- I. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF HOWARD COUNTY PLUS MSHA STANDARDS AND SPECIFICATIONS IF APPLICABLE
- 2. THE CONTRACTOR SHALL NOTIFY THE DEPARTMENT OF PUBLIC WORKS, BUREAU OF ENGINEERING, CONSTRUCTION INSPECTION DIVISION AT (410) 313-1880 AT LEAST FIVE (5) WORKING DAYS PRIOR TO THE START OF WORK.
- 3. THE CONTRACTOR SHALL NOTIFY "MISS UTILITY" AT I-800-257-7777 AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION WORK BEING DONE.

PLAT No. 19903

- 4. PROJECT BACKGROUND: TAX MAP #46. GRIDS 3 & 4 LOCATION: ZONING: 5TH ELECTION DISTRICT
- 5. THE CONTRACTOR SHALL NOTIFY THE HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS, BUREAU OF UTILITIES AT (410) 313-4900 AT LEAST FIVE (5) WORKING DAYS PRIOR TO STARTING ANY EXCAVATION WORK.

0.8011± AC.

REC. REF .:

PARCEL B-II AREA:

- 7. ALL PLAN DIMENSIONS ARE TO FACE OF BUILDING UNLESS OTHERWISE NOTED. DIMENSIONS ARE MEASURED PERPENDICULAR OR RADIALLY BETWEEN ITEMS UNLESS OTHERWISE NOTED.
- 8. EXISTING TOPOGRAPHY IS FROM FIELD SURVEY OF PARCEL B-II DONE IN JANUARY 2020 BY GUTSCHICK, LITTLE \$ WEBER, P.A. & BY DESIGN GRADES FROM DESIGN PLANS FOR CONSTRUCTION.
- 9. COORDINATES AND BEARINGS ARE BASED UPON THE '83 MD STATE COORDINATE SYSTEM (NAD '83) AS PROJECTED BY HOWARD COUNTY GEODETIC CONTROL STATIONS NO. 41EA, 41EB, 41GA AND NO. 46B2.
- 10. SITE IS BEING DEVELOPED UNDER MXD-3 REGULATIONS, PER ZB995M, APPROVED ON 2/8/01 AND ZB-1039M APPROVED 03/20/06 AND THE COMPREHENSIVE ZONING PLAN DATED 02/02/04. UNDERLYING ZONING IS RR-DEO AND THE COMP LITE ZONING REGULATION AMENDMENTS DATED 07/28/06.
- II. THE PREVIOUS DEPARTMENT OF PLANNING AND ZONING FILE NUMBERS: S 01-17, S-06-16, ZB-995M, ZB-1039M, PB-353, PB-378, P-07-18, F-08-54, F-08-55, SDP-07-43, WP-05-12, WP-07-122, WP-08-04,
- F-08-105, SDP-08-056, SDP-08-058 (NULL), SDP-08-114, F-11-047 and F-14-093. 12. FOR EXISTING PUBLIC WATER AND SEWER SEE CONTRACT Nos. 24-4543-D.
- 13. ALL ON-SITE STORM DRAIN SYSTEMS ARE PRIVATE.
- 14. STORMWATER MANAGEMENT, FOR BOTH QUALITY AND QUANTITY, FOR THE DEVELOPMENT PROPOSED BY THESE PLANS IS SATISFIED BY AN EXISTING FACILITY CONSTRUCTED UNDER F-03-07, ON OPEN SPACE LOT 3. THE FACILITY IS PRIVATELY OWNED AND MAINTAINED. THE RECHARGE REQUIREMENTS FOR THIS DÉVELOPMENT IS PROVIDED BY FACILITIES BUILT THRU OUT MAPLE LAWN.
- 15. EXISTING UTILITIES ARE BASED ON APPROVED DESIGN PLANS FOR CONSTRUCTION AND FIELD LOCATION BY GUTSCHICK, LITTLE & WEBER, P.A.
- 16. THERE ARE NO KNOWN CEMETERIES, GRAVE SITES OR HISTORIC STRUCTURES LOCATED ON THE SUBJECT PROPERTY
- 17. THERE ARE NO SCENIC ROADS WITHIN OR ADJACENT TO THE SUBJECT PROPERTY.
- 18. THERE IS NO FLOODPLAIN ON PARCEL B-11 OR THE ADJACENT (PARCELS).
- 19. THERE ARE NO WETLANDS ON PARCEL B-11 OR THE ADJACENT PARCELS.
- 20. AS A COMMERCIAL DEVELOPMENT, A NOISE STUDY IS NOT REQUIRED FOR THIS SDP. 21. BUILDING AND PARKING SETBACKS ARE IN ACCORDANCE WITH THE APPROVED DEVELOPMENT CRITERIA PER 5-06-16.
- 22. THE RESIDENTIAL LOTS PARCELS AND EMPLOYMENT USE STRUCTURES DEVELOPED OR PROPOSED ON THE ORIGINAL 501 ACRES TRACT FOR MAPLE LAWN FARMS ARE GRANDFATHERED TO THE FOURTH EDITION OF THE SUBDIVISION AND LAND DEVELOPMENT
- REGULATIONS AS DEVELOPED UNDER S-01-17, PB CASE 353 AND ZB CASE NO. 995M. HOWEVER, THE PROPOSED RESIDENTIAL AND EMPLOYMENT USES THAT ARE TO BE DEVELOPED UNDER AMENDED CSP, S-06-16 AND ZB CASE NO. 1039M FOR THE FORMER WESSEL AND OLIVER PROPERTIES ARE SUBJECT TO THE AMENDED FIFTH EDITION OF THE SUBDIVISION AND REGULATIONS PER COUNCIL BILL NO.45-2003 AND THE ZONING REGULATIONS PER COUNCIL BILL NO. 75-2003. 23. THE TRAFFIC STUDY (APFO) BY THE TRAFFIC GROUP, INC. WAS APPROVED AS PART OF SKETCH PLAN 5-06-016. THIS TRAFFIC
- STUDY WAS RE-EVALUATED BY THE TRAFFIC GROUP, INC. FOR THE PROPOSED PANERA BREAD RESTAURANT ON MAY 20, 2020 AND FOUND TO BE CONSISTENT WITH THE APPROVED TRAFFIC STUDY FOR MAPLE LAWN FARMS.
- 24. FOREST CONSERVATION FOR THIS SITE HAS BEEN PROVIDED UNDER F-08-54.
- 25. THE RESTAURANT BUILDING ON PARCEL B-II SHALL HAVE AN AUTOMATIC FIRE PROTECTION SPRINKLER SYSTEM W AN INSIDE METER
- 26. THE SHARED ACCESS AND PARKING AGREEMENT FOR PARCELS B-6, B-10, B-11 AND B-22 THRU B-26 IS RECORDED AT L.1789 F.353 (SEE SHEET 4 "SHARED PARKING ANALYSIS").
- 27. ALL EXTERIOR LIGHT FIXTURES SHALL BE ORIENTED TO DIRECT LIGHT INWARDS AND DOWNWARDS AWAY FROM ALL ADJOINING RESIDENTIAL USE AREAS AND PUBLIC ROADS IN ACCORDANCE WITH SECTION 134 OF THE HOWARD COUNTY ZONING REGULATIONS.
- 28. THE LOADING AND UNLOADING DELIVERIES CAN ONLY OCCUR OUTSIDE OF NORMAL BUSINESS HOURS OF OPERATION.
- 29. THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE PROVISIONS OF SECTION 16.124 OF THE HOWARD COUNTY CODE, THE LANDSCAPE MANUAL AND S-06-016. FINANCIAL SURETY OF \$2,100.00 FOR THE REQUIRED LANDSCAPING TO SATISFY SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL SHALL BE POSTED WITH THE GRADING PERMIT APPLICATION (FOR ADDITIONAL INFORMATION ON THE LANDSCAPE SURETY CALCULATIONS, SEE SHEET 1).
- 30 HEALTH DEPARTMENT APPROVAL OF THIS SITE DEVELOPMENT PLAN DOES NOT ENGLIRE APPROVAL OF BILLIDING PERMIT APPLICATIONS ASSOCIATED WITH THIS PLAN. PLANS FOR CERTAIN FACILITIES TO BE CONSTRUCTED WITHIN THE LIMITS DESCRIBED BY THIS PLAN WILL REQUIRE REVIEW AND APPROVAL BY THE HEALTH DEPARTMENT. SUCH FACILITIES MAY INCLUDE, BUT ARE NOT LIMITED TO, THOSE WHICH HAVE SWIMMING POOLS, OR THAT SELL PREPARED OR PACKAGED FOODS, OR THAT MAY HAVE EQUIPMENT THAT EMITS RADIATION
- 31. THE PLANNING BOARD APPROVED THIS SDP ON 02/18/2021

### N AUGUST 20, 2004, WP 05-12 WAS GRANTED, ALLOWING THE FOIL OWING

DEVELOPMENT OR SUBDIVISION IN A CEMETERY (WAIVER FROM SECTION 16.1304) REMOVAL OF HUMAN REMAINS FROM A CEMETERY PRIOR TO DEVELOPMENT (WAIVER FROM SECTION 16.1306)

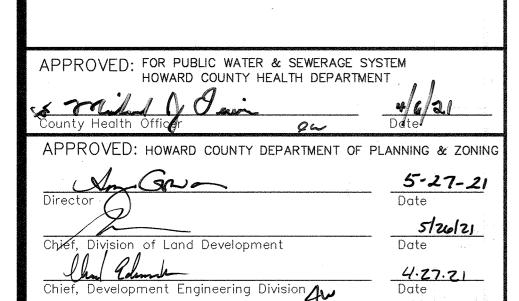
<u>WF-0 1-122</u> WAIVER REQUEST FROM SECTION 16.146 - REQUIREMENT FOR A PRELIMINARY PLAN PRIOR TO THE PLAT APPROVAL, WAS APPROVED BY THE DEPARTMENT OF PLANNING AND ZONING UNDER THE CONDITIONS OF WP-07-122(\*\*\*\*), WHICH WAS GRANTED ON JUNE 19, 2007 SUBJECT TO THE FOLLOWING

- I. COMPLIANCE WITH THE SRC COMMENTS ISSUED FOR THE FINAL PLAN. F-07-183 AND THE RED-LINE REVISION OF SDP-05-36. 2. COMPLIANCE WITH THE COMMENTS DATED JUNE 14, 2007 FROM DEVELOPMENT ENGINEERING DIVISION: I. ADDED PARCEL C-20 TO PURPOSE NOTE.
- APPROVED BECAUSE IT DOES NOT HAVE AN EFFECT ON STORMWATER MANAGEMENT, OR APFO. 3. THIS PLAN ONLY ALLOWS FOR THE CONSTRUCTION OF AN ADDITION OF A PARKING LOT.

- ON AUGUST 8, 2007, WP-08-04 WAS GRANTED TO WAIVE SECTION 16.121(E)(1) WHICH REQUIRES OPEN SPACE LOTS (OPEN SPACE LOTS I THRU 4) TO HAVE A MINIMUM OF 40 FEET OF FRONTAGE ONTO A PUBLIC ROAD FOR ACCESS BY PEDESTRIANS AND MAINTENANCE VEHICLES. THE APPROVAL IS SUBJECT TO THE FOLLOWING CONDITIONS: BOLLARD MARKERS OR SOME FORM OF PERMANENT SIGNAGE SHALL BE INSTALLED AT THE PUBLIC OR PRIVATE ROAD FRONTAGES TO IDENTIFY
- PEDESTRIAN AND VEHICULAR ACCESS TO OPEN SPACE LOTS I THRU 4 AND FOR OPEN SPACE LOTS 2 AND 4 AT THE SWM ACCESS EASEMENT TO IDENTIFY MAINTENANCE VEHICLE ACCESS TO THE SWM FACILITIES. SUBJECT TO THE SRC COMMENTS ISSUED FOR PRELIMINARY PLAN, P-07-18.
- THE MINIMUM PUBLIC ROAD FRONTAGE FOR HOA OPEN SPACE LOT 2 SHALL BE INCREASED IN WIDTH FROM THE 19 FEET PRESENTLY PROPOSED ON THE WAIVER PLAN EXHIBIT TO A MINIMUM OF 20 FEET IN WIDTH 4. A 20' WIDE MINIMUM UNRESTRICTED PUBLIC OR PRIVATE ROAD ACCESS MUST BE PROVIDED TO SERVE AS AN ENTRANCEWAY LEADING INTO HOA OPEN SPACE LOT 4 (FUTURE HOA RECREATIONAL BALL FIELDS) TO ACCOMMODATE PEDESTRIAN ACCESS AND PERIODIC ACCESS FOR MAINTENANCE AND
- THE PROCESSING OF THIS WAIVER REQUEST FOR THE MINIMUM OPEN SPACE FRONTAGE REQUIREMENTS FOR OPEN SPACE LOTS I THRU 4 AS SHOWN ON P-07-18 SHALL BE CONSIDERED AS A TEMPORARY DEFERRAL OF THE PUBLIC OR PRIVATE FRONTAGE REQUIREMENT UNTIL THE FINAL SUBDIVISION

# PLANNING BOARD OF HOWARD COUNTY

02/18/2021

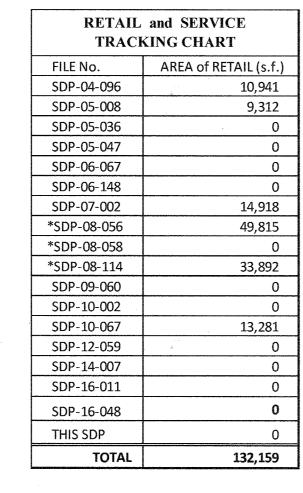


PHONE: 301-421-4024 | BALT: 410-880-1820 | DC&VA: 301-989-2524 | FAX: 301-421-4186

# SITE DEVELOPMENT PLAN MAPLE LAWN FARMS

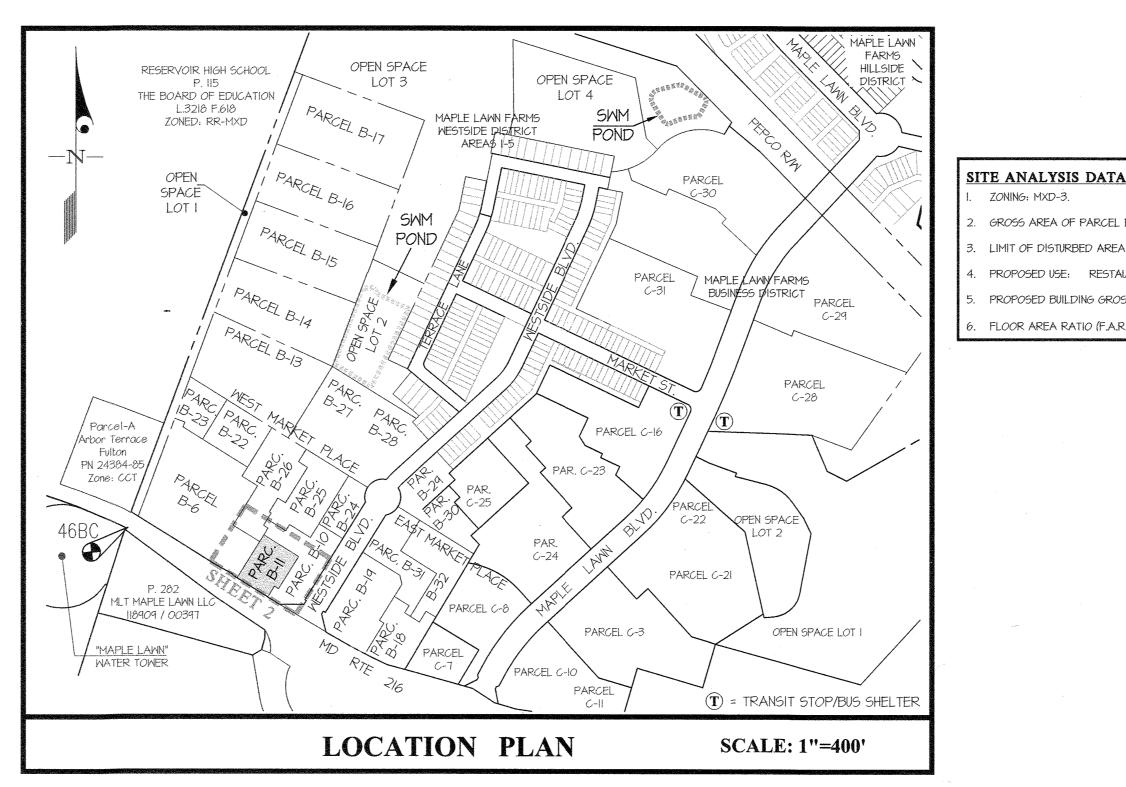
# Westside District - Area 1

Parcels B-11 (Restaurant)



### A TOTAL OF 152,370 S.F. OF RETAIL IS ALLOWED IN ACCORDANCE WITH S-OI-IT, OR A TOTAL OF 181,590 S.F. OF RETAIL UNDER S-06-16

- 2. THE WESTSIDE AREA-I SOUTHWEST QUADRANT (West of Westside Blvd. and south of West Market Place) IS COMPRISED OF THE THREE SDPS DENOTED WITH AN ASTERISK (\*). THE TOTAL RETAIL AREA IN THIS QUADRANT IS 83.707 SQ. FEET. THE TOTAL COMMERCIAL AREA IN THIS SAME QUADRANT IS 112,843 S.F. (which is the sum of the floor areas for SDP-08-056, SDP-08-058 & SDP-08-114 shown in the FAR Tracking Chart).
- 3. THE RETAIL TRACKING CHART MUST BE UPDATED IF TENANT SPACE CHANGES USE TO RETAIL FOR THIS SDP.



