

GENERAL NOTES

- 1. THE CONTRACTOR SHALL NOTIFY THE DEPARTMENT OF PUBLIC WORKS/BUREAU OF ENGINEERING/CONSTRUCTION INSPECTION DIVISION AT (410) 313-1880 AT LEAST FIVE (5) WORKING DAYS PRIOR TO START OF WORK.
2. THE PROJECT IS IN CONFORMANCE WITH THE LATEST HOWARD COUNTY STANDARDS UNLESS OTHERWISE NOTED.
3. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF HOWARD COUNTY PLUMBING STANDARDS AND SPECIFICATIONS IF APPLICABLE.
4. THE CONTRACTOR IS TO NOTIFY THE FOLLOWING UTILITIES OR AGENCIES AT LEAST FIVE DAYS BEFORE STARTING...

NOTES:

- 1. ALL WATER CONNECTIONS SHALL BE 1-1/2" WITH 1" OUTSIDE METER SETTINGS, UNLESS OTHERWISE NOTED. REFER TO HOWARD COUNTY DETAILS W-3.28 OUTSIDE METER SETTINGS.

SITE DEVELOPMENT PLAN

FERRON PROPERTY

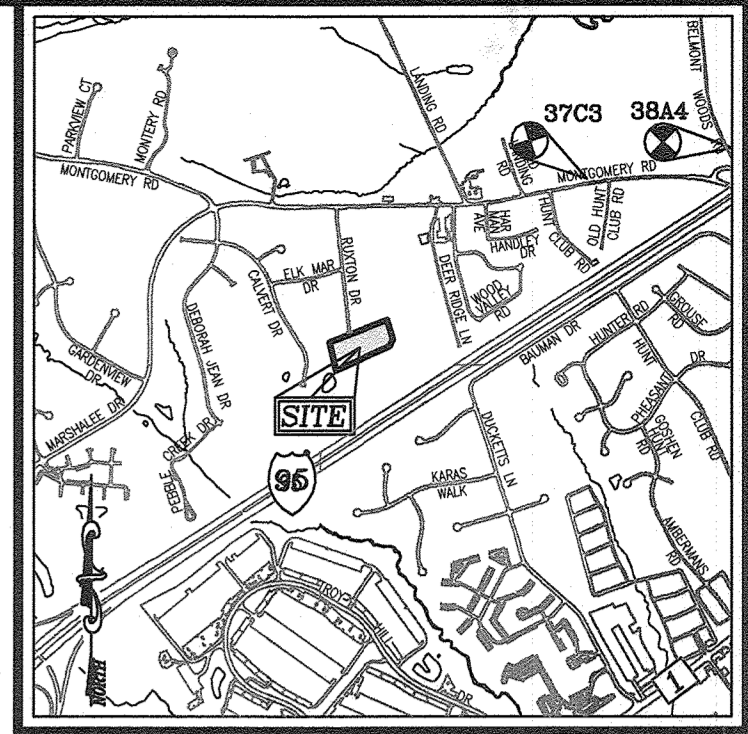
LOTS 5 - 7
HOWARD COUNTY, MD

COORDINATE TABLE
NO. NORTH EAST
1745 560945.3447 1382163.2286
1746 561194.1981 1382729.2956

MINIMUM LOT SIZE CHART
LOT GROSS AREA PIPESTEM AREA NET AREA MIN LOT SIZE
5 25,170 SF 2,159 SF 23,011 SF 20,000 SF
6 26,532 SF 2,204 SF 24,328 SF 20,000 SF

BENCHMARKS

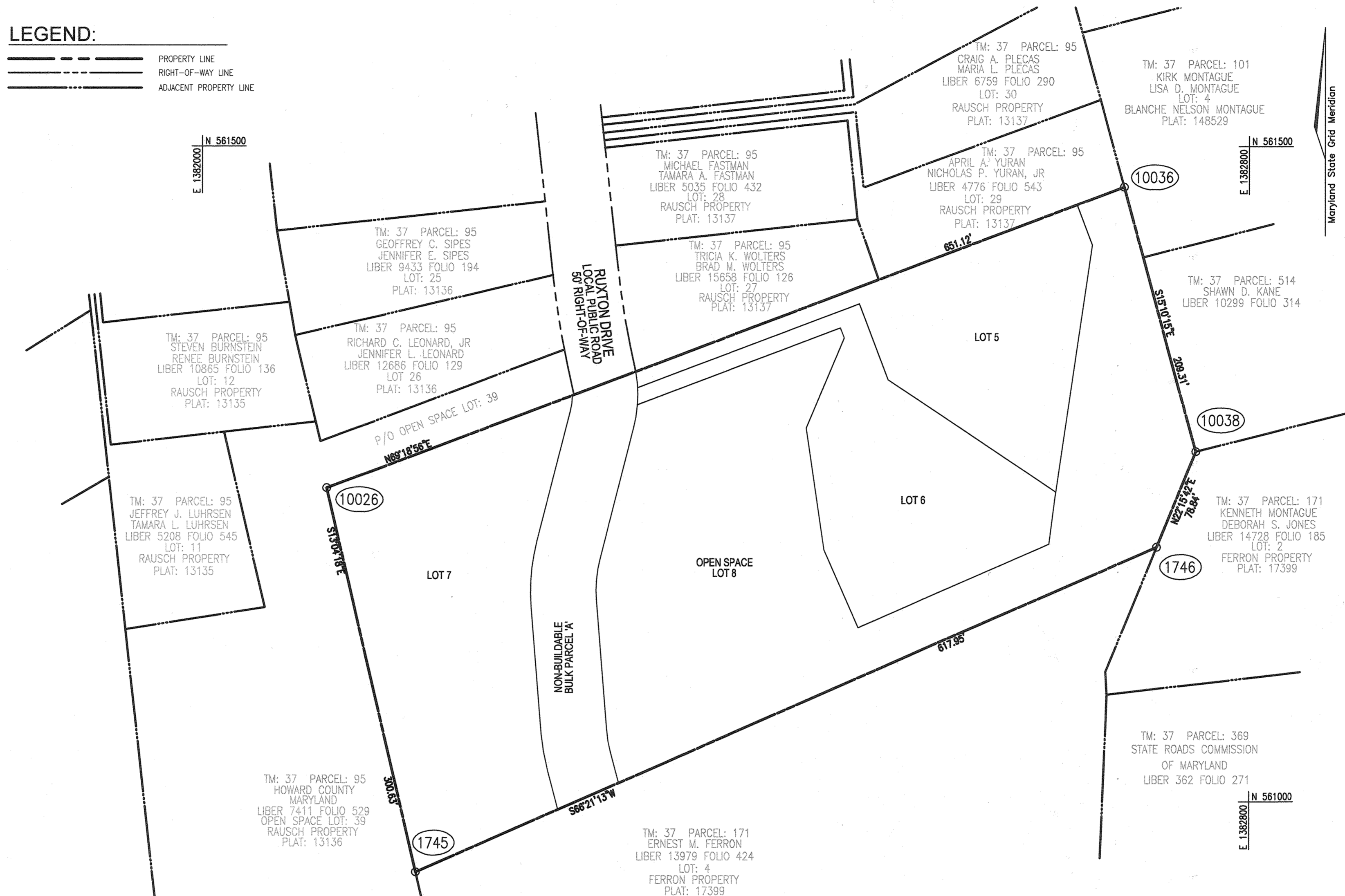
- HOWARD COUNTY BENCHMARK 37C3
N 562916.003 E 1384856.679 ELEV: 258.497'
HOWARD COUNTY BENCHMARK 38A4
N 562977.621 E 1386288.112 ELEV: 224.176'



VICINITY MAP
SCALE: 1"=2000'
ADC MAP COORDINATE: 35/B2

LEGEND:

- PROPERTY LINE
RIGHT-OF-WAY LINE
ADJACENT PROPERTY LINE



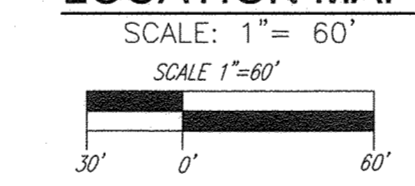
SHEET INDEX
DESCRIPTION SHEET NO.
COVER SHEET 1 OF 8
SITE LAYOUT PLAN & HOUSE DETAILS 2 OF 8
GRADING, SOIL EROSION AND SEDIMENT CONTROL PLAN 3 OF 8

MIHU AGREEMENT
PLEASE NOTE THAT ALL NEW LOTS/RESIDENTIAL UNITS IN THIS SUBDIVISION (LOTS 5-7) ARE SUBJECT TO THE MIHU FEE-IN-LIEU REQUIREMENT THAT IS TO BE CALCULATED AND PAID TO THE DEPARTMENT OF INSPECTIONS, LICENSES AND PERMITS AT THE TIME OF BUILDING PERMIT ISSUANCE BY THE PERMIT APPLICANT.

Moderate Income Housing Units (MIHU) Allocation Exemptions Tracking
TOTAL NUMBER OF LOTS/UNITS PROPOSED 3
NUMBER OF MIHU REQUIRED 10% OF 1 UNIT
NUMBER OF MIHU PROVIDED ONSITE (EXEMPT FROM AFFO ALLOCATIONS) 0

OWNERS
LOT 5: JANICE MONTAGUE, KOREY JACKSON
LOT 6: KARL FERRON, MEGAN FERRON
LOT 7: MEGAN FERRON, KOREY JACKSON

LOCATION MAP



SITE ANALYSIS DATA CHART

Table with 2 columns: Item and Description. Includes items for Total Project Area (4.20 AC), Area of Plan Subdivision (2.15 AC), and Number of Units Allowed (3).

PARKING TABULATION:

Table showing parking requirements: Total Parking Required: 8 (3 x 2.5), Off-street parking spaces required: 6 (2 spaces per unit), Visitor/guest parking spaces required: 2 (0.5 spaces per unit).

STORMWATER MANAGEMENT PRACTICE CHART

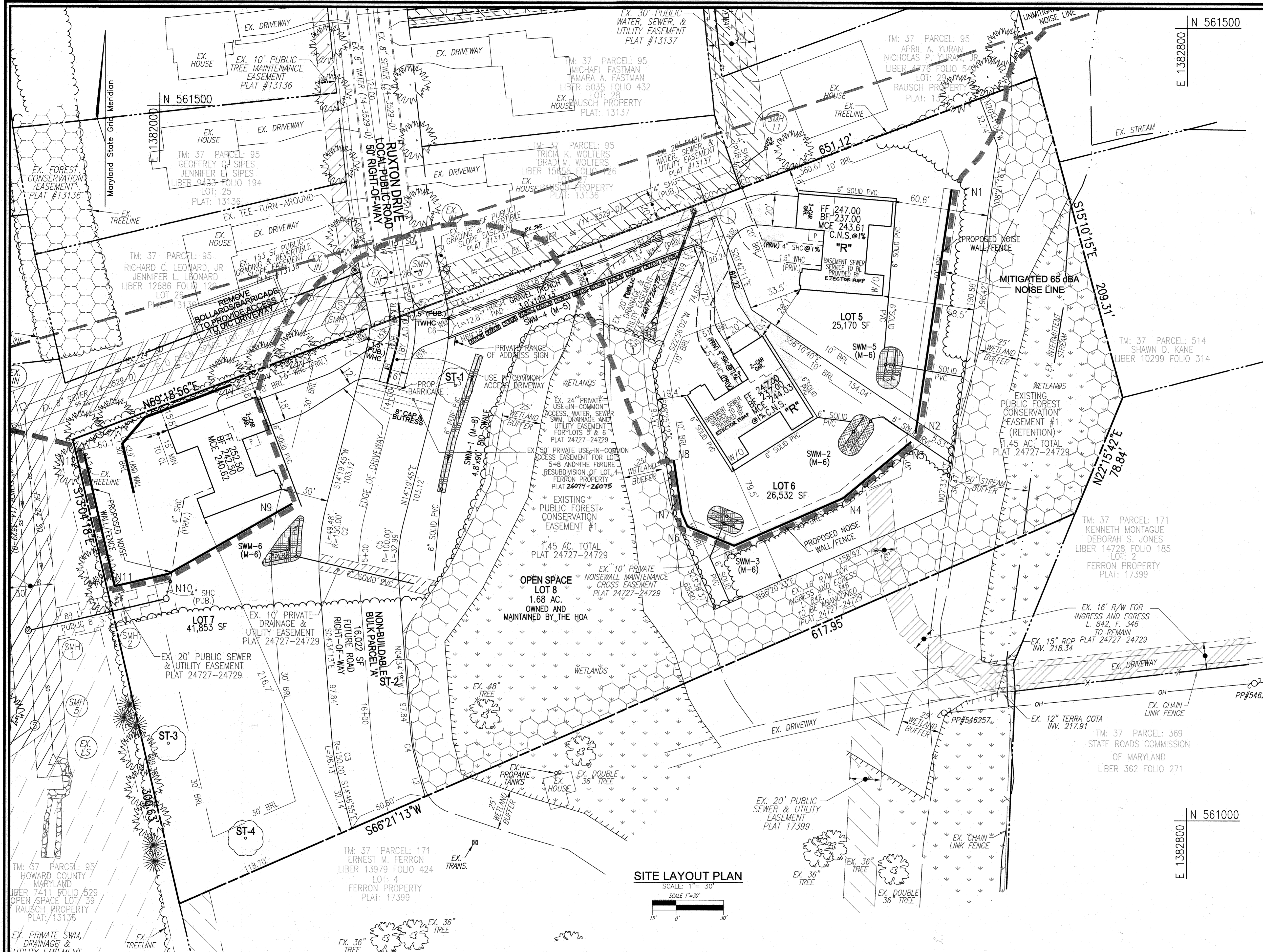
Table with 3 columns: Lot #, Street Address, and ESD Practice. Lists practices like Micro Bio-Retention and Micro Bio-Retention with Swales for Lots 5, 6, and 7.

