TOTAL) YEAR.

Table with columns: TOOD RESIDENTIAL DEVELOPMENT TRACKING, GROSS AREA PADDOCK POINTS PROJECT, MANUS FLOORPLAN & STEP SLOPES.

Table with columns: TOOD RESIDENTIAL DEVELOPMENT TRACKING, PHASE 1 RESIDENTIAL AREA (SDP-15-043), PHASE 2 RESIDENTIAL AREA (SDP-15-063).

Table with columns: TOOD RESIDENTIAL DEVELOPMENT TRACKING, PHASE 3A RESIDENTIAL AREA (SDP-15-043), PHASE 3B RESIDENTIAL AREA (SDP-15-063).

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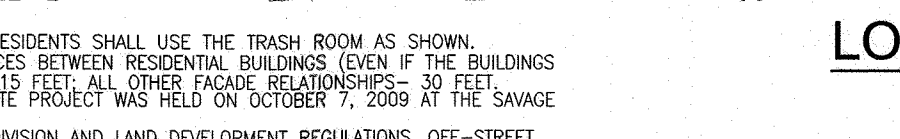
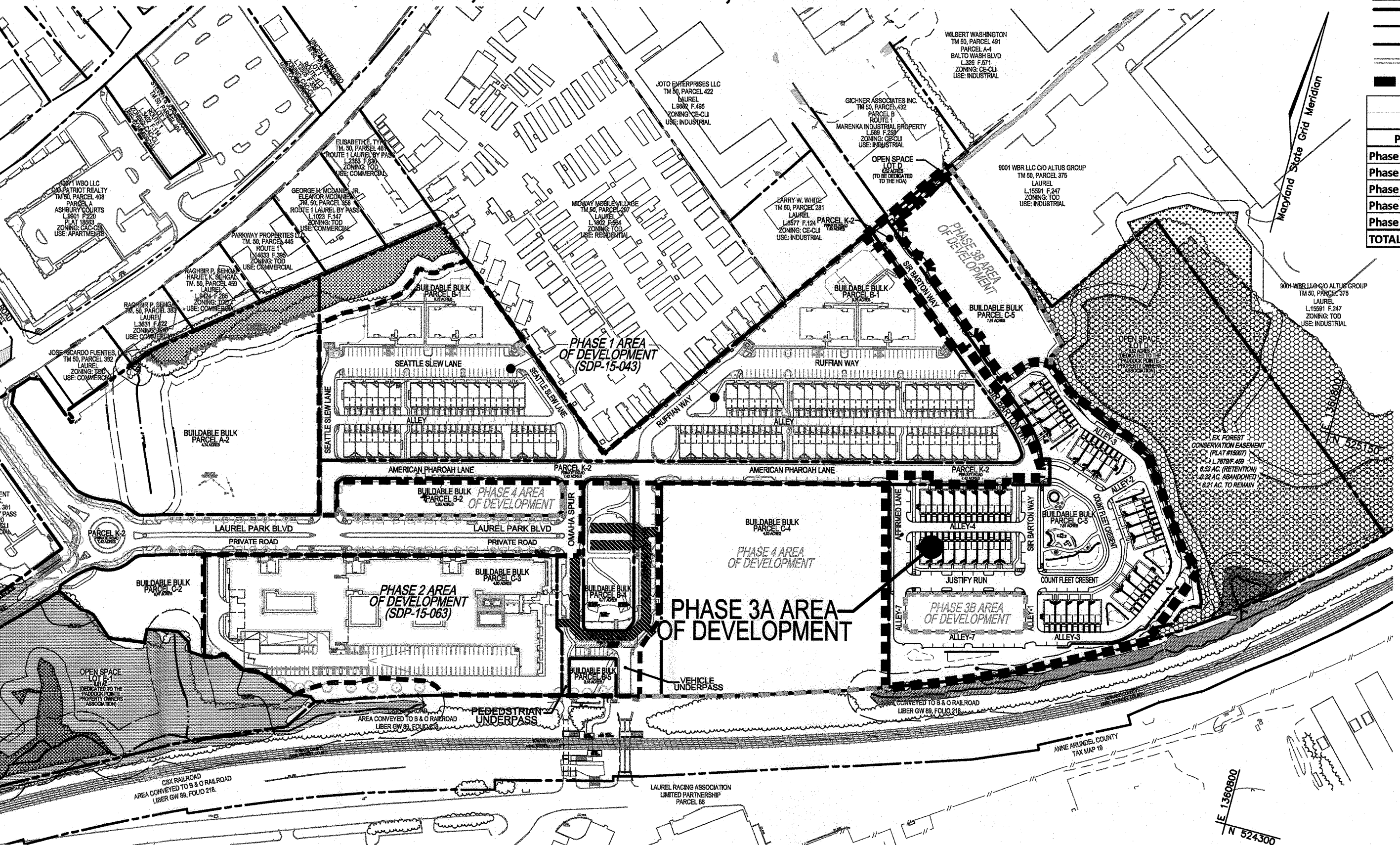
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SITE DEVELOPMENT PLAN PADDOCK POINTE - PHASE 3A PARCELS 384; PARCELS C-5, K-2



LOCATION MAP SCALE: 1"=200'

Table with columns: DESCRIPTION, SHEET NUMBER. Lists sheets 1 through 35.

Table with columns: DESCRIPTION, SHEET NUMBER. Lists sheets 36 through 40.

GENERAL NOTES (CONTINUED)

1. THE TRASH AND RECYCLING COLLECTION TO BE PUBLIC APARTMENT BUILDING RESIDENTS SHALL USE THE TRASH ROOM AS SHOWN. SECTION 12.2.4.4 OF THE ZONING REGULATIONS REQUIRE MINIMUM DISTANCES BETWEEN RESIDENTIAL BUILDINGS...

GENERAL NOTES (CONTINUED FROM SHEET 01)

1. THIS PLAN IS SUBJECT TO WP-18-1336 APPROVED 06/20/16; TO WAIVE SECTION 16.120(6)(4)(iv) WHICH PROHIBITS RESIDENTIAL CONDOMINIUMS AND OTHER APARTMENTS WITHIN 10 FEET OF PROTECTED ENVIRONMENTAL FEATURES...

Table with columns: BENCHMARK, HOWARD COUNTY BENCHMARK - 50BA, N 527561.68 E 1359772.60 ELEV.: 249.44.

Table with columns: LEGEND, PROPERTY LINE, RIGHT-OF-WAY LINE, ADJACENT PROPERTY LINE.

Table with columns: MIHU TRACKING CHART, Project/Phase, Units in Phase, MIHU Required, MIHU Provided.

Table with columns: UNIT, ADDRESS, UNIT, ADDRESS. Lists units 10017 through 9920.

Table with columns: UNIT, ADDRESS, UNIT, ADDRESS. Lists units 9919 through 9918.

Table with columns: UNIT, ADDRESS, UNIT, ADDRESS. Lists units 9917 through 9916.

Table with columns: UNIT, ADDRESS, UNIT, ADDRESS. Lists units 9915 through 9914.

Table with columns: UNIT, ADDRESS, UNIT, ADDRESS. Lists units 9913 through 9912.

Table with columns: UNIT, ADDRESS, UNIT, ADDRESS. Lists units 9911 through 9910.

Table with columns: UNIT, ADDRESS, UNIT, ADDRESS. Lists units 9909 through 9908.

Table with columns: UNIT, ADDRESS, UNIT, ADDRESS. Lists units 9907 through 9906.

Table with columns: UNIT, ADDRESS, UNIT, ADDRESS. Lists units 9905 through 9904.

Table with columns: UNIT, ADDRESS, UNIT, ADDRESS. Lists units 9903 through 9902.

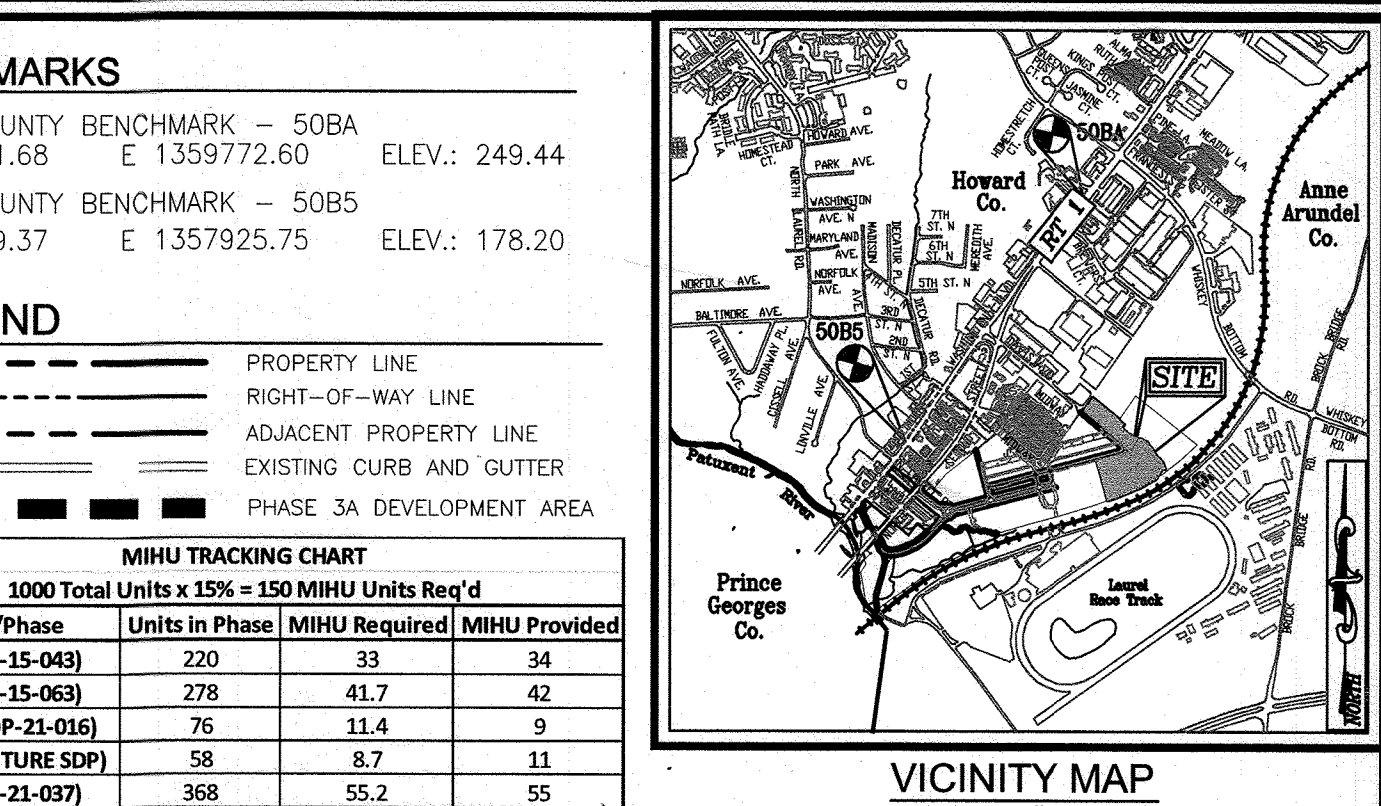
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Table with columns: UNIT, ADDRESS, UNIT, ADDRESS. Lists units 9899 through 9898.

Table with columns: UNIT, ADDRESS, UNIT, ADDRESS. Lists units 9897 through 9896.

Table with columns: UNIT, ADDRESS, UNIT, ADDRESS. Lists units 9895 through 9894.

Table with columns: UNIT, ADDRESS, UNIT, ADDRESS. Lists units 9893 through 9892.



VICINITY MAP SCALE: 1"=2000' ADC MAP/GRID NO: 40 D8/E8 & 42 D1/E1

Table with columns: UNIT, ADDRESS, UNIT, ADDRESS. Lists units 9908 through 9907.

Table with columns: UNIT, ADDRESS, UNIT, ADDRESS. Lists units 9906 through 9905.

Table with columns: UNIT, ADDRESS, UNIT, ADDRESS. Lists units 9904 through 9903.

Table with columns: UNIT, ADDRESS, UNIT, ADDRESS. Lists units 9902 through 9901.

Table with columns: UNIT, ADDRESS, UNIT, ADDRESS. Lists units 9900 through 9899.

Table with columns: UNIT, ADDRESS, UNIT, ADDRESS. Lists units 9898 through 9897.

Table with columns: UNIT, ADDRESS, UNIT, ADDRESS. Lists units 9896 through 9895.

Table with columns: UNIT, ADDRESS, UNIT, ADDRESS. Lists units 9894 through 9893.

Table with columns: UNIT, ADDRESS, UNIT, ADDRESS. Lists units 9892 through 9891.

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Table with columns: UNIT, ADDRESS, UNIT, ADDRESS. Lists units 9888 through 9887.

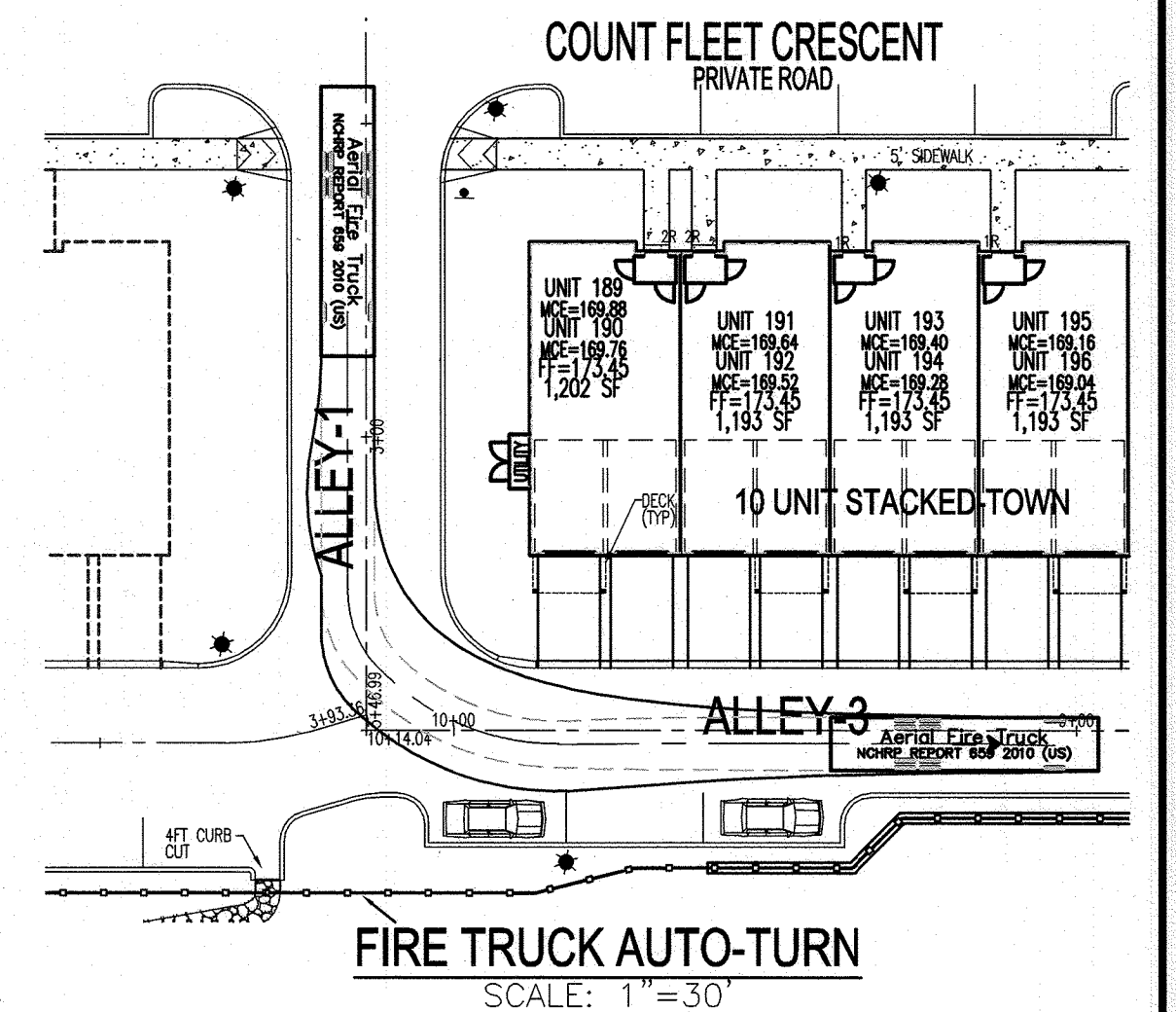
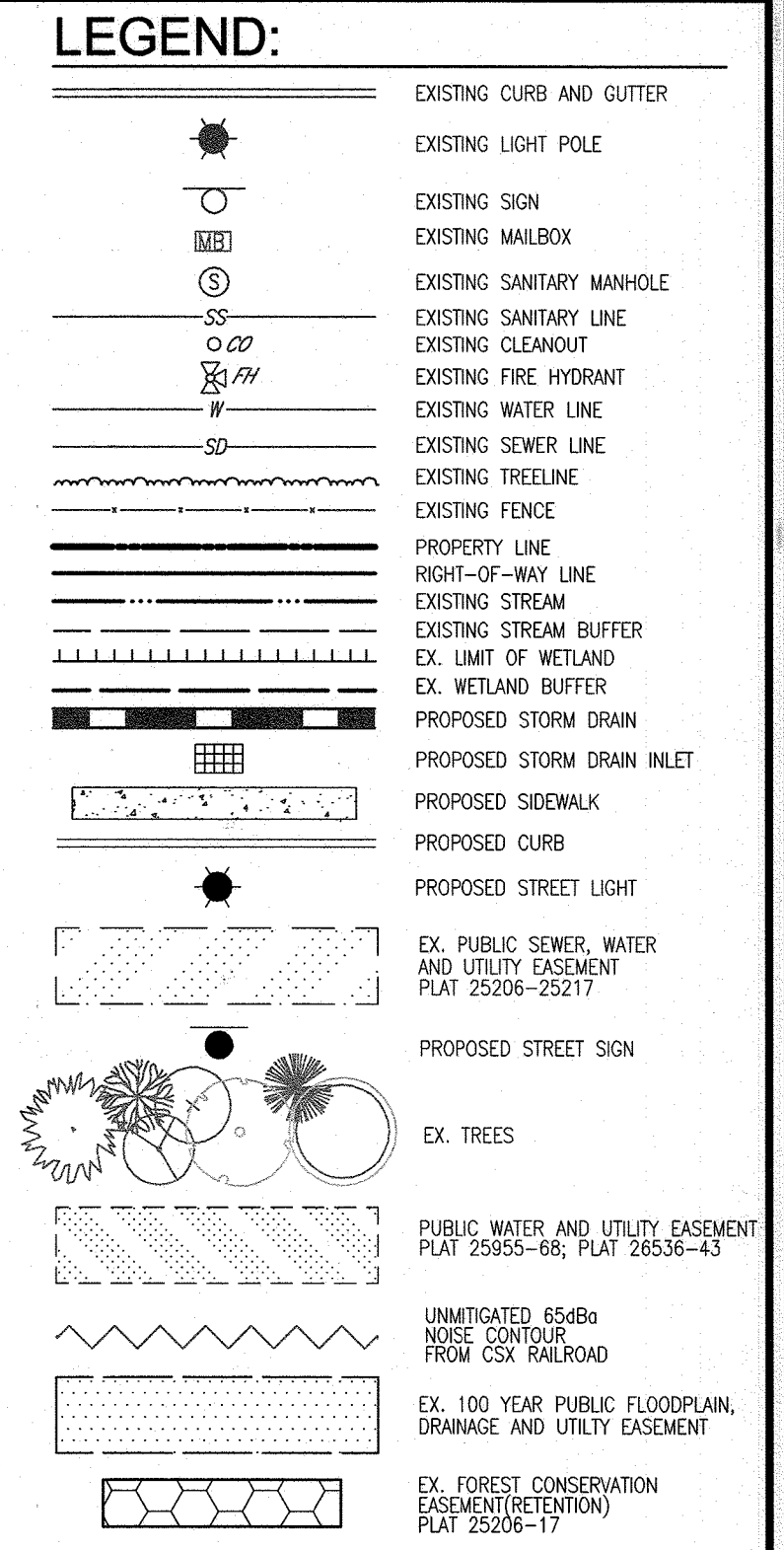
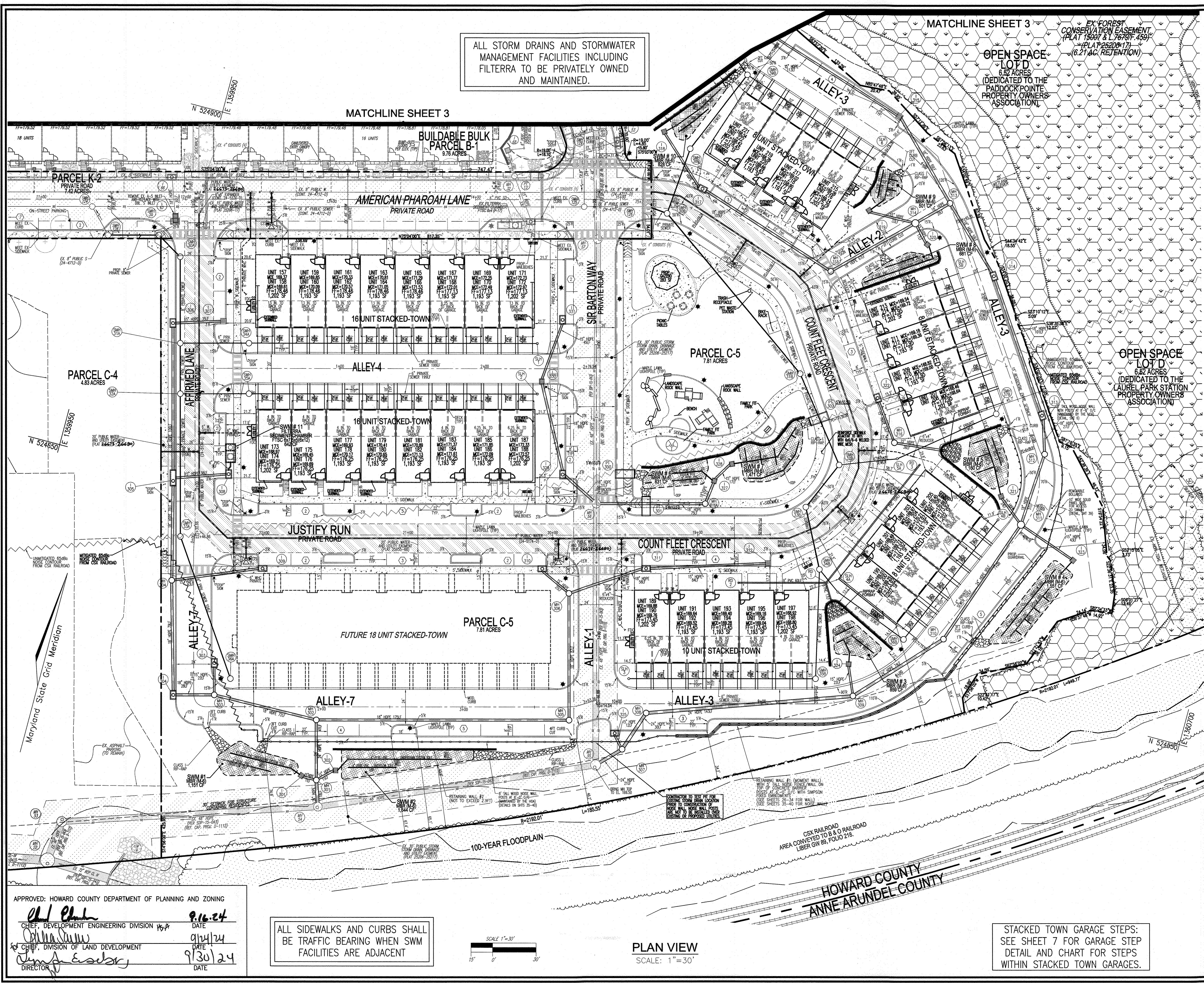
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Table with columns: UNIT, ADDRESS, UNIT, ADDRESS. Lists units 9884 through 9883.

Table with columns: UNIT, ADDRESS, UNIT, ADDRESS. Lists units 9882 through 9881.

Professional certificate section with fields for Design By, Drawn By, Checked By, Date, and Scale.

ALL STORM DRAINS AND STORMWATER MANAGEMENT FACILITIES INCLUDING FILTERRA TO BE PRIVATELY OWNED AND MAINTAINED.



PARCEL C-5 OWNER
 BEAZER HOMES, LLC
 6085 MARSHALLE DRIVE, SUITE 350
 ELKRIE, MD 20725
 443-539-9249

OWNER
 TRIPLE BELL FARMS, LLC
 198 LAUREL RACE TRACK RD
 LAUREL, MD 20725
 (301) 470-5494

OWNER/DEVELOPER
 20006 DELAWARE, INC.
 198 LAUREL RACE TRACK RD
 LAUREL, MD 20725
 (301) 470-5494

NO.	REVISION	DATE
2	REVISE PLAN TO SHOW NEW ARCHITECTURE FOR UNITS 172 - 222); REVISE W&S	04/10/24
	HOUSE CONNECTIONS; REMOVE APARTMENT BUILDINGS 7-9	
1	REVISE PLAN FOR BUILDING ARCHITECTURE (UNITS 157-171 & 223-232); AND	12/19/23
	REVISE W&S HOUSE CONNECTIONS	

REVISED SITE DEVELOPMENT PLAN

LAYOUT SHEET

PADDOCK POINTE - PHASE 3A
 (FORMERLY KNOWN AS LAUREL PARK STATION)

76 STACKED TOWN
 PARCELS C-5 & K-2
 ZONED: TOD

TAX MAP: 50 BLOCK: 10
 6TH ELECTION DISTRICT

PARCEL 384
 HOWARD COUNTY, MARYLAND

VOGEL ENGINEERING

TIMMONS GROUP

3300 NORTH RIDGE ROAD, SUITE 110, ELLICOTT CITY, MD 21043
 P: 410.461.7666 F: 410.461.8961 www.timmons.com

PROFESSIONAL CERTIFICATE

DESIGN BY: DZE/RHV
 DRAWN BY: DZE/JRW
 CHECKED BY: RHV
 DATE: MAY 2024
 SCALE: AS SHOWN
 W.O. NO.: 07-11/40111

STATE OF MARYLAND
 ROBERT H. VOGEL, PE No. 16193
 PROFESSIONAL ENGINEER

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 16193 EXPIRATION DATE 09-27-2024

2 SHEET OF 40

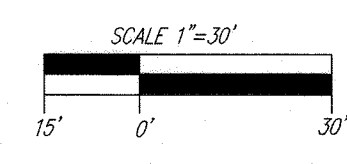
APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

[Signature] 9.16.24
 CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

[Signature] 9/14/24
 CHIEF, DIVISION OF LAND DEVELOPMENT DATE

[Signature] 9/30/24
 DIRECTOR DATE

ALL SIDEWALKS AND CURBS SHALL BE TRAFFIC BEARING WHEN SWM FACILITIES ARE ADJACENT



PLAN VIEW
 SCALE: 1"=30'

STACKED TOWN GARAGE STEPS:
 SEE SHEET 7 FOR GARAGE STEP
 DETAIL AND CHART FOR STEPS
 WITHIN STACKED TOWN GARAGES.



ALL STORM DRAINS AND STORMWATER MANAGEMENT FACILITIES INCLUDING FILTERRA TO BE PRIVATELY OWNED AND MAINTAINED.

LEGEND:

- EXISTING CURB AND GUTTER
- EXISTING LIGHT POLE
- EXISTING MANHOLE
- EXISTING SIGN
- EXISTING SANITARY MANHOLE
- EXISTING SANITARY LINE
- EXISTING FIRE HYDRANT
- EXISTING WATER LINE
- EXISTING SEWER LINE
- EXISTING TREELINE
- EXISTING FENCE
- PROPERTY LINE
- RIGHT-OF-WAY LINE
- EXISTING STREAM
- EXISTING STREAM BUFFER
- EX. LIMIT OF WETLAND
- EX. WETLAND BUFFER
- PROPOSED STORM DRAIN
- PROPOSED STORM DRAIN INLET
- PROPOSED SIDEWALK
- PROPOSED CURB
- PROPOSED STREET LIGHT
- EX. PUBLIC SEWER, WATER AND UTILITY EASEMENT PLAT 25206-25217
- PROPOSED STREET SIGN
- EX. TREES
- PUBLIC SEWER AND UTILITY EASEMENT PLAT 25955-68
- EX. FOREST CONSERVATION EASEMENT (RETENTION) PLAT 25206-17

NO.	REVISION	DATE
2	REVISE PLAN TO SHOW NEW ARCHITECTURE FOR UNITS 172 - 222; REVISE W&S HOUSE CONNECTIONS; REMOVE APARTMENT BUILDINGS 7-9	04/10/24
1	REVISE PLAN FOR BUILDING ARCHITECTURE (UNITS 157-171 & 223-232); AND REVISE W&S HOUSE CONNECTIONS	12/19/23

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REVISED SITE DEVELOPMENT PLAN

LAYOUT SHEET

PADDOCK POINTE - PHASE 3A
(FORMERLY KNOWN AS LAUREL PARK STATION)

16 STACKED TOWN UNITS
PARCELS C-5 & K-2
ZONED: TOD

TAX MAP: 50 BLOCK: 10
6TH ELECTION DISTRICT

PARCEL 384
HOWARD COUNTY, MARYLAND

VOGEL ENGINEERING

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APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

Chad Edmund 9/16/24
CHIEF, DEVELOPMENT ENGINEERING DIVISION

Chad Edmund 9/17/24
CHIEF, DIVISION OF LAND DEVELOPMENT

Shirley Eschey 9/30/24
DIRECTOR

PLAN VIEW
SCALE: 1" = 30'

SCALE 1"=30'

STACKED TOWN GARAGE STEPS:
SEE SHEET 7 FOR GARAGE STEP
DETAIL AND CHART FOR STEPS
WITHIN STACKED TOWN GARAGES.

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FACILITIES ARE ADJACENT

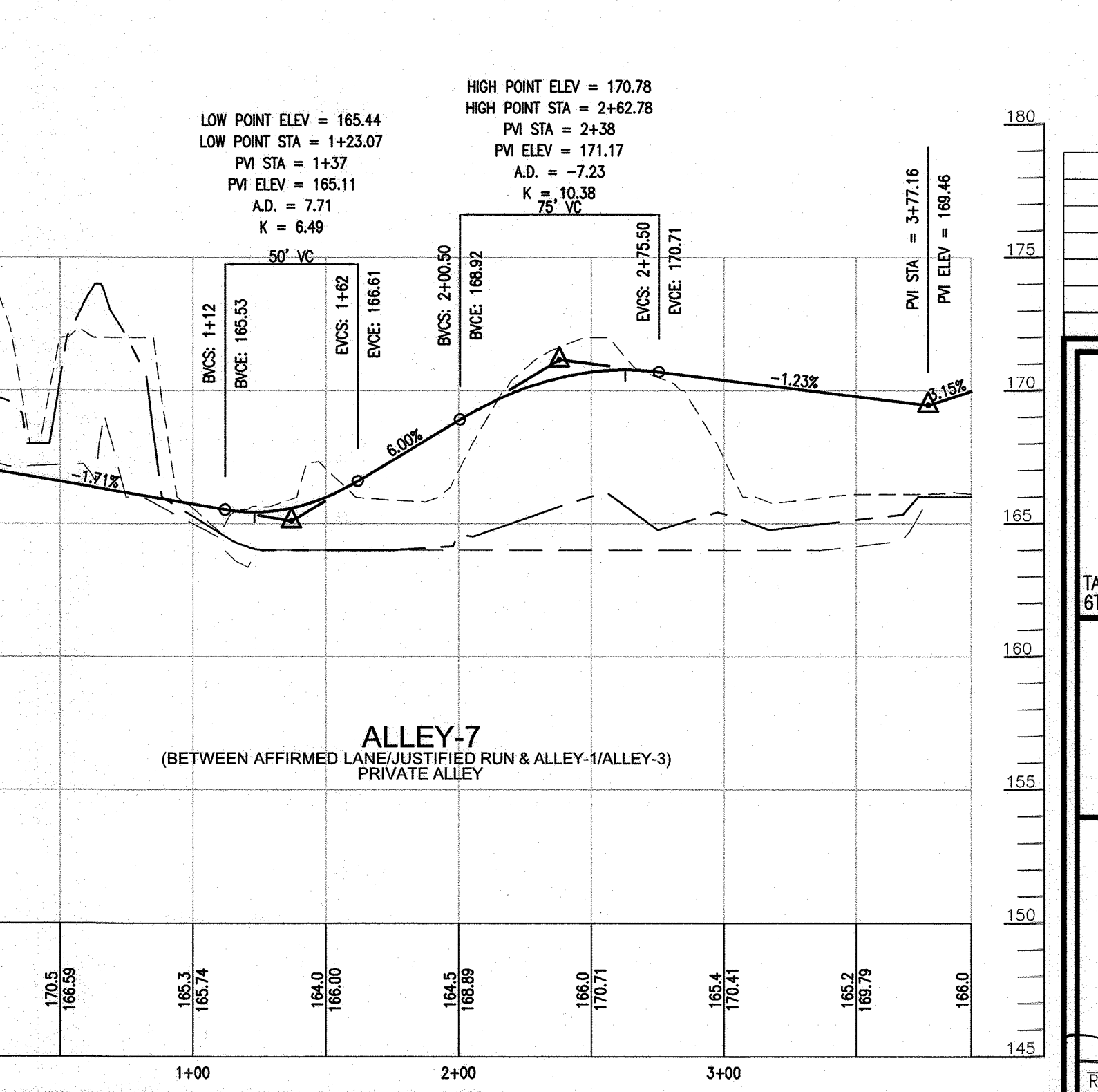
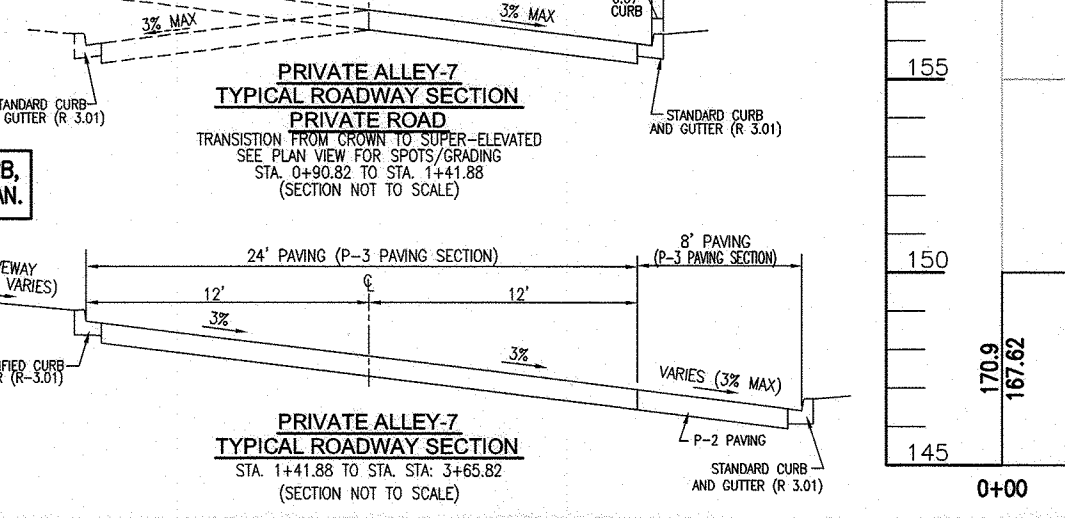
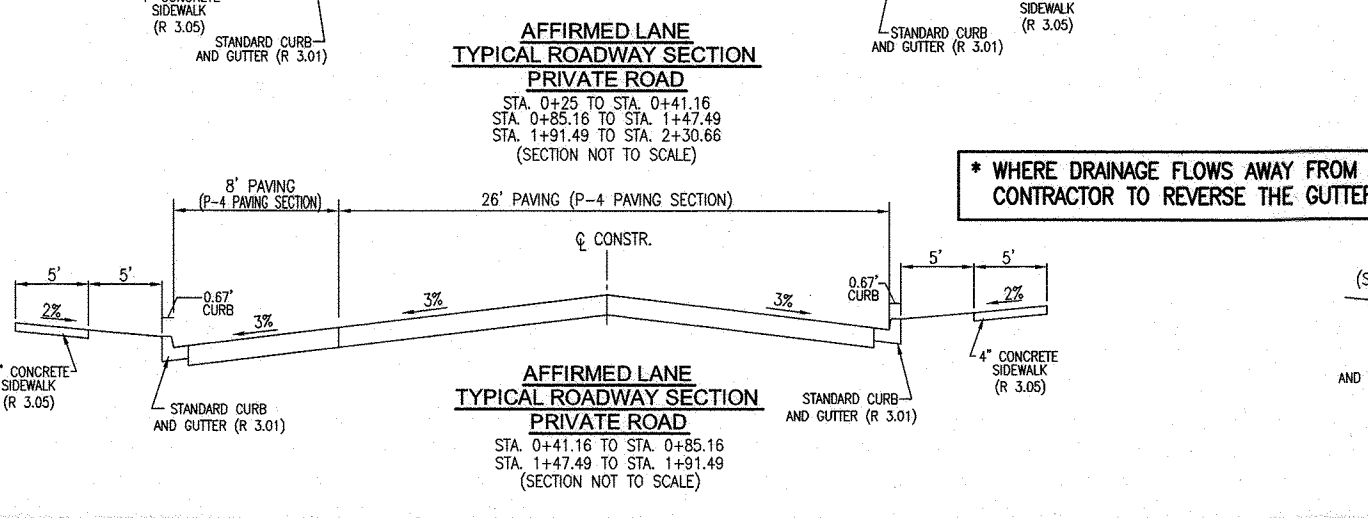
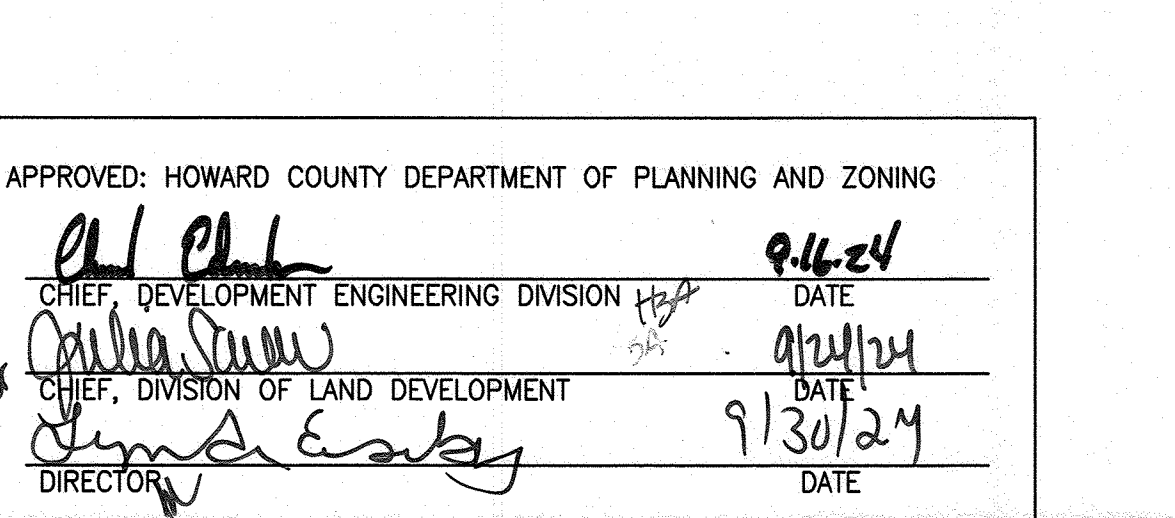
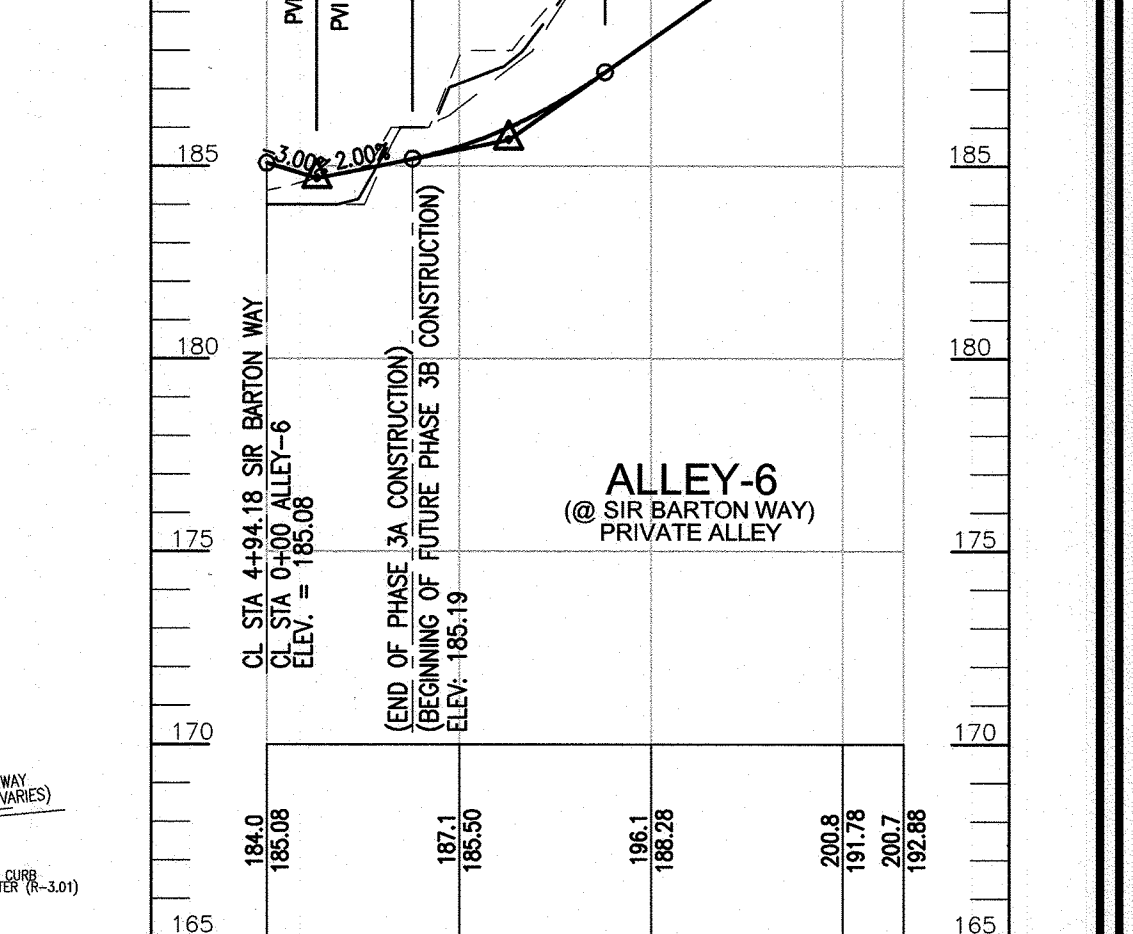
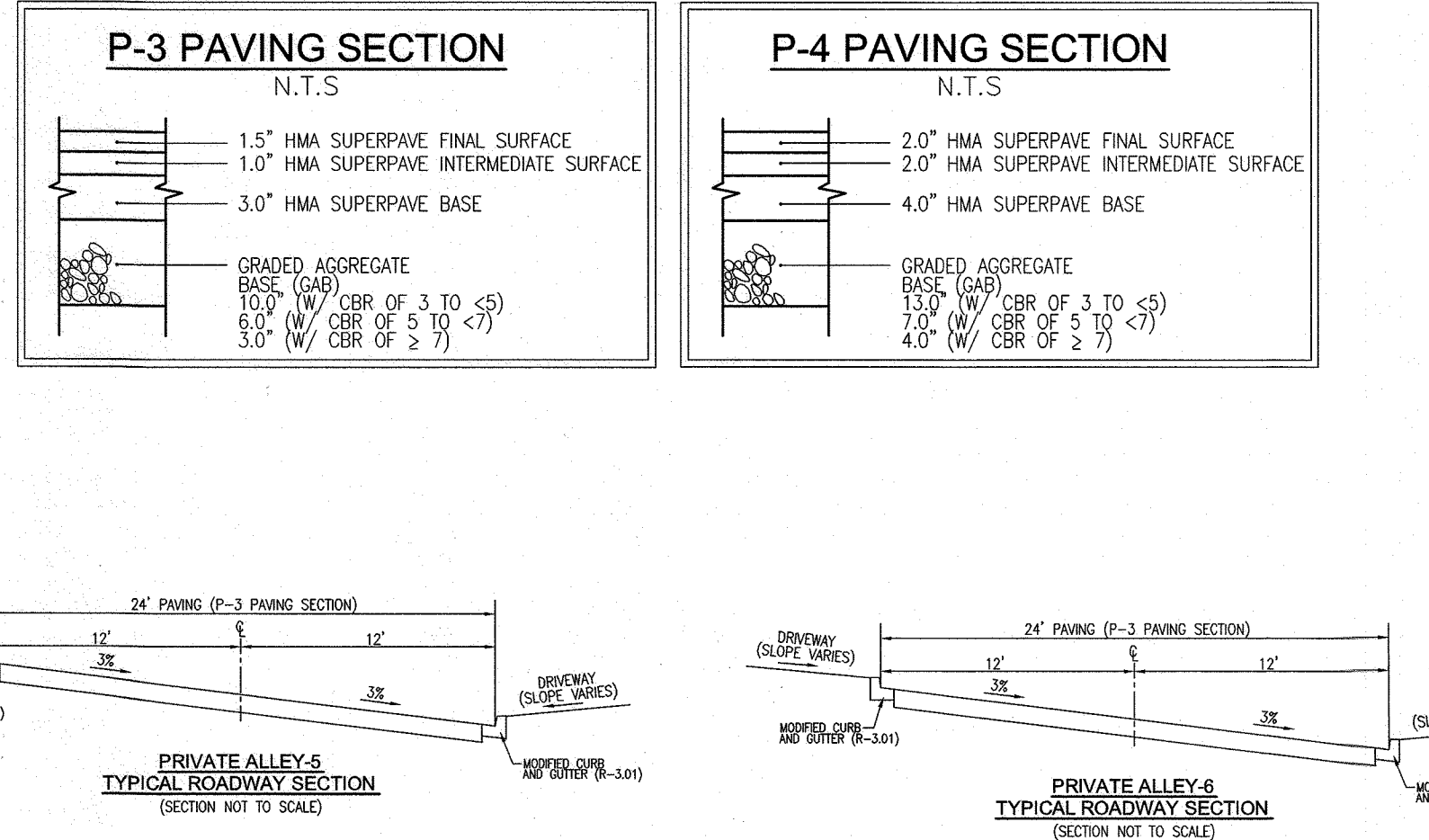
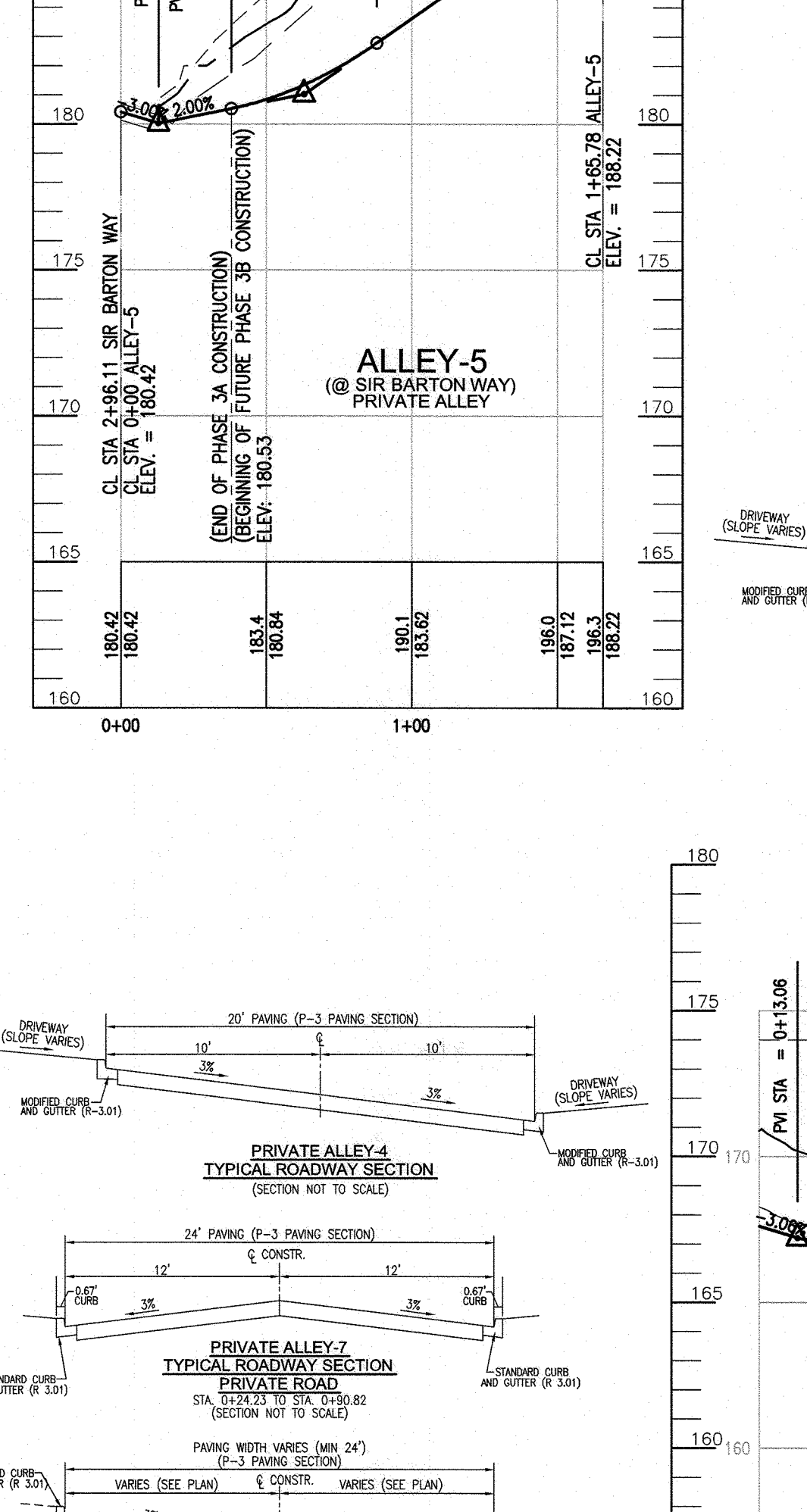
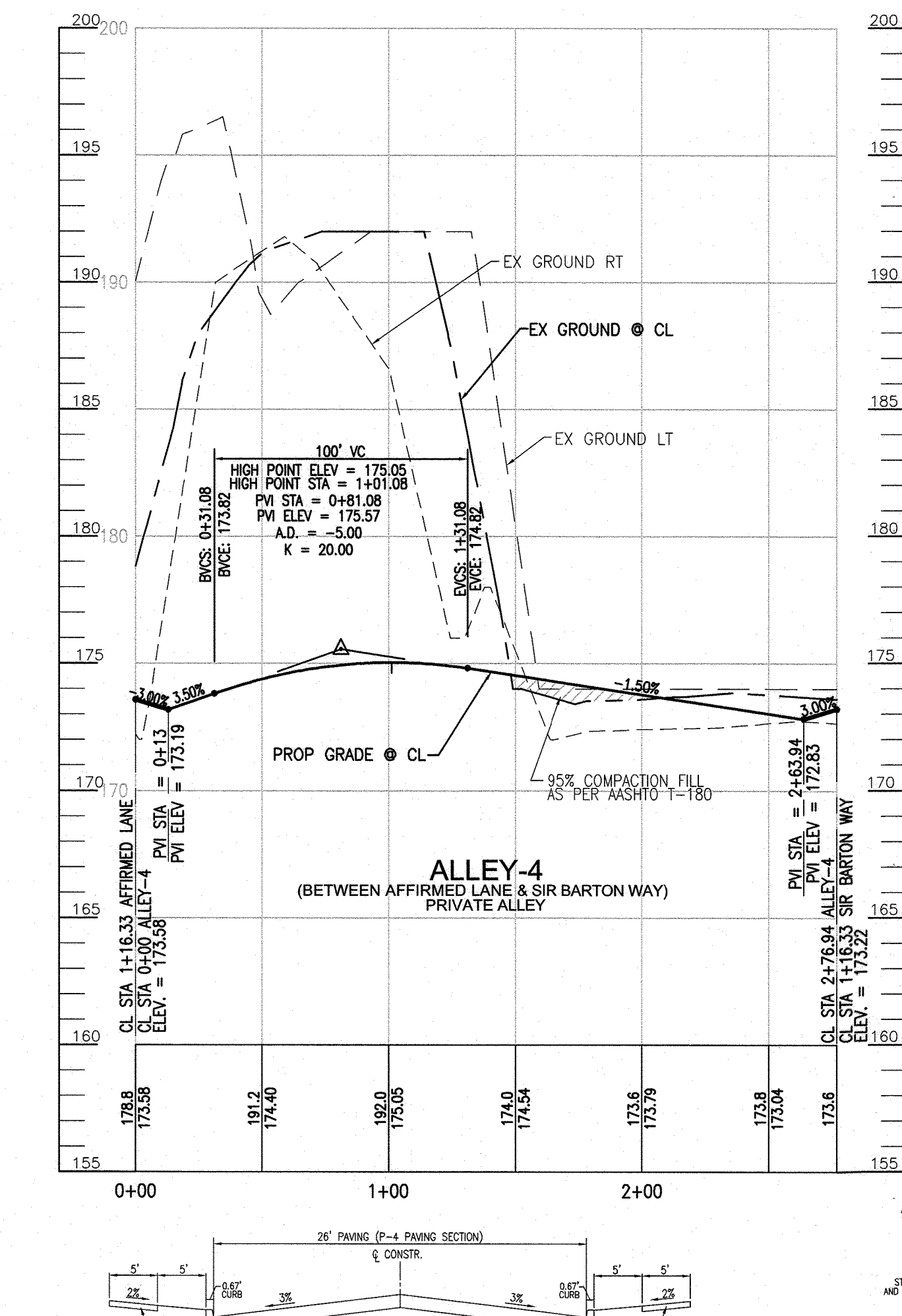
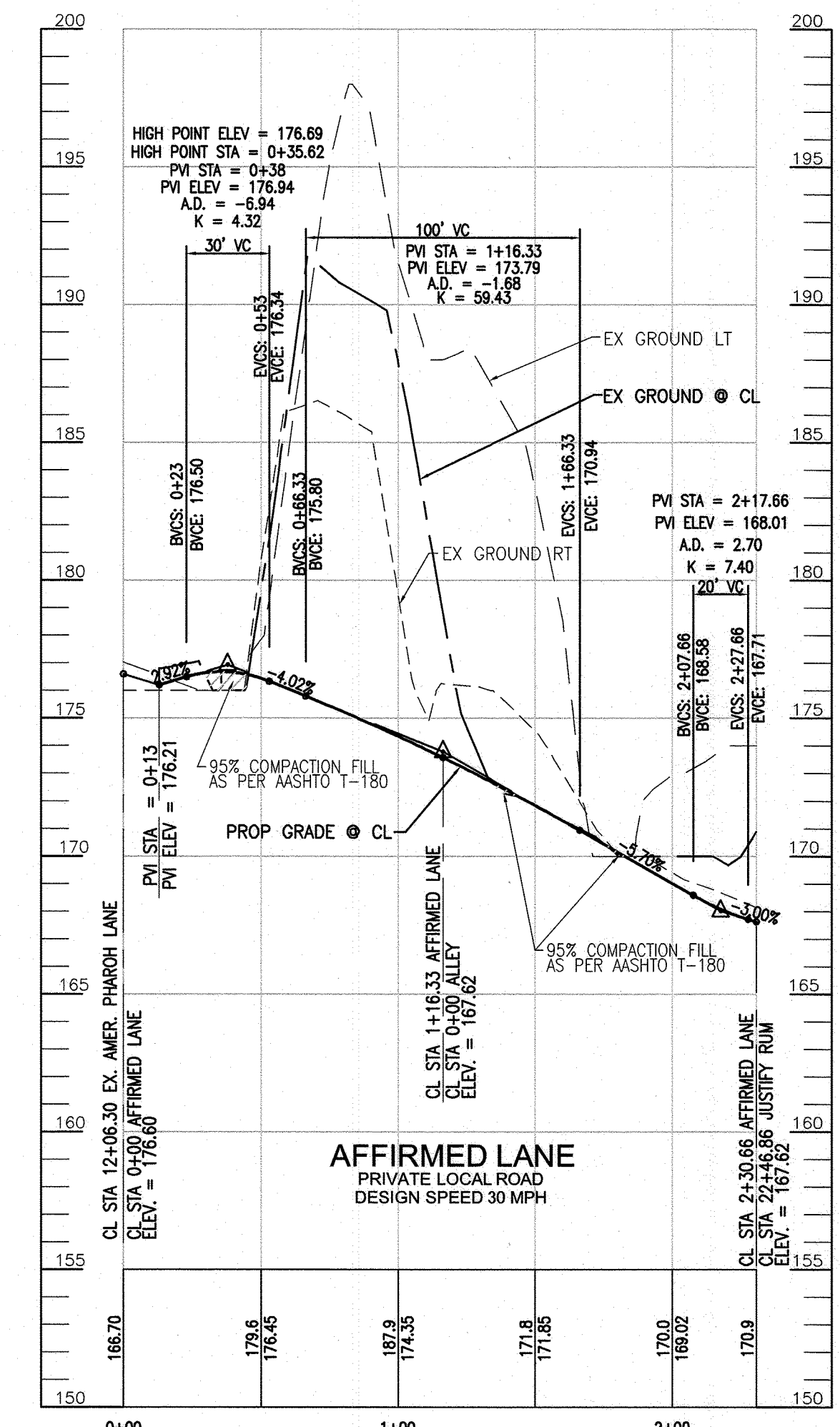
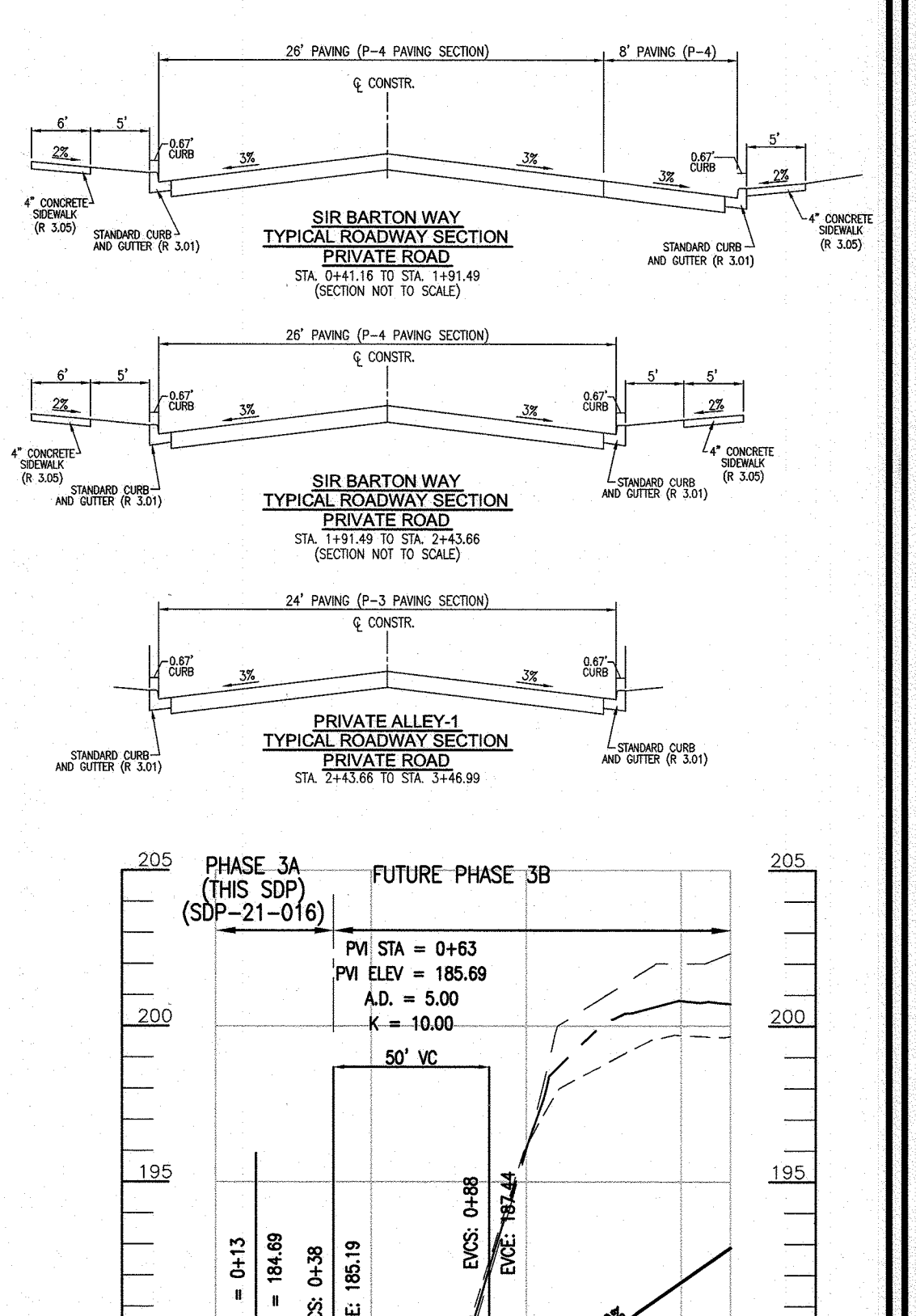
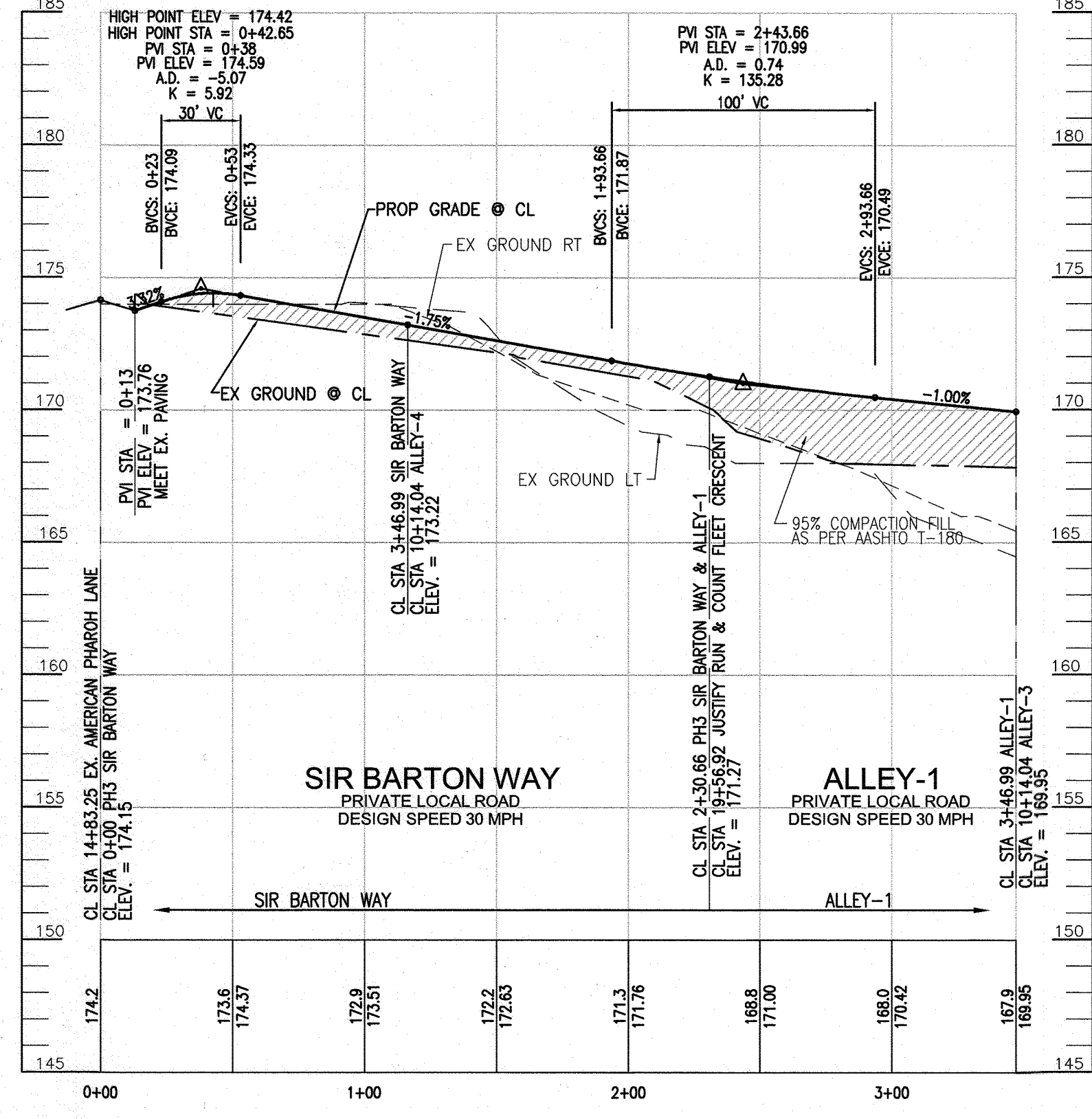
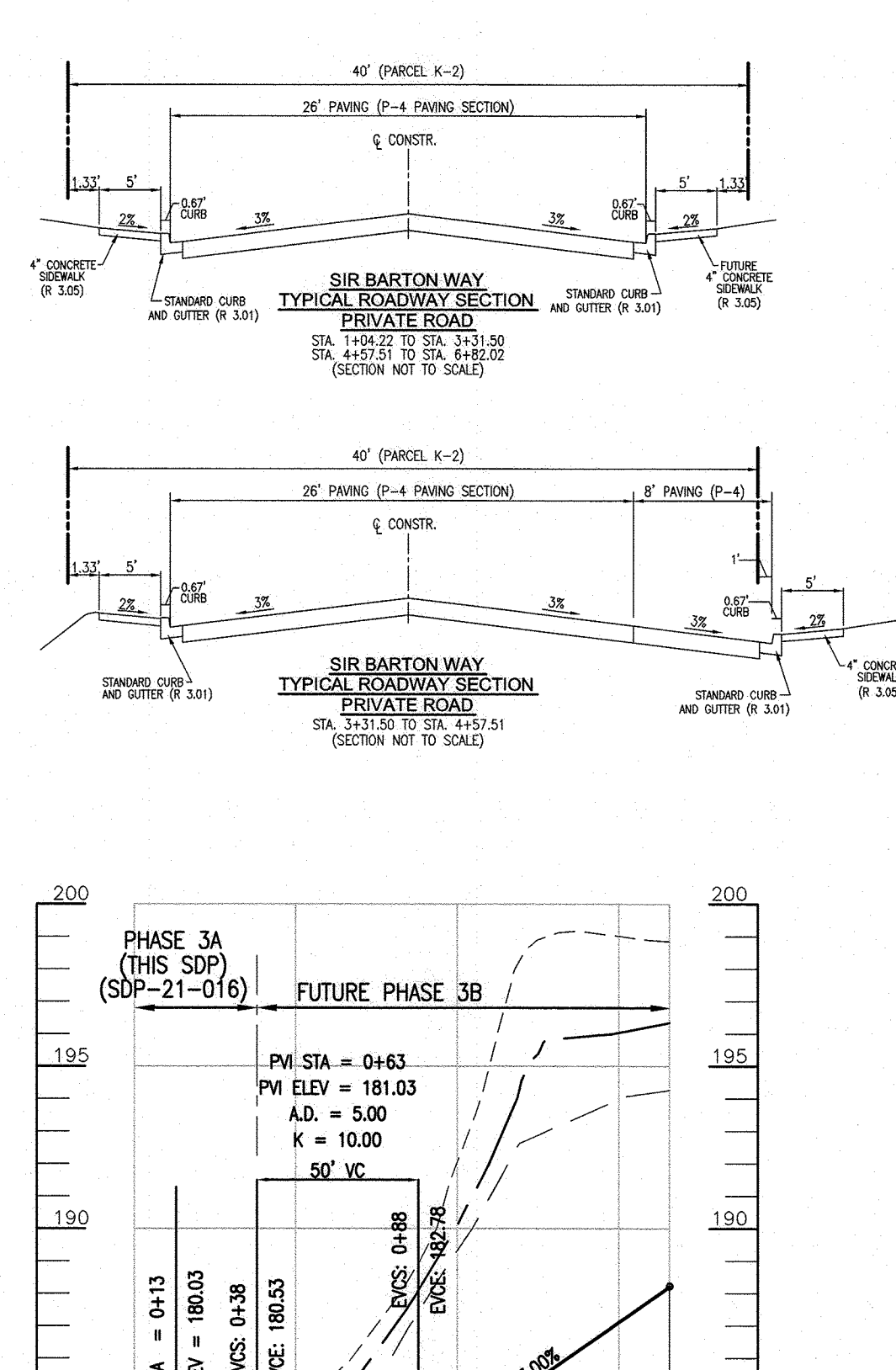
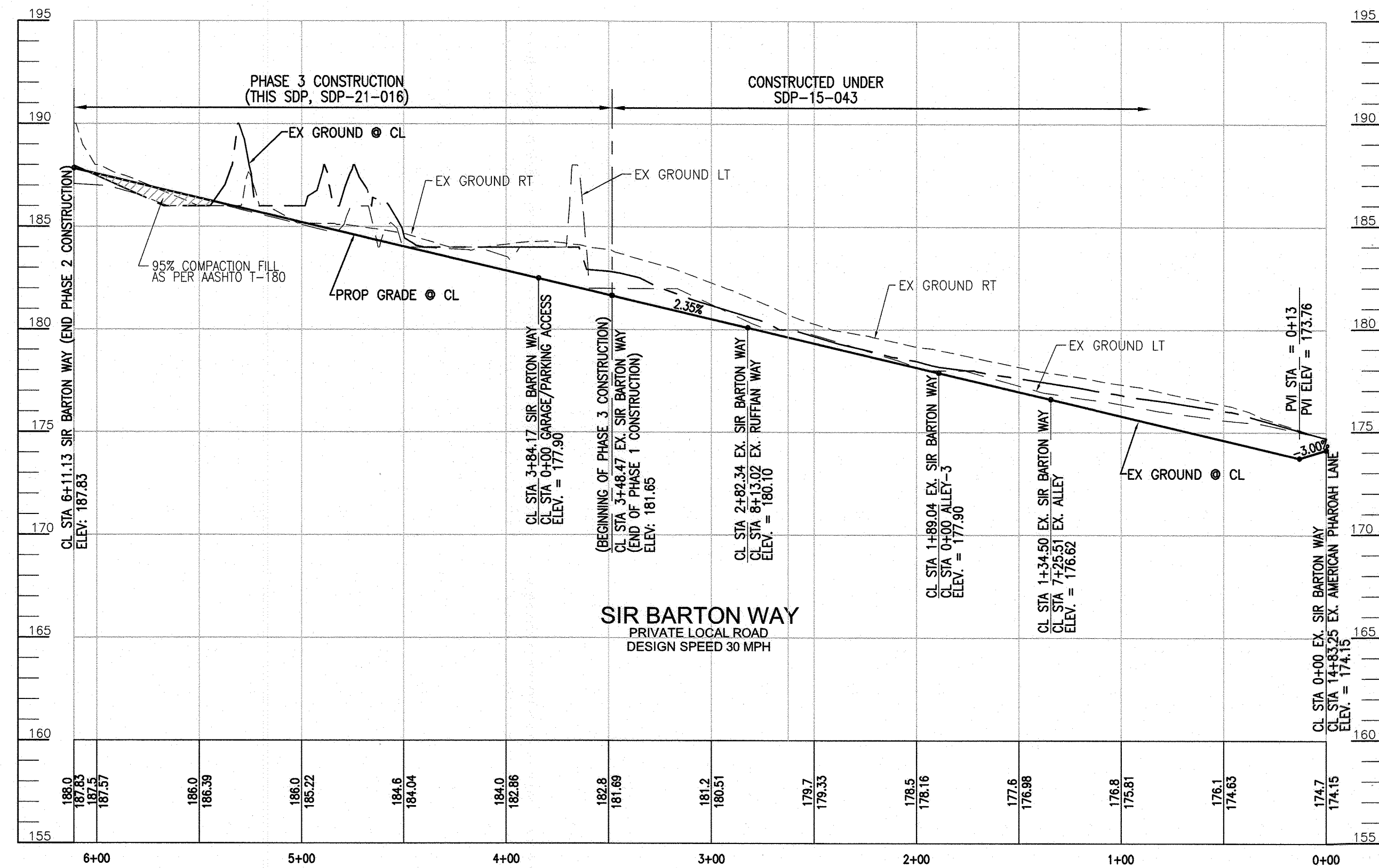
PROFESSIONAL CERTIFICATE

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DAILY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 18183, EXPIRATION DATE: 09-27-2024

DESIGN BY: DZE/RHV
DRAWN BY: DZE/JR
CHECKED BY: RHY
DATE: MAY 2024
SCALE: AS SHOWN
W.O. NO.: 07-11/40111

3 SHEET **40**

ROBERT H. VOGEL, PE No.16193



PARCEL C-5 OWNER: BEAZER HOMES, LLC. 6085 MARSHALLEE DRIVE, SUITE 350 LAUREL, MD 21075. 443-539-9249

OWNER: TRIPLE BELL FARMS, LLC. 198 LAUREL RACE TRACK RD LAUREL, MD 20725. (301) 470-5494

OWNER/DEVELOPER: 20006 DELAWARE, INC. 198 LAUREL RACE TRACK RD LAUREL, MD 20725. (301) 470-5494

NO.	REVISION	DATE
2	REVISE PLAN TO SHOW NEW ARCHITECTURE FOR UNITS 172 - 222; REVISE W&S HOUSE CONNECTIONS; REMOVE APARTMENT BUILDINGS 7-9	04/10/24
1	REVISE PLAN FOR BUILDING ARCHITECTURE (UNITS 157-171 & 223-232); AND REVISE W&S HOUSE CONNECTIONS	12/19/23

REVISED SITE DEVELOPMENT PLAN

ROAD PROFILES AND DETAILS

PADDOCK POINTE - PHASE 3A
(FORMERLY KNOWN AS LAUREL PARK STATION)

TAX MAP: 50 BLOCK: 10
6TH ELECTION DISTRICT

PARCELS C-3 & C-2
ZONED: TOD

PARCEL 384
HOWARD COUNTY, MARYLAND

VOGEL ENGINEERING

TIMMONS GROUP
3300 NORTH RIDGE ROAD, SUITE 110, ELLICOTT CITY, MD 21043
P: 410.461.7666 F: 410.461.8961 www.timmons.com

DESIGN BY: DZE/RHV
DRAWN BY: DZE/JR
CHECKED BY: RHV
DATE: MAY 2024
SCALE: AS SHOWN
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PROFESSIONAL CERTIFICATE
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A duly LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NO. 18147
EXPIRATION DATE: 09-27-2024

4 SHEET OF 40

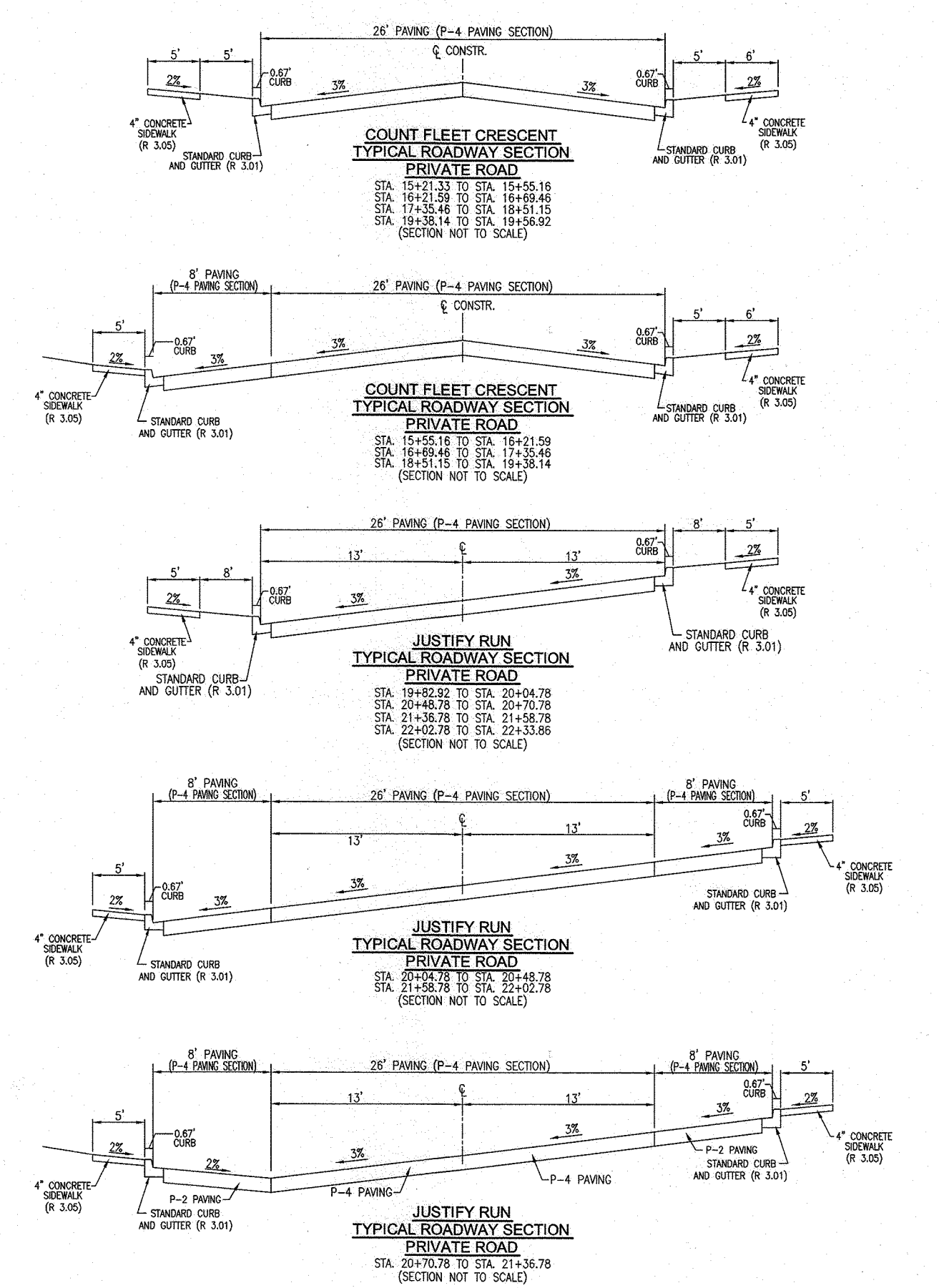
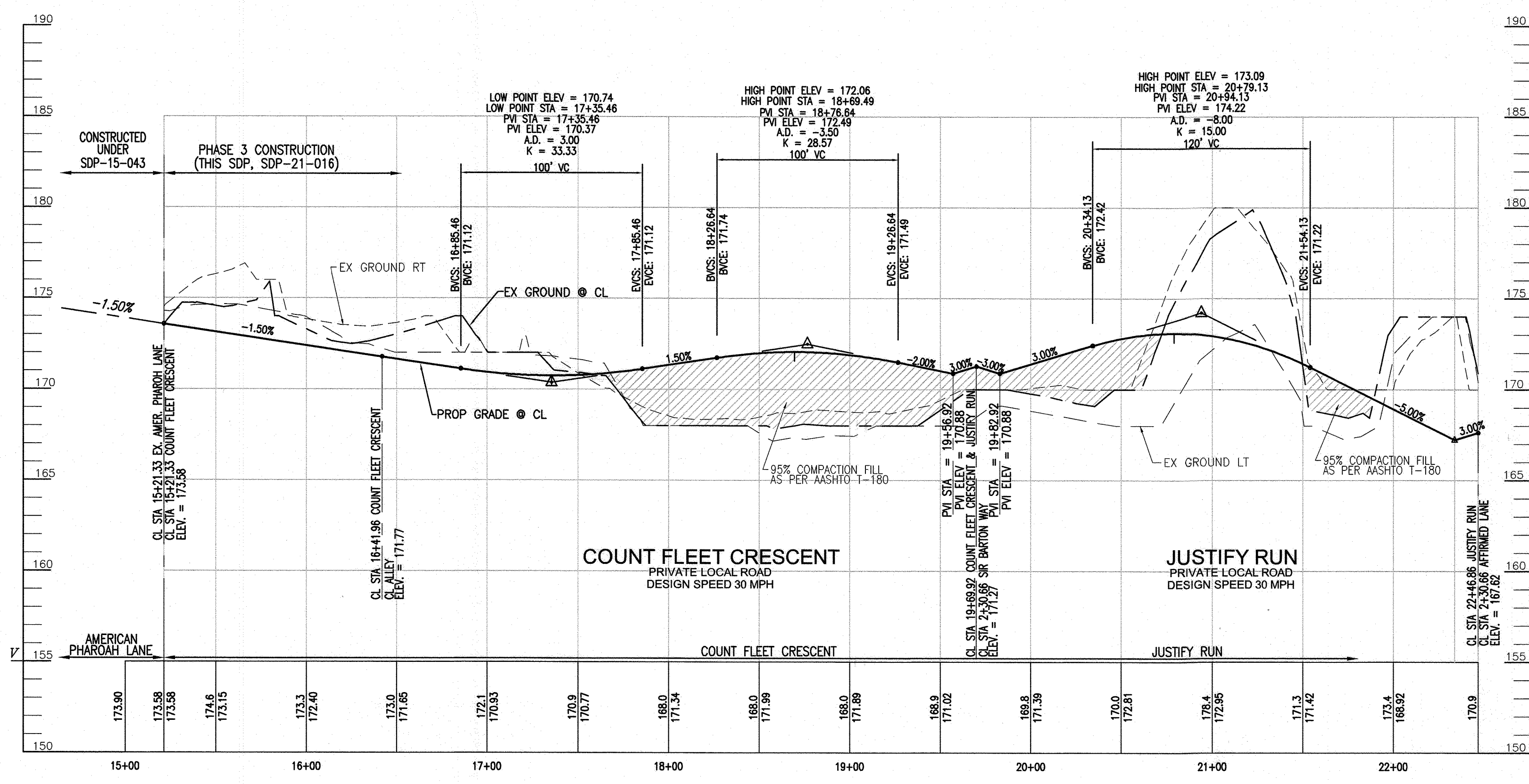
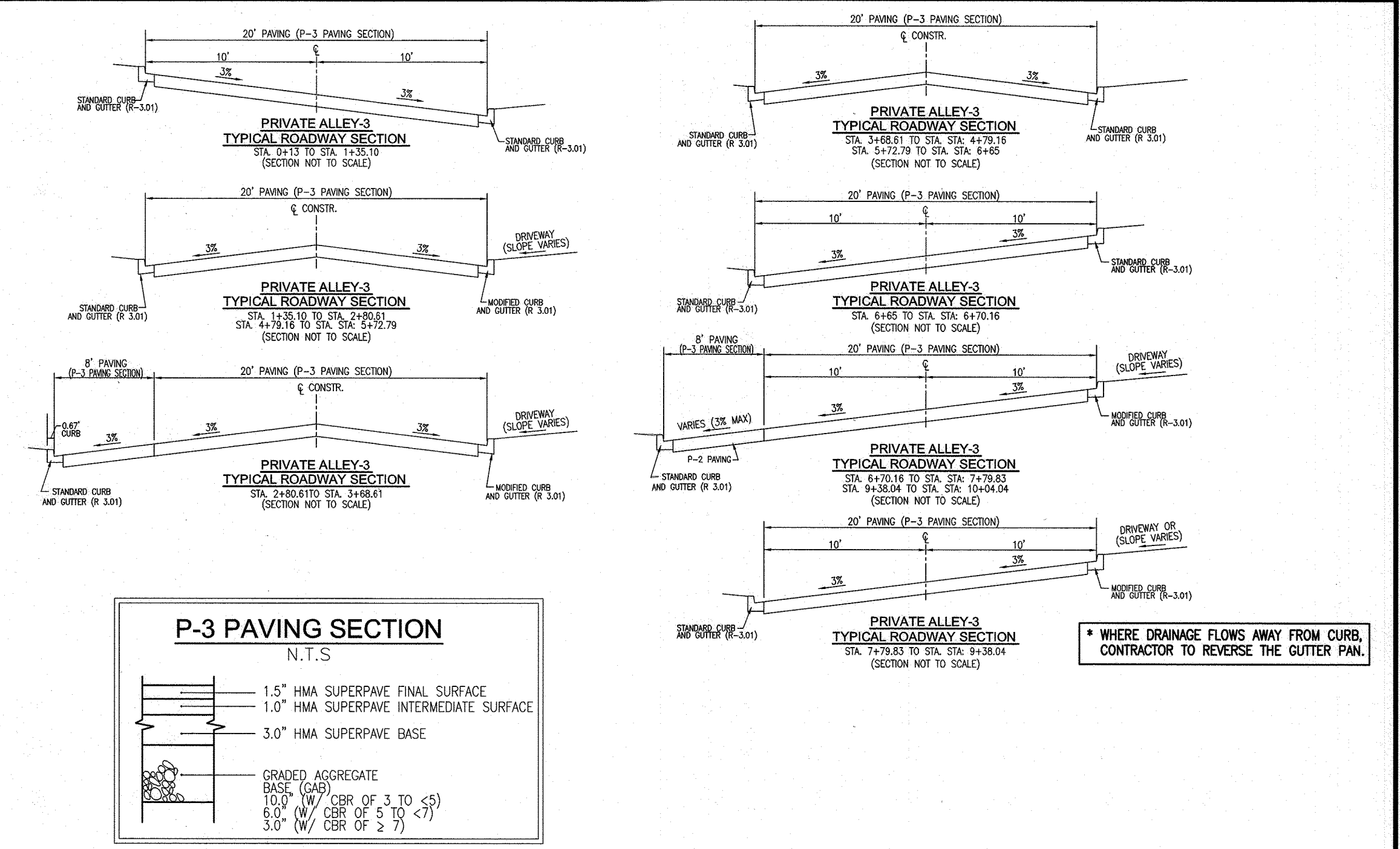
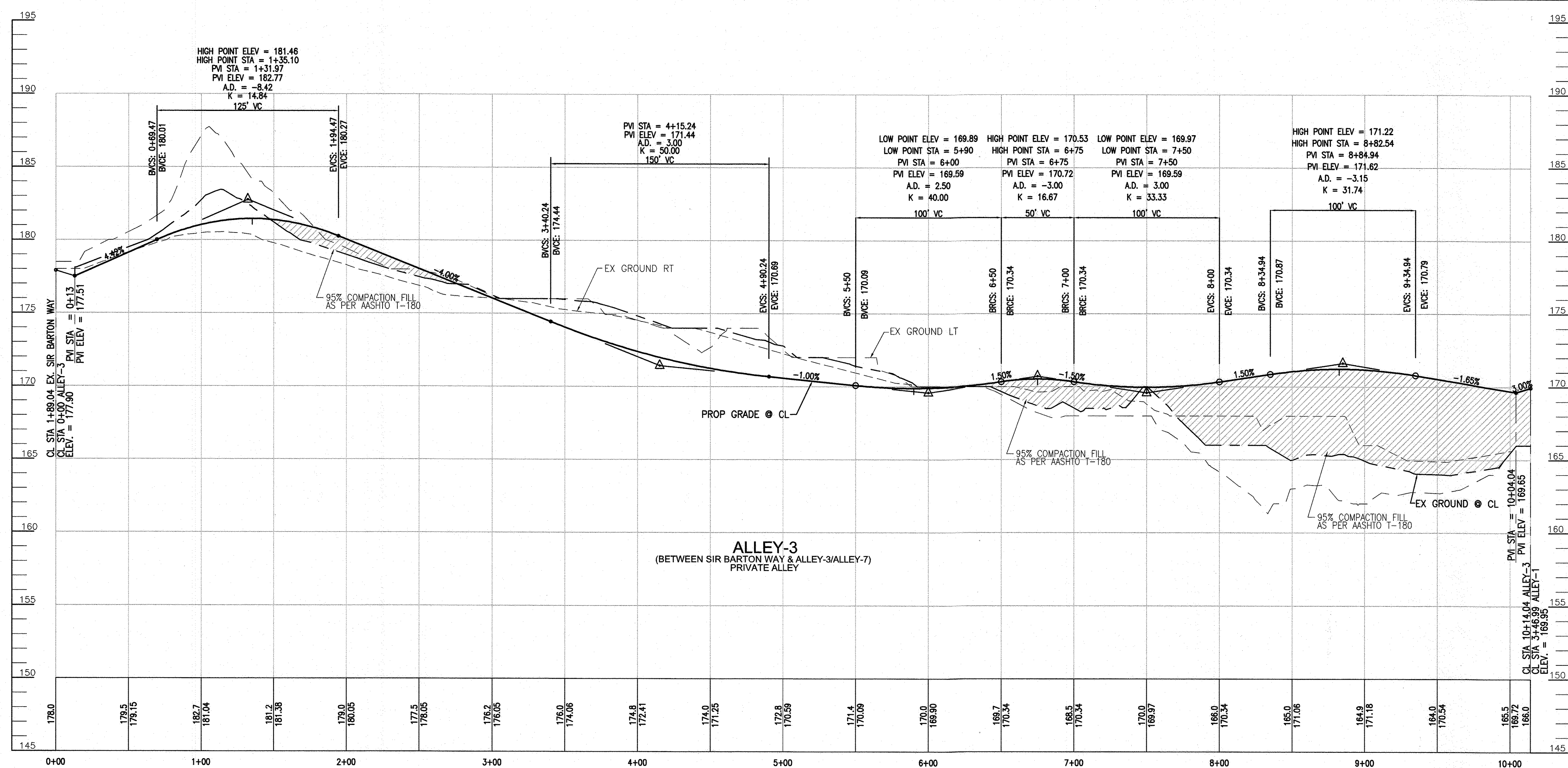
RÜBER H. VOGEL, PE No.16193

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

Chief, Engineering Division
Chief, Division of Land Development
Director

DATE: 9/24/24
DATE: 9/30/24

WHERE DRAINAGE FLOWS AWAY FROM CURB, CONTRACTOR TO REVERSE THE GUTTER PAN.

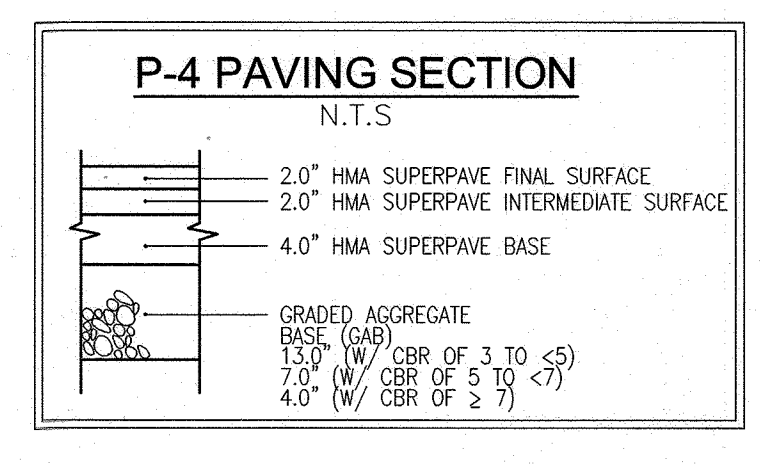


APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

[Signature] 9/16/24
 CHIEF, DEVELOPMENT ENGINEERING DIVISION

[Signature] 9/24/24
 CHIEF, DIVISION OF LAND DEVELOPMENT

[Signature] 9/30/24
 DIRECTOR



NO.	REVISION	DATE
2	REVISE PLAN TO SHOW NEW ARCHITECTURE FOR UNITS 172 - 222); REVISE W&S HOUSE CONNECTIONS; REMOVE APARTMENT BUILDINGS 7-9	04/10/24
1	REVISE PLAN FOR BUILDING ARCHITECTURE (UNITS 157-171 & 223-232); AND REVISE W&S HOUSE CONNECTIONS	12/19/23

REVISED SITE DEVELOPMENT PLAN
 ROAD PROFILES AND DETAILS
 PADDOCK POINTE - PHASE 3A
 (FORMERLY KNOWN AS LAUREL PARK STATION)

TAX MAP: 50 BLOCK: 10
 6TH ELECTION DISTRICT

PARCEL C-5 OWNER: BEAZER HOMES, LLC
 OWNER: TRIPLE BELL FARMS, LLC
 OWNER/DEVELOPER: 20006 DELAWARE, INC.

