

SITE ANALYSIS DATA CHART SITE DEVELOPMENT PLAN . PROPERTY ZONED: R-12 PER 10/6/13 COMPREHENSIVE ZONING REGULATIONS PROPOSED USES: AGE-RESTRICTED HOUSING AND COMMUNITY CENTER. PRIOR DEPARTMENT OF PLANNING AND ZONING FILE NOS.:

EDEN BROOK

(AGE-RESTRICTED ADULT HOUSING) LOTS 1 THRU 24 AND OPEN SPACE LOTS 25 THRU 27

R-12 (RESIDENTIAL: SINGLE DISTRICT) TAX MAP No. 42 GRID No. 7 PARCEL NO. 269 SIXTH ELECTION DISTRICT

-55F--- SUPER SILT FENCE PROPOSED SWM BORING LOCATION EXISTING PRIVATE DRAINAGE

HOWARD COUNTY, MARYLAND GENERAL NOTES (CONT'D)

THE WINDFAIRE 2. COMMUNITY BUILDING 3. OVERFLOW VISITOR PARKING 5CALF: 1" = 30"**OPTIONAL** OPTIONAL SCREENED PATIO SCREENED PATIO WITH OPTIONAL WITH OPTIONAL 24' SCREENED DECK SCREENED DECK (10'x18.66') (10'x10.66') 24.00' GAR. PORCH GAR. GAR. PORCH___ 10.4'x9.5' 10.4'x9.5' 10.4'x9.5'

UNIVERSAL DESIGN GUIDELINES FOR AGE-RESTRICTED ADULT HOUSING IN

THE HOWARD COUNTY ZONING REGULATIONS ALLOW FOR "ACTIVE ADULT HOUSING" AS EITHER A CONDITIONAL USI IN RESIDENTIAL ZONING DISTRICTS OR AS A PERMITTED USE IN THE PLANNED SENIOR COMMUNITY, PLANNED OFFICE RESEARCH, COMMUNITY CENTER TRANSITION, AND RESIDENTIAL INSTITUTIONAL ZONING DISTRICTS. AGE-RESTRICTIVE MUST BE APPROPRIATELY DESIGNED FOR ADULTS AT LEAST 55 YEARS OF AGE. SITE IMPROVEMENTS MUST ENSURE ACCESSIBLE ROUTES BETWEEN PARKING, DWELLING UNITS AND COMMON AREAS individual dwellings must incorporate universal design features to be adaptable for residents with MOBILITY AND FUNCTIONAL LIMITATIONS THAT OFTEN RESULT FROM AGINO

DESIGN STANDARDS FOR SITE ACCESSIBILITY AND USABLE COMMON AREAS HAVE BEEN ESTABLISHED FOR MULTI-FAMILY HOUSING BY THE AMERICANS WITH DISABILITIES ACT AND THE FAIR HOUSING ACT OF 1988. WHILE RECOGNIZED STANDARDS FOR INDIVIDUAL UNITS FOR OLDER ADULTS HAVE NOT BEEN ESTABLISHED, "UNIVERSAL

ACCORDINGLY, THE DEPARTMENT OF PLANNING AND ZONING MET WITH SEVERAL SENIOR HOUSING DEVELOPERS, REPRESENTATIVES OF THE HOMES FOR LIFE COALITION OF HOWARD COUNTY, THE OFFICE ON AGING AND THE department of inspections, licenses, and permits to discuss minimum requirements. Divergent views WERE EXPRESSED RECARDING WHAT FEATURES SHOULD BE REQUIRED VS OPTIONAL FEATURES VARY CONSIDERABLY IN COST. RELEVANCE FOR DIFFERENT USERS. AND ADAPTABILITY TO DIFFERENT SITES AND PROJECT TYPES. DEVELOPERS' CHIEF CONCERNS WERE THAT THE CURRENT MARKET DOESN'T PERCEIVE A NEED FOR MOST UNIVERSAL DESIGN FEATURES SINCE THE OLDEST BOOMERS ARE STILL RELATIVELY YOUNG AND AREN'T FOCUSED ON HOW THEIR NEEDS MAY CHANGE OVER TIME. CONCERN WAS ALSO EXPRESSED ABOUT INCREASING THE COST OF SENIOR HOUSING IF MANY UNIVERSAL DESIGN FEATURES ARE REQUIRED RATHER THAN OPTIONAL THESE QUIDELINES REFLECT A MIDDLE POSITION FOCUSING ON REQUIRING THOSE FEATURES THAT ARE RELATIVELY INEXPENSIVE IF PART OF INITIAL CONSTRUCTION, BUT WOULD REQUIRE MAJOR RENOVATION TO RETROFIT IN THE FUTURE. ITEMS THAT ARE EITHER RELATIVELY LESS EXPENSIVE TO RETROFIT IN THE FUTURE ARE LISTED AS

- FOR MULTI-FAMILY APARTMENT OR CONDO DEVELOPMENTS, AN ACCESSIBLE PATH BETWEEN PARKING, DWELLING UNITS, AND COMMON AREAS THAT MEETS ADA STANDARDS FOR SINGLE FAMILY DETACHED AND ATTACHED DEVELOPMENTS, A "NO-STEP" ACCESS TO THE FRONT DOOR ENTRANCE TO ALL DWELLING UNITS AND THE COMMUNITY BUILDING. IF A NO-STEP FRONT ENTRANCE IS NOT FEASIBLE, AN ALTERNATIVE NO-STEP SIDE OR GARAGE ENTRY TO THE FIRST FLOOR MAY BE APPROVED. (A NO-STEP ENTRANCE IS DESIRABLE, BUT NOT REQUIRED AT OTHER ENTRANCES) 36" WIDE FRONT DOOR WITH EXTERIOR LIGHTING OF THE ENTRANCE (EXTERIOR DOORS SHALL BE PROVIDED
- WITH AN ARTIFICIAL LIGHT SOURCE LOCATED IN THE IMMEDIATE VICINITY OF THE EXTERIOR DOOR; THE ILLUMINATION OF THE SHALL BE CONTROLLED FROM THE INSIDE OF THE DWELLING UNIT. EXCEPTIONS: LIGHTS THAT ARE CONTINUOUSLY ILLUMINATED OR AUTOMATICALLY CONTROLLED)
 ALL INTERIOR DOORWAYS AT LEAST 32" CLEAR WIDTH IN THE OPEN POSITION (2/10 DOORS OR A 36" IS
- 36" WIDE FULLY ACCESSIBLE ROUTE MUST CONNECT THROUGH OUR THE FIRST FLOOR OF THE DWELLING UNIT. THE MAXIMUM VERTICAL FLOOR LEVEL CHANGE 1/4 INCH, EXCEPT WHEN A TAPERED THRESHOLD IS COMPLETE LIVING AREA INCLUDING MASTER BEDROOM & BATH ON FIRST FLOOR (OR ELEVATOR ACCESS IF
- LEVER HANDLES ON INTERIOR AND EXTERIOR DOORS CLEAR FLOOR SPACE 30" x 48" INCHES CENTERED ON THE APPLIANCE OR FIXTURE SHALL BE PROVIDED AT EACH FIXTURE IN THE KITCHEN. FLOOR SPACES CAN OVERLAP. (FAIR HOUSING ACT)
- REINFORCED WALLS TO ALLOW FOR LATER INSTALLATION OF GRAB BARS AROUND TOILET, TUB AND SHOWER MANEUVERING SPACE WITHIN THE BATHROOM TO PERMIT A PERSON USING A MOBILITY AID TO ENTER ROOM, CLOSE AND REOPEN THE DOOR, WITH A CLEAR FLOOR SPACE OF 30" x 40" OUTSIDE OF THE DOOR SWING, IN ADDITION A CLEAR FLOOR SPACE OF 30" x 48" SHOULD BE PROVIDED AT EACH FIXTURE AND CENTERED ON EACH FIXTURE. THE 30" x 48" FLOOR SPACE CAN OVERLAP EACH OTHER. (NOTE: THIS IS A L MOUNTED LIGHT SWITCHES, ELECTRICAL OUTLETS, OR ENVIRONMENTAL CONTROLS SHALL BE MOUNTED
- FOR A REACHING RANGE OF MINIMUM 15" OFF THE FLOOR AND MAXIMUM 48" ABOVE THE FLOOR.
- DESIRED ITEMS INCLUDED ON THIS PLAN LOW MAINTENANCE EXTERIOR MATERIALS
- SMOOTH TRANSITIONS BETWEEN ROOMS (VERTICAL THRESHOLD OF 2" OR LESS)
- MAXIMUM ACCESSIBLE PATH BETWEEN MAIN LIVING ROOMS (PREFERABLY 36"-42")
- LEVER HANDLES ON KITCHEN AND BATHROOM SINKS, PLUS SHOWER

STREET LIGHT CHART (PRIVATE)								
STREET NAME	STATION	OFFSET	FIXTURE/POLE TYPE					
	2+01.61	23.7' RT	100-WATT HP5 VAPOR EQUIVALENT LED "MAPLE LAWN ACORN" FIXTURE MOUNTED ON					
WILDWOOD COURT	4+72.59	22.2' LT	A 12-FOOT BLACK FIBERGLASS POLE (WITH A SHROUD)					

STREET ADDRESS LOT NUMBER 7305 WILDWOOD COURT 7307 WILDWOOD COURT 7309 WILDWOOD COURT 7313 WILDWOOD COURT 7315 WILDWOOD COURT 7319 WILDWOOD COURT 7321 WILDWOOD COURT 7323 WILDWOOD COURT 7327 WILDWOOD COURT 7329 WILDWOOD COURT 7333 WILDWOOD COURT 7335 WILDWOOD COURT 7337 WILDWOOD COURT 7341 WILDWOOD COURT 7343 WILDWOOD COURT 7345 WILDWOOD COURT 7326 WILDWOOD COURT 7324 WILDWOOD COURT 7322 WILDWOOD COURT 7318 WILDWOOD COURT 7316 WILDWOOD COURT 7314 WILDWOOD COURT 7304 WILDWOOD COURT 7302 WILDWOOD COURT OPEN SPACE EXISTING WILDWOOD HOUSE 25 7310 WILDWOOD COURT

STREET SIGN CHART									
STREET NAME	STATION	OFFSET	POSTED SIGN	SIGN CODE					
WILDWOOD COURT	0+44.91	20.3' LT	5TOP	R1-1					
WILDWOOD COURT	0+29	22' RT	5N5	(NO CODE)					
EDEN BROOK DRIVE	47+35	3' LT	PEDESTRIAN 'A'	W11-2					
EDEN BROOK DRIVE	47+35	35.5' LT	PEDESTRIAN 'A'	W11-2					
EDEN BROOK DRIVE	45+05	3' LT	PEDESTRIAN 'C'	W11-2					
EDEN BROOK DRIVE	45+05	35.5' LT	PEDESTRIAN 'B'	W11-2					
EDEN BROOK DRIVE	44+55	35.5' RT	PEDESTRIAN 'B'	W11-2					
EDEN BROOK DRIVE	44+35	3' RT	PEDESTRIAN 'C'	W11-2					
EDEN BROOK DRIVE	42+88	3' RT	PEDESTRIAN 'A'	W11-2					
EDEN BROOK DRIVE	42+88	35.5' RT	PEDESTRIAN 'A'	W11-2					

AGE RESTRICTED (BA-17-030C), ECP-18-051,

= 0 AC.

= 0 AC.

= 4.81 AC. + / -

4.81 ACRES \times 5 UNITS / NET ACRE = 24.05 OR 24 UNITS

2. NON CREDITED OPEN SPACE = 0.895 AC.+/-

1. $(24 \text{ UNITS } \times 2 \text{ SPACES/UNIT}) = 48 \text{ SPACES}$

 $(24 \text{ UNITS} \times 0.3 \text{ SPACES/UNITS}) = 8 \text{ SPACES}$

PER SECTION 131.0.N.1.a.10 OF THE ZONING REGULATIONS

COMMUNITY BUILDING PROVIDED = 900 SQ.FT (see General Note 40)

(500 SQ.FT. x 10 SPACES PER 1,000 SQ. FT.) = 5 SPACES

= 1.68 AC.+/-

= 2.675 AC.+/-

= 1.78 AC. + / -

= 113 SPACES

= 5 SPACES

= 12 SPACES

ALL SIDE ARCHITECTURAL ELEVATIONS

TO INCLUDE PORCHES AND WINDOW

AS STATED IN THE DESIGN ADVISORY

ADDRESS CHART

WP-19-055, F-20-011 & 5P-10-003

A. OPEN SPACE REQUIRED

(4.81 AC x 35%)

B. TOTAL OPEN SPACE PROVIDED

A. PARKING SPACE REQUIRED

(COMMUNITY BUILDING)

B. PARKING SPACES PROVIDED

(2 SPACES IN DRIVE)

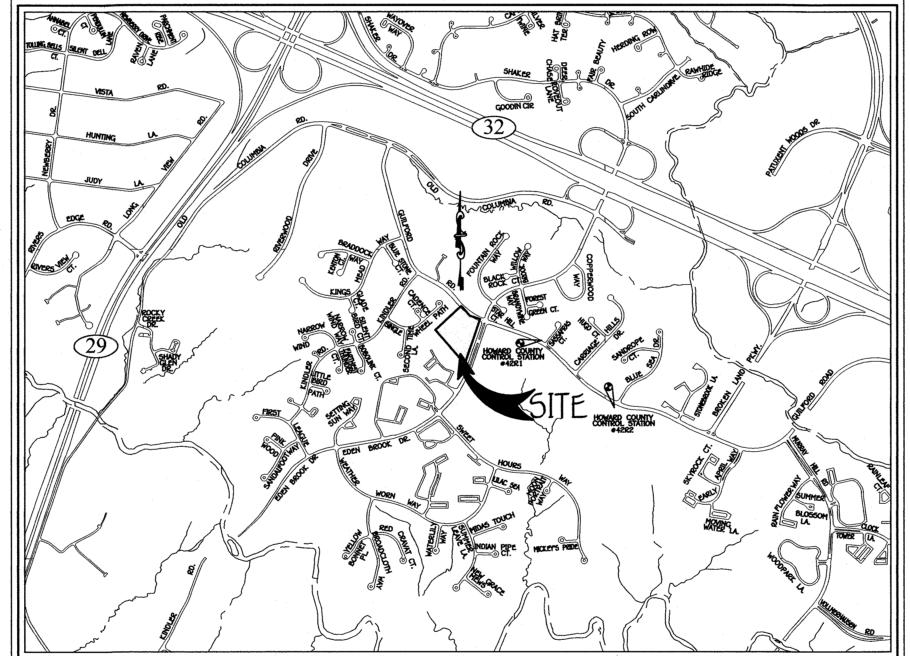
3. OVERFLOW VISITOR PARKING

1. (24 UNITS x 4 (2 CAR GARAGE)

. CREDITED OPEN SPACE

STREET LIGHT CHART (PUBLIC)									
STREET NAME	STATION	OFFSET	FIXTURE/POLE TYPE						
WILDWOOD COURT	2+01.61	26' RT	LED-150 ACORN - MAPLE LAWN POST TOP FIXTURE USING A 12-FOOT BLACK FIBERGLASS POLE						
EDEN BROOK DRIVE	44+05	30° LT	LED-250 COBRAHEAD PENDANT FIXTURE ON A 30-FOOT BRONZE FIBERGLASS POLE USING A 10-FOOT ARM						
EDEN BROOK DRIVE	44+35	35' RT	LED-250 COBRAHEAD PENDANT FIXTURE ON A 30-FOOT BRONZE FIBERGLA55 POLE USING A 10-FOOT ARM						

STREET LIGHT CHART (PRIVATE)								
STREET NAME	STATION	OFF5ET	FIXTURE/POLE TYPE					
	2+01.61	23.7' RT	100-WATT HP5 VAPOR EQUIVALENT LED "MAPLE LAWN ACORN" FIXTURE MOUNTED ON					
WILDWOOD COURT	4+72.59	22.2' LT	A 12-FOOT BLACK FIBERGLASS POLE (WITH A SHROUD)					



GEODETIC SURVEY CONTROL NO. 42R1 GEODETIC SURVEY CONTROL NO. 42R2 N 547,820.227 E 1,351,171.628 **ELEVATION: 375.806'**

LOT No. | GROSS AREA

N 546,946.793 E 1,352,118.601 ELEVATION: 331.466'

	MINIMUM LO	OT SIZE CH	HART
ο.	GROSS AREA	PIPESTEM AREA	MINIMUM LOT SIZE
	5,235 5q.ff.	1,164 5q.ff.	4,071 5q.ff.
	2,986 5q.ff.	148 5q.ff.	2,838 5q.ff.
	4,005 5q.ff.	133 5q.ff.	3,872 5q.ff.
	3,550 5q.ff.	120 5q.ff.	3,430 5q.ff.
	2,845 5q.ff.	229 5q.ff.	2,616 5q.ff.
	4,003 5q.ff.	311 5q.ff.	3,692 5q.ff.
	4,251 5q.ff.	429 5q.ft.	3,822 5q.ff.
	3,451 5q.ff.	547 Sq.ff.	2,904 5q.ff.
	4,715 5q.ff.	631 5q.ff.	4,084 5q.ff.
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MODERATE INCOME HOUSING UNITS (MIHU) ALLOCATION EXEMPTIONS TRACKING Total Number of Lots/Units Proposed Number of MIHU Required Number of MIHU Provided Onsite (exempt from APFO allocations) Number of APFO Allocations Required (remaining lots/units) MIHU Fee-in-Lieu (indicate lot/unit numbers)

REFER TO HOWARD CO. ADC MAP 33-E0 & 40-E1

36. THIS PLAN IS SUBJECT TO WP-19-055 WHICH ON APRIL 4, 2019 THE PLANNING DIRECTOR APPROVED A REQUEST FOR AN ALTERNATIVE COMPLIANCE TO WAIVE SECTION 16.120(C)(4) MINIMUM FRONTAGES AND SECTION 16.1205(A)(7) ON-SITE FOREST RETENTION. APPROVAL IS SUBJECT TO THE FOLLOWING CONDITIONS THE APPROVAL OF THIS ALTERNATIVE COMPLIANCE REQUEST APPLIES TO THE 10 SPECIMEN TREES AS SHOWN TO BE REMOVED ON THE PLAN EXHIBIT. THE DEVELOPER SHALL MITIGATE THE REMOVAL OF THE SPECIMEN TREES BY PLANTING A MIX OF NATIVE SHADE TREES ONSITE AT A 2: 1 RATIO. TOTALING 36 trees. The plantings shall have a caliper of no less than 3" and shall be planted within $^\intercal$ PROPOSED OPEN SPACE LOTS. THE LOCATIONS, SPECIES AND PLANTING SPECIFICATIONS WILL BE REVIEWED By DPZ as part of the final landscaping plan. Reference the additional trees on 5P-10-003 AND ALL SUBSPOUENT SUBDIVISION AND DEVELOPMENT PLANS. THE TREES WILL BE BONDED ALONG WITH THE REQUIRED PERIMETER LANDSCAPING AS PART OF THE FINAL SUBDIVISION PLAN

accordance with the design manual or as approved by the development engineering division AND THE DEPARTMENT OF PUBLIC WORKS. THE HOMEOWNER'S ASSOCIATION SHALL OWN AND MAINTAIN THE PRIVATE STREET AND SHALL BI RESPONSIBLE FOR ALL MAINTENANCE, TRASH COLLECTION AND SNOW REMOVAL

APPLICANT SHALL BE RESPONSIBLE FOR ESTABLISHING SAFE VEHICULAR ACCESS TO ALL RESIDENTIAL LOTS. SIDEWALKS AND STREET TREES SHALL BE PROVIDED ALONG THE PRIVATE STREET IN ACCORDANCE WITH SECTIONS 16.124 AND 16.134 OF THE SUBDIVISION REGULATIONS AND THE LANDSCAPE MANUAL. 37. STREET LIGHT PLACEMENT, FIXTURES, AND POLE TYPES SHALL ADHERE TO THE HOWARD COUNTY DESIGN MANUAL, VOLUME III (2006), SECTION 5.5.A. A MINIMUM OF 20' SHALL BE MAINTAINED BETWEEN ANY

THE ZONING REGULATIONS. 30. IN ACCORDANCE WITH SECTION 120.0 OF THE HOWARD COUNTY ZONING REGULATIONS, BAY WINDOWS, CHIMNEYS OR EXTERIOR STAIRWAYS NOT MORE THAN 16 FEET IN WIDTH MAY PROJECT NOT MORE THAN 1

FEET INTO THE FRONT OR REAR YARD SETBACK. 39. EXISTING UTILITIES ARE BASED ON WATER AND SEWER CONTRACT DRAWINGS; CONT. NO. 44-1576 AND CONT. NO. 44-1570-D RESPECTIVELY. EXISTING STORM DRAIN SYSTEMS SHOWN ARE BASED ON F-PLANS

ON FILE AT HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING. 40. THE COMMUNITY CENTER SIZE HAS BEEN SHOWN AS 1.257 SQUARE FEET TO REFLECT THE DECISION & SECTION 131.0.N.1.a.10 OF THE ZONING REGULATIONS. THE INTENTION IS TO PRESERVE AND ADAPT THE WILDWOOD HOUSE TO MEET THE COMMUNITY CENTER REQUIREMENTS WHICH WILL INCLUDE AN EXTENSIVE

41. THIS PLAN IS SUBJECT TO A DESIGN MANUAL WAIVER APPROVED ON APRIL 26, 2019 BY DEVELOPMENT ENGINEERING DIVISION THAT REQUESTS A WAIVER TO DESIGN MANUAL. VOLUME III. SECTION 2.5.B.1. TABL HE THROUGH ROADWAY (GUILFORD ROAD) BETWEEN THE CENTERLINE OF THE INTERSECTION ROADWAYS

42. PRIOR TO FINAL SUBDIVISION ACCEPTANCE (AFTER CONSTRUCTION IS COMPLETE), IT IS A REQUIREMENT TRAFFIC ENGINEERING REVIEW THE PROPOSED EMBANKMENT GRADING TO INSURE ADEQUATE SIGHT DISTANCE

43. SUBDIMISION IS SUBJECT TO SECTION 131.0.N.1.a.14. OF THE ZONING REGULATIONS. AT LEAST 10% OF THE WELLING UNITES SHALL BE MODERATE INCOME HOUSING UNITS (M.I.H.U.) OR AN ALTERNATIVE COMPLIANCE WILL BE PROVIDED. THE DEVELOPER SHALL EXECUTE A M.I.H.U. AGREEMENT WITH THE DEPARTMENT OF HOUSING TO INDICATE HOW THE M.I.H.U. REQUIREMENT WILL BE MET. THE M.I.H.U. AGREEMENT WILL BE RECORDED SIMULTANEOUSLY WITH THE PLAT IN THE LAND RECORDS OFFICE OF HOWARD COUNTY, MAR' HIS DEVELOPMENT WILL MEET M.I.H.U. ALTERNATIVE COMPLIANCE BY A PAYMENT OF A FEE—IN—LIEU TO THE DEPARTMENT OF HOUSING FOR EACH REQUIRED UNIT.

a. M.I.H.U. REQUIRED = (24 LOTS X 10%) = 2.4 M.I.H.U.

c. AN EXECUTED M.I.H.U. AGREEMENT WITH THE HOWARD COUNTY HOUSING DEPARTMENT HAS BEEN COMPLETED AND RECORDED SIMULTANEOUSLY WITH THE PLAT. 44. THE FOREST CONSERVATION REQUIREMENTS PER SECTION 16.1200 OF THE HOWARD COUNTY CODE WERE

FULFILLED UNDER F-20-011 BY THE PURCHASE OF THE EQUIVALENT OF 0.7 ACRES IN THE PROPERTY OF FOREVER-A-FARM, LLC - PARCEL TWO FOREST BANK (SDP-14-005). THERE IS NO SURETY BECAUSE THIS IS AN APPROVED SITE DEVELOPMENT PLAN-TREE BANK.

DEPARTMENT PRIOR TO APPROVAL OF THE FINAL PLAT.

47. THE CONTRACTOR SHALL NOTIFY "MISS UTILITY" AT 1-800-257-7777 AT LEAST 48 HOURS PRIOR TO ANY 48. ANY DAMAGE TO THE COUNTY'S RIGHT-OF-WAY SHALL BE CORRECTED AT THE DEVELOPER'S EXPENSE.

49. SHC ELEVATIONS SHOWN ARE LOCATED AT THE PROPERTY LINE. 50. FOR DRIVEWAY ENTRANCE DETAILS REFER TO THE HOWARD COUNTY DESIGN MANUAL, VOLUME IV, STANDARD

52. SECTION 131.0.N.1.a.7 OF THE HOWARD COUNTY ZONING REGULATIONS BULK REQUIREMENTS

(a) MAXIMUM HEIGH (ii) OTHER PRINCIPAL STRUCTURES - 34 FEET.

(iii) ACCESSORY STRUCTURES - 15 FEET. (b) MINIMUM STRUCTURE AND USE SETBACK

(i) FROM PUBLIC STREET RIGHT-OF-WAY - 40 FEET. THE SETBACK FROM GUILFORD ROAD RIGHT-OF-WAY IS IN ACCORDANCE WITH SECTION 131.0.N.1.a.6.c. (SETBACKS SHALL BE THE SAME AS THE SETBACK REQUIRED FOR RESIDENTIAL USES ON ADJACENT PROPERTIES). (iv) FROM ZONING DISTRICTS OTHER THAN RC, RR, R-ED, R-20, R-12 OR R-5C - 20 FEET. (c) MINIMUM STRUCTURE SETBACK FROM INTERIOR ROADWAY OR DRIVEWAY FOR UNITS

WITH GARAGES-20 FEET.

(e) MINIMUM DISTANCE BETWEEN SINGLE-FAMILY DETACHED AND/OR ATTACHED DWELLINGS: (i) FOR UNITS ORIENTED FACE-TO-FACE - 30 FEET.

(ii) FOR UNITS ORIENTED SIDE-TO-SIDE - 15 FEET. (iii) FOR UNITS ORIENTED FACE-TO-SIDE OR REAR-TO-SIDE - 20 FEET. (iv) FOR UNITS ORIENTED REAR-TO-REAR - 40 FEET.

(v) FOR UNITS ORIENTED FACE-TO-REAR - 100 FEET

& CONTRACT NO.24-5081-D

53. THIS PLAN IS SUBJECT TO A DESIGN MANUAL WAIVER APPROVED ON SEPTEMBER 1, 2020 BY DEVELOPMEN ENGINEERING DIVISION THAT REQUESTS A WAIVER TO DESIGN MANUAL, VOLUME I, SECTION 4.1.1.D.4 THAT REQUIRES 12" MINIMUM FOR STORM DRAIN COVER, SUBJECT TO FULL DEPTH PAVEMENT SECTION BEING INSTALLED AS DESCRIBED ON AUGUST 26, 2020 SUBMITTED PLAN.

