

SHEET INDEX	
SHEET No.	DESCRIPTION
1	TITLE SHEET
2	BUILDING FOOTPRINT & ELEVATIONS
3	SITE PLAN
4	GRADING AND SEDIMENT CONTROL PLAN
5	SEDIMENT & EROSION CONTROL NOTES AND DETAILS
6	SEDIMENT & EROSION CONTROL NOTES, DETAILS & SITE SECTIONS
7	LANDSCAPE PLAN
8	LANDSCAPE & SITE DETAILS
9	STORM DRAIN/SWMP DRAINAGE AREA MAP & SOILS MAP
10	STORM DRAIN PROFILES
11	STORMWATER MANAGEMENT NOTES, & DETAILS
12	STORMWATER MANAGEMENT PLAN VIEWS
13	HANDICAP DETAILS
14	PRIVATE WATER & SEWER PLAN & PROFILES
15	SITE DETAILS
16	RETAINING WALL PLAN VIEW & SPECIFICATIONS
17	RETAINING WALL ELEVATION PROFILES
18	RETAINING WALL ELEVATION PROFILES
19	SOIL BORING LOGS
20	ROOFLEADER PLAN

Site Development Plan

Mission Place

(Children's Lighthouse Daycare)

Parcel 'B'

Mission Place, Parcel 'B' (Plat Nos. 19854-19858)
Tax Map No. 43 Grid No. 14 Parcel No. 214
Zoning: CAC-CLI

GENERAL NOTES

- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF HOWARD COUNTY PLUS H&M STANDARDS AND SPECIFICATIONS IF APPLICABLE.
- THE CONTRACTOR SHALL NOTIFY THE DEPARTMENT OF PUBLIC WORKS / BUREAU OF ENGINEERING / CONSTRUCTION INSPECTION DIVISION AT 410-313-1880 AT LEAST (5) WORKING DAYS PRIOR TO THE START OF WORK.
- THE CONTRACTOR SHALL NOTIFY "M&S UTILITY" AT 1-800-257-7777 AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION WORK BEING DONE.
- THIS SUBMISSION IS SUBJECT TO THE AMENDED FIFTH EDITION OF THE SUBDIVISION AND LAND DEVELOPMENT REGULATIONS AND THE 10-06-13 ZONING REGULATIONS PER COUNCIL BILL NO. 32-2013. DEVELOPMENT OR CONSTRUCTION ON THESE LOTS OR PARCELS MUST COMPLY WITH SETBACKS AND BUFFER REGULATIONS IN EFFECT AT THE TIME OF SUBMISSION OF A BUILDING OR GRADING PERMIT APPLICATION.
- COORDINATES BASED ON NAD83 MARYLAND COORDINATE SYSTEM AS PROJECTED BY HOWARD COUNTY GEODETIC CONTROL STATIONS Nos. BM#1 HOWARD COUNTY CONTROL STATION #43EB - HORIZONTAL - NAD '83) N 545,963.613 E 1,371,573.894 ELEVATION = 216.312 - VERTICAL - (NAVD '88)
- PARCEL 'B' ZONED CAC-CLI PER 10/06/13 COMPREHENSIVE ZONING PLAN.
- BACKGROUND INFORMATION:
 - SUBMISSION NAME: MISSION PLACE
 - TAX MAP No.: 43
 - PARCEL No.: 214
 - ZONING: CAC-CLI
 - ELECTION DISTRICT: 6th
 - PROPOSED USE: CHILD DAYCARE CENTER
 - GROSS AREA OF THIS SUBMISSION = 1.960 ACRES (PARCEL 'B')
 - NUMBER OF PARCELS: 1
 - NUMBER OF OPEN SPACE LOTS = 0
 - GROSS BUILDING FLOOR AREA: 12,518 SQ.FT.
 - AREA OF PARCELS: 1.960 ACRES
 - AMENITY AREA REQUIRED AND PROVIDED = 50P 07-101 PROVIDED FOR A TOTAL OF 66,570 SQ.FT. THE TOTAL AMENITY AREA REQUIRED FOR "MISSION PLACE" IS 72,160 SQ.FT. THE REMAINING AMENITY REQUIRED FOR PARCEL 'B' IS 5,990 SQ.FT. PROVIDED FOR PARCEL 'B' IS 6,420 SQ.FT. THE TOTAL PROVIDED AMENITY AREA IS 73,070 SQ.FT.
 - AREA OF PUBLIC ROADWAY TO BE DEDICATED: 0.00 ACRES
 - PREVIOUS FILE NUMBERS: SP-06-018, SGP-07-111, SGP-07-113, F-07-156, ECP-19-072, SGP-07-064
 - AREA OF EXISTING FLOODPLAIN = 0.00 AC.
 - AREA OF 25% OR GREATER SLOPES = 0.00 AC.
- ALL FILL AREAS WITHIN ROADWAYS AND UNDER STRUCTURES SHALL BE COMPACTED TO A MINIMUM OF 95% COMPACTION OF AASHTO T-100.
- A NOISE STUDY IS NOT APPLICABLE. HOWEVER, THE EXISTING 65 DBA LINE WAS TAKEN OFF OF THE MISSION PLACE SGP. OUR PLANS SHOW A PRIVACY FENCE TO PROVIDE A MEANS OF PROVIDING SOME SORT OF NOISE REDUCTION. A DETAIL OF THE FENCE IS SHOWN ON SHEET 3.
- A TRAFFIC STUDY WAS PREPARED BY M&S GROUP DATED SEPTEMBER 2019.
- EXISTING UTILITIES ARE BASED ON HOWARD COUNTY APPROVED PLANS - F-07-156, CONTR. No. 24-4360-D, CONTR. No. 20-4068-D AND FIELD RUN SURVEY BY FISHER, COLLINS & CARTER, INC. ON OR ABOUT JULY, 2019. EXISTING WATER IS PUBLIC. CONTRACT No. 24-4402-D). EXISTING SEWER IS PUBLIC. CONTRACT No. 20-4402-D).
- SOILS INFORMATION TAKEN FROM SOIL MAP NO. 30, SOIL SURVEY, HOWARD COUNTY, MARYLAND, JULY, 1968 ISSUE. THE SOILS INVESTIGATION REPORT WAS PREPARED BY HILLS GARNES ON OR ABOUT 12/12/19.
- BOUNDARY OUTLINE BASED ON FIELD RUN SURVEY PERFORMED BY FISHER COLLINS AND CARTER, INC. ON OR ABOUT AUGUST 2019.
- TOPOGRAPHIC CONTOURS BASED ON FIELD RUN TOPOGRAPHY PREPARED BY FISHER, COLLINS AND CARTER, INC. ON OR ABOUT AUGUST, 2019.
- STORMWATER MANAGEMENT WILL BE PROVIDED IN ACCORDANCE WITH THE 2007 H&M, CHAPTER 5 REGULATIONS AND THE LATEST HOWARD COUNTY DESIGN MANUAL, VOL. 1, CHAPTER 5 ADOPTED ON OR ABOUT MAY 4, 2010. RECHARGE VOLUME WILL BE PROVIDED THROUGH THE USE OF A STONE RESERVOIR. WATER QUALITY AND CHANNEL PROTECTION VOLUME WILL BE PROVIDED BY MICRO BIO-RETENTION FACILITIES. OVERBANK FLOOD PROTECTION VOLUME AND EXTREME FLOOD VOLUMES ARE NOT REQUIRED FOR THIS SITE. ALL STONE RESERVOIR & MICRO BIO-RETENTION STORMWATER MANAGEMENT FACILITIES WILL BE PRIVATELY OWNED AND MAINTAINED BY THE HOA, OR A COMMERCIAL ASSOCIATION. THE STREET TREES, PERFORATED UNDERDRAINS, PLANTERS AND SHADES WILL BE PRIVATELY OWNED AND MAINTAINED BY THE COMMERCIAL ASSOCIATION. HOWARD COUNTY WILL MAINTAIN ANY INLET STRUCTURES WITHIN THE MICRO BIO-RETENTION FACILITIES ADJACENT TO THE RIGHT-OF-WAY.
- THERE ARE NO SPECIFIC TREES OR FOREST/FOREST CONSERVATION EASEMENTS ON PARCEL 'B'.
- THIS SITE IS LISTED IN THE HOWARD COUNTY HISTORIC SITES INVENTORY AS HO-827. A LOG CABIN STRUCTURE ONCE EXISTED ON THE PROPERTY. IT WAS APPROVED FOR REMOVAL BY THE HISTORIC PRESERVATION COMMISSION ON THEIR MAY 3, 2007 MEETING IN ACCORDANCE WITH SGP-07-113.
- NO CEMETERIES OR HISTORIC STRUCTURES EXIST WITHIN THIS PARCEL 'B'.
- STREET LIGHT PLACEMENT AND THE TYPE OF FIXTURES AND POLES SHALL BE IN ACCORDANCE WITH THE HOWARD COUNTY DESIGN MANUAL, VOLUME III (2006), SECTION 5.5.A. A MINIMUM SPACING OF 50' SHALL BE MAINTAINED BETWEEN ANY STREET LIGHT AND ANY STREET TREE.
- TRAFFIC CONTROL DEVICES:
 - THE R-1-1 (STOP) SIGNS AND THE STREET NAME SIGN (SNS) ASSEMBLIES FOR THIS DEVELOPMENT MUST BE INSTALLED BEFORE THE BASE PAVING IS COMPLETED.
 - THE TRAFFIC CONTROL DEVICES (SIGNS & PAVING MARKINGS) SHOWN ON THE PLANS ARE APPROPRIATE AND MUST BE FIELD APPROVED BY THE HOWARD COUNTY TRAFFIC DIVISION (410-313-5702) PRIOR TO THE INSTALLATION OF ANY OF THESE TRAFFIC CONTROL DEVICES.
 - ALL TRAFFIC CONTROL DEVICES AND THEIR LOCATIONS SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE "MARYLAND MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" (MUTCD).
 - ALL SIGN POSTS (SIGNS FOR TRAFFIC CONTROL SIGNS INSTALLED ON THE COUNTY RIGHT-OF-WAY SHALL BE MOUNTED ON A 2" GALVANIZED STEEL, PERFORATED, SQUARE TUBE POST (14 GAUGE) INSERTED INTO A 2-1/2" GALVANIZED STEEL, PERFORATED, SQUARE TUBE SLEEVE (12 GAUGE) - 3' LONG. A GALVANIZED STEEL POLE CAP SHALL BE MOUNTED ON TOP OF EACH POST.
- THERE ARE NO AREAS OF STEEP SLOPES LOCATED ON THIS PROPERTY AS DEFINED BY THE HOWARD COUNTY SUBDIVISION AND LAND DEVELOPMENT REGULATIONS, SECTION 16.116.b.
- THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE PROVISIONS OF SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL, FINANCIAL SURETY FOR THE "REQUIRED" LANDSCAPING TREES (1" SHADE, 20 EVERGREEN & 62 SHADERS) SHALL BE POSTED AS PART OF THE DEVELOPER'S AGREEMENT IN THE AMOUNT OF \$39,000.
- ALL PLAN DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
- TRASH PICK-UP WILL BE CONDUCTED IN OFF HOURS AT NIGHT OR EARLY IN THE MORNING. A DUMPSTER ENCLOSURE HAS BEEN PROVIDED ON THE PLAN (SEE DETAILS, SHEET 15).
- A FIRE DEPARTMENT CONNECTION FOR FIRE PROTECTION SYSTEMS SHALL BE LOCATED: (A) ON THE SIDE OF THE STRUCTURE DISPLAYING THE ADDRESS CLEARLY VISIBLE TO THE RESPONDING UNITS; (B) WITHIN 100 FT. OF A FIRE HYDRANT; (C) THE APPROPRIATE SIGN SHALL BE MOUNTED ON THE BUILDING WALL BETWEEN 6 AND 12 FEET ABOVE THE FIRE DEPARTMENT CONNECTION; (D) A FIRE-RESISTING FIRE DEPARTMENT CONNECTION SHALL HAVE THE SIGN MOUNTED ON A POLE DIRECTLY BEHIND THE CONNECTION APPROXIMATELY 3 FEET HIGH; (E) SIGNS SHALL HAVE A WHITE REFLECTIVE BACKGROUND WITH A RED REFLECTIVE BORDER, RED REFLECTIVE LETTERS AND A RED REFLECTIVE ARROW. THE SIGNS SHALL HAVE A 3/8" STROKE. THE LETTERS SHALL BE 6" HIGH WITH A 1" STROKE. THE ARROW SHALL HAVE A STROKE NOT LESS THAN 2". THE OVERALL SIGN MEASUREMENTS SHALL BE 12" BY 18" (18" BY 12" IF ANY OBSTRUCTION OR CONDITION THAT DETERS OR HINDERS ACCESS TO A FDC IS PROHIBITED. A MINIMUM CLEAR SPACE OF 15 FEET (7.5 FEET ON ALL SIDES) SHALL BE MAINTAINED.
- KNOX BOXES SHALL BE LOCATED WITHIN 6' TO THE RIGHT OF THE MAIN ENTRANCE AT A RANGE OF 4'-5' IN HEIGHT. THE CONTRACTOR SHOULD CONTACT THE OFFICE OF THE FIRE MARSHAL PRIOR TO PURCHASING AND INSTALLING KNOX BOXES TO DETERMINE THE NUMBER AS WELL AS THE LOCATIONS) WHERE THEY ARE TO BE MOUNTED.
- THIS PROJECT IS NOT LOCATED ADJACENT TO ANY SCENIC ROADWAYS.
- THERE ARE NO WETLANDS AND/OR WETLAND BUFFERS LOCATED ON PARCEL 'B'.
- NO GRADING, REMOVAL OF VEGETATIVE COVER OR TREES, PAVING AND NEW STRUCTURES SHALL BE PERMITTED WITHIN THE REQUIRED WETLANDS, STREAMS) OR THEIR BUFFERS, FOREST CONSERVATION EASEMENT AREAS AND 100 YEAR FLOODPLAIN. FOREST CONSERVATION OBLIGATIONS WERE PREVIOUSLY ADDRESSED FOR PARCELS 'A', 'B' & 'C' OF "MISSION PLACE" WITH THE FINAL PLAN, F-07-156.
- THE FOREST CONSERVATION OBLIGATIONS FOR THIS PROJECT WAS PREVIOUSLY ADDRESSED ON THE "MISSION PLACE SGP-07-113" AS SHOWN ON SHEET 1. GENERAL NOTE #36.
- A COMMUNITY MEETING WAS HELD ON MAY 28, 2019 AT 6:00 P.M. THE MEETING WAS HELD AT THE ELKIDGE BRANCH LIBRARY - BELMONT MEETING ROOM. THERE WERE NO MEMBERS OF THE COMMUNITY THAT ATTENDED THIS MEETING.
- A SECOND COMMUNITY MEETING WAS HELD ON JULY 12, 2019 AT 6:00 P.M. THE MEETING WAS HELD AT THE ELKIDGE BRANCH LIBRARY - BELMONT MEETING ROOM. THERE WERE NO MEMBERS OF THE COMMUNITY THAT ATTENDED THIS MEETING.
- HEALTH DEPARTMENT APPROVAL OF THIS SITE DEVELOPMENT PLAN (SDP) DOES NOT ENSURE APPROVAL OF BUILDING PERMIT APPLICATIONS ASSOCIATED WITH THIS PLAN. PERMIT PLANS FOR CERTAIN FACILITIES TO BE CONSTRUCTED WITHIN THE LIMITS DESCRIBED BY THIS SDP WILL REQUIRE REVIEW AND APPROVAL BY THE HEALTH DEPARTMENT. SUCH FACILITIES MAY INCLUDE, BUT ARE NOT LIMITED TO, THOSE WHICH HAVE SWIMMING POOLS, OR THAT SELL PREPARED OR PACKAGED FOODS, OR THAT SELL EQUIPMENT THAT REQUIRES BATTERIES.
- THE ROUTE 1 MANUAL DESCRIBES DESIGN REQUIREMENTS AND RECOMMENDATIONS FOR PROPERTIES IN THE ROUTE 1 CORRIDOR. BECAUSE THIS PROPERTY IS LOCATED IN THE ROUTE 1 CORRIDOR, THE DESIGN OF COMPREHENSIVE AND COMMUNITY PLANNING (CCCP) REVIEWED THIS PLAN FOR COMPLIANCE WITH THE ROUTE 1 MANUAL.
- THIS PROJECT WAS PRESENTED BEFORE THE DESIGN ADVISORY PANEL ON JUNE 12, 2019 IN ACCORDANCE WITH SECTION 16.156(b) OF THE SUBDIVISION AND LAND DEVELOPMENT REGULATIONS. IT IS SUBJECT TO THE FOLLOWING D.A.P. RECOMMENDATIONS:

PRIVATE LIGHT CHART			
LIGHT NO.	NORTHING	EASTING	TYPE
Light #1	544,915.51	1,370,552.62	COMPANY: AMERLUX LIGHTING WATTAGE: 50W VOLTAGE: 120 V POLE HEIGHT: 16 FT. DOWNLIGHT PENDANT-SMALL 10" LED LUMINAIRE
Light #2	544,849.67	1,370,563.29	
Light #3	544,830.12	1,370,627.75	
Light #4	544,763.26	1,370,621.13	
Light #5	544,703.26	1,370,721.29	
Light #6	544,788.08	1,370,687.50	
Light #7	544,832.22	1,370,655.10	
Light #8	544,913.33	1,370,682.70	
Light #9	544,929.45	1,370,777.22	

STREET SIGN CHART			
STREET NAME	LOCATION	POSTED SIGN	SIGN CODE
PARKING LOT	N 544,916.14 E 1,370,531.76	STOP	R1-1

STORMWATER MANAGEMENT PRACTICES								
AREA ID	PERMEABLE PAVING (Y/N)	DISCONNECTION OF ROOFTOP RUNOFF (Y/N)	DISCONNECTION OF NON-ROOFTOP RUNOFF (Y/N)	FILTERED INLETS (Y/N)	MICRO BIO-RETENTION M-6 (Y/N-Number)	BIO-RETENTION F-6 (Y/N)	SUBMERGED GRAVEL WETLAND M-2	RAINWATER HARVESTING M-1
BUILDING	NO	NO	NO	NO	YES - 1	NO	NO	NO
PARKING LOT	NO	NO	NO	NO	YES - 4	NO	NO	NO

AMENITY AREA TABULATION FOR MISSION PLACE		
PROPOSED AMENITY AREAS	AREA SQ.FT.	AMENITY USE
AMENITY AREA #1 (SDP-07-104)	18,800	TOT LOT, PLAYGROUND, PICNIC AREA
AMENITY AREA #2 (SDP-07-104)	11,240	BARBEQUE, PICNIC AREA
AMENITY AREA #3 (SDP-07-104)	18,490	BARBEQUE, PLAY AREA, PICNIC AREA
AMENITY AREA #4 (SDP-07-104)	15,080	POOL, PLAY AREA, PICNIC AREA
AMENITY AREA #5A (SDP-20-025)	3,180	SITTING AREA
AMENITY AREA #5B (SDP-20-025)	3,992	SITTING AREA
AMENITY AREA #6 (SDP-07-104)	2,160	PUBLIC GATHERING
TOTAL AMENITY PROVIDED	73,342	REQUIRED = 72,160 SQ.FT.

SEE SHEET 7 FOR LOCATIONS



VICINITY MAP
SCALE: 1" = 2000'

6th Election District

Howard County, Maryland

SITE ANALYSIS DATA CHART

- TOTAL AREA OF THIS SUBMISSION = 1.96 ac.±
- LIMIT OF DISTURBED AREA = 73,616 Sq.Ft. or 1.69 Ac.±
- PRESENT ZONING DESIGNATION = CAC-CLI (PER 10/06/13 COMPREHENSIVE ZONING PLAN)
- PROPOSED USE: DAYCARE CENTER
- OPEN SPACE ON SITE: N/A
- RECREATIONAL AREA PROVIDED: N/A
- BUILDING COVERAGE OF SITE: 12,518 SQ.FT. OR 0.287 AC.±
- PREVIOUS HOWARD COUNTY FILES: F-07-156
- TOTAL AREA OF EX. FLOODPLAIN LOCATED ON SITE: 0.00 AC.
- TOTAL AREA OF SLOPES IN EXCESS OF 15% = 0.00 AC.
- NET TRACT AREA = 1.96 AC.±
- (TOTAL SITE AREA - FLOODPLAIN - STEEP SLOPES AREA)
- TOTAL AREA OF WETLANDS (INCLUDING BUFFER) = 0.00 AC.±
- TOTAL AREA OF EC. FOREST (RETENTION) = 0.00 AC.±
- NAT. GREEN OPEN AREA = 0.00 AC.±
- TOTAL IMPERVIOUS AREA = 0.79 AC.±
- AREA OF ERODIBLE SOILS = 0.00 AC.±

PARKING SPACE TABULATION		
COMMERCIAL	PARKING REQUIRED	PARKING PROVIDED
DAYCARE: 12,518 SQ.FT. @ 3 SP. PER 1000	38 SP.	41 SP.

BENCHMARK INFORMATION

- BM#1 HOWARD COUNTY CONTROL STATION #43EB - HORIZONTAL - NAD '83)
 N 545,963.613
 E 1,371,573.894
 ELEVATION = 216.312 - VERTICAL - (NAVD '88)
- BM#2 HOWARD COUNTY CONTROL STATION #43GB - HORIZONTAL - (NAD '83)
 N 544,117.488
 E 1,370,550.920
 ELEVATION = 219.402 - VERTICAL - (NAVD '88)

STREET ADDRESS CHART	
Parcel No.	STREET ADDRESS
Parcel 'B'	8150 Mission Road

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

[Signature] 9/19/21
Chief, Division of Land Development Date

[Signature] 7/16/21
Chief, Development Engineering Division Date

[Signature] 9-9-21
Director, Department of Planning and Zoning Date

Approved For Public Water And Public Sewer Systems,
Howard County Health Department.

[Signature] 7/16/21
County Health Officer Date

OWNER AND DEVELOPER
 MILK & COOKIES, L.L.C.
 4992 WILD OLIVE COURT
 ELLICOTT CITY, MARYLAND 21042
 ATTN: MR. AASHISH PARIKH
 TEL. 443-677-5091

NO.		REVISION		DATE
Subdivision	Mission Place (Children's Lighthouse Daycare)	Section/Area	N/A	Parcel
Plat No.	#19854-#19858	Block No.	14	Zone
		Zone	CAC-CLI	Tax Map
			43	Elec. Dist.
			6th	Census Tr.
				601101

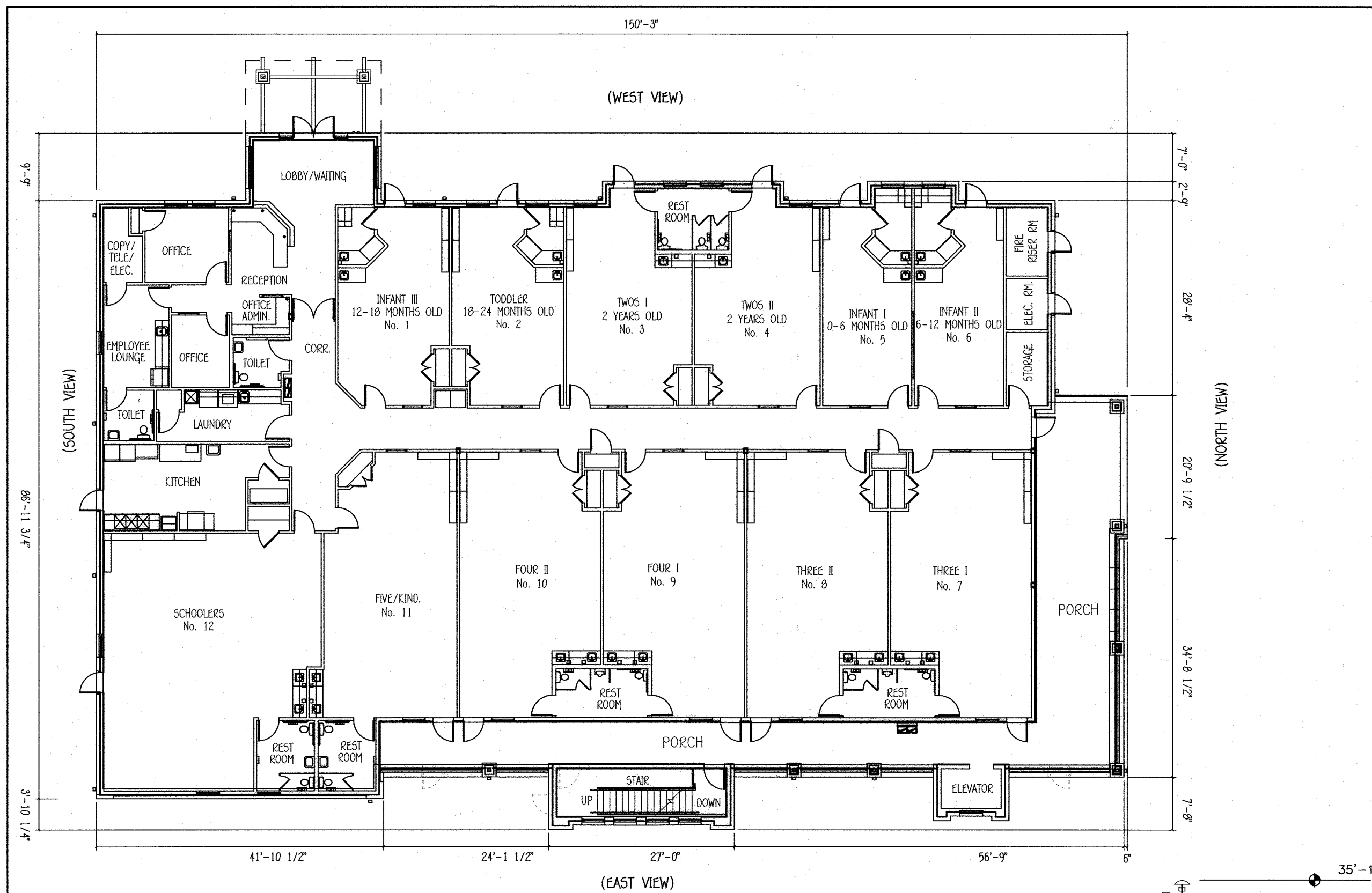
Title Sheet

Mission Place

(Children's Lighthouse Daycare)

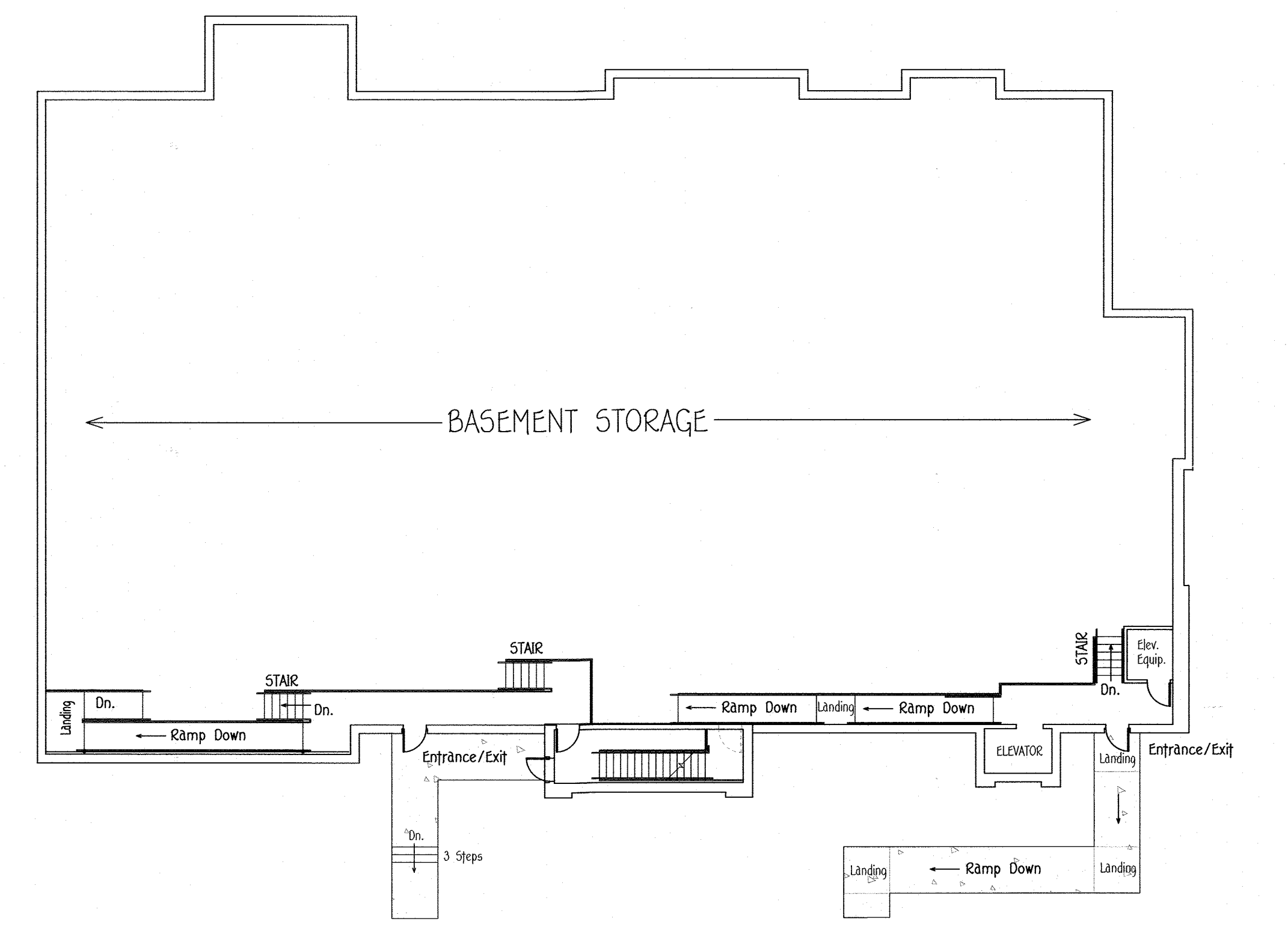
Parcel 'B'

Mission Place, Parcel 'B' (Plat Nos. 19854-19858)
 Zoned: CAC-CLI
 Tax Map: 43, Grid: 14, Parcel: 214
 Sixth Election District - Howard County, Maryland
 Date: June 23, 2021
 Scale: As Shown
 Sheet 1 of 20

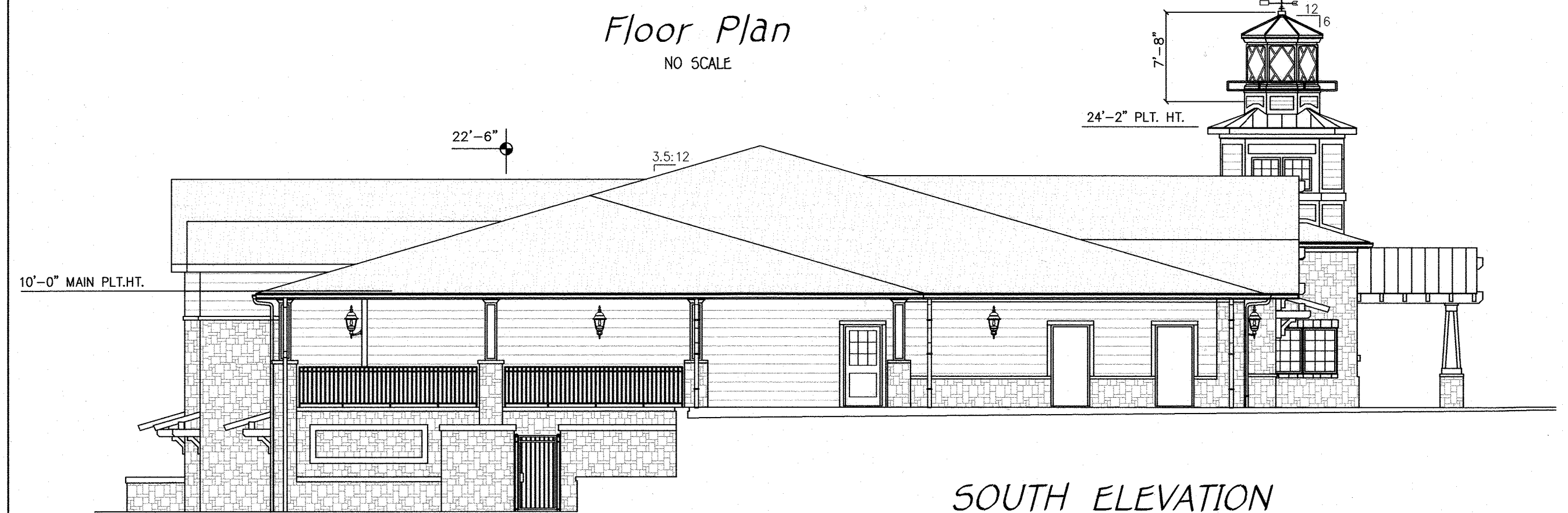


Floor Plan
NO SCALE

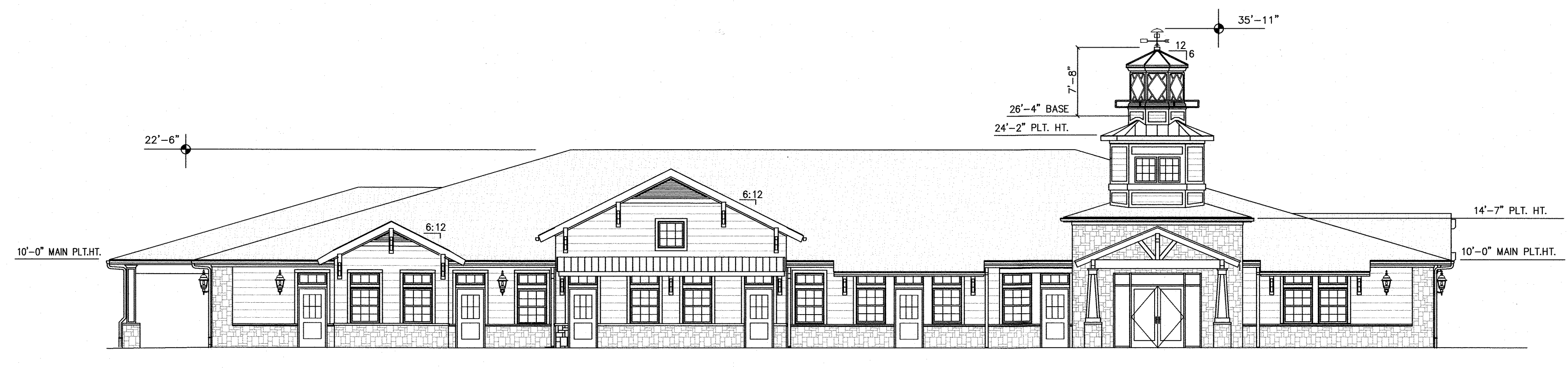
Note: Per the Howard County Zoning Regulations the minimum height is 25' high for a building. The maximum height is 55' high for a building. The height counting the top is 35'-11" for the proposed building.