VOGEL ENGINEERING
TIMMONS GROUP

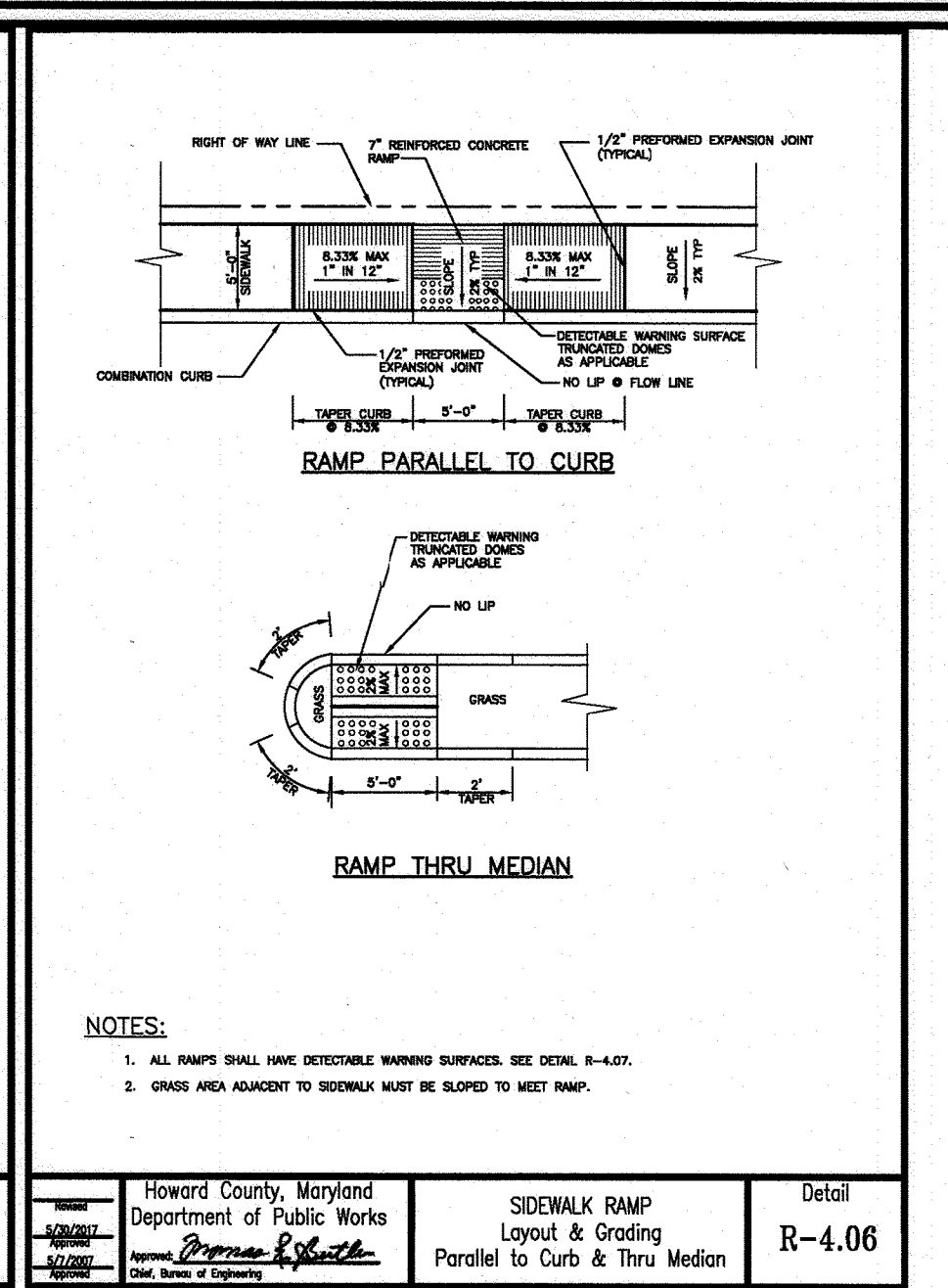
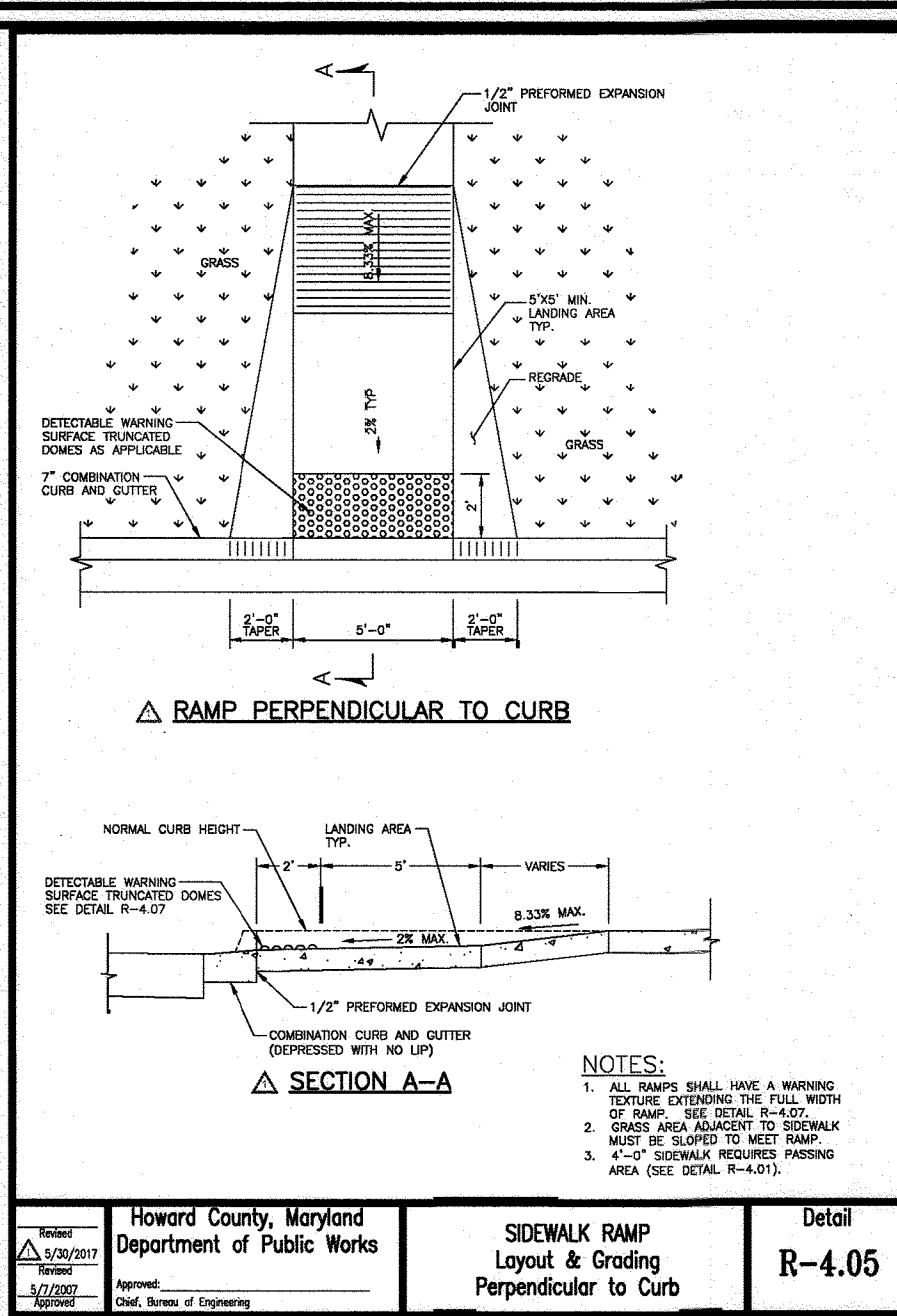
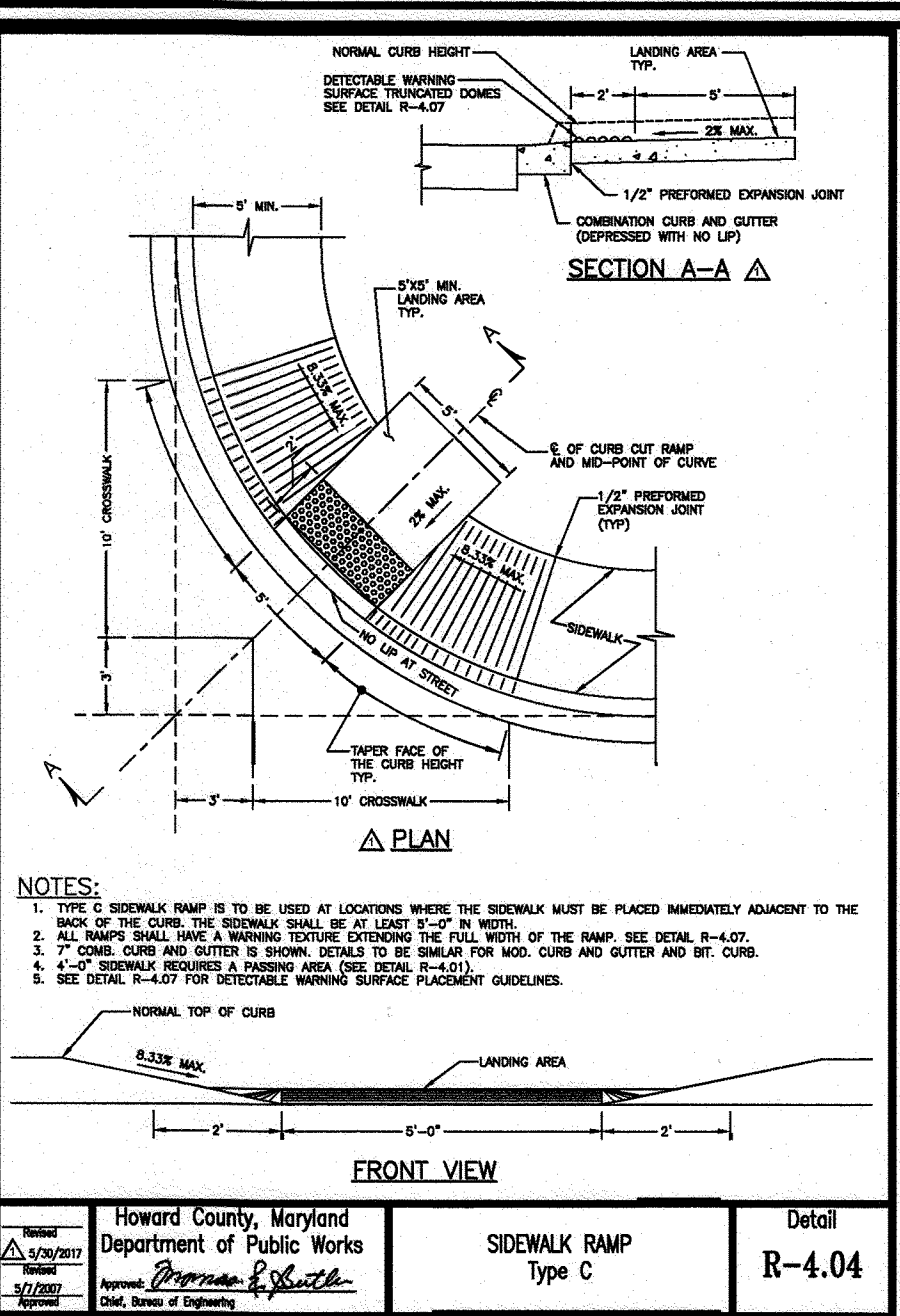
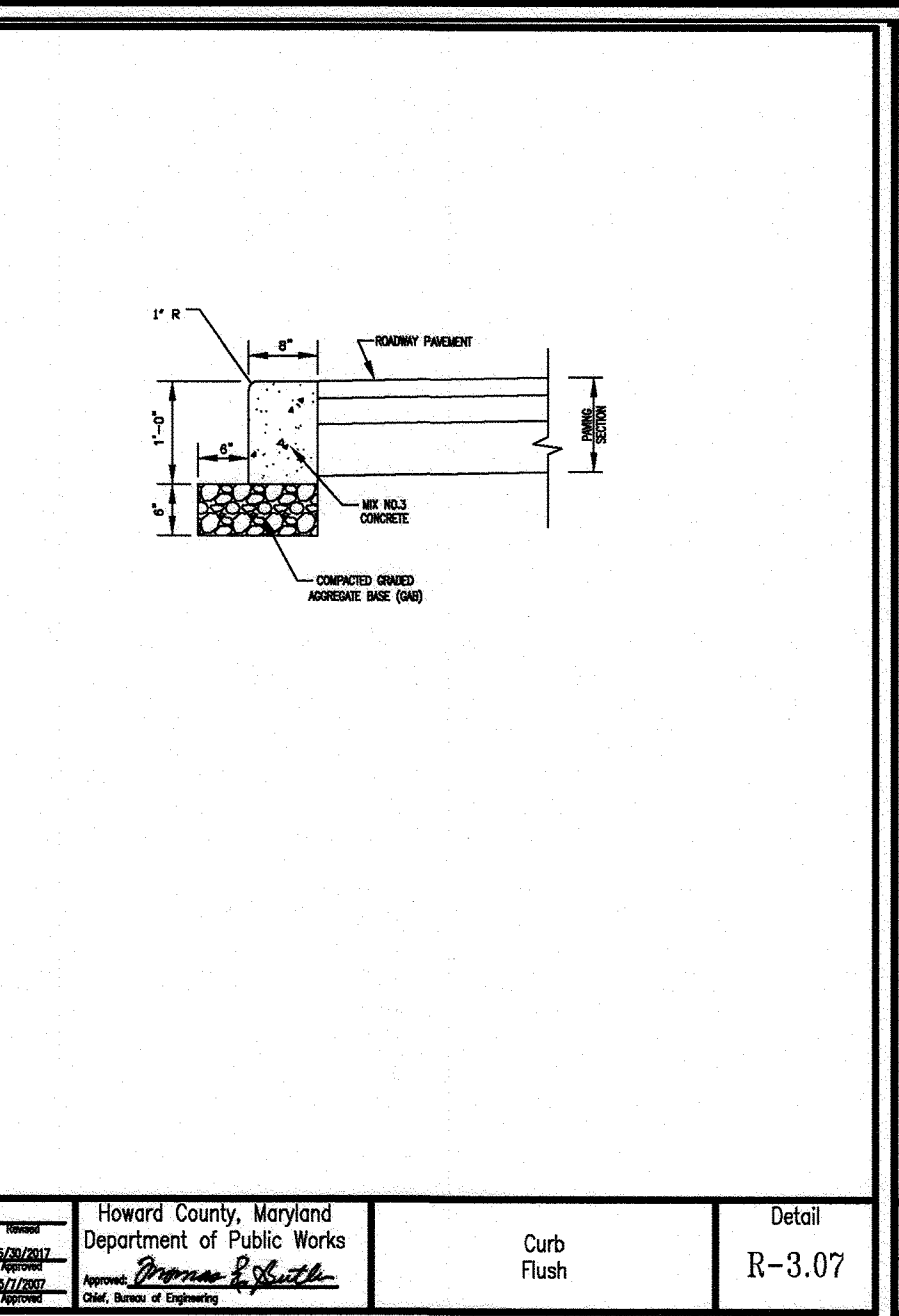
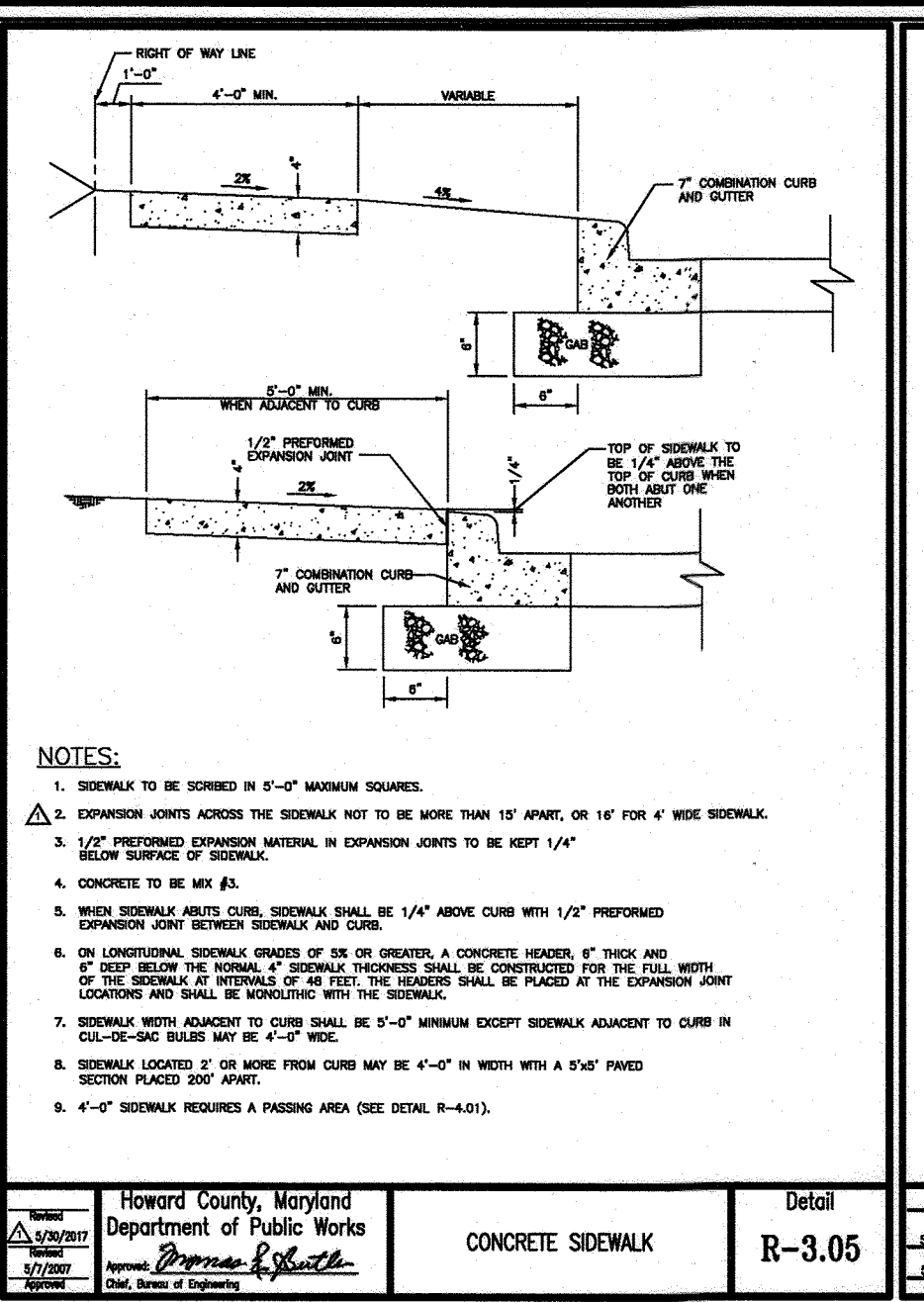
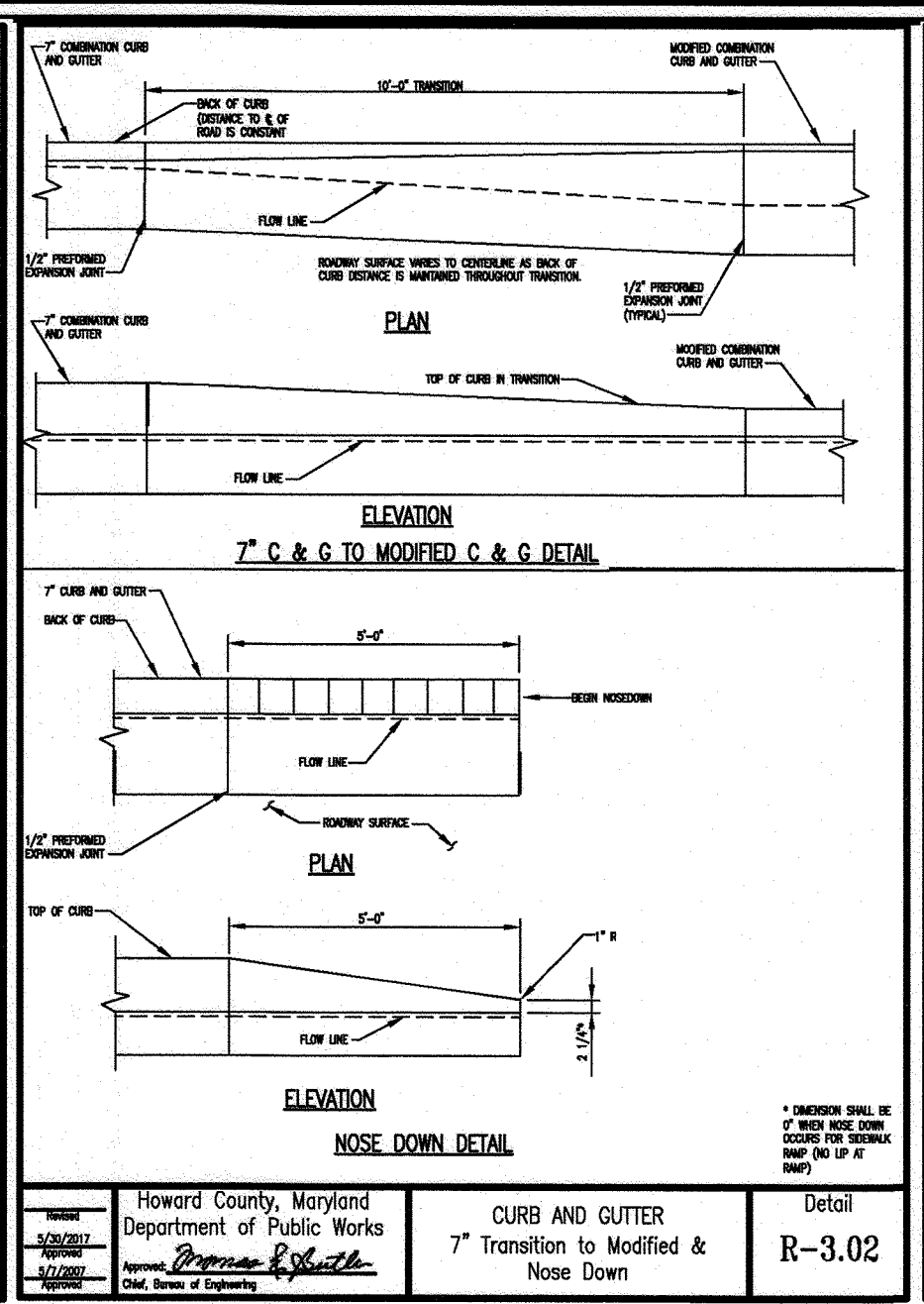
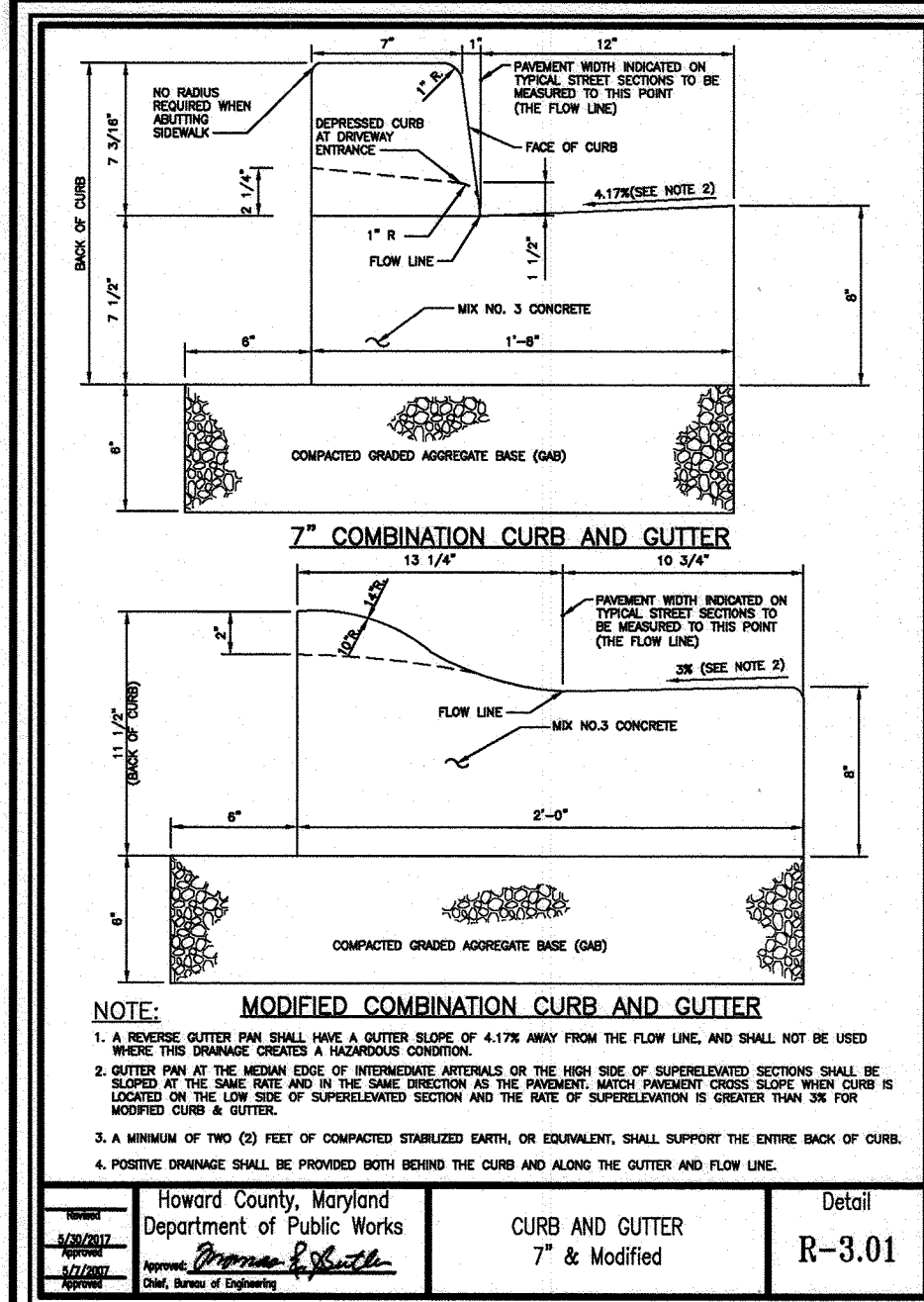
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DESIGN BY: DZE/RHV
 DRAWN BY: DZE/JR
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 DATE: MAY 2024
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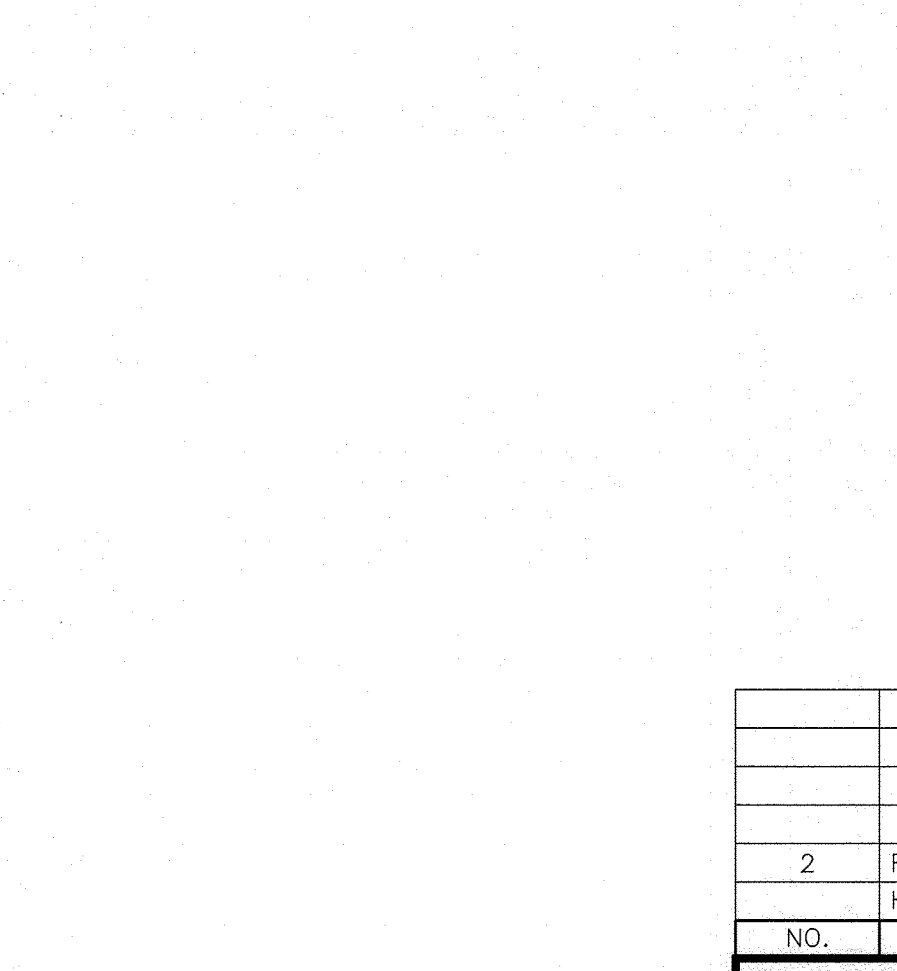
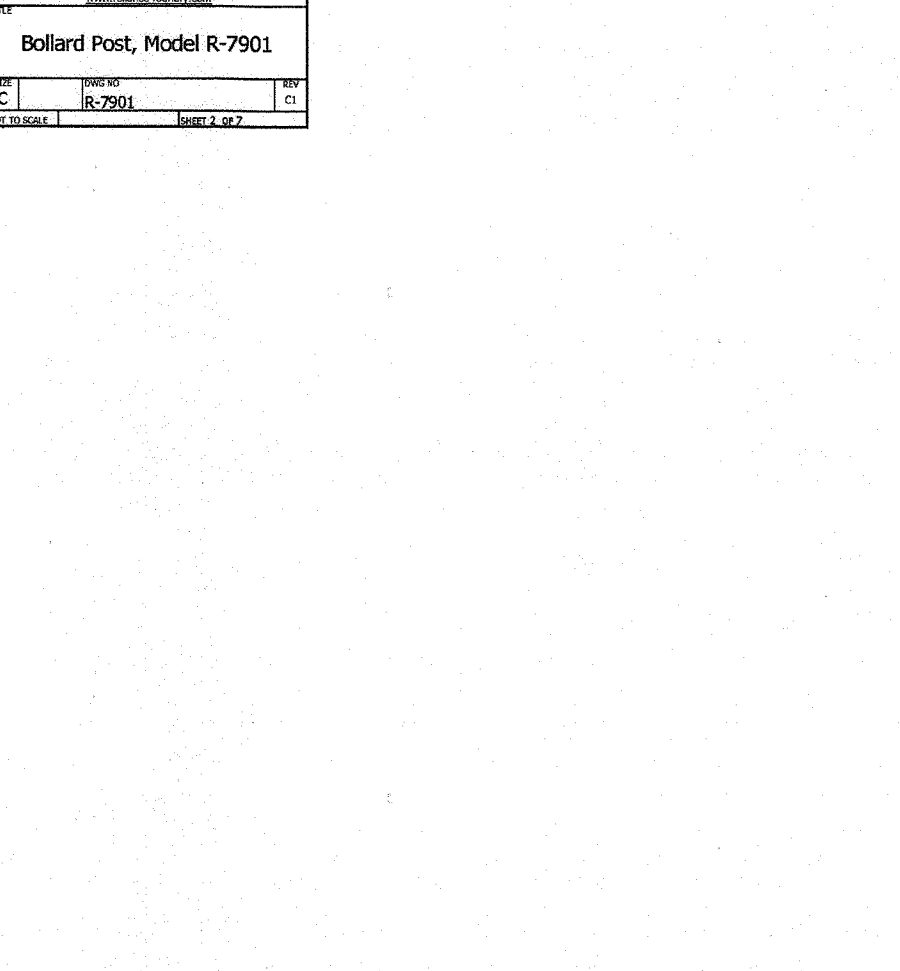
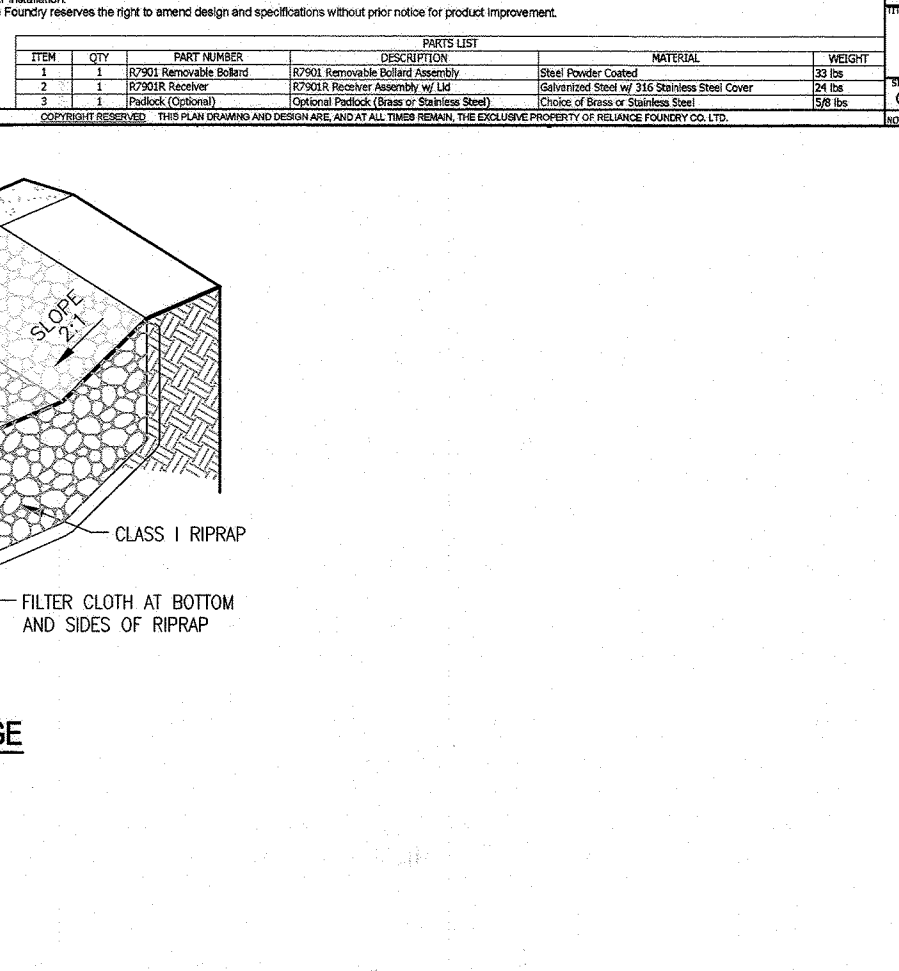
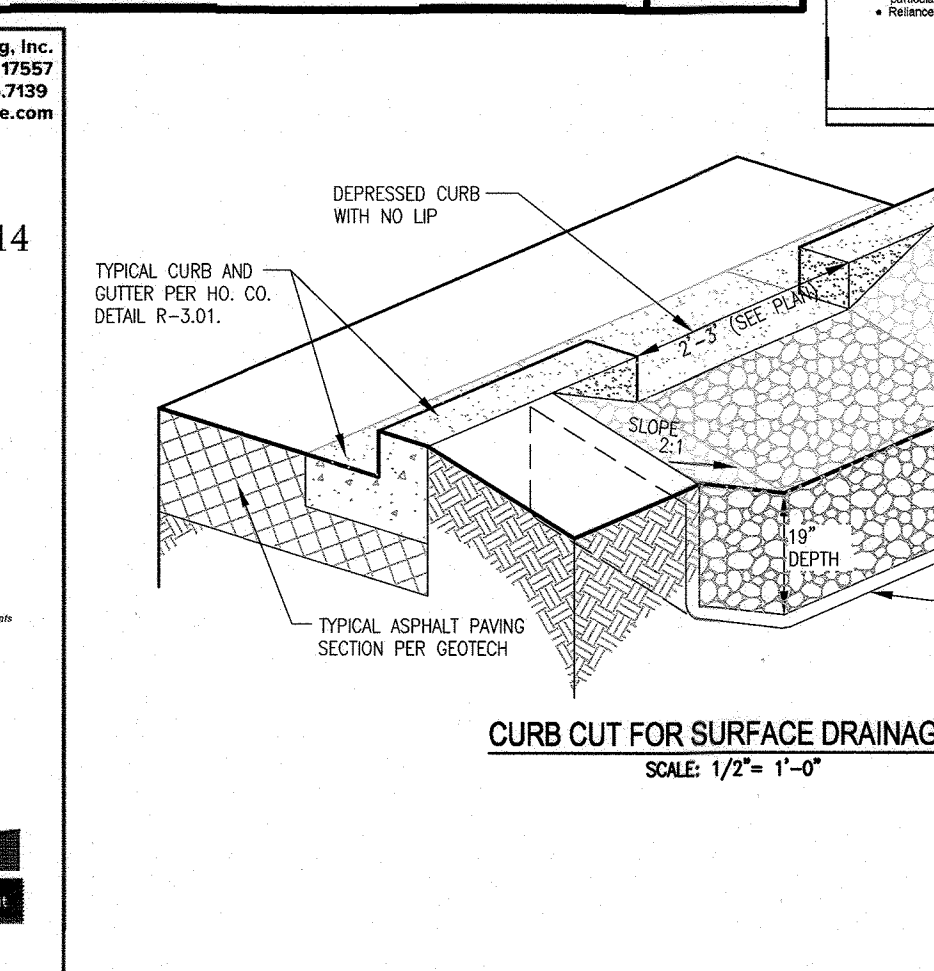
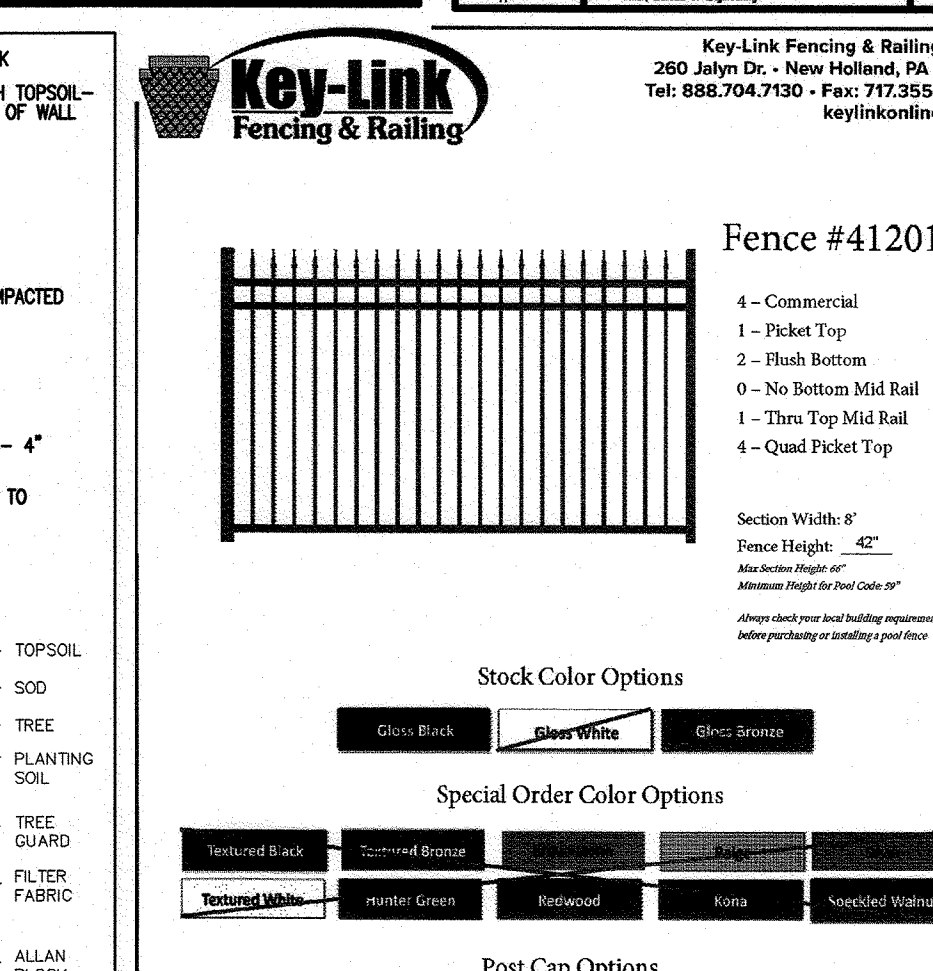
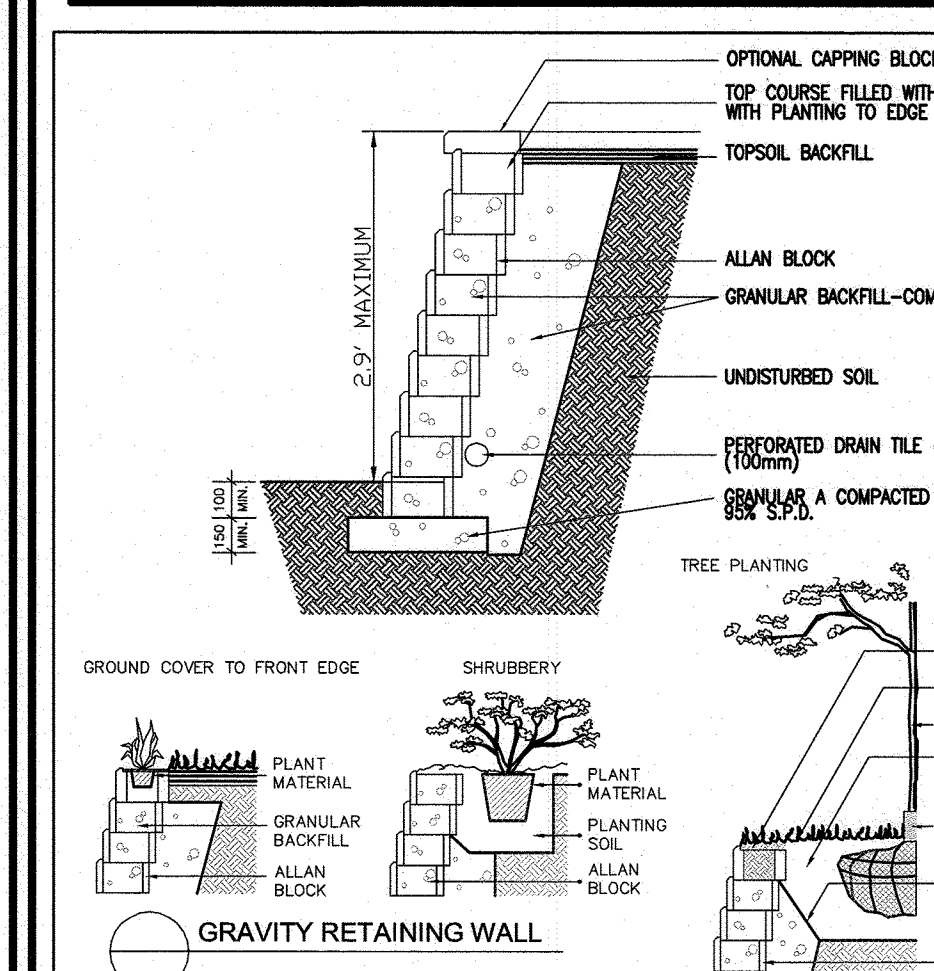
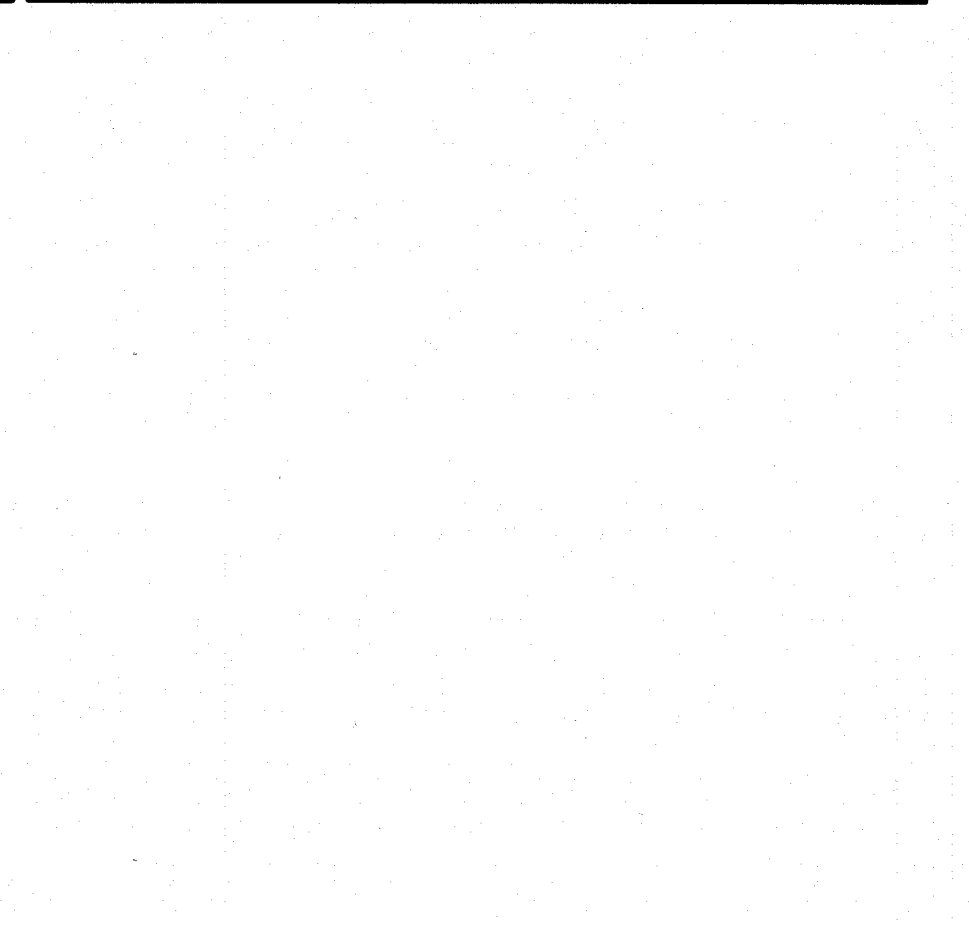
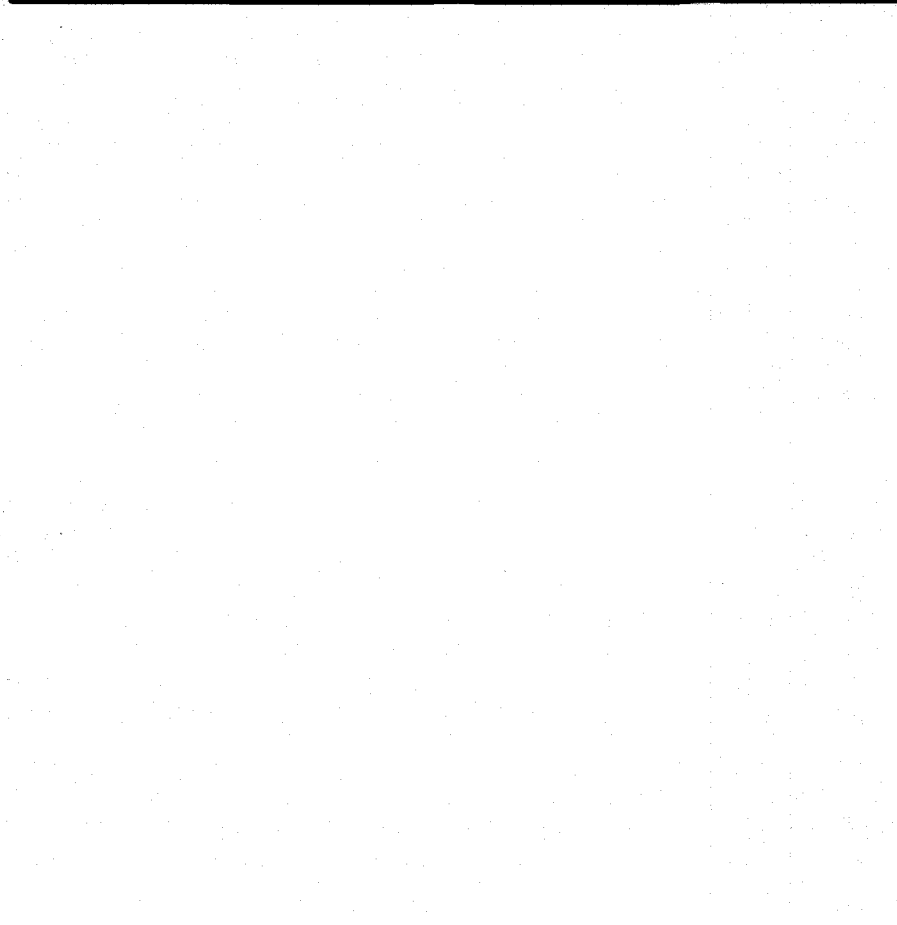
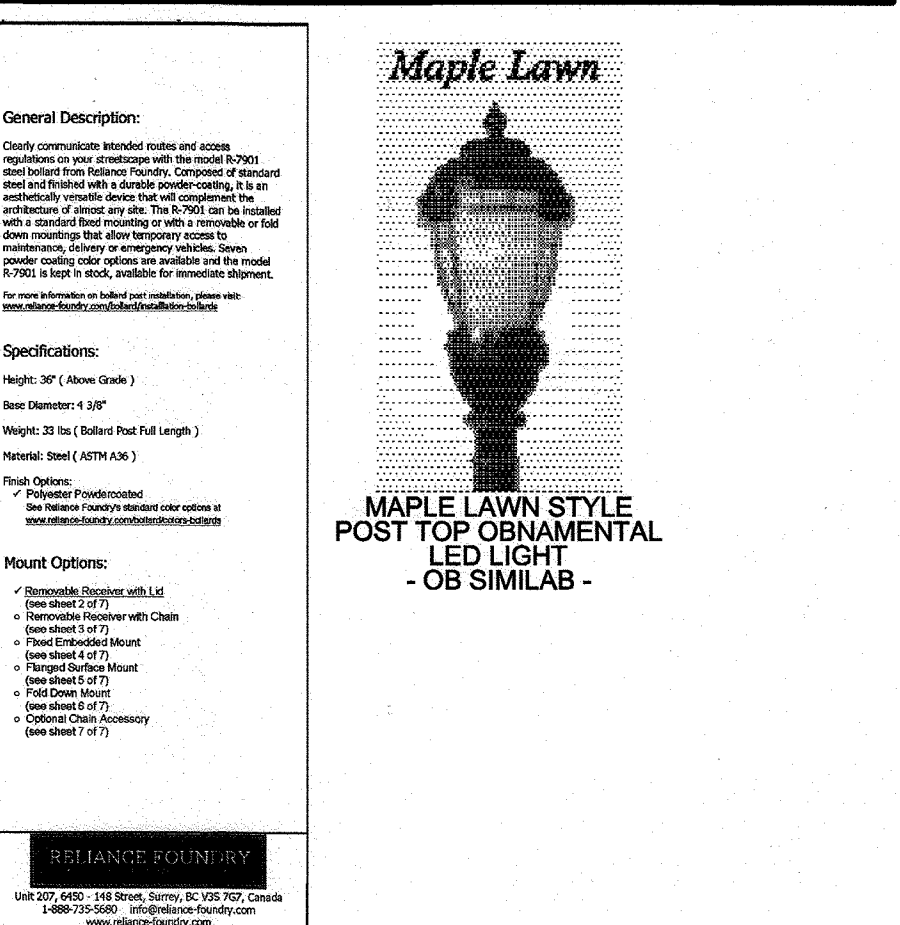
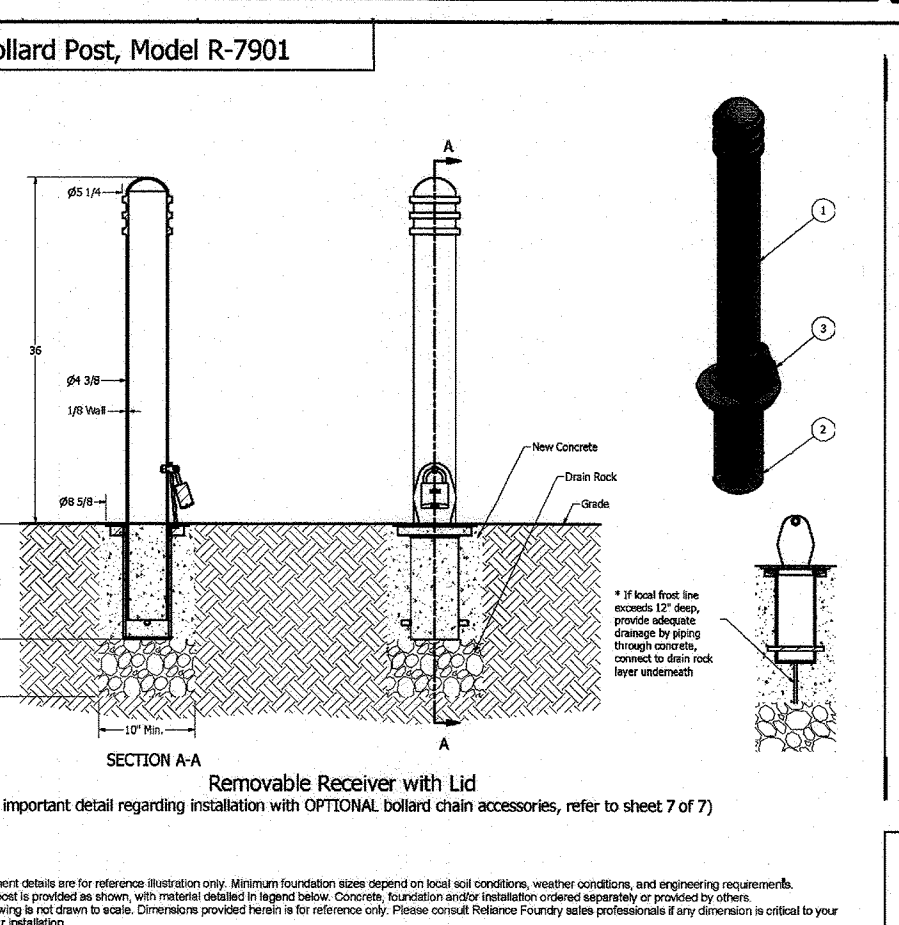
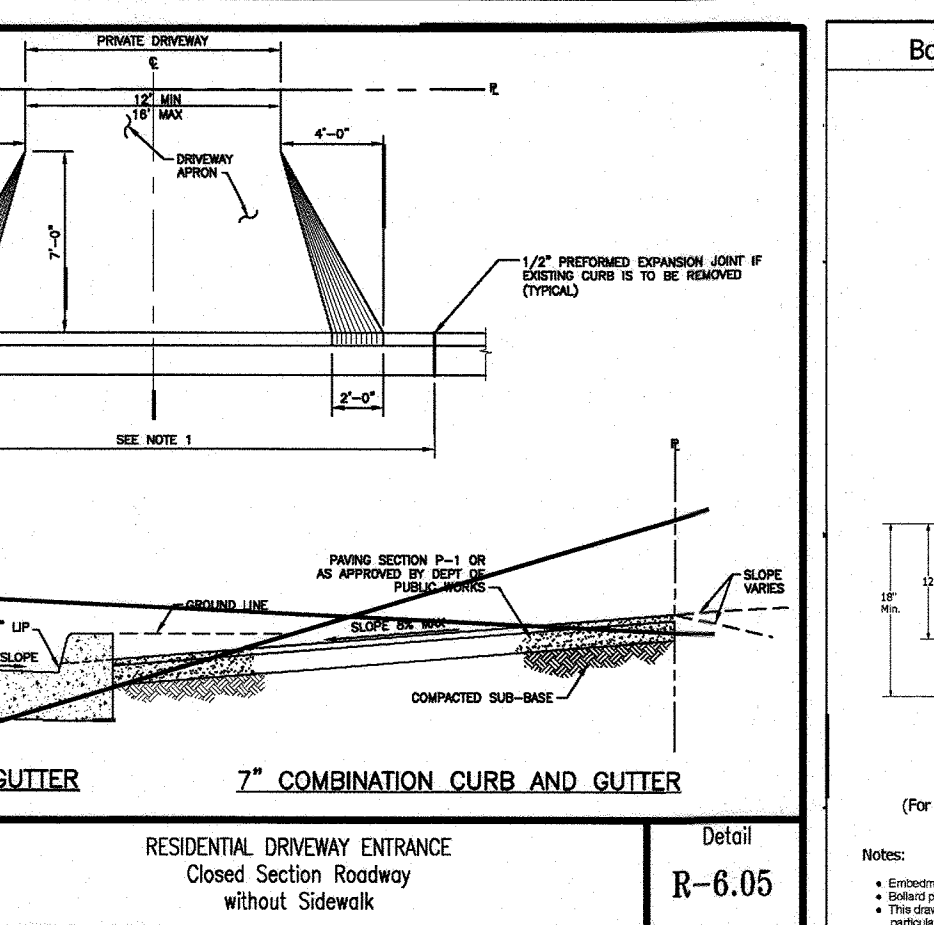
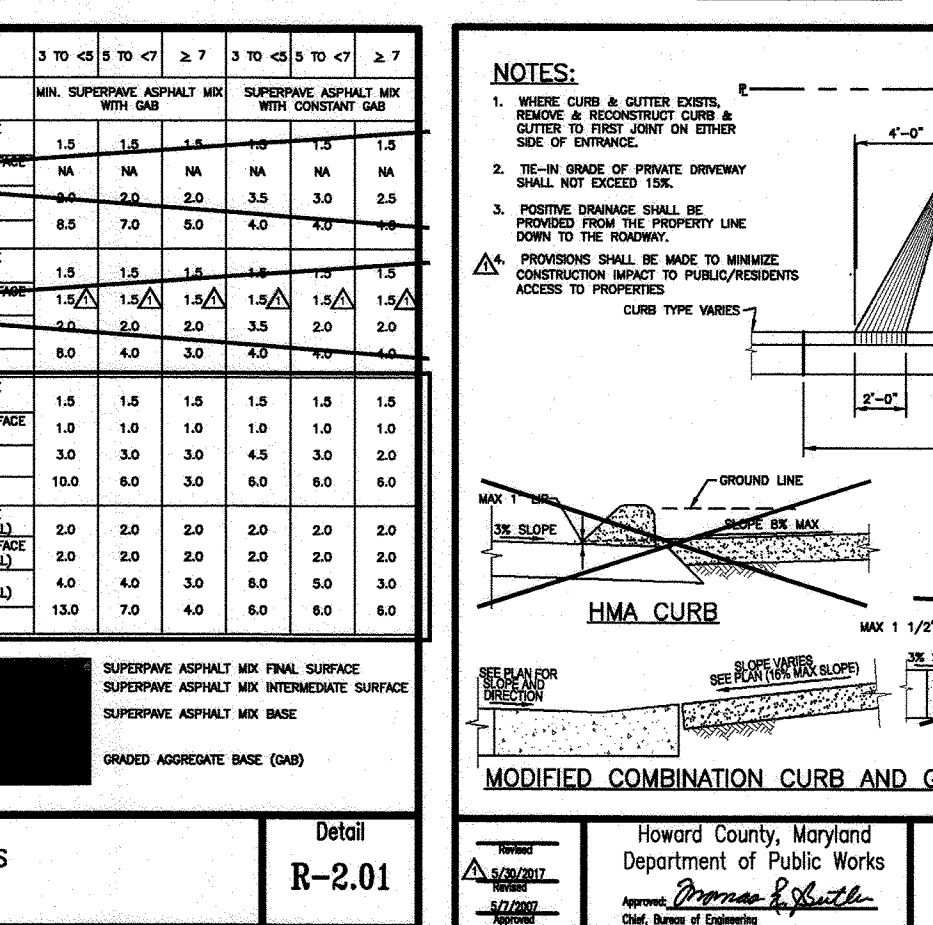
PROFESSIONAL CERTIFICATE
 I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 18183 EXPIRATION DATE: 09-27-2024

ROBERT H. VOGEL, PE No.16193

5 OF 40



SECTION NUMBER	ROAD AND STREET CLASSIFICATION	CALIFORNIA BEARING RATIO (CBR)	3 TO 4	4 TO 5	5 TO 6	6 TO 7	7 TO 8	8 TO 9	9 TO 10	10 TO 15	15 TO 20	20 TO 30	30 TO 40	40 TO 50	50 TO 60	60 TO 70	70 TO 80	80 TO 90	90 TO 100
P-1	PARKING DRIVE ALLEYS AND DRIVEWAYS	RESIDENTIAL	1.5	1.8	2.0	2.2	2.5	2.8	3.0	3.5	4.0	4.5	5.0	5.5	6.0	6.5	7.0	7.5	8.0
P-2	PARKING DRIVE ALLEYS AND DRIVEWAYS	COMMERCIAL	1.5	1.8	2.0	2.2	2.5	2.8	3.0	3.5	4.0	4.5	5.0	5.5	6.0	6.5	7.0	7.5	8.0
P-3	PARKING DRIVE ALLEYS AND DRIVEWAYS	INDUSTRIAL	1.5	1.8	2.0	2.2	2.5	2.8	3.0	3.5	4.0	4.5	5.0	5.5	6.0	6.5	7.0	7.5	8.0
P-4	PARKING DRIVE ALLEYS AND DRIVEWAYS	HEAVY TRUCK	1.5	1.8	2.0	2.2	2.5	2.8	3.0	3.5	4.0	4.5	5.0	5.5	6.0	6.5	7.0	7.5	8.0



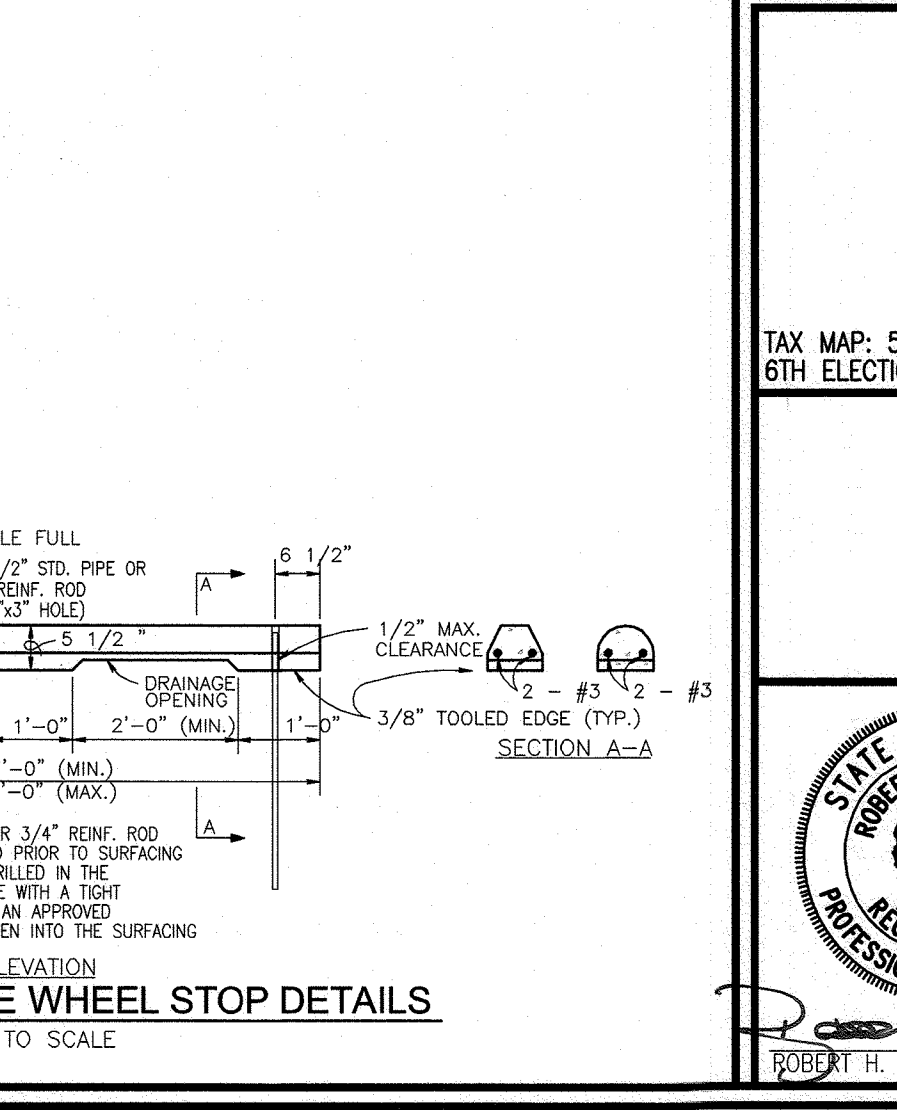
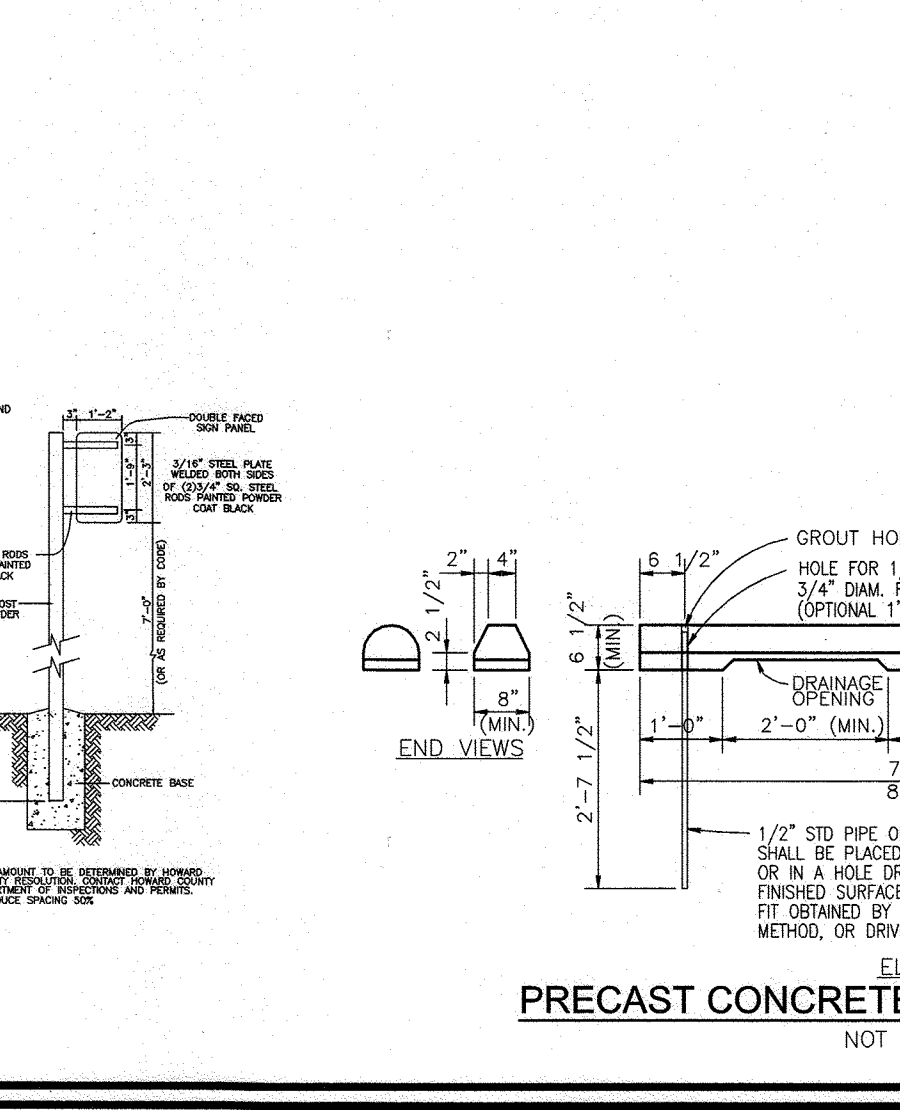
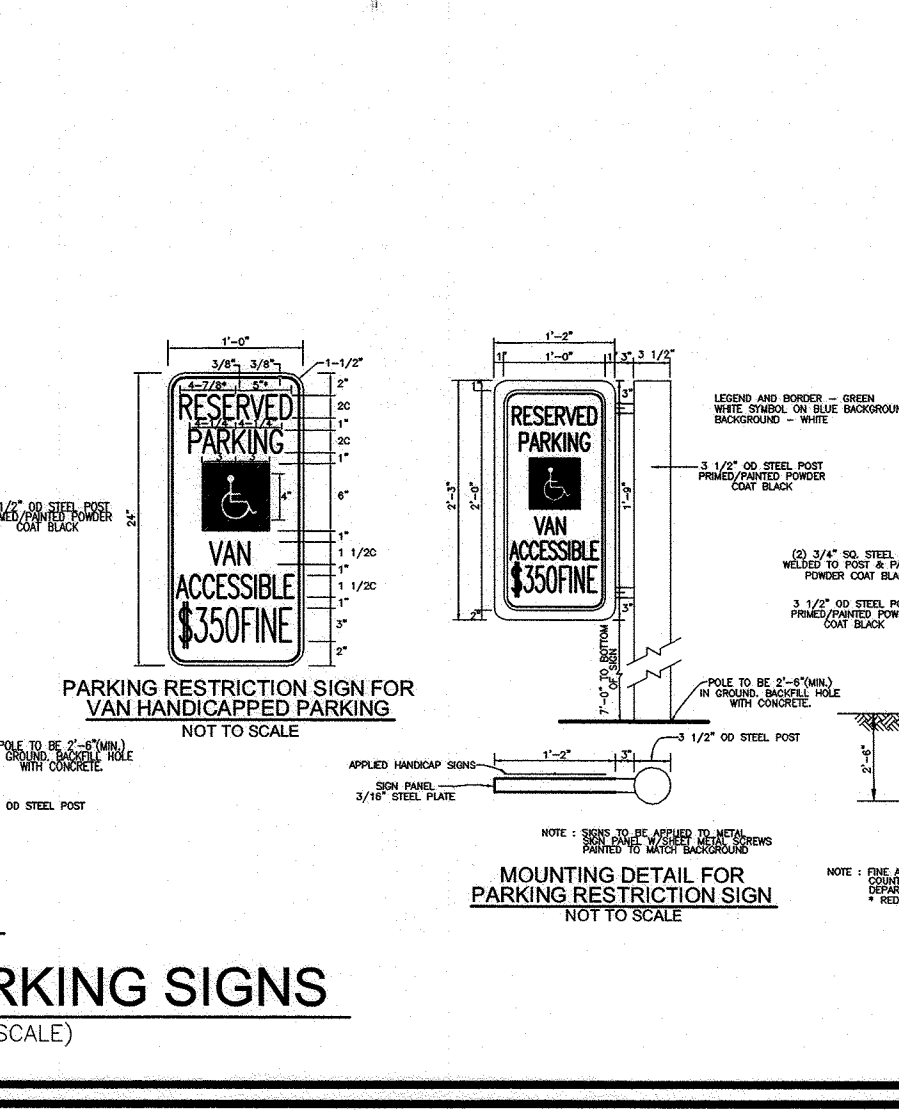
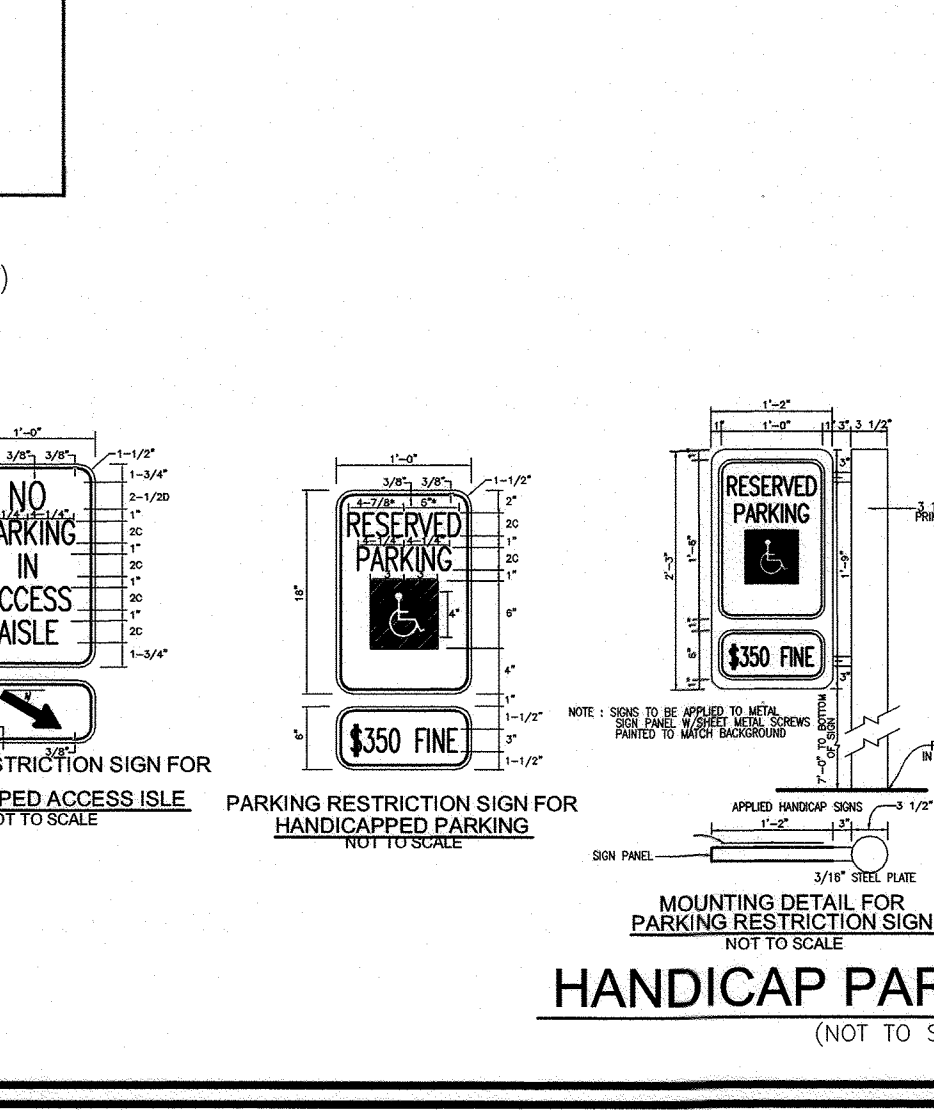
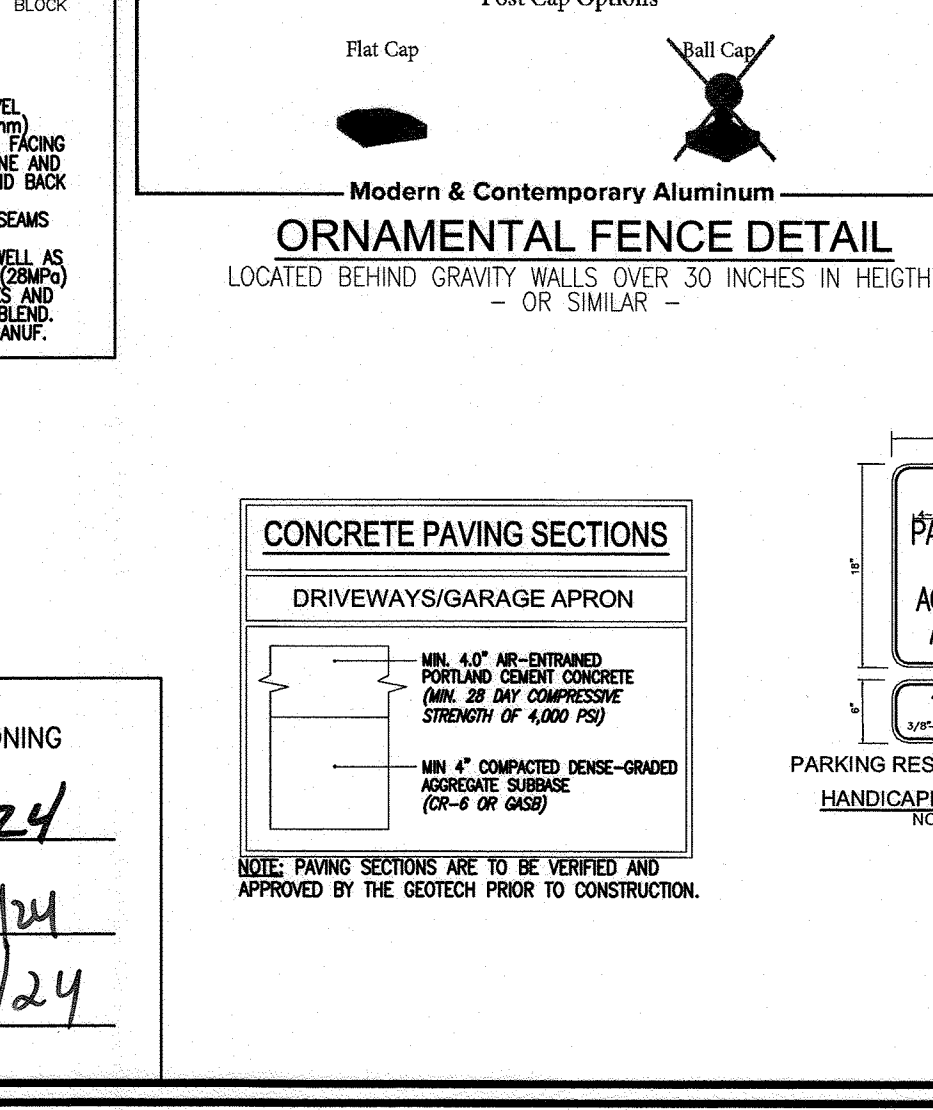
NO.	REVISION	DATE
2	REVISE PLAN FOR BUILDING ARCHITECTURE (UNITS 172 - 222); REVISE W&S HOUSE CONNECTIONS; REMOVE APARTMENT BUILDINGS 7, 8 & 9	02/13/24

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

[Signature] 9/16/24
 CHIEF, DEVELOPMENT ENGINEERING DIVISION

[Signature] 9/30/24
 CHIEF, DIVISION OF LAND DEVELOPMENT

[Signature] 9/30/24
 DIRECTOR



REVISED SITE DEVELOPMENT PLAN

SITE DETAILS

PADDOCK POINTE - PHASE 3A
 (FORMERLY KNOWN AS LAUREL PARK STATION)

TAX MAP: 50 BLOCK: 10
 6TH ELECTION DISTRICT

ZONED: TOD

PARCEL 384
 HOWARD COUNTY, MARYLAND

VOGEL ENGINEERING

TIMMONS GROUP

3300 NORTH RIDGE ROAD, SUITE 110, ELLICOTT CITY, MD 21143
 P: 410.461.7666 F: 410.461.8961 www.timmons.com

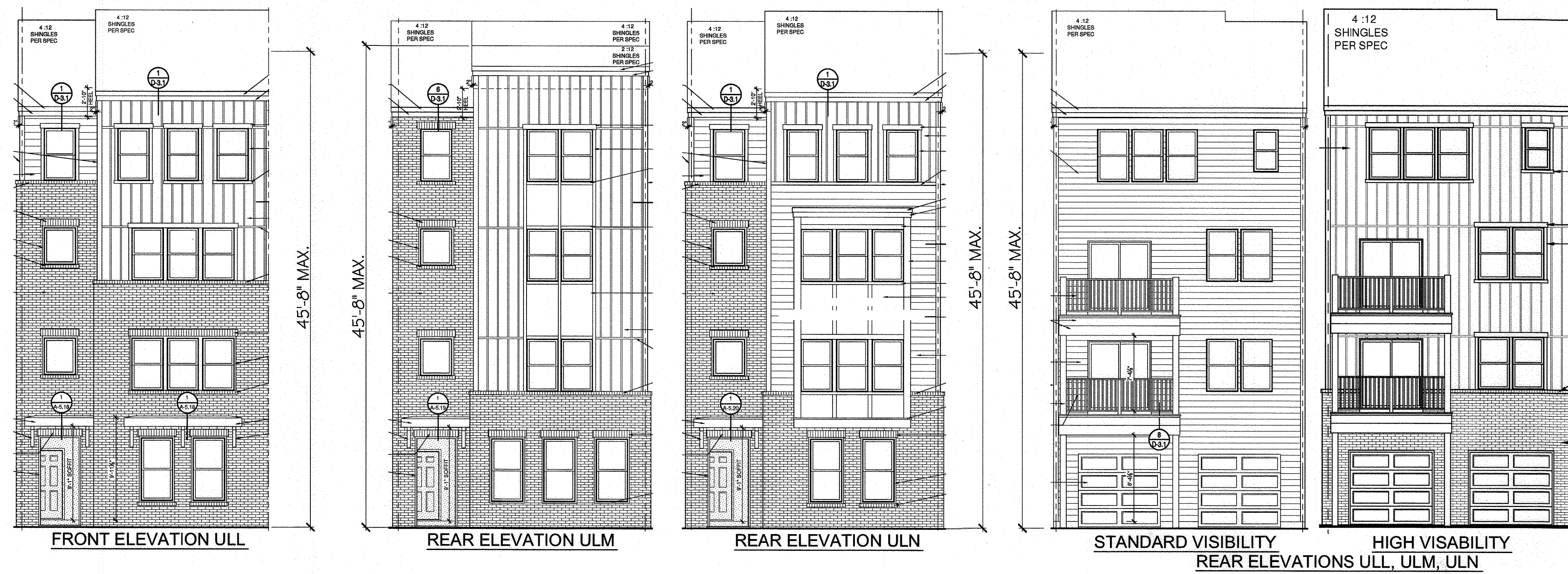
DESIGN BY: DZE/RHV
 DRAWN BY: DZE/JR
 CHECKED BY: RHV
 DATE: MAY 2024
 SCALE: AS SHOWN
 W.O. NO.: 07-11/40111

PROFESSIONAL CERTIFICATE

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 19143, EXPIRATION DATE: 09-27-2024

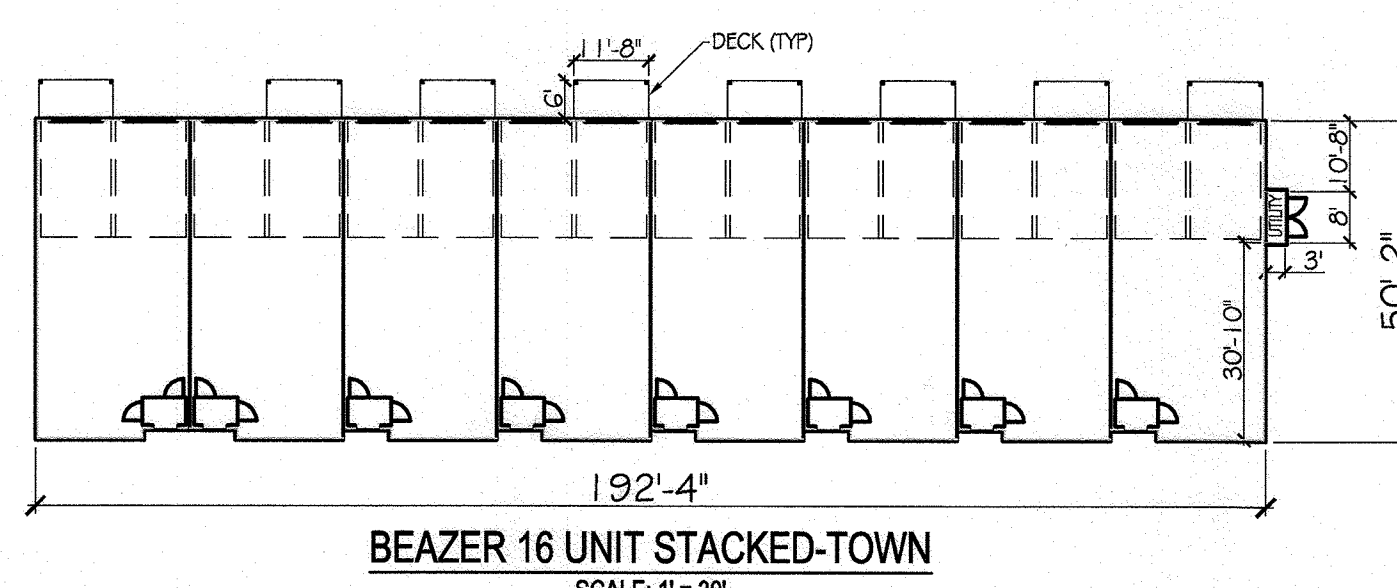
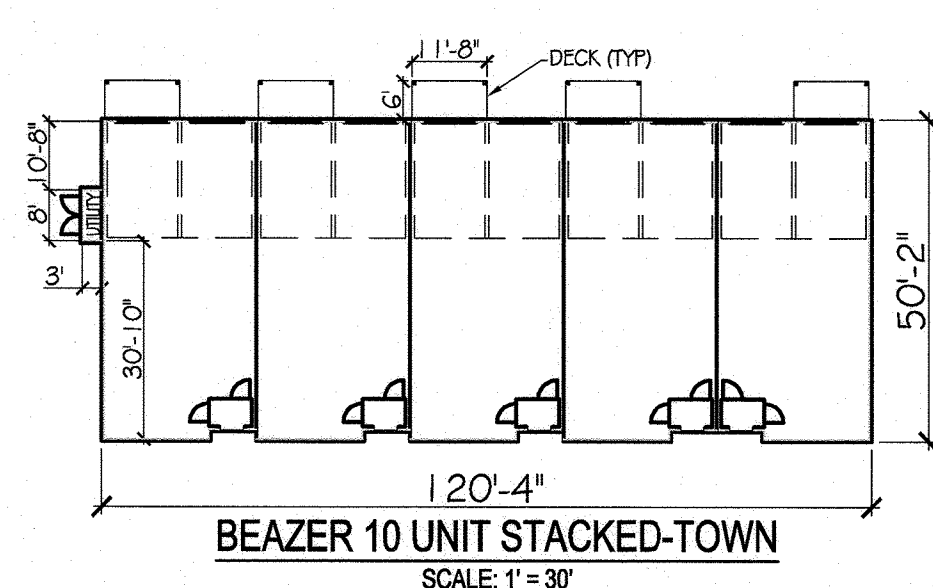
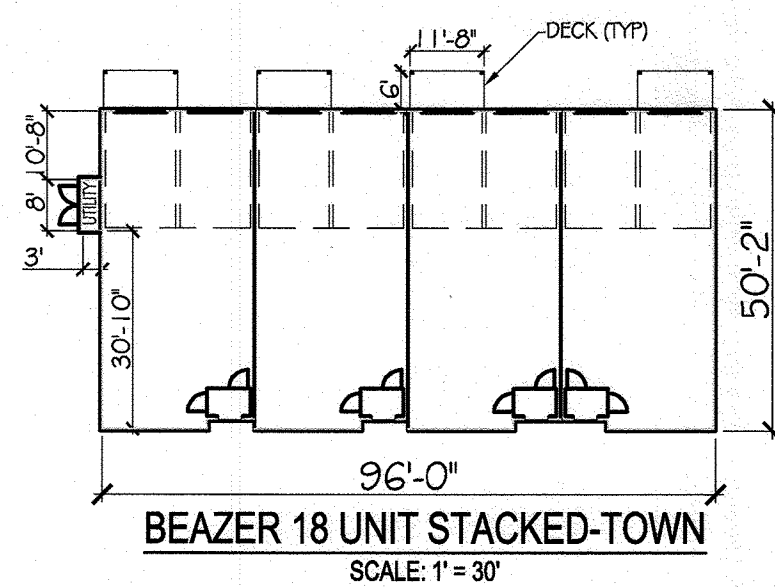
ROBERT H. VOGEL, PE No.16193

6 OF 40



**BEAZER STACKED TOWNHOUSE
TYPICAL ELEVATIONS**

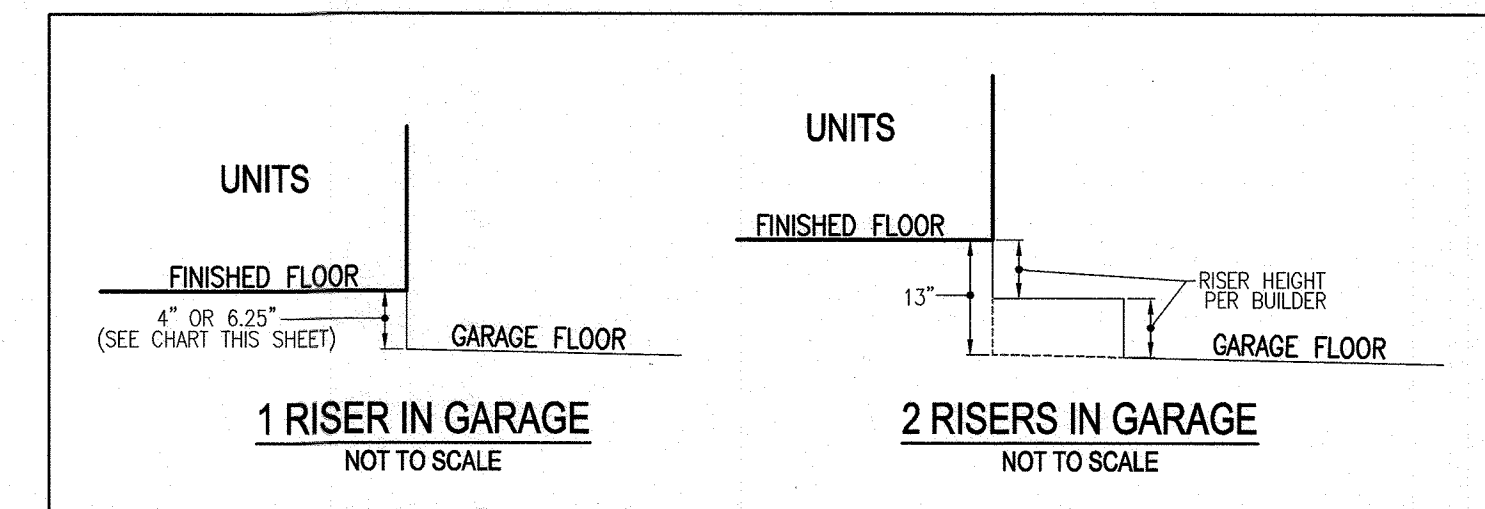
ELEVATIONS MAY VARY
HEIGHT WILL NOT EXCEED MAX AS SHOWN
NOT TO SCALE



**BEAZER STACKED TOWNHOUSE
FOOTPRINTS**

TOWNHOUSE GARAGE STEPS		
UNIT	RISERS INSIDE GAR (1 min @ 4" or 6.25") (2 max = 13" total)	Distance between FF and BACK GAR (either 4", 6.25" or 13")
157	2	13.00
158	2	13.00
159	2	13.00
161	2	13.00
162	2	13.00
163	2	13.00
164	2	13.00
165	2	13.00
166	2	13.00
167	1	6.25
168	1	6.25
169	2	13.00
170	2	13.00
171	2	13.00
172	2	13.00
173	1	4.00
174	1	4.00
175	1	4.00
176	1	4.00
177	1	4.00
178	1	4.00
179	1	4.00
180	1	4.00
181	1	4.00
182	1	4.00
183	1	4.00
184	1	4.00
185	1	4.00
186	1	6.25
187	1	6.25
188	1	6.25
189	1	6.25
190	1	6.25
191	1	6.25
192	1	4.00
193	1	4.00
194	1	4.00
195	1	4.00
196	1	4.00
197	1	4.00
198	1	4.00
199	2	13.00
200	2	13.00
201	2	13.00
202	2	13.00
203	1	6.25
204	1	6.25
205	1	4.00
206	1	4.00
207	2	13.00
208	2	13.00
209	1	6.25
210	1	6.25
211	1	6.25
212	1	4.00
213	1	4.00
214	1	4.00
215	1	4.00
216	1	4.00
217	1	6.25
218	1	6.25
219	2	13.00
220	2	13.00
221	1	4.00
222	1	4.00
223	1	4.00
224	1	4.00
225	1	6.25
226	1	6.25
227	2	13.00
228	2	13.00
229	1	6.25
230	1	6.25
231	1	4.00
232	1	4.00

TOWNHOUSE UTILITY ROOM F.F. ELEV			
UNITS	UNIT W/UTIL SHED	FINISHED GRADE @ UTILITY SHED	FF ELEV OF UTILITY SHED
157-172	157	176.73	177.40
173-188	173	172.59	173.26
189-198	189	172.39	173.06
199-206	205	171.73	172.40
207-214	213	171.85	172.52
215-222	215	174.97	175.64
223-232	231	181.84	182.51



PARCEL C-5 OWNER	OWNER	OWNER/DEVELOPER
BEAZER HOMES, LLC. 6085 MARSHALEE DRIVE, SUITE 350 ELKRIEDE, MD 21075 443-539-9249	TRIPLE BELL FARMS, LLC. 198 LAUREL RACE TRACK RD LAUREL, MD 20725 (301) 470-5494	20006 DELAWARE, INC. 198 LAUREL RACE TRACK RD LAUREL, MD 20725 (301) 470-5494

NO.	REVISION	DATE
2	REVISE PLAN TO SHOW NEW ARCHITECTURE FOR UNITS 172 - 222); REVISE W&S HOUSE CONNECTIONS; REMOVE APARTMENT BUILDINGS 7-9	04/10/24
1	REVISE PLAN FOR BUILDING ARCHITECTURE (UNITS 157-171 & 223-232); AND REVISE W&S HOUSE CONNECTIONS	12/19/23

REVISED SITE DEVELOPMENT PLAN
BUILDING ELEVATIONS
PADDOCK POINTE - PHASE 3A
(FORMERLY KNOWN AS LAUREL PARK STATION)
6 STACKED TOWN
PARCELS C-5 & R-2
TAX MAP: 50 BLOCK: 10
6TH ELECTION DISTRICT

VOGEL ENGINEERING
TIMMONS GROUP
3300 NORTH RIDGE ROAD, SUITE 110, ELLICOTT CITY, MD 21043
P: 410.461.7666 F: 410.461.8961 www.timmons.com

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

Chad Clark 9/16/24
CHIEF, DEVELOPMENT ENGINEERING DIVISION H&Z DATE

Diana Sauer 9/24/24
CHIEF, DIVISION OF LAND DEVELOPMENT DATE

Thomas Escher 9/30/24
DIRECTOR DATE

PROFESSIONAL CERTIFICATE

DESIGN BY: DZE/RHV
DRAWN BY: DZE/JR
CHECKED BY: RHV
DATE: MAY 2024
SCALE: AS SHOWN
W.O. NO.: 07-11/48111

STATE OF MARYLAND
ROBERT HARRIS
REGISTERED PROFESSIONAL ENGINEER
NO. 16193

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A FULLY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 16193, EXPIRATION DATE: 09-27-2024

7 SHEET OF 40

SEDIMENT CONTROL NOTES:

1. SEDIMENT CONTROLS INTERRUPTED BY INSTALLATION OF UTILITY LINES ARE TO BE REPAIRED IMMEDIATELY.
2. MANHOLE COVERS NOT TO BE LOCATED IN CURB OR GUTTER PAN.
3. LOCATE STOCKPILE AS SHOWN HEREON OR AS DIRECTED BY THE SEDIMENT CONTROL INSPECTOR. STOCKPILES EXCEEDING 15 FEET IN HEIGHT SHALL BE BENCHED. SEE STABILIZATION SPECS.
4. SILT FENCE SHALL BE CURLED UPHILL AT 30 FT. INTERVALS WHEREVER IT RUNS DOWNHILL.
5. SILT FENCE IS TO BE REPLACED WITH SUPER SILT FENCE AT THE DIRECTION OF THE SEDIMENT CONTROL INSPECTOR.
6. DOUBLE ROWS OF SUPER SILT FENCE SHALL BE INSTALLED AT THE DIRECTION OF THE SEDIMENT CONTROL INSPECTOR.
7. EITHER TEMPORARY OR PERMANENT SEEDING AND STABILIZATION IS TO BE PERFORMED AT THE DIRECTION OF THE SEDIMENT CONTROL INSPECTOR OR AT THE INTERVALS PROVIDED IN THE 2011 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL, WHICHEVER IS MORE STRINGENT.
8. EARTH BERMS ARE TO BE CONVERTED TO MCDONAM BERMS AS NEEDED OR DIRECTED BY THE CID INSPECTOR.