PERMIT INFORMATION CHART

Table with 4 columns: Subdivision Name, Section/Area, Lots/Parcel #, and Tax Map. Lists Ferron Property, Section N/A, Lots 5-7/171, and Tax Map 2674-2675.

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
[Signature]
CHIEF, DEVELOPMENT ENGINEERING DIVISION
[Signature]
CHIEF, DIVISION OF LAND DEVELOPMENT
[Signature]
DIRECTOR

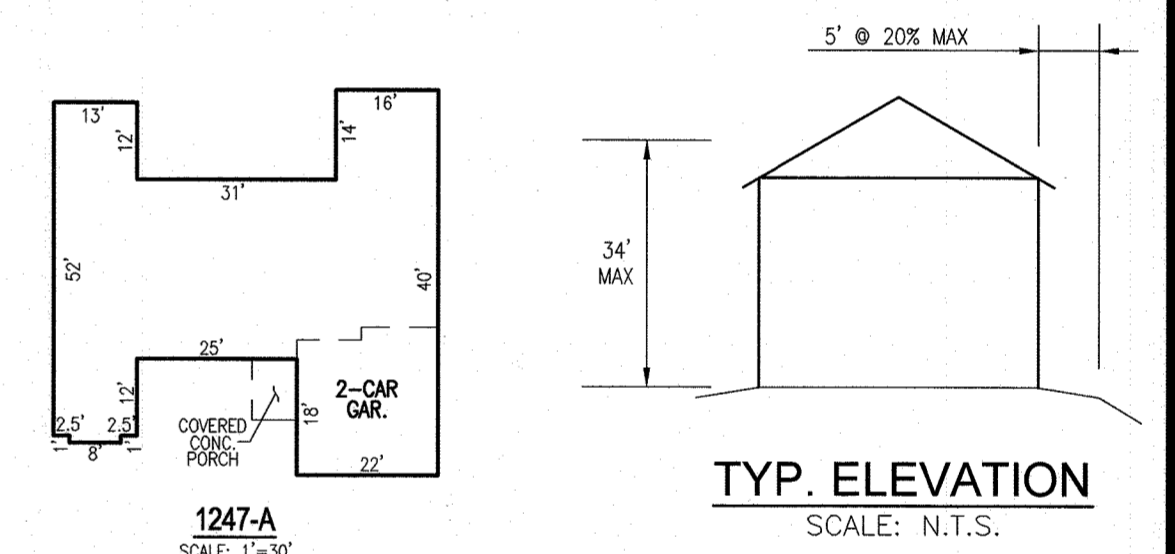
Professional seal for Robert H. Vogel, PE No. 16193, and company information for Vogel Engineering and Timmons Group, including address and contact details.



LEGEND:

	PROPERTY LINE		EX. PRIVATE USE-IN-COMMON DRIVEWAY EASEMENT
	RIGHT-OF-WAY LINE		EX. PUBLIC GRADING & REVERSIBLE SLOPE EASEMENT
	ADJACENT PROPERTY LINE		EX. PRIVATE SWM DRAINAGE & UTILITY EASEMENT
	EXISTING CURB AND GUTTER		EX. PUBLIC TREE MAINTENANCE EASEMENT
	EXISTING EDGE OF PAVING		EX. PUBLIC SEWER & UTILITY EASEMENT
	EXISTING WETLANDS		EX. 16' R/W FOR INGRESS AND EGRESS L. 842, F. 346
	EXISTING WETLAND BUFFER		EX. PRIVATE USE-IN-COMMON ACCESS EASEMENT FOR LOTS 5 & 6
	EXISTING STREAM		EX. PRIVATE USE-IN-COMMON ACCESS EASEMENT FOR LOTS 5-7, OPEN SPACE LOT 8 AND THE FUTURE RESUBDIVISION OF NON-BUILDABLE BULK PARCEL 'B' AND LOT 4 FERRON PROPERTY
	EXISTING STREAM POLE		EX. PUBLIC SEWER & UTILITY EASEMENT
	EXISTING LIGHT POLE		EX. PRIVATE DRAINAGE & UTILITY EASEMENT
	EXISTING SANITARY MANHOLE		EX. PUBLIC FOREST CONSERVATION EASEMENT
	EXISTING SANITARY LINE		EX. PRIVATE SEWER & UTILITY EASEMENT
	EXISTING WATER LINE		EX. PRIVATE DRAINAGE & UTILITY EASEMENT
	EXISTING TREES		EX. PUBLIC FOREST CONSERVATION EASEMENT
	SPECIMEN TREES		EX. PRIVATE SEWER & UTILITY EASEMENT
	EXISTING METAL FENCE		EX. PRIVATE DRAINAGE & UTILITY EASEMENT
	PROPOSED TREE		EX. PUBLIC FOREST CONSERVATION EASEMENT
	EX. PUBLIC WATER SEWER STORM DRAIN & UTILITY EASEMENT		PRIVATE SEWER PUMP & 1-1/4\"/>
	EX. FOREST CONSERVATION EASEMENT		
	EX. PUBLIC WATER SEWER & UTILITY EASEMENT		

- HOUSE TYPE NOTES:**
- ADDITIONAL HOUSE TYPES AND OPTIONS MAY FIT ON ANY GIVEN LOT.
 - THE STAKING OF FOUNDATIONS PRIOR TO CONSTRUCTION TO ENSURE COMPLIANCE WITH REGULATORY BUILDING RESTRICTIONS IS RECOMMENDED.
 - A MINIMUM OF 10 FEET SHALL BE PROVIDED BETWEEN THE CHOSEN HOME MODEL AND A MICRO-BIORETENTION / RAIN GARDEN FACILITY.
 - MODEL ELEVATION SHALL NOT EXCEED 34' MAX HEIGHT AS ALLOWED BY R-20 ZONE.
 - IN ACCORDANCE WITH SECTION 12B.0.A OF THE HOWARD COUNTY ZONING REGULATIONS:
 - MAX ENCROACHMENT INTO SETBACK FOR CORNICES, EAVES AND CANTILEVERED BUILDING FEATURES WHICH DO NOT CONTAIN ANY FLOOR AREA OR EXTENSION OF INTERIOR LIVING SPACE IS: 3 FEET INTO ANY SETBACK.
 - MAX ENCROACHMENT INTO SETBACK FOR BAY WINDOWS, WINDOW WELLS, DORELS, VESTIBULES, BALCONIES AND CHIMNEYS IS: 4 FEET INTO ANY SETBACK OR A REQUIRED DISTANCE BETWEEN BUILDINGS, PROVIDED THE FEATURE HAS A MAXIMUM WIDTH OF 18 FEET AS MEASURED HORIZONTALLY ALONG THE WALL FROM WHICH THE FEATURE EXTENDS.
 - MAX ENCROACHMENT INTO SETBACK FOR EXTERIOR STAIRWAYS OR RAMPS, ABOVE OR BELOW GROUND LEVEL, EXCLUDING THOSE ATTACHED TO A PORCH OR DECK (SEE E) IS: 10 FEET INTO A FRONT SETBACK OR A SETBACK FROM A PROJECT BOUNDARY OR DIFFERENT ZONING DISTRICT; 16 FEET INTO A REAR SETBACK; 4 FEET INTO A SIDE SETBACK OR A REQUIRED DISTANCE BETWEEN BUILDINGS.
 - MAX ENCROACHMENT INTO SETBACK FOR OPEN OR ENCLOSED PORCHES AND DECKS, AND THE STAIRWAYS OR RAMPS ATTACHED THERETO IS: 10 FEET INTO A FRONT OR REAR SETBACK, A SETBACK FROM A PROJECT BOUNDARY, A SETBACK FROM A DIFFERENT ZONING DISTRICT, OR A REQUIRED DISTANCE BETWEEN BUILDINGS.



OWNERS
 LOT 6: KARL FERRON, MEGAN FERRON, 1019 W LEXINGTON ST BALTIMORE, MD 21223
 LOT 7: JANICE MONTAGUE, KOREY JACKSON, 7004 BARNETT LANE, UNIT 321 ELK RIDGE, MARYLAND 21175

DEVELOPER
 JANICE MONTAGUE, UNIT 321 7004 BARNETT LANE, UNIT 321 ELK RIDGE, MARYLAND 21175

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
 CHIEF, DEVELOPMENT ENGINEERING DIVISION
 CHIEF, DIVISION OF LAND DEVELOPMENT
 DIRECTOR

DATE: 11/15/21
 DATE: 5/26/22
 DATE: 5/26/22

CURVE TABLE

CURVE	RADIUS	LENGTH	DELTA	TAN	CHORD
C-1	50.00'	12.24'	14°01'26"	6.15'	S07°19'02"W 12.21'
C-2	150.00'	49.48'	18°53'58"	24.97'	S04°52'46"W 49.25'
C-3	150.00'	26.33'	10°24'22"	13.40'	S08°40'34"E 26.30'
C-4	100.00'	17.82'	10°12'42"	8.93'	N09°40'34"W 17.80'
C-5	100.00'	32.99'	18°53'58"	16.64'	N04°52'46"E 32.84'
C-6	100.00'	43.10'	24°41'46"	21.89'	N01°58'52"E 42.77'

LINE TABLE

LINE	COURSE
L1	S14°19'45"W 29.03'
L2	N14°48'55"W 24.34'
L3	N14°19'45"E 29.03'
L4	S20°42'11"E 8.52'

SITE LAYOUT PLAN
 SCALE: 1" = 30'
 SCALE: 1" = 30'

NOTE:

- TYPICAL DRIVEWAY WIDTH SHOWN HEREON IS 16 FEET WIDE FOR THE PROPOSED 2 CAR PARKING. WIDTH SUBJECT TO CHANGE WITH BUILDER RESIE.
- INDIVIDUAL HOUSE SITES SHALL PROVIDE PRIVATE DRIVEWAYS A MINIMUM 18 FOOT DEPTH FROM THE FACE OF GARAGE TO THE EDGE OF THE USE-IN-COMMON DRIVEWAY.