Basement Floor Plan
NO SCALE



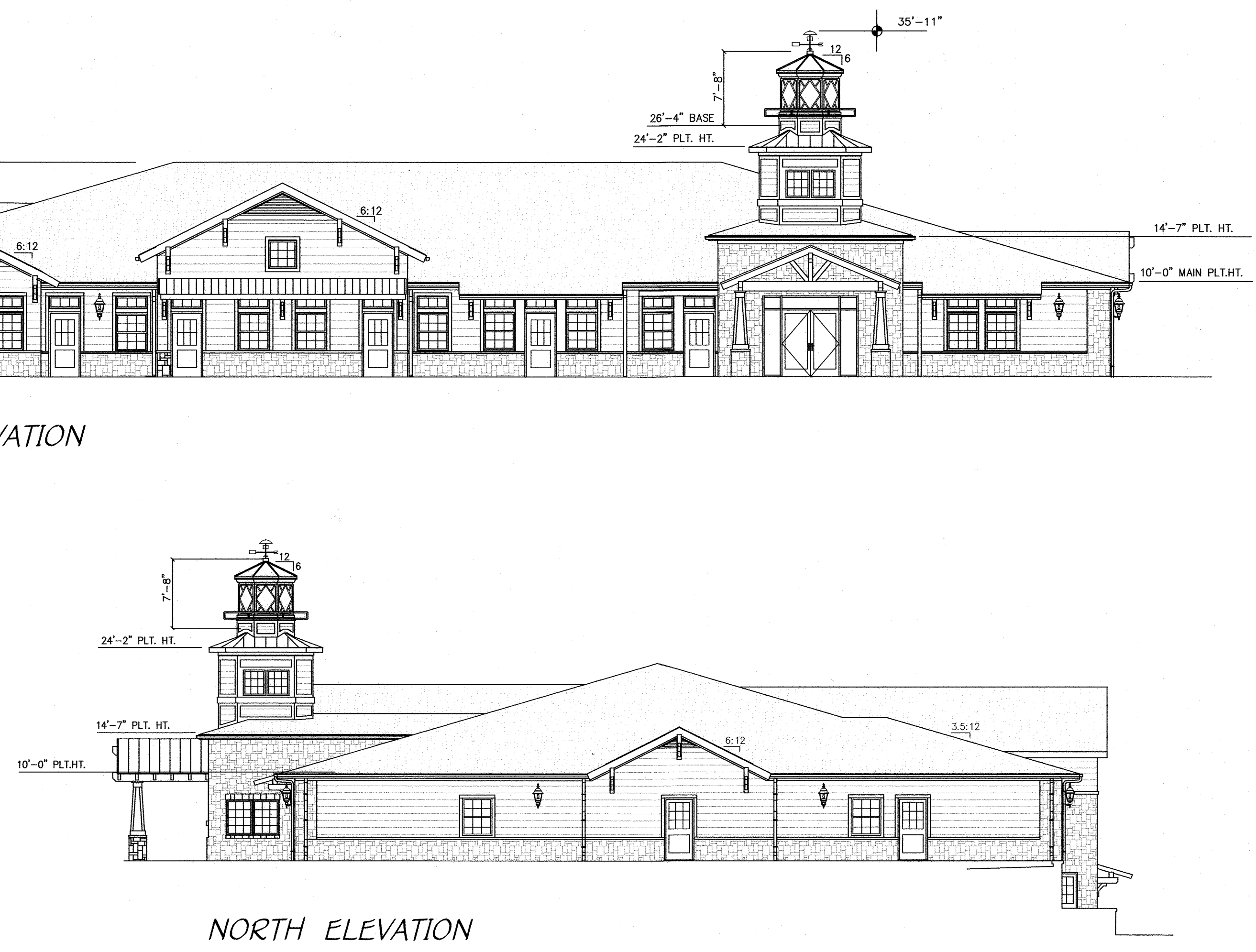
SOUTH ELEVATION



WEST ELEVATION



EAST ELEVATION



NORTH ELEVATION

FISHER, COLLINS & CARTER, INC.
CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
CORPORAL SQUARE OFFICE PARK - 10272 BALTIMORE NATIONAL PIKE
ELLICOTT CITY, MARYLAND 21042
(410) 461-2899

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

[Signature] 9/9/21
Chief, Division of Land Development
Date

[Signature] 7/24/21
Chief, Development Engineering Division JP
Date

[Signature] 9-9-21
Director - Department of Planning and Zoning
Date



OWNER AND DEVELOPER
MILK & COOKIES, L.L.C.
4992 WILD OLIVE COURT
ELLICOTT CITY, MARYLAND 21042
ATTN: MR. AASHISH PARIKH
TEL. 443-677-5091

NO.	REVISION	DATE

Subdivision	Section/Area	Parcel
Mission Place (Children's Lighthouse Daycare)	N/A	Parcel 'B'

Plat No.	Block No.	Zone	Tax Map	Elec. Dist.	Census Tr.
#19854-#19858	14	CAC-CL1	43	6th	601101

Building Footprint & Elevations

Mission Place
(Children's Lighthouse Daycare)
Parcel 'B'

Mission Place, Parcel 'B' (Plat Nos. 19854-19858)
Zoned: CAC-CL1
Tax Map: 43, Grid: 14, Parcel: 214
Sixth Election District - Howard County, Maryland
Date: June 23, 2021
Scale: As Shown
Sheet 2 of 20

SOIL PREPARATION, TOPSOILING AND SOIL AMENDMENTS (B-4-2)

- A. Soil Preparation
1. Temporary Stabilization
a. Seeded preparation consists of loosening soil to a depth of 3 to 5 inches by means of suitable agricultural or construction equipment...

- B. Topsoiling
1. Topsoil is placed over prepared subsoil prior to establishment of permanent vegetation. The purpose is to provide a suitable soil medium for plants...

PERMANENT SEEDING NOTES (B-4-5)

- A. Seed Mixtures
1. General Use
a. Select one or more of the species or mixtures listed in Table B.3 for the appropriate Plant Hardness Zone...

- 2. Turfgrass Mixtures
a. Areas where turfgrass may be desired include lawns, parks, playgrounds, and commercial sites which will receive a medium to high level of maintenance...

- 3. Topsoiling is limited to areas having 2:1 or flatter slopes where:
a. The texture of the exposed subsoil/parent material is not adequate to produce vegetative growth...

Table with columns: Hardness Zone (from Figure B.3), Seed Mixture (from Table B.3), Application Rate (lb/a/c), Seeding Dates, Seeding Depth, N, P2O5, K2O, and Lime Rate.

STANDARD STABILIZATION NOTE
FOLLOWING INITIAL SOIL DISTURBANCE OR RE-DISTURBANCE, PERMANENT OR TEMPORARY STABILIZATION MUST BE COMPLETED WITHIN:

STANDARDS AND SPECIFICATIONS FOR STOCKPILE AREA (B-4-6)

Definition
The mound or pile of soil protected by appropriately designed erosion and sediment control measures.

Purpose
To provide a designated location for the temporary storage of soil that controls the potential for erosion, sedimentation, and changes to drainage patterns.

Conditions Where Practice Applies
Stockpile areas are utilized when it is necessary to salvage and store soil for later use.

- Criteria
1. The stockpile location and all related sediment control practices must be clearly indicated on the erosion and sediment control plan.

Maintenance
The stockpile area must continuously meet the requirements for Adequate Vegetative Establishment in accordance with Section B-4 Vegetative Stabilization. Site slopes must be maintained at no steeper than a 2:1 ratio...

STANDARDS AND SPECIFICATIONS FOR SEEDING AND MULCHING (B-4-3)

Definition
The application of seed and mulch to establish vegetative cover.
Purpose
To protect disturbed soils from erosion during and at the end of construction.

Conditions Where Practice Applies
To the surface of all perimeter controls, slopes, and any disturbed area not under active grading.

- A. Seeding
1. Specifications
a. All seed must meet the requirement of the Maryland State Seed Law. All seed must be subject to re-testing by a recognized seed laboratory...

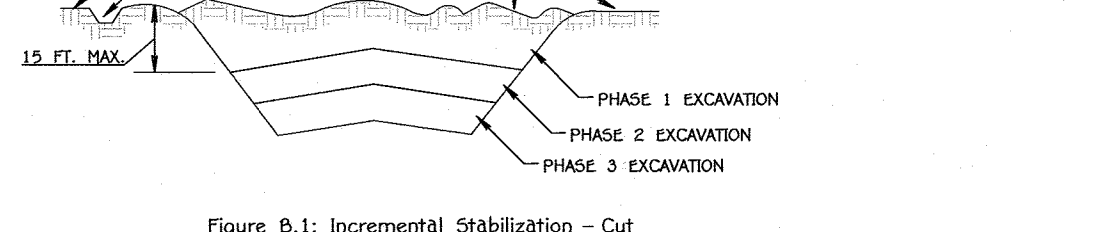
- 2. Application
a. Dry Seeding: This includes use of conventional drop or broadcast spreaders.
i. Incorporate seed into the subsoil at the rates prescribed on Temporary Seeding Table B.1...

- B. Mulching
1. Mulch Materials (in order of preference)
a. Straw consisting of thoroughly threshed wheat, rye, oat, or barley and reasonably bright in color...

B-4-1 STANDARDS AND SPECIFICATIONS FOR INCREMENTAL STABILIZATION

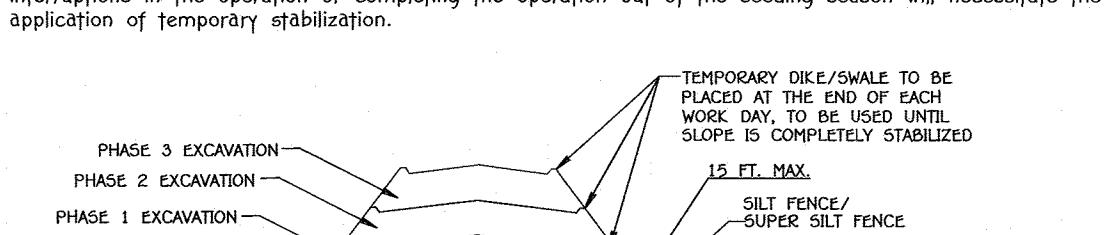
Definition
Establishment of vegetative cover on cut and fill slopes.
Purpose
To provide timely vegetative cover on cut and fill slopes as work progresses.

- Criteria
A. Incremental Stabilization - Cut Slopes
1. Excavate and stabilize cut slopes in increments not to exceed 15 feet in height. Prepare seeded and apply seed and mulch on all cut slopes as the work progresses...



- B. Incremental Stabilization - Fill Slopes
1. Construct and stabilize fill slopes in increments not to exceed 15 feet in height. Prepare seeded and apply seed and mulch on all slopes as the work progresses...

- 2. Application
a. Dry Seeding: This includes use of conventional drop or broadcast spreaders.
i. Incorporate seed into the subsoil at the rates prescribed on Temporary Seeding Table B.1...



SEQUENCE OF CONSTRUCTION

- 1. OBTAIN GRADING PERMITS (2 WEEKS)
2. NOTIFY 'HESS UTILITY' AT LEAST 48 HOURS BEFORE ANY WORK AT 1-800-257-7777. NOTIFY HOWARD COUNTY OFFICE OF CONSTRUCTION/INSPECTION DIVISION AT 410-313-1870 AT LEAST 24 HOURS BEFORE STARTING ANY WORK (1 WEEK)...

HOWARD SOIL CONSERVATION DISTRICT (HSCD) STANDARD SEDIMENT CONTROL NOTES

- 1. A pre-construction meeting must occur with the Howard County Department of Public Works, Construction Inspection Division (CID), 410-313-1855 after the future LOD and protected areas are marked clearly in the field. A minimum of 48 hour notice to CID must be given at the following stages: a. Prior to the start of earth disturbance...

- 2. All vegetative and structural practices are to be installed according to the provisions of this plan and are to be in conformance with the 2011 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL, and revisions thereto.

Table with columns: Total Area of Site, Area Disturbed, Area to be graded or paved, Area to be vegetatively stabilized, Total Cut, Total Fill, and Waste/Borrow area location.

- 7. Any sediment control practice which is disturbed by grading activity for placement of utilities must be repaired on the same day of disturbance.

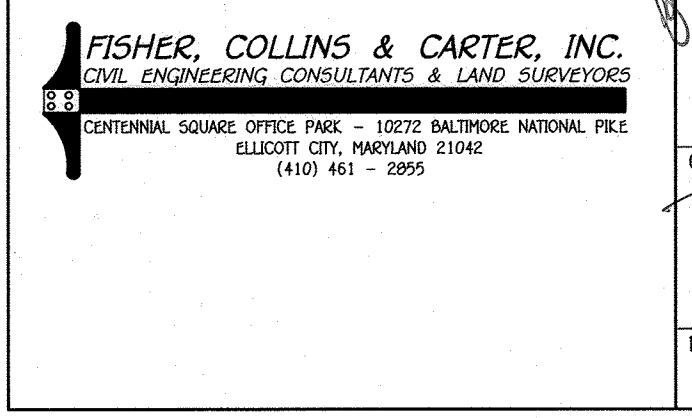
- 8. Additional sediment control must be provided, if deemed necessary by the CID. The site and all controls shall be inspected by the contractor weekly, and the next day after each rain event. A written report by the contractor, made available upon request, is part of every inspection and should include:
• Inspection date

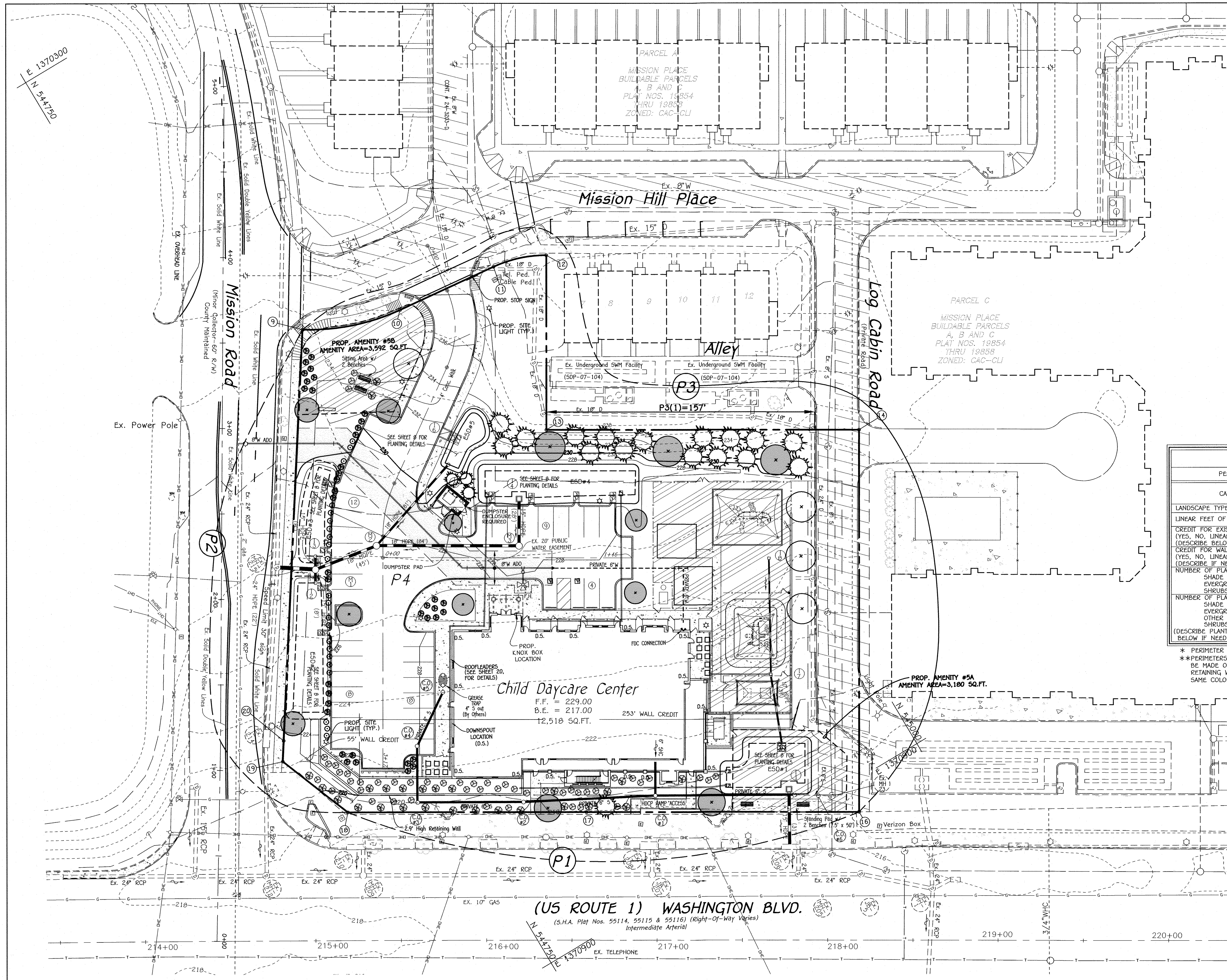
- 11. Disturbance shall not occur outside the L.O.D. A project is to be sequenced so that grading activities begin on one grading unit (maximum average of 20 ac per grading unit) at a time. Work may proceed to a subsequent grading for when at least 90 percent of the disturbed area in the preceding grading unit has been stabilized and approved by the HSCD.

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING. Includes signatures and dates for Chief of Division of Land Development and Chief, Development Engineering Division.

ENGINEER'S CERTIFICATE and DEVELOPER'S CERTIFICATE. Includes signatures and dates for Alexander Bratchie and S.M. Djescu.

Sediment And Erosion Control Notes & Details for Mission Place (Children's Lighthouse Daycare) Parcel 'B'. Includes site information, zoning, and revision table.





LANDSCAPE LEGEND

- DENOTES "REQUIRED" LANDSCAPING
- DENOTES D.A.P. RECOMMENDATION LANDSCAPING
- DENOTES ADDITIONAL LANDSCAPING BY THE DEVELOPER (SHRUBS MUST BE AN APPROVED PLANT TYPE FROM THE HOWARD COUNTY LANDSCAPE MANUAL.)

LEGEND

SYMBOL	DESCRIPTION
	EXISTING CONTOUR 2' INTERVAL
	EXISTING CONTOUR 10' INTERVAL
	PROPOSED CONTOUR 2' INTERVAL
	PROPOSED CONTOUR 10' INTERVAL
	SILT FENCE
	DRAINAGE LIMITS
	LIMIT OF DISTURBANCE
	EXISTING GASMAIN
	EXISTING TREELINE
	PROPOSED SWM DEVICE
	PROPOSED STORM DRAIN
	BORING LOCATION
	PROPOSED STREET TREE
	EXISTING STREET TREE
	PROPOSED SITE LIGHT
	EXISTING STREET LIGHT
	PROPOSED ROOFLEADER

**SCHEDULE B
PARKING LOT INTERNAL LANDSCAPING**

NUMBER OF PARKING SPACES	44
NUMBER OF TREES REQUIRED (1:20 SPACES)	2
NUMBER OF TREES PROVIDED SHADE TREES	2
OTHER TREES (2:1 SUBSTITUTION)	-

SCHEDULE A PERIMETER LANDSCAPE EDGE

PERIMETER	P1	P2	P3	P3(1)	P4	TOTAL
CATEGORY	Non-Residential To Roadway	Parking to Roadway	Non-Res. Adjacent to Res.	DAP Recommendation	DUMPSTER	
LANDSCAPE TYPE	B	E	* N/A	D	D	
LINEAR FEET OF PERIMETER	299.8'	301.2'	660.2'	15'	30'	
CREDIT FOR EXISTING VEGETATION (YES, NO, LINEAR FEET) (DESCRIBE BELOW IF NEEDED)	-	NO	NO	NO	NO	
CREDIT FOR WALL, FENCE OR BERM (YES, NO, LINEAR FEET) (DESCRIBE IF NEEDED)	**253' (WALL)	**55' (WALL)	NO	NO	NO	
NUMBER OF PLANTS REQUIRED						
SHADE TREES	1	6	-	3	1	11
EVERGREEN TREES	1	-	-	16	3	20
SHRUBS	-	62	-	-	-	62
NUMBER OF PLANTS PROVIDED						
SHADE TREES	1	6	-	3	1	11
EVERGREEN TREES	1	-	-	16	3	20
OTHER TREES (2:1 SUBSTITUTION) SHRUBS (10:1 SUBSTITUTION)	-	62	-	-	-	62
(DESCRIBE PLANT SUBSTITUTION CREDITS BELOW IF NEEDED)						

* PERIMETER P3 IS NOT REQUIRED SINCE THIS PARCEL 'B' IS PART OF THE MISSION PLACE SUBDIVISION.
 **PERIMETERS P1 AND P2 HAVE LANDSCAPING WALLS TO MAKE THE PARKING LOT WORK. THESE WALLS MEET THE CREDIT BECAUSE THEY WILL BE MADE OF KEYSTONE TYPE AND WILL BE COLORED TO BLEND INTO THE ARCHITECTURAL BUILDING OF THE DAY CARE CENTER. THE OTHER RETAINING WALLS ARE LOCATED AROUND THE PLAYGROUND AREA TO BRING THIS AREA UP TO GRADE. THESE WALLS WILL BE MADE OF THE SAME COLOR AND ALSO KEYSTONE TYPE.

LANDSCAPING PLANT LIST

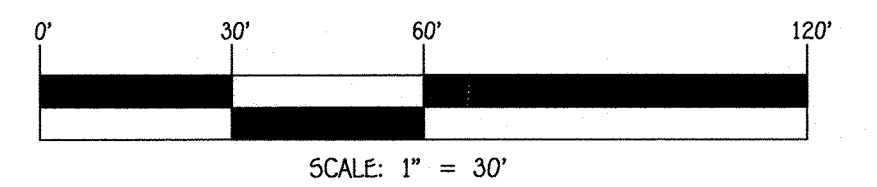
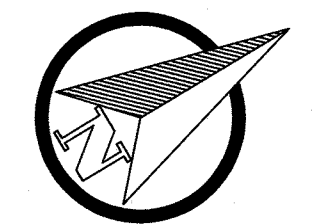
QTY.	KEY	NAME	SIZE
13		Acer x freemanii 'Autumn Blaze' Freeman Maple	2-1/2" cal. min. B & B Seedless
4		Acer x freemanii 'Autumn Blaze' Freeman Maple	2-1/2" cal. min. B & B Seedless
20		Pinus Strobus Eastern White Pine	6' - 8' HT.
40		Clethra alnifolia 'Pink Spire' Pink Spire Summersweet	24"-30" ht. Cont. 36" O.C.
22		Ilex virginica 'Henry's Garnet' Sweetspire	24"-30" ht. Cont. 36" O.C.

* THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE PROVISIONS OF SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL. FINANCIAL SURETY FOR THE "REQUIRED" 17 SHADE TREES, 20 EVERGREEN TREES & 62 SHRUBS HAS BEEN POSTED AS PART OF THE DEVELOPER'S AGREEMENT IN THE AMOUNT OF \$9,960.00.
 (SURETY INCLUDES D.A.P. RECOMMENDATION SHADE TREES)

LANDSCAPE DEVELOPER'S CERTIFICATE

I/We certify that the landscaping shown on this plan will be done according to the plan, Section 16.124 of the Howard County Code and the Howard County Landscape Manual. I/We further certify that upon completion a letter of landscape installation accompanied by an executed one year guarantee of plant materials will be submitted to the Department of Planning and Zoning.