EXISTING UTILITIES NOTE:
EXISTING UTILITIES SHOWN ON THESE PLANS HAVE BEEN LOCATED FROM EXISTING SITE DEVELOPMENT PLANS, FIELD SURVEYS, PUBLIC WATER AND SEWER EXTENSION PLANS AND AVAILABLE RECORD DRAWINGS. APPROXIMATE LOCATION OF EXISTING UTILITIES ARE SHOWN FOR THE CONTRACTOR'S INFORMATION ONLY.

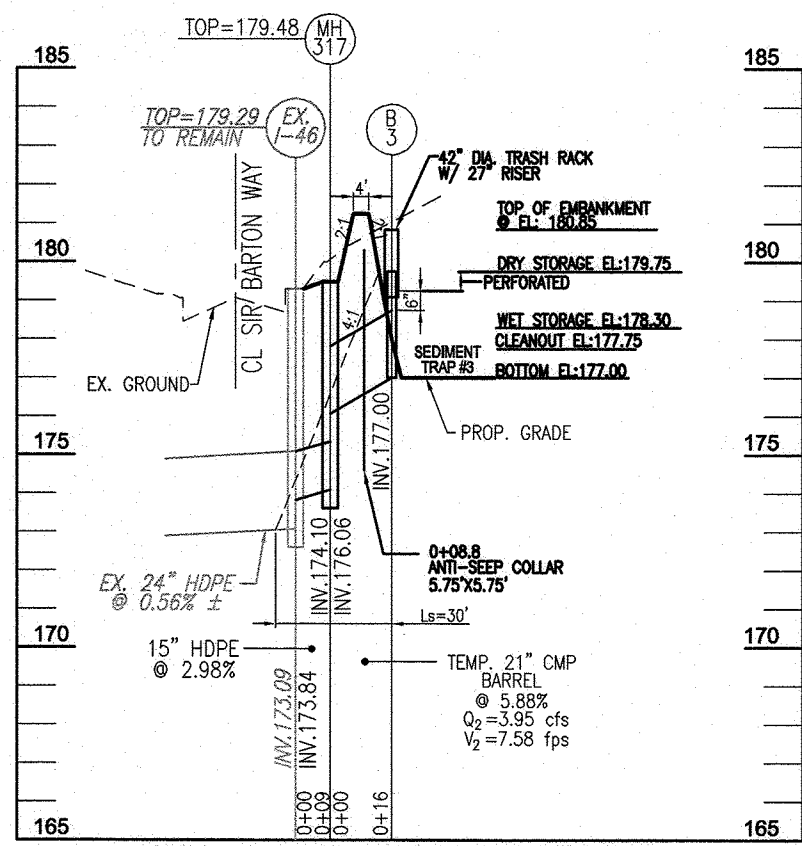
CONTRACTOR SHALL TEST PIT TO VERIFY EXISTING UTILITIES WELL IN ADVANCE OF CONSTRUCTION ACTIVITIES AND TAKE ALL NECESSARY PRECAUTIONS TO PROTECT THE EXISTING UTILITIES. TO MAINTAIN UNINTERRUPTED SERVICE AND TO PROVIDE REQUIRED CLEARANCES FOR ALL PROPOSED UTILITIES. ANY DAMAGE INCURRED DUE TO CONTRACTOR'S OPERATION SHALL BE REPAIRED IMMEDIATELY AT THE CONTRACTOR'S EXPENSE.

SOILS LEGEND
HOWARD COUNTY SOILS MAP #28

SYMBOL	NAME / DESCRIPTION	GROUP	K-FACTOR	ERODIBLE	HYDRO
EDC	EVERSBORO LOAMY SAND, 2 TO 10 PERCENT SLOPES	A	0.49	YES	NO
F5	FALLSINGTON SANDY LOAM, 0 TO 2 PERCENT SLOPES	D	0.24	NO	YES
RUF	RUSSETT AND BELLEVILLE SOILS, 2 TO 5 PERCENT SLOPES	C	0.43	YES	N/D
LWB	LUDDERTHURST, LOAMY, 0 TO 5 PERCENT SLOPES	C	0.24	NO	NO
UID	URBAN LAND-UDERTHURST COMPLEX, 0 TO 15 PERCENT SLOPES	D	0.28	NO	NO

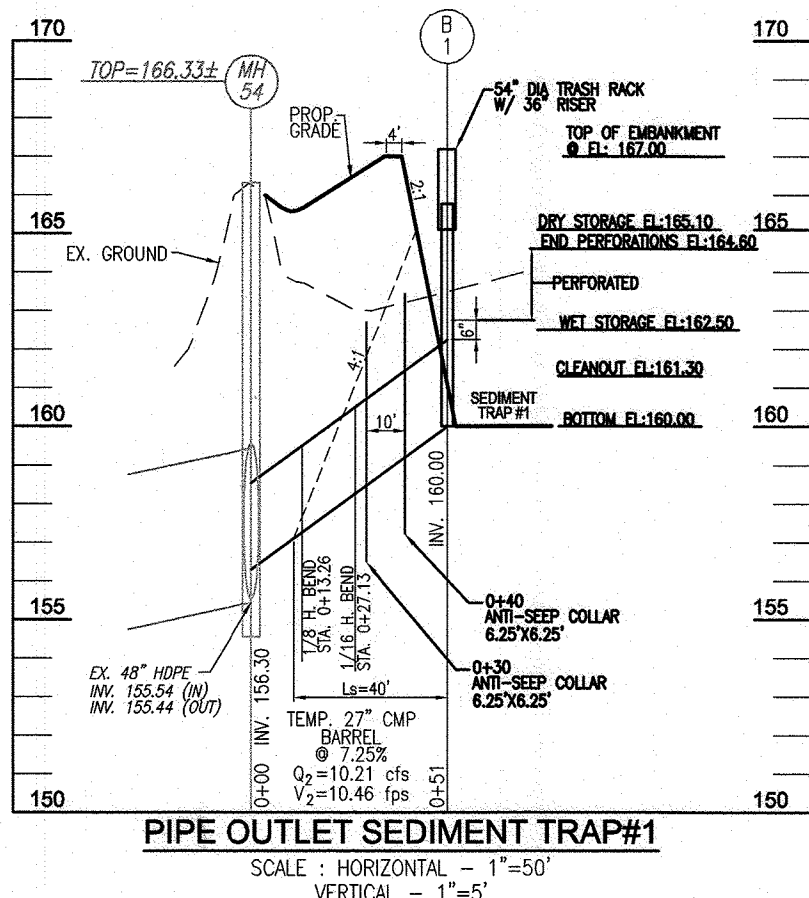
SOILS NOTE:
HIGHLY ERODIBLE SOILS ARE THOSE SOILS WITH A SLOPE GREATER THAN 15 PERCENT OR THOSE SOILS WITH A SOIL ERODIBILITY FACTOR X GREATER THAN 0.35 AND WITH A SLOPE GREATER THAN 5 PERCENT.

NOTE:
ACCELERATED STABILIZATION MAY BE REQUIRED BY THE APPROVAL AUTHORITY.



SEDIMENT TRAP #3
PIPE OUTLET (ST-1)

DRAINAGE AREA - INITIAL =	1.82 AC
DRAINAGE AREA - FINAL =	1.82 AC
TOTAL STORAGE REQUIRED =	5,832 CF
WET STORAGE REQUIRED =	2,916 CF
DRY STORAGE REQUIRED =	2,916 CF
TOTAL STORAGE PROVIDED =	7,089 CF
WET STORAGE PROVIDED =	2,956 CF
DRY STORAGE PROVIDED =	4,131 CF
BOTTOM OF TRAP EL. =	177.00
TOP OF EMBANKMENT =	APPROX. 35.5'x57' (SEE PLAN)
RISER CREST/DRY STORAGE EL. =	179.75
CLEANOUT EL. =	177.75
EMBRANKMENT TOP WIDTH =	181.25'
PRINCIPAL SHOULDER MATERIAL =	2'
BARREL DIAMETER =	24"
TRASH RACK DIAMETER =	24"
TRASH RACK HEIGHT =	21"
ANTI-SEEP COLLAR DIMENSIONS =	(1) 5.75'x5.75'
OUTLET PROTECTION LENGTH =	N/A - CONNECT TO EX. 1-16
OUTLET PROTECTION WIDTH/DEPTH =	N/A



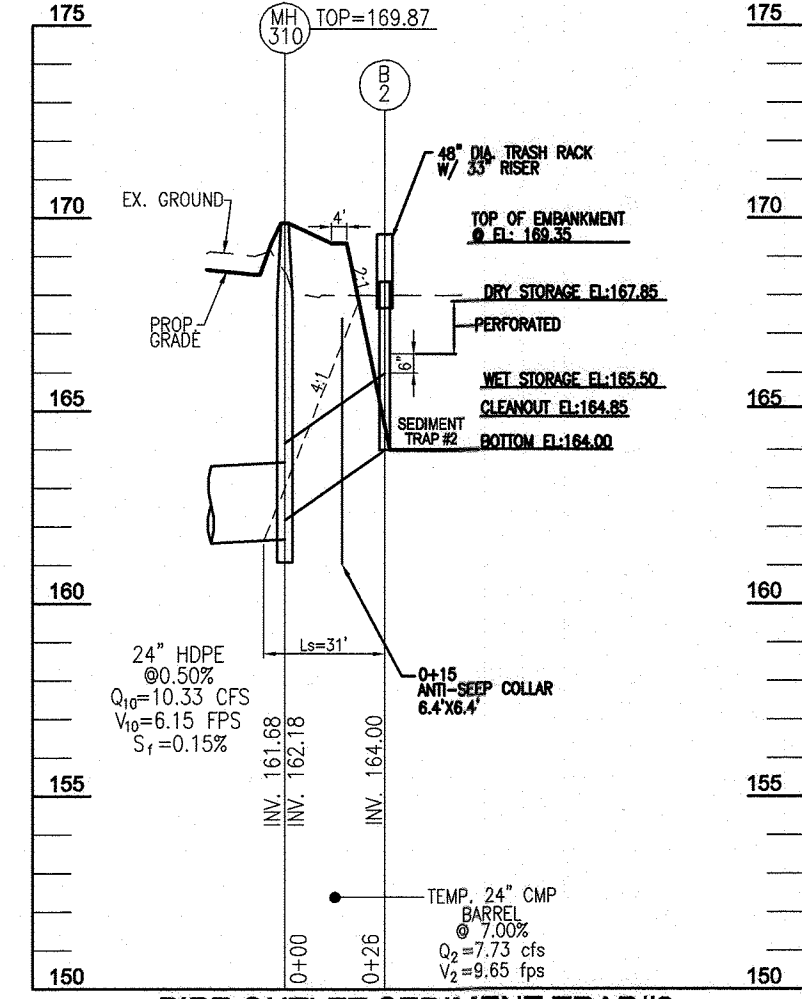
SEDIMENT TRAP #1
PIPE OUTLET (ST-1)

DRAINAGE AREA - INITIAL =	3.22 AC
DRAINAGE AREA - FINAL =	3.22 AC
TOTAL STORAGE REQUIRED =	11,992 CF
WET STORAGE REQUIRED =	5,996 CF
DRY STORAGE REQUIRED =	5,996 CF
TOTAL STORAGE PROVIDED =	15,580 CF
WET STORAGE PROVIDED =	6,279 CF
DRY STORAGE PROVIDED =	9,301 CF
BOTTOM OF TRAP EL. =	APPROX. 60'x35' (SEE PLAN)
TOP OF EMBANKMENT =	161.30
RISER CREST/DRY STORAGE EL. =	165.10
CLEANOUT EL. =	161.30
EMBRANKMENT TOP WIDTH =	167.00
PRINCIPAL SHOULDER MATERIAL =	2'
BARREL DIAMETER =	36"
TRASH RACK DIAMETER =	36"
TRASH RACK HEIGHT =	25"
ANTI-SEEP COLLAR DIMENSIONS =	(2) 8.25'x8.25'
OUTLET PROTECTION LENGTH =	N/A - CONNECT TO EX. 40-54
OUTLET PROTECTION WIDTH/DEPTH =	N/A



LEGEND:

---	EXISTING CONTOUR
- - - -	PROPOSED CONTOUR
+	PROPOSED SPOT ELEVATION
+	EXISTING SPOT ELEVATION
---	EXISTING CURB AND GUTTER
+	EXISTING LIGHT POLE
+	EXISTING UTILITY POLE
+	EXISTING LIT POLE
+	EXISTING MAILBOX
+	EXISTING SIGN
+	EXISTING SANITARY MANHOLE
+	EXISTING SANITARY LINE
+	EXISTING CLEANOUT
+	EXISTING FIRE HYDRANT
+	EXISTING WATER LINE
+	PROPOSED STORM DRAIN



SEDIMENT TRAP #2
PIPE OUTLET (ST-1)

DRAINAGE AREA - INITIAL =	2.57 AC
DRAINAGE AREA - FINAL =	2.57 AC
TOTAL STORAGE REQUIRED =	9,295 CF
WET STORAGE REQUIRED =	4,648 CF
DRY STORAGE REQUIRED =	4,647 CF
TOTAL STORAGE PROVIDED =	14,070 CF
WET STORAGE PROVIDED =	4,621 CF
DRY STORAGE PROVIDED =	9,449 CF
BOTTOM OF TRAP EL. =	APPROX. 115'x37' (SEE PLAN)
TOP OF EMBANKMENT =	167.85
RISER CREST/DRY STORAGE EL. =	164.65
CLEANOUT EL. =	169.35
EMBRANKMENT TOP WIDTH =	169.35'
PRINCIPAL SHOULDER MATERIAL =	3'
BARREL DIAMETER =	36"
TRASH RACK DIAMETER =	36"
TRASH RACK HEIGHT =	25"
ANTI-SEEP COLLAR DIMENSIONS =	(1) 6.4'x6.4'
OUTLET PROTECTION LENGTH =	N/A - ULTIMATELY CONNECTS TO EX. 40-54
OUTLET PROTECTION WIDTH/DEPTH =	N/A

NO.	REVISION	DATE
2	REVISE PLAN TO SHOW NEW ARCHITECTURE FOR UNITS 172 - 222; REVISE W&S	04/10/24
1	REVISE PLAN FOR BUILDING ARCHITECTURE (UNITS 157-171 & 223-232), AND HOUSE CONNECTIONS, REMOVE APARTMENT BUILDINGS 7-9	12/19/23
1	REVISE W&S HOUSE CONNECTIONS	

REVISED SITE DEVELOPMENT PLAN
INITIAL GRADING AND SEDIMENT CONTROL PLAN; TRAP DRAINAGE AREA MAP
PADDOCK POINTE - PHASE 3A
(FORMERLY KNOWN AS LAUREL PARK STATION)
PARCELS C-3 & K-2
ZONED: TOD
TAX MAP: 50 BLOCK: 10
6TH ELECTION DISTRICT
HOWARD COUNTY, MARYLAND

VOGEL ENGINEERING
TIMMONS GROUP
3300 NORTH RIDGE ROAD, SUITE 110, ELLICOTT CITY, MD 21043
P: 410.461.7666 F: 410.461.8961 www.timmons.com

DESIGN BY: DZE/RHV
DRAWN BY: DZE/JR
CHECKED BY: RHV
DATE: MAY 2024
SCALE: AS SHOWN
W.O. NO.: 07-11/40111

PROFESSIONAL CERTIFICATE
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A FULLY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE # 18193, EXPIRATION DATE: 09-27-2024

8 SHEET OF 40

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
DATE: 9/16/24
DATE: 9/24/24
DATE: 9/30/24

OWNER/DEVELOPER CERTIFICATION:
I, THE CERTIFY THAT ANY CLEARING, GRADING, CONSTRUCTION OR DEVELOPMENT WILL BE DONE PURSUANT TO THIS APPROVED EROSION AND SEDIMENT CONTROL PLAN, INCLUDING INSPECTING AND MAINTAINING CONTROLS, AND THAT ALL RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF TRAINING AT A MARYLAND DEPARTMENT OF THE ENVIRONMENT (MDE) APPROVED TRAINING PROGRAM FOR THE CONTROL OF EROSION AND SEDIMENT PRIOR TO BEGINNING THE PROJECT. I CERTIFY THAT ENTRY FOR PERIODIC ON-SITE EVALUATION BY HOWARD COUNTY, THE HOWARD SOIL CONSERVATION DISTRICT AND/OR MDE.

OWNER/DEVELOPER SIGNATURE: Brian A. Krauff
DATE: 5/16/2024

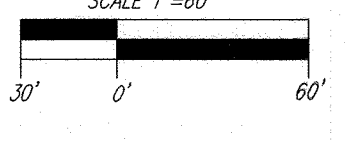
DESIGN CERTIFICATION:
I HEREBY CERTIFY THAT THIS PLAN HAS BEEN DESIGNED IN ACCORDANCE WITH CURRENT MARYLAND EROSION AND SEDIMENT CONTROL LAWS, REGULATIONS, AND STANDARDS. THAT IT REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE, AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

DESIGNER'S SIGNATURE: Robert H. Vogel
DATE: 4/15/24

THIS PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

HOWARD S.C.D. DATE: 9/11/24

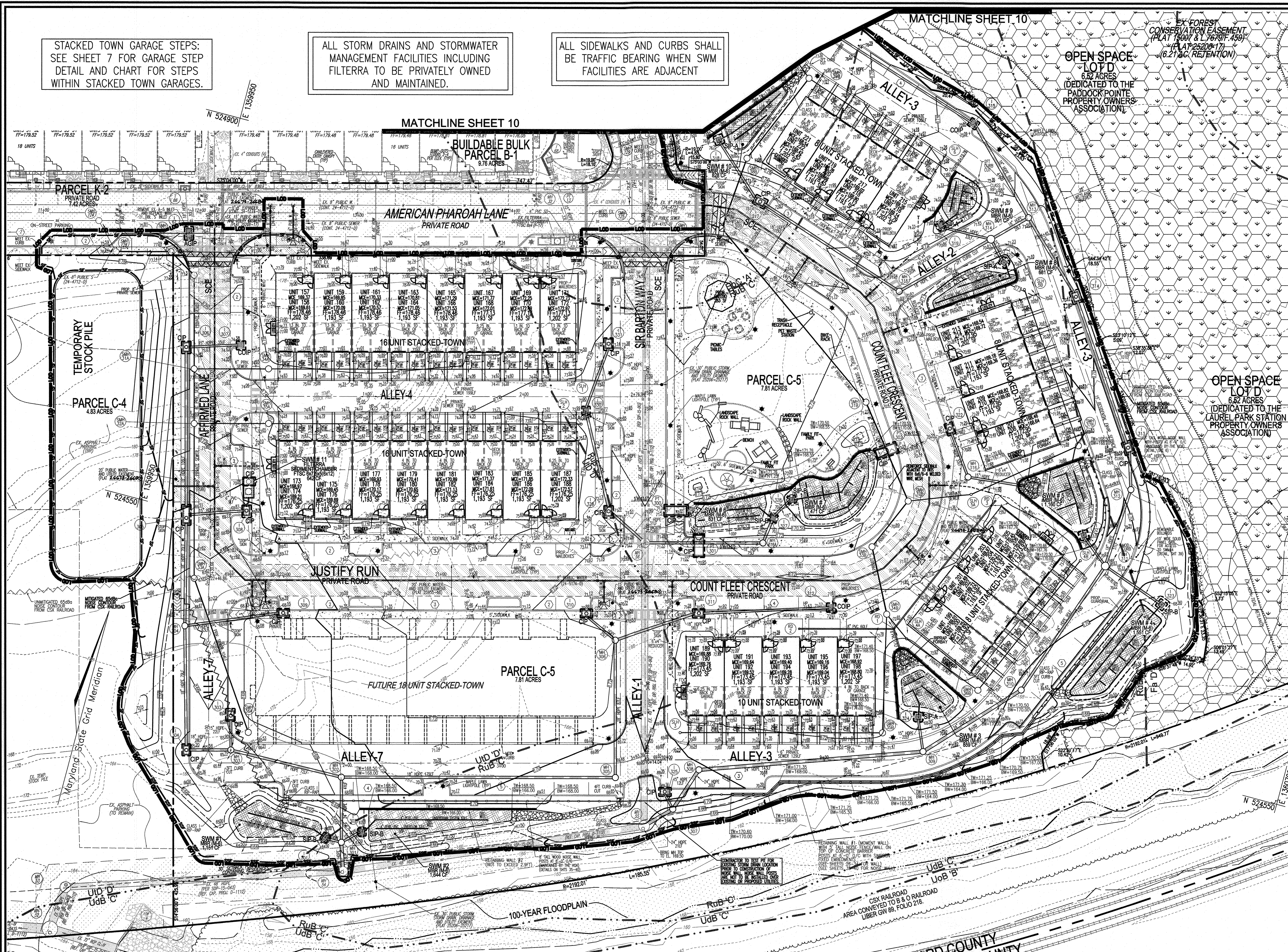
PLAN VIEW
SCALE: 1"=60'



STACKED TOWN GARAGE STEPS:
SEE SHEET 7 FOR GARAGE STEP
DETAIL AND CHART FOR STEPS
WITHIN STACKED TOWN GARAGES.

ALL STORM DRAINS AND STORMWATER
MANAGEMENT FACILITIES INCLUDING
FILTRERA TO BE PRIVATELY OWNED
AND MAINTAINED.

ALL SIDEWALKS AND CURBS SHALL
BE TRAFFIC BEARING WHEN SWM
FACILITIES ARE ADJACENT



LEGEND:

- EXISTING CONTOUR
- PROPOSED SPOT ELEVATION
- EXISTING CURB AND GUTTER
- PROPOSED CURB AND GUTTER
- EXISTING UTILITY POLE
- EXISTING LIGHT POLE
- EXISTING MAILBOX
- EXISTING SIGN
- EXISTING SANITARY MANHOLE
- EXISTING SANITARY LINE
- EXISTING CLEANOUT
- EXISTING FIRE HYDRANT
- EXISTING WATER LINE
- PROPOSED STORM DRAIN
- PROPOSED STORM DRAIN INLET
- EXISTING FENCE
- PROPERTY LINE
- ROOT-OF-WAY LINE
- SOILS BOUNDARY
- EXISTING STREAM
- EXISTING STREAM BUFFER
- EX. WETLAND BUFFER
- EX. LIMIT OF WETLAND
- PROPOSED STREET LIGHT
- PROPOSED SIDEWALK
- PROPOSED STREET SIGN
- DEAD END BARRICADE
- STREET TREES
- EROSION CONTROL MATTING (150LB/FT²)
- EX. TREES
- PUBLIC WATER AND UTILITY EASEMENT PLAT 25206-68
- UNLIMITED 6560b NOISE CONTROL FROM CSX RAILROAD
- PUBLIC 100 YR FLOODPLAIN
- SUPER SILT FENCE
- SILT FENCE
- LIMIT OF DISTURBANCE
- CIP CURB INLET PROTECTION
- STABILIZED CONSTRUCTION ENTRANCE
- EARTH DIKE / CLEAN WATER DIVERSION DIKE
- EX. FOREST SENSITIVE PLANT 25206-2217
- EX. FOREST CONSERVATION EASEMENT (RETENTION) PLAT 25206-17

SEDIMENT CONTROL NOTES:

- SEDIMENT CONTROLS INTERRUPTED BY INSTALLATION OF UTILITY LINES ARE TO BE REPAIRED IMMEDIATELY.
- MANHOLE COVERS NOT TO BE LOCATED IN CURB OR GUTTER PAN.
- LOCATE STOCKPILE AS SHOWN HEREON OR AS DIRECTED BY THE SEDIMENT CONTROL INSPECTOR. STOCKPILES EXCEEDING 15 FEET IN HEIGHT SHALL BE BENCHED. SEE STABILIZATION SPECS.
- SILT FENCE SHALL BE CURLED UPHILL AT 35 FT. INTERVALS WHEREVER IT RUNS DOWNHILL.
- SILT FENCE IS TO BE REPLACED WITH SUPER SILT FENCE AT THE DIRECTION OF THE SEDIMENT CONTROL INSPECTOR.
- DOUBLE ROWS OF SUPER SILT FENCE SHALL BE INSTALLED AT THE DIRECTION OF THE SEDIMENT CONTROL INSPECTOR.
- EITHER TEMPORARY OR PERMANENT SEEDING AND STABILIZATION IS TO BE PERFORMED AT THE DIRECTION OF THE SEDIMENT CONTROL INSPECTOR OR AT THE INTERVALS PROVIDED IN THE 2011 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL, WHICHEVER IS MORE STRINGENT.
- EARLY WORK ARE TO BE CONVERTED TO MACADAM BERMS AS NEEDED OR DIRECTED BY THE CIP INSPECTOR.

EXISTING UTILITIES NOTE:
EXISTING UTILITIES SHOWN ON THESE PLANS HAVE BEEN LOCATED FROM EXISTING SITE DEVELOPMENT PLANS, FIELD SURVEYS, PUBLIC WATER AND SEWER EXTENSION PLANS AND AVAILABLE RECORD DRAWINGS. APPROXIMATE LOCATION OF EXISTING UTILITIES ARE SHOWN FOR THE CONTRACTORS INFORMATION ONLY.

CONTRACTOR SHALL TEST PIT TO VERIFY EXISTING UTILITIES WELL IN ADVANCE OF CONSTRUCTION ACTIVITIES AND TAKE ALL NECESSARY PRECAUTIONS TO PROTECT THE EXISTING UTILITIES, TO MAINTAIN UNINTERRUPTED SERVICE AND TO PROVIDE REQUIRED CLEARANCES FOR ALL PROPOSED UTILITIES. ANY DAMAGE INCURRED DUE TO CONTRACTOR'S OPERATION SHALL BE REPAIRED IMMEDIATELY AT THE CONTRACTOR'S EXPENSE.

PARCEL C-5 OWNER	OWNER	OWNER/DEVELOPER
BEAZER HOMES, LLC 6085 MARSHALLE DRIVE, SUITE 350 ELKROGE, MD 21075 443-539-3249	TRIPLE BELL FARMS, LLC 198 LAUREL RACE TRACK RD LAUREL, MD 20725 443-470-3494	20306 DELAWARE, INC. 198 LAUREL RACE TRACK RD LAUREL, MD 20725 (301) 470-5484

NO.	REVISION	DATE
2	REVISE PLAN TO SHOW NEW ARCHITECTURE FOR UNITS 172 - 222); REVISE W&S HOUSE CONNECTIONS; REMOVE APARTMENT BUILDINGS 7-9	04/10/24
1	REVISE PLAN FOR BUILDING ARCHITECTURE (UNITS 157-171 & 223-232); AND REVISE W&S HOUSE CONNECTIONS	12/19/23

**REVISED SITE DEVELOPMENT PLAN
GRADING AND SOIL EROSION AND
SEDIMENT CONTROL PLAN; SOILS PLAN**

**PADDOCK POINTE - PHASE 3A
(FORMERLY KNOWN AS LAUREL PARK STATION)**

PARCEL 384
78 STACKED TOWN
PARCELS C-2
ZONED: TOD

TAX MAP: 50 BLOCK: 10
6TH ELECTION DISTRICT

**HOWARD COUNTY
ANNE ARUNDEL COUNTY**

**VOGEL ENGINEERING
TIMMONS GROUP**

3300 NORTH RIDGE ROAD, SUITE 110, ELLICOTT CITY, MD 21043
P: 410.461.7666 F: 410.461.8961 www.timmons.com

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

[Signature]
CHIEF, DEVELOPMENT ENGINEERING DIVISION

DATE: 9/16/24

[Signature]
CHIEF, DIVISION OF LAND DEVELOPMENT

DATE: 9/24/24

[Signature]
DIRECTOR

DATE: 9/30/24

OWNER/DEVELOPER CERTIFICATION:
I/WE CERTIFY THAT ANY CLEARING, GRADING, CONSTRUCTION OR DEVELOPMENT WILL BE DONE PURSUANT TO THIS APPROVED EROSION AND SEDIMENT CONTROL PLAN, INCLUDING INSPECTING AND MAINTAINING CONTROLS, AND THAT ALL RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF TRAINING AT A MARYLAND DEPARTMENT OF THE ENVIRONMENT (MDE) APPROVED TRAINING PROGRAM FOR THE CONTROL OF EROSION AND SEDIMENT PRIOR TO BEGINNING THE PROJECT. CERTIFY RIGHT-OF-WAY ENTRY FOR PERIODIC ON-SITE EVALUATION BY HOWARD COUNTY, THE HOWARD SOIL CONSERVATION DISTRICT AND/OR MDE.

[Signature]
OWNER/DEVELOPER SIGNATURE

DATE: 9/16/24

[Signature]
PRINTED NAME & TITLE

DESIGN CERTIFICATION:
I HEREBY CERTIFY THAT THIS PLAN HAS BEEN DESIGNED IN ACCORDANCE WITH CURRENT MARYLAND EROSION AND SEDIMENT CONTROL LAWS, REGULATIONS AND STANDARDS, THAT IT REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

[Signature]
DESIGNER'S SIGNATURE

DATE: 9/16/24

[Signature]
ROBERT H. VOGEL
PRINTED NAME

MD REGISTRATION NO. 16193
C.E., R.L.S., OR R.L.A. (circle one)

THIS PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

[Signature]
HOWARD S.C.D.

DATE: 9/16/24

PLAN VIEW

SCALE: 1" = 30'

SCALE 1" = 30'

15' 0' 30'

SOILS LEGEND
HOWARD COUNTY SOILS MAP #28

SMBL	NAME / DESCRIPTION	GROUP	K-FACTOR	ERODIBLE	HYDRC
E5C	EVERSWOOD LOAMY SAND, 2 TO 10 PERCENT SLOPES	A	0.43	YES	NO
Fo	FALLSINGTON SANDY LOAM, 0 TO 2 PERCENT SLOPES	D	0.24	NO	YES
RuB	RUSSETT AND BELTSVILLE SOILS, 2 TO 5 PERCENT SLOPES	C	0.43	YES	NO
UdB	UDORCKRETS, LOAMY, 0 TO 5 PERCENT SLOPES	C	0.24	NO	NO
UdD	UDRMAN LAND-ADJUSTMENTS COMPLEX, 0 TO 15 PERCENT SLOPES	D	0.28	NO	NO

SOILS NOTE:
HIGHLY ERODIBLE SOILS ARE THOSE SOILS WITH A SLOPE GREATER THAN 15 PERCENT OR THOSE SOILS WITH A SOIL ERODIBILITY FACTOR K GREATER THAN 0.35 AND WITH A SLOPE GREATER THAN 5 PERCENT.

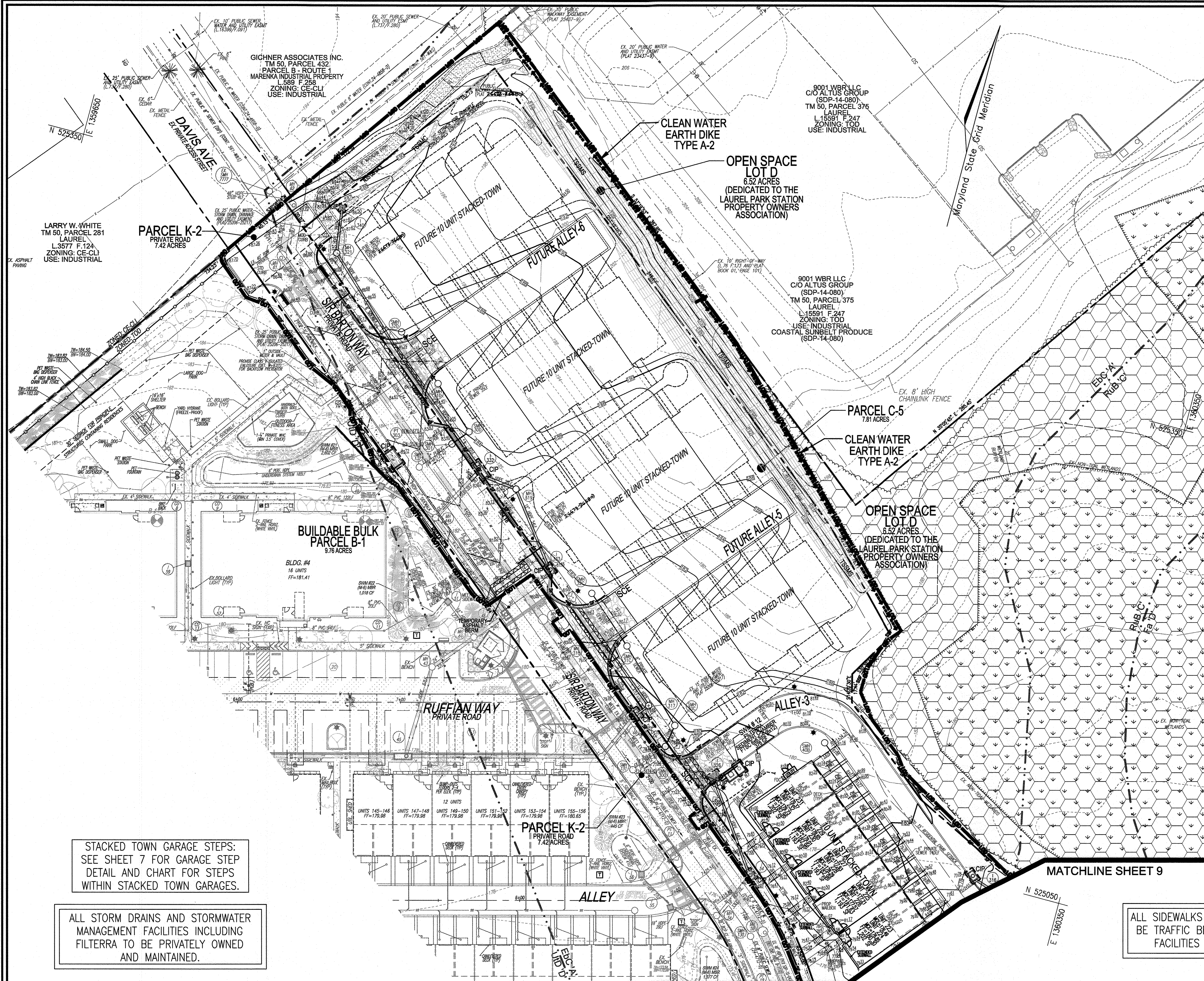
PROFESSIONAL CERTIFICATE

HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 16193, EXPIRATION DATE: 09-27-2024.

DESIGN BY: DZE/RHV
DRAWN BY: DZE/JR
CHECKED BY: RHV
DATE: MAY 2024
SCALE: AS SHOWN
W.O. NO.: 07-11/40111

9 SHEET OF 40

ROBERT H. VOGEL, PE No.16193



LEGEND:

--- 200 ---	EXISTING CONTOUR	--- 200 ---	EXISTING FOREST CONSERVATION EASEMENT (RETENTION) PLAT 25206-17
--- 402.88 ---	PROPOSED CONTOUR	--- 200 ---	SUPER SILT FENCE
--- 402.88 ---	PROPOSED SPOT ELEVATION	--- 200 ---	SILT FENCE
---	EXISTING CURB AND GUTTER	---	LIMIT OF DISTURBANCE
---	PROPOSED CURB AND GUTTER	---	CURB INLET PROTECTION
---	EXISTING UTILITY POLE	---	STABILIZED CONSTRUCTION ENTRANCE
---	EXISTING LIGHT POLE	---	EARTH DIKE / CLEAN WATER DIVERSION DIKE
---	EXISTING MAILBOX	---	EX. PUBLIC SEWER, WATER AND UTILITY EASEMENT PLAT 25206-17
---	EXISTING SIGN	---	
---	EXISTING SANITARY MANHOLE	---	
---	EXISTING SANITARY LINE	---	
---	EXISTING CLEANOUT	---	
---	EXISTING FIRE HYDRANT	---	
---	EXISTING WATER LINE	---	
---	PROPOSED STORM DRAIN	---	
---	PROPOSED STORM DRAIN INLET	---	
---	EXISTING TREELINE	---	
---	EXISTING FENCE	---	
---	PROPERTY LINE	---	
---	RIGHT-OF-WAY LINE	---	
---	SOILS BOUNDARY	---	
---	EXISTING STREAM	---	
---	EXISTING STREAM BUFFER	---	
---	EX. WETLAND BUFFER	---	
---	EX. LIMIT OF WETLAND	---	
---	PROPOSED STREET LIGHT	---	
---	PROPOSED SIDEWALK	---	
---	PROPOSED STREET SIGN	---	
---	DEAD END BARRICADE	---	
---	STREET TREES	---	
---	EROSION CONTROL MATING (1.50L/FT ²)	---	
---	EX. TREES	---	
---	PUBLIC SEWER AND UTILITY EASEMENT PLAT 25206-17	---	

- #### SEDIMENT CONTROL NOTES:
- SEDIMENT CONTROLS INTERRUPTED BY INSTALLATION OF UTILITY LINES ARE TO BE REPAIRED IMMEDIATELY.
 - MANHOLE COVERS NOT TO BE LOCATED IN CURB OR GUTTER PAN.
 - LOCATE STOCKPILE AS SHOWN HEREON OR AS DIRECTED BY THE SEDIMENT CONTROL INSPECTOR. STOCKPILES EXCEEDING 15 FEET IN HEIGHT SHALL BE BENCHED. SEE STABILIZATION SPECS.
 - SILT FENCE SHALL BE CURLED UPHILL AT 35 FT. INTERVALS WHEREVER IT RUNS DOWNHILL.
 - SILT FENCE IS TO BE REPLACED WITH SUPER SILT FENCE AT THE DIRECTION OF THE SEDIMENT CONTROL INSPECTOR.
 - DOUBLE ROWS OF SUPER SILT FENCE SHALL BE INSTALLED AT THE DIRECTION OF THE SEDIMENT CONTROL INSPECTOR.
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 - EARTH BERMS ARE TO BE CONVERTED TO MACADAM BERMS AS NEEDED OR DIRECTED BY THE CID INSPECTOR.

EXISTING UTILITIES NOTE:

EXISTING UTILITIES SHOWN ON THESE PLANS HAVE BEEN LOCATED FROM EXISTING SITE DEVELOPMENT PLANS, FIELD SURVEYS, PUBLIC WATER AND SEWER EXTENSION PLANS AND AVAILABLE RECORD DRAWINGS. APPROXIMATE LOCATION OF EXISTING UTILITIES ARE SHOWN FOR THE CONTRACTORS INFORMATION ONLY.

CONTRACTOR SHALL TEST PIT TO VERIFY EXISTING UTILITIES WELL IN ADVANCE OF CONSTRUCTION ACTIVITIES AND TAKE ALL NECESSARY PRECAUTIONS TO PROTECT THE EXISTING UTILITIES, TO MAINTAIN UNINTERRUPTED SERVICE AND TO PROVIDE REQUIRED CLEARANCES FOR ALL PROPOSED UTILITIES. ANY DAMAGE INCURRED DUE TO CONTRACTOR'S OPERATION SHALL BE REPAIRED IMMEDIATELY AT THE CONTRACTOR'S EXPENSE.

PARCEL C-5 OWNER	OWNER	OWNER/DEVELOPER
BEAZER HOMES, LLC 6085 MARSHLEE DRIVE, SUITE 350 LAUREL, MD 20725 443-539-9249	TRIPLE BELL FARMS, LLC 198 LAUREL RACE TRACK RD LAUREL, MD 20725 (301) 470-5494	20006 DELAWARE, INC. 198 LAUREL RACE TRACK RD LAUREL, MD 20725 (301) 470-5494

NO.	REVISION	DATE
2	REVISE PLAN TO SHOW NEW ARCHITECTURE FOR UNITS 172 - 222; REVISE W&S HOUSE CONNECTIONS, REMOVE APARTMENT BUILDINGS 7-9	04/10/24
1	REVISE PLAN FOR BUILDING ARCHITECTURE (UNITS 157-171 & 223-232); AND REVISE W&S HOUSE CONNECTIONS	12/19/23

REVISED SITE DEVELOPMENT PLAN GRADING AND SOIL EROSION AND SEDIMENT CONTROL PLAN; SOILS PLAN

Paddock Pointe - Phase 3A (FORMERLY KNOWN AS LAUREL PARK STATION)

PARCELS C-5 & K-2
ZONED: TOD

TAX MAP: 50 BLOCK: 10
5TH ELECTION DISTRICT

PARCEL 384
HOWARD COUNTY, MARYLAND

VOGEL ENGINEERING

TIMMONS GROUP

3300 NORTH RIDGE ROAD, SUITE 110, ELLICOTT CITY, MD 21043
P: 410.461.7666 F: 410.461.8961 www.timmons.com

DESIGN BY: DZE/RHV
DRAWN BY: DZE/JR
CHECKED BY: RHV
DATE: MAY 2024
SCALE: AS SHOWN
W.O. NO.: 07-11/40111

PROFESSIONAL CERTIFICATE
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A duly LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 15197, EXPIRATION DATE: 09-27-2024

ROBERT H. VOGEL, PE No. 16193

STACKED TOWN GARAGE STEPS:
SEE SHEET 7 FOR GARAGE STEP
DETAIL AND CHART FOR STEPS
WITHIN STACKED TOWN GARAGES.

ALL STORM DRAINS AND STORMWATER
MANAGEMENT FACILITIES INCLUDING
FILTERRA TO BE PRIVATELY OWNED
AND MAINTAINED.

ALL SIDEWALKS AND CURBS SHALL
BE TRAFFIC BEARING WHEN SWM
FACILITIES ARE ADJACENT

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

Chad Clark 9/16/24
CHIEF, DEVELOPMENT ENGINEERING DIVISION

Anna Sauer 9/24/24
CHIEF, DIVISION OF LAND DEVELOPMENT

Theresa Esler 9/30/24
DIRECTOR

OWNER/DEVELOPER CERTIFICATION:
I/WE CERTIFY THAT ANY CLEARING, GRADING, CONSTRUCTION OR DEVELOPMENT WILL BE DONE PURSUANT TO THIS APPROVED EROSION AND SEDIMENT CONTROL PLAN, INCLUDING INSPECTING AND MAINTAINING CONTROLS, AND THAT ALL RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF TRAINING AT A MARYLAND DEPARTMENT OF THE ENVIRONMENT (MDE) APPROVED TRAINING PROGRAM FOR THE CONTROL OF EROSION AND SEDIMENT PRIOR TO BEGINNING THE PROJECT. I CERTIFY RIGHT-OF-ENTRY FOR PERIODIC ON-SITE EVALUATION BY HOWARD COUNTY, THE HOWARD SOIL CONSERVATION DISTRICT AND/OR MDE.

Brian A. Kneiff 5/16/2024
OWNER/DEVELOPER SIGNATURE
BRIAN A. KNEIFF
PRINTED NAME & TITLE

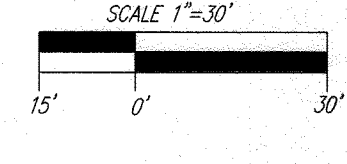
DESIGN CERTIFICATION:
I HEREBY CERTIFY THAT THIS PLAN HAS BEEN DESIGNED IN ACCORDANCE WITH CURRENT MARYLAND EROSION AND SEDIMENT CONTROL LAWS, REGULATIONS, AND STANDARDS THAT REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

Robert H. Vogel 9/14/24
DESIGNER'S SIGNATURE
ROBERT H. VOGEL
PRINTED NAME
MD REGISTRATION NO. 16193
R.H.S., OR R.L.A. (circle one)

THIS PLAN IS APPROVED FOR SOIL EROSION AND
SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

Alexander Borker/165 9/14/24
HOWARD S.C.D. DATE

PLAN VIEW
SCALE: 1"=30'



SOILS LEGEND

HOWARD COUNTY SOILS MAP #28

SYMBOL	NAME / DESCRIPTION	GROUP	K-FACTOR	ERODIBLE	HYDRIC
EBC	EVESBORO LOAMY SAND, 2 TO 10 PERCENT SLOPES	A	0.49	YES	NO
Fs	FALLSINGTON SANDY LOAM, 0 TO 2 PERCENT SLOPES	D	0.24	NO	YES
RUB	RUSSETT AND BELTOWLE SOILS, 2 TO 8 PERCENT SLOPES	C	0.43	YES	NO
LU8	LUOROTHENS, LOAMY, 0 TO 5 PERCENT SLOPES	C	0.24	NO	NO
LU9	LU8 URBAN LAND-LIQUOROTHENS COMPLEX, 0 TO 15 PERCENT SLOPES	D	0.28	NO	NO

SOILS NOTE:
HIGHLY ERODIBLE SOILS ARE THOSE SOILS WITH A SLOPE GREATER THAN 15 PERCENT OR THOSE SOILS WITH A SOIL ERODIBILITY FACTOR K GREATER THAN 0.35 AND WITH A SLOPE GREATER THAN 5 PERCENT.

B-4-2 STANDARDS AND SPECIFICATIONS FOR SOIL PREPARATION, TOPSOILING AND SOIL AMENDMENTS

DEFINITION: THE APPLICATION OF SEED AND MULCH TO ESTABLISH VEGETATIVE COVER.
PURPOSE: TO PROTECT DISTURBED SOILS FROM EROSION DURING AND AT THE END OF CONSTRUCTION.
CONDITIONS WHERE PRACTICE APPLIES: TO ALL DISTURBED AREAS NOT UNDER ACTIVE GRADING.
CRITERIA: TO BE ESTABLISHED.
1. PREPARATION:
 A. SOIL TESTS MUST BE PERFORMED TO DETERMINE THE EXACT RATIOS AND APPLICATION RATES FOR BOTH NUTRIENT AND PESTICIDE MATERIALS.
 B. SOIL TESTS MUST BE PERFORMED TO DETERMINE THE EXACT RATIOS AND APPLICATION RATES FOR BOTH NUTRIENT AND PESTICIDE MATERIALS.
 C. SOIL TESTS MUST BE PERFORMED TO DETERMINE THE EXACT RATIOS AND APPLICATION RATES FOR BOTH NUTRIENT AND PESTICIDE MATERIALS.
2. PERMANENT STABILIZATION:
 A. SOIL TESTS MUST BE PERFORMED TO DETERMINE THE EXACT RATIOS AND APPLICATION RATES FOR BOTH NUTRIENT AND PESTICIDE MATERIALS.
 B. SOIL TESTS MUST BE PERFORMED TO DETERMINE THE EXACT RATIOS AND APPLICATION RATES FOR BOTH NUTRIENT AND PESTICIDE MATERIALS.
 C. SOIL TESTS MUST BE PERFORMED TO DETERMINE THE EXACT RATIOS AND APPLICATION RATES FOR BOTH NUTRIENT AND PESTICIDE MATERIALS.

B-4-3 STANDARDS AND SPECIFICATIONS FOR SEEDING AND MULCHING

DEFINITION: THE APPLICATION OF SEED AND MULCH TO ESTABLISH VEGETATIVE COVER.
PURPOSE: TO PROTECT DISTURBED SOILS FROM EROSION DURING AND AT THE END OF CONSTRUCTION.
CONDITIONS WHERE PRACTICE APPLIES: TO ALL DISTURBED AREAS NOT UNDER ACTIVE GRADING.
CRITERIA: TO BE ESTABLISHED.
1. SPECIFICATIONS:
 A. ALL SEED MUST MEET THE REQUIREMENTS OF THE MARYLAND STATE SEED LAW. ALL SEED MUST BE SUBJECT TO RE-TESTING BY A RECOGNIZED SEED LABORATORY. ALL SEED MUST HAVE BEEN PREVIOUSLY TESTED BY A RECOGNIZED SEED LABORATORY.
 B. ALL SEED MUST BE SUBJECT TO RE-TESTING BY A RECOGNIZED SEED LABORATORY. ALL SEED MUST HAVE BEEN PREVIOUSLY TESTED BY A RECOGNIZED SEED LABORATORY.
2. APPLICATION:
 A. SOIL TESTS MUST BE PERFORMED TO DETERMINE THE EXACT RATIOS AND APPLICATION RATES FOR BOTH NUTRIENT AND PESTICIDE MATERIALS.
 B. SOIL TESTS MUST BE PERFORMED TO DETERMINE THE EXACT RATIOS AND APPLICATION RATES FOR BOTH NUTRIENT AND PESTICIDE MATERIALS.
 C. SOIL TESTS MUST BE PERFORMED TO DETERMINE THE EXACT RATIOS AND APPLICATION RATES FOR BOTH NUTRIENT AND PESTICIDE MATERIALS.

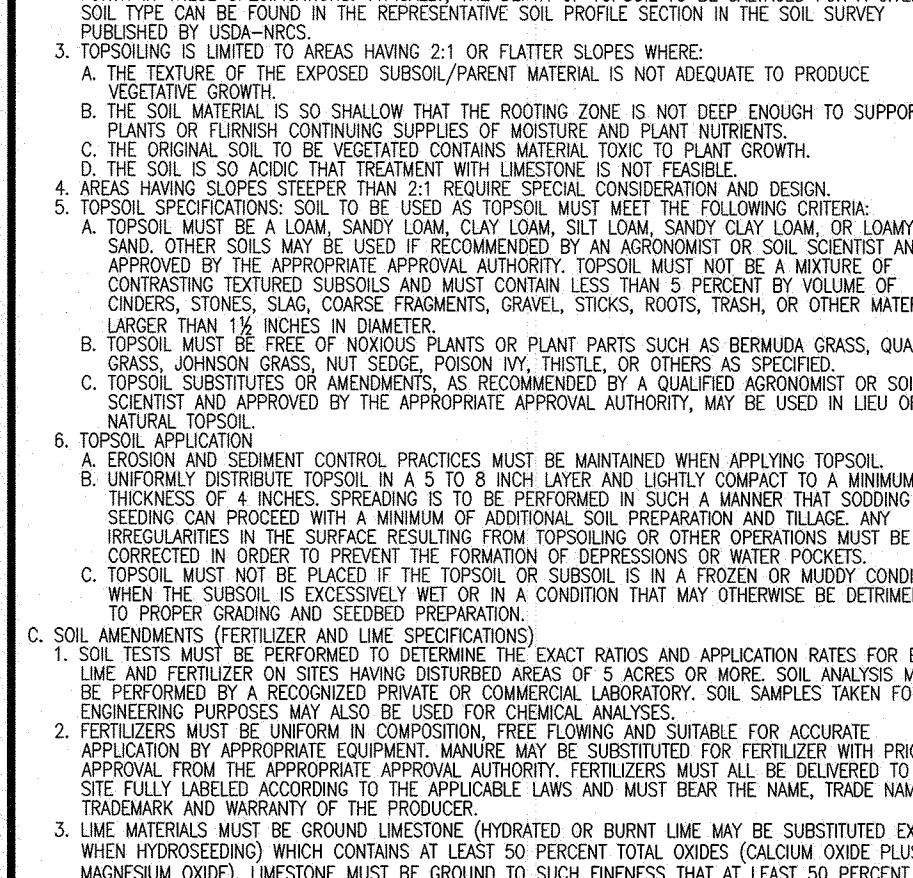
B-4-4 STANDARDS AND SPECIFICATIONS FOR TEMPORARY STABILIZATION

DEFINITION: TO STABILIZE DISTURBED SOILS WITH VEGETATION FOR UP TO 6 MONTHS.
PURPOSE: TO PROTECT DISTURBED SOILS FROM EROSION DURING AND AT THE END OF CONSTRUCTION.
CONDITIONS WHERE PRACTICE APPLIES: TO ALL DISTURBED AREAS NOT UNDER ACTIVE GRADING.
CRITERIA: TO BE ESTABLISHED.
1. SPECIFICATIONS:
 A. ALL SEED MUST MEET THE REQUIREMENTS OF THE MARYLAND STATE SEED LAW. ALL SEED MUST BE SUBJECT TO RE-TESTING BY A RECOGNIZED SEED LABORATORY. ALL SEED MUST HAVE BEEN PREVIOUSLY TESTED BY A RECOGNIZED SEED LABORATORY.
2. APPLICATION:
 A. SOIL TESTS MUST BE PERFORMED TO DETERMINE THE EXACT RATIOS AND APPLICATION RATES FOR BOTH NUTRIENT AND PESTICIDE MATERIALS.
 B. SOIL TESTS MUST BE PERFORMED TO DETERMINE THE EXACT RATIOS AND APPLICATION RATES FOR BOTH NUTRIENT AND PESTICIDE MATERIALS.
 C. SOIL TESTS MUST BE PERFORMED TO DETERMINE THE EXACT RATIOS AND APPLICATION RATES FOR BOTH NUTRIENT AND PESTICIDE MATERIALS.

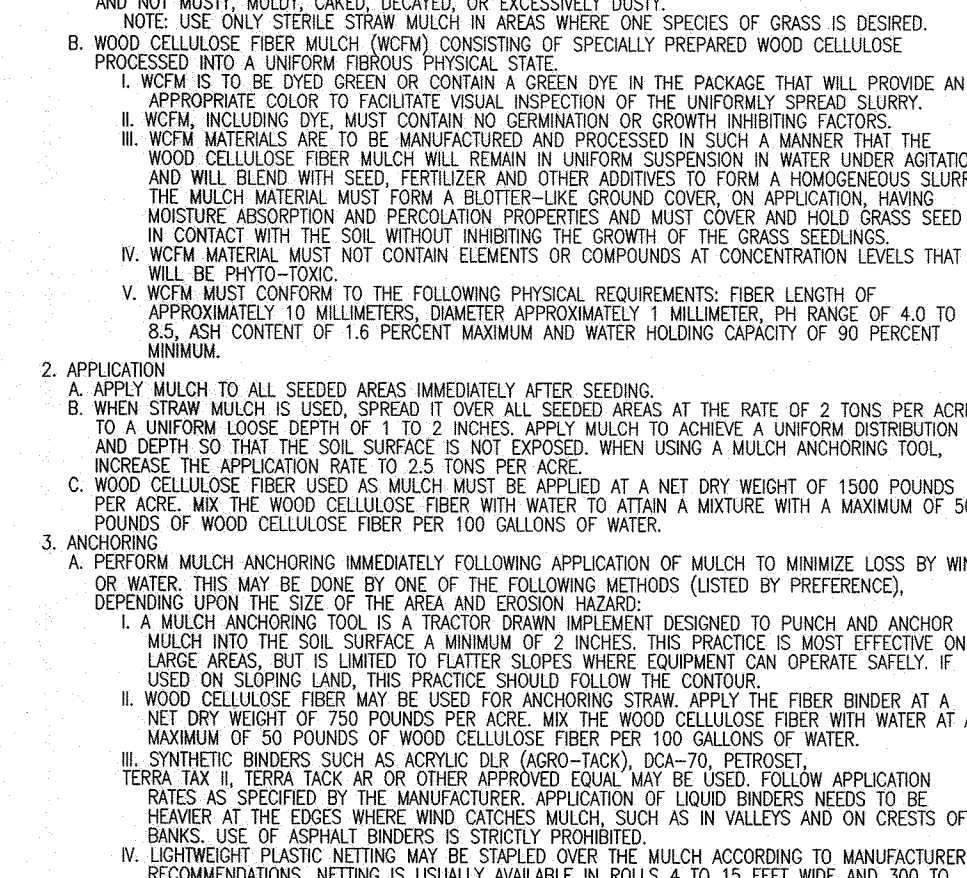
B-4-5 STANDARDS AND SPECIFICATIONS FOR PERMANENT STABILIZATION

DEFINITION: TO PERMANENTLY STABILIZE DISTURBED SOILS WITH VEGETATION.
PURPOSE: TO PERMANENTLY STABILIZE DISTURBED SOILS WITH VEGETATION.
CONDITIONS WHERE PRACTICE APPLIES: TO ALL DISTURBED AREAS NOT UNDER ACTIVE GRADING.
CRITERIA: TO BE ESTABLISHED.
1. SPECIFICATIONS:
 A. ALL SEED MUST MEET THE REQUIREMENTS OF THE MARYLAND STATE SEED LAW. ALL SEED MUST BE SUBJECT TO RE-TESTING BY A RECOGNIZED SEED LABORATORY. ALL SEED MUST HAVE BEEN PREVIOUSLY TESTED BY A RECOGNIZED SEED LABORATORY.
2. APPLICATION:
 A. SOIL TESTS MUST BE PERFORMED TO DETERMINE THE EXACT RATIOS AND APPLICATION RATES FOR BOTH NUTRIENT AND PESTICIDE MATERIALS.
 B. SOIL TESTS MUST BE PERFORMED TO DETERMINE THE EXACT RATIOS AND APPLICATION RATES FOR BOTH NUTRIENT AND PESTICIDE MATERIALS.
 C. SOIL TESTS MUST BE PERFORMED TO DETERMINE THE EXACT RATIOS AND APPLICATION RATES FOR BOTH NUTRIENT AND PESTICIDE MATERIALS.

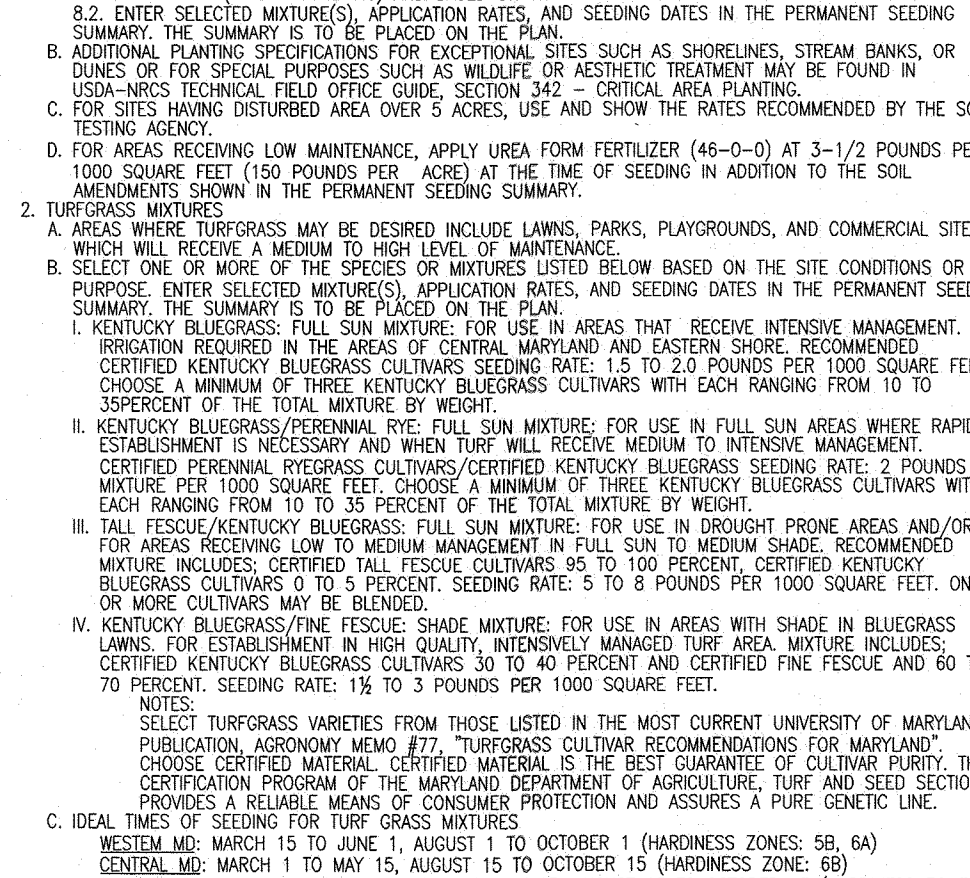
B-4-1 STANDARDS AND SPECIFICATIONS FOR TEMPORARY STABILIZATION ENTRANCE



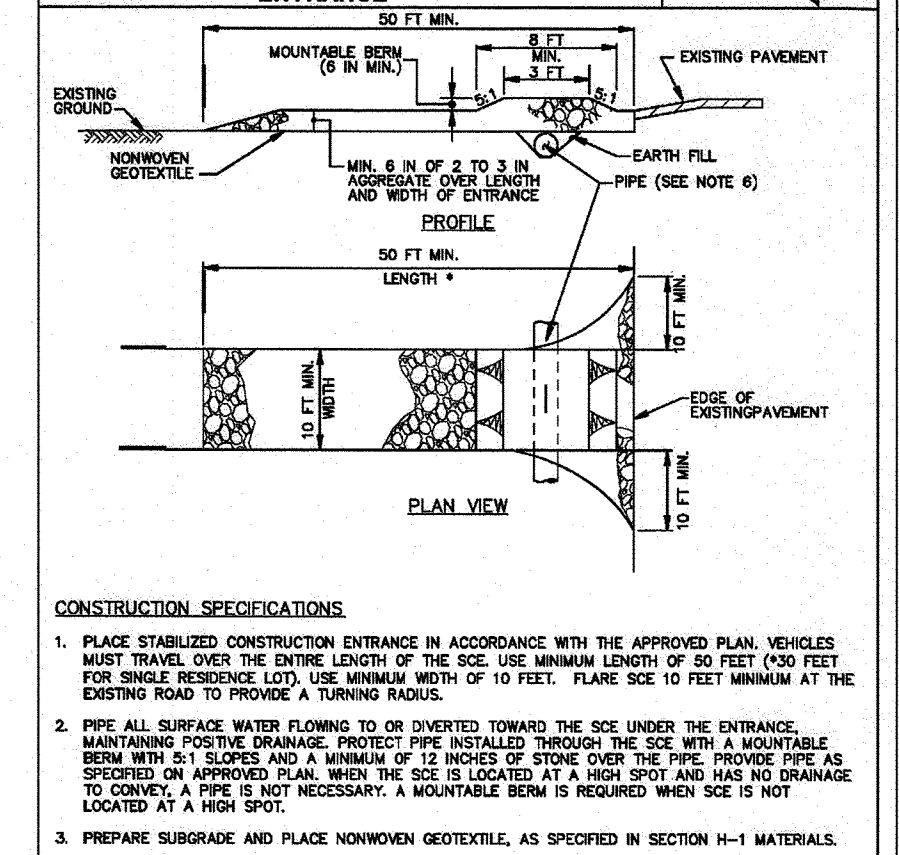
DETAIL E-1 SILT FENCE



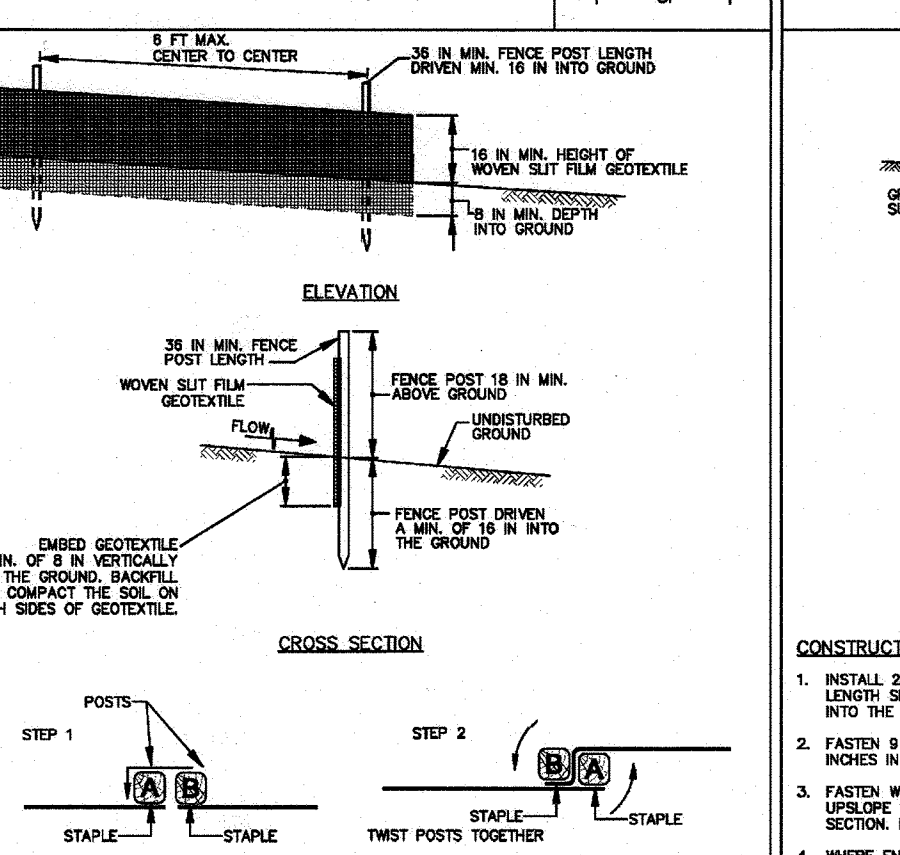
DETAIL E-3 SUPER SILT FENCE



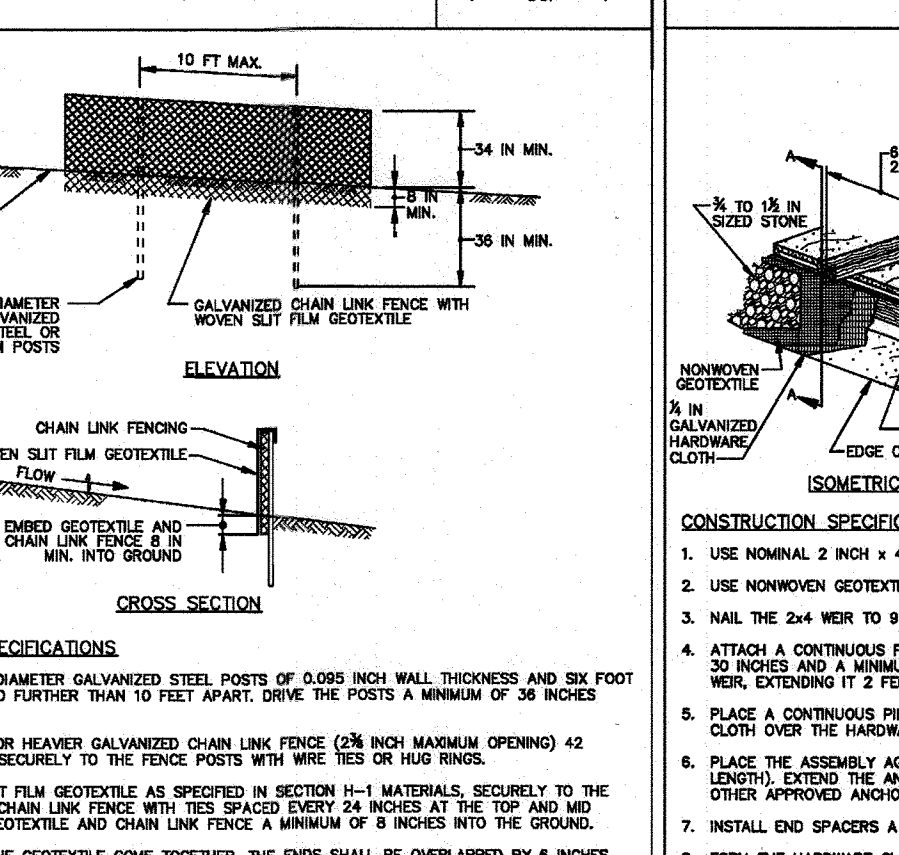
DETAIL E-1-1 SILT FENCE



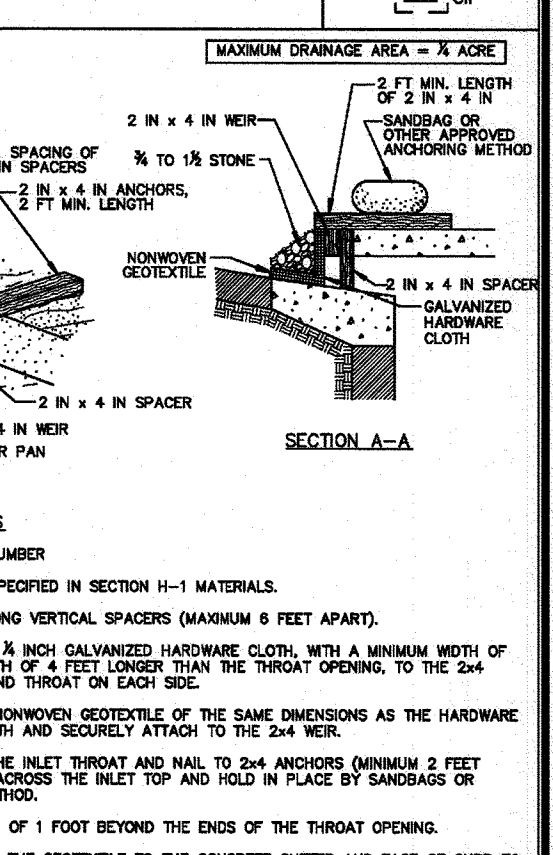
DETAIL E-1-1 SILT FENCE



DETAIL E-3 SUPER SILT FENCE



DETAIL E-3-3 CURB INLET PROTECTION



HOWARD SOIL CONSERVATION DISTRICT (HSCD) STANDARD SEDIMENT CONTROL NOTES

1. A PRE-CONSTRUCTION MEETING MUST OCCUR WITH THE HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS AND THE HOWARD COUNTY DEPARTMENT OF ENVIRONMENTAL AND NATURAL RESOURCES PRIOR TO THE START OF CONSTRUCTION.
 2. THE CONSTRUCTION SITE MUST BE MAINTAINED AT ALL TIMES TO PREVENT EROSION AND SEDIMENT CONTROL.
 3. THE CONSTRUCTION SITE MUST BE MAINTAINED AT ALL TIMES TO PREVENT EROSION AND SEDIMENT CONTROL.
 4. THE CONSTRUCTION SITE MUST BE MAINTAINED AT ALL TIMES TO PREVENT EROSION AND SEDIMENT CONTROL.
 5. THE CONSTRUCTION SITE MUST BE MAINTAINED AT ALL TIMES TO PREVENT EROSION AND SEDIMENT CONTROL.
 6. THE CONSTRUCTION SITE MUST BE MAINTAINED AT ALL TIMES TO PREVENT EROSION AND SEDIMENT CONTROL.
 7. THE CONSTRUCTION SITE MUST BE MAINTAINED AT ALL TIMES TO PREVENT EROSION AND SEDIMENT CONTROL.
 8. THE CONSTRUCTION SITE MUST BE MAINTAINED AT ALL TIMES TO PREVENT EROSION AND SEDIMENT CONTROL.
 9. THE CONSTRUCTION SITE MUST BE MAINTAINED AT ALL TIMES TO PREVENT EROSION AND SEDIMENT CONTROL.
 10. THE CONSTRUCTION SITE MUST BE MAINTAINED AT ALL TIMES TO PREVENT EROSION AND SEDIMENT CONTROL.

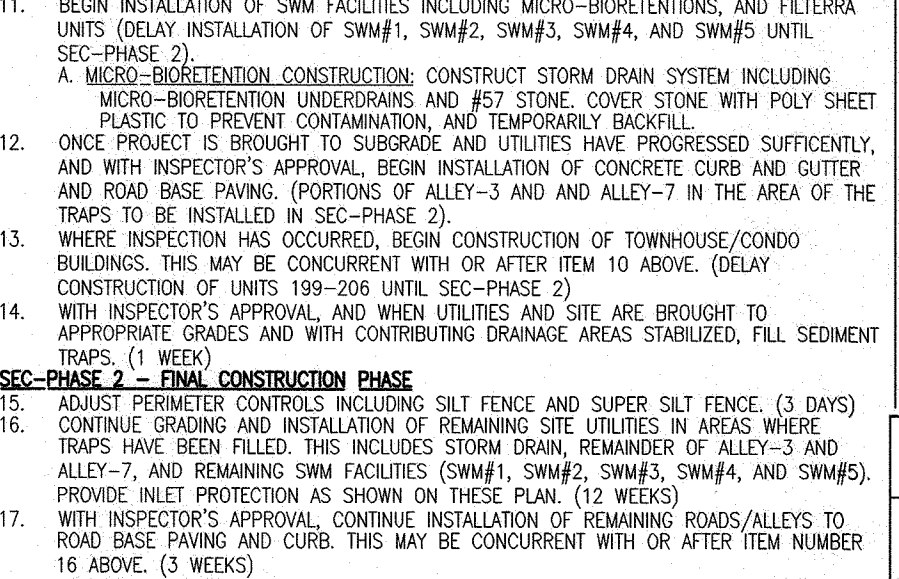
B-4-2 STANDARDS AND SPECIFICATIONS FOR STOCKPILE AREA

DEFINITION: TO PROTECT A DESIGNATED LOCATION FOR THE TEMPORARY STORAGE OF SOIL THAT CONTROLS THE POTENTIAL FOR EROSION, SEDIMENTATION AND CHANGES TO DRAINAGE PATTERNS.
PURPOSE: TO PROTECT A DESIGNATED LOCATION FOR THE TEMPORARY STORAGE OF SOIL THAT CONTROLS THE POTENTIAL FOR EROSION, SEDIMENTATION AND CHANGES TO DRAINAGE PATTERNS.
CONDITIONS WHERE PRACTICE APPLIES: TO ALL DISTURBED AREAS NOT UNDER ACTIVE GRADING.
CRITERIA: TO BE ESTABLISHED.
1. SPECIFICATIONS:
 A. ALL SEED MUST MEET THE REQUIREMENTS OF THE MARYLAND STATE SEED LAW. ALL SEED MUST BE SUBJECT TO RE-TESTING BY A RECOGNIZED SEED LABORATORY. ALL SEED MUST HAVE BEEN PREVIOUSLY TESTED BY A RECOGNIZED SEED LABORATORY.
2. APPLICATION:
 A. SOIL TESTS MUST BE PERFORMED TO DETERMINE THE EXACT RATIOS AND APPLICATION RATES FOR BOTH NUTRIENT AND PESTICIDE MATERIALS.
 B. SOIL TESTS MUST BE PERFORMED TO DETERMINE THE EXACT RATIOS AND APPLICATION RATES FOR BOTH NUTRIENT AND PESTICIDE MATERIALS.
 C. SOIL TESTS MUST BE PERFORMED TO DETERMINE THE EXACT RATIOS AND APPLICATION RATES FOR BOTH NUTRIENT AND PESTICIDE MATERIALS.

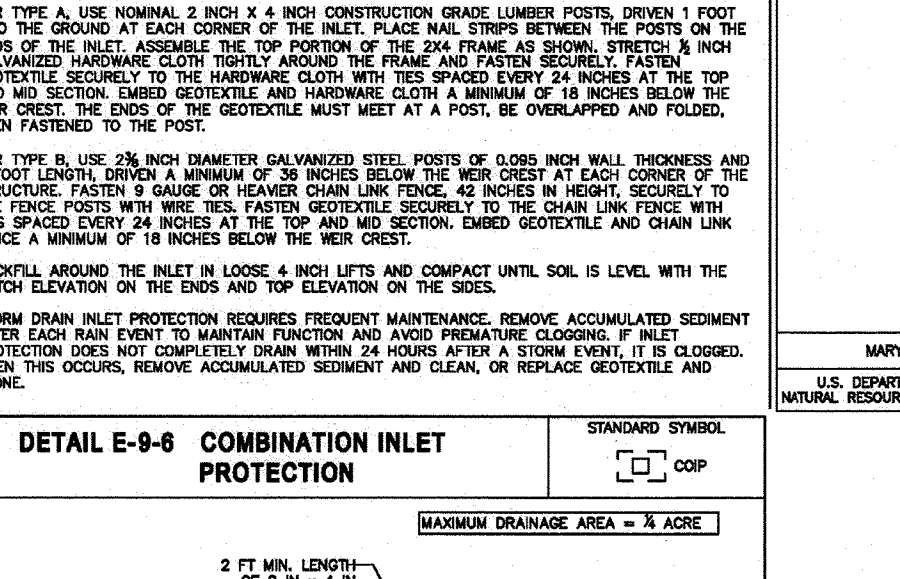
PERMANENT SEEDING SUMMARY

NO	SPECIES	APPLICATION RATE (LB/AC)	SEEDING DATE	SEEDING DEPTHS		FELZER		LIME RATE
				10-20	20-30	N	P ₂ O ₅	
1	COCK SCISSOR	40 LB / AC	MAR 1 TO MAY 15	0.5 IN.	0.5 IN.	438 LB/AC	2 TONS/AC	2 TONS/AC
2	WARM SEASON FOXTAIL	30 LB / AC	MAY 16 TO JUL 31	0.5 IN.	0.5 IN.	1000 SF	1000 SF	1000 SF

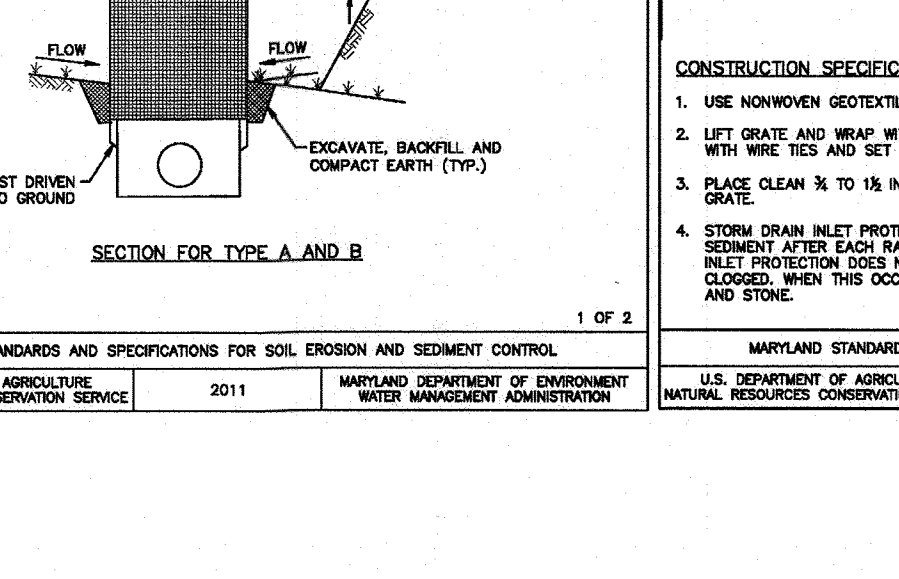
DETAIL E-1-1 SILT FENCE



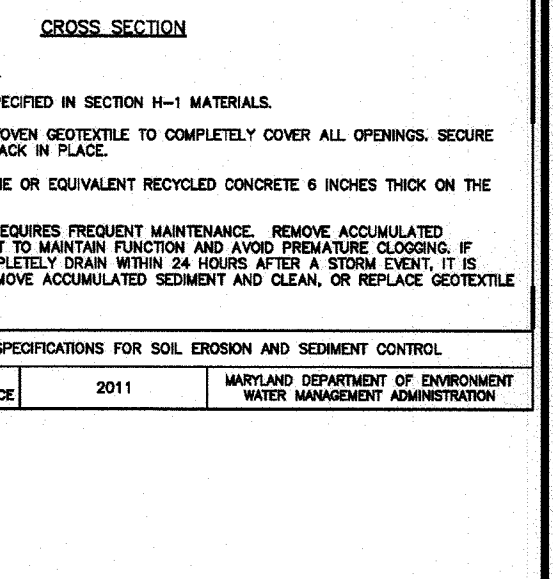
DETAIL E-1-1 SILT FENCE



DETAIL E-3-1 STANDARD INLET PROTECTION



DETAIL E-3-2 AT-GRADE INLET PROTECTION



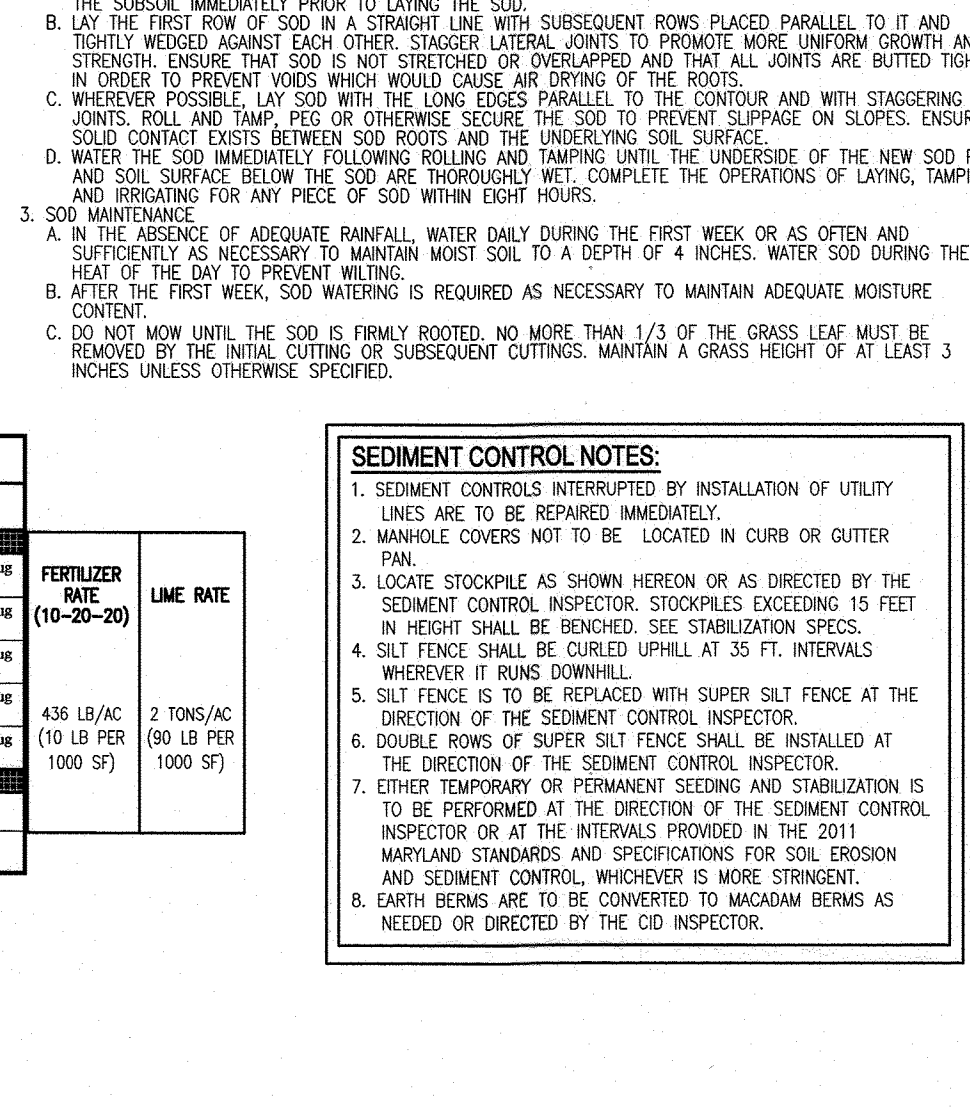
STANDARDS AND SPECIFICATIONS FOR DUST CONTROL

DEFINITION: TO CONTROL THE SUSPENSION OF DUST PARTICLES FROM CONSTRUCTION ACTIVITIES.
PURPOSE: TO CONTROL THE SUSPENSION OF DUST PARTICLES FROM CONSTRUCTION ACTIVITIES.
CONDITIONS WHERE PRACTICE APPLIES: TO ALL DISTURBED AREAS NOT UNDER ACTIVE GRADING.
CRITERIA: TO BE ESTABLISHED.
1. SPECIFICATIONS:
 A. ALL SEED MUST MEET THE REQUIREMENTS OF THE MARYLAND STATE SEED LAW. ALL SEED MUST BE SUBJECT TO RE-TESTING BY A RECOGNIZED SEED LABORATORY. ALL SEED MUST HAVE BEEN PREVIOUSLY TESTED BY A RECOGNIZED SEED LABORATORY.
2. APPLICATION:
 A. SOIL TESTS MUST BE PERFORMED TO DETERMINE THE EXACT RATIOS AND APPLICATION RATES FOR BOTH NUTRIENT AND PESTICIDE MATERIALS.
 B. SOIL TESTS MUST BE PERFORMED TO DETERMINE THE EXACT RATIOS AND APPLICATION RATES FOR BOTH NUTRIENT AND PESTICIDE MATERIALS.
 C. SOIL TESTS MUST BE PERFORMED TO DETERMINE THE EXACT RATIOS AND APPLICATION RATES FOR BOTH NUTRIENT AND PESTICIDE MATERIALS.