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

	LEGEND
SYMBOL	DESCRIPTION
492	EXISTING 2' CONTOURS
<u>-490-</u>	EXISTING 10' CONTOURS
102	PROPOSED CONTOUR
+362.5	SPOT ELEVATION
H.P.	HIGH POINT
GgB GgC	50IL5 LINES AND TYPE
~~	PROPOSED TREELINE
~~~~	EXISTING TREELINE
©‱ e	EXISTING TREES & SHRUBS
XXX	EXISTING TREES & SHRUBS ( TO BE REMOVED)
T.B.R.	TO BE REMOVED OR RELOCATED
— x — x —	EXISTING FENCE LINE
	EXISTING PAVING
	PROPOSED PAVING
	EXISTING PUBLIC SEWER, WATER & UTILITY EASEMENT
	LIMITS OF DISTURBANCE
, , , ,	CREDITED OPEN SPACE
	EXISTING USE-IN-COMMON ACCESS EASEMENT
55F	SUPER SILT FENCE

GENERAL NOTES

3. SITE ANALYSIS:

SUBJECT PROPERTY ZONED R-12 PER 10/06/13 COMPREHENSIVE ZONING PLAN.

TIME OF SUBMISSION OF A SITE DEVELOPMENT PLAN.

4. PROPERTY DEED REFERENCE: LIBER 18868 AT FOLIO 96

5. MODERATE INCOME HOUSING UNITS REQUIRED = 3 MIHU

GROSS TRACT ACREAGE = 4.01 AC+/-

LIMIT OF DISTURBANCE = 5.10 AC+/-

FLOODPLAIN AREA = 0.0 AC.

STEEP SLOPES AREA = 0.0 AC.

 $(24 \text{ UNIT5} \times 10\% = 2.4 \text{ MIHU})$ 

NET TRACT AREA = 4.61 AC.

STATIONS NO. 42R1 AND NO. 42R2

UTILIZED WITHIN THIS DEVELOPMENT.

APPROVED ON JUNE 25, 2019.

14 B.R.I. DENOTES BUILDING RESTRICTION LINE

PROFESSIONALS INC. AND HAVE BEEN PROVIDED.

FOOT DEPTH OVER DRIVEWAY SURFACE.

2019, AND WAS APPROVED ON MAY 6, 2019.

FOREST CONSERVATION EASEMENT AREAS.

23. SITE IS NOT ADJACENT TO A SCENIC ROAD.

OWNER OF THAT PARTICULAR LOT.

24. ALL LOT/PARCEL AREAS ARE MORE OR LESS.

HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL.

DEVELOPER'S AGREEMENT UNDER F-20-011.

INSTALLED BEFORE THE BASE PAVING IS COMPLETED.

MOTIONS FROM THE AUGUST 9, 2017 DAP MEETING."

SINGLE) ZONING DISTRICT PROVIDED/ HOWEVER THAT:

WILDWOOD COURT AND THE LOT'S ASSOCIATED USE-IN-COMMON DRIVE.

OF THE MARYLAND MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MDMUTCD).

GALVANIZED STEEL POLE CAP SHALL BE MOUNTED ON TOP OF EACH POST.

DESIGN MANUAL, VOLUME III, ROADS AND BRIDGES, SECTION 5.2, F.2.

f. STRUCTURE CLEARANCES - MINIMUM 12 FEET

AND RECOMMENDED PETITIONER RETAIN HISTORIC SMOKE HOUSE.

8575 GUILFORD ROAD COLUMBIA, MD 21046 FOR THIS PROJECT.

2. THIS SUBDIVISION PLAN IS SUBJECT TO THE AMENDED FIFTH EDITION OF THE SUBDIVISION AND LAND

DEVELOPMENT REGULATIONS AND THE 2013 ZONING REGULATIONS. DEVELOPMENT OR CONSTRUCTION

EXISTING TOPOGRAPHY INFORMATION SHOWN IS TAKEN FROM A FIELD RUN TOPOGRAPHIC SURVEY WITH

9. THIS PROPERTY IS LOCATED WITHIN THE METROPOLITAN DISTRICT AND PUBLIC WATER AND SEWER SHALL B

DEPARTMENT OF ENVIRONMENT STORM WATER DESIGN MANUAL, VOLUMES I & II, REVISED 2009. WE ARE

PROVIDING STORM WATER MANAGEMENT BY THE USE OF TWO AREAS OF (A-2) PERMEABLE PAVING, TWO

(M-5) DRYWELLS, THREE (M-6) MICRO-BIORETENTION FACILITIES AND TWO (F-6) BIO-RETENTION FACILITIES

10. THE TRAFFIC STUDY DATED JUNE, 2017 FOR THIS PROJECT WAS PREPARED BY THE MARS GROUP AN

11. STORMWATER MANAGEMENT WILL BE PROVIDED IN ACCORDANCE WITH CHAPTER 5 OF THE MARYLAND

TO MEET AND EXCEED THE REQUIRED ESD VOLUME, QUANTITY MANAGEMENT IS BEING PROVIDED. 12. REFUSE COLLECTION, SNOW REMOVAL, AND MAINTENANCE FOR WILDWOOD COURT WILL BE PRIVATELY

15. FOREST STAND DELINEATION AND A WETLAND REPORT DATED: 5/25/17 WERE PREPARED BY ECO-SCIEN

17. THE GEOTECHNICAL REPORT FOR THIS PROJECT WAS PREPARED BY HILLIS CARNES, DATED FEBRUARY I

PERMITTED WITHIN THE LIMITS OF WETLANDS, STREAM(S), OR THEIR REQUIRED BUFFERS, FLOODPLAIN ANI

19. THIS PROJECT RECEIVED A POSITIVE REVIEW FROM THE HISTORIC PRESERVATION COMMISSION ON DECEMBER

7. 2017 AND MADE ADVISORY RECOMMENDATIONS TO ENHANCE WILDWOOD AS A DEVELOPMENT FOCAL POINT

. There is a Historic structure within the limits of this subdivision which is designated as HO-267

A PRE-SUBMISSION COMMUNITY MEETING WAS HELD ON MARCH 24, 2017 AT NEW HOPE LUTHERAN CHURCH,

Greater than 20,000 square feet located on this property. There are no wetlands on—site that

HOMEOWNER'S ASSOCIATION. ANY SWM FACILITY LOCATED ON A LOT WILL BE OWNED AND MAINTAINED BY THE

-SURETY FOR 46 STREET TREES (\$13,000) AND 12 TRASH PAD SHRUBS (\$360) IN THE AMOUNT OF

-THE LANDSCAPING SURETY FOR THE PERIMETER, PARKING LOT AND RESIDENTIAL TREES IS \$49,500.00

FOR 125 SHADE TREES (\$37,500), 70 EVERGREENS (\$11,700) AND 10 SHRUBS (\$300) PAID WITH THE

\$14,160.00 HAS BEEN PAID WITH THE DEPARTMENT OF PUBLIC WORKS COST ESTIMATE UNDER

30. ARTICLES OF INCORPORATION FOR THE EDEN BROOK HOMEOWNERS ASSOCIATION, INC. HAVE BEEN FILED WITH

(a) THE R1-1 (STOP) SIGN AND THE STREET NAME SIGN (SNS) ASSEMBLY FOR THIS DEVELOPMENT MUST BE

(b) THE TRAFFIC CONTROL DEVICE LOCATIONS SHOWN ON THE PLANS ARE APPROXIMATE AND MUST BE FIELD

(c) ALL TRAFFIC CONTROL DEVICES AND THEIR LOCATIONS SHALL BE IN ACCORDANCE WITH THE LATEST EDITION

(d) ALL SIGN POSTS USED FOR TRAFFIC CONTROL SIGNS INSTALLED IN THE COUNTY RIGHT-OF-WAY SHALL BE

MOUNTED ON A 2" GALVANIZED STEEL, PERFORATED (QUICK PUNCH), SQUARE TUBE POST (14 GAUGE)

THE ANCHOR SHALL NOT EXTEND MORE THAN TWO QUICK PUNCH HOLES ABOVE GROUND LEVEL. A

34. ON OCTOBER 17, 2017, THIS PROJECT RECEIVED ENDORSEMENTS ON APPLICANT'S RESPONSE TO ALL DAP

35. THIS PLAN IS SUBJECT TO DEPARTMENT OF PLANNING AND ZONING CASE BA-17-030C FOR A CONDITIONAL USE TO CONSTRUCT A 24-UNIT AGE-RESTRICTED, ADULT HOUSING GENERAL IN AN R-12 (RESIDENTIAL:

1.THE CONDITIONAL USE SHALL BE CONDUCTED IN CONFORMANCE WITH AND SHALL APPLY ONLY TO

2.PETITIONER SHALL RETAIN THE SMOKEHOUSE AND PUSH BACK LOTS 23 AND 24 FURTHER FROM

PRESENTED TO DAP SHOWING COTTAGE-LIKE TOWNHOUSES AND SUBMITTED WITH THE PETITION.

WHERE THE CUP (EXHIBIT 2) NOTES APPEARS TO BE A BIO—RETENTION POND (IN THE GENER)

STAFF/ INCLUDING, PARTICULARLY. HISTORIC PRESERVATION STAFF/ ABOUT ITS ORIENTATION TO

AREA OF AN EXISTING GARAGE PROPOSED TO BE RAZED). PETITIONER SHALL CONSULT WITH DPZ

4.THE GAZEBO SHALL BE RELOCATED WEST OF THE AREA INDICATED BY THE OCTAGONAL SHAPE

5.THE GAZEBO SHALL BE ACCESSIBLE TO PERSONS WITH MOBILITY OR FUNCTIONAL LIMITATIONS

THROUGH A NO-STEP DESIGN AND SHALL HAVE PERMANENT SEATING AREAS. AS WELL AS

SUFFICIENT AREA FOR SEVERAL PERSONS WITH MOBILITY OR FUNCTIONAL LIMITATIONS TO

6.all routes between parking areas, sidewalks, dwelling units/and common areas/

3.THE DWELLING DESIGN APPROVED IS THE SEPTEMBER 17, 2017 TOWNHOUSE ELEVATION

THE PROPOSED AGE-RESTRICTED ADULT HOUSING DEVELOPMENT DESCRIBED IN THE PETITION AND DEPICTED ON THE REVISED CONDITIONAL USE PLAN (EXHIBIT 2) AND NOT TO ANY NEW

32. A NOISE STUDY IS NOT REQUIRED BECAUSE THE PROJECT DOES NOT FALL WITHIN THE GUIDELINES OF

33. OPEN 5PACE LOTS 25-27 WILL BE OWNED BY THE EDEN BROOK HOMEOWNERS ASSOCIATION, INC.

5TRUCTURES OR USES ON THE SITE OR ANY ADDITIONS THERETO.

THE ROAD TO OPEN THE VIEW FROM THE ROAD TO WILDWOOD.

MAXIMIZE THE VIEW FROM THE GAZEBO TOWARD WILDWOOD.

CCOMMODATE ANY WALKING ASSISTANCE EQUIPMENT.

INSERTED INTO A 2-1/2" GALVANIZED STEEL, PERFORATED, SQUARE TUBE SLEEVE (12 GAUGE) - 3' LONG.

APPROVED BY HOWARD COUNTY TRAFFIC DIVISION (410-313-2430) PRIOR TO THE INSTALLATION OF ANY OF

N ADDRESS RANGE SIGN SHALL BE PROVIDED FOR LOTS 6-0 AND 11-16 AT THE INTERSECTION

THE STATE DEPARTMENT OF ASSESSMENTS AND TAXATION ON JANUARY 17, 2020 WITH RECEIPT NO.

AN ASSOCIATED SMOKEHOUSE ARE TO REMAIN. ALL OTHER ACCESSORY STRUCTURES ON SITE SHALL BE

RAZED. NO NEW BUILDINGS, EXTENSIONS OR ADDITIONS TO THE EXISTING STRUCTURES ARE TO BE

22. THERE ARE NO WETLANDS, STREAMS, 100 YEAR FLOODPLAIN OR STEEP SLOPES WITH A CONTIGUOUS AREA

WILL BE DISTURBED OR THAT WILL REQUIRE 401 AND 404 WETLANDS PERMITS FROM THE STATE OF

26. THE PROJECT IS IN CONFORMANCE WITH THE LATEST HOWARD COUNTY STANDARDS UNLESS WAIVERS HAVE

27. THE SWM FACILITIES LOCATED ON H.O.A. OPEN SPACE LOTS WILL BE OWNED AND MAINTAINED BY THE

26. THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE PROVISIONS OF SECTION 16.124 OF THE

25. DISTANCES SHOWN ARE BASED ON SURFACE MEASUREMENT AND NOT REDUCED TO NAD '93 GRID.

CONSTRUCTED AT A DISTANCE LESS THAN THE ZONING REGULATION REQUIREMENTS.

WILDWOOD IN THE MARYLAND INVENTORY OF HISTORIC PROPERTIES - HOWARD COUNTY. THIS STRUCTURE AND

18. NO GRADING, REMOVAL OF VEGETATIVE COVER OR TREES. PAVING AND NEW STRUCTURES SHALL BE

16. DRIVEWAYS SHALL BE PROVIDED PRIOR TO RESIDENTIAL OCCUPANCY TO ENSURE SAFE ACCESS FOR FIRE AN

b. SURFACE - SIX (6") INCHES OF COMPACTED CRUSHER RUN BASE WITH TAR AND CHIP COATING. c. GEOMETRY - MAXIMUM 15% GRADE, MAXIMUM 10% GRADE CHANGE AND MINIMUM OF 45 TURNING

d. STRUCTURES (CULVERTS/BRIDGES) CAPABLE OF SUPPORTING 25 GROSS TONS (H 25 LOADING)

e. DRAINAGE ELEMENTS - CAPABLE OF SAFELY PASSING 100 YEAR FLOOD WITH NO MORE THAN

13. NO CEMETERIES ARE LOCATED ON-SITE BASED ON THE HOWARD COUNTY CEMETERY INVENTORY MAI

6. COORDINATES BASED ON NAD'83 MARYLAND COORDINATE SYSTEM AS PROJECTED BY HOWARD COUNT

HOWARD COUNTY MONUMENT NO. 42R1 N 546,820.227 FT

HOWARD COUNTY MONUMENT NO. 42R2 N 546,946,793 FT

a. PUBLIC SEWER FRONTAGE PROVIDED BY CONTRACT No. 34-0911-D

b. PUBLIC WATER SERVICE PROVIDED BY CONTRACT No. 629-W.

MAINTAINED BY THE EDEN BROOK HOMEOWNERS ASSOCIATION, INC.

"MERCENCY VEHICLES PER THE FOLLOWING (MINIMUM) REQUIREMENTS:

g. MAINTENANCE - SUFFICIENT TO INSURE ALL WEATHER USE

a. WIDTH - 12 FEET (16 FEET SERVING MORE THAN ONE RESIDENCE)

(MAXIMUM TWO FOOT) CONTOUR INTERVALS PERFORMED ON OR ABOUT MAY, 2017 BY FISHER, COLLING CARTER, INC.

E 1.351.171.628 FT ELEV. 375.806

E 1.352.119.601 FT ELEV. 331.466

ON THESE LOTS OR PARCELS MUST COMPLY WITH SETBACKS AND BUFFER REGULATIONS IN EFFECT AT THE

THE PROPOSED PRIVATE STREET SHALL BE DESIGNED AND CONSTRUCTED TO PUBLIC ROAD STANDARDS IN

THE PROPOSED RESIDENTIAL LOTS SHALL FRONT ON AND OBTAIN ACCESS FROM THE PRIVATE STREET. THE

STREET LIGHT AND ANY TREE. ALL OUTDOOR LIGHTING SHALL BE IN COMPLIANCE WITH SECTION 134.0 OF

FEET INTO ANY SETBACKS. PORCHES, OR DECKS, OPEN OR ENCLOSED MAY PROJECT NOT MORE THAN 10

ORDER FOR BA-17-030C. THE REQUIRED SQUARE FOOTAGE FOR THIS PROJECT IS 500 SQUARE FEET PER ARCHITECTURAL STUDY AS PART OF THIS SITE DEVELOPMENT PLAN.

SUBJECT TO THE FOLLOWING:

ADEQUATE INTERSECTION SIGHT DISTANCE SHALL BE PROVIDED FOR THE PROPOSED ACCESS AT GUILFORD

MODERATE INCOME HOUSING UNIT (M.I.H.U.) TABULATIO b. M.I.H.U. PROPOSED = DEVELOPER WILL PURSUE ALTERNATIVE COMPLIANCE BY PAYING A

THE EXISTING SEPTIC SYSTEM SHOULD BE PROPERLY ABANDONED WITH DOCUMENTATION SENT TO THE HEALTH

46. THE CONTRACTOR SHALL NOTIFY THE DEPARTMENT OF PUBLIC WORKS/BUREAU OF NGINEERING/CONSTRUCTION INSPECTION DIVISION AT (410) 313-1000 AT LEAST FIVE(5) WORKING DAYS PRIOR TO THE START OF WORK.

51. ON THE APPROACH SIDE OF A "STOP" SIGN, NO STREET TREE SHALL BE PLANTED WITHIN 30' OF THE

INCLUDING THE PROPOSED PATHWAYS! SHALL BE ADA COMPLAINT. 7.PETITIONER SHALL EXTEND AND TIE IN THE PROPOSED ON-SITE PATHWAY TO THE OFF-SITE COLUMBIA ASSOCIATION PATHWAY/SIDEWALK SYSTEM AND WORK WITH THE ASSOCIATION AND THE COUNTY TO BUILD A CROSSWALK FROM THE PATHWAY BETWEEN UNITS 10 AND 11 OVER EDEN

BROOK DRIVE TO THE VILLAGE CENTER. PETITIONER SHALL OBTAIN ALL COLUMBIA ASSOCIATION APPROVALS, INCLUDING ALL NECESSARY EASEMENTS. ALL REQUIRED COLUMBIA ASSOCIATION APPROVALS, INCLUDING EASEMENTS, SHALL BE INCORPORATED INTO AND SHOWN ON THE SITE 8.PETITIONER IS RESPONSIBLE FOR MAKING ALL NECESSARY IMPROVEMENTS/MODIFICATIONS TO THOSE PORTIONS OF THE COLUMBIA ASSOCIATION PATHWAY/SIDEWALK SYSTEM TO MEET CURRENT

COUNTY AND ADA STANDARDS, AS INDICATED BY THE ARROW SHOWN ON THE CUP REPRODUCED ON PG. 170FTHIS DECISION AND ORDER. 9.PETITIONER SHALL COMPLY WITH ALL AGENCY COMMENTS.

10.PETITIONER SHALL OBTAIN ALL REQUIRED PERMITS. 11.PETITIONER SHALL COMPLY WITH ALL FEDERAL, STATE, AND LOCAL LAWS AND REGULATIONS.

NOTE: PLEASE NOTE THAT ALL LOTS/RESIDENTIAL UNITS IN THIS SUBDIVISION ARE SUBJECT TO THE MIHU FEE-IN-LIEU REQUIREMENT THAT IS TO BE CALCULATED AND PAID TO THE DEPARTMENT OF INSPECTIONS, LICENSES AND PERMITS AT THE TIME OF BUILDING PERMIT ISSUANCE BY

THE PERMIT APPLICANT.

TITLE SHEET

SINGLE FAMILY ATTACHED - AGE-RESTRICTED ADULT HOUSING

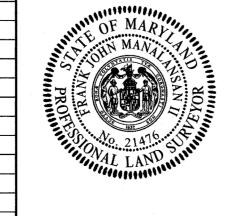
## EDEN BROOK

LOTS 1 THRU 24. OPEN SPACE LOTS 25 THRU 27 TAX MAP NO.: 42 GRID NO.: 7 PARCEL NO.: 269

ZONED R-12 SIXTH ELECTION DISTRICT HOWARD COUNTY, MARYLAND

SCALE: AS SHOWN DATE: SEPTEMBER, 2020 SHEET 1 OF 21

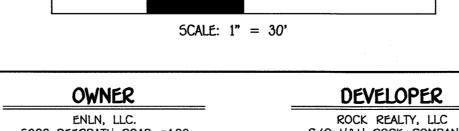
FISHER, COLLINS & CARTER, INC. IVIL ENGINEERING CONSULTANTS & LAND SURVEYORS (410) 461 - 2055



PROFESSIONAL CERTIFICATION

HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND THAT I AM A DULY LICENSED PROFESSIONAL LAND SURVEYOR UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 21476, EXPIRATION DATE: 7/14/21.

9/11/20

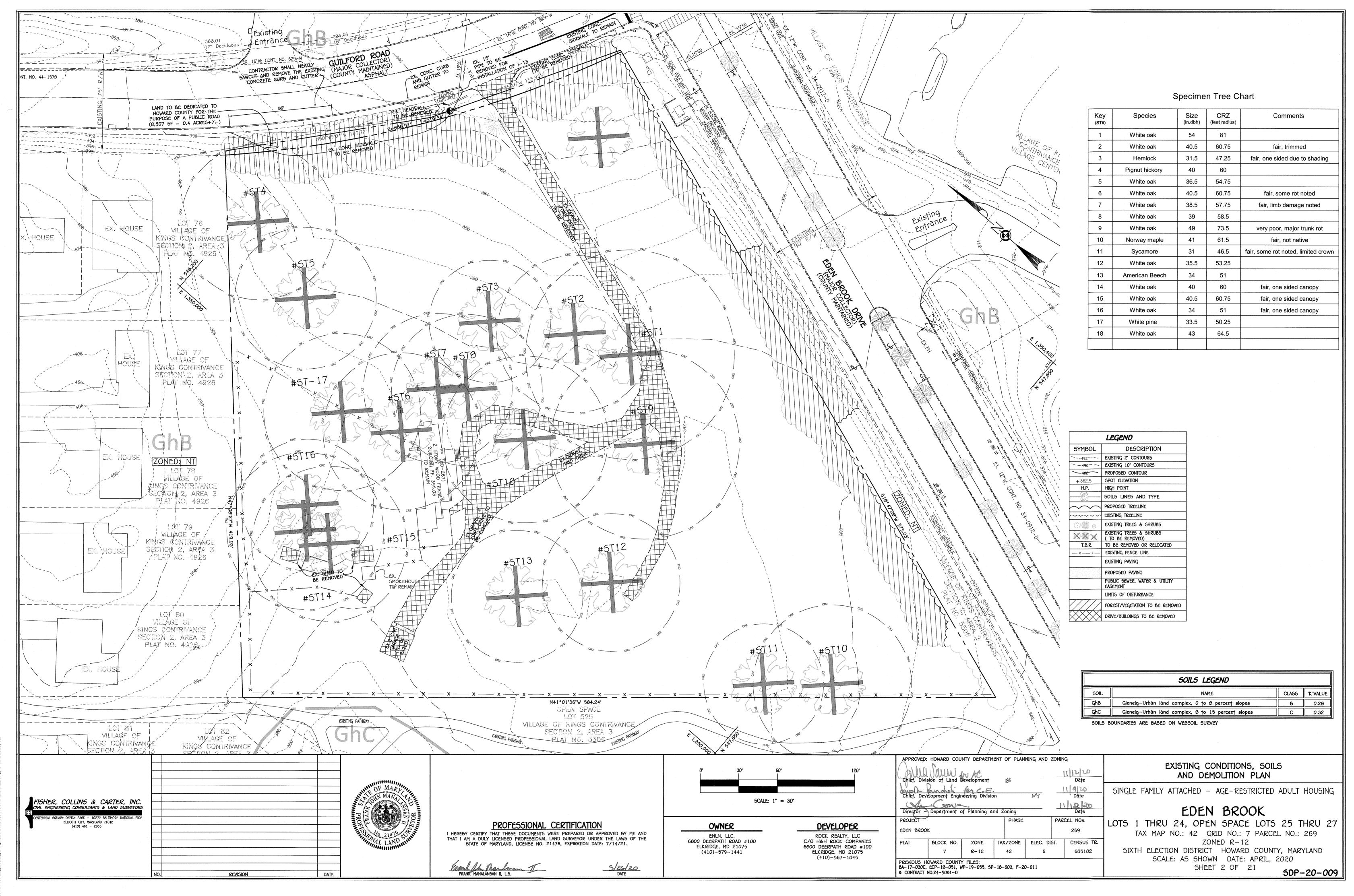


6000 DEERPATH ROAD #100 ELKRIDGE, MD 21075 (410)-579-1441

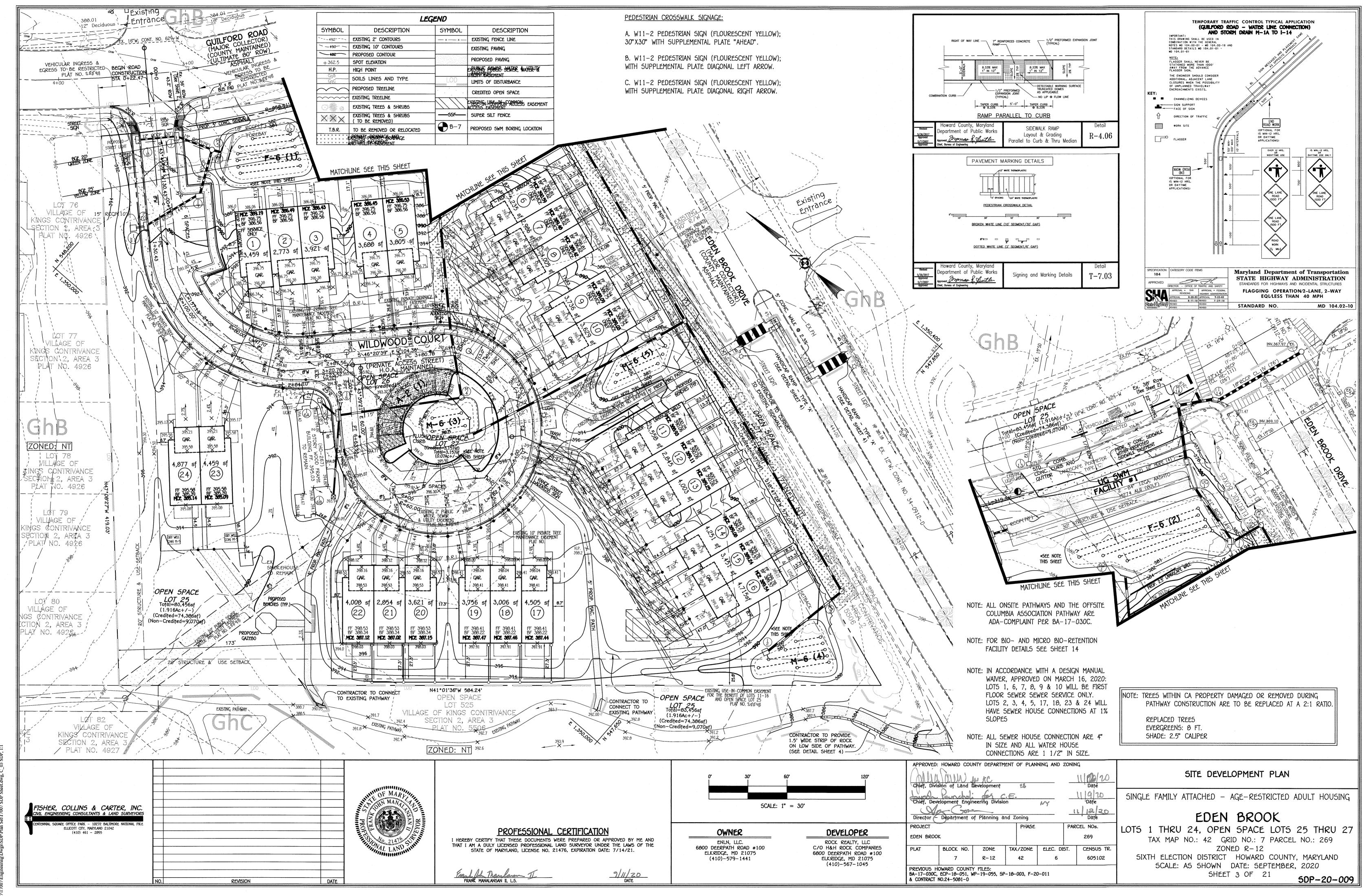
C/O H&H ROCK COMPANIES 6800 DEERPATH ROAD #100 ELKRIDGE, MD 21075 (410)-567-1045

Chief, Division of Land Development Chief, Development Engineering Division Mor Gon-Director - Department of Planning and Zoning PROJECT PARCEL NOs. EDEN BROOK 269 BLOCK NO. ZONE TAX/ZONE | ELEC. DIST. CENSUS TR. 605102 PREVIOUS HOWARD COUNTY FILES: BA-17-030C, ECP-10-051, WP-19-055, 5P-10-003, F-20-011

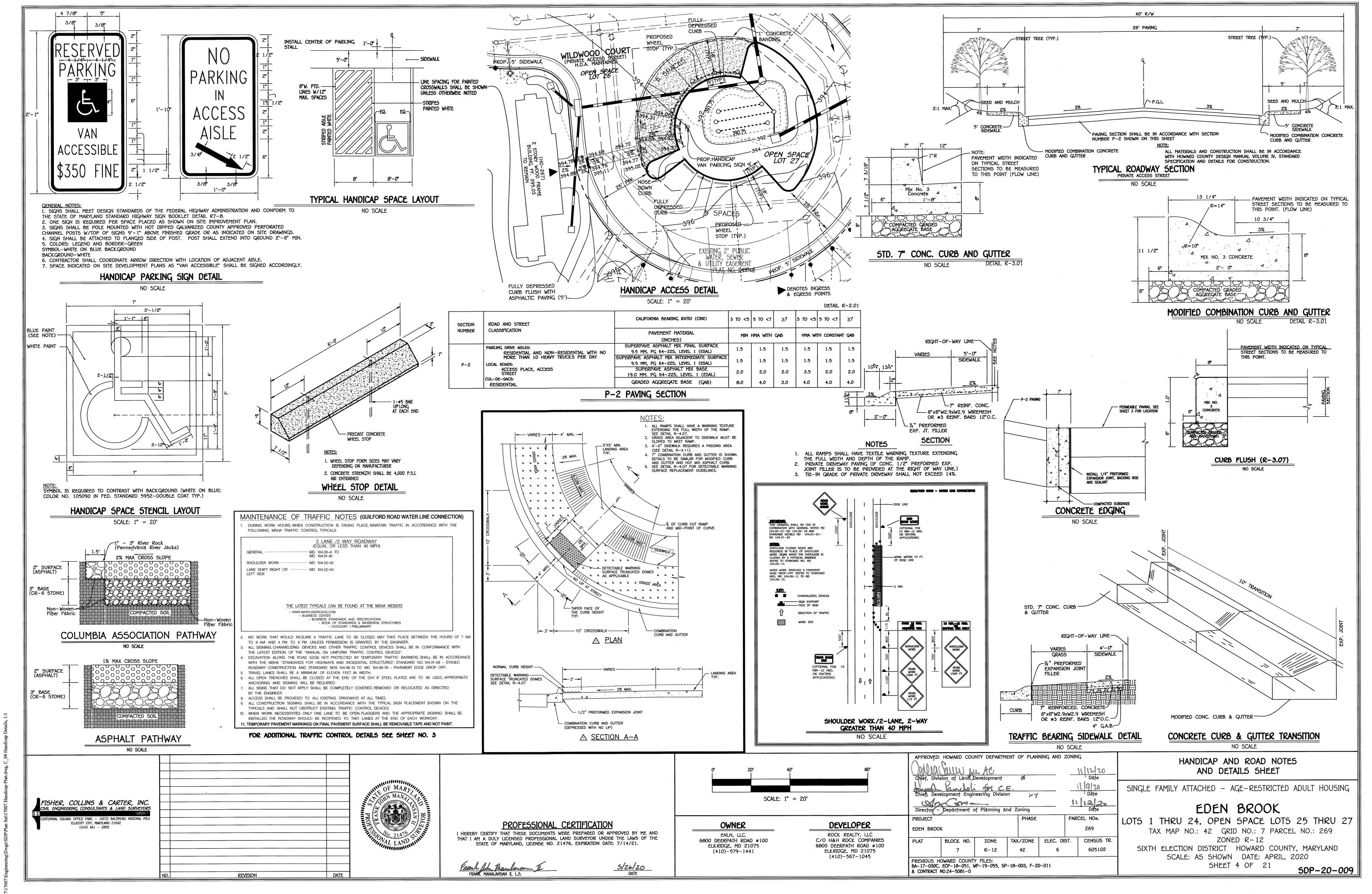
5DP-20-009

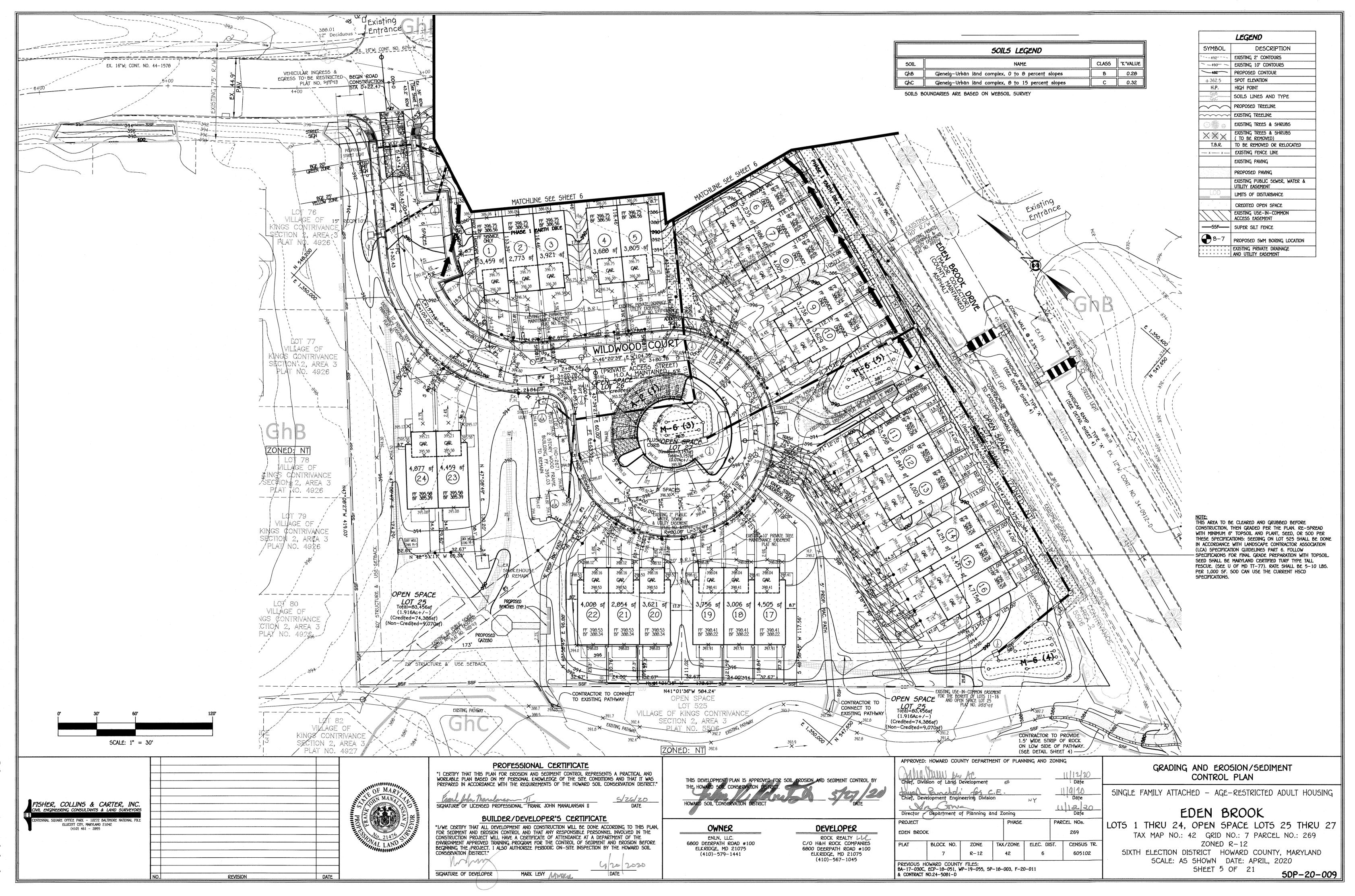


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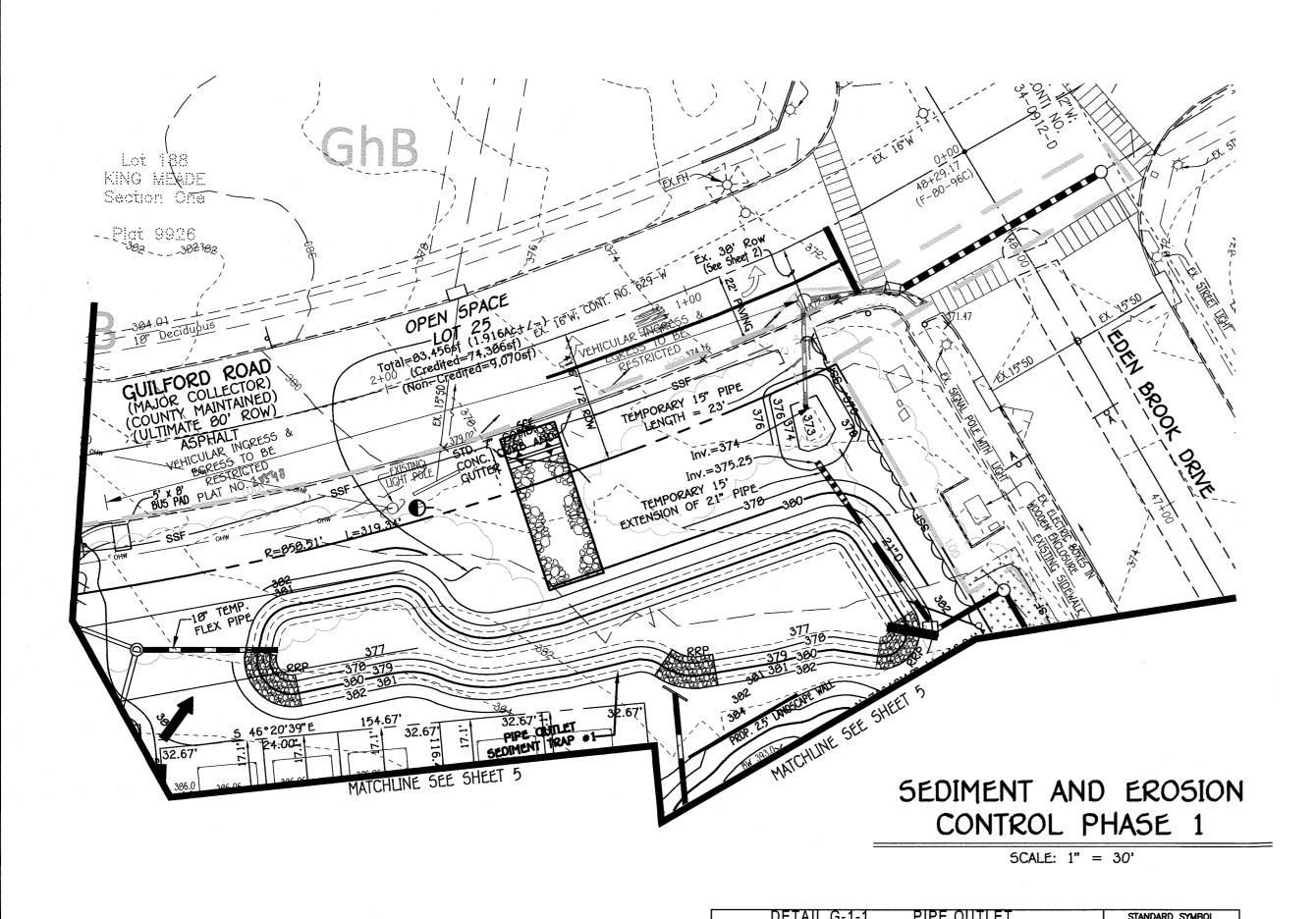


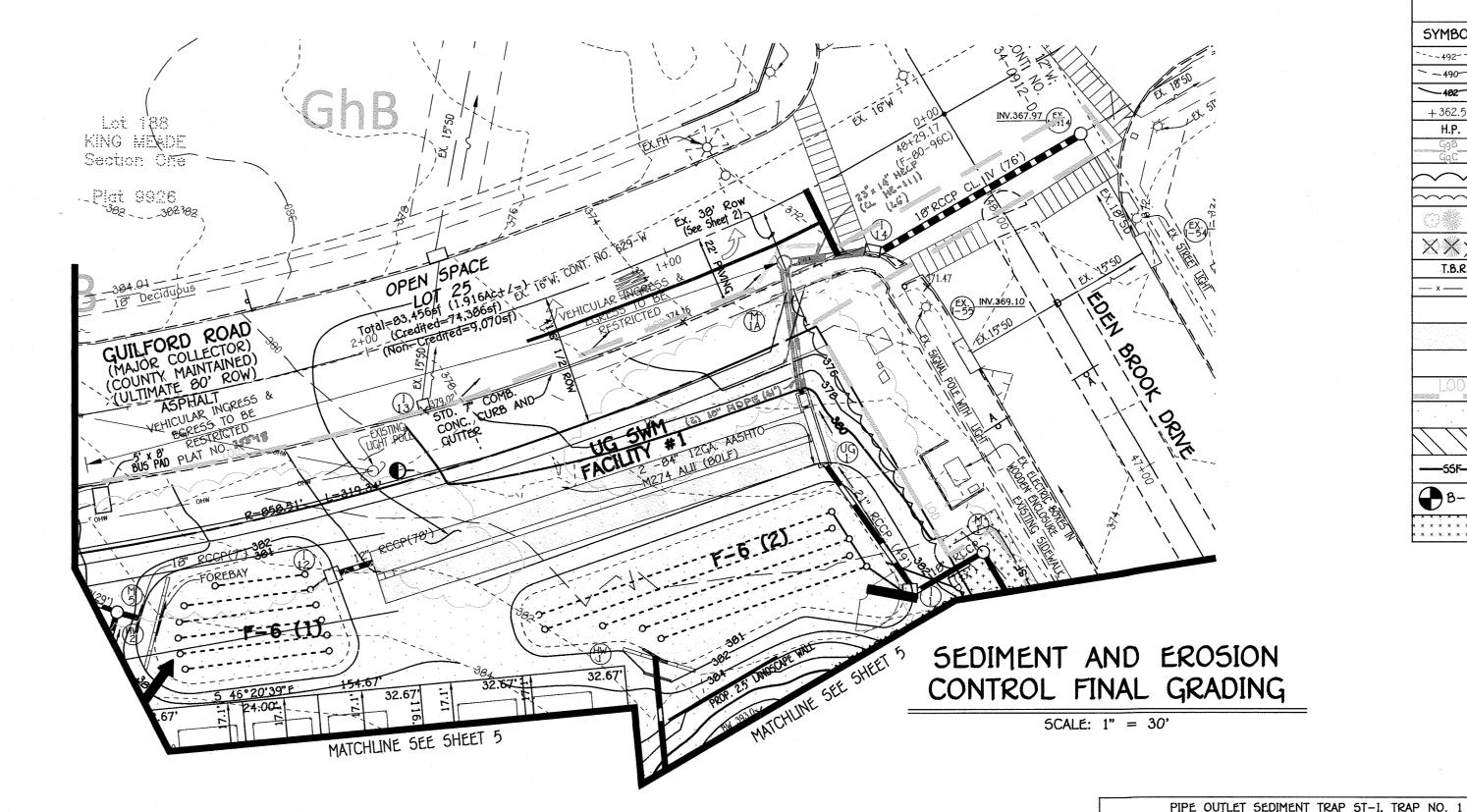
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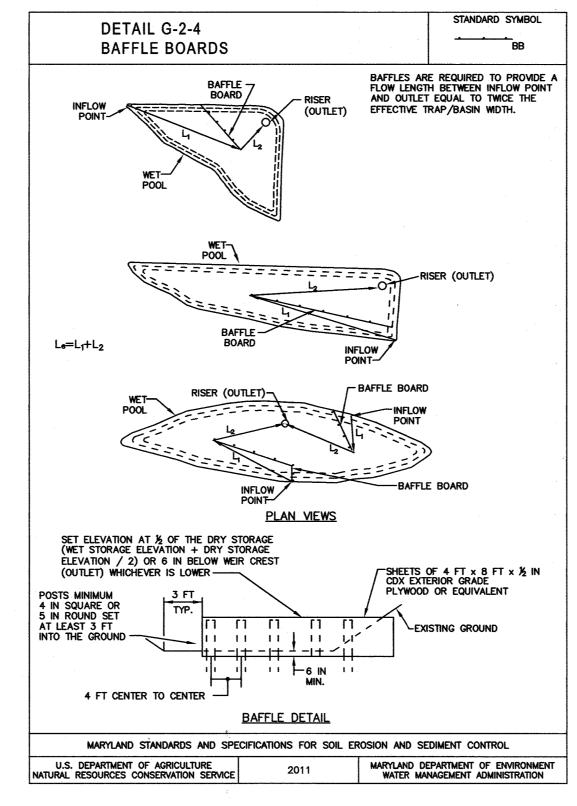
2017/17007\Engineering\Dwgs\SDP\Plan Set\17007 SEC Sheet.dwg, C_05 SEC, 1:1





	LEGEND
5YMBOL	DESCRIPTION
492	EXISTING 2' CONTOURS
-490	EXISTING 10' CONTOURS
102	PROPOSED CONTOUR
+ 362.5	SPOT ELEVATION
H.P.	HIGH POINT
G98 G9C	SOILS LINES AND TYPE
$\sim$	PROPOSED TREELINE
~~~~	EXISTING TREELINE
0 % e	EXISTING TREES & SHRUBS
XXX	EXISTING TREES & SHRUBS (TO BE REMOVED)
T.B.R.	TO BE REMOVED OR RELOCATED
— x — x —	EXISTING FENCE LINE
	existing paving
	PROPOSED PAVING
	EXISTING PUBLIC SEWER, WATER & UTILITY EASEMENT
LOD	LIMITS OF DISTURBANCE
* * *	CREDITED OPEN SPACE
	EXISTING USE—IN—COMMON ACCESS EASEMENT
——55F——	SUPER SILT FENCE
₽ 8-7	PROPOSED SWM BORING LOCATION
* * * * * * * * * * * * * * * * * * * *	EXISTING PRIVATE DRAINAGE AND UTILITY EASEMENT

