

SHEET INDEX table with columns: SHEET NUMBER, DESCRIPTION. Lists sheets 1 through 122 including overall plan, site development plan, geology plan, erosion control plan, and various detail sheets.

SHEET INDEX table with columns: SHEET NUMBER, DESCRIPTION. Lists sheets 123 through 129, including retaining wall construction details, concrete wall construction details, and overall sediment and erosion control plan.

SITE ANALYSIS DATA

- 1. AREA TABULATION: A. TOTAL PROJECT AREA: 43.259 AC.; B. TOTAL AREA OF R/W DEDICATION: 0 AC.; C. TOTAL AREA OF SITE: 43.259 AC.; D. BUILDING COVERAGE: HIGH SCHOOL, 153,544 SF (0.14%); E. TOTAL AREA OF WETLANDS: 0.73 AC.; F. TOTAL AREA OF WETLANDS AND WETLANDS BUFFER: 2.76 AC.; G. TOTAL AREA OF FLOODPLAIN: 0.07 AC.; H. TOTAL AREA OF SLOPES 15%-25%: 0 ACRES; I. TOTAL AREA OF SLOPES 25% AND GREATER: 0 ACRES; J. THERE ARE NO ERODIBLE SOILS ON THIS SITE; K. LIMIT OF DISTURBANCE: 52.0 AC.; L. PROPOSED USE OF SITE OR STRUCTURE: PUBLIC HIGH SCHOOL; M. ZONED: R-5C MXD-3

- 2. PARKING SPACE DATA: A. NUMBER OF SPACES PROPOSED UNDER THIS SITE PLAN = 579 (INCLUDING 10 HANDICAPPED SPACES & 30 LOW EMISSION & FUEL EFFICIENT VEHICLES SPACES); B. TOTAL NUMBER OF BUS STACKING SPACES PROVIDED = 33

WP-17-109 - The Planning Director on May 17, 2017 approved your request for an alternative compliance of Section 16.116(a)(1) which prohibits grading, removal of vegetative cover and trees, paving and new structures within 25 feet of a wetland to allow filling two small wetland areas; Section 16.120(4) requiring the filling of a Forest Conservation Plan to allow a temporary deferral until submission of the SDP for the new public school; and from Section 16.1205(a)(7) and (10) which prohibits removal of specimen trees, or trees 30" in diameter or larger for the removal of 31 specimen trees.

- Approval is subject to the following conditions: 1. DPW or public School System shall plant sixty-two (62) 2-1/2" to 3" minimum caliper native shade trees, in addition to the required perimeter landscaping, to mitigate the removal of the 31 specimen trees. The mitigation trees shall be shown on the Site Development Plan for the school site. 2. The alternative compliance approval applies only to the 31 specimen trees to be removed as shown on the alternative compliance plan exhibit. The removal of any other specimen trees on the property is not permitted unless it can be sufficiently demonstrated by the applicant to be justified. 3. The alternative compliance number (WP-17-109) and its conditions of approval must be added to all subdivision plans and site development plans and permits. 4. Mitigation for the removal of the existing forest must be satisfied at the site development plan for the proposed school site. 5. The applicant shall obtain all required authorizations and permits from the Maryland Department of Environment and U.S. Army Corps of Engineers for disturbances within the wetlands and their buffers. Reference any applicable MDE or USACE permits or tracking numbers on the site development plans and grading permits. 6. No disturbance is permitted beyond the disturbance as shown on the plan exhibit unless it can be sufficiently demonstrated by the applicant to be justified. 7. Submission of a site development plan for the proposed mass grading and tree clearing.

WP-19-027 - The Planning Director on November 13, 2018 approved your request for an alternative compliance of Section 16.147. Final subdivision plan and final plat, which requires the submission of a final subdivision plan for all divisions of lands in Howard County to be approved by the Department of Planning and Zoning and recorded in the Land Records Office. The applicants are proposing to reconfigure seven (7) existing parcels into 3 parcels by recording adjoining deeds.

- Approval is subject to the following conditions: 1. Approval of this alternative compliance request is for the reconfiguration of seven adjoining parcels under three different ownerships. No other parcels are being endorsed and no other parcels shall be created. 2. The seven parcels shall be reconfigured by utilization of the Adjoining Deed process. The Adjoining Deed conveying land to Howard County shall be recorded at Land Records of Howard County, Maryland on or before July 12, 2019. 3. A recorded copy of the Adjoining Deed conveying land to Howard County shall be submitted to the Department of Planning and Zoning for file retention on or before August 12, 2019. 4. The Adjoining Deed conveying land between Chase Land, LLC and Annapolis Junction Holdings, L.P. shall be recorded at Land Records of Howard County, Maryland on or before December 31, 2024. 5. A recorded copy of the Adjoining Deed conveying land between Chase Land, LLC and Annapolis Junction Holdings, L.P. shall be submitted to the Department of Planning and Zoning for file retention on or before January 30, 2025. 6. The Adjoining Deed shall reference this Alternative compliance request file number, WP-19-027, and its approval date. The addition of this reference helps anyone who may be reviewing the deed to readily determine that the deed is being recorded with the acknowledgement of the Department of Planning and Zoning. 7. Compliance with State Highway Administration comments dated October 18, 2018. 8. Compliance with applicable County and State Regulations is required.

NECESSARY/ESSENTIAL ENVIRONMENTAL REQUEST DETERMINATION

- THE DEPARTMENT OF PLANNING AND ZONING AFTER CONSULTING WITH THE PLANNING DIRECTOR APPROVED THE REQUEST FOR THE THREE (3) WETLANDS BUFFER DISTURBANCES AS A NECESSARY OR ESSENTIAL ENVIRONMENTAL DISTURBANCE IN ACCORDANCE WITH SECTION 16.116(c) OF THE SUBDIVISION AND LAND DEVELOPMENT REGULATIONS BASED ON THE FOLLOWING: 1. THE DETAILED JUSTIFICATION PROVIDED BY FISHER COLLINS AND CARTER, INC. IN A LETTER DATED MAY 13, 2019. 2. THE DISTURBANCES ARE NECESSARY FOR REASONABLE DEVELOPMENT OF THE PROPERTY FOR A HIGH SCHOOL FACILITY TO PROVIDE LARGE SWM FACILITIES TO TREAT LARGE AMOUNTS OF RUN-OFF FOR THE 100 YEAR STORM EVENT AND STILL MEET THE SCHOOL'S PROGRAM FOR NUMEROUS ATHLETIC FIELDS, BUILDINGS AND SIGNIFICANT PARKING AREAS. 3. THE PROPOSED DESIGN MINIMIZES DISTURBANCES TO THE WETLANDS BUFFER BY USING NARROWER POND EMBANKMENT WIDTHS AND DISCHARGING STORMWATER ON SLOPES LESS THAN 10%. THE PROPOSED OUTFALLS ARE LOCATED AT THE FLATTEST AREA TO PREVENT FUTURE EROSION PROBLEMS. 4. THE HOWARD SOIL CONSERVATION DISTRICT REQUIRES A "NO-WOODY ZONE" (TREE REMOVAL) ALONG THE BASE OF THE SWM PONDS TO KEEP TREE ROOTS AWAY FROM EARTHEN EMBANKMENTS. 5. WETLANDS WILL NOT BE IMPACTED. 6. TWO OF THE THREE SWM FACILITIES ARE PROPOSED WHERE SEDIMENT BASINS FOR SEDIMENT CONTROL ALREADY EXIST ON THE PROPERTY, THEREFORE, LIMITING THE ENVIRONMENTAL IMPACT. 7. BUFFER DISTURBANCES ARE NECESSARY TO OBTAIN THE REQUIRED SWM FACILITY ELEVATIONS AND STORAGE FOR THE 100 YEAR STORM VOLUMES, THERE ARE NO OTHER REASONABLE ALTERNATIVES FOR PROVIDING 100 YEAR STORM WATER MANAGEMENT FOR THE SITE. 8. EXTRAORDINARY HARDSHIPS AND PRACTICAL DIFFICULTIES EXIST AT THE SITE DUE TO UNUSUAL PROPERTY CONFIGURATION AND ENVIRONMENTAL FEATURES LIMITING THE BUILDING AREA AVAILABLE TO MEET THE PUBLIC SCHOOL SYSTEMS PROGRAM NEEDS.

DISTURBANCE WAS GRANTED TO ALLOW THE CONSTRUCTION OF THE OUTFALL FOR BMP 12, BMP 13, SWM 15, AND SWM 16 ON SLOPES LESS THAN 10%, WHICH HAVE BEEN PERMITTED BY HDE UNDER PERMIT #20-10T-3033/2020062925.

SITE DEVELOPMENT PLAN HIGH SCHOOL #13 PARCEL 'A' AND 'B'



LOCATION MAP SCALE: 1" = 500'

HIGH SCHOOL 13 ESD SUMMARY TABLE. Table with columns: Study Point, Required (WQv, Cvp, Rev), Provided (WQv, Cvp, Rev). Rows include SP #1 (West prop. line to Jones Rd) and SP #2 (Ex. 48" CMP@RR Track).

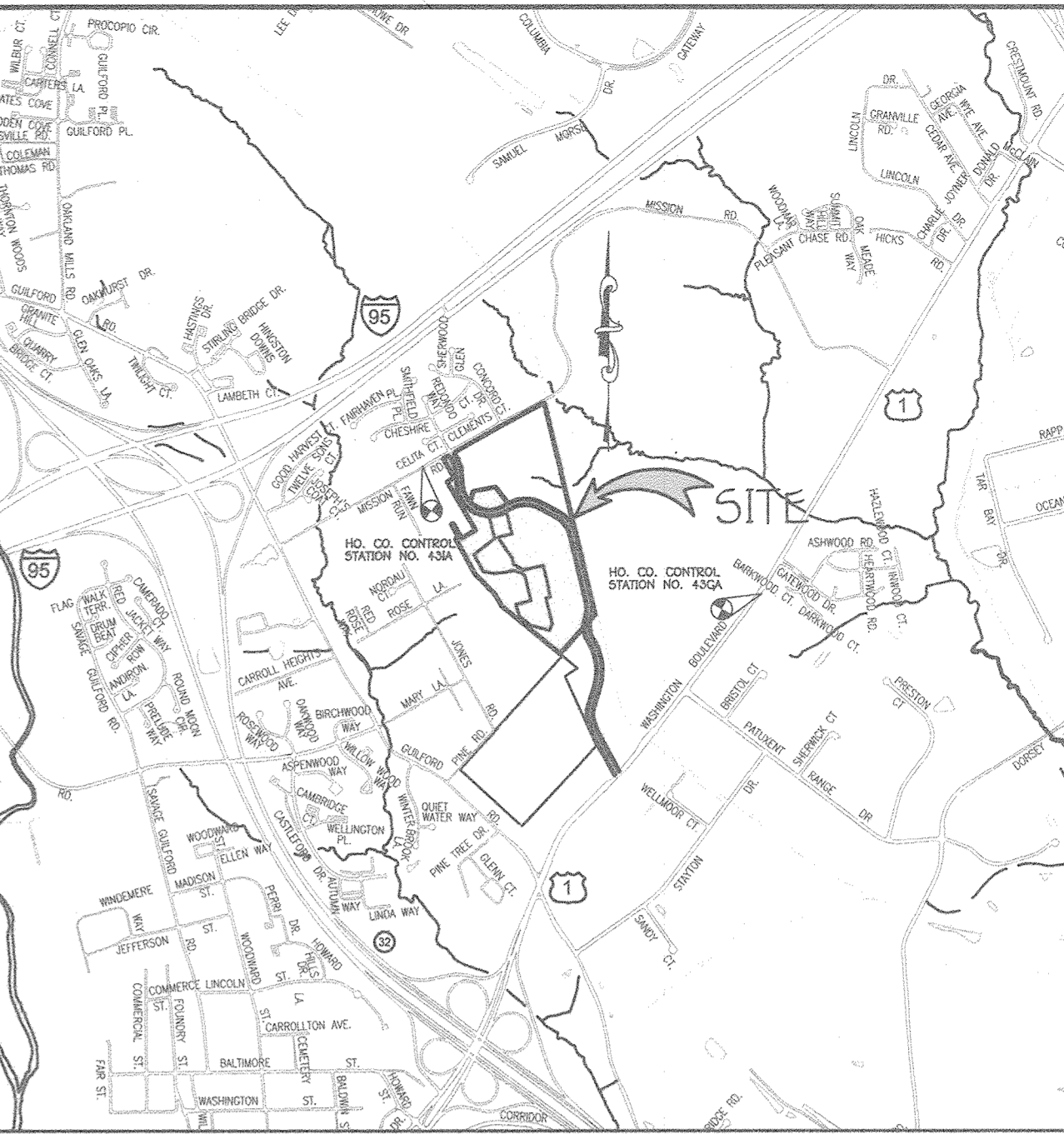
HIGH SCHOOL 13 STORMWATER MANAGEMENT PEAK DISCHARGE SUMMARY TABLE. Table with columns: Study Point, Existing Conditions (1-yr, 100-yr), Proposed Conditions (1-yr, 100-yr). Rows include SP #1 (West prop. line to Jones Rd) and SP #2 (RR Track).

GENERAL NOTES CONTINUED

- 43. THE PROPOSED ACCESSORY STRUCTURES (TRUCK BAY AND CONCESSION STAND), FOR THE PLANNING DIRECTOR, ARE EXEMPT FROM THE HEIGHT LIMITS FOR ACCESSORY STRUCTURES, PER SECTION 128.0.A.5.E. 44. DMP 2-2-013 WAS APPROVED ON MARCH 27, 2020 TO HOWARD COUNTY DESIGN MANUAL VOLUME II, SECTION 5.4.8.5, WHICH REQUIRES TEN (10) FOOT MINIMUM HORIZONTAL CLEARANCE BETWEEN ANY PERMANENT STRUCTURE AND THE EDGE OF A PUBLIC UTILITY EASEMENT WITH THE FOLLOWING CONDITIONS: ... 45. DESIGN MANUAL, WAVED WAS APPROVED ON APRIL 1, 2020 TO DMP VOLUME II, SECTION 5.4.8.6 WHICH REQUIRES A 2' CLEARANCE FOR THE 100 YEAR WSEL TO A SWM FACILITY, TO ALLOW 12" OF TEMPORARY FLOODING OVER TOP OF THE EXISTING 16" PUBLIC SEWER IN BHP#18 AND FROM OH VOLUME I, SECTION 5.11.A, WHICH REQUIRES A SURFACE AREA OF 2% OF THE DRAINAGE AREA FOR BHP#24, TO ALLOW A SURFACE AREA OF 1.4% OF THE DRAINAGE AREA SUBJECT TO THE SIGNIFICANT OF SOILS IMPACTED BY THE PROPOSED POND BEING ENCASED IN A COVERED STRUCTURE FOR A DISTANCE (MINIMUM) OF 50 FEET BEYOND THE LIMITS OF THE IMPACT PER OHV 1 AND 2 AND STANDARD DETAIL 5-3.12 CURBLES. 46. PLANNING DIRECTOR APPROVED THE REQUEST TO ALLOW MORE THAN 24 PARKING SPACES IN A ROW FOR A NON-RESIDENTIAL PARKING LOT. THIS DECISION WAS BASED ON THE TIGHT SITE CONSTRAINTS AND THE FACT THAT OTHER PLANS FOR VARIOUS SCHOOL SITES HAVE BEEN PREVIOUSLY APPROVED WITH A SIMILAR NUMBER OF PARKING SPACES IN A ROW. 47. ON DECEMBER 2, 2019, THE COUNTY COUNCIL GRANTED THE VARIANCE PETITION 08-145-2019 TO ALLOW ACCESSIBILITY GUIDELINES. (1) REDUCTION OF THE 30-FOOT BUILDING RESTRICTION LINE AND USE SETBACK TO 10-FEET FOR PARKING, AS SHOWN IN THE ATTACHED EXHIBIT C; (2) REDUCTION OF THE 30-FOOT BUILDING RESTRICTION LINE AND USE SETBACK FROM THE MINOR COLLECTOR PUBLIC RIGHT-OF-WAY SHOWN AS ROGELYS RUN ROAD TO 10 FEET FOR AN 8-FOOT HIGH CHAIN LINK FENCE AROUND THE BUILDINGS, AS SHOWN IN THE ATTACHED EXHIBIT D; (3) REDUCTION OF THE 30-FOOT BUILDING RESTRICTION LINE AND USE SETBACK FROM THE MINOR COLLECTOR PUBLIC RIGHT-OF-WAY SHOWN AS ROGELYS RUN ROAD TO 11 FEET FOR THE BLEACHERS, AS SHOWN IN THE ATTACHED EXHIBIT E; AND (4) INCREASE IN MAXIMUM BUILDING HEIGHT FOR A PRINCIPAL STRUCTURE FROM 34 FEET TO 47 FEET, 4 INCHES FOR THE OVERALL 3-STORY BUILDING HEIGHT AND AN INCREASE TO 58-FEET TO 54 FEET FOR THE STAIRS TOWER HEIGHT, AS SHOWN IN THE ATTACHED EXHIBIT E. 48. PER HOWARD COUNTY ZONING REGULATIONS SECTION 128.0.A.11, SETBACKS FOR ZONING BOUNDARIES INTENSAL TO A DEVELOPMENT - IN A DEVELOPMENT WITH A PLAN SHOWING AN INTEGRATED DESIGN THAT INCORPORATES MORE THAN ONE ZONING DISTRICT, THERE IS NO REQUIRED SETBACK FROM AN INTERNAL ZONING DISTRICT BOUNDARY. IN ALL INSTANCES PERMETER SETBACKS TO ADJOINING PARCELS SHALL BE MAINTAINED. 49. PER HOWARD COUNTY ZONING REGULATIONS SECTION 128.0.A.10, SETBACKS ARE NOT SHOWN ON PARCEL 'D' BECAUSE WHEN 2 OR MORE CONTIGUOUS LOTS OR PARCELS ARE TREATED AS A SINGLE PARCEL, FOR DEVELOPMENT PURPOSES, THE ZONING STRUCTURE AND USE SETBACK FROM LOT LINES INTERNAL TO THE DEVELOPMENT.

CONTROL STATIONS table with columns: B.M. #1, B.M. #2. Provides geodetic survey control information for horizontal and vertical measurements.

LEGEND table with columns: SYMBOL, DESCRIPTION. Lists symbols for existing and proposed contours, lines, fences, and utilities.



REFERENCED ADC MAP 41, GRID A1 AND A2 VICINITY MAP SCALE: 1" = 2000'

- 1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF HOWARD COUNTY PLUS MSHA STANDARDS AND SPECIFICATIONS IF APPLICABLE. 2. THE CONTRACTOR SHALL NOTIFY THE DEPARTMENT OF PUBLIC WORKS, BUREAU OF ENGINEERING, CONSTRUCTION INSPECTION DIVISION AT (410) 313-1880 AT LEAST (5) WORKING DAYS PRIOR TO THE START OF WORK. 3. THE CONTRACTOR SHALL NOTIFY "MISS UTILITY" AT 1-800-257-7777 AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION WORK BEING DONE. 4. TRAFFIC CONTROL DEVICES: A. THE TRAFFIC CONTROL DEVICES LOCATIONS SHOWN ON THE PLANS ARE APPROXIMATE AND MUST BE FIELD APPROVED BY HOWARD COUNTY TRAFFIC DIVISION (410-313-2430) PRIOR TO THE INSTALLATION OF ANY OF THE TRAFFIC CONTROL DEVICES. B. ALL TRAFFIC CONTROL DEVICES AND THEIR LOCATIONS SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE "MARYLAND MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" (MUTCD). C. ALL SIGN POSTS USED FOR TRAFFIC CONTROL SIGNS INSTALLED IN THE COUNTY RIGHT-OF-WAY SHALL BE MOUNTED ON A 2" GALVANIZED STEEL, PERFORATED "QUICK PUNCH", SQUARE TUBE POST (14 GAUGE) INSERTED INTO A 2-1/2" GALVANIZED STEEL, PERFORATED, SQUARE TUBE SLEEVE (12 GAUGE) - 3" LONG. THE ANCHOR SHALL NOT EXTEND MORE THAN TWO "QUICK PUNCH" HOLES ABOVE LEVEL. A GALVANIZED STEEL POLE CAP SHALL BE MOUNTED ON TOP OF EACH POST. D. COORDINATES ARE BASED ON MARS 83 MARYLAND COORDINATES SYSTEM AS PROJECTED BY HOWARD COUNTY GEODETIC CONTROL STATIONS. 430A: N 941,797.023 E 1,369,199.568 ELEV. 240.967 42A: N 943,390.386 E 1,364,912.713 ELEV. 311.984 5. BACKGROUND INFORMATION: A. SUBDIVISION NAME: HIGH SCHOOL #13 B. TAX MAP NO.: 42 AND 43 C. PARCEL NOS.: 102, 349 AND 235 D. ZONING: R-5C MXD-3 AND R5A-B MXD-3 PER 10/6/13 COMPREHENSIVE ZONING PLAN. E. ELECTION DISTRICT: SIXTH F. TOTAL TRACT AREA: 78.40 AC. G. NET AREA = 72.07 AC. H. AREA OF STEEP SLOPES 25% AND GREATER = 0 AC. I. NO. OF BUILDABLE PARCELS: 3 J. AREA OF BUILDABLE PARCELS: 71.91 AC. K. TOTAL AREA OF ROADWAY TO BE DEDICATED: 6.33 AC. L. AREA OF FLOODPLAIN: 0.07 AC. 6. PREVIOUS FILE NOS.: CP-17-047, SDP-17-064, WP-17-109, WP-19-027, ECP-19-026, F-19-086 (PLAT NO). 7. THERE ARE NO KNOWN GRAVE SITES OR CEMETERIES ON THIS SITE BASED ON A VISUAL SITE VISIT AND BASED ON AN EXAMINATION OF THE HOWARD COUNTY CEMETERY INVENTORY MAP. 8. ALL FILL AREAS WITHIN ROADWAYS AND UNDER STRUCTURES SHALL BE COMPACTED TO A MINIMUM OF 95% COMPACTION OF AASHTO T-180. 9. SOILS INFORMATION TAKEN FROM NRCS WEB SOIL SURVEY. 10. WETLAND APPROVAL IS FROM US ARMY CORP OF ENGINEERS JURISDICTIONAL DETERMINATION: CENAS-OPR-M 2016-61650 HAS BEEN ISSUED FOR THIS SITE. 11. WDE LETTER OF AUTHORIZATION (LOA) #16-0371/20161650 EFFECTIVE APRIL 24, 2017, WETLANDS AND BUFFER AREAS WHICH ARE TO REMAIN ALONG THE INTERMITTENT STREAMS AND ASSOCIATED BUFFERS SHALL BE PLACED IN A FOREST CONSERVATION EASEMENT, THE AREAS ARE TO REMAIN UNDISTURBED. 12. THERE ARE NO STEEP SLOPES OF 25% OR GREATER ON THIS SITE. 13. NO GRADING, REMOVAL OF VEGETATIVE COVER OR TREES, PAVING AND NEW STRUCTURES SHALL BE PERMITTED WITHIN THE LIMITS OF WETLANDS, STREAM(S), OR THEIR REQUIRED BUFFERS, FLOODPLAIN AND FOREST CONSERVATION EASEMENT AREAS. 14. A PRE-SUBMISSION COUNTY MEETING WAS HELD FOR THIS PROJECT ON NOVEMBER 26, 2018. 15. THE FOREST CONSERVATION EASEMENT HAS BEEN ESTABLISHED TO FULFILL THE REQUIREMENTS OF SECTION 16.1200 OF THE HOWARD COUNTY CODE AND FOREST ACT. NO CLEARING, GRADING OR CONSTRUCTION IS PERMITTED WITHIN THE FOREST CONSERVATION EASEMENTS; HOWEVER, FOREST MANAGEMENT PRACTICES AS DEFINED IN THE DEED OF FOREST CONSERVATION EASEMENT ARE ALLOWED. THE FOREST CONSERVATION REQUIREMENTS WILL BE FULFILLED BY RETAINING 10.8 ACRES ON-SITE AND REFORESTATION PLANTING OF 800 SF (0.02 AC). FINANCIAL SECURITY WILL NOT BE REQUIRED FOR REFORESTATION. THE REFORESTATION OBLIGATION WILL BE PROVIDED BY THROUGH A FOREST BANK, A MEMORANDUM OF UNDERSTANDING (MOU) AGREEMENT BETWEEN HCPAS AND HOWARD COUNTY, MARYLAND WILL BE EXECUTED TO TEMPORARILY DEFER THE FOREST CONSERVATION REQUIREMENTS UNTIL AFTER THE SIGNATURE APPROVAL OF THE SDP AND ADDRESSED AS PART OF THE BUILDING PERMIT ISSUANCE PROCESS. 16. THE FOREST STAND DELINEATION AND WETLAND DELINEATION FOR THIS PROJECT WAS PREPARED BY CNA DATED JUNE 2016. 17. NO CLEARING, GRADING OR CONSTRUCTION IS PERMITTED WITHIN THE FOREST CONSERVATION EASEMENTS; HOWEVER, FOREST MANAGEMENT PRACTICES AS DEFINED IN THE DEED OF FOREST CONSERVATION EASEMENT ARE ALLOWED. 18. THE PROPOSED LANDSCAPING FOR THIS DEVELOPMENT SHALL BE IN ACCORDANCE WITH SECTION 16.124 OF THE SUBDIVISION AND LAND DEVELOPMENT REGULATIONS AND LANDSCAPE MANUAL. 19. ALL PROJECT IS IN CONFORMANCE WITH THE LATEST HOWARD COUNTY STANDARDS UNLESS OTHERWISE NOTED. 20. THE EXISTING TOPOGRAPHY INFORMATION SHOWN IS BASED ON A MASS GRADING PLAN AND OFFSITE TOPOGRAPHY IS FROM HOWARD COUNTY GIS DATA. 21. BOUNDARY INFORMATION IS BASED ON A SURVEY PERFORMED BY FISHER, COLLINS & CARTER, INC. DATED OCTOBER, 2017. 22. THIS PROPERTY IS LOCATED WITHIN THE METROPOLITAN DISTRICT. 23. WATER MANAGEMENT WITHIN THE PROPERTY SHALL BE PROVIDED BY ONE SANDWATER HARVESTING CISTERN (M-1), ONE SUBMERGED GRAVEL WETLANDS BMP (M-2), THIRTEEN MICRO-BIOTRETENTION BMP'S (M-6), THREE BIOTRETENTION BMP'S (M-6), TWO P-1 POND'S (MODIFIED FOR QUANTITY ONLY), AND NON-BOOFTOP CONNECTION DEVICES TO MEET AND EXCEED THE REQUIRED 65 VOLUME IN ACCORDANCE WITH THE D.E.D. STORM WATER DESIGN MANUAL VOLUMES 1 & 2, REVISED 2009. 100 YEAR MANAGEMENT HAS BEEN PROVIDED IN ALL FACILITIES. 24. STORM WATER MANAGEMENT DEVICES LOCATED ON BOE LOTS WILL BE OWNED AND MAINTAINED BY THAT OWNER AND SUBJECT TO THE REQUIREMENTS OF A RECORDED MAINTENANCE AGREEMENT. 25. A NOISE STUDY IS NOT REQUIRED FOR THIS PROJECT. 26. ALL PROPOSED UTILITY CONSTRUCTION SHALL BE IN ACCORDANCE WITH COUNTY STANDARDS AND SPECIFICATIONS. 27. ANY DAMAGE TO COUNTY AND OR STATE OWNED RIGHT-OF-WAY TO BE CORRECTED AT THE CONTRACTOR'S EXPENSE. 30. ALL DRIVEWAYS AND PARKING TO BE OWNED AND MAINTAINED BY THE HOWARD COUNTY PUBLIC SCHOOL SYSTEM. 31. CUTTER PLAN OF CURBS SHALL BE FITTED TO CONFORM TO THE ADJACENT DRAINAGE PATTERNS OF THE ADJOINING PAVING FOR VEHICULAR USE. 32. ALL PROPOSED RAMPS SHALL BE IN ACCORDANCE WITH CURRENT A.S.A. STANDARDS ACCESSIBILITY GUIDELINES, HARRIS SEWERALS CROSS SLOPE SHALL BE TWO PERCENT, PROVIDE A (5'x5') FIVE FOOT BY FIVE FOOT LEVEL LANDING (MAX. SLOPE 2%) AT THE TOP AND BOTTOM OF ALL RAMPS AND BUILDING ENTRANCES AND EXITS. HANDRAILS SHALL BE PROVIDED ON ALL RAMPS IN ACCORDANCE WITH SECTION 505 OF THE A.D.A STANDARDS ACCESSIBILITY GUIDELINES. 33. ALL PLAN DIMENSIONS ARE TO THE FACE OF CURB OR FACE OF BUILDING UNLESS OTHERWISE NOTED. DIMENSIONS ARE MEASURED PERPENDICULAR OR RADIAL BETWEEN ITEMS UNLESS OTHERWISE NOTED. 34. THE EXISTING SITE HAS BEEN MAINTAINED PER CP-17-047 AND SDP-17-064. 35. SEDIMENT CONTROL MEASURES SHOWN ARE BASED ON THE SITE DEVELOPMENT PLAN SDP-17-064. 36. THE KNOX BOX IS REQUIRED TO BE PLACED ON THE FRONT OF THE BUILDING. IT SHALL BE PLACED TO THE RIGHT OF THE MAIN ENTRANCE AT A RANGE OF 4'-5' IN HEIGHT AND NO MORE THAN 6' LATERALLY FROM THE DOOR. THE BOX SHALL BE ELECTRICALLY SUPERVISED TO NOTIFY THE OWNER THAT IT IS BEING ACCESSED (INTEGRATED WITH THE FIRE ALARM SYSTEM). NFPA-1.10.12.1. 37. STREET LIGHT PLACEMENT AND THE TYPE OF FIXTURE AND POLICE SHALL BE IN ACCORDANCE WITH THE HOWARD COUNTY DESIGN MANUAL, VOLUME III (1993) AND AS MODIFIED BY "GUIDELINES FOR STREET LIGHTS IN RESIDENTIAL DEVELOPMENTS PLANS" FIRST ADOPTED BY HOWARD COUNTY IN 2004. THE SPACING OF STP SHALL BE MAINTAINED BETWEEN ANY STREETLIGHT AND ANY TREE. 38. WATER IS PUBLIC (CONTRACT NO. 44-5101-0). SEWER IS PUBLIC (CONTRACT NO. 44-5101-0). 39. EXISTING UTILITIES ARE BASED ON FIELD LOCATION BY FISHER, COLLINS & CARTER, INC. ON OCTOBER 16, 2019 AND SUPPLEMENTED WITH COUNTY AVAILABLE INFORMATION. 40. NO TRAFFIC STUDY IS REQUIRED FOR THIS PROJECT. TRAFFIC REPORT AND SIGNALIZATION STUDY PROVIDED WITH CAPITAL PROJECT WBS#2. 41. THE PROPOSED 100 YEAR FLOODPLAIN SHOWN HEREON IS BASED ON A FLOODPLAIN STUDY BY ROBERT H. VOZEL ENGINEERING DATED AUGUST, 2016 AND APPROVED ON AUGUST 26, 2016, AND AS SHOWN ON A PLAT ENTITLED "PLAT OF R-SUBDIVISION, MARGARET TILLYMAN SUBDIVISION, LOTS 1-3 AND OPEN SPACE LOT 4" RECORDED UNDER THE LAND RECORDS OF HOWARD COUNTY, MARYLAND AS PLAT NO. 25147. 42. HEALTH DEPARTMENT APPROVAL OF THIS SITE DEVELOPMENT PLAN (SDP) DOES NOT IMPROVE SPECIAL OF BUILDING PERMIT APPLICATIONS ASSOCIATED WITH THIS PLAN. PERMIT PLANS FOR CERTAIN FACILITIES TO BE CONSTRUCTED WITHIN THE LIMITS DESCRIBED BY THIS SDP WILL REQUIRE REVIEW AND APPROVAL BY THE HEALTH DEPARTMENT. SUCH FACILITIES MAY INCLUDE, BUT ARE NOT LIMITED TO, THOSE WHICH HAVE SWIMMING POOLS, OR THAT SELL PREPARED OR PACKAGED FOODS, OR THAT MAY HAVE EQUIPMENT THAT EMITS RADON.

OFF-SITE FOREST MITIGATION BANKS table with columns: BANK, RETENTION, REFORESTATION, REQUIREMENT EQUIV. Rows include SHARP'S WILD HORSE, MABOW (SDP-10-037), SHARP PROPERTY (SDP-19-024), PATASCO FALLS (SDP-R-020), RBGM PROPERTY (SDP-16-019), and a TOTAL row.

FISHER, COLLINS & CARTER, INC. CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS. Includes contact information and a note about sediment control and pond construction.

NOTE: AS-BUILT PLANS FOR THE PONDS SHALL BE SUBMITTED UPON COPIES OF THE SIGNATURE APPROVED GP-20-096. Includes a signature and date 8/20/20.

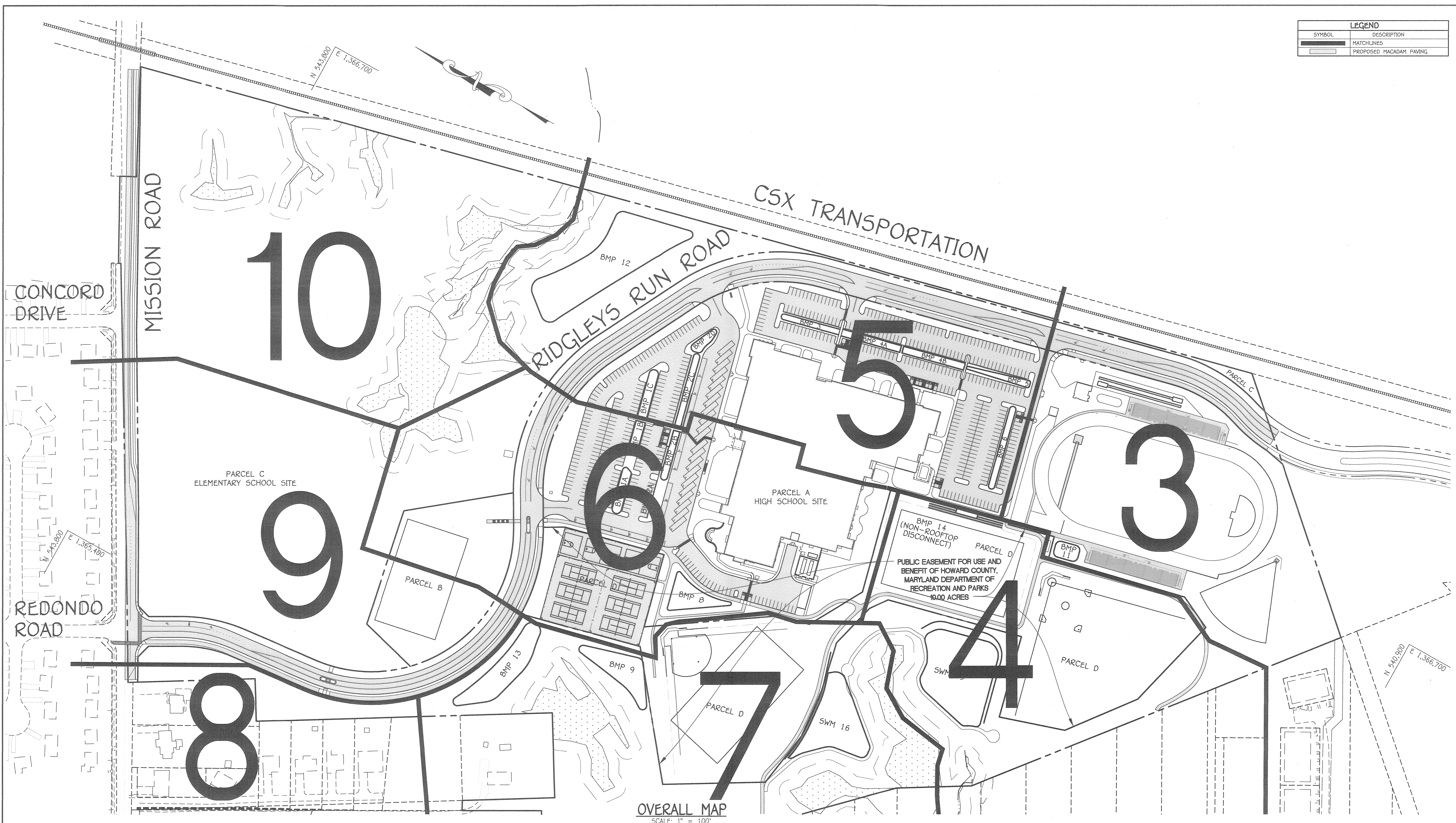
PROFESSIONAL CERTIFICATION. I HEREBY CERTIFY THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 38386, EXPIRATION DATE: JANUARY 12, 2022. Includes a signature and date 8/17/20.

APPROVED: DEPARTMENT OF PLANNING AND ZONING. Includes signatures of the Director and Chief, Development Engineering Division, and dates 10-5-20 and 8-26-20.

PREPARED FOR HOWARD COUNTY PUBLIC SCHOOL SYSTEM 9020 MENDENHALL COURT SUITE 'C' COLUMBIA, MARYLAND 21045 Attention: DANIEL LUBELEY 410-313-8203. Includes an address chart and a professional seal for Stephanie J. Tuite, P.E., LEED AP BC&D.

TITLE SHEET HIGH SCHOOL #13 PARCELS 'A' THRU 'D'. Includes zoning information: ZONED: R-5C MXD-3, R-5A-B MXD-3 AND R-12. PARCEL NOS.: 102, 349, 235. TAX MAP NO.: 42 & 43 GRID NO.: 24 & 19. SHEET 1 OF 131.

LEGEND	
SYMBOL	DESCRIPTION
	MATCHLINES
	PROPOSED MACADAM PAVING



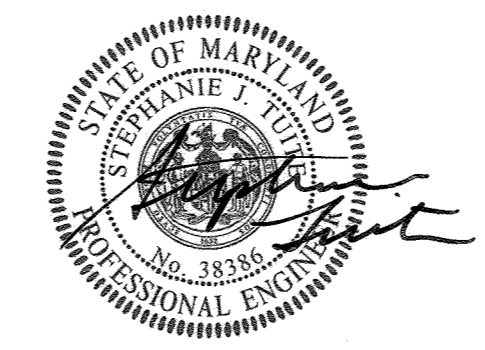
OVERALL MAP
SCALE: 1" = 100'

FISHER, COLLINS & CARTER, INC.
CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
CENTENAL SQUARE OFFICE PARK - 10772 BALTIMORE NATIONAL PIKE
ELLSWORTH CITY, MARYLAND 21044
(410) 481 - 2225

"PROFESSIONAL CERTIFICATION. I HEREBY CERTIFY THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 38386, EXPIRATION DATE: JANUARY 12, 2022."
Stephan J. Tuttle
STEPHAN J. TUTTLE, P.E., LEED AP BC&D
8/17/20
DATE

DATE	DESCRIPTION
	REVISION BLOCK
APPROVED: DEPARTMENT OF PLANNING AND ZONING	
<i>[Signature]</i> Director, Department of Planning and Zoning	8/5/20 Date
<i>[Signature]</i> Chief, Division of Land Development	8/15/20 Date
<i>[Signature]</i> Chief, Development Engineering Division	8/26/20 Date

PREPARED FOR
HOWARD COUNTY PUBLIC SCHOOL SYSTEM
9020 MENDENHALL COURT
SUITE 'C'
COLUMBIA, MARYLAND 21045
Attention: DANIEL LUBELEY
410-313-8203

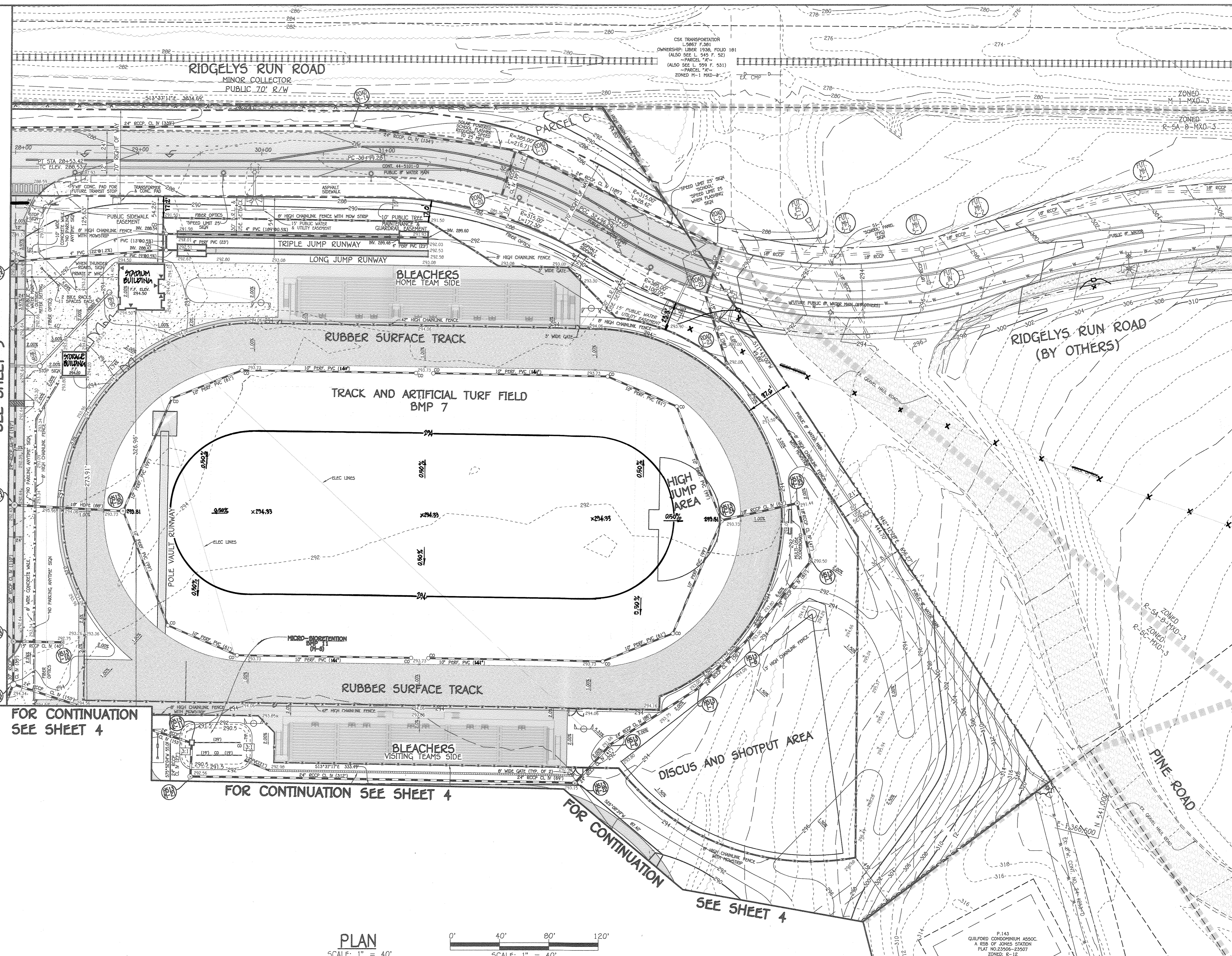


ADDRESS CHART	
PARCEL NO.	STREET ADDRESS
	8500 RIDGELYS RUN ROAD JESSUP, MARYLAND 20794
PROJECT	
HIGH SCHOOL #13	SECTION/AREA N/A
PARCEL 102, 349, 235	PARCEL 102, 349, 235
PROJECT DATA	
PLAY NOS. 8528 2592	BLOCK NO. 18 & 24 13 & 19
ZONE R-12 RSC MXD-3 R5A-B MXD-3	TAX MAP 42 & 43
ELEC. DIST. SIXTH	CENSUS TR. 606901
WATER CODE	SEWER CODE

OVERALL PLAN	
HIGH SCHOOL #13 PARCELS 'A' THRU 'D'	
ZONED: R-5C MXD-3, R-5A-B MXD-3 AND R-12 PARCEL Nos.: 102, 349, 235 TAX MAP No.: 42 & 43 GRID No.: 24 & 19 SIXTH ELECTION DISTRICT HOWARD COUNTY, MARYLAND SCALE: AS SHOWN DATE: AUGUST, 2020 SHEET 2 OF 131	

SYMBOL	DESCRIPTION
---	EXISTING CONTOUR 2' INTERVAL
---	EXISTING CONTOUR 10' INTERVAL
-	EXISTING SAN. SEWER LINE
-	EXISTING STORM DRAIN LINE
-	EXISTING WATER LINE
-	EXISTING UNDERGROUND ELECTRIC LINE
-	EXISTING CABLE/TV LINE
-	EXISTING FIBER OPTIC/CABLE LINE
-	EXISTING GAS LINE
-	EXISTING FENCE
-	PROPOSED FENCE
---	PROPOSED CONTOUR 2' INTERVAL
---	PROPOSED CONTOUR 10' INTERVAL
+	PROPOSED SPOT ELEVATION
---	PROPOSED CONCRETE WALK
---	PROPOSED MACADAM PAVING
---	EXISTING TREELINE
---	PROPOSED TREELINE
---	PROPOSED PUBLIC WATER
---	PROPOSED PRIVATE WATER
---	PROPOSED STORM DRAIN
---	PROPOSED PRIVATE SEWER
---	PROPOSED PUBLIC SEWER

NOTE: SEE ROAD CONSTRUCTION DRAWINGS F19-086 FOR RIDGELY'S RUN ROAD STORM DRAIN PROFILES.



FOR CONTINUATION SEE SHEET 5

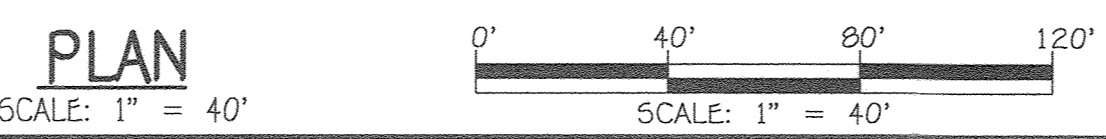
FOR CONTINUATION SEE SHEET 4

FOR CONTINUATION SEE SHEET 4

FOR CONTINUATION SEE SHEET 4

STORMWATER MANAGEMENT PRACTICES												
Facility No. ^a	Treatment Type	MDE Nomenclature	Drainage Area (sf)	% Impervious (%)	ESDv Required (cf)	WQv ^b (cf)	Cpv (cf)	Rev (cf)	ESDv Provided (cf)	WQv (cf)	Cpv (cf)	Rev (cf)
1a	Micro Bio-Retention	M-6	17,620	69.7	746	≤ Exist. Q _{1yr}		995	≤ Exist. Q _{1yr}			
1b	Micro Bio-Retention	M-6	20,900	73.1	924				1,232			
1c	Micro Bio-Retention	M-6	16,400	71.3	709				946			
2a	Micro Bio-Retention	M-6	25,615	72.5	1,124				1,130			
2b	Micro Bio-Retention	M-6	33,068	64.9	1,311				1,294			
2c	Micro Bio-Retention	M-6	40,532	72.2	1,772				1,960			
2d	Micro Bio-Retention	M-6	17,512	67.2	717				958			
3	Micro Bio-Retention	M-6	29,705	78.9	1,411				1,644			
4a	Micro Bio-Retention	M-6	29,240	69.5	1,235				1,384			
4b	Micro Bio-Retention	M-6	28,916	70.3	1,234				1,454			
5	Micro Bio-Retention	M-6	23,536	77.6	367				922			
6	Micro Bio-Retention	M-6	60,684	75.2	919				1,878			
7	Artificial Turf (Infiltration)	-	161,946	36.5	3,831				5,109			
8	Bio-Retention	F-6	53,183	60.7	1,982				2,206			
9	Bio-Retention	F-6	112,489	69.3	4,736				6,295			
10	Rainwater Harvesting	M-1	153,815	100.0	9,133				12,177			
11	Micro Bio-Retention	M-6	23,423	57.6	832				1,110			
12	Sub. Gravel Wetlands	M-2	587,239	33.3	12,828		7,697		12,828	7,777		
13	Bio-Retention	F-6	185,593	17.2	2,372	≤ Exist. Q _{1yr}			3,163	≤ Exist. Q _{1yr}		
					TOTAL				28,480 ^c			43,724 ^d

^a Based on MDE's allowable volume reduction factors.
^b All facilities drain to Study Point #1 except BMP #12 which drains to SP #2.
^c Based on LOD-based calculations using % impervious and soils; See SWM Report.
^d Sum of Rev storage in "plantable" BMPs, BMP #7 (track), and the RWH (BMP #10); See SWM Report for detailed documentation.



FISHER, COLLINS & CARTER, INC.
 CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
 CENTRAL SQUARE OFFICE PARK - 10272 BALTIMORE NATIONAL PIKE
 ELIZABETH CITY, MARYLAND 21042
 (410) 461-2295

"PROFESSIONAL CERTIFICATION, I HEREBY CERTIFY THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 38386, EXPIRATION DATE: JANUARY 12, 2022."

Stephanie J. Tuite
 STEPHANIE J. TUITE, P.E., P.L.C., LEED AP BC&D
 8/17/20
 DATE

DATE	DESCRIPTION
3/1/21	REVISED CIRCULARS, 900' CURVES, 100' RADIUS & 100' RADIUS CURVES & STAKE
DATE	REVISION BLOCK
APPROVED: DEPARTMENT OF PLANNING AND ZONING	
Director - Department of Planning and Zoning	10-5-20 Date
Chief, Division of Land Development	10/17/20 Date
Chief, Development Engineering Division	9/24/20 Date

PREPARED FOR
 HOWARD COUNTY PUBLIC SCHOOL SYSTEM
 9020 MENDENHALL COURT
 SUITE 'C'
 COLUMBIA, MARYLAND 21045
 Attention: DANIEL LUBELEY
 410-313-8203

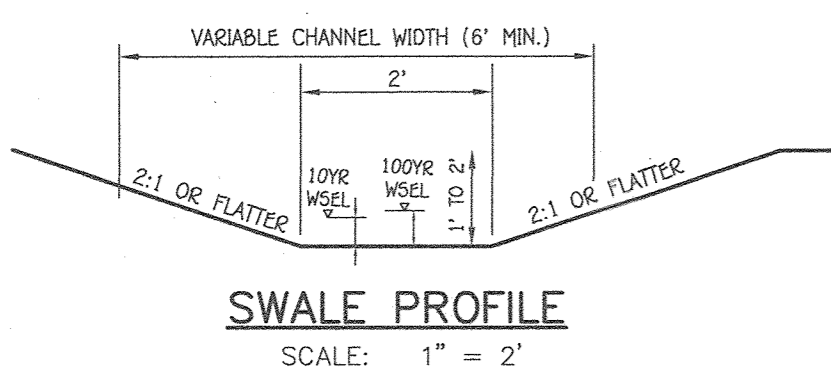
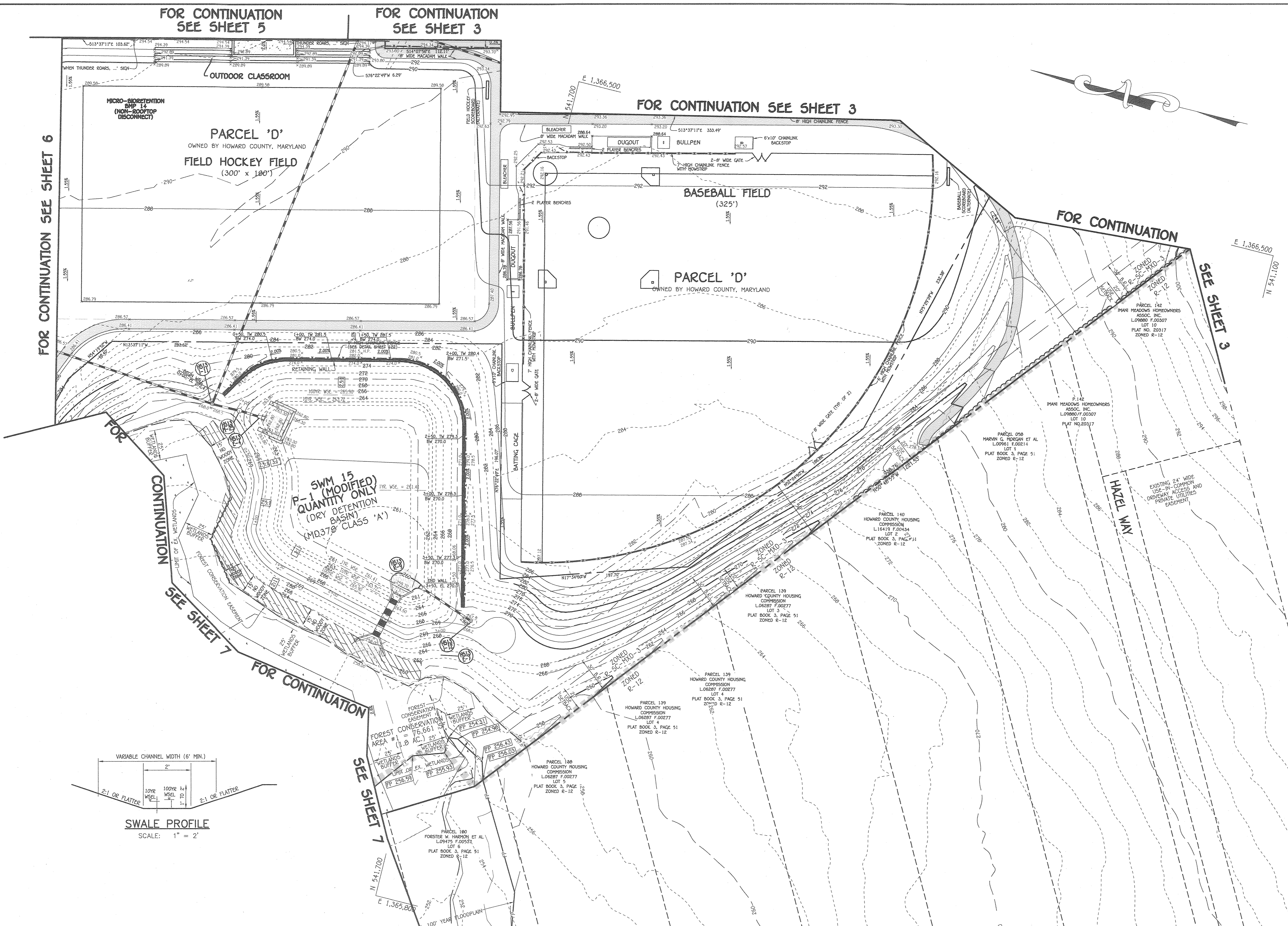
ADDRESS CHART	
PARCEL NO.	STREET ADDRESS
-	8500 RIDGELY'S RUN ROAD JESSUP, MARYLAND 20794

SITE DEVELOPMENT PLAN

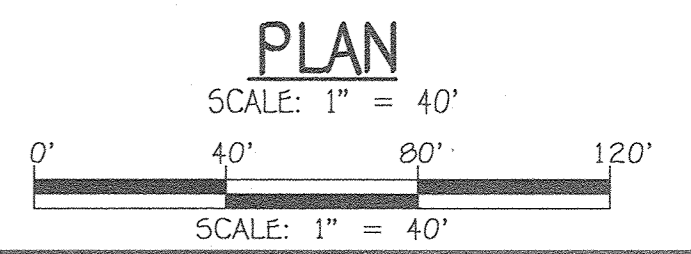
**HIGH SCHOOL #13
 PARCELS 'A' THRU 'D'**

ZONED: R-5C MXD-3, R-5A-B MXD-3 AND R-12
 PARCEL Nos.: 102, 349, 235
 TAX MAP No.: 42 & 43 GRID No.: 24 & 19
 SIXTH ELECTION DISTRICT HOWARD COUNTY, MARYLAND
 SCALE: AS SHOWN DATE: AUGUST, 2020
 SHEET 3 OF 131

LEGEND	
SYMBOL	DESCRIPTION
---	EXISTING CONTOUR 2' INTERVAL
---	EXISTING CONTOUR 10' INTERVAL
---	EXISTING SAN. SEWER LINE
---	EXISTING STORM DRAIN LINE
---	EXISTING WATER LINE
---	EXISTING UNDERGROUND ELECTRIC LINE
---	EXISTING CABLE/TV LINE
---	EXISTING FIBER OPTIC/CABLE LINE
---	EXISTING GAS LINE
---	EXISTING FENCE
---	PROPOSED FENCE
---	PROPOSED CONTOUR 2' INTERVAL
---	PROPOSED CONTOUR 10' INTERVAL
+	PROPOSED SPOT ELEVATION
---	PROPOSED CONCRETE WALK
---	PROPOSED MACADAM PAVING
---	EXISTING TREELINE
---	PROPOSED TREELINE
---	PROPOSED PUBLIC WATER
---	PROPOSED PRIVATE WATER
---	PROPOSED STORMDRAIN
---	PROPOSED PRIVATE SEWER
---	PROPOSED PUBLIC SEWER



NOTE:
THIS FACILITY WAS CONSTRUCTED UNDER A REDLINE REVISION TO F-17-064 CHASE PROPERTY AT MISSION ROAD. FINAL CONVERSION TO SWM SHALL BE DONE UNDER THIS PLAN.



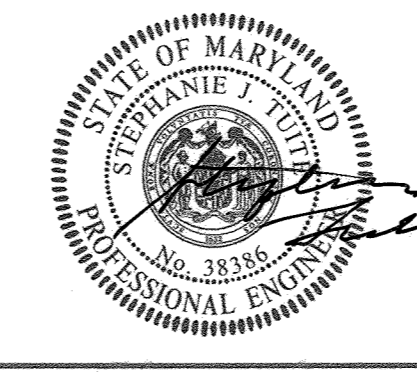
FISHER, COLLINS & CARTER, INC.
CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
CENTENNIAL SQUARE OFFICE PARK - 10272 BALTIMORE NATIONAL PIKE
ELLSWORTH CITY, MARYLAND 21046
(410) 461-2895

"PROFESSIONAL CERTIFICATION. I HEREBY CERTIFY THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 38386, EXPIRATION DATE: JANUARY 12, 2022."
Stephanie A. Tuite
STEPHANIE A. TUITE, RLA, P.E., LEED AP BC&D
8/17/20
DATE

DATE	DESCRIPTION
10-5-20	Date
8/17/20	Date
8-26-20	Date

APPROVED: DEPARTMENT OF PLANNING AND ZONING
Director: Department of Planning and Zoning
Chief, Development Engineering Division

PREPARED FOR
HOWARD COUNTY PUBLIC SCHOOL SYSTEM
9020 MENDENHALL COURT
SUITE 'C'
COLUMBIA, MARYLAND 21045
Attention: DANIEL LUBELEY
410-313-8203



ADDRESS CHART	
PARCEL NO.	STREET ADDRESS
-	8500 RIDGELYS RUN ROAD JESSUP, MARYLAND 20794

PROJECT	SECTION/AREA	PARCEL
HIGH SCHOOL #13	N/A	102, 349, 235

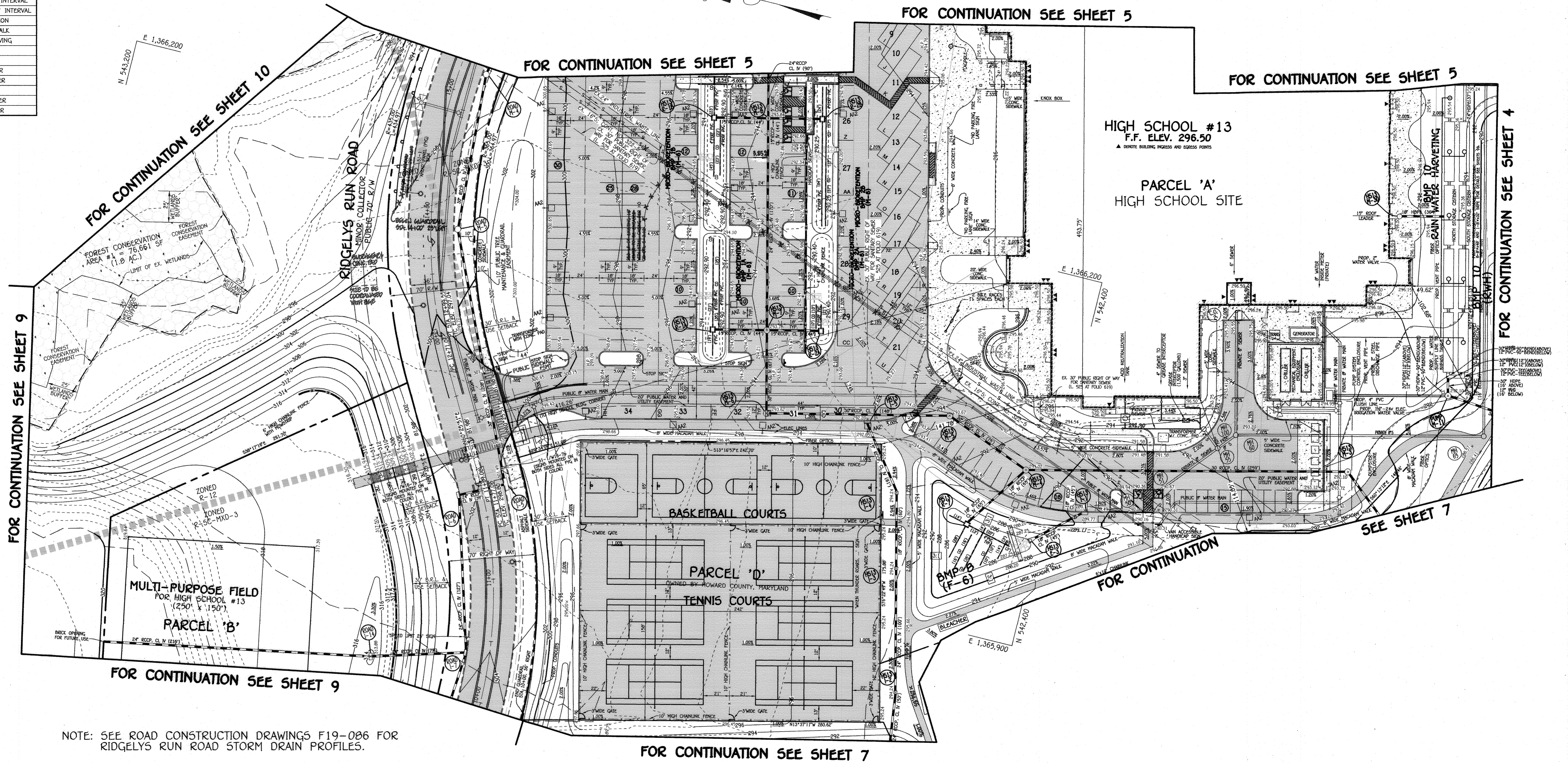
PLAT NOS.	BLOCK NO.	ZONE	TAX MAP	ELEC. DIST.	CENSUS TR.
255-B, 255-2, 255-3	18 & 24, 13 & 19	R-SC MXD-3, R-5A-8 MXD-3	42 & 43	SIXTH	606901

SITE DEVELOPMENT PLAN

**HIGH SCHOOL #13
PARCELS 'A' THRU 'D'**

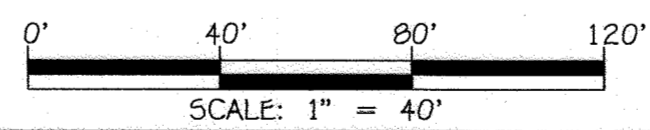
ZONED: R-SC MXD-3, R-5A-8 MXD-3 AND R-12
PARCEL NOS.: 102, 349, 235
TAX MAP No.: 42 & 43 GRID No.: 24 & 19
SIXTH ELECTION DISTRICT HOWARD COUNTY, MARYLAND
SCALE: AS SHOWN DATE: AUGUST, 2020
SHEET 4 OF 131

LEGEND	
SYMBOL	DESCRIPTION
--- 282 ---	EXISTING CONTOUR 2' INTERVAL
--- 280 ---	EXISTING CONTOUR 10' INTERVAL
---	EXISTING SAN. SEWER LINE
---	EXISTING STORM DRAIN LINE
---	EXISTING WATER LINE
---	EXISTING UNDERGROUND ELECTRIC LINE
---	EXISTING CABLE/TV LINE
---	EXISTING FIBER OPTIC/CABLE LINE
---	EXISTING GAS LINE
---	EXISTING FENCE
-x-x-	PROPOSED FENCE
--- 282 ---	PROPOSED CONTOUR 2' INTERVAL
--- 280 ---	PROPOSED CONTOUR 10' INTERVAL
+ 292.50	PROPOSED SPOT ELEVATION
[Symbol]	PROPOSED CONCRETE WALK
[Symbol]	PROPOSED MACADAM PAVING
[Symbol]	EXISTING TREELINE
[Symbol]	PROPOSED TREELINE
[Symbol]	PROPOSED PUBLIC WATER
[Symbol]	PROPOSED PRIVATE WATER
[Symbol]	PROPOSED STORM DRAIN
[Symbol]	PROPOSED PRIVATE SEWER
[Symbol]	PROPOSED PUBLIC SEWER



NOTE: SEE ROAD CONSTRUCTION DRAWINGS F19-086 FOR RIDGELY'S RUN ROAD STORM DRAIN PROFILES.

PLAN
SCALE: 1" = 40'



FISHER, COLLINS & CARTER, INC.
CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
CENTENNIAL SQUARE OFFICE PARK - 10772 BALTIMORE NATIONAL FREE
ELECTRIC CITY, MARYLAND 21042
(410) 461-2295

"PROFESSIONAL CERTIFICATION. I HEREBY CERTIFY THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 39386, EXPIRATION DATE: JANUARY 12, 2022."

Stephanie J. Tuite
STEPHANIE J. TUITE, R.L.A., P.E., LEED AP BC&D

8/17/20
DATE

DATE	DESCRIPTION	REVISION BLOCK
8/5/21	REVISIONS TO BIDDING, NOTES & SHOP DRAWINGS, REVISIONS POWER ENCLOSUREMENT	
APPROVED: DEPARTMENT OF PLANNING AND ZONING		
Director - Department of Planning and Zoning	<i>[Signature]</i>	16-5-26 Date
Chief, Division of Land Development (JLV)	<i>[Signature]</i>	10/1/20 Date
Chief, Development Engineering Division	<i>[Signature]</i>	8-26-20 Date

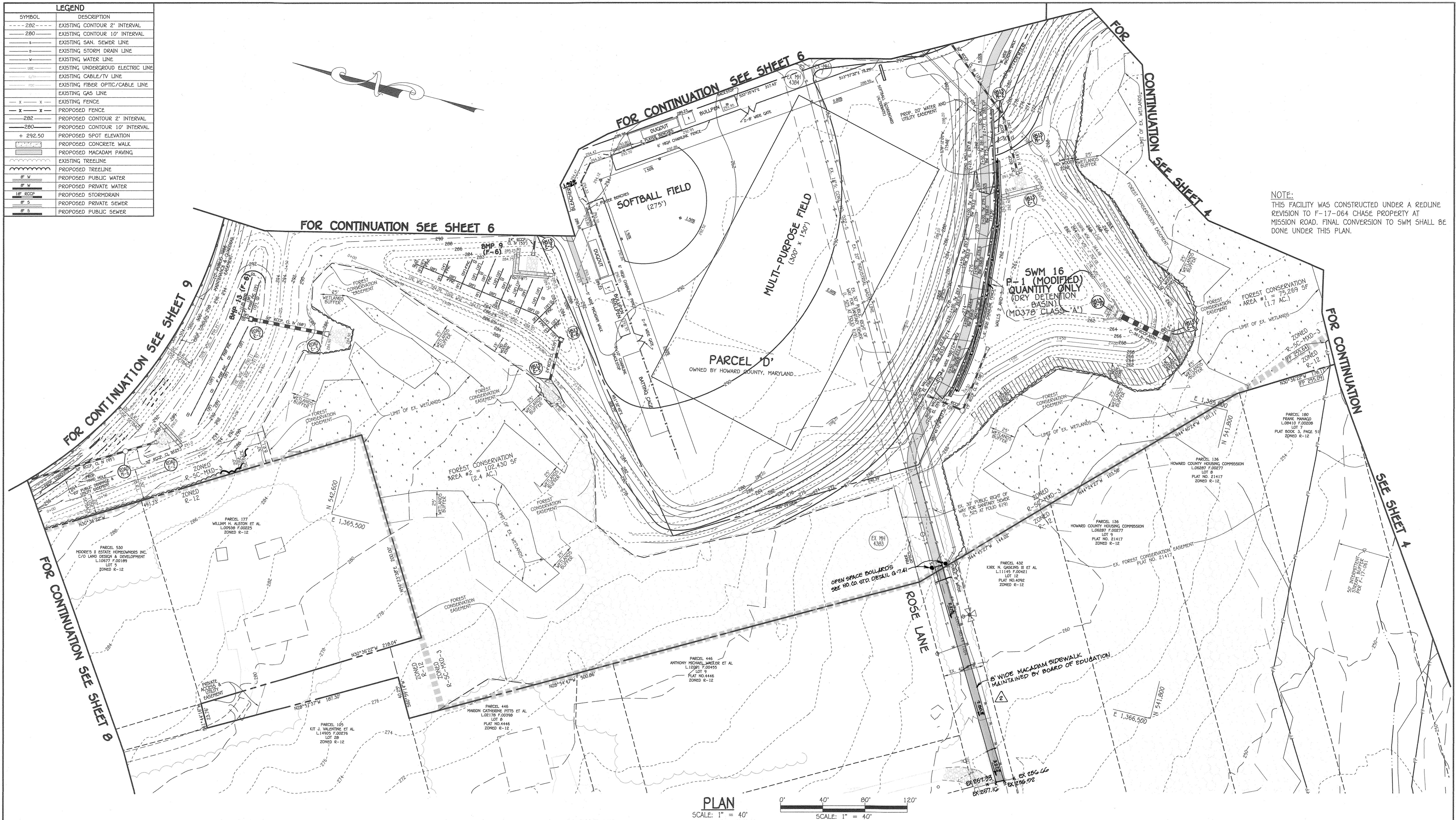
PREPARED FOR
HOWARD COUNTY PUBLIC SCHOOL SYSTEM
9020 MENDENHALL COURT
SUITE 'C'
COLUMBIA, MARYLAND 21045
Attention: DANIEL LUBELEY
410-313-8203



ADDRESS CHART	
PARCEL NO.	STREET ADDRESS
	8500 RIDGELY'S RUN ROAD JESSUP, MARYLAND 20794
PROJECT	
HIGH SCHOOL #13	SECTION/AREA PARCEL N/A 102, 349, 235
PLAT NOS.	
85528-18 & 24	BLOCK NO. 8-12
25532-13 & 19	ZONE RSC MXD-3
	TAX MAP 42 & 43
	ELEC. DIST. SIXTH
	CENSUS TR. 606901
WATER CODE	
	SEWER CODE

SITE DEVELOPMENT PLAN	
HIGH SCHOOL #13 PARCELS 'A' THRU 'D'	
ZONED: R-5C MXD-3, R-5A-8 MXD-3 AND R-12	
PARCEL NOS.: 102, 349, 235	
TAX MAP No.: 42 & 43 GRID No.: 24 & 19	
SIXTH ELECTION DISTRICT HOWARD COUNTY, MARYLAND	
SCALE: AS SHOWN DATE: AUGUST, 2020	
SHEET 6 OF 129	

LEGEND	
SYMBOL	DESCRIPTION
--- 202 ---	EXISTING CONTOUR 2' INTERVAL
--- 200 ---	EXISTING CONTOUR 10' INTERVAL
---	EXISTING SAN. SEWER LINE
---	EXISTING STORM DRAIN LINE
---	EXISTING WATER LINE
---	EXISTING UNDERGROUND ELECTRIC LINE
---	EXISTING CABLE/TV LINE
---	EXISTING FIBER OPTIC/CABLE LINE
---	EXISTING GAS LINE
---	EXISTING FENCE
-X-X-	PROPOSED FENCE
--- 202 ---	PROPOSED CONTOUR 2' INTERVAL
--- 200 ---	PROPOSED CONTOUR 10' INTERVAL
+ 292.50	PROPOSED SPOT ELEVATION
---	PROPOSED CONCRETE WALK
---	PROPOSED MACADAM PAVING
---	EXISTING TREELINE
---	PROPOSED TREELINE
---	PROPOSED PUBLIC WATER
---	PROPOSED PRIVATE WATER
---	PROPOSED STORM DRAIN
---	PROPOSED PRIVATE SEWER
---	PROPOSED PUBLIC SEWER



NOTE:
THIS FACILITY WAS CONSTRUCTED UNDER A REDLINE REVISION TO F-17-064 CHASE PROPERTY AT MISSION ROAD. FINAL CONVERSION TO SWM SHALL BE DONE UNDER THIS PLAN.

PLAN
SCALE: 1" = 40'

FISHER, COLLINS & CARTER, INC.
CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
CENTRAL SQUARE OFFICE: PARCELS 10272 BALTIMORE NATIONAL PIKE
ELLSWORTH CITY, MARYLAND 21042
(410) 461-2000

"PROFESSIONAL CERTIFICATION. I HEREBY CERTIFY THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 39386, EXPIRATION DATE: JANUARY 12, 2022."

Stephanie J. Tuttle
STEPHANIE J. TUTTLE, R.L.A., P.E., LEED AP BC&D
8/17/20
DATE

STATE OF MARYLAND
PROFESSIONAL ENGINEER
APR 1/25/20
APR 1/25/20

5/25/23	ADDED SIDEWALK IN ROSE LANE	
9/3/21	REMOVED PROPOSED TREELINE, NEW CHAINLINK FENCE & REMOVED LAWN	
DATE	DESCRIPTION	REVISION BLOCK
APPROVED: DEPARTMENT OF PLANNING AND ZONING		
<i>[Signature]</i>	16-5-20	Date
Director, Department of Planning and Zoning	<i>[Signature]</i>	Date
Chief, Division of Land Development	<i>[Signature]</i>	Date
Chief, Development Engineering Division	<i>[Signature]</i>	Date

PREPARED FOR
HOWARD COUNTY PUBLIC SCHOOL SYSTEM
9020 MENDENHALL COURT
SUITE 'C'
COLUMBIA, MARYLAND 21045
Attention: DANIEL LUBELEY
410-313-8203

STATE OF MARYLAND
PROFESSIONAL ENGINEER
NO. 38388
APR 1/25/20

ADDRESS CHART	
PARCEL NO.	STREET ADDRESS
-	8500 RIDGELYS RUN ROAD
-	JESSUP, MARYLAND 20794

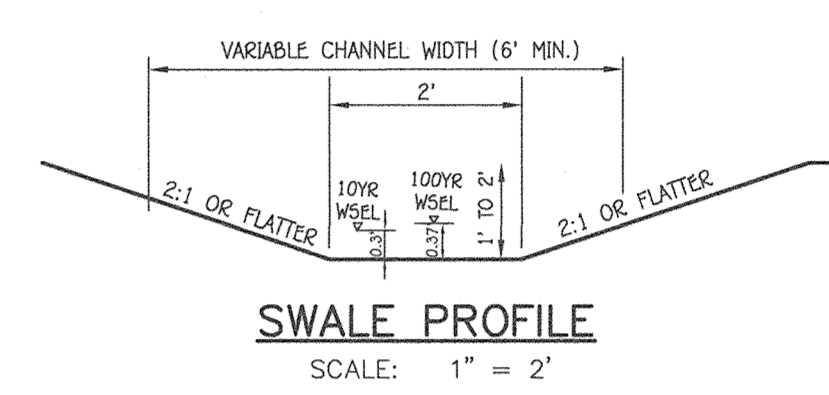
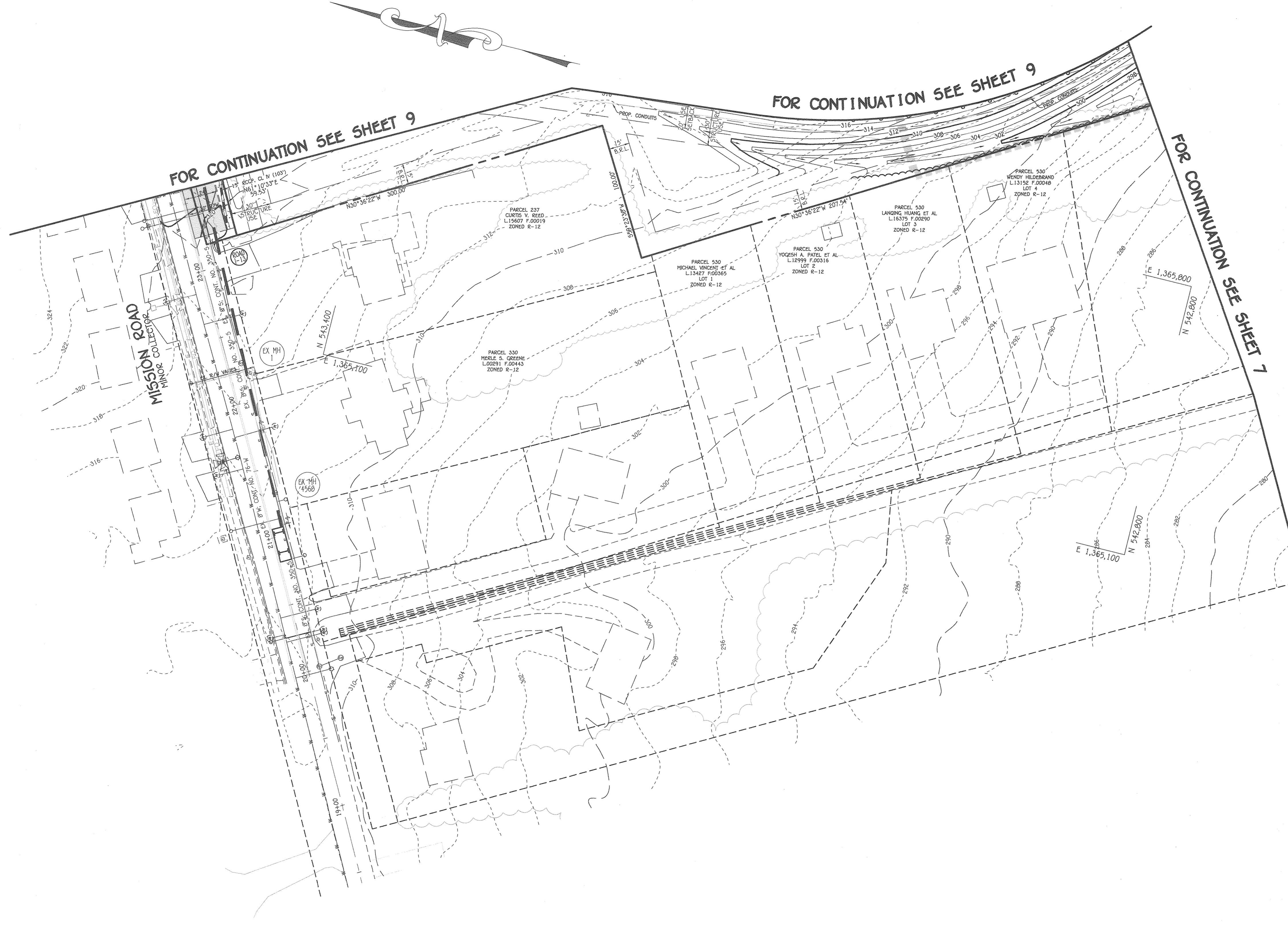
PROJECT	SECTION/AREA	PARCEL
HIGH SCHOOL #13	N/A	102, 349, 235
PLAT NOS. 25528, 25532	BLOCK NOS. 18 & 24, 13 & 19	ZONE R-SC MXD-3, R-5A-B MXD-3 AND R-12
TAX MAP NO. 42 & 43	ELEC. DIST. 42 & 43	SIXTH CENSUS TR. 606901
WATER CODE	SEWER CODE	

SITE DEVELOPMENT PLAN

**HIGH SCHOOL #13
PARCELS 'A' THRU 'D'**

ZONED: R-SC MXD-3, R-5A-B MXD-3 AND R-12
PARCEL NOS.: 102, 349, 235
TAX MAP NOS.: 42 & 43 GRID NO.: 24 & 19
SIXTH ELECTION DISTRICT: HOWARD COUNTY, MARYLAND
SCALE: AS SHOWN DATE: AUGUST, 2020
SHEET 7 OF 131

LEGEND	
SYMBOL	DESCRIPTION
--- 282 ---	EXISTING CONTOUR 2' INTERVAL
--- 280 ---	EXISTING CONTOUR 10' INTERVAL
---	EXISTING SAN. SEWER LINE
---	EXISTING STORM DRAIN LINE
---	EXISTING WATER LINE
---	EXISTING UNDERGROUND ELECTRIC LINE
---	EXISTING CABLE/TV LINE
---	EXISTING FIBER OPTIC/CABLE LINE
---	EXISTING GAS LINE
x - x	EXISTING FENCE
x - x	PROPOSED FENCE
--- 282 ---	PROPOSED CONTOUR 2' INTERVAL
--- 280 ---	PROPOSED CONTOUR 10' INTERVAL
+ 292.50	PROPOSED SPOT ELEVATION
---	PROPOSED CONCRETE WALK
---	PROPOSED MACADAM PAVING
---	EXISTING TREELINE
---	PROPOSED TREELINE
8" W	PROPOSED PUBLIC WATER
8" W	PROPOSED PRIVATE WATER
18" SCOP	PROPOSED STORMDRAIN
8" S	PROPOSED PRIVATE SEWER
8" S	PROPOSED PUBLIC SEWER



PLAN
SCALE: 1" = 40'

"PROFESSIONAL CERTIFICATION, I HEREBY CERTIFY THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 38386, EXPIRATION DATE: JANUARY 12, 2022."

Stephanie J. Tuite
STEPHANIE J. TUITE, RLA, P.E., LEED AP-BC&O
8/12/20
DATE

DATE	DESCRIPTION
	REVISION BLOCK
APPROVED: DEPARTMENT OF PLANNING AND ZONING	
<i>[Signature]</i>	10-5-20 Date
Director - Department of Planning and Zoning	
<i>[Signature]</i>	10/5/20 Date
Chief, Division of Land Development	
<i>[Signature]</i>	8-24-20 Date
Chief, Development Engineering Division	

PREPARED FOR
HOWARD COUNTY PUBLIC SCHOOL SYSTEM
9020 MENDENHALL COURT
SUITE 'C'
COLUMBIA, MARYLAND 21045
Attention: DANIEL LUBELEY
410-313-8203



ADDRESS CHART					
PARCEL NO.	STREET ADDRESS				
	8500 RIDGELYS RUN ROAD JESSUP, MARYLAND 20794				
PROJECT					
HIGH SCHOOL #13	SECTION/AREA N/A				
PARCEL 102, 349, 235					
PLAT NOS.	BLOCK NO.	ZONE	TAX MAP	ELEC. DIST.	CENSUS TR.
18 & 24 13 & 19	18 & 24 13 & 19	R-12 RSC MXD-3 RSA-B MXD-3	42 & 43	SIXTH	606901
WATER CODE		SEWER CODE			
---		---			

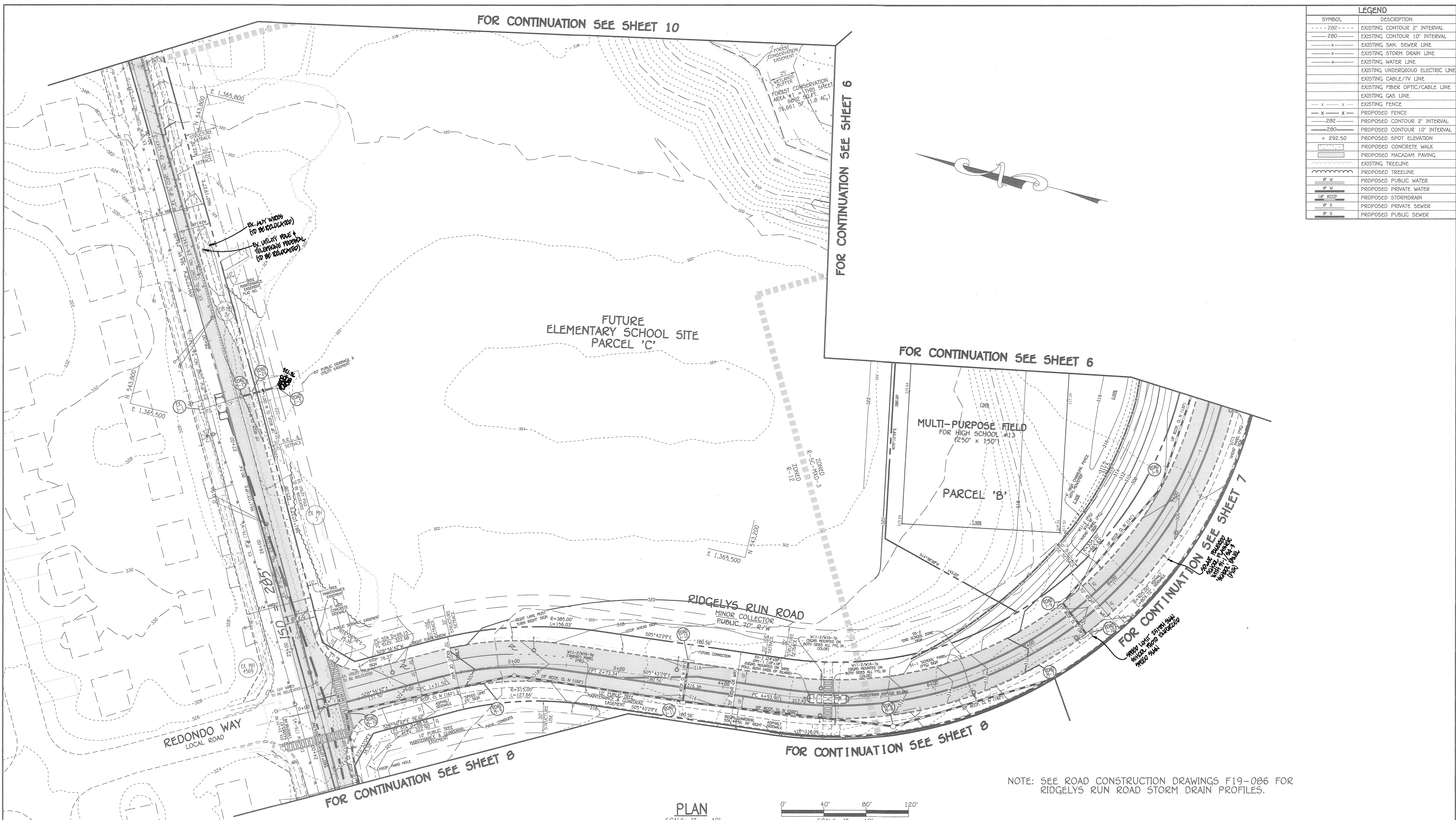
SITE DEVELOPMENT PLAN

**HIGH SCHOOL #13
PARCELS 'A' THRU 'D'**

ZONED: R-SC MXD-3, R-5A-B MXD-3 AND R-12
PARCEL Nos.: 102, 349, 235
TAX MAP No.: 42 & 43 GRID No.: 24 & 19
SIXTH ELECTION DISTRICT HOWARD COUNTY, MARYLAND
SCALE: AS SHOWN DATE: AUGUST, 2020
SHEET 8 OF 13

FISHER, COLLINS & CARTER, INC.
CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
CENTRAL SQUARE OFFICE PARK - 10272 BALDWIN NATIONAL PIKE
ELLSWORTH CITY, MARYLAND 21042
(410) 461-2000

I:\2010\10027\Engineering\DWG\SDP\10027 SDP 003-10 SITE PLANS.dwg, SHEET 008, SHEET 008, 8/11/2020 3:32:38 PM, 1:1



LEGEND	
SYMBOL	DESCRIPTION
--- 2' ---	EXISTING CONTOUR 2' INTERVAL
--- 10' ---	EXISTING CONTOUR 10' INTERVAL
---	EXISTING SAN. SEWER LINE
---	EXISTING STORM DRAIN LINE
---	EXISTING WATER LINE
---	EXISTING UNDERGROUND ELECTRIC LINE
---	EXISTING CABLE/TV LINE
---	EXISTING FIBER OPTIC/CABLE LINE
---	EXISTING GAS LINE
---	EXISTING FENCE
---	PROPOSED FENCE
---	PROPOSED CONTOUR 2' INTERVAL
---	PROPOSED CONTOUR 10' INTERVAL
+	PROPOSED SPOT ELEVATION
---	PROPOSED CONCRETE WALK
---	PROPOSED MACADAM PAVING
---	EXISTING TREELINE
---	PROPOSED TREELINE
---	PROPOSED PUBLIC WATER
---	PROPOSED PRIVATE WATER
---	PROPOSED STORMDRAIN
---	PROPOSED PRIVATE SEWER
---	PROPOSED PUBLIC SEWER

PLAN
SCALE: 1" = 40'

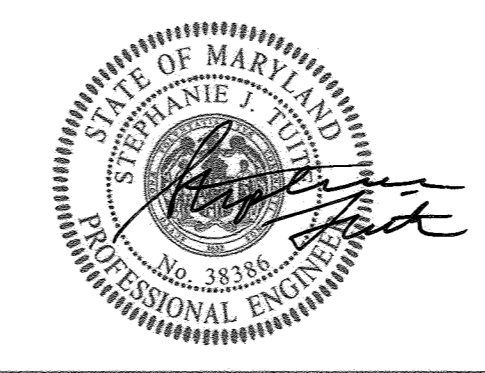
NOTE: SEE ROAD CONSTRUCTION DRAWINGS F19-086 FOR RIDGELYS RUN ROAD STORM DRAIN PROFILES.

FISHER, COLLINS & CARTER, INC.
CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
CENTRAL SQUARE OFFICE PARK - 10276 BALTIMORE NATIONAL PIKE
CULBERTSON CITY, MARYLAND 21046
(410) 461-2299

"PROFESSIONAL CERTIFICATION, I HEREBY CERTIFY THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 38366, EXPIRATION DATE: JANUARY 12, 2022."
Stephanie J. Tuite
STEPHANIE J. TUITE, R.I.A., P.E., LEED AP BC&O
8/17/20
DATE

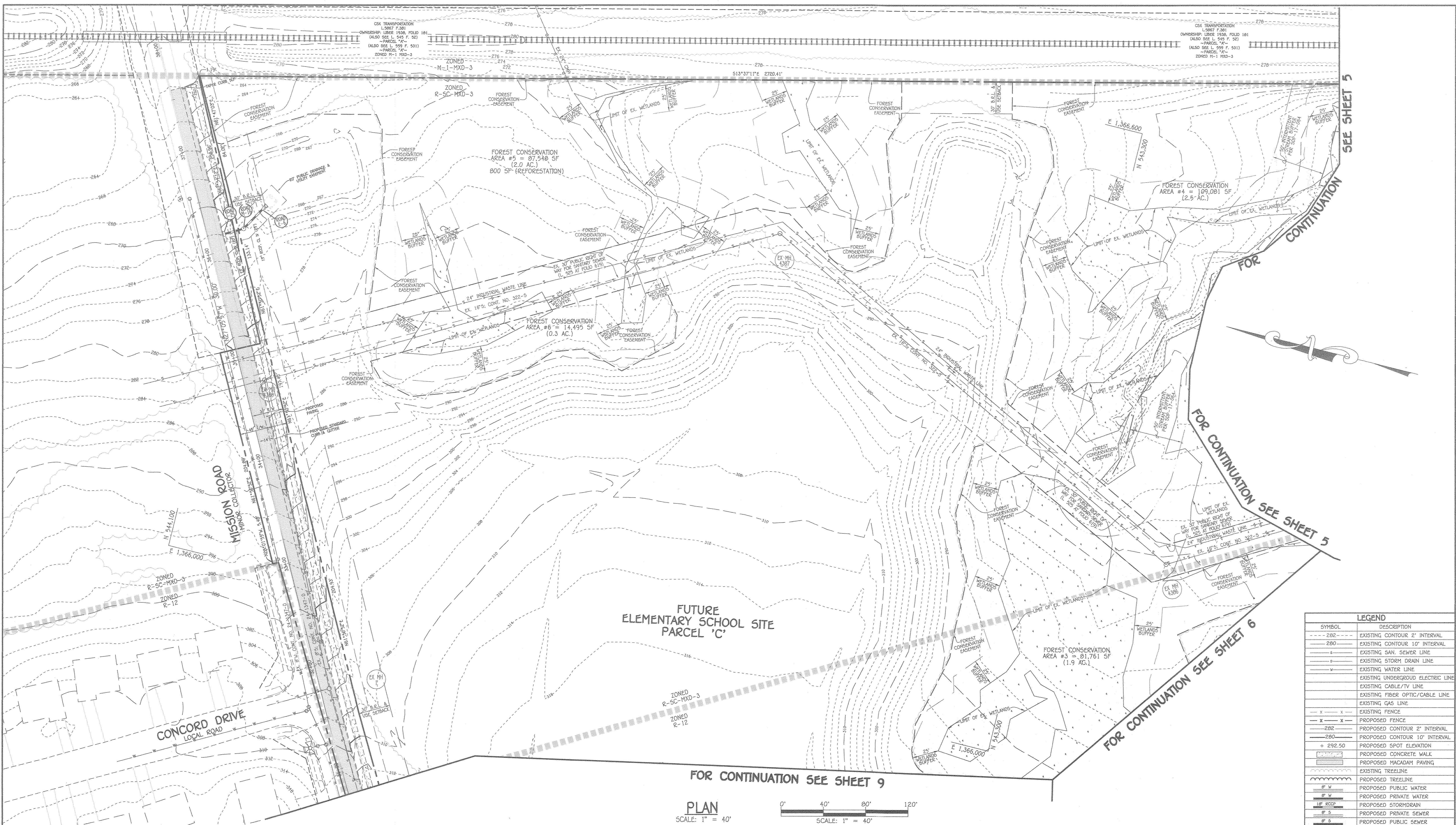
DATE	DESCRIPTION	DATE
3/9/21	REVISED RFP PLAN & ADDED NOTES & SPEC. BLKS.	
	REVISION BLOCK	
APPROVED: DEPARTMENT OF PLANNING AND ZONING		
<i>John Gorman</i>	10-5-20	Date
Director, Department of Planning and Zoning		
<i>Michael</i>	8-24-20	Date
Chief, Development Engineering Division		

PREPARED FOR
HOWARD COUNTY PUBLIC SCHOOL SYSTEM
9020 MENDENHALL COURT
SUITE 'C'
COLUMBIA, MARYLAND 21045
Attention: DANIEL LUBBELEY
410-313-8203



ADDRESS CHART			
PARCEL NO.	STREET ADDRESS		
	8500 RIDGELYS RUN ROAD		
	JESSUP, MARYLAND 20794		
PROJECT		SECTION/AREA	PARCEL
HIGH SCHOOL #13		N/A	102, 349, 235
PLAT NOS.	BLOCK NO.	ZONE	TAX MAP
10 & 24	13 & 19	RSC MXD-3	42 & 43
WATER CODE		SEWER CODE	

SITE DEVELOPMENT PLAN	
HIGH SCHOOL #13 PARCELS 'A' THRU 'D'	
ZONED: R-SC MXD-3, R-SA-8 MXD-3 AND R-12	
PARCEL Nos.: 102, 349, 235	
TAX MAP No.: 42 & 43 GRID No.: 24 & 19	
SIXTH ELECTION DISTRICT HOWARD COUNTY, MARYLAND	
SCALE: AS SHOWN	DATE: AUGUST, 2020
SHEET 9 OF 131	



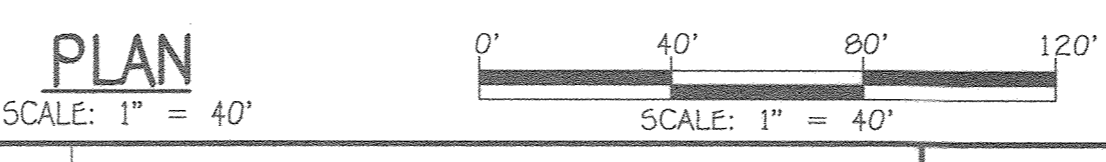
SEE SHEET 5

FOR CONTINUATION

FOR CONTINUATION SEE SHEET 5

FOR CONTINUATION SEE SHEET 6

FOR CONTINUATION SEE SHEET 9



LEGEND	
SYMBOL	DESCRIPTION
--- 2' ---	EXISTING CONTOUR 2' INTERVAL
--- 10' ---	EXISTING CONTOUR 10' INTERVAL
---	EXISTING SAN. SEWER LINE
---	EXISTING STORM DRAIN LINE
---	EXISTING WATER LINE
---	EXISTING UNDERGROUND ELECTRIC LINE
---	EXISTING CABLE/TV LINE
---	EXISTING FIBER OPTIC/CABLE LINE
---	EXISTING GAS LINE
---	EXISTING FENCE
---	PROPOSED FENCE
--- 2' ---	PROPOSED CONTOUR 2' INTERVAL
--- 10' ---	PROPOSED CONTOUR 10' INTERVAL
+ 292.50	PROPOSED SPOT ELEVATION
---	PROPOSED CONCRETE WALK
---	PROPOSED MACADAM PAVING
---	EXISTING TREELINE
---	PROPOSED TREELINE
6" W	PROPOSED PUBLIC WATER
6" W	PROPOSED PRIVATE WATER
6" S	PROPOSED PRIVATE SEWER
6" S	PROPOSED PUBLIC SEWER

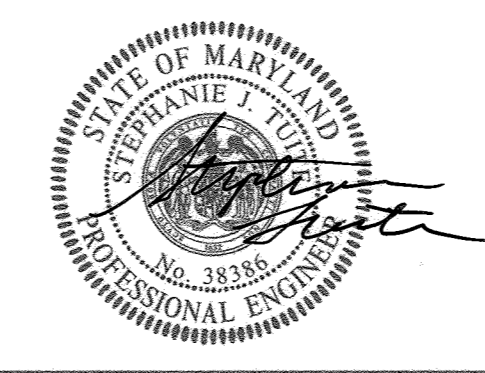
FISHER, COLLINS & CARTER, INC.
 CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
 CENTENNIAL SQUARE OFFICE PARK - 10272 BALTIMORE NATIONAL PIKE
 ELICOTT CITY, MARYLAND 21042
 (410) 461-2255

"PROFESSIONAL CERTIFICATION. I HEREBY CERTIFY THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 38386, EXPIRATION DATE: JANUARY 12, 2022."
Stephanie S. Tuite
 STEPHANIE S. TUIE, RIA, P.E., LEED AP BC&O
 8/17/20
 DATE

DATE	DESCRIPTION	REVISION BLOCK
10-5-20		
11/12/20		
8-26-20		

APPROVED: DEPARTMENT OF PLANNING AND ZONING
 Director, Department of Planning and Zoning
 Chief, Division of Land Development
 Chief, Development Engineering Division

PREPARED FOR
 HOWARD COUNTY PUBLIC SCHOOL SYSTEM
 9020 MENDENHALL COURT
 SUITE 'C'
 COLUMBIA, MARYLAND 21045
 Attention: DANIEL LUBELEY
 410-313-8203



ADDRESS CHART			
PARCEL NO.	STREET ADDRESS		
-	8500 RIDGELYS RUN ROAD		
-	JESSUP, MARYLAND 20794		

PROJECT	SECTION/AREA	PARCEL
HIGH SCHOOL #13	N/A	102, 349, 235

PLAT NOS.	BLOCK NO.	ZONE	TAX MAP	ELEC. DIST.	CENSUS TR.
25528-18 & 24	13 & 19	R-12 R-SC MXD-3 R-5A-8 MXD-3	42 & 43	SIXTH	606901

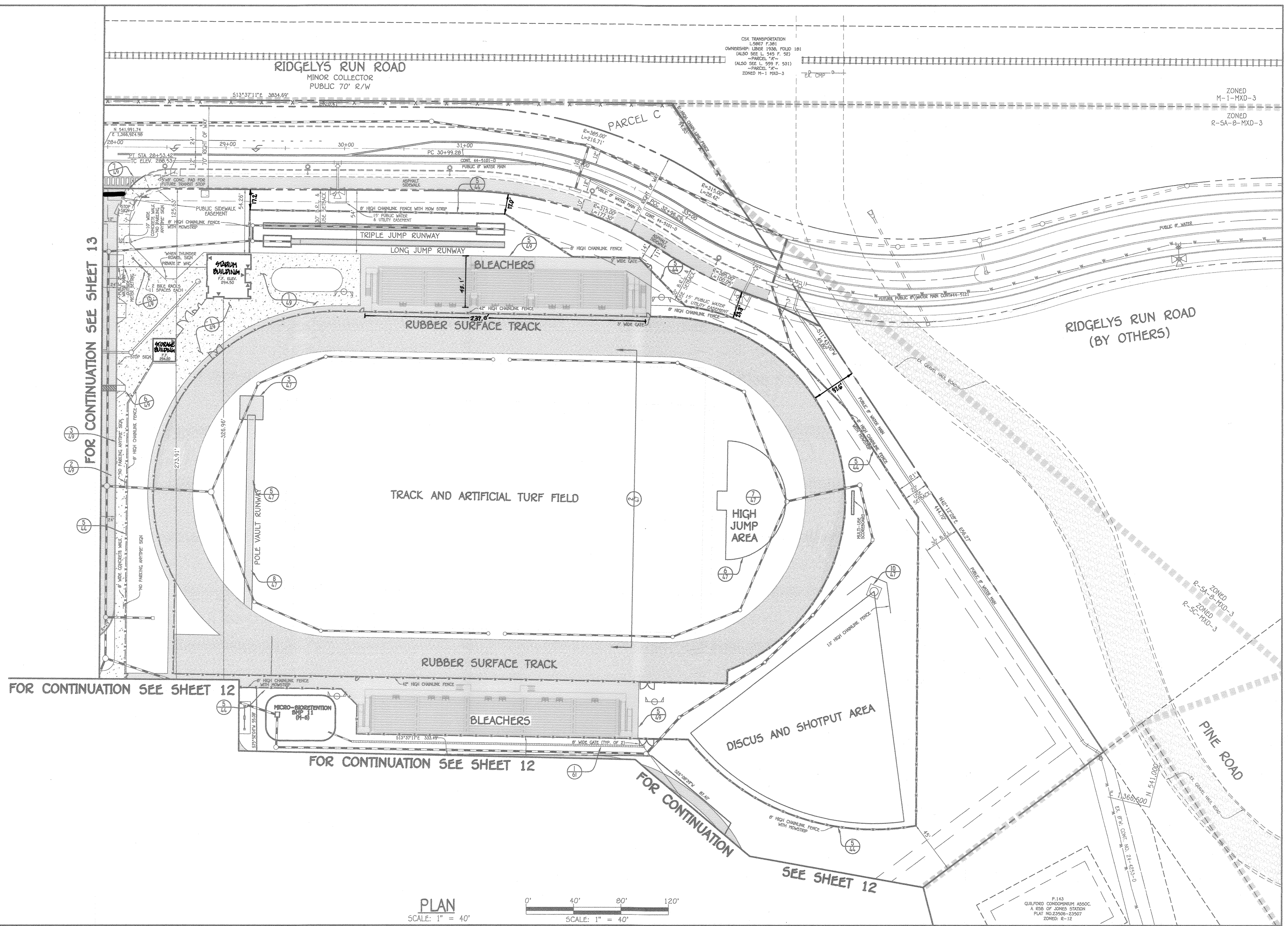
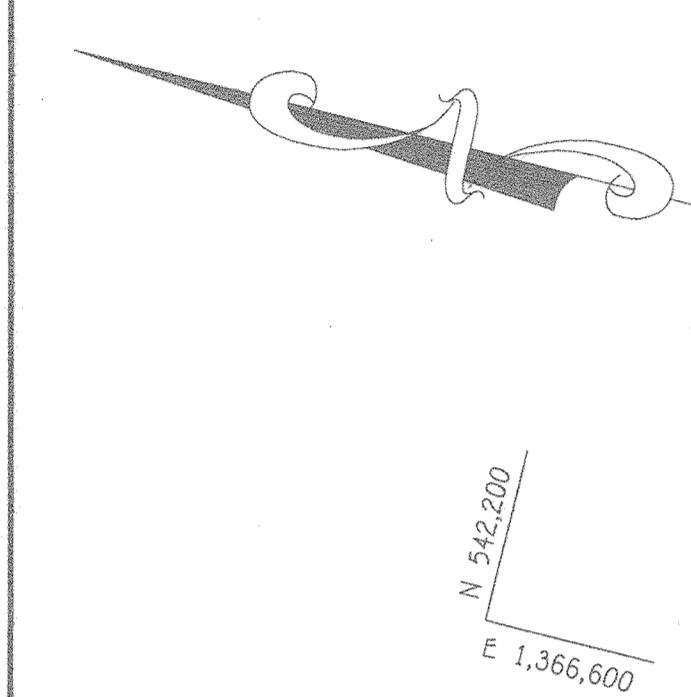
SITE DEVELOPMENT PLAN

**HIGH SCHOOL #13
 PARCELS 'A' THRU 'D'**

ZONED: R-SC MXD-3, R-5A-8 MXD-3 AND R-12
 PARCEL Nos.: 102, 349, 235
 TAX MAP No.: 42 & 43 GRID No.: 24 & 19
 SIXTH ELECTION DISTRICT HOWARD COUNTY, MARYLAND
 SCALE: AS SHOWN DATE: AUGUST, 2020
 SHEET 10 OF 131

I:\2010\10027\Engineering\DWG\SDP\10027 SDP 003-10 SITE PLANS.dwg, SHEET-010, 8/18/2020 3:35:39 PM, 1:1

SYMBOL	DESCRIPTION
—○—	EXISTING SAN. SEWER LINE
—○—	EXISTING STORM DRAIN LINE
—○—	EXISTING WATER LINE
—○—	EXISTING UNDERGROUND ELECTRIC LINE
—○—	EXISTING CABLE/TV LINE
—○—	EXISTING FIBER OPTIC/CABLE LINE
—○—	EXISTING GAS LINE
—○—	EXISTING FENCE
—x—x—	PROPOSED FENCE
—	PROPOSED CONCRETE WALK
—	PROPOSED MACADAM PAVING
—	PROPOSED PUBLIC WATER
—	PROPOSED PRIVATE WATER
—	PROPOSED STORMDRAIN
—	PROPOSED PRIVATE SEWER
—	PROPOSED PUBLIC SEWER



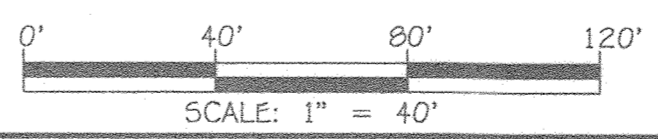
FOR CONTINUATION SEE SHEET 12

FOR CONTINUATION SEE SHEET 13

FOR CONTINUATION SEE SHEET 12

FOR CONTINUATION
SEE SHEET 12

PLAN
SCALE: 1" = 40'



FISHER, COLLINS & CARTER, INC.
CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
CENTENAL SQUARE OFFICE PARK - 10772 BALTIMORE NATIONAL PIKE
ELLSWORTH CITY, MARYLAND 21042
(410) 451-2895

"PROFESSIONAL CERTIFICATION. I HEREBY CERTIFY THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 36386, EXPIRATION DATE: JANUARY 12, 2022."
Stephanie J. Tuite
STEPHANIE J. TUITE, RLA, P.E., LEED AP BC&D
DATE: 8/17/20

DATE	DESCRIPTION	REVISION BLOCK
3/9/21	ADDED DIMENSIONS & GRID BARS	

APPROVED: DEPARTMENT OF PLANNING AND ZONING
Director: *Ag Gray* 10-5-20
Date: 10/5/20
Chief, Department of Land Development: *Michael M...* 8-28-20
Date: 8-28-20
Chief, Development Engineering Division: *f*

PREPARED FOR
HOWARD COUNTY PUBLIC SCHOOL SYSTEM
9020 MENDENHALL COURT
SUITE 'C'
COLUMBIA, MARYLAND 21045
Attention: DANIEL LUBELEY
410-313-8203



PARCEL NO.	STREET ADDRESS
	8500 RIDGELY'S RUN ROAD JESSUP, MARYLAND 20794

PROJECT	SECTION/AREA	PARCEL
HIGH SCHOOL #13	N/A	102, 349, 235
PLAT NOS. 25528-10 & 24-13 & 19	ZONE R-12 R-5C MXD-3 R-5A-B MXD-3	TAX MAP 42 & 43 SIXTH ELEC. DIST. 606901
WATER CODE		SEWER CODE

GEOMETRY PLAN

HIGH SCHOOL #13
PARCELS 'A' THRU 'D'

ZONED: R-5C MXD-3, R-5A-B MXD-3 AND R-12
PARCEL Nos.: 102, 349, 235
TAX MAP No.: 42 & 43 GRID No.: 24 & 19
SIXTH ELECTION DISTRICT HOWARD COUNTY, MARYLAND
SCALE: AS SHOWN DATE: AUGUST, 2020
SHEET 11 OF 131

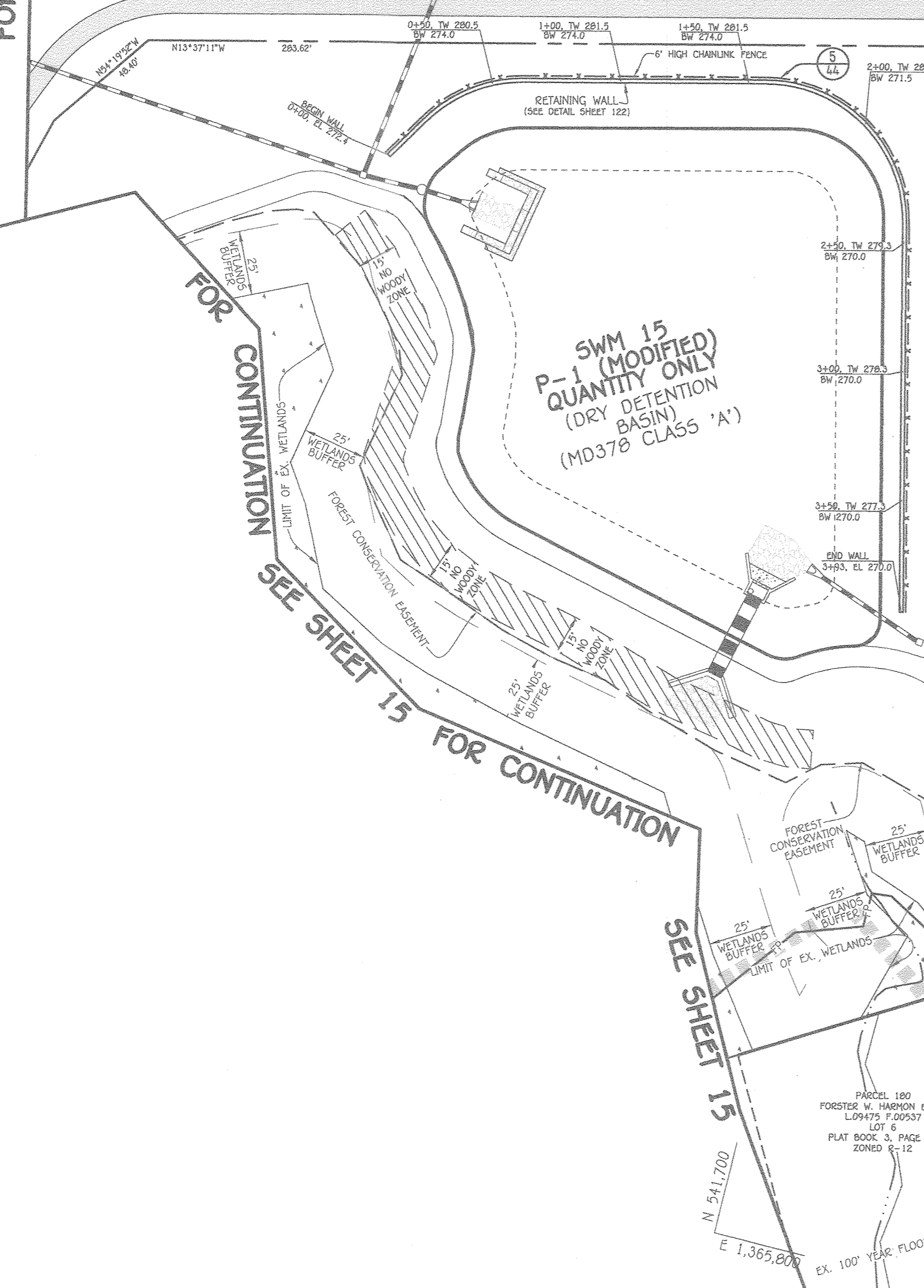
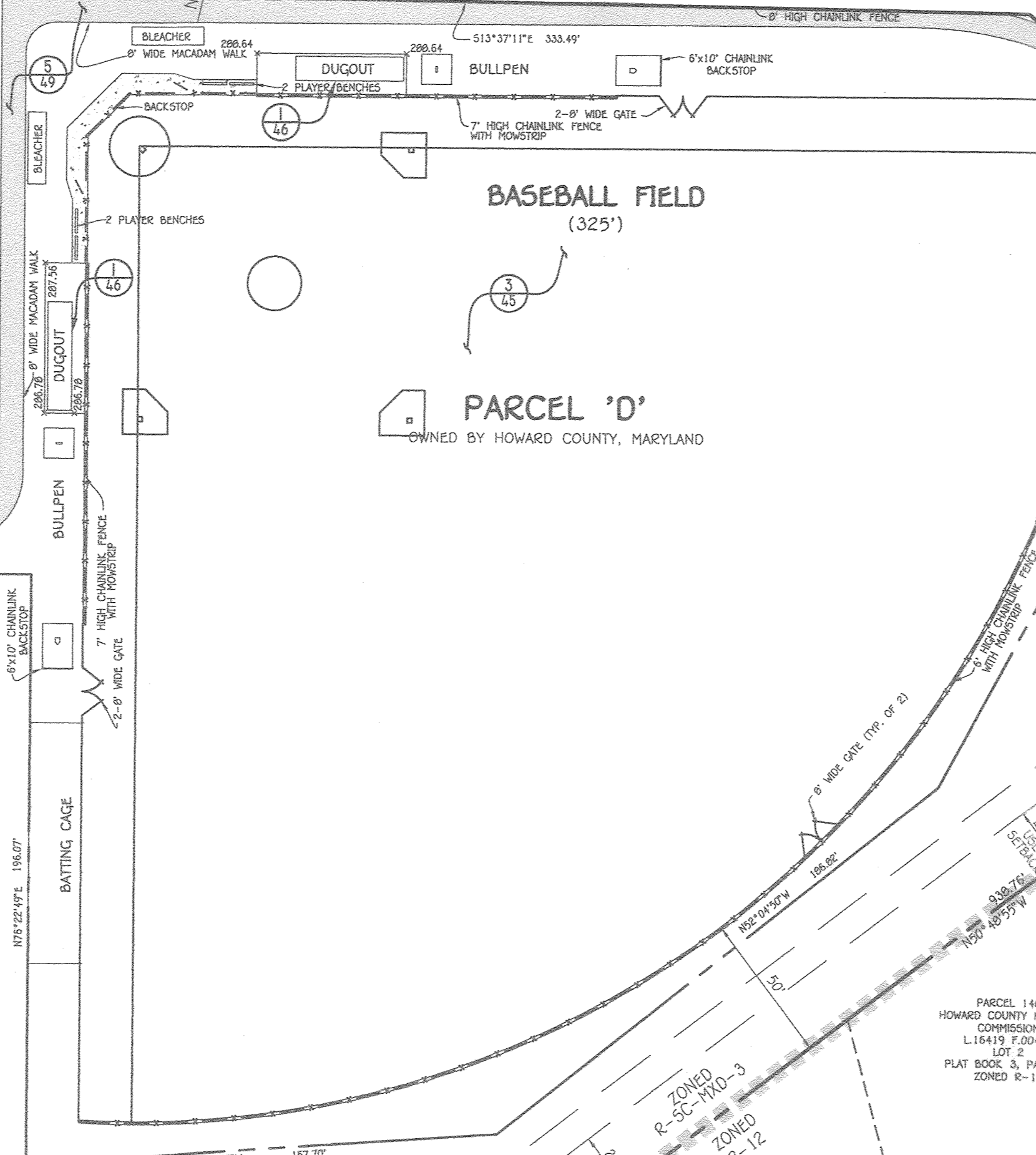
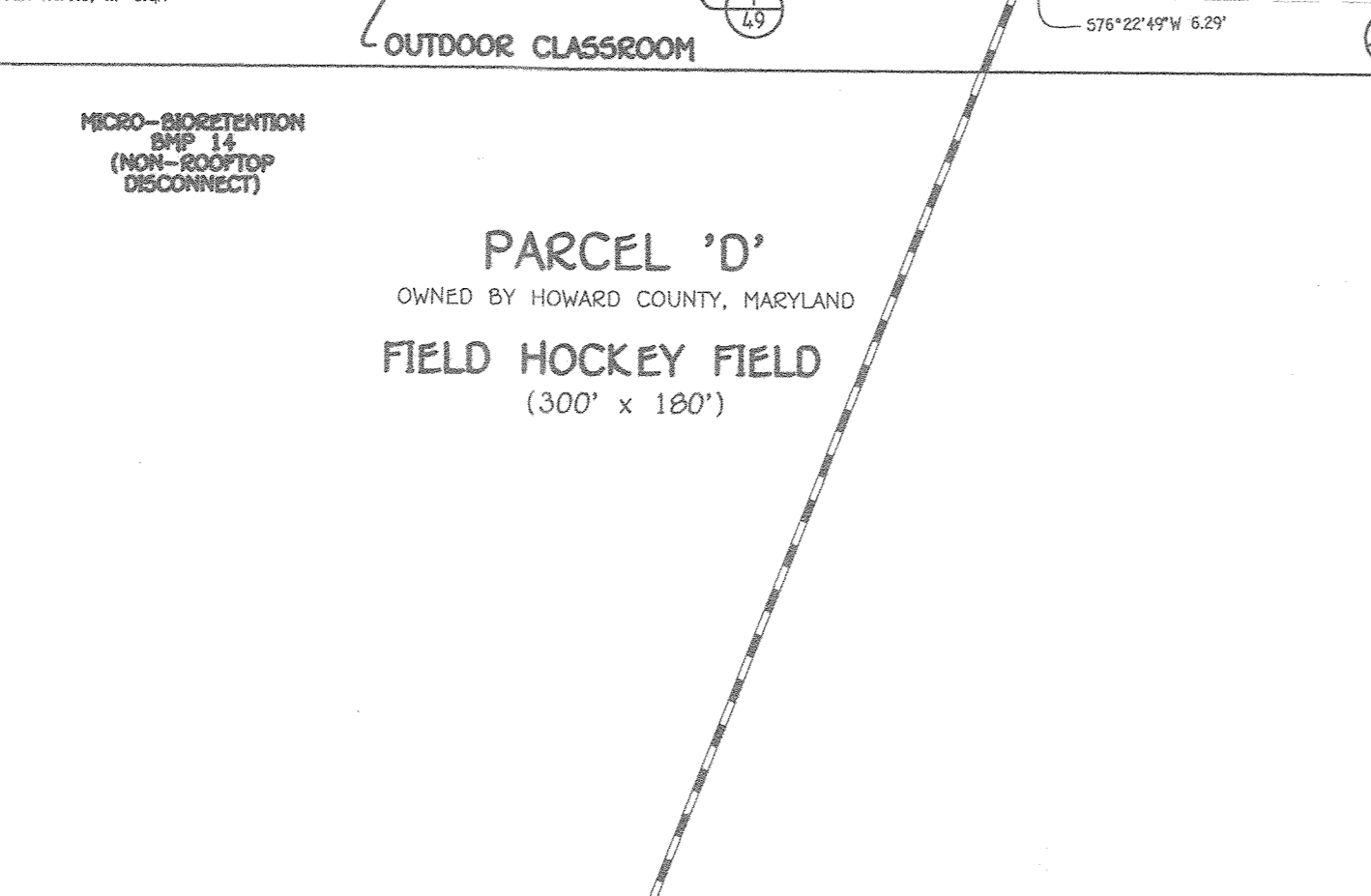
FOR CONTINUATION SEE SHEET 13

FOR CONTINUATION SEE SHEET 11

FOR CONTINUATION SEE SHEET 11

FOR CONTINUATION SEE SHEET 11

FOR CONTINUATION SEE SHEET 14

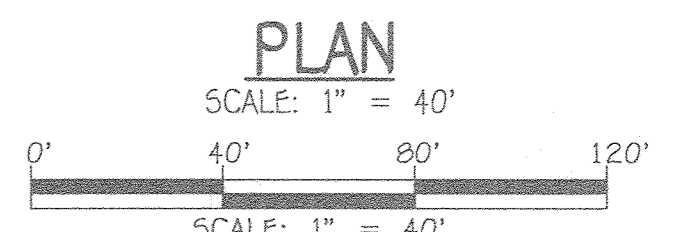


SEE SHEET 11

FOR CONTINUATION SEE SHEET 15

SEE SHEET 15

LEGEND	
SYMBOL	DESCRIPTION
	EXISTING SAN SEWER LINE
	EXISTING STORM DRAIN LINE
	EXISTING WATER LINE
	EXISTING UNDERGROUND ELECTRIC LINE
	EXISTING CABLE/TV LINE
	EXISTING FIBER OPTIC/CABLE LINE
	EXISTING GAS LINE
	EXISTING FENCE
	PROPOSED FENCE
	PROPOSED CONCRETE WALK
	PROPOSED MACADAM PAVING
	PROPOSED PUBLIC WATER
	PROPOSED PRIVATE WATER
	PROPOSED STORM DRAIN
	PROPOSED PRIVATE SEWER
	PROPOSED PUBLIC SEWER



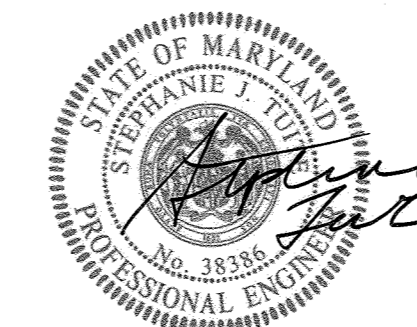
FISHER, COLLINS & CARTER, INC.
CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
CENTRAL SQUARE OFFICE PARK - 10222 BALTIMORE NATIONAL PIKE
ELLSWORTH CITY, MARYLAND 21046
(410) 461 - 2255

"PROFESSIONAL CERTIFICATION. I HEREBY CERTIFY THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 38386, EXPIRATION DATE: JANUARY 12, 2022."