SITE DEVELOPMENT PLAN
 SITE LAYOUT PLAN & HOUSE DETAILS
 FERRON PROPERTY
 LOTS 5-7

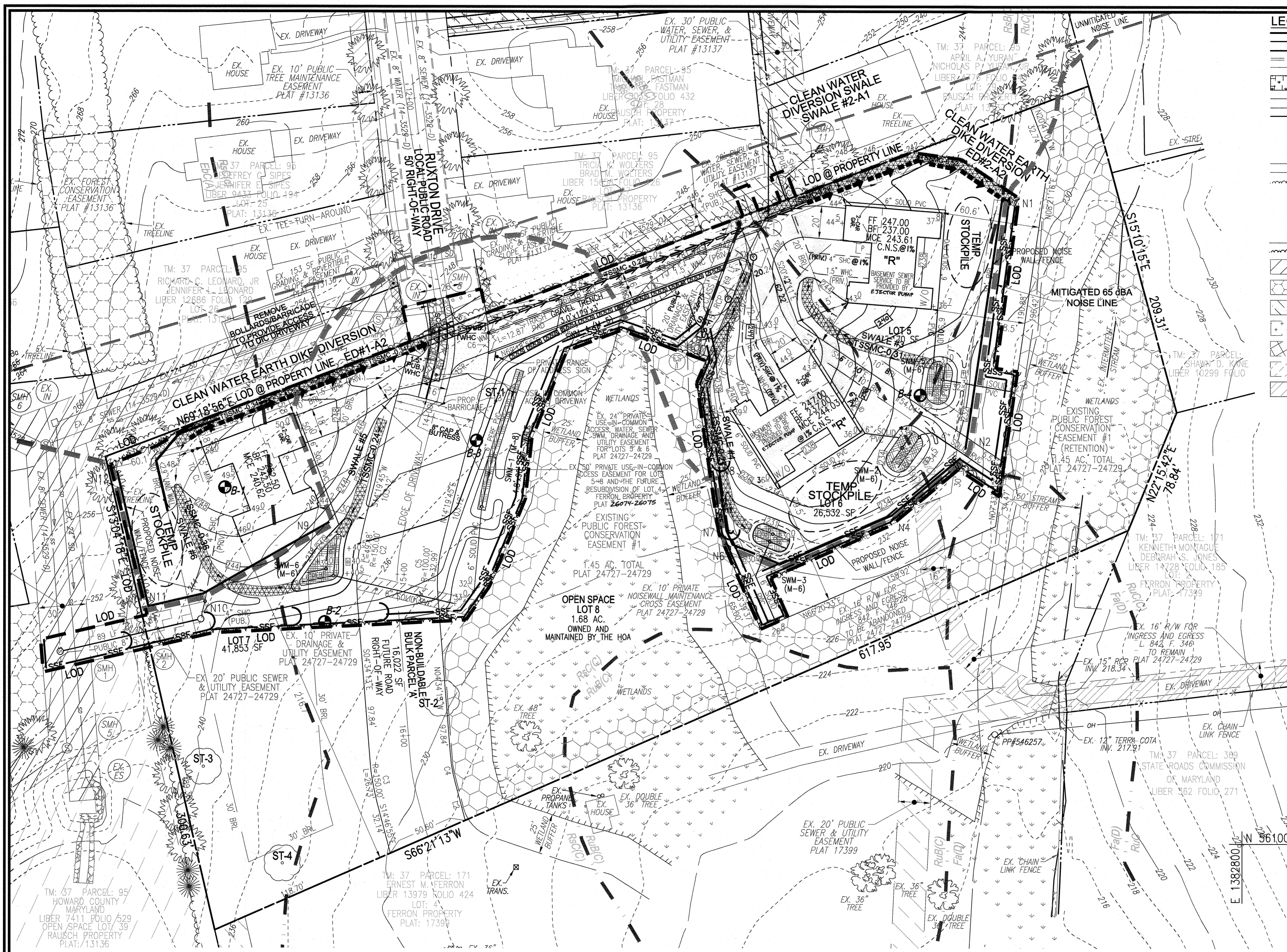
TAX MAP 37 BLOCK 12 1ST ELECTION DISTRICT
 ZONED: R-20 PARCEL 171 HOWARD COUNTY, MARYLAND

VOGEL ENGINEERING
 TIMMONS GROUP
 3300 NORTH RIDGE ROAD, SUITE 110, ELLICOTT CITY, MD 21043
 P: 410.461.7666 F: 410.461.8961 www.timmons.com

PROFESSIONAL CERTIFICATE
 I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 16193, EXPIRATION DATE: 09-27-2022

DESIGN BY: RHW
 DRAWN BY: IMH
 CHECKED BY: RHW
 DATE: OCTOBER 2021
 SCALE: AS SHOWN
 W.O. NO.: 13-28

2 SHEET 8



LEGEND:

- PROPERTY LINE
- RIGHT-OF-WAY LINE
- ADJACENT PROPERTY LINE
- EXISTING CURB AND GUTTER
- EXISTING EDGE OF PAVING
- EXISTING WETLANDS
- EXISTING WETLAND BUFFER
- EXISTING STREAM BUFFER
- EXISTING STREAM
- EXISTING LIGHT POLE
- EXISTING UTILITY POLE
- EXISTING SANITARY MANHOLE
- EXISTING SANITARY LINE
- EXISTING WATER LINE
- EXISTING TREELINE
- EXISTING TREES
- SPECIMEN TREES
- EXISTING METAL FENCE
- PROPOSED TREELINE
- EX. PUBLIC WATER SEWER, STORM DRAIN & UTILITY EASEMENT
- EX. FOREST CONSERVATION EASEMENT
- EX. PUBLIC WATER SEWER & UTILITY EASEMENT
- EX. PRIVATE USE-IN-COMMON DRIVEWAY EASEMENT
- EX. PUBLIC GRADING & SLOPE EASEMENT
- EX. PRIVATE SIM DRAINAGE & UTILITY EASEMENT
- EX. PUBLIC TREE MAINTENANCE EASEMENT
- EX. PUBLIC SEWER & UTILITY EASEMENT
- EX. 16' R/W FOR INGRESS AND EGRESS L. 842, F. 346
- EX. PRIVATE USE-IN-COMMON ACCESS EASEMENT FOR LOTS 3 & 6
- EX. PRIVATE USE-IN-COMMON ACCESS EASEMENT FOR LOTS 5-7 OPEN SPACE LOT 8 AND THE FUTURE RESUBDIVISION OF NON-BUILDABLE BULK PARCEL 17 AND LOT 4, FERRON PROPERTY
- EX. PUBLIC SEWER & UTILITY EASEMENT
- EX. PRIVATE SEWER & UTILITY EASEMENT
- EX. PUBLIC FOREST CONSERVATION EASEMENT
- EXISTING 10' CONTOUR
- EXISTING 2' CONTOUR
- SOILS
- PROPOSED 10' CONTOUR
- PROPOSED 2' CONTOUR
- PROPOSED SPOT ELEVATION
- EXISTING MODERATE SLOPES (15% TO 24.9% SLOPES)
- PROPOSED SUPER SILT FENCE
- PROPOSED LIMIT OF DISTURBANCE
- PROPOSED STABILIZED CONSTRUCTION ENTRANCE
- PROPOSED MICRO-BIORETENTION FACILITY (M-6)
- TEMPORARY STOCKPILE

TYPICAL SWALE DATA

ID	CHANNEL WIDTH	DEPTH	SLOPE	LENGTH	UPSTREAM INVERT	DOWNSTREAM INVERT	LENGTH	SHEAR STRESS (LB/FT ²)
ED#1	2:1	7:1	4.6	0.25	0.34			
ED#2	2:1	3:1	6.0	0.30	0.52			
SWALE #1	2:1	4:1	1.6	0.58	0.27			
SWALE #2	2:1	4:1	2.9	0.33	0.29			
SWALE #3	9:1	9:1	11.7	0.05	0.31			
SWALE #4	6:1	2:1	2:1	8.2	0.05	0.27		
SWALE #5	6:1	3:1	3:1	7.3	0.05	0.24		
SWALE #6	6:1	9:1	3:1	8.3	0.07	0.36		

15" DIVERSION PIPE

UPSTREAM INVERT	DOWNSTREAM INVERT	LENGTH
240.33	238.00	85.4'

GRADING DETAIL
N.T.S.

TYPICAL SWALE DETAIL
N.T.S.

NOTE:

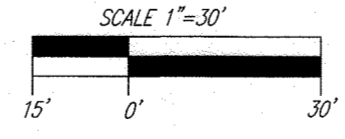
- SILT FENCE IS TO BE REPLACED WITH SUPER SILT FENCE AT THE DIRECTION OF THE SEDIMENT CONTROL INSPECTOR.
- SILT FENCE SHALL BE CURLED UPHILL NO MORE THAN 35 FEET APART
- DOUBLE ROWS OF SUPER SILT FENCE SHALL BE INSTALLED AT THE DIRECTION OF THE SEDIMENT CONTROL INSPECTOR.
- DIVERSION FENCE SHALL BE INSTALLED AS SHOWN HEREON OR AT THE DIRECTION OF THE SEDIMENT CONTROL INSPECTOR
- STABILIZATION IS TO BE DONE AT THE DIRECTION OF THE SEDIMENT CONTROL INSPECTOR OR AT THE INTERVALS REQUIRED BY THE 2011 STDS. & SPECS. WHICHEVER IS MORE RESTRICTIVE.

OWNERS

LOT	OWNER	ADDRESS
LOT 6	KARL FERRON	MEGAN FERRON 1019 W LEXINGTON ST BALTIMORE, MD 21223
LOT 5	AVA MONTAGUE	4 BEASMAN CT RANDALLSTOWN, MD 21133
LOT 7	JANICE MONTAGUE	KORREY JACKSON 7004 BARNETT LANE, UNIT 321 ELKRIDGE, MARYLAND 21075

GRADING, SOIL EROSION AND SEDIMENT CONTROL PLAN

SCALE: 1" = 30'



MAPPED SOILS TYPES - SAVAGE NE MAP #19

SYMBOL	NAME / DESCRIPTION	GROUP	HYDRIC	PERCENTS	K FACTOR	PERCENTS	PERCENTS	PERCENTS
DEC	EVERSBORO LOAMY SAND, 2 TO 10 PERCENT SLOPES	A	NO	NO	0.15	NO	NO	NO
FD	FALGOUTON SANDY LOAM, 6 TO 12 PERCENT SLOPES	D	YES	YES	0.24	YES	NO	NO
R#B	RUSSETT FINE SANDY LOAM, 2 TO 5 PERCENT SLOPES	C	NO	NO	0.43	YES	NO	NO
R#C	RUSSETT FINE SANDY LOAM, 5 TO 10 PERCENT SLOPES	C	NO	NO	0.43	YES	YES	YES
R#D	RUSSETT AND BELTSVILLE SOILS, 2 TO 3 PERCENT SLOPES	C	NO	NO	0.43	YES	NO	NO
R#C	RUSSETT AND BELTSVILLE SOILS, 5 TO 10 PERCENT SLOPES	C	NO	NO	0.43	YES	YES	YES

TAKEN FROM: USDA, SCS-WEB SOIL SURVEY, HOWARD COUNTY

NOTE: HIGHLY ERODIBLE SOILS ARE THOSE SOILS WITH A SLOPE GREATER THAN 15 PERCENT OR THOSE SOILS WITH A SOIL ERODIBILITY FACTOR K GREATER THAN 0.35 AND WITH A SLOPE GREATER THAN 5 PERCENT

NOTE: STOCKPILING WILL BE PERMITTED ON EACH LOT ONLY.

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

[Signature] 11/22

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

[Signature] 11-15-21
CHIEF, DEVELOPMENT ENGINEERING DIVISION

[Signature] 10-26-21
CHIEF, DIVISION OF LAND DEVELOPMENT

[Signature] 5/21/22
DIRECTOR

OWNER/DEVELOPER CERTIFICATION:

I/WE CERTIFY THAT ANY CLEARING, GRADING, CONSTRUCTION OR DEVELOPMENT WILL BE DONE PURSUANT TO THIS APPROVED EROSION AND SEDIMENT CONTROL PLAN, INCLUDING INSPECTING AND MAINTAINING CONTROLS, AND THAT ALL RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A MARYLAND DEPARTMENT OF THE ENVIRONMENT (MDE) APPROVED TRAINING PROGRAM FOR THE CONTROL ON EROSION AND SEDIMENT PRIOR TO BEGINNING THE PROJECT. I CERTIFY RIGHT-OF-ENTRY FOR PERIODIC ON-SITE EVALUATION BY HOWARD COUNTY, THE HOWARD SOIL CONSERVATION DISTRICT AND/OR MDE.

[Signature] 10-26-21
JANICE MONTAGUE
PRINTED NAME & TITLE

DESIGN CERTIFICATION:

I HEREBY CERTIFY THAT THIS PLAN HAS BEEN DESIGNED IN ACCORDANCE WITH CURRENT MARYLAND EROSION AND SEDIMENT CONTROL LAWS, REGULATIONS, AND STANDARDS; THAT IT REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

[Signature] 10/21/21
ROBERT H. VOGEL
PRINTED NAME

MD REGISTRATION NO. 16193
C.E. R.L.S., OR R.L.A. (Circle one)

**SITE DEVELOPMENT PLAN
GRADING, SOIL EROSION AND SEDIMENT CONTROL PLAN
FERRON PROPERTY
LOTS 5-7**

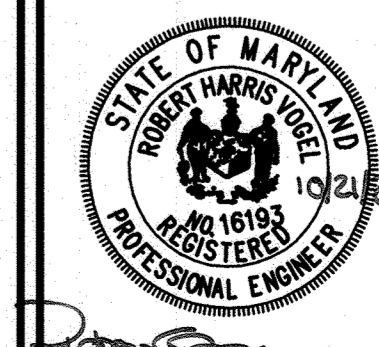
TAN MAP 37 BLOCK 12 1ST ELECTION DISTRICT