S.M. Desai
Name
6/23/21
Date

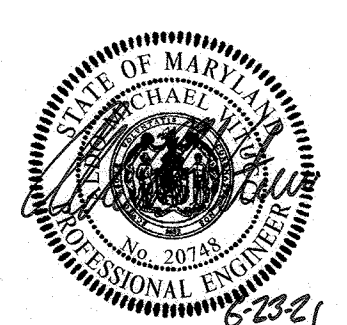


APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

[Signature] 9/9/21
Chief, Division of Land Development
Date

[Signature] 7/21/21
Chief, Development Engineering Division
Date

[Signature] 7-9-21
Director - (Department of Planning and Zoning)
Date

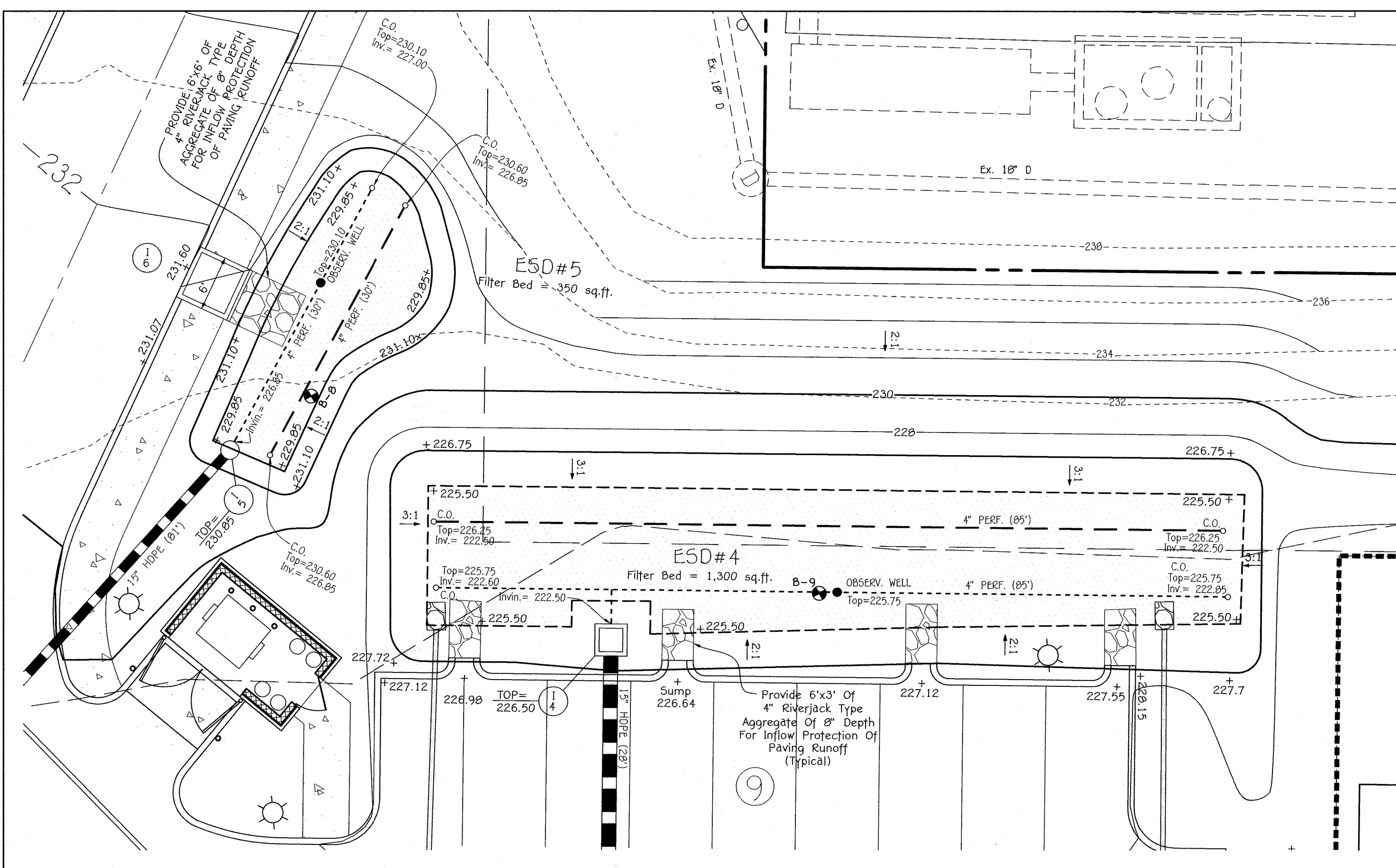


FISHER, COLLINS & CARTER, INC.
 CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
 CENTENNIAL SQUARE OFFICE PARK - 10272 BALTIMORE NATIONAL PIKE
 ELLICOTT CITY, MARYLAND 21042
 (410) 461 - 2999

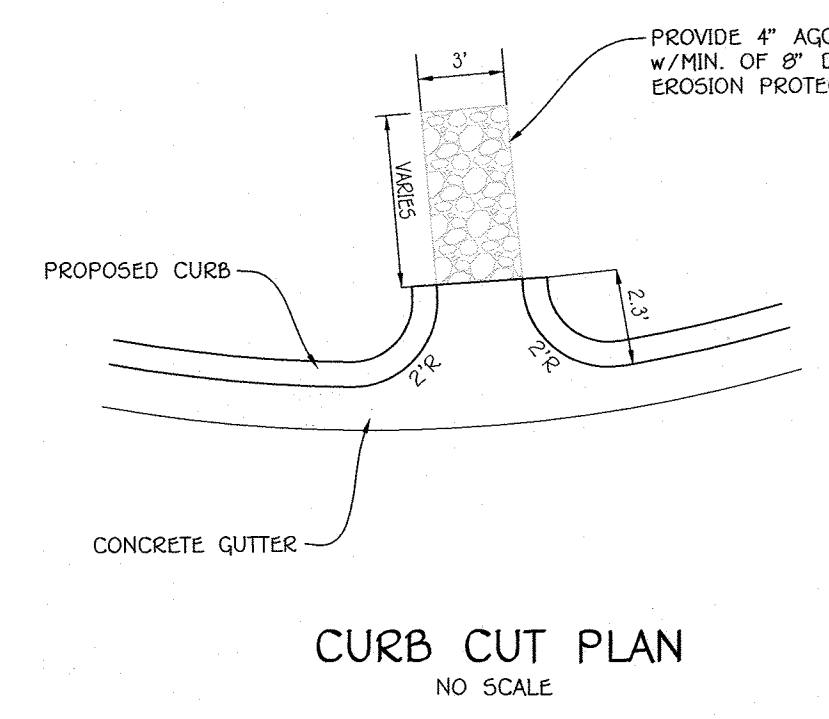
OWNER AND DEVELOPER
 MILK & COOKIES, L.L.C.
 4992 WILD OLIVE COURT
 ELLICOTT CITY, MARYLAND 21042
 ATTN: MR. AKSHAY PARKH
 TEL: 443-677-5091

NO.	REVISION	DATE

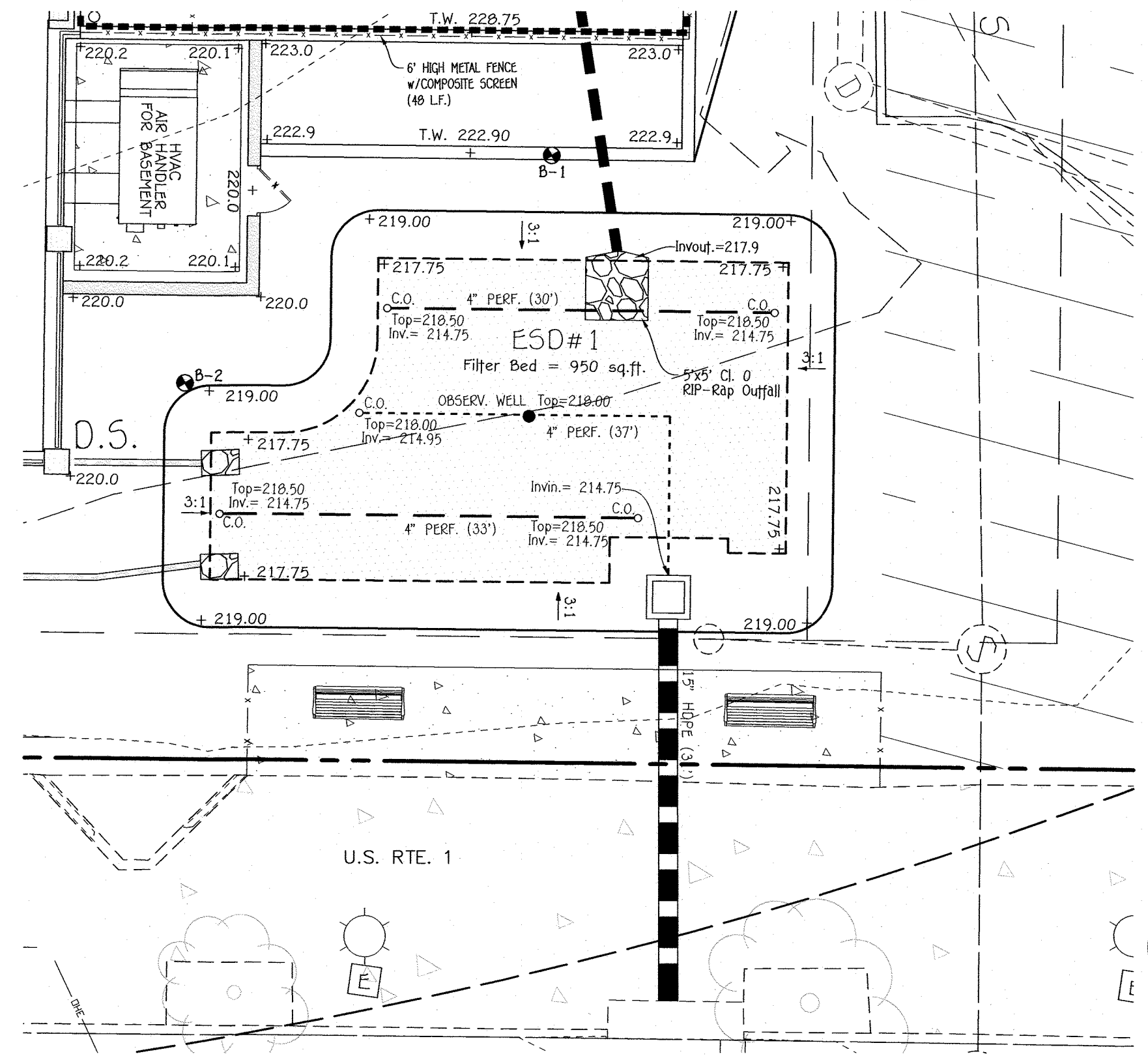
Landscape Plan
Mission Place
 (Children's Lighthouse Daycare)
 Parcel 'B'
 Mission Place, Parcel 'B' (Plat Nos. 19854-19858)
 Zoned: CAC-CLU
 Tax Map: 43, Grid: 14, Parcel: 214
 Sixth Election District - Howard County, Maryland
 Date: June 23, 2021
 Scale: As Shown
 Sheet 7 of 20



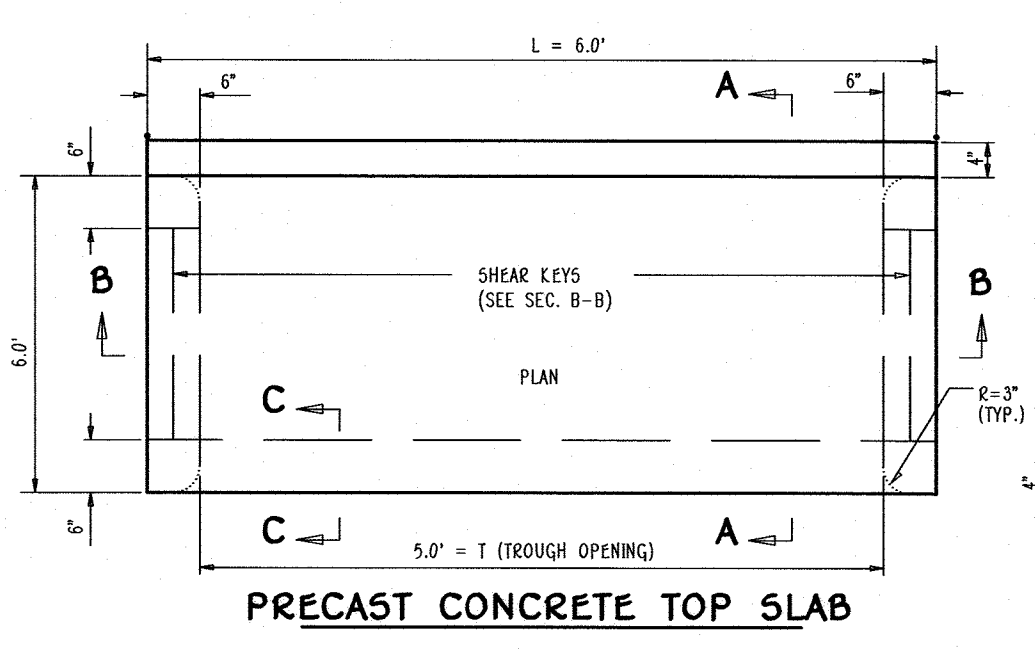
PROPOSED MICRO BIO-RETENTION (M-6)
ESD Nos. 4 & 5 PLAN VIEW
SCALE: 1" = 10'



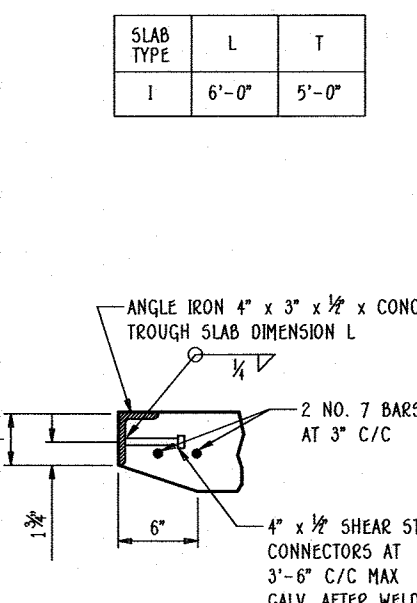
CURB CUT PLAN
NO SCALE



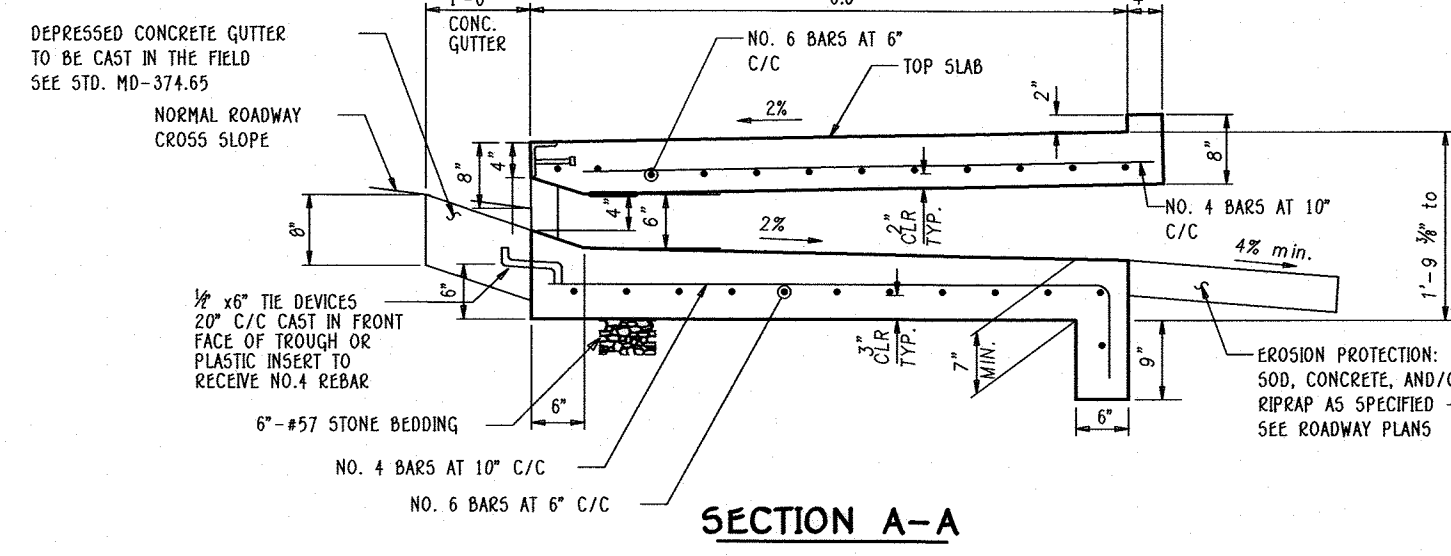
PROPOSED MICRO BIO-RETENTION (M-6)
ESD No. 1 PLAN VIEW
SCALE: 1" = 10'



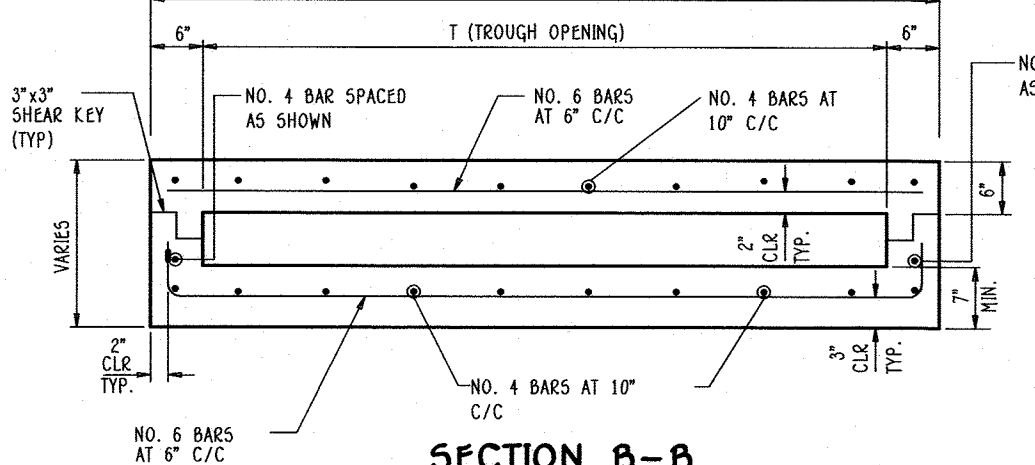
PRECAST CONCRETE TOP SLAB



SECTION C-C

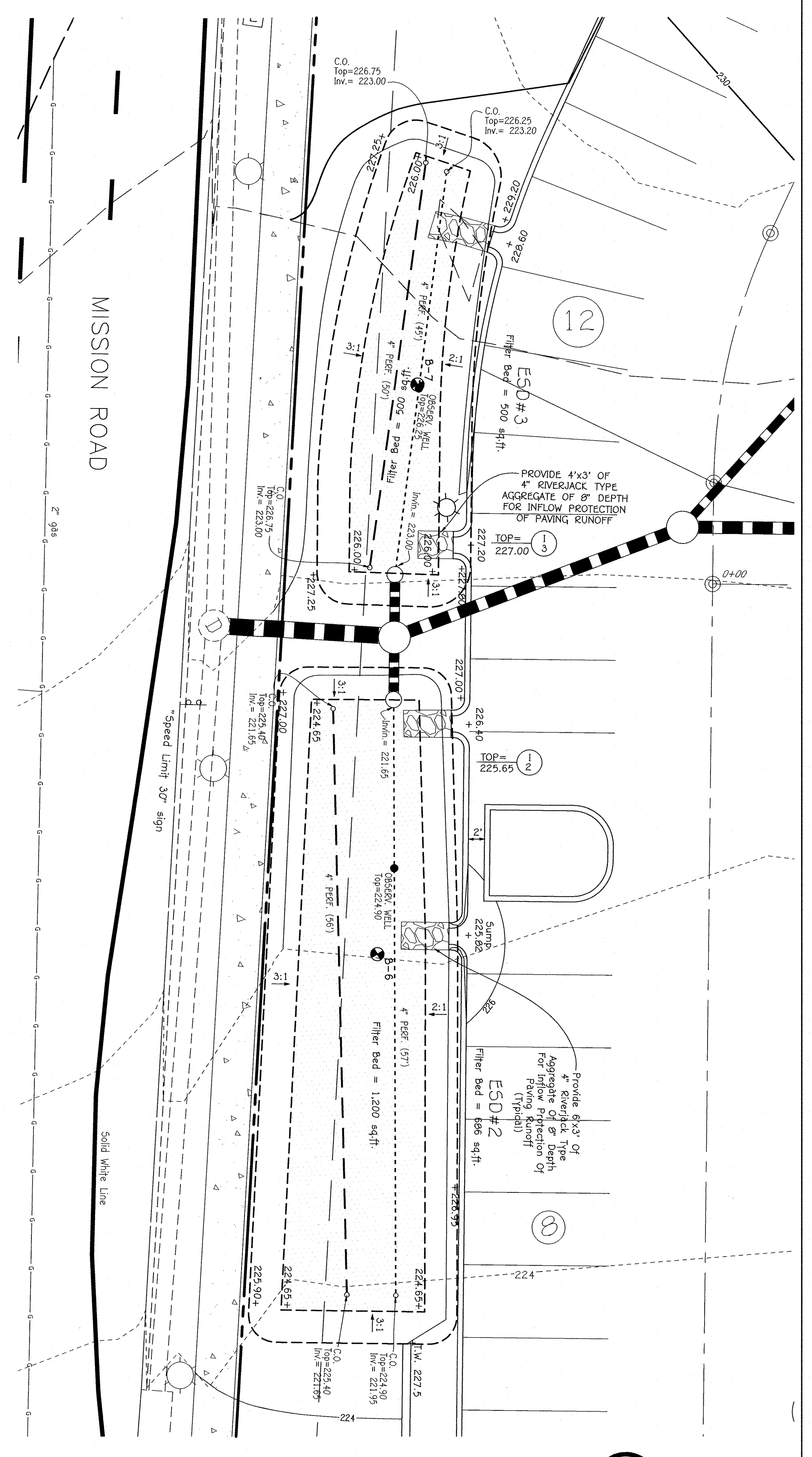


SECTION A-A

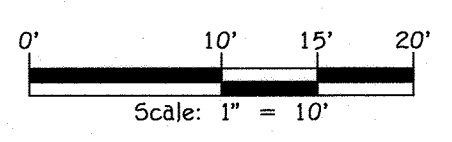


SECTION B-B
INLET I-6 DETAIL
NO SCALE

- NOTES:
1. CONCRETE SHALL BE MIX # 6 (4500 PSI).
 2. REINFORCEMENT STEEL SHALL MEET THE REQUIREMENTS OF ASTM A618, GRADE 60.
 3. ANGLE IRON AND SHEAR STUD CONNECTORS SHALL BE GALVANIZED AFTER WELDING IN ACCORDANCE WITH ASTM A 153.
 4. FOR 6" CURBS, REFER TO MD 374.55-01, SECTIONS C-C AND D-D.
 5. EROSION PROTECTION TO BE PAID FOR SEPARATELY.



PROPOSED MICRO BIO-RETENTION (M-6)
ESD Nos. 2 & 3 PLAN VIEW
SCALE: 1" = 10'

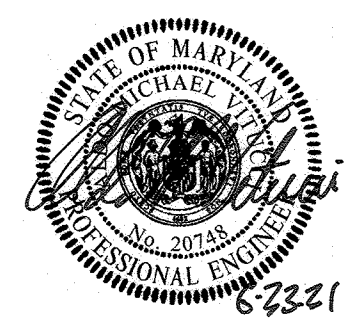


APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

Julia Green 9/9/21
Chief, Division of Land Development Date

[Signature] 7/10/21
Chief, Development Engineering Division Date

Angy Conner 9-9-21
Director Department of Planning and Zoning Date



OWNER AND DEVELOPER
MILK & COOKIES, L.L.C.
4992 WILD OLIVE COURT
ELLCOTT CITY, MARYLAND 21042
ATTN: MR. AASHISH PARIKH
TEL. 443-677-5091

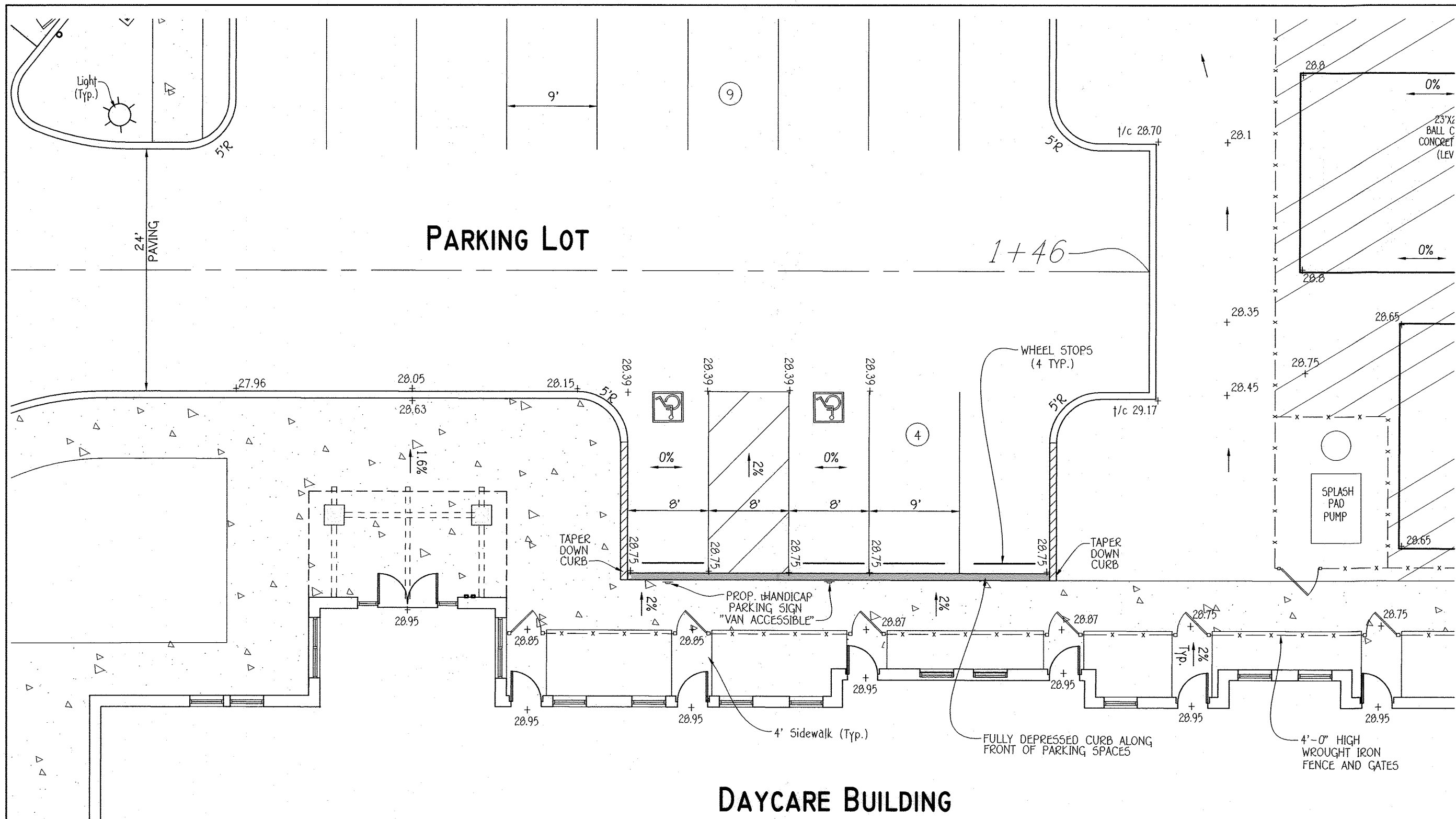
NO.	REVISION	DATE

Stormwater Management Plan Views

Mission Place
(Children's Lighthouse Daycare)

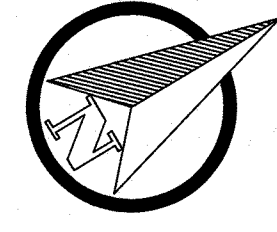
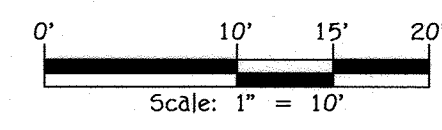
Parcel 'B'

Mission Place, Parcel 'B' (Plat Nos. 19854-19858)
Zoned: CAC-CL1
Tax Map: 43, Grid: 14, Parcel: 214
Sixth Election District - Howard County, Maryland
Date: June 23, 2021
Scale: As Shown
Sheet 12 of 20



DAYCARE BUILDING

DAYCARE BUILDING HANDICAP SPACE LAYOUT

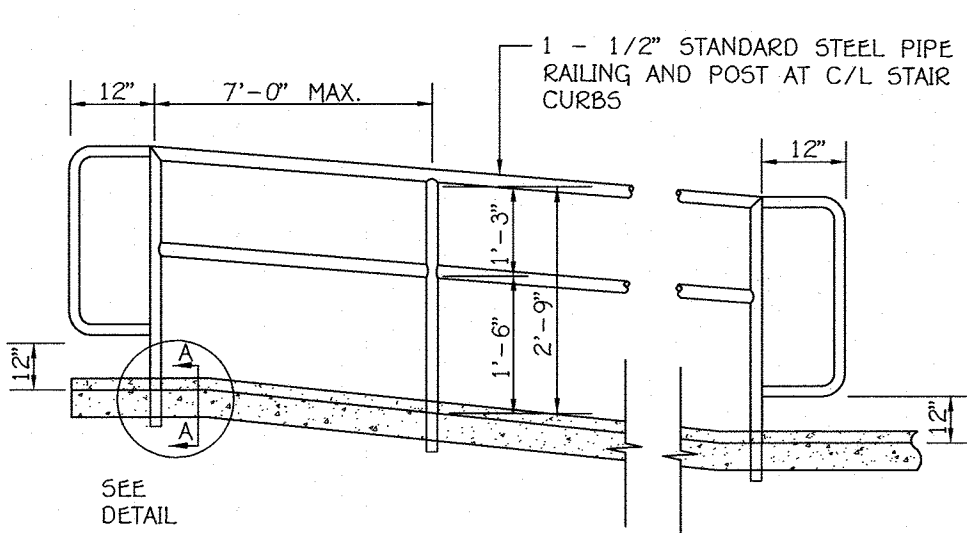


HANDICAP PARKING SIGN DETAIL

GENERAL NOTES:

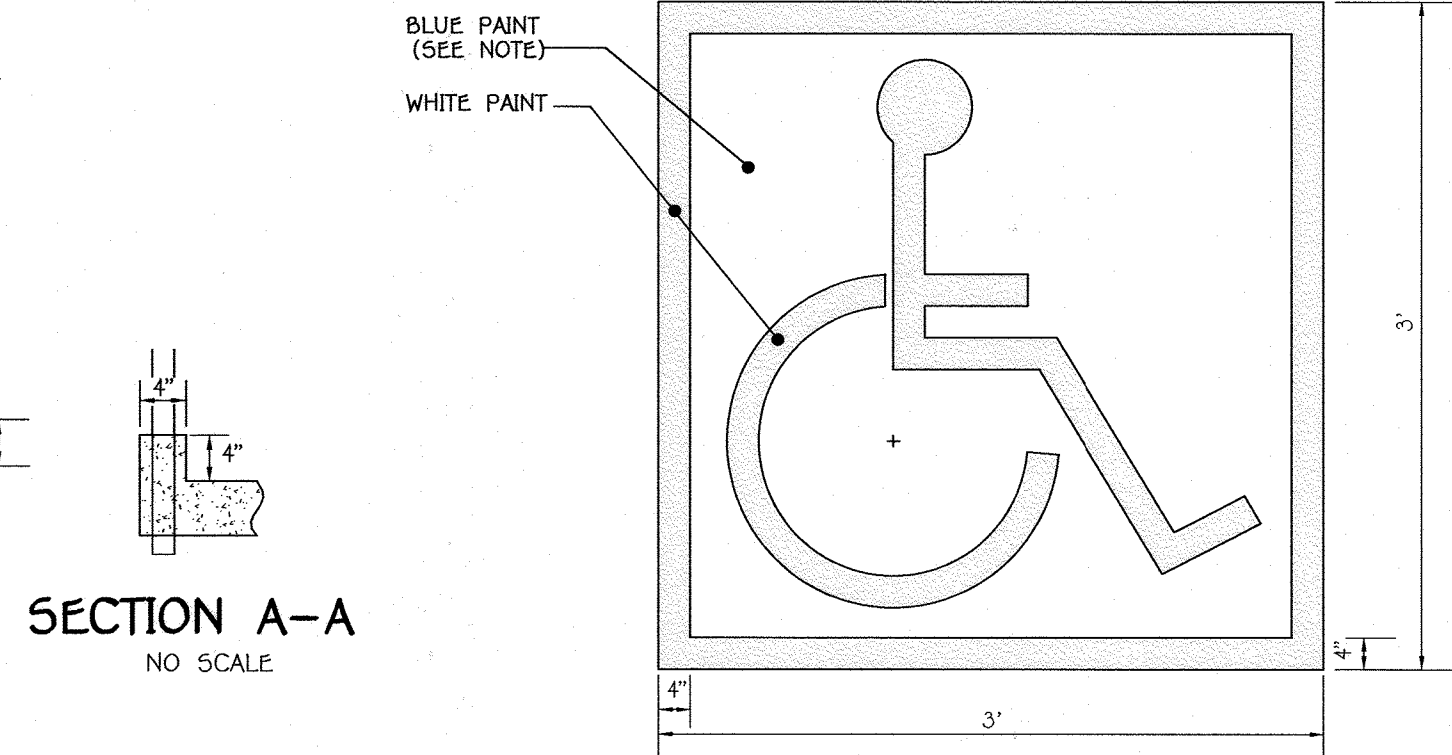
1. SIGNS SHALL MEET DESIGN STANDARDS OF THE FEDERAL HIGHWAY ADMINISTRATION AND CONFORM TO THE STATE OF MARYLAND STANDARD HIGHWAY SIGN BOOKLET DETAIL R7-8.
2. ONE SIGN IS REQUIRED PER SPACE PLACED AS SHOWN ON SITE IMPROVEMENT PLAN.
3. SIGNS SHALL BE POLE MOUNTED WITH HOT DIPPED GALVANIZED COUNTY APPROVED PERFORATED CHANNEL POSTS W/TOP OF SIGNS 9'-1" ABOVE FINISHED GRADE OR AS INDICATED ON SITE DRAWINGS.
4. SIGN SHALL BE ATTACHED TO FLANGED SIDE OF POST. POST SHALL EXTEND INTO GROUND 2'-6" MIN.
5. COLORS: LEGEND AND BORDER-GREEN SYMBOL-WHITE ON BLUE BACKGROUND BACKGROUND-WHITE
6. CONTRACTOR SHALL COORDINATE ARROW DIRECTION WITH LOCATION OF ADJACENT AISLE.