Stephanie Tuite
STEPHANIE T. TUIE, R.L.A., P.E., LEED AP BC&D
9/17/20
DATE

DATE	DESCRIPTION
	REVISION BLOCK
APPROVED: DEPARTMENT OF PLANNING AND ZONING	
<i>John G...</i> Director	16-5-20 Date
<i>John G...</i> Chief, Department of Planning and Zoning	10/16/20 Date
<i>John G...</i> Chief, Development Engineering Division	9-26-20 Date

PREPARED FOR
HOWARD COUNTY PUBLIC SCHOOL SYSTEM
9020 MENDENHALL COURT
SUITE 'C'
COLUMBIA, MARYLAND 21045
Attention: DANIEL LUBELEY
410-313-8203



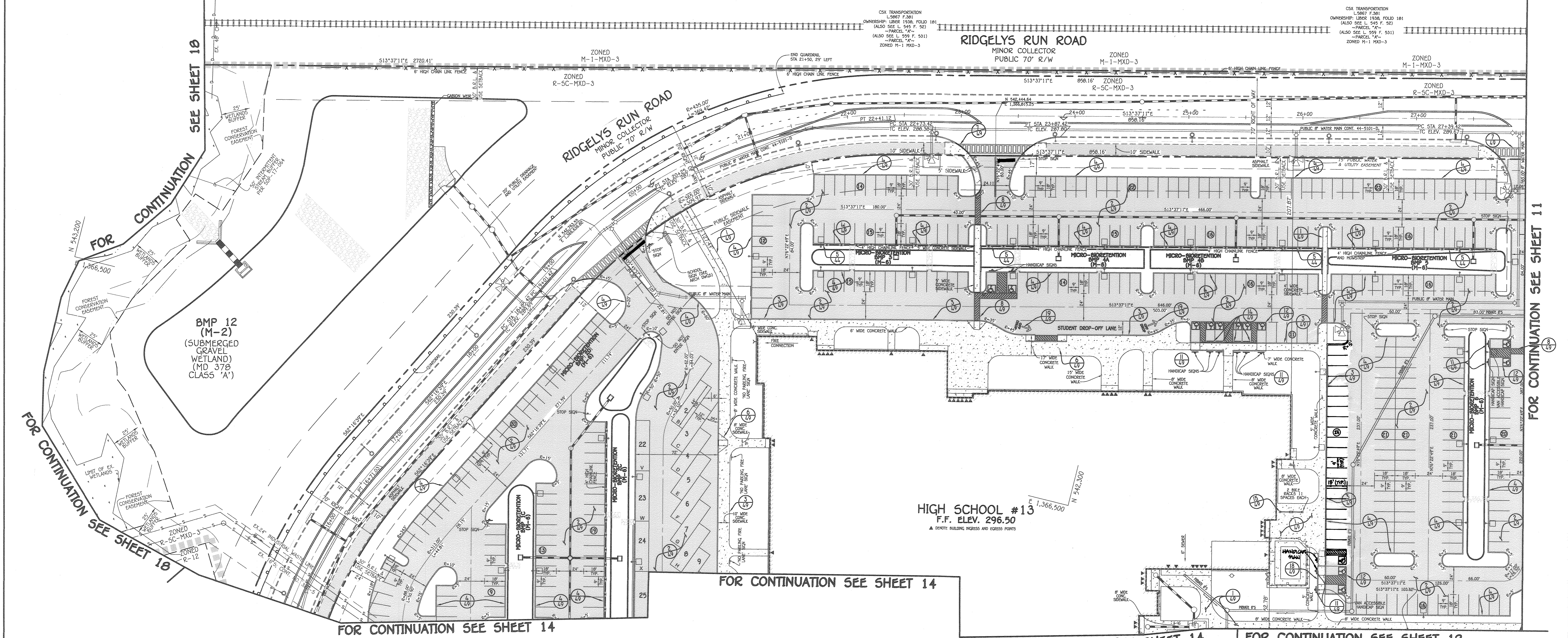
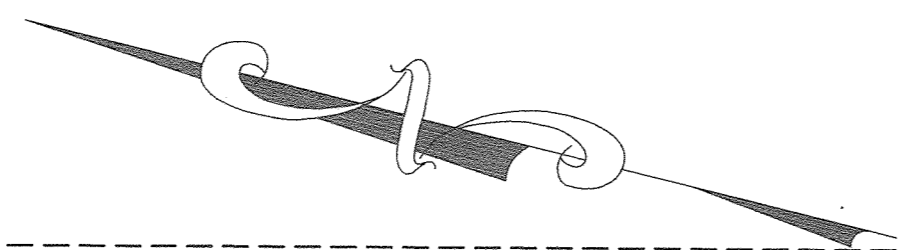
ADDRESS CHART	
PARCEL NO.	STREET ADDRESS
	8500 RIDGELYS RUN ROAD JESSUP, MARYLAND 20794
PROJECT	
PROJECT	SECTION/AREA
HIGH SCHOOL #13	N/A
PARCEL	102, 349, 235
BLOCK NO.	
18 & 24	ZONE R-12
13 & 19	TAX MAP 42 & 43
	ELEC. DIST. SIXTH
	CENSUS TR. 606901
WATER CODE	
	SEWER CODE

GEOMETRY PLAN

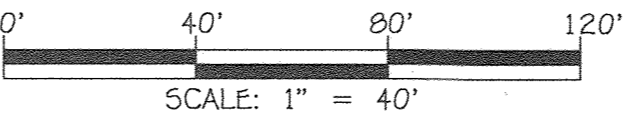
HIGH SCHOOL #13
PARCELS 'A' THRU 'D'

ZONED: R-5C MXD-3, R-5A-B MXD-3 AND R-12
PARCEL Nos.: 102, 349, 235
TAX MAP No.: 42 & 43 GRID No.: 24 & 19
SIXTH ELECTION DISTRICT HOWARD COUNTY, MARYLAND
SCALE: AS SHOWN DATE: AUGUST, 2020
SHEET 12 OF 131

LEGEND	
SYMBOL	DESCRIPTION
	EXISTING SAN SEWER LINE
	EXISTING STORM DRAIN LINE
	EXISTING WATER LINE
	EXISTING UNDERGROUND ELECTRIC LINE
	EXISTING CABLE/TV LINE
	EXISTING FIBER OPTIC/CABLE LINE
	EXISTING GAS LINE
	EXISTING FENCE
	PROPOSED FENCE
	PROPOSED CONCRETE WALK
	PROPOSED MACADAM PAVING
	PROPOSED PUBLIC WATER
	PROPOSED PRIVATE WATER
	PROPOSED STORMDRAIN
	PROPOSED PRIVATE SEWER
	PROPOSED PUBLIC SEWER



PLAN
SCALE: 1" = 40'

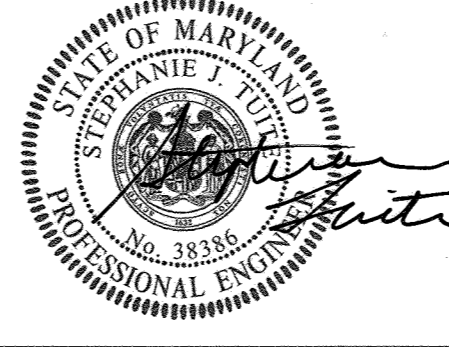


FISHER, COLLINS & CARTER, INC.
CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
10272 BALTIMORE NATIONAL PIKE
ELLSWORTH, MARYLAND 21042
(410) 461-2299

"PROFESSIONAL CERTIFICATION. I HEREBY CERTIFY THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 38386, EXPIRATION DATE: JANUARY 12, 2022."
Stephanie A. Tuttle
STEPHANIE A. TUTTLE, R.L.A., P.E., LEED AP BC&O
8/17/20
DATE

DATE	DESCRIPTION	DATE
3/3/21	REMOVED STORMWATER & DRAINAGE LAYOUT	
APPROVED: DEPARTMENT OF PLANNING AND ZONING		
<i>[Signature]</i>	Director - Department of Planning and Zoning	10-5-20 Date
<i>[Signature]</i>	Chief, Division of Land Development	10/15/20 Date
<i>[Signature]</i>	Chief, Development Engineering Division	8/21/20 Date

PREPARED FOR
HOWARD COUNTY PUBLIC SCHOOL SYSTEM
9020 MENDENHALL COURT
SUITE 'C'
COLUMBIA, MARYLAND 21045
Attention: DANIEL LUBELEY
410-313-0203



ADDRESS CHART	
PARCEL NO.	STREET ADDRESS
-	8500 RIDGELY'S RUN ROAD JESSUP, MARYLAND 20794

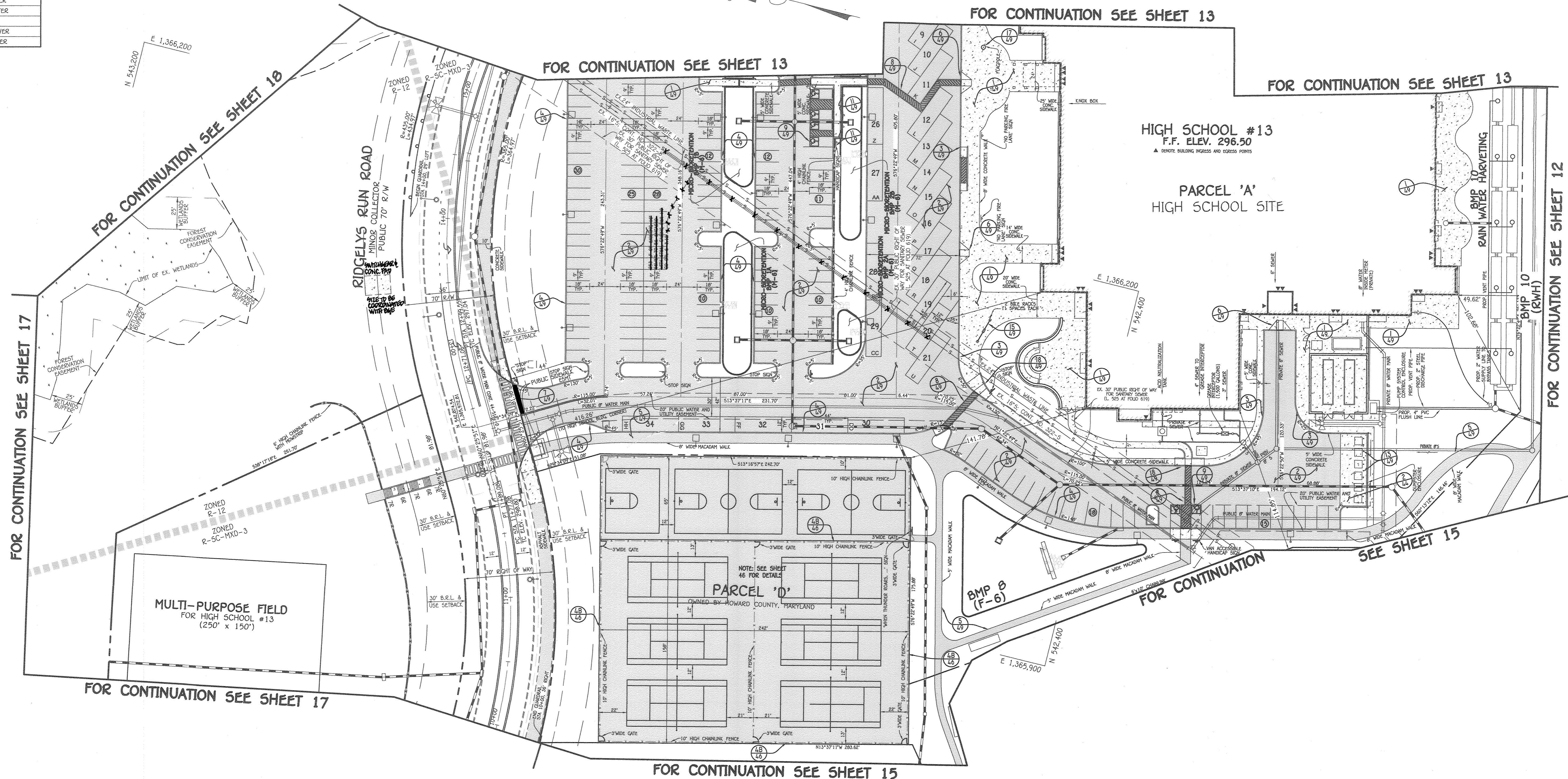
PROJECT		SECTION/AREA	PARCEL
HIGH SCHOOL #13		N/A	102, 349, 235
PLAT NOS.	BLOCK NO.	ZONE	TAX MAP
15528	18 & 24	R-12	42 & 43
15632	13 & 19	R-SC MXD-3	SIXTH
		SEA-B MXD-3	606901
WATER CODE		SEWER CODE	

GEOMETRY PLAN

**HIGH SCHOOL #13
PARCELS 'A' THRU 'D'**

ZONED: R-SC MXD-3, R-5A-B MXD-3 AND R-12
PARCEL NOS.: 102, 349, 235
TAX MAP NO.: 42 & 43 GRID NO.: 24 & 19
SIXTH ELECTION DISTRICT - HOWARD COUNTY, MARYLAND
SCALE: AS SHOWN DATE: AUGUST, 2020
SHEET 13 OF 131

LEGEND	
SYMBOL	DESCRIPTION
	EXISTING SAN SEWER LINE
	EXISTING STORM DRAIN LINE
	EXISTING WATER LINE
	EXISTING UNDERGROUND ELECTRIC LINE
	EXISTING CABLE/TV LINE
	EXISTING FIBER OPTIC/CABLE LINE
	EXISTING GAS LINE
	EXISTING FENCE
	PROPOSED FENCE
	PROPOSED CONCRETE WALK
	PROPOSED MACADAM PAVING
	PROPOSED PUBLIC WATER
	PROPOSED PRIVATE WATER
	PROPOSED STORM DRAIN
	PROPOSED PRIVATE SEWER
	PROPOSED PUBLIC SEWER



FOR CONTINUATION SEE SHEET 18

FOR CONTINUATION SEE SHEET 13

FOR CONTINUATION SEE SHEET 13

FOR CONTINUATION SEE SHEET 13

FOR CONTINUATION SEE SHEET 17

FOR CONTINUATION SEE SHEET 17

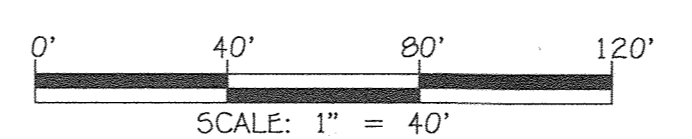
FOR CONTINUATION SEE SHEET 15

FOR CONTINUATION SEE SHEET 12

HIGH SCHOOL #13
F.F. ELEV. 296.50
▲ DENOTE BUILDING INGRESS AND EGRESS POINTS

PARCEL 'A'
HIGH SCHOOL SITE

PLAN
SCALE: 1" = 40'



FISHER, COLLINS & CARTER, INC.
CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS

CENTRAL SOURCE OFFICE: PARK - 10272 BALTIMORE NATIONAL PIKE
ELICOTT CITY, MARYLAND 21042
(410) 461-2000

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Stephanie J. Tuite
STEPHANIE J. TUITE, R.L.A., P.E., LEED-AP BCGO
8/17/20
DATE

DATE	DESCRIPTION	REVISION BLOCK
3/3/21	REMOVED STOP BAR & REMOVED TRUCK ENCLOSURE	
APPROVED: DEPARTMENT OF PLANNING AND ZONING		
<i>[Signature]</i>	Director	16-5-20 Date
<i>[Signature]</i>	Chief, Planning and Land Development	10/17/20 Date
<i>[Signature]</i>	Chief, Development Engineering Division	9-24-20 Date

PREPARED FOR
HOWARD COUNTY PUBLIC SCHOOL SYSTEM
9020 MENDENHALL COURT
SUITE 'C'
COLUMBIA, MARYLAND 21045
Attention: DANIEL LUBELEY
410-313-8203

ADDRESS CHART			
PARCEL NO.	STREET ADDRESS		
-	8500 RIDGELYS RUN ROAD		
-	JESSUP, MARYLAND 20794		
PROJECT		SECTION/AREA	PARCEL
HIGH SCHOOL #13		N/A	102, 349, 235
PLAT NOS.	BLOCK NO.	ZONE	TAX MAP
25528-18 & 24	18 & 24	R-12	42 & 43
25532-13 & 19	13 & 19	R5C MXD-3	SIXTH
WATER CODE		SEWER CODE	

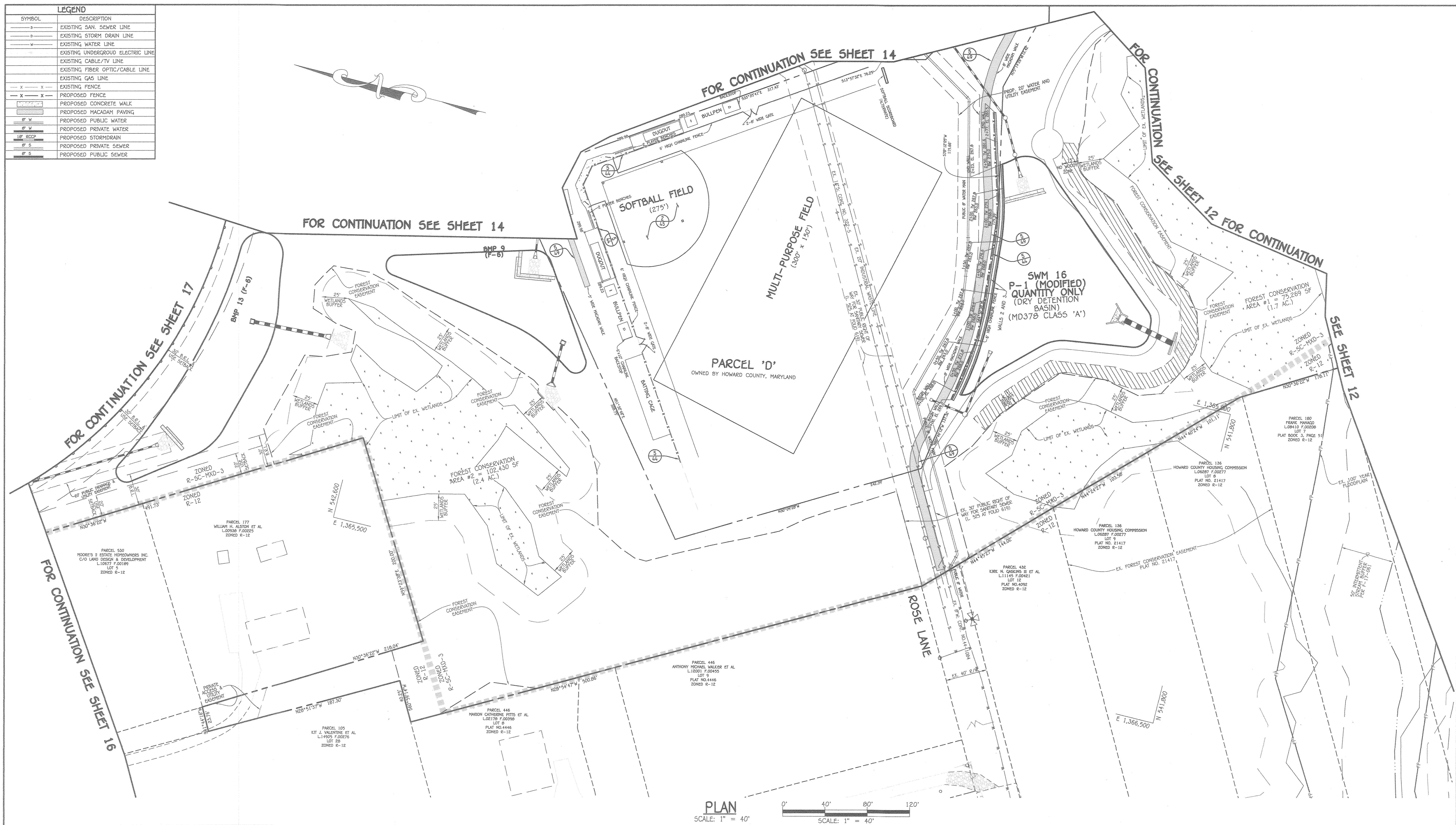
GEOMETRY PLAN

**HIGH SCHOOL #13
PARCELS 'A' THRU 'D'**

ZONED: R-SC MXD-3, R-5A-8 MXD-3 AND R-12
PARCEL NOS.: 102, 349, 235
TAX MAP No.: 42 & 43 GRID No.: 24 & 19
SIXTH ELECTION DISTRICT HOWARD COUNTY, MARYLAND
SCALE: AS SHOWN DATE: AUGUST, 2020
SHEET 14 OF 131

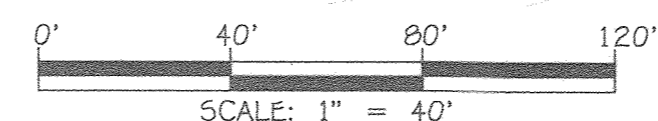
I:\2010\10027\Engineering\Drawings\SDA\10027 SDR 011-18 GEOMETRY PLANS.dwg, SHEET-014_Geometry Plan, 8/18/2020 2:27:30 PM, 1:1

LEGEND	
SYMBOL	DESCRIPTION
	EXISTING SAN. SEWER LINE
	EXISTING STORM DRAIN LINE
	EXISTING WATER LINE
	EXISTING UNDERGROUND ELECTRIC LINE
	EXISTING CABLE/TV LINE
	EXISTING FIBER OPTIC/CABLE LINE
	EXISTING GAS LINE
	EXISTING FENCE
	PROPOSED FENCE
	PROPOSED CONCRETE WALK
	PROPOSED MACADAM PAVING
	PROPOSED PUBLIC WATER
	PROPOSED PRIVATE WATER
	PROPOSED STORM DRAIN
	PROPOSED PRIVATE SEWER
	PROPOSED PUBLIC SEWER



PLAN

SCALE: 1" = 40'



FISHER, COLLINS & CARTER, INC.
 CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
 CENTRAL SQUARE OFFICE PARK - 10772 BALTIMORE NATIONAL PIKE
 ELICOTT CITY, MARYLAND 21042
 (410) 461-2895

"PROFESSIONAL CERTIFICATION. I HEREBY CERTIFY THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 38386, EXPIRATION DATE: JANUARY 12, 2022."

Stephan J. Tuttle
 STEPHAN J. TUTTLE, R.L.A. P.E., LEED AP BC&O
 DATE: 8/17/20

DATE	DESCRIPTION
	REVISION BLOCK
APPROVED: DEPARTMENT OF PLANNING AND ZONING	
<i>[Signature]</i>	10-5-20 Date
Director - Department of Planning and Zoning	
<i>[Signature]</i>	10/12/20 Date
Chief, Planning and Development	
<i>[Signature]</i>	8-26-20 Date
Chief, Development Engineering Division	

PREPARED FOR
 HOWARD COUNTY PUBLIC SCHOOL SYSTEM
 9020 MENDENHALL COURT
 SUITE 'C'
 COLUMBIA, MARYLAND 21045
 Attention: DANIEL LUBELEY
 410-313-8203



ADDRESS CHART	
PARCEL NO.	STREET ADDRESS
-	8500 RIDGELYS RUN ROAD
-	JESSUP, MARYLAND 20794

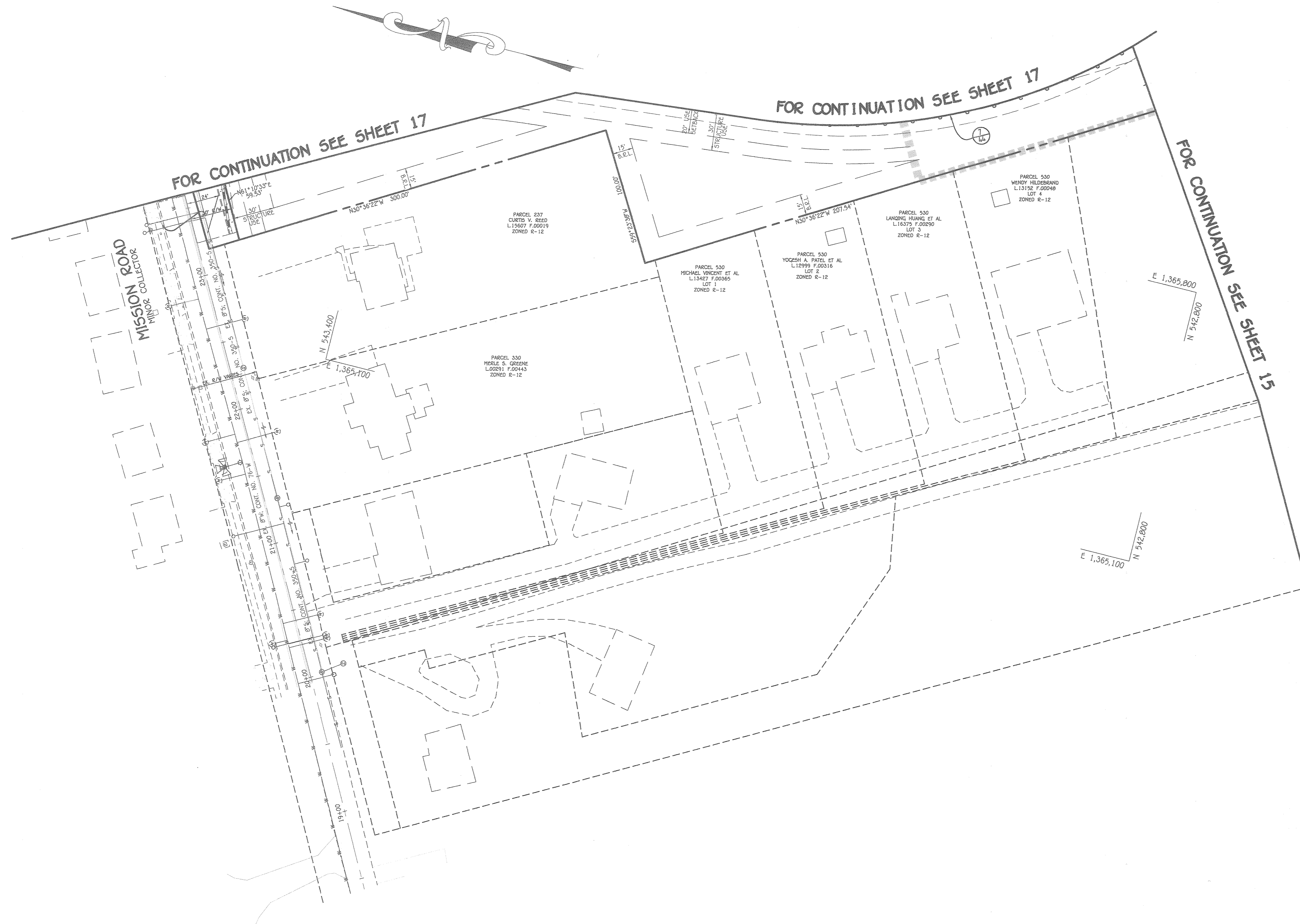
PROJECT	SECTION/AREA	PARCEL
HIGH SCHOOL #13	N/A	102, 349, 235
PLAT NO. 25998	BLOCK NO. 18 & 24	ZONE R-12
26532	13 & 19	RSC MXD-3
		RSA-B MXD-3
WATER CODE	TAX MAP NO. 42 & 43	ELEC. DIST. SIXTH
		CENSUS TR. 606901
	SEWER CODE	

GEOMETRY PLAN

**HIGH SCHOOL #13
 PARCELS 'A' THRU 'D'**

ZONED: R-SC MXD-3, R-5A-B MXD-3 AND R-12
 PARCEL Nos.: 102, 349, 235
 TAX MAP No.: 42 & 43 GRID No.: 24 & 19
 SIXTH ELECTION DISTRICT - HOWARD COUNTY, MARYLAND
 SCALE: AS SHOWN DATE: AUGUST, 2020
 SHEET 15 OF 131

LEGEND	
SYMBOL	DESCRIPTION
	EXISTING SAN. SEWER LINE
	EXISTING STORM DRAIN LINE
	EXISTING WATER LINE
	EXISTING UNDERGROUND ELECTRIC LINE
	EXISTING CABLE/TV LINE
	EXISTING FIBER OPTIC/CABLE LINE
	EXISTING GAS LINE
	EXISTING FENCE
	PROPOSED FENCE
	PROPOSED CONCRETE WALK
	PROPOSED MACADAM PAVING
	PROPOSED PUBLIC WATER
	PROPOSED PRIVATE WATER
	PROPOSED STORMDRAIN
	PROPOSED PRIVATE SEWER
	PROPOSED PUBLIC SEWER



PLAN
SCALE: 1" = 40'

SCALE: 1" = 40'

FISHER, COLLINS & CARTER, INC.
CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
CENTENNIAL SQUARE OFFICE PARK - 10272 BALTIMORE NATIONAL PIKE
ELICOTT CITY, MARYLAND 21046
(410) 461-2299

"PROFESSIONAL CERTIFICATION, I HEREBY CERTIFY THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 38306, EXPIRATION DATE: JANUARY 12, 2022."

Stephanie Tuite
STEPHANIE TUIITE, RIA, P.E., LEED AP BC&O
8/17/20
DATE

DATE	DESCRIPTION
	REVISION BLOCK
APPROVED: DEPARTMENT OF PLANNING AND ZONING	
<i>[Signature]</i> Director - Department of Planning and Zoning	10-5-20 Date
<i>[Signature]</i> Chief, Division of Land Development	8-8-20 Date
<i>[Signature]</i> Chief, Development Engineering Division	

PREPARED FOR
HOWARD COUNTY PUBLIC SCHOOL SYSTEM
9020 MENDENHALL COURT
SUITE 'C'
COLUMBIA, MARYLAND 21045
Attention: DANIEL LUBELEY
410-313-0203



ADDRESS CHART					
PARCEL NO.	STREET ADDRESS				
	8500 RIDGELYS RUN ROAD JESSUP, MARYLAND 20794				
PROJECT	SECTION/AREA	PARCEL			
HIGH SCHOOL #13	N/A	102, 349, 235			
PLAT NO.	BLOCK NO.	ZONE	TAX MAP	ELEC. DIST.	CENSUS TR.
15598	18 & 24	R-12	42 & 43	SIXTH	606901
26532	13 & 19	RSC MXD-3 RSA-B MXD-3			
WATER CODE	SEWER CODE				

GEOMETRY PLAN	
HIGH SCHOOL #13 PARCELS 'A' THRU 'D'	
ZONED: R-SC MXD-3, R-5A-B MXD-3 AND R-12	
PARCEL Nos.: 102, 349, 235	
TAX MAP No.: 42 & 43 GRID No.: 24 & 19	
SIXTH ELECTION DISTRICT HOWARD COUNTY, MARYLAND	
SCALE: AS SHOWN	DATE: AUGUST, 2020
SHEET 16 OF 131	

I:\2020\10027\Engineering\Drawings\SDP\10027_SDP_011-18_GEOMETRY PLANS.dwg, SHEET-016_Geometry Plan, 8/18/2020 2:25:00 PM, 1:1

FOR CONTINUATION SEE SHEET 18

FOR CONTINUATION SEE SHEET 14

FOR CONTINUATION SEE SHEET 14

FOR CONTINUATION SEE SHEET 15

FOR CONTINUATION SEE SHEET 16

LEGEND	
SYMBOL	DESCRIPTION
	EXISTING SAN SEWER LINE
	EXISTING STORM DRAIN LINE
	EXISTING WATER LINE
	EXISTING UNDERGROUND ELECTRIC LINE
	EXISTING CABLE/TV LINE
	EXISTING FIBER OPTIC/CABLE LINE
	EXISTING GAS LINE
	EXISTING FENCE
	PROPOSED FENCE
	PROPOSED CONCRETE WALK
	PROPOSED MACADAM PAVING
	PROPOSED PUBLIC WATER
	PROPOSED PRIVATE WATER
	PROPOSED STORM DRAIN
	PROPOSED PRIVATE SEWER
	PROPOSED PUBLIC SEWER

FUTURE
ELEMENTARY SCHOOL SITE
PARCEL 'C'

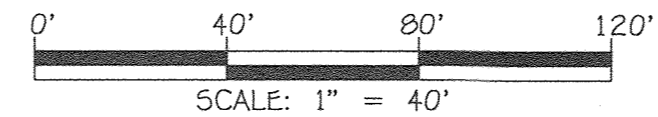
MULTI-PURPOSE FIELD
FOR HIGH SCHOOL #13
(250' x 150')

PARCEL 'B'

RIDGELYS RUN ROAD
MINOR COLLECTOR
PUBLIC 70' R/W

REDONDO WAY
LOCAL ROAD

PLAN
SCALE: 1" = 40'



FISHER, COLLINS & CARTER, INC.
CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
CENTRAL SOURCE OFFICE: PARK - 10272 BALTHORE NATIONAL PIKE
ELICOTT CITY, MARYLAND 21042
(410) 461-2000

"PROFESSIONAL CERTIFICATION. I HEREBY CERTIFY THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 39386, EXPIRATION DATE: JANUARY 12, 2022."

Stephanie J. Fuite
STEPHANIE J. FUITE, RLA, P.E., LEED AP BC&O
8/17/20
DATE

DATE	DESCRIPTION	REVISION BLOCK
10-5-20	Date	
10/1/20	Date	
8-24-20	Date	

APPROVED: DEPARTMENT OF PLANNING AND ZONING
Director - Department of Planning and Zoning
Chief, Division of Land Development
Chief, Development Engineering Division

PREPARED FOR
HOWARD COUNTY PUBLIC SCHOOL SYSTEM
9020 MENDENHALL COURT
SUITE 'C'
COLUMBIA, MARYLAND 21045
Attention: DANIEL LUBBELEY
410-313-8203



ADDRESS CHART			
PARCEL NO.	STREET ADDRESS		
-	8500 RIDGELYS RUN ROAD		
-	JESSUP, MARYLAND 20794		

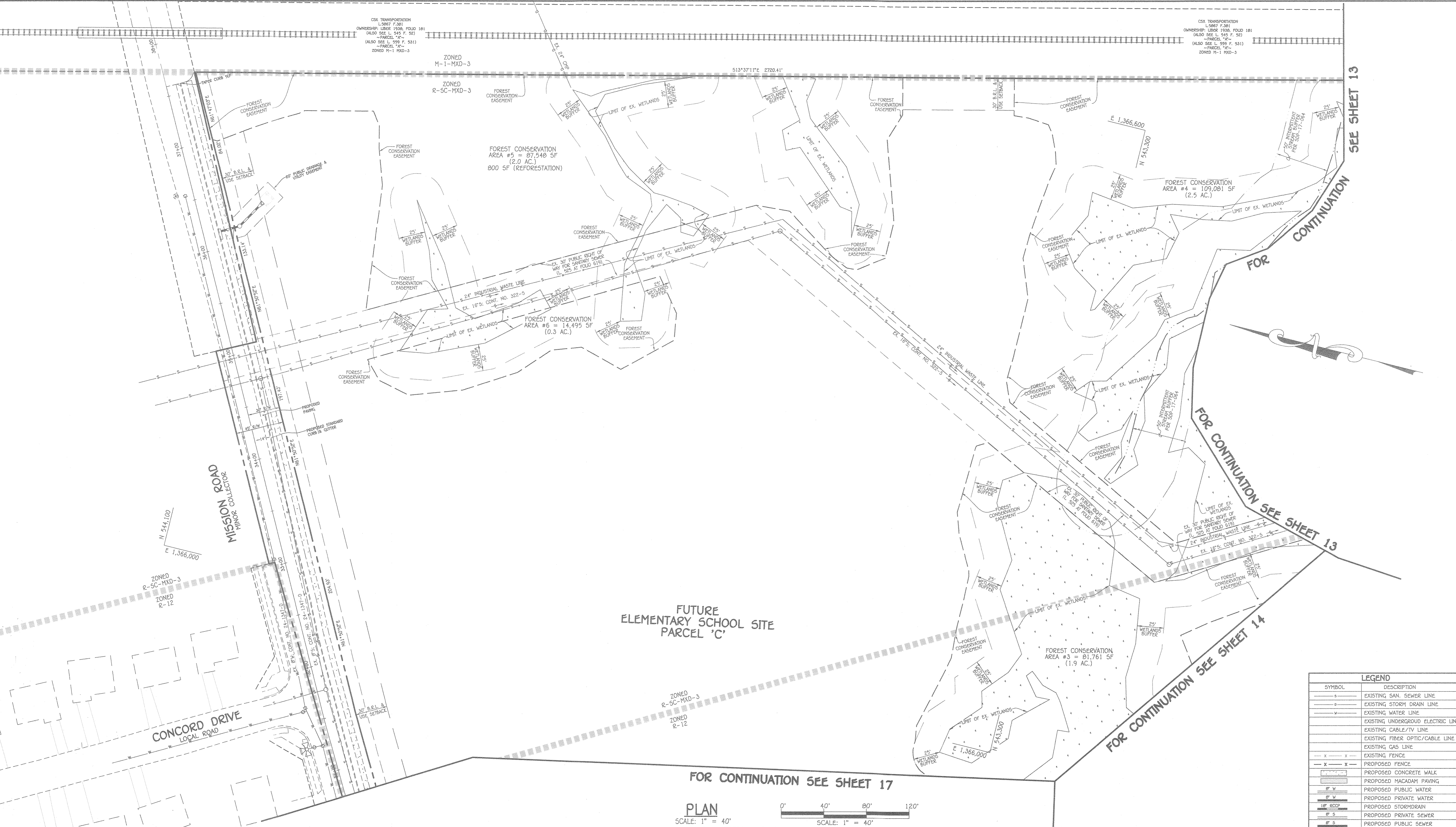
PROJECT	SECTION/AREA	PARCEL
HIGH SCHOOL #13	N/A	102, 349, 235
PLAT NOS. 18 & 24, 13 & 19	BLOCK NO. R-12, RSC MXD-3, RSA-8 MXD-3	TAX MAP 42 & 43, ELEC. DIST. SIXTH, CENSUS TR. 606901
WATER CODE	SEWER CODE	

GEOMETRY PLAN

HIGH SCHOOL #13
PARCELS 'A' THRU 'D'

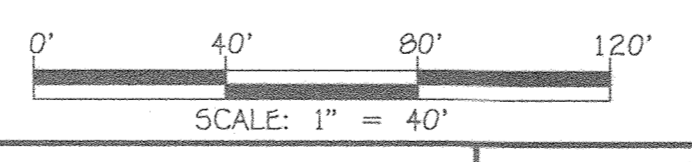
ZONED: R-SC MXD-3, R-5A-8 MXD-3 AND R-12
PARCEL Nos.: 102, 349, 235
TAX MAP No.: 42 & 43 GRID No.: 24 & 19
SIXTH ELECTION DISTRICT HOWARD COUNTY, MARYLAND
SCALE: AS SHOWN DATE: AUGUST, 2020
SHEET 17 OF 131

I:\2010\10027\Engineering\Drawings\SDP\10027 SDP 011-18 GEOMETRY PLANS.dwg, SHEET-017_Geometry Plan, 8/18/2020 2:29:46 PM, 1:1



FUTURE
ELEMENTARY SCHOOL SITE
PARCEL 'C'

PLAN
SCALE: 1" = 40'



LEGEND	
SYMBOL	DESCRIPTION
---	EXISTING SAN. SEWER LINE
---	EXISTING STORM DRAIN LINE
---	EXISTING WATER LINE
---	EXISTING UNDERGROUND ELECTRIC LINE
---	EXISTING CABLE/TV LINE
---	EXISTING FIBER OPTIC/CABLE LINE
---	EXISTING GAS LINE
---	EXISTING FENCE
---	PROPOSED FENCE
---	PROPOSED CONCRETE WALK
---	PROPOSED MACADAM PAVING
---	PROPOSED PUBLIC WATER
---	PROPOSED PRIVATE WATER
---	PROPOSED STORMDRAIN
---	PROPOSED PRIVATE SEWER
---	PROPOSED PUBLIC SEWER

FISHER, COLLINS & CARTER, INC.
CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
CENTENNIAL SQUARE OFFICE PARK - 10272 BALTIMORE NATIONAL PIKE
ELLSWORTH CITY, MARYLAND 21144
(410) 461-2299

"PROFESSIONAL CERTIFICATION. I HEREBY CERTIFY THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 38386, EXPIRATION DATE: JANUARY 12, 2022."

Stephanie J. Tuite
STEPHANIE J. TUITE, RLA, P.E., LEED AP BC&D
9/17/20
DATE

APPROVED: DEPARTMENT OF PLANNING AND ZONING
Director: Department of Planning and Zoning
Chief, Division of Land Development
Chief, Development Engineering Division

10-5-20
Date
10/12/20
Date
9-26-20
Date

PREPARED FOR
HOWARD COUNTY PUBLIC SCHOOL SYSTEM
9020 MENDENHALL COURT
SUITE 'C'
COLUMBIA, MARYLAND 21045
Attention: DANIEL LUBBELEY
410-313-0203

STATE OF MARYLAND
PROFESSIONAL ENGINEER
No. 38386
Stephanie J. Tuite

ADDRESS CHART	
PARCEL NO.	STREET ADDRESS
-	8500 RIDGELY'S RUN ROAD JESSUP, MARYLAND 20794

PROJECT	SECTION/AREA	PARCEL
HIGH SCHOOL #13	N/A	102, 349, 235

PLAT NO.	BLOCK NO.	ZONE	TAX MAP	ELEC. DIST.	CENSUS TR.
25588-13 & 19	18 & 24	R-12 R-SC MXD-3 R-5A-0 MXD-3	42 & 43	SIXTH	606901

WATER CODE	SEWER CODE
---	---

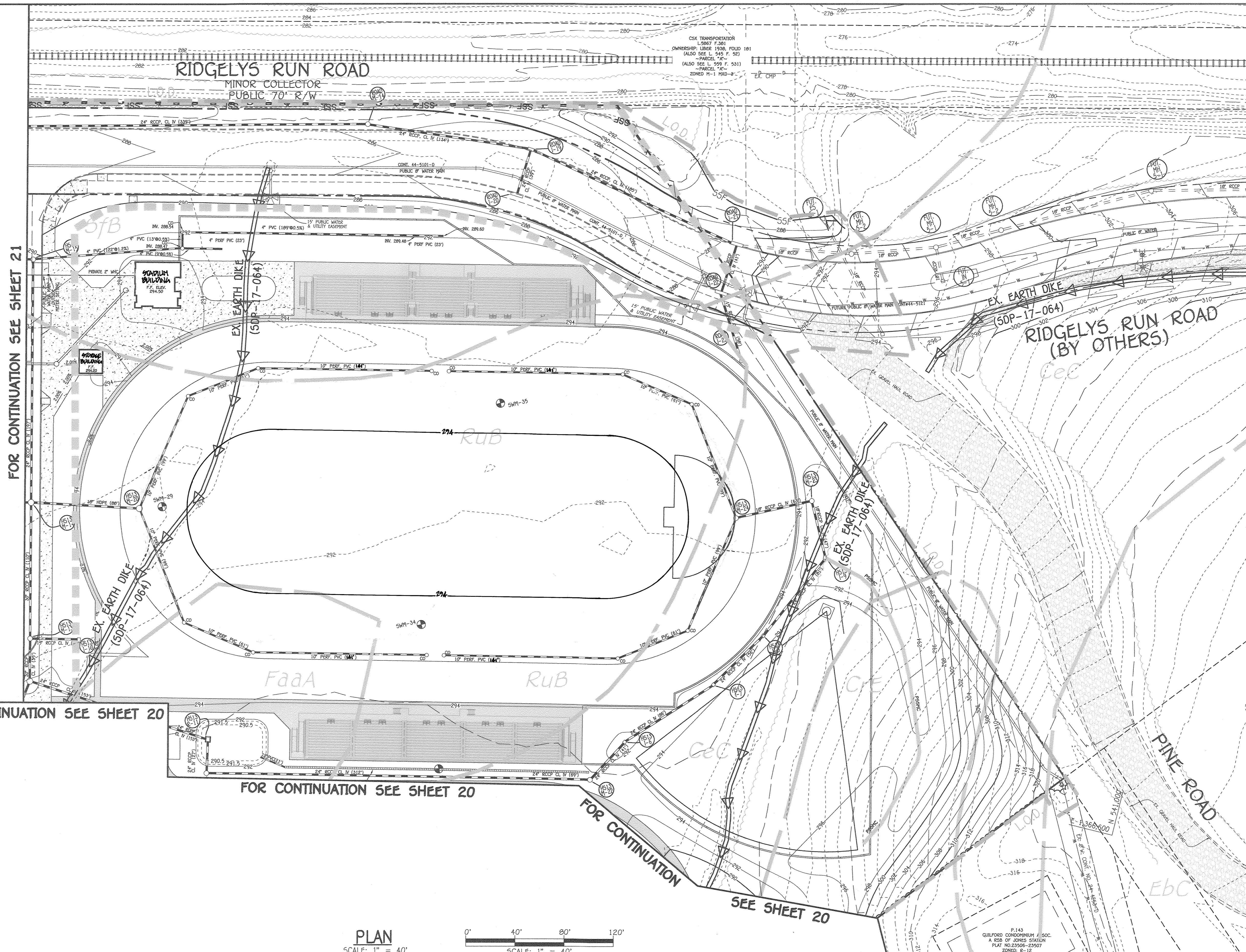
GEOMETRY PLAN

**HIGH SCHOOL #13
PARCELS 'A' THRU 'D'**

ZONED: R-SC MXD-3, R-5A-0 MXD-3 AND R-12
PARCEL Nos.: 102, 349, 235
TAX MAP No.: 42 & 43 - GRID No.: 24 & 19
SIXTH ELECTION DISTRICT HOWARD COUNTY, MARYLAND
SCALE: AS SHOWN DATE: AUGUST, 2020
SHEET 10 OF 13

LEGEND	
SYMBOL	DESCRIPTION
--- 2' ---	EXISTING CONTOUR 2' INTERVAL
--- 10' ---	EXISTING CONTOUR 10' INTERVAL
---	EXISTING SAN. SEWER LINE
---	EXISTING STORM DRAIN LINE
---	EXISTING WATER LINE
---	EXISTING UNDERGROUND ELECTRIC LINE
---	EXISTING CABLE/TV LINE
---	EXISTING FIBER OPTIC/CABLE LINE
---	EXISTING GAS LINE
---	EXISTING FENCE
-x-x-	PROPOSED FENCE
--- 2' ---	PROPOSED CONTOUR 2' INTERVAL
--- 10' ---	PROPOSED CONTOUR 10' INTERVAL
+ 292.50	PROPOSED SPOT ELEVATION
---	PROPOSED CONCRETE WALK
---	PROPOSED MACADAM PAVING
---	EXISTING TREE AND SHRUB
---	EXISTING TREELINE
---	PROPOSED TREELINE
P W	PROPOSED PUBLIC WATER
P W	PROPOSED PRIVATE WATER
IP RCP	PROPOSED STORM DRAIN
P S	PROPOSED PRIVATE SEWER
P S	PROPOSED PUBLIC SEWER
---	SOILS DELINEATION
---	SUPER SILT FENCE
---	LIMIT OF 30 ACRE MAX. DISTURBANCE
---	LIMIT OF DISTURBANCE

CONTRACTOR NOTE:
DURING CONSTRUCTION ACTIVITIES THE LIMITS OF DISTURBANCE (L.O.D.) SHALL NOT EXCEED 30 ACRES.



SOILS LEGEND		
SOIL	NAME	GROUP
** CeC	Chillum loam, 5 to 10 percent slopes, K VALUE = 0.37	C
CrD	Croom and Evesboro soils, 10 to 15 percent slopes, K VALUE = 0.20	C
CrE	Croom and Evesboro soils, 25 to 45 percent slopes, K VALUE = 0.20	C
EbC	Evesboro loamy sand, 2 to 10 percent slopes, K VALUE = 0.17	A
FaaA	Fallingston sandy loam, 0 to 2 percent slopes, K VALUE = 0.02	C/D
RaC	Russett fine sandy loam, 5 to 10 percent slopes, K VALUE = 0.24	C
RuB	Russett and Beltsville soils, 2 to 5 percent slopes, K VALUE = 0.24	C
** RuC	Russett and Beltsville soils, 5 to 10 percent slopes, K VALUE = 0.24	C
SaB	Sassafras loam, 2 to 5 percent slopes, K VALUE = 0.37	B
SfB	Sassafras gravelly sandy loam, 2 to 5 percent slopes, K VALUE = 0.24	B
** SrC	Sassafras and Croom soils, 5 to 10 percent slopes, K VALUE = 0.37	B
UcB	Urban land-Chillum-Beltsville complex, 0 to 5 percent slopes, K VALUE NOT DEFINED	C
** UoE	Udorthents, 0 to 45 percent slopes, Gravel Pits, K VALUE NOT DEFINED	-
UfD	Urban land, K VALUE NOT DEFINED	D
WdAb	Woodstown sandy loam, 2 to 5 percent slopes, K VALUE = 0.24	C

** DENOTES HIGHLY ERODIBLE SOILS

FOR CONTINUATION SEE SHEET 20

FOR CONTINUATION SEE SHEET 20

PLAN
SCALE: 1" = 40'

FISHER, COLLINS & CARTER, INC.
CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
CENTRAL SQUARE OFFICE PARK - 10272 RICHMOND NATIONAL PIKE
ELLSWORTH CITY, MARYLAND 21041
(410) 481-2999

ENGINEER'S CERTIFICATE
"I HEREBY CERTIFY THAT THIS PLAN HAS BEEN DESIGNED IN ACCORDANCE WITH THE CURRENT MARYLAND EROSION AND SEDIMENT CONTROL LAWS, REGULATIONS, AND STANDARDS REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE, AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT."
Stephen Tuite
SIGNATURE OF ENGINEER
8/17/20
DATE

"PROFESSIONAL CERTIFICATION. I HEREBY CERTIFY THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 38386, EXPIRATION DATE: JANUARY 12, 2022."
Stephen Tuite
SIGNATURE OF PROFESSIONAL ENGINEER
8/17/20
DATE

DATE: 8/9/21
DESCRIPTION: REVISIONS: 1. REVISION 1: ADDITIONAL NOTES
REVISION BLOCK:
APPROVED: DEPARTMENT OF PLANNING AND ZONING
Director: Department of Planning and Zoning
Chief, Planning and Development
Chief, Development Engineering Division

PREPARED FOR:
HOWARD COUNTY PUBLIC SCHOOL SYSTEM
9020 MENDENHALL COURT
SUITE 'C'
COLUMBIA, MARYLAND 21045
Attention: DANIEL LUBELEY
410-313-8203

ADDRESS CHART	
PARCEL NO.	STREET ADDRESS
-	8500 RIDGELY'S RUN ROAD JESSUP, MARYLAND 20794

SEDIMENT AND EROSION CONTROL PLAN
HIGH SCHOOL #13
PARCELS 'A' THRU 'D'

DEVELOPER'S CERTIFICATE
"I/WE HEREBY CERTIFY THAT ANY CLEARING, GRADING, CONSTRUCTION, OR DEVELOPMENT WILL BE DONE PURSUANT TO THIS APPROVED EROSION AND SEDIMENT CONTROL PLAN, INCLUDING INSPECTING AND MAINTAINING CONTROLS, AND THAT THE RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF TRAINING AT A MARYLAND DEPARTMENT OF THE ENVIRONMENT (MDE) APPROVED TRAINING PROGRAM FOR THE CONTROL ON EROSION AND SEDIMENT PRIOR TO BEGINNING THE PROJECT. I CERTIFY RIGHT OF ENTRY FOR PERIODIC ON-SITE EVALUATION BY HOWARD COUNTY, THE HOWARD SOIL CONSERVATION DISTRICT AND/OR MDE."
David J. Kelly
SIGNATURE OF DEVELOPER
8-19-2020
DATE

THESE PLANS FOR SMALL POND CONSTRUCTION, SOIL EROSION AND SEDIMENT CONTROL MEET THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.
HOWARD SOIL CONSERVATION DISTRICT
DATE:

APPROVED: DEPARTMENT OF PLANNING AND ZONING
Director: Department of Planning and Zoning
Chief, Planning and Development
Chief, Development Engineering Division

10-5-20
10/5/20
8/26/20

PROJECT	SECTION/AREA	PARCEL
HIGH SCHOOL #13	N/A	102, 349, 235
PLAT NO. 25528	BLOCK NO. 10 & 24	ZONE R-12
25532	13 & 19	R-SC MXD-3 42 & 43 SIXTH 606901
WATER CODE	TAX MAP NO. 42 & 43	ELEC. DIST. CENSUS TR. 606901
	SEWER CODE	

ZONED: R-SC MXD-3, R-5A-0 MXD-3 AND R-12
PARCEL Nos.: 102, 349, 235
TAX MAP No.: 42 & 43 GRID No.: 24 & 19
SIXTH ELECTION DISTRICT HOWARD COUNTY, MARYLAND
SCALE: AS SHOWN DATE: AUGUST, 2020
SHEET 19 OF 131

FOR CONTINUATION SEE SHEET 21

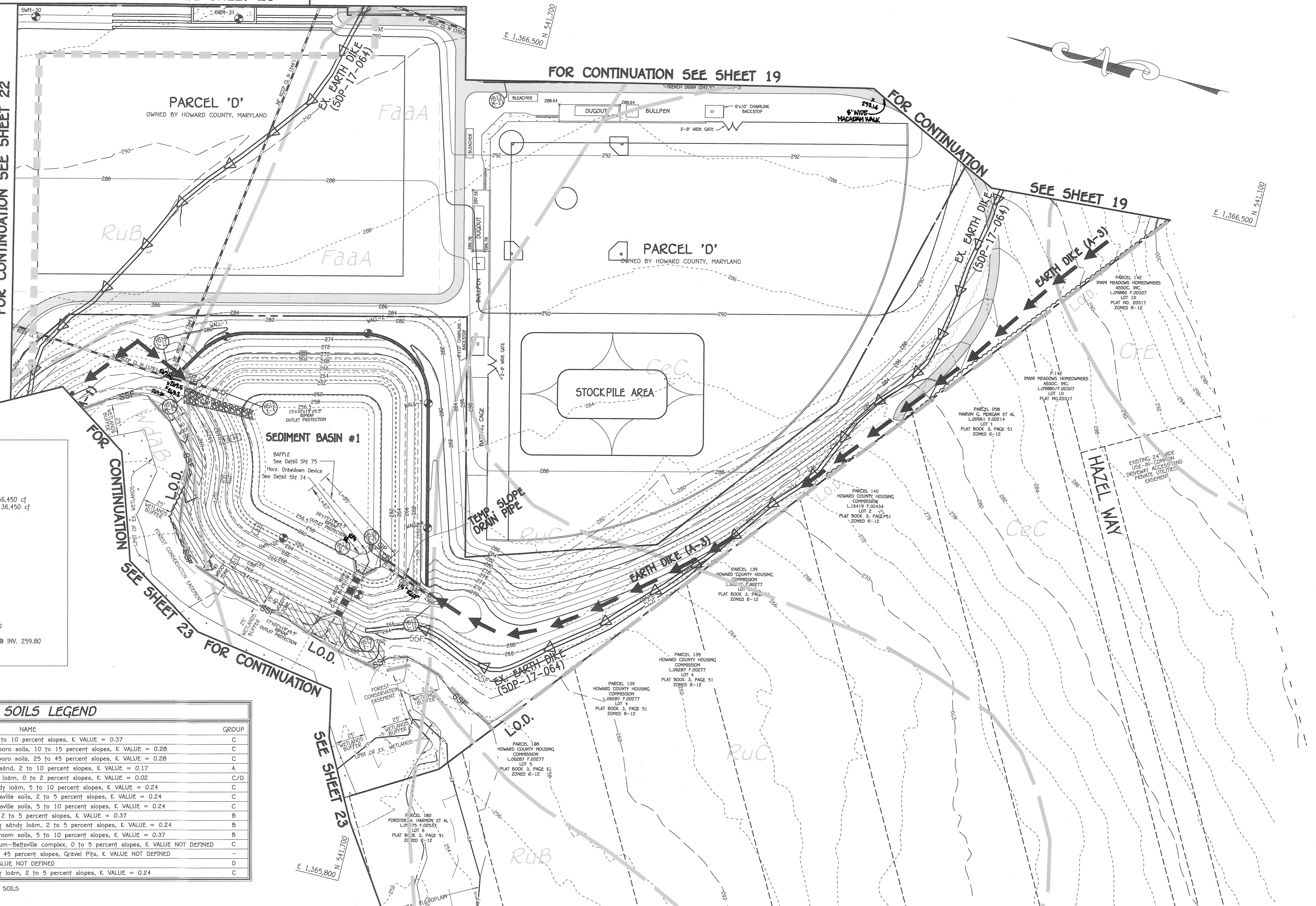
FOR CONTINUATION SEE SHEET 19

FOR CONTINUATION SEE SHEET 19

FOR CONTINUATION SEE SHEET 19

SEE SHEET 19

FOR CONTINUATION SEE SHEET 22



SEDIMENT BASIN #1 @ SWM #15
 RISER HS13 R-9 (modified)

INITIAL D.A. = 20.25 Ac.
 FINAL D.A. = 16.06 Ac.

STORAGE REQUIRED:
 WET = 1,800 cf/ac. x 20.25 ac. = 36,450 cf
 DRY = 1,800 cf/ac. x 20.25 ac. = 36,450 cf

STORAGE PROVIDED:
 WET = 38,849 cf @ ELEV. 259.80
 DRY = 42,280 cf @ ELEV. 262.83

BASIN BOTTOM ELEV. = 256.50
 STORAGE DEPTH = 6.33'
 TOP OF EMBANKMENT = 269.00

SIDE SLOPES: 3:1 inside; 3:1 outside
 CLEAN OUT ELEV. = 258.15
 WEIR CREST ELEV. = 262.83 / 266.00

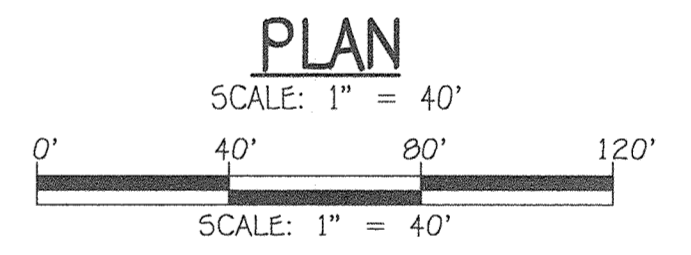
SEDIMENT BASIN 1-YR ORIFICE: 10" @ INV. 259.80
 Q1 ext. = 0.5 cfs
 Q1 prop. = 0.3 cfs

SOIL	NAME	GROUP
** CeC	Chillum loam, 5 to 10 percent slopes, K VALUE = 0.37	C
CrD	Croom and Evesboro soils, 10 to 15 percent slopes, K VALUE = 0.28	C
CrE	Croom and Evesboro soils, 25 to 45 percent slopes, K VALUE = 0.28	C
EbC	Evesboro loamy sand, 2 to 10 percent slopes, K VALUE = 0.17	A
FaaA	Fallsington sandy loam, 0 to 2 percent slopes, K VALUE = 0.02	C/D
RcC	Russell fine sandy loam, 5 to 10 percent slopes, K VALUE = 0.24	C
RuB	Russell and Beltsville soils, 2 to 5 percent slopes, K VALUE = 0.24	C
** RuC	Russell and Beltsville soils, 5 to 10 percent slopes, K VALUE = 0.24	C
SdB	Sassafras loam, 2 to 5 percent slopes, K VALUE = 0.37	B
SFB	Sassafras gravelly sandy loam, 2 to 5 percent slopes, K VALUE = 0.24	B
** SRC	Sassafras and Croom soils, 5 to 10 percent slopes, K VALUE = 0.37	B
Ucb	Urban land-Chillum-Beltsville complex, 0 to 5 percent slopes, K VALUE NOT DEFINED	-
** UocE	Udorthents, 0 to 45 percent slopes, Gravel Pits, K VALUE NOT DEFINED	-
Uhd	Urban land, K VALUE NOT DEFINED	D
WdaB	Woodstown sandy loam, 2 to 5 percent slopes, K VALUE = 0.24	C

** DENOTES HIGHLY ERODIBLE SOILS

LEGEND	
SYMBOL	DESCRIPTION
---	EXISTING CONTOUR 2' INTERVAL
- - -	EXISTING CONTOUR 10' INTERVAL
---	EXISTING SAN. SEWER LINE
---	EXISTING STORM DRAIN LINE
---	EXISTING WATER LINE
---	EXISTING UNDERGROUND ELECTRIC LINE
---	EXISTING CABLE/TV LINE
---	EXISTING FIBER OPTIC/CABLE LINE
---	EXISTING GAS LINE
---	EXISTING FENCE
- x - x -	PROPOSED FENCE
---	PROPOSED CONTOUR 2' INTERVAL
- - -	PROPOSED CONTOUR 10' INTERVAL
+ 292.50	PROPOSED SPOT ELEVATION
---	PROPOSED CONCRETE WALK
---	PROPOSED MACADAM PAVING
---	EXISTING TREE AND SHRUB
---	EXISTING TREELINE
---	PROPOSED TREELINE
---	PROPOSED PUBLIC WATER
---	PROPOSED PRIVATE WATER
---	PROPOSED STORMDRAIN
---	PROPOSED PRIVATE SEWER
---	PROPOSED PUBLIC SEWER
---	SOILS DELINEATION
---	SUPER SILT FENCE
---	LIMIT OF 30 ACRE MAX. DISTURBANCE
---	LIMIT OF DISTURBANCE
---	FOREST CONSERVATION AREA

CONTRACTOR NOTE:
 DURING CONSTRUCTION ACTIVITIES THE LIMITS OF DISTURBANCE (L.O.D.) SHALL NOT EXCEED 30 ACRES.



FISHER, COLLINS & CARTER, INC.
 CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
 CENTRAL SQUARE OFFICE PARK 10272 BALTIMORE NATIONAL PIKE
 ELLSWORTH CITY, MARYLAND 21041
 (410) 461-2955

ENGINEER'S CERTIFICATE
 "I HEREBY CERTIFY THAT THIS PLAN HAS BEEN DESIGNED IN ACCORDANCE WITH THE CURRENT MARYLAND EROSION AND SEDIMENT CONTROL LAWS, REGULATIONS, AND STANDARDS REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE, AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT."
 Signature: *Stephan Tuite* DATE: 8/17/20

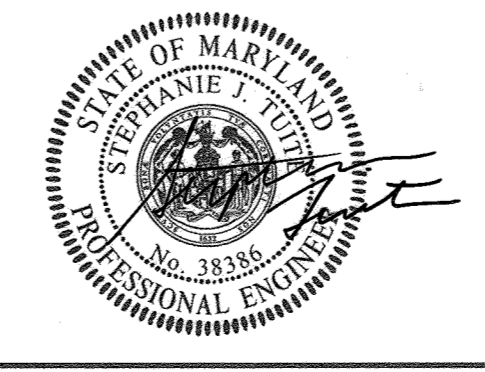
"PROFESSIONAL CERTIFICATION. I HEREBY CERTIFY THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 38386, EXPIRATION DATE: JANUARY 12, 2022."
 Signature: *Stephan Tuite* DATE: 8/17/20
 STEPHAN TUIE, R.L.E., P.E., LEED AP BC&D

DEVELOPER'S CERTIFICATE
 "I/WE HEREBY CERTIFY THAT ANY CLEARING, GRADING, CONSTRUCTION, OR DEVELOPMENT WILL BE DONE PURSUANT TO THIS APPROVED EROSION AND SEDIMENT CONTROL PLAN, INCLUDING INSPECTING AND MAINTAINING CONTROLS, AND THAT THE RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF TRAINING AT A MARYLAND DEPARTMENT OF THE ENVIRONMENT (MDE) APPROVED TRAINING PROGRAM FOR THE CONTROL ON EROSION AND SEDIMENT PRIOR TO BEGINNING THE PROJECT. I CERTIFY RIGHT OF ENTRY FOR PERIODIC ON-SITE EVALUATION BY HOWARD COUNTY, THE HOWARD SOIL CONSERVATION DISTRICT AND/OR MDE."
 Signature: *James H. Kelly* DATE: 8-19-2020

THESE PLANS FOR SMALL POND CONSTRUCTION, SOIL EROSION AND SEDIMENT CONTROL MEET THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.
 Signature: _____ DATE: _____
 HOWARD SOIL CONSERVATION DISTRICT

APPROVED: DEPARTMENT OF PLANNING AND ZONING
 Director - Department of Planning and Zoning
 Date: 10-5-20
 Chief, Planning and Development
 Date: 10/1/20
 Chief, Development Engineering Division
 Date: 8-24-20

PREPARED FOR
 HOWARD COUNTY PUBLIC SCHOOL SYSTEM
 9020 MENDENHALL COURT
 SUITE 'C'
 COLUMBIA, MARYLAND 21045
 Attention: DANIEL LUBELEY
 410-313-8203



ADDRESS CHART	
PARCEL NO.	STREET ADDRESS
-	8500 RIDGELY'S RUN ROAD
-	JESSUP, MARYLAND 20794

PROJECT	SECTION/AREA	PARCEL
HIGH SCHOOL #13	N/A	102, 349, 235
PLAT NOS. 85528, 25532	BLOCK NO. 19 & 24, 13 & 19	ZONE R-12, RSC MXD-3, R5A-8 MXD-3
TAX MAP	ELEC. DIST.	CENSUS TR.
42 & 43	SIXTH	606901
SEWER CODE	---	

SEDIMENT AND EROSION CONTROL PLAN

**HIGH SCHOOL #13
 PARCELS 'A' THRU 'D'**

ZONED: R-5C MXD-3, R-5A-8 MXD-3 AND R-12
 PARCEL Nos.: 102, 349, 235
 TAX MAP No.: 42 & 43 GRID No.: 24 & 19
 SIXTH ELECTION DISTRICT HOWARD COUNTY, MARYLAND
 SCALE: AS SHOWN DATE: AUGUST, 2020
 SHEET 20 OF 131

SEDIMENT BASIN 3 @ BMP #12
 RISER ROAD R-1 (modified)

INITIAL D.A. = 15.13 Ac.
 FINAL D.A. = 13.48 Ac.

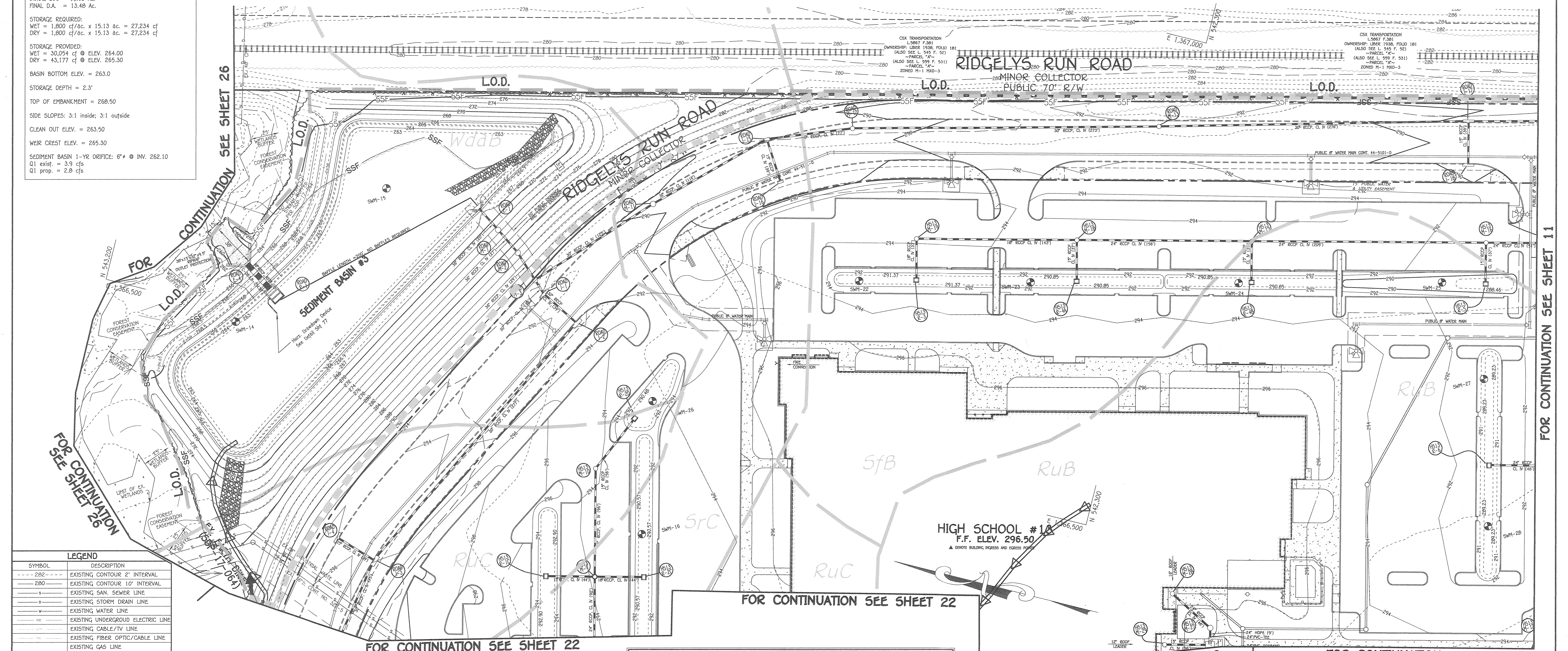
STORAGE REQUIRED:
 WET = 1,800 cf/ac. x 15.13 ac. = 27,234 cf
 DRY = 1,800 cf/ac. x 15.13 ac. = 27,234 cf

STORAGE PROVIDED:
 WET = 30,054 cf @ ELEV. 264.00
 DRY = 43,177 cf @ ELEV. 265.30

BASIN BOTTOM ELEV. = 263.0
 STORAGE DEPTH = 2.3'

TOP OF EMBANKMENT = 268.50
 SIDE SLOPES: 3:1 inside; 3:1 outside
 CLEAN OUT ELEV. = 263.50
 WEIR CREST ELEV. = 265.30

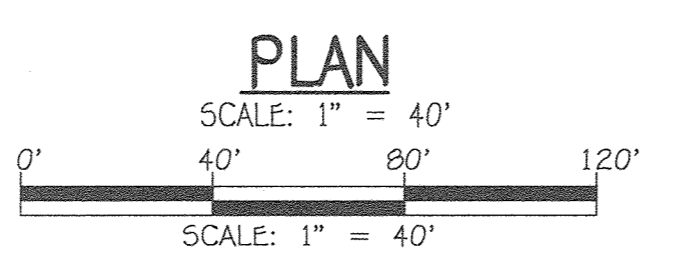
SEDIMENT BASIN 1-YR ORIFICE: 6" @ INV. 262.10
 Q1 exist. = 3.9 cfs
 Q1 prop. = 2.0 cfs



LEGEND

SYMBOL	DESCRIPTION
--- 262	EXISTING CONTOUR 2' INTERVAL
--- 280	EXISTING CONTOUR 10' INTERVAL
S	EXISTING SAN. SEWER LINE
D	EXISTING STORM DRAIN LINE
W	EXISTING WATER LINE
UE	EXISTING UNDERGROUND ELECTRIC LINE
UT	EXISTING CABLE/TV LINE
FO	EXISTING FIBER OPTIC/CABLE LINE
GL	EXISTING GAS LINE
X	EXISTING FENCE
X	PROPOSED FENCE
--- 262	PROPOSED CONTOUR 2' INTERVAL
--- 280	PROPOSED CONTOUR 10' INTERVAL
+ 292.50	PROPOSED SPOT ELEVATION
[Pattern]	PROPOSED CONCRETE WALK
[Pattern]	PROPOSED MACADAM PAVING
[Symbol]	EXISTING TREE AND SHRUB
[Symbol]	EXISTING TREELINE
[Symbol]	PROPOSED TREELINE
[Symbol]	PROPOSED PUBLIC WATER
[Symbol]	PROPOSED PRIVATE WATER
[Symbol]	PROPOSED STORM DRAIN
[Symbol]	PROPOSED PRIVATE SEWER
[Symbol]	PROPOSED PUBLIC SEWER
[Symbol]	SOILS DELINEATION
[Symbol]	SUPER SILT FENCE
[Symbol]	LIMIT OF 30 ACRE MAX. DISTURBANCE
[Symbol]	LIMIT OF DISTURBANCE
[Symbol]	FOREST CONSERVATION AREA

FOR CONTINUATION SEE SHEET 22



SOILS LEGEND

SOIL	NAME	GROUP
** CaC	Chillum loam, 5 to 10 percent slopes, K VALUE = 0.37	C
CrD	Croom and Evesboro soils, 10 to 15 percent slopes, K VALUE = 0.28	C
CrE	Croom and Evesboro soils, 25 to 45 percent slopes, K VALUE = 0.28	C
EtC	Evesboro loamy sand, 2 to 10 percent slopes, K VALUE = 0.17	A
FaBA	Fallsington sandy loam, 0 to 2 percent slopes, K VALUE = 0.02	C/O
RaC	Russett fine sandy loam, 5 to 10 percent slopes, K VALUE = 0.24	C
RuB	Russett and Beltsville soils, 2 to 5 percent slopes, K VALUE = 0.24	C
** RuC	Russett and Beltsville soils, 5 to 10 percent slopes, K VALUE = 0.24	C
SaB	Sassafras loam, 2 to 5 percent slopes, K VALUE = 0.37	B
SfB	Sassafras gravelly sandy loam, 2 to 5 percent slopes, K VALUE = 0.24	B
** SrC	Sassafras and Croom soils, 5 to 10 percent slopes, K VALUE = 0.37	B
UcB	Urban land-Chillum-Beltsville complex, 0 to 5 percent slopes, K VALUE NOT DEFINED	-
** UoE	Udorthens, 0 to 45 percent slopes, Gravel Pits, K VALUE NOT DEFINED	-
UdD	Urban land, K VALUE NOT DEFINED	-
WdAb	Woodstown sandy loam, 2 to 5 percent slopes, K VALUE = 0.24	C

** DENOTES HIGHLY ERODIBLE SOILS

CONTRACTOR NOTE:
 DURING CONSTRUCTION ACTIVITIES THE LIMITS OF DISTURBANCE (L.O.D.) SHALL NOT EXCEED 30 ACRES.

FISHER, COLLINS & CARTER, INC.
 CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
 CENTRAL SOURCE OFFICE PARK - 10772 BALTIMORE NATIONAL PIKE
 CLUETT CITY, MARYLAND 21042
 (410) 461 - 2995

ENGINEER'S CERTIFICATE

"I HEREBY CERTIFY THAT THIS PLAN HAS BEEN DESIGNED IN ACCORDANCE WITH THE CURRENT MARYLAND EROSION AND SEDIMENT CONTROL LAWS, REGULATIONS, AND STANDARDS REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT."

Stephanie J. Tuite 8/17/20
 SIGNATURE OF ENGINEER DATE

"PROFESSIONAL CERTIFICATION. I HEREBY CERTIFY THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 38306, EXPIRATION DATE: JANUARY 12, 2022."

Stephanie J. Tuite 8/17/20
 SIGNATURE OF ENGINEER DATE

DEVELOPER'S CERTIFICATE

"I/WE HEREBY CERTIFY THAT ANY CLEARING, GRADING, CONSTRUCTION, OR DEVELOPMENT WILL BE DONE PURSUANT TO THIS APPROVED EROSION AND SEDIMENT CONTROL PLAN, INCLUDING INSPECTING AND MAINTAINING CONTROLS, AND THAT THE RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF TRAINING AT A MARYLAND DEPARTMENT OF THE ENVIRONMENT (MDE) APPROVED TRAINING PROGRAM FOR THE CONTROL ON EROSION AND SEDIMENT PRIOR TO BEGINNING THE PROJECT. I CERTIFY RIGHT OF ENTRY FOR PERIODIC ON-SITE EVALUATION BY HOWARD COUNTY, THE HOWARD SOIL CONSERVATION DISTRICT AND/OR MDE."

James H. Hulley 8-19-2020
 SIGNATURE OF DEVELOPER DATE

THESE PLANS FOR SMALL POND CONSTRUCTION, SOIL EROSION AND SEDIMENT CONTROL MEET THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

HOWARD SOIL CONSERVATION DISTRICT DATE

APPROVED: DEPARTMENT OF PLANNING AND ZONING

John G. ...
 Director, Department of Planning and Zoning

10-5-20
 10/5/20
 8-26-20

PREPARED FOR
 HOWARD COUNTY PUBLIC SCHOOL SYSTEM
 9020 MENDENHALL COURT
 SUITE 'C'
 COLUMBIA, MARYLAND 21045
 Attention: DANIEL LUBELEY
 410-313-8203

STATE OF MARYLAND
 PROFESSIONAL ENGINEER
 No. 38386

ADDRESS CHART

PARCEL NO.	STREET ADDRESS
-	8500 RIDGELY'S RUN ROAD
-	JESSUP, MARYLAND 20794

PROJECT: HIGH SCHOOL #13
 SECTION/AREA: N/A
 PARCEL: 102, 349, 235

BLK. NOS.	BLOCK NO.	ZONE	TAX MAP	ELEC. DIST.	CENSUS TR.
A5528 25532	10 & 24 13 & 19	R-12 R5A-MXD-3 R5A-B MXD-3	42 & 43	SIXTH	606901

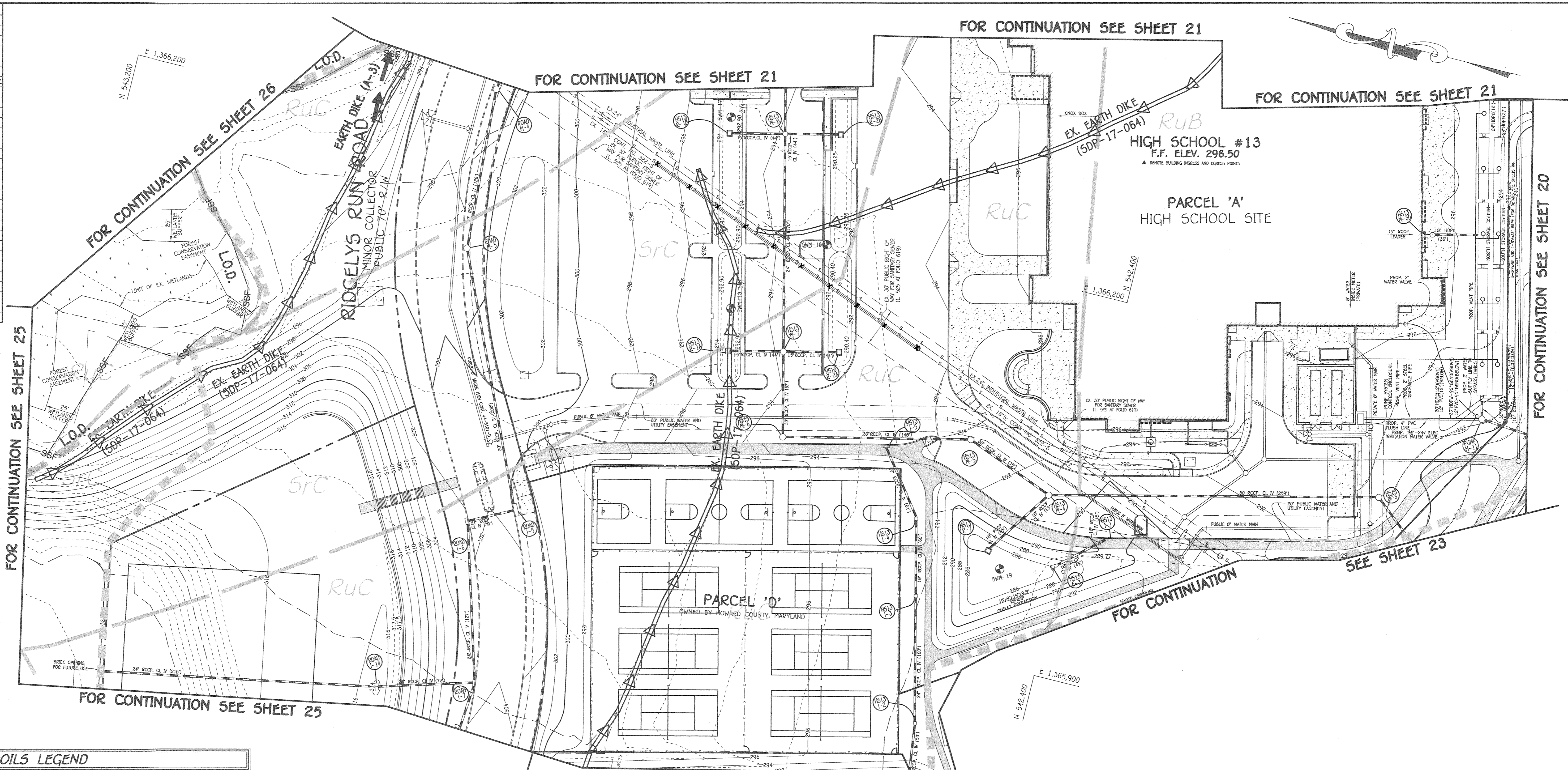
WATER CODE: ---
 SEWER CODE: ---

SEDIMENT AND EROSION CONTROL PLAN

**HIGH SCHOOL #13
 PARCELS 'A' THRU 'D'**

ZONED: R-5C MXD-3, R-5A-B MXD-3 AND R-12
 PARCEL Nos.: 102, 349, 235
 TAX MAP No.: 42 & 43 GRID No.: 24 & 19
 SIXTH ELECTION DISTRICT HOWARD COUNTY, MARYLAND
 SCALE: AS SHOWN DATE: AUGUST, 2020
 SHEET 21 OF 131

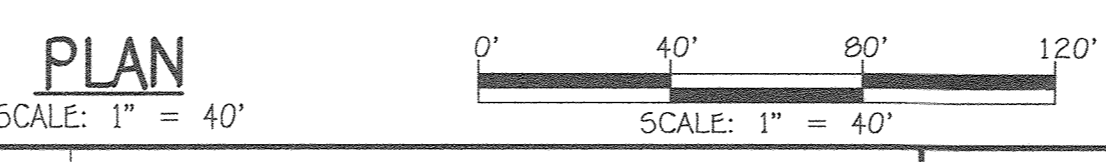
LEGEND	
SYMBOL	DESCRIPTION
--- 202 ---	EXISTING CONTOUR 2' INTERVAL
--- 200 ---	EXISTING CONTOUR 10' INTERVAL
S	EXISTING SAN. SEWER LINE
D	EXISTING STORM DRAIN LINE
W	EXISTING WATER LINE
U	EXISTING UNDERGROUND ELECTRIC LINE
TV	EXISTING CABLE/TV LINE
FO	EXISTING FIBER OPTIC/CABLE LINE
GA	EXISTING GAS LINE
X	EXISTING FENCE
X-X	PROPOSED FENCE
202	PROPOSED CONTOUR 2' INTERVAL
200	PROPOSED CONTOUR 10' INTERVAL
+ 292.50	PROPOSED SPOT ELEVATION
CONCRETE	PROPOSED CONCRETE WALK
MACADAM	PROPOSED MACADAM PAVING
TREE	EXISTING TREE AND SHRUB
TREELINE	EXISTING TREELINE
TREELINE	PROPOSED TREELINE
6" W	PROPOSED PUBLIC WATER
6" W	PROPOSED PRIVATE WATER
18" RCP	PROPOSED STORM DRAIN
6" S	PROPOSED PRIVATE SEWER
6" S	PROPOSED PUBLIC SEWER
SOILS	SOILS DELINEATION
SSF	SUPER SILT FENCE
30 AC	LIMIT OF 30 ACRE MAX. DISTURBANCE
L.O.D.	LIMIT OF DISTURBANCE
FC	FOREST CONSERVATION AREA



SOILS LEGEND		
SOIL	NAME	GROUP
** CeC	Chillum loam, 5 to 10 percent slopes, K VALUE = 0.37	C
CrD	Croom and Evesboro soils, 10 to 15 percent slopes, K VALUE = 0.20	C
CrE	Croom and Evesboro soils, 25 to 45 percent slopes, K VALUE = 0.20	C
EbC	Evesboro loamy sand, 2 to 10 percent slopes, K VALUE = 0.17	A
FaA	Fallsington sandy loam, 0 to 2 percent slopes, K VALUE = 0.02	C/D
RsC	Russett fine sandy loam, 5 to 10 percent slopes, K VALUE = 0.24	C
RuB	Russett and Beltsville soils, 2 to 5 percent slopes, K VALUE = 0.24	C
** RuC	Russett and Beltsville soils, 5 to 10 percent slopes, K VALUE = 0.24	C
SaB	Sassafras loam, 2 to 5 percent slopes, K VALUE = 0.37	B
SfB	Sassafras gravelly sandy loam, 2 to 5 percent slopes, K VALUE = 0.24	B
** SrC	Sassafras and Croom soils, 5 to 10 percent slopes, K VALUE = 0.37	B
UcB	Urban land-Chillum-Beltsville complex, 0 to 5 percent slopes, K VALUE NOT DEFINED	-
** UoE	Udorthents, 0 to 45 percent slopes, Gravel Pits, K VALUE NOT DEFINED	-
UfD	Urban land, K VALUE NOT DEFINED	D
WdB	Woodstown sandy loam, 2 to 5 percent slopes, K VALUE = 0.24	C

** DENOTES HIGHLY ERODIBLE SOILS

CONTRACTOR NOTE:
DURING CONSTRUCTION ACTIVITIES THE LIMITS OF DISTURBANCE (L.O.D.) SHALL NOT EXCEED 30 ACRES.



FISHER, COLLINS & CARTER, INC.
CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
CENTRAL SQUARE OFFICE PARK - 10272 BALTIMORE NATIONAL PIKE
ELLICOTT CITY, MARYLAND 21042
(410) 461-2200

ENGINEER'S CERTIFICATE
"I HEREBY CERTIFY THAT THIS PLAN HAS BEEN DESIGNED IN ACCORDANCE WITH THE CURRENT MARYLAND EROSION AND SEDIMENT CONTROL LAWS, REGULATIONS, AND STANDARDS REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE, AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT."

Stephan Tuite 8/17/20
SIGNATURE OF ENGINEER DATE

DEVELOPER'S CERTIFICATE
"I/WE HEREBY CERTIFY THAT ANY CLEARING, GRADING, CONSTRUCTION, OR DEVELOPMENT WILL BE DONE PURSUANT TO THIS APPROVED EROSION AND SEDIMENT CONTROL PLAN, INCLUDING INSPECTING AND MAINTAINING CONTROLS, AND THAT THE RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF TRAINING AT A MARYLAND DEPARTMENT OF THE ENVIRONMENT (MDE) APPROVED TRAINING PROGRAM FOR THE CONTROL ON EROSION AND SEDIMENT PRIOR TO BEGINNING THE PROJECT. I CERTIFY RIGHT OF ENTRY FOR PERIODIC ON-SITE EVALUATION BY HOWARD COUNTY, THE HOWARD SOIL CONSERVATION DISTRICT AND/OR MDE."

James J. Halley 8-19-2020
SIGNATURE OF DEVELOPER DATE

"PROFESSIONAL CERTIFICATION, I HEREBY CERTIFY THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 38306, EXPIRATION DATE: JANUARY 12, 2022."

Stephan Tuite 8/17/20
SIGNATURE DATE

STEPHAN J. TUITE, RLA, P.E., LEED AP BC&O

THESE PLANS FOR SMALL POND CONSTRUCTION, SOIL EROSION AND SEDIMENT CONTROL MEET THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

HOWARD SOIL CONSERVATION DISTRICT DATE

APPROVED: DEPARTMENT OF PLANNING AND ZONING

John G. ... 10-5-20
Director, Department of Planning and Zoning DATE

Chief, Division of Land Development
John ... 8-24-20
Chief, Development Engineering Division DATE

PREPARED FOR
HOWARD COUNTY PUBLIC SCHOOL SYSTEM
9020 MENDENHALL COURT
SUITE 'C'
COLUMBIA, MARYLAND 21045
Attention: DANIEL LUBELEY
410-313-8203

ADDRESS CHART			
PARCEL NO.	STREET ADDRESS		
-	8500 RIDGELYS RUN ROAD		
-	JESSUP, MARYLAND 20794		

PROJECT	SECTION/AREA	PARCEL
HIGH SCHOOL #13	N/A	102, 349, 235

PLAT NO.	BLOCK NO.	ZONE	TAX MAP	ELEC. DIST.	CENSUS TR.
16528	18 & 24	R-12	42 & 43	SIXTH	606901
25522	13 & 19	R5C MXD-3	42 & 43	SIXTH	606901
		R5A-8 MXD-3			

SEDIMENT AND EROSION CONTROL PLAN

**HIGH SCHOOL #13
PARCELS 'A' THRU 'D'**

ZONED: R-5C MXD-3, R-5A-8 MXD-3 AND R-12
PARCEL Nos.: 102, 349, 235
TAX MAP No.: 42 & 43 GRID No.: 24 & 19
SIXTH ELECTION DISTRICT HOWARD COUNTY, MARYLAND
SCALE: AS SHOWN DATE: AUGUST, 2020
SHEET 22 OF 131

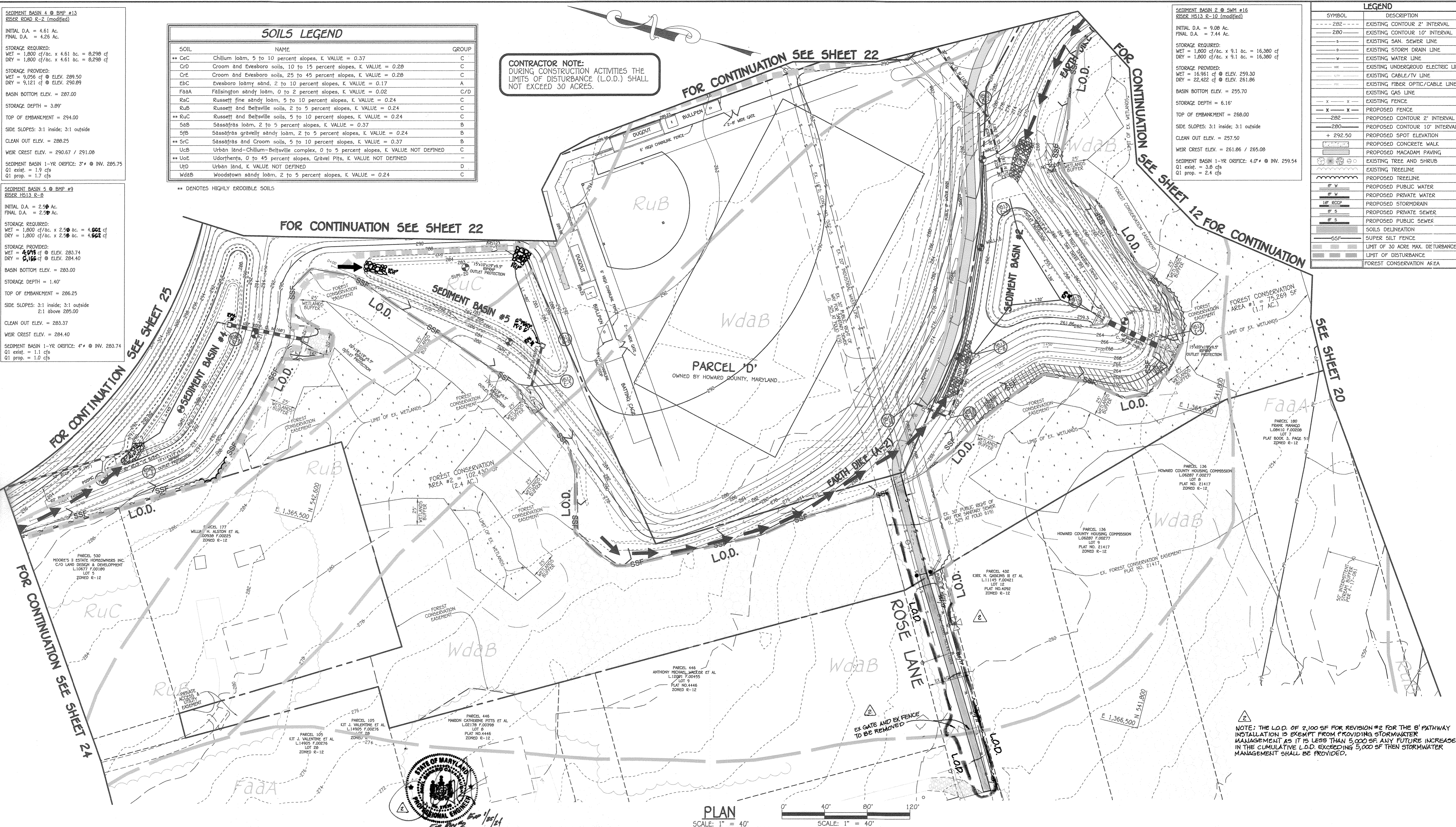
SEDIMENT BASIN 4 @ BMP #13
 RISE: ROAD R-2 (modified)
 INITIAL D.A. = 4.61 AC.
 FINAL D.A. = 4.26 AC.
 STORAGE REQUIRED:
 WET = 1,800 cf/ac. x 4.61 ac. = 8,298 cf
 DRY = 1,800 cf/ac. x 4.61 ac. = 8,298 cf
 STORAGE PROVIDED:
 WET = 9,056 cf @ ELEV. 289.50
 DRY = 9,121 cf @ ELEV. 290.89
 BASIN BOTTOM ELEV. = 287.00
 STORAGE DEPTH = 3.89'
 TOP OF EMBANKMENT = 294.00
 SIDE SLOPES: 3:1 inside; 3:1 outside
 CLEAN OUT ELEV. = 288.25
 WEIR CREST ELEV. = 290.67 / 291.08
 SEDIMENT BASIN 1-YR ORIFICE: 3" @ INV. 285.75
 Q1 exist. = 1.9 cfs
 Q1 prop. = 1.7 cfs

SEDIMENT BASIN 5 @ BMP #9
 RISE: HS13 R-8
 INITIAL D.A. = 2.59 AC.
 FINAL D.A. = 2.59 AC.
 STORAGE REQUIRED:
 WET = 1,800 cf/ac. x 2.59 ac. = 4,662 cf
 DRY = 1,800 cf/ac. x 2.59 ac. = 4,662 cf
 STORAGE PROVIDED:
 WET = 4,193 cf @ ELEV. 283.74
 DRY = 4,166 cf @ ELEV. 284.40
 BASIN BOTTOM ELEV. = 283.00
 STORAGE DEPTH = 1.40'
 TOP OF EMBANKMENT = 286.25
 SIDE SLOPES: 3:1 inside; 3:1 outside
 2:1 above 285.00
 CLEAN OUT ELEV. = 283.37
 WEIR CREST ELEV. = 284.40
 SEDIMENT BASIN 1-YR ORIFICE: 4" @ INV. 283.74
 Q1 exist. = 1.1 cfs
 Q1 prop. = 1.0 cfs

SOILS LEGEND		
SOIL	NAME	GROUP
** CeC	Chillum loam, 5 to 10 percent slopes, K VALUE = 0.37	C
CrD	Croom and Evesboro soils, 10 to 15 percent slopes, K VALUE = 0.28	C
CrE	Croom and Evesboro soils, 25 to 45 percent slopes, K VALUE = 0.28	C
ebC	Evesboro loamy sand, 2 to 10 percent slopes, K VALUE = 0.17	A
FaaA	Fallsington sandy loam, 0 to 2 percent slopes, K VALUE = 0.02	C/D
RaC	Russett fine sandy loam, 5 to 10 percent slopes, K VALUE = 0.24	C
RuB	Russett and Beltsville soils, 2 to 5 percent slopes, K VALUE = 0.24	C
** RuC	Russett and Beltsville soils, 5 to 10 percent slopes, K VALUE = 0.24	C
SaB	Sassafras loam, 2 to 5 percent slopes, K VALUE = 0.37	B
SfB	Sassafras gravelly sandy loam, 2 to 5 percent slopes, K VALUE = 0.24	B
** SrC	Sassafras and Croom soils, 5 to 10 percent slopes, K VALUE = 0.37	B
UcB	Urban land-Chillum-Beltsville complex, 0 to 5 percent slopes, K VALUE NOT DEFINED	C
** UoE	Udorthents, 0 to 45 percent slopes, Gravel Pits, K VALUE NOT DEFINED	-
LHD	Urban land, K VALUE NOT DEFINED	D
WdaB	Woodstown sandy loam, 2 to 5 percent slopes, K VALUE = 0.24	C

** DENOTES HIGHLY ERODIBLE SOILS

CONTRACTOR NOTE:
 DURING CONSTRUCTION ACTIVITIES THE LIMITS OF DISTURBANCE (L.O.D.) SHALL NOT EXCEED 30 ACRES.



SEDIMENT BASIN 2 @ BMP #16
 RISE: HS13 R-10 (modified)
 INITIAL D.A. = 9.08 AC.
 FINAL D.A. = 7.44 AC.
 STORAGE REQUIRED:
 WET = 1,800 cf/ac. x 9.1 ac. = 16,380 cf
 DRY = 1,800 cf/ac. x 9.1 ac. = 16,380 cf
 STORAGE PROVIDED:
 WET = 16,961 cf @ ELEV. 259.30
 DRY = 22,422 cf @ ELEV. 261.86
 BASIN BOTTOM ELEV. = 259.70
 STORAGE DEPTH = 6.16'
 TOP OF EMBANKMENT = 268.00
 SIDE SLOPES: 3:1 inside; 3:1 outside
 CLEAN OUT ELEV. = 257.50
 WEIR CREST ELEV. = 261.86 / 265.08
 SEDIMENT BASIN 1-YR ORIFICE: 4.0" @ INV. 259.54
 Q1 exist. = 3.8 cfs
 Q1 prop. = 2.4 cfs

LEGEND	
SYMBOL	DESCRIPTION
---	EXISTING CONTOUR 2' INTERVAL
---	EXISTING CONTOUR 10' INTERVAL
---	EXISTING SAN. SEWER LINE
---	EXISTING STORM DRAIN LINE
---	EXISTING WATER LINE
---	EXISTING UNDERGROUND ELECTRIC LINE
---	EXISTING CABLE/TV LINE
---	EXISTING FIBER OPTIC/CABLE LINE
---	EXISTING GAS LINE
---	EXISTING FENCE
---	PROPOSED FENCE
---	PROPOSED CONTOUR 2' INTERVAL
---	PROPOSED CONTOUR 10' INTERVAL
---	PROPOSED SPOT ELEVATION
---	PROPOSED CONCRETE WALK
---	PROPOSED MACADAM PAVING
---	EXISTING TREE AND SHRUB
---	EXISTING TREELINE
---	PROPOSED TREELINE
---	PROPOSED PUBLIC WATER
---	PROPOSED PRIVATE WATER
---	PROPOSED STORMDRAIN
---	PROPOSED PRIVATE SEWER
---	PROPOSED PUBLIC SEWER
---	SOILS DELINEATION
---	SUPER SILT FENCE
---	LIMIT OF 30 ACRE MAX. DISTURBANCE
---	LIMIT OF DISTURBANCE
---	FOREST CONSERVATION AREA

NOTE: THE L.O.D. OF 2,100 SF FOR REVISION #2 FOR THE 8' PATHWAY INSTALLATION IS EXEMPT FROM PROVIDING STORMWATER MANAGEMENT AS IT IS LESS THAN 5,000 SF. ANY FUTURE INCREASE IN THE CUMULATIVE L.O.D. EXCEEDING 5,000 SF THEN STORMWATER MANAGEMENT SHALL BE PROVIDED.

FISHER, COLLINS & CARTER, INC.
 CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
 CENTRAL SQUARE OFFICE PARK - 10272 BALTIMORE NATIONAL PIKE
 ELICOTT CITY, MARYLAND 21142
 (410) 461-2899

ENGINEER'S CERTIFICATE
 I HEREBY CERTIFY THAT THIS PLAN HAS BEEN DESIGNED IN ACCORDANCE WITH THE CURRENT MARYLAND EROSION AND SEDIMENT CONTROL LAWS, REGULATIONS, AND STANDARDS REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE, AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.
 SIGNATURE OF ENGINEER: *Stephanie J. Rutte* DATE: 8/17/20

DEVELOPER'S CERTIFICATE
 I HEREBY CERTIFY THAT ANY CLEARING, GRADING, CONSTRUCTION, OR DEVELOPMENT WILL BE DONE PURSUANT TO THIS APPROVED EROSION AND SEDIMENT CONTROL PLAN, INCLUDING INSPECTING AND MAINTAINING CONTROLS, AND THAT THE RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF TRAINING AT A MARYLAND DEPARTMENT OF THE ENVIRONMENT (MDE) APPROVED TRAINING PROGRAM FOR THE CONTROL ON EROSION AND SEDIMENT PRIOR TO BEGINNING THE PROJECT. I CERTIFY RIGHT OF ENTRY FOR PERIODIC ON-SITE EVALUATION BY HOWARD COUNTY, THE HOWARD SOIL CONSERVATION DISTRICT AND/OR MDE.
 SIGNATURE OF DEVELOPER: *James J. Hurlbut* DATE: 8-19-2020

PROFESSIONAL CERTIFICATION: I HEREBY CERTIFY THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 30386, EXPIRATION DATE: JANUARY 12, 2022.
 SIGNATURE OF PROFESSIONAL ENGINEER: *Stephanie J. Rutte* DATE: 8/17/20
 STEPHANIE J. RUTTE, R.L.A., P.E., LEED AP BC&O

THESE PLANS FOR SMALL POND CONSTRUCTION, EROSION AND SEDIMENT CONTROL MEET THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.
 HOWARD SOIL CONSERVATION DISTRICT DATE: _____

REVISIONS:

5/25/23	ADDED SIDEWALK IN ROSE LANE	△
9/9/21	REMOVED TREELINE & PLANTING STRIPS	△

APPROVED: DEPARTMENT OF PLANNING AND ZONING
 Director - Department of Planning and Zoning: *John G. ...* DATE: 10-5-20
 Chief, Department of Land Development: *John ...* DATE: 10/5/20
 Chief, Department Engineering Division: *John ...* DATE: 8-26-20

PREPARED FOR
 HOWARD COUNTY PUBLIC SCHOOL SYSTEM
 9020 MENDENHALL COURT
 SUITE 'C'
 COLUMBIA, MARYLAND 21045
 Attention: DANIEL LUBELEY
 410-313-8203

ADDRESS CHART	
PARCEL NO.	STREET ADDRESS
-	8500 RIDGELYS RUN ROAD
-	JESSUP, MARYLAND 20794

PROJECT	SECTION/AREA	PARCEL
HIGH SCHOOL #13	N/A	102, 349, 235
PLAT NOS. 26528, 25532	BLOCK NO. 18 & 24, 13 & 19	ZONE R-12, RSC MXD-3, R5A-B MXD-3
WATER CODE	TAX MAP 42 & 43	ELEC. DIST. SIXTH
	CENSUS TR. 606901	SEWER CODE

SEDIMENT AND EROSION CONTROL PLAN

HIGH SCHOOL #13 PARCELS 'A' THRU 'D'

ZONED: R-5C MXD-3, R-5A-B MXD-3 AND R-12
 PARCEL NOS.: 102, 349, 235
 TAX MAP NOS.: 42 & 43 GRID NOS.: 24 & 19
 SIXTH ELECTION DISTRICT HOWARD COUNTY, MARYLAND
 SCALE: AS SHOWN DATE: AUGUST, 2020
 SHEET 23 OF 131

SOILS LEGEND		
SOIL	NAME	GROUP
** CeC	Chillum loam, 5 to 10 percent slopes, K VALUE = 0.37	C
CrD	Croom and Evesboro soils, 10 to 15 percent slopes, K VALUE = 0.28	C
CrE	Croom and Evesboro soils, 25 to 45 percent slopes, K VALUE = 0.28	C
EbC	Evesboro loamy sand, 2 to 10 percent slopes, K VALUE = 0.17	A
FaaA	Fallsington sandy loam, 0 to 2 percent slopes, K VALUE = 0.02	C/D
RaC	Russett fine sandy loam, 5 to 10 percent slopes, K VALUE = 0.24	C
RuB	Russett and Belleville soils, 2 to 5 percent slopes, K VALUE = 0.24	C
** RuC	Russett and Belleville soils, 5 to 10 percent slopes, K VALUE = 0.24	C
SaB	Sassafras loam, 2 to 5 percent slopes, K VALUE = 0.37	B
SfB	Sassafras gravelly sandy loam, 2 to 5 percent slopes, K VALUE = 0.24	B
** SrC	Sassafras and Croom soils, 5 to 10 percent slopes, K VALUE = 0.37	B
UcB	Urban land-Chillum-Belleville complex, 0 to 5 percent slopes, K VALUE NOT DEFINED	-
UoE	Udorthents, 0 to 45 percent slopes, Gravel Pts, K VALUE NOT DEFINED	-
UfD	Urban land, K VALUE NOT DEFINED	D
WdB	Woodstown sandy loam, 2 to 5 percent slopes, K VALUE = 0.24	C

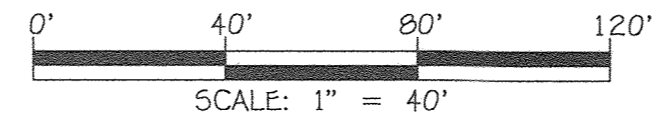
** DENOTES HIGHLY ERODIBLE SOILS

LEGEND	
SYMBOL	DESCRIPTION
--- 282 ---	EXISTING CONTOUR 2' INTERVAL
--- 280 ---	EXISTING CONTOUR 10' INTERVAL
-s-	EXISTING SAN. SEWER LINE
-d-	EXISTING STORM DRAIN LINE
-w-	EXISTING WATER LINE
-e-	EXISTING UNDERGROUND ELECTRIC LINE
-c-	EXISTING CABLE/TV LINE
-f-	EXISTING FIBER OPTIC/CABLE LINE
-g-	EXISTING GAS LINE
-x-x-	EXISTING FENCE
-x-x-	PROPOSED FENCE
--- 282 ---	PROPOSED CONTOUR 2' INTERVAL
--- 280 ---	PROPOSED CONTOUR 10' INTERVAL
+ 292.50	PROPOSED SPOT ELEVATION
--- 282 ---	PROPOSED CONCRETE WALK
--- 280 ---	PROPOSED MACADAM PAVING
--- 280 ---	EXISTING TREE AND SHRUB
--- 280 ---	EXISTING TREELINE
--- 280 ---	PROPOSED TREELINE
8" W	PROPOSED PUBLIC WATER
8" W	PROPOSED PRIVATE WATER
18" RCP	PROPOSED STORMDRAIN
8" S	PROPOSED PRIVATE SEWER
8" S	PROPOSED PUBLIC SEWER
---	SOILS DELINEATION
SSF	SUPER SILT FENCE
---	LIMIT OF 30 ACRE MAX. DISTURBANCE
---	LIMIT OF DISTURBANCE

CONTRACTOR NOTE:
DURING CONSTRUCTION ACTIVITIES THE LIMITS OF DISTURBANCE (L.O.D.) SHALL NOT EXCEED 30 ACRES.



PLAN
SCALE: 1" = 40'



FISHER, COLLINS & CARTER, INC.
CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
CENTRAL SOURCE OFFICE PARK - 10272 BALTIMORE NATIONAL PIKE
ELICOTT CITY, MARYLAND 21042
1410, 461 - 2009

ENGINEER'S CERTIFICATE
"I HEREBY CERTIFY THAT THIS PLAN HAS BEEN DESIGNED IN ACCORDANCE WITH THE CURRENT MARYLAND EROSION AND SEDIMENT CONTROL LAWS, REGULATIONS, AND STANDARDS REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE, AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT."
Stephanie G. Tuite 8/17/20
SIGNATURE OF ENGINEER DATE

"PROFESSIONAL CERTIFICATION, I HEREBY CERTIFY THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 38366, EXPIRATION DATE: JANUARY 12, 2022."
Stephanie G. Tuite 8/17/20
STEPHANIE G. TUITE, RIA, P.E., LEED AP BC&D DATE

DEVELOPER'S CERTIFICATE
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James J. Kelly 8-19-2020
SIGNATURE OF DEVELOPER DATE

THESE PLANS FOR SMALL BOND CONSTRUCTION, SOIL EROSION AND SEDIMENT CONTROL MEET THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.
HOWARD SOIL CONSERVATION DISTRICT

APPROVED: DEPARTMENT OF PLANNING AND ZONING
Director - Department of Planning and Zoning
Chief, Division of Land Development
Chief, Development Engineering Division

10-5-20
14/5/20
8-21-20

PREPARED FOR
HOWARD COUNTY PUBLIC SCHOOL SYSTEM
9020 MENDENHALL COURT
SUITE 'C'
COLUMBIA, MARYLAND 21045
Attention: DANIEL LUBELEY
410-313-8203



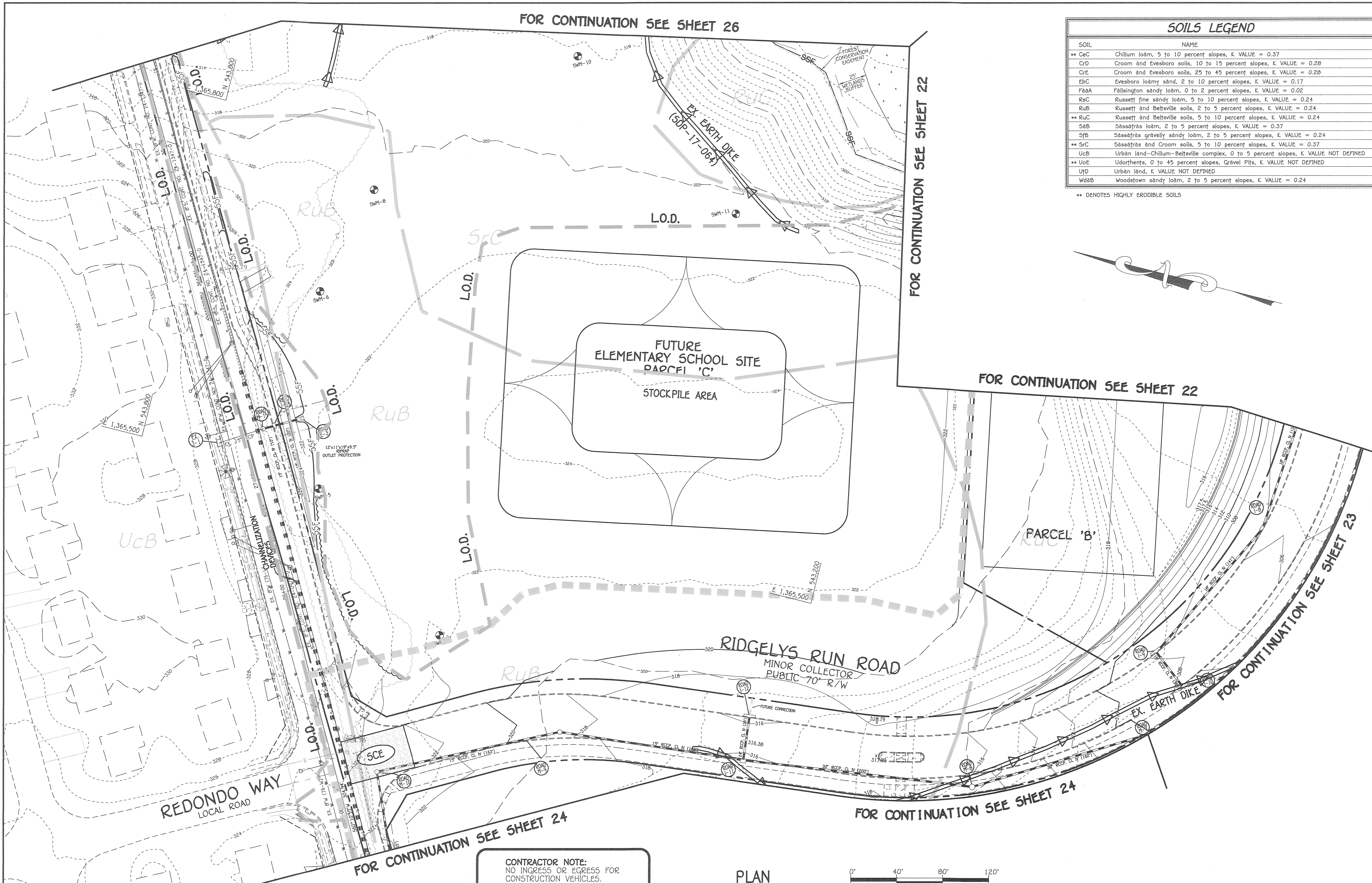
ADDRESS CHART	
PARCEL NO.	STREET ADDRESS
-	8500 RIDGELYS RUN ROAD JESSUP, MARYLAND 20794

PROJECT		SECTION/AREA	PARCEL
HIGH SCHOOL #13		N/A	102, 349, 235
PLAT NOS. 25528 25532	BLOCK NO. 18 & 24 13 & 19	ZONE R-12 RSC MXD-3 PSA-B MXD-3	TAX MAP 42 & 43 SIXTH 606901
WATER CODE		SEWER CODE	

SEDIMENT AND EROSION CONTROL PLAN

**HIGH SCHOOL #13
PARCELS 'A' THRU 'D'**

ZONED: R-SC MXD-3, R-5A-B MXD-3 AND R-12
PARCEL Nos.: 102, 349, 235
TAX MAP No.: 42 & 43 GRID No.: 24 & 19
SIXTH ELECTION DISTRICT HOWARD COUNTY, MARYLAND
SCALE: AS SHOWN DATE: AUGUST, 2020
SHEET 24 OF 131



SOIL	NAME	GROUP
** CeC	Chillum loam, 5 to 10 percent slopes, K VALUE = 0.37	C
CrD	Croom and Evesboro soils, 10 to 15 percent slopes, K VALUE = 0.28	C
CrE	Croom and Evesboro soils, 25 to 45 percent slopes, K VALUE = 0.28	C
EbC	Evesboro loamy sand, 2 to 10 percent slopes, K VALUE = 0.17	A
FaaA	Fallsington sandy loam, 0 to 2 percent slopes, K VALUE = 0.02	C/O
RaC	Russett fine sandy loam, 5 to 10 percent slopes, K VALUE = 0.24	C
RuB	Russett and Beltsville soils, 2 to 5 percent slopes, K VALUE = 0.24	C
** RuC	Russett and Beltsville soils, 5 to 10 percent slopes, K VALUE = 0.24	C
SaB	Sassafras loam, 2 to 5 percent slopes, K VALUE = 0.37	B
SfB	Sassafras gravelly sandy loam, 2 to 5 percent slopes, K VALUE = 0.24	B
** SrC	Sassafras and Croom soils, 5 to 10 percent slopes, K VALUE = 0.37	B
UcB	Urban land-Chillum-Beltsville complex, 0 to 5 percent slopes, K VALUE NOT DEFINED	-
** UoE	Udorbents, 0 to 45 percent slopes, Gravel Pfts, K VALUE NOT DEFINED	-
UfD	Urban land, K VALUE NOT DEFINED	D
Wdab	Woodstown sandy loam, 2 to 5 percent slopes, K VALUE = 0.24	C

** DENOTES HIGHLY ERODIBLE SOILS

SYMBOL	DESCRIPTION
--- 202 ---	EXISTING CONTOUR 2' INTERVAL
--- 280 ---	EXISTING CONTOUR 10' INTERVAL
---	EXISTING SAN. SEWER LINE
---	EXISTING STORM DRAIN LINE
---	EXISTING WATER LINE
---	EXISTING UNDERGROUND ELECTRIC LINE
---	EXISTING CABLE/TV LINE
---	EXISTING FIBER OPTIC/CABLE LINE
---	EXISTING GAS LINE
---	EXISTING FENCE
---	PROPOSED FENCE
---	PROPOSED CONTOUR 2' INTERVAL
---	PROPOSED CONTOUR 10' INTERVAL
+ 292.50	PROPOSED SPOT ELEVATION
---	PROPOSED CONCRETE WALK
---	PROPOSED MACADAM PAVING
---	EXISTING TREE AND SHRUB
---	EXISTING TREELINE
---	PROPOSED TREELINE
---	PROPOSED PUBLIC WATER
---	PROPOSED PRIVATE WATER
---	PROPOSED STORMDRAIN
---	PROPOSED PRIVATE SEWER
---	PROPOSED PUBLIC SEWER
---	SOILS DELINEATION
---	SUPER SILT FENCE
---	LIMIT OF 30 ACRE MAX. DISTURBANCE
---	LIMIT OF DISTURBANCE

CONTRACTOR NOTE:
DURING CONSTRUCTION ACTIVITIES THE LIMITS OF DISTURBANCE (L.O.D.) SHALL NOT EXCEED 30 ACRES.

CONTRACTOR NOTE:
NO INGRESS OR EGRESS FOR CONSTRUCTION VEHICLES.

PLAN
SCALE: 1" = 40'

FISHER, COLLINS & CARTER, INC.
CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
CENTRAL SQUARE OFFICE PARK - 10272 BALTIMORE NATIONAL PIKE
ELICOTT CITY, MARYLAND 21042
(410) 461-2000

ENGINEER'S CERTIFICATE
"I HEREBY CERTIFY THAT THIS PLAN HAS BEEN DESIGNED IN ACCORDANCE WITH THE CURRENT MARYLAND EROSION AND SEDIMENT CONTROL LAWS, REGULATIONS, AND STANDARDS REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE, AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT."
Stephanie J. Lute 8/17/20
SIGNATURE OF ENGINEER DATE

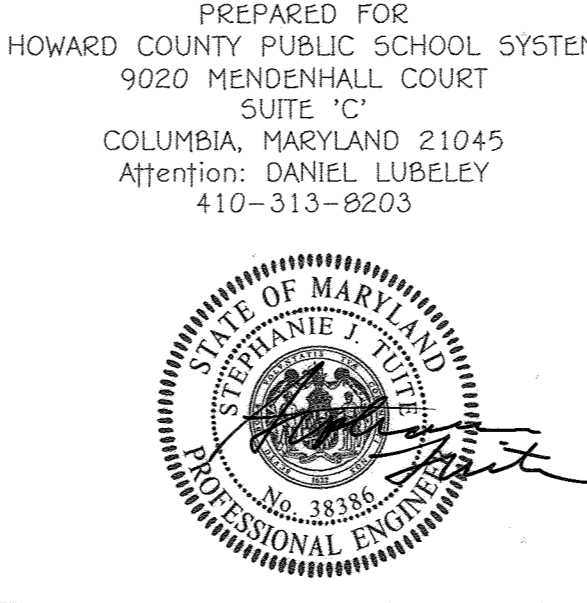
DEVELOPER'S CERTIFICATE
"I/WE HEREBY CERTIFY THAT ANY CLEARING, GRADING, CONSTRUCTION, OR DEVELOPMENT WILL BE DONE PURSUANT TO THIS APPROVED EROSION AND SEDIMENT CONTROL PLAN, INCLUDING INSPECTING AND MAINTAINING CONTROLS, AND THAT THE RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF TRAINING AT A MARYLAND DEPARTMENT OF THE ENVIRONMENT (MDE) APPROVED TRAINING PROGRAM FOR THE CONTROL ON EROSION AND SEDIMENT PRIOR TO BEGINNING THE PROJECT. I CERTIFY RIGHT OF ENTRY FOR PERIODIC ON-SITE EVALUATION BY HOWARD COUNTY, THE HOWARD SOIL CONSERVATION DISTRICT AND/OR MDE."
Stephanie J. Lute 8-19-2020
SIGNATURE OF DEVELOPER DATE

"PROFESSIONAL CERTIFICATION, I HEREBY CERTIFY THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 30386, EXPIRATION DATE: JANUARY 12, 2022."
Stephanie J. Lute 8/17/20
STEPHANIE J. LUTE, R.L.A., P.E., LEED AP BCD
DATE

APPROVED: DEPARTMENT OF PLANNING AND ZONING
Director - Department of Planning and Zoning 10-5-20
Date
Chief, Division of Land Development 10/15/20
Date
Chief, Development Engineering Division 8-21-20
Date

THESE PLANS FOR SMALL-SCALE CONSTRUCTION, SOIL EROSION AND SEDIMENT CONTROL MEET THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.
HOWARD SOIL CONSERVATION DISTRICT DATE

PREPARED FOR
HOWARD COUNTY PUBLIC SCHOOL SYSTEM
9020 MENDENHALL COURT
SUITE 'C'
COLUMBIA, MARYLAND 21045
Attention: DANIEL LUBELEY
410-313-8203



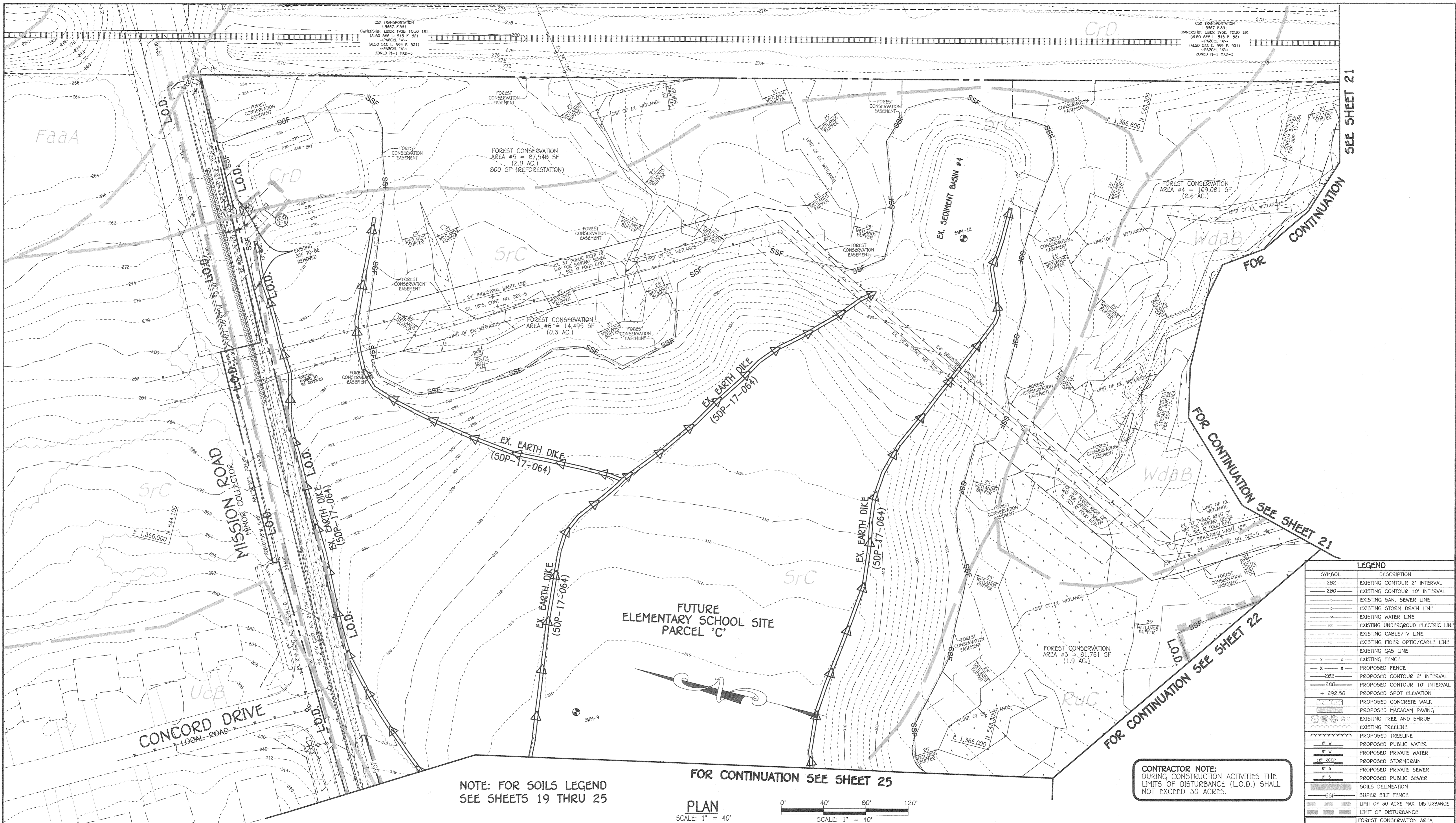
ADDRESS CHART	
PARCEL NO.	STREET ADDRESS
-	8500 RIDGELY'S RUN ROAD JESSUP, MARYLAND 20794

PROJECT	SECTION/AREA	PARCEL
HIGH SCHOOL #13	N/A	102, 349, 235
PLAT NOS. 85528- 25532	BLOCK NO. 18 & 24 13 & 19	ZONE R-12 RSC MXD-3 R5A-B MXD-3
TAX MAP No.: 42 & 43	ELEC. DIST. SIXTH	CENSUS TR. 606901
WATER CODE	SEWER CODE	

SEDIMENT AND EROSION CONTROL PLAN

**HIGH SCHOOL #13
PARCELS 'A' THRU 'D'**

ZONED: R-SC MXD-3, R-5A-B MXD-3 AND R-12
PARCEL Nos.: 102, 349, 235
TAX MAP No.: 42 & 43 - GRID No.: 24 & 19
SIXTH ELECTION DISTRICT - HOWARD COUNTY, MARYLAND
SCALE: AS SHOWN DATE: AUGUST, 2020
SHEET 25 OF 131



NOTE: FOR SOILS LEGEND
SEE SHEETS 19 THRU 25

PLAN
SCALE: 1" = 40'

CONTRACTOR NOTE:
DURING CONSTRUCTION ACTIVITIES THE
LIMITS OF DISTURBANCE (L.O.D.) SHALL
NOT EXCEED 30 ACRES.

