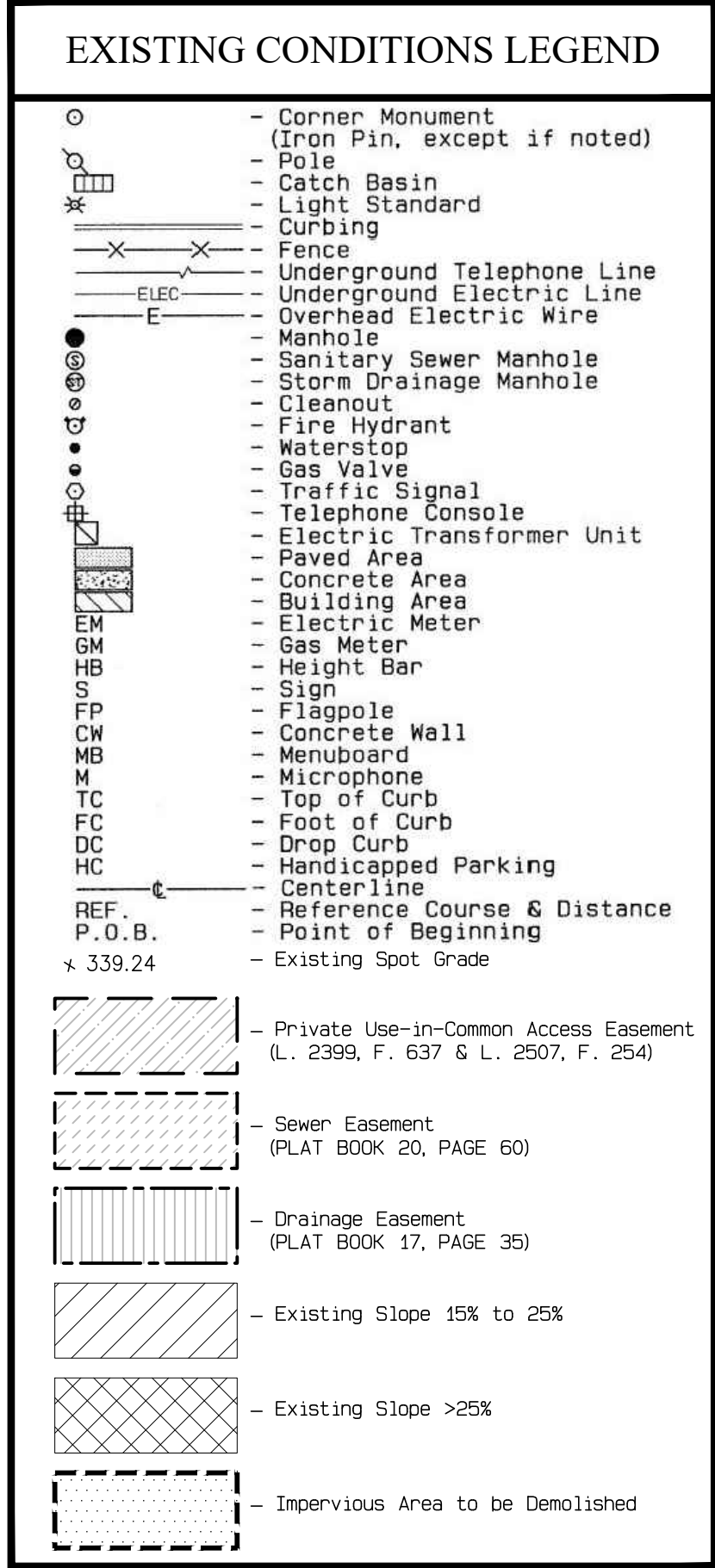


NOTE: EROSION AND SEDIMENT CONTROL MEASURES ARE SHOWN FOR REFERENCE. FOR MORE DETAILED EROSION AND SEDIMENT CONTROL DESIGN, REFER TO THE SOIL EROSION AND SEDIMENT CONTROL PLANS IN THIS PLAN SET.

- DEMOLITION NOTES:**
1. THE LOCATION OF EXISTING UTILITIES SHOWN ON THESE PLANS HAS BEEN TAKEN FROM VARIOUS SOURCES AND IS SHOWN FOR DESIGN AND ESTIMATING PURPOSES ONLY. ACTUAL LOCATIONS OF UTILITIES SHALL BE FIELD VERIFIED BY CONTRACTOR. ANY DISCREPANCIES OR APPARENT CONFLICTS SHALL BE CALLED TO THE ATTENTION OF THE ENGINEER FOR INTERPRETATION. ANY ALL DISCREPANCIES SHALL BE REPORTED TO ENGINEER IN WRITING PRIOR TO ANY CONSTRUCTION. CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL EXISTING SITE IMPROVEMENTS & UTILITIES. A WRITTEN NOTICE SHALL BE FORWARDED TO THE OWNER SETTING FORTH THE DATE OF CONTACT. CONTRACTORS ARE ADVISED TO CALL 1-800-272-1000 BEFORE COMMENCING FOR A MARKOUT OF EXISTING UTILITIES.
 2. CONTRACTOR TO NOTIFY ALL UTILITY COMPANIES PRIOR TO DEMOLITION.
 3. CONTRACTOR TO COORDINATE ALL UTILITY REMOVALS AND SHUT-OFFS (TYPICAL).
 4. CONTRACTOR TO COORDINATE WITH ALL APPLICABLE AGENCIES DURING THE DEMOLITION OF EXISTING BUILDINGS.
 5. TEST PITS SHALL BE EXCAVATED PRIOR TO CONSTRUCTION TO LOCATE UNDERGROUND UTILITIES.
 6. ANY REQUIRED UTILITY POLE RELOCATIONS FOR THE PROPOSED IMPROVEMENTS SHALL BE COMPLETED AT NO EXTRA COST TO THE OWNER. CONTRACTOR SHALL PROVIDE ALL NECESSARY ARRANGEMENTS FOR UTILITY POLE RELOCATION.
 7. THE CONTRACTORS ARE ADVISED THAT ANY REQUIRED UNDERGROUND UTILITY RELOCATIONS INCLUDING GAS MAINS AND SERVICES, WATER MAINS AND SERVICES, SEWER MAINS AND SERVICES, ELECTRIC AND TELEPHONE LINES SHALL BE COMPLETED AT NO COST TO THE OWNER UNLESS SPECIFICALLY NOTED OTHERWISE.
 8. EXISTING UTILITIES INCLUDING VALVE BOXES, CLEAN OUTS, CURB STOPS, MANHOLES, ETC. SHALL BE ADJUSTED TO MATCH PROPOSED FINISHED GRADE. STORM DRAINAGE STRUCTURES SHALL NOT BE ADJUSTED UNLESS SPECIFICALLY CALLED FOR. NO TRENCHES SHALL REMAIN OPEN OVERNIGHT.
 9. SUPPORT AND STABILIZATION OF REMAINING STRUCTURES SHALL CONFORM TO IBC 2009.
 10. ALL DEMOLITION TO BE PERFORMED IN STRICT ADHERENCE TO ALL FEDERAL, STATE, AND LOCAL REGULATIONS.
 11. NO DISTURBANCES SHALL BE PERMITTED BEYOND THE PROJECT PROPERTY LINE WITHOUT THE WRITTEN PERMISSION OF THE PROPERTY OWNER(S) DIRECTLY AFFECTED.
 12. CONTRACTOR SHALL CLEAN ADJACENT STRUCTURES AFFECTED BY DEMOLITION. CONTRACTOR TO RETURN ADJACENT AREAS TO CONDITIONS EXISTING PRIOR TO START OF WORK.
 13. THE CONTRACTOR SHALL PROPERLY DISPOSE OF SPOILS AND EXCAVATED MATERIALS. NO CONSTRUCTION DEBRIS, CUT VEGETATION, TREE STUMPS, OR ANY OTHER SOLID WASTE EXISTING ON SITE IS TO BE BURIED ON SITE. NO ON SITE BURIAL OR BURNING OF CONSTRUCTION DEBRIS IS PERMITTED. ALL WASTE MUST BE PROPERLY REMOVED AND DISPOSED OF SITE. ALL MATERIALS REMOVED FROM SITE ARE TO BE DISPOSED OF AT AN APPROVED FACILITY.
 14. EXISTING TOPSOIL ON SITE IS TO BE PROTECTED. NO TOPSOIL IS TO BE SOLD OR REMOVED FROM THE SITE OR USED AS SPOIL UNLESS APPLICATION IS MADE TO THE APPROVING AUTHORITY AND APPROVAL IS GRANTED.
 15. PROJECT SITE TO BE CLEARED ONLY AS REQUIRED. EXISTING TREES SHALL BE PROTECTED ALONG WITH ALL EXCAVATION AND CONSTRUCTION LIMITS.
 16. REMOVAL OF HAZARDOUS AND COMBUSTIBLE MATERIAL SHALL BE ACCOMPLISHED IN ACCORDANCE WITH THE PROCEDURES AS AUTHORIZED BY THE FIRE DEPARTMENT OR OTHER APPROPRIATE REGULATORY AGENCIES AND AUTHORITIES.
 17. DISCONNECT, SHUT OFF AND SEAL IN CONCRETE ALL UTILITIES SERVING THE STRUCTURE(S) TO BE DEMOLISHED BEFORE THE COMMENCEMENT OF DESIGNATED DEMOLITION. CLEARLY IDENTIFY BEFORE THE COMMENCEMENT OF DESIGNATED DEMOLITION THE REQUIRED INTERRUPTION OF ACTIVE SYSTEMS THAT MAY AFFECT OTHER PARTIES, AND NOTIFY APPLICABLE UTILITY COMPANIES TO ENSURE CONTINUATION OF SERVICE.
 18. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DISCONNECTION OF ALL UTILITIES TO BE REMOVED. ALL EXISTING UTILITIES SHALL BE REMOVED BY CONTRACTOR IN ACCORDANCE WITH LOCAL MUNICIPAL & MUA SPECIFICATIONS.
 19. EXISTING BUILDING SHALL BE DEMOLISHED INCLUDING ALL FOOTINGS AND FOUNDATION WALLS & MATERIALS.



THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT

DocuSigned by:
Alexander Bratchie/29/2022

SIGNATURE: Alexander Bratchie DATE: 10/29/2022

PRINT NAME: HOWARD SCD

APPROVED
PLANNING BOARD OF HOWARD COUNTY

DATE: October 29, 2020

APPROVED: DEPARTMENT OF PLANNING AND ZONING

DocuSigned by: Chad Edmondson/26/2022

DocuSigned by: Amy Groman/26/2022

DATE: 6/21/2022

DATE: 6/29/2022

THE PETTIT GROUP, LLC
Engineering • Architecture • Planning

497 Center Street • Sewell, NJ 08080
Tel: 856-464-9600 Fax: 856-464-9606
www.pettitgroup.com
Certificate of Authorization No. 24GA28131400

ALL DOCUMENTS PREPARED BY THE PETTIT GROUP, LLC ARE INSTRUMENTS OF SERVICE IN RESPECT TO THE PROJECT. THEY ARE NOT INTENDED OR REPRESENTED TO BE SUITABLE FOR REUSE BY OWNER OR OTHERS ON EXTENSIONS OF THE PROJECT OR ANY OTHER PROJECT. ANY REUSE WITHOUT WRITTEN PERMISSION BY THE PETTIT GROUP, LLC FOR THE SPECIFIC PURPOSES INTENDED WILL BE AT THE USER'S SOLE RISK AND WITHOUT LIABILITY OR INDEMNITY AND HOLD HARMLESS THE PETTIT GROUP, LLC FROM CLAIMS, DAMAGES, LOSSES AND EXPENSES ARISING OUT OF OR RESULTING THEREFROM.

PROFESSIONAL CERTIFICATION

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND LICENSE NUMBER 34411.

Brian W. Cleary
BRIAN W. CLEARY, PE
Professional Engineer
State of New Jersey • License # GE 51748
State of Pennsylvania • License # PE081074
State of Maryland • License # 34411

OWNER:
TACO BELL OF BALTIMORE, INC.
11879 KEMPER ROAD, SUITE 11
AUBURN, CA 95603
(530) 885-2455

DEVELOPER:
BLT CANTINA, LLC
14 BALLIGOMINGO ROAD
CONSHOHOCKEN, PA 19428
(610) 520-1000

REVISIONS		
NO.	DESCRIPTION	DATE

DESIGNED BY: CBJ JOB NO: 1061-106

DRAWN BY: CBJ DATE: 08/04/2021

CHECKED BY: BWC SCALE: 1" = 20'