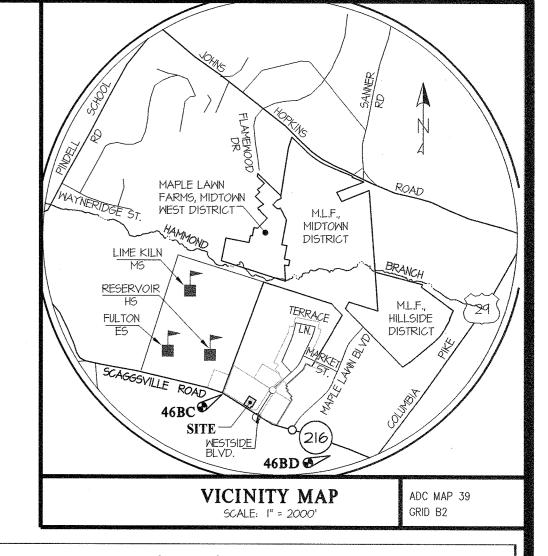
NAD83 HORIZONTAL DATA & NVD88 VERTICAL DATA

HOWARD COUNTY CONTROL

ELEV. = 472.16 N = 539,925,13 E=1,337,205,77 STANDARD DISC ON CONCRETE MONUMENT

ELEV. = 431,17

N = 538,656.76 E=1,339,461.55 STANDARD DISC ON CONCRETE MONUMENT



FLOOR AREA RATIO (F.A.R.) TRACKING CHART							
DPZ File Numbers	MLF District	Parcel Area (ac. /s.f.)		Gross Floor Area (s.f.)	F.A.R.		
SDP-04-44 (Office Bldg-1)	Business	4.40	191,550	93,945	0.49		
SDP04-96 (Retail Bldg-1 and Bank)	Business	3.17	137,933	24,088	0.17		
SDP-05-08 (Retail Bldg-2 and Gas Station)	Business	3.20	139,520	22,218	0.16		
SDP-05-36 (Office Bldg-2, Par. C-24)	Business	3.99	173,818	93,945	0.54		
SDP-05-47 (Office Bldg-3, Par. C-21 and Bank, Par. C-22)	Business	5.58	243,230	123,740	0.51		
SDP-06-67 (Office Bldg-4, Par. C-23)	Business	3.49	152,117	100,288	0.66		
SDP-06-148 (Medical and Office Buildings)	Midtown	8.54	371,950	134,759	0.36		
SDP-07-02 (Bank, School, Retail & Restaurant)	Midtown	7.36	320,659	47,133	0.15		
SDP-08-56 (Harris Teeter Grocery Store, Par. B6)	Westside	4.24	184,615	49,815	0.27		
SDP-08-058 (Bank, Parcel B-11) NULL & VOIDED	Westside						
SDP-08-114 (Parcels B-7 thru B-10 and B-22 & B-26)	Westside	6.51	283,685	58,574	0.21		
SDP-09-060 (Parcels B- <b>13</b> thru B-17)	Westside	17.06	743,157	210,100	0.28		
SDP-10-002 (Office Bldg-2A, Par. C-25)	Business	1.54	66,954	34,375	0.51		
SDP-10-067 (Bldg-7, Parcel B-18 & Bldg-8, Parcel B-19)	Westside	2.81	122,406	17,192	0.14		
SDP-12-059 (Office-6, Parcel C-28)	Business	6.00	261,261	139,421	0.53		
SDP-14-007 (Office-8, Parcel C-29)	Business	5.73	249,400	130,629	0.52		
SDP-16-011 (Office Bldg-10, Parcel C-22)	Business	4.35	189,537	104,412	0.55		
SDP-16-048 (Office-9, Parcel C-33)	Business	3.97	172,926	102,263	0.59		
SDP-16-007 (Hotel Bldg-14 & Office Bldg-15)	Westside	3.63	158,063	108,667	0.69		
SDP-17-011 (Bldg-12a & Bldg12b)	Westside	1.55	67,385	12,026	0.18		
SDP-17-026 (Bldg-9 & Bldg-10)	Westside	2.59	112,996	20,258	0.18		
SDP-18-051 (Office-7, Parcel C-34)	Business	4.68	204,025	115,981	0.57		
SDP-20-038, this SDP (Restaurant, Parcel B-11)	Westside	0.80	34,895	4,021	0.12		
Employment Area Recorded as Road R/W		13.28	578,314	0	0.00		
Running Sub-total		118.47	5,160,396	1,747,850	0.34		
Total Area Allowed to be Recorded as Employment		122.00		1,860,012	0.35		
TOTAL REMAINING EMPLOYMENT AREA (acres)		3.53					

The maximum total floor area permitted per S-0-16 is 1,860,012 s.f. (0.35 FAR) which is 35% of 122.0 acres.

### COMMERCIAL DEVELOPMENT DESIGN CRITERIA PER S-06-16

NO MINIMUM OR MAXIMUM PARCEL SIZES APPLY IN THE EMPLOYMENT LAND USE AREAS.

MAXIMUM BUILDING HEIGHT SHALL BE LIMITED TO 120' UNLESS APPROVED TO BE GREATER ON A SITE DEVELOPMENT PLAN BY THE HOWARD

COUNTY PLANNING BOARD. ADDITIONALLY, THE FOLLOWING SHALL APPLY:

- COMMERCIAL BUILDINGS AT THE CORNER OF JOHNS HOPKINS ROAD AND MAPLE LAWN BOULEVARD SHALL NOT EXCEED THREE STORIES. • COMMERCIAL BUILDINGS EAST OF MAPLE LAWN BOULEVARD AT THE FOCAL POINT SHALL NOT EXCEED FOUR STORIES.
- COMMERCIAL BUILDINGS IN THE BUSINESS DISTRICT WITHIN 300 FEET OF MD ROUTE 216 SHALL NOT EXCEED ONE STORY • COMMERCIAL BUILDINGS IN THE BUSINESS DISTRICT LOCATED BETWEEN 300 FEET AND 500 FEET FROM MD ROUTE 216 SHALL NOT
- EXCEED FOUR STORIES . COMMERCIAL BUILDINGS IN THE BUSINESS DISTRICT BEYOND 500 FEET FROM MD ROUTE 216 SHALL NOT EXCEED EIGHT STORIES ABOVE
- THE HIGHEST ADJOINING GRADE. • COMMERCIAL BUILDINGS IN THE WESTSIDE DISTRICT WITHIN 300 FEET OF MD ROUTE 216 SHALL NOT EXCEED TWO STORIES.
- COMMERCIAL BUILDINGS IN THE WESTSIDE DISTRICT BEYOND 300 FEET FROM MD ROUTE 216 SHALL NOT EXCEED FOUR STORIES ABOVE THE HIGHEST ADJOINING GRADE

### THE FOLLOWING USES ARE PERMITTED IN EMPLOYMENT LAND USE AREAS:

EMPLOYMENT USES PERMITTED ONLY WITHIN M-I ZONING DISTRICT SHALL NOT BE PERMITTED. ALL USES PERMITTED AS A MATTER OF RIGHT IN THE POR, B-I AND M-I DISTRICTS, AS PER PETITIONER'S PDP EXHIBIT 78, WITHOUT REGARD TO ANY LIMITATIONS OR RESTRICTIONS ON RETAIL OR PERSONAL SERVICE USES OTHERWISE PERMITTED IN SUCH DISTRICTS: FAST FOOD, CONVENIENCE STORES, COUNTRY CLUBS AND GOLF COURSES, MOVIE THEATERS, LEGITIMATE THEATERS AND DINNER THEATERS, PUBLIC UTILITY USES (EXCLUDING STAND-ALONE COMMUNICATION TOWERS), GROUP CARE FACILITIES, HOUSING FOR THE ELDERLY AND/OR HANDICAPPED PERSONS, NURSING HOMES AND SHELTERED HOUSING, PARCEL A-2 MAY CONTAIN LIVE-WORK UNITS AS DEFINED IN THE OTHER RESIDENTIAL (OR) SECTION. ACCESSORY STRUCTURES AND ACCESSORY USES ARE ALSO PERMITTED.

THE FOLLOWING ADDITIONAL USES NOT REFERRED TO OR INCLUDED IN THE ABOVE USES, WHICH ARE ALLOWED BY SPECIAL EXCEPTION IN THE POR. B-I AND M-I DISTRICTS, WILL BE PERMITTED AS A MATTER OF RIGHT IN THE EMPLOYMENT LAND USE AREAS, AND ARE SPECIFICALLY APPROVED BY THE PLANNING BOARD ON THIS AMENDED COMPREHENGIVE SKETCH PLAN, PROVIDED, HOWEVER, THAT QUARRIES, TEMPORARY WRECKED VEHICLE STORAGE AND YARD WASTE SHALL NOT BE ALLOWED:

- PUBLIC SCHOOL BUILDINGS-TEMPORARY CONVERSION TO OTHER USES THEATERS, LEGITIMATE AND DINNER
- PUBLIC UTILITY USES, LIMITED TO THE FOLLOWING: UTILITY SUBSTATIONS, ABOVE GROUND PIPELINES, PUMPING STATIONS, TELEPHONE STATIONS, AND TELEPHONE EXCHANGES, BUT NO STAND-ALONE COMMERCIAL COMMUNICATIONS TOWERS.

### THE FOLLOWING USE RESTRICTIONS ALSO APPLY: . NO MORE THAN 15% OF THE TOTAL EMPLOYMENT LAND USE AREA MAY BE DEVOTED TO WAREHOUSE AND LIGHT MANUFACTURING USES.

- CEMETERIES, MAUSOLEUMS & CREMATORIUMS ARE NOT PERMITTED • A MAXIMUM OF ONE GASOLINE SERVICE STATION IS PERMITTED. THE GASOLINE SERVICE STATION MAY INCLUDE A CAR WASH, CAR
- NO SINGLE RETAIL CENTER SHALL CONTAIN MORE THAN 150,000 SQUARE FEET OF GROSS FLOOR AREA DESIGNATED FOR USE BY RETAIL AND PERSONAL SERVICE BUSINESSES. DESIGNATED RETAIL CENTERS MAY INCLUDE RETAIL STORES, PERSONAL SERVICE ESTABLISHMENTS, AND SIMILAR USES, AS WELL AS FAST FOOD RESTAURANTS AND A GASOLINE SERVICE STATION; HOWEVER FOR ALL RETAIL CENTERS THE TOTAL SQUARE FOOT AREA WHICH MAY BE USED FOR RETAIL AND PERSONAL SERVICE BUSINESS SHALL NOT EXCEED 181,590 (300 SQUARE FEET PER GROSS ACRE). NO INDIVIDUAL RETAIL ESTABLISHMENT WITHIN THE MXD-3 DISTRICT SHALL HAVE A GROSS FLOOR AREA GREATER THAN 65,000 SQUARE FEET, RETAIL AND PERSONAL SERVICES AND OTHER ALLOWED USES,

SUCH AS RESTAURANTS AND A GASOLINE SERVICE STATION MAY ALSO BE LOCATED WITHIN OTHER DESIGNATED EMPLOYMENT AREAS

SECTION 128.F SHALL APPLY TO EMPLOYMENT LAND USE AREAS.

OUTSIDE OF A RETAIL CENTER.

REPAIR FACILITIES, AND/OR CONVENIENCE STORE FOOD

THEATERS, MOVIE

NO COVERAGE REQUIREMENT IS IMPOSED IN EMPLOYMENT LAND USE AREAS

FLOOR AREA RATIO (FAR)
OVERALL LIMIT IS 0.35 CALCULATED ON THE TOTAL ACREAGE FOR ALL EMPLOYMENT LAND USE AREAS.

SETBACKS (ALSO SEE "PROJECT BOUNDARY SETBACKS")

- THE MINIMUM SETBACK FOR EMPLOYMENT/COMMERCIAL STRUCTURES SHALL BE AS FOLLOWS: • 50' FROM THE BOUNDARY LINE ALONG JOHNS HOPKINS ROAD OR ROUTE 216
- 10' FROM THE RIGHT-OF-WAY OF MAPLE LAWN BOULEVARD
- NO SETBACK IS REQUIRED FROM THE RIGHT-OF-WAY OF ANY INTERNAL PUBLIC OR PRIVATE ROADS OTHER THAN FOR MAPLE LAWN BOULEVARD
- IO' FROM ANY OTHER PROPERTY LINE

### PARKING SETBACKS

- 15' TO PUBLIC RIGHT-OF-WAY OF MAPLE LAWN BOULEVARD (EXCEPT FOR PARALLEL PARKING ADJACENT TO ROADWAY) • 10' TO ANY OTHER PROPERTY OR BOUNDARY LINE (EXCEPT FOR PARALLEL PARKING ADJACENT TO ROADWAY, OR WHERE A PARCEL LINE LIES WITHIN A
- USE-IN-COMMON PARKING AREA SERVING MULTIPLE PARCELS.) 20' TO PROJECT BOUNDARY LINE ALONG JOHNS HOPKINS OR ROUTE 216

EXCEPTIONS TO SETBACK REQUIREMENTS
STRUCTURES MAY BE LOCATED ANYWHERE WITHIN SETBACK AREAS IN ACCORDANCE WITH A SITE DEVELOPMENT PLAN APPROVED BY THE HOWARD COUNTY

EXCEPT FOR THE FOLLOWING, SECTION 128.A.I APPLIES: A. BAY WINDOWS, EAVES, FRENCH BALCONIES, PORTICOS, CORNICES, AWNINGS, SIGNS, AND SIMILAR ARCHITECTURAL ELEMENTS MAY ENCROACH FULLY INTO

B. ARCADES MAY ENCROACH INTO ANY SETBACK TO WITHIN I' OF THE PROPERTY LINE. WHERE SUCH ARCADES ARE PROPOSED, THE FRONT FAMADE MAY ALIGN, VERTICALLY, WITH THE FRONT OF THE ARCADE, THEREBY REDUCING THE REQUIRED FRONT SETBACK ACCORDINGLY. AN ARCADE IS AN ARCHED BUILDING, OR PORTION OF A BUILDING, OR GALLERY OFTEN COVERED WITH A ROOF STRUCTURE OR BUILDING SUPPORTED BY A SERIES OF ARCHES

- a. A MINIMUM OF FIVE PARKING SPACES SHALL BE PROVIDED FOR EACH 1,000 SQUARE FEET OF NET LEASABLE AREA DEVOTED TO COMMERCIAL RETAIL SALES USES. b. A MINIMUM OF 3.3 PARKING SPACES SHALL BE PROVIDED FOR EACH 1,000 SQUARE FEET OF NET LEASABLE AREA THAT IS DEVOTED TO OFFICE OR
- RESEARCH AND DEVELOPMENT USES. C. NO PARKING REQUIREMENT IS IMPOSED UPON ANY RESTAURANT, COFFEE SHOP OR SIMILAR FACILITY CONSTRUCTED WITHIN BUILDINGS WHICH PRIMARILY
- SERVES TENANTS AND EMPLOYEES OF SUCH BUILDINGS, OR NEIGHBORING BUILDINGS ACCESSIBLE BY PEDESTRIANS. d. ONE PARKING SPACE SHALL BE PROVIDED FOR EACH BEDROOM CONTAINED WITHIN ANY HOTEL, INN OR SIMILAR FACILITY AND ONE PARKING SPACE
- SHALL BE PROVIDED FOR FACH FIVE EMPLOYEES OF SUCH FACILITY e. ONE PARKING SPACE SHALL BE PROVIDED FOR EACH THREE SEATS WITHIN ANY RESTAURANT, COFFEE SHOP OR SIMILAR FACILITY CONSTRUCTED WITHIN A HOTEL, INN OR SIMILAR FACILITY OR AS A FREESTANDING STRUCTURE AND ONE PARKING SPACE SHALL BE PROVIDED FOR EACH FIVE EMPLOYEES OF
- F. ONE PARKING SPACE SHALL BE PROVIDED FOR EACH TWO BEDS IN ANY HOSPITAL OR CLINIC; ONE PARKING SPACE SHALL BE PROVIDED FOR EACH EMPLOYEE ON A MAJOR SHIFT; AND EIGHT PARKING SPACES SHALL BE PROVIDED FOR EACH DOCTOR TREATING OUTPATIENTS ON A MAJOR SHIFT. q. INDUSTRIAL USES:

0.5 SPACES PER 1,000 SQUARE FEET OF NET LEASABLE AREA "FLEX" SPACE (INDUSTRIAL/OFFICE) 2.5 SPACES PER 1,000 SQUARE FEET OF NET LEASABLE AREA OTHER INDUSTRIAL 2.0 SPACES PER 1,000 SQUARE FEET OF NET LEASABLE AREA.

RECREATIONAL USES: HEALTH CLUB SWIMMING POOL, COMMUNITY

10.0 SPACES PER 1,000 SQUARE FEET OF NET LEASABLE ARFA I.O SPACE PER SEVEN PERSONS PERMITTED IN THE POOL AT ONE TIME BY THE DEPT. OF TENNIS COURT 2.0 SPACES PER COURT

ELECTION DISTRICT No. 5

UNLESS A MORE PRECISE VALUE IS DETERMINED BY REDUCING THE GROSS FLOOR AREA BY AREAS DEVOTED TO PARKING, VEHICULAR CIRCULATION, OFFICE BUILDING STORAGE AREAS, EQUIPMENT AND MECHANICAL ROOMS/AREAS, LOCKER AND SHOWER FACILITIES, ENTRANCE FOYERS/ATRIA, AND REQUIRED MINIMUM PARKING FOR ALL SUCH COMMERCIAL AND EMPLOYMENT USES SHALL BE MET OFF-STREET. ADDITIONAL PARKING MAY BE ACCOMMODATED

"NET LEASEABLE AREA" IS DEFINED AS 90% OF THE GROSS FLOOR AREA (AFTER DEDUCTING ANY FLOORS DEVOTED TO STORAGE AND COMMON USES),

ON-STREET, IN PARALLEL PARKING WITHIN PUBLIC ROAD RIGHTS-OF-WAY, PARALLEL SPACES LOCATED ON PAVED AREAS ADJACENT TO PUBLICLY MAINTAINED ROADWAYS OR ORIENTED DIAGONALLY OR AT RIGHT ANGLES TO SUCH ROADWAYS, IN AND/OR OUT OF THE PUBLIC R/W. REDUCTIONS IN PARKING REQUIREMENTS ARE PERMITTED PURSUANT TO THE HOWARD COUNTY ZONING REGULATIONS SECTIONS 133.D.8 (PARKING STUDIES), 133.E.I (SHARED PARKING) AND 133.E.2 (TRIP REDUCTION PLANS).

SEE SHEET 4 FOR PARKING INFORMATION

### SHEET INDEX COVER SHEET

- SITE DEVELOPMENT PLAN SITE DETAILS
- SHARED PARKING ANALYSIS

SEDIMENT CONTROL PLAN

STORM DRAIN DRAINAGE AREA and UTILITY PROFILES LANDSCAPE PLAN

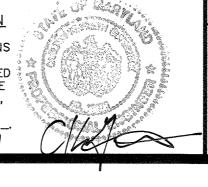
		ADDRESS at	nd PERMIT	INFORMAT	ION CHART	
***************************************	BUILDING ADDRESS:	8190 WESTSIE	DE BOULEVARD			
	SUBDIVISION NAME: MAPLE LAWN FARMS		SECTION/A WESTSIDE DIS	REA STRICT/AREA I		PARCEL B-II
	PLAT Nos. 19902/03	ZONE MXD-3	TAX MAP 46	BLOCK 3 & 4	ELEC. DIST.	CENSUS TRACT 6051.02
	WATER CODE: E2I		<b>SEWER COI</b> 1695000	DE:		

PLANNING ENGINEERING SURVEYING 3909 NATIONAL DRIVE | SUITE 250 | BURTONSVILLE, MD 20866 | GLWPA.COM

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G				
	DATE	REVISION	BY	APP'R.

PREPARED FOR: Owner/Landlord: 8184 Lark Brown Road 1829 Reisterstown Road Suite 300 Suite 201 Elkridge, MD 21075 Baltimore, MD 21208 Attn.: Mark Bennett, Sr Attn.: Brian Lemek Ph.: 410-484-8400 Ph.: 443-552-0700

PROFESSIONAL CERTIFICATION HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 12975 EXPIRATION DATE: MAY 26, 2022



ZONING: MXD-3.

. LIMIT OF DISTURBED AREA = 0.484 AC.

PROPOSED BUILDING GROSS AREA: APPROX. 4,02 | S.F.

