SITE DEVELOPMENT PLAN NOTE: BENCHMARKS **GENERAL NOTES** HOWARD COUNTY BENCHMARK 31AB (CONC. MON.) ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF HOWARD COUNTY PLUS MSHA STANDARDS AND 1. ALL WATER CONNECTIONS SHALL BE 1-1/2" WITH 1 SPECIFICATIONS IF APPLICABLE UNLESS WAIVERS HAVE BEEN APPROVED. THE CONTRACTOR IS TO NOTIFY THE FOLLOWING UTILITIES OR AGENCIES AT LEAST FIVE DAYS BEFORE STARTING WORK ON THESE DRAWINGS: N 573984.52 E 1369949.46 ELEV. 499.905 OUTSIDE METER SETTINGS, UNLESS OTHERWISE NOTED. HAMPTON HILLS LOCATION: TRANSMISSION LINE 0.2 MILES EAST OF VERIZON TELEPHONE COMPANY: NEW CUT ROAD REFER TO HOWARD COUNTY DETAILS W-3.28 OUTSIDE HOWARD COUNTY BUREAU OF UTILITIES: 410-313-2366 1-800-393-3553 410-850-4620 HOWARD COUNTY BENCHMARK 31DA (CONC. MON.) AT&T CABLE LOCATION DIVISION: METER SETTINGS. B.G.&E. CO. CONTRACTOR SERVICES: 410-850-4620 B.G.&E. CO. UNDERGROUND DAMAGE CONTROL: 410-787-4620 STATE HIGHWAY ADMINISTRATION: 410-531-5533 N 571982.70 E 1372145.06 ELEV. 481.604 LOCATION: ROLLING TOP ROAD 0.1 MILES NORTH THE CONTRACTOR SHALL NOTIFY "MISS UTILITY" AT 1-800-257-7777 AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION WORK. COORDINATE TABLE OF ORCHARD ROAD THE CONTRACTOR SHALL NOTIFY THE DEPARTMENT OF PUBLIC WORKS/BUREAU OF ENGINEERING/CONSTRUCTION INSPECTION DIVISION AT POINT NORTHING EASTING (410) 313-1880 AT LEAST FIVE (5) WORKING DAYS PRIOR TO START OF WORK. **LOTS 1-14** THE SUBJECT PROPERTY IS ZONED R-20 IN ACCORDANCE WITH THE 10/6/13 ZONING REGULATIONS, AND IS SUBJECT TO THE SUBDIVISION AND LAND DEVELOPMENT REGULATIONS EFFECTIVE 10/2/03 PER COUNCIL BILL 75-2003. — DEVELOPMENT OR CONSTRUCTION OF THESE LOTS MUST COMPLY WITH SETBACK AND BUFFER REGULATIONS IN EFFECT AT THE TIME OF SUBMISSION OF THE SITE DEVELOPMENT PLAN, ALTERNATIVE COMPLIANCE, OR BUILDING AND GRADING PERMITS. THIS PLAN IS SUBJECT TO THE AMENDED FIFTH EDITION OF THE SUBDIVISION AND LAND DEVELOPMENT REGULATIONS, REFER TO NOTE 5. THE SUBJECT PROJECT IS BASED ON A FIELD RUN MONUMENTED BOUNDARY SURVEY PERFORMED ON OR ABOUT MARCH, 2015 BY ROBERT 151 573568,9091 (SFD RESIDENTIAL) **LEGEND** 374146.740 H. VOGEL ENGINEERING, INC. THE EXISTING TOPOGRAPHY SHOWN HEREON IS BASED ON THE MASS GRADING FROM FINAL ROAD CONSTRUCTION PLAN F-20-024. OFFSITE THE EXISTING GRADES SHOWN HEREON HOWARD COUNTY, MD TOPOGRAPHY TAKEN FROM HOWARD COUNTY GIS. SOIL TYPES SHOWN HEREON ARE IN ACCORDANCE WITH THE USDA NRCS WEB SOIL SURVEY. THE COORDINATES SHOWN HEREON ARE BASED UPON THE HOWARD COUNTY GEODETIC CONTROL WHICH IS BASED UPON THE MARYLAND STATE PLANE COORDINATE SYSTEM. HOWARD COUNTY MONUMENT NOS. 31AB AND 31DA WERE USED FOR THIS PROJECT. TO THE BEST OF THE OWNERS KNOWLEDGE, THERE ARE NO BURIAL GROUNDS, CEMETERIES, OR HISTORIC STRUCTURES LOCATED ON THIS WILL BE ESTABLISHED UNDER THE FINAL RIGHT-OF-WAY LINE ROAD AND STORM DRAIN CONSTRUCTION ADJACENT PROPERTY LINE PLANS FOR HAMPTON HILLS F-20-024. TO THE BEST OF THE OWNERS KNOWLEDGE, THERE ARE NO BURIAL GROUNDS, CEMETERIES, OR HISTORIC STRUCTURES LOCATED ON THIS PROPERTY. EXISTING HOME (BUILT 1967 PER SDAT) AND OUTBUILDINGS WERE RAZED. REFER TO F—20—024. THE PROPOSED UNITS SHALL HAVE AN AUTOMATIC FIRE PROTECTION SPRINKLER SYSTEM. THE PROPOSED SUBDIVISION AND RELATED CONSTRUCTION WILL NOT IMPACT ENVIRONMENTAL FEATURES OR BUFFERS. EXISTING UTILITIES LOCATED FROM ROAD CONSTRUCTION PLANS AND AVAILABLE RECORD DRAWINGS. APPROXIMATE LOCATION OF EXISTING UTILITIES ARE SHOWN FOR THE CONTRACTORS INFORMATION. CONTRACTOR SHALL LOCATE EXISTING UTILITIES WELL IN ADVANCE OF CONSTRUCTION ACTIVITIES AND TAKE ALL NECESSARY PRECAUTIONS TO PROTECT THE EXISTING UTILITIES AND TO MAINTAIN UNINTERRUPTED SERVICE. THE OFFICIAL PRE-SUBMISSION COMMUNITY MEETING WAS HELD FOR THIS PROJECT ON NOVEMBER 5, 2014 AT THE ELLICOTT CITY SENIOR 374886.6925 BONNIE BRANCH ROAD IS CLASSIFIED AS A MINOR COLLECTOR. NO IMPROVEMENTS ARE PROPOSED. VICINITY MAP ATTENBOROUGH WAY IS CLASSIFIED AS A 50' R/W ACCESS PLACE (F-20-024). PROPOSED EXTENSION SHALL CONFORM WITH GUIDELINES WITHIN THE DESIGN MANUAL / ACCESS PLACE. REFER TO F-20-024 -THERE ARE 2 PROPOSED USE-IN-COMMON-DRIVEWAYS. REFER TO F-20-024 DRIVEWAY(S) SHALL BE PROVIDED PRIOR TO RESIDENTIAL OCCUPANCY TO ENSURE SAFE ACCESS FOR FIRE AND EMERGENCY VEHICLES PER THE SCALE: 1"=2,000" ADC MAP COORDINATE: MAP 28, GRID 5C A) WIDTH- 12 FEET (16 FEET SERVING MORE THAN ONE RESIDENCE). B) SURFACE - 6 INCHES OF COMPACTED CRUSHER RUN BASE WITH TAR AND CHIP COATING (1-1/2" MIN). GEOMETRY - MAXIMUM 15% GRADE, MAXIMUM 10% CHANGE AND MINIMUM OF 45-FOOT DEPTH TURNING RADIUS. STRUCTURES (CULVERT/BRIDGES) - CAPABLE OF SUPPORTING 25 GROSS TONS (H25 LOADING). DRAINAGE ELEMENTS-CAPABLE OF SAFELY PASSING 100-YEAR FLOOD WITH NO MORE THAN 1 FOOT DEPTH OVER DRIVEWAY SURFACE. STRUCTURE CLEARANCES-MINIMUM 12 FEET. SHEET INDEX G) MAINTENANCE — SUFFICIENT TO ENSURE ALL WEATHER USE. 18. THIS PROPERTY IS LOCATED WITHIN THE METROPOLITAN DISTRICT. PROPERTY IS LOCATED WITHIN THE METROPOLITIAN DISTRICT. — WATER FOR THIS PROJECT IS TO BE PUBLIC EXTENSIONS OF CONTRACT NO. 14—4182—D. — SEWER FOR THIS PROJECT IS TO BE PUBLIC EXTENSIONS OF CONTRACT NO. 14—4182—D. SHEET NO. REFER TO CONTRACT 14-4926-D. COVER SHEET 1 OF 5 ANY DAMAGE INCURRED TO HOWARD COUNTY EXISTING UTILITIES, DUE TO CONTRACTOR'S OPERATIONS, SHALL BE REPAIRED IMMEDIATELY AT SITE LAYOUT PLAN 2 OF 5 ANY DAMAGE TO HOWARD COUNTY PUBLIC RIGHT-OF-WAY, PAVING, OR EXISTING UTILITIES WILL BE CORRECTED AT THE DEVELOPER'S EXPENSE. A NON CRITICAL FLOODPLAIN IS LOCATED ON OPEN SPACE LOT 18. — THE PROJECT IS LOCATED WITHIN THE BONNIE BRANCH DRAINAGE AREA, THE APPROXIMATE FLOODPLAIN COMMON TO BONNIE BRANCH IS SHOWN 3 OF 5 GRADING, SOIL EROSION AND SEDIMENT CONTROL PLAN HEREON PER THE HOWARD COUNTY - DIGITAL FLOOD INSURANCE RATE MAP (DFIRM). THIS FLOODPLAIN HAS AN "AE" DESIGNATION REPRESENTING HIGH FLOOD RISK. AS THE PROJECT PROPOSAL IS SEPARATED BY OVER 80 VERTICAL FEET, THE FLOODPLAIN LOCATED ONSITE CAN BE CONSIDERED GRADING, SOIL EROSION AND SEDIMENT CONTROL PLAN - NOTES & DETAILS 4 OF 5 - A NON-CRITICAL THE FLOODPLAIN REPORT FOR THIS PROJECT WAS PREPARED BY ROBERT H. VOGEL ENGINEERING, INC., DATED AUGUST, 2015, HOUSE TYPES, STORMWATER MANAGEMENT AND SITE DETAILS 5 OF 5 WETLANDS, STREAMS OR THEIR REQUIRED BUFFERS SHOWN ON OPEN SPACE LOT 18. THERE ARE NO WETLANDS, STREAMS OR THEIR REQUIRED BUFFERS LOCATED ON LOTS 1-14. THE ENVIRONMENTAL FINDINGS ARE BASED ON ECO-SCIENCE PROFESSIONALS, INC. C/O MR. JOHN CANOLES. NO GRADING, REMOVAL OF VEGETATIVE COVER OR TREES, PAVING AND NEW STRUCTURES SHALL BE PERMITTED WITHIN THE WETLANDS, STREAM(S) OR THEIR REQUIRED BUFFERS, FOREST CONSERVATION EASEMENT AREAS AND 100-YEAR FLOODPLAIN. FOREST STAND DELINEATION PLAN PREPARED BY ECO-SCIENCE PROFESSIONALS, INC. C/O MR. JOHN CANOLES, SEPTEMBER 2014. FOREST CONSERVATION EASEMENTS HAVE BEEN ESTABLISHED TO FULFILL THE REQUIREMENTS OF SECTION 16.1200 OF THE HOWARD COUNTY SUBDIVISION AND LAND DEVELOPMENT REGULATIONS AND THE HOWARD COUNTY FOREST CONSERVATION MANUAL. THE HAMPTON HILLS PROJECT FOREST CONSERVATION OBLIGATION HAS BEEN FULFILLED UNDER F-20-024. NO CLEARING, GRADING OR CONSTRUCTION IS PERMITTED WITHIN THE FOREST CONSERVATION EASEMENT, HOWEVER, FOREST MANAGEMENT PRACTICES AS DEFINED IN THE DEED OF FOREST CONSERVATION EASEMENT ARE ALLOWED. A TRAFFIC STUDY FOR THIS PROJECT WAS PREPARED BY THE TRAFFIC GROUP, INC., DATED OCTOBER 2, 2014 WAS APPROVED UNDER F-20-024. . A NOISE STUDY IS NOT REQUIRED FOR THIS PROJECT. 29. A TEST PIT REPORT FOR THIS PROJECT WAS PREPARED BY ROBERT H. VOGEL ENGINEERING, DATED APRIL, 2015 UNDER F-20-024. 30. AN ENVIRONMENTAL CONCEPT PLAN (ECP-15-027) WAS APPROVED ON FEBRUARY 13, 2015. . A PRELIMINARY EQUIVALENT SKETCH PLAN (SP-15-016) WAS APPROVED ON JANUARY 27, 2016. A FINAL PLAN (F-20-024) WAS APPROVED ON AUGUST 23, 2021. STORMWATER MANAGEMENT FOR THE PROJECT IS PROVIDED BY: -THE USE OF MICRO-SCALE PRACTICES IN ACCORDANCE WITH ENVIRONMENTAL SITE DESIGN CRITERIA. -PRIVATE OFF-LOT (OPEN SPACE) STRUCTURE PRACTICES: NON-MD-378 COMBINATION WATER QUALITY F-1 SAND FILTER AND QUANTITY CONTROL FACILITY. REFER TO F-20-024. -THE PROJECT IS LOCATED WITHIN THE BONNIE BRANCH DRAINAGE AREA, 10 YEAR PEAK MANAGEMENT IS REQUIRED. -PRIVATE OFF-LOT (OPEN SPACE) MICRO-SCALE PRACTICES: MICRO-BIORETENTION (M-6) WILL BE PRIVATELY OWNED AND MAINTAINED BY THE H.O.A. REFER TO F-20-024. -PRIVATE ON-LOT PRACTICES WILL BE PRIVATELY OWNED AND MAINTAINED BY INDIVIDUAL PROPERTY OWNERS. ON-LOT (RESIDENTIAL) MICRO-SCALE PRACTICES INCLUDE THE USE OF MICRO-BIORETENTION (M-6) AND DRY WELLS (M-5). REFER TO F-20-024 FOR THE PRIVATE ON-LOT MICRO-BIORETENTIONS. THE DRY WELLS WILL BE CONSTRUCTED UNDER SDP-21-010. A LANDSCAPE PLAN WAS PREPARED IN ACCORDANCE WITH SECTION 16.124 OF THE HOWARD COUNTY SUBDIVISION AND LAND DEVELOPMENT REGULATIONS AND THE LANDSCAPE MANUAL AND APPROVED UNDER F-20-024. PUBLIC STREET TREES ARE PROVIDED FOR THIS PROJECT UNDER F-20-024 IN ACCORDANCE WITH SECTION 16.124(e)(1) OF THE SUBDIVISION REGULATIONS AND THE LANDSCAPE MANUAL. - FINANCIAL SURETY WAS POSTED AS PART OF F-20-024 ENGINEERING COST ESTIMATE. AUTUMN VIEW - SECTION PLAT #13902 16. IN ACCORDANCE WITH SECTION 16.121(A)(2) OF THE HOWARD COUNTY SUBDIVISION AND LAND DEVELOPMENT REGULATIONS, THE OPEN SPACE REQUIREMENTS FOR THIS R-20 PROJECT (12,000 SF MIN LOT SIZE) IS 40% OF GROSS AREA. — OPEN SPACE LOTS 15-17 SHALL BE OWNED AND MAINTAINED BY THE H.O.A. OPEN SPACE REQUIREMENTS WERE ADDRESSED UNDER F-20-024. 7. IN ACCORDANCE WITH SECTION 16.121(A)(4) OF THE HOWARD COUNTY SUBDIVISION AND LAND DEVELOPMENT REGULATIONS, RECREATION OPEN OPEN SPACE LOT 150 FOREST CONSERVATION EASEMENT D SPACE FOR THIS R-20 PROJECT IS 200 SF / UNIT. OPEN SPACE REQUIREMENTS WERE ADDRESSED UNDER F-20-024. PER SECTION 108.0.E OF THE ZONING REGULATIONS, AT LEAST 10% OF THE DWELLINGS IN A R-20 DEVELOPMENT SHALL BE MODERATE INCOME HOUSING UNITS (MIHU). 14 × 10% = 1. 