PRIOR SUBMITTAL DWG FILE REFERENCES:
ECP-19-006

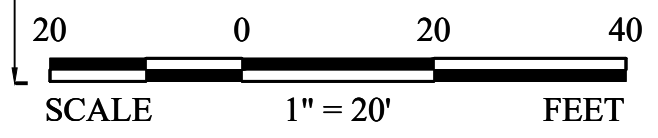
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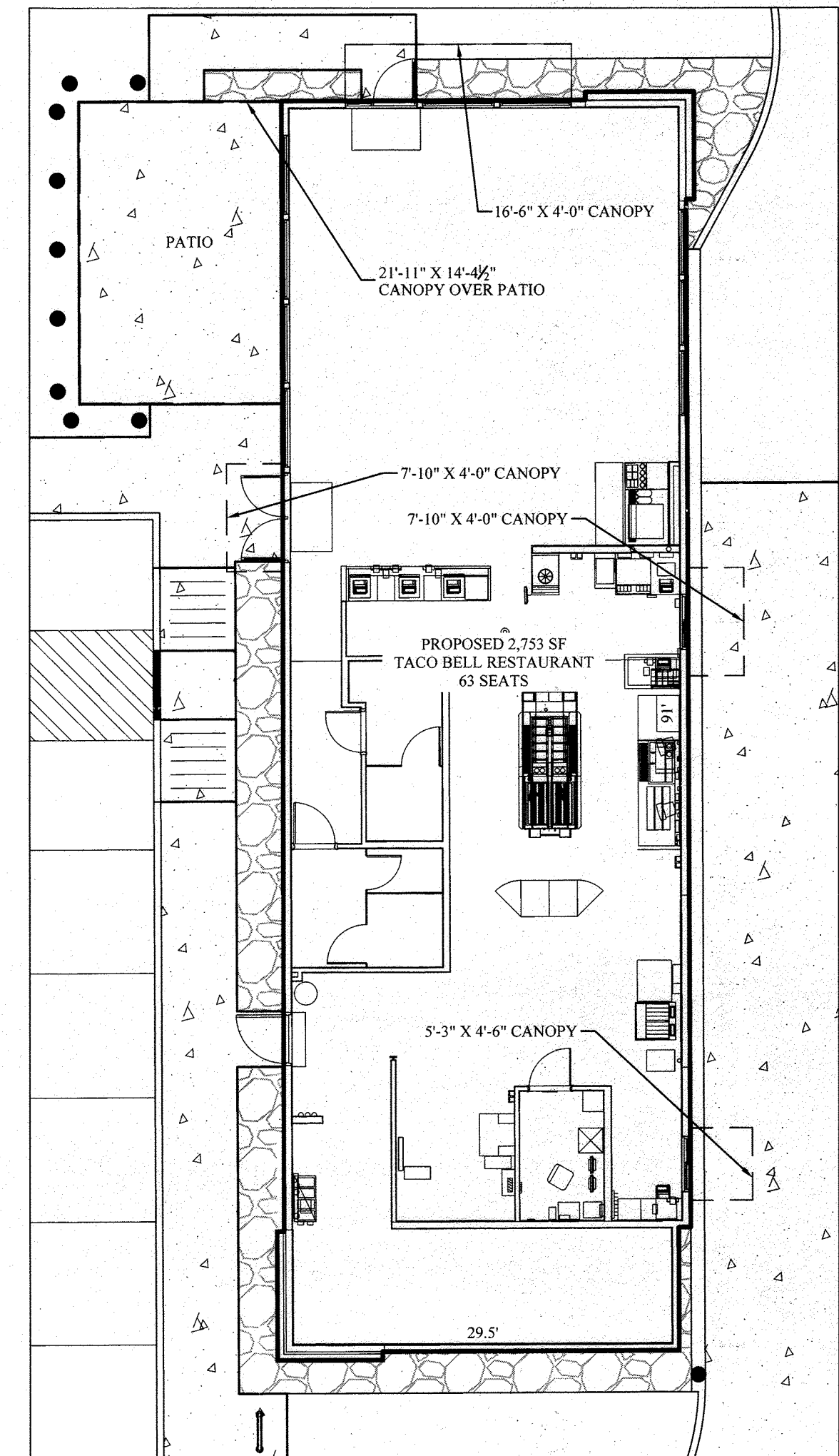
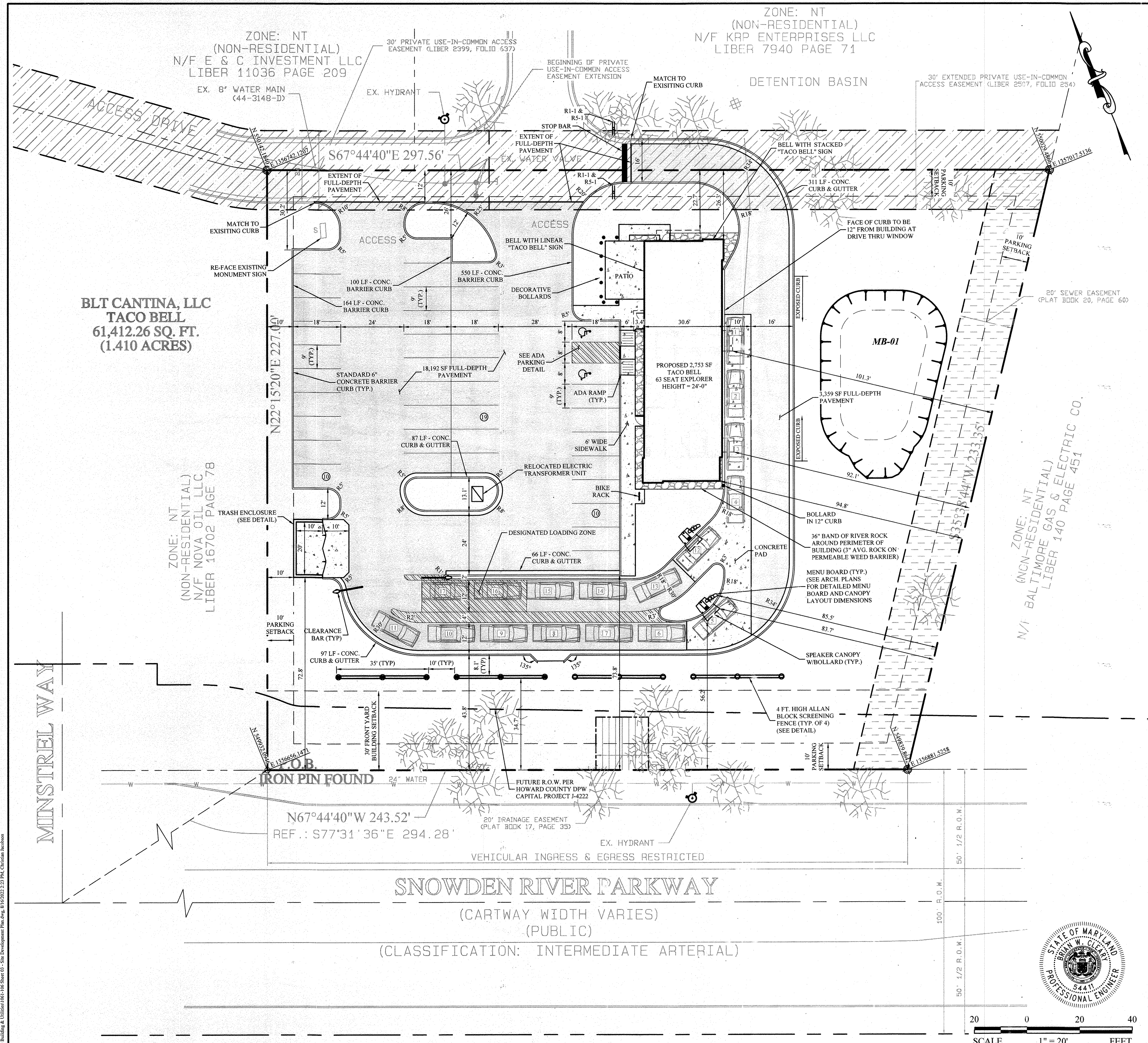
7102 MINSTREL WAY
MAP 42, GR 15, PARCEL 8419, A-33
ELECTION PRECINCT 613
COMMUNITY OF COLUMBIA
HOWARD COUNTY, MARYLAND

TACO BELL

SHEET TITLE: EXISTING CONDITIONS & DEMOLITION PLAN

SHEET NUMBER: 2 of 15





SYMBOLS LEGEND

	FULL-DEPTH ASPHALT PAVEMENT
	CONCRETE PAVEMENT
	MANHOLE
	INLET
	CURB
	CURB & GUTTER
	DEPRESSED CURB
	PROPERTY LINE
	PROPOSED MICROBIORETENTION
	ADA RAMP

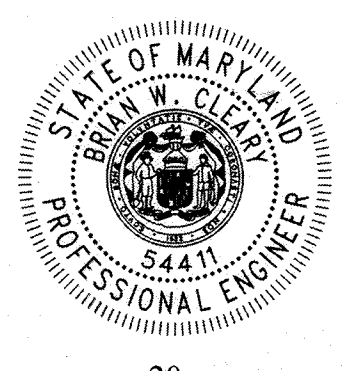
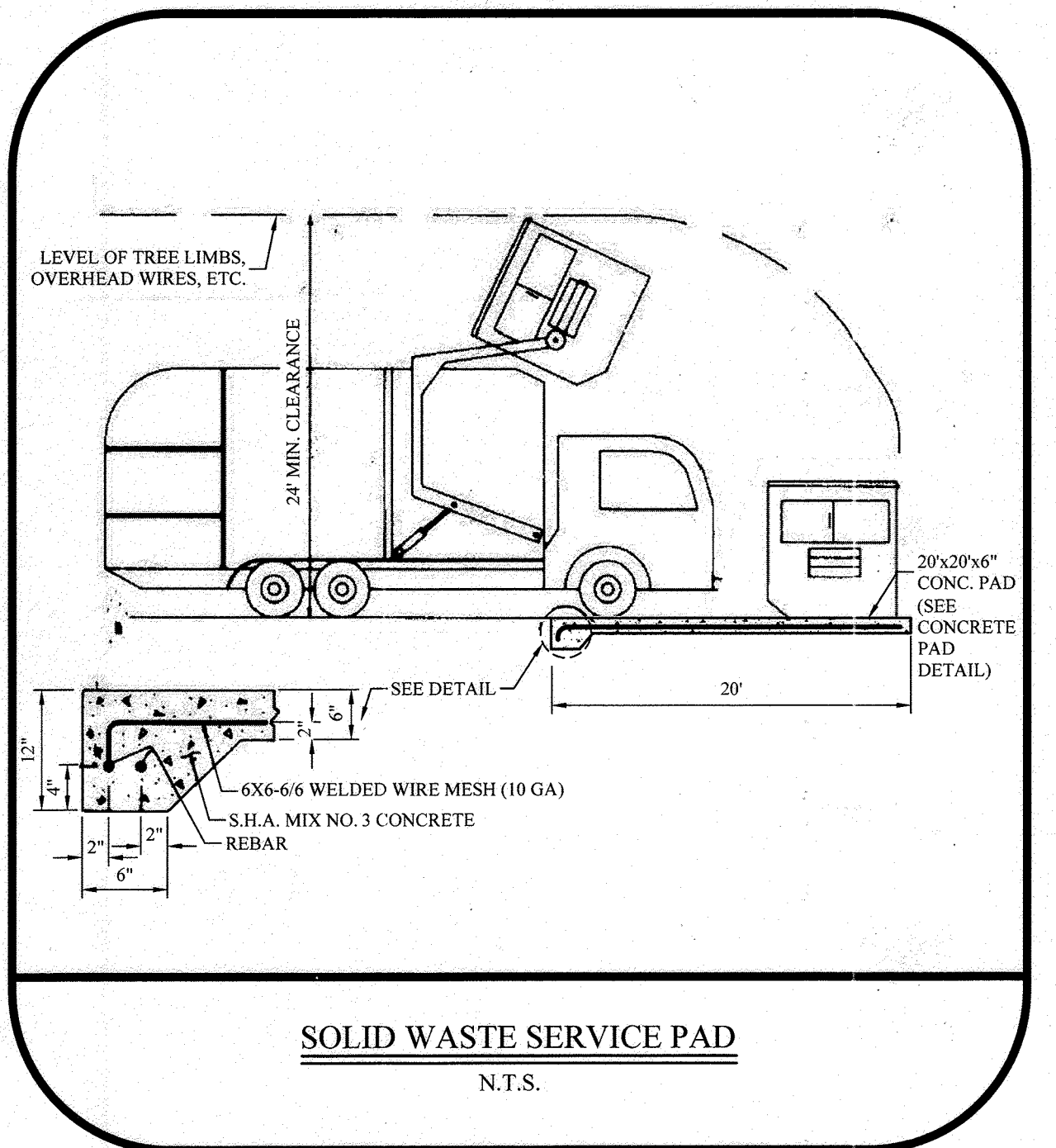
SHA STANDARDS

THE FOLLOWING STANDARDS (CONSTRUCTION AND TEMPORARY TRAFFIC CONTROL) ARE REQUIRED FOR THIS PROJECT:

R1-1 (SECTION 2B.05) STOP SIGN
R5-1 (SECTION 2B.37) DO NOT ENTER SIGN

FOR STANDARDS REFERRED TO ON THIS PLAN THE CONTRACTOR MUST GO TO THE BOOK OF STANDARDS WHICH WILL HAVE THE MOST CURRENT VERSION. THE BOOK OF STANDARDS CAN BE ACCESSED AT:
<http://apps.roads.maryland.gov/businesswithsha/bizstdsSpecs/DesManualStdPub/publicationonline/ohdbookstd/index.asp>

ALL ITEMS ARE TO BE CONSTRUCTED IN ACCORDANCE WITH THE CURRENT VERSION OF THE REFERENCED STANDARD AT THE TIME OF CONSTRUCTION.



APPROVED
PLANNING BOARD OF HOWARD COUNTY

DATE: 10/29/2020

APPROVED: DEPARTMENT OF PLANNING AND ZONING

9/14/22
DATE

9/26/22
DATE

9/26/22
DATE

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Engineering • Architecture • Planning

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Certificate of Authorization No. 24GA28131400

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Brian W. Cleary, P.E.
Professional Engineer
State of New Jersey • License # GE 51748
State of Pennsylvania • License # PE081074
State of Maryland • License # 54411

OWNER:
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AUBURN, CA 95603
(530) 885-2455

DEVELOPER:
BLT CANTINA, LLC
14 BALLGOMING ROAD
CONSHOHOCKEN, PA 19428
(610) 520-1000

REVISIONS		
NO.	DESCRIPTION	DATE
1	SHIFT BLDG. FOR 24" ON-LINE CLEARANCE (REMOVE PORTION OF DRIVE-THRU CURBING)	07/21/22

DESIGNED BY: CBJ
JOB NO: 1061-106

DRAWN BY: CBJ
DATE: 08/04/2021

CHECKED BY: BWC
SCALE: 1" = 20'

PRIOR SUBMITTAL DWG FILE REFERENCES:
ECP-19-006

TACO BELL

SITE PLAN

REVISOR: SITE DEVELOPMENT PLAN

7102 MINSTREL WAY
MAP 42, GRID 5, PARCEL 0410, A-33
ELECTION PRECINCT 6-13
COMMUNITY OF COLUMBIA
HOWARD COUNTY, MARYLAND

SHEET NUMBER:
3 of 15

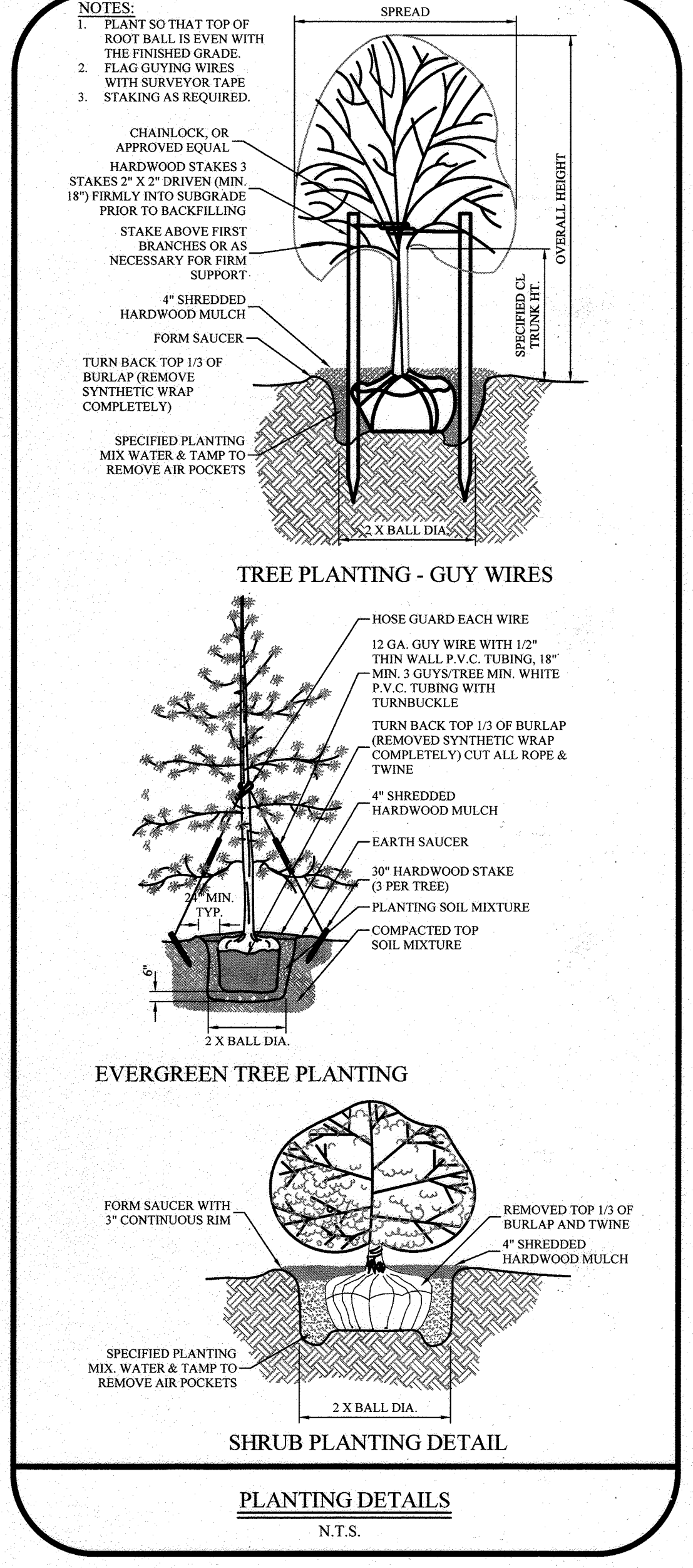
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ZONE: NT
(NON-RESIDENTIAL)
N/F KRP ENTERPRISES LLC
LIBER 7940 PAGE 71

ZONE: NT
(NON-RESIDENTIAL)
N/F E & C INVESTMENT LLC
LIBER 11036 PAGE 209

LANDSCAPE NOTES:

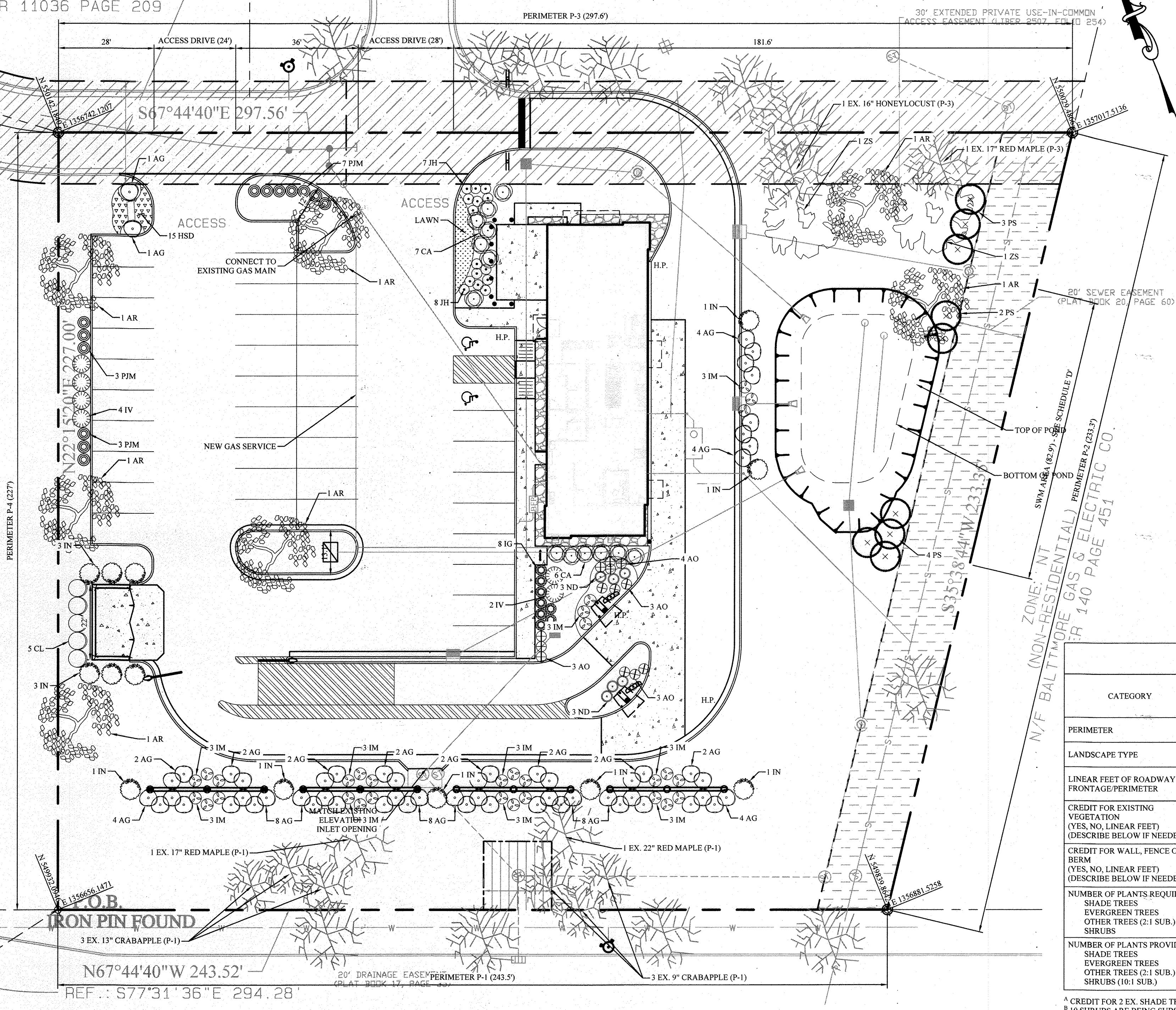
- ALL DISTURBED AREAS ARE TO BE STABILIZED WITH 6" OF TOPSOIL IN ADDITION TO BEING SEEDED WITH THE SEED MIXTURE NOTED ON THE SOIL EROSION PLANS (AFTER FINAL GRADING).
- ALL SEEDED AREAS SHALL BE LIMED AND FERTILIZED AT THE RATE DETERMINED BY SOIL ANALYSIS AND APPROVED BY THE MUNICIPAL ENGINEER OR THE SOIL CONSERVATION DISTRICT, OR AT THE RATES SPECIFIED ON THE SOIL EROSION AND SEDIMENT CONTROL AND DRAINAGE AREA PLAN.
- LOCATION OF PROPOSED PLANT MATERIAL MAY BE ADJUSTED IN FIELD BY THE LANDSCAPE CONTRACTOR ONLY WITH APPROVAL OF THE LANDSCAPE ARCHITECT OR APPROVING ENGINEER.
- ALL SHADE TREES SHALL BE PLANTED IN A DORMANT STATE.
- THE PLANTING HOLE BACKFILL MIX SHALL CONSIST OF 2 PARTS TOPSOIL, 1 PART PEAT MOSS, EXCEPT IN WET SOILS WHERE SAND WILL REPLACE THE PEAT MOSS.
- ALL PLANT MATERIAL SHALL BE WATERED UNTIL SOAKED IMMEDIATELY AFTER PLANTING.
- ALL MAINTENANCE SHALL BE PERFORMED IN ACCORDANCE WITH COMMONLY ACCEPTED HORTICULTURAL PRACTICES.
- SEE SOIL EROSION & SEDIMENT CONTROL PLAN FOR GRASS SEEDING MIXTURE, RATES OF APPLICATION AND/OR SOD COMPOSITION.
- ALL PLANTS AND PLANTING STANDARDS SHALL CONFORM TO OR SURPASS MINIMUM QUALITY STANDARDS AS DEFINED BY THE CURRENT EDITION OF AMERICAN STANDARD FOR NURSERY STOCK PUBLISHED BY AMERICANHORT.
- SHOULD A SPECIES BE UNAVAILABLE AT THE TIME OF INSTALLATION, ALL SUBSTITUTIONS ARE SUBJECT TO THE APPROVAL OF THE LANDSCAPE ARCHITECT OR APPROVING ENGINEER.
- IN THE EVENT THAT DISCREPANCIES OCCUR BETWEEN THE QUANTITIES OF PLANTS INDICATED ON THE PLANT LIST AND AS INDICATED ON THE PLAN, THE PLANT QUANTITIES ON THE PLAN SHALL GOVERN.
- ALL PAVING AND SUBBASE MATERIAL, INDICATED TO BE REMOVED, SHALL BE ENTIRELY REMOVED AND REPLACED WITH CLEAN FILL AND TOPSOIL. TOPSOIL SHALL BE INSTALLED TO A DEPTH AS STATED ABOVE.
- ALL PROPOSED PLANT MATERIAL SHALL BE FULLY GUARANTEED FOR TWO (2) YEARS FROM DATE OF INSTALLATION AND SHALL BE IN A HEALTHY AND VIGOROUS CONDITION. ANY PLANT MATERIAL WHICH DIES WITHIN THAT PERIOD SHALL BE REPLACED WITH THE SAME SIZE AND SPECIES OF PLANT MATERIAL DURING THE NEXT GROWING SEASON.
- ALL SHADE TREES TO BE PLANTED IN A MULCHED PLANTING RING. SHRUBS, PERENNIALS AND ORNAMENTAL TREES SHALL BE PLANTED IN PLANTING BEDS.
- AT THE TIME OF PLANT INSTALLATION, ALL SHRUBS AND TREES LISTED AND APPROVED ON THE LANDSCAPE PLAN, SHALL COMPLY WITH THE PROPER HEIGHT REQUIREMENT IN ACCORDANCE WITH THE HOWARD COUNTY LANDSCAPE MANUAL IN ADDITION, NO SUBSTITUTIONS OR RELOCATIONS OF THE REQUIRED PLANTINGS MAY BE MADE WITHOUT PRIOR REVIEW AND APPROVAL FROM THE DEPARTMENT OF PLANNING AND ZONING. ANY DEVIATION FROM THE APPROVED LANDSCAPE PLAN MAY RESULT IN DENIAL OR DELAY IN THE RELEASE OF LANDSCAPE SURETY UNTIL SUCH TIME AS ALL REQUIRED MATERIALS ARE PLANTED AND/OR REVISIONS ARE MADE TO THE APPLICABLE PLANS.
- THE OWNER, TENANTS AND/OR THEIR AGENTS SHALL BE RESPONSIBLE FOR MAINTENANCE OF THE REQUIRED LANDSCAPING INCLUDING BOTH PLANT MATERIAL AND BERMS, FENCES AND WALLS. ALL PLANT MATERIALS SHALL BE MAINTAINED IN GOOD GROWING CONDITION AND WHEN NECESSARY, REPLACED WITH NEW MATERIALS TO ENSURE CONTINUED COMPLIANCE WITH APPLICABLE REGULATIONS. ALL OTHER REQUIRED LANDSCAPING SHALL BE PERMANENTLY MAINTAINED IN GOOD CONDITION, AND WHEN NECESSARY, REPAIRED OR REPLACED.
- THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE PROVISIONS OF SECTION 16.12 OF THE HOWARD COUNTY CODE AND LANDSCAPE MANUAL. FINANCIAL SURETY FOR THE REQUIRED LANDSCAPING HAS BEEN POSTED AS PART OF THE DPW DEVELOPER'S AGREEMENT FOR 8 SHADE TREES @ \$300 EA, 24 EVERGREEN TREES @ \$150 EA, 162 SHRUBS @ \$30 EA, AND 140 LF LANDSCAPE WALLS @ \$20 PER LF FOR A TOTAL LANDSCAPE SURETY AMOUNT OF \$166800. NO ADDITIONAL STREET TREES ARE PROPOSED TO BE PLANTED AT THIS TIME DUE TO CONFLICT WITH HOWARD COUNTY DPW CAPITAL PROJECT J-4222.



BLT CANTINA, LLC
TACO BELL
61,412.26 SQ. FT.
(1.410 ACRES)

ZONE: NT
(NON-RESIDENTIAL)
N/F NOVA OIL LLC
LIBER 16702 PAGE 78

MINSTREL WAY



SCHEDULE A PERIMETER LANDSCAPE EDGE

CATEGORY	REAR OF STRUCTURE ORIENTED TO ROADWAY (SNOWDEN RIVER PARKWAY)	NON-RESIDENTIAL ADJACENT TO NON-RESIDENTIAL	NON-RESIDENTIAL ADJACENT TO NON-RESIDENTIAL	NON-RESIDENTIAL ADJACENT TO NON-RESIDENTIAL	TOTALS
	P-1	P-2	P-3	P-4	
PERIMETER					
LANDSCAPE TYPE	C	A	A	A	
LINEAR FEET OF ROADWAY FRONTAGE/PERIMETER	104 LF (244 LF - 140 LF PR SOLID SCREENING FENCE)	233.3 LF	245.6 LF (297.1 LF - 52 LF ACCESS DRIVE)	227 LF	
CREDIT FOR EXISTING VEGETATION (YES, NO, LINEAR FEET) (DESCRIBE BELOW IF NEEDED)	YES (2 EX. SHADE TREES, 6 SMALL DECID. TREES)	NO	YES (2 EX. SHADE TREES)	NO	
CREDIT FOR WALL, FENCE OR BERM (YES, NO, LINEAR FEET) (DESCRIBE BELOW IF NEEDED)	YES (140 LF - PROPOSED SOLID SCREENING FENCE)	NO	NO	NO	
NUMBER OF PLANTS REQUIRED					
SHADE TREES	3	4	4	4	13
EVERGREEN TREES	0	0	0	5	5
OTHER TREES (2:1 SUB.)	0	0	0	0	0
SHRUBS	0	0	0	0	0
NUMBER OF PLANTS PROVIDED					
SHADE TREES	0 ^a	1 ^c	2 ^b	4 ^d	13
EVERGREEN TREES	5	0	0	5	5
OTHER TREES (2:1 SUB.)	0	0	0	0	0
SHRUBS (10:1 SUB.)	10 ^b	0	0	10 ^e	34

^a CREDIT FOR 2 EX. SHADE TREES + 10 PR. SHRUBS TO FULFILL SHADE TREE REQUIREMENT
^b 10 SHRUBS ARE BEING SUBSTITUTED FOR 1 REQUIRED SHADE TREE FOR PERIMETER EDGE P-1
^c 1 PR. SHADE TREE + 6 PR. EVERGREEN TREES TO FULFILL SHADE TREE REQUIREMENT FOR PERIMETER EDGE P-2
^d 6 EVERGREEN TREES ARE BEING SUBSTITUTED FOR 3 REQUIRED SHADE TREES FOR PERIMETER EDGE P-2
^e 2 EX. SHADE TREES + 2 PR. SHADE TREE TO FULFILL SHADE TREE REQUIREMENT FOR PERIMETER EDGE P-4
^f 3 PR. SHADE TREES + 10 SHRUBS TO FULFILL SHADE TREE REQUIREMENT FOR PERIMETER EDGE P-4
^g 10 SHRUBS ARE BEING SUBSTITUTED FOR 1 REQUIRED SHADE TREE FOR PERIMETER EDGE P-4

SCHEDULE B PARKING LOT INTERNAL LANDSCAPING

NUMBER OF PARKING SPACES	39
NUMBER OF INTERNAL ISLANDS REQUIRED (1 PER 20 SPACES)	2
NUMBER OF INTERNAL ISLANDS PROVIDED	2
NUMBER OF SHADE TREES REQUIRED (1 PER 20 SPACES)	2
NUMBER OF TREES PROVIDED	2
SMALL DECID. OR EVERGREEN TREES (2:1 RATIO)	0

SCHEDULE D SWM AREA LANDSCAPING

LINEAR FEET OF PERIMETER	83
NUMBER OF TREES REQUIRED	2
EVERGREEN TREES (1/40 LF)	2
CREDIT FOR EXISTING VEGETATION (NO, YES AND %)	NO
CREDIT FOR OTHER LANDSCAPING (NO, YES AND %)	NO
NUMBER OF TREES PROVIDED	1 ^a
SHRUBS	4 ^a

^a 2 EVERGREEN TREES ARE BEING SUBSTITUTED FOR 1 REQUIRED SHADE TREE

DUMPSTER SCREENING SCHEDULE

ADJACENT PROPERTY	NON-RESIDENTIAL
REQUIRED SCREEN TYPE	C
LINEAR FEET OF DUMPSTER AREA	22
NUMBER OF TREES REQUIRED	1
SHADE TREES (1/40 LF)	1
EVERGREEN TREES (1/20 LF)	1
SHRUBS	0
NUMBER OF TREES PROVIDED	0 ^a
SHRUBS	5 ^a
EVERGREEN TREES	0

^a 2 EVERGREEN TREES ARE BEING SUBSTITUTED FOR 1 REQUIRED SHADE TREE

LANDSCAPE SCHEDULE

key	quantity	botanical name	common name	size	caliper	root	comments
AG	58	Abelia x grandiflora	Glossy Abelia	30" to 36"		Cans	Semi-Evergreen Shrub
AO	13	Azalea 'Hino-Crimson'	Hino-Crimson Azalea	18" to 24"		Cans	Deciduous Shrub
AR	6	Acer rubrum 'Red Sunset'	Red Sunset Red Maple	13" to 15"	2 1/2" to 3"	B & B	Decid. Tree, No Fall Ptg
CA	13	Clethra alnifolia	Summersweet	30" to 36"		Cans	Deciduous Shrub
CL	5	Cupressocyparis leylandii	Leyland Cypress	5' to 6'		B & B	Evergreen Tree
IG	8	Ilex glabra compacta	Compact Inkberry	30" to 36"		Cans	Evergreen Shrub
IM	30	Ilex x meserveae	Blue Princess Holly	42" to 48"		Cans (1 Male/4 Female)	Evergreen Shrub
IN	13	Ilex x Nellie	Nellie Stevens Holly	5' to 6'		Cans (1 Male/4 Female)	Evergreen Tree
IV	6	Ilex verticillata	Winterberry Holly	3' to 4'		5 Cans / Cans	Deciduous Shrub
JH	15	Juniperus horizontalis plumosa	Andorra Juniper	18" to 24"		Cans	Evergreen Groundcover
ND	6	Nandina domestica 'Harbour Dwarf'	Harbour Dwarf Nandina	18" to 24"		Cans	Semi-Evergreen Shrub
PS	6	Pinus strobus	Eastern White Pine	6' to 8'		B & B, Heavy	Evergreen Tree
PJM	13	Rhododendron P.J.M.	P.J.M. Rhododendron	24" to 30"		Cans	Evergreen Shrub
ZS	12	Zelkova serrata Village Green	Village Green Zelkova	12" to 14"	2 1/2" to 3"	B & B	Decid. Tree, No Fall Ptg

DEVELOPER'S/OWNER'S LANDSCAPE CERTIFICATE

I/WE CERTIFY THAT THE LANDSCAPING SHOWN ON THIS PLAN WILL BE DONE ACCORDING TO THE PLAN, SECTION 16.12 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL. I/WE FURTHER CERTIFY THAT UPON COMPLETION A LETTER OF LANDSCAPE INSTALLATION, ACCOMPANIED BY AN EXECUTED ONE YEAR GUARANTEE OF PLANT MATERIALS, WILL BE SUBMITTED TO THE DEPARTMENT OF PLANNING AND ZONING.