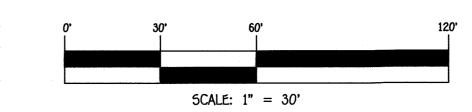
	DETAIL G-1-1 PIPE OUT		STANDARD SYMBOL
	SEDIMENT	IRAP	ST-I
	ST-I		
CON	ISTRUCTION SPECIFICATIONS		
1.	CONSTRUCT TRAP IN SUCH A MANNER THAT EROSI	ON AND WATER POLLUTIO	IN ARE AVOIDED.
2.	CLEAR, GRUB, AND STRIP ANY VEGETATION AND REMBANKMENT AND TRAP BOTTOM.	OT MAT FROM THE AREA	A UNDER THE
3.	PERFORATE THE RISER WITH 1 INCH DIAMETER HOLL LOWEST PERFORATIONS AT THE WET STORAGE ELEV DRAW-DOWN DEVICE PERFORATED ACCORDING TO A WITHIN 6 INCHES OF THE TOP OF THE HORIZONTAL	VATION OR PROVIDE A HO APPROVED PLAN. DO NOT	DRIZONTAL OR VERTICAL
4.	SET RISER/BARREL ASSEMBLY PRIOR TO EMBANKMI WATERTIGHT. OFFSET RISER FROM EMBANKEMENT TO ANCHOR THE RISER WITH EITHER A REINFORCED COFLOTATION. MAKE CONCRETE BASES AT LEAST TWO WITH THE RISER EMBEDDED 9 INCHES.	O ACCOMODATE PLACEME ONCRETE BASE OR STEEL	INT OF THE TRASH RACK PLATE BASE TO PREVE
5.	USE FILL MATERIAL FREE OF ROOTS, WOODY VEGET MATERIAL, OR OTHER OBJECTIONABLE MATERIAL FO		S, ROCKS, ORGANIC
6.	HAND COMPACT IN 4 INCH LAYERS FILL MATERIAL OF 2 FEET OF HAND COMPACTED BACKFILL OVER 1 CONSTRUCTION EQUIPMENT.		
7.	CONSTRUCT TOP OF EMBANKMENT 1 FOOT MINIMUM BY TRAVERSING WITH EQUIPMENT WHILE IT IS BEING		OMPACT THE EMBANKMEN
8.	MAKE ALL CUT AND FILL SLOPES 2:1 OR FLATTER.		
9.	WRAP THE RISER WITH 1/4, INCH GALVANIZED HARDW GEOTEXTILE. DO NOT WRAP WITH MORE THAN ONE AND GEOTEXTILE AT LEAST 6 INCHES ABOVE THE FREDW THE LOWEST PERFORATIONS. OVERLAP, FOLL TOGETHER TO PREVENT BYPASS. REPLACE GEOTEXT	LAYER OF GEOTEXTILE. E HIGHEST PERFORATIONS A DI AND FASTEN WHERE EN	XTEND HARDWARE CLOTI AND AT LEAST 6 INCHES ADS OF GEOTEXTILE COM
10.	USE STRAPS OR CONNECTING BANDS AT THE TOP GEOTEXTILE AND HARDWARE CLOTH IN PLACE.	AND BOTTOM OF THE GE	OTEXTILE TO HOLD THE
11.	USE NONWOVEN GEOTEXTILE AS SPECIFIED IN SECTI	ON H-1 MATERIALS.	
12.	STABILIZE THE EMBANKMENT AND INTERIOR SLOPES CONCENTRATED INFLOW AS SHOWN ON APPROVED I		STABILIZE POINTS OF
13.	CONSTRUCT AND MAINTAIN THE OUTLET ACCORDING MANNER THAT EROSION AT OR BELOW THE OUTLET		N AND IN SUCH A
14.	REMOVE SEDIMENT AND RESTORE TRAP TO ORIGINA TO CLEANOUT ELEVATION (50% OF WET STORAGE DIAPPROVED AREA AND IN SUCH A MANNER THAT IT OUTFLOW AS WELL AS INTERIOR OF THE TRAP FREIDEBRIS. MAINTAIN EMBANKMENTS TO CONTINUOUSLY ESTABLISHMENT IN ACCORDANCE WITH SECTION BURUSH, OR OTHER WOODY VEGETATION GROWING OF MAINTAIN LINE, GRADE, AND CROSS SECTION. MAIN GEOTEXTILE AROUND PERFORATED RISER IF DRY STHOURS.	PEPTH). DEPOSIT REMOVED WILL NOT ERODE. KEEP EFROM EROSION, AND RICY MEET REQUIREMENTS FOR VEGETATIVE STABILIZATIVE STABILIZATIVE STABILIZATIVE STABILIZATIVE TALLIN WATER TIGHT CONNE	D SEDIMENT IN AN POINTS OF INFLOW AND EMOVE ACCUMULATED OR ADEQUATE VEGETATIVITON. REMOVE ANY TREES PRINCIPAL SPILLWAY. ECTIONS. REPLACE
15.	WHEN DEWATERING TRAP, PASS REMOVED WATER T PRACTICE.	HROUGH AN APPROVED S	SEDIMENT CONTROL
16.	UPON REMOVAL, GRADE AND STABILIZE THE AREA	OCCUPIED BY TRAP.	2 OF 3
	MARYLAND STANDARDS AND SPECIFICATIONS FO	R SOIL EROSION AND SE	DIMENT CONTROL



drainage area — initial	2.48	ACRE5
DRAINAGE AREA - INTERIM		ACRE5
DRAINAGE AREA - FINAL	3.73	ACRE5
TOTAL STORAGE REQUIRED	13,428	CF
TOTAL STORAGE PROVIDED	20,332	CF
WET STORAGE REQUIRED	6,714	CF
WET STORAGE PROVIDED	6,714	CF
DRY STORAGE REQUIRED (TSWM)	13,420	CF
DRY STORAGE PROVIDED (TSWM)	13,420	CF
TRAP BOTTOM ELEVATION	377.90	, FT
TRAP BOTTOM DIMENSIONS (AVERAGE)	30 x 106	FTxFT
RISER CREST (DRY STORAGE) ELEVATION	380.80	FT
OUTLET (WET STORAGE) ELEVATION	379.55	FT
CLEANOUT ELEVATION	370.70	FT
TOP OF EMBANKMENT ELEVATION	381.90	FT
SIDE SLOPE	2	H:V RATIO
EMBANKMENT TOP WIDTH	4	FT
PRINCIPAL SPILLWAY MATERIAL (BARREL, RISER, ANTI-SEEP COLLAR)	CMP METAL	
RISER DIAMETER	33	. IN
BARREL DIAMETER	24	IN
trash rack diameter	48	IN
trash rack height	29	. IN
ANTI-SEEP COLLAR DIMENSIONS	6.5 x 6.5	IN
OUTLET PROTECTION - LENGTH	STILLING BASIN	FT
OUTLET PROTECTION - WIDTH	STILLING BASIN	IN
OUTLET PROTECTION - DEPTH	STILLING BASIN	IN

50ILS LEGEND							
50IL	NAME	CLA55	'K'VALUE				
GhB	Glenelg-Urban land complex, 0 to 8 percent slopes	В	0.28				
GhC	Glenelg-Urban land complex, 8 to 15 percent slopes	С	0.32				

SOILS BOUNDARIES ARE BASED ON WEBSOIL SURVEY



	· · · · · · · · · · · · · · · · · · ·		
			•
	·		
NO	PEVISION	DATE	
	NO.	NO. REVISION	NO. REVISION DATE



	PROFESSIONAL CERTIFICATE								
WORKABLE	PLAN BASI	ED ON MY	PERSONAL.	AND SEDIMENT KNOWLEDGE JIREMENTS OF	OF THE SITE	CONDITIONS	AND THAT	IT WAS	
	11	1					- la .	/	

SIGNATURE OF LICENSED PROFESSIONAL FRANK JOHN MANALANSAN II 5/26/20 DATE

BUILDER/DEVELOPER'S CERTIFICATE "I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN, FOR SEDIMENT AND EROSION CONTROL AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT."

4/20/2020 SIGNATURE OF DEVELOPER MARK/LEVY //AAAAGE

-	THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT. HOWARD SOIL CONSERVATION DISTRICT DATE	

OWNER	DEVELOPER
ENLN, LLC. 6000 DEERPATH ROAD #100 ELKRIDGE, MD 21075 (410)-579-1441	ROCK REALTY CC C/O H&H ROCK COMPANIES 6800 DEERPATH ROAD #100 ELKRIDGE, MD 21075 (410)-567-1045

APPROVED:	HOWARD COU	NTY DEPARTM	ENT OF PLAN	INING AND	ZONIN	G 20	_
Chief, Divis	sion of Land (evelopment	Éß			Date	
Layer	. Rodali	for c	·E.			120	. 6
Chief, Deve	elopment Engir	neering Divisio	'n	MX		° Då†e	
Why.	1 70W-			<u> </u>	distribution of the control of the c	1230	
Director -	Department of	of Planning a	nd Zoning			Date	
PROJECT			PHASE		PAR	CEL NOs.	110
EDEN BROOM	K					269	
PLAT	BLOCK NO.	ZONE	TAX/ZONE	ELEC. DI	5T.	CENSUS TR.	
•	7	R-12	42	6		605102	
BA-17-030C,	OWARD COUNT ECP-10-051, W NO.24-5001-0		-1 0 -003, F-2	0-011			

GRA	ADING			SION/SEDIM PLAN	IENT	
FAMILY	ATTACH	HFN -	AGF-	-RESTRICTED	ADULT	Н

SINGLE FAMILY ATTACHED - AGE-RESTRICTED ADULT HOUSING

EDEN BROOK

LOTS 1 THRU 24, OPEN SPACE LOTS 25 THRU 27 TAX MAP NO.: 42 GRID NO.: 7 PARCEL NO.: 269

ZONED R-12 SIXTH ELECTION DISTRICT HOWARD COUNTY, MARYLAND SCALE: AS SHOWN DATE: APRIL, 2020 SHEET 6 OF 21

5DP-20-009

A. SOIL PREPARATION 1. TEMPORARY STABILIZATION

I. SOIL PH BETWEEN 6.0 AND 7.0.

A. SEEDBED PREPARATION CONSISTS OF LOOSENING SOIL TO A DEPTH OF 3 TO 5 INCHES BY MEANS OF SUITABLE AGRICULTURAL OR CONSTRUCTION FOLIPMENT, SUCH AS DISC HARROWS OR CHISFL PLOWS OR RIPPERS MOUNTED ON CONSTRUCTION EQUIPMENT. AFTER THE SOIL IS LOOSENED. IT MUST NOT BE ROLLED OR DRAGGED SMOOTH BUT LEFT IN THE ROUGHENED CONDITION, SLOPES 3:1 OR FLATTER ARE TO BE TRACKED WITH RIDGES RUNNING PARALLEL

B. APPLY FERTILIZER AND LIME AS PRESCRIBED ON THE PLANS. C. INCORPORATE LIME AND FERTILIZER INTO THE TOP 3 TO 5 INCHES OF SOIL BY DISKING OR OTHER SUITABLE MEANS. 2. PERMANENT STABILIZATION A. A SOIL TEST IS REQUIRED FOR ANY EARTH DISTURBANCE OF 5 ACRES OR MORE. THE MINIMUM SOIL CONDITIONS REQUIRED FOR PERMANENT VEGETATIVE ESTABLISHMENT ARE:

II. SOLUBLE SALTS LESS THAN 500 PARTS PER MILLION (PPM). III. SOIL CONTAINS LESS THAN 40 PERCENT CLAY BUT ENOUGH FINE GRAINED MATERIAL (GREATER THAN 30 PERCENT SILT PLUS CLAY) TO PROVIDE THE CAPACITY TO HOLD A MODERATE AMOUNT OF MOISTURE. AN EXCEPTION: IF LOVEGRASS WILL BE PLANTED, THEN A SANDY SOIL (LESS THAN 30 PERCENT SILT PLUS CLAY) WOULD BE

IV. SOIL CONTAINS 1.5 PERCENT MINIMUM ORGANIC MATTER BY WEIGHT. V. SOIL CONTAINS SUFFICIENT PORE SPACE TO PERMIT ADEQUATE ROOT PENETRATION B. APPLICATION OF AMENDMENTS OR TOPSOIL IS REQUIRED IF ON-SITE SOILS DO NOT MEET THE ABOVE CONDITIONS

C. GRADED AREAS MUST BE MAINTAINED IN A TRUE AND EVEN GRADE AS SPECIFIED ON THE APPROVED PLAN. THEN SCARIFIED OR OTHERWISE LOOSENED TO A DEPTH OF 3 TO 5 INCHES. D. APPLY SOIL AMENDMENTS AS SPECIFIED ON THE APPROVED PLAN OR AS INDICATED BY THE RESULTS OF A SOIL TEST. E. MIX SOIL AMENDMENTS INTO THE TOP 3 TO 5 INCHES OF SOIL BY DISKING OR OTHER SUITABLE MEANS. RAKE LAWN zeas to smooth the surface, remove large objects like stones and branches, and ready the area for SEED APPLICATION. LOOSEN SURFACE SOIL BY DRAGGING WITH A HEAVY CHAIN OR OTHER EQUIPMENT TO ROUGHEN TH SURFACE WHERE SITE CONDITIONS WILL NOT PERMIT NORMAL SEEDBED PREPARATION, TRACK SLOPES 3:1 OR FLATTER WITH TRACKED EQUIPMENT LEAVING THE SOIL IN AN IRREGULAR CONDITION WITH RIDGES RUNNING PARALLEL TO THE CONTOUR OF THE SLOPE, LEAVE THE TOP 1 TO 3 INCHES OF SOIL LOOSE AND FRIABLE, SEEDBED LOOSENING MAY BE UNNECESSARY ON NEWLY DISTURBED AREAS.

B. TOPSOILING 1. TOPSOIL IS PLACED OVER PREPARED SUBSOIL PRIOR TO ESTABLISHMENT OF PERMANENT VEGETATION. THE PURPOSE IS TO PROVIDE A SUITABLE SOIL MEDIUM FOR VEGETATIVE GROWTH. SOILS OF CONCERN HAVE LOW MOISTURE CONTENT. LOW NUTRIENT LEVELS, LOW PH. MATERIALS TOXIC TO PLANTS, AND/OR UNACCEPTABLE SOIL GRADATION.

2. TOPSOIL SALVAGED FROM AN EXISTING SITE MAY BE USED PROVIDED IT MEETS THE STANDARDS AS SET FORTH IN THESE SPECIFICATIONS, TYPICALLY, THE DEPTH OF TOPSOIL TO BE SALVAGED FOR A GIVEN SOIL TYPE CAN BE FOUND IN THE REPRESENTATIVE SOIL PROFILE SECTION IN THE SOIL SURVEY PUBLISHED BY USDA-NRCS. 3. TOPSOILING IS LIMITED TO AREAS HAVING 2:1 OR FLATTER SLOPES WHERE: A. THE TEXTURE OF THE EXPOSED SUBSOIL/PARENT MATERIAL IS NOT ADEQUATE TO PRODUCE VEGETATIVE GROWTH

B. THE SOIL MATERIAL IS SO SHALLOW THAT THE ROOTING ZONE IS NOT DEEP ENOUGH TO SUPPORT PLANTS OR FURNISH CONTINUING SUPPLIES OF MOISTURE AND PLANT NUTRIENTS. C. THE ORIGINAL SOIL TO BE VEGETATED CONTAINS MATERIAL TOXIC TO PLANT GROWTH D. THE SOIL IS SO ACIDIC THAT TREATMENT WITH LIMESTONE IS NOT FEASIBLE. 4. Areas having slopes steeper than 2:1 require special consideration and design

A. TOPSOIL MUST BE A LOAM, SANDY LOAM, CLAY LOAM, SILT LOAM, SANDY CLAY LOAM, OR LOAMY SAND. OTHER

5. Topsoil specifications: soil to be used as topsoil must meet the following criteria:

SOILS MAY BE USED IF RECOMMENDED BY AN AGRONOMIST OR SOIL SCIENTIST AND APPROVED BY THE APPROPRIATE APPROVAL AUTHORITY. TOPSOIL MUST NOT BE A MIXTURE OF CONTRASTING TEXTURED SUBSOILS AND MUST CONTAIN LESS THAN 5 PERCENT BY VOLUME OF CINDERS, STONES, SLAG, COARSE FRAGMENTS, GRAVEL, STICKS, ROOTS, TRASH, or other materials larger than 1 1/2 inches in diameter. B. TOPSOIL MUST BE FREE OF NOXIOUS PLANTS OR PLANT PARTS SUCH AS BERMUDA GRASS, QUACK GRASS, JOHNSON

GRASS, NUT SEDGE, POISON IVY, THISTLE, OR OTHERS AS SPECIFIED. C. TOPSOIL SUBSTITUTES OR AMENDMENTS, AS RECOMMENDED BY A QUALIFIED AGRONOMIST OR SOIL SCIENTIST AND APPROVED BY THE APPROPRIATE APPROVAL AUTHORITY, MAY BE USED IN LIEU OF NATURAL TOPSOIL. 6. TOPSOIL APPLICATION

A EROSION AND SEDIMENT CONTROL PRACTICES MUST BE MAINTAINED WHEN APPLYING TOPSOIL. B. UNIFORMLY DISTRIBUTE TOPSOIL IN A 5 TO Ø INCH LAYER AND LIGHTLY COMPACT TO A MINIMUM THICKNESS OF 4 INCHES. SPREADING IS TO BE PERFORMED IN SUCH A MANNER THAT SODDING OR SEEDING CAN PROCEED WITH A MINIMUM OF ADDITIONAL SOIL PREPARATION AND TILLAGE. ANY IRREGULARITIES IN THE SURFACE RESULTING FROM TOPSOILING OR OTHER OPERATIONS MUST BE CORRECTED IN ORDER TO PREVENT THE FORMATION OF DEPRESSIONS OR WATER POCKETS. C. TOPSOIL MUST NOT BE PLACED IF THE TOPSOIL OR SUBSOIL IS IN A FROZEN OR MUDDY CONDITION, WHEN THE SUBSOIL IS EXCESSIVELY WET OR IN A CONDITION THAT MAY OTHERWISE BE DETRIMENTAL TO PROPER GRADING AND SEEDBED

C. SOIL AMENDMENTS (FERTILIZER & LIME SPECIFICATIONS) 1. SOIL TESTS MUST BE PERFORMED TO DETERMINE THE EXACT RATIOS AND APPLICATION RATES FOR BOTH LIME AND FERTILIZER ON SITES HAVING DISTURBED AREAS OF 5 ACRES OR MORE. SOIL ANALYSIS MAY BE PERFORMED BY A RECOGNIZED PRIVATE OR COMMERCIAL LABORATORY. SOIL SAMPLES TAKEN FOR ENGINEERING PURPOSES MAY ALSO

BE USED FOR CHEMICAL ANALYSES. 2. FERTILIZERS MUST BE UNIFORM IN COMPOSITION, FREE FLOWING AND SUITABLE FOR ACCURATE APPLICATION BY APPROPRIATE EQUIPMENT. MANURE MAY BE SUBSTITUTED FOR FERTILIZER WITH PRIOR APPROVAL FROM THE APPROPRIATE APPROVAL AUTHORITY, FERTILIZERS MUST ALL BE DELIVERED TO THE SITE FULLY LABELED ACCORDING TO THE APPLICABLE LAWS AND MUST BEAR THE NAME, TRADE NAME OR TRADEMARK AND WARRANTY OF THE PRODUCER.

3. LIME MATERIALS MUST BE GROUND LIMESTONE (HYDRATED OR BURNT LIME MAY BE SUBSTITUTED EXCEPT WHEN HYDROSEEDING) WHICH CONTAINS AT LEAST 50 PERCENT TOTAL OXIDES (CALCIUM OXIDE PLUS MAGNESIUM OXIDE). limestone must be ground to such fineness that at least 50 percent will pass through a #100 mesh sieve AND 98 TO 100 PERCENT WILL PASS THROUGH A #20 MESH SIEVE. 4. LIME AND FERTILIZER ARE TO BE EVENLY DISTRIBUTED AND INCORPORATED INTO THE TOP 3 TO 5 INCHES OF SOIL BY

DISKING OR OTHER SUITABLE MEANS. 5. WHERE THE SUBSOIL IS EITHER HIGHLY ACIDIC OR COMPOSED OF HEAVY CLAYS, SPREAD GROUND LIMESTONE AT THE RATE OF 4 TO 6 TONS/ACRE (200-400 POUNDS PER 1,000 SQUARE FEET) PRIOR TO THE PLACEMENT OF TOPSOIL

DUST CONTROL

DEFINITION CONTROLLING DUST BLOWING AND MOVEMENT ON CONSTRUCTION SITES AND ROADS.

<u>PURPOSE</u> to prevent blowing and movement of dust from expose DAMAGE, HEALTH HAZARDS AND IMPROVE TRAFFIC SAFETY

CONDITIONS WHERE PRACTICE APPLIES THIS PRACTICE IS APPLICABLE TO AREAS SUBJECT TO DUST BLOWING AND MOVEMENT WHERE ON AND OFF-SITE DAMAGE IS LIKELY WITHOUT TREATMENT.

<u>SPECIFICATIONS</u>

TEMPORARY METHODS 1. MULCHES - SEE STANDARDS FOR VEGETATIVE STABILIZATION WITH MULCHES ONLY. MULCH SHOULD BE CRIMPED OR TACKED TO PREVENT BLOWING. 2. VEGETATIVE COVER - SEE STANDARDS FOR TEMPORARY VEGETATIVE COVER. 3. TILLAGE - TO ROUGHEN SURFACE AND BRING CLODS TO THE SURFACE. THIS IS AN EMERGENCY MEASURE WHICH SHOULD BE USED BEFORE SOIL BLOWING STARTS. BEGIN PLOWING ON WINDWARD SIDE OF THE SITE. CHISEL-TYPE PLOWS SPACED ABOUT 12" APART, SPRING-TOOTHED HARROWS AND SIMILAR PLOWS ARE EXAMPLES OF EQUIPMENT

WHICH MAY PRODUCE THE DESIRED EFFECT. I. IRRIGATION — THIS IS GENERALLY DONE AS AN EMERGENCY TREATMENT. SITE IS SPRINKLED WITH WATER UNTIL THE SURFACE IS MOIST. REPEAT AS NEEDED. AT NO TIME SHOULD THE SITE BE IRRIGATED TO THE POINT THAT 5. BARRIERS - SOLID BOARD FENCES SILT FENCES, SNOW FENCES, BURLAP FENCES, STRAW BALE DIKES AND

SIMILAR MATERIAL CAN BE USED TO CONTROL AIR CONTROLLING SOIL BLOWING, CURRENTS AND SOIL BLOWING. CURRENTS AND SOIL BLOWING. BARRIERS PLACED AT RIGHT ANGLES TO PREVAILING CURRENTS AT INTERVALS OF ABOUT 10 TIMES THEIR HEIGHT ARE EFFECTIVE IN 3. CALCIUM CHLORIDE - APPLY AT RATES THAT WILL KEEP SURFACE MOIST. MAY NEED RETREATMENT. PERMANENT METHODS

. PERMENENT VEGETATION - SEE STANDARDS FOR PERMANENT VEGETATIVE COVER AND PERMANENT STABILIZATION WITH SOD, EXISTING TREES OR LARGE SHRUBS MAY AFFORD VALUABLE PROTECTION IF LEFT IN PLACE. 2. TOPSOILING - COVERING WITH LESS EROSIVE SOIL MATERIALS, SEE STANDARDS FOR TOPSOILING. 3. STONE - COVER SURFACE WITH CRUSHED STONE OR COARSE GRAVEL.

