

GENERAL NOTES

- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF HOWARD COUNTY PLUS MSHA STANDARDS AND SPECIFICATIONS IF APPLICABLE.
- THE CONTRACTOR SHALL NOTIFY THE DEPARTMENT OF PUBLIC WORKS, BUREAU OF ENGINEERING, CONSTRUCTION INSPECTION DIVISION AT (410) 313-1800 AT LEAST FIVE (5) WORKING DAYS PRIOR TO THE START OF WORK.
- THE CONTRACTOR SHALL NOTIFY "MISS UTILITY" AT 1-800-251-TITI AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION WORK BEING DONE.
- PROJECT BACKGROUND:

LOCATION:	TAX MAP #46, GRIDS 3 & 4
ZONING:	MXD-3
ELECTION DISTRICT:	5TH
PARCEL B-II AREA:	0.80111 AC.
REG. REF.:	PLAT No. 19103
- THE CONTRACTOR SHALL NOTIFY THE HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS, BUREAU OF UTILITIES AT (410) 313-4400 AT LEAST FIVE (5) WORKING DAYS PRIOR TO STARTING ANY EXCAVATION WORK.
- PROPOSED USE: RESTAURANTS
- ALL PLAN DIMENSIONS ARE TO FACE OF BUILDING UNLESS OTHERWISE NOTED. DIMENSIONS ARE MEASURED PERPENDICULAR OR RADIIALLY BETWEEN ITEMS UNLESS OTHERWISE NOTED.
- EXISTING TOPOGRAPHY IS FROM FIELD SURVEY OF PARCEL B-II DONE IN JANUARY 2020 BY GUTSCHICK, LITTLE & NEBER, P.A. 4 BY DESIGN GRADES FROM DESIGN PLANS FOR CONSTRUCTION.
- COORDINATES AND BEARINGS ARE BASED UPON THE '83 MD STATE COORDINATE SYSTEM (NAD 83) AS PROJECTED BY HOWARD COUNTY GEODETIC CONTROL STATIONS NO. 41EA, 41EB, 41EA AND NO. 46B2.
- SITE IS BEING DEVELOPED UNDER MXD-3 REGULATIONS, PER ZDP#14, APPROVED ON 2/28/01 AND ZB-1029#1 APPROVED 03/20/06 AND THE COMPREHENSIVE ZONING PLAN DATED 02/22/04. UNDERLYING ZONING IS RR-DEO AND THE COMP LITE ZONING REGULATION AMENDMENTS DATED 01/28/06.
- THE PREVIOUS DEPARTMENT OF PLANNING AND ZONING FILE NUMBERS:

S 01-17, S-06-16, ZB-945M, ZB-1039M, FB-353, FB-378, P-07-10, F-08-54, F-08-55, SDP-07-43, NP-05-12, NP-07-122, NP-08-04, F-08-105, SDP-08-056, SDP-08-058 (NULL), SDP-08-114, F-II-04T and F-14-043.

- FOR EXISTING PUBLIC WATER AND SEWER SEE CONTRACT Nos. 24-4543-D.
- ALL ON-SITE STORM DRAIN SYSTEMS ARE PRIVATE.
- STORMWATER MANAGEMENT, FOR BOTH QUALITY AND QUANTITY, FOR THE DEVELOPMENT PROPOSED BY THESE PLANS IS SATISFIED BY AN EXISTING FACILITY CONSTRUCTED UNDER F-03-07, ON OPEN SPACE LOT 3. THE FACILITY IS PRIVATELY OWNED AND MAINTAINED. THE RECHARGE REQUIREMENTS FOR THIS DEVELOPMENT IS PROVIDED BY FACILITIES BUILT THRU OUT MAPLE LAWN.
- EXISTING UTILITIES ARE BASED ON APPROVED DESIGN PLANS FOR CONSTRUCTION AND FIELD LOCATION BY GUTSCHICK, LITTLE & NEBER, P.A.
- THERE ARE NO KNOWN CEMETERIES, GRAVE SITES OR HISTORIC STRUCTURES LOCATED ON THE SUBJECT PROPERTY.
- THERE ARE NO SCENIC ROADS WITHIN OR ADJACENT TO THE SUBJECT PROPERTY.
- THERE IS NO FLOODPLAIN ON PARCEL B-II OR THE ADJACENT PARCELS.
- THERE ARE NO WETLANDS ON PARCEL B-II OR THE ADJACENT PARCELS.
- AS A COMMERCIAL DEVELOPMENT, A NOISE STUDY IS NOT REQUIRED FOR THIS SDP.
- BUILDING AND PARKING SETBACKS ARE IN ACCORDANCE WITH THE APPROVED DEVELOPMENT CRITERIA PER S-06-16.
- THE RESIDENTIAL LOTS, PARCELS AND EMPLOYMENT USE STRUCTURES DEVELOPED OR PROPOSED ON THE ORIGINAL 501 ACRES TRACT FOR MAPLE LAWN FARMS ARE TO THE FOURTH EDITION OF THE SUBDIVISION AND LAND DEVELOPMENT REGULATIONS AS DEVELOPED UNDER S-01-11, FB CASE 353 AND ZB CASE NO. 915M. HOWEVER, THE PROPOSED RESIDENTIAL AND EMPLOYMENT USES THAT ARE TO BE DEVELOPED UNDER CSP, S-06-16 AND ZB CASE NO. 1039M FOR THE FORMER NESSER AND OLIVER PROPERTIES ARE SUBJECT TO THE REVISED FIFTH EDITION OF THE SUBDIVISION AND REGULATIONS PER COUNCIL BILL NO. 45-2003 AND THE ZONING REGULATIONS PER COUNCIL BILL NO. 75-2003.
- THE TRAFFIC STUDY (APPROVED) BY THE TRAFFIC GROUP, INC. WAS APPROVED AS PART OF SKETCH PLAN S-06-016. THIS TRAFFIC STUDY WAS RE-EVALUATED BY THE TRAFFIC GROUP, INC. FOR THE PROPOSED PANERA BREAD RESTAURANT ON MAY 20, 2020 AND FOUND TO BE CONSISTENT WITH THE APPROVED TRAFFIC STUDY FOR MAPLE LAWN FARMS.
- FOREST CONSERVATION FOR THIS SITE HAS BEEN PROVIDED UNDER F-08-54.
- THE RESTAURANT BUILDING ON PARCEL B-II SHALL HAVE AN AUTOMATIC FIRE PROTECTION SPRINKLER SYSTEM W/ AN INSIDE METER.
- THE SHARED ACCESS AND PARKING AGREEMENT FOR PARCELS B-6, B-10, B-II AND B-22 THRU B-26 IS RECORDED AT L1104 F.353 (SEE SHEET 4 "SHARED PARKING ANALYSIS").
- ALL EXTERIOR LIGHT FIXTURES SHALL BE ORIENTED TO DIRECT LIGHT INWARDS AND DOWNWARDS AWAY FROM ALL ADJOINING RESIDENTIAL USE AREAS AND PUBLIC ROADS IN ACCORDANCE WITH SECTION B4 OF THE HOWARD COUNTY ZONING REGULATIONS.
- THE LOADING AND UNLOADING DELIVERIES CAN ONLY OCCUR OUTSIDE OF NORMAL BUSINESS HOURS OF OPERATION.
- THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE PROVISIONS OF SECTION 16.124 OF THE HOWARD COUNTY CODE, THE LANDSCAPE MANUAL AND S-06-016. FINANCIAL SURETY OF \$120,000 FOR THE REQUIRED LANDSCAPING TO SATISFY SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL SHALL BE POSTED WITH THE GRADING PERMIT APPLICATION (FOR ADDITIONAL INFORMATION ON THE LANDSCAPE SURETY CALCULATIONS, SEE SHEET 7).
- HEALTH DEPARTMENT APPROVAL OF THIS SITE DEVELOPMENT PLAN DOES NOT ENSURE APPROVAL OF BUILDING PERMIT APPLICATIONS ASSOCIATED WITH THIS PLAN. PLANS FOR CERTAIN FACILITIES TO BE CONSTRUCTED WITHIN THE LIMITS DESCRIBED BY THIS PLAN WILL REQUIRE REVIEW AND APPROVAL BY THE HEALTH DEPARTMENT. SUCH FACILITIES MAY INCLUDE, BUT ARE NOT LIMITED TO, THOSE WHICH HAVE SWIMMING POOLS, OR THAT SELL PREPARED OR PACKAGED FOODS, OR THAT MAY HAVE EQUIPMENT THAT EMITS RADIATION.
- THE PLANNING BOARD APPROVED THIS SDP ON 02/18/2021.

SITE DEVELOPMENT PLAN

MAPLE LAWN FARMS

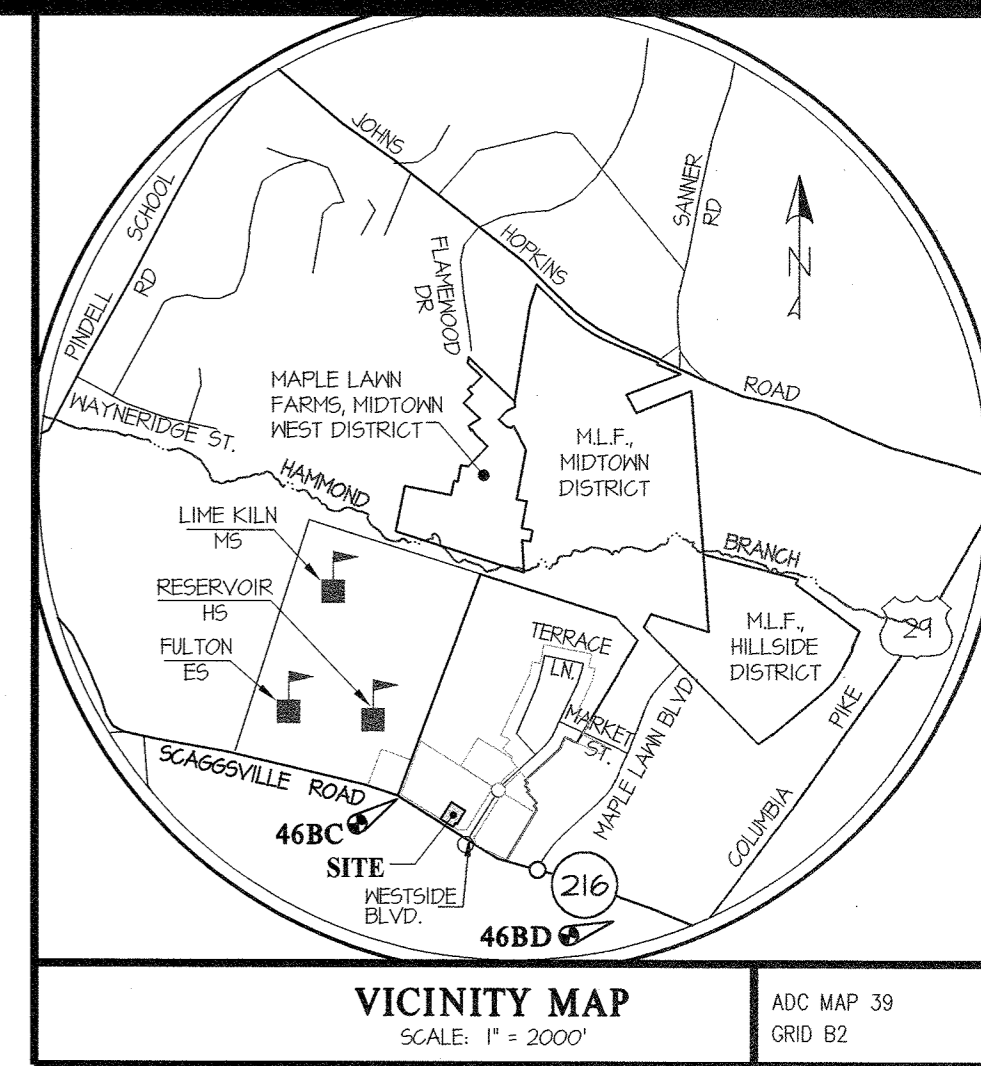
Westside District - Area 1

Parcels B-11 (Restaurant)

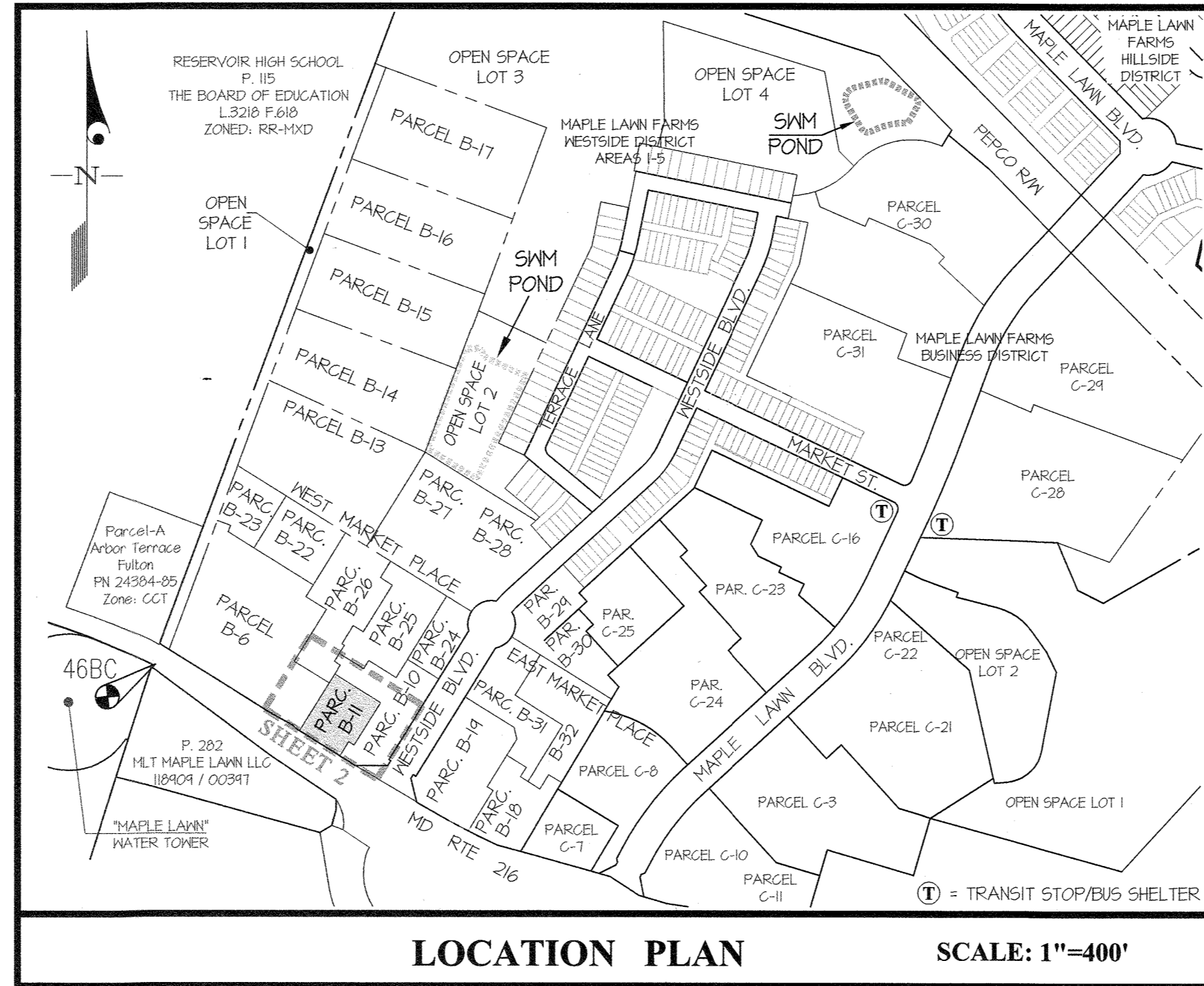
HOWARD COUNTY CONTROL
 NAD83 HORIZONTAL DATA &
 NVD88 VERTICAL DATA

46BC
 ELEV. = 412.16
 N = 594425.13 E=1331205.71
 STANDARD DISC. ON CONCRETE MONUMENT

46BD
 ELEV. = 481.17
 N = 530456.76 E=1334461.55
 STANDARD DISC. ON CONCRETE MONUMENT



FILE No.	AREA OF RETAIL (s.f.)
SDP-04-096	10,941
SDP-05-008	9,312
SDP-05-036	0
SDP-05-047	0
SDP-06-067	0
SDP-06-148	0
SDP-07-002	14,918
*SDP-08-056	49,815
*SDP-08-058	0
*SDP-08-114	33,892
SDP-09-060	0
SDP-10-002	0
SDP-10-067	13,281
SDP-12-059	0
SDP-14-007	0
SDP-16-011	0
SDP-16-048	0
THIS SDP	0
TOTAL	132,159



- SITE ANALYSIS DATA**
- ZONING: MXD-3.
 - GROSS AREA OF PARCEL B-II = 34,895 SF. OR 0.80111 AC. PER PLAT NO. 19103
 - LIMIT OF DISTURBED AREA = 0.4084 AC.
 - PROPOSED USE: RESTAURANT
 - PROPOSED BUILDING GROSS AREA: APPROX. 4,021 SF.
 - FLOOR AREA RATIO (F.A.R.) 0.12 (4,021/34,895)

- NOTES:**
- A TOTAL OF 152,310 SF. OF RETAIL IS ALLOWED IN ACCORDANCE WITH S-01-11, OR A TOTAL OF 181,940 SF. OF RETAIL UNDER S-06-16.
 - THE WESTSIDE AREA-1 SOUTHWEST QUADRANT (west of Messias Blvd. and south of West Market Place) IS COMPOSED OF THE THREE 20% PORTION WITH AN ASTERISK (*). THE TOTAL RETAIL AREA IN THIS QUADRANT IS 85,101 SQ. FEET. THE TOTAL COMMERCIAL AREA IN THIS SAME QUADRANT IS 112,843 SF. (which is the sum of the floor areas for SDP-08-056, SDP-08-058 & SDP-08-114 shown in the FAR Tracking Chart).
 - THE RETAIL TRACKING CHART MUST BE UPDATED IF TENANT SPACE CHANGES USE TO RETAIL FOR THIS SDP.

- NP-05-02**
 ON AUGUST 20, 2004, NP 05-12 WAS GRANTED, ALLOWING THE FOLLOWING:
 1. DEVELOPMENT OR SUBDIVISION IN A CEMETERY (MAVER FROM SECTION 16.1304)
 2. REMOVAL OF HUMAN REMAINS FROM A CEMETERY PRIOR TO DEVELOPMENT (MAVER FROM SECTION 16.1306)
- NP-07-122**
 MAVER REQUEST FROM SECTION 16.146 - REQUIREMENT FOR A PRELIMINARY PLAN PRIOR TO THE PLAT APPROVAL, WAS APPROVED BY THE DEPARTMENT OF PLANNING AND ZONING UNDER THE CONDITIONS OF NP-07-122(***), WHICH WAS GRANTED ON JUNE 14, 2007 SUBJECT TO THE FOLLOWING CONDITIONS:
 1. COMPLIANCE WITH THE SRC COMMENTS ISSUED FOR THE FINAL PLAN, F-07-183 AND THE RED-LINE REVISION OF SDP-05-36.
 2. COMPLIANCE WITH THE COMMENTS DATED JUNE 14, 2007 FROM DEVELOPMENT ENGINEERING DIVISION.
 1. ADDED PARCEL C-20 TO PURPOSE NOTE.
 2. APPROVED BECAUSE IT DOES NOT HAVE AN EFFECT ON STORMWATER MANAGEMENT, OR AFFO.
 3. THIS PLAN ONLY ALLOWS FOR THE CONSTRUCTION OF AN ADDITION OF A PARKING LOT.
- NP-08-04**
 ON AUGUST 8, 2007, NP-08-04 WAS GRANTED TO MAIVE SECTION 16.120(I) WHICH REQUIRES OPEN SPACE LOTS (OPEN SPACE LOTS 1 THRU 4) TO HAVE A MINIMUM OF 40 FEET OF FRONTAGE ONTO A PUBLIC ROAD FOR ACCESS BY PEDESTRIANS AND MAINTENANCE VEHICLES.
 THE APPROVAL IS SUBJECT TO THE FOLLOWING CONDITIONS:
 1. BOLLARD MARKERS OR SOME FORM OF PERMANENT SIGNAGE SHALL BE INSTALLED AT THE PUBLIC OR PRIVATE ROAD FRONTS TO IDENTIFY PEDESTRIAN AND VEHICULAR ACCESS TO OPEN SPACE LOTS 1 THRU 4 AND FOR OPEN SPACE LOTS 2 AND 4 AT THE 50M ACCESS EASEMENT TO IDENTIFY MAINTENANCE VEHICLE ACCESS TO THE 50M FACILITIES.
 2. SUBJECT TO THE SRC COMMENTS ISSUED FOR PRELIMINARY PLAN, P-07-18.
 3. THE MINIMUM PUBLIC ROAD FRONTAGE FOR HOA OPEN SPACE LOT 2 SHALL BE INCREASED IN WIDTH FROM THE 14 FEET PRESENTLY PROPOSED ON THE MAVER PLAN EXHIBIT TO A MINIMUM OF 20 FEET IN WIDTH.
 4. A 20' WIDE MINIMUM UNRESTRICTED PUBLIC OR PRIVATE ROAD ACCESS MUST BE PROVIDED TO SERVE AS AN ENTRANCEWAY LEADING INTO HOA OPEN SPACE LOT 4 (FUTURE HOA RECREATIONAL BALL FIELDS) TO ACCOMMODATE PEDESTRIAN ACCESS AND PERIODIC ACCESS FOR MAINTENANCE AND EMERGENCY VEHICLES.
 5. THE PROCESSING OF THIS MAVER REQUEST FOR THE MINIMUM OPEN SPACE FRONTAGE REQUIREMENTS FOR OPEN SPACE LOTS 1 THRU 4 AS SHOWN ON P-07-18 SHALL BE CONSIDERED AS A TEMPORARY DEFERRAL OF THE PUBLIC OR PRIVATE ROAD REQUIREMENT UNTIL THE FINAL SUBDIVISION PLANS ARE SUBMITTED FOR THIS PROJECT.