Signature: Robert J. Plante
DATE: _____

APPROVED: DEPARTMENT OF PLANNING AND ZONING

Chief, Development Engineering Division: [Signature] DATE: 4/22/22

Chief, Division of Land Development: [Signature] DATE: 4/22/22

Director, Department of Planning and Zoning: [Signature] DATE: 4/26/22

THE PETTIT GROUP, LLC
Engineering • Architecture • Planning

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[Signature] BRIAN W. CLEARY, PE
State of New Jersey • License # GE 51748
State of Pennsylvania • License # PE081074
State of Maryland • License # 54411

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DEVELOPER:
BLT CANTINA, LLC
14 BALLGOMINGO ROAD
CONSHOHOCKEN, PA 19428
(610) 520-1000

REVISIONS

NO.	DESCRIPTION	DATE
1	DRP BUILD FOR DL. COL LINE CLEARANCE REMOVE PORTION OF DRIVE THRU CURBING	07/21/22

DESIGNED BY: CBJ JOB NO: 1061-106
DRAWN BY: CBJ DATE: 08/04/2021
CHECKED BY: BWC SCALE: 1" = 20'
PRIOR SUBMITTAL DWP FILE REFERENCES: ECP-19-006

TACO BELL

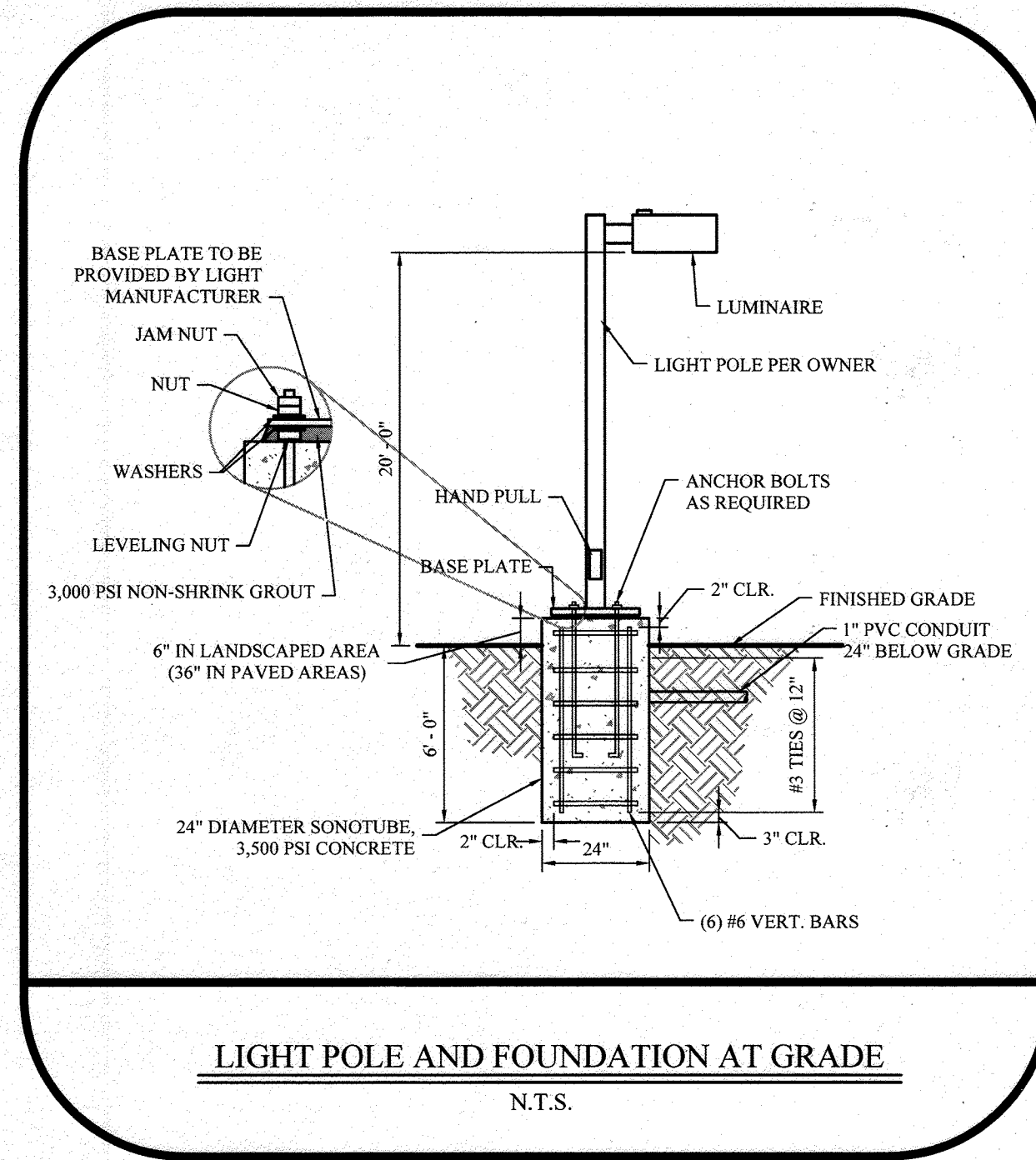
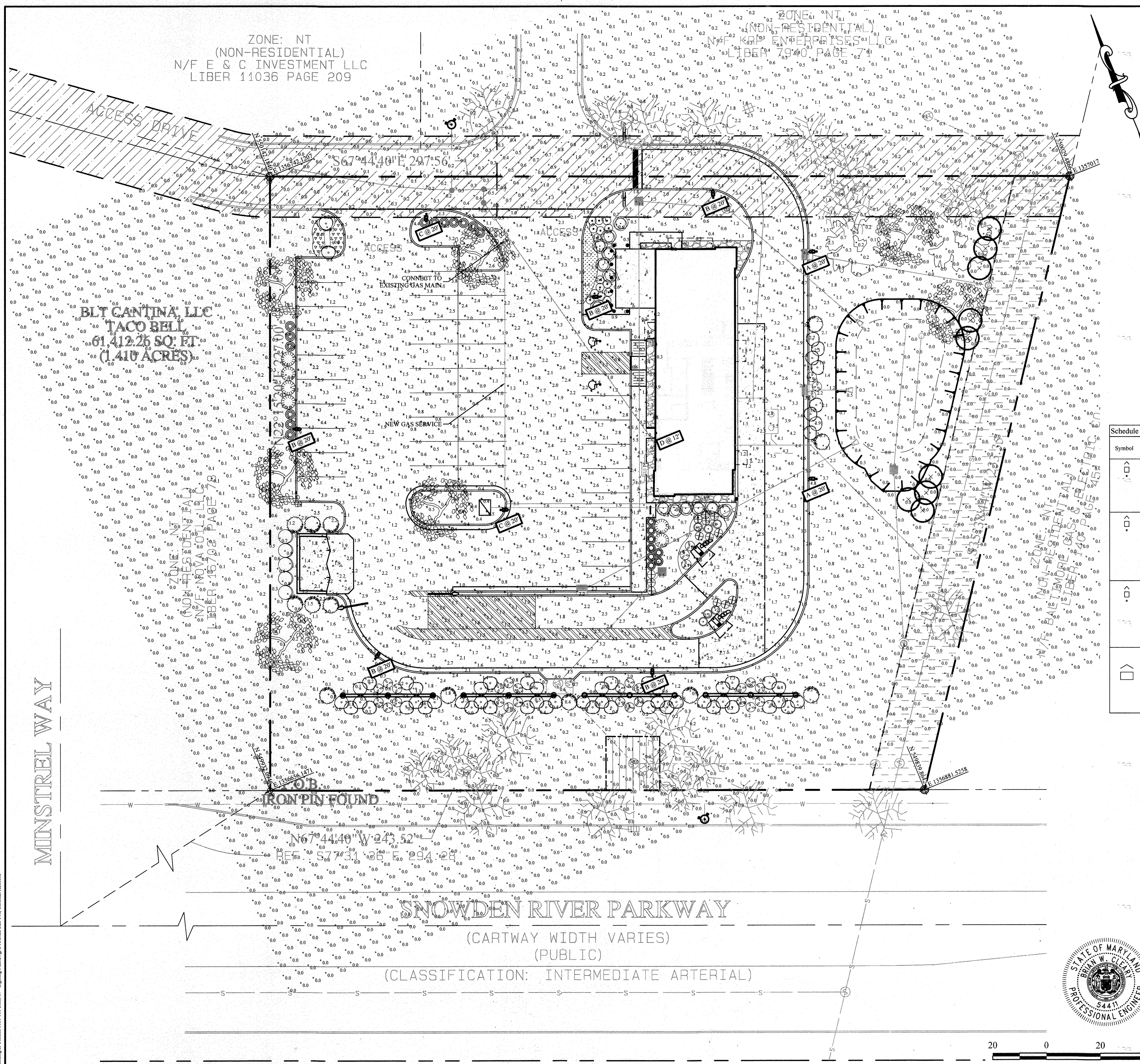
REVISOR: [Signature]
DATE: 08/04/2021

7102 MINSTREL WAY
MAP 42, GRID 5, PARCEL 0410, A-33
ELECTION PRECINCT 6-13
COMMUNITY OF COLUMBIA
HOWARD COUNTY, MARYLAND

LANDSCAPING PLAN

6 of 15

ZONE: NT
(NON-RESIDENTIAL)
N/F E & C INVESTMENT LLC
LIBER 11036 PAGE 209



LIGHT POLE AND FOUNDATION AT GRADE
N.T.S.

Symbol	Label	QTY	Catalog Number	Description	Lamp	Number Lamps	Lumens per Lamp	LLF	Wattage
▲	A	2	ALED2T78/480 - RWLED2T78/480 - RWLED2T78S/480 - WPLED2T78/480 (TYPE II)	CAST FINNED METAL HOUSING, 6 CIRCUIT BOARDS EACH WITH 1 LED, MOLDED 3-PIECE PLASTIC REFLECTOR WITH SPECULAR FINISH AND 1 APERTURE PER LED, CLEAR FLAT GLASS LENS IN CAST BROWN PAINTED METAL LENS FRAME.	SIX WHITE MULTI-CHIP LIGHT EMITTING DIODES (LEDS), TILTED 57-DEGREES FROM VERTICAL BASE-UP POSITION. ALED2T78N. ACTUAL PERFORMANCE MAY VARY. Sports, Street, Utility, Automotive, Hotel, Roadway Ramp Location, Wet Location, Outdoor, Commercial	6	1643	1	80.4
▲	B	5	ALED3T78N - RWLED3T78N - RWLED3T78S/480 - WPLED3T78N (TYPE III)	CAST FINNED METAL HOUSING, 6 CIRCUIT BOARDS EACH WITH 1 LED, MOLDED 3-PIECE PLASTIC REFLECTOR WITH SPECULAR FINISH AND 1 APERTURE PER LED, CLEAR FLAT GLASS LENS IN CAST WHITE PAINTED METAL LENS FRAME.	SIX WHITE MULTI-CHIP LIGHT EMITTING DIODES (LEDS), 2 LEDS TILTED 63-DEGREES FROM VERTICAL BASE-UP POSITION AND CANTED 75-DEGREES FROM STRAIGHT AHEAD, 2 LEDS TILTED 67-DEGREES FROM VERTICAL BASE-UP POSITION AND CANTED 68-DEGREES FROM STRAIGHT AHEAD, 2 LEDS TILTED 58-DEGREES FROM VERTICAL BASE-UP POSITION AND CANTED 40-DEGREES FROM STRAIGHT AHEAD. ALED3T78N. ACTUAL PERFORMANCE MAY VARY. Sports, Street, Utility, Automotive, Hotel, Roadway Ramp Location, Wet Location, Outdoor, Commercial	6	1490	1	75.9
▲	C	2	ALED4T78N - RWLED4T78N - RWLED4T78S/480 - WPLED4T78N (TYPE IV)	CAST FINNED METAL HOUSING, 6 CIRCUIT BOARDS EACH WITH 1 LED, MOLDED 3-PIECE PLASTIC REFLECTOR WITH SPECULAR FINISH AND 1 APERTURE PER LED, CLEAR FLAT GLASS LENS IN CAST BROWN PAINTED METAL LENS FRAME.	SIX WHITE MULTI-CHIP LIGHT EMITTING DIODES (LEDS), 2 LEDS TILTED 56-DEGREES FROM VERTICAL BASE-UP POSITION AND CANTED 18-DEGREES FROM STRAIGHT AHEAD, 2 LEDS TILTED 57-DEGREES FROM VERTICAL BASE-UP POSITION AND CANTED 16-DEGREES FROM STRAIGHT AHEAD, 2 LEDS TILTED 57-DEGREES FROM VERTICAL BASE-UP POSITION AND CANTED 22-DEGREES FROM STRAIGHT AHEAD. Sports, Street, Utility, Automotive, Hotel, Roadway Ramp Location, Wet Location, Outdoor, Commercial	6	1634	1	76.2
▲	D	1	SLIM18	CAST BROWN PAINTED FINNED METAL HOUSING, 1 CIRCUIT BOARD WITH 1 LED, MOLDED PLASTIC REFLECTOR WITH SPECULAR FINISH, CLEAR FLAT GLASS LENS IN CAST BROWN PAINTED METAL LENS FRAME.	ONE WHITE MULTI-CHIP LIGHT EMITTING DIODE (LED), AIMED 20-DEGREES FROM VERTICAL BASE-UP POSITION. SLIM18Y. ACTUAL PERFORMANCE MAY VARY. Area, Canopy, Deck, Educational, Facade, Government, Healthcare, Hospitality, Hotel, Industrial, Institutional, Library, Manufacturing, Marine, Medical, Office, Parking, Parks, Pathway Pedestrian, Pool, Recreation, Residential, Retail, Site, Tunnel, Underpass, Utility, Walkway Warehouse, Water Treatment, Direct, Emergency, Security	1	2564	1	21

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Calc Zone #1	+	0.7 fc	8.5 fc	0.0 fc	N/A	N/A
DRIVE THRU	×	2.7 fc	5.5 fc	0.8 fc	6.9:1	3.4:1
PARKING	✱	2.2 fc	8.5 fc	0.4 fc	21.3:1	5.5:1

LIGHTING NOTES:

- THIS PLAN IS TO BE UTILIZED FOR LIGHTING PURPOSES ONLY. REFER TO ELECTRICAL ENGINEERING PLANS FOR CIRCUITRY DESIGN AND SPECIFICATIONS.
- ALL SUBSTITUTIONS TO THE FIXTURES SPECIFIED MUST BE ACCOMPANIED BY A HORIZONTAL PHOTOMETRIC STUDY DEMONSTRATING THAT THE FIXTURE(S) IN QUESTION WILL MEET THE DESIGN INTENT OF THIS PLAN. SUBSTITUTION REQUESTS WITHOUT A PHOTOMETRIC STUDY WILL BE REJECTED.
- REFER TO SHEET #14 FOR LIGHTING FIXTURE, SHIELD, AND POLE SPECIFICATIONS.



SCALE 1" = 20' FEET

APPROVED PLANNING BOARD OF HOWARD COUNTY
DATE 10/29/2020

APPROVED: DEPARTMENT OF PLANNING AND ZONING
CHIEF, DEVELOPMENT ENGINEERING DIVISION NY 9-19-22
CHIEF, DIVISION OF LAND DEVELOPMENT vcs 9/26/22
DIRECTOR, DEPARTMENT OF PLANNING AND ZONING 9-26-22

THE PETTIT GROUP, LLC
Engineering • Architecture • Planning
497 Center Street • Sewell, NJ 08080
Tel: 856-464-9600 Fax: 856-464-9606
www.pettitgroup.com
Certificate of Authorization No. 24GA28131400

ALL DOCUMENTS PREPARED BY THE PETTIT GROUP, LLC ARE INSTRUMENTS OF SERVICE IN RESPECT TO THE PROJECT. THEY ARE NOT INTENDED OR REPRESENTED TO BE SUITABLE FOR REUSE BY OWNER OR OTHERS ON EXTENSIONS OF THE PROJECT OR ANY OTHER PROJECT. ANY REUSE WITHOUT WRITTEN PERMISSION BY THE PETTIT GROUP, LLC FOR THE SPECIFIC PURPOSE INTENDED WILL BE AT THE OWNERS SOLE RISK AND WITHOUT LIABILITY OR LEGAL ENFORCEMENT TO THE PETTIT GROUP, LLC AND OWNER SHALL INDEMNIFY AND HOLD HARMLESS THE PETTIT GROUP, LLC FROM CLAIMS, DAMAGES, LOSSES AND EXPENSES ARISING OUT OF OR RESULTING THEREFROM.

THE CONTRACTOR MUST VERIFY ALL DIMENSIONS PRIOR TO PROCEEDING WITH THE WORK AND NOTIFY THE OWNER OF ANY DISCREPANCIES. THE CONTRACTOR SHALL UNDERSTAND THAT THE LOCATION OF UTILITIES SHOWN ON THE PLANS ARE ONLY APPROXIMATE. IT IS IMPORTANT TO NOTE THAT NOT ALL UTILITIES MAY BE SHOWN ON THE PLANS. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO LOCATE ALL UTILITIES (AERIAL AND BURIED) PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE TO CONTACT THE UNDERGROUND UTILITY MARK-OUT SERVICE (1-800-272-0800) PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE TO REPAIR (AT HIS EXPENSE) ALL DAMAGED UTILITIES RESULTING FROM HIS WORK.

PROFESSIONAL CERTIFICATION
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND LICENSE NUMBER 54411.