FLOOR AREA RATIO (F.A.R.): 0.12 (4,021/34,895)

PROPOSED USE: RESTAURANT

GROSS AREA OF PARCEL B-II = 34,895 S.F. or 0,8011± AC, PER PLAT No. 19903

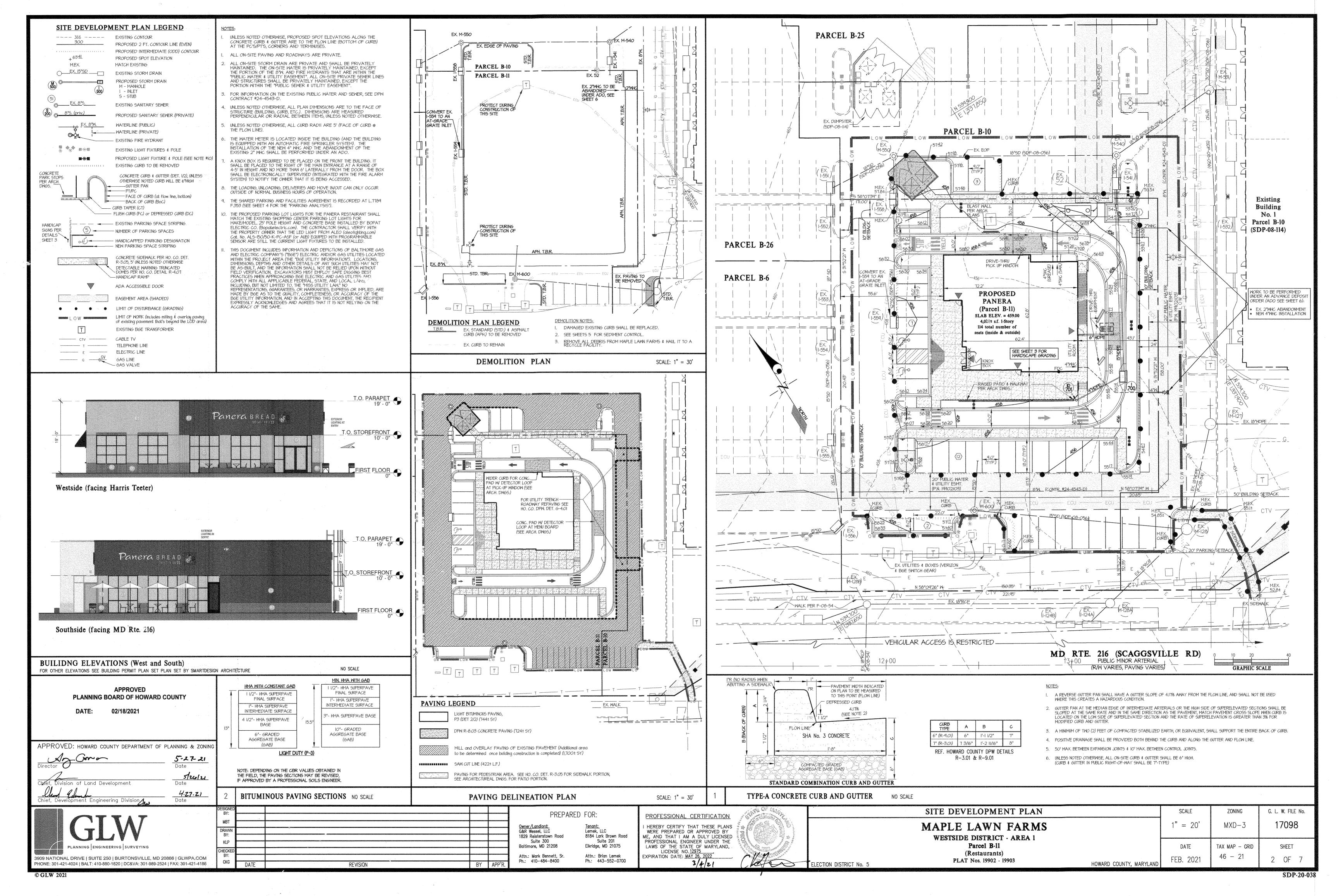
WESTSIDE DISTRICT - AREA Parcel B-11 (Restaurants) PLAT Nos. 19902 - 19903

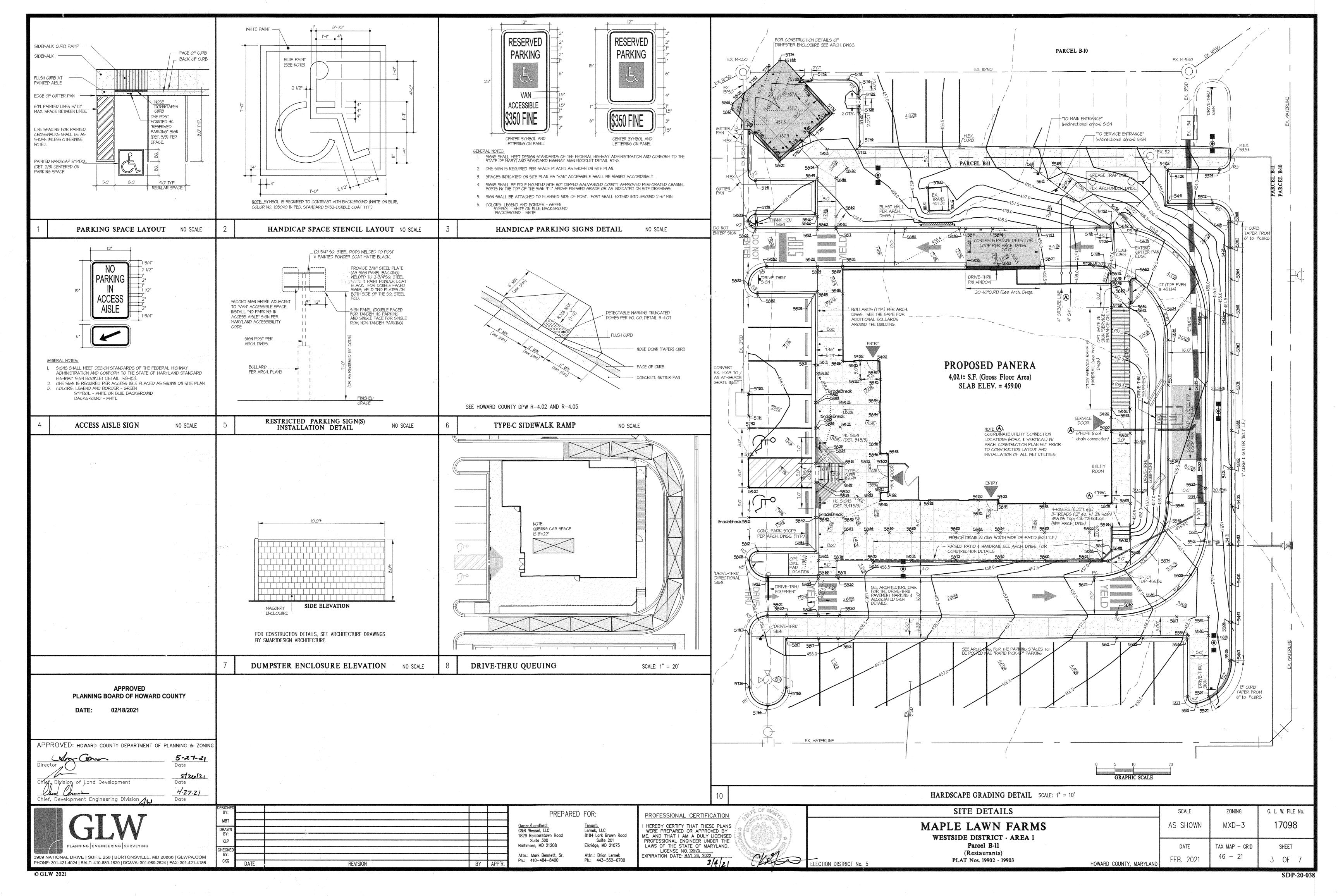
COVER SHEET SCALE MAPLE LAWN FARMS AS SHOWN MXD-3TAX MAP - GRID 46 - 21 HOWARD COUNTY, MARYLAND

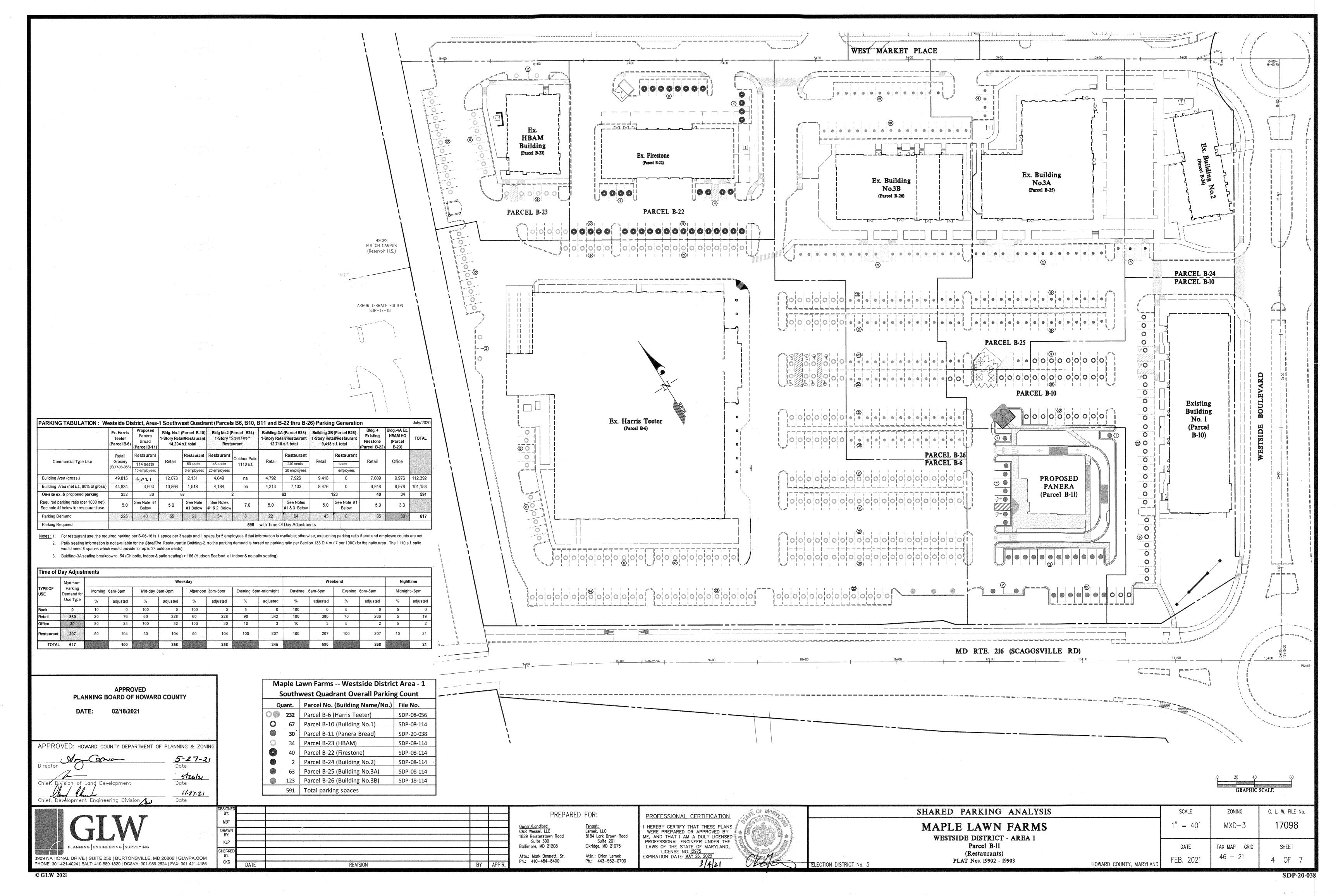
G. L. W. FILE No.

SHEET

OF 7







# A. SOIL PREPARATION I. TEMPORARY STABILIZATION THE CONTOUR OF THE SLOPE OTHER SUITABLE MEANS . PERMANENT STABILIZATION I. SOIL PH BETWEEN 6.0 AND 7.0. TOPSOILING SOIL SURVEY PUBLISHED BY USDA-NRCS. VEGETATIVE GROWTH. LIEU OF NATURAL TOPSOIL.

# DEFINITION Land Development © GLW 2021

## LY FERTILIZER AND LIME AS PRESCRIBED ON THE PLANS. II. SOLUBLE SALTS LESS THAN 500 PARTS PER MILLION (PPM). (GREATER THAN 30 PERCENT SILT PLUS CLAY) TO PROVIDE THE CAPACITY TO HOLD A MODERATE AMOUNT OF MOISTURE. AN EXCEPTION: IF LOVEGRASS WILL BE PLANTED, THEN A SANDY SOIL (LESS THAN 30 PERCENT SILT PLUS CLAY) WOULD BE ACCEPTABLE. IV. SOIL CONTAINS 1.5 PERCENT MINIMUM ORGANIC MATTER BY WEIGHT. V. SOIL CONTAINS SUFFICIENT PORE SPACE TO PERMIT ADEQUATE ROOT PENETRATION. APPLICATION OF AMENDMENTS OR TOPSOIL IS REQUIRED IF ON-SITE SOILS DO NOT MEET THE GRADED AREAS MUST BE MAINTAINED IN A TRUE AND EVEN GRADE AS SPECIFIED ON APPROVED PLAN, THEN SCARIFIED OR OTHERWISE LOOSENED TO A DEPTH OF 3 TO 5 INCHES. APPLY SOIL AMENDMENTS AS SPECIFIED ON THE APPROVED PLAN OR AS INDICATED BY THE MIX SOIL AMENDMENTS INTO THE TOP 3 TO 5 INCHES OF SOIL BY DISKING OR OTHER SUITABLE MEANS RAKELAWN AREAS TO SMOOTH THE SURFACE REMOVE LARGE OBJECTS LIKE STONES AND BRANCHES, AND READY THE AREA FOR SEED APPLICATION, LOOSEN SURFACE SOIL B' DRAGGING WITH A HEAVY CHAIN OR OTHER EQUIPMENT TO ROUGHEN THE SURFACE WHERE SI CONDITIONS WILL NOT PERMIT NORMAL SEEDBED PREPARATION. TRACK SLOPES 3:1 OR FLATTER WITH TRACKED EQUIPMENT LEAVING THE SOIL IN AN IRREGULAR CONDITION WITH RIDGES RUNNING PARALLEL TO THE CONTOUR OF THE SLOPE. LEAVE THE TOP 1 TO 3 INCHES OF SOIL LOOSE AND FRIABLE. SEEDBED LOOSENING MAY BE UNNECESSARY ON NEWLY DISTURBED AREAS TOPSOIL IS PLACED OVER PREPARED SUBSOIL PRIOR TO ESTABLISHMENT OF PERMANENT VEGETATION. THE PURPOSE IS TO PROVIDE A SUITABLE SOIL MEDIUM FOR VEGETATIVE GROWTH. SOILS OF CONCERN HAVE LOW MOISTURE CONTENT, LOW NUTRIENT LEVELS, LOW PH, MATERIALS TOXIC TO PLANTS. AND/OR UNACCEPTABLE SOIL GRADATION. SOIL SALVAGED FROM AN EXISTING SITE MAY BE USED PROVIDED IT MEETS THE STANDARDS SET FORTH IN THESE SPECIFICATIONS. TYPICALLY, THE DEPTH OF TOPSOIL TO BE SALVAGED FOR A GIVEN SOIL TYPE CAN BE FOUND IN THE REPRESENTATIVE SOIL PROFILE SECTION IN THE TOPSOILING IS LIMITED TO AREAS HAVING 2:1 OR FLATTER SLOPES WHERE: THE TEXTURE OF THE EXPOSED SUBSOIL/PARENT MATERIAL IS NOT ADEQUATE TO PRODUCE THE SOIL MATERIAL IS SO SHALLOW THAT THE ROOTING ZONE IS NOT DEEP ENOUGH SUPPORT PLANTS OR FURNISH CONTINUING SUPPLIES OF MOISTURE AND PLANT NUTRIENTS THE ORIGINAL SOIL TO BE VEGETATED CONTAINS MATERIAL TOXIC TO PLANT GROWTH. THE SOIL IS SO ACIDIC THAT TREATMENT WITH LIMESTONE IS NOT FEASIBLE. AREAS HAVING SLOPES STEEPER THAN 2:1 REQUIRE SPECIAL CONSIDERATION AND DESIGN TOPSOIL SPECIFICATIONS: SOIL TO BE USED AS TOPSOIL MUST MEET THE FOLLOWING CRITERIA: TOPSOIL MUST BE A LOAM, SANDY LOAM, CLAY LOAM, SILT LOAM, SANDY CLAY LOAM, OR LOAMY SAND, OTHER SOILS MAY BE USED IF RECOMMENDED BY AN AGRONOMIST OR SOIL SCIENTIST AND APPROVED BY THE APPROPRIATE APPROVAL AUTHORITY. TOPSOIL MUST NOT E A MIXTURE OF CONTRASTING TEXTURED SUBSOILS AND MUST CONTAIN LESS THAN 5 PERCENT BY VOLUME OF CINDERS, STONES, SLAG, COARSE FRAGMENTS, GRAVEL, STICKS, ROOTS, TRASH, OR OTHER MATERIALS LARGER THAN 1.5 INCHES IN DIAMETER. TOPSOIL MUST BE FREE OF NOXIOUS PLANTS OR PLANT PARTS SUCH AS BERMUDA GRASS QUACK GRASS, JOHNSON GRASS, NUT SEDGE, POISON IVY, THISTLE, OR OTHERS AS SPECIFIED. TOPSOIL SUBSTITUTES OR AMENDMENTS, AS RECOMMENDED BY A QUALIFIED AGRONOMIST OF SCIENTIST AND APPROVED BY THE APPROPRIATE APPROVAL AUTHORITY, MAY BE USED IN EROSION AND SEDIMENT CONTROL PRACTICES MUST BE MAINTAINED WHEN APPLYING TOPSOIL. UNIFORMLY DISTRIBUTE TOPSOIL IN A 5 TO 8 INCH LAYER AND LIGHTLY COMPACT TO A MINIMUM HICKNESS OF 4 INCHES. SPREADING IS TO BE PERFORMED IN SUCH A MANNER THAT SODDING OR SEEDING CAN PROCEED WITH A MINIMUM OF ADDITIONAL SOIL PREPARATION AND TILLAGE. ANY IRREGULARITIES IN THE SURFACE RESULTING FROM TOPSOILING OR OTHER OPERATIONS MUST BE CORRECTED IN ORDER TO PREVENT THE FORMATION OF DEPRESSIONS OR WATER TOPSOIL MUST NOT BE PLACED IF THE TOPSOIL OR SUBSOIL IS IN A FROZEN OR MUDDY CONDITION, WHEN THE SUBSOIL IS EXCESSIVELY WET OR IN A CONDITION THAT MAY OTHERWISE SOIL AMENDMENTS (FERTILIZER AND LIME SPECIFICATIONS) STS MUST BE PERFORMED TO DETERMINE THE EXACT RATIOS AND APPLICATION RATE: FOR BOTH LIME AND FERTILIZER ON SITES HAVING DISTURBED AREAS OF 5 ACRES OR MORE. SOIL ANALYSIS MAY BE PERFORMED BY A RECOGNIZED PRIVATE OR COMMERCIAL LABORATORY. SOIL SAMPLES TAKEN FOR ENGINEERING PURPOSES MAY ALSO BE USED FOR CHEMICAL FERTILIZERS MUST BE UNIFORM IN COMPOSITION, FREE FLOWING AND SUITABLE FOR ACCURATE APPLICATION BY APPROPRIATE EQUIPMENT. MANURE MAY BE SUBSTITUTED FOR FERTILIZER WITH PRIOR APPROVAL FROM THE APPROPRIATE APPROVAL AUTHORITY. FERTILIZERS MUST ALL BI THE SITE FULLY LABELED ACCORDING TO THE APPLICABLE LAWS AND MUST BEAR THE NAME, TRADE NAME OR TRADEMARK AND WARRANTY OF THE PRODUCER LIME MATERIALS MUST BE GROUND LIMESTONE (HYDRATED OR BURNT LIME MAY BE SUBSTITUTE EXCEPT WHEN HYDROSEEDING) WHICH CONTAINS AT LEAST 50 PERCENT TOTAL OXIDES (CALCIUM IXIDE PLUS MAGNESIUM OXIDE). LIMESTONE MUST BE GROUND TO SUCH FINENESS THAT AT EAST 50 PERCENT WILL PASS THROUGH A #100 MESH SIEVE AND 98 TO 100 PERCENT WILL IME AND FERTILIZER ARE TO BE EVENLY DISTRIBUTED AND INCORPORATED INTO THE TOP 3 INCHES OF SOIL BY DISKING OR OTHER SUITABLE MEANS. WHERE THE SUBSOIL IS EITHER HIGHLY ACIDIC OR COMPOSED OF HEAVY CLAYS, SPREAD GROUND LIMESTONE AT THE AT THE RATE OF 4 TO 8 TONS/ACRE (200-400 POUNDS PER 1,000 SQUARE FEET) PRIOR TO THE PLACEMENT OF TOPSOIL. PLANNING BOARD OF HOWARD COUNTY 02/18/2021 APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING Development Engineering Division 3909 NATIONAL DRIVE | SUITE 250 | BURTONSVILLE, MD 20866 | GLWPA.COM PHONE: 301-421-4024 | BALT: 410-880-1820 | DC&VA: 301-989-2524 | FAX: 301-421-4186