NO SCALE



HANDRAIL DETAIL

NO SCALE

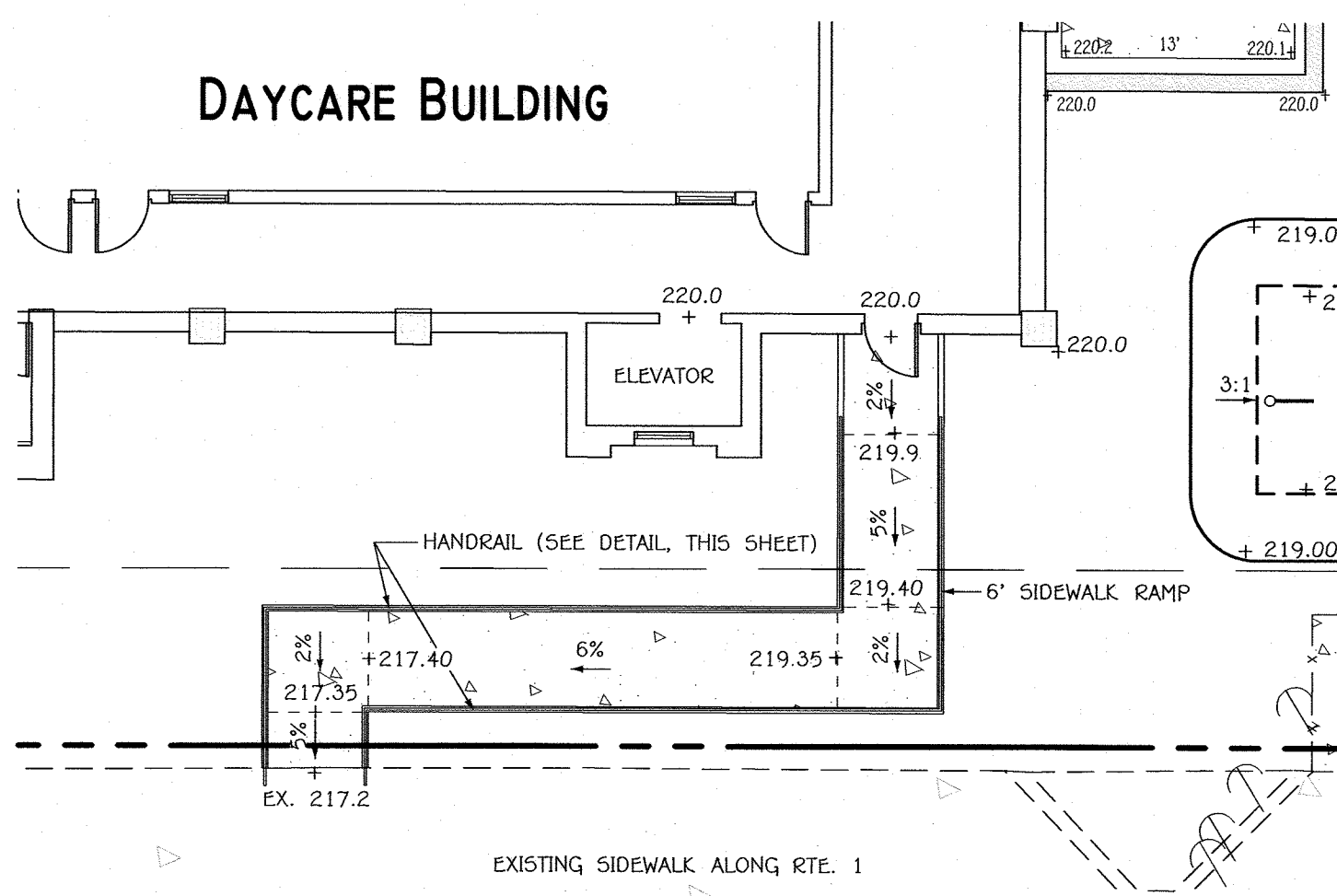


HANDICAP SPACE STENCIL LAYOUT

NO SCALE

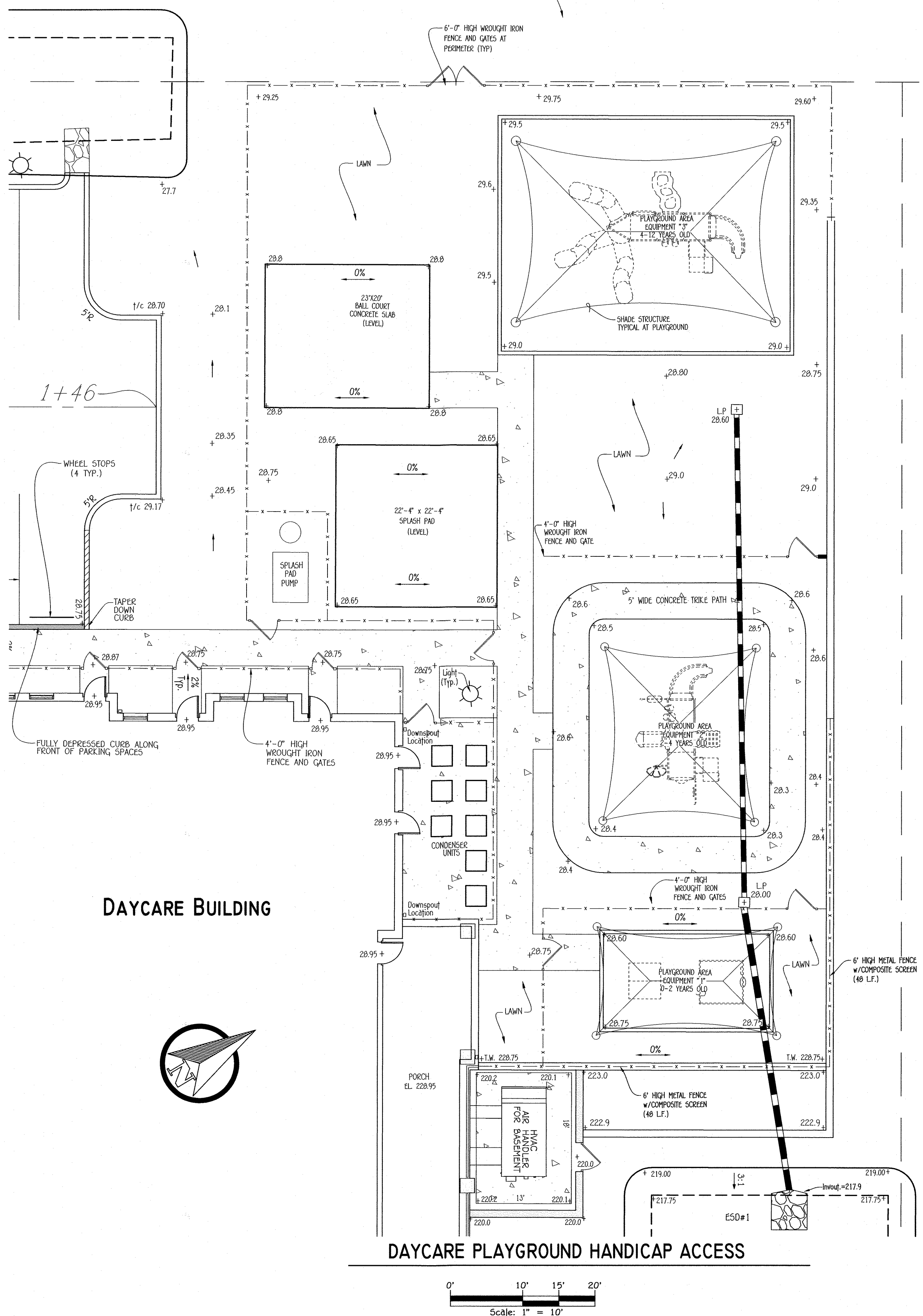
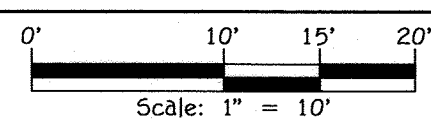
GENERAL NOTES:

1. SIGNS SHALL MEET DESIGN STANDARDS OF THE FEDERAL HIGHWAY ADMINISTRATION AND CONFORM TO THE STATE OF MARYLAND STANDARD HIGHWAY SIGN BOOKLET DETAIL R7-8.
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4. SIGN SHALL BE ATTACHED TO FLANGED SIDE OF POST. POST SHALL EXTEND INTO GROUND 2'-6" MIN.
5. COLORS: LEGEND AND BORDER-GREEN SYMBOL-WHITE ON BLUE BACKGROUND BACKGROUND-WHITE
6. CONTRACTOR SHALL COORDINATE ARROW DIRECTION WITH LOCATION OF ADJACENT AISLE.



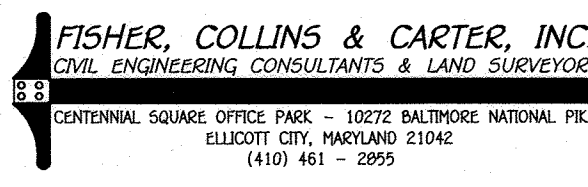
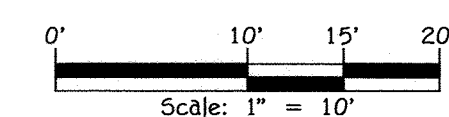
DAYCARE BUILDING

DAYCARE BUILDING HANDICAP RAMP ACCESS



DAYCARE BUILDING

DAYCARE PLAYGROUND HANDICAP ACCESS



APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

Julia River Chief, Division of Land Development 9/9/21 Date

[Signature] Chief, Development Engineering Division 7/20/21 Date

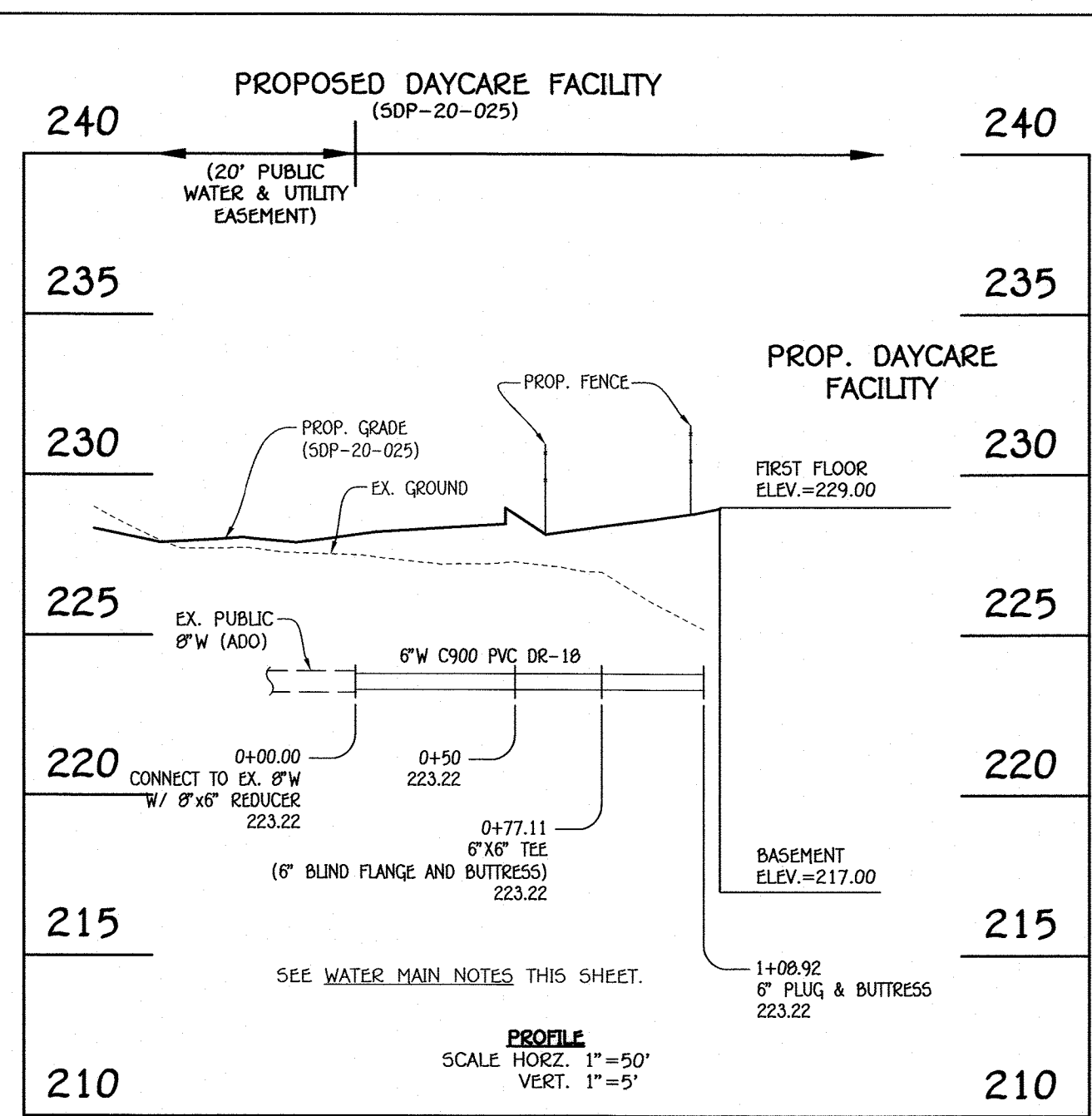
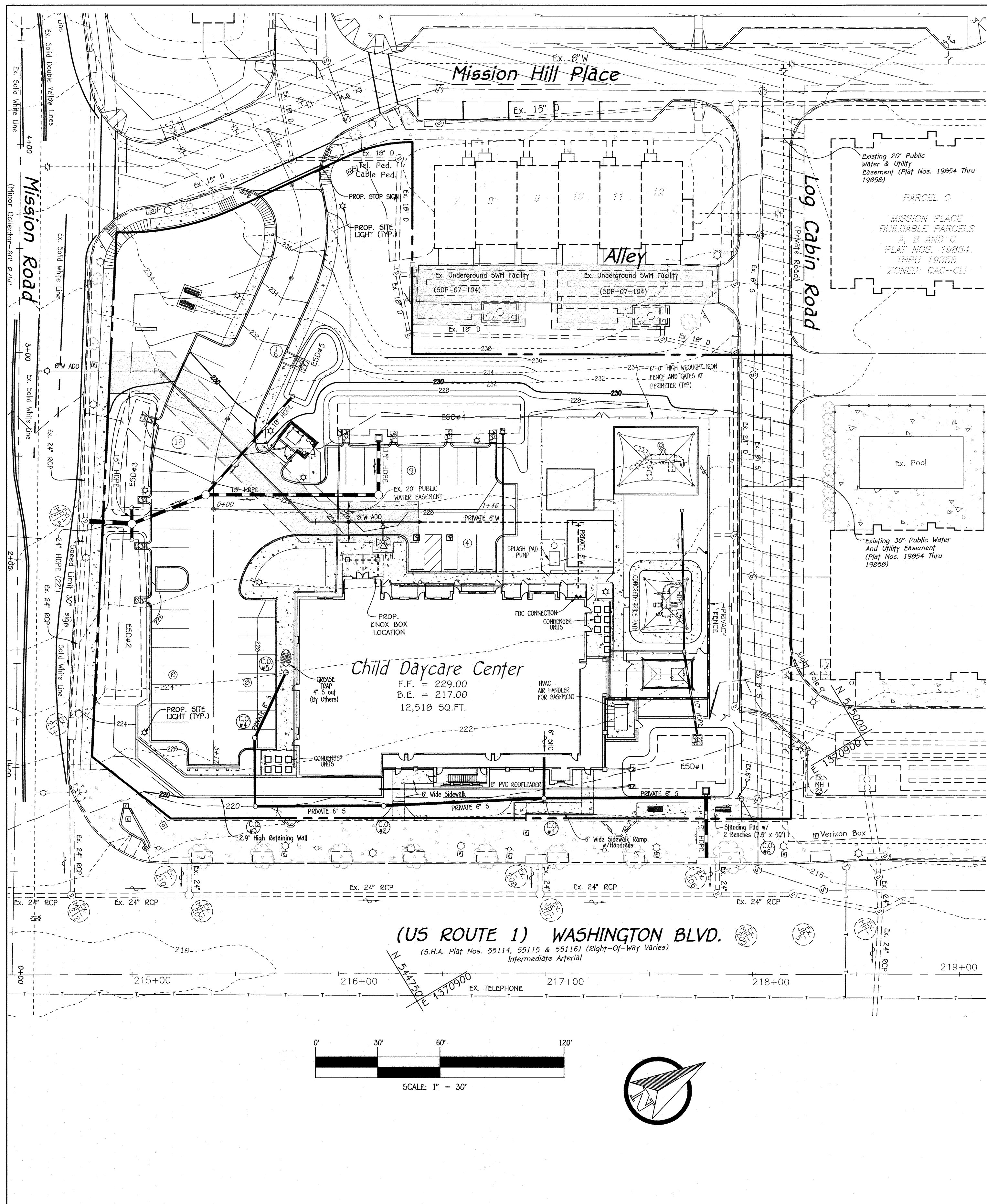
Steve Conroy Director - Department of Planning and Zoning 9-9-21 Date



OWNER AND DEVELOPER
 MILK & COOKIES, L.L.C.
 4992 WILD OLIVE COURT
 ELLICOTT CITY, MARYLAND 21042
 ATTN: MR. AKASHI PARikh
 TEL: 443-677-5091

NO.	REVISION	DATE

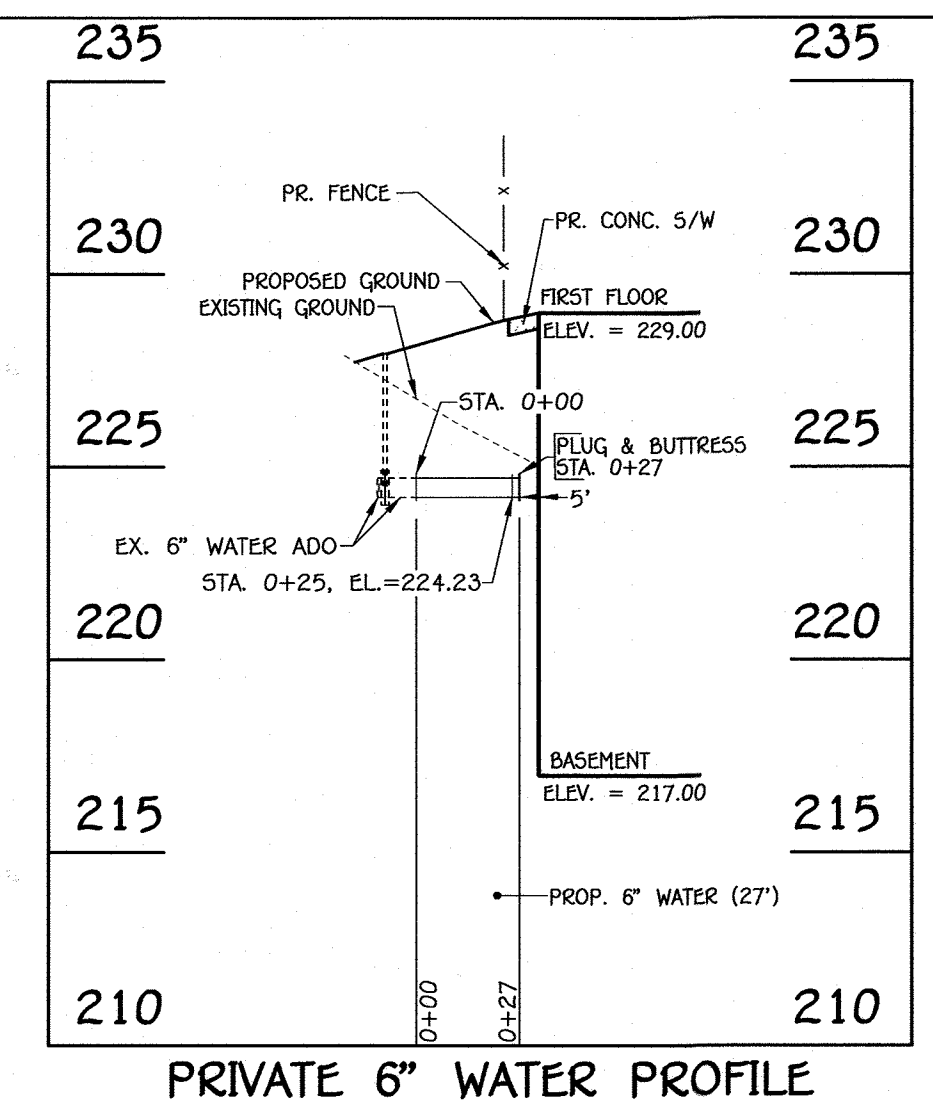
Handicap Parking Plan
Mission Place
 (Children's Lighthouse Daycare)
 Parcel 'B'
 Mission Place, Parcel 'B' (Plat Nos. 19954-19958)
 Zoned: CAC-CL1
 Tax Map: 43, Grid: 14, Parcel: 214
 Sixth Election District - Howard County, Maryland
 Date: June 23, 2021
 Scale: As Shown
 Sheet 13 of 20



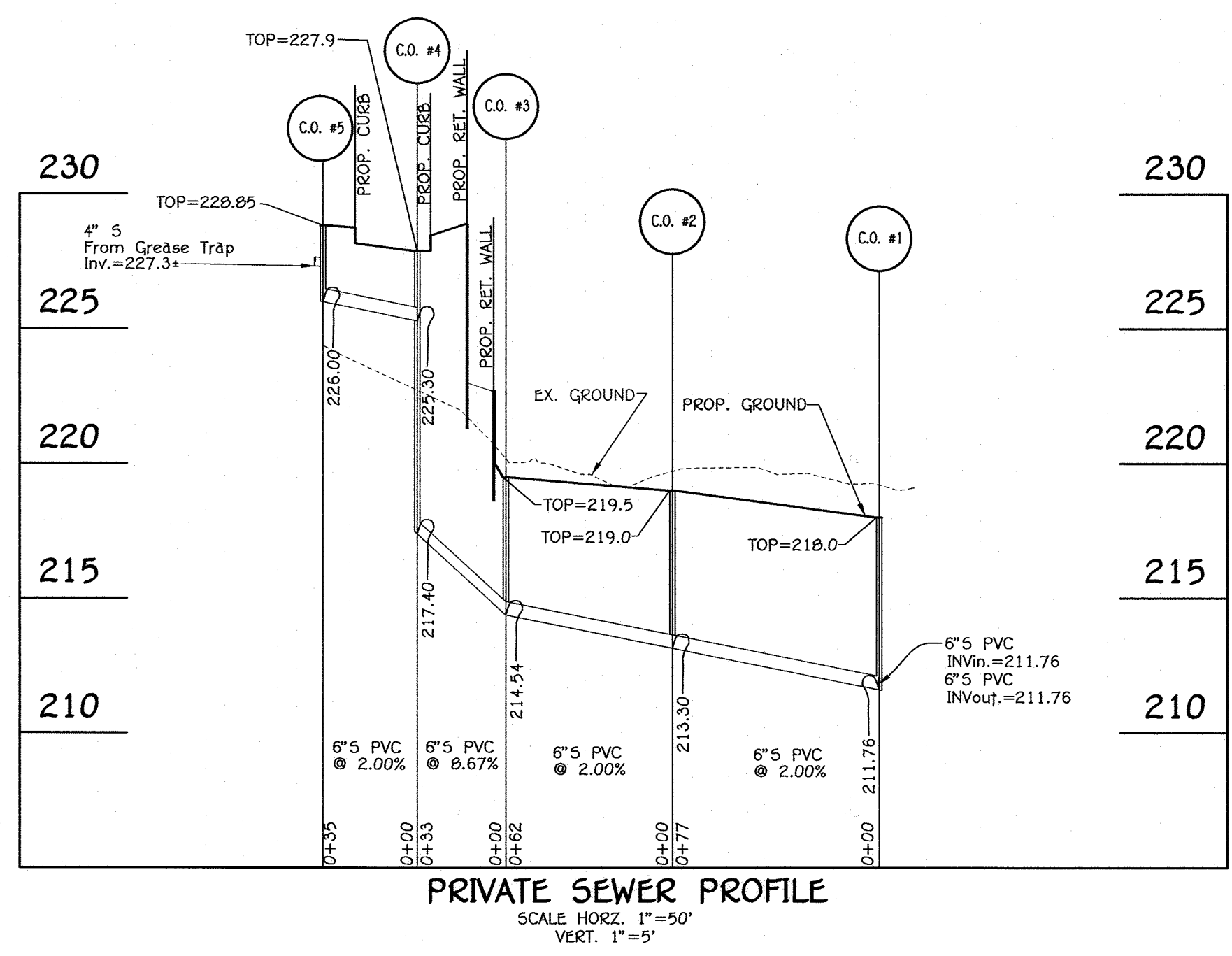
6" PRIVATE WATER MAIN

WATER MAIN TABULATION CHART			
W.M. STA.	APPURTENANCE	NORTHING	EASTING
6" WATER MAIN EXTENSION			
0+00.00	8"x6" REDUCER	544,869.03	1,370,702.03
0+77.11	6"x6" TEE/6" BLIND FLANGE	544,935.19	1,370,741.64
1+08.92	6" PLUG & BUTTRESS	544,918.86	1,370,768.93

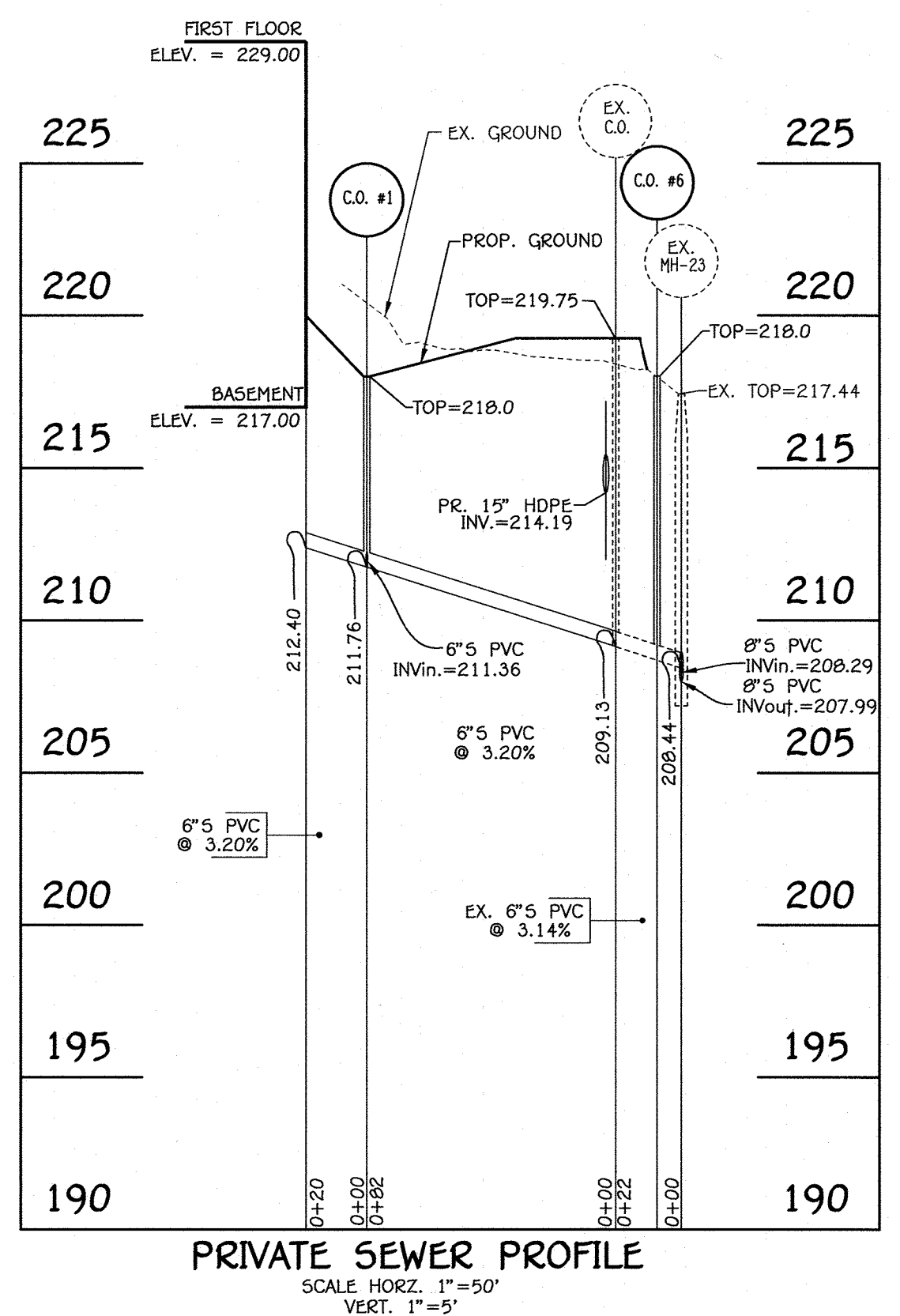
- WATER MAIN NOTES:**
1. ALL WATER MAINS SHALL BE AWWA C900 PVC PIPE, DR-18.
 2. ALL PIPE BEDDING, TRACER WIRE, LOCATING TAPE AND OTHER APPURTENANCES SHALL BE IN ACCORDANCE WITH THE HOWARD COUNTY DESIGN MANUAL, VOLUME IV - WATER AND SEWER STANDARDS FOR AWWA C900 PVC WATER PIPE INSTALLATION.
 3. DEFLECTION COUPLINGS SHALL BE CERTAIN-TEED PVC HIGH DEFLECTION COUPLINGS.



PRIVATE 6" WATER PROFILE



PRIVATE SEWER PROFILE



PRIVATE SEWER PROFILE

LEGEND	
SYMBOL	DESCRIPTION
---	EXISTING CONTOUR 2' INTERVAL
---	EXISTING CONTOUR 10' INTERVAL
-102-	PROPOSED CONTOUR 2' INTERVAL
-100-	PROPOSED CONTOUR 10' INTERVAL
-5F- 5F-	SILT FENCE
■ ■ ■ ■	DRAINAGE LIMITS
L.O.D.	LIMIT OF DISTURBANCE
G	EXISTING GASMAIN
---	EXISTING TREELINE
ESD #1	PROPOSED SWM DEVICE
---	PROPOSED STORM DRAIN
⊕ B-33	BORING LOCATION
○	PROPOSED STREET TREE
○	EXISTING STREET TREE
☆	PROPOSED SITE LIGHT
☆	EXISTING STREET LIGHT
☆	PROPOSED ROOFLEADER

NOTE: INSTALL C.O. #6 ON EXISTING SEWER AT EDGE OF PUBLIC EASEMENT AS SHOWN ON THE PLAN VIEW, THIS SHEET.