ZONED: R-20 PARCEL 171 HOWARD COUNTY, MARYLAND

VOGEL ENGINEERING

TIMMONS GROUP

3300 NORTH RIDGE ROAD, SUITE 110, ELLICOTT CITY, MD 21043
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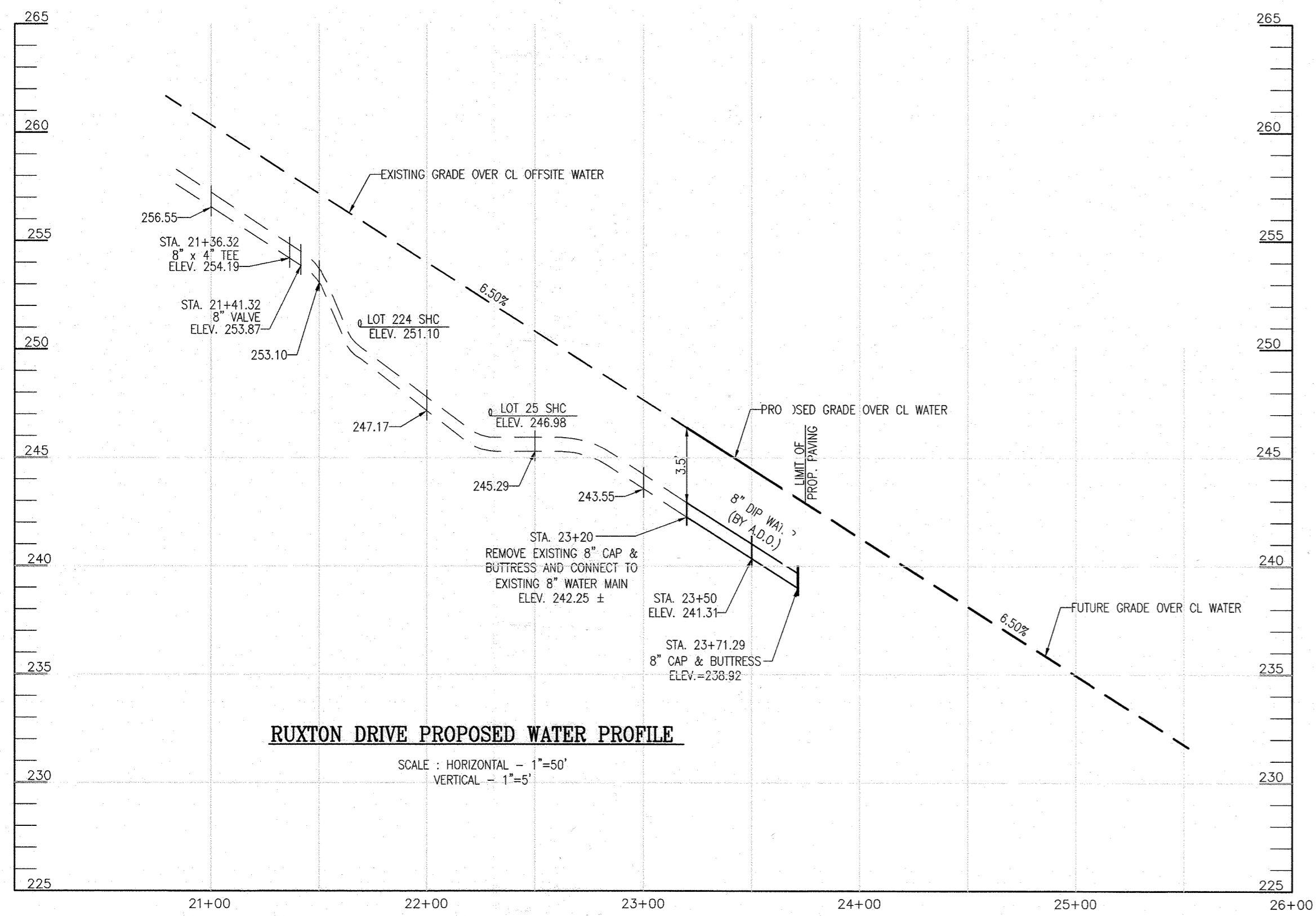


PROFESSIONAL CERTIFICATE

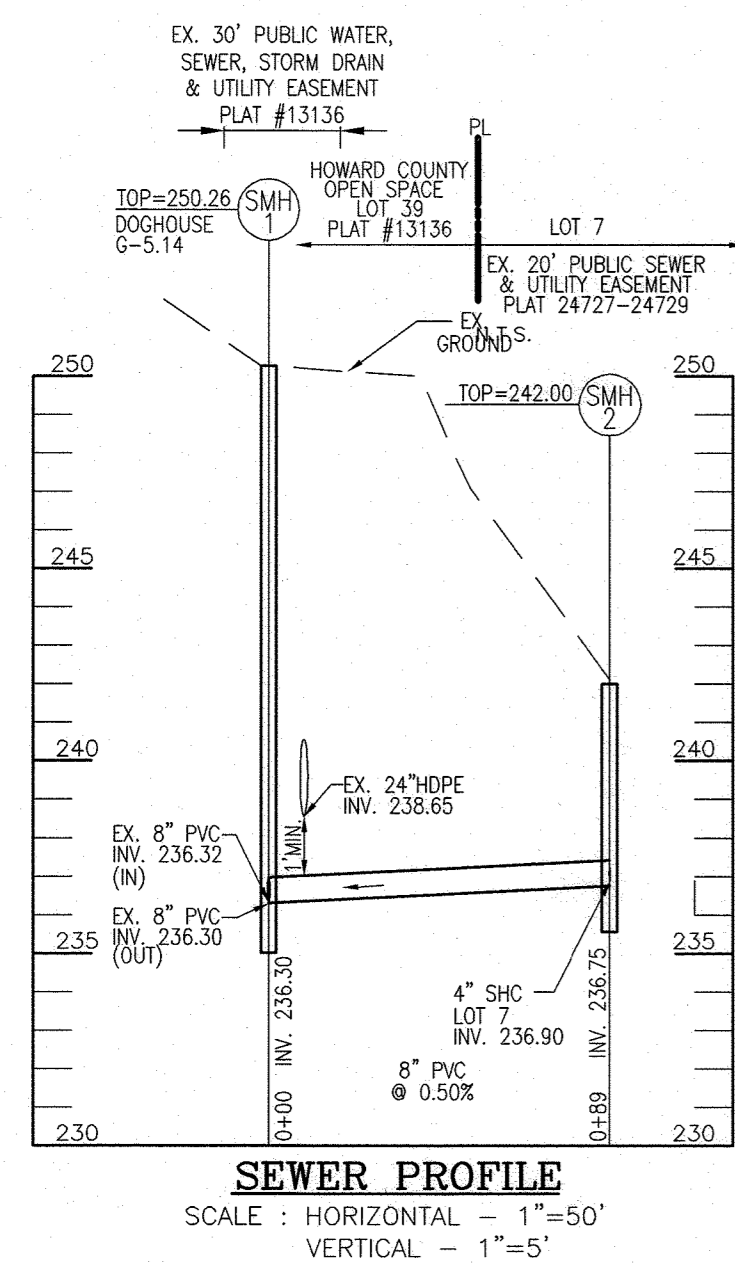
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NO. 16193 EXPIRATION DATE: 09-27-2022

DESIGN BY: RHV
DRAWN BY: IMH
CHECKED BY: RHV
DATE: OCTOBER 2021
SCALE: AS SHOWN
W.O. NO.: 13-28

3 SHEET OF 8



NOTE:
WATER CONNECTIONS SHALL BE 1-1/2" WITH 1" OUTSIDE METER SETTINGS, UNLESS OTHERWISE NOTED. REFER TO HOWARD COUNTY DETAILS W-3.28, W-3.32 OUTSIDE METER SETTINGS.



MCE CHART

DROP THRU SLAB = 2.5'	LOT#	EL. @ MAIN	TYPE	DIST. TO RW	EL. @ RW	DIST. RW TO HOUSE	EL. @ HOUSE	MCE	B.F.	C.N.S.
	5	239.80	MH	12	240.05	106	241.11 @ 1%	243.61	237.00	YES
	6	239.74	SHC	12	239.98	155	241.53 @ 1%	244.03	237.00	YES
	7	236.90	MH	11	237.12	100	238.12 @ 1%	240.62	242.50	-

NOTE:
1. IN ACCORDANCE WITH THE HOWARD COUNTY DESIGN MANUAL VOLUME II WATER & SEWER, CHAPTER 5, SECTION 5.4.C.2, VERTICAL CLEARANCE BETWEEN THE WHC AND SEWER HOUSE CONNECTION (SHC) SHALL BE 1 FOOT MINIMUM. WHO ABOVE SHC.
2. THE REQUIRED 1.5' MINIMUM HORIZONTAL CLEARANCE SHALL BE MET.
3. C.N.S. (CELLAR NOT SERVICED)

*EJECTOR PUMP REQUIRED TO PROVIDE BASEMENT SEWER SERVICE TO PUBLIC SHC @ EX. 20' PUBLIC WATER, SEWER, & UTILITY EASEMENT PLAT #13137.

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

CHIEF, DEVELOPMENT ENGINEERING DIVISION (Signature) DATE 11/15/21

CHIEF, DIVISION OF LAND DEVELOPMENT (Signature) DATE 5/26/22

DIRECTOR (Signature) DATE 5/26/22

NOTES

- THE CONTRACTOR IS TO NOTIFY THE FOLLOWING UTILITIES OR AGENCIES AT LEAST FIVE DAYS BEFORE STARTING WORK ON THESE DRAWINGS:
MISS UTILITY 1-800-257-7777
VERIZON TELEPHONE COMPANY 1-410-654-6281
HOWARD COUNTY BUREAU OF UTILITIES 410-313-2366
AT&T CABLE LOCATION DIVISION 1-800-393-3553
B.G.&E. CO. CONTRACTOR SERVICES 410-850-4620
B.G.&E. CO. UNDERGROUND DAMAGE CONTROL 410-787-4620
STATE HIGHWAY ADMINISTRATION 410-531-5533
- THE CONTRACTOR SHALL NOTIFY "MISS UTILITY" AT 1-800-257-7777 AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION WORK.
- THE CONTRACTOR SHALL NOTIFY THE DEPARTMENT OF PUBLIC WORKS/BUREAU OF ENGINEERING/CONSTRUCTION INSPECTION DIVISION AT (410) 313-1880 AT LEAST FIVE (5) WORKING DAYS PRIOR TO START OF WORK.
- THE CONTRACTOR SHALL NOTIFY HOWARD COUNTY UTILITIES, 48 HOURS IN ADVANCE OF WORK (410) 313-4668.
- ANY DAMAGE TO PUBLIC RIGHT-OF-WAY, PAVING, OR EXISTING UTILITIES WILL BE CORRECTED AT THE CONTRACTOR'S EXPENSE.
- EXISTING UTILITIES LOCATED FROM ROAD CONSTRUCTION PLANS, FIELD SURVEYS, PUBLIC WATER AND SEWER EXTENSION PLANS AND AVAILABLE RECORD DRAWINGS, APPROXIMATE LOCATION OF EXISTING UTILITIES ARE SHOWN FOR THE CONTRACTOR'S INFORMATION. CONTRACTOR SHALL LOCATE EXISTING UTILITIES WELL IN ADVANCE OF CONSTRUCTION ACTIVITIES AND TAKE ALL NECESSARY PRECAUTIONS TO PROTECT THE EXISTING UTILITIES AND TO MAINTAIN UNINTERRUPTED SERVICE. ANY DAMAGE INCURRED DUE TO CONTRACTOR'S OPERATION SHALL BE REPAIRED IMMEDIATELY AT THE CONTRACTOR'S EXPENSE.