1 UNITS OR THE EQUIVALENT SHALL BE PROVIDED FOR THIS PROJECT. ALL LOTS/ RESIDENTIAL UNITS IN THIS SUBDIVISION ARE SUBJECT TO THE MIHU FEE IN LIEU REQUIREMENT THAT IS TO BE CALCULATED AND PAID TO THE DEPARTMENT OF INSPECTIONS, LICENSES AND PERMITS AT THE TIME OF BUILDING PERMIT ISSUANCE BY THE PERMIT APPLICANT. IN ACCORDANCE WITH SECTION 133.0.12.a OF THE HOWARD COUNTY ZONING REGULATIONS PARKING IS REQUIRED AT 2.5 SPACES PER UNIT. OFF STREET PARKING TO INCLUDE GARAGE SPACE, DRIVEWAY AND PARKING PADS. GARAGES COUNT AS A FULL SPACE. SEE TABULATION HEREON. FOR DRIVEWAY ENTRANCE DETAILS REFER TO HOWARD COUNTY DESIGN MANUAL, VOLUME IV, STANDARD DETAIL R—6.01 FOR LOTS 1, 8 AND R—6.05 FOR LOTS 11—14. DRIVEWAY CONNECTIONS TO THE USE IN COMMON DRIVEWAYS SHALL CONNECT DIRECTLY TO THE EDGE OF THE USE—IN—COMMON DRIVEWAYS DAVERANT SEE DETAIL SHEET. HOWARD COUNT MODERATE INCOME HOUSING UNITS (MIHU) ALLOCATION EXEMPTIONS TRACKING LOT 4 LOT 10 LOT 11 LOT 12 LOT 6 163 LOT 7 NUMBER OF MIHU PROVIDED ONSITE (EXEMPT FROM APFO ALLOCATIONS A. THE R1-1(STOP) SIGNS AND STREET NAME SIGN (SNS) ASSEMBLIES FOR THIS DEVELOPMENT MUST BE INSTALLED BEFORE THE BASE PAVING IS COMPLETE. JEFFREY M. & BRIANNA L. NUMBER OF APFO ALLOCATIONS REQUIRED B. THE TRAFFIC CONTROL DEVICE LOCATIONS SHOWN ON THE PLANS ARE APPROXIMATE AND MUST BE FIELD APPROVED BY HOWARD COUNTY MIHU FEE-IN-LIEU TRAFFIC DIVISION (410-313-2430) PRIOR TO THE INSTALLATION OF ANY OF THE TRAFFIC CONTROL DEVICES (INDICATE LOT/UNIT NUMBERS) C. ALL TRAFFIC CONTROL DEVICES AND THEIR LOCATIONS SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE 'MARYLAND MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES' (MDMUTCD). * CREDIT FOR 1 EXISTING HOME D. ALL SIGN POST USED FOR TRAFFIC CONTROL SIGNS INSTALLED IN THE COUNTY RIGHT-OF-WAY SHALL BE MOUNTED ON A 2" GALVANIZED STEEL, PERFORATED, ("QUICK PUNCH") SQUARE TUBE POST (14 GAUGE) INSERTED INTO A 2-1/2" GALVANIZED STEEL, PERFORATED, SQUARE TUBE SLEEVE (12 GAUGE - 3' LONG). THE ANCHOR SHALL NOT EXTEND MORE THAN TWO "QUICK PUNCH" HOLES ABOVE GROUND LEVEL. A GALVANIZED STEEL POLE CAP SHALL BE MOUNTED ON THE TOP OF EACH POST. STREET LIGHTING IS REQUIRED FOR THIS SITE IN ACCORDANCE WITH SECTION 16.135 OF THE SUBDIVISION AND LAND DEVELOPMENT REGULATIONS. MIHU AGREEMENT LOT 13 LOT 2 HOWARD COUNTY PLEASE NOTE THAT ALL LOTS/RESIDENTIAL UNITS IN THIS SUBDIVISION ARE -STREET LIGHTING REQUIREMENTS WERE ADDRESSED UNDER F-20-024. THIS PROJECT IS SUBJECT TO WP-15-161. ON NOVEMBER 18, 2015; THE PLANNING DIRECTOR APPROVED THE REQUEST, TO WAIVE LOT 1 SUBJECT TO THE MIHU FEE-IN-LIEU REQUIREMENT THAT IS TO BE CALCULATED SECTION 16.1205(A)(7) - SPECIMEN TREE RETENTION AND SECTION 16.116(B)(1) - STEEP SLOPE PRESERVATION. APPROVAL IS SUBJECT TO THE FOLLOWING CONDITIONS: AND PAID TO THE DEPARTMENT OF INSPECTIONS, LICENSES AND PERMITS AT FOLLOWING CONDITIONS: THE APPROVAL OF THIS WAIVER REQUEST APPLIES TO THE 30 SPECIMEN TREES AS SHOWN TO BE REMOVED ON THE WAIVER EXHIBIT. THE REMOVAL OF ANY OTHER SPECIMEN TREE ON THE PROPERTY IS NOT PERMITTED UNDER THIS REQUEST UNLESS IT CAN BE SUFFICIENTLY DEMONSTRATED BY THE APPLICANT TO BE JUSTIFIED ANY DISTURBANCE TO EXISTING STEEP SLOPES BEYOND THE REQUESTED 1,196 SQUARE FEET IS NOT PERMITTED UNDER THIS WAIVER REQUEST UNLESS IT CAN BE SUFFICIENTLY DEMONSTRATED BY THE APPLICANT TO BE JUSTIFIED. THE TIME OF BUILDING PERMIT ISSUANCE BY THE PERMIT APPLICANT. 3. THE DEVELOPER SHALL PLANT THIRTY (30) 3"MINIMUM - CALIPER NATIVE SHADE TREES IN ADDITION TO THE REQUIRED PERIMETER HOWARD COUNTY MD OF REAL ESTATE SERVICES TM: 31 PARCEL: 855 PLAT: 17586 OPEN SPACE LOT 20 USE: EXEMPT ZONED: R-20 **DEVELOPER OWNER** LANDSCAPING TO MITIGATE THE REMOVAL OF THE SPECIMEN TREES. THESE TREES WILL BE BONDED WITH THE DEVELOPER'S AGREEMENT UNDER THE FINAL SUBDIVISION PLAN. 4. PROTECTIVE MEASURES SHALL BE UTILIZED DURING CONSTRUCTION TO PROTECT THE SPECIMEN TREES THAT ARE PROPOSED TO REMAIN. INCLUDE DETAILS OF THE PROPOSED TREE PROTECTION MEASURES ON SP-15-016 AND ALL SUBSEQUENT CONSTRUCTION PLANS. 44. A PRIVATE RANGE OF ADDRESS SIGN ASSEMBLIES FOR PRIVATE LOTS 2-6 & 9-13 SHALL BE FABRICATED AND INSTALLED BY #17586 TONY A. LUNDELL CAROL L. LUNDELL TM: 31 PARCEL: 85 PLAT: 17586 HAMPTON HILLS, LLC TRINITY HOMES MARY LAND. 3675 PARK AVE., SUITE 301 3675 PARK AVE., SUITE 301 ELLICOTT CITY, MD 21043 ELLICOTT CITY, MD 21043 HOWARD COUNTY BUREAU OF HIGHWAYS AT THE DEVELOPERS/OWNERS EXPENSE. CONTACT HOWARD COUNTY TRAFFIC DIVISION AT 410-313-5752 FOR DETAILS AND COST ESTIMATES. REFER TO F-20-024. (410) 480-0023 (410) 480-0023 PUBLIC TRASH AND RECYCLING COLLECTION WILL BE PROVIDED ALONG THE PUBLIC AND PRIVATE ROADS WITHIN 5' OF THE EDGE OF THE PUBLIC IN ACCORDANCE WITH SECTION 128.0 OF THE HOWARD COUNTY ZONING REGULATIONS, BAY WINDOWS, CHIMNEYS OR EXTERIOR STAIRWAYS NOT MORE THAN 16 FEET IN WIDTH MAY PROJECT NOT MORE THAN 4 FEET INTO ANY SETBACKS. PORCHES, OR DECKS, OPEN OR ENCLOSED MAY PROJECT revise house type and grading on lots 6,7,11, and private retaining 4-12-24 L. 15682 / F. 492 NOT MORE THAN 10 FEET INTO THE FRONT OR REAR YARD SETBACK. FLAG AND PIPESTEM LOTS, REFUSE COLLECTION, SNOW REMOVAL AND ROAD MAINTENANCE ARE PROVIDED TO THE JUNCTION OF THE FLAG OR NALL EASEMENT ON LOT 7 AND REVISE SAND FILTER ON HOA OS LOT 16 PIPESTEM AND ROAD RIGHT-OF-WAY LINE AND NOT ONTO THE PIPESTEM LOT DRIVEWAY. SHC ELEVATIONS SHOWN ARE LOCATED AT THE PROPERTY LINE, COUNTY RIGHT-OF-WAY LINE OR THE EDGE OF PUBLIC EASEMENT REVISE HOUSE TYPE AND GRADING ON LOT 4 AND FLOOR ELEVATIONS ON LOTS 1-7 MO10-14 1-25-29 49. STORM DRAINS, STORMWATER MANAGEMENT SAND FILTER AND MICRO-BIO-RETENTION FACILITIES ARE CONSTRUCTED UNDER F-20-024 REVISE THE DRIVEWAY AND GRADING ON LOT 8 50. IN A LETTER DATED DECEMBER 12, 2022, THE DEPARTMENT OF PLANNING AND ZONING APPROVED AN ADMINISTRATIVE ADJUSTMENT (AA-22-013) FROM SECTION 108.0.D.4(b)(1)(a)(i) OF THE ZONING REGULATIONS TO REDUCE THE REQUIRED 30' FRONT SETBACK REVISE HOUSETYPE AND GRADING ON LOT 8, ADD OPTIONAL AREAMY TO SYCAMORE | 1-24-23 MINIMUM LOT SIZE CHART TO 25.4' FOR THE CONSTRUCTION OF A SINGLE FAMILY DETACHED DWELLING ON LOT 8 AT 4776 ATTENBOROUGH WAY. HOUSE MODEL AND REVISE DRYWELL DESIGN ELEVATION CHART GROSS AREA | PIPESTEM AREA | NET AREA LOCATION MAP 964 SF 13,019 SF SITE DEVELOPMENT PLAN 12,807 SF 14,103 SF 1,296 SF 13,054 SF 857 SF 13.911 SF **COVER SHEET** 13.041 SF 421 SF 12,621 SF 12,396 SF 395 SF 12,002 SF **HAMPTON HILLS** 12,007 SF 1,064 SF 12,001 SF 12.016 SF 916 SF SITE DATA PARKING TABULATION TOTAL PROJECT AREA: 8.47 AC TOTAL NUMBER OF DWELLING UNITS PROPOSED: 14 AREA OF PLAN SUBMISSION: 4.15 AC LIMIT OF DISTURBANCE: TOTAL PARKING REQUIRED: 3.39 AC Summary of findings for APFO Traffic Analysis -OFF-STREET PARKING SPACES REQUIRED: 2 SPACES PER UNIT **VOGEL ENGINEERING** ADDRESS CHART / ONLOT STORMWATER MANAGEMENT PRACTICES A. Date of report: OCTOBER 2, 2014 PROPOSED USES FOR SITE AND 28 SPACES (14 x 2 = 28) B. Date of Count(s): SEPTEMBER 2014 STRUCTURES: SINGLE FAMILY DETACHED (SFD) -OVERFLOW/GUEST PARKING SPACES REQUIRED: Report submitted as part of Plan number: SP-15-016, F-20-024 FLOOR SPACE ON EACH LEVEL 0.5 SPACES PER SFD UNIT X 14 = 7 SPACES D. Provide statement that schools were in session on that date(s).SCHOOLS WERE IN SESSION 7106 ELLA MAE WAY OF BUILDING PER USE: N/A TOTAL PARKING REQUIRED: 35 SPACES 7110 ELLA MAE WAY MICRO-BIORETENTION (M-6) E. List intersections studied, identify intersection as State or County jurisdiction, and label LOS for the G. TOTAL NUMBER OF UNITS ALLOWED FOR PROJECT AS SHOWN ON FINAL PLAT: 14 TOTAL UNITS **TIMMONS GROUP** 7113 ELLA MAE WAY horizon year of each intersection: MD 103 & MD 104, STATE JURISDICTION, LOS B - 2017 OFF-STREET PARKING SPACES PROVIDED: 7109 ELLA MAE WAY MICRO-BIORETENTION (M-6) DRYWELL (M-5 F. Provide statement as to whether mitigation is required and explain the method of mitigation/in lieu H. TOTAL NUMBER OF UNITS PROPOSED SFD = 2 GARAGE/2 DRIVEWAY7105 ELLA MAE WAY MICRO-BIORETENTION (M-6) DRYWELL (M-5 fee. NO MITIGATION REQUIRED 3300 NORTH RIDGE ROAD, SUITE 110, ELLICOTT CITY, MD 21043 IN THIS SUBMISSION: 14 BUILDABLE LOTS (THIS SDP) 2 SPACE IN GARAGE = 28 SPACES (FOR 14 UNITS) 7101 ELLA MAE WAY MAXIMUM NUMBER OF EMPLOYEES, P: 410.461.7666 F: 410.461.8961 www.timmons.com 2 SPACES ON DRIVEWAY = 28 SPACES (FOR 14 UNITS) 8 4776 ATTENBOROUGH WA TENANTS ON SITE PER USE: 7000 GENEVIEVE WAY MICRO-BIORETENTION (M-6), DRYWELL (M-5) NUMBER OF PARKING SPACES REQUIRED PROFESSIONAL CERTIFICATE 7004 GENEVIEVE WAY MICRO-BIORETENTION (M-6), DRYWELL (M-5) 2.5 PER UNIT TOTAL OVERFLOW PARKING SPACES PROVIDED: REFER TO OFF-STREET BY HO CO. ZONING REGULATIONS: K. NUMBER OF PARKING SPACES PROVIDED SEE PARKING TABULATION HEREON 7008 GENEVIEVE WAY MICRO-BIORETENTION (M-6), DRYWELL (M-5) APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING TOTAL PARKING SPACES PROVIDED: 56 SPACES OFF-STREET 7012 GENEVIEVE WAY RE PREPARED OR APPROVED BY ME, AND OPEN SPACE ON SITE: 7009 GENEVIEVE WAY DRYWELL (M-5) ONSTREET PARKING AS DIRECTED BY TRAFFIC ENGINEERING (Hd) Edmondson AREA OF RECREATION OPEN SPACE DRAWN BY: REFER TO F-20-024 REFER TO F-20-024 REQUIRED BY SUBDIVISION & LAND CHIEF, DEVELOPMENT BEAGINEERING DIVISION DEVELOPMENT REGULATIONS: CHECKED BY: DATE N. BUILDING COVERAGE OF SITE PERMIT INFORMATION CHART 10/19/2022 APPLICABLE DPZ FILE REFERENCES: *THE H.O.A SHALL BE RESPONSIBLE FOR ENFORCING THE PARKING OCTOBER 2022 F-20-024, AA-22-013, F-23-013 LOTS/PARCEL # SUBDIVISION NAME SECTION/AREA REQUIREMENTS ON EACH RESIDENTIAL LOT, ONE (1) GARAGE SPACE P. ANY OTHER INFORMATION WHICH MAY SCALE: AS SHOWN DATE SHALL REMAIN OPEN FOR VEHICLE PARKING USE. THE GARAGE N/A CHIEF, DIVISION OF LAND DEVELOPMENT BE RELEVANT: TAX MAP 31, GRID 9, PARCEL 24 SPACE MAY NOT BE CONVERTED TO LIVING SPACE AND SHALL ONLY TAX MAP | ELECT. DIST. CENSUS TF PLAT # OR L/F | BLOCK NO. | ZONE | 10/19/2022 2ND ELECTION DISTRICT W.O. NO.: BE UTILIZED FOR VEHICULAR PARKING SPACE. Q. FLOOR AREA RATIO: N/A 602700 25874-25879 5B4D5DD9470C4D4 REMPRESAF33DOSEL, PE No.161