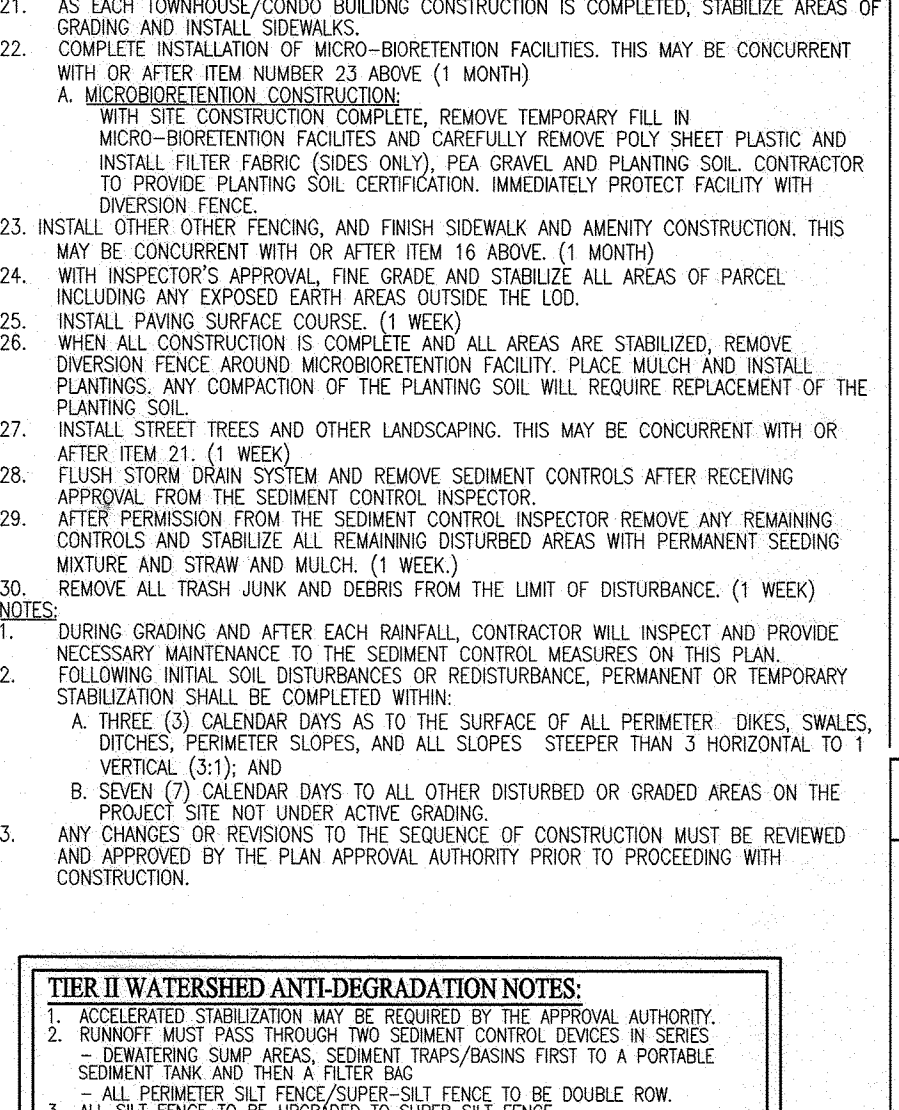
PERMANENT SEEDING SUMMARY

NO	SPECIES	APPLICATION RATE (LB/AC)	SEEDING DATE	SEEDING DEPTHS		FELZER		LIME RATE
				10-20	20-30	N	P ₂ O ₅	
1	COCK SCISSOR	40 LB / AC	MAR 1 TO MAY 15	0.5 IN.	0.5 IN.	438 LB/AC	2 TONS/AC	2 TONS/AC
2	WARM SEASON FOXTAIL	30 LB / AC	MAY 16 TO JUL 31	0.5 IN.	0.5 IN.	1000 SF	1000 SF	1000 SF

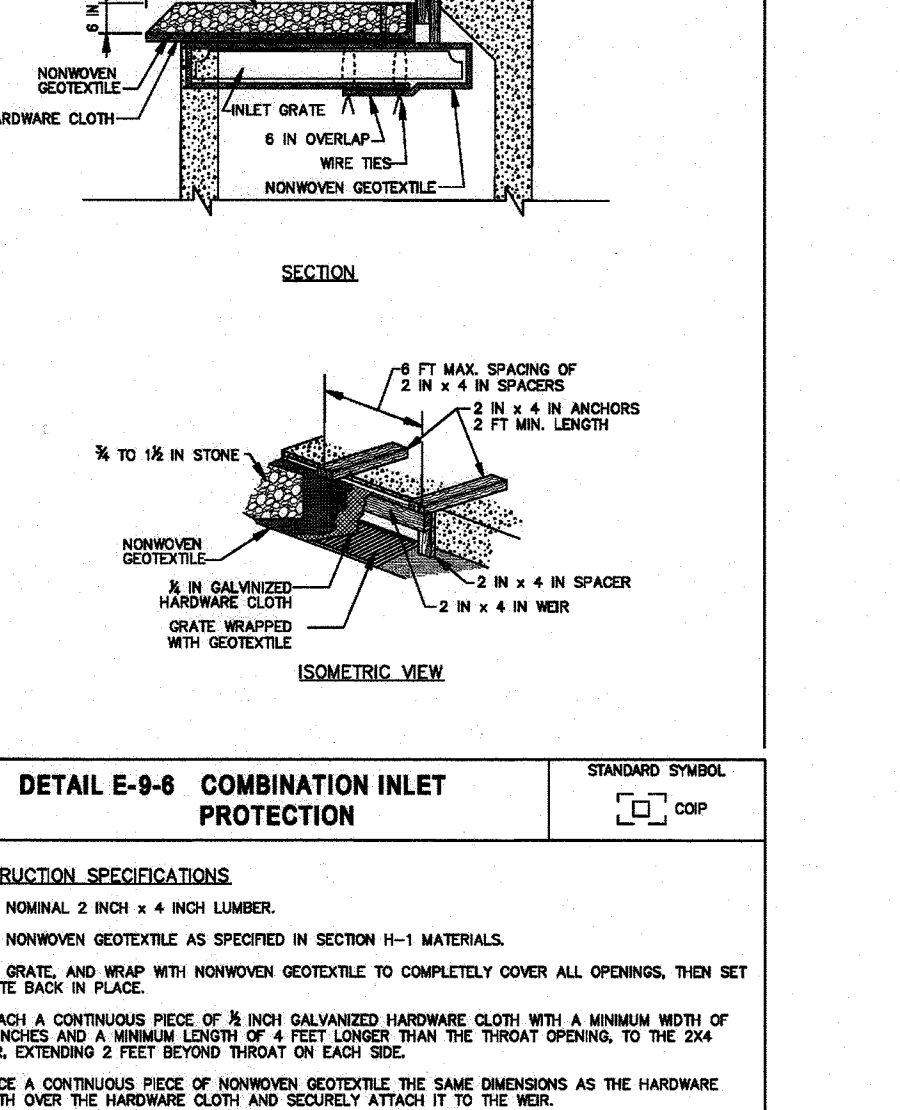
DETAIL E-1-1 SILT FENCE



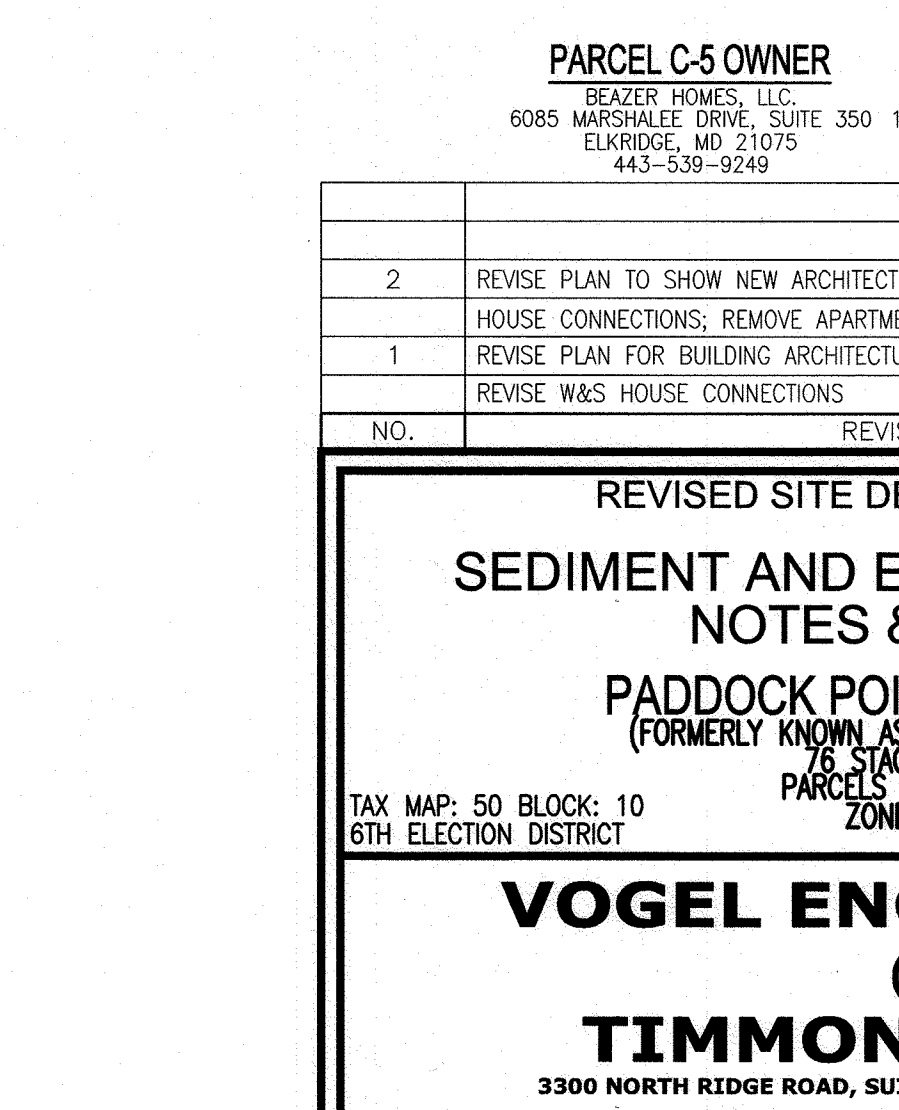
DETAIL E-1-1 SILT FENCE



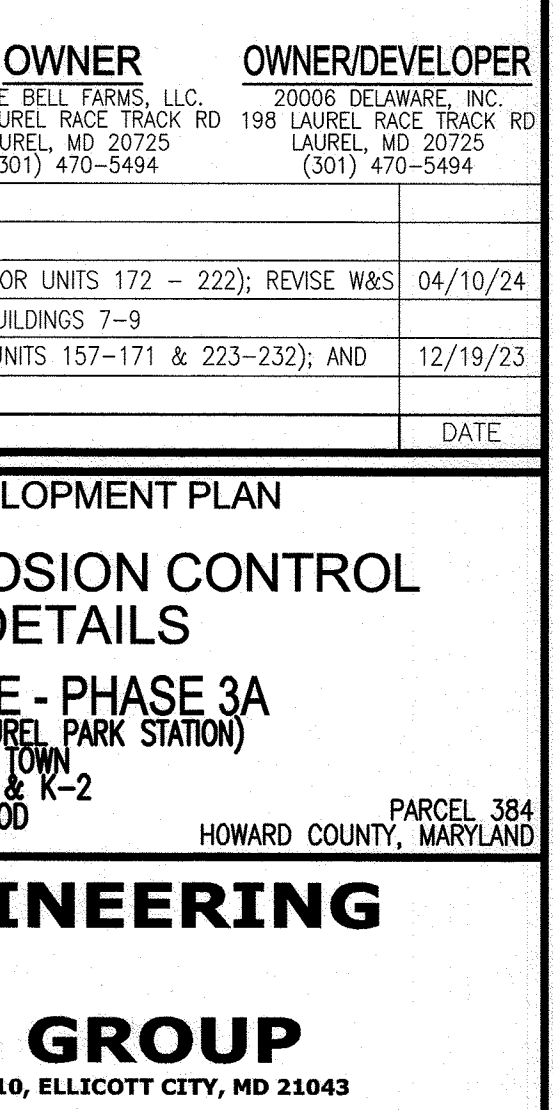
DETAIL E-1-1 SILT FENCE



DETAIL E-3-1 STANDARD INLET PROTECTION



DETAIL E-3-2 AT-GRADE INLET PROTECTION



APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
 DATE: 9/16/24
 DATE: 9/20/24
 DATE: 9/30/24

OWNER/DEVELOPER SIGNATURE: Brian A. Knoff
 DATE: 9/16/24
 OWNER/DEVELOPER SIGNATURE: Robert H. Vogel
 DATE: 9/16/24

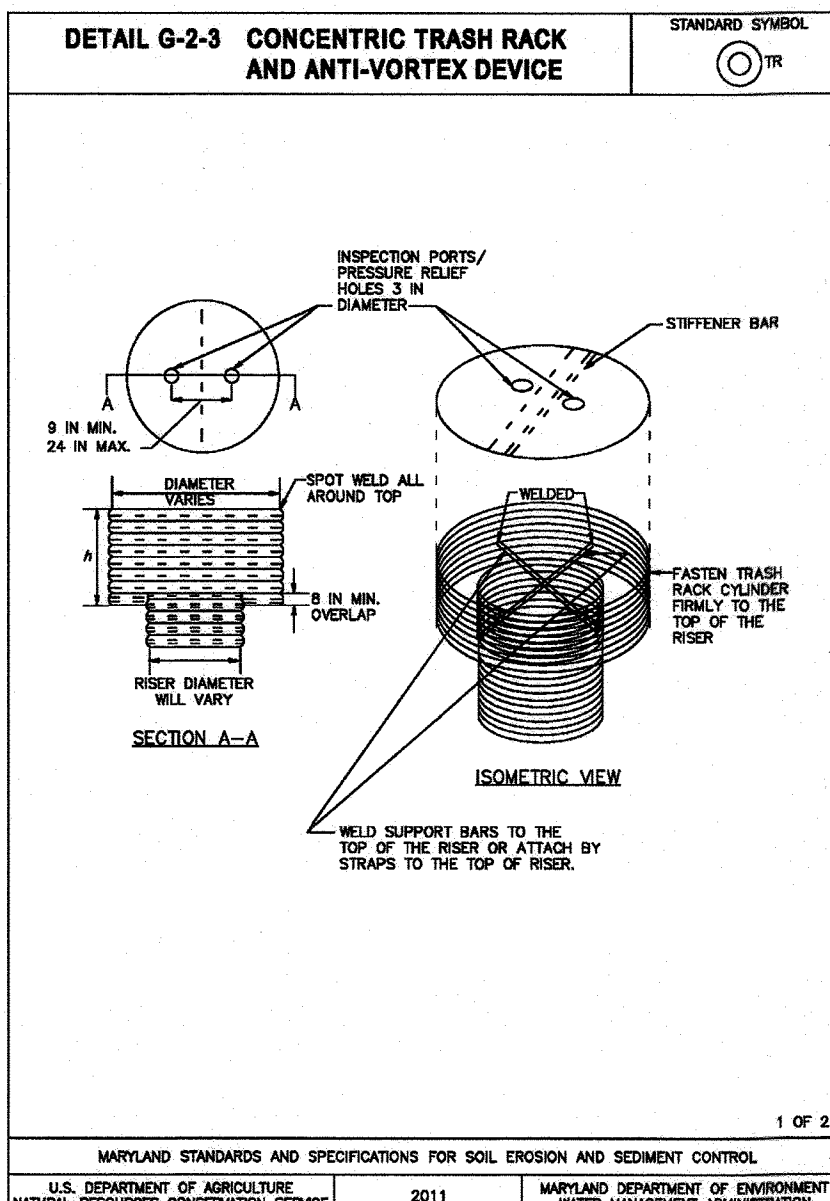
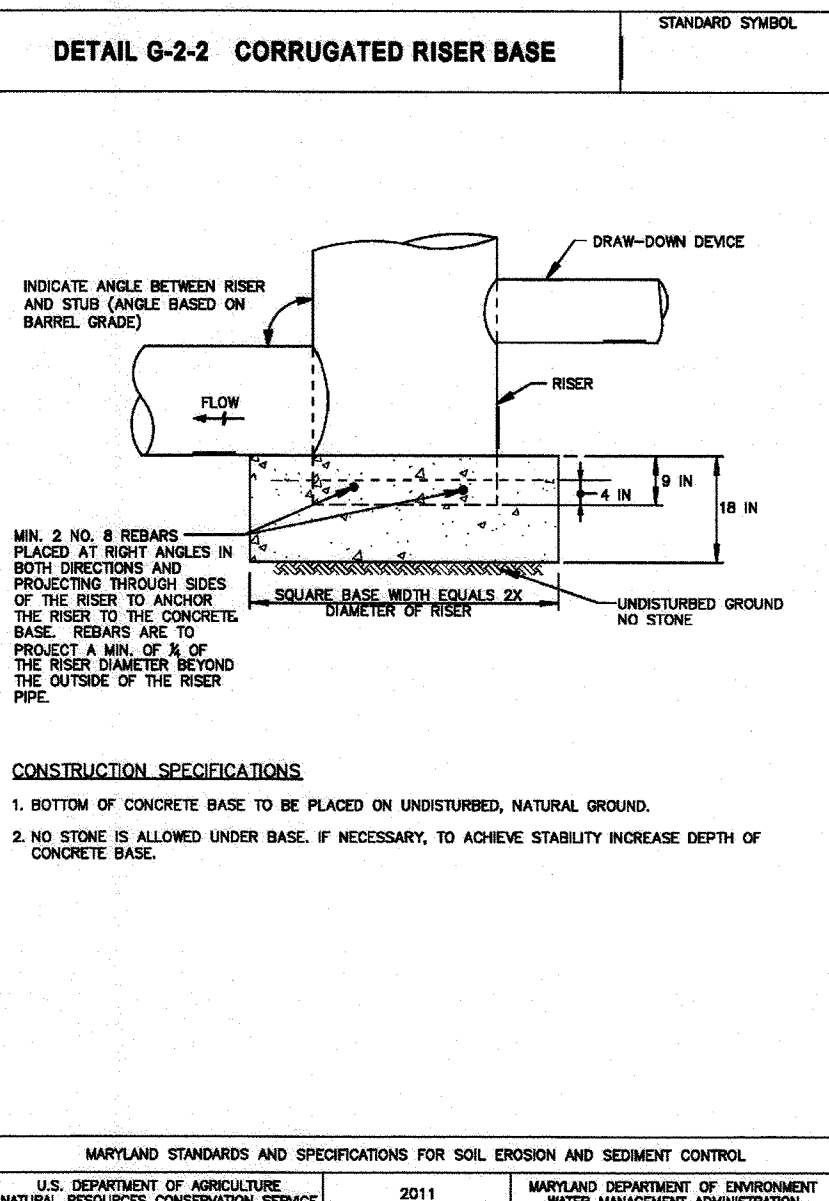
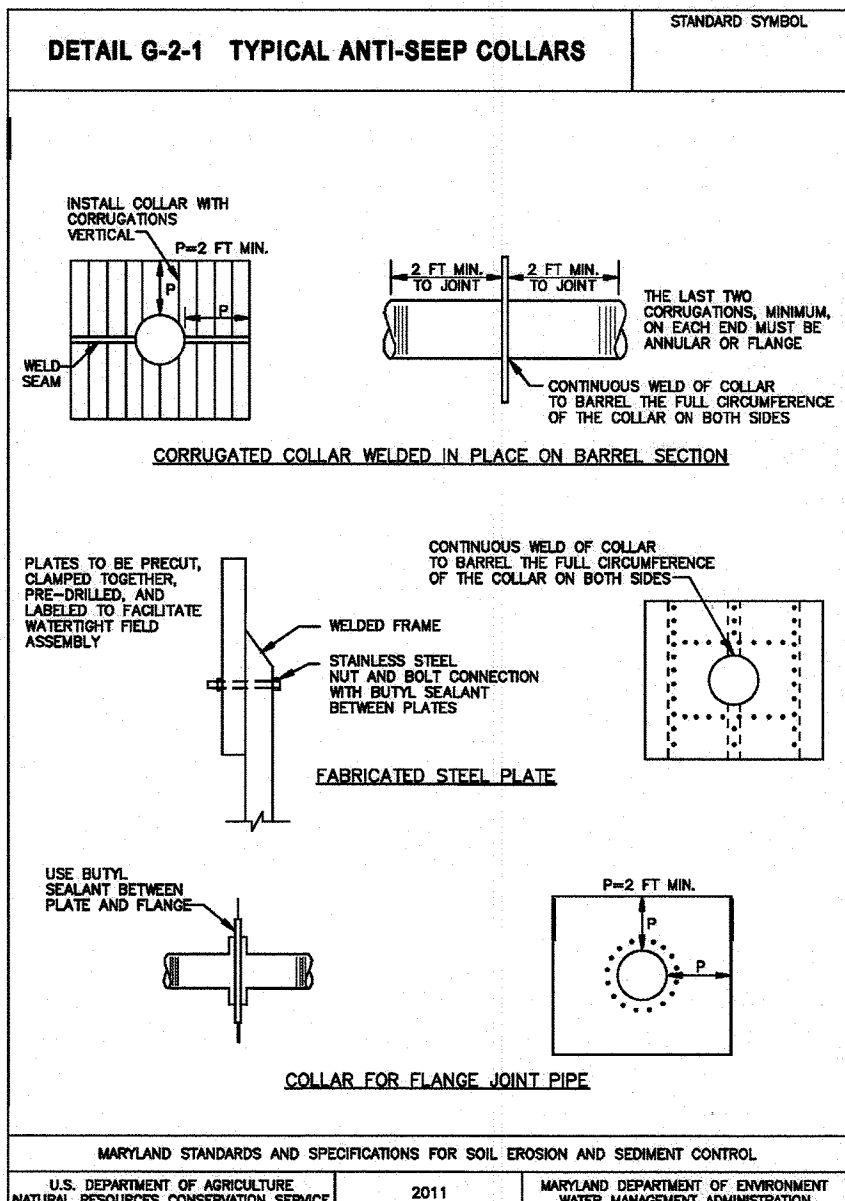
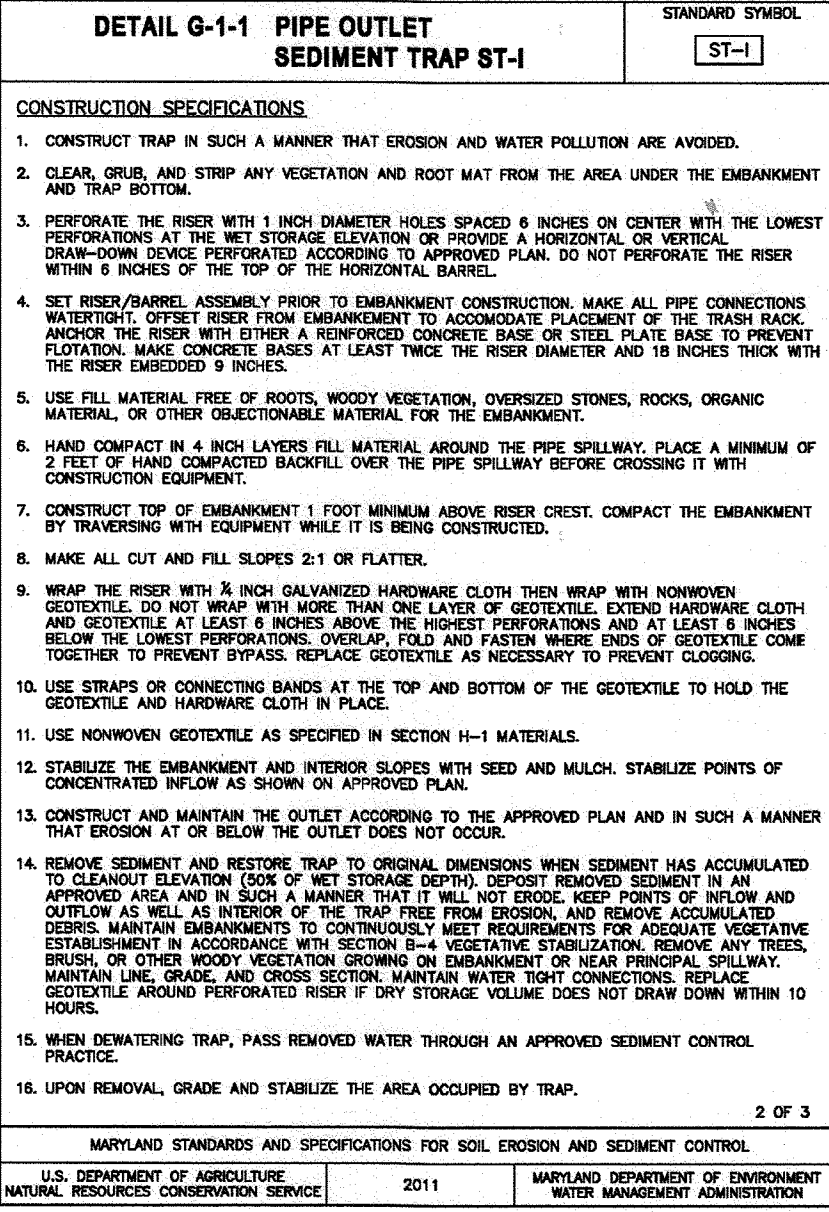
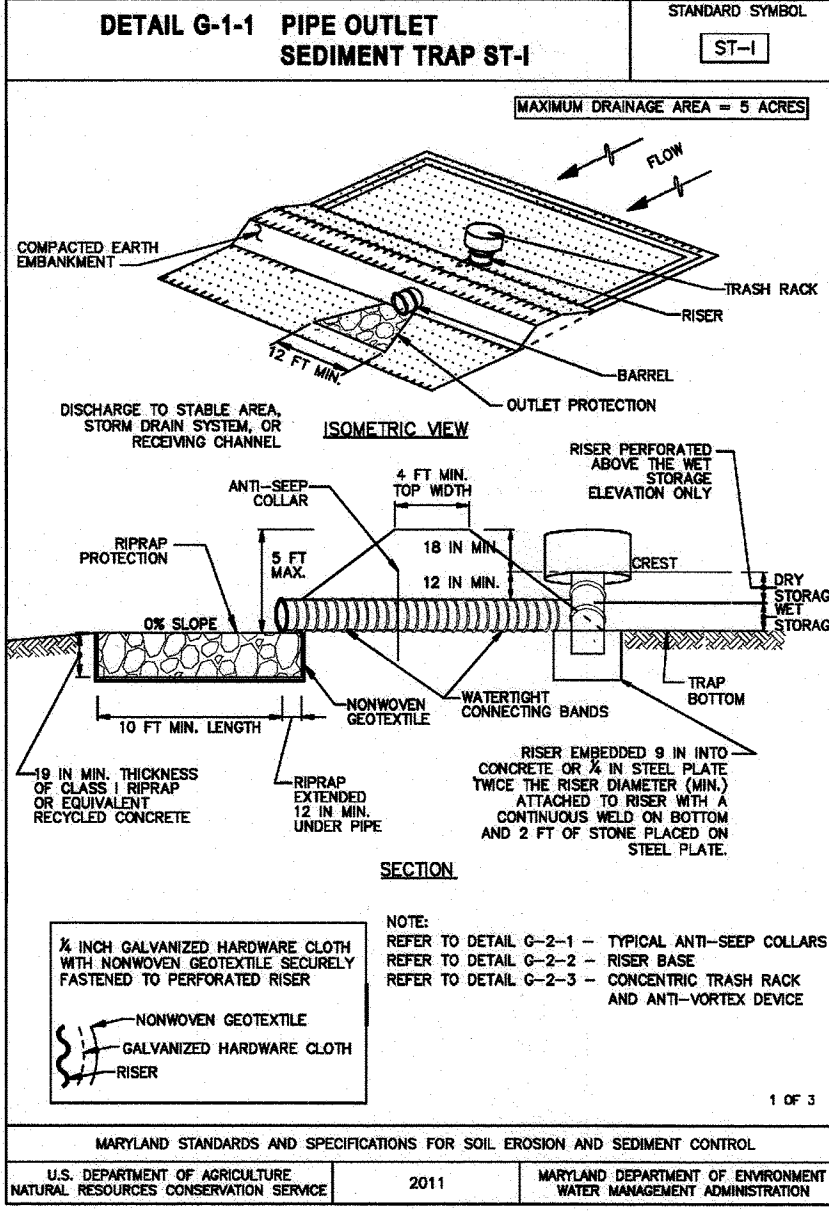
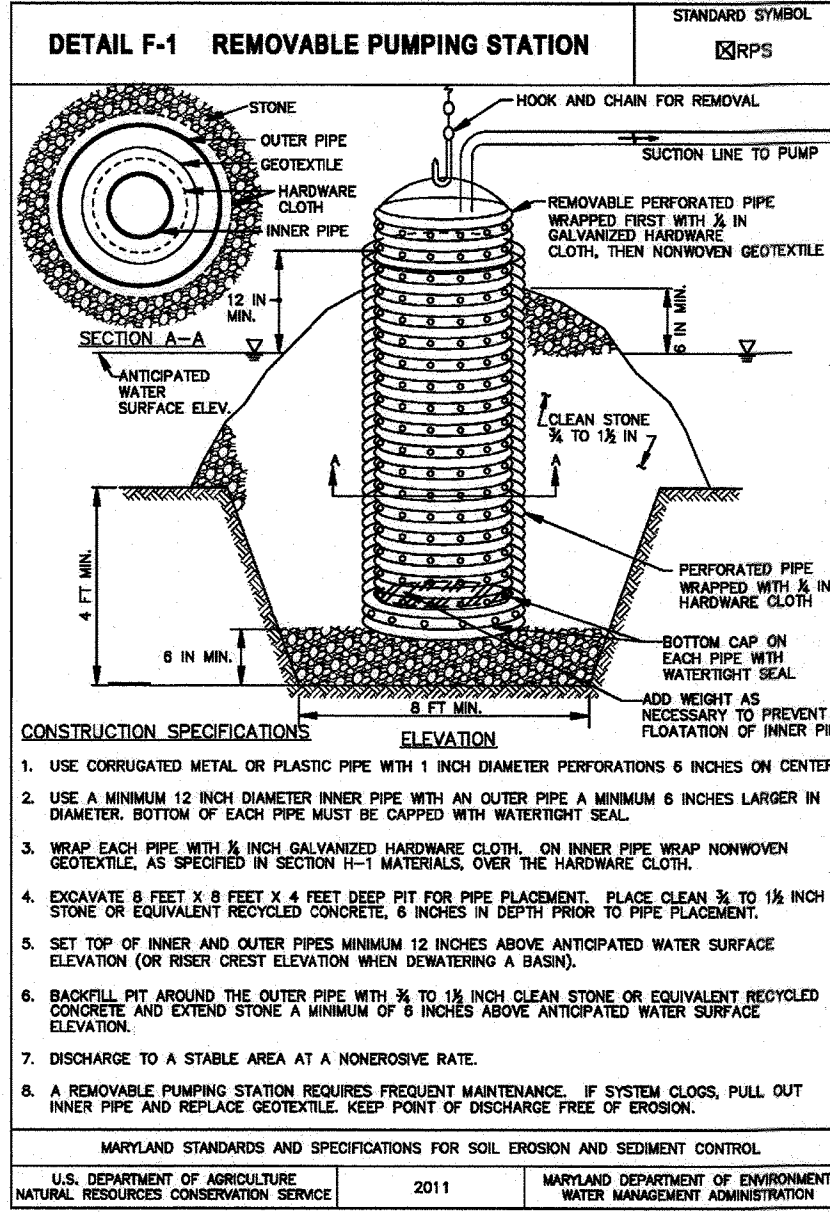
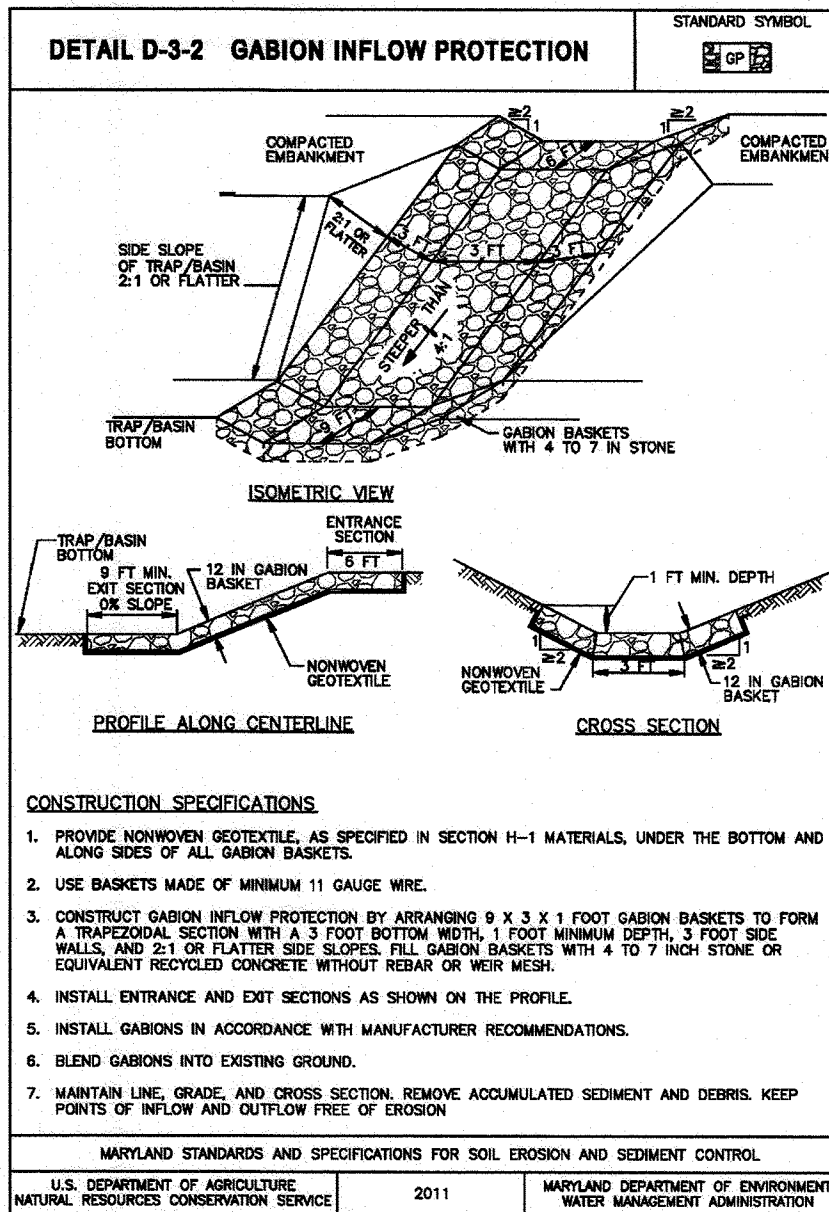
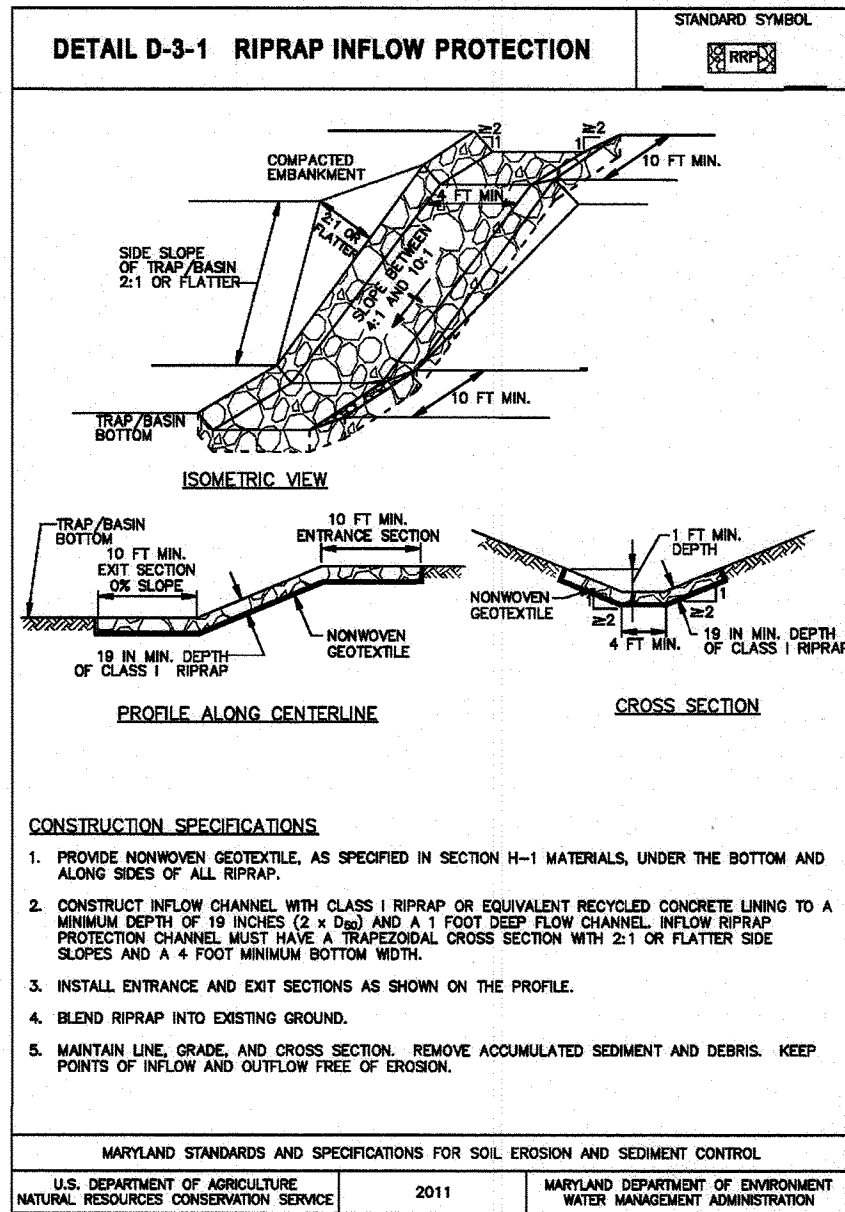
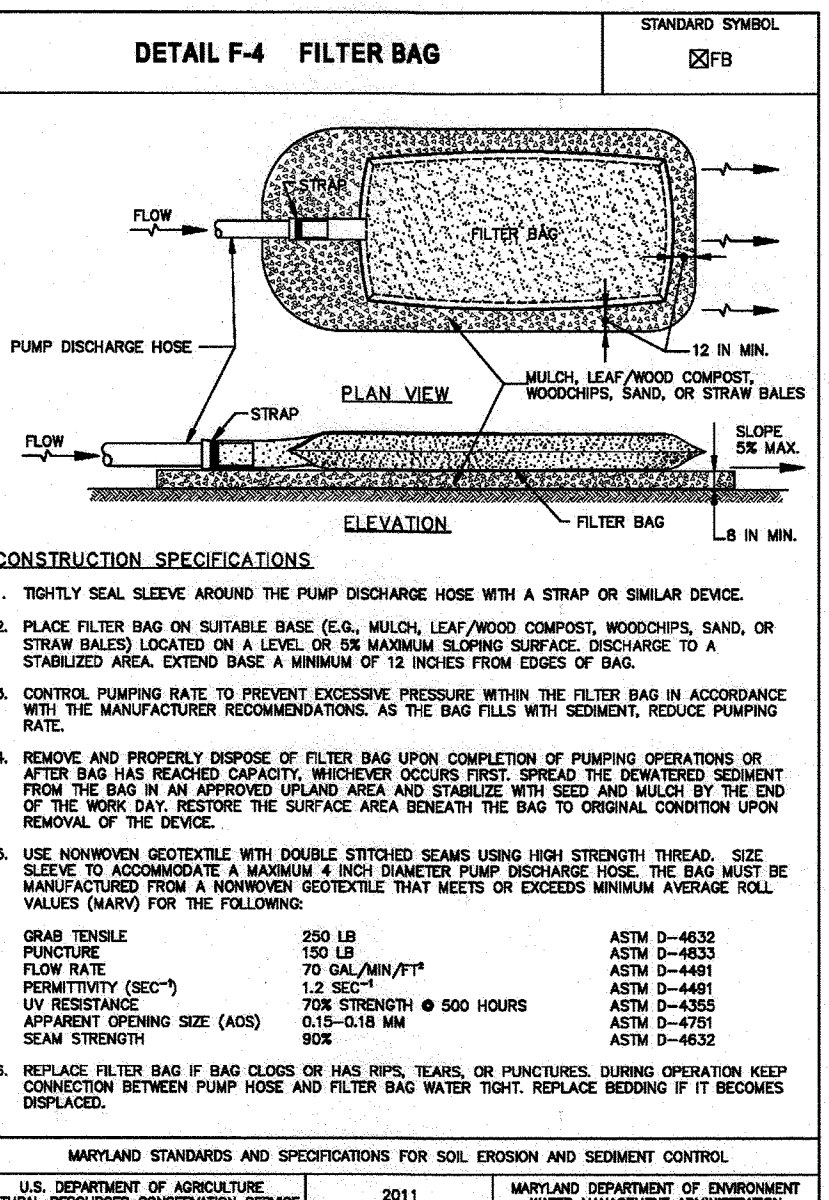
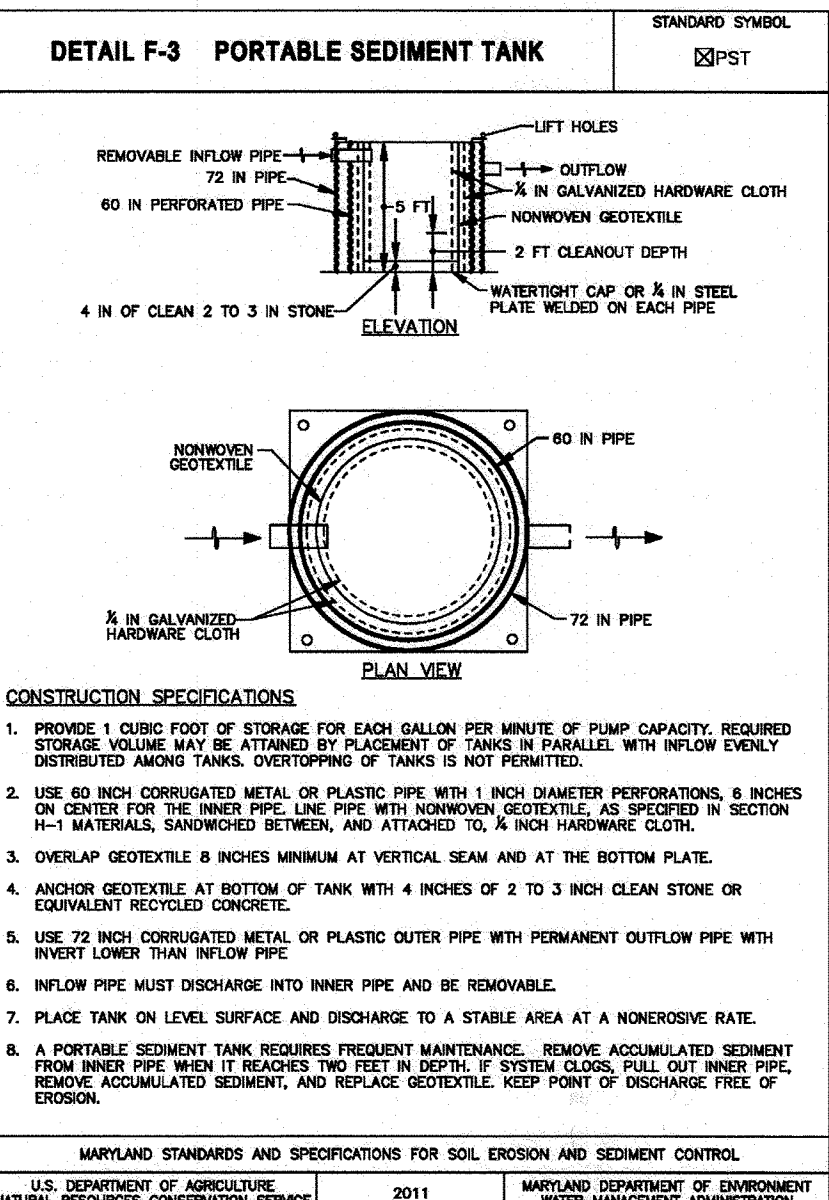
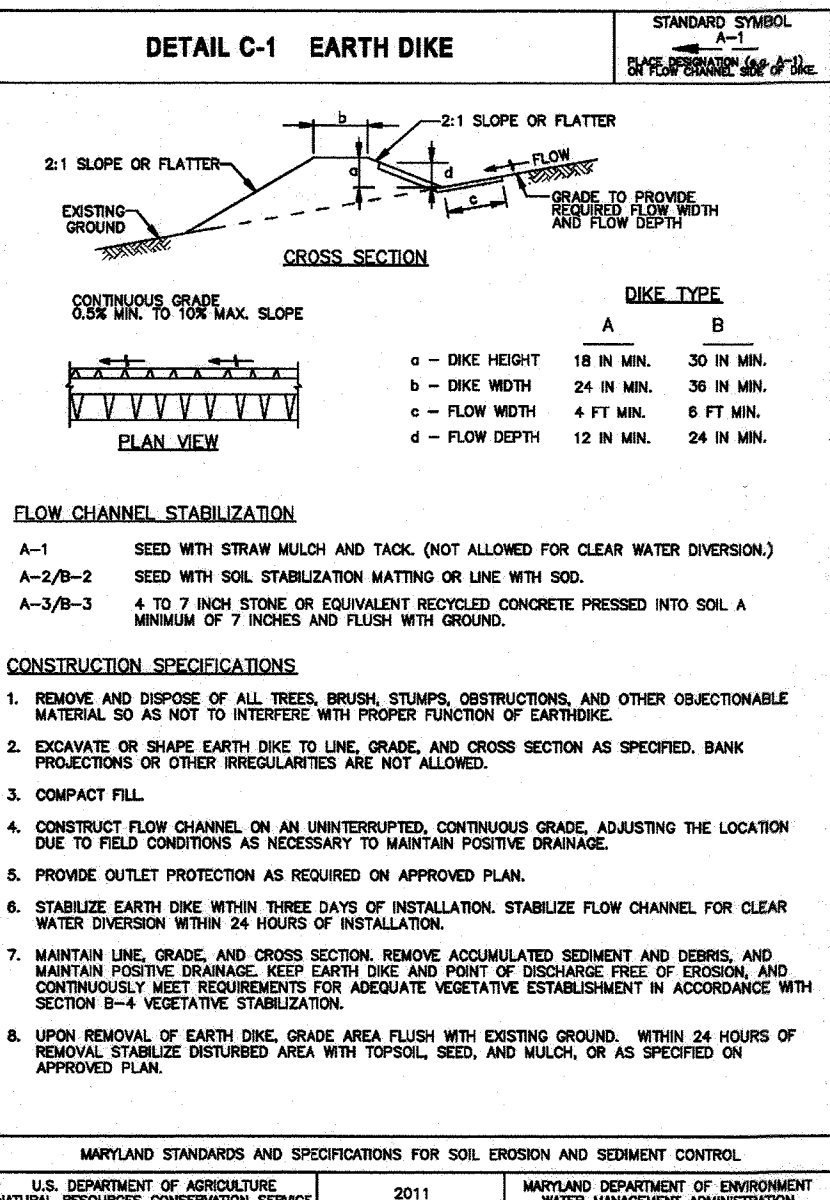
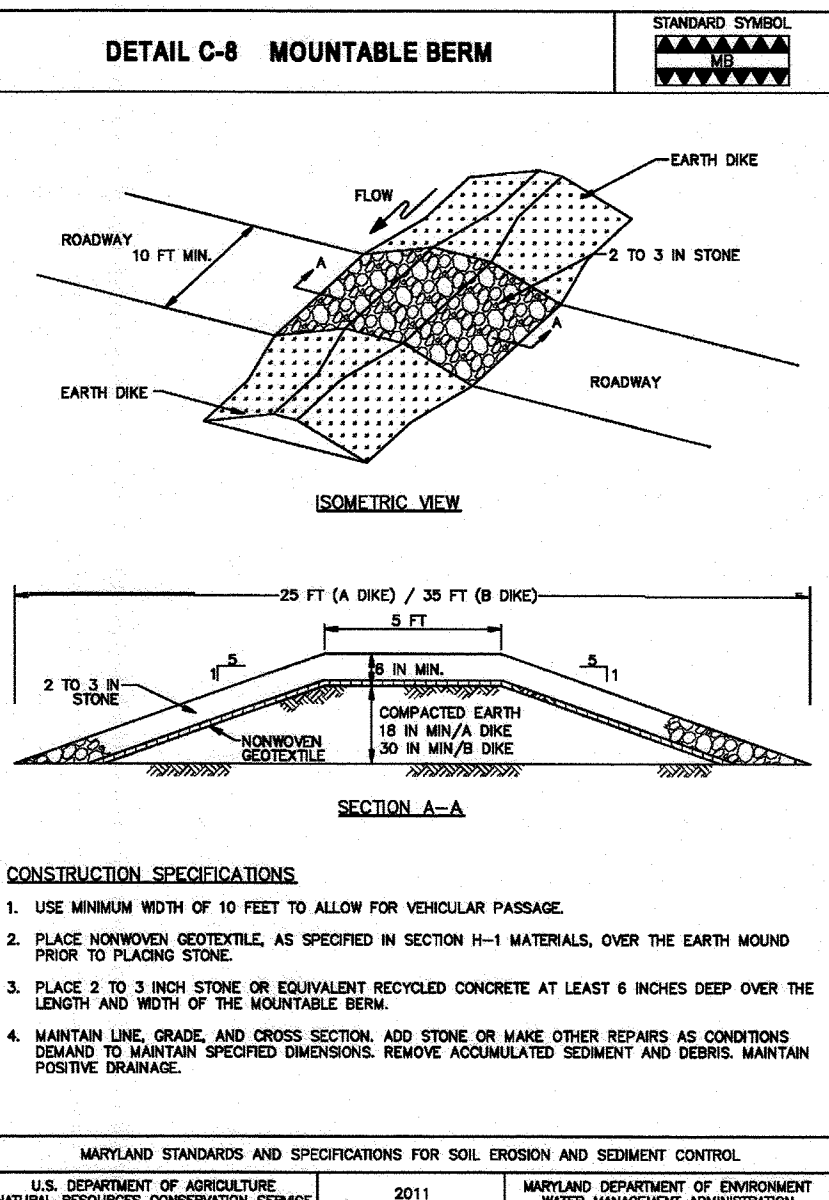
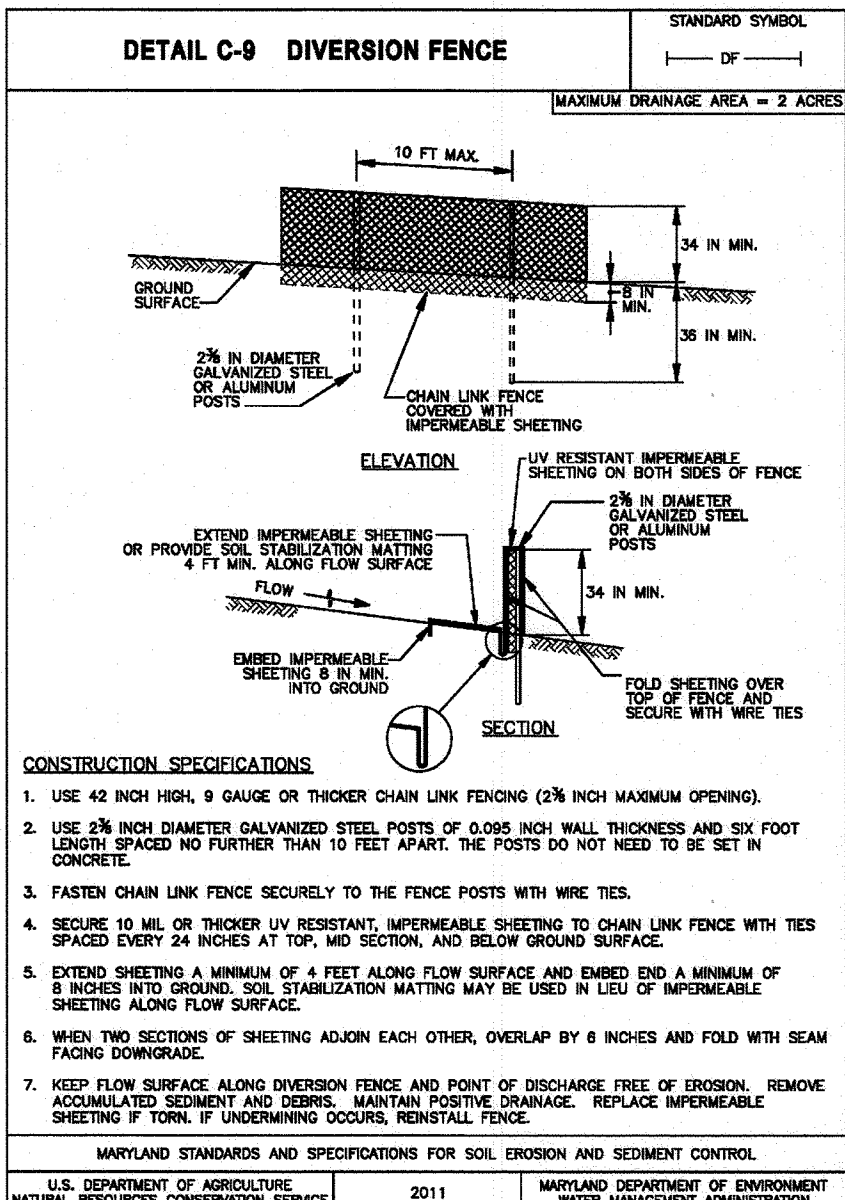
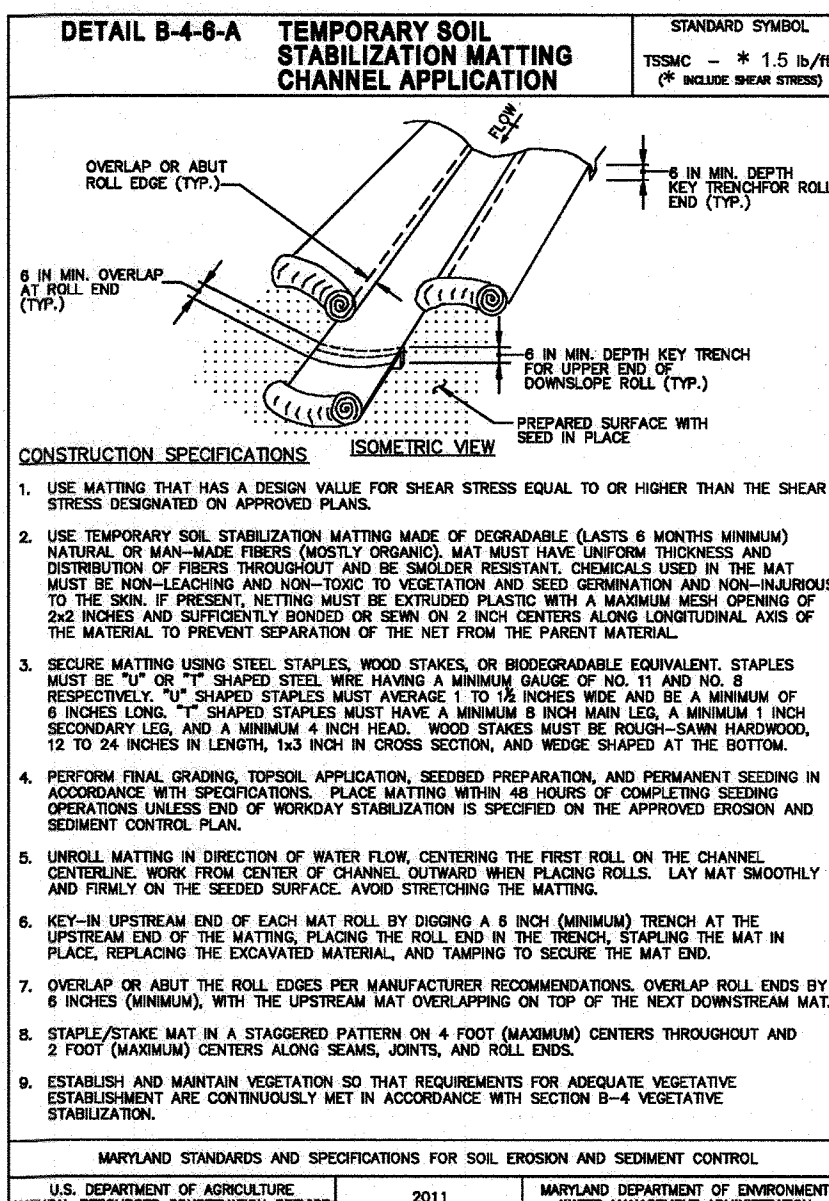
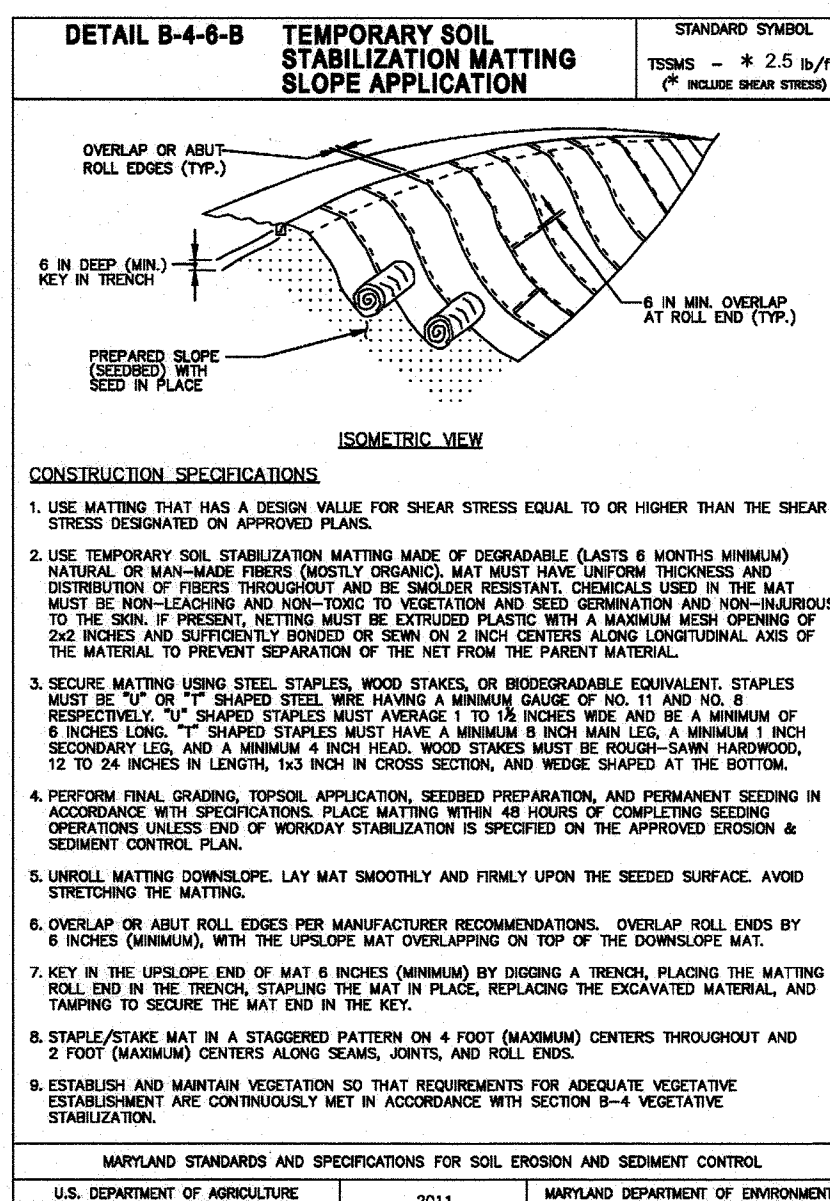
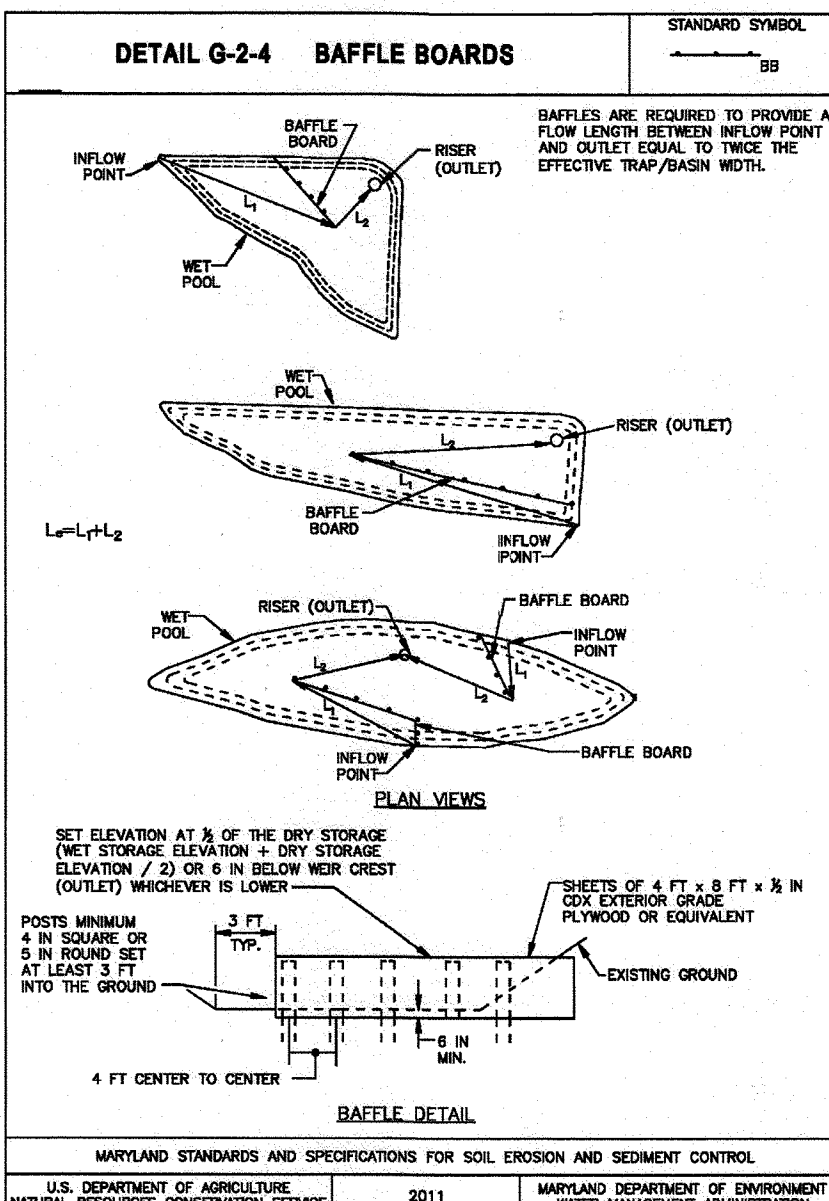
DESIGN CERTIFICATION: THIS PLAN HAS BEEN DESIGNED IN ACCORDANCE WITH CURRENT MARYLAND EROSION AND SEDIMENT CONTROL LAWS, REGULATIONS, AND STANDARDS. THAT IT REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON THE INFORMATION PROVIDED BY THE CLIENT AND THE DESIGNER'S VISUAL SURVEY OF THE SITE.
 DATE: 9/16/24

DESIGN CERTIFICATION: THIS PLAN HAS BEEN DESIGNED IN ACCORDANCE WITH CURRENT MARYLAND EROSION AND SEDIMENT CONTROL LAWS, REGULATIONS, AND STANDARDS. THAT IT REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON THE INFORMATION PROVIDED BY THE CLIENT AND THE DESIGNER'S VISUAL SURVEY OF THE SITE.
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 DATE: 9/16/24

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 DATE: 9/16/24

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
 DATE: 9/16/24
 DATE: 9/16/24
 DATE: 9/20/24

OWNER/DEVELOPER CERTIFICATION:
 I HEREBY CERTIFY THAT ANY CLEARING, CONSTRUCTION, OR DEVELOPMENT WILL BE DONE PURSUANT TO THIS GRADING, EROSION AND SEDIMENT CONTROL PLAN, INCLUDING INSPECTING AND MAINTAINING CONTROLS, AND THAT ALL RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF TRAINING AT A MARYLAND DEPARTMENT OF THE ENVIRONMENT (MDE) APPROVED TRAINING PROGRAM FOR THE CONTROL OF EROSION AND SEDIMENT PRIOR TO BEGINNING THE PROJECT. I CERTIFY RIGHT-OF-WAY FOR PERIODIC ON-SITE EVALUATION BY HOWARD COUNTY, THE HOWARD COUNTY CONSERVATION DISTRICT AND/OR MDE.

DESIGN CERTIFICATION:
 I HEREBY CERTIFY THAT THIS PLAN HAS BEEN DESIGNED IN ACCORDANCE WITH CURRENT MARYLAND EROSION AND SEDIMENT CONTROL LAWS, REGULATIONS, AND STANDARDS, THAT IT REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE, AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

THIS PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

PARCEL C-5 OWNER: BEAZER HOMES, LLC. OWNER: TRIPLE BELL FARMS, LLC. OWNER/DEVELOPER: 2008B DELAWARE, INC.

REVISED SITE DEVELOPMENT PLAN
 SEDIMENT AND EROSION CONTROL
 NOTES & DETAILS
 PADDOCK POINTE - PHASE 3A
 (FORMERLY KNOWN AS LAUREL PARK STATION)

TAX MAP: 50 BLOCK: 10
 6TH ELECTION DISTRICT

ZONED: TOD

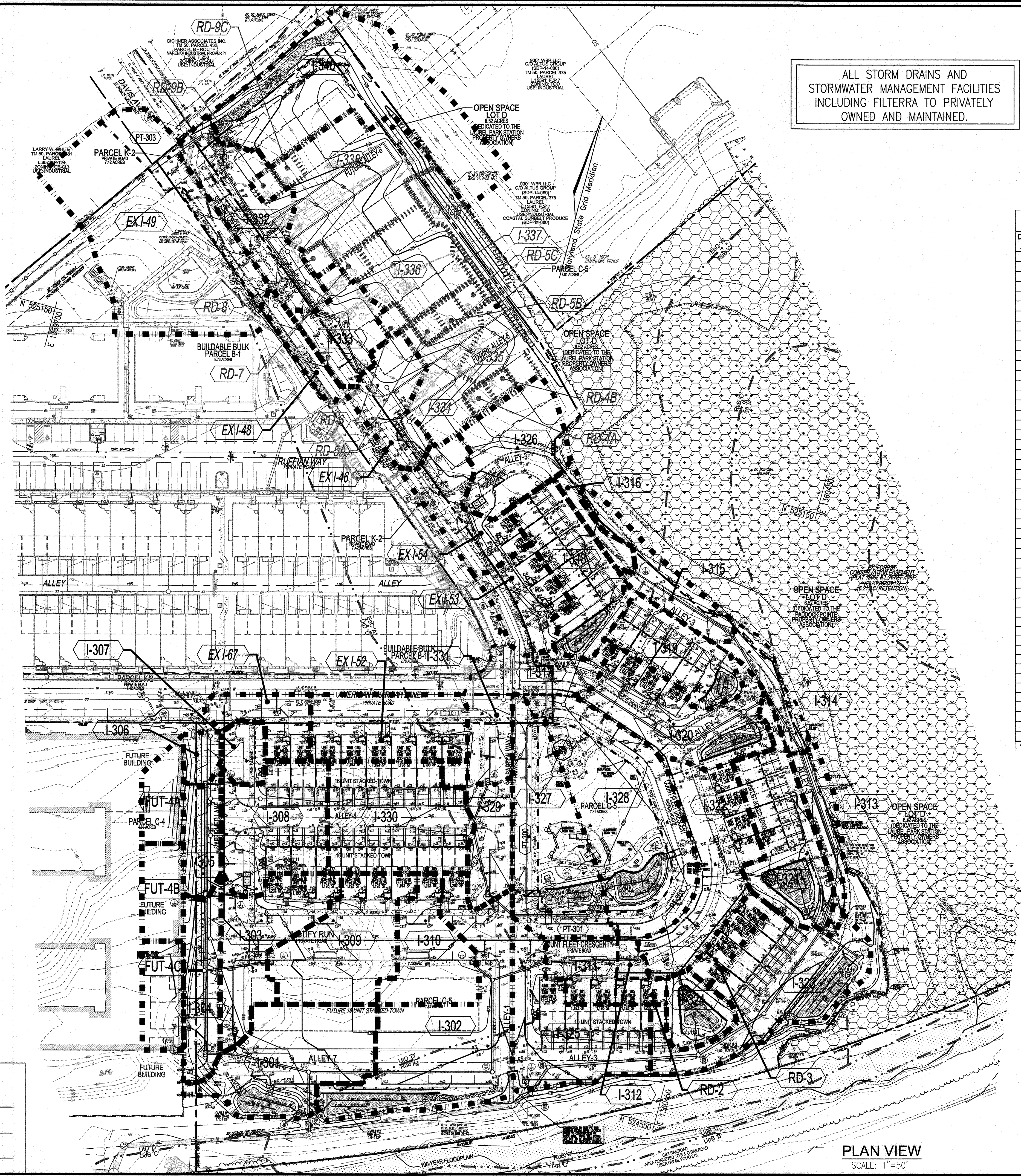
HOWARD COUNTY, MARYLAND

VOGEL ENGINEERING
 3300 NORTH RIDGE ROAD, SUITE 110, ELLICOTT CITY, MD 21143
 P: 410.461.7666 F: 410.461.8961 www.timmons.com

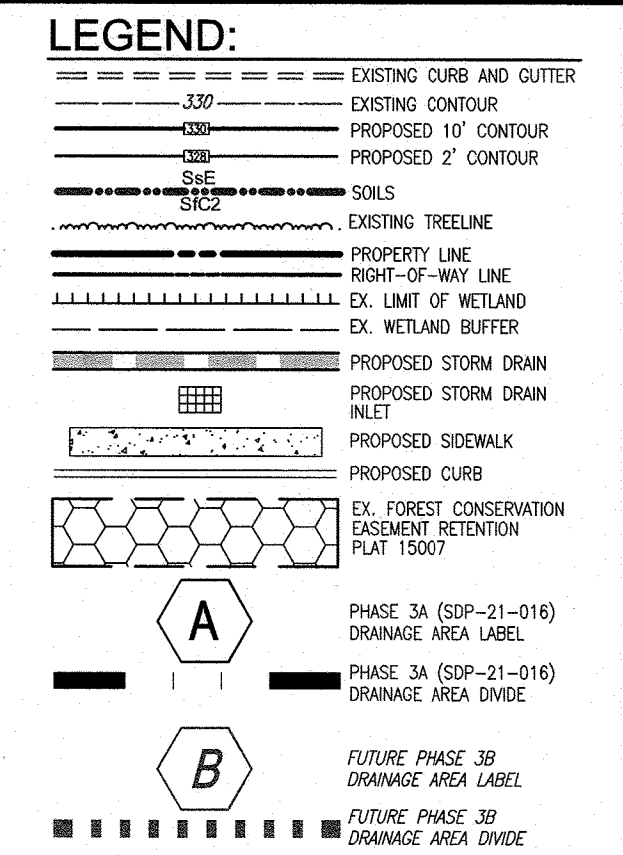
TIMMONS GROUP
 PROFESSIONAL ENGINEER

DESIGN BY: DZE/RHV
 DRAWN BY: DZE/JR
 CHECKED BY: RHV
 DATE: MAY 2024
 SCALE: AS SHOWN
 W.O. NO.: 07-11/40111

12 SHEET OF 40



ALL STORM DRAINS AND STORMWATER MANAGEMENT FACILITIES INCLUDING FILTERRA TO PRIVATELY OWNED AND MAINTAINED.



SD Drainage Area Chart (PH-3A SDP-21-016)

DRAINAGE AREA NO	DRAINAGE AREA (AC)	C FACTOR	IMP %
I-301	0.29	0.74	81%
I-302	0.44	0.62	62%
I-303	0.22	0.69	72%
I-304	0.14	0.64	65%
I-305	0.09	0.55	50%
I-306	0.04	0.53	47%
I-307	0.05	0.62	60%
I-308	0.25	0.75	82%
I-309	0.27	0.75	82%
I-310	0.17	0.74	80%
I-311	0.09	0.74	82%
I-312	0.02	0.65	68%
I-313	0.08	0.55	50%
I-314	0.07	0.48	41%
I-315	0.12	0.41	36%
I-316	0.04	0.57	61%
I-317	0.11	0.66	73%
I-318	0.21	0.63	69%
I-319	0.16	0.69	74%
I-320	0.25	0.63	65%
I-321	0.24	0.59	60%
I-322	0.26	0.62	64%
I-323	0.33	0.64	67%
I-324	0.08	0.19	0%
I-325	0.28	0.74	81%
I-326	0.21	0.53	55%
I-327	0.32	0.55	54%
I-328	0.45	0.48	43%
I-329	0.12	0.64	66%
I-330	0.31	0.82	94%
I-331	0.08	0.63	67%
I-332	0.22	0.61	66%
I-333	0.13	0.63	68%
I-340*	0.00	0.67	0%
RD-2	0.03	0.86	100%
RD-3	0.05	0.86	100%
EX I-46	0.13	0.67	75%
EX I-48	0.05	0.81	93%
EX I-49*	0.63	0.47	44%
EX I-52	0.22	0.73	81%
EX I-53	0.12	0.62	68%
EX I-54	0.15	0.63	68%
I-67	0.10	0.75	82%
FUT-4A	0.08	0.86	100%
FUT-4B	0.08	0.86	100%
FUT-4C	0.09	0.86	100%
PT-300	0.10	0.73	79%
PT-301	0.06	0.74	80%
PT-302	0.19	0.72	77%
PT-303*	0.13	0.76	55%

* INCLUDES ADJACENT INDUSTRIAL AREA

SD Drainage Area Chart (FUTURE PH-3B)

DRAINAGE AREA NO	DRAINAGE AREA (AC)	C FACTOR	IMP %
I-334	0.12	0.80	91%
I-335	0.08	0.73	83%
I-336	0.16	0.59	64%
I-337	0.01	0.12	0%
I-338	0.29	0.72	81%
I-339	0.09	0.12	0%
RD-4A	0.01	0.86	100%
RD-4B	0.01	0.86	100%
RD-5A	0.01	0.86	100%
RD-5B	0.01	0.86	100%
RD-5C	0.01	0.86	100%
RD-6	0.01	0.86	100%
RD-7	0.01	0.86	100%
RD-8	0.01	0.86	100%
RD-9B	0.01	0.86	100%
RD-9C	0.01	0.86	100%

* INCLUDES ADJACENT INDUSTRIAL AREA

PARCEL C-5 OWNER BEAZER HOMES, LLC
 6085 MARSHALEE DRIVE, SUITE 350
 ELKRIE, MD 21075
 443-539-8249

OWNER TRIPLE BELL FARMS, LLC
 198 LAUREL RACE TRACK RD
 LAUREL, MD 20725
 (301) 470-5494

OWNER/DEVELOPER 72006 DELAWARE, INC.
 198 LAUREL RACE TRACK RD
 LAUREL, MD 20725
 (301) 470-5494

NO.	REVISION	DATE
2	REVISE PLAN TO SHOW NEW ARCHITECTURE FOR UNITS 172 - 222; REVISE W&S HOUSE CONNECTIONS; REMOVE APARTMENT BUILDINGS 7-9	04/10/24
1	REVISE PLAN FOR BUILDING ARCHITECTURE (UNITS 157-171 & 223-232); AND REVISE W&S HOUSE CONNECTIONS	12/19/23

REVISED SITE DEVELOPMENT PLAN
STORM DRAIN DRAINAGE AREA MAP
 PADDOCK POINTE - PHASE 3A
 (FORMERLY KNOWN AS LAUREL PARK STATION)
 76 STACKED TOWN UNITS
 PARCELS C-5 & K-2
 ZONED: T00

TAX MAP: 50 BLOCK: 10
 6TH ELECTION DISTRICT

VOGEL ENGINEERING
 (Logo)
TIMMONS GROUP
 3300 NORTH RIDGE ROAD, SUITE 110, ELLICOTT CITY, MD 21043
 P: 410.461.7666 F: 410.461.8961 www.timmons.com

PROFESSIONAL CERTIFICATE

DESIGN BY: DZE/RHV
 DRAWN BY: DZE/JR
 CHECKED BY: RHV
 DATE: MAY 2024
 SCALE: AS SHOWN
 W.O. NO.: 07-11/40111

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 16193, EXPIRATION DATE: 09-27-2024

ROBERT H. VOGEL, PE No. 16193

13 SHEET OF 40

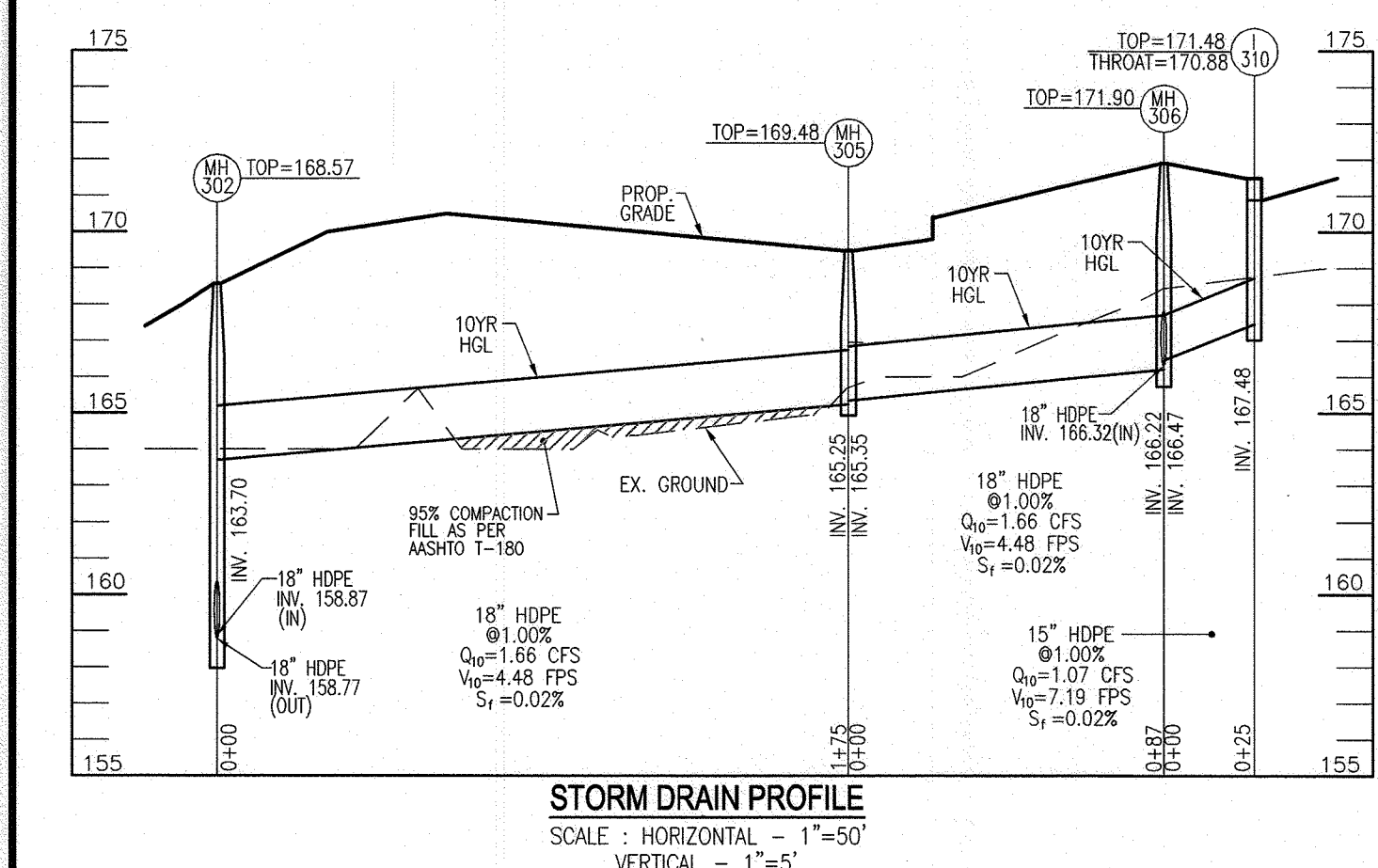
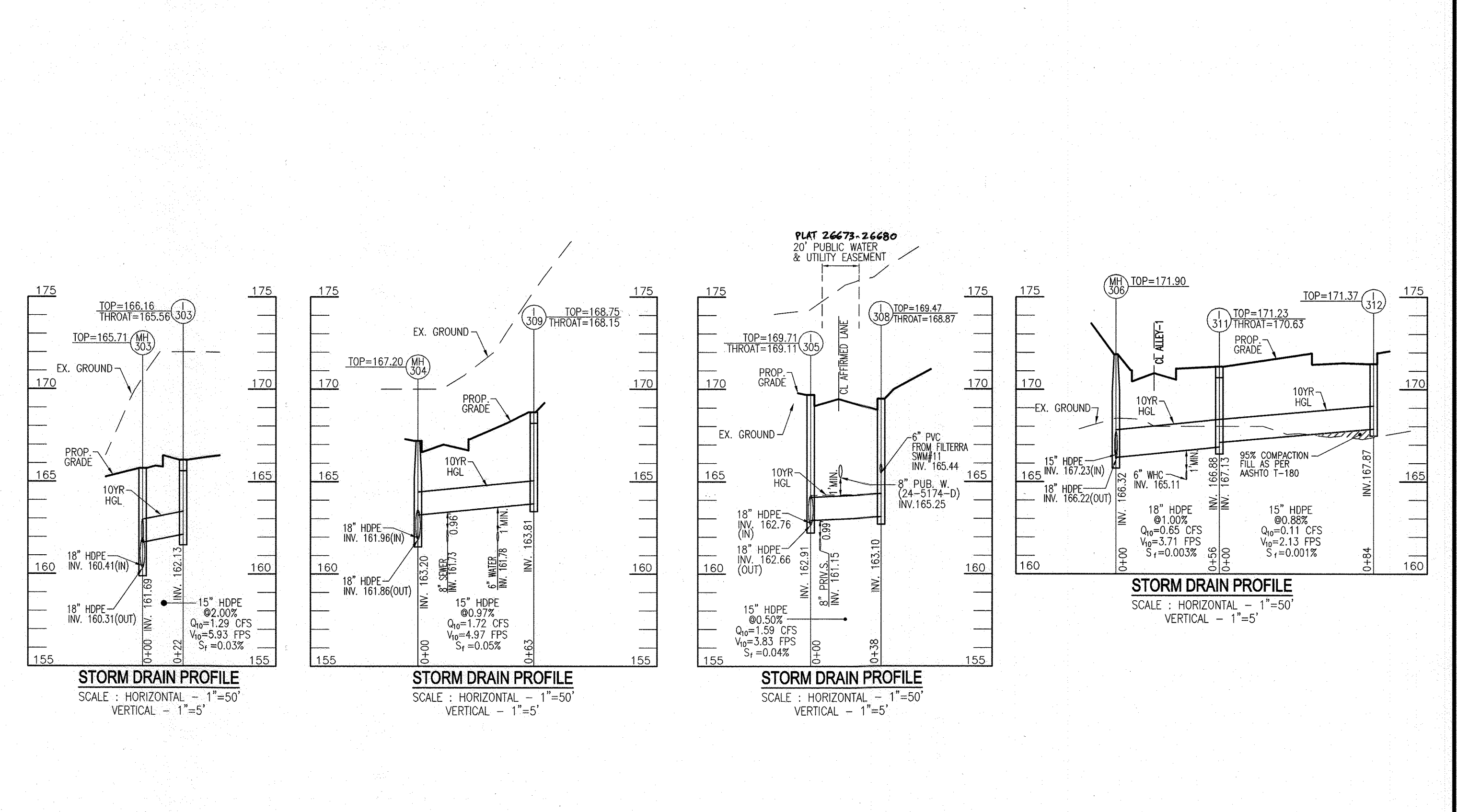
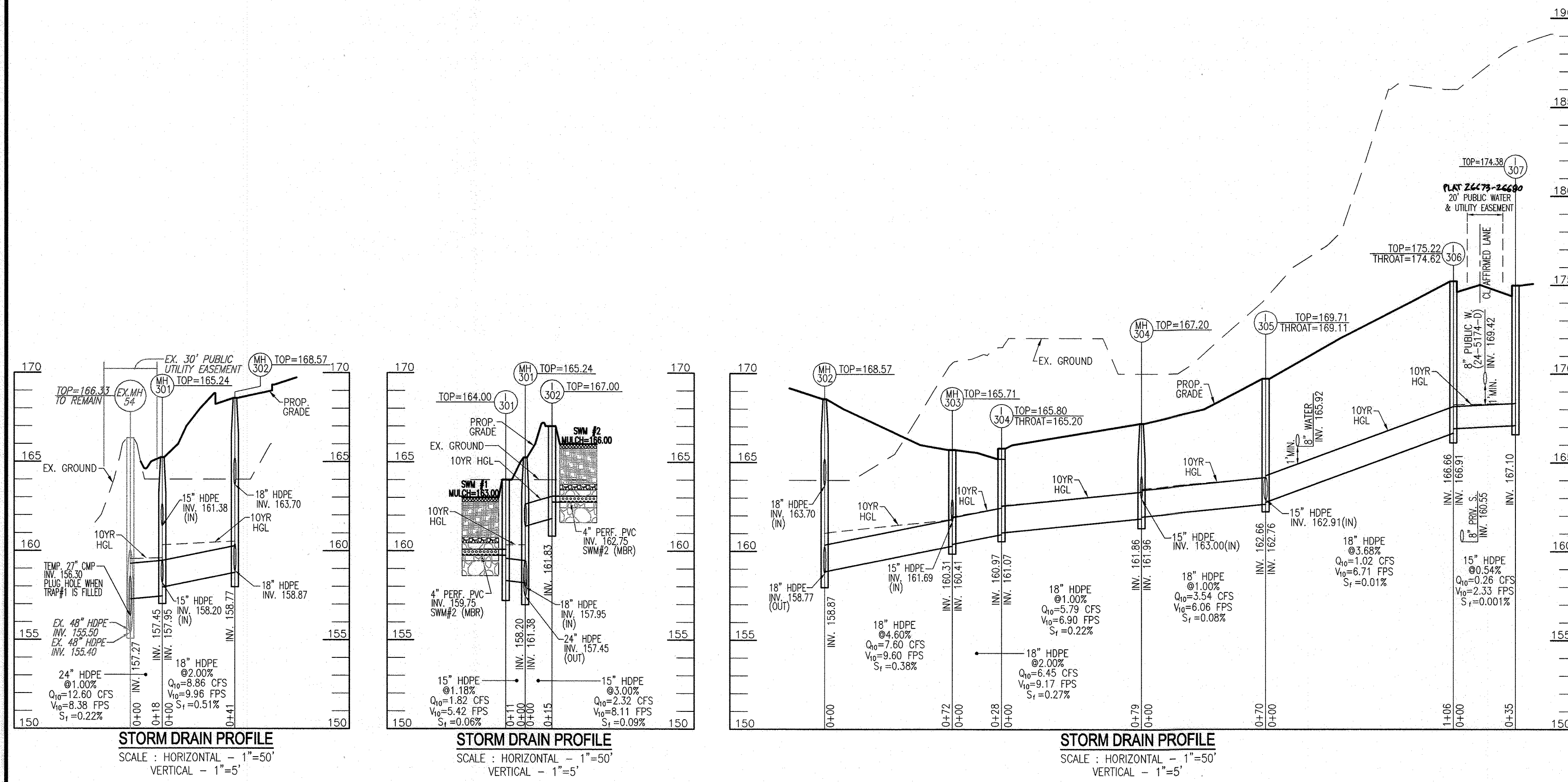
APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

Al Chubb
 CHIEF, DEVELOPMENT ENGINEERING DIVISION
 DATE: 9/16/24

Anna Sauer
 CHIEF, DIVISION OF LAND DEVELOPMENT
 DATE: 9/14/24

Wm. Eschberg
 DIRECTOR
 DATE: 9/30/24

PLAN VIEW
 SCALE: 1"=50'



APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

[Signature] 9/16/24
 CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

[Signature] 9/24/24
 CHIEF, DIVISION OF LAND DEVELOPMENT DATE

[Signature] 9/30/24
 DIRECTOR DATE

SCALE 1"=50'

PARCEL C-5 OWNER: BEAZER HOMES, LLC. 6085 MARSHALEE DRIVE, SUITE 350 ELKRODE, MD 21075 443-539-9249

OWNER: TRIPLE BELL FARMS, LLC. 198 LAUREL RACE TRACK RD LAUREL, MD 20725 (301) 470-5494

OWNER/DEVELOPER: 20006 DELAWARE, INC. 198 LAUREL RACE TRACK RD LAUREL, MD 20725 (301) 470-5494

NO.	REVISION	DATE
2	REVISE PLAN TO SHOW NEW ARCHITECTURE FOR UNITS 172 - 222); REVISE W&S HOUSE CONNECTIONS, REMOVE APARTMENT BUILDINGS 7-9	04/10/24
1	REVISE PLAN FOR BUILDING ARCHITECTURE (UNITS 157-171 & 223-232); AND REVISE W&S-HOUSE CONNECTIONS	12/19/23

REVISED SITE DEVELOPMENT PLAN
 STORM DRAIN PROFILES

PADDOCK POINTE - PHASE 3A
 (FORMERLY KNOWN AS LAUREL PARK STATION)
 16 STACKED TOWNHOMES
 PARCELS C-5 & K-2
 ZONED: TOD

TAX MAP: 50 BLOCK: 10
 6TH ELECTION DISTRICT

PARCEL 384
 HOWARD COUNTY, MARYLAND

VOGEL ENGINEERING
 TIMMONS GROUP

3300 NORTH RIDGE ROAD, SUITE 110, ELLICOTT CITY, MD 211043
 P: 410.461.7666 F: 410.461.8961 www.timmons.com

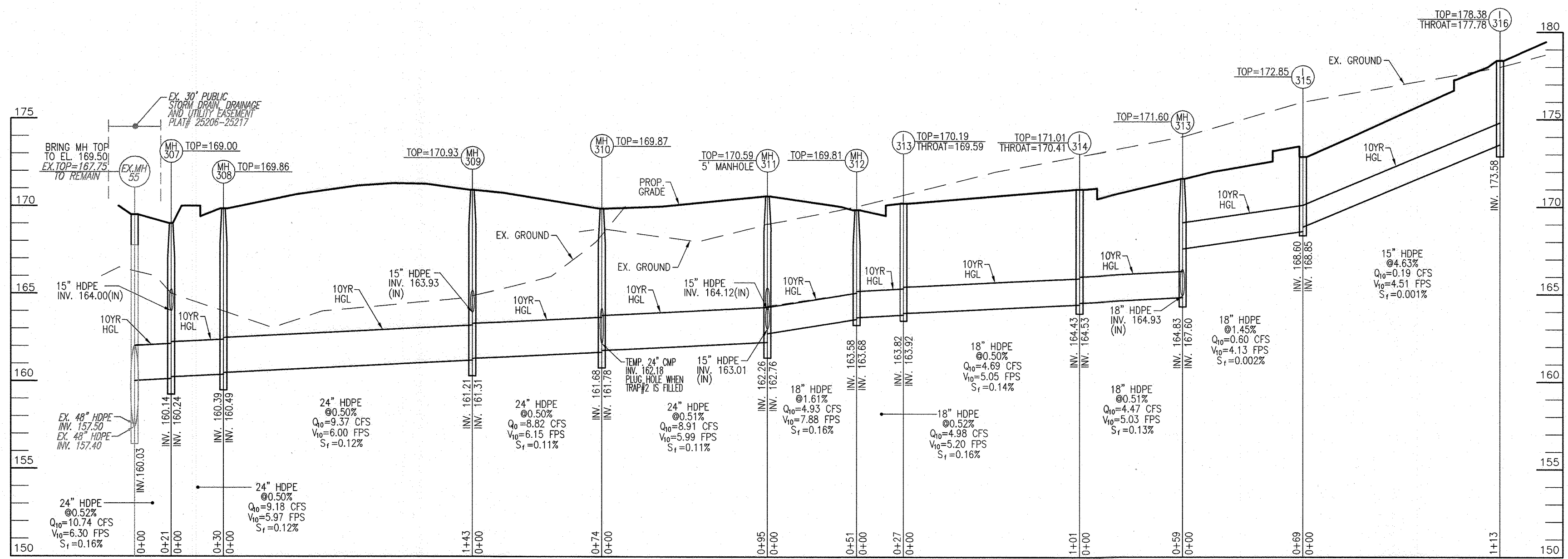
PROFESSIONAL CERTIFICATE

DESIGN BY: DZE/RHV
 DRAWN BY: DZE/JR
 CHECKED BY: RHV
 DATE: MAY 2024
 SCALE: AS SHOWN
 W.O. NO.: 07-11/40111

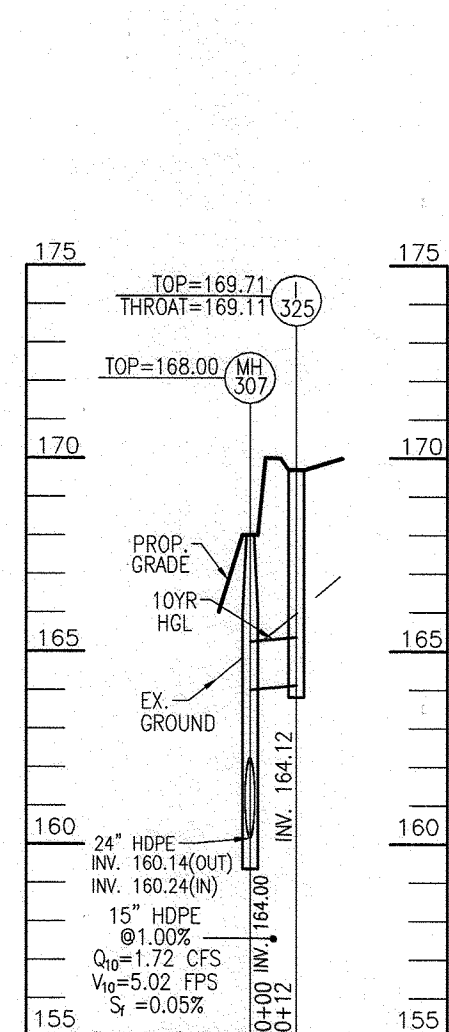
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DAILY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 16193 EXPIRATION DATE: 09-27-2024

14 SHEETS OF 40

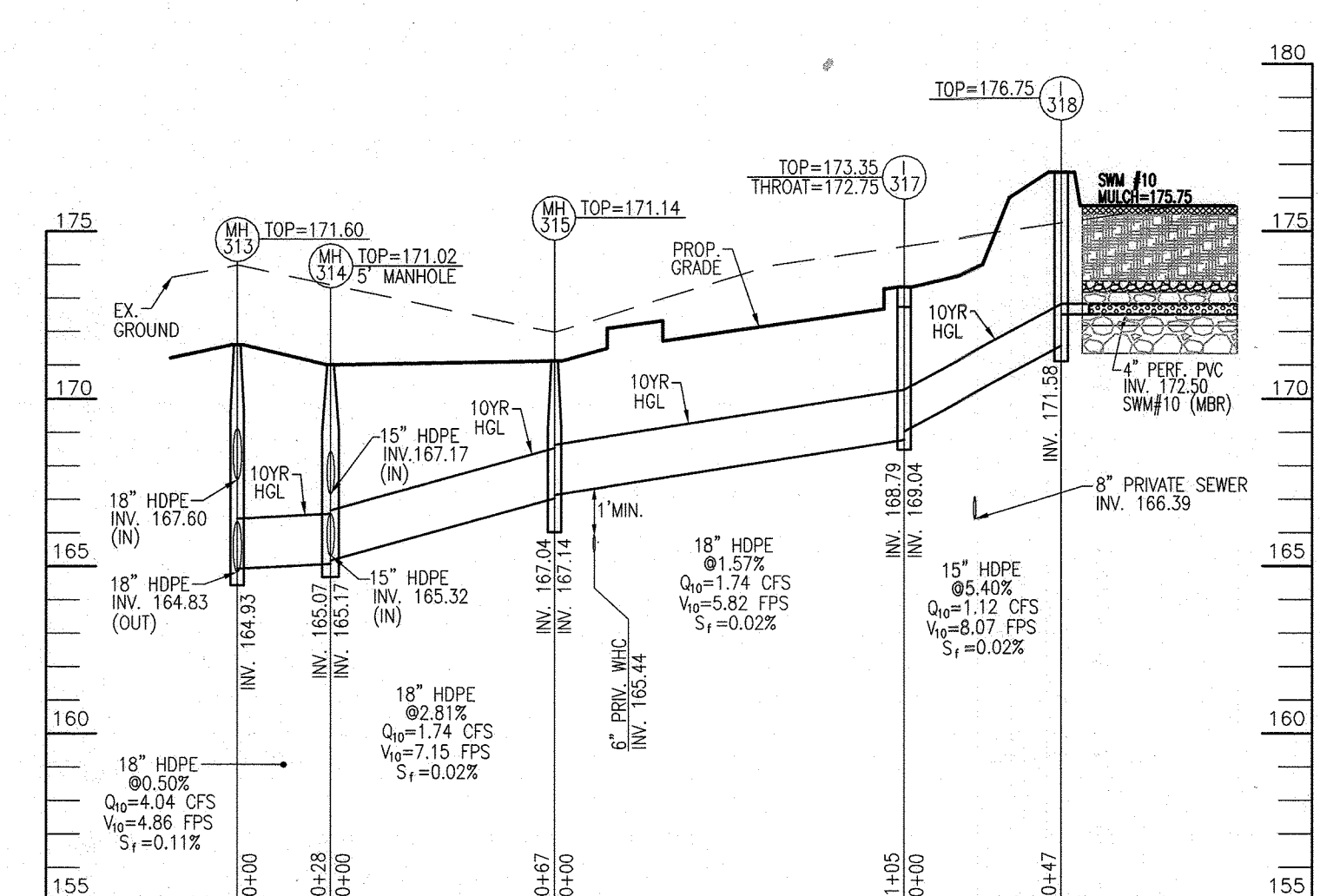
ROBERT H. VOGEL, PE No. 16193



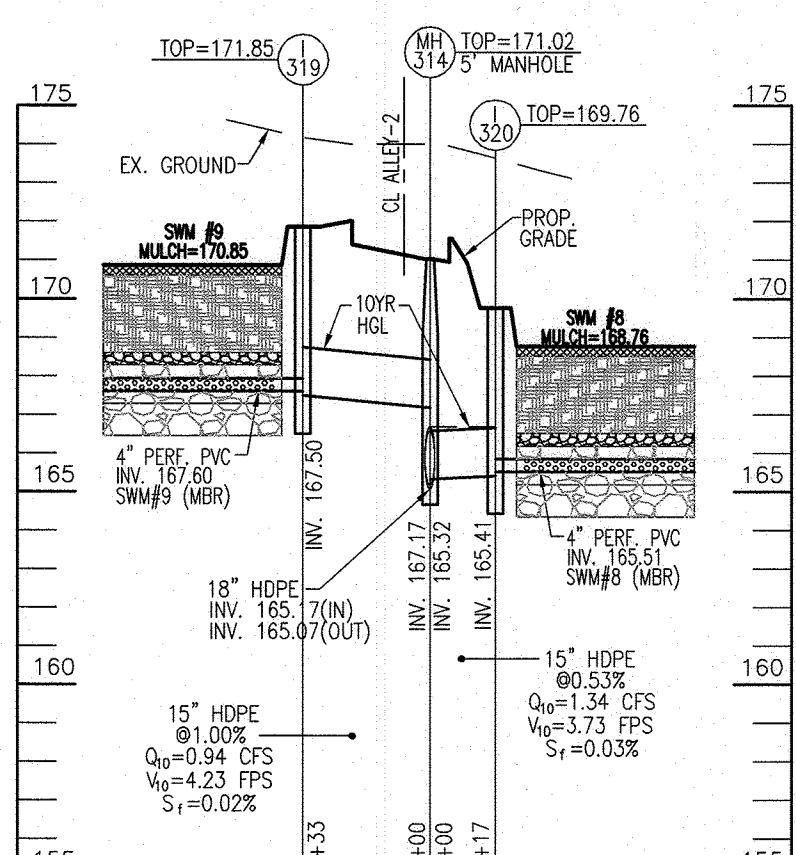
STORM DRAIN PROFILE
SCALE: HORIZONTAL - 1"=50'
VERTICAL - 1"=5'



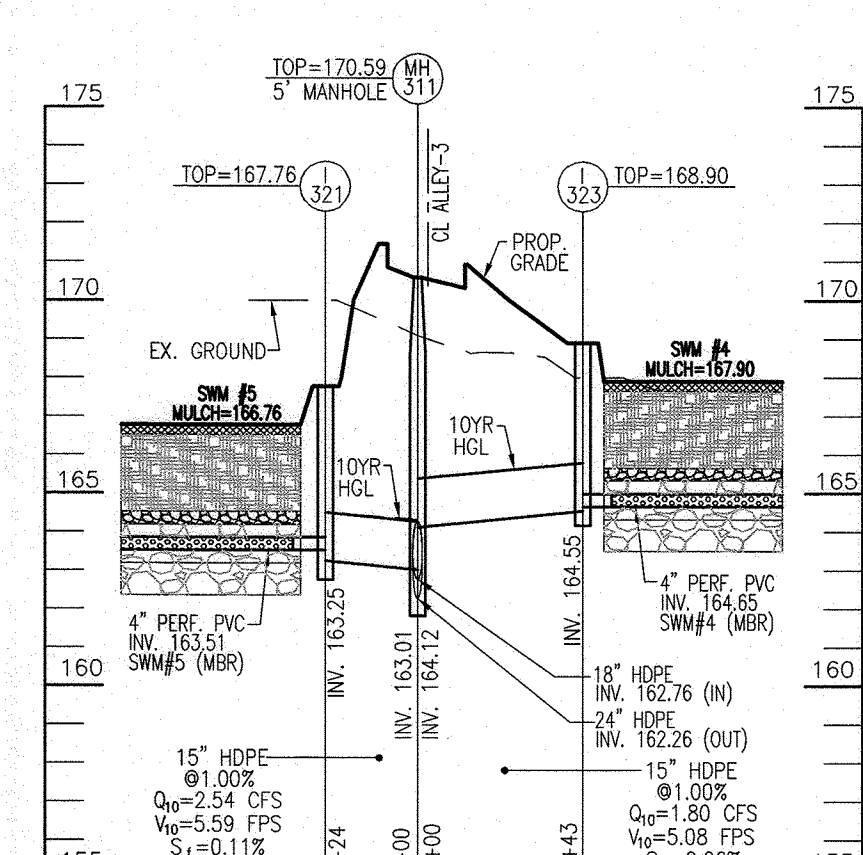
STORM DRAIN PROFILE
SCALE: HORIZONTAL - 1"=50'
VERTICAL - 1"=5'



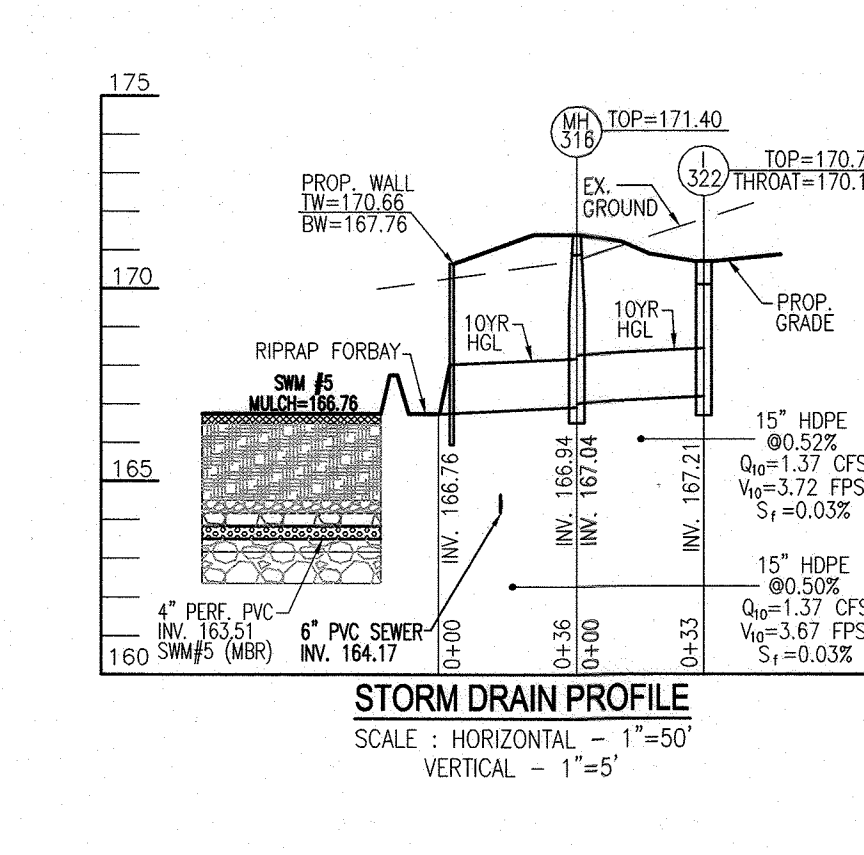
STORM DRAIN PROFILE
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VERTICAL - 1"=5'