COMMERCIAL DEVELOPMENT DESIGN CRITERIA PER S-06-16

- PARCEL SIZE**
 NO MINIMUM OR MAXIMUM PARCEL SIZES APPLY IN THE EMPLOYMENT LAND USE AREAS.
- HEIGHT**
 MAXIMUM BUILDING HEIGHT SHALL BE LIMITED TO 100' UNLESS APPROVED TO BE GREATER ON A SITE DEVELOPMENT PLAN BY THE HOWARD COUNTY PLANNING BOARD. ADDITIONALLY, THE FOLLOWING SHALL APPLY:
 • COMMERCIAL BUILDINGS AT THE CORNER OF JOHNS HOPKINS ROAD AND MAPLE LAWN BOULEVARD SHALL NOT EXCEED THREE STORIES.
 • COMMERCIAL BUILDINGS EAST OF MAPLE LAWN BOULEVARD AT THE FOCAL POINT SHALL NOT EXCEED FOUR STORIES.
 • COMMERCIAL BUILDINGS IN THE BUSINESS DISTRICT WITHIN 300 FEET OF MD ROUTE 216 SHALL NOT EXCEED ONE STORY.
 • COMMERCIAL BUILDINGS IN THE BUSINESS DISTRICT LOCATED BETWEEN 300 FEET AND 500 FEET FROM MD ROUTE 216 SHALL NOT EXCEED FOUR STORIES.
 • COMMERCIAL BUILDINGS IN THE BUSINESS DISTRICT BEYOND 500 FEET FROM MD ROUTE 216 SHALL NOT EXCEED EIGHT STORIES ABOVE THE HIGHEST ADJOINING GRADE.
 • COMMERCIAL BUILDINGS IN THE WESTSIDE DISTRICT WITHIN 300 FEET OF MD ROUTE 216 SHALL NOT EXCEED TWO STORIES.
 • COMMERCIAL BUILDINGS IN THE WESTSIDE DISTRICT BEYOND 300 FEET FROM MD ROUTE 216 SHALL NOT EXCEED FOUR STORIES ABOVE THE HIGHEST ADJOINING GRADE.
- PERMITTED USES**
 THE FOLLOWING USES ARE PERMITTED IN EMPLOYMENT LAND USE AREAS:
 EMPLOYMENT USES PERMITTED ONLY WITHIN M-1 ZONING DISTRICT SHALL NOT BE PERMITTED. ALL USES PERMITTED AS A MATTER OF RIGHT IN THE FOR, B-I AND M-1 DISTRICTS, AS PER PETITIONERS FOR EXHIBIT 18, WITHOUT REGARD TO ANY LIMITATIONS OR RESTRICTIONS ON RETAIL OR PERSONAL SERVICE USES OTHERWISE PERMITTED IN SUCH DISTRICTS, FAST FOOD, CONVENIENCE STORES, COUNTRY CLUBS AND GOLF COURSES, MOVIE THEATERS, LEGITIMATE THEATERS AND DINNER THEATERS, PUBLIC UTILITY USES (EXCLUDING STAND-ALONE COMMUNICATION TOWERS), GROUP CARE FACILITIES, HOUSING FOR THE ELDERLY AND/OR HANDICAPPED PERSONS, NURSING HOMES AND SHELTERED HOUSING. PARCEL A-2 MAY CONTAIN LIVE-WORK UNITS AS DEFINED IN THE OTHER RESIDENTIAL (OR) SECTION. ACCESSORY STRUCTURES AND ACCESSORY USES ARE ALSO PERMITTED.
- THE FOLLOWING ADDITIONAL USES NOT REFERRED TO OR INCLUDED IN THE ABOVE USES, WHICH ARE ALLOWED BY SPECIAL EXCEPTION IN THE FOR, B-I AND M-1 DISTRICTS, WILL BE PERMITTED AS A MATTER OF RIGHT IN THE EMPLOYMENT LAND USE AREAS, AND ARE SPECIFICALLY APPROVED BY THE PLANNING BOARD ON THIS AVOIDED COMPREHENSIVE ZONING PLAN PROVIDED, HOWEVER, THAT GUARRIES, TEMPORARY WRECKED VEHICLE STORAGE AND YARD WASTE SHALL NOT BE ALLOWED.
 • PUBLIC SCHOOL BUILDINGS-TEMPORARY CONVERSION TO OTHER USES
 • THEATERS, LEGITIMATE AND DINNER
 • THEATERS, MOVIE
 • PUBLIC UTILITY USES, LIMITED TO THE FOLLOWING: UTILITY SUBSTATIONS, ABOVE GROUND PIPELINES, PUMPING STATIONS, TELEPHONE STATIONS, AND TELEPHONE EXCHANGES, BUT NO STAND-ALONE COMMUNICATIONS TOWERS.
- THE FOLLOWING USE RESTRICTIONS ALSO APPLY:
 • NO MORE THAN 10% OF THE TOTAL EMPLOYMENT LAND USE AREA MAY BE DEVOTED TO WAREHOUSE AND LIGHT MANUFACTURING USES.
 • CEMETERIES, HANGARS & CREMATORIES ARE NOT ALLOWED.
 • A MAXIMUM OF ONE GASOLINE SERVICE STATION IS PERMITTED. THE GASOLINE SERVICE STATION MAY INCLUDE A CAR WASH, CAR REPAIR FACILITIES, AND/OR CONVENIENCE STORE FOOD.
 • NO SINGLE RETAIL CENTER SHALL CONTAIN MORE THAN 150,000 SQUARE FEET OF GROSS FLOOR AREA DESIGNATED FOR USE BY RETAIL AND PERSONAL SERVICE BUSINESSES. DESIGNATED RETAIL CENTERS MAY INCLUDE RETAIL STORES, PERSONAL SERVICE ESTABLISHMENTS, AND SIMILAR USES, AS WELL AS FAST FOOD RESTAURANTS AND A GASOLINE SERVICE STATION; HOWEVER, FOR ALL RETAIL CENTERS THE TOTAL SQUARE FOOT AREA WHICH MAY BE USED FOR RETAIL AND PERSONAL SERVICE BUSINESS SHALL NOT EXCEED 150,000 SQUARE FEET PER GROSS ACRES. NO INDIVIDUAL RETAIL ESTABLISHMENT WITHIN THE MXD-3 DISTRICT SHALL HAVE A GROSS FLOOR AREA GREATER THAN 65,000 SQUARE FEET. RETAIL AND PERSONAL SERVICES AND OTHER ALLOWED USES, SUCH AS RESTAURANTS AND A GASOLINE SERVICE STATION MAY ALSO BE LOCATED WITHIN OTHER DESIGNATED EMPLOYMENT AREAS OUTSIDE OF A RETAIL CENTER.
- SECTION 1202F SHALL APPLY TO EMPLOYMENT LAND USE AREAS.
- COVERAGE**
 NO COVERAGE REQUIREMENT IS IMPOSED IN EMPLOYMENT LAND USE AREAS.
- FLOOR AREA RATIO (FAR)**
 OVERALL LIMIT IS 0.35 CALCULATED ON THE TOTAL ACREAGE FOR ALL EMPLOYMENT LAND USE AREAS.

- SETBACKS (ALSO SEE "PROJECT BOUNDARY SETBACKS")**
 THE MINIMUM SETBACK FOR EMPLOYMENT/COMMERCIAL STRUCTURES SHALL BE AS FOLLOWS:
 • 50' FROM THE BOUNDARY LINE ALONG JOHNS HOPKINS ROAD OR ROUTE 216
 • 10' FROM THE RIGHT-OF-WAY OF MAPLE LAWN BOULEVARD
 • NO SETBACK IS REQUIRED FROM THE RIGHT-OF-WAY OF ANY INTERNAL PUBLIC OR PRIVATE ROADS OTHER THAN FOR MAPLE LAWN BOULEVARD AS NOTED ABOVE.
 • 10' FROM ANY OTHER PROPERTY LINE
- PARKING SETBACKS**
 • 15' TO PUBLIC RIGHT-OF-WAY OF MAPLE LAWN BOULEVARD (EXCEPT FOR PARALLEL PARKING ADJACENT TO ROADWAY)
 • 10' TO ANY OTHER PROPERTY OR BOUNDARY LINE (EXCEPT FOR PARALLEL PARKING ADJACENT TO ROADWAY, OR WHERE A PARCEL LINE LIES WITHIN A USE-IN-COMMON PARKING AREA SERVING MULTIPLE PARCELS.)
 • 20' TO PROJECT BOUNDARY LINE ALONG JOHNS HOPKINS OR ROUTE 216
- EXCEPTIONS TO SETBACK REQUIREMENTS**
 STRUCTURES MAY BE LOCATED ANYWHERE WITHIN SETBACK AREAS IN ACCORDANCE WITH A SITE DEVELOPMENT PLAN APPROVED BY THE HOWARD COUNTY PLANNING BOARD.
 EXCEPT FOR THE FOLLOWING, SECTION 1202A1 APPLIES:
 A. BAY WINDOWS, EAVES, FRENCH BALCONIES, PORTICOS, CORNICES, ANNINGS, SIGNS, AND SIMILAR ARCHITECTURAL ELEMENTS MAY ENCROUGH FULLY INTO ANY SETBACK.
 B. ARCADES MAY ENCROUGH INTO ANY SETBACK TO WITHIN 1' OF THE PROPERTY LINE, WHERE SUCH ARCADES ARE PROPOSED, THE FRONT FAÇADE MAY ALIGN VERTICALLY WITH THE FRONT OF THE ARCADE, THEREBY REDUCING THE REQUIRED FRONT SETBACK ACCORDINGLY. AN ARCADE IS AN ARCHED BUILDING, OR PORTION OF A BUILDING, OR GALLERY OFTEN COVERED WITH A ROOF STRUCTURE OR BUILDING SUPPORTED BY A SERIES OF ARCHES AND/OR COLUMNS OR PERS.
- PARKING**
 a. A MINIMUM OF FIVE PARKING SPACES SHALL BE PROVIDED FOR EACH 1,000 SQUARE FEET OF NET LEASABLE AREA DEVOTED TO COMMERCIAL RETAIL SALES USES.
 b. A MINIMUM OF 33 PARKING SPACES SHALL BE PROVIDED FOR EACH 1,000 SQUARE FEET OF NET LEASABLE AREA THAT IS DEVOTED TO OFFICE OR RESEARCH AND DEVELOPMENT USES.
 c. NO PARKING REQUIREMENT IS IMPOSED UPON ANY RESTAURANT, COFFEE SHOP OR SIMILAR FACILITY CONSTRUCTED WITHIN BUILDINGS WHICH PRIMARILY SERVES TENANTS AND EMPLOYEES OF SUCH BUILDINGS, OR NEIGHBORING BUILDINGS ACCESSIBLE BY PEDESTRIANS.
 d. ONE PARKING SPACE SHALL BE PROVIDED FOR EACH BEDROOM CONTAINED WITHIN ANY HOTEL, INN OR SIMILAR FACILITY AND ONE PARKING SPACE SHALL BE PROVIDED FOR EACH FIVE EMPLOYEES OF SUCH FACILITY.
 e. ONE PARKING SPACE SHALL BE PROVIDED FOR EACH THREE SEATS WITHIN ANY RESTAURANT, COFFEE SHOP OR SIMILAR FACILITY CONSTRUCTED WITHIN A HOTEL, INN OR SIMILAR FACILITY OR AS A RESTAURANT'S STRUCTURE AND ONE PARKING SPACE SHALL BE PROVIDED FOR EACH FIVE EMPLOYEES OF ANY SUCH FACILITY.
 f. ONE PARKING SPACE SHALL BE PROVIDED FOR EACH TWO BEDS IN ANY HOSPITAL OR CLINIC; ONE PARKING SPACE SHALL BE PROVIDED FOR EACH EMPLOYEE ON A MAJOR SHIFT; AND EIGHT PARKING SPACES SHALL BE PROVIDED FOR EACH DOCTOR TREATING OUTPATIENTS ON A MAJOR SHIFT.
 g. INDUSTRIAL USES:
 WAREHOUSE 0.5 SPACES PER 1,000 SQUARE FEET OF NET LEASABLE AREA
 "FLEX" SPACE (INDUSTRIAL/OFFICE) 2.5 SPACES PER 1,000 SQUARE FEET OF NET LEASABLE AREA
 OTHER INDUSTRIAL 2.0 SPACES PER 1,000 SQUARE FEET OF NET LEASABLE AREA
- RECREATIONAL USES:**
 HEALTH CLUB 100 SPACES PER 1,000 SQUARE FEET OF NET LEASABLE AREA
 SWIMMING POOL, COMMUNITY 1.0 SPACE PER SEVEN PERSONS PERMITTED IN THE POOL AT ONE TIME BY THE DEPT. OF HEALTH
 TENNIS COURT 2.0 SPACES PER COURT
- *NET LEASABLE AREA IS DEFINED AS 10% OF THE GROSS FLOOR AREA (AFTER DEDUCTING ANY AREAS DEVOTED TO STORAGE AND COMMON USES), UNLESS A MORE PRECISE VALUE IS DETERMINED BY REDUCING THE GROSS FLOOR AREA BY AREAS DEVOTED TO PARKING, VEHICULAR CIRCULATION, OFFICE BUILDING STORAGE AREAS, EQUIPMENT AND MECHANICAL ROOMS/AREAS, LOCKER AND SHOWER FACILITIES, ENTRANCE Foyers/atrium and SIMILAR AREAS.
 REQUIRED MINIMUM PARKING FOR ALL SUCH COMMERCIAL AND EMPLOYMENT USES SHALL BE NET OFF-STREET. ADDITIONAL PARKING MAY BE ACCOMMODATED ON-STREET, IN PARALLEL PARKING WITHIN PUBLIC ROAD RIGHTS-OF-WAY, PARALLEL SPACES LOCATED ON PAVED AREAS ADJACENT TO PUBLICLY MAINTAINED ROADWAYS OR ORIENTED DIAGONALLY OR AT RIGHT ANGLES TO SUCH ROADWAYS, IN AND/OR OUT OF THE PUBLIC R/W.
 REDUCTIONS IN PARKING REQUIREMENTS ARE PERMITTED PURSUANT TO THE HOWARD COUNTY ZONING REGULATIONS SECTIONS 133.2.B (PARKING STUDIES), 133.E1 (SHARED PARKING) AND 133.E.2 (TRIP REDUCTION PLANS).

DPZ File Numbers	MIF District	Parcel Area (ac. s.f.)	Gross Floor Area (s.f.)	F.A.R.
SDP-04-44 (Office Bldg-1)	Business	4.40	191,550	93,945 0.49
SDP-04-96 (Retail Bldg-1 and Bank)	Business	3.17	137,933	24,088 0.17
SDP-05-08 (Retail Bldg-2 and Gas Station)	Business	3.20	139,520	22,218 0.16
SDP-05-36 (Office Bldg-2, Par. C-24)	Business	3.99	173,818	93,945 0.54
SDP-05-47 (Office Bldg-3, Par. C-21 and Bank, Par. C-22)	Business	5.58	243,230	123,740 0.51
SDP-06-67 (Office Bldg-4, Par. C-23)	Business	3.49	152,117	100,288 0.66
SDP-06-148 (Medical and Office Buildings)	Midtown	8.54	371,950	134,759 0.36
SDP-07-02 (Bank, School, Retail & Restaurant)	Midtown	7.36	320,659	47,133 0.15
SDP-08-56 (Harris Teeter Grocery Store, Par. B6)	Westside	4.24	184,615	49,815 0.27
SDP-08-058 (Bank, Parcel B-11) NULL & VOIDED	Westside			
SDP-08-114 (Parcels B-7 thru B-10 and B-22 & B-26)	Westside	6.51	283,685	58,574 0.21
SDP-09-060 (Parcels B-13 thru B-17)	Westside	17.06	743,157	210,100 0.28
SDP-10-002 (Office Bldg-2A, Par. C-25)	Business	1.54	66,954	34,375 0.51
SDP-10-067 (Bldg-7, Parcel B-18 & Bldg-8, Parcel B-19)	Westside	2.81	122,406	17,192 0.14
SDP-12-059 (Office-6, Parcel C-28)	Business	6.00	261,261	139,421 0.53
SDP-14-007 (Office-8, Parcel C-29)	Business	5.73	249,400	130,629 0.52
SDP-16-011 (Office Bldg-10, Parcel C-22)	Business	4.35	189,537	104,412 0.55
SDP-16-048 (Office-9, Parcel C-33)	Business	3.97	172,926	102,263 0.59
SDP-16-007 (Hotel Bldg-14 & Office Bldg-15)	Westside	3.63	158,063	108,667 0.69
SDP-17-011 (Bldg-12a & Bldg-12b)	Westside	1.55	67,385	12,026 0.18
SDP-17-026 (Bldg-9 & Bldg-10)	Westside	2.59	112,996	20,258 0.18
SDP-18-051 (Office-7, Parcel C-34)	Business	4.68	204,025	115,981 0.57
SDP-20-038, this SDP (Restaurant, Parcel B-11)	Westside	0.80	34,895	4,021 0.12
Employment Area Recorded as Road R/W		13.28	578,314	0 0.00
Running Sub-total		118.47	5,160,396	1,747,850 0.34
Total Area Allowed to be Recorded as Employment		122.00		1,860,012 0.35
TOTAL REMAINING EMPLOYMENT AREA (acres)		3.53		

The maximum total floor area permitted per S-0-16 is 1,860,012 s.f. (0.35 FAR) which is 35% of 122.0 acres.

SEE SHEET 4 FOR PARKING INFORMATION

1. COVER SHEET
2. SITE DEVELOPMENT PLAN
3. SITE DETAILS
4. SHARED PARKING ANALYSIS
5. SEDIMENT CONTROL PLAN
6. STORM DRAIN DRAINAGE AREA and UTILITY PROFILES
7. LANDSCAPE PLAN

BUILDING ADDRESS:	8140 WESTSIDE BOULEVARD		
SUBDIVISION NAME:	SECTION/AREA	PARCEL	
MAPLE LAWN FARMS	WESTSIDE DISTRICT/AREA 1	B-II	
PLAT No.	ZONE	TAX MAP BLOCK	ELEC. DIST.
19102/03	MXD-3	4 3 & 4	5
WATER CODE:	SEWER CODE:	GENSUS TRACT	
E2	1465000	6051.02	

APPROVED
PLANNING BOARD OF HOWARD COUNTY

DATE: 02/18/2021

APPROVED: FOR PUBLIC WATER & SEWERAGE SYSTEM
 HOWARD COUNTY HEALTH DEPARTMENT

[Signature] 4/1/21
 County Health Officer Date

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

[Signature] 5-27-21
 Director Date

[Signature] 5/26/21
 Chief, Division of Land Development Date

[Signature] 4-27-21
 Chief, Development Engineering Division Date

GLW
 PLANNING | ENGINEERING | SURVEYING

3809 NATIONAL DRIVE | SUITE 250 | BURTONSVILLE, MD 20886 | GLWPA.COM
 PHONE: 301-421-4024 | BALT: 410-880-1820 | DC&VA: 301-889-2524 | FAX: 301-421-4188

DESIGNED BY:	
DRAWN BY:	
KLK	
CHECKED BY:	
DKG	
DATE:	REVISION

PREPARED FOR:

Owner/Landlord: G&R Wesell, LLC 1829 Reisterstown Road Suite 300 Baltimore, MD 21208	Tenant: Lemak, LLC 8184 Lark Brown Road Suite 201 Elkridge, MD 21075
Attn: Mark Bennett, Sr. Ph: 410-484-8400	Attn: Brian Lemak Ph: 443-552-0700