TEMPORARY SEEDING NOTES (B-4-4) DEFINITION TO STABILIZE DISTURBED SOILS WITH VEGETATION FOR UP TO 6 MONTHS

PURPOSE

TO USE FAST GROWING VEGETATION THAT PROVIDES COVER ON DISTURBED SOILS. CONDITIONS WHERE PRACTICE APPLIES exposed soils where ground cover is needed for a period of 6 months or less FOR LONGER DURATION OF TIME, PERMANENT STABILIZATION PRACTICES ARE REQUIRED

 SELECT ONE OR MORE OF THE SPECIES OR SEED MIXTURES LISTED IN TABLE B.1 FOR THE APPROPRIATE PLANT HARDINESS ZONE (FROM FIGURE B.3), AND ENTER THEM IN THE TEMPORARY SEEDING SUMMARY BELOW ALONG WITH APPLICATION RATES, SEEDING DATES AND SEEDING DEPTHS. IF THIS SUMMARY IS NOT PUT ON THE PLAN AND COMPLETED, THEN TABLE B.1 PLUS FERTILIZER 2. FOR SITES HAVING SOIL TESTS PERFORMED, USE AND SHOW THE RECOMMENDED RATES BY THE

TESTING AGENCY, SOIL TESTS ARE NOT REQUIRED FOR TEMPORARY SEEDING.). WHEN STABILIZATION IS REQUIRED OUTSIDE OF A SEEDING SEASON, APPLY SEED AND MULCH OR STRAW MULCH ALONE AS PRESCRIBED IN SECTION B-4-3.A.1.B AND MAINTAIN UNTIL THE NEXT SEEDING SEASON.

TEMPORARY SEEDING SUMMARY FERTILIZER RATE LIME RATE (10-20-20) HARDINESS ZONE (FROM FIGURE B.3): 68 SEED MIXTURE (FROM TABLE B.1): SPECIES APPLICATION RATE SEEDING SEEDING (LB/AC) DATES DEPTHS BARLEY 96 1" 436 LB/AC (10 LB/ 1000 5F) 1"

PERMANENT SEEDING NOTES (B-4-5)

A. SEED MIXTURES

1. GENERAL USE A. SELECT ONE OR MORE OF THE SPECIES OR MIXTURES LISTED IN TABLE 8.3 FOR THE APPROPRIATE PLANT IARDINESS ZONE (FROM FIGURE B.3) AND BASED ON THE SITE CONDITION OR PURPOSE FOUND ON TABLE B.2. enter selected mixture(s), application rates, and seeding dates in the permanent seeding summary THE SUMMARY IS TO BE PLACED ON THE PLAN. B. ADDITIONAL PLANTING SPECIFICATIONS FOR EXCEPTIONAL SITES SUCH AS SHORELINES, STREAM BANKS

OR DUNES OR FOR SPECIAL PURPOSES SUCH AS WILDLIFE OR AESTHETIC TREATMENT MAY BE FOUND USDA-NRCS TECHNICAL FIELD OFFICE GUIDE, SECTION 342 - CRITICAL AREA PLANTING. C. FOR SITES HAVING DISTURBED AREA OVER 5 ACRES, USE AND SHOW THE RATES RECOMMENDED BY THE SOIL testing agency. D. for areas receiving low maintenance, apply urea form fertilizer (46–0–0) at 3 1/2 POUNDS PER 1000 SQUARE FEET (150 POUNDS PER ACRE) AT THE TIME OF SEEDING IN ADDITION TO THE SOIL AMENDMENTS SHOWN IN THE PERMANENT SEEDING SUMMARY.

2. TURFGRASS MIXTURFS A AREAS WHERE TURFGRASS MAY BE DESIRED INCLUDE LAWNS, PARKS, PLAYGROUNDS, AND COMMERCIAL SITES WHICH WILL RECEIVE A MEDIUM TO HIGH LEVEL OF MAINTENANCE.

B. SELECT ONE OR MORE OF THE SPECIES OR MIXTURES LISTED BELOW BASED ON THE SITE CONDITIONS OR PURPOSE. ENTER SELECTED MIXTURE(5), APPLICATION RATES, AND SEEDING DATES IN THE PERMANENT SEEDING SUMMARY. THE SUMMARY IS TO BE PLACED ON THE PLAN. . KENTUCKY BLUEGRASS: FULL SUN MIXTURE: FOR USE IN AREAS THAT RECEIVE INTENSIVE MANAGEMENT IRRIGATION REQUIRED IN THE AREAS OF CENTRAL MARYLAND AND EASTERN SHORE. RECOMMENDED

CERTIFIED KENTUCKY BLUEGRASS CULTIVARS SEEDING RATE: 1.5 TO 2.0 POUNDS PER 1000 SQUARE FEET. CHOOSE A MINIMUM OF THREE KENTUCKY BLUEGRASS CULTIVARS WITH EACH RANGING FROM 10 TO 35 ercent of the total mixture by weight. II. KENTUCKY BLUEGRASS/PERENNIAL RYE: FULL SUN MIXTURE: FOR USE IN FULL SUN AREAS WHERE RAPID ESTABLISHMENT IS NECESSARY AND WHEN TURF WILL RECEIVE MEDIUM TO INTENSIVE MANAGEMENT. CERTIFIED PERENNIAL RYEGRASS CULTIVARS/CERTIFIED KENTUCKY BLUEGRASS SEEDING RATE: 2 POUNDS MIXTURE PER 1000 SQUARE FEET, CHOOSE A MINIMUM OF THREE KENTUCKY BLUEGRASS CULTIVARS WITH

ACH RANGING FROM 10 TO 35 PERCENT OF THE TOTAL MIXTURE BY WEIGHT. I. Tall fescue/kentucky bluegrass: full sun mixture: for use in drought prone areas and/or for areas receiving low to medium management in full sun to medium shade. Recommended MIXTURE INCLUDES; CERTIFIED TALL FESCUE CULTIVARS 95 TO 100 PERCENT, CERTIFIED KENTUCKY LUEGRASS CULTIVARS 0 TO 5 PERCENT. SEEDING RATE: 5 TO 8 POUNDS PER 1000 SQUARE FEET

ONE OR MORE CULTIVARS MAY BE BLENDED. IV. KENTUCKY BLUEGRASS/FINE FESCUE: SHADE MIXTURE: FOR USE IN AREAS WITH SHADE IN BLUEGRASS LAWNS. FOR ESTABLISHMENT IN HIGH QUALITY, INTENSIVELY MANAGED TURE AREA. MIXTURE INCLUDES; CERTIFIED KENTUCKY BLUEGRASS CULTIVARS 30 TO 40 PERCENT AND CERTIFIED FINE FESCUE AND 60 TO 70 PERCENT. SEEDING RATE: 1 1/2 TO 3 POUNDS PER 1000 SQUARE FEET

SELECT TURFGRASS VARIETIES FROM THOSE LISTED IN THE MOST CURRENT UNIVERSITY OF MARYLAND Publication, agronomy memo \$77, "Turfgrass cultivar recommendations for maryland" choose certified material certified material is the best guarantee of cultivar purity. The ZERTIFICATION PROGRAM OF THE MARYLAND DEPARTMENT OF AGRICULTURE, TURF AND SEED SECTION, PROVIDES A RELIABLE MEANS OF CONSUMER PROTECTION AND ASSURES A PURE GENETIC LINE C. IDEAL TIMES OF SEEDING FOR TURF GRASS MIXTURES WESTERN MD: MARCH 15 TO JUNE 1, AUGUST 1 TO OCTOBER 1 (HARDINESS ZONES: 58, GA) CENTRAL MD: MARCH 1 TO MAY 15, AUGUST 15 TO OCTOBER 15 (HARDINESS ZONE: 68) SOUTHERN MD. EASTERN SHORE: MARCH 1 TO MAY 15, AUGUST 15 TO OCTOBER

HARDINESS ZONES: 7A. 7B) D. TILL AREAS TO RECEIVE SEED BY DISKING OR OTHER APPROVED METHODS TO A DEPTH OF 2 TO 4 INCHES, LEVEL AND RAKE THE AREAS TO PREPARE A PROPER SEEDBED. REMOVE STONES AND DEBRIS OVER 1 1/2 INCHES IN DIAMETER THE RESULTING SEEDBED MUST BE IN SUCH CONDITION THAT FUTURE MOWING OF GRASSES WILL POSE NO DIFFICULTY.

E. IF SOIL MOISTURE IS DEFICIENT, SUPPLY NEW SEEDINGS WITH ADEQUATE WATER FOR PLANT GROWTH (1/2 to 1 inch every 3 to 4 days depending on soil texture) until they are firmly established this is especially true when seedings are made late in the planting season, in abnormally dry

	PERMANENT SEEDING SUMMARY											
HARDINESS ZONE (FROM FIGURE B.3): 68 FERTILIZER RATE (10-20-20) SEED MIXTURE (FROM TABLE B.3): 8												
NO.	5PECIES	APPLICATION RATE (LB/AC)	SEEDING Dates	SEEDING DEPTHS	N	P ₂ 0 ₅	K ₂ 0					
8	TALL FESCUE	100	MAR. 1-MAY 15 AUG. 15-OCT. 15	1/4-1/2 IN.	45 LBS. PER ACRE (1.0 LB/ 1000 SF)	90 LB/AC (2 LB/ 1000 SF)	90 LB/AC (2 LB/ 1000 SF)	2 TON5/AC (90 LB/ 1000 5F)				

B. 500: TO PROVIDE QUICK COVER ON DISTURBED AREAS (2:1 GRADE OR FLATTER).

1. GENERAL SPECIFICATIONS

A. CLASS OF TURFGRASS SOD MUST BE MARYLAND STATE CERTIFIED. SOD LABELS MUST BE MADE AVAILABLE TO THE B. SOD MUST BE MACHINE CUT AT A UNIFORM SOIL THICKNESS TO 3/4 INCH, PLUS OR MINUS 1/4 INCH, AT THE TIME OF cutting. Measurement for thickness must exclude top growth and thatch, broken pads and torn or UNEVEN ENDS WILL NOT BE ACCEPTABLE. C. STANDARD SIZE SECTIONS OF SOD MUST BE STRONG PNOUGH TO SUPPORT THEIR OWN WEIGHT AND RETAIN THEIR

SIZE AND SHAPE WHEN SUSPENDED VERTICALLY WITH A FIRM GRASP ON THE UPPER 10 PERCENT OF THE SECTION D. SOD MUST NOT BE HARVESTED OR TRANSPLANTED WHEN MOISTURE CONTENT (EXCESSIVELY DRY OF WET) MAY adversely affect its survival. E. SOD MUST BE HARVESTED, DELIVERED, AND INSTALLED WITHIN A PERIOD OF 36 HOURS. SOD NOT TRANSPLANTED WITHIN THIS PERIOD MUST BE APPROVED BY AN AGRONOMIST OR SOIL SCIENTIST PRIOR TO ITS INSTALLATION.

2. SOD INSTALLATION A. DURING PERIODS OF EXCESSIVELY HIGH TEMPERATURE OR IN AREAS HAVING DRY SUBSOIL, LIGHTLY IRRIGATE THE SUBSOIL IMMEDIATELY PRIOR TO LAYING THE SOD. 8. LAY THE FIRST ROW OF 500 IN A STRAIGHT LINE WITH SUBSEQUENT ROWS PLACED PARALLEL TO IT AND TIGHTLY WEDGED AGAINST EACH OTHER. STAGGER LATERAL JOINTS TO PROMOTE MORE UNIFORM GROWTH AND STRENGTH. ensure that 500 is not stretched or overlapped and that all joints are butted tight in order to PREVENT VOIDS WHICH WOULD CAUSE AIR DRYING OF THE ROOTS.

C. WHEREVER POSSIBLE, LAY SOD WITH THE LONG EDGES PARALLEL TO THE CONTOUR AND WITH STAGGERING JOINTS.
ROLL AND TAMP, PEG OR OTHERWISE SECURE THE SOD TO PREVENT SLIPPAGE ON SLOPES. ENSURE SOLID CONTACT exists between 500 roots and the underlying 501l surface. D. WATER THE 50D IMMEDIATELY FOLLOWING ROLLING AND TAMPING UNTIL THE UNDERSIDE OF THE NEW 50D PAD AND WIL SUKFACE BELOW THE SOU ARE THOROUGHLY WET. COMPLETE THE OPERATIONS OF LAYING, TAMPING, AN

3. SOD MAINTENANCE A. IN THE ABSENCE OF ADEQUATE RAINFALL, WATER DAILY DURING THE FIRST WEEK OR AS OFTEN AND SUFFICIENTLY AS NECESSARY TO MAINTAIN MOIST SOIL TO A DEPTH OF 4 INCHES. WATER SOD DURING THE HEAT OF THE DAY TO B. AFTER THE FIRST WEEK, SOD WATERING IS REQUIRED AS NECESSARY TO MAINTAIN ADEQUATE MOISTURE CONTENT.

C. DO NOT MOW UNTIL THE 50D IS FIRMLY ROOTED. NO MORE THAN 1/3 OF THE GRASS LEAF MUST BE REMOVED BY THE INITIAL CUTTING OR SUBSEQUENT CUTTINGS. MAINTAIN A GRASS HEIGHT OF AT LEAST 3 INCHES UNLESS

STANDARD STABILIZATION NOTE

FOLLOWING INITIAL SOIL DISTURBANCE OR RE-DISTURBANCE, PERMANENT OR TEMPORARY STABILIZATION MUST BE A.) THREE (3) CALENDAR DAYS AS TO THE SURFACE OF ALL PERIMETER DIKES, SWALES, DITCHES, PERIMETER SLOPES, AND ALL SLOPES STEEPER THAN 3 HORIZONTAL TO 1 VERTICAL (3:1). B.) SEVEN (7) CALENDAR DAYS AS TO ALL OTHER DISTURBED OR GRADED AREAS ON THE PROJECT SITE NOT UNDER

B-4-8 STANDARDS AND SPECIFICATIONS

FOR STOCKPILE AREA <u>Definition</u> A mound or pile of soil protected by appropriately designed erosion and sediment control measures.

Purpose To provide a designated location for the temporary storage of soil that controls the potential for erosion. sedimentation, and changes to drainage patterns.

Conditions Where Practice Applies Stockpile areas are utilized when it is necessary to salvage and store soil for later use.

1. The stockpile location and all related sediment control practices must be clearly indicated on the erosion and sediment control plan. 2. The footprint of the stockpile must be sized to accommodate the anticipated volume of material and based on a side slope ratio no steeper than 2:1. Benching must be provided in accordance with Section B-3 Land Grading. 3. Runoff from the stockpile area must drain to a suitable sediment control practice.

4. Access the stockpile area from the upgrade side. 5. Clear water runoff into the stockpile area must be minimized by use of a diversion device such as an earth dike, temporary swale or diversion fence. Provisions must be made for discharging concentrated flow in a non-erosive manner. 6. Where runoff concentrates along the toe of the stockpile fill, an appropriate erosion/sediment

control practice must be used to intercept the discharge. 7. Stockpiles must be stabilized in accordance with the 3/7 day stabilization requirement as well as Standard B-4-1 Incremental Stabilization and Standard B-4-4 Temporary Stabilization. 8. If the stockpile is located on an impervious surface, a liner should be provided below the stockpile to facilitate cleanup. Stockpiles containing contaminated material must be covered with impermeable

The stockpile area must continuously meet the requirements for Adequate Vegetative Establishment in accordance with Section B-4 Vegetative Stabilization. Side slopes must be maintained at no steeper than a 2:1 ratio. The stockpile area must be kept free of erosion. If the vertical height of a stockpile exceeds 20 feet for 2:1

slopes, 30 feet for 3:1 slopes, or 40 feet for 4:1 slopes, benching must be provided in accordance with Section 8-3

B-4-3 STANDARDS AND SPECIFICATIONS FOR SEEDING & MULCHING

THE APPLICATION OF SEED AND MULCH TO ESTABLISH VEGETATIVE COVER.

<u>PURPOSE</u> TO PROTECT DISTURBED SOILS FROM EROSION DURING AND AT THE END OF CONSTRUCTION.

CONDITIONS WHERE PRACTICE APPLIES TO THE SURFACE OF ALL PERIMETER CONTROLS, SLOPES, AND ANY DISTURBED AREA NOT UNDER ACTIVE GRADING.

A. SEEDING 1. SPECIFICATIONS

A. ALL SEED MUST MEET THE REQUIREMENT OF THE MARYLAND STATE SEED LAW. ALL SEED MUST BE SUBJECT TO RE-TESTING BY A RECOGNIZED SEED LABORATORY, ALL SEED USED MUST HAVE BEEN TESTED WITHIN THE 6 MONTHS IMMEDIATELY PRECEDING THE DATE OF SOWING SUCH MATERIAL ON ANY PROJECT. REFER TO TABLE 8.4 REGARDING THE QUALITY OF SEED. SEED TAGS MUST BE AVAILABLE UPON REQUEST TO THE INSPECTOR TO VERIFY TYPE OF SEED AND SEEDING RATE. B. MULCH ALONE MAY BE APPLIED BETWEEN THE FALL AND SPRING SEEDING DATES ONLY IF THE GROUND IS FROZEN.

THE APPROPRIATE SEEDING MIXTURE MUST BE APPLIED WHEN THE GROUND THAWS.

C. INOCULANTS: THE INOCULANT FOR TREATING LEGIME SEED IN THE SEED MIXTURES MUST BE A PURE CULTURE OF NITROGEN FIXING BACTERIA PREPARED SPECIFICALLY FOR THE SPECIES. INOCULANTS MUST NOT BE USED LATER THAN THE DATE INDICATED ON THE CONTAINER: ADD FRESH INOCULANTS AS DIRECTED ON THE PACKAGE. USE FOUR TIMES THE RECOMMENDED RATE WHEN HYDROSEEDING. NOTE: IT IS VERY IMPORTANT TO KEEP INOCULANT AS COOL AS POSSIBLE UNTIL USED. TEMPERATURES ABOVE 75 TO 80 DEGREES FAHRENHEIT CAN WEAKEN BACTERIA AND MAKE THE INOCULANT LESS EFFECTIVE.

D. SOD OR SEED MUST NOT BE PLACED ON SOIL WHICH HAS BEEN TREATED WITH SOIL STERILANTS OR CHEMICALS USED FOR WEEDCONTROL UNTIL SUFFICIENT TIME HAS ELAPSED (14 DAYS MIN.) TO PERMIT DISSIPATION OF PHYTO-TOXIC MATERIALS.

A. DRY SEEDING: THIS INCLUDES USE OF CONVENTIONAL DROP OR BROADCAST SPREADERS. 1. INCORPORATE SEED INTO THE SUBSOIL AT THE RATES PRESCRIBED ON TEMPORARY SEEDING TABLE B.1, PERMANENT SEEDING TABLE 8.3, OR SITE-SPECIFIC SEEDING SUMMARIES.

II. APPLY SEED IN TWO DIRECTIONS, PERPENDICULAR TO EACH OTHER. APPLY HALF THE SEEDING RATE IN EACH DIRECTION. ROLL THE SEEDED AREA WITH WEIGHTED ROLLER TO PROVIDE GOOD SEED TO SOIL CONTACT. B. DRILL OR CULTIPACKER SEEDING: MECHANIZED SEEDERS THAT APPLY AND COVER SEED WITH SOIL. I. CULTIPACKING SEEDERS ARE REQUIRED TO BURY THE SEED IN SUCH A FASHION AS TO PROVIDE AT LEAST 1/4 INCH OF SOIL COVERING. SEEDBED MUST BE FIRM AFTER PLANTING.

II. APPLY SEED IN TWO DIRECTIONS, PERPENDICULAR TO EACH OTHER. APPLY HALF THE SEEDING RATE IN EACH DIRECTION. C. HYDROSEEDING: APPLY SEED UNIFORMLY WITH HYDROSEEDER (SLURRY INCLUDES SEED AND FERTILIZER). 1. IF FERTILIZER IS BEING APPLIED AT THE TIME OF SEEDING, THE APPLICATION RATES SHOULD NOT EXCEED

THE FOLLOWING: NITROGEN, 100 POUNDS PER ACRE TOTAL OF SOLUBLE NITROGEN; P20 (PHOSPHORUS), 200 POUNDS PER ACRE; K20 (POTASSIUM), 200 POUNDS PER ACRE. II. LIME: USE ONLY GROUND AGRICULTURAL LIMESTONE (UP TO 3 TONS PER ACRE MAY BE APPLIED BY HYDROSEEDING). NORMALLY, NOT MORE THAN 2 TONS ARE APPLIED BY HYDROSEEDING AT ANY ONE

TIME. DO NOT USE BURNT OR HYDRATED LIME WHEN HYDROSEEDING. III. MIX SEED AND FERTILIZER ON SITE AND SEED IMMEDIATELY AND WITHOUT INTERRUPTION. IV. WHEN HYDROSEEDING DO NOT INCORPORATE SEED INTO THE SOIL.

B. MULCHING 1. MULCH MATERIALS (IN ORDER OF PREFERENCE)

A. STRAW CONSISTING OF THOROUGHLY THRESHED WHEAT, RYE, OAT, OR BARLEY AND REASONABLY BRIGHT IN COLOR. STRAW IS TO BE FREE OF NOXIOUS WEED SEEDS AS SPECIFIED IN THE MARYLAND SEED LAW AND NOT MUSTY, MOLDY, CAKED, DECAYED, OR EXCESSIVELY DUSTY. NOTE: USE ONLY STERILE STRAW MULCH IN AREAS WHERE ONE SPECIES OF GRASS IS DESIRED.

B. WOOD CELLULOSE FIBER MULCH (WCFM) CONSISTING OF SPECIALLY PREPARED WOOD CELLULOSE PROCESSED INTO UNIFORM FIBROUS PHYSICAL STATE.

I. WCFM IS TO BE DYED GREEN OR CONTAIN A GREEN DYE IN THE PACKAGE THAT WILL PROVIDE AN APPROPRIATE COLOT TO FACILITATE VISUAL INSPECTION OF THE UNIFORMLY SPREAD SLURRY. II. WCFM, INCLUDING DYE, MUST CONTAIN NO GERMINATION OR GROWTH INHIBITING FACTORS. III. WCFM MATERIALS ARE TO BE MANUFACTURED AND PROCESSED IN SUCH A MANNER THAT THE WOOD CELLULOSE FIBER MULCH WILL REMAIN IN UNIFORM SUSPENSION IN WATER UNDER AGITATION AND WILL BLEND WITH SEED, FERTILIZER AND

ON APPLICATION, HAVING MOISTURE ABSORPTION AND PERCOLATION PROPERTIES AND MUST COVER AND HOLD GRASS SEED IN CONTACT WITH THE SOIL WITHOUT INHIBITING THE GROWTH OF THE GRASS SEEDLINGS. IV. WCFM MATERIAL MUST NOT CONTAIN ELEMENTS OR COMPOUNDS AT CONCENTRATION LEVELS THAT WILL BY PHYTO—TOXIC V. WCFM MUST CONFORM TO THE FOLLOWING PHYSICAL REQUIREMENTS: FIBER LENGTH OF APPROXIMATELY 10 MILLIMETERS, DIAMETER APPROXIMATELY 1 MILLIMETER, PH RANGE OF 4.0 TO 8.5, ASH CONTENT OF 1.6 PERCENT MAXIMUM AND WATER

OTHER ADDITIVES TO FORM A HOMOGENEOUS SLURRY. THE MULCH MATERIAL MUST FORM A BLOTTER-LIKE GROUND COVER

APPLY MULCH TO ALL SEEDED AREAS IMMEDIATELY AFTER SEEDING.

HOLDING CAPACITY OF 90 PERCENT MINIMUM.

BANKS. USE OF ASPHALT BINDERS IS STRICTLY PROHIBITED.

B. WHEN STRAW MULCH IS USED, SPREAD IT OVER ALL SEEDED AREAS AT THE RATE OF 2 TONS PER ACRE TO A UNIFORM LOOSE DEPTH OF 1 TO 2 INCHES. APPLY MULCH TO ACHIEVE A UNIFORM DISTRIBUTION AND DEPTH 50 THAT THE SOIL SURFACE IS NOT EXPOSED. WHEN USING A MULCH ANCHORING TOOL, INCREASE THE APPLICATION RATE TO 2.5 TONS PER ACRE. . WOOD CELLULOSE FIBER USED AS MULCH MUST BE APPLIED TO A NET DRY WEIGHT OF 1500 POUNDS PER ACRE. MIX THE WOOD

CELLULOSE FIBER WITH WATER TO ATTAIN A MIXTURE WITH A MAXIMUM OF 50 POUNDS OF WOOD CELLULOSE FIBER PER 100 GALLONS OF WATER. ANCHORING A. PERFORM MULCH ANCHORING IMMEDIATELY FOLLOWING APPLICATION OF MULCH TO MINIMIZE LOSS BY WIND OR WATER. THIS MAY BE

DONE BY ONE OF THE FOLLOWING METHODS (LISTED BY PREFERENCE), DEPENDING UPON THE SIZE OF5THE AREA AND EROSION HAZARD: I. A MULCH ANCHORING TOOL IS A TRACTOR DRAWN IMPLEMENT DESIGNED TO PUNCH AND ANCHOR MULCH INTO THE SOIL SURFACE A MINIMUM OF 2 INCHES. THIS PRACTICE IS MOST EFFECTIVE ON LARGE AREAS, BUT IS LIMITED TO FLATTER SLOPES WHERE EQUIPMENT CAN OPERATE SAFELY. IF USED ON SLOPING LAND, THIS PRACTICE SHOULD FOLLOW THE CONTOUR.

II. WOOD CELLULOSE FIBER MAY BE USED FOR ANCHORING STRAW. APPLY THE FIBER BINDER AT A NET DRY WEIGHT OF 750 POUNDS PER ACRE. MIX THE WOOD CELLULOSE FIBER WITH WATER AT A MAXIMUM OF 50 POUNDS OF WOOD CELLULOSE FIBER PER 100 GALLONS OF WATER III. SYNTHETIC BINDERS SUCH AS ACRYLIC DLR (AGRO-TACK), DCA-70, PETROSET, TERRA TAX II, TERRA TACK AR, OR OTHER APPROVED EQUAL MAY BE USED. FOLLOW APPLICATION RATES AS SPECIFIED BY THE MANUFACTURER. APPLICATION OF LIQUID

BINDERS NEEDS TO BE HEAVIER AT THE EDGES WHERE WIND CATCHES MULCH. SUCH AS IN VALLEYS AND ON CRESTS OF

IV. LIGHTWEIGHT PLASTIC NETTING MAY BE STAPLED OVER THE MULCH ACCORDING TO MANUFACTURER RECOMMENDATIONS NETTING IS USUALLY AVAILABLE IN ROLLS 4-15 FEET WIDE AND 300 TO 3,000 FEET LONG.

HOWARD SOIL CONSERVATION DISTRICT (HSCD) STANDARD SEDIMENT CONTROL NOTES

1. A pre-construction meeting must occur with the Howard County Department of Public Works, Construction Inspection Division (CID), 410-313-1055 after the future LOD and protected areas are marked clearly in the field. A minimum of 40 hour notice to CID must be given at the following stages: a. Prior to the start of earth

any other earth disturbance or grading,

c. Prior to the start of another phase of construction or opening of another grading unit, d. Prior to the removal or modification of sediment control practices.

2. All vegetative and structural practices are to be installed according to the provisions of this plan and are to be in conformance with the 2011 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND

3. Following initial soil disturbance or re-disturbance, permanent or temporary stabilization is required within three (3) calendar days as to the surface of all perimeter controls, dikes, swales, ditches, perimeter slopes, and all slopes steeper than 3 horizontal to 1 vertical (3:1); and seven (7) calendar days as to all other disturbed areas on the project site except for those areas under active grading.

MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL for topsoil (Sec. B-4-2), permanent seeding (Sec. B-4-5), temporary seeding (Sec. B-4-4) and mulching (Sec. B-4-3). Temporary stabilization with mulch alone can only be applied between the fall and spring seeding dates if the ground is frozen. Incremental stabilization (Sec. B-4-1) specifications shall be enforced in areas with >15' of cut and/or fill. Stockpiles (Sec. B-4-0) in excess of 20 ft. must be benched with stable outlet. All

5. All sediment control structures are to remain in place, and are to be maintained in operative condition until permission for their removal has been obtained from the CID.

Total Area of Site: 4.81+/- Acres LOD Total Area Disturbed: 5.18+/- Acres Area to be roofed or paved: 2.10+/- Acres Area to be vegetatively stabilized: 2.99+/- Acres Total Cut: 1,346 Cu.Yds.+/-

Offsite waste/borrow area location:

7. Any sediment control practice which is disturbed by grading activity for placement of utilities must be repaired on the same day of disturbance

N/A

3. Additional sediment control must be provided, if deemed necessary by the CID. The site and all controls shall be inspected by the contractor weekly; and the next day after each rain event. A written report by the contractor, made available upon request, is part of every inspection and should include:

Inspection type (routine, pre-storm event, during rain event)

· Weather information (current conditions as well as time and amount of last recorded precipitation) · Brief description of project's status (e.g., percent complete) and/or current activities

• Identification of plan deficiencies • Identification of sediment controls that require maintenance Identification of missing or improperly installed sediment controls

· Compliance status regarding the sequence of construction and stabilization requirements Photographs Monitoring/sampling

• Maintenance and/or corrective action performed

. Trenches for the construction of utilities is limited to three pipe lengths or that which can and shall be back-filled and stabilized by the end of each workday, whichever is shorter. 10. Any major changes or revisions to the plan or sequence of construction must be reviewed and approved by

11. Disturbance shall not occur outside the L.O.D. A project is to be sequenced so that grading activities begin on one grading unit (maximum acreage of 20 ac. per grading unit) at a time. Work may proceed to a subsequent grading unit when at least 50 percent of the disturbed area in the preceding grading unit has been stabilized and approved by the HSCO. Unless otherwise specified and approved by the HSCO, no more than 30

12. Wash water from any equipment, vehicles, wheels, pavement, and other sources must be treated in a sediment basin or other approved washout structure.

