

GENERAL NOTES

- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF HOWARD COUNTY PLUS MSHA STANDARDS AND SPECIFICATIONS IF APPLICABLE.
- THE CONTRACTOR SHALL NOTIFY THE DEPARTMENT OF PUBLIC WORKS/BUREAU OF ENGINEERING/CONSTRUCTION INSPECTION DIVISION AT (410) 313-1880 AT LEAST FIVE (5) WORKING DAYS PRIOR TO THE START OF WORK.
- THE CONTRACTOR SHALL NOTIFY MISS UTILITY AT 1-800-257-7777 AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION WORK BEING DONE.
- TRAFFIC CONTROL DEVICES, MARKINGS AND SIGNING SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD). ALL STREET AND REGULATORY SIGNS SHALL BE IN PLACE PRIOR TO THE PLACEMENT OF ANY ASPHALT.
- STREET LIGHT PLACEMENT AND THE TYPE OF FIXTURE AND POLE SHALL BE IN ACCORDANCE WITH THE LATEST HOWARD COUNTY DESIGN MANUAL, VOLUME II. A MINIMUM SPACING OF 20' SHALL BE MAINTAINED BETWEEN ANY STREETLIGHT AND ANY TREE.
- THE EXISTING TOPOGRAPHY IS TAKEN FROM A FIELD RUN SURVEY BY CLSI AND HOWARD COUNTY GIS WITH TWO FOOT CONTOUR INTERVALS PREPARED BY CLSI DATED JULY, 2012.
- THE COORDINATES SHOWN HEREON ARE BASED UPON THE HOWARD COUNTY GEODETIC CONTROL WHICH IS BASED UPON THE MARYLAND STATE PLAIN COORDINATE SYSTEM. HOWARD COUNTY MONUMENT NOS. 31A8 & 31DA WERE USED FOR THIS PROJECT.
- WATER LINES ARE PRIVATE AND CONNECTED TO THE PUBLIC WATER SYSTEM AT THE RIGHT OF WAY.
- SEWER LINES ARE PRIVATE AND CONNECTED TO THE PUBLIC SEWER SYSTEM AT THE RIGHT OF WAY. THE EXISTING SEPTIC SYSTEM SERVING THE EXISTING HOUSE ON LOT 28 WAS NOT ABANDONED PRIOR TO RECORDATION OF THIS PLAN. THE TANK AND DRAINWELL MUST BE PUMPED OUT BY A LICENSED SEWAGE HAULER AND CRUSHED/FILLED WITH CLEAN DIRT WITH DOCUMENTATION SUBMITTED TO THE HEALTH DEPARTMENT PRIOR TO ISSUANCE OF WATER METERS TO ANY LOTS.
- STORMWATER MANAGEMENT SHALL BE PRIVATELY OWNED AND MAINTAINED. THE STORMWATER MANAGEMENT WAS APPROVED WITH F-13-116, A DECLARATION OF COVENANTS AND MAINTENANCE AND RIGHT OF ENTRY AGREEMENT, DATED MARCH 29, 2019 IS RECORDED AMONG THE LAND RECORDS IN DEED BOOK 18722, PAGE 67. LOT 30, N-2 DISCONNECTION OF NON-ROOFTOP RUNOFF FOR DRIVEWAY, M-5 DRYWELLS FOR THE HOUSE. LOT 31, N-2 DISCONNECTION OF NON-ROOFTOP RUNOFF FOR DRIVEWAY. LOT 32, M-5 DRYWELL FOR 1,000 S.F. OF HOUSE, M-6 MICRO-BIORETENTION FOR REMAINDER OF HOUSE AND DRIVEWAY.
- THE EXISTING WATER LINES ARE BASED ON AS-BUILT DRAWINGS DONE BY WHITMAN, REQUARDT & ASSOCIATES AND APPROVED SEPTEMBER, 1966.
- THE EXISTING SEWER LINES ARE BASED ON AS-BUILT DRAWINGS DONE BY PURDUM & JESCHKE AND APPROVED FEBRUARY, 1974.
- THERE IS NO FLOODPLAIN ON THIS SITE.
- THERE ARE NO WETLANDS ON THIS SITE.
- THE TRAFFIC STUDY FOR THIS PROJECT WAS PREPARED BY LENHART TRAFFIC CONSULTING, INC. DATED MAY 6, 2014, AND WAS APPROVED ON MAY 8, 2014.
- THIS SITE CONSISTS OF 3 PROPOSED LOTS.
- THE ENVIRONMENTAL CONCEPT PLAN (ECP-13-022) WAS APPROVED ON MAY 21, 2013. DPZ REFERENCE NUMBER F-13-116.
- PRELIMINARY STORMWATER MANAGEMENT PLAN (ECP-13-022) WAS APPROVED ON MAY 21, 2013.
- PRELIMINARY GRADING AND SEDIMENT CONTROL PLAN (ECP-13-022) WAS APPROVED ON MAY 21, 2013.
- FOREST STAND DELINEATION PLAN (ECP-13-022) WAS APPROVED ON MAY 21, 2013.
- WP-14-070 WAS APPROVED ON FEBRUARY 27, 2014. SEE NOTE 26.
- RECORD PLAT WAS APPROVED ON JUNE 7, 2019. PLAT NO. 25039.
- A NOISE STUDY IS NOT REQUIRED.
- GRAVITY SEWER SERVICE, FIRST FLOOR ONLY. BASEMENT SEWER SERVICE TO BE PROVIDED BY PRIVATE ON-SITE PUMP PER WAIVER DATED APRIL 17, 2014.
- IN ACCORDANCE WITH SECTION 128.0 OF THE HOWARD COUNTY ZONING REGULATIONS, BAY WINDOWS, CHIMNEYS OR EXTERIOR STAIRWAYS NOT MORE THAN 16 FEET IN WIDTH MAY PROJECT NOT MORE THAN 4 FEET INTO ANY SETBACKS. PORCHES, OR DECKS, OPEN OR ENCLOSED MAY PROJECT NOT MORE THAN 10 FEET INTO THE FRONT OR REAR YARD SETBACK.
- THE SUBJECT PROPERTY IS ZONED R-20 PER THE OCTOBER 6, 2013 COMPREHENSIVE ZONING PLAN.
- DRIVEWAYS SHALL BE PROVIDED PRIOR TO ISSUANCE OF A SITE AND OCCUPANCY PERMIT FOR ANY NEW DWELLINGS TO INSURE SAFE ACCESS FOR FIRE AND EMERGENCY VEHICLES PER THE FOLLOWING MINIMUM REQUIREMENTS:
 - WIDTH - 12' (16' SERVING MORE THAN ONE RESIDENCE);
 - SURFACE - 5' OF COMPACTED CRUSHER RUN BASE WITH TAR AND CHIP COATING (1:1/2" MIN.);
 - GEOMETRY - MAX. 1.5% GRADE, MAX. 10% GRADE CHANGE AND MIN. 4.5 TURNING RADIUS;
 - STRUCTURES (CULVERTS/BRIDGES) - CAPABLE OF SUPPORTING 25 GROSS TONS (H25 LOADING);
 - DRAINAGE ELEMENTS - CAPABLE OF SAFELY PASSING 100 YEAR FLOOD WITH NO MORE THAN 1 FOOT DEPTH OVER DRIVEWAY SURFACE;
 - MAINTENANCE - SUFFICIENT TO INSURE ALL WEATHER USE.
 - FOR DRIVEWAY ENTRANCE DETAILS REFER TO THE HOWARD COUNTY DESIGN MANUAL, VOLUME IV, STANDARD DETAIL R-6.05.
- NO GRADING, REMOVAL OF VEGETATIVE COVER OR TREES, PAVING AND NEW STRUCTURES SHALL BE PERMITTED WITHIN THE LIMITS OF WETLANDS, STREAM(S), OR THEIR REQUIRED BUFFERS, FLOODPLAIN AND FOREST CONSERVATION EASEMENT AREAS.
- FOR FLAG OR PIPESTEM LOTS, REFUSE COLLECTION, SNOW REMOVAL AND ROAD MAINTENANCE ARE PROVIDED TO THE JUNCTION OF THE FLAG OR PIPESTEM AND ROAD RIGHT-OF-WAY LINE AND NOT ONTO THE PIPESTEM LOT DRIVEWAY.
- LANDSCAPING FOR THIS SUBDIVISION IS PROVIDED IN ACCORDANCE WITH THE LANDSCAPE PLAN AND SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL AND WILL BE COMPLETED AT THE SFP STAGE.
- WAIVER PETITION FILE NUMBER WP-14-070 FOR ELLICOTT WOODS WAS APPROVED BY THE DIRECTOR OF THE DEPARTMENT OF PLANNING AND ZONING ON FEBRUARY 27, 2014. THE SPECIFICATIONS WAIVED WERE SECTIONS 16.120(B)(8), 16.1205(A)(7), AND 16.125(A)(10) OF THE SUBDIVISION AND LAND DEVELOPMENT REGULATIONS. WAIVER APPROVAL IS SUBJECT TO THE FOLLOWING CONDITIONS:
 - THE FOREST CONSERVATION EASEMENT AREA IS TO BE PROPERLY IDENTIFIED AND PROTECTED ON THE SUBJECT LOTS BY POSTING FOREST CONSERVATION EASEMENT SIGNS EVERY 50' AROUND THE PERIMETER OF THE EASEMENT AREA. THE FOREST CONSERVATION EASEMENT SIGNS ARE TO REMAIN POSTED AND VISIBLE IN PERPETUITY.
 - THE FOREST CONSERVATION EASEMENT IS TO BE PROTECTED BY FENCING SUCH AS A SPLIT RAIL FENCE ALONG THE PERIMETER FACING INTERNALLY TO THE SUBJECT LOTS.
 - THE PROPERTY OWNER/DEVELOPER MUST ENSURE THAT ALL FUTURE RESIDENTS OF THE 3 LOTS USE THE LOTS IN A MANNER THAT DOES NOT VIOLATE THE FOREST CONSERVATION EASEMENT RESTRICTIONS. THEY MUST BE EDUCATED ABOUT THE PERMITTED AND PROHIBITED ACTIVITIES WITHIN OR AFFECTING THE FOREST CONSERVATION EASEMENT.
 - THE PROPOSED SINGLE FAMILY DWELLINGS ON LOTS 30 & 32 MUST BE LOCATED AS CLOSE TO THE FRONT BRL AS POSSIBLE TO PERMIT A USABLE BACK YARD ON BOTH LOTS AND TO PROVIDE ADEQUATE ROOM FOR A DECK, PATIO OR FUTURE ADDITION. PLEASE NOTE THAT THE HOUSE SETTINGS WILL BE EVALUATED AS PART OF THE SITE DEVELOPMENT PLAN REVIEW AND APPROVAL PROCESS FOR LOTS 30 AND 32.
 - THE FINAL PLAT MUST PROVIDE THE REQUIRED 35' SETBACK FROM THE EDGE OF THE FOREST CONSERVATION EASEMENT AS DEPICTED ON THE WAIVER PETITION PLAN EXHIBIT IN ACCORDANCE WITH SECTION 16.120(B)(4)(ii) OF THE SUBDIVISION REGULATIONS.
 - THE REMAINING PORTION OF THE FOREST CONSERVATION OBLIGATION WILL BE ADDRESSED AT AN OFF-SITE PROPERTY. FOREST MITIGATION BANK CREDITS OR A FEE-IN-LIEU PAYMENT.
 - NO GRADING, REMOVAL OF VEGETATIVE COVER AND TREES, PAVING AND NEW STRUCTURES ARE PERMITTED WITHIN THE FOREST CONSERVATION EASEMENT.
 - THE FOREST CONSERVATION EASEMENTS AND FEE-IN-LIEU HAVE BEEN ESTABLISHED TO FULFILL THE REQUIREMENTS OF SECTION 16.1200 OF THE HOWARD COUNTY CODE AND FOREST CONSERVATION ACT. FOREST CONSERVATION WAS APPROVED WITH F-13-116, A DEED OF FOREST CONSERVATION EASEMENT, DATED MARCH 29, 2019 IS RECORDED AMONG THE LAND RECORDS IN DEED BOOK 18722, PAGE 66. NO CLEARING, GRADING OR CONSTRUCTION IS PERMITTED WITHIN THE FOREST CONSERVATION EASEMENT; HOWEVER, FOREST MANAGEMENT PRACTICES AS DEFINED IN THE DEED OF FOREST CONSERVATION EASEMENT ARE ALLOWED.
 - FINANCIAL SURETY FOR THE REQUIRED 14 SHADE TREES MUST BE POSTED WITH THE BUILDERS GRADING PERMIT IN THE AMOUNT OF 4,200.00.
 - THERE ARE NO CELESTIAL OR HISTORIC FEATURES/STRUCTURES LOCATED ON THIS SITE. THIS SITE IS NOT LOCATED ON A SCENIC ROAD.
 - GRAVITY SEWER SERVICE, FIRST FLOOR ONLY. BASEMENT SEWER SERVICE TO BE PROVIDED BY PRIVATE ON-SITE PUMP.
 - A COMMUNITY WAS HELD ON JUNE 28, 2013 AT WORTHINGTON ELEMENTARY SCHOOL.