PROFESSIONAL CERTIFICATION

I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 12975

EXPIRATION DATE: MAY 26, 2022

[Signature] 3/12/21

ELECTION DISTRICT No. 5

COVER SHEET

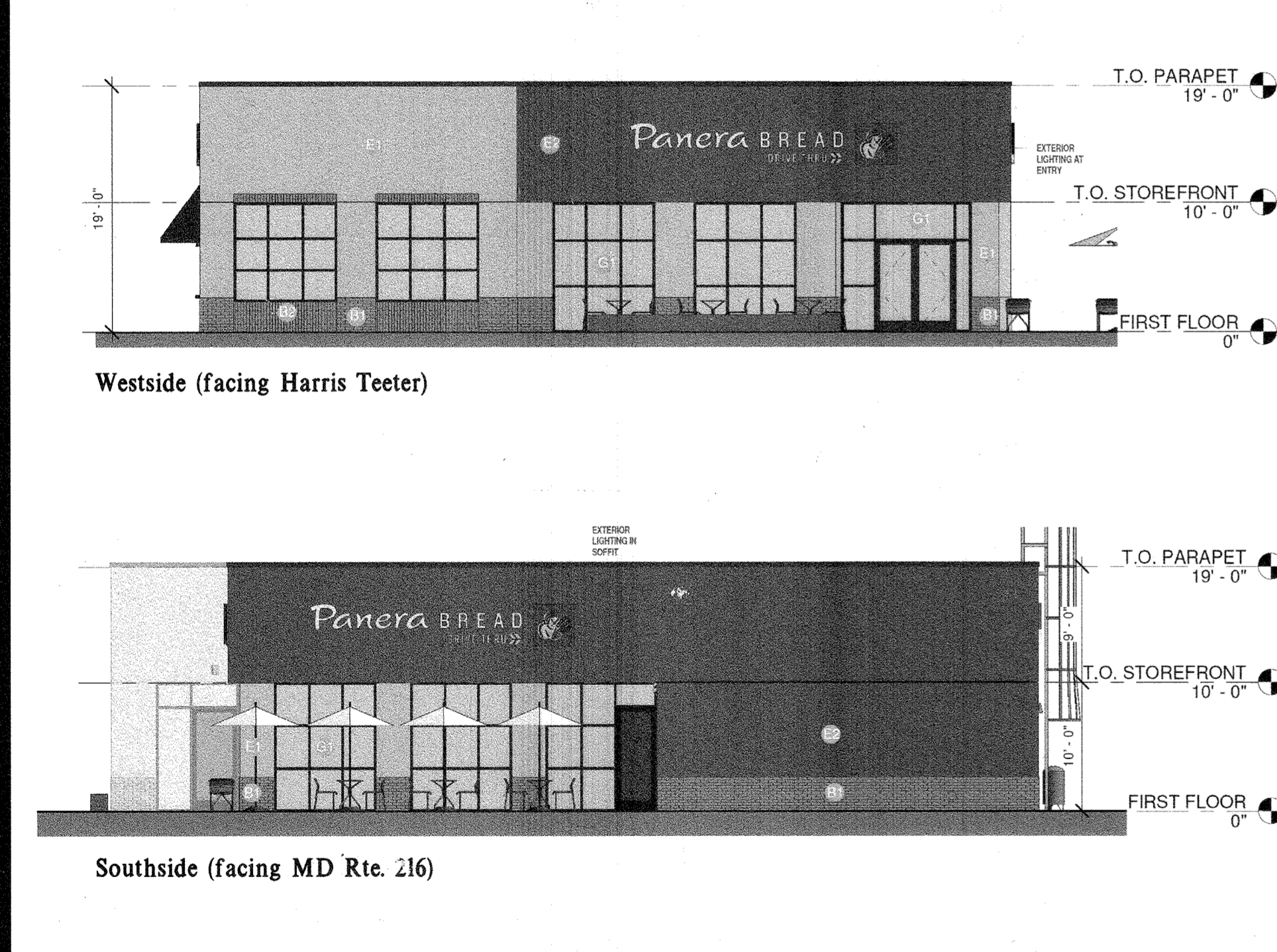
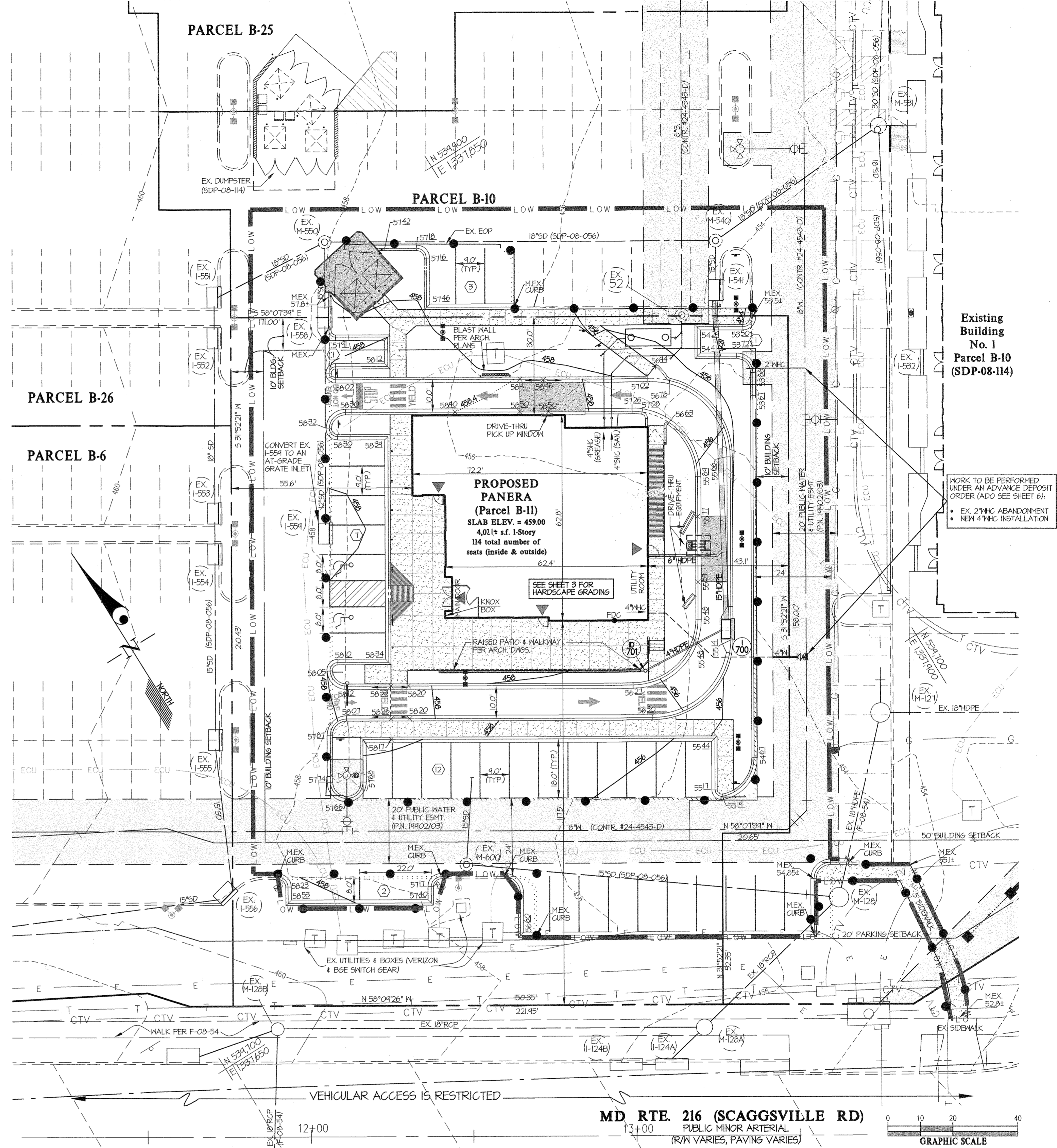
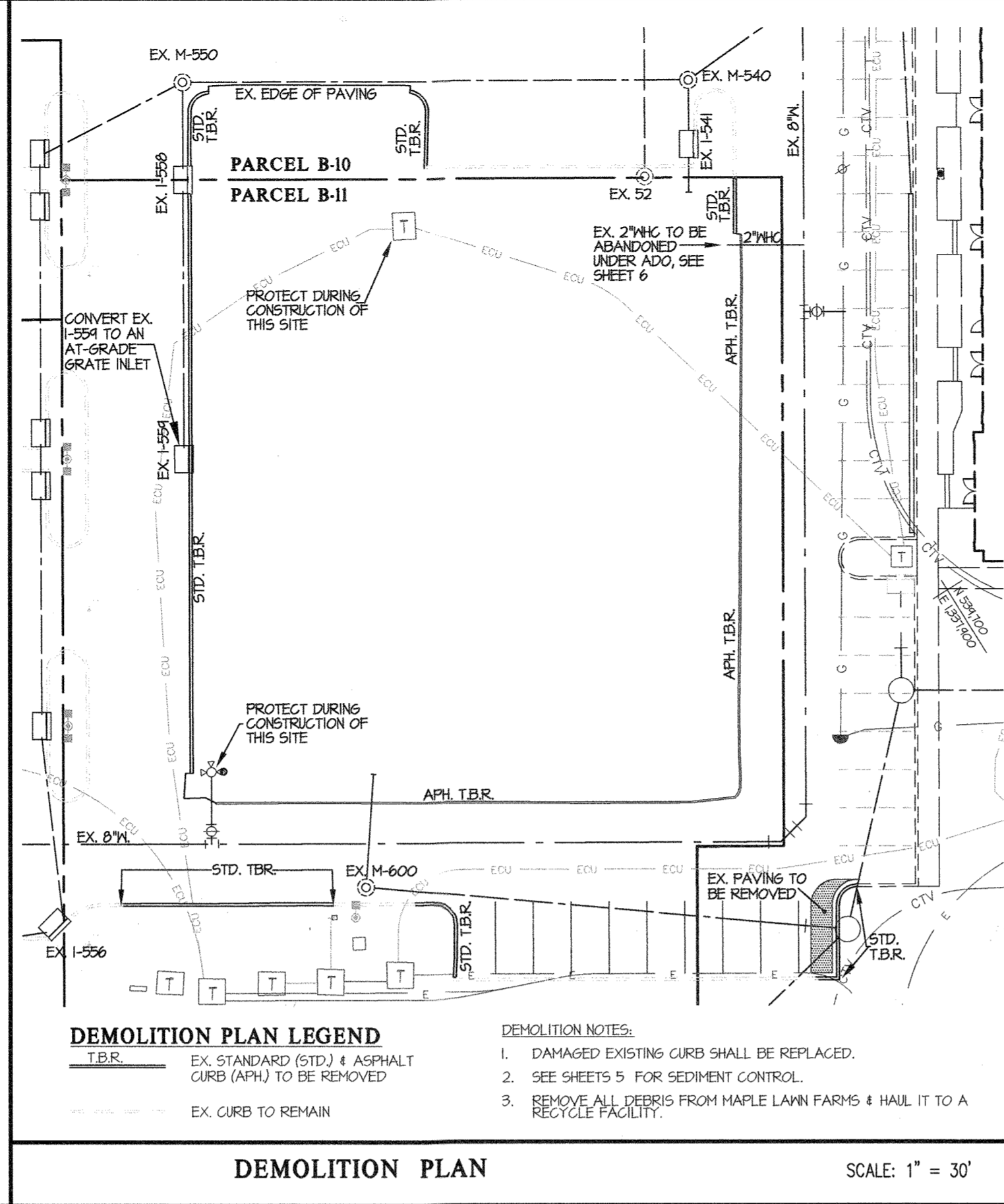
MAPLE LAWN FARMS
 WESTSIDE DISTRICT - AREA 1
 Parcel B-II
 (Restaurants)
 PLAT Nos. 19902 - 19903

SCALE	ZONING	G. L. W. FILE No.
AS SHOWN	MXD-3	17098
DATE	TAX MAP - GRID	SHEET
FEB. 2021	46 - 21	1 OF 7

SITE DEVELOPMENT PLAN LEGEND

366	EXISTING CONTOUR
300	PROPOSED 2 FT. CONTOUR LINE (EVEN)
---	PROPOSED INTERMEDIATE (ODD) CONTOUR
+	PROPOSED SPOT ELEVATION
○	MEX. EXISTING STORM DRAIN
○	PROPOSED STORM DRAIN
M	M - HANDBILE
1 -	1 - INLET
5 -	5 - STUB
○	EXISTING SANITARY SEWER
○	PROPOSED SANITARY SEWER (PRIVATE)
○	WATERLINE (PUBLIC)
○	WATERLINE (PRIVATE)
○	EXISTING FIRE HYDRANT
○	EXISTING LIGHT FIXTURES 4 POLE
○	PROPOSED LIGHT FIXTURE 4 POLE (SEE NOTE #10)
○	EXISTING CURB TO BE REMOVED
○	CONCRETE CURB 4 GUTTER (DET. 1/2), UNLESS OTHERWISE NOTED CURB WILL BE 6" HIGH
○	GUTTER PAN
○	FACE OF CURB (at flow line, bottom)
○	BACK OF CURB (BOC)
○	CURB TAPER (CT)
○	FLUSH CURB (FC) OR DEPRESSIONED CURB (DC)
○	EXISTING PARKING SPACE STRIPING
○	NUMBER OF PARKING SPACES
○	HANDICAPPED PARKING DESIGNATION
○	NEW PARKING SPACE STRIPING
○	CONCRETE SIDEWALK PER HO. CO. DET. R-3.03, 5' UNLESS NOTED OTHERWISE
○	DETECTABLE WARNING TRUNCATED DOMES PER HO. CO. DETAIL R-101
○	HANDICAP RAMP
○	ADA ACCESSIBLE DOOR
○	EASEMENT AREA (SHADED)
○	LIMIT OF DISTURBANCE (GRADING)
○	LIMIT OF WORK (includes milling 4' overlay paving of existing pavement that is beyond the LOD area)
○	EXISTING DGE TRANSFORMER
○	CTV
○	TELEPHONE LINE
○	ELECTRIC LINE
○	GAS LINE
○	GAS VALVE

- NOTES:**
- UNLESS NOTED OTHERWISE, PROPOSED SPOT ELEVATIONS ALONG THE CONCRETE CURB 4 GUTTER ARE TO THE FLOW LINE (BOTTOM OF CURB) AT THE POINTS, CORNERS AND TERMINUSES.
 - ALL ON-SITE PAVING AND ROADWAYS ARE PRIVATE.
 - ALL ON-SITE STORM DRAIN ARE PRIVATE AND SHALL BE PRIVATELY MAINTAINED. THE ON-SITE WATER IS PRIVATELY MAINTAINED, EXCEPT THE PORTION OF THE 8" AND FIRE HYDRANTS THAT ARE WITHIN THE "PUBLIC WATER 4 UTILITY EASEMENT". ALL ON-SITE PRIVATE SEWER LINES AND STRUCTURES SHALL BE PRIVATELY MAINTAINED, EXCEPT THE PORTION WITHIN THE "PUBLIC SEWER 4 UTILITY EASEMENT".
 - FOR INFORMATION ON THE EXISTING PUBLIC WATER AND SEWER, SEE DPW CONTRACT #24-4543-D.
 - UNLESS NOTED OTHERWISE, ALL PLAN DIMENSIONS ARE TO THE FACE OF STRUCTURE (BUILDING, CURB, ETC.). DIMENSIONS ARE MEASURED PERPENDICULAR OR RADIAL BETWEEN ITEMS, UNLESS NOTED OTHERWISE.
 - UNLESS NOTED OTHERWISE, ALL CURB RADIUS ARE 5' (FACE OF CURB @ THE FLOW LINE).
 - THE WATER METER IS LOCATED INSIDE THE BUILDING (AND THE BUILDING IS EQUIPPED WITH AN AUTOMATIC FIRE SPRINKLER SYSTEM). THE INSTALLATION OF THE NEW 4" W/MG AND THE ABANDONMENT OF THE EXISTING 2" W/MG SHALL BE PERFORMED UNDER AN ADO.
 - A KNOX BOX IS REQUIRED TO BE PLACED ON THE FRONT OF THE BUILDING. IT SHALL BE PLACED TO THE RIGHT OF THE MAIN ENTRANCE AT A RANGE OF 4'-5" IN HEIGHT AND NO MORE THAN 6' LATERALLY FROM THE DOOR. THE BOX SHALL BE ELECTRONICALLY SUPERVISED (INTEGRATED WITH THE FIRE ALARM SYSTEM) TO NOTIFY THE OWNER THAT IT IS BEING ACCESSSED.
 - THE LOADING, UNLOADING, DELIVERIES AND MOVE IN/OUT CAN ONLY OCCUR OUTSIDE OF NORMAL BUSINESS HOURS OF OPERATION.
 - THE SHARED PARKING AND FACILITIES AGREEMENT IS RECORDED AT LT104 F353 (SEE SHEET 4 FOR THE "PARKING ANALYSIS").
 - THE PROPOSED PARKING LOT LIGHTS FOR THE PANERA RESTAURANT SHALL MATCH THE EXISTING SHOPPING CENTER PARKING LOT LIGHTS FOR MACEWOOD. 29' POLE HEIGHT AND CONCRETE BASE INSTALLED BY BOPAT ELECTRIC CO. (BopatElectric.com). THE CONTRACTOR SHALL VERIFY WITH THE PROPERTY OWNER THAT THE LED LIGHT FROM ALED (aleoighting.com) Cat. No. ALS-100-20K-PC-AST (BY ABE) EQUIPPED WITH PROXIMITY SENSORS ARE STILL THE CURRENT LIGHT FIXTURES TO BE INSTALLED.
 - THIS DOCUMENT INCLUDES INFORMATION AND DEPICTIONS OF BALTIMORE GAS AND ELECTRIC COMPANY'S (BGE) ELECTRIC AND/OR GAS UTILITIES LOCATED WITHIN THE PROJECT AREA (THE "BGE UTILITY INFORMATION"). LOCATIONS, DIMENSIONS, DEPTHS AND OTHER DETAILS OF ANY SUCH UTILITIES MAY NOT BE AS-BUILT, AND THE INFORMATION SHALL NOT BE RELIED UPON WITHOUT FIELD VERIFICATION. EXCAVATORS MUST EMPLOY SAFE DIGGING BEST PRACTICES WHEN APPROACHING BGE ELECTRIC AND GAS UTILITIES AND COMPLY WITH ALL APPLICABLE FEDERAL, STATE, AND LOCAL LAWS, REGULATIONS, GUARANTEES, OR WARRANTIES, EXPRESS OR IMPLIED, ARE MADE BY BGE AS TO THE QUALITY, COMPLETENESS OR ACCURACY OF THE BGE UTILITY INFORMATION, AND IN ACCEPTING THIS DOCUMENT, THE RECIPIENT EXPRESSLY ACKNOWLEDGES AND AGREES THAT IT IS NOT RELYING ON THE ACCURACY OF THE SAME.



BUILDING ELEVATIONS (West and South)
 FOR OTHER ELEVATIONS SEE BUILDING PERMIT PLAN SET BY SMARTDESIGN ARCHITECTURE

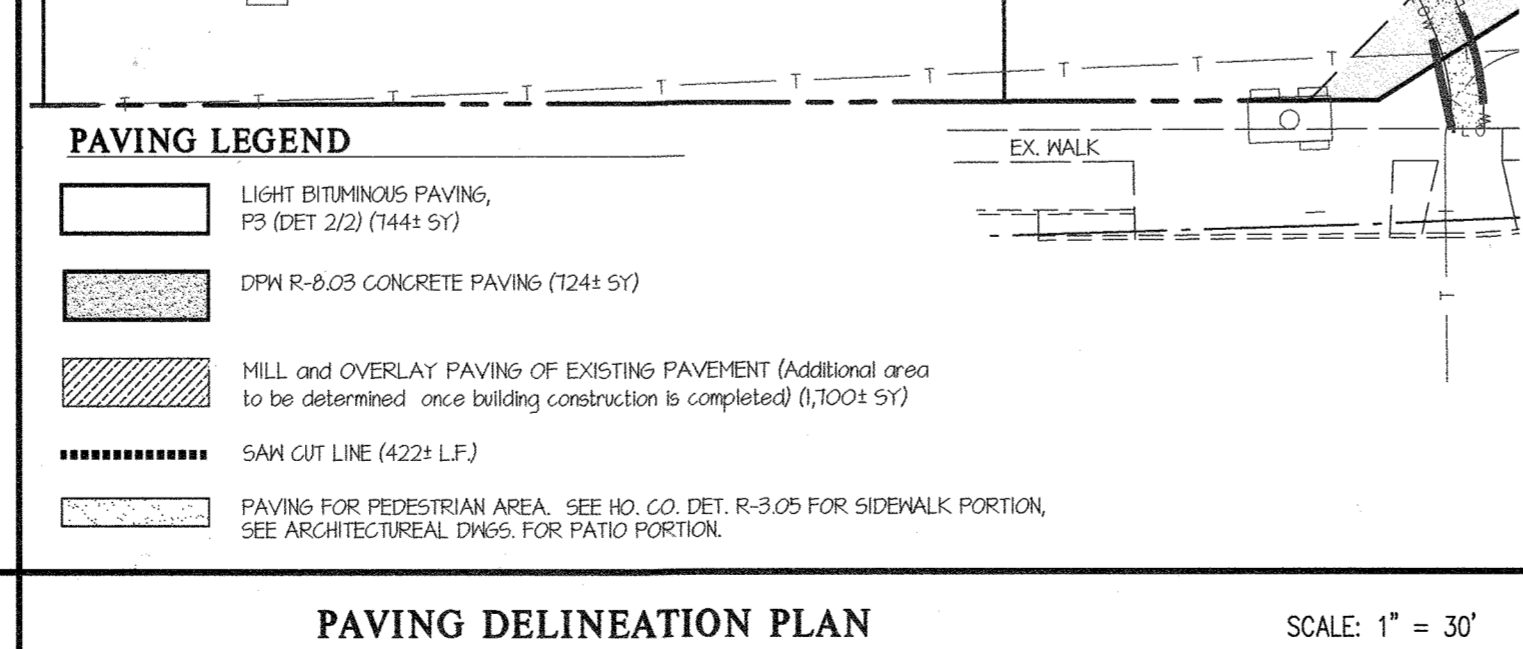
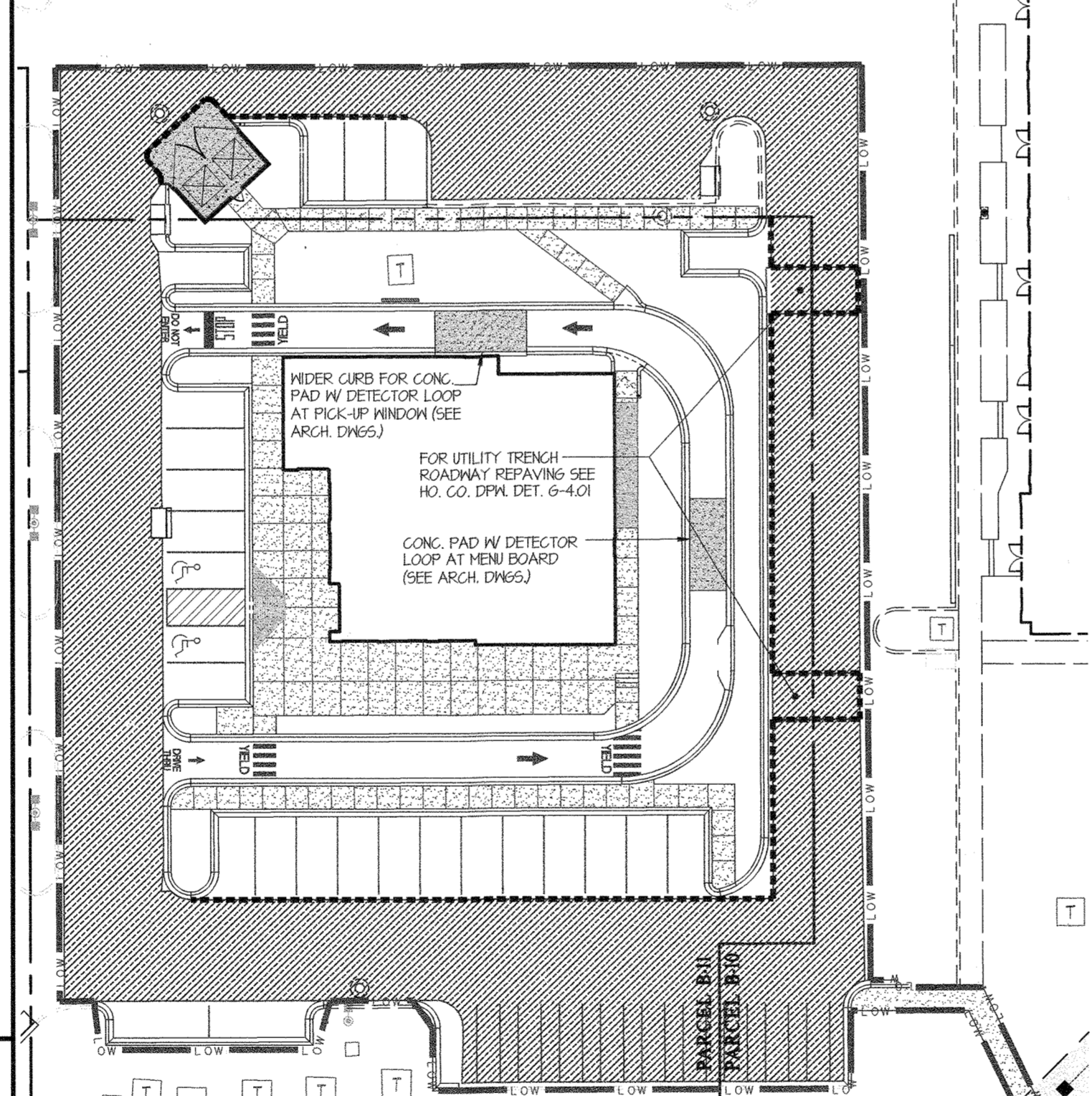
APPROVED PLANNING BOARD OF HOWARD COUNTY
 DATE: 02/18/2021

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

Director: *[Signature]* 5-27-21 Date

Chief, Division of Land Development: *[Signature]* Date

Chief, Development Engineering Division: *[Signature]* 4-27-21 Date



NOTES:

- A REVERSE GUTTER PAN SHALL HAVE A GUTTER SLOPE OF 4.17% AWAY FROM THE FLOW LINE, AND SHALL NOT BE USED WHERE THIS CREATES A HAZARDOUS CONDITION.
- GUTTER PAN AT THE MEDIAN EDGE OF INTERMEDIATE ARTERIALS OR THE HIGH SIDE OF SUPERELEVATED SECTIONS SHALL BE SLOPED AT THE SAME RATE AND IN THE SAME DIRECTION AS THE PAVEMENT MATCH PAVEMENT CROSS SLOPE WHEN CURB IS LOCATED ON THE LOW SIDE OF SUPERELEVATED SECTION AND THE RATE OF SUPERELEVATION IS GREATER THAN 3% FOR MODIFIED CURB AND GUTTER.
- A MINIMUM OF TWO (2) FEET OF COMPACTED STABILIZED EARTH, OR EQUIVALENT, SHALL SUPPORT THE ENTIRE BACK OF CURB.
- POSITIVE DRAINAGE SHALL BE PROVIDED BOTH BETWEEN THE CURB AND ALONG THE CURB AND FLOW LINE.
- 50' MAX. BETWEEN EXPANSION JOINTS 1'0" MAX. BETWEEN CONTROL JOINTS.
- UNLESS NOTED OTHERWISE, ALL ON-SITE CURB 4 GUTTER SHALL BE 6" HIGH (CURB 4 GUTTER IN PUBLIC RIGHT-OF-WAY SHALL BE 7" TYPE).