13. Topsoil shall be stockpiled and preserved on-site for redistribution onto final grade. 14. All Silt Fence and Super Silt Fence shall be placed on-the-contour, and be imbricated at 25' minimum intervals, with lower ends curled uphill by 2' in elevation. 15. Stream channels must not be disturbed during the following restricted time periods

 Use I and IP March 1 - June 15 • Use III and IIIP October 1 - April 30

16. A copy of this plan, the 2011 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT

TABLE B.1 TEMPORARY SEEDING FOR SITE STABILIZATION

DI ANT. CDCCC	SEEDING RATE 1/		SEEDING DEPTH 2/	RECOMMENDED SEEDING DATES BY PLANT HARDINESS ZONE 3/						
PLANT SPECS	LB./AC.	LB./1000 FT. ²	1741011-01	5b AND 6a	6Ь	7a AND 7b				
COOL-SEASON GRASSES										
ANNUAL RYEGRASS (LOLIUM PERÈNNE 55P. MUTIFLORUM)	40	1.0	0.5	MAR. 15 TO MAY 31; AUG. 1 TO SEPT. 30	MAR. 1 TO MAY 15; AUG. 1 TO OCT. 15	FEB. 15 TO APR. 30; AUG. 15 TO NOV. 30				
BARLEY (HORDEUM VULGARE)	96	2.2	1.0	MAR. 15 TO MAY 31; AUG. 1 TO SEPT. 30	MAR. 1 TO MAY 15; AUG. 1 TO OCT. 15	FEB. 15 TO APR. 30; AUG. 15 TO NOV. 30				
OATS (AVENA SATIVA)	72	1.7	1.0	MAR. 15 TO MAY 31; AUG. 1 TO SEPT. 30	MAR. 1 TO MAY 15; AUG. 1 TO OCT. 15	FEB. 15 TO APR. 30; AUG. 15 TO NOV. 30				
WHEAT (TRITICUM AESTIVUM)	120	2.8	1.0	MAR. 15 TO MAY 31; AUG. 1 TO SEPT. 30	MAR. 1 TO MAY 15; AUG. 1 TO OCT. 15	FEB. 15 TO APR. 30; AUG. 15 TO NOV. 30				
CEREAL RYE (SECALE CEREALE)	112	2.8	1.0	MAR. 15 TO MAY 31; AUG. 31 TO OCT. 31	MAR. 1 TO MAY 15; AUG. 1 TO NOV. 15	FEB. 15 TO APR. 30; AUG. 15 TO DEC. 15				
WARM-SEASON GRASSES										
FOXTAIL MILLET (SETARIA ITALICA)	30	0.7	0.5	JUNE 1 TO JULY 31	MAY 16 TO JULY 31	MAY 1 TO AUGUST 14				
PEARL MILLET (PENNISETUM GLAUCUM)	20	0.5	0.5	JUNE 1 TO JULY 31	MAY 16 TO JULY 31	MAY 1 TO AUGUST 14				

NOTES: 1. SEEDING RATES FOR THE WARM-SEASON GRASSES ARE IN POUNDS OF PURE LIVE SEED (PLS). ACTUAL PLANTING RATES SHALL BE ADJUSTED TO REFLECT PERCENT SEED GERMINATION AND PURITY, AS TESTED. ADJUSTMENTS ARE USUALLY NOT NEEDED FOR THE COOL-SEASON GRASSES.

SEEDING RATES LISTED ABOVE ARE FOR TEMPORARY SEEDINGS, WHEN PLANTED ALONE. WHEN PLANTED AS A NURSE CROP WITH PERMANENT SEED MIXES, USE 1/3 OF THE SEEDING RATE LISTED ABOVE FOR BARLEY, OATS AND WHEAT. FOR SMALLER-SEEDED GRASSES (ANNUAL RYEGRASS, PEARL MILLET, FOXTAIL MILLET). DO NOT EXCEED MORE THAN 5% (BY WEIGHT) OF THE OVERALL PERMANENT SEEDING MIX, CEREAL RYE GENERALLY SHOULD NOT BE USED AS A NURSE CROP, UNLESS PLANTING WILL OCCUR IN VERY LATE FALL BEYOND THE SEEDING DATES FOR OTHER TEMPORARY SEEDINGS, CEREAL RYE HAS ALLELOPATHIC PROPERTIES THAT INHIBIT THE GERMINATION AND GROWTH OF OTHER PLANTS. IF IT MUST BE USED AS A NURSE CROP, SEED AT 1/3 OF THE RATE LISTED ABOVE. OATS ARE THE RECOMMENDED NURSE CROP FOR WARM-SEASON GRASSES.

b. Upon completion of the installation of perimeter erosion and sediment controls, but before proceeding with

Other building or grading inspection approvals may not be authorized until this initial approval by the inspection agency is made. Other related state and federal permits shall be referenced, to ensure coordination and to

4. All disturbed areas must be stabilized within the time period specified above in accordance with the 2011

concentrated flow, steep slope, and highly erodible areas shall receive soil stabilization matting (Sec. B-4-6).

6. Site Analysis For Total Site Area: Total Fill: 16,615 Cu. Yds

Name and title of inspector

Evidence of sediment discharges

· Other inspection items as required by the General Permit for Stormwater Associated with Construction

the HSCD prior to proceeding with construction. Minor revisions may allowed by the CID per the list of

acres cumulatively may be disturbed at a given time.

 Use IV March 1 - May 31 CONTROL, and associated permits shall be on-site and available when the site is active.

CONSTRUCTION ENTRANCE -----SSF------I -34 IN MIN -36 IN MIN GALVANIZED CHAIN LINK FENCE WITH WOVEN SLIT FILM GEOTEXTILE

CROSS SECTION

DETAIL B-1 STABILIZED

CONSTRUCTION SPECIFICATIONS

CROSS SECTION

DETAIL E-3 SUPER SILT FENCE

CHAIN LINK FENCING

WOVEN SLIT FILM GEOTEXTILE-

EMBED GEOTEXTILE AND -CHAIN LINK FENCE 8 IN MIN. INTO GROUND

FLOW ____

U.S. DEPARTMENT OF AGRICULTURE
URAL RESOURCES CONSERVATION SERVICE

10 FT MAX.

5. FASTEN WOVEN SUT FILM GEOTEXTILE AS SPECIFIED IN SECTION H-1 MATERIALS, SECURELY TO THE UPSLOPE SIDE OF CHAIN LINK FENCE WITH TIES SPACED EVERY 24 INCHES AT THE TOP AND MID SECTION. EMBED GEOTEXTILE AND CHAIN LINK FENCE A MINIMUM OF 8 INCHES INTO THE GROUND. WHERE ENDS OF THE GEOTEXTILE COME TOGETHER, THE ENDS SHALL BE OVERLAPPED BY 6 INCHES, FOLDED, AND STAPLED TO PREVENT SEDMENT BY PASS.

PROVIDE MANUFACTURER CERTIFICATION TO THE INSPECTION/ENFORCEMENT AUTHORITY SHOWING TH GEOTEXTILE USED MEETS THE REQUIREMENTS IN SECTION H-1 MATERIALS.

. REMOVE ACCUMULATED SEDIMENT AND DEBRIS WHEN BULGES DEVELOP IN FENCE OR WHEN SEDIMENT REACHES 25% OF FENCE HEIGHT. REPLACE GEOTEXTILE IF TORN, IF UNDERMINING OCCURS, REINSTALL CHAIN LINK FENCING AND GEOTEXTILE. MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL

DETAIL D-3-1 RIPRAP INFLOW PROTECTION

ISOMETRIC VIEW

PROFILE ALONG CENTERLINE

19 IN MIN. DEPTH-OF CLASS I RIPRAP

. BLEND RIPRAP INTO EXISTING GROUND

-FARTH FIL -- PIPE (SEE NOTE (**PROFILE** 50 FT MIN. PLAN VIEW CONSTRUCTION SPECIFICATIONS I. PLACE STABILIZED CONSTRUCTION ENTRANCE IN ACCORDANCE WITH THE APPROVED PLAN. VEHICLES MUST TRAVEL OVER THE ENTIRE LENGTH OF THE SCE. USE MINIMUM LENGTH OF 50 FEET (*30 FEET FOR SINGLE RESIDENCE LOT). USE MINIMUM WIDTH OF 10 FEET. FLARE SCE 10 FEET MINIMUM AT THE EXISTING ROAD TO PROVIDE A TURNING RADIUS. 2. PIPE ALL SURFACE WATER FLOWING TO OR DIVERTED TOWARD THE SCE UNDER THE ENTRANCE, MAINTAINING POSITIVE DRAINAGE. PROTECT PIPE INSTALLED THROUGH THE SCE WITH A MOUNTABLE BERM WITH 5:1 SLOPES AND A MINIMUM OF 12 INCHES OF STONE OVER THE PIPE. PROVIDE PIPE AS SPECIFIED ON APPROVED PLAN. WHEN THE SCE IS LOCATED AT A HIGH SPOT AND HAS NO DRAINAGE TO CONVEY, A PIPE IS NOT NECESSARY. A MOUNTABLE BERM IS REQUIRED WHEN SCE IS NOT LOCATED AT A HIGH SPOT. . Prepare subgrade and place nonwoven geotextile, as specified in section H-1 materials 6. PLACE CRUSHED AGGREGATE (2 TO 3 INCHES IN SIZE) OR EQUIVALENT RECYCLED CONCRETE (WITHOUT REBAR) AT LEAST 6 INCHES DEEP OVER THE LENGTH AND WIDTH OF THE SCE. 5. MAINTAIN ENTRANCE IN A CONDITION THAT MINIMIZES TRACKING OF SEDIMENT. ADD STONE OR MAKE OTHER REPAIRS AS CONDITIONS DEMAND TO MAINTAIN CLEAN SURFACE, MOUNTABLE BERM, AND SPECIFIED DIMENSIONS. IMMEDIATELY REMOVE STONE AND/OR SEDIMENT SPILLED, DROPPED, OR TRACKED ONTO ADJACENT ROADWAY BY VACUUMING, SCRAPING, AND/OR SWEEPING. WASHING ROADWAY TO REMOVE MUD TRACKED ONTO PAVEMENT IS NOT ACCEPTABLE UNLESS WASH WATER IS DIRECTED TO AN APPROVED SEDIMENT CONTROL PRACTICE.

MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL

SCE

EXISTING PAVEMENT

U.S. DEPARTMENT OF AGRICULTURE MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION STANDARD SYMBOL PERMANENT SOIL DETAIL B-4-6-C RRP STABILIZATION MATTING PSSMC - *0.26 lb/ft2 CHANNEL APPLICATION (* INCLUDE SHEAR STRESS) ISOMETRIC VIEW CONSTRUCTION SPECIFICATIONS USE MATTING THAT HAS A DESIGN VALUE FOR SHEAR STRESS EQUAL TO OR HIGHER THAN THE SHEAR STRESS DESIGNATED ON APPROVED PLANS. USE PERMANENT SOIL STABILIZATION MATTING MADE OF OPEN WEAVE SYNTHETIC, NON-DEGRADABLE FIBERS OR ELEMENTS OF UNIFORM THICKNESS AND DISTRIBUTION THROUGHOUT. CHEMICALS USED IN THE MAT MUST BE NON-LEACHING AND NON-TOXIC TO VECETATION AND SEED GERMINATION AND NON-INJURIOUS TO THE SKIN. IF PRESENT, NETTING MUST BE EXTRUDED PLASTIC WITH A MAXIMUM MESH OPENING OF 2x2 INCHES AND SUFFICIENTLY BONDED OR SEWN ON 2 INCH CENTERS ALONG LONGITUDINAL AXIS OF THE MATERIAL TO PREVENT SEPARATION OF THE NET FROM THE PARENT MATERIAL.

SECURE MATTING USING STEEL STAPLES OR WOOD STAKES. STAPLES MUST BE "U" OR "T" SHAPED STEEL WIRE HAVING A MINIMUM GAUGE OF NO. 11 AND NO. 8 RESPECTIVELY. "U" SHAPED STAPLES MUST AVERAGE 1 TO 1 ½ INCHES WIDE AND BE A MINIMUM OF 6 INCHES LONG. "T" SHAPED STAPLES MUST HAVE A MINIMUM 8 INCH MAIN LEG, A MINIMUM 1 INCH SECONDARY LEG, AND MINIMUM 4 INCH HEAD. WOOD STAKES MUST BE ROUGH-SAWN HARDWOOD, 12 TO 24 INCHES IN LENGTH, 1x3 INCH IN CROSS SECTION, AND WEDGE SHAPE AT THE BOTTOM

PERFORM FINAL GRADING, TOPSOIL APPLICATION, SEEDBED PREPARATION, AND PERMANENT SEEDING IN ACCORDANCE WITH SPECIFICATIONS. PLACE MATTING WITHIN 48 HOURS OF COMPLETING SEEDING OPERATIONS, UNLESS END OF WORKDAY STABILIZATION IS SPECIFIED ON THE APPROVED EROSION AND SEDIMENT CONTROL PLAN. 5. UNROLL MATTING IN DIRECTION OF WATER FLOW, CENTERING THE FIRST ROLL ON THE CHANNEL CENTER LINE.
WORK FROM CENTER OF CHANNEL OUTWARD WHEN PLACING ROLLS. LAY MATTING SMOOTHLY AND FIRMLY UPON
THE SEEDED SURFACE, AVOID STRETCHING THE MATTING.

KEY IN THE TOP OF SLOPE END OF MAT 6 INCHES (MINIMUM) BY DIGGING A TRENCH, PLACING THE MATTING ROLL END IN THE TRENCH, STAPLING THE MAT IN PLACE, REPLACING THE EXCAVATED MATERIAL, AND TAMPING TO SECURE THE MAT END IN THE KEY.

3. STAPLE/STAKE MAT IN A STAGGERED PATTERN ON 4 FOOT (MAXIMUM) CENTERS THROUGHOUT AND 2 FOOT (MAXIMUM) CENTERS ALONG SEAMS, JOINTS, AND ROLL ENDS. 9. IF SPECIFIED BY THE DESIGNER OR MANUFACTURER AND DEPENDING ON THE TYPE OF MAT BEING INSTALLED, ONCE THE MATTING IS KEYED AND STAPLED IN PLACE, FILL THE MAT VOIDS WITH TOP SOIL OR GRANULAR MATERIAL AND LIGHTLY COMPACT OR ROLL TO MAXIMIZE SOIL/MAT CONTACT WITHOUT CRUSHING MAT. IO. ESTABLISH AND MAINTAIN VEGETATION SO THAT REQUIREMENTS FOR ADEQUATE VEGETATIVE ESTABLISHMENT ARE CONTINUOUSLY MET IN ACCORDANCE WITH SECTION B-4 VEGETATIVE STABILIZATION.

MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL MARYLAND DEPARTMENT OF ENVIRONMENT
WATER MANAGEMENT ADMINISTRATION

SEQUENCE OF CONSTRUCTION

3. INSTALL ENTRANCE AND EXIT SECTIONS AS SHOWN ON THE PROFILE.

. OBTAIN A GRADING PERMIT. (2 WEEKS)
2. NOTIFY "MISS UTILITY" AT LEAST 40 HOURS BEFORE BEGINNING ANY WORK AT 1-800-257-7777. NOTIFY THE HOWARD COUNTY OFFICE OF

PROVIDE NONWOVEN GEOTEXTILE, AS SPECIFIED IN SECTION H-1 MATERIALS, UNDER THE BOTTOM AND

CONSTRUCT INFLOW CHANNEL WITH CLASS I RIPRAP OR EQUIVALENT RECYCLED CONCRETE LINING TO / MINIMUM DEPTH OF 19 INCHES (2 \times D_{80}) and a 1 foot deep flow channel inflow riprap protection channel must have a trapezoidal cross section with 2:1 or flatter side slopes and a 4 foot minimum bottom width.

MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL FROSION AND SEDIMENT CONTROL

CONSTRUCTION/INSPECTION AT 410-313-1330 AT LEAST 24 HOURS BEFORE STARTING WORK. 3. REQUEST A PRE-CONSTRUCTION MEETING WITH THE APPROPRIATE ENFORCEMENT 4. CLEAR AND GRUB AS NECESSARY FOR THE INSTALLATION OF PERIMETER CONTROLS.

5. COMMENCE INSTALLATION OF OFFSITE STORM DRAIN SYSTEM FROM EX. MH-14 TO M1A FOR USE AS OUTFALL FOR PIPE OUTLET SEDIMENT TRAP. (3 WEEKS)

6. COMMENCE INSTALLATION OF STABILIZED CONSTRUCTION ENTRANCE, PERIMETER CONTROLS. (2 WEEKS)

7. COMMENCE INSTALLATION OF THE SINGLE P.O.S.T., SUPPORTING EARTH DIKE,

TEMPORARY PIPES AND DEPRESSED AREA AT OUTFALL (1 MONTH) 8. OBTAIN APPROVAL FROM THE SEDIMENT CONTROL INSPECTOR TO PROCEED. (1 DAY) COMMENCE SITE GRADING TO PROPOSED SUB-GRADE, INSTALLATION OF UTILITIES, LANDSCAPE WALLS AND INSTALLATION OF BIO-RETENTION FACILITIES TO INTERIM CONDITION AS SHOWN ON SHEET 12. (1 MONTH) 10. COMMENCE INSTALLATION OF PAVING BASE COURSE AND INSTALLATION OF SIDEWALK

11. WITH INSPECTORS PERMISSION COMMENCE INSTALLATION OF REMAINING STORM DRAIN SYSTEM, UNDERGROUND SWM STORAGE FACILITY. BEGIN CONVERSION OF P.O.S.T. AND INTERIM CONDITION BIO-RETENTION FACILITIES TO BIO RETENTION FACILITIES AS FINAL DESIGNED. (3 WEEK5) 12. COMMENCE INSTALLATION OF FINAL PAVING COURSE AND INSTALLATION OF

STABILIZE ALL SURROUNDING AREAS. (3 WEEKS)

AFTER EACH RAINFALL AND ON A DAILY BASIS.

LANDSCAPING. (2 WEEK) 13. AT COMPLETION OF PAVING EFFORTS, CONTRACTOR SHALL PERMANENTLY SEED ANY DISTURBANCE. (1 DAY)
14. OBTAIN APPROVAL OF SEDIMENT CONTROL INSPECTOR PRIOR TO THE REMOVAL OF

SEDIMENT CONTROLS. (3 DAYS) 15. REMOVE ANY REMAINING SEDIMENT CONTROLS AND STABILIZE ALL AREAS THAT ARE DISTURBED BY REMOVAL OF SEDIMENT CONTROLS. (2 DAYS) 16. NOTE: THE CONTRACTOR SHALL INSPECT AND PROVIDE NECESSARY MAINTENANCE

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING Chief, Division of Land Development Randoli' Chief, Development Engineering Division Date Director - Department of Planning and Zoning PROJECT PHASE PARCEL NOs. EDEN BROOK 269 PLAT BLOCK NO. ZONE TAX/ZONE | ELEC. DIST. CENSUS TR. 605102 PREVIOUS HOWARD COUNTY FILES BA-17-030C, ECP-10-051, WP-19-055, SP-10-003, F-20-011

& CONTRACT NO.24-5081-D

EROSION/SEDIMENT CONTROL NOTES & DETAILS

SINGLE FAMILY ATTACHED - AGE-RESTRICTED ADULT HOUSING

EDEN BROOK

LOTS 1 THRU 24. OPEN SPACE LOTS 25 THRU 27 TAX MAP NO.: 42 GRID NO.: 7 PARCEL NO.: 269 ZONED R-12

SIXTH ELECTION DISTRICT HOWARD COUNTY, MARYLAND SCALE: AS SHOWN DATE: APRIL, 2020 SHEET 7 OF 21

5DP-20-009

PROFESSIONAL CERTIFICATE "I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT." SIGNATURE OF LICENSED PROFESSIONAL FRANK JOHN MANALANSAN II 5/26/20 DATE

MARK LEVY

"I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN FOR SEDIMENT AND EROSION CONTROL AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL

4 20 20 20

ENLN, LLC. 6000 DEERPATH ROAD #100 ELKRIDGE, MD 21075 (410)-579-1441

DEVELOPER ROCK REALTY LLC C/O H&H ROCK COMPANIES 6000 DEERPATH ROAD #100 ELKRIDGE, MD 21075 (410)-567-1045

OWNER

FISHER, COLLINS & CARTER, INC. IVIL ENGINEERING CONSULTANTS & LAND SURVEYORS ELLICOTT CITY, MARYLAND 21042

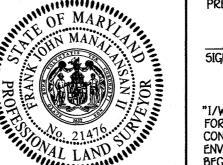
REVISION DATE

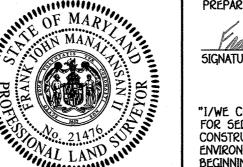
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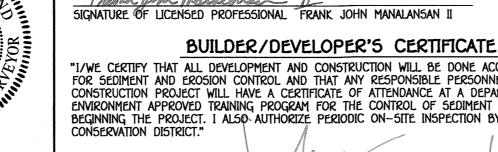




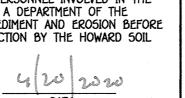


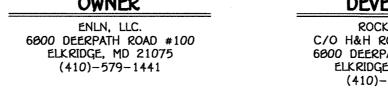




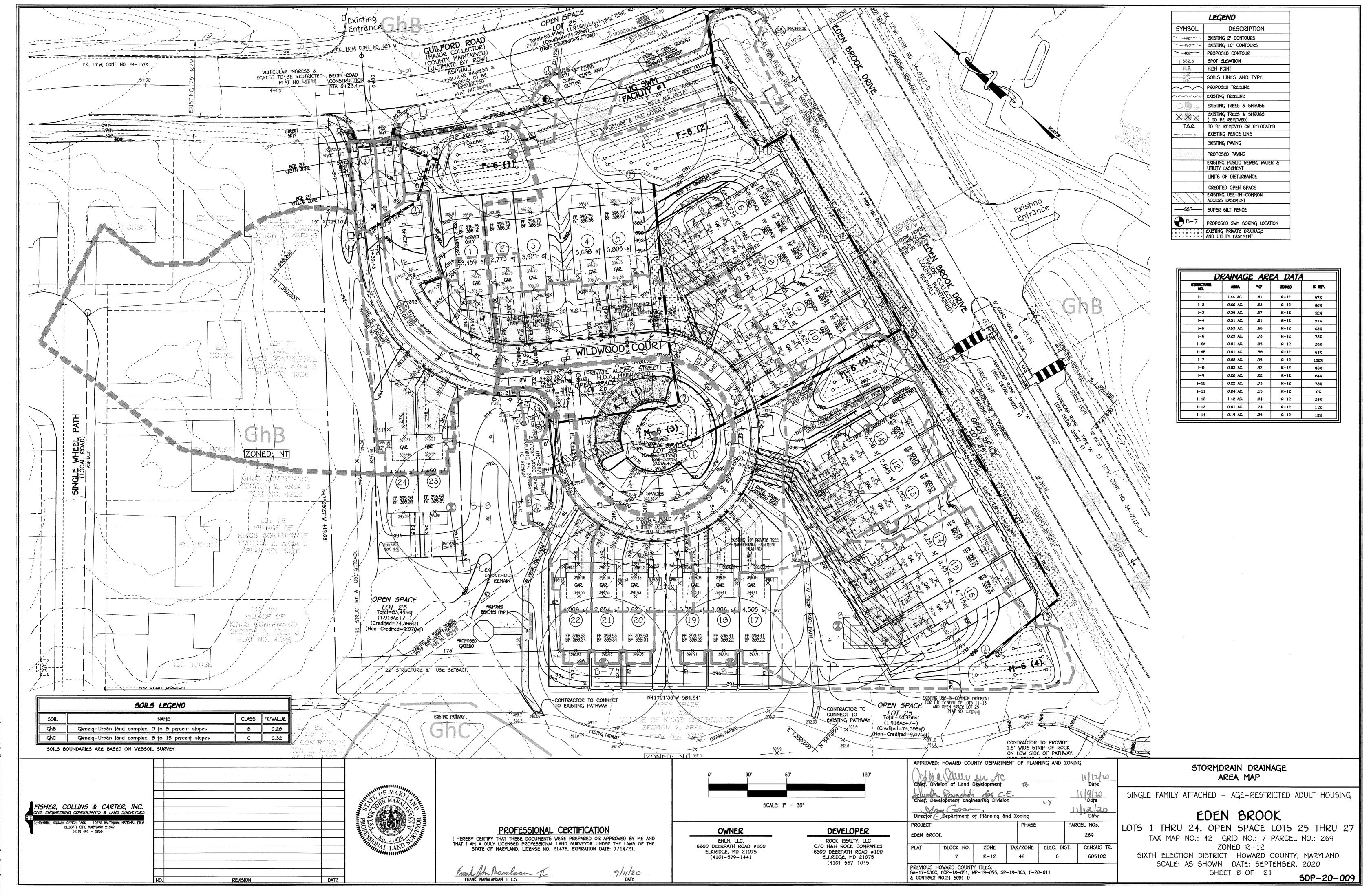


SIGNATURE OF DEVELOPER

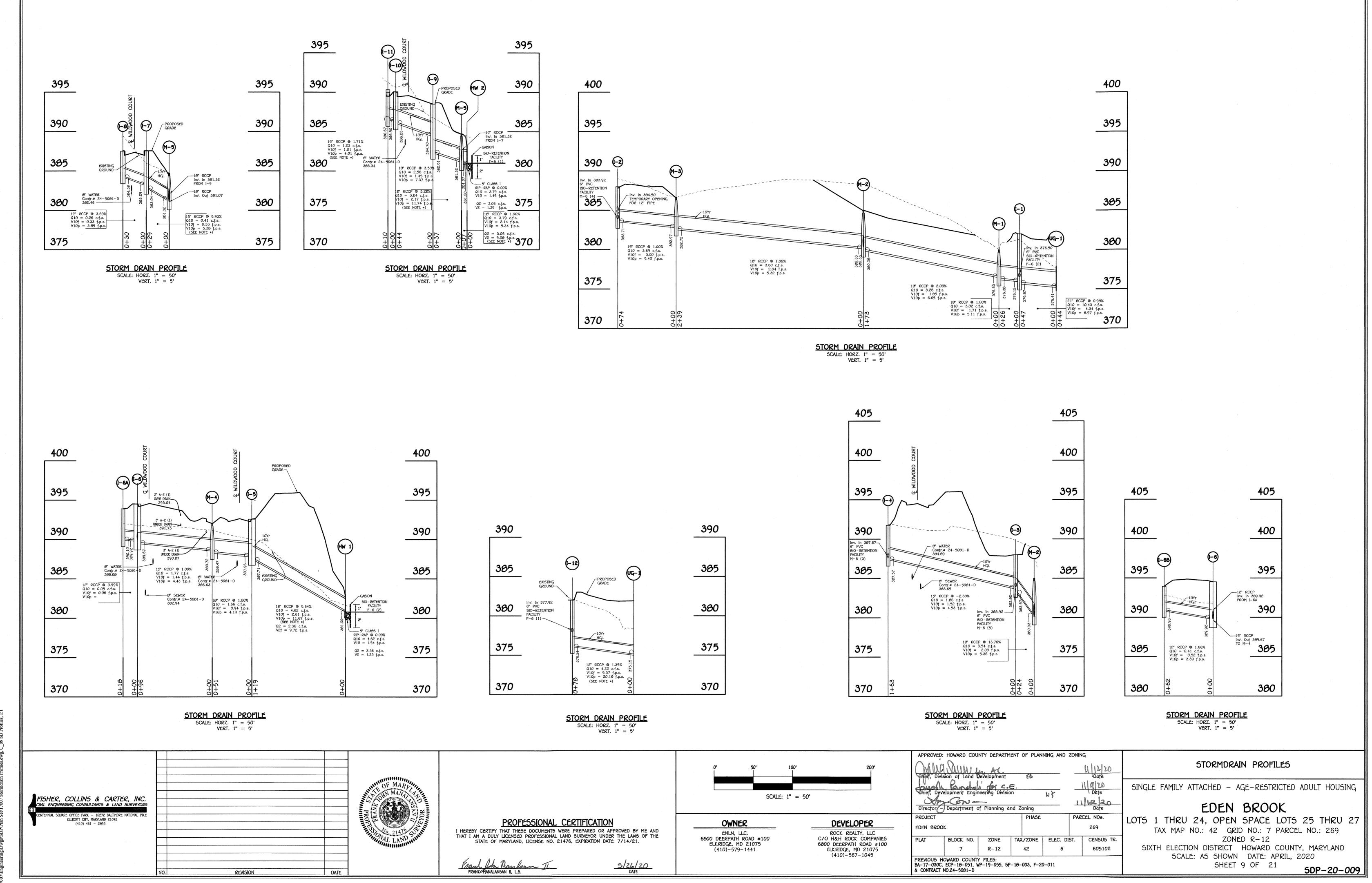




THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT:



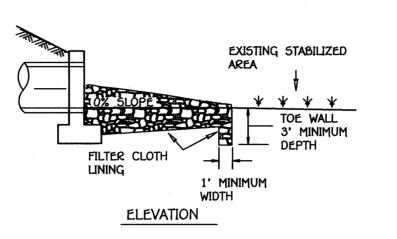
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CONSTRUCTION SPECIFICATIONS FOR RIP-RAP OUTFALLS

- The subgrade for the filter, riprap or gabion shall be prepared to the required lines and grades. Any fill required in the subgrade shall be compacted to a density of approximately that of the surrounding undisturbed material.
- The rock or gravel shall conform to the specified grading limits when installed respectively in the riprap or filter.
- 3. Filter cloth shall be protected from punching, cutting or tearing. Any damage other than an occasional shall hole shall be repaired by placing another piece of cloth over the damaged part or by completely replacing the cloth. All overlaps whether for repairs or for joining two pieces of cloth shall be a minimum of one foot.
- 4. Stone for the riprap or gabion outlets may be placed by equipment. Both shall each be constructed to the full course thickness in one operation and in such a manner as to avoid displacement of underlying materials. The stone for riprap or gabion outlets shall be delivered and placed in a manner that will insure that it is reasonably homogenous with the smaller stones and spalls filling the voids between the larger stones. Riprap shall be placed in a manner to prevent damage to the filter blanket or filter cloth. Hand placement will be required to the extent necessary to prevent damage to the permanent works. prevent damage to the permanent works.



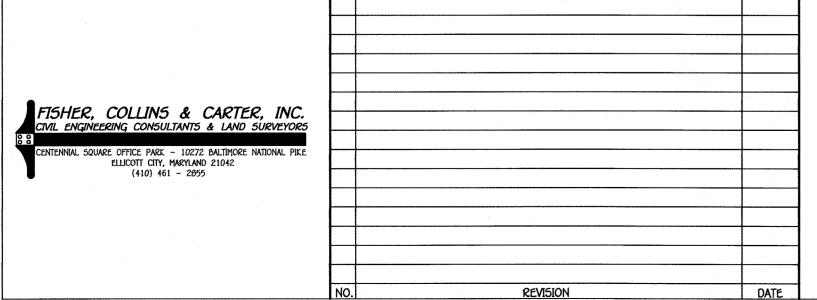
				RIP-R	ZAP	CHAN	NEL	DE	SIGI	V DAT	TA					
STRUCTURE	AREA (5.F.)	WETTED PERIMETER	R	R 2/3	5	5 1/2	W	d	· n	V (f.p.s.)	Q (c.f.s.)	RIP-RA D 50		BLANKET THICKNESS		La
HW 1	2.993	6.59	2.2018	1.692	0.005	0.0707	4'	0.58	0.04	1.54	4.62	9.5"	15"	19"	18"	5'
HW 2	2.621	6.33	2.4151	1.800	0.005	0.0707	4'	0.52	0.04	1.45	3.79	9.5"	15"	19"	18"	5'

PIPE MAIERIAL WHERE DEPIH OF COVER PERMITS.