SITE DEVELOPMENT PLAN FOR

LOTS 30 & 32

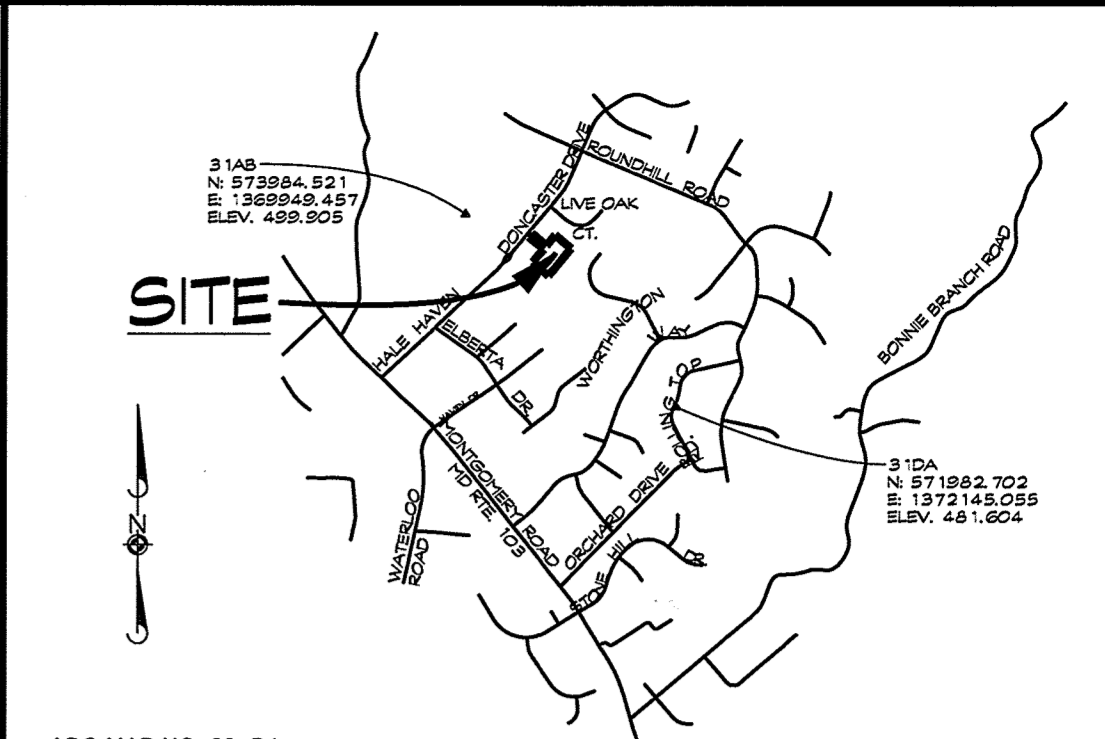
ELLICOTT WOODS

RECORDED IN PLAT 25039

2nd ELECTION DISTRICT * HOWARD COUNTY, MD.

OWNER/ DEVELOPER

**MATTHEW SHANLEY
4633 DONCASTER DRIVE
ELLICOTT CITY, MD 21043
(443) 786-1583**

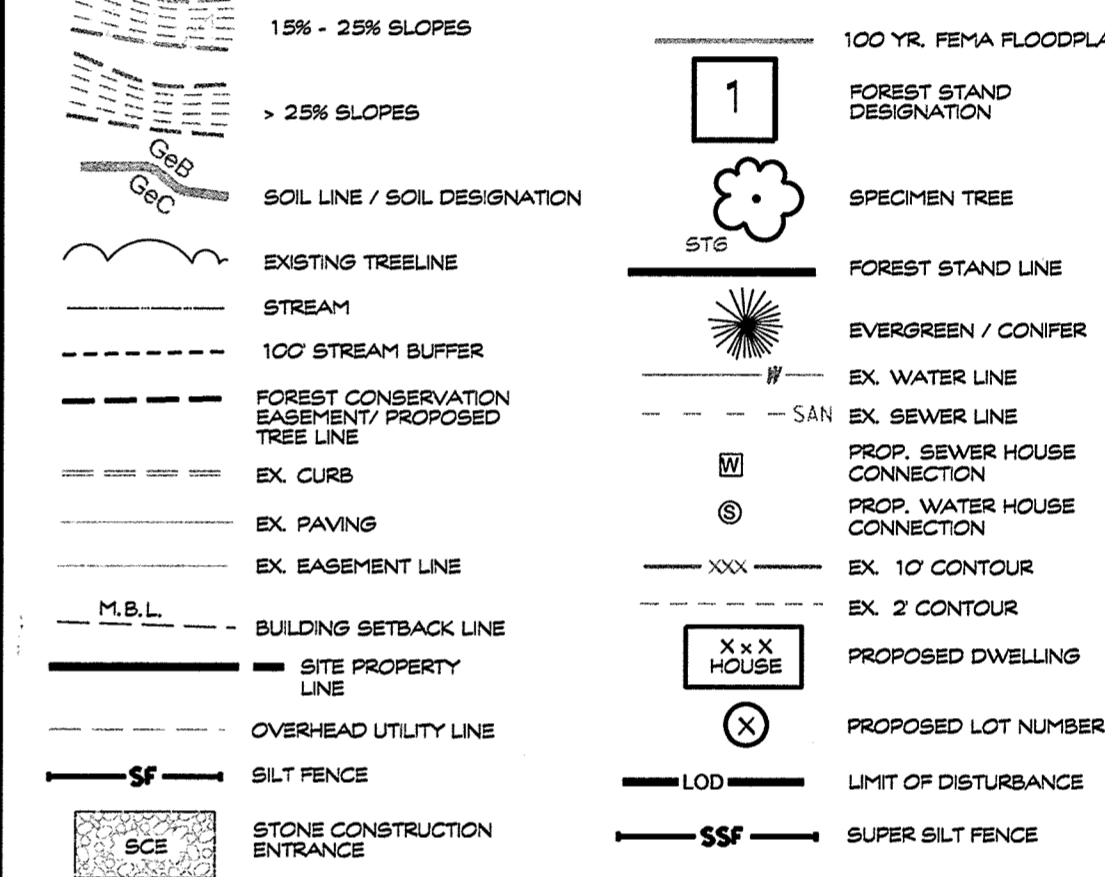


VICINITY MAP Scale: 1"=2000'

INDEX OF SHEETS

- TITLE SHEET
- GRADING & SEDIMENT CONTROL PLAN
- LANDSCAPE NOTES & DETAILS
- STORMWATER MANAGEMENT PLAN & DAM
- STORMWATER MANAGEMENT NOTES & DETAILS
- SEDIMENT CONTROL NOTES & DETAILS

LEGEND



DEVELOPER

I CERTIFY THAT THIS PLAN OF SEDIMENT CONTROL WILL BE IMPLEMENTED TO THE FULLEST EXTENT, AND ALL STRUCTURES WILL BE INSTALLED TO THE DESIGN AND SPECIFICATIONS AS SPELLED OUT IN THIS PLAN, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THIS CONSTRUCTION PROJECT WILL HAVE A CERTIFICATION OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE EVALUATION BY THE HOWARD SOIL CONSERVATION DISTRICT PERSONNEL AND COOPERATING AGENCIES.

Matthew Shanley 7/6/19
DEVELOPER DATE

DATE	REVISION	BY

ADDRESS CHART

LOT NO.	STREET ADDRESS
30	4635 DONCASTER DRIVE
32	4631 DONCASTER DRIVE

PERMIT INFORMATION CHART

SUBDIVISION NAME	SECTION/AREA	LOT / PARCEL NO.
ELLICOTT WOODS		28/22

PLAT NO.	BLOCK NO.	ZONE	TAX MAP NO.	ELECT. DIST.	CENSUS TRACT
25039	8	R-20	31	2nd	602700

SITE DEVELOPMENT PLAN FOR

**LOTS 30 & 32
ELLICOTT WOODS
RECORDED IN PLAT 25039**

DEED REFERENCE: 14212/ 00084
TAX MAP: 31 BLOCK: 8 PARCEL: 22
2ND ELECTION DISTRICT HOWARD COUNTY, MARYLAND
SCALE: AS SHOWN DATE: NOV, 2019 SHEET: 1 OF 6
RELATED DPZ FILE NUMBERS: ECP-13-022, F-13-116