GLW
 PLANNING [ENGINEERING] SURVEYING

3909 NATIONAL DRIVE | SUITE 250 | BURTONSVILLE, MD 20866 | GLWPA.COM
 PHONE: 301-421-4024 | BAL: 410-880-1820 | DC&VA: 301-989-2524 | FAX: 301-421-4186

DESIGNED BY:	MBT
DRAWN BY:	KLP
CHECKED BY:	CKG
DATE:	REVISION
BY:	APPR.

PREPARED FOR:

Owner: Landmark, LLC
 1829 Reisterstown Road
 Suite 300
 Baltimore, MD 21208
 Attn: Mark Bennett, Sr.
 Ph: 410-484-8400

Client: Lemek, LLC
 8184 Lark Brown Road
 Suite 201
 Elkridge, MD 21075
 Attn: Brian Lemek
 Ph: 443-552-0700

PROFESSIONAL CERTIFICATION

I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 12925

EXPIRATION DATE: MAY 26, 2027

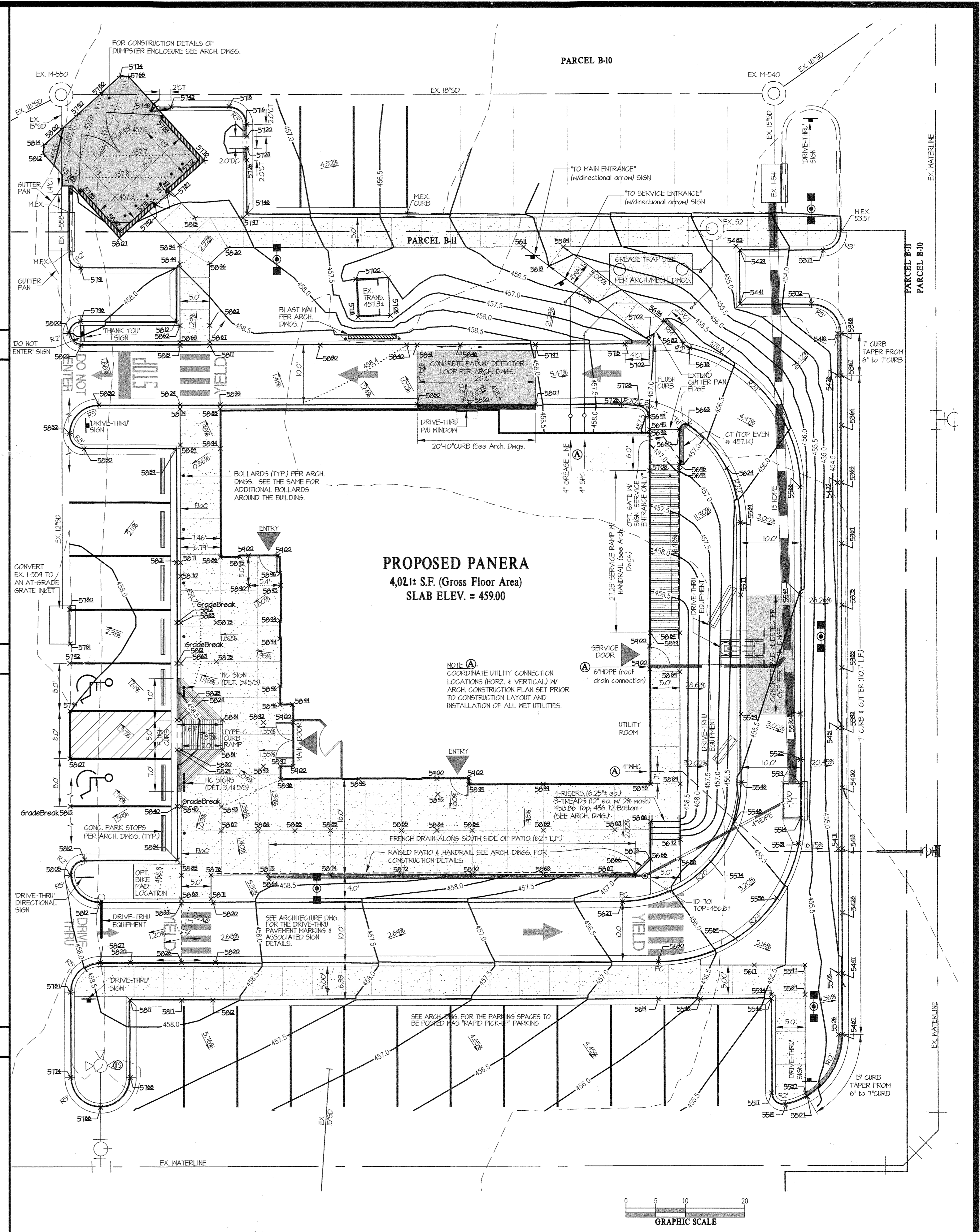
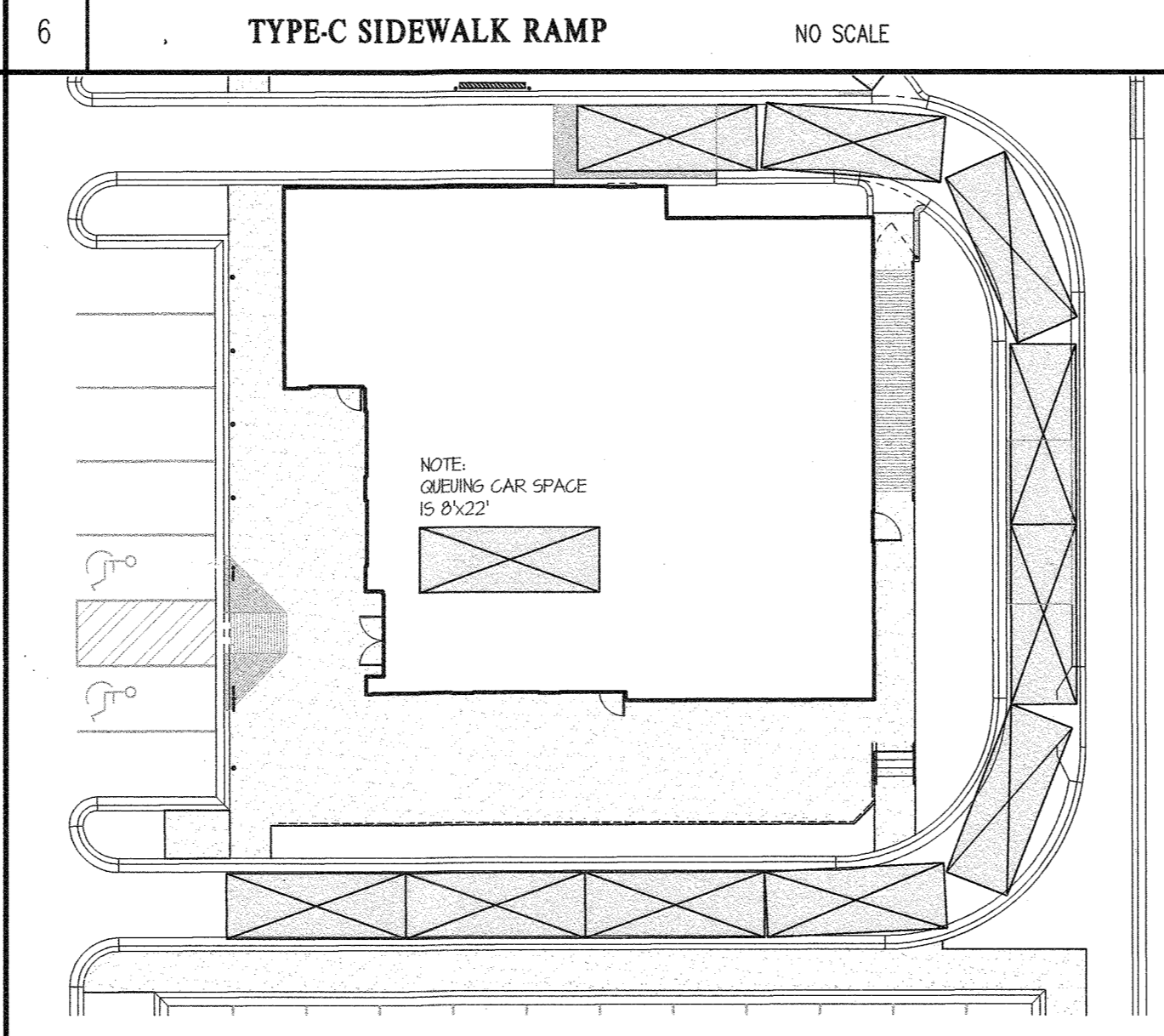
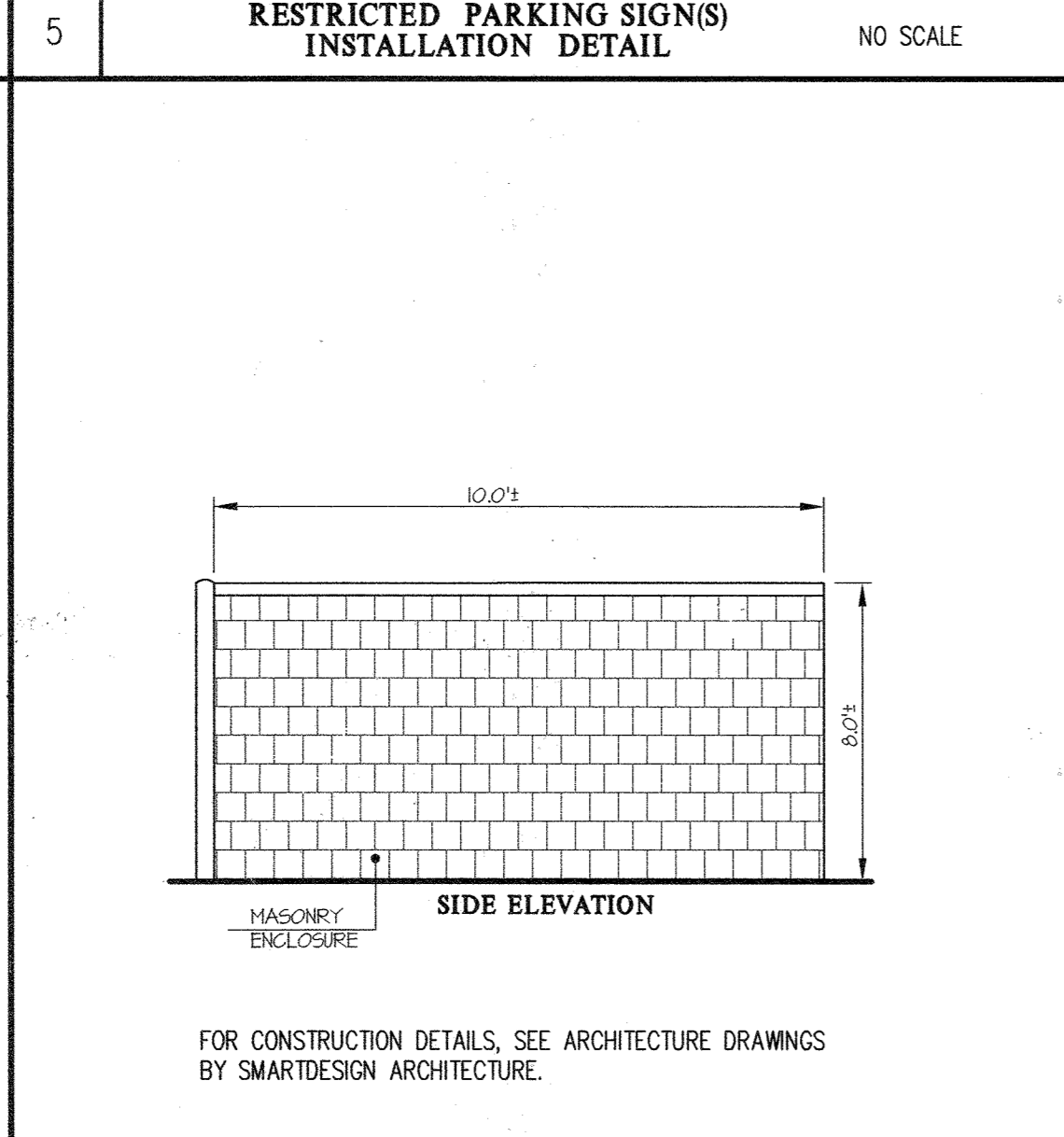
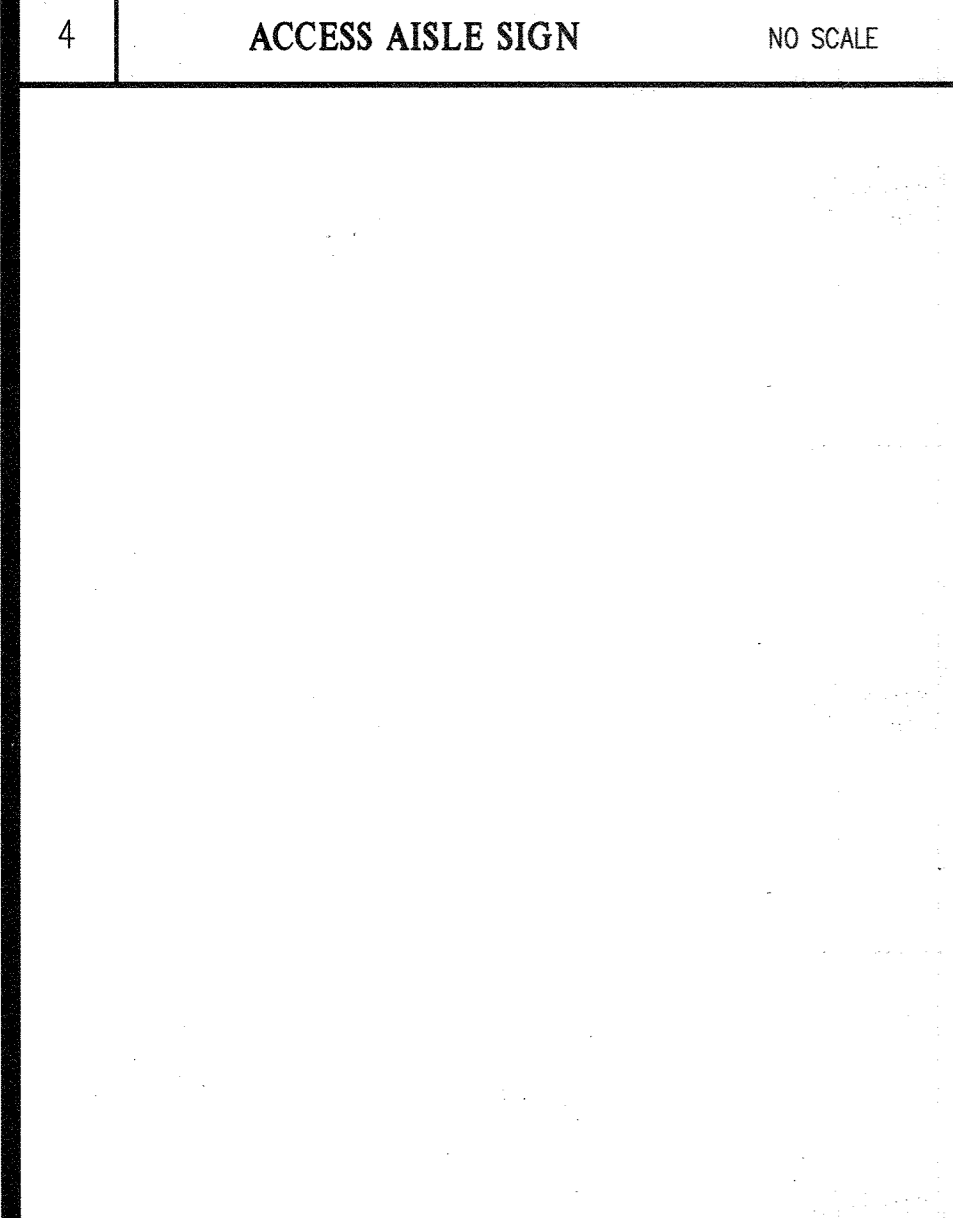
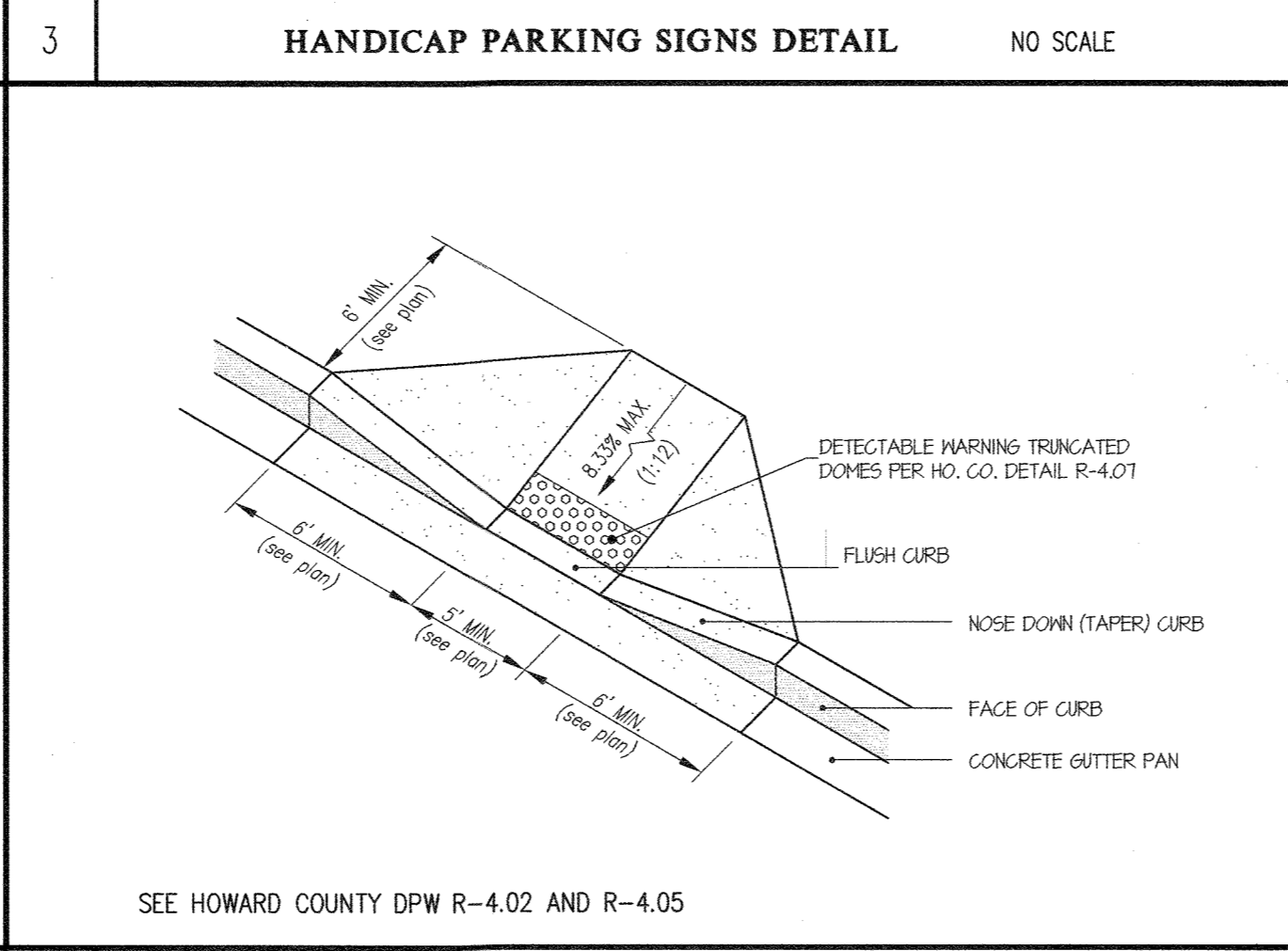
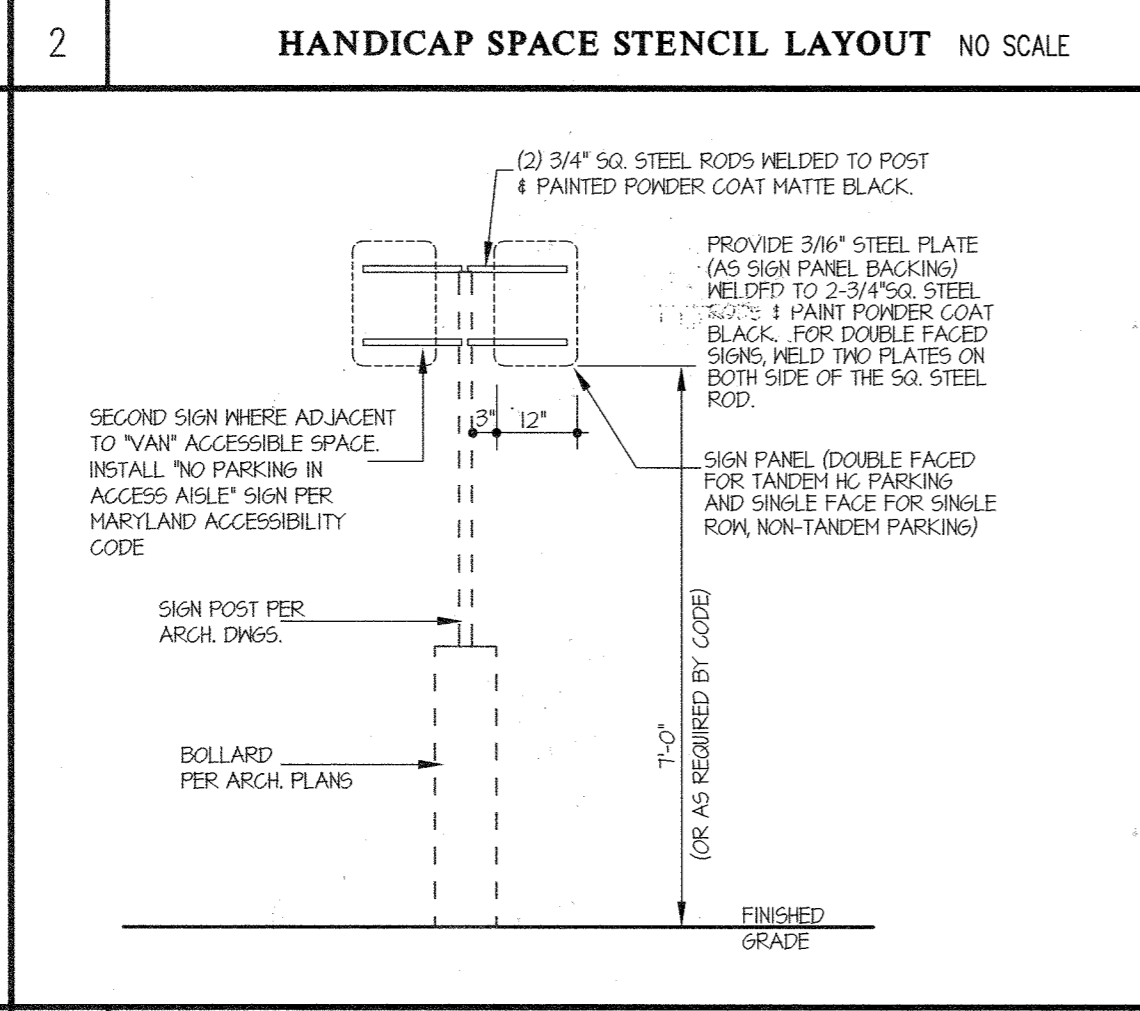
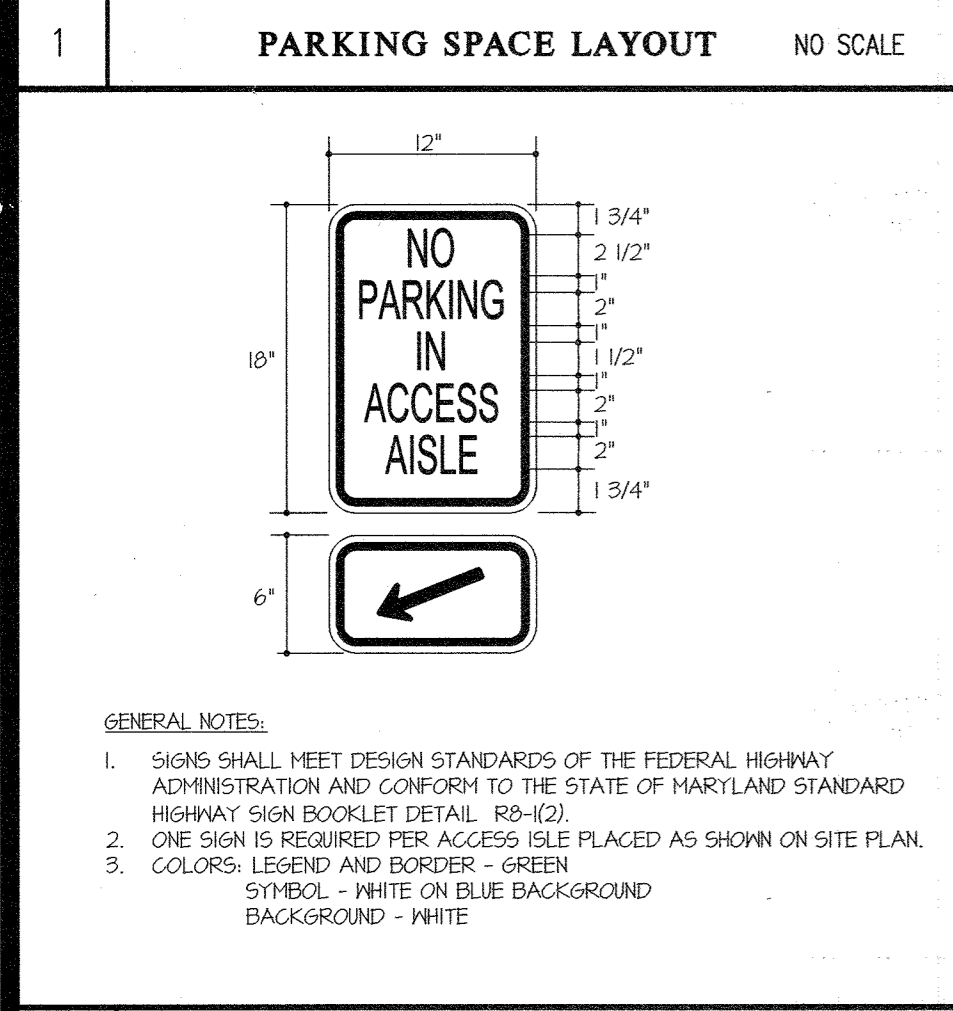
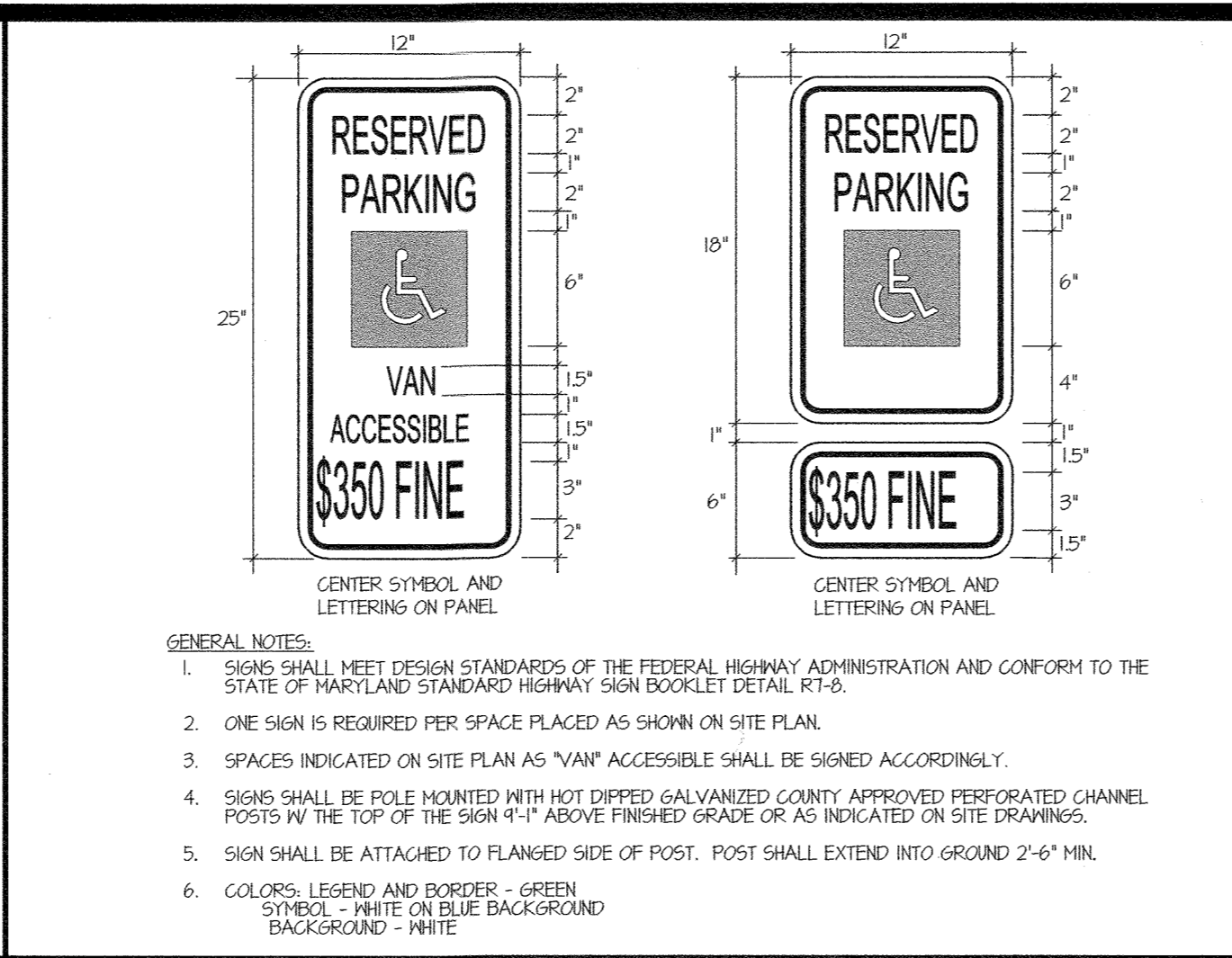
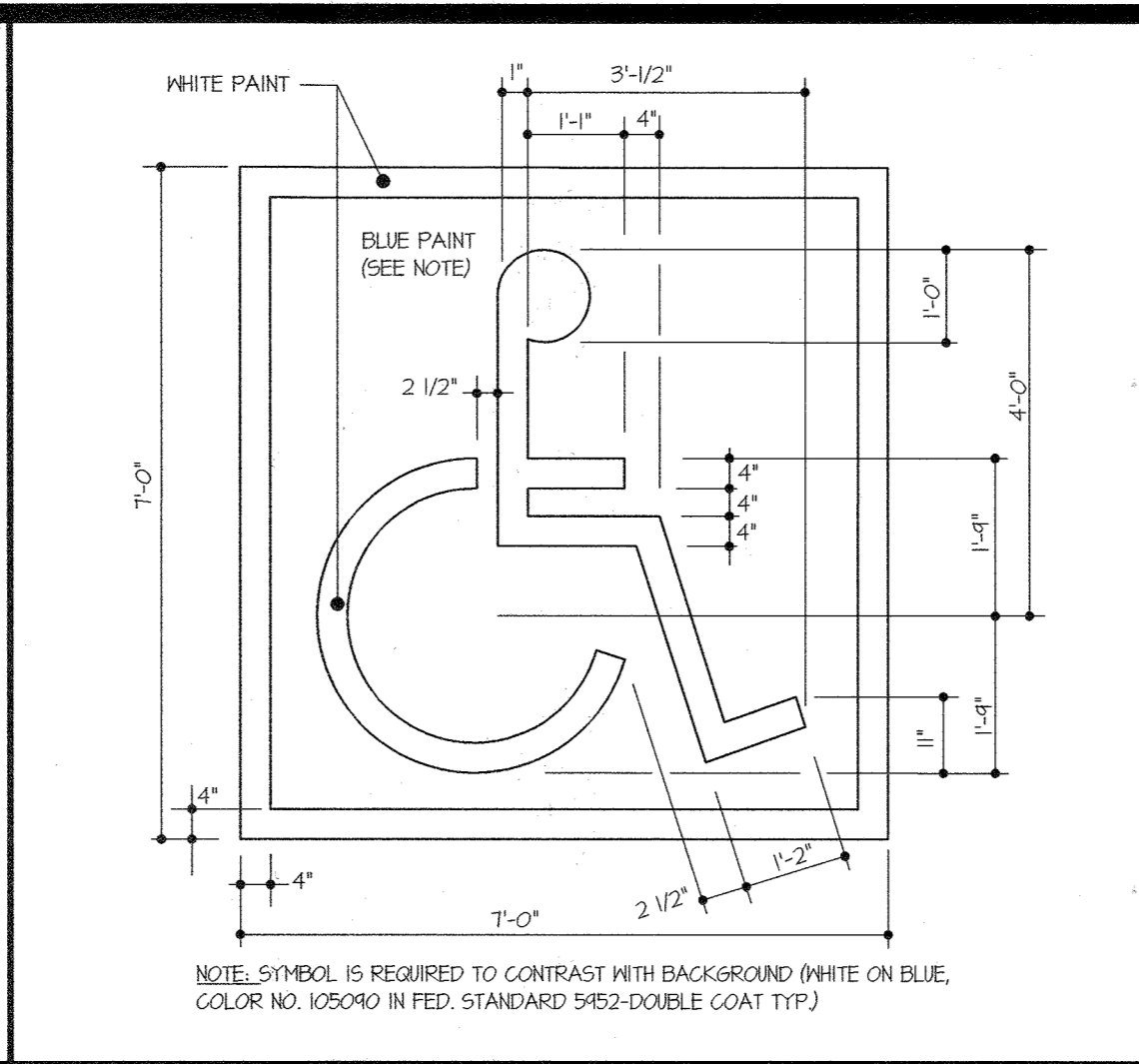
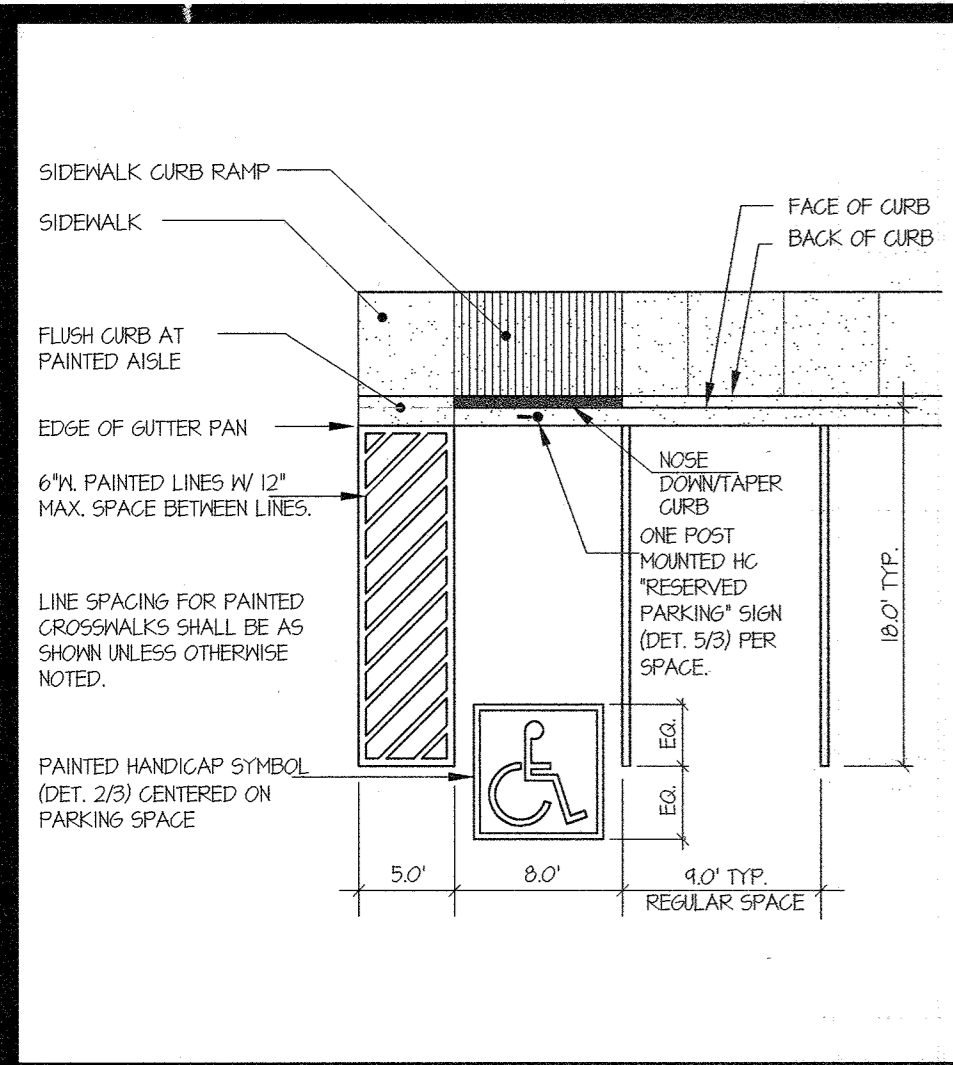
3/4/21