DIRECTOR

5B4D5DD9470C4D4.

DATE

BE SHOWN FOR CORNER LOTS.

SHEET ___ OF __

ROBERTBAH338/OSEL, PE No.161

MD REGISTRATION NO. 16193 P.E, R.L.S., OR R.L.A. (circle one)

HOWARD S.C.D.

Michael Pfau

PRINTED NAME & TITLE

DATE

DIRECTOR

SHEET __ OF _

FRONT DOOR LOCATION

HOWARD SOIL CONSERVATION DISTRICT STANDARD SEDIMENT CONTROL NOTES A PRE-CONSTRUCTION MEETING MUST OCCUR WITH THE HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS, CONSTRUCTION INSPECTION DIVISION (CID), 410-313-1855 AFTER DEFINITION THE FUTURE LOD AND PROTECTED AREAS ARE MARKED CLEARLY IN THE FIELD. A MINIMUM OF 48 HOUR NOTICE TO CID MUST BE GIVEN AT THE FOLLOWING STAGES: PRIOR TO THE START OF EARTH DISTURBANCE, UPON COMPLETION OF THE INSTALLATION OF PERIMETER FROSION AND SEDIMENT CONTROLS, BUT BEFORE PROCEEDING WITH ANY OTHER EARTH DISTURBANCE OR GRADING.

PRIOR TO THE START OF ANOTHER PHASE OF CONSTRUCTION OR OPENING OF ANOTHER GRADING UNIT. D. PRIOR TO THE REMOVAL OR MODIFICATION OF SEDIMENT CONTROL PRACTICES. OTHER BUILDING OR GRADING INSPECTION APPROVALS MAY NOT BE AUTHORIZED UNTIL

THIS INITIAL APPROVAL BY THE INSPECTION AGENCY IS MADE. OTHER RELATED STATE AND FEDERAL PERMITS SHALL BE REFERENCED, TO ENSURE COORDINATION AND TO

AVOID CONFLICTS WITH THIS PLAN. ALL VEGETATIVE AND STRUCTURAL PRACTICES ARE TO BE INSTALLED ACCORDING TO THE PROVISIONS OF THIS PLAN AND ARE TO BE IN CONFORMANCE WITH THE 201 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT

CONTROL. AND REVISIONS THERETO

- FOLLOWING INITIAL SOIL DISTURBANCE OR RE-DISTURBANCE, PERMANENT OR TEMPORARY STABILIZATION IS REQUIRED WITHIN THREE (3) CALENDAR DAYS AS TO THE SURFACE OF ALL PERIMETER CONTROLS, DIKES, SWALES, DITCHES, PERIMETER SLOPES, AND ALL SLOPES STEEPER THAN 3 HORIZONTAL TO 1 VERTICAL (3:1); AND SEVEN (7) CALENDAR DAYS AS TO ALL OTHER DISTURBED AREAS ON THE PROJECT SITE EXCEPT FOR THOSE AREAS UNDER ACTIVE GRADING. ALL DISTURBED AREAS MUST BE STABILIZED WITHIN THE TIME PERIOD SPECIFIED ABOVE
- IN ACCORDANCE WITH THE 2011 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL FOR TOPSOIL (SEC. B-4-2), PERMANENT SEEDING (SEC. B-4-5), TEMPORARY SEEDING (SEC. B-4-4) AND MULCHING (SEC. B-4-3 TEMPORARY STABILIZATION WITH MULCH ALONE CAN ONLY BE APPLIED BETWEEN THE FALL AND SPRING SEEDING DATES IF THE GROUND IS FROZEN. INCREMENTAL STABILIZATION (SEC. B-4-1) SPECIFICATIONS SHALL BE ENFORCED IN AREAS WITH >15' OF CLIT AND OR FILL STOCKPILES (SEC R-4-8) IN EXCESS OF 20 FT MUST BE BENCHED WITH STABLE OUTLET. ALL CONCENTRATED FLOW. STEEP SLOPE. AND
- HIGHLY FRODIBLE AREAS SHALL RECEIVE SOIL STABILIZATION MATTING (SEC. B-4-6) ALL SEDIMENT CONTROL STRUCTURES ARE TO REMAIN IN PLACE. AND ARE TO BE MAINTAINED IN OPERATIVE CONDITION UNTIL PERMISSION FOR THEIR REMOVAL HAS BEEN OBTAINED FROM THE CID

SITE ANALYSIS: ACRES TOTAL AREA OF SITE: AREA DISTURBED: AREA TO BE ROOFED OR PAVED: AREA TO BE VEGETATIVELY STABILIZED: CU. YDS. TOTAL TOTAL FILL

OFFSITE WASTE/BORROW AREA LOCATION:

(1) REFER TO ITEM 11 BELOW

- ANY SEDIMENT CONTROL PRACTICE WHICH IS DISTURBED BY GRADING ACTIVITY FOR PLACEMENT OF UTILITIES MUST BE REPAIRED ON THE SAME DAY OF DISTURBANCE. ADDITIONAL SEDIMENT CONTROL MUST BE PROVIDED, IF DEEMED NECESSARY BY THE
- MADE AVAILABLE UPON REQUEST, IS PART OF EVERY INSPECTION AND SHOULD INCLUDE: INSPECTION DATE INSPECTION TYPE (ROUTINE, PRE-STORM EVENT, DURING RAIN EVENT) NAME AND TITLE OF INSPECTOR

CID. THE SITE AND ALL CONTROLS SHALL BE INSPECTED BY THE CONTRACTOR WEEKLY;

AND THE NEXT DAY AFTER EACH RAIN EVENT. A WRITTEN REPORT BY THE CONTRACTOR,

- WEATHER INFORMATION (CURRENT CONDITIONS AS WELL AS TIME AND AMOUNT OF LAST RECORDED PRECIPITATION) BRIEF DESCRIPTION OF PROJECT'S STATUS (E.G., PERCENT COMPLETE) AND/OR CURRENT ACTIVITIES
- EVIDENCE OF SEDIMENT DISCHARGES IDENTIFICATION OF PLAN DEFICIENCIES IDENTIFICATION OF SEDIMENT CONTROLS THAT REQUIRE MAINTENANCE IDENTIFICATION OF MISSING OR IMPROPERLY INSTALLED SEDIMENT CONTROLS
- COMPLIANCE STATUS REGARDING THE SEQUENCE OF CONSTRUCTION AND STABILIZATION REQUIREMENTS PHOTOGRAPHS
- MONITORING/SAMPLING MAINTENANCE AND/OR CORRECTIVE ACTION PERFORMED

TIME PERIODS (INCLUSIVE):

- OTHER INSPECTION ITEMS AS REQUIRED BY THE GENERAL PERMIT FOR STORMWATER ASSOCIATED WITH CONSTRUCTION ACTIVITIES (NPDES, MDE).
- TRENCHES FOR THE CONSTRUCTION OF UTILITIES IS LIMITED TO THREE PIPE LENGTHS OR THAT WHICH CAN AND SHALL BE BACK-FILLED AND STABILIZED BY THE END OF EACH WORKDAY, WHICHEVER IS SHORTER. ANY MAJOR CHANGES OR REVISIONS TO THE PLAN OR SEQUENCE OF CONSTRUCTION
- MUST BE REVIEWED AND APPROVED BY THE HSCD PRIOR TO PROCEEDING WITH CONSTRUCTION. MINOR REVISIONS MAY ALLOWED BY THE CID PER THE LIST OF HSCD-APPROVED FIELD CHANGES. DISTURBANCE SHALL NOT OCCUR OUTSIDE THE L.O.D. A PROJECT IS TO BE SEQUENCED SO THAT GRADING ACTIVITIES BEGIN ON ONE GRADING UNIT (MAXIMUM
- ACREAGE OF 20 AC. PER GRADING UNIT) AT A TIME. WORK MAY PROCEED TO A SUBSEQUENT GRADING UNIT WHEN AT LÉAST 50 PERCENT OF THE DISTURBED AREA IN THE PRECEDING GRADING LINIT HAS BEEN STABILIZED AND APPROVED BY THE CID LINESS OTHERWISE SPECIFIED AND APPROVED BY THE CID NO MORE THAN 30 ACRES CUMULATIVELY MAY BE DISTURBED AT A GIVEN TIME. WASH WATER FROM ANY EQUIPMENT, VEHICLES, WHEELS, PAVEMENT, AND OTHER
- SOURCES MUST BE TREATED IN A SEDIMENT BASIN OR OTHER APPROVED WASHOUT TOPSOIL SHALL BE STOCKPILED AND PRESERVED ON-SITE FOR REDISTRIBUTION ONTO
- ALL SILT FENCE AND SUPER SILT FENCE SHALL BE PLACED ON—THE—CONTOUR, AND BE IMBRICATED AT 25' MINIMUM INTERVALS. WITH LOWER ENDS CURLED UPHILL BY IN ELEVATION. STREAM CHANNELS MUST NOT BE DISTURBED DURING THE FOLLOWING RESTRICTED
 - USE I AND IP MARCH 1 JUNE 15 USE III AND IIIP OCTOBER 1 - APRIL 30 USE IV MARCH 1 - MAY 31
- A COPY OF THIS PLAN, THE 2011 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL, AND ASSOCIATED PERMITS SHALL BE ON-SITE AND AVAILABLE WHEN THE SITE IS ACTIVE.

OWNER/DEVELOPER CERTIFICATION: I/WE CERTIFY THAT ANY CLEARING, GRADING, CONSTRUCTION. OR DEVELOPMENT LAN, INCLUDING INSPECTING AND MAINTAINING CONTROLS, AND THAT ALL RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE CERTIFICATE OF ATTENDANCE AT A MARYLAND DEPARTMENT OF THE ENVIRONMENT (MDE) APPROVED TRAINING PROGRAM FOR THE CONTROL ON EROSION AND SEDIMENT PRIOR TO BEGINNING THE PROJECT. I CERTIFY RIGHT—OF—ENTRY FOR PERIODIC ON SITE EVALUATION BY HOWARD COUNTY, THE HOWARD SOIL CONSERVATION DISTRICT AND/OR MDE." 10/11/2022

Michael Pfan OWNER DEVELOPER SIGNATURE Michael Pfau PRINTED NAME & TITLE

DESIGN CERTIFICATION: "I HEREBY CERTIFY THAT THIS PLAN HAS BEEN DESIGNED IN ACCORDANCE WITH CURRENT MARYLAND EROSION AND SEDIMENT CONTROL LAWS, REGULATIONS, AND STANDARDS, THAT IT REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE, AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT."

Rob Vogel 10/12/2022 DESIGNER BAFSIENATURE ID REGISTRATION NO. 16193 PRINTED NAME (P.E), R.L.S., OR R.L.A. (circle one)

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING 10/18/2022 (Hd1) Edmondson CHIEF, DEVELOPMENTIONERING DIVISION 10/19/2022 CHIEF, DIVISION OF LAND BY DEVELOPMENT 10/19/2022 Amy Gonan

DATE

B-4-5 STANDARDS AND SPECIFICATIONS PERMANENT STABILIZATION

TO STABILIZE DISTURBED SOILS WITH PERMANENT VEGETATION.

TO USE LONG-LIVED PERENNIAL GRASSES AND LEGUMES TO ESTABLISH PERMANENT GROUND COVER ON DISTURBED SOILS.

CONDITIONS WHERE PRACTICE APPLIES EXPOSED SOILS WHERE GROUND COVER IS NEEDED FOR 6 MONTHS OR MORE.

A. SEED MIXTURES A. SELECT ONE OR MORE OF THE SPECIES OR MIXTURES LISTED IN TABLE 8.3 FOR THE APPROPRIATE PLANT HARDINESS ZONE (FROM FIGURE 8.3) AND BASED ON THE SITE CONDITION OR PURPOSE FOUND ON TABLE 8.2. ENTER SELECTED MIXTURE(S), PPLICATION RATES, AND SEEDING DATES IN THE PERMANENT SEEDING SUMMARY. THE SUMMARY IS TO BE PLACED ON THE PLAN. B. ADDITIONAL PLANTING SPECIFICATIONS FOR EXCEPTIONAL SITES SUCH AS SHORELINES. STREAM BANKS, OR DUNES OR FOR SPECIAL PURPOSES SUCH AS WILDLIFE OR

SECTION 342 - CRITICAL AREA PLANTING. C. FOR SITES HAVING DISTURBED AREA OVER 5 ACRES, USE AND SHOW THE RATES RECOMMENDED BY THE SOIL TESTING AGENCY. D. FOR AREAS RECEIVING LOW MAINTENANCE, APPLY UREA FORM FERTILIZER (46-0-0) AT 3-1/2 POUNDS PER 1000 SQUARE FEET (150 POUNDS PER ACRE) AT THE TIME OF SEEDING IN ADDITION TO THE SOIL AMENDMENTS SHOWN IN THE PERMANENT SEEDING SUMMARY

AESTHETIC TREATMENT MAY BE FOUND IN USDA-NRCS TECHNICAL FIELD OFFICE GUIDE,

. TURFGRASS MIXTURES A. AREAS WHERE TURFGRASS MAY BE DESIRED INCLUDE LAWNS, PARKS, PLAYGROUNDS AND COMMERCIAL SITES WHICH WILL RECEIVE A MEDIUM TO HIGH LEVEL OF MAINTENANCE B. SELECT ONE OR MORE OF THE SPECIES OR MIXTURES LISTED BELOW BASFD ON THE SITE CONDITIONS OR PURPOSE, ENTER SELECTED MIXTURE(S), APPLICATION RATES, AND SEEDING DATES IN THE PERMANENT SEEDING SUMMARY, THE SUMMARY IS TO BE PLACED.

- ON THE PLAN. I. KENTUCKY BLUEGRASS: FULL SUN MIXTURE: FOR USE IN AREAS THAT RECEIVE INTENSIVE MANAGEMENT. IRRIGATION REQUIRED IN THE AREAS OF CENTRAL MARYLAND AND FASTERN SHORE RECOMMENDED CERTIFIED KENTLICKY BLUEGRASS CULTIVARS SEEDING RATE: 1.5 TO 2.0 POLINDS PER 1000 SOLIARE FEET CHOOSE A MINIMUM OF THREE KENTUCKY BLUEGRASS CULTIVARS WITH EACH RANGING FROM 10 TO 35
- II. KENTUCKY BLUEGRASS/PERENNIAL RYE: FULL SUN MIXTURE: FOR USE IN FULL SUN AREAS WHERE RAPID ÉSTABLISHMENT IS NECESSARY AND WHEN TURF WILL RECEIVE MEDIUM TO INTENSIVE MANAGEMENT. CERTIFIED PERENNIAL RYEGRASS CULTIVARS/ CERTIFIED KENTUCKY BLUEGRASS SEEDING RATE: 2 POUNDS MIXTURE PER 1000 SQUARE FEET. CHOOSE A MINIMUM OF THREE KENTUCKY BLUEGRASS CULTIVARS WITH EACH RANGING FROM 10 TO 35 PERCENT OF THE TOTAL MIXTURE BY WEIGHT. III. TALL FESCUE/KENTUCKY BLUEGRASS: FULL SUN MIXTURE: FOR USE IN DROUGHT PRONE AREAS AND/OR FOR AREAS RECEIVING LOW TO MEDIUM MANAGEMENT IN FULL SUN TO MEDIUM SHADE. RECOMMENDED MIXTURE INCLUDES: CERTIFIED TALL FESCUE CULTIVARS 95 TO 100 PERCENT, CERTIFIED KENTUCKY BLUEGRASS CULTIVARS 0 TO 5 PERCENT. SEEDING RATE: 5 TO 8 POUNDS PER 1000 SQUARE FEET. ONE OR MORE CULTIVARS MAY BE BLENDED IV. KENTUCKY BLUEGRASS/FINE FESCUE: SHADE MIXTURE: FOR USE IN AREAS WITH
- MANAGED TURF AREA. MIXTURE INCLUDES: CERTIFIED KENTUCKY BLUEGRASS CULTIVARS 30 TO 40 PERCENT AND CERTIFIED FINE FESCUE AND 60 TO 70 PERCENT SEEDING RATE: 11/2 TO 3 POUNDS PER 1000 SQUARE FEET.