STRUCTURE SCHEDULE											
STRUCTURE NO.	OWNERSHIP AND MAINTENANCE	TOP ELEVATION	INV IN	INV OUT	COORDINATES	TYPE	REMARK5				
HW 1	PRIVATE	383.21	381.00 (I-5) 18"		N 548025.87 E 1350244.39	TYPE 'C' ENDWALL	D 5.21				
HW 2	PRIVATE	303.21	381.00 (M-5) 18°		N 548162.67 E 1350150.27	TYPE 'C' ENDWALL	D 5.21				
I- 1	PRIVATE	382.00	376.12 (M-1) 18" 376.50 F-6 (2) 6"	375.87 21"	N 547982.96 E 1350317.83	YARD INLET	D 4.12				
I-2	PRIVATE	388.00	383.92 M-6 (4) 6"	303.71 15"	N 547597.41 E 1350136.58	YARD INLET	D 4.12				
I-3	PRIVATE	388.00	303.92 M-6 (5) 6" 303.02 (I-4) 15"	383.57 1 <i>8</i> "	N 547017.60 E 1350264.35	YARD INLET	D 4.12				
I-4	PRIVATE	391.75	307.67 M-6 (3) 6"	387.57 15"	N 547876.51 E 1350112.64	YARD INLET	D 4.12				
I-5	PRIVATE	392.57	387.96 (M-4) 18"	387.71 18"	N 547939.82 E 1350162.29	A-10 INLET	D 4.03				
I-6	PRIVATE	394.52	389.92 (I-6A) 12"	389.67 15"	N 547963.22 E 1350057.88	A-5 INLET	D 4.01				
I-6A	PRIVATE	393.90		390.10 12"	N 547981.42 E 1350057.14	YARD INLET	D 4.12				
I-6B	PRIVATE	393.94		390.96 12"	N 547925.20 E 1350008.43	YARD INLET	D 4.12				
I-7	PRIVATE	387.58	383.29 (I-8) 12"	383.04 15"	N 548196.30 E 1350137.19	A-5 INLET	D 4.01				
I-8	PRIVATE	387.50		384.38 12"	N 548216.79 E 1350115.74	A-5 INLET	D 4.01				
I-9	PRIVATE	388.50	384.70 (I-10) 18"	382.51 18"	N 548153.21 E 1350114.48	A-5 INLET	D 4.01				
I-10	PRIVATE	390.08	386.50 (I-11) 15"	386.25 18"	N 548169.18 E 1350070.31	A-5 INLET	D 4.01				
I-11	PRIVATE	389.50		396.67 15"	N 548175.46 E 1350062.58	YARD INLET	D 4.12				
I-12	PRIVATE	382.00	377.92 F-6 (1) 6"	376.21 12"	N 548124.91 E 1350201.28	YARD INLET	D 4.12				
I-13	PUBLIC	379.05		374.31	N 548138.51 E 1350260.88	'5' INLET	D 4.24				
I-14	PUBLIC	371.60	369.72 (M-1A) 23"x14"	368.70 18"	N 548062.28 E 1350390.2	'5' INLET	D 4.24				
M-1	PRIVATE	379.97	376.63 (M-2) 18"	376.38 18"	N 547973.49 E 1350342.37	4' DIA. MANHOLE	G 5.12				
M-1A	PUBLIC	372.51	370.52 (C5-1) TWIN 10"	369. <i>0</i> 6 23"×14"	N 548081.32 E 1350369.69	4' DIA. MANHOLE	G 5.12				
M-2	PRIVATE	385.00	300.33 (M-3) 10" 300.33 (I-3) 10"	380.08 18"	N 547809.96 E 1350286.71	4' DIA. MANHOLE	G 5.12				
M-3	PRIVATE	306.64	382.97 (I-2) 15"	382.72 18°	N 547583.89 E 1350209.76	4' DIA. MANHOLE	G 5.12				
M-4	PRIVATE	392.05	388.72 (I-6) 15"	388.47 18"	N 547900.77 E 1350130.21	4' DIA. MANHOLE	G 5.12				
M-5	PRIVATE	384.72	381.32 (I-9) 18" 381.32 (I-7) 15"	301.07 1 <i>8</i> °	N 548169.07 E 1350147.24	4' DIA. MANHOLE	G 5.12				

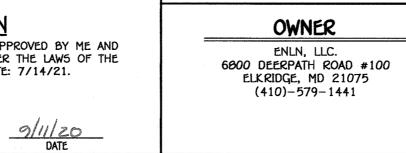
	PIPE SCHEDUL	E	
5IZE	CLA55	LENGTH	
2"	PERFORATED PVC, 5CH.40	100 L.F.	
3"	PERFORATED PVC, 5CH.40	100 L.F.	
6"	PERFORATED PVC, 5CH.40	1,053 L.F.	
6"	PVC, 5CH.40	109 L.F.	
10"	HDPE (SMOOTH INTERIOR)	82 L.F.	
12"	RCCP, CL. IV	188 L.F.	
15"	RCCP, CL. IV	339 L.F.	
18"	RCCP, CL. IV	536 L.F.	
21"	RCCP, CL. IV	47 L.F.	
23" x 14"	HECP, CL HE-111	28 L.F.	
Ø4 "	12 GA. AA5HO	160 L.F.	

NOTE: RCCP, CL. IV MAY BE SUBSTITUTED WITH HDPE PIPE MATERIAL WHERE DEPTH OF COVER PERMITS.





PROFESSIONAL CERTIFICATION I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND THAT I AM A DULY LICENSED PROFESSIONAL LAND SURVEYOR UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 21476, EXPIRATION DATE: 7/14/21.



)*	50'	100'	
·			

OWNER

DEVELOPER ROCK REALTY, LLC C/O H&H ROCK COMPANIES 6000 DEERPATH ROAD #100 ELKRIDGE, MD 21075 (410)-567-1045

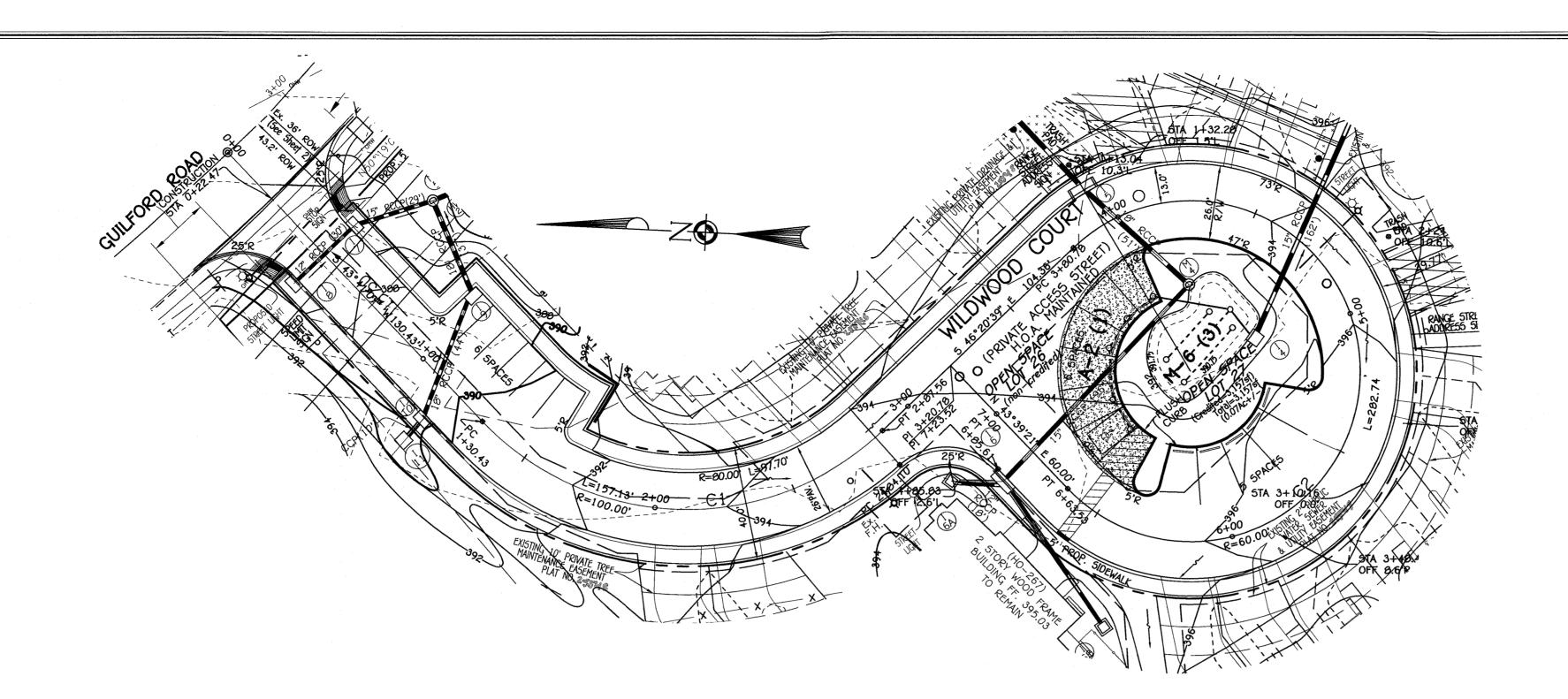
APPROVED:	HOWARD COU	NTY DEPARTM	ENT OF PL	ANNING AND	ZONIN	IG	
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Chief, Deve	elopment Engin	neering Divisio	n .	MY		Date	ľ
- Mr					estissis.	12/20	
Director (Department of	of Planning a	nd Zoning			° Date	
PROJECT			PHA	ie .	PAR	CEL NOs.	lıc
EDEN BROO	K					269	
PLAT	BLOCK NO.	ZONE	TAX/ZON	E ELEC. D	IST.	CENSUS TR.	
yer.	7	R-12	42	6		605102	
BA-17-030C,	OWARD COUNTY ECP-10-051, W NO.24-5001-D		-18-003, F	-20-011			

STORMDRAIN PROFILES SINGLE FAMILY ATTACHED - AGE-RESTRICTED ADULT HOUSING

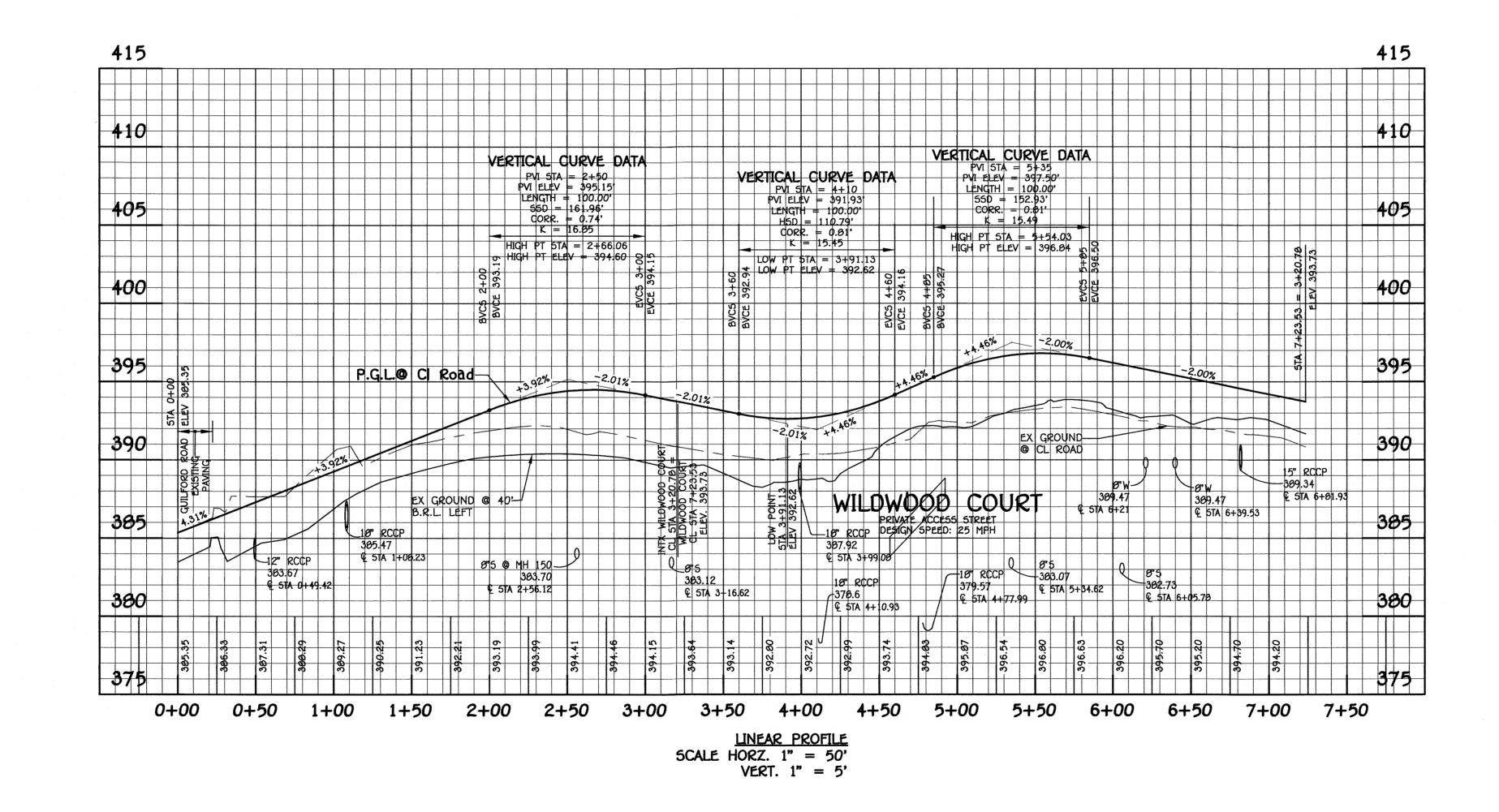
EDEN BROOK

LOTS 1 THRU 24, OPEN SPACE LOTS 25 THRU 27 TAX MAP NO.: 42 GRID NO.: 7 PARCEL NO.: 269 ZONED R-12

SIXTH ELECTION DISTRICT HOWARD COUNTY, MARYLAND SCALE: AS SHOWN DATE: SEPTEMBER, 2020 SHEET 10 OF 21 5DP-20-009



	PROPOSED ALIGNMENT CURVE TABLE										
CURVE#	ROAD NAME	CL STATION	RADIU5	LENGTH	DELTA	TANGENT	CHORD				
C1	WILDWOOD COURT	STA 1+30.43 TO STA 2+07.56	100.00'	157.13'	57° 17' 45"	141.46'	501°19'45.73"E				
C2	WILDWOOD COURT	STA 3+00.70 TO STA 6+63.53	60.00'	282.74	95°29'35"	84.85'	500°39'21.65"W				



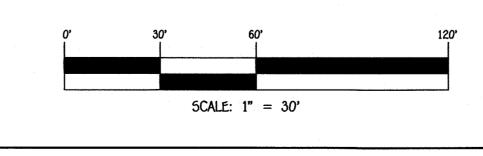




DATE

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9/11/20 DATE



OWNER ENLN, LLC. 6000 DEERPATH ROAD #100 ELKRIDGE, MD 21075 (410)-579-1441

DEVELOPER ROCK REALTY, LLC C/O H&H ROCK COMPANIES 6000 DEERPATH ROAD #100 ELKRIDGE, MD 21075 (410)-567-1045

	APPROVED:	HOWARD COU	NTY DEPARTM	ENT	OF PLAN	NING AND	ZONIN	G	
	Chief, Divis	Sion of Land	Development		- Es	· · · · · · · · · · · · · · · · · · ·	· ·	Date	
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***************************************	Director -				oning	~ \	distribution of the state of th	12/20 Dațe	
_	PROJECT	/	·		PHASE		PAR	CEL NOs.	
	EDEN BROOK	K						269	
-	PLAT	BLOCK NO.	ZONE	TAX	(/ZONE	ELEC. DI	5T.	CENSUS TR.	
***************************************		7	R-12		42	6		605102	
	PREVIOUS HOWARD COUNTY FILES: BA-17-030C, ECP-10-051, WP-19-055, SP-10-003, F-20-011 & CONTRACT NO.24-5001-0								

ROAD PLAN AND PROFILE SHEET

SINGLE FAMILY ATTACHED - AGE-RESTRICTED ADULT HOUSING

EDEN BROOK

LOTS 1 THRU 24, OPEN SPACE LOTS 25 THRU 27 TAX MAP NO.: 42 GRID NO.: 7 PARCEL NO.: 269 ZONED R-12

SIXTH ELECTION DISTRICT HOWARD COUNTY, MARYLAND SCALE: AS SHOWN DATE: SEPTEMBER, 2020 SHEET 11 OF 21 5DP-20-009

INFILTRATION AND FILTER SYSTEM CONSTRUCTION SPECIFICATIONS

INFILTRATION AND FILTER SYSTEMS EITHER TAKE ADVANTAGE OF EXISTING PERMEABLE SOILS OR CREATE A PERMEABLE MEDIUM SUCH AS SAND FOR WC), AND RE V. IN SOME INSTANCES WHERE PERMEABILITY IS GREAT, THESE FACILITIES MAY BE USED FOR QP AS WELL. THE MOST COMMON SYSTEMS INCLUDE INFILTRATION TRENCHES, INFILTRATION BASINS, SAND FILTERS, AND ORGANIC FILTERS.

WHEN PROPERLY PLANTED, VEGETATION WILL THRIVE AND ENHANCE THE FUNCTIONING OF THESE SYSTEMS. FOR EXAMPLE, PRE-TREATMENT BUFFERS WILL TRAP SEDIMENTS THAT OFTEN ARE BOUND WITH PHOSPHOROUS AND METALS. VEGETATION PLANTED IN THE FACILITY WILL AID IN NUTRIENT UPTAKE AND WATER STORAGE. ADDITIONALLY, PLANT ROOTS WILL PROVIDE ARTERIES FOR STORMWATER TO PERMEATE SOIL FOR GROUNDWATER RECHARGE. FINALLY, SUCCESSFUL PLANTINGS PROVIDE AESTHETIC VALUE AND WILDLIFE HABITAT MAKING THESE FACILITIES MORE DESIRABLE TO THE PUBLIC.

DESIGN CONSTRAINTS:

- > PLANTING BUFFER STRIPS OF AT LEAST 20 FEET WILL CAUSE SEDIMENTS TO SETTLE OUT BEFORE REACHING THE FACILITY, THEREBY REDUCING THE POSSIBILITY OF CLOGGING.
- > DETERMINE AREAS THAT WILL BE SATURATED WITH WATER AND WATER TABLE DEPTH 50 THAT APPROPRIATE PLANTS MAY BE SELECTED (HYDROLOGY WILL BE SIMILAR TO BIORETENTION FACILITIES, SEE FIGURE A.5 AND TABLE A.4 FOR PLANTING MATERIAL GUIDANCE).
- > PLANTS KNOWN TO SEND DOWN DEEP TAPROOTS SHOULD BE AVOIDED IN SYSTEMS WHERE FILTER FABRIC IS USED AS PART OF FACILITY DESIGN. > TEST SOIL CONDITIONS TO DETERMINE IF SOIL AMENDMENTS ARE NECESSARY.
- > PLANTS SHALL BE LOCATED SO THAT ACCESS IS POSSIBLE FOR STRUCTURE MAINTENANCE. > STABILIZE HEAVY FLOW AREAS WITH EROSION CONTROL MATS OR SOD.
- > TEMPORARILY DIVERT FLOWS FROM SEEDED AREAS UNTIL VEGETATION IS ESTABLISHED. > SEE TABLE A.5 FOR ADDITIONAL DESIGN CONSIDERATIONS.

BIO-RETENTION SOIL BED CHARACTERISTICS

THE CHARACTERISTICS OF THE SOIL FOR THE BIORETENTION FACILITY ARE PERHAPS AS IMPORTANT AS THE FACILITY LOCATION. SIZE. AND TREATMENT VOLUME. THE SOIL MUST BE PERMEABLE ENOUGH TO ALLOW RUNOFF TO FILTER THROUGH THE MEDIA. WHILE HAVING CHARACTERISTICS SUITABLE TO PROMOTE AND SUSTAIN A ROBUST VEGETATIVE COVER CROP. IN ADDITION. MUCH OF THE NUTRIENT POLLUTANT UPTAKE (NITROGEN AND PHOSPHORUS) IS ACCOMPLISHED THROUGH ABSORPTION AND MICROBIAL ACTIVITY WITHIN THE SOIL PROFILE. THEREFORE, SOILS MUST BALANCE THEIR CHEMICAL AND PHYSICAL PROPERTIES TO SUPPORT BIOTIC COMMUNITIES ABOVE AND BELOW GROUND.

THE PLANTING SOIL SHOULD BE A SANDY LOAM, LOAMY SAND, LOAM (USDA), OR A LOAM/SAND MIX (SHOULD CONTAIN A MINIMUM 35 TO 60% SAND, BY VOLUME). THE CLAY CONTENT FOR THESE SOILS SHOULD BE LESS THAN 25% BY VOLUME LENVIRONMENTAL QUALITY RESOURCES (EQR), 1996; ENGINEERING TECHNOLOGY INC. AND BIOHABITATS, INC. (ETAB), 1993]. SOILS SHOULD FALL WITHIN THE SM. ML, SC CLASSIFICATIONS OR THE UNIFIED SOIL CLASSIFICATION SYSTEM (USCS). A PERMEABILITY OF AT LEAST 1.0 FEET PER DAY (0.5"/HR) IS REQUIRED (A CONSERVATIVE VALUE OF 0.5 FEET PER DAY IS USED FOR DESIGN). THE SOIL SHOULD BE FREE OF STONES, STUMPS, ROOTS, OR OTHER WOODY MATERIAL OVER 1" IN DIAMETER. BRUSH OR SEEDS FROM NOXIOUS WEEDS (E.G., JOHNSON GRASS, MUGWORT, NUTSEDGE, AND CANADA THISTLE OR OTHER NOXIOUS WEEDS AS SPECIFIED UNDER COMAR 15.08.01.05.) SHOULD NOT BE PRESENT IN THE SOILS. PLACEMENT OF THE PLANTING SOIL SHOULD BE IN 12 TO 10 LIFTS THAT ARE LOOSELY COMPACTED (TAMPED LIGHTLY WITH A BACKHOE BUCKET OR TRAVERSED BY DOZER TRACKS). THE SPECIFIC CHARACTERISTICS ARE PRESENTED IN TABLE A.3.

TABLE A.3 PLANTING SOIL CHARACTERISTICS

PARAMETER	VALUE				
PH RANGE	5.2 TO 7.00				
ORGANIC MATTER	1.5 TO 4.0% (BY WEIGHT)				
MAGNESIUM	35 LBS. PER ACRE, MINIMUM				
PHOSPHORUS (PHOSPHATE - P2O5)	75 LBS. PER ACRE, MINIMUM				
POTASSIUM (POTASH -1(K2O)	85 LBS. PER ACRE, MINIMUM				
SOLUBLE SALTS	500 PPM				
CLAY	10 TO 25 %				
SILT	30 TO 55 %				
5AND .	35 TO 60%				

MULCH LAYER

THE MULCH LAYER PLAYS AN IMPORTANT ROLE IN THE PERFORMANCE OF THE BIORETENTION SYSTEM. THE MULCH LAYER HELPS MAINTAIN SOIL MOISTURE AND AVOIDS SURFACE SEALING, WHICH REDUCES PERMEABILITY. MULCH HELPS PREVENT EROSION, AND PROVIDES A MICROENVIRONMENT SUITABLE FOR SOIL BIOTA AT THE MULCH/SOIL INTERFACE. IT ALSO SERVES AS A PRETREATMENT LAYER, TRAPPING THE FINER SEDIMENTS, WHICH REMAIN SUSPENDED AFTER THE PRIMARY PRETREATMENT.

THE MULCH LAYER SHOULD BE STANDARD LANDSCAPE STYLE, SINGLE OR DOUBLE SHREDDED HARDWOOD MULCH OR CHIPS. THE MULCH LAYER SHOULD BE WELL AGED (STOCKPILED OR STORED FOR AT LEAST 12 MONTHS), UNIFORM IN COLOR, AND FREE OF OTHER MATERIALS, SUCH AS WEED SEEDS, SOIL, ROOTS, ETC. THE MULCH SHOULD BE APPLIED TO A MAXIMUM DEPTH OF THREE INCHES. GRASS CLIPPINGS SHOULD NOT BE USED AS A

PLANTING GUIDANCE

PLANT MATERIAL SELECTION SHOULD BE BASED ON THE GOAL OF SIMULATING A TERRESTRIAL FORESTED COMMUNITY OF NATIVE SPECIES. BIORETENTION SIMULATES AN UPLAND-SPECIES ECOSYSTEM. THE COMMUNITY SHOULD BE DOMINATED BY TREES, BUT HAVE A DISTINCT COMMUNITY OF UNDERSTORY TREES, SHRUBS AND HERBACEOUS MATERIALS. BY CREATING A DIVERSE, DENSE PLANT COVER, A BIORETENTION FACILITY WILL BE ABLE TO TREAT STORMWATER RUNOFF AND WITHSTAND URBAN STRESSES FROM INSECTS, DISEASE, DROUGHT, TEMPERATURE, WIND, AND EXPOSURE.

THE PROPER SELECTION AND INSTALLATION OF PLANT MATERIALS IS KEY TO A SUCCESSFUL SYSTEM. THERE ARE ESSENTIALLY THREE ZONES WITHIN A BIORETENTION FACILITY (FIGURE A.5). THE LOWEST ELEVATION SUPPORTS PLANT SPECIES ADAPTED TO STANDING AND FLUCTUATING WATER LEVELS. THE MIDDLE ELEVATION SUPPORTS PLANTS THAT LIKE DRIER SOIL CONDITIONS, BUT CAN STILL TOLERATE OCCASIONAL INUNDATION BY

IS THE HIGHEST ELEVATION AND GENERALLY SUPPORTS PLANTS ADAPTED TO DRYER CONDITIONS. A SAMPLE OF APPROPRIATE PLANT MATERIALS FOR BIORETENTION FACILITIES ARE INCLUDED IN TABLE A.4. THE LAYOUT OF PLANT MATERIAL SHOULD BE FLEXIBLE, BUT SHOULD FOLLOW THE GENERAL PRINCIPALS DESCRIBED IN TABLE A.5. THE OBJECTIVE IS TO HAVE A SYSTEM, WHICH RESEMBLES A RANDOM, AND NATURAL PLANT LAYOUT, WHILE MAINTAINING OPTIMAL CONDITIONS FOR PLANT ESTABLISHMENT AND GROWTH. FOR A MORE EXTENSIVE BIORETENTION PLAN, CONSULT ETAB, 1993 OR CLAYTOR AND SCHUELER, 1997.

OPERATION AND MAINTENANCE SCHEDULE FOR BIO-RETENTION AREAS (M-6) AND (F-6)

- ANNUAL MAINTENANCE OF PLANT MATERIAL, MULCH LAYER AND SOIL LAYER IS REQUIRED. MAINTENANCE OF OF MULCH AND SOIL IS LIMITED TO CORRECTING AREAS OF EROSION OR WASH OUT. ANY MULCH REPLACEMENT SHALL BE DONE IN THE SPRING. PLANT MATERIAL SHALL BE CHECKED FOR DISEASE AND INSECT INFESTATION AND MAINTENANCE WILL ADDRESS DEAD MATERIAL AND PRUNING.
- 2. SCHEDULE OF PLANT INSPECTION WILL BE TWICE A YEAR IN SPRING AND FALL THIS INSPECTION WILL INCLUDE REMOVAL OF DEAD AND DISEASED VEGETATION CONSIDER BEYOND TREATMENT. TREATMENT OF ALL DISEASED TREES AND SHRUBS AND REPLACEMENT OF ALL DEFICIENT STAKES AND WIRES.
- 3. MULCH SHALL BE INSPECTED EACH SPRING. REMOVE PREVIOUS MULCH LAYER BEFORE APPLYING NEW LAYER ONCE EVERY 2 TO 3 YEARS.
- 4. SOIL EROSION TO BE ADDRESSED ON AN AS NEEDED BASIS. WITH A MINIMUM OF ONCE PER MONTH AND AFTER HEAVY STORM EVENTS.

DR BIORE	DRAINAGE AREA F-6 (1) BIORETENTION PLANT MATERIAL							
QUANTITY	NAME	MAXIMUM SPACING (FT.)						
167 (502 sq.ff.)	GRA55E5	1 FT.						
72	5HRUB5	2 FT.						

DR BIORE	AINAGE AI TENTION F	REA F-6 (2) PLANT MATERIAL
QUANTITY	NAME	MAXIMUM SPACING (FT.)
297 (892 sq.ff.)	GRASSES	1 FT.
127	5HRUB5	2 FT.

DRAINAGE AREA F-6 (3) BIORETENTION PLANT MATERIAL							
NAME	MAXIMUM SPACING (FT.)						
GRASSES	1 FT. 2 FT.						
5HRUB5							
DRAINAGE AREA F-6 (4)							
	NAME GRASSES SHRUBS						

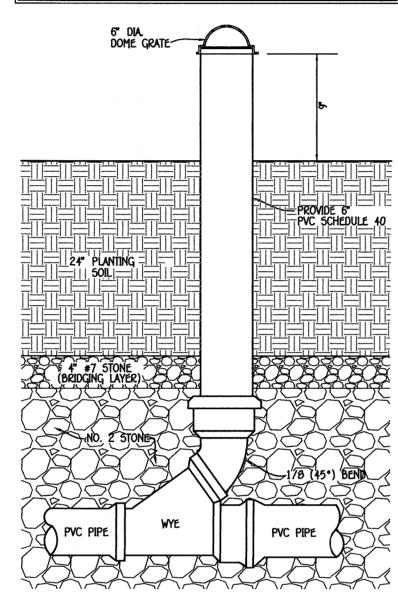
20	SHKUDS	2 FI.
DR BIORE	PAINAGE AI TENTION F	REA F-6 (5) PLANT MATERIAL
QUANTITY	NAME	MAXIMUM SPACING (FT.)
75 (225 sq.ft.)	GRASSES	1 FT.
30	SHOURS	2 57

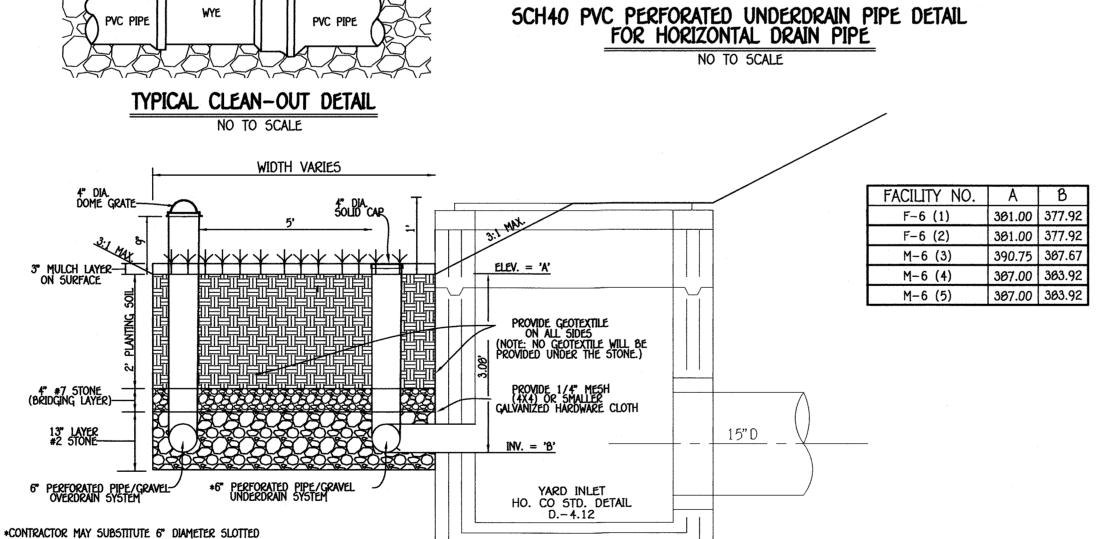
GRASSES

117 (352 sq.ff.)

MAXIMUM SPACING (F

1 FT.





SHRUB5 WINTERBERRY INKBFRRY WITCH HAZEL

LAMPHOLE FRAME & COVER

MATERIAL SHALL BE GRAY IRON CASTING. CASTINGS MUST BE

MACHINED ON BEARING SURFACES.

CLEANOUT/ WATER QUALITY

CENTER TO CENTER: 3"

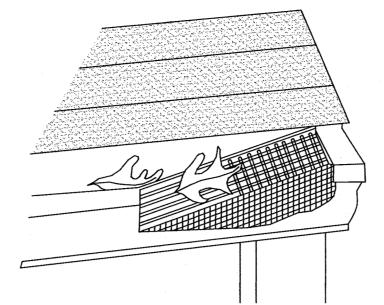
ROWS OF HOLES: 2 @ 90°

2 @ 160° (+/-3°)

-MIX #1 CONCRETE

BUTTONBRUSH BUCKEYE

BOTTLEBRUSH BUCKEYE



GUTTER DRAIN FILTER DETAIL NOT TO SCALE

> *A GUTTER GUARD OR A SUITABLE EQUIVALENT SHALL BE USED FOR EACH DOWNSPOUT DIRECTED TO A DRYWELL.