SYMBOL	DESCRIPTION
--- 282 ---	EXISTING CONTOUR 2' INTERVAL
--- 280 ---	EXISTING CONTOUR 10' INTERVAL
---	EXISTING SAN. SEWER LINE
---	EXISTING STORM DRAIN LINE
---	EXISTING WATER LINE
---	EXISTING UNDERGROUND ELECTRIC LINE
---	EXISTING CABLE/TV LINE
---	EXISTING FIBER OPTIC/CABLE LINE
---	EXISTING GAS LINE
---	EXISTING FENCE
-x-x-	PROPOSED FENCE
-282-	PROPOSED CONTOUR 2' INTERVAL
-280-	PROPOSED CONTOUR 10' INTERVAL
+ 292.50	PROPOSED SPOT ELEVATION
---	PROPOSED CONCRETE WALK
---	PROPOSED MACADAM PAVING
---	EXISTING TREE AND SHRUB
---	EXISTING TREELINE
---	PROPOSED TREELINE
W	PROPOSED PUBLIC WATER
W	PROPOSED PRIVATE WATER
SC	PROPOSED STORMDRAIN
S	PROPOSED PRIVATE SEWER
S	PROPOSED PUBLIC SEWER
---	SOILS DELINEATION
SSF	SUPER SILT FENCE
---	LIMIT OF 30 ACRE MAX. DISTURBANCE
---	LIMIT OF DISTURBANCE
---	FOREST CONSERVATION AREA

FISHER, COLLINS & CARTER, INC.
CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
CENTRAL SQUARE OFFICE PARK - 10272 BALTIMORE NATIONAL PIKE
ELICOTT CITY, MARYLAND 21042
(410) 461-2000

ENGINEER'S CERTIFICATE
"I HEREBY CERTIFY THAT THIS PLAN HAS BEEN DESIGNED IN ACCORDANCE WITH THE CURRENT MARYLAND EROSION AND SEDIMENT CONTROL LAWS, REGULATIONS, AND STANDARDS REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE, AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT."
Stephanie J. Tuttle 9/17/20
SIGNATURE OF ENGINEER DATE

DEVELOPER'S CERTIFICATE
"I/WE HEREBY CERTIFY THAT ANY CLEARING, GRADING, CONSTRUCTION, OR DEVELOPMENT WILL BE DONE PURSUANT TO THIS APPROVED EROSION AND SEDIMENT CONTROL PLAN, INCLUDING INSPECTING AND MAINTAINING CONTROLS, AND THAT THE RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF TRAINING AT A MARYLAND DEPARTMENT OF THE ENVIRONMENT (MDE) APPROVED TRAINING PROGRAM FOR THE CONTROL ON EROSION AND SEDIMENT PRIOR TO BEGINNING THE PROJECT. I CERTIFY RIGHT OF ENTRY FOR PERIODIC ON-SITE EVALUATION BY HOWARD COUNTY, THE HOWARD SOIL CONSERVATION DISTRICT AND/OR MDE."
James J. Miller 8-17-2020
SIGNATURE OF DEVELOPER DATE

"PROFESSIONAL CERTIFICATION, I HEREBY CERTIFY THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 39386, EXPIRATION DATE: JANUARY 12, 2022."
Stephanie J. Tuttle 9/17/20
SIGNATURE DATE
STEPHANIE J. TUTTLE, R.L.A., P.E., LEED AP BC&O

APPROVED: DEPARTMENT OF PLANNING AND ZONING
Director - Department of Planning and Zoning
10-5-20
Date
10/12/20
Date
8-21-20
Date
Chief, Department of Planning and Zoning
Chief, Development Engineering Division

THESE PLANS FOR SMALL POND CONSTRUCTION, SOIL EROSION AND SEDIMENT CONTROL MEET THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.
HOWARD SOIL CONSERVATION DISTRICT

PREPARED FOR
HOWARD COUNTY PUBLIC SCHOOL SYSTEM
9020 MENDENHALL COURT
SUITE 'C'
COLUMBIA, MARYLAND 21045
Attention: DANIEL LUBELEY
410-313-8203

ADDRESS CHART
PARCEL NO. STREET ADDRESS
9500 RIDGELYS RUN ROAD
JESSUP, MARYLAND 20794

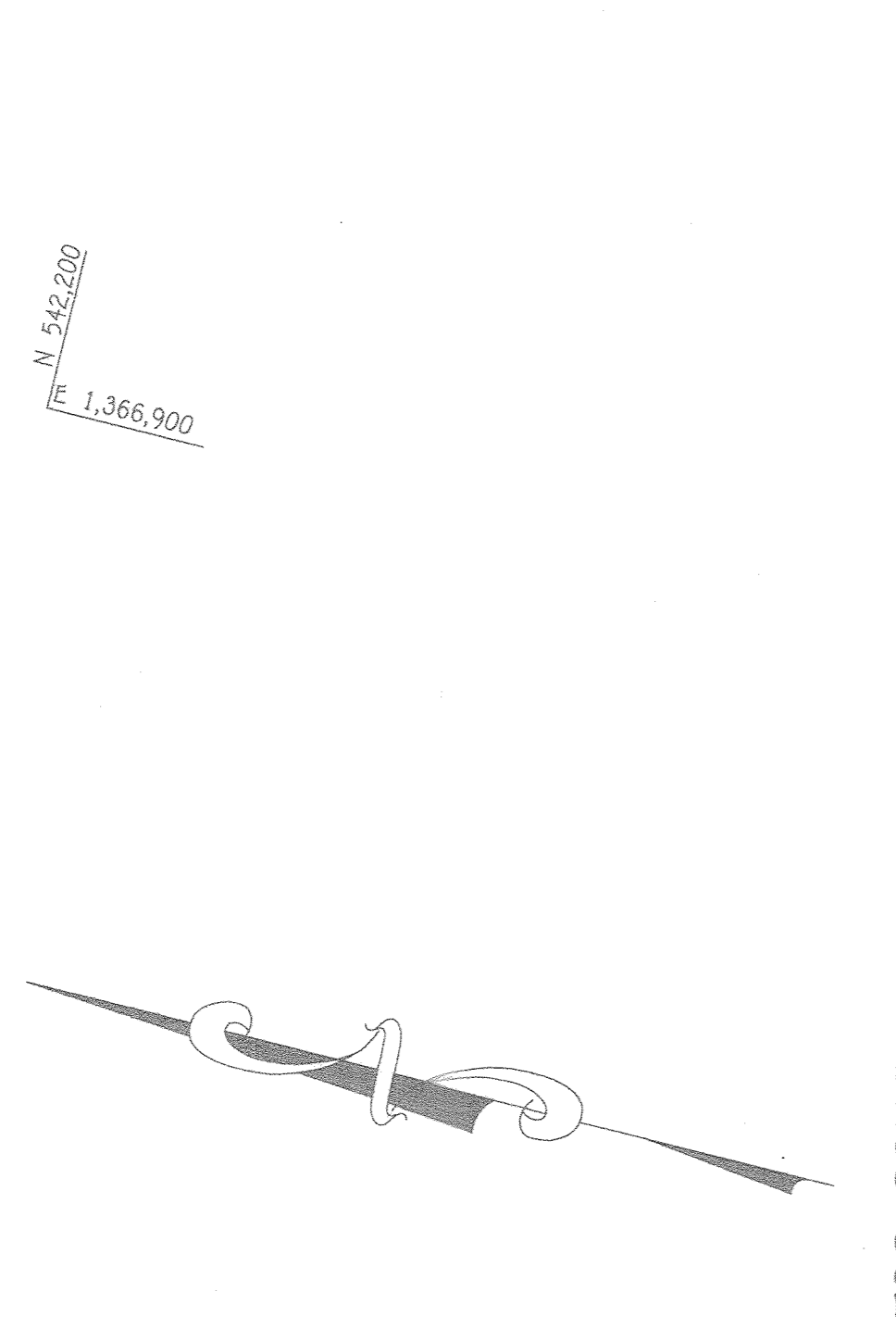
PROJECT: HIGH SCHOOL #13
SECTION/AREA: N/A
PARCEL: 102, 349, 235
PLAT NOS.: 18 & 24, 13 & 19
BLOCK NO.: R-12, RSC MXD-3, RSC-2, MXD-3
ZONE: R-12, RSC MXD-3, RSC-2, MXD-3
TAX MAP: 42 & 43
ELEC. DIST.: SIXTH
CENSUS TR.: 606901
WATER CODE: SEWER CODE

SEDIMENT AND EROSION CONTROL PLAN

HIGH SCHOOL #13
PARCELS 'A' THRU 'D'

ZONED: R-SC MXD-3, R-5A-8 MXD-3 AND R-12
PARCEL Nos.: 102, 349, 235
TAX MAP No.: 42 & 43 GRID No.: 24 & 19
SIXTH ELECTION DISTRICT HOWARD COUNTY, MARYLAND
SCALE: AS SHOWN DATE: AUGUST, 2020
SHEET 26 OF 131

LEGEND	
SYMBOL	DESCRIPTION
--- 282 ---	EXISTING CONTOUR 2' INTERVAL
--- 280 ---	EXISTING CONTOUR 10' INTERVAL
---	EXISTING SAN. SEWER LINE
---	EXISTING STORM DRAIN LINE
---	EXISTING WATER LINE
---	EXISTING UNDERGROUND ELECTRIC LINE
---	EXISTING CABLE/TV LINE
---	EXISTING FIBER OPTIC/CABLE LINE
---	EXISTING GAS LINE
---	EXISTING FENCE
---	PROPOSED FENCE
--- 282 ---	PROPOSED CONTOUR 2' INTERVAL
--- 280 ---	PROPOSED CONTOUR 10' INTERVAL
+ 292.50	PROPOSED SPOT ELEVATION
---	PROPOSED CONCRETE WALK
---	PROPOSED MACADAM PAVING
---	EXISTING TREE AND SHRUB
---	EXISTING TREELINE
---	PROPOSED TREELINE
---	PROPOSED PUBLIC WATER
---	PROPOSED PRIVATE WATER
---	PROPOSED STORM DRAIN
---	PROPOSED PRIVATE SEWER
---	PROPOSED PUBLIC SEWER
---	SOILS DELINEATION
---	DRAINAGE LIMITS (SCHOOL)
---	DRAINAGE LIMITS (ROAD)



H5-13 - DRAINAGE AREA DATA				
DRAINAGE AREA	STRUCTURE NO.	AREA (AC.)	% C	% IMP.
A	1-1	0.94	0.71	76
B	1-2	0.57	0.72	80
C	1-3	0.53	0.73	82
D	1-4	0.50	0.68	74
E	1-5	0.59	0.73	80
F	1-6	0.10	0.32	0
G	1-7	0.19	0.60	72
H	1-8	0.19	0.60	72
I	1-9	0.40	0.62	0
J	1-10	0.41	0.70	0
K	1-11	1.52	0.28	0
L	1-12	0.10	0.24	3
M	1-13	0.12	0.24	0
N	R-1A	0.41	0.66	67
O	R-1B	0.48	0.69	72
P	R-1C	0.32	0.64	64
Q	R-2A	0.59	0.68	72
R	R-2B	0.77	0.65	66
S	R-2C	0.99	0.68	72
T	R-2D	0.41	0.65	66
U	R-3	0.71	0.70	74
V	R-4A	0.65	0.66	68
W	R-4B	0.67	0.68	70
X	R-5	0.56	0.70	74
Y	R-6	1.47	0.70	74
Z	R-7	0.29	0.29	8
TR	TRACK	3.7	0.43	30
BL	BUILDING	3.53	0.05	100

FOR CONTINUATION SEE SHEET 29

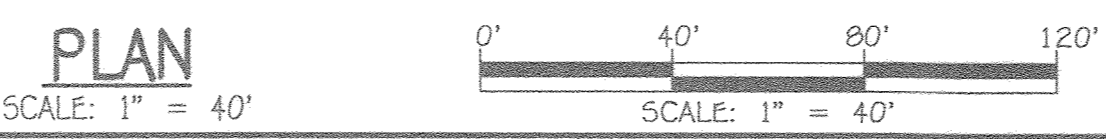
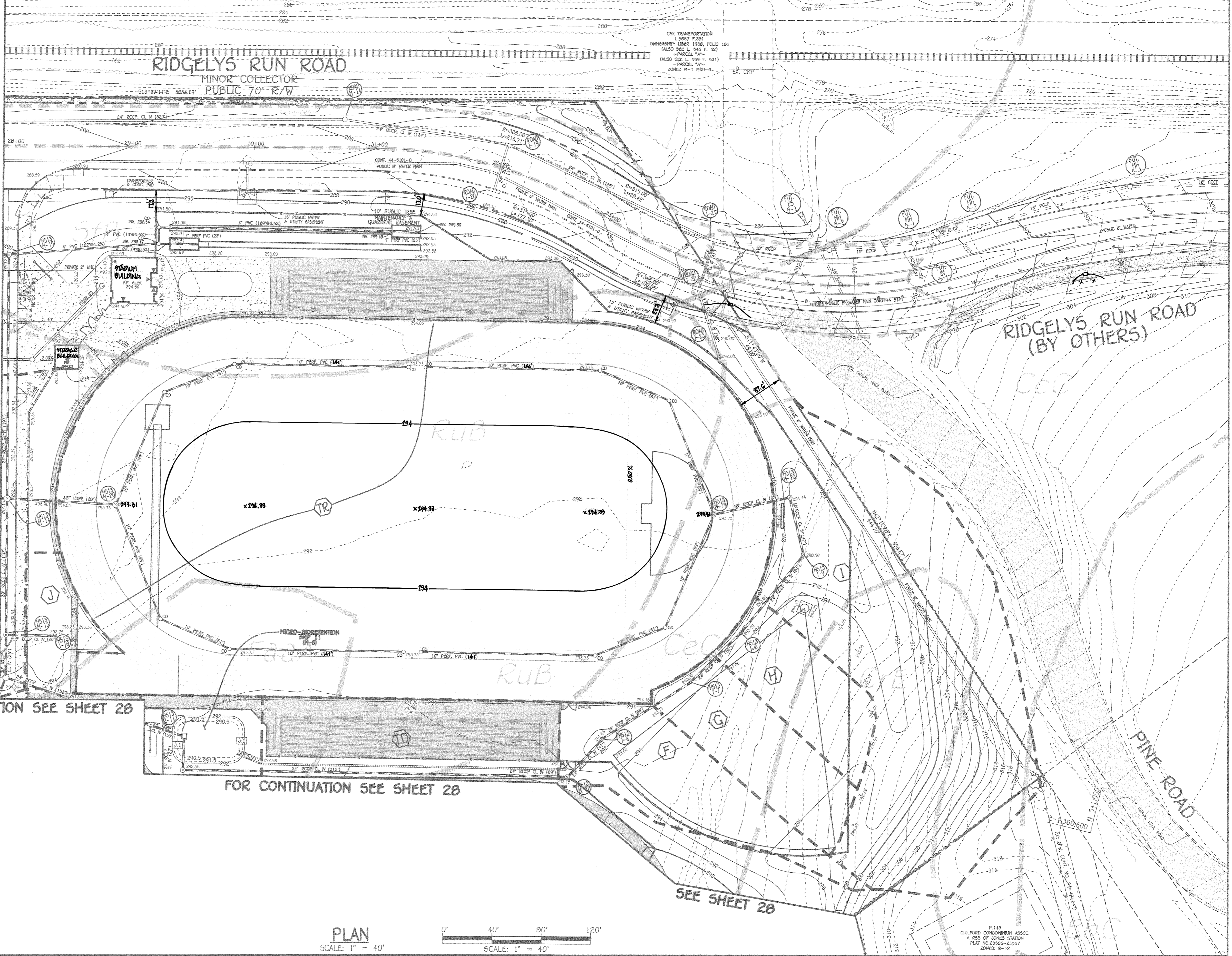
FOR CONTINUATION SEE SHEET 28

FOR CONTINUATION SEE SHEET 28

SEE SHEET 28

SOILS LEGEND		
SOIL	NAME	GROUP
** CeC	Chillum loam, 5 to 10 percent slopes, K VALUE = 0.37	C
CrO	Croom and Evesboro soils, 10 to 15 percent slopes, K VALUE = 0.28	C
CrE	Croom and Evesboro soils, 25 to 45 percent slopes, K VALUE = 0.28	C
EbC	Evesboro loamy sand, 2 to 10 percent slopes, K VALUE = 0.17	A
FaA	Fallsington sandy loam, 0 to 2 percent slopes, K VALUE = 0.02	C/D
RuB	Russell and Beltsville soils, 2 to 5 percent slopes, K VALUE = 0.24	C
** RuC	Russell and Beltsville soils, 5 to 10 percent slopes, K VALUE = 0.24	C
SaB	Sassafras loam, 2 to 5 percent slopes, K VALUE = 0.37	B
SfB	Sassafras gravelly sandy loam, 2 to 5 percent slopes, K VALUE = 0.24	B
** SrC	Sassafras and Croom soils, 5 to 10 percent slopes, K VALUE = 0.37	B
UcB	Urban land-Chillum-Beltsville complex, 0 to 5 percent slopes, K VALUE NOT DEFINED	C
WdB	Woodstown sandy loam, 2 to 5 percent slopes, K VALUE = 0.24	C

** DENOTES HIGHLY ERODIBLE SOILS



FISHER, COLLINS & CARTER, INC.
 CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
 CENTENNIAL SQUARE OFFICE PARK - 10772 BALTIMORE NATIONAL PIKE
 ELIZOVTOWN, MARYLAND 21041
 (410) 461-2295

"PROFESSIONAL CERTIFICATION. I HEREBY CERTIFY THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 38386, EXPIRATION DATE: JANUARY 12, 2022."
Stephanie J. Tuite
 STEPHANIE J. TUITE, RLA, P.E., LEED AP BC&D
 8/14/20
 DATE

APPROVED: DEPARTMENT OF PLANNING AND ZONING
John Corn
 Director, Department of Planning and Zoning
 10-5-20
 Date
John Corn
 Chief, Department of Planning and Zoning
 10/12/20
 Date
John Corn
 Chief, Development Engineering Division
 7-28-20
 Date

PREPARED FOR
 HOWARD COUNTY PUBLIC SCHOOL SYSTEM
 9020 MENDENHALL COURT
 SUITE 'C'
 COLUMBIA, MARYLAND 21045
 Attention: DANIEL LUBBELEY
 410-313-8203

ADDRESS CHART	
PARCEL NO.	STREET ADDRESS
-	8500 RIDGELYS RUN ROAD JESSUP, MARYLAND 20794

PROJECT	SECTION/AREA	PARCEL
HIGH SCHOOL #13	N/A	102, 349, 235

PLAT NO.	BLOCK NO.	ZONE	TAX MAP	ELEC. DIST.	CENSUS TR.
15528	18 & 24	R-12	42 & 43	SIXTH	606901
15532	13 & 19	RSA-MXO-3			

SOILS AND STORM DRAINAGE AREA MAP
**HIGH SCHOOL #13
 PARCELS 'A' THRU 'D'**
 ZONED: R-5C MXD-3, R-5A-B MXD-3 AND R-12
 PARCEL Nos.: 102, 349, 235
 TAX MAP No.: 42 & 43 GRID No.: 24 & 19
 SIXTH ELECTION DISTRICT HOWARD COUNTY, MARYLAND
 SCALE: AS SHOWN DATE: AUGUST, 2020
 SHEET 27 OF 131

FOR CONTINUATION SEE SHEET 29

FOR CONTINUATION SEE SHEET 27

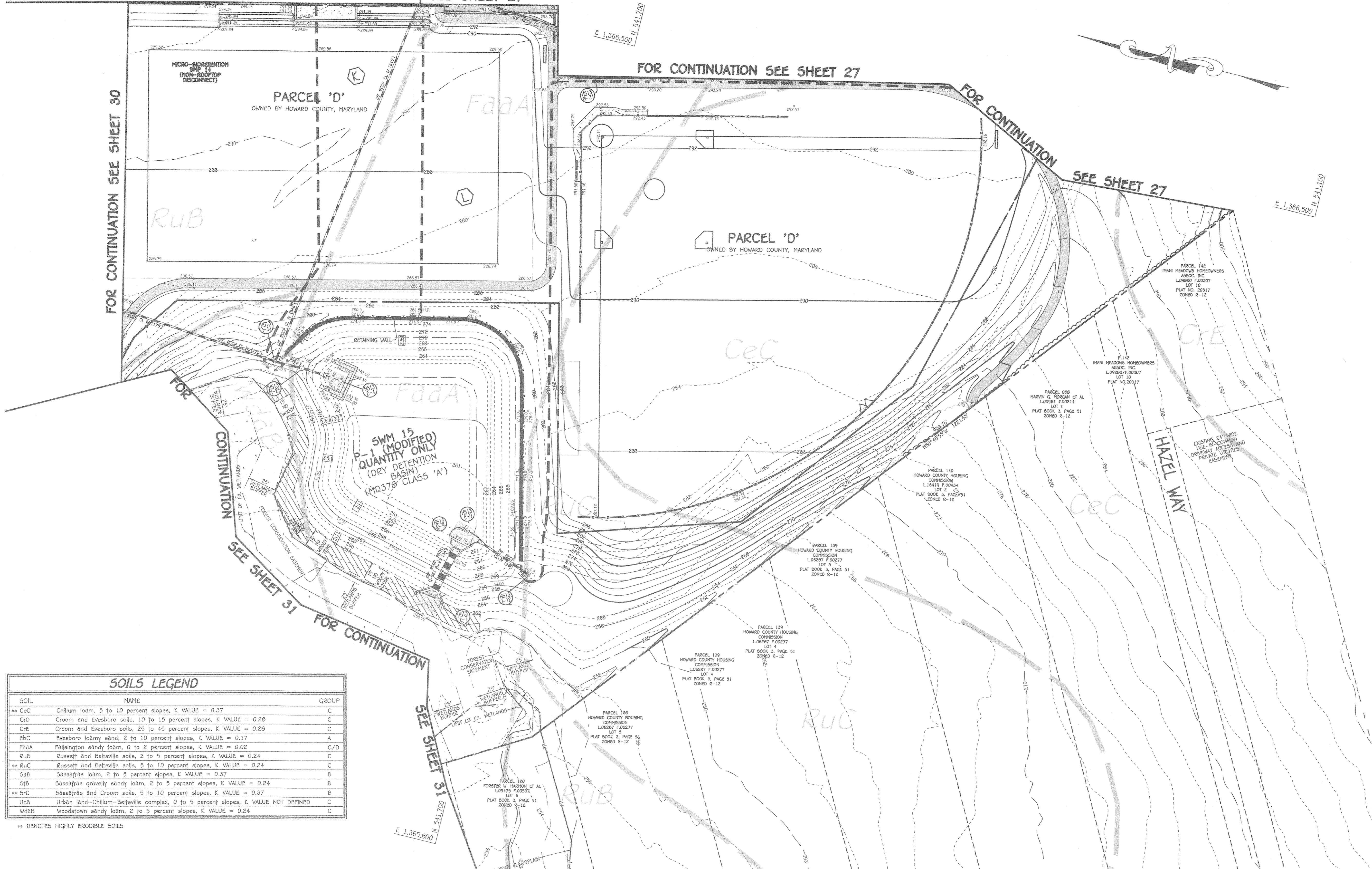
FOR CONTINUATION SEE SHEET 27

FOR CONTINUATION SEE SHEET 27

FOR CONTINUATION SEE SHEET 30

FOR CONTINUATION SEE SHEET 31

FOR CONTINUATION SEE SHEET 31

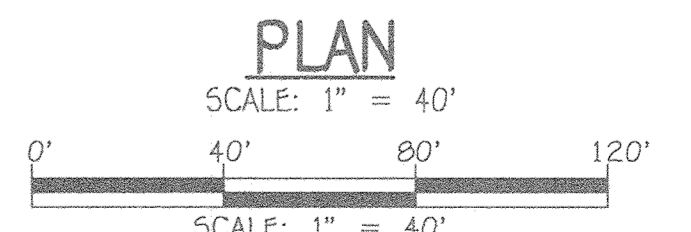


LEGEND	
SYMBOL	DESCRIPTION
---	EXISTING CONTOUR 2' INTERVAL
---	EXISTING CONTOUR 10' INTERVAL
---	EXISTING SAN. SEWER LINE
---	EXISTING STORM DRAIN LINE
---	EXISTING WATER LINE
---	EXISTING UNDERGROUND ELECTRIC LINE
---	EXISTING CABLE/TV LINE
---	EXISTING FIBER OPTIC/CABLE LINE
---	EXISTING GAS LINE
---	EXISTING FENCE
---	PROPOSED FENCE
---	PROPOSED CONTOUR 2' INTERVAL
---	PROPOSED CONTOUR 10' INTERVAL
+	PROPOSED SPOT ELEVATION
---	PROPOSED CONCRETE WALK
---	PROPOSED MACADAM PAVING
---	EXISTING TREE AND SHRUB
---	EXISTING TREELINE
---	PROPOSED TREELINE
---	PROPOSED PUBLIC WATER
---	PROPOSED PRIVATE WATER
---	PROPOSED STORMDRAIN
---	PROPOSED PRIVATE SEWER
---	PROPOSED PUBLIC SEWER
---	SOILS DELINEATION
---	DRAINAGE LIMITS (SCHOOL)
---	DRAINAGE LIMITS (ROAD)

H5-13 - DRAINAGE AREA DATA				
DRAINAGE AREA	STRUCTURE NO.	AREA (AC.)	'C'	% IMP.
A	I-1	0.94	0.71	76
B	I-2	0.57	0.72	80
C	I-3	0.53	0.73	82
D	I-4	0.50	0.68	74
E	I-5	0.59	0.73	80
F	I-6	0.10	0.32	0
G	I-7	0.19	0.60	72
H	I-8	0.19	0.60	72
I	I-9	0.40	0.62	0
J	I-10	0.41	0.70	0
K	I-11	1.52	0.28	0
L	I-12	0.10	0.24	3
M	I-13	0.12	0.24	0
N	R-1A	0.41	0.66	67
O	R-1B	0.48	0.69	72
P	R-1C	0.32	0.64	64
Q	R-2A	0.59	0.68	72
R	R-2B	0.77	0.65	66
S	R-2C	0.99	0.68	72
T	R-2D	0.41	0.65	66
U	R-3	0.71	0.70	74
V	R-4A	0.65	0.66	68
W	R-4B	0.67	0.68	70
X	R-5	0.56	0.70	74
Y	R-6	1.47	0.70	74
Z	R-7	0.29	0.29	8
TR	TRACK	3.7	0.43	30
BL	BUILDING	3.53	0.85	100

SOILS LEGEND		
SOIL	NAME	GROUP
** CaC	Chillum loam, 5 to 10 percent slopes, K VALUE = 0.37	C
CrD	Croom and Evesboro soils, 10 to 19 percent slopes, K VALUE = 0.28	C
CrE	Croom and Evesboro soils, 25 to 45 percent slopes, K VALUE = 0.28	C
EbC	Evesboro loamy sand, 2 to 10 percent slopes, K VALUE = 0.17	A
FaaA	Fallsington sandy loam, 0 to 2 percent slopes, K VALUE = 0.02	C/D
RuB	Russett and Beltsville soils, 2 to 5 percent slopes, K VALUE = 0.24	C
** RuC	Russett and Beltsville soils, 5 to 10 percent slopes, K VALUE = 0.24	C
SaB	Sassafras loam, 2 to 5 percent slopes, K VALUE = 0.37	B
SyB	Sassafras gravelly sandy loam, 2 to 5 percent slopes, K VALUE = 0.24	B
** SrC	Sassafras and Croom soils, 5 to 10 percent slopes, K VALUE = 0.37	B
UcB	Urban land-Chillum-Beltsville complex, 0 to 5 percent slopes, K VALUE NOT DEFINED	C
Wdab	Woodstown sandy loam, 2 to 5 percent slopes, K VALUE = 0.24	C

** DENOTES HIGHLY ERODIBLE SOILS



FISHER, COLLINS & CARTER, INC.
 CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
 CENTRAL SQUARE OFFICE PARK - 10222 BALDWIN NATIONAL PIKE
 ELIZABETH CITY, MARYLAND 21846
 (410) 461 - 2295

"PROFESSIONAL CERTIFICATION. I HEREBY CERTIFY THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 38386, EXPIRATION DATE: JANUARY 12, 2022."
Stephanie J. Tuite 8/17/20
 STEPHANIE J. TUITE, P.E., P.L., LEED AP BC&D

DATE	DESCRIPTION
	REVISION BLOCK
APPROVED: DEPARTMENT OF PLANNING AND ZONING	
Director, Department of Planning and Zoning	16-5-20 Date
Chief, Development Engineering Division	8-21-20 Date

PREPARED FOR
 HOWARD COUNTY PUBLIC SCHOOL SYSTEM
 9020 MENDENHALL COURT
 SUITE 'C'
 COLUMBIA, MARYLAND 21045
 Attention: DANIEL LUBELEY
 410-313-8203

ADDRESS CHART	
PARCEL NO.	STREET ADDRESS
	9500 RIDGELYS RUN ROAD JESSUP, MARYLAND 20794

PROJECT	SECTION/AREA	PARCEL
HIGH SCHOOL #13	N/A	102, 349, 235

PLAT NOS.	BLOCK NO.	ZONE	TAX MAP	ELEC. DIST.	CENSUS TR.
18 & 24	R-12	R-12	42 & 43	SIXTH	606901
13 & 19	RSC MXD-3	RSC MXD-3	42 & 43	SIXTH	606901

SOILS AND STORM DRAINAGE AREA MAP
HIGH SCHOOL #13 PARCELS 'A' THRU 'D'
 ZONED: R-SC MXD-3, R-SA-B MXD-3 AND R-12
 PARCEL NOS.: 102, 349, 235
 TAX MAP No.: 42 & 43 GRID No.: 24 & 19
 SIXTH ELECTION DISTRICT HOWARD COUNTY, MARYLAND
 SCALE: AS SHOWN DATE: AUGUST, 2020
 SHEET 28 OF 131

LEGEND	
SYMBOL	DESCRIPTION
---	EXISTING CONTOUR 2' INTERVAL
---	EXISTING CONTOUR 10' INTERVAL
---	EXISTING SAN. SEWER LINE
---	EXISTING STORM DRAIN LINE
---	EXISTING WATER LINE
---	EXISTING UNDERGROUND ELECTRIC LINE
---	EXISTING CABLE/TV LINE
---	EXISTING FIBER OPTIC/CABLE LINE
---	EXISTING GAS LINE
---	EXISTING FENCE
---	PROPOSED FENCE
---	PROPOSED CONTOUR 2' INTERVAL
---	PROPOSED CONTOUR 10' INTERVAL
+	PROPOSED SPOT ELEVATION
---	PROPOSED CONCRETE WALK
---	PROPOSED MACADAM PAVING
---	EXISTING TREELINE
---	PROPOSED TREELINE
---	PROPOSED PUBLIC WATER
---	PROPOSED PRIVATE WATER
---	PROPOSED STORM DRAIN
---	PROPOSED PRIVATE SEWER
---	PROPOSED PUBLIC SEWER
---	SOILS DELINEATION
---	DRAINAGE LIMITS (SCHOOL)
---	DRAINAGE LIMITS (ROAD)

HS-13 - DRAINAGE AREA DATA				
DRAINAGE AREA	STRUCTURE NO.	AREA (AC.)	'C'	% IMP.
A	I-1	0.94	0.71	76
B	I-2	0.57	0.72	80
C	I-3	0.53	0.73	82
D	I-4	0.50	0.68	74
E	I-5	0.59	0.73	80
F	I-6	0.10	0.32	0
G	I-7	0.19	0.60	72
H	I-8	0.19	0.60	72
I	I-9	0.40	0.62	0
J	I-10	0.41	0.70	0
K	I-11	1.52	0.28	0
L	I-12	0.10	0.24	3
M	I-13	0.12	0.24	0
N	R-1A	0.41	0.66	67
O	R-1B	0.48	0.69	72
P	R-1C	0.32	0.64	64
Q	R-2A	0.59	0.68	72
R	R-2B	0.77	0.65	66
S	R-2C	0.99	0.68	72
T	R-2D	0.41	0.65	66
U	R-3	0.71	0.70	74
V	R-4A	0.65	0.66	68
W	R-4B	0.67	0.68	70
X	R-5	0.56	0.70	74
Y	R-6	1.47	0.70	74
Z	R-7	0.29	0.29	8
TR	TRACK	3.7	0.43	30
BL	BUILDING	3.53	0.85	100

BMP 12 (M-2) (SUBMERGED GRAVEL WETLAND) (MD 378 CLASS 'A')

SOILS LEGEND		
SOIL	NAME	GROUP
** CeC	Chillum loam, 5 to 10 percent slopes, K VALUE = 0.37	C
CrD	Croom and Evesboro soils, 10 to 15 percent slopes, K VALUE = 0.28	C
CrE	Croom and Evesboro soils, 25 to 45 percent slopes, K VALUE = 0.28	C
tbC	Evesboro loamy sand, 2 to 10 percent slopes, K VALUE = 0.17	A
FaA	Fallsington sandy loam, 0 to 2 percent slopes, K VALUE = 0.02	C/D
RuB	Russett and Beltsville soils, 2 to 5 percent slopes, K VALUE = 0.24	C
** RuC	Russett and Beltsville soils, 5 to 10 percent slopes, K VALUE = 0.24	C
SaB	Sassafras loam, 2 to 5 percent slopes, K VALUE = 0.37	B
SfB	Sassafras gravelly sandy loam, 2 to 5 percent slopes, K VALUE = 0.24	B
** SrC	Sassafras and Croom soils, 5 to 10 percent slopes, K VALUE = 0.37	B
UcB	Urban land-Chillum-Beltsville complex, 0 to 5 percent slopes, K VALUE NOT DEFINED	C
WdAb	Woodstown sandy loam, 2 to 5 percent slopes, K VALUE = 0.24	C

** DENOTES HIGHLY ERODIBLE SOILS

FISHER, COLLINS & CARTER, INC.
 CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
 CENTENAL SQUARE OFFICE PARK - 10772 BALTIMORE NATIONAL PIKE
 ELLSWORTH CITY, MARYLAND 21046
 (410) 461-2895

"PROFESSIONAL CERTIFICATION, I HEREBY CERTIFY THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 38386, EXPIRATION DATE: JANUARY 12, 2022."
Stephanie R. Tuite
 STEPHANIE R. TUITE, R.L.A., P.E., LEED AP BC&M
 8/17/20
 DATE

DATE	DESCRIPTION
10-5-20	Director
10/12/20	Chief, Planning and Zoning
10/12/20	Chief, Land Development
10/12/20	Chief, Development Engineering Division

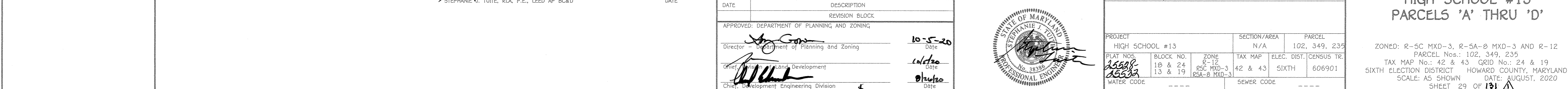
PREPARED FOR
 HOWARD COUNTY PUBLIC SCHOOL SYSTEM
 9020 MENDENHALL COURT
 SUITE 'C'
 COLUMBIA, MARYLAND 21045
 Attention: DANIEL LUBELEY
 410-313-8203

ADDRESS CHART				
PARCEL NO.	STREET ADDRESS			
	8500 RIDGELYS RUN ROAD			
	JESSUP, MARYLAND 20794			

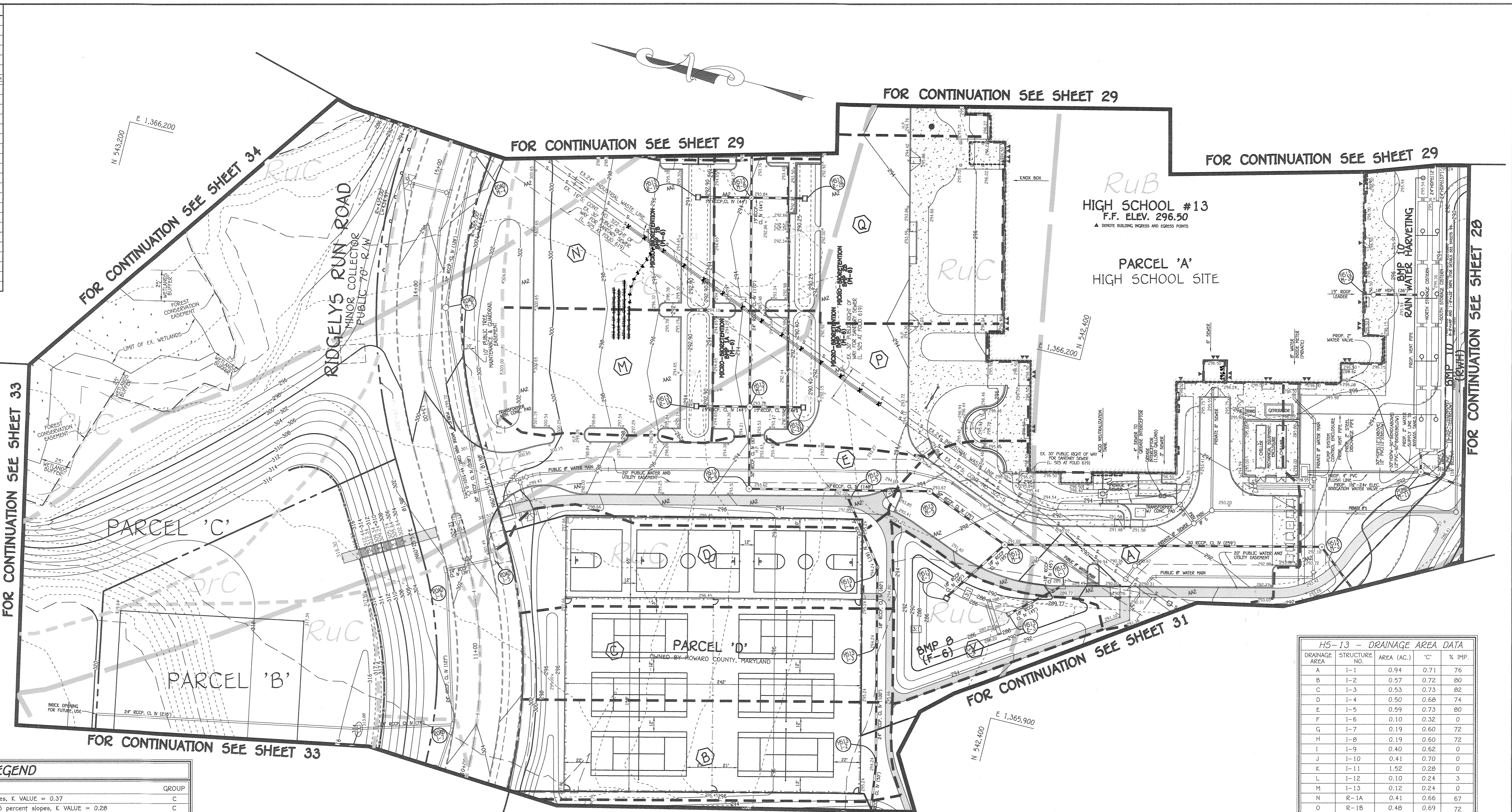
PROJECT	SECTION/AREA	PARCEL
HIGH SCHOOL #13	N/A	102, 349, 235

PLAT NOS.	BLOCK NO.	ZONE	TAX MAP	ELEC. DIST.	CENSUS TR.
10 & 24	10 & 24	R-5C MXD-3	42 & 43	SIXTH	606901
13 & 19	13 & 19	R-5A-B MXD-3			

SOILS AND STORM DRAINAGE AREA MAP
HIGH SCHOOL #13
 PARCELS 'A' THRU 'D'
 ZONED: R-5C MXD-3, R-5A-B MXD-3 AND R-12
 PARCEL Nos.: 102, 349, 235
 TAX MAP No.: 42 & 43 GRID No.: 24 & 19
 SIXTH ELECTION DISTRICT HOWARD COUNTY, MARYLAND
 SCALE: AS SHOWN DATE: AUGUST, 2020
 SHEET 29 OF 31



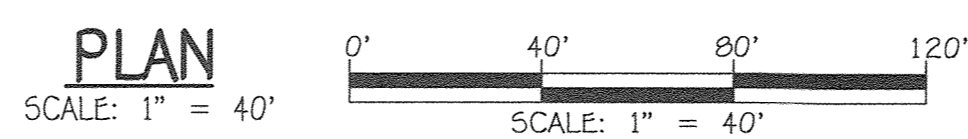
LEGEND	
SYMBOL	DESCRIPTION
---	EXISTING CONTOUR 2' INTERVAL
---	EXISTING CONTOUR 10' INTERVAL
---	EXISTING SAN. SEWER LINE
---	EXISTING STORM DRAIN LINE
---	EXISTING WATER LINE
---	EXISTING UNDERGROUND ELECTRIC LINE
---	EXISTING CABLE/TV LINE
---	EXISTING FIBER OPTIC/CABLE LINE
---	EXISTING GAS LINE
---	EXISTING FENCE
---	PROPOSED FENCE
---	PROPOSED CONTOUR 2' INTERVAL
---	PROPOSED CONTOUR 10' INTERVAL
+	PROPOSED SPOT ELEVATION
---	PROPOSED CONCRETE WALK
---	PROPOSED MACADAM PAVING
---	EXISTING TREE AND SHRUB
---	EXISTING TREELINE
---	PROPOSED TREELINE
---	PROPOSED PUBLIC WATER
---	PROPOSED PRIVATE WATER
---	PROPOSED STORM DRAIN
---	PROPOSED PRIVATE SEWER
---	PROPOSED PUBLIC SEWER
---	SOILS DELINEATION
---	DRAINAGE LIMITS (SCHOOL)
---	DRAINAGE LIMITS (ROAD)



SOILS LEGEND		
SOIL	NAME	GROUP
** CeC	Chillum loam, 5 to 10 percent slopes, K VALUE = 0.37	C
CrD	Croom and Evesboro soils, 10 to 15 percent slopes, K VALUE = 0.20	C
CrE	Croom and Evesboro soils, 25 to 45 percent slopes, K VALUE = 0.20	C
EbC	Evesboro loamy sand, 2 to 10 percent slopes, K VALUE = 0.17	A
FaaA	Fallsington sandy loam, 0 to 2 percent slopes, K VALUE = 0.02	C/D
RuB	Russett and Beltsville soils, 2 to 5 percent slopes, K VALUE = 0.24	C
** RuC	Russett and Beltsville soils, 5 to 10 percent slopes, K VALUE = 0.24	C
SaB	Sassafras loam, 2 to 5 percent slopes, K VALUE = 0.37	B
SjB	Sassafras gravelly sandy loam, 2 to 5 percent slopes, K VALUE = 0.24	B
** SrC	Sassafras and Croom soils, 5 to 10 percent slopes, K VALUE = 0.37	B
UcB	Urban land-Chillum-Beltsville complex, 0 to 5 percent slopes, K VALUE NOT DEFINED	C
WdAB	Woodstown sandy loam, 2 to 5 percent slopes, K VALUE = 0.24	C

** DENOTES HIGHLY ERODIBLE SOILS

H5-13 - DRAINAGE AREA DATA				
DRAINAGE AREA	STRUCTURE NO.	AREA (AC.)	"C"	% IMP.
A	I-1	0.94	0.71	76
B	I-2	0.57	0.72	80
C	I-3	0.53	0.73	82
D	I-4	0.50	0.68	74
E	I-5	0.59	0.73	80
F	I-6	0.10	0.32	0
G	I-7	0.19	0.60	72
H	I-8	0.19	0.60	72
I	I-9	0.40	0.62	0
J	I-10	0.41	0.70	0
K	I-11	1.52	0.28	0
L	I-12	0.10	0.24	3
M	I-13	0.12	0.24	0
N	R-1A	0.41	0.66	67
O	R-1B	0.48	0.69	72
P	R-1C	0.32	0.64	64
Q	R-2A	0.59	0.68	72
R	R-2B	0.77	0.65	66
S	R-2C	0.99	0.68	72
T	R-2D	0.41	0.65	66
U	R-3	0.71	0.70	74
V	R-4A	0.65	0.66	68
W	R-4B	0.67	0.68	70
X	R-5	0.56	0.70	74
Y	R-6	1.47	0.70	74
Z	R-7	0.29	0.29	8
TR	TRACK	3.7	0.43	30
BL	BUILDING	3.53	0.85	100



FISHER, COLLINS & CARTER, INC.
 CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
 CONTINENTAL SQUARE OFFICE PARK - 10272 BALTIMORE NATIONAL PIKE
 ELLETTT CITY, MARYLAND 21142
 (410) 461-7999

*PROFESSIONAL CERTIFICATION. I HEREBY CERTIFY THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 36386, EXPIRATION DATE: JANUARY 12, 2022.

Stephanie J. Tuite
 STEPHANIE J. TUITE, RLA, P.E., LEED AP B+C+D
 8/17/20
 DATE

DATE	DESCRIPTION
9/3/21	REVISED SEWER EASEMENT & ADDED SPOT ELEV.
APPROVED: DEPARTMENT OF PLANNING AND ZONING	
Director	Date
<i>John G. ...</i>	10-5-20
Chief, Division of Land Development	Date
<i>John G. ...</i>	8/26/20
Chief, Development Engineering Division	Date

PREPARED FOR
 HOWARD COUNTY PUBLIC SCHOOL SYSTEM
 9020 MENDENHALL COURT
 SUITE 'C'
 COLUMBIA, MARYLAND 21045
 Attention: DANIEL LUBELEY
 410-313-8203



ADDRESS CHART			
PARCEL NO.	STREET ADDRESS		
-	8500 RIDGELY'S RUN ROAD		
-	JESSUP, MARYLAND 20794		
PROJECT		SECTION/AREA	PARCEL
HIGH SCHOOL #13		N/A	102, 349, 235
PLAT NOS.	BLOCK NO.	ZONE	TAX MAP
25528	18 & 24	R-12	42 & 43
	13 & 19	RSC MXD-3	SIXTH
		RSB-B MXD-3	606901
WATER CODE		SEWER CODE	

SOILS AND STORM DRAINAGE AREA MAP

**HIGH SCHOOL #13
 PARCELS 'A' THRU 'D'**

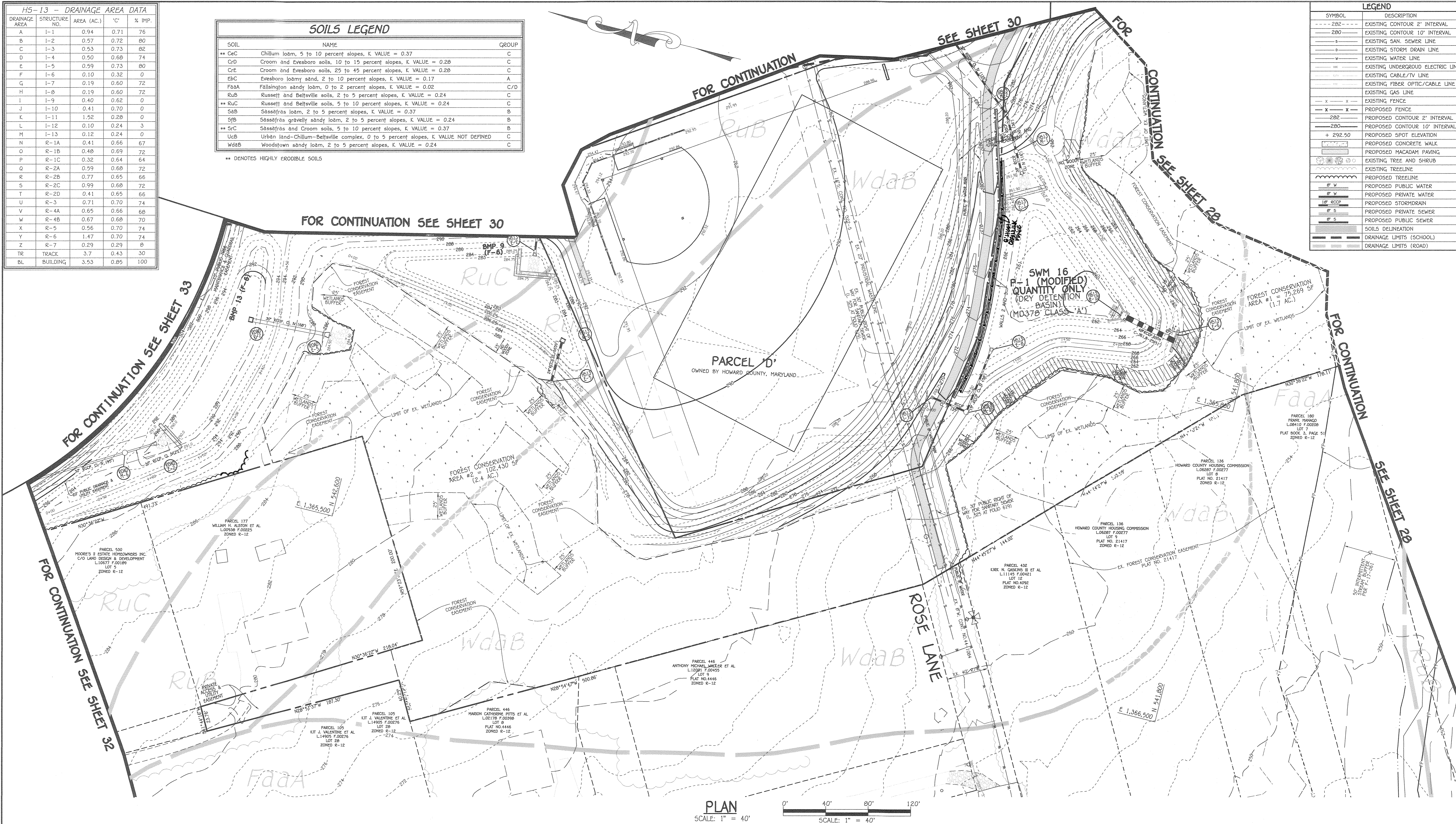
ZONED: R-5C MXD-3, R-5A-B MXD-3 AND R-12
 PARCEL NOS.: 102, 349, 235
 TAX MAP NOS.: 42 & 43 GRID NOS.: 24 & 19
 SIXTH ELECTION DISTRICT - HOWARD COUNTY, MARYLAND
 SCALE: AS SHOWN DATE: AUGUST, 2020
 SHEET 30 OF 131

H5-13 - DRAINAGE AREA DATA				
DRAINAGE AREA	STRUCTURE NO.	AREA (AC.)	'C'	% IMP.
A	I-1	0.94	0.71	76
B	I-2	0.57	0.72	80
C	I-3	0.53	0.73	82
D	I-4	0.50	0.68	74
E	I-5	0.59	0.73	80
F	I-6	0.10	0.32	0
G	I-7	0.19	0.60	72
H	I-8	0.19	0.60	72
I	I-9	0.40	0.62	0
J	I-10	0.41	0.70	0
K	I-11	1.52	0.28	0
L	I-12	0.10	0.24	3
M	I-13	0.12	0.24	0
N	R-1A	0.41	0.66	67
O	R-1B	0.48	0.69	72
P	R-1C	0.32	0.64	64
Q	R-2A	0.59	0.68	72
R	R-2B	0.77	0.65	66
S	R-2C	0.99	0.68	72
T	R-2D	0.41	0.65	66
U	R-3	0.71	0.70	74
V	R-4A	0.65	0.66	68
W	R-4B	0.67	0.68	70
X	R-5	0.56	0.70	74
Y	R-6	1.47	0.70	74
Z	R-7	0.29	0.29	8
TR	TRACK	3.7	0.43	30
BL	BUILDING	3.53	0.85	100

SOILS LEGEND		
SOIL	NAME	GROUP
** CeC	Chillum loam, 5 to 10 percent slopes, K VALUE = 0.37	C
CrD	Croom and Evesboro soils, 10 to 15 percent slopes, K VALUE = 0.28	C
CrE	Croom and Evesboro soils, 25 to 45 percent slopes, K VALUE = 0.28	C
EbC	Evesboro loamy sand, 2 to 10 percent slopes, K VALUE = 0.17	A
FaA	Fallsington sandy loam, 0 to 2 percent slopes, K VALUE = 0.02	C/D
RuB	Russett and Beltsville soils, 2 to 5 percent slopes, K VALUE = 0.24	C
** RuC	Russett and Beltsville soils, 5 to 10 percent slopes, K VALUE = 0.24	C
SaB	Sassafras loam, 2 to 5 percent slopes, K VALUE = 0.37	B
SfB	Sassafras gravelly sandy loam, 2 to 5 percent slopes, K VALUE = 0.24	B
** SrC	Sassafras and Croom soils, 5 to 10 percent slopes, K VALUE = 0.37	B
UcB	Urban land-Chillum-Beltsville complex, 0 to 5 percent slopes, K VALUE NOT DEFINED	C
WdAB	Woodstown sandy loam, 2 to 5 percent slopes, K VALUE = 0.24	C

** DENOTES HIGHLY ERODIBLE SOILS

LEGEND	
SYMBOL	DESCRIPTION
---	EXISTING CONTOUR 2' INTERVAL
---	EXISTING CONTOUR 10' INTERVAL
s	EXISTING SAN. SEWER LINE
---	EXISTING STORM DRAIN LINE
w	EXISTING WATER LINE
---	EXISTING UNDERGROUND ELECTRIC LINE
---	EXISTING CABLE/TV LINE
---	EXISTING FIBER OPTIC/CABLE LINE
---	EXISTING GAS LINE
x-x	EXISTING FENCE
-x-x-	PROPOSED FENCE
---	PROPOSED CONTOUR 2' INTERVAL
---	PROPOSED CONTOUR 10' INTERVAL
+ 292.50	PROPOSED SPOT ELEVATION
---	PROPOSED CONCRETE WALK
---	PROPOSED MACADAM PAVING
---	EXISTING TREE AND SHRUB
---	EXISTING TREELINE
---	PROPOSED TREELINE
8" W	PROPOSED PUBLIC WATER
6" W	PROPOSED PRIVATE WATER
18" RCP	PROPOSED STORMDRAIN
8" S	PROPOSED PRIVATE SEWER
8" S	PROPOSED PUBLIC SEWER
---	SOILS DELINEATION
---	DRAINAGE LIMITS (SCHOOL)
---	DRAINAGE LIMITS (ROAD)



PLAN
SCALE: 1" = 40'

FISHER, COLLINS & CARTER, INC.
CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
CENTENNIAL SQUARE OFFICE PARK - 10272 BALTIMORE NATIONAL PLACE
ELLSWORTH CITY, MARYLAND 21042
(410) 461-2800

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Stephanie J. Tuitt
STEPHANIE J. TUITT, RLA, P.E., LEED AP BC&O
8/17/20
DATE

APPROVED: DEPARTMENT OF PLANNING AND ZONING

John Con...
Director - Department of Planning and Zoning

10-5-20
Date

10/12/20
Date

8-22-20
Date

Chief, Development Engineering Division

PREPARED FOR
HOWARD COUNTY PUBLIC SCHOOL SYSTEM
9020 MENDENHALL COURT
SUITE 'C'
COLUMBIA, MARYLAND 21045
Attention: DANIEL LUBELEY
410-313-8203

STATE OF MARYLAND
REGISTERED PROFESSIONAL ENGINEER
No. 38386

ADDRESS CHART	
PARCEL NO.	STREET ADDRESS
-	8500 RIDGELYS RUN ROAD JESSUP, MARYLAND 20794

PROJECT	SECTION/AREA	PARCEL
HIGH SCHOOL #13	N/A	102, 349, 235

PLAT NO.	BLOCK NO.	ZONE	TAX MAP	ELEC. DIST.	CENSUS TR.
45638	18 & 24	R-5C MXD-3	42 & 43	SIXTH	606901
26538	13 & 19	R-5A-B MXD-3			

WATER CODE: ---
SEWER CODE: ---

SOILS AND STORM DRAINAGE AREA MAP

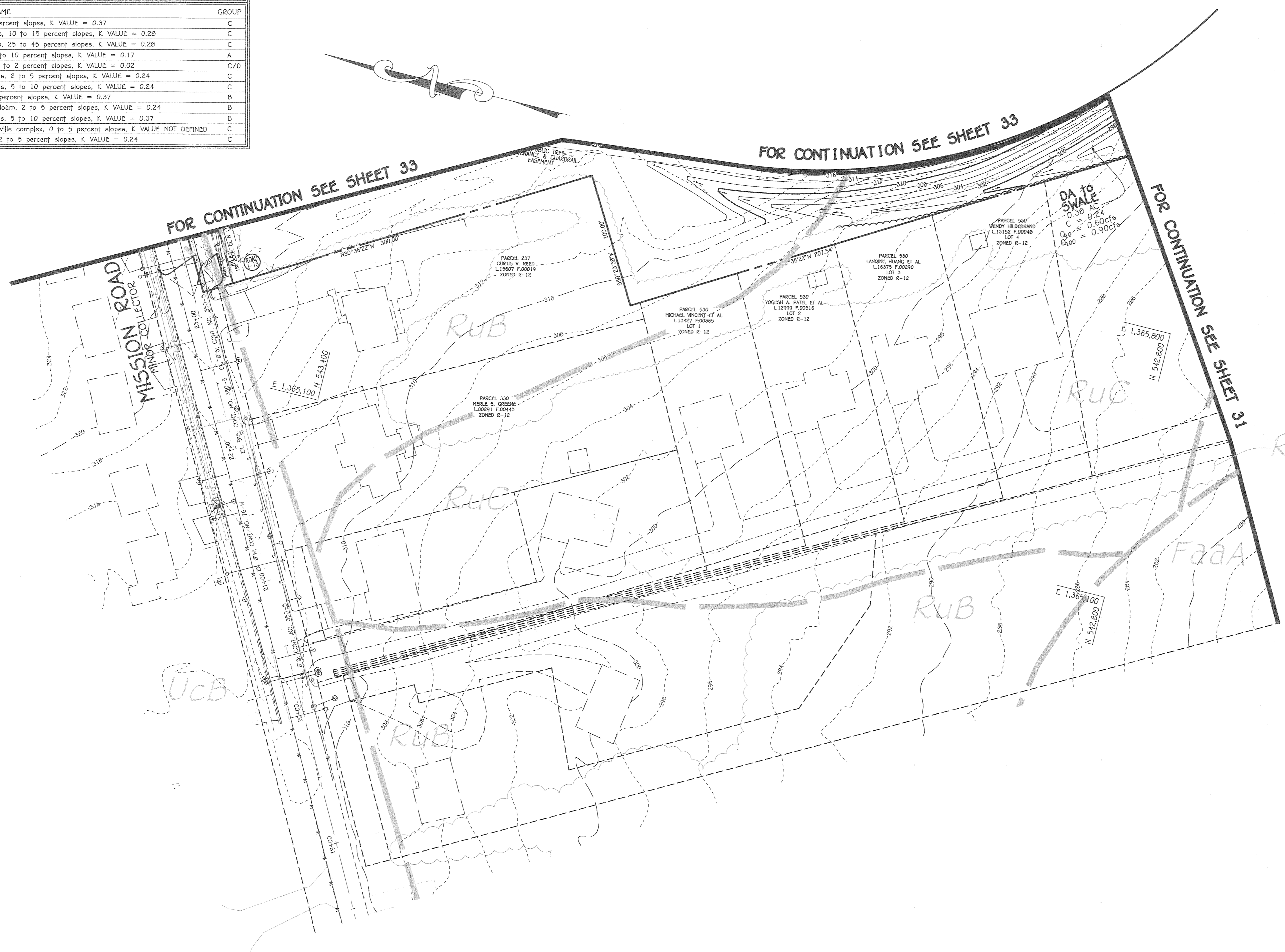
**HIGH SCHOOL #13
PARCELS 'A' THRU 'D'**

ZONED: R-5C MXD-3, R-5A-B MXD-3 AND R-12
PARCEL Nos.: 102, 349, 235
TAX MAP No.: 42 & 43 GRID No.: 24 & 19
SIXTH ELECTION DISTRICT HOWARD COUNTY, MARYLAND
SCALE: AS SHOWN DATE: AUGUST, 2020
SHEET 31 OF 131

SOILS LEGEND		
SOIL	NAME	GROUP
** CeC	Chillum loam, 5 to 10 percent slopes, K VALUE = 0.37	C
CrD	Croom and Evesboro soils, 10 to 15 percent slopes, K VALUE = 0.28	C
CrE	Croom and Evesboro soils, 25 to 45 percent slopes, K VALUE = 0.28	C
EbC	Evesboro loamy sand, 2 to 10 percent slopes, K VALUE = 0.17	A
FaA	Fallington sandy loam, 0 to 2 percent slopes, K VALUE = 0.02	C/D
RuB	Russett and Beltsville soils, 2 to 5 percent slopes, K VALUE = 0.24	C
** RuC	Russett and Beltsville soils, 5 to 10 percent slopes, K VALUE = 0.24	C
SaB	Sassafras loam, 2 to 5 percent slopes, K VALUE = 0.37	B
SfB	Sassafras gravelly sandy loam, 2 to 5 percent slopes, K VALUE = 0.24	B
** SrC	Sassafras and Croom soils, 5 to 10 percent slopes, K VALUE = 0.37	C
UcB	Urban land-Chillum-Beltsville complex, 0 to 5 percent slopes, K VALUE NOT DEFINED	C
WdA	Woodstown sandy loam, 2 to 5 percent slopes, K VALUE = 0.24	C

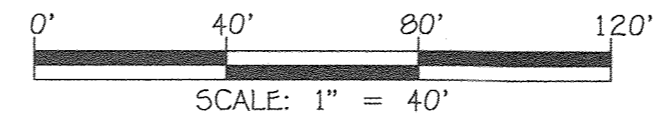
** DENOTES HIGHLY ERODIBLE SOILS

LEGEND	
SYMBOL	DESCRIPTION
--- 2' ---	EXISTING CONTOUR 2' INTERVAL
--- 10' ---	EXISTING CONTOUR 10' INTERVAL
S	EXISTING SAN. SEWER LINE
D	EXISTING STORM DRAIN LINE
W	EXISTING WATER LINE
EE	EXISTING UNDERGROUND ELECTRIC LINE
CTV	EXISTING CABLE/TV LINE
FO	EXISTING FIBER OPTIC/CABLE LINE
GL	EXISTING GAS LINE
X-X	EXISTING FENCE
X-X	PROPOSED FENCE
--- 2' ---	PROPOSED CONTOUR 2' INTERVAL
--- 10' ---	PROPOSED CONTOUR 10' INTERVAL
+ 292.50	PROPOSED SPOT ELEVATION
[Symbol]	PROPOSED CONCRETE WALK
[Symbol]	PROPOSED MACADAM PAVING
[Symbol]	EXISTING TREE AND SHRUB
[Symbol]	EXISTING TREELINE
[Symbol]	PROPOSED TREELINE
P W	PROPOSED PUBLIC WATER
P W	PROPOSED PRIVATE WATER
[Symbol]	PROPOSED STORMDRAIN
P S	PROPOSED PRIVATE SEWER
P S	PROPOSED PUBLIC SEWER
[Symbol]	SOILS DELINEATION
[Symbol]	DRAINAGE LIMITS (SCHOOL)
[Symbol]	DRAINAGE LIMITS (ROAD)



H5-13 - DRAINAGE AREA DATA				
DRAINAGE AREA	STRUCTURE NO.	AREA (AC.)	'C'	% IMP.
A	I-1	0.94	0.71	76
B	I-2	0.57	0.72	80
C	I-3	0.53	0.73	82
D	I-4	0.50	0.68	74
E	I-5	0.59	0.73	80
F	I-6	0.10	0.32	0
G	I-7	0.19	0.60	72
H	I-8	0.19	0.60	72
I	I-9	0.40	0.62	0
J	I-10	0.41	0.70	0
K	I-11	1.52	0.28	0
L	I-12	0.10	0.24	3
M	I-13	0.12	0.24	0
N	R-1A	0.41	0.66	67
O	R-1B	0.48	0.69	72
P	R-1C	0.32	0.64	64
Q	R-2A	0.59	0.68	72
R	R-2B	0.77	0.65	66
S	R-2C	0.99	0.68	72
T	R-2D	0.41	0.65	66
U	R-3	0.71	0.70	74
V	R-4A	0.65	0.66	68
W	R-4B	0.67	0.68	70
X	R-5	0.56	0.70	74
Y	R-6	1.47	0.70	74
Z	R-7	0.29	0.29	8
TR	TRACK	3.7	0.43	30
BL	BUILDING	3.53	0.85	100

PLAN
SCALE: 1" = 40'



FISHER, COLLINS & CARTER, INC.
CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
CENTENNIAL SQUARE OFFICE PARK - 10272 BALTIMORE NATIONAL PIKE
ELLSWORTH CITY, MARYLAND 21042
(410) 461-2000

"PROFESSIONAL CERTIFICATION, I HEREBY CERTIFY THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 38386, EXPIRATION DATE: JANUARY 12, 2022."

Stephanie J. Tuite
STEPHANIE J. TUITE, RIA, P.E., LEED AP BC&O
8/17/20
DATE

DATE	DESCRIPTION	REVISION BLOCK
10-5-20		
11/10/20		
8-26-20		

APPROVED: DEPARTMENT OF PLANNING AND ZONING
Director - Department of Planning and Zoning
Chief, Division of Land Development
Chief, Development Engineering Division

PREPARED FOR
HOWARD COUNTY PUBLIC SCHOOL SYSTEM
9020 MENDENHALL COURT
SUITE 'C'
COLUMBIA, MARYLAND 21045
Attention: DANIEL LUBELEY
410-313-8203



ADDRESS CHART	
PARCEL NO.	STREET ADDRESS
	8500 RIDGELYS RUN ROAD JESSUP, MARYLAND 20794

PROJECT	SECTION/AREA	PARCEL
HIGH SCHOOL #13	N/A	102, 349, 235

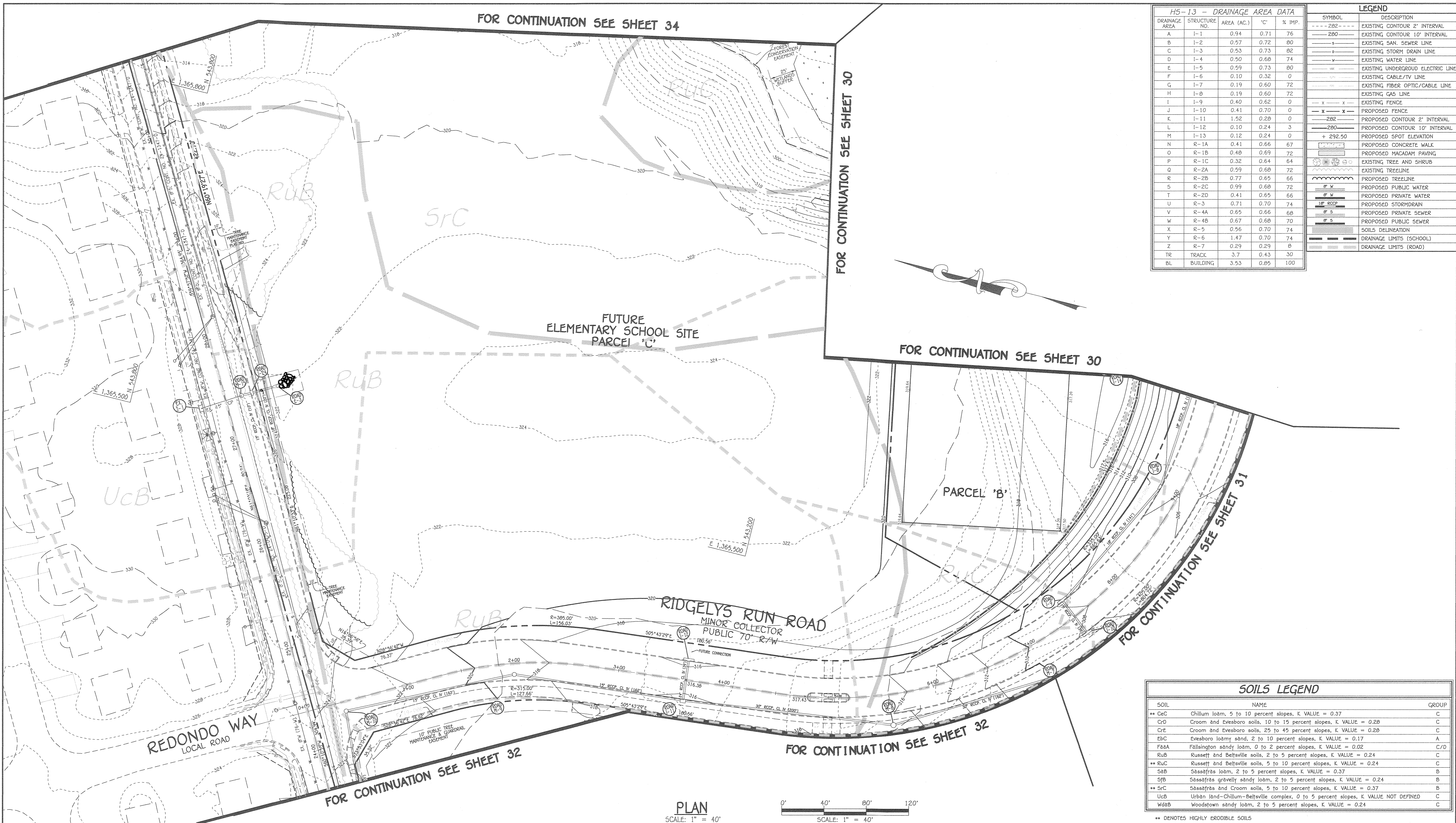
PLAT NOS.	BLOCK NO.	ZONE	TAX MAP	ELEC. DIST.	CENSUS TR.
85688 85638	18 & 24 13 & 19	R-12 RSC MXD-3 RSA-8 MXD-3	42 & 43	SIXTH	606901

WATER CODE: ---
SEWER CODE: ---

SOILS AND STORM DRAINAGE AREA MAP

HIGH SCHOOL #13
PARCELS 'A' THRU 'D'

ZONED: R-SC MXD-3, R-5A-8 MXD-3 AND R-12
PARCEL Nos.: 102, 349, 235
TAX MAP No.: 42 & 43 GRID No.: 24 & 19
SIXTH ELECTION DISTRICT HOWARD COUNTY, MARYLAND
SCALE: AS SHOWN DATE: AUGUST, 2020
SHEET 32 OF 131



HS-13 - DRAINAGE AREA DATA

DRAINAGE AREA	STRUCTURE NO.	AREA (AC.)	'C'	% IMP.
A	I-1	0.94	0.71	76
B	I-2	0.57	0.72	80
C	I-3	0.53	0.73	82
D	I-4	0.50	0.68	74
E	I-5	0.59	0.73	80
F	I-6	0.10	0.32	0
G	I-7	0.19	0.60	72
H	I-8	0.19	0.60	72
I	I-9	0.40	0.62	0
J	I-10	0.41	0.70	0
K	I-11	1.52	0.28	0
L	I-12	0.10	0.24	3
M	I-13	0.12	0.24	0
N	R-1A	0.41	0.66	67
O	R-1B	0.48	0.69	72
P	R-1C	0.32	0.64	64
Q	R-2A	0.59	0.68	72
R	R-2B	0.77	0.65	66
S	R-2C	0.99	0.68	72
T	R-2D	0.41	0.65	66
U	R-3	0.71	0.70	74
V	R-4A	0.65	0.66	68
W	R-4B	0.67	0.68	70
X	R-5	0.56	0.70	74
Y	R-6	1.47	0.70	74
Z	R-7	0.29	0.29	8
TR	TRACK	3.7	0.43	30
BL	BUILDING	3.53	0.85	100

LEGEND

SYMBOL	DESCRIPTION
--- 282 ---	EXISTING CONTOUR 2' INTERVAL
--- 280 ---	EXISTING CONTOUR 10' INTERVAL
---	EXISTING SAN. SEWER LINE
---	EXISTING STORM DRAIN LINE
---	EXISTING WATER LINE
---	EXISTING UNDERGROUND ELECTRIC LINE
---	EXISTING CABLE/TV LINE
---	EXISTING FIBER OPTIC/CABLE LINE
---	EXISTING GAS LINE
---	EXISTING FENCE
--- X --- X ---	PROPOSED FENCE
--- 282 ---	PROPOSED CONTOUR 2' INTERVAL
--- 280 ---	PROPOSED CONTOUR 10' INTERVAL
+ 292.50	PROPOSED SPOT ELEVATION
---	PROPOSED CONCRETE WALK
---	PROPOSED MACADAM PAVING
---	EXISTING TREE AND SHRUB
---	EXISTING TREELINE
---	PROPOSED TREELINE
FW	PROPOSED PUBLIC WATER
FW	PROPOSED PRIVATE WATER
18" RSCP	PROPOSED STORMDRAIN
8" S	PROPOSED PRIVATE SEWER
8" S	PROPOSED PUBLIC SEWER
---	SOILS DELINEATION
---	DRAINAGE LIMITS (SCHOOL)
---	DRAINAGE LIMITS (ROAD)

SOILS LEGEND

SOIL	NAME	GROUP
** CeC	Chillum loam, 5 to 10 percent slopes, K VALUE = 0.37	C
CrD	Croom and Evesboro soils, 10 to 15 percent slopes, K VALUE = 0.28	C
CrE	Croom and Evesboro soils, 25 to 45 percent slopes, K VALUE = 0.28	C
EbC	Evesboro loamy sand, 2 to 10 percent slopes, K VALUE = 0.17	A
FaA	Fallsington sandy loam, 0 to 2 percent slopes, K VALUE = 0.02	C/D
RuB	Russett and Beltsville soils, 2 to 5 percent slopes, K VALUE = 0.24	C
** RuC	Russett and Beltsville soils, 5 to 10 percent slopes, K VALUE = 0.24	C
SaB	Sassafras loam, 2 to 5 percent slopes, K VALUE = 0.37	B
SfB	Sassafras gravelly sandy loam, 2 to 5 percent slopes, K VALUE = 0.24	B
** SrC	Sassafras and Croom soils, 5 to 10 percent slopes, K VALUE = 0.37	B
UcB	Urban land-Chillum-Beltsville complex, 0 to 5 percent slopes, K VALUE NOT DEFINED	C
Wdab	Woodstown sandy loam, 2 to 5 percent slopes, K VALUE = 0.24	C

** DENOTES HIGHLY ERODIBLE SOILS

PLAN
SCALE: 1" = 40'

FISHER, COLLINS & CARTER, INC.
CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
CENTENNIAL SQUARE OFFICE PARK - 10272 BALTIMORE NATIONAL PIKE
ELLCOTT CITY, MARYLAND 21042
(410) 481 - 2009

"PROFESSIONAL CERTIFICATION. I HEREBY CERTIFY THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 38366, EXPIRATION DATE: JANUARY 12, 2022."
Stephanie J. Tuite
STEPHANIE J. TUITE, RIA, P.E., LEED AP BC&D
8/17/20
DATE

APPROVED: DEPARTMENT OF PLANNING AND ZONING
Director - Department of Planning and Zoning
Chief, Development Engineering Division
8-5-20
Date
8-26-20
Date

PREPARED FOR
HOWARD COUNTY PUBLIC SCHOOL SYSTEM
9020 MENDENHALL COURT
SUITE 'C'
COLUMBIA, MARYLAND 21045
Attention: DANIEL LUBBELEY
410-313-8203

ADDRESS CHART

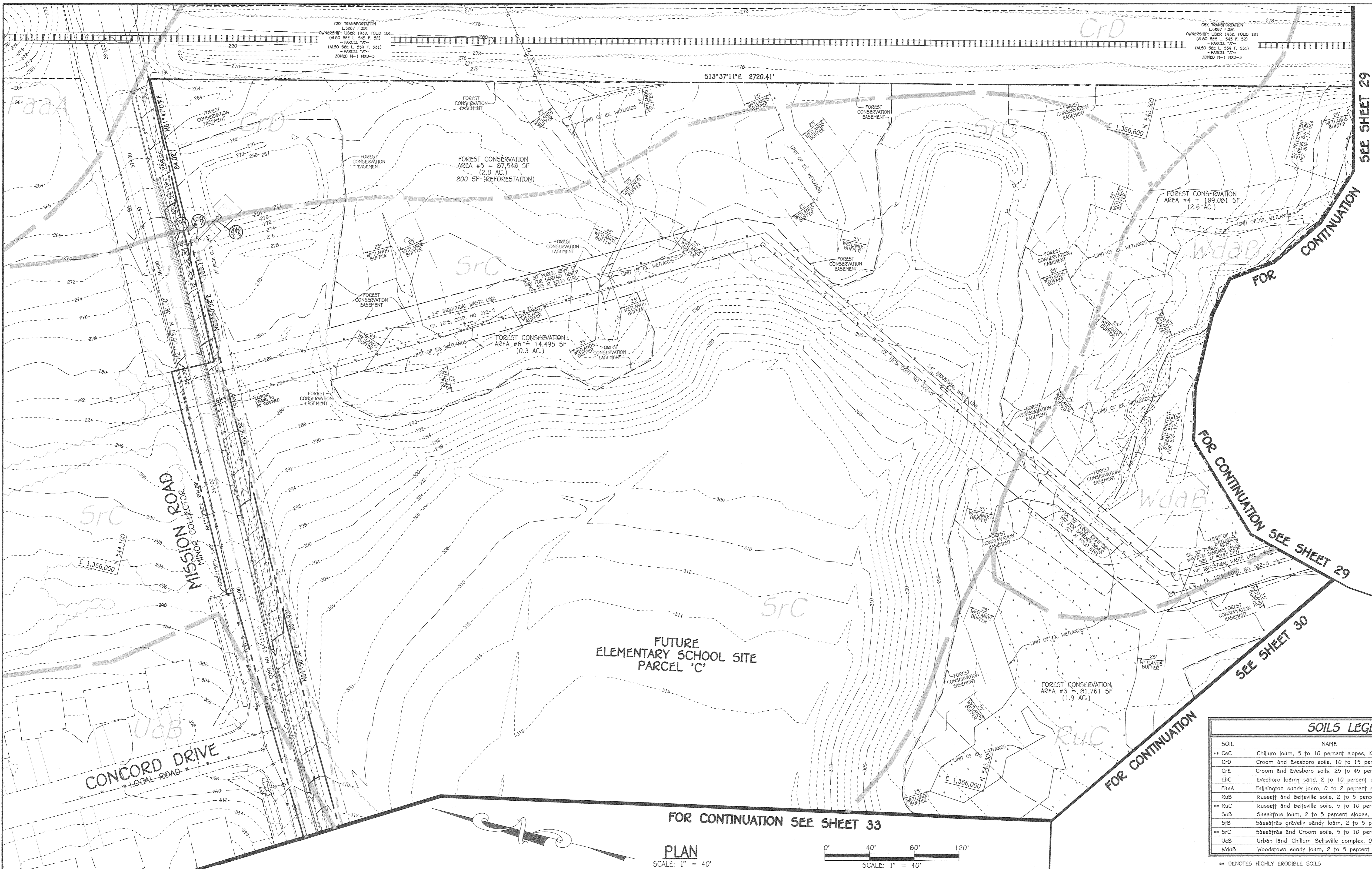
PARCEL NO.	STREET ADDRESS
-	8500 RIDGELY'S RUN ROAD JESSUP, MARYLAND 20794

PROJECT: HIGH SCHOOL #13
SECTION/AREA: N/A
PARCEL: 102, 349, 235
PLAT NOS: 25548, 25549, 25532
BLOCK NO.: 18 & 24
ZONE: R-12, R-5C MXD-3, R-5A-B MXD-3
TAX MAP: 42 & 43
ELEC. DIST.: SIXTH
CENSUS TR.: 606901
WATER CODE: ---
SEWER CODE: ---

SOILS AND STORM DRAINAGE AREA MAP

HIGH SCHOOL #13 PARCELS 'A' THRU 'D'

ZONED: R-5C MXD-3, R-5A-B MXD-3 AND R-12
PARCEL Nos.: 102, 349, 235
TAX MAP No.: 42 & 43 GRID No.: 24 & 19
SIXTH ELECTION DISTRICT HOWARD COUNTY, MARYLAND
SCALE: AS SHOWN DATE: AUGUST, 2020
SHEET 33 OF 131



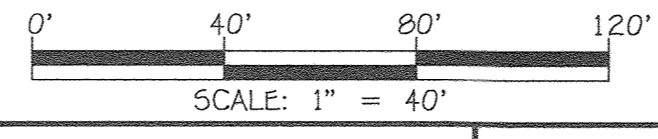
LEGEND	
SYMBOL	DESCRIPTION
--- 282 ---	EXISTING CONTOUR 2' INTERVAL
--- 280 ---	EXISTING CONTOUR 10' INTERVAL
---	EXISTING SAN. SEWER LINE
---	EXISTING STORM DRAIN LINE
---	EXISTING WATER LINE
---	EXISTING UNDERGROUND ELECTRIC LINE
---	EXISTING CABLE/TV LINE
---	EXISTING FIBER OPTIC/CABLE LINE
---	EXISTING GAS LINE
---	EXISTING FENCE
-x-x-	PROPOSED FENCE
--- 282 ---	PROPOSED CONTOUR 2' INTERVAL
--- 280 ---	PROPOSED CONTOUR 10' INTERVAL
+ 292.50	PROPOSED SPOT ELEVATION
---	PROPOSED CONCRETE WALK
---	PROPOSED MACADAM PAVING
---	EXISTING TREE AND SHRUB
---	EXISTING TREELINE
---	PROPOSED TREELINE
W	PROPOSED PUBLIC WATER
W	PROPOSED PRIVATE WATER
IF RCP	PROPOSED STORM DRAIN
S	PROPOSED PRIVATE SEWER
S	PROPOSED PUBLIC SEWER
---	SOILS DELINEATION
---	DRAINAGE LIMITS (SCHOOL)
---	DRAINAGE LIMITS (ROAD)

HS-13 - DRAINAGE AREA DATA				
DRAINAGE AREA	STRUCTURE NO.	AREA (AC.)	'C'	% IMP.
A	I-1	0.94	0.71	76
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G	I-7	0.19	0.60	72
H	I-8	0.19	0.60	72
I	I-9	0.40	0.62	0
J	I-10	0.41	0.70	0
K	I-11	1.52	0.28	0
L	I-12	0.10	0.24	3
M	I-13	0.12	0.24	0
N	R-1A	0.41	0.66	67
O	R-1B	0.48	0.69	72
P	R-1C	0.32	0.64	64
Q	R-2A	0.59	0.68	72
R	R-2B	0.77	0.65	66
S	R-2C	0.99	0.68	72
T	R-2D	0.41	0.65	66
U	R-3	0.71	0.70	74
V	R-4A	0.65	0.66	66
W	R-4B	0.67	0.68	70
X	R-5	0.56	0.70	74
Y	R-6	1.47	0.70	74
Z	R-7	0.29	0.29	0
TR	TRACK	3.7	0.43	30
BL	BUILDING	3.53	0.85	100

SOILS LEGEND		
SOIL	NAME	GROUP
** CeC	Chillum loam, 5 to 10 percent slopes, K VALUE = 0.37	C
CrD	Croom and Evesboro soils, 10 to 15 percent slopes, K VALUE = 0.28	C
CrE	Croom and Evesboro soils, 25 to 45 percent slopes, K VALUE = 0.28	C
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FaA	Fallsington sandy loam, 0 to 2 percent slopes, K VALUE = 0.02	C/D
RuB	Russett and Beltsville soils, 2 to 5 percent slopes, K VALUE = 0.24	C
** RuC	Russett and Beltsville soils, 5 to 10 percent slopes, K VALUE = 0.24	C
SaB	Sassafras loam, 2 to 5 percent slopes, K VALUE = 0.37	B
SfB	Sassafras gravelly sandy loam, 2 to 5 percent slopes, K VALUE = 0.24	B
** ScC	Sassafras and Croom soils, 5 to 10 percent slopes, K VALUE = 0.37	B
UcB	Urban land-Chillum-Beltsville complex, 0 to 5 percent slopes, K VALUE NOT DEFINED	C
WdAb	Woodtown sandy loam, 2 to 5 percent slopes, K VALUE = 0.24	C

** DENOTES HIGHLY ERODIBLE SOILS

PLAN
SCALE: 1" = 40'



FISHER, COLLINS & CARTER, INC.
CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
CENTENNIAL SQUARE OFFICE PARK - 10272 BALTIMORE NATIONAL PIKE
ELLICOTT CITY, MARYLAND 21042
(410) 461-2999

"PROFESSIONAL CERTIFICATION. I HEREBY CERTIFY THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 38386, EXPIRATION DATE: JANUARY 12, 2022."

Stephanie Tuite
STEPHANIE TUITE, RLA, P.E., LEED AP-BC&D
DATE: 8/17/20

DATE	DESCRIPTION
10-5-20	Date
10/12/20	Date
8-28-20	Date

APPROVED: DEPARTMENT OF PLANNING AND ZONING
Director, Department of Planning and Zoning
Chief, Division of Land Development
Chief, Development Engineering Division

PREPARED FOR
HOWARD COUNTY PUBLIC SCHOOL SYSTEM
9020 MENDENHALL COURT
SUITE 'C'
COLUMBIA, MARYLAND 21045
Attention: DANIEL LUBBELEY
410-313-8203

ADDRESS CHART	
PARCEL NO.	STREET ADDRESS
	8500 RIDGELYS RUN ROAD JESSUP, MARYLAND 20794

PROJECT	SECTION/AREA	PARCEL
HIGH SCHOOL #13	N/A	102, 349, 235

PLAT NO.	BLOCK NO.	ZONE	TAX MAP	ELEC. DIST.	CENSUS TR.
26628-13	10 & 24	R-12	42 & 43	SIXTH	606901
26632	13 & 19	RSC MXD-3	42 & 43	SIXTH	606901

SOILS AND STORM DRAINAGE AREA MAP

HIGH SCHOOL #13 PARCELS 'A' THRU 'D'

ZONED: R-5C MXD-3, R-5A-B MXD-3 AND R-12
PARCEL Nos.: 102, 349, 235
TAX MAP No.: 42 & 43 GRID No.: 24 & 19
SIXTH ELECTION DISTRICT HOWARD COUNTY, MARYLAND
SCALE: AS SHOWN DATE: AUGUST, 2020
SHEET 34 OF 131

LEGEND	
SYMBOL	DESCRIPTION
---	EXISTING CONTOUR 2' INTERVAL
---	EXISTING CONTOUR 10' INTERVAL
---	EXISTING SAN. SEWER LINE
---	EXISTING STORM DRAIN LINE
---	EXISTING WATER LINE
---	EXISTING UNDERGROUND ELECTRIC LINE
---	EXISTING CABLE/TV LINE
---	EXISTING FIBER OPTIC/CABLE LINE
---	EXISTING GAS LINE
---	EXISTING FENCE
---	PROPOSED FENCE
---	PROPOSED CONTOUR 2' INTERVAL
---	PROPOSED CONTOUR 10' INTERVAL
---	PROPOSED CONCRETE WALK
---	PROPOSED MACADAM PAVING
---	EXISTING TREELINE
---	PROPOSED TREELINE
---	PROPOSED PUBLIC WATER
---	PROPOSED PRIVATE WATER
---	PROPOSED STORM DRAIN
---	PROPOSED PRIVATE SEWER
---	PROPOSED PUBLIC SEWER
---	FOREST CONSERVATION SIGNAGE

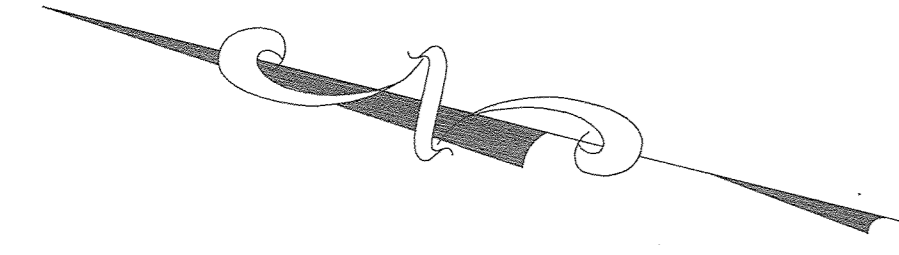
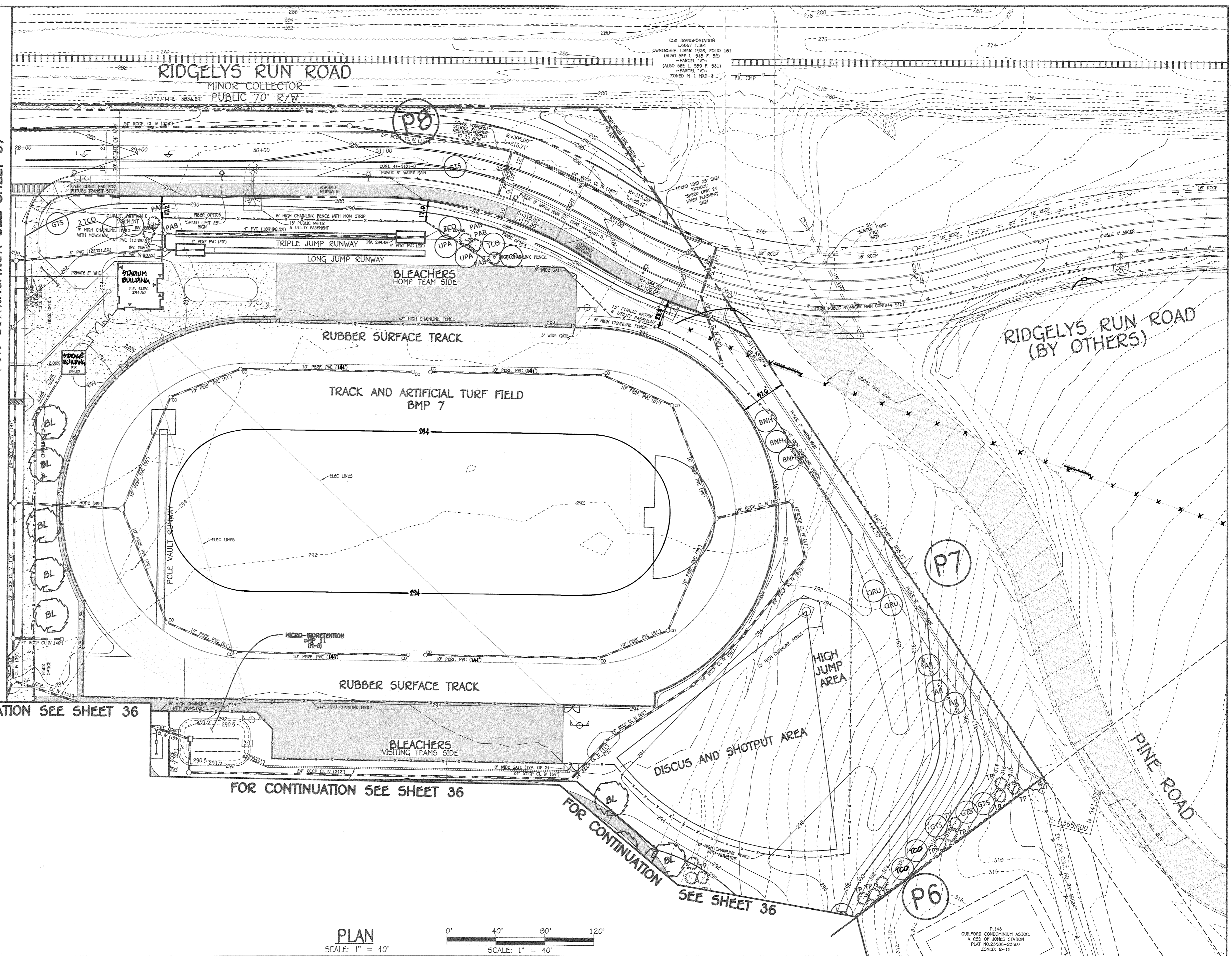
N 542,200
E 1,366,900

FOR CONTINUATION SEE SHEET 37

FOR CONTINUATION SEE SHEET 36

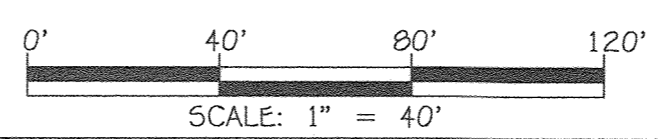
FOR CONTINUATION SEE SHEET 36

FOR CONTINUATION SEE SHEET 36



N 542,200
E 1,366,600

PLAN
SCALE: 1" = 40'



FISHER, COLLINS & CARTER, INC.
CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
CENTENNIAL SQUARE OFFICE PARK - 10272 BALTIMORE NATIONAL PIKE
ELLSWORTH CITY, MARYLAND 21044
(410) 481-2222

"PROFESSIONAL CERTIFICATION. I HEREBY CERTIFY THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED REGISTERED LANDSCAPE ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 3038, EXPIRATION DATE: APRIL 17, 2022."
Stephan J. Tuite
STEPHAN J. TUITE, RLA, P.E., LEED AP BC&D
8/17/20
DATE

DATE	DESCRIPTION
3/9/21	REVISED 2 PCD LINES TO TCO, STRENGTHENED LINES, ADJUSTED BLEACHERS, FIBER OPTIC & ARBOR PLACEMENTS
APPROVED: DEPARTMENT OF PLANNING AND ZONING	
<i>Stephan Tuite</i>	10-5-20 Date
Director, Department of Planning and Zoning	
<i>Stephan Tuite</i>	10/17/20 Date
Chief, Division of Land Development	
<i>Stephan Tuite</i>	8-26-20 Date
Chief, Development Engineering Division	

PREPARED FOR
HOWARD COUNTY PUBLIC SCHOOL SYSTEM
9020 MENDENHALL COURT
SUITE 'C'
COLUMBIA, MARYLAND 21045
Attention: DANIEL LUBELEY
410-313-8203



ADDRESS CHART	
PARCEL NO.	STREET ADDRESS
-	8500 RIDGELY'S RUN ROAD JESSUP, MARYLAND 20794
PROJECT	
HIGH SCHOOL #13	SECTION/AREA N/A
102, 349, 235	PARCEL
PLAT INFO	
BLOCK NO. 18 & 24 13 & 19	ZONE R-12 RSC MXD-3 RSA-2 MXD-3
TAX MAP 42 & 43	ELEC. DIST. CENSUS TR. SIXTH
606901	PARCEL
WATER CODE	
---	SEWER CODE ---

LANDSCAPE AND FOREST CONSERVATION PLAN

**HIGH SCHOOL #13
PARCELS 'A' THRU 'D'**

ZONED: R-5C MXD-3, R-5A-8 MXD-3 AND R-12
PARCEL Nos.: 102, 349, 235
TAX MAP No.: 42 & 43 - GRID No.: 24 & 19
SIXTH ELECTION DISTRICT HOWARD COUNTY, MARYLAND
SCALE: AS SHOWN DATE: AUGUST, 2020
SHEET 35 OF 131

FOR CONTINUATION SEE SHEET 37

FOR CONTINUATION SEE SHEET 35

FOR CONTINUATION SEE SHEET 35

FOR CONTINUATION SEE SHEET 35

FOR CONTINUATION SEE SHEET 38

OUTDOOR CLASSROOM
PARCEL 'D'
OWNED BY HOWARD COUNTY, MARYLAND
FIELD HOCKEY FIELD
(300' x 180')

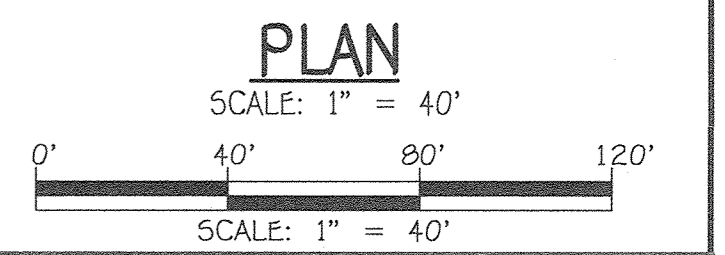
BASEBALL FIELD
(325')

PARCEL 'D'
OWNED BY HOWARD COUNTY, MARYLAND

SWM 15
P-1 (MODIFIED)
QUANTITY ONLY
(DRY DETENTION BASIN)
(MD378 CLASS 'A')

HAZEL WAY

LEGEND	
SYMBOL	DESCRIPTION
--- 2' ---	EXISTING CONTOUR 2' INTERVAL
--- 10' ---	EXISTING CONTOUR 10' INTERVAL
---	EXISTING SAN. SEWER LINE
---	EXISTING STORM DRAIN LINE
---	EXISTING WATER LINE
---	EXISTING UNDERGROUND ELECTRIC LINE
---	EXISTING CABLE/TV LINE
---	EXISTING FIBER OPTIC/CABLE LINE
---	EXISTING GAS LINE
---	EXISTING FENCE
---	EXISTING FENCE
---	PROPOSED FENCE
---	PROPOSED CONTOUR 2' INTERVAL
---	PROPOSED CONTOUR 10' INTERVAL
---	PROPOSED CONCRETE WALK
---	EXISTING TREELINE
---	PROPOSED TREELINE
---	PROPOSED PUBLIC WATER
---	PROPOSED PRIVATE WATER
---	PROPOSED STORMDRAIN
---	PROPOSED PRIVATE SEWER
---	PROPOSED PUBLIC SEWER
▲	FOREST CONSERVATION SIGNAGE



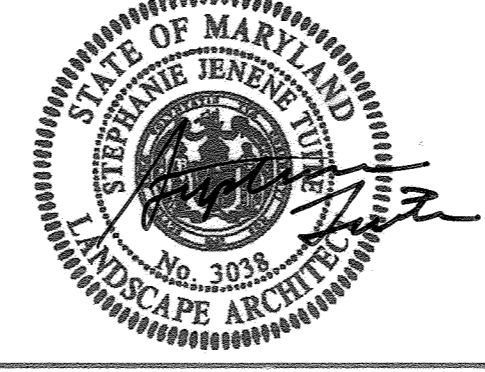
FISHER, COLLINS & CARTER, INC.
CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
CENTRAL SQUARE OFFICE PARK - 10272 BALTIMORE NATIONAL PIKE
ELLSWORTH CITY, MARYLAND 21042
(410) 461-2895

"PROFESSIONAL CERTIFICATION. I HEREBY CERTIFY THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND THAT I AM A DULY LICENSED REGISTERED LANDSCAPE ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 3038, EXPIRATION DATE: APRIL 17, 2022."

Stephanie J. Tuitt
STEPHANIE J. TUITT, RLA, P.E., LEED AP BC&D
9/17/20
DATE

DATE	DESCRIPTION
3/9/21	REVISION 2 TO 100 WORKS TO 100
APPROVED: DEPARTMENT OF PLANNING AND ZONING	
<i>Shirley G...</i>	10-5-20 Date
Director, Department of Planning and Zoning	
<i>...</i>	10/17/20 Date
Chief, Department of Land Development	
<i>...</i>	9/21/20 Date
Chief, Development Engineering Division	

PREPARED FOR
HOWARD COUNTY PUBLIC SCHOOL SYSTEM
9020 MENDENHALL COURT
SUITE 'C'
COLUMBIA, MARYLAND 21045
Attention: DANIEL LUBELEY
410-313-8203



ADDRESS CHART	
PARCEL NO.	STREET ADDRESS
-	8500 RIDGELYS RUN ROAD JESSUP, MARYLAND 20794

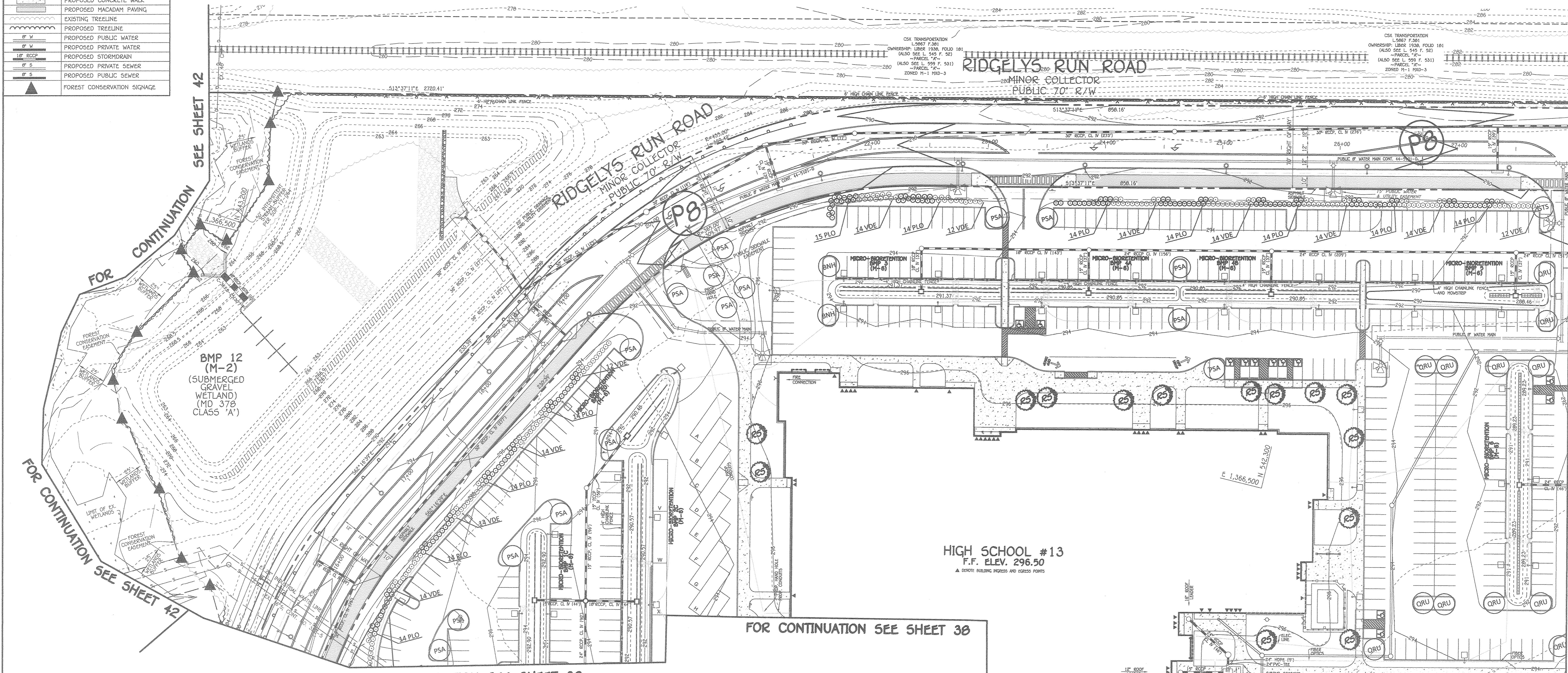
PROJECT	SECTION/AREA	PARCEL
HIGH SCHOOL #13	N/A	102, 349, 235
PLAT NO. 25532	BLOCK NO. 18 & 24	ZONE R-12
	13 & 19	RSC MXD-3
		(RSC-B, MXD-3)
TAX MAP No. 42 & 43	ELEC. DIST. SIXTH	CENSUS TR. 606901
SEWER CODE		

LANDSCAPE AND FOREST CONSERVATION PLAN

HIGH SCHOOL #13
PARCELS 'A' THRU 'D'

ZONED: R-SC MXD-3, R-5A-B MXD-3 AND R-12
PARCEL Nos.: 102, 349, 235
TAX MAP No.: 42 & 43 GRID No.: 24 & 19
SIXTH ELECTION DISTRICT HOWARD COUNTY, MARYLAND
SCALE: AS SHOWN DATE: AUGUST, 2020
SHEET 36 OF 131

LEGEND	
SYMBOL	DESCRIPTION
--- 2' ---	EXISTING CONTOUR 2' INTERVAL
--- 10' ---	EXISTING CONTOUR 10' INTERVAL
S	EXISTING SAN. SEWER LINE
D	EXISTING STORM DRAIN LINE
W	EXISTING WATER LINE
---	EXISTING UNDERGROUND ELECTRIC LINE
---	EXISTING CABLE/TV LINE
---	EXISTING FIBER OPTIC/CABLE LINE
---	EXISTING GAS LINE
X	EXISTING FENCE
X X	PROPOSED FENCE
--- 2' ---	PROPOSED CONTOUR 2' INTERVAL
--- 10' ---	PROPOSED CONTOUR 10' INTERVAL
---	PROPOSED CONCRETE WALK
---	PROPOSED MACADAM PAVING
---	EXISTING TREELINE
---	PROPOSED TREELINE
P W	PROPOSED PUBLIC WATER
P W	PROPOSED PRIVATE WATER
18" RCP	PROPOSED STORM DRAIN
P 5	PROPOSED PRIVATE SEWER
P 5	PROPOSED PUBLIC SEWER
▲	FOREST CONSERVATION SIGNAGE



PLAN
SCALE: 1" = 40'

FISHER, COLLINS & CARTER, INC.
CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
CENTENNIAL SQUARE OFFICE, PARK - 10272 BALTIMORE NATIONAL PIKE
ELLSWORTH CITY, MARYLAND 21142
(410) 461-2995

"PROFESSIONAL CERTIFICATION, I HEREBY CERTIFY THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED REGISTERED LANDSCAPE ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 3038, EXPIRATION DATE: APRIL 17, 2022."
Stephanie J. Tuite
STEPHANIE J. TUITE, RLA, P.E., LEED AP BC&D
8/17/20
DATE

DATE	DESCRIPTION
10-5-20	Date
8-28-21	Date

APPROVED: DEPARTMENT OF PLANNING AND ZONING
Director - Department of Planning and Zoning
Chief, Land Development
Chief, Development Engineering Division

PREPARED FOR
HOWARD COUNTY PUBLIC SCHOOL SYSTEM
9020 MENDENHALL COURT
SUITE 'C'
COLUMBIA, MARYLAND 21045
Attention: DANIEL LUBELEY
410-313-0203

STATE OF MARYLAND
STEPHANIE J. TUITE
LANDSCAPE ARCHITECT
No. 3038

ADDRESS CHART	
PARCEL NO.	STREET ADDRESS
	8500 RIDGELY'S RUN ROAD JESSUP, MARYLAND 20794

PROJECT	SECTION/AREA	PARCEL
HIGH SCHOOL #13	N/A	102, 349, 235

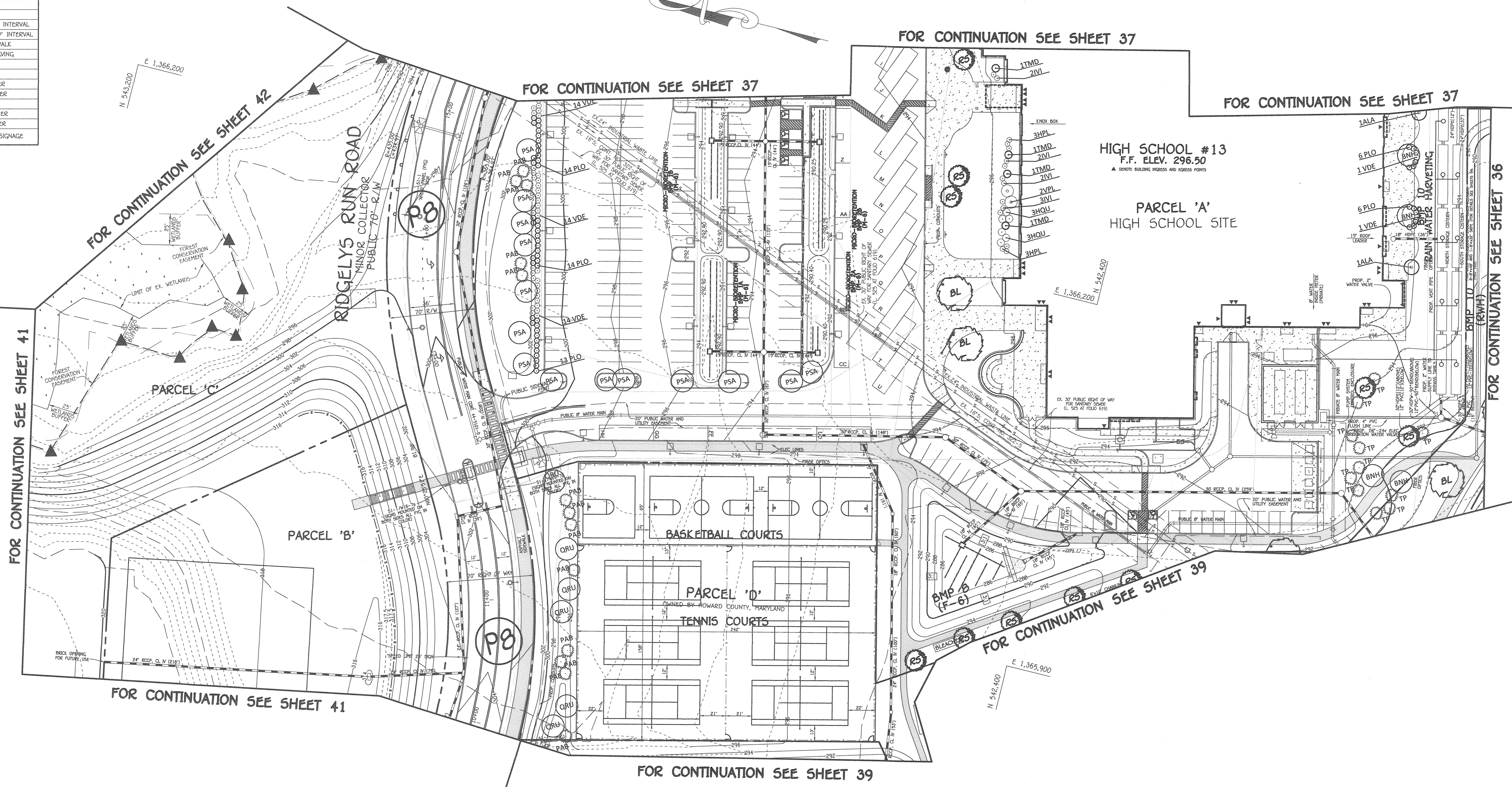
PLAT NO.	BLOCK NO.	ZONE	TAX MAP	ELEC. DIST.	CENSUS TR.
186-29	18 & 24	R-12	42 & 43	SIXTH	606901
266-32	13 & 19	RSC MXD-3 RSA-2 MXD-3			

LANDSCAPE AND FOREST CONSERVATION PLAN

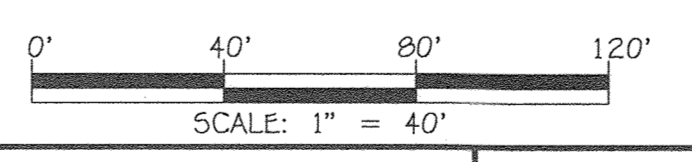
**HIGH SCHOOL #13
PARCELS 'A' THRU 'D'**

ZONED: R-SC MXD-3, R-5A-0 MXD-3 AND R-12
PARCEL Nos.: 102, 349, 235
TAX MAP No.: 42 & 43 GRID No.: 24 & 19
SIXTH ELECTION DISTRICT HOWARD COUNTY, MARYLAND
SCALE: AS SHOWN DATE: AUGUST, 2020
SHEET 37 OF 131

LEGEND	
SYMBOL	DESCRIPTION
--- 200 ---	EXISTING CONTOUR 2' INTERVAL
--- 280 ---	EXISTING CONTOUR 10' INTERVAL
---	EXISTING SAN. SEWER LINE
---	EXISTING STORM DRAIN LINE
---	EXISTING WATER LINE
---	EXISTING UNDERGROUND ELECTRIC LINE
---	EXISTING CABLE/TV LINE
---	EXISTING FIBER OPTIC/CABLE LINE
---	EXISTING GAS LINE
---	EXISTING FENCE
-X-X-	PROPOSED FENCE
--- 200 ---	PROPOSED CONTOUR 2' INTERVAL
--- 280 ---	PROPOSED CONTOUR 10' INTERVAL
---	PROPOSED CONCRETE WALK
---	PROPOSED MACADAM PAVING
---	EXISTING TREELINE
---	PROPOSED TREELINE
---	PROPOSED PUBLIC WATER
---	PROPOSED PRIVATE WATER
---	PROPOSED STORM DRAIN
---	PROPOSED PRIVATE SEWER
---	PROPOSED PUBLIC SEWER
---	FOREST CONSERVATION SIGNAGE



PLAN
SCALE: 1" = 40'



FISHER, COLLINS & CARTER, INC.
 CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
 CENTENNIAL SQUARE OFFICE PARK - 10272 BALTIMORE NATIONAL PIKE
 ELLICOTT CITY, MARYLAND 21042
 (410) 461-2999

PROFESSIONAL CERTIFICATION. I HEREBY CERTIFY THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED REGISTERED LANDSCAPE ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 3038, EXPIRATION DATE: APRIL 17, 2022.
Stephanie J. Tuite
 STEPHANIE J. TUITE, RLA, P.E., LEED AP BC&D
 8/19/20
 DATE

DATE	DESCRIPTION
	REVISION BLOCK
APPROVED: DEPARTMENT OF PLANNING AND ZONING	
Director	Date
	10-5-20
Chief, Division of Land Development	Date
	8-26-20
Chief, Development Engineering Division	Date

PREPARED FOR
 HOWARD COUNTY PUBLIC SCHOOL SYSTEM
 9020 MENDENHALL COURT
 SUITE 'C'
 COLUMBIA, MARYLAND 21045
 Attention: DANIEL LUBBELEY
 410-313-8203

ADDRESS CHART			
PARCEL NO.	STREET ADDRESS		
	8500 RIDGELYS RUN ROAD		
	JESSUP, MARYLAND 20794		
PROJECT	SECTION/AREA	PARCEL	
HIGH SCHOOL #13	N/A	102, 349, 235	
PLAT NOS.	BLOCK NO.	ZONE	TAX MAP
25528, 25532	18 & 24, 13 & 19	R-12, RSC MXD-3, RSA-B MXD-3	42 & 43
WATER CODE	ELEC. DIST.	CENSUS TR.	
	SIXTH	606901	
SEWER CODE			

LANDSCAPE AND FOREST CONSERVATION PLAN

**HIGH SCHOOL #13
 PARCELS 'A' THRU 'D'**

ZONED: R-5C MXD-3, R-5A-B MXD-3 AND R-12
 PARCEL NOS.: 102, 349, 235
 TAX MAP No.: 42 & 43 GRID No.: 24 & 19
 SIXTH ELECTION DISTRICT HOWARD COUNTY, MARYLAND
 SCALE: AS SHOWN DATE: AUGUST, 2020
 SHEET 38 OF 131

SYMBOL	DESCRIPTION
---	EXISTING CONTOUR 2' INTERVAL
---	EXISTING CONTOUR 10' INTERVAL
S	EXISTING SAN. SEWER LINE
D	EXISTING STORM DRAIN LINE
W	EXISTING WATER LINE
---	EXISTING UNDERGROUND ELECTRIC LINE
---	EXISTING CABLE/TV LINE
---	EXISTING FIBER OPTIC/CABLE LINE
---	EXISTING GAS LINE
X	EXISTING FENCE
X	PROPOSED FENCE
---	PROPOSED CONTOUR 2' INTERVAL
---	PROPOSED CONTOUR 10' INTERVAL
---	PROPOSED CONCRETE WALK
---	PROPOSED MACADAM PAVING
---	EXISTING TREELINE
---	PROPOSED TREELINE
---	PROPOSED PUBLIC WATER
---	PROPOSED PRIVATE WATER
---	PROPOSED STORMDRAIN
---	PROPOSED PRIVATE SEWER
---	PROPOSED PUBLIC SEWER
▲	FOREST CONSERVATION SIGNAGE



FISHER, COLLINS & CARTER, INC.
 CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
 CENTENNIAL SQUARE OFFICE PARK - 10572 SALTHORSE NATIONAL FEE
 BUILDING CITY, MARYLAND 21042
 (410) 461-2295

"PROFESSIONAL CERTIFICATION. I HEREBY CERTIFY THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED REGISTERED LANDSCAPE ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 3038, EXPIRATION DATE: APRIL 17, 2022."

Stephanie J. Tuite
 STEPHANIE J. TUITE, RLA, P.E., LEED AP BC&O

8/17/20
 DATE

APPROVED: DEPARTMENT OF PLANNING AND ZONING

Director, Department of Planning and Zoning: *16-5-20* Date

Chief, Division of Land Development: *10/5/20* Date

Chief, Development Engineering Division: *8-24-20* Date

DATE	DESCRIPTION
	REVISION BLOCK

PREPARED FOR
 HOWARD COUNTY PUBLIC SCHOOL SYSTEM
 9020 MENDENHALL COURT
 SUITE 'C'
 COLUMBIA, MARYLAND 21045
 Attention: DANIEL LUBELEY
 410-313-8203

ADDRESS CHART	
PARCEL NO.	STREET ADDRESS
	8500 RIDGELYS RUN ROAD
	JESSUP, MARYLAND 20794

PROJECT	SECTION/AREA	PARCEL
HIGH SCHOOL #13	N/A	102, 349, 235

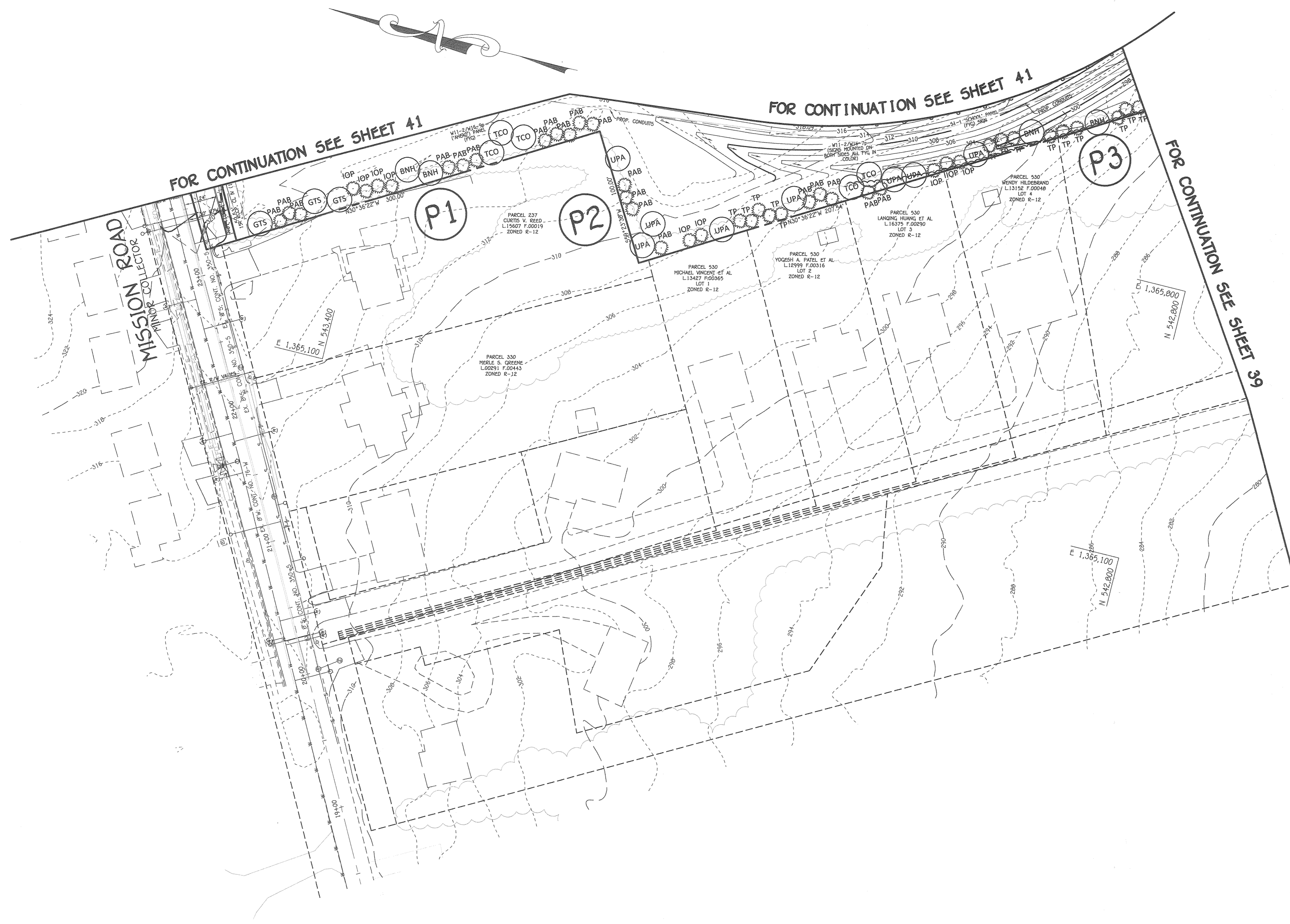
PLAT NOS.	BLOCK NO.	ZONE	TAX MAP	ELEC. DIST.	CENSUS TR.
18 & 24	R-12	RSC MXD-3	42 & 43	SIXTH	606901
13 & 19	RSA-8 MXD-3				

LANDSCAPE AND FOREST CONSERVATION PLAN

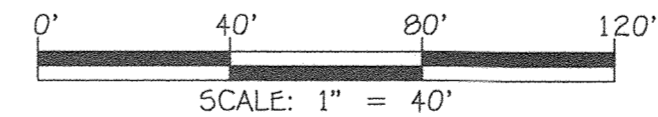
**HIGH SCHOOL #13
 PARCELS 'A' THRU 'D'**

ZONED: R-SC MXD-3, R-SA-8 MXD-3 AND R-12
 PARCEL Nos.: 102, 349, 235
 TAX MAP No.: 42 & 43 GRID No.: 24 & 19
 SIXTH ELECTION DISTRICT HOWARD COUNTY, MARYLAND
 SCALE: AS SHOWN DATE: AUGUST, 2020
 SHEET 39 OF 131

LEGEND	
SYMBOL	DESCRIPTION
--- 2' ---	EXISTING CONTOUR 2' INTERVAL
--- 10' ---	EXISTING CONTOUR 10' INTERVAL
S	EXISTING SAN. SEWER LINE
D	EXISTING STORM DRAIN LINE
W	EXISTING WATER LINE
UE	EXISTING UNDERGROUND ELECTRIC LINE
CV	EXISTING CABLE/TV LINE
FC	EXISTING FIBER OPTIC/CABLE LINE
G	EXISTING GAS LINE
X	EXISTING FENCE
X	PROPOSED FENCE
--- 2' ---	PROPOSED CONTOUR 2' INTERVAL
--- 10' ---	PROPOSED CONTOUR 10' INTERVAL
[Symbol]	PROPOSED MACADAM PAVING
[Symbol]	EXISTING TREELINE
[Symbol]	PROPOSED TREELINE
8" W	PROPOSED PUBLIC WATER
8" W	PROPOSED PRIVATE WATER
18" RCP	PROPOSED STORMDRAIN
8" S	PROPOSED PRIVATE SEWER
8" S	PROPOSED PUBLIC SEWER
[Symbol]	FOREST CONSERVATION SIGNAGE



PLAN
SCALE: 1" = 40'



FISHER, COLLINS & CARTER, INC.
CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
CENTENNIAL SQUARE OFFICE PARK - 10272 BALTIMORE NATIONAL PIKE
ELLSWORTH CITY, MARYLAND 21042
(410) 461-2222

"PROFESSIONAL CERTIFICATION: I HEREBY CERTIFY THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED REGISTERED LANDSCAPE ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 3038, EXPIRATION DATE: APRIL 17, 2022."
Stephanie J. Tuttle
STEPHANIE J. TUTTLE, R.L.A. P.E., LEED AP BC&O
8/17/20
DATE

DATE	DESCRIPTION
	REVISION BLOCK
APPROVED: DEPARTMENT OF PLANNING AND ZONING	
<i>[Signature]</i> Director, Department of Planning and Zoning	16-5-20 Date
<i>[Signature]</i> Chief, Division of Land Development	16/12/20 Date
<i>[Signature]</i> Chief, Development Engineering Division	8-28-20 Date

PREPARED FOR
HOWARD COUNTY PUBLIC SCHOOL SYSTEM
9020 MENDENHALL COURT
SUITE 'C'
COLUMBIA, MARYLAND 21045
Attention: DANIEL LUBELEY
410-313-8203

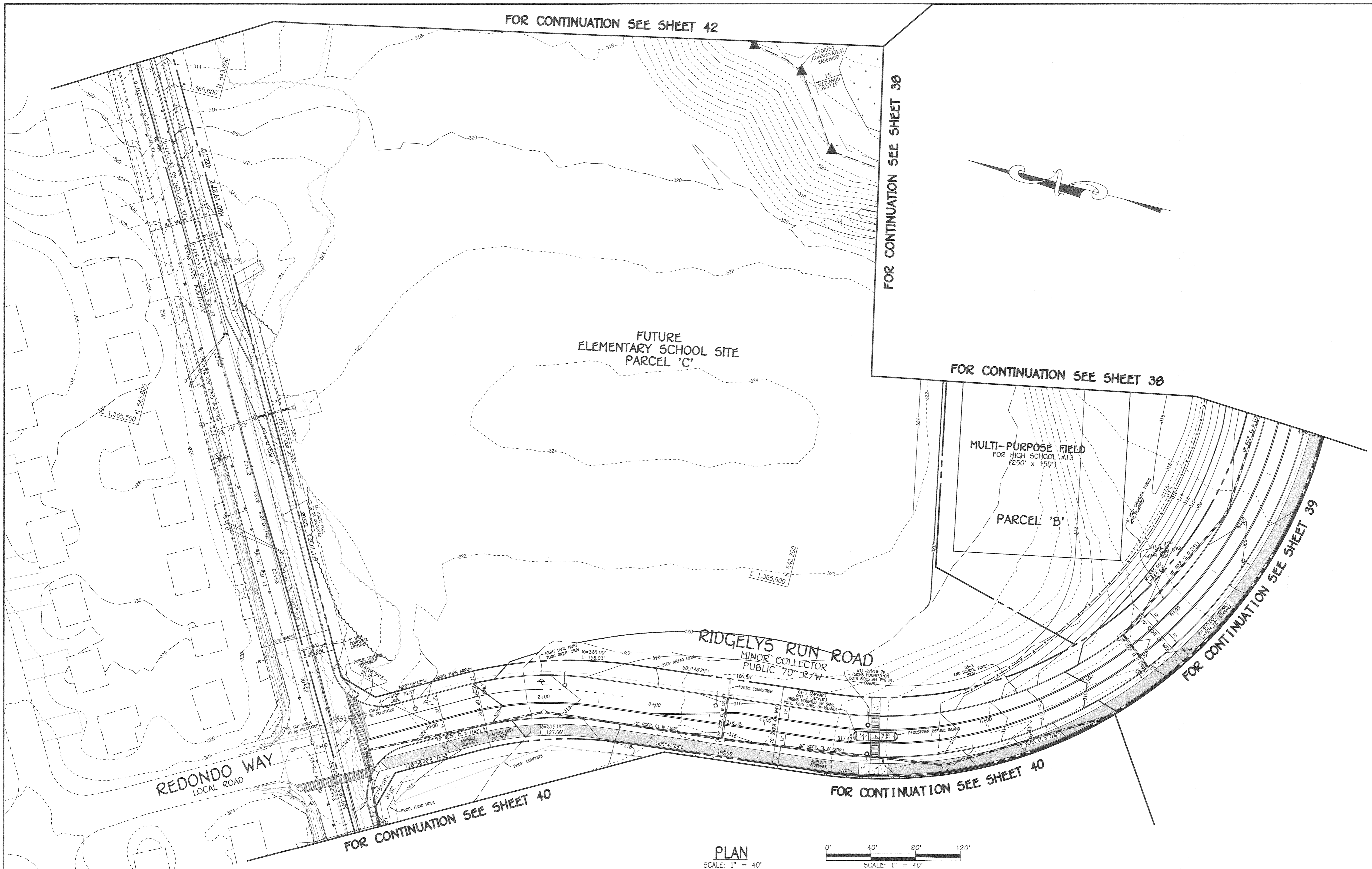


ADDRESS CHART					
PARCEL NO.	STREET ADDRESS				
-	8500 RIDGELYS RUN ROAD JESSUP, MARYLAND 20794				
PROJECT	SECTION/AREA				
HIGH SCHOOL #13	N/A				
PARCEL	102, 349, 235				
PLAT NOS.	BLOCK NO.	ZONE	TAX MAP	ELEC. DIST.	CENSUS TR.
15528, 15532	18 & 24, 13 & 19	R-12, RSC MXD-3, RSA-B MXD-3	42 & 43	SIXTH	606901
WATER CODE	SEWER CODE				

LANDSCAPE AND FOREST CONSERVATION PLAN

HIGH SCHOOL #13 PARCELS 'A' THRU 'D'

ZONED: R-SC MXD-3, R-5A-B MXD-3 AND R-12
PARCEL Nos.: 102, 349, 235
TAX MAP No.: 42 & 43 GRID No.: 24 & 19
SIXTH ELECTION DISTRICT HOWARD COUNTY, MARYLAND
SCALE: AS SHOWN DATE: AUGUST, 2020
SHEET 40 OF 131



LEGEND	
SYMBOL	DESCRIPTION
---202---	EXISTING CONTOUR 2' INTERVAL
---200---	EXISTING CONTOUR 10' INTERVAL
S	EXISTING SAN. SEWER LINE
D	EXISTING STORM DRAIN LINE
W	EXISTING WATER LINE
UE	EXISTING UNDERGROUND ELECTRIC LINE
OTV	EXISTING CABLE/TV LINE
OC	EXISTING FIBER OPTIC/CABLE LINE
---	EXISTING GAS LINE
X - X	EXISTING FENCE
-X -X-	PROPOSED FENCE
---202---	PROPOSED CONTOUR 2' INTERVAL
---200---	PROPOSED CONTOUR 10' INTERVAL
[Symbol]	PROPOSED CONCRETE WALK
[Symbol]	PROPOSED MACADAM PAVING
[Symbol]	EXISTING TREELINE
[Symbol]	PROPOSED TREELINE
[Symbol]	PROPOSED PUBLIC WATER
[Symbol]	PROPOSED PRIVATE WATER
[Symbol]	PROPOSED STORMDRAIN
[Symbol]	PROPOSED PRIVATE SEWER
[Symbol]	PROPOSED PUBLIC SEWER
[Symbol]	FOREST CONSERVATION SIGNAGE

FOR CONTINUATION SEE SHEET 42

FOR CONTINUATION SEE SHEET 38

FOR CONTINUATION SEE SHEET 38

FOR CONTINUATION SEE SHEET 39

FOR CONTINUATION SEE SHEET 40

FOR CONTINUATION SEE SHEET 40

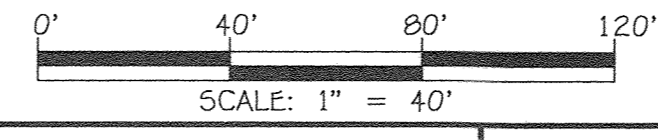
FUTURE
ELEMENTARY SCHOOL SITE
PARCEL 'C'

MULTI-PURPOSE FIELD
FOR HIGH SCHOOL #13
(250' x 150')
PARCEL 'B'

RIDGELY'S RUN ROAD
MINOR COLLECTOR
PUBLIC 70' R/W

REDONDO WAY
LOCAL ROAD

PLAN
SCALE: 1" = 40'



FISHER, COLLINS & CARTER, INC.
CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
CENTENNIAL SQUARE OFFICE PARK - 10272 BALTIMORE NATIONAL PIKE
CLUFTON CITY, MARYLAND 21042
(410) 461-7099

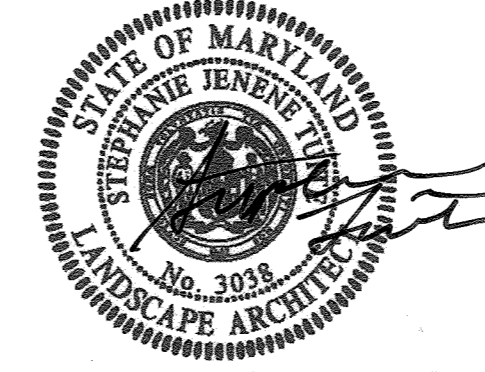
"PROFESSIONAL CERTIFICATION. I HEREBY CERTIFY THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED REGISTERED LANDSCAPE ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 3038, EXPIRATION DATE: APRIL 17, 2022."