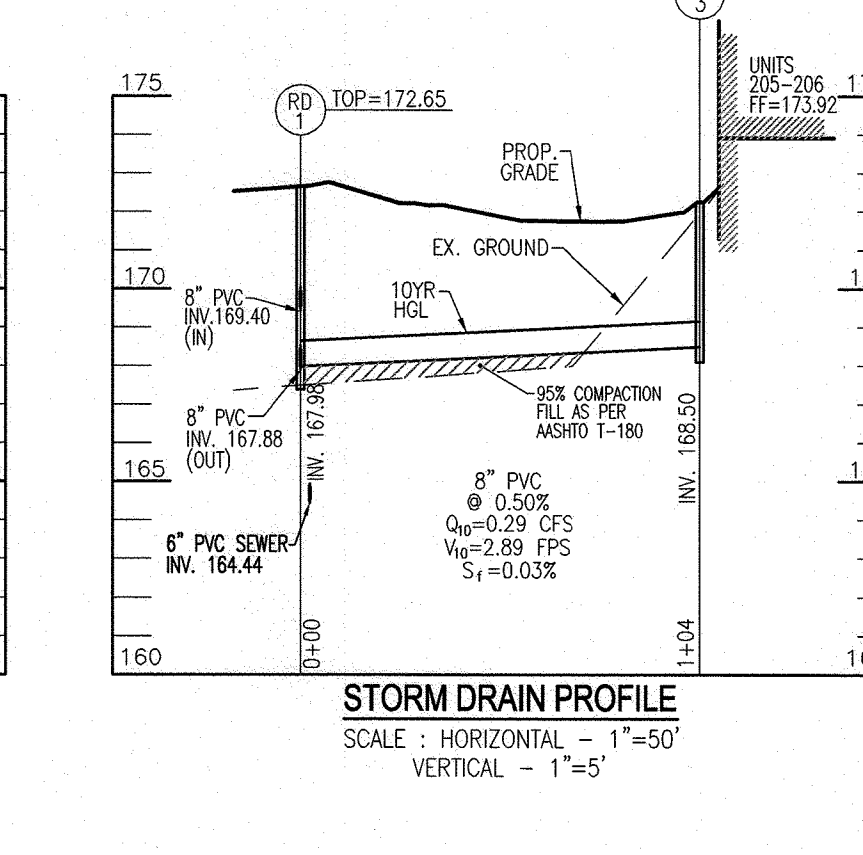
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SCALE: HORIZONTAL - 1"=50'
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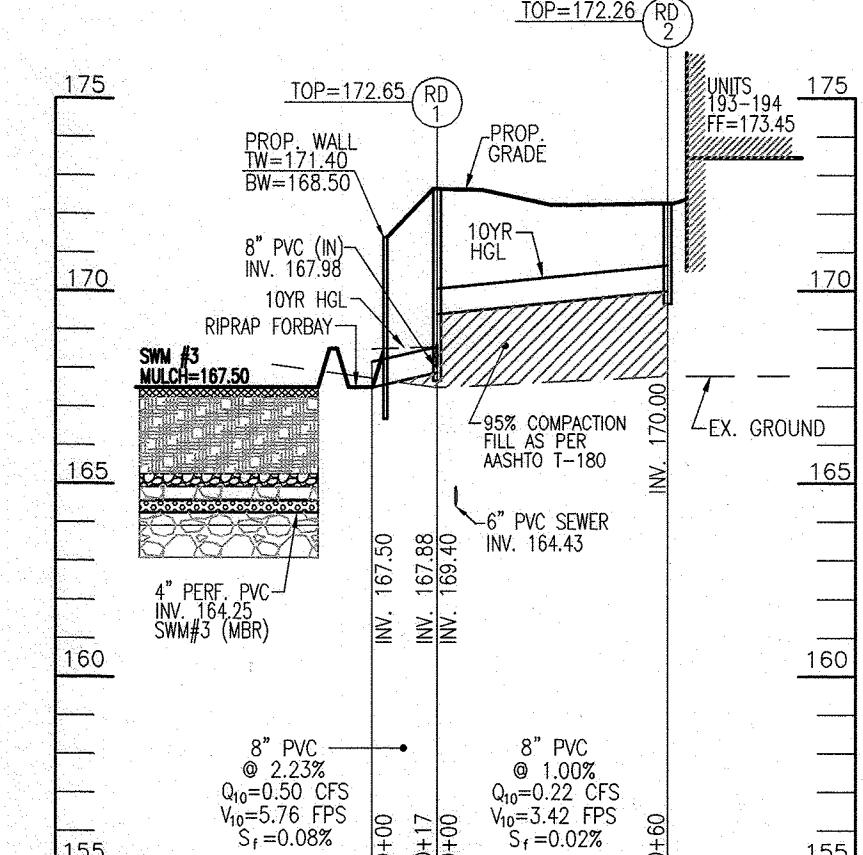
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SCALE: HORIZONTAL - 1"=50'
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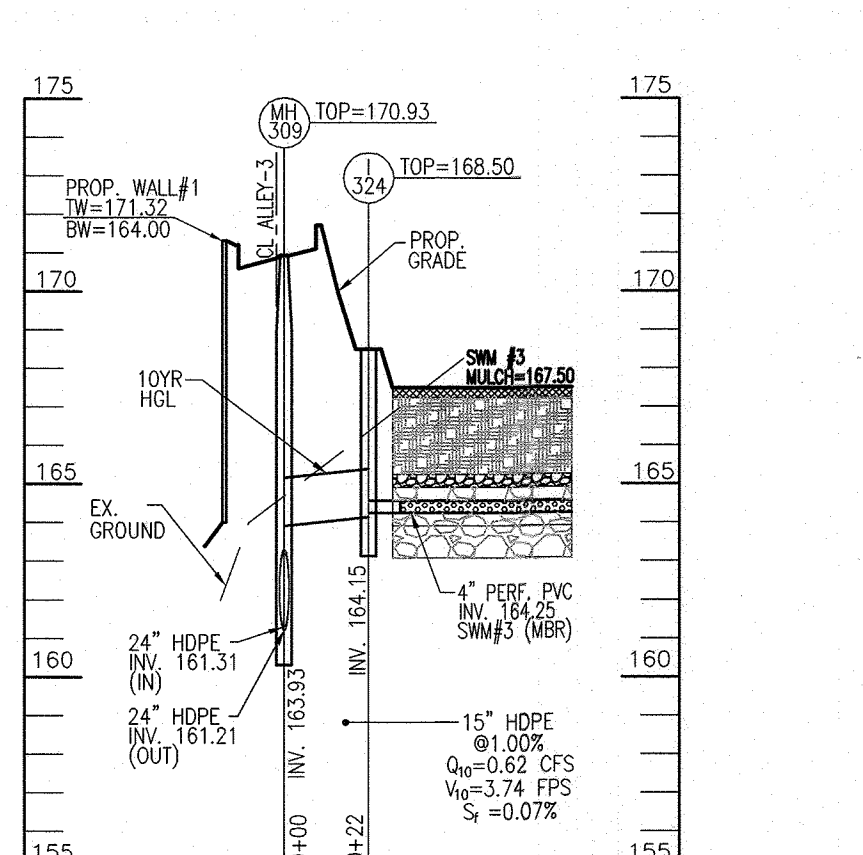
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SCALE: HORIZONTAL - 1"=50'
VERTICAL - 1"=5'



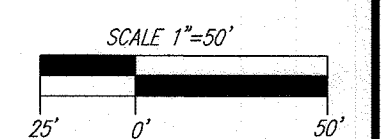
STORM DRAIN PROFILE
SCALE: HORIZONTAL - 1"=50'
VERTICAL - 1"=5'



STORM DRAIN PROFILE
SCALE: HORIZONTAL - 1"=50'
VERTICAL - 1"=5'



STORM DRAIN PROFILE
SCALE: HORIZONTAL - 1"=50'
VERTICAL - 1"=5'



PARCEL C-5 OWNER	OWNER	OWNER/DEVELOPER
BEAZER HOMES, LLC. 6085 MARSHALLE DRIVE, SUITE 350 LAUREL, MD 20725 443-539-9249	TRIPLE BELL FARMS, LLC. 2006 DELAWARE, INC. 198 LAUREL RACE TRACK RD LAUREL, MD 20725 (301) 470-5494	2006 DELAWARE, INC. 198 LAUREL RACE TRACK RD LAUREL, MD 20725 (301) 470-5494

NO.	REVISION	DATE
2	REVISE PLAN TO SHOW NEW ARCHITECTURE FOR UNITS 172 - 222; REVISE W&S	04/10/24
	HOUSE CONNECTIONS; REMOVE APARTMENT BUILDINGS 7-9	
1	REVISE PLAN FOR BUILDING ARCHITECTURE (UNITS 157-171 & 223-232); AND	12/19/23
	REVISE W&S HOUSE CONNECTIONS	

REVISED SITE DEVELOPMENT PLAN
STORM DRAIN PROFILES
PADDOCK POINTE - PHASE 3A
(FORMERLY KNOWN AS LAUREL PARK STATION)
16 STACKED TOWN
PARCELS C-5 & K-2
ZONED: TOD

TAX MAP: 50 BLOCK: 10 PARCEL 384
6TH ELECTION DISTRICT HOWARD COUNTY, MARYLAND

VOGEL ENGINEERING
TIMMONS GROUP
3300 NORTH RIDGE ROAD, SUITE 110, ELLICOTT CITY, MD 21143
P: 410.461.7666 F: 410.461.8961 www.timmons.com

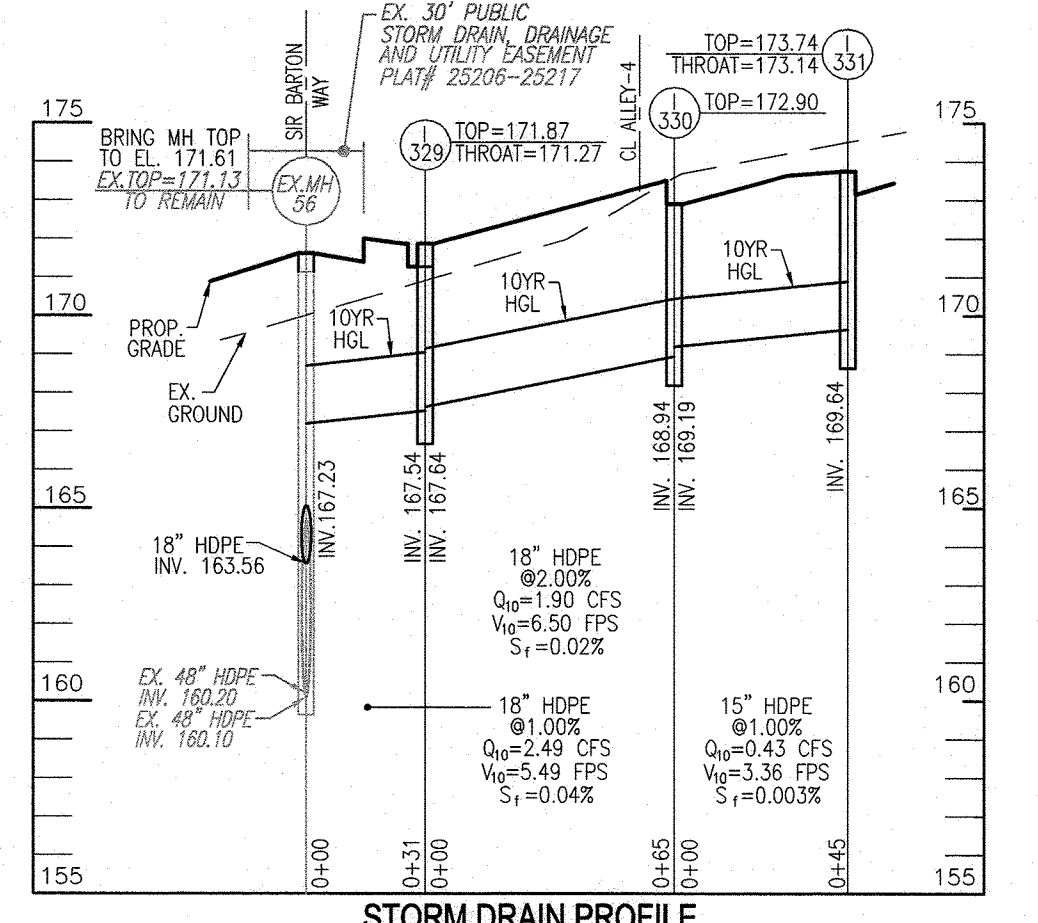
DESIGN BY: DZE/RHV
DRAWN BY: DZE/JR
CHECKED BY: RHV
DATE: MAY 2024
SCALE: AS SHOWN
W.O. NO.: 07-11/40111

PROFESSIONAL CERTIFICATE
I HEREBY CERTIFY THAT THESE DOCUMENTS
WERE PREPARED OR APPROVED BY ME, AND
THAT I AM A FULLY LICENSED PROFESSIONAL
ENGINEER UNDER THE LAWS OF THE STATE
OF MARYLAND, LICENSE NO. 16193
EXPIRATION DATE: 09-27-2024

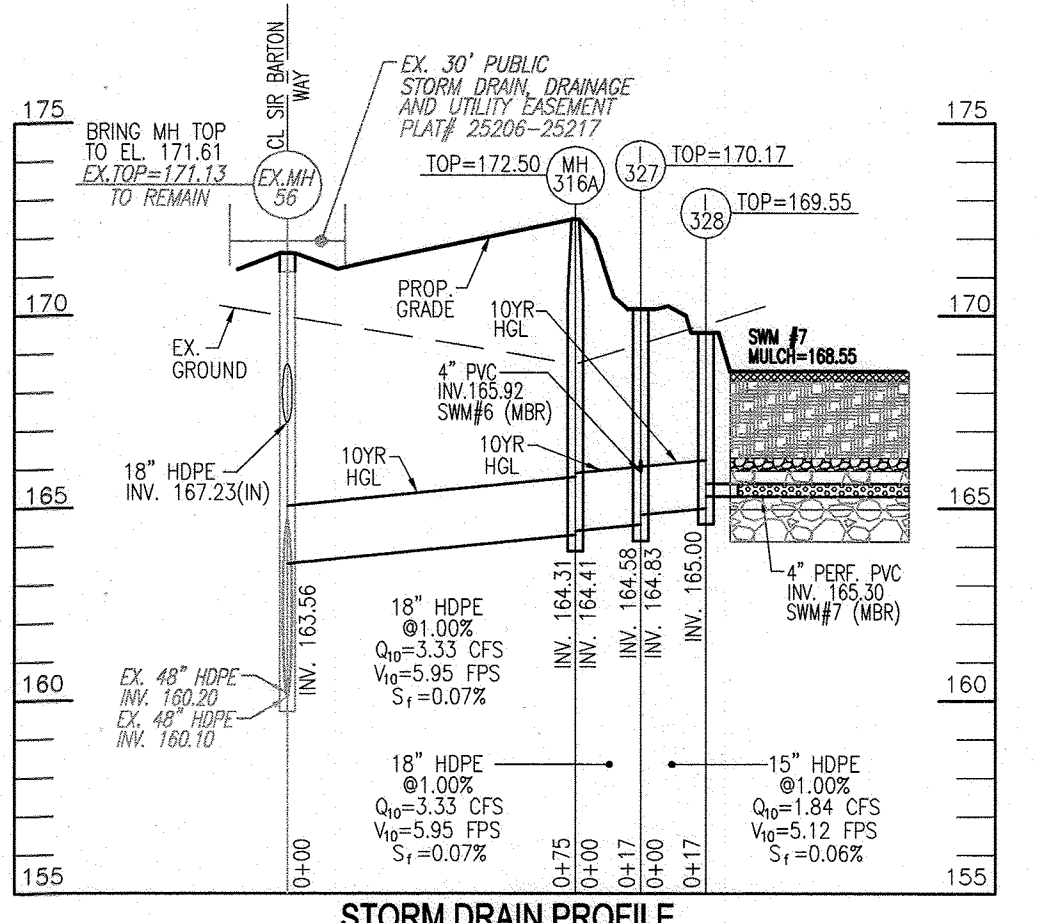
15 SHEET OF 40

ROBERT H. VOGEL, PE No.16193

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
DATE: 9.16.24
DATE: 9/16/24
DATE: 9/30/24

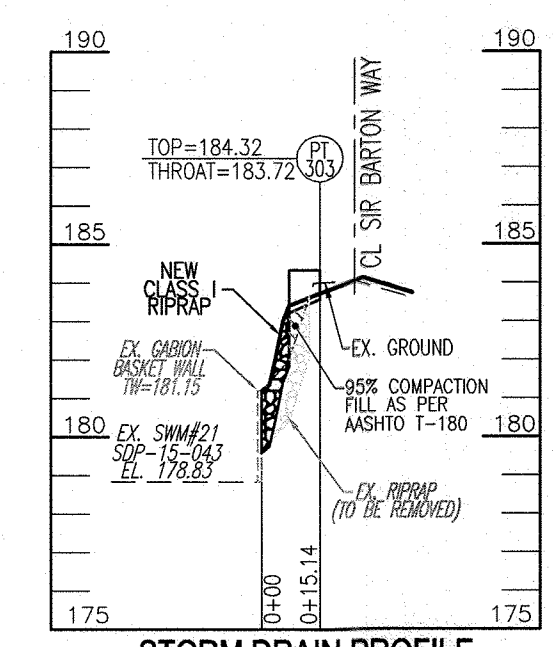
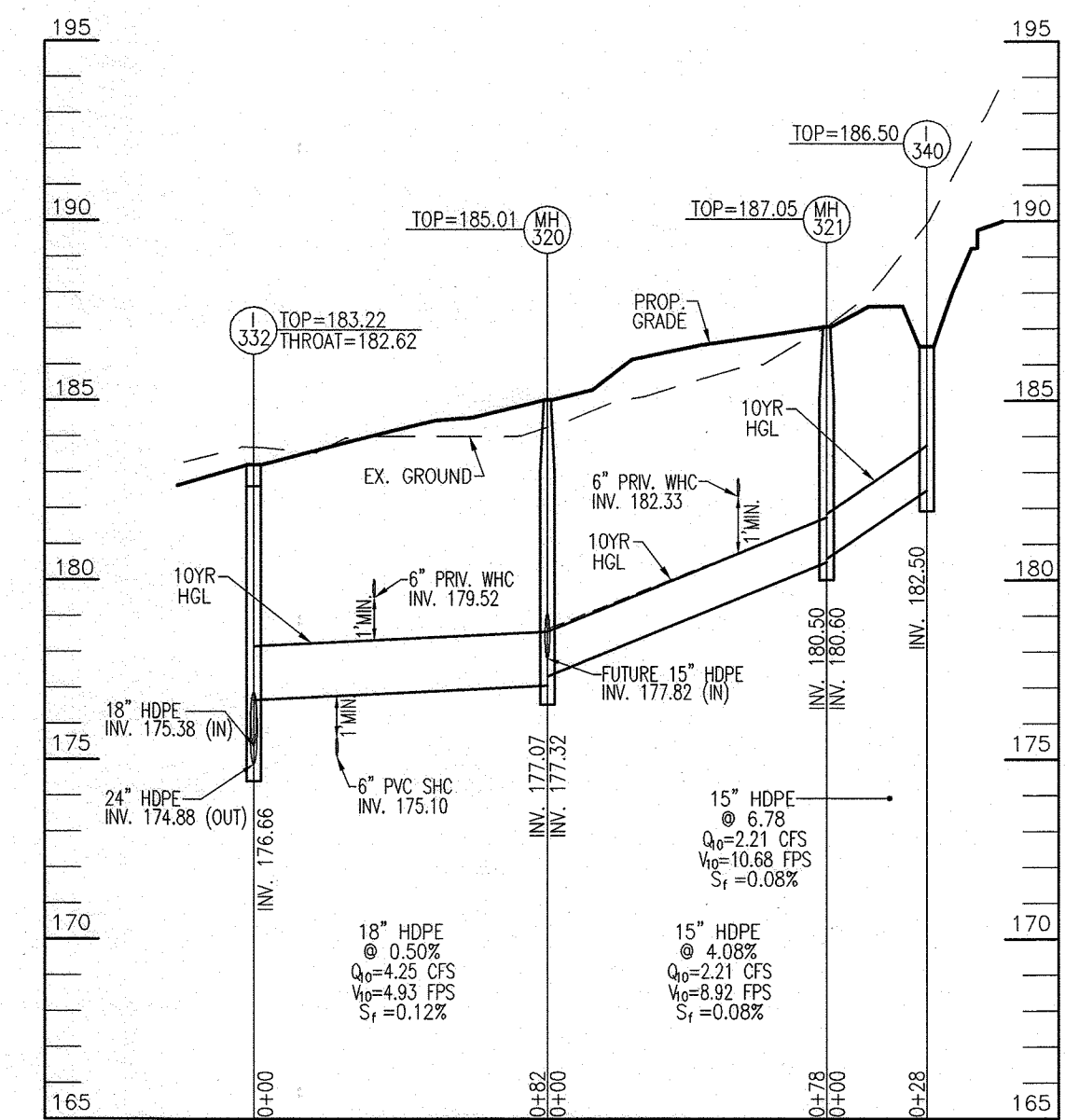
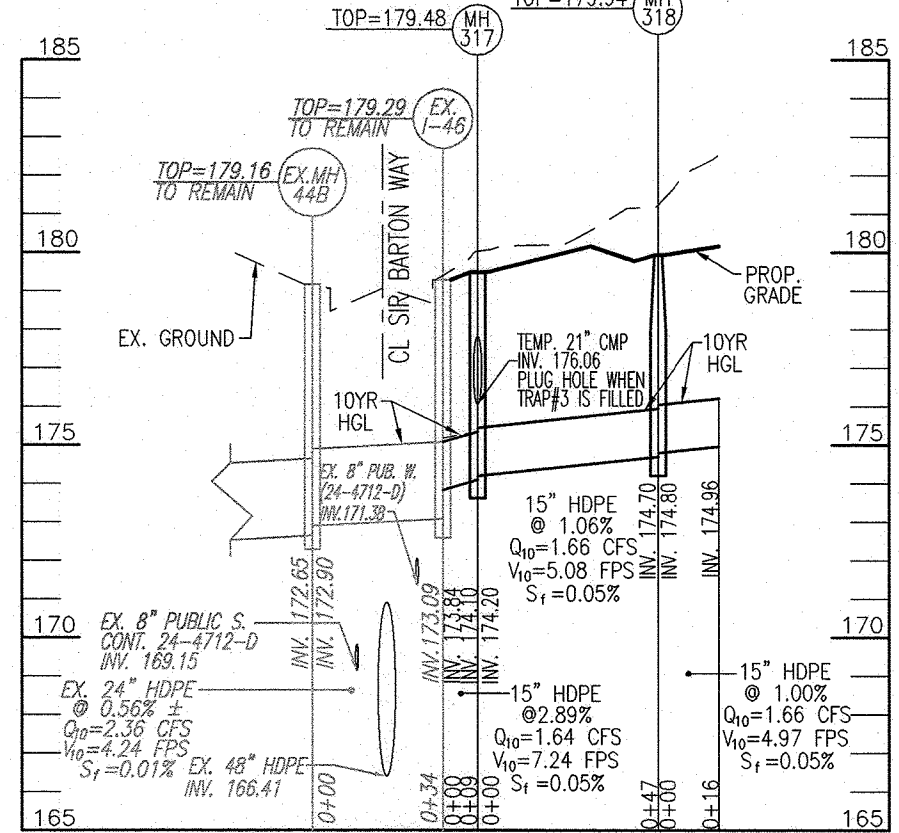
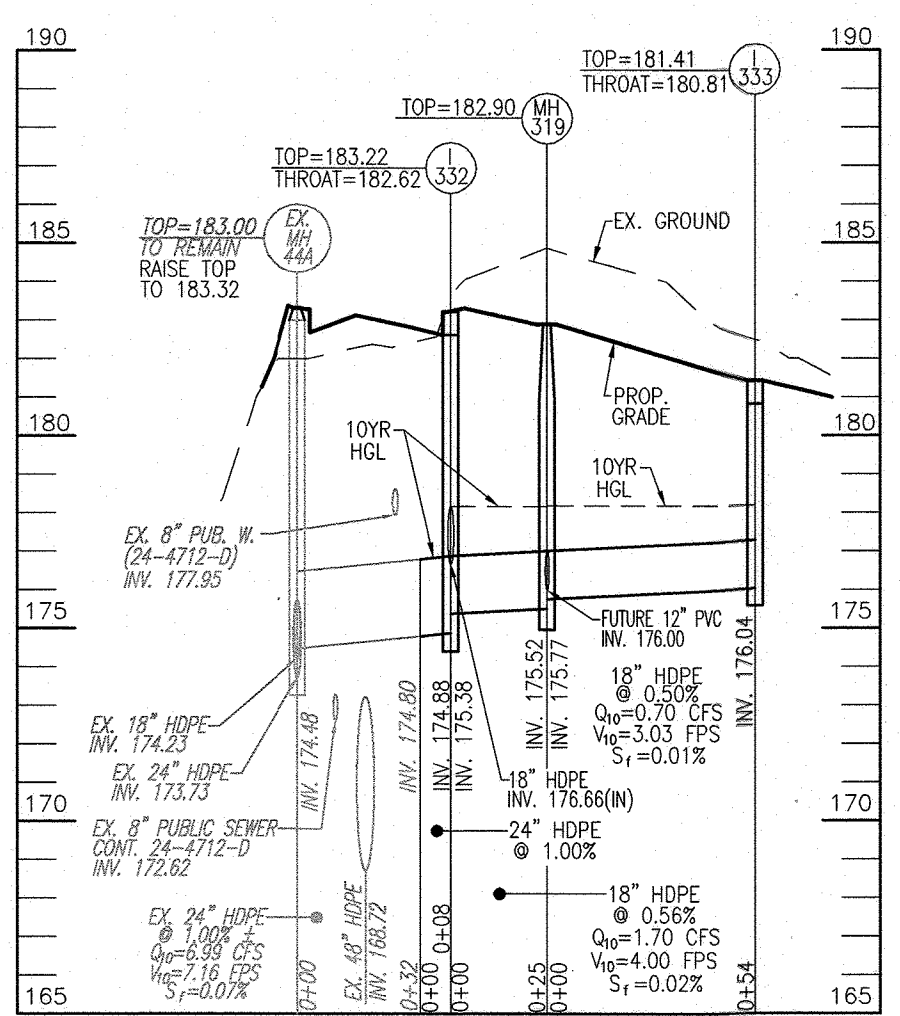


STORM DRAIN PROFILE
SCALE: HORIZONTAL - 1"=50'
VERTICAL - 1"=5'

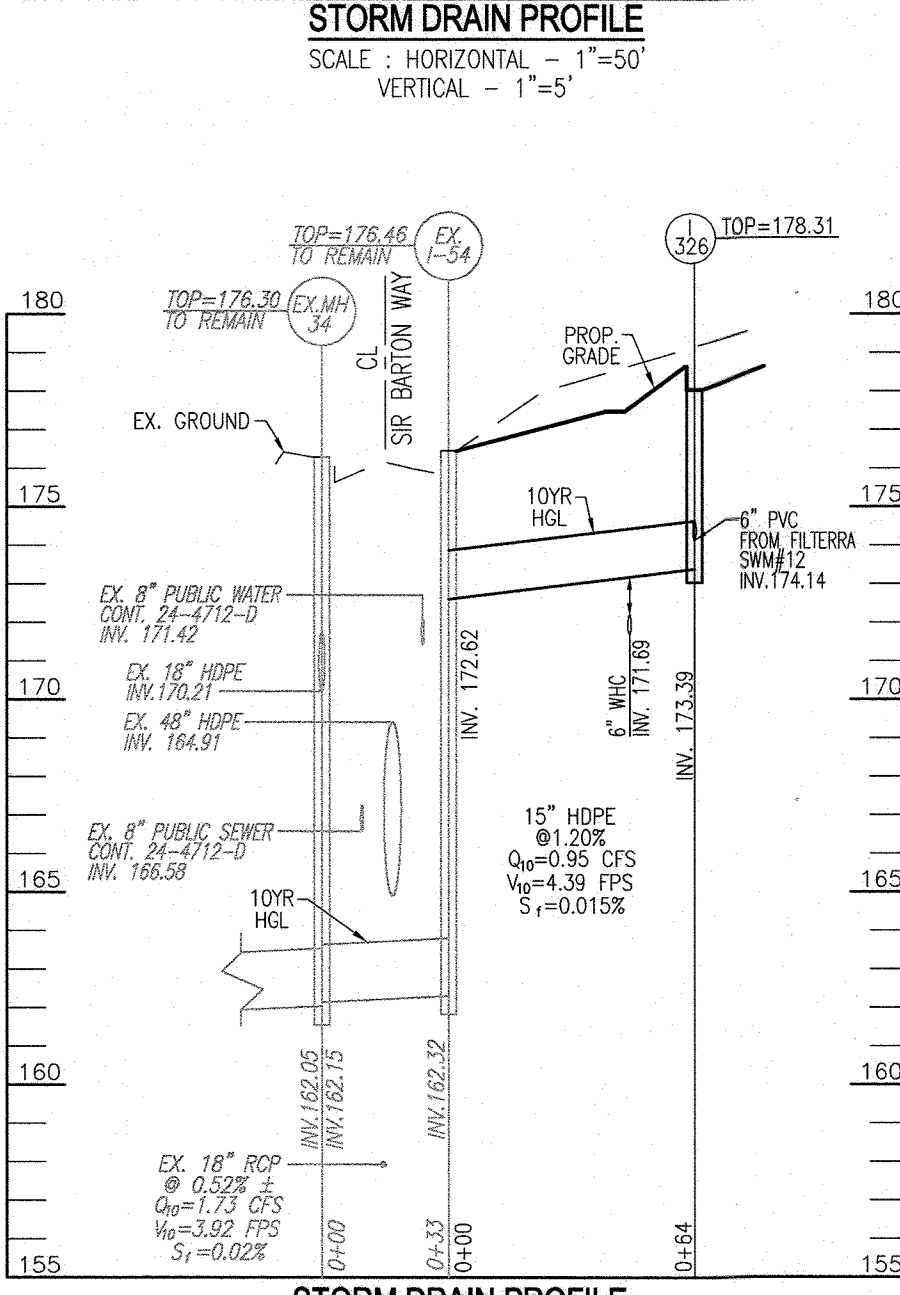


STORM DRAIN PROFILE
SCALE: HORIZONTAL - 1"=50'
VERTICAL - 1"=5'

STORM DRAIN STRUCTURE SCHEDULE - INLETS							
STR #	TYPE	DETAIL	LOCATION	INV. IN	INV. OUT	TOP ELEV	REMARKS
EX-146	EX TYPE A-5 INLET	D-4.02	N# 525094.84 E# 1360099.90	173.84	173.09	173.29	CONNECT 15" HDPE TO INLET
EX-144	EX TYPE A-5 INLET	D-4.02	N# 525091.09 E# 1360122.13	172.62	162.32	174.49	CONNECT 15" HDPE TO INLET
EX-147	NEW DOUBLE 'S' INLET	D-4.25	N# 524819.03 E# 1359938.01	-	168.17	176.70	REPLACE TYPE A-5 WITH DBL 'S' INLET
1-301	TYPE 'S'	D-4.24	N# 524473.09 E# 1360119.72	159.75	158.33	164.00	
1-302	TYPE 'S'	D-4.24	N# 524482.59 E# 1360141.58	162.75	161.83	167.00	
1-303	TYPE A-5	D-4.02	N# 524851.89 E# 1360039.79	-	162.13	168.16	
1-304	TYPE A-5	D-4.02	N# 524904.45 E# 1360022.25	161.07	160.97	165.80	
1-305	TYPE A-10	D-4.03	N# 524648.74 E# 1359983.76	162.91 / 162.76	162.66	169.71	
1-306	TYPE A-5	D-4.02	N# 524751.48 E# 1359956.36	166.91	166.86	175.22	
1-307	SINGLE WR INLET	D-4.32	N# 524776.29 E# 1359997.44	-	167.10	174.98	
1-308	TYPE A-5	D-4.02	N# 524659.93 E# 1360015.97	165.44	163.10	169.47	
1-309	TYPE A-5	D-4.02	N# 524659.96 E# 1360056.83	-	163.81	168.75	
1-310	TYPE A-5	D-4.02	N# 524659.99 E# 1360243.31	-	167.48	171.48	
1-311	TYPE A-5	D-4.02	N# 524824.16 E# 1360112.54	167.13	166.88	171.23	
1-312	SINGLE WR INLET	D-4.32	N# 524697.61 E# 1360394.77	-	167.87	171.37	
1-313	TYPE A-5	D-4.02	N# 524843.14 E# 1360548.40	163.92	163.82	170.19	
1-314	TYPE A-5	D-4.02	N# 524927.15 E# 1360491.65	164.53	164.43	171.01	
1-315	SINGLE WR INLET	D-4.32	N# 525019.91 E# 1360402.48	166.85	166.69	172.85	
1-316	TYPE A-5	D-4.02	N# 525050.86 E# 1360293.40	-	173.58	178.38	
1-317	TYPE A-5	D-4.02	N# 524932.35 E# 1360283.16	169.75	169.50	173.35	
1-318	TYPE 'S'	D-4.24	N# 524965.62 E# 1360248.83	172.50	172.10	178.75	
1-319	TYPE 'S'	D-4.24	N# 524949.77 E# 1360398.69	167.60	167.50	171.85	
1-320	TYPE 'S'	D-4.24	N# 524937.57 E# 1360443.58	165.51	165.41	169.76	
1-321	TYPE 'S'	D-4.24	N# 524783.40 E# 1360537.19	163.51	163.25	167.76	
1-322	TYPE 'S'	D-4.02	N# 524929.65 E# 1360437.45	-	167.21	170.71	
1-323	TYPE 'S'	D-4.24	N# 524753.60 E# 1360596.39	164.65	164.55	168.90	
1-324	TYPE 'S'	D-4.24	N# 524644.59 E# 1360465.17	164.25	164.15	168.50	
1-325	TYPE 'S'	D-4.02	N# 524854.84 E# 1360248.83	164.12	164.02	169.71	
1-326	DOUBLE WR INLET	D-4.31	N# 525069.34 E# 1360126.63	174.14	173.39	178.94	
1-327	TYPE 'S'	D-4.24	N# 524742.47 E# 1360343.07	165.92 / 164.83	164.58	170.17	
1-328	TYPE 'S'	D-4.24	N# 524796.86 E# 1360351.93	165.30	165.00	169.55	
1-329	TYPE 'S'	D-4.02	N# 524762.46 E# 1360242.86	167.64	167.54	171.87	
1-330	TYPE 'S'	D-4.24	N# 524778.94 E# 1360210.11	169.19	168.94	172.80	
1-331	TYPE A-5	D-4.02	N# 524823.14 E# 1360215.58	-	169.64	173.74	
1-332	TYPE A-10	D-4.03	N# 525212.89 E# 1360212.89	176.66 / 175.38	174.88	183.23	EXTEND 24" HDPE AND INSTALL INLET
1-333	TYPE A-5	D-4.02	N# 525165.24 E# 1359994.42	-	176.04	180.77	
1-334	SINGLE WR INLET	D-4.32	N# 525193.02 E# 1359976.44	178.78	178.20	182.59	
1-335	TYPE A-5	D-4.02	N# 525297.35 E# 1359934.69	179.00	174.80	183.42	
1-340	TYPE 'D' INLET WITH BEHVE GRATE	D-4.11	N# 525347.67 E# 1359815.14	-	182.50	188.50	



STORM DRAIN STRUCTURE SCHEDULE - MANHOLES							
STR #	TYPE	DETAIL	LOCATION	INV. IN	INV. OUT	TOP ELEV	REMARKS
EX-MH-44A	4" MANHOLE	G-5.12	N# 525179.28 E# 1359919.27	174.48 / 174.23	173.73	183.00	
EX-MH-54	MSHA 72" MANHOLE	MD-384.06	N# 524455.30 E# 1360138.22	157.27 / 155.00	155.40	168.33	
EX-MH-55	MSHA 84" MANHOLE	MD-384.07	N# 524532.47 E# 1360314.07	160.83 / 157.50	157.40	166.50	CONNECT 24" HDPE
EX-MH-56	MSHA 72" MANHOLE	MD-384.05	N# 524708.09 E# 1360267.23	167.23 / 163.56 / 160.20	160.10	171.60	ADJUST TOP EL TO 169.50
MH-301	4" MANHOLE	G5.12	N# 524472.78 E# 1360130.50	158.20 / 157.95 / 161.38	157.45	165.24	
MH-302	4" MANHOLE	G5.12	N# 524512.73 E# 1360119.85	163.70 / 158.87	158.77	168.57	
MH-303	4" MANHOLE	G5.12	N# 524511.20 E# 1360047.53	161.69 / 160.41	160.31	165.71	
MH-304	4" MANHOLE	G5.12	N# 524579.70 E# 1359998.89	163.20 / 161.96	161.86	167.20	
MH-305	4" MANHOLE	G5.12	N# 524557.71 E# 1360288.49	-	165.25	169.48	
MH-306	4" MANHOLE	G5.12	N# 524642.00 E# 1360266.01	166.47 / 166.32	166.22	171.30	
MH-307	4" MANHOLE	G5.12	N# 524547.59 E# 1360329.02	164.00 / 160.24	160.14	169.00	
MH-308	4" MANHOLE	G5.12	N# 524575.96 E# 1360338.64	-	160.49	169.86	
MH-309	4" MANHOLE	G5.12	N# 524624.15 E# 1360473.65	163.93 / 161.31	161.21	170.93	
MH-310	4" MANHOLE	G5.12	N# 524678.19 E# 1360523.98	-	161.78	169.87	
MH-311	5" MANHOLE	G5.13	N# 524768.06 E# 1360558.44	163.01 / 162.76 / 164.12	162.26	170.59	
MH-312	4" MANHOLE	G5.12	N# 524819.12 E# 1360558.77	-	163.68	169.81	
MH-313	4" MANHOLE	G5.12	N# 524869.08 E# 1360451.28	167.17 / 165.17 / 165.32	164.83	171.60	
MH-314	5" MANHOLE	G5.13	N# 524849.72 E# 1360431.68	167.17 / 165.17 / 165.32	165.07	171.02	
MH-315	4" MANHOLE	G5.12	N# 524902.50 E# 1360383.86	-	167.14	171.14	
MH-316	4" MANHOLE	G5.12	N# 524900.08 E# 1360456.52	-	167.04	170.89	
MH-316A	4" MANHOLE	G5.12	N# 524725.66 E# 1360341.02	-	164.41	172.50	
MH-317	4" MANHOLE	G5.12	N# 525101.95 E# 1360075.43	-	174.20	179.48	
MH-318	4" MANHOLE	G5.12	N# 525131.75 E# 1360039.62	-	174.80	179.94	
MH-319	4" MANHOLE	G5.12	N# 525209.00 E# 1359862.56	-	175.77	188.28	
MH-320	4" MANHOLE	G5.12	N# 525296.73 E# 1359876.86	-	177.82 / 177.32	185.01	
MH-321	4" MANHOLE	G5.12	N# 525319.95 E# 1359818.95	-	180.60	187.05	



STORM DRAIN STRUCTURE SCHEDULE - OTHER							
STR #	TYPE	DETAIL	LOCATION	INV. IN	INV. OUT	TOP ELEV	REMARKS
PT-300	FLOW THROUGH INLET	D-4.35	N# 524731.20 E# 1360282.28	171.56	170.96	172.16	5FT WIDE X 13.5FT DEEP
PT-301	FLOW THROUGH INLET	D-4.35	N# 524713.53 E# 1360302.03	170.95	170.37	171.56	5FT WIDE X 13.5FT DEEP
PT-302	FLOW THROUGH INLET	D-4.35	N# 524802.52 E# 1360401.95	170.35	169.75	170.95	5FT WIDE X 13.5FT DEEP
PT-303	FLOW THROUGH INLET	D-4.35	N# 524802.52 E# 1359887.24	183.72	183.42	184.32	10FT WIDE X 7.6FT DEEP
RD-1	CLEANOUT	-	N# 524694.99 E# 1360435.73	169.40 / 167.98	167.88	172.65	
RD-2	CLEANOUT	-	N# 524679.01 E# 1360377.29	-	170.00	172.32	
RD-3	CLEANOUT	-	N# 524789.88 E# 1360477.15	-	168.50	172.26	

STORM DRAIN PIPE SCHEDULE			
Size	Class	Total Length*	Remarks
4"	PERF. PVC (SWM)	962	
6"	SOLID PVC (SWM)	17	
15"	HDPE	939	
18"	HDPE	1581	
24"	HDPE	430	

* The total length of pipe is linear feet only.

HDPE is to be smooth interior. Contractor shall install pipe in accordance with manufacturer's specifications.

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

[Signature] 9/16/24
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

[Signature] 9/30/24
CHIEF, DIVISION OF LAND DEVELOPMENT DATE

[Signature]
DIRECTOR DATE

PARCEL C-5 OWNER: BEAZER HOMES, LLC. 20006 DELAWARE, INC. 6085 MARSHALEE DRIVE, SUITE 350 ELK RIDGE, MD 21075 443-539-9249

OWNER: TRIPLE BELL FARMS, LLC. 198 LAUREL RACE TRACK RD LAUREL, MD 20725 (301) 470-5494

OWNER/DEVELOPER: 20006 DELAWARE, INC. 198 LAUREL RACE TRACK RD LAUREL, MD 20725 (301) 470-5494

NO.	REVISION	DATE
2	REVISE PLAN TO SHOW NEW ARCHITECTURE FOR UNITS 172 - 222; REVISE W&S HOUSE CONNECTIONS; REMOVE APARTMENT BUILDINGS 7-9	04/10/24
1	REVISE PLAN FOR BUILDING ARCHITECTURE (UNITS 157-171 & 223-232); AND REVISE W&S HOUSE CONNECTIONS	12/19/23

REVISED SITE DEVELOPMENT PLAN

STORM DRAIN PROFILES; STORM DRAIN PIPE AND STRUCTURE SCHEDULES

PADDOCK POINTE - PHASE 3A
(FORMERLY KNOWN AS LAUREL PARK STATION)

TAX MAP: 50 BLOCK: 10 6TH ELECTION DISTRICT

PARCELS C-5 & K-2
ZONED: TOD

PARCEL 38A
HOWARD COUNTY, MARYLAND

VOGEL ENGINEERING

TIMMONS GROUP

3300 NORTH RIDGE ROAD, SUITE 110, ELLICOTT CITY, MD 21043
P: 410.461.7666 F: 410.461.8961 www.timmons.com

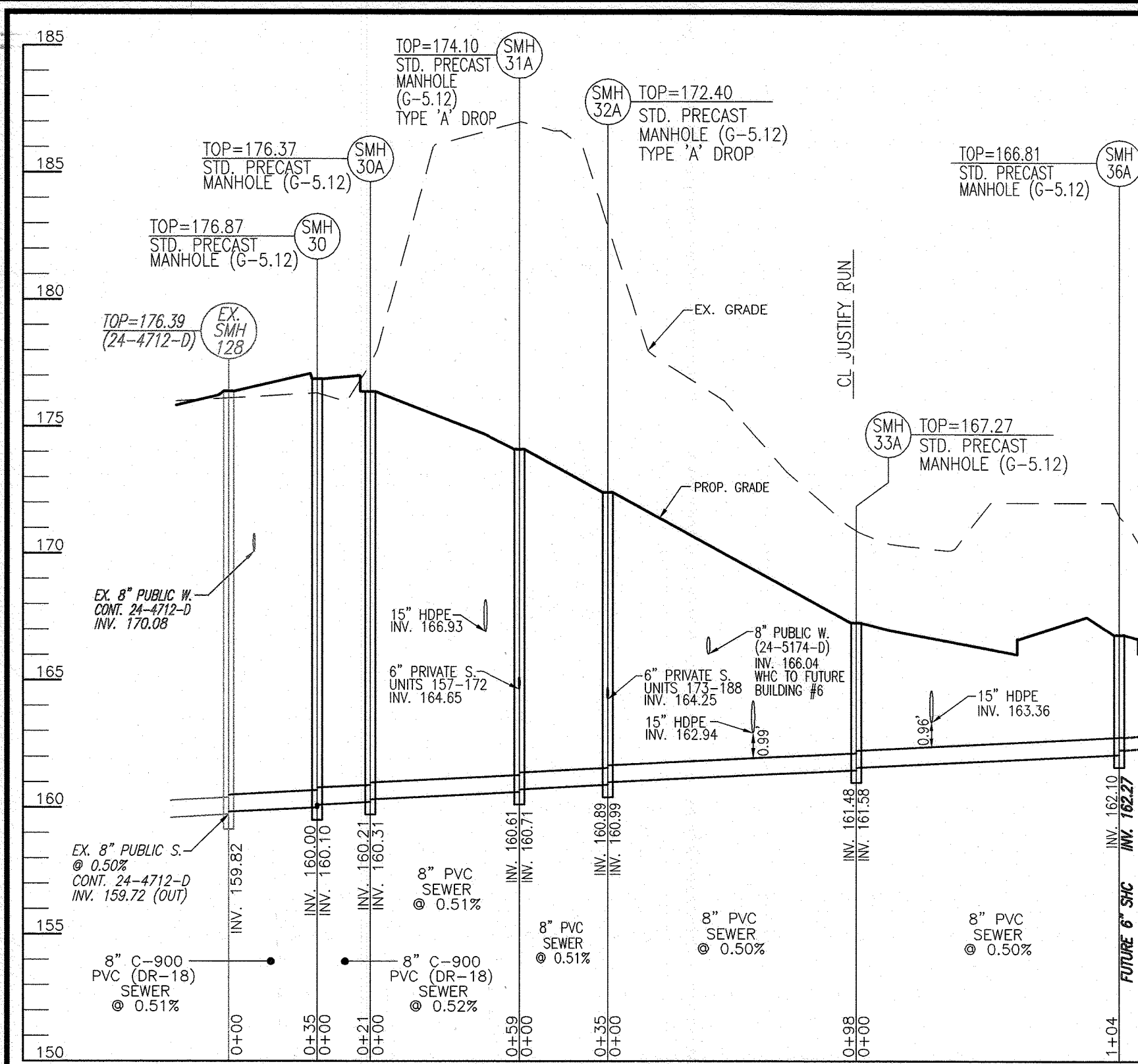
PROFESSIONAL CERTIFICATE

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.

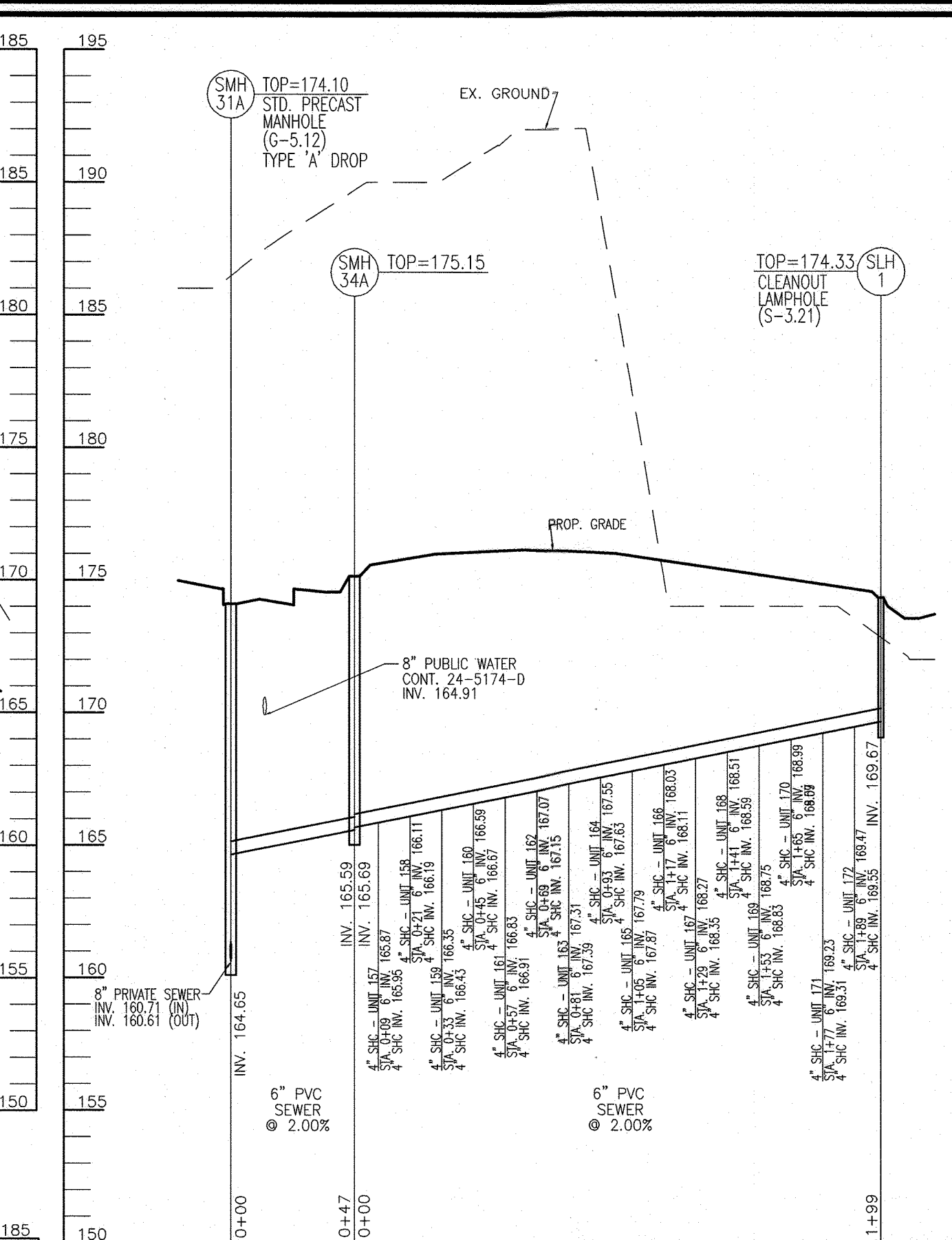
DESIGN BY: DZE/RHV
DRAWN BY: DZE/JR
CHECKED BY: RHV
DATE: MAY 2024
SCALE: AS SHOWN
W.O. NO.: 07-11/40111

16 SHEET OF 40

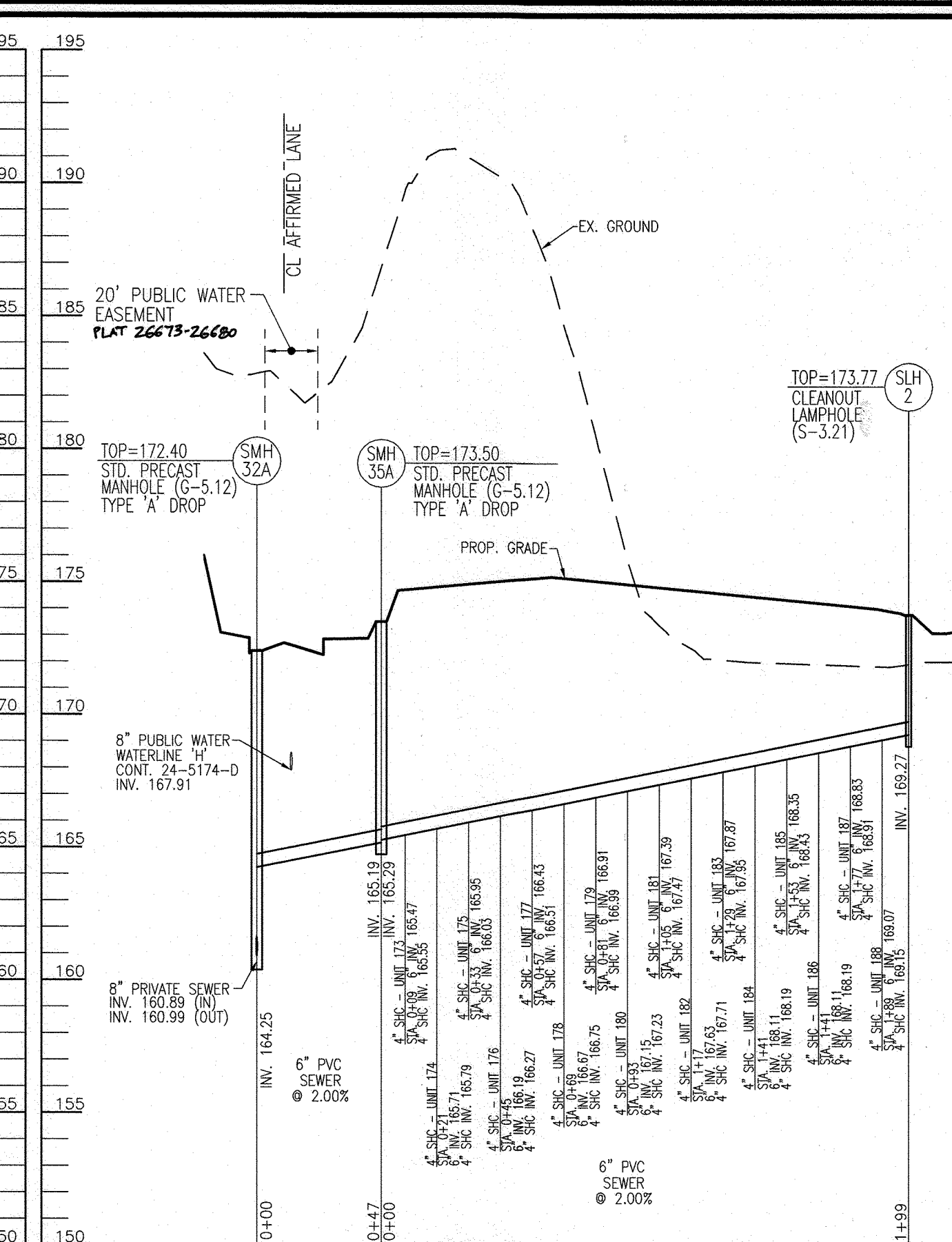
SCALE 1"=50'



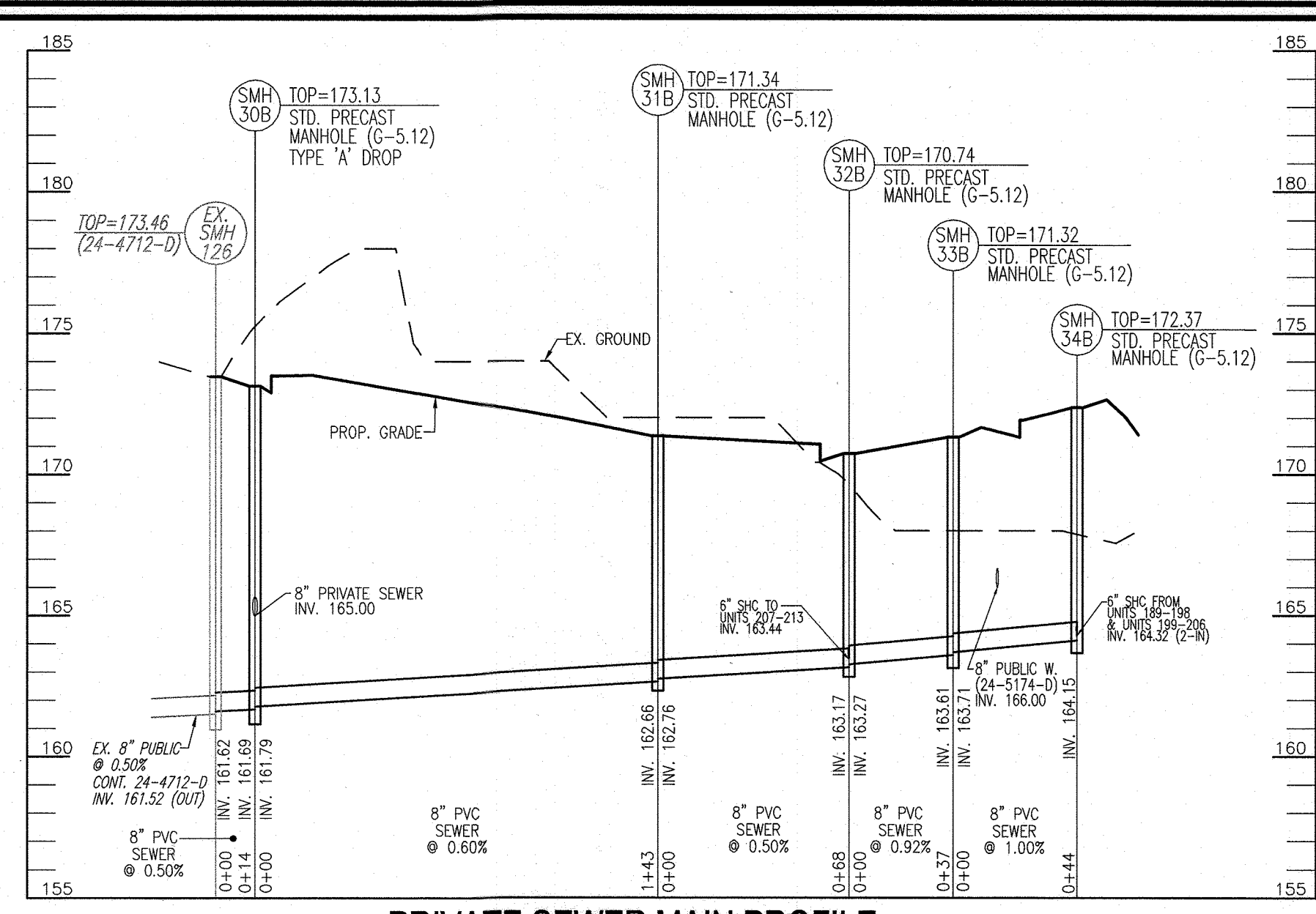
PRIVATE SEWER MAIN PROFILE
SCALE: 1"=50 HORIZ.
1"=5' VERT.



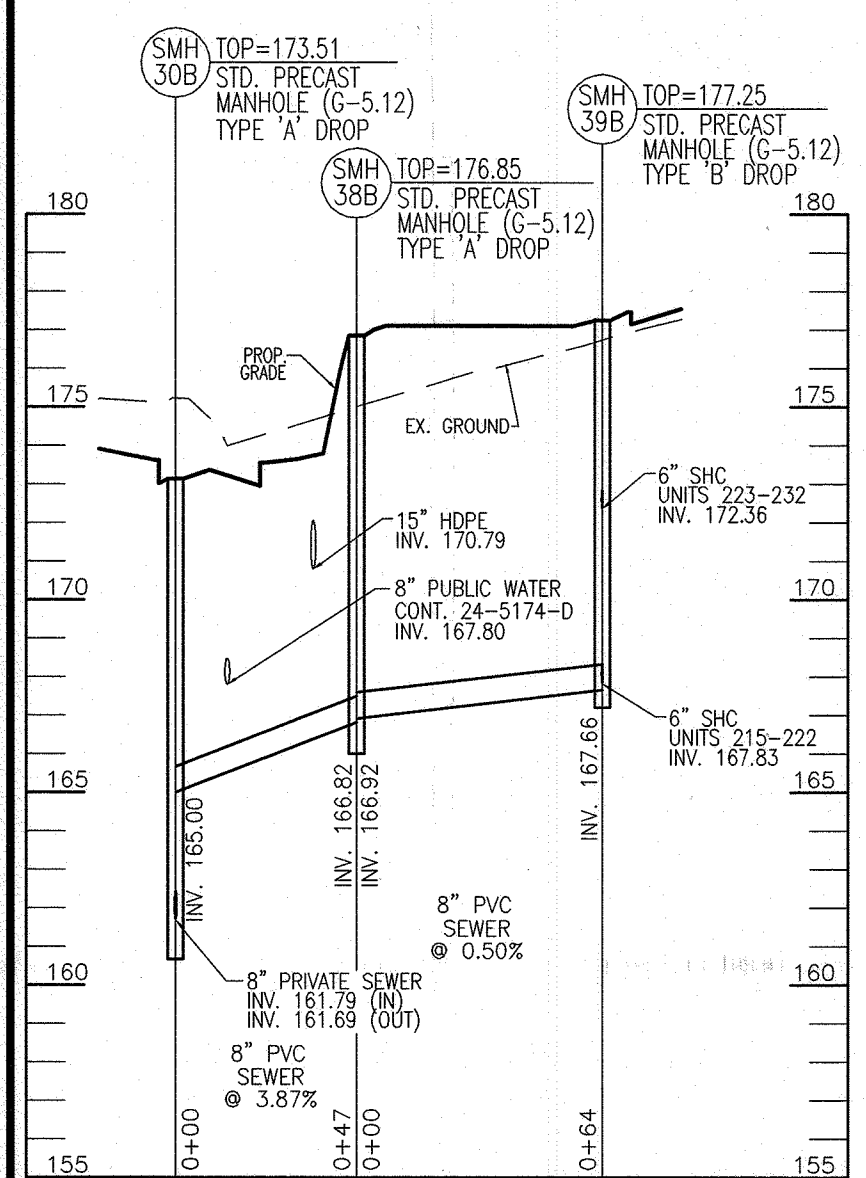
PRIVATE SEWER PROFILE UNITS 157-172
SCALE: 1"=50 HORIZ.
1"=5' VERT.



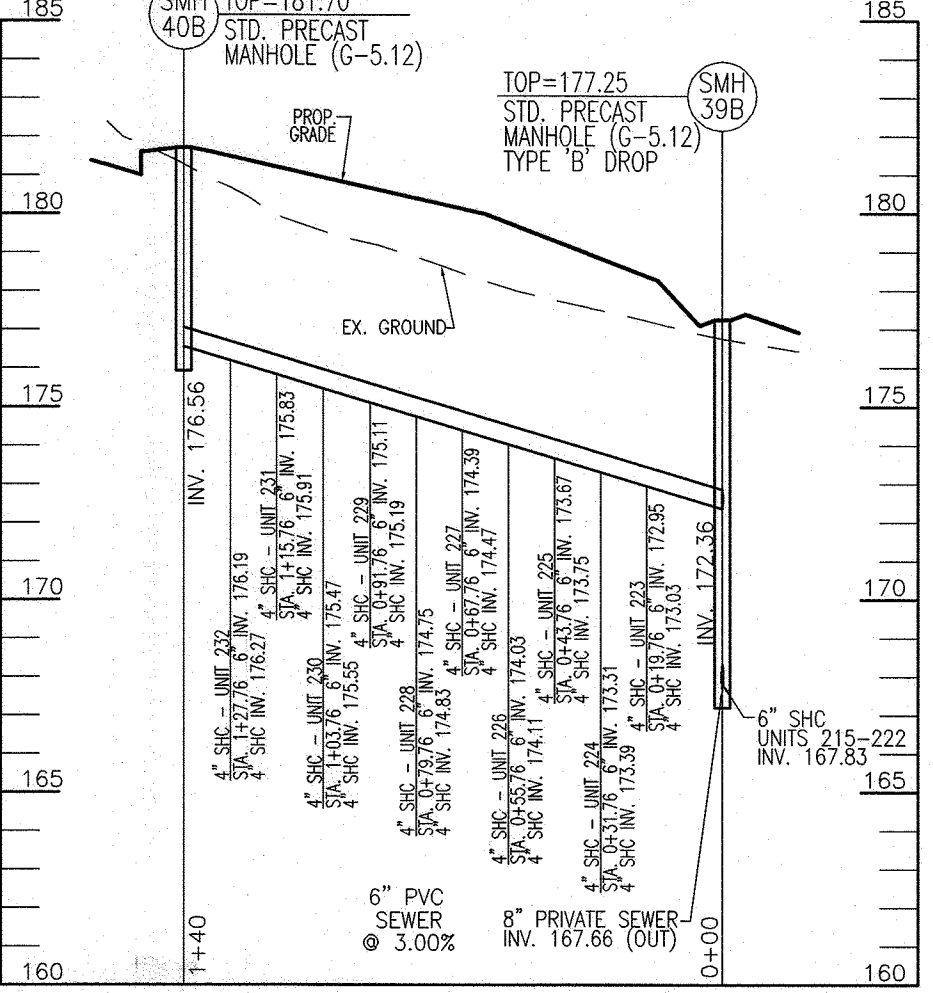
PRIVATE SEWER PROFILE UNITS 173-188
SCALE: 1"=50 HORIZ.
1"=5' VERT.



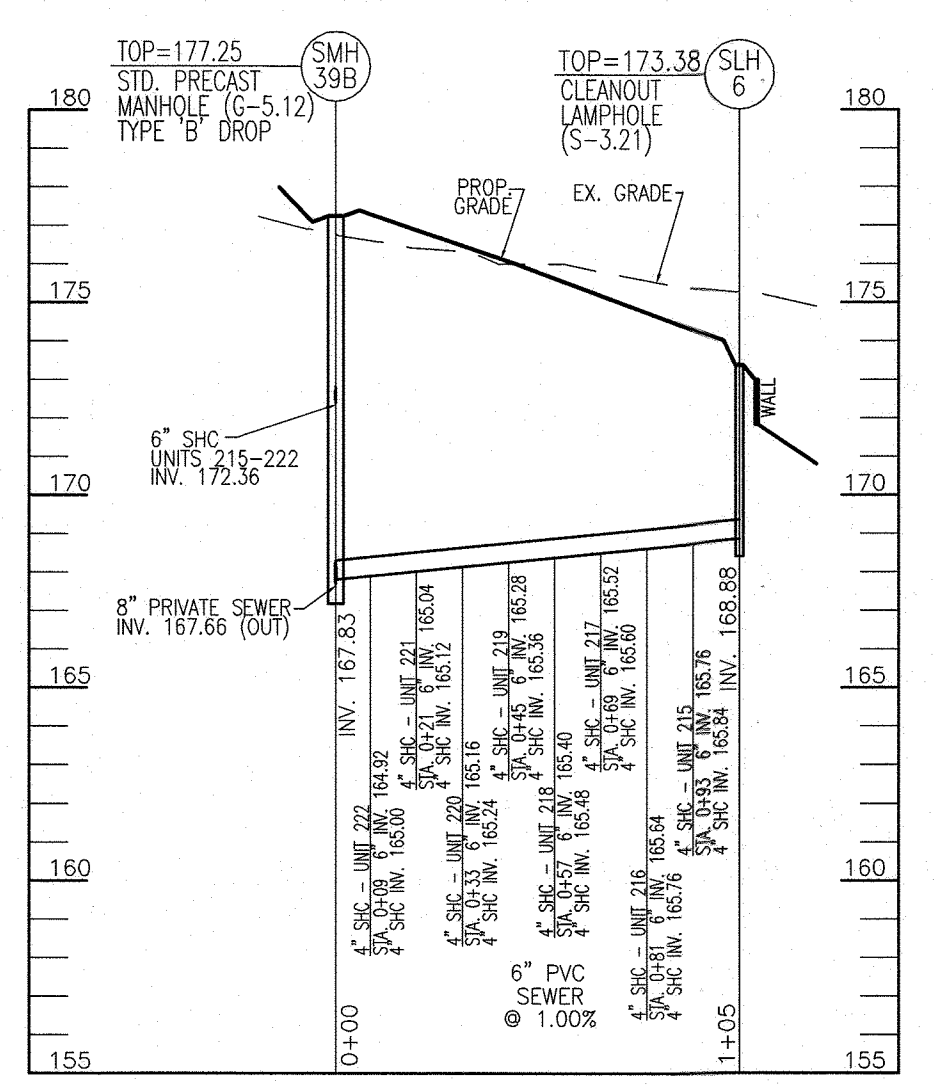
PRIVATE SEWER MAIN PROFILE
SCALE: 1"=50 HORIZ.
1"=5' VERT.



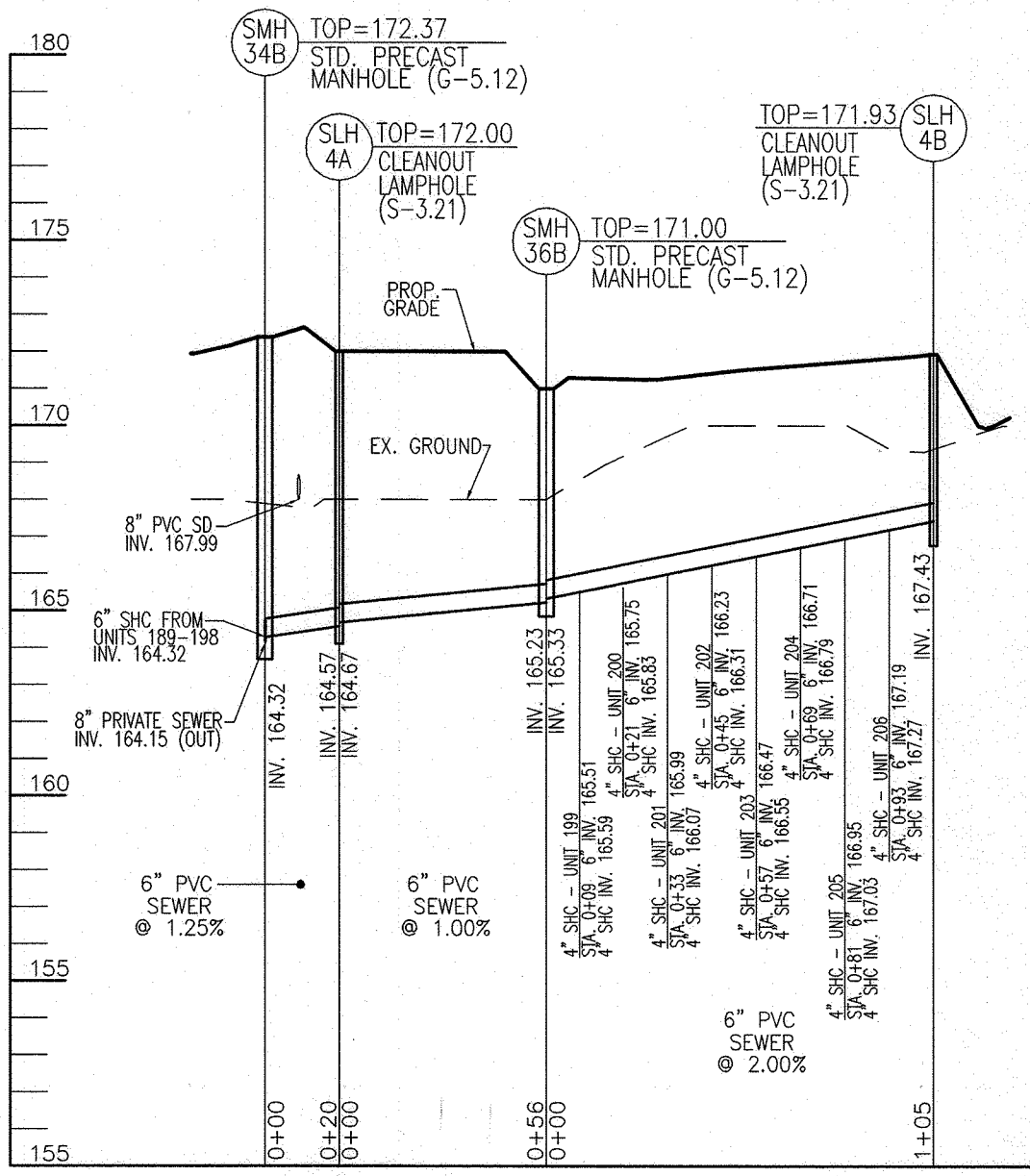
PRIVATE SEWER MAIN PROFILE
SCALE: 1"=50 HORIZ.
1"=5' VERT.



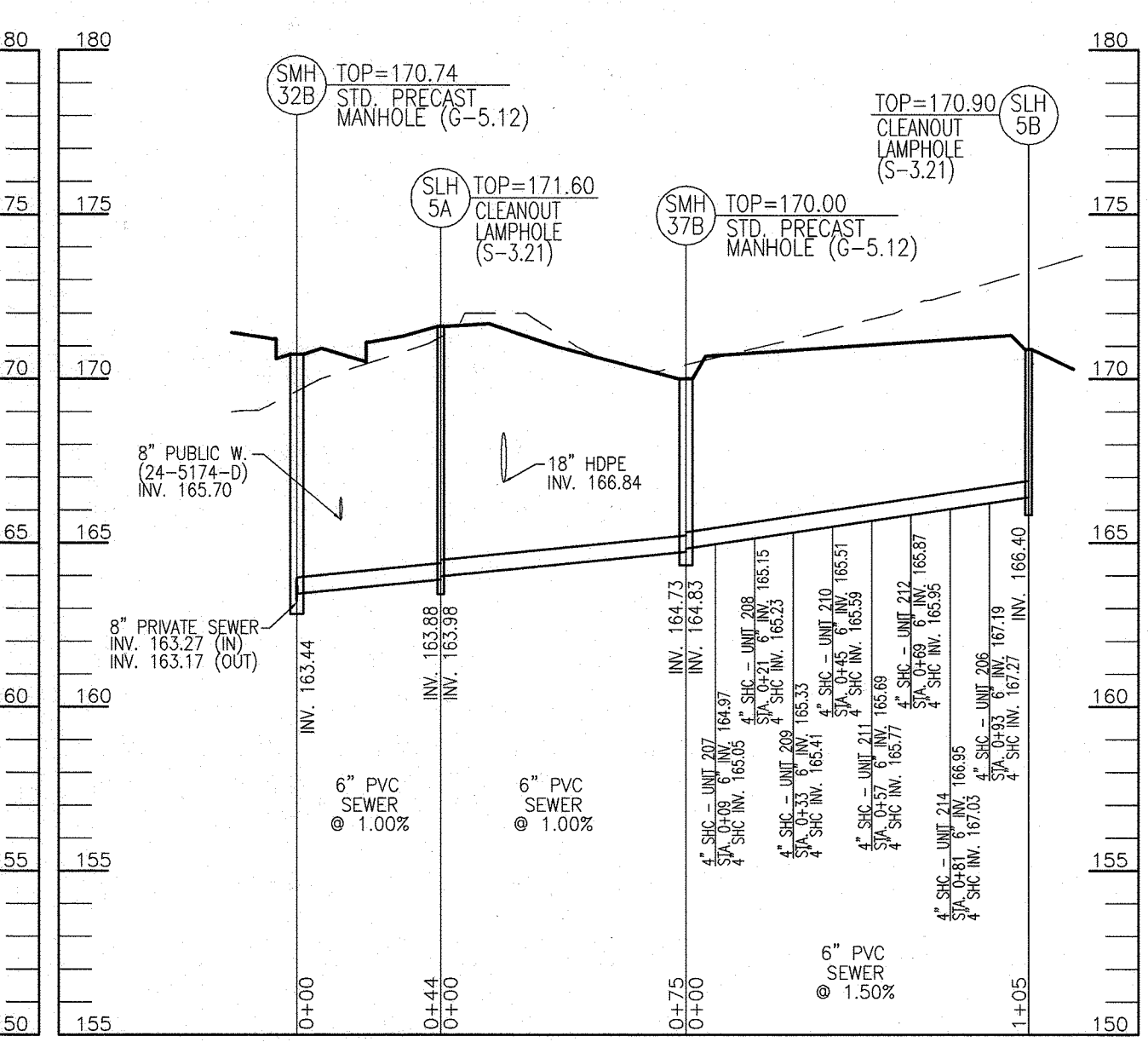
PRIVATE SEWER PROFILE UNITS 223-232
SCALE: 1"=50 HORIZ.
1"=5' VERT.



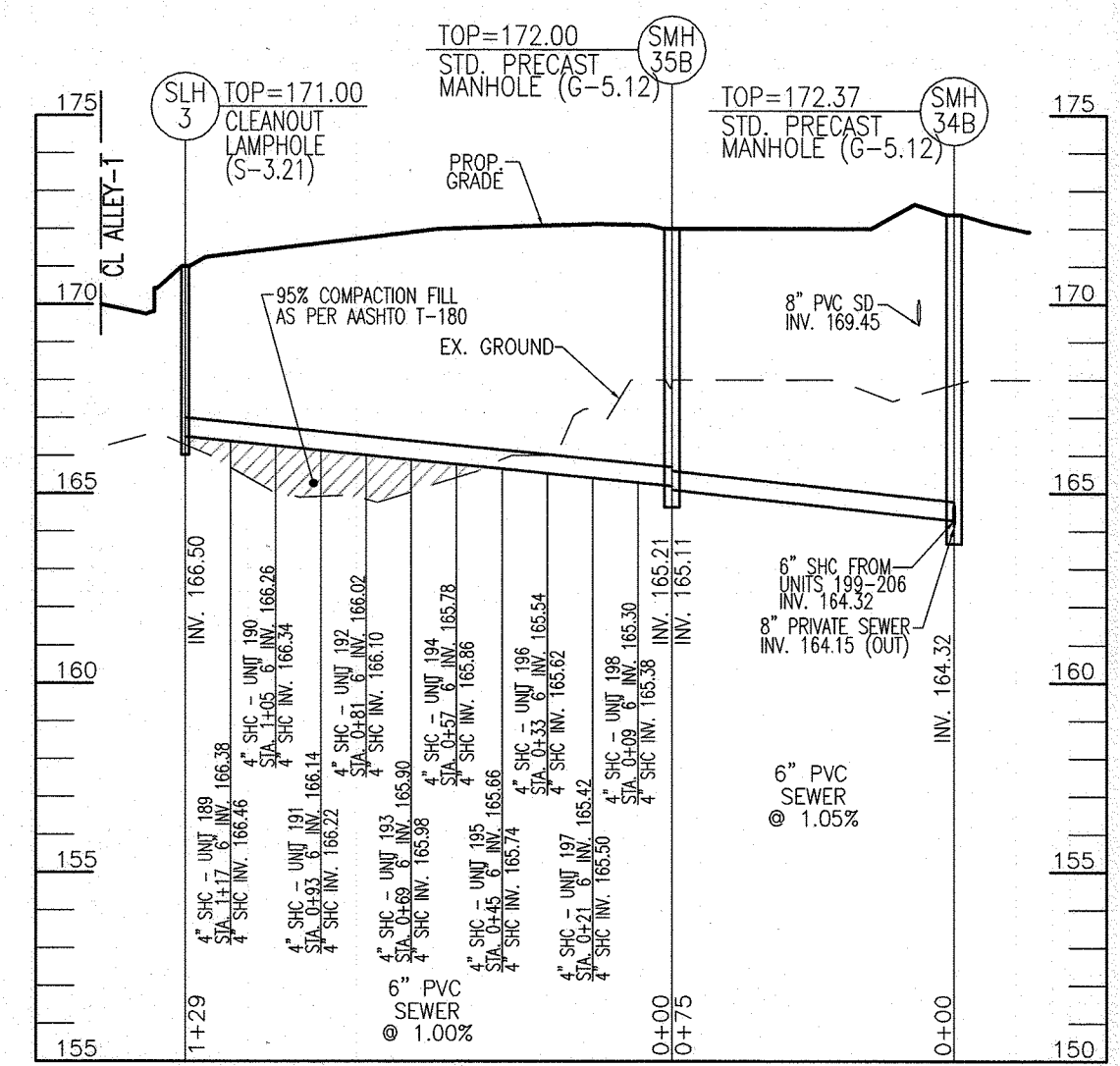
PRIVATE SEWER MAIN PROFILE UNITS 215-222
SCALE: 1"=50 HORIZ.
1"=5' VERT.



PRIVATE SEWER PROFILE UNITS 199-206
SCALE: 1"=50 HORIZ.
1"=5' VERT.



PRIVATE SEWER PROFILE UNITS 207-214
SCALE: 1"=50 HORIZ.
1"=5' VERT.



PRIVATE SEWER PROFILE UNITS 189-198
SCALE: 1"=50 HORIZ.
1"=5' VERT.

SMH No.	TYPE	LOCATION	TOP ELEV.	INV. IN	INV. OUT	REMARKS
SMH-30	STD. PRECAST MH (G-5.12)	N=524696.94 E=1359928.18	176.87	160.10	160.20	
SMH-30A	STD. PRECAST MH (G-5.12)	N=524796.32 E=1359947.35	176.37	160.31	160.20	
SMH-31A	STD. PRECAST MH (G-5.12)	N=524738.87 E=1359982.67	174.10	164.65 / 160.71	160.61	TYPE 'A' DROP MANHOLE
SMH-32A	STD. PRECAST MH (G-5.12)	N=524705.34 E=1359971.62	172.40	164.25 / 160.99	160.89	TYPE 'A' DROP MANHOLE
SMH-33A	STD. PRECAST MH (G-5.12)	N=524610.49 E=1359996.91	167.27	161.27	161.27	
SMH-34A	STD. PRECAST MH (G-5.12)	N=524751.09 E=1360008.50	175.15	165.69	165.59	
SMH-35A	STD. PRECAST MH (G-5.12)	N=524717.56 E=1360017.44	173.50	165.29	165.19	
SMH-36A	STD. PRECAST MH (G-5.12)	N=524628.94 E=1360067.39	166.81	161.70 / 168.00	162.10	
SMH-37B	STD. PRECAST MH (G-5.12)	N=524811.79 E=1360094.35	175.13	161.70 / 168.00	161.69	TYPE 'A' DROP MANHOLE
SMH-31B	STD. PRECAST MH (G-5.12)	N=524828.01 E=1360381.50	171.34	162.76	162.66	
SMH-32B	STD. PRECAST MH (G-5.12)	N=524775.35 E=1360423.62	170.74	163.44 / 163.27	163.17	
SMH-33B	STD. PRECAST MH (G-5.12)	N=524741.38 E=1360408.82	171.32	163.71	163.61	
SMH-34B	STD. PRECAST MH (G-5.12)	N=524702.44 E=1360428.92	172.37	164.32 (2)	164.15	
SMH-35B	STD. PRECAST MH (G-5.12)	N=524828.96 E=1360445.67	172.00	165.21	165.11	
SMH-36B	STD. PRECAST MH (G-5.12)	N=524670.94 E=1360467.39	171.00	165.33	165.23	
SMH-37B	STD. PRECAST MH (G-5.12)	N=524837.37 E=1360519.29	170.00	164.83	164.73	
SMH-38B	STD. PRECAST MH (G-5.12)	N=524856.94 E=1360288.37	176.85	166.82	166.82	
SMH-39B	STD. PRECAST MH (G-5.12)	N=525015.16 E=1360293.40	177.25	172.36 / 167.83	167.66	TYPE 'B' DROP MANHOLE
SMH-40B	STD. PRECAST MH (G-5.12)	N=525107.71 E=1360185.19	181.70	176.66	176.56	
SMH-30C	STD. PRECAST MH (G-5.12)	N=525094.10 E=1360904.09	179.52	171.70	171.60	
SMH-31C	STD. PRECAST MH (G-5.12)	N=525133.84 E=1360053.18	180.50	172.75 (2)	172.58	
SMH-32C	STD. PRECAST MH (G-5.12)	N=525199.36 E=1360024.06	181.60	FUT. 173.63	173.53	
SMH-33C	STD. PRECAST MH (G-5.12)	N=525235.39 E=1360925.66	184.35	176.30	176.20	
SMH-31D	STD. PRECAST MH (G-5.12)	N=525259.00 E=1359899.64	185.20	FUT. 179.14 / 175.91	175.74	TYPE 'A' DROP MANHOLE
SMH-32D	STD. PRECAST MH (G-5.12)	N=525283.75 E=1359899.89	186.00	FUT. 180.34	176.50	TYPE 'A' DROP MANHOLE
SLH-1	CLEANOUT LAMPHOLE (S-3.21)	N=524832.37 E=1360200.16	174.33	169.27	169.67	
SLH-2	CLEANOUT LAMPHOLE (S-3.21)	N=524768.84 E=1360209.72	173.77	169.27	169.27	
SLH-3	CLEANOUT LAMPHOLE (S-3.21)	N=524595.72 E=1360221.02	171.00	166.50	166.50	
SLH-4A	CLEANOUT LAMPHOLE (S-3.21)	N=524690.63 E=1360445.21	172.00	164.67	164.57	
SLH-4B	CLEANOUT LAMPHOLE (S-3.21)	N=524761.23 E=1360539.25	171.88	167.43	167.43	
SLH-5A	CLEANOUT LAMPHOLE (S-3.21)	N=524789.91 E=1360461.22	171.60	163.98	163.88	
SLH-5B	CLEANOUT LAMPHOLE (S-3.21)	N=524924.38 E=1360460.51	170.90	166.40	166.40	
SLH-6	CLEANOUT LAMPHOLE (S-3.21)	N=525084.90 E=1360392.99	173.59	168.98	168.98	

SIZE	TYPE / CLASS	TOTAL LENGTH
8"	C-900 PVC (DR-18)	36
8"	PVC (SDR-35)	832
6" (SHC)	PVC	1424
4" (SHC)	PVC	483

THE TOTAL LENGTH OF PIPE IS LINEAR FEET ONLY.
CONTRACTOR SHALL INSTALL PIPE IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

[Signature] 9/16/24
CHIEF, DEVELOPMENT ENGINEERING DIVISION

[Signature] 9/16/24
CHIEF, DIVISION OF LAND DEVELOPMENT

[Signature] 9/30/24
DIRECTOR

PARCEL C-5 OWNER BEAZER HOMES, LLC.
6085 MARSHALLEE DRIVE, SUITE 350 ELKRODGE, MD 21075
443-539-9249

OWNER TRIPLE BELL FARMS, LLC.
198 LAUREL RACE TRACK RD LAUREL, MD 20725
(301) 470-5494

OWNER/DEVELOPER 20006 DELAWARE, INC.
198 LAUREL RACE TRACK RD LAUREL, MD 20725
(301) 470-5494

NO.	REVISION	DATE
2	REVISE PLAN TO SHOW NEW ARCHITECTURE FOR UNITS 172 - 222); REVISE W&S HOUSE CONNECTIONS; REMOVE APARTMENT BUILDINGS 7-9	04/10/24
1	REVISE PLAN FOR BUILDING ARCHITECTURE (UNITS 157-171 & 223-232); AND REVISE W&S HOUSE CONNECTIONS	12/19/23

REVISED SITE DEVELOPMENT PLAN

UTILITY PROFILES

PADDOCK POINT - PHASE 3A
(FORMERLY KNOWN AS LAUREL PARK STATION)

TAX MAP: 50 BLOCK: 10
6TH ELECTION DISTRICT

PARCELS C-5 & C-2
ZONED: TOD

PARCEL 384
HOWARD COUNTY, MARYLAND

VOGEL ENGINEERING

TIMMONS GROUP
3300 NORTH RIDGE ROAD, SUITE 110, ELLICOTT CITY, MD 21043
P: 410.461.7666 F: 410.461.8961 www.timmons.com

DESIGN BY: DZE/RHV
DRAWN BY: DZE/JR
CHECKED BY: RHV
DATE: MAY 2024
SCALE: AS SHOWN
W.O. NO.: 07-11/40111

PROFESSIONAL CERTIFICATE

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A FULLY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NO. 16193

17 SHEET OF 40

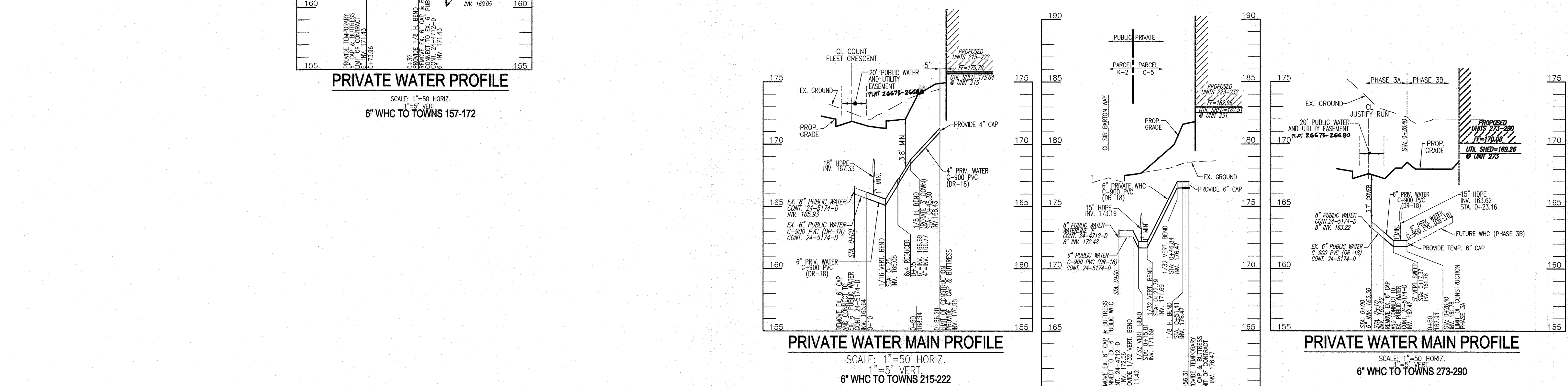
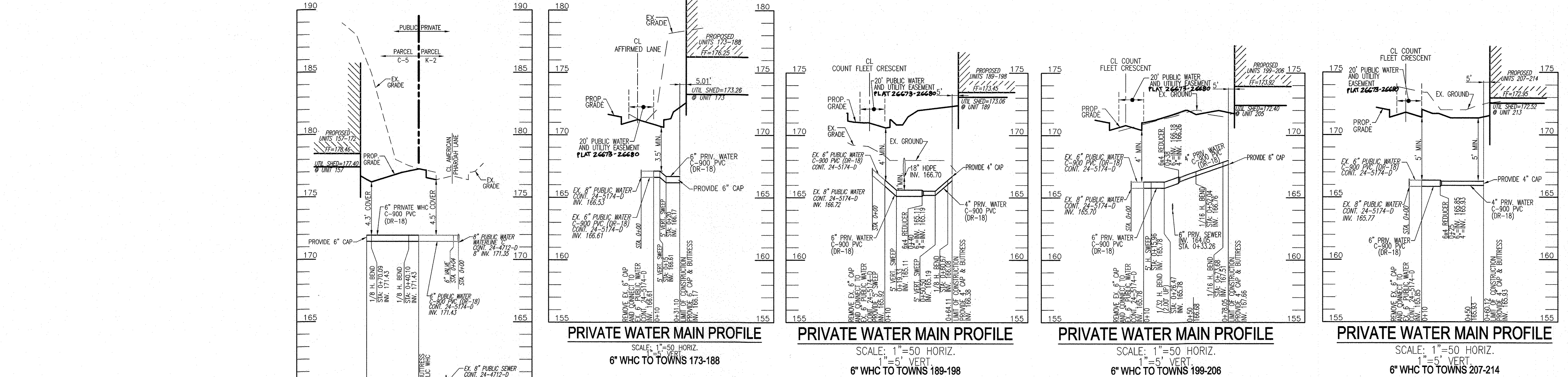
SCALE 1"=50'

PRIVATE SHC CHART

UNIT NO.	TYPE	6" INV. @ MAIN/MH	STA FROM DOWNHILL STRUCTURE	SLOPE OF MAIN	6" INV. @ SHC	4" INV. @ SHC	LF TO HOUSE	SHC SLOPE	4" INV. @ HOUSE (SFT/OFFSET)	HOUSE F.F. ELEVATION	TOP OF DRIVEWAY ELEV.	MCE
157	SHC		0+09.00		165.87	165.95			166.07	178.46	176.89	169.37
158	SHC		0+21.00		166.11	166.19			166.31	178.46	176.89	169.61
159	SHC		0+33.00		166.35	166.43			166.55	178.46	176.89	169.85
160	SHC		0+45.00		166.59	166.67			166.79	178.46	176.89	170.09
161	SHC		0+57.00		166.83	166.91			167.03	178.46	176.89	170.33
162	SHC		0+69.00		167.07	167.15			167.27	178.46	176.89	170.57
163	SHC		0+81.00		167.31	167.39			167.51	178.46	176.89	170.81
164	SHC		0+93.00		167.55	167.63			167.75	178.46	176.89	171.05
165	SHC	165.69	1+05.00	2.00%	167.79	167.87		5.65	167.99	178.46	176.89	171.29
166	SHC		1+17.00		168.03	168.11			168.23	178.46	176.89	171.53
167	SHC		1+29.00		168.27	168.35			168.47	177.13	175.56	171.77
168	SHC		1+41.00		168.51	168.59			168.71	177.13	175.56	172.01
169	SHC		1+53.00		168.75	168.83			168.95	177.13	175.56	172.25
170	SHC		1+65.00		168.99	169.07			169.19	177.13	175.56	172.49
171	SHC		1+77.00		169.23	169.31			169.43	177.13	175.56	172.73
172	SHC		1+89.00		169.47	169.55			169.67	177.13	175.56	172.97
173	SHC		0+09.00		165.47	165.55			165.67	176.25	175.43	168.97
174	SHC		0+21.00		165.71	165.79			165.91	176.25	175.43	169.21
175	SHC		0+33.00		165.95	166.03			166.15	176.25	175.43	169.45
176	SHC		0+45.00		166.19	166.27			166.39	176.25	175.43	169.69
177	SHC		0+57.00		166.43	166.51			166.63	176.25	175.43	169.93
178	SHC		0+69.00		166.67	166.75			166.87	176.25	175.43	170.17
179	SHC		0+81.00		166.91	166.99			167.11	176.25	175.43	170.41
180	SHC	165.29	0+93.00	2.00%	167.15	167.23		5.65	167.35	176.25	175.43	170.65
181	SHC		1+05.00		167.39	167.47			167.59	176.25	175.43	170.89
182	SHC		1+17.00		167.63	167.71			167.83	176.25	175.43	171.13
183	SHC		1+29.00		167.87	167.95			168.07	176.25	175.43	171.37
184	SHC		1+41.00		168.11	168.19			168.31	176.25	175.43	171.61
185	SHC		1+53.00		168.35	168.43			168.55	176.25	175.43	171.85
186	SHC		1+65.00		168.59	168.67			168.79	176.25	175.43	172.09
187	SHC		1+77.00		168.83	168.91			169.03	176.25	175.43	172.33
188	SHC		1+89.00		169.07	169.15			169.27	176.25	175.43	172.57
189	SHC		1+17.00		166.38	166.46			166.58	173.45	172.44	169.88
190	SHC		1+29.00		166.62	166.70			166.82	173.45	172.44	169.88
191	SHC		0+93.00		166.14	166.22			166.34	173.45	172.63	169.64
192	SHC		0+81.00		166.02	166.10			166.22	173.45	172.63	169.52
193	SHC	165.21	0+69.00	1.00%	165.90	165.98		5.65	166.10	173.45	172.63	169.40
194	SHC		0+57.00		165.78	165.86			165.98	173.45	172.63	169.28
195	SHC		0+45.00		165.66	165.74			165.86	173.45	172.63	169.16
196	SHC		0+33.00		165.54	165.62			165.74	173.45	172.63	169.04
197	SHC		0+21.00		165.42	165.50			165.62	173.45	172.63	168.92
198	SHC		0+09.00		165.30	165.38			165.50	173.45	172.63	168.80
199	SHC		0+09.00		165.51	165.59			165.71	173.92	172.47	169.01
200	SHC		0+21.00		165.75	165.83			165.95	173.92	172.47	169.25
201	SHC		0+33.00		165.99	166.07			166.19	173.92	172.47	169.49
202	SHC		0+45.00		166.23	166.31			166.43	173.92	172.47	169.73
203	SHC	165.33	0+57.00	2.00%	166.47	166.55		5.65	166.67	173.92	172.47	169.97
204	SHC		0+69.00		166.71	166.79			166.91	173.92	172.47	170.21
205	SHC		0+81.00		166.95	167.03			167.15	173.92	173.10	170.45
206	SHC		0+93.00		167.19	167.27			167.39	173.92	173.10	170.69
207	SHC		0+09.00		164.97	165.05			165.16	172.95	171.38	168.46
208	SHC		0+21.00		165.21	165.29			165.41	172.95	171.38	168.64
209	SHC		0+33.00		165.45	165.53			165.70	172.95	171.38	168.82
210	SHC	164.83	0+45.00	1.50%	165.69	165.77		5.65	165.90	172.95	171.38	169.00
211	SHC		0+57.00		165.93	166.01			166.13	172.95	171.38	169.18
212	SHC		0+69.00		166.17	166.25			166.38	172.95	171.38	169.36
213	SHC		0+81.00		166.41	166.49			166.62	172.95	171.38	169.54
214	SHC		0+93.00		166.65	166.73			166.86	172.95	171.38	169.72
215	SHC		0+93.00		165.76	165.84			165.96	175.79	174.97	169.26
216	SHC		0+81.00		165.64	165.72			165.84	175.79	174.97	169.14
217	SHC		0+69.00		165.52	165.60			165.72	177.12	176.11	169.02
218	SHC	164.83	0+57.00	1.00%	165.40	165.48		5.65	165.60	177.12	176.11	168.90
219	SHC		0+45.00		165.28	165.36			165.48	178.45	176.88	168.78
220	SHC		0+33.00		165.16	165.24			165.36	178.45	176.88	168.66
221	SHC		0+21.00		165.04	165.12			165.24	178.45	176.88	168.54
222	SHC		0+09.00		164.92	165.00			165.12	178.45	176.88	168.42
223	SHC		0+19.76		172.95	173.03			173.19	180.30	179.48	176.49
224	SHC		0+31.76		173.31	173.39			173.55	180.30	179.48	176.85
225	SHC		0+43.76		173.67	173.75			173.91	181.63	180.62	177.21
226	SHC		0+55.76		174.03	174.11			174.27	181.63	180.62	177.57
227	SHC	172.36	0+67.76	3.00%	174.39	174.47		7.86	174.63	182.96	181.39	177.93
228	SHC		0+79.76		174.75	174.83			174.99	182.96	181.39	178.29
229	SHC		0+91.76		175.11	175.19			175.35	182.96	181.39	178.65
230	SHC		1+03.76		175.47	175.55			175.71	182.96	181.39	179.01
231	SHC		1+15.76		175.83	175.91			176.07	182.96	181.39	179.37
232	SHC		1+27.76		176.19	176.27			176.43	182.96	181.39	179.73

NOTE: ALL SLOPES ARE 2% UNLESS OTHERWISE NOTED

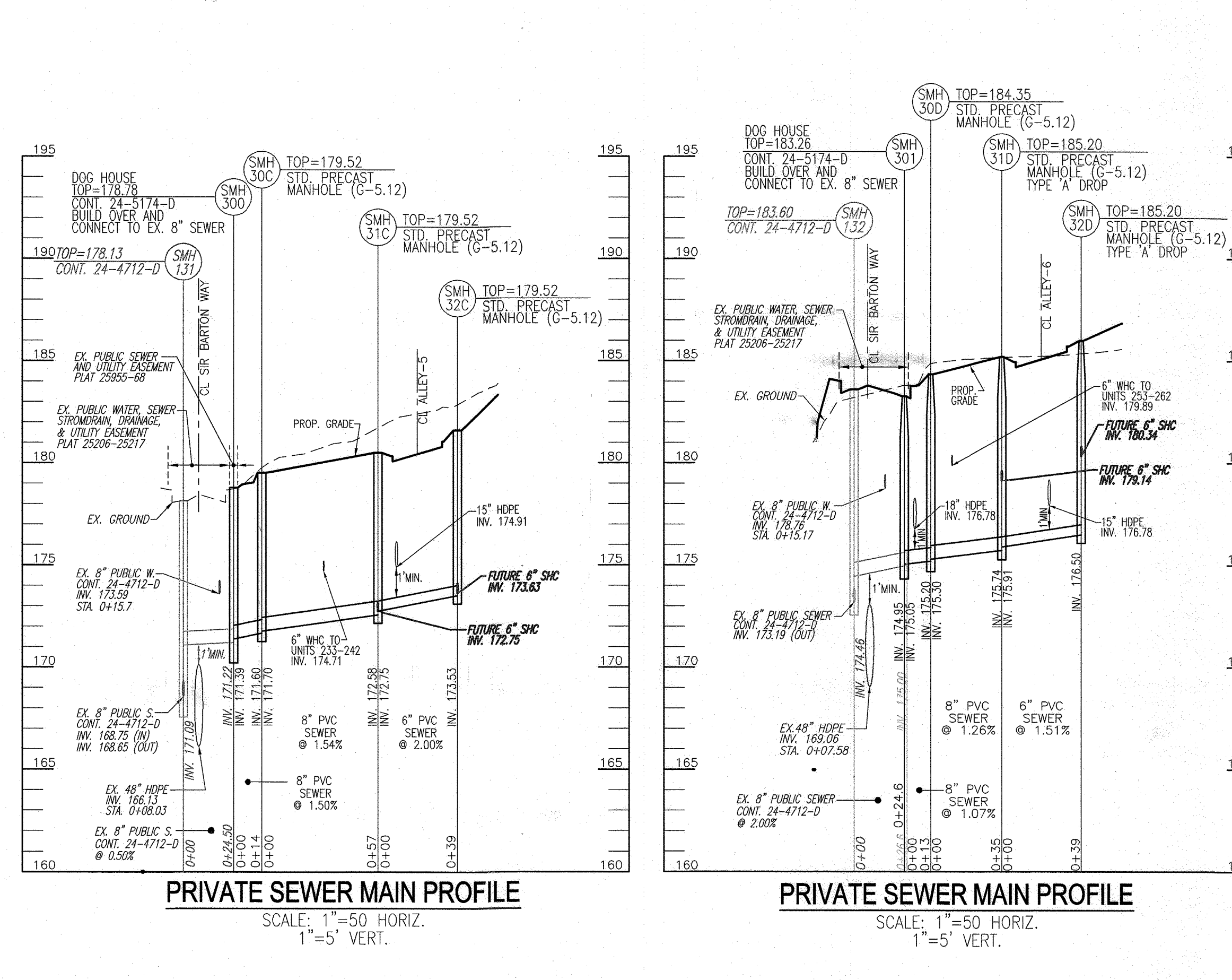
APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
 Chief, DEVELOPMENT ENGINEERING DIVISION DATE 9/16/24
 Chief, DIVISION OF LAND DEVELOPMENT DATE 9/12/24
 DIRECTOR DATE 9/30/24



PRIVATE WATER PIPE SCHEDULE

SIZE	TYPE / CLASS	TOTAL LENGTH
4" (WHC)	C-900 PVC	130
6" (WHC)	C-900 PVC	206

THE TOTAL LENGTH OF PIPE IS LINEAR FEET ONLY.
 CONTRACTOR SHALL INSTALL PIPE IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.