### **B-4-2 STANDARD AND SPECIFICATIONS FOR SOIL B-4-3 STANDARDS AND SPECIFICATIONS FOR** PREPARATION, TOPSOILING, AND SOIL AMENDMENTS SEEDING and MULCHING DEFINITION THE APPLICATION OF SEED AND MULCH TO ESTABLISH VEGETATIVE COVER. THE PROCESS OF PREPARING THE SOILS TO SUSTAIN ADEQUATE VEGETATIVE STABILIZATION. TO PROTECT DISTURBED SOILS FROM EROSION DURING AND AT THE END OF TO PROVIDE A SUITABLE SOIL MEDIUM FOR VEGETATIVE GROWTH. CONSTRUCTION. CONDITIONS WHERE PRACTICE APPLIES CONDITIONS WHERE PRACTICE APPLIES WHERE VEGETATIVE STABILIZATION IS TO BE ESTABLISHED. TO THE SURFACE OF ALL PERIMETER CONTROLS, SLOPES, AND ANY DISTURBED AREA NOT UNDER ACTIVE GRADING. SEEDING **SPECIFICATIONS** SEEDBED PREPARATION CONSISTS OF LOOSENING SOIL TO A DEPTH OF 3 TO 5 INCHES BY MEANS OF SUITABLE AGRICULTURAL OR CONSTRUCTION EQUIPMENT, SUCH AS DISC HARROWS OF ET THE REQUIREMENTS OF THE MARYLAND STATE SEED LAW. CHISEL PLOWS OR RIPPERS MOUNTED ON CONSTRUCTION EQUIPMENT. AFTER THE SOIL IS ALL SEED MUST BE SUBJECT TO RE-TESTING BY A RECOGNIZED S LABORATORY. ALL SEED USED MUST HAVE BEEN TESTED WITHIN THE 6 MONTHS CONDITION. SLOPES 3:1 OR FLATTER ARE TO BE TRACKED WITH RIDGES RUNNING PARALLÊL TI IMMEDIATELY PRECEDING THE DATE OF SOWING SLICH MATERIAL ON ANY PROJECT REFER TO TABLE B.4 REGARDING THE QUALITY OF SEED, SEED TAGS MUST B AVAILABLE UPON REQUEST TO THE INSPECTOR TO VERIFY TYPE OF SEED AND INCORPORATE LIME AND FERTILIZER INTO THE TOP 3 TO 5 INCHES OF SOIL BY DISKING OR MULCH ALONE MAY BE APPLIED BETWEEN THE FALL AND SPRING SEEDING DATES ONLY IF THE GROUND IS FROZEN. THE APPROPRIATE SEEDING MIXTURE MUST BE APPLIED WHEN THE GROUND THAWS. INOCULANTS: THE INOCULANT FOR TREATING LEGUME SEED IN THE SEED MIXTURES a. A SOIL TEST IS REQUIRED FOR ANY EARTH DISTURBANCE OF 5 ACRES OR MORE, THE MINIMUM MUST BE A PURE CULTURE OF NITROGEN FIXING BACTERIA PREPARED SPECIFICALL SOIL CONDITIONS REQUIRED FOR PERMANENT VEGETATIVE ESTABLISHMENT ARE: FOR THE SPECIES. INOCULANTS MUST NOT BE USED LATER THAN THE D INDICATED ON THE CONTAINER. ADD FRESH INOCULANTS AS DIRECTED ON THE PACKAGE. USE FOUR TIMES THE RECOMMENDED RATE WHEN HYDROSEEDING. NOT T IS VERY IMPORTANT TO KEEP INOCULANT AS COOL AS POSSIBLE UNTIL USE TEMPERATURES ABOVE 75 TO 80 DEGREES FAHRENHEIT CAN WEAKEN BACTERIA III. SOIL CONTAINS LESS THAN 40 PERCENT CLAY BUT ENOUGH FINE GRAINED MATERIA SOD OR SEED MUST NOT BE PLACED ON SOIL WHICH HAS BEEN TREATED WITH SOIL STERILANTS OR CHEMICALS USED FOR WEED CONTROL UNTIL SUFFICIENT TIME

APPLICATION

SEED WITH SOIL

INTERRUPTION

. MULCHING

APPLICATION

PER 100 GALLONS OF WATER.

HAS ELAPSED (14 DAYS MIN.) TO PERMIT DISSIPATION OF PHYTO-TOXIC MATERIALS

. DRY SEEDING: THIS INCLUDES USE OF CONVENTIONAL DROP OR BROADCAST

SITE-SPECIFIC SEEDING SUMMARIES.

MUST BE FIRM AFTER PLANTING

K20 (POTASSIUM), 200 POUNDS PER ACRE.

HYDRATED LIME WHEN HYDROSEEDING

MULCH MATERIALS (IN ORDER OF PREFERENCE)

THAT WILL PROVIDE AN

AREAS WHERE ONE SPECIES OF GRASS IS DESIRED

HALF THE SEEDING RATE IN EACH DIRECTION.

INCORPORATE SEED INTO THE SUBSOIL AT THE RATES PRESCRIBED ON

TEMPORARY SEEDING TABLE B.1, PERMANENT SEEDING TABLE B.3, OR

ii. APPLY SEED IN TWO DIRECTIONS, PERPENDICULAR TO EACH OTHER. APPLY

DRILL OR CULTIPACKER SEEDING: MECHANIZED SEEDERS THAT APPLY AND COVER

CULTIPACKING SEEDERS ARE REQUIRED TO BURY THE SEED IN SUCH A

. APPLY SEED IN TWO DIRECTIONS, PERPENDICULAR TO EACH OTHER. APPLY

HYDROSEEDING: APPLY SEED UNIFORMLY WITH HYDROSEEDER (SLURRY INCLUDES

IF FERTILIZER IS BEING APPLIED AT THE TIME OF SEEDING. THE APPLICATION

RATES SHOULD NOT EXCEED THE FOLLOWING: NITROGEN, 100 POUNDS PER ACRE

TOTAL OF SOLUBLE NITROGEN; P205 (PHOSPHOROUS), 200 POUNDS PER ACRE

ACRE MAY BE APPLIED BY HYDROSEEDING). NORMALLY, NOT MORE THAN 2 TONS

ARE APPLIED BY HYDROSEEDING AT ANY ONE TIME. DO NOT USE BURNT OR

iii. MIX SEED AND FERTILIZER ON SITE AND SEED IMMEDIATELY AND WITHOUT

STRAW CONSISTING OF THOROUGHLY THRESHED WHEAT, RYE, OAT, OR BARLEY AN

REASONABLY BRIGHT IN COLOR. STRAW IS TO BE FREE OF NOXIOUS WEED SEEDS

WOOD CELLULOSE FIBER MULCH (WCFM) CONSISTING OF SPECIALLY PREPARED WOOD

WCFM IS TO BE DYED GREEN OR CONTAIN A GREEN DYE IN THE PACKAGE

iii. WCFM MATERIALS ARE TO BE MANUFACTURED AND PROCESSED IN SUCH A

SUSPENSION IN WATER UNDER AGITATION AND WILL BLEND WITH SEED,

AND MUST COVER AND HOLD GRASS SEED IN CONTACT WITH THE SOIL

v. WCFM MUST CONFORM TO THE FOLLOWING PHYSICAL REQUIREMENTS: FIBER

WHEN STRAW MULCH IS USED, SPREAD IT OVER ALL SEEDED AREAS AT THE RATE

OF 2 TONS PER ACRE TO A UNIFORM LOOSE DEPTH OF 1 TO 2 INCHES. APPLY

.CH TO ACHIEVE A UNIFORM DISTRIBUTION AND DEPTH SO THAT THE SOIL SURFACE IS NOT EXPOSED. WHEN USING A MULCH ANCHORING TOOL, INCREASE THE APPLICATION RATE TO 2.5 TONS PER ACRE.

WOOD CELLULOSE FIBER USED AS MULCH MUST BE APPLIED AT A NET DRY WEIGH

ATTAIN A MIXTURE WITH A MAXIMUM OF 50 POUNDS OF WOOD CELLULOSE FIBER

PERFORM MULCH ANCHORING IMMEDIATELY FOLLOWING APPLICATION OF MULCH TO

MINIMIZE LOSS BY WIND OR WATER. THIS MAY BE DONE BY ONE OF THE FOLLOWING

METHODS (LISTED BY PREFERENCE), DEPENDING UPON THE SIZE OF THE AREA AND

A MULCH ANCHORING TOOL IS A TRACTOR DRAWN IMPLEMENT DESIGNED TO

PUNCH AND ANCHOR MULCH INTO THE SOIL SURFACE A MINIMUM OF 2 INCHES.
THIS PRACTICE IS MOST EFFECTIVE ON LARGE AREAS, BUT IS LIMITED TO FLATTER

SLOPES WHERE EQUIPMENT CAN OPERATE SAFELY. IF USED ON SLOPING LAND,

WOOD CELLULOSE FIBER MAY BE USED FOR ANCHORING STRAW. APPLY THE

CATCHES MULCH, SUCH AS IN VALLEYS AND ON CRESTS OF BANKS. USE C

FIBER BINDER AT A NET DRY WEIGHT OF 750 POUNDS PER ACRE. MIX THE WOOD CELLULOSE FIBER WITH WATER AT A MAXIMUM OF 50 POUNDS OF WOOD

SYNTHETIC BINDERS SUCH AS ACRYLIC DLR (AGRO-TACK), DCA-7

PETROSET, TERRA TAX II, TERRA MANUFACTURER. APPLICATION OF LIQUID

LIGHTWEIGHT PLASTIC NETTING MAY BE STAPLED OVER THE MUI CH

ACCORDING TO MANUFACTURER RECOMMENDATIONS, NETTING IS USUALL

AVAILABLE IN ROLLS 4 TO 15 FEET WIDE AND 300 TO 3,000 FEET LONG

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT

I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS

REVISION

A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF

THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE

REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT."

CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

BINDERS NEEDS TO BE HEAVIER AT THE EDGES WHERE WIND

OF 1500 POUNDS PER ACRE. MIX THE WOOD CELLULOSE FIBER WITH WATER TO

WITHOUT INHIBITING THE GROWTH OF THE GRASS SEEDLINGS.

HOLDING CAPACITY OF 90 PERCENT MINIMUM.

HIS PRACTICE SHOULD FOLLOW THE CONTOUR.

ELLULOSE FIBER PER 100 GALLONS OF WATER

ASPHALT BINDERS IS STRICTLY PROHIBITED

ENGINEER'S CERTIFICATE

5-27-21

4.27.21

Date

Date

APPLY MUICH TO ALL SEEDED AREAS IMMEDIATELY AFTER SEEDING

iv. WCFM MATERIAL MUST NOT CONTAIN ELEMENTS OR COMPOUNDS AT

WCFM, INCLUDING DYE, MUST CONTAIN NO GERMINATION OR GROWTH INHIBITIN

MANNER THAT THE WOOD CELLULOSE FIBER MULCH WILL REMAIN IN UNIFORM

FERTILIZER AND OTHER ADDITIVES TO FORM A HOMOGENEOUS SLURRY. THE

APPLICATION, HAVING MOISTURE ABSORPTION AND PERCOLATION PROPERTIES

APPROXIMATELY 10 MILLIMETERS, DIAMETER APPROXIMATELY 1 MILLIMETER, PH RANGE OF 4.0 TO 8.5, ASH CONTENT OF 1.6 PERCENT MAXIMUM AND WATER

APPROPRIATE COLOR TO FACILITATE

AS SPECIFIED IN THE MARYLAND SEED LAW AND NOT MUSTY, MOLDY, CAKED

CELLULOSE PROCESSED INTO A UNIFORM FIBROUS PHYSICAL STATE

VISUAL INSPECTION OF THE UNIFORMLY SPREAD SLURRY.

DECAYED. OR EXCESSIVELY DUSTY. NOTE: USE ONLY STERILE STRAW MULCH IN

iv. WHEN HYDROSEEDING DO NOT INCORPORATE SEED INTO THE SOIL.

ii. LIME: USE ONLY GROUND AGRICULTURAL LIMESTONE (UP TO 3 TONS PER

FASHION AS TO PROVIDE AT LEAST 1/4 INCH OF SOIL COVERING. SEEDBED

WEIGHTED ROLLER TO PROVIDE GOOD SEED TO SOIL CONTACT.

THE SEEDING RATE IN EACH DIRECTION, ROLL THE SEEDED AREA WITH A

### UNTIL THE NEXT SEEDING SEASON. TEMPORARY SEEDING SUMMARY HARDINESS ZONE: 61 FERTILIZER SEED MIXTURE: RATE | LIME RATE APPLICATION SEEDING (10-10-10) SPECIES RATE (lb/gc ANNUAL Mar. 1 to May 1 0.5 INCHES | 436 lb./ac. 2 tons/ac 40 lb/ac RYFGRASS I Aug. 1 to Oct. (10 lb./ (90 lb. 1,000 sf) 1,000 sf) PEARL MILLET 20 lb/ac 0.5 INCHES May 16 to July 3

**B-4-4 STANDARDS AND SPECIFICATIONS** 

FOR TEMPORARY STABILIZATION

DEFINITION

TO STABILIZE DISTURBED SOILS WITH VEGETATION FOR UP TO 6 MONTHS.

TO USE FAST GROWING VEGETATION THAT PROVIDES COVER ON DISTURBED SOILS.

PRACTICES ARE REQUIRED.

CRITERIA

APPROPRIATE PLANT HARDINESS ZONE (FROM FIGURE B.3), AND ENTER THEM IN THE

AND SEEDING DEPTHS. IF THIS SUMMARY IS NOT PUT ON THE PLAN AND COMPLETED,

THEN TABLE B.1 PLUS FERTILIZER AND LIME RATES MUST BE PUT ON THE PLAN

THE TESTING AGENCY SOIL TESTS ARE NOT REQUIRED FOR TEMPORARY SEEDING

WHEN STABILIZATION IS REQUIRED OUTSIDE OF A SEEDING SEASON APPLY SEED AND

TEMPORARY SEEDING SUMMARY BELOW ALONG WITH APPLICATION RATES, SEEDING DATES

FOR SITES HAVING SOIL TESTS PERFORMED, USE AND SHOW THE RECOMMENDED RATES E

MULCH OR STRAW MULCH ALONE AS PRESCRIBED IN SECTION B-4-3.A.1.B AND MAINTAIN

SELECT ONE OR MORE OF THE SPECIES OR SEED MIXTURES LISTED IN TABLE B.1 FOR THE

ONDITIONS WHERE PRACTICE APPLIES EXPOSED SOILS WHERE GROUND COVER IS NEEDED FOR

PERIOD OF 6 MONTHS OR LESS. FOR LONGER DURATION OF TIME, PERMANENT STABILIZATION

### **B-4-8 STANDARDS AND SPECIFICATIONS** FOR STOCKPILE AREA A MOUND OR PILE OF SOIL PROTECTED BY APPROPRIATELY DESIGNED EROSION AND SEDIMENT CONTROL MEASURES. TO PROVIDE A DESIGNATED LOCATION FOR THE TEMPORARY STORAGE OF SOIL THAT CONTROLS THE POTENTIAL FOR EROSION, SEDIMENTATION, AND CHANGES TO DRAINAGE

	CRITERIA
1.	THE STOCKPILE LOCATION AND ALL RELATED SEDIMENT CONTROL PRACTICES MUST BE
	CLEARLY INDICATED ON THE
	EROSION AND SEDIMENT CONTROL PLAN.
2.	THE FOOTPRINT OF THE STOCKPILE MUST BE SIZED TO ACCOMMODATE THE
	ANTICIPATED VOLUME OF MATERIAL
	AND BASED ON A SIDE SLOPE RATIO NO STEEPER THAN 2:1. BENCHING MUST BE
	PROVIDED IN ACCORDANCE
	WITH SECTION B-3 LAND GRADING.

CONDITIONS WHERE PRACTICE APPLIES

STOCKPILE AREAS ARE UTILIZED WHEN IT IS NECESSARY TO SALVAGE AND STORE SOIL FOR

- RUNOFF FROM THE STOCKPILE AREA MUST DRAIN TO A SUITABLE SEDIMENT CONTROL PRACTICE. ACCESS THE STOCKPILE AREA FROM THE UPGRADE SIDE CLEAR WATER RUNOFF INTO THE STOCKPILE AREA MUST BE MINIMIZED BY USE OF A DIVERSION DEVICE SUCH AS AN EARTH DIKE, TEMPORARY SWALE OR DIVERSION FENCE. PROVISIONS MUST BE
- MADE FOR DISCHARGING CONCENTRATED FLOW IN A NON-EROSIVE MANNER. WHERE RUNOFF CONCENTRATES ALONG THE TOE OF THE STOCKPILE FILL, AN APPROPRIATE FROSION/SEDIMENT
- CONTROL PRACTICE MUST BE USED TO INTERCEPT THE DISCHARGE STOCKPILES MUST BE STABILIZED IN ACCORDANCE WITH THE 3/7 DAY STABILIZATION REQUIREMENT AS WELL AS STANDARD B-4-1 INCREMENTAL STABILIZATION AND STANDARD B-4-4 TEMPORARY STABILIZATION.

IF THE STOCKPILE IS LOCATED ON AN IMPERVIOUS SURFACE, A LINER SHOULD BE PROVIDED BELOW THE STOCKPILE TO FACILITATE CLEANUP. STOCKPILES CONTAINING

THE STOCKPILE AREA MUST CONTINUOUSLY MEET THE REQUIREMENTS FOR ADEQUATE VEGETATIVE ESTABLISHMENT IN ACCORDANCE WITH SECTION B-4 VEGETATIVE STABILIZATION. SIDE SLOPES MUST BE MAINTAINED AT NO STEEPER THAN A 2:1 RATIO. THE STOCKPILE AREA MUST BE KEPT FREE OF EROSION. IF THE VERTICAL HEIGHT OF A STOCKPILE EXCEEDS 20 FEET FOR 2:1 SLOPES, 30 FEET FOR 3:1 SLOPES, OR 40 FEET FOR 4:1 SLOPES, BENCHING MUST BE PROVIDED IN ACCORDANCE WITH SECTION B-3 LAND GRADING.

STANDARDS AND SPECIFICATIONS FOR DUST CONTROL					
<u>DEFINITION</u>					
CONTROLLING THE SUSPENSION OF DUST PARTICLES FROM CONSTRUCTION ACTIVITIES.					
PLIRPOSE					

TO PREVENT BLOWING AND MOVEMENT OF DUST FROM EXPOSED SOIL SURFACES TO REDUCE ON AND OFF-SITE DAMAGE INCLUDING HEALTH AND TRAFFIC HAZARDS. CONDITIONS WHERE PRACTICE APPLIES AREAS SUBJECT TO DUST BLOWING AND MOVEMENT WHERE ON AND OFF-SITE DAMAGE IS LIKELY WITHOUT

TREATMENT.