Stephanie Tuttle
STEPHANIE T. TUTTLE, R.L.A., P.E., LEED AP BC&O
9/1/20
DATE

DATE	DESCRIPTION	REVISION BLOCK
16-5-20	Date	
10/1/20	Date	
8-26-20	Date	

APPROVED: DEPARTMENT OF PLANNING AND ZONING
Director - Department of Planning and Zoning
Chief, Division of Land Development
Chief, Development Engineering Division

PREPARED FOR
HOWARD COUNTY PUBLIC SCHOOL SYSTEM
9020 MENDENHALL COURT
SUITE 'C'
COLUMBIA, MARYLAND 21045
Attention: DANIEL LUBELEY
410-313-0203



ADDRESS CHART	
PARCEL NO.	STREET ADDRESS
	8500 RIDGELY'S RUN ROAD JESSUP, MARYLAND 20794

PROJECT	SECTION/AREA	PARCEL
HIGH SCHOOL #13	N/A	102, 349, 235

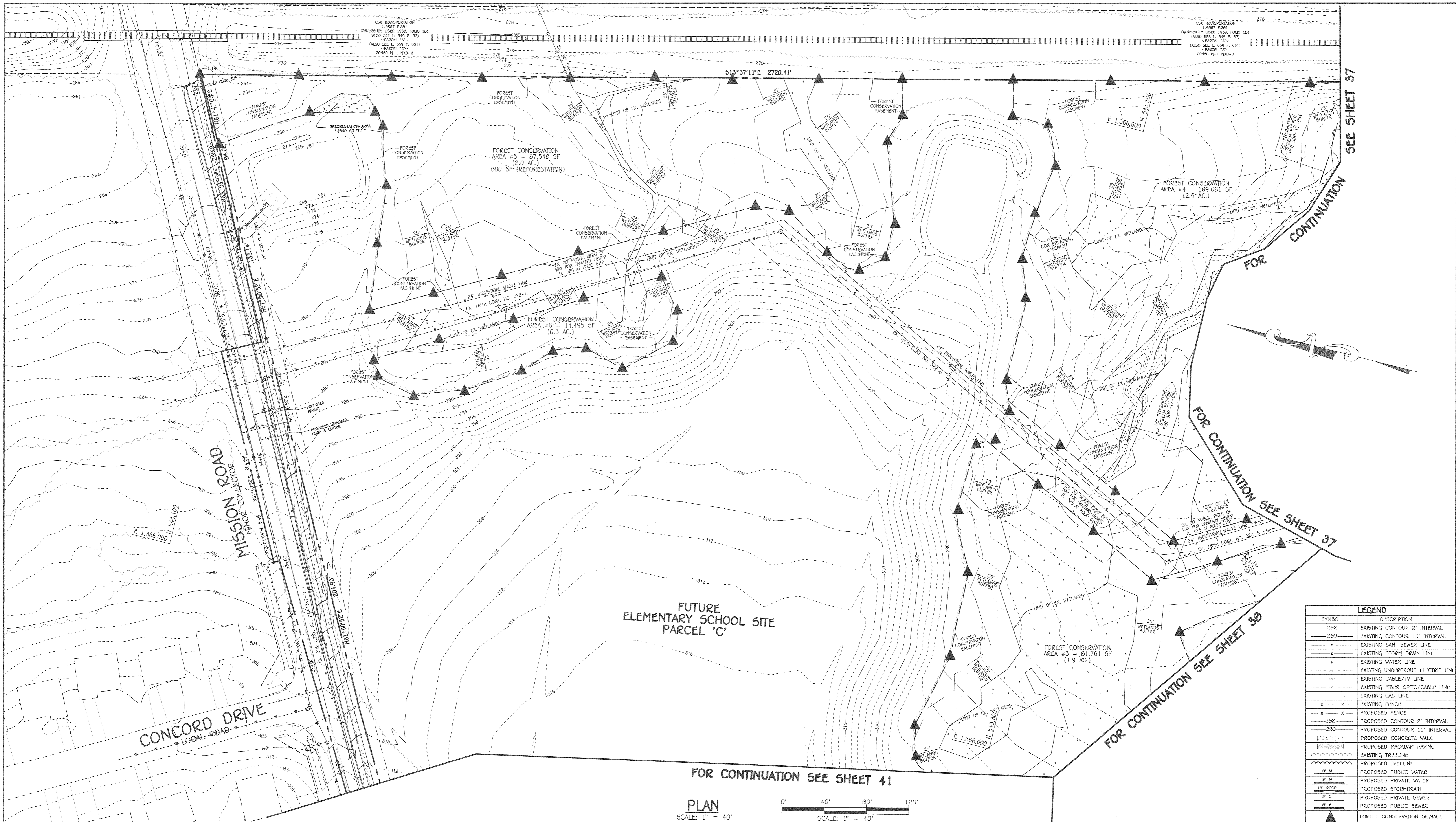
PLAT NOS.	BLOCK NO.	ZONE	TAX MAP	ELEC. DIST.	CENSUS TR.
8500-3 8500-2	18 & 24 13 & 19	R-12 RSA-B MXD-3	42 & 43	SIXTH	606901

WATER CODE	SEWER CODE
---	---

LANDSCAPE AND FOREST CONSERVATION PLAN

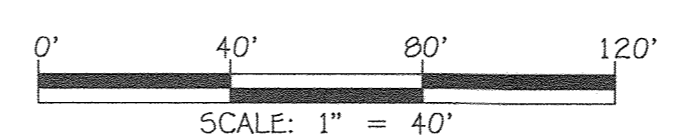
**HIGH SCHOOL #13
PARCELS 'A' THRU 'D'**

ZONED: R-SC MXD-3, R-5A-B MXD-3 AND R-12
PARCEL Nos.: 102, 349, 235
TAX MAP No.: 42 & 43 GRID No.: 24 & 19
SIXTH ELECTION DISTRICT - HOWARD COUNTY, MARYLAND
SCALE: AS SHOWN DATE: AUGUST, 2020
SHEET 41 OF 131



LEGEND	
SYMBOL	DESCRIPTION
--- 202 ---	EXISTING CONTOUR 2' INTERVAL
--- 200 ---	EXISTING CONTOUR 10' INTERVAL
---	EXISTING SAN. SEWER LINE
---	EXISTING STORM DRAIN LINE
---	EXISTING WATER LINE
---	EXISTING UNDERGROUND ELECTRIC LINE
---	EXISTING CABLE/TV LINE
---	EXISTING FIBER OPTIC/CABLE LINE
---	EXISTING GAS LINE
x x	EXISTING FENCE
x x	PROPOSED FENCE
--- 202 ---	PROPOSED CONTOUR 2' INTERVAL
--- 200 ---	PROPOSED CONTOUR 10' INTERVAL
---	PROPOSED CONCRETE WALK
---	PROPOSED MACADAM PAVING
---	EXISTING TREELINE
---	PROPOSED TREELINE
W	PROPOSED PUBLIC WATER
P	PROPOSED PRIVATE WATER
W	PROPOSED STORMDRAIN
S	PROPOSED PRIVATE SEWER
S	PROPOSED PUBLIC SEWER
▲	FOREST CONSERVATION SIGNAGE

PLAN
SCALE: 1" = 40'



FISHER, COLLINS & CARTER, INC.
CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
CENTENNIAL SQUARE OFFICE PARK - 10272 BALTIMORE NATIONAL PIKE
ELLSWORTH CITY, MARYLAND 21042
(410) 461-2999

"PROFESSIONAL CERTIFICATION: I HEREBY CERTIFY THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED REGISTERED LANDSCAPE ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 3038, EXPIRATION DATE: APRIL 17, 2022."
Stephanie Tuttle
STEPHANIE TUTTLE, RLA, P.E., LEED AP BC&O
8/17/20
DATE

DATE	DESCRIPTION	REVISION BLOCK
16-5-20	Date	
11/17/20	Date	
8-26-20	Date	

APPROVED: DEPARTMENT OF PLANNING AND ZONING
Director - Department of Planning and Zoning
Chief, Division of Land Development
Chief, Development Engineering Division

PREPARED FOR
HOWARD COUNTY PUBLIC SCHOOL SYSTEM
9020 MIDGEMILL COURT
SUITE 'C'
COLUMBIA, MARYLAND 21045
Attention: DANIEL LUBELEY
410-313-0203

ADDRESS CHART	
PARCEL NO.	STREET ADDRESS
-	8500 RIDGELYS RUN ROAD JESSUP, MARYLAND 20794

PROJECT	SECTION/AREA	PARCEL
HIGH SCHOOL #13	N/A	102, 349, 235

PLAT NOS.	BLOCK NO.	ZONE	TAX MAP	ELEC. DIST.	CENSUS TR.
26529, 26532	18 & 24, 13 & 19	R-5C MXD-3, R-5A-B MXD-3	42 & 43	SIXTH	606901

SEWER CODE

LANDSCAPE AND FOREST CONSERVATION PLAN

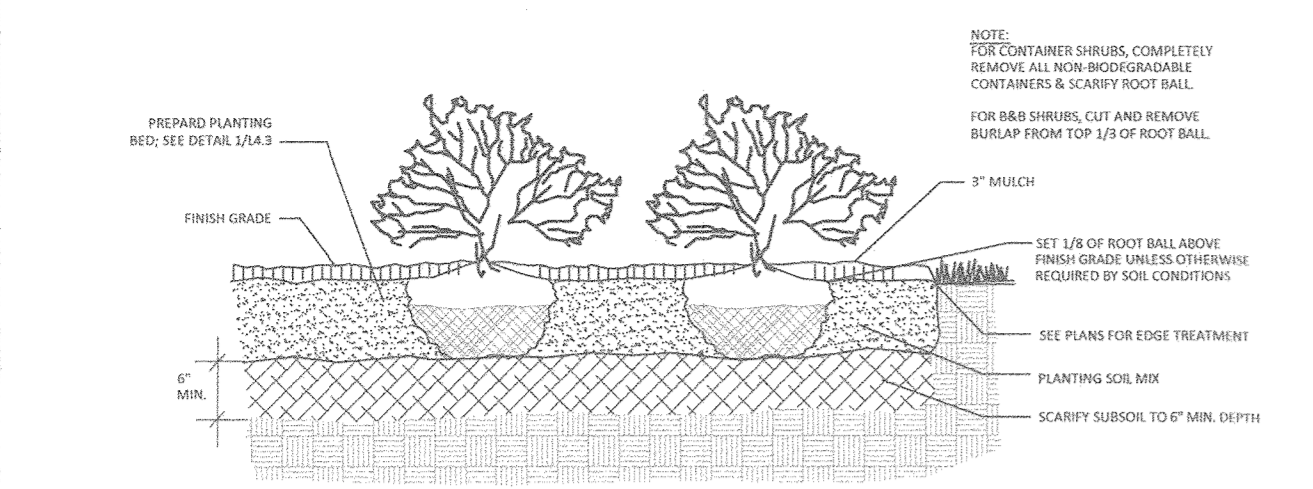
HIGH SCHOOL #13 PARCELS 'A' THRU 'D'

ZONED: R-5C MXD-3, R-5A-B MXD-3 AND R-12
PARCEL NOS.: 102, 349, 235
TAX MAP NOS.: 42 & 43 GRID NO.: 24 & 19
SIXTH ELECTION DISTRICT - HOWARD COUNTY, MARYLAND
SCALE: AS SHOWN DATE: AUGUST, 2020
SHEET 42 OF 131

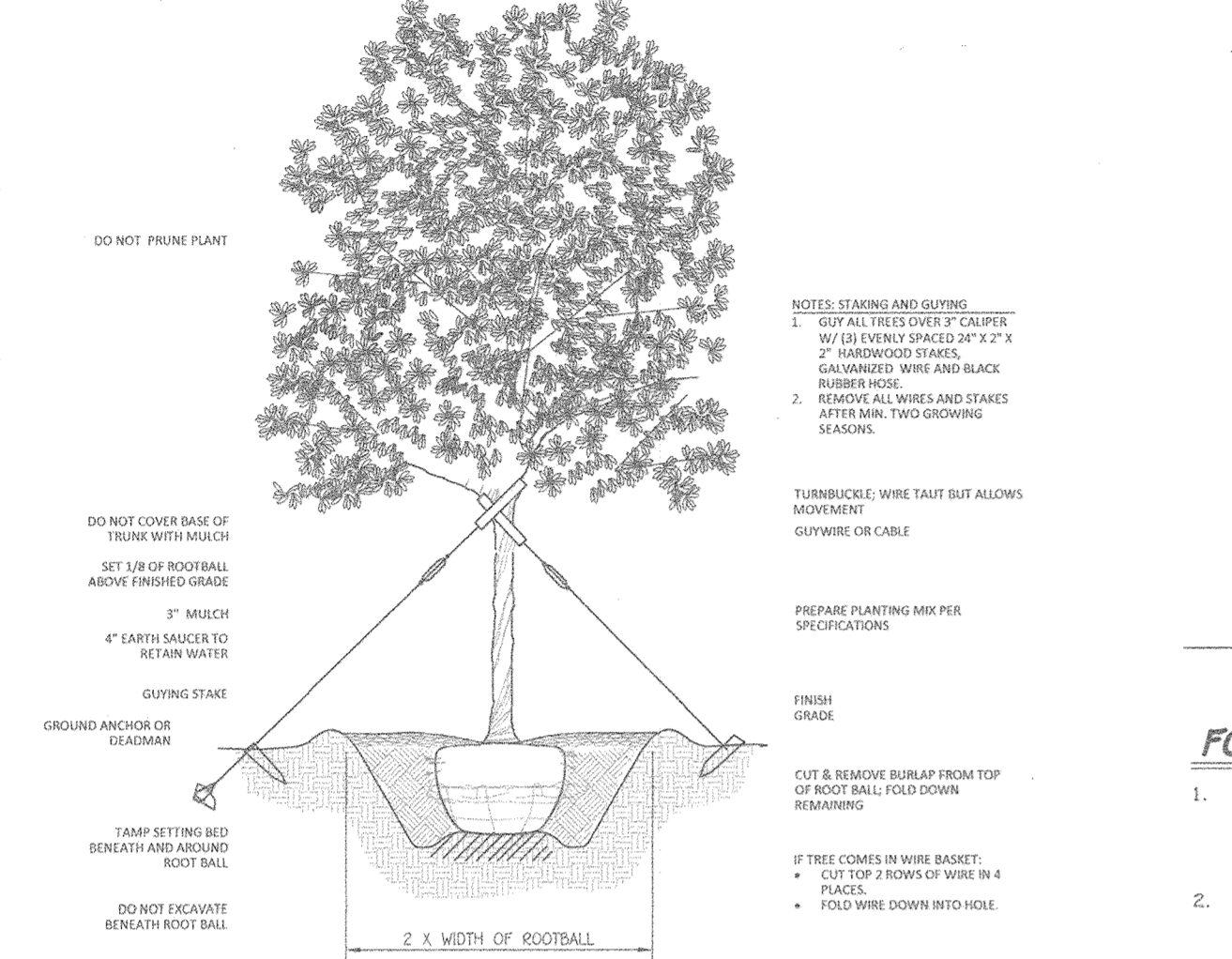
I:\2010\10027\Engineering\Drawings\SDP\10027 SDP 035-42 LANDSCAPE PLAN.dwg, SHEET-042 Landscape Plan, 8/17/2020 10:32:28 AM, 1:1

NOTES:

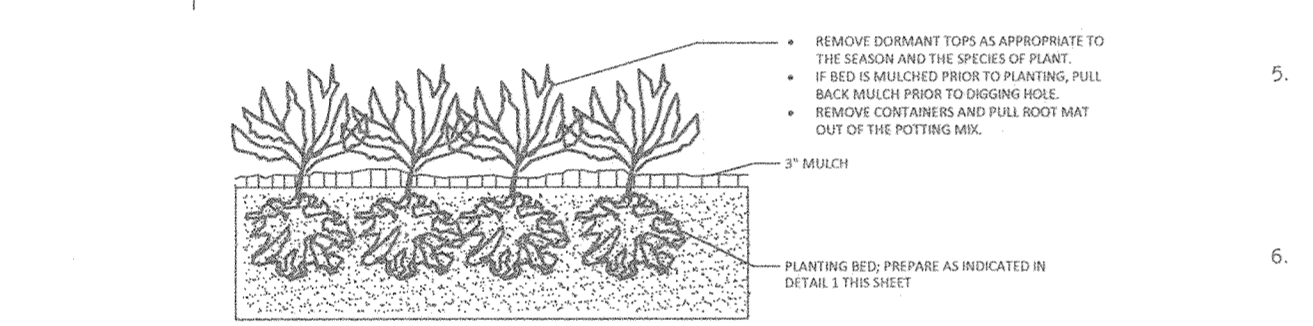
- THE FOREST CONSERVATION EASEMENTS HAVE BEEN ESTABLISHED TO FULFILL THE REQUIREMENTS OF SECTION 16.1202 OF THE HOWARD COUNTY CODE AND FOREST ACT. NO CLEARING, GRADING OR CONSTRUCTION IS PERMITTED WITHIN THE FOREST CONSERVATION EASEMENTS; HOWEVER, FOREST MANAGEMENT PRACTICES AS DEFINED IN THE DEED OF FOREST CONSERVATION EASEMENT ARE ALLOWED. THE FOREST CONSERVATION REQUIREMENTS WILL BE FULFILLED BY RETAINING 10.8 ACRES ON-SITE AND REFORESTATION PLANTING OF 800 SF (0.02 AC). FINANCIAL SURETY WILL NOT BE REQUIRED FOR REFORESTATION. THE REMAINING REFORESTATION OBLIGATION OF 24.1 ACRES WILL BE PROVIDED BY THROUGH A FOREST BANK. A MEMORANDUM OF UNDERSTANDING (MOU) AGREEMENT BETWEEN HOWARD COUNTY AND HOWARD COUNTY LANDSCAPE ARCHITECT, INC. WILL BE EXECUTED TO TEMPORARILY DEFER THE FOREST CONSERVATION REQUIREMENTS UNTIL AFTER THE SIGNATURE APPROVAL OF THE SDP AND ADDRESS AS PART OF THE BUILDING PERMIT ISSUANCE PROCESS.
- THE FOREST STAND DELINEATION AND WETLAND DELINEATION FOR THIS PROJECT WAS PREPARED BY CNA DATED JUNE 2016.
- NO CLEARING, GRADING OR CONSTRUCTION IS PERMITTED WITHIN THE FOREST CONSERVATION EASEMENTS; HOWEVER, FOREST MANAGEMENT PRACTICES AS DEFINED IN THE DEED OF FOREST CONSERVATION EASEMENT ARE ALLOWED.
- PERIMETER LANDSCAPING FOR THIS DEVELOPMENT SHALL BE IN ACCORDANCE WITH SECTION 16.124 OF THE SUBDIVISION AND LAND DEVELOPMENT REGULATIONS AND LANDSCAPE MANUAL.



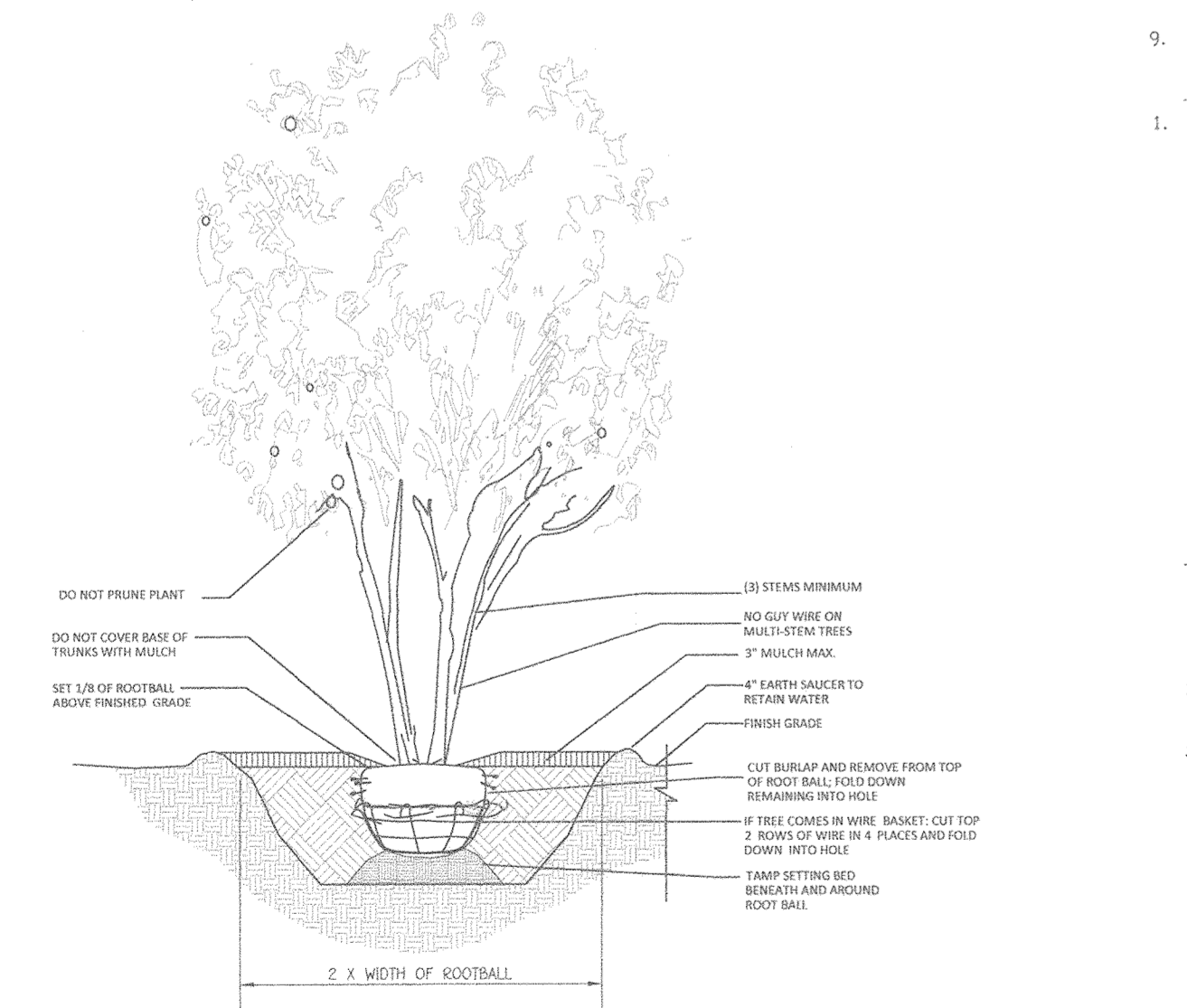
4 SHRUB PLANTING - TYPICAL
N.T.S.



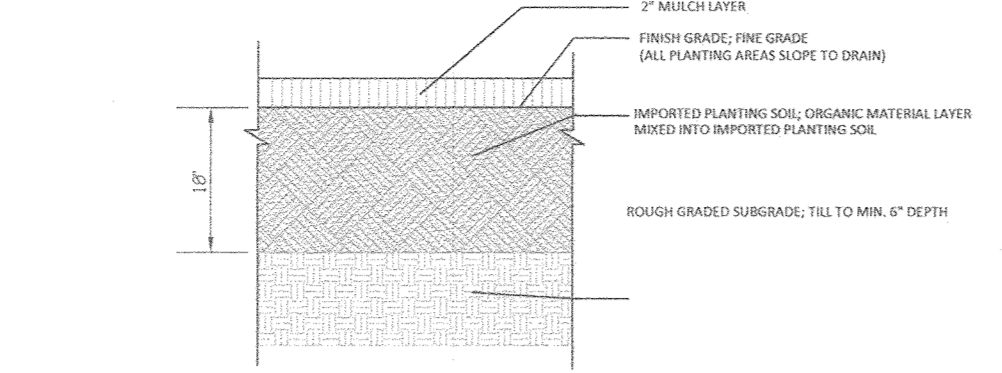
5 DECIDUOUS TREE PLANTING - TYPICAL
N.T.S.



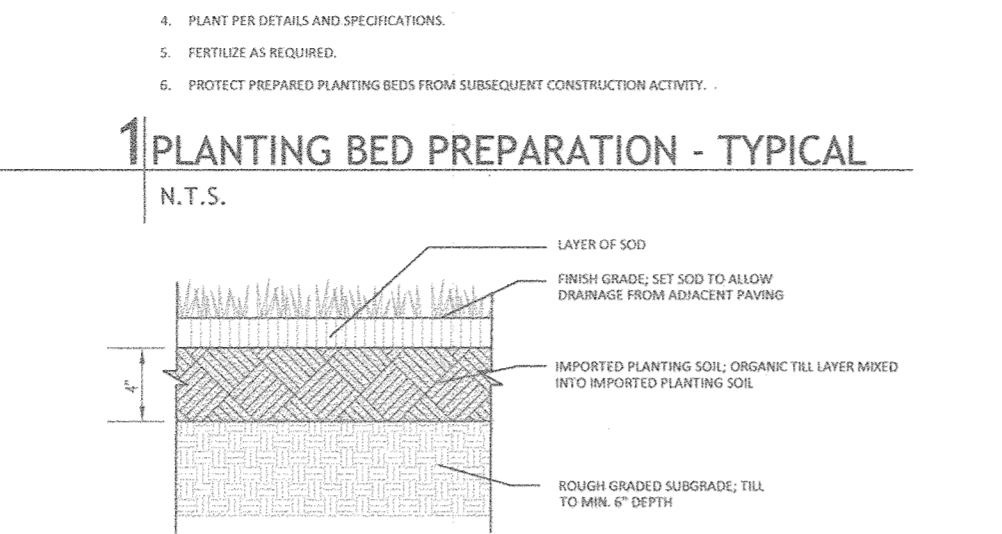
3 GROUNDCOVER PLANTING - TYPICAL
N.T.S.



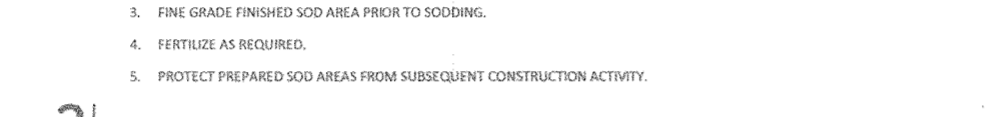
6 MULTI-STEM TREE PLANTING - TYPICAL
N.T.S.



1 PLANTING BED PREPARATION - TYPICAL
N.T.S.



2 SO2 BED PREPARATION - TYPICAL
N.T.S.



3 SO2 BED PREPARATION - TYPICAL
N.T.S.

FOREST PROTECTION GENERAL NOTES

- ALL FOREST RETENTION AREAS AND SPECIMEN TREES SHALL BE TEMPORARILY PROTECTED BY WELL ANCHORED BLAZE ORANGE PLASTIC FENCING, AS NECESSARY, AND SIGNAGE AS INDICATED ON THE PLANS. THE DEVICES SHALL BE INSTALLED ALONG THE FOREST RETENTION BOUNDARY PRIOR TO ANY LAND CLEARING, GRUBBING OR GRADING ACTIVITIES.
- THE FOREST PROTECTION DEVICES SHALL BE INSTALLED SUCH THAT THE CRITICAL ROOT ZONES OF ALL TREES WITHIN THE RETENTION AREA NOT OTHERWISE PROTECTED WILL BE WITHIN FOREST PROTECTION DEVICES, UNLESS ROOT PRUNING IS PROPOSED.
- ALL PROTECTION DEVICES SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION, INCLUDING SILT FENCE BEING USED AS PROTECTIVE FENCING. ALL DEVICES SHALL REMAIN IN PLACE UNTIL ALL CONSTRUCTION HAS CEASED IN THE IMMEDIATE VICINITY.
- ATTACHMENT OF SIGNS, OR ANY OTHER OBJECTS TO TREES IS PROHIBITED. NO EQUIPMENT, MACHINERY, VEHICLES, MATERIALS OR EXCESSIVE PEDESTRIAN TRAFFIC SHALL BE ALLOWED WITHIN THESE PROTECTED AREAS.
- INSTALLATION AND MAINTENANCE OF PROTECTIVE FENCING AND SIGNAGE SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR. THE GENERAL CONTRACTOR SHALL TAKE THE UTMOST CARE TO PROTECT TREE ROOT SYSTEMS FOR SPECIMEN TREES AND FOREST CONSERVATION AREAS DURING ALL CONSTRUCTION ACTIVITIES. TREE ROOT SYSTEMS SHALL BE PROTECTED FROM EXCAVATING, FLOODING, EXCESSIVE DROUGHT, OR OTHER CONSTRUCTION OPERATIONS, OFF-SITE RUN OFF, SPILLAGE AND DRAINING OF MATERIALS THAT MAY BE HARMFUL TO TREES.
- THE GENERAL CONTRACTOR SHALL PREVENT PARKING OF CONSTRUCTION VEHICLES AND EQUIPMENT, AND THE STORING OF BUILDING SUPPLIES OR STOCKPILING OF EARTH WITHIN FOREST CONSERVATION EASEMENTS.
- REMOVAL OF TOPSOIL OR ROOT MAT WITHIN THE TREE PRESERVATION AREA SHALL BE PROHIBITED.
- THE GENERAL CONTRACTOR SHALL BE HELD RESPONSIBLE FOR ANY TREES DAMAGED OR DESTROYED WITHIN THE FOREST CONSERVATION EASEMENTS.
- ROOT PRUNING SHALL BE USED AT THE LIMIT OF DISTURBANCE OR LIMIT OF GRADING WITHIN AND ADJACENT TO ALL PRESERVATION AREAS, AS NECESSARY.

- PRE-CONSTRUCTION MEETING**
- AFTER THE BOUNDARIES OF THE FOREST RETENTION AREAS HAVE BEEN FIELD LOCATED AND MARKED, AND AFTER THE FOREST PROTECTION DEVICES HAVE BEEN INSTALLED, BUT BEFORE ANY OTHER DISTURBANCE HAS TAKEN PLACE ON SITE, A PRE-CONSTRUCTION MEETING SHALL TAKE PLACE ON SITE. THE DEVELOPER, CONTRACTOR OR PROJECT MANAGER, AND HOWARD COUNTY INSPECTORS SHALL ATTEND. THE PURPOSE OF THIS MEETING WILL BE:
 - TO IDENTIFY THE LOCATIONS OF THE FOREST RETENTION AREAS, SPECIMEN TREES WITHIN 50 FEET OF THE LIMIT OF DISTURBANCE, LIMITS OF CONSTRUCTION, EMPLOYEE PARKING AREAS AND EQUIPMENT STAGING AREAS;
 - INSPECT ALL FLAGGED BOUNDARIES AND PROTECTION DEVICES;
 - MAKE ALL NECESSARY ADJUSTMENTS;
 - ASSIGN RESPONSIBILITIES AS APPROPRIATE AND DISCUSS PENALTIES.
 - SPECIMEN TREES ST-6, ST-7, ST-9, ST-13, ST-15, AND ST-16 MUST BE PROTECTED DURING CONSTRUCTION. AN REGISTERED ARBORIST MUST INSPECT THE TREES AND IMPLEMENT RECOMMENDATIONS FOR PROFESSIONAL PRUNING OF ROOTS AND FOLIAGE. ALL PRUNING MUST BE PERFORMED BY A MARYLAND LICENSED TREE EXPERT. TREE PROTECTION FENCING MUST BE INSTALLED AROUND THE ENTIRE PERIMETER OF SPECIMEN TREES ST-6, ST-7, ST-9, ST-13, ST-15 AND ST-16 TO THE GREATEST EXTENT POSSIBLE, (WHILE NOT DISTURBING PROPOSED FOREST CONSERVATION AREAS), TO PREVENT ROOT AND FOLIAGE DAMAGE DURING CONSTRUCTION.

- CONSTRUCTION MONITORING**
- THE SITE SHALL BE INSPECTED PERIODICALLY DURING THE CONSTRUCTION PHASE OF THE PROJECT. A QUALIFIED PROFESSIONAL SHALL BE RESPONSIBLE FOR IDENTIFYING DAMAGE TO PROTECTED FOREST AREAS OR INDIVIDUAL TREES WHICH MAY HAVE BEEN CAUSED BY CONSTRUCTION ACTIVITIES, SUCH AS SOIL COMPACTION, ROOT INJURY, TRUNK WOUNDS, LIMB INJURY, OR STRESS CAUSED BY FLOODING OR DROUGHT CONDITIONS.
 - ANY SUCH DAMAGE THAT MAY OCCUR SHALL BE REMEDIATED IMMEDIATELY USING APPROPRIATE MEASURES. SEVERE PROBLEMS MAY REQUIRE CONSULTATION WITH A MARYLAND LICENSED TREE EXPERT.
 - THE CONSTRUCTION PROCEDURE SHALL NOT DAMAGE AREAS OUTSIDE OF THE LIMITS OF DISTURBANCE AS DESIGNATED ON THE PLANS. ANY DAMAGE SHALL BE RESTORED BY THE CONTRACTOR AT HIS EXPENSE AND TO THE SATISFACTION OF THE DESIGN TEAM OR LANDSCAPE ARCHITECT.

MULTIFLORA ROSE CONTROL NOTE:
PRIOR TO PLANTING ALL MULTIFLORA ROSE WITHIN PLANTING AREAS SHALL BE REMOVED. Removal of the Multiflora Rose May Be Performed With Mowing And Herbicide Treatments. Physical Removal of All Top Growth Followed by A Periodic Herbicide Treatment Of Stumps Sprouts Is Recommended. Native Tree and Shrub Species Occurring Within The Rose Thickets Should Be Retained Wherever Possible. Herbicide Treatments Shall Occur On Two (2) Month Intervals During The First Growing Season And Once In The Spring And Once In The Fall For Subsequent Years. Herbicide Use Shall Be Made Specifically To Address Woody Plant Material And Shall Be Applied As Per Manufacturers Specifications. Care Should Be Taken Not To Spray Planted Trees Or Naturally Occurring Native Tree and Shrub Seedlings. It Is Recommended That Initiation Of Rose Removal Begin At Least Six Months Prior To Planting So That New Growth Of Roses Is Able To Be More Successfully Managed.

**SCHEDULE B
PARKING LOT INTERNAL LANDSCAPING**

NUMBER OF PARKING SPACES	581
NUMBER OF TREES PROVIDED (1/20 SP)	30
NUMBER OF TREES PROVIDED	BOTANICAL AND COMMON NAME
SHADE TREES - 30	B - Platanus occidentalis "American Sycamore" 22 - Zelkova serrata var. "GreenVase" Green Vase Zelkova
OTHER TREES (2:1 SUBSTITUTION)	N/A

NOTE: TREE AND SHRUB TYPES ARE ONLY A RECOMMENDATION, THESE MAY BE REVISED TO A COUNTY APPROVED EQUIVALENT FROM THE HOWARD COUNTY LANDSCAPE MANUAL. *THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE PROVISIONS OF SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL.*

AT THE TIME OF PLANT INSTALLATION, ALL TREES LISTED AND APPROVED ON THE LANDSCAPE PLAN, SHALL COMPLY WITH THE PROPER HEIGHT REQUIREMENT IN ACCORDANCE WITH THE HOWARD COUNTY LANDSCAPE MANUAL. IN ADDITION, NO SUBSTITUTIONS OR RELOCATIONS OF THE REQUIRED PLANTINGS MAY BE MADE WITHOUT PRIOR REVIEW AND APPROVAL FROM THE DEPARTMENT OF PLANNING AND ZONING. ANY DEVIATIONS FROM THE APPROVED LANDSCAPE PLAN MAY RESULT IN DENIAL OR DELAY IN THE RELEASE OF LANDSCAPE SURETY UNTIL SUCH TIME AS ALL REQUIRED MATERIALS ARE PLANTED AND/OR REVISIONS ARE MADE TO THE ROAD DRAWING PLANS.

THE OWNER, TENANTS AND/OR THEIR AGENTS SHALL BE RESPONSIBLE FOR MAINTENANCE OF THE REQUIRED PERIMETER LANDSCAPING. ALL PLANT MATERIALS SHALL BE MAINTAINED IN GOOD GROWING CONDITION, AND WHEN NECESSARY, REPLACED WITH NEW MATERIALS TO ENSURE CONTINUED COMPLIANCE WITH APPLICABLE REGULATIONS. ALL THE OTHER REQUIRED LANDSCAPING SHALL BE PERMANENTLY MAINTAINED IN GOOD CONDITION, AND WHEN NECESSARY, REPAIRED OR REPLACED.

**FOREST CONSERVATION WORKSHEET
VERSION 1.0
(Enter in Yellow Cells)**

NET TRACT AREA:

A. Total tract area.....	78.40
B. Area within 100 year floodplain.....	0.10
C. Area to remain in agricultural production.....	0.00
D. Net tract area.....	78.30

LAND USE CATEGORY: (from table 3.2.1, page 40, Manual)

Input the number "1" under the appropriate land use zoning, and limit to only one entry.

ARA	MDR	IDA	HDR	MPD	CIA
0	0	1	0	0	0

E. Afforestation Threshold..... 15% x D = 11.75
F. Conservation Threshold..... 20% x D = 15.66

EXISTING FOREST COVER:

G. Existing forest cover (excluding floodplain).....	73.10
H. Area of forest above afforestation threshold.....	61.36
I. Area of forest above conservation threshold.....	57.44

BREAK EVEN POINT:

J. Forest retention above threshold with no mitigation.....	27.15
K. Clearing permitted without mitigation.....	45.95

PROPOSED FOREST CLEARING:

L. Total area of forest to be cleared.....	62.30
M. Total area of forest to be retained.....	10.80

PLANTING REQUIREMENTS:

N. Reforestation for clearing above conservation threshold.....	14.36
P. Reforestation for clearing below conservation threshold.....	9.72
Q. Credit for retention above conservation threshold.....	0.00
R. Total reforestation required.....	24.08
S. Total afforestation required.....	0.00
T. Total reforestation and afforestation required.....	24.08

FCE Planting Area (Part of FCE # 5) - 0.02 acres

Qty	Species	Size	Spacing	Total FCA	Units
2	Acer rubrum - Red maple	1" cal.	15' o.c.	15' o.c.	15
2	Quercus alba - White oak	1" cal.	15' o.c.	15' o.c.	15
4 Total 1" caliper trees (3.5 planting units per tree) = 14 Total FCA unit credit					14
Total Unit Credit					14

1" CAL TREES = 200/ACRES (4 TREES/200 = 0.02 AC)
3.5 Planting units = 1 - 1" Cal. Tree

FOREST CONSERVATION CHART

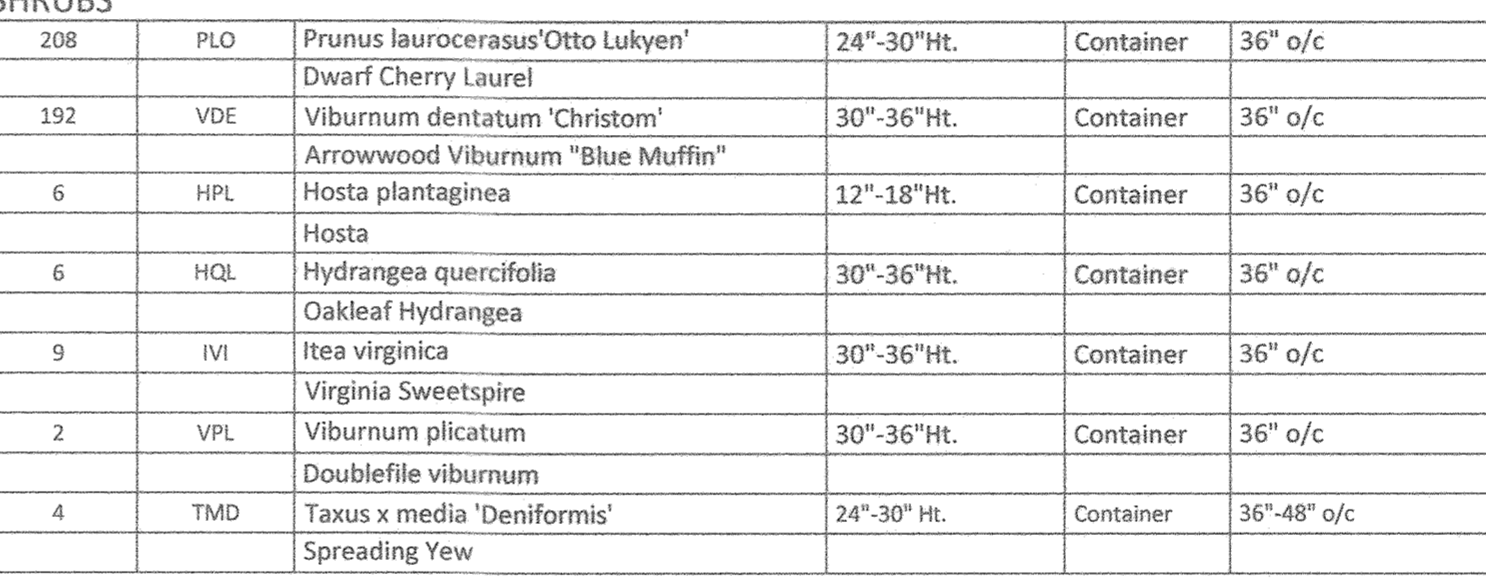
FC AREA	RETENTION	REFORESTATION	TOTAL
1	1.7 ACRES	0	1.7 ACRES
2	2.4 ACRES	0	2.4 ACRES
3	1.9 ACRES	0	1.9 ACRES
4	2.5 ACRES	0	2.5 ACRES
5	2.0 ACRES	0.02 ACRES	2.0 ACRES
6	0.3 ACRES	0	0.3 ACRES
	10.8 ACRES	0.02 ACRES	10.8 ACRES

SCHEDULE A - PERIMETER LANDSCAPE EDGE

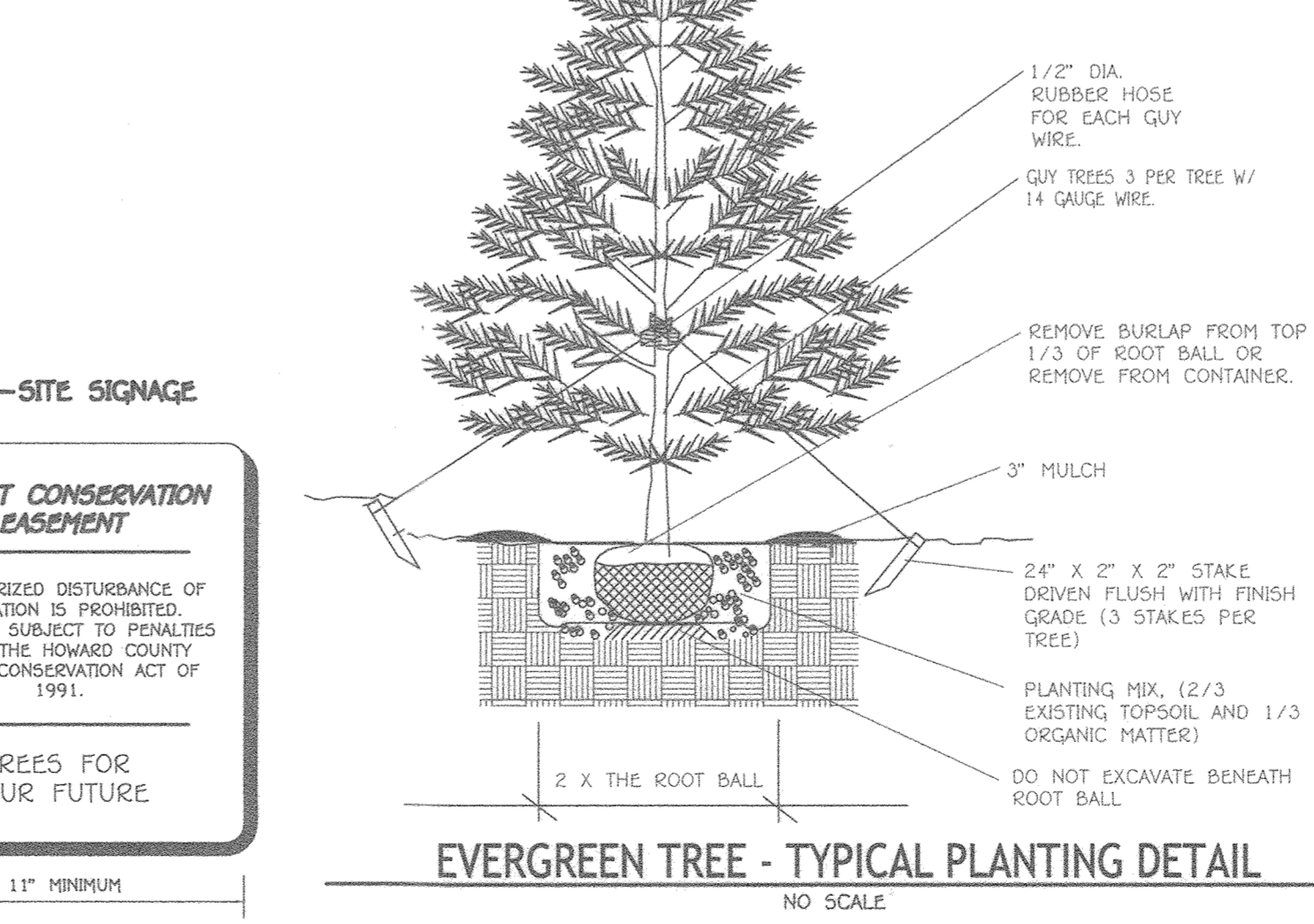
CATEGORY	P-1	P-2	P-3	P-4	P-5	P-6	P-7	P-8	D-1	TOTAL
ADJACENT TO PERIMETER PROPERTIES	ADJACENT TO PERIMETER PROPERTIES	ADJACENT TO PERIMETER PROPERTIES	ADJACENT TO PERIMETER PROPERTIES	ADJACENT TO PERIMETER PROPERTIES	ADJACENT TO PERIMETER PROPERTIES	ADJACENT TO PERIMETER PROPERTIES	ADJACENT TO PERIMETER PROPERTIES	ADJACENT TO PERIMETER PROPERTIES	ADJACENT TO ROADWAY	DUMPSTER SCREENING
LANDSCAPE TYPE	C	C	C	C	C	C	A	E	D	
LINEAR FEET OF PERIMETER	300.0 L.F.	100.0 L.F.	699.3 L.F.	200.0 L.F.	984.2 L.F.	938.8 L.F.	444.7 L.F.	1543 L.F.	106 L.F.	
CREDIT FOR EXISTING TREES (YES/NO, LENGTH)	NO	NO	YES, 217 L.F. (482.3 L.F. REMAINING)	YES, 200.0 L.F. (0 L.F. REMAINING)	YES, 615 L.F. (369.2 L.F. REMAINING)	YES, 50 L.F. (888.8 L.F. REMAINING)	NO	NO	NO	
NUMBER OF PLANTS REQUIRED	(300/40' = 7.5 OR 8)	(100/40' = 2.5 OR 3)	(482.3/40' = 12)	0	(369.2/40' = 9.2 OR 10)	(888.8/40' = 22.2 OR 23)	(444.7/60' = 7.4 OR 8)	(1543/40' = 38.6 OR 39)	(106/60' = 1.8 OR 2)	
SHADE TREES	(300/20' = 15)	(100/20' = 5)	(482.3/20' = 24.1 OR 25)	0	(369.2/20' = 18.5 OR 19)	(888.8/20' = 44.4 OR 45)		(1543/40' = 38.6 OR 39)	(106/20' = 5.3 OR 6)	
EVERGREENS	0	0	0	0	0	0	0	0	0	
SHRUBS	0	0	0	0	0	0	0	0	0	
CREDIT FOR EXISTING VEGETATION	0	0	0	0	0	0	0	0	0	
SHADE TREES	0	0	0	0	0	0	0	0	0	
SMALL/MEDIUM DECIDUOUS TREES/ EVERGREENS	0	0	0	0	0	0	0	0	0	
SHRUBS	0	0	0	0	0	0	0	0	0	
NUMBER OF PLANTS PROVIDED	8	3	12	0	10	23	8	30	2	96
SHADE TREES	0	0	0	0	0	0	0	0	0	
SMALL/MEDIUM DECIDUOUS TREES/ EVERGREENS	0	0	0	0	0	0	0	0	0	
SHRUBS	0	0	0	0	0	0	0	306	11	138
	0	0	0	0	0	0	0	306	0	386

PLANT LIST

QTY.	KEY	BOTANICAL NAME COMMON NAME	SIZE	CONT.	REMARKS
TREES - DECIDUOUS SHADE					
16	BNH	Betula nigra 'Heritage'	10-12" ht. min.	B & B	Multistem/3 trunks min.
		River Birch			
30	PSA	Prunus sargentii	3" - 3-1/2" cal.	B & B	
		Sargent Cherry			
14	GTS	Gleditsia triacanthos inermis 'Shademaster'	3" - 3-1/2" cal.	B & B	
		Thornless Honeylocust			
7	AR	Acer rubrum 'Red Sunset'	2-1/2" - 3" cal.	B & B	
		Red Sunset Red Maple			
14	TCO	Tilia cordata 'Greenspire'	2-1/2" - 3" cal.	B & B	
		Greenspire Littleleaf Linden			
14	UPA	Ulmus parvifolia 'Frontier'	2-1/2" - 3" cal.	B & B	
		Chinese Elm			
33	QRU	Quercus rubra	2-1/2" - 3" cal.	B & B	
		Red Oak			
2	ALA	Amelanchier laevis	1" cal.	B & B	
		Serviceberry			
TREES - EVERGREEN					
55	TP	Thuja x plicata 'Green Giant'	6'-8'Ht.	B & B	
		Green Giant Arborvitae			
26	IOF	Ilex x opaca	6'-8'Ht.	B & B	
		American Holly			
58	PS	Picea abies	6'-8'Ht.	B & B	
		Norway Spruce			
SHRUBS					
208	PLO	Prunus laurocerasus 'Otto Lukyer'	24"-30"Ht.	Container	36" o/c
		Dwarf Cherry Laurel			
192	VDE	Viburnum dentatum 'Christom'	30"-36"Ht.	Container	36" o/c
		Arrowwood Viburnum "Blue Muffin"			
6	HPL	Hosta plantaginea	12"-18"Ht.	Container	36" o/c
		Hosta			
6	HQL	Hydrangea quercifolia	30"-36"Ht.	Container	36" o/c
		Oakleaf Hydrangea			
9	IVI	Itea virginica	30"-36"Ht.	Container	36" o/c
		Virginia Sweetpire			
2	VPL	Viburnum plicatum	30"-36"Ht.	Container	36" o/c
		Doublefile viburnum			
4	TMD	Taxus x media 'Deniformis'	24"-30" Ht.	Container	36"-48" o/c
		Spreading Yew			



EVERGREEN TREE - TYPICAL PLANTING DETAIL
NO SCALE



DECIDUOUS TREE - TYPICAL PLANTING DETAIL
NO SCALE

PLANT LIST per (WP-17-109)

QTY.	KEY	BOTANICAL NAME COMMON NAME	SIZE	CONT.	REMARKS
TREES - DECIDUOUS SHADE					
31	BL	Platanus x acerifolia 'Bloodgood'	2-1/2" - 3" cal.	B & B	
		Bloodgood London Plane			
31	RS	Acer rubrum 'Red Sunset'	2-1/2" - 3" cal.	B & B	
		Red Sunset Red Maple			

PLANTING SPECIFICATIONS

PLANTS, RELATED MATERIAL, AND OPERATIONS SHALL MEET THE DETAILED DESCRIPTION AS GIVEN ON THE PLANS AND AS DESCRIBED HEREIN.

ALL PLANT MATERIAL, UNLESS OTHERWISE SPECIFIED, SHALL BE NURSERY GROWN, UNIFORMLY BRANCHED, HAVE A VIGOROUS ROOT SYSTEM, AND SHALL CONFORM TO THE SPECIES, SIZE, ROOT AND SHAPE SHOWN ON THE PLANT LIST AND THE AMERICAN ASSOCIATION OF NURSERYMEN (AAN) STANDARDS. PLANT MATERIAL SHALL BE HEALTHY, VIGOROUS, FREE FROM PESTS, DISEASE, DISFIGURING ROOTS, SUN SCALD INJURIES, ABRASIONS OF THE BARK, PLANT DISEASE, INSECT PEST EGGS, BORES AND ALL FORMS OF INSECT INFESTATIONS OR OBJECTIONABLE DISFIGUREMENTS. PLANT MATERIAL THAT IS WEAK OR WHICH HAS BEEN CUT BACK FROM LARGER GRADES TO MEET SPECIFIED REQUIREMENTS WILL BE REJECTED. TREES WITH FORKED LEADERS WILL NOT BE ACCEPTED. ALL PLANTS SHALL BE FRESHLY DUG; NO HEALED-IN PLANTS FROM COLD STORAGE WILL BE ACCEPTED.

UNLESS OTHERWISE SPECIFIED, ALL GENERAL CONDITIONS, PLANTING OPERATIONS, DETAILS AND PLANTING SPECIFICATION SHALL CONFORM TO "LANDSCAPE SPECIFICATIONS FOR BALTIMORE-WASHINGTON METROPOLITAN AREAS" (HEREINAFTER "LANDSCAPE GUIDELINES") APPROVED BY THE LANDSCAPE CONTRACTORS ASSOCIATION OF METROPOLITAN WASHINGTON AND THE POTOMAC CHAPTER OF THE AMERICAN SOCIETY OF LANDSCAPE ARCHITECT, LATEST EDITION, INCLUDING ALL ADDENDA.

CONTRACTOR SHALL BE REQUIRED TO GUARANTEE ALL PLANT MATERIAL FOR A PERIOD OF ONE YEAR AFTER DATE OF ACCEPTANCE IN ACCORDANCE WITH THE APPROPRIATE SECTION OF THE LANDSCAPE GUIDELINES. CONTRACTOR'S ATTENTION IS DIRECTED TO THE MAINTENANCE REQUIREMENTS FOUND WITHIN THE ONE YEAR SPECIFICATIONS INCLUDING WATERING AND REPLACEMENT OF SPECIFIED PLANT MATERIAL.

BID SHALL BE BASED ON ACTUAL SITE CONDITIONS. NO EXTRA PAYMENT SHALL BE MADE FOR WORK ARISING FROM SITE CONDITIONS DIFFERING FROM THOSE INDICATED ON DRAWINGS AND SPECIFICATIONS.

ALL SHRUBS SHALL BE PLANTED IN CONTINUOUS TRENCHES OR PREPARED PLANTING BEDS AND MULCHED WITH COMPOSTED HARDWOOD MULCH AS DETAILS AND SPECIFIED EXCEPT WHERE NOTED ON PLANS.

POSITIVE DRAINAGE SHALL BE MAINTAINED IN PLANTING BEDS (2 PERCENT SLOPE).

PLANTING MIX SHALL BE AS FOLLOWS: DECIDUOUS PLANTS - TWO PARTS TOPSOIL, ONE PART WELL-ROTTED COW OR HORSE MANURE. ADD 3 LBS. OF STANDARD FERTILIZER PER CUBIC YARD OF PLANTING MIX. EVERGREEN PLANTS - TWO PARTS TOPSOIL, ONE PART HUMUS OR OTHER APPROVED ORGANIC MATERIAL. ADD 3 LBS. OF EVERGREEN (ACIDIC) FERTILIZER PER CUBIC YARD OF PLANTING MIX. TOPSOIL SHALL CONFORM TO THE LANDSCAPE GUIDELINES.

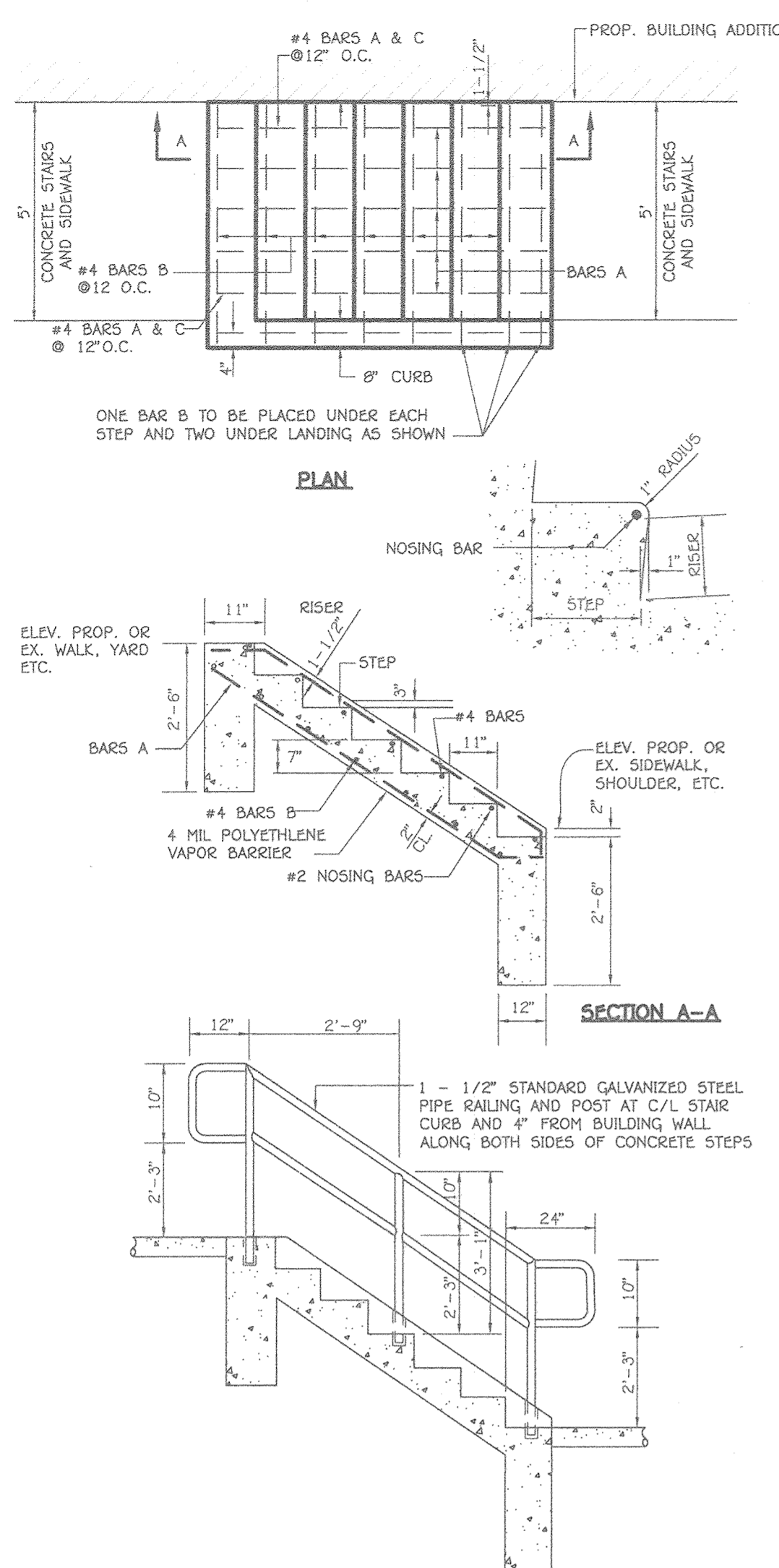
WEED CONTROL: INCORPORATE A PRE-EMERGENT HERBICIDE INTO THE PLANTING BED FOLLOWING RECOMMENDED RATES ON THE LABEL. CAUTION: BE SURE TO CAREFULLY CHECK THE CHEMICAL USED TO ASSURE ITS ADAPTABILITY TO THE SPECIFIC GROUND COVER TO BE TREATED.

ALL AREAS WITHIN CONTRACT LIMITS DISTURBED DURING OR PRIOR TO CONSTRUCTION NOT DESIGNATED TO RECEIVE PLANTS AND MULCH SHALL BE FINE GRADED AND SEEDED.

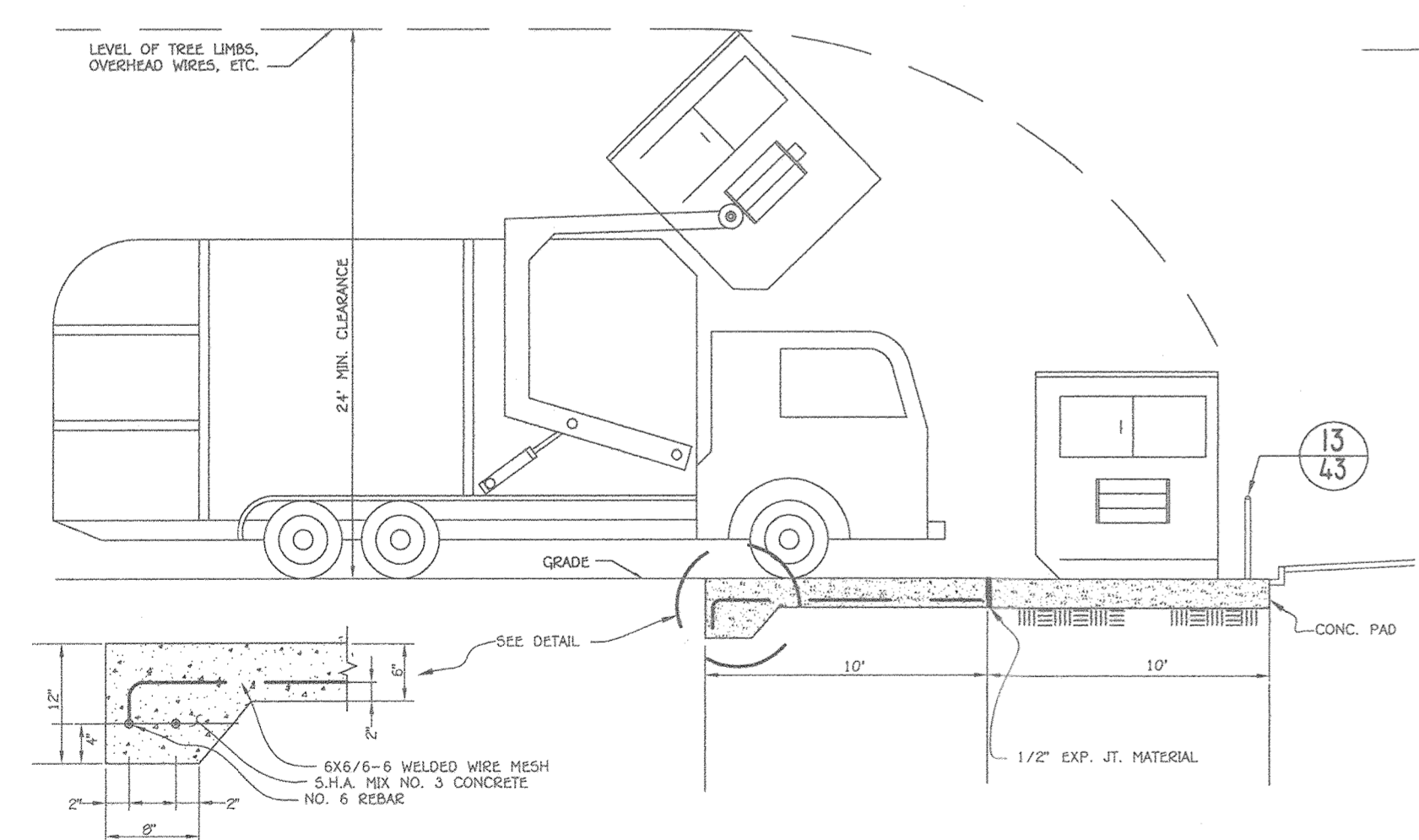
PLANTING NOTES:

- THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH SECTION 16.124 OF HOWARD COUNTY CODE AND LANDSCAPE MANUAL AND IS TO BE USED FOR PLANTING ONLY. LANDSCAPING SHALL BE PROVIDED AS SHOWN ON THIS PLAN SHEET. NO SURETY IS REQUIRED SINCE THIS IS A HOWARD COUNTY BOARD OF EDUCATION PROJECT.
 - CONTRACTOR SHALL NOTIFY ALL UTILITIES AT LEAST FIVE (5) DAYS BEFORE STARTING WORK. ALL GENERAL NOTES FROM SHEET 1, SHALL APPLY.
 - FIELD VERIFY UNDERGROUND UTILITY LOCATIONS AND EXISTING CONDITIONS BEFORE STARTING PLANTING WORK, EVEN WHERE PLANT LOCATIONS ARE DIMENSIONED. CONTACT CONSTRUCTION MANAGER IF ANY RELOCATION ARE REQUIRED.
 - PLANT QUANTITIES SHOWN ON PLANT LIST ARE PROVIDED FOR THE CONVENIENCE OF THE CONTRACTOR ONLY. IF DISCREPANCIES EXIST BETWEEN QUANTITIES SHOWN ON THE PLAN AND THOSE SHOWN ON THE PLANT LIST, THE QUANTITIES ON THE PLAN SHALL TAKE PRECEDENCE.
 - ALL PLANT MATERIALS SHALL BE FULL AND HEAVY, BE WELL FORMED AND SYMMETRICAL, CONFORM TO THE A.A.N. SPECIFICATIONS, AND BE INSTALLED IN ACCORDANCE WITH PROJECT SPECIFICATIONS.
 - ALL AREAS DISTURBED BY CONSTRUCTION ACTIVITIES BUT NOT OTHERWISE PLANTED, PAVED OR MULCHED SHALL BE SEEDDED IN ACCORDANCE WITH PROJECT SPECIFICATIONS.
 - ALL EXPOSED EARTH WITHIN THE LIMITS OF THE PLANTING BEDS SHALL BE MULCHED WITH SHREDED HARDWOOD MULCH PER PLANTING DETAILS.
 - THE CONTRACTOR SHALL NOTIFY THE OWNER IN WRITING IF SOIL OR DRAINAGE CONDITIONS ARE ENCOUNTERED WHICH MAY BE DETRIMENTAL TO THE GROWTH OF PLANTS.
 - NO SUBSTITUTION SHALL BE MADE WITHOUT WRITTEN CONSENT OF THE OWNER OR HIS REPRESENTATIVE.
 - REFER TO OTHER SITE DWGS. FOR ADDITIONAL SEEDING REQUIREMENTS.
- Note: THERE IS NO LANDSCAPING SURETY REQUIRED FOR THE LANDSCAPE PLAN.

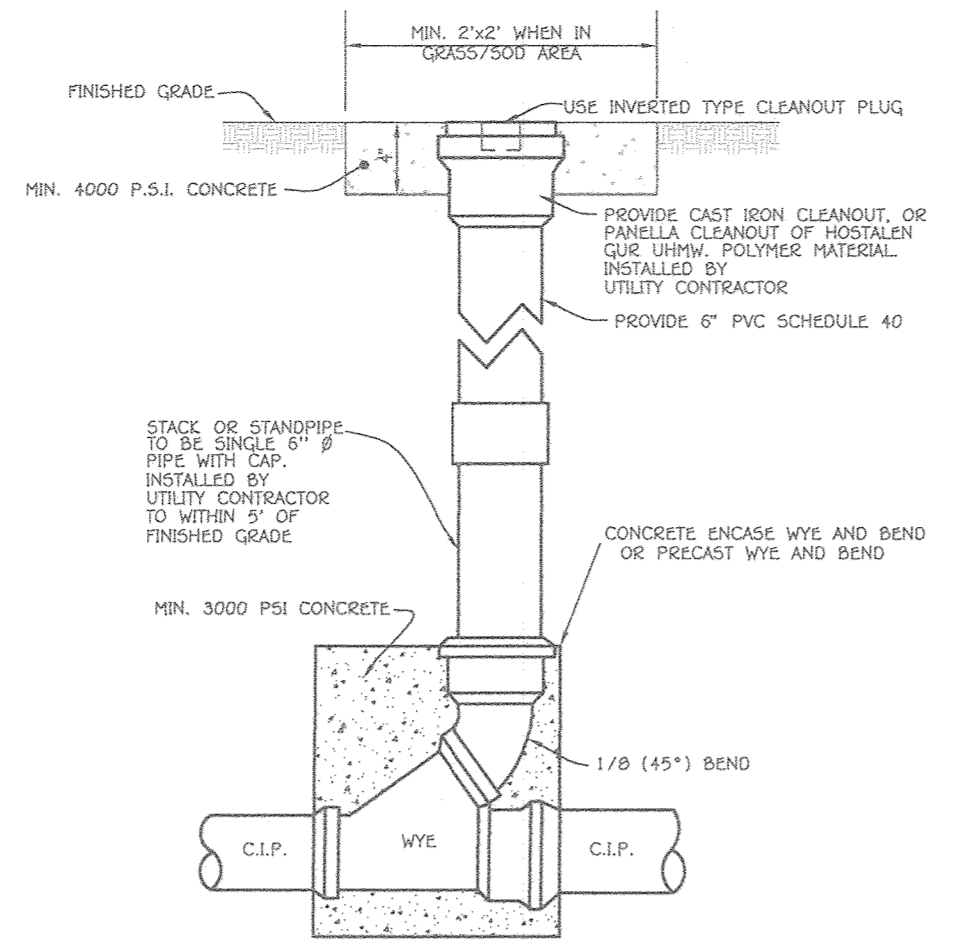
DEVELOPER'S / BUILDER'S CERTIFICATE
I/WE CERTIFY THAT THE LANDSCAPING SHOWN ON THIS PLAN WAS DONE ACCORDING TO THE PLAN, SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE HOWARD COUNTY LANDSCAPE MANUAL. I/WE FURTHER CERTIFY THAT UPON COMPLETION, A LETTER OF LANDSCAPE INSTALLATION ACCOMPANIED BY AN EXECUTED ONE YEAR GUARANTEE OF PLANT MATERIALS WILL BE SUBMITTED TO THE DEPARTMENT OF PLANNING AND ZONING.



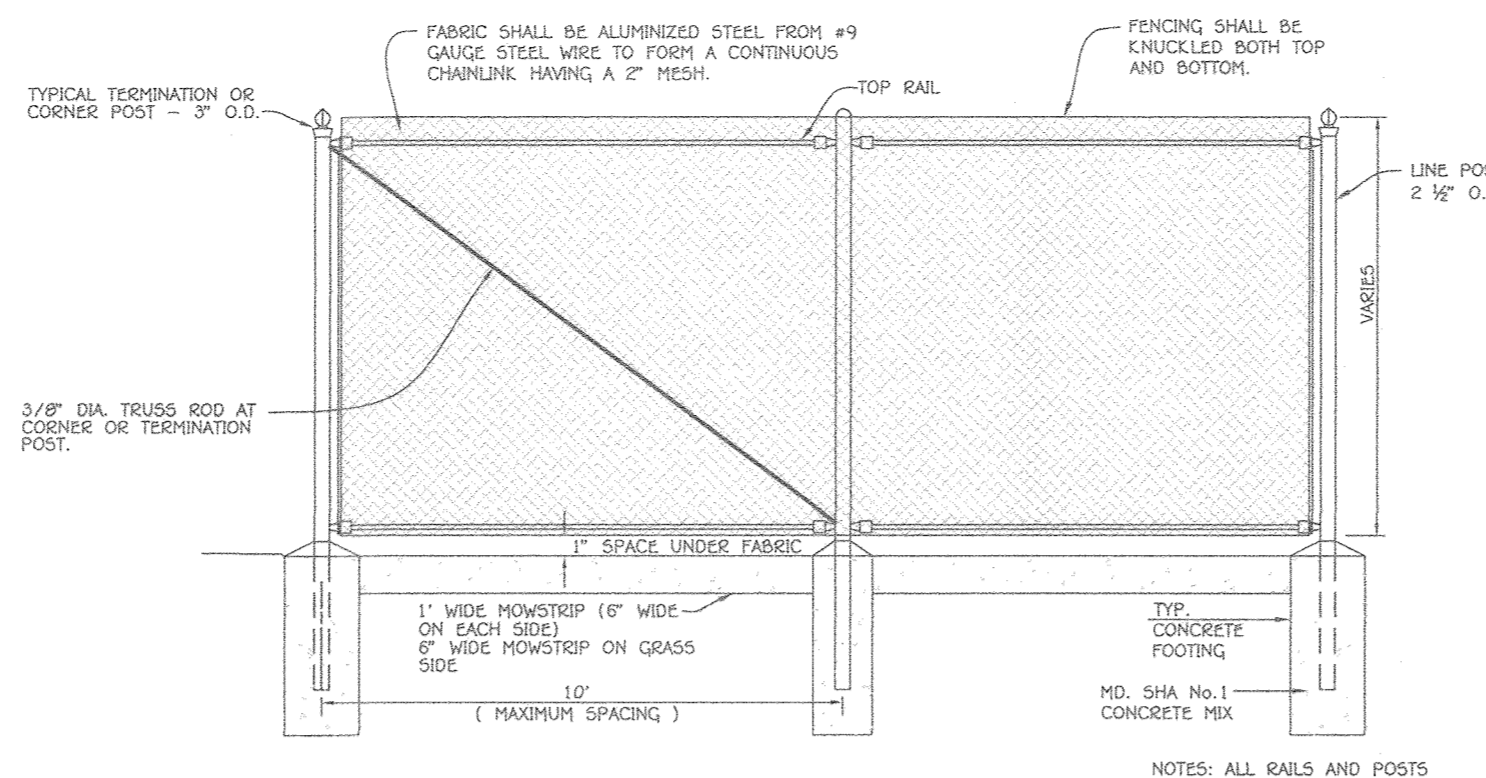
1 CONCRETE STEPS AND HANDRAIL DETAIL
NO SCALE
(SEE HO. CO. VOLUME IV DESIGN MANUAL G-7.02)



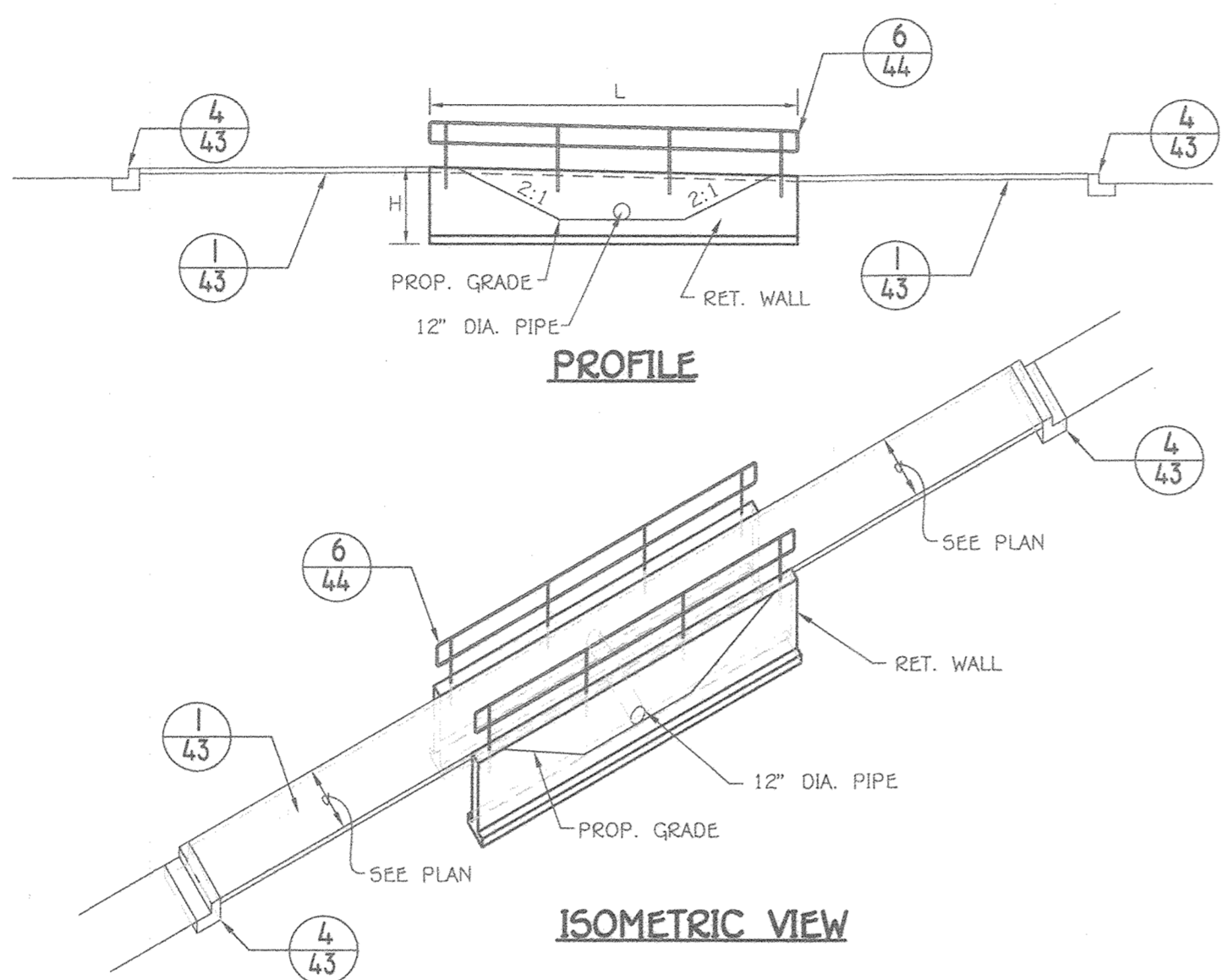
2 SOLID WASTE SERVICE DETAIL
NOT TO SCALE
(SEE HO. CO. VOLUME IV DESIGN MANUAL R-8.03)



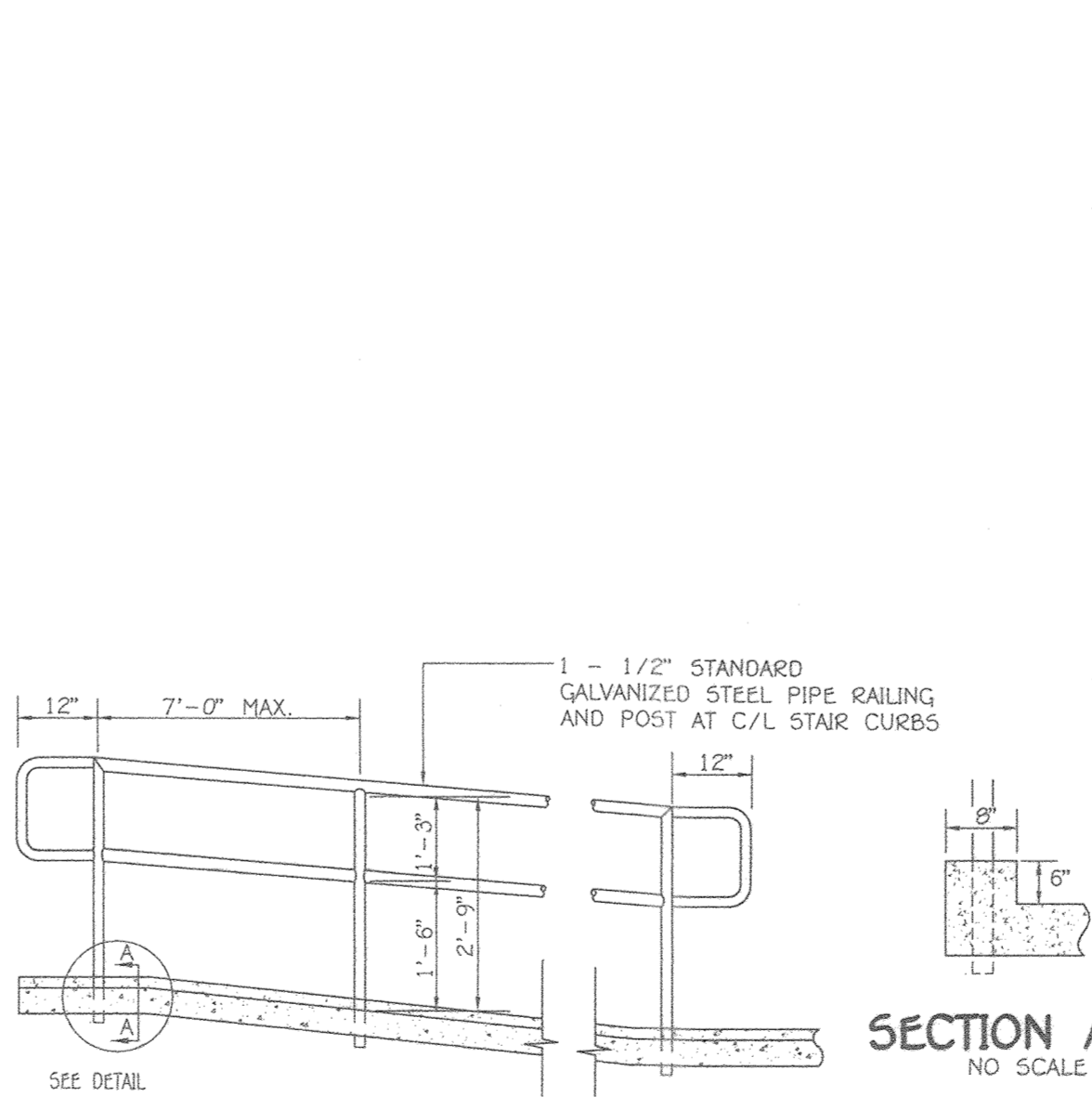
3 TYPICAL CLEAN-OUT
NO SCALE



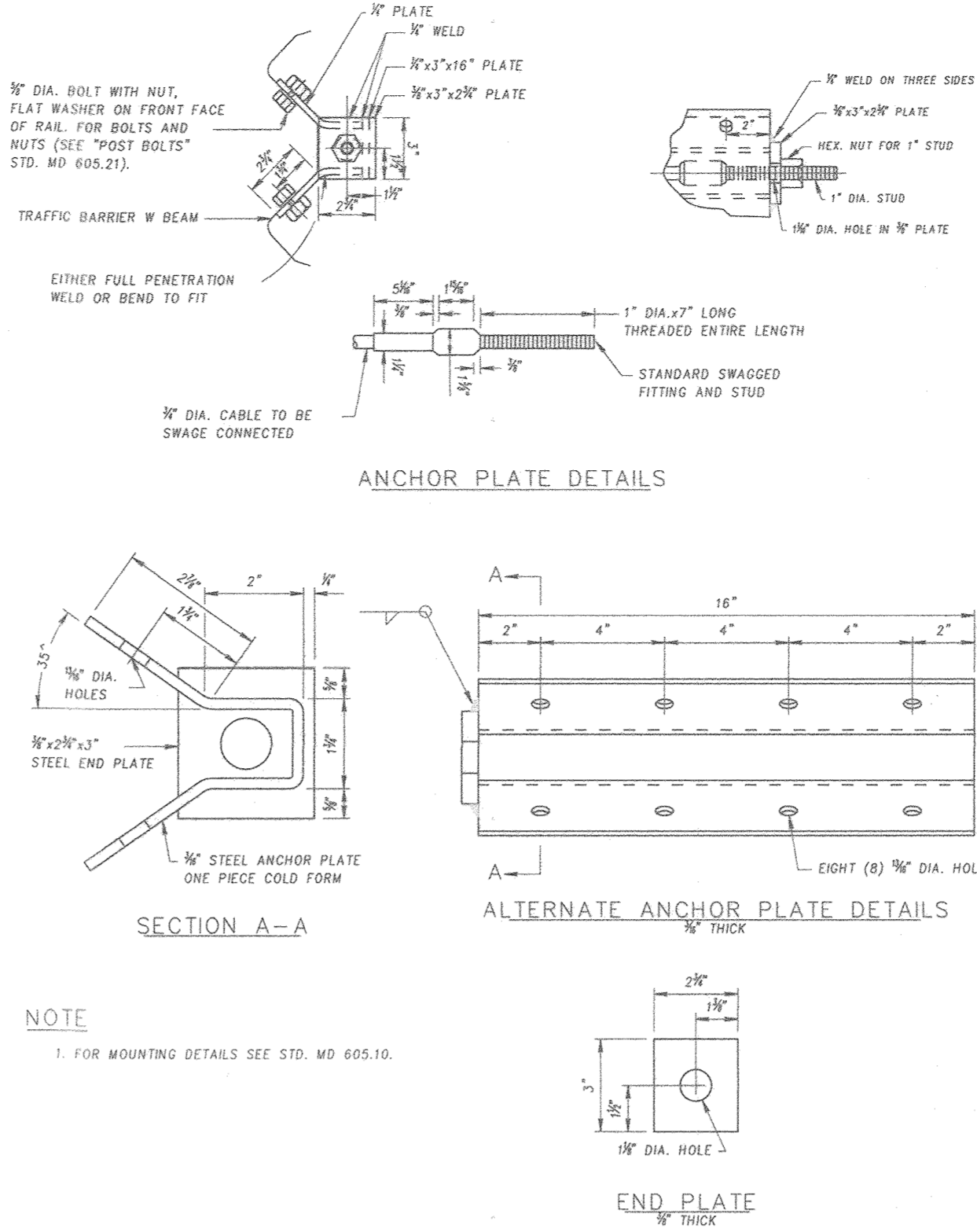
5 CHAIN LINK FENCE DETAIL
NO SCALE
(SEE HO. CO. VOLUME IV DESIGN MANUAL G-7.21)



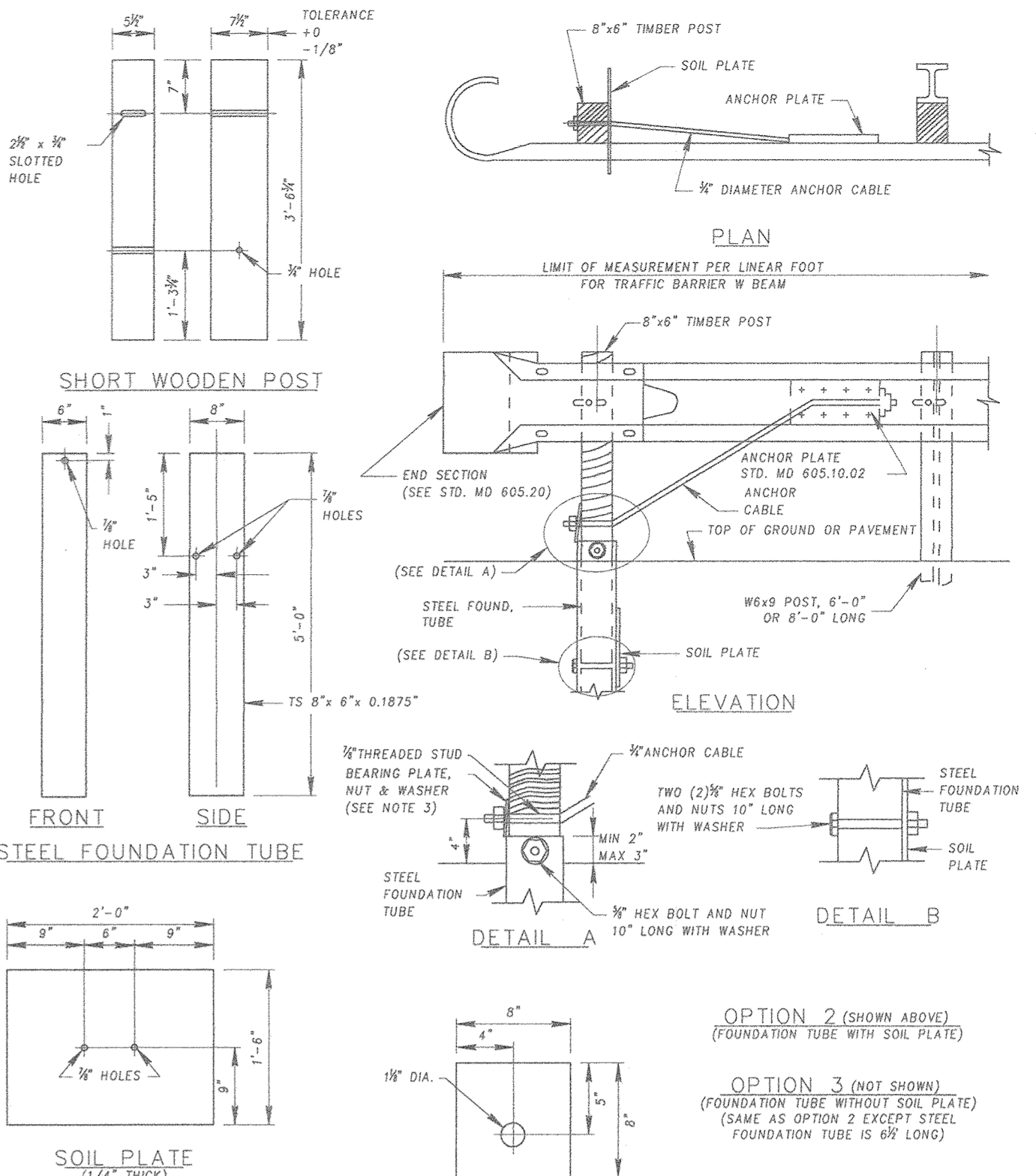
6 SWM RETAINING WALL DETAIL
NO SCALE



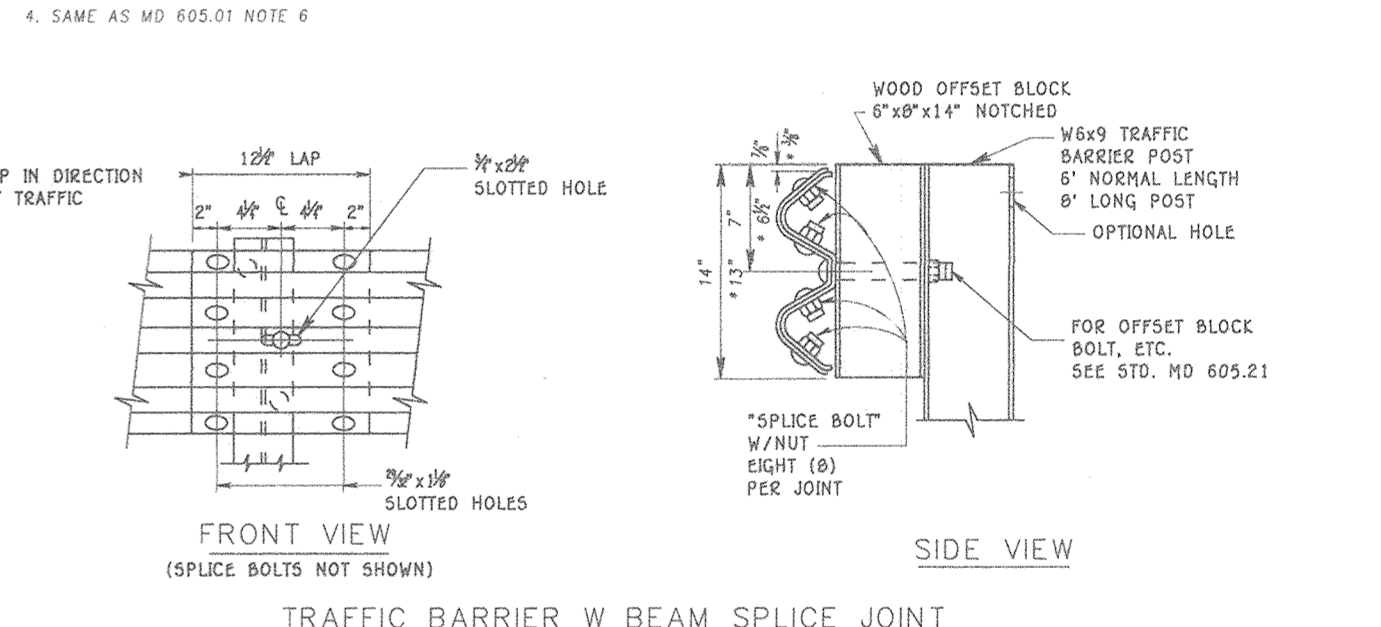
6 HANDRAIL DETAIL
NO SCALE



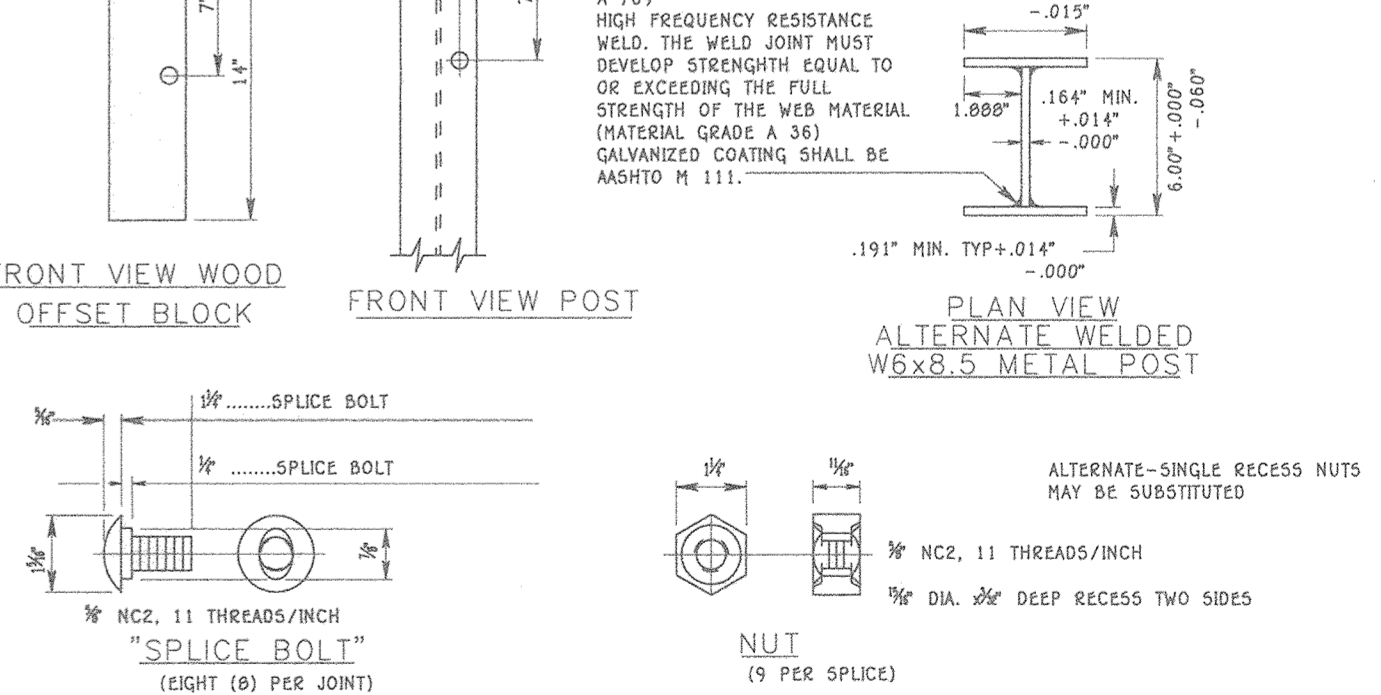
ANCHOR PLATE DETAILS
NOTE: 1. FOR MOUNTING DETAILS SEE STD. MD 605.10.



STEEL FOUNDATION TUBE
BEARING PLATE (5/8\"/>



TRAFFIC BARRIER W BEAM SPLICE JOINT



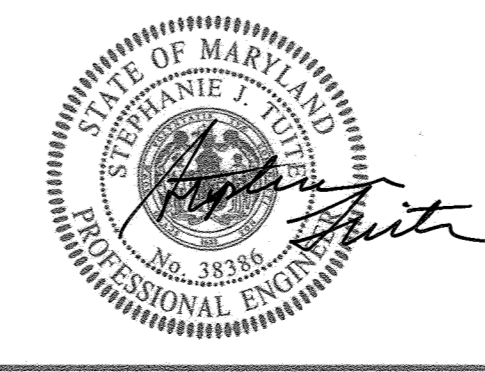
TRAFFIC BARRIER W BEAM METAL POST, W BEAM SPLICE AND WOOD OFFSET BLOCK
NO SCALE

"PROFESSIONAL CERTIFICATION, I HEREBY CERTIFY THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 38386, EXPIRATION DATE: JANUARY 12, 2022."
Stephanie J. Tuite
STEPHANIE J. TUITE, RLA, P.E., LEED AP BC&D
8/17/20
DATE

DATE	DESCRIPTION
16-5-20	Date
10/5/20	Date
9-21-20	Date

APPROVED: DEPARTMENT OF PLANNING AND ZONING
Director, Department of Planning and Zoning
Chief, Division of Land Development
Chief, Development Engineering Division

PREPARED FOR
HOWARD COUNTY PUBLIC SCHOOL SYSTEM
9020 MENDENHALL COURT
SUITE 'C'
COLUMBIA, MARYLAND 21045
Attention: DANIEL LUBELEY
410-313-8203

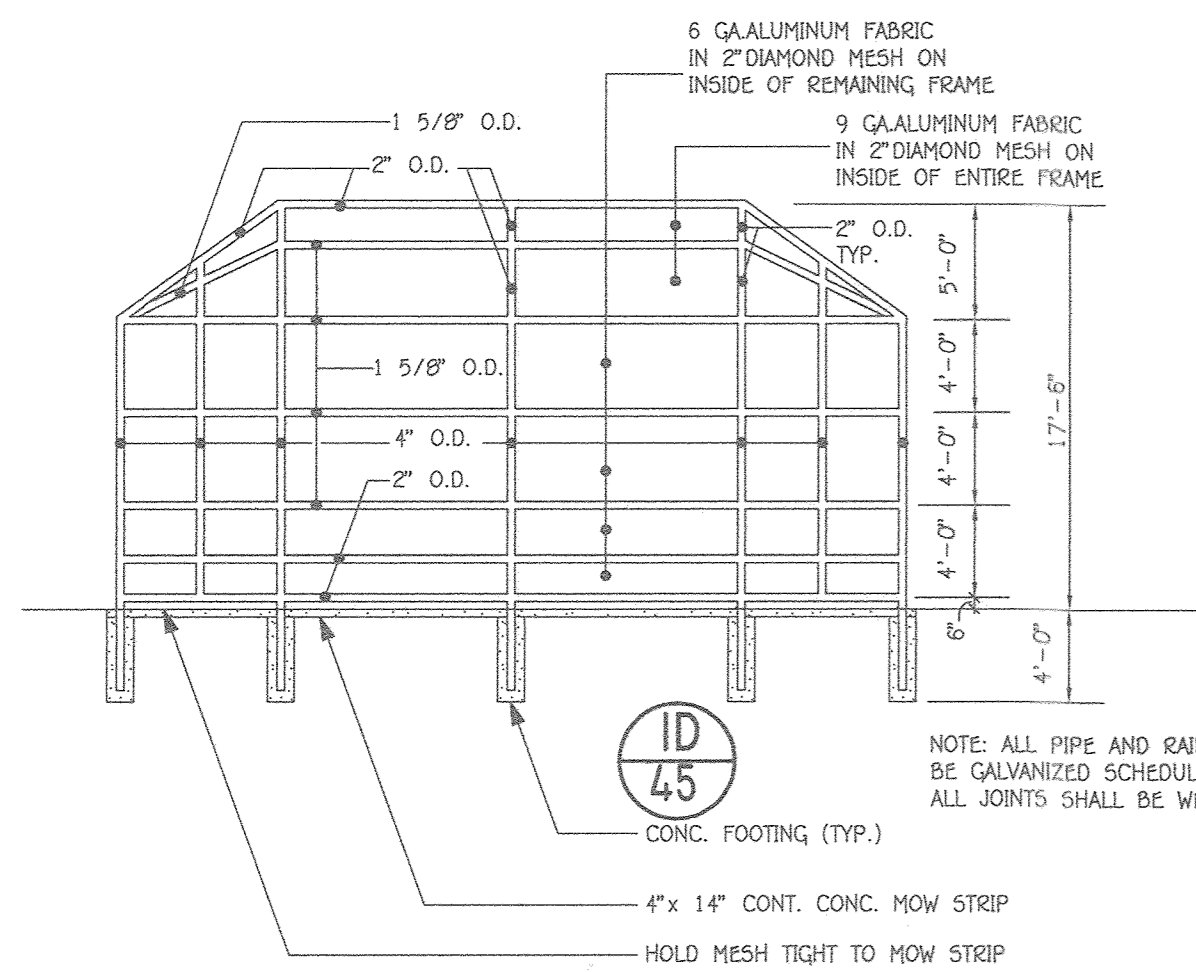


ADDRESS CHART	
PARCEL NO.	STREET ADDRESS
	8500 RIDGELYS RUN ROAD JESSUP, MARYLAND 20794

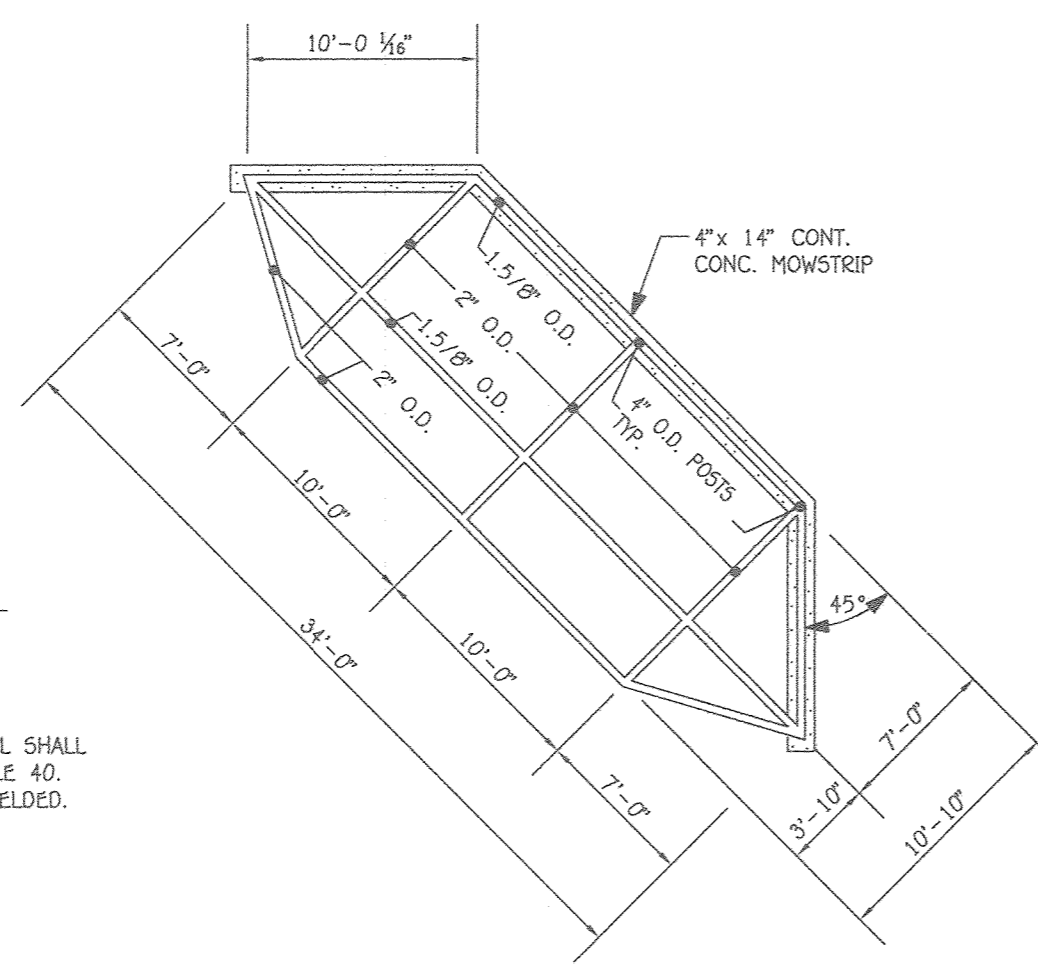
PROJECT	SECTION/AREA	PARCEL
HIGH SCHOOL #13	N/A	102, 349, 235

PLAT NO.	BLOCK NO.	ZONE	TAX MAP	ELEC. DIST.	CENSUS TR.
R5528-10 & 24	R-12	RSC MXD-3	42 & 43	SIXTH	606901
R5532-13 & 19	R-12	RSA-8 MXD-3			

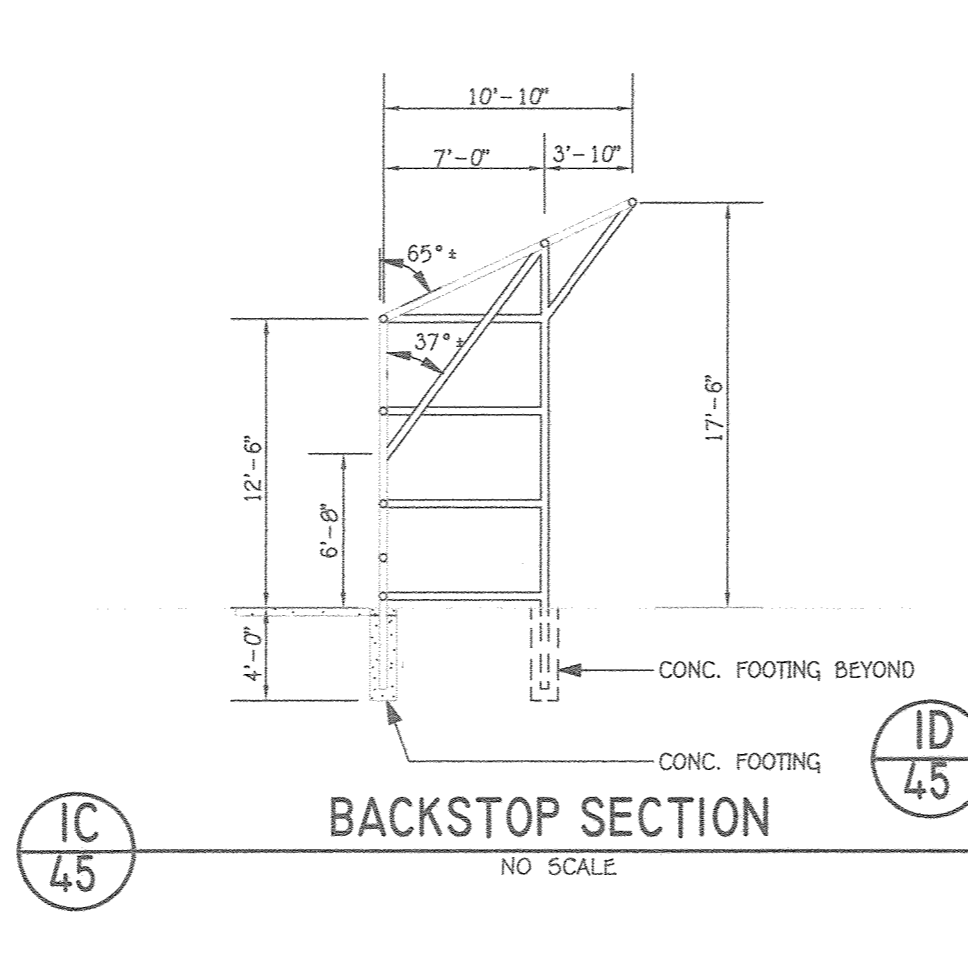
DETAIL SHEET - SITE	
HIGH SCHOOL #13 PARCELS 'A' THRU 'D'	
ZONED: R-5C MXD-3, R-5A-B MXD-3 AND R-12	
PARCEL Nos.: 102, 349, 235	
TAX MAP No.: 42 & 43 GRID No.: 24 & 19	
SIXTH ELECTION DISTRICT HOWARD COUNTY, MARYLAND	
SCALE: AS SHOWN DATE: AUGUST, 2020	
SHEET 44 OF 131	



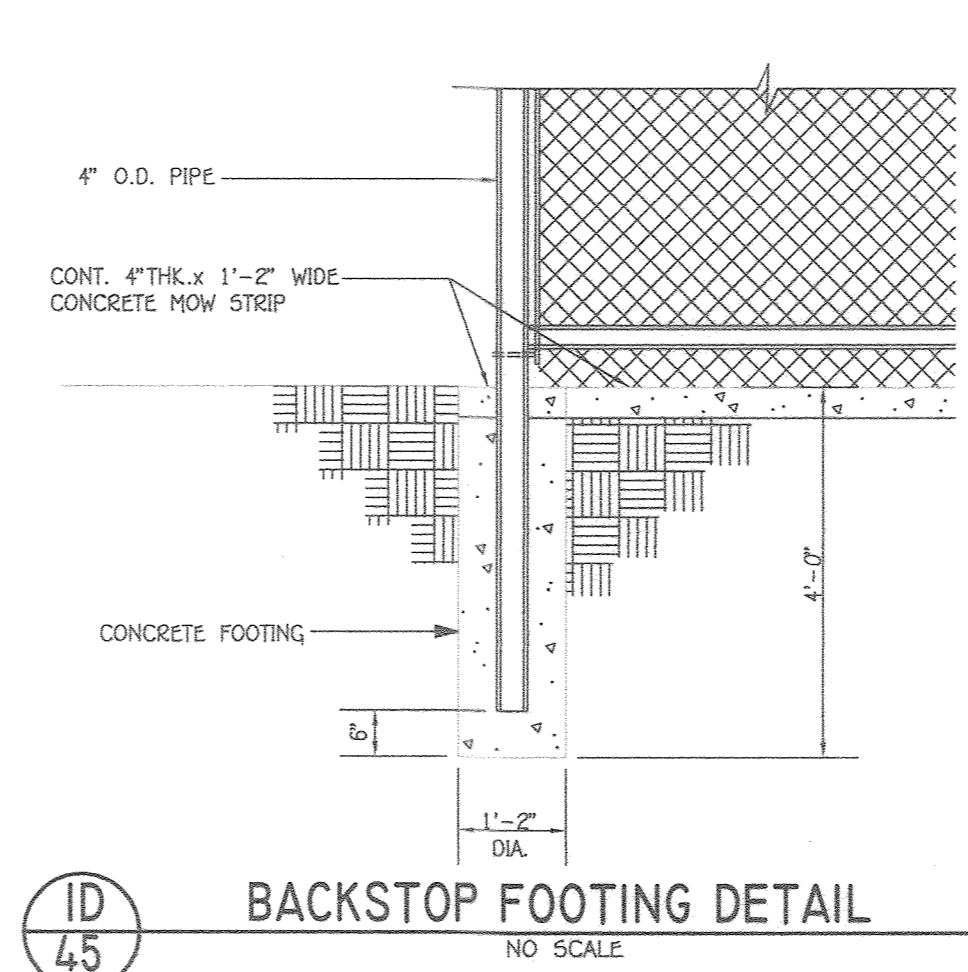
1A
45
BACKSTOP ELEVATION
NO SCALE



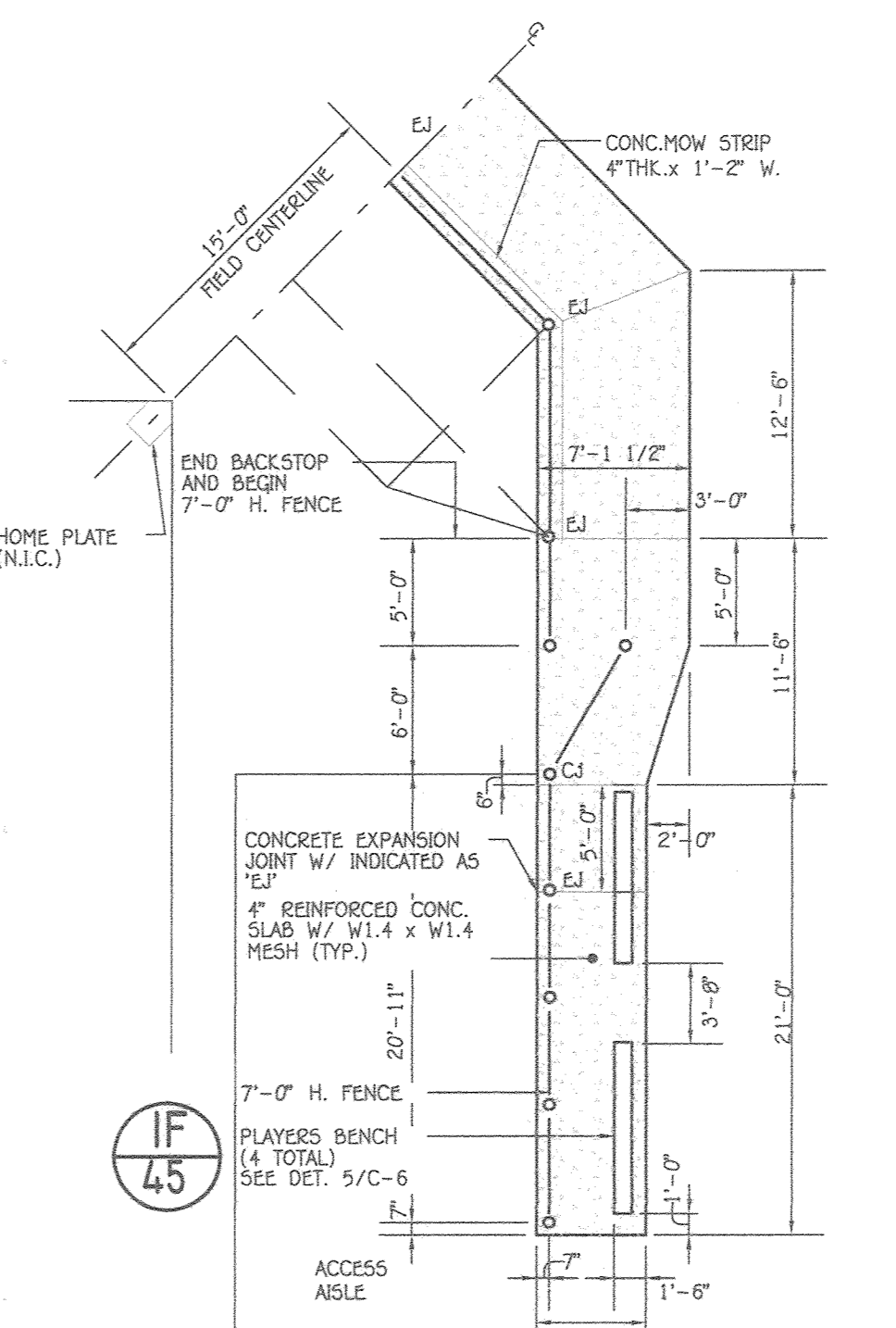
1B
45
BACKSTOP PLAN
NO SCALE



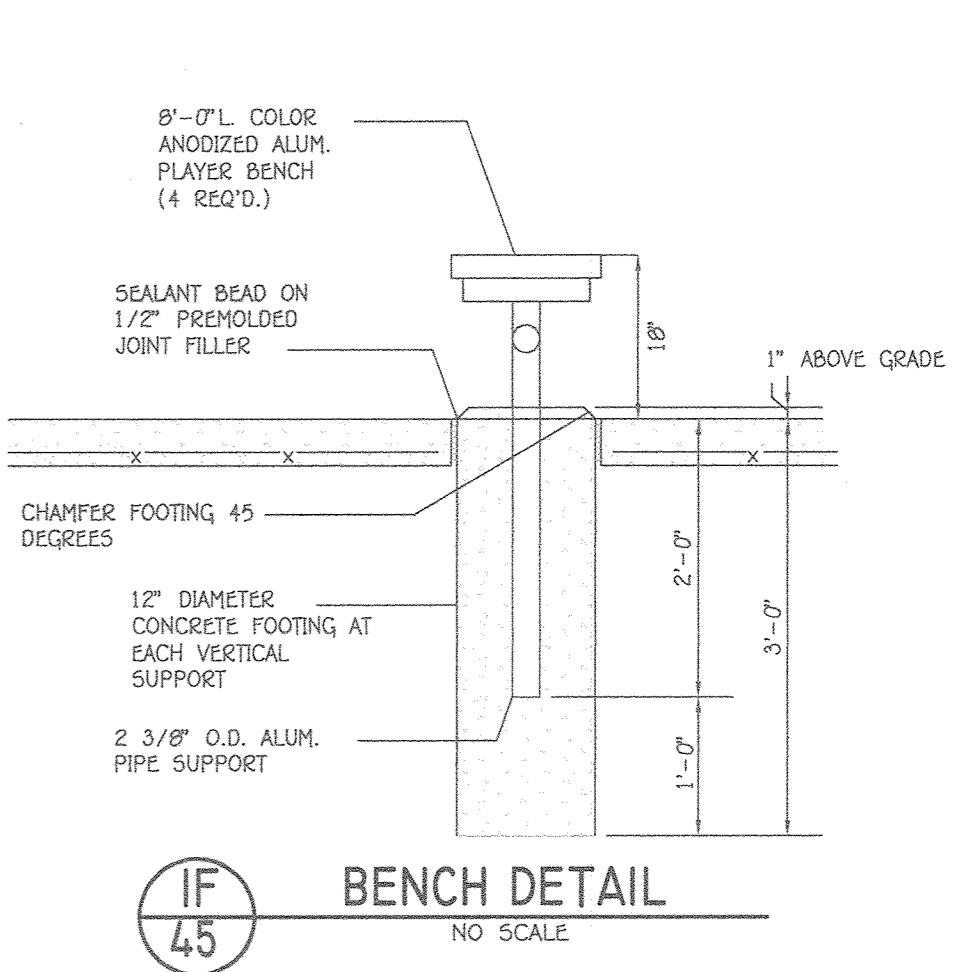
1C
45
BACKSTOP SECTION
NO SCALE



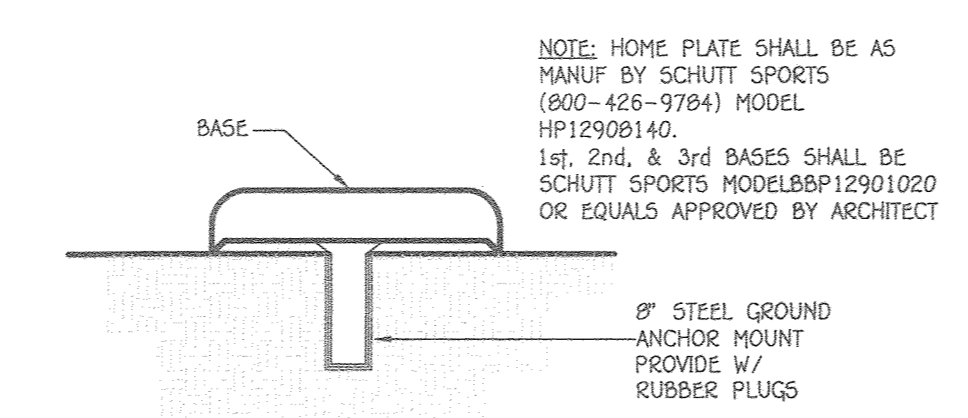
1D
45
BACKSTOP FOOTING DETAIL
NO SCALE



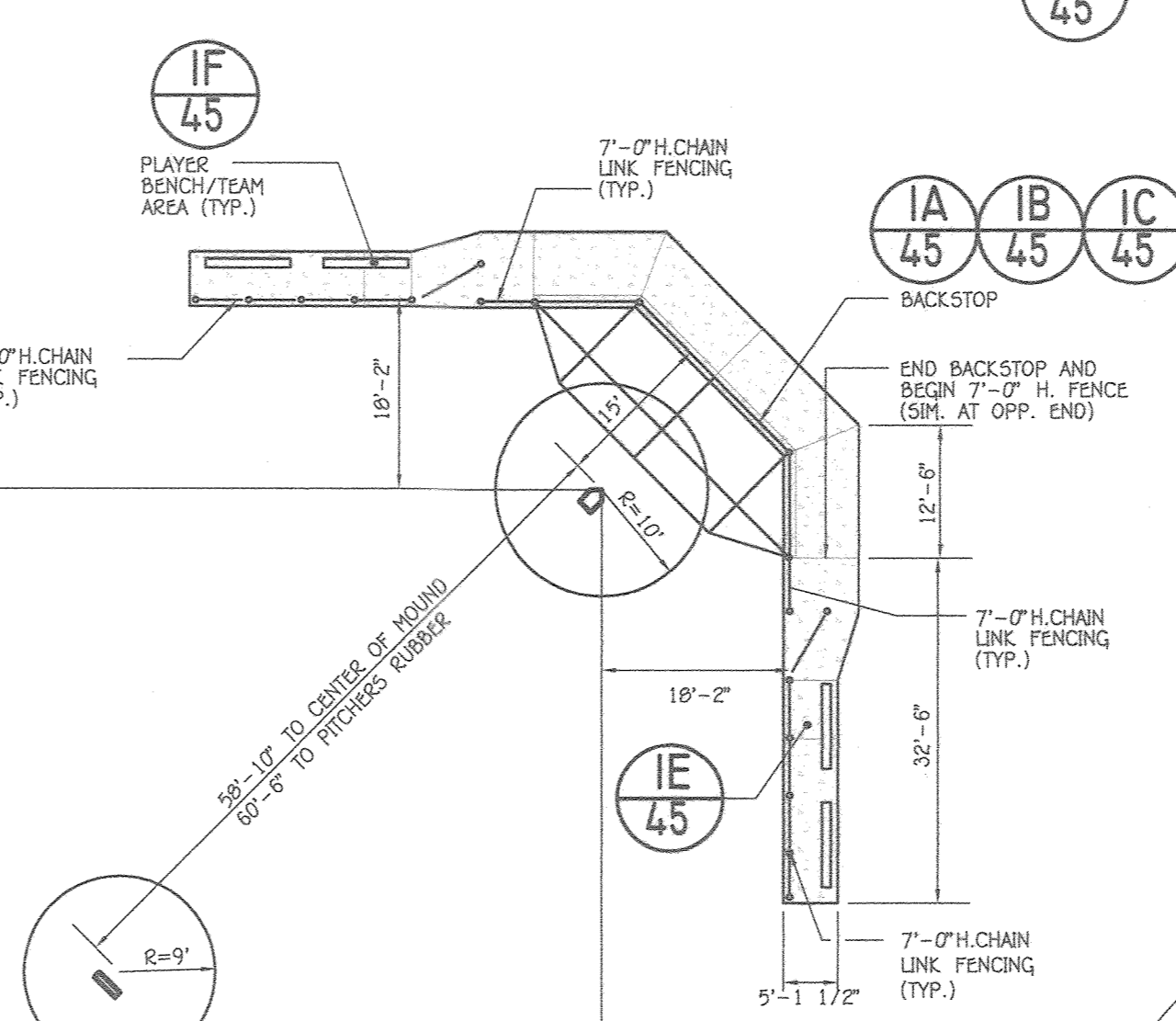
1E
45
CONCRETE BACKSTOP PLATFORM
NO SCALE



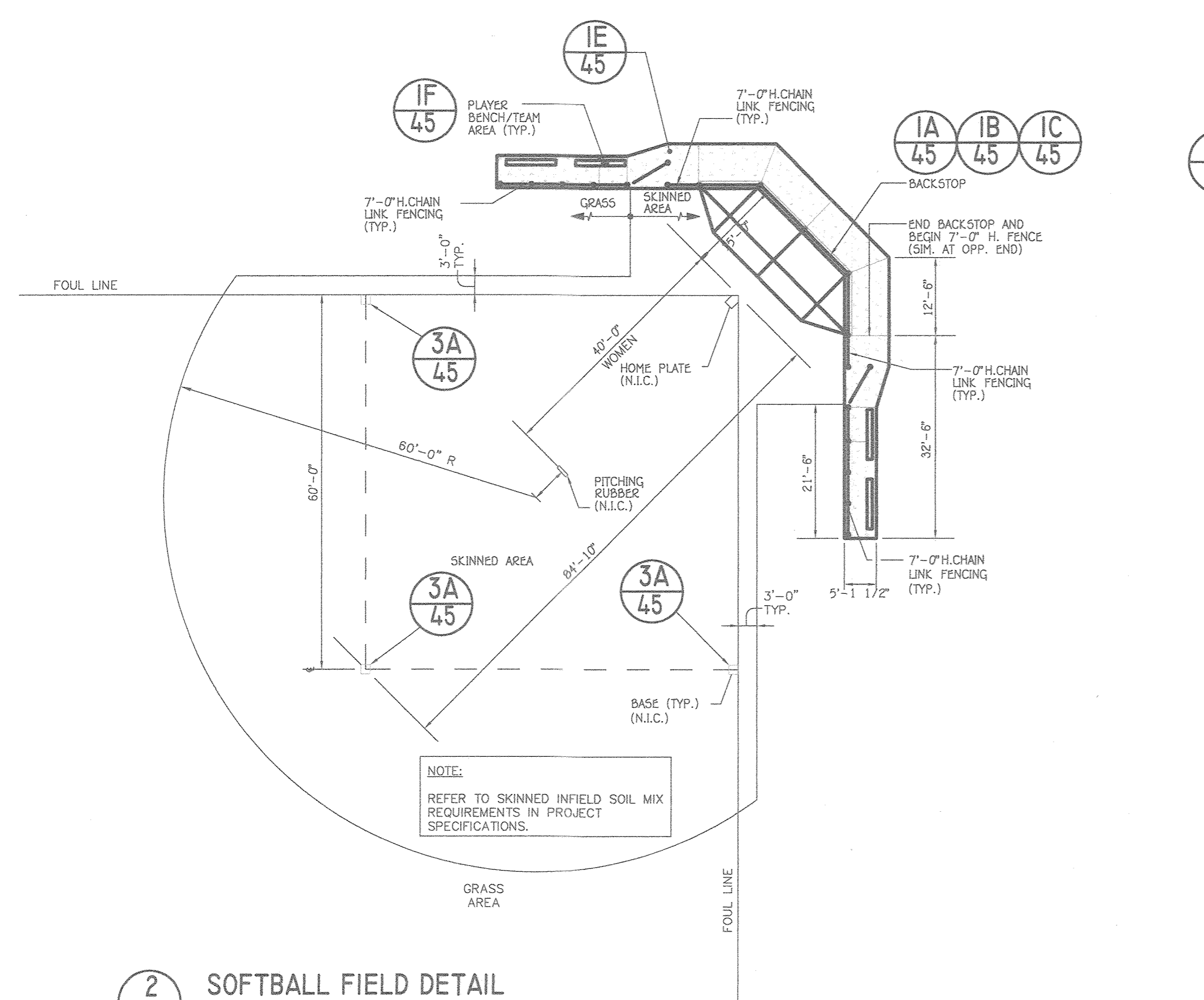
1F
45
BENCH DETAIL
NO SCALE



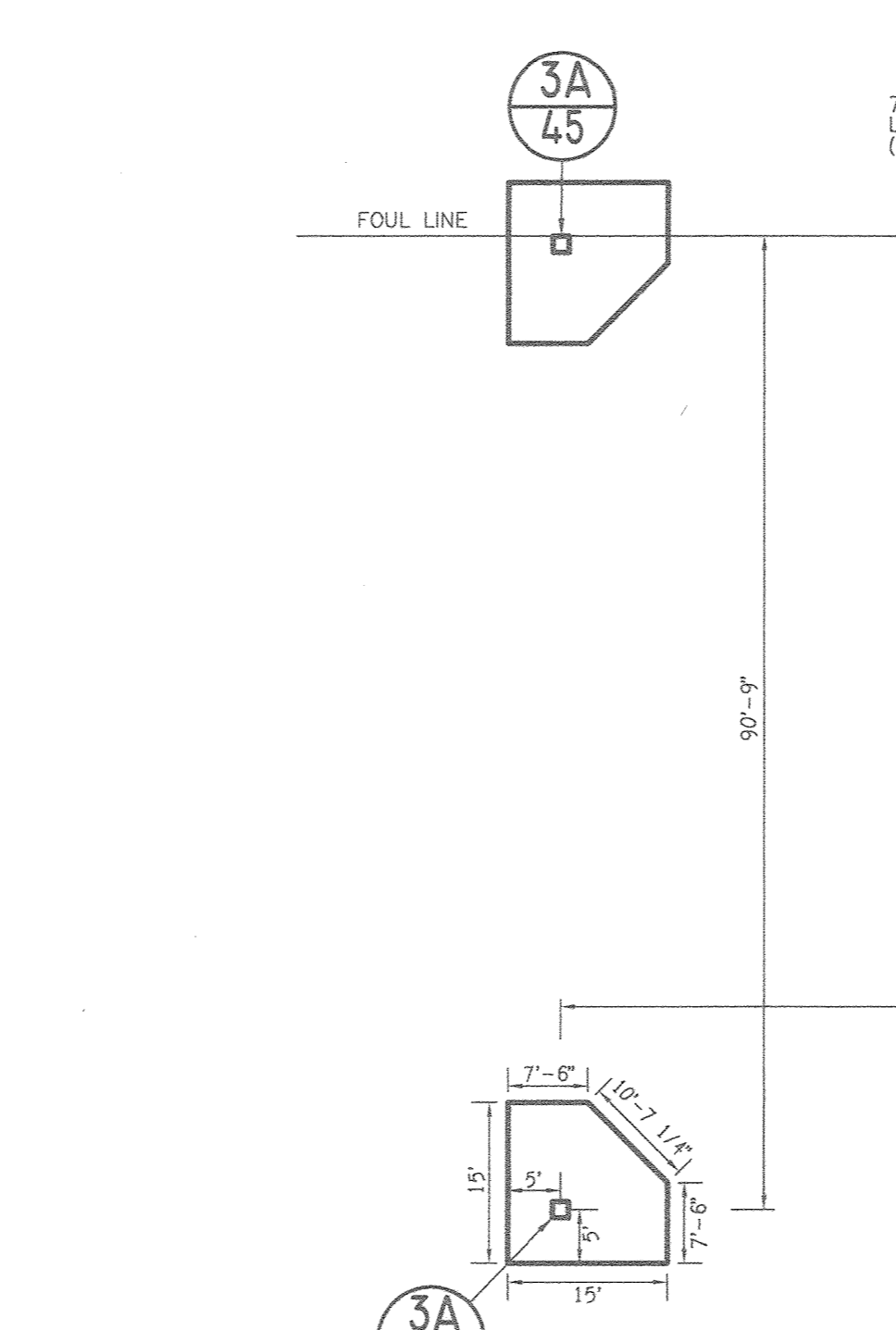
3A
45
BASE MOUNT DETAIL
NO SCALE



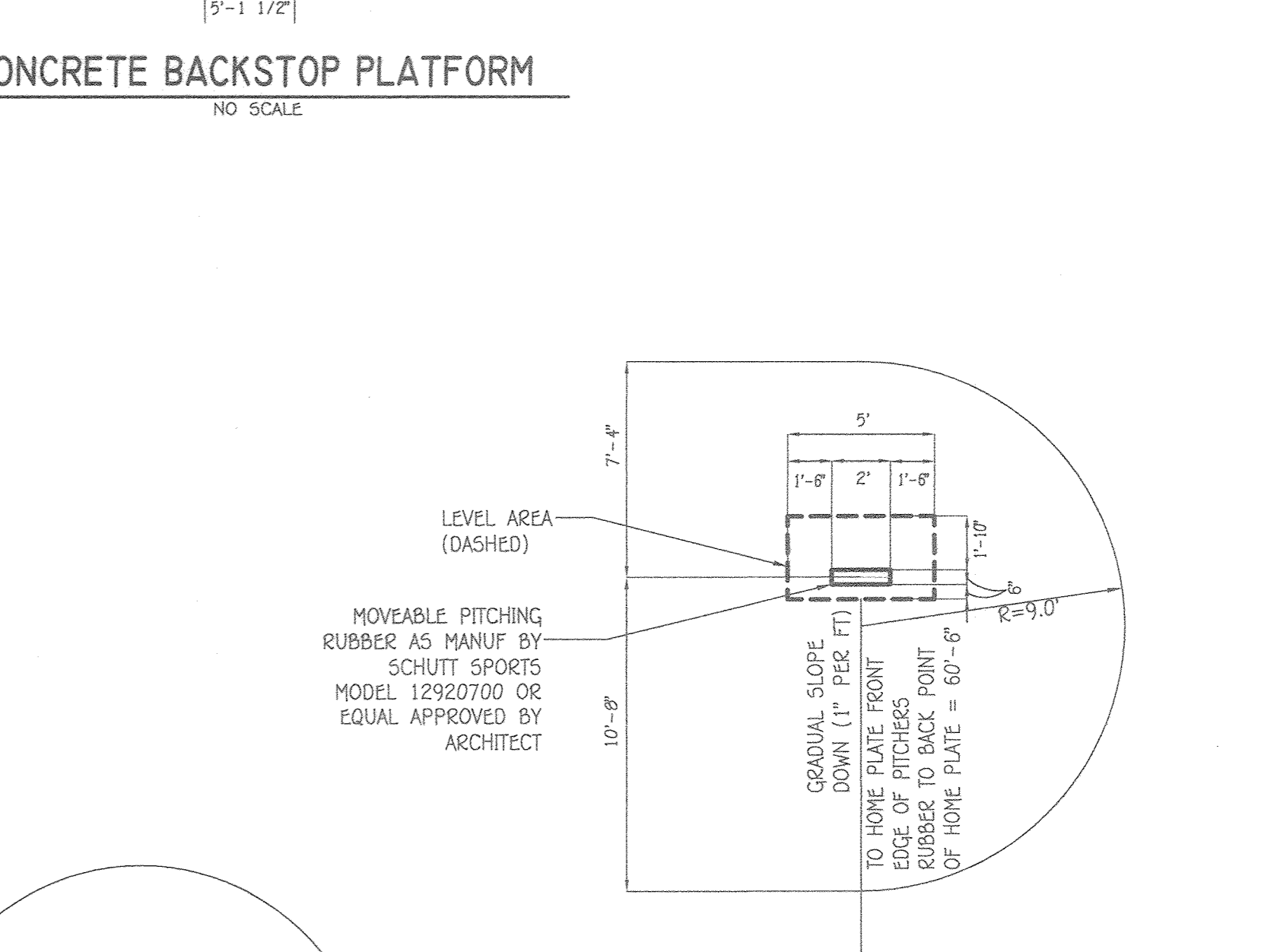
3B
45
PITCHER'S MOUND DETAILS
NO SCALE



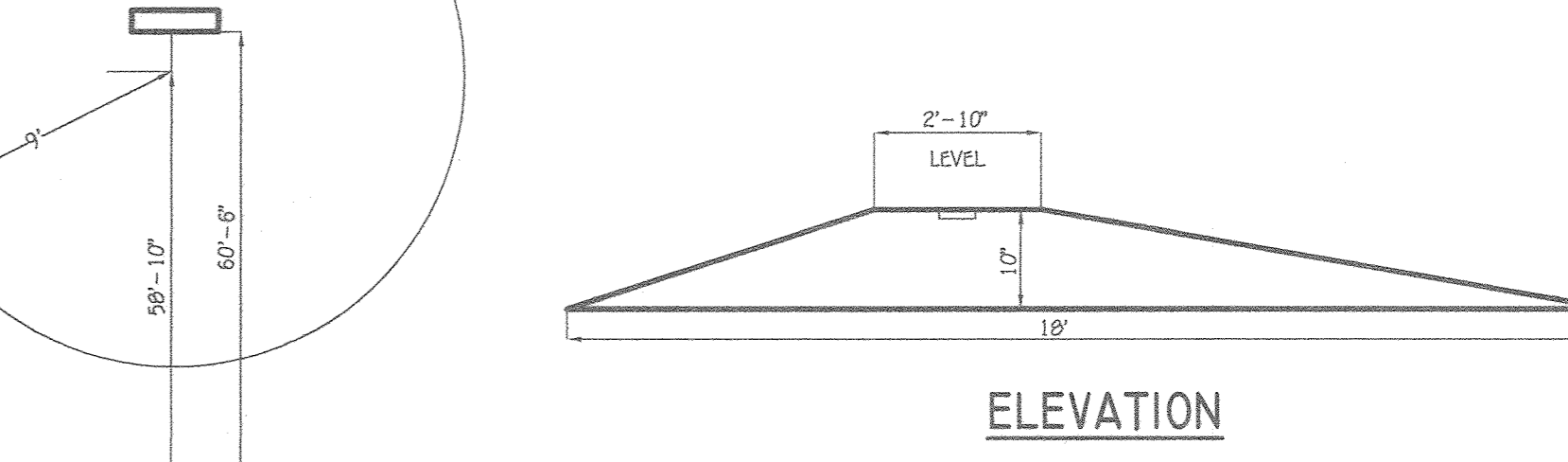
2
45
SOFTBALL FIELD DETAIL
NO SCALE



3
45
BASEBALL FIELD DETAIL
NO SCALE



3B
45
PITCHER'S MOUND DETAILS
NO SCALE



3B
45
PITCHER'S MOUND DETAILS
NO SCALE

FISHER, COLLINS & CARTER, INC.
CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
CENTENNIAL SQUARE OFFICE PARK - 10072 BALTIMORE NATIONAL PIKE
ELLSWORTH CITY, MARYLAND 21042
(410) 461-2895

"PROFESSIONAL CERTIFICATION. I HEREBY CERTIFY THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 38386, EXPIRATION DATE: JANUARY 12, 2022."
Stephanie Tuite
STEPHANIE T. TUIE, RLA, P.E., LEED AP BC&D
8/14/20
DATE

DATE	DESCRIPTION	REVISION BLOCK
10-5-20	Director	Department of Planning and Zoning
10/5/20	Chief, Division of Land Development	
8-28-20	Chief, Development Engineering Division	

PREPARED FOR
HOWARD COUNTY PUBLIC SCHOOL SYSTEM
9020 MENDENHALL COURT
SUITE 'C'
COLUMBIA, MARYLAND 21045
Attention: DANIEL LUBELEY
410-313-8203