PARCEL C-5 OWNER	OWNER	OWNER/DEVELOPER
BEAZER HOMES, LLC. 6085 MARSHALLEY DRIVE, SUITE 350 ELKRODDE, MD 21075 443-539-9249	TRIPLE BELL FARMS, LLC. 198 LAUREL RACE TRACK RD LAUREL, MD 20725 (301) 470-5494	20006 DELAWARE, INC. LAUREL RACE TRACK RD LAUREL, MD 20725 (301) 470-5494

NO.	REVISION	DATE
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1	REVISE PLAN FOR BUILDING ARCHITECTURE (UNITS 157-171 & 223-232); AND REVISE W&S HOUSE CONNECTIONS	12/19/23

REVISED SITE DEVELOPMENT PLAN

UTILITY PROFILES

PADDOCK POINTE - PHASE 3A (FORMERLY KNOWN AS LAUREL PARK STATION)

TAX MAP: 50 BLOCK: 10 6TH ELECTION DISTRICT PARCEL C-5 & K-2 ZONED: T00 PARCEL 38A HOWARD COUNTY, MARYLAND

VOGEL ENGINEERING

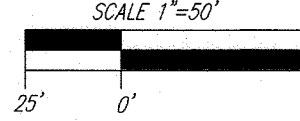
TIMMONS GROUP

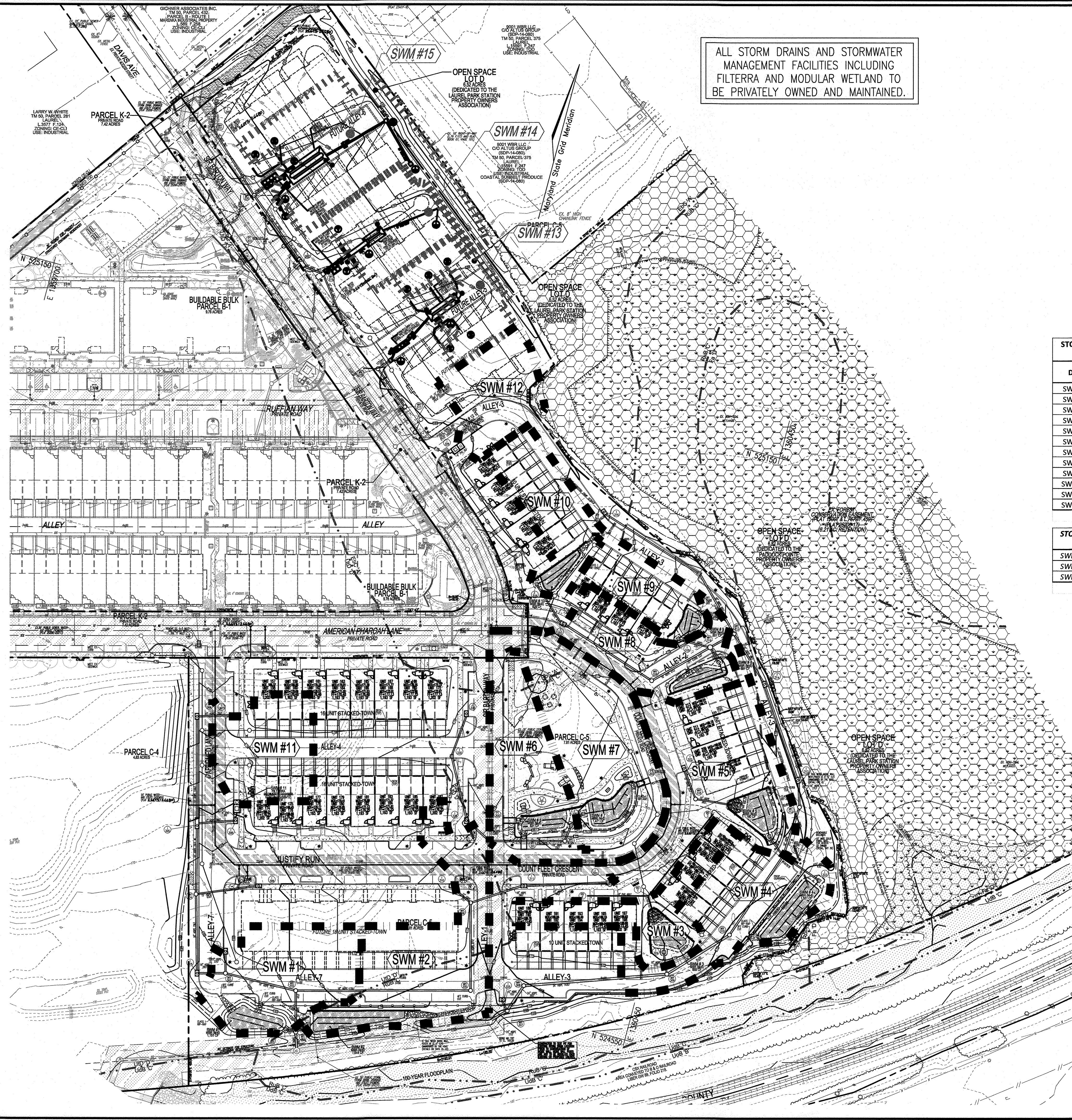
3300 NORTH RIDGE ROAD, SUITE 110, ELLICOTT CITY, MD 21104
 P: 410.461.7666 F: 410.461.8961 www.timmons.com

DESIGN BY: DZE/RHV
 DRAWN BY: DZE/JR
 CHECKED BY: RHV
 DATE: MAY 2024
 SCALE: AS SHOWN
 W.O. NO.: 07-11/46111

PROFESSIONAL CERTIFICATE
 I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND THAT I AM A FULLY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND. EXPIRATION DATE: 09-27-2024

18 SHEET 40





ALL STORM DRAINS AND STORMWATER MANAGEMENT FACILITIES INCLUDING FILTERRA AND MODULAR WETLAND TO BE PRIVATELY OWNED AND MAINTAINED.

LEGEND:

- EXISTING CURB AND GUTTER
- EXISTING CONTOUR
- PROPOSED 10' CONTOUR
- PROPOSED 2' CONTOUR
- SOILS
- EXISTING TREELINE
- PROPERTY LINE
- RIGHT-OF-WAY LINE
- EX. LIMIT OF WETLAND
- EX. WETLAND BUFFER
- PROPOSED STORM DRAIN
- PROPOSED STORM DRAIN INLET
- PROPOSED SIDEWALK
- PROPOSED CURB
- EX. FOREST CONSERVATION SEGMENT RETENTION FLAT 15007

SWM # PHASE 3A (SDP-21-013) DRAINAGE AREA LABEL

SWM # PHASE 3A (SDP-21-013) DRAINAGE AREA DIVIDE

SWM # FUTURE PHASE 3B DRAINAGE AREA LABEL

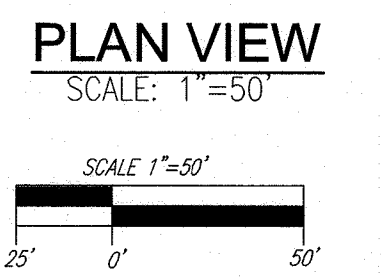
SWM # FUTURE PHASE 3B DRAINAGE AREA DIVIDE

STORMWATER MANAGEMENT DRAINAGE AREA CHART
PHASE 3A (SDP-21-013)

DA #	DRAINAGE AREA (AC)	PERCENT IMPERVIOUS	ESDv PROVIDED (cf)
SWM #1	0.31	70%	1,151
SWM #2	0.44	63%	1,644
SWM #3	0.20	60%	859
SWM #4	0.33	67%	1,551
SWM #5	0.50	62%	1,160
SWM #6	0.32	54%	839
SWM #7	0.44	42%	1,471
SWM #8	0.25	65%	681
SWM #9	0.16	74%	501
SWM #10	0.21	66%	828
SWM #11	0.22	83%	642
SWM #12	0.19	55%	376
TOTAL ESDv PROVIDED:			11,702

STORMWATER MANAGEMENT DRAINAGE AREA CHART
FUTURE PHASE 3B

SWM #13	0.15	91%	1,212
SWM #14	0.21	65%	1,161
SWM #15	0.42	66%	2,385
TOTAL ESDv PROVIDED:			4,757



PARCEL C-5 OWNER BEAZER HOMES, LLC. 8085 MARSHALLEE DRIVE, SUITE 350 ELK RIDGE, MD 21075 443-539-9249

OWNER TRIPLE BELL FARMS, LLC. 20006 DELAWARE, INC. 198 LAUREL RACE TRACK RD LAUREL, MD 20725 (301) 470-5494

OWNER/DEVELOPER 20006 DELAWARE, INC. 198 LAUREL RACE TRACK RD LAUREL, MD 20725 (301) 470-5494

NO.	REVISION	DATE
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1	REVISE PLAN FOR BUILDING ARCHITECTURE (UNITS 157-171 & 223-232); AND REVISE W&S HOUSE CONNECTIONS	12/19/23

REVISED SITE DEVELOPMENT PLAN
STORM WATER MANAGEMENT DRAINAGE AREA MAP
PADDOCK POINT - PHASE 3A
(FORMERLY KNOWN AS LAUREL PARK STATION)
76 STACKED TOWN UNITS
PARCELS C-5 & K-2
ZONED: TOD
TAX MAP: 50 BLOCK: 10
6TH ELECTION DISTRICT

VOGEL ENGINEERING
TIMMONS GROUP
3300 NORTH RIDGE ROAD, SUITE 110, ELLICOTT CITY, MD 21043
P: 410.461.7666 F: 410.461.8961 www.timmons.com

PROFESSIONAL CERTIFICATE

DESIGN BY: DZE/RHV
DRAWN BY: DZE/JR
CHECKED BY: RHV
DATE: MAY 2024
SCALE: AS SHOWN
W.O. NO.: 07-11/40111

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 16193, EXPIRES DATE: 09-27-2024

ROBERT H. VOGEL, PE, No.16193

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

Chad Plummer 9/16/24
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

Maria Sauer 9/14/24
CHIEF, DIVISION OF LAND DEVELOPMENT DATE

John A. Eschler 9/30/24
DIRECTOR DATE

SWM #	MBR Facility	MBR Facility Type	Ponding Depth (ft)	Ponding Elevation ELEV. A	Top of Mulch ELEV. B	Bottom of Mulch ELEV. C	Depth of Plant Mix	Bottom of Plant Mix ELEV. D	Bottom of Pea Gravel ELEV. E	Depth of Stone (ft.)	Invert of 4" Underdrain	Depth of Additional Stone (ft.)	Bottom of Stone ELEV. F	Depth of Stone REV ELEV. G	Bottom of Stone REV ELEV. H
SWM1	MBR (M-6)	Micro-Bioretentation (M-6)	1.00	164.00	163.00	162.75	2.00	160.75	160.42	1.00	159.75	0.00	159.42	0.83	158.59
SWM2	MBR (M-6)	Micro-Bioretentation (M-6)	1.00	167.00	166.00	165.75	2.00	163.75	163.42	1.00	162.75	0.00	162.42	0.83	161.59
SWM3	MBR (M-6)	Micro-Bioretentation (M-6)	1.00	168.50	167.50	167.25	2.00	165.25	164.92	1.00	164.25	0.50	163.92	0.83	162.59
SWM4	MBR (M-6)	Micro-Bioretentation (M-6)	1.00	168.90	167.90	167.65	2.00	165.65	165.32	1.00	164.65	0.00	164.32	0.83	163.49
SWM5	MBR (M-6)	Micro-Bioretentation (M-6)	1.00	167.76	166.76	166.51	2.00	164.51	164.18	1.00	163.51	0.00	163.18	0.83	162.35
SWM6	MBR (M-6)	Micro-Bioretentation (M-6)	1.00	170.17	169.17	168.92	2.00	166.92	166.59	1.00	165.92	0.00	165.59	0.83	164.76
SWM7	MBR (M-6)	Micro-Bioretentation (M-6)	1.00	169.55	168.55	168.30	2.00	166.30	165.97	1.00	165.30	0.00	164.97	0.83	164.14
SWM8	MBR (M-6)	Micro-Bioretentation (M-6)	1.00	169.76	168.76	168.51	2.00	166.51	166.18	1.00	165.51	0.00	165.18	0.83	164.35
SWM9	MBR (M-6)	Micro-Bioretentation (M-6)	1.00	171.85	170.85	170.60	2.00	168.60	168.27	1.00	167.60	0.00	167.27	0.83	166.44
SWM10	MBR (M-6)	Micro-Bioretentation (M-6)	1.00	176.75	175.75	175.50	2.00	173.50	173.17	1.00	172.50	0.50	171.67	0.83	170.84

APPENDIX B.4.C SPECIFICATIONS FOR MICRO-BIORETENTION, RAIN GARDEN, LANDSCAPE INFILTRATION & INFILTRATION BERMS

1. MATERIAL SPECIFICATIONS
 THE ALLOWABLE MATERIALS TO BE USED IN THESE PRACTICES ARE DETAILED IN TABLE B.4.1.

2. FILTERING MEDIA OR PLANTING SOIL
 THE SOIL SHALL BE A UNIFORM MIX, FREE OF STONES, STUMPS, ROOTS OR OTHER SIMILAR OBJECTS LARGER THAN TWO INCHES. NO OTHER MATERIALS OR SUBSTANCES SHALL BE MIXED OR DUMPED WITHIN THE MICRO-BIORETENTION PRACTICE THAT MAY BE HARMFUL TO PLANT GROWTH, OR PROVIDE A HINDRANCE TO THE PLANTING OR MAINTENANCE OPERATIONS. THE PLANTING SOIL SHALL BE FREE OF BERMUDA GRASS, QUACKGRASS, JOHNSON GRASS, OR OTHER NOXIOUS WEEDS AS SPECIFIED UNDER COMAR 15.08.01.03. THE PLANTING SOIL SHALL BE TESTED AND SHALL MEET THE FOLLOWING REQUIREMENTS:
 * SOIL COMPONENT - LOAMY SAND OR SANDY LOAM (USDA SOIL TEXTURAL CLASSIFICATION).
 * ORGANIC CONTENT - MINIMUM 10% BY DRY WEIGHT (ASTM D 2974). IN GENERAL, THIS CAN BE MET WITH A MIXTURE OF LOAMY SAND (50%-60%) AND COMPOST (50% TO 40%) OR SANDY LOAM (50%), COARSE SAND (30%), AND COMPOST (40%).
 * CLAY CONTENT - MEDIA SHALL HAVE A CLAY CONTENT OF LESS THAN 5%.
 * PH RANGE - SHOULD BE BETWEEN 5.5 - 7.0. AMENDMENTS (E.G., LIME, IRON SULFATE PLUS SULFUR) MAY BE MIXED IN TO THE SOIL TO INCREASE OR DECREASE PH.
 THERE SHALL BE AT LEAST ONE SOIL TEST PER PROJECT. EACH TEST SHALL CONSIST OF BOTH THE STANDARD SOIL TEST FOR PH, AND ADDITIONAL TESTS OF ORGANIC MATTER, AND SOLUBLE SALTS. A TEXTURAL ANALYSIS IS REQUIRED FROM THE SITE STOCKPILE. THE TOPSOIL IF TOPSOIL IS IMPORTED, THEN A TEXTURE ANALYSIS SHALL BE PERFORMED FOR EACH LOCATION WHERE THE TOPSOIL WAS EXCAVATED.

3. COMPACTION
 IT IS VERY IMPORTANT TO MINIMIZE COMPACTION OF BOTH THE BASE OF BIORETENTION PRACTICES AND THE REQUIRED BACKFILL. WHEN POSSIBLE, USE EXCAVATION HOES TO REMOVE ORIGINAL SOIL. IF PRACTICES ARE EXCAVATED USING LOADERS, THE CONTRACTOR SHOULD USE WIDE TRACK OR MARSH TRACK EQUIPMENT, OR LIGHT EQUIPMENT WITH TURF TIRE TREADS. USE OF EQUIPMENT WITH NARROW TRACKS OR NARROW TIRES, RUBBER TIRES WITH LARGE LUGS, OR HIGH-PRESSURE TIRES WILL CAUSE EXCESSIVE COMPACTION, RESULTING IN REDUCED INFILTRATION RATES AND IS NOT ACCEPTABLE. COMPACTION WILL SIGNIFICANTLY CONTRIBUTE TO DESIGN FAILURE.

COMPACTION CAN BE ALLEVIATED AT THE BASE OF THE BIORETENTION FACILITY BY USING A PRIMARY TILLING OPERATION SUCH AS CHISEL PLOW, RIPPER, OR SUBSOILER. THESE TILLING OPERATIONS ARE TO RESTRUCTURE THE SOIL PROFILE THROUGHOUT THE 12 INCH COMPACTION ZONE. SUBSTITUTE METHODS MUST BE APPROVED BY THE ENGINEER. ROTOTILLERS TYPICALLY DO NOT TILL DEEP ENOUGH TO REDUCE THE EFFECTS OF COMPACTION FROM HEAVY EQUIPMENT.

ROTOTILL 2 TO 3 INCHES OF SAND INTO THE BASE OF THE BIORETENTION FACILITY BEFORE BACKFILLING THE OPTIONAL SAND LAYER. PUMP ANY PONDED WATER BEFORE PREPARING (ROTOTILLING) BASE. WHEN BACKFILLING THE TOPSOIL OVER THE SAND LAYER, FIRST PLACE 3 TO 4 INCHES OF TOPSOIL OVER THE SAND, THEN ROTOTILL THE SAND/TOPSOIL TO CREATE A GRADATION ZONE. BACKFILL THE REMAINDER OF THE TOPSOIL TO FINAL GRADE. WHEN BACKFILLING THE BIORETENTION FACILITY, PLACE SOIL IN LIFTS 12" TO 18" DO NOT USE HEAVY EQUIPMENT WITHIN THE BIORETENTION BASIN. HEAVY EQUIPMENT CAN BE USED AROUND THE PERIMETER OF THE BASIN TO SUPPLY SANDS AND SAND. GRADE BIORETENTION MATERIALS WITH LIGHT EQUIPMENT SUCH AS A COMPACT LOADER OR A DOZER/GRADER WITH MARSH TRACKS.

4. PLANT MATERIAL
 RECOMMENDED PLANT MATERIAL FOR MICRO-BIORETENTION PRACTICES CAN BE FOUND IN APPENDIX A, SECTION A.2.3.

5. PLANT INSTALLATION
 COMPOST IS A BETTER ORGANIC MATERIAL SOURCE, IS LESS LIKELY TO FLOAT, AND SHOULD BE PLACED IN THE INVERT AND OTHER LOW AREAS. MULCH SHOULD BE PLACED IN SURROUNDING TO A UNIFORM THICKNESS OF 2" TO 3". SHREDDED OR CHIPPED HARDWOOD MULCH IS THE ONLY ACCEPTED MULCH. PINE MULCH AND WOOD CHIPS WILL FLOAT AND MOVE TO THE PERIMETER OF THE BIORETENTION AREA DURING A STORM EVENT AND ARE NOT ACCEPTABLE. SHREDDED MULCH MUST BE WELL AGED (6 TO 12 MONTHS) FOR ACCEPTANCE.

ROOTS OF THE PLANT MATERIAL SHALL BE KEPT MOST DURING TRANSPORT AND ON-SITE STORAGE. THE PLANT ROOT BALL SHOULD BE PLANTED SO 1/8TH OF THE BALL IS ABOVE FINAL GRADE SURFACE. THE DIAMETER OF THE PLANTING PIT SHALL BE AT LEAST SIX INCHES LARGER THAN THE DIAMETER OF THE PLANTING BALL. SET AND MAINTAIN THE PLANT STRAIGHT DURING THE ENTIRE PLANTING PROCESS. THOROUGHLY WATER GROUND BED COVER AFTER INSTALLATION. TREES SHALL BE BRACED USING 2" BY 2" STAKES ONLY AS NECESSARY AND FOR THE FIRST GROWING SEASON ONLY. STAKES ARE TO BE EQUALLY SPACED ON THE OUTSIDE OF THE TREE BALL.

GRASSES AND LEGUME SEED SHOULD BE BROADCAST INTO THE SOIL TO A DEPTH OF AT LEAST ONE INCH. GRASS AND LEGUME PLUGS SHALL BE PLANTED FOLLOWING THE NON-GRASS GROUND COVER PLANTING SPECIFICATIONS. THE TOPSOIL SPECIFICATIONS PROVIDE ENOUGH ORGANIC MATERIAL TO ADEQUATELY SUPPLY NUTRIENTS FROM NATURAL CYCLING. THE PRIMARY FUNCTION OF THE BIORETENTION STRUCTURE IS TO IMPROVE WATER QUALITY. ADDING FERTILIZERS, DEFECTS, OR AT A MINIMUM, IMPROVES THIS GOAL. ONLY ADD FERTILIZERS IF WOOD CHIPS OR MULCH ARE USED TO AMEND THE SOIL. ROTOTILL UREA FERTILIZER AT A RATE OF 2 POUNDS PER 1000 SQUARE FEET.

6. UNDERDRAINS
 UNDERDRAINS SHOULD MEET THE FOLLOWING CRITERIA:
 * PIPE - SHOULD BE 4" TO 6" DIAMETER, SLOTTED OR PERFORATED RIGID PLASTIC PIPE (ASTM F758, TYPE PS 28, OR AASHTO-M-278) IN A GRAVEL LAYER. THE PREFERRED MATERIAL IS SLOTTED, 4" RIGID PIPE (E.G., PVC OF HDPE).
 * PERFORATIONS - IF PERFORATED PIPE IS USED, PERFORATIONS SHOULD BE 3/8" DIAMETER LOCATED 6" ON CENTER WITH A MINIMUM OF FOUR HOLES PER ROW. PIPE SHALL BE WRAPPED WITH 1/4" (NO. 4) OR 1/2" (NO. 10) GALVANIZED HARDWARE CLOTH.
 * GRAVEL - THE GRAVEL LAYER (NO. 57 STONE PREFERRED) SHALL BE AT LEAST 3" THICK ABOVE AND BELOW THE UNDERDRAIN.
 * THE MAIN COLLECTOR PIPE SHALL BE AT A MINIMUM 0.2% SLOPE.
 * A RIGID, NON-PERFORATED OBSERVATION WELL MUST BE PROVIDED (ONE PER EVERY 1,000 SQUARE FEET) TO PROVIDE A CLEAN-OUT PORT AND MONITOR PERFORMANCE OF THE FILTER.
 * A 4" LAYER OF PEA GRAVEL (1/8" TO 3/8" STONE) SHALL BE LOCATED BETWEEN THE FILTER MEDIA AND UNDERDRAIN TO PREVENT MIGRATION OF FINES INTO THE UNDERDRAIN. THIS LAYER MAY BE CONSIDERED PART OF THE FILTER BED WHEN BED THICKNESS EXCEEDS 24".

THIS MAIN COLLECTOR PIPE FOR UNDERDRAIN SYSTEMS SHALL BE CONSTRUCTED AT A MINIMUM SLOPE OF 0.5% OBSERVATION WELLS AND/OR CLEAN-OUT PIPES MUST BE PROVIDED (ONE MINIMUM PER EVERY 1000 SQUARE FEET OF SURFACE AREA).

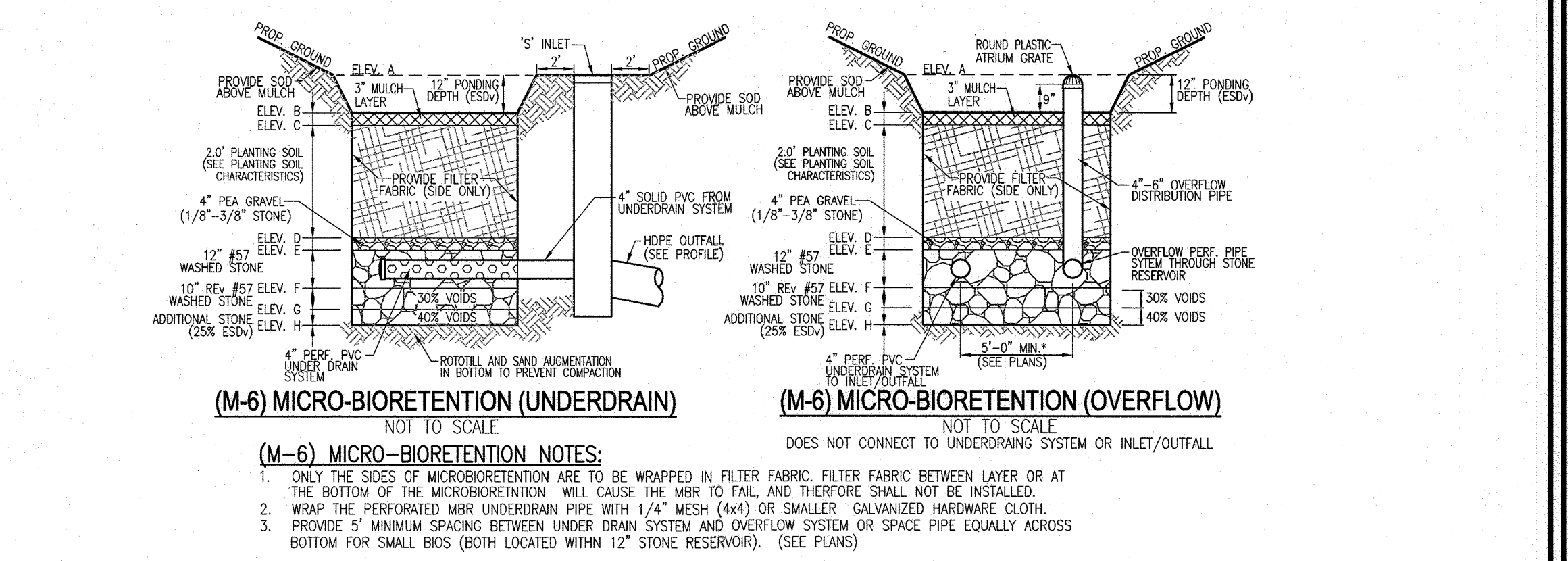
7. MISCELLANEOUS
 THESE PRACTICES MAY NOT BE CONSTRUCTED UNTIL ALL CONTRIBUTING DRAINAGE AREA HAS BEEN STABILIZED.

OPERATION AND MAINTENANCE SCHEDULE FOR LANDSCAPE INFILTRATION (M-3), MICRO-BIORETENTION (M-6), RAIN GARDENS (M-7), BIORETENTION SWALE (M-8), AND ENHANCED FILTERS (M-9)

- THE OWNER SHALL MAINTAIN THE PLANT MATERIAL, ROOTBALL LAYER AND SOIL LAYER ANNUALLY. MAINTENANCE OF MULCH AND SOIL IS LIMITED TO CORRECTING AREAS OF EROSION OR WASH OUT. ANY MULCH REPLACEMENT SHALL BE DONE IN THE SPRING. PLANT MATERIAL SHALL BE CHECKED FOR DISEASE AND INSECT INFESTATION AND MAINTENANCE WILL ADDRESS DEAD MATERIAL PRUNING. ACCEPTABLE REPLACEMENT PLANT MATERIAL IS LIMITED TO THE FOLLOWING: 2000 MARYLAND STORMWATER DESIGN MANUAL, VOLUME 1, TABLE A.4.1 AND 2.
- THE OWNER SHALL PERFORM PLANTING IN THE FALL OF EACH YEAR. DURING THE INSPECTION, THE OWNER SHALL REMOVE DEAD AND DISEASED VEGETATION CONSIDERED BEYOND TREATMENT. REPLACE DEAD PLANT MATERIAL WITH ACCEPTABLE REPLACEMENT PLANT MATERIAL. TREAT DISEASED TREES AND SHRUBS, AND REPLACE ALL DEFICIENT STAKES AND WIRES.
- THE OWNER SHALL INSPECT THE MULCH EACH SPRING. THE MULCH SHALL BE REPLACED EVERY TWO TO THREE YEARS. THE PREVIOUS MULCH LAYER SHALL BE REMOVED BEFORE THE NEW LAYER IS APPLIED.
- THE OWNER SHALL CORRECT SOIL EROSION ON AN AS NEEDED BASIS, WITH A MINIMUM OF ONCE PER MONTH AND AFTER EACH HEAVY STORM.

MICRO-BIORETENTION DATA CHART

SWM # / MBR Facility Number	MBR Facility Type	Ponding Depth (ft)	Ponding Elevation ELEV. A	Top of Mulch ELEV. B	Bottom of Mulch ELEV. C	Depth of Plant Mix	Bottom of Plant Mix ELEV. D	Bottom of Pea Gravel ELEV. E	Depth of Stone (ft.)	Invert of 4" Underdrain	Depth of Additional Stone (ft.)	Bottom of Stone ELEV. F	Depth of Stone REV ELEV. G	Bottom of Stone REV ELEV. H
SWM #1	Micro-Bioretentation (M-6)	1.00	164.00	163.00	162.75	2.00	160.75	160.42	1.00	159.75	0.00	159.42	0.83	158.59
SWM #2	Micro-Bioretentation (M-6)	1.00	167.00	166.00	165.75	2.00	163.75	163.42	1.00	162.75	0.00	162.42	0.83	161.59
SWM #3	Micro-Bioretentation (M-6)	1.00	168.50	167.50	167.25	2.00	165.25	164.92	1.00	164.25	0.50	163.92	0.83	162.59
SWM #4	Micro-Bioretentation (M-6)	1.00	168.90	167.90	167.65	2.00	165.65	165.32	1.00	164.65	0.00	164.32	0.83	163.49
SWM #5	Micro-Bioretentation (M-6)	1.00	167.76	166.76	166.51	2.00	164.51	164.18	1.00	163.51	0.00	163.18	0.83	162.35
SWM #6	Micro-Bioretentation (M-6)	1.00	170.17	169.17	168.92	2.00	166.92	166.59	1.00	165.92	0.00	165.59	0.83	164.76
SWM #7	Micro-Bioretentation (M-6)	1.00	169.55	168.55	168.30	2.00	166.30	165.97	1.00	165.30	0.00	164.97	0.83	164.14
SWM #8	Micro-Bioretentation (M-6)	1.00	169.76	168.76	168.51	2.00	166.51	166.18	1.00	165.51	0.00	165.18	0.83	164.35
SWM #9	Micro-Bioretentation (M-6)	1.00	171.85	170.85	170.60	2.00	168.60	168.27	1.00	167.60	0.00	167.27	0.83	166.44
SWM #10	Micro-Bioretentation (M-6)	1.00	176.75	175.75	175.50	2.00	173.50	173.17	1.00	172.50	0.50	171.67	0.83	170.84



Appendix B.4. Construction Specifications for Environmental Site Design Practices

Table B.4.1 Materials Specifications for Micro-Bioretentation, Rain Gardens & Landscape Infiltration-

Material	Specification	Size	Notes
Plantings	see Appendix A, Table A.4	n/a	plantings are site-specific
Planting soil [2' to 4' deep]	loamy sand (60 - 65%) & compost (35 - 40%) or sandy loam (30%), coarse sand (30%) & compost (40%)	n/a	USDA soil types loamy sand or sandy loam; clay content < 5%
Organic content	Min. 10% by dry weight (ASTM D 2974)		
Mulch	shredded hardwood		aged 6 months, minimum; no pine or wood chips
Pea gravel diaphragm	pea gravel: ASTM-D-448	NO. 8 OR NO. 9 (1/8" TO 3/8")	
Curtain drain	ornamental stone: washed cobbles	stone: 2" to 5"	
Geotextile			PE Type 1 nonwoven
Gravel (underdrains and infiltration berms)	AASHTO M-43	NO. 57 OR NO. 6 AGGREGATE (3/8" TO 3/4")	
Underdrain piping	F 758, Type PS 28 or AASHTO M-278	4" to 6" rigid schedule 40 PVC or SDR35	Slotted or perforated pipe; 3/8" perf. @ 6" on center, 4 holes per row; minimum of 3" of gravel over pipes; not necessary underdrain pipes. Perforated pipe shall be wrapped with 1/4-inch galvanized hardware cloth
Poured in place concrete (if required)	MSHA Mix No. 3; f _c = 3500 psi @ 28 days, normal weight, air-entrained; reinforcing to meet ASTM-G15-60	n/a	on-site testing of poured-in-place concrete required: 28 day strength and slump test; all concrete design (cast-in-place or pre-cast) not using previously approved State or local standards requires design drawings sealed and approved by a professional structural engineer licensed in the State of Maryland - design to include meeting ACI Code 350.R/89; vertical loading [H-10 or H-20]; allowable horizontal loading (based on soil pressures); and analysis of potential cracking
Sand	AASHTO-M-6 or ASTM-C-33	0.02" to 0.04"	Sand substitutions such as Diabase and Graystone (AASHTO) #10 are not acceptable. No calcium carbonate or dolomitic sand substitutions are acceptable. No "rock dust" can be used for sand.

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

Chad E. Easley 9/16/24
 CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

John A. Easley 9/16/24
 CHIEF, DIVISION OF LAND DEVELOPMENT DATE

John A. Easley 9/30/24
 DIRECTOR DATE

ALL STORM DRAINS AND STORMWATER MANAGEMENT FACILITIES INCLUDING FILTERRA TO BE PRIVATELY OWNED AND MAINTAINED.

PARCEL C-5 OWNER: BEAZER HOMES, LLC. 6085 MARSHALLE DRIVE, SUITE 350 LAUREL, MD 21075 443-539-9249

OWNER: TRIPLE BELL FARMS, LLC. 198 LAUREL RACE TRACK RD LAUREL, MD 20725 (301) 470-5494

OWNER/DEVELOPER: 20006 DELAWARE, INC. 198 LAUREL RACE TRACK RD LAUREL, MD 20725 (301) 470-5494

REVISED SITE DEVELOPMENT PLAN

STORMWATER MANAGEMENT NOTES AND DETAILS

PADDOCK POINTE - PHASE 3A (FORMERLY KNOWN AS LAUREL PARK STATION)

TAX MAP: 50 BLOCK: 10 6TH ELECTION DISTRICT

PARCEL 384 ZONED: T00 HOWARD COUNTY, MARYLAND

VOGEL ENGINEERING

TIMMONS GROUP

3300 NORTH RIDGE ROAD, SUITE 110, ELICOTT CITY, MD 21043 P: 410.461.7666 F: 410.461.8961 www.timmons.com

DESIGN BY: DZE/RHV
 DRAWN BY: DZE/JR
 CHECKED BY: RHV
 DATE: MAY 2024
 SCALE: AS SHOWN
 W.O. NO.: 07-11/40111

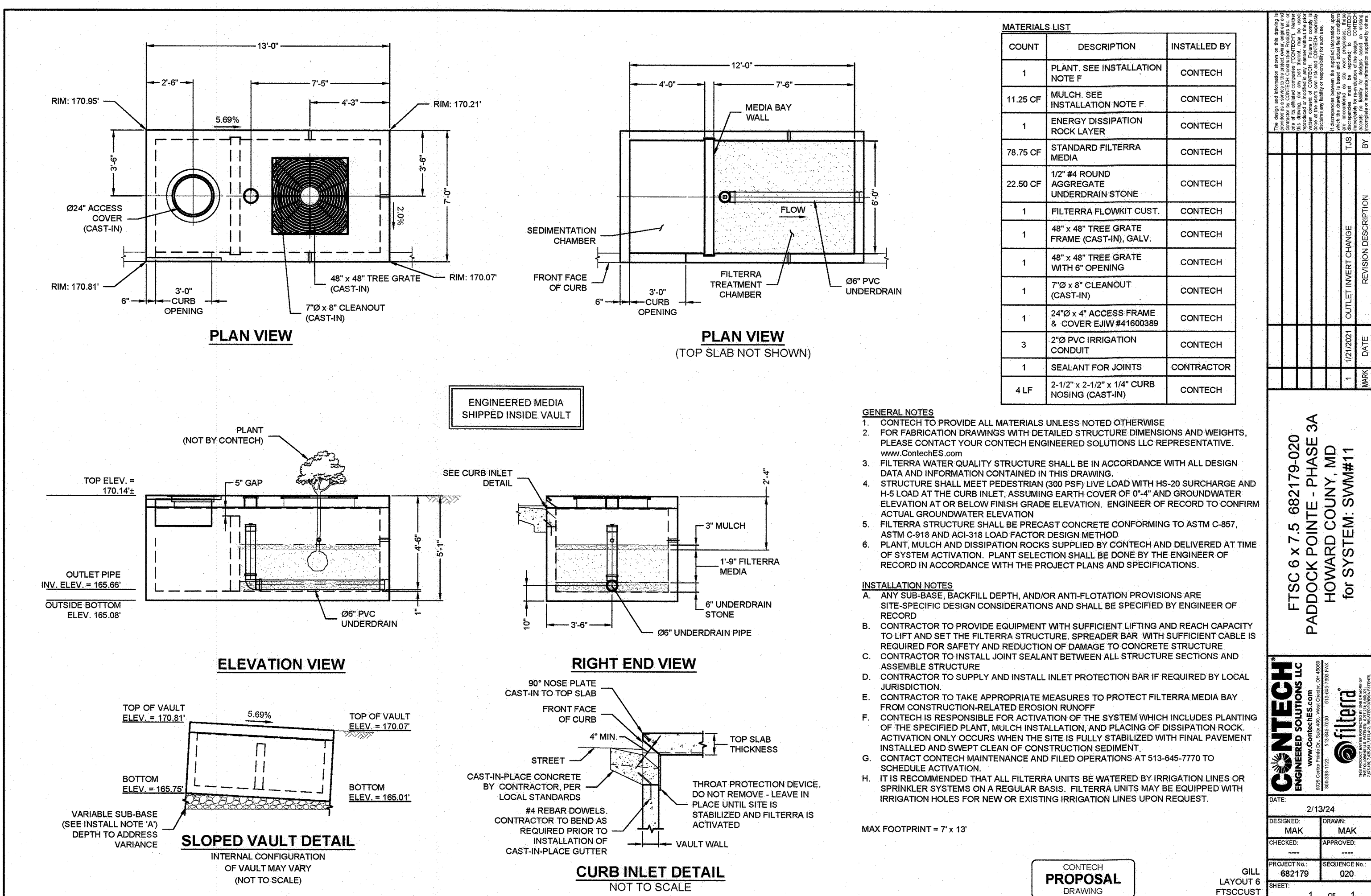
PROFESSIONAL CERTIFICATE

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND THAT I AM A duly licensed PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND. EXPIRATION DATE: 09-27-2024

ROBERT H. VOGEL, PE No. 16193

20 SHEET OF 40

SDP-21-016



COUNT	DESCRIPTION	INSTALLED BY
1	PLANT, SEE INSTALLATION NOTE F	CONTECH
11.25 CF	MULCH, SEE INSTALLATION NOTE F	CONTECH
1	ENERGY DISSIPATION ROCK LAYER	CONTECH
78.75 CF	STANDARD FILTERRA MEDIA	CONTECH
22.50 CF	12" #4 ROUND AGGREGATE UNDERDRAIN STONE	CONTECH
1	FILTERRA FLOWKIT CUST.	CONTECH
1	48" x 48" TREE GRATE FRAME (CAST-IN) GALV.	CONTECH
1	48" x 48" TREE GRATE WITH 6" OPENING	CONTECH
1	7'0" x 8" CLEANOUT (CAST-IN)	CONTECH
1	24" x 4" ACCESS FRAME & COVER E.I.W.#41600389	CONTECH
3	2" PVC IRRIGATION CONDUIT	CONTECH
1	SEALANT FOR JOINTS	CONTRACTOR
4 LF	2-1/2" x 2-1/2" x 1/4" CURB NOSING (CAST-IN)	CONTECH

GENERAL NOTES

- CONTECH TO PROVIDE ALL MATERIALS UNLESS NOTED OTHERWISE
- FOR FABRICATION DRAWINGS WITH DETAILED STRUCTURE DIMENSIONS AND WEIGHTS, PLEASE CONTACT YOUR CONTECH ENGINEERED SOLUTIONS LLC REPRESENTATIVE. www.conteches.com
- FILTERRA WATER QUALITY STRUCTURE SHALL BE IN ACCORDANCE WITH ALL DESIGN DATA AND INFORMATION CONTAINED IN THIS DRAWING.
- STRUCTURE SHALL MEET PEDESTRIAN (200 PSF) LIVE LOAD WITH HS-20 SURCHARGE AND H-15 LOAD AT THE CURB INLET, ASSUMING EARTH COVER OF 0'-4" AND GROUNDWATER ELEVATION AT OR BELOW FINISH GRADE ELEVATION. ENGINEER OF RECORD TO CONFIRM ACTUAL GROUNDWATER ELEVATION.
- FILTERRA STRUCTURE SHALL BE PRECAST CONCRETE CONFORMING TO ASTM C-857, ASTM C-918 AND ACI-318 LOAD FACTOR DESIGN METHOD.
- PLANT, MULCH AND DISSIPATION ROCKS SUPPLIED BY CONTECH AND DELIVERED AT TIME OF SYSTEM ACTIVATION. PLANT SELECTION SHALL BE DONE BY THE ENGINEER OF RECORD IN ACCORDANCE WITH THE PROJECT PLANS AND SPECIFICATIONS.

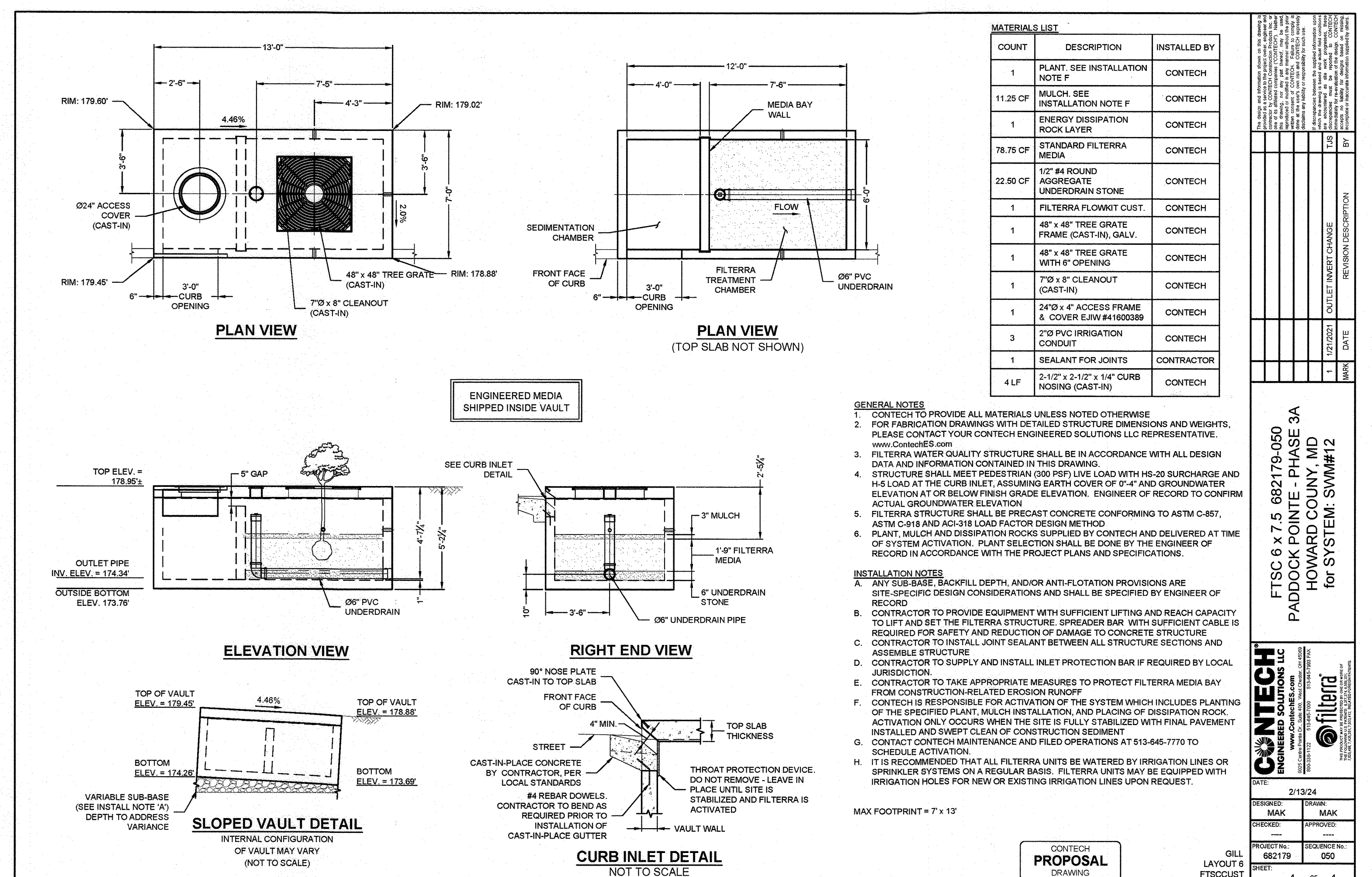
INSTALLATION NOTES

- ANY SUB-BASE BACKFILL DEPTH, AND/OR ANTI-FLOTATION PROVISIONS ARE SITE-SPECIFIC DESIGN CONSIDERATIONS AND SHALL BE SPECIFIED BY ENGINEER OF RECORD.
- CONTRACTOR TO PROVIDE EQUIPMENT WITH SUFFICIENT LIFTING AND REACH CAPACITY TO LIFT AND SET THE FILTERRA STRUCTURE. SPREADER BAR WITH SUFFICIENT CABLE IS REQUIRED FOR SAFETY AND REDUCTION OF DAMAGE TO CONCRETE STRUCTURE.
- CONTRACTOR TO INSTALL JOINT SEALANT BETWEEN ALL STRUCTURE SECTIONS AND ASSEMBLE STRUCTURE.
- CONTRACTOR TO SUPPLY AND INSTALL INLET PROTECTION BAR IF REQUIRED BY LOCAL JURISDICTION.
- CONTRACTOR TO TAKE APPROPRIATE MEASURES TO PROTECT FILTERRA MEDIA BAY FROM CONSTRUCTION-RELATED EROSION RUNOFF.
- CONTECH IS RESPONSIBLE FOR ACTIVATION OF THE SYSTEM WHICH INCLUDES PLANTING OF THE SPECIFIED PLANT, MULCH INSTALLATION, AND PLACING OF DISSIPATION ROCK. ACTIVATION ONLY OCCURS WHEN THE SITE IS FULLY STABILIZED WITH FINAL PAVEMENT INSTALLED AND SWEEP CLEAN OF CONSTRUCTION SEDIMENT.
- CONTACT CONTECH MAINTENANCE AND FILED OPERATIONS AT 513-645-7770 TO SCHEDULE ACTIVATION.
- IT IS RECOMMENDED THAT ALL FILTERRA UNITS BE WATERED BY IRRIGATION LINES OR SPRINKLER SYSTEMS ON A REGULAR BASIS. FILTERRA UNITS MAY BE EQUIPPED WITH IRRIGATION HOLES FOR NEW OR EXISTING IRRIGATION LINES UPON REQUEST.

MAX FOOTPRINT = 7' x 13'

FTSC 6 x 7.5 682179-020
 PADDOCK POINTE - PHASE 3A
 HOWARD COUNTY, MD
 for SYSTEM: SWM#11

CONTECH ENGINEERED SOLUTIONS LLC
 1102021 OUTLET INVERT CHANGE
 DATE: 2/13/24
 DESIGNED: MAK
 CHECKED: MAK
 PROJECT NO: 682179
 SHEET NO: 020
 SHEET: 1 of 1



COUNT	DESCRIPTION	INSTALLED BY
1	PLANT, SEE INSTALLATION NOTE F	CONTECH
11.25 CF	MULCH, SEE INSTALLATION NOTE F	CONTECH
1	ENERGY DISSIPATION ROCK LAYER	CONTECH
78.75 CF	STANDARD FILTERRA MEDIA	CONTECH
22.50 CF	12" #4 ROUND AGGREGATE UNDERDRAIN STONE	CONTECH
1	FILTERRA FLOWKIT CUST.	CONTECH
1	48" x 48" TREE GRATE FRAME (CAST-IN) GALV.	CONTECH
1	48" x 48" TREE GRATE WITH 6" OPENING	CONTECH
1	7'0" x 8" CLEANOUT (CAST-IN)	CONTECH
1	24" x 4" ACCESS FRAME & COVER E.I.W.#41600389	CONTECH
3	2" PVC IRRIGATION CONDUIT	CONTECH
1	SEALANT FOR JOINTS	CONTRACTOR
4 LF	2-1/2" x 2-1/2" x 1/4" CURB NOSING (CAST-IN)	CONTECH

GENERAL NOTES

- CONTECH TO PROVIDE ALL MATERIALS UNLESS NOTED OTHERWISE
- FOR FABRICATION DRAWINGS WITH DETAILED STRUCTURE DIMENSIONS AND WEIGHTS, PLEASE CONTACT YOUR CONTECH ENGINEERED SOLUTIONS LLC REPRESENTATIVE. www.conteches.com
- FILTERRA WATER QUALITY STRUCTURE SHALL BE IN ACCORDANCE WITH ALL DESIGN DATA AND INFORMATION CONTAINED IN THIS DRAWING.
- STRUCTURE SHALL MEET PEDESTRIAN (200 PSF) LIVE LOAD WITH HS-20 SURCHARGE AND H-15 LOAD AT THE CURB INLET, ASSUMING EARTH COVER OF 0'-4" AND GROUNDWATER ELEVATION AT OR BELOW FINISH GRADE ELEVATION. ENGINEER OF RECORD TO CONFIRM ACTUAL GROUNDWATER ELEVATION.
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INSTALLATION NOTES

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- IT IS RECOMMENDED THAT ALL FILTERRA UNITS BE WATERED BY IRRIGATION LINES OR SPRINKLER SYSTEMS ON A REGULAR BASIS. FILTERRA UNITS MAY BE EQUIPPED WITH IRRIGATION HOLES FOR NEW OR EXISTING IRRIGATION LINES UPON REQUEST.

MAX FOOTPRINT = 7' x 13'

FTSC 6 x 7.5 682179-050
 PADDOCK POINTE - PHASE 3A
 HOWARD COUNTY, MD
 for SYSTEM: SWM#12

CONTECH ENGINEERED SOLUTIONS LLC
 1102021 OUTLET INVERT CHANGE
 DATE: 2/13/24
 DESIGNED: MAK
 CHECKED: MAK
 PROJECT NO: 682179
 SHEET NO: 050
 SHEET: 1 of 1

OPERATION AND MAINTENANCE SCHEDULE FOR PRIVATELY OWNED AND MAINTAINED FILTERRA DEVICES

ACTIVATION

- ACTIVATION OF THE FILTERRA UNIT IS PERFORMED ONLY BY THE SUPPLIER. PURCHASER IS RESPONSIBLE FOR FILTERRA INLET PROTECTION AND SUBSEQUENT CLEAN OUT COST. THIS PROCESS CANNOT COMMENCE UNTIL THE PROJECT SITE IS FULLY STABILIZED AND CLEANED (FULL LANDSCAPING, GRASS COVER, FINAL PAVING AND STREET SWEEPING COMPLETED), NEGATING THE CHANCE OF CONSTRUCTION MATERIALS CONTAMINATING THE FILTERRA SYSTEM. CARE SHALL BE TAKEN DURING CONSTRUCTION NOT TO DAMAGE THE PROTECTIVE THROAT AND TOP PLATE.

MAINTENANCE

- EACH CORRECTLY INSTALLED FILTERRA UNIT IS TO BE MAINTAINED BY THE SUPPLIER, OR A SUPPLIER APPROVED CONTRACTOR FOR A MINIMUM PERIOD OF 1 YEAR. THE COST OF THIS SERVICE IS TO BE INCLUDED IN THE PRICE OF EACH FILTERRA UNIT. EXTENDED MAINTENANCE CONTRACTS ARE AVAILABLE AT EXTRA COST UPON REQUEST.
- ANNUAL MAINTENANCE CONSISTS OF A MAXIMUM OF (2) SCHEDULED VISITS. THE VISITS ARE SCHEDULED SEASONALLY - THE SPRING VISIT IS TO CLEAN UP AFTER WINTER LOADS INCLUDING SALTS AND SANDS. THE FALL VISIT HELPS THE SYSTEM BY REMOVING EXCESSIVE LEAF LITTER.
- EACH MAINTENANCE VISIT CONSISTS OF THE FOLLOWING TASKS:
 - FILTERRA UNIT INSPECTION.
 - FORDRA DEBRIS: SEE MULCH & TRASH REMOVAL.
 - FILTER MEDIA EVALUATION AND RECHARGE AS NECESSARY.
 - PLANT HEALTH EVALUATION AND PRUNING OR REPLACEMENT AS NECESSARY.
 - REPLACEMENT OF MULCH.
 - DISPOSAL OF ALL MAINTENANCE DEBRIS ITEMS.
 - MAINTENANCE RECORDS UPDATED AND STORED (REPORTS AVAILABLE UPON REQUEST).
 - DEWATERING THE SEDIMENT CHAMBER WITH ALL INSPECTIONS, TRASH/DEBRIS REMOVAL WITHIN THE CHAMBER.
 - THE BEGINNING AND ENDING DATE OF THE SUPPLIER'S OBLIGATION TO MAINTAIN THE INSTALLED SYSTEM SHALL BE DETERMINED BY THE SUPPLIER AT THE TIME THE SYSTEM IS ACTIVATED. OWNERS MUST PROMPTLY NOTIFY THE SUPPLIER OF ANY DAMAGE TO THE PLANT(S), WHICH CONSTITUTE(S) AND INTERNAL PART OF THE BIODEGRADATION TECHNOLOGY.

FILTERRA GENERAL NOTES

- CONTECH TO PROVIDE ALL MATERIALS UNLESS NOTED OTHERWISE
- FOR FABRICATION DRAWINGS WITH DETAILED STRUCTURE DIMENSIONS AND WEIGHTS, PLEASE CONTACT YOUR CONTECH ENGINEERED SOLUTIONS LLC REPRESENTATIVE. www.conteches.com
- FILTERRA WATER QUALITY STRUCTURE SHALL BE IN ACCORDANCE WITH ALL DESIGN DATA AND INFORMATION CONTAINED IN THIS DRAWING.
- STRUCTURE SHALL MEET PEDESTRIAN (200 PSF) LIVE LOAD WITH HS-20 SURCHARGE AND H-15 LOAD AT THE CURB INLET, ASSUMING EARTH COVER OF 0'-4" AND GROUNDWATER ELEVATION AT OR BELOW FINISH GRADE ELEVATION. ENGINEER OF RECORD TO CONFIRM ACTUAL GROUNDWATER ELEVATION.
- FILTERRA STRUCTURE SHALL BE PRECAST CONCRETE CONFORMING TO ASTM C-857, ASTM C-918 AND ACI-318 LOAD FACTOR DESIGN METHOD.
- PLANT, MULCH AND DISSIPATION ROCKS SUPPLIED BY CONTECH AND DELIVERED AT TIME OF SYSTEM ACTIVATION. PLANT SELECTION SHALL BE DONE BY THE ENGINEER OF RECORD IN ACCORDANCE WITH THE PROJECT PLANS AND SPECIFICATIONS.

FILTERRA INSTALLATION NOTES

- ANY SUB-BASE BACKFILL DEPTH, AND/OR ANTI-FLOTATION PROVISIONS ARE SITE-SPECIFIC DESIGN CONSIDERATIONS AND SHALL BE SPECIFIED BY ENGINEER OF RECORD.
- CONTRACTOR TO PROVIDE EQUIPMENT WITH SUFFICIENT LIFTING AND REACH CAPACITY TO LIFT AND SET THE FILTERRA STRUCTURE. SPREADER BAR WITH SUFFICIENT CABLE IS REQUIRED FOR SAFETY AND REDUCTION OF DAMAGE TO CONCRETE STRUCTURE.
- CONTRACTOR TO INSTALL JOINT SEALANT BETWEEN ALL STRUCTURE SECTIONS AND ASSEMBLE STRUCTURE.
- CONTRACTOR TO SUPPLY AND INSTALL INLET PROTECTION BAR IF REQUIRED BY LOCAL JURISDICTION.
- CONTRACTOR TO TAKE APPROPRIATE MEASURES TO PROTECT FILTERRA MEDIA BAY FROM CONSTRUCTION-RELATED EROSION RUNOFF.
- CONTECH IS RESPONSIBLE FOR ACTIVATION OF THE SYSTEM WHICH INCLUDES PLANTING OF THE SPECIFIED PLANT, MULCH INSTALLATION, AND PLACING OF DISSIPATION ROCK. ACTIVATION ONLY OCCURS WHEN THE SITE IS FULLY STABILIZED WITH FINAL PAVEMENT INSTALLED AND SWEEP CLEAN OF CONSTRUCTION SEDIMENT.
- CONTACT CONTECH MAINTENANCE AND FILED OPERATIONS AT 513-645-7770 TO SCHEDULE ACTIVATION.
- IT IS RECOMMENDED THAT ALL FILTERRA UNITS BE WATERED BY IRRIGATION LINES OR SPRINKLER SYSTEMS ON A REGULAR BASIS. FILTERRA UNITS MAY BE EQUIPPED WITH IRRIGATION HOLES FOR NEW OR EXISTING IRRIGATION LINES UPON REQUEST.

FROM	TO	ELEV AT INLET #	TOP OF STRUCTURE	FILTERRA DEPTH (FT)	INV. OUT	DIA (IN.) & TYPE OF	LENGTH TO INLET (LF)	INV. IN AT INLET
SWM#11	I-308	170.06	170.66	5.00	165.66	6" PVC	9	165.44
SWM#12	I-326	178.74	179.34	5.00	174.34	6" PVC	8	174.14

ALL STORM DRAINS AND STORMWATER MANAGEMENT FACILITIES INCLUDING FILTERRA TO BE PRIVATELY OWNED AND MAINTAINED.

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

Chad Clark 9/16/24
 CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

John E. Esler 9/20/24
 CHIEF, DIVISION OF LAND DEVELOPMENT DATE

John E. Esler 9/20/24
 DIRECTOR DATE

PARCEL C-5 OWNER: BEAZER HOMES, LLC, 6085 MARSHALLEE DRIVE, SUITE 350, ELLSWORTH, MD 21075, 443-539-9249

OWNER: TRIPLE BELL FARMS, LLC, 198 LAUREL RACE TRACK RD, LAUREL, MD 20725, (301) 470-5494

OWNER/DEVELOPER: 20006 DELAWARE, INC., 198 LAUREL RACE TRACK RD, LAUREL, MD 20725, (301) 470-5494

2 REVISE PLAN FOR BUILDING ARCHITECTURE (UNITS 172 - 222); REVISE W&S HOUSE CONNECTIONS; REMOVE APARTMENT BUILDINGS 7, 8 & 9

NO. REVISION DATE

REVISED SITE DEVELOPMENT PLAN
 STORMWATER MANAGEMENT NOTES AND DETAILS
 PADDOCK POINTE - PHASE 3A
 (FORMERLY KNOWN AS LAUREL PARK STATION)
 PARCELS C-5 & A-2
 ZONED: TOD
 TAX MAP: 50 BLOCK: 10
 6TH ELECTION DISTRICT

VOGEL ENGINEERING
 TIMMONS GROUP
 3300 NORTH RIDGE ROAD, SUITE 110, ELLCOTT CITY, MD 21043
 P: 410.461.7666 F: 410.461.8961 www.timmons.com

DESIGN BY: DZE/RHV
 DRAWN BY: DZE/JR
 CHECKED BY: RHV
 DATE: MAY 2024
 SCALE: AS SHOWN
 W.O. NO.: 07-11/40111

PROFESSIONAL CERTIFICATE
 I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A FULLY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NO. 16193 EXPIRATION DATE: 09-27-2024

ROBERT H. VOGEL, PE No.16193

21 SHEET OF 40

SDP-21-016

PRIVATE STREET TREE CALCULATIONS			
STREET NAME	LINEAR FEET	NO. REQUIRED	NO. PROVIDED
AFFIRMED LANE (1 SIDE)	185/40	5	5
COUNT FLEET CRESCENT & JUSTIFY RUN (711x2)	1,422/40	36	36
SIR BARTON WAY (SOUTH OF AMERICAN PHAROAH) (225 + 93 + 91)	389/40	10	10
EX. SIR BARTON WAY (NORTH OF AMERICAN PHAROAH) (165 - 1 SIDE)	165/40	5	5
SIR BARTON WAY (NORTH OF RUFFAW WAY) (238 - 1 SIDE)	238/40	6	6
TOTALS		62	62

PRIVATE STREET TREE PLANT LIST				
KEY	QUAN.	BOTANICAL NAME	SIZE	REM.
QC	43	QUERCUS COCINEA SCARLET OAK	2 1/2"-3" CAL.	B & B
ZS	1	ZELKOVA SERRATA 'VILLAGE GREEN' VILLAGE GREEN JAPANESE ZELKOVA	2.5"-3" CAL.	B & B
QR	18	QUERCUS ROBUR 'FASTIGIATA' COLUMNAR ENGLISH OAK	2.5"-3" CAL.	B & B
TOTAL	62			

SCHEDULE 'A' PERIMETER LANDSCAPE EDGE					
CATEGORY	ADJACENT TO PERIMETER	TOTAL TREES	PERMANENT	TEMPORARY	TOTALS
PERIMETER/FRONTAGE DESIGNATION	A	2	2	0	
LANDSCAPE TYPE	A	2	2	0	
LINEAR FEET OF ROADWAY FRONTAGE/PERIMETER	174	368	565		
CREDIT FOR EXISTING VEGETATION (YES, NO, LINEAR FEET DESCRIBE BELOW IF NEEDED)	No	No	No		
CREDIT FOR WALL, FENCE OR BERM (YES, NO, LINEAR FEET DESCRIBE BELOW IF NEEDED)	No	No	No		
NUMBER OF PLANTS REQUIRED					
SHADE TREES		160	10		
EVERGREEN TREES					
NUMBER OF PLANTS PROVIDED					
SHADE TREES			10		
EVERGREEN TREES					
OTHER TREES (2:1 SUBSTITUTION)					
SHRUBS (10:1 SUBSTITUTION)					
DESCRIBE PLANT SUBSTITUTION CREDITS BELOW IF NEEDED					

PLANT LIST - SCHEDULE 'A' (PERIMETER)				
SYMB.	KEY	QUANTITY	BOTANICAL NAME	CAT.
	ZS	10	ZELKOVA SERRATA 'VILLAGE GREEN' JAPANESE ZELKOVA	B & B
TOTAL		10		

SCHEDULE 'B' PARKING LOT INTERNAL LANDSCAPING			
NUMBER OF PARKING SPACES	NUMBER OF TREES REQUIRED (1:10)	NUMBER OF TREES PROVIDED	OTHER TREES (2:1 SUBSTITUTION)
58	6	6	6

PLANT LIST - SCHEDULE 'B' (PARKING LOT)				
KEY	QUAN.	BOTANICAL NAME	SIZE	CAT.
ST	6	QUERUS TRACANTHOS F. INERMIS 'IMPOLE' IMPERIAL HONEY LOCUST	2.5"-3" CAL.	B & B
TOTAL	6			

LANDSCAPE SCHEDULE 'C'			
NUMBER OF DWELLING UNITS	NUMBER OF TREES REQUIRED (1:1 DU SFA)	NUMBER OF TREES PROVIDED	OTHER TREES (2:1 SUBSTITUTION)
76 SFA	76 TOTAL	61	30
		61	0

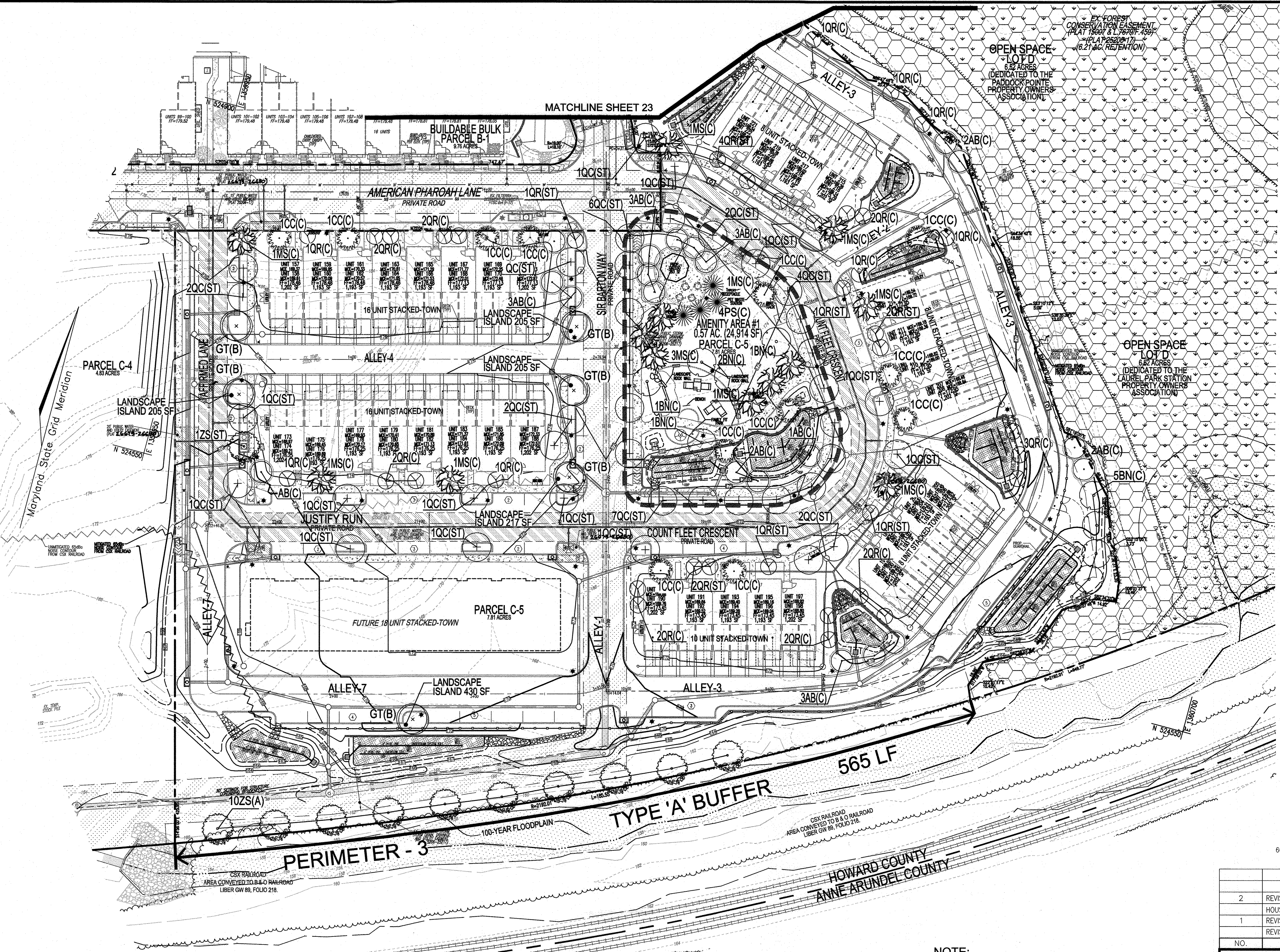
PLANT LIST - SCHEDULE 'C' (RESIDENTIAL)				
KEY	QUAN.	BOTANICAL NAME	SIZE	CAT.
BN	10	BETULA NIAGRA 'NIMT' DURA-HEAT RIVER BIRCH	10'-12" HT.	B & B
AB	25	ACER BURGERIANUM TRIDENT MAPLE	2.5"-3" CAL.	B & B
QR	26	QUERCUS ROBUR 'FASTIGIATA' COLUMNAR ENGLISH OAK	2.5"-3" CAL.	B & B
PS	4	PINUS STROBUS EASTERN WHITE PINE	6'-8" HT.	B & B
CC	13	CERCIS CANDIDENSIS EASTERN REDBUD	1.5"-2" CAL.	B & B
MS	61	MAGNOLIA X SOULANGANA SAUCER MAGNOLIA	6'-8" HT.	B & B
TOTAL	130			

GENERAL NOTES:
 1. THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE PROVISIONS OF SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL. THE REQUIRED PARKING AND PERIMETER LANDSCAPING WILL BE BONDED PER THIS SUBMISSION.
 2. FINANCIAL SURETY FOR THE REQUIRED LANDSCAPING HAS BEEN POSTED AS PART OF THE DEVELOPER'S AGREEMENT FOR THIS SITE DEVELOPMENT PLAN IN THE AMOUNT OF \$46,200 FOR THE REQUIRED 164 SHADE TREES.

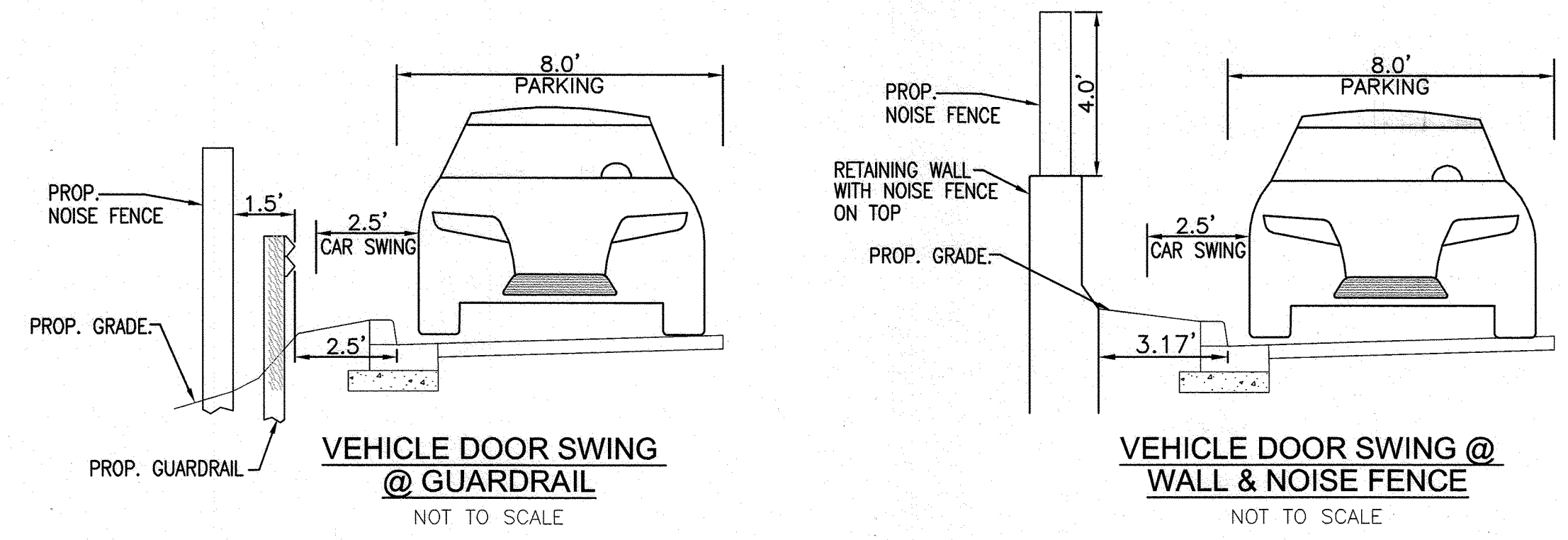
LANDSCAPE SCHEDULE NOTES:
 1. AT THE TIME OF PLANT INSTALLATION, ALL SHRUBS AND TREES LISTED AND APPROVED ON THE LANDSCAPE PLAN SHALL COMPLY WITH THE PROPER HEIGHT REQUIREMENTS, BE FULL AND HEAVY, BE WELL FORMED AND SYMMETRICAL, IN ACCORDANCE WITH THE HOWARD COUNTY LANDSCAPE MANUAL. IN ADDITION, NO SUBSTITUTIONS OR RELOCATIONS OF THE REQUIRED PLANTINGS MAY BE MADE WITHOUT PRIOR REVIEW AND APPROVAL FROM THE DEPARTMENT OF PLANNING AND ZONING. ANY DEVIATION FROM THE APPROVED LANDSCAPE PLAN MAY RESULT IN DELAY OR CANCELLATION OF THE RELEASE OF LANDSCAPE SURETY UNTIL SUCH TIME AS ALL REQUIRED MATERIALS ARE PLANTED AND/OR REVISIONS ARE MADE TO THE APPLICABLE PLANS.
 2. THE OWNER, TENANT AND/OR THEIR AGENTS SHALL BE RESPONSIBLE FOR MAINTENANCE OF THE REQUIRED LANDSCAPING INCLUDING BOTH PLANT MATERIALS AND BERMS, FENCES AND WALLS. ALL PLANT MATERIALS SHALL BE MAINTAINED IN GOOD GROWING CONDITION, AND WHEN NECESSARY, RELOCATED WITH NEAR MATERIALS TO ENSURE CONTINUED COMPLIANCE WITH APPLICABLE REGULATIONS. ALL OTHER REQUIRED LANDSCAPING SHALL BE PERMANENTLY MAINTAINED IN GOOD CONDITION, AND WHEN NECESSARY, REPAIRED OR REPLACED.
 3. SHOULD ANY TREE BE REQUIRED FOR PRESERVATION FOR WHICH LANDSCAPING CREDIT IS GIVEN, DIE PRIOR TO RELEASE OF BONDS, THE OWNER WILL BE REQUIRED TO REPLACE THE TREE WITH THE EQUIVALENT SPECIES OR WITH A TREE WHICH WILL OBTAIN THE SAME HEIGHT, SPREAD, AND GROWTH CHARACTERISTICS. THE REPLACEMENT TREE MUST BE A MINIMUM OF 3 INCHES IN CALIPER AND INSTALLED AS REQUIRED IN THE HOWARD COUNTY LANDSCAPE MANUAL.
 4. CONTRACTOR SHALL VERIFY LOCATION OF ALL UNDERGROUND UTILITIES PRIOR TO DIGGING.
 5. FINAL LOCATION OF PLANT MATERIAL MAY NEED TO VARY TO MEET FINAL FIELD CONDITIONS. TREES SHALL NOT BE PLANTED IN THE BOTTOM OF DRAINAGE SWALES.
 6. CONTRACTOR SHALL VERIFY PLANT QUANTITIES PRIOR TO BIDDING. IF PLAN DIFFERS FROM LANDSCAPE SCHEDULE, THE PLAN SHALL GOVERN.

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
 [Signature] 9/16/24
 CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

DEVELOPER'S/BUILDER'S CERTIFICATE
 I/WE CERTIFY THAT THE LANDSCAPING SHOWN ON THIS PLAN WILL BE DONE ACCORDING TO THE PLAN, SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE HOWARD COUNTY LANDSCAPE MANUAL. I/WE FURTHER CERTIFY THAT UPON COMPLETION, A CERTIFICATION OF LANDSCAPE INSTALLATION, ACCOMPANIED BY AN EXECUTED ONE (1) YEAR GUARANTEE OF PLANT MATERIALS, WILL BE SUBMITTED TO THE DEPARTMENT OF PLANNING AND ZONING.
 [Signature] 5/16/2024
 SIGNATURE OF DEVELOPER DATE



LANDSCAPE PLAN
 SCALE: 1"=40'



NOTE:
 1. SEE SHEET 23 FOR AMENITY DETAILS.

LEGEND:

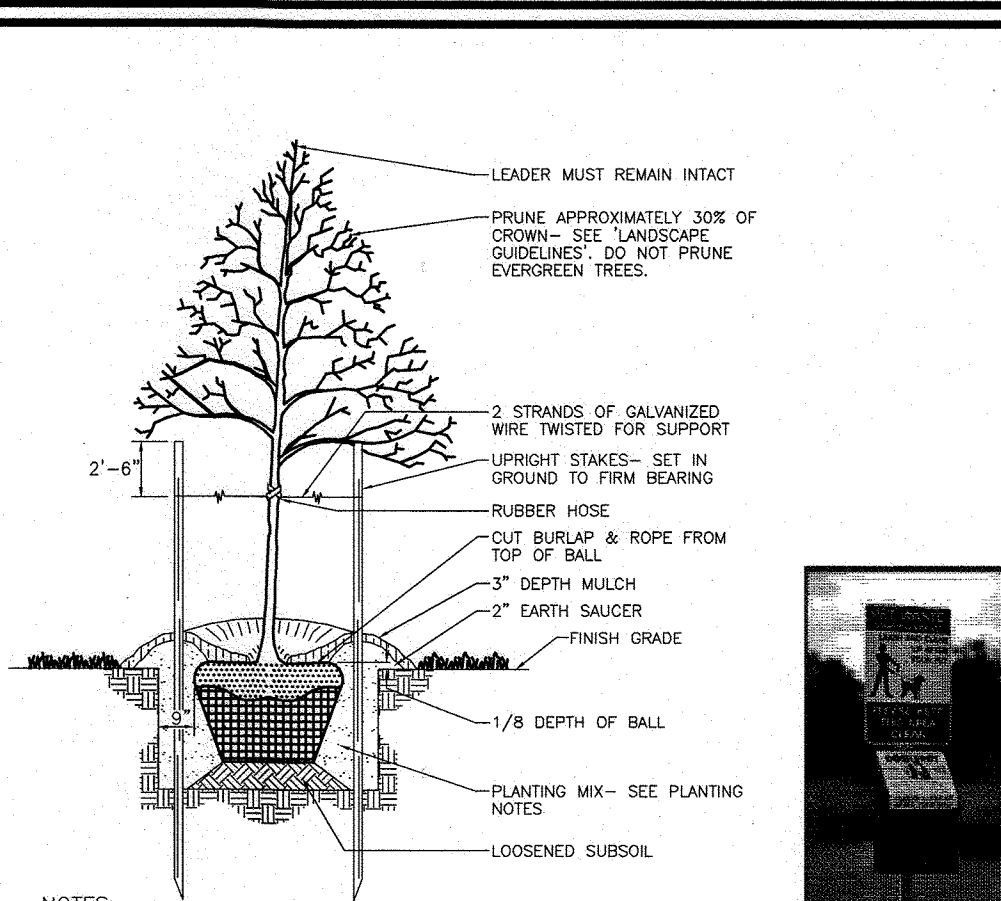
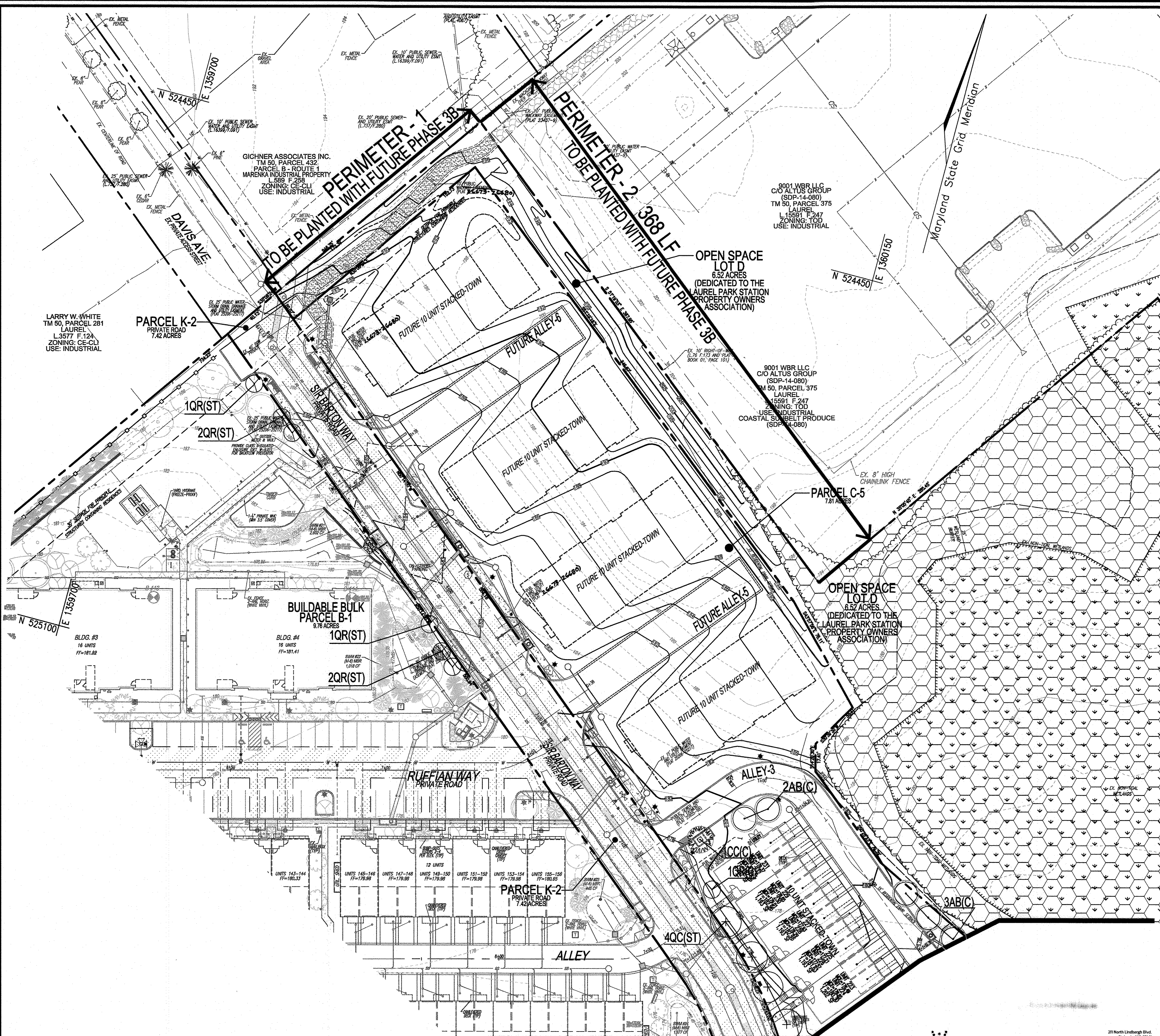
- EXISTING CURB AND GUTTER
- EXISTING LIGHT POLE
- EXISTING SIGN
- EXISTING MAILBOX
- EXISTING SANITARY MANHOLE
- EXISTING SANITARY LINE
- EXISTING CLEANOUT
- EXISTING FIRE HYDRANT
- EXISTING WATER LINE
- EXISTING SEWER LINE
- EXISTING TRENCH
- EXISTING FENCE
- PROPERTY LINE
- RIGHT-OF-WAY LINE
- EXISTING STREAM
- EXISTING STREAM BUFFER
- EX. LIMIT OF WETLAND
- EX. WETLAND BUFFER
- PROPOSED STORM DRAIN
- PROPOSED STORM DRAIN INLET
- PROPOSED SIDEWALK
- PROPOSED CURB
- PROPOSED STREET LIGHT
- EX. PUBLIC SEWER WATER AND UTILITY EASEMENT PLAT 25206-25217
- PROPOSED STREET SIGN
- EX. TREES
- PUBLIC WATER AND UTILITY EASEMENT PLAT 29555-66
- EX. 100 YEAR PUBLIC FLOODPLAIN, DRAINAGE AND UTILITY EASEMENT
- PROPOSED SHADE TREES
- PROPOSED STREET TREES
- PROPOSED EVERGREEN TREES
- PERIMETER DESIGNATION / TYPE

PARCEL C-5 OWNER: BEAZER HOMES, LLC
 OWNER: TRIPLE BELL FARMS, LLC
 OWNER/DEVELOPER: 20006 DELAWARE, INC.