Brian W. Cleary, P.E.
Professional Engineer
State of New Jersey • License # GE 51748
State of Pennsylvania • License # PE081074
State of Maryland • License # 54411

OWNER:
TACO BILL OF BALTIMORE, INC.
11879 KEMPER ROAD, SUITE 11
AUBURN, CA 95603
(530) 885-2455

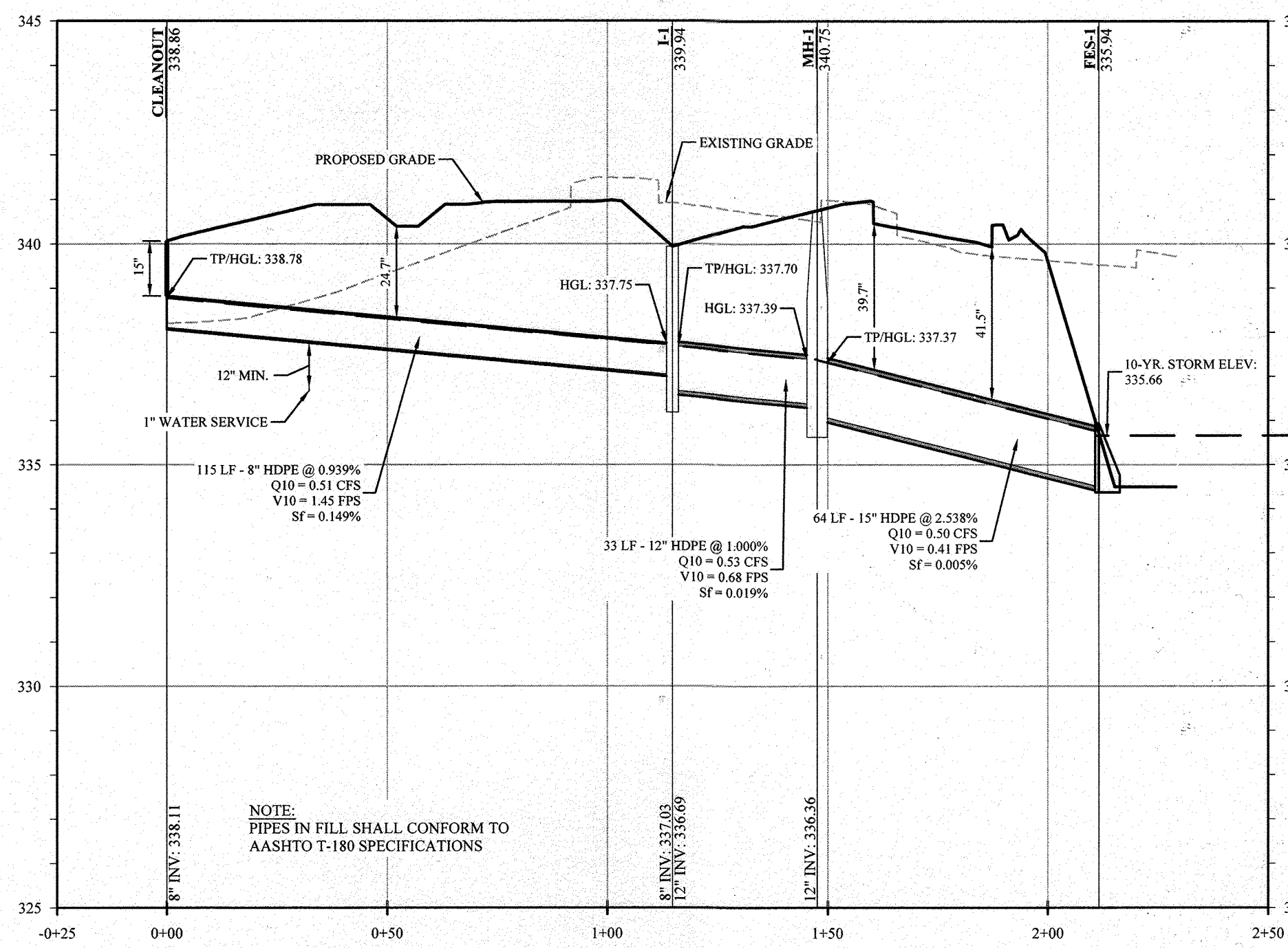
DEVELOPER:
BLT CANTINA, LLC
14 BALLGOMINGO ROAD
CONSHOHOCKEN, PA 19428
(610) 520-1000

NO.	DESCRIPTION	DATE
1	SHIFT BLDG. FOR EX. GAS LINE CLEARANCE; REMOVE PORTION OF DRIVE-THRU CURBING	09/21/22

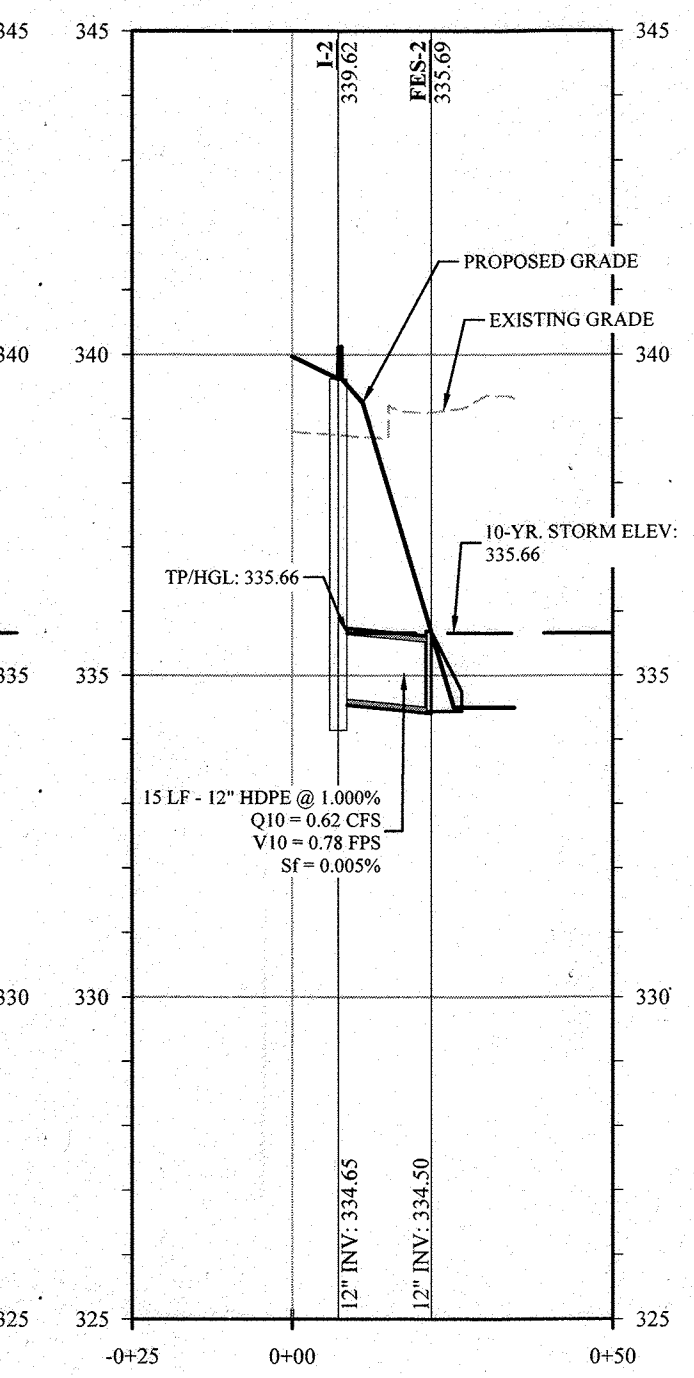
DESIGNED BY: CBJ
JOB NO: 1061-106
DRAWN BY: CBJ
DATE: 08/04/2021
CHECKED BY: BWC
SCALE: 1" = 20'
PRIOR SUBMITTAL DP2 FILE REFERENCES: ECP-19-006

PROJECT: TACO BELL
SHEET TITLE: LIGHTING PLAN
SHEET NUMBER: 7 of 15
REVISED SITE DEVELOPMENT PLAN
7102 MINSTREL WAY
MAP 42, GRID 5, PARCEL 0410, A-33
ELECTION PRECINCT 6-13
COMMUNITY OF COLUMBIA
HOWARD COUNTY, MARYLAND

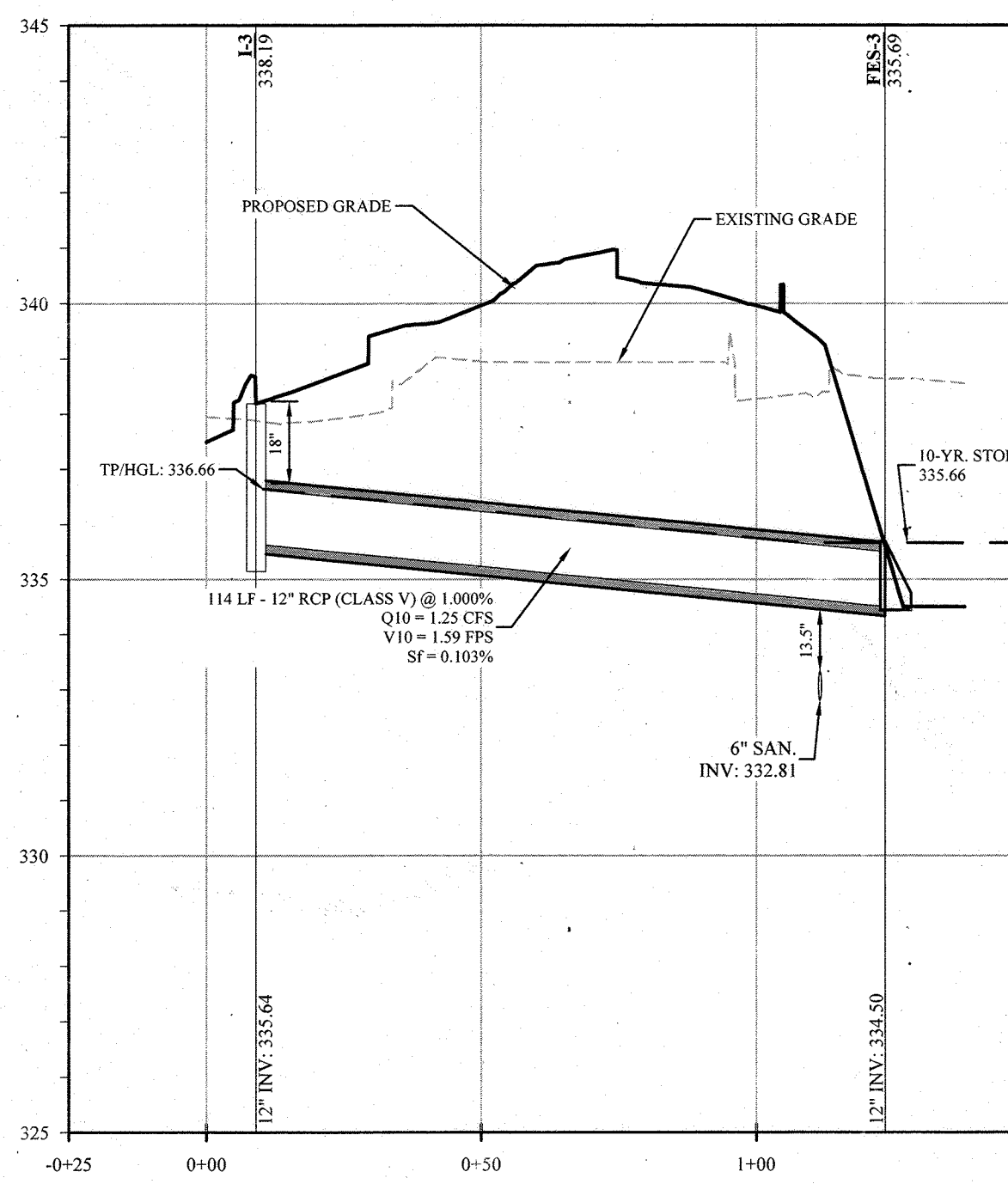
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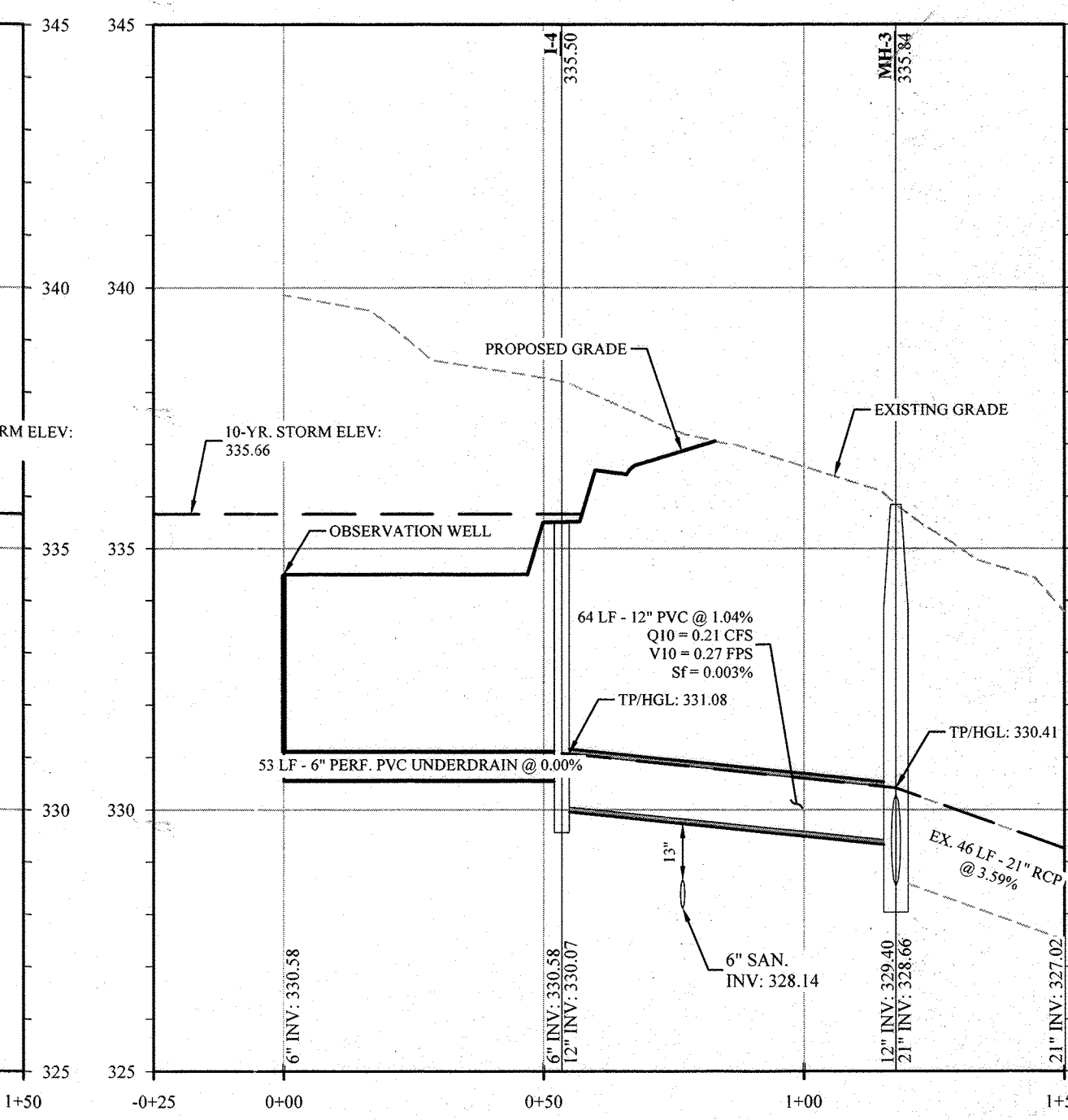
PROFILE OF ROOF LEADER TO FES-1
HORIZONTAL SCALE: 1" = 30'
VERTICAL SCALE: 1" = 3'