ELECTION DISTRICT No. 5

SITE DEVELOPMENT PLAN
MAPLE LAWN FARMS
 WESTSIDE DISTRICT - AREA 1
 Parcel B-11 (Restaurants)
 PLAT Nos. 19902 - 19903

HOWARD COUNTY, MARYLAND

SCALE	1" = 20'	ZONING	MXD-3	G. L. W. FILE No.	17098
DATE	FEB. 2021	TAX MAP - GRID	46 - 21	SHEET	2 OF 7



APPROVED
PLANNING BOARD OF HOWARD COUNTY
DATE: 02/18/2021

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
Director: [Signature] Date: 5-27-21
Chief, Division of Land Development: [Signature] Date: 5/26/21
Chief, Development Engineering Division: [Signature] Date: 4-27-21

GLW
PLANNING | ENGINEERING | SURVEYING
3909 NATIONAL DRIVE | SUITE 250 | BURTONSVILLE, MD 20886 | GLWPA.COM
PHONE: 301-421-4024 | BALT: 410-880-1820 | DC&VA: 301-989-2524 | FAX: 301-421-4186

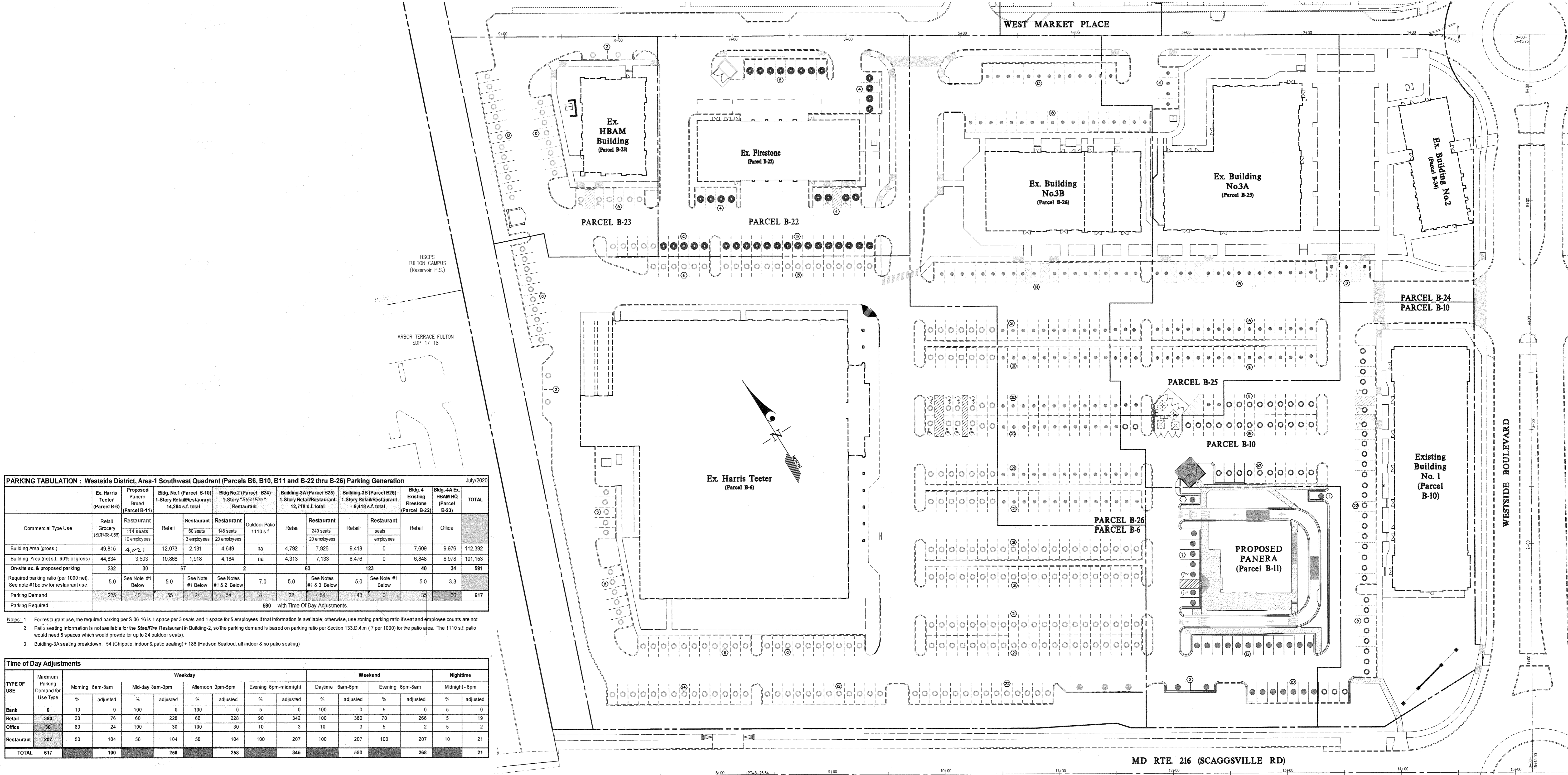
DESIGNED BY:	DATE	REVISION	BY	APP'R.
MBT				
DRAWN BY:				
KLP				
CHECKED BY:				
OKG				

PREPARED FOR:
Owner: Landlord: C&R Wessel, LLC
1829 Reisterstown Road Suite 300 Baltimore, MD 21208
Attn: Mark Bennett, Sr. Ph: 410-484-8400
Tenant: Lemek, LLC
8184 Lark Brown Road Suite 201 Elkridge, MD 21075
Attn: Brian Lemek Ph: 443-552-0700