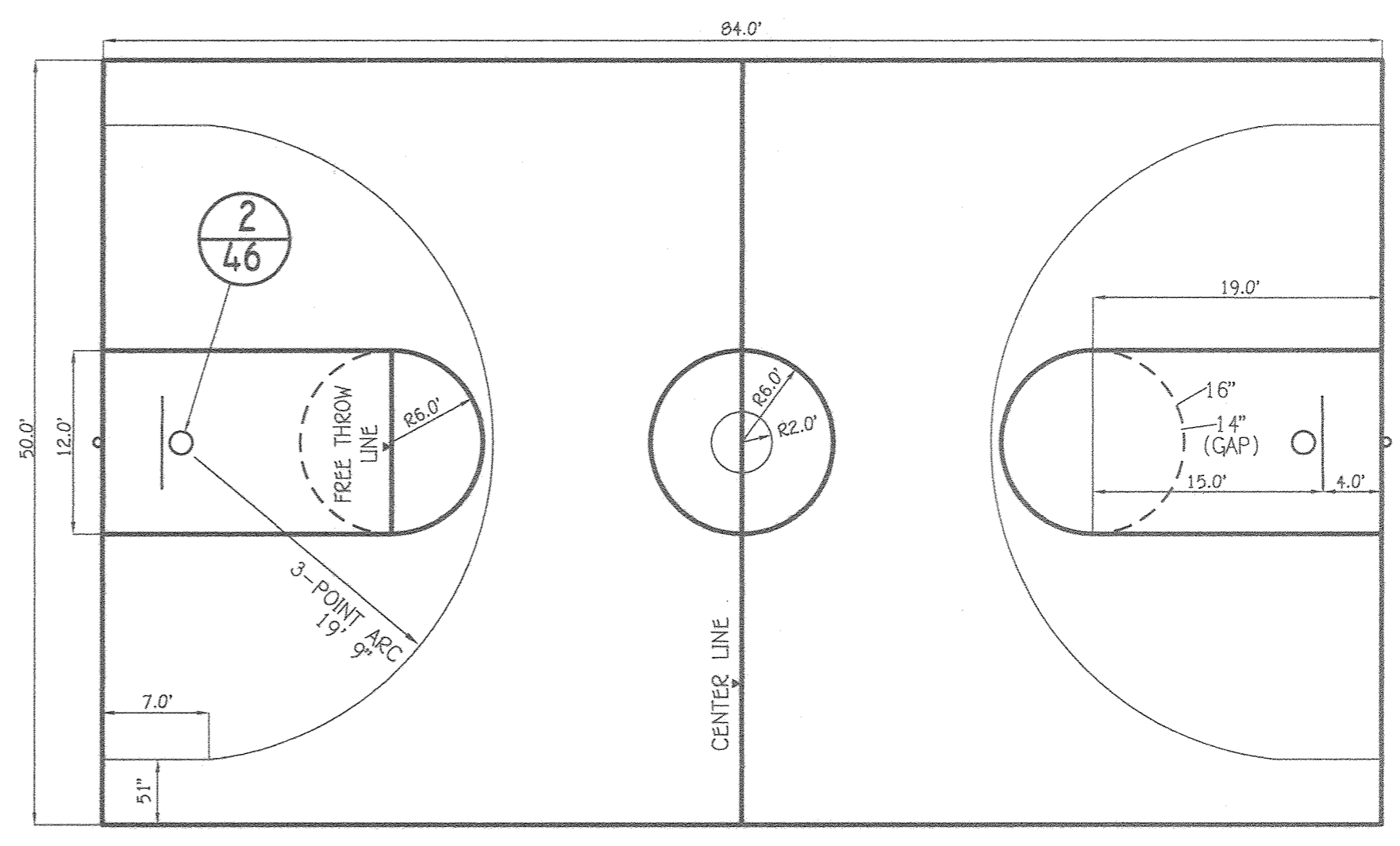
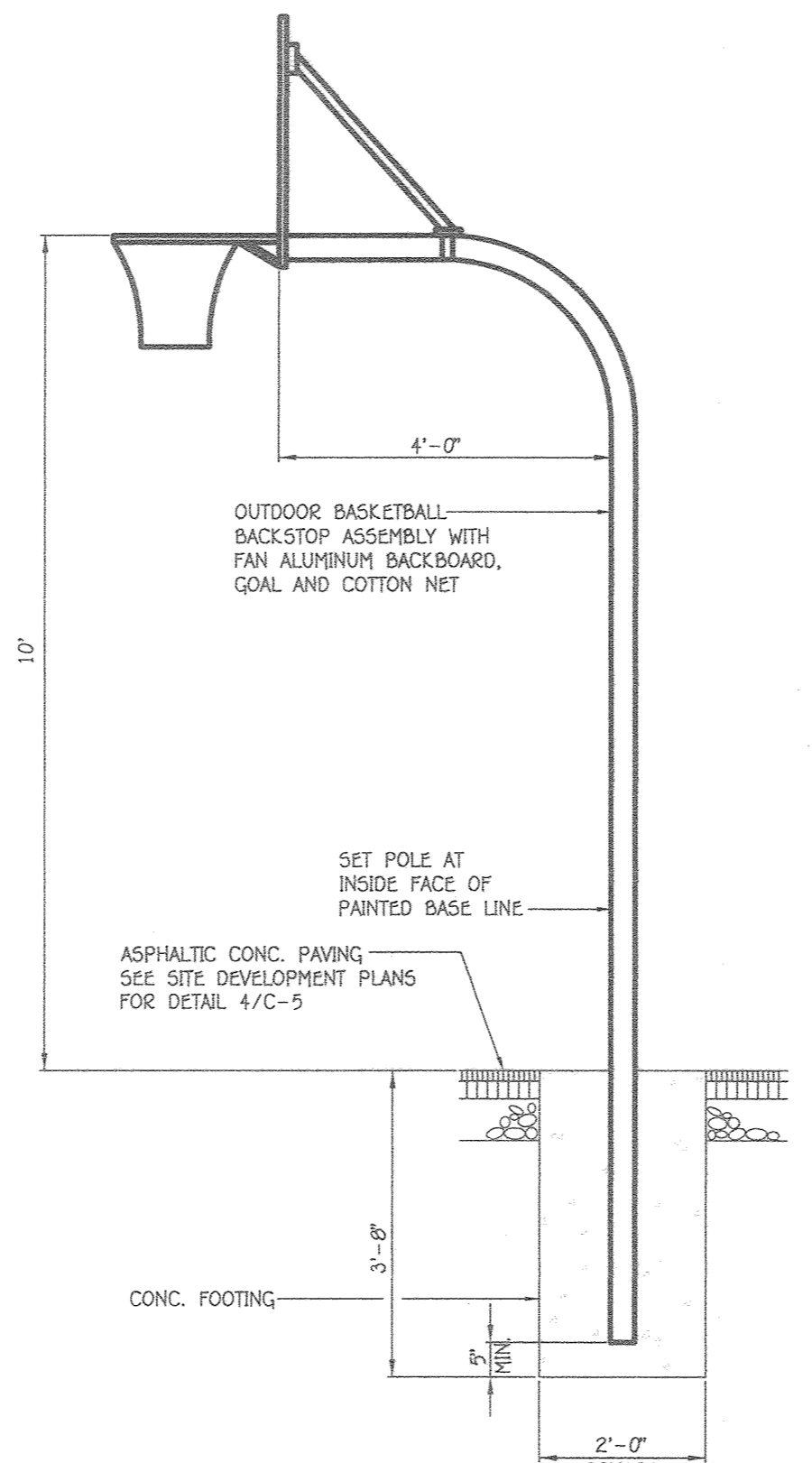
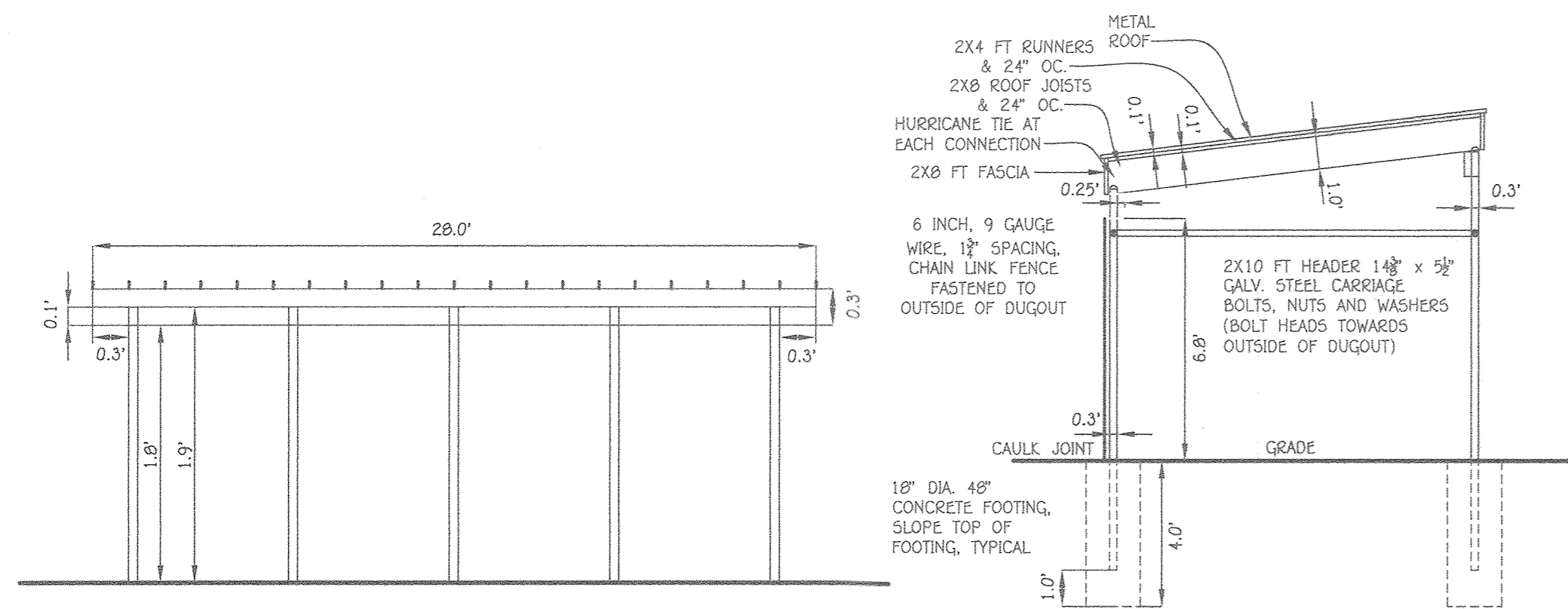


ADDRESS CHART	
PARCEL NO.	STREET ADDRESS
	8500 RIDGELYS RUN ROAD JESSUP, MARYLAND 20794

PROJECT	SECTION/AREA	PARCEL
HIGH SCHOOL #13	N/A	102, 349, 235

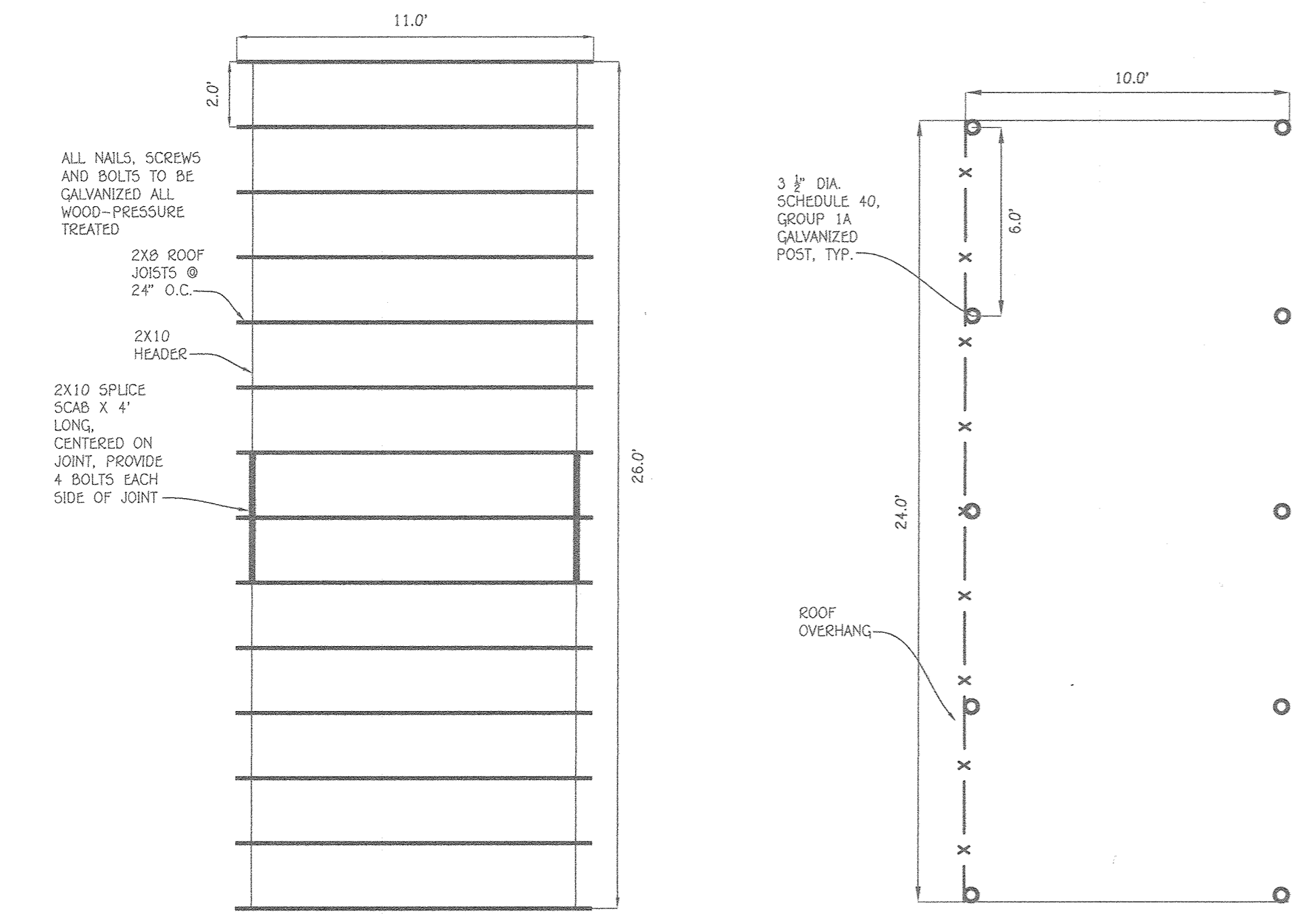
PLAT NO.	BLOCK NO.	ZONE	TAX MAP	ELEC. DIST.	CENSUS TR.
25589-25592	18 & 24	R-12	42 & 43	SIXTH	606901

DETAIL SHEET - SPORTS
**HIGH SCHOOL #13
PARCELS 'A' THRU 'D'**
ZONED: R-SC MXD-3, R-SA-8 MXD-3 AND R-12
PARCEL Nos.: 102, 349, 235
TAX MAP No.: 42 & 43 GRID No.: 24 & 19
SIXTH ELECTION DISTRICT HOWARD COUNTY, MARYLAND
SCALE: AS SHOWN DATE: AUGUST, 2020
SHEET 45 OF 131

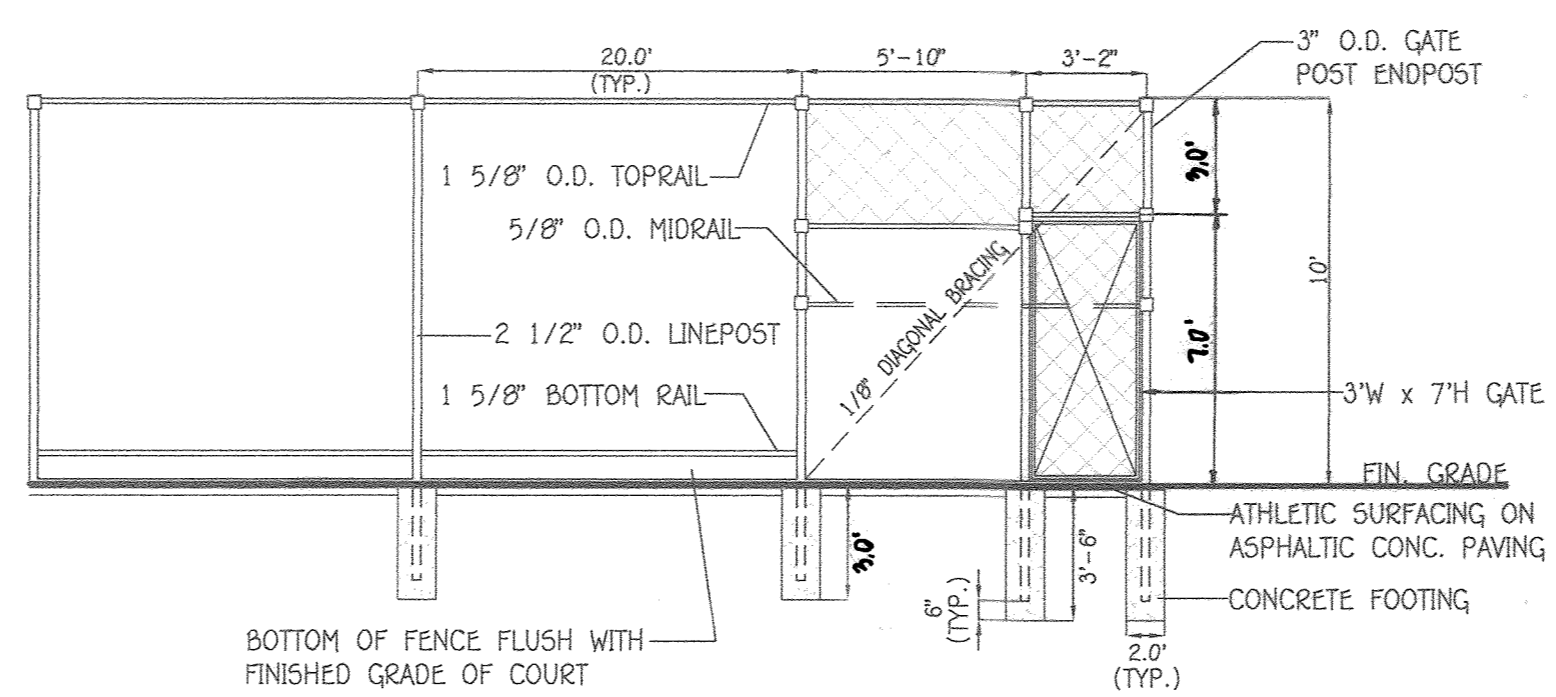


2
46 BASKETBALL HOOP DETAIL
NO SCALE

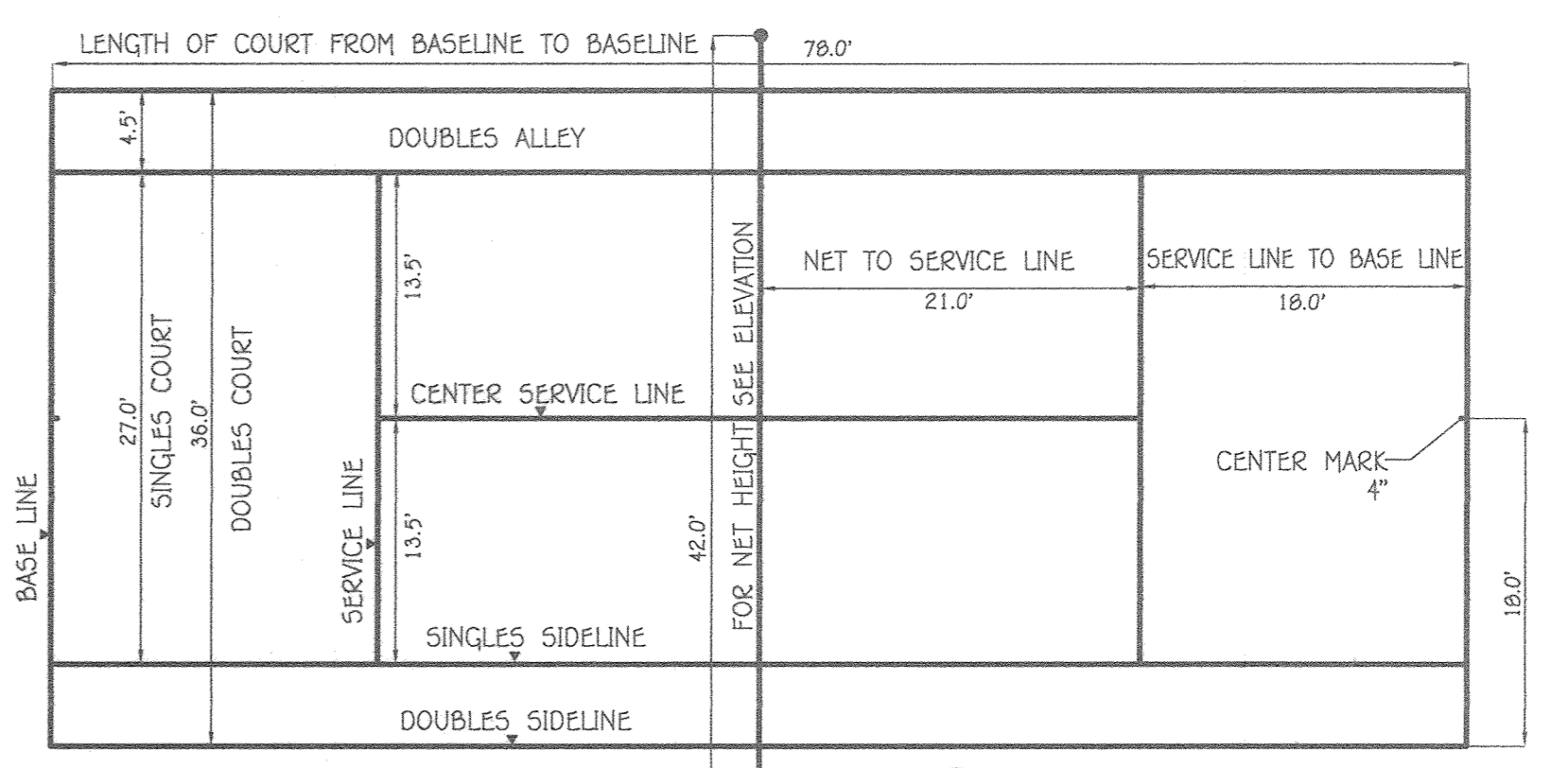
3
46 BASKETBALL COURT DETAIL
NO SCALE



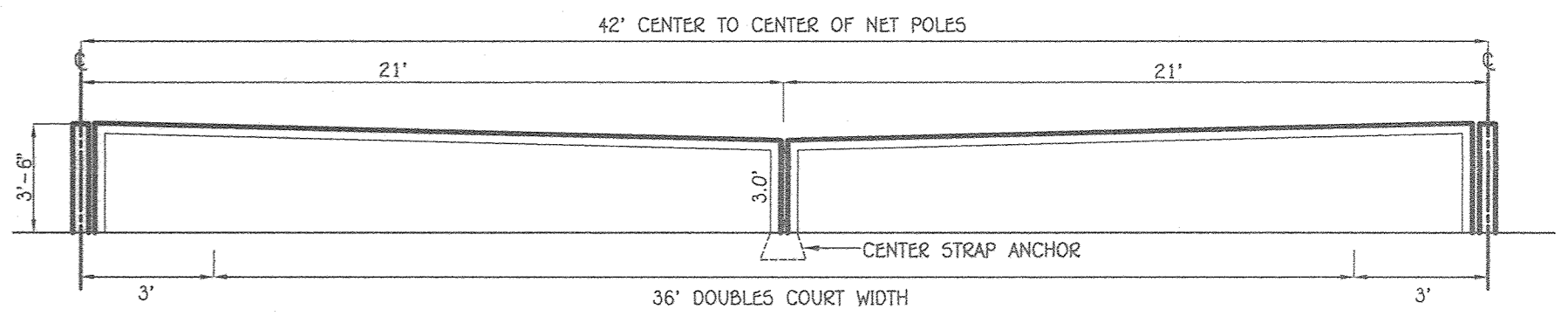
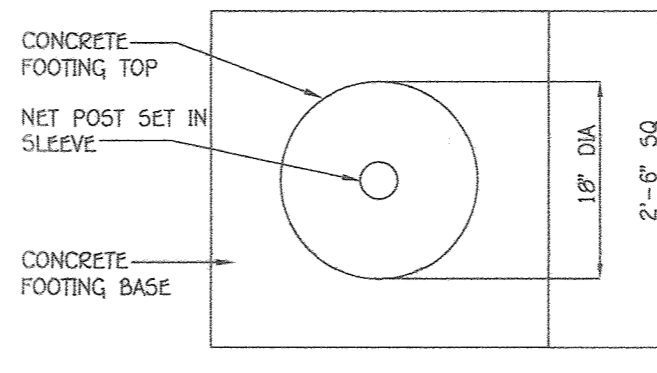
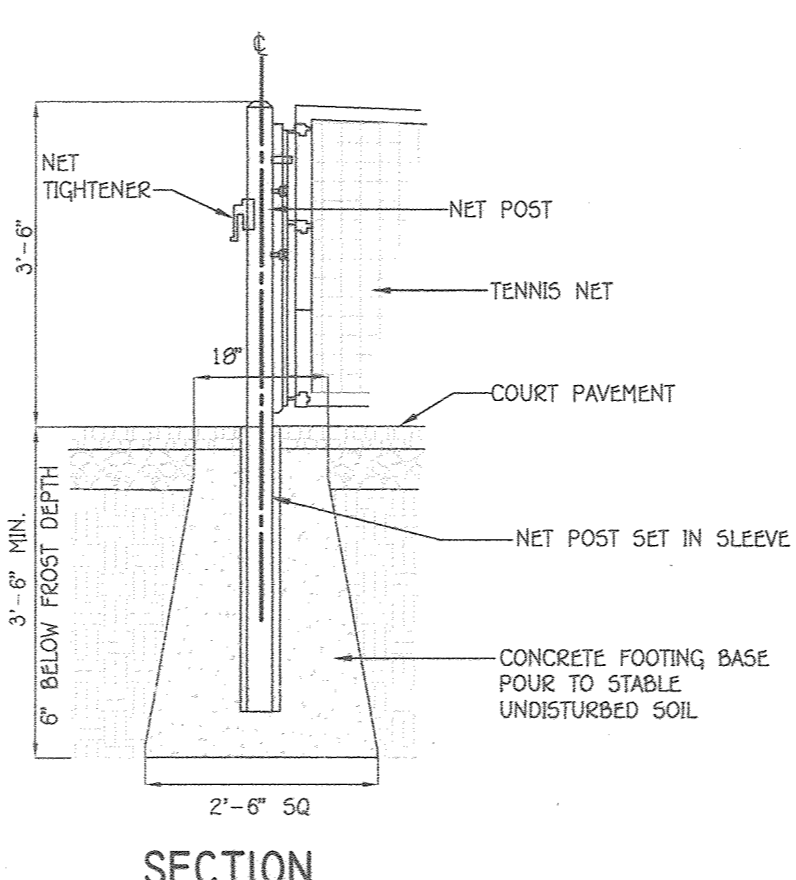
1
46 DUGOUT DETAIL
NO SCALE



4B
46 TENNIS COURT ENCLOSURE DETAIL
NO SCALE



4
46 TENNIS COURT DETAIL
NO SCALE



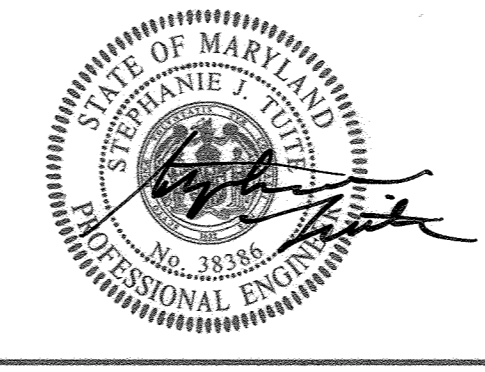
4A
46 TENNIS NET POST DETAILS
NO SCALE

FISHER, COLLINS & CARTER, INC.
CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
CENTENAL SQUARE OFFICE PARK - 10270 BALTIMORE NATIONAL FEE
ELICOTT CITY, MARYLAND 21045
(410) 461-2995

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Stephanie Tuttle
STEPHANIE TUTTLE, RLA, P.E., LEED AP BC&D
8/17/20
DATE

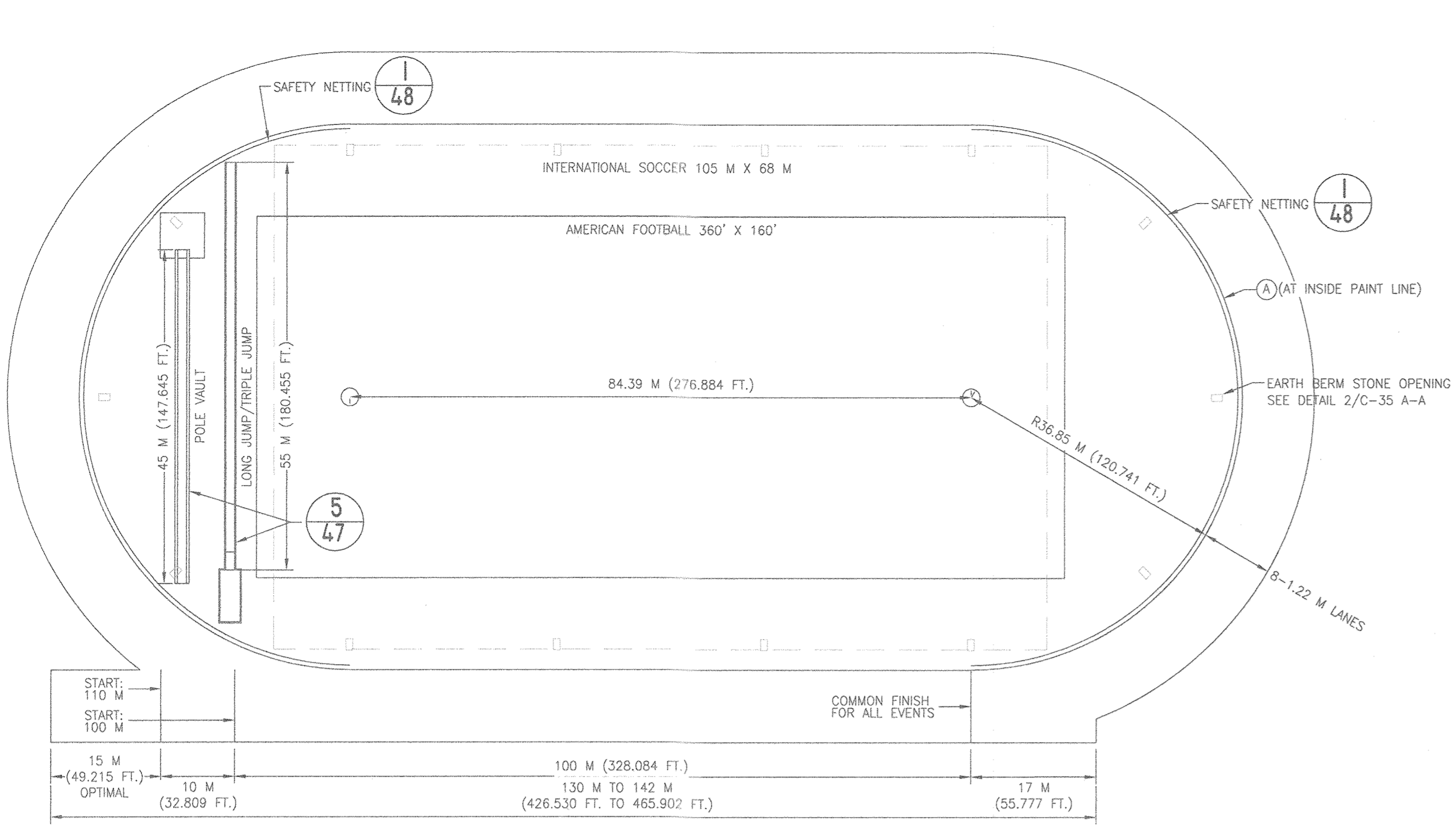
DATE	DESCRIPTION	REVISION BLOCK
3/3/21	REMOVE TENNIS COURT ENCLOSURE DETAIL	
APPROVED: DEPARTMENT OF PLANNING AND ZONING		
Director - Department of Planning and Zoning	10-25-20	Date
Chief of Department of Planning and Development	colston	Date
Chief, Development Engineering Division	8-28-20	Date

PREPARED FOR
HOWARD COUNTY PUBLIC SCHOOL SYSTEM
9020 MENDENHALL COURT
SUITE 'C'
COLUMBIA, MARYLAND 21045
Attention: DANIEL LUBELEY
410-313-8203

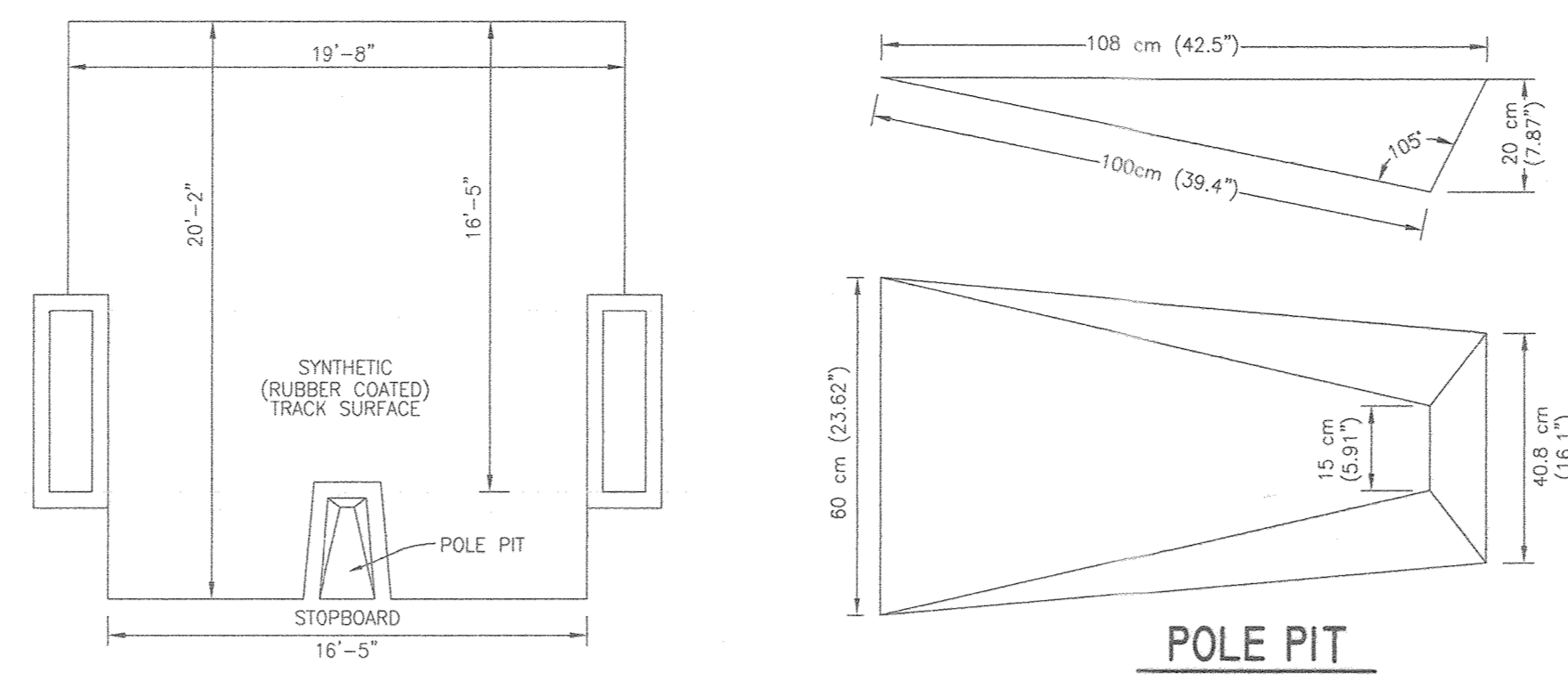


ADDRESS CHART					
PARCEL NO.	STREET ADDRESS				
	8500 RIDGELY'S RUN ROAD JESSUP, MARYLAND 20794				
PROJECT	SECTION/AREA				
HIGH SCHOOL #13	N/A				
PARCEL	102, 349, 235				
PLAY NO.	BLOCK NO.	ZONE	TAX MAP	ELEC. DIST.	CENSUS TR.
25528-25529	18 & 24	R-12	42 & 43	SIXTH	606901
	13 & 19	RSC MXD-3			
		RSA-2 MXD-3			
WATER CODE	SEWER CODE				

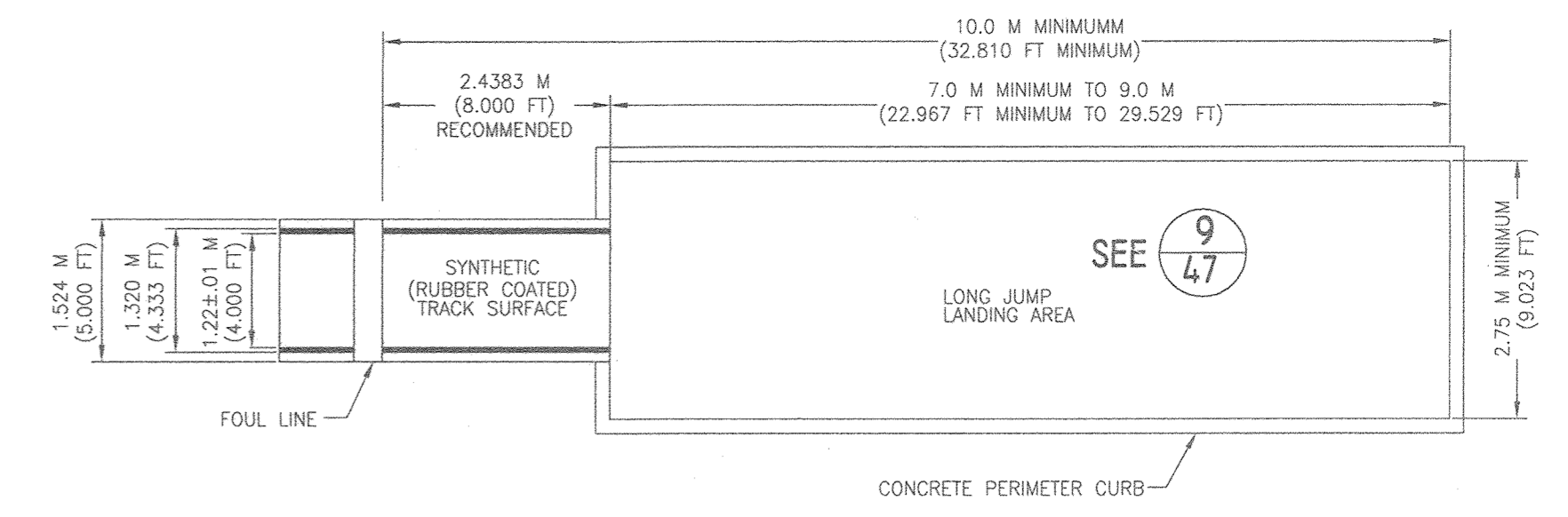
DETAIL SHEET - SPORTS
HIGH SCHOOL #13
PARCELS 'A' THRU 'D'
ZONED: R-5C MXD-3, R-5A-8 MXD-3 AND R-12
PARCEL Nos.: 102, 349, 235
TAX MAP No.: 42 & 43 GRID No.: 24 & 19
SIXTH ELECTION DISTRICT HOWARD COUNTY, MARYLAND
SCALE: AS SHOWN DATE: AUGUST, 2020
SHEET 46 OF 131



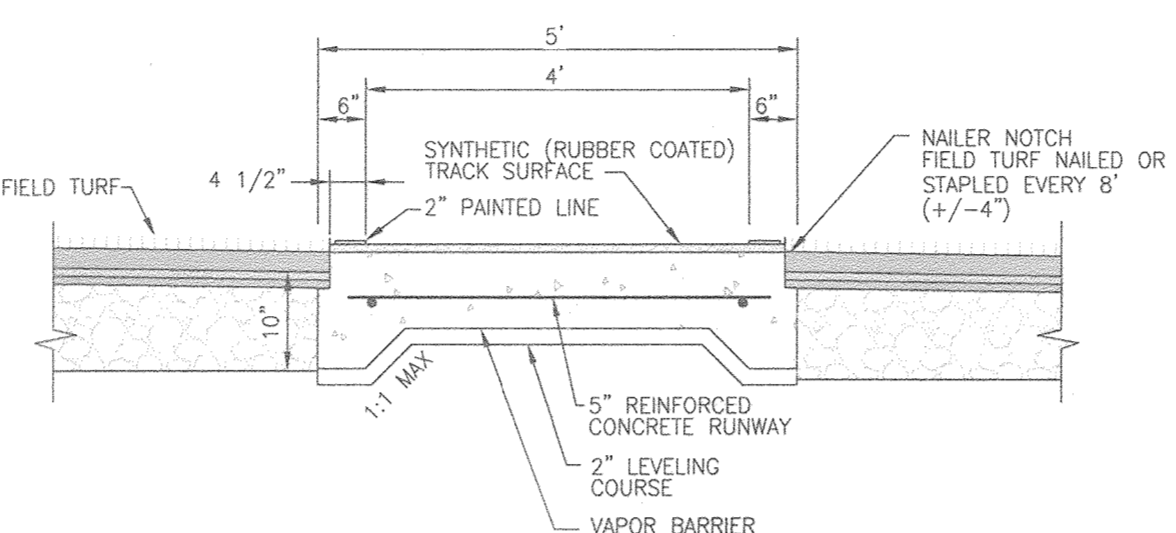
1
47
OVAL TRACK DETAIL
NO SCALE



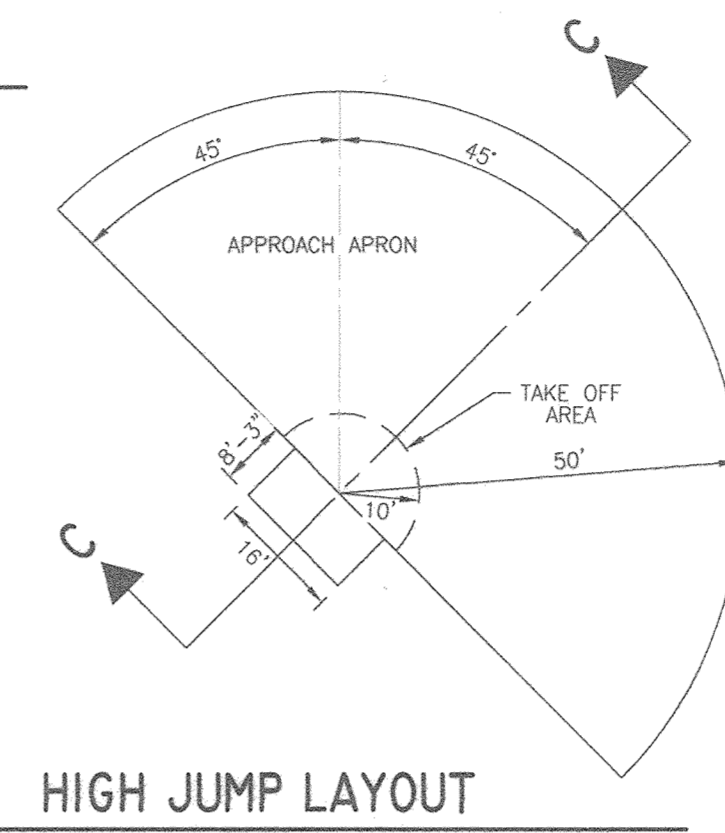
3
47
POLE VAULT LANDING AREA
NO SCALE



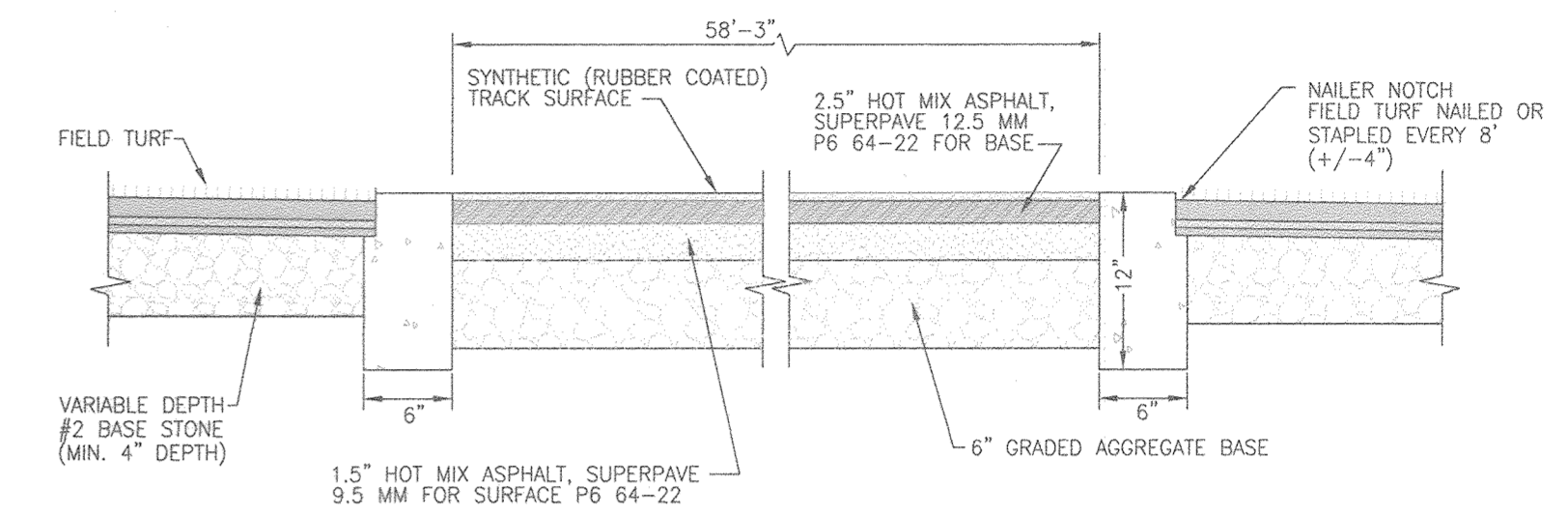
4
47
LONG JUMP/TRIPLE JUMP PIT PLAN
NO SCALE



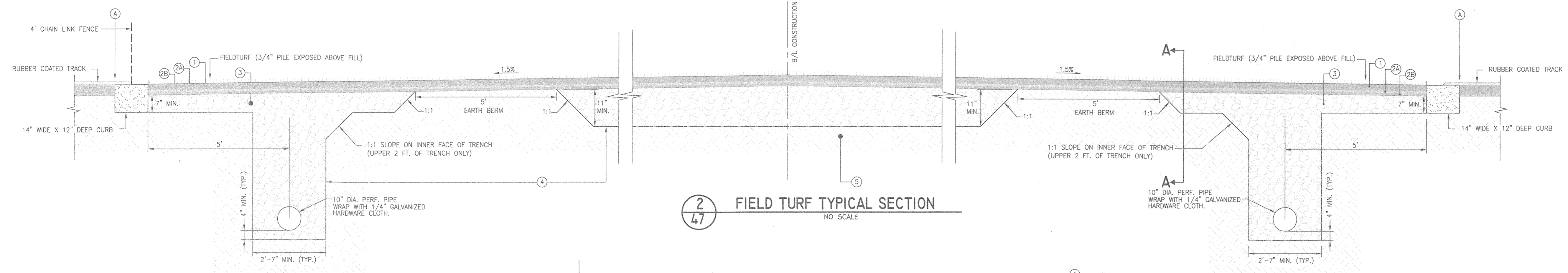
5
47
SECTION THRU LONG/TRIPLE JUMP EVENT AND POLE VAULT RUNWAY
NO SCALE



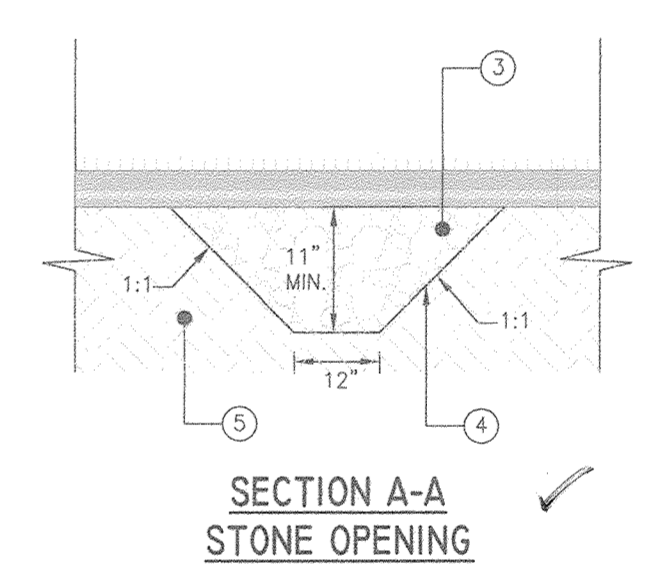
6
47
HIGH JUMP LAYOUT
NO SCALE



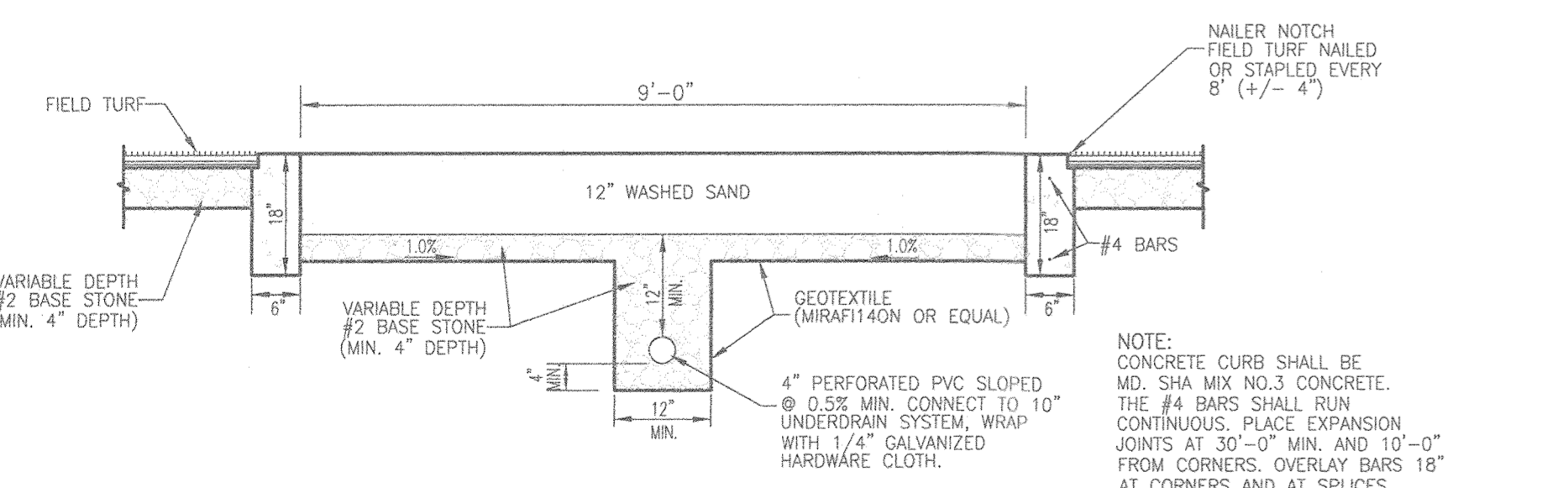
7
47
SECTION C-C THRU HIGH JUMP
NO SCALE



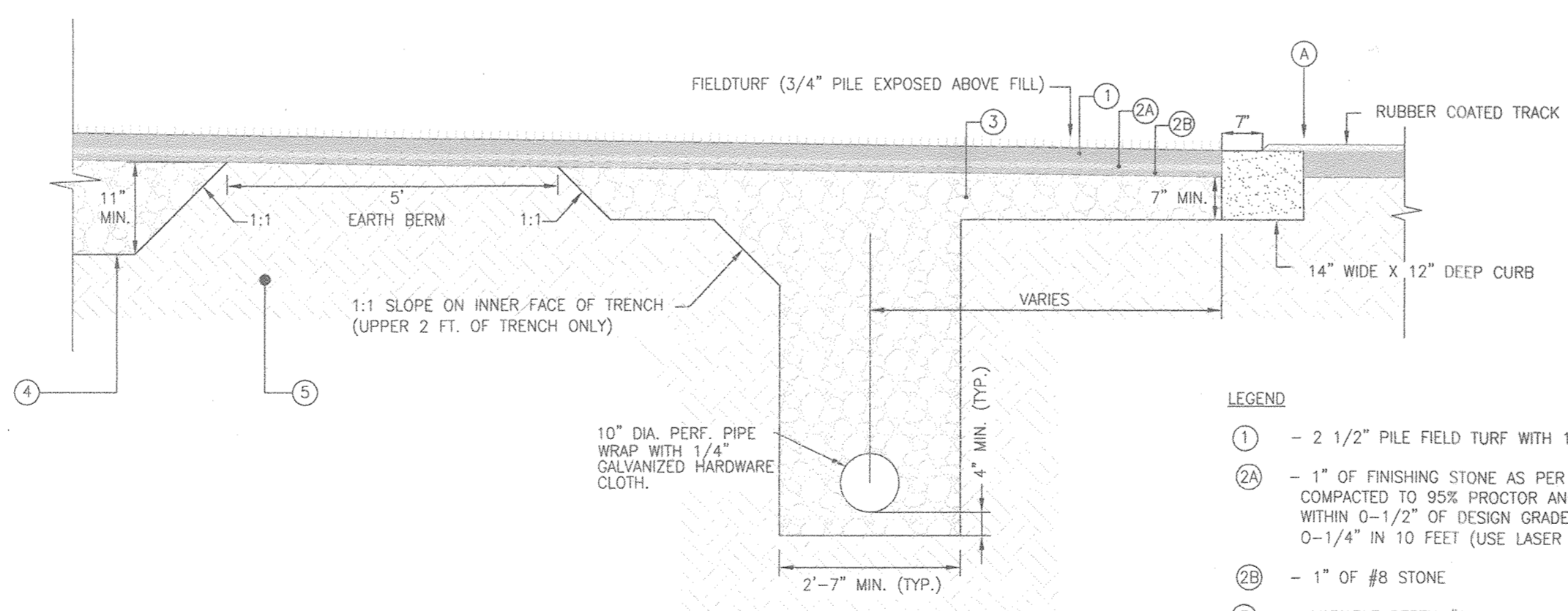
2
47
FIELD TURF TYPICAL SECTION
NO SCALE



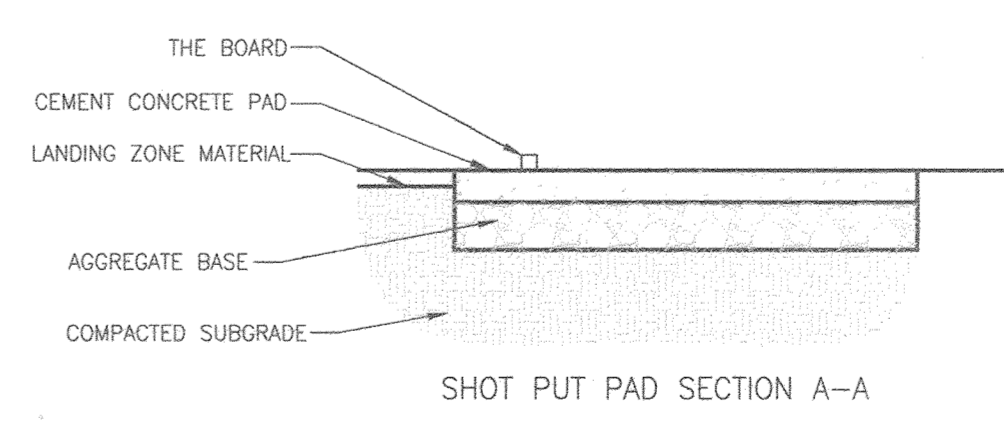
SECTION A-A
STONE OPENING



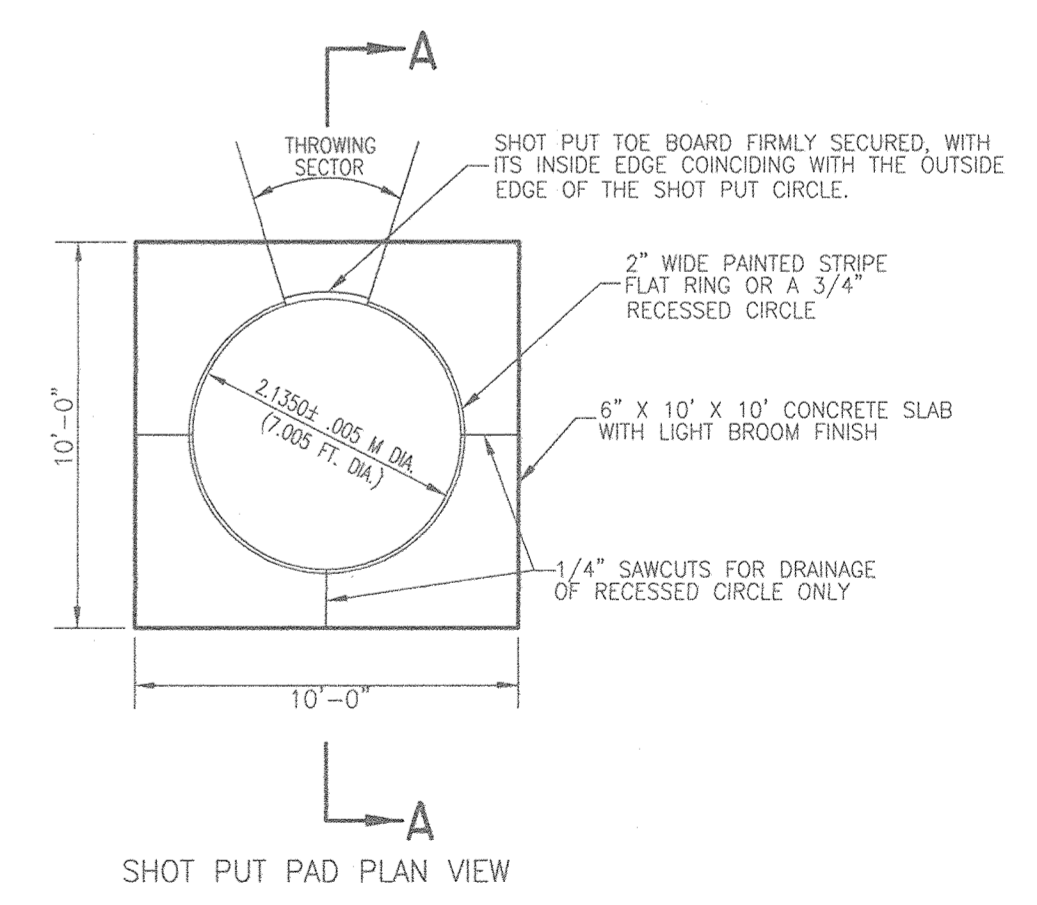
8
47
LONG JUMP/TRIPLE JUMP PIT SECTION JUMP PIT DETAIL
NO SCALE



9
47
SEMI CIRCLE FIELD TURF TYPICAL SECTION
NO SCALE



10
47
SHOT PUT PAD DETAIL
SCALE: 1" = 5"



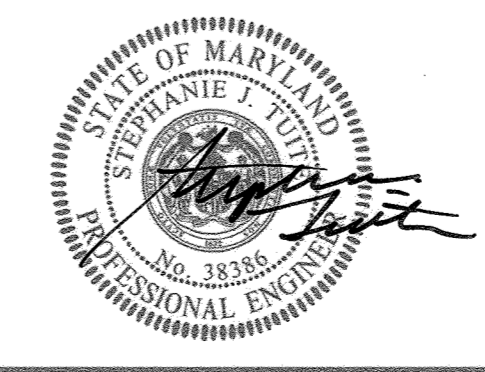
- LEGEND
- 1 - 2 1/2" PILE FIELD TURF WITH 1 3/4" OF INFILL.
 - 2A - 1" OF FINISHING STONE AS PER SPECIFICATIONS, COMPACTED TO 95% PROCTOR AND GRADED TO WITHIN 0-1/2" OF DESIGN GRADE AND WITHIN 0-1/4" IN 10 FEET (USE LASER GUIDED GRADER).
 - 2B - 1" OF #8 STONE
 - 3 - VARIABLE DEPTH #2 BASE STONE
 - 4 - GEOTEXTILE (MIRAF1140N OR EQUAL) LINING THE TRENCH AND UNDER THE BASE.
 - 5 - NATURAL SOIL COMPACTED TO 95% PROCTOR.

FTSHER, COLLINS & CARTER, INC.
CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
CENTRAL SQUARE OFFICE PARK - 10772 BALTIMORE NATIONAL PIKE
ELLSWORTH CITY, MARYLAND 21046
(410) 481-2895

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Stephanie J. Tuite
STEPHANIE J. TUITE, RIA, P.E., LEED AP B+C/D
8/14/20
DATE

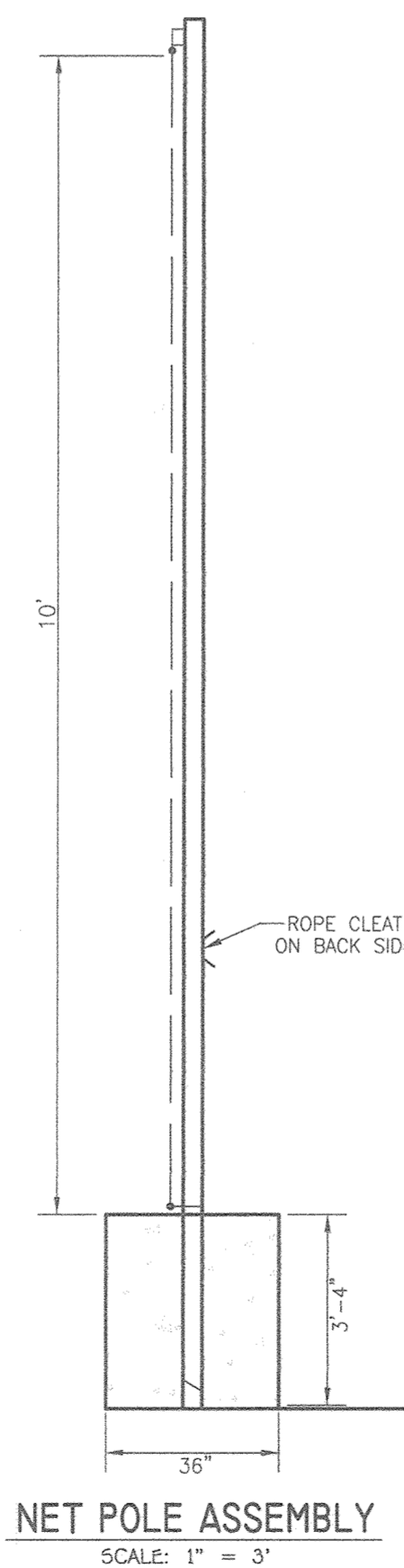
DATE	DESCRIPTION
	REVISION BLOCK
APPROVED: DEPARTMENT OF PLANNING AND ZONING	
Director, Department of Planning and Zoning	16-5-20 Date
Chief, Division of Land Development	10/15/20 Date
Chief, Development Engineering Division	8-26-20 Date

PREPARED FOR
HOWARD COUNTY PUBLIC SCHOOL SYSTEM
9020 MENDENHALL COURT
SUITE 'C'
COLUMBIA, MARYLAND 21045
Attention: DANIEL LUBELEY
410-313-8203

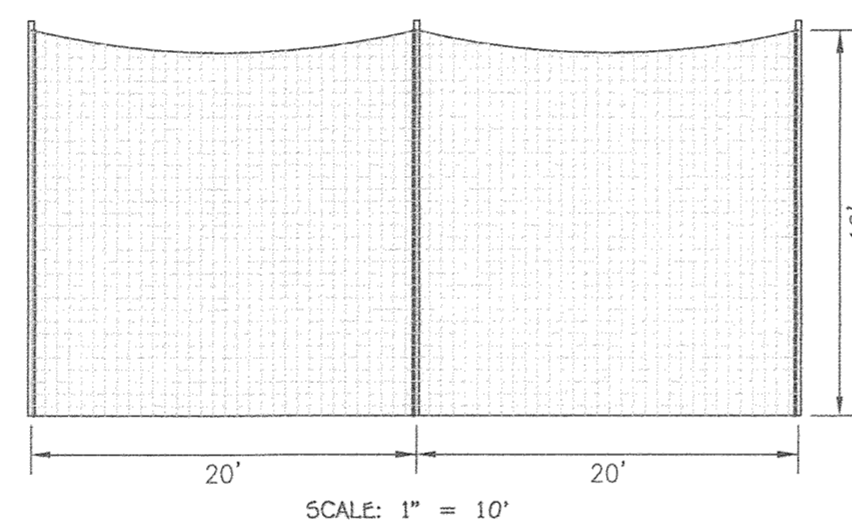


ADDRESS CHART	
PARCEL NO.	STREET ADDRESS
	8500 RIDGELYS RUN ROAD JESSUP, MARYLAND 20794
PROJECT	SECTION/AREA
HIGH SCHOOL #13	N/A
BLK NO.	TAX MAP
18 & 24	42 & 43
13 & 19	SIXTH
WATER CODE	SEWER CODE

DETAIL SHEET - SPORTS	
HIGH SCHOOL #13 PARCELS 'A' THRU 'D'	
ZONED: R-5C MXD-3, R-5A-0 MXD-3 AND R-12 PARCEL Nos.: 102, 349, 235 TAX MAP No.: 42 & 43 GRID No.: 24 & 19 SIXTH ELECTION DISTRICT HOWARD COUNTY, MARYLAND SCALE: AS SHOWN DATE: AUGUST, 2020 SHEET 47 OF 131	



20' STRAIGHT BALL STOP IS SOLD IN UNITS OF 20 FEET. NETS ARE CUSTOM MANUFACTURED TO THE ACTUAL LENGTH REQUIRED. SEE EXAMPLE DESCRIBED BELOW. NET STRAIGHT NET POLES ARE 4" DIAMETER ALUMINUM TUBE WITH A 1/8" WALL THICKNESS. EACH POLE RESTS IN A 40" DEEP GALVANIZED STEEL GROUND SLEEVE. TO MINIMIZE SAG, THE NET IS SUPPORTED BY A VINYL COATED STEEL CABLE AT THE TOP. A SHORTER CABLE WOVEN THROUGH THE NET AT THE BOTTOM HELPS HOLD THE NET TO THE GROUND BETWEEN POLES. THE NET IS #504 KNOTLESS, NYLON NETTING WITH A BREAKING STRENGTH OF OVER 200 POUNDS.



SCALE: 1" = 10'
 BALL STOPS ARE SOLD IN 20 FOOT UNITS. FOR EXAMPLE, A 90 FOOT LONG BALL STOP WOULD REQUIRE FIVE 20 FOOT UNITS. THE NET WOULD BE CUSTOM MANUFACTURED TO THE REQUIRED 90 FOOT LENGTH. THIS BALL STOP WOULD COME WITH SIX NET POLES AND GROUND SLEEVES. POLES WOULD BE INSTALLED 18 FEET APART TO GIVE A FINISHED LENGTH OF 90 FEET. NETS LONGER THAN 120 FEET WILL BE SPLIT INTO TWO NETS OF EQUAL LENGTH TO BE LACED TOGETHER IN THE FIELD.

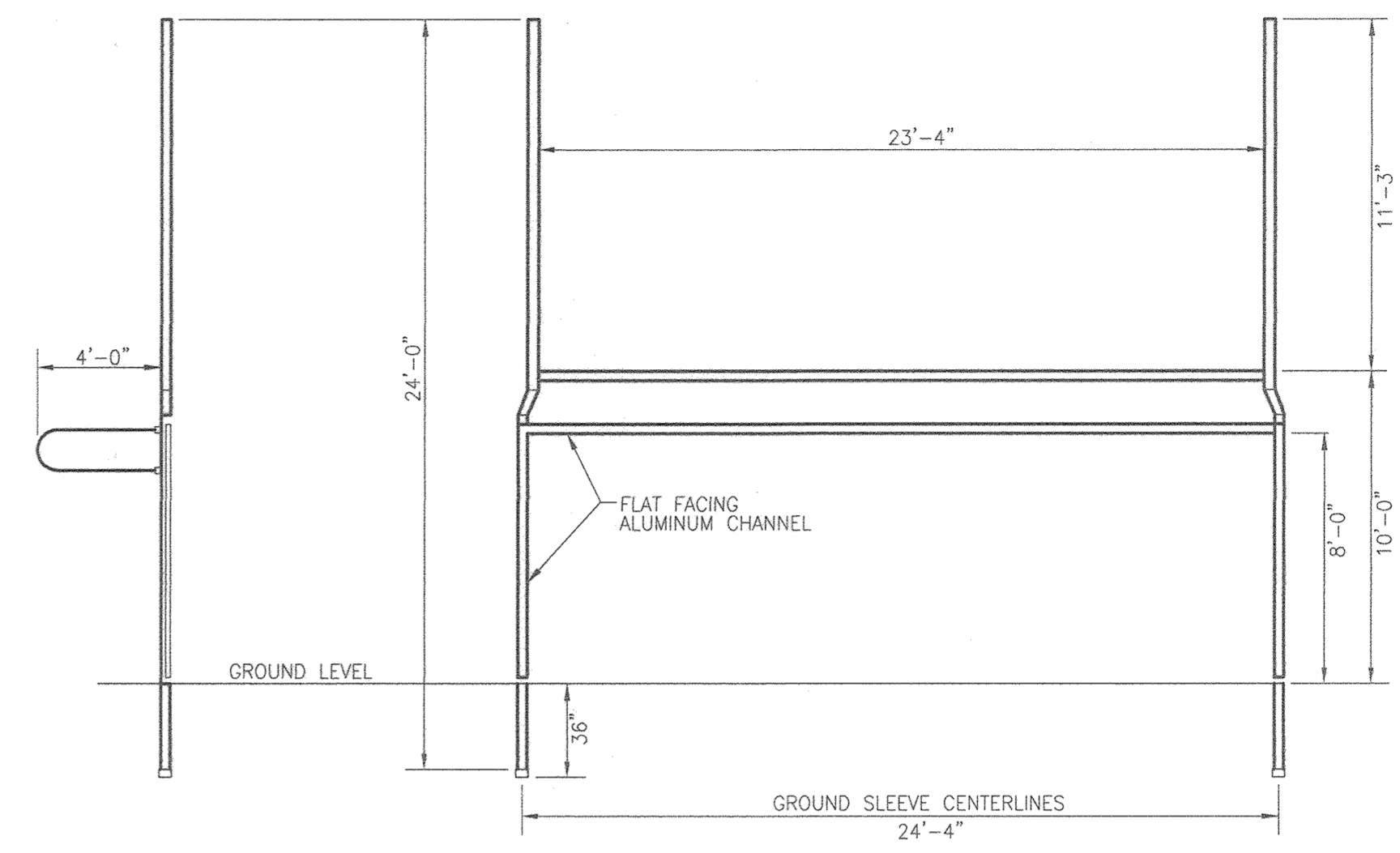
GROUND SLEEVE INSTALLATION

NOTE: THE PROPER ORIENTATION OF THE 5/8" SLEEVE STOP BOLT DETERMINES THE PROPER ORIENTATION OF THE NET POLE. EACH SLEEVE HAS A 1/4" THROUGH HOLE AT THE TOP EDGE THROUGH WHICH STRING COULD BE TIED AS A VISIBLE REFERENCE TO HELP INSURE PROPER ALIGNMENT.

1. DIG HOLES FOR SLEEVES AT STAKED LOCATIONS. SIZE OF HOLES ARE DEPENDENT ON EQUIPMENT USED AND MUST TAKE INTO ACCOUNT SOIL CONDITIONS TO SUPPORT THE POLES.
2. POSITION AND LEVEL GRAVEL OR A CONCRETE BLOCK AT THE BOTTOM OF THE HOLE SO THAT THE SLEEVE OPENING RESTS AT THE PROPER HEIGHT AT THE SURFACE.
3. FIX AND SUPPORT THE SLEEVE IN POSITION WITH WIRE AND/OR SECTIONS OF REBAR TO PREVENT SLEEVE MOVEMENT DURING THE CONCRETE POUR.
4. DURING THE CONCRETE POUR, INSURE THE ALIGNMENT HOLES AT THE TOP OPENING OF THE SLEEVE REMAIN PROPERLY ALIGNED. THESE HOLES HELP ORIENT THE POLE ALIGNMENT PINS AT THE BOTTOM OF THE SLEEVES.

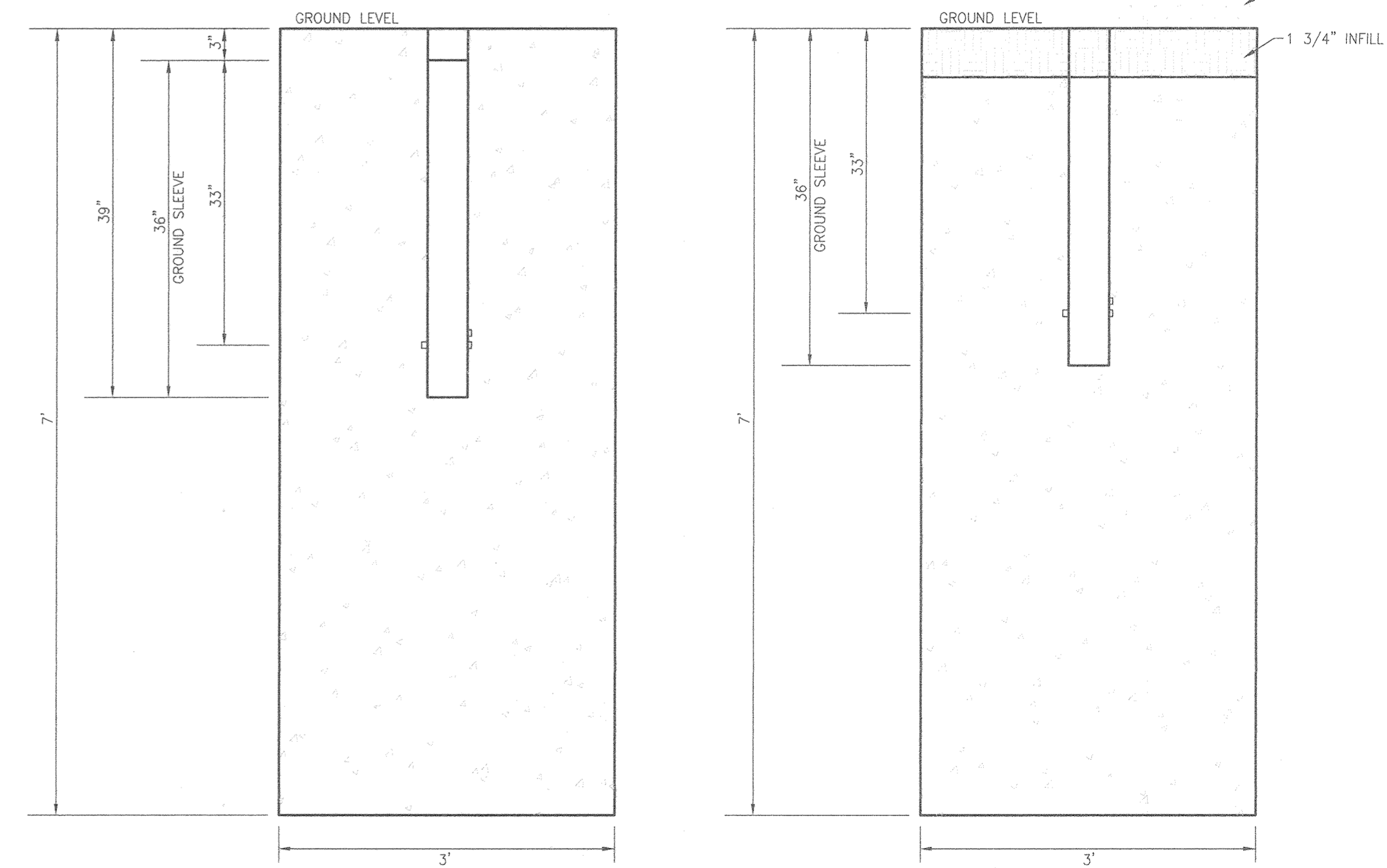


DIAMETER OF CONCRETE PIER WITH SLEEVE TO BE DETERMINED BY LOCAL ENGINEER AND MUST TAKE INTO ACCOUNT LOCAL SOIL CONDITIONS.



"RECESSED" INSTALLATION

"FLUSH" INSTALLATION



GOAL POST GROUND SLEEVE INSTALLATION OPTIONS

FISHER, COLLINS & CARTER, INC.
 CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
 CENTRAL SQUARE OFFICE PARK - 10272 BALTIMORE NATIONAL PIKE
 ELLETT CITY, MARYLAND 21042
 (410) 461-2299

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Stephanie Tuite
 STEPHANIE TUIITE, RLA, P.E., LEED AP BC&O
 5/17/20
 DATE

DATE	DESCRIPTION	REVISION BLOCK
10-5-20		
10-26-20		

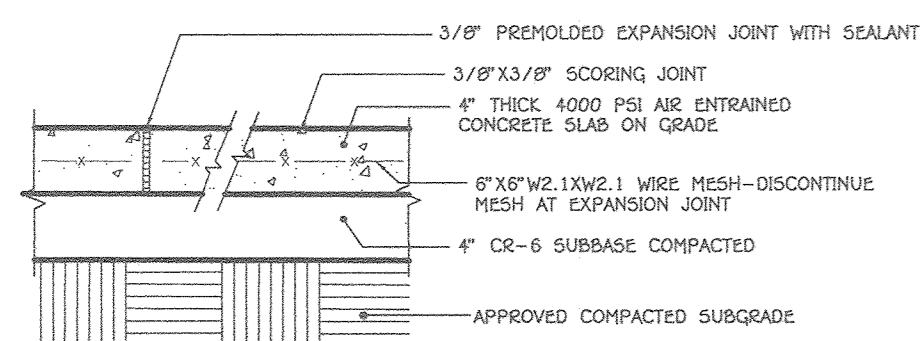
APPROVED: DEPARTMENT OF PLANNING AND ZONING
 Director, Department of Planning and Zoning
 Chief, Planning & Land Development
 Chief, Development Engineering Division

PREPARED FOR
 HOWARD COUNTY PUBLIC SCHOOL SYSTEM
 9020 MENDENHALL COURT
 SUITE 'C'
 COLUMBIA, MARYLAND 21045
 Attention: DANIEL LUBELEY
 410-313-8203



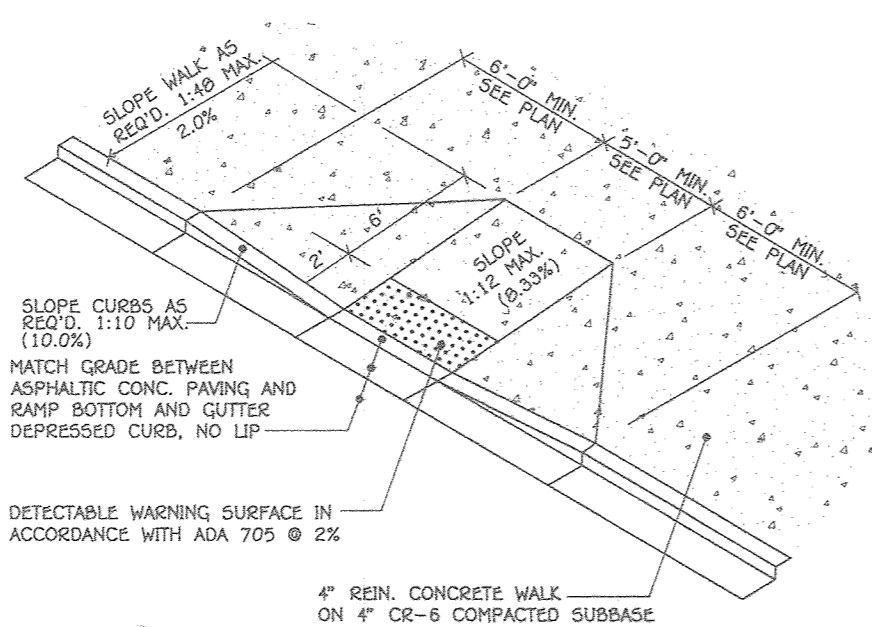
ADDRESS CHART					
PARCEL NO.	STREET ADDRESS				
	8500 RIDGELYS RUN ROAD				
	JESSUP, MARYLAND 20794				
PROJECT	SECTION/AREA	PARCEL			
HIGH SCHOOL #13	N/A	102, 349, 235			
PLAT NO.	BLOCK NO.	ZONE	TAX MAP	ELEC. DIST.	CENSUS TR.
108 & 24	13 & 19	R-12	42 & 43	SIXTH	606901
WATER CODE			SEWER CODE		

DETAIL SHEET - SPORTS
**HIGH SCHOOL #13
 PARCELS 'A' THRU 'D'**
 ZONED: R-SC MXD-3, R-5A-B MXD-3 AND R-12
 PARCEL Nos.: 102, 349, 235
 TAX MAP No.: 42 & 43 GRID No.: 24 & 19
 SIXTH ELECTION DISTRICT HOWARD COUNTY, MARYLAND
 SCALE: AS SHOWN DATE: AUGUST, 2020
 SHEET 48 OF 131

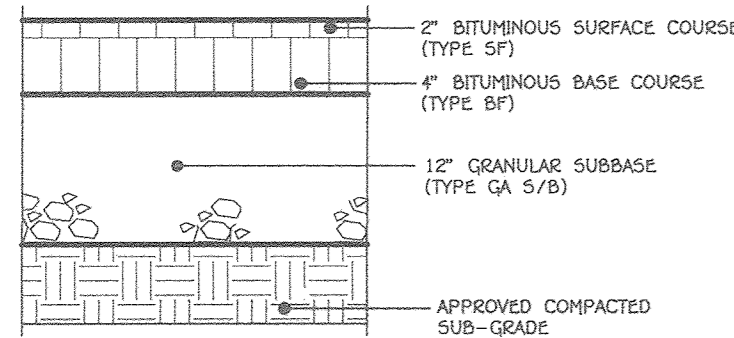


NOTE: INSTALL EXPANSION JOINTS AT MAX. 15'-0" O.C. AND INSTALL SCORING JOINTS AT MAX. 9'-0" O.C.
SLOPE ACROSS SIDEWALK SHALL BE MIN. 1/8" FT.

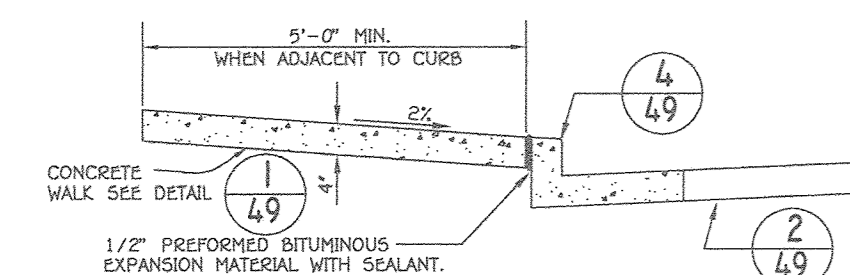
1
49
CONCRETE WALK DETAIL
NO SCALE



6
49
SIDEWALK RAMP DETAIL
NO SCALE

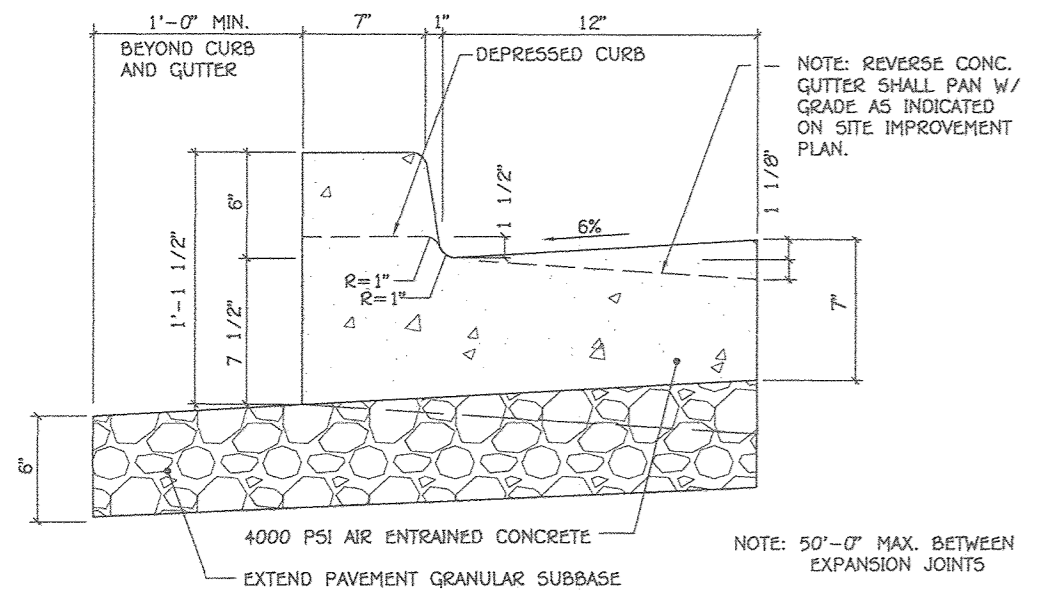


2
49
HEAVY DUTY ASPHALTIC PAVING DETAIL
NO SCALE

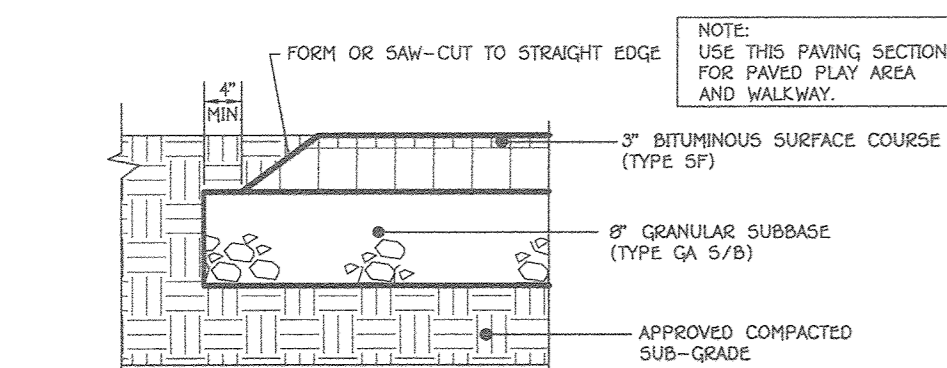


NOTES:
1. SIDEWALK TO BE SCORED IN EQUALLY 5'-0" MAXIMUM SQUARES.
2. EXPANSION JOINTS ACROSS THE SIDEWALK NOT MORE THAN 15' APART.
3. 1/2" PREFORMED BITUMINOUS EXPANSION MATERIAL IN EXPANSION JOINTS TO BE KEPT 1/4" BELOW SURFACE OF SIDEWALK. FILL WITH SEALANT.
4. 4000 PSI AIR ENTRAINED CONCRETE SHALL BE USED.
5. WHEN SIDEWALK ADJUTS CURB, WALK SHALL BE 1/4" ABOVE CURB WITH 1/2" PREFORMED BITUMINOUS EXPANSION MATERIAL BETWEEN SIDEWALK AND CURB.
6. SIDEWALK WIDTH ADJACENT TO CURB SHALL BE 5'-0" MIN.
7. SIDEWALK LOCATED 2' OR MORE FROM CURB MAY BE 4'-0" IN WIDTH WITH A 5' X 5' PAVED SECTION PLACED 200' APART.
8. PROVIDE 1/2" EXPANSION JOINT WHERE WALKS ABUT EXISTING CONCRETE SURFACES TO REPAIR.

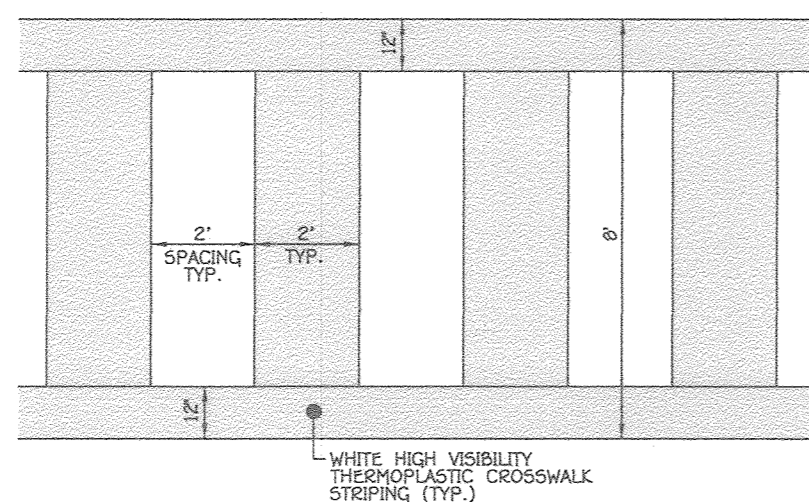
3
49
CONCRETE SIDEWALK ADJACENT TO CURB DETAIL
NO SCALE
(SEE HO. CO. VOLUME IV DESIGN MANUAL R-3.05)



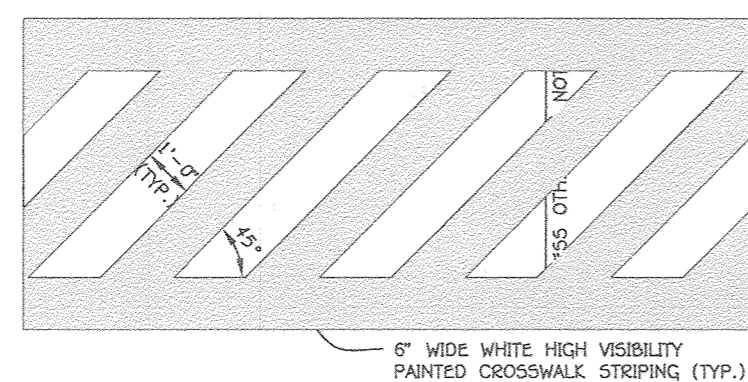
4
49
STANDARD 6" COMB. CONC. CURB AND GUTTER
NO SCALE
(SEE HO. CO. VOLUME IV DESIGN MANUAL R-9.01)



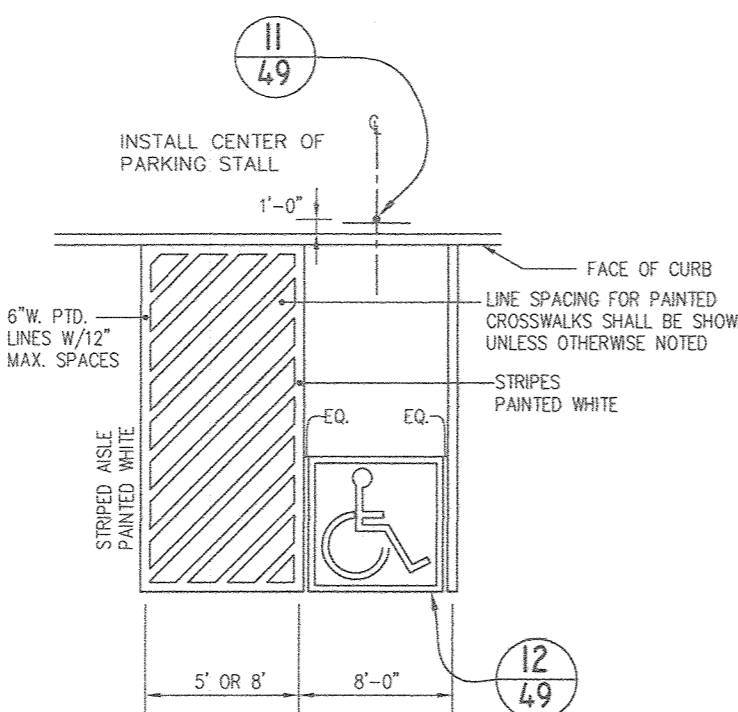
5
49
PAVED PLAY AREA AND WALKWAY ASPHALTIC PAVING DETAIL
NO SCALE



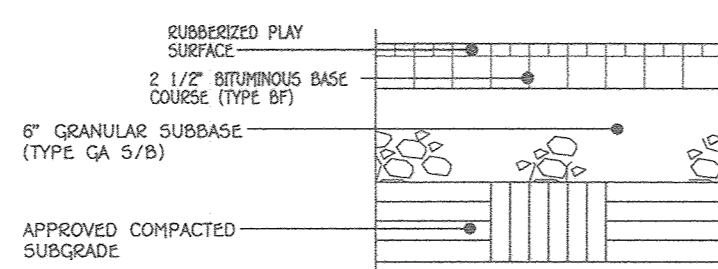
7
49
PEDESTRIAN CROSSWALK DETAIL
NO SCALE
(SEE HO. CO. VOLUME IV DESIGN MANUAL T-7.03)



8
49
CROSSWALK DETAIL
NO SCALE



9
49
HANDICAP PARKING SPACE LAYOUT
NO SCALE

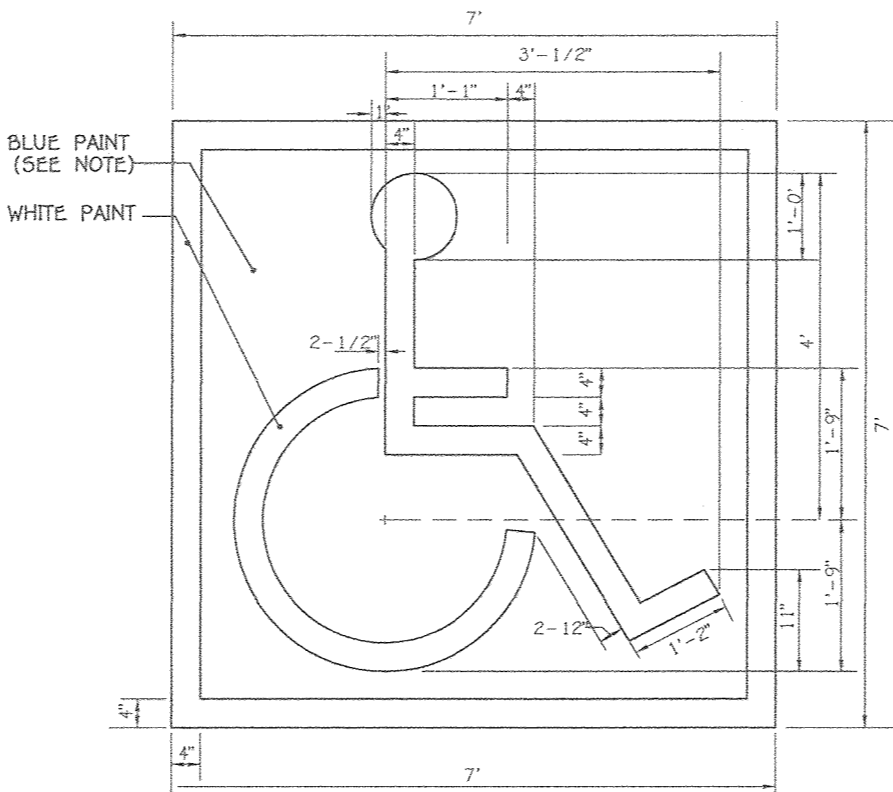


10
49
PLAYGROUND PROTECTIVE PLAY SURFACE DETAIL
NO SCALE

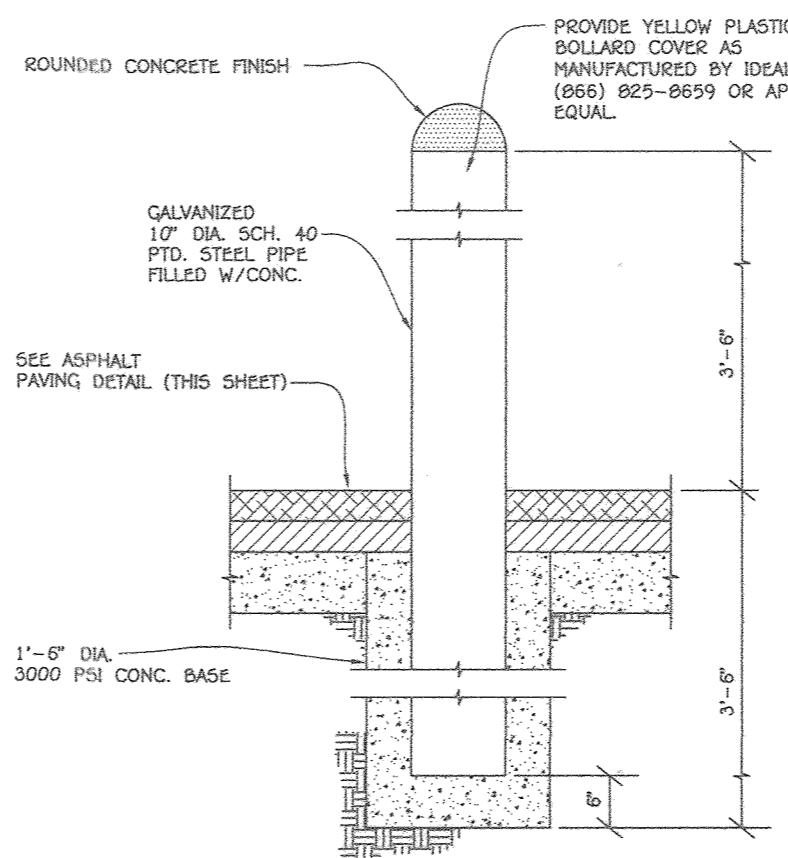


GENERAL NOTES:
1. SIGNS SHALL MEET DESIGN STANDARDS OF THE FEDERAL HIGHWAY ADMINISTRATION AND CONFORM TO THE STATE OF MARYLAND STANDARD HIGHWAY SIGN BOOLETT DETAIL 07-B.
2. ONE SIGN IS REQUIRED PER SPACE PLACED AS SHOWN ON SITE IMPROVEMENT PLAN.
3. SIGNS SHALL BE POLE MOUNTED WITH HOT DIPPED GALVANIZED COUNTY APPROVED PERFORATED CHANNEL POSTS W/TOP OF SIGNS 9'-1" ABOVE FINISHED GRADE OR AS INDICATED ON SITE DRAWINGS.
4. SIGN SHALL BE ATTACHED TO FLANGED SIDE OF POST. POST SHALL EXTEND INTO GROUND 2'-6" MIN.
5. COLORS: LEGEND AND BORDER-GREEN SYMBOLS-WHITE ON BLUE BACKGROUND BACKGROUND-WHITE.
6. CONTRACTOR SHALL COORDINATE ARROW DIRECTION WITH LOCATION OF ADJACENT AISLE.
7. SPACES INDICATED ON SITE DEVELOPMENT PLANS AS "VAN ACCESSIBLE" SHALL BE SIGNED ACCORDINGLY.

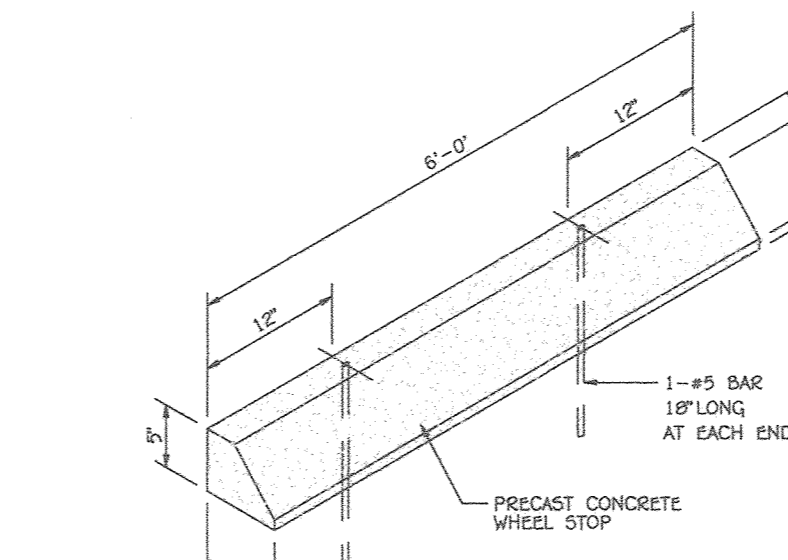
11
49
HANDICAP PARKING SIGN DETAIL
NOT TO SCALE



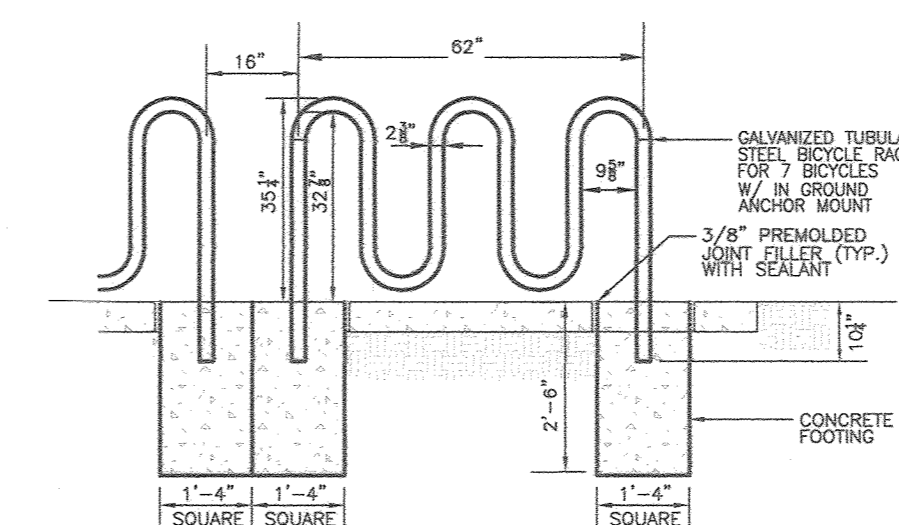
12
49
HANDICAP SPACE STENCIL LAYOUT
NO SCALE



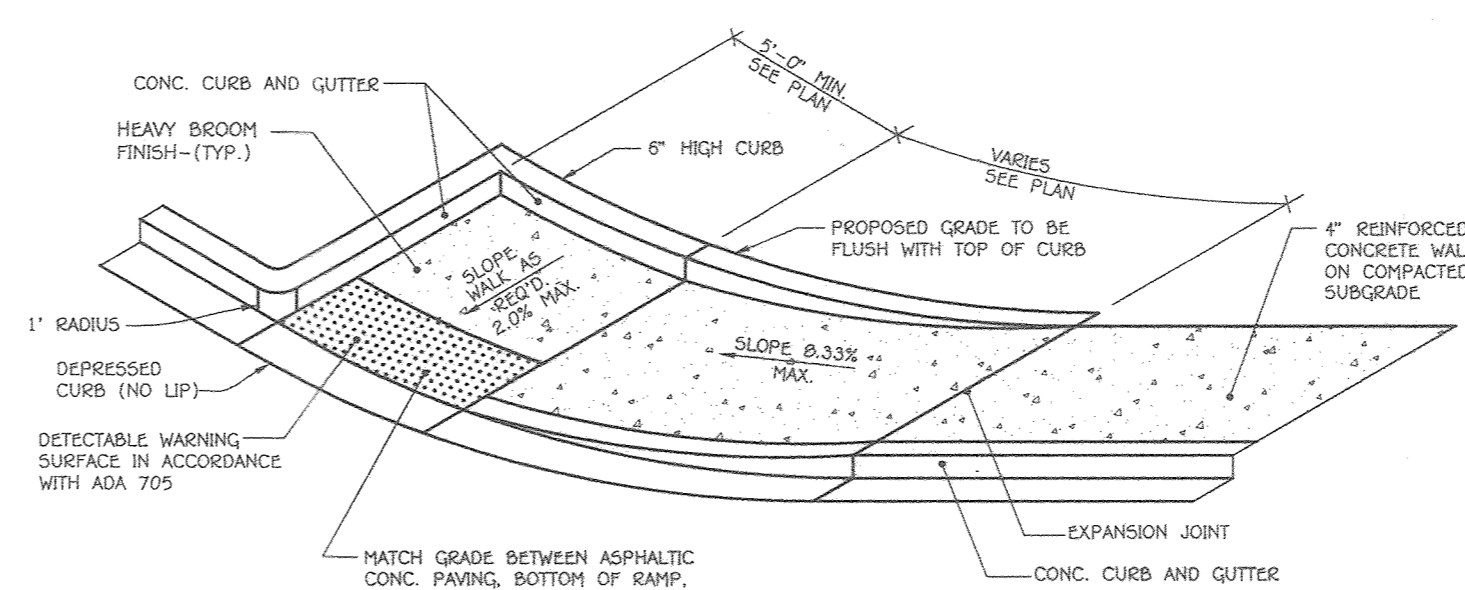
13
49
BOLLARD DETAIL
NO SCALE



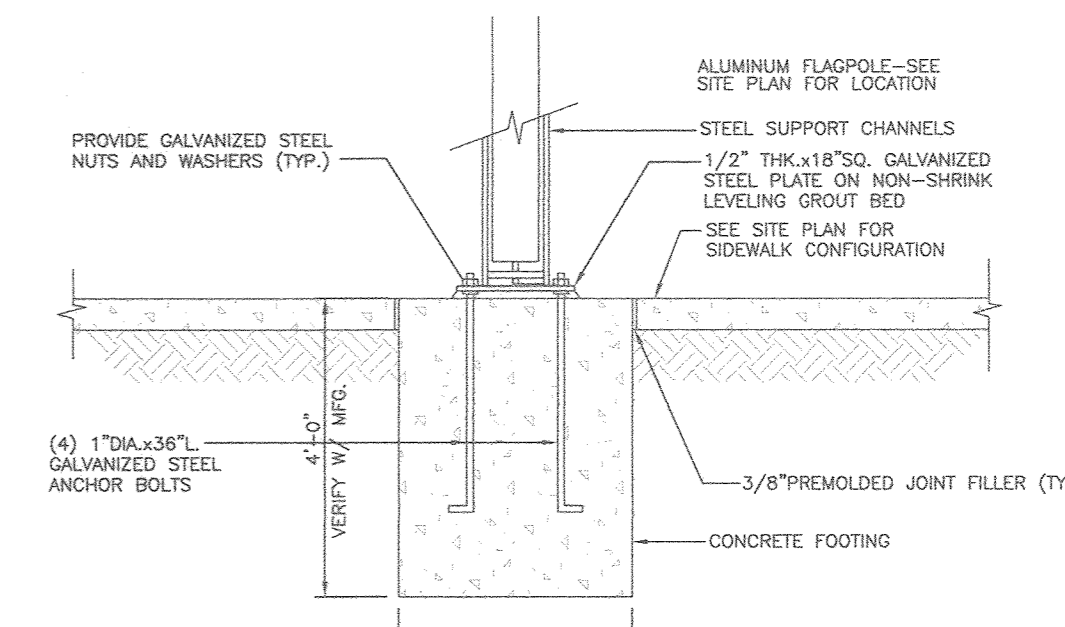
14
49
WHEEL STOP DETAIL
NO SCALE



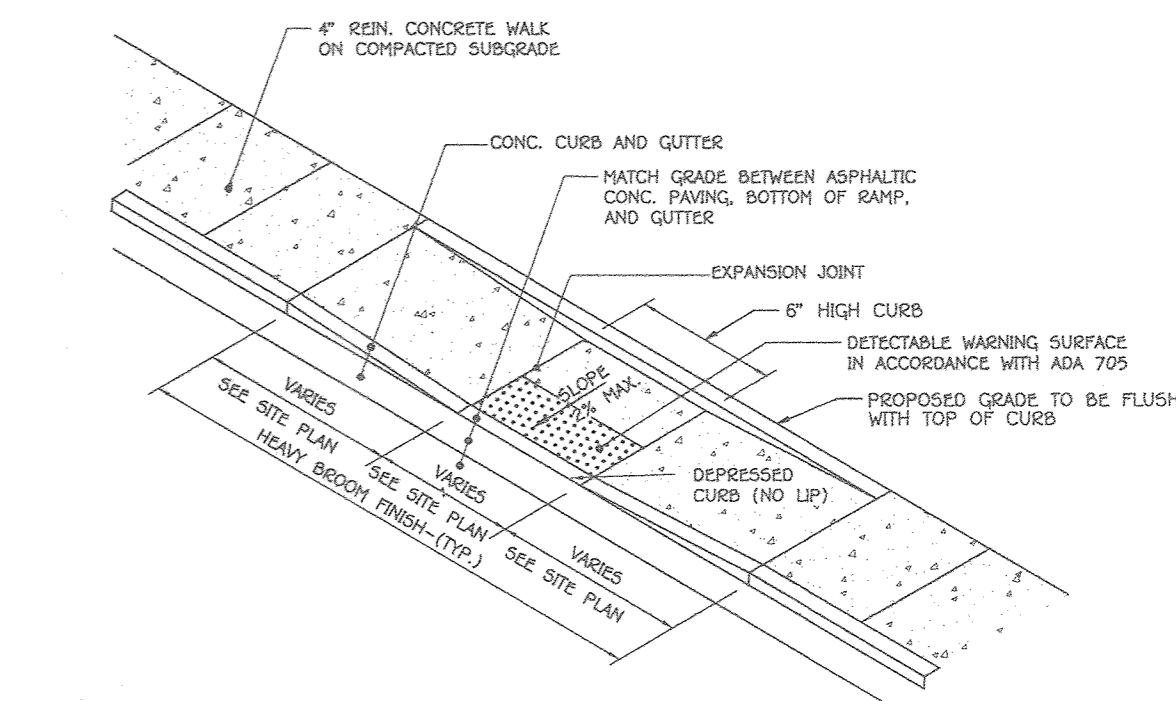
15
49
BICYCLE RACK DETAIL
NO SCALE



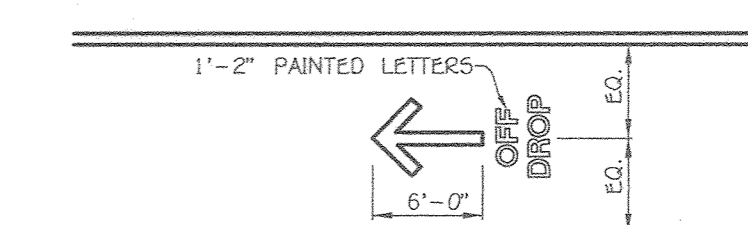
16
49
SIDEWALK RAMP DETAIL
NO SCALE



17
49
TILT FLAGPOLE DETAIL
NO SCALE



18
49
HANDICAP CURB RAMP DETAIL
NO SCALE



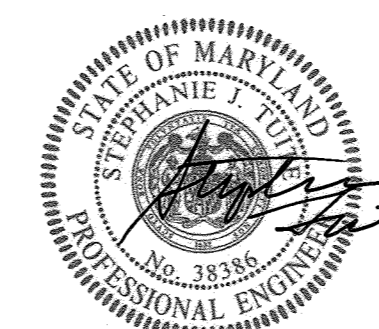
19
49
STUDENT DROPOFF DETAIL
NO SCALE

FISHER, COLLINS & CARTER, INC.
CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
CENTRAL SQUARE OFFICE PARK - 10272 BALTIMORE NATIONAL PIKE
CLARKSBURG CITY, MARYLAND 21286
(410) 461-2295

"PROFESSIONAL CERTIFICATION. I HEREBY CERTIFY THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 38306, EXPIRATION DATE: JANUARY 12, 2022."
Stephanie J. Tuite
STEPHANIE J. TUITE, R.L.A., P.E., LEED AP BC&D
8/17/20
DATE

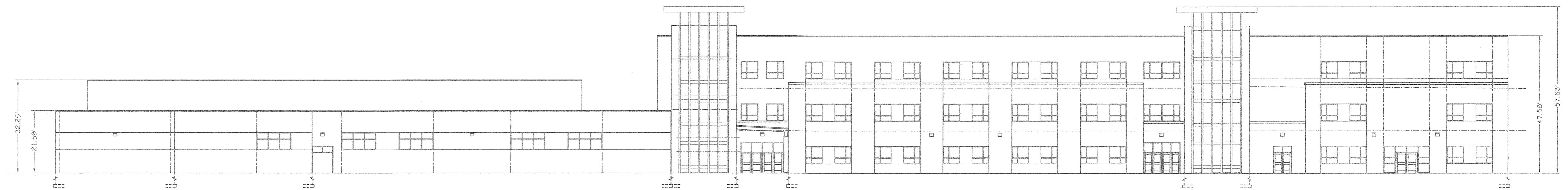
DATE	DESCRIPTION
16-5-20	Director, Department of Planning and Zoning
10/5/20	Chief, Planning and Development
8-28-20	Chief, Development Engineering Division

PREPARED FOR
HOWARD COUNTY PUBLIC SCHOOL SYSTEM
9020 MENDENHALL COURT
SUITE 'C'
COLUMBIA, MARYLAND 21045
Attention: DANIEL LUBELEY
410-313-0203

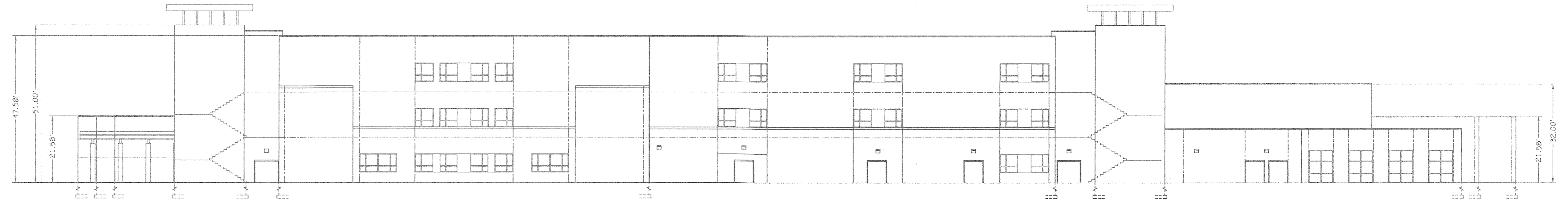


ADDRESS CHART					
PARCEL NO.	STREET ADDRESS				
-	8500 RIDGELY'S RUN ROAD JESSUP, MARYLAND 20794				
PROJECT	SECTION/AREA	PARCEL			
HIGH SCHOOL #13	N/A	102, 349, 235			
PLAT NOS.	BLOCK NO.	ZONE	TAX MAP	ELEC. DIST.	CENSUS TR.
18 & 24	13 & 19	R-12 RSC MXD-3 (RCA-8 MXD-3)	42 & 43	SIXTH	606901
WATER CODE	SEWER CODE				

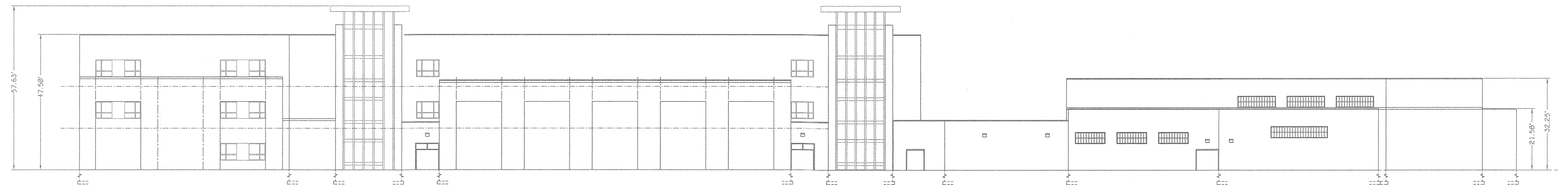
DETAIL SHEET - SITE
**HIGH SCHOOL #13
PARCELS 'A' THRU 'D'**
ZONED: R-SC MXD-3, R-SA-8 MXD-3 AND R-12
PARCEL NOS.: 102, 349, 235
TAX MAP No.: 42 & 43 GRID No.: 24 & 19
SIXTH ELECTION DISTRICT HOWARD COUNTY, MARYLAND
SCALE: AS SHOWN DATE: AUGUST, 2020
SHEET 49 OF 131



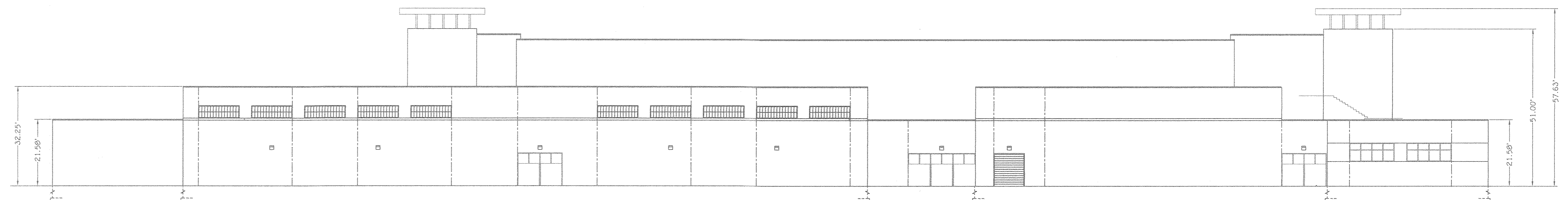
NORTH FACING ELEVATION - MAIN BUILDING
SCALE: 1" = 20'



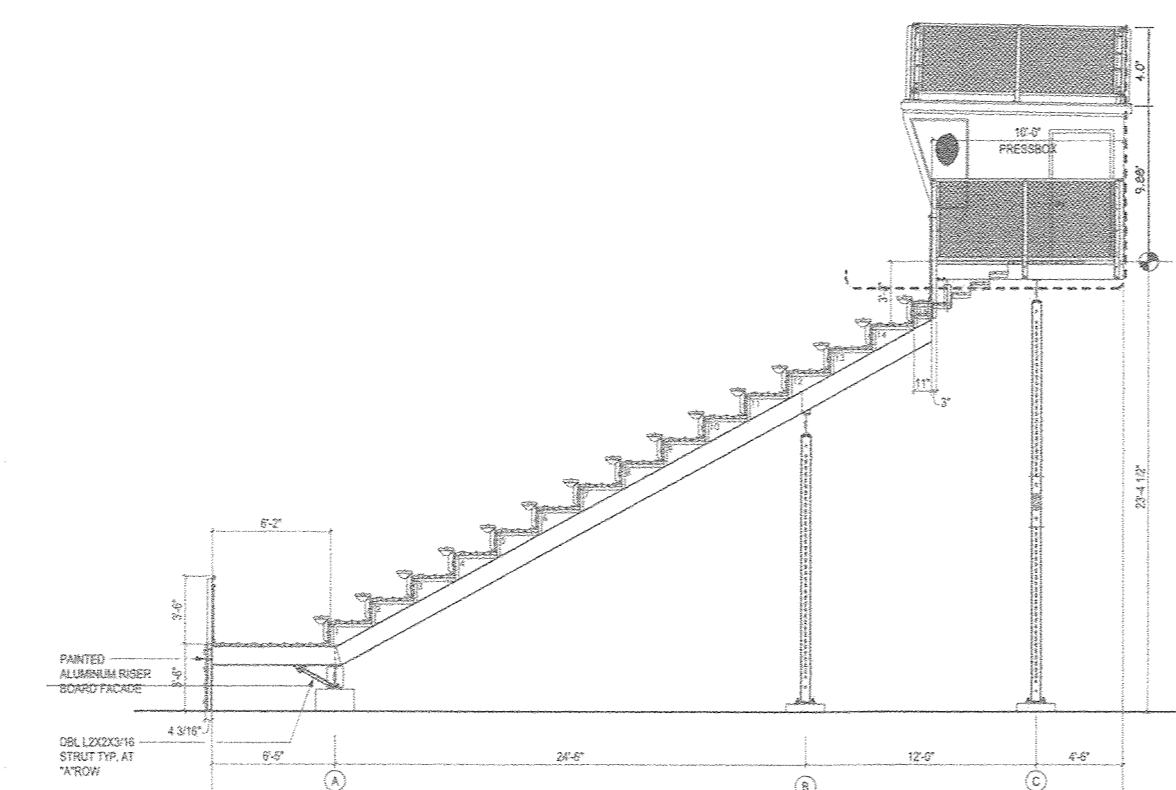
WEST FACING ELEVATION - MAIN BUILDING
SCALE: 1" = 20'



SOUTH FACING ELEVATION - MAIN BUILDING
SCALE: 1" = 20'

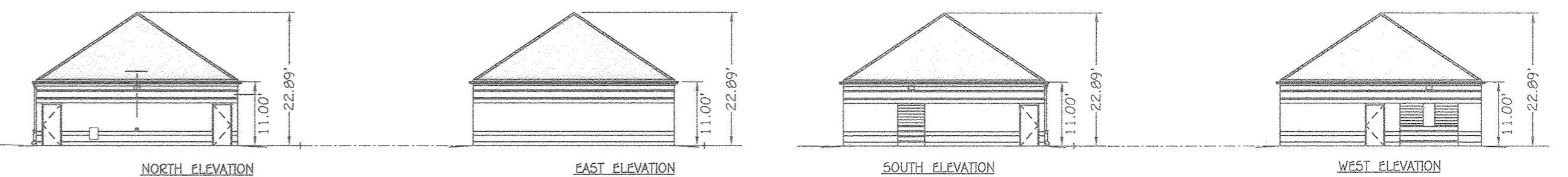


EAST FACING ELEVATION - MAIN BUILDING
SCALE: 1" = 20'

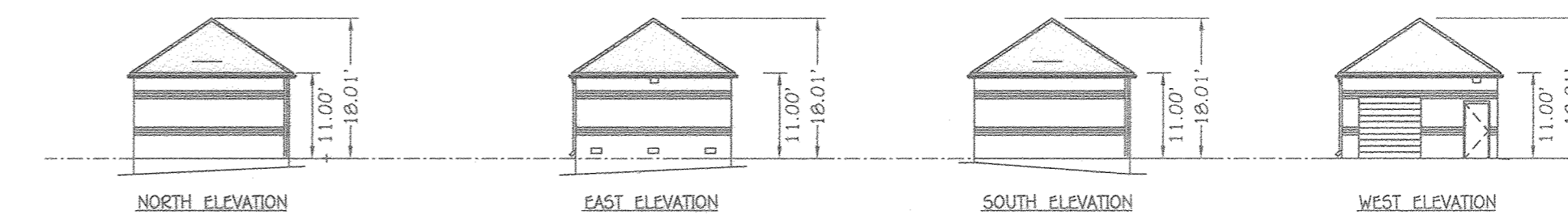


BLEACH AND PRESS BOX ELEVATIONS
SCALE: 1" = 40'

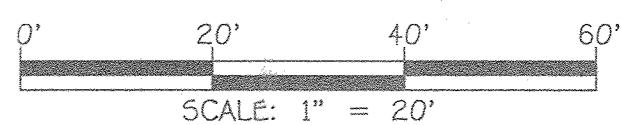
NOTE: THE CONCESSION STAND AND TICKET BOOTH BUILDING ARE EXCEPT FROM THE HEIGHT LIMITS FOR ACCESSORY STRUCTURES PER SECTION 12B.0.A.3.e. OF THE ZONING REGULATIONS AS DETERMINED BY THE PLANNING DIRECTOR.