SHADE IN BLUEGRASS LAWNS. FOR ESTABLISHMENT IN HIGH QUALITY, INTENSIVELY

SELECT TURFGRASS VARIETIES FROM THOSE LISTED IN THE MOST CURRENT UNIVERSITY OF MARYLAND PUBLICATION, AGRONOMY MEMO #77, "TURFGRASS CULTIVAR RECOMMENDATIONS FOR MARYLAND" CHOOSE CERTIFIED MATERIAL. CERTIFIED MATERIAL IS THE BEST GUARANTEE OF CULTIVAR PURIT THE CERTIFICATION PROGRAM OF THE MARYLAND DEPARTMENT OF AGRICULTURE, TURF AND SEED SECTION, PROVIDES A RELIABLE MEANS OF CONSUMER PROTECTION AND ASSURES A PURE GENETIC

C. IDEAL TIMES OF SEEDING FOR TURF GRASS MIXTURES

PERCENT OF THE TOTAL MIXTURE BY WEIGHT.

- WESTEM MD: MARCH 15 TO JUNE 1, AUGUST ITO OCTOBER 1 (HARDINESS ZONES: SB, 6A) - CENTRAL MD: MARCH 1 TO MAY 15, AUGUST 15 TO OCTOBER 15 (HARDINESS ZONE: 6B) SOUTHERN MD, EASTERN SHORE: MARCH 1 TO MAY 15, AUGUST 15 TO OCTOBER 15
- TILL AREAS TO RECEIVE SEED BY DISKING OR OTHER APPROVED METHODS TO A DEPTH OF 2 TO 4 INCHES LEVEL AND RAKE THE AREAS TO PREPARE A PROPER SEEDRED REMOVE STONES AND DEBRIS OVER 11/2 INCHES IN DIAMETER. THE RESULTING SEEDBED MUST BE IN SUCH CONDITION THAT FUTURE MOWING OF GRASSES WILL POSE NO DIFFICULTY IF SOIL MOISTURE IS DEFICIENT, SUPPLY NEW SEEDINGS WITH ADEQUATE WATER FOR PLANT GROWTH (1/2 TO 1 INCH EVERY 3 TO 4 DAYS DEPENDING ON SOIL TEXTURE) UNTIL THEY ARE FIRMLY ESTABLISHED. THIS IS ESPECIALLY TRUE WHEN SEEDINGS ARE MADE LATE IN THE PLANTING SEASON, IN ABNORMALLY DRY OR HOT SEASONS, OR ON ADVERSE SITES.
- B. SOD: TO PROVIDE QUICK COVER ON DISTURBED AREAS (2:1 GRADE OR FLATTER).
- A. CLASS OF TURFGRASS SOD MUST BE MARYLAND STATE CERTIFIED. SOD LABELS MUST BE MADE AVAILABLE TO THE JOB FOREMAN AND INSPECTOR. B. SOD MUST BE MACHINE CUT AT A UNIFORM SOIL THICKNESS OF 3/4 INCH, PLUS OR MINUS 1/4 INCH, AT THE TIME OF CUTTING. MEASUREMENT FOR THICKNESS MUST EXCLUDE TOP GROWTH AND THATCH. BROKEN PADS AND TOM OR UNEVEN ENDS WILL NOT BE
- C. STANDARD SIZE SECTIONS OF SOD MUST BE STRONG ENOUGH TO SUPPORT THEIR OWN WEIGHT AND RETAIN THEIR SIZE AND SHAPE WHEN SUSPENDED VERTICALLY WITH A FIRM GRASP ON THE UPPER 10 PERCENT OF THE SECTION. D. SOD MUST NOT BE HARVESTED OR TRANSPLANTED WHEN MOISTURE CONTENT EXCESSIVELY DRY OR WET) MAY ADVERSELY AFFECT ITS SURVIVAL. E. SOD MUST BE HARVESTED, DELIVERED, AND INSTALLED WITHIN A PERIOD OF 36 HOURS. SOD NOT TRANSPLANTED WITHIN THIS PERIOD MUST BE APPROVED BY AN AGRONOMIST OR SOIL SCIENTIST PRIOR TO ITS INSTALLATION.

A. DURING PERIODS OF EXCESSIVELY HIGH TEMPERATURE OR IN AREAS HAVING DRY SUBSOIL, LIGHTLY IRRIGATE THE SUBSOIL IMMEDIATELY PRIOR TO LAYING THE SOD. B. LAY THE FIRST ROW OF SOD IN A STRAIGHT LINE WITH SUBSEQUENT ROWS PLACED. PARALLEL TO IT AND TIGHTLY WEDGED AGAINST FACH OTHER STAGGER LATERAL JOINTS TO PROMOTE MORE UNIFORM GROWTH AND STRENGTH. ENSURE THAT SOD IS NOT STRETCHED OR OVERLAPPED AND THAT ALL JOINTS ARE BUTTED TIGHT IN ORDER TO PREVENT VOIDS WHICH WOULD CAUSE AIR DRYING OF THE ROOTS. C. WHEREVER POSSIBLE, LAY SOD WITH THE LONG EDGES PARALLEL TO THE CONTOUR AND WITH STAGGERING JOINTS. ROLL AND TAMP, PEG OR OTHERWISE SECURE THE SOD TO PREVENT

SLIPPAGE ON SLOPES. ENSURE SOLID CONTACT EXISTS BETWEEN SOD ROOTS AND THE D. WATER THE SOD IMMEDIATELY FOLLOWING ROLLING AND TAMPING UNTIL THE UNDERSIDE OF THE NEW SOD PAD AND SOIL SURFACE BELOW THE SOD ARE THOROUGHLY WET. COMPLETE THE OPERATIONS OF LAYING, TAMPING AND IRRIGATING FOR ANY PIECE OF SOD WITHIN EIGHT

A. IN THE ABSENCE OF ADEQUATE RAINFALL, WATER DAILY DURING THE FIRST WEEK OR AS OFTEN AND SUFFICIENTLY AS NECESSARY TO MAINTAIN MOIST SOIL TO A DEPTH OF 4 INCHES. WATER SOD DURING THE HEAT OF THE DAY TO PREVENT WILTING.

B. AFTER THE FIRST WEEK, SOD WATERING IS REQUIRED AS NECESSARY TO MAINTAIN ADEQUATE MOISTURE CONTENT C. DO NOT MOW UNTIL THE SOD IS FIRMLY ROOTED. NO MORE THAN 1/3 OF THE GRASS LEAF MUST BE REMOVED BY THE INITIAL CUTTING OR SUBSEQUENT CUTTINGS. MAINTAIN A GRASS HEIGHT OF AT LEAST 3 INCHES UNLESS OTHERWISE SPECIFIED. PERMANENT SEEDING SUMMARY

		ONE (FROM FIGURE E (FROM TABLE B.3		FERTILIZER RATE (10–20–20)			LIME RATE	
N0	SPECIES	APPLICATION RATE (LB/AC)	SEEDING DATES	SEEDING DEPTHS	N	P ₂ 0 ₅	K ₂ 0	
1	COOL SEASON TALL FESCUE & KENTUCKY BLUEGRASS OR EQUAL	T.F. 60 LB / AC K.B. 40 LB / AC	MAR 1 TO MAY 15 AUG 15 TO OCT 15	1/4-1/2 IN.	(1 LB PER	(2 LB PER	90 LB/AC (2 LB PER 1000 SF)	

NOTES

DURING GRADING AND AFTER EACH RAINFALL, THE CONTRACTOR SHALL INSPECT AND PROVIDE THE NECESSARY MAINTENANCE ON THE SEDIMENT AND EROSION CONTROL MEASURES SHOWN HEREON.

FOLLOWING INITIAL SOIL DISTURBANCE OR REDISTURBANCE, PERMANENT OR TEMPORARY STABILIZATION SHALL BE COMPLETED WITHIN:

A. 3 CALENDAR DAYS FOR ALL PERIMETER SEDIMENT CONTROL STRUCTURES, DIKES, PERIMETER SLOPES AND ALL SLOPES GREATER THAN 3:1.

B. 7 DAYS AS TO ALL OTHER DISTURBED OR GRADED AREAS ON THE PROJECT

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRIC' Olexander Bratchie 10/18/2022 HOWARD S.

SITE.

R-4-2 STANDARDS AND SPECIFICATIONS

SOIL PREPARATION, TOPSOILING AND SOIL AMENDMENTS

DEFINITION THE PROCESS OF PREPARING THE SOILS TO SUSTAIN ADEQUATE VEGETATIVE STABILIZATION.

TO PROVIDE A SUITABLE SOIL MEDIUM FOR VEGETATIVE GROWTH. CONDITIONS WHERE PRACTICE APPLIES

WHERE VEGETATIVE STABILIZATION IS TO BE ESTABLISHED

A. SOIL PREPARATION

<u>PURPOSE</u>

<u>CRITERIA</u>

 TEMPORARY STABILIZATION A. SEEDBED PREPARATION CONSISTS OF LOOSENING SOIL TO A DEPTH OF 3 TO 5 INCHES BY MEANS OF SUITABLE AGRICULTURAL OR CONSTRUCTION EQUIPMENT, SUCH AS DISC HARROWS OR CHISEL PLOWS OR RIPPERS MOUNTED ON CONSTRUCTION EQUIPMENT. AFTER THE SOIL IS LOOSENED, IT MUST NOT BE ROLLED OR DRAGGED SMOOTH BUT LEFT IN THE ROUGHENED CONDITION. SLOPES 3:1 OR FLATTER ARE TO BE TRACKED WITH

RIDGES RUNNING PARALLEL TO THE CONTOUR OF THE SLOPE. B. APPLY FERTILIZER AND LIME AS PRESCRIBED ON THE PLANS C. INCORPORATE LIME AND FERTILIZER INTO THE TOP 3 TO 5 INCHES OF SOIL BY DISKING OR OTHER SUITABLE MEANS.

A. A SOIL TEST IS REQUIRED FOR ANY EARTH DISTURBANCE OF 5 ACRES OR MORE. THE MINIMUM SOIL CONDITIONS REQUIRED FOR PERMANENT VEGETATIVE ESTABLISHMENT ARE I. SOIL PH BETWEEN 6.0 AND 7.0. IL SOLUBLE SALTS LESS THAN 500 PARTS PER MILLION (PPM)

III. SOIL CONTAINS LESS THAN 40 PERCENT CLAY BUT ENOUGH FINE GRAINED MATERIAL (GREATER THAN 30 PERCENT SILT PLUS CLAY) TO PROVIDE THE CAPACITY TO HOLD À MODERATE AMOUNT OF MOISTURE. AN EXCÉPTION: IF LOVEGRASS WILL BE PLANTED, THEN A SANDY SOIL (LESS THAN 30 PERCENT SILT PLUS CLAY) WOULD

IV. SOIL CONTAINS 1.5 PERCENT MINIMUM ORGANIC MATTER BY WEIGHT. V. SOIL CONTAINS SUFFICIENT PORE SPACE TO PERMIT ADEQUATE ROOT PENETRATION. B. APPLICATION OF AMENDMENTS OR TOPSOIL IS REQUIRED IF ON-SITE SOILS DO NOT MEET

GRADED AREAS MUST BE MAINTAINED IN A TRUE AND EVEN GRADE AS SPECIFIED ON

APPROVED PLAN, THEN SCARIFIED OR OTHERWISE LOOSENED TO A DEPTH OF 3 TO

D. APPLY SOIL AMENDMENTS AS SPECIFIED ON THE APPROVED PLAN OR AS INDICATED BY THE RESULTS OF A SOIL TEST. E. MIX SOIL AMENDMENTS INTO THE TOP 3 TO 5 INCHES OF SOIL BY DISKING OR OTHER SUITABLE MEANS. RAKE LAWN AREAS TO SMOOTH THE SURFACE, REMOVE LARGE OBJECTS KE STONES AND BRANCHES, AND READY THE AREA FOR SEED APPLICATION. LOOSEN SURFACE SOIL BY DRAGGING WITH A HEAVY CHAIN OR OTHER FOUIPMENT TO ROUGHEN THE SURFACE WHERE SITE CONDITIONS WILL NOT PERMIT NORMAL SEEDBED PREPARATION. TRACK SLOPES 3:1 OR FLATTER WITH TRACKED EQUIPMENT LEAVING THE SOIL IN AN IRREGULAR CONDITION WITH RIDGES RUNNING PARALLEL TO THE CONTOUR

OF THE SLOPE. LEAVE THE TOP 1 TO 3 INCHES OF SOIL LOOSE AND FRIABLE.

SEEDBED LOOSENING MAY BE UNNECESSARY ON NEWLY DISTURBED AREAS.

I. TOPSOIL IS PLACED OVER PREPARED SUBSOIL PRIOR TO ESTABLISHMENT OF PERMANENT VEGETATION. THE PURPOSE IS TO PROVIDE A SUITABLE SOIL MEDIUM FOR VEGETATIVE GROWTH, SOILS OF CONCEM HAVE LOW MOISTURE CONTENT. LOW NUTRIENT LEVELS, LOW PH. MATERIALS TOXIC TO PLANTS. AND/OR UNACCEPTABLE SOIL GRADATION. TOPSOIL SALVAGED FROM AN EXISTING SITE MAY BE USED PROVIDED IT MEETS THE STANDARDS AS SET FORTH IN THESE SPECIFICATIONS. TYPICALLY, THE DEPTH OF TOPSOIL TO BE SALVAGED FOR A GIVEN SOIL TYPE CAN BE FOUND IN THE REPRESENTATIVE SOIL PROFILE SECTION IN THE SOIL SURVEY PUBLISHED BY USDA-

. TOPSOILING IS LIMITED TO AREAS HAVING 2:1 OR FLATTER SLOPES WHERE: A. THE TEXTURE OF THE EXPOSED SUBSOIL/PARENT MATERIAL IS NOT ADEQUATE TO PRODUCE VEGETATIVE GROWTH. B. THE SOIL MATERIAL IS SO SHALLOW THAT THE ROOTING ZONE IS NOT DEEP ENOUGH TO SUPPORT PLANTS OR FLIRNISH CONTINUING SUPPLIES OF MOISTURE AND PLANT

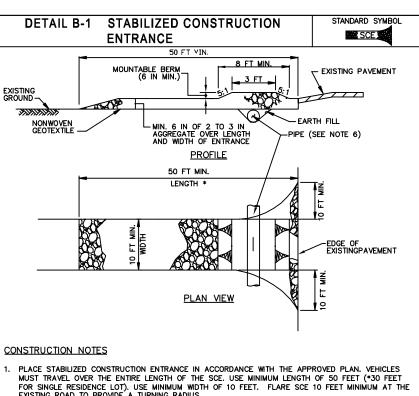
. THE ORIGINAL SOIL TO BE VEGETATED CONTAINS MATERIAL TOXIC TO PLANT GROWTH. D. THE SOIL IS SO ACIDIC THAT TREATMENT WITH LIMESTONE IS NOT FEASIBLE. 4. AREAS HAVING SLOPES STEEPER THAN 2:1 REQUIRE SPECIAL CONSIDERATION AND 5. TOPSOIL SPECIFICATIONS: SOIL TO BE USED AS TOPSOIL MUST MEET THE FOLLOWING A. TOPSOIL MUST BE A LOAM, SANDY LOAM, CLAY LOAM, SILT LOAM, SANDY CLAY LOAM, OR LOAMY SAND. OTHER SOILS MAY BE USED IF RECOMMENDED BY AN AGRONOMIST OR SOIL SCIENTIST AND APPROVED BY THE APPROPRIATE APPROVAL AUTHORITY, TOPSOIL MUST NOT BE A MIXTURE OF

CONTRASTING TEXTURED SUBSOILS AND MUST CONTAIN LESS THAN 5 PERCENT BY VOLUME OF CINDERS, STONES, SLAG, COARSE FRAGMENTS, GRAVEL, STICKS, ROOTS, TRASH, OR OTHER MATERIALS LARGER THAN 11/2 INCHES IN DIAMETER. B. TOPSOIL MUST BE FREE OF NOXIOUS PLANTS OR PLANT PARTS SUCH AS BERMUDA GRASS, QUACK GRASS, JOHNSON GRASS, NUT SEDGE, POISON IVY, THISTLE, OR OTHERS C. TOPSOIL SUBSTITUTES OR AMENDMENTS, AS RECOMMENDED BY A QUALIFIED AGRONOMIST OR SOIL SCIENTIST AND APPROVED BY THE APPROPRIATE APPROVAL AUTHORITY, MAY BE USED IN LIEU OF NATURAL TOPSOIL.