> > LEAF SCREEN -

BUILDING -FOUNDATION

CONSTRUCTION CRITERIA:

-ROOF LEADER

FILTER

FABRIC-

GROUND WATER

THE FOLLOWING ITEMS SHOULD BE ADDRESSED DURING CONSTRUCTION OF PROJECTS WITH DRY WELLS:

EROSION AND SEDIMENT CONTROL:

FINAL GRADING FOR PROPOSED DRY WELLS SHOULD NOT TAKE PLACE UNTIL THE SURROUNDING SITE IS COMPLETELY STABILIZED. IF THIS CANNOT BE ACCOMPLISHED, RUNOFF FROM DISTURBED AREAS SHALL BE DIVERTED.

SOIL COMPACTION: EXCAVATION SHOULD BE CONDUCTED IN DRY CONDITIONS WITH EQUIPMENT LOCATED OUTSIDE OF THE PRACTICE TO MINIMIZE BOTTOM AND SIDEWALL COMPACTION. CONSTRUCTION OF A DRY WELL SHALL BE PERFORMED WITH

LIGHTWEIGHT, WIDE-TRACKED EQUIPMENT TO MINIMIZE DISTURBANCE AND COMPACTION. EXCAVATED MATERIALS SHALL BE PLACED IN A CONTAINED AREA.

A SUBSURFACE PREFABRICATED CHAMBER MAY BE USED.

THE BOTTOM SHALL BE AS LEVEL AS POSSIBLE TO MINIMIZE POOLED WATER IN SMALL AREAS THAT MAY REDUCE OVERALL INFILTRATION AND LONGEVITY.

FILTER CLOTH SHALL NOT BE INSTALLED ON THE BOTTOM OF THE WELL. NON-WOVEN FILTER CLOTH SHOULD BE USED TO LINE THE TOP AND SIDES OF THE DRY WELL TO PREVENT THE PORE SPACE BETWEEN THE STONES

THE AGGREGATE SHALL BE COMPOSED OF AN 10 TO 40-INCH LAYER OF CLEAN WASHED, OPEN GRADED MATERIAL WITH 40% POROSITY (E.G., ASTM D448 4, 5, OR 6 STONE OR EQUAL).

* THE EXACT NUMBER OF DRYWELLS

REQUIRED AND THE LENGTH AND WIDTH

WILL BE DETERMINED ONCE DOWNSPOUT

W/CAP. PERF. AREA 5 TIMES

FOOTPLATE

4-6 INCH PERFORATED PVC PIPE ON CONCRETE

*FILTER FABRIC
TOP AND SIDES ONLY

M5HA CL. "C"

12" SAND, ROTOTILL

NOTE: TRENCH MAY NOT BE INSTALLED IN FILL.

1'-0" BELOW TRENCH

DRAINAGE PATTERNS ARE DETERMINED.

FROM BEING BLOCKED BY THE SURROUNDING NATIVE MATERIAL

SURCHARGE PIPE

- SPLASH BLOCK

OPERATION AND MAINTENANCE SCHEDULE FOR PRIVATELY OWNED AND MAINTAINED PERMEABLE PAVEMENT (A-2)

2" (No. 57 STONE)

4" (No. 2 STONE)

1'-3" (No. 2 STONE)

a. The owner shall periodically sweep (or vacuum porous concrete pavement) the pavement surfaces to reduce sediment accumulation and insure continued surface porosity. Sweeping should be performed at least twice annually with a commercial cleaning unit. Washing or compressed air units should not be used to perform surface cleaning.

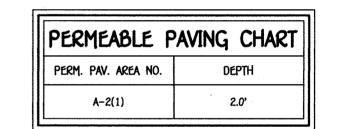
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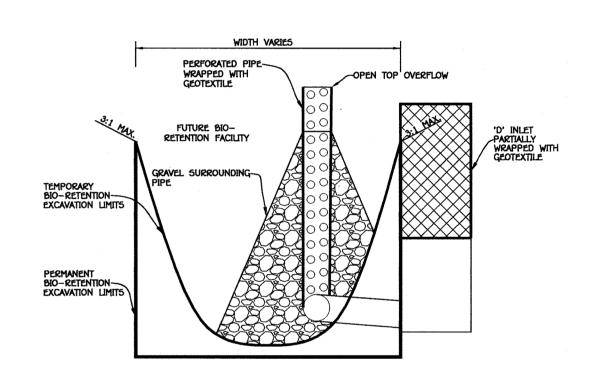
TYPICAL SECTION - A-2 PERMEABLE SECTION

w/ OVERDRAIN & UNDERDRAIN

(SEE CHART ABOVE FOR PAVEMENT THICKNESS)

- b. The owner shall periodically clean drainage pipes, inlets, stone edge drains and other structures within or draining to the subbase.
- c. The owner shall use deicers in moderation. Deicers should be non-toxic and be applied either as calcium magnesium acetate or as pretreated salt.
- d. The owner shall ensure snow plowing is performed carefully with blades set one inch above the surface. Plowed snow piles and snowmelt should not be directed to permeable pavement.





TYPICAL SECTION - OPTIONAL INTERIM BIO-RETENTION FACILITY (USED FOR MINOR SEDIMENT TRAPPING)

NOT TO SCALE

OPERATION & MAINTENANCE SCHEDULE FOR PRIVATELY OWNED AND MAINTAINED DRY WELLS (M-5)

A. THE OWNER SHALL INSPECT THE MONITORING WELLS AND STRUCTURES ON A QUARTERLY BASIS AND AFTER EVERY HEAVY STORM EVENT.

DRY WELL DETAIL

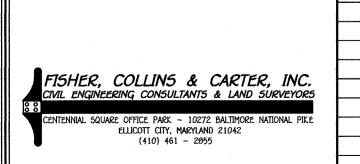
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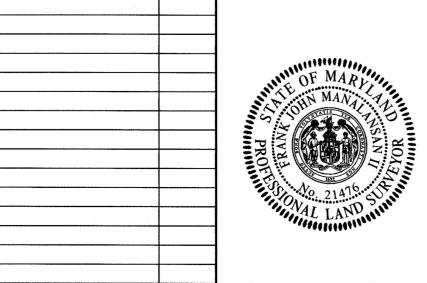
- B. THE OWNER SHALL RECORD THE WATER LEVELS AND SEDIMENT BUILD UP IN THE MONITORING WELLS OVER A PERIOD OF SEVERAL DAYS TO ENSURE TRENCH DRAINAGE.
- C. THE OWNER SHALL MAINTAIN A LOG BOOK TO DETERMINE THE RATE AT WHICH THE FACILITY DRAINS D. WHEN THE FACILITY BECOMES CLOGGED SO THAT IT DOES NOT DRAIN DOWN WITHIN A SEVENTY-TWO
- (72) HOUR TIME PERIOD, CORRECTIVE ACTION SHALL BE TAKEN. E. THE MAINTENANCE LOG BOOK SHALL BE AVAILABLE TO HOWARD COUNTY FOR INSPECTION TO INSURE COMPLIANCE WITH OPERATION AND MAINTENANCE CRITERIA.

	DRY WELL CHART								
LOT NO.	DRYWELL NUMBER	NO. OF DOWNSPOUTS	AREA OF ROOF	VOLUME REQUIRED	VOLUME PROVIDED	AREA OF STORAGE	AREA OF TREATMENT	NO. OF DRYWELLS	DIMENSIONS OF DRYWELLS
23	M-5 (23A)	2	907 SqFt	130 CuFt	140 CuFt	100%	100%	1	10' X 7' X 5'
24	M-5 (24A)	. 2	907 54Ft	130 CuFt	140 CuFt	100%	100%	1	10' X 7' X 5'

M252(AD5 N-12 ST10 PIPE OR EQUIVALENT). NOTE: THE BOTTOM OF EACH BIO—RETENTION FACILITY (M—6) SHALL BE ROTOTILLED PRIOR TO STONE INSTALLATION. TYPICAL SECTION BIO-RETENTION FACILITY (F-6)

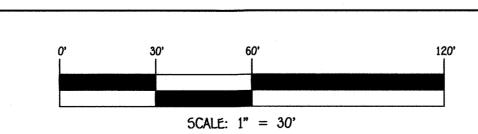
NOT TO SCALE





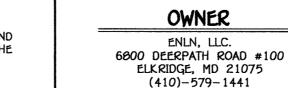
DATE

HOPE PIPE CLASS II PER AASHTO SPECIFICATION



PROFESSIONAL CERTIFICATION I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND THAT I AM A DULY LICENSED PROFESSIONAL LAND SURVEYOR UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 21476, EXPIRATION DATE: 7/14/21.





5/26/20

DEVELOPER ROCK REALTY, LLC C/O H&H ROCK COMPANIES 6000 DEERPATH ROAD #100 ELKRIDGE, MD 21075 (410)-567-1045

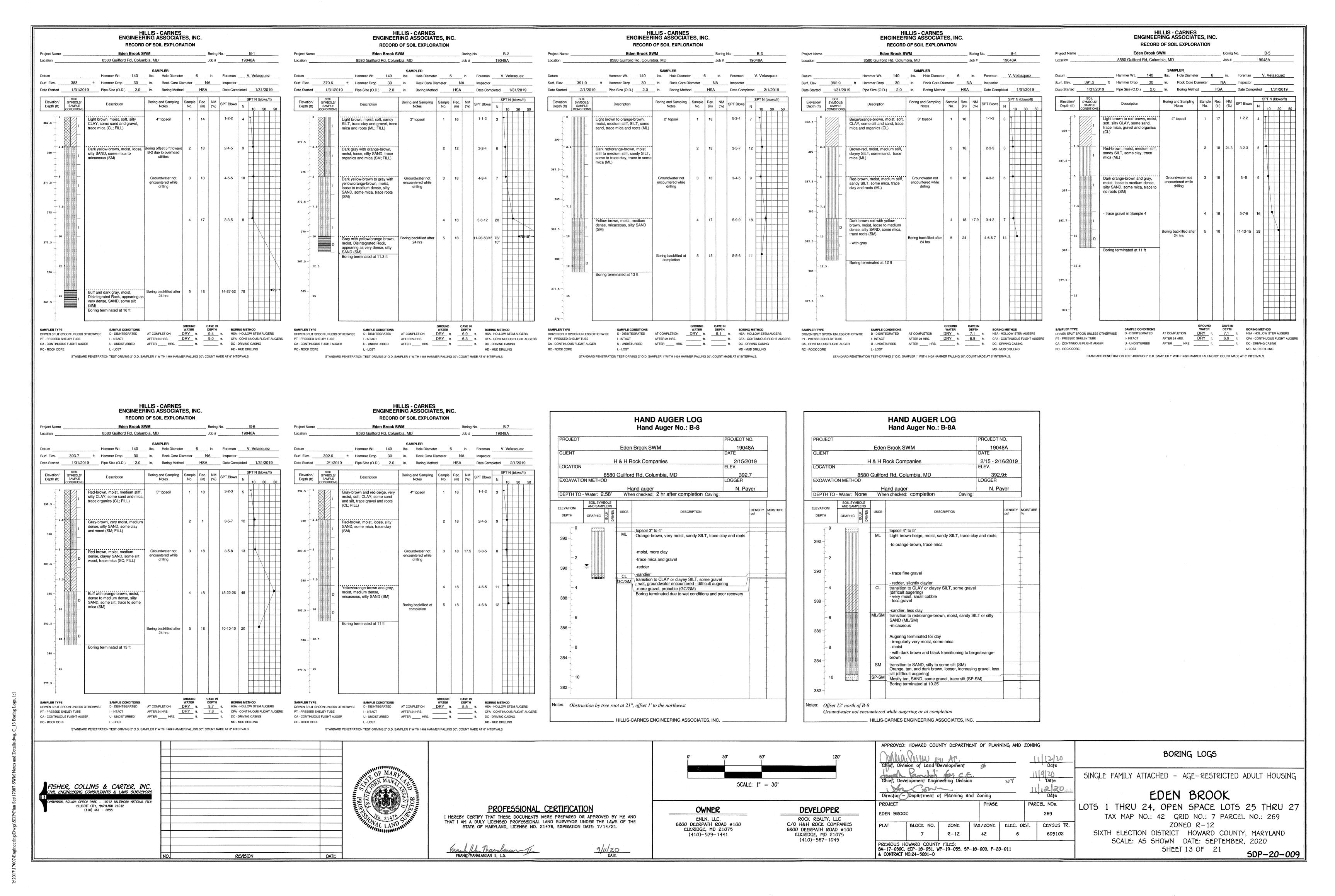
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	Chief, Divis	GULU A	L AC Development	28			111220 Date	
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1	Director	Department of	of Planning ar	nd Zoning			* Date	
-	PROJECT			PHASE		PAR	CEL NOs.	110
	EDEN BROOM	C			•		269	
	PLAT	BLOCK NO.	ZONE	TAX/ZONE	ELEC. DI	5T.	CENSUS TR.	
		. 7	R-12	42	6		605102	
	BA-17-030C,	OWARD COUNTY ECP-10-051, W NO.24-5001-D		-10-003, F-20	0-011	-		

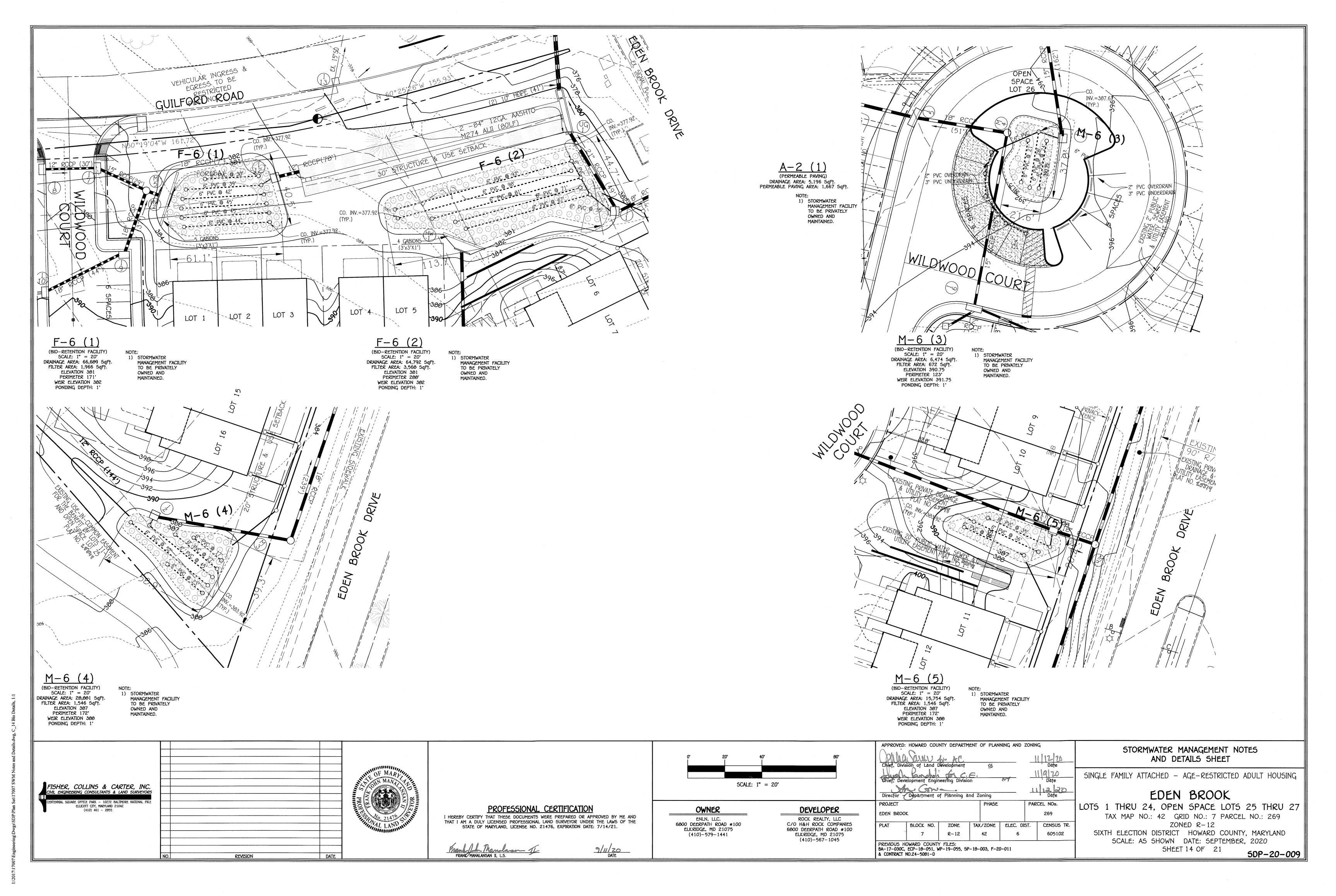
STORMWATER MANAGEMENT NOTES & DETAILS SINGLE FAMILY ATTACHED - AGE-RESTRICTED ADULT HOUSING EDEN BROOK

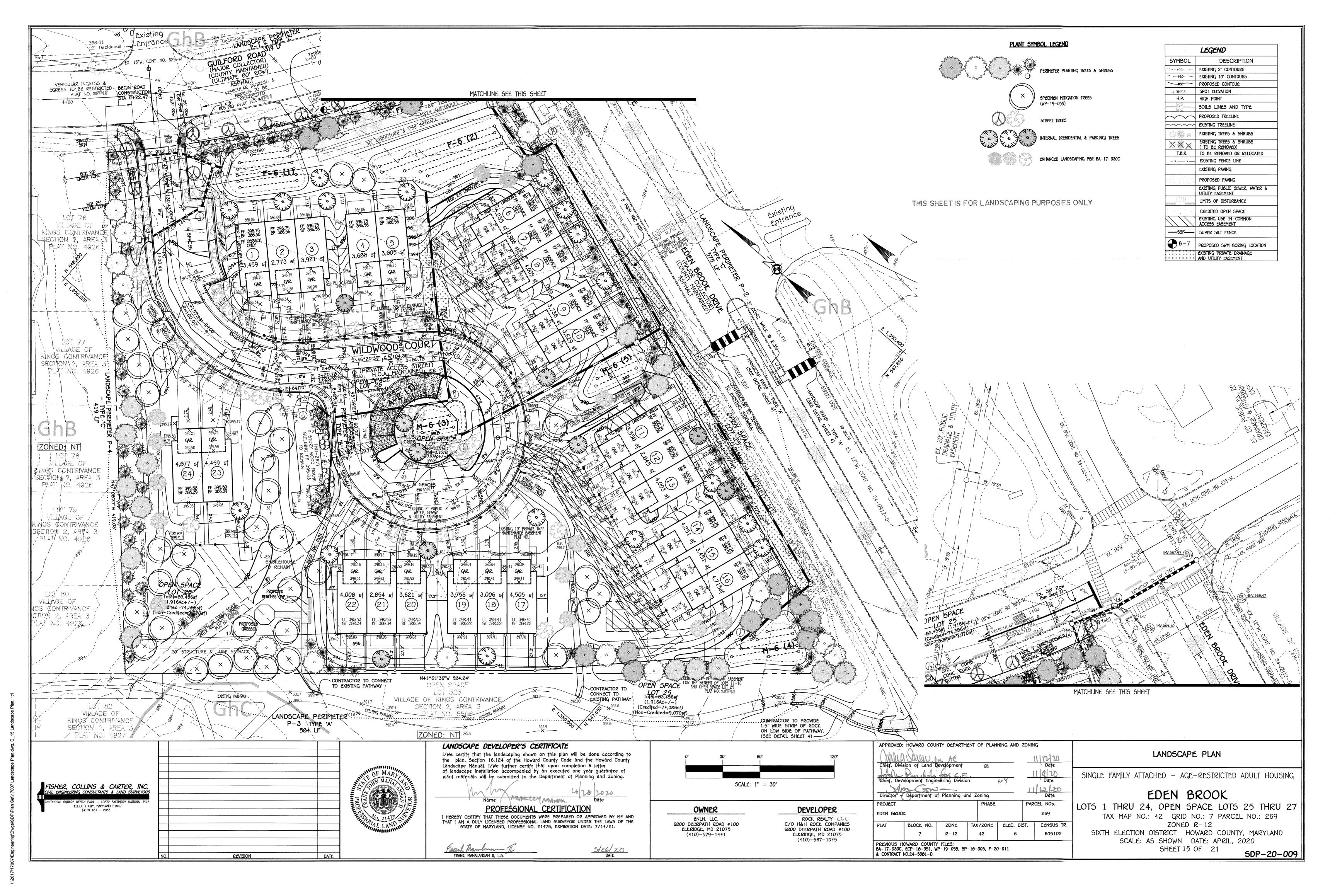
LOTS 1 THRU 24, OPEN SPACE LOTS 25 THRU 27 TAX MAP NO.: 42 GRID NO.: 7 PARCEL NO.: 269 ZONED R-12

SIXTH ELECTION DISTRICT HOWARD COUNTY, MARYLAND SCALE: AS SHOWN DATE: APRIL, 2020 SHEET 12 OF 21

5DP-20-009







GAZEBO DETAIL TYPE: CLASSIC VINYL GAZEBO (OR APPROVED EQUAL) NOT TO SCALE *INSTALLED AT GRADE FOR HANDICAP ACCESSIBILITY

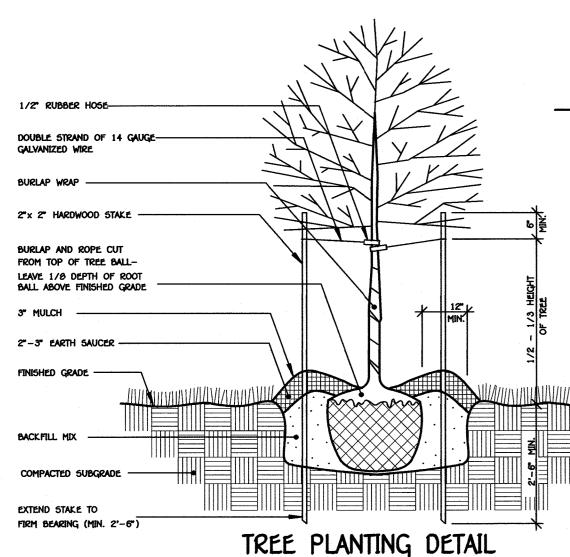
3/8" PREMOLDED EXPANSION JOINT INDICATED BY DOUBLE LINE ON PLANS - 3/8" X3/8" SCORING JOINT INDICATED BY SINGLE LINE ON PLANS - 4" THICK 4000 PSI AIR ENTRAINED CONCRETE SLAB ON GRADE 6"X6"W2.1XW2.1 WIRE MESH-DISCONTINUE MESH AT EXPANSION JOINT -APPROVED COMPACTED SUBGRADE

NOTE: REFER TO SITE PAVING PLAN AND FLOOR PLANS FOR LOCATIONS OF EXPANSION JOINTS AND SCORING JOINTS. WHERE NOT INDICATED, INSTALL EXPANSION JOINTS AT MAX. 15'-0' O.C. AND INSTALL SCORING JOINTS AT MAX. 5'-0" O.C.

SLOPE ACROSS SIDEWALK SHALL BE MIN. 1/8"/FT.

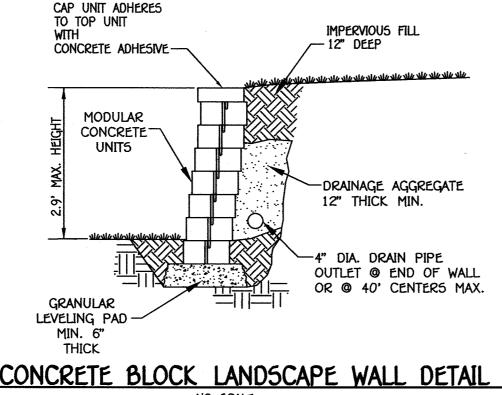
CONCRETE WALK DETAIL

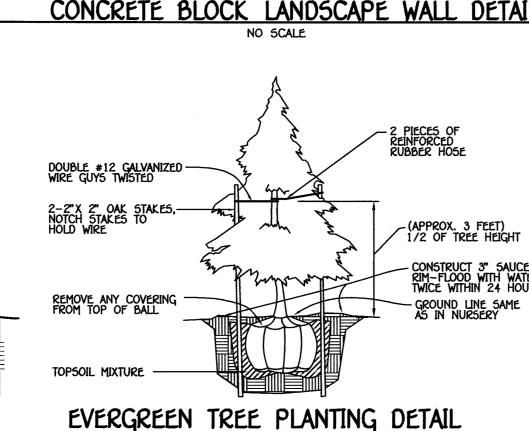
NO SCALE



ESSEX is designed to add dimension and weight to larger landscape and commercial settings. Constructed using dimensionally larger lumber, these benches will provide a base for any outdoor project, but are specially scaled for the grand stage Pages 20-21 Page 70 ESSEX adds strength and visual size to all Essex benches. seat height 18" wat height 18" 64 lbs, assembled 80 lbs. assembles Corner braces add strength as well as enhancing the overall design, Mortise and tenon join construction adds strength and longevity. width 83" inside vadius 9. depth 27" outside radius 1 beight 35" seat height 18"

> BENCH DETAIL TYPE: ESSEX (OR APPROVED EQUAL) NOT TO SCALE





NOTES

- 1. THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE PROVISIONS OF SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL - SURETY FOR 46 STREET TREES (\$13,800) AND 12 TRASH PAD SHRUBS (\$360) IN THE AMOUNT OF \$14,160 HAS BEEN PAID WITH THE DEPT. OF PUBLIC WORKS COST ESTIMATE UNDER F-20-011. -THE LANDSCAPING SURETY FOR THE PERIMETER, PARKING LOT AND RESIDENTIAL TREES IS \$49,500.00 FOR 125 SHADE TREES (\$37,500), 70 EVERGREENS (\$11,700) AND 10 SHRUBS (\$300) PAID WITH THE DEVELOPER'S AGREEMENT UNDER
- 2. AT THE TIME OF INSTALLMENT, ALL SHRUBS AND OTHER PLANTINGS HEREWITH LISTED AND APPROVED FOR THIS SITE, SHALL BE OF THE PROPER HEIGHT REQUIREMENTS IN ACCORDANCE WITH THE HOWARD COUNTY LANDSCAPING MANUAL. IN ADDITION, NO SUBSTITUTIONS OR RELOCATION OF REQUIRED PLANTINGS MAY BE MADE WITHOUT PRIOR REVIEW AND APPROVAL FROM THE DEPARTMENT OF PLANNING AND ZONING. ANY DEVIATION FROM THIS APPROVED LANDSCAPE PLAN MAY RESULT IN DENIAL OR DELAY IN THE RELEASE OF LANDSCAPE SURETY UNTIL SUCH TIME AS ALL REQUIRED MATERIALS ARE PLANTED AND/OR REVISIONS ARE MADE TO APPLICABLE PLANS AND CERTIFICATES.
- 3. THE OWNER, TENANT, AND/OR THEIR AGENTS SHALL BE RESPONSIBLE FOR MAINTENANCE OF THE REQUIRED LANDSCAPING, INCLUDING BOTH PLANT MATERIALS AND BERMS, FENCES AND WALLS. ALL PLANT MATERIALS SHALL BE MAINTAINED IN GOOD GROWING CONDITION, AND WHEN NECESSARY, REPLACED WITH NEW MATERIALS TO ENSURE CONTINUED COMPLIANCE WITH APPLICABLE REGULATIONS. ALL OTHER REQUIRED LANDSCAPING SHALL BE PERMANENTLY MAINTAINED IN GOOD CONDITION, AND WHEN NECESSARY, REPAIRED OR REPLACED. GROUND COVER (SHORE JUNIPER) PLANTED PER COLUMBIA ASSOCIATION'S REQUEST ALONG CA PATHWAY SHALL BE MAINTAINED FOR ONE (1) YEAR BY OWNER/DEVELOPER.
- 4. FOR ANY TREE DESIGNATED FOR PRESERVATION, FOR WHICH CREDIT IS GIVEN, BE REMOVED OR DIE PRIOR TO RELEASE OF BONDS, THE OWNER WILL BE REQUIRED TO REPLACE THE TREE WITH THE EQUIVALENT SPECIES OR IF THE TREE IS LISTED AS A PROHIBITED OR INVASIVE SPECIES ON THE DPZ TREE LIST IT SHOULD BE REPLACED WITH A RECOMMENDED TREE SPECIES WHICH WILL OBTAIN THE SAME HEIGHT, SPREAD AND GROWTH CHARACTERISTICS. THE REPLACEMENT TREE MUST BE A MINIMUM OF 3 INCHES IN CALIPER AND INSTALLED AS REQUIRED IN THE LANDSCAPE MANUAL."
- 5. A MINIMUM OF 20 FT SHALL BE MAINTAINED BETWEEN ANY STREET LIGHT AND ANY TREE.
- 6. ON THE APPROACH SIDE OF A STOP SIGN, NO STREET TREE SHALL BE PLANTED WITHIN 30 FT OF THE STOP SIGN.

ARCHITECTURAL DRAWING:

6' TALL x 8' WIDE

5" x 5" Pos

4" x 4.9" Top R

Bottom Rail Cove

Fence Bracket

1 5/8" (Typ)

1"x5.75" Interlocking Picket

Post Profile: Cut View / Elevation View

160 EXETER DR., WINCHESTER VA, 22603

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WWW.TREXFENCING.COM

Post Cap: Pyramid, Flat

TREX SECLUSIONS FENCING

LANDSCAPING PLANT LIST

COMMENTS

SPECIMEN

TREE

REPLACEMENTS

2 1/2"-3

2 1/2"-3"

1 1/2"-2"

3"-4" CAL.

ULL CROWN

B&B

5'-6' HT.

PLANTING SPECIFICATIONS

ALL PLANT MATERIAL, UNLESS OTHERWISE SPECIFIED, SHALL BE NURSERY GROWN,

SPECIES, SIZE, ROOT AND SHAPE SHOWN ON THE PLANT LIST AND THE AMERICAN ASSOCIATION OF NURSERYMEN (AAN) STANDARDS. PLANT MATERIAL SHALL BE HEALTH'

VIGOROUS, FREE FROM DEFECTS, DECAY, DISFIGURING ROOTS, SUN SCALD INJURIES,

FOR BALTIMORE-WASHINGTON METROPOLITAN AREAS", (HEREINAFTER "LANDSCAPE

WASHINGTON AND THE POTOMAC CHAPTER OF THE AMERICAN SOCIETY OF LANDSCAPE

OF THE LANDSCAPE GUIDELINES CONTRACTOR'S ATTENTION IS DIRECTED TO THE

FOR WORK ARISING FROM SITE CONDITIONS DIFFERING FROM THOSE INDICATED ON

ALL SHRUBS SHALL BE PLANTED IN CONTINUOUS TRENCHES OR PREPARED PLANTING BEDS AND MULCHED WITH COMPOSTED HARDWOOD MULCH AS DETAILS AND SPECIFIED

POSITIVE DRAINAGE SHALL BE MAINTAINED IN PLANTING BEDS 2 PERCENT SLOPE).

PLANTING MIX SHALL BE AS FOLLOWS: DECIDUOUS PLANTS - TWO PARTS TOPSOIL, ONE

PART WELL-ROTTED COW OR HORSE MANURE. ADD 3 LBS. OF STANDARD FERTILIZER

PER CUBIC YARD OF PLANTING MIX. EVERGREEN PLANTS - TWO PARTS TOPSOIL, ONE

(ACIDIC) FERTILIZER PER CUBIC YARD OF PLANTING MIX. TOPSOIL SHALL CONFORM TO

WEED CONTROL: INCORPORATE A PRE-EMERGENT HERBICIDE INTO THE PLANTING BED

FOLLOWING RECOMMENDED RATES ON THE LABEL. CAUTION: BE SURE TO CAREFULLY

ALL AREAS WITHIN CONTRACT LIMITS DISTURBED DURING OR PRIOR TO CONSTRUCTION NOT

CHECK THE CHEMICAL USED TO ASSURE ITS ADAPTABILITY TO THE SPECIFIC GROUND

DESIGNATED TO RECEIVE PLANTS AND MULCH SHALL BE FINE GRADED AND SEEDED.