NO.	REVISION	DATE
2	REVISE PLAN TO SHOW NEW ARCHITECTURE FOR UNITS 172 - 222); REVISE W&S HOUSE CONNECTIONS; REMOVE APARTMENT BUILDINGS 7-9	04/10/24
1	REVISE PLAN FOR BUILDING ARCHITECTURE (UNITS 157-171 & 223-232); AND REVISE W&S HOUSE CONNECTIONS	12/19/23

REVISED SITE DEVELOPMENT PLAN
 LANDSCAPE AND AMENITY PLAN;
 NOTES AND DETAILS
 PADDOCK POINT - PHASE 3A
 (FORMERLY KNOWN AS LAUREL PARK STATION)
 PARCELS C-5 & K-2
 ZONED: TOD
 TAX MAP: 50 BLOCK: 10
 6TH ELECTION DISTRICT
 HOWARD COUNTY, MARYLAND
VOGEL ENGINEERING
TIMMONS GROUP
 3300 NORTH RIDGE ROAD, SUITE 110, ELLICOTT CITY, MD 21043
 P: 410.461.7666 F: 410.461.8961 www.timmons.com

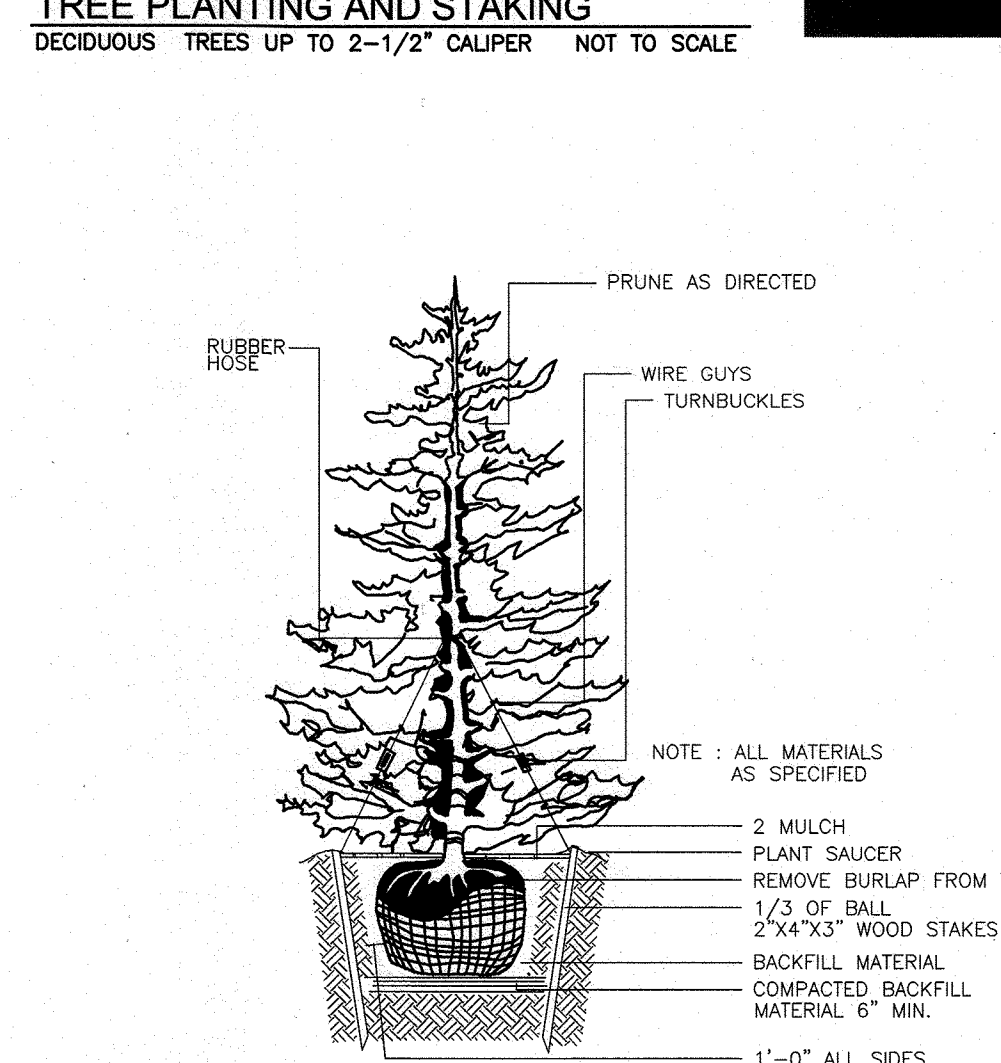
PROFESSIONAL CERTIFICATE
 DESIGN BY: DZE/RHV
 DRAWN BY: DZE/JR
 CHECKED BY: RHV
 DATE: MAY 2024
 SCALE: AS SHOWN
 W.O. NO.: 07-11/40111
 I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 16193, EXPIRATION DATE 09-27-2024.
 ROBERT H. VOGEL, PE No. 16193
 22 SHEET OF 40



NOTES

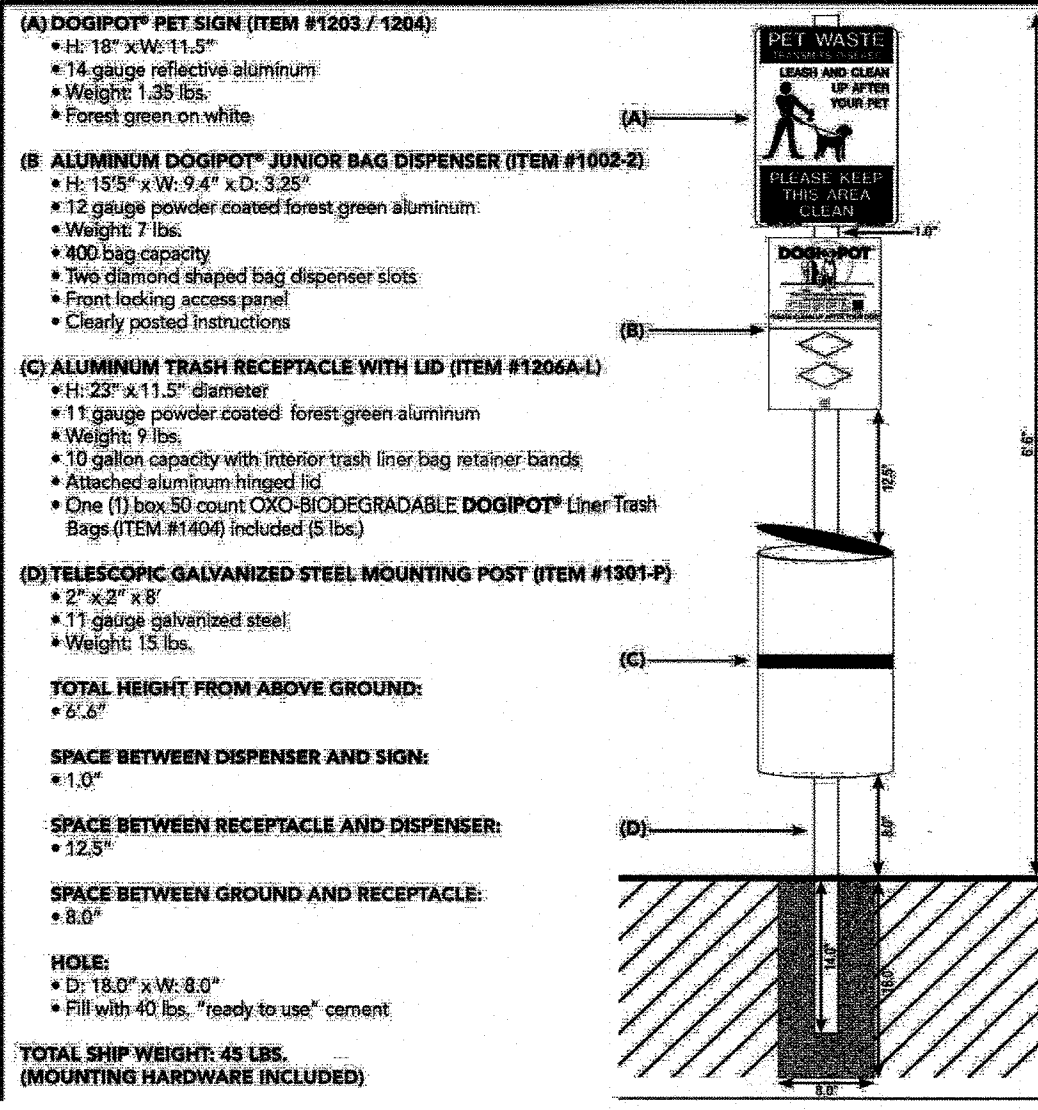
- SEE "LANDSCAPE SPECIFICATION GUIDELINES FOR BALTIMORE-WASHINGTON METROPOLITAN AREAS" FOR ALL MATERIAL, PRODUCT, AND PROCEDURE SPECIFICATIONS.
- SEE "LANDSCAPE GUIDELINES" FOR SUPPORTING TREES LARGER THAN 2-1/2" CALIPER.
- PLACE UPRIGHT STAKES PARALLEL TO WALKS & BUILDINGS.
- KEEP MULCH 1" FROM TRUNK.
- SET ARCHITECTURAL PLANS FOR ADDITIONAL PLANTINGS WHICH EXCEED HOWARD COUNTY MINIMUM REQUIREMENTS.
- TREES ARE NOT TO BE PLANTED OVER PRIVATE SEWAGE EASEMENT.

TREE PLANTING AND STAKING
DECIDUOUS TREES UP TO 2-1/2" CALIPER NOT TO SCALE

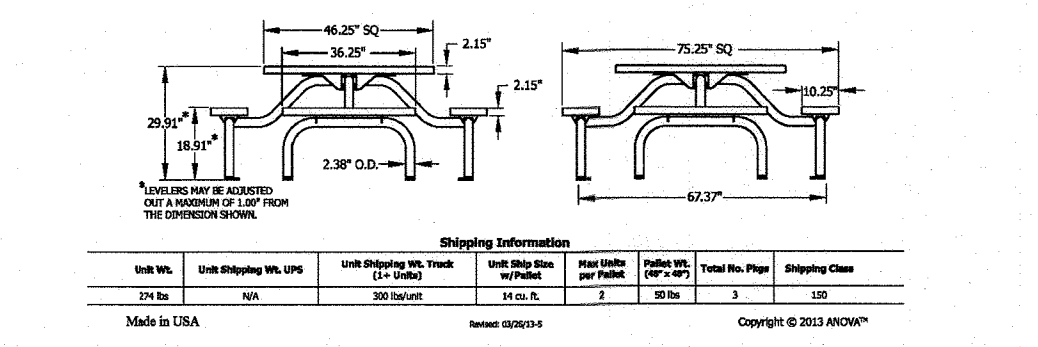
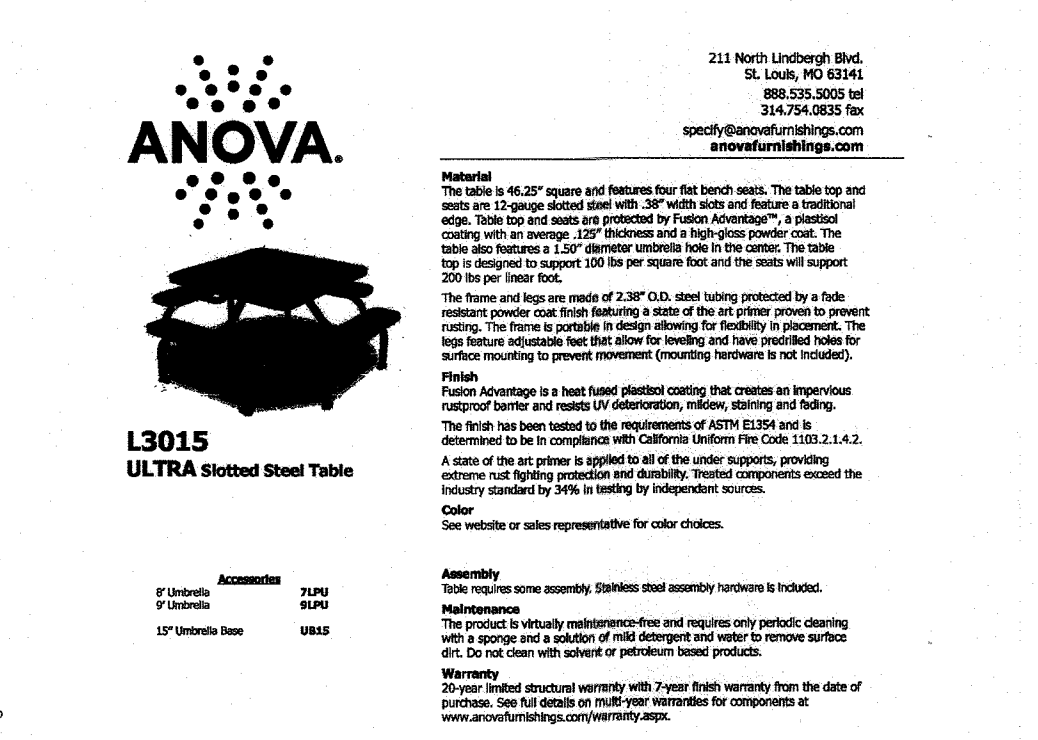


TYPICAL EVERGREEN TREE PLANTING DETAIL
NOT TO SCALE

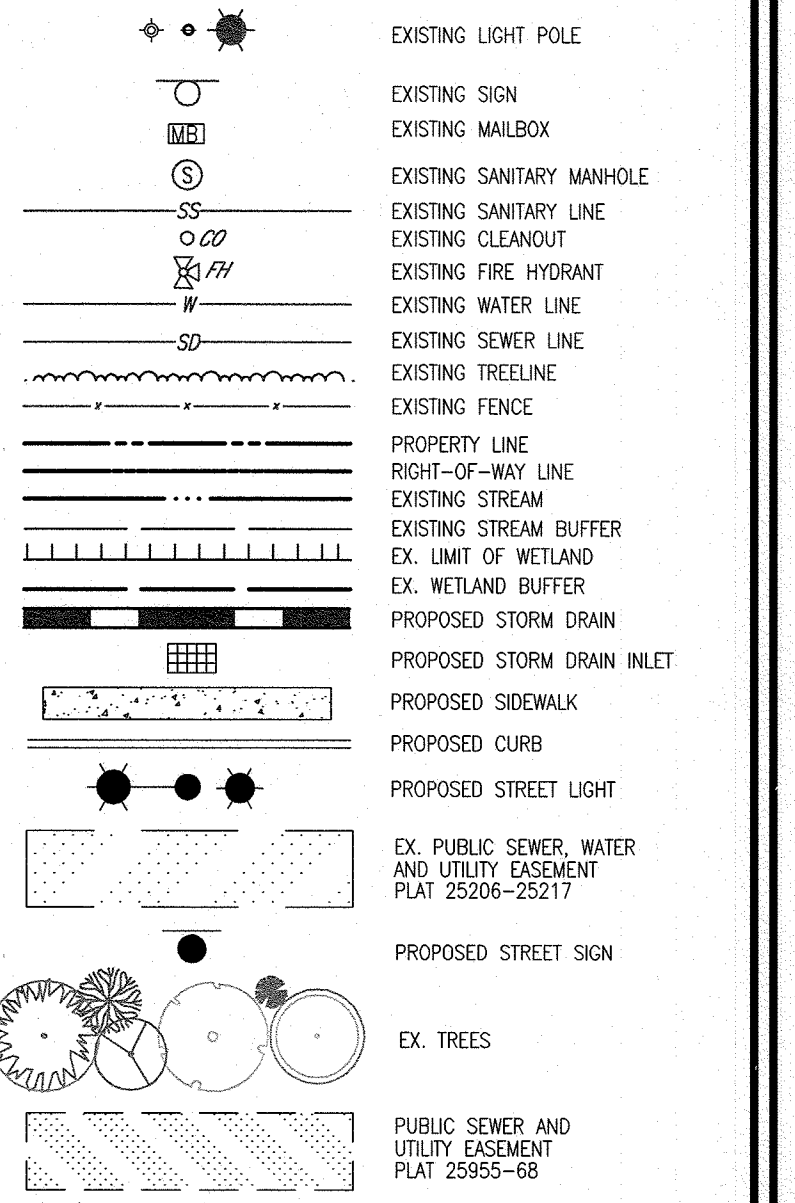
ALL ALUMINUM DOGIPOT® PET STATION (ITEM #1003-L)
SPECIFICATION, INSTALLATION AND OPERATION SHEET



PET WASTE STATION
- OR SIMILAR -



LEGEND:



PUBLIC AMENITY AREA CHART PHASE 3A

AMENITY #	AMENITY AREA (SQ. AMENITY AREA (AC))	TOTALS
1	24.914	0.57
2	0.57	0.57

PADDOCK POINTE OVERALL PUBLIC AMENITY AREA CHART

PLAN	PROVIDED	REMAINING
PADDOCK POINTE SDP-15-043 PHASE 1 (220 UNITS) TOTAL	2.64 AC.	2.21 AC.
PADDOCK POINTE SDP-15-083 PHASE 2 (278 UNITS) TOTAL	1.37 AC.	0.84 AC.
PADDOCK POINTE SDP-15-016 PHASE 3 (76 UNITS) TOTAL	0.57 AC.	*0.27 AC.

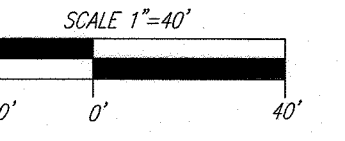
* TO BE PROVIDED IN FUTURE PHASES.

PARCEL C-5 OWNER OWNER OWNER/DEVELOPER

OWNER	OWNER/DEVELOPER
BEAZER HOMES, LLC. 6085 MARSHALEE DRIVE, SUITE 350 LAUREL, MD 20725 443-539-9249	TRIPLE BELL FARMS, LLC. 198 LAUREL RACE TRACK RD LAUREL, MD 20725 (301) 470-5494

NO.	REVISION	DATE
2	REVISE PLAN TO SHOW NEW ARCHITECTURE FOR UNITS 172 - 222; REVISE W&S HOUSE CONNECTIONS; REMOVE APARTMENT BUILDINGS 7-9	04/10/24
1	REVISE PLAN FOR BUILDING ARCHITECTURE (UNITS 157-171 & 223-232); AND REVISE W&S HOUSE CONNECTIONS	12/19/23

LANDSCAPE PLAN
SCALE: 1"=40'



NOTE:
1. SEE SHEET 22 FOR LANDSCAPE NOTES AND SURETY.

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

[Signature] 9/16/24
CHIEF, DEVELOPMENT ENGINEERING DIVISION
DATE

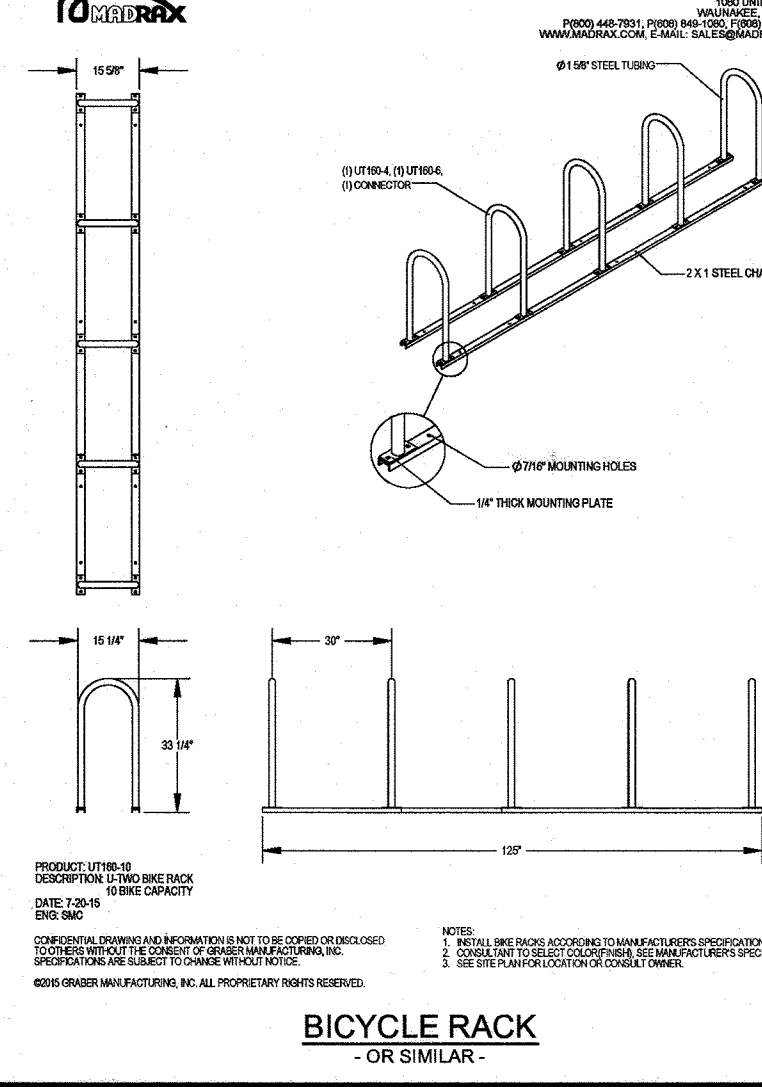
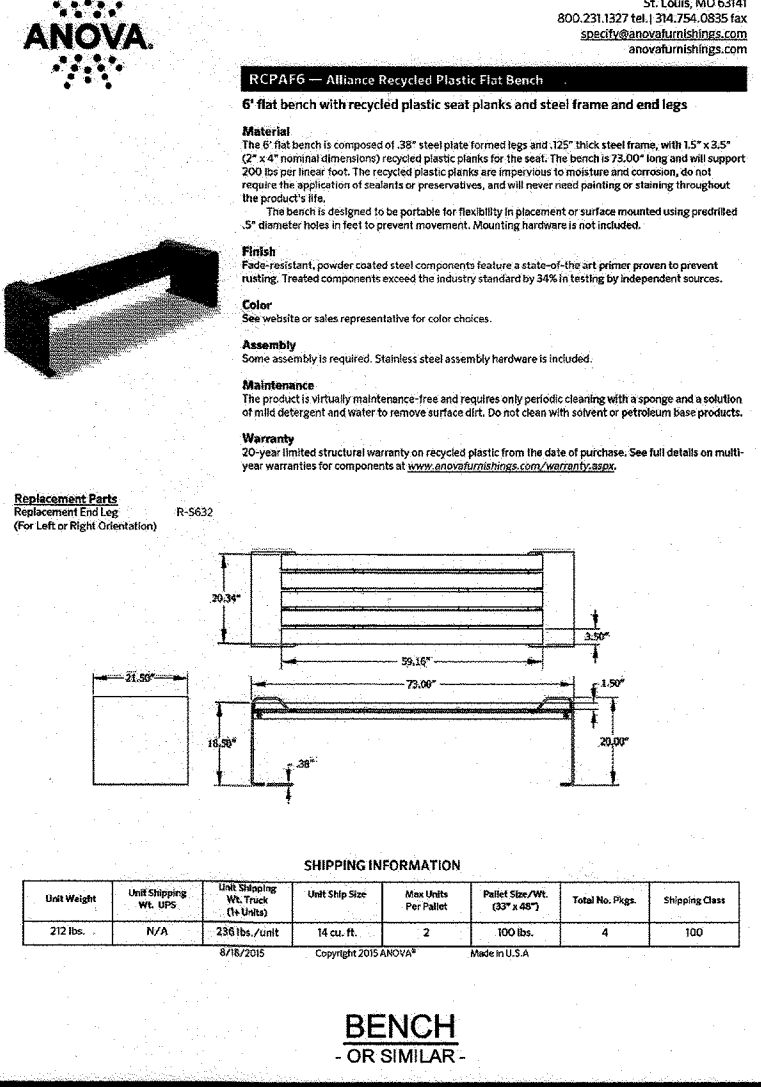
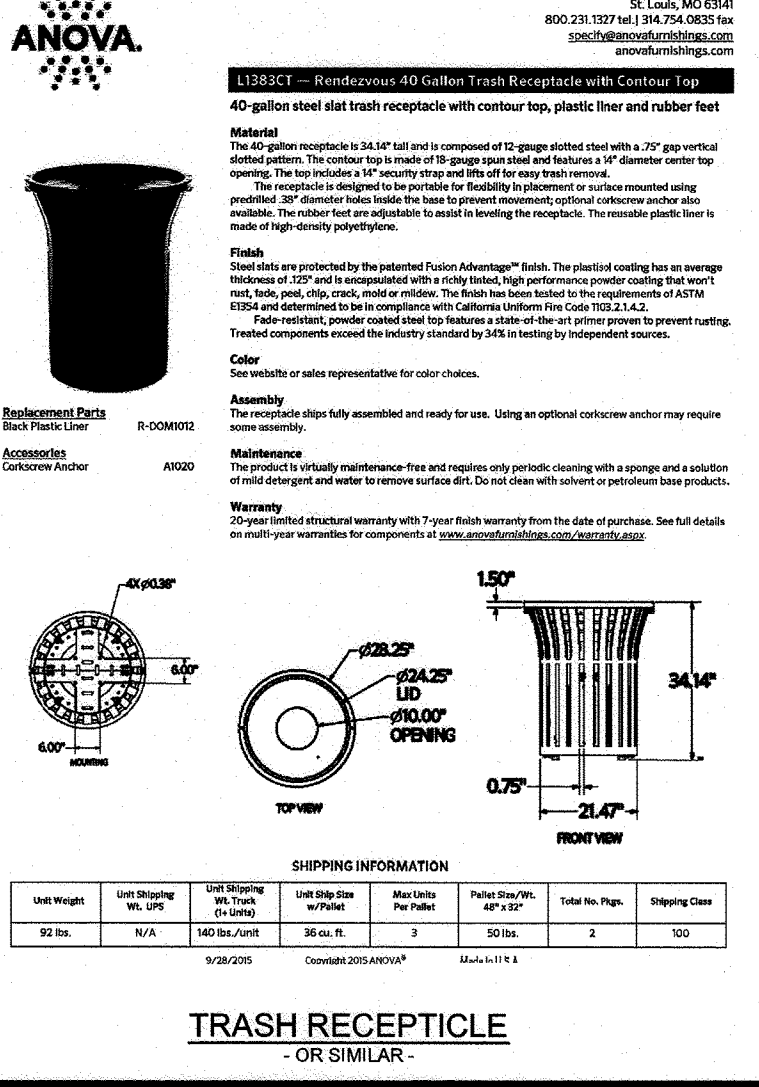
[Signature] 9/30/24
CHIEF, DIVISION OF LAND DEVELOPMENT
DATE

[Signature]
DIRECTOR

DEVELOPER'S/BUILDER'S CERTIFICATE

I/WE CERTIFY THAT THE LANDSCAPING SHOWN ON THIS PLAN WILL BE DONE ACCORDING TO THE PLAN, SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE HOWARD COUNTY LANDSCAPE MANUAL. I/WE FURTHER CERTIFY THAT UPON COMPLETION, A CERTIFICATION OF LANDSCAPE INSTALLATION, ACCOMPANIED BY AN EXECUTED ONE (1) YEAR GUARANTEE OF PLANT MATERIALS, WILL BE SUBMITTED TO THE DEPARTMENT OF PLANNING AND ZONING.

[Signature] 5/16/2024
SIGNATURE OF DEVELOPER DATE



REVISED SITE DEVELOPMENT PLAN
LANDSCAPE AND AMENITY PLAN; NOTES AND DETAILS
PADDOCK POINTE - PHASE 3A
(FORMERLY KNOWN AS LAUREL PARK STATION)
PARCELS C-5 & K-2
ZONED: TOD

TAX MAP: 50 BLOCK: 10
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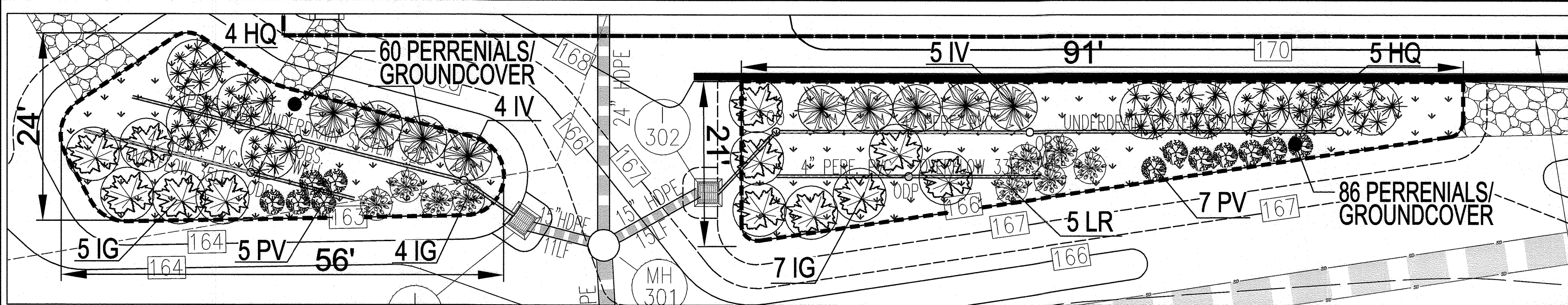
VOGEL ENGINEERING
3300 NORTH RIDGE ROAD, SUITE 110, ELLICOTT CITY, MD 21043
P: 410.461.7666 F: 410.461.8961 www.timmons.com

TIMMONS GROUP
18197
REGISTERED PROFESSIONAL ENGINEER

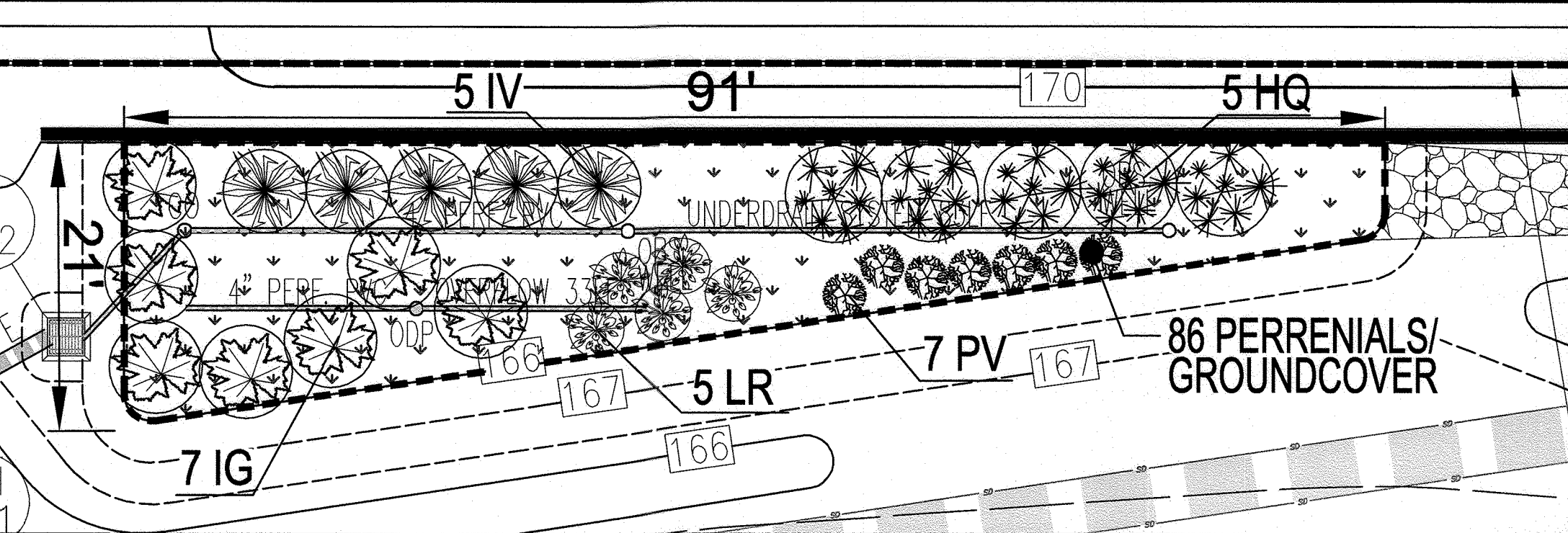
DESIGN BY: DZE/RHV
DRAWN BY: DZE/JR
CHECKED BY: RHY
DATE: MAY 2024
SCALE: AS SHOWN
W.O. NO.: 07-11/40111

HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.
EXPIRATION DATE: 09-27-2024

23 SHEET OF 40

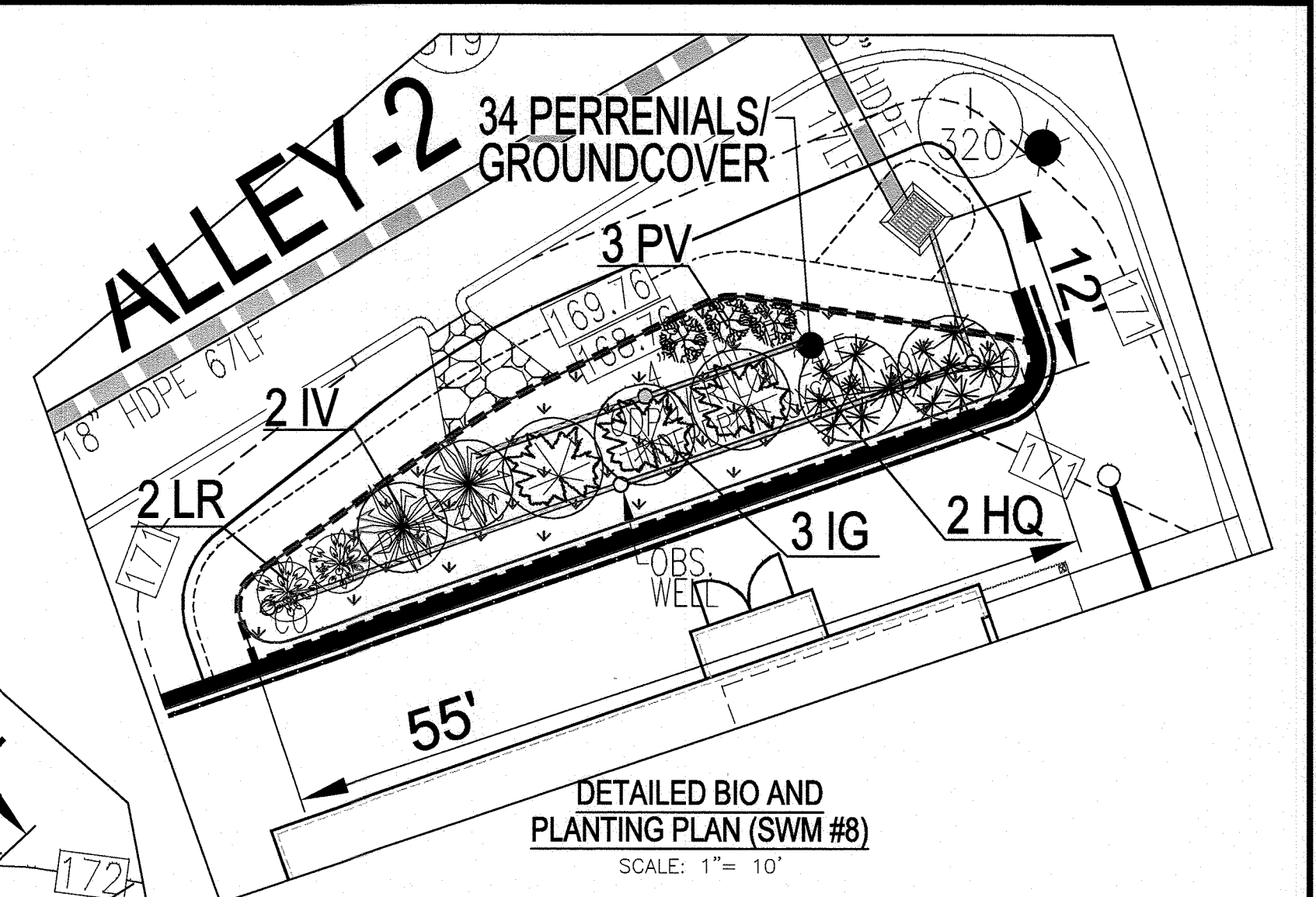


DETAILED BIO AND PLANTING PLAN (SWM #1)
SCALE: 1" = 10'

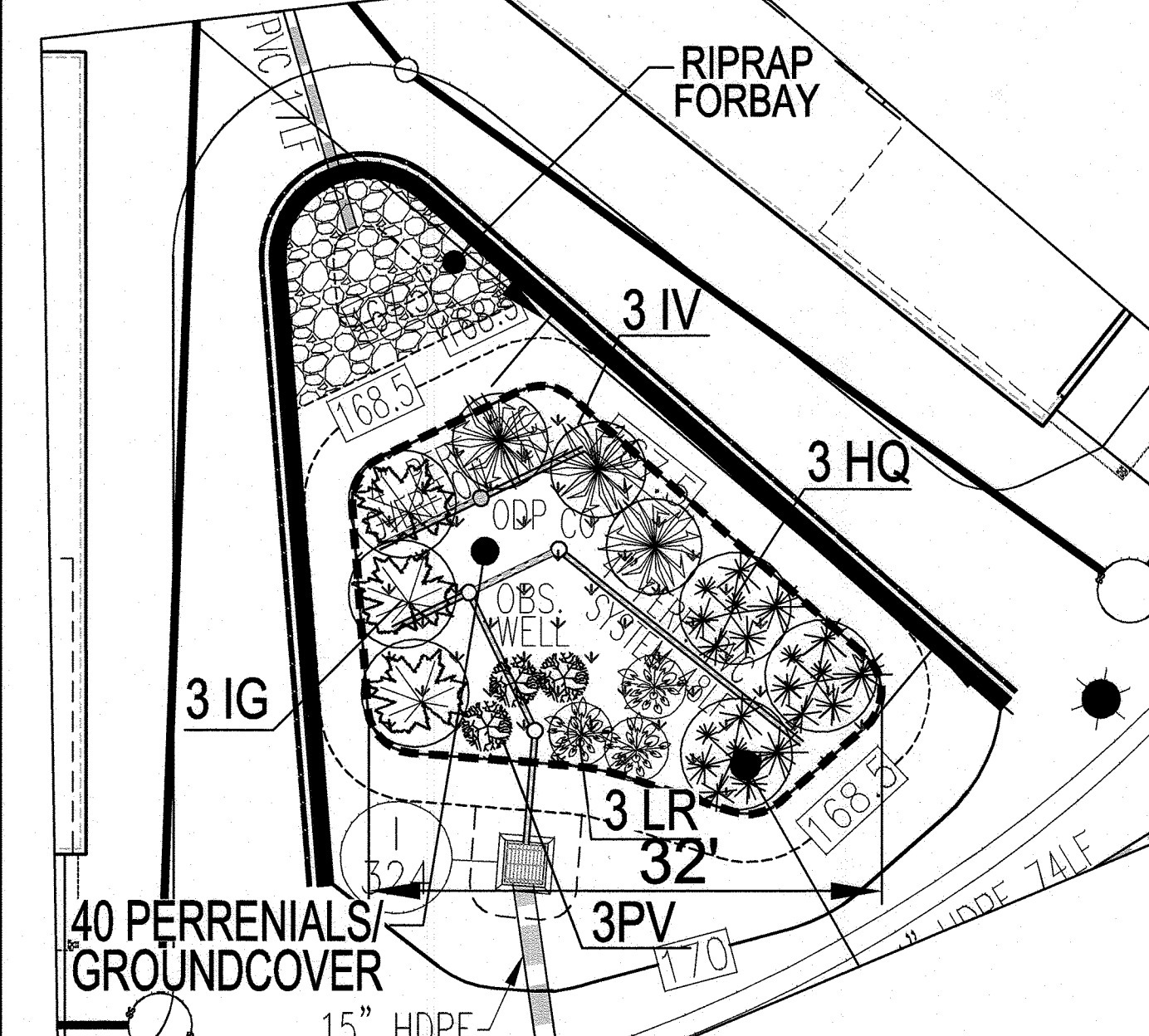


DETAILED BIO AND PLANTING PLAN (SWM #2)
SCALE: 1" = 10'

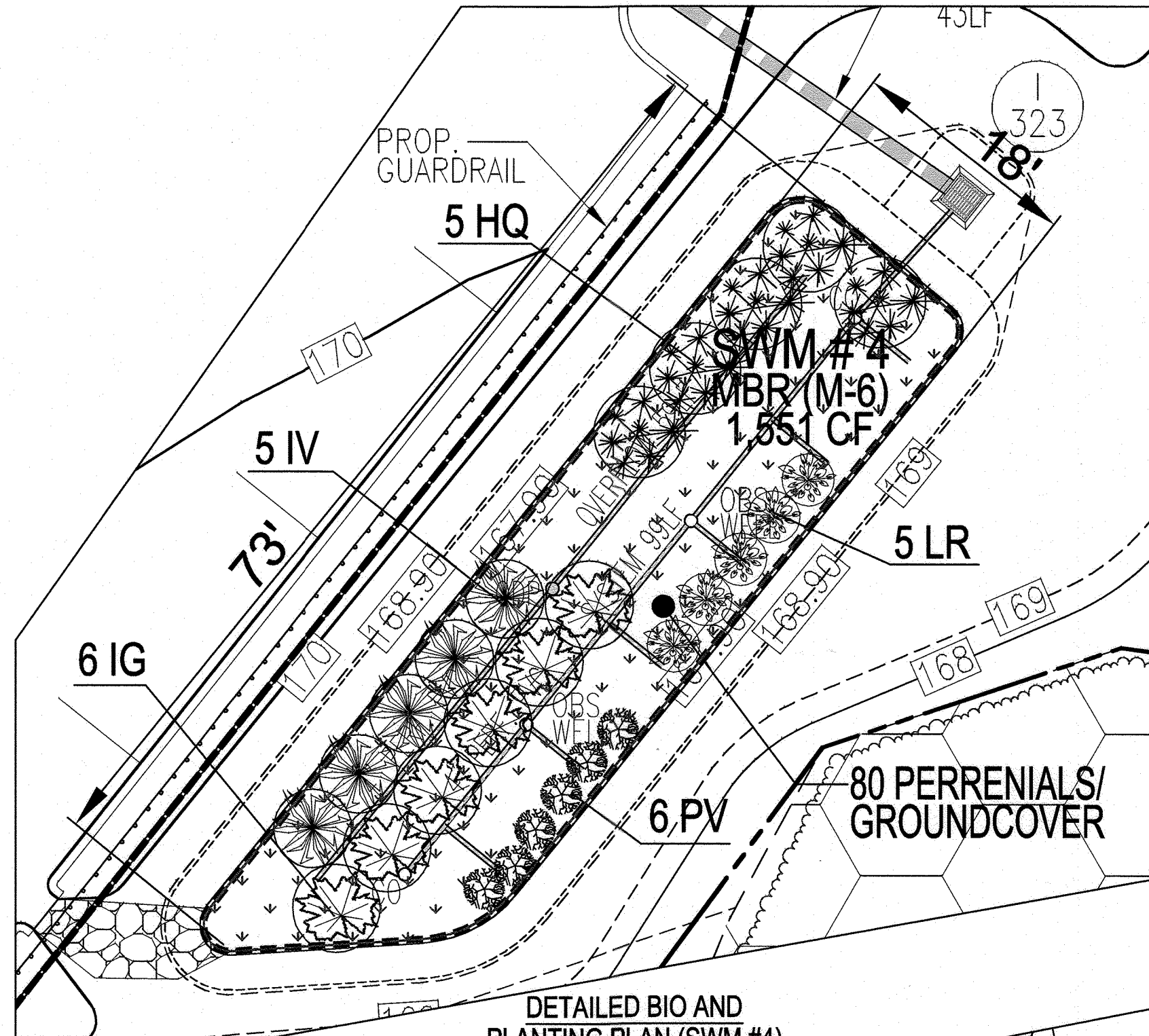
ALL STORM DRAINS AND STORMWATER MANAGEMENT FACILITIES INCLUDING FILTERRA TO BE PRIVATELY OWNED AND MAINTAINED.



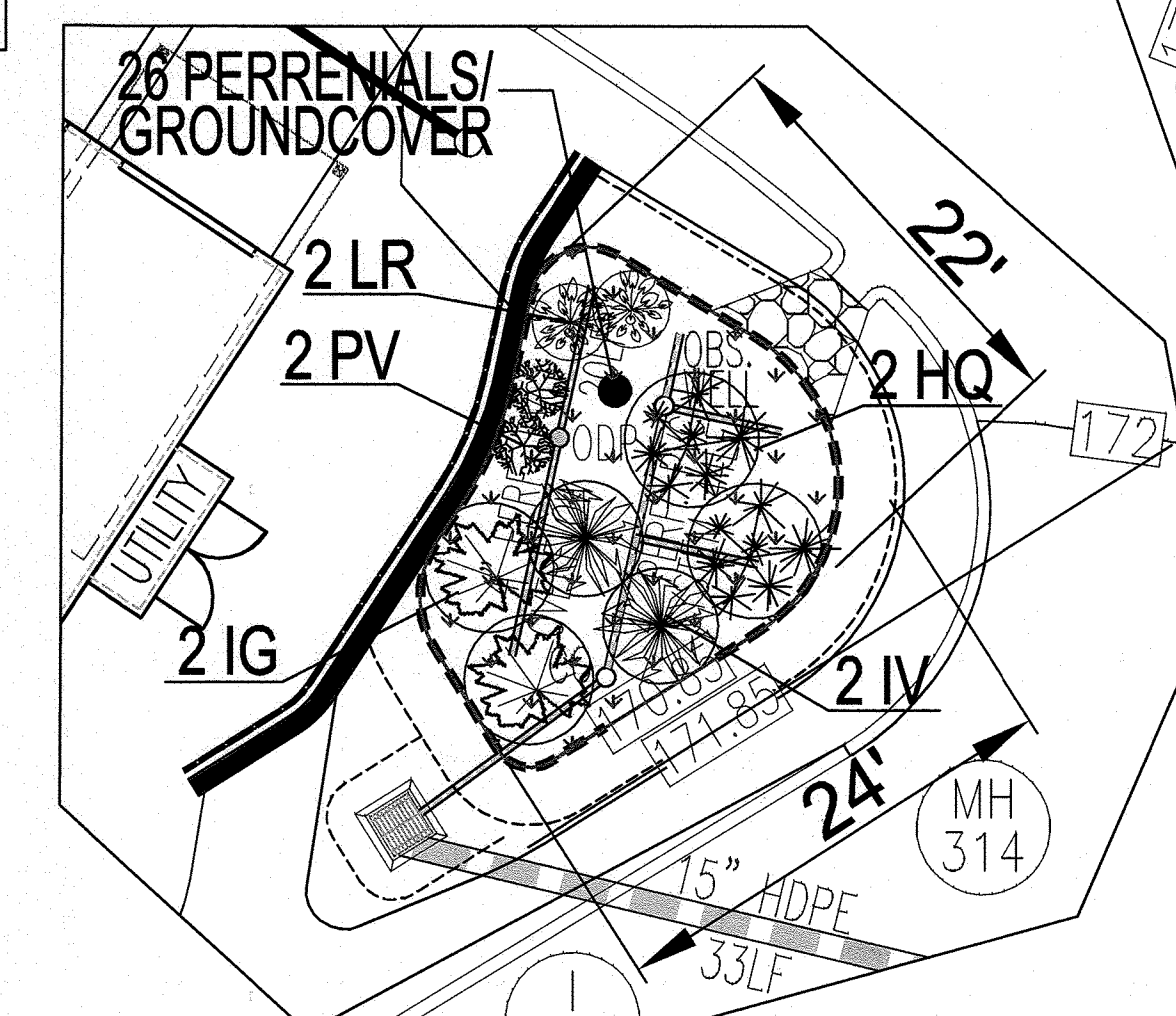
DETAILED BIO AND PLANTING PLAN (SWM #8)
SCALE: 1" = 10'



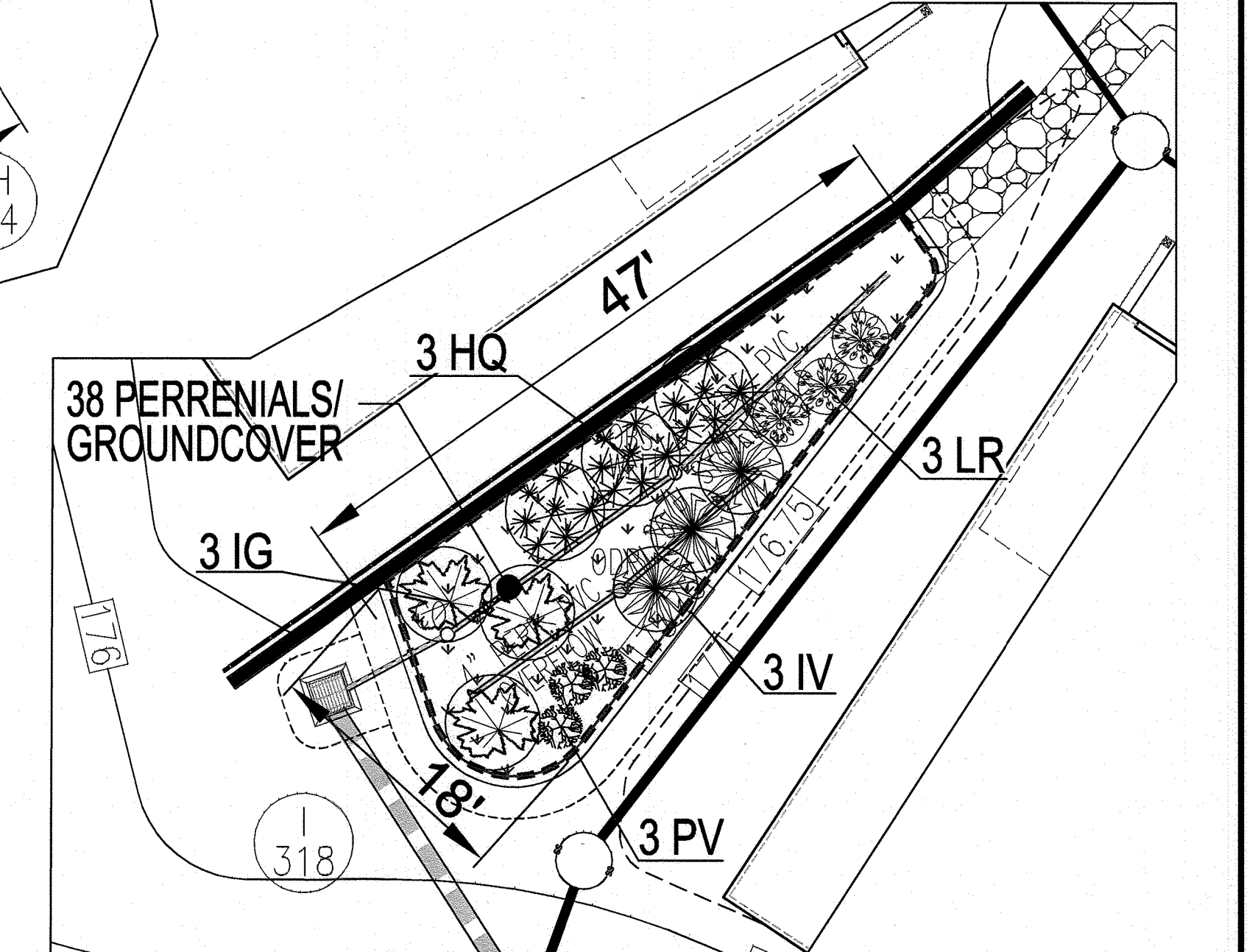
DETAILED BIO AND PLANTING PLAN (SWM #3)
SCALE: 1" = 10'



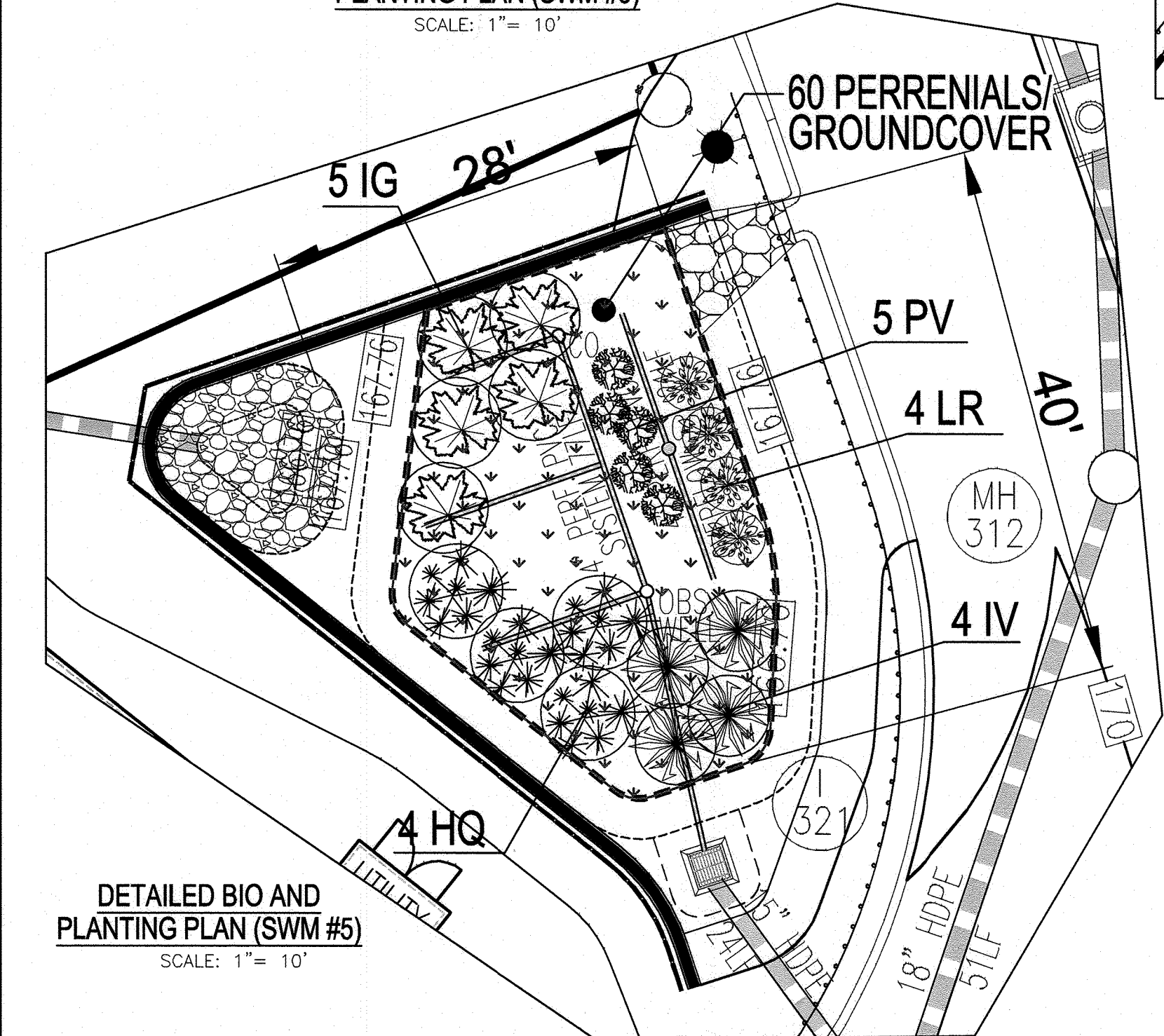
DETAILED BIO AND PLANTING PLAN (SWM #4)
SCALE: 1" = 10'



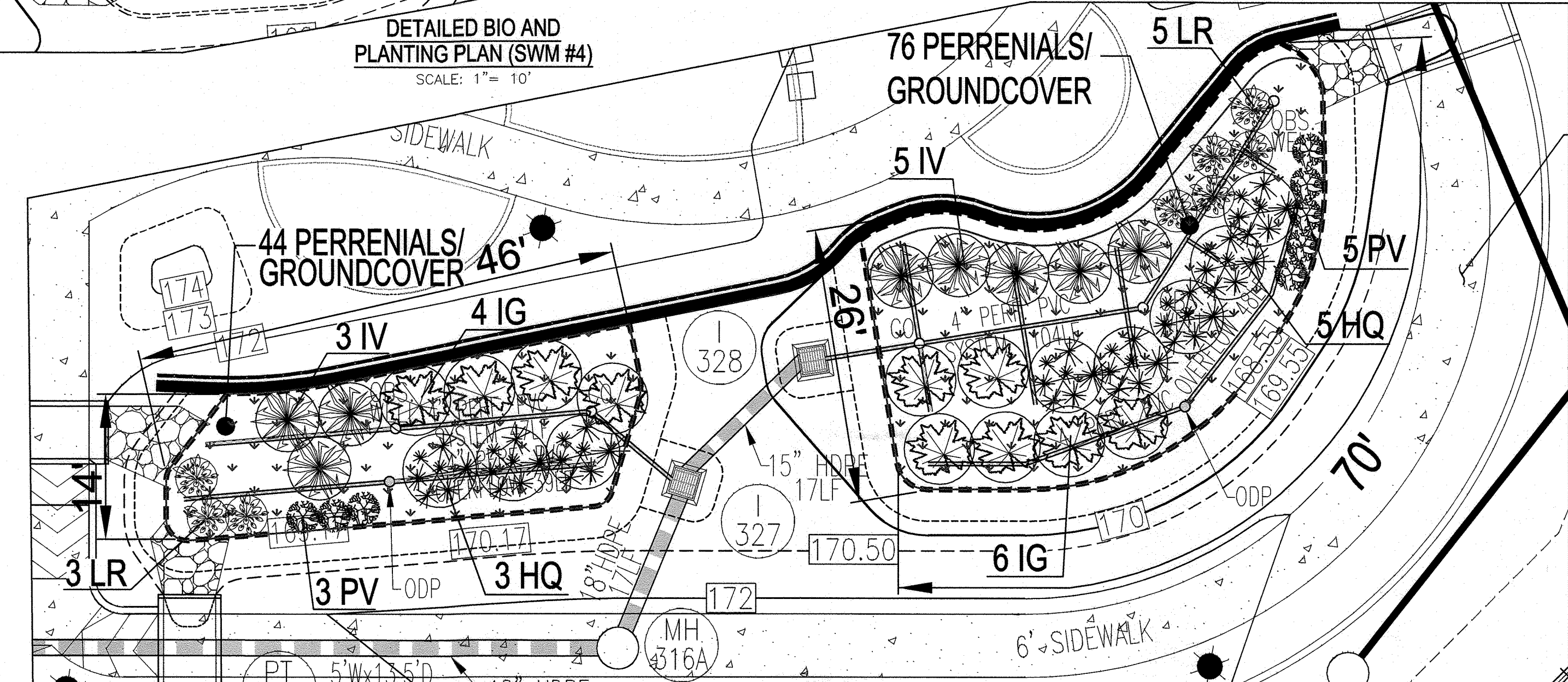
DETAILED BIO AND PLANTING PLAN (SWM #9)
SCALE: 1" = 10'



DETAILED BIO AND PLANTING PLAN (SWM #10)
SCALE: 1" = 10'



DETAILED BIO AND PLANTING PLAN (SWM #5)
SCALE: 1" = 10'



DETAILED BIO AND PLANTING PLAN (SWM #6)
SCALE: 1" = 10'

DETAILED BIO AND PLANTING PLAN (SWM #7)
SCALE: 1" = 10'

PARCEL C-5 OWNER: BEAZER HOMES, LLC. OWNER: TRIPLE BELL FARMS, LLC. OWNER/DEVELOPER: 2006 DELAWARE, INC.
6085 MARSHALLEE DRIVE, SUITE 350 198 LAUREL RACE TRACK RD 198 LAUREL RACE TRACK RD
ELKROD, MD 21073 LAUREL, MD 20725 LAUREL, MD 20725
443-539-9249 (301) 470-5494 (301) 470-5494

NO.	REVISION	DATE
2	REVISE PLAN TO SHOW NEW ARCHITECTURE FOR UNITS 172 - 222; REVISE W&S HOUSE CONNECTIONS; REMOVE APARTMENT BUILDINGS 7-9	04/10/24
1	REVISE PLAN FOR BUILDING ARCHITECTURE (UNITS 157-171 & 223-232); AND REVISE W&S HOUSE CONNECTIONS	12/19/23

REVISED SITE DEVELOPMENT PLAN
STORMWATER MANAGEMENT PLANTINGS PLAN

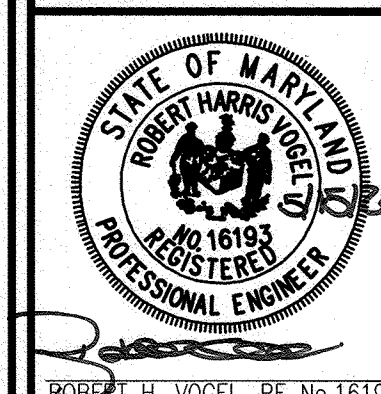
Paddock Pointe - Phase 3A
(FORMERLY KNOWN AS LAUREL PARK STATION)

TAX MAP: 50 BLOCK: 10 PARCEL C-5 TO W-2 ZONED: TOD HOWARD COUNTY, MARYLAND
6TH ELECTION DISTRICT

VOGEL ENGINEERING

TIMMONS GROUP

3300 NORTH RIDGE ROAD, SUITE 110, ELLICOTT CITY, MD 21043
P: 410.461.7666 F: 410.461.8961 www.timmons.com



DESIGN BY: DZE/RHV
DRAWN BY: DZE/JR
CHECKED BY: RHV
DATE: MAY 2024
SCALE: AS SHOWN
W.O. NO.: 07-11/40111

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND THAT I AM A FULLY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 16193 EXPIRATION DATE: 09-27-2024

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

 CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE: 9.16.24

 CHIEF, DIVISION OF LAND DEVELOPMENT DATE: 9/24/24

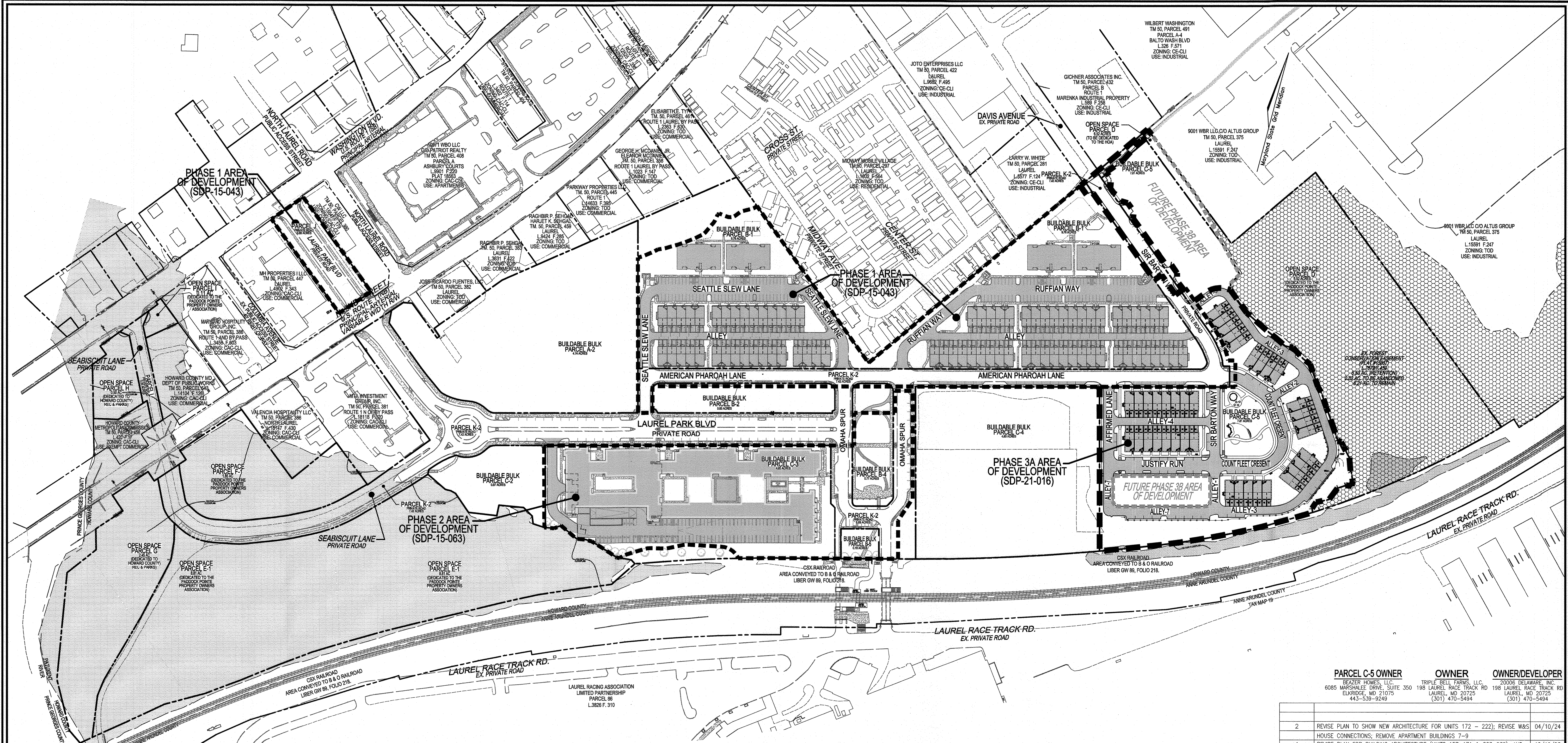
 DIRECTOR DATE: 9/30/24

LEGEND	QTY	BOTANICAL NAME/COMMON NAME	SIZE	REMARKS
	272	BAPTISIA AUSTRALIS FALSE INDIGO	4" POT	12"-15" O.C. FOR SIDES AND BOTTOM OF MBR. MIX ALL VARIETIES IN A NATURALIZED RANDOM PATTERN THROUGHOUT PLANT IN GROUPS OF NO LESS THAN 9 PLANTS PER CLUMP
	272	ACORUS GRAMINEUS 'OGON' GOLDEN VARIEGATED SWEET FLAG	1 QT.	

LEGEND	QTY	BOTANICAL NAME/COMMON NAME	SIZE	SPACING
	44	ILEX GLABRA 'SHAMROCK' INKBERY HOLLEY	1 GALLON	18" O.C.
	36	ITEA VIRGINICA 'HENRY'S GARNETT' VIRGINIA SWEETSPICE	1 GALLON	18" O.C.
	36	HYDRANGEA QUERCIFOLIA OAKLEAF HYDRANGEA	1 GALLON	30" O.C.
	36	LEUCOTHEO RACEMOSA FETTERBUSH	1 GALLON	30" O.C.
	42	PANICUM VIRGATUM SWITCHGRASS	1 GALLON	36" O.C.

MBR #	MICRO-BIORETENTION PLANTING REQUIREMENTS				PLANTINGS PROVIDED					PERENNIALS/GROUND COVER PROVIDED		
	LF	AREA	STEMS REQUIRED (0.0229)	STEMS PROVIDED	IG	IV	HQ	LR	PV	BA	AG	TOTAL
SWM #1	132	863	20	22	5	4	4	4	5	30	30	60
SWM #2	209	1,233	29	29	7	5	5	5	7	43	43	86
SWM #3	91	579	14	15	3	3	3	3	3	20	20	40
SWM #4	169	1,163	27	27	6	5	5	5	6	40	40	80
SWM #5	114	870	20	22	5	4	4	4	5	30	30	60
SWM #6	114	629	15	16	4	3	3	3	3	22	22	44
SWM #7	143	1,103	26	26	6	5	5	5	5	38	38	76
SWM #8	121	511	12	12	3	2	2	2	3	17	17	34
SWM #9	74	376	9	10	2	2	2	2	2	13	13	26
SWM #10	114	558	13	15	3	3	3	3	3	19	19	38
TOTALS:	1,284	7,885	185	194	44	36	36	36	42	272	272	544

BIORETENTION AREAS ARE TO BE PLANTED BASED ON A MINIMUM DENSITY OF 1000 STEMS PER PLANTED ACRE (0.0229 STEMS PER SQUARE FOOT).



PLAN VIEW
SCALE: 1"=120'

TOD RESIDENTIAL DEVELOPMENT TRACKING			
GROSS AREA (PADDOCK POINTE PROJECT)	63.34 AC.		
MINUS FLOODPLAIN & STEEP SLOPES	14.84 AC.		
DEVELOPABLE ACREAGE (NET)	48.50 AC.		
50% OF DEVELOPABLE AREA (NOT TO EXCEED)	24.25 AC.		
PHASE/PROJECT	AREA	% OF NET	
PHASE 1 RESIDENTIAL AREA (SDP-15-043)	5.59 AC.	11.52%	
PHASE 2 RESIDENTIAL AREA (SDP-15-063)	3.23 AC.	6.67%	
PHASE 3A RESIDENTIAL AREA (SDP-21-016)	3.92 AC.	8.08%	
TOTAL	12.74 AC.	26.25%	

* NO MORE THAN 50% OF THE DEVELOPABLE AREA ACREAGE, EXCLUDING ROAD RIGHT OF WAY AND OPEN SPACE SHALL BE DEVOTED TO RESIDENTIAL BUILDINGS AND PARKING.

- LEGEND**
- TOD RESIDENTIAL AREA
 - 100-YR FLOODPLAIN

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

Chad Clark 9/16/24
CHIEF, DEVELOPMENT ENGINEERING DIVISION

Julia Shaw 9/24/24
CHIEF, DIVISION OF LAND DEVELOPMENT

Jim DeSola 9/30/24
DIRECTOR

PARCEL C-5 OWNER	OWNER	OWNER/DEVELOPER
BEAZER HOMES, LLC. 6085 MARSHALLEE DRIVE, SUITE 350 ELKRODE, MD 21075 443-539-9249	TRIPLE BELL FARMS, LLC. 198 LAUREL RACE TRACK RD LAUREL, MD 20725 (301) 470-5494	20006 DELAWARE, INC. LAUREL, MD 20725 (301) 470-5494

NO.	REVISION	DATE
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1	REVISE PLAN FOR BUILDING ARCHITECTURE (UNITS 157-171 & 223-232); AND REVISE W&S HOUSE CONNECTIONS	12/19/23

REVISED SITE DEVELOPMENT PLAN
RESIDENTIAL DEVELOPMENT AREA EXHIBIT
PADDOCK POINTE - PHASE 3A
(FORMERLY KNOWN AS LAUREL PARK STATION)
PARCELS C-3 & C-2
ZONED: TOD

TAX MAP: 50 BLOCK: 10
6TH ELECTION DISTRICT

PARCEL 384
HOWARD COUNTY, MARYLAND

VOGEL ENGINEERING
TIMMONS GROUP
3300 NORTH RIDGE ROAD, SUITE 110, ELLICOTT CITY, MD 21043
P: 410.461.7666 F: 410.461.8961 www.timmons.com

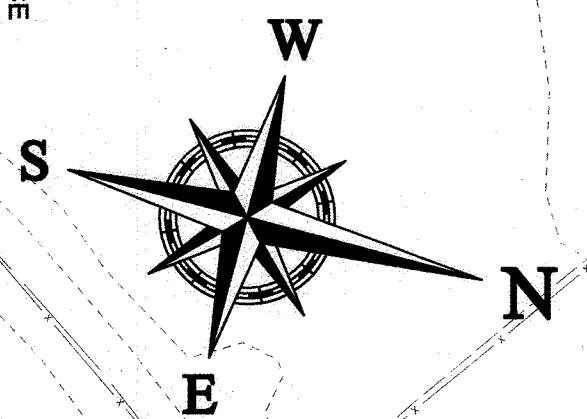
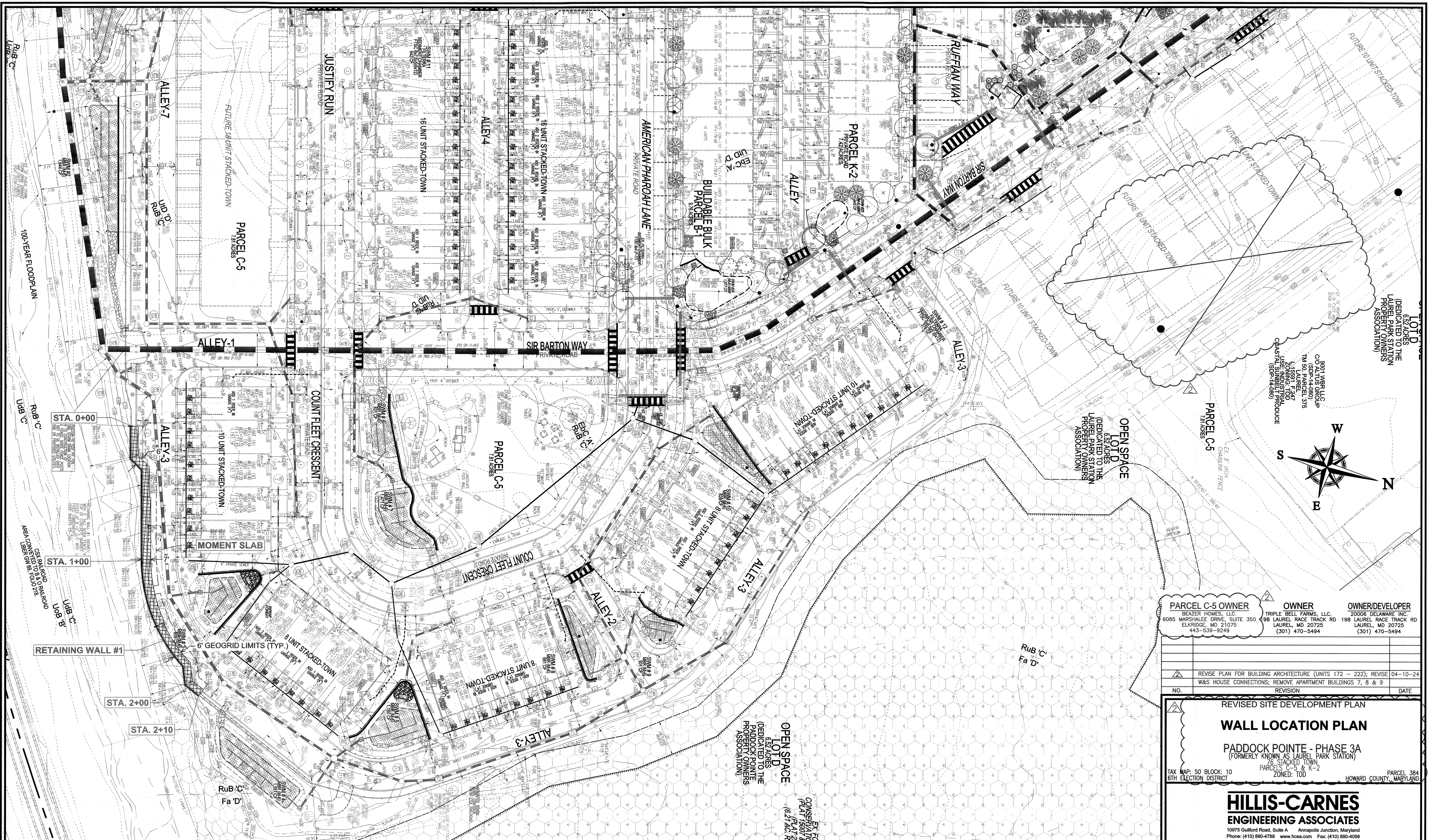
PROFESSIONAL CERTIFICATE

STATE OF MARYLAND
ROBERT H. VOGEL, PE No. 16193

DESIGN BY: DZE/RHV
DRAWN BY: DZE/JR
CHECKED BY: RHV
DATE: MAY 2024
SCALE: AS SHOWN
W.O. NO.: 07-11/40111

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A duly LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 16193, EXPIRATION DATE: 09-27-2024

25 OF 40



PARCEL C-5 OWNER
 BEAZER HOMES, LLC.
 6085 MARSHALLEE DRIVE, SUITE 350
 ELK RIDGE, MD 21075
 443-539-9249

OWNER
 TRIPLE BELL FARMS, LLC.
 98 LAUREL RACE TRACK RD
 LAUREL, MD 20725
 (301) 470-5494

OWNER/DEVELOPER
 20006 DELAWARE INC.
 198 LAUREL RACE TRACK
 LAUREL, MD 20725
 (301) 470-5494

NO.	REVISION	DATE
1	REVISE PLAN FOR BUILDING ARCHITECTURE (UNITS 172 - 222); REVISE W&S HOUSE CONNECTIONS; REMOVE APARTMENT BUILDINGS 7, 8 & 9	04-10-24

REVISED SITE DEVELOPMENT PLAN
WALL LOCATION PLAN
 PADDOCK POINTE - PHASE 3A
 (FORMERLY KNOWN AS LAUREL PARK STATION)
 PARCELS C-5 & K-2
 ZONED: TOD
 TAX MAP: 50 BLOCK: 10
 6TH ELECTION DISTRICT

HILLIS-CARNES
ENGINEERING ASSOCIATES
 10975 Gullford Road, Suite A Annapolis Junction, Maryland
 Phone: (410) 880-4788 www.hcea.com Fax: (410) 880-4098

PROFESSIONAL CERTIFICATE

DESIGN BY: JE/AM
 DRAWN BY: HM
 CHECKED BY: HM
 DATE: MAY 2024
 SCALE: AS NOTED
 HCEA JOB NO.: 20631A

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE JURE ET STATO OF THE STATE OF MARYLAND, LICENSE NO. 53198, EXPIRATION DATE 6/6/25.

26 SHEET OF **40**

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

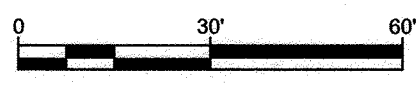
Ali Ell 9/16/24
 CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

William Swan 9/17/24
 CHIEF, DIVISION OF LAND DEVELOPMENT DATE

Timothy Eschler 9/30/24
 DIRECTOR DATE

SOURCE: PLAN ADAPTED FROM DRAWING FILE PACKAGE, "D_SDP_PH3A-REDLINE2-REVISED" PROVIDED BY VOGEL ENGINEERING + TIMMONS GROUP.

WALL LOCATION PLAN
 1" = 30'



SEGMENTAL CONCRETE BLOCK RETAINING WALL

PART 1: GENERAL

1.01 DESCRIPTION

- A. WORK SHALL CONSIST OF FURNISHING AND CONSTRUCTION OF A SEGMENTAL RETAINING WALL SYSTEM IN ACCORDANCE WITH THESE SPECIFICATIONS AND IN REASONABLY CLOSE CONFORMITY WITH THE LINES, GRADES, DESIGN, AND DIMENSIONS SHOWN ON THE PLANS.
- B. WORK INCLUDES PREPARING FOUNDATION SOIL, FURNISHING AND INSTALLING LEVELING PAD, UNIT FACING SYSTEM, UNIT DRAINAGE FILL AND REINFORCED BACKFILL TO THE LINES AND GRADES SHOWN ON THE CONSTRUCTION DRAWINGS.
- C. WORK INCLUDES FURNISHING AND INSTALLING GEOGRID SOIL REINFORCEMENT OF THE TYPE, SIZE, LOCATION, AND LENGTHS DESIGNATED ON THE CONSTRUCTION DRAWINGS.

1.02 DELIVERY, STORAGE AND HANDLING

- A. CONTRACTOR SHALL CHECK ALL MATERIALS UPON DELIVERY TO ASSURE THAT THE PROPER TYPE, GRADE, COLOR, AND CERTIFICATION HAS BEEN RECEIVED.
- B. CONTRACTOR SHALL PROTECT ALL MATERIALS FROM DAMAGE DUE TO JOB SITE CONDITIONS AND IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS. DAMAGED MATERIALS SHALL NOT BE INCORPORATED INTO THE WORK.

PART 2: PRODUCTS

2.01 SEGMENTAL CONCRETE RETAINING WALL UNITS

- A. SEGMENTAL CONCRETE UNITS SHALL CONFORM TO THE FOLLOWING ARCHITECTURAL REQUIREMENTS:
FACE COLOR - COLOR MAY BE SPECIFIED BY THE OWNER.
FACE FINISH - HARD SPLIT IN ANGULAR TRI-PLANE OR STRAIGHT FACE CONFIGURATION. OTHER FACE FINISHES WILL NOT BE ALLOWED WITHOUT WRITTEN APPROVAL OF OWNER.
BOND CONFIGURATION - RUNNING WITH BONDS NOMINALLY LOCATED AT MIDPOINT IN VERTICALLY ADJACENT UNITS, IN BOTH STRAIGHT AND CURVED ALIGNMENTS.
EXPOSED SURFACES OF UNITS SHALL BE FREE OF CHIPS, CRACKS OR OTHER IMPERFECTIONS WHEN VIEWED FROM A DISTANCE OF 20 FEET UNDER DIFFUSED LIGHTING.
- B. SEGMENTAL CONCRETE UNITS SHALL CONFORM TO THE REQUIREMENTS OF ASTM C1372 - STANDARD SPECIFICATIONS FOR SEGMENTAL RETAINING WALL UNITS.
- C. SEGMENTAL CONCRETE UNITS SHALL CONFORM TO THE FOLLOWING STRUCTURAL AND GEOMETRIC REQUIREMENTS MEASURED IN ACCORDANCE WITH ASTM C140 SAMPLING & TESTING CONCRETE MASONRY UNITS.
COMPRESSIVE STRENGTH = 3000 PSI MINIMUM;
ABSORPTION = 8% MAXIMUM (8% MAXIMUM IN NORTHERN STATES) FOR STANDARD WEIGHT AGGREGATES;
DIMENSIONAL TOLERANCES = ±1/8" FROM NOMINAL UNIT DIMENSIONS NOT INCLUDING ROUGH SPLIT FACE ± 3/8" FROM NOMINAL UNIT HEIGHT, UNIT SIZE - 8" (H) X 18" (W) X 12" (D) MINIMUM FOR COMPAC III UNITS; [UNIT SIZE - 8" (H) X 18" (W) X 18" (D) MINIMUM FOR STANDARD UNITS.]
INTER-UNIT SHEAR STRENGTH - 1000 PLF MINIMUM AT 2 PSI NORMAL PRESSURE; AT 2 PSI NORMAL FORCE.
[GEOGRID/UNIT PEAK CONNECTION STRENGTH - 1000 PLF MINIMUM.]

D. SEGMENTAL CONCRETE UNITS SHALL CONFORM TO THE FOLLOWING CONSTRUCTABILITY REQUIREMENTS:

VERTICAL SETBACK = 1/8" PER COURSE (NEAR VERTICAL) OR (1/2" PER COURSE) PER TYPICAL WALL SECTION; ALIGNMENT AND GRID ATTACHING MECHANISM - FIBERGLASS PINS, TWO PER UNIT MINIMUM; MAXIMUM HORIZONTAL GAP BETWEEN ERECTED UNITS SHALL BE 1/2 INCH.

2.02 SHEAR AND REINFORCEMENT PIN CONNECTORS

- A. SHEAR AND REINFORCEMENT PIN CONNECTORS SHALL BE 1/2 INCH DIAMETER THERMOSET ISOPHTHALIC POLYESTER RESIN PULTRUDED FIBERGLASS REINFORCEMENT RODS OR EQUIVALENT TO PROVIDE CONNECTION BETWEEN VERTICALLY AND HORIZONTALLY ADJACENT UNITS AND GEOSYNTHETIC REINFORCEMENT WITH THE FOLLOWING REQUIREMENTS: FLEXURAL STRENGTH IN ACCORDANCE WITH ASTM D4476: 128,000 PSI MINIMUM; SHORT BEAM SHEAR IN ACCORDANCE WITH ASTM D4475: 6,400 PSI MINIMUM.
- B. SHEAR CONNECTORS SHALL BE CAPABLE OF HOLDING THE GEOGRID IN THE PROPER DESIGN POSITION DURING GRID PRE-TENSIONING AND BACKFILLING.

2.03 BASE LEVELING PAD MATERIAL

- A. MATERIAL SHALL CONSIST OF A COMPACTED #57 CRUSHED STONE BASE OR CONCRETE AS SHOWN ON THE CONSTRUCTION DRAWINGS.

2.04 UNIT DRAINAGE FILL

- A. UNIT DRAINAGE FILL SHALL CONSIST OF #57 CRUSHED STONE.

2.05 REINFORCED BACKFILL

- A. REINFORCED BACKFILL SHALL BE TYPE SM, FREE OF DEBRIS AND MEET THE FOLLOWING GRADATION TESTED IN ACCORDANCE WITH ASTM D422 AND MEET OTHER PROPERTIES SHOWN ON THE PLAN:

SIEVE SIZE	PERCENT PASSING
1 1/2 INCH	100
3/4 INCH	100-75
NO. 40	0-60
NO. 200	0-35

PLASTICITY INDEX (PI) <15 AND LIQUID LIMIT <40, PER ASTM D4318.

- B. MATERIAL CAN BE SITE EXCAVATED SOILS WHERE THE ABOVE REQUIREMENTS CAN BE MET. UNSUITABLE SOILS FOR BACKFILL (HIGHLY PLASTIC CLAYS OR ORGANIC SOILS) SHALL NOT BE USED IN THE REINFORCED SOIL MASS.

- C. CONTRACTOR SHALL SUBMIT REINFORCED FILL SAMPLE AND LABORATORY TEST RESULTS FOR APPROVAL PRIOR TO THE USE OF ANY REINFORCED BACKFILL MATERIAL.

2.06 GEOGRID SOIL REINFORCEMENT

- A. GEOSYNTHETIC REINFORCEMENT SHALL CONSIST OF GEOGRIDS MANUFACTURED SPECIFICALLY FOR SOIL REINFORCEMENT APPLICATIONS AND SHALL BE MANUFACTURED FROM HIGH TENACITY POLYESTER (PET) YARN.

2.07 DRAINAGE PIPE

- A. THE DRAINAGE PIPE SHALL BE PERFORATED CORRUGATED HDPE PIPE MANUFACTURED IN ACCORDANCE WITH ASTM D1248.

2.08 GEOTEXTILE FILTER FABRIC

- A. WHEN REQUIRED, FILTER FABRIC SHALL BE A NEEDLE-PUNCHED NONWOVEN FABRIC MEETING REQUIREMENTS OF AASHTO M288.

PART 3: EXECUTION

3.01 EXCAVATION

- A. CONTRACTOR SHALL EXCAVATE TO THE LINES AND GRADES SHOWN ON THE CONSTRUCTION DRAWINGS. OWNER'S REPRESENTATIVE SHALL BE RESPONSIBLE FOR INSPECTING AND APPROVING THE SUBGRADE PRIOR TO PLACEMENT OF LEVELING MATERIAL OR FILL SOILS.

3.02 BASE LEVELING PAD

- A. LEVELING PAD MATERIAL SHALL BE PLACED TO THE LINES AND GRADES SHOWN ON THE CONSTRUCTION DRAWINGS, TO A MINIMUM THICKNESS OF 6 INCHES AND EXTEND LATERALLY A MINIMUM OF 6" IN FRONT AND BEHIND THE SEGMENTAL WALL UNIT.
- B. LEVELING PAD SHALL BE PREPARED TO INSURE FULL CONTACT TO THE BASE SURFACE OF THE CONCRETE UNITS.
- C. COMPACT TO MINIMUM 95% OF STANDARD PROCTOR DENSITY PER ASTM D698.

3.03 SEGMENTAL UNIT INSTALLATION

- A. FIRST COURSE OF UNITS SHALL BE PLACED ON THE LEVELING PAD AT THE APPROPRIATE LINE AND GRADE. ALIGNMENT AND LEVEL SHALL BE CHECKED IN ALL DIRECTIONS AND INSURE THAT ALL UNITS ARE IN FULL CONTACT WITH THE BASE AND PROPERLY SEATED.
- B. PLACE THE FRONT OF UNITS SIDE-BY-SIDE. DO NOT LEAVE GAPS BETWEEN ADJACENT UNITS. LAYOUT OF CORNERS AND CURVES SHALL BE IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.
- C. INSTALL SHEAR/CONNECTING DEVICES PER MANUFACTURER'S RECOMMENDATIONS.
- D. PLACE AND COMPACT DRAINAGE FILL WITHIN AND BEHIND WALL UNITS. NOT LESS THAN 1.3 CU. FT. OF DRAINAGE FILL SHALL BE USED FOR EACH SQ. FT. OF WALL FACE, UNLESS NOTED OTHERWISE.
- E. PLACE AND COMPACT REINFORCED BACKFILL SOIL BEHIND DRAINAGE FILL. FOLLOW WALL ERECTION AND DRAINAGE FILL CLOSELY WITH BACKFILL.
- F. MAXIMUM STACKED VERTICAL HEIGHT OF WALL UNITS, PRIOR TO UNIT DRAINAGE FILL AND BACKFILL PLACEMENT AND COMPACT, SHALL NOT EXCEED TWO COURSES.

3.04 STRUCTURAL GEOGRID INSTALLATION

- A. GEOGRID SHALL BE ORIENTED WITH THE HIGHEST STRENGTH AXIS PERPENDICULAR TO THE WALL ALIGNMENT.
- B. GEOGRID REINFORCEMENT SHALL BE PLACED AT THE STRENGTHS, LENGTHS, AND ELEVATIONS SHOWN ON THE CONSTRUCTION DRAWINGS OR AS DIRECTED BY THE ENGINEER.
- C. THE GEOGRID SHALL BE LAID HORIZONTALLY ON COMPACTED BACKFILL AND ATTACHED TO THE SEGMENTAL WALL UNIT PINS AND WITHIN 1 INCH OF THE FACE OF THE UNITS. PLACE THE NEXT COURSE OF SEGMENTAL CONCRETE UNITS OVER THE GEOGRID. THE GEOGRID SHALL BE PULLED TAUT, AND ANCHORED PRIOR TO BACKFILL PLACEMENT ON THE GEOGRID.
- D. GEOGRID REINFORCEMENTS SHALL BE CONTINUOUS THROUGHOUT THEIR EMBEDMENT LENGTHS AND PLACED

SIDE-BY-SIDE TO PROVIDE 100% COVERAGE AT EACH LEVEL. SPLICED CONNECTIONS BETWEEN SHORTER PIECES OF GEOGRID OR GAPS GREATER THAN 2 INCHES BETWEEN ADJACENT PIECES OF GEOGRID ARE NOT PERMITTED.

3.05 REINFORCED BACKFILL PLACEMENT

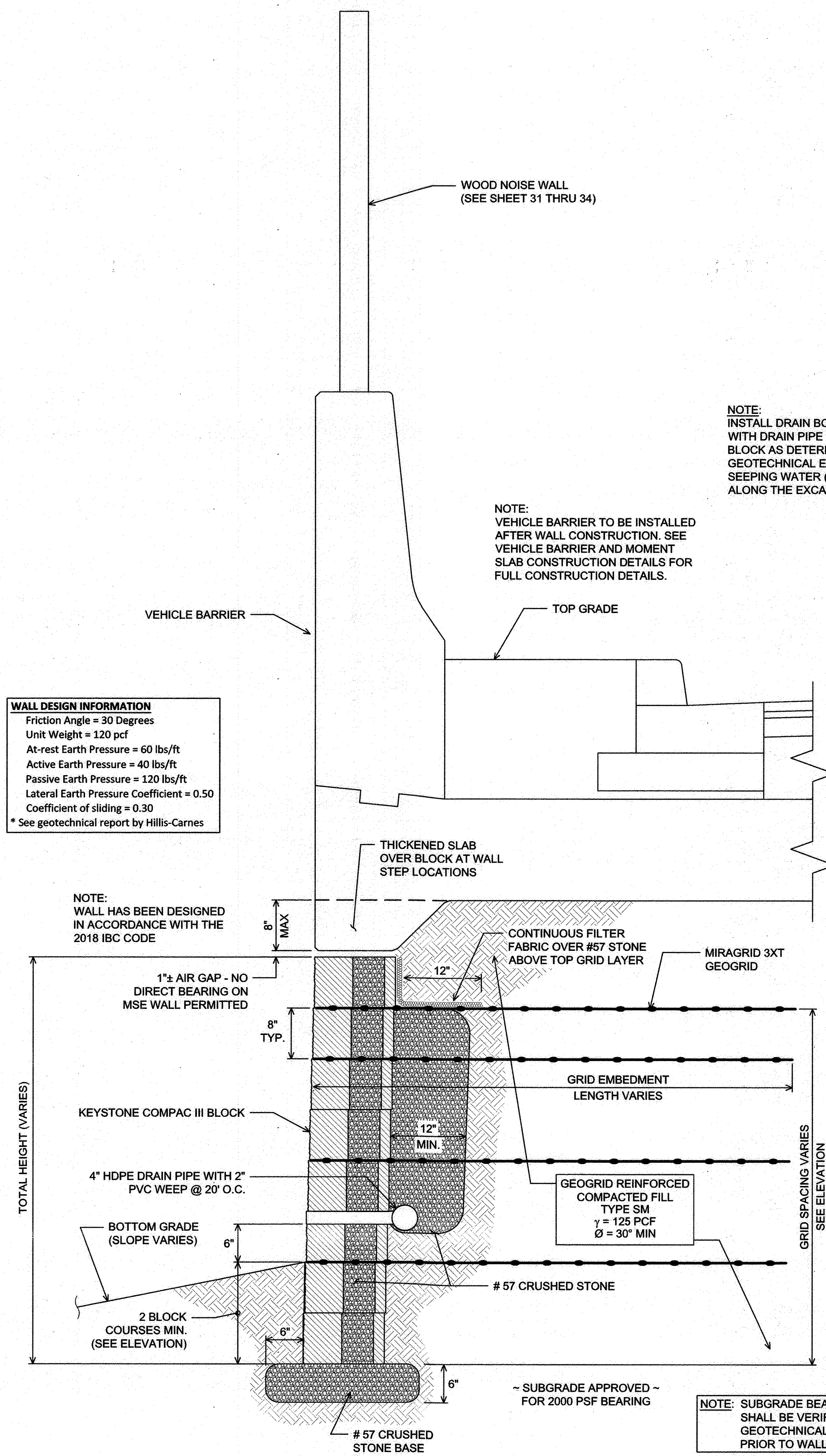
- A. REINFORCED BACKFILL SHALL BE PLACED, SPREAD, AND COMPACTED IN SUCH A MANNER THAT MINIMIZES THE DEVELOPMENT OF SLACK IN THE GEOGRID AND INSTALLATION DAMAGE TO GEOGRID.
- B. REINFORCED BACKFILL SHALL BE PLACED AND COMPACTED IN LIFTS NOT TO EXCEED 6 INCHES WHERE HAND OPERATED COMPACTION EQUIPMENT IS USED, OR 8 - 10 INCHES WHERE HEAVY COMPACTION EQUIPMENT IS USED. LIFT THICKNESS SHALL BE DECREASED TO ACHIEVE THE REQUIRED DENSITY AS REQUIRED.
- C. REINFORCED BACKFILL SHALL BE COMPACTED TO 95% OF THE MAXIMUM DENSITY AS DETERMINED BY ASTM D698. THE MOISTURE CONTENT OF THE BACKFILL MATERIAL PRIOR TO AND DURING COMPACTION SHALL BE UNIFORMLY DISTRIBUTED THROUGHOUT EACH LAYER AND SHALL BE + 0% TO - 3% OF OPTIMUM.
- D. ONLY LIGHTWEIGHT HAND-OPERATED COMPACTION EQUIPMENT SHALL BE ALLOWED WITHIN 3 FEET FROM THE BACK OF THE SEGMENTAL CONCRETE UNIT.
- E. TRACKED CONSTRUCTION EQUIPMENT SHALL NOT BE OPERATED DIRECTLY UPON THE GEOGRID REINFORCEMENT. A MINIMUM FILL THICKNESS OF 6 INCHES IS REQUIRED PRIOR TO OPERATION OF TRACKED VEHICLES OVER THE GEOGRID. TRACKED VEHICLE TURNING SHOULD BE KEPT TO A MINIMUM TO PREVENT TRACKS FROM DISPLACING THE FILL AND DAMAGING OR DISPLACING THE SEGMENTAL CONCRETE UNITS OR GEOGRID.
- F. RUBBER Tired EQUIPMENT MAY PASS OVER GEOGRID REINFORCEMENT AT SLOW SPEEDS, LESS THAN 10 MPH. SUDDEN BRAKING AND TURNING SHALL BE AVOIDED.
- G. AT THE END OF EACH DAY'S OPERATION, THE CONTRACTOR SHALL SLOPE THE LAST LIFT OF REINFORCED BACKFILL AWAY FROM THE WALL UNITS TO DIRECT RUNOFF AWAY FROM WALL FACE. THE CONTRACTOR SHALL NOT ALLOW SURFACE RUNOFF FROM ADJACENT AREAS TO ENTER THE WALL CONSTRUCTION SITE.

3.06 CAP INSTALLATION

- A. PRIOR TO PLACEMENT OF CAP UNITS, THE UPPER SURFACE OF THE TOP COURSE WALL UNITS SHALL BE CLEANED OF SOIL AND ANY OTHER MATERIAL.
- B. CAP UNITS SHALL BE GLUED TO UNDERLYING UNITS WITH AN ALL-WEATHER EXTERIOR CONSTRUCTION ADHESIVE RECOMMENDED BY THE MANUFACTURER.