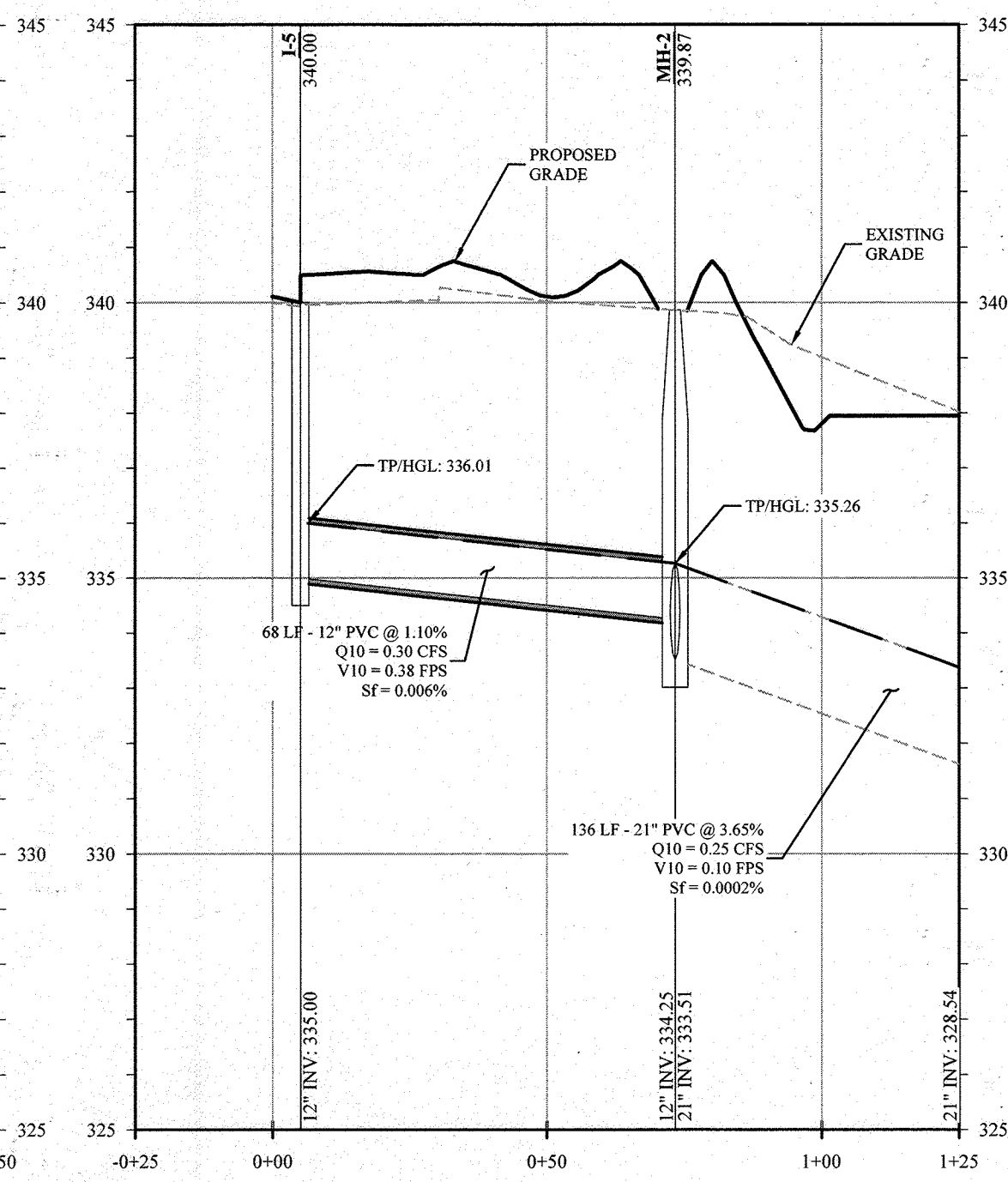
PROFILE OF I-2 TO FES-2
HORIZONTAL SCALE: 1" = 30'
VERTICAL SCALE: 1" = 3'



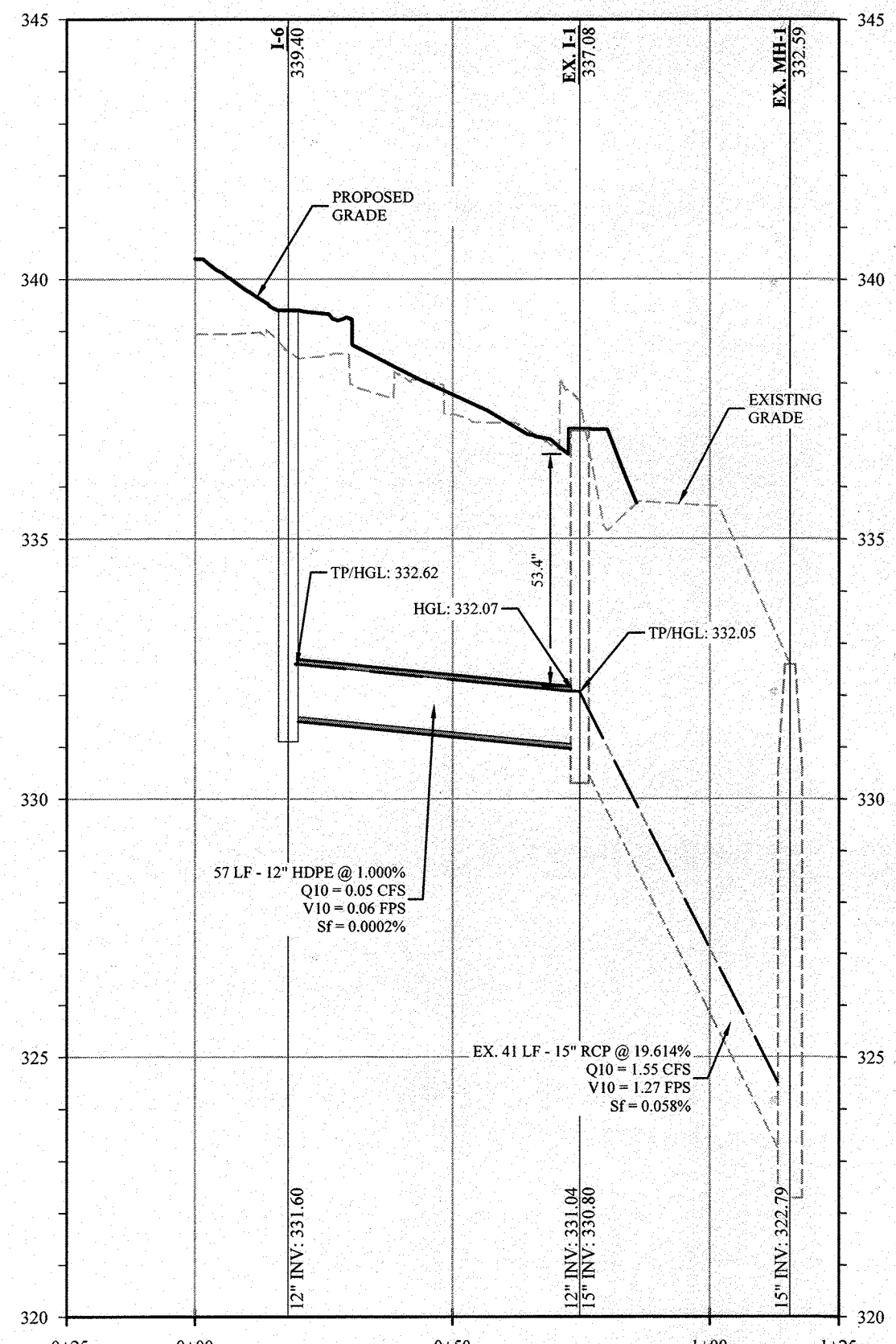
PROFILE OF I-3 TO FES-3
HORIZONTAL SCALE: 1" = 30'
VERTICAL SCALE: 1" = 3'



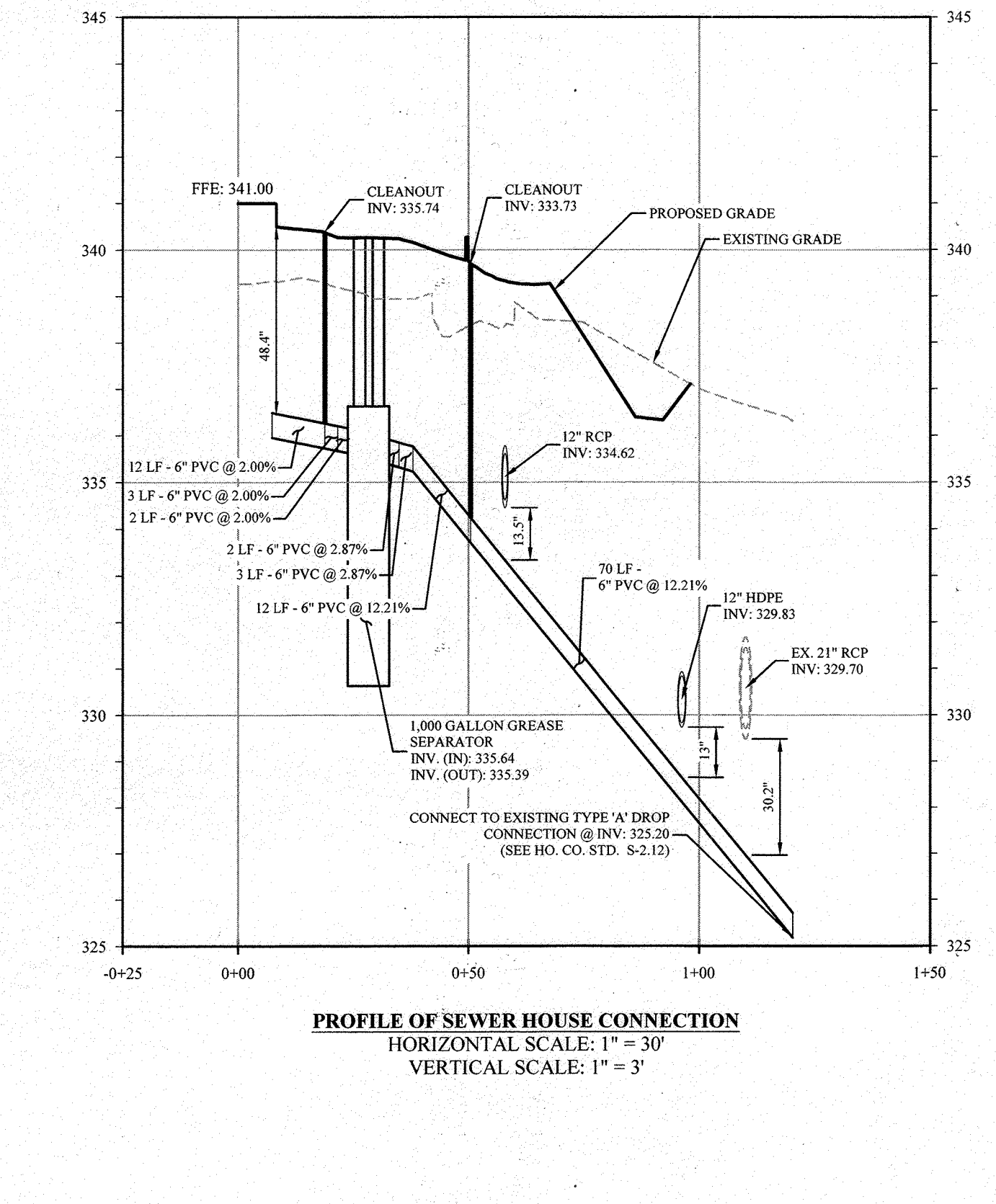
PROFILE OF MB-01 TO EX. STORM
HORIZONTAL SCALE: 1" = 30'
VERTICAL SCALE: 1" = 3'



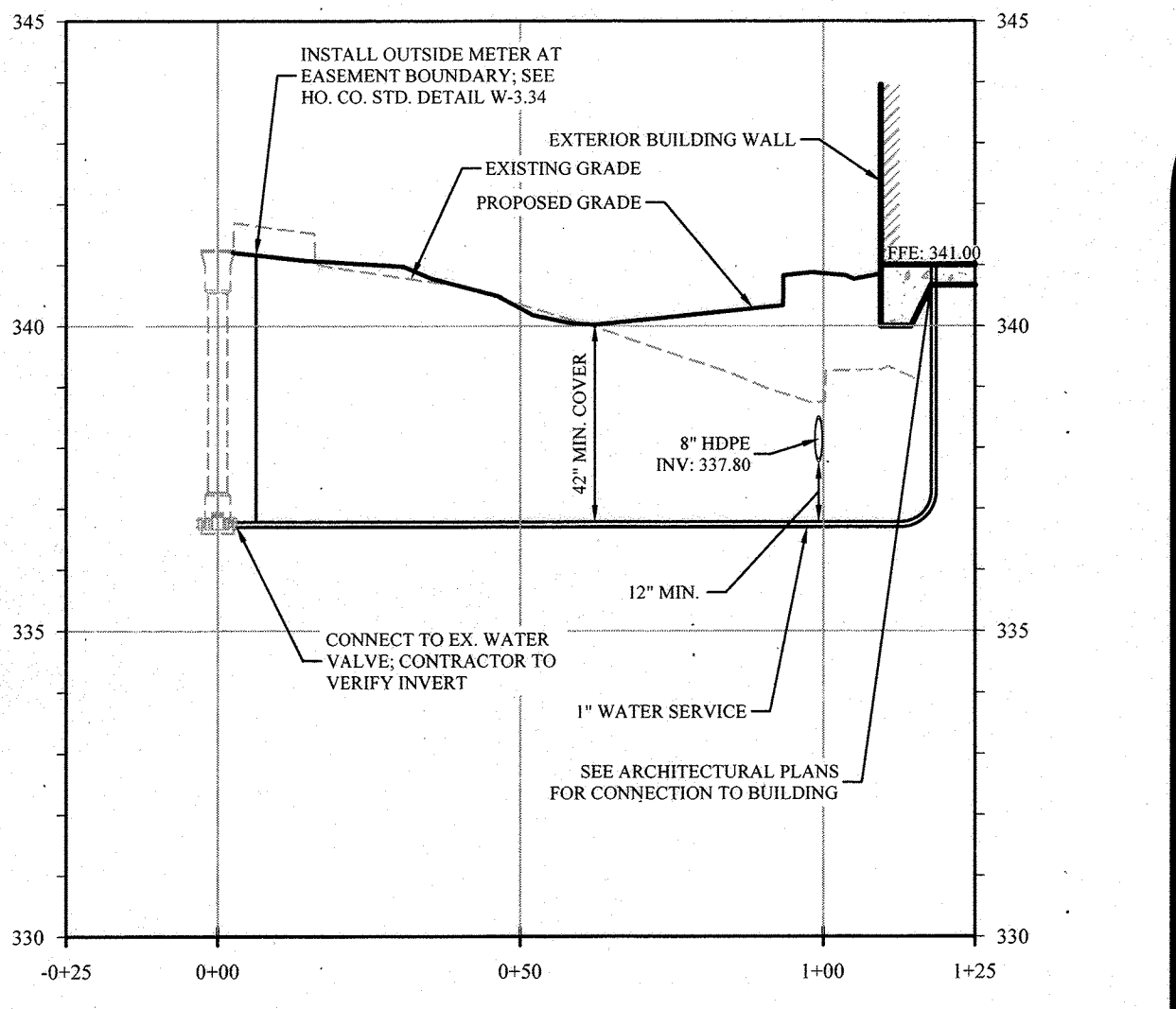
PROFILE OF I-5 TO MH-2
HORIZONTAL SCALE: 1" = 30'
VERTICAL SCALE: 1" = 3'