PART II WATER CONSTRUCTION NOTES

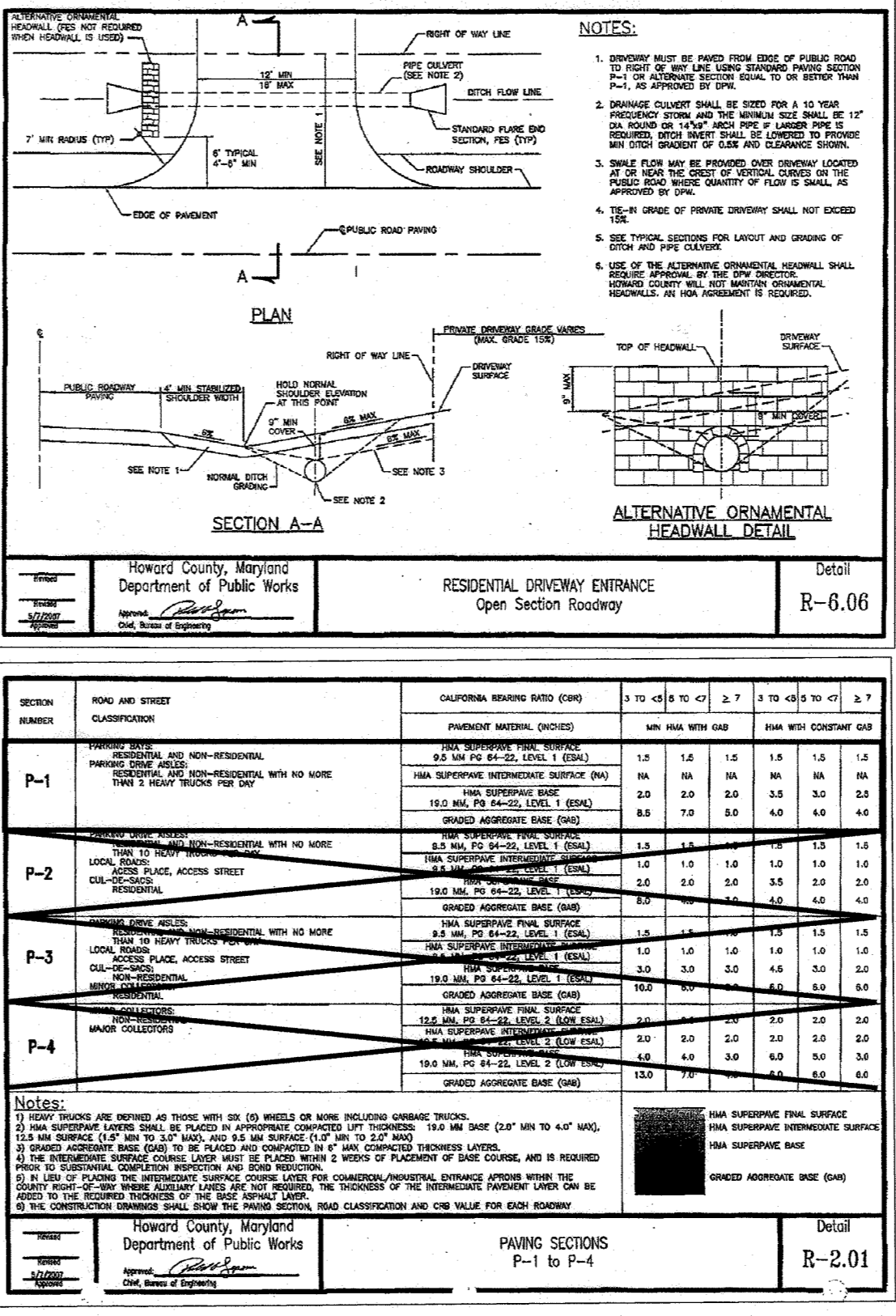
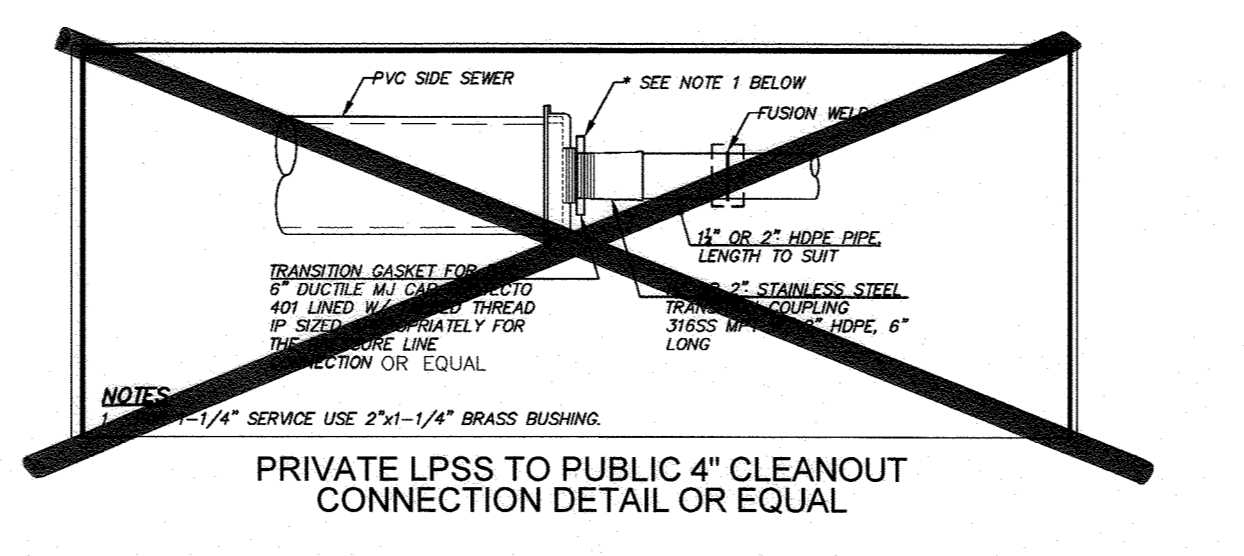
- All water mains shall be D.I.P., Class 54 minimum, or AWWA C900/C905 P.V.C. pipe, Class DR18 minimum.
- Tops of all water pipes shall have not less than 4'0" of cover unless otherwise noted.
- Valves adjacent to tees shall be strapped to tees.
- Fire hydrants shall be set to the bury line elevations shown on the Plans. All fire hydrants shall be installed in accordance with Standard Details. The soil around the fire hydrant shall be compacted in accordance with Sections 1000 and 1005 of the Standard Specifications.
- All fittings shall be buttressed or anchored with concrete in accordance with Standard Details unless otherwise provided for on the drawings.
- The contractor shall notify the Bureau of Utilities at least 48 hours in advance of scheduled shutdowns of the existing water main. Shutdowns of the existing water main for new connections and removal of existing service connections shall be as specified under Section 1002.06 - Connections of the Standard Specifications.
- The contractor shall not operate any water main valves on the existing water system.
- Water service connections shall be as specified under Section 1004-Water House Service and Apertures of the Standard Specifications and Standard Detail Plate

The minimum size of a single residential WHC for new residential construction is 1-1/2 inch diameter with 1-inch meter. Installation of the water meter is not part of the A.D.O. construction work. Water service connections include pressure and leak testing, disinfection and bacteriological testing.

- [For commercial meters] The new water meter assembly shall be the (type) per Howard County Detail Plate W-3.24. Installation of the water meter is not part of the A.D.O. construction work.
- If the existing water meter will be moved to the new meter connection inside the building, the contractor shall contact the Meter Division of the Bureau of Utilities at 410-313-4948 to schedule relocation of the meter setting.
- The abandonment of existing water service connections shall be as specified under Section 1015.03 of the Standard Specifications. Removal of the existing corporation stop or tapping saddle requires a scheduled shutdown of the water main. The existing corporation stop shall be removed from the water main and the pipe repaired with a County approved stainless steel full circle repair clamp such as Ford Meter FS2, Mueller 550 or Romac SS2 series.
- Tracer wire and continuity test stations shall be installed on all water mains in accordance with Detail Plate G-8.21 of the Standard Specifications.
- Proper Assembly of Gasketed PVC Pipe Joints. The manufacturer's insertion line of gasketed PVC pipe joints indicates the maximum depth of insertion of the spigot into the bell. After assembly of the joint, the line shall remain visible. Dual insertion lines on gasketed PVC pipe indicate the maximum and minimum depth of insertion of the spigot into the bell.
- Tees, crosses, bends greater than 5 degrees, and similar fittings for use with C-900 PVC water pipe shall be ductile iron conforming to AWWA C153.
- All changes in horizontal or vertical direction of PVC water pipe shall be made with high-deflection couplings, 5 degree sweeps or standard bends. No bending of pipe or deflection of PVC pipe joints is permitted.
- Seventeen (17) pound sacrificial anodes shall be installed on all valves and metallic fittings used with PVC water mains in accordance with the Standard Specifications and Details. Magnesium anodes shall be installed on all iron valves and ductile iron fittings including restraints and harnesses. Zinc anodes shall be installed on all stainless steel fittings and saddles used with PVC water mains.

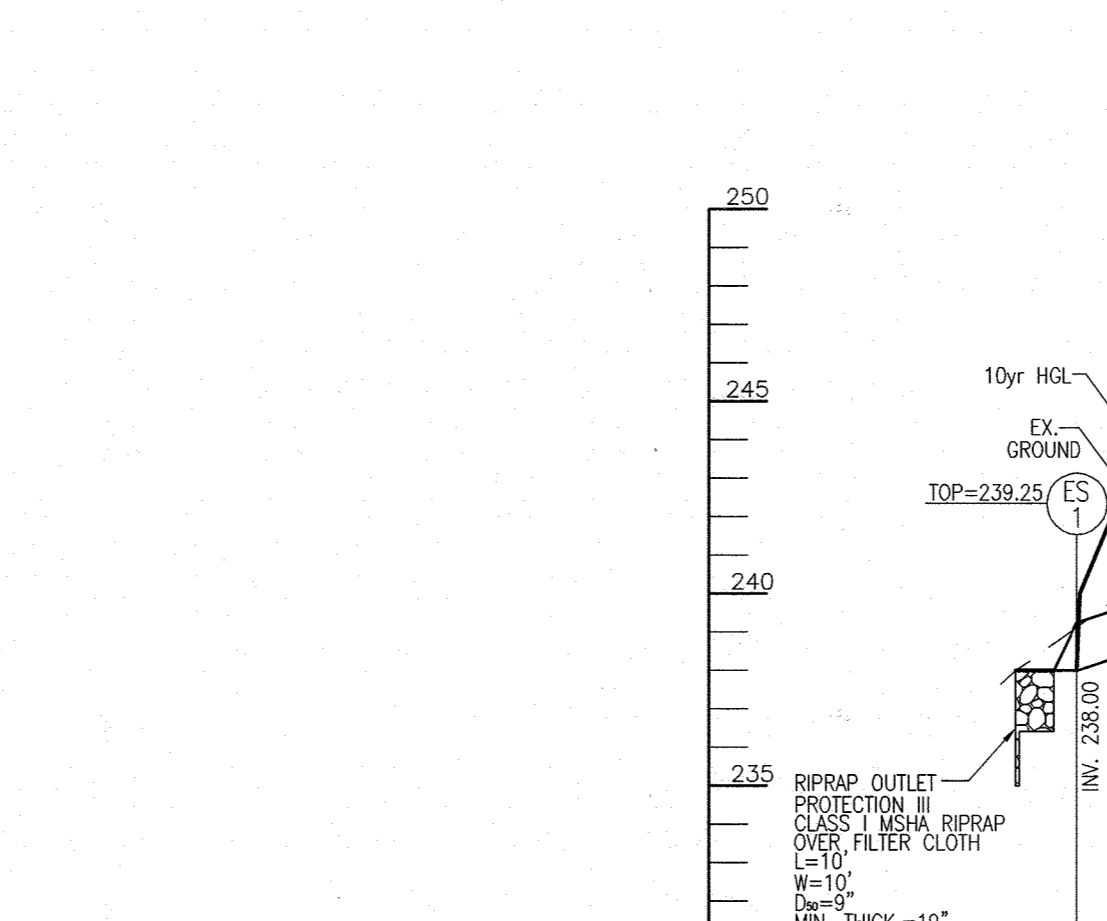
PART III SEWER CONSTRUCTION NOTES

- All sewer mains shall be D.I.P. or P.V.C. unless otherwise noted.
- All manholes shall be 4'0" inside diameter unless otherwise noted.
- Sewer force mains shall be D.I.P. unless otherwise noted.
- Sewer house connections shall be as specified under Section 1009.03 of the Standard Specifications and the Standard Details.
- House(s) with the symbol "C.N.S." indicates that the cellar cannot be served by a gravity sewer service connection.