SITE ANALYSIS DATA CHART

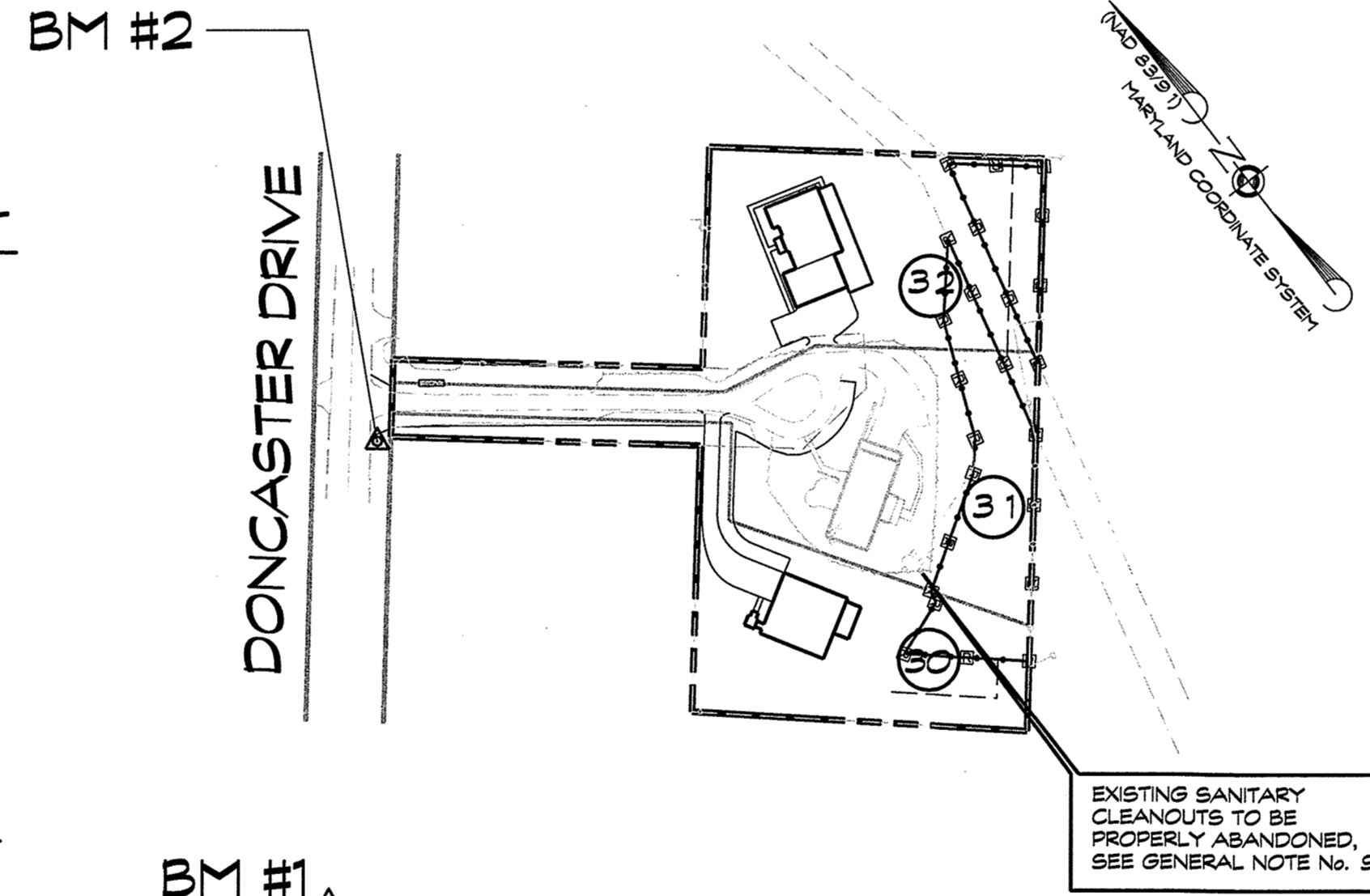
ZONING: R-20

AREA OF WETLANDS: 0 AC.
AREA OF WETLANDS BUFFER: 0 AC.
AREA OF FLOODPLAIN: 0 AC.
AREA OF FLOODPLAIN BUFFER: 0 AC.
AREA OF EXISTING FOREST: 1.66 AC.
AREA OF FOREST TO REMAIN: 0.34 AC.
AREA OF STEEP SLOPES - 25% OR GREATER: 0.11 AC.
15% - 25%: 0.58 AC.

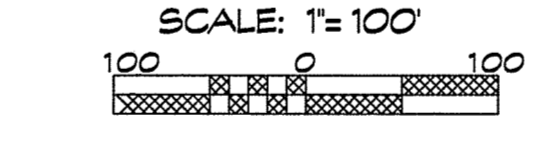
ERODIBLE SOIL AREA: 1.94 AC
AREA OF LIMIT OF DISTURBANCE: 1.01 AC
AREA OF EXISTING IMPERVIOUS: 0.20 AC
AREA OF PROPOSED IMPERVIOUS: 0.22 AC
TOTAL AREA OF IMPERVIOUS: 0.42 AC
GREEN OPEN AREA: 0.36 AC
TOTAL AREA OF PROPOSED RESIDENTIAL USE: 1.45 AC
TOTAL AREA OF SITE: 2.03 AC

TOTAL NUMBER OF DWELLING UNITS PROPOSED: 2
PARKING SPACES REQUIRED: 2 SPACES PER DWELLING UNIT PLUS 0.5 SPACE PER DWELLING UNIT FOR VISITOR PARKING
2.5 SPACES PER UNIT REQUIRED

PARKING SPACES PROVIDED:
LOT 30
2 SPACES IN DRIVEWAY & 2 SPACES IN GARAGE
2 TOTAL SPACES PROVIDED
LOT 32
2 SPACES IN DRIVEWAY & 3 SPACES IN GARAGE
5 TOTAL SPACES PROVIDED



LOCATION MAP



PIPESTEM LOTS CALCULATIONS

LOT #	GROSS AREA	PIPESTEM AREA	MINIMUM LOT SIZE
30	25,426 S.F.	4,238 S.F.	21,188 S.F.
31	31,899 S.F.	4,295 S.F.	27,604 S.F.
32	31,206 S.F.	2,968 S.F.	28,238 S.F.

NOTES:

- FOREST CONSERVATION EASEMENT IS RECORDED IN LIBER 18722, FOLIO 86.
- STORMWATER MANAGEMENT DECLARATION OF COVENANTS & MAINTENANCE IS RECORDED IN LIBER 18722, FOLIO 67.
- DECLARATION OF MAINTENANCE FOR WORTHINGTON MILL DRIVE IS RECORDED IN LIBER 18708, FOLIO 37.
- THE MIHU AGREEMENT IS RECORDED IN LIBER 15708, FOLIO 43. THE MIHU FEE-IN-LIEU WILL BE PAID FOR LOTS 30 & 32 AT THE BUILDING PERMIT APPLICATION.

PROJECT CERTIFICATIONS

OWNERS CERTIFICATION

I HAVE HEREBY CERTIFY THAT ALL PROPOSED WORK SHOWN ON THESE CONSTRUCTION DRAWING(S) HAS BEEN REVIEWED BY ME/US AND THAT I/WE FULLY UNDERSTAND WHAT IS NECESSARY TO ACCOMPLISH THIS WORK AND THAT THE WORK WILL BE CONDUCTED IN STRICT ACCORDANCE WITH THESE PLANS. I/WE ALSO UNDERSTAND THAT ANY CHANGES TO THESE PLANS WILL REQUIRE AN AMENDED PLAN TO BE REVIEWED AND APPROVED BY THE HOWARD COUNTY PLANNING AND ZONING COMMISSION BEFORE ANY CHANGE IN THE WORK IS MADE.

Matthew Shanley 11/25/2019
OWNER DATE

ENGINEER

I CERTIFY THAT THIS PLAN OF SEDIMENT CONTROL IS DESIGNED WITH MY PERSONAL KNOWLEDGE OF THE SITE CONDITION AND HAS BEEN DESIGNED TO THE STANDARDS AND SPECIFICATIONS ADOPTED BY THE HOWARD SOIL CONSERVATION DISTRICT.

Brian E. Wagner 11-28-19
Professional Engineer Registration No. 51063 DATE

HOWARD SOIL CONSERVATION DISTRICT

THIS PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

John C. Schuster DATE: 12/5/19

APPROVED: DEPARTMENT OF PLANNING AND ZONING

Cheryl L. Hines 12-12-19
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

John C. Schuster 12-23-19
DIRECTOR DATE

John C. Schuster 12-23-19
CHIEF, DIVISION OF LAND DEVELOPMENT DATE

BENCHMARKS:

B.M.#1	F-1 REBAR CAP SET ELEV. 490.42	N: 573538.2640 E: 1370392.3710
B.M.#2	F-6 REBAR CAP SET ELEV. 508.06	N: 573752.9678 E: 1370597.6922

HOWARD COUNTY FILES

WATER CONTRACT NO. 147-W
SEWER CONTRACT NO. 419-S

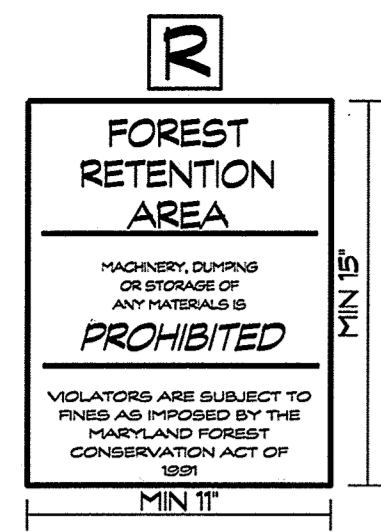
OWNER/ DEVELOPER
MATTHEW SHANLEY
4633 DONCASTER DRIVE
ELLICOTT CITY, MD 21043
(443) 786-1583

439 East Main Street Westminster, MD 21157-5539
(410) 846-1790 FAX (410) 846-1791

CLSI JOB #: 2012032

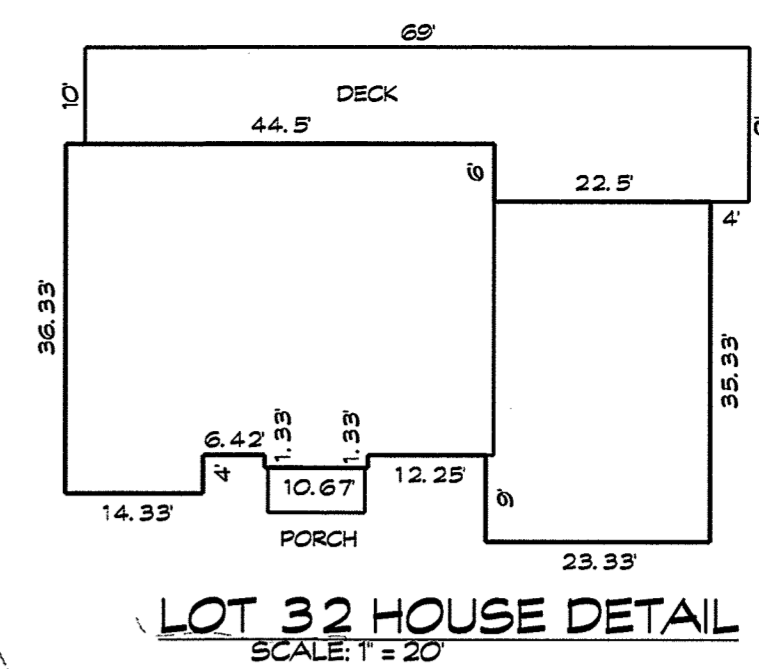
Surveyed By: CLSI Drawn By: BM
Computed By: DLA Checked By: LDA



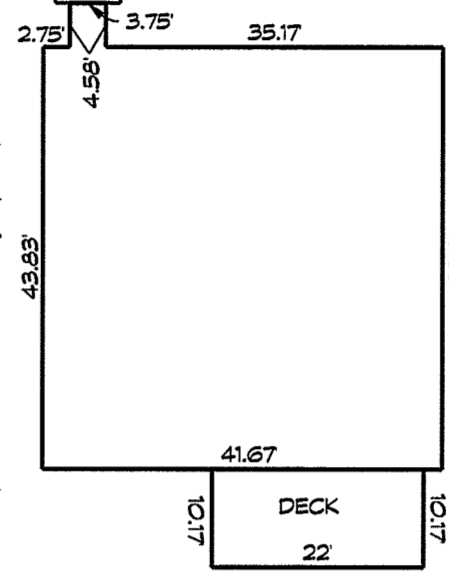


NOTE:
SIGNS TO BE PLACED ON SPLIT RAIL FENCE POST EVERY 50' AND ON EASEMENT CORNERS.
SPLIT RAIL FENCE: 872 LF
FOREST RETENTION SIGNS: 24