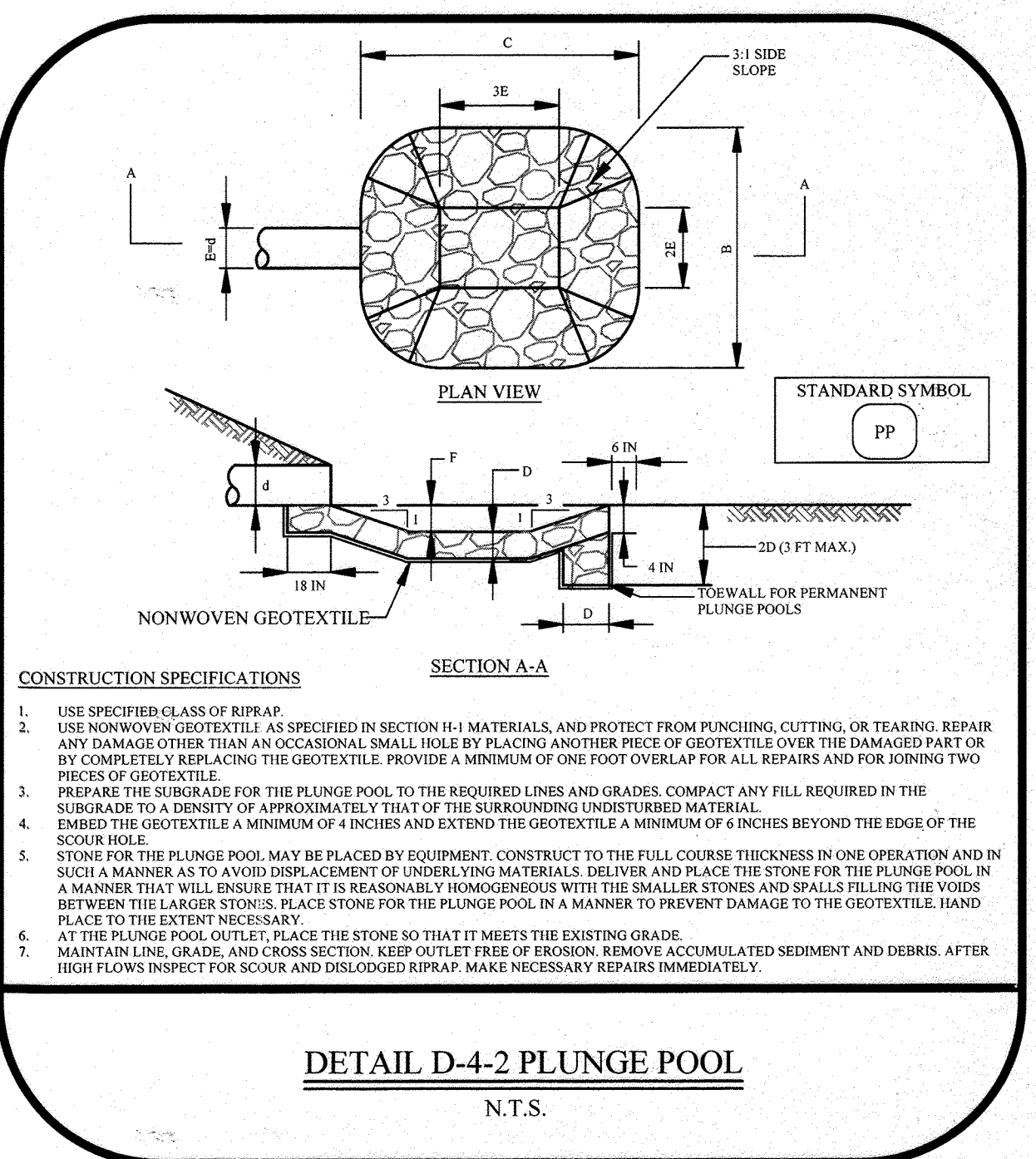
PROFILE OF I-6 TO EX. MH-1
HORIZONTAL SCALE: 1" = 30'
VERTICAL SCALE: 1" = 3'



PROFILE OF SEWER HOUSE CONNECTION
HORIZONTAL SCALE: 1" = 30'
VERTICAL SCALE: 1" = 3'



PROFILE OF WATER HOUSE CONNECTION
HORIZONTAL SCALE: 1" = 30'
VERTICAL SCALE: 1" = 3'



DETAIL D-4-2 PLUNGE POOL
N.T.S.

MDE PLUNGE POOL SIZING (MARYLAND SESC MANUAL D-4-2)

10 Year Storm
Structure: FES-1

DESIGN CRITERIA:
Design Storm: 10 yr
Flow Rate, Q_m: 0.50 CFS
Culvert Horiz. Dia.: 1.25 Ft
Tailwater Depth: 1.16 Ft
Filter Fabric Used? Y (Y/N)
D(50) max: 5.5 in

PLUNGE POOL DIMENSIONS:
Culvert Vert. Dia.: 1.25 Ft
Depth of Hole: 0.63 Ft
Length of Bottom: 3.75 Ft
Width of Bottom: 2.50 Ft
Length of Plunge Pool: 7.50 Ft
Width of Plunge Pool: 6.25 Ft
D(50) calc: 0.08 in
D(50) to be used: 5.50 in
Thickness: 11 in

Structure: FES-2

DESIGN CRITERIA:
Design Storm: 10 yr
Flow Rate, Q_m: 0.62 CFS
Culvert Horiz. Dia.: 1.00 Ft
Tailwater Depth: 1.16 Ft
Filter Fabric Used? Y (Y/N)
D(50) max: 5.5 in

PLUNGE POOL DIMENSIONS:
Culvert Vert. Dia.: 1.00 Ft
Depth of Hole: 0.50 Ft
Length of Bottom: 3.00 Ft
Width of Bottom: 2.00 Ft
Length of Plunge Pool: 6.00 Ft
Width of Plunge Pool: 5.00 Ft
D(50) calc: 0.07 in
D(50) to be used: 5.50 in
Thickness: 11 in

Structure: FES-3

DESIGN CRITERIA:
Design Storm: 10 yr
Flow Rate, Q_m: 1.25 CFS
Culvert Horiz. Dia.: 1.00 Ft
Tailwater Depth: 1.16 Ft
Filter Fabric Used? Y (Y/N)
D(50) max: 5.5 in

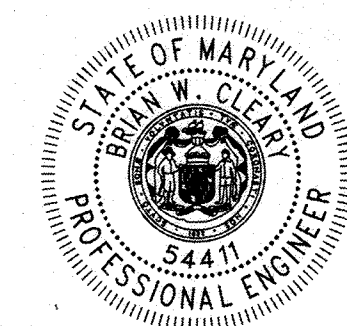
PLUNGE POOL DIMENSIONS:
Culvert Vert. Dia.: 1.00 Ft
Depth of Hole: 0.50 Ft
Length of Bottom: 3.00 Ft
Width of Bottom: 2.00 Ft
Length of Plunge Pool: 6.00 Ft
Width of Plunge Pool: 5.00 Ft
D(50) calc: 0.17 in
D(50) to be used: 5.50 in
Thickness: 11 in

STORM STRUCTURE SCHEDULE

NO.	TYPE	INV. IN	INV. OUT	TC ELEV.*	REMARKS
FES-1	HDPE FLARED END SECTION	334.50	335.94		SEE DETAIL SHEET #12
FES-2	HDPE FLARED END SECTION	334.50	335.69		SEE DETAIL SHEET #12
FES-3	HDPE FLARED END SECTION	334.50	335.69		SEE DETAIL SHEET #12
I-1	YARD INLET	337.03	336.69	339.94	HO. CO. STD. D-4-1.2
I-2	TYPE 'S' COMB. INLET	334.65	339.62		HO. CO. STD. D-4-2.6
I-3	TYPE 'S' COMB. INLET	335.64	338.19		HO. CO. STD. D-4-2.6
I-4	YARD INLET	330.58	330.07	335.50	HO. CO. STD. D-4-1.2
I-5	TYPE 'S' COMB. INLET	335.00	340.00		HO. CO. STD. D-4-2.6
I-6	YARD INLET	331.60	339.40		HO. CO. STD. D-4-1.2
MH-1	48" MANHOLE	336.36	336.13	340.75	HO. CO. STD. G-5-1.2
MH-2	DOGHOUSE MANHOLE	333.51	333.51	339.87	HO. CO. STD. G-5-1.4
MH-3	DOGHOUSE MANHOLE	328.54	328.66	335.84	HO. CO. STD. G-5-1.4

PIPE TABLE

SIZE/MAT.	LENGTH (LF)
8" HDPE	108
12" HDPE	351
15" HDPE	64
4" PVC	5
4" PERF. PVC	34
6" PVC	133
6" PERF. PVC	53



NOTE:
EXISTING TOPOGRAPHY BASED ON AN ALTAN/SPS LAND TITLE SURVEY PERFORMED BY MERILYN J. JENKINS & ASSOCIATES, INC. FOR BLT CANTINA, LLC, DATED 07/01/16, LAST REVISED 11/03/17.

APPROVED
PLANNING BOARD OF HOWARD COUNTY

DATE: 10/29/2020

APPROVED: DEPARTMENT OF PLANNING AND ZONING

CHIEF, DEVELOPMENT ENGINEERING DIVISION: 9/22/22

CHIEF, DIVISION OF LAND DEVELOPMENT: 9/26/22

DIRECTOR, DEPARTMENT OF PLANNING AND ZONING: 9/26/22

THE PETTIT GROUP, LLC
Engineering • Architecture • Planning

497 Center Street • Sewell, NJ 08080
Tel: 856-464-9600 Fax: 856-464-9606
www.pettitgroup.com
Certificate of Authorization No. 24GA2813400

PROFESSIONAL CERTIFICATION

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND LICENSE NUMBER 54411.

Brian W. Cleary, PE
Professional Engineer
State of New Jersey • License # GE 51748
State of Pennsylvania • License # PE081074
State of Maryland • License # 54411

OWNER:
TACO BELL OF BALTIMORE, INC.
11879 KEMPER ROAD, SUITE 11
AUBURN, CA 95603
(530) 885-2455

DEVELOPER:
BLT CANTINA, LLC
14 BALLGOMMING ROAD
CONSHOHOCKEN, PA 19428
(610) 520-1000

REVISIONS

NO.	DESCRIPTION	DATE
1	SHORT BLUES FOR 12" GALLON LINE CLEARANCE REMOVE PORTION OF DRIVE-TRU CURBING	07/21/21

DESIGNED BY: CBJ
JOB NO.: 1061-106

DRAWN BY: CBJ
DATE: 08/04/2021

CHECKED BY: BWC
SCALE: AS NOTED

PRIOR SUBMITTAL DWP FILE REFERENCES:
ECP-19-006

TACO BELL

REVISOR SITE DEVELOPMENT PLAN

7102 MINSTREL WAY
MAP 42, GRID 5, PARCEL 0410, A-33
ELECTION PRECINCT 6-13
COMMUNITY OF COLUMBIA
HOWARD COUNTY, MARYLAND

UTILITY PROFILES

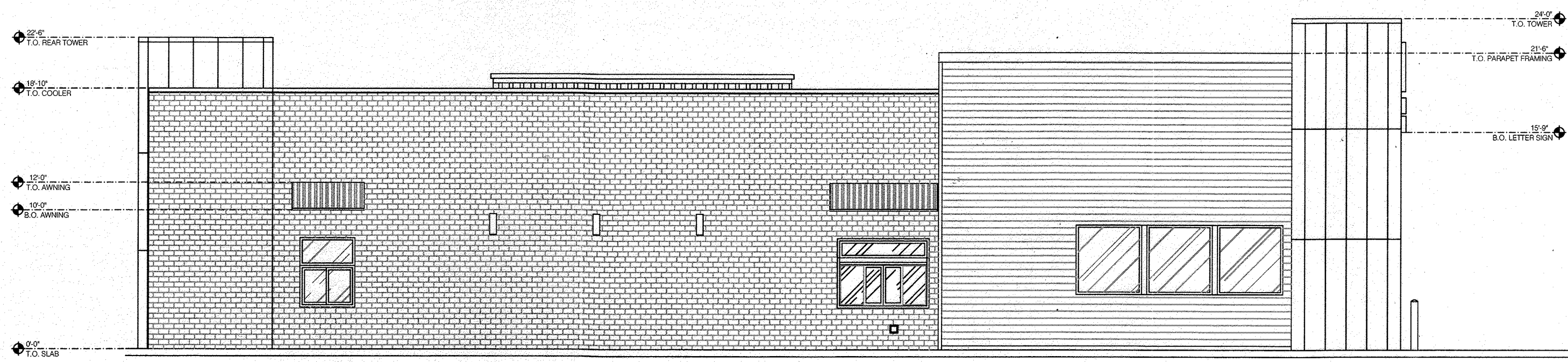
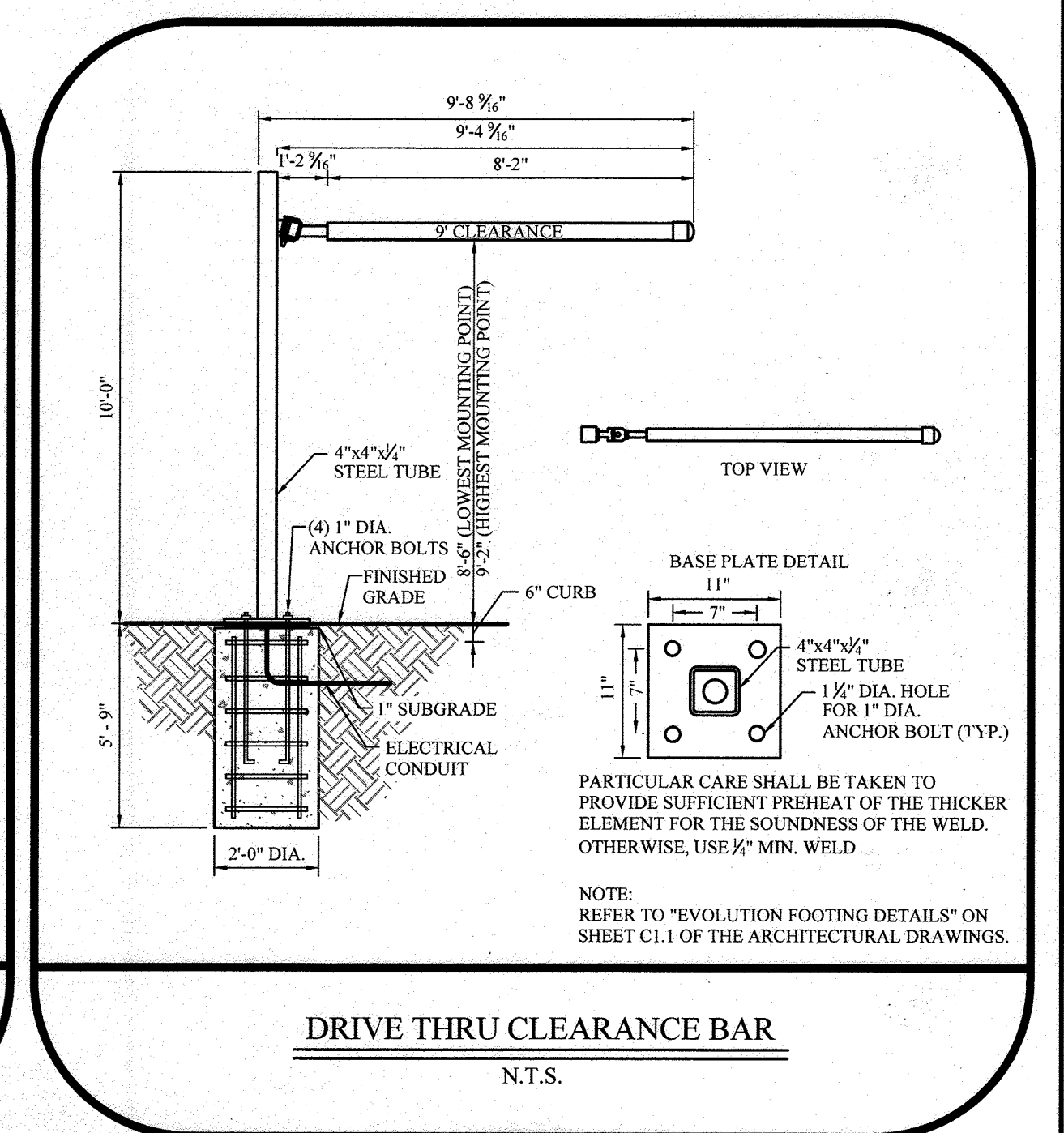
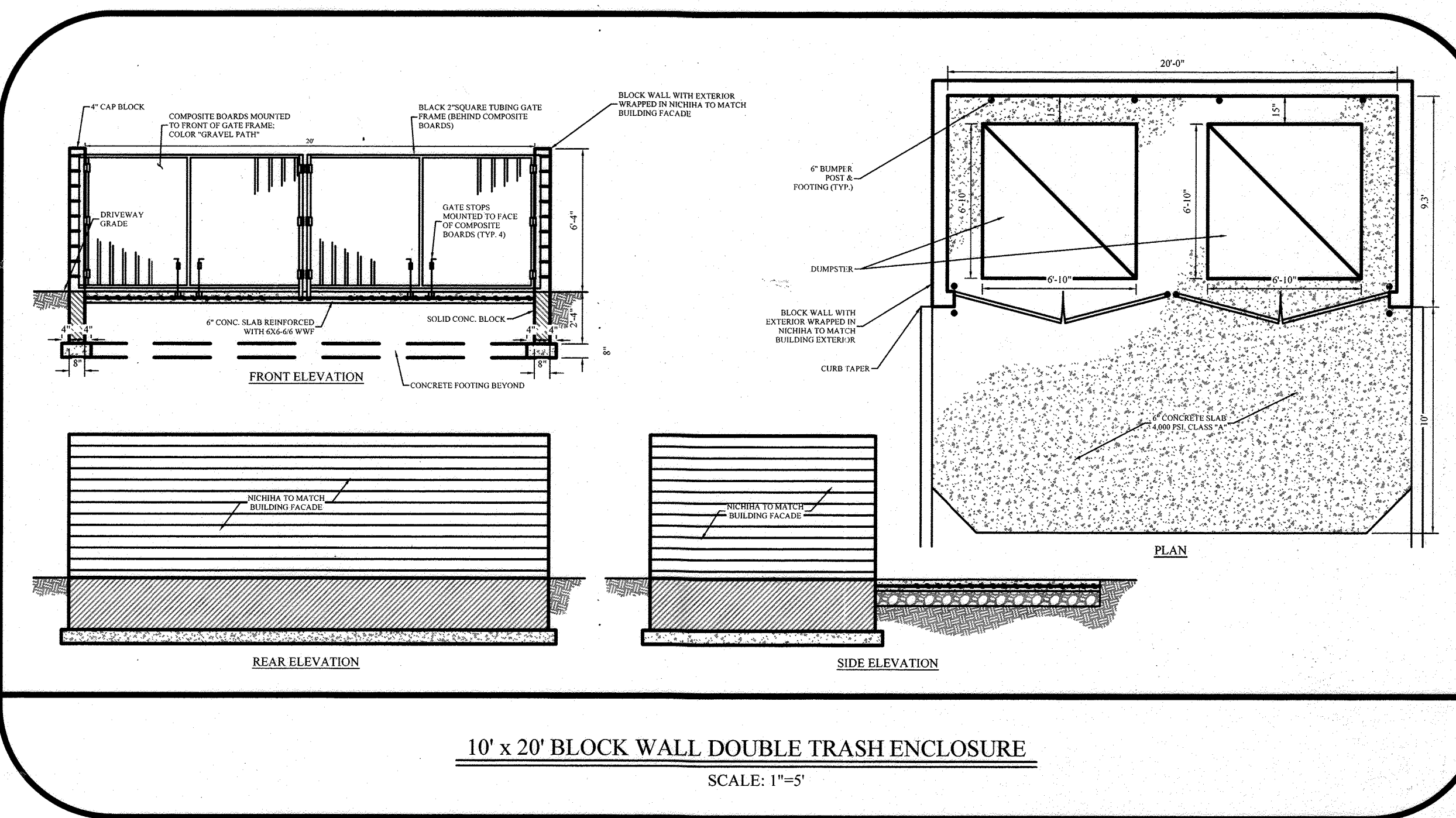
SHEET NUMBER: 10 of 15