CONCESSION STAND ELEVATIONS
SCALE: 1" = 20'



TICKET BOOTH BUILDING ELEVATIONS
SCALE: 1" = 20'



FISHER, COLLINS & CARTER, INC.
CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
CENTRAL SQUARE OFFICE PARK - 16275 BALTIMORE NATIONAL PIKE
ELLCOTT CITY, MARYLAND 21042
(410) 461-2895

"PROFESSIONAL CERTIFICATION, I HEREBY CERTIFY THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 38386, EXPIRATION DATE: JANUARY 12, 2022."
Stephanie J. Tuite
STEPHANIE J. TUITE, RLA, P.E., LEED AP BC&D
DATE: 8/17/20

DATE	DESCRIPTION

APPROVED: DEPARTMENT OF PLANNING AND ZONING

Director, Department of Planning and Zoning: *[Signature]* 16-5-20 Date

Chief, Planning and Development: *[Signature]* 04/12 Date

Chief, Development Engineering Division: *[Signature]* 8-26-20 Date

PREPARED FOR
HOWARD COUNTY PUBLIC SCHOOL SYSTEM
9020 MENDENHALL COURT
SUITE 'C'
COLUMBIA, MARYLAND 21045
Attention: DANIEL LUBELEY
410-313-8203



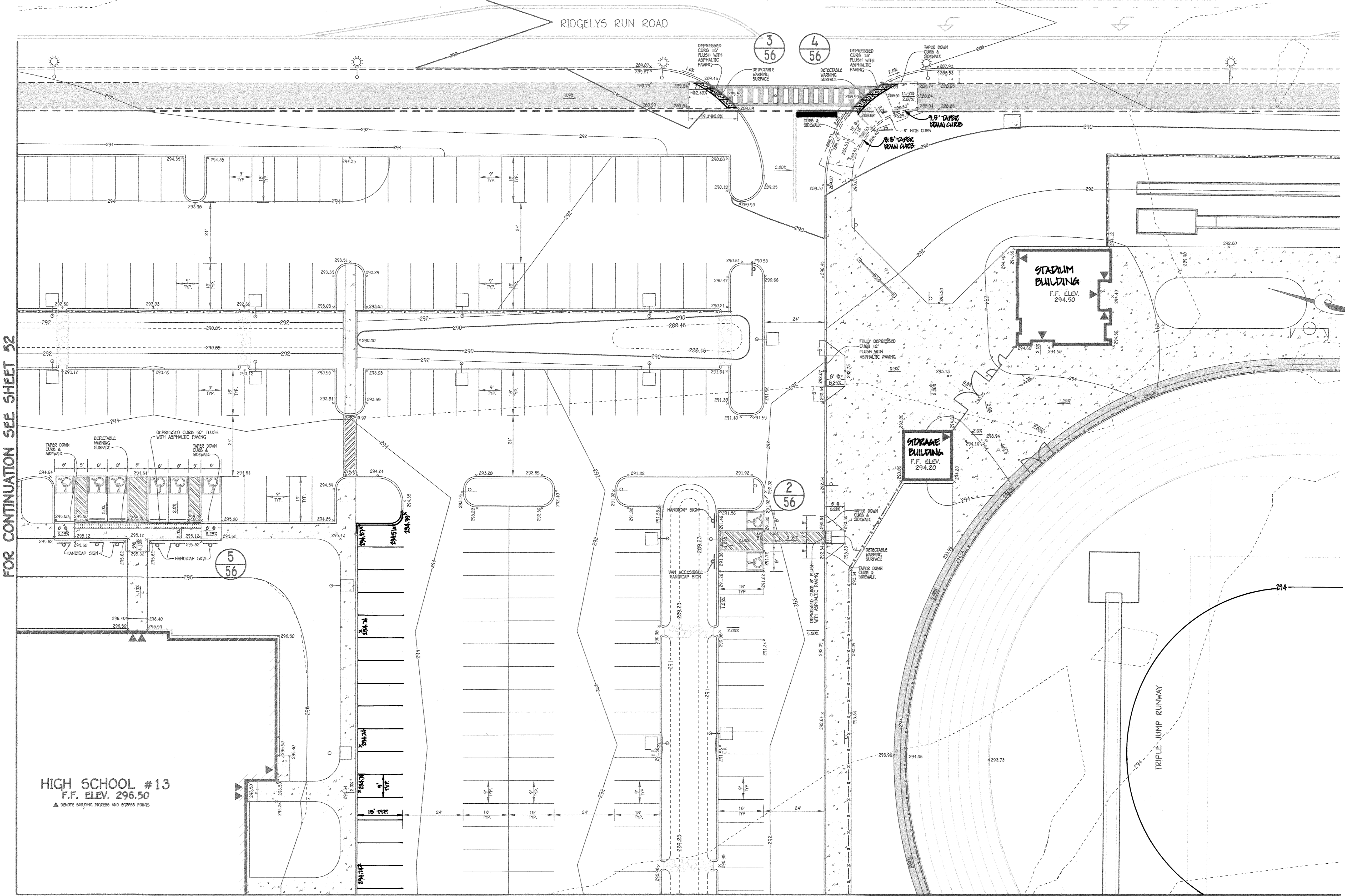
ADDRESS CHART			
PARCEL NO.	STREET ADDRESS		
	8500 RIDGELY'S RUN ROAD		
	JESSUP, MARYLAND 20794		
PROJECT	SECTION/AREA	PARCEL	
HIGH SCHOOL #13	N/A	102, 349, 235	
PLAT NOS.	BLOCK NO.	ZONE	TAX MAP
25528	18 & 24	R-12	42 & 43
25532	13 & 19	RSC MXD-3	SIXTH
		RSA-8 MXD-3	606901
WATER CODE			SEWER CODE

BUILDING ELEVATIONS

**HIGH SCHOOL #13
PARCELS 'A' THRU 'D'**

ZONED: R-5C MXD-3, R-SA-8 MXD-3 AND R-12
PARCEL Nos.: 102, 349, 235
TAX MAP No.: 42 & 43 GRID No.: 24 & 19
SIXTH ELECTION DISTRICT HOWARD COUNTY, MARYLAND
SCALE: AS SHOWN DATE: AUGUST, 2020
SHEET 50 OF 131

I:\2010\10027\Engineering\Drawings\SDP\0027 SDP 050 BUILDING ELEVATIONS.dwg, SHEET-050, Building Elevations, 8/15/2020 11:59:51 AM, 1:1



FOR CONTINUATION SEE SHEET 52

FOR CONTINUATION SEE SHEET 54

PLAN
SCALE: 1" = 20'

FISHER, COLLINS & CARTER, INC.
CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
CENTENNIAL SQUARE OFFICE PARK - 12072 BALTIMORE NATIONAL PIKE
ELICOTT CITY, MARYLAND 21042
(410) 481 - 2895

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Stephanie A. Tuite
STEPHANIE A. TUITE, RLA, P.E., LEED AP BC&D
9/17/20
DATE

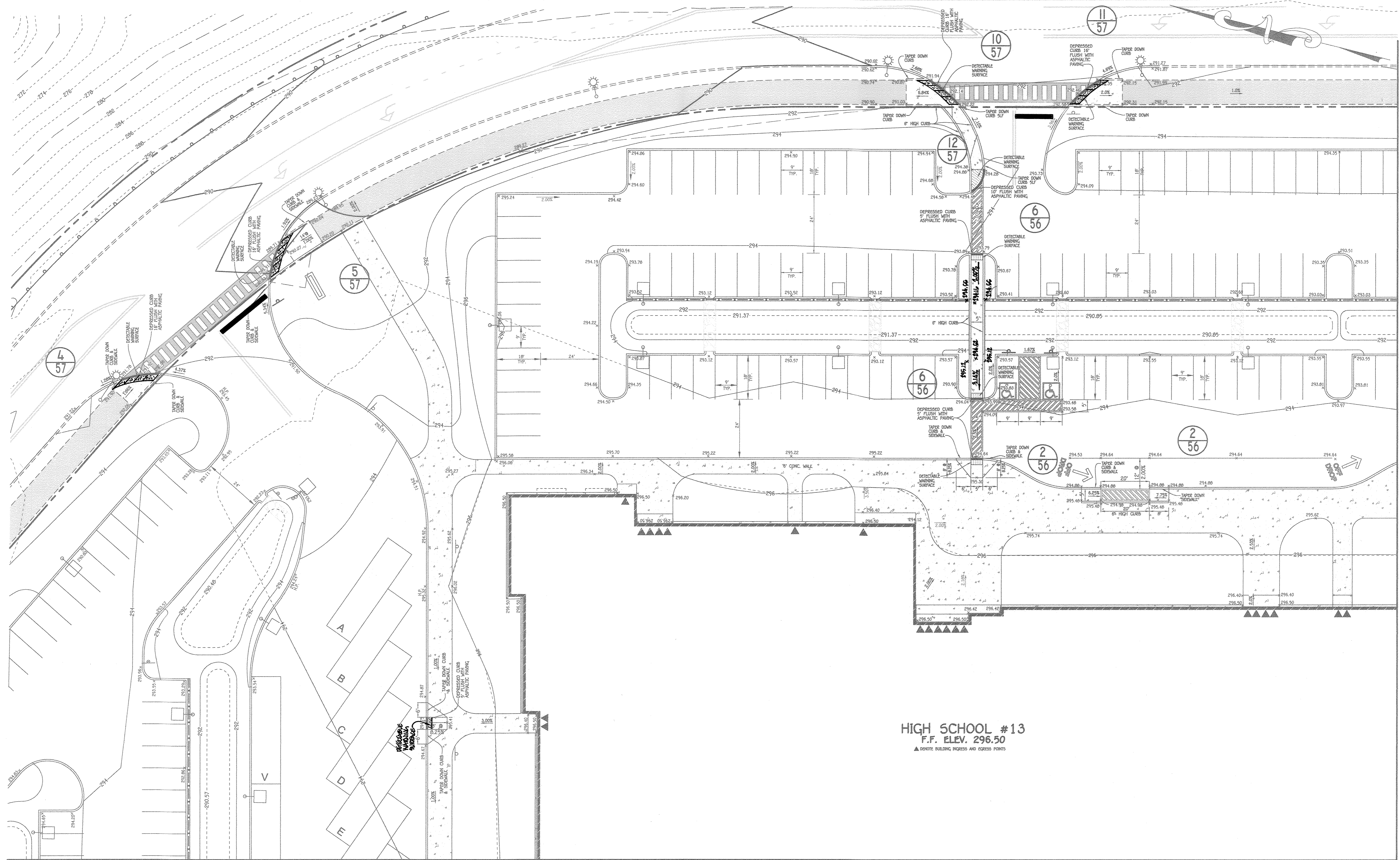
DATE	DESCRIPTION	REVISION BLOCK
9/9/21	REVISED PROPOSED GRADE, 90' DARK PARKING LOT, DEPRESSURED CURB WITH ASPHALTIC PAVING	
APPROVED: DEPARTMENT OF PLANNING AND ZONING		
Director	<i>[Signature]</i>	10-5-20 Date
Chief, Department of Planning and Zoning	<i>[Signature]</i>	10/12/20 Date
Chief, Development Engineering Division	<i>[Signature]</i>	9-26-20 Date

PREPARED FOR
HOWARD COUNTY PUBLIC SCHOOL SYSTEM
9020 MENDENHALL COURT
SUITE 'C'
COLUMBIA, MARYLAND 21045
Attention: DANIEL LUBELEY
410-313-8203



ADDRESS CHART			
PARCEL NO.	STREET ADDRESS		
-	8500 RIDGELYS RUN ROAD		
-	JESSUP, MARYLAND 20794		
PROJECT	SECTION/AREA	PARCEL	
HIGH SCHOOL #13	N/A	102, 349, 235	
PLAT NOS.	BLOCK NO.	ZONE	TAX MAP ELEC. DIST. CENSUS TR.
19 & 24 13 & 19	6-12	R-SC MXD-3 R-5A-B MXD-3	42 & 43 SIXTH 606901
WATER CODE	SEWER CODE		
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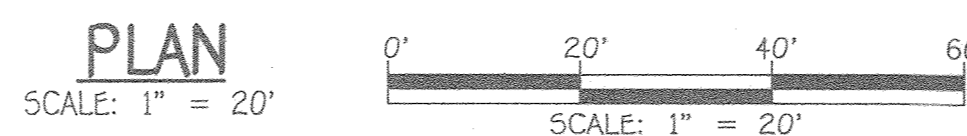
HANDICAP ACCESS PLAN	
HIGH SCHOOL #13 PARCELS 'A' THRU 'D'	
ZONED: R-SC MXD-3, R-5A-B MXD-3 AND R-12 PARCEL Nos.: 102, 349, 235 TAX MAP No.: 42 & 43 GRID No.: 24 & 19 SIXTH ELECTION DISTRICT HOWARD COUNTY, MARYLAND SCALE: AS SHOWN DATE: AUGUST, 2020 SHEET 51 OF 131	



FOR CONTINUATION SEE SHEET 51

FOR CONTINUATION SEE SHEET 53

HIGH SCHOOL #13
F.F. ELEV. 296.50
▲ denote building ingress and egress points



FISHER, COLLINS & CARTER, INC.
CIVIL ENGINEERING, CONSULTANTS & LAND SURVEYORS
CENTENNIAL SQUARE OFFICE PARK - 10772 BALTIMORE NATIONAL PIKE
ELLSWORTH CITY, MARYLAND 21042
(410) 461-2895

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Stephanie Tuite
STEPHANIE TUITE, RLA, P.E., LEED AP BC&D
8/17/20
DATE

DATE	DESCRIPTION	REVISION BLOCK
8/3/21	REVISED 90% PLAN, ADDED 90% ELEVATIONS, SLOPES & CORRESPONDING WALKWAY SURFACE	
APPROVED: DEPARTMENT OF PLANNING AND ZONING		
<i>Ag Gorn</i>	Director, Department of Planning and Zoning	10-5-20 Date
<i>John</i>	Chief, Division of Land Development	10/17/20 Date
<i>John</i>	Chief, Development Engineering Division	8-26-20 Date

PREPARED FOR
HOWARD COUNTY PUBLIC SCHOOL SYSTEM
9020 MENDENHALL COURT
SUITE 'C'
COLUMBIA, MARYLAND 21045
Attention: DANIEL LUBELEY
410-313-8203



ADDRESS CHART			
PARCEL NO.	STREET ADDRESS		
-	8500 RIDGELY'S RUN ROAD JESSUP, MARYLAND 20794		
PROJECT	SECTION/AREA	PARCEL	
HIGH SCHOOL #13	N/A	102, 349, 235	
PLAT NOS.	BLOCK NO.	ZONE	TAX MAP ELEC. DIST. CENSUS TR.
25529 25528	19 & 24 13 & 19	R-12 RSC MXD-3 R5A-B MXD-3	42 & 43 SIXTH 606901
WATER CODE	SEWER CODE		
---	---		

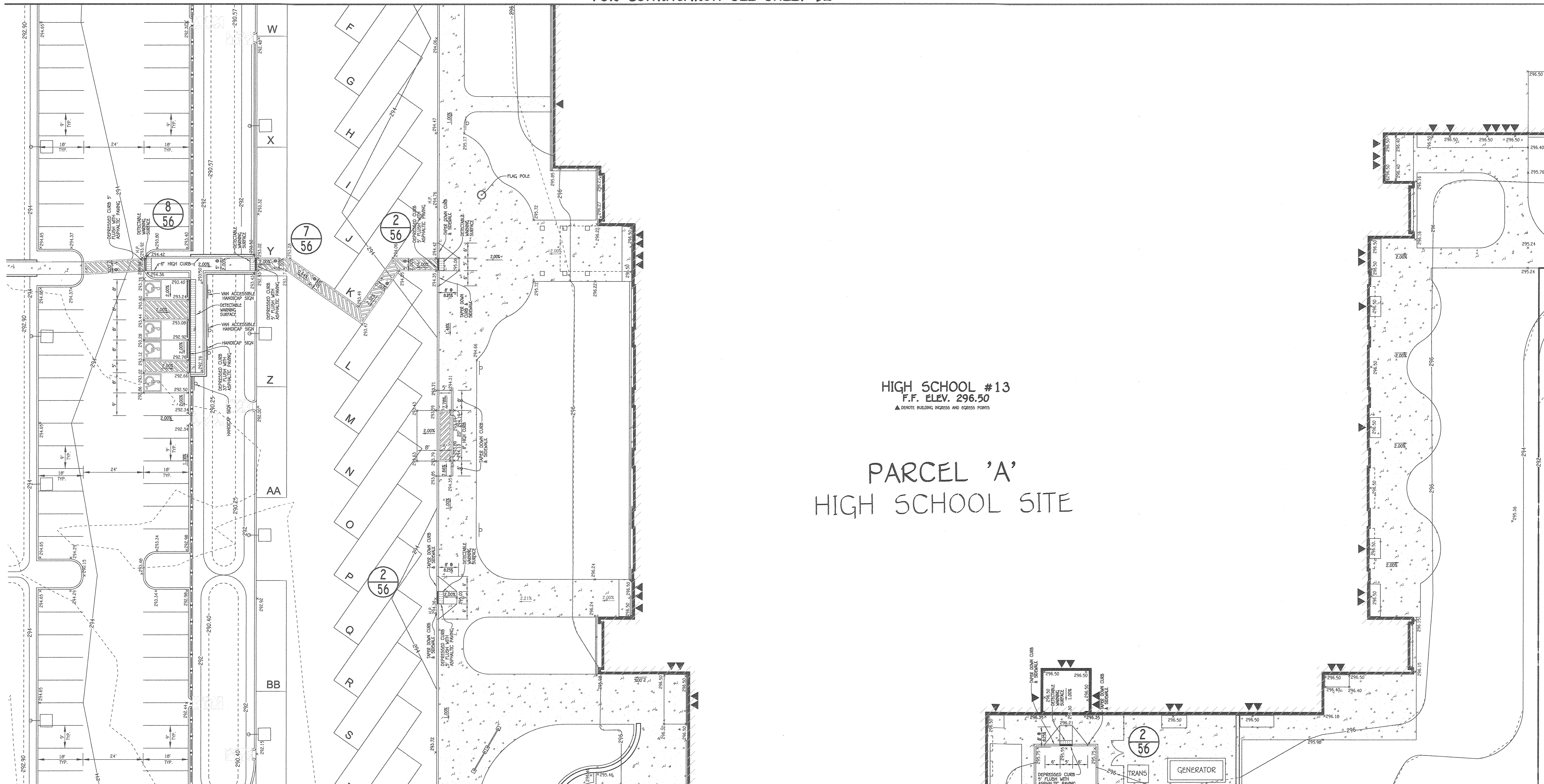
HANDICAP ACCESS PLAN

HIGH SCHOOL #13
PARCELS 'A' THRU 'D'

ZONED: R-SC MXD-3, R-5A-B MXD-3 AND R-12
PARCEL Nos.: 102, 349, 235
TAX MAP No.: 42 & 43 GRID No.: 24 & 19
SIXTH ELECTION DISTRICT HOWARD COUNTY, MARYLAND
SCALE: AS SHOWN DATE: AUGUST, 2020
SHEET 52 OF 131

I:\2019\10027\Engineering\Drawings\SDP\10027 SDP 051-55 HANDICAP ACCESS PLANS.dwg, SHEET-052, Handicap Access Plan, 8/17/2020 2:35:39 PM, 1:1

FOR CONTINUATION SEE SHEET 52



HIGH SCHOOL #13
F.F. ELEV. 296.50
▲ INDICATE BUILDING INGRESS AND EGRESS POINTS

PARCEL 'A'
HIGH SCHOOL SITE

FOR CONTINUATION SEE SHEET 55

PLAN
SCALE: 1" = 20'

0' 20' 40' 60'
SCALE: 1" = 20'

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CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
CENTENNIAL SQUARE OFFICE PARK - 10772 BALTIMORE NATIONAL PIKE
ELLSWORTH CITY, MARYLAND 21042
(410) 461-2855

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Stephanie J. Tuite
STEPHANIE J. TUITE, RLA, P.E., LEED AP BC&D
8/17/20
DATE

DATE	DESCRIPTION
	REVISION BLOCK
APPROVED: DEPARTMENT OF PLANNING AND ZONING	
<i>John G...</i> Director, Department of Planning and Zoning	10-5-20 Date
<i>...</i> Chief, Development Engineering Division	8/22/20 Date

PREPARED FOR
HOWARD COUNTY PUBLIC SCHOOL SYSTEM
9020 MENDENHALL COURT
SUITE 'C'
COLUMBIA, MARYLAND 21045
Attention: DANIEL LUBELEY
410-313-8203

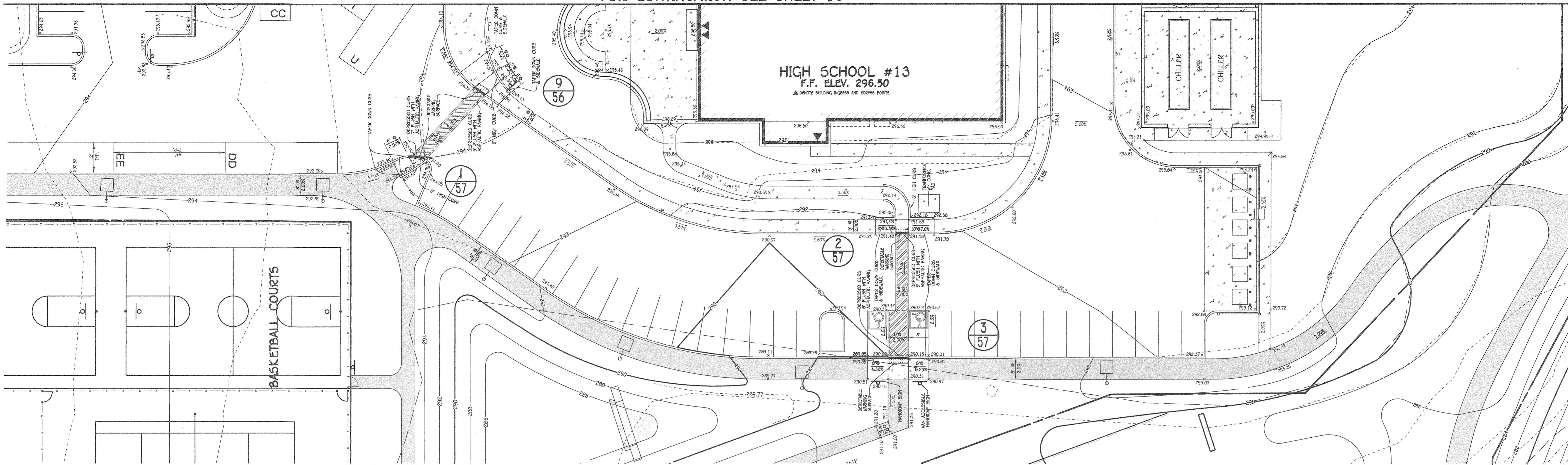


ADDRESS CHART				
PARCEL NO.	STREET ADDRESS			
	8900 RIDGELY'S RUN ROAD JESSUP, MARYLAND 20794			
PROJECT	BLOCK NO.	ZONE	TAX MAP	SECTION/AREA
HIGH SCHOOL #13	10 & 24 13 & 19	R-12 RSC MXD-3 25A-B MXD-3	42 & 43	N/A
PLAT NOS.	ELEC. DIST.	CENSUS TR.	PARCEL	
2668-1003A	SIXTH	606901	102, 349, 235	
WATER CODE	SEWER CODE			
---	---			

HANDICAP ACCESS PLAN	
HIGH SCHOOL #13 PARCELS 'A' THRU 'D'	
ZONED: R-SC MXD-3, R-5A-B MXD-3 AND R-12 PARCEL Nos.: 102, 349, 235 TAX MAP No.: 42 & 43 GRID No.: 24 & 19 SIXTH ELECTION DISTRICT HOWARD COUNTY, MARYLAND SCALE: AS SHOWN DATE: AUGUST, 2020 SHEET 53 OF 131	

FOR CONTINUATION SEE SHEET 54

FOR CONTINUATION SEE SHEET 53



PLAN
SCALE: 1" = 20'

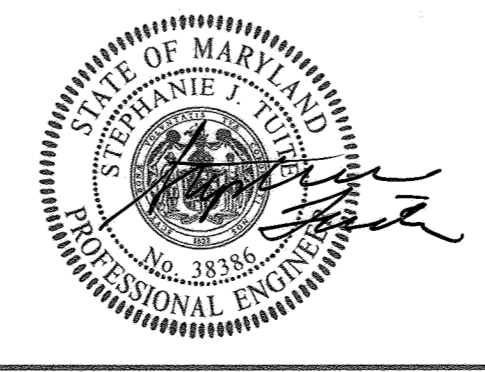
FISHER, COLLINS & CARTER, INC.
 CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
 CENTENNIAL SQUARE OFFICE PARK - 12272 BALTIMORE NATIONAL PIKE
 ELIJAH CITY, MARYLAND 21042
 (410) 461-2892

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 STEPHANIE J. TUITE, R.L.A., P.E., LEED AP BC&D
 9/17/20
 DATE

DATE	DESCRIPTION
	REVISION BLOCK
APPROVED: DEPARTMENT OF PLANNING AND ZONING	
	10-5-20 Date
	10/16/20 Date
	8-20-20 Date

PREPARED FOR
 HOWARD COUNTY PUBLIC SCHOOL SYSTEM
 9020 MENDENHALL COURT
 SUITE 'C'
 COLUMBIA, MARYLAND 21045
 Attention: DANIEL LUBELEY
 410-313-8203



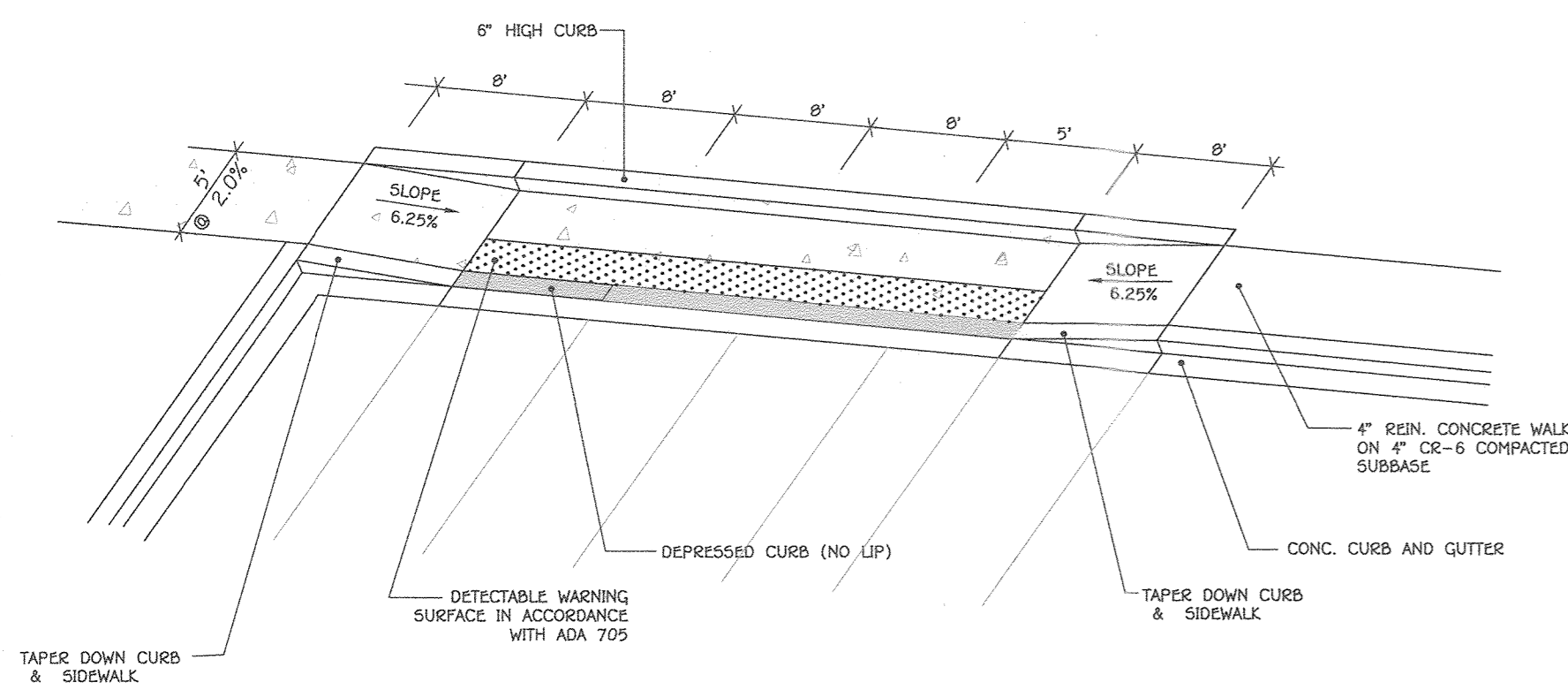
ADDRESS CHART			
PARCEL NO.	STREET ADDRESS		
	8500 RIDGELY'S RUN ROAD		
	JESSUP, MARYLAND 20794		
PROJECT	SECTION/AREA	PARCEL	
HIGH SCHOOL #13	N/A	102, 349, 235	
PLAT NO.	BLOCK NO.	ZONE	TAX MAP
25528	18 & 24	RSC MXD-3	42 & 43
25532	13 & 19	RSA-B MXD-3	SIXTH
WATER CODE		SEWER CODE	

HANDICAP ACCESS PLAN

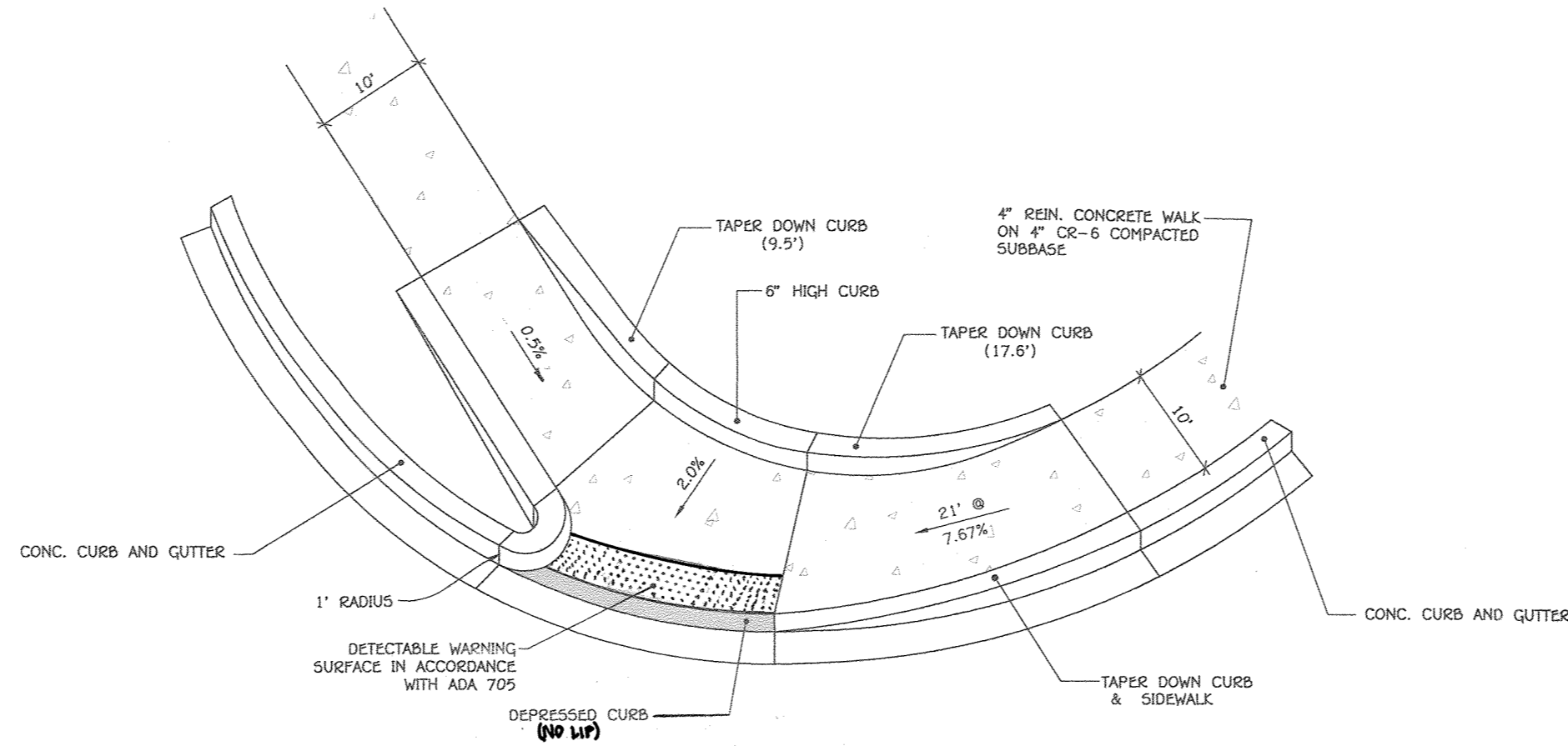
HIGH SCHOOL #13
PARCELS 'A' THRU 'D'

ZONED: R-SC MXD-3, R-SA-B MXD-3 AND R-12
 PARCEL Nos.: 102, 349, 235
 TAX MAP No.: 42 & 43 GRID No.: 24 & 19
 SIXTH ELECTION DISTRICT HOWARD COUNTY, MARYLAND
 SCALE: AS SHOWN DATE: AUGUST, 2020
 SHEET 55 OF 131

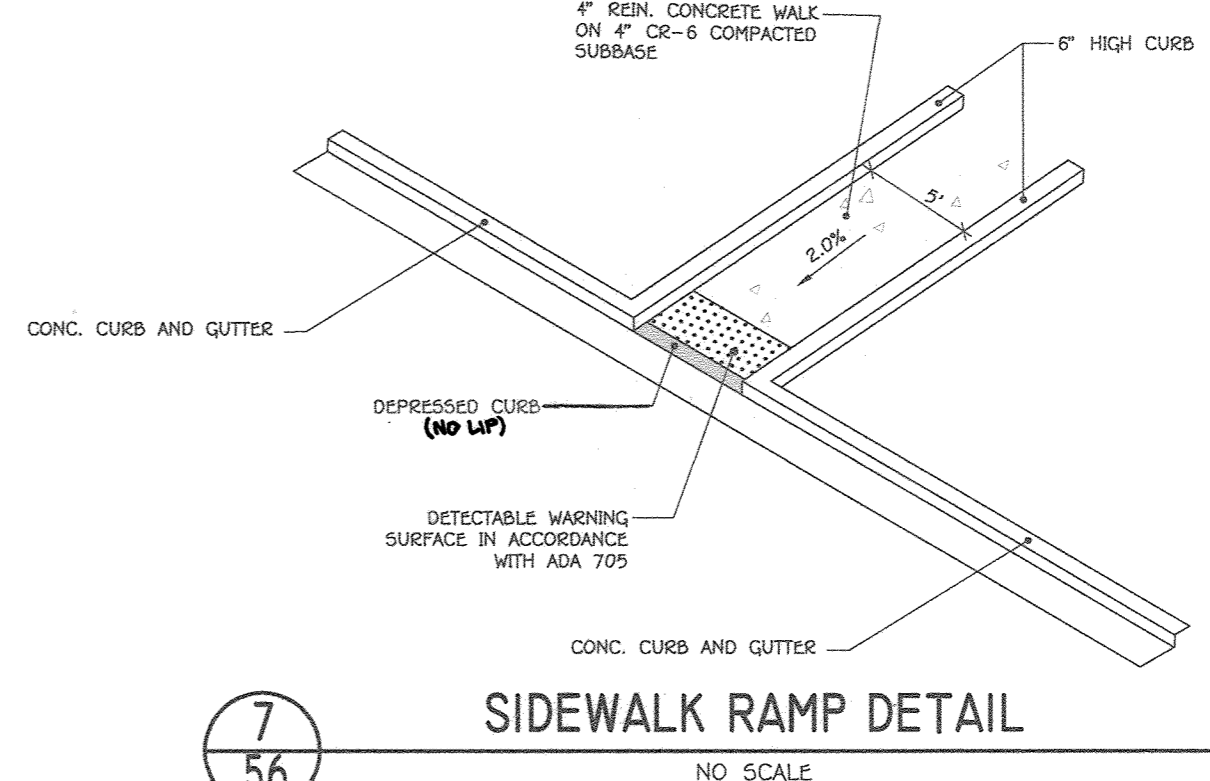
I:\2010\10027\Engineering\Drawings\SDP\10027 SDP 051-55 HANDICAP ACCESS PLANS.dwg, SHEET-055_Handicap Access Plan, 8/17/2020 2:21:23 PM, 1:1



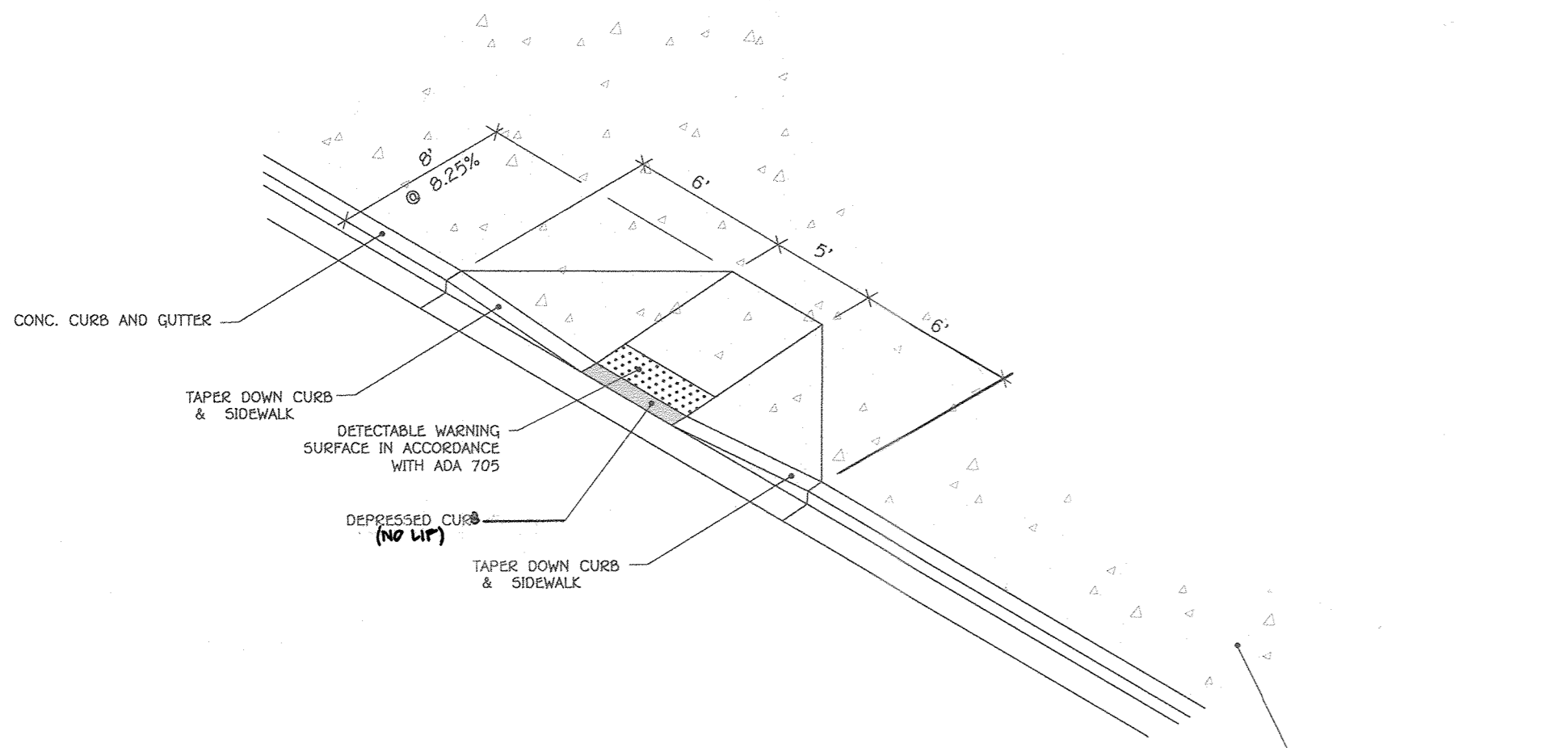
1
56
SIDEWALK RAMP DETAIL
NO SCALE



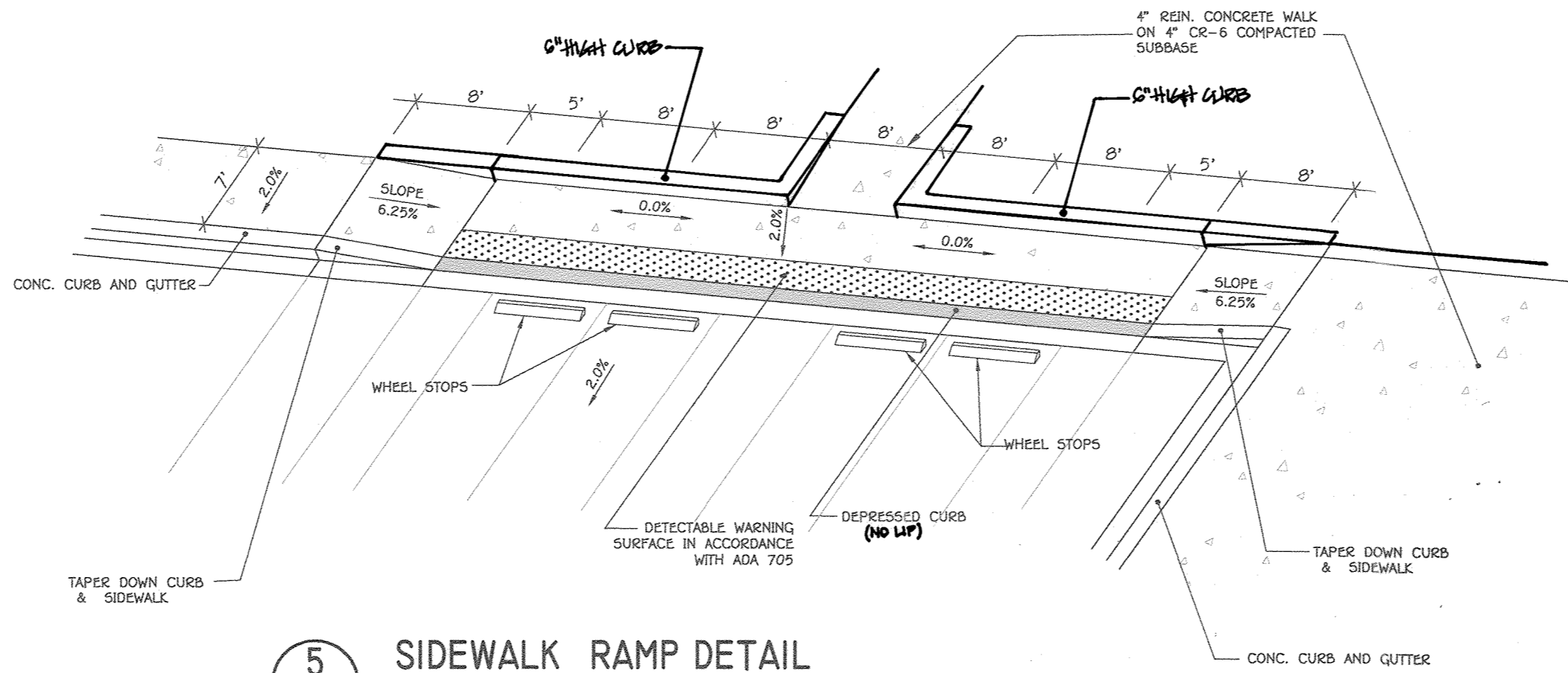
4
56
SIDEWALK RAMP DETAIL
NO SCALE



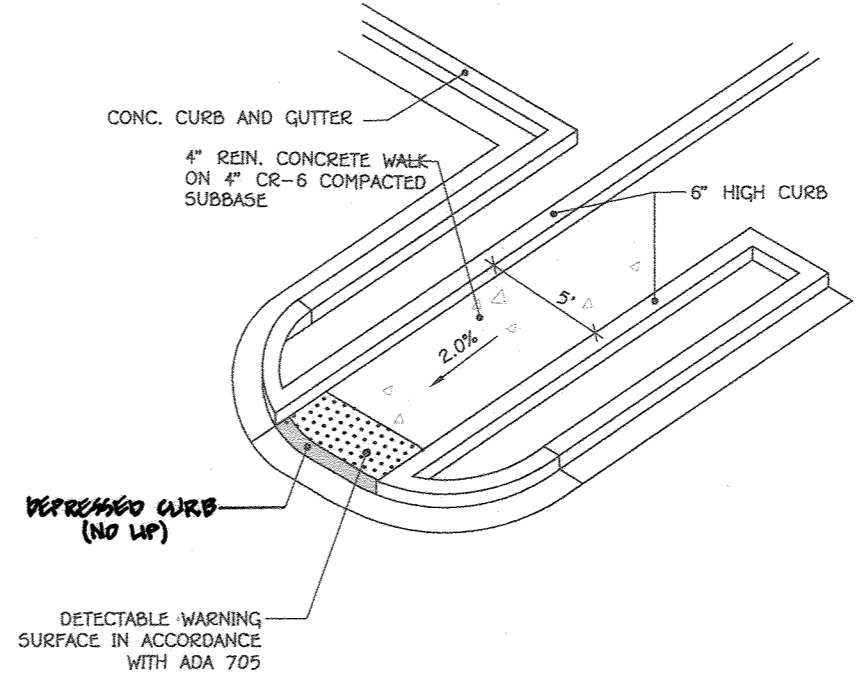
7
56
SIDEWALK RAMP DETAIL
NO SCALE



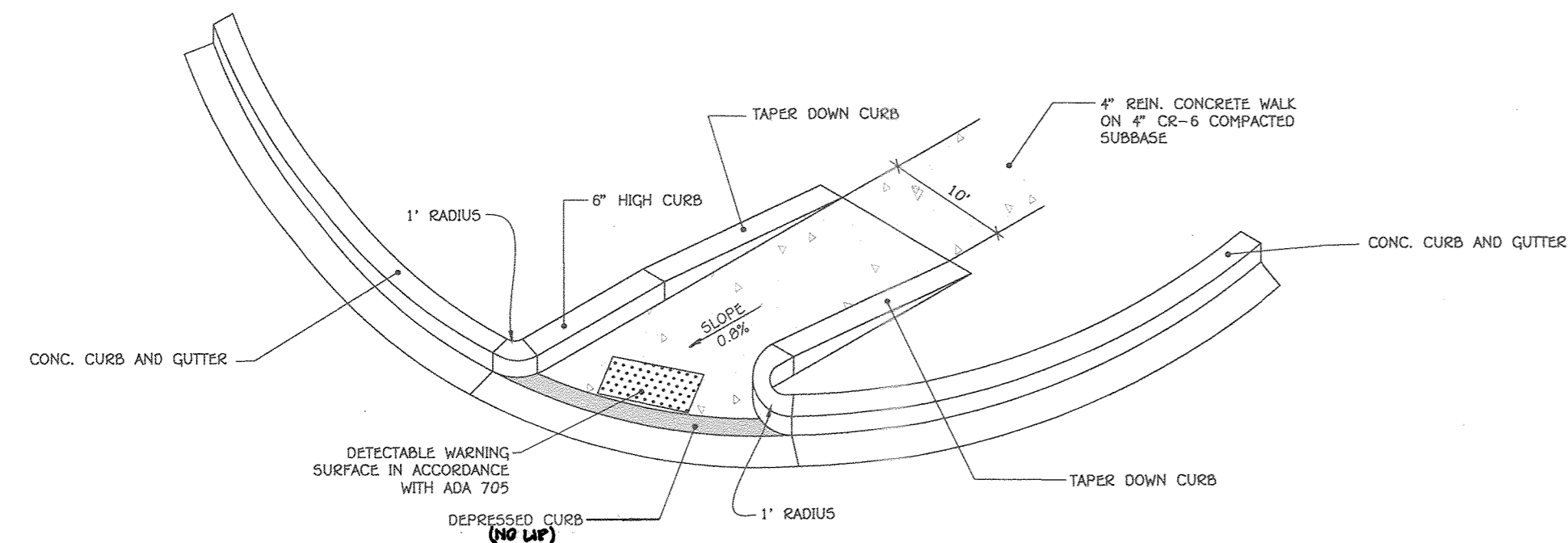
2
56
SIDEWALK RAMP DETAIL
NO SCALE



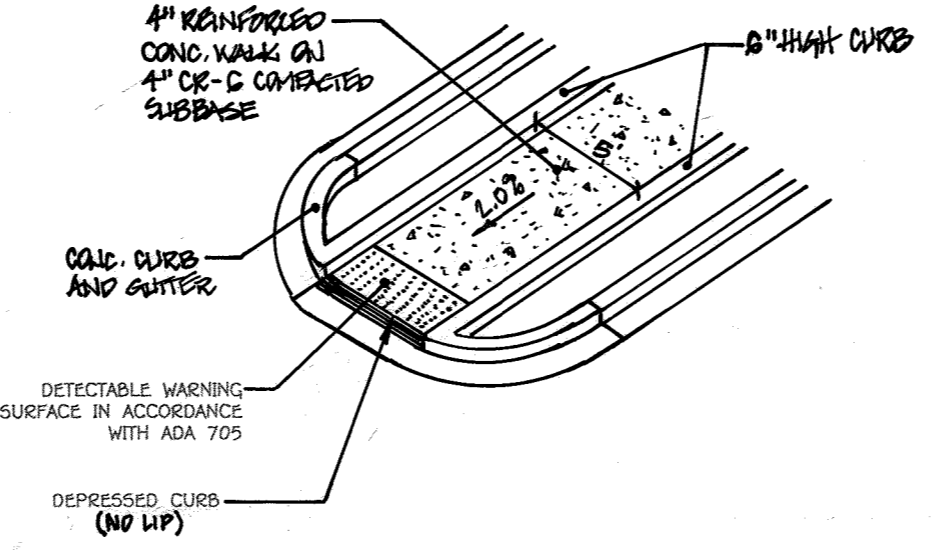
5
56
SIDEWALK RAMP DETAIL
NO SCALE



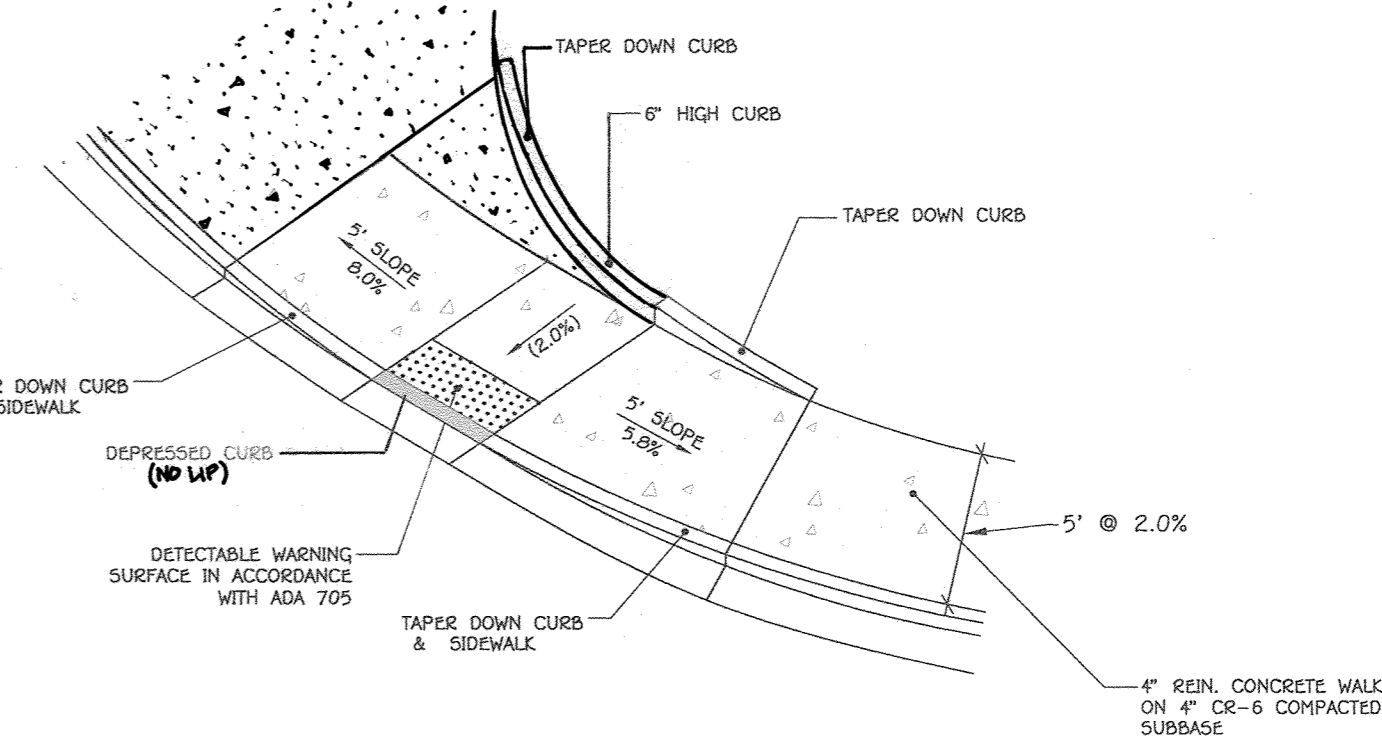
8
56
SIDEWALK RAMP DETAIL
NO SCALE



3
56
SIDEWALK RAMP DETAIL
NO SCALE

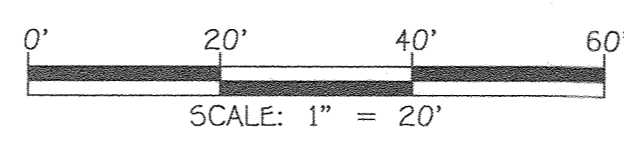


6
56
SIDEWALK RAMP DETAIL
NO SCALE



9
56
SIDEWALK RAMP DETAIL
NO SCALE

PLAN
SCALE: 1" = 20'

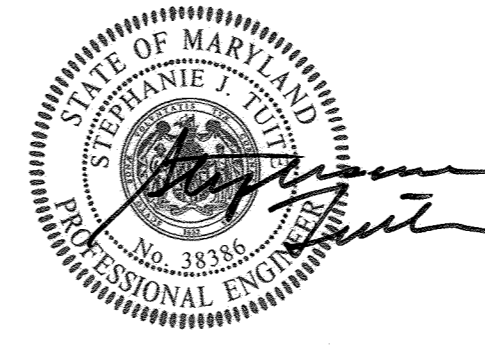


FISHER, COLLINS & CARTER, INC.
CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
CENTENNIAL SQUARE OFFICE PARK - 10272 BALTIMORE NATIONAL PIKE
ELICOTT CITY, MARYLAND 21042
(410) 441-2955

"PROFESSIONAL CERTIFICATION, I HEREBY CERTIFY THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 39386, EXPIRATION DATE: JANUARY 12, 2022."
Stephanie Tuttle
STEPHANIE TUTTLE, R.L.A., P.E., LEED AP BC&D
9/24/20
DATE

9/2/21	REVISION DETAILS
DATE	DESCRIPTION
REVISION BLOCK	
APPROVED: DEPARTMENT OF PLANNING AND ZONING	
<i>[Signature]</i>	10-25-20
Director - Department of Planning and Zoning	Date
<i>[Signature]</i>	10-25-20
Chief, Division of Land Development	Date
<i>[Signature]</i>	9-24-20
Chief, Development Engineering Division	Date

PREPARED FOR
HOWARD COUNTY PUBLIC SCHOOL SYSTEM
9020 MENDENHALL COURT
SUITE "C"
COLUMBIA, MARYLAND 21045
Attention: DANIEL LUBELEY
410-313-8203

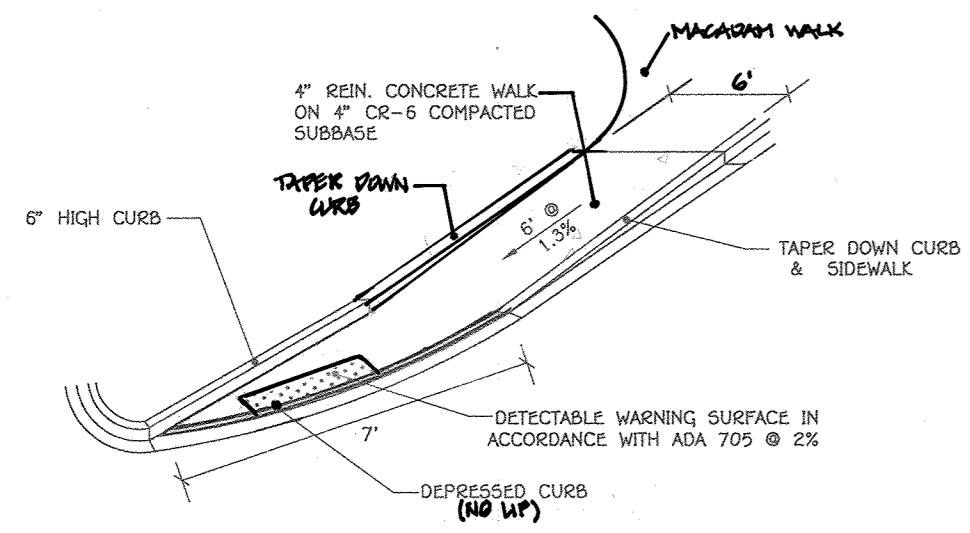


ADDRESS CHART	
PARCEL NO.	STREET ADDRESS
-	8500 RIDGELYS RUN ROAD JESSUP, MARYLAND 20794
PROJECT	SECTION/AREA
HIGH SCHOOL #13	N/A
PARCEL	102, 349, 235
PLAT NOS.	BLOCK NO.
26628-10 & 24 26532-13 & 19	10-12 13 & 19
ZONE	TAX MAP
R-12 RSA-0 MXD-3	42 & 43
SEWER CODE	ELEC. DIST. CENSUS TR.
---	SIXTH 606901

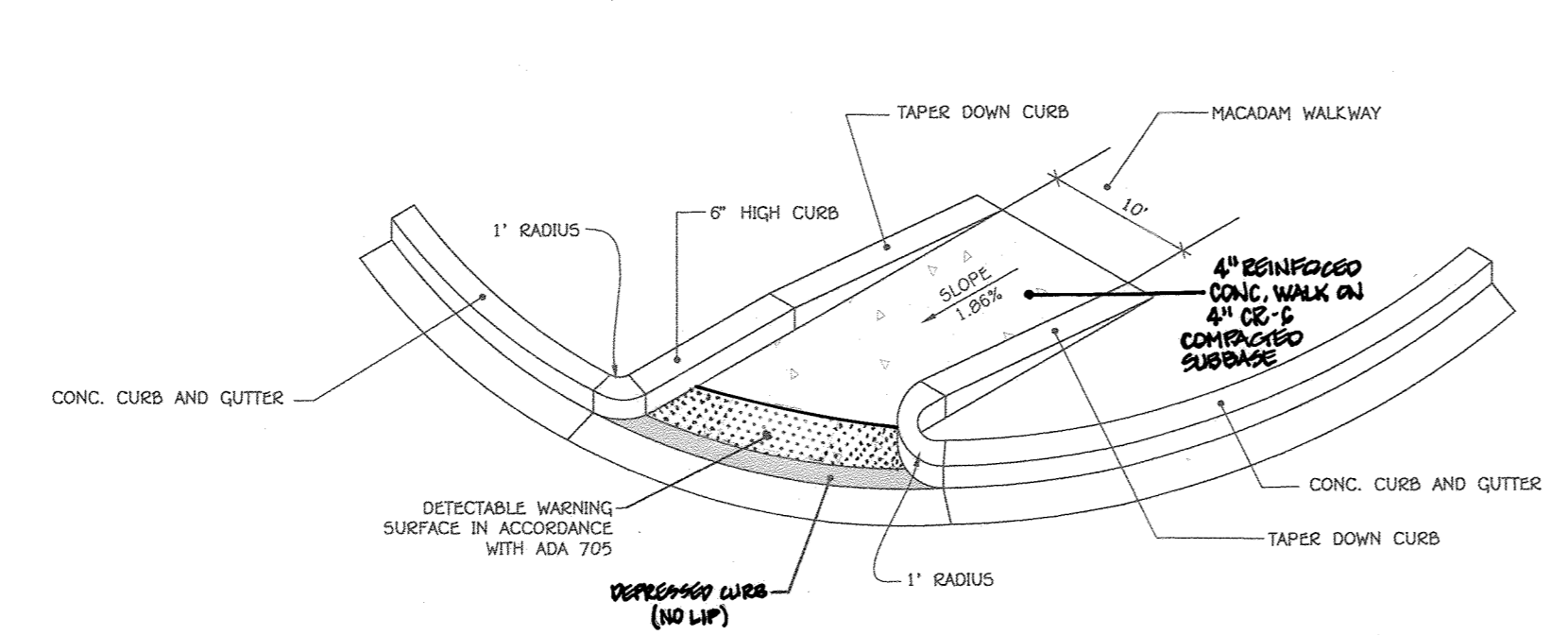
HANDICAP RAMP DETAILS

HIGH SCHOOL #13
PARCELS 'A' THRU 'D'

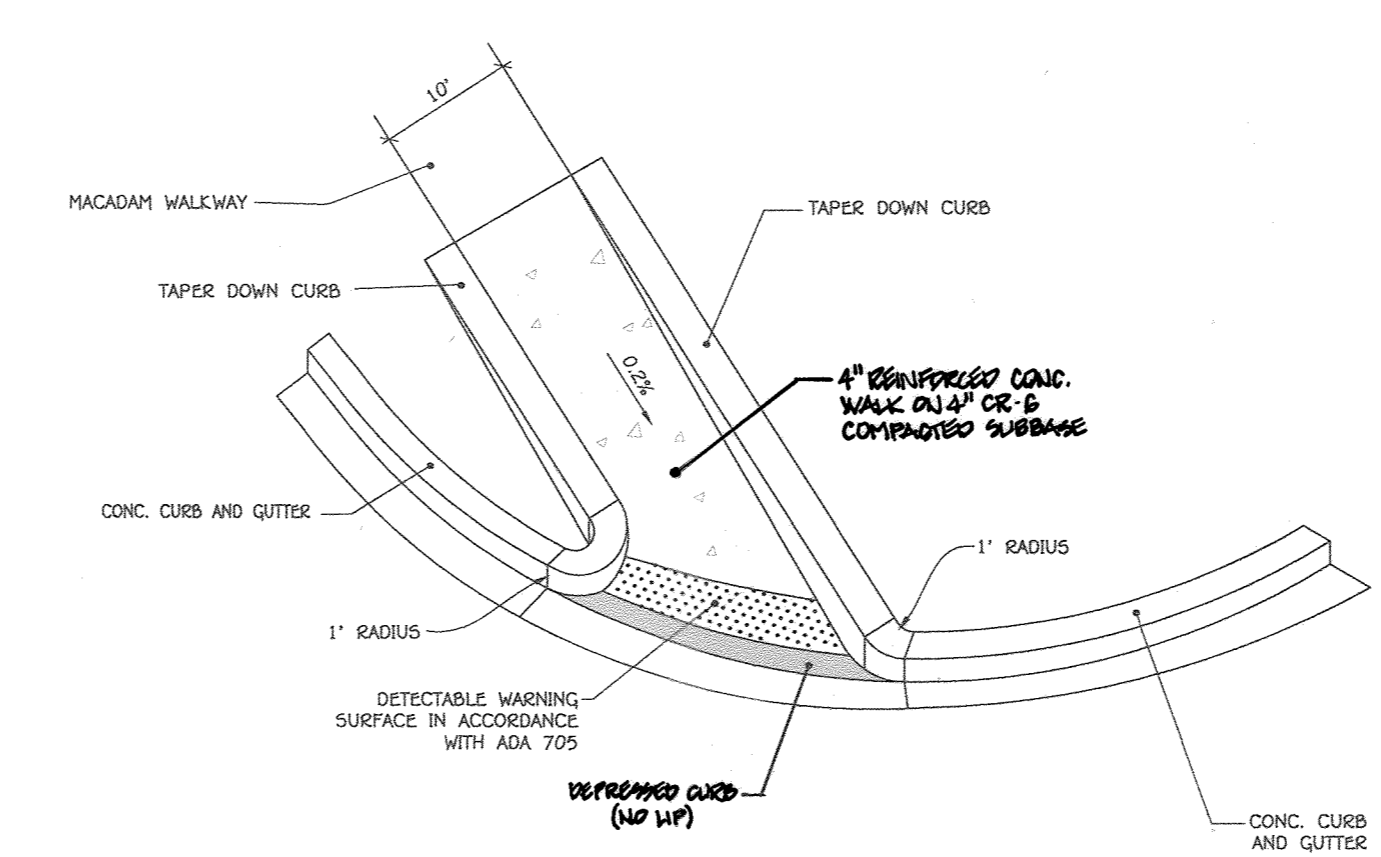
ZONED: R-5C MXD-3, R-5A-0 MXD-3 AND R-12
PARCEL Nos.: 102, 349, 235
TAX MAP No.: 42 & 43 GRID No.: 24 & 19
SIXTH ELECTION DISTRICT HOWARD COUNTY, MARYLAND
SCALE: AS SHOWN DATE: AUGUST, 2020
SHEET 56 OF 121



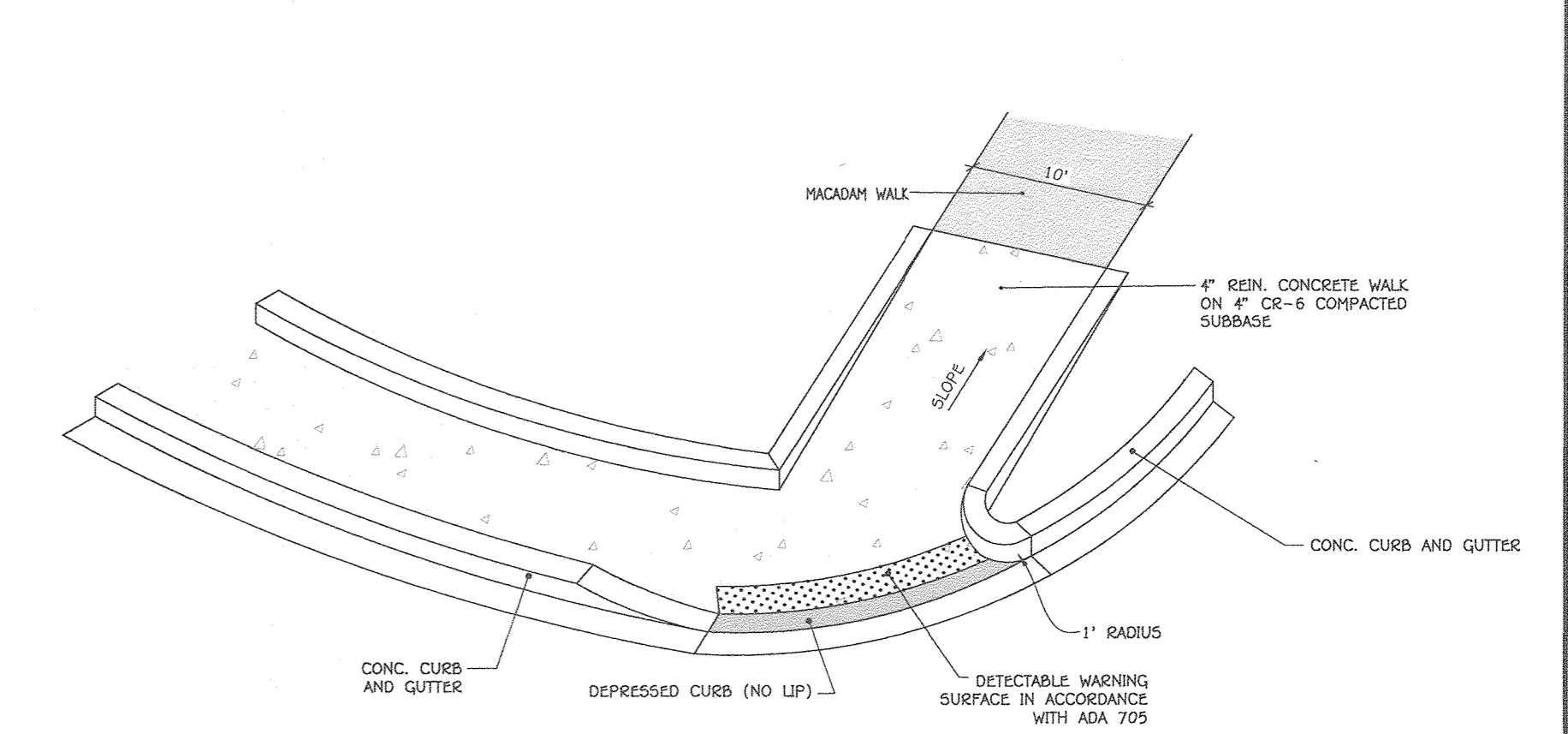
1
57
SIDEWALK RAMP DETAIL
NO SCALE



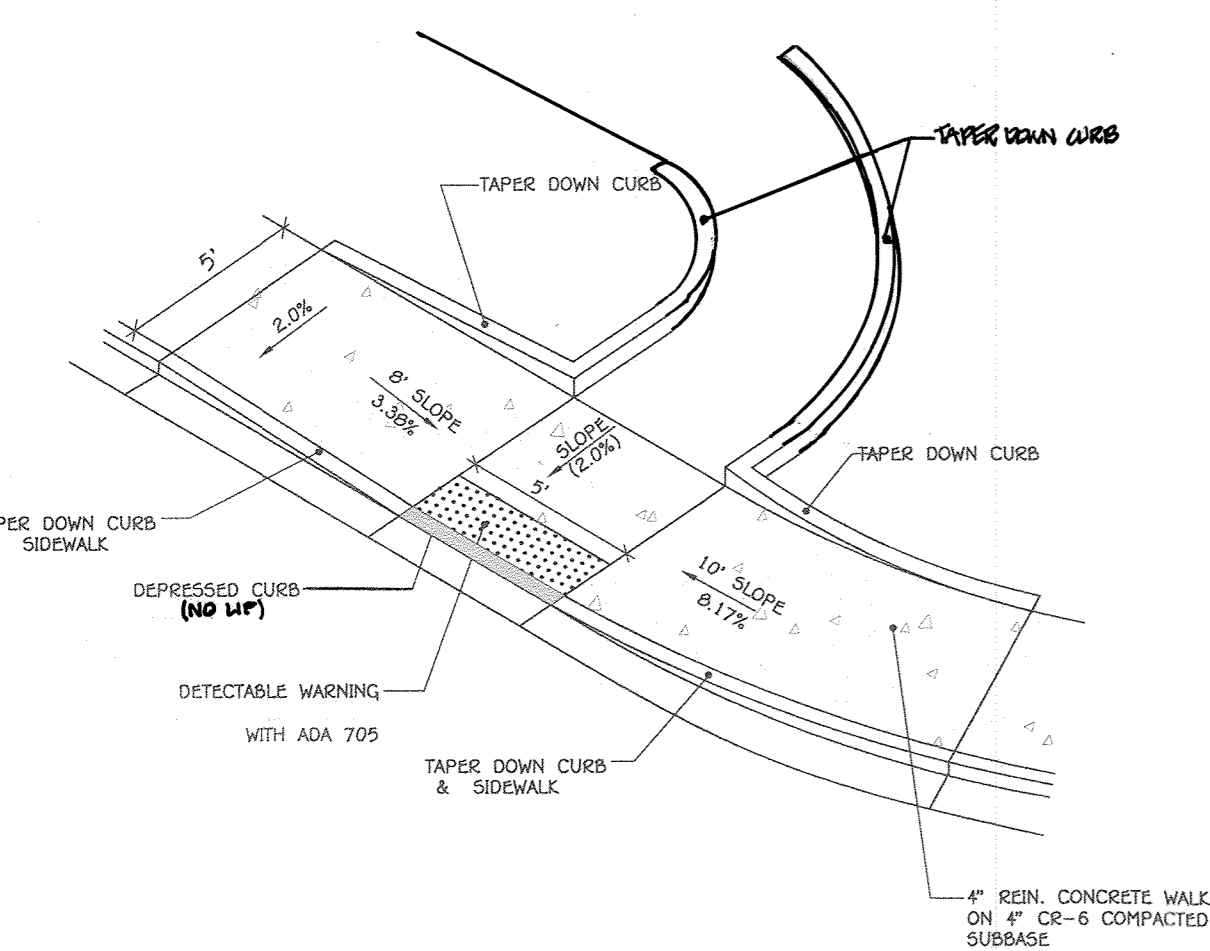
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SIDEWALK RAMP DETAIL
NO SCALE



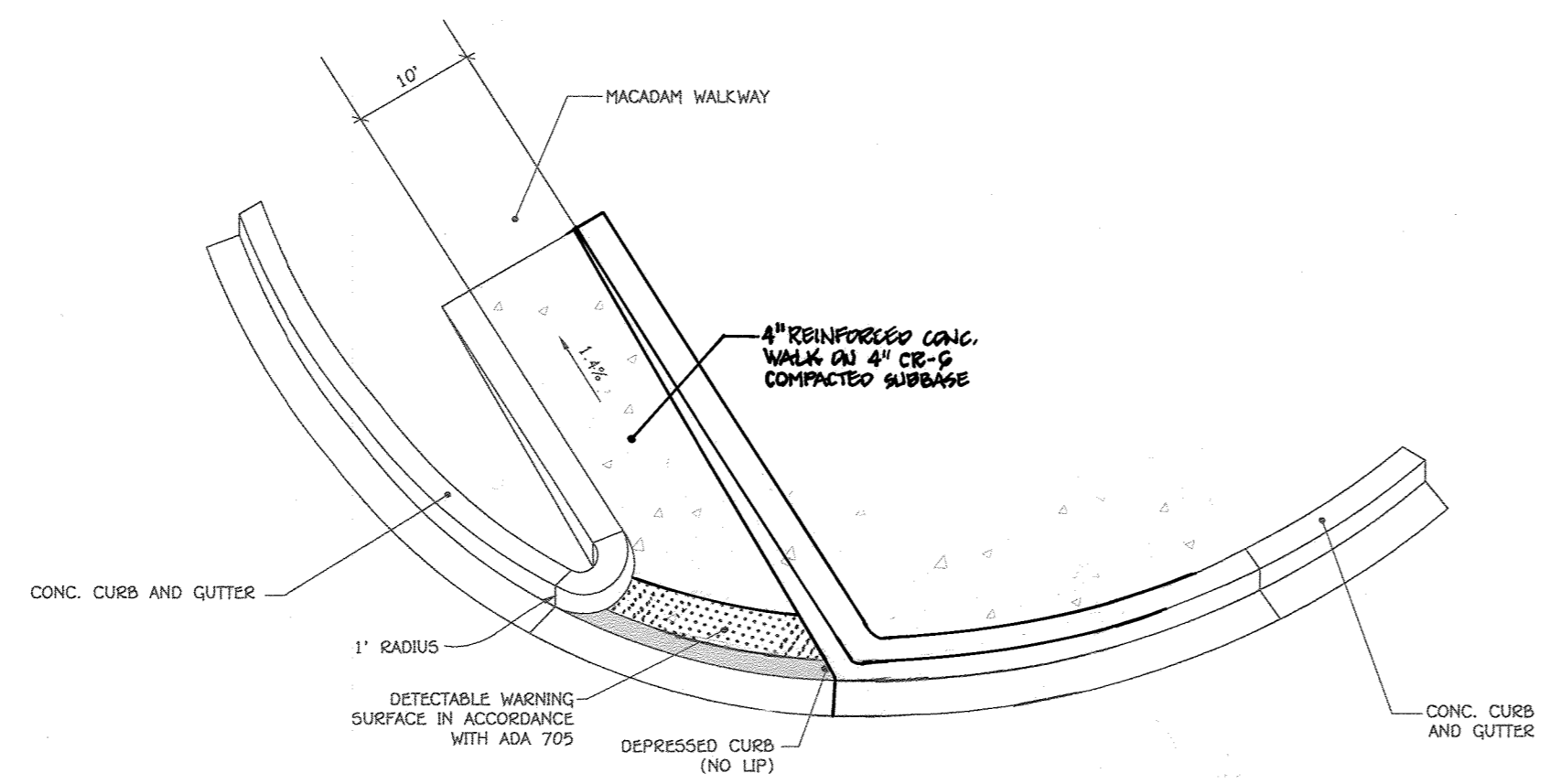
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SIDEWALK RAMP DETAIL
NO SCALE



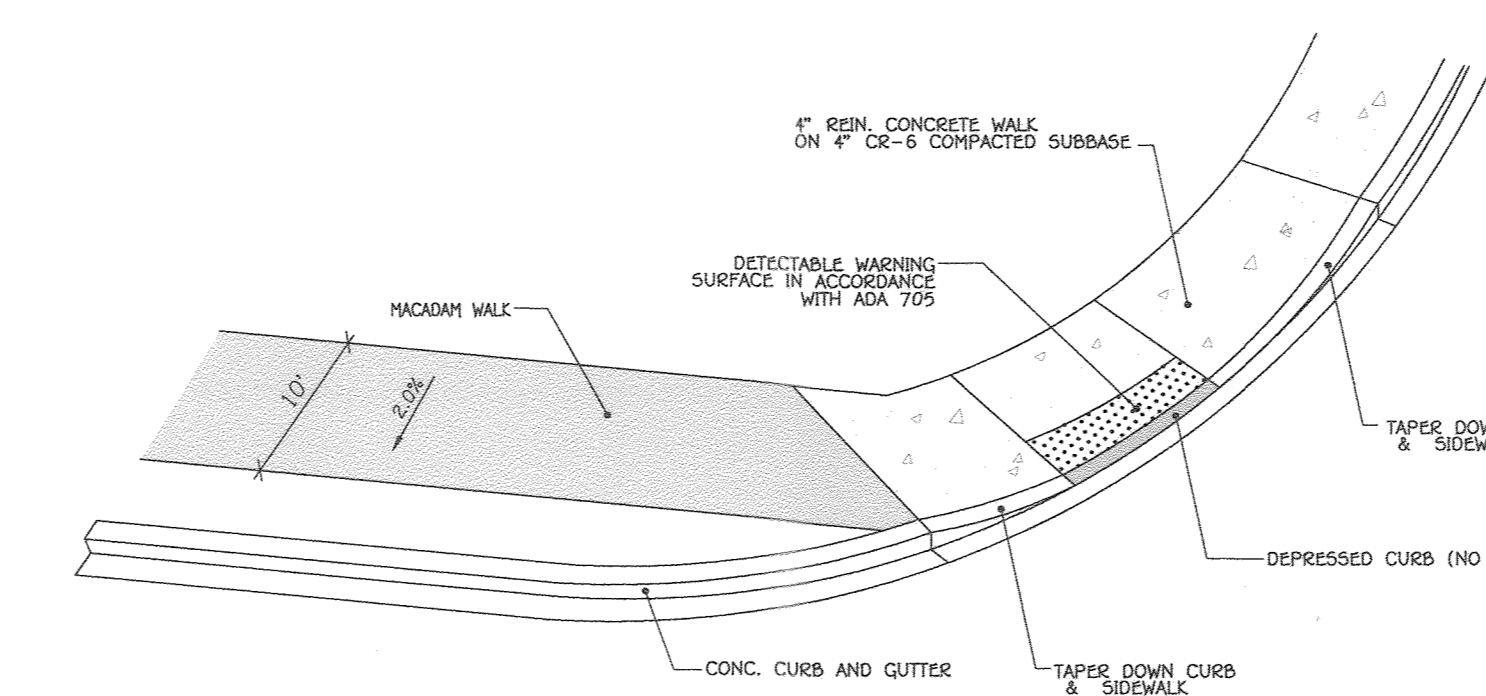
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SIDEWALK RAMP DETAIL
NO SCALE



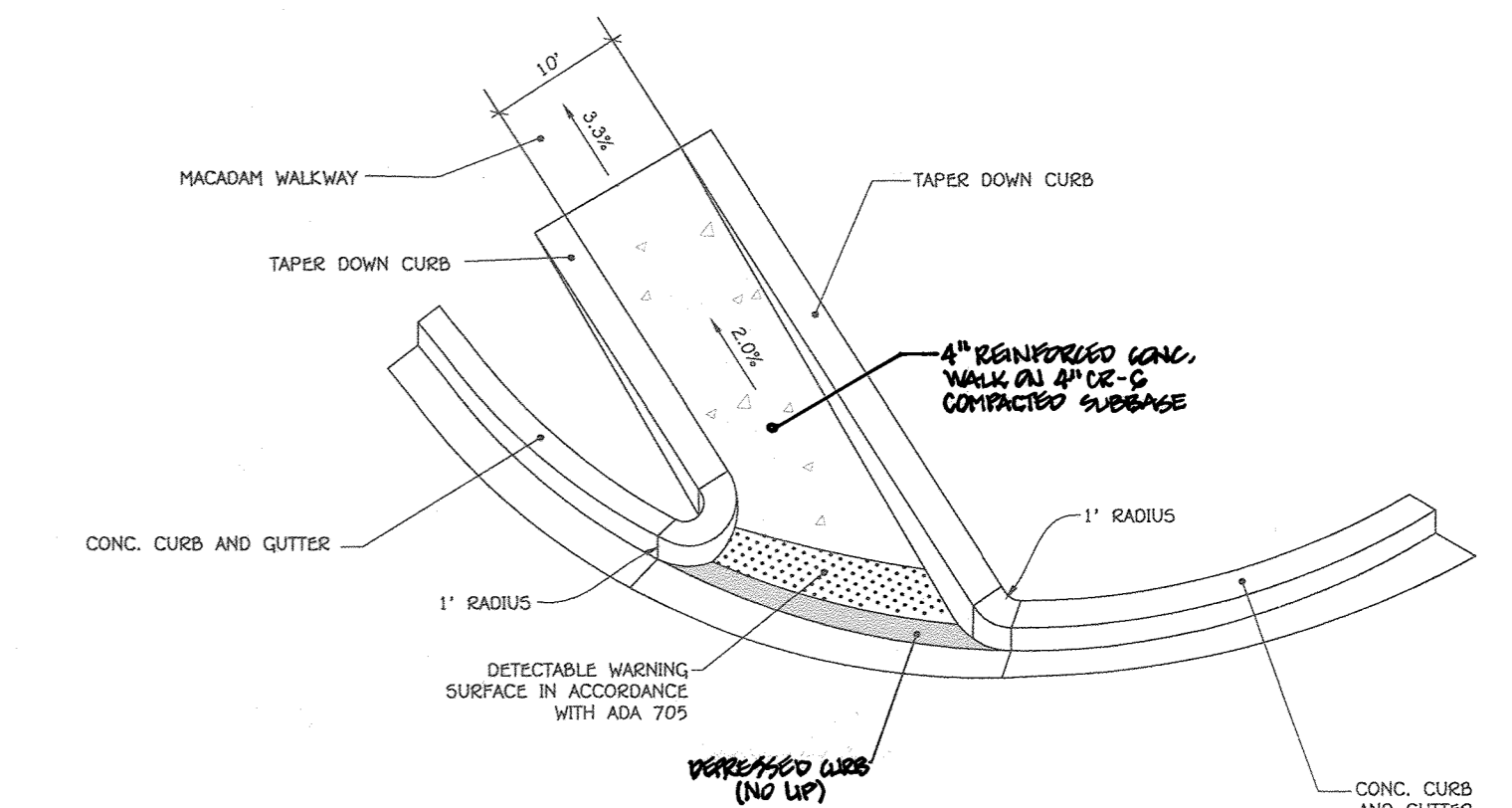
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SIDEWALK RAMP DETAIL
NO SCALE



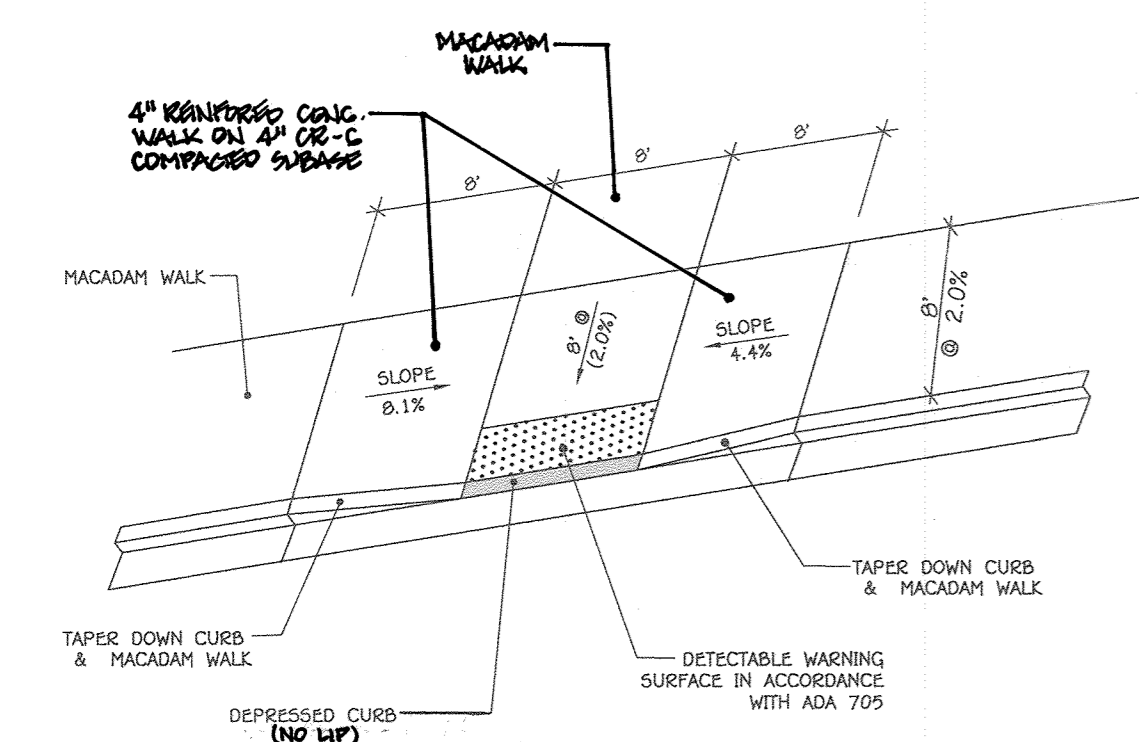
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SIDEWALK RAMP DETAIL
NO SCALE



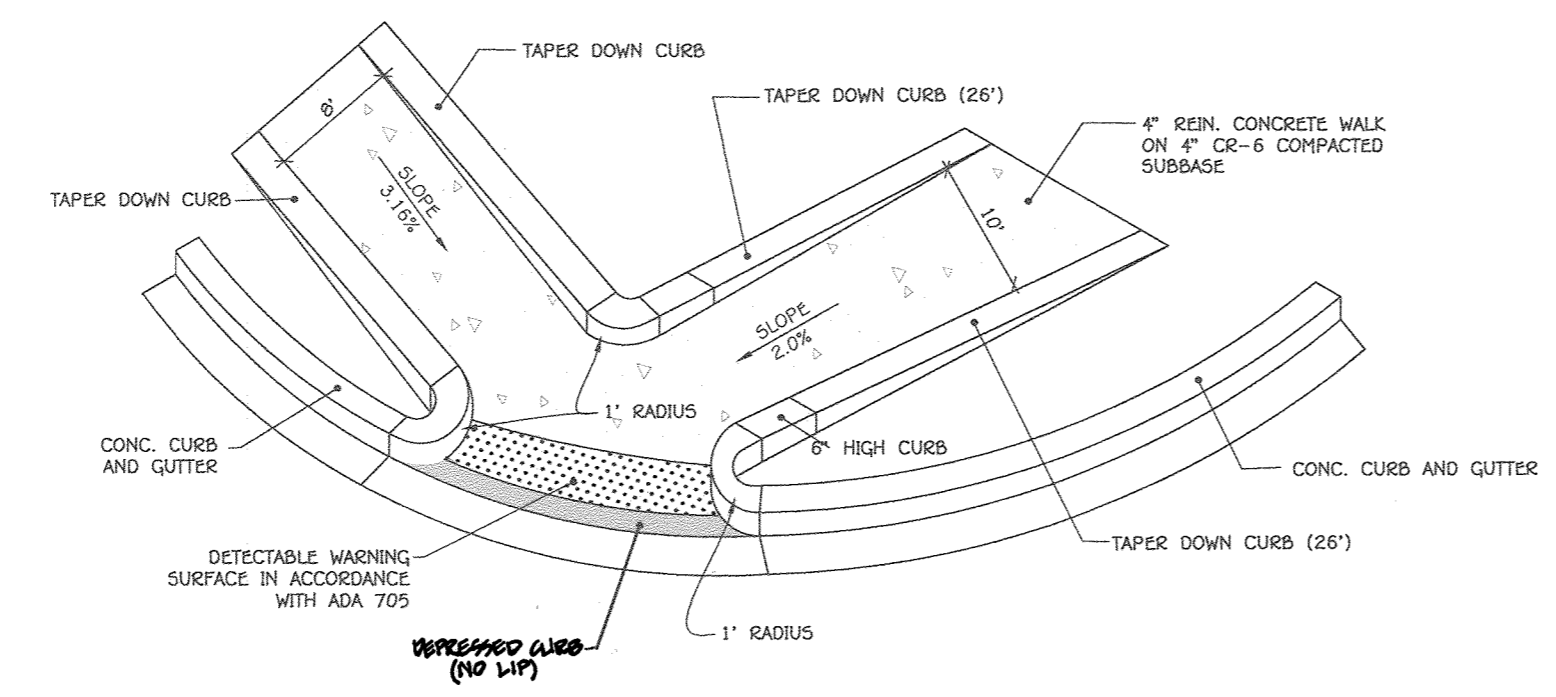
8
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SIDEWALK RAMP DETAIL
NO SCALE



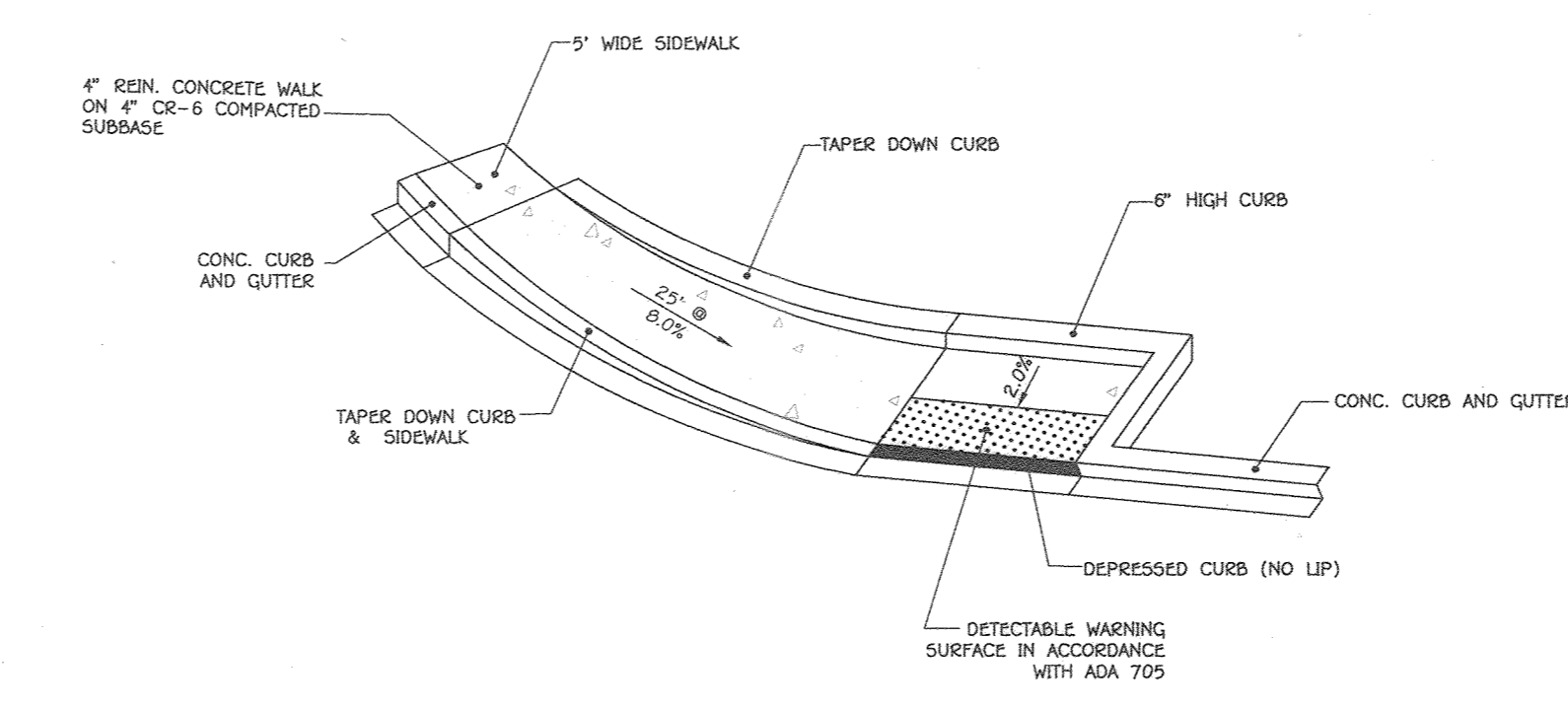
11
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SIDEWALK RAMP DETAIL
NO SCALE



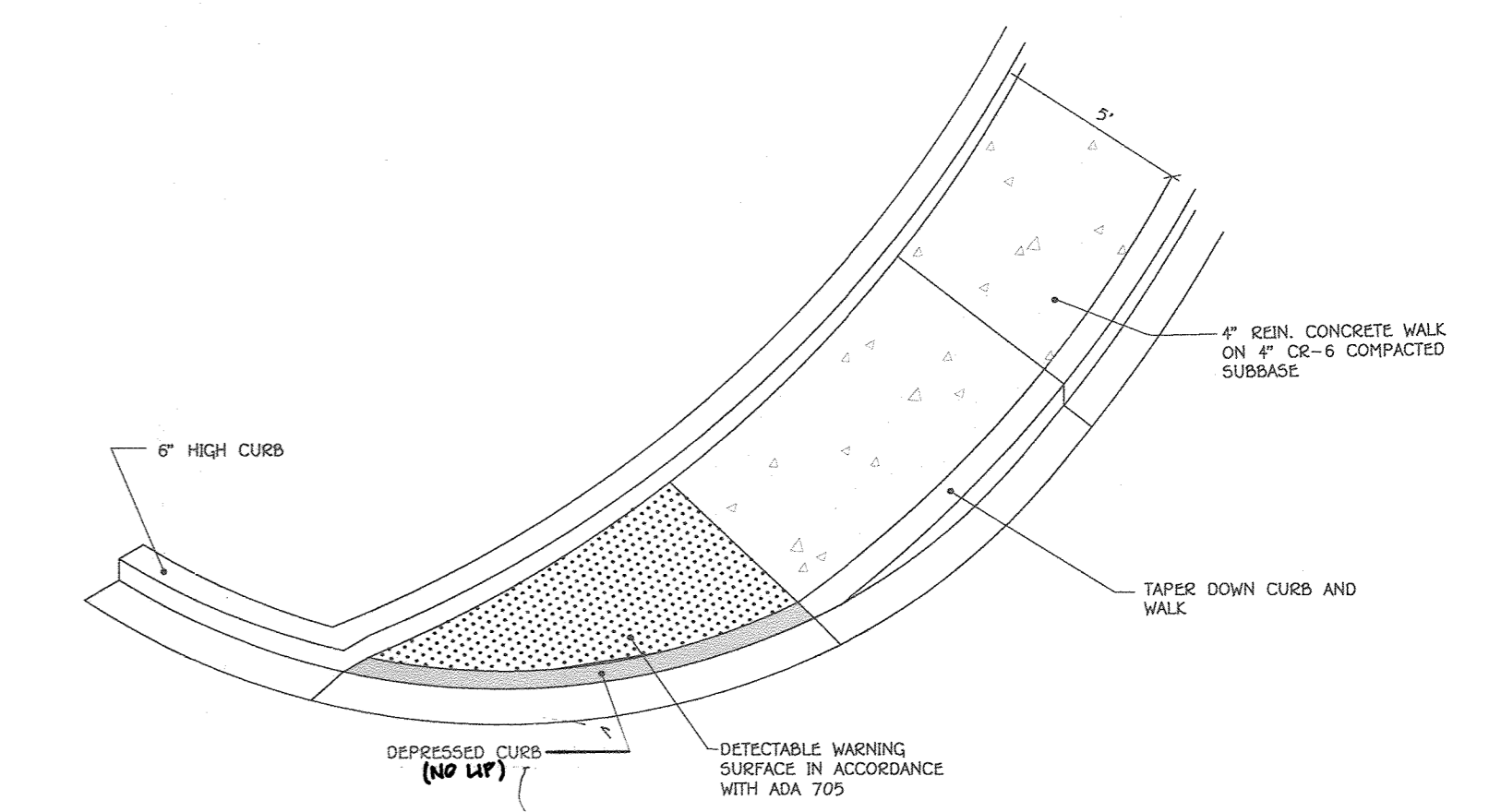
3
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SIDEWALK RAMP DETAIL
NO SCALE



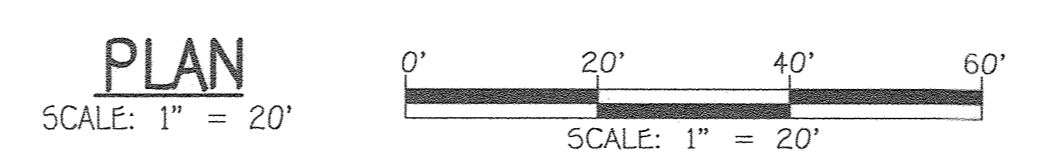
6
57
SIDEWALK RAMP DETAIL
NO SCALE



9
57
SIDEWALK RAMP DETAIL
NO SCALE



12
57
SIDEWALK RAMP DETAIL
NO SCALE



FISHER, COLLINS & CARTER, INC.
CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
CENTENNIAL SQUARE OFFICE, PAGE - 10272 BALTIMORE NATIONAL PLACE
ELLSWORTH CITY, MARYLAND 21042
(410) 461-2895

"PROFESSIONAL CERTIFICATION, I HEREBY CERTIFY THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 38386, EXPIRATION DATE: JANUARY 12, 2022."

Stephanie J. Tuttle
STEPHANIE J. TUTTLE, R.L.A., P.E., LEED AP BC&D
9/29/20
DATE

DATE	DESCRIPTION
9/9/21	REVISED DETAILS
REVISION BLOCK	
APPROVED: DEPARTMENT OF PLANNING AND ZONING	
Director - Department of Planning and Zoning	10-5-20 Date
Chief, Division of Land Development	10/6/20 Date
Chief, Development Engineering Division	9/24/20 Date

PREPARED FOR
HOWARD COUNTY PUBLIC SCHOOL SYSTEM
9020 MENDENHALL COURT
SUITE 'C'
COLUMBIA, MARYLAND 21045
Attention: DANIEL LUBELEY
410-313-8203



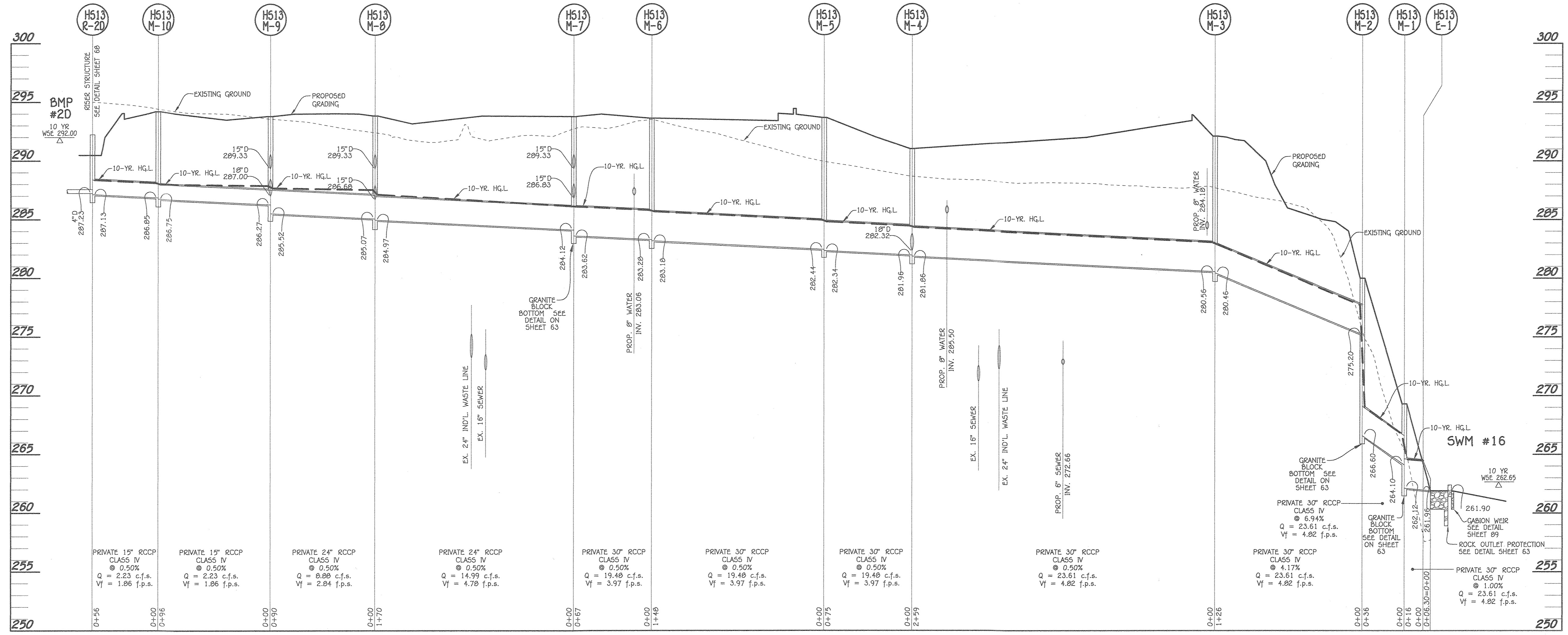
ADDRESS CHART	
PARCEL NO.	STREET ADDRESS
-	8500 RIDGELY'S RUN ROAD JEFFERSVILLE, MARYLAND 20794
PROJECT	
HIGH SCHOOL #13	SECTION/AREA N/A
PARCEL	102, 349, 235
PLAT NOS.	
18 & 24	BLOCK NO. 8-12
13 & 19	TAX MAP 42 & 43
ESD MXD-3	ELEC. DIST. SIXTH
PSA-B MXD-3	CENSUS TR. 606901
WATER CODE	
----	SEWER CODE
----	----

HANDICAP RAMP DETAILS

**HIGH SCHOOL #13
PARCELS 'A' THRU 'D'**

ZONED: R-5C MXD-3, R-5A-B MXD-3 AND R-12
PARCEL Nos.: 102, 349, 235
TAX MAP No.: 42 & 43 GRID No.: 24 & 19
SIXTH ELECTION DISTRICT HOWARD COUNTY, MARYLAND
SCALE: AS SHOWN DATE: AUGUST, 2020
SHEET 57 OF 171

I:\2010\10027\Engineering\Dwg\SDP\10027 SDP 056-57 HANDICAP RAMP DETAILS.dwg, SHEET-057, Handicap Ramp Details, 9/18/2020 8:56:45 AM, 1:1



STORM DRAIN PROFILE
 SCALE: HORIZ. : 1" = 50'
 VERT. : 1" = 5'

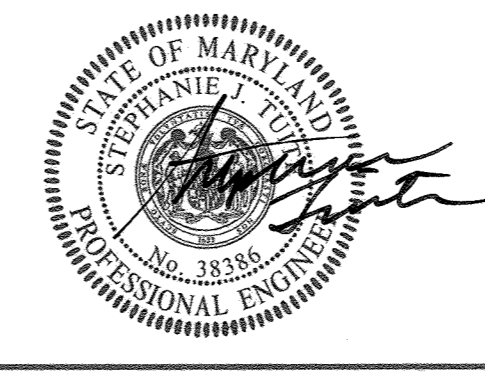
FISHER, COLLINS & CARTER, INC.
 CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
 CENTENNIAL SQUARE OFFICE PARK - 10772 BALTIMORE NATIONAL PIKE
 ELKROTT CITY, MARYLAND 21042
 (410) 461-2855

"PROFESSIONAL CERTIFICATION, I HEREBY CERTIFY THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 38386, EXPIRATION DATE: JANUARY 12, 2023."
Stephanie J. Tuite
 STEPHANIE J. TUIE, R.L.A., P.E., LEED AP BC&D
 8/17/20
 DATE

DATE	DESCRIPTION
10-5-20	Date
10/16/20	Date
8-26-20	Date

APPROVED: DEPARTMENT OF PLANNING AND ZONING
 Director - Department of Planning and Zoning
 Chief, Planning and Development
 Chief, Development Engineering Division

PREPARED FOR
 HOWARD COUNTY PUBLIC SCHOOL SYSTEM
 9020 MENDENHALL COURT
 SUITE 'C'
 COLUMBIA, MARYLAND 21045
 Attention: DANIEL LUBELEY
 410-313-8203



ADDRESS CHART			
PARCEL NO.	STREET ADDRESS		
-	8500 RIDGELY'S RUN ROAD		
-	JESSUP, MARYLAND 20794		

PROJECT	SECTION/AREA	PARCEL
HIGH SCHOOL #13	N/A	102, 349, 235

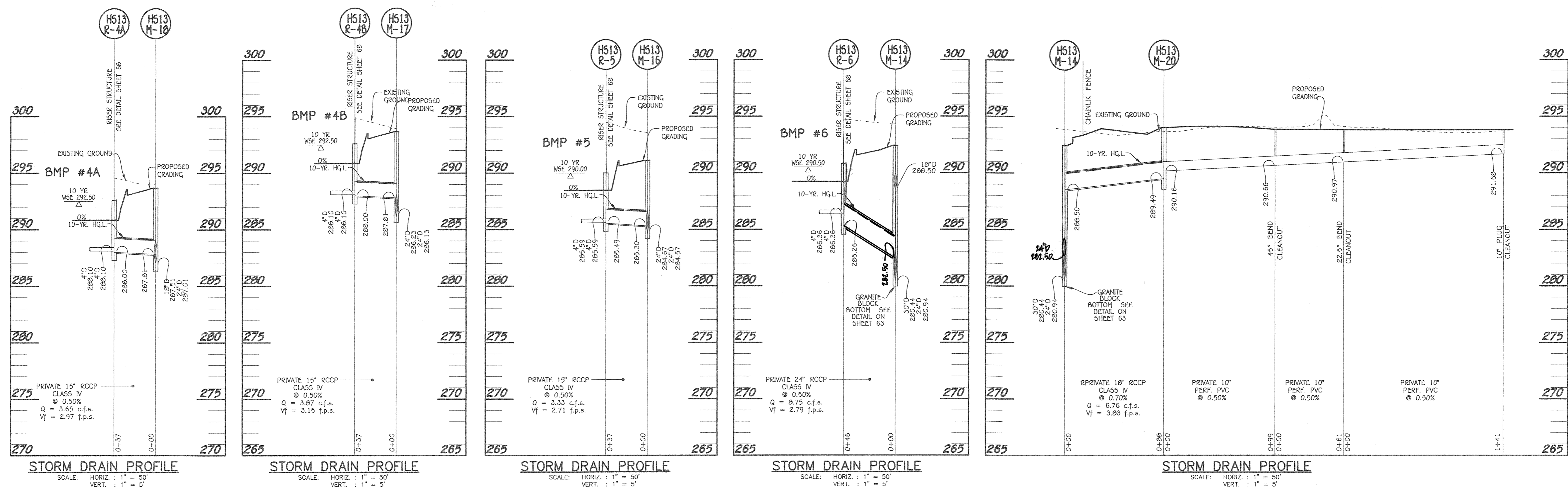
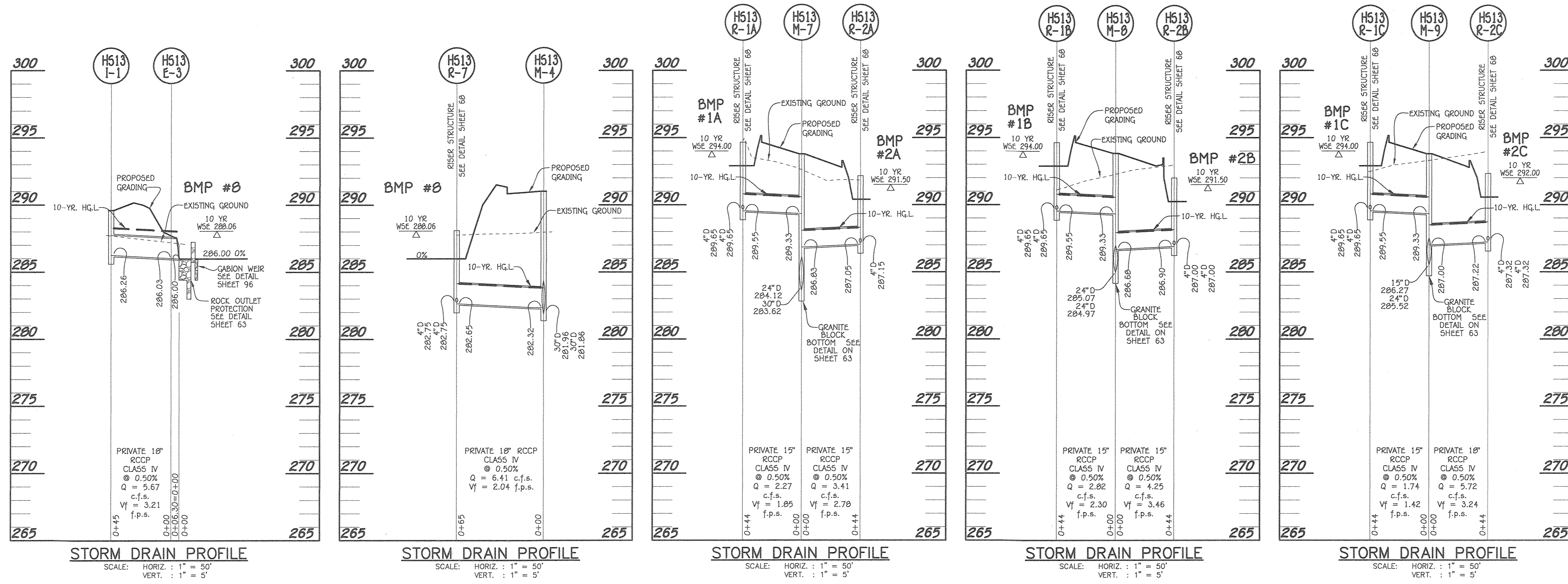
PLAT NOS.	BLOCK NO.	ZONE	TAX MAP	ELEC. DIST.	CENSUS TR.
25528-10 & 24	13 & 19	R-12	42 & 43	SIXTH	606901
25532		RSC MXD-3			

WATER CODE: ---
 SEWER CODE: ---

STORM DRAIN PROFILES

**HIGH SCHOOL #13
 PARCELS 'A' THRU 'D'**

ZONED: R-SC MXD-3, R-SA-0 MXD-3 AND R-12
 PARCEL Nos.: 102, 349, 235
 TAX MAP No.: 42 & 43 GRID No.: 24 & 19
 SIXTH ELECTION DISTRICT HOWARD COUNTY, MARYLAND
 SCALE: AS SHOWN DATE: AUGUST, 2020
 SHEET 58 OF 131



"PROFESSIONAL CERTIFICATION. I HEREBY CERTIFY THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 38386, EXPIRATION DATE: JANUARY 12, 2022."

Stephanie J. Witte
STEPHANIE J. WITTE, RLA, P.E., LEED AP BC&D
DATE: 03/17/20

DATE	DESCRIPTION
3/9/21	REVISION APPROVALS
	REVISION BLOCK
APPROVED: DEPARTMENT OF PLANNING AND ZONING	
Director - Department of Planning and Zoning	DATE: 03-05-20
Chief, Planning and Development	DATE: 03-26-20
Chief, Development Engineering Division	DATE:

PREPARED FOR
HOWARD COUNTY PUBLIC SCHOOL SYSTEM
9020 MENDENHALL COURT
SUITE 'C'
COLUMBIA, MARYLAND 21045
Attention: DANIEL LUBELEY
410-313-8203

STATE OF MARYLAND
DEPARTMENT OF PLANNING AND ZONING
PROFESSIONAL ENGINEER
STEPHANIE J. WITTE
LICENSE NO. 38386
EXPIRES 01/12/2022

ADDRESS CHART	
PARCEL NO.	STREET ADDRESS
	8500 RIDGELY'S RUN ROAD JESSUP, MARYLAND 20794
PROJECT	SECTION/AREA
HIGH SCHOOL #13	N/A
PARCEL	102, 349, 235
PLAT NOS.	BLOCK NO.
19 & 24	10 & 24
13 & 19	13 & 19
ZONE	TAX MAP
R-12	42 & 43
RSC MXD-3	SIXTH
RS-A-B MXD-3	606901
ELEC. DIST.	CENSUS TR.
42 & 43	SIXTH
SCWER CODE	

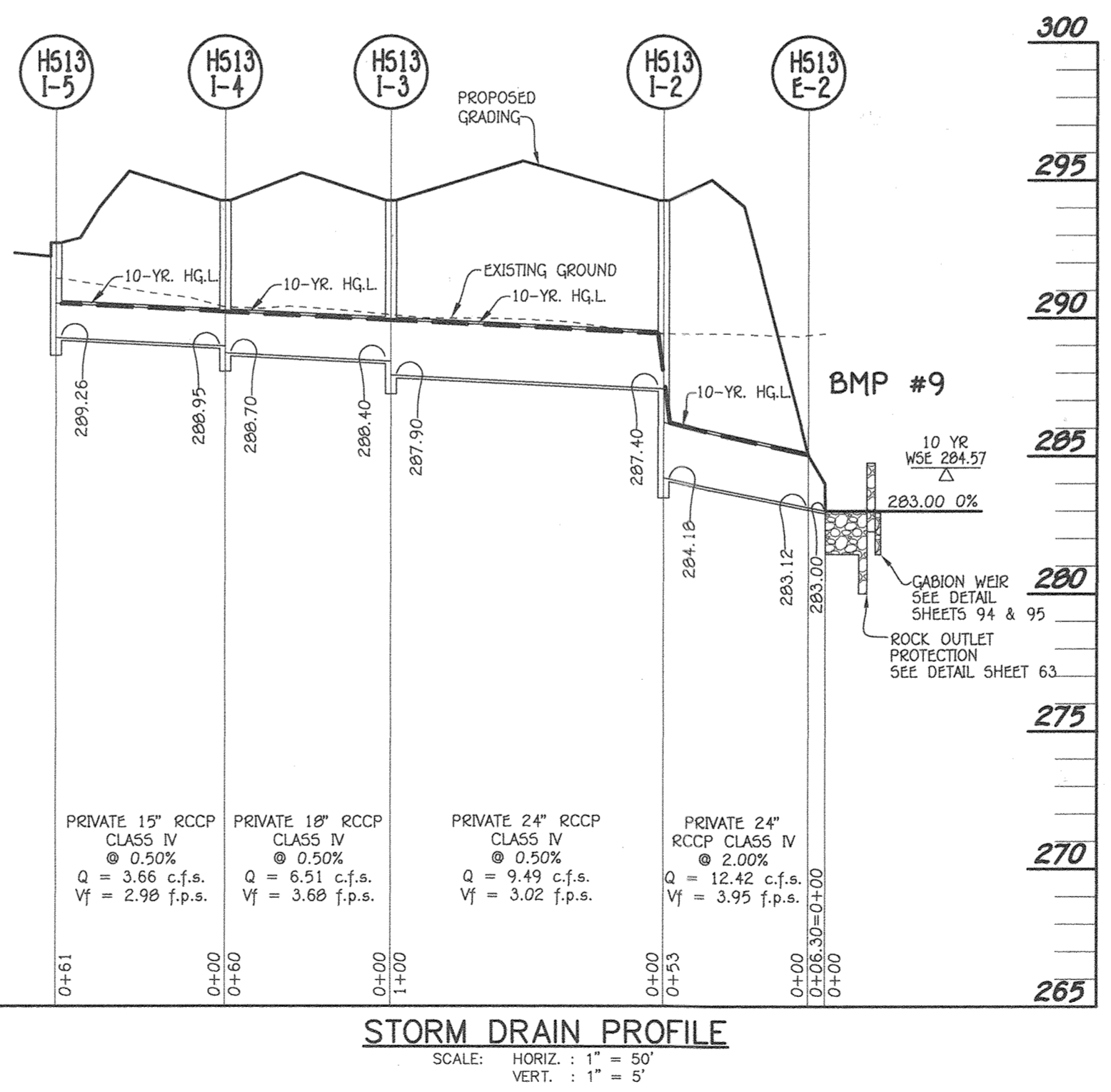
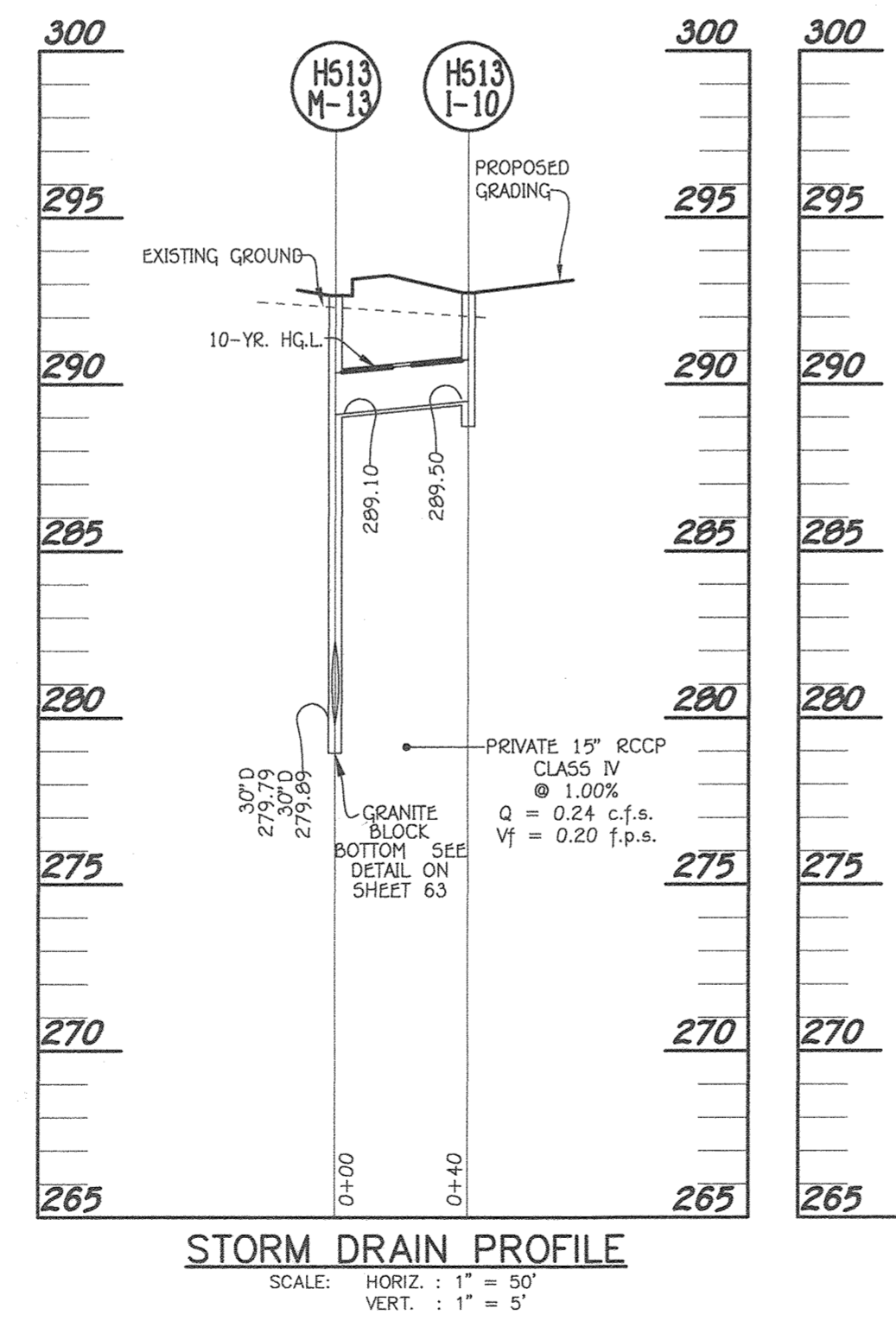
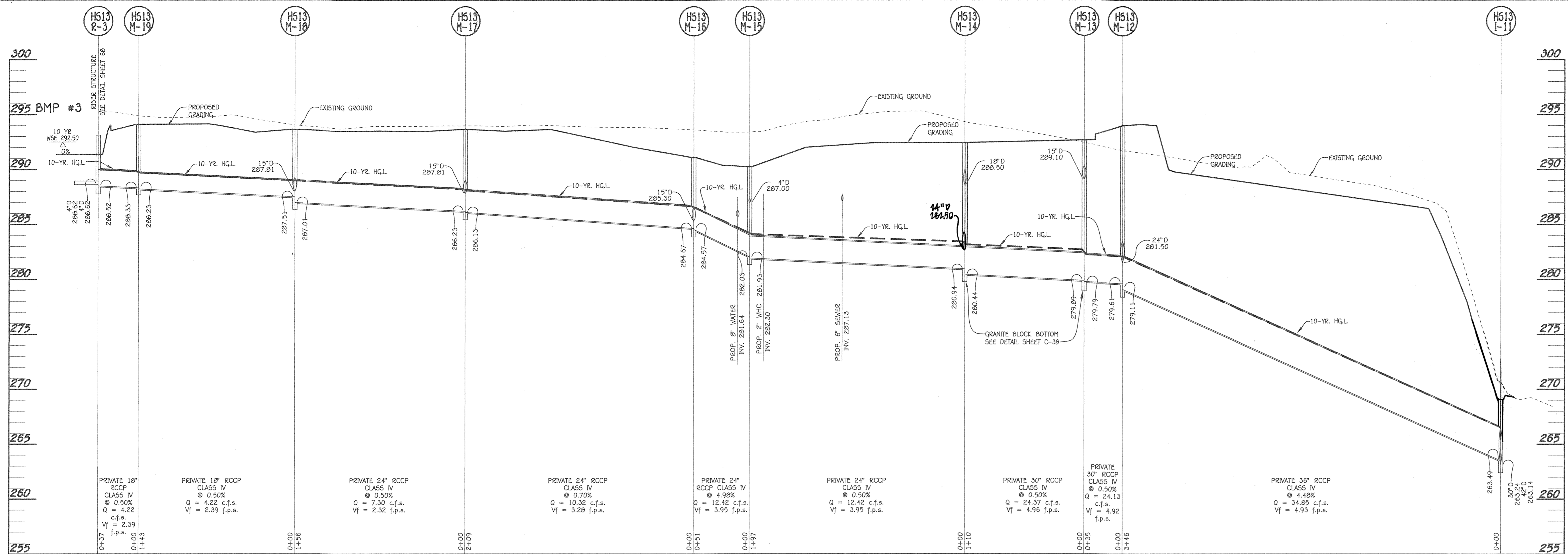
STORM DRAIN PROFILES

**HIGH SCHOOL #13
PARCELS 'A' THRU 'D'**

ZONED: R-5C MXD-3, R-5A-B MXD-3 AND R-12
PARCEL Nos.: 102, 349, 235
TAX MAP No.: 42 & 43 GRID No.: 24 & 19
SIXTH ELECTION DISTRICT HOWARD COUNTY, MARYLAND
SCALE: AS SHOWN DATE: AUGUST, 2020
SHEET 59 OF 131

I:\2010\10027\Engineering\Drawings\SDP\10027 SDP 059-63 STORM PROFILES.dwg, SHEET-059, SD Profiles, 8/15/2020, 12:03:16 PM, 1:1

FISHER, COLLINS & CARTER, INC.
CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
CENTRAL SQUARE OFFICE PARK - 10772 BALTIMORE NATIONAL PIKE
ELLSWORTH CITY, MARYLAND 21041
(410) 481 - 2955



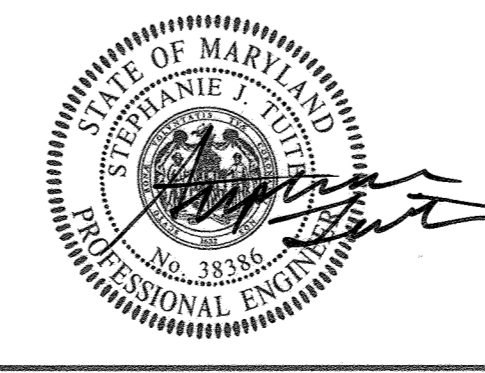
FISHER, COLLINS & CARTER, INC.
 CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
 CENTENNIAL SQUARE OFFICE PARK - 10772 BALTIMORE NATIONAL PIKE
 ELIJAH CITY, MARYLAND 21046
 (410) 461-2955

"PROFESSIONAL CERTIFICATION. I HEREBY CERTIFY THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 38306, EXPIRATION DATE: JANUARY 12, 2022."
 Stephanie Tuite, RLA, P.E., LEED AP BC&D
 8/13/20

DATE	DESCRIPTION
8/9/21	REVISION PROFILE

APPROVED: DEPARTMENT OF PLANNING AND ZONING
 Director - Department of Planning and Zoning
 Chief, Planning and Land Development
 Chief, Development Engineering Division

PREPARED FOR
 HOWARD COUNTY PUBLIC SCHOOL SYSTEM
 9020 MENDENHALL COURT
 SUITE 'C'
 COLUMBIA, MARYLAND 21045
 Attention: DANIEL LUBELEY
 410-313-8203

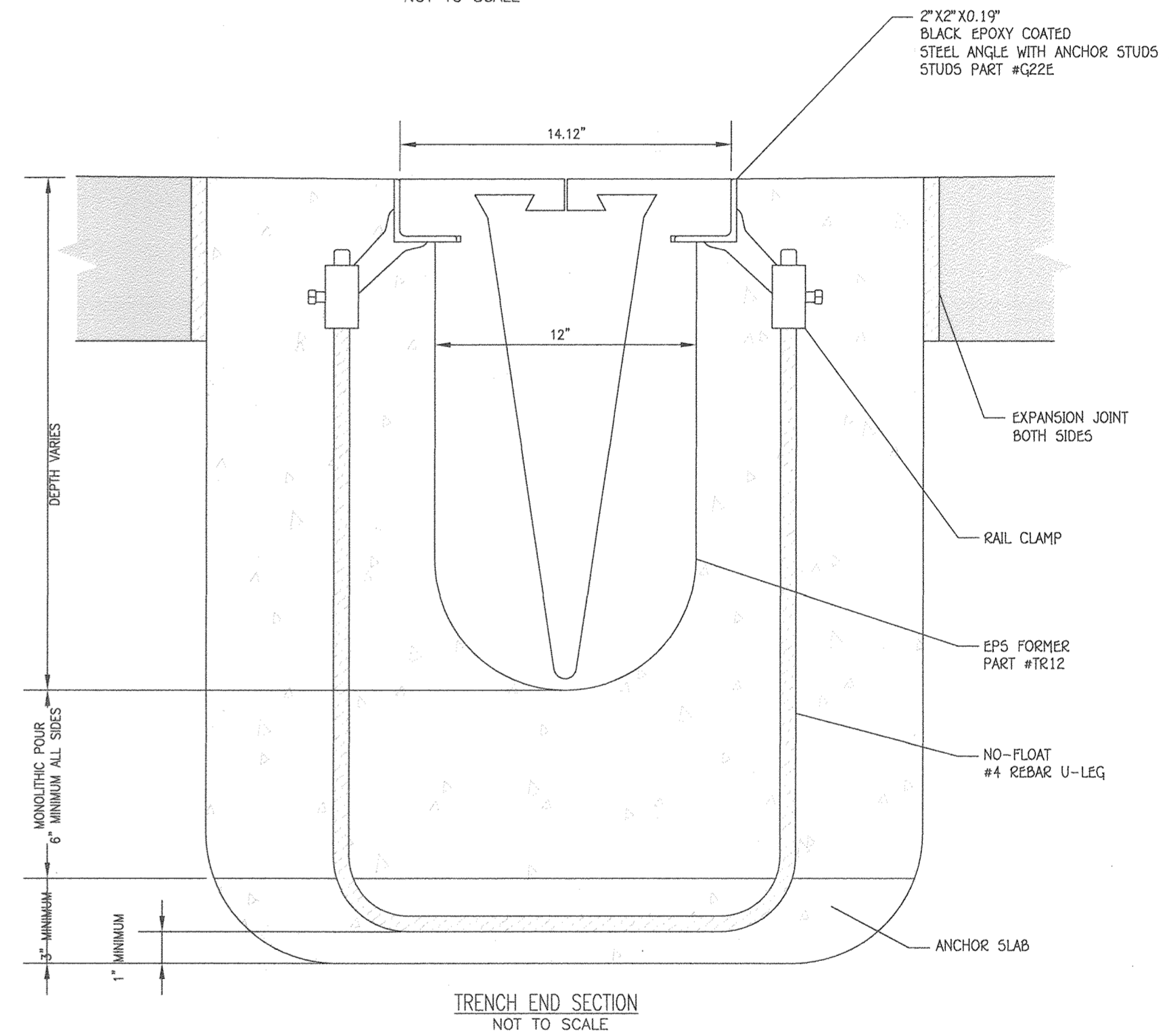
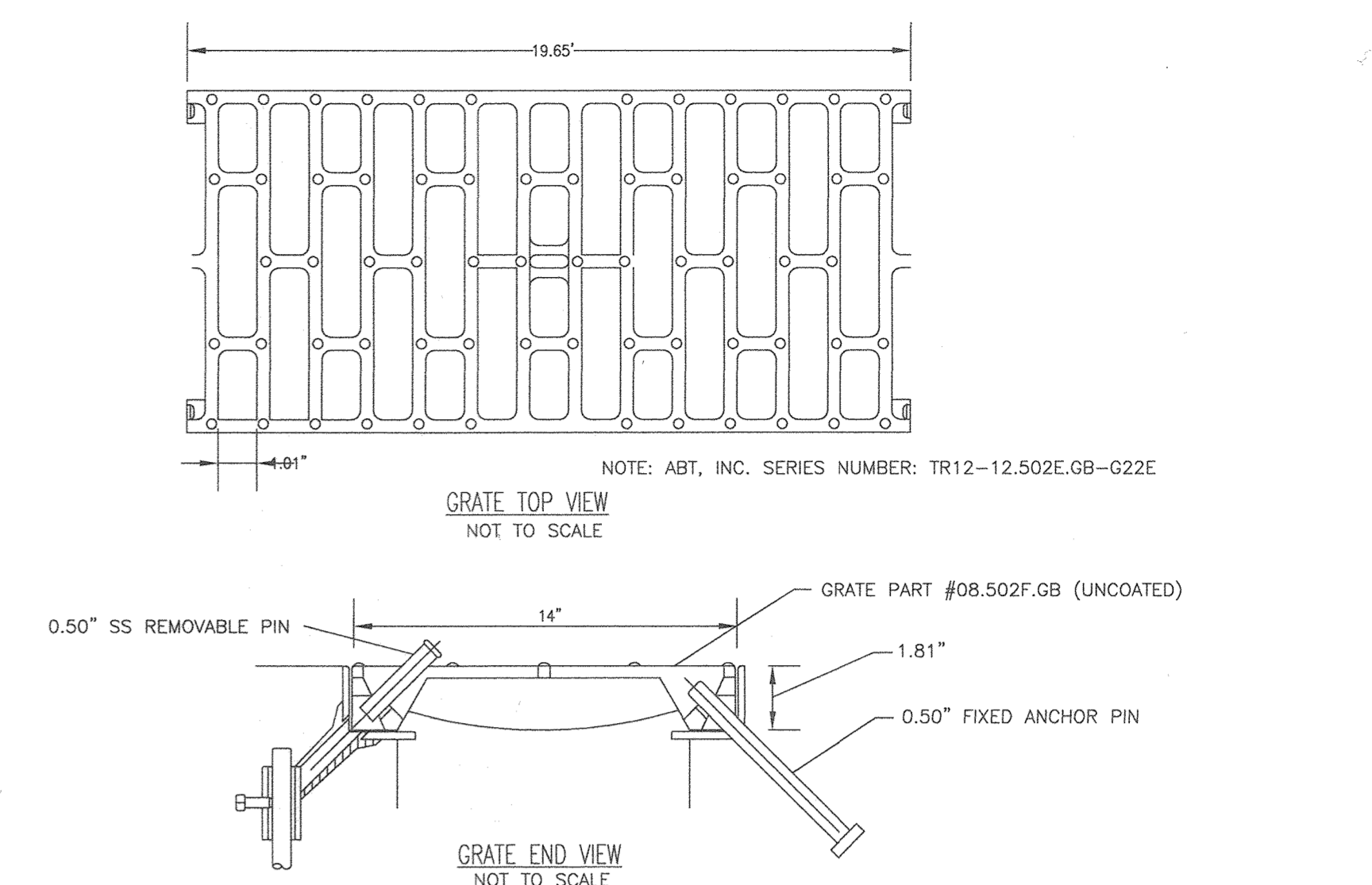
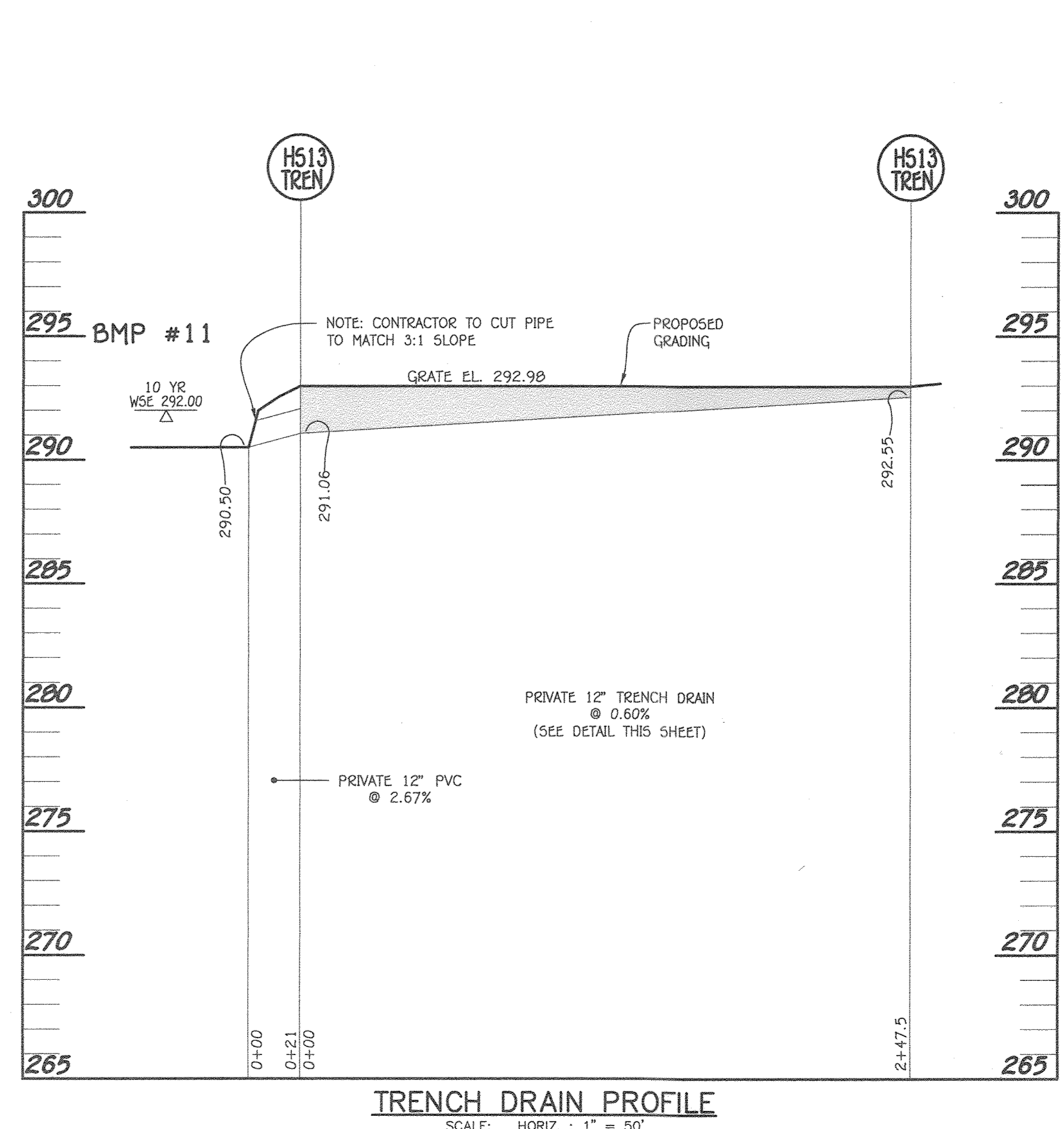
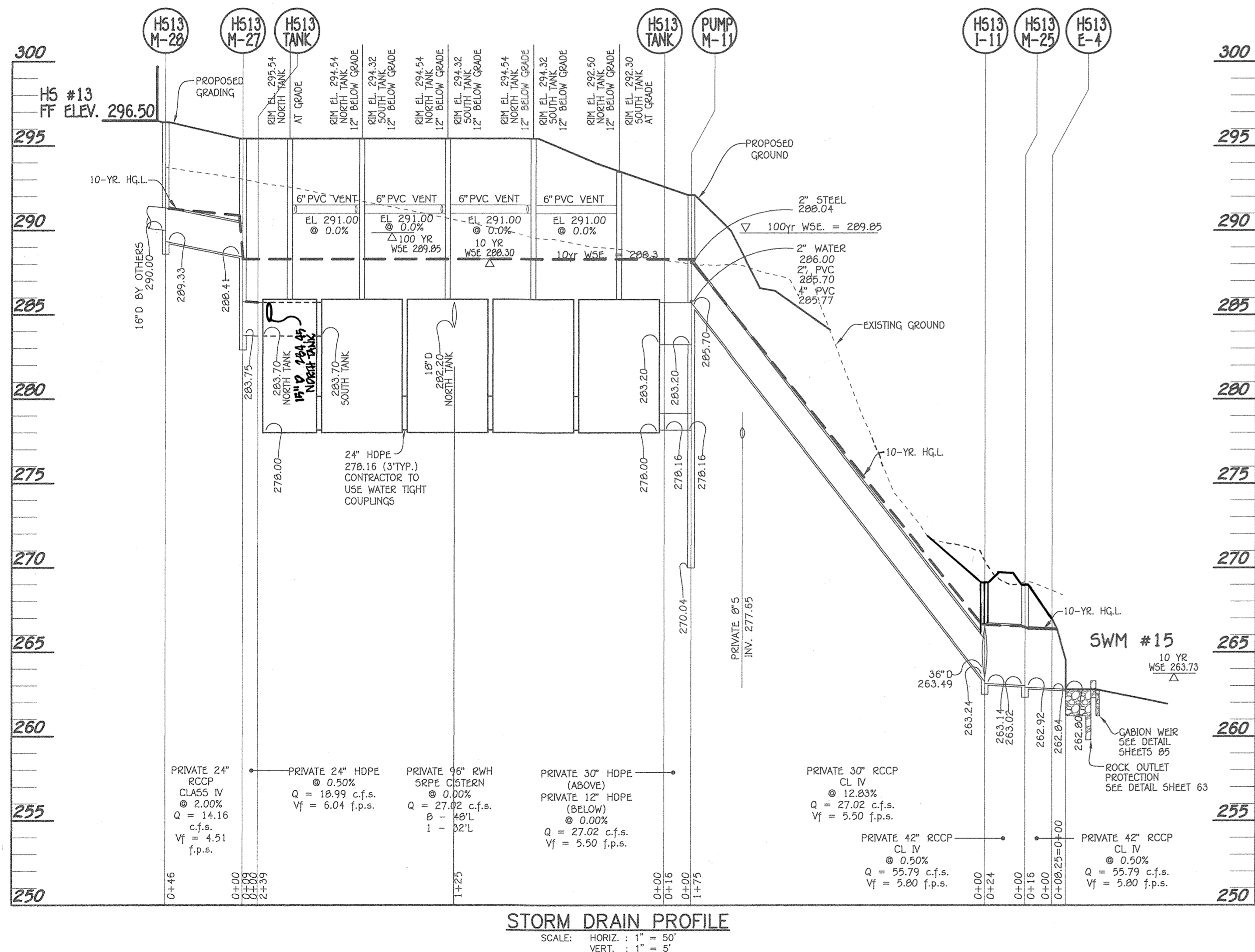


ADDRESS CHART	
PARCEL NO.	STREET ADDRESS
	8500 RIDGELY'S RUN ROAD JESSUP, MARYLAND 20794

PROJECT	SECTION/AREA	PARCEL
HIGH SCHOOL #13	N/A	102, 349, 235

PLAT NOS.	BLOCK NO.	ZONE	TAX MAP	ELEC. DIST.	CENSUS TR.
15528-25522	18 & 24 13 & 19	R-12 RSC MXD-3 RSA-B MXD-3	42 & 43	SIXTH	606901

STORM DRAIN PROFILES
HIGH SCHOOL #13
PARCELS 'A' THRU 'D'
 ZONED: R-SC MXD-3, R-SA-B MXD-3 AND R-12
 PARCEL Nos.: 102, 349, 235
 TAX MAP No.: 42 & 43 GRID No.: 24 & 19
 SIXTH ELECTION DISTRICT HOWARD COUNTY, MARYLAND
 SCALE: AS SHOWN DATE: AUGUST, 2020
 SHEET 60 OF 131



- TRENCH DRAIN PARTS AND DETAILS SHALL CONFORM TO ABT, INC. PRODUCTS.
- GRATING - TROB-B-08.502F.GB-G22E GRATES SHALL COMPLY WITH ALL THE REQUIREMENTS OF AASHTO M306.
- FORMS - TROB-B FORMWORK ASSEMBLY MUST BE PREVENTED FROM FLOATING DURING CONCRETE PLACEMENT WITHOUT PENETRATING THE SUB GRADE. FORMWORK TO BE ANCHORED TO THE EARTH USING STEEL NO-FLOAT LEGS AND AN ANCHOR SLAB POUR. THE WIRES THAT ASSURE CONSTANT FRAME SPACING AND GRATE SEAT DIMENSION TO BE PROVIDED.
- BLACK EPOXY COATED 2.0" x 2.0" x 0.19" STEEL ANGLE CONFORMING TO ASTM A36, STANDARD HEADED CONCRETE ANCHOR STUDS BISSECT GRATE. RETAINER ANCHOR LUGS PROVIDING A FRAME ANCHORING CONTACT EVERY 9.84". GRATE FRAMES TO PROVIDE A MINIMUM OF 1.25 SQUARE INCHES CONCRETE BEARING WITH 3.25 SQUARE INCHES OF CONCRETE CONTACT PER INCH OF TRENCH LENGTH. GRATES ARE RETAINED NON-RIGIDLY AT ALL CORNERS. NON-THREADED REMOVABLE 0.5" STAINLESS STEEL PINS LOCATED ON 3.28" CENTERS ALONG THE FRAMES BIJECTED BY 0.5" NON-REMOVABLE GRATE RETAINING DEVICE ON 3.28" CENTERS. GRATE RETAINER PERFORMANCE SHALL NOT DEGRADE WITH SERVICE LOADS OR THERMAL CYCLING.
- POST CONSTRUCTION INSPECTION: FORMWORK IS TO BE FULLY REMOVED, WITHOUT EXCEPTION, TO ALLOW FOR INSPECTION AND IF NEEDED REPAIR OF ANY VOIDS AND OR CONCRETE CONSOLIDATION ISSUES BELOW FRAME, TRENCH WALLS AND INVERT. GRATE AND GRATE RETAINER SHALL BE PERFORMED TO ENSURE THAT ALL GRATES AND RETAINERS ARE INSTALLED AND ARE PROPERLY SEATED IN PLACE.