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

Olivia Prew 9/9/21
Chief, Division of Land Development Date

JP 7/24/21
Chief, Development Engineering Division Date

Amey Gove 9-9-21
Director - Department of Planning and Zoning Date

FISHER, COLLINS & CARTER, INC.
CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
CENTRAL SQUARE OFFICE PARK - 10232 BALTIMORE NATIONAL PIKE
ELLCOTT CITY, MARYLAND 21042
(410) 461-2995

STATE OF MARYLAND
MICHAEL B. STANTON
PROFESSIONAL ENGINEER
No. 20728
62321

OWNER AND DEVELOPER
MILK & COOKIES, L.L.C.
4992 WILD OLIVE COURT
ELLCOTT CITY, MARYLAND 21042
ATTN: MR. AASHISH PARIKH
TEL. 443-677-5091

REVISION						DATE
NO.	REVISION	Section/Area	Parcel			
1	Subdivision	Mission Place (Children's Lighthouse Daycare)	N/A	Parcel 'B'		
1	Plat No.	#19854-#19858	Block No.	14	Zone	CAC-CL1
1	Tax Map	43	Elec. Dist.	6th	Census Tr.	601101

Private Water & Sewer Plan & Profiles

Mission Place
(Children's Lighthouse Daycare)
Parcel 'B'

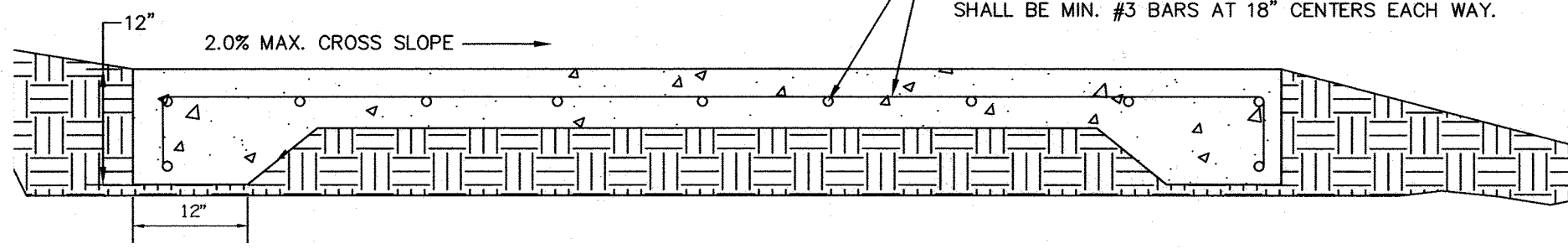
Mission Place, Parcel 'B' (Plat Nos. 19854-19858)
Zoned: CAC-CL1
Tax Map: 43, Grid: 14, Parcel: 214
Sixth Election District - Howard County, Maryland
Date: June 23, 2021
Scale: As Shown
Sheet 14 of 20

SECTION NUMBER	ROAD AND STREET CLASSIFICATION	CALIFORNIA BEARING RATIO (CBR)						
		3 TO <5	5 TO <7	>7	3 TO <5	5 TO <7	>7	
P-2	PARKING DRIVE ASLES: RESIDENTIAL AND NON-RESIDENTIAL WITH NO MORE THAN 10 HEAVY TRUCKS PER DAY LOCAL ROADS: ACCESS PLACE, ACCESS STREET CUL-DE-SACS: RESIDENTIAL	PAVEMENT MATERIAL (INCHES)		MIN HMA WITH GAB		HMA WITH CONSTANT GAB		
		HMA SUPERPAVE FINAL SURFACE 9.5 MM, PG 64-22, LEVEL 1 (ESAL)		1.5	1.5	1.5	1.5	1.5
		HMA SUPERPAVE INTERMEDIATE SURFACE 9.9 MM, PG 64-22, LEVEL 1 (ESAL)		1.0	1.0	1.0	1.0	1.0
		HMA SUPERPAVE BASE 19.0 MM, PG 64-22, LEVEL 1 (ESAL)		2.0	2.0	2.0	3.5	2.0
		GRADED AGGREGATE BASE (GAB)		8.0	4.0	3.0	4.0	4.0

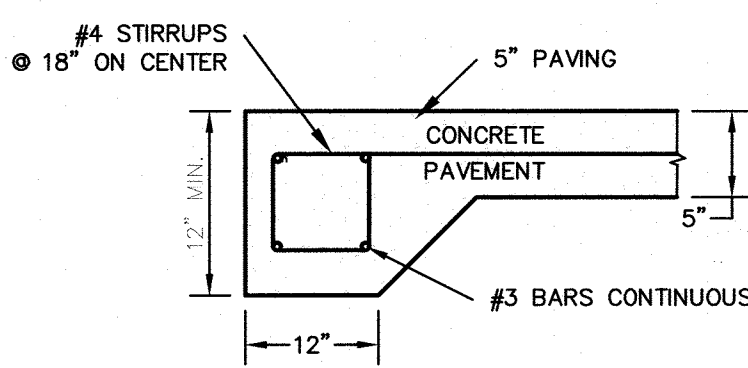
PAVING SECTION NOTE:
THE ABOVE PAVING OPTIONS ARE FINALIZED IN THE FIELD BASED ON FINAL SOIL COMPACTION TEST RESULTS TO DETERMINE WHICH CBR TO USE.

P-2 PAVING SECTION
NO SCALE

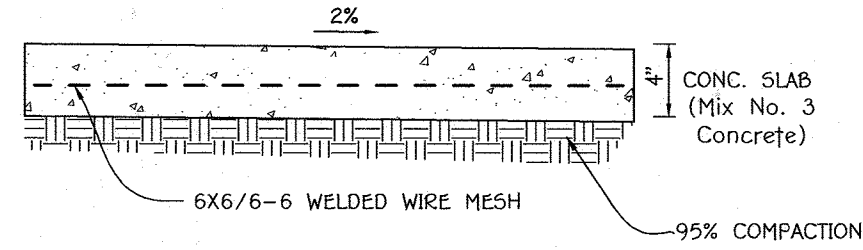
NOTE:
EXPANSION JOINTS AT ANY DIRECTION CHANGE AND 30' MAXIMUM ON STRAIGHT RUNS. JOINTS TO BE CONSTRUCTED IN ACCORDANCE WITH DETAILS THIS SHEET. SIDEWALK WILL BE TOOL JOINTED AT MAX 5' INTERVALS OR IN ACCORDANCE WITH APPLICABLE STANDARDS IN THE CITY.



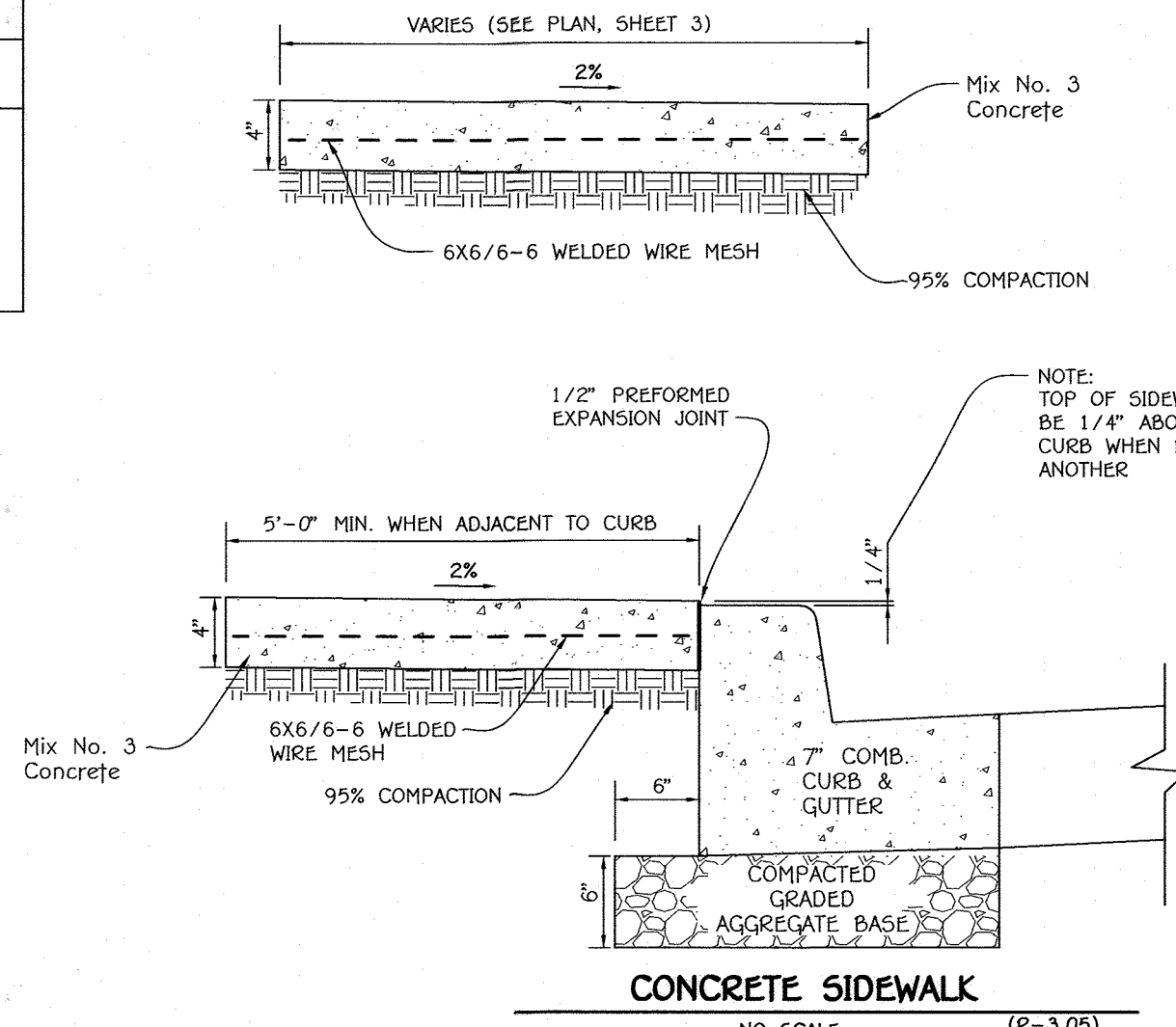
BALL COURT SECTION
NO SCALE



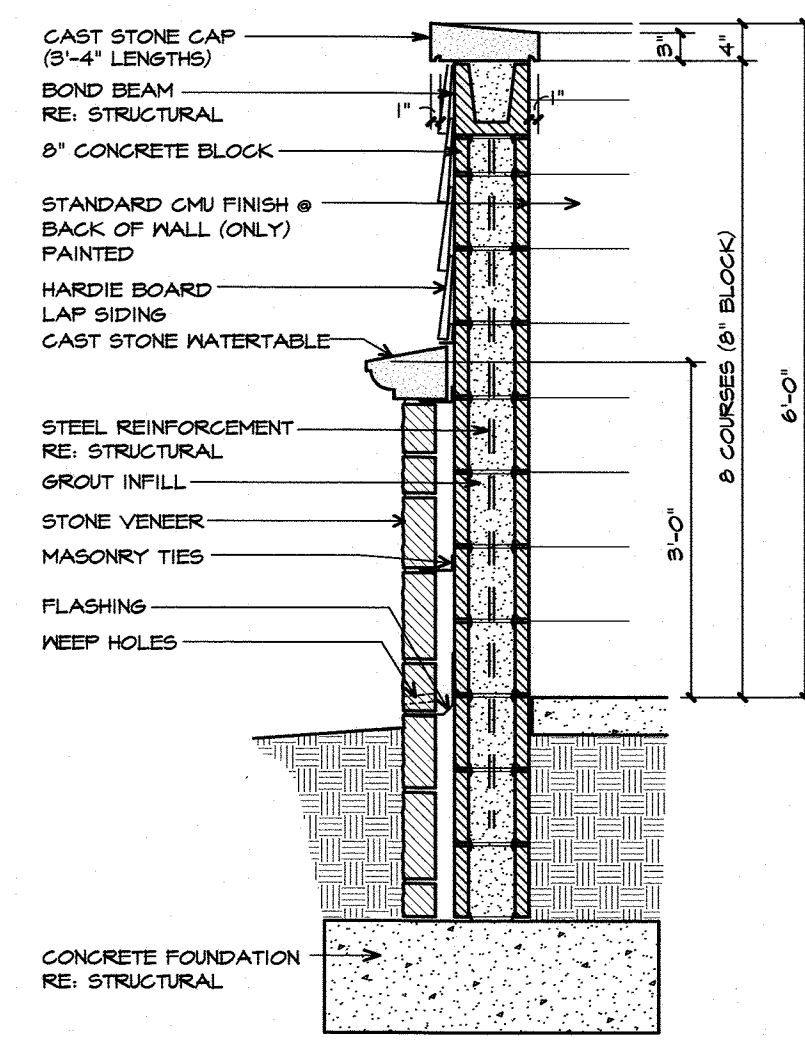
THICKENED EDGE DETAIL FOR BALL COURT
NO SCALE



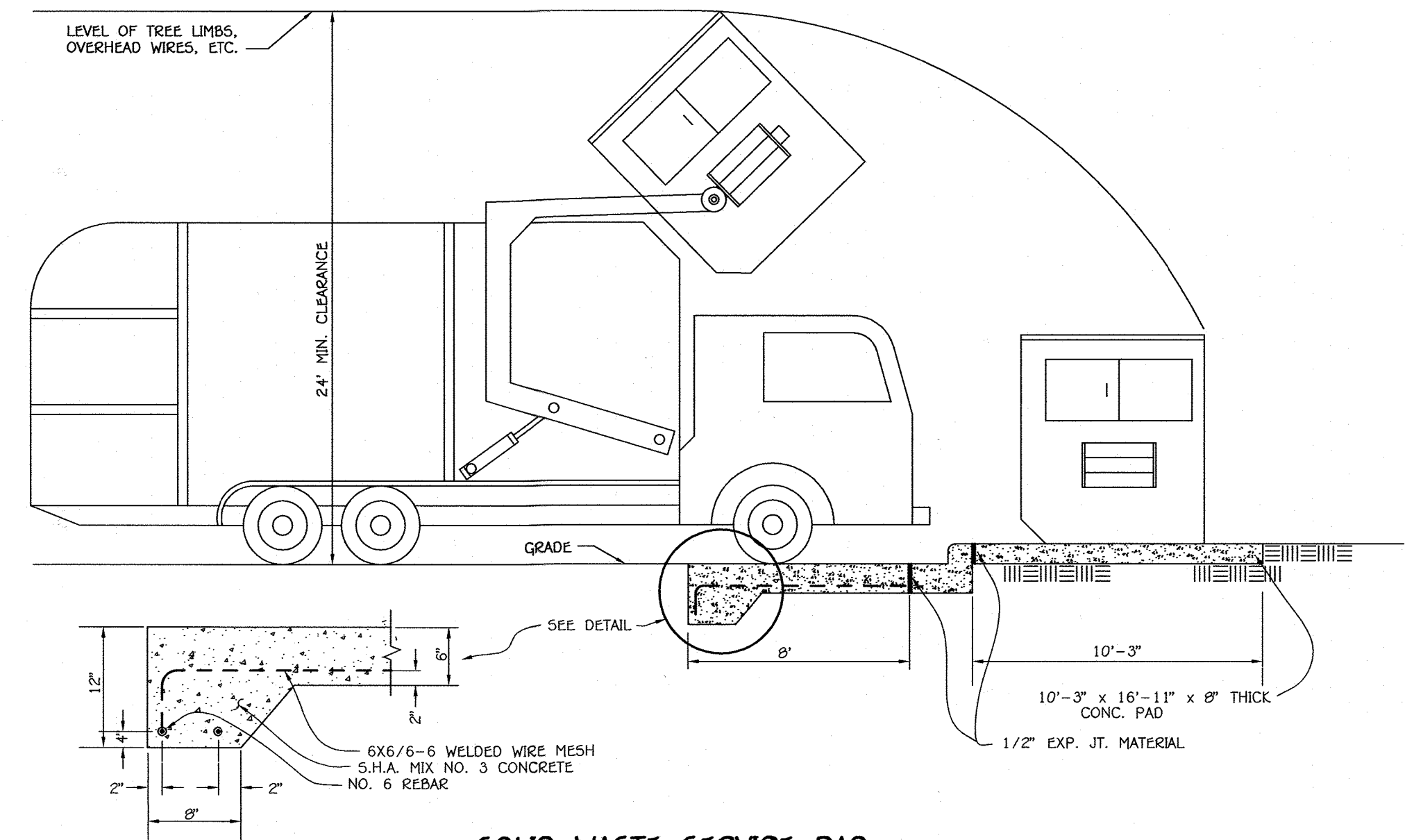
HVAC CONCRETE PAD DETAIL
NO SCALE



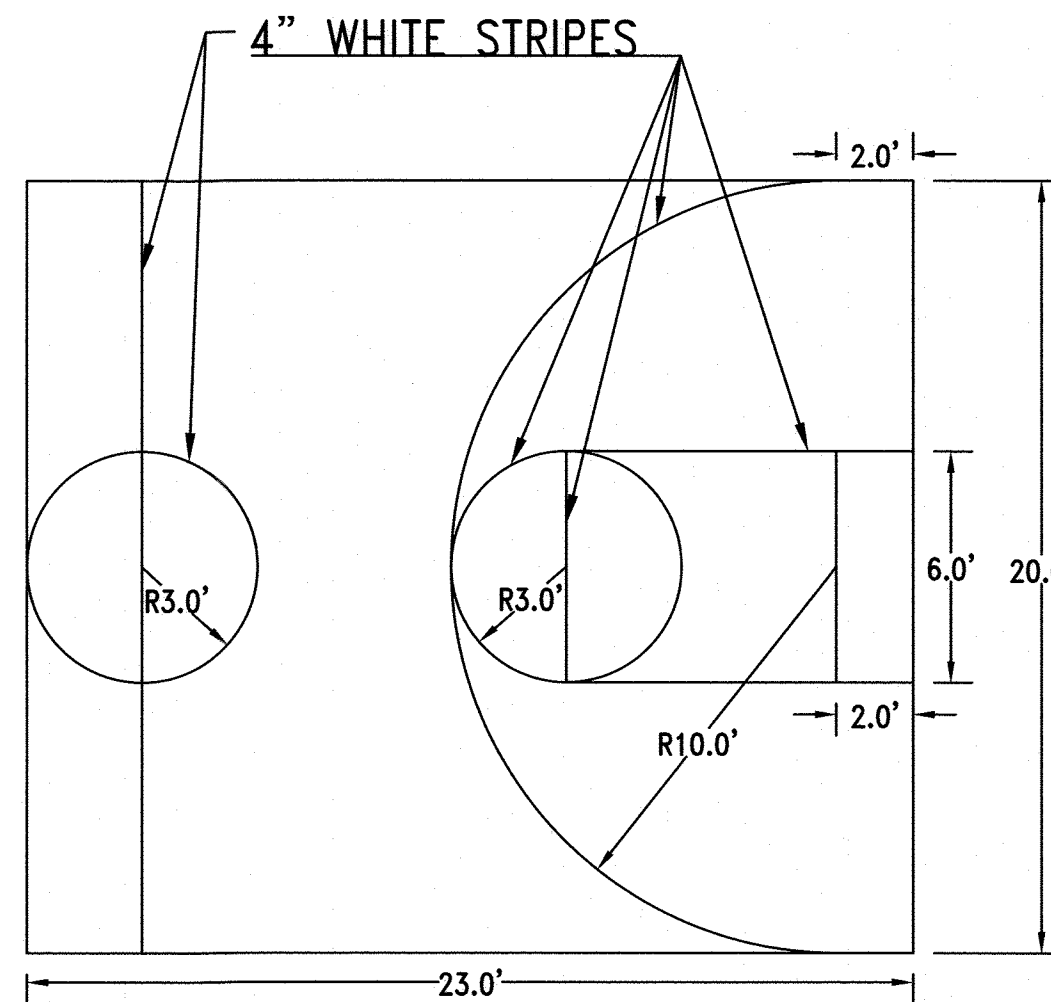
CONCRETE SIDEWALK
NO SCALE (R-3.05)



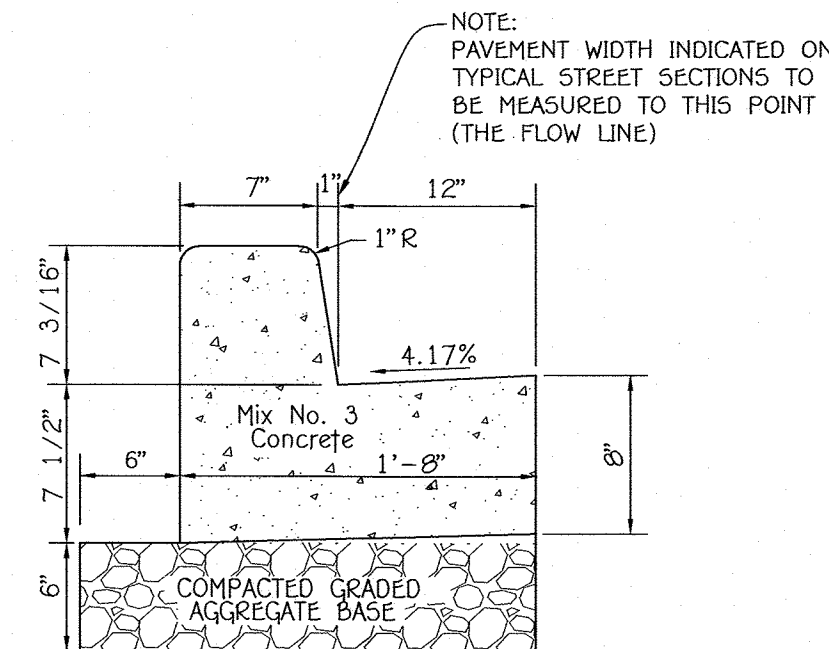
DUMPSTER ENCLOSURE DETAIL SECTION
NO SCALE



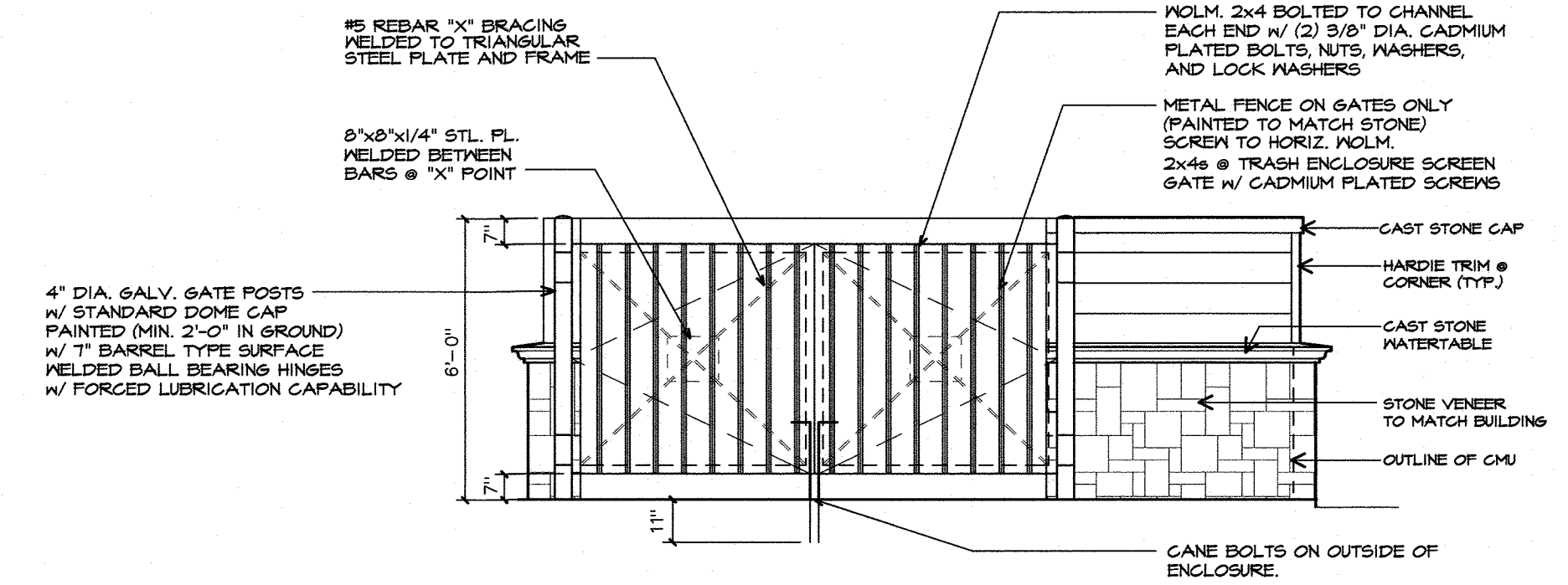
SOLID WASTE SERVICE PAD
NO SCALE



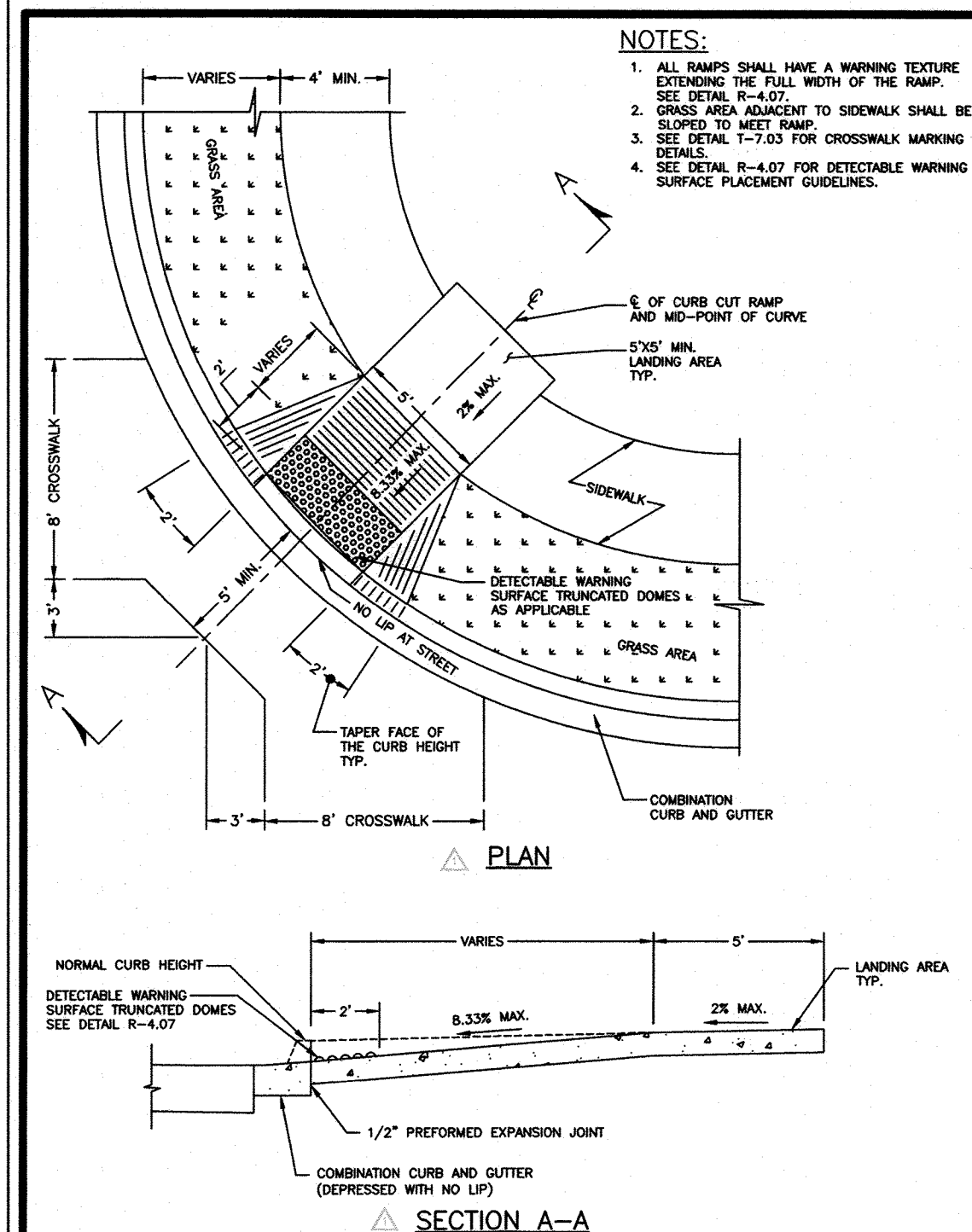
BALL COURT STRIPING DETAIL
NO SCALE



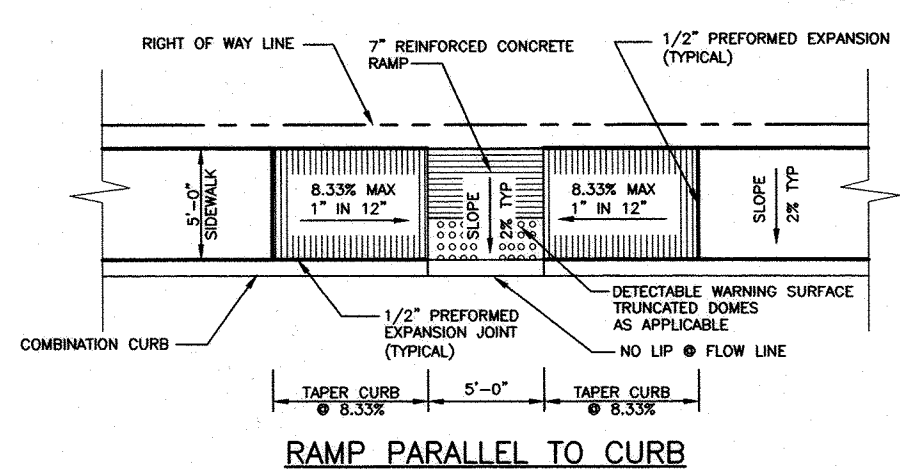
7" COMBINATION CONCRETE CURB AND GUTTER
NO SCALE (R-3.01)