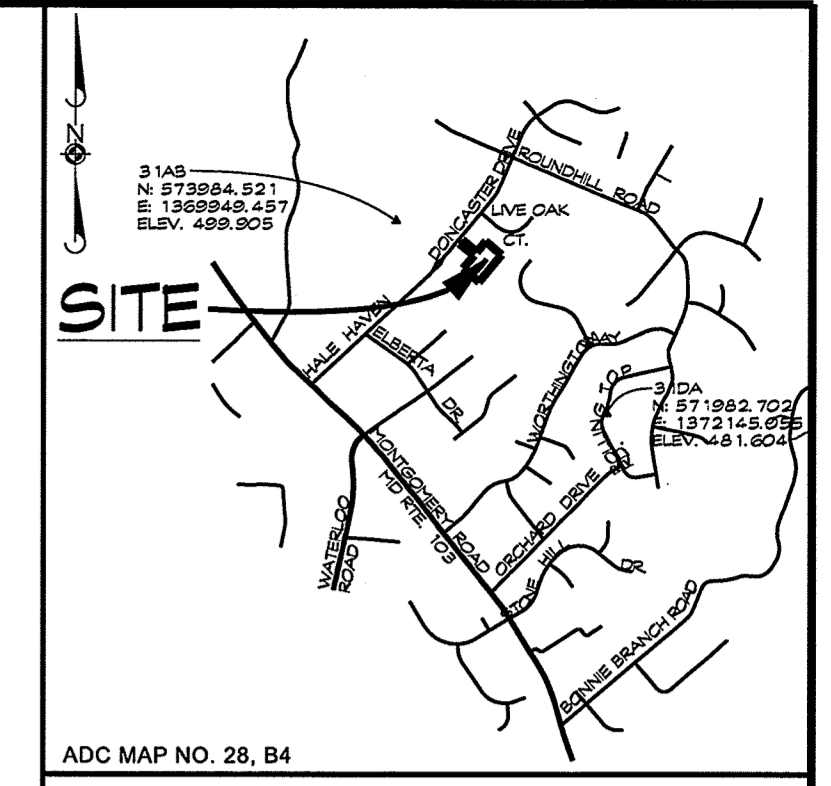
FOREST PROTECTION SIGN
NOT TO SCALE



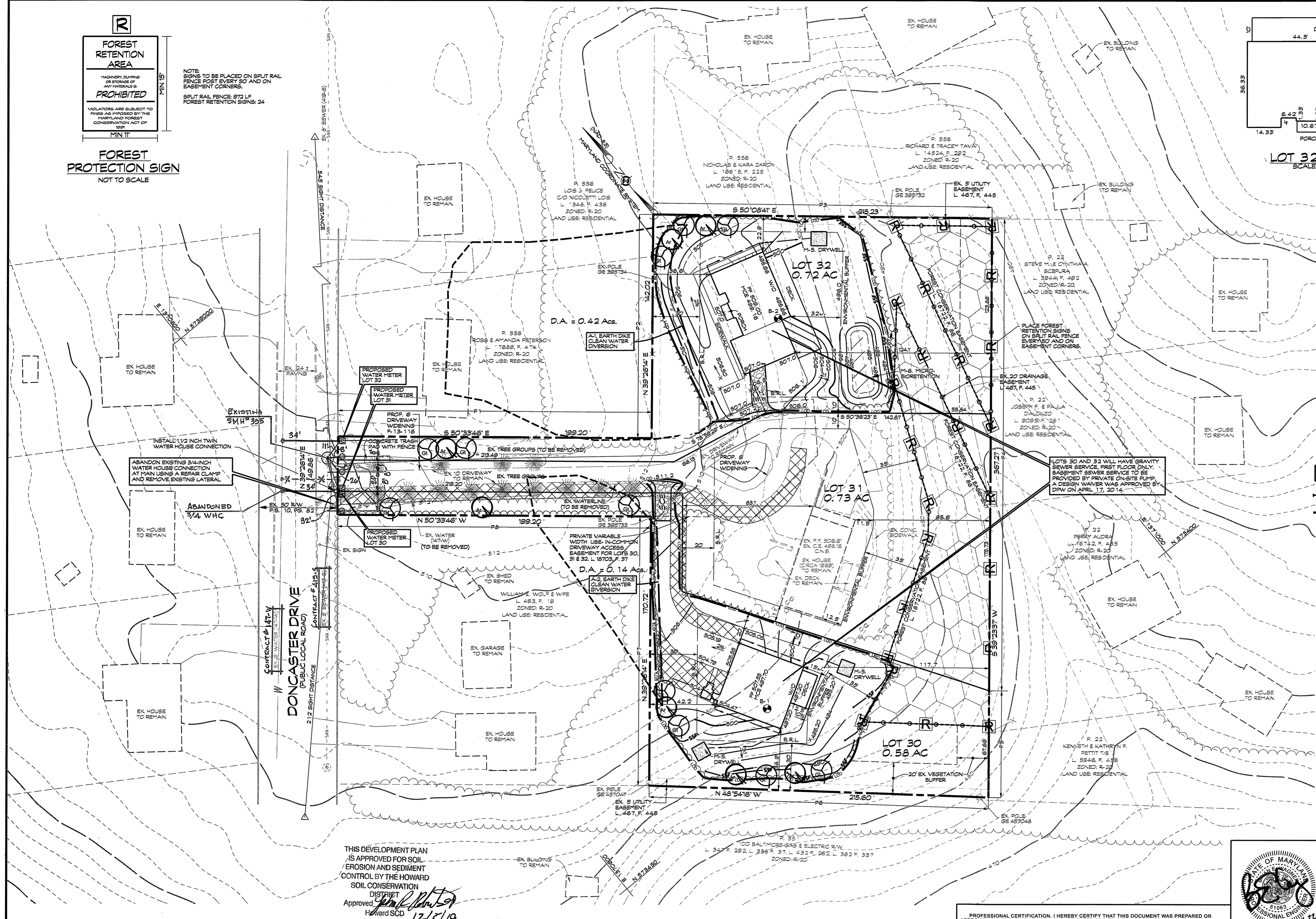
LOT 32 HOUSE DETAIL
SCALE: 1" = 20'



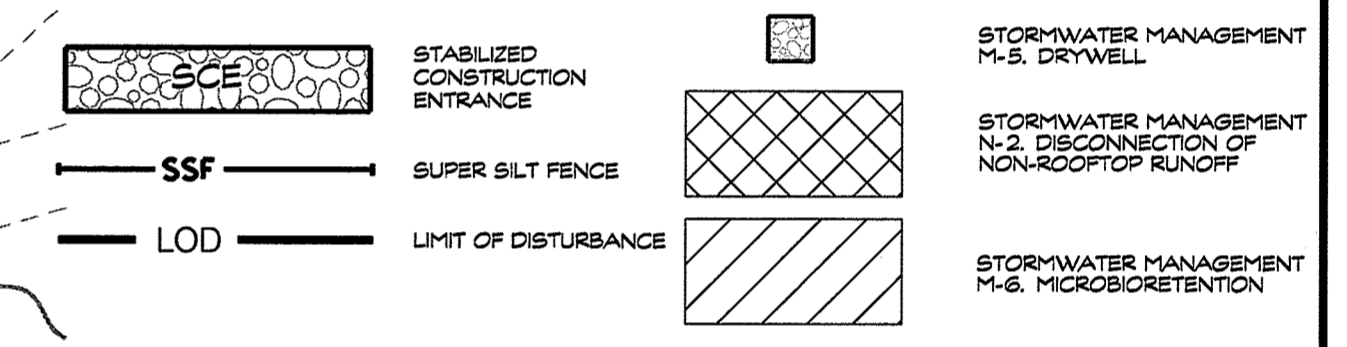
LOT 30 HOUSE DETAIL
SCALE: 1" = 20'



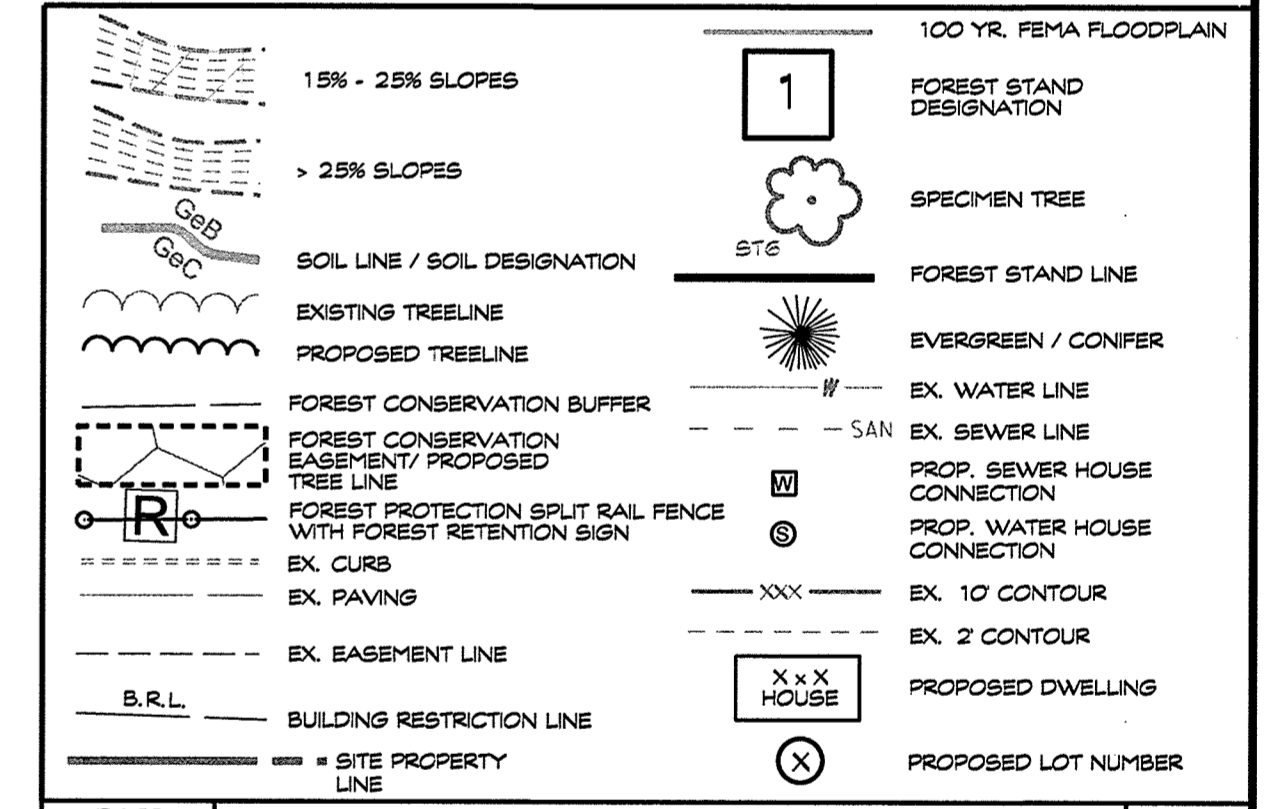
VICINITY MAP Scale: 1"=2000'