A. EROSION AND SEDIMENT CONTROL PRACTICES MUST BE MAINTAINED WHEN APPLYING B. UNIFORMLY DISTRIBUTE TOPSOIL IN A 5 TO 8 INCH LAYER AND LIGHTLY COMPACT TO A MINIMUM THICKNESS OF 4 INCHES. SPREADING IS TO BE PERFORMED IN SUCH A MANNER THAT SODDING OR SEEDING CAN PROCEED WITH A MINIMUM OF ADDITIONAL SOIL PREPARATION AND TILLAGE. ANY IRREGULARITIES IN THE SURFACE RESULTING FROM TOPSOILING OR OTHER OPERATIONS MUST BE CORRECTED IN ORDER TO PREVENT THE FORMATION OF DEPRESSIONS OR WATER POCKETS. C. TOPSOIL MUST NOT BE PLACED IF THE TOPSOIL OR SUBSOIL IS IN A FROZEN OR MUDDY CONDITION, WHEN THE SUBSOIL IS EXCESSIVELY WET OR IN A CONDITION THAT MAY OTHERWISE BE DETRIMENTAL TO PROPER GRADING AND SEEDBED PREPARATION.

C. SOIL AMENDMENTS (FERTILIZER AND LIME SPECIFICATIONS) I. SOIL TESTS MUST BE PERFORMED TO DETERMINE THE EXACT RATIOS AND APPLICATION RATES FOR BOTH LIME AND FERTILIZER ON SITES HAVING DISTURBED AREAS OF 5 ACRES OR MORE. SOIL ANALYSIS MAY BE PERFORMED BY A RECOGNIZED PRIVATE OR COMMERCIAL LABORATORY. SOIL SAMPLES TAKEN FOR ENGINEERING PURPOSES MAY ALSO BE USED FOR CHEMICAL ANALYSES. . FERTILIZERS MUST BE UNIFORM IN COMPOSITION, FREE FLOWING AND SUITABLE FOR ACCURATE APPLICATION BY APPROPRIATE EQUIPMENT. MANURE MAY BE SUBSTITUTED FOR FERTILIZER WITH PRIOR APPROVAL FROM THE APPROPRIATE APPROVAL AUTHORITY. FERTILIZERS MUST ALL BE DELIVERED TO THE SITE FULLY LABELED ACCORDING TO THE

APPLICABLE LAWS AND MUST BEAR THE NAME, TRADE NAME OR TRADEMARK AND WARRANTY OF THE PRODUCER. 3. LIME MATERIALS MUST BE GROUND LIMESTONE (HYDRATED OR BURNT LIME MAY BE SUBSTITUTED EXCEPT WHEN HYDROSEEDING) WHICH CONTAINS AT LEAST 50 PERCENT TOTAL OXIDES (CALCIUM OXIDE PLUS MAGNESIUM OXIDE). LIMESTONE MUST BE GROUND TO SUCH FINENESS THAT AT LEAST 50 PERCENT WILL PASS THROUGH A #100 MESH SIEVE AND 98 TO 100 PERCENT WILL PASS THROUGH A #20 MESH SIEVE. . LIME AND FERTILIZER ARE TO BE EVENLY DISTRIBUTED"AND INCORPORATED INTO THE TOP 3 TO 5 INCHES OF SOIL BY DISKING OR OTHER SUITABLE MEANS. 5. WHERE THE SUBSOIL IS FITHER HIGHLY ACIDIC OR COMPOSED OF HEAVY CLAYS SPREAD GROUND LIMESTONE AT THE RATE OF 4 TO 8 TONS/ACRE (200-400 POUNDS PER 1,000 SQUARE FEET) PRIOR TO THE PLACEMENT OF TOPSOIL.



MUST TRAVEL OVER THE ENTIRE LENGTH OF THE SCE. USE MINIMUM LENGTH OF 50 FEET (*30 FEET FOR SINGLE RESIDENCE LOT), USE MINIMUM WIDTH OF 10 FEET. FLARE SCE 10 FEET MINIMUM AT THE EXISTING ROAD TO PROVIDE A TURNING RADIUS. 2. PIPE ALL SURFACE WATER FLOWING TO OR DIVERTED TOWARD THE SCE UNDER THE ENTRANCE, MAINTAINING POSITIVE DRAINAGE. PROTECT PIPE INSTALLED THROUGH THE SCE WITH A MOUNTABLE BERM WITH 5:1 SLOPES AND A MINIMUM OF 12 INCHES OF STONE OVER THE PIPE. PROVIDE PIPE AS SPECIFIED ON APPROVED PLAN. WHEN THE SCE IS LOCATED AT A HIGH SPOT AND HAS NO DRAINAGED TO CONVEY, A PIPE IS NOT NECESSARY. A MOUNTABLE BERM IS REQUIRED WHEN SCE IS NOT LOCATED AT A HIGH SPOT.

PREPARE SUBGRADE AND PLACE NONWOVEN GEOTEXTILE, AS SPECIFIED IN SECTION H-1 MATERIALS PLACE CRUSHED AGGREGATE (2 TO 3 INCHES IN SIZE) OR EQUIVALENT RECYCLED CONCRETE (WITHOUT REBAR) AT LEAST 6 INCHES DEEP OVER THE LENGTH AND WIDTH OF THE SCE. MAINTAIN ENTRANCE IN A CONDITION THAT MINIMIZES TRACKING OF SEDIMENT. ADD STONE OR MAKE OTHER REPAIRS AS CONDITIONS DEMAND TO MAINTAIN CLEAN SURFACE, MOUNTABLE BERM, AND OTHER REPAIRS AS CONDITIONS DEMAND TO MAINTAIN CLEAN SURFACE, MOUNTABLE BERM, AND SPECIFIED DIMENSIONS. IMMEDIATELY REMOVE STONE AND/OR SEDIMENT SPILLED, DROPPED, OR TRACKED ONTO ADJACENT ROADWAY BY VACULUMING, SCRAPING, AND/OR SWEEPING. WASHING ROADWAY TO REMOVE MUD TRACKED ONTO PAVEMENT IS NOT ACCEPTABLE UNLESS WASH WATER IS DIRECTED TO AN APPROVED SEDIMENT CONTROL PRACTICE.

MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL MARYLAND DEPARTMENT OF ENVIRONMENT

B-4-8 STANDARDS AND SPECIFICATIONS

CONDITIONS WHERE PRACTICE APPLIES

CONSTRUCTION NOTES

THE APPLICATION OF SEED AND MULCH TO ESTABLISH VEGETATIVE COVER.

B-4-3 STANDARDS AND SPECIFICATIONS

SEEDING AND MULCHING

TO PROTECT DISTURBED SOILS FROM EROSION DURING AND AT THE END OF CONSTRUCTION. CONDITIONS WHERE PRACTICE APPLIES

O THE SURFACE OF ALL PERIMETER CONTROLS, SLOPES, AND ANY DISTURBED AREA NOT UNDER ACTIVE

1.SPECIFICATIONS

A. ALL SEED MUST MEET THE REQUIREMENTS OF THE MARYLAND STATE SEED LAW. ALL SEED MUST BE SUBJECT TO RE-TESTING BY A RECOGNIZED SEED LABORATORY. ALL SEED USED MUST HAVE BEEN TESTED WITHIN THE 6 MONTHS IMMEDIATELY PRECEDING THE DATE OF SOWING SUCH MATERIAL ON ANY PROJECT. REFER TO TABLE B.4 REGARDING THE QUALITY OF SEED. SEED TAGS MUST BE AVAILABLE UPON REQUEST TO THE INSPECTOR TO VERIFY TYPE OF SEED AND SEEDING RATE. R MILICH ALONE MAY BE APPLIED BETWEEN THE FALL AND SPRING SEEDING DATES ONLY IF THE GROUND IS FROZEN. THE APPROPRIATE SEEDING MIXTURE MUST BE APPLIED WHEN THE GROUND . INOCULANTS: THE INOCULANT FOR TREATING LEGUME SEED IN THE SEED MIXTURES MUST BE A PURE CULTURE OF NITROGEN FIXING BACTERIA PREPARED SPECIFICALLY FOR THE SPECIES.
INOCULANTS MUST NOT BE USED LATER THAN THE DATE INDICATED ON THE CONTAINER. ADD FRESH INOCULANTS AS DIRECTED ON THE PACKAGE. USE FOUR TIMES THE RECOMMENDED RATE WHEN HYDROSEEDING. NOTE: IT IS VERY IMPORTANT TO KEEP INOCULANT AS COOL AS POSSIBLE UNTIL

JSED. TEMPERATURES ABOVE 75 TO 80 DEGREES FAHRENHEIT CAN WEAKEN BACTERIA AND MAKE THE INOCULANT LESS FEFFCTIVE D. SOD OR SEED MUST NOT BE PLACED ON SOIL WHICH HAS BEEN TREATED WITH SOIL STERILANTS OR CHEMICALS USED FOR WEED CONTROL UNTIL SUFFICIENT TIME HAS ELAPSED (14 DAYS MIN.) TO PERMIT DISSIPATION OF PHYTO-TOXIC MATERIALS. A. DRY SEEDING: THIS INCLUDES USE OF CONVENTIONAL DROP OR BROADCAST SPREADERS

. INCORPORATE SEED INTO THE SUBSOIL AT THE RATES PRESCRIBED ON TEMPORARY SEEDING TABLE 8.1 PERMANENT SEEDING TABLE 8.3 OR SITE-SPECIFIC SEEDING SUMMARIES II. APPLY SEED IN TWO DIRECTIONS, PERPENDICULAR TO EACH OTHER, APPLY HALF THE SEEDING RATE IN EACH DIRECTION. ROLL THE SEEDED AREA WITH A WEIGHTED ROLLER TO PROVIDE GOOD B. DRILL OR CULTIPACKER SEEDING: MECHANIZED SEEDERS THAT APPLY AND COVER SEED WITH SOIL. I. CULTIPACKING SEEDERS ARE REQUIRED TO BURY THE SEED IN SUCH A FASHION AS TO PROVIDE AT LEAST 1/4 INCH OF SOIL COVERING, SEEDBED MUST BE FIRM AFTER PLANTING.

II. APPLY SEED IN TWO DIRECTIONS, PERPENDICULAR TO EACH OTHER. APPLY HALF THE SEEDING RATE IN EACH DIRECTION. C. HYDROSEEDING: APPLY SEED UNIFORMLY WITH HYDROSEEDER (SLURRY INCLUDES SEED AND I. IF FERTILIZER IS BEING APPLIED AT THE TIME OF SEEDING, THE APPLICATION RATES SHOULD NOT EXCEED THE FOLLOWING: NITROGEN, 100 POUNDS PER ACRE TOTAL OF SOLUBLE NITROGEN;

P205 (PHOSPHOROUS). 200 POUNDS PER ACRE: K20 (POTASSIUM). 200 POUNDS PER ACRE. II. LIME: USE ONLY GROUND AGRICULTURAL LIMESTONE (UP TO 3 TONS PER ACRE MAY BE APPLIED BY HYDROSFFDING) NORMALLY NOT MORE THAN 2 TONS ARE APPLIED BY HYDROSEEDING AT ANY ONE TIME. DO NOT USE BURNT OR HYDRATED LIME WHEN HYDROSEEDING III. MIX SEED AND FERTILIZER ON SITE AND SEED IMMEDIATELY AND WITHOUT INTERRUPTION. IV. WHEN HYDROSEEDING DO NOT INCORPORATE SEED INTO THE SOIL.

I. MULCH MATERIALS (IN ORDER OF PREFERENCE) A. STRAW CONSISTING OF THOROUGHLY THRESHED WHEAT, LYE, OAT, OR BARLEY AND REASONABLY BRIGHT IN COLOR. STRAW IS TO BE FREE OF NOXIOUS WEED SEEDS AS SPECIFIED IN THE MARYLAND SEED LAW AND NOT MUSTY, MOLDY, CAKED, DECAYED, OR EXCESSIVELY DUSTY, NOTE USE ONLY STERILE STRAW MULCH IN AREAS WHERE ONE SPECIES OF GRASS IS DESIRED. B. WOOD CELLULOSE FIBER MULCH (WCFM) CONSISTING OF SPECIALLY PREPARED WOOD CELLULOSE PROCESSED INTO A UNIFORM FIBROUS PHYSICAL STATE. I. WCFM IS TO BE DYED GREEN OR CONTAIN A GREEN DYE IN THE PACKAGE THAT WILL PROVIDE AN

APPROPRIATE COLOR TO FACILITATE VISUAL INSPECTION OF THE UNIFORMLY SPREAD SLURRY II. WCFM, INCLUDING DYE, MUST CONTAIN NO GERMINATION OR GROWTH INHIBITING FACTORS. III. WCFM MATERIALS ARE TO BE MANUFACTURED AND PROCESSED IN SUCH A MANNER THAT THE WOOD CELLULOSE FIBER MULCH WILL REMAIN IN UNIFORM SUSPENSION IN WATER UNDER AGITATION AND WILL BLEND WITH SFFD FFRTIIITFR AND OTHER ADDITIVES TO FORM A HOMOGENEOUS SLURRY. THE MULCH MATERIAL MUST FORM A BLOTTER-LIKE GROUND COVER, ON APPLICATION, HAVING MOISTURE ABSORPTION AND PERCOLATION PROPERTIES AND MUST COVER AND HOLD GRASS SEED IN CONTACT WITH THE SOIL WITHOUT INHIBITING THE GROWTH OF THE GRASS SEEDLINGS. IV. WCFM MATERIAL MUST NOT CONTAIN ELEMENTS OR COMPOUNDS AT CONCENTRATION LEVELS THAT WILL BE V. WCFM MUST CONFORM TO THE FOLLOWING PHYSICAL REQUIREMENTS: FIBER LENGTH OF APPROXIMATELY 10 MILLIMETERS, DIAMETER APPROXIMATELY 1 MILLIMETER, PH RANGE OF 4.0 TO 8.5, ASH CONTENT OF 1.6 PERCENT MAXIMUM AND WATER HOLDING CAPACITY OF 90 PERCENT MINIMUM.

A. APPLY MULCH TO ALL SEEDED AREAS IMMEDIATELY AFTER SEEDING. B. WHEN STRAW MULCH IS USED, SPREAD IT OVER ALL SEEDED AREAS AT THE RATE OF 2 TONS PER ACRE TO A UNIFORM LOOSE DEPTH OF 1 TO 2 INCHES. APPLY MULCH TO ACHIEVE A UNIFORM DISTRIBUTION AND DEPTH SO THAT THE SOIL SURFACE IS NOT EXPOSED. WHEN USING A MULCH ANCHORING TOOL. INCREASE THE APPLICATION RATE TO 2.5 TONS PER ACRE. C. WOOD CELLULOSE FIBER USED AS MULCH MUST BE APPLIED AT A NET DRY WEIGHT OF 1500 POUNDS PER ACRE. MIX THE WOOD CELLULOSE FIBER WITH WATER TO ATTAIN A MIXTURE WITH A MAXIMUM OF 50 POUNDS OF WOOD CELLULOSE FIBER PER 100 GALLONS OF WATER.