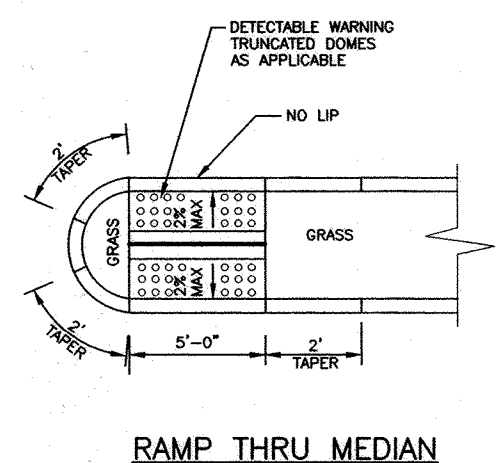
DUMPSTER ENCLOSURE WALL ELEVATION
NO SCALE



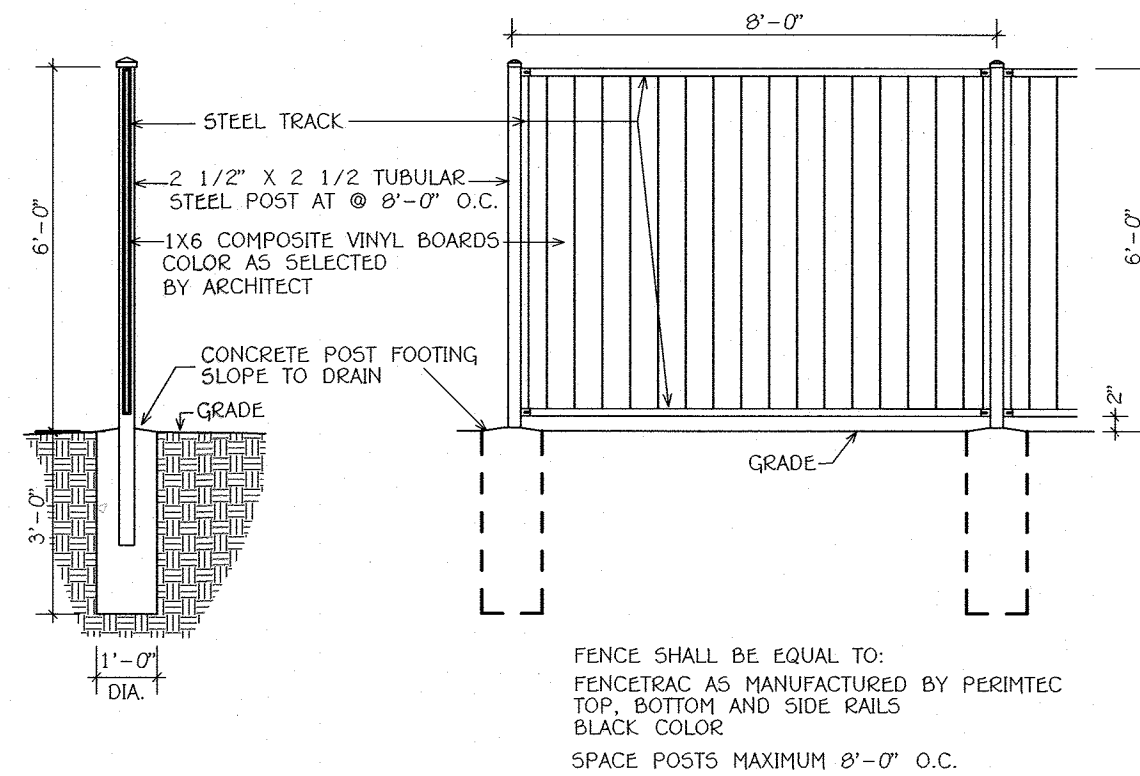
PLAN



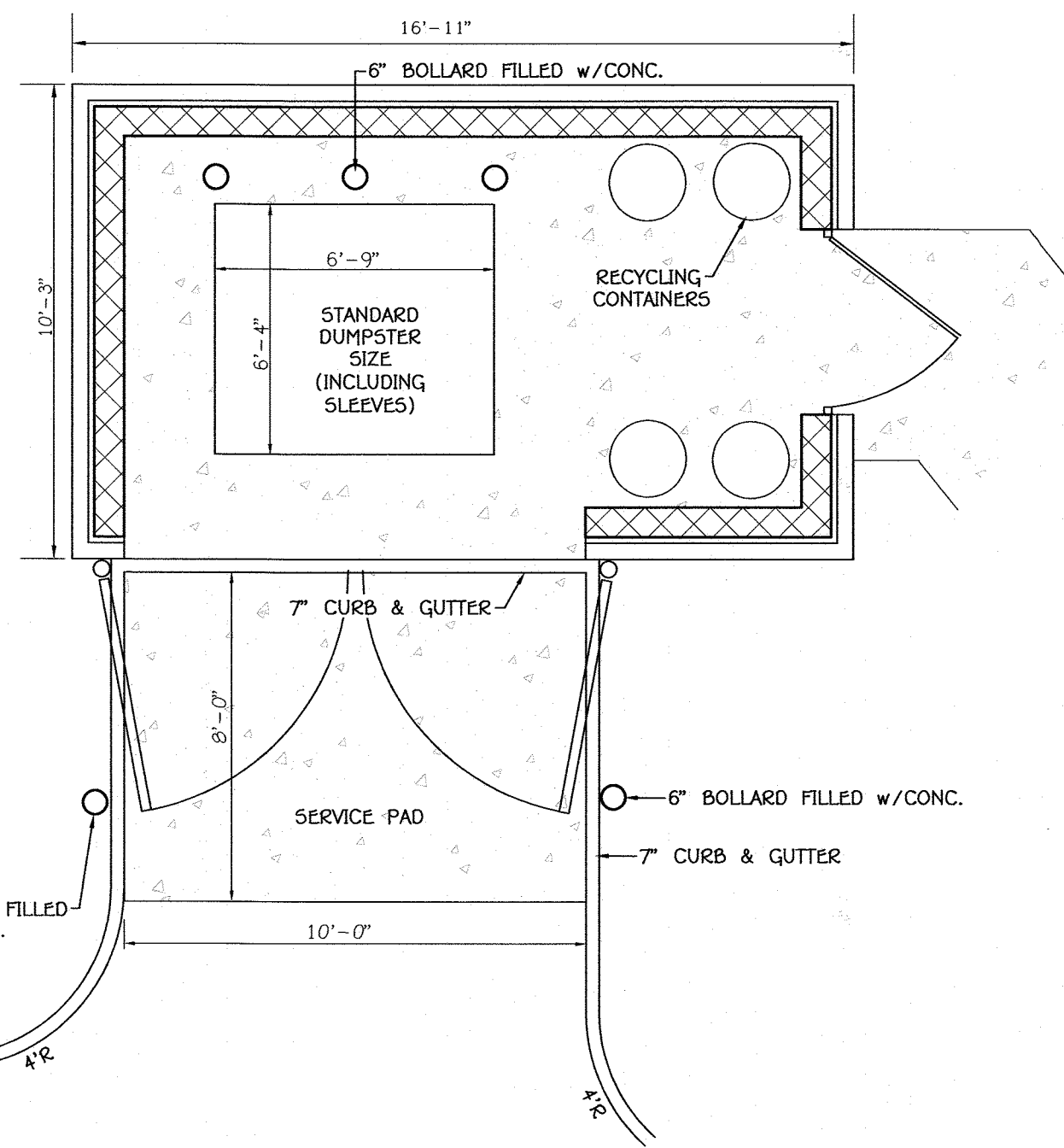
RAMP PARALLEL TO CURB



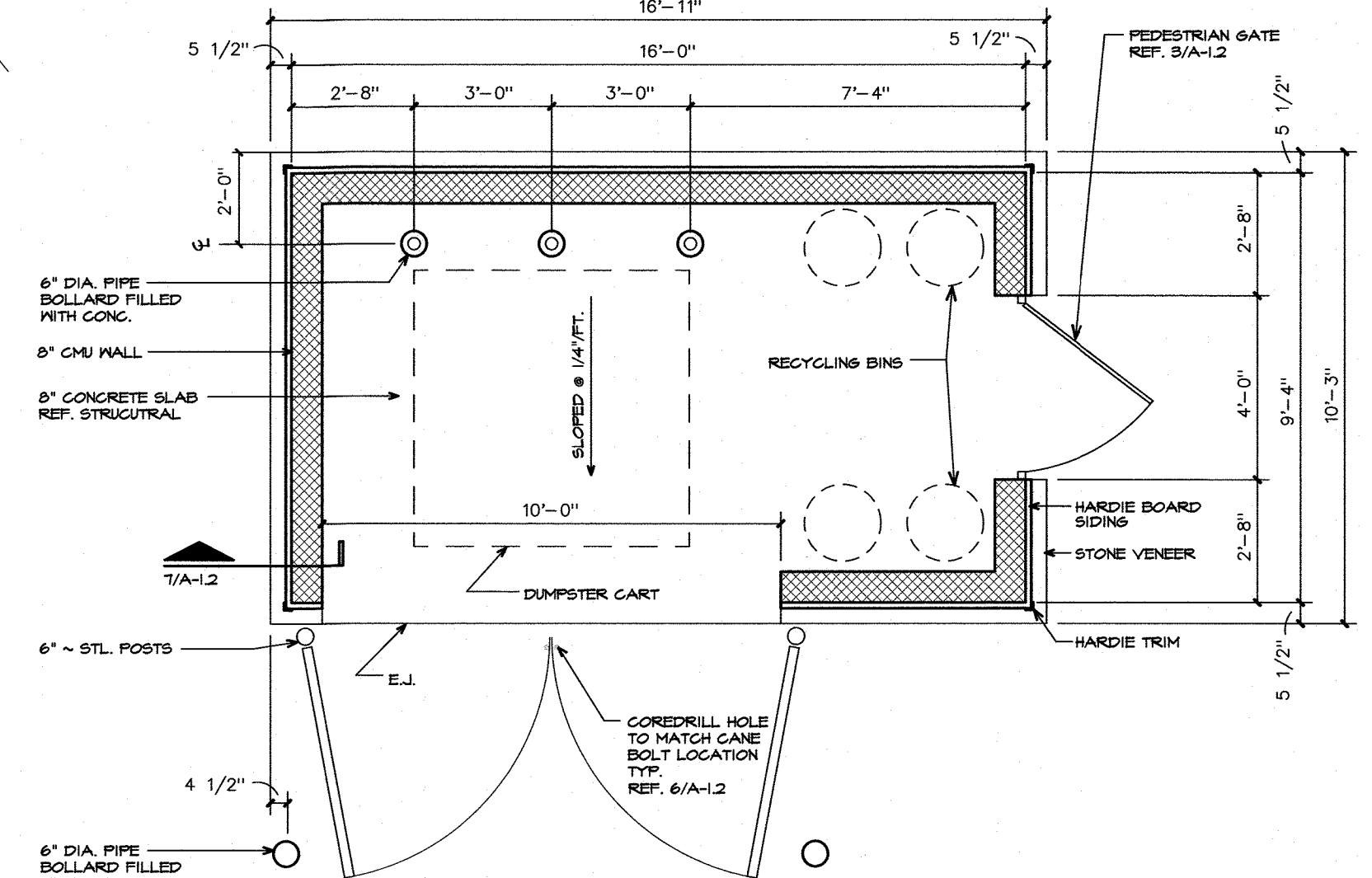
RAMP THRU MEDIAN



6" FENCE W/ COMPOSITE BOARD SCREEN
NO SCALE



SOLID WASTE CONTAINER PLAN
NO SCALE



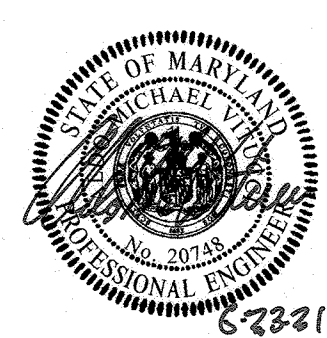
SOLID WASTE CONTAINER w/ENCLOSURE
NO SCALE

Howard County, Maryland
Department of Public Works
Sidewalk Ramp Type B Single Ramp
Detail R-4.02

Howard County, Maryland
Department of Public Works
Sidewalk Ramp Layout & Grading Parallel to Curb & Thru Median
Detail R-4.06

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

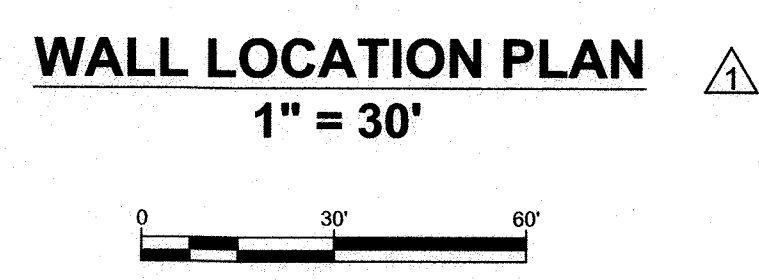
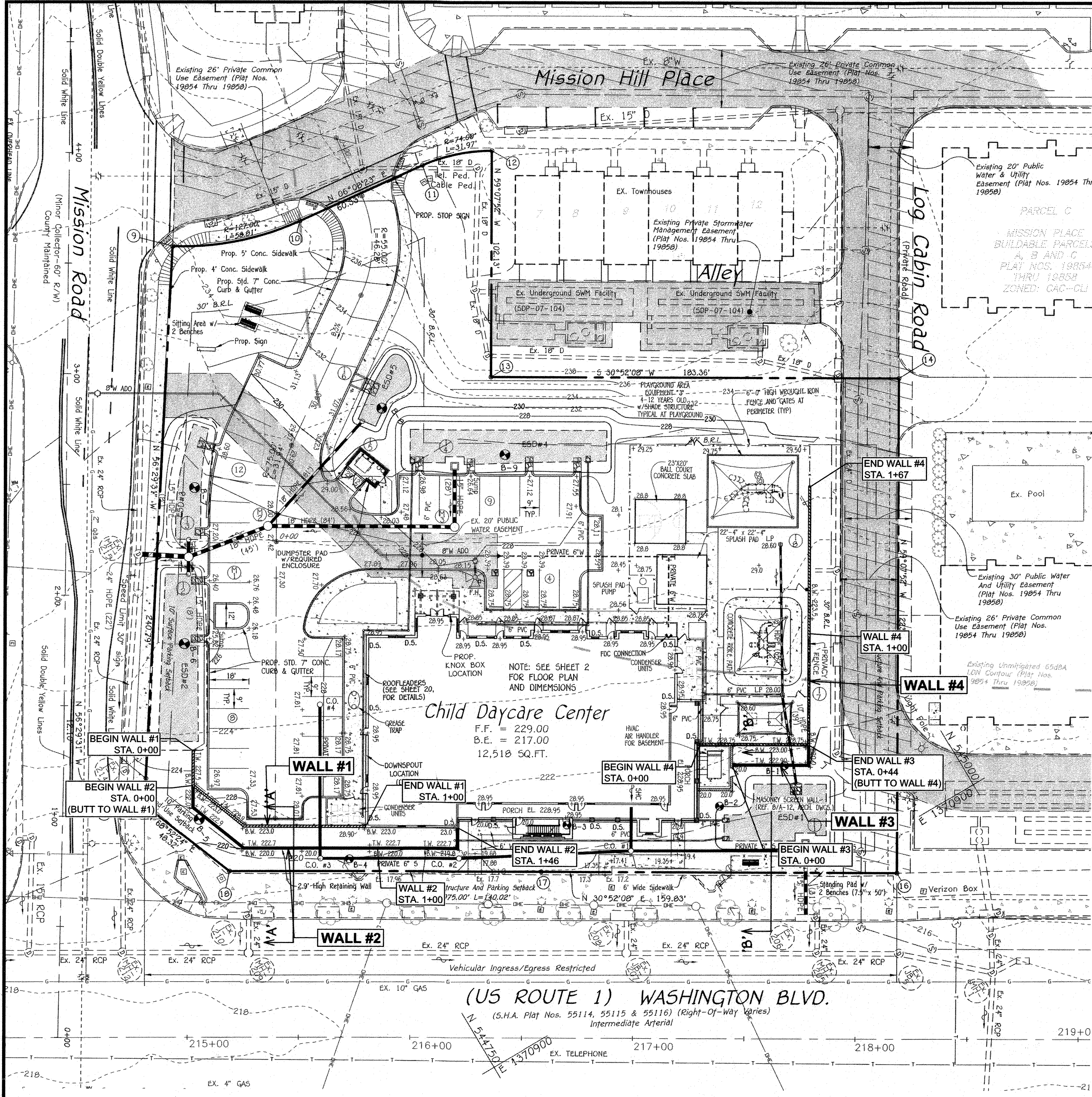
Olivia Durr 9/9/21
Chief, Division of Land Development
Abby Gowan 9-9-21
Chief, Development Engineering Division
Director - Department of Planning and Zoning



OWNER AND DEVELOPER
MILK & COOKIES, L.L.C.
4992 WILD OLIVE COURT
ELLCOTT CITY, MARYLAND 21042
ATTN: MR. AASHISH PARIKH
TEL. 443-677-5091

Site Details
Mission Place
(Children's Lighthouse Daycare)
Parcel 'B'
Mission Place, Parcel 'B' (Plat Nos. 19054-19058)
Zoned: CAC-CL1
Tax Map: 43, Grid: 14, Parcel: 214
Sixth Election District - Howard County, Maryland
Date: June 23, 2021
Scale: As Shown
Sheet 15 of 20

NO.	REVISION	DATE
Subdivision	Mission Place (Children's Lighthouse Daycare)	
Section/Area	N/A	
Parcel	Parcel 'B'	
Plat No.	# 19054-19058	
Block No.	14	
Zone	CAC-CL1	
Tax Map	43	
Elec. Dist.	6th	
Census Tr.	601101	



SPECIFICATIONS MODULAR CONCRETE BLOCK RETAINING WALL

PART 1: GENERAL

1.01 DESCRIPTION

- A. WORK SHALL CONSIST OF FURNISHING AND INSTALLING A MODULAR CONCRETE BLOCK RETAINING WALL SYSTEM IN ACCORDANCE WITH THESE SPECIFICATIONS AND IN REASONABLY CLOSE CONFORMITY WITH THE LINES, GRADES, DESIGN, AND DIMENSIONS SHOWN ON THE PLANS.
- B. WORK INCLUDES PREPARING FOUNDATION SOIL, FURNISHING AND INSTALLING LEVELING PAD, UNIT DRAINAGE FILL AND BACKFILL TO THE LINES AND GRADES SHOWN ON THE CONSTRUCTION DRAWINGS.
- C. WORK INCLUDES FURNISHING AND INSTALLING GEOGRID SOIL REINFORCEMENT OF THE TYPE, SIZE, LOCATION, AND LENGTHS DESIGNATED ON THE CONSTRUCTION DRAWINGS.

1.02 DELIVERY, STORAGE AND HANDLING

- A. CONTRACTOR SHALL CHECK ALL MATERIALS UPON DELIVERY TO ASSURE THAT THE PROPER TYPE, GRADE, COLOR, AND CERTIFICATION HAS BEEN RECEIVED.
- B. CONTRACTOR SHALL PROTECT ALL MATERIALS FROM DAMAGE DUE TO JOB SITE CONDITIONS AND IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS. DAMAGED MATERIALS SHALL NOT BE INCORPORATED INTO THE WORK.

PART 2: PRODUCTS

2.01 MODULAR CONCRETE RETAINING WALL UNITS

- A. MODULAR CONCRETE UNITS SHALL CONFORM TO THE FOLLOWING ARCHITECTURAL REQUIREMENTS:
FACE COLOR - COLOR MAY BE SPECIFIED BY THE OWNER.
FACE FINISH - SCULPTURED ROCK FACE IN ANGULAR TRI-PLANNER OR FLAT CONFIGURATION. OTHER FACE FINISHES WILL NOT BE ALLOWED WITHOUT WRITTEN APPROVAL OF OWNER.

BOND CONFIGURATION - RUNNING WITH BONDS NOMINALLY LOCATED AT MIDPOINT VERTICALLY ADJACENT UNITS, IN BOTH STRAIGHT AND CURVED ALIGNMENTS.

EXPOSED SURFACES OF UNITS SHALL BE FREE OF CHIPS, CRACKS OR OTHER IMPERFECTIONS WHEN VIEWED FROM A DISTANCE OF 10 FEET UNDER DIFFUSED LIGHTING.

- B. MODULAR CONCRETE MATERIALS SHALL CONFORM TO THE REQUIREMENTS OF ASTM C1192 - STANDARD SPECIFICATIONS FOR SEGMENTAL RETAINING WALL UNITS.

- C. MODULAR CONCRETE UNITS SHALL CONFORM TO THE FOLLOWING STRUCTURAL AND GEOMETRIC REQUIREMENTS MEASURED IN ACCORDANCE WITH APPROPRIATE REFERENCES:

COMPRESSIVE STRENGTH = 3000 PSI MINIMUM;
ABSORPTION = 8% MAXIMUM (6% IN NORTHERN STATES) FOR STANDARD WEIGHT AGGREGATES;

DIMENSIONAL TOLERANCES = ±1/8" FROM NOMINAL UNIT DIMENSIONS NOT INCLUDING ROUGH SPLIT FACE, ±1/16"

UNIT HEIGHT - TOP AND BOTTOM PLANES; UNIT SIZE - 8" (H) X 16" (W) X 12" (D) MINIMUM;

UNIT WEIGHT - 75 LBS/UNIT MINIMUM FOR STANDARD WEIGHT AGGREGATES;
INTER-UNIT SHEAR STRENGTH - 1000 PLF MINIMUM AT 2 PSI NORMAL PRESSURE; AT 2 PSI NORMAL FORCE.

GEOGRID/UNIT PEAK CONNECTION STRENGTH - 1000 PLF MINIMUM

- D. MODULAR CONCRETE UNITS SHALL CONFORM TO THE FOLLOWING CONSTRUCTABILITY REQUIREMENTS: (IF APPLICABLE)

VERTICAL SETBACK = 1/8" PER COURSE (NEAR VERTICAL) OR 1" PER COURSE PER THE DESIGN; ALIGNMENT AND GRID POSITIONING MECHANISM - FIBERGLASS PINS, TWO PER UNIT MINIMUM.

MAXIMUM HORIZONTAL GAP BETWEEN ERECTED UNITS SHALL BE 1/2 INCH.

2.02 SHEAR CONNECTORS (IF APPLICABLE)

- A. SHEAR CONNECTORS SHALL BE 1/2 INCH DIAMETER THERMOSET ISOPHTHALIC POLYESTER RESIN-PROTRUDED FIBERGLASS REINFORCEMENT RODS OR EQUIVALENT TO PROVIDE CONNECTION BETWEEN VERTICALLY AND HORIZONTALLY ADJACENT UNITS. STRENGTH OF SHEAR CONNECTORS BETWEEN VERTICAL ADJACENT UNITS SHALL BE APPLICABLE OVER A DESIGN TEMPERATURE OF 10 DEGREES F TO +100 DEGREES F. B. SHEAR CONNECTORS SHALL BE CAPABLE OF HOLDING THE GEOGRID IN THE PROPER DESIGN POSITION DURING GRID PRE-TENSIONING AND BACKFILLING.

2.03 BASE LEVELING PAD MATERIAL

- A. MATERIAL SHALL CONSIST OF A COMPACTED #57 CRUSHED STONE BASE AS SHOWN ON THE CONSTRUCTION DRAWINGS.

2.04 UNIT DRAINAGE FILL

- A. UNIT DRAINAGE FILL SHALL CONSIST OF #57 CRUSHED STONE

2.05 REINFORCED BACKFILL

- A. REINFORCED BACKFILL SHALL BE TYPE SM, FREE OF DEBRIS AND MEET THE FOLLOWING GRADATION TESTED IN ACCORDANCE WITH ASTM D-422 AND MEET OTHER PROPERTIES SHOWN ON THE PLAN.

SIEVE SIZE	PERCENT PASSING
2 INCH	100-75
3/4 INCH	100-75
NO. 40	0-60
NO. 200	0-35

PLASTICITY INDEX (PI) <10 AND LIQUID LIMIT <35 PER ASTM D-4318.

- B. MATERIAL CAN BE SITE EXCAVATED SOILS WHERE THE ABOVE REQUIREMENTS CAN BE MET. UNSUITABLE SOILS FOR BACKFILL (HIGH PLASTIC CLAYS OR ORGANIC SOILS) SHALL NOT BE USED IN THE REINFORCED SOIL MASS.

2.06 GEOGRID SOIL REINFORCEMENT

- A. GEOSYNTHETIC REINFORCEMENT SHALL CONSIST OF GEOGRIDS MANUFACTURED SPECIFICALLY FOR SOIL

REINFORCEMENT APPLICATIONS AND SHALL BE MANUFACTURED FROM HIGH TENACITY POLYESTER YARN.

2.07 DRAINAGE PIPE

- A. THE DRAINAGE PIPE SHALL BE PERFORATED CORRUGATED HDPE PIPE MANUFACTURED IN ACCORDANCE WITH ASTM D-1248.

PART 3 EXECUTION

3.01 EXCAVATION

- A. CONTRACTOR SHALL EXCAVATE TO THE LINES AND GRADES SHOWN ON THE CONSTRUCTION DRAWINGS. OWNER'S REPRESENTATIVE SHALL BE RESPONSIBLE FOR INSPECTING AND APPROVING THE EXCAVATION PRIOR TO PLACEMENT OF LEVELING MATERIAL OR FILL SOILS.

3.02 BASE LEVELING PAD

- A. LEVELING PAD MATERIAL SHALL BE PLACED TO THE LINES AND GRADES SHOWN ON THE CONSTRUCTION DRAWINGS, TO A MINIMUM THICKNESS OF 6 INCHES AND EXTEND LATERALLY A MINIMUM OF 6" IN FRONT AND BEHIND THE MODULAR WALL UNIT.
- B. LEVELING PAD SHALL BE PREPARED TO INSURE FULL CONTACT TO THE BASE SURFACE OF THE CONCRETE UNITS.

3.03 MODULAR UNIT INSTALLATION

- A. FIRST COURSE OF UNITS SHALL BE PLACED ON THE LEVELING PAD AT THE APPROPRIATE LINE AND GRADE. ALIGNMENT AND LEVEL SHALL BE CHECKED IN ALL DIRECTIONS AND INSURE THAT ALL UNITS ARE IN FULL CONTACT WITH THE BASE AND PROPERLY SEATED.
- B. PLACE THE FRONT OF UNITS SIDE-BY-SIDE. DO NOT LEAVE GAPS BETWEEN ADJACENT UNITS. LAYOUT OF CORNERS AND CURVES SHALL BE IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.
- C. INSTALL SHEAR/CONNECTING DEVICES PER MANUFACTURER'S RECOMMENDATIONS.
- D. PLACE AND COMPACT DRAINAGE FILL WITHIN AND BEHIND WALL UNITS. PLACE AND COMPACT BACKFILL SOIL BEHIND DRAINAGE FILL. FOLLOW WALL ERECTION AND DRAINAGE FILL CLOSELY WITH STRUCTURE BACKFILL.
- E. MAXIMUM STACKED VERTICAL HEIGHT OF WALL UNITS, PRIOR TO UNIT DRAINAGE FILL AND BACKFILL PLACEMENT AND COMPACTION, SHALL NOT EXCEED THREE COURSES.

3.04 STRUCTURAL GEOGRID INSTALLATION

- A. GEOGRID SHALL BE ORIENTED WITH THE HIGHEST STRENGTH AXIS PERPENDICULAR TO THE WALL ALIGNMENT.
- B. GEOGRID REINFORCEMENT SHALL BE PLACED AT THE STRENGTHS, LENGTHS, AND ELEVATIONS SHOWN ON THE CONSTRUCTION DESIGN DRAWINGS OR AS DIRECTED BY THE ENGINEER.
- C. THE GEOGRID SHALL BE LAID HORIZONTALLY ON COMPACTED BACKFILL AND ATTACHED TO THE MODULAR WALL UNITS. PLACE THE NEXT COURSE OF MODULAR CONCRETE UNITS OVER THE GEOGRID. THE GEOGRID SHALL BE PULLED TAUT, AND ANCHORED PRIOR TO BACKFILL PLACEMENT ON THE GEOGRID.

- D. GEOGRID REINFORCEMENTS SHALL BE CONTINUOUS THROUGHOUT THEIR EMBEDMENT LENGTHS AND PLACED SIDE-BY-SIDE TO PROVIDE 100% COVERAGE AT EACH LEVEL. SPLICED CONNECTIONS BETWEEN SHORTER PIECES OF GEOGRID OR GAPS BETWEEN ADJACENT PIECES OF GEOGRID ARE NOT PERMITTED.

3.05 REINFORCED BACKFILL PLACEMENT

- A. REINFORCED BACKFILL SHALL BE PLACED, SPREAD, AND COMPACTED IN SUCH A MANNER THAT MINIMIZES THE DEVELOPMENT OF SLACK IN THE GEOGRID AND INSTALLATION DAMAGE.
- B. REINFORCED BACKFILL SHALL BE PLACED AND COMPACTED IN LIFTS NOT TO EXCEED 6 INCHES WHERE HAND COMPACTION IS USED, OR 8 - 10 INCHES WHERE HEAVY COMPACTION EQUIPMENT IS USED. LIFT THICKNESS SHALL BE DECREASED TO ACHIEVE THE REQUIRED DENSITY AS REQUIRED.
- C. REINFORCED BACKFILL SHALL BE COMPACTED TO 95% OF THE MAXIMUM DENSITY AS DETERMINED BY ASTM D698. THE MOISTURE CONTENT OF THE BACKFILL MATERIAL PRIOR TO AND DURING COMPACTION SHALL BE UNIFORMLY DISTRIBUTED THROUGHOUT EACH LAYER AND SHALL BE + 3% TO - 3% OF OPTIMUM.
- D. ONLY LIGHTWEIGHT HAND-OPERATED EQUIPMENT SHALL BE ALLOWED WITHIN 3 FEET FROM THE TAIL OF THE MODULAR CONCRETE UNIT.

- E. TRACKED CONSTRUCTION EQUIPMENT SHALL NOT BE OPERATED DIRECTLY UPON THE GEOGRID REINFORCEMENT. A MINIMUM FILL THICKNESS OF 6 INCHES IS REQUIRED PRIOR TO OPERATION OF TRACKED VEHICLES OVER THE GEOGRID. TRACKED VEHICLE TURNING SHOULD BE KEPT TO A MINIMUM TO PREVENT TRACKS FROM DISPLACING THE FILL AND DAMAGING THE GEOGRID.
- F. RUBBER Tired EQUIPMENT MAY PASS OVER GEOGRID REINFORCEMENT AT SLOW SPEEDS, LESS THAN 10 MPH. SUDDEN BRAKING AND SHARP TURNING SHALL BE AVOIDED.
- G. AT THE END OF EACH DAY'S OPERATION, THE CONTRACTOR SHALL SLOPE THE LAST LIFT OF REINFORCED BACKFILL AWAY FROM THE WALL UNITS TO DIRECT RUNOFF AWAY FROM WALL FACE. THE CONTRACTOR SHALL NOT ALLOW SURFACE RUNOFF FROM ADJACENT AREAS TO ENTER THE WALL CONSTRUCTION SITE.