SPECIFICATIONS MULCHES: SEE SECTION B-4-2 SOIL PREPARATION, TOPSOILING, AND SOIL AMENDMENTS, SECTION B-4-3 SEEDING AND MULCHING, AND SECTION B-4-4 TEMPORARY STABILIZATION. MULCH MUST BE ANCHORED TO PREVENT BLOWING. VEGETATIVE COVER: SEE SECTION B-4-4 TEMPORARY STABILIZATION

TILLAGE: TILL TO ROUGHEN SURFACE AND BRING CLODS TO THE SURFACE. BEGIN PLOWING ON WINDWARD SIDE OF SITE. CHISEL-TYPE PLOWS SPACED ABOUT 12 INCHES APART, SPRING-TOOTHED HARROWS, AND SIMILAR PLOWS ARE EXAMPLES OF EQUIPMENT THAT MAY PRODUCE THE DESIRED

IRRIGATION: SPRINKLE SITE WITH WATER UNTIL THE SURFACE IS MOIST. REPEAT AS NEEDED, THE SITE MUST NOT BE IRRIGATED TO THE POINT THAT RUNGER OCCURS BARRIERS: SOLID BOARD FENCES, SILT FENCES, SNOW FENCES, BURLAP FENCES, STRAW BALES, AND SIMILAR MATERIAL CAN BE USED TO CONTROL AIR CURRENTS AND SOIL BLOWING. CHEMICAL TREATMENT: USE OF CHEMICAL TREATMENT REQUIRES APPROVAL BY THE APPROPRIATE

**BGE NOTIFICATION** THIS DOCUMENT INCLUDES INFORMATION AND DEPICTIONS OF BALTIMORE GAS AND ELECTRIC COMPANY'S ("BGE") ELECTRIC AND/OR GAS UTILITIES LOCATED WITHIN THE PROJECT AREA (THE "BGE UTILITY INFORMATION"). LOCATIONS, DIMENSIONS, DEPTHS AND OTHER DETAILS OF ANY SUCH UTILITIES MAY NOT BE AS-BUILT. AND THE INFORMATION SHALL NOT BE RELIED UPON WITHOUT FIELD VERIFICATION. EXCAVATORS MUST EMPLOY SAFE DIGGING BEST PRACTICES WHEN APPROACHING BGE ELECTRIC AND GAS UTILITES AND COMPLY WITH ALL APPLICABLE FEDERAL, STATE, AND LOCAL LAWS. INCLUDING. BUT NOT LIMITED TO, THE "MISS UTILITY LAW." NO REPRESENTATIONS, GUARANTEES, OR WARRANTIES, EXPRESS OR IMPLIED, ARE MADE BY BGE AS TO THE QUALITY, COMPLETENESS, OR ACCURACY OF THE BGE UTILITY INFORMATION, AND IN ACCEPTING THIS DOCUMENT, THE RECIPIENT EXPRESSLY ACKNOWLEDGES AND AGREES THAT IT IS NOT RELYING ON THE ACCURACY OF THE SAME.

I/WE CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE ACCORDING O THIS PLAN, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A MARYLAND DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND ROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE

BUILDER'S CERTIFICATE

### **B-4-5 STANDARDS AND SPECIFICATIONS** FOR PERMANENT STABILIZATION

TO STABILIZE DISTURBED SOILS WITH PERMANENT VEGETATION.

TO USE LONG-LIVED PERENNIAL GRASSES AND LEGUMES TO ESTABLISH PERMANENT GROUND COVER ON DISTURBED SOILS.

CONDITIONS WHERE PRACTICE APPLIES EXPOSED SOILS WHERE GROUND COVER IS NEEDED FOR 6 MONTHS OR MORE.

SELECT ONE OR MORE OF THE SPECIES OR MIXTURES LISTED IN TABLE B.3 FOR THE APPROPRIATE PLANT HARDINESS ZONE (FROM FIGURE B.3) AND BASED ON THE SITE CONDITION OR PURPOSE FOUND ON TABLE B.2. ENTER SELECTED MIXTURE(S), APPLICATION RATES, AND SEEDING DATES IN THE PERMANENT SEEDING SUMMARY. THE SUMMARY IS TO BE PLACED ON THE PLAN. ADDITIONAL PLANTING SPECIFICATIONS FOR EXCEPTIONAL SITES SUCH AS SHORELINE

STREAM BANKS, OR DUNES OR FOR SPECIAL PURPOSES SUCH AS WILDLIFE OR AESTHETIC TREATMENT MAY BE FOUND IN USDA-NRCS TECHNICAL FIELD OFFICE GUIDE, SECTION 342 CRITICAL AREA PLANTING. FOR SITES HAVING DISTURBED AREA OVER 5 ACRES, USE AND SHOW THE RATES RECOMMENDED BY THE SOIL TESTING AGENCY.

FOR AREAS RECEIVING LOW MAINTENANCE, APPLY UREA FORM FERTILIZER (46-0-0) AT 3 1/2 POUNDS PER 1000 SQUARE FEET (150 POUNDS PER ACRE) AT THE TIME OF SEEDING IN ADDITION TO THE SOIL AMENDMENTS SHOWN IN THE PERMANENT SEEDING SUMMARY TURFGRASS MIXTURES

- AREAS WHERE TURFGRASS MAY BE DESIRED INCLUDE LAWNS, PARKS, PLAYGROUNDS, AND COMMERCIAL SITES WHICH WILL RECEIVE A MEDIUM TO HIGH LEVEL OF MAINTENANCE. SELECT ONE OR MORE OF THE SPECIES OR MIXTURES LISTED BELOW BASED ON THE SITE CONDITIONS OR PURPOSE. ENTER SELECTED MIXTURE(S), APPLICATION RATES, AND SEEDING DATES IN THE PERMANENT SEEDING SUMMARY. THE SUMMARY IS TO BE PLACED ON THE
- KENTUCKY BLUEGRASS: FULL SUN MIXTURE: FOR USE IN AREAS THAT RECEIVE INTENSIVE MANAGEMENT, IRRIGATION REQUIRED IN THE AREAS OF CENTRAL MARYLAN AND FASTERN SHORE RECOMMENDED CERTIFIED KENTUCKY BLUFGRASS CULTIVARS SEEDING RATE: 1.5 TO 2.0 POUNDS PER 1000 SQUARE FEET. CHOOSE A MINIMUM OF HREE KENTUCKY BLUEGRASS CULTIVARS WITH EACH RANGING FROM 10 TO 35 PERCENT OF THE TOTAL MIXTURE BY WEIGHT. KENTUCKY BLUEGRASS/PERENNIAL RYE: FULL SUN MIXTURE: FOR USE IN FULL SUN

AREAS WHERE RAPID ESTABLISHMENT IS NECESSARY AND WHEN TURF WILL RECEIVE

- MEDIUM TO INTENSIVE MANAGEMENT. CERTIFIED PERENNIAL RYEGRASS CULTIVARS/CERTIFIED KENTUCKY BLUEGRASS SEEDING RATE: 2 POUNDS MIXTURE PER 1000 SQUÁRE FEET. CHOOSE A MINIMUM OF THREE KENTUCKY BLUEGRASS CULTIVAR: WITH EACH RANGING FROM 10 TO 35 PERCENT OF THE TOTAL MIXTURE BY WEIGHT. TALL FESCUE/KENTUCKY BLUEGRASS: FULL SUN MIXTURE: FOR USE IN DROUGH PRONE AREAS AND/OR FOR AREAS RECEIVING LOW TO MEDIUM MANAGEMENT IN FULL SUN TO MEDIUM SHADI
- RECOMMENDED MIXTURE INCLUDES; CERTIFIED TALL FESCUE CULTIVARS 95 TO 100 PERCENT, CERTIFIED KENTUCKY BLUEGRASS CULTIVARS 0 TO 5 PERCENT. SEEDING RATE: 5 TO 8 POUNDS PER 1000 SQUARE FEET. ONE OR MORE CULTIVARS MAY BE KENTUCKY BLUEGRASS/FINE FESCUE: SHADE MIXTURE: FOR USE IN AREAS WITH SHADE IN BLUEGRASS LAWNS, FOR ESTABLISHMENT IN HIGH QUALITY, INTENSIVELY MANAGED TURE AREA. MIXTURE INCLUDES: CERTIFIED KENTUCKY BLUEGRASS CULTIVARS 30 TO
- 40 PERCENT AND CERTIFIED FINE FESCUE AND 60 TO 70 PERCENT. SEEDING RATE: 1/2 TO 3 POUNDS PER 1000 SQUARE FEET.

SELECT TURFGRASS VARIETIES FROM THOSE LISTED IN THE MOST CURRENT UNIVERSITY OF MARYLAND PUBLICATION, AGRONOMY MEMO #77, "TURFGRASS CULTIVAR RECOMMENDATIONS FOR MARYLAND"

CHOOSE CERTIFIED MATERIAL, CERTIFIED MATERIAL IS THE BEST GUARANTEE OF CULTIVAR PURITY. THE CERTIFICATION PROGRAM OF THE MARYLAND DEPARTMENT OF AGRICULTURE, TURF AND SEED SECTION, PROVIDES A RELIABLE MEANS OF CONSUMER PROTECTION AND ASSURES A PURE GENETIC LINE

IDEAL TIMES OF SEEDING FOR TURF GRASS MIXTURES WESTERN MD: MARCH 15 TO JUNE 1, AUGUST 1 TO OCTOBER 1 (HARDINESS ZONES: 5E CENTRAL MD: MARCH 1 TO MAY 15, AUGUST 15 TO OCTOBER 15 (HARDINESS ZONE: 6 SOUTHERN MD, EASTERN SHORE: MARCH 1 TO MAY 15, AUGUST 15 TO OCTOBER 15 (HARDINESS ZONES: 7A, 7B)

TILL AREAS TO RECEIVE SEED BY DISKING OR OTHER APPROVED METHODS TO A DEPTH O 2 TO 4 INCHES LEVEL AND RAKE THE AREAS TO PREPARE A PROPER SEEDRED REMOVE STONES AND DEBRIS OVER 1 1/2 INCHES IN DIAMETER. THE RESULTING SEEDBED MUST BE IN SUCH CONDITION THAT FUTURE MOWING OF GRASSES WILL POSE NO DIFFICULTY IF SOIL MOISTURE IS DEFICIENT, SUPPLY NEW SEEDINGS WITH ADEQUATE WATER FOR PLANT GROWTH (1/2 TO 1 INCH EVERY 3 TO 4 DAYS DEPENDING ON SOIL TEXTURE) UNTIL THEY ARE FIRMLY ESTABLISHED. THIS IS ESPECIALLY TRUE WHEN SEEDINGS ARE MADE LATE IN THE PLANTING SEASON, IN ABNORMALLY DRY OR HOT SEASONS, OR ON ADVERSE SITES.

	PERMANENT SEEDING SUMMARY						
HARDINESS ZONE: 6b SEED MIXTURE: #9 (Tall Fescue/ Kentucky Bluegrass)					FERTILIZER RATE	LIME RATE	
No.	No. SPECIES APPLICATION SEEDING SEEDING RATE DATES DEPTHS						
9	*Certified Tall Fescue blend (95% by weight): Falcon IV, Penn 1901 & Rebel Exeda and Certified Kentucky Bluegrass blend (5% by weight): Courtyard, Raven & Yankee	6-8 lb/ 1000 s.f.	Mar. 1 to May 15, Aug. 15 to Oct. 15	1/4 - 1/2 IN.	1.0 lb/ 1000 s.f. (45 lb/acre)	90 lb/ 1000 s.f.	

\* Other cultivars listed as "proven" in the most current UMD TT-77 may also be used SOD: TO PROVIDE QUICK COVER ON DISTURBED AREAS (2:1 GRADE OR FLATTER).

CLASS OF TURFGRASS SOD MUST BE MARYLAND STATE CERTIFIED, SOD LABELS MUST BE MADE AVAILABLE TO THE JOB FOREMAN AND INSPECTOR. SOD MUST BE MACHINE CUT AT A UNIFORM SOIL THICKNESS OF 3/4 INCH, PLUS OR MINUS 1/4 INCH, AT THE TIME OF CUTTING. MEASUREMENT FOR THICKNESS MUST EXCLUDE TOP GROWTH AND THATCH. BROKEN PADS AND TORN OR UNEVEN ENDS WILL NOT BE

STANDARD SIZE SECTIONS OF SOD MUST BE STRONG ENOUGH TO SUPPORT THEIR OWN WEIGHT AND RETAIN THEIR SIZE AND SHAPE WHEN SUSPENDED VERTICALLY WITH A FIRM GRASP ON THE UPPER 10 PERCENT OF THE SECTION.

SOD MUST NOT BE HARVESTED OR TRANSPLANTED WHEN MOISTURE CONTENT (EXCESSIVEL DRY OR WET) MAY ADVERSELY AFFECT ITS SURVIVAL OD MUST BÉ HARVESTED, DELIVERED, AND INSTALLED WITHIN A PERIOD OF 36 HOURS. SI IOT TRANSPLANTED WITHIN THIS PERIOD MUST BE APPROVED BY AN AGRONOMIST OR SOIL

### SOD INSTALLATION

SCIENTIST PRIOR TO ITS INSTALLATION.

DURING PERIODS OF EXCESSIVELY HIGH TEMPERATURE OR IN AREAS HAVING DRY SUBSOIL, LIGHTLY IRRIGATE THE SUBSOIL IMMEDIATELY PRIOR TO LAYING THE SOD. LAY THE FIRST ROW OF SOD IN A STRAIGHT LINE WITH SUBSEQUENT ROWS PLACED PARALLEL TO IT AND TIGHTLY WEDGED AGAINST EACH OTHER. STAGGER LATERAL JOINTS PROMOTE MORE UNIFORM GROWTH AND STRENGTH. ENSURE THAT SOD IS NOT STRETCHED OR OVERLAPPED AND THAT ALL JOINTS ARE BUTTED TIGHT IN ORDER TO PREVENT VOIDS

WHICH WOULD CAUSE AIR DRYING OF THE ROOTS. WHEREVER POSSIBLE, LAY SOD WITH THE LONG EDGES PARALLEL TO THE CONTOUR AND WITH STAGGERING JOINTS. ROLL AND TAMP, PEG OR OTHERWISE SECURE THE SOD TO PREVENT SLIPPAGE ON SLOPES. ENSURE SOLID CONTACT EXISTS BETWEEN SOD ROOTS AN HE UNDERLYING SOIL SURFACE. WATER THE SOD IMMEDIATELY FOLLOWING ROLLING AND TAMPING UNTIL THE UNDERSIDE OF THE NEW SOD PAD AND SOIL SURFACE BELOW THE SOD ARE THOROUGHLY WET. COMPLETITHE OPERATIONS OF LAYING, TAMPING AND IRRIGATING FOR ANY PIECE OF SOD WITHIN

# SOD MAINTENANCE

### IN THE ABSENCE OF ADEQUATE RAINFALL, WATER DAILY DURING THE FIRST WEEK OR AS OFTEN AND SUFFICIENTLY AS NECESSARY TO MAINTAIN MOIST SOIL TO A DEPTH OF 4 INCHES. WATER SOD DURING THE HEAT OF THE DAY TO PREVENT WILTING. AFTER THE FIRST WEEK, SOD WATERING IS REQUIRED AS NECESSARY TO MAINTAIN ADEQUATE MOISTURE CONTENT.

DO NOT MOW UNTIL THE SOD IS FIRMLY ROOTED. NO MORE THAN 1/3 OF THE GRASS LEAF MUST BE REMOVED BY THE INITIAL CUTTING OR SUBSEQUENT CUTTINGS. MAINTAIN A GRASS HEIGHT OF AT LEAST 3 INCHES UNLESS OTHERWISE SPECIFIED.

### SEDIMENT CONTROL NOTES

- A PRE-CONSTRUCTION MEETING MUST OCCUR WITH THE HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS, CONSTRUCTION INSPECTION DIVISION (CID), 410-313-1855 AFTER THE FUTURE LOD AND PROTECTED AREAS ARE MARKED CLEARLY IN THE FIELD. A MINIMUM OF 48 HOUR NOTICE TO CID MUST BE GIVEN
- b. UPON COMPLETION OF THE INSTALLATION OF PERIMETER EROSION AND SEDIMENT CONTROLS, BUT BEFORE PROCEEDING WITH ANY OTHER
- EARTH DISTURBANCE OR GRADING,
  c. PRIOR TO THE START OF ANOTHER PHASE OF CONSTRUCTION OR OPENING OF ANOTHER GRADING UNIT, d. PRIOR TO THE REMOVAL OR MODIFICATION OF SEDIMENT CONTROL
- OTHER BUILDING OR GRADING INSPECTION APPROVALS MAY NOT BE AUTHORIZED UNTIL THIS INITIAL APPROVAL BY THE INSPECTION AGENCY IS MADE. OTHER RELATED STATE AND FEDERAL PERMITS SHALL BE REFERENCED, TO ENSURE COORDINATION AND TO AVOID CONFLICTS WITH THIS PLAN.
- ALL VEGETATIVE AND STRUCTURAL PRACTICES ARE TO BE INSTALLED ACCORDING TO THE PROVISIONS OF THIS PLAN AND ARE TO BE IN CONFORMANCE WITH THE 10 THE PROVISIONS OF THIS PLAN AND ARE TO BE IN CONFORMANCE WITH THE 2011 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL, AND REVISIONS THERETO. FOLLOWING INITIAL SOIL DISTURBANCE OR RE-DISTURBANCE, PERMANENT OR TEMPORARY STABILIZATION SHALL BE COMPLETED WITHIN: 3 CALENDAR DAYS FOR ALL PERIMETER SEDIMENT CONTROL STRUCTURES, DIKES, PERIMETER SLOPES AND ALL SLOPES GREATER THAN 3:1, 7 DAYS AS TO ALL OTHER DISTURBED OR GRADED AREAS ON THE
- FOLLOWING INITIAL SOIL DISTURBANCE OR RE-DISTURBANCE, PERMANENT OR TEMPORARY STABILIZATION IS REQUIRED WITHIN THREE (3) CALENDAR DAYS AS TO THE SURFACE OF ALL PERIMETER CONTROLS, DIKES, SWALES, DITCHES, PERIMETER SLOPES, AND ALL SLOPES STEEPER THAN 3 HORIZONTAL TO 1 VERTICAL (3:1); AND SEVEN (7) CALENDAR DAYS AS TO ALL OTHER DISTURBED AREAS ON THE PROJECT SITE EXCEPT FOR THOSE AREAS UNDER ACTIVE
- ALL DISTURBED AREAS MUST BE STABILIZED WITHIN THE TIME PERIOD SPECIFIED ABOVE IN ACCORDANCE WITH THE 2011 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL FOR TOPSOIL (Sec 2), PERMANENT SEEDING (Sec.B-4-5), TEMPORARY SEEDING (SEC. B-4-4 AND MULCHING (SEC. B-4-3). TEMPORARY STABILIZATION WITH MULCH ALONE CAN ONLY BE APPLIED BETWEEN THE FALL AND SPRING SEEDING DATES IF THE GROUND IS FROZEN. INCREMENTAL STABILIZATION (SEC. B-4-1) SPECIFICATIONS SHALL BE ENFORCED IN AREAS WITH >15'OF CUT AND/OR FILL. STOCKPILES (SEC B-4-8) IN EXCESS OF 20 FT. MUST BE BENCHED WITH STABLE OUTLET. ALL CONCENTRATED FLOW, STEEP SLOPE, AND HIGHLY ERODIBLE AREAS SHALL RECEIVE SOIL STABILIZATION MATTING (SEC. B-4-6).
- ALL SEDIMENT CONTROL STRUCTURES ARE TO REMAIN IN PLACE, AND ARE TO BE MAINTAINED IN OPERATIVE CONDITION UNTIL PERMISSION FOR THEIR REMOVAL HAS

BEEN OBTAINED FROM THE CID.		
SITE ANALYSIS:		
Total Area of Site (Parcel B-11)	0.801 AC.	
Area Disturbed	0.512 AC.	
Area to be Roofed or Paved	0.416 AC.	
Area to be Vegetatively Stabilized	0.096 AC.	* FOD FOTHATING
Total Cut	220 CY*	* FOR ESTIMATING PURPOSES ONLY.
Total Fill	670 CY*	CONTRACTOR TO VERIFY ACTUAL
Off-site Waste/Borrow Area Location	TBD	VALUES.