A. PERFORM MULCH ANCHORING IMMEDIATELY FOLLOWING APPLICATION OF MULCH TO MINIMIZE LOSS

BY WIND OR WATER. THIS MAY BE DONE BY ONE OF THE FOLLOWING METHODS (LISTED BY PREFERENCE), DEPENDING UPON THE SIZE OF THE AREA AND EROSION HAZARD: I. A MULCH ANCHORING TOOL IS A TRACTOR DRAWN IMPLEMENT DESIGNED TO PUNCH AND ANCHOR MULCH INTO THE SOIL SURFACE A MINIMUM OF 2 INCHES. THIS PRACTICE IS MOST EFFECTIVE ON LARGE AREAS. BUT IS LIMITED TO FLATTER SLOPES WHERE EQUIPMENT CAN OPERATE SAFELY. IF USED ON SLOPING LAND, THIS II. WOOD CELLULOSE FIBER MAY BE USED FOR ANCHORING STRAW. APPLY THE FIBER BINDER AT A NET DRY WEIGHT OF 750 POUNDS PER ACRE. MIX THE WOOD CELLULOSE FIBER WITH WATER AT A MAXIMUM OF 50 POUNDS OF WOOD CELLULOSE FIBER PER 100 GALLONS OF WATER. III SYNTHETIC BINDERS SLICH AS ACRYLIC DLR (AGRO-TACK), DCA-70, PETROSET TERRA TAX II. TERRA TACK AR OR OTHER APPROVED EQUAL MAY BE USED. FOLLOW APPLICATION RATES AS SPECIFIED BY THE MANUFACTURER. APPLICATION OF LIQUID BINDERS NEEDS TO BE HEAVIER AT THE EDGES WHERE WIND CATCHES MULCH, SUCH AS IN VALLEYS AND ON CRESTS OF BANKS. USE OF ASPHALT BINDERS IV. LIGHTWEIGHT PLASTIC NETTING MAY BE STAPLED OVER THE MULCH ACCORDING TO MANUFACTURER

RECOMMENDATIONS. NETTING IS USUALLY AVAILABLE IN ROLLS 4 TO 15 FEET WIDE AND 300 TO 3,000 FEET

STOCKPILE AREA

U.S. DEPARTMENT OF AGRICULTURE
NATURAL RESOURCES CONSERVATION SERVICE

A MOUND OR PILE OF SOIL PROTECTED BY APPROPRIATELY DESIGNED EROSION AND SEDIMENT CONTROL MEASURES.

TO PROVIDE A DESIGNATED LOCATION FOR THE TEMPORARY STORAGE OF SOIL THAT CONTROLS THE POTENTIAL FOR EROSION, SEDIMENTATION, AND CHANGES TO DRAINAGE

DETAIL E-3 SUPER SILT FENCE

CHAIN LINK FENCING -

WOVEN SLIT FILM GEOTEXTILE-

FLOW

SSF---

-36 IN MIN.

- GALVANIZED CHAIN LINK FENCE WITH WOVEN SLIT FILM GEOTEXTILE

ELEVATION

CROSS SECTION

INSTALL 2% INCH DIAMETER GALVANIZED STEEL POSTS OF 0.095 INCH WALL THICKNESS AND SIX FOOT LENGTH SPACED NO FURTHER THAN 10 FEET APART. DRIVE THE POSTS A MINIMUM OF 36 INCHES INTO THE GROUND.

FASTEN 9 GAUGE OR HEAVIER GALVANIZED CHAIN LINK FENCE (2% INCH MAXIMUM OPENING) 42 INCHES IN HEIGHT SECURELY TO THE FENCE POSTS WITH WIRE TIES OR HUG RINGS.

FASTEN WOVEN SLIT FILM GEOTEXTILE AS SPECIFIED IN SECTION H-1 MATERIALS, SECURELY TO THE UPSLOPE SIDE OF CHAIN LINK FENCE WITH TIES SPACED EVERY 24 INCHES AT THE TOP AND MID SECTION. EMBED GEOTEXTILE AND CHAIN LINK FENCE A MINIMUM OF 8 INCHES INTO THE GROUND.

WHERE ENDS OF THE GEOTEXTILE COME TOGETHER, THE ENDS SHALL BE OVERLAPPED BY 6 INCHES, FOLDED, AND STAPLED TO PREVENT SEDIMENT BY PASS.

EXTEND BOTH ENDS OF THE SUPER SILT FENCE A MINIMUM OF FIVE HORIZONTAL FEET UPSLOPE AT 45 DEGREES TO THE MAIN FENCE ALIGNMENT TO PREVENT RUNOFF FROM GOING AROUND THE ENDS OF THE SUPER SILT FENCE.

PROVIDE MANUFACTURER CERTIFICATION TO THE INSPECTION/ENFORCEMENT AUTHORITY SHOWING THAT GEOTEXTILE USED MEETS THE REQUIREMENTS IN SECTION H-1 MATERIALS.

REMOVE ACCUMULATED SEDIMENT AND DEBRIS WHEN BULGES DEVELOP IN FENCE OR WHEN SEDIMENT REACHES 25% OF FENCE HEIGHT. REPLACE GEOTEXTILE IF TORN. IF UNDERMINING OCCURS, REINSTALL CHAIN LINK FENCING AND GEOTEXTILE.

MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL

2011

STOCKPILE AREAS ARE UTILIZED WHEN IT IS NECESSARY TO SALVAGE AND STORE SOIL FOR LATER USE.

THE STOCKPILE LOCATION AND ALL RELATED SEDIMENT CONTROL PRACTICES MUST BE CLEARLY INDICATED ON THE EROSION AND SEDIMENT CONTROL PLAN. THE FOOTPRINT OF THE STOCKPILE MUST BE SIZED TO ACCOMMODATE THE ANTICIPATED VOLUME OF MATERIAL AND BASED ON A SIDE SLOPE RATIO NO STEEPER THAN 2:1. BENCHING MUST BE PROVIDED IN ACCORDANCE WITH SECTION B-3 LAND GRADING. RUNOFF FROM THE STOCKPILE AREA MUST DRAIN TO A SUITABLE SEDIMENT

CONTROL PRACTICE. ACCESS THE STOCKPILE AREA FROM THE UPGRADE SIDE. CLEAR WATER RUNOFF INTO THE STOCKPILE AREA MUST BE MINIMIZED BY USE OF A DIVERSION DEVICE SUCH AS AN EARTH DIKE, TEMPORARY SWALE OR DIVERSION FENCE. PROVISIONS MUST BE MADE FOR DISCHARGING CONCENTRATED FLOW IN A NON-EROSIVE MANNER

WHERE RUNOFF CONCENTRATES ALONG THE TOE OF THE STOCKPILE FILL, AN APPROPRIATE EROSION/SEDIMENT CONTROL PRACTICE MUST BE USED TO INTERCEPT THE DISCHARGE. STOCKPILES MUST BE STABILIZED IN ACCORDANCE WITH THE 3/7 DAY STABILIZATION REQUIREMENT AS WELL AS STANDARD B—4—1 INCREMENTAL STABILIZATION AND STANDARD B-4-4 TEMPORARY STABILIZATION. IF THE STOCKPILE IS LOCATED ON AN IMPERVIOUS SURFACE, A LINER SHOULD

BE PROVIDED BELOW THE STOCKPILE TO FACILITATE CLEANUP. STOCKPILES

CONTAINING CONTAMINATED MATERIAL MUST BE COVERED WITH IMPERMEABLE

MAINTENANCE

THE STOCKPILE AREA MUST CONTINUOUSLY MEET THE REQUIREMENTS FOR ADEQUATE VEGETATIVE ESTABLISHMENT IN ACCORDANCE WITH SECTION R-4 VEGETATIVE STABILIZATION. SIDE SLOPES MUST BE MAINTAINED AT NO STEEPER THAN A 2:1 RATIO. THE STOCKPILE AREA MUST BE KEPT FREE OF EROSION. IF THE VERTICAL HEIGHT OF A STOCKPILE EXCEEDS 20 FEET FOR 2:1 SLOPES, 30 FEET FOR 3:1 SLOPES, OR 40 FEET FOR 4:1 SLOPES, BENCHING MUST BE PROVIDED IN ACCORDANCE WITH SECTION B-3 LAND GRADING.

SEQUENCE OF CONSTRUCTION

24 HOURS BEFORE STARTING ANY WORK. - 1 DAY

WOVEN SLIT FILM GEOTEXTILE

TYPE A

1. OBTAIN GRADING PERMIT. - 1 DAY 2. DEVELOPER / CONTRACTOR SHALL REQUEST A PRE-CONSTRUCTION MEETING WITH THE APPROPRIATE INFORCEMENT AUTHORITY PRIOR TO BEGINNING CONSTRUCTION. $\,-\,$ 1 $\,$ D 3. NOTIFY HOWARD COUNTY BUREAU OF INSPECTIONS AND PERMITS (410-313-1880) AT LEAST

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DETAIL E-9-1 STANDARD INLET PROTECTION

TOP ELEVATION

-16 IN MIN. -NOTCH ELEVATION

- NAILING STRIP

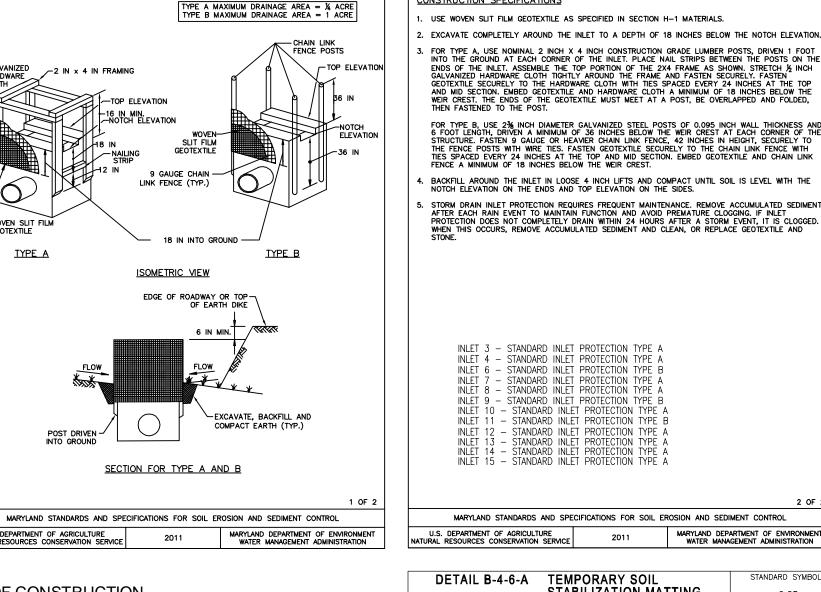
∠2 IN x 4 IN FRAMING

- 4. DRY UTILITIES (CABLE, GAS, ELECTRIC) MUST BE INSTALLED AFTER ROAD CONSTRUCTION AND PRIOR TO INSTALLATION OF THE F-20-024 MICRO-BIORETENTION FACILITIES. 5 STAKEOUT LIMITS OF DISTURBANCE, - 3 DAYS 6. INSTALL STABILIZED CONSTRUCTION ENTRANCE AS SHOWN HEREON. -1 DAY
- 7. INSTALL PERIMETER CONTROLS AT THE LIMIT OF DISTURBANCE, WHERE SHOWN OR AS DIRECTED BY THE SEDIMENT CONTROL INSPECTOR. - 14 DAYS EXISTING GRADES SHOWN HEREON ARE THE PROPOSED GRADES FROM F-20-024.
- CONTRACTOR SHALL UTILIZE THE EXISTING CONTROLS INSTALLED UNDER F-20-024 AS SHOWN HEREON IF SEDIMENT BASIN IS IN PLACE. F-20-024 PROJECT STORMWATER ESD - AS PART OF THE F-20-024 WORK THE MICROBIORETENTION SYSTEMS MAY BE EXCAVATED TO AN ELEVATION AT LEAST 1 FOOT ABOVE ULTIMATE UNDERDRAIN PIPE INVERT ELEVATION ALLOWING THE FEEDING STORM DRAIN SYSTEMS TO FUNCTION, AND PROVIDE POCKETS OF SEDIMENT STORAGE FOR THE ALLOWANCE OF THE PROJECT BASIN BACKFILI OPERATIONS UNDER F-20-024.
- COMPLETION OF A PROJECT STORMWATER ESD MICROBIORETENTION SYSTEMS SHALL OCCUR WHEN ITS CONTRIBUTING DRAINAGE AREA IS STABILIZED - (DAILY) - F-20-024 SEDIMENT BASIN IS TO BE CONVERTED TO SAND FILTER AS PART OF F-20-024 IF SEDIMENT BASIN HAS BEEN CONVERTED, CONTRACTOR SHALL USE ONLOT CONTROLS.
- 8 WITH PERMISSION OF THE SEDIMENT CONTROL INSPECTOR ROUGH GRADE INDIVIDIAL LOT FOR HOUSE CONSTRUCTION. INSTALL TEMPORARY SOIL STABILIZATION MATTING AS SHOWN
- HEREON. 2 WEEKS STOCKPILING SHALL BE LIMITED TO ONLOT OR AS SHOWN HEREON. STOCKPILES SHALL BE STABILIZED AS DETAILED HEREON. — 1 DAY
- 10. CONSTRUCT HOUSES. THE FIRST FLOOR ELEVATIONS CANNOT BE MORE THAN 1' HIGHER OR 0.2' LOWER THAN THE ELEVATIONS SHOWN ON THIS PLAN. - 6 MONTHS UPON COMPLETION OF HOME CONSTRUCTION AND WITH PERMISSION OF THE SEDIMENT CONTROL INSPECTOR, COMPLETE ANY REMAINING FINE GRADING, INSTALL ONLOT STORMWATER MANAGEMENT FACILITIES TO INCLUDE: DRYWELLS. INSTALL ROOF GUTTER DOWNSPOUTS TO DIRECT ROOFTOP
- RUNOFF AS DIRECTED. 1 DAY 2. ADD TOPSOIL PER THE SPECIFICATIONS SHOWN HEREON. - 1 DAY

BY THE PLAN APPROVAL AUTHORITY PRIOR TO PROCEEDING WITH CONSTRUCTION.

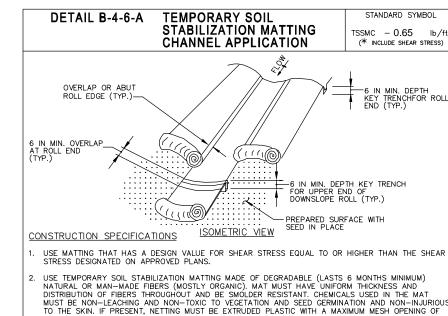
- 13. WITH ALL ONLOT DISTURBANCES COMPLETED, STABILIZE WITH PERMANENT SEEDING MIXTURE AND STRAW MULCH OR EQUAL STABILIZATION. - 1 DAY
- 14. AFTER PERMISSION HAS BEEN GIVEN BY SEDIMENT CONTROL INSPECTOR, REMOVE ANY REMAINING E/S CONTROLS AND STABILIZE THE DISTURBED AREAS FROM AFOREMENTIONED DISTURBANCES WITH PERMENENT SEEDING MIXTURE AND STRAW MULCH. - 1 DAY

NOTE: ANY CHANGES OR REVISIONS TO THE SEQUENCE OF CONSTRUCTION MUST BE REVIEWED AND APPROVED



DETAIL E-9-1 STANDARD INLET PROTECTION

CONSTRUCTION SPECIFICATIONS



STANDARD SYMBOL

SIP

. USE TEMPORARY SOIL STABILIZATION MATTING MADE OF DEGRADABLE (LASTS 6 MONTHS MINIMUM) NATURAL OR MAN—MADE FIBERS (MOSTLY ORGANIC). MAT MUST HAVE UNIFORM THICKNESS AND DISTRIBUTION OF FIBERS THROUGHOUT AND BE SMOLDER RESISTANT. CHEMICALS USED IN THE MAT MUST BE NON—LEACHING AND NON—TOXIC TO VEGETATION AND SEED GERMINATION AND NON—INJURIOU TO THE SKIN. IF PRESENT, NETTING MUST BE EXTRUDED PLASTIC WITH A MAXIMUM MESH OPENING OF 2x2 INCHES AND SUFFICIENTLY BONDED OR SEWN ON 2 INCH CENTERS ALONG LONGITUDINAL AXIS OF THE MATERIAL TO PREVENT SEPARATION OF THE NET FROM THE PARENT MATERIAL.

SECURE MATTING USING STEEL STAPLES, WOOD STAKES, OR BIODEGRADABLE EQUIVALENT. STAPLES MUST BE "U" OR "T" SHAPED STEEL WIRE HAWNG A MINIMUM GAUGE OF NO. 11 AND NO. 8 RESPECTIVELY. "U" SHAPED STAPLES MUST AVERAGE 1 TO 1½ INCHES WIDE AND BE A MINIMUM OF 6 INCHES LONG. "T" SHAPED STAPLES MUST HAVE A MINIMUM 8 INCH MAIN LEG, A MINIMUM 1 INCH SECONDARY LEG, AND A MINIMUM 4 INCH HEAD. WOOD STAKES MUST BE ROUGH—SAWN HARDWOOD, 12 TO 24 INCHES IN LENGTH, 1x3 INCH IN CROSS SECTION, AND WEDGE SHAPED AT THE BOTTOM.