SEDIMENT CONTROL LEGEND



LEGEND



DATE	REVISION	BY

ADDRESS CHART

LOT NO.	STREET ADDRESS
30	4635 DONCASTER DRIVE
32	4631 DONCASTER DRIVE

PERMIT INFORMATION CHART

SUBDIVISION NAME	SECTION/AREA	LOT / PARCEL NO.			
ELICOTT WOODS		28/22			
PLAT NO.	BLOCK NO.	ZONE	TAX MAP NO.	ELECT. DISTR.	CENSUS TRACT
25039	8	R-20	31	2nd	602700

GRADING, SEDIMENT CONTROL & LANDSCAPE PLAN

LOTS 30 & 32
ELICOTT WOODS
RECORDED IN PLAT 25039

DEED REFERENCE: 14212/ 00084	
TAX MAP: 31 BLOCK: 8 PARCEL: 22	
2ND ELECTION DISTRICT HOWARD COUNTY, MARYLAND	
SCALE: 1" = 30'	DATE: NOV, 2019
SHEET: 2 OF 6	RELATED DPZ FILE NUMBERS: ECP-13-022, F-13-116

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT
Approved: *[Signature]*
Howard SCD 12/5/19

LANDSCAPE PLANTING LIST

PLANT MATERIALS CHART						
KEY	QUANT.	COMMON NAME	SIZE	SPACING	ROOT	P.U./per P.U.
MAJOR DECIDUOUS TREES						
Gr	11	Gleditsia Tricantosa 'Shademaster'	Thornless Honeylocust	2' cal.	see plan	BEB 1.0 9
Ar	7	Acer Rubrum	Red Maple	2' cal.	see plan	BEB 1.0 5

SOILS CHART

SOIL SERIES	HYDROLOGIC SOIL GROUP	ERODIBLE (k-factor > 3.5)	HYDRIC
CHILLUM-RUSSET	B	-	-
SASSARFRAS AND CROOM	B	+	-
URBAN LAND-CHILLUM-BELTSVILLE	D	+	-

APPROVED: DEPARTMENT OF PLANNING AND ZONING

[Signature] 12-12-19
CHIEF, DEVELOPMENT ENGINEERING DIVISION

[Signature] 12-23-19
CHIEF, DIVISION OF LAND DEVELOPMENT

[Signature] 12-24-19
DIRECTOR

ENGINEER CERTIFICATE

I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS. THIS PLAN WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

SIGNED: *[Signature]* DATE: 11-22-19
BRIAN E. WAGNER, P.E.
PROFESSIONAL ENGINEER REG. NO. 51063

DEVELOPER'S CERTIFICATION FOR SEDIMENT AND EROSION CONTROL

I CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT OR THEIR AUTHORIZED AGENTS, AS ARE DEEMED NECESSARY.

SIGNED: *[Signature]* DATE: 11/25/19
PRINTED: *[Signature]*

PROFESSIONAL CERTIFICATION: I HEREBY CERTIFY THAT THIS DOCUMENT WAS PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 51085, EXPIRATION DATE: JUNE 7, 2021



439 East Main Street Westminister, MD 21157-5539
(410) 848-1790 FAX (410) 848-1791

CLSI JOB NO.: 2012032

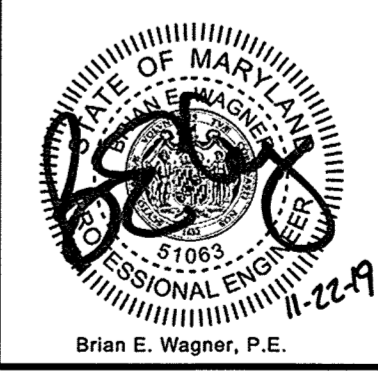
Surveyed By: CLSI Drawn By: BM
Computed By: DLA Checked By: LDA