PROFESSIONAL CERTIFICATION
I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 12825
EXPIRATION DATE: MAY 26, 2022
3/4/21 [Signature]

SITE DETAILS
MAPLE LAWN FARMS
WESTSIDE DISTRICT - AREA 1
Parcel B-11 (Restaurants)
PLAT Nos. 19902 - 19903
HOWARD COUNTY, MARYLAND
ELECTION DISTRICT No. 5

SCALE	ZONING	G. L. W. FILE No.
AS SHOWN	MXD-3	17098
DATE	TAX MAP - GRID	SHEET
FEB. 2021	46 - 21	3 OF 7



PARKING TABULATION : Westside District, Area-1 Southwest Quadrant (Parcels B-6, B-10, B-11 and B-22 thru B-26) Parking Generation July/2020

Commercial Type Use	Ex. Harris Teeter (Parcel B-6)		Proposed Panera Bread (Parcel B-11)		Bldg. No. 1 (Parcel B-10) 1-Story Retail/Restaurant 14,204 s.f. total		Bldg. No. 2 (Parcel B-24) 1-Story "Steel Fire" Restaurant		Building-3A (Parcel B-25) 1-Story Retail/Restaurant 12,718 s.f. total		Building-3B (Parcel B-26) 1-Story Retail/Restaurant 9,418 s.f. total		Bldg. 4 Existing Firestone (Parcel B-22)		Bldg. 4A Ex. HBAM HQ (Parcel B-23)		TOTAL
	Retail Grocery (SDP-08-09)	114 seats 10 employees	Retail	60 seats 3 employees	Restaurant 146 seats 20 employees	Outdoor Patio 1110 s.f.	Retail	240 seats 20 employees	Retail	seats employees	Retail	Office					
Building Area (gross)	49,815	4,201	12,073	2,131	4,649	na	4,752	7,926	9,418	0	7,609	9,976	112,392				
Building Area (net s.f. 90% of gross)	44,834	3,603	10,866	1,918	4,184	na	4,313	7,133	8,476	0	6,848	8,978	101,153				
On-site ex. & proposed parking	232	30	67	2	63	123	40	34	591								
Required parking ratio (per 1000 net. See note #1 below for restaurant use.)	5.0	See Note #1 Below	5.0	See Note #1 Below	See Notes #1 & 2 Below	7.0	5.0	See Notes #1 & 3 Below	5.0	See Note #1 Below	5.0	3.3	617				
Parking Demand	225	40	55	21	54	8	22	84	43	0	38	30	617				
Parking Required	590 with Time Of Day Adjustments																

Notes: 1. For restaurant use, the required parking per S-06-16 is 1 space per 3 seats and 1 space for 5 employees if that information is available; otherwise, use zoning parking ratio if seat and employee counts are not available.
 2. Patio seating information is not available for the SteelFire Restaurant in Building-2, so the parking demand is based on parking ratio per Section 133.D.4.m (7 per 1000) for the patio area. The 1110 s.f. patio would need 8 spaces which would provide for up to 24 outdoor seats.
 3. Building-3A seating breakdown: 54 (Chipotle, indoor & patio seating) + 186 (Hudson Seafood, all indoor & no patio seating)

Time of Day Adjustments

TYPE OF USE	Maximum Parking Demand for Use Type	Weekday				Weekend				Nighttime				
		Morning 6am-8am	Mid-day 8am-3pm	Afternoon 3pm-5pm	Evening 6pm-midnight	Daytime 6am-6pm	Evening 6pm-8am	Midnight - 6pm	% adjusted	% adjusted				
Bank	0	10	0	100	0	100	0	5	0	100	0	5	0	
Retail	380	20	76	60	228	60	228	90	342	100	380	70	266	5
Office	30	80	24	100	30	100	30	10	3	5	2	5	2	
Restaurant	207	50	104	50	104	50	104	100	207	100	207	100	207	10
TOTAL	617	100	258	258	345	590	268	21						

APPROVED
PLANNING BOARD OF HOWARD COUNTY
 DATE: 02/18/2021

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
 Director: *[Signature]* Date: 5-27-21
 Chief, Division of Land Development: *[Signature]* Date: 11-27-21
 Chief, Development Engineering Division: *[Signature]* Date:

Maple Lawn Farms -- Westside District Area - 1 Southwest Quadrant Overall Parking Count

Quant.	Parcel No. (Building Name/No.)	File No.
232	Parcel B-6 (Harris Teeter)	SDP-08-056
67	Parcel B-10 (Building No.1)	SDP-08-114
30	Parcel B-11 (Panera Bread)	SDP-20-038
34	Parcel B-23 (HBAM)	SDP-08-114
40	Parcel B-22 (Firestone)	SDP-08-114
2	Parcel B-24 (Building No.2)	SDP-08-114
63	Parcel B-25 (Building No.3A)	SDP-08-114
123	Parcel B-26 (Building No.3B)	SDP-18-114
591	Total parking spaces	

GLW
 PLANNING [ENGINEERING] SURVEYING
 3909 NATIONAL DRIVE | SUITE 250 | BURTONSVILLE, MD 20866 | GLWPA.COM
 PHONE: 301-421-4024 | BALT: 410-880-1820 | DC&VA: 301-989-2524 | FAX: 301-421-4186

DESIGNED BY:	DATE	REVISION	BY	APPR.

PREPARED FOR:
 Owner: Landmark, G&R Westco, LLC
 1829 Reisterstown Road, Suite 300, Baltimore, MD 21078
 Attn: Mark Bennett, Sr. Ph: 410-484-8400

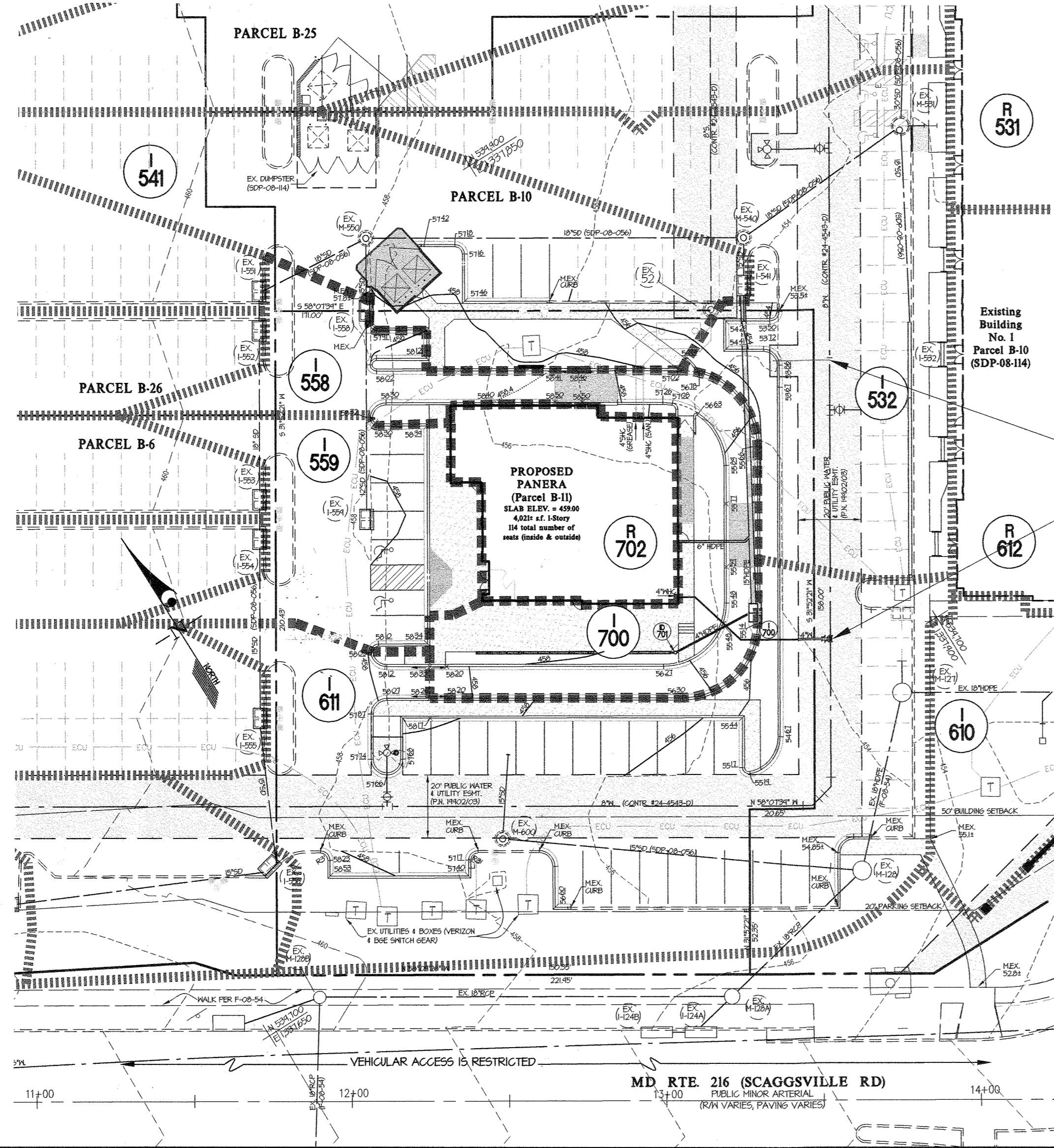
PROFESSIONAL CERTIFICATION
 I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 12975
 EXPIRATION DATE: MAY 26, 2027
 3/4/21

SHARED PARKING ANALYSIS
MAPLE LAWN FARMS
 WESTSIDE DISTRICT - AREA 1
 Parcel B-11 (Restaurants)
 PLAT Nos. 19902 - 19903
 HOWARD COUNTY, MARYLAND

SCALE	ZONING	G. L. W. FILE No.
1" = 40'	MXD-3	17098
DATE	TAX MAP - GRID	SHEET
FEB. 2021	46 - 21	4 OF 7

C FACTOR COMPUTATIONS				
STRUCTURE	AREA (AC.)	C ₁	IMPERVIOUS	PLAN #
Ex. I-532	0.30	0.18	85%	SDP 08-056
Ex. I-541	0.25	0.18	85%	SDP 08-056
Ex. I-558	0.07	0.86	100%	SDP 08-056
Ex. I-551	0.12	0.18	85%	SDP 08-056
Ex. I-611	0.48	0.18	85%	SDP 08-114
Ex. R-531	0.14	0.86	100%	SDP 08-114
Ex. R-612	0.19	0.86	100%	SDP 08-114
I-100	0.12	0.18	85%	THIS SDP
R-102	0.04	0.86	100%	THIS SDP

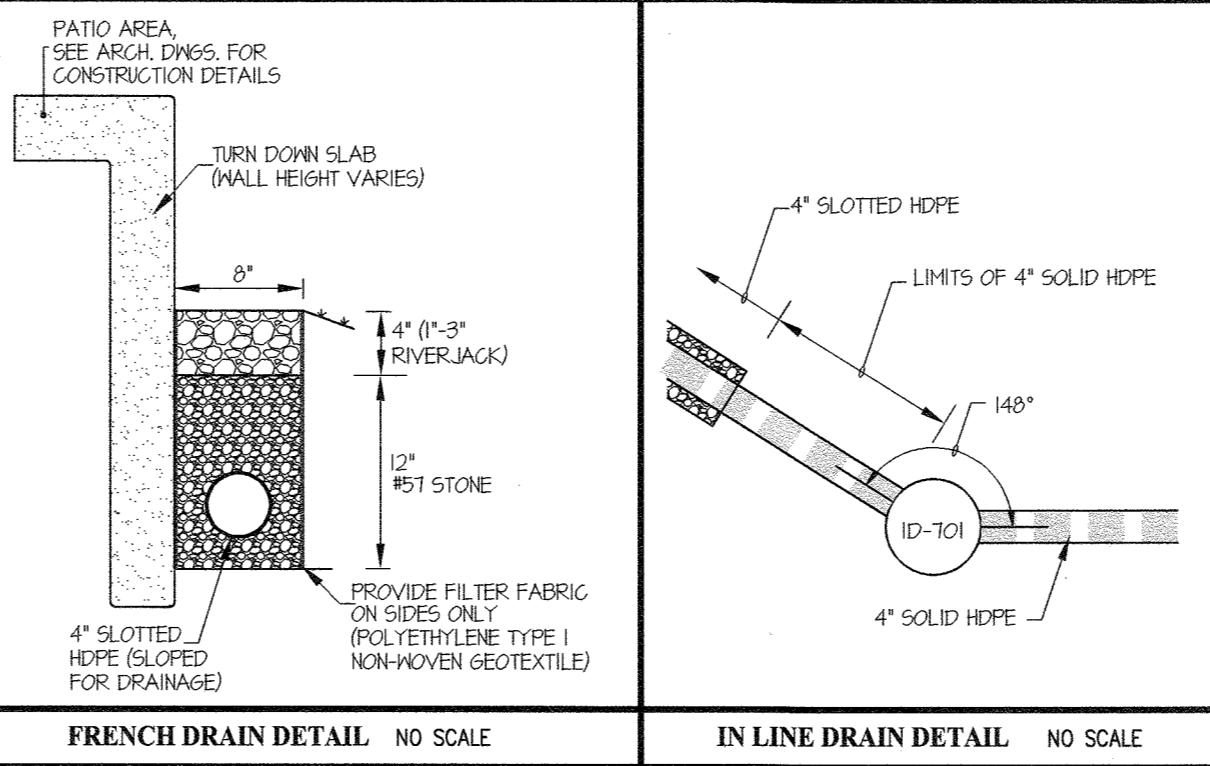
- LEGEND**
- EXISTING DRAINAGE DIVIDE
 - PROPOSED DRAINAGE DIVIDE
 - STRUCTURE NUMBER
 - SOIL TYPE



STORM DRAIN DRAINAGE AREA SCALE: 1" = 30'

NOTES:

- THIS DOCUMENT INCLUDES INFORMATION AND DEPICTIONS OF BALTIMORE GAS AND ELECTRIC COMPANY'S ("BGE") ELECTRIC AND/OR GAS UTILITIES LOCATED WITHIN THE PROJECT AREA (THE "BGE UTILITY INFORMATION"). LOCATIONS, DIMENSIONS, DEPTHS AND OTHER DETAILS OF ANY SUCH UTILITIES MAY NOT BE AS-BUILT, AND THE INFORMATION SHALL NOT BE RELED UPON WITHOUT FIELD VERIFICATION. EXCAVATORS MUST EMPLOY SAFE DESIGNING BEST PRACTICES WHEN APPROACHING BGE ELECTRIC AND GAS UTILITIES AND COMPLY WITH ALL APPLICABLE FEDERAL, STATE, AND LOCAL LAWS, INCLUDING, BUT NOT LIMITED TO, THE "MISS UTILITY LAW." NO REPRESENTATIONS, GUARANTEES, OR WARRANTIES, EXPRESS OR IMPLIED, ARE MADE BY BGE AS TO THE QUALITY, COMPLETENESS, OR ACCURACY OF THE BGE UTILITY INFORMATION, AND IN ACCEPTING THIS DOCUMENT, THE RECIPIENT EXPRESSLY ACKNOWLEDGES AND AGREES THAT IT IS NOT RELYING ON THE ACCURACY OF THE SAME.



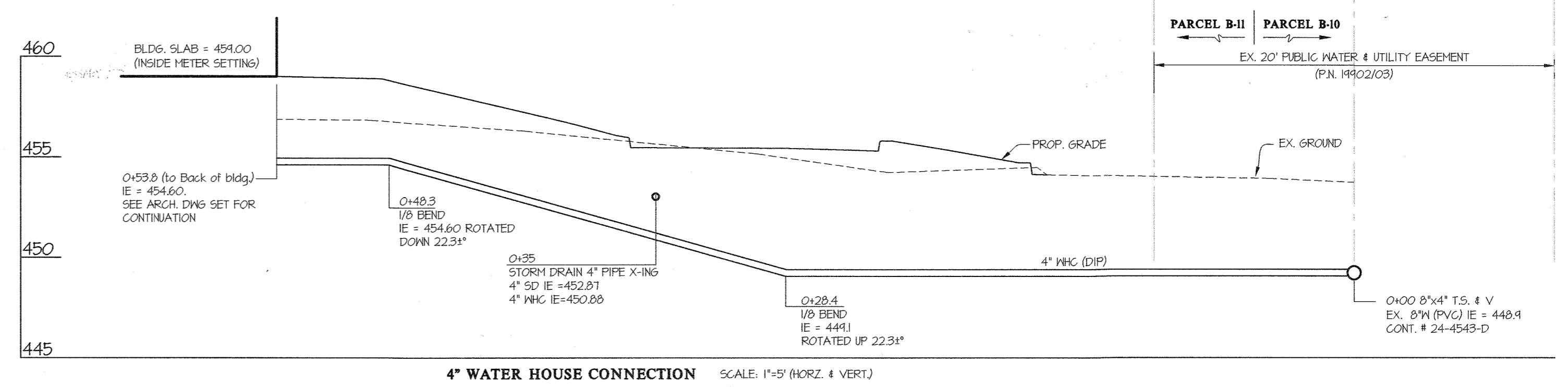
- WORK TO BE PERFORMED UNDER AN ADVANCE DEPOSIT ORDER (ADO) PROCESS:**
(BY THE HOWARD COUNTY LICENSED UTILITY CONTRACTOR THAT IS IDENTIFIED IN THE ADO AGREEMENT)
- ABANDONMENT OF THE EX. 2" WHC AND ALL APPURTENANCES IN ACCORDANCE WITH DMVOL.2, SEC.5.6.D.3.
 - INSTALLATION OF A NEW DIP 4" WHC
 - 8"x4" TS&V AT STA. 12+11 ON EXISTING WATER MAIN-A, CONTRACT 24-4543-D
 - SEE PROFILE BELOW
 - PATCH THE PAVEMENT IN ACCORDANCE WITH DPW DETAIL G-4.01 ("UTILITY TRENCH ROADWAY REPAVING")

STRUCTURE SCHEDULE (STORM DRAIN)									
NO	TYPE	WIDTH (INSIDE)	TOP OF CURB ELEVATION		INVERT		STD. DETAIL	LOCATIONS	REMARKS
			UPPER	LOWER	UPPER	LOWER			
I-100	DOUBLE INLET	3'-5 1/2"	455.70	455.64	452.38	451.51	HO. CO DPM D-4.31 & 4.21	N 534,132 E 1,231,653	
ID-101	IN LINE DRAIN	12"	456.0	---	455.56	453.94		N 534,135 E 1,231,624	

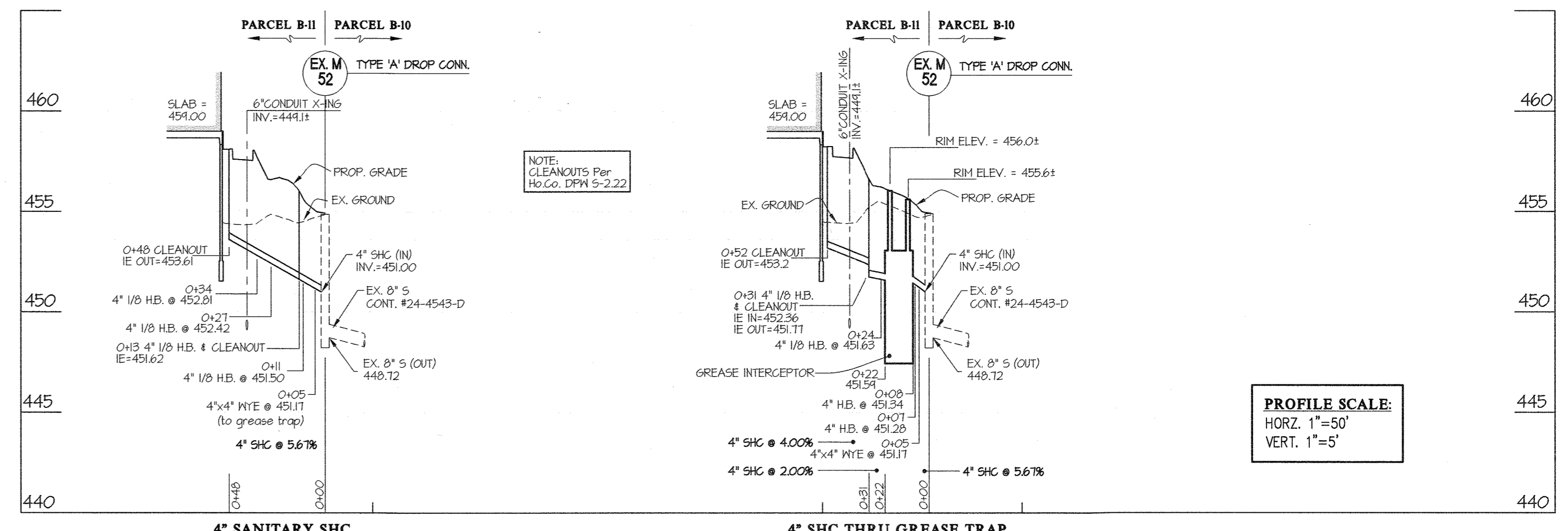
① COORDINATE POINT GIVEN IS TO THE CENTER OF THE IN-LINE DRAIN AND TO THE CENTERLINE OF THE DOUBLE INLET AT FACE OF CURB.
② 12" IN LINE DRAIN WITH A SOLID GRATE BY NYLOPLAST OR AN APPROVED EQUAL.

PIPE SCHEDULE (STORM DRAIN)			
SIZE	TYPE	QUANTITY (LF)	REMARKS
4"	SLOTTED HDPE	63	
4"	HDPE	26	
6"	HDPE	23	
15"	HDPE	46	

HDPE INDICATES HIGH DENSITY POLYETHYLENE PIPE, SUCH AS N-12 BY ADS, OR H-Q BY HANCO, OR AN APPROVED EQUAL.
TRENCH BEDDING TO BE PROVIDED PER HOWARD COUNTY DETAIL G-2.01, "TRENCH FOR P.V.C. PIPE AND HDPE."