PERFORM FINAL GRADING, TOPSOIL APPLICATION, SEEDBED PREPARATION, AND PERMANENT SEEDING IN ACCORDANCE WITH SPECIFICATIONS. PLACE MATTING WITHIN 48 HOURS OF COMPLETING SEEDING OPERATIONS UNLESS END OF WORKDAY STABILIZATION IS SPECIFIED ON THE APPROVED EROSION AND SEDIMENT CONTROL PLAN. UNROLL MATTING IN DIRECTION OF WATER FLOW, CENTERING THE FIRST ROLL ON THE CHANNEL CENTERLINE. WORK FROM CENTER OF CHANNEL OUTWARD WHEN PLACING ROLLS. LAY MAT SMOOTHLY AND FIRMLY ON THE SEEDED SURFACE. AVOID STRETCHING THE MATTING. 6. KEY—IN UPSTREAM END OF EACH MAT ROLL BY DIGGING A 6 INCH (MINIMUM) TRENCH AT THE UPSTREAM END OF THE MATTING, PLACING THE ROLL END IN THE TRENCH, STAPLING THE MAT IN PLACE, REPLACING THE EXCAVATED MATERIAL, AND TAMPING TO SECURE THE MAT END.

OVERLAP OR ABUT THE ROLL EDGES PER MANUFACTURER RECOMMENDATIONS. OVERLAP ROLL ENDS BY 6 INCHES (MINIMUM), WITH THE UPSTREAM MAT OVERLAPPING ON TOP OF THE NEXT DOWNSTREAM MA STAPLE/STAKE MAT IN A STAGGERED PATTERN ON 4 FOOT (MAXIMUM) CENTERS THROUGHOUT AND 2 FOOT (MAXIMUM) CENTERS ALONG SEAMS, JOINTS, AND ROLL ENDS. ESTABLISH AND MAINTAIN VEGETATION SO THAT REQUIREMENTS FOR ADEQUATE VEGETATIVE ESTABLISHMENT ARE CONTINUOUSLY MET IN ACCORDANCE WITH SECTION B-4 VEGETATIVE STABILIZATION

MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL

DEVELOPER

TRINITY HOMES MARY LAND,



STANDARD SYMBOL DETAIL C-9 DIVERSION FENCE ├── DF ──

TO STABILIZE DISTURBED SOILS WITH VEGETATION FOR UP TO 6 MONTHS.

TO USE FAST GROWING VEGETATION THAT PROVIDES COVER ON DISTURBED SOILS.

CONDITIONS WHERE PRACTICE APPLIES EXPOSED SOILS WHERE GROUND COVER IS NEEDED FOR A PERIOD OF 6 MONTHS OR LESS. FOR LONGER DURATION OF TIME, PERMANENT STABILIZATION PRACTICES ARE REQUIRED.

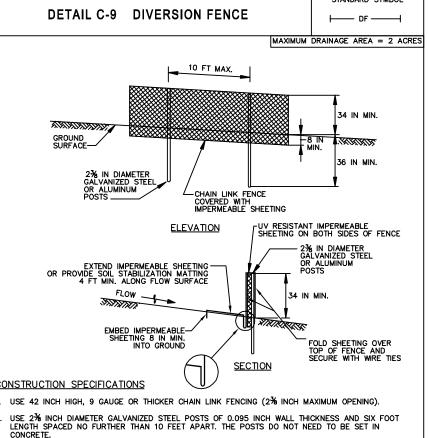
B-4-4 STANDARDS AND SPECIFICATIONS

TEMPORARY STABILIZATION

1. SELECT ONE OR MORE OF THE SPECIES OR SEED MIXTURES LISTED IN TABLE 8.1 FOR THE APPROPRIATE PLANT HARDINESS ZONE (FROM FIGURE B.3), AND ENTER THEM IN THE TEMPORARY SEEDING SUMMARY BELOW ALONG WITH APPLICATION RATES, SEEDING DATES AND SEEDING DEPTHS IF THIS SUMMARY IS NOT PUT ON THE PLAN AND COMPLETED, THEN TABLE 8.1 PLUS FERTILIZER AND LIME RATES MUST BE PUT ON THE PLAN. . FOR SITES HAVING SOIL TESTS PERFORMED, USE AND SHOW THE RECOMMENDED RATES BY THE TESTING AGENCY. SOIL TESTS ARE NOT REQUIRED FOR TEMPORARY 3. WHEN STABILIZATION IS REQUIRED OUTSIDE OF A SEEDING SEASON, APPLY SEED AND MULCH OR STRAW MULCH ALONE AS PRESCRIBED IN SECTION B-4-3.A.1.B AND MAINTAIN UNTIL THE NEXT SEEDING SEASON.

TEMPORARY SEEDING SUMMARY HARDINESS ZONE (FROM FIGURE B.3): ZONE 6b

		E (FROM TABLE B.	FERTILIZER RATE	LIME RATE			
NO	SPECIES	APPLICATION RATE (LB/AC)	SEEDING DATES	SEEDING DEPTHS	(10-20-20)		
1	COOL SEASON ANNUAL RYEGRASS OR EQUAL	40 LB / AC	MAR 1 TO MAY 15 AUG 1 TO OCT 15	1/2 IN.	436 LB/AC (10 LB PER 1000 SF)	2 TONS/AC (90 LB PER 1000 SF)	
2	WARM SEASON FOXTAIL MILLET OR EQUAL	30 LB / AC	MAY 16 TO JUL 31	1/2 IN.			



CONSTRUCTION SPECIFICATIONS . USE 42 INCH HIGH, 9 GAUGE OR THICKER CHAIN LINK FENCING (2% INCH MAXIMUM OPENING). USE 2% INCH DIAMETER GALVANIZED STEEL POSTS OF 0.095 INCH WALL THICKNESS AND SIX FOOT LENGTH SPACED NO FURTHER THAN 10 FEET APART. THE POSTS DO NOT NEED TO BE SET IN CONCRETE.

FASTEN CHAIN LINK FENCE SECURELY TO THE FENCE POSTS WITH WIRE TIES. SECURE 10 MIL OR THICKER UV RESISTANT, IMPERMEABLE SHEETING TO CHAIN LINK FENCE WITH TIES SPACED EVERY 24 INCHES AT TOP, MID SECTION, AND BELOW GROUND SURFACE. EXTEND SHEETING A MINIMUM OF 4 FEET ALONG FLOW SURFACE AND EMBED END A MINIMUM OF 8 INCHES INTO GROUND. SOIL STABILIZATION MATTING MAY BE USED IN LIEU OF IMPERMEABLE SHEETING ALONG FLOW SURFACE.

WHEN TWO SECTIONS OF SHEETING ADJOIN EACH OTHER, OVERLAP BY 6 INCHES AND FOLD WITH SEAM FACING DOWNGRADE. KEEP FLOW SURFACE ALONG DIVERSION FENCE AND POINT OF DISCHARGE FREE OF EROSION. REMOVE ACCUMULATED SEDIMENT AND DEBRIS. MAINTAIN POSITIVE DRAINAGE. REPLACE IMPERMEABLE SHEETING IF TORN. IF UNDERMINING OCCURS, REINSTALL FENCE.

MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL

2011

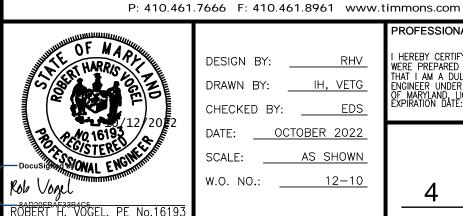
3675 PARK AVE., SUITE 301 3675 PARK AVE., SUITE 301 ELLICOTT CITY, MD 21043 ELLICOTT CITY, MD 21043 (410) 480-0023(410) 480-0023 REVISION SITE DEVELOPMENT PLAN GRADING, SOIL EROSION AND SEDIMENT CONTROL PLAN - NOTES AND DETAILS HAMPTON HILLS

OWNER

HAMPTON HILLS, LLC.

PARCEL: 24 ZONED: R-20 HOWARD COUNTY, MARYLAND TAX MAP: 31 GRID: 9 2ND ELECTION DISTRICT **VOGEL ENGINEERING TIMMONS GROUP**

LOTS 1-14

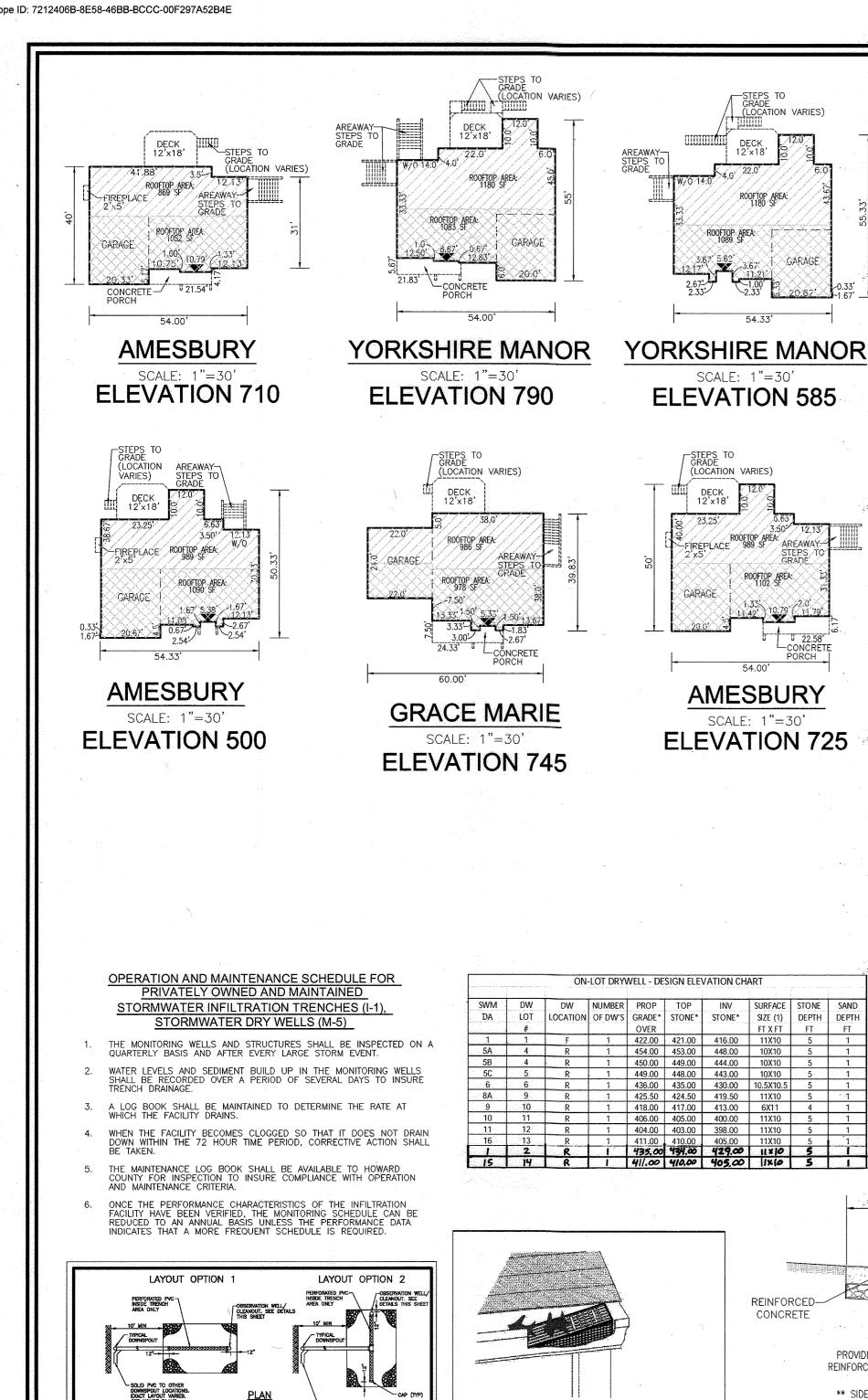


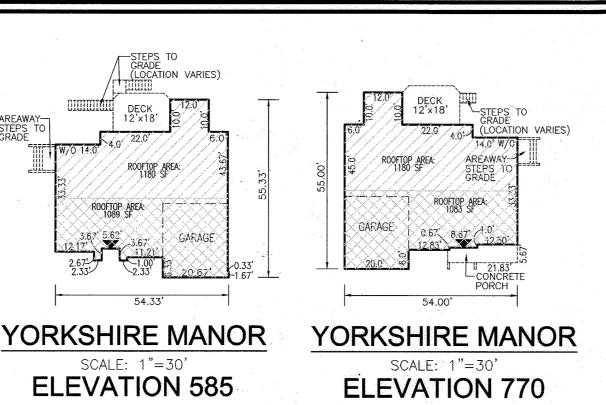
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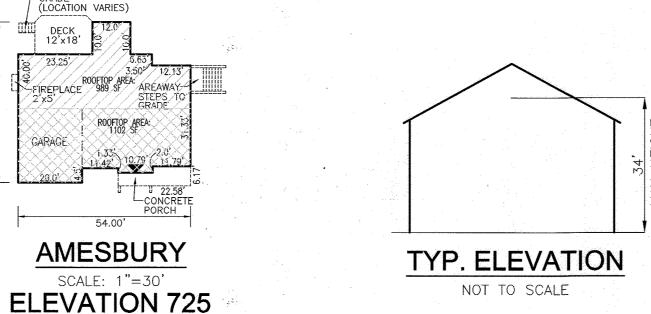
3300 NORTH RIDGE ROAD, SUITE 110, ELLICOTT CITY, MD 21043

PROFESSIONAL CERTIFICATE HEREBY CERTIFY THAT THESE DOCUMENTS NAT I AM A DULY LICENSED PROFESSIONAL IGINEER UNDER THE LAWS OF THE STATE F MARYLAND, LICENSE NO. 16193 (PIRATION DATE: 09-27-2024 SHEET ___ OF ___

SDP-21-010







NOTES:

ADDITIONAL HOUSE TYPES AND OPTIONS MAY FIT ON ANY GIVEN LOT.

SETBACK OR A REQUIRED DISTANCE BETWEEN BUILDINGS.

MODEL ELEVATION SHALL NOT EXCEED 34' MAX HEIGHT AS ALLOWED BY R-20 ZONE. IN ACCORDANCE WITH SECTION 128.0.A OF THE HOWARD COUNTY ZONING REGULATIONS:

RESTRICTION LINES IS RECOMMENDED

THE STAKING OF FOUNDATIONS PRIOR TO CONSTRUCTION TO ENSURE COMPLIANCE WITH REGULATORY BUILDING

MAX ENCROACHMENT INTO SETBACK FOR CORNICES, EAVES AND CANTILEVERED BUILDING FEATURES WHICH DO NOT

EXCLUDING THOSE ATTACHED TO A PORCH OR DECK (SEE E) IS: 10 FEET INTO A FRONT SETBACK OR A SETBACK

FROM A PROJECT BOUNDARY OR DIFFERENT ZONING DISTRICT; 16 FEET INTO A REAR SETBACK: 4 FEET INTO A SIDE

MAX ENCROACHMENT INTO SETBACK FOR OPEN OR ENCLOSED PORCHES AND DECKS. AND THE STAIRWAYS OR RAMPS

ATTACHED THERETO IS: 10 FEET INTO A FRONT OR REAR SETBACK, A SETBACK FROM A PROJECT BOUNDARY, A

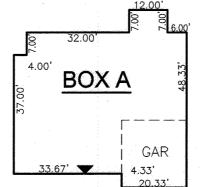
A MINIMUM OF 10 FEET SHALL BE PROVIDED BETWEEN THE CHOSEN HOME MODEL AND AN ON-LOT DRYWELL.