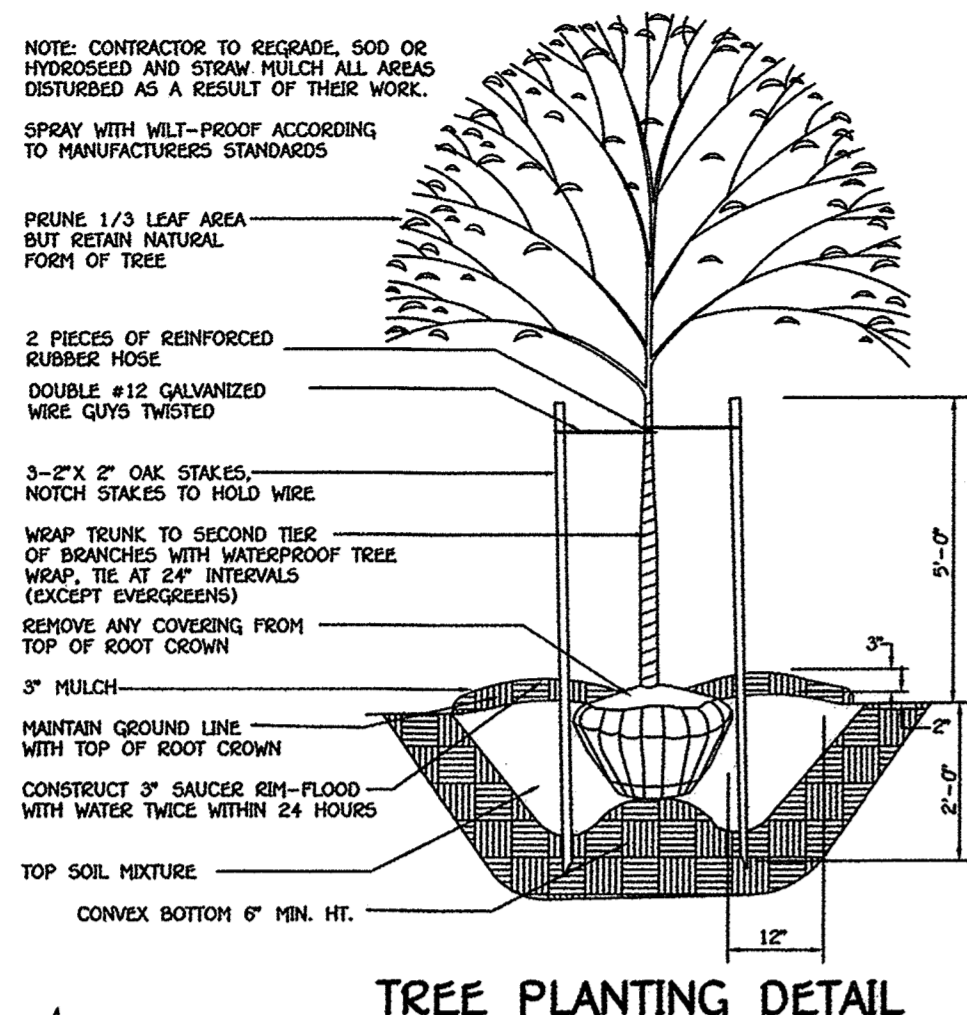
HOWARD COUNTY FILES

WATER CONTRACT NO. 147-W
SEWER CONTRACT NO. 419-S

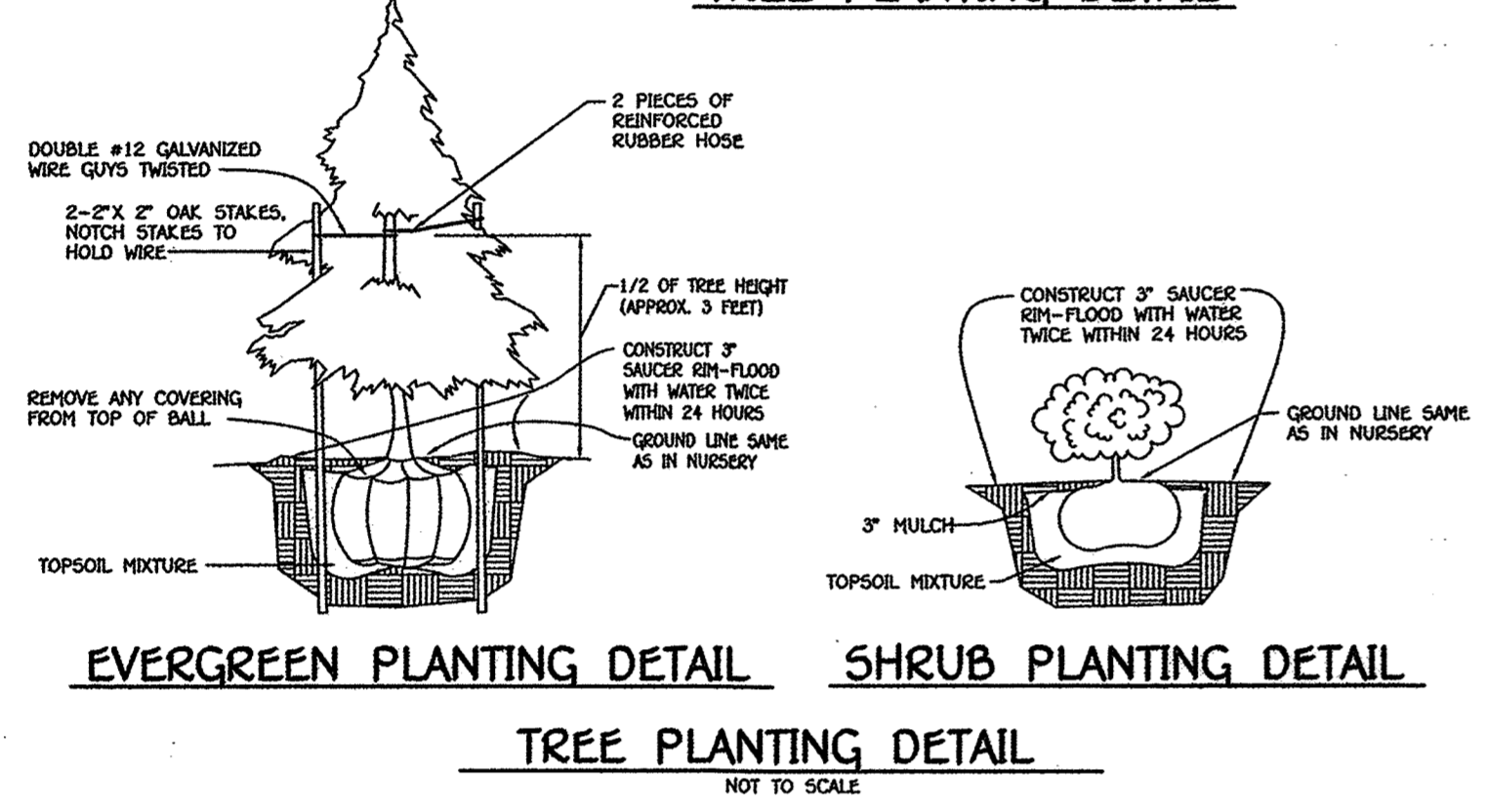
OWNER/ DEVELOPER

MATTHEW SHANLEY
4633 DONCASTER DRIVE
ELICOTT CITY, MD 21043
(443) 786-1583





TREE PLANTING DETAIL



EVERGREEN PLANTING DETAIL

SHRUB PLANTING DETAIL

TREE PLANTING DETAIL

NOT TO SCALE

PRE-CONSTRUCTION MEETING

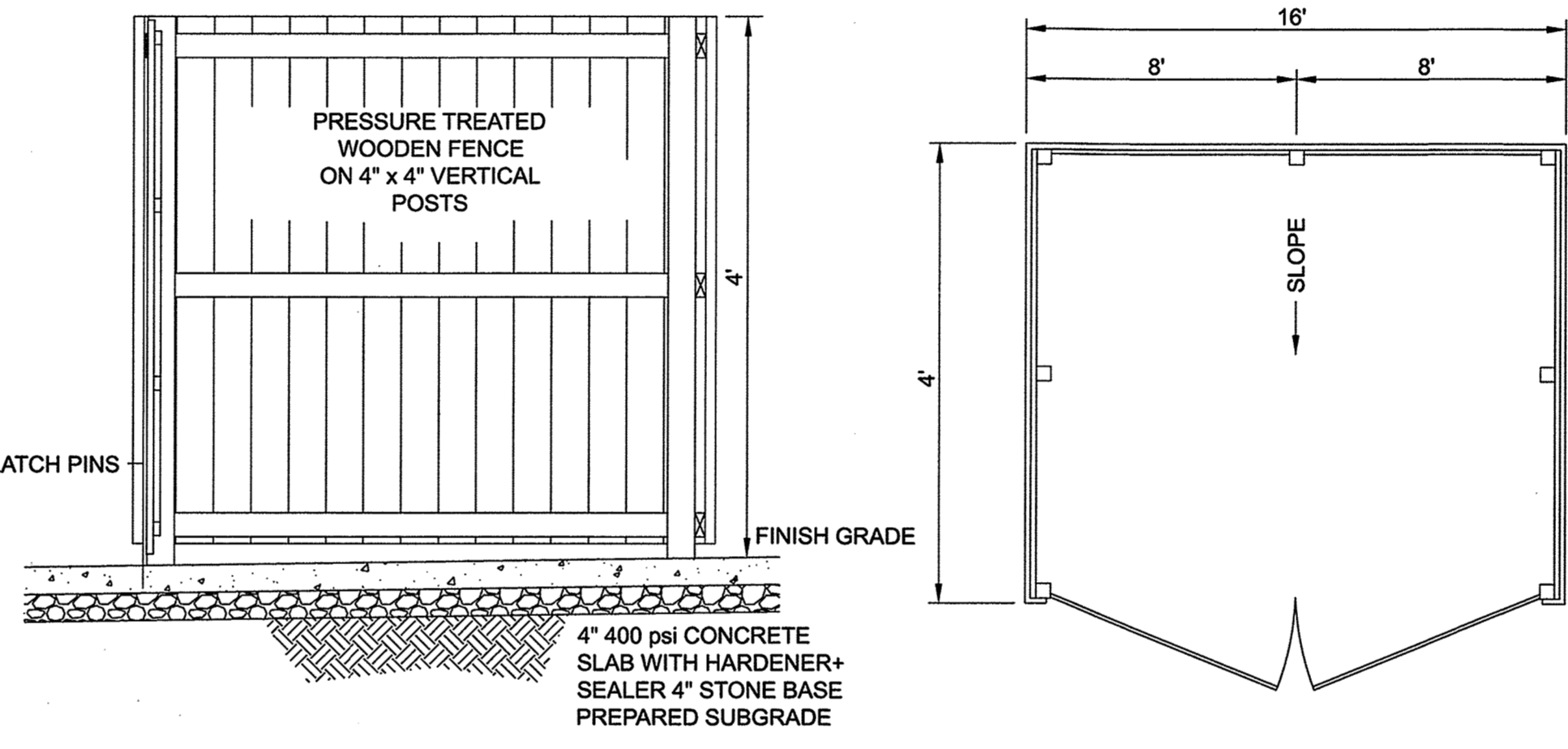
- AFTER THE BOUNDARIES OF THE FOREST RETENTION AREAS HAVE BEEN FIELD LOCATED AND MARKED, AND AFTER THE FOREST PROTECTION DEVICES HAVE BEEN INSTALLED, BUT BEFORE ANY OTHER DISTURBANCE HAS TAKEN PLACE ON SITE, A PRE-CONSTRUCTION MEETING SHALL TAKE PLACE ON SITE. THE DEVELOPER, CONTRACTOR OR PROJECT MANAGER, AND HOWARD COUNTY INSPECTORS SHALL ATTEND. THE PURPOSE OF THIS MEETING WILL BE:
 - TO IDENTIFY THE LOCATIONS OF THE FOREST RETENTION AREAS, SPECIMEN TREES WITHIN 50 FEET OF THE LIMIT OF DISTURBANCE, LIMITS OF CONSTRUCTION, EMPLOYEE PARKING AREAS AND EQUIPMENT STAGING AREAS.
 - INSPECT ALL FLAGGED BOUNDARIES AND PROTECTION DEVICES.
 - MAKE ALL NECESSARY ADJUSTMENTS.
 - ASSIGN RESPONSIBILITIES AS APPROPRIATE AND DISCUSS PENALTIES.

CONSTRUCTION MONITORING

- THE SITE SHALL BE INSPECTED PERIODICALLY DURING THE CONSTRUCTION PHASE OF THE PROJECT. A QUALIFIED PROFESSIONAL SHALL BE RESPONSIBLE FOR IDENTIFYING DAMAGE TO PROTECTED FOREST AREAS OR INDIVIDUAL TREES WHICH MAY HAVE BEEN CAUSED BY CONSTRUCTION ACTIVITIES, SUCH AS SOIL COMPACTION, ROOT INJURY, TRUNK WOUNDS, LIMB INJURY, OR STRESS CAUSED BY FLOODING OR DROUGHT CONDITIONS.
- ANY SUCH DAMAGE THAT MAY OCCUR SHALL BE REMEDIATED IMMEDIATELY USING APPROPRIATE MEASURES. SEVERE PROBLEMS MAY REQUIRE CONSULTATION WITH A PROFESSIONAL ARBORIST.
- THE CONSTRUCTION PROCEDURE SHALL NOT DAMAGE AREAS OUTSIDE OF THE LIMITS OF DISTURBANCE AS DESIGNATED ON THE PLANS. ANY DAMAGE SHALL BE RESTORED BY THE CONTRACTOR AT HIS EXPENSE AND TO THE SATISFACTION OF THE DESIGN TEAM OR ENGINEER.

NOTES

- THIS PLAN COMPLIES WITH REQUIREMENTS OF SECTION 18.1200 OF THE HOWARD COUNTY CODE FOR FOREST CONSERVATION BY THE ON-SITE RETENTION OF 0.81 ACRES OF FOREST.
- THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE PROVISIONS OF SECTION 18.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL. A LANDSCAPE SURETY FOR 14 SHADE TREES @ \$300.00 EACH FOR A TOTAL OF \$4,200.00.
- AT THE TIME OF INSTALLMENT, ALL SHARES AND OTHER PLANTINGS HEREWITH LISTED AND APPROVED FOR THIS SITE SHALL BE OF THE PROPER HEIGHT REQUIREMENTS IN ACCORDANCE WITH THE HOWARD COUNTY LANDSCAPE MANUAL. A LANDSCAPE SURETY FOR 14 SHADE TREES @ \$300.00 EACH FOR A TOTAL OF \$4,200.00.
- THE OWNER, TENANT, AND/OR THEIR AGENTS SHALL BE RESPONSIBLE FOR MAINTENANCE OF THE REQUIRED LANDSCAPING, INCLUDING BOTH PLANT MATERIALS AND BERRIS, FENCES AND WALLS. ALL PLANT MATERIALS SHALL BE MAINTAINED IN GOOD GROWING CONDITION AND WHEN NECESSARY, REPLACED WITH NEW MATERIALS TO ENSURE CONTINUED COMPLIANCE WITH APPLICABLE REGULATIONS. ALL OTHER REQUIRED LANDSCAPING SHALL BE PERMANENTLY MAINTAINED IN GOOD CONDITION, AND WHEN NECESSARY, REPAIRED OR REPLACED.
- SEE THE RECORD PLAT FOR THE BEARING AND DISTANCE DESCRIPTIONS OF THE FOREST CONSERVATION EASEMENT.
- NO GRADING OR REMOVAL OF VEGETATIVE COVER OR TREES, PAWS AND NEW STRUCTURES SHALL BE PERMITTED WITHIN THE LIMITS OF WETLANDS, STREAMS OR THEIR REQUIRED BUFFERS, FLOODPLAIN AND FOREST CONSERVATION EASEMENT AREAS.
- THE FOREST CONSERVATION EASEMENT HAS BEEN ESTABLISHED TO FULFILL THE REQUIREMENTS OF SECTION 18.1200 OF THE HOWARD COUNTY CODE AND FOREST CONSERVATION ACT. NO CLEARING GRADING OR CONSTRUCTION IS PERMITTED WITHIN THE FOREST CONSERVATION EASEMENT; HOWEVER FOREST MANAGEMENT PRACTICES AS DEFINED IN THE DEED OF FOREST CONSERVATION EASEMENT ARE ALLOWED. SHOULD DISTURBANCE OCCUR IN THE FOREST CONSERVATION EASEMENT AREAS DURING OR AFTER CONSTRUCTION, CIVIL PENALTIES OR MITIGATION MAY BE IMPOSED.
- THE FOREST CONSERVATION REFORESTATION EASEMENT PLANTINGS ARE NOT TO BE CONSIDERED LANDSCAPING AS IT IS USUALLY PRACTICED. THE REFORESTATION PLANTINGS ARE TO CREATE NEW FOREST COMMUNITIES THAT WILL REPLACE TO SOME DEGREE THE FOREST RESOURCES THAT HAVE BEEN LOST DURING RECENT DECADES OF FARMING AND LAND DEVELOPMENT. THEIR PRIMARY PURPOSE IS ENVIRONMENTAL AND NOT AESTHETIC. THESE REFORESTATION STANDS WILL REQUIRE SPECIAL MANAGEMENT AND INITIALLY MAY NOT LOOK ATTRACTIVE.



TRASH PAD DETAIL

SCHEDULE A - PERIMETER LANDSCAPE EDGE

PERIMETER	P-1	P-2	P-3	P-4	P-5	P-6	P-7	P-8	TOTAL
CATEGORY	ADJACENT TO PERIMETER PROPERTIES	ADJACENT TO PERIMETER PROPERTIES	ADJACENT TO PERIMETER PROPERTIES	ADJACENT TO PERIMETER PROPERTIES	ADJACENT TO PERIMETER PROPERTIES	ADJACENT TO PERIMETER PROPERTIES	ADJACENT TO PERIMETER PROPERTIES	ADJACENT TO PERIMETER PROPERTIES	
LANDSCAPE TYPE	A	A	A	A	A	A	A	A	
LINEAR FEET OF PERIMETER	200 LF	142 LF	215 LF	123.66 LF	67.66 LF	215.6 LF	170.72 LF	199.2 LF	
NUMBER OF PLANTS REQUIRED SHADE TREES	$(200/60) = 3.3 = 3$	$(142/60) = 2.3 = 2$	$(215 - 61.60/PC) = (153.39/60) = 2.55 = 3$	$(123.66/60) = 2.06 = 2$	$(67.66/60) = 1.13 = 1$	$(215.6/60) = 3.59 = 4$	$(170.72/60) = 2.84 = 3$	$(199.2/60) = 3.32 = 3$	21
CREDIT FOR EXISTING VEGETATION	0	0	0	0	0	0	0	0	0
NUMBER OF PLANTS PROVIDED SHADE TREES	3	2	SEE NOTE 1 3	SEE NOTE 1 0	SEE NOTE 1 0	SEE NOTE 2 0	3	3	14

NOTES:
1. CREDIT TAKEN FOR FOREST CONSERVATION EASEMENT (RETENTION) ALONG PERIMETER: P-3, P-4, P-5
2. CREDIT FOR EXISTING FOREST TO REMAIN.