3.06 CAP INSTALLATION

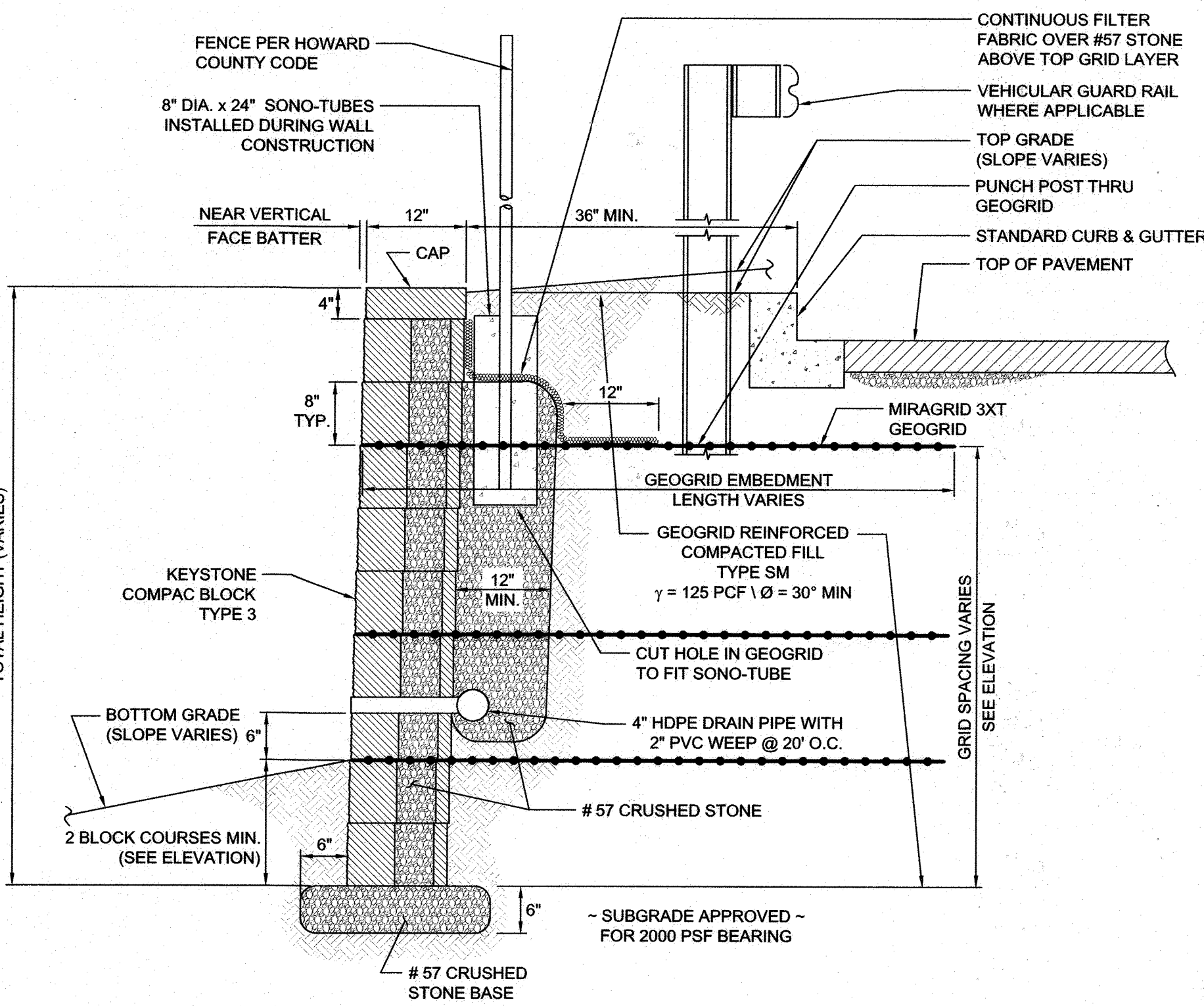
- A. CAP UNITS SHALL BE GLUED TO UNDERLYING UNITS WITH AN ALL-WEATHER ADHESIVE RECOMMENDED BY THE MANUFACTURER.

3.07 FIELD QUALITY CONTROL

- A. THE OWNER SHALL ENGAGE INSPECTION AND TESTING SERVICES, INCLUDING INDEPENDENT LABORATORIES, TO PROVIDE QUALITY ASSURANCE AND TESTING SERVICES DURING CONSTRUCTION.
- B. AS A MINIMUM, QUALITY ASSURANCE TESTING SHOULD INCLUDE FOUNDATION SOIL INSPECTION, SOIL AND BACKFILL TESTING, VERIFICATION OF DESIGN PARAMETERS, AND OBSERVATION OF CONSTRUCTION FOR GENERAL COMPLIANCE WITH DESIGN DRAWINGS AND SPECIFICATIONS.

HOWARD COUNTY NOTES:

1. NO TREES SHALL BE PLANTED WITHIN 10 FEET OF THE TOP OF THE RETAINING WALL.
2. RETAINING WALLS SHALL ONLY BE CONSTRUCTED UNDER THE OBSERVATION OF A REGISTERED PROFESSIONAL ENGINEER AND A (NICET, WAQEC, OR EQUIVALENT) CERTIFIED SOILS TECHNICIAN.
3. ONE SOIL BORING SHALL BE REQUIRED EVERY ONE HUNDRED FEET ALONG THE ENTIRE LENGTH OF THE WALL. COPIES OF ALL BORING REPORTS SHALL BE PROVIDED TO THE HOWARD COUNTY INSPECTOR PRIOR TO THE START OF CONSTRUCTION.
4. THE REQUIRED BEARING PRESSURE BENEATH THE WALL SYSTEM SHALL BE VERIFIED IN THE FIELD BY A CERTIFIED SOILS TECHNICIAN. TESTING DOCUMENTATION MUST BE PROVIDED TO THE HOWARD COUNTY INSPECTOR PRIOR TO START OF CONSTRUCTION. THE REQUIRED BEARING TEST SHALL BE THE DYNAMIC CONE PENETROMETER TEST ASTM STP-399.
5. THE SUITABILITY OF FILL MATERIAL SHALL BE CONFIRMED BY THE ON-SITE SOILS TECHNICIAN. EACH 8' LIFT MUST BE COMPACTED TO A MINIMUM OF 95% STANDARD PROCTOR DENSITY AND THE TESTING REPORT SHALL BE MADE AVAILABLE TO THE HOWARD COUNTY INSPECTOR UPON COMPLETION OF CONSTRUCTION.
6. WALLS SHALL NOT BE CONSTRUCTED ON UNCERTIFIED FILL MATERIALS.
7. WALLS SHALL NOT BE CONSTRUCTED WITHIN A HOWARD COUNTY RIGHT-OF-WAY OR EASEMENT.



TYPICAL WALL SECTION
N.T.S.

APPROVED - HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

[Signature] 9/9/21
CHIEF, DIVISION OF LAND DEVELOPMENT DATE

[Signature] 7/1/21
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

[Signature] 9-9-21
DIRECTOR, DEPARTMENT OF PLANNING AND ZONING DATE

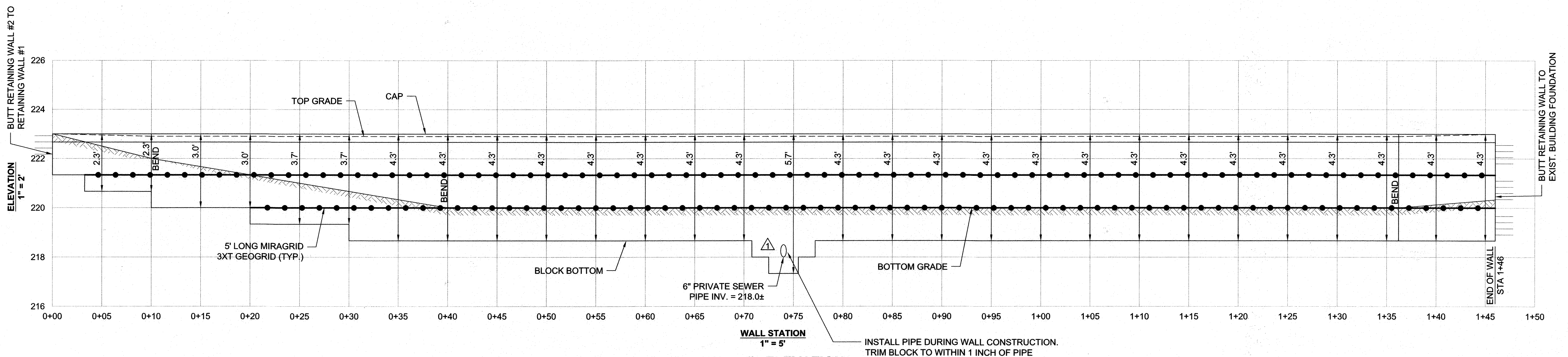
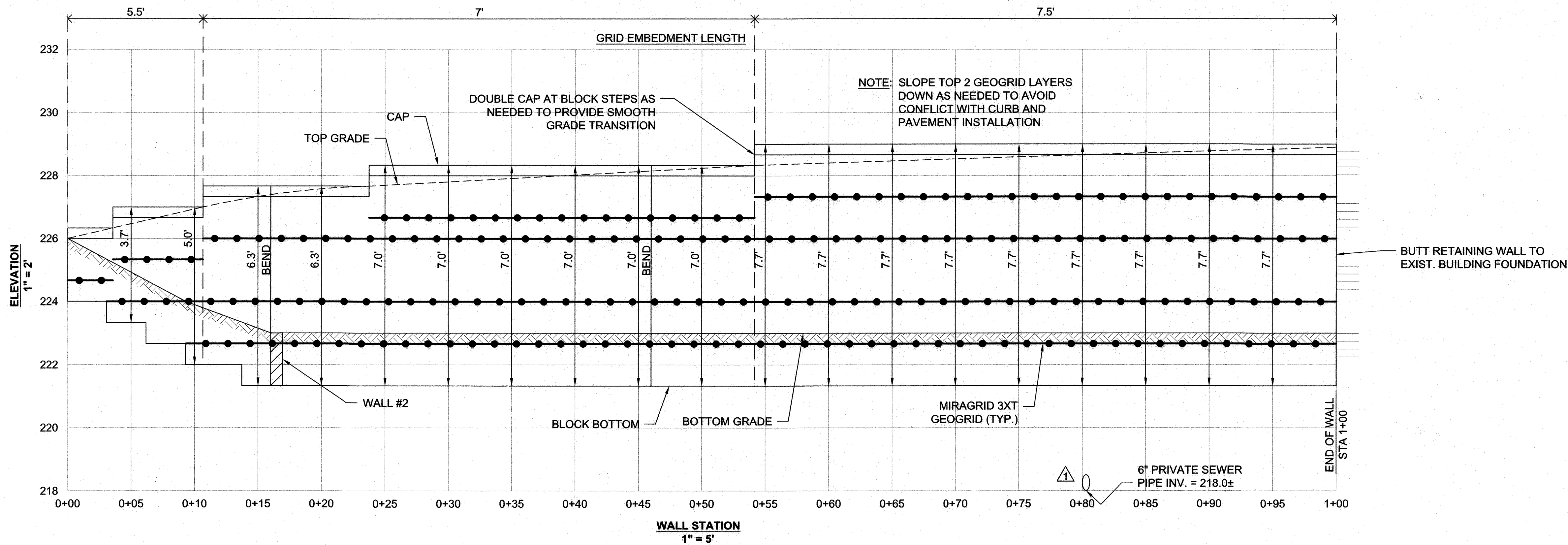
HILLIS-CARNES
ENGINEERING ASSOCIATES
10975 Guilford Road, Suite A Annapolis Junction, Maryland
(410) 880-4788 WWW.HCEA.COM Fax: (410) 880-4098

OWNER AND DEVELOPER
MISSION ROAD INVESTORS, LLC
C/O THE DOLBEN CO. INC.
150 PRESIDENTIAL WAY, SUITE 220
WOBURN, MAINE 01801-1121
PROPERTY ADDRESS
8150 MISSION ROAD

PROFESSIONAL CERTIFICATION
I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.
LICENSE NO. 14808
EXPIRATION DATE: 9/27/22

[Signature]
TIMOTHY B. HINDS
PROFESSIONAL ENGINEER

CHILDREN'S LIGHTHOUSE DAYCARE
PARCEL 'B'
ZONED: CAC-CU
TAX MAP: 43, GRID: 14, PARCEL: 214
SIXTH ELECTION DISTRICT - HOWARD COUNTY, MARYLAND
DATE: DECEMBER 2, 2019
SCALE: AS SHOWN
SHEET 16 OF 20



HILLIS-CARNES
ENGINEERING ASSOCIATES

10975 Guilford Road, Suite A Annapolis Junction, Maryland
(410) 880-4788 WWW.HCEA.COM Fax: (410) 880-4098

PROJ. NO. 19722-A DATE SCALE
DESIGNED BY HM DRAWN BY HM APPROVED RWS SHEET

OWNER AND DEVELOPER
MISSION ROAD INVESTORS, LLC
C/O THE DOLBEN CO. INC.
150 PRESIDENTIAL WAY, SUITE 220
WOBURN, MAINE 01801-1121
PROPERTY ADDRESS
8150 MISSION ROAD

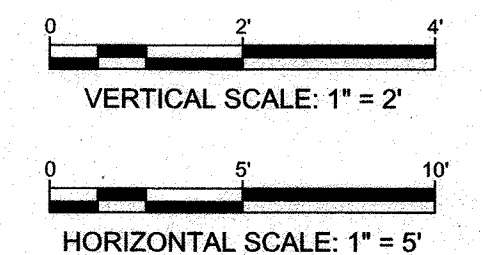
APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

[Signature] 9/9/21
CHIEF, DIVISION OF LAND DEVELOPMENT DATE

[Signature] 7/2/21
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

[Signature] 9-9-21
DIRECTOR - DEPARTMENT OF PLANNING AND ZONING DATE

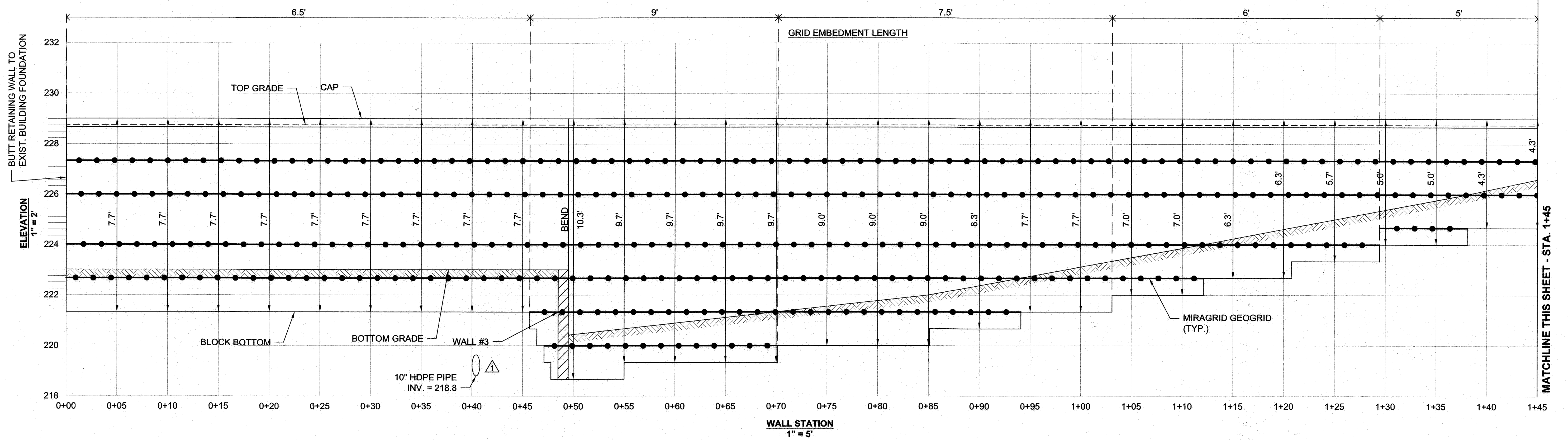
REV. NO.	DESCRIPTION	DATE
Δ	6" PRIVATE SEWER PIPE CROSSING ADDED	11/18/20



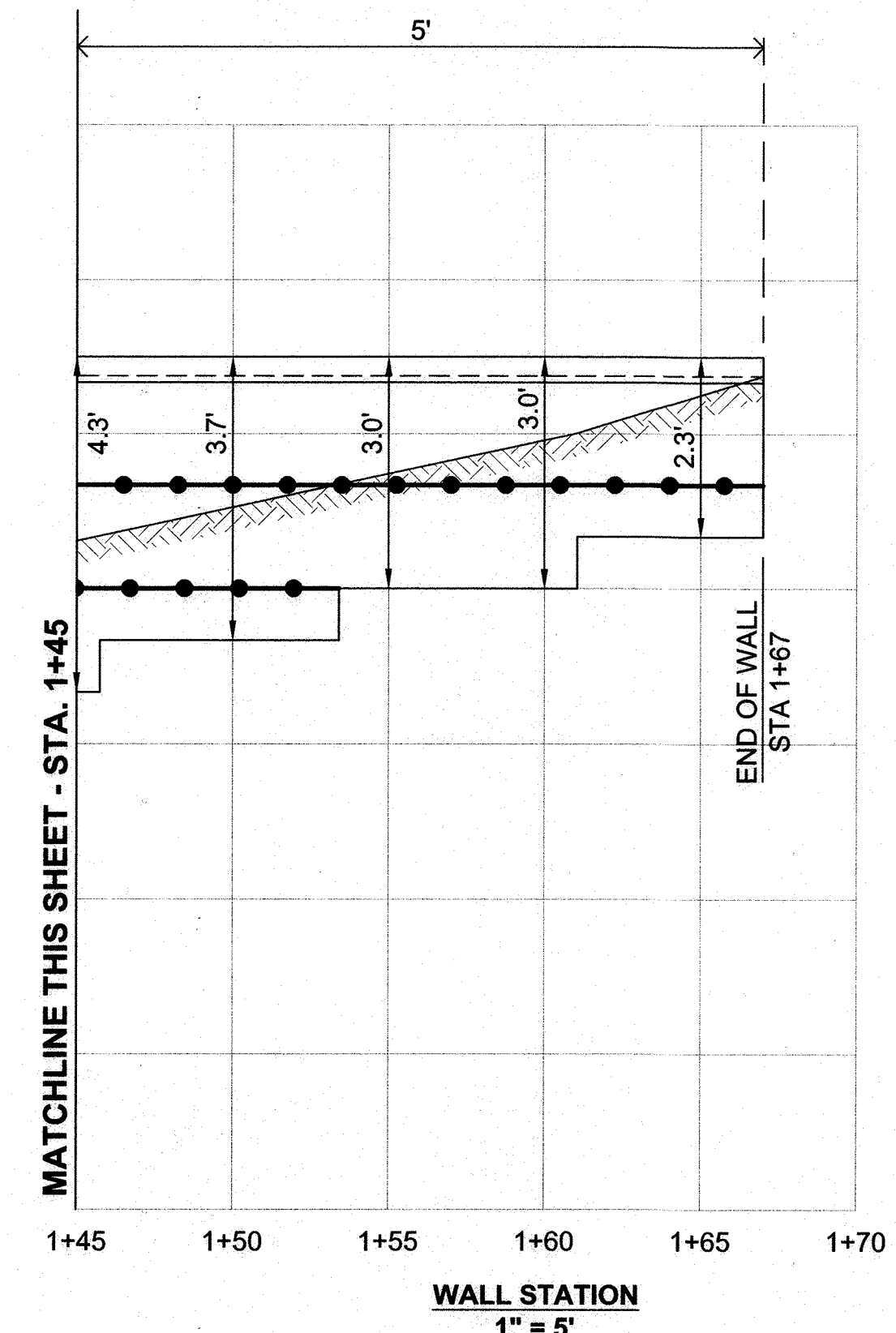
PROFESSIONAL CERTIFICATION
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LICENSE NO. 14808
EXPIRATION DATE: 02/27/22

CHILDREN'S LIGHTHOUSE DAYCARE
PARCEL 'B'
ZONED: CAC-CU
TAX MAP: 43, GRID: 14, PARCEL: 214
SIXTH ELECTION DISTRICT - HOWARD COUNTY, MARYLAND
DATE: DECEMBER 2, 2019
SCALE: AS SHOWN
SHEET 17 OF 20

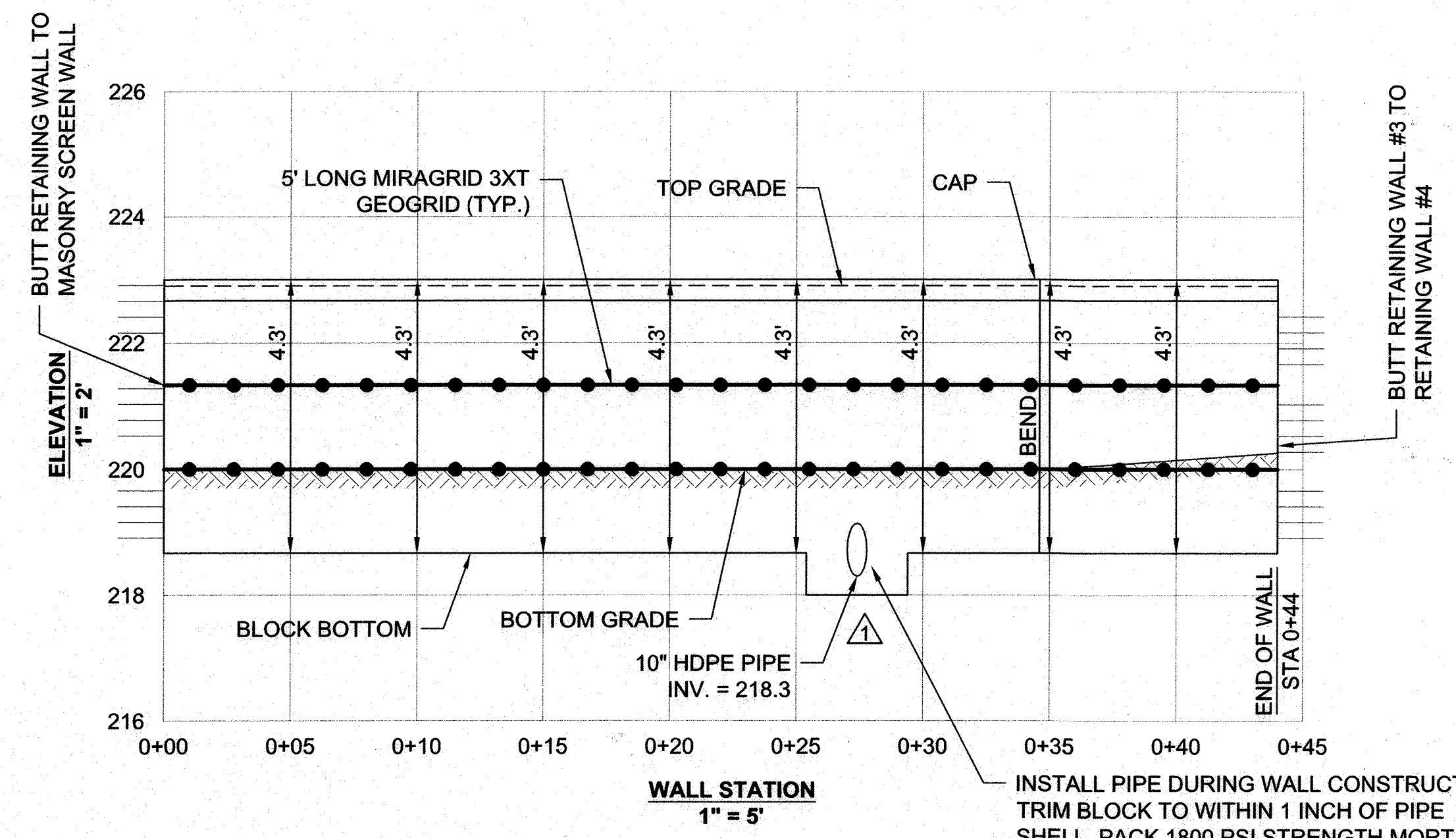
STATE OF MARYLAND
TIMOTHY B. HILL
PROFESSIONAL ENGINEER
14808



WALL #4 ELEVATION

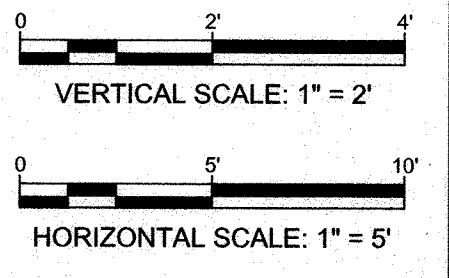


WALL #4 ELEVATION



WALL #3 ELEVATION

INSTALL PIPE DURING WALL CONSTRUCTION. TRIM BLOCK TO WITHIN 1 INCH OF PIPE SHELL. PACK 1800 PSI STRENGTH MORTAR INTO BLOCK VOIDS WITHIN 12" AROUND PERIMETER OF PIPE FOR FULL BLOCK DEPTH.



HILLIS-CARNES
ENGINEERING ASSOCIATES
10975 Guilford Road, Suite A Annapolis Junction, Maryland
(410) 880-4788 WWW.HCEA.COM Fax: (410) 880-4098

OWNER AND DEVELOPER
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C/O THE DOLBEN CO. INC.
150 PRESIDENTIAL WAY, SUITE 220
WOBURN, MAINE 01801-1121
PROPERTY ADDRESS
8150 MISSION ROAD

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

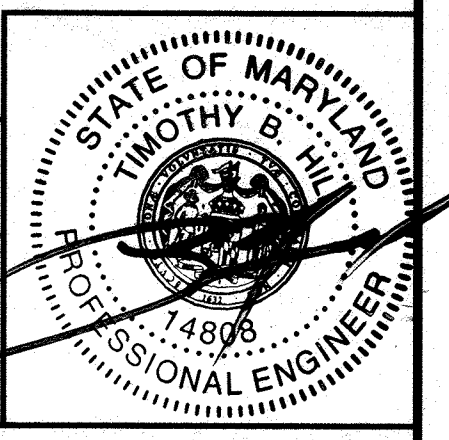
[Signature] 9/9/21
CHIEF, DIVISION OF LAND DEVELOPMENT DATE