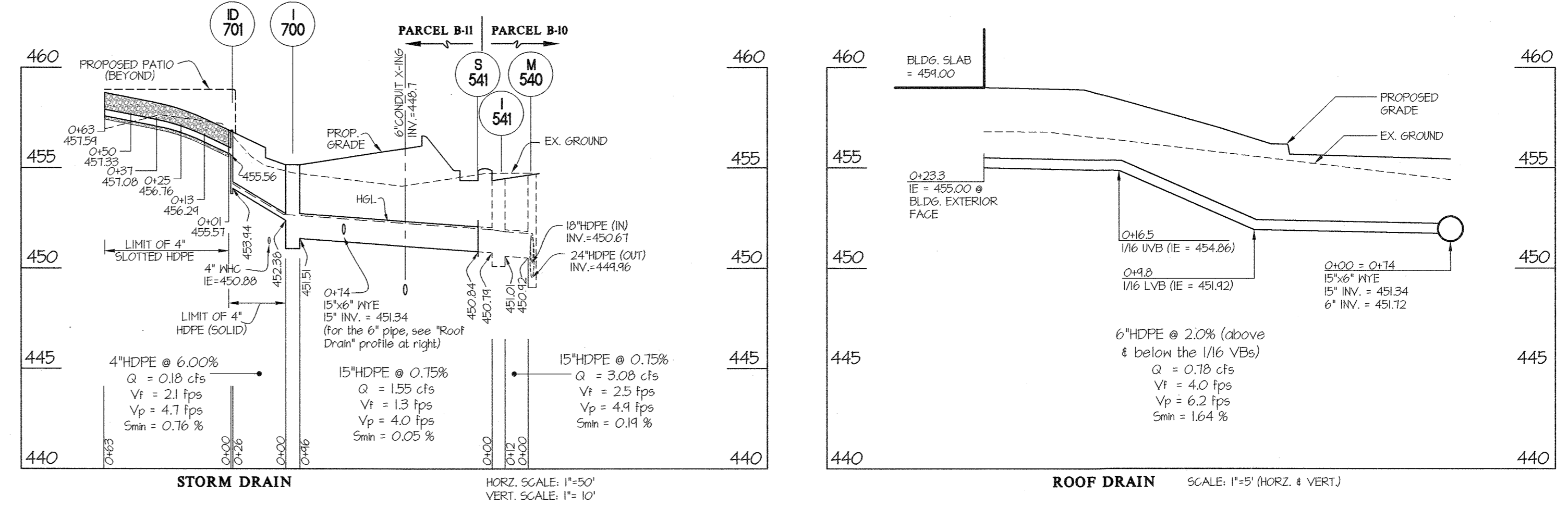
4" WATER HOUSE CONNECTION SCALE: 1"=5' (HORZ. 4 VERT.)



4" SANITARY SHC

4" SHC THRU GREASE TRAP

PROFILE SCALE:
HORZ. 1"=50'
VERT. 1"=5'



STORM DRAIN

ROOF DRAIN

APPROVED
PLANNING BOARD OF HOWARD COUNTY
DATE: 02/18/2021

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

Director: *[Signature]* Date: 5-27-21
 Chief, Division of Land Development: *[Signature]* Date: 1/17/21
 Chief, Development Engineering Division: *[Signature]* Date: 1/17/21

GLW
PLANNING | ENGINEERING | SURVEYING

3809 NATIONAL DRIVE | SUITE 250 | BURTONSVILLE, MD 20866 | GLWPA.COM
 PHONE: 301-421-4024 | BALT: 410-880-1820 | DC&VA: 301-989-2524 | FAX: 301-421-4186

DESIGNED BY:	DATE:	REVISION:	BY:	APPR.:

PROFESSIONAL CERTIFICATION

I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 12925

EXPIRATION DATE: MAY 26, 2027

3/4/21

STORM DRAIN DRAINAGE AREA AND UTILITY PROFILES

MAPLE LAWN FARMS
WESTSIDE DISTRICT - AREA 1
Parcel B-11
(Restaurants)
PLAT Nos. 19902 - 19903

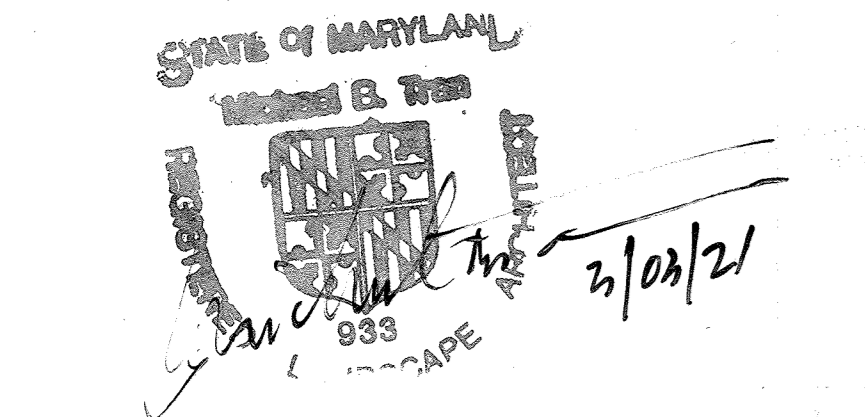
ELECTION DISTRICT No. 5

SCALE	ZONING	G. L. W. FILE No.
AS SHOWN	MXD-3	17098
DATE	TAX MAP - GRID	SHEET
FEB. 2021	46 - 21	6 OF 7

LANDSCAPE NOTES

- THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH SECTION 16.024 OF THE HOWARD COUNTY CODE 4 CHAPTER VI OF THE HOWARD COUNTY LANDSCAPE MANUAL (ALTERNATIVE COMPLIANCE PLUS THE LANDSCAPE DESIGN CRITERIA OF 5-06-16 AND FB CASE NO. 378).
- CONTRACTOR SHALL NOTIFY ALL UTILITIES AT LEAST (5) FIVE DAYS BEFORE STARTING WORK. ALL GENERAL NOTES, ESPECIALLY THOSE REGARDING UTILITIES, ON SHEET NO. 1 SHALL APPLY.
- FIELD VERIFY UNDERGROUND UTILITY LOCATIONS AND EXISTING CONDITIONS BEFORE STARTING PLANTING WORK. CONTACT CONSTRUCTION MANAGER OR OWNER IF ANY RELOCATIONS ARE REQUIRED.
- PLANT QUANTITIES SHOWN ON THE PLANT LIST ARE PROVIDED FOR THE CONVENIENCE OF THE CONTRACTOR ONLY. IF DISCREPANCIES EXIST BETWEEN QUANTITIES SHOWN ON THE PLAN AND THOSE SHOWN ON THE PLANT LIST, THE QUANTITIES ON THE PLAN SHALL TAKE PRECEDENCE.
- ALL PLANT MATERIAL SHALL BE FULL HEAVY, WELL FORMED, SYMMETRICAL, AND CONFORM TO THE A.A.N. SPECIFICATIONS. ALL PLANT MATERIAL SHALL BE INSTALLED IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS AND THIS PLAN.
- NO SUBSTITUTION SHALL BE MADE WITHOUT PRIOR APPROVAL FROM HOWARD COUNTY DPZ AND THE OWNER OR HIS REPRESENTATIVE.
- ALL AREAS DISTURBED BY CONSTRUCTION ACTIVITIES BUT NOT OTHERWISE PLANTED, PAVED, OR MULCHED SHALL BE SOLOPED OR SEEDED IN ACCORDANCE WITH THE PERMANENT SEEDING SPECIFICATION. A MINIMUM OF 4" OF TOPSOIL SHALL BE PROVIDED TO ALL PLANTING AREAS (FOR TOPSOIL SPEC. SEE SHEET 6).
- THE CONTRACTOR SHALL NOTIFY THE OWNER IN WRITING IF HE/SH SHE ENCOUNTERS SOIL DRAINAGE CONDITIONS THAT MAY BE DETRIMENTAL TO THE GROWTH OF THE PLANTS.
- ALL EXPOSED EARTH WITHIN THE LIMITS OF PLANTING BEDS SHALL BE MULCHED WITH SHREDED HARDWOOD MULCH PER THE PLANTING DETAILS.
- DO NOT PLANT TREES WITHIN THE PUBLIC WATER, SEWER AND UTILITY EASEMENT.
- SCHEDULES "A" AND "B" ARE PROVIDED FOR LANDSCAPE SURETY CALCULATION PURPOSES. FINANCIAL SURETY FOR THE REQUIRED LANDSCAPING SHALL BE FOLLOWS WITH THE DEVELOPER'S AGREEMENT IN THE AMOUNT OF \$ 2100.00 FOR FOLLOW REQUIRED PLANT QUANTITIES:
 50 SHRUBS AT \$30/SHRUB = \$ 1500.00
 2 SHADE TREES AT \$300/TREE = \$ 600.00
- FOR LANDSCAPE INSPECTION TO OCCUR AT THE RELEASE OF THE SURETY, CONTACT HOWARD COUNTY DEPT. OF PLANNING & ZONING AT 410-313-2350.

- NOTES:**
- THE OWNER, TENANTS AND/OR THEIR AGENTS SHALL BE RESPONSIBLE FOR MAINTENANCE OF THE REQUIRED LANDSCAPING INCLUDING BOTH PLANT MATERIALS AND BENCHES, FENCES AND WALLS. ALL PLANT MATERIALS SHALL BE MAINTAINED IN GOOD GROWING CONDITION AND WHEN NECESSARY, REPLACED WITH NEW MATERIALS TO ENSURE CONTINUED COMPLIANCE WITH APPLICABLE REGULATIONS. ALL OTHER REQUIRED LANDSCAPING SHALL BE PERMANENTLY MAINTAINED IN GOOD CONDITION, AND WHEN NECESSARY, REPAIRED OR REPLACED.
 - AT THE TIME OF PLANT INSTALLATION, ALL SHRUBS AND TREES LISTED AND APPROVED ON THE LANDSCAPE PLAN, SHALL COMPLY WITH THE PROPER HEIGHT REQUIREMENT IN ACCORDANCE WITH THE HOWARD COUNTY LANDSCAPE MANUAL. IN ADDITION, NO SUBSTITUTIONS OR RELOCATIONS OF THE REQUIRED PLANTINGS MAY BE MADE WITHOUT PRIOR REVIEW AND APPROVAL FROM THE DEPARTMENT OF PLANNING AND ZONING. ANY DEVIATION FROM THE APPROVED LANDSCAPE PLAN MAY RESULT IN DENIAL OR DELAY IN THE RELEASE OF LANDSCAPE SURETY UNTIL SUCH TIME AS ALL REQUIRED MATERIALS ARE PLANTED AND/OR REVISIONS ARE MADE TO THE APPLICABLE PLANS.
 - ALL REMAINING PERVIOUS AREAS THAT ARE NOT PAVED OR PLANTED/MULCHED SHALL BE SOLOPED OR ESTABLISHED WITH PERMANENT SEEDING.



DEVELOPER'S/BUILDER'S CERTIFICATE
 I/WE CERTIFY THAT THE LANDSCAPING SHOWN ON THIS PLAN WILL BE DONE ACCORDING TO THE PLAN, SECTION 16.024 OF THE HOWARD COUNTY CODE AND THE HOWARD COUNTY LANDSCAPE MANUAL AND THE M.L.F. LANDSCAPE DESIGN CRITERIA. I/WE FURTHER CERTIFY THAT UPON COMPLETION A LETTER OF LANDSCAPE INSTALLATION, ACCOMPANIED BY AN EXECUTED ONE-YEAR GUARANTEE OF PLANT MATERIALS, WILL BE SUBMITTED TO THE DEPARTMENT OF PLANNING AND ZONING.

NAME: *Mark Bennett* DATE: *3/11/21*

APPROVED
PLANNING BOARD OF HOWARD COUNTY
 DATE: **02/18/2021**

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

Director: *Shay Conner* Date: *5-27-21*
 Chief, Division of Land Development: *Shelley* Date: *4-27-21*
 Chief, Development Engineering Division: *Paul Blum* Date: *4-27-21*



LANDSCAPE SPECIFICATIONS:

1.0. GENERAL CONDITIONS:

- SCOPE OF WORK:
 A. THE LANDSCAPE CONTRACTOR SHALL PROVIDE ALL MATERIALS, LABOR AND EQUIPMENT TO COMPLETE ALL LANDSCAPE WORK AS SHOWN ON THE PLANS AND SPECIFICATIONS.
 B. TOTAL NUMBER OF PLANTS SHALL BE DRAWN ON THE LANDSCAPE PLAN. IF THERE IS A DISCREPANCY BETWEEN THE DRAWING AND THE LIST ON THE PLANS, THE CONTRACTOR SHALL REQUEST CLARIFICATION FROM THE LANDSCAPE ARCHITECT.
- STANDARDS:
 A. ALL PLANT MATERIAL SHALL CONFORM TO THE CURRENT ISSUE OF THE AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z60.1). ALL TREES TO BE BRANCHED SYMMETRICALLY AROUND CENTRAL LEADER. NO FORKED LEADER STOCK WILL BE ACCEPTED.
 B. PLANT MATERIAL MUST BE SELECTED FROM NURSERIES THAT HAVE BEEN INSPECTED AND CERTIFIED BY STATE PLANT INSPECTORS.
 C. NOMENCLATURE WILL BE IN ACCORDANCE WITH HORTUS III BY L.H. BAILEY.
- PERMITALS:
 WHEN REQUESTED BY THE OWNER OR OWNER'S REPRESENTATIVE, ALL MATERIAL OTHER THAN PLANTS SHALL BE SUBMITTED TO THE OWNER'S DESIGNATED REPRESENTATIVE FOR APPROVAL.
- APPROVALS:
 ALL APPROVALS WILL BE IN WRITING.
- SUBSTITUTIONS:
 IT IS THE LANDSCAPE CONTRACTOR'S RESPONSIBILITY TO MAKE EVERY REASONABLE EFFORT TO FIND THE MATERIAL SPECIFIED BY THE LANDSCAPE ARCHITECT. THE LANDSCAPE CONTRACTOR MAY OFFER SUBSTITUTIONS TO THE LANDSCAPE ARCHITECT FOR HIS/HER CONSIDERATION. THE LANDSCAPE CONTRACTOR WILL NOTIFY THE LANDSCAPE ARCHITECT IF THERE ARE KNOWN DISEASE OR INSECT RESISTANT SPECIES THAT CAN BE SUBSTITUTED FOR A SELECTED PEST-FREE PLANT. ALL SUBSTITUTIONS SHALL BE APPROVED BY HOWARD COUNTY GOVERNMENT.
- UNDERGROUND FEATURES:
 THE LANDSCAPE CONTRACTOR SHALL NOTIFY UTILITY COMPANIES AND/OR THE GENERAL CONTRACTOR IN ADVANCE OF CONSTRUCTION TO LOCATE UTILITIES.
- IF PLANTS ARE TO BE INSTALLED IN AREAS THAT SHOW OBVIOUS POOR DRAINAGE AND THE PLANTS ARE INAPPROPRIATE FOR THAT CONDITION, THE LANDSCAPE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT AND OWNER. IF THEY DEEM NECESSARY, THE PLANTS SHALL BE RELOCATED, THE CONTRACT SHALL BE ADJUSTED TO ALLOW FOR DRAINAGE AND/OR RELOCATION. THE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT TO ACCOMMODATE THE POOR DRAINAGE SITUATION.
- WORKMANSHIP:
 A. DURING DELIVERY AND INSTALLATION, THE LANDSCAPE CONTRACTOR SHALL PERFORM IN A WORKMANLIKE MANNER, COORDINATING HIS/HER ACTIVITIES SO AS NOT TO INTERFERE UNNECESSARILY WITH THE WORK OF OTHER TRADES AND LEAVING HIS/HER WORK AREAS CLEAN OF LETTER AND DEBRIS AT THE CLOSE OF EACH WORKDAY.
 B. DURING PLANTING, ALL AREAS SHALL BE KEPT NEAT AND CLEAN. PRECAUTIONS SHALL BE TAKEN TO AVOID DAMAGE TO EXISTING PLANTS, LARGE TREES, TURF AND STRUCTURES. WHERE EXISTING TREES ARE TO BE PRESERVED, ADDITIONAL PRECAUTIONS SHOULD BE TAKEN TO AVOID UNNECESSARY ACCUMULATION OF EXCAVATED MATERIALS, SOIL COMPACTION OR ROOT DAMAGE.
 C. UPON COMPLETION, ALL DEBRIS AND WASTE MATERIAL RESULTING FROM PLANTING OPERATIONS SHALL BE REMOVED FROM THE PROJECT AND THE AREA CLEANED UP.
 D. ANY DAMAGE TO THE EXISTING UTILITIES, BUILDINGS, PAVINGS, CURB AND WALLS, AND VEGETATION NOT SO DESIGNATED FOR REMOVAL, ON THESE PLANS SHALL BE REPAIRED TO PREVIOUS CONDITION OR REPLACED BY THE CONTRACTOR AT HIS EXPENSE.
- WATER:
 A. THE OWNER SHALL SUPPLY WATER ON SITE AT NO COST. IF THE LANDSCAPE CONTRACTOR HAS TO SUPPLY WATER TO THE SITE, IT SHALL BE AT AN ADDITIONAL COST.
- PLANTING SEASONS:
 A. RED OAK, WHITE OAK, HILLTOP OAK, SCARLET OAKS, DOGWOOD, SWEET GUM, CONIFERS, AND BROAD LEAF EVERGREENS WILL NOT BE PLANTED BETWEEN NOVEMBER 15 AND MARCH 1, UNLESS THE LANDSCAPE CONTRACTOR STATES IN WRITING THAT HE/SH WILL GUARANTEE PLANTS.
- INSPECTIONS AND ACCEPTANCES:
 A. INITIAL INSPECTION: PRIOR TO PLANTING, ALL PLANT LOCATIONS SHALL BE STAKED IN THE FIELD BY THE CONTRACTOR. THE LANDSCAPE ARCHITECT SHALL BE CONTACTED TO INSPECT AND APPROVE ALL PLANT LOCATIONS BEFORE PLANTING.
 B. FINAL ACCEPTANCE INSPECTION: A VERIFICATION OF PERFORMANCE FOR WORK BY CONTRACT DOCUMENTS, TO BE CONDUCTED BY THE LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE ON-SITE AND IN THE PRESENCE OF THE LANDSCAPE CONTRACTOR FOR THE PURPOSE OF ACCEPTANCE.
 C. FINAL WARRANTY INSPECTION: THE LANDSCAPE CONTRACTOR SHALL CONDUCT A FINAL INSPECTION WITH THE OWNER OR OWNER'S REPRESENTATIVE AT THE END OF THE ONE-YEAR PERIOD.
- WARRANTY:
 A. THE STANDARD WARRANTY IS FOR ONE (1) YEAR PERIOD, EXCLUDING BULBS AND ANNUALS, COMMENCING ON THE DATE OF INITIAL ACCEPTANCE. ALL PLANTS SHALL BE ALIVE AND IN SATISFACTORY GROWTH AT THE END OF THE GUARANTEE PERIOD.
 B. ANY MATERIAL THAT IS 25% DEAD OR MORE SHALL BE CONSIDERED DEAD AND MUST BE REPLACED AT NO CHARGE. A TREE SHALL BE CONSIDERED DEAD WHEN THE MAIN LEADER HAS DIED BACK, OR 25% OF THE CROWN IS DEAD.
 C. PERENNIALS SHALL BE GUARANTEED FOR ONE YEAR AFTER INITIAL ACCEPTANCE.

2.0. PLANT MATERIALS

- SCOPE OF WORK:
 THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR FURNISHING AND INSTALLING ALL PLANT MATERIAL SHOWN ON THE DRAWINGS AND PLANT LIST.
- INSPECTION:
 A. PLANTS SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE OWNER OR OWNER'S REPRESENTATIVE AT THE PLACE OF GROWTH (TREES OR DIGGING - TREES) OR HOLDING YARD (SHRUBS) FOR CONFORMITY TO SPECIFICATION REQUIREMENTS AS TO QUALITY, SIZE, AND VARIETY.

3.0. PRODUCTS

- QUALITY ASSURANCE:
 MANUFACTURERS CERTIFIED ANALYSIS SHALL ACCOMPANY PACKAGED STANDARD PRODUCTS.
- ORGANIC MATTER:
 A. PEAT MOSS - TYPE 1 (SPERMATOPHYTES PEAT MOSS; FINELY DIVIDED WITH A PH OF 3) TO 5.0.
 B. SERPENTINE PEAT - DECOMPOSED PEAT CONTAINING NO IDENTIFIABLE TREES.
 C. LEAF COMPOST - THAT IS SCREENED AND FREE TO TRASH.
 D. COMPOSTED SEWAGE SLUDGE - APPROVED, SCREENED, POLYMER-DENATURED SEWAGE SLUDGE WITH A PH OF 4.2 - 7.6 PH.
- TOPSOIL:
 A. IT SHALL BE FREE OF STONES, LIMBS, PLANTS, ROOTS AND OTHER DEBRIS OVER 1/4" TOPSOIL. MUST ALSO BE FREE OF PLANTS OR PLANT PARTS OF BEREMIDAGRASS, QUACKGRASS, JOHNsongRASS, MIGNORI, NUTSEDGE, POISON IVY, CANADIAN THISTLE, OR OTHERS AS SPECIFIED.
 B. IT SHALL NOT CONTAIN TOXIC SUBSTANCES HARMFUL TO PLANT GROWTH, I.E. PESTICIDE RESIDUES.
- BACKFILL MIXTURE:
 A. BACKFILL MIXTURE FOR TREES AND SHRUBS SHALL BE 3/4 EXISTING SOIL MIXED WITH 1/4 ORGANIC MATERIAL, PLUS GRANULAR FERTILIZER.
- MULCH:
 A. MATERIAL SHALL BE COMPOSTED, SHREDED HARDWOOD BARK, WITH LESS THAN 10% SAWNWOOD, DARK BROWN IN COLOR, OR APPROVED EQUAL.
 B. MATERIAL SHALL BE UNIFORM IN SIZE AND FREE OF FOREIGN MATTER.