I:\2010\10027\Engineering\Drawings\SDP\10027 SDP 08-63 STORM PROFILES.dwg, SHEET-061, SD Profiles, 8/15/2020, 12:04:52 PM, 1:1

FISHER, COLLINS & CARTER, INC.
CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
CENTRAL SQUARE OFFICE PARK - 10272 BALTIMORE NATIONAL PIKE
ELLSWORTH CITY, MARYLAND 21042
(410) 461-2099

"PROFESSIONAL CERTIFICATION. I HEREBY CERTIFY THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 38386, EXPIRATION DATE: JANUARY 12, 2022."
Stephanie Tuttle
STEPHANIE T. TUTTLE, R.I.A., P.E., LEED AP BC&O
8/17/20
DATE

APPROVED: DEPARTMENT OF PLANNING AND ZONING
Director, Department of Planning and Zoning
Date: 10-5-20

Chief, Division of Land Development
Date: 10/12/20

Chief, Development Engineering Division
Date: 8-28-20

PREPARED FOR
HOWARD COUNTY PUBLIC SCHOOL SYSTEM
9020 MENDELHALL COURT
SUITE 'C'
COLUMBIA, MARYLAND 21045
Attention: DANIEL LUBELEY
410-313-8203

STATE OF MARYLAND
STEPHANIE T. TUTTLE
LICENSED PROFESSIONAL ENGINEER
NO. 38386
EXPIRES 1/12/2022

ADDRESS CHART	
PARCEL NO.	STREET ADDRESS
-	8500 RIDGELYS RUN ROAD JESSUP, MARYLAND 20794

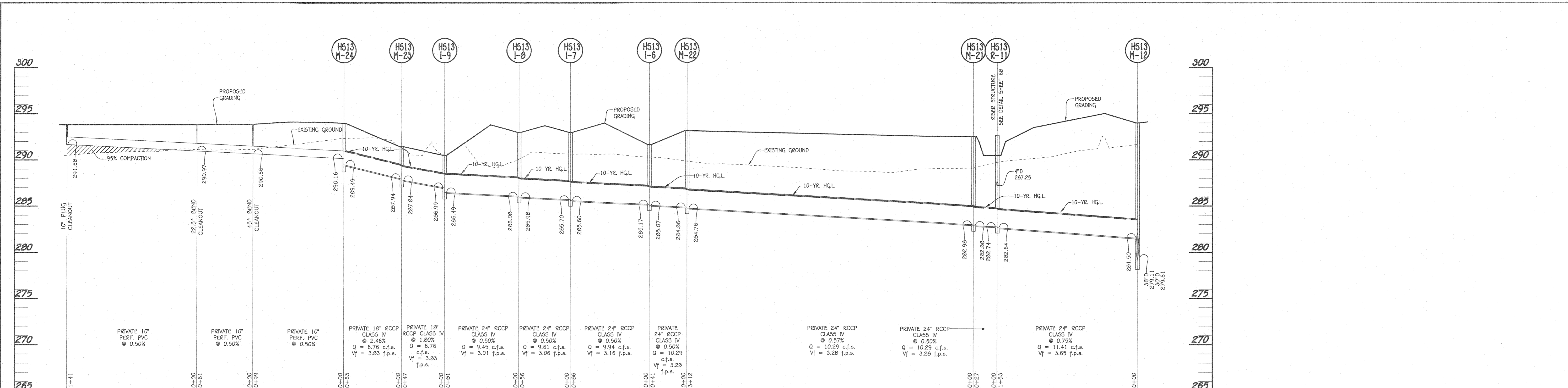
PROJECT	SECTION/AREA	PARCEL
HIGH SCHOOL #13	N/A	102, 349, 235

PLAT NOS.	BLOCK NO.	ZONE	TAX MAP	ELEC. DIST.	CENSUS TR.
85588-18 & 24	6-15	R-5	42 & 43	SIXTH	606901
85532-13 & 19	RSC MXD-3	42 & 43	42 & 43	SIXTH	606901
		PSA-B MXD-3			

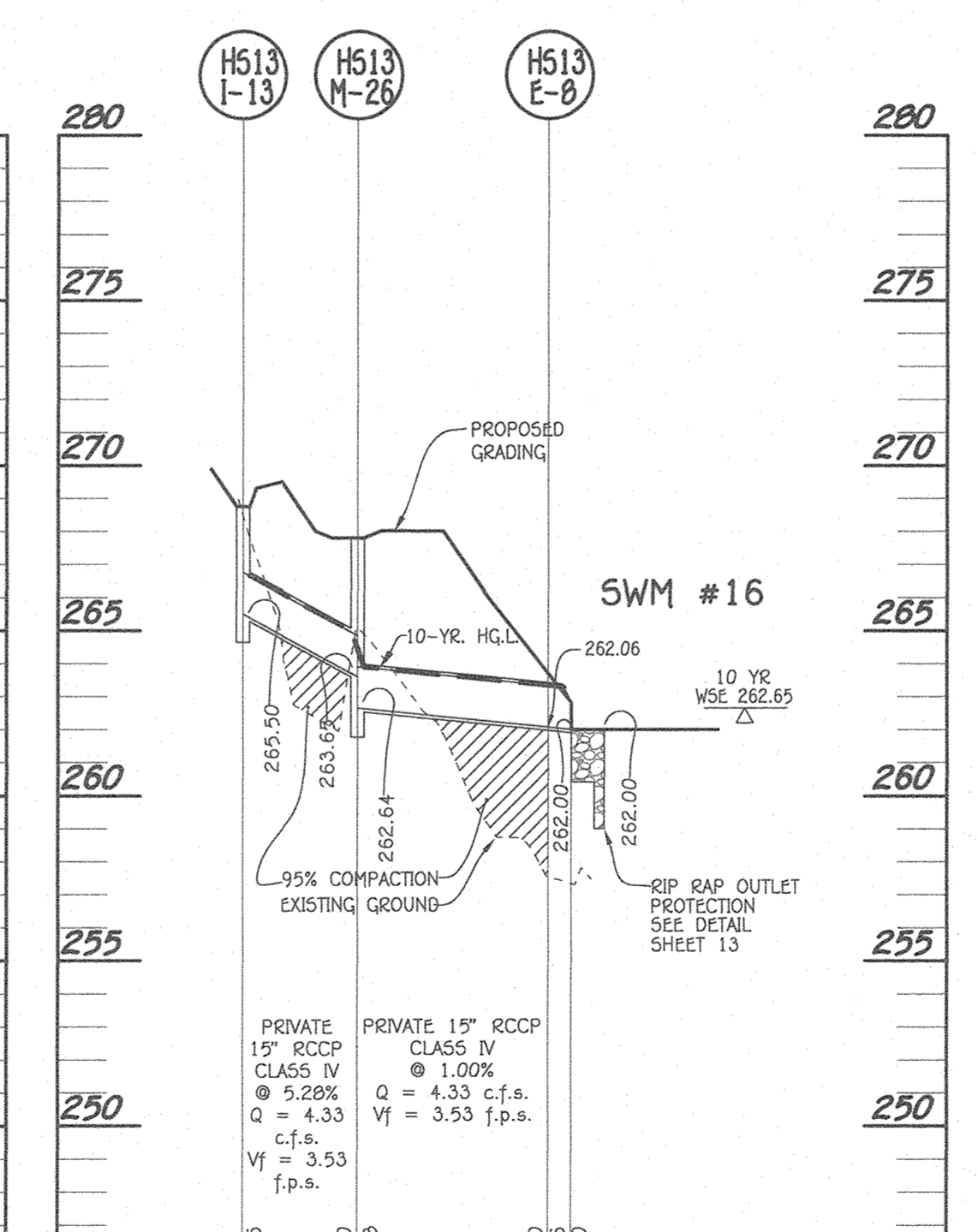
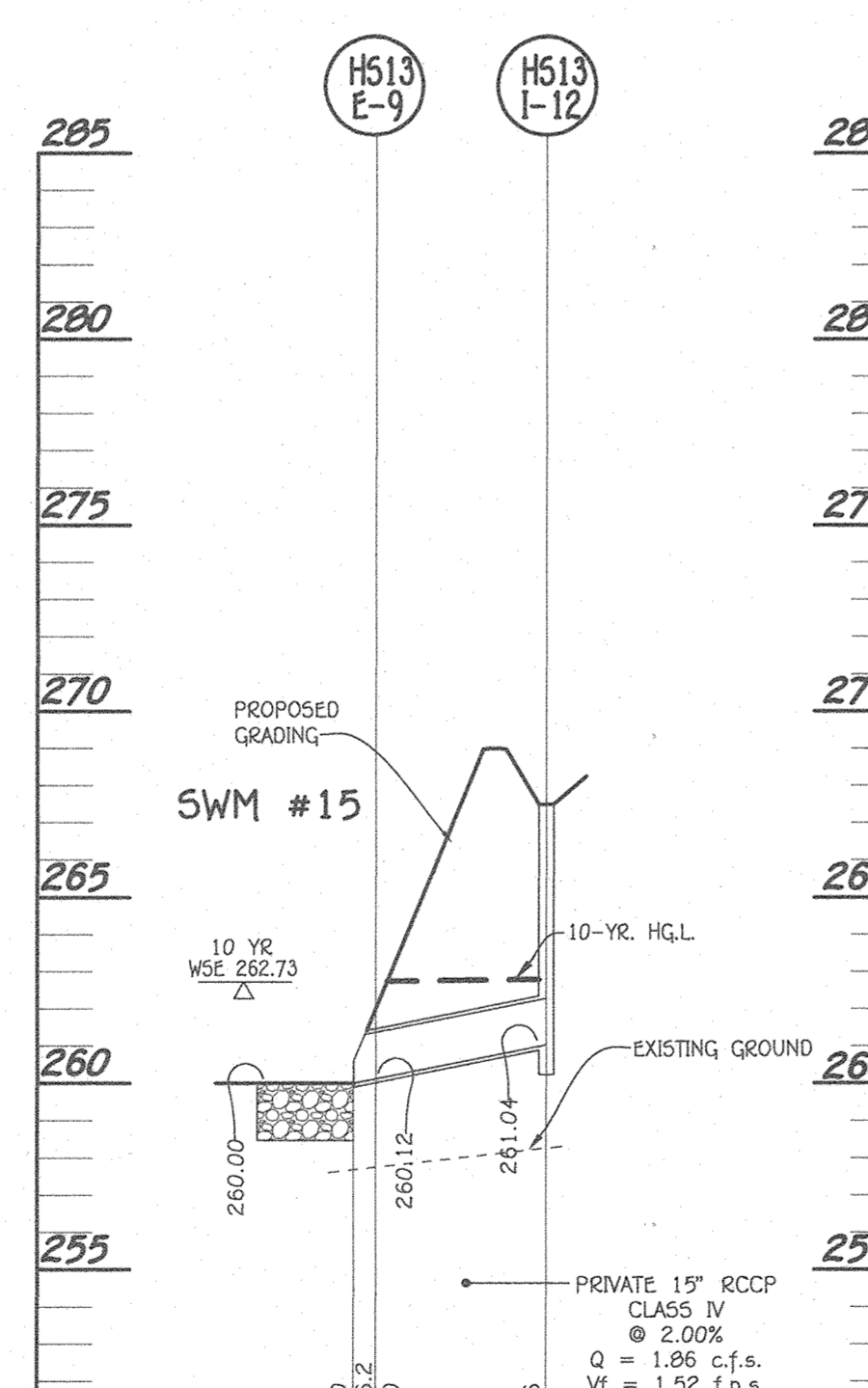
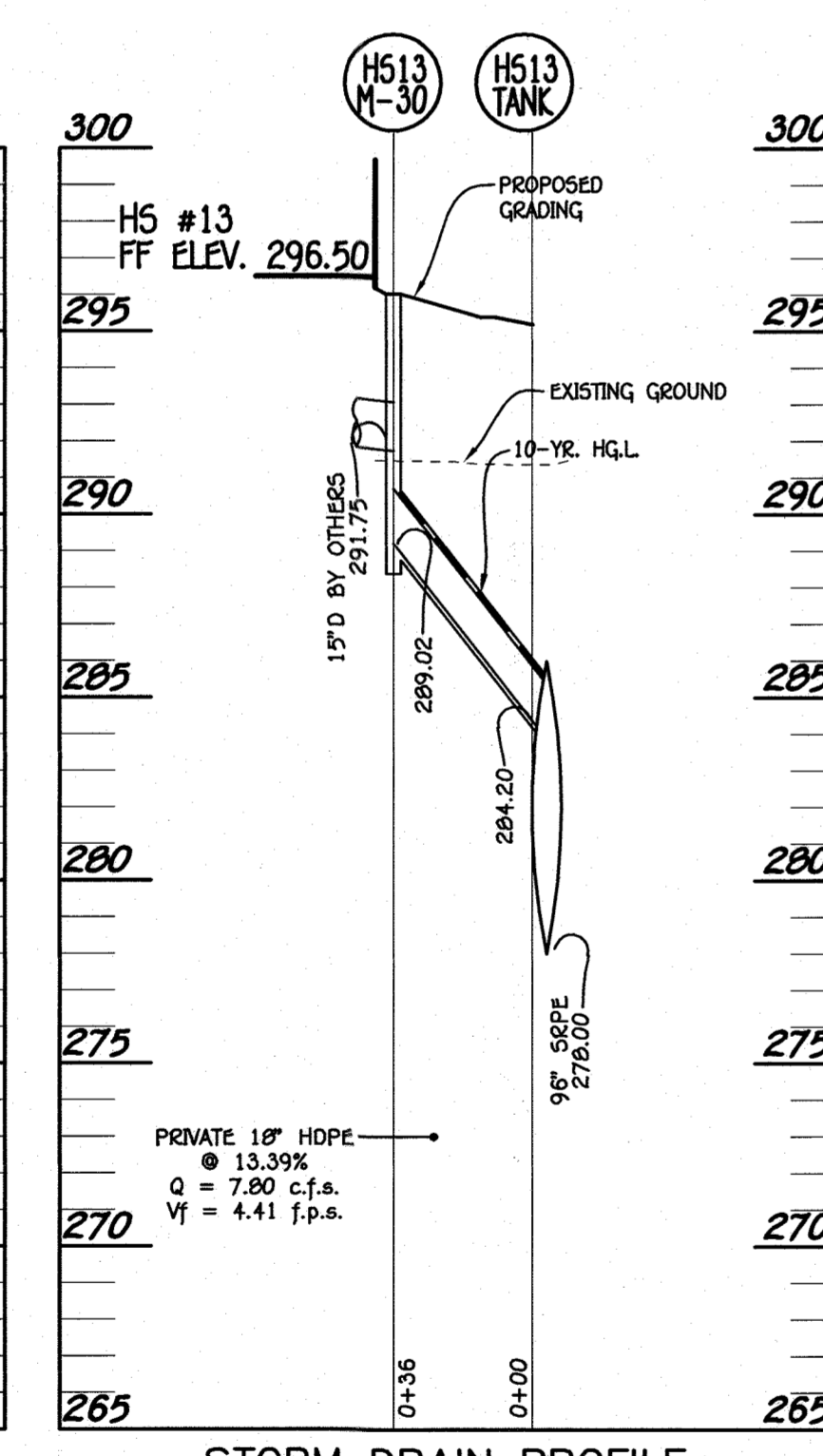
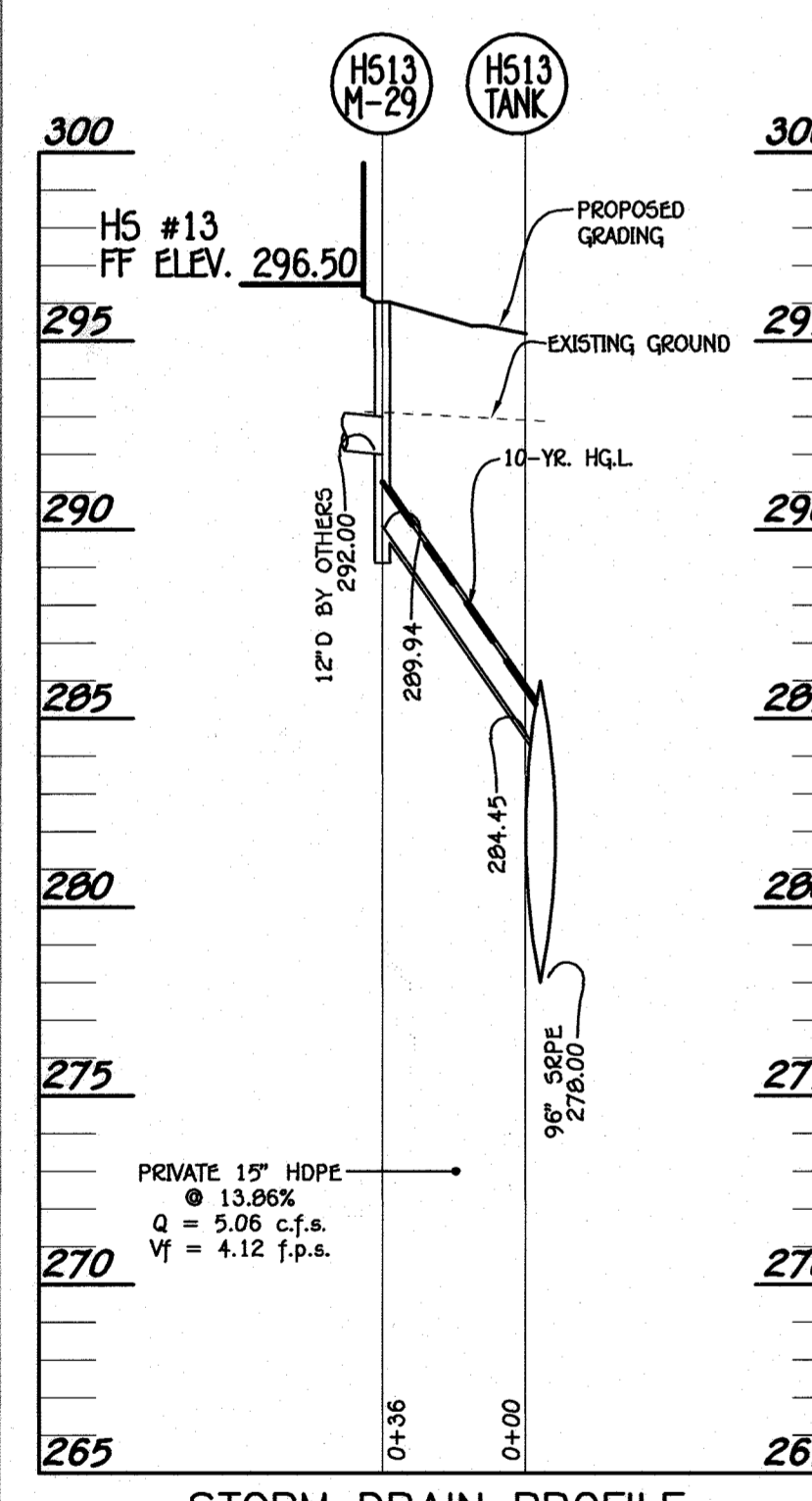
STORM DRAIN PROFILES

**HIGH SCHOOL #13
PARCELS 'A' THRU 'D'**

ZONED: R-5C MXD-3, R-5A-B MXD-3 AND R-12
PARCEL NOS.: 102, 349, 235
TAX MAP No.: 42 & 43, GRID No.: 24 & 19
SIXTH ELECTION DISTRICT HOWARD COUNTY, MARYLAND
SCALE: AS SHOWN DATE: AUGUST, 2020
SHEET 61 OF 131



STORM DRAIN PROFILE
 SCALE: HORIZ. : 1" = 50'
 VERT. : 1" = 5'



STORM DRAIN PROFILE
 SCALE: HORIZ. : 1" = 50'
 VERT. : 1" = 5'

STORM DRAIN PROFILE
 SCALE: HORIZ. : 1" = 50'
 VERT. : 1" = 5'

STORM DRAIN PROFILE
 SCALE: HORIZ. : 1" = 50'
 VERT. : 1" = 5'

STORM DRAIN PROFILE
 SCALE: HORIZ. : 1" = 50'
 VERT. : 1" = 5'

FISHER, COLLINS & CARTER, INC.
 CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
 CENTRAL SQUARE OFFICE PARK - 10272 BALTIMORE NATIONAL PIKE
 ELICOTT CITY, MARYLAND 21042
 (410) 461-2295

"PROFESSIONAL CERTIFICATION, I HEREBY CERTIFY THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 38336, EXPIRATION DATE: JANUARY 12, 2022."
Stephanie J. Tuttle
 STEPHANIE J. TUTTLE, R.L.A., P.E., LEED AP BC&D
 8/17/20
 DATE

DATE: _____ DESCRIPTION: _____ REVISION BLOCK: _____
 APPROVED: DEPARTMENT OF PLANNING AND ZONING
 Director: Department of Planning and Zoning
 Chief, Division of Land Development
 Chief, Development Engineering Division

PREPARED FOR
 HOWARD COUNTY PUBLIC SCHOOL SYSTEM
 9020 MENDENHALL COURT
 SUITE 'C'
 COLUMBIA, MARYLAND 21045
 Attention: DANIEL LUBELEY
 410-313-8203



ADDRESS CHART			
PARCEL NO.	STREET ADDRESS		
-	8500 RIDGELY'S RUN ROAD		
-	JESSUP, MARYLAND 20794		
PROJECT	SECTION/AREA	PARCEL	
HIGH SCHOOL #13	N/A	102, 349, 235	
PLAT NO.	BLOCK NO.	ZONE	TAX MAP ELEC. DIST. CENSUS TR.
A5588	18 & 24	R-12	42 & 43 SIXTH
25533	13 & 19	RSA-B MXD-3	606901
WATER CODE	SEWER CODE		
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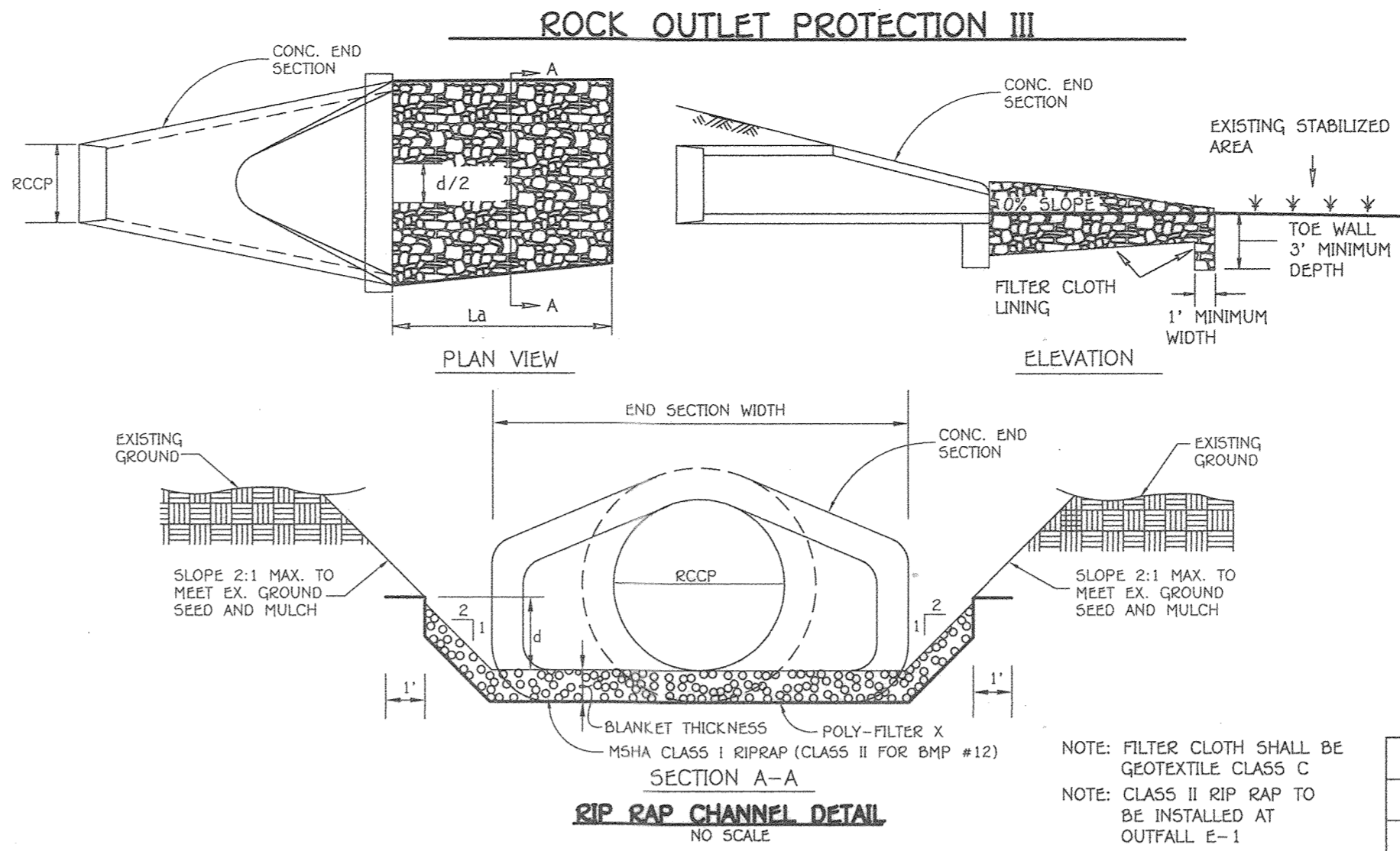
STORM DRAIN PROFILES
HIGH SCHOOL #13
PARCELS 'A' THRU 'D'
 ZONED: R-5C MXD-3, R-5A-B MXD-3 AND R-12
 PARCEL Nos.: 102, 349, 235
 TAX MAP No.: 42 & 43 GRID No.: 24 & 19
 SIXTH ELECTION DISTRICT HOWARD COUNTY, MARYLAND
 SCALE: AS SHOWN DATE: AUGUST, 2020
 SHEET 62 OF 131

HIGH SCHOOL #13 STRUCTURE SCHEDULE

STRUCTURE SCHEDULE									
STRUCTURE NO.	OWNERSHIP AND MAINTENANCE	TOP ELEVATION	INV. IN	INV. OUT	COORDINATES	WIDTH	TYPE	REMARKS	
HS13 I-1	PRIVATE	289.61	-	286.26 (18')	N 542369.24 E 1366018.47	2.50'	A-5 INLET	D-4.02	
HS13 I-2	PRIVATE	294.24 *	287.40 (24')	284.18 (24')	N 542481.87 E 1365941.14	2.50'	S INLET W/ REF. GRATE	D-4.24 & D-4.34	
HS13 I-3	PRIVATE	294.24 *	288.40 (18')	287.90 (24')	N 542505.44 E 1365937.76	2.50'	S INLET W/ REF. GRATE	D-4.24 & D-4.34	
HS13 I-4	PRIVATE	294.24 *	288.95 (15')	288.70 (18')	N 542519.66 E 1365996.47	2.50'	S INLET W/ REF. GRATE	D-4.24 & D-4.34	
HS13 I-5	PRIVATE	292.70	-	289.26 (15')	N 542556.56 E 1366047.05	2.50'	A-5 INLET	D-4.02	
HS13 I-6	PRIVATE	291.66 *	285.17 (24')	285.07 (24')	N 541403.61 E 1366577.28	2.50'	S INLET W/ REF. GRATE	D-4.24 & D-4.34	
HS13 I-7	PRIVATE	293.00 *	285.70 (24')	285.60 (24')	N 541344.99 E 1366639.86	2.50'	S INLET W/ REF. GRATE	D-4.24 & D-4.34	
HS13 I-8	PRIVATE	293.00 *	286.08 (24')	285.98 (24')	N 541314.99 E 1366658.09	2.50'	S INLET W/ REF. GRATE	D-4.24 & D-4.34	
HS13 I-9	PRIVATE	290.50 *	286.99 (18')	286.49 (24')	N 541281.92 E 1366761.74	2.50'	S INLET W/ REF. GRATE	D-4.24 & D-4.34	
HS13 I-10	PRIVATE	292.75 *	-	289.50 (15')	N 541954.98 E 1366550.57	2.50'	S INLET W/ REF. GRATE	D-4.24 & D-4.34	
HS13 I-11	PRIVATE	289.00 *	283.49 (36'), 283.24 (30')	283.14 (42')	N 541932.87 E 1366184.86	4'x4'	S INLET W/ REF. GRATE	D-4.24 & D-4.34	
HS13 I-12	PRIVATE	287.50 *	-	281.04 (15')	N 541878.36 E 1366041.88	2.50'	S INLET W/ REF. GRATE	D-4.24 & D-4.34	
HS13 I-13	PRIVATE	288.75 *	-	285.50 (15')	N 542078.01 E 1365744.72	2.50'	S INLET W/ REF. GRATE	D-4.24 & D-4.34	
HS13 M-1	PRIVATE	289.30	284.10 (30')	282.12 (30')	N 542057.42 E 1365987.93	5'	STD. MANHOLE	G-5.13	
HS13 M-2	PRIVATE	288.00	275.20 (30')	286.60 (30')	N 542074.67 E 1366019.40	5'	STD. MANHOLE	G-5.13	
HS13 M-3	PRIVATE	292.10	280.56 (30')	280.46 (30')	N 542171.51 E 1366100.34	5'	STD. MANHOLE	G-5.13	
HS13 M-4	PRIVATE	291.02	282.32 (18'), 281.96 (30')	281.86 (30')	N 542423.15 E 1366039.36	5'	STD. MANHOLE	G-5.13	
HS13 M-5	PRIVATE	293.67	282.44 (30')	282.34 (30')	N 542493.15 E 1366066.77	5'	STD. MANHOLE	G-5.13	
HS13 M-6	PRIVATE	293.62	283.28 (30')	283.18 (30')	N 542636.67 E 1366032.78	5'	STD. MANHOLE	G-5.13	
HS13 M-7	PRIVATE	293.78	289.33 (15'), 286.83 (15'), 284.12 (24')	283.62 (30')	N 542652.36 E 1366097.52	5'	STD. MANHOLE	G-5.13	
HS13 M-8	PRIVATE	293.84	289.33 (15'), 286.68 (15'), 285.07 (24')	284.97 (24')	N 542892.37 E 1366262.66	4'	STD. MANHOLE	G-5.12	
HS13 M-9	PRIVATE	293.80	289.33 (15'), 286.27 (15'), 287.00 (18')	285.52 (24')	N 542713.46 E 1366349.70	4'	STD. MANHOLE	G-5.12	
HS13 M-10	PRIVATE	294.19	286.85 (15')	286.75 (15')	N 542736.05 E 1366442.95	4'	STD. MANHOLE	G-5.12	
PUMP M-11	PRIVATE	292.10	283.20 (30'), 278.16 (12')	285.70 (30')	N 542107.90 E 1366179.00	5'	STD. MANHOLE	G-5.13	
HS13 M-12	PRIVATE	294.00	279.61 (30'), 281.50 (24')	279.11 (36')	N 541889.50 E 1366508.08	5'	STD. MANHOLE	G-5.13	
HS13 M-13	PRIVATE	292.67	289.10 (15'), 279.89 (30')	279.79 (30')	N 541893.73 E 1366541.68	5'	STD. MANHOLE	G-5.13	
HS13 M-14	PRIVATE	292.43	288.50 (18'), 285.03 (24'), 280.94 (24')	280.44 (30')	N 541919.72 E 1366648.95	5'	STD. MANHOLE	G-5.12	
HS13 M-15	PRIVATE	290.25	282.03 (24'), 287.00 (4')	281.93 (24')	N 541966.16 E 1366640.63	4'	STD. MANHOLE	G-5.12	
HS13 M-16	PRIVATE	291.11	285.30 (15'), 284.67 (24')	284.97 (24')	N 542015.27 E 1366828.74	4'	STD. MANHOLE	G-5.12	
HS13 M-17	PRIVATE	293.66	287.81 (15'), 286.23 (24')	286.13 (24')	N 542217.94 E 1366779.63	4'	STD. MANHOLE	G-5.12	
HS13 M-18	PRIVATE	293.66	287.81 (15'), 287.51 (18')	287.01 (24')	N 542369.43 E 1366742.93	4'	STD. MANHOLE	G-5.12	
HS13 M-19	PRIVATE	294.11	288.33 (18')	288.23 (18')	N 542508.20 E 1366709.30	4'	STD. MANHOLE	G-5.12	
HS13 M-20	PRIVATE	294.81	290.16 (10')	289.49 (18')	N 541833.04 E 1366665.48	4'	STD. MANHOLE	G-5.12	
HS13 M-21	PRIVATE	292.56	282.98 (24')	282.88 (24')	N 541727.79 E 1366470.47	4'	STD. MANHOLE	G-5.12	
HS13 M-22	PRIVATE	293.15	284.86 (24')	284.76 (24')	N 541423.52 E 1366540.76	4'	STD. MANHOLE	G-5.12	
HS13 M-23	PRIVATE	291.44	287.94 (18')	287.84 (18')	N 541303.15 E 1366803.79	4'	STD. MANHOLE	G-5.12	
HS13 M-24	PRIVATE	293.81	290.16 (10')	289.49 (18')	N 541359.63 E 1366775.41	4'	STD. MANHOLE	G-5.12	
HS13 M-25	PRIVATE	289.00	283.02 (42')	282.92 (42')	N 541909.47 E 1366165.19	6'	STD. MANHOLE	G-5.13	
HS13 M-26	PRIVATE	288.00	283.65 (15')	282.64 (15')	N 542043.63 E 1365739.25	4'	STD. MANHOLE	G-5.12	
HS13 M-27	PRIVATE	293.44	280.41 (24')	283.75 (24')	N 542170.94 E 1366438.30	4'	STD. MANHOLE	G-5.12	
HS13 M-28	PRIVATE	296.34	290.00 (16')	289.33 (24')	N 542210.70 E 1366459.54	4'	STD. MANHOLE	G-5.12	
HS13 M-29	PRIVATE	296.40	292.00 (12')	289.74 (15')	N 542206.43 E 1366413.94	4'	STD. MANHOLE	G-5.12	
HS13 M-30	PRIVATE	296.40	291.75 (15')	289.02 (18')	N 542180.43 E 1366309.27	4'	STD. MANHOLE	G-5.12	
HS13 R-1A	PRIVATE	294.65 *	289.65 (4'), 289.65 (4')	289.55 (15')	N 542694.72 E 1366087.44	MOD. K INLET	SEE SHEET 6B		
HS13 R-1B	PRIVATE	294.65 *	289.65 (4'), 289.65 (4')	289.55 (15')	N 542734.74 E 1366252.58	MOD. K INLET	SEE SHEET 6B		
HS13 R-1C	PRIVATE	294.65 *	289.65 (4'), 289.65 (4')	289.55 (15')	N 542755.82 E 1366339.62	MOD. K INLET	SEE SHEET 6B		
HS13 R-2A	PRIVATE	292.15 *	287.15 (4')	287.05 (15')	N 542609.85 E 1366107.50	MOD. K INLET	SEE SHEET 6B		
HS13 R-2B	PRIVATE	292.00 *	287.00 (4'), 287.00 (4')	286.90 (15')	N 542649.86 E 1366272.64	MOD. K INLET	SEE SHEET 6B		
HS13 R-2C	PRIVATE	292.32 *	287.32 (4'), 287.32 (4')	287.22 (18')	N 542670.95 E 1366359.68	MOD. K INLET	SEE SHEET 6B		
HS13 R-2D	PRIVATE	292.23 *	287.23 (4')	287.13 (15')	N 541854.98 E 1366550.57	MOD. K INLET	SEE SHEET 6B		
HS13 R-3	PRIVATE	293.12 *	286.82 (4'), 286.82 (4')	286.52 (18')	N 542499.55 E 1366673.73	MOD. K INLET	SEE SHEET 6B		
HS13 R-4A	PRIVATE	292.60 *	286.10 (4'), 286.10 (4')	286.00 (15')	N 542360.78 E 1366707.35	MOD. K INLET	SEE SHEET 6B		
HS13 R-4B	PRIVATE	292.60 *	286.10 (4'), 286.10 (4')	286.00 (15')	N 542209.35 E 1366744.04	MOD. K INLET	SEE SHEET 6B		
HS13 R-5	PRIVATE	290.21 *	285.59 (4'), 285.59 (4')	285.49 (15')	N 542006.68 E 1366793.18	MOD. K INLET	SEE SHEET 6B		
HS13 R-6	PRIVATE	290.98 *	286.36 (4'), 286.36 (4')	285.26 (24')	N 541964.68 E 1366638.09	MOD. K INLET	SEE SHEET 6B		
HS13 R-7	PRIVATE	289.00 *	282.75 (4'), 282.75 (4')	282.65 (18')	N 542458.87 E 1365995.75	MOD. K INLET	SEE SHEET 6B		
HS13 R-8	PRIVATE	285.25 *	279.75 (4')	279.65 (24')	N 542429.19 E 1365712.27	MOD. K INLET	SEE SHEET 6B		
HS13 R-9	PRIVATE	288.50	259.80 (10')	258.30 (60')	N 541744.34 E 1366045.80	RISER STRUCTURE	SEE SHEET 8A		
HS13 R-10	PRIVATE	286.58	259.30 (9')	258.70 (48')	N 541921.18 E 1365862.47	RISER STRUCTURE	SEE SHEET 8B		
HS13 R-11	PRIVATE	292.30 *	282.74 (24'), 287.25 (4')	282.64 (24')	N 541733.24 E 1366497.29	MOD. K INLET	SEE SHEET 41		
HS13 E-1	PRIVATE	264.46	-	261.90 (30')	N 542049.70 E 1365973.88	30"	CONC. END SECTION	D-5.51	
HS13 E-2	PRIVATE	285.12	-	283.00 (24')	N 542474.99 E 1365788.89	24"	CONC. END SECTION	D-5.51	
HS13 E-3	PRIVATE	287.53	-	286.00 (18')	N 542402.89 E 1365998.50	18"	CONC. END SECTION	D-5.51	
HS13 E-4	PRIVATE	266.34	-	262.80 (42')	N 541887.31 E 1366164.06	42"	CONC. END SECTION	D-5.51	
HS13 E-5	PRIVATE	282.80	-	279.30 (24')	N 542430.12 E 1365672.94	24"	TYPE 'A' HEADWALL	D-5.11	
HS13 E-6	PRIVATE	263.00	-	258.50 (48')	N 541869.41 E 1365891.45	48"	TYPE 'C' HEADWALL	D-5.21 W/4' FENCING	
HS13 E-7	PRIVATE	266.00	-	258.00 (60')	N 541752.86 E 1366010.32	60"	MOD. TYPE 'A' HEADWALL	SEE SHEET 82	
HS13 E-8	PRIVATE	263.31	-	262.00 (15')	N 542035.42 E 1365796.89	15"	CONC. END SECTION	D-5.51	
HS13 E-9	PRIVATE	261.07	-	260.00 (15')	N 541721.25 E 1366057.28	15"	CONC. END SECTION	D-5.51	

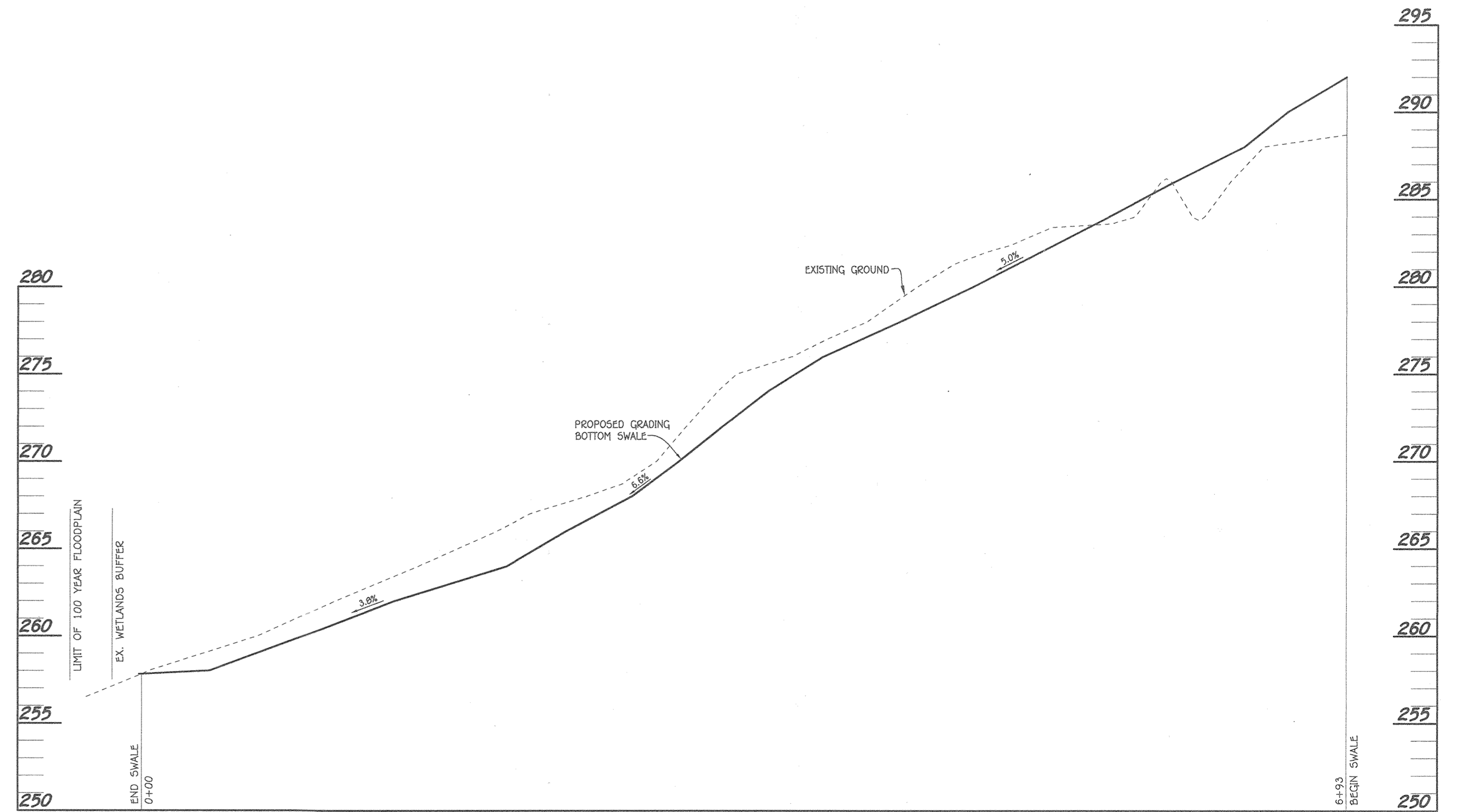
* - DENOTES GRATE ELEVATION

PIPE SCHEDULE (PRIVATE)		
SIZE	CLASS	LENGTH
15"	RCCP, CLASS IV	751 L.F.
18"	RCCP, CLASS IV	630 L.F.
24"	RCCP, CLASS IV	1874 L.F.
30"	RCCP, CLASS IV	1049 L.F.
36"	RCCP, CLASS IV	346 L.F.
42"	RCCP, CLASS IV	40 L.F.
4"	PERF. PVC	2229 L.F.
10"	PVC	994 L.F.
12"	PVC	21 L.F.
12"	HOPE	16 L.F.
24"	HOPE	9 L.F.
30"	HOPE	16 L.F.



- ### CONSTRUCTION SPECIFICATIONS FOR RIP-RAP OUTFALLS
- THE SUBGRADE FOR THE FILTER, RIPRAP OR GABION SHALL BE PREPARED TO THE REQUIRED LINES AND GRADES. ANY FILL REQUIRED IN THE SUBGRADE SHALL BE COMPACTED TO A DENSITY OF APPROXIMATELY THAT OF THE SURROUNDING UNDISTURBED MATERIAL.
 - THE ROCK OR GRAVEL SHALL CONFORM TO THE SPECIFIED GRADING LIMITS WHEN INSTALLED RESPECTIVELY IN THE RIPRAP OR FILTER.
 - FILTER CLOTH SHALL BE PROTECTED FROM PUNCHING, CUTTING OR TEARING ANY DAMAGE OTHER THAN AN OCCASIONAL SMALL HOLE SHALL BE REPAIRED BY PLACING ANOTHER PIECE OF CLOTH OVER THE DAMAGED PART OR BY COMPLETELY REPLACING THE CLOTH. ALL OVERLAPS WHETHER FOR REPAIRS OR FOR JOINING TWO PIECES OF CLOTH SHALL BE A MINIMUM OF ONE FOOT.
 - STONE FOR THE RIPRAP OR GABION OUTLETS MAY BE PLACED BY EQUIPMENT. BOTH SHALL EACH BE CONSTRUCTED TO THE FULL COURSE THICKNESS IN ONE OPERATION AND IN SUCH A MANNER AS TO AVOID DISPLACEMENT OF UNDERLYING MATERIALS. THE STONE FOR RIPRAP OR GABION OUTLETS SHALL BE DELIVERED AND PLACED IN A MANNER THAT WILL INSURE THAT IT IS REASONABLY HOMOGENOUS WITH THE SMALLER STONES AND SPALLS FILLING THE VOIDS BETWEEN THE LARGER STONES. RIPRAP SHALL BE PLACED IN A MANNER TO PREVENT DAMAGE TO THE FILTER BLANKET OR FILTER CLOTH. HAND PLACEMENT WILL BE REQUIRED TO THE EXTENT NECESSARY TO PREVENT DAMAGE TO THE PERMANENT WORKS.

RIPRAP OUTFALL TABLE									
STR. NO.	APRON LENGTH (L _a)	APRON WIDTH	APRON THICKNESS	MAX. STONE DIAMETER	STR. NO.	APRON LENGTH (L _a)	APRON WIDTH	APRON THICKNESS	MAX. STONE DIAMETER
HS13 E-1	15'	10'	19"	9.5"	ROAD E-1	33'	10'	19"	9.5"
HS13 E-2	15'	10'	19"	9.5"	ROAD E-2	14'	16'	19"	9.5"
HS13 E-3	9'	15'	19"	9.5"	ROAD E-3	12'	10'	19"	9.5"
HS13 E-4	15'	10'	19"	9.5"	ROAD E-4	38'	15'	19"	9.5"
HS13 E-5	17'	11'	19"	9.5"	ROAD E-5	16'	20'	19"	9.5"
HS13 E-6	15'	20'	19"	9.5"	ROAD E-6	12'	10'	19"	9.5"
HS13 E-7	17'	22'	19"	9.5"					
HS13 E-8	10'	11'	19"	9.5"					
HS13 R-9	26'	15'	19"	9.5"					
HS13 TREN	10'	10'	19"	9.5"					



SWALE PROFILE NEAR BASEBALL FIELD

SCALE: HORIZ. 1" = 50'
VERT. 1" = 5'



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Stephanie M. Tuttle
STEPHANIE M. TUTTLE, RLA, P.E., LEED AP BC&D
8/19/20
DATE

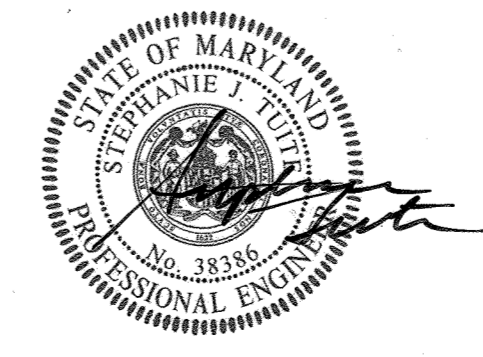
APPROVED: DEPARTMENT OF PLANNING AND ZONING

Director, Department of Planning and Zoning: *[Signature]* 10-5-20 Date

Chief, Division of Land Development: *[Signature]* 10/17/20 Date

Chief, Development Engineering Division: *[Signature]* 8-21-20 Date

PREPARED FOR
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COLUMBIA, MARYLAND 21045
Attention: DANIEL LUBLEY
410-313-8203



ADDRESS CHART	
PARCEL NO.	STREET ADDRESS
-	8500 RIDGELY'S RUN ROAD JESSUP, MARYLAND 20794

PROJECT	SECTION/AREA	PARCEL
HIGH SCHOOL #13	N/A	102, 349, 235

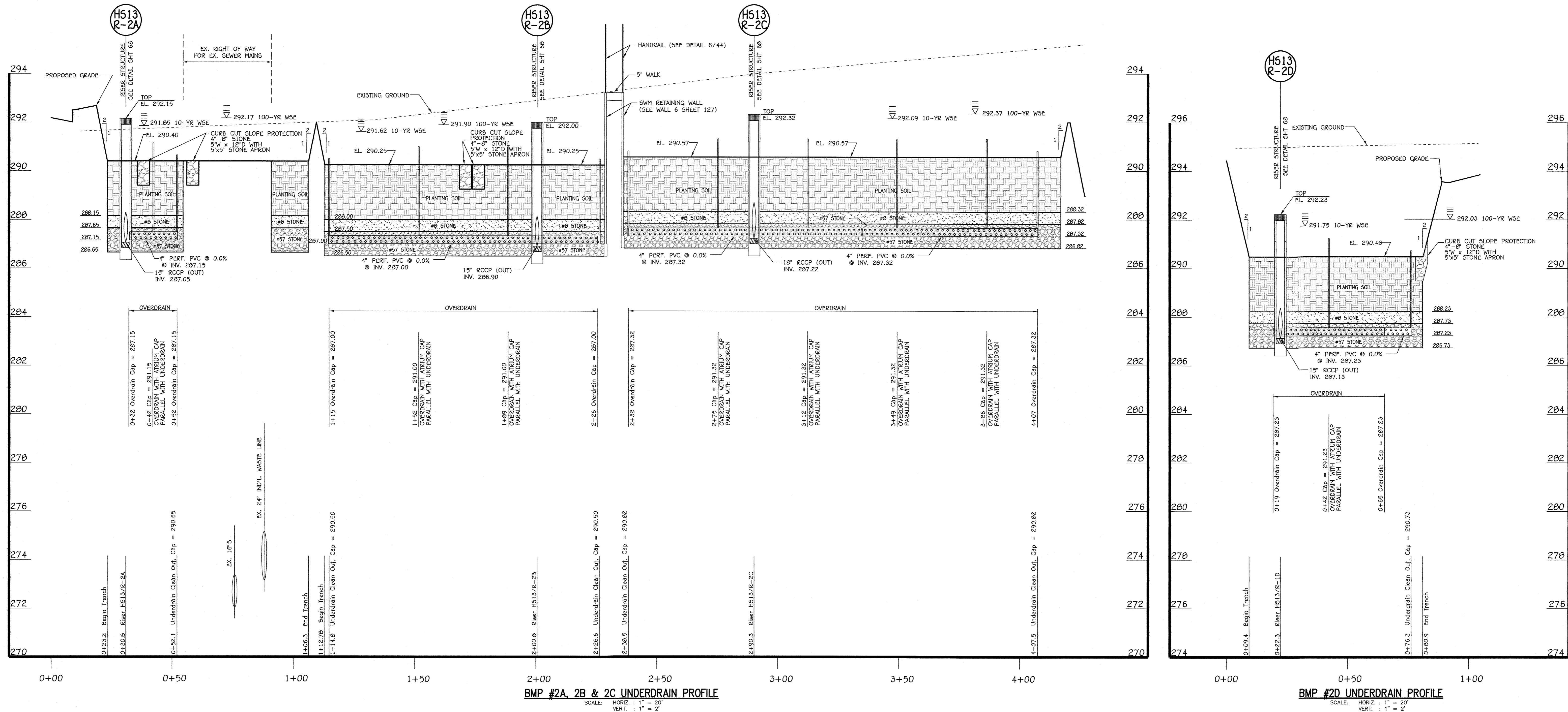
PLAT NOS.	BLOCK NO.	ZONE	TAX MAP	ELEC. DIST.	CENSUS TR.
255A, 255B, 255C	18 & 24	RSC MXD-3	42 & 43	SIXTH	606901

STRUCTURE SCHEDULE AND STORM DRAIN DETAILS

HIGH SCHOOL #13 PARCELS 'A' THRU 'D'

ZONED: R-5C MXD-3, R-5A-B MXD-3 AND R-12
PARCEL Nos.: 102, 349, 235
TAX MAP No.: 42 & 43 GRID No.: 24 & 19
SIXTH ELECTION DISTRICT HOWARD COUNTY, MARYLAND
SCALE: AS SHOWN DATE: AUGUST, 2020
SHEET 63 OF 131

I:\2010\10027\Engineering\Drawings\SDP\10027 SDP 064-69 BID PROFILES.dwg, SHEET-065, Bio Profiles, 8/15/2020 12:08:57 PM, 1:1



FISHER, COLLINS & CARTER, INC.
 CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
 CENTENNIAL SQUARE OFFICE PARK - 10272 BALTIMORE NATIONAL PIKE
 ELKTON CITY, MARYLAND 21042
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Stephanie J. Tuttle
 STEPHANIE J. TUTTLE, RLA, P.E., LEED AP BC&D
 DATE: 8/17/20

DATE	DESCRIPTION
	REVISION BLOCK
	APPROVED: DEPARTMENT OF PLANNING AND ZONING
<i>[Signature]</i>	Director - Department of Planning and Zoning
10-5-20	Date
<i>[Signature]</i>	Chief, Division of Land Development
8-26-20	Date
	Chief, Development Engineering Division

PREPARED FOR
 HOWARD COUNTY PUBLIC SCHOOL SYSTEM
 9020 MENDENHALL COURT
 SUITE 'C'
 COLUMBIA, MARYLAND 21045
 Attention: DANIEL LUBELEY
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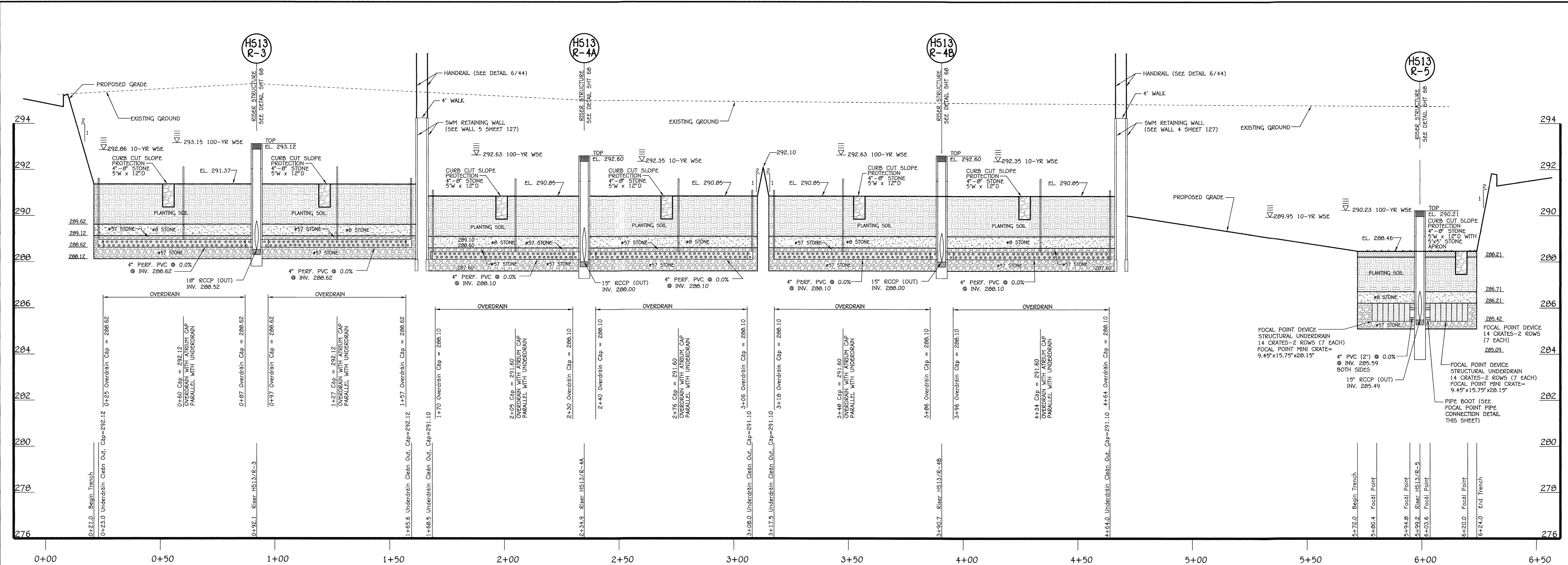


ADDRESS CHART			
PARCEL NO.	STREET ADDRESS		
-	8500 RIDGELYS RUN ROAD		
-	JESSUP, MARYLAND 20794		
PROJECT	SECTION/AREA	PARCEL	
HIGH SCHOOL #13	N/A	102, 349, 235	
PLAT NOS.	BLOCK NO.	ZONE	TAX MAP
25528, 25532	18 & 24, 13 & 19	RSC MXD-3, RSA-B MXD-3	42 & 43
WATER CODE	SEWER CODE		ELEC. DIST. CENSUS TR.
---	---		SIXTH 606901

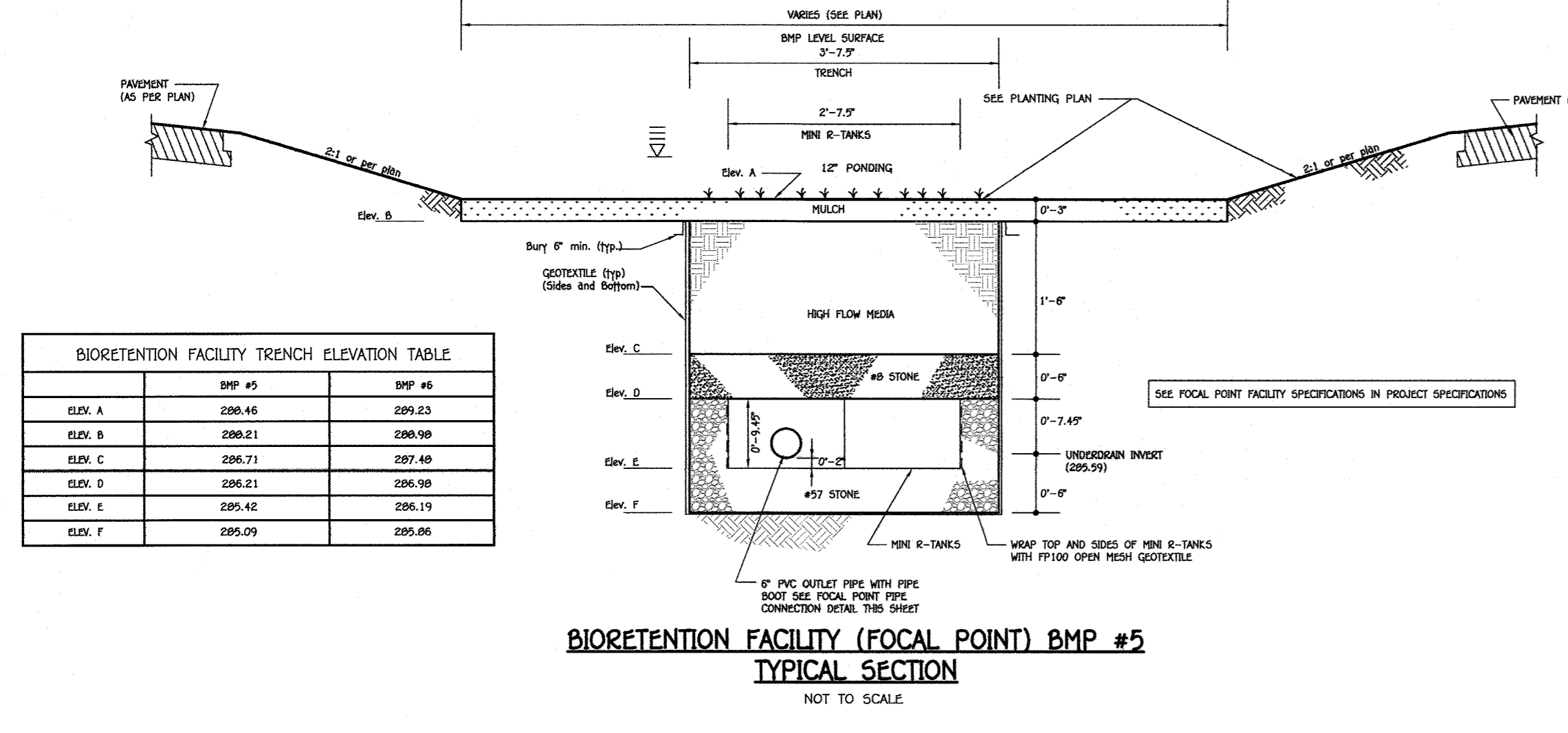
BIO-RETENTION FACILITY PROFILE

**HIGH SCHOOL #13
 PARCELS 'A' THRU 'D'**

ZONED: R-5C MXD-3, R-5A-B MXD-3 AND R-12
 PARCEL Nos.: 102, 349, 235
 TAX MAP Nos.: 42 & 43 GRID No.: 24 & 19
 SIXTH ELECTION DISTRICT HOWARD COUNTY, MARYLAND
 SCALE: AS SHOWN DATE: AUGUST, 2020
 SHEET 65 OF 129

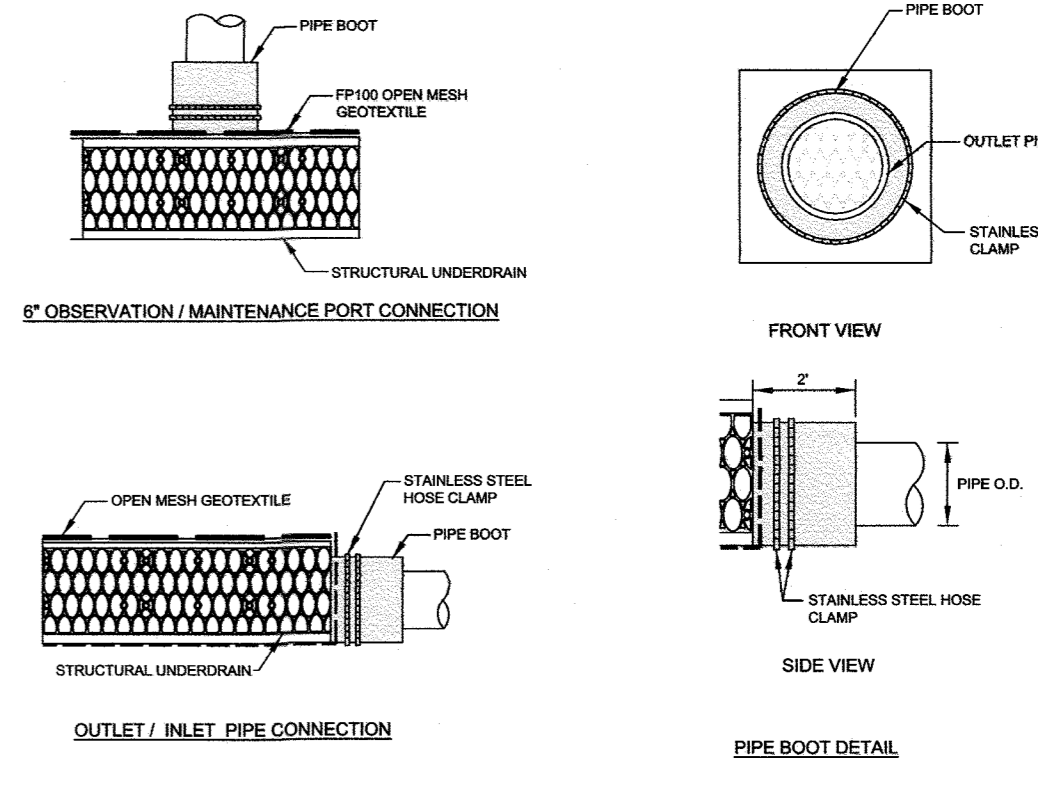
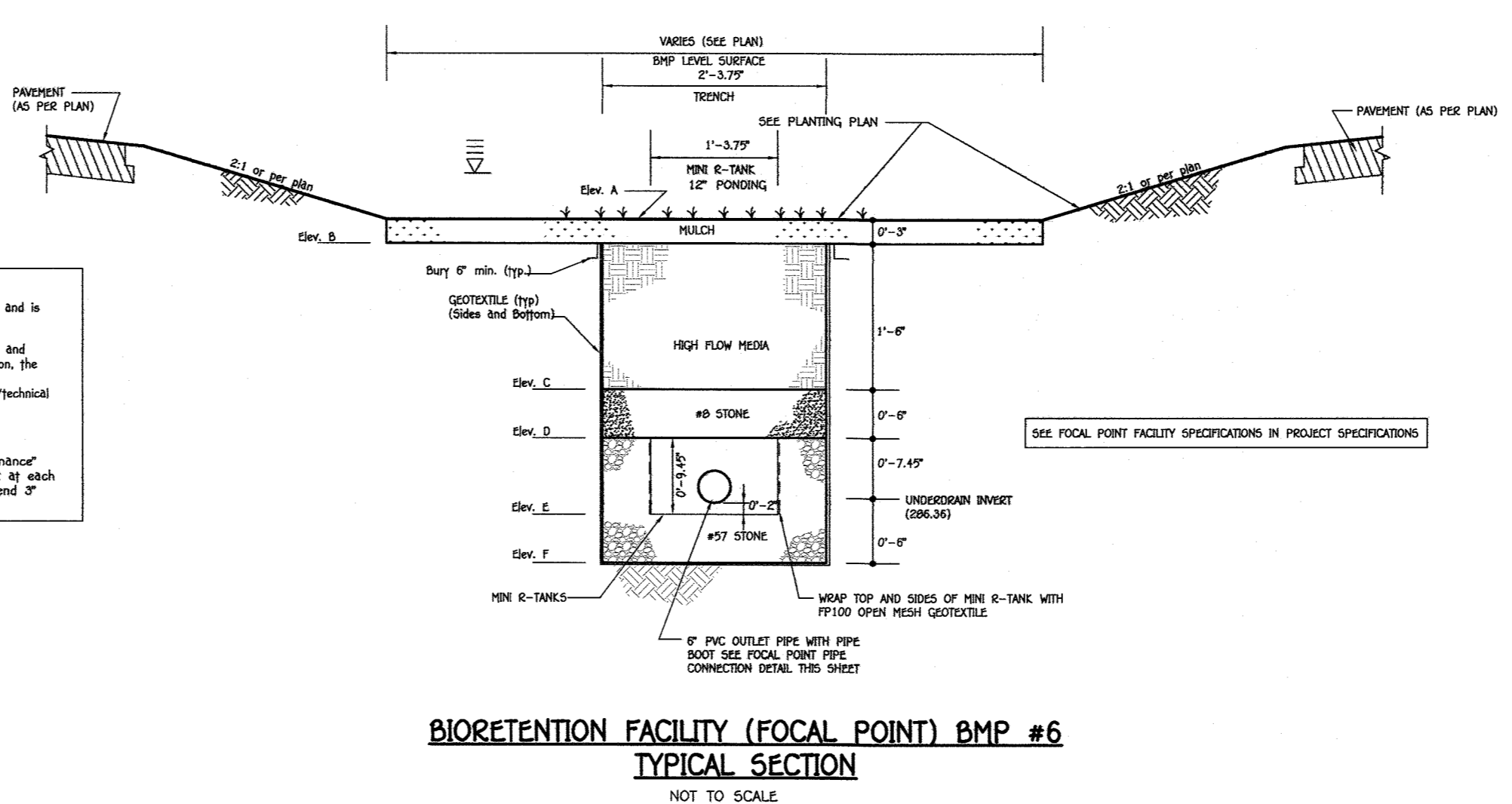


BMP #3, 4A, 4B & 5 UNDERDRAIN PROFILE
 SCALE: HORIZ. : 1" = 20'
 VERT. : 1" = 2'



	BMP #5	BMP #5
ELEV. A	288.46	289.23
ELEV. B	288.21	288.98
ELEV. C	286.71	287.48
ELEV. D	286.21	286.98
ELEV. E	285.46	286.19
ELEV. F	285.09	285.86

- FOCAL POINT BMP #5 AND #6 NOTES**
- BMPs #5 and #6 use a proprietary product "FOCAL POINT" and is manufactured by ACI Environment.
 - BMPs #5 and #6 shall follow the manufacturer's standards and specifications (see Project Specifications). During construction, the general contractor shall coordinate with the on-site ACI Environmental representative to offer construction guidance/technical support.
 - Each Mini R-Tank is 15.75"x28.125"x4.45" high.
 - Place one (1) ACI Environmental "observation/maintenance" port in the center of each R-Tank "segment" (i.e., 2 at each BMP) per plan. The ports (i.e., clean-outs) shall extend 3" above the mulch layer.



FISHER, COLLINS & CARTER, INC.
 CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
 CENTENNIAL SQUARE OFFICE PARK - 10772 BALTIMORE NATIONAL PIKE
 ELLECTIC CITY, MARYLAND 21042
 (410) 461-2895

"PROFESSIONAL CERTIFICATION. I HEREBY CERTIFY THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 38386, EXPIRATION DATE: JANUARY 12, 2022."
Stephanie A. Tuite
 STEPHANIE A. TUITE, RLA, P.E., LEED AP BC&D
 8/17/20
 DATE

DATE	DESCRIPTION	REVISION BLOCK
10-5-20		
10-15-20		
8-26-20		

APPROVED: DEPARTMENT OF PLANNING AND ZONING
 Director - Department of Planning and Zoning
 Chief, Division of Land Development
 Chief, Development Engineering Division

PREPARED FOR
 HOWARD COUNTY PUBLIC SCHOOL SYSTEM
 9020 MENDENHALL COURT
 SUITE 'C'
 COLUMBIA, MARYLAND 21045
 Attention: DANIEL LUBELEY
 410-313-8203

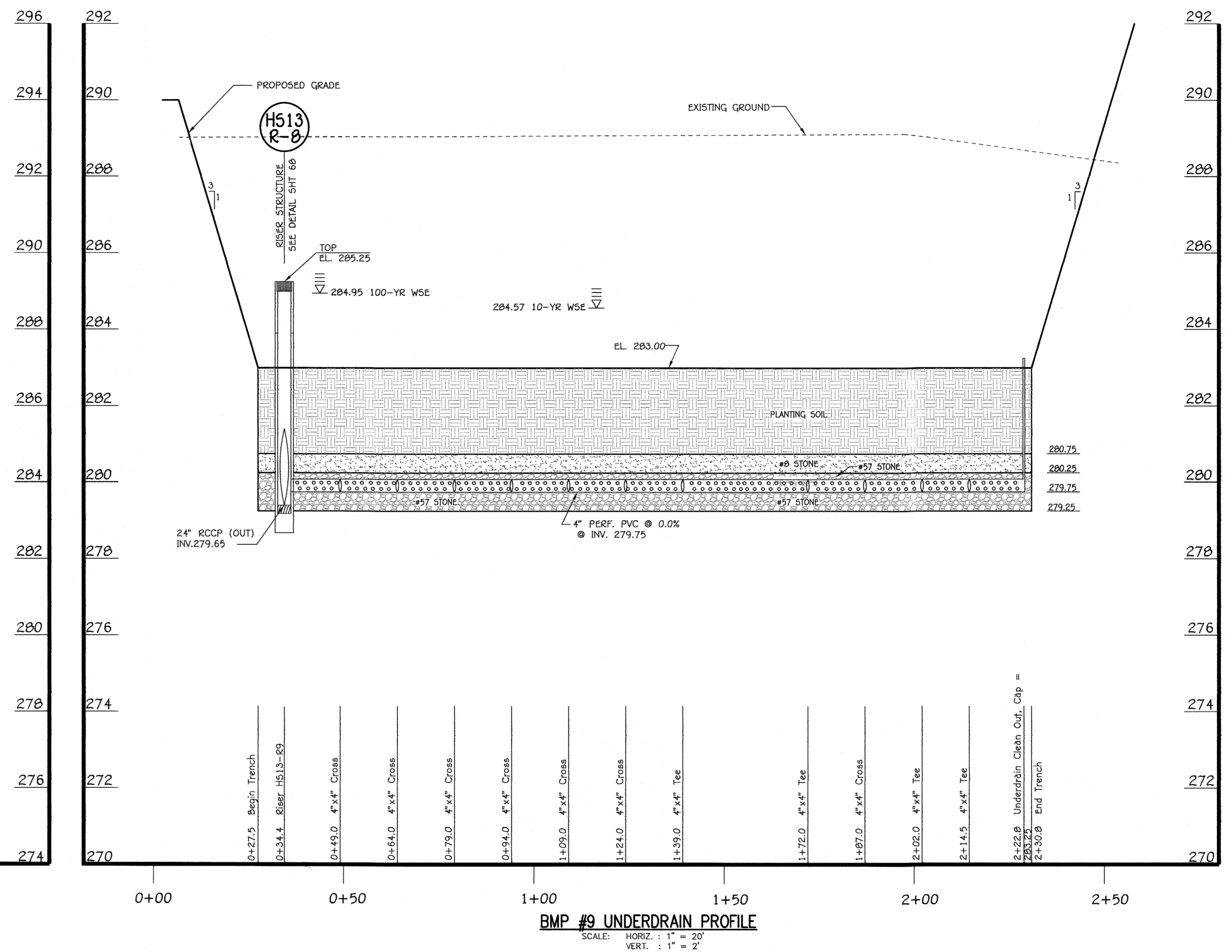
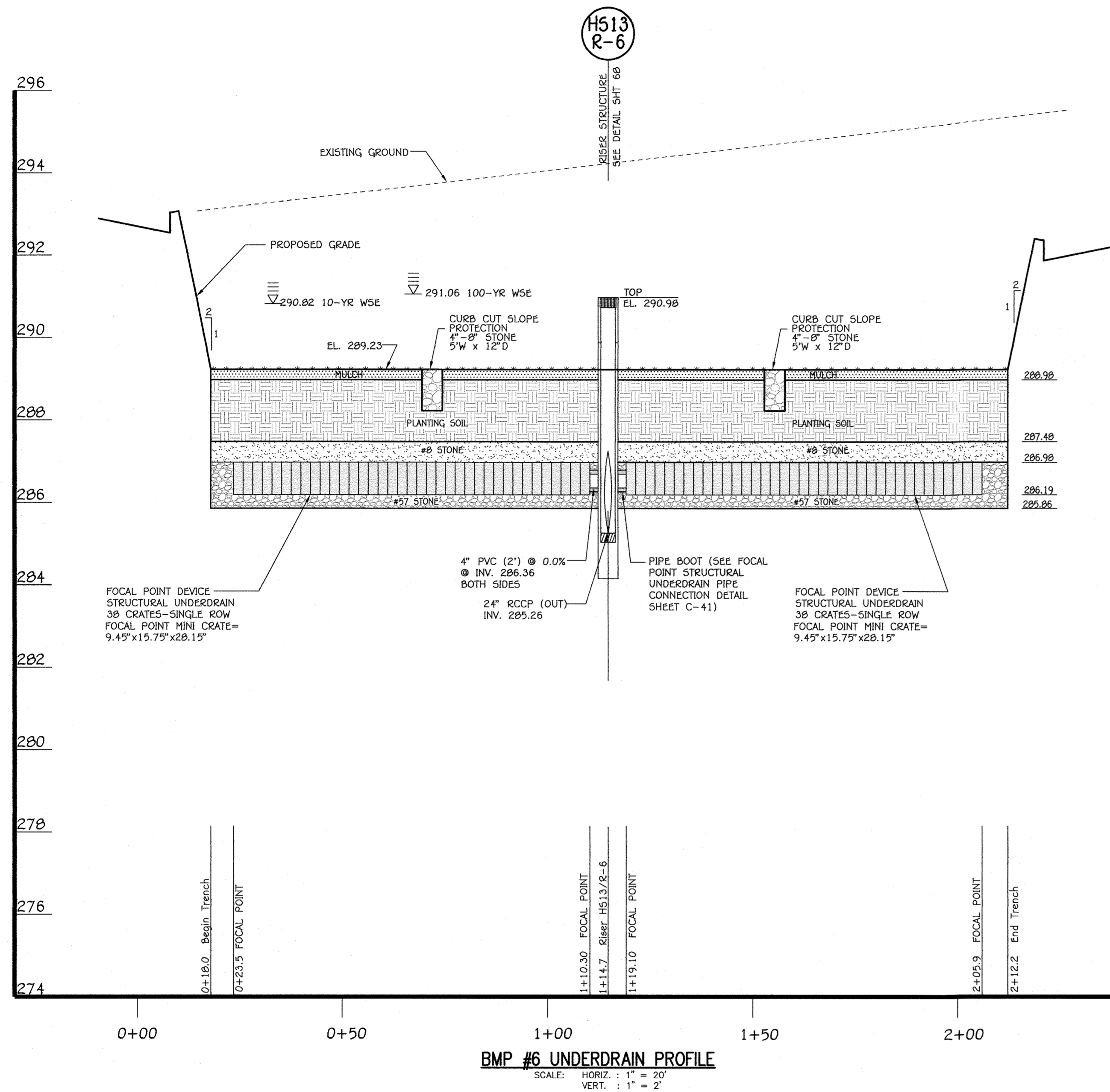
ADDRESS CHART			
PARCEL NO.	STREET ADDRESS		
	8500 RIDGELYS RUN ROAD		
	JESSUP, MARYLAND 20794		
PROJECT	SECTION/AREA	PARCEL	
HIGH SCHOOL #13	N/A	102, 349, 235	
PLAT NOS.	BLOCK NO.	ZONE	TAX MAP
25528-13 & 24	18 & 24	R-12	42 & 43
25532	13 & 19	RSC MXD-3	SIXTH
WATER CODE	SEWER CODE		

BIO-RETENTION FACILITY PROFILE

HIGH SCHOOL #13 PARCELS 'A' THRU 'D'

ZONED: R-5C MXD-3, R-5A-B MXD-3 and R-12
 PARCEL Nos.: 102, 349, 235
 TAX MAP No.: 42 & 43 GRID No.: 24 & 19
 SIXTH ELECTION DISTRICT HOWARD COUNTY, MARYLAND
 SCALE: AS SHOWN DATE: AUGUST, 2020
 SHEET 66 OF 129

I:\2010\10027\Engineering\Drawings\SDP\10027 SDP 064-69 BIC PROFILES.dwg, SHEET 067, Bio Profiles, 8/15/2020 12:11:20 PM, 1:1



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 CENTENNIAL SQUARE OFFICE PARK - 10072 BALTIMORE NATIONAL PIKE
 ELKJOTT CITY, MARYLAND 21042
 (410) 461-2895

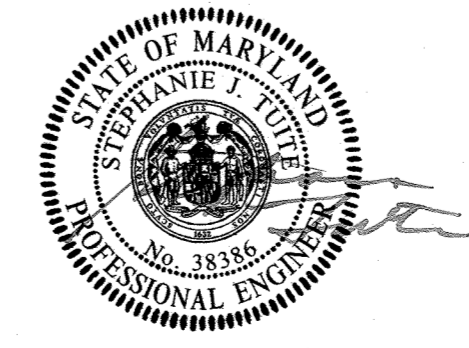
"PROFESSIONAL CERTIFICATION. I HEREBY CERTIFY THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 38386, EXPIRATION DATE: JANUARY 12, 2022."

Stephanie O. Tuite
 STEPHANIE O. TUITE, RLA, P.E., LEED AP BC&D

8/17/20
 DATE

DATE	DESCRIPTION
	REVISION BLOCK
APPROVED: DEPARTMENT OF PLANNING AND ZONING	
Director - Department of Planning and Zoning	Date: 10-5-20
Chief, Division of Land Development	Date: 8-26-20
Chief, Development Engineering Division	Date:

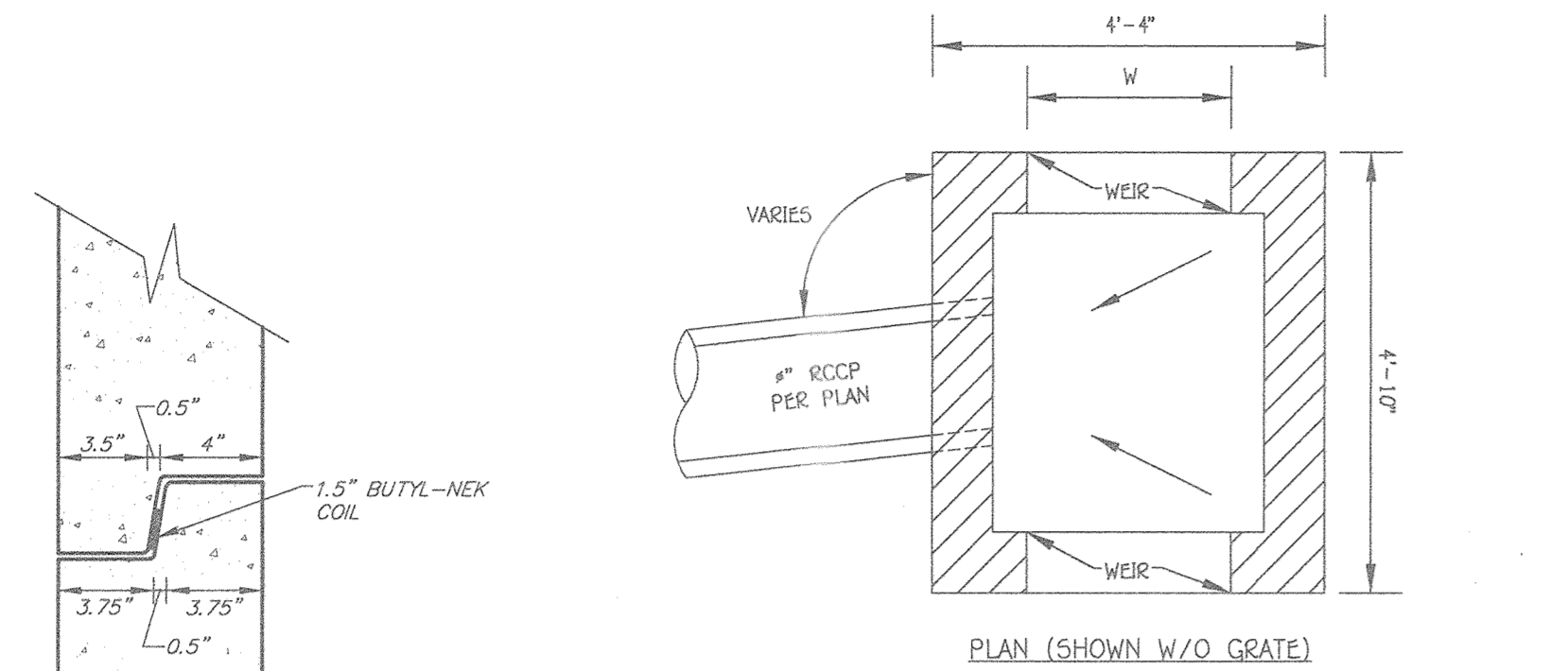
PREPARED FOR
 HOWARD COUNTY PUBLIC SCHOOL SYSTEM
 9020 MENDENHALL COURT
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 COLUMBIA, MARYLAND 21045
 Attention: DANIEL LUBELEY
 410-313-8203



ADDRESS CHART			
PARCEL NO.	STREET ADDRESS		
-	8500 RIDGELY RUN ROAD		
-	JESSUP, MARYLAND 20794		
PROJECT	SECTION/AREA	PARCEL	
HIGH SCHOOL #13	N/A	102, 349, 235	
PLAT NOS.	BLOCK NO.	ZONE	TAX MAP
25528, 25532	18 & 24, 13 & 19	R-12, RSC MXD-3, R5A-B MXD-3	42 & 43
WATER CODE	SEWER CODE		
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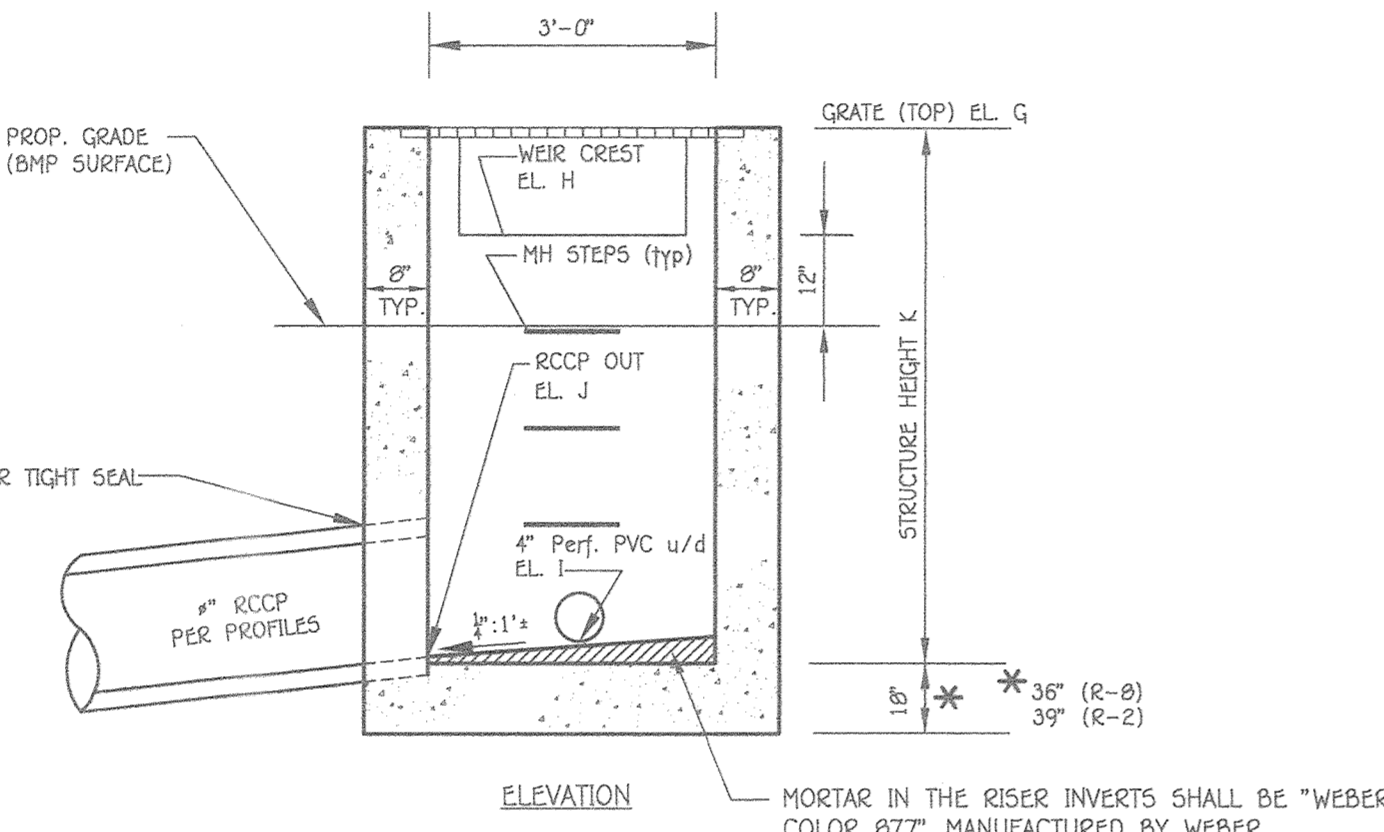
BIO-RETENTION FACILITY PROFILE	
HIGH SCHOOL #13 PARCELS 'A' THRU 'D'	
ZONED: R-5C MXD-3, R-5A-B MXD-3 AND R-12	
PARCEL Nos.: 102, 349, 235	
TAX MAP No.: 42 & 43 GRID No.: 24 & 19	
SIXTH ELECTION DISTRICT HOWARD COUNTY, MARYLAND	
SCALE: AS SHOWN DATE: AUGUST, 2020	
SHEET 67 OF 129	

H513
R-11



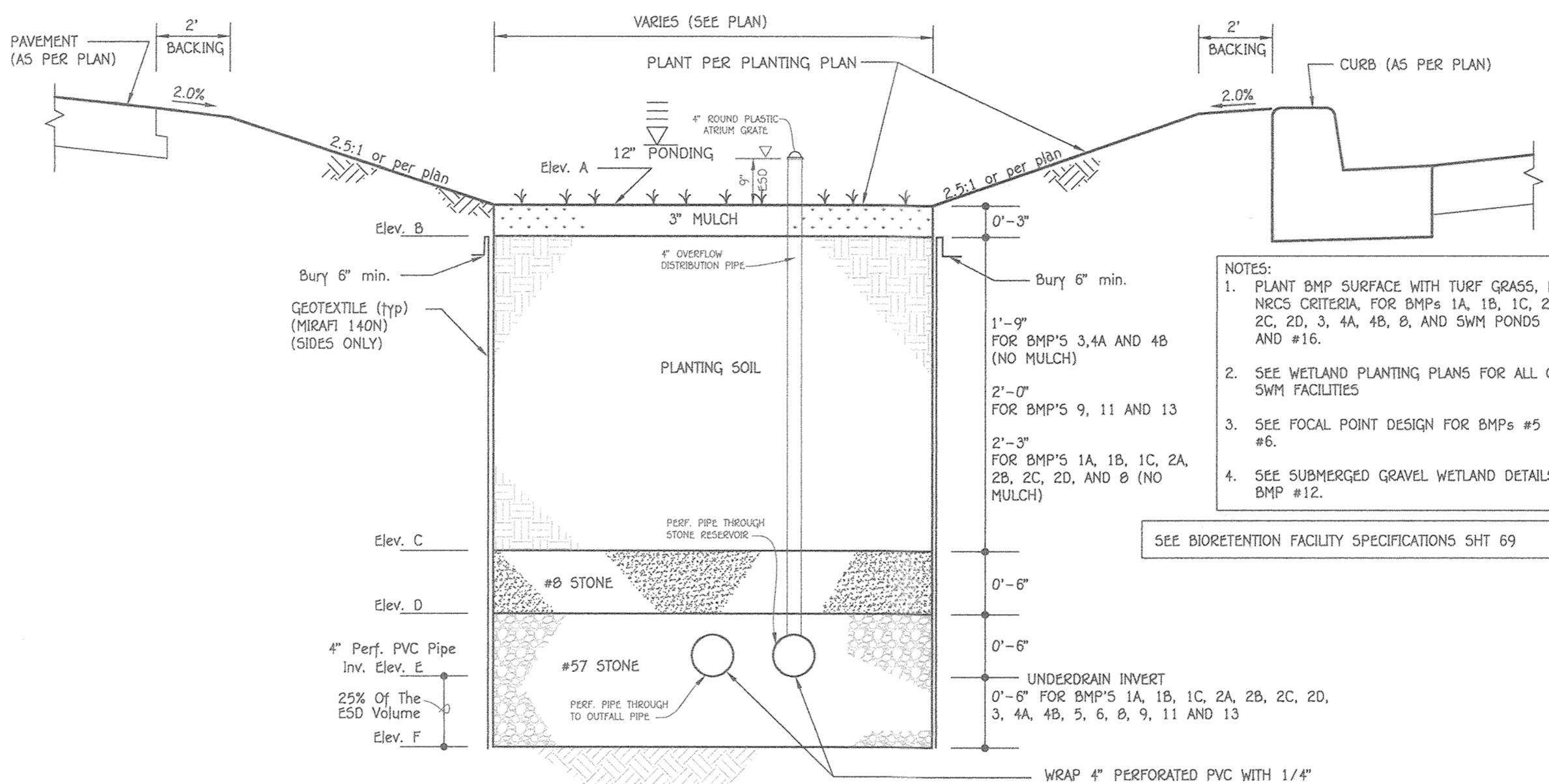
NOTES:
1. RISER JOINTS SHALL JOIN EVENLY AND BE WATER-TIGHT. PARGE JOINTS AFTER INSTALLATION.
2. THE REFERENCED JOINT AND JOINT SEALANT MATERIAL IS USED BY FREDERICK PRECAST, INC. SIMILAR JOINTS MAY BE USED WITH SHOP DRAWING APPROVAL BY THE ENGINEER.

RISER JOINT DETAIL
NOT TO SCALE



NOTES:
1. SEE MSHA STD DETAIL MD-378.11 FOR DETAILS NOT SHOWN ABOVE.
2. ALL STRUCTURAL REQUIREMENTS SHALL CONFORM TO THE D-INLET HO. CO. STD. (DETAIL D-4.10) REQUIREMENTS DUE TO THE INCREASED INLET DEPTH, OR AS CERTIFIED BY A PROFESSIONAL ENGINEER ON THE SHOP DRAWING.
3. NO CONCRETE GUTTER APPROACHES ARE USED FOR THIS STRUCTURE.
4. SLOPE RISER INVERT 1/2" TOWARD RCCP OUTFALL. USE 2" MIN. MORTAR THICKNESS.
5. PROVIDE STEPS PER HOCO STD. DETAIL G-5.21.
6. CHAMFER EXPOSED EDGES 1/8", INCLUDING WEIR CRESTS.
7. ORIENT INLET AS SHOWN ON SDP (GRATE SUPPORT WALL IS HATCHED).
8. SEE PLAN FOR LOCATION OF 4" UNDERDRAIN CONNECTION TO INLET.
9. BMP # 5 AND # 6 HAVE 6" UNDERDRAIN INLETS.

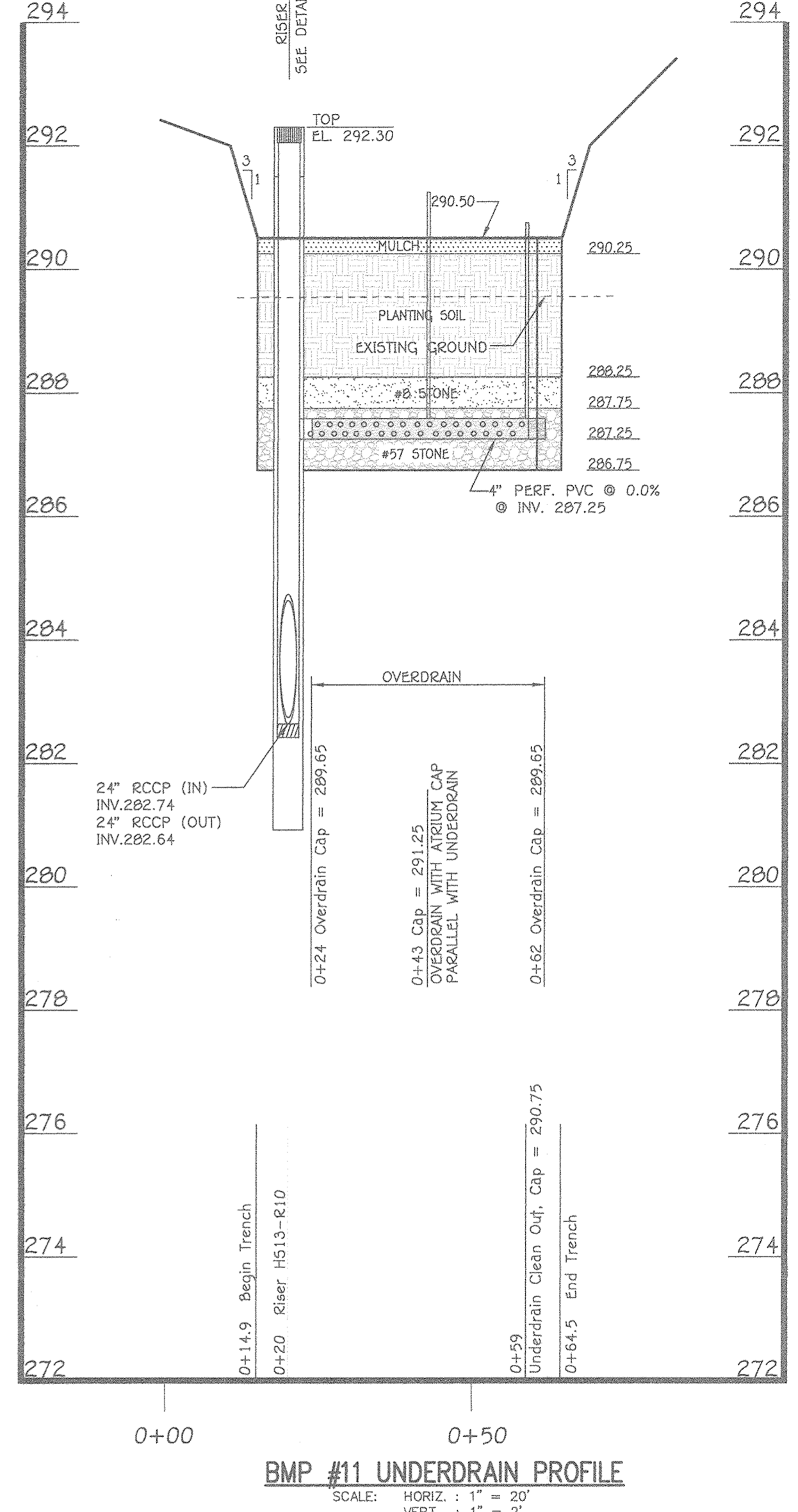
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ELEV. A	292.90	292.90	292.90	290.40	290.25	290.57	290.48	291.37	290.85	290.85	-	-	286.00	283.00	290.50	289.00
ELEV. B	-	-	-	-	-	-	-	-	-	-	-	-	-	282.75	290.25	288.75
ELEV. C	290.65	290.65	290.65	288.15	288.00	288.32	288.23	289.62	289.10	289.10	-	-	283.75	280.75	288.25	286.75
ELEV. D	290.15	290.15	290.15	287.65	287.50	287.82	287.73	289.12	288.60	288.60	-	-	283.25	280.25	287.75	286.25
ELEV. E	289.65	289.65	289.65	287.15	287.00	287.32	287.23	288.62	288.10	288.10	-	-	282.75	279.75	287.25	285.75
ELEV. F	289.15	289.15	289.15	286.65	286.50	286.82	286.73	288.12	287.60	287.60	-	-	282.25	279.25	286.75	285.25



BIORETENTION FACILITY TYPICAL SECTION
NOT TO SCALE

	BMP #1A R-1A	BMP #1B R-1B	BMP #1C R-1C	BMP #2A R-2A	BMP #2B R-2B	BMP #2C R-2C	BMP #2D R-2D	BMP #3 R-3	BMP #4A R-4A	BMP #4B R-4B	BMP #5 R-5	BMP #6 R-6	BMP #8 R-7	BMP #9 R-8	BMP #11 R-11	BMP #13 R-2
ELEV. G TOP OF GRATE	294.65	294.65	294.65	292.15	292.00	292.32	292.23	293.12	292.60	292.60	290.21	290.98	289.00	289.25	292.30	292.50
ELEV. H WEIR CREST	293.90	293.90	293.90	291.40	291.25	289.57	291.48	292.37	291.85	291.85	289.46	290.23	287.00	284.00	291.50	290.00
ELEV. I INV. 4" U/D	289.65	289.65	289.65	287.15	287.00	287.32	287.23	288.62	288.10	288.10	285.59	286.36	282.75	279.75	287.25	285.75
ELEV. J RCCP INV. OUT	289.55	289.55	289.55	287.05	286.90	287.22	287.13	288.52	288.00	288.00	285.49	286.26	282.65	279.65	287.64	285.65
W WEIR WIDTH	1.5' ON 2 SIDES	1.5' ON 2 SIDES	1.5' ON 2 SIDES	1.5' ON 2 SIDES	2.5' ON 2 SIDES	2.0' ON 2 SIDES	1.5' ON 2 SIDES	1.5' ON 2 SIDES	1.5' ON 2 SIDES	1.5' ON 2 SIDES	3.0' ON 1 SIDE ON W	1.25' ON 2 SIDES	3' ON N & S	3' ON N & S	2 SIDES	LONG SIDE (N)
K STR. HEIGHT	5.1'	5.1'	5.1'	5.1'	5.1'	5.1'	5.1'	4.6'	4.6'	4.6'	4.72'	4.72'	6.35'	5.6'	9.66'	6.85'

RISER STRUCTURES TYPICAL SECTION
NOT TO SCALE



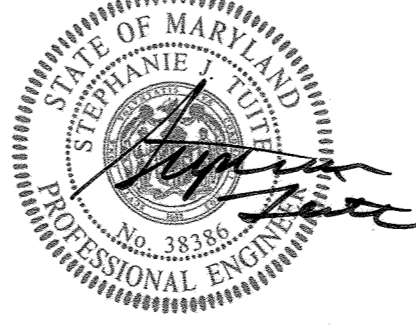
BMP #11 UNDERDRAIN PROFILE
SCALE: HORIZ. 1" = 20'
VERT. 1" = 2'

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CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
CENTENNIAL SQUARE OFFICE PARK - 10272 BALTIMORE NATIONAL PARK
ELLSWORTH CRT, MARYLAND 21042
(410) 661-2999

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Stephanie J. Tuttle
STEPHANIE J. TUTTLE, R.L.A., P.E., LEED AP BC&D
DATE: 9/17/20

APPROVED: DEPARTMENT OF PLANNING AND ZONING
Director, Department of Planning and Zoning
Date: 10/15/20
Chief, Division of Land Development
Date: 9/21/20
Chief, Development Engineering Division
Date: 9/21/20

PREPARED FOR
HOWARD COUNTY PUBLIC SCHOOL SYSTEM
9020 MENDENHALL COURT
SUITE 'C'
COLUMBIA, MARYLAND 21045
Attention: DANIEL LUBELEY
410-313-8203



PARCEL NO.	STREET ADDRESS
-	8500 RIDGELYS RUN ROAD JESSUP, MARYLAND 20794

PROJECT	SECTION/AREA	PARCEL
HIGH SCHOOL #13	N/A	102, 349, 235

PLAT NOS.	BLOCK NO.	ZONE	TAX MAP	ELEC. DIST.	CENSUS TR.
13583-13 & 19	10 & 24	R-12 RSC MXD-3 RSA-B MXD-3	42 & 43	SIXTH	606901

BIO-RETENTION DETAILS
HIGH SCHOOL #13
PARCELS 'A' THRU 'D'
ZONED: R-5C MXD-3, R-5A-B MXD-3 AND R-12
PARCEL Nos.: 102, 349, 235
TAX MAP No.: 42 & 43 GRID No.: 24 & 19
SIXTH ELECTION DISTRICT - HOWARD COUNTY, MARYLAND
SCALE: AS SHOWN
DATE: AUGUST, 2020
SHEET 68 OF 131

Table B.4.1 Materials Specifications for Micro-Bioretenion, Rain Gardens & Landscape Infiltration-

Material	Specification	Size	Notes
Plantings	see Appendix A, Table A.4	n/a	plantings are site-specific
Planting soil [2' to 4' deep]	loamy sand (60 - 65%) & compost (35 - 40%) or sandy loam (30%), coarse sand (30%) & compost (40%)	n/a	USDA soil types loamy sand or sandy loam; clay content < 5%
Organic content	Min. 10% by dry weight (ASTM D 2974)		
Mulch	shredded hardwood		aged 6 months, minimum; no pine or wood chips
Pea gravel diaphragm	pea gravel: ASTM-D-448	NO. 8 OR NO. 9 (1.8" TO 3/8")	
Curtain drain	ornamental stone: washed cobbles	stone: 2" to 5"	
Geotextile		n/a	PE Type 1 nonwoven
Gravel (underdrains and infiltration berms)	AASHTO M-43	NO. 57 OR NO. 6 AGGREGATE (3/8" to 3/4")	
Underdrain piping	F 758, Type PS 28 or AASHTO M-278	4" to 6" rigid schedule 40 PVC or SDR35	Slotted or perforated pipe; 3/8" perf. @ 6" on center, 4 holes per row; minimum of 3" of gravel over pipes; not necessary underneath pipes. Perforated pipe shall be wrapped with 1/2-inch galvanized hardware cloth
Poured in place concrete (if required)	MSHA Mix No. 3; F _c = 3500 psi @ 28 days, normal weight, air-entrained; reinforcing to meet ASTM-615-60	n/a	on-site testing of poured-in-place concrete required 28 day strength and slump test; all concrete design (cast-in-place or pre-cast) not using previously approved State or local standards requires design drawings sealed and approved by a professional structural engineer licensed in the State of Maryland - design to include meeting ACI Code 350.R.89; vertical loading [H-10 or H-20]; allowable horizontal loading (based on soil pressures); and analysis of potential cracking
Sand	AASHTO-M-6 or ASTM-C-33	0.02" to 0.04"	Sand substitutions such as Diabase and Graystone (AASHTO #10) are not acceptable. No calcium carbonated or dolomitic sand substitutions are acceptable. No "rock dust" can be used for sand.

B.4.C Specifications for Micro-Bioretenion, Rain Gardens, Landscape Infiltration & Infiltration Berms

1. Material Specifications

The allowable materials to be used in these practices are detailed in Table B.4.1.

2. Filtering Media or Planting Soil

The soil shall be a uniform mix, free of stones, stumps, roots or other similar objects larger than two inches. No other materials or substances shall be mixed or dumped within the micro-bioretenion practice that may be harmful to plant growth, or prove a hindrance to the planting or maintenance operations. The planting soil shall be free of Bermuda grass, Quackgrass, Johnson grass, or other noxious weeds as specified under COMAR 15.08.01.05.

The planting soil shall be tested and shall meet the following criteria:

- Soil Component - Loamy Sand or Sandy Loam (USDA Soil Textural Classification)
- Organic Content - Minimum 10% by dry weight (ASTM D 2974). In general, this can be met with a mixture of loamy sand (60%-65%) and compost (35% to 40%) or sandy loam (30%), coarse sand (30%), and compost (40%).
- Clay Content - Media shall have a clay content of less than 5%.
- pH Range - Should be between 5.5 - 7.0. Amendments (e.g., lime, iron sulfate plus sulfur) may be mixed into the soil to increase or decrease pH.

There shall be at least one soil test per project. Each test shall consist of both the standard soil test for pH, and additional tests of organic matter, and soluble salts. A textural analysis is required from the site stockpiled topsoil. If topsoil is imported, then a texture analysis shall be performed for each location where the topsoil was excavated.

3. Compaction

It is very important to minimize compaction of both the base of bioretention practices and the required backfill. When possible, use excavation hoes to remove original soil. If practices are

OPERATION AND MAINTENANCE SCHEDULE FOR A PRIVATELY OWNED AND MAINTAINED UNDERGROUND SWM FACILITY

1. THE UNDERGROUND STORMWATER MANAGEMENT (SWM) FACILITY IS PRIVATELY OWNED AND MAINTAINED. THE OWNER IS RESPONSIBLE FOR PERIODICALLY INSPECTING AND MAINTAINING THIS FACILITY SO THAT IT REMAINS IN GOOD WORKING ORDER AND FUNCTIONS AS INTENDED.
2. THE 72" ALCPMII SWM FACILITY (SWM #6) SHALL BE INSPECTED AT LEAST ONCE A YEAR AND AFTER MAJOR STORMS (3"/24 hours). THE INSPECTION SHALL TAKE PLACE DURING WET WEATHER (WHEN SAFE) TO DETERMINE IF FACILITY IS OPERATING AS INTENDED.
3. AT LEAST ANNUALLY, OR WHEN SEDIMENT REACHES 2" DEPTH AT ANY LOCATION, THE SEDIMENT SHALL BE FLUSHED DOWN TO STRUCTURE 5-1 AND MANUALLY REMOVED OR VACUUMED. DEBRIS THAT COULD POTENTIALLY BLOCK THE OUTFALL MUST BE REMOVED UPON DISCOVERY.
4. THE FACILITY SHALL BE IMMEDIATELY CLEANED AFTER PETROLEUM SPILLS. THE OWNER SHALL NOTIFY THE APPROPRIATE REGULATORY AGENCIES OF THE SPILL AND CLEAN-UP OPERATIONS.
5. ALL SEDIMENT/DEBRIS/OIL SHALL BE PROPERLY AND LEGALLY DISPOSED IN EITHER A LICENSED WASTE FACILITY OR A SANITARY LANDFILL. THE OUTFALL ORIFICE SHALL BE BLOCKED DURING THE CLEANING/MAINTENANCE OPERATION.
6. INSPECT STRUCTURAL COMPONENTS: ALL STRUCTURAL COMPONENTS (MANHOLES, 6" PVC TRASH RACK, AIR VENTS, STORM DRAIN CONNECTIONS, PIPE JOINTS, AND STRUCTURE 5-1) SHALL BE REPAIRED UPON DETECTION OF ANY STRUCTURAL PROBLEMS (e.g., CRACKING, LEAKING, ETC.).

GENERAL STORMWATER MANAGEMENT NOTES

1. STORMWATER MANAGEMENT HAS BEEN PROVIDED WITH FIVE (7) BIORETENTION FACILITIES AND ONE (1) PIPE STORAGE FACILITY. PLEASE REFER TO THE SWM REPORT PREPARED BY FISHER, COLLINS, & CARTER, INC. DATED OCTOBER 16, 2015.
2. ALL CONSTRUCTION SHALL MEET THE LATEST EDITION OF THE HOWARD COUNTY STANDARDS AND SPECIFICATIONS, AND THE MARYLAND DEPARTMENT OF THE ENVIRONMENT'S CURRENT STORMWATER DESIGN MANUAL, OR AS SHOWN ON THESE PLANS. THE CONTRACTOR SHALL CONSULT THE ENGINEER SHOULD THERE BE ANY DISCREPANCIES. SEE BIORETENTION FACILITY SPECIFICATIONS ON THIS SHEET.
3. THE UTILITY LOCATIONS ARE APPROXIMATE. CONTRACTOR SHALL TEST PIT ALL KNOWN EXISTING UTILITIES TO VERIFY, SIZE, SHAPE, LOCATION, AND TYPE PRIOR TO PERFORMING CONSTRUCTION. ANY UTILITY DAMAGED DUE TO CONSTRUCTION MUST BE REPAIRED IMMEDIATELY.
4. SHOULD THE CONTRACTOR DISCOVER DISCREPANCIES BETWEEN THE PLANS AND FIELD CONDITIONS, THE CONSTRUCTION MANAGER IS TO BE NOTIFIED IMMEDIATELY TO RESOLVE THE SITUATION. IF THE CONTRACTOR MAKES FIELD CORRECTIONS OR ADJUSTMENTS WITHOUT NOTIFYING THE CONSTRUCTION MANAGER, THEN THE CONTRACTOR ASSUMES ALL RESPONSIBILITY FOR THOSE CHANGES.
5. CONTRACTOR SHALL NOTIFY MISS UTILITY 1-800-257-7777 AND THE HOWARD COUNTY DEPARTMENT OF INSPECTION LICENSES & PERMITS THREE (3) WORKING DAYS BEFORE BEGINNING CONSTRUCTION.
6. FISHER, COLLINS & CARTER, INC. IS NOT RESPONSIBLE FOR THE CONTRACTOR'S UTILIZATION OF MEN, MATERIALS, EQUIPMENT, OR SAFETY MEASURES IN THE PERFORMANCE OF ANY WORK FOR THIS PROJECT. THE CONTRACTOR ASSUMES ALL RESPONSIBILITY FOR PERFORMING THE WORK CORRECTLY AND IN CONFORMANCE WITH CODE/SPECIFICATION REQUIREMENTS.
7. THE BIORETENTION FACILITIES MAY BE GRADED, HOWEVER, THE TRENCH MATERIAL (PLANTING SOIL, AGGREGATE, PIPE, GEOTEXTILE) SHALL NOT BE INSTALLED UNTIL ALL UPSTREAM AREAS HAVE BEEN STABILIZED (I.E., THICK GRASS COVER, OR PAVED).
8. ALL STORMWATER MANAGEMENT FACILITIES FOR THIS PROJECT WILL BE PRIVATELY OWNED AND MAINTAINED BY THE HOWARD COUNTY PUBLIC SCHOOL SYSTEM.

BMP BIORETENTION FACILITY NOTES AND SPECIFICATIONS

BMPs #13-c, 2a-d, 3, 4&8, 8, 9, 11, 13
BMP #12 (as applicable)

1. REFER TO THE LATEST MARYLAND SWM DESIGN MANUAL FOR BIORETENTION SPECIFICATIONS FOR INFORMATION NOT LISTED HEREIN AND FOR ADDITIONAL INFORMATION.
2. THE BIORETENTION BMP MATERIALS ARE AS FOLLOWS:
 - PLANTING SOIL: PER PLANTING SOIL SPECIFICATIONS OUTLINED IN MDE'S 2000 SWM MANUAL, APPENDIX B.4. DO NOT MECHANICALLY COMPACT PLANTING SOIL, BUT CAN BE "WATERED" TO FACILITATE SETTLING.
 - PVC UNDERDRAIN PIPE OUTSIDE BMP: SCHEDULE 40, SOLID PIPE WITH MINIMUM SLOPE OF 0.5% OR AS PER PLAN.
 - PVC UNDERDRAIN IN BIORETENTION BMPs: 4" SCHEDULE 40 (6" DIAMETER IN BMP #12) AND PERFORATED WITH 1/2" # HOLES. WRAP UNDERDRAIN WITH GALVANIZED 1/4" HARDWARE CLOTH (WELDED WIRE MESH). PROVIDE 4 - 0.5" # HOLES EVENLY SPACED AROUND THE PIPE CIRCUMFERENCE. SPACE PERFORATIONS ALONG PIPE AT 6" ON CENTER. ADJACENT SETS OF PERFORATIONS SHALL BE STAGGERED AT 45°. PERFORATION AREA MUST TOTAL 1.57 sq. inch MIN. PER LF OF PIPE.
 - STONE AGGREGATE: MSHA SPECIFICATIONS AS SHOWN ON TYPICAL SECTION; AGGREGATE MUST WASHED, AND BE FREE OF FINES, SAND, DIRT & DEBRIS.
 - GEOTEXTILE: PER MDE SWM MANUAL APPENDIX B.4.1.
 - MULCH: SHREDDDED, WELL-AGED (6-12 MONTHS) HARDWOOD MULCH; NO WOOD CHIPS OR PINE MULCH.
3. THE CONTRACTOR SHALL UNDER NO CIRCUMSTANCES ALLOW SURFACE DRAINAGE INTO THE BMPs UNTIL ALL UPSTREAM AREAS HAVE BEEN STABILIZED (I.E., PAVED, OR HAVE WELL-ESTABLISHED VEGETATION).
4. BOARDS SHALL NOT BE LEFT IN PLACE DURING THE CONSTRUCTION OF THE BIORETENTION BMP.
5. GEOTEXTILE (FILTER FABRIC) SHALL BE PLACED AGAINST EXCAVATED VERTICAL SURFACES. SCARIFY EARTH PRIOR TO GEOTEXTILE PLACEMENT. INSTALL GEOTEXTILE PER MANUFACTURER'S SPECIFICATIONS/RECOMMENDATIONS AND USE A 2 FT MINIMUM OVERLAP AND NOTCH ENDS WITH A 6" MINIMUM BURY OR EQUIVALENT ANCHORING METHOD.
6. THE CONTRACTOR SHALL PROVIDE TO THE OWNER INDEPENDENT CERTIFICATION THAT THE PLANTING SOILS AND OTHER BIORETENTION MATERIALS MEET THE SPECIFICATIONS.
7. THE BIORETENTION FACILITIES SHALL BE VEGETATED (TOP LEVEL SURFACE ONLY) WITH TURF GRASS OR PER THE PLANTING PLAN. SEE TYPICAL BMP TYPICAL SECTION.
8. INSTALL CLEANOUTS (SOLID PVC PIPE) AND OVER DRAINS AS SHOWN. THE CLEANOUT TOP SHALL EXTEND 3" ABOVE TOP OF MULCH.
10. THE LIMIT OF THE TYPICAL SECTION (I.E., PLANTING SOIL, AGGREGATE, ETC.) IS THE ENTIRE LEVEL SURFACE OF THE BIORETENTION FACILITY EXCLUDING RIPRAP AREAS.
11. EARTH EMBANKMENTS SHALL BE CONSTRUCTED TO MD 370 SPECIFICATIONS WITH RESPECT TO SOIL TYPES, COMPACTION, AND SITE PREPARATION. THE EMBANKMENT SHALL BE IMMEDIATELY STABILIZED AFTER CONSTRUCTION.

OPERATION AND MAINTENANCE SCHEDULE FOR BIORETENTION BMPs #1 -#7

THE BIORETENTION FACILITIES SHALL BE INSPECTED AT LEAST TWICE PER YEAR (ONCE EACH IN THE SPRING AND FALL) AND AFTER HEAVY STORMS. THE OWNER IS RESPONSIBLE FOR MAINTAINING A DETAILED LOG OF THE MAINTENANCE INSPECTION FINDINGS AND A HISTORY OF THE COMPLETED WORK. THE LOG SHALL BE MADE AVAILABLE TO HOWARD COUNTY DPZ AND/OR THE MARYLAND DEPARTMENT OF THE ENVIRONMENT UPON REQUEST.

BIORETENTION FACILITY COMPONENTS TO BE INSPECTED AND MAINTAINED INCLUDE THE ITEMS AS FOLLOWS:

1. PLANT MATERIAL: PLANTS SHALL BE CHECKED FOR DISEASE AND INSECT INFESTATION. REMOVE AND REPLACE DEAD OR DYING VEGETATION CONSIDERED BEYOND TREATMENT (SEE NOTE BELOW). MAINTENANCE ALSO INCLUDES PRUNING AND REPLACEMENT OF DEFICIENT STAKES AND WIRE.
2. MULCH LAYER: SHALL BE REPLACED ONCE EVERY SPRING DUE TO THE HEAVY METALS GENERATED FROM THE PARKING LOT. THE OWNER SHALL PROPERLY DISPOSE OF THE OLD MULCH SO AS NOT TO CAUSE STORMWATER CONTAMINATION ELSEWHERE. WASHED OUT AREAS SHALL BE REPAIRED AS NECESSARY.
3. SOIL LAYER: SHOULD STORMWATER POND FOR MORE THAN 24 HOURS, THE TOP 6 INCHES (MINIMUM) OF THE SOIL LAYER SHALL BE REMOVED AND REPLACED. THE OLD SOILS SHALL BE PROPERLY DISPOSED OF.
4. SPILLWAY OUTFALL: INTERIOR SLOPES: ERODED AREAS SHALL BE REPAIRED (FILLED IN AND SEEDDED) AS NEEDED. BARE AREAS SHALL BE TREATED AND RE-SEEDDED.
5. INLET: REPAIR CRACKS, DAMAGED CONCRETE, ETC. AS NECESSARY.
6. REMOVE AND PROPERLY DISPOSE ACCUMULATED SEDIMENT GREATER THAN ONE (1) INCH.

NOTES:

1. IF SPECIFIC PLANTS ARE NOT SURVIVING, THE PLANT TYPE SHOULD CHANGED TO BETTER SUITED SPECIES.
2. PLANT WATERING IS REQUIRED DURING PROLONGED DRY PERIODS.