DEVELOPER

C/O H&H ROCK COMPANIES

ELKRIDGE, MD 21075 (410)-567-1045

6000 DEERPATH ROAD #100

ROCK REALTY LUC

PART HUMUS OR OTHER APPROVED ORGANIC MATERIAL. ADD 3 LBS. OF EVERGREEN

CONTRACTOR SHALL BE REQUIRED TO GUARANTEE ALL PLANT MATERIAL FOR A PERIOD OF

ONE YEAR AFTER DATE OF ACCEPTANCE IN ACCORDANCE WITH THE APPROPRIATE SECTION

BID SHALL BE BASE ON ACTUAL SITE CONDITIONS. NO EXTRA PAYMENT SHALL BE MADE

MAINTENANCE REQUIREMENTS FOUND WITHIN THE ONE YEAR SPECIFICATIONS INCLUDING

ABRASIONS OF THE BARK, PLANT DISEASE, INSECT PEST EGGS, BORERS AND ALL FORMS

OF INSECT INFESTATIONS OR OBJECTIONABLE DISFIGUREMENTS. PLANT MATERIAL THAT IS

PLANTS, RELATED MATERIAL, AND OPERATIONS SHALL MEET THE DETAILED DESCRIPTION AS

BOTANICAL AND COMMON NAME

ACER RUBRUM

'OCTOBER GLORY'

RED MAPLE

ZELKOVA SERRATA

JAPANESE ZELKOVA

ACER CEMPESTRE

HEDGE MAPLE

FAGUS SYLVATICA

EUROPEAN BEECH

CLETHRA ALNIFOLIA

SUMMERSWEET CLETHRA

ILEX 'Nellie R. Stevens'

NELLIE STEVENS HOLLY

GIVEN ON THE PLANS AND AS DESCRIBED HEREIN.

ARCHITECT, LATEST EDITION, INCLUDING ALL AGENDA.

WATERING AND REPLACEMENT OF SPECIFIED PLANT MATERIAL.

DRAWINGS AND SPECIFICATIONS

EXCEPT WHERE NOTED ON PLANS.

THE LANDSCAPE GUIDELINES.

	5CHEDULI	A - PERIMETE	R LANDSCAPE EL	OGE				TOTAL5
PERIMETER	P-1	P-2	P-3	P-4	P-5	**MITIGATION	***ENHANCED	
CATEGORY	SFA REAR TO ROADWAY	SFA REAR/SIDE TO ROADWAY	SFA TO PERIMETER PROPERTIES	NON-RESIDENTIAL TO PERIMETER PROPERTIES	NON-RESIDENTIAL FRONT TO ROADWAY	MITIGATE 2:1 FOR REMOVAL OF 10	ENHANCED LANDSCAPING PER BA-17-030C	
LANDSCAPE TYPE	С	С	A	С	8	SPECIMEN TREES		
LINEAR FEET OF PERIMETER	319 LF.	575 L.F.	564 LF.	419 LF.	99 LF.	WP-19-055		required:
NUMBER OF PLANTS REQUIRED		+ *TRANSFER FROM P-1 = 3				36		**36 SHADE +46 SHADE
SHADE TREES EVERGREEN TREES		(575° /40° = 14.3) = 15 (575° /20° = 20.75) = 29		$(419^{\circ} / 40^{\circ} = 10.5) = 11$ $(419^{\circ} / 20^{\circ} = 20.9) = 21$	(89° /50° = 1.78) = 2 (89° /40° = 2.25) = 3			82 SHADE 69 EVERGREEN
CREDIT FOR WALL, FENCE OR BERM	0	0	0	0	0			
Credit for existing vegetation shade trees evergreen trees	0 0 0	0 0 0	0 0 0	0 0 0	0 0 0			
NUMBER OF PLANTS PROVIDED SHADE TREES EVERGREEN TREES SHRUBS (10:1 SUBSTITUTION)	5 (*3 TRANSFERRED TO P-2) 16 -	15 ++3 = 10 29 -	10 *** -	11 21 -	1 5 (3 req. + 2:1 5UB)	36	17 9 10	PROVIDED: 90 SHADE 90 EVERGREEN 10 SHRUBS

- * REPRESENTS TREES BEING TRANSFERRED FROM ONE PERIMETER AREA TO ANOTHER TO MEET REQUIREMENTS. (PER CHAPTER VI OF THE LANDSCAPE MANUAL.)
- ** PER CONDITION #1 OF WP-19-055 THIRTY-SIX 3"-4" CALIPER TREES ARE REQUIRED TO BE PLANTED AS MITIGATION FOR THE REMOVAL OF 18 SPECIMEN TREES *** PER THE DECISION AND ORDER OF BA CASE No. 17-030C ADDITIONAL "ENHANCED" LANDSCAPING IS BEING PROVIDED

SCHEDULE B PARKING LOT INTERNAL LANDSCAPING					
17					
2 (1:10)					
2 (1:10)					
	17 2 (1:10)				

SCHEDULE C RESIDENTIAL DEVELOPMENT INTERNAL LANDSCAPING					
NUMBER OF DWELLING UNITS	24				
NUMBER OF TREES REQUIRED (1:DU 5FA)	24				
NUMBER OF TREES PROVIDED					
SHADE TREES	24				
SHRU85	0 (2:1)				

PRIVATE REFUSE PAD L	AND5C/	APING
4' x 8' PAD NUMBER AT USE-IN-COMMON DRIVES:	LOTS 6-10	LOTS 11-16
NUMBER OF TREES REQUIRED: SHADE TREES EVERGREEN TREES SHRUBS	 6	 6
Number of trees provided: Shade trees Evergreen trees Shrubs — taxus cuspidate 'nana' Dwarf Japanese Yew Planted 18°-24° Apart)		 6

2.5"-3" CAL.
2.5"-3" CAL

STREET TREE PLANT LIST

WEAK OR WHICH HAS BEEN CUT BACK FROM LARGER GRADES TO MEET SPECIFIED REQUIREMENTS WILL BE REJECTED. TREES WITH FORKED LEADERS WILL NOT BE	REFUSE PAD LANDSCAPE PLANT LIST			
ACCEPTED. ALL PLANTS SHALL BE FRESHLY DUG; NO HEALED-IN PLANTS FROM COLD STORAGE WILL BE ACCEPTED.	QTY.	KEY	NAME	SIZE
UNLESS OTHERWISE SPECIFIED, ALL GENERAL CONDITIONS, PLANTING OPERATIONS, DETAILS AND PLANTING SPECIFICATION SHALL CONFORM TO "LANDSCAPE SPECIFICATION GUIDELINES	12	•	TAXUS CUSPIDATE 'NANA' DWARF JAPANESE YEW	10"-24" 5PREAD

=5HADE: 45 EVERGREEN: 71

=5HADE: <u>170</u> EVERGREEN: <u>80</u>

EVERGREEN: 9

=5HADE: 36

=5HADE: 17

=5HADE:

GUIDELINES") APPROVED BY THE LANDSCAPE CONTRACTORS ASSOCIATION OF METROPOLITAN TREE COUNT

TOTAL PERIMETER TREES PROVIDED -TOTAL INTERNAL (PARKING & RESIDENTIAL) TREES PROVIDED -TOTAL MITIGATION REPLACEMENT TREES PROVIDED (WP-19-055)

-TOTAL ENHANCED LANDSCAPING TREES PROVIDED (BA-17-030C) TOTAL STREET TREES PROVIDED TOTAL TREES

STREET TREE SCHEDULE ROW LENGTH = 735' 40' APART ON PRIVATE R/W 735/40 = 18(WILDWOOD COURT) 36 TREES (Provided 36 Trees) ROW LENGTH = 290' 30' APART ON PUBLIC R/W 290/30 = 9.6(Guilford Road) (Provided 10 Trees) 10 TREES

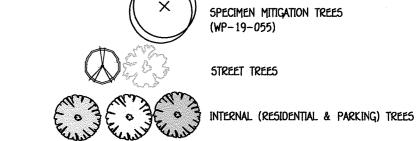
NOTES

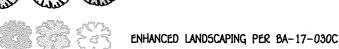
1. WHEN THE DISTANCE BETWEEN THE CURB AND THE SIDEWALK IS LESS THAN 6 FEET. AND WHERE TREES ARE PLANTED CLOSER THAN 3 FEET TO THE SIDEWALK, A BIOLOGIC ROOT INHIBITOR BARRIER OR PHYSICAL CONTAINER BARRIER SHALL BE REQUIRED. 2. TREES SHALL BE PLACED A MINIMUM OF 30 FEET FROM ALL SIGNS AND INTERSECTIONS

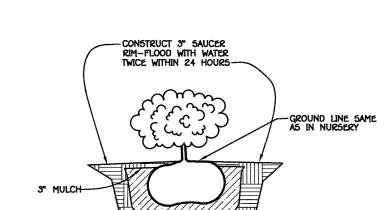
WHEN PLANTED BETWEEN SIDEWALK AND CURB, AND BE LOCATED WITH CONSIDERATION OF UNDERGROUND UTILITIES AND STRUCTURES. STREET TREES MAY NOT BE PLANTED WITHIN 5 FEET OF AN OPEN SPACE ACCESS STRIP, OR 10 FEET OF A DRIVEWAY.

<u>PLANT SYMBOL LEGEND</u>









SHRUB PLANTING DETAIL

"At the time of plant installation, all trees listed and approved on the Landscape Plan, shall comply with the proper height requirement in accordance with the Howard County Landscape Manual. In addition, no substitutions or relocations of the required plantings may be made without prior review and approval from the Department of Planning and Zoning. Any deviations from the approved Landscape Plan may result in denial or delay in the release of landscape surety until such time as all required materials are planted and/or revisions are made to the road drawing plans".

"The Owner, tenants and/or their agents shall be responsible for maintenance of the required perimeter landscaping. All plant materials shall be maintained in good growing condition, and when necessary, replaced with new materials to ensure continued compliance with applicable regulations. All the other required landscaping shall be permanently maintained in good condition, and when necessary, repaired or replaced".

PRIVACY FENCE DETAIL TYPE: TREX SECLUSIONS COMPOSITE FENCING (OR APPROVED EQUAL

4/2/2020

LANDSCAPE DEVELOPER'S CERTIFICATE

INFORMATION.
4. DRAWING NOT TO SCALE.

30" Typ.
Consult local
conditions, codes,
and standard
building practices
for post depth

|-12"-| |Typ

I/We certify that the landscaping shown on this plan will be done according to the plan, Section 16.124 of the Howard County Code and the Howard County Landscape Manual. I/We further certify that upon completion a letter of landscape installation accompanied by an executed one year guarantee of

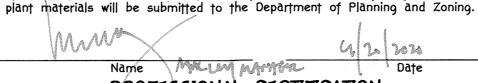
1. INSTALLATION TO BE COMPLETED PER MANUFACTURER'S

SPECIFICATION.

2. THIS DRAWING IS PROVIDED FOR PLANNING PURPOSES.

REFER TO MANUFACTURER'S INSTALLATIONS FOR CONSTRUCTION DETAILS.

3. REFER TO MANUFACTURER'S WEBSITE FOR PRODUCT



Publication date Jan 29, 2019

PROFESSIONAL CERTIFICATION

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND THAT I AM A DULY LICENSED PROFESSIONAL LAND SURVEYOR UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 21476, EXPIRATION DATE: 7/14/21.

Trex Seclusions

COMPOSITE FENCING SYSTEM



5CALE: 1" = 30"OWNER

ENLN, LLC. 6000 DEERPATH ROAD #100 ELKRIDGE, MD 21075 (410)-579-1441

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING Chief, Division of Land Development Chief, Development Engineering Division NY Director Department of Planning and Zoning PROJECT PARCEL NOs. PHASE EDEN BROOK 269 ZONE TAX/ZONE | ELEC. DIST. CENSUS TR. BLOCK NO. R-12 605102 PREVIOUS HOWARD COUNTY FILES: BA-17-030C, ECP-18-051, WP-19-055, 5P-18-003, F-20-011 & CONTRACT NO.24-5081-D

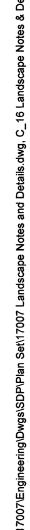
LANDSCAPE NOTES & DETAILS SINGLE FAMILY ATTACHED - AGE-RESTRICTED ADULT HOUSING

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SIXTH ELECTION DISTRICT HOWARD COUNTY, MARYLAND SCALE: AS SHOWN DATE: APRIL, 2020 SHEET 16 OF 21

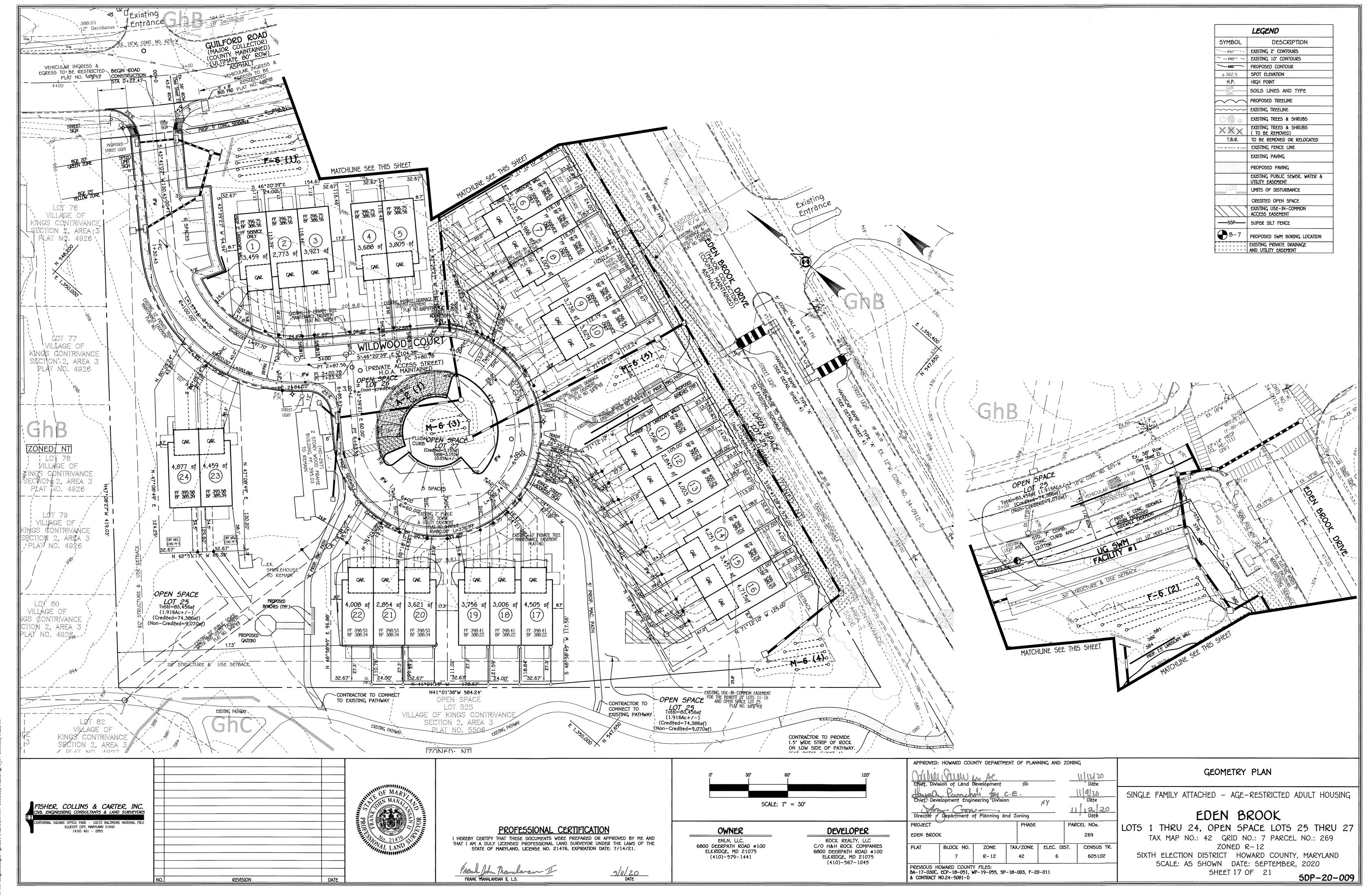
5DP-20-009



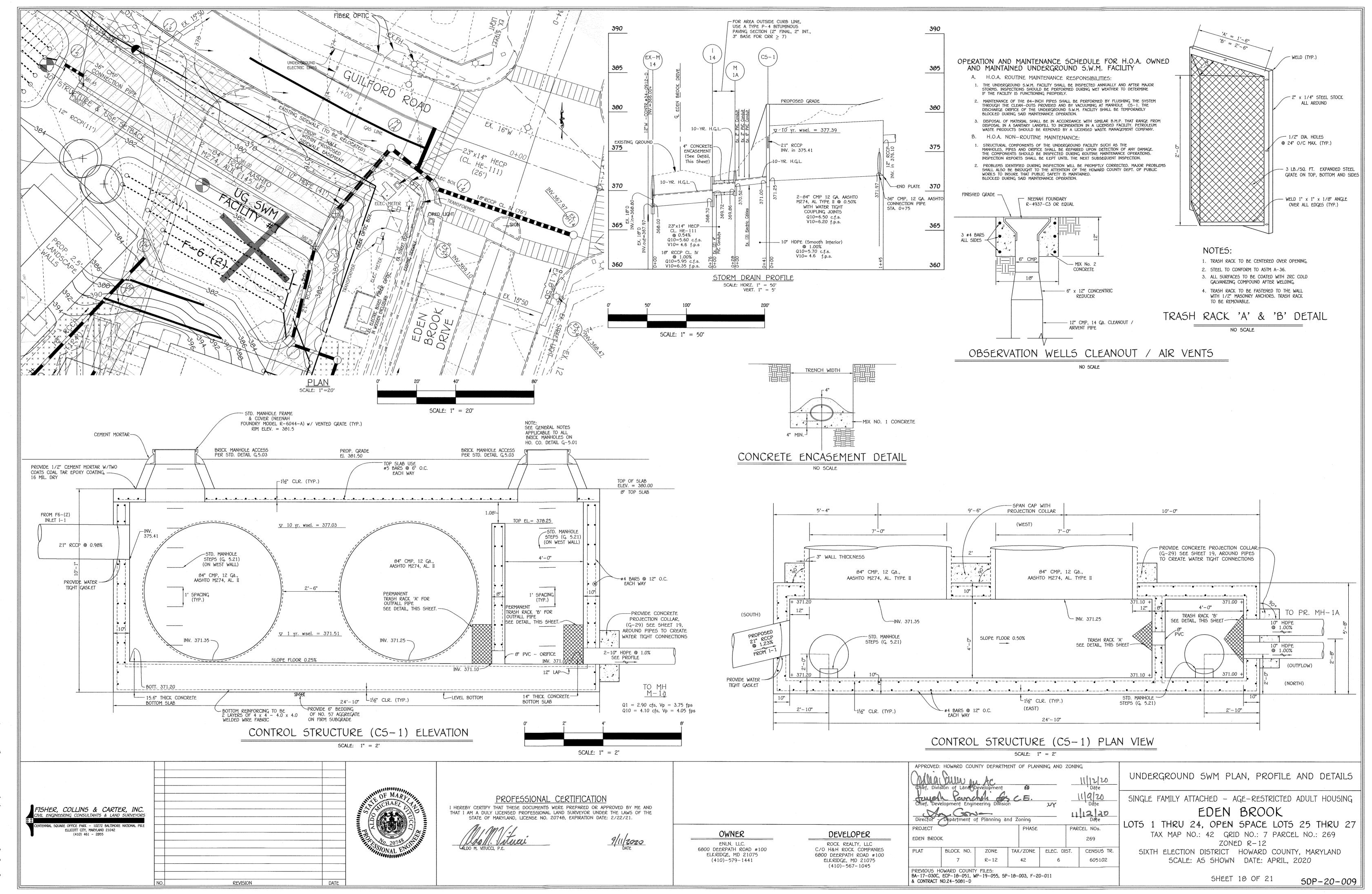
FISHER, COLLINS & CARTER, INC.

IML ENGINEERING CONSULTANTS & LAND SURVEYORS

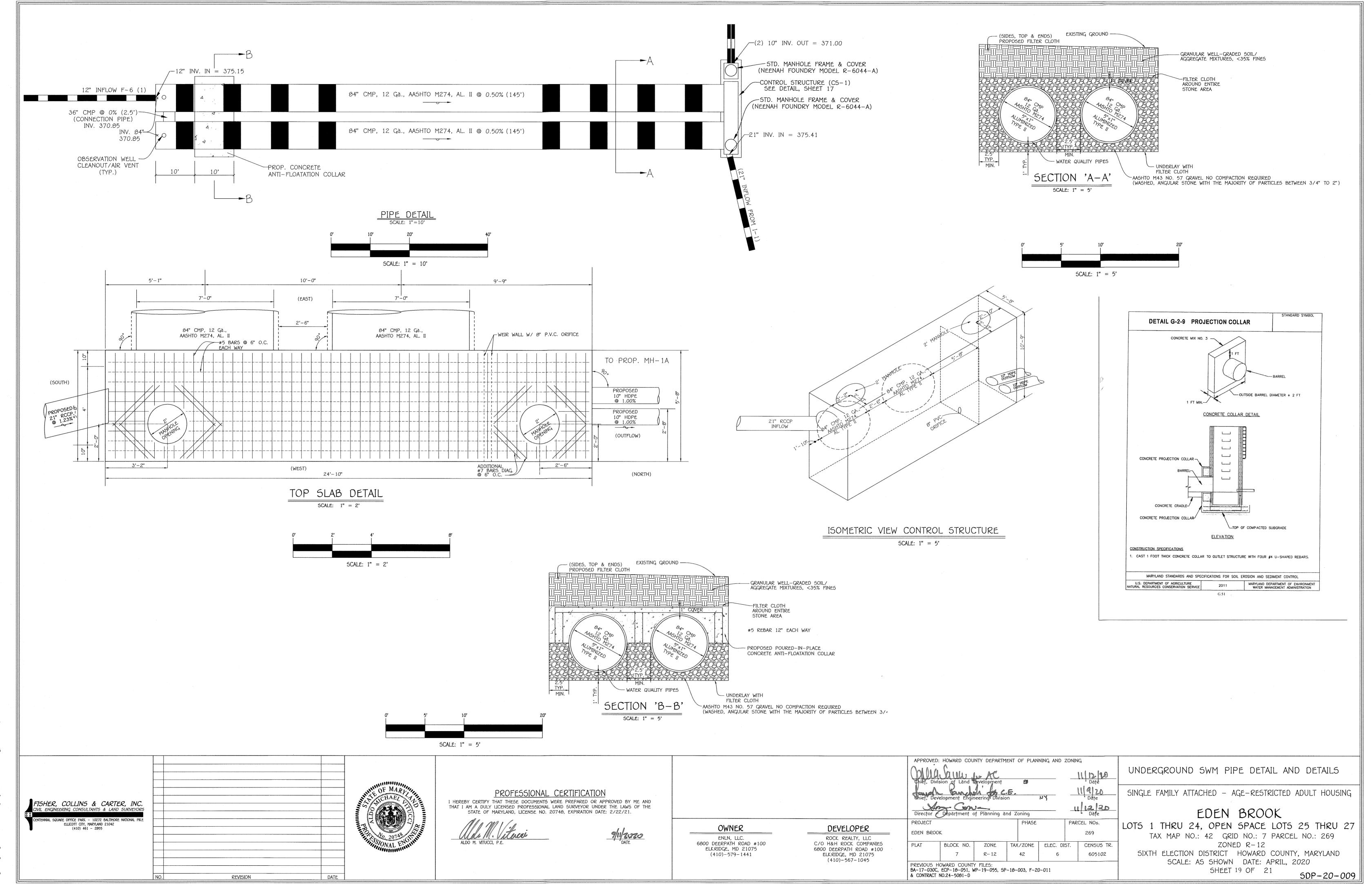
ELLICOTT CITY, MARYLAND 21042



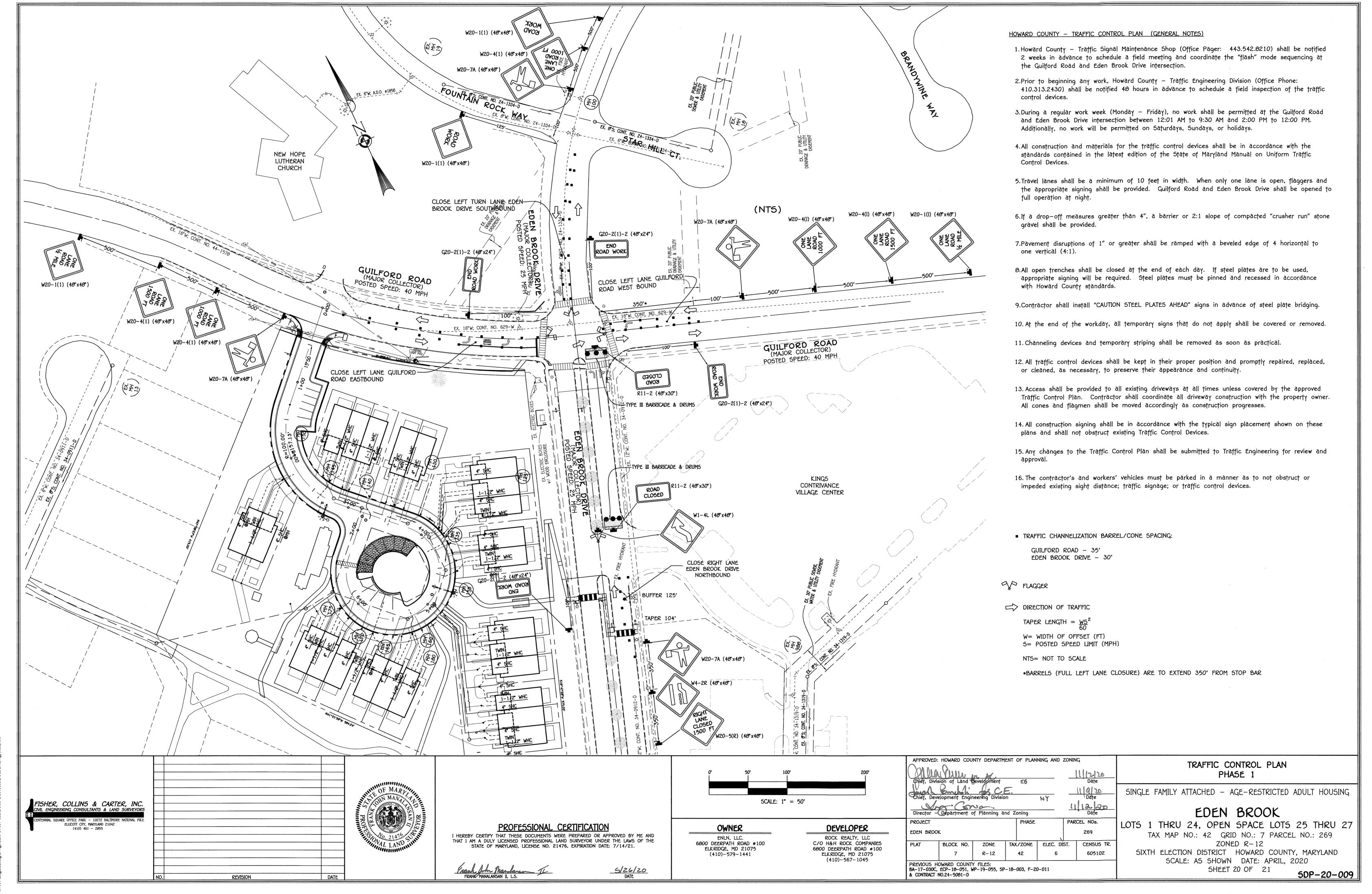
\2017\17007\Engineering\Dwgs\SDP\Plan Set\17007 Geometry Plan.dwg, C_17 Geometry Pla



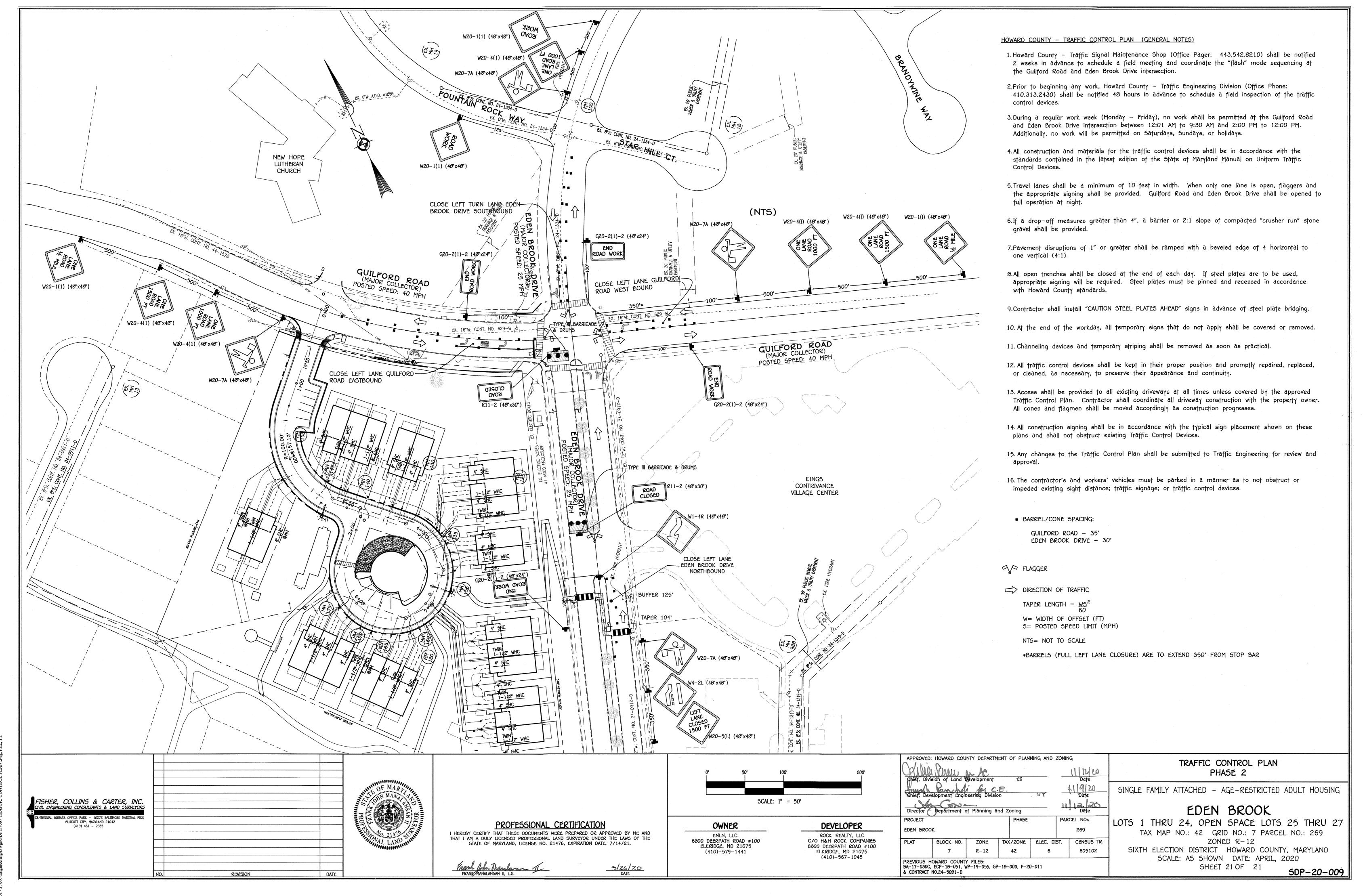
:\2017\17007\Engineering\Dwgs\SDP\Plan Set\new mylar plot sheet 18 and 19.dwg, C-18 SHEET



I:\2017\17007\Engineering\Dwgs\SDP\Plan Set\new mylar plot sheet 18 and 19.dwg, C-19 SHEE1



1:\2017\17007\Engineerine\Dwgs\SDP\17007 TRAFFIC CONTROL PLAN.dwg. PH1.



1/2017/17007/Emrinaceira (Prob) 17007 TD A PETC CONTROL DI AN Arra DU