MAX ENCROACHMENT INTO SETBACK FOR BAY WINDOWS, WINDOW WELLS, ORIELS, VESTIBULES, BALCONIES AND CHIMNEYS IS: 4 FEET INTO ANY SETBACK OR A REQUIRED DISTANCE BETWEEN BUILDINGS, PROVIDED THE FEATURE HAS A MAXIMUM WIDTH OF 16 FEET AS MEASURED HORIZONTALLY ALONG THE WALL FROM WHICH THE FEATURE

CONTAIN ANY FLOOR AREA OR EXTENSION OF INTERIOR LIVING SPACE IS: 3 FEET INTO ANY SETBACK

D. MAX ENCROACHMENT INTO SETBACK FOR EXTERIOR STAIRWAYS OR RAMPS, ABOVE OR BELOW GROUND LEVEL

SETBACK FROM A DIFFERENT ZONING DISTRICT, OR A REQUIRED DISTANCE BETWEEN BUILDINGS.



FITS:

YORKSHIRE MANOR ELEVATION 790 MIN FOOTPRINT 54.00' X 55.00' HEMLOCK

ELEVATION TRM MIN FOOTPRINT 50.00' X 48.33' ELEVATION ACL MIN FOOTPRINT 50.00' X 46.00' ELEVATION TRL MIN FOOTPRINT 50.00' X 46.00'

MULBERRY ELEVATION ACL MIN FOOTPRINT 50.00' X 46.00' ELEVATION TRM MIN FOOTPRINT 50.00' X 46.33' ELEVATION TRL MIN FOOTPRINT 50.00' X 46.00'

WILLOW ELEVATION ACL MIN FOOTPRINT 50.00' X 46.00' ELEVATION TRM MIN FOOTPRINT 50.00' X 46.33' ELEVATION TRL MIN FOOTPRINT 50.00' X 46.00' SYCAMORE ELEVATION TRM MIN FOOTPRINT 40.00' X 40.33'

ELEVATION TRL MIN FOOTPRINT 40.00' X 40.00' ELEVATION ACL MIN FOOTPRINT 40.00' X 40.00' **BOX B**

FITS:

YORKSHIRE MANOR

MIN FOOTPRINT 54.33' X 55.33'

MIN FOOTPRINT 50.00' X 48.33'

MIN FOOTPRINT 50.00' X 46.00'

MIN FOOTPRINT 50.00' X 46.00'

MIN FOOTPRINT 50.00' X 46.00'

MIN FOOTPRINT 50.00' X 46.33'

MIN FOOTPRINT 50.00' X 46.00'

MIN FOOTPRINT 50.00' X 46.00'

MIN FOOTPRINT 50.00' X 46.33'

MIN FOOTPRINT 50.00' X 46.00'

MIN FOOTPRINT 40.00' X 40.33'

MIN FOOTPRINT 40.00' X 40.00'

MIN FOOTPRINT 40.00' X 40.00'

ELEVATION ACL

W/ SIDING & STONE VENEER

DECK 10'x14'

CONCRETE PORCH

DECK 10'x14'

ROOFTOP AREA:

ELEVATION 585

ELEVATION TRM

ELEVATION ACL

ELEVATION TRL

ELEVATION ACL

ELEVATION TRM

ELEVATION TRL

ELEVATION ACL

ELEVATION TRM

ELEVATION TRL

ELEVATION TRM

ELEVATION TRL

ELEVATION ACL

SYCAMORE

WILLOW

MULBERRY

HEMLOCK

FITS:

YORKSHIRE MANOR (REVERSE) ELEVATION 770 MIN FOOTPRINT 54.00' X 55.00'

BOX C

HEMLOCK ELEVATION TRM MIN FOOTPRINT 50.00' X 48.33' ELEVATION ACL MIN FOOTPRINT 50.00' X 46.00' ELEVATION TRL MIN FOOTPRINT 50.00' X 46.00' MULBERRY

ELEVATION ACL MIN FOOTPRINT 50.00' X 46.00' ELEVATION TRM MIN FOOTPRINT 50.00' X 46.33' ELEVATION TRL MIN FOOTPRINT 50.00' X 46.00'

WILLOW ELEVATION ACL MIN FOOTPRINT 50.00' X 46.00' ELEVATION TRM MIN FOOTPRINT 50.00' X 46.33' ELEVATION TRL MIN FOOTPRINT 50.00' X 46.00'

SYCAMORE ELEVATION TRM MIN FOOTPRINT 40.00' X 40.33' ELEVATION TRL MIN FOOTPRINT 40.00' X 40.00' ELEVATION ACL MIN FOOTPRINT 40.00' X 40.00'

LEVATION TRM

W/ SIDING AND BRICK VENEER

40.33 W/ BRICK LEDGE

DECK 10'x14'

CONCRETE

ELEVATION ACL

—CONCRETE PORCH

DECK 10'x14'

MIN FOOTPRINT 40.00' X 40.00' **ELEVATION TRM** MIN FOOTPRINT 40.00' X 48.33' **ELEVATION TRL**

2.00'

BOX D

AMESBURY (REVERSE)

MIN FOOTPRINT 54.33' X 50.33'

MIN FOOTPRINT 50.00' X 48.33'

MIN FOOTPRINT 50:00' X 46.00'

MIN FOOTPRINT 50.00' X 46.00'

MIN FOOTPRINT 50.00' X 46.00'

MIN FOOTPRINT 50.00' X 46.33'

MIN FOOTPRINT 50.00' X 46.00'

MIN FOOTPRINT 50.00' X 46.00'

MIN FOOTPRINT 50.00' X 46.33'

MIN FOOTPRINT 50.00' X 46.00'

MIN FOOTPRINT 40.00' X 40.33'

MIN FOOTPRINT 40.00' X 40.00'

ELEVATION 500

ELEVATION TRM

ELEVATION ACL

ELEVATION TRL

ELEVATION ACL

ELEVATION TRM

ELEVATION TRL

ELEVATION ACL

ELEVATION TRM

ELEVATION TRL

ELEVATION TRM

ELEVATION TRL

ELEVATION ACL

SYCAMORE

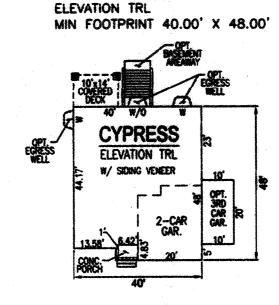
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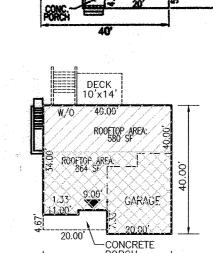
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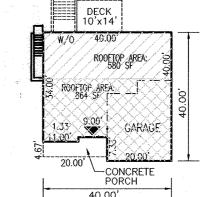
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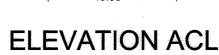
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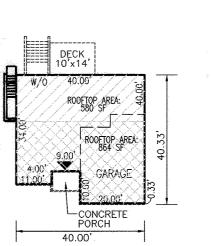
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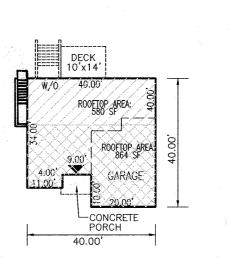






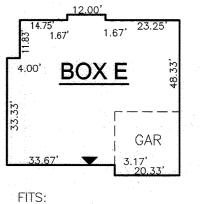


ELEVATION TRM



ELEVATION TRL

SYCAMORE



AMESBURY (REVERSE)

ELEVATION 725

ELEVATION TRM

ELEVATION ACL

ELEVATION TRL

HEMLOCK

FITS:

AMESBURY (REVERSE) ELEVATION 710 MIN FOOTPRINT 54.00' X 40.00' SYCAMORE ELEVATION TRM

BOX F

MIN FOOTPRINT 40.00' X 40.33' ELEVATION TRL MIN FOOTPRINT 40.00' X 40.00' ELEVATION ACL MIN FOOTPRINT 40.00' X 40.00'

MULBERRY ELEVATION ACL MIN FOOTPRINT 50.00' X 46.00'

MIN FOOTPRINT 54.00' X 50.00'

MIN FOOTPRINT 50.00' X 48.33'

MIN FOOTPRINT 50.00' X 46.00'

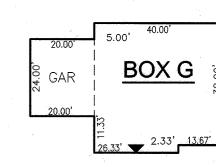
MIN FOOTPRINT 50.00' X 46.00'

ELEVATION TRM MIN FOOTPRINT 50.00' X 46.33' ELEVATION TRL MIN FOOTPRINT 50.00' X 46.00' WILLOW

ELEVATION ACL MIN FOOTPRINT 50.00' X 46.00' ELEVATION TRM MIN FOOTPRINT 50.00' X 46.33' ELEVATION TRL MIN FOOTPRINT 50.00' X 46.00'

SYCAMORE **ELEVATION TRM** MIN FOOTPRINT 40.00' X 40.33' ELEVATION TRL MIN FOOTPRINT 40.00' X 40.00' ELEVATION ACL MIN FOOTPRINT 40.00' X 40.00'

ELEVATION TRM MIN FOOTPRINT 40.00' X 48.33' ELEVATION TRL MIN FOOTPRINT 40.00' X 48.00' **ELEVATION ACL** MIN FOOTPRINT 40.00' X 48.00'



FITS: GRACE MARIE ELEVATION 745 MIN FOOTPRINT 60.00' X 39.83'

SYCAMORE (REVERSE) ELEVATION TRM MIN FOOTPRINT 40.00' X 40.33' ELEVATION TRL MIN FOOTPRINT 40.00' X 40.00' ELEVATION ACL MIN FOOTPRINT 40.00' X 40.00'

"R" REVERSE HOUSE BOX

LEGEND

(410) 480-0023

REAR ROOFTOP AREA

FRONT ROOFTOP AREA **OWNER**

DEVELOPER HAMPTON HILLS, LLC. 3675 PARK AVE., SUITE 301 TRINITY HOMES MARY LAND. 3675 PARK AVE., SUITE 301 ELLICOTT CITY, MD 21043 ELLICOTT CITY, MD 21043

REVISE HOUSE TYPE AND GRAMMS ON LOT 4 AND FLOOR ELEVATIONS ON LOTS 1-7 AND 10-14 1-25-24 REVISE HOUSE TYPE AND GRADING ON LOT 8, ADD OPTIONAL AREAWAY TO SYCAMORE HOUSE MODEL AND REVISE DRYWELL DESIGN ELEVATION CHART

SITE DEVELOPMENT PLAN HOUSE TYPES, STORMWATER MANAGEMENT AND SITE DETAILS

HAMPTON HILLS LOTS 1-14

VOGEL ENGINEERING

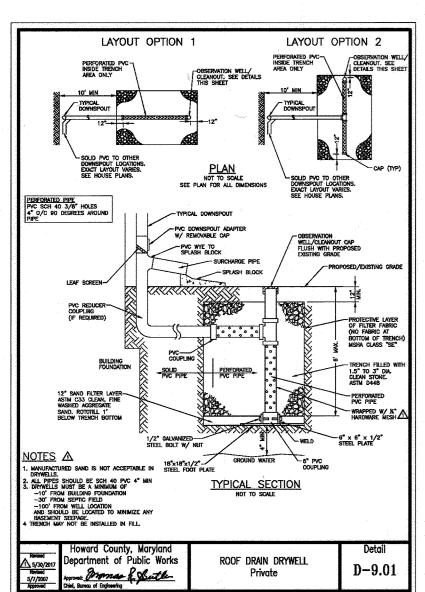
TIMMONS GROUP 3300 NORTH RIDGE ROAD, SUITE 110, ELLICOTT CITY, MD 21043 P: 410.461.7666 F: 410.461.8961 www.timmons.com

DESIGN BY: DRAWN BY: CHECKED BY:

IH, VETG OCTOBER 2022 AS SHOWN

HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL SINGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 16193 EXPIRATION DATE: 09-27-2024 SHEET OF _

(410) 480-0023



APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

(Hal) Edmondson

CHIEF, DEVELOPMENTS ENGINEERING DIVISION

CHIEF, DIVISION OF LAND DEVELOPMENT

DIRECTOR

Any Glonan

10/18/2022

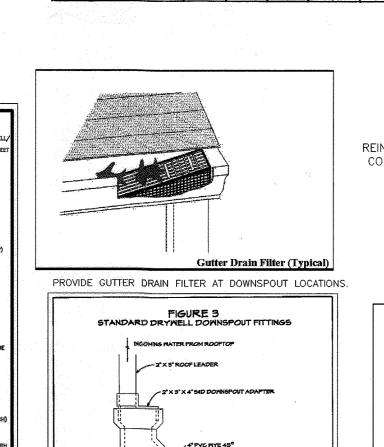
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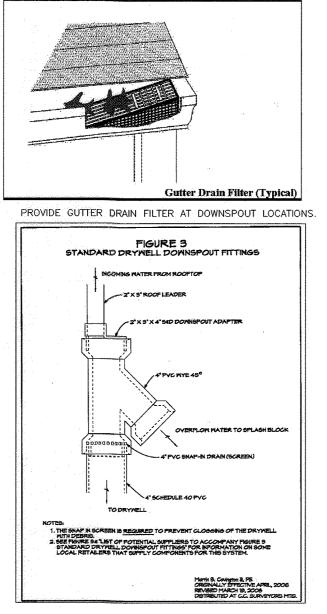
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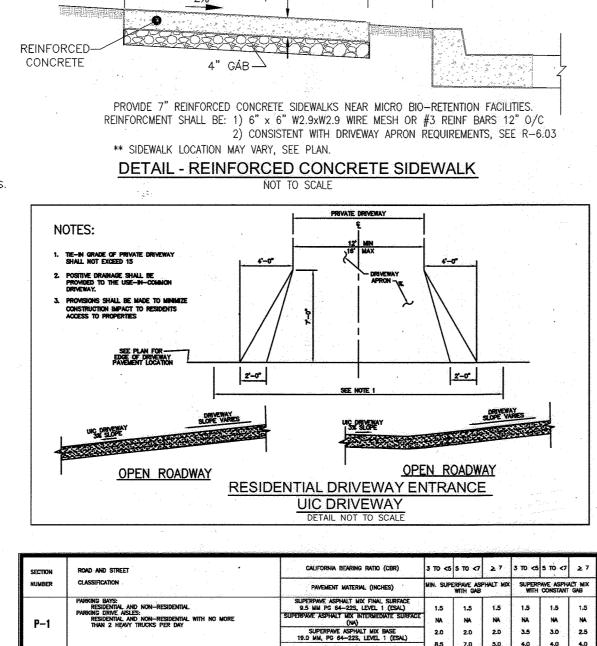
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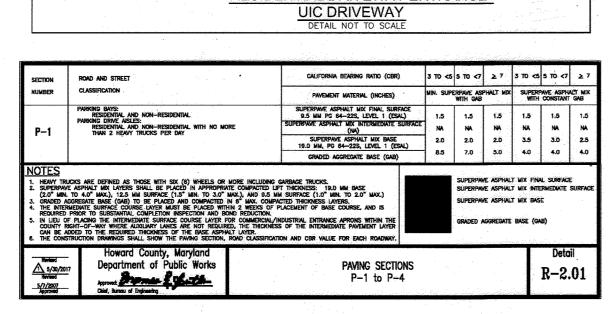
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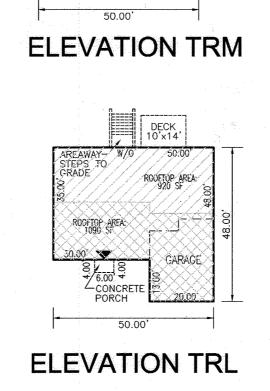






5'-0"





HEMLOCK

SCALE: 1"=30'

DECK 10'x14'

ROOFTOP AREA

GARAGI

ROOFTOP AREA: 1090 SF

CONCRETE PORCH

ELEVATION ACL

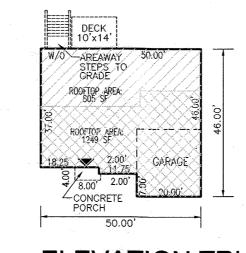
DECK 10'x14'

ROOFTOP AREA:

ROOFTOP AREA:

.5 18.67

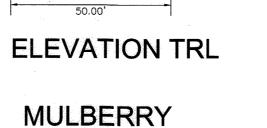
-CONCRETE PORCH



ELEVATION TRN



SCALE: 1"=30'







CONCRETE PORCH

SCALE: 1"=30'