SWM #10 (96" PIPE) NOTES AND SPECIFICATION REFERENCES

1. THE 96" ALCPMII PIPES (14 GA. WITH 3"X1" CORRUGATIONS) TO BE MANUFACTURED BY CONTECH ENGINEERED SOLUTIONS, LLC. CONSTRUCTION SHALL FOLLOW MANUFACTURER'S SPECIFICATIONS AND RECOMMENDATIONS.
2. THE ALUMINIZED STEEL COILS SHALL CONFORM TO THE APPLICABLE REQUIREMENTS OF ASHTO M274 OR ASTM 929. THE CSP SHALL BE MANUFACTURED PER THE APPLICABLE REQUIREMENTS OF ASHTO M36 OR ASTM A760.
3. PROVIDE AGGREGATE PIPE BEDDING AS SHOWN ON THIS SHEET.
4. MANHOLES TO BE 36" ALCPMII, WITH WELDED STEPS/RINGS PER CONTECH SPECIFICATIONS.
5. CONTRACTOR SHALL SUBMIT SWM #6 SHOP DRAWINGS FOR REVIEW.
6. FOUNDATION/BEDDING PREPARATION
 - PRIOR TO PLACING THE BEDDING, THE FOUNDATION MUST BE CONSTRUCTED TO A UNIFORM AND STABLE GRADE. IN THE EVENT THAT UNSUITABLE FOUNDATION MATERIALS ARE ENCOUNTERED DURING EXCAVATION, THEY SHALL BE REMOVED AND BROUGHT BACK TO THE GRADE WITH A FILL MATERIAL AS APPROVED BY THE ON-SITE GEOTECHNICAL ENGINEER. ONCE THE FOUNDATION PREPARATION IS COMPLETE, 6" MINIMUM OF THE WELL-GRADED GRANULAR MATERIAL SHALL BE PLACED AS THE BEDDING AS SHOWN.
7. BACKFILL
 - THE BACKFILL SHALL BE AN A1, A2 OR A3 GRANULAR FILL PER ASHTO M145, OR A WELL-GRADED GRANULAR FILL AS APPROVED BY THE SITE GEOTECHNICAL ENGINEER. THE MATERIAL SHALL BE PLACED IN 8" LOOSE LIFTS AND COMPACTED TO 90% ASHTO T-99 STANDARD PROCTOR DENSITY. WHEN PLACING THE FIRST LIFTS OF BACKFILL IT IS IMPORTANT TO MAKE SURE THAT THE BACKFILL IS PROPERLY COMPACTED UNDER AND AROUND THE PIPE HAUNCHES. BACKFILL SHALL BE PLACED SUCH THAT THERE IS NO MORE THAN A TWO LIFT (1FT) DIFFERENTIAL BETWEEN ANY OF THE PIPES AT ANY TIME DURING THE BACKFILL PROCESS. THE BACKFILL SHALL BE ADVANCED ALONG THE LENGTH OF THE DETENTION SYSTEM AT THE SAME RATE TO AVOID DIFFERENTIAL LOADING ON THE PIPE. OTHER ALTERNATE BACKFILL MATERIAL MAY BE ALLOWED DEPENDING ON SITE SPECIFIC CONDITIONS, AS APPROVED BY SITE GEOTECHNICAL ENGINEER.
8. HANDLING AND ASSEMBLY: SHALL BE IN ACCORDANCE WITH RECOMMENDATIONS OF THE NATIONAL CORRUGATED STEEL PIPE ASSOCIATION (NCSA).
9. INSTALLATION: SHALL BE IN ACCORDANCE WITH ASHTO STANDARD SPECIFICATIONS FOR HIGHWAY BRIDGES, SECTION 26, DIVISION II OR ASTM A798 AND IN CONFORMANCE WITH THE PROJECT PLANS AND SPECIFICATIONS. IF THERE ARE ANY INCONSISTENCIES OR CONFLICTS, THE CONTRACTOR SHOULD DISCUSS AND RESOLVE WITH THE SITE ENGINEER. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO FOLLOW OSHA GUIDELINES FOR SAFE PRACTICES.

excavated using a loader, the contractor should use wide track or marsh track equipment, or light equipment with turf type tires. Use of equipment with narrow tracks or narrow tires, rubber tires with large lugs, or high-pressure tires will cause excessive compaction resulting in reduced infiltration rates and is not acceptable. Compaction will significantly contribute to design failure.

Compaction can be alleviated at the base of the bioretention facility by using a primary tilling operation such as a chisel plow, ripper, or subsoiler. These tilling operations are to refracture the soil profile through the 12 inch compaction zone. Substitute methods must be approved by the engineer. Rototillers typically do not till deep enough to reduce the effects of compaction from heavy equipment.

Rototill 2 to 3 inches of sand into the base of the bioretention facility before backfilling the optional sand layer. Pump any ponded water before preparing (rototilling) base.

When backfilling the topsoil over the sand layer, first place 3 to 4 inches of topsoil over the sand, then rototill the sand/topsoil to create a gradation zone. Backfill the remainder of the topsoil to final grade.

When backfilling the bioretention facility, place soil in lifts 12" to 18". Do not use heavy equipment within the bioretention basin. Heavy equipment can be used around the perimeter of the basin to supply soils and sand. Grade bioretention materials with light equipment such as a compact loader or a dozer/loader with marsh tracks.

4. Plant Material

Recommended plant material for micro-bioretenion practices can be found in Appendix A, Section A.2.3.

5. Plant Installation

Compost is a better organic material source, is less likely to float, and should be placed in the invert and other low areas. Mulch should be placed in surrounding to a uniform thickness of 2" to 3". Shredded or chipped hardwood mulch is the only accepted mulch. Pine mulch and wood chips will float and move to the perimeter of the bioretention area during a storm event and are not acceptable. Shredded mulch must be well aged (6 to 12 months) for acceptance.

Rootstock of the plant material shall be kept moist during transport and on-site storage. The plant root ball should be planted so 1/8" of the ball is above final grade surface. The diameter of the planting pit shall be at least six inches larger than the diameter of the planting ball. Set and maintain the plant straight during the entire planting process. Thoroughly water ground bed cover after installation.

Trees shall be braced using 2" by 2" stakes only as necessary and for the first growing season only. Stakes are to be equally spaced on the outside of the tree ball.

Grasses and legume seed should be drilled into the soil to a depth of at least one inch. Grass and legume plugs shall be planted following the non-grass ground cover planting specifications.

The topsoil specifications provide enough organic material to adequately supply nutrients from natural cycling. The primary function of the bioretention structure is to improve water quality. Adding fertilizers defeats, or at a minimum, impedes this goal. Only add fertilizer if wood chips or mulch are used to amend the soil. Rototill urea fertilizer at a rate of 2 pounds per 1000 square feet.

6. Underdrains

Underdrains should meet the following criteria:

- Pipe- Should be 4" to 6" diameter, slotted or perforated rigid plastic pipe (ASTMF 758, Type PS 28, or AASHTO-M-278) in a gravel layer. The preferred material is slotted, 4" rigid pipe (e.g., PVC or HDPE).
- Perforations - If perforated pipe is used, perforations should be 3/8" diameter located 6" on center with a minimum of four holes per row. Pipe shall be wrapped with a 1/2" (No. 4 or 4x4) galvanized hardware cloth.
- Gravel - The gravel layer (No. 57 stone preferred) shall be at least 3" thick above and below the underdrain.
- The main collector pipe shall be at a minimum 0.5% slope.
- A rigid, non-perforated observation well must be provided (one per every 1,000 square feet) to provide a clean-out port and monitor performance of the filter.
- A 4" layer of pea gravel (1/2" to 3/8" stone) shall be located between the filter media and underdrain to prevent migration of fines into the underdrain. This layer may be considered part of the filter bed when bed thickness exceeds 24".

The main collector pipe for underdrain systems shall be constructed at a minimum slope of 0.5%. Observation wells and/or clean-out pipes must be provided (one minimum per every 1000 square feet of surface area).

7. Miscellaneous

These practices may not be constructed until all contributing drainage area has been stabilized

FISHER, COLLINS & CARTER, INC.
CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
CENTRAL SQUARE OFFICE: P.O. BOX 10272, BALTIMORE NATIONAL PLACE
ELLSWORTH CITY, MARYLAND 21142
(410) 461-2999

ENGINEER'S CERTIFICATE
"I HEREBY CERTIFY THAT THIS PLAN HAS BEEN DESIGNED IN ACCORDANCE WITH THE CURRENT MARYLAND EROSION AND SEDIMENT CONTROL LAWS, REGULATIONS, AND STANDARDS REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE, AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT."
STEPHAN LITE, R.L.A. P.E., LEED AP BC&O
8/17/20
DATE

DEVELOPER'S CERTIFICATE
"I/WE HEREBY CERTIFY THAT ANY CLEARING, GRADING, CONSTRUCTION, OR DEVELOPMENT WILL BE DONE PURSUANT TO THIS APPROVED EROSION AND SEDIMENT CONTROL PLAN, INCLUDING INSPECTING AND MAINTAINING CONTROLS, AND THAT THE RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF TRAINING AT A MARYLAND DEPARTMENT OF THE ENVIRONMENT (MDE) APPROVED TRAINING PROGRAM FOR THE CONTROL OF EROSION AND SEDIMENT PRIOR TO BEGINNING THE PROJECT. I CERTIFY RIGHT OF ENTRY FOR PERIODIC ON-SITE EVALUATION BY HOWARD COUNTY, THE HOWARD SOIL CONSERVATION DISTRICT AND/OR MDE."
JAMES HULLY
8-19-2020
DATE

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STEPHAN LITE, R.L.A. P.E., LEED AP BC&O
8/17/20
DATE

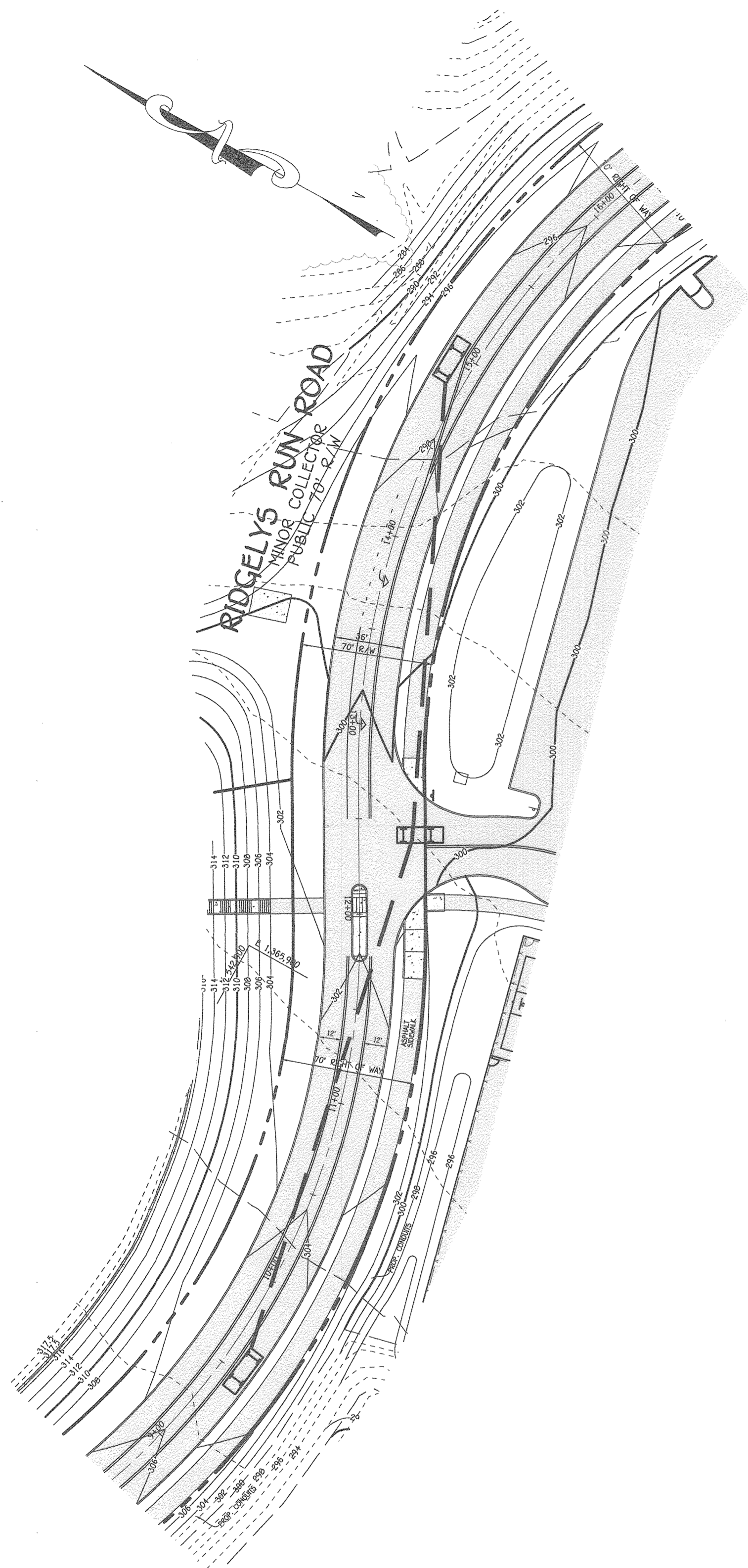
APPROVED: DEPARTMENT OF PLANNING AND ZONING
Director - Department of Planning and Zoning
10/5/20
DATE
Chief, Development Engineering Division
9
DATE

PREPARED FOR
HOWARD COUNTY PUBLIC SCHOOL SYSTEM
9020 MENDENHALL COURT
SUITE 'C'
COLUMBIA, MARYLAND 21045
Attention: DANIEL LUBELEY
410-313-8203

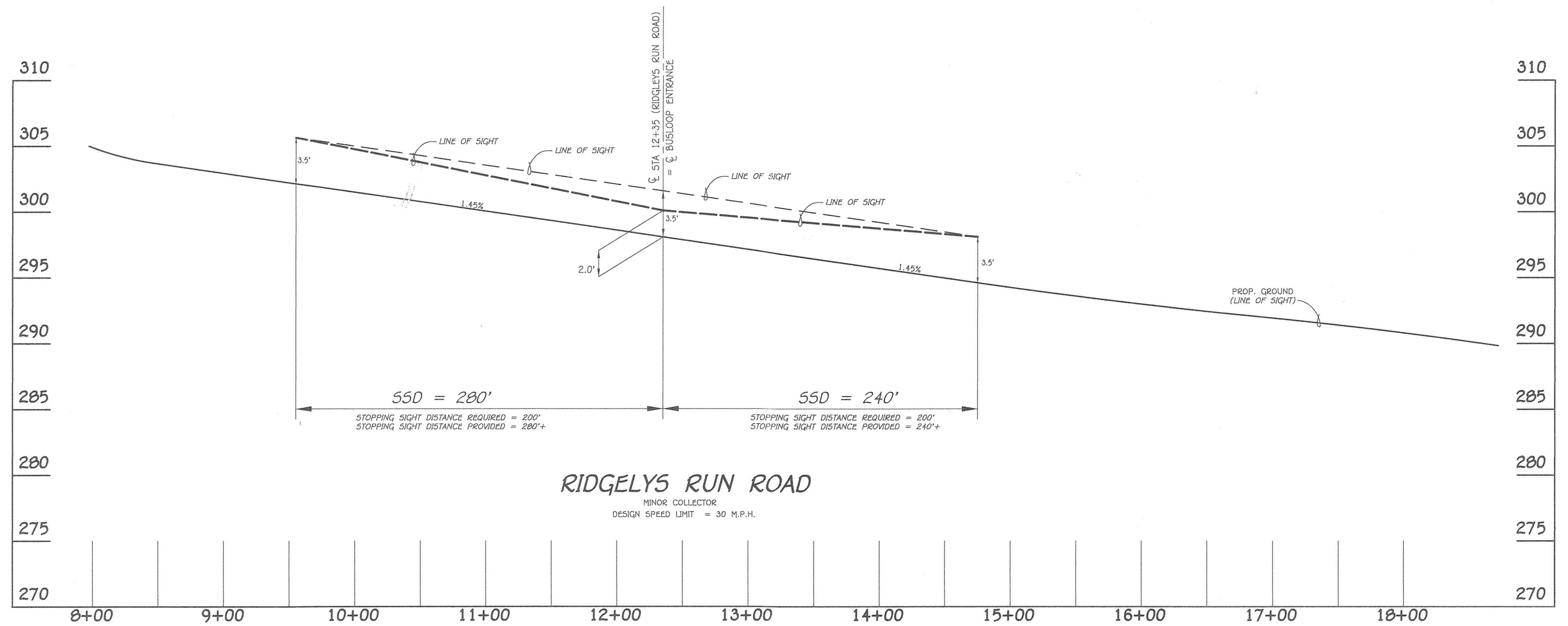
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PARCEL NO. STREET ADDRESS
- 8500 RIDGELYS RUN ROAD
JESSUP, MARYLAND 20794

PROJECT: HIGH SCHOOL #13
SECTION/AREA: 102, 349, 235
PARCEL: 102, 349, 235
PLAT NOS.: 85628, 85532
BLOCK NO.: 18 & 24, 13 & 19
ZONE: RSC MXD-3, R5A-B MXD-3
TAX MAP: 42 & 43
ELEC. DIST.: SIXTH
CENSUS TR.: 606901
SEWER CODE: - - - -

BIO-RETENTION NOTES
HIGH SCHOOL #13 PARCELS 'A' THRU 'D'
ZONED: R-SC MXD-3, R-5A-B MXD-3 AND R-12
PARCEL Nos.: 102, 349, 235
TAX MAP No.: 42 & 43 GRID No.: 24 & 19
SIXTH ELECTION DISTRICT HOWARD COUNTY, MARYLAND
SCALE: AS SHOWN DATE: AUGUST, 2020
SHEET 69 OF 131



PLAN
SCALE: 1" = 50'



PROFILE
SCALE: HORIZ. : 1" = 50'
VERT. : 1" = 5'
SCALE: 1" = 50'

FISHER, COLLINS & CARTER, INC.
CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
CENTENNIAL SQUARE OFFICE PARK - 10272 BALTIMORE NATIONAL PIKE
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(410) 481-2955

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Stephanie J. Tuite
STEPHANIE J. TUITE, RLA, P.E., LEED AP BC&D
DATE: 8/17/20

DATE	DESCRIPTION
	REVISION BLOCK
APPROVED: DEPARTMENT OF PLANNING AND ZONING	
Director	10/5/20 Date
Chief, Division of Land Development	coltra Date
Chief, Development Engineering Division	8/26/20 Date

PREPARED FOR
HOWARD COUNTY PUBLIC SCHOOL SYSTEM
9020 MENDENHALL COURT
SUITE 'C'
COLUMBIA, MARYLAND 21045
Attention: DANIEL LUBELEY
410-313-8203



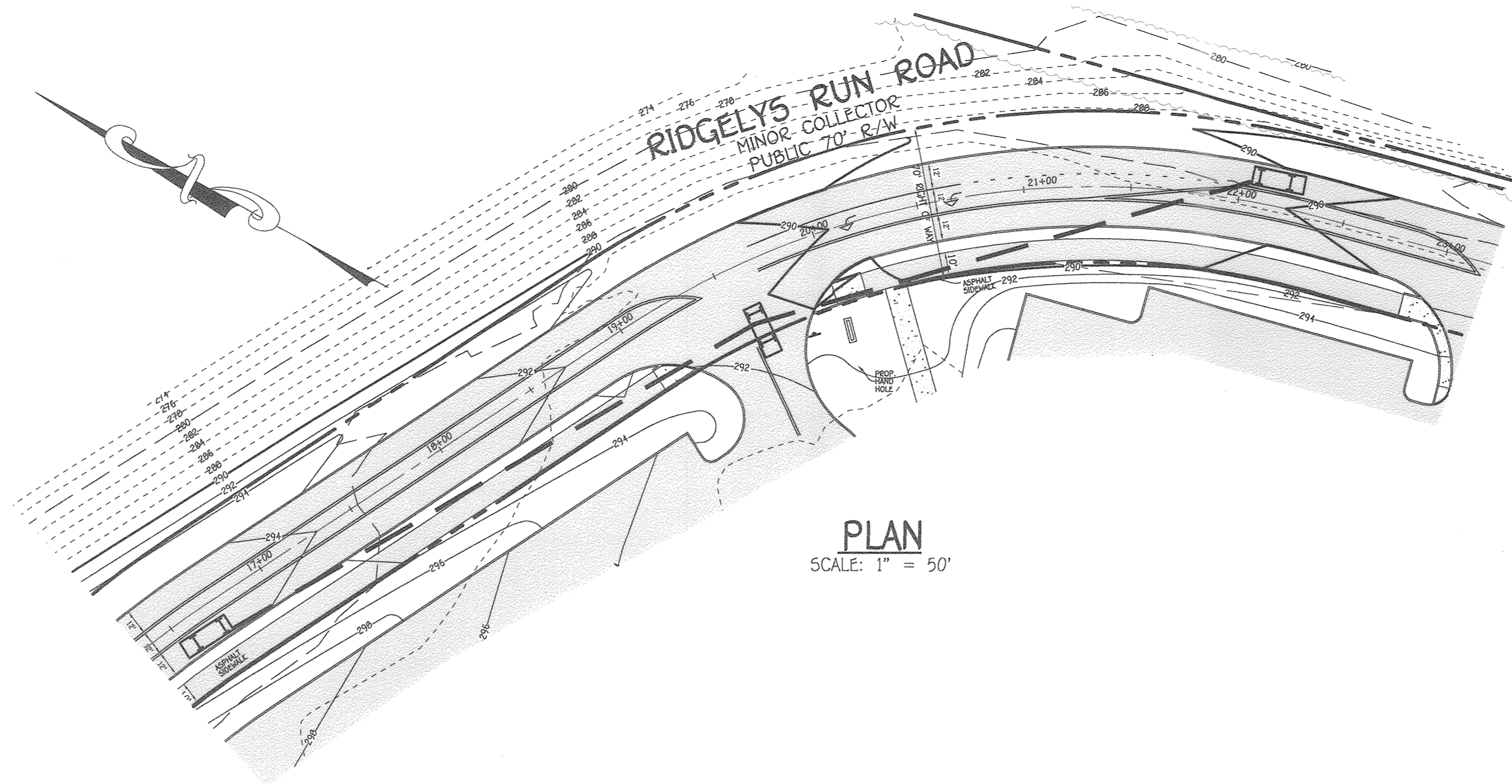
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PARCEL NO.	STREET ADDRESS				
-	8500 RIDGELYS RUN ROAD JESSUP, MARYLAND 20794				
PROJECT	SECTION/AREA	PARCEL			
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PLAT NOS.	BLOCK NO.	ZONE	TAX MAP	ELEC. DIST.	CENSUS TR.
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28532	13 & 19	RSC MXD-3	42 & 43	SIXTH	606901
		RSA-B MXD-3			
WATER CODE	SEWER CODE				
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STOPPING AND INTERSECTION SIGHT DISTANCE ROAD A STA 12+35

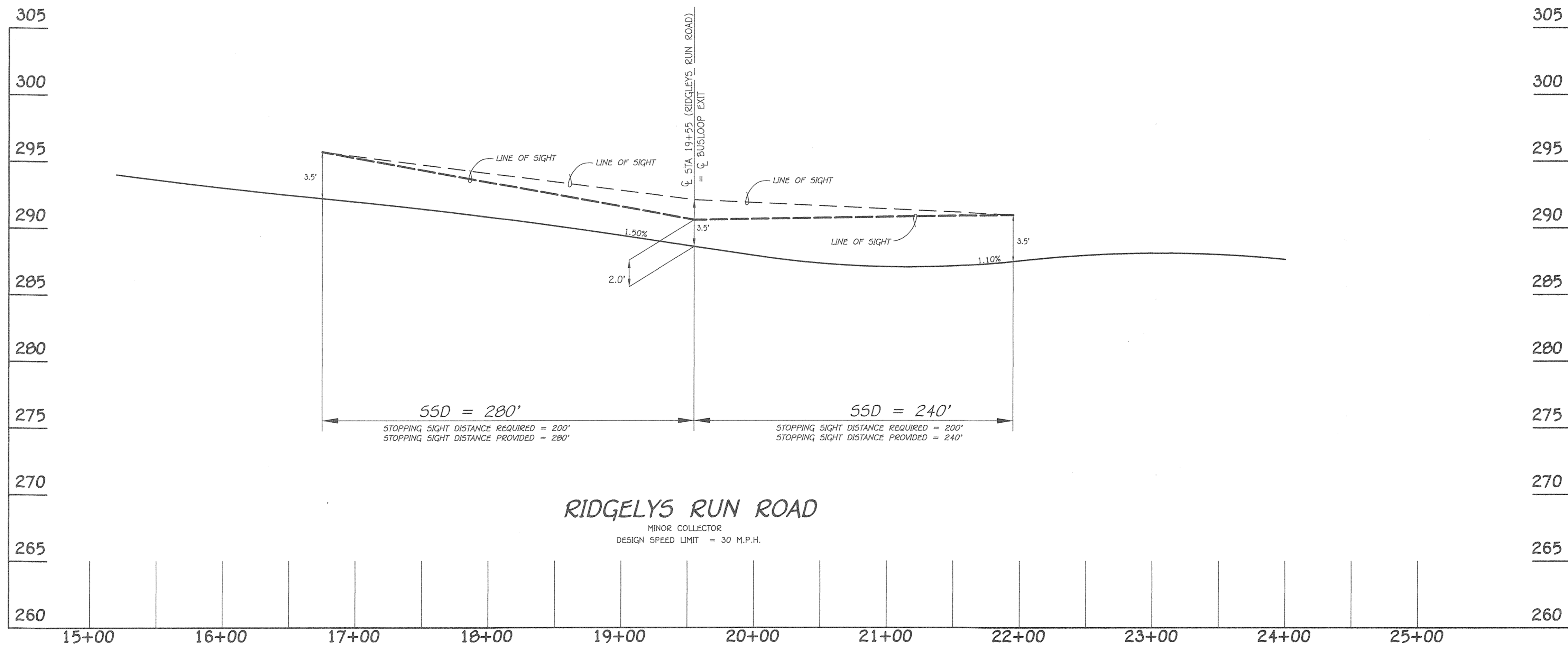
**HIGH SCHOOL #13
PARCELS 'A' THRU 'D'**

ZONED: R-5C MXD-3, R-SA-8 MXD-3 AND R-12
PARCEL Nos.: 102, 349, 235
TAX MAP No.: 42 & 43 GRID No.: 24 & 19
SIXTH ELECTION DISTRICT HOWARD COUNTY, MARYLAND
SCALE: AS SHOWN DATE: AUGUST, 2020
SHEET 70 OF 131

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PLAN
SCALE: 1" = 50'



RIDGELY'S RUN ROAD
MINOR COLLECTOR
DESIGN SPEED LIMIT = 30 M.P.H.

PROFILE
SCALE: HORIZ. : 1" = 50'
VERT. : 1" = 5'

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Stephanie J. Luite
STEPHANIE J. LUIE, R.L.A., P.E., LEED AP BC&D
9/17/20
DATE

DATE	DESCRIPTION
	REVISION BLOCK
APPROVED: DEPARTMENT OF PLANNING AND ZONING	
<i>W. G. Goss</i> Director, Department of Planning and Zoning 10/5/20 Date	
<i>W. G. Goss</i> Chief, Division of Land Development 10/15/20 Date	
<i>W. G. Goss</i> Chief, Development Engineering Division 8/28/20 Date	

PREPARED FOR
HOWARD COUNTY PUBLIC SCHOOL SYSTEM
9020 MENDENHALL COURT
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COLUMBIA, MARYLAND 21045
Attention: DANIEL LUBELEY
410-313-8203



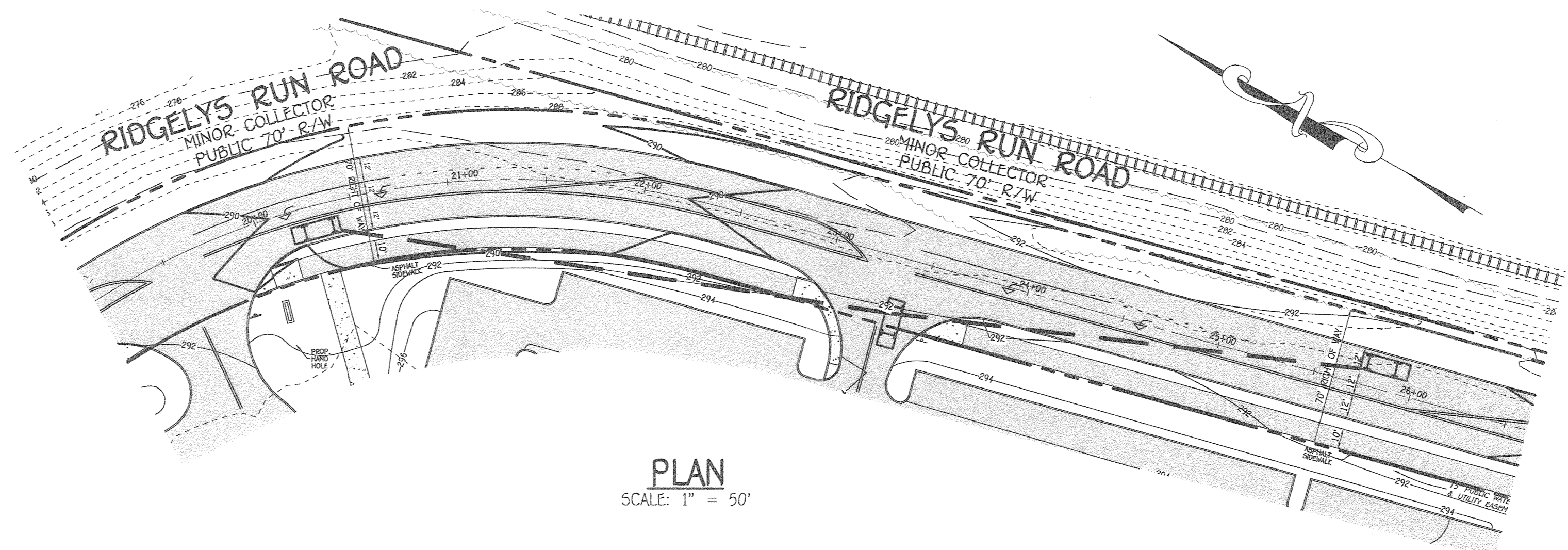
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PARCEL NO.	STREET ADDRESS		
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	JESSUP, MARYLAND 20794		
PROJECT	SECTION/AREA	PARCEL	
HIGH SCHOOL #13	N/A	102, 349, 235	
PLAT NOS.	BLOCK NO.	ZONE	TAX MAP
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ELEC. DIST.		CENSUS TR.	
SIXTH		606901	
WATER CODE		SEWER CODE	
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STOPPING AND INTERSECTION SIGHT DISTANCE ROAD A STA 19+55

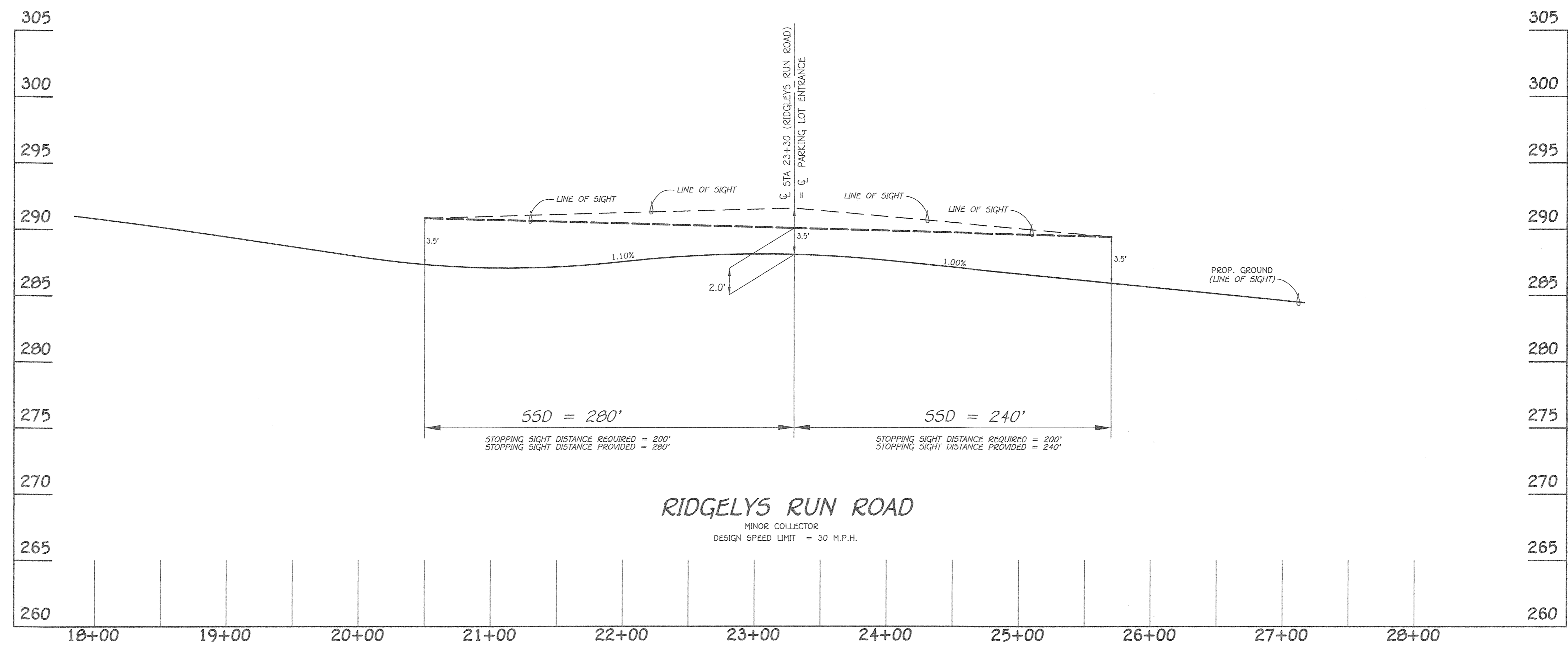
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PARCELS 'A' THRU 'D'

ZONED: R-SC MXD-3, R-SA-0 MXD-3 AND R-12
PARCEL Nos.: 102, 349, 235
TAX MAP No.: 42 & 43 GRID No.: 24 & 19
SIXTH ELECTION DISTRICT HOWARD COUNTY, MARYLAND
SCALE: AS SHOWN DATE: AUGUST, 2020
SHEET 71 OF 131

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PLAN
SCALE: 1" = 50'



RIDGELYS RUN ROAD
MINOR COLLECTOR
DESIGN SPEED LIMIT = 30 M.P.H.

PROFILE
SCALE: HORIZ. : 1" = 50'
VERT. : 1" = 5'

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CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
CENTENNIAL SQUARE OFFICE PARK - 10272 BALTIMORE NATIONAL PIKE
ELLSWORTH CITY, MARYLAND 21045
(410) 461-2895

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Stephanie J. Tuite
STEPHANIE J. TUITE, R.L.A., P.E., LEED AP BC&D
8/9/20
DATE

DATE	DESCRIPTION
	REVISION BLOCK
APPROVED: DEPARTMENT OF PLANNING AND ZONING	
<i>John Gorn</i> Director, Department of Planning and Zoning 10/5/20 Date	
<i>Stephanie J. Tuite</i> Chief, Division of Land Development 10/5/20 Date	
<i>W. Blank</i> Chief, Development Engineering Division 8/26/20 Date	

PREPARED FOR
HOWARD COUNTY PUBLIC SCHOOL SYSTEM
9020 MENDENHALL COURT
SUITE 'C'
COLUMBIA, MARYLAND 21045
Attention: DANIEL LUBELEY
410-313-8203



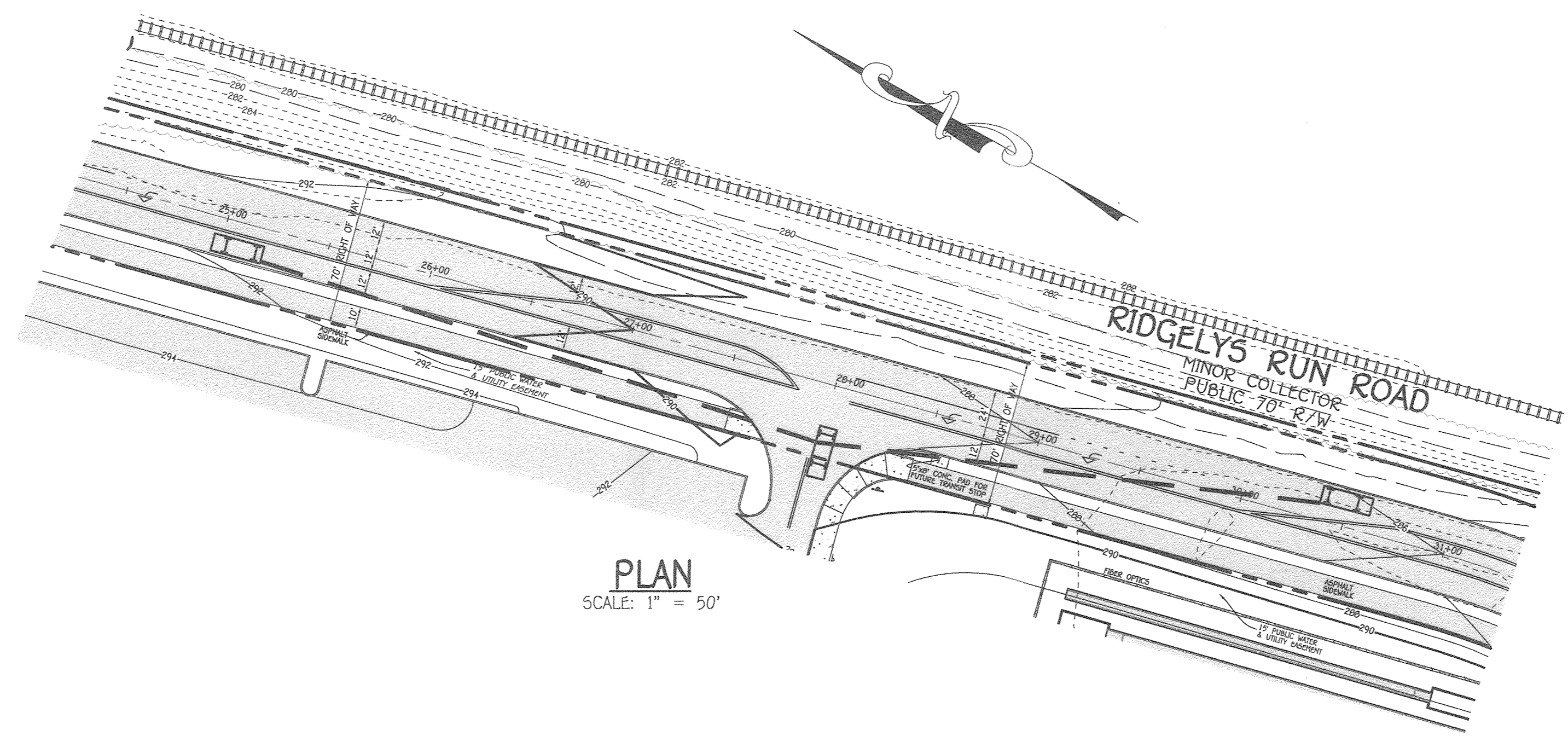
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PARCEL NO.	STREET ADDRESS		
-	8500 RIDGELYS RUN ROAD		
-	JESSUP, MARYLAND 20794		
PROJECT	SECTION/AREA	PARCEL	
HIGH SCHOOL #13	N/A	102, 349, 235	
PLAT NOS.	BLOCK NO.	ZONE	TAX MAP
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ELEC. DIST.		CENSUS TR.	
SIXTH		606901	
WATER CODE		SEWER CODE	
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STOPPING AND INTERSECTION SIGHT DISTANCE ROAD A STA 22+90

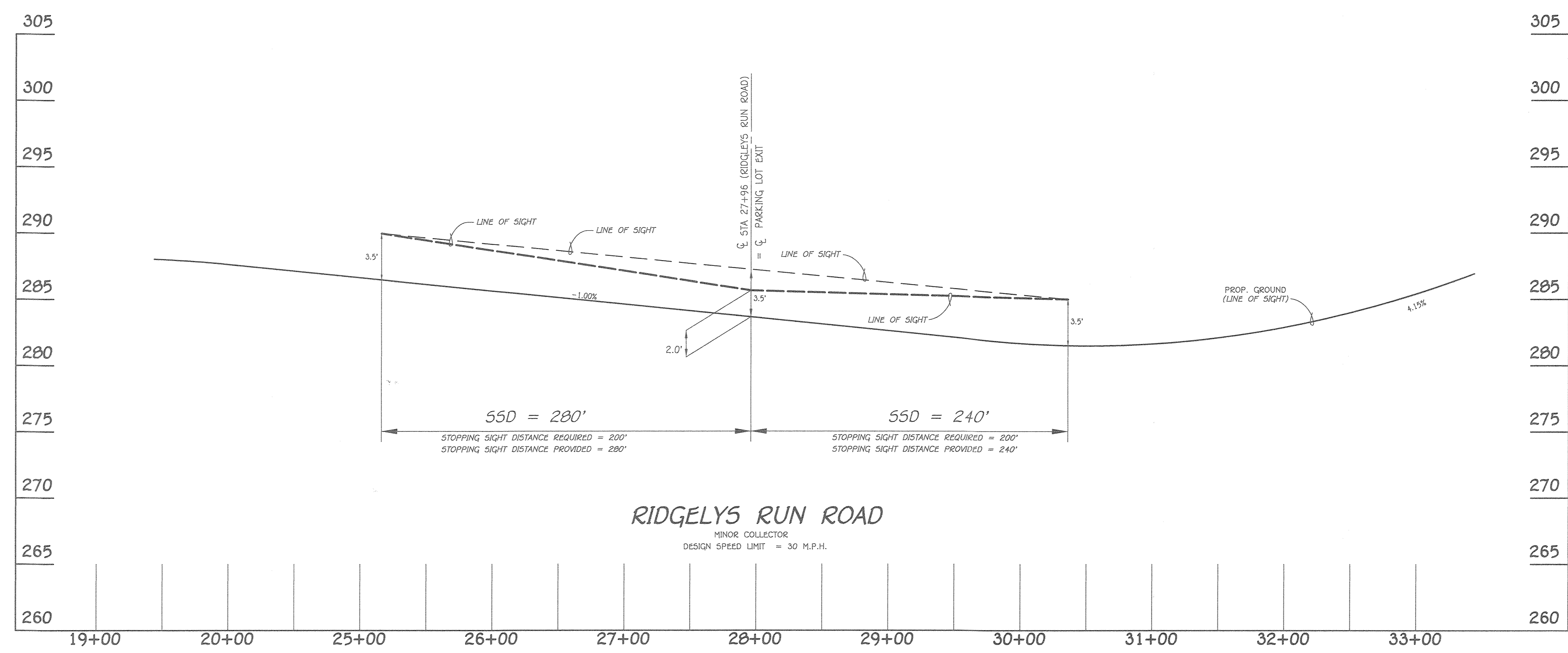
HIGH SCHOOL #13
PARCELS 'A' THRU 'D'

ZONED: R-SC MXD-3, R-SA-8 MXD-3 AND R-12
PARCEL Nos.: 102, 349, 235
TAX MAP No.: 42 & 43 GRID No.: 24 & 19
SIXTH ELECTION DISTRICT HOWARD COUNTY, MARYLAND
SCALE: AS SHOWN DATE: AUGUST, 2020
SHEET 72 OF 131

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PLAN
SCALE: 1" = 50'



PROFILE
SCALE: HORIZ. : 1" = 50'
VERT. : 1" = 5'

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CENTENNIAL SQUARE OFFICE PARK - 10772 BALTIMORE NATIONAL PIKE
ELICOTT CITY, MARYLAND 21046
(410) 481-2855

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Stephanie Tuite
STEPHANIE TUITE, RLA, P.E., LEED AP BC&D
8/11/20
DATE

DATE	DESCRIPTION	REVISION BLOCK
10/5/20		
10/5/20		
8/28/20		

APPROVED: DEPARTMENT OF PLANNING AND ZONING
Director - Department of Planning and Zoning
Chief, Division of Land and Development
Chief, Development Engineering Division

PREPARED FOR
HOWARD COUNTY PUBLIC SCHOOL SYSTEM
9020 MENDENHALL COURT
SUITE 'C'
COLUMBIA, MARYLAND 21045
Attention: DANIEL LUBELEY
410-313-8203



ADDRESS CHART	
PARCEL NO.	STREET ADDRESS
-	8500 RIDGELYS RUN ROAD JESSUP, MARYLAND 20794

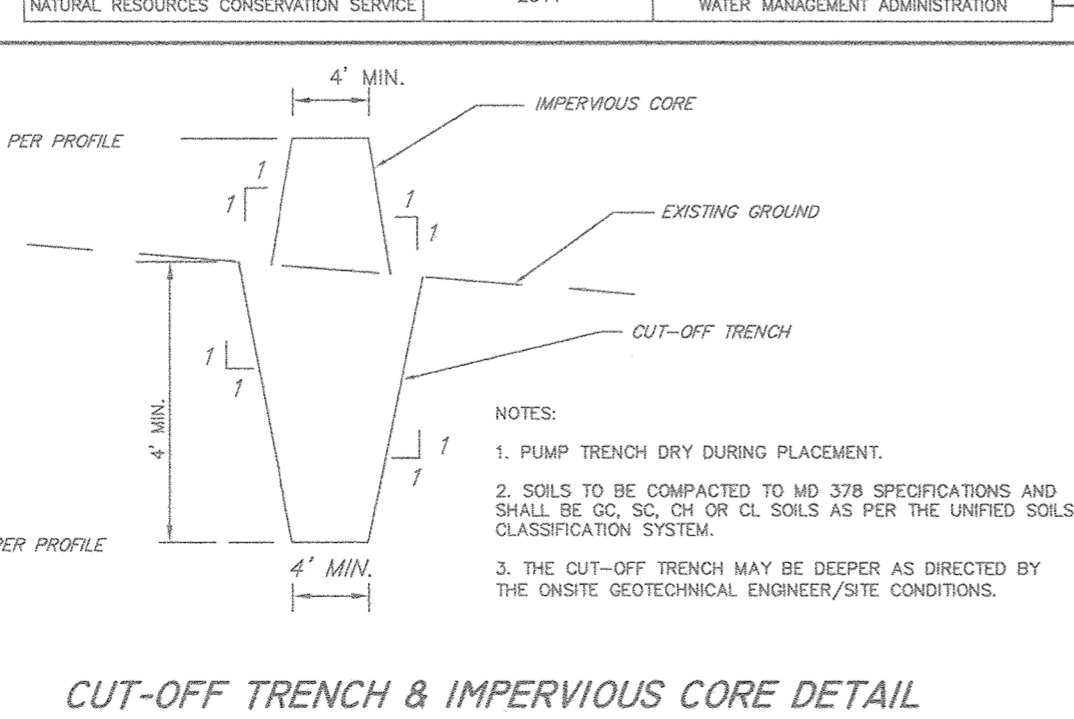
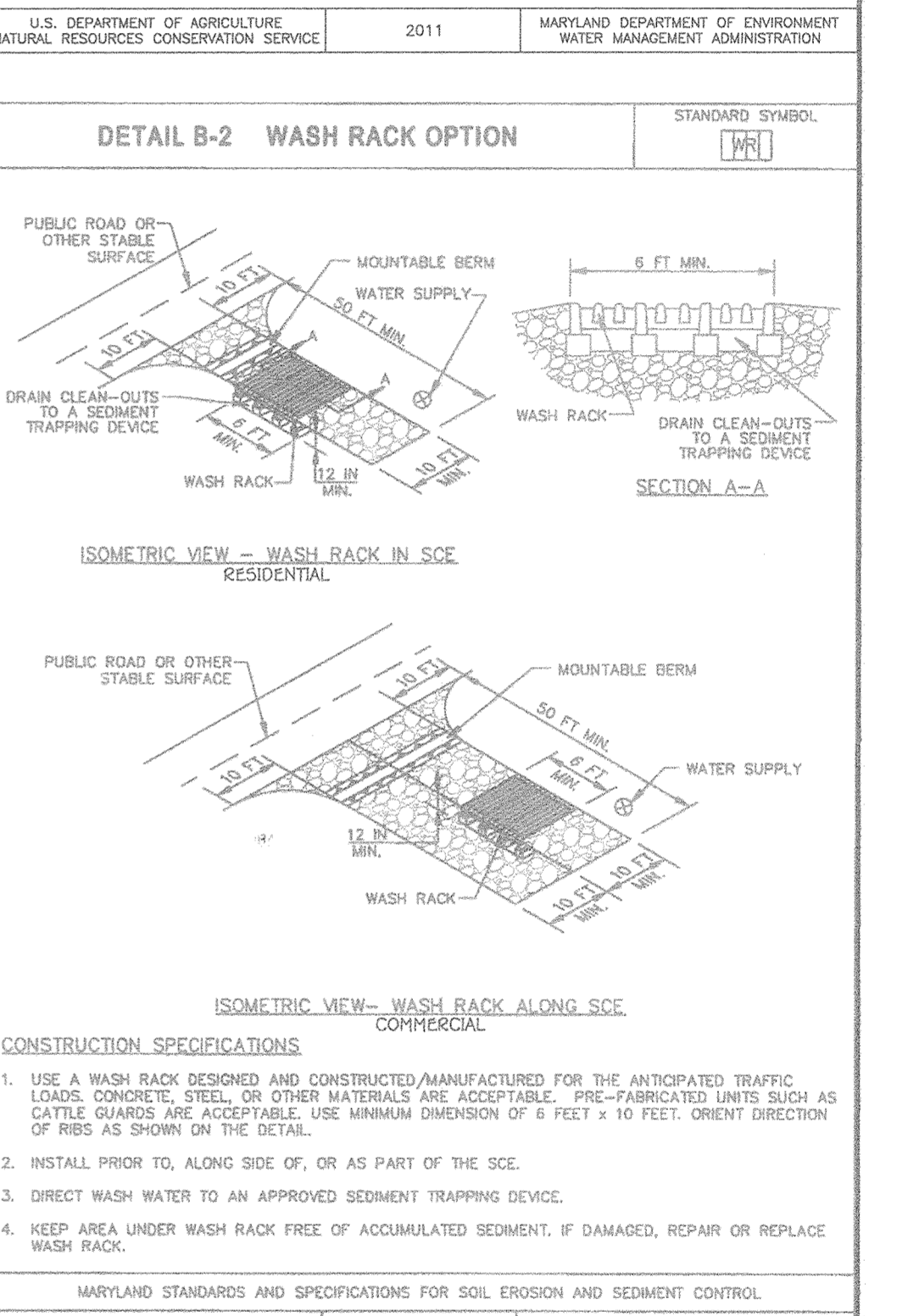
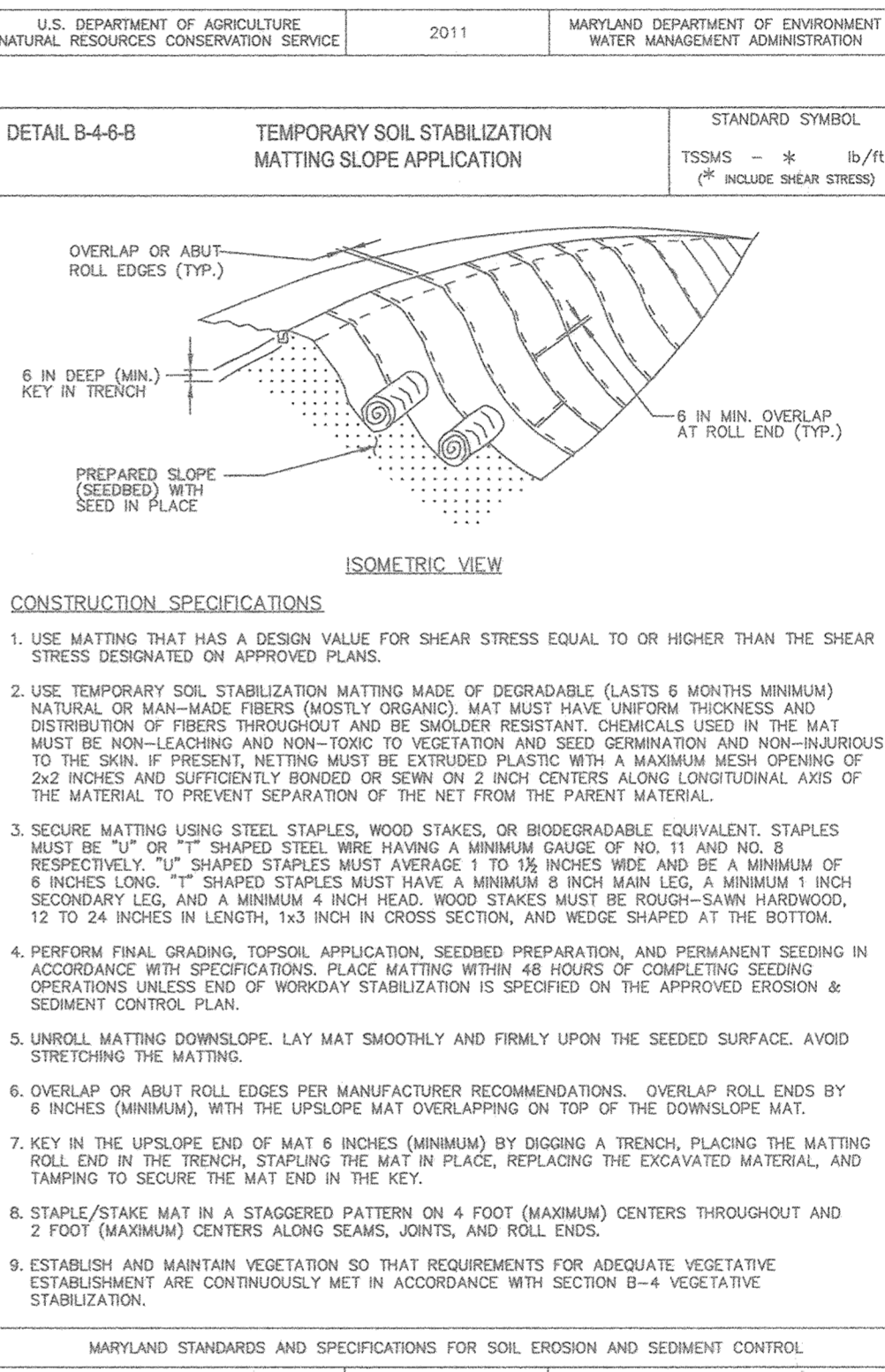
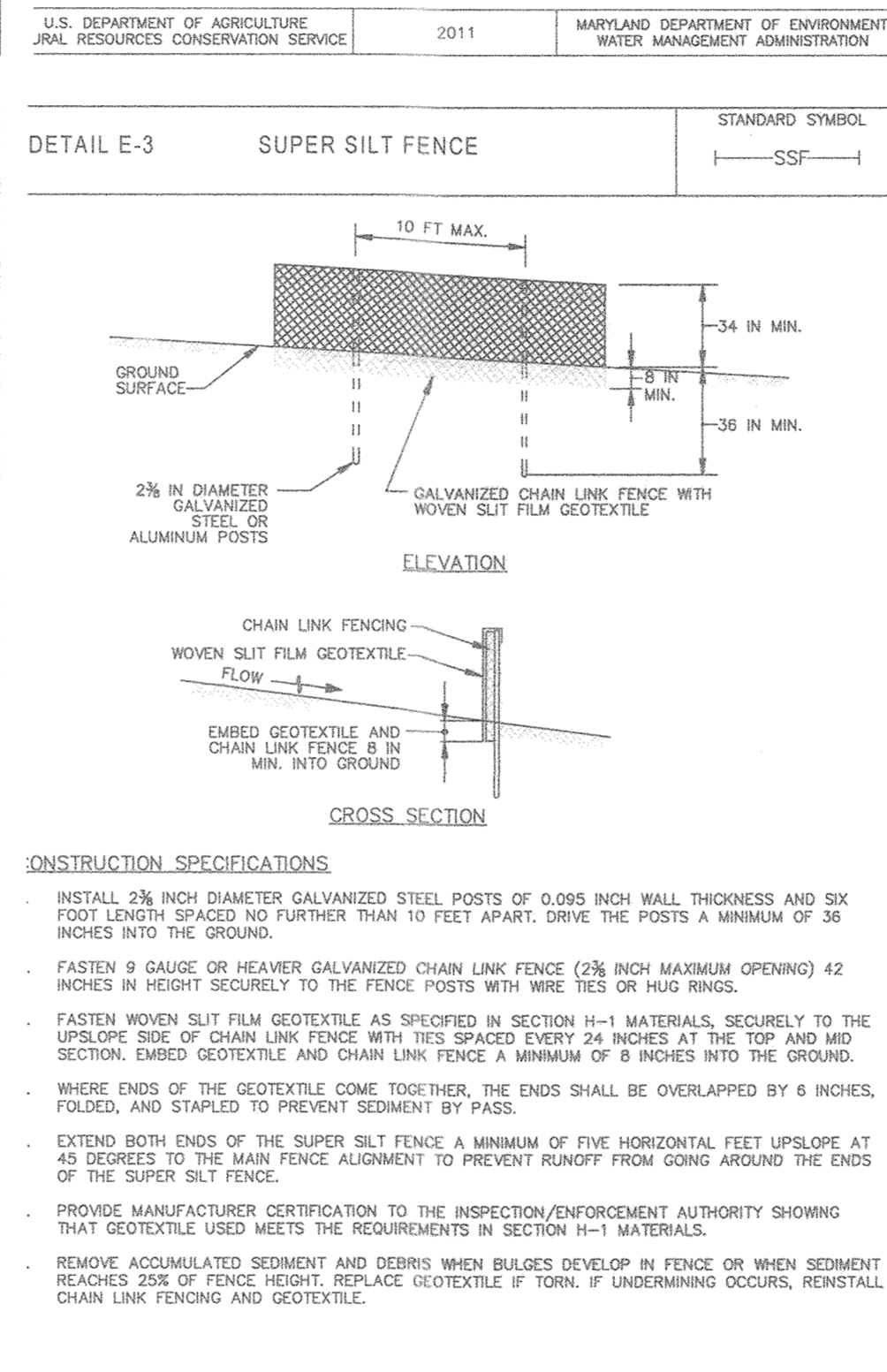
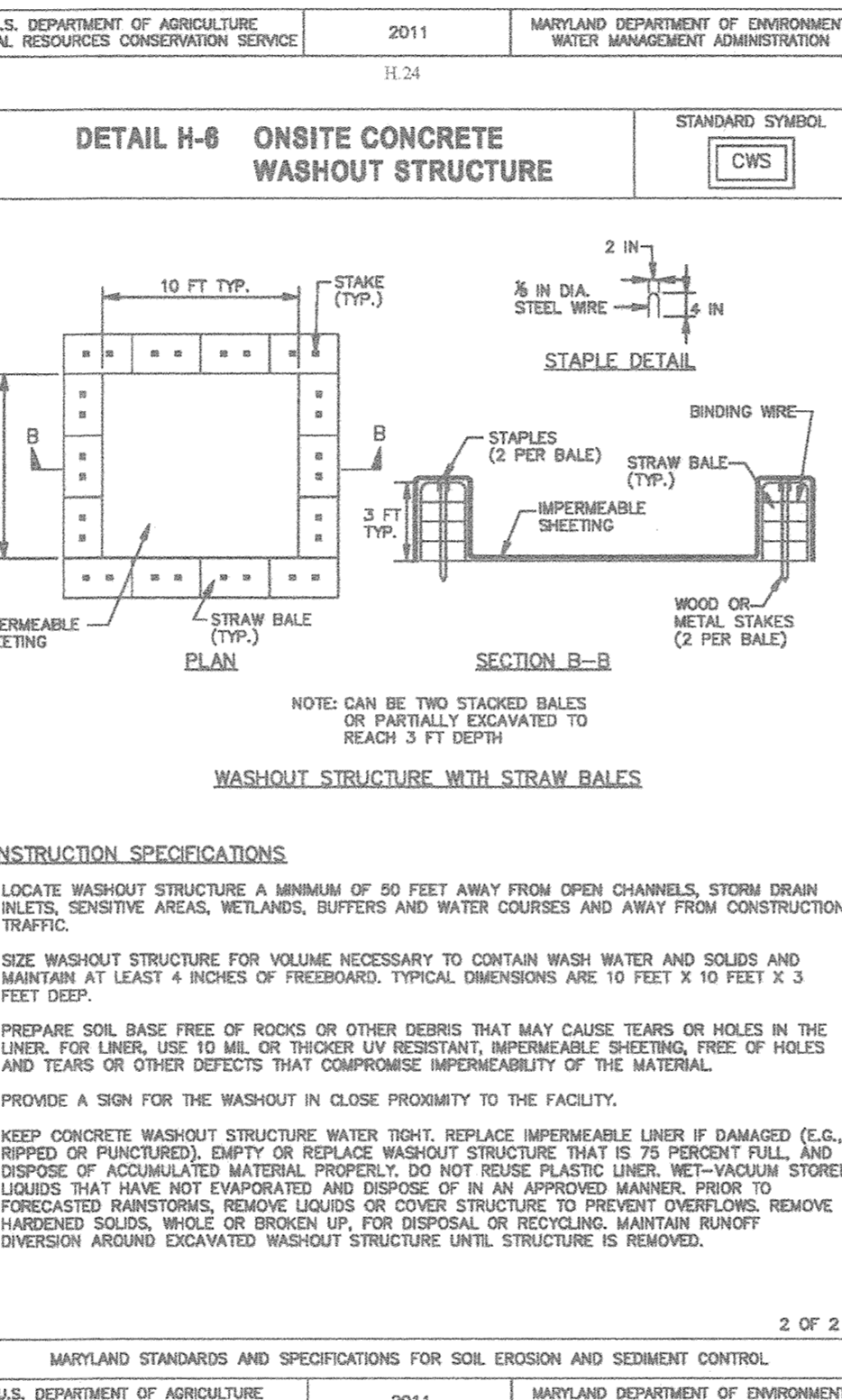
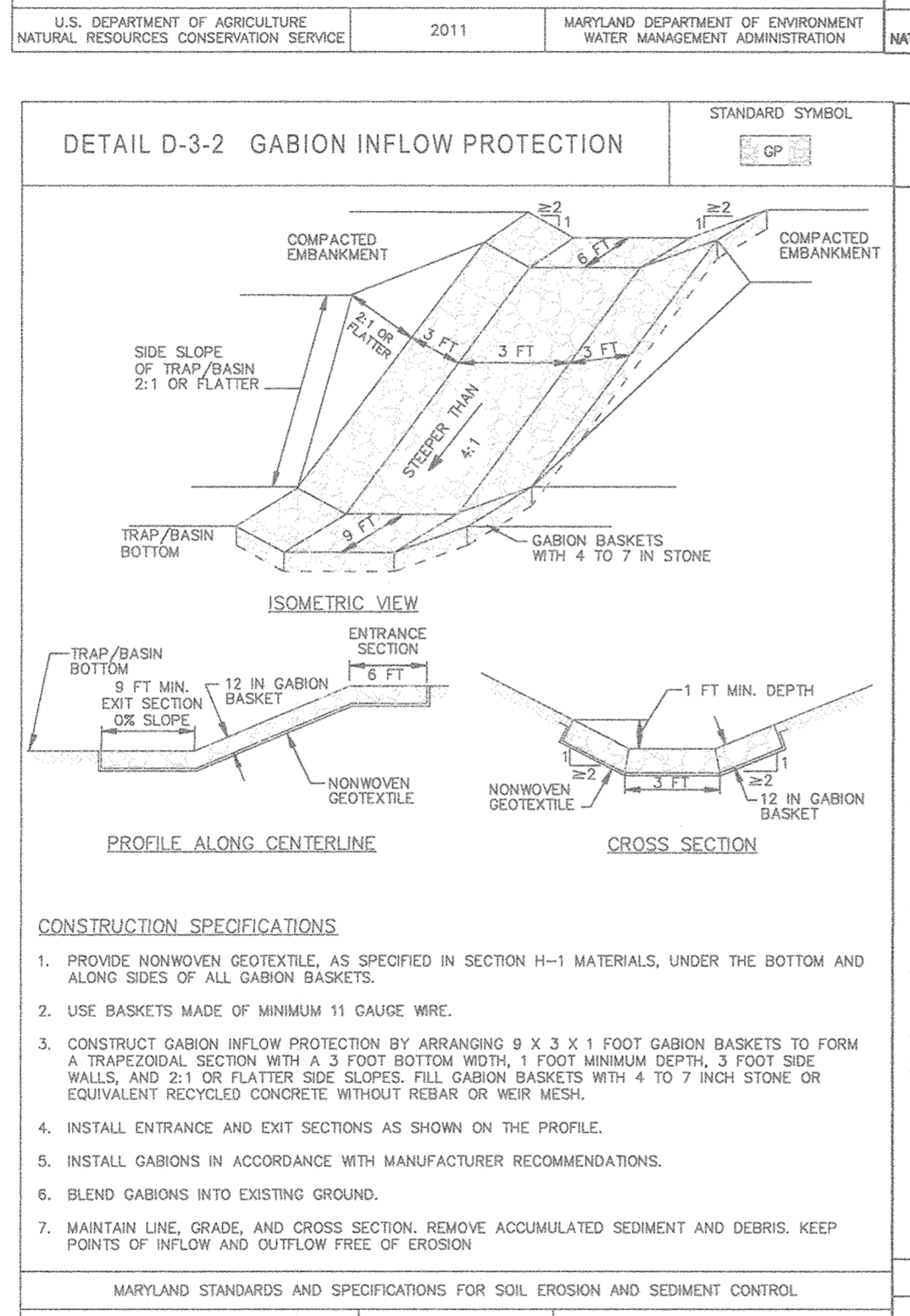
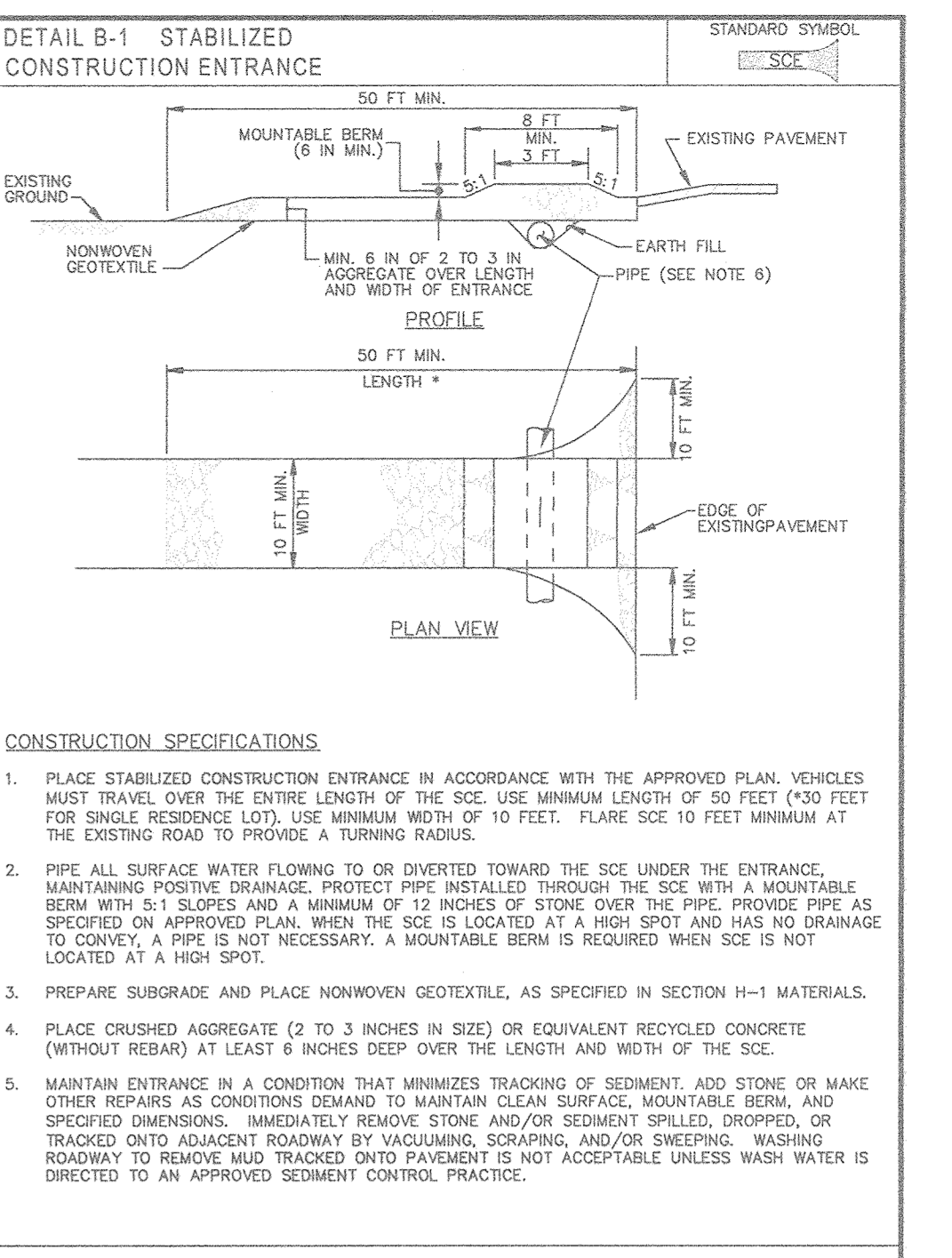
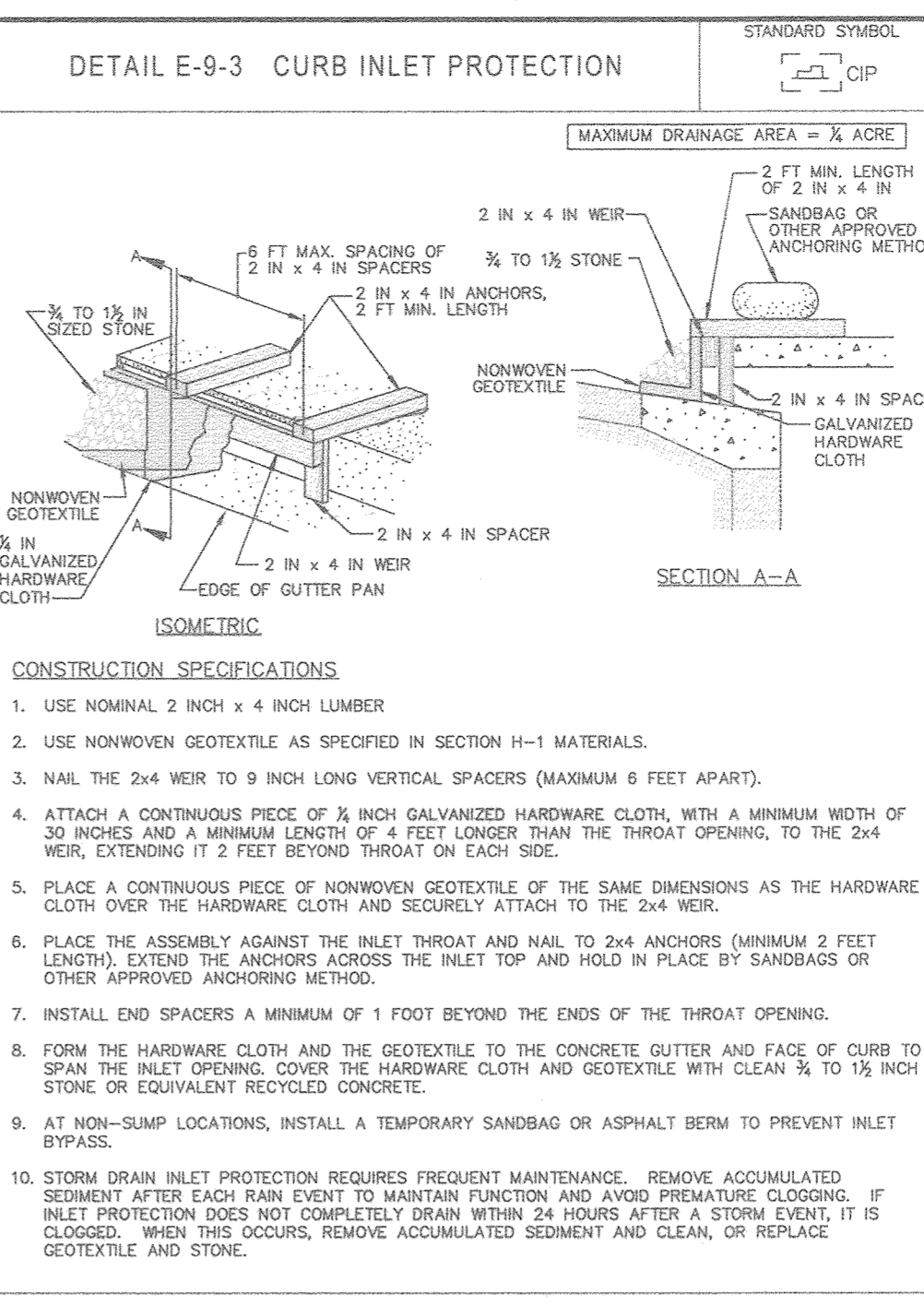
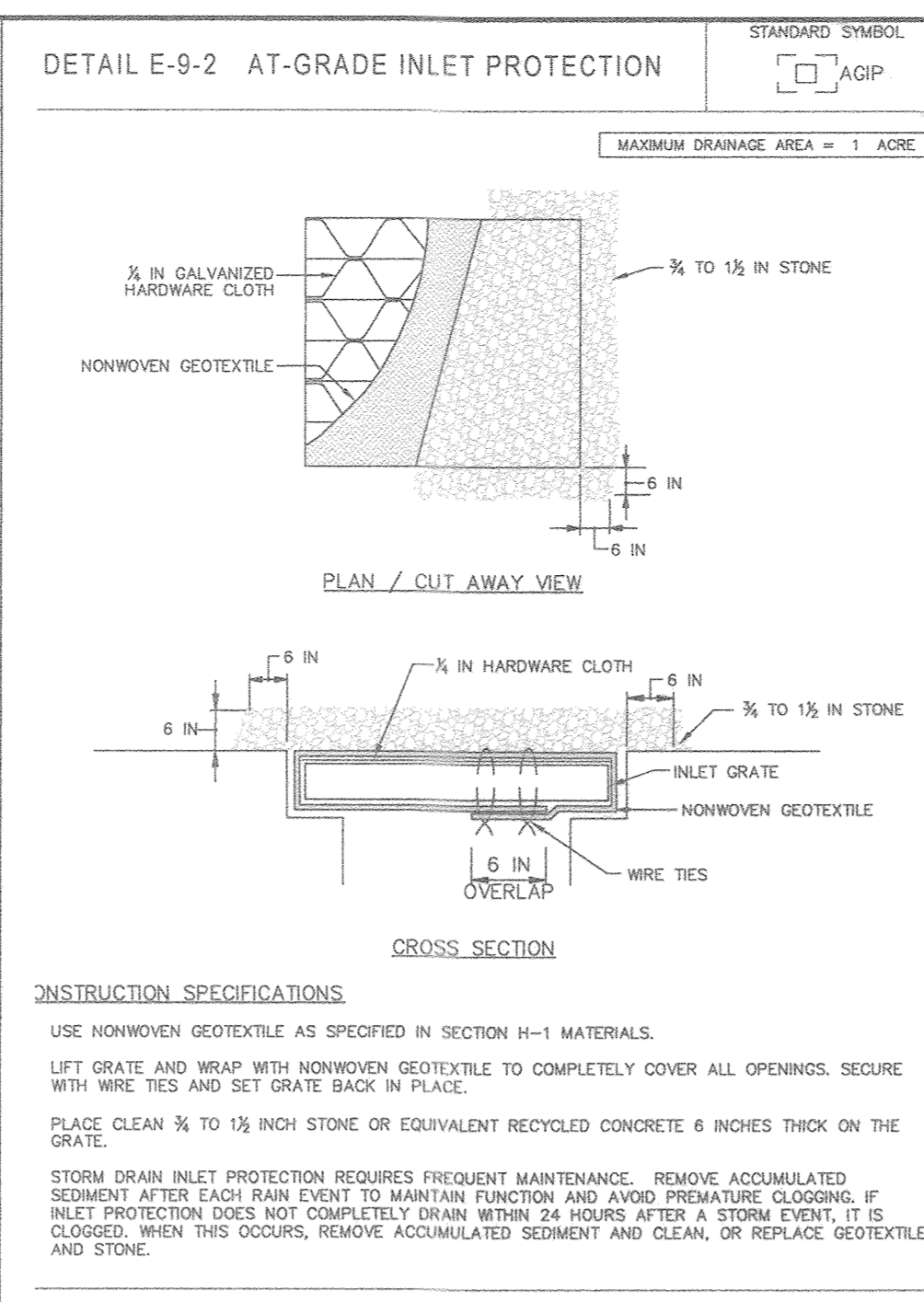
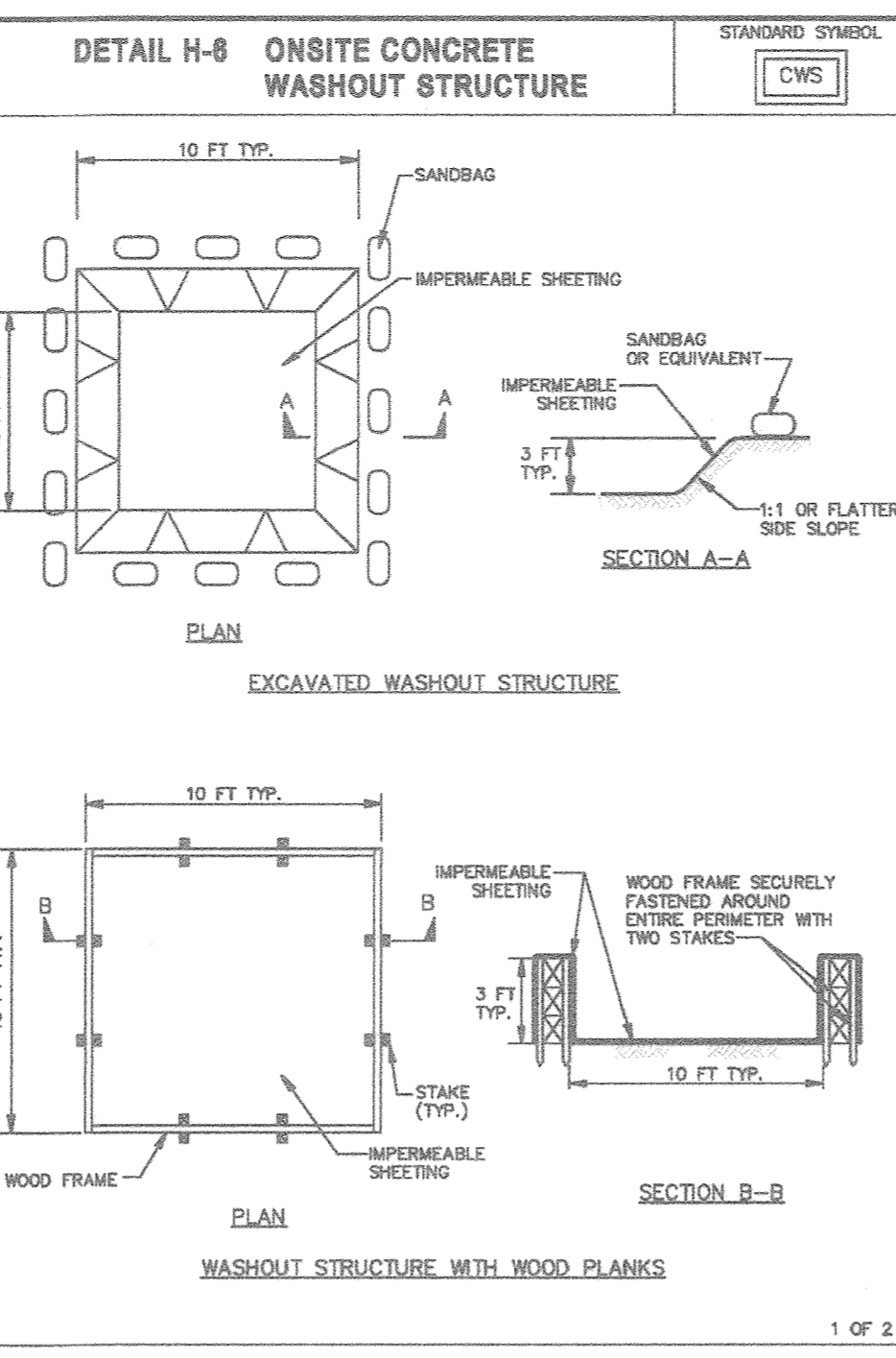
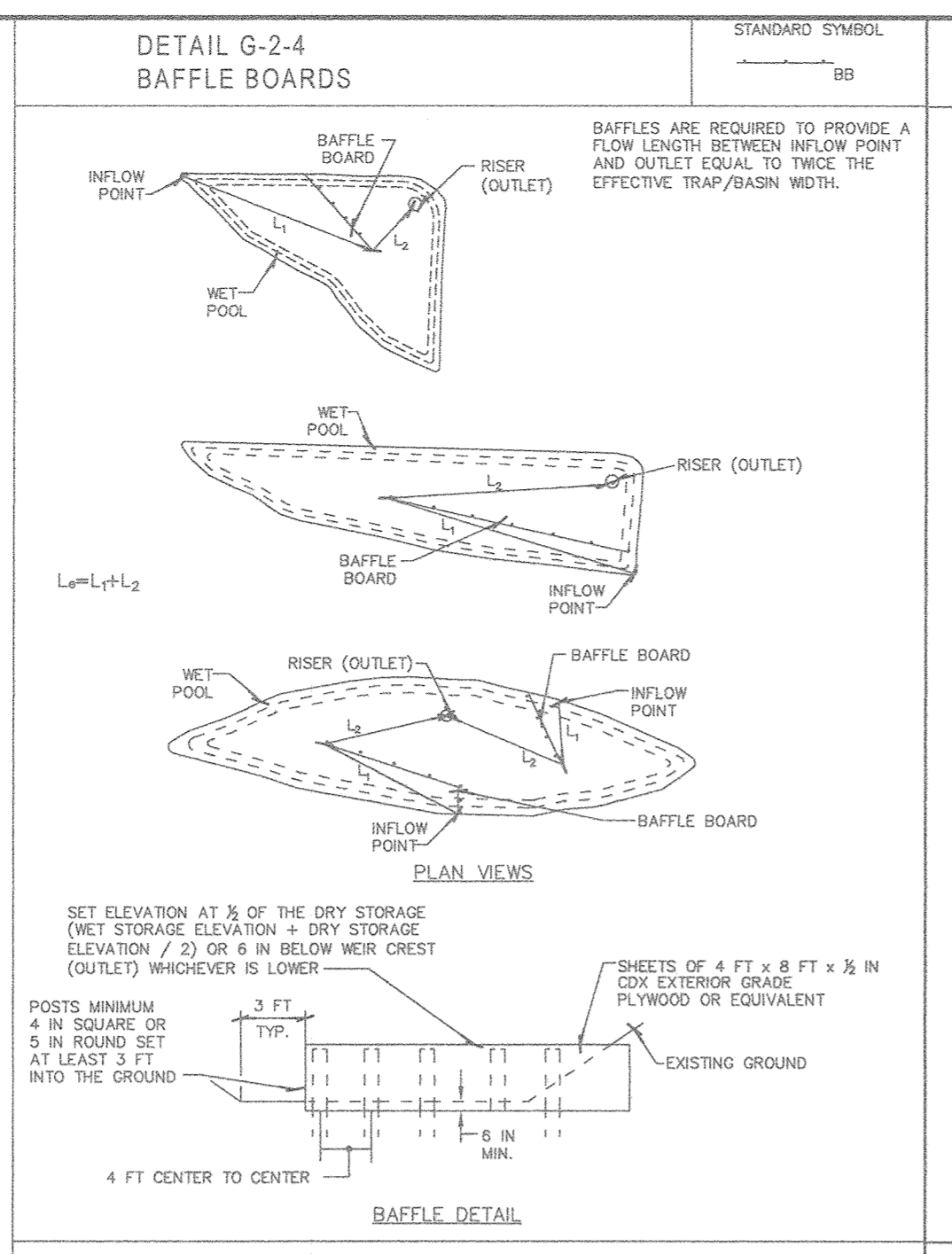
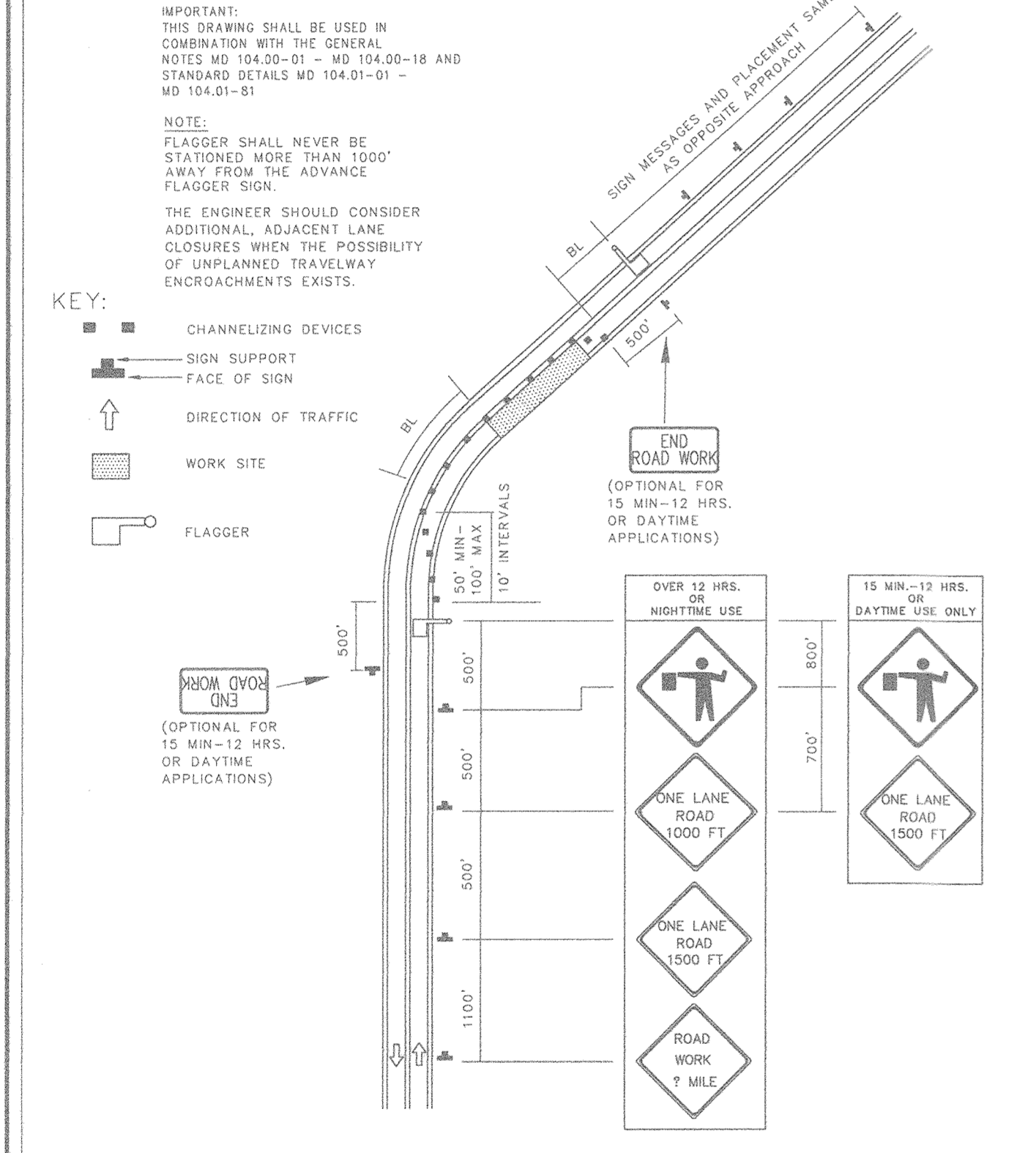
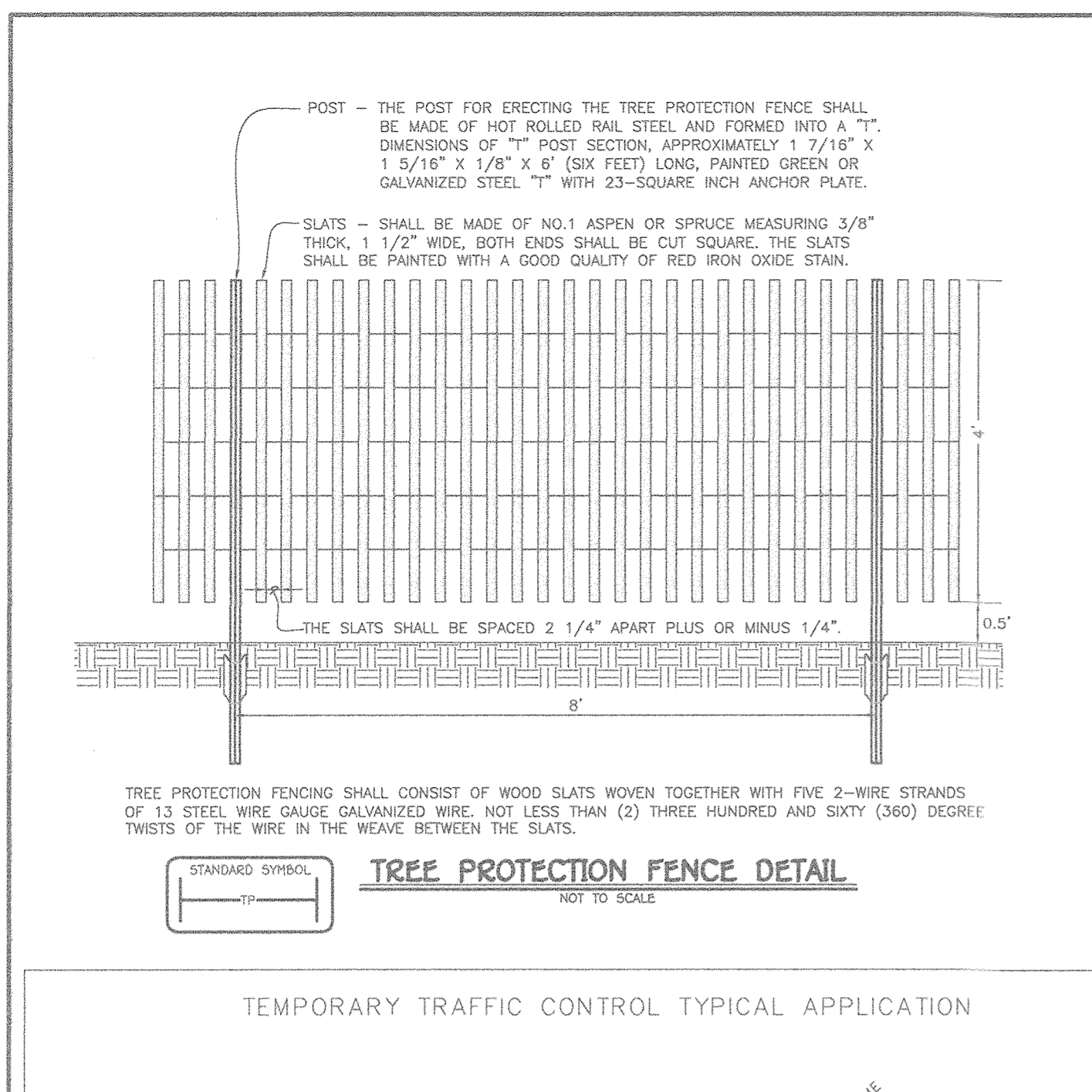
PROJECT	SECTION/AREA	PARCEL
HIGH SCHOOL #13	N/A	102, 349, 235

PLAT NOS.	BLOCK NO.	ZONE	TAX MAP	ELEC. DIST.	CENSUS TR.
85528 85533	18 & 24 13 & 19	R-12 RSC MXD-3 RSA-B MXD-3	42 & 43	SIXTH	606901

STOPPING AND INTERSECTION SIGHT DISTANCE ROAD A STA 27+96

HIGH SCHOOL #13
PARCELS 'A' THRU 'D'

ZONED: R-5C MXD-3, R-5A-8 MXD-3 AND R-12
PARCEL Nos.: 102, 349, 235
TAX MAP No.: 42 & 43 GRID No.: 24 & 19
SIXTH ELECTION DISTRICT HOWARD COUNTY, MARYLAND
SCALE: AS SHOWN DATE: AUGUST, 2020
SHEET 73 OF 131



FISHER, COLLINS & CARTER, INC.
 CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
 CENTRAL SQUARE OFFICE: PARK - 10722 BALTIMORE NATIONAL PIKE
 ELICOTT CITY, MARYLAND 21046
 (410) 461 - 2995

ENGINEER'S CERTIFICATE

"I HEREBY CERTIFY THAT THIS PLAN HAS BEEN DESIGNED IN ACCORDANCE WITH THE CURRENT MARYLAND EROSION AND SEDIMENT CONTROL LAWS, REGULATIONS, AND STANDARDS REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE, AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT."

Stephanie Tuite
 SIGNATURE OF ENGINEER

8/17/20
 DATE

DEVELOPER'S CERTIFICATE

"I/WE HEREBY CERTIFY THAT ANY CLEARING, GRADING, CONSTRUCTION, OR DEVELOPMENT WILL BE DONE PURSUANT TO THIS APPROVED EROSION AND SEDIMENT CONTROL PLAN, INCLUDING INSPECTING AND MAINTAINING CONTROLS, AND THAT THE RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF TRAINING AT A MARYLAND DEPARTMENT OF THE ENVIRONMENT (MDE) APPROVED TRAINING PROGRAM FOR THE CONTROL ON EROSION AND SEDIMENT PRIOR TO BEGINNING THE PROJECT. I CERTIFY RIGHT OF ENTRY FOR PERIODIC ON-SITE EVALUATION BY HOWARD COUNTY, THE HOWARD SOIL CONSERVATION DISTRICT AND/OR MDE."

James H. Kelly
 SIGNATURE OF DEVELOPER

8-19-2020
 DATE

"PROFESSIONAL CERTIFICATION. I HEREBY CERTIFY THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 38386, EXPIRATION DATE, JANUARY 12, 2022."

Stephanie Tuite
 SIGNATURE

8/17/20
 DATE

STEPHANIE TUITE, R.L.A., P.E., LEED AP BCAD

THESE PLANS FOR SOIL BOND CONSTRUCTION, SOIL EROSION AND SEDIMENT CONTROL MEET THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

HOWARD SOIL CONSERVATION DISTRICT

DATE

DESCRIPTION

REVISION BLOCK

APPROVED: DEPARTMENT OF PLANNING AND ZONING

Stephanie Tuite
 Director - Department of Planning and Zoning

10/5/20
 DATE

Stephanie Tuite
 Director of Land Development

8-26-20
 DATE

Chief, Development Engineering Division

PREPARED FOR
 HOWARD COUNTY PUBLIC SCHOOL SYSTEM
 9020 MENDENHALL COURT
 SUITE 'C'
 COLUMBIA, MARYLAND 21045
 Attention: DANIEL LUBELEY
 410-313-8203

ADDRESS CHART

PARCEL NO. STREET ADDRESS

8500 RIDGELY'S RUN ROAD
 JESSUP, MARYLAND 20794

PROJECT: HIGH SCHOOL #13

SECTION/AREA: N/A

PARCEL: 102, 349, 235

PLAT NO. BLOCK NO. ZONE TAX MAP ELEC. DIST. CENSUS TR.

108 & 24 18 & 24 R-12 42 & 43 SIXTH 606901

13 & 19 RSC MXD-3 42 & 43 SIXTH 606901

WATER CODE SEWER CODE

SEDIMENT AND EROSION CONTROL NOTES AND DETAILS

HIGH SCHOOL #13 PARCELS 'A' THRU 'D'

ZONED: R-SC MXD-3, R-SA-B MXD-3 AND R-12

PARCEL Nos.: 102, 349, 235

TAX MAP No.: 42 & 43 GRID No.: 24 & 19

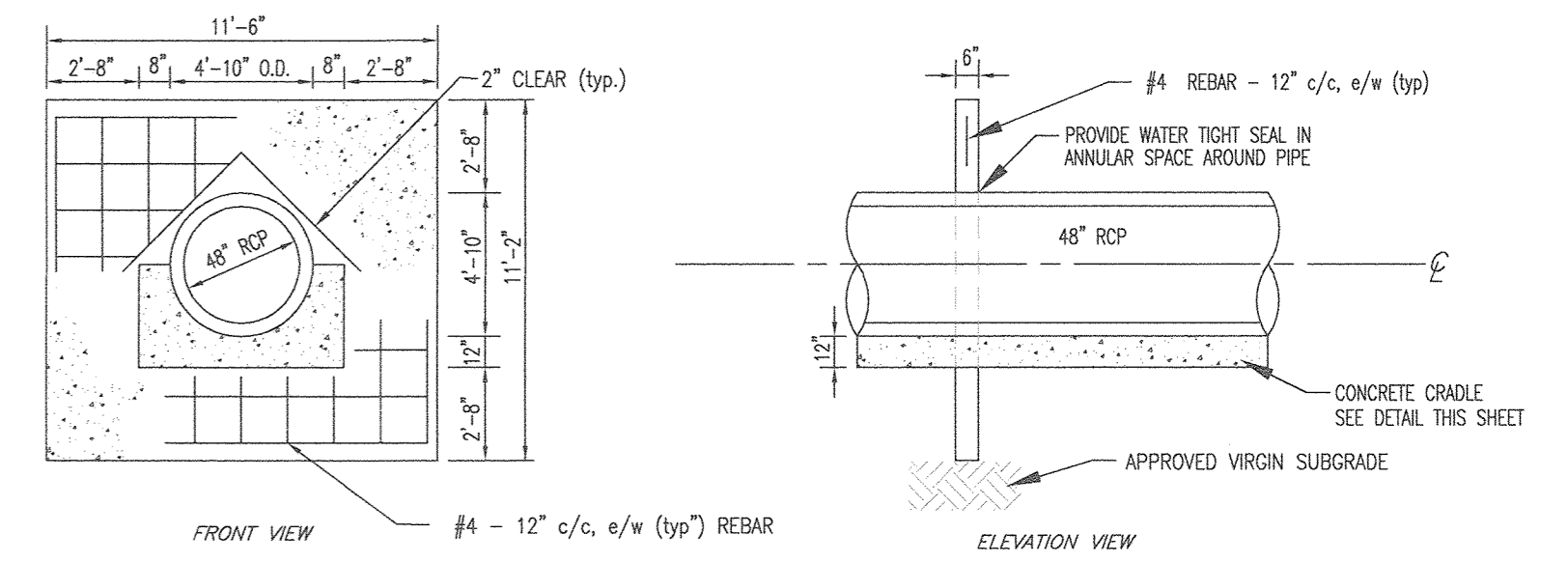
SIXTH ELECTION DISTRICT HOWARD COUNTY, MARYLAND

SCALE: AS SHOWN DATE: AUGUST, 2020

SHEET 75 OF 131

SEDIMENT BASIN NOTES

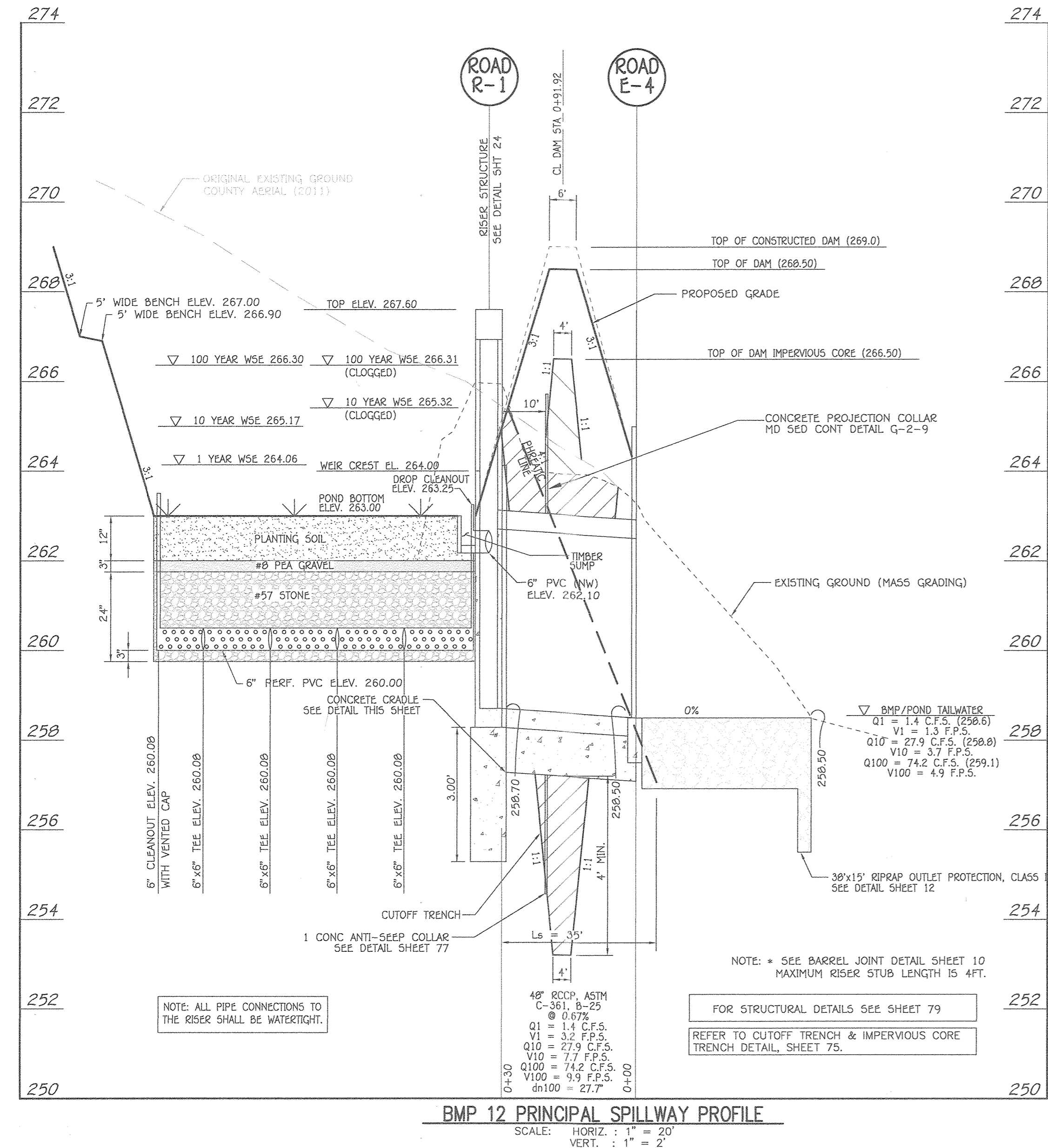
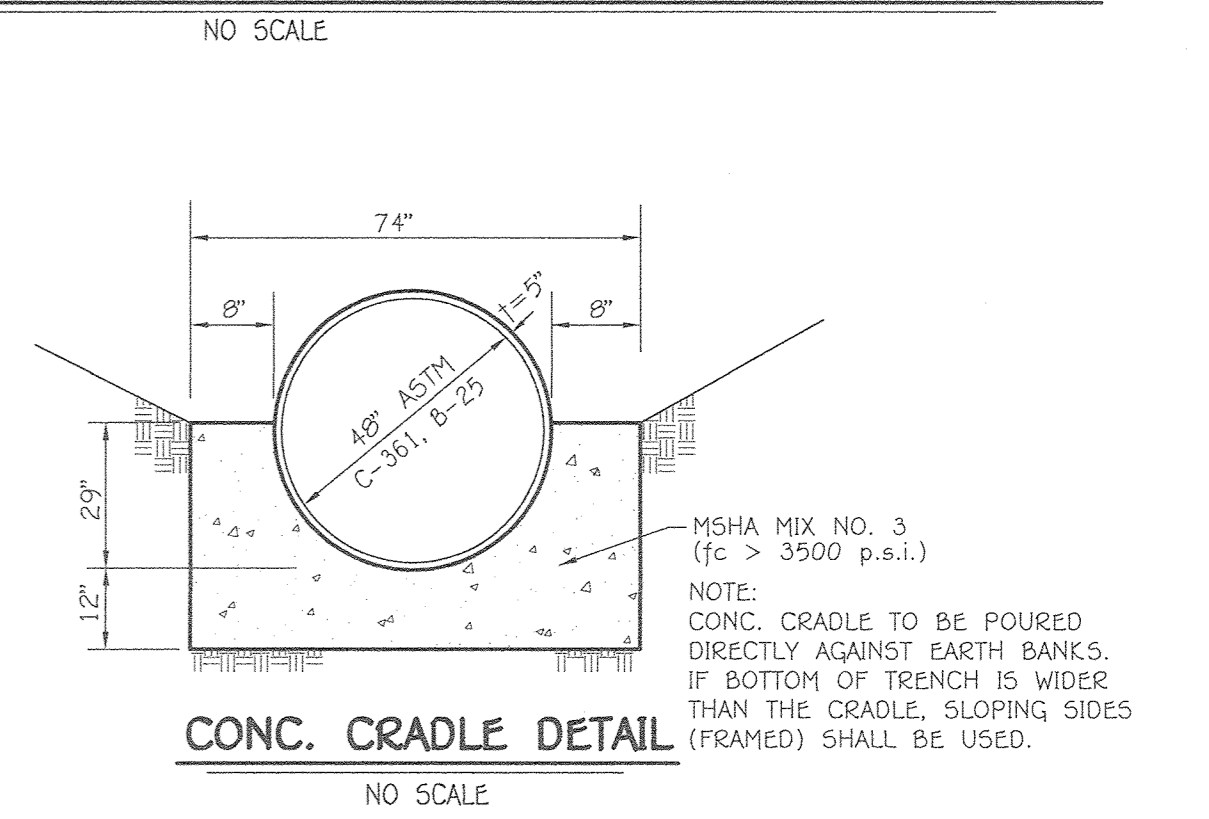
- The draw down device shall be constructed to N.R.C.S.'s Horizontal Drawdown Device Detail G-2-6. The perforations shall have a 1" diameter and spaced 6" apart as follows: 8" pipe with 4 rows of perforations, 10" pipe with 6 rows of perforations. Minimum perforated area per LF of pipe: 6.28 sq ft for 8" pipe and 9.42 sq ft for 10" pipe.
- The drawdown device pipe shall be evenly and adequately supported per Drawdown Device Detail G-2-6 (with aggregate or posts).
- The drawdown device connection to the riser shall be watertight (i.e., the annular area between the drawdown device and orifice shall be temporarily sealed (with galvanized plate/gasket, or mortar, or other suitable methods that allow easy conversion to the final permanent SWM facility).
- See the SWM plans for other embankment/riser information not shown on this sheet.
- Install the permanent weir trash rack during construction. Remove and reinstall as needed when basin is converted to a permanent SWM facility.
- Dewater basin and maintain drawdown device when basin drain time exceeds 10 hours. Pump basin to an approved E&S device.
- Drawdown pipe shall be Schedule 40 PVC or approved equal.



ANTI-SEEP COLLAR NOTES

- LOWER HALF OF COLLAR SHALL BE POURED CONCURRENTLY WITH THE CRADLE POUR.
- REBAR IS SHOWN SCHEMATICALLY AND SHALL BE PLACED THROUGHOUT THE ENTIRE COLLAR.
- PROVIDE A WATER TIGHT SEAL IN ANNULAR SPACE BETWEEN PIPE AND COLLAR USING MASTIC SEALER. USE A "A-LOK" JOINT SEAL PRODUCT.
- LOCATE COLLAR 2' MINIMUM FROM JOINT AND MAINTAIN 10' MINIMUM SEPARATION FROM COLLAR TO COLLAR OR COLLAR TO RISER.
- PLACE TWO (2) ADDITIONAL REBAR'S (6' MIN. LONG) AT RIGHT ANGLES TO REBAR GRID 2" FROM PIPE O.D.
- COLLAR MATERIAL SPECIFICATIONS SHALL MEET THE SAME AS THAT FOR THE CONCRETE RISER (SWM OUTFALL) STRUCTURE.

ANTI-SEEP COLLAR DETAIL



NOTE: THIS FACILITY WAS CONSTRUCTED UNDER A REOLINE REVISION TO F-17-064 CHASE PROPERTY AT MISSION ROAD. FINAL CONVERSION TO SWM SHALL BE DONE UNDER THIS PLAN.

FISHER, COLLINS & CARTER, INC.
CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
CENTENNIAL SQUARE OFFICE PARK - 10272 BALTIMORE NATIONAL PIKE
ELLSWORTH CITY, MARYLAND 21042
(410) 461-2995

ENGINEER'S CERTIFICATE
"I HEREBY CERTIFY THAT THIS PLAN HAS BEEN DESIGNED IN ACCORDANCE WITH THE CURRENT MARYLAND EROSION AND SEDIMENT CONTROL LAWS, REGULATIONS, AND STANDARDS REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE, AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT."
SIGNATURE: *Stephan Luite* DATE: 8/17/20
SKETCHED BY: *Stephan Luite* DATE: 8/17/20

DEVELOPER'S CERTIFICATE
"I/WE HEREBY CERTIFY THAT ANY CLEARING, GRADING, CONSTRUCTION, OR DEVELOPMENT WILL BE DONE PURSUANT TO THIS APPROVED EROSION AND SEDIMENT CONTROL PLAN, INCLUDING INSPECTING AND MAINTAINING CONTROLS, AND THAT THE RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF TRAINING AT A MARYLAND DEPARTMENT OF THE ENVIRONMENT (MDE) APPROVED TRAINING PROGRAM FOR THE CONTROL ON EROSION AND SEDIMENT PRIOR TO BEGINNING THE PROJECT. I CERTIFY RIGHT OF ENTRY FOR PERIODIC ON-SITE EVALUATION BY HOWARD COUNTY, THE HOWARD SOIL CONSERVATION DISTRICT AND/OR MDE."
SIGNATURE: *David Lully* DATE: 8-19-2020

"PROFESSIONAL CERTIFICATION, I HEREBY CERTIFY THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 38386, EXPIRATION DATE: JANUARY 12, 2022."
SIGNATURE: *Stephan Luite* DATE: 8/17/20
STEPHAN LUIE, R.L.A. P.E., L.EED AP BC&D

APPROVED: DEPARTMENT OF PLANNING AND ZONING
Director - Department of Planning and Zoning
Chief, Division of Land Development
Chief, Development Engineering Division

PREPARED FOR
HOWARD COUNTY PUBLIC SCHOOL SYSTEM
9020 MENDENHALL COURT
SUITE "C"
COLUMBIA, MARYLAND 21045
Attention: DANIEL LUBELEY
410-313-8203

DATE: 11/5/20
DATE: 10/5/20
DATE: 8/20/20

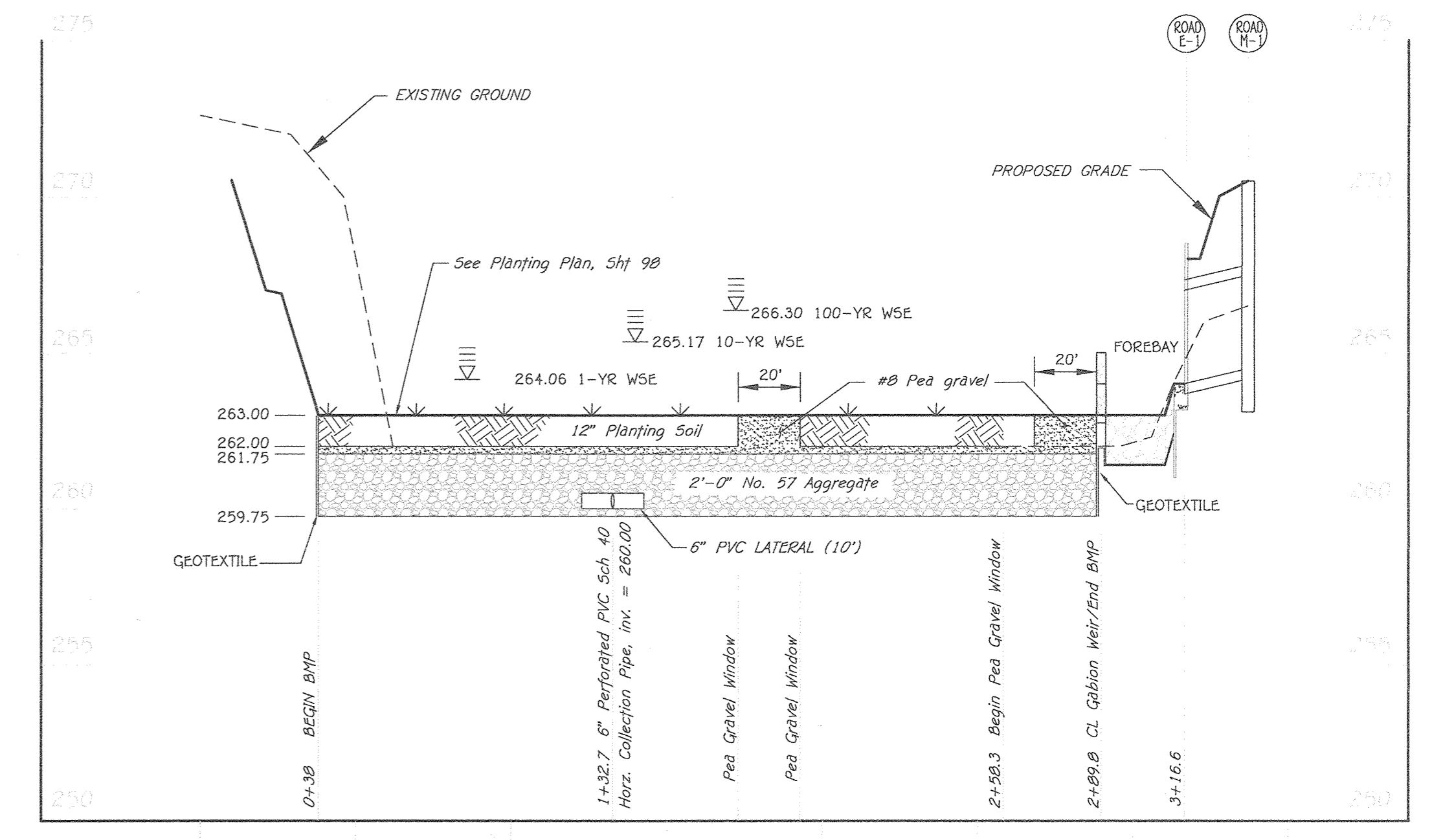
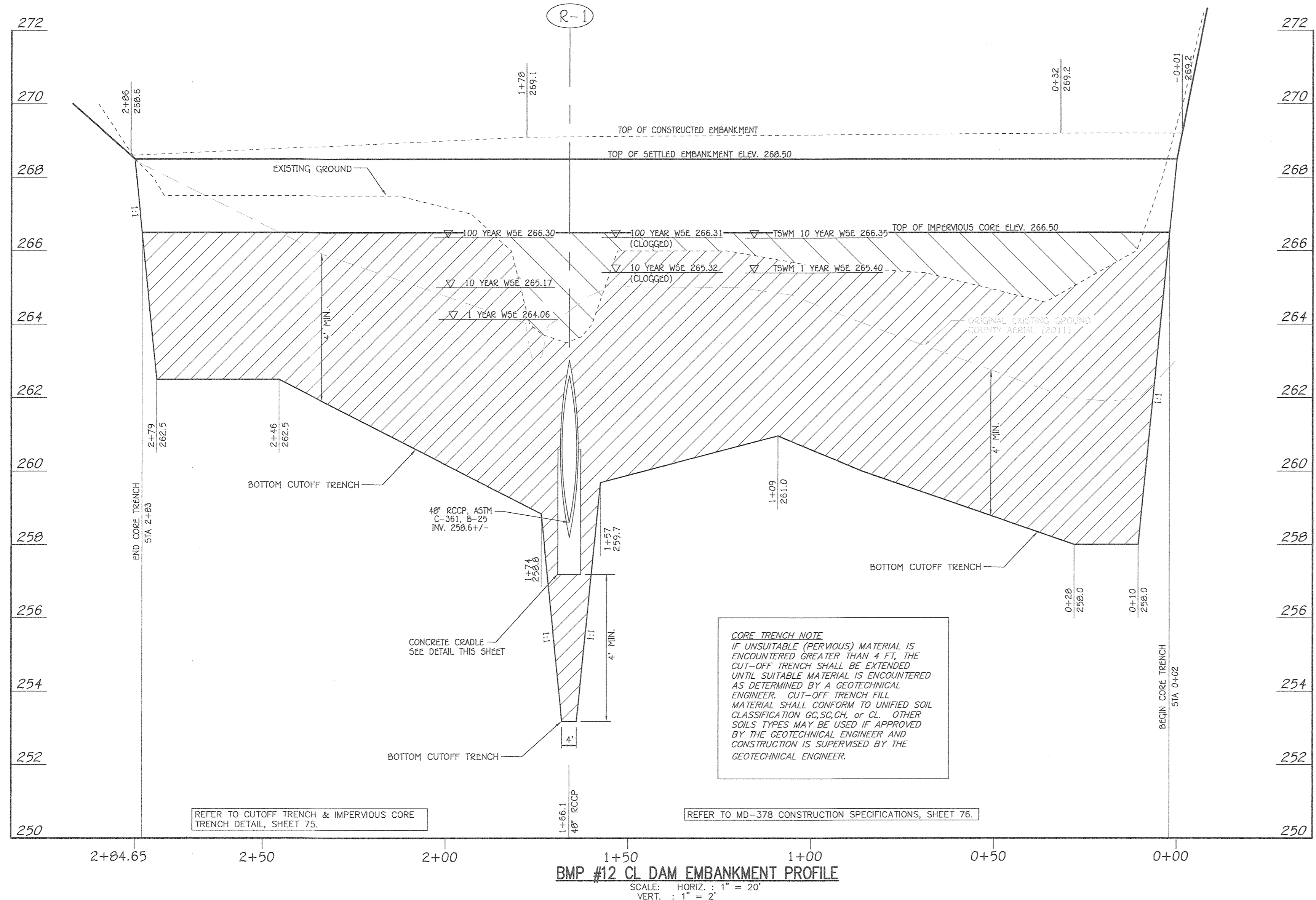
STATE OF MARYLAND
PROFESSIONAL ENGINEER
No. 38386
EXPIRES 1/12/2022

ADDRESS CHART	
PARCEL NO.	STREET ADDRESS
-	8500 RIDGELY'S RUN ROAD JESSUP, MARYLAND 20794
PROJECT	SECTION/AREA PARCEL
HIGH SCHOOL #13	N/A 102, 349, 235
PLAT NOS. 18 & 24 13 & 19	BLOCK NO. 8-12
WATER CODE	TAX MAP ELEC. DIST. CENSUS TR.
---	42 & 43 SIXTH 606901
---	SEWER CODE
---	---

BMP #12 PRINCIPAL SPILLWAY PROFILE AND DETAIL & TEMPORARY S.W.M. DETAILS

HIGH SCHOOL #13 PARCELS 'A' THRU 'D'

ZONED: R-5C MXD-3, R-5A-Ø MXD-3 AND R-12
PARCEL Nos.: 102, 349, 235
TAX MAP No.: 42 & 43 GRID No.: 24 & 19
SIXTH ELECTION DISTRICT HOWARD COUNTY, MARYLAND
SCALE: AS SHOWN DATE: AUGUST, 2020
SHEET 77 OF 131



BMP #12 SUBMERGED GRAVEL WETLANDS PROFILE
 SCALE: HORIZ. : 1" = 40'
 VERT. : 1" = 4'

- See Sheet 77 for Profile through Principal Spillway and 6" horizontal collection pipe.
- See Sheet 76 for Bioretention Facility Notes and General SWM Notes.
- See Sheet 98 for BMP #12 planting plan.

NOTE:
 THIS FACILITY WAS CONSTRUCTED UNDER A REDLINE REVISION TO F-17-064 CHASE PROPERTY AT MISSION ROAD. FINAL CONVERSION TO SWM SHALL BE DONE UNDER THIS PLAN.

FISHER, COLLINS & CARTER, INC.
 CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
 CENTENNIAL SQUARE OFFICE PARK - 10272 BALTIMORE NATIONAL PIKE
 ELLICOTT CITY, MARYLAND 21042
 (410) 461-2999

ENGINEER'S CERTIFICATE
 I HEREBY CERTIFY THAT THIS PLAN HAS BEEN DESIGNED IN ACCORDANCE WITH THE CURRENT MARYLAND EROSION AND SEDIMENT CONTROL LAWS, REGULATIONS, AND STANDARDS REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE, AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

Stephanie J. Tate 8/17/20
 SIGNATURE OF ENGINEER DATE

DEVELOPER'S CERTIFICATE
 I/WE HEREBY CERTIFY THAT ANY CLEARING, GRADING, CONSTRUCTION, OR DEVELOPMENT WILL BE DONE PURSUANT TO THIS APPROVED EROSION AND SEDIMENT CONTROL PLAN, INCLUDING INSPECTING AND MAINTAINING CONTROLS, AND THAT THE RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF TRAINING AT A MARYLAND DEPARTMENT OF THE ENVIRONMENT (MDE) APPROVED TRAINING PROGRAM FOR THE CONTROL ON EROSION AND SEDIMENT PRIOR TO BEGINNING THE PROJECT. I CERTIFY RIGHT OF ENTRY FOR PERIODIC ON-SITE EVALUATION BY HOWARD COUNTY, THE HOWARD SOIL CONSERVATION DISTRICT AND/OR MDE.

James D. Gaddy 8-19-2020
 SIGNATURE OF DEVELOPER DATE

"PROFESSIONAL CERTIFICATION, I HEREBY CERTIFY THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 38386, EXPIRATION DATE: JANUARY 12, 2022."

Stephanie J. Tate 8/17/20
 SIGNATURE DATE

STEPHANIE J. TATE, R.L.A., P.E., LEED AP BC&D

APPROVED: DEPARTMENT OF PLANNING AND ZONING
John Goss 10/15/20
 Director - Department of Planning and Zoning DATE

Chief, Development Engineering Division
Michael 8-26-20
 DATE

THESE PLANS FOR SMALL POND CONSTRUCTION, SOIL EROSION AND SEDIMENT CONTROL MEET THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

HOWARD SOIL CONSERVATION DISTRICT DATE

DATE	DESCRIPTION
	REVISION BLOCK

PREPARED FOR
 HOWARD COUNTY PUBLIC SCHOOL SYSTEM
 9020 MENDENHALL COURT
 SUITE 'C'
 COLUMBIA, MARYLAND 21045
 Attention: DANIEL LUBELEY
 410-313-8203

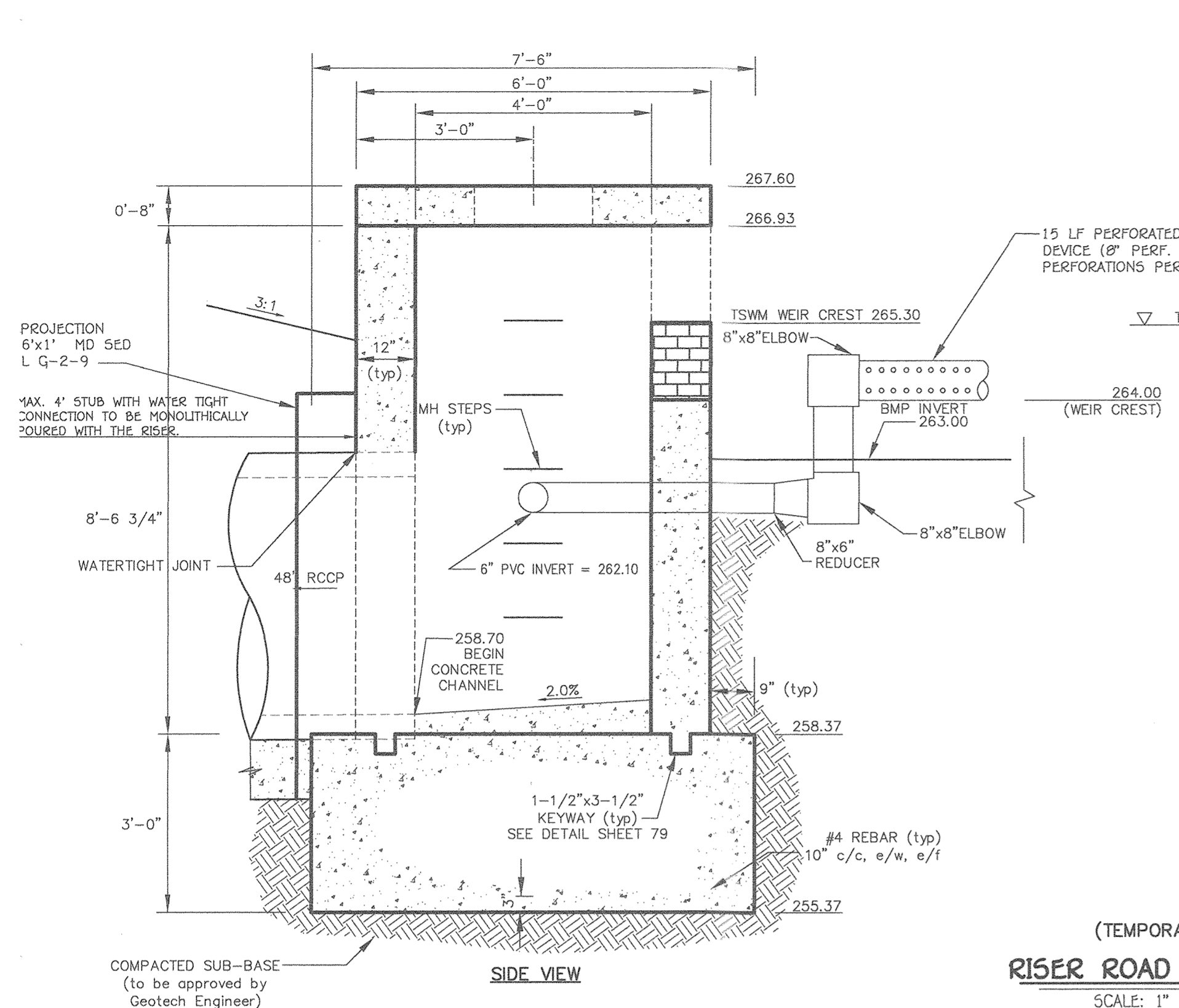
STATE OF MARYLAND
 PROFESSIONAL ENGINEER
 No. 38386
 Stephanie J. Tate

ADDRESS CHART			
PARCEL NO.	STREET ADDRESS		
-	8500 RIDGELY'S RUN ROAD		
	JESSUP, MARYLAND 20794		
PROJECT	SECTION/AREA	PARCEL	
HIGH SCHOOL #13	N/A	102, 349, 235	
PLAT NO.	BLOCK NO.	ZONE	TAX MAP ELEC. DIST. CENSUS TR.
25588	18 & 24	8-12	42 & 43 SIXTH
25532	13 & 19	RSC MXD-3	606901
WATER CODE	SEWER CODE		
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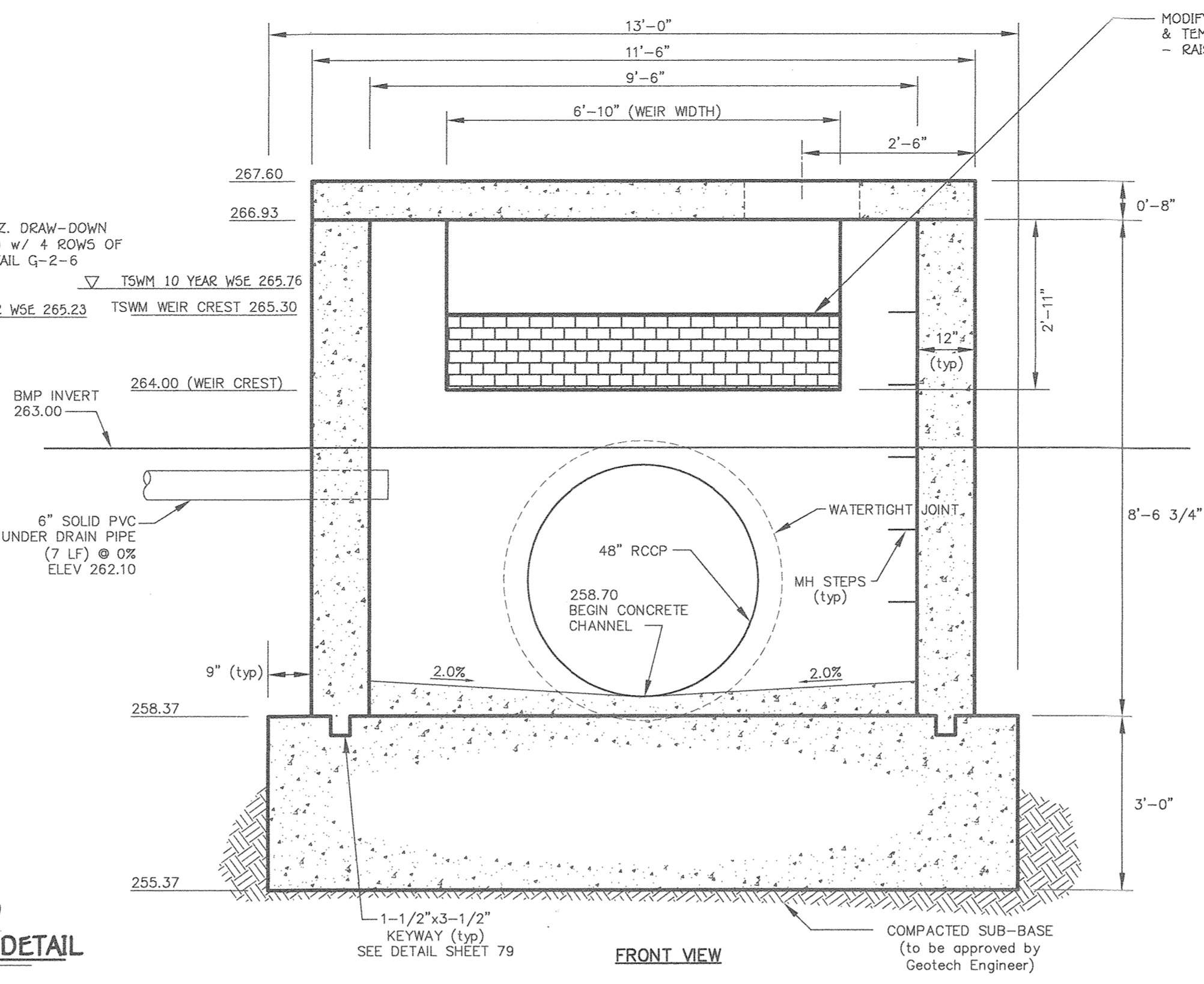
BMP #12 CL DAM PROFILE AND SUBMERGED GRAVEL WETLANDS PROFILE

HIGH SCHOOL #13 PARCELS 'A' THRU 'D'