3.07 FIELD QUALITY CONTROL

- A. THE OWNER SHALL ENGAGE INSPECTION AND TESTING SERVICES, INCLUDING INDEPENDENT LABORATORIES, TO PROVIDE QUALITY ASSURANCE AND TESTING SERVICES DURING CONSTRUCTION.
- B. AS A MINIMUM, QUALITY ASSURANCE TESTING SHOULD INCLUDE FOUNDATION SOIL INSPECTION, RETAINED SOIL AND BACKFILL TESTING, VERIFICATION OF DESIGN PARAMETERS, AND OBSERVATION OF CONSTRUCTION FOR GENERAL COMPLIANCE WITH DESIGN DRAWINGS AND SPECIFICATIONS.



WALL DESIGN INFORMATION
Friction Angle = 30 Degrees
Unit Weight = 120 pcf
At-rest Earth Pressure = 60 lbs/ft
Active Earth Pressure = 40 lbs/ft
Passive Earth Pressure = 120 lbs/ft
Lateral Earth Pressure Coefficient = 0.50
Coefficient of sliding = 0.30
* See geotechnical report by Hillis-Carnes

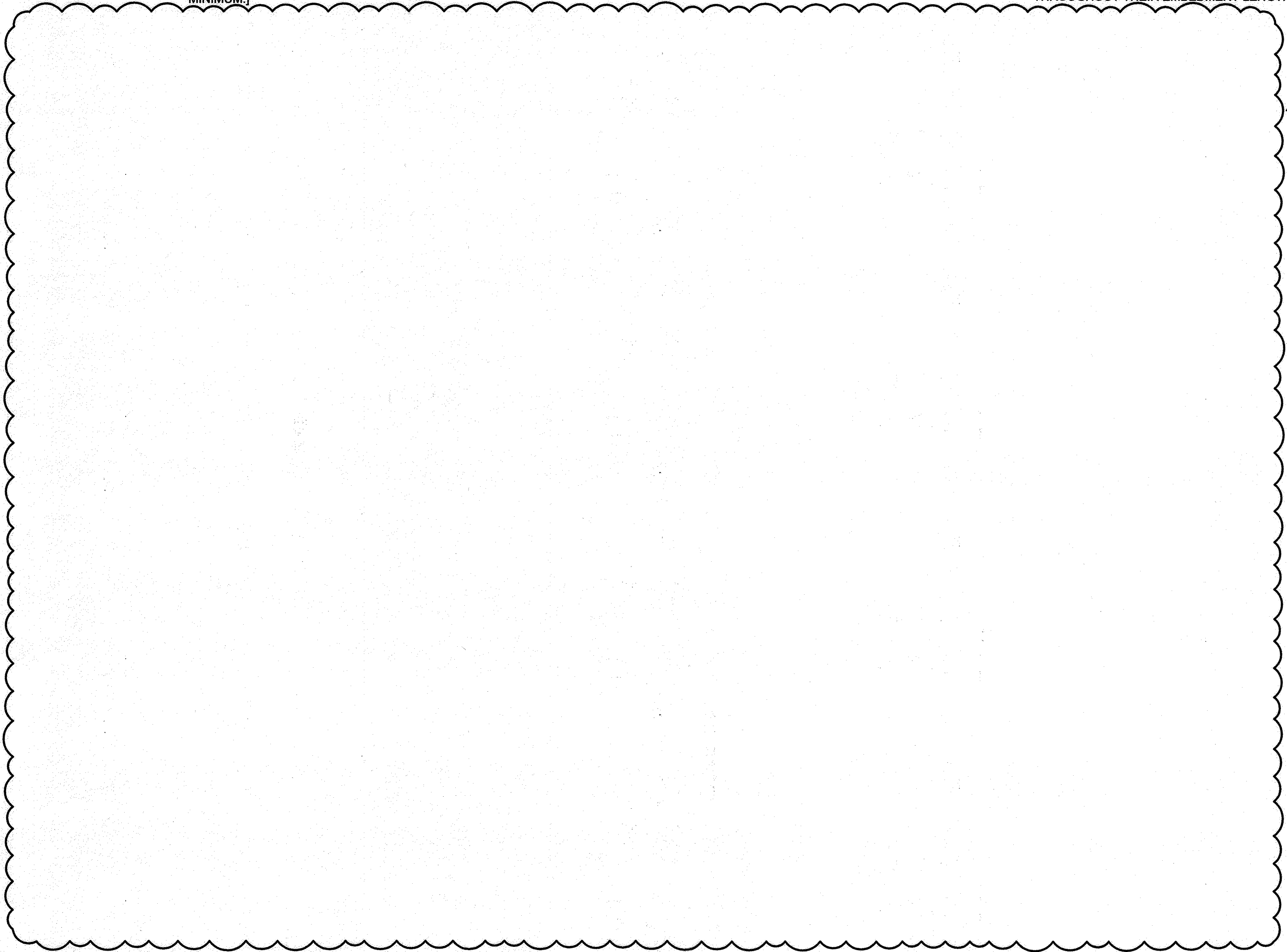
NOTE: INSTALL DRAIN BOARD BEHIND GEOGRIDS WITH DRAIN PIPE DAYLIGHTING THRU WALL BLOCK AS DETERMINED NECESSARY BY SITE GEOTECHNICAL ENGINEER TO INTERCEPT ANY SEEPING WATER (OR AREAS LIKELY TO SEEP) ALONG THE EXCAVATION FACE.

NOTE: VEHICLE BARRIER TO BE INSTALLED AFTER WALL CONSTRUCTION. SEE VEHICLE BARRIER AND MOMENT SLAB CONSTRUCTION DETAILS FOR FULL CONSTRUCTION DETAILS.

NOTE: WALL HAS BEEN DESIGNED IN ACCORDANCE WITH THE 2018 IBC CODE

NOTE: SUBGRADE BEARING CAPACITY SHALL BE VERIFIED BY A GEOTECHNICAL ENGINEER PRIOR TO WALL CONSTRUCTION.

TYPICAL WALL #1 SECTION
N.T.S.



PARCEL C-5 OWNER
BEAZER HOMES, LLC.
6085 MARSHALLEE DRIVE, SUITE 350
ELK RIDGE, MD 21075
443-538-9249

OWNER
TRIPLE BELL FARMS, LLC.
98 LAUREL RACE TRACK RD
LAUREL, MD 20725
(301) 470-5494

OWNER/DEVELOPER
20006 DELAWARE INC.
198 LAUREL RACE TRACK RD
LAUREL, MD 20725
(301) 470-5494

REVISE PLAN FOR BUILDING ARCHITECTURE (UNITS 172 - 222); REVISE W&S HOUSE CONNECTIONS; REMOVE APARTMENT BUILDINGS 7, 8 & 9
NO. _____ DATE _____

REVISED SITE DEVELOPMENT PLAN
RETAINING WALL CONSTRUCTION DETAILS
PADDOCK POINTE - PHASE 3A
(FORMERLY KNOWN AS LAUREL PARK STATION)
76 STACKED TOWN
PARCELS C-5 & K-2
ZONED: TOD
TAX MAP: 50 BLOCK: 10
6TH ELECTION DISTRICT
PARCEL 364
HOWARD COUNTY, MARYLAND

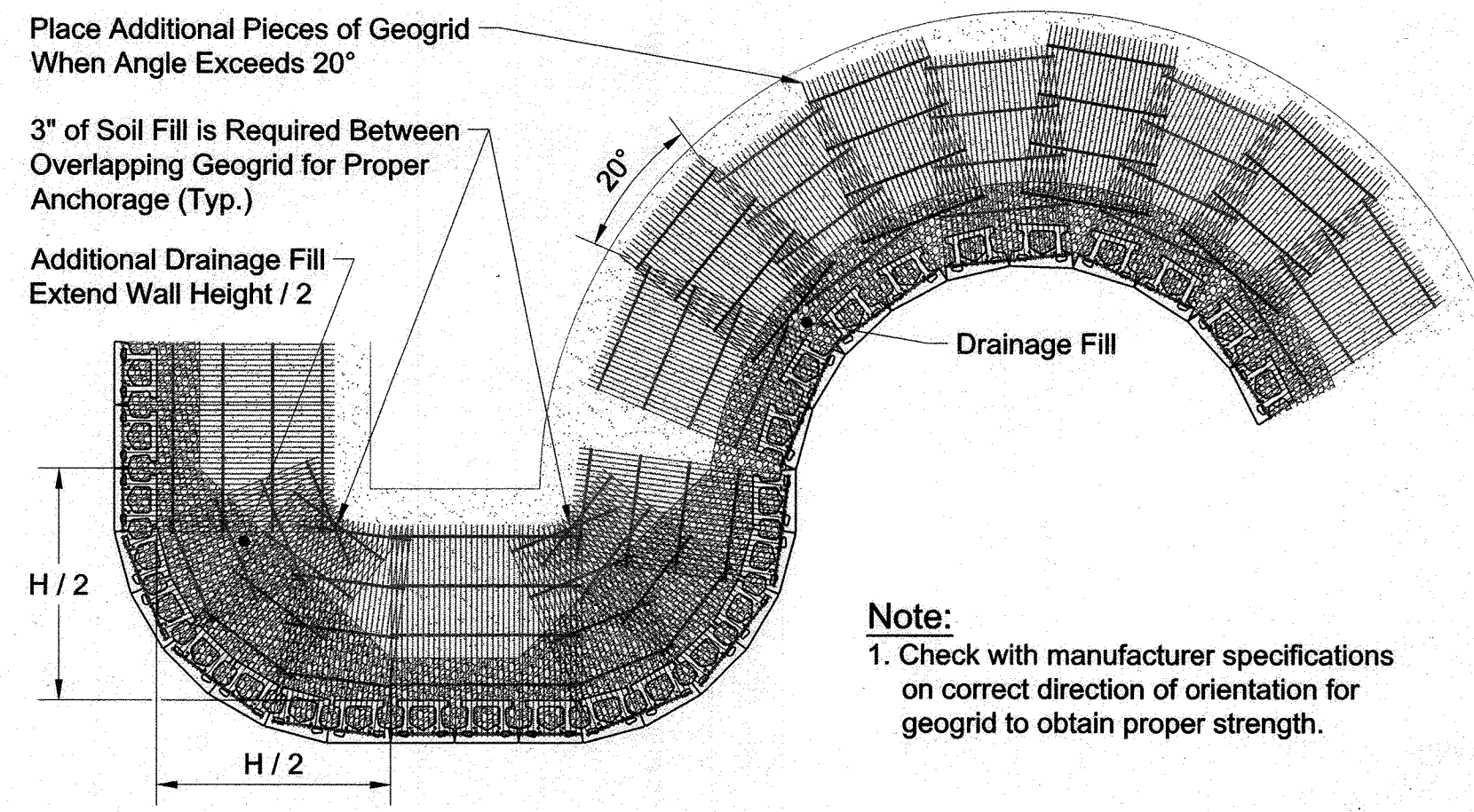
HILLIS-CARNES
ENGINEERING ASSOCIATES
10975 Guilford Road, Suite A Annapolis Junction, Maryland
Phone: (410) 880-4788 www.hcaa.com Fax: (410) 880-4098

PROFESSIONAL CERTIFICATE
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A FULLY LICENSED PROFESSIONAL ENGINEER UNDER THE USE OF THE STATE EXPIRATION DATE: 8/8/25

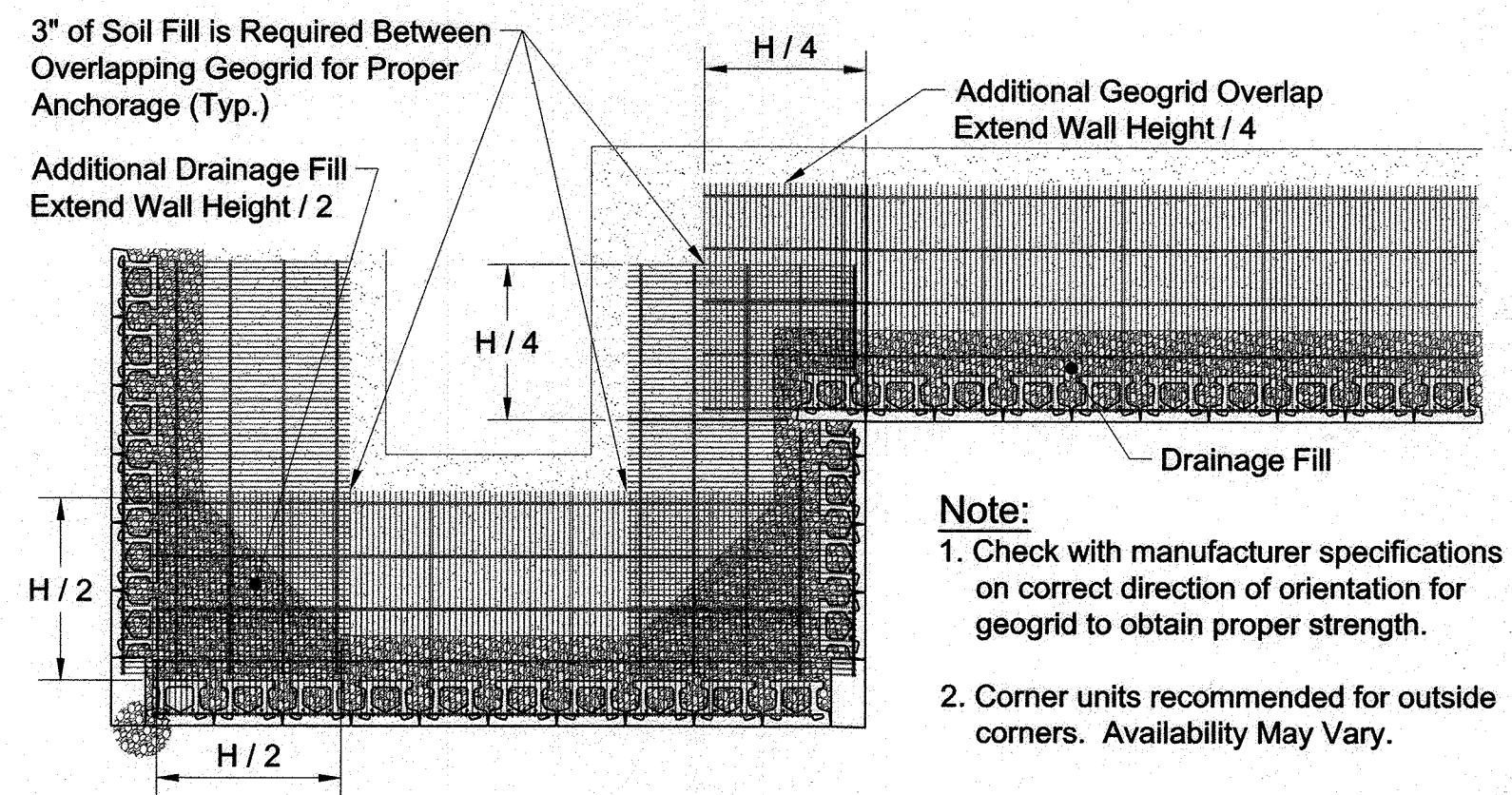
DESIGN BY: _____ JE/AM
DRAWN BY: _____ HM
CHECKED BY: _____ HM
DATE: MAY 2024
SCALE: AS NOTED
HCAA JOB NO.: 20631A

27 SHEET OF **40**

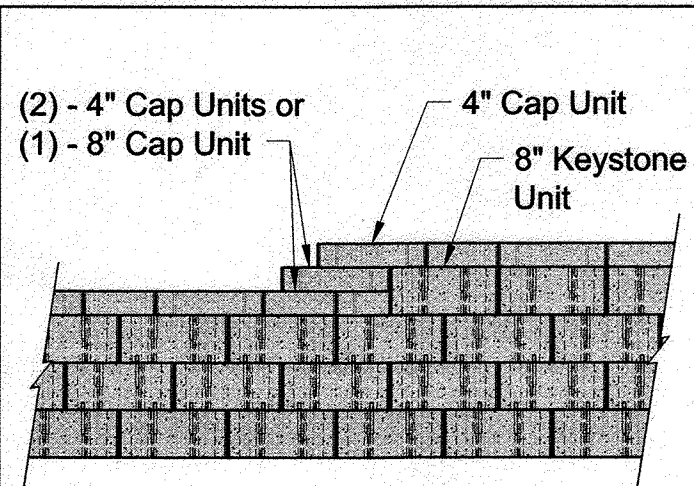
APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
9-16-24
9/24/24
9/30/24



Geogrid Installation on Curves



Geogrid Installation at Corners

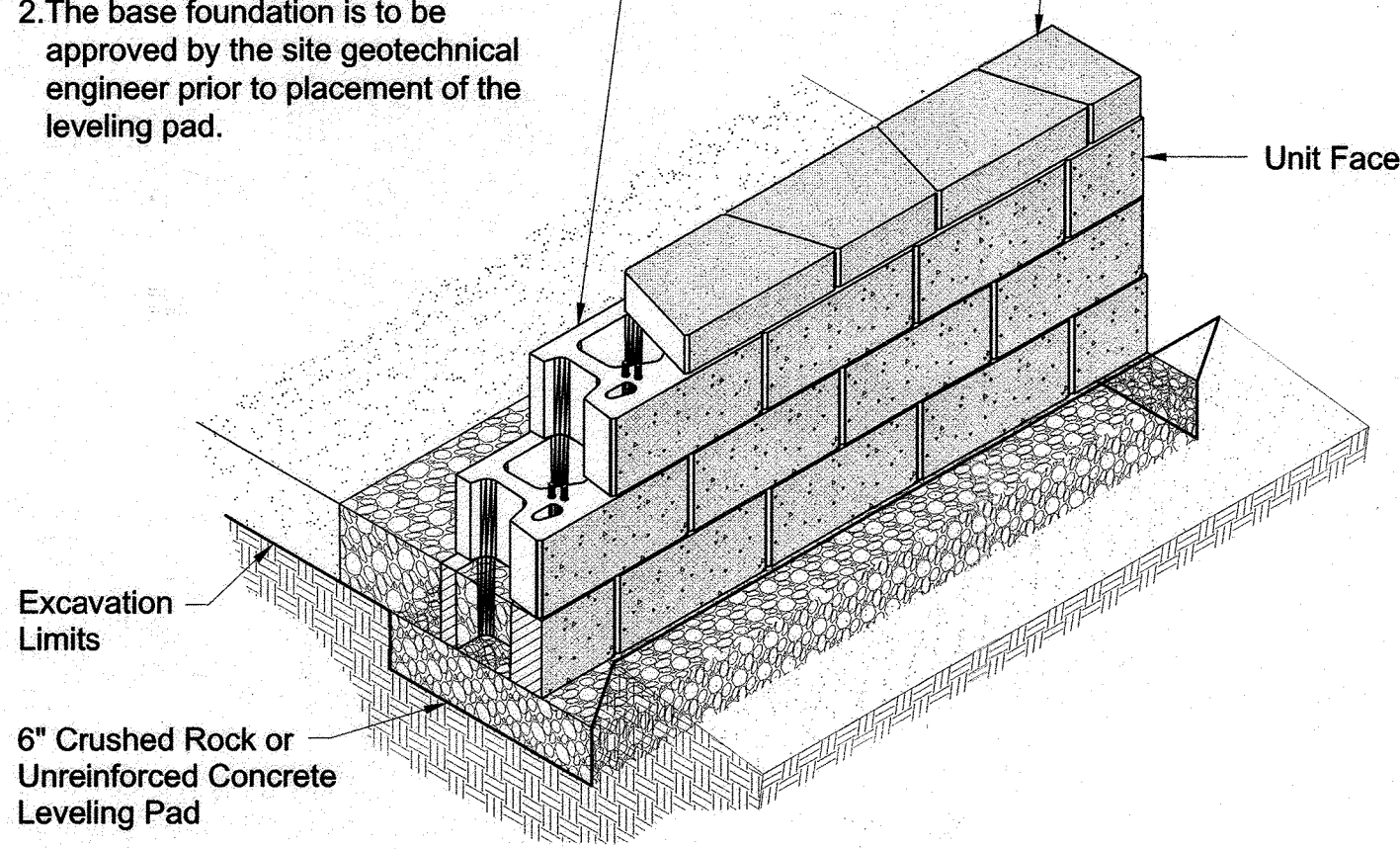


Top of Wall Steps

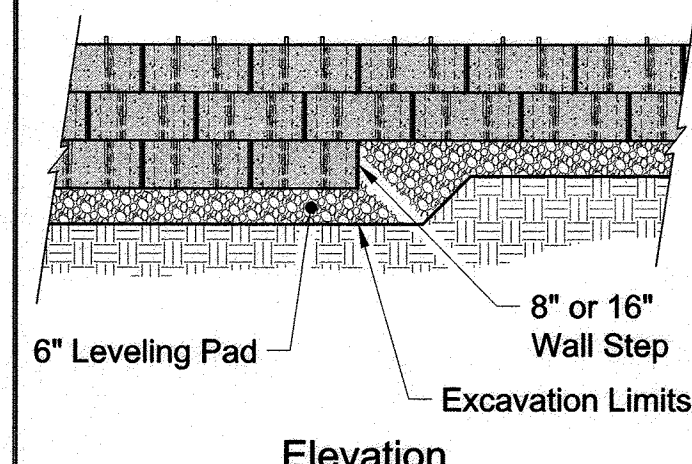
Base Leveling Pad Notes:

1. The leveling pad is to be constructed of crushed stone or 2,000 psi unreinforced concrete
2. The base foundation is to be approved by the site geotechnical engineer prior to placement of the leveling pad.

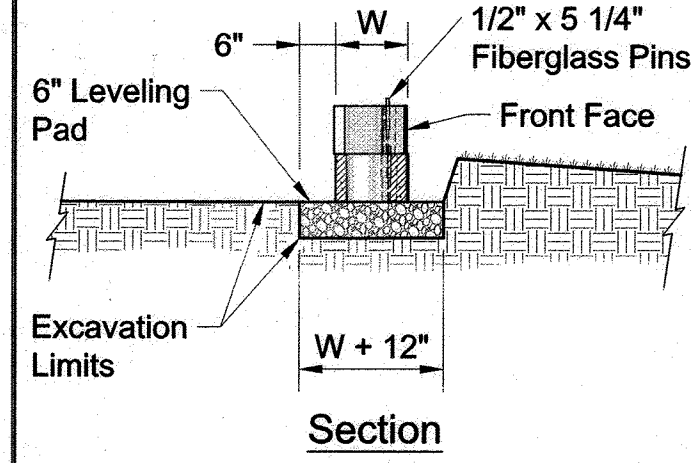
	Compac III Unit	Universal Cap Unit
*Width:	18"	18"/12"
*Depth:	12"	10 1/2"
*Height:	8"	4"
*Weight:	75 lbs	49 lbs



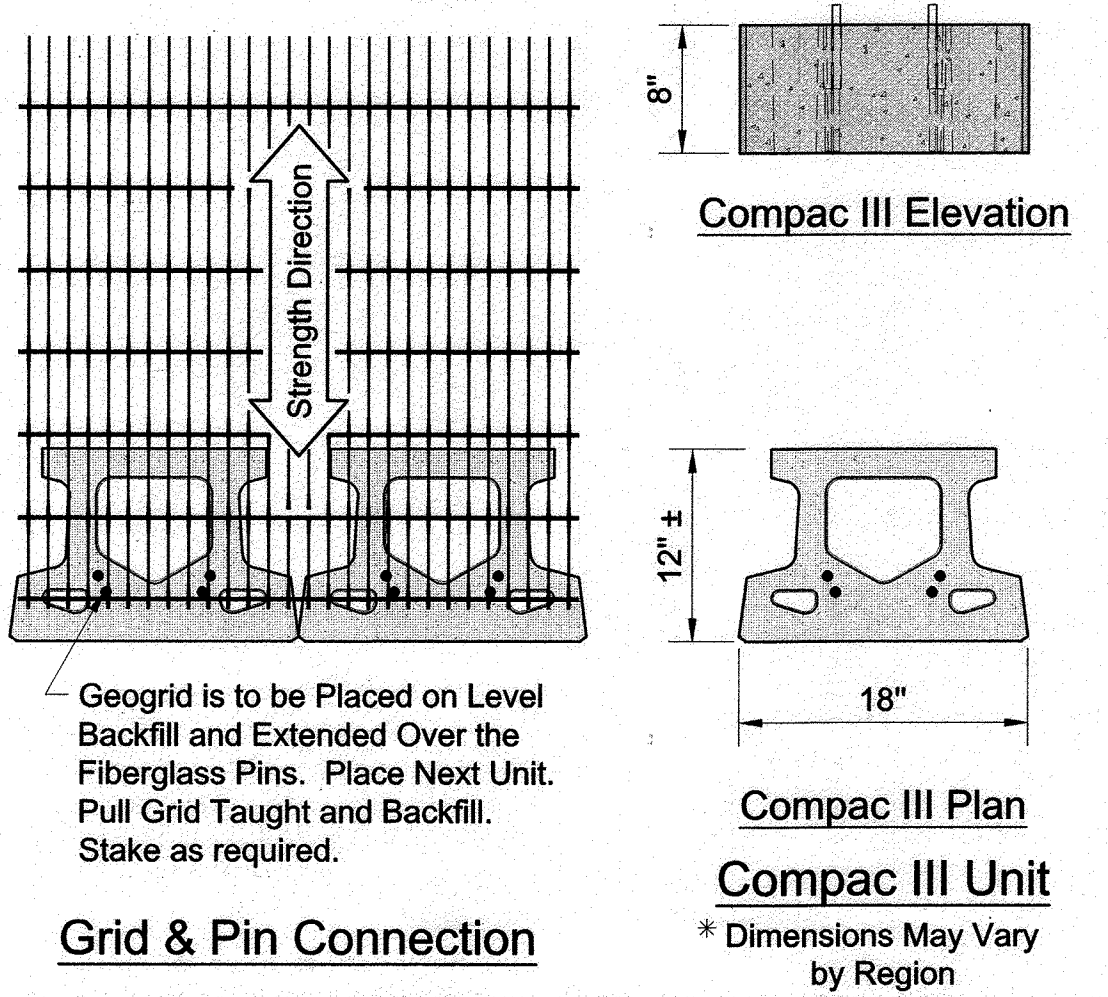
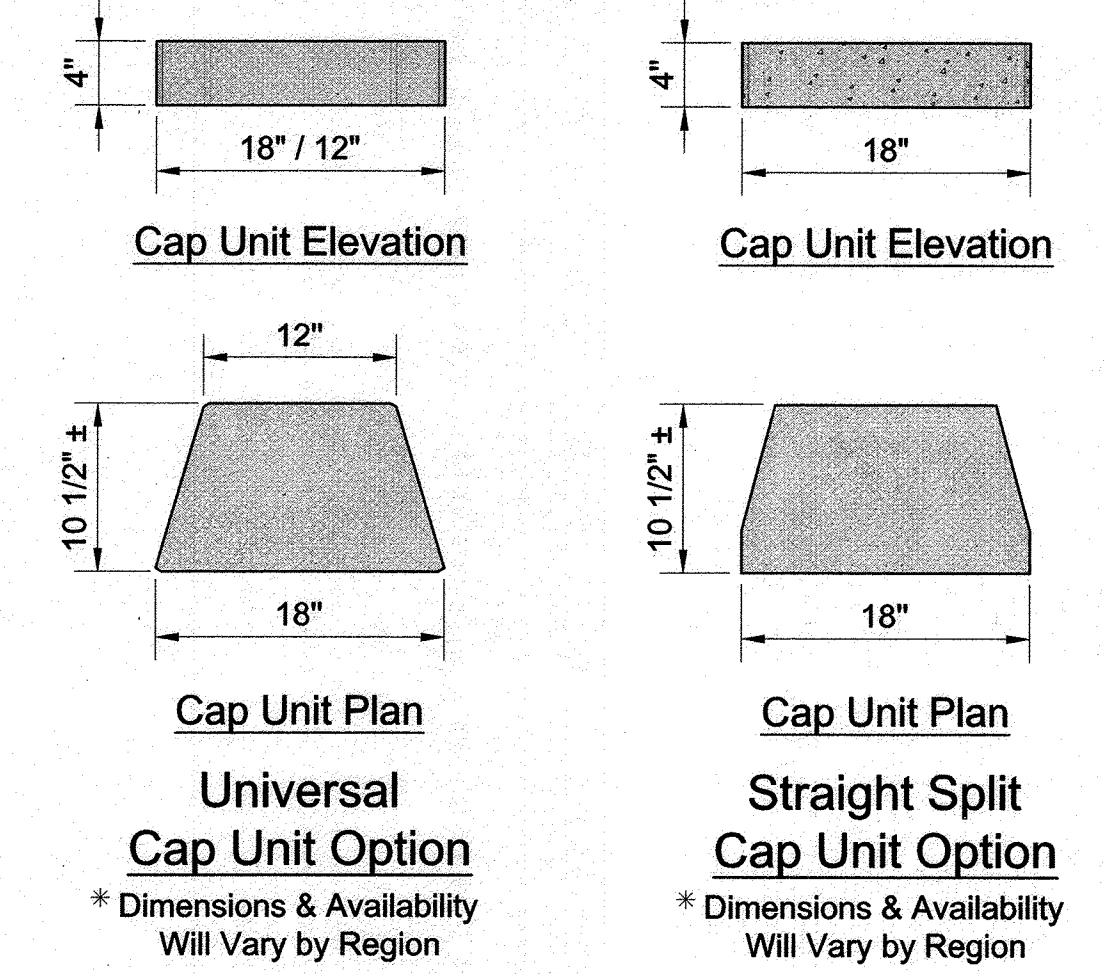
Compac III Unit/Base Pad Isometric Section View
* Dimensions & Weight May Vary by Region



Note:
1. The leveling pad is to be constructed of crushed stone or 2000 psi unreinforced concrete.



Leveling Pad Detail



Grid & Pin Connection

COMPAC III UNIT - STRAIGHT FACE DETAILS

PARCEL C-5 OWNER	OWNER	OWNER/DEVELOPER
BEAZER HOMES, LLC. 6085 MARSHALLEE DRIVE, SUITE 350 ELKRIEDE, MD 21075 443-539-9249	TRIPLE BELL FARMS, LLC. 198 LAUREL RACE TRACK RD LAUREL, MD 20725 (301) 470-5494	20006 DELAWARE INC. 198 LAUREL RACE TRACK RD LAUREL, MD 20725 (301) 470-5494

NO.	REVISION	DATE
1	REVISE PLAN FOR BUILDING ARCHITECTURE (UNITS 172 - 222); W&S HOUSE CONNECTIONS; REMOVE APARTMENT BUILDINGS 7, 8 & 9	04-10-24

REVISED SITE DEVELOPMENT PLAN
RETAINING WALL CONSTRUCTION DETAILS
PADDOCK POINTE - PHASE 3A
(FORMERLY KNOWN AS LAUREL PARK STATION)
76 STACKED TOWN PARCELS C-5 & K-2
ZONED: TOB
TAX MAP: 50 BLOCK: 10
6TH ELECTION DISTRICT
PARCEL 384
HOWARD COUNTY, MARYLAND

HILLIS-CARNES
ENGINEERING ASSOCIATES
10975 Guilford Road, Suite A Annapolis Junction, Maryland
Phone: (410) 880-4788 www.hcea.com Fax: (410) 880-4098



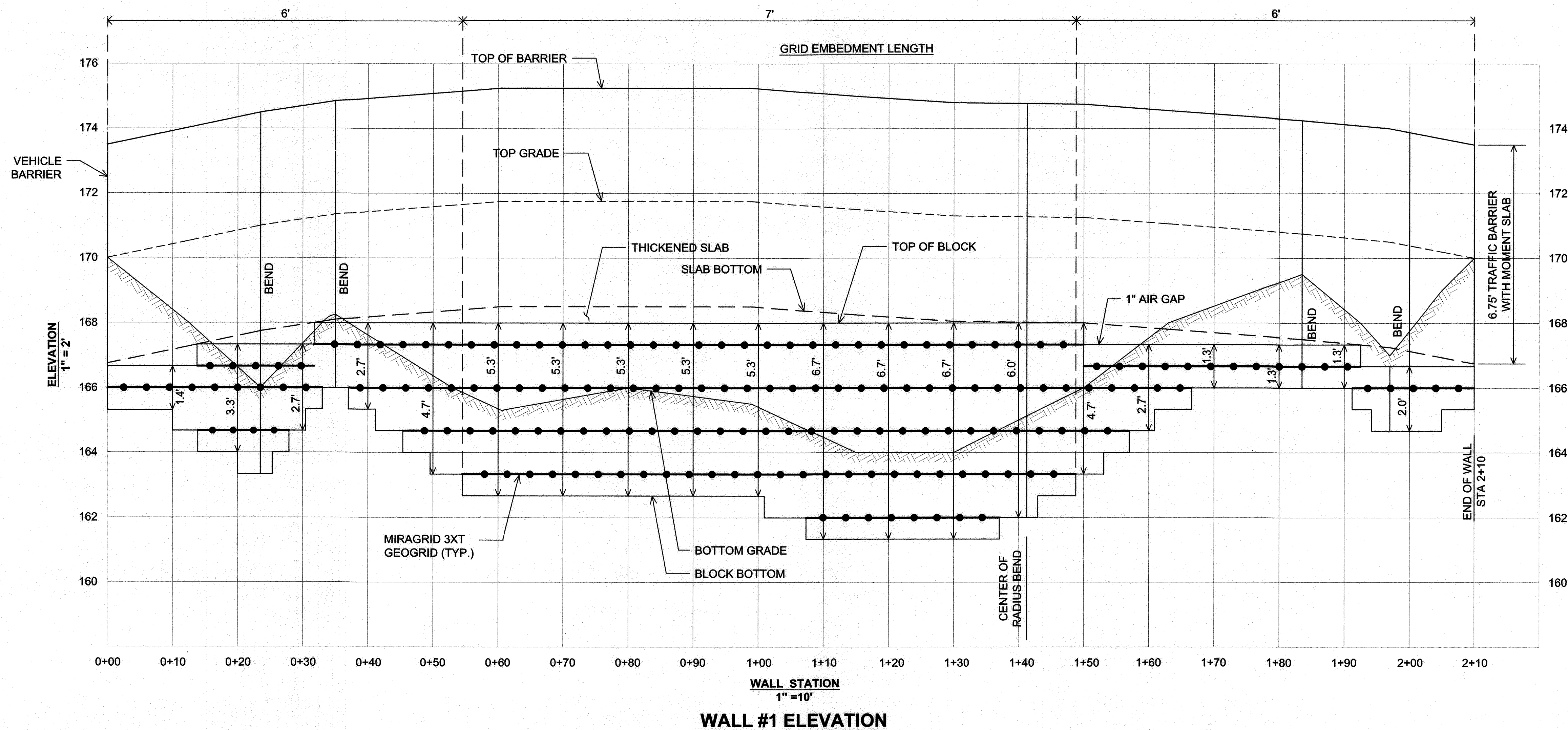
DESIGN BY: JE/AM
DRAWN BY: AM
CHECKED BY: HM
DATE: MAY 2024
SCALE: AS NOTED
HCEA JOB NO.: 20631A

PROFESSIONAL CERTIFICATE
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND THAT I AM A duly licensed PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND LICENSE NO. 53198 EXPIRATION DATE: 6/30/25

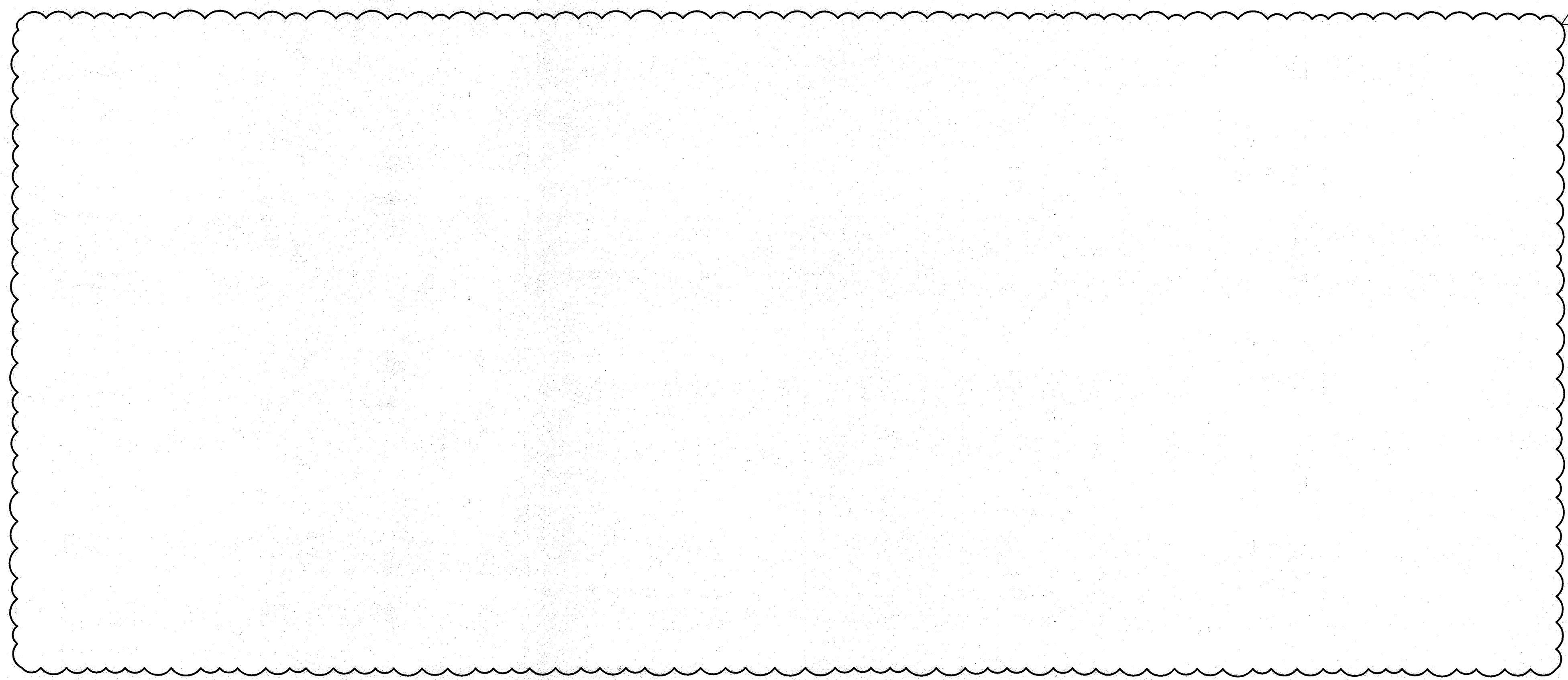
APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

 CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE: 9-16-24

 CHIEF, DIVISION OF LAND DEVELOPMENT DATE: 9/30/24
 DIRECTOR DATE: 9/30/24



- NOTES:**
1. NO TREES SHALL BE PLANTED WITHIN 10 FEET OF THE TOP OF THE RETAINING WALL.
 2. RETAINING WALLS SHALL ONLY BE CONSTRUCTED UNDER THE OBSERVATION OF A REGISTERED PROFESSIONAL ENGINEER AND A (NICET, WACEL, OR EQUIV.) CERTIFIED SOILS TECHNICIAN.
 3. ONE SOIL BORING SHALL BE REQUIRED EVERY ONE HUNDRED FEET ALONG THE ENTIRE LENGTH OF THE WALL. COPIES OF ALL BORING REPORTS SHALL BE PROVIDED TO THE HOWARD COUNTY INSPECTOR PRIOR TO THE START OF CONSTRUCTION.
 4. THE REQUIRED BEARING PRESSURE BENEATH THE WALL SYSTEM SHALL BE VERIFIED IN THE FIELD BY A CERTIFIED SOILS TECHNICIAN. TESTING DOCUMENTATION MUST BE PROVIDED TO THE HOWARD COUNTY INSPECTOR PRIOR TO START OF CONSTRUCTION. THE REQUIRED BEARING TEST SHALL BE THE DYNAMIC CONE PENETROMETER TEST ASTM STP-399.
 5. THE SUITABILITY OF FILL MATERIAL SHALL BE CONFIRMED BY THE ON-SITE SOILS TECHNICIAN. EACH 8" LIFT MUST BE COMPACTED TO A MINIMUM 95% STANDARD PROCTOR DENSITY AND THE TESTING REPORT SHALL BE MADE AVAILABLE TO THE HOWARD COUNTY INSPECTOR UPON COMPLETION OF CONSTRUCTION.
 6. WALLS SHALL NOT BE CONSTRUCTED ON UNCERTIFIED FILL MATERIALS.
 7. WALLS SHALL NOT BE CONSTRUCTED WITHIN A HOWARD CO. RIGHT-OF-WAY OR EASEMENT.



PARCEL C-5 OWNER BEAZER HOMES, LLC. 6085 MARSHLEE DRIVE, SUITE 350 ELK RIDGE, MD 21075 443-539-9249	OWNER TRIPLE BELL FARMS, LLC. 498 LAUREL RACE TRACK RD LAUREL, MD 20725 (301) 470-5494	OWNER/DEVELOPER 20006 DELAWARE INC. 198 LAUREL RACE TRACK RD LAUREL, MD 20725 (301) 470-5494
REVISION NO. REVISION DATE 1 REVISE PLAN FOR BUILDING ARCHITECTURE (UNITS 172 - 222); REVISE W&S HOUSE CONNECTIONS; REMOVE APARTMENT BUILDINGS 7, 8 & 9 04-10-24		

REVISED SITE DEVELOPMENT PLAN
RETAINING WALL #1 & #2 ELEVATIONS
 PADDOCK POINTE - PHASE 3A
 (FORMERLY KNOWN AS LAUREL PARK STATION)
 78 STACKED TOWN
 PARCELS C-3 & K-2
 ZONED: T01
 TAX MAP: 50 BLOCK: 10
 6TH ELECTION DISTRICT
 PARCEL 384
 HOWARD COUNTY, MARYLAND

HILLIS-CARNES ENGINEERING ASSOCIATES
 10975 Guilford Road, Suite A Annapolis Junction, Maryland
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PROFESSIONAL CERTIFICATE
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DESIGN BY: JE/AM
 DRAWN BY: AM
 CHECKED BY: HM
 DATE: MAY 2024
 SCALE: AS NOTED
 HCEA JOB NO.: 20631A

29 SHEET OF **40**

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

Chad Clark 9.16.24
 CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

David Escher 9/30/24
 CHIEF, DIVISION OF LAND DEVELOPMENT DATE

David Escher
 DIRECTOR

GENERAL NOTES

CONTRACTOR RESPONSIBILITIES: THE STRUCTURE IS DESIGNED TO BE SELF-SUPPORTING AND STABLE AFTER THE BUILDING IS FULLY COMPLETED. IT IS SOLELY THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE ERECTION PROCEDURES AND SEQUENCE, AND TO ENSURE THE STABILITY OF THE BUILDING AND ITS COMPONENT PARTS, AND THE ADEQUACY OF TEMPORARY OR INCOMPLETE CONNECTIONS, DURING ERECTING. THIS INCLUDES THE ADDITION OF ANY SHORING, SHEETING, TEMPORARY GUYS, BRACING OR TIEDOWNS THAT MIGHT BE NECESSARY. SUCH MATERIAL IS NOT SHOWN ON THE DRAWINGS. IF APPLIED, THEY SHALL BE REMOVED AS CONDITIONS PERMIT AND SHALL REMAIN THE CONTRACTOR'S PROPERTY. THE ENGINEER HAS NO EXPERTISE IN, AND TAKES NO RESPONSIBILITY FOR, CONSTRUCTION MEANS AND METHODS OR JOBSITE SAFETY DURING CONSTRUCTION. PROCESSING AND/OR APPROVED SUBMITTALS MADE BY THE CONTRACTOR WHICH MAY CONTAIN INFORMATION RELATED TO CONSTRUCTION METHODS OF SAFETY ISSUES, OR PARTICIPATION IN MEETINGS WHERE SUCH ISSUES MIGHT BE DISCUSSED, SHALL NOT BE CONSTRUED AS VOLUNTARY ASSUMPTION BY THE ENGINEER OF ANY RESPONSIBILITY OF EACH CONTRACTOR TO FOLLOW ALL APPLICABLE SAFETY CODES AND REGULATIONS DURING ALL PHASES OF CONSTRUCTION. THE ENGINEER IS NOT ENGAGED IN, AND DOES NOT SUPERVISE CONSTRUCTION.

CONTROLLED FILL AND BACKFILL: SAMPLES OF ALL MATERIALS THAT THE CONTRACTOR PROPOSES TO USE FOR COMPACTED FILL SHALL BE APPROVED BY THE GEOTECHNICAL ENGINEER. COMPACTED FILL SHALL CONSIST OF LOCAL MATERIAL FREE OF DELETERIOUS MATTER AND CLASSIFIED SP, SW, SM, SC, GP, GW, GM, OR GC PER ASTM D-2487. THE CONTROL OF THE MOISTURE FOR PLACING THE FILL WILL BE BASED ON THE RESULTS OF COMPACTION TESTS PER ASTM D-1557. ALL COMPACTED FILL SHALL HAVE A DENSITY OF AT LEAST 95% OF THE MODIFIED PROCTOR MAXIMUM DRY DENSITY AS DETERMINED BY ASTM D-1557. PRIOR TO PLACEMENT OF ANY FILLS, THE SITE SHALL BE STRIPPED OF ALL TOPSOIL, VEGETATION, ROCKS, AND ORGANIC MATERIALS AND THE EXPOSED SUBGRADE SHALL BE COMPACTED IN PLACE TO A CONFIRMED DENSITY OF 95% OF THE MODIFIED PROCTOR MAXIMUM DRY DENSITY. FILL MATERIAL SHALL BE PLACED IN LOOSE LIFTS NOT EXCEEDING 8" IN THICKNESS AND SHALL BE MIXED, SPREAD AND PLACED IN SUCH A WAY AS TO PRODUCE A UNIFORM THICKNESS OF MATERIAL AFTER PLACING. EACH LAYER OF FILL SHALL BE COMPACTED WITH A MINIMUM OF 6 COMPLETE PASSES ON ALL PORTIONS OF THE SURFACE OF EACH LIFT OF FILL BY RUBBER-TIRED ROLLERS, SHEEPS-FOOT ROLLERS OR OTHER MECHANICAL EQUIPMENT APPROVED BY THE GEOTECHNICAL ENGINEER. COMPACTED FILL PLACED WITHIN 4 FEET OF STRUCTURES AND PIPES SHOULD BE PLACED IN HORIZONTAL LIFTS NOT TO EXCEED 4 INCHES THICKNESS AND COMPACTED WITH HAND TAMPERS OR LIGHT COMPACTION EQUIPMENT TO THE SAME STANDARD. HEAVY COMPACTION EQUIPMENT SHOULD NOT BE ALLOWED WITHIN 4 FEET OF STRUCTURES UNLESS A MINIMUM 2 FEET DEPTH OF FILL COVERS THE STRUCTURES. WHENEVER IN PLACE DENSITIES ARE FOUND BELOW ACCEPTABLE LIMITS, ADDITIONAL ROLLING TO PRODUCE THE SPECIFIED DENSITIES SHALL BE REQUIRED. THE CONTRACTOR SHALL TAKE ALL MEASURES REQUIRED TO PROVIDE FOR FREE DRAINAGE OF THE SITE AND TO PREVENT PONDING OF WATER. SEDIMENT CONTROL MEASURES SHALL BE MAINTAINED AT ALL TIMES. PLACING OF FILL CONTAINING ORGANIC MATTER; PLACING OF FILL WITH MOISTURE CONTENT TOO HIGH OR TOO LOW FOR PROPER COMPACTION; PLACING OF FILL WHEN FREE WATER IS STANDING ON THE EXISTING FILL SURFACE; PLACING OF FILL IN A FROZEN CONDITION OR ON TOP OF FROZEN MATTER WILL NOT BE PERMITTED. THE SOILS ENGINEER SHALL SUPERVISE THE PLACING OF THE COMPACTED FILL AND ALL THE MATERIAL AND EQUIPMENT USED FOR THIS PURPOSE AND SHALL MAKE SUCH SOILS TESTS AS MAY BE REQUIRED FOR THE COMPLETION OF THE WORK PERFORMING AT LEAST 6 IN PLACE DENSITY TESTS DURING EACH EIGHT HOUR SHIFT.

FOUNDATIONS-SPREAD FOOTINGS: BOTTOM OF ALL FOOTINGS SHALL BE A MINIMUM OF 2'-0" BELOW ORIGINAL GRADE OR PLACED IN APPROVED COMPACTED FILL. BOTTOM OF ALL EXTERIOR FOOTINGS SHALL BE A MINIMUM OF 3'-0" BELOW FINISHED GRADE. A SOIL BEARING CAPACITY OF 2000 PSF WAS USED IN THE FOUNDATION DESIGN, AND MUST BE FIELD VERIFIED BY A REGISTERED GEOTECHNICAL ENGINEER. IF SOIL OF THIS BEARING CAPACITY IS NOT ENCOUNTERED AT THE ELEVATIONS INDICATED ON THE CONTRACT DRAWINGS, FOOTINGS SHALL BE LOWERED OR INCREASED IN SIZE AS DIRECTED BY THE STRUCTURAL ENGINEER. ELEVATIONS SHOWN ON PLAN ARE TO THE BOTTOM OF THE FOOTINGS.

CONCRETE: ALL CONCRETE WORK SHALL CONFORM TO ALL THE PROVISIONS OF THE "SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDINGS" (ACI 301) AND TO THE "BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE" (ACI 318). ALL STRUCTURAL CONCRETE SHALL HAVE A MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 4500 PSI UNLESS NOTED OTHERWISE. ADDITIONALLY, THE CONCRETE SHALL CONFORM TO ALL THE PROVISIONS OF "RECOMMENDED PRACTICE FOR HOT WEATHER CONCRETING" (ACI 305) AND "RECOMMENDED PRACTICE FOR COLD WEATHER CONCRETING" (ACI 306). ALL FORMWORK SHALL BE IN ACCORDANCE WITH THE AMERICAN CONCRETE INSTITUTE "FORMWORK FOR CONCRETE" SPECIAL PUBLICATION NO. 4 AND ACI'S "STANDARD RECOMMENDED PRACTICE FOR CONCRETE FORMWORK" (ACI-347). ALL CONCRETE EXPOSED TO THE WEATHER SHALL HAVE AN AIR ENTRAINMENT OF 6% +/- 1%. THE MAXIMUM WATER CEMENT RATIO W/C SHALL NOT EXCEED 0.56 FOR ALL CONCRETE EXCEPT CONCRETE EXPOSED TO WEATHER WHICH SHALL NOT EXCEED 0.45. NO ADMIXTURES CONTAINING CALCIUM CHLORIDE SHALL BE PERMITTED. THE MAXIMUM SLUMP OF ALL CONCRETE SHALL BE 4". ALL CONCRETE SHALL BE CURED WITH LIQUID SEALING COMPOUND CONFORMING TO ASTM C-309, TYPE I AND FEDERAL SPECIFICATION TT-C-00800 OR OTHER APPROVED METHOD WHICH IS COMPATIBLE WITH FLOORING ADHESIVES AND OTHER SURFACE TREATMENTS. ALL CONCRETE LEFT EXPOSED AT THE COMPLETION OF THE PROJECT SHALL BE TREATED WITH A CLEAR, PENETRATING ACRYLIC BASE POLYMER CAPABLE OF PREVENTING INFILTRATION OF WATER BORNE CHLORIDES SUCH AS "CONSPEC CURE & SEAL WB" BY DAYTON SUPERIOR CORPORATION OR APPROVED EQUAL. LOADS GREATER THAN THE DESIGN LIVE LOADS SHALL NOT BE PLACED ON THE STRUCTURE. A CONCRETE STRUCTURE MAY NOT SUPPORT ITS DESIGN LIVE LOAD FOR 28 DAYS. CONTRACTOR SHALL SUPPORT ADJACENT STRUCTURES, UTILITIES, AND EXCAVATIONS AS REQUIRED FOR COMPLETION OF WORK. ONE SET OF COMPRESSIVE TEST CYLINDERS FOR EACH 100 CUBIC YARDS POURED, BUT NOT LESS THAN ONE SET FOR EACH DAY'S POUR AND EACH CLASS OF CONCRETE, ALONG WITH SLUMP TESTS SHALL BE PERFORMED BY A TESTING LABORATORY APPROVED BY THE STRUCTURAL ENGINEER. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS FOR ALL TEMPORARY FORMWORK INCLUDING STRIPPING PROCEDURES FOR CONCRETE FLAT SLABS, SHEETING, SHORING, UNDERPINNING, ETC. SEALED BY A REGISTERED PROFESSIONAL ENGINEER AS PART OF THE CONTRACTOR'S WORK.

REINFORCING STEEL: REINFORCING STEEL SHALL BE DEFORMED BARS IN ACCORDANCE WITH ASTM A-615, GRADE 60. BENDS ARE TO BE FABRICATED AS PER DETAILS. PLACE MAIN REINFORCING STEEL SO AS TO PROVIDE 3" MINIMUM COVER FOR FOUNDATIONS POURED ON EARTH, 2" MINIMUM COVER FOR BEAMS AND COLUMNS, 3/4" MINIMUM COVER FOR SLABS AND 1 1/2" FOR ALL REBAR IN EXPOSED CONCRETE (EXCEPT AS OTHERWISE DETAILED).

GENERAL NOTES

STRUCTURAL LUMBER:

STRUCTURAL WOOD POSTS SHALL BE NO.1 SOUTHERN YELLOW PINE WITH A MAXIMUM WATER CONTENT OF 19% AND THE FOLLOWING MINIMUM PROPERTIES:

Fb = 1,350 PSI	Fc = 375 PSI
Ft = 900 PSI	Fc = 825 PSI
Fv = 165 PSI	E = 1,500,000 PSI

STRUCTURAL WOOD STUDS AND PLATES SHALL BE NO.1 SOUTHERN YELLOW PINE WITH A MAXIMUM WATER CONTENT OF 19% AND THE FOLLOWING MINIMUM PROPERTIES:

Fb = 1,350 PSI	Fc = 565 PSI
Ft = 875 PSI	Fc = 1,550 PSI
Fv = 175 PSI	E = 1,600,000 PSI

ALL WOOD USED IN WALL CONSTRUCTION SHALL BE PRESSURE PRESERVATIVE TREATED WITH MCA PRESERVATIVE TO A MINIMUM NET RETENTION OF 0.15PCF (2.40kg/m³) OR CCA PRESERVATIVE TO A MINIMUM NET RETENTION OF 0.40PCF (6.41kg/m³) IN ACCORDANCE WITH AMERICAN WOOD PROTECTION ASSOCIATION (AWPA) STANDARDS U1 AND T1. LUMBER SHALL BE KILN-DRIED TO 19% MOISTURE CONTENT AFTER TREATMENT. COAT ALL CUT SURFACES OF TREATED LUMBER WITH AN APPROVED PRESERVATIVE. ALL CONNECTIONS INCLUDING PLATES, DOWELS, BOLTS AND NAILS EXPOSED TO THE WEATHER SHALL BE STAINLESS STEEL OR HOT-DIPPED GALVANIZED. ALL CONNECTIONS TO PRESSURE TREATED WOOD SHALL BE STAINLESS STEEL OR HOT-DIPPED GALVANIZED PER ASTM A-653M, DESIGNATION G185 COATING.

INSPECTION: ALL WORK SPECIFIED HEREIN SHALL BE INSPECTED IN ACCORDANCE WITH THE BUILDING CODE AND ALL LOCAL ORDINANCES. THE OWNER OR CONTRACTOR SHALL HIRE AN EXPERIENCED QUALIFIED INSPECTOR TO PERFORM ALL REQUIRED INSPECTION WORK. INSPECTION SHALL CONSIST OF VISUAL OBSERVATIONS OF MATERIALS, EQUIPMENT OR CONSTRUCTION WORK FOR THE PURPOSE OF ASCERTAINING THAT THE WORK IS IN SUBSTANTIAL CONFORMANCE WITH THE CONTRACT DOCUMENTS AND WITH THE DESIGN INTENT. THE ENGINEER WILL NOT PERFORM THE REQUIRED INSPECTION AS PART OF THIS PRESENT CONTRACT WITH THE ARCHITECT/OWNER. UNDER THIS PRESENT CONTRACT, THE ENGINEER MAY VISIT THE SITE TO ASCERTAIN GENERAL CONFORMANCE TO THE CONTRACT DOCUMENTS. HOWEVER, SUCH VISITS SHALL NOT BE RELIED UPON BY OTHERS AS ACCEPTANCE OF THE WORK, NOR SHOULD IT BE CONSTRUED TO RELIEVE THE CONTRACTOR IN ANY WAY FROM HIS OBLIGATIONS AND RESPONSIBILITIES UNDER THE CONSTRUCTION CONTRACT. HOWEVER, IF DESIRED, HILLIS-CARNES ENGINEERING ASSOCIATES MAY BE HIRED UNDER A SEPARATE CONTRACT TO PERFORM THIS INSPECTION WORK.

DESIGN WITHOUT CONSTRUCTION REVIEW: IT IS AGREED THAT IF HILLIS-CARNES ENGINEERING ASSOCIATES' PROFESSIONAL SERVICES DO NOT EXTEND TO OR INCLUDE THE REVIEW OR SITE OBSERVATION OF THE CONTRACTOR'S WORK OR PERFORMANCE, THEN THE OWNER WILL DEFEND, INDEMNIFY AND HOLD HARMLESS HILLIS-CARNES ENGINEERING ASSOCIATES, FROM ANY CLAIM OR SUIT WHATSOEVER, INCLUDING BUT NOT LIMITED TO ALL PAYMENTS, EXPENSES OR COSTS INVOLVED, ARISING FROM OR ALLEGED TO HAVE ARISEN FROM THE CONTRACTOR'S PERFORMANCE OR THE FAILURE OF THE CONTRACTOR'S WORK TO CONFORM TO THE DESIGN INTENT AND THE CONTRACT DOCUMENTS. HILLIS-CARNES ENGINEERING ASSOCIATES, AGREES TO BE RESPONSIBLE FOR ITS OWN OR ITS EMPLOYEES' NEGLIGENCE ACTS, ERRORS OR OMISSIONS.

OWNERSHIP OF DOCUMENTS: THE CONTRACTOR ACKNOWLEDGES THESE PLANS AND SPECIFICATIONS PREPARED BY HILLIS-CARNES ENGINEERING ASSOCIATES, AS INSTRUMENTS OF PROFESSIONAL SERVICE. NEVERTHELESS, THE PLANS AND SPECIFICATIONS PREPARED UNDER THIS AGREEMENT SHALL REMAIN THE PROPERTY OF HILLIS-CARNES ENGINEERING ASSOCIATES UPON COMPLETION OF THE WORK. THE CONTRACTOR AGREES TO HOLD HARMLESS AND INDEMNIFY HILLIS-CARNES ENGINEERING ASSOCIATES, AGAINST ALL DAMAGES, CLAIMS, AND LOSSES, INCLUDING DEFENSE COSTS, ARISING OUT OF ANY REUSE OF THE PLANS AND SPECIFICATIONS WITHOUT THE WRITTEN AUTHORIZATION OF HILLIS-CARNES ENGINEERING ASSOCIATES

DESIGN DATA:

f _c = 3000 PSI (MOMENT SLAB)
f _c = 4500 PSI (VEHICLE BARRIER & NOISE WALL)
f _y = 60000 PSI

IMPACT LOADS:

TL-3 EQUIVALENT STATIC LOAD = 10,000 LBS.

SNOW LOAD:

GROUND SNOW LOAD	P _g = 25 PSF
SNOW LOAD IMPORTANCE FACTOR	I = 1.0
SNOW EXPOSURE FACTOR	C _e = 1.0
THERMAL FACTOR	C _t = 1.2
FLAT ROOF SNOW LOAD	P _f = 21 PSF

WIND LOAD:

BASIC WIND SPEED	115 MPH
BUILDING CATEGORY	II
WIND EXPOSURE	B
INTERNAL PRESSURE COEFFICIENT	±0.18
TOPOGRAPHY FACTOR	1.0
DIRECTIONALITY FACTOR	0.85

EARTHQUAKE LOAD:

RISK CATEGORY	II
IMPORTANCE FACTOR (I _e)	1.00
SITE CLASS	D
S _s	0.121g
S ₁	0.051g
SDS	0.129g
SD1	0.081g
SEISMIC DESIGN CATEGORY	B
SEISMIC FORCE RESISTING SYSTEM:	
ORDINARY CONCRETE SHEAR WALLS	
RESPONSE MODIFICATION FACTOR (R)	4.0
C _s = SDS / (R * I _e)	0.03225
DESIGN BASE SHEAR	20.3 KIPS
EQUIVALENT LATERAL FORCE DESIGN METHOD	

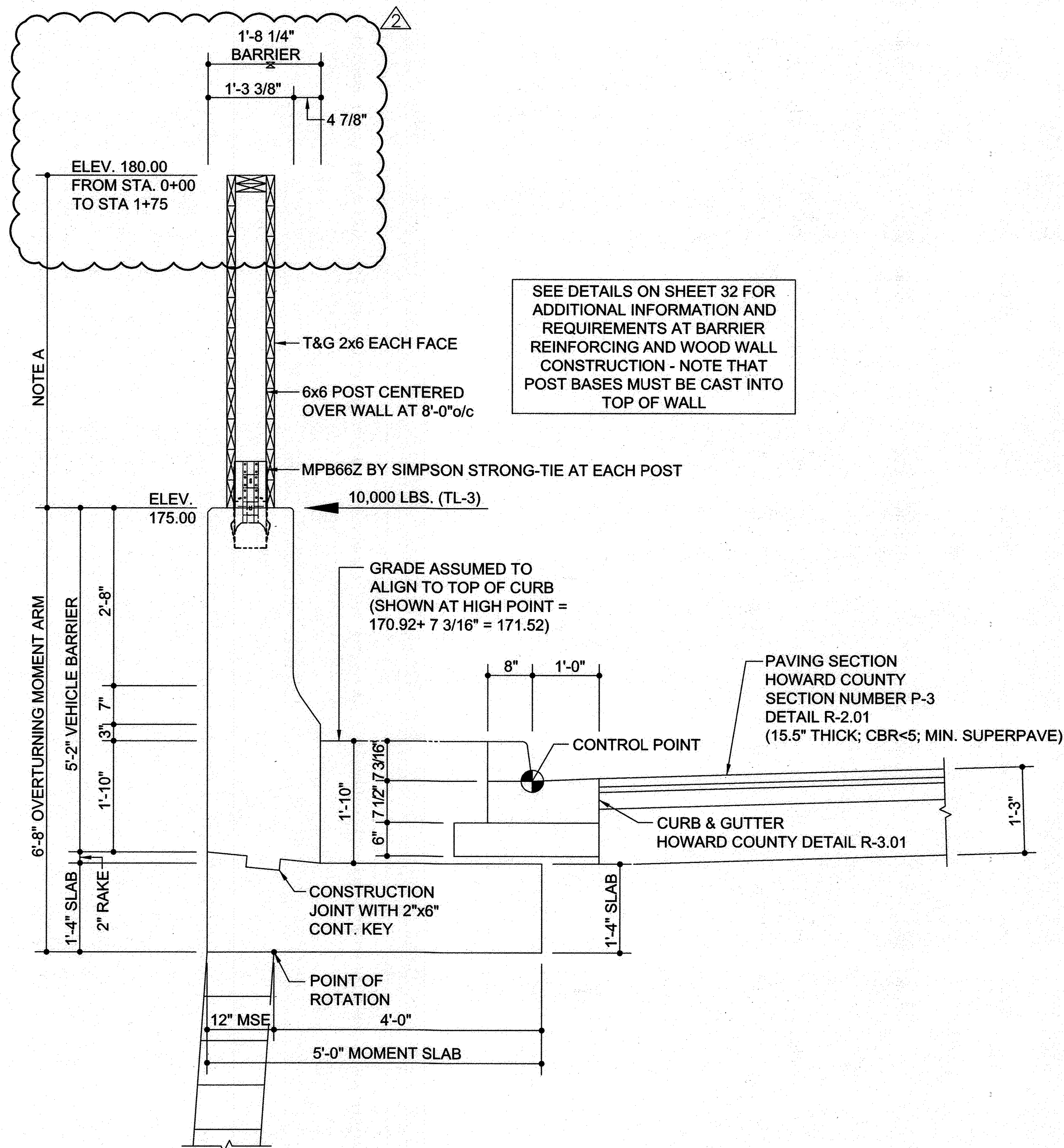
APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

[Signature] 9/16/24
 CHIEF, DEVELOPMENT ENGINEERING DIVISION, DATE

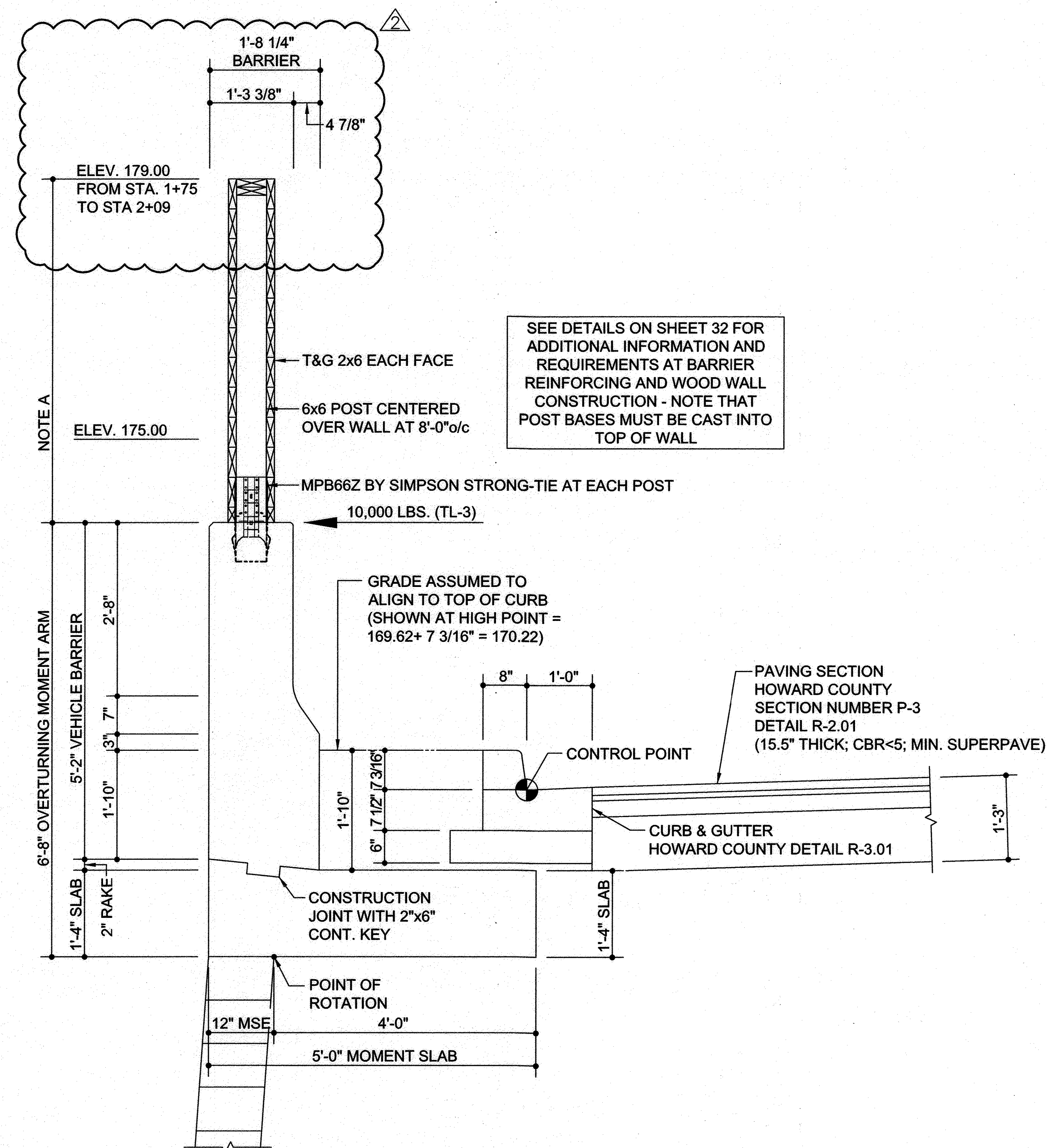
[Signature] 9/17/24
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[Signature] 9/30/24
 DIRECTOR, DATE

<p>PARCEL C-5 OWNER BEAZER HOMES, LLC. 6085 MARSHALEE DRIVE, SUITE 350 ELKBRIDGE, MD 21075 443-539-9249</p>		<p>OWNER TRIPLE BELL FARMS, LLC. 88 LAUREL RACE TRACK RD LAUREL, MD 20725 (301) 470-5494</p>		<p>OWNER/DEVELOPER 20006 DELAWARE INC. 198 LAUREL RACE TRACK RD LAUREL, MD 20725 (301) 470-5494</p>	
<p>REVISE PLAN FOR BUILDING ARCHITECTURE (UNITS 172 - 222); REVISION 04-10-24</p> <p>W&S HOUSE CONNECTIONS; REMOVE APARTMENT BUILDINGS 7, 8 & 9</p>					
NO.	REVISION				DATE
<p>REVISED SITE DEVELOPMENT PLAN</p> <p>GENERAL NOTES</p> <p>PADDOCK POINTE - PHASE 3A (FORMERLY KNOWN AS LAUREL PARK STATION) 76 STACKED TOWN PARCELS C-5 & K-2 ZONED: TOD TAX MAP: 50 BLOCK: 10 5TH ELECTION DISTRICT PARCEL 384 HOWARD COUNTY, MARYLAND</p>					
<p>HILLIS-CARNES ENGINEERING ASSOCIATES 10975 Guilford Road, Suite A Annapolis Junction, Maryland Phone: (410) 880-4788 www.hcea.com Fax: (410) 880-4098</p>					
<p>DESIGN BY: _____ CRS</p> <p>DRAWN BY: _____ CRS</p> <p>CHECKED BY: _____ JRE</p> <p>DATE: _____ MAY 2024</p> <p>SCALE: 3/4" = 1'-0"</p> <p>HCEA JOB NO.: 20631A</p>			<p>PROFESSIONAL CERTIFICATE</p> <p>I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND LICENSE NO. 53198. EXPIRATION DATE: 6/8/25.</p>		
			<p>30 SHEET OF 40</p>		



SEE DETAILS ON SHEET 32 FOR ADDITIONAL INFORMATION AND REQUIREMENTS AT BARRIER REINFORCING AND WOOD WALL CONSTRUCTION - NOTE THAT POST BASES MUST BE CAST INTO TOP OF WALL



SEE DETAILS ON SHEET 32 FOR ADDITIONAL INFORMATION AND REQUIREMENTS AT BARRIER REINFORCING AND WOOD WALL CONSTRUCTION - NOTE THAT POST BASES MUST BE CAST INTO TOP OF WALL

1 VEHICLE BARRIER DIMENSIONS AT STA 0+80 (HIGH POINT OF ROAD)

2 VEHICLE BARRIER DIMENSIONS AT STA 2+10 (LOW POINT OF ROAD)

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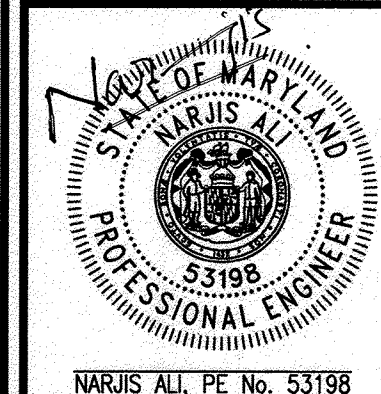
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NO.	REVISION	DATE
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MOMENT SLAB DETAILS
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(FORMERLY KNOWN AS LAUREL PARK STATION)
78 STACKED TOWN
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TAX MAP: 50 BLOCK: 10
6TH ELECTION DISTRICT
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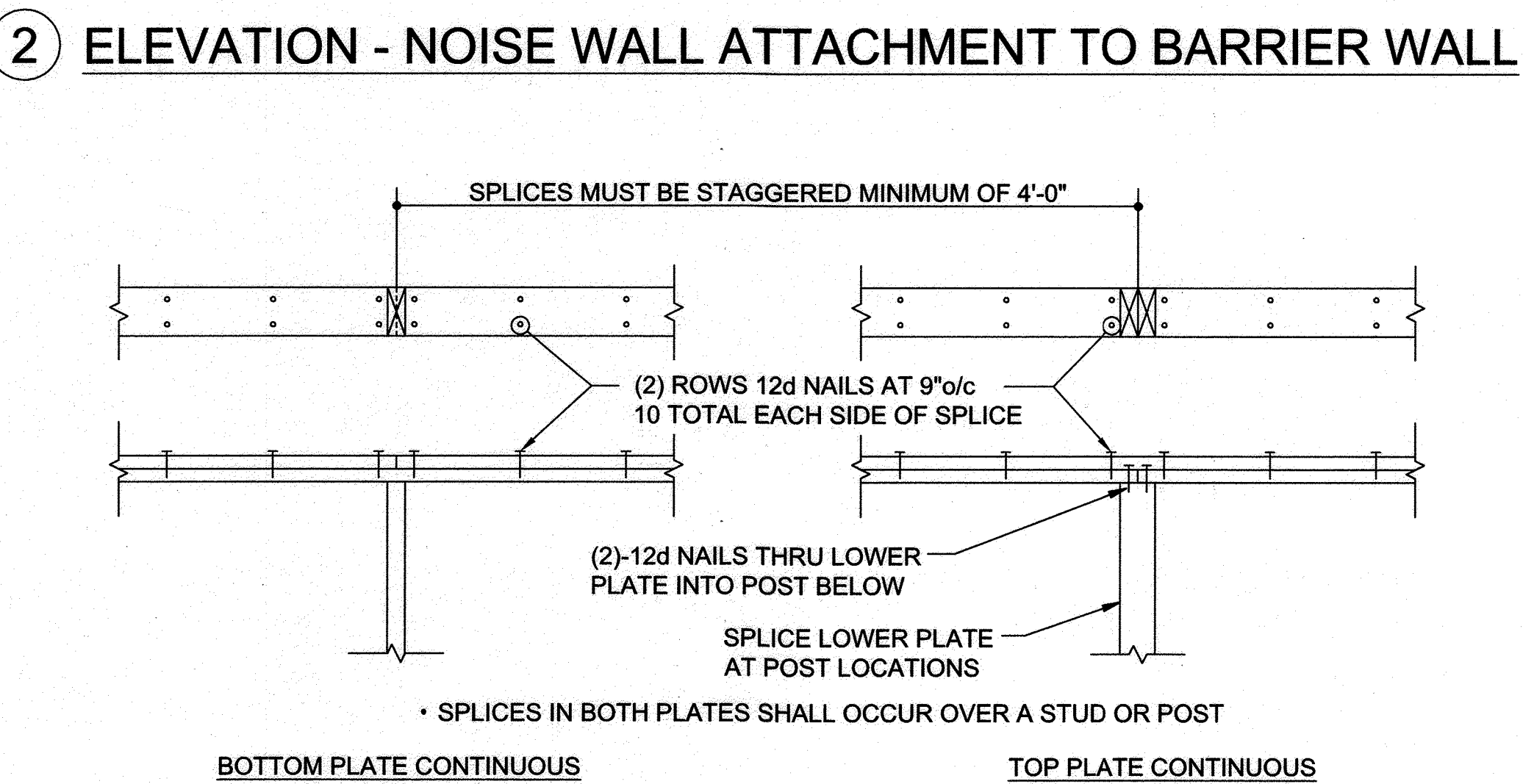
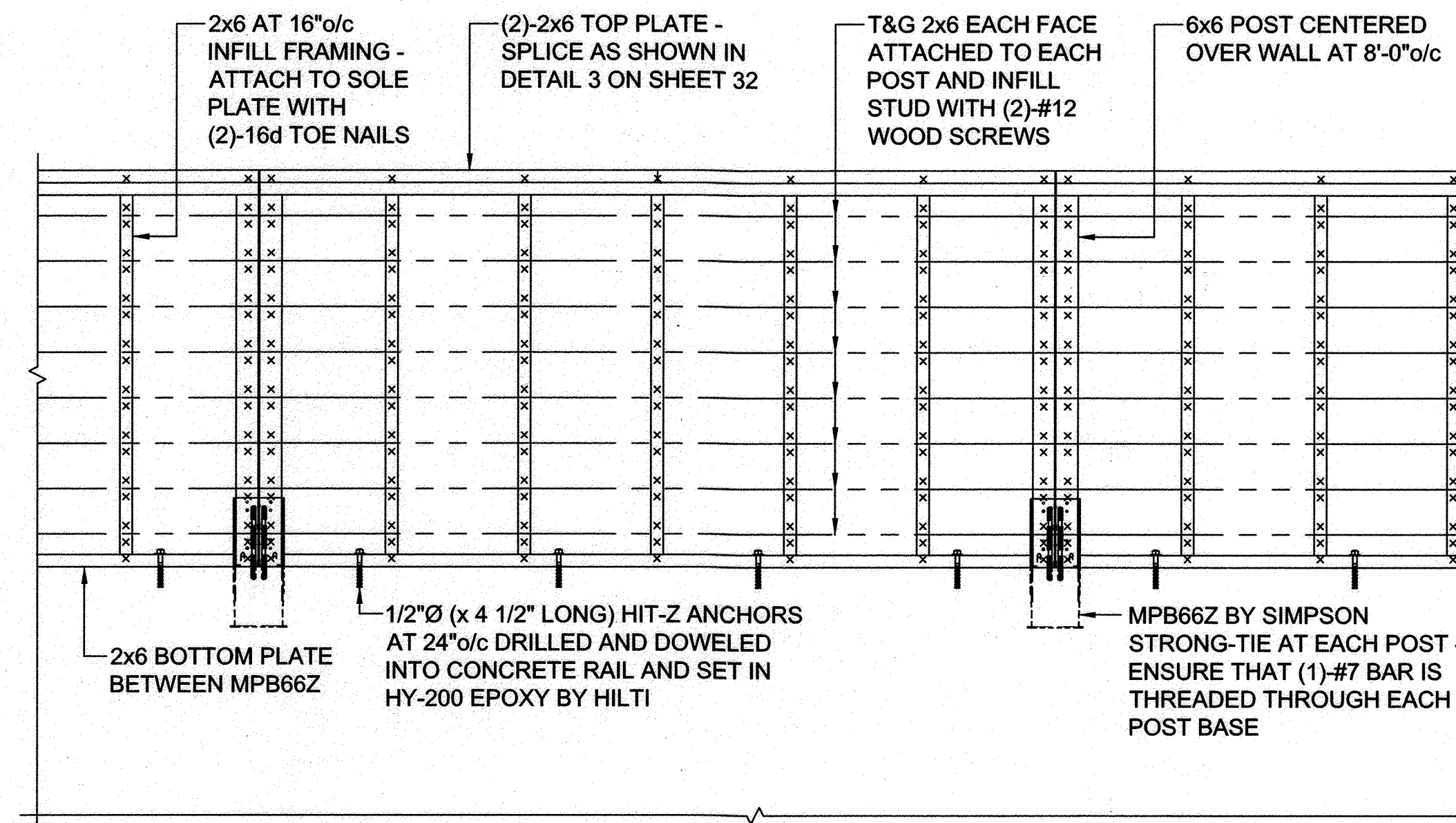
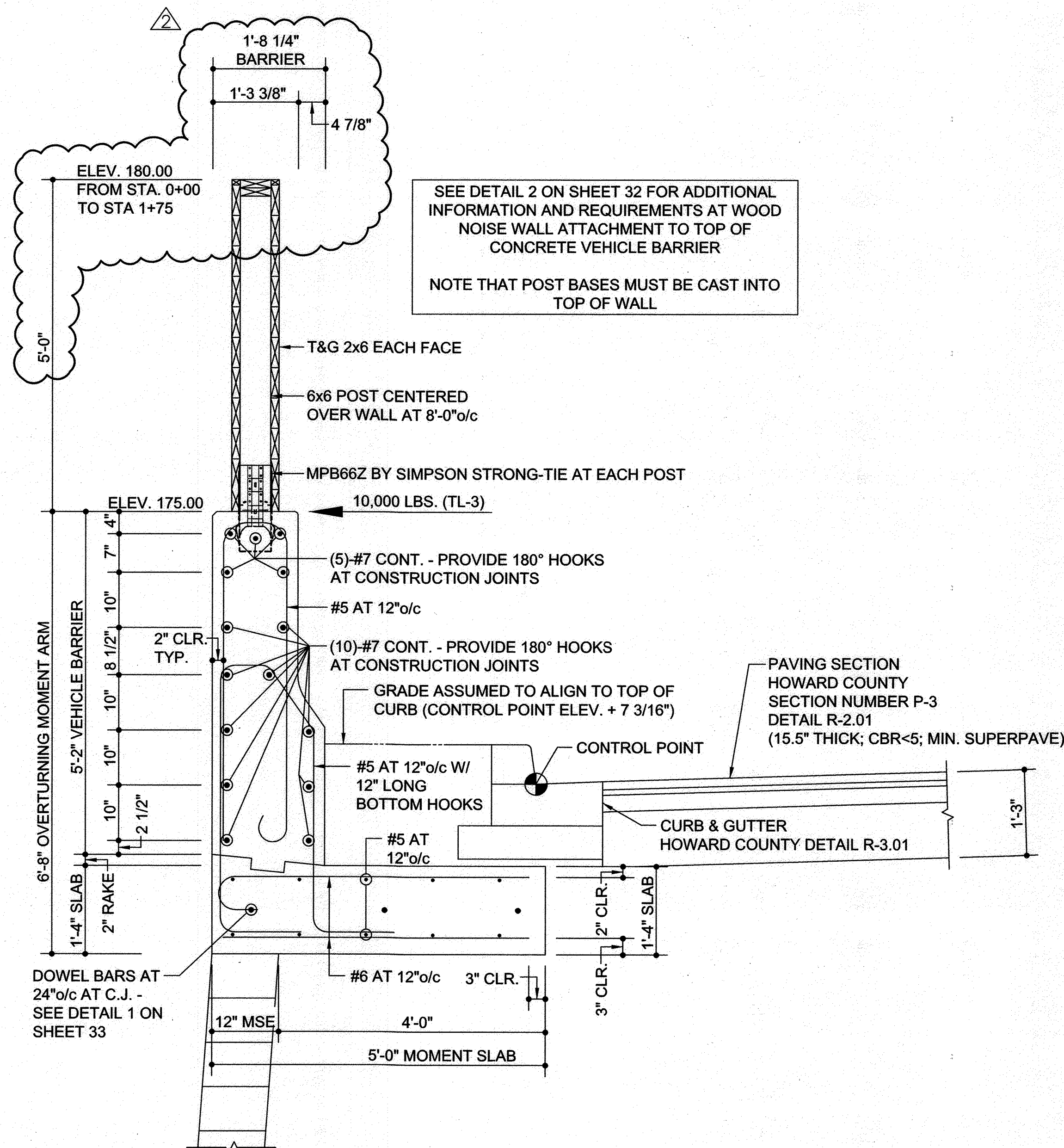
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DATE: MAY 2024
SCALE: 3/4" = 1'-0"
HCEA JOB NO.: 20631A

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

 CHIEF, DEVELOPMENT ENGINEERING DIVISION
 DATE: 9.16.24

 CHIEF, DIVISION OF LAND DEVELOPMENT
 DATE: 9/14/24

 DIRECTOR
 DATE: 9/30/24



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NO.	REVISION	DATE
	REVISE PLAN FOR BUILDING ARCHITECTURE (UNITS 172 - 222); W&S HOUSE CONNECTIONS; REMOVE APARTMENT BUILDINGS 7, 8 & 9	04-10-24

REVISED SITE DEVELOPMENT PLAN

MOMENT SLAB DETAILS

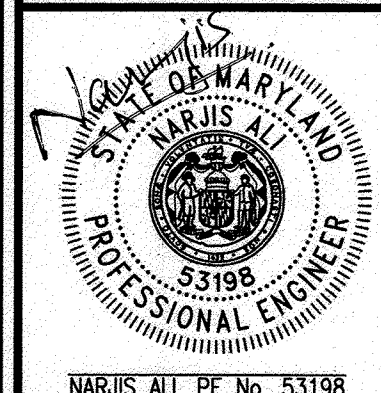
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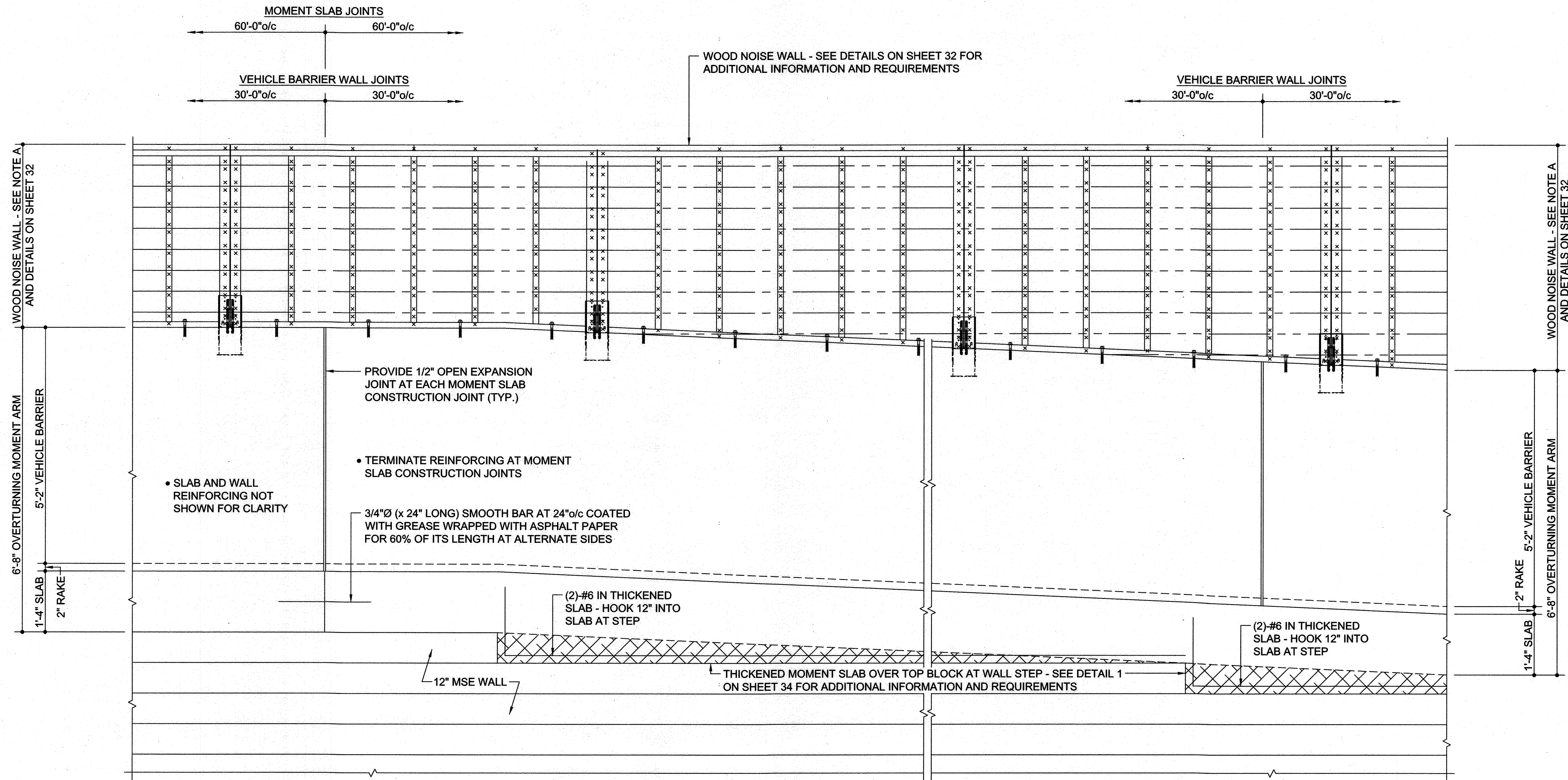
32 SHEET OF 40

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

Chad Clark 9-16-24
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

Patricia Sauer 9/14/24
CHIEF, DIVISION OF LAND DEVELOPMENT DATE

Jim Eschler 9/30/24
DIRECTOR DATE



① ELEVATION - JOINTS IN VEHICLE BARRIER AND MOMENT SLAB

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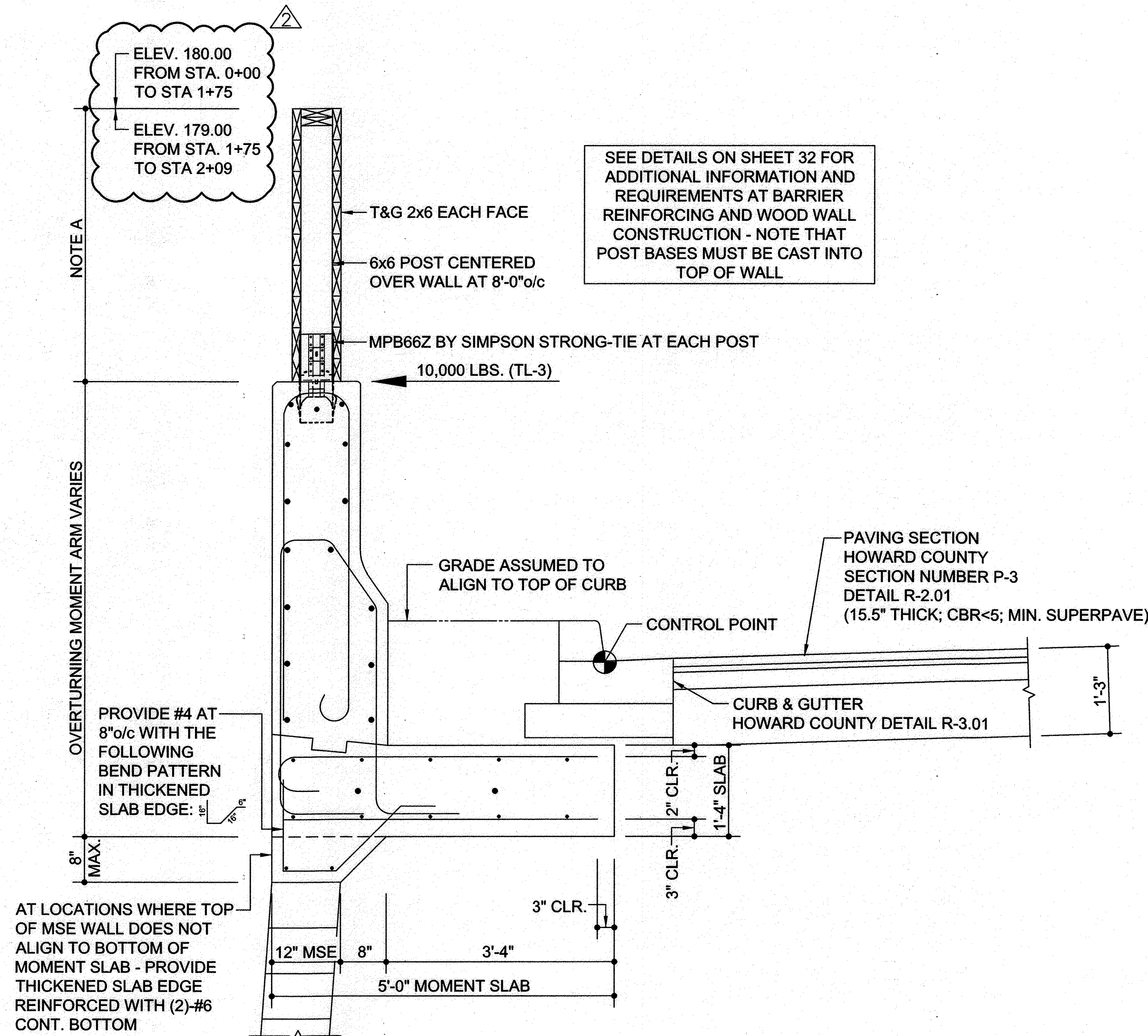
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MOMENT SLAB DETAILS
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 (FORMERLY KNOWN AS LAUREL PARK STATION)
 78 STACKED TOWN
 PARCELS C-3 & K-2
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33 SHEET OF **40**

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 [Signature] 9/16/24
 CHIEF, DEVELOPMENT ENGINEERING DIVISION
 [Signature] 9/24/24
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 DIRECTOR



SEE DETAILS ON SHEET 32 FOR ADDITIONAL INFORMATION AND REQUIREMENTS AT BARRIER REINFORCING AND WOOD WALL CONSTRUCTION - NOTE THAT POST BASES MUST BE CAST INTO TOP OF WALL

ELEV. 180.00 FROM STA. 0+00 TO STA 1+75
ELEV. 179.00 FROM STA. 1+75 TO STA 2+09

NOTE A
OVERTURNING MOMENT ARM VARIES
8" MAX.
PROVIDE #4 AT 8"o/c WITH THE FOLLOWING BEND PATTERN IN THICKENED SLAB EDGE:
AT LOCATIONS WHERE TOP OF MSE WALL DOES NOT ALIGN TO BOTTOM OF MOMENT SLAB - PROVIDE THICKENED SLAB EDGE REINFORCED WITH (2)-#6 CONT. BOTTOM

DETAIL NOTES:
NOTE THAT THIS DETAIL APPLIES ONLY AT LOCATIONS WHERE TOP OF MSE WALL IS NOT ALIGN TO BOTTOM OF MOMENT SLAB AS PER TYPICAL MOMENT SLAB DETAILS - STEP SLAB EDGE AS REQUIRED TO MAINTAIN TOP OF WALL PROFILE AND PROVIDE Z-BARS AS REQUIRED TO MAINTAIN CONTINUITY OF #6 LONGITUDINAL REINFORCING BARS
SEE TYPICAL DETAILS FOR ALL OTHER INFORMATION

① THICKENED SLAB EDGE AT STEP IN TOP OF MSE WALL

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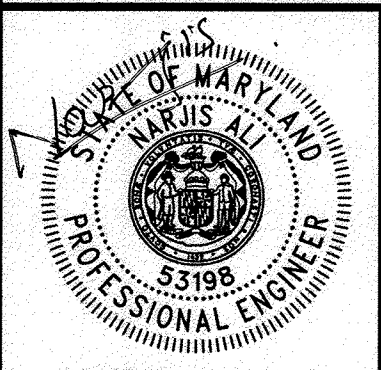
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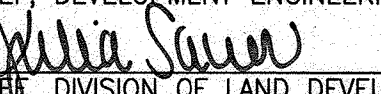
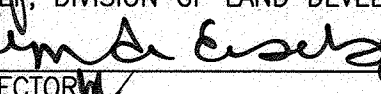
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