DEVELOPERS / BUILDERS CERTIFICATE
I/WE CERTIFY THAT THE LANDSCAPING SHOWN ON THIS PLAN WILL BE DONE ACCORDING TO THE PLAN, SECTION 18.124 OF THE HOWARD COUNTY CODE AND THE HOWARD COUNTY LANDSCAPE MANUAL. I/WE FURTHER CERTIFY THAT UPON COMPLETION, A LETTER OF LANDSCAPE INSTALLATION ACCOMPANIED BY AN EXECUTED ONE YEAR GUARANTEE OF PLANT MATERIALS WILL BE SUBMITTED TO THE DEPARTMENT OF PLANNING AND ZONING.

Matthew Shanley 11/24/19
NAME DATE

DATE	REVISION	BY

ADDRESS CHART	
LOT NO.	STREET ADDRESS
30	4635 DONCASTER DRIVE
32	4631 DONCASTER DRIVE

PERMIT INFORMATION CHART					
SUBDIVISION NAME	SECTION/AREA	LOT / PARCEL NO.			
ELLICOTT WOODS		28/22			
PLAT NO.	BLOCK NO.	ZONE	TAX MAP NO.	ELECT. DISTR.	CENSUS TRACT
25039	8	R-20	31	2nd	602700

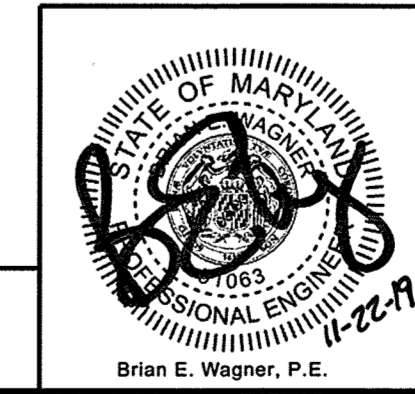
LANDSCAPING NOTES & DETAILS			
LOTS 30 & 32			
ELLICOTT WOODS			
RECORDED IN PLAT 25039			
DEED REFERENCE: 14212/ 00084			
TAX MAP: 31 BLOCK: 8 PARCEL: 22			
2ND ELECTION DISTRICT HOWARD COUNTY, MARYLAND			
SCALE:	DATE:	SHEET:	
	NOV, 2019	3 OF 6	
RELATED DPZ FILE NUMBERS: ECP-13-022, F-13-116			

PROFESSIONAL CERTIFICATION: I HEREBY CERTIFY THAT THIS DOCUMENT WAS PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 51063, EXPIRATION DATE: JUNE 7, 2021



439 East Main Street Westminster, MD 21157-5539
(410) 848-1790 FAX (410) 848-1791
CLSI JOB NO.: 2012032
Surveyed By: CLSI Drawn By: BM
Computed By: DLA Checked By: LDA

HOWARD COUNTY FILES
WATER CONTRACT NO. 147-W
SEWER CONTRACT NO. 419-S
OWNER/ DEVELOPER
MATTHEW SHANLEY
4633 DONCASTER DRIVE
ELLICOTT CITY, MD 21043
(443) 786-1583



APPROVED: DEPARTMENT OF PLANNING AND ZONING
Chad Edwards 12-23-19
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE
L. M... 12-23-19
DIR. # CTOR DATE
CHIEF, DIVISION OF LAND DEVELOPMENT DATE

Environmental Site Design Strategies and Practices

After examination of the site fingerprinting the CSWMP and future final design intends to incorporate the Environmental Site Design ("ESD") strategies and practices to the maximum extent practicable ("MEP"). We note the following "Better Site Design Techniques" that are incorporated as ESD's for this project design:

- The use of level spreaders for sheet flow to conservation area. (House and driveways)
- The use of Non-Rooftop disconnect. (Use-in-common driveway)
- Rooftop disconnect by use of drywell. (House)

These ESD's satisfy the intent of the SWM criteria to the MEP by:

- acknowledging and retaining the NRA;
- minimizing as closely as possible, the natural flow paths;
- reducing impervious areas; and
- utilizing low-impact ESD's.

Natural Resource Protection

Natural resource protection and enhancement is being achieved by minimizing the disturbance for each lot. In addition, the existing woods on the east side of the site are being preserved by providing a forest conservation easement greater than 50 feet wide. The use of the level spreaders will maintain the natural flow of the water into the easement/buffer area.

Natural Flow Patterns

Natural flow patterns are being maintained by use of non-rooftop disconnect for the 6' widening of the entrance driveway and by providing level spreaders on the proposed lots to achieve sheet flow to the conservation area. In addition, a drywell will be used to achieve rooftop runoff disconnect for half the house on Lot 30.

Integration of Erosion and Sediment Control into SWM Strategy

Sediment control is being provided by use of stabilized construction entrance at each proposed driveway and by use of silt fence. The silt fence works as a level spreader in the retention construction prior to site being stabilized. Once site is stabilized the lever spreaders will be constructed and silt fence removed.

ESD Planning Techniques and Practices

The following are proposed design techniques being used to achieve implementation of ESD planning techniques and practices for this site:

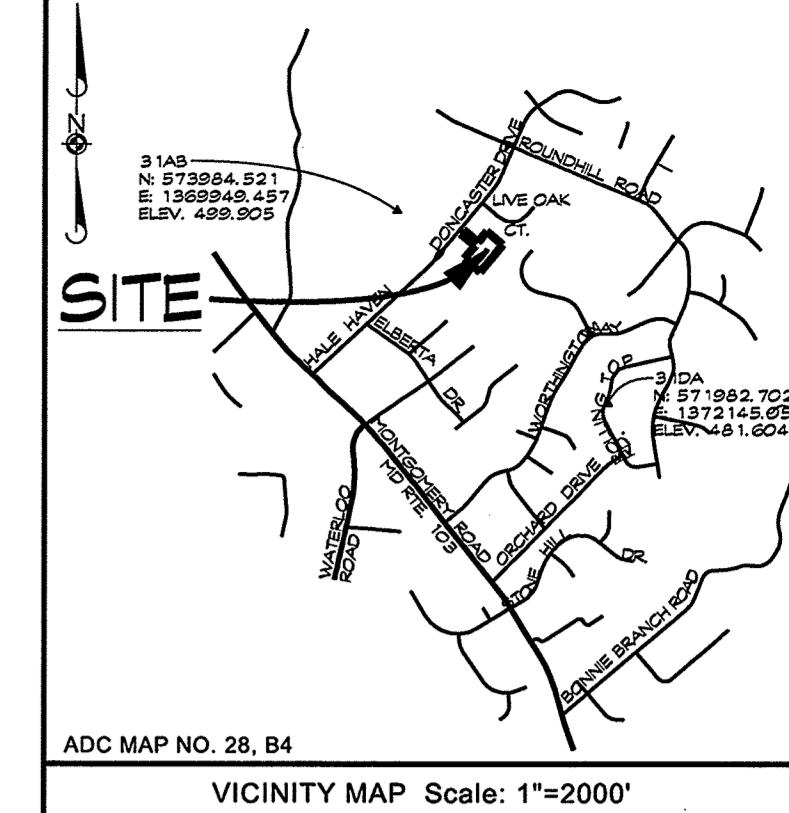
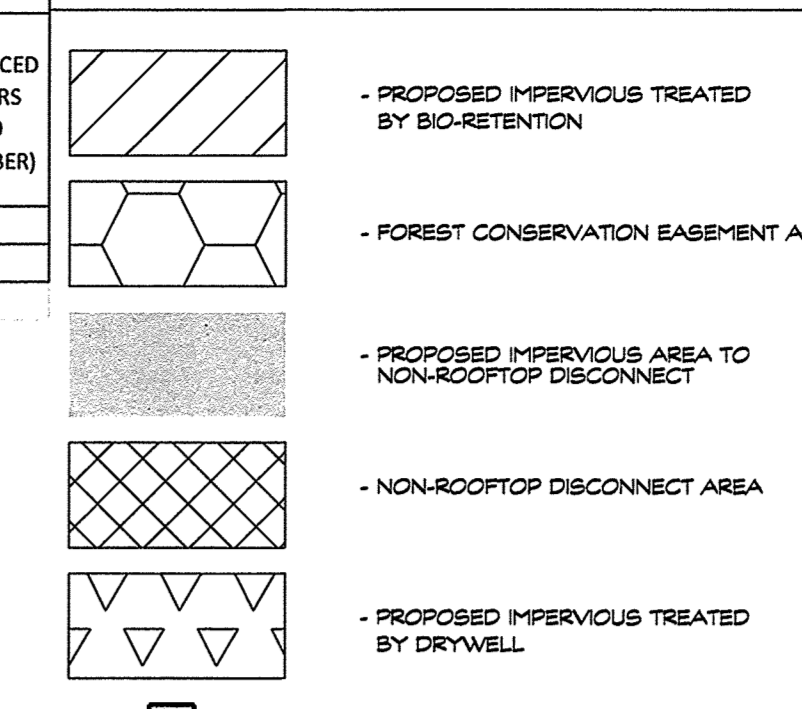
- Lot 30:
Prop. Treatment = N-2: Non-Rooftop disconnect driveway
M-5: Drywell (Rooftop disconnect) for the house.
- Lot 32:
Prop. Treatment = M-3: Drywell (Rooftop disconnect) for 1,000 S.F. of house.
M-4: Micro-bioretentation to treat remainder of house and driveway.

SOILS CHART

SOIL SERIES	HYDROLOGIC SOIL GROUP	ERODIBLE SOIL GROUP (k-factor > 35)	HYDRIC
CHILLUM-RUSSET	B	+	-
SASSAFRAS AND CROOM	D	+	-
URBAN LAND-CHILLUM-BELTSVILLE	D	+	-

LOT NUMBER	ADDRESS	STORMWATER MANAGEMENT PRACTICES													
		GREEN ROOFS A-1 (Y/N)	PERMEABLE PAVEMENTS A-2 (Y/N)	REINFORCED TURF A-3 (Y/N)	DISCONNECTION OF ROOFTOP RUNOFF N-1 (NUMBER)	DISCONNECTION OF NON-ROOFTOP RUNOFF N-2 (Y/N)	SHEETFLOW TO CONSERVATION AREAS N-3 (Y/N)	RAINWATER HARVESTING M-1 (NUMBER)	SUBMERGED GRAVEL WETLANDS M-2 (NUMBER)	LANDSCAPE INFILTRATION M-3 (NUMBER)	INFILTRATION BERMS M-4 (NUMBER)	DRYWELLS M-5 (NUMBER)	MICRO-BIORETENTION M-6 (NUMBER)	RAIN GARDENS M-7 (NUMBER)	SWALES M-8 (NUMBER)
30	4631 DONCASTER DRIVE	N	N	N	0	Y	N	0	0	0	2	0	0	0	0
32	4635 DONCASTER DRIVE	N	N	N	0	Y	N	0	0	0	1	1	0	0	