- PLACEMENT OF UTILITIES MUST BE REPAIRED ON THE SAME DAY OF
- ADDITIONAL SEDIMENT CONTROL MUST BE PROVIDED, IF DEEMED NECESSARY BY THE CID. THE SITE AND ALL CONTROLS SHALL BE INSPECTED BY THE CONTRACTOR WEEKLY; AND THE NEXT DAY AFTER EACH RAIN EVENT. A WRITTEN REPORT BY THE CONTRACTOR, MADE AVAILABLE UPON REQUEST, IS PART OF EVERY INSPECTION AND SHOULD INCLUDE: INSPECTION DATE
- INSPECTION TYPE (ROUTINE, PRE-STORM EVENT, DURING RAIN EVENT)
   NAME AND TITLE OF INSPECTOR WEATHER INFORMATION (CURRENT CONDITIONS AS WELL AS TIME AND AMOUNT OF LAST RECORDED PRECIPITATION) BRIEF DESCRIPTION OF PROJECT'S STATUS (E.G., PERCENT COMPLETE) AND/OR CURRENT ACTIVITIES
- EVIDENCE OF SEDIMENT DISCHARGES
   IDENTIFICATION OF PLAN DEFICIENCIES
   IDENTIFICATION OF SEDIMENT CONTROLS THAT REQUIRE MAINTENANCE
   IDENTIFICATION OF MISSING OR IMPROPERLY INSTALLED SEDIMENT CONTROLS
   COMPLIANCE STATUS REGARDING THE SEQUENCE OF CONSTRUCTION AND STABILIZATION REQUIREMENTS MONITORING/SAMPLING
- MAINTENANCE AND/OR CORRECTIVE ACTION PERFORMED • OTHER INSPECTION ITEMS AS REQUIRED BY THE GENERAL PERMIT FOR STORMWATER ASSOCIATED WITH CONSTRUCTION ACTIVITIES (NPDES, MDE). TRENCHES FOR THE CONSTRUCTION OF UTILITIES IS LIMITED TO THREE PIP
- LENGTHS OR THAT WHICH CAN AND SHALL BE BACK-FILLED AND STABILIZED BY THE END OF EACH WORKDAY, WHICHEVER IS SHORTER. ANY MAJOR CHANGES OR REVISIONS TO THE PLAN OR SEQUENCE CONSTRUCTION MUST BE REVIEWED AND APPROVED BY THE HSCD PRIOR TO PROCEEDING WITH CONSTRUCTION. MINOR REVISIONS MAY ALLOWED BY THE CID
- PER THE LIST OF HSCD-APPROVED FIELD CHANGES. DISTURBANCE SHALL NOT OCCUR OUTSIDE THE L.O.D. A PROJECT IS TO BE SEQUENCED SO THAT GRADING ACTIVITIES BEGIN ON ONE GRADING UNIT (MAXIMUM ACREAGE OF 20 AC. PER GRADING UNIT) AT A TIME. WORK MAY PROCEED TO SUBSEQUENT GRADING UNIT WHEN AT LEAST 50 PERCENT OF THE DISTURBED AREA IN THE PRECEDING GRADING UNIT HAS BEEN STABILIZED AND APPROVED BY THE CID. UNLESS OTHERWISE SPECIFIED AND APPROVED BY HSCD, NO MORE THAN 30 ACRES CUMULATIVELY MAY BE DISTURBED AT A GIVEN TIME.
- WASH WATER FROM ANY EQUIPMENT, VEHICLES, WHEELS, PAVEMENT, AND OTHER SOURCES MUST BE TREATED IN A SEDIMENT BASIN OR OTHER APPROVED WASHOUT STRUCTURE.
- TOPSOIL SHALL BE STOCKPILED AND PRESERVED ON-SITE FOR REDISTRIBUTION ONTO FINAL GRADE.
- ALL SILT FENCE AND SUPER SILT FENCE SHALL BE PLACED ON—THE—CONTOUR, AND BE IMBRICATED AT 25 MINIMUM INTERVALS, WITH LOWER ENDS CURLED STREAM CHANNELS MUST NOT BE DISTURBED DURING THE FOLLOWING RESTRICTED
- TIME PERIODS (INCLUSIVE):

   USE I AND IP MARCH 1 JUNE 15 • USE III AND IIIP OCTOBER 1 - APRIL 30

### A COPY OF THIS PLAN. THE 2011 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL, AND ASSOCIATED PERMITS SHALL FON-SITE AND AVAILABLE WHEN THE SITE IS ACTIVE.

### STABILIZED CONSTRUCTION SCE ENTRANCE MOUNTABLE BERM (6 IN MIN.) NONWOVEN GEOTEXTILE ---MIN. 6 IN OF 2 TO 3 IN AGGREGATE OVER LENGTH AND WIDTH OF ENTRANCE -PIPE (SEE NOTE 6) PROFILE PLAN VIEW CONSTRUCTION SPECIFICATIONS 1. USE NOMINAL 2 INCH X 4 INCH LUMBER PLACE STABILIZED CONSTRUCTION ENTRANCE IN ACCORDANCE WITH THE APPROVED PLAN. VEHICLES MUST TRAVEL OVER THE ENTIRE LENGTH OF THE SCE. USE MINIMUM LENGTH OF 50 FEET (\*30 FEET FOR SINGLE RESIDENCE LOT), USE MINIMUM WIDTH OF 10 FEET. FLARE SCE 10 FEET MINIMUM AT THE EXISTING ROAD TO PROVIDE A TURNING RADIUS. PIPE ALL SURFACE WATER FLOWING TO OR DIVERTED TOWARD THE SCE UNDER THE ENTRANCE MAINTAINING POSITIVE DRAINAGE. PROTECT PIPE INSTALLED THROUGH THE SCE WITH A MOUNT BERM WITH 5-1 SLOPES AND A MINIMUM OF 12 INCHES OF STONE OVER THE PIPE, PROVIDE P SPECIFIED ON APPROVED PLAN. WHEN THE SCE IS LOCATED AT A HIGH SPOT AND HAS NO DI TO CONYEY, A PIPE IS NOT NECESSARY. A MOUNTABLE BERM IS REQUIRED WHEN SCE IS NOT LOCATED AT A HIGH SPOT. PREPARE SUBGRADE AND PLACE NONWOVEN GEOTEXTILE, AS SPECIFIED IN SECTION H-1 MATERIAL PLACE CRUSHED AGGREGATE (2 TO 3 INCHES IN SIZE) OR EQUIVALENT RECYCLED CONCRETE (WITHOU REBAR) AT LEAST 6 INCHES DEEP OVER THE LENGTH AND WIDTH OF THE SCE. WHERE TWO SECTIONS OF GEOTEXTILE ADJOIN: OVERLAP, FOLD, AND STAPLE TO POST IN ACCORDANCE WITH THIS DETAIL. ATTACH LATHE. MAINTAIN ENTRANCE IN A CONDITION THAT MINIMIZES TRACKING OF SEDIMENT. ADD STONE OR MAKE OTHER REPAIRS AS CONDITIONS DEMAND TO MAINTAIN CLEAN SURFACE, MOUNTABLE BERM, AND SPECIFIED DIMENSIONS. IMMEDIATELY REMOVE STONE AND/OR SEDIMENT SPILLED, DROPPED, OR TRACKED ONTO ADJACENT ROADWAY BY VACUUMING, SCRAPING, AND/OR SWEEPING. WASHING ROADWAY TO REMOVE WILD TRACKED ONTO PAYMENAT IS, NOT ACCEPTABLE UNLESS WASH WATER IS DIRECTED TO AN APPROVED SEDIMENT CONTROL PRACTICE. U.S. DEPARTMENT OF AGRICULTURE VATURAL RESOURCES CONSERVATION SERVICE 2011 MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION DETAIL E-9-6 COMBINATION INLET COIP PROTECTION MAXIMUM DRAINAGE AREA = % ACRE INSTRUCTION SPECIFICATION 2 FT MIN. LENGTH-OF 2 IN x 4 IN USE NOMINAL 2 INCH x 4 INCH LUMBER

% TO 1% IN-

张 TO 1½ IN STONE -

NONWOVEN

¼ IN GALVINIZED----HARDWARE CLOTH

GRATE WRAPPED WITH GEOTEXTILE

LINLET GRATE

WIRE TIES

NONWOVEN GEOTEXTILE-

ISOMETRIC VIEW

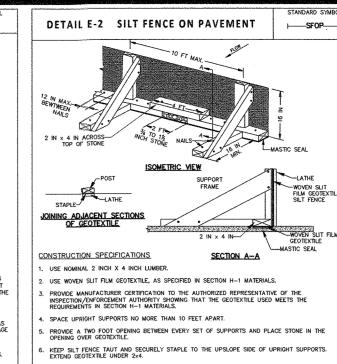
6 FT MAX. SPACING OF 2 IN x 4 IN SPACERS

2 IN x 4 IN ANCHOR

-2 IN x 4 IN WEIR

NONWOVEN CEOTEXTUE -

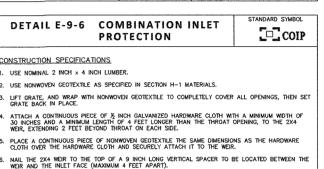
% IN HARDWARE CLOTH-



PROVIDE A MASTIC SEAL BETWEEN PAVEMENT, GEOTEXTILE, AND 2x4 TO PREVENT SEDIMENT-LADEN WATER FROM ESCAPING BENEATH SILT FENCE INSTALLATION. SECURE BOARDS TO PAVEMENT WITH 40D 5 INCH MINIMUM LENGTH NAILS. REMOVE ACCUMULATED SEDIMENT AND DEBRIS WHEN BULGES DEVELOP IN SILT FENCE OR WHEN SEDIMENT REACHES 25% OF FENCE HEIGHT, REPLACE GEOTEXTILE IF TORN. MAINTAIN WATER TIGHT SEAL ALONG BOTTOM. REPLACE STONE IF DISPLACED.

U.S. DEPARTMENT OF AGRICULTURE
ATURAL RESOURCES CONSERVATION SERVICE

MARYLAND DEPARTMENT OF ENVIRONMENT
WATER MANAGEMENT ADMINISTRATION



PLACE THE ASSEMBLY AGAINST THE INLET THROAT AND NAIL TO 2X4 ANCHORS (MINIMUM 2 FOO' LENGTHS OF 2X4 INCH TO THE TOP OF THE WEIR AT SPACER LOCATIONS). EXTEND 2X4 ANCHORS ACROSS THE INLET TOP AND HOLD IN PLACE BY SANDBAGS OR OTHER APPROVED ANCHORING . INSTALL END SPACERS A MINIMUM OF 1 FOOT BEYOND BOTH ENDS OF THE THROAT OPENING. . FORM THE %, INCH HARDWARE CLOTH AND THE GEOTEXTILE TO THE CONCRETE GUTTER AI THE FACE OF THE CURB ON BOTH SIDES OF THE INLET. PLACE CLEAN %, TO 1½, INCH S EQUIVALENT RECYCLED CONCRETE OVER THE HARDWARE CLOTH AND GEOTEXTILE IN SUCH TO PREVENT WATER FROM ENTERING THE INLET UNDER OR AROUND THE GEOTEXTILE. I. AT NON-SUMP LOCATIONS, INSTALL A TEMPORARY SANDBAG OR ASPHALT BERM TO PREVENT INLET BYPASS.

CROSS SECTION CONSTRUCTION SPECIFICATIONS INSTALL 2% INCH DIAMETER GALVANIZED STEEL POSTS OF 0.095 INCH WALL THICKNESS AND SIX FOO LENGTH SPACED NO FURTHER THAN 10 FEET APART. DRIVE THE POSTS A MINIMUM OF 36 INCHES INTO THE GROUND. FASTEN 9 GAUGE OR HEAVIER GALVANIZED CHAIN LINK FENCE (2% INCH MAXIMUM OPENING) 42 INCHES IN HEIGHT SECURELY TO THE FENCE POSTS WITH WIFE TIES OR HUG RINGS. WHERE ENDS OF THE GEOTEXTILE COME TOGETHER, THE ENDS SHALL BE OVERLAPPED BY 6 INCHES, FOLDED, AND STAPLED TO PREVENT SEDIMENT BY PASS. EXTEND BOTH ENDS OF THE SUPER SILT FENCE A MINIMUM OF FIVE HORIZONTAL FEET UPSLOPE AT 45 DEGREES TO THE MAIN FENCE ALIGNMENT TO PREVENT RUNOFF FROM GOING AROUND THE ENDS OF THE SUPER SILT FENCE. PROVIDE MANUFACTURER CERTIFICATION TO THE INSPECTION/ENFORCEMENT AUTHORITY SHOWING TH GEOTEXTILE USED MEETS THE REQUIREMENTS IN SECTION H-1 MATERIALS. REMOVE ACCUMULATED SEDIMENT AND DEBRIS WHEN BULGES DEVELOP IN FENCE OR WHEN SEDIMENT REACHES 25% OF FENCE HEIGHT. REPLACE GEOTEXTILE IF TORN. IF UNDERMINING OCCURS, REINSTALL CHAIN LINK FENCING AND GEOTEXTILE. MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL 2011 MARYLAND DEPARTMENT OF ENVIRONMEN WATER MANAGEMENT ADMINISTRATION DETAIL E-1 SILT FENCE CENTER TO CENTER 36 IN MIN. FENCE POST LENGTH DRIVEN MIN. 16 IN INTO GROUND 16 IN MIN. HEIGHT OF WOVEN SLIT FILM GEOTEXTILE 8 IN MIN. DEPTH FENCE POST 18 IN MIN. WOVEN SLIT FILM -----GEOTEXTILE GROUND SINTATATION. FENCE POST DRIVEN A MIN. OF 16 IN INTO THE GROUND CROSS SECTION STEP 2

DETAIL E-3 SUPER SILT FENCE

WOVEN SLIT FILM GEOTEXTILE-

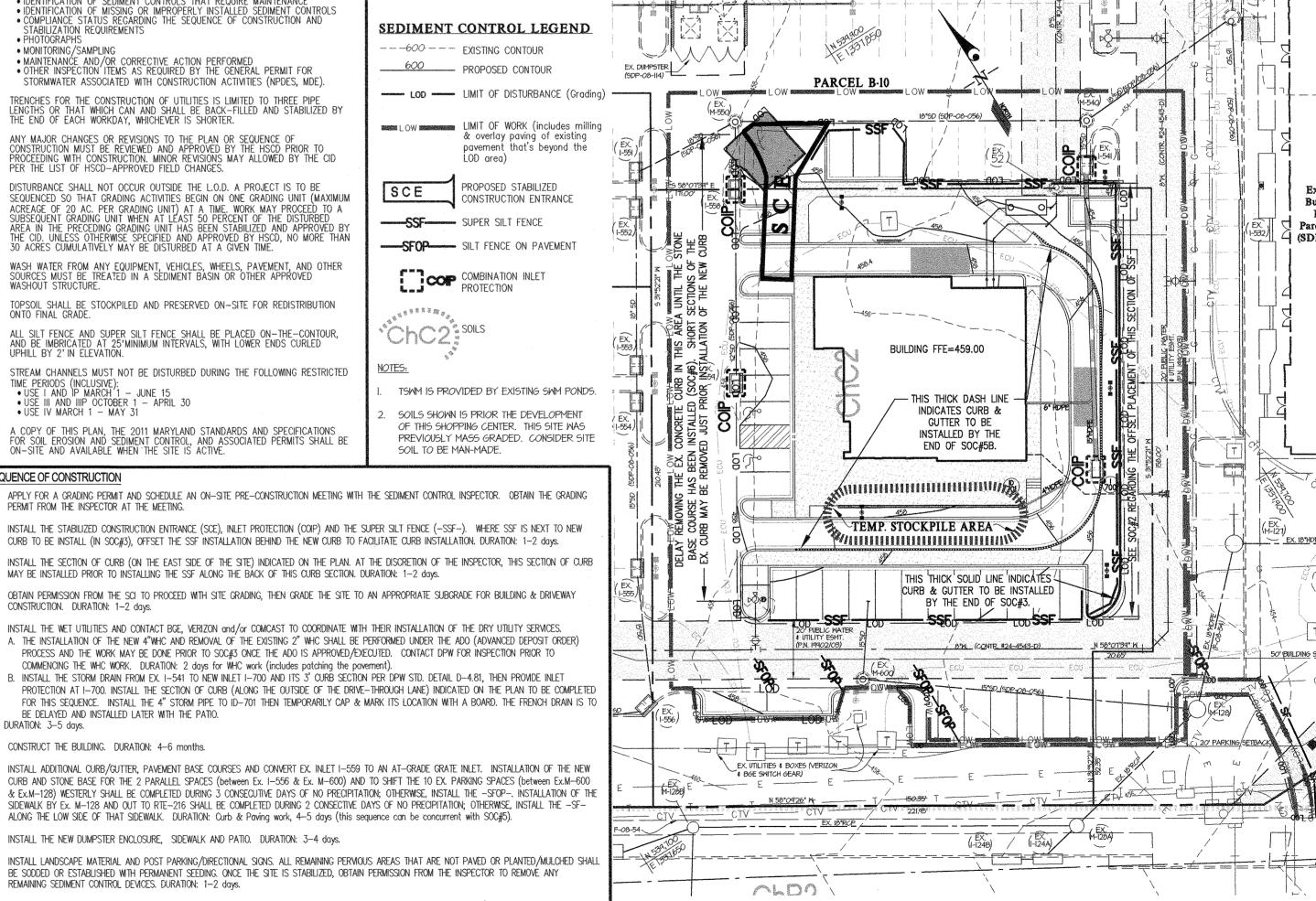
EMBED GEOTEXTILE AND CHAIN LINK FENCE 8 IN MIN. INTO GROUND

FLOW

10 FT MAX.

GALVANIZED CHAIN LINK FENCE WI WOVEN SLIT FILM GEOTEXTILE

-----SSF-----



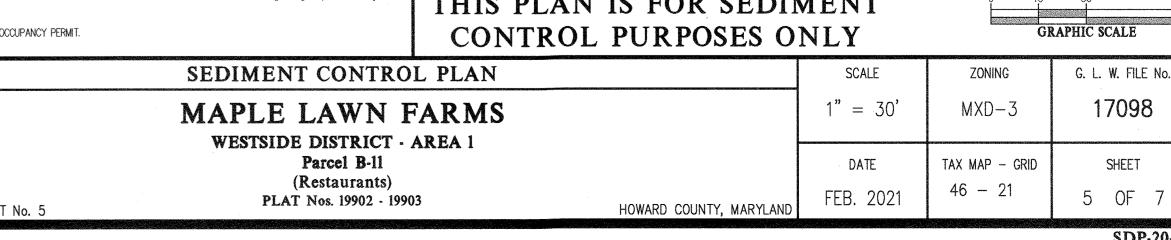


PERMIT FROM THE INSPECTOR AT THE MEETING.

CONSTRUCTION. DURATION: 1-2 days.

INSTALL ADDITIONAL CURB/GUTTER, PAVEMENT BASE COURSES AND CONVERT EX. INLET I-559 TO AN AT-GRADE GRATE INLET. INSTALLATION OF THE NEW CURB AND STONE BASE FOR THE 2 PARALLEL SPACES (between Ex. 1-556 & Ex. M-600) AND TO SHIFT THE 10 EX. PARKING SPACES (between Ex.M-600 & EX.M-128) WESTERLY SHALL BE COMPLETED DURING 3 CONSECUTIVE DAYS OF NO PRECIPITATION; OTHERWISE, INSTALL THE -SFOP-. INSTALLATION OF THE SIDEWALK BY Ex. M-128 AND OUT TO RTE-216 SHALL BE COMPLETED DURING 2 CONSECTIVE DAYS OF NO PRECIPITATION; OTHERWISE, INSTALL THE -SF-ALONG THE LOW SIDE OF THAT SIDEWALK. DURATION: Curb & Paving work, 4-5 days (this sequence can be concurrent with SOC#5).

- INSTALL THE NEW DUMPSTER ENCLOSURE, SIDEWALK AND PATIO. DURATION: 3-4 days.
- INSTALL LANDSCAPE MATERIAL AND POST PARKING/DIRECTIONAL SIGNS. ALL REMAINING PERVIOUS AREAS THAT ARE NOT PAVED OR PLANTED/MULCHED SHALL BE SODDED OR ESTABLISHED WITH PERMANENT SEÉDING. ONCE THE SITE IS STABILIZED, OBTAIN PERMISSION FROM THE INSPECTOR TO REMOVE ANY REMAINING SEDIMENT CONTROL DEVICES. DURATION: 1-2 days.
- INSTALL PAVEMENT SURFACE COURSE WITH THE MILLING AND OVERLAY PAVING OPERATION, THEN APPLY PAVEMENT MARKINGS (parking stripes, one-way arrow, etc). DURATION: 2-3 days.
- COMPLETE BUILDING INTERIOR WORK AND OBTAIN A USE & OCCUPANCY PERMIT.