4.0. PLANTING PROCEDURE FOR TREES

- TREE PLANTING:
 A. WALL OF TREE PIT SHALL BE DIG SO THAT THEY ARE VERTICAL OR SLOPING OUTWARD IN HEAVY SOILS, BE AND SCARIFIED.
 B. THE TREE PIT MUST BE A MINIMUM OF 4" LARGER ON EVERY SIDE THAN THE BALL OF THE TREE.
 C. PLACE THE TREE IN THE PIT CARRYING THE BALL AND THEN LOWERING IT INTO THE PIT. NEVER LIFT THE TREE BY THE TRUNK OR BRANCHES.
 D. SET THE TREE STRAIGHT AND IN THE CENTER OF THE PIT WITH THE MOST DESIRABLE SIDE FACING TOWARD THE PROMINENT VIEW.
 E. BACKFILL TREE PIT WITH A SOIL MIXTURE STATED IN THE SPECIFICATIONS.
 F. CUT AND REMOVE ROPE OR WIRE OFF THE TOP 50% OF ROOTBALL AND FILL BURLAP BACK TO THE EDGE OF THE BALL. REMOVE AS MUCH BURLAP, MOVEN PRODUCTS AND THINE AS POSSIBLE. ALL PLASTIC OR SYNTHETIC FILM MUST BE REMOVED FROM THE ROOTBALL. CUT ALL THINE AWAY FROM TRUNK.
 G. FORM A SAUCER ABOVE EXISTING GRADE, AROUND THE OUTER RIM OF THE TREE PIT, ESPECIALLY ON SLOPES AND IN HEAVY SOILS.
 H. MULCH TOP OF ROOT BALL AND SAUCER TO A MINIMUM DEPTH OF 2", NOT TO EXCEED 3". DO NOT PLACE MULCH AGAINST THE TRUNK.
 I. WATER THOROUGHLY ON THE INTERIOR OF THE TREE SAUCER UNTIL IT IS FILLED, EVEN IF IT IS RAINING. A SECOND WATERING MAY BE NECESSARY TO INSURE SATURATION OF THE ROOT BALL AND ELIMINATION OF AIR POCKETS.
 J. PRUNING SHOULD BE RESTRICTED TO CORRECTIVE PRUNING TO IMPROVE FORM ONLY.
- STAKE TREE PER PLANTING DETAIL.

5.0. PLANTING PROCEDURES FOR SHRUBS

- PLANTING SHRUBS:
 A. FOR A SINGLE SHRUB, THE PIT SHALL BE DIG 1" WIDER THAN THE ROOTBALL AND DEEP ENOUGH TO ALLOW 1/8TH OF THE ROOTBALL TO SET ABOVE EXISTING GRADE. (SINGLE SHRUB PLANTINGS ONLY IF NOTED ON PLANS)
 B. FOR A SHRUB MASS PLANTING, THE ENTIRE BED AREA SHALL BE TILLED 4-6" DEEP. TILLING SHOULD ONLY BE DONE IN DRY SOIL TO AVOID COMPACTION. IF THE SOIL IS HEAVY IN CLAY AND SILT, ORGANIC MATERIAL SHOULD BE ADDED. EACH SHRUB PIT SHALL BE EXCAVATED FOR THE PROPER SETTING OF THE ROOTBALL.
 C. PLACE THE SHRUB IN THE PIT BY LIFTING AND CARRYING IT BY THE ROOTBALL. REMOVE CONTAINERS FROM ALL CONTAINER-GROWN SHRUBS; SLASH THE EDGES OF THE ROOTBALL FROM TOP TO BOTTOM, AT LEAST 1" DEEP.
 D. SET THE SHRUB AND IN THE CENTER OF THE PIT WITH THE MOST DESIRABLE SIDE FACING TOWARD THE PROMINENT VIEW.
 E. CUT AND REMOVE ROPE OR WIRE OFF THE TOP 50 % OF ROOTBALL AND PULL BURLAP BACK TO THE EDGE OF THE BALL. REMOVE AS MUCH BURLAP, MOVEN PRODUCTS AND THINE AS POSSIBLE. ALL PLASTIC OR SYNTHETIC FILM MUST BE REMOVED FROM THE ROOTBALL. CUT ALL THINE AWAY FROM TRUNK.
 F. FORM A SAUCER ABOVE THE EXISTING GRADE AND COMPLETELY AROUND THE PLANTING PIT.
 G. MULCH TOP OF ROOTBALL AND SAUCER A MAXIMUM DEPTH OF 2" TO 3". DO NOT PLACE MULCH AGAINST THE TRUNK.
 H. WATER SHRUB MASS THOROUGHLY EVEN IF IT IS RAINING. A SECOND WATERING MAY BE NECESSARY TO INSURE SATURATION OF THE ROOT BALL AND ELIMINATION OF AIR POCKETS.

6.0. PLANTING PROCEDURES FOR GROUND COVER, PERENNIALS AND ANNUALS

- PLANTING GROUND COVER, PERENNIAL AND ANNUAL BEDS:
 A. THE PLANTING BED SHALL BE LOOSEENED WHEN THE SOIL IS DRY PRIOR TO PLANTING BY TILLING. SOIL SHALL BE LOOSEENED TO A DEPTH OF 4 TO 6".
 B. ORGANIC MATTER SHALL BE SPREAD OVER THE BED TO A DEPTH OF 2" FOR PEAT MOSS OR 1" DEEP FOR COMPOST, I.E. NOT TO EXCEED 4 CUBIC YARDS OF COMPOST/1000 SQUARE FEET. AFTER THE SOIL HAS BEEN LOOSEENED, THE ORGANIC MATTER SHALL BE WORKED INTO THE BED BY TILLING.
 C. FERTILIZER SHALL BE TOP-DRESSED OVER BED AREA.
 D. THE PLANT, EITHER POTTED OR BARE ROOT, SHALL BE INSTALLED SO THAT THE ROOTS ARE SURROUNDED BY SOIL BELOW THE MULCH. POTTED PLANTS SHALL BE SET SO THAT THE TOP OF THE POT IS EVEN WITH THE EXISTING GRADE. THE ROOTS OF BARE ROOT PLANTS SHALL BE COVERED TO THE GROUND.
 E. SPACING OF PLANTS SHALL BE INSTALLED AS NOTED ON THE LANDSCAPE PLAN.
 F. THE ENTIRE BED SHALL BE MULCHED TO A MINIMUM DEPTH OF 1", 2" MAXIMUM, WITH APPROVED MULCH.
 G. THE ENTIRE PLANTING BED SHALL BE THOROUGHLY WATERED.

* SEE SHEET 2 FOR BUILDING DIMENSIONS

SCHEDULE A: PERIMETER LANDSCAPE EDGE

CATEGORY	PROJECT PERIMETER ADJACENT TO ROADWAY (MD RTE. 216)		BUILDING LENGTH (REAR 4 SIDES)
	PARKING AREA	LOADING (dumper)	
LOCATION / USE SITUATION			SIDES 4 REAR OF STORE BLDG.
LANDSCAPE BUFFER TYPE	TYPE-E	TYPE-D	1 SHRUB PER 4 LF OF BLDG LENGTH
LINEAR FEET OF ROADWAY/ PERIMETER FRONTAGE/BLDG.	650'	15'	191 LF (75' rear + 2 x 63' sides)
CREDIT FOR EX. VEGETATION (YES, NO; LINEAR FEET, DESCRIBE BELOW IF NEEDED)	NONE	NONE	NONE
CREDIT FOR WALL, FENCE OR BERM (YES, NO; LINEAR FEET, DESCRIBE BELOW IF NEEDED)	404' where parking lot is lower than the 10' by at least 3' (leaving 254' required strip planting)	NONE	NONE
NUMBER OF PLANTS REQUIRED	11 (for 650' at 1:60)	1	N/A
SHADE TREES	0	2	N/A
EVERGREEN TREES	0	0	N/A
ORNAMENTALS	0	0	N/A
SHRUBS	64 (for 254' at 1:4)	0	50
NUMBER OF PLANTS PROVIDED	16	1	N/A
SHADE TREES	0	0	N/A
EVERGREEN TREES	0	0	N/A
ORNAMENTALS	0	0	N/A
SHRUBS	60	0	50
SUBSTITUTIONS MADE	2 (for evergreen trees for 1 shade tree)		

LANDSCAPE SURETY REQUIRED FOR SCHEDULE A:
 SCHEDULE A NUMBER OF SHADE TREES FOR BONDING: 0 x \$300 = 0.00
 SCHEDULE A NUMBER OF EVERGREEN TREES FOR BONDING: 0 x \$150 = 0.00
 SCHEDULE A NUMBER OF SHRUBS FOR BONDING: 50 x \$30 = 1,500.00
 SCHEDULE A NUMBER OF ORNAMENTALS TREES FOR BONDING: 0 x \$150 = 0.00
 TOTAL LANDSCAPE SURETY FOR SCHEDULE A: \$1,500.00

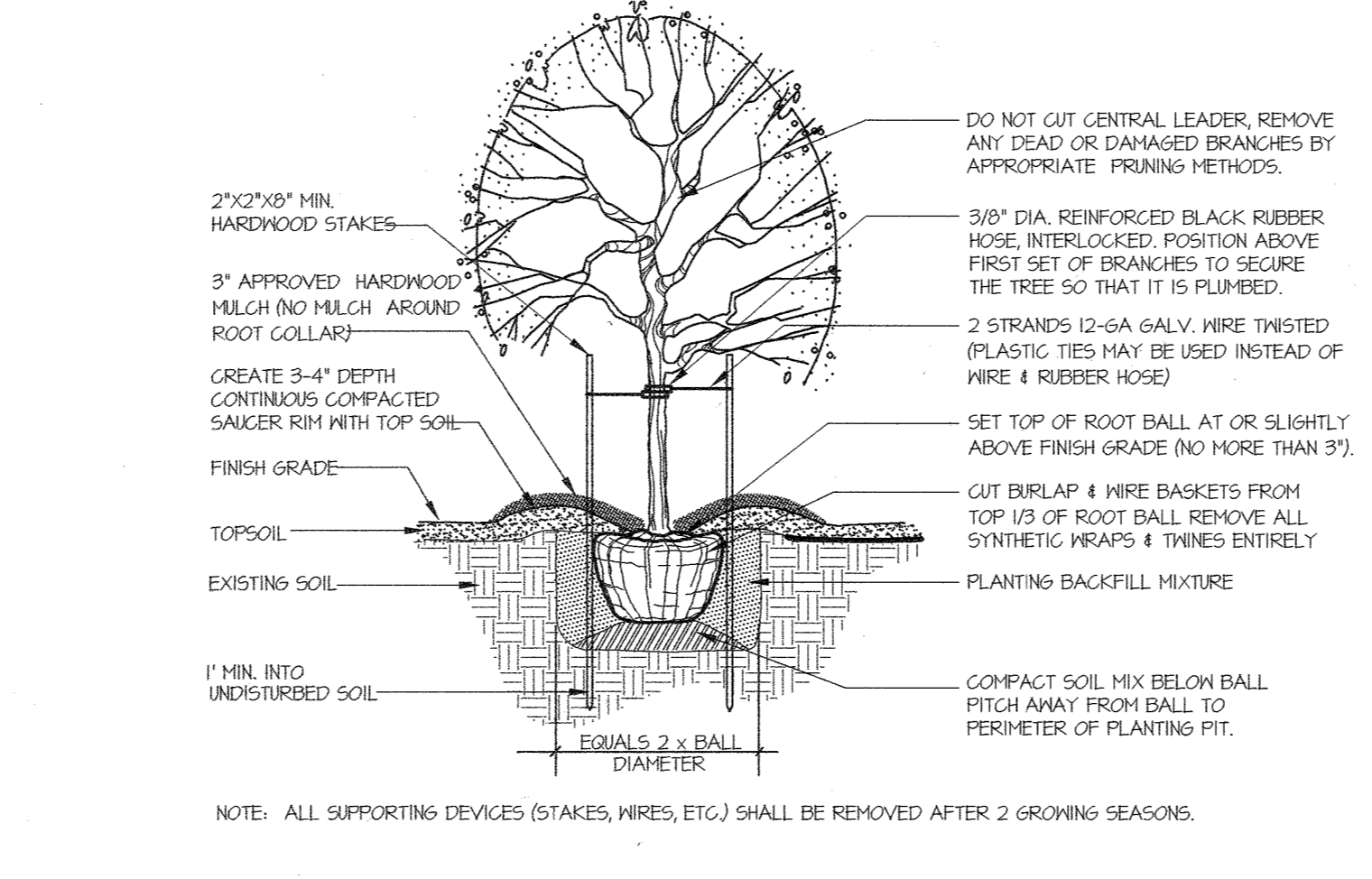
SCHEDULE B -- PARKING LOT INTERNAL LANDSCAPING

NUMBER OF PARKING SPACES	36 NEW SURFACE PARKING SPACES *
NUMBER OF TREES PROVIDED	2 (1 SHADE TREE PER 20 PARKING SPACES)
NUMBER OF TREES PROVIDED	
SHADE TREES	2
OTHER TREES (2:1 substitution)	N/A

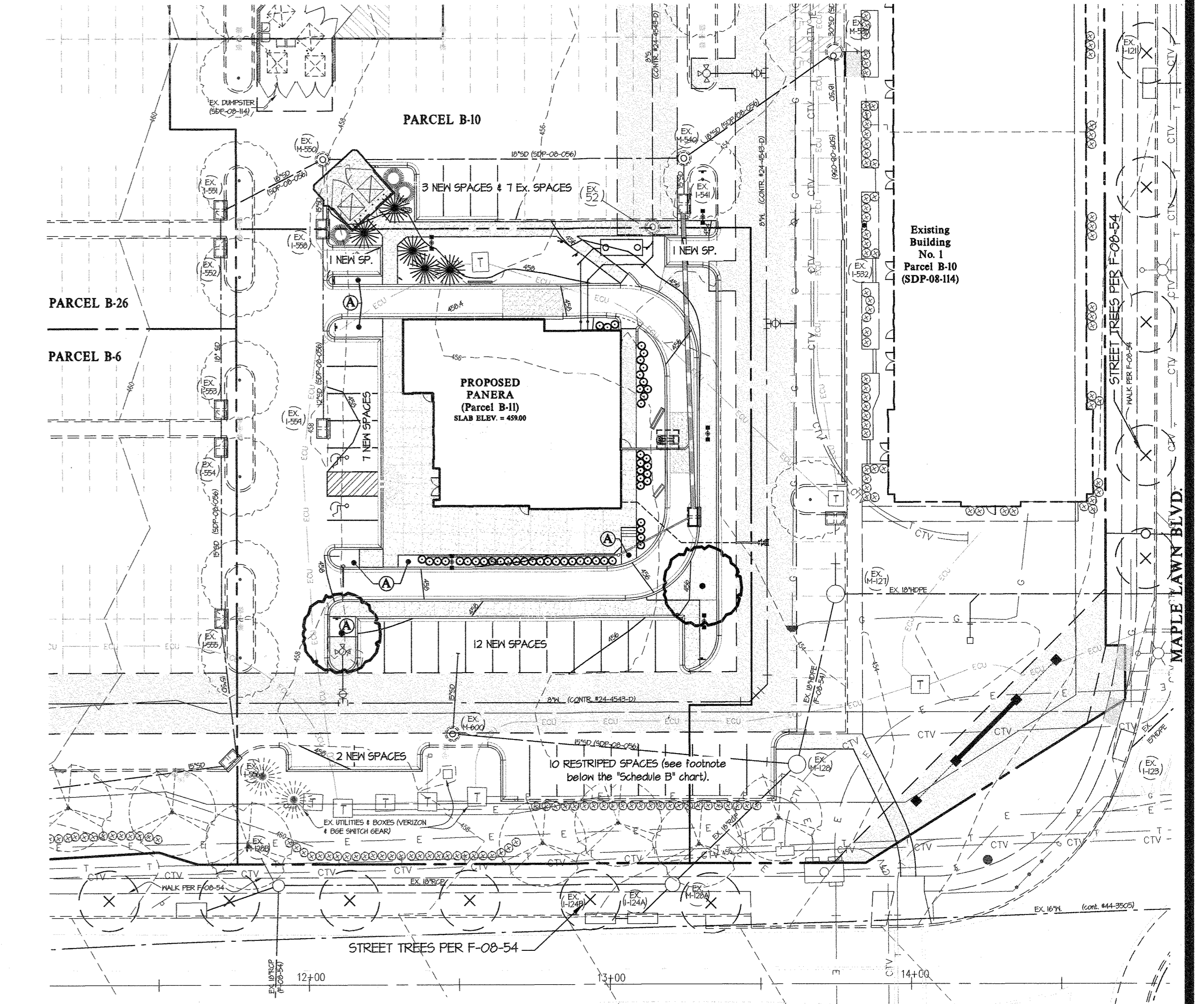
*THE 36 "NEW" PARKING SPACES (30 on Parcel B-11 + 6 on Parcel B-10) INCLUDES THE 10 RESTRICTED HEAD-IN PARKING SPACES THAT STRADDLE PARCELS B-10 + B-11 ON THE SOUTH SIDE. THAT ROW OF 10 EXISTING PARKING SPACES (BUILT UNDER SDP-08-056) IS TO BE SHIFTED APPROX. 5' WESTERLY UNDER THIS SDP TO ACCOMMODATE A DIRECT SIDEWALK CONNECTION TO THE ONE ALONG MD RTE-216. THE NET NEW PARKING SPACES ADDED IS ACTUALLY 26 (36 less the 10 restriped spaces).

PLANT LIST

SYMBOL	QUANT.	SIZE	NAME (BOTANICAL/COMMON) OF PLANTS FOR SELECTION BY OWNER/BUYER	COMMENTS
SHADE TREE	2	25' - 3' GAL	CHOOSE FROM THE FOLLOWING: ACER RUBRUM / OCTOBER GLORY / OCTOBER GLORY RED MAPLE QUERCUS PALUSTRIS / PIN OAK ZELKOVA SERRATA / VILLAGE GREEN ZELKOVA	ALL B4B
EVERGREEN	5	8' HT. MIN.	ILEX X NELLIE R. STEVENS / NELLIE STEVENS HOLLY	B4B, INTACT LEADER
SHRUB (evergreen)	3	36" HT. MIN.	VIORNUM RHYTIPOHYLLUM / LEATHERLEAF VIBURNUM or VIORNUM V. PRAGENSE / PRAGUE VIBURNUM or VIORNUM ANAQUI / CHINDO / CHINDO SHEET VIBURNUM	ALL CONTAINERIZED.
SHRUB	50	ALL 24" 30" SPREAD	CHOOSE FROM THE FOLLOWING: MAHONIA AQUIFOLIUM / OREGON GRAPE HOLLY ILEX GRENATA HELLE / DWARF JAPANESE HOLLY ILEX GLABRA COMPACTA / DWARF INKBERRY CARYOPTERIS X CLANDONENSIS / BLUEBEARD ABELIA X ROSE GREEK / ROSE GREEK ABEILIA ABELIA X GRANDIFLORA GLOSSY ABEILIA DEUTZIA GRACILIS / SLENDER DEUTZIA DWARF FEMALE JAPANESE SKIMMIA / DWARF FEMALE JAPANESE SKIMMIA BUXUS MICROPHYLLA / WINTER GEM / WINTER GEM BOKROGOD	ALL CONTAINERIZED.

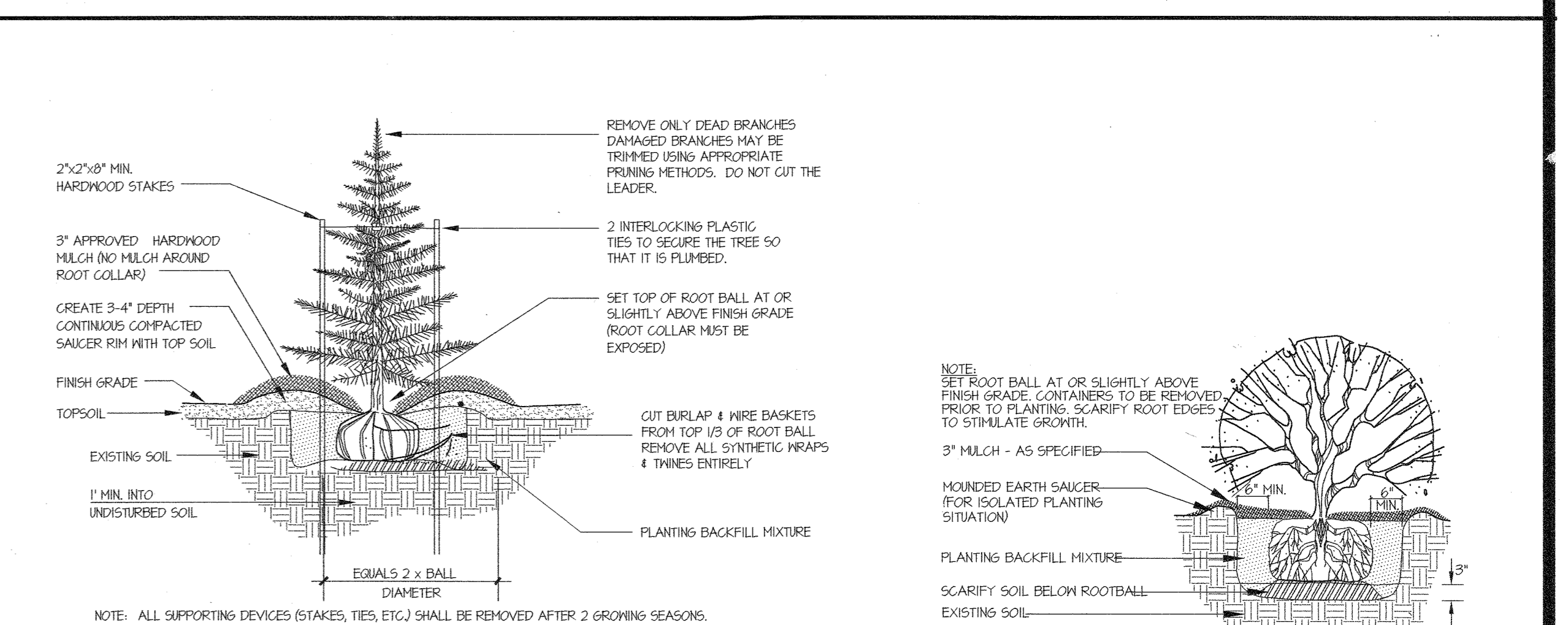


DECIDUOUS TREE PLANTING DETAIL
 FOR PLANTING MATERIAL UP TO 3 1/2" CALIPER



PLANTING LEGEND

- PROPOSED EVERGREEN TREE
- PROPOSED SHRUBS
- PROPOSED SHADE TREE
- SEASONAL COLOR (ANNUALS)
- AREA TO BE SOLOPED



EVERGREEN TREE PLANTING DETAIL

THIS PLAN IS FOR PLANTING PURPOSES ONLY

LANDSCAPE PLAN
MAPLE LAWN FARMS
 WESTSIDE DISTRICT - AREA 1
 Parcel B-11 (Restaurants)
 PLAT Nos. 19902 - 19903

SCALE: 1" = 30'

ZONING: MXD-3

G. L. W. FILE No. 17098

DATE: FEB. 2021

TAX MAP - GRID: 46 - 21

SHEET: 7 OF 7

ELECTION DISTRICT No. 5

HOWARD COUNTY, MARYLAND