STORMWATER MANAGEMENT TREATMENT METHOD LEGEND



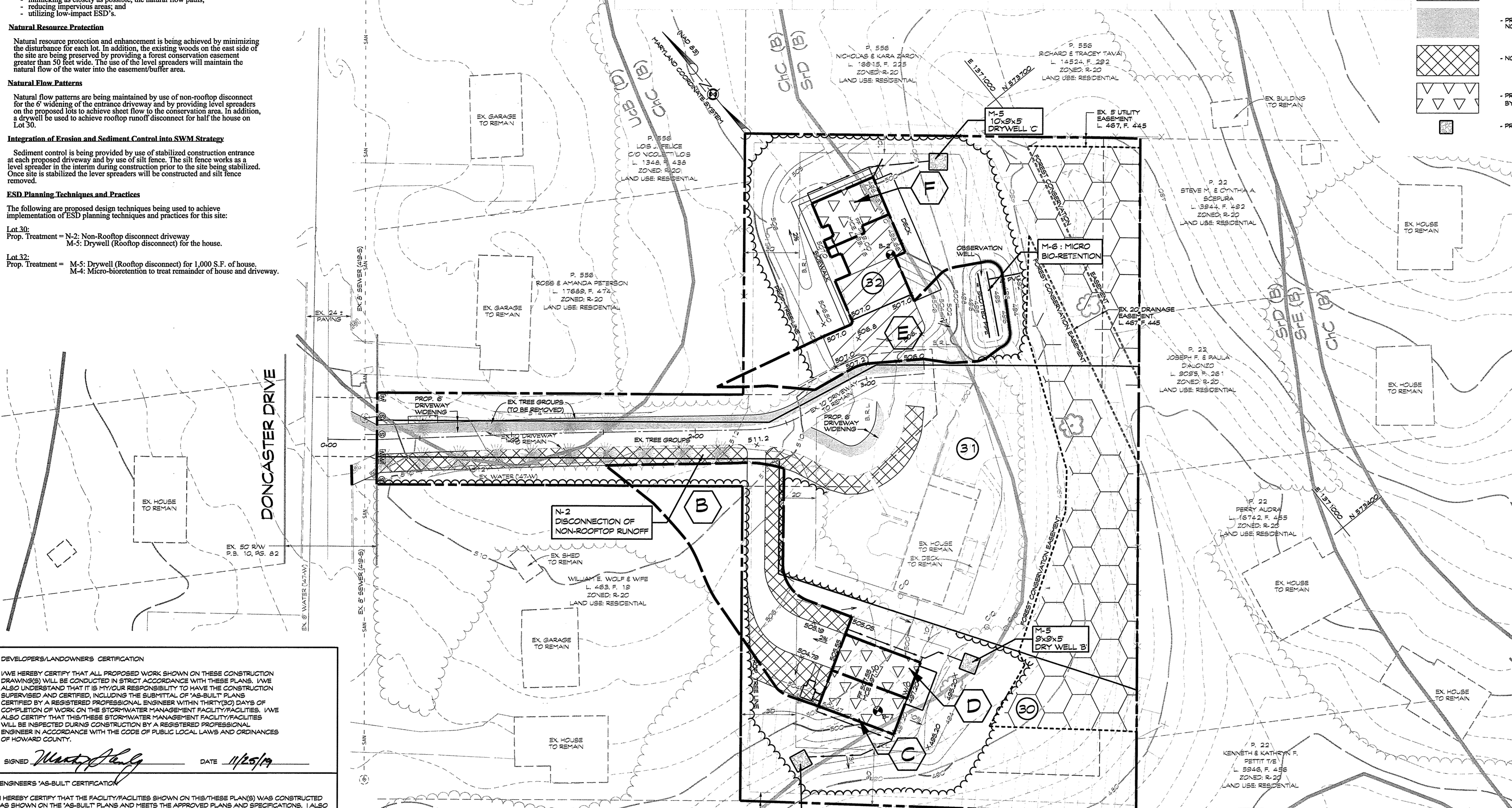
DATA SUMMARY:

TOTAL AREA OF SITE = 2.03 AC.
D SOIL = 0.09 AC.
B SOIL = 1.94 AC.

LOT 30:
PROP. DRIVEWAY = 1700 S.F.
PROP. HOUSE = 2157 S.F.
PROP. TREATMENT = N-2: NON-ROOFTOP DISCONNECT TO TREAT PROPOSED DRIVEWAY.
M-5: DRYWELL (ROOFTOP DISCONNECT) TO TREAT THE HOUSE.

LOT 32:
PROP. IMPERVIOUS WITHIN LOT 32'S LOT BOUNDARY = 4993 S.F.
PROP. TREATMENT = M-5: DRYWELL (ROOFTOP DISCONNECT) (865 S.F.) OF HOUSE
M-6: MICRO-BIORETENTION REMAINING (2873 S.F.) IMPERVIOUS HOUSE & DRIVEWAY
UNTREATED BYPASS IMPERVIOUS SURFACES: 1255 S.F. (DECK, SIDEWALK)

LEGEND:
B = DRAINAGE AREA TO N-2
C/D = DRAINAGE AREA TO M-5 DRYWELLS
E = DRAINAGE AREA TO M-6 MICRO-BIORETENTION
F = DRAINAGE AREA TO M-5 DRYWELL



DEVELOPERS/LANDOWNERS CERTIFICATION

I/WE HEREBY CERTIFY THAT ALL PROPOSED WORK SHOWN ON THESE CONSTRUCTION DRAWING(S) WILL BE CONDUCTED IN STRICT ACCORDANCE WITH THESE PLANS. I/WE ALSO UNDERSTAND THAT IT IS MY/OUR RESPONSIBILITY TO HAVE THE CONSTRUCTION SUPERVISED AND CERTIFIED BY A REGISTERED PROFESSIONAL ENGINEER WITHIN THIRTY(30) DAYS OF COMPLETION OF WORK ON THE STORMWATER MANAGEMENT FACILITY/FACILITIES. I/WE ALSO CERTIFY THAT THIS/THOSE STORMWATER MANAGEMENT FACILITY/FACILITIES WILL BE INSPECTED DURING CONSTRUCTION BY A REGISTERED PROFESSIONAL ENGINEER IN ACCORDANCE WITH THE CODE OF PUBLIC LOCAL LAWS AND ORDINANCES OF HOWARD COUNTY.

SIGNED: *Matthew Shanley* DATE: 11/25/19

ENGINEERS 'AS-BUILT' CERTIFICATION

I HEREBY CERTIFY THAT THE FACILITY/FACILITIES SHOWN ON THIS/THOSE PLAN(S) WAS/WERE CONSTRUCTED AS SHOWN ON THE 'AS-BUILT' PLANS AND MEETS THE APPROVED PLANS AND SPECIFICATIONS. I ALSO CERTIFY THAT THIS/THOSE FACILITY/FACILITIES WERE INSPECTED IN ACCORDANCE WITH THE CODE OF PUBLIC LOCAL LAWS AND ORDINANCES OF HOWARD COUNTY AND I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.

SIGNED: _____ DATE: _____
LICENSE NO. _____ EXPIRATION DATE: _____

ENGINEERS DESIGN CERTIFICATION

I HEREBY CERTIFY THAT THESE PLANS HAVE BEEN DESIGNED ACCORDING TO THE CODE OF PUBLIC LOCAL LAWS AND ORDINANCES OF HOWARD COUNTY AND I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED BY ME, AND I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.

SIGNED: *Brian E. Wagner* DATE: 11-22-19
LICENSE NO. 51063 EXPIRATION DATE: 6-7-21

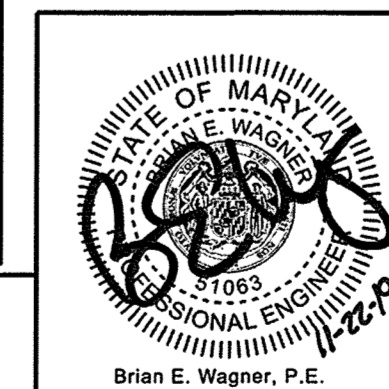
NOTE:
SEE SHEET 2 FOR GRADING AND SEDIMENT CONTROL PLAN
SEE SHEET 4 FOR STORMWATER MANAGEMENT NOTES & DETAILS.

BORING LOG

LOT 30 - BORING B-1
EX. GROUND EL. 498 ±
HOLE EXCAVATED 13 TO EL. 485 ±
NO WATER OR ROCK REFUSAL

LOT 31 - BORING B-2
EX. GROUND EL. 504 ±
HOLE EXCAVATED 12 TO EL. 492 ±
NO WATER OR ROCK REFUSAL

⊙ = BORING LOCATION



LEGEND

15% - 25% SLOPES	1	FOREST STAND DESIGNATION
> 25% SLOPES	2	SPECIMEN TREE
SOIL LINE / SOIL DESIGNATION	3	FOREST STAND LINE
EXISTING TREELINE	4	EVERGREEN / CONIFER
PROPOSED TREELINE	5	EX. SEWER LINE
FOREST CONSERVATION BUFFER	6	PROP. SEWER LINE CONNECTION
FOREST CONSERVATION EASEMENT/PROPOSED TREE LINE	7	PROP. WATER HOUSE CONNECTION
EX. CURB	8	EX. 10 CONTOUR
EX. PAVING	9	EX. 2 CONTOUR
EX. EASEMENT LINE	10	PROPOSED DWELLING
B.R.L. - BUILDING RESTRICTION LINE	11	PROPOSED LOT NUMBER
--- SITE PROPERTY LINE	12	

DATE	REVISION	BY

ADDRESS CHART

LOT NO.	STREET ADDRESS
30	4635 DONCASTER DRIVE
32	4631 DONCASTER DRIVE

PERMIT INFORMATION CHART

SUBDIVISION NAME	SECTION/AREA	LOT / PARCEL NO.
ELLCOTT WOODS		28/22

PLAT NO.	BLOCK NO.	ZONE	TAX MAP NO.	ELECT. DBTR.	CENSUS TRACT
25039	8	R-20	31	2nd	602700

STORMWATER MANAGEMENT PLAN
LOTS 30 & 32
ELLCOTT WOODS
RECORDED IN PLAT 25039

DEED REFERENCE: 14212/ 00084
TAX MAP: 31 BLOCK: 8 PARCEL: 22
2ND ELECTION DISTRICT HOWARD COUNTY, MARYLAND

SCALE: 1" = 30'
DATE: NOV. 2019 SHEET: 4 OF 6
RELATED DPZ FILE NUMBERS: ECP-13-022, F-13-116

PROFESSIONAL CERTIFICATION. I HEREBY CERTIFY THAT THIS DOCUMENT WAS PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 51063, EXPIRATION DATE: JUNE 7, 2021



439 East Main Street Westminster, MD 21157-5539
(410) 848-1790 FAX (410) 848-1791
CLSI JOB NO.: 2012032
Surveyed By: CLSI Drawn By: BM
Computed By: DLA Checked By: LDA

HOWARD COUNTY FILES
WATER CONTRACT NO. 147-W
SEWER CONTRACT NO. 419-S
OWNER/ DEVELOPER
MATTHEW SHANLEY
4633 DONCASTER DRIVE
ELLCOTT CITY, MD 21043
(443) 786-1583

APPROVED: DEPARTMENT OF PLANNING AND ZONING
12.12.19
12-23-17
12-24-19

ENGINEER CERTIFICATE
I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS. THIS PLAN WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.
SIGNED: *Brian E. Wagner* DATE: 11-22-19
BRIAN E. WAGNER, P.E.
PROFESSIONAL ENGINEER REG. NO. 51063

DEVELOPER'S CERTIFICATION FOR SEDIMENT AND EROSION CONTROL
I CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT OR THEIR AUTHORIZED AGENTS, AS ARE DETERMINED NECESSARY.
SIGNED: *Matthew Shanley* DATE: 11/25/19
PRINTED: *Matthew Shanley*