Suite 300 Suite 201 Elkridge, MD 21075 Baltimore, MD 21208 Attn.: Mark Bennett, Sr. Attn.: Brian Lemek 410-484-8400 Ph.: 443-552-0700

PREPARED FOR:

G&R Wessel, LL 1829 Reisterstown Road

8184 Lark Brown Road ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 12975 EXPIRATION DATE: MAY 26, 2022

PROFESSIONAL CERTIFICATION HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY

ELECTION DISTRICT No. 5

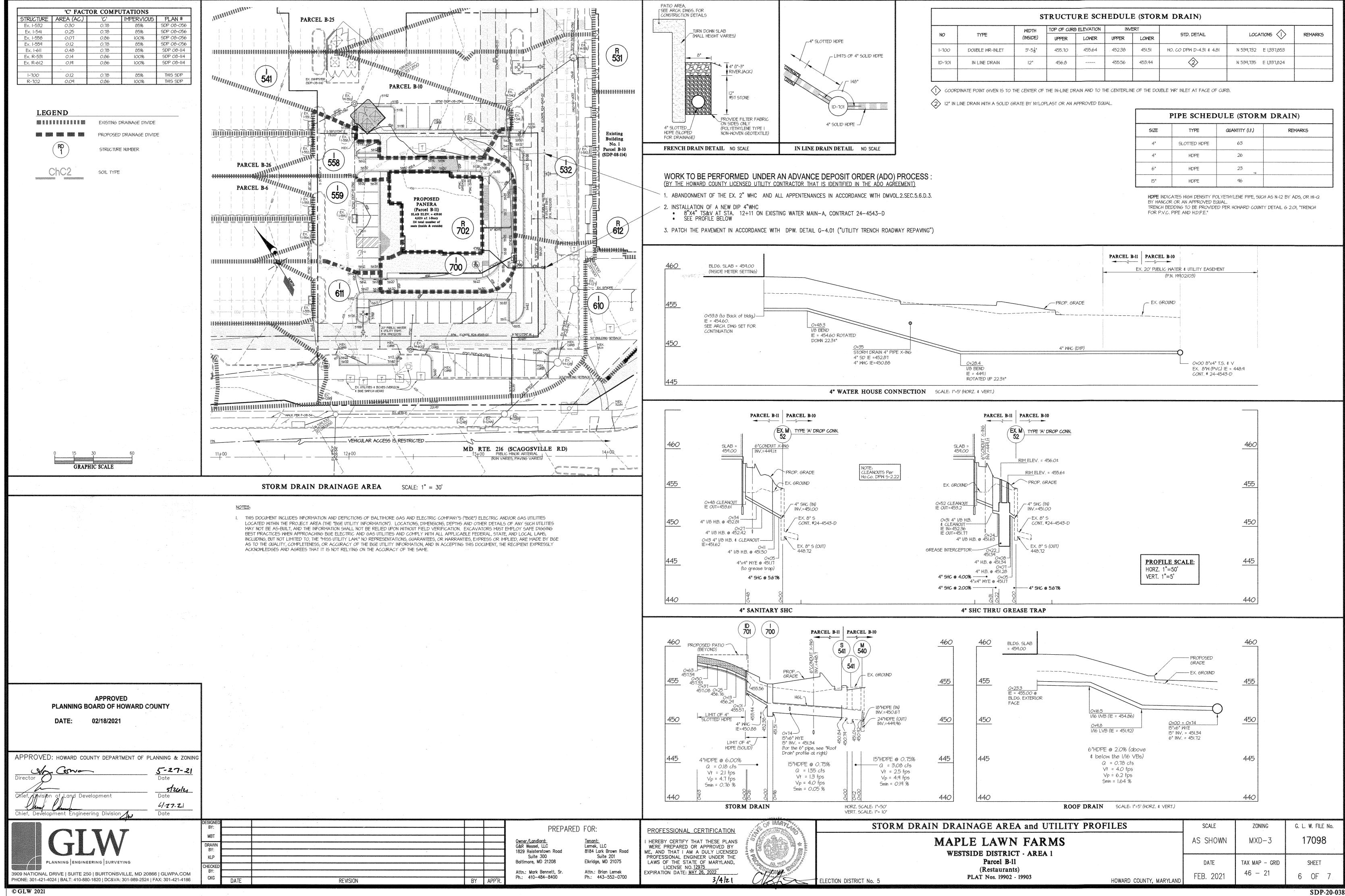
JOINING TWO ADJACENT SILT FENCE SECTIONS (TOP VIEW) 2011 MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION

MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL U.S. DEPARTMENT OF AGRICULTURE
VATURAL RESCURCES CONSERVATION SERVICE 2011

WATER MANAGEMENT ADMINISTRATION U.S. DEPARTMENT OF AGRICULTURE NATURAL RESOURCES CONSERVATION SERVICE 2011 MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION

THIS PLAN IS FOR SEDIMENT

SDP-20-038



### LANDSCAPE NOTES THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH SECTION 16.124 OF THE HOWARD COUNTY CODE & CHAPTER VI OF THE HOWARD COUNTY LANDSCAPE MANUAL (ALTERNATIVE COMPLIANCE) PLUS THE LANDSCAPE DESIGN CRITERIA OF S-06-16 AND PB CASE No. 378. CONTRACTOR SHALL NOTIFY ALL UTILITIES AT LEAST (5) FIVE DAYS BEFORE STARTING WORK. ALL GENERAL NOTES, ESPECIALLY THOSE REGARDING UTILITIES, ON SHEET No.1 SHALL APPLY FIELD VERIFY UNDERGROUND UTILITY LOCATIONS AND EXISTING CONDITIONS BEFORE STARTING PLANTING WORK. CONTACT CONSTRUCTION MANAGER OR OWNER IF ANY RELOCATIONS ARE REQUIRED. PLANT QUANTITIES SHOWN ON THE PLANT LIST ARE PROVIDED FOR THE CONVENIENCE OF THE CONTRACTOR ONLY. IF DISCREPANCIES EXIST BETWEEN QUANTITIES SHOWN ON THE PLAN AND THOSE SHOWN ON THE PLANT LIST, THE QUANTITIES ON THE PLAN SHALL TAKE PRECEDENCE. ALL PLANT MATERIAL SHALL BE FULL, HEAVY, WELL FORMED, SYMMETRICAL, AND CONFORM TO THE A.A.N. SPECIFICATIONS. ALL PLANT MATERIAL SHALL BE INSTALLED IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS AND THIS NO SUBSTITUTION SHALL BE MADE WITHOUT PRIOR APPROVAL FROM HOWARD COUNTY DPZ AND THE OWNER OR HIS REPRESENTATIVE. ALL AREAS DISTURBED BY CONSTRUCTION ACTIVITIES BUT NOT OTHERWISE PLANTED, PAVED, OR MULCHED SHALL BE SODDED OR SEEDED IN ACCORDANCE WITH THE PERMANENT SEEDING SPECIFICATION. A MINIMUM OF 4" OF TOPSOIL SHALL BE PROVIDED TO ALL PLANTING AREAS (FOR TOPSOIL SPEC. SEE SHEET 6). THE CONTRACTOR SHALL NOTIFY THE OWNER IN WRITING IF HE/SHE ENCOUNTERS SOIL DRAINAGE CONDITIONS THAT MAY BE DETRIMENTAL TO THE GROWTH OF ALL EXPOSED EARTH WITHIN THE LIMITS OF PLANTING BEDS SHALL BE MULCHED WITH SHREDDED HARDWOOD MULCH PER THE PLANTING DETAILS. DO NOT PLANT TREES WITHIN THE PUBLIC WATER, SEWER AND UTILITY EASEMENT. SCHEDULES "A" AND "B" ARE PROVIDED FOR LANDSCAPE SURETY CALCULATION PURPOSES. FINANCIAL SURETY FOR THE REQUIRED LANDSCAPING SHALL BE POSTED WITH THE DEVELOPERS AGREEMENT IN THE AMOUNT OF \$ 2,100.00 FOR FOLLOW REQUIRED PLANT QUANTITIES: = \$ 1,500.00 50 SHRUBS AT \$30/SHRUB 2 SHADE TREES AT \$300/TREE FOR LANDSCAPE INSPECTION TO OBTAIN THE RELEASE OF THE SURETY, CONTACT HOWARD COUNTY DEPT. OF PLANNING & ZONING AT 410-313-2350. THE OWNER, TENANTS AND/OR THEIR AGENTS SHALL BE RESPONSIBLE FOR MAINTENANCE OF THE REQUIRED LANDSCAPING INCLUDING BOTH PLANT MATERIALS AND BERMS, FENCES AND WALLS. ALL PLANT MATERIALS SHALL BE MAINTAINED IN GOOD GROWING CONDITION AND WHEN NECESSARY REPLACED WITH NEW MATERIALS TO ENSURE CONTINUED COMPLIANCE WITH APPLICABLE REGULATIONS. ALL OTHER REQUIRED LANDSCAPING SHALL BE PERMANENTLY MAINTAINED IN GOOD CONDITION, AND WHEN NECESSARY, REPAIRED OR REPLACED: AT THE TIME OF PLANT INSTALLATION, ALL SHRUBS AND TREES LISTED AND APPROVED ON THE LANDSCAPE PLAN, SHALL COMPLY WITH THE PROPER HEIGHT REQUIREMENT IN ACCORDANCE WITH THE HOWARD COUNTY LANDSCAPE MANUAL. IN ADDITION, NO SUBSTITUTIONS OR RELOCATIONS OF THE REQUIRED PLANTINGS MAY BE MADE WITHOUT PRIOR REVIEW AND APPROVAL FROM THE DEPARTMENT OF PLANNING AND ZONING. ANY DEVIATION FROM THE APPROVED LANDSCAPE PLAN MAY RESULT IN DENIAL OR DELAY IN THE RELEASE OF LANDSCAPE SURETY UNTIL SUCH TIME AS ALL REQUIRED MATERIALS ARE PLANTED AND/OR REVISIONS ARE MADE TO THE APPLICABLE PLANS ALL REMAINING PERVIOUS AREAS THAT ARE NOT PAVED OR PLANTED/MULCHED SHALL BE SODDED OR ESTABLISHED WITH PERMANENT SEEDING.

### DEVELOPER'S/BULDER'S CERTIFICATE

I/WE CERTIFY THAT THE LANDSCAPING SHOWN ON THIS PLAN WILL BE DONE ACCORDING TO THE PLAN, SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE HOWARD COUNTY LANDSCAPE MANUAL AND THE MLF LANDSCAPE DESIGN CRITERIA. I/WE FURTHER CERTIFY THAT UPON COMPLETION A LETTER OF LANDSCAPE INSTALLATION, ACCOMPANIED BY AN EXECUTED ONE YEAR GUARANTEE OF PLANT MATERIALS, WILL BE SUBMITTED TO THE DEPARTMENT OF PLANNING AND ZONING.

APPROVED PLANNING BOARD OF HOWARD COUNTY

02/18/2021

APPROVED: HOWARD COUNTY DEPARTMENT OF F	PLANNING & ZONING
An Con-	5-27-21
Director	Date
h	5/20/21
Chief, Division of Land Development	Date
Charl Edus	4.27.21
Chief, Development Engineering Division	Date

3909 NATIONAL DRIVE | SUITE 250 | BURTONSVILLE, MD 20866 | GLWPA.COM PHONE: 301-421-4024 | BALT: 410-880-1820 | DC&VA: 301-989-2524 | FAX: 301-421-4186 LANDSCAPE SPECIFICATIONS:

I.O GENERAL CONDITIONS

THE LANDSCAPE CONTRACTOR SHALL PROVIDE ALL MATERIALS, LABOR AND EQUIPMENT TO COMPLETE ALL LANDSCAPE WORK AS SHOWN ON THE PLANS AND SPECIFICATIONS TOTAL NUMBER OF PLANTS SHALL BE DRAWN ON THE LANDSCAPE PLAN. IF THERE IS A DISCREPANCY

BETWEEN THE DRAWING AND THE LIST ON THE PLANS, THE CONTRACTOR SHALL REQUEST CLARIFICATION FROM THE LANDSCAPE ARCHITECT A. ALL PLANT MATERIAL SHALL CONFORM TO THE CURRENT ISSUE OF THE AMERICAN STANDARD FOR NURSERY STOCK (ANSI 260.1). ALL TREES TO BRANCH SYMMETRICALLY AROUND CENTRAL LEADER. NO FORKED

LEADER STOCK WILL BE ACCEPTED PLANT MATERIAL MUST BE SELECTED FROM NURSERIES THAT HAVE BEEN INSPECTED AND CERTIFIED BY STATE NOMENCLATURE WILL BE IN ACCORDANCE WITH HORTUS III BY L.H. BAILEY

WHEN REQUESTED BY THE OWNER OR OWNER'S REPRESENTATIVE, SAMPLES OF ALL MATERIAL OTHER THAN PLANTS SHALL BE SUBMITTED TO THE OWNER'S DESIGNATED REPRESENTATIVE FOR APPROVAL.

ALL APPROVALS WILL BE IN WRITING.

1.5 SUBSTITUTIONS IT IS THE LANDSCAPE CONTRACTOR'S RESPONSIBILITY TO MAKE EVERY REASONABLE EFFORT TO FIND THE MATERIAL SPECIFIED BY THE LANDSCAPE ARCHITECT. THE LANDSCAPE CONTRACTOR MAY OFFER SUBSTITUTIONS TO THE LANDSCAPE ARCHITECT FOR HIS/HER CONSIDERATION. THE LANDSCAPE CONTRACTOR WILL NOTIFY THE LANDSCAPE ARCHITECT IF THERE ARE KNOWN DISEASE OR INSECT RESISTANT SPECIES THAT CAN BE SUBSTITUTED FOR A SELECTED PEST-PRONE PLANT, ALL SUBSTITUTIONS SHALL BE APPROVED BY HOWARD COUNTY

1.6 UTILITIES AND UNDERGROUND FEATURES: THE LANDSCAPE CONTRACTOR SHALL NOTIFY UTILITY COMPANIES AND/OR THE GENERAL CONTRACTOR IN ADVANCE

OF CONSTRUCTION TO LOCATE UTILITIES. I DRAINAGE IF PLANTS ARE TO BE INSTALLED IN AREAS THAT SHOW OBVIOUS POOR DRAINAGE. AND THE PLANTS ARE

REMOVED FROM THE PROJECT AND THE AREA CLEANED UP.

INAPPROPRIATE FOR THAT CONDITION, THE LANDSCAPE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT AND OWNER. IF THEY DEEM NECESSARY, THE PLANTS SHALL BE RELOCATED, THE CONTRACT SHALL BE ADJUSTED TO ALLOW FOR DRAINAGE CORRECTION AT A NEGOTIATED COST, OR THE PLANT SELECTION MODIFIED BY THE LANDSCAPE ARCHITECT TO ACCOMMODATE THE POOR DRAINAGE SITUATION. 1.8 WORKMANSHIP

A. DURING DELIVERY AND INSTALLATION, THE LANDSCAPE CONTRACTOR SHALL PERFORM IN A WORKMANLIKE MANNER, COORDINATING HIS/HER ACTIVITIES SO AS NOT TO INTERFERE UNDULY WITH THE WORK OF OTHER TRADES AND LEAVING HIS/HER WORK AREA(S) CLEAN OF LETTER AND DEBRIS AT THE CLOSE OF EACH B. DURING PLANTING, ALL AREAS SHALL BE KEPT NEAT AND CLEAN: PRECAUTIONS SHALL BE TAKEN TO AVOID

DAMAGE TO EXISTING PLANTS, LARGE TREES, TURF AND STRUCTURES. WHERE EXISTING TREES ARE TO BI PRESERVES. ADDITIONAL PRECAUTIONS SHOULD BE TAKEN TO AVOID UNNECESSARY ACCUMULATION OF EXCAVATED MATERIALS, SOIL COMPACTION OR ROOT DAMAGE UPON COMPLETION, ALL DEBRIS AND WASTE MATERIAL RESULTING FROM PLANTING OPERATIONS SHALL BE

ANY DAMAGE TO THE EXISTING UTILITIES, BUILDINGS, PAVING, CURB AND WALLS, AND VEGETATION (NOT SO

DESIGNATED FOR REMOVAL ON THESE PLANS) SHALL BE REPAIRED TO PREVIOUS CONDITION OR REPLACED Y THE CONTRACTOR AT HIS EXPENSE. THE OWNER SHALL SUPPLY WATER ON SITE AT NO COST. IF THE LANDSCAPE CONTRACTOR HAS TO SUPPLY

WATER TO THE SITE, IT SHALL BE AT AN ADDITIONAL COST. I.IO PLANTING SEASONS RED OAK, WHITE OAK, WILLOW OAK, SCARLET OAKS, DOGWOOD, SWEET GUM, CONIFERS, AND BROAD LEAF EVERGREENS WILL NOT BE PLANTED BETWEEN NOVEMBER 15 AND MARCH I, UNLESS THE LANDSCAPE

CONTRACTOR STATES IN WRITING THAT HE/SHE WILL GUARANTEE PLANTS. LIL INSPECTIONS AND ACCEPTANCE A. INITIAL INSPECTION: PRIOR TO PLANTING, ALL PLANT LOCATIONS SHALL BE STAKED IN THE FIELD BY THE CONTRACTOR. THE LANDSCAPE ARCHITECT SHALL BE CONTACTED TO INSPECT AND APPROVE ALL PLANT

FINAL ACCEPTANCE INSPECTION: A VERIFICATION OF PERFORMANCE FOR WORK BY CONTRACT DOCUMENTS, O BE CONDUCTED BY THE LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE ON-SITE AND IN THE PRESENCE OF THE LANDSCAPE CONTRACTOR FOR THE PURPOSE OF ACCEPTANCE. FINAL WARRANTY INSPECTION: THE L'ANDSCAPE CONTRACTOR SHALL CONDUCT A FINAL INSPECTION WITH THE

OWNER OR OWNER'S REPRESENTATIVE AT THE END OF THE ONE YEAR PERIOD. THE STANDARD WARRANTY IS FOR ONE (I) YEAR PERIOD, EXCLUDING BULBS AND ANNUALS, COMMENCING ON

THE DATE OF INITIAL ACCEPTANCE. ALL PLANTS SHALL BE ALIVE AND IN SATISFACTORY GROWTH AT THE END OF THE GUARANTEE PERIOD. ANY MATERIAL THAT IS 25% DEAD OR MORE SHALL BE CONSIDERED DEAD AND MUST BE REPLACED AT NO CHARGE. A TREE SHALL BE CONSIDERED DEAD WHEN THE MAIN LEADER HAS DIED BACK, OR 25% OF THE

PERENNIALS SHALL BE GUARANTEED FOR ONE YEAR AFTER INITIAL ACCEPTANCE.

### 2.0 PLANT MATERIALS

THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR FURNISHING AND INSTALLING ALL PLANT MATERIAL SHOWN ON THE DRAWINGS AND PLANT LIST

PLANTS SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE OWNER OR OWNER'S REPRESENTATIVE AT THE PLACE OF GROWTH (BEFORE DIGGING - TREES) OR HOLDING YARD (SHRUBS) FOR CONFORMITY TO SPECIFICATION REQUIREMENTS AS TO QUALITY, SIZE, AND VARIETY

3.0 PRODUCTS

3.1 QUALITY ASSURANCE MANUFACTURER'S CERTIFIED ANALYSIS SHALL ACCOMPANY PACKAGED STANDARD PRODUCTS.

3.2 ORGANIC MATTER PEAT MOSS - TYPE I SPHAGNUM PEAT MOSS; FINELY DIVIDED WITH A PH OF 3.1 TO 5.0. SEDGE PEAT - DECOMPOSES PEAT CONTAINING NO IDENTIFIABLE FIBERS.