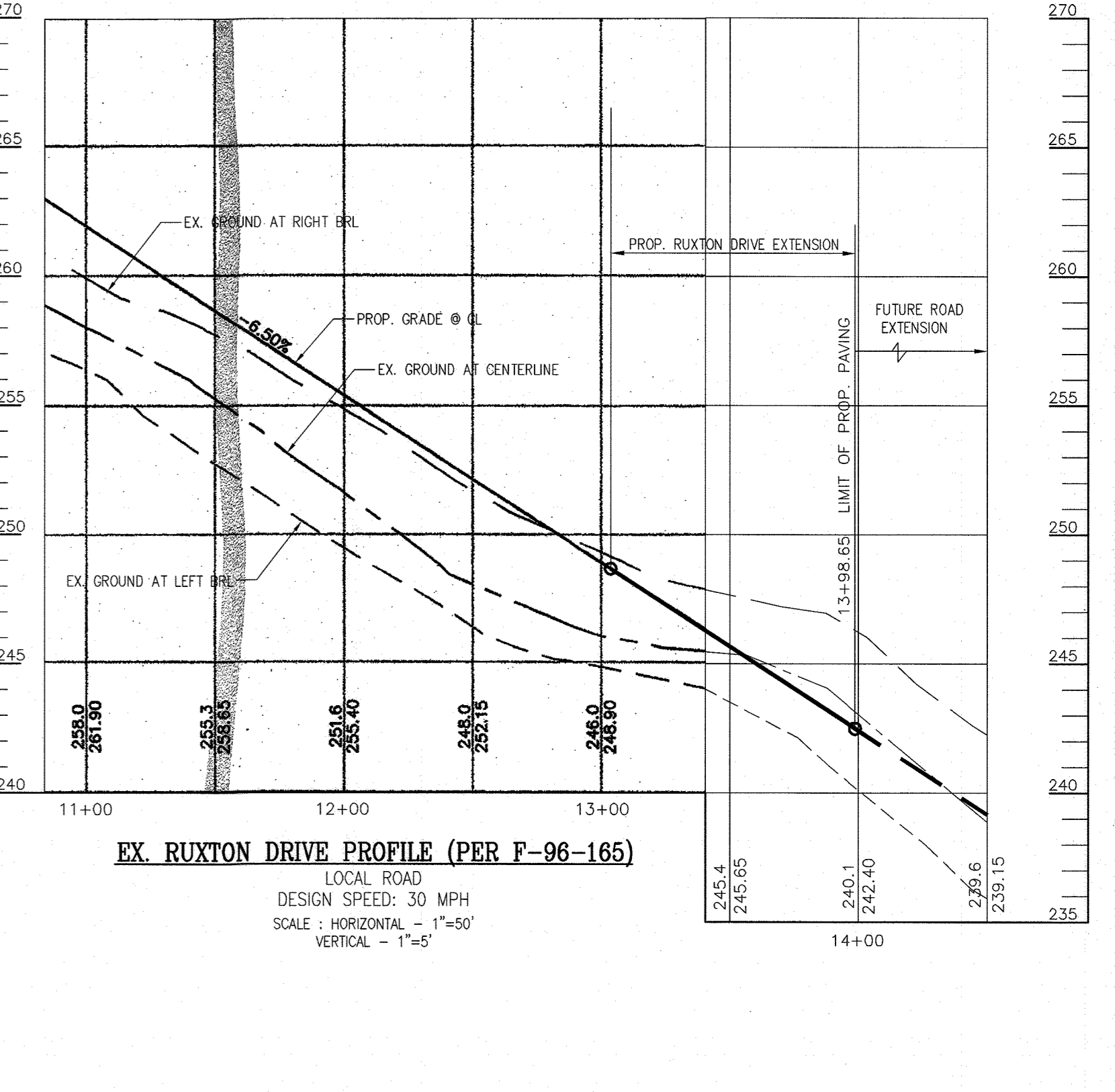


STRUCTURE SCHEDULE

STR#	STRUCTURE	NORTHING	EASTING	TOP	THROAT	INV. IN #1	INV. OUT	REMARKS/DETAIL#
I-1	TYPE'D INLET	N 561,383.91	E 1,382,487.65	243.33	242.50	240.33	-	HO. CO. DET. D-410
ES-1	15\"/>							



CULVERT PROFILE
SCALE: HORIZONTAL - 1"=50'
VERTICAL - 1"=5'



PIPE SCHEDULE

PIPE SIZE	TYPE	TOTAL LENGTH
15"	RCP CLASS IV	68 LF
6"	PERF. PVC	840 LF
6"	SOLID PVC	290 LF
6"	PERF. PVC CLEANOUT	20 VF
6"	SOLID PVC CLEANOUT	20 VF

OWNERS
LOT 6
KARL FERRON
MEGAN FERRON
1019 W LEXINGTON ST
BALTIMORE, MD 21223

DEVELOPER
JANICE MONTAGUE
7004 BARNETT LANE, UNIT 321
ELKRIDGE, MARYLAND 21075

OWNERS
LOT 5
AVA MONTAGUE
4 BEASMAN CT
RANDALLSTOWN, MD 21133

OWNERS
LOT 7
JANICE MONTAGUE
KOREY JACKSON
7004 BARNETT LANE, UNIT 321
ELKRIDGE, MARYLAND 21075

NO.	REVISION	DATE

SITE DEVELOPMENT PLAN

SITE DETAILS AND UTILITY NOTES AND PROFILES

FERRON PROPERTY
LOTS 5 - 7

TAX MAP 37 BLOCK 12
15TH ELECTION DISTRICT

ZONED: R-20
PARCEL 171
HOWARD COUNTY, MARYLAND

VOGEL ENGINEERING
TIMMONS GROUP
3300 NORTH RIDGE ROAD, SUITE 110, ELLICOTT CITY, MD 21143
P: 410.461.7666 F: 410.461.8961 www.timmons.com

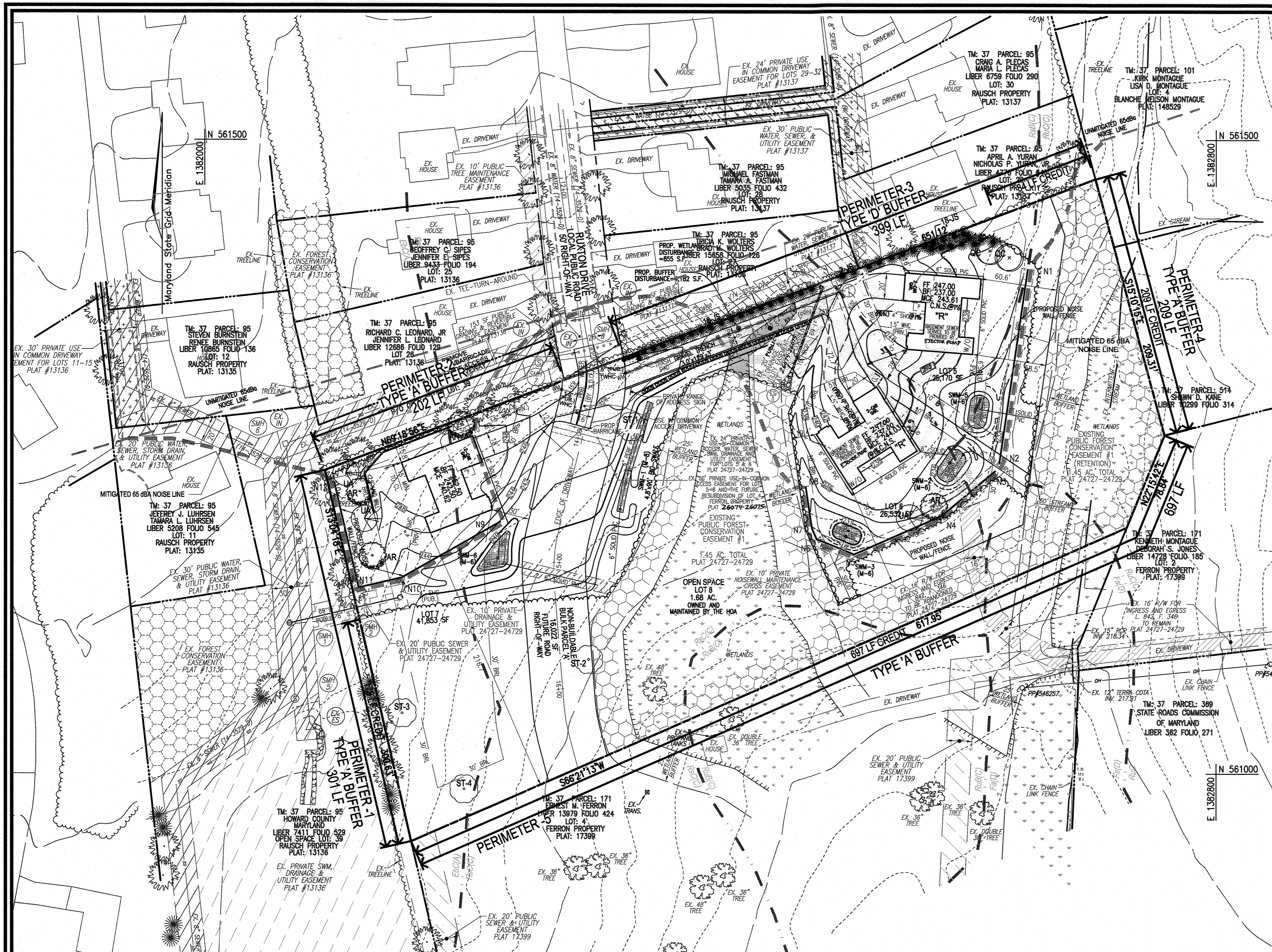
PROFESSIONAL CERTIFICATE

DESIGN BY: RHY
DRAWN BY: IMH
CHECKED BY: RHY
DATE: OCTOBER 2021
SCALE: AS SHOWN
W.O. NO.: 13-28

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 16193, EXPIRATION DATE 08-27-2022.

ROBERT H. VOGEL, PE No. 16193

5 OF 8



SCHEDULE A: PERIMETER LANDSCAPE EDGE

CATEGORY	ADJACENT TO PERIMETER PROPERTIES AND ROADWAYS					TOTAL
	A	B	C	D	E	
PERIMETER/FRONTAGE DESIGNATION	301'	202'	399'	209'	697'	
LINEAR FEET OF ROADWAY FRONTAGE/FRONTAGE	301'	202'	399'	209'	697'	
CREDIT FOR EXISTING VEGETATION (YES, NO, LINEAR FEET DESCRIBE BELOW IF NEEDED)	179'	NO	84'	209'	697'	
CREDIT FOR WALL, FENCE OR BERM (YES, NO, LINEAR FEET DESCRIBE BELOW IF NEEDED)	NO	NO	NO	NO	NO	
NUMBER OF PLANTS REQUIRED (LF REMAINING)	1:60 2	2:02 2	3:16 2	1:60 5	1:60 0	10 32
NUMBER OF PLANTS PROVIDED	2	3	2	0	7	38*
SHADE TREES (1:1 SUBSTITUTION)	---	---	---	---	---	---
EVERGREEN TREES (1:1 SUBSTITUTION)	---	---	---	---	---	---
SHRUBS (10:1 SUBSTITUTION)	---	---	---	---	---	---
DESCRIBE PLANT SUBSTITUTION CREDITS BELOW IF NEEDED						

LANDSCAPE SCHEDULE

SYMBOL	KEY	QUAN.	BOTANICAL NAME	SIZE	REMARKS
AR	4	ACER RUBRUM 'RED SUNSET'	2 1/2" - 3" CAL.	B & B	
UA	3	ULMUS AMERICANA 'VALLEY FORGE'	2 1/2" - 3" CAL.	B & B	
JS	38	JUNIPERUS SCOPULARUM 'BLUE ARROW'	10' HGT.	B & B	

SPECIMEN TREE MITIGATION

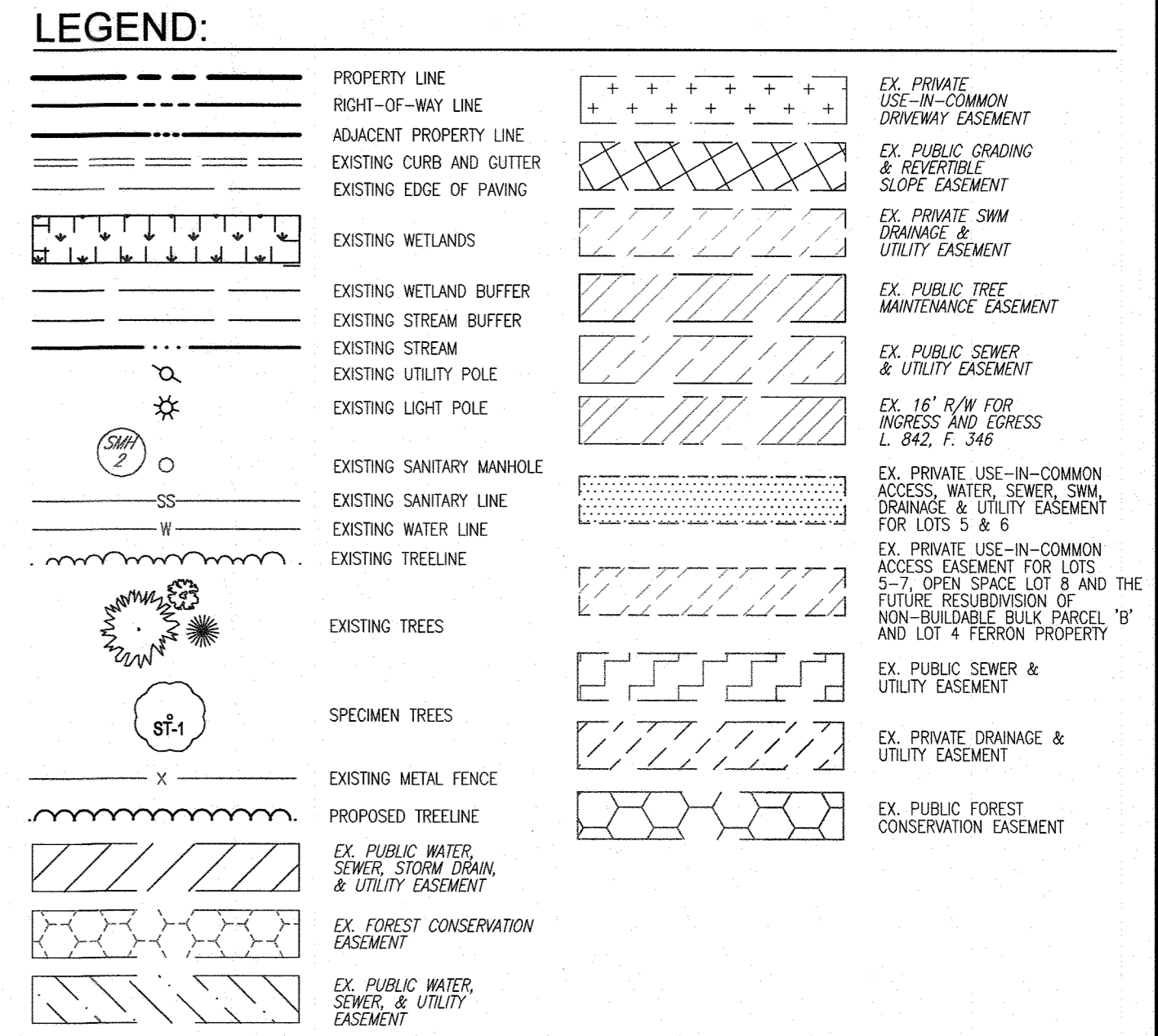
SYMBOL	KEY	QUAN.	BOTANICAL NAME	SIZE	CAT.
QC	2	QUERCUS COCCINEA	3 1/2" CAL.	B & B	