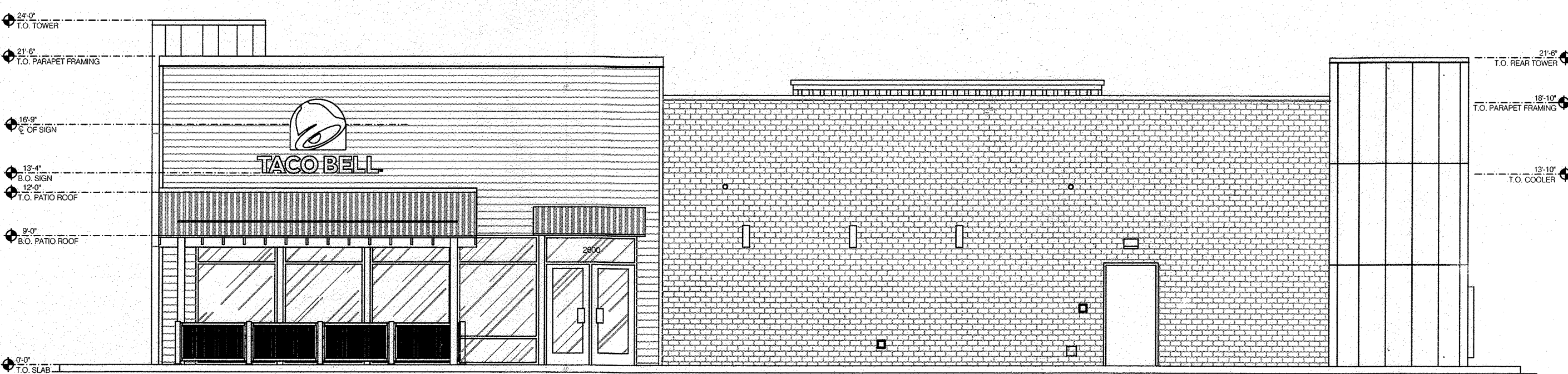
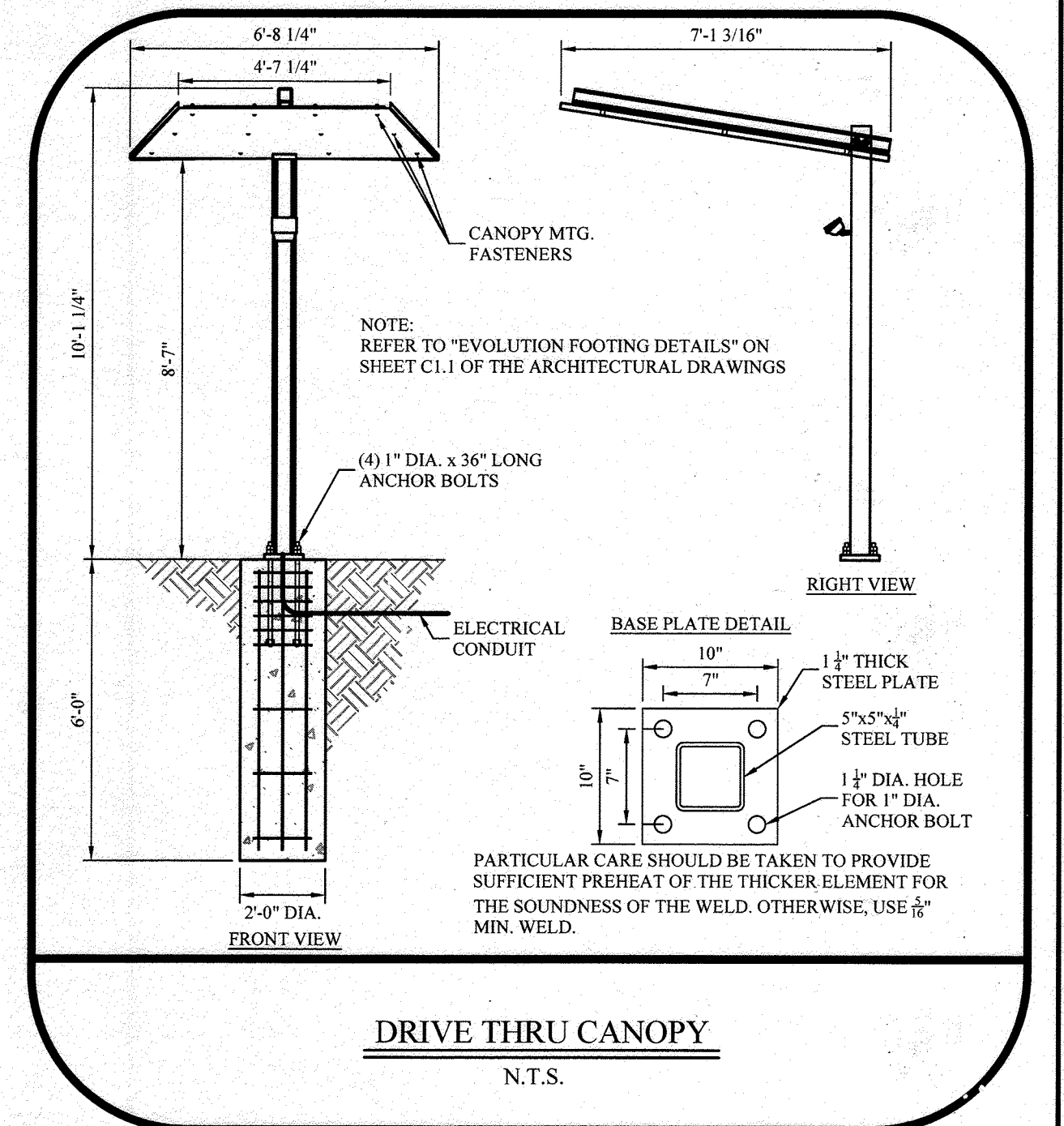
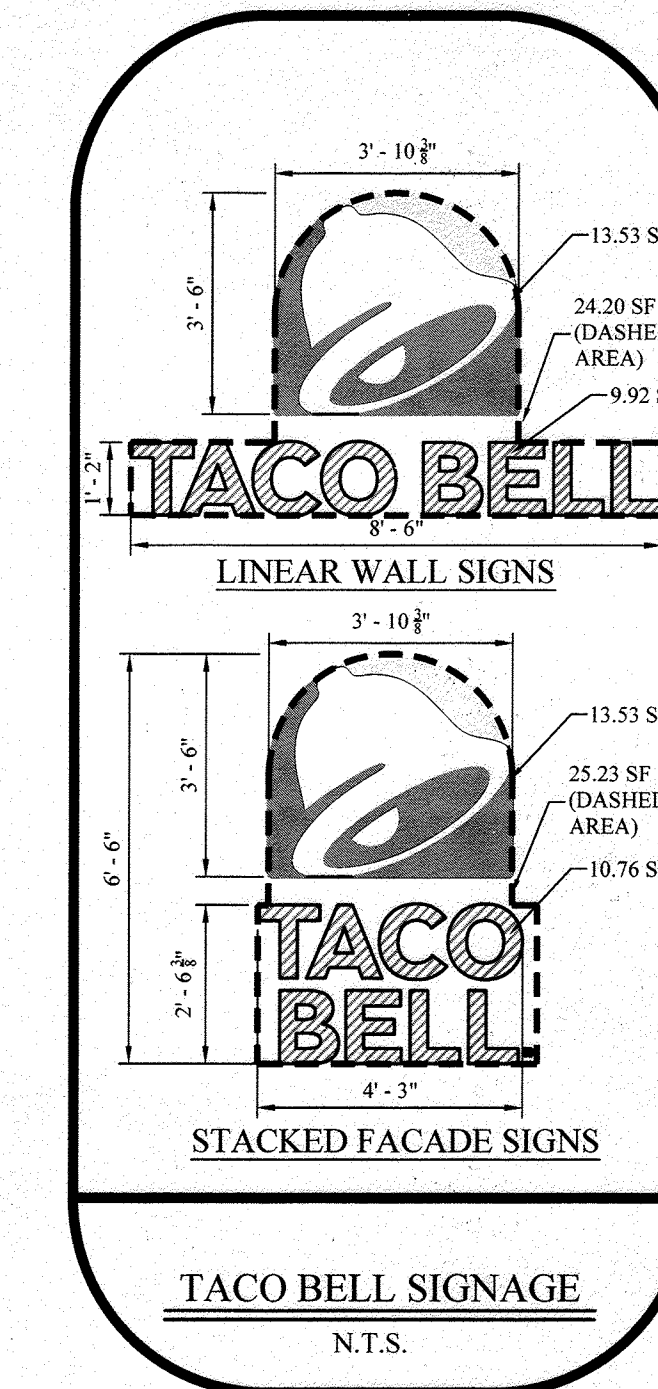
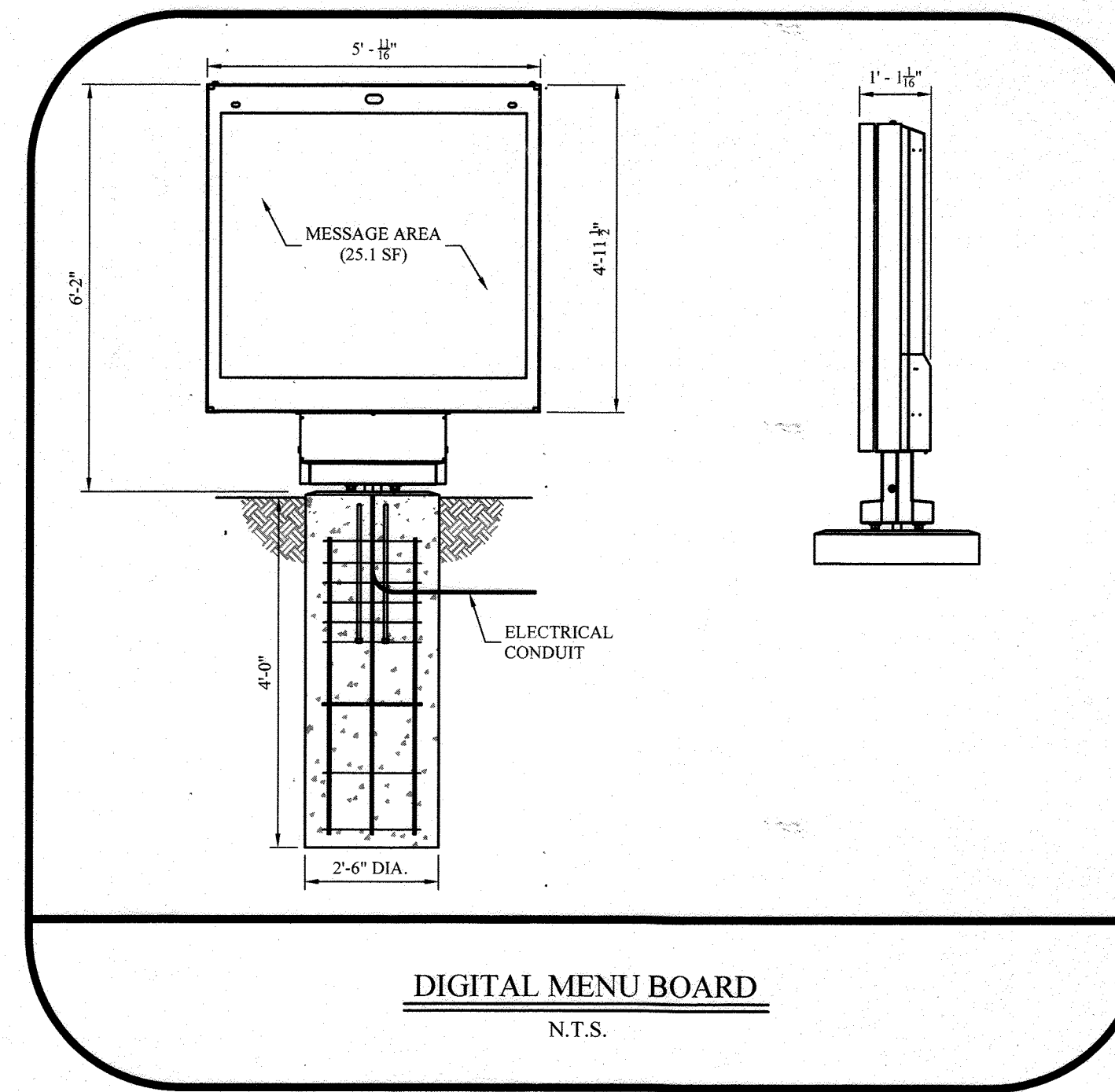
FRONT SCHEMATIC ELEVATIONS



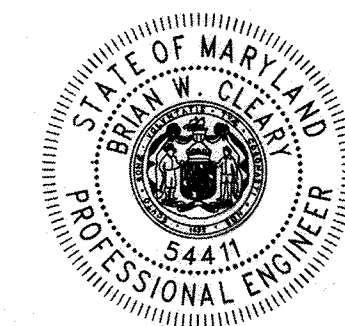
REAR SCHEMATIC ELEVATIONS



LEFT SIDE SCHEMATIC ELEVATIONS



RIGHT SIDE SCHEMATIC ELEVATIONS



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Professional Engineer
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State of Pennsylvania • License # PE081074
State of Maryland • License # 54411

OWNER:
TACO BELL OF BALTIMORE, INC.
11879 KEMPER ROAD, SUITE 11
AUBURN, CA 95603
(530) 885-2455

DEVELOPER:
BLT CONTINUA, LLC
14 BALLGOMINGO ROAD
CONSHOHOCKEN, PA 19428
(610) 520-1000

REVISIONS		
NO.	DESCRIPTION	DATE
1	SHEET BEING FOR BLDG. OVERLINE CLEARANCE REMOVE PORTION OF DRIVE-THRU CLEARING	07/21/22

DESIGNED BY: CBJ
JOB NO: 1061-106
DRAWN BY: CBJ
DATE: 08/04/2021
CHECKED BY: BWC
SCALE: AS NOTED
PRIOR SUBMITTAL DR2 FILE REFERENCES: ECP-19-006

REVISED SITE DEVELOPMENT PLAN
7102 MINSTREL WAY
MAP 42, GRID 5, PARCEL 0410, A-33
ELECTION PRECINCT 6-13
COMMUNITY OF COLUMBIA
HOWARD COUNTY, MARYLAND

TACO BELL

SHEET TITLE: SCHEMATIC BUILDING ELEVATIONS
SHEET NUMBER: 15 of 15

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