[Signature] 7/14/21
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

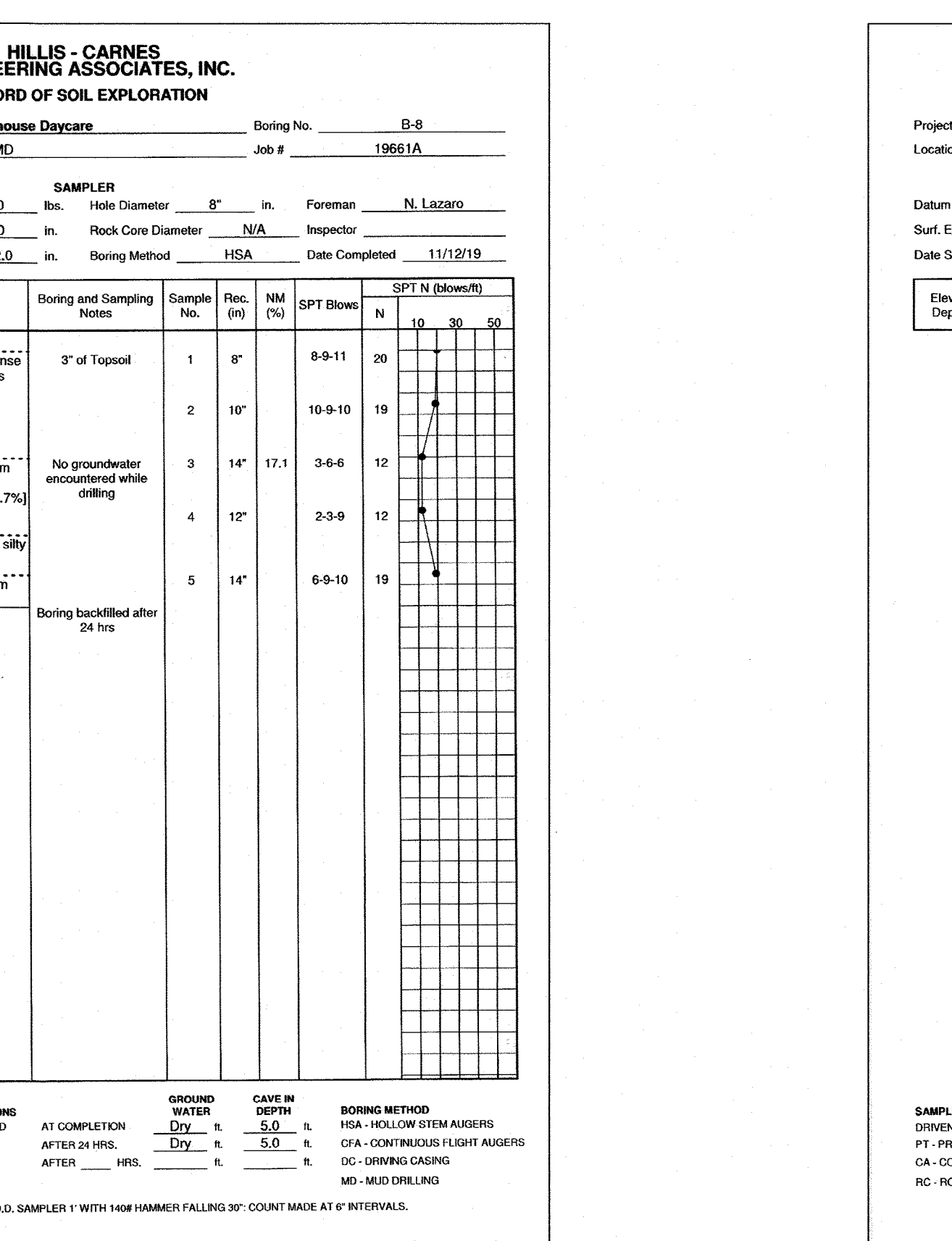
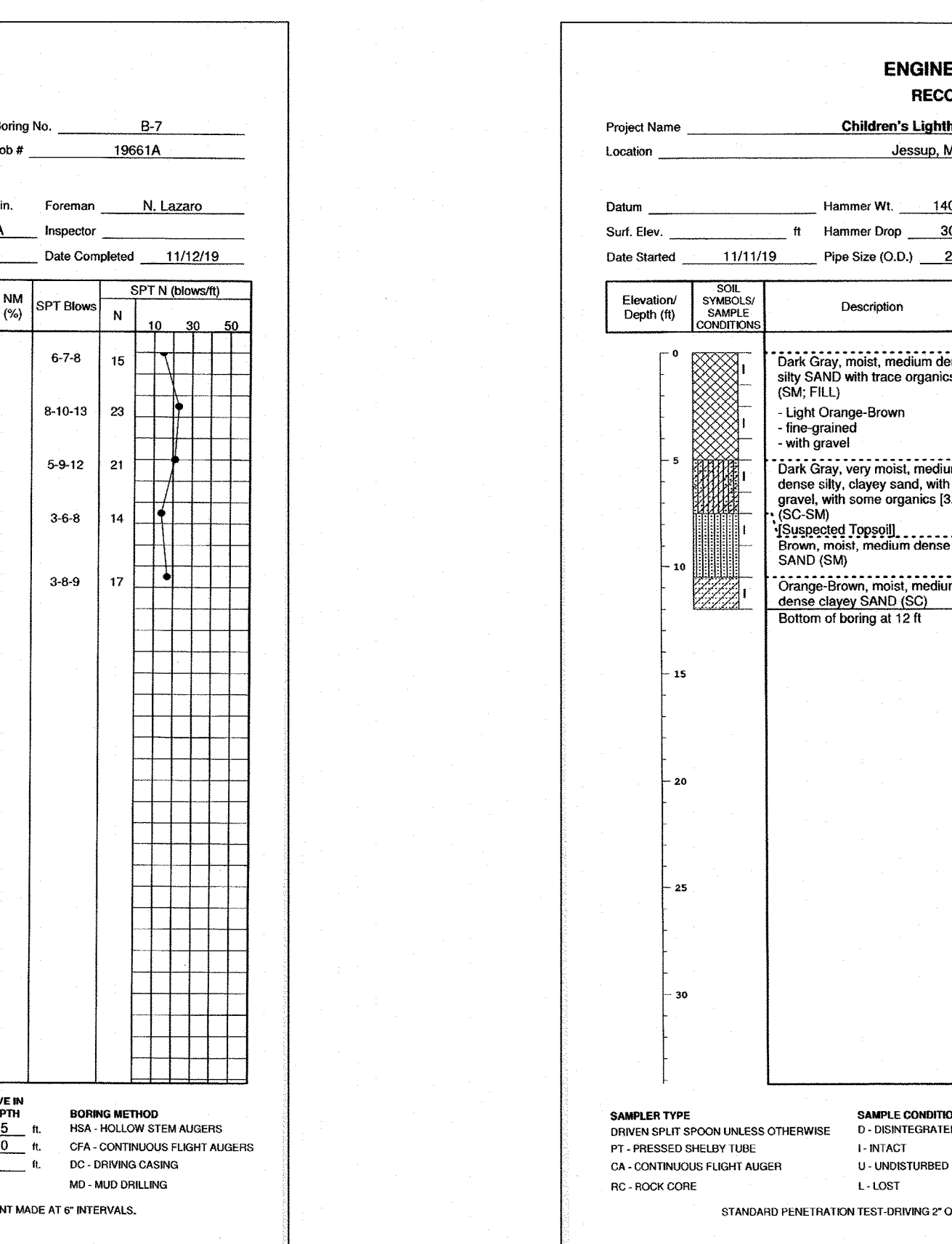
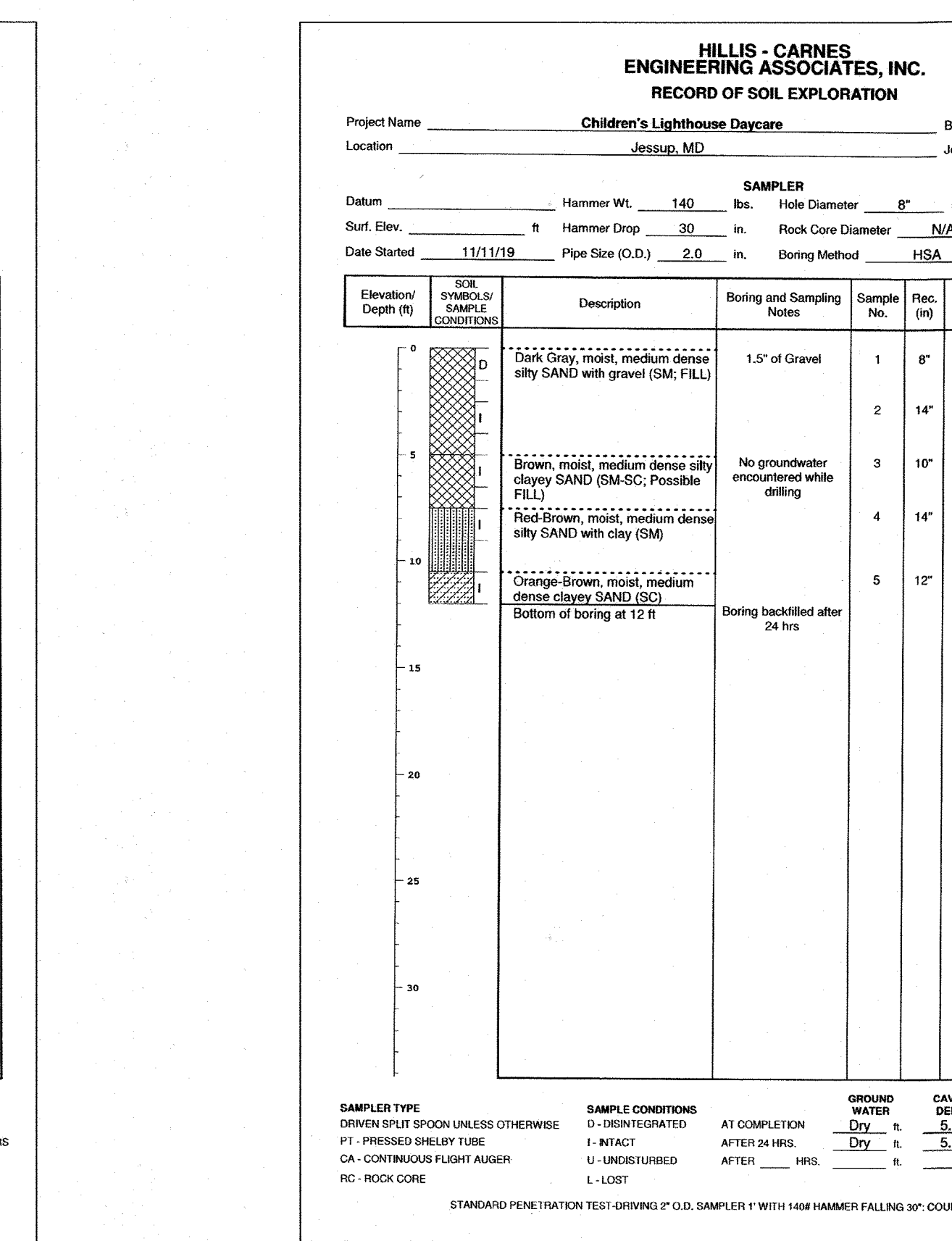
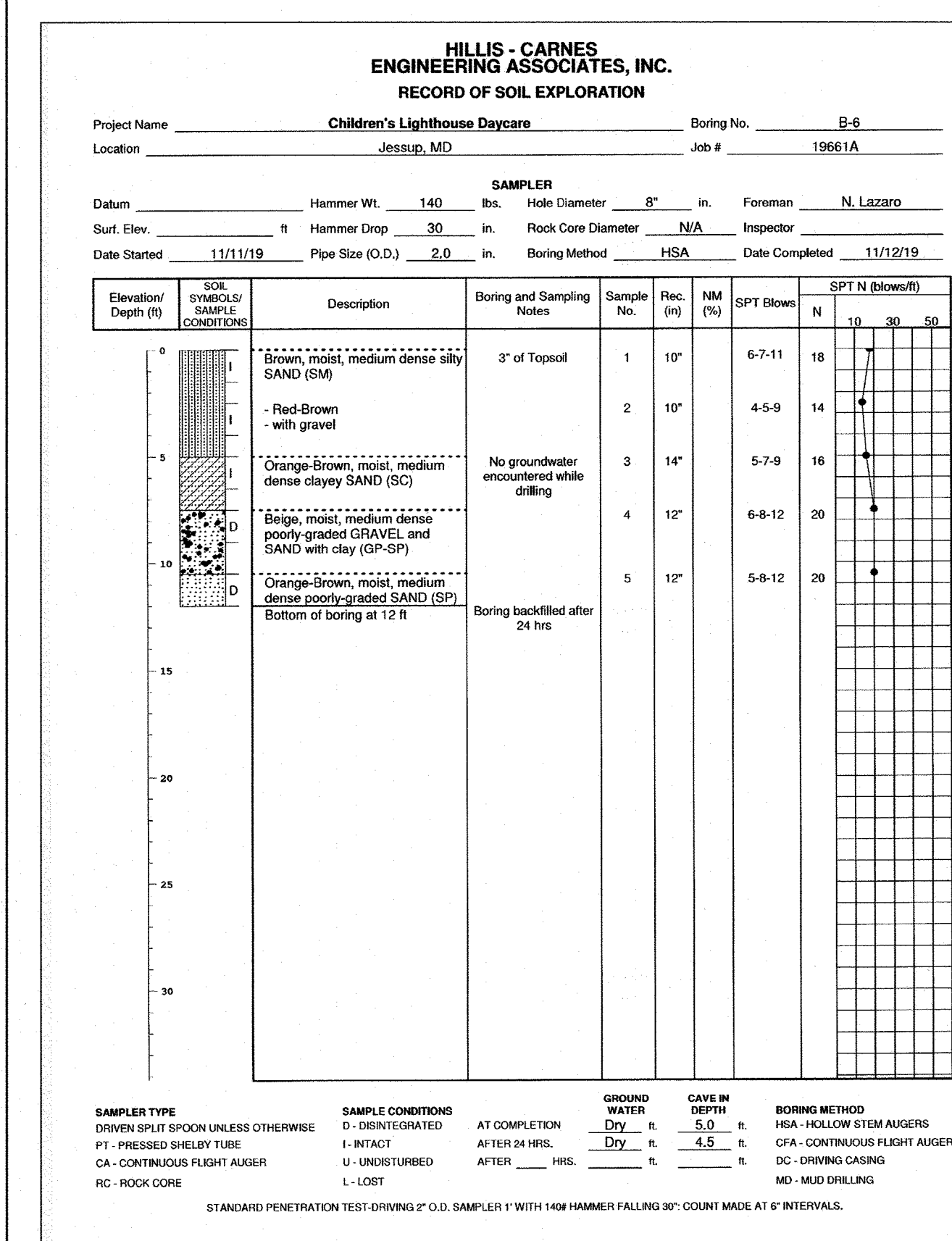
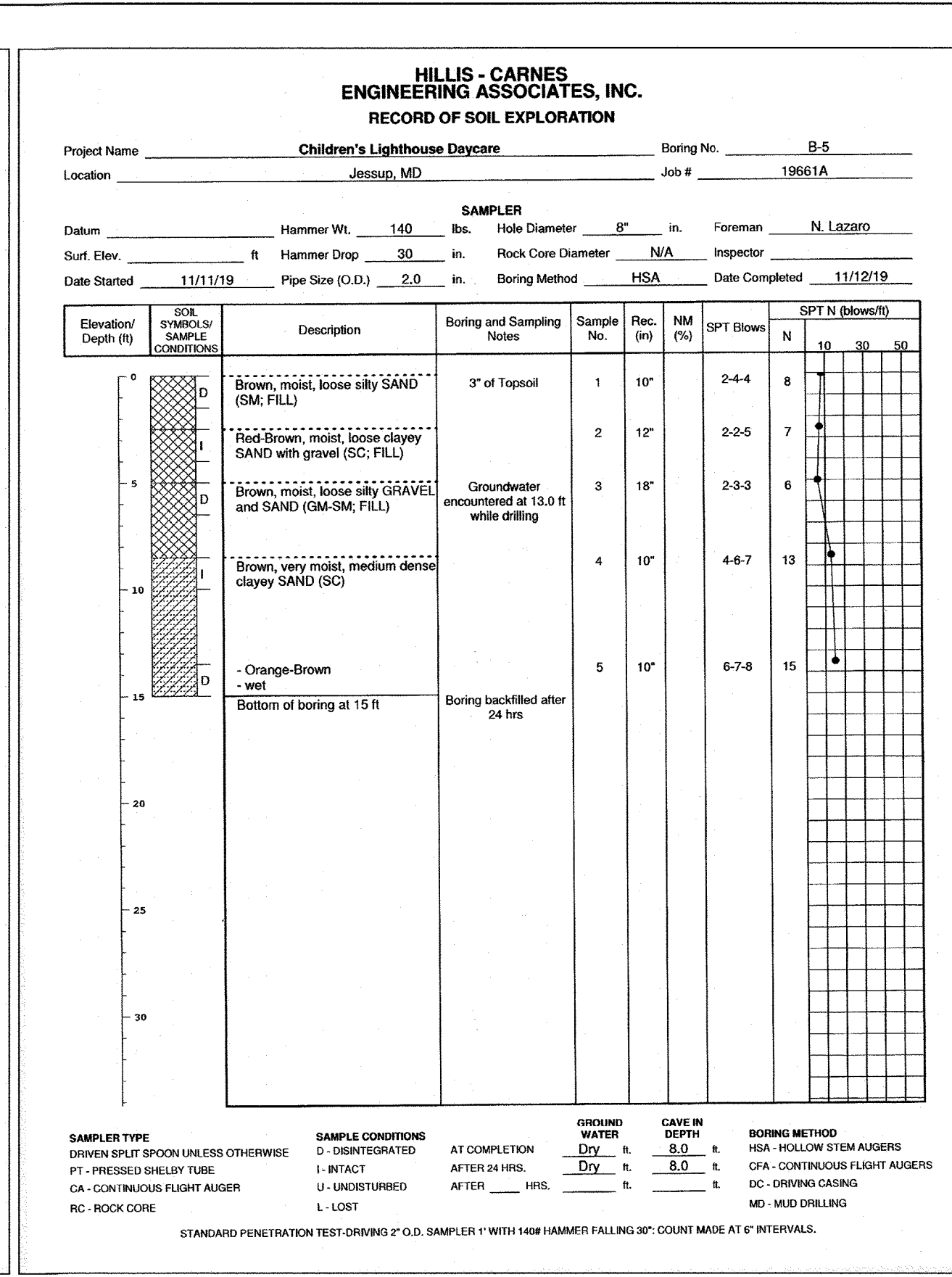
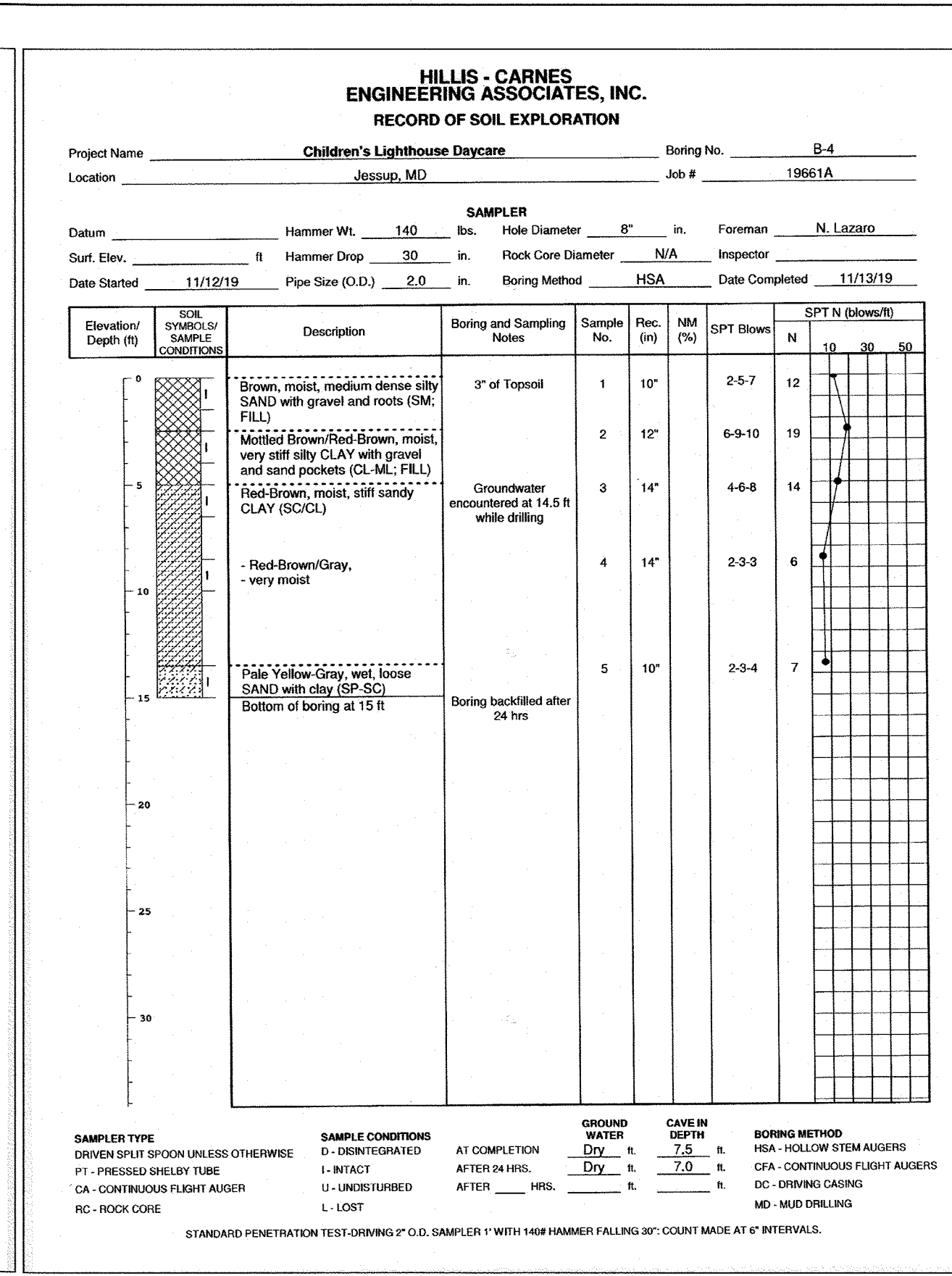
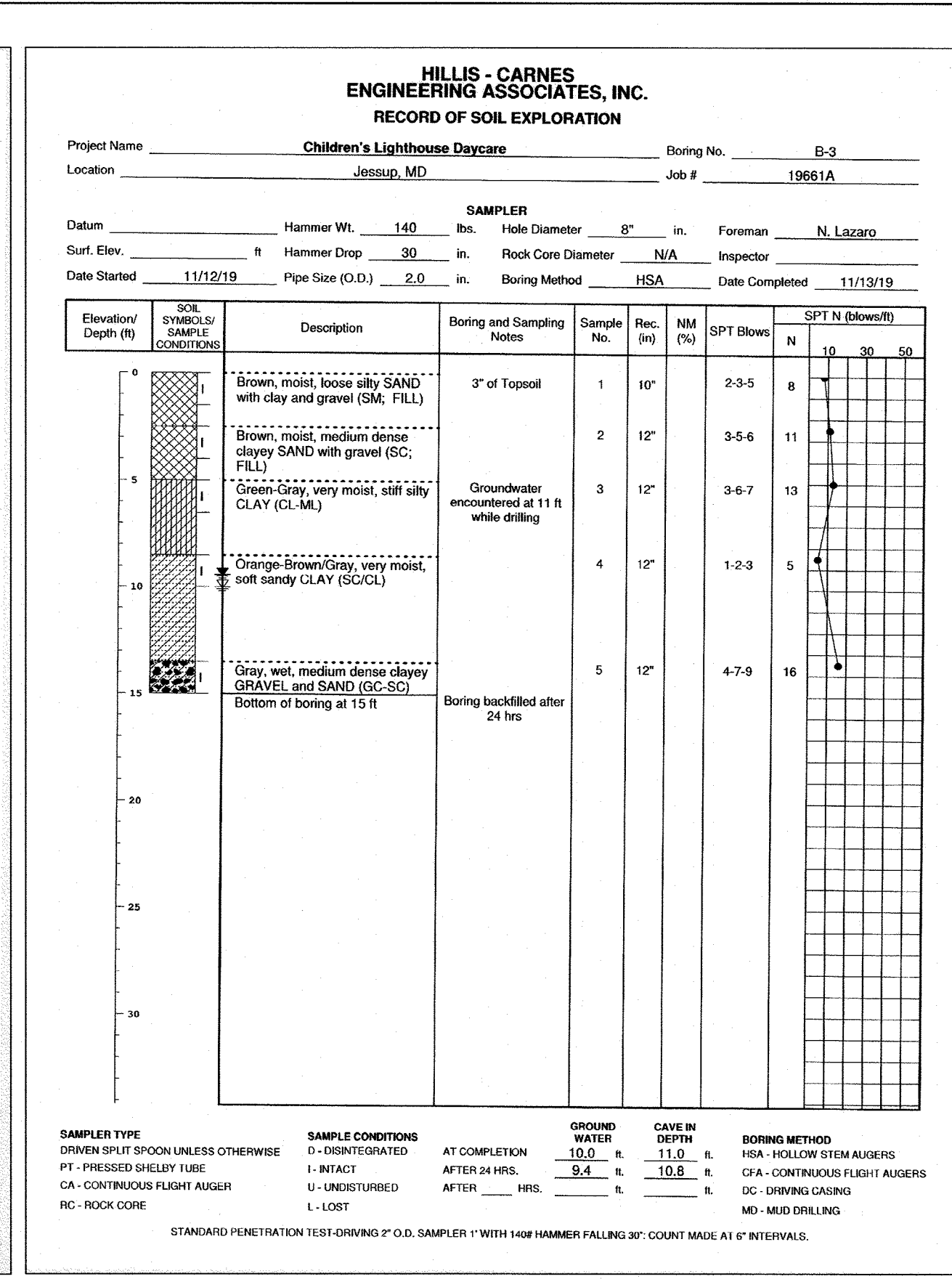
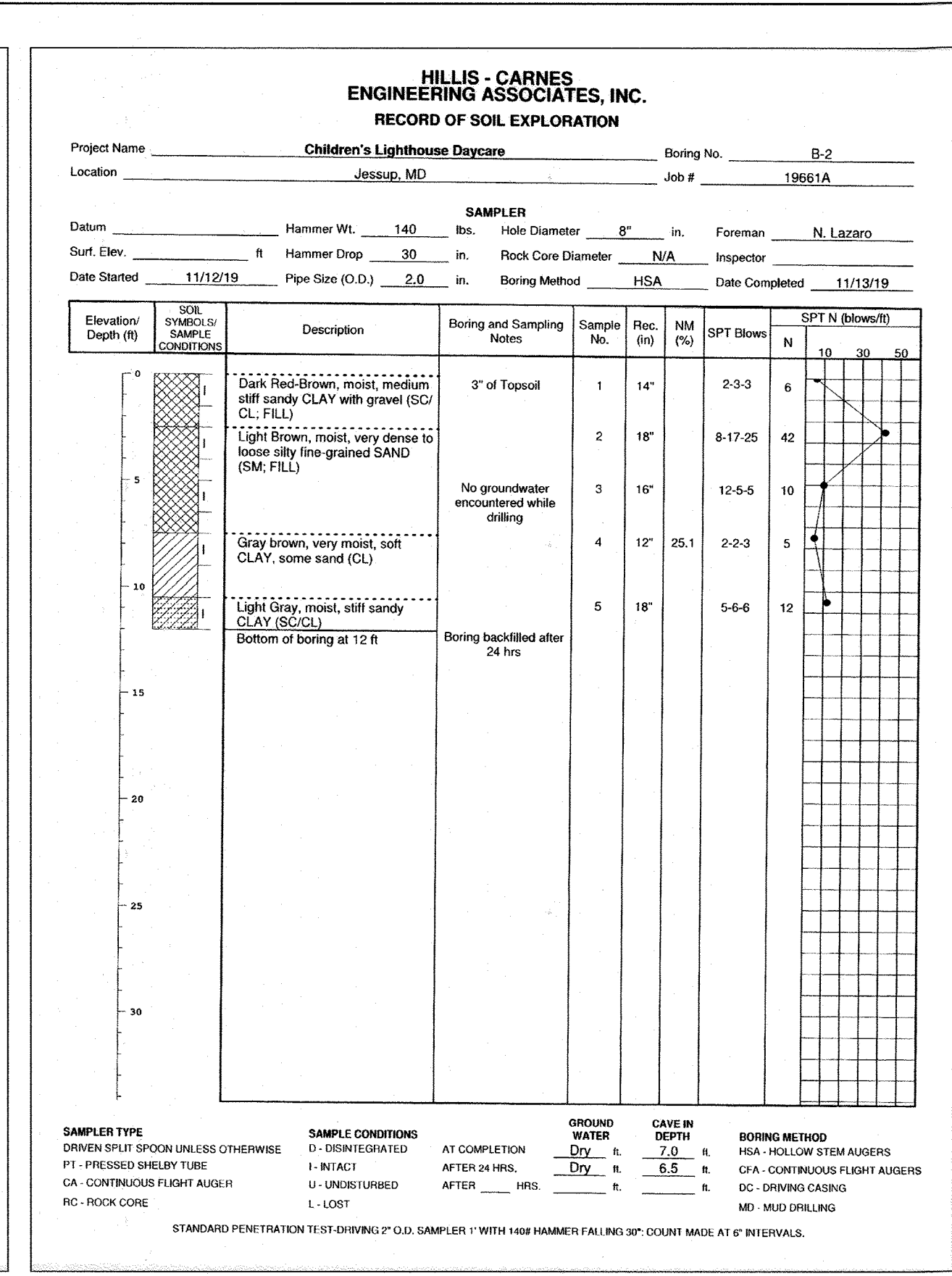
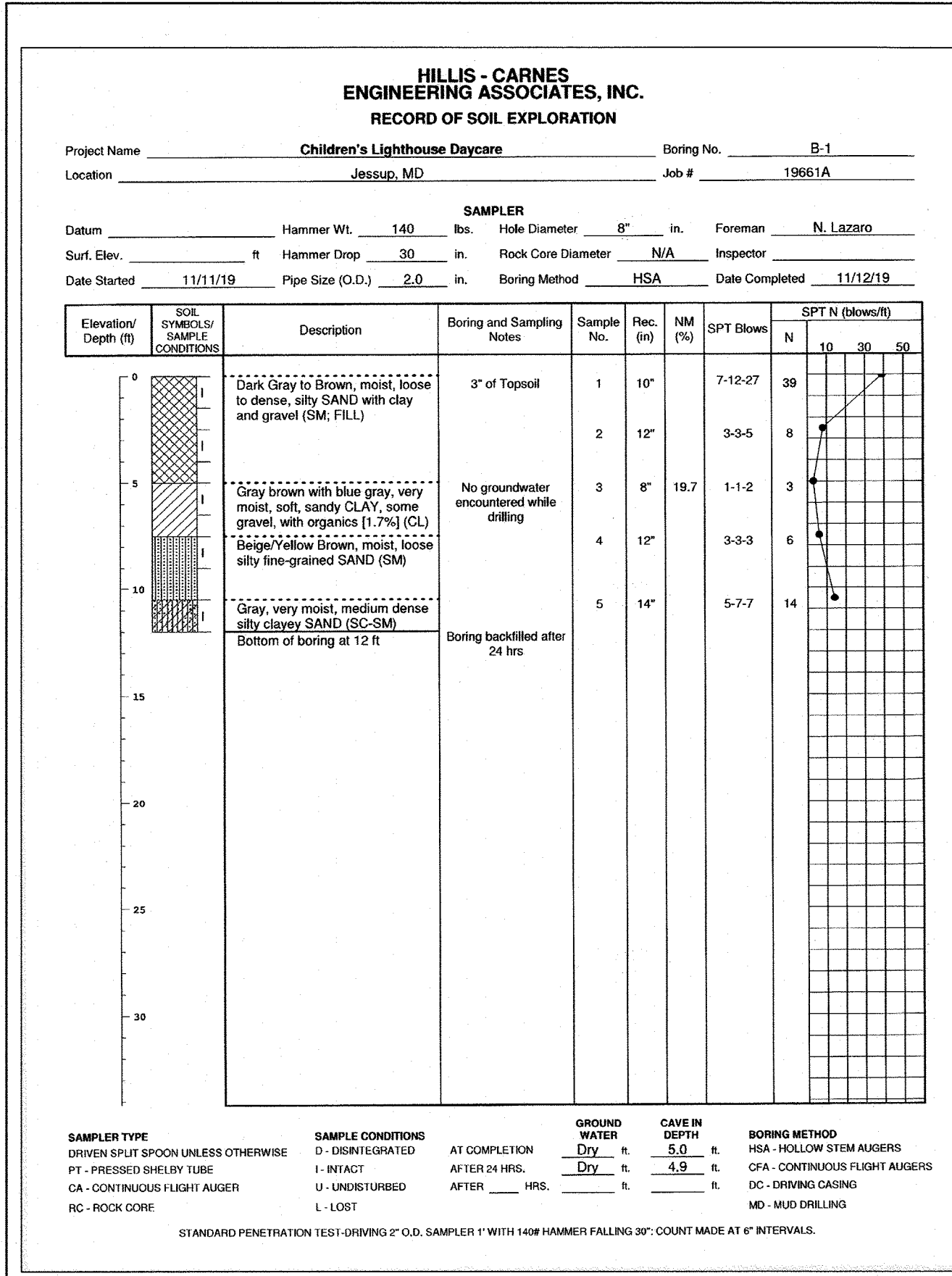
[Signature] 9-9-21
DIRECTOR - DEPARTMENT OF PLANNING AND ZONING DATE

REV. NO.	DESCRIPTION	DATE
Δ	WALL #3 ELEVATION REVISED	11/18/20
	10" HDPE PIPE CROSSING ADDED	

PROFESSIONAL CERTIFICATION
I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.
LICENSE NO. 14808
EXPIRATION DATE: 02/27/22



CHILDREN'S LIGHTHOUSE DAYCARE
PARCEL 'B'
ZONED: CAC-CU
TAX MAP: 43, GRID: 14, PARCEL: 214
SIXTH ELECTION DISTRICT - HOWARD COUNTY, MARYLAND
DATE: DECEMBER 2, 2019
SCALE: AS SHOWN
SHEET 18 OF 20



APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

John Doe 9/19/21
Chief, Division of Land Development

John Doe 8-23-21
Chief, Development Engineering Division

John Doe 9-9-21
Director - Department of Planning and Zoning

FISHER, COLLINS & CARTER, INC.
CONSULTING ENGINEERS & LAND SURVEYORS
CENTRAL SQUARE OFFICE PARK - 10272 BALTIMORE NATIONAL PIKE
ELICOTT CITY, MARYLAND 21046
(410) 461-2295

OWNER AND DEVELOPER
MILK & COOKIES, L.L.C.
4992 WILD OLIVE COURT
ELICOTT CITY, MARYLAND 21042
ATTN: MR. ASHLEY PUGH
TEL. 443-677-5091

NO.	REVISION	DATE

Subdivision: Mission Place (Children's Lighthouse Daycare)
Section/Area: N/A
Parcel: Parcel 'B'

Plat No.: #1995-4-1995B
Block No.: 14
Zone: CAC-CL1
Tax Map: 43
Elec. Dist.: 6th
Census Tr.: 601101

Soil Boring Logs
Mission Place
(Children's Lighthouse Daycare)
Parcel 'B'
Mission Place, Parcel 'B' (Plat Nos. 1995-4-1995B)
Zoned: CAC-CL1
Tax Map: 43, Grid: 14, Parcel: 214
Sixth Election District - Howard County, Maryland
Date: June 23, 2021
Scale: As Shown
Sheet 19 of 20

SDP-20-025