SPECIMEN TREE REPLACEMENT LANDSCAPE SCHEDULE - REQUIRED PLANTING

NO.	SIZE	CRZ	COMMON NAME	CONDITION	COMMENTS
ST 1	30"	40'	RED MAPLE	FAIR CONDITION, LIMB DIEBACK OBSERVED	TO BE REMOVED
ST 2	35.5"	53.25'	TULIP POPLAR	GOOD CONDITION	TO REMAIN
ST 3	40"	60'	TULIP POPLAR	ESTIMATED SIZED, COVERED IN GREEN BRAP, POOR CONDITION, TRUNK ROT AND LIMB DIEBACK NOTED	TO REMAIN
ST 4	30.5"	45.75'	TULIP POPLAR	GOOD CONDITION	TO REMAIN

NOISE WALL LOCATION CHART

LOT	N#	NORTHING	EASTING	GROUND ELEVATION	TOP WALL	WALL HEIGHT
5	N1	561398.24	1382650.90	235.8	242.0	6.2 FEET TALL
5	N2	561244.18	1382628.28	231.8	242.0	10.2 FEET TALL
6	N3	561238.86	1382625.43	231.5	242.0	10.5 FEET TALL
6	N4	561203.30	1382582.81	232.8	242.0	9.8 FEET TALL
6	N5	561172.95	1382513.53	230.2	242.0	11.8 FEET TALL
6	N6	561185.00	1382484.02	230.6	242.0	11.4 FEET TALL
6	N7	561193.66	1382480.23	231.3	242.0	10.7 FEET TALL
6	N8	561226.91	1382475.31	233.0	242.0	9 FEET TALL
7	N9	561198.82	1382233.98	242.0	254.0	12 FEET TALL
7	N10	561154.48	1382155.97	243.0	254.0	11 FEET TALL
7	N11	561146.56	1382121.88	247.4	254.0	6.6 FEET TALL
7	N12	561230.27	1382102.44	255.1	258.0	3 FEET TALL



LANDSCAPE NOTES:

- AT THE TIME OF PLANT INSTALLATION, ALL SHRUBS AND TREES LISTED AND APPROVED ON THE LANDSCAPE PLAN, SHALL COMPLY WITH THE PROPER HEIGHT REQUIREMENT IN ACCORDANCE WITH THE HOWARD COUNTY LANDSCAPE MANUAL. IN ADDITION, NO SUBSTITUTIONS OR RELOCATIONS OF THE REQUIRED PLANTINGS MAY BE MADE WITHOUT PRIOR REVIEW AND APPROVAL FROM THE DEPARTMENT OF PLANNING AND ZONING. ANY DEVIATION FROM THE APPROVED LANDSCAPE PLAN MAY RESULT IN DELAY OR CANCELLATION OF THE LANDSCAPE SURETY UNTIL SUCH TIME AS ALL REQUIRED MATERIALS ARE PLANTED AND/OR REVISIONS ARE MADE TO THE APPLICABLE PLANS.
- FINANCIAL SURETY FOR THE REQUIRED LANDSCAPING WILL BE POSTED IN THE AMOUNT OF \$8,550.00 FOR THE REQUIRED 12 SHADE TREES (10 PERIMETER AND 2 REPLACEMENT SPECIMEN TREE), 32 EVERGREEN, AND 5 SHRUBS (TRASH PAD). FINANCIAL SURETY SHALL BE POSTED WITH THE BUILDERS GRADING PERMITS.
- THE OWNER, TENANT AND/OR THEIR AGENTS SHALL BE RESPONSIBLE FOR MAINTENANCE OF THE REQUIRED LANDSCAPING INCLUDING BOTH PLANT MATERIALS AND BERMS, FENCES AND WALLS. ALL PLANT MATERIALS SHALL BE MAINTAINED IN GOOD GROWING CONDITION, AND WHEN NECESSARY, REPAIRED WITH NEW MATERIALS TO ENSURE CONTINUED COMPLIANCE WITH APPLICABLE REGULATIONS. ALL OTHER REQUIRED LANDSCAPING SHALL BE PERMANENTLY MAINTAINED IN GOOD CONDITION, AND WHEN NECESSARY, REPAIRED OR REPLACED.
- SHOULD ANY TREE DESIGNATED FOR PRESERVATION FOR WHICH LANDSCAPING CREDIT IS GIVEN, DIE PRIOR TO RELEASE OF BONDS, THE OWNER WILL BE REQUIRED TO REPLACE THE TREE WITH THE EQUIVALENT SPECIES OR WITH A TREE WHICH OBTAIN THE SAME HEIGHT, SPREAD, AND GROWTH CHARACTERISTICS. THE REPLACEMENT TREE MUST BE A MINIMUM OF 3 INCHES IN CALIPER AND INSTALLED AS REQUIRED IN THE HOWARD COUNTY LANDSCAPE MANUAL.
- PLANTINGS SHOWN HEREON ARE THE RESPONSIBILITY OF THE DEVELOPER TO INSTALL DURING THE CONSTRUCTION OF THE FINAL PLAN.

PLANT SUBSTITUTIONS NOTES:

MINOR PLANT SUBSTITUTIONS MAY BE MADE TO AN APPROVED PLANTING PLAN AT TIME OF INSTALLATION WITHIN THE FOLLOWING LIMITS:

- THE NUMBER, SIZE AND LOCATION OF PLANTS IS NOT CHANGED.
- THE GENERAL TYPE OF PLANT REMAINS THE SAME (LARGE SHADE TREE, EVERGREEN TREE, DECIDUOUS TREE) AND THE SUBSTITUTE PLANT IS INCLUDED IN THE RECOMMENDED PLANT LIST IN APPENDIX C.
- WHEN EQUAL SUBSTITUTIONS ARE MADE, NO PRIOR APPROVAL IS NEEDED FROM THE DEPARTMENT OF PLANNING AND ZONING, HOWEVER, A REISED PLANT LIST MUST BE SUBMITTED WITH THE CERTIFICATION OF INSTALLATION.
- IF CHANGES IN THE GENERAL TYPE OF PLANT MATERIAL ARE TO BE MADE OR IF A CHANGE IN AN OPTIONAL TREATMENT IS PROPOSED, WRITTEN AUTHORIZATION MUST BE REQUESTED FROM THE DEPARTMENT OF PLANNING AND ZONING. IN SUCH A CASE, THE DEPARTMENT MAY REQUIRE THE LANDSCAPE PLAN BE REVISED UTILIZING THE "RED-LINE REVISION PROCESS".

OWNERS

LOT 6
KARL FERRON
MEGAN FERRON
1019 W LEXINGTON ST
BALTIMORE, MD 21223

LOT 7
JANICE MONTAGUE
KOREY JACKSON
7004 BARNETT LANE, UNIT 321
ELKRDGE, MARYLAND 21075

NO.	REVISION	DATE

SITE DEVELOPMENT PLAN

LANDSCAPE & NOISE WALL PLAN

FERRON PROPERTY

LOTS 5-7

TAX MAP 37 BLOCK 12
1ST ELECTION DISTRICT

ZONED: R-20
PARCEL 171
HOWARD COUNTY, MARYLAND

VOGEL ENGINEERING

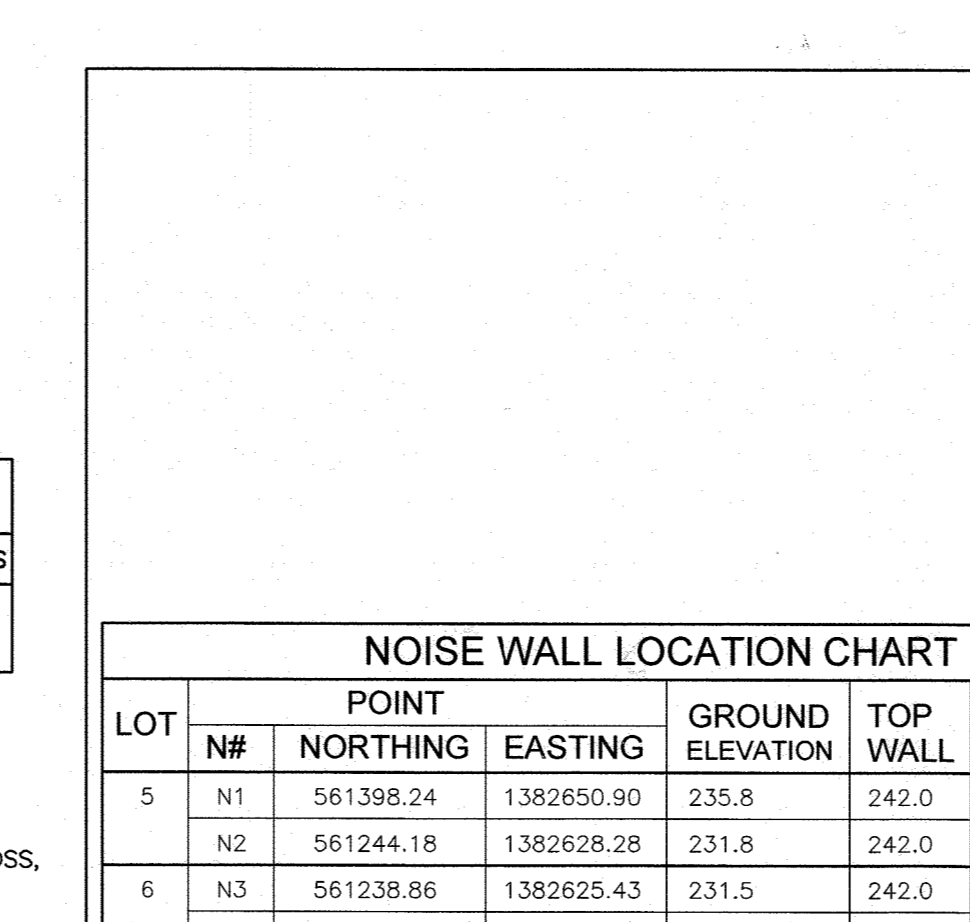
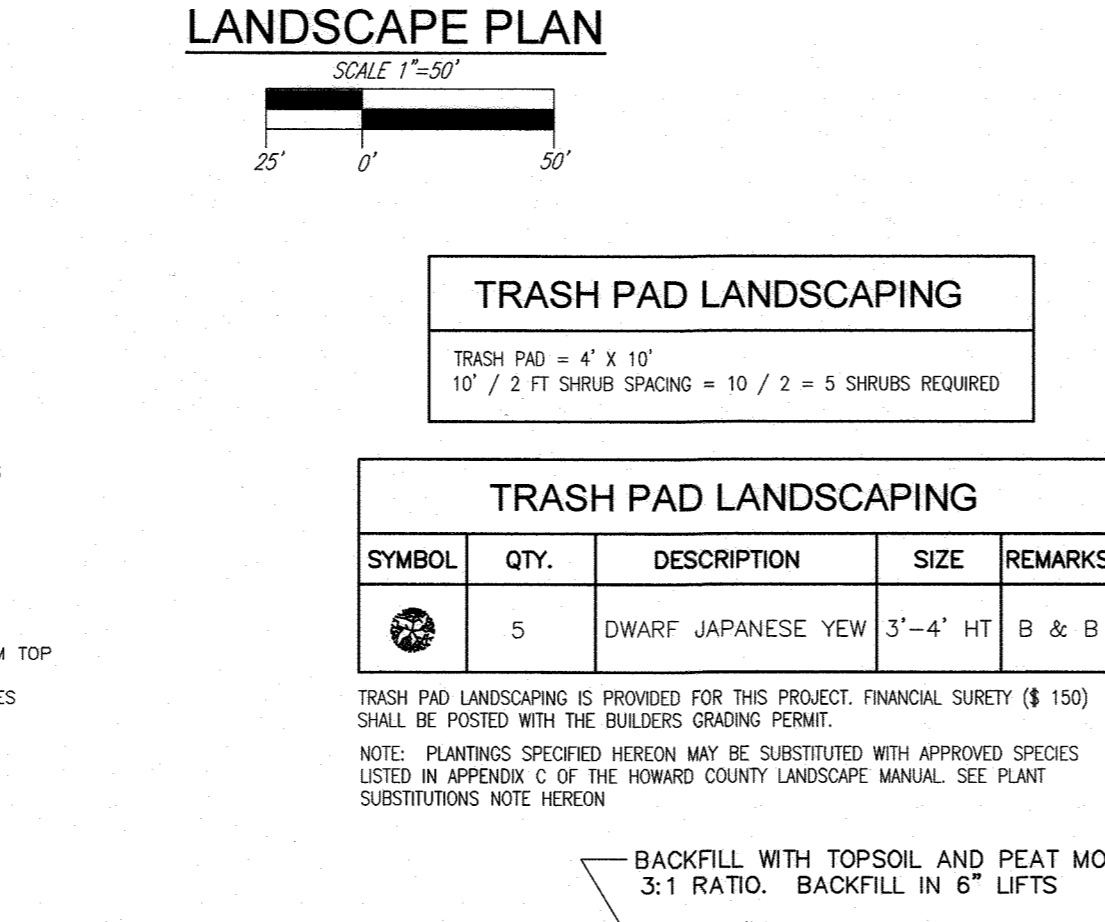
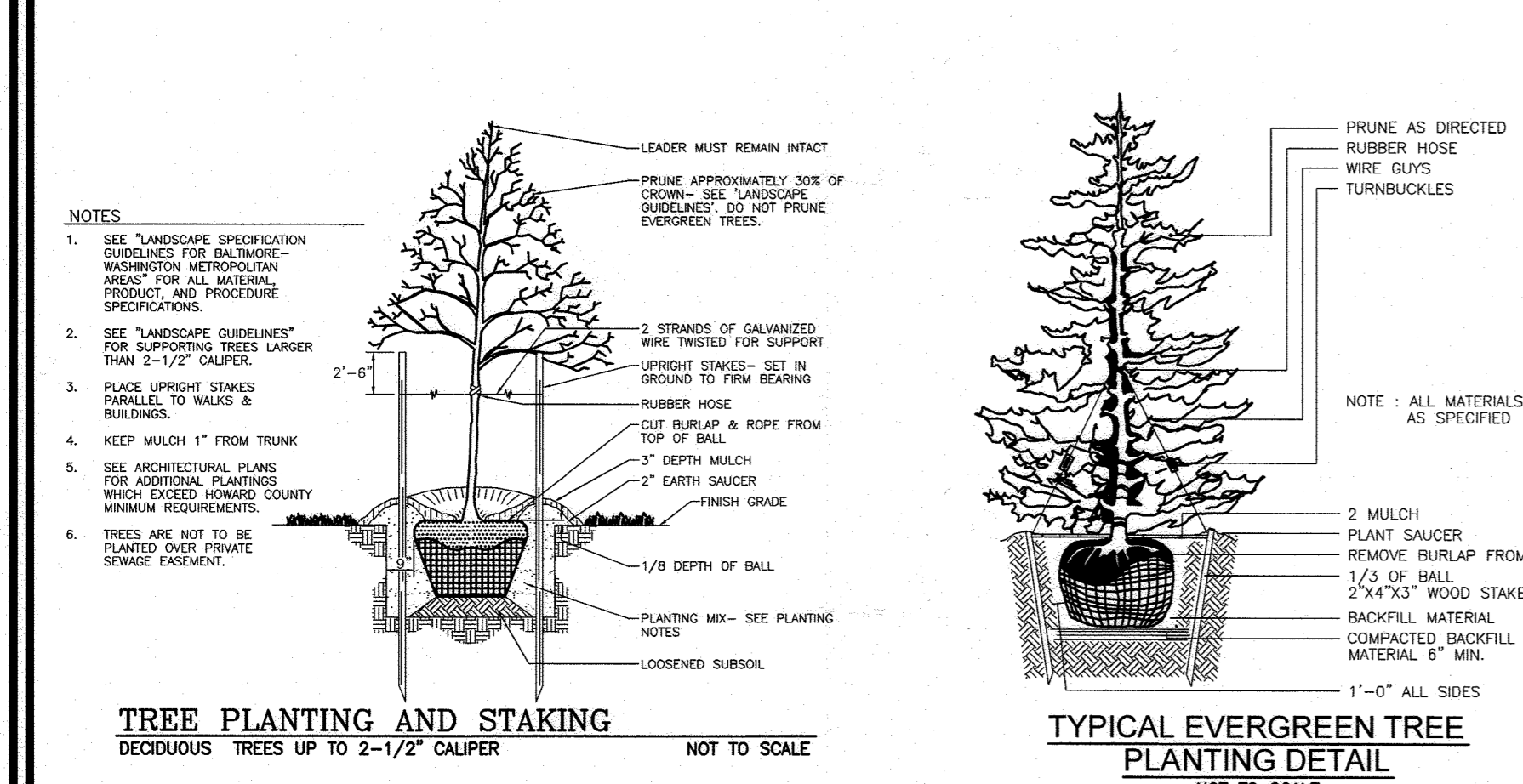
TIMMONS GROUP