LEAF COMPOST - THAT IS SCREENED AND FREE TO TRASH. COMPOSTED SEWAGE SLUDGE - APPROVED, SCREENED, POLYMER-DEWATERED SEWAGE SLUDGE WITH A PH OF

A. IT SHALL BE FREE OF STONES, LÜMPS, PLANTS, ROOTS AND OTHER DEBRIS OVER 15". TOPSOIL MUST ALSO BE FREE OF PLANTS OR PLANT PARTS OF BERMUDAGRASS, QUACKGRASS, JOHNSONGRASS, MUGMORT, NUTSEDGE, POISON IVY, CANADIAN THISTLE OR OTHERS AS SPECIFIED. IT SHALL NOT CONTAIN TOXIC SUBSTANCES HARMFUL TO PLANT GROWTH, I.E. PESTICIDE RESIDUES.

3.4 BACKFILL MIXTURE: A. BACKFILL MIXTURE FOR TREES AND SHRUBS SHALL BE 3/4 EXISTING SOIL MIXED WITH I/4 ORGANIC MATERIAL, PLUS GRANULAR FERTILIZER.

A. MATERIAL SHALL BE COMPOSTED, SHREDDED HARDWOOD BARK, WITH LESS THAN 10% SAPWOOD, DARK BROWN IN COLOR, OR APPROVED EQUA B. MATERIAL SHALL BE UNIFORM IN SIZE AND FREE OF FOREIGN MATTER.

4.0 PLANTING PROCEDURE FOR TREES

4.1 TREE PLANTING: A. WALL OF TREE PIT SHALL BE DUG SO THAT THEY ARE VERTICAL OR SLOPING OUTWARD IN HEAVY SOILS, BE THE TREE PIT MUST BE A MINIMUM OF 9" LARGER ON EVERY SIDE THAN THE BALL OF THE TREE

PLACE THE TREE IN THE PIT CARRYING THE BALL AND THEN LOWERING IT INTO THE PIT. NEVER LIFT THE TREE SET THE TREE STRAIGHT AND IN THE CENTER OF THE PIT WITH THE MOST DESIRABLE SIDE FACING TOWARD THE PROMINENT VIEW.

BACKFILL TREE PIT WITH A SOIL MIXTURE STATED IN THE SPECIFICATIONS.

CUT AND REMOVE ROPE OR WIRE OFF THE TOP 50% OF ROOTBALL AND PULL BURLAP BACK TO THE EDGE OF THE BALL. REMOVE AS MUCH BURLAP, WOVEN PRODUCTS AND TWINE AS POSSIBLE. ALL PLASTIC OR SYNTHETIC FILM MUST BE REMOVED FROM THE ROOTBALL. CUT ALL TWINE AWAY FROM TRUNK.

G. FORM A SAUCER ABOVE EXISTING GRADE, AROUND THE OUTER RIM OF THE TREE PIT, ESPECIALLY ON SLOPES MULCH TOP OF ROOT BALL AND SAUCER TO A MINIMUM DEPTH OF 2", NOT TO EXCEED 3". DO NOT PLACE

WATER THOROUGHLY ON THE INTERIOR OF THE TREE SAUCER UNTIL IT IS FILLED, EVEN IF IT IS RAINING. A SECOND WATERING MAY BE NECESSARY TO INSURE SATURATION OF THE ROOT BALL AND ELIMINATION OF

PRUNING SHOULD BE RESTRICTED TO CORRECTIVE PRUNING TO IMPROVE FORM ONLY.

K. STAKE TREE PER PLANTING DETAIL 5.0 PLANTING PROCEDURES FOR SHRUBS

DATE

A. FOR A SINGLE SHRUB, THE PIT SHALL BE DUG I' WIDER THAN THE ROOTBALL AND DEEP ENOUGH TO ALLOW 1/8TH OF THE ROOTBALL TO SET ABOVE EXISTING GRADE. (SINGLE SHRUB PLANTINGS ONLY IF NOTED ON

B. FOR A SHRUB MASS PLANTING, THE ENTIRE BED AREA SHALL BE TILLED 4-6" DEEP. TILLING SHOULD ONLY BE DONE IN DRY SOIL TO AVOID COMPACTION. IF THE SOIL IS HEAVY IN CLAY AND SILT, ORGANIC MATERIAL SHOULD BE ADDED. EACH SHRUB PIT SHALL BE EXCAVATED FOR THE PROPER SETTING OF THE

C. PLACE THE SHRUB IN THE PIT BY LIFTING AND CARRYING IT BY THE ROOTBALL. REMOVE CONTAINERS FROM ALL CONTAINER-GROWN SHRUBS; SLASH THE EDGES OF THE ROOTBALL FROM TOP TO BOTTOM, AT

SET THE SHRUB AND IN THE CENTER OF THE PIT WITH THE MOST DESIRABLE SIDE FACING TOWARD THE PROMINENT VIEW. CUT AND REMOVE ROPE OR WIRE OFF THE TOP 50 % OF ROOTBALL AND PULL BURLAP BACK TO THE EDGE OF THE BALL. REMOVE AS MUCH BURLAP, WOVEN PRODUCTS AND TWINE AS POSSIBLE. ALL PLASTIC OR SYNTHETIC FILM MUST BE REMOVED FROM THE ROOTBALL. CUT ALL TWINE AWAY FROM TRUNK.

FORM A SAUCER ABOVE THE EXISTING GRADE AND COMPLETELY AROUND THE PLANTING PIT. MULCH TOP OF ROOTBALL AND SAUCER A MAXIMUM DEPTH OF 2". WATER SHRUB MASS THOROUGHLY EVEN IF IT IS RAINING, A SECOND WATERING MAY BE NECESSARY TO INSURE SATURATION OF THE ROOT BALL AND ELIMINATION OF AIR POCKETS.

6.0 PLANTING PROCEDURES FOR GROUND COVER, PERENNIALS AND ANNUALS

6.1 PLANTING GROUND COVER, PERENNIAL AND ANNUAL BEDS A. THE PLANTING BED SHALL BE LOOSENED WHEN THE SOIL IS DRY PRIOR TO PLANTING BY TILLING. SOIL ORGANIC MATTER SHALL BE SPREAD OVER THE BED TO A DEPTH OF 2" FOR PEAT MOSS OF I" DEEP FOR

COMPOST, I.E. NOT TO EXCEED 4 CUBIC YARDS OF COMPOST/1000 SQUARE FEET, AFTER THE SOIL HAS BEEN LOOSENED. THE ORGANIC MATTER SHALL BE WORKED INTO THE BED BY TILLING. FERTILIZER SHALL BE TOP-DRESSED OVER BED AREA THE PLANT, EITHER POTTED OR BARE ROOT, SHALL BE INSTALLED SO THAT THE ROOTS ARE SURROUNDED BY SOIL BELOW THE MULCH. POTTED PLANTS SHALL BE SET SO THAT THE TOP OF THE POT IS EVEN WITH

THE EXISTING GRADE. THE ROOTS OF BARE ROOT PLANTS SHALL BE COVERED TO THE CROWN. SPACING OF PLANTS SHALL BE INSTALLED AS NOTED ON THE LANDSCAPE PLAN. THE ENTIRE BED SHALL BE MULCHED TO A MINIMUM DEPTH OF I", 2" MAXIMUM, WITH APPROVED MULCH. 5. THE ENTIRE PLANTING BED SHALL BE THOROUGHLY WATERED.

REVISION

PARKING AREA LOADING LOCATION / USE SITUATION SIDES & REAR OF (dumpster) STORE BLDG. SHRUB PER 4 LF OF LANDSCAPE BUFFER TYPE TYPE-E TYPE-D BLDG LENGTH LINEAR FEET OF ROADWAY, 199 LF (73' rear PERIMETER FRONTAGE/BLDG. + 2 × 63' sides) CREDIT FOR EX. VEGETATION (YES, NO: NONE LINEAR FEET; DESCRIBE BELOW IF NEEDED) CREDIT FOR WALL, FENCE OR BERM NONE ower than th l by at least (YES, NO; LINEAR FEET; DESCRIBE (leaving 2 eavired BELOW IF NEEDED) shrub planting) SEE SDP-08-056 NUMBER OF PLANTS REQUIRED SHADE TREES 17 (for 658' at 1: N/A N/A EVERGREEN TREES N/A ORNAMENTALS 64 (for 254) 50 SHRUBS NUMBER OF PLANTS PROVIDED SHADE TREES N/A EVERGREEN TREES N/Α ORNAMENTALS SHRUBS 50 the evergreen trees SUBSTITUTIONS MADE for I shade tree LANDSCAPE SURETY REQUIRED FOR SCHEDULE-A: PLANTING PER THE MI 0 x \$300 = SCHEDULE 'A' NUMBER OF SHADE TREES FOR BONDING 0.00 - LANDSCAPE DESIGN SCHEDULE 'A' NUMBER OF EVERGREEN TREES FOR BONDING: 0 x \$ 150 = 0.00 CRITERIA (PART-F) 50 x \$ 30 = SCHEDULE 'A' NUMBER OF SHRUBS FOR BONDING: 1,500.00

SCHEDULE-A: PERIMETER LANDSCAPE EDGE

PROJECT PERIMETER ADJACENT TO ROADWAY

(MD RTE. 216)

CATEGORY

SCHEDULE 'A' NUMBER OF ORNAMENTAL TREES FOR BONDING

\* SEE SHEET 2 FOR BUILDING DIMENSIONS

(REAR & SIDES) /

SCHEDULE B PARKI	NG LOT INTERNAL LANDSCAPING
NUMBER OF PARKING SPACES	36 "NEW" SURFACE PARKING SPACES *
NUMBER OF TREES REQUIRED	2 (I SHADE TREE PER 20 PARKING SPACES)
NUMBER OF TREES PROVIDED	
SHADE TREES	2
OTHER TREES (2:1 substitution)	N/A

0 x \$ 150 =

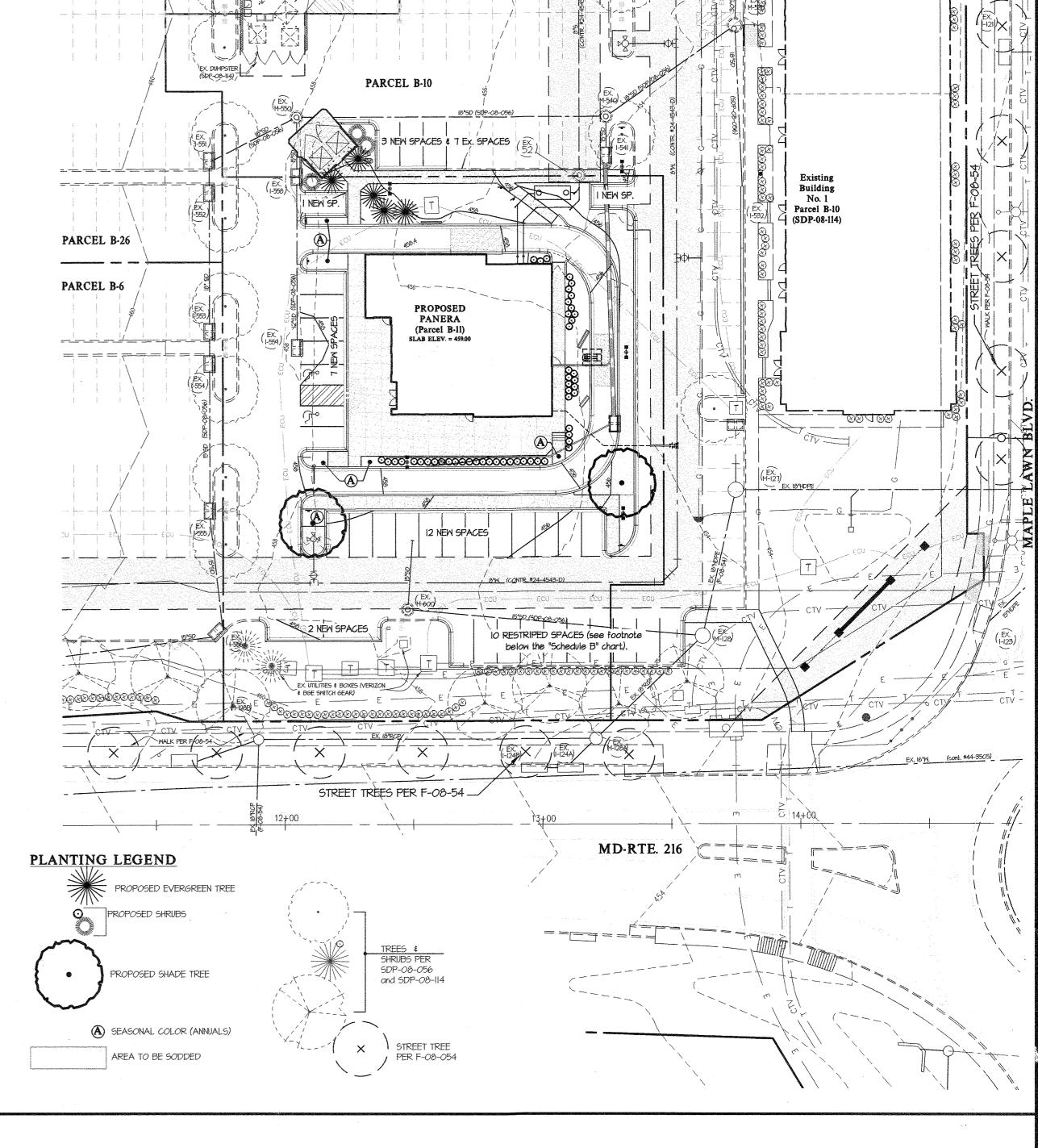
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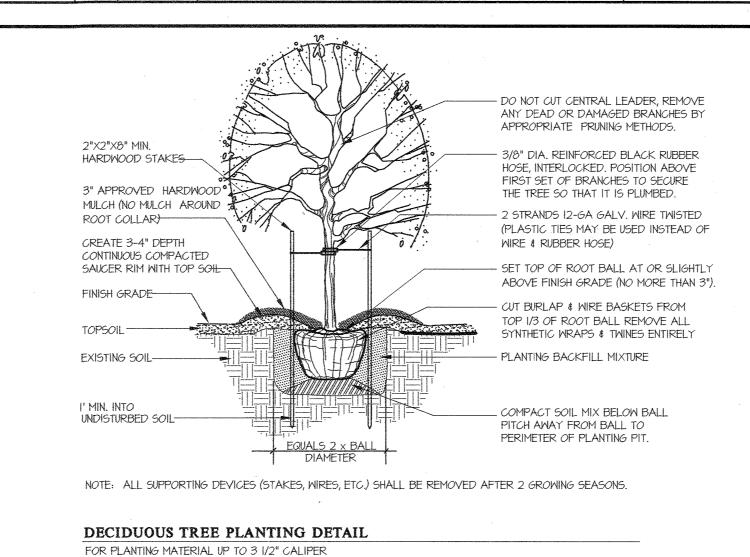
\$1,500.00

\*THE 36 "NEW!" PARKING SPACES (30 on Parcel B-II + 6 on Parcel B-IO) INCLUDES THE IO RESTRIPED HEAD-IN PARKING SPACES THAT STRADDLE PARCELS B-IO & B-II ON THE SOUTH SIDE. THAT ROW OF IO EXISTING PARKING SPACES (Built under SDP-08-056) IS TO BE SHIFTED APPROX. 5' WESTERLY UNDER THIS SDP TO ACCOMMODATE A DIRECT SIDEWALK CONNECTION TO THE ONE ALONG MD RTE-216. THE NET NEW PARKING SPACES ADDED IS ACTUALLY 26 (36 less the 10 restriped spaces)

TOTAL LANDSCAPE SURETY FOR SCHEDULE-A

	PLANT LIST						
SYMBOL	QUANT.	SIZE	NAME (BOTANICAL/COMMON) OF PLANTS FOR SELECTION BY OWNER/BUYER	COMMENTS			
SHADE TREE	2	25" - 3" CAL.	CHOOSE FROM THE FOLLOWING: ACER RUBRUM 'OCTOBER GLORY'/ OCTOBER GLORY RED MAPLE QUERCUS PALUSTRIS / PIN OAK ZELKOVA SERRATA 'VILLAGE GREEN' / VILLAGE GREEN ZELKOVA	ALL B∉B			
EVERGREEN	5	8' HT. MIN.	ILEX X 'NELLIE R. STEVENS' / NELLIE STEVENS HOLLY	B&B, INTACT LEADER			
SHRUB (evergreen)	3	36" HT. MIN.	VIBURNUM RHYTIDOPHYLLUM / LEATHERLEAF VIBURNUM or VIBURNUM X PRAGENSE / PRAGUE VIBURNUM or VIBURNUM AWABUKI 'CHINDO' / CHINDO SWEET VIBURNUM	ALL CONTAINERIZED.			
SHRUB	50	ALL 24"-30" SPREAD	CHOOSE FROM THE FOLLOWING: MAHONIA AQUIFOLIUM / OREGON GRAPE HOLLY ILEX CRENATA 'HELLEI' / DWARF JAPANESE HOLLY ILEX GLABRA 'COMPACTA' / DWARF INKBERRY CARYOPTERIS X CLANDONENGIS / BLUEBEARD ABELIA X 'ROSE CREEK'/ ROSE CREEK ABEILA ABELIA X GRANDIFLORA/ GLOSSY ABELIA DEUTZIA GRACILIS/ SLENDER DEUTIZIA DWARF FEMALE JAPANESE SKIMMIA / DWARF FEMALE JAPANESE SKIMMIA BUXUS MICROPHYLA 'WINTER GEM' / WINTER GEM BOXWOOD	ALL CONTAINERIZED.			





PREPARED FOR:

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REMOVE ONLY DEAD BRANCHES DAMAGED BRANCHES MAY BE TRIMMED USING APPROPRIATE 2"x2"x8" MIN. PRUNING METHODS. DO NOT CUT THE HARDWOOD STAKES -LEADER. 2 INTERLOCKING PLASTIC 3" APPROVED HARDWOOD TIES TO SECURE THE TREE SO MULCH (NO MULCH AROUND THAT IT IS PLUMBED. ROOT COLLAR) SET TOP OF ROOT BALL AT OR CREATE 3-4" DEPTH SLIGHTLY ABOVE FINISH GRADE CONTINUOUS COMPACTED (ROOT COLLAR MUST BE SAUCER RIM WITH TOP SOIL EXPOSED) FINISH GRADE TOPSOIL-CUT BURLAP & WIRE BASKETS FROM TOP 1/3 OF ROOT BALL REMOVE ALL SYNTHETIC WRAPS EXISTING SOIL -**& TWINES ENTIRELY** UNDISTURBED SOIL PLANTING BACKFILL MIXTURE EQUALS 2 x BALL DIAMETER NOTE: ALL SUPPORTING DEVICES (STAKES, TIES, ETC.) SHALL BE REMOVED AFTER 2 GROWING SEASONS. EVERGREEN TREE PLANTING DETAIL

ET ROOT BALL AT OR SLIGHTLY ABOVE FINISH GRADE. CONTAINERS TO BE REMOV PRIOR TO PLANTING SCARIFY ROOT ET TO STIMULATE GROWTH. 3" MULCH - AS SPECIFIED-MOUNDED EARTH SAUCER-(FOR ISOLATED PLANTING SITUATION) PLANTING BACKFILL MIXTURE SCARIFY SOIL BELOW ROOTBALL EXISTING SOIL-SHRUB PLANTING DETAIL

THIS PLAN IS FOR PLANTING PURPOSES ONLY	
LANDSCAPE PLAN	SCALE
MAPLE LAWN FARMS	1" = 30'
WESTSIDE DISTRICT - AREA 1	

G. L. W. FILE No. Parcel B-il SHEET TAX MAP - GRID (Restaurants) OF PLAT Nos. 19902 - 19903 LECTION DISTRICT No. 5 HOWARD COUNTY, MARYLAND

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