3300 NORTH RIDGE ROAD, SUITE 110, ELLICOTT CITY, MD 21143
P: 410.461.7666 F: 410.461.8961 www.timmons.com

PROFESSIONAL CERTIFICATE

DESIGN BY: RHV
DRAWN BY: IMH
CHECKED BY: RHV
DATE: OCTOBER 2021
SCALE: AS SHOWN
W.O. NO.: 13-28

6 SHEET OF 8



APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

Chief, Development Engineering Division
5/26/22

Chief, Division of Land Development
5/26/22

Director

DEVELOPER'S/BUILDER'S CERTIFICATE

I/WE CERTIFY THAT THE LANDSCAPING SHOWN ON THIS PLAN WILL BE DONE ACCORDING TO THE PLAN, SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE HOWARD COUNTY LANDSCAPE MANUAL. I/WE FURTHER CERTIFY THAT UPON COMPLETION, A CERTIFICATION OF LANDSCAPE INSTALLATION, ACCOMPANIED BY AN EXECUTED ONE (1) YEAR GUARANTEE OF PLANT MATERIALS, WILL BE SUBMITTED TO THE DEPARTMENT OF PLANNING AND ZONING.

Signature of Developer: James C. Montague
Date: 10-26-21

NOISE WALL SECTION DETAIL

6" x 6" PRESSURE TREATED COLUMN
BATTEN
2" x 6" TONGUE & GROOVE PLANK
6" MIN COVER
2" x 6" CONCRETE PIER

NOTE: THE PROPOSED NOISE WALL IS TO BE PRIVATELY OWNED AND MAINTAINED BY THE HOMEOWNERS ASSOCIATION. THE NOISE WALL SHALL BE INSPECTED AND REPAIRED AS NECESSARY AT A MINIMUM OF ONCE A YEAR.

N.T.S.

SDP-20-076



SITE DEVELOPABLE AREA:	2.00	AC	87259 SF	3 Lots / UIC Drive & Open Space
TARGET P:	1.03	IN		
SITE IMPERVIOUS:	17.65	PERCENT		
SITE Rv:	0.2088			
SITE ESDv:	1564	CF +/-		

Rv=0.05+0.009X
 V min=1.0" rainfall (1.0x0.95xV)/12
 V max=1yr rainfall=2.6" (2.6x0.95xV)/12

DA #	% IMPERV	Rv	DA (SF)	DA (AC)	MINIMUM VOLUME	MAXIMUM VOLUME	1.03" VOLUME	IMPERV PROVIDED*	IMPERV (SF)	IMPERV (AC)	GREEN AREA	REMARKS
A	24.53	0.2708	8675	0.20	196	509	202	288	2128	0.05	0.15	MICROSCALE BIOSWALE @ 0.5 POND 288 432 SF MULCH
B1	43.66	0.4429	5669.0	0.13	209	544	216	493	2475	0.06	0.07	MICROSCALE - MICRO-BIORETENTION 493 370 SF MBR
B2	23.75	0.2638	5713.0	0.13	126	327	129	160	1357	0.03	0.10	MICROSCALE BIOSWALE @ 0.5 POND 160 240 SF MULCH
C	75.28	0.7275	3337	0.08	202	526	208	504	2512	0.06	0.02	GRAVEL TRENCH / LEVEL SPREADER 504 3.5' D X 10.0' L X 3.0' W X 12 EA. TRENCH
D	34.01	0.3561	10688	0.25	317	825	327	473	3635	0.08	0.16	MICROSCALE - MICRO-BIORETENTION 473 355 SF MBR
E	16.31	0.1967	22404	0.51	367	955	378	559	3653	0.08	0.43	MICROSCALE - MICRO-BIORETENTION 559 419 SF MBR
TOTALS	27.9	0.3011	56486	1.30	1417	3685	1460	2477	15760	0.36	0.93	

DRAINAGE AREA #	AREA TREATED	FACILITY NUMBER	PERMEABLE PAVEMENT	BIO RETENTION	LANDSCAPE INFILTRATION	GREEN ROOF	BIO SWALE	GRAVEL TRENCH	X X X	ESDv VOLUME	
A	8675	1	0	0	0	0	288	0	0	288	
B1	5669	2	0	493	0	0	0	0	0	493	
B2	5713	3	0	160	0	0	0	0	0	160	
C	3337	4	0	0	0	0	504	0	0	504	
D	10688	5	0	473	0	0	0	0	0	473	
E	22404	6	0	559	0	0	0	0	0	559	
ESDv REQUIRED						1576			CF	TOTAL ESDv PROVIDED 2477	
* STORAGE 75% OF ESD TREATED						1685			CF		
EQUIVALENT ESDv PROVIDED						2247			CF		

DRAINAGE AREA SUMMARY				
AREA	A (ac.)	IMPERVIOUS	PERVIOUS	% IMP.
A	0.23	0.039	0.151	24.53
B1	0.13	0.057	0.073	43.66
B2	0.13	0.031	0.098	23.75
C	0.08	0.060	0.02	75.28
D	0.25	0.085	0.165	34.01
E	0.51	0.083	0.427	16.31
I-T	0.56	0.168	0.392	30.00

OWNERS
 LOT 6
 KARL FERRON
 MEGAN FERRON
 1019 W LEXINGTON ST
 BALTIMORE, MD 21223

OWNERS
 LOT 7
 JANICE MONTAGUE
 KOREY JACKSON
 7004 BARNETT LANE, UNIT 321
 ELKCRIDGE, MARYLAND 21075

DEVELOPER
 JANICE MONTAGUE
 7004 BARNETT LANE, UNIT 321
 ELKCRIDGE, MARYLAND 21075

OWNERS
 AVA MONTAGUE
 KOREY JACKSON
 4 BEASMAN CT
 RANDALLSTOWN, MD 21133

NO.	REVISION	DATE

**SITE DEVELOPMENT PLAN
 STORMWATER MANAGEMENT
 DRAINAGE AREA MAP
 FERRON PROPERTY
 LOTS 5-7**

TAX MAP 37 BLOCK 12 PARCEL 171
 1ST ELECTION DISTRICT
 ZONED: R-20
 PARCEL 171
 HOWARD COUNTY, MARYLAND

VOGEL ENGINEERING

TIMMONS GROUP
 3300 NORTH RIDGE ROAD, SUITE 110, ELLICOTT CITY, MD 21043
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PROFESSIONAL CERTIFICATE
 DESIGN BY: RHV
 DRAWN BY: IMH
 CHECKED BY: RHV
 DATE: OCTOBER 2021
 SCALE: AS SHOWN
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I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 16193, EXPIRATION DATE: 09-27-2022

7 SHEET OF 8

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

 CHIEF, DEVELOPMENT ENGINEERING DIVISION
 DATE: 11.15.21

CHIEF, DIVISION OF LAND DEVELOPMENT
 DATE: 5/26/22

DIRECTOR
 DATE: 5/26/22

ESDv DRAINAGE AREA MAP
 SCALE=1"=50'

TEST PIT DATA							
TEST PIT #	APPROX EXIST GROUND ELEV	APPROX PROP GROUND ELEV	LOWEST INVERT NEAR FACILITY / PRACTICE	EXCAVATION PROVIDED	INVERT ELEVATION TEST PIT	ROCK DEPTH	WATER ELEV
B-1	246.50	246.00	N/A	10.0	236.5	N/A	236.5
B-2	236.50	239.00	236.67	8.0	228.5	N/A	228.5
B-3	237.00	235.00	232.34	10.0	227.0	N/A	228.5
B-4	235.00	234.00	227.17	10.0	225.0	N/A	228.0

SWM PRACTICE CHART		
ESD PRACTICES BY LOT		
LOT #	ADDRESS	ESD PRACTICE
#5	6463 RUXTON DR.	MICRO BIO-RETENTION (M-6)
#6	6467 RUXTON DR.	MICRO BIO-RETENTIONS (M-6)
#7	6462 RUXTON DR.	MICRO-BIORETENTION (M-6)
#8	O.S. LOT 8 - RUXTON DR.	BIO-SWALE (M-8), GRAVEL TRENCH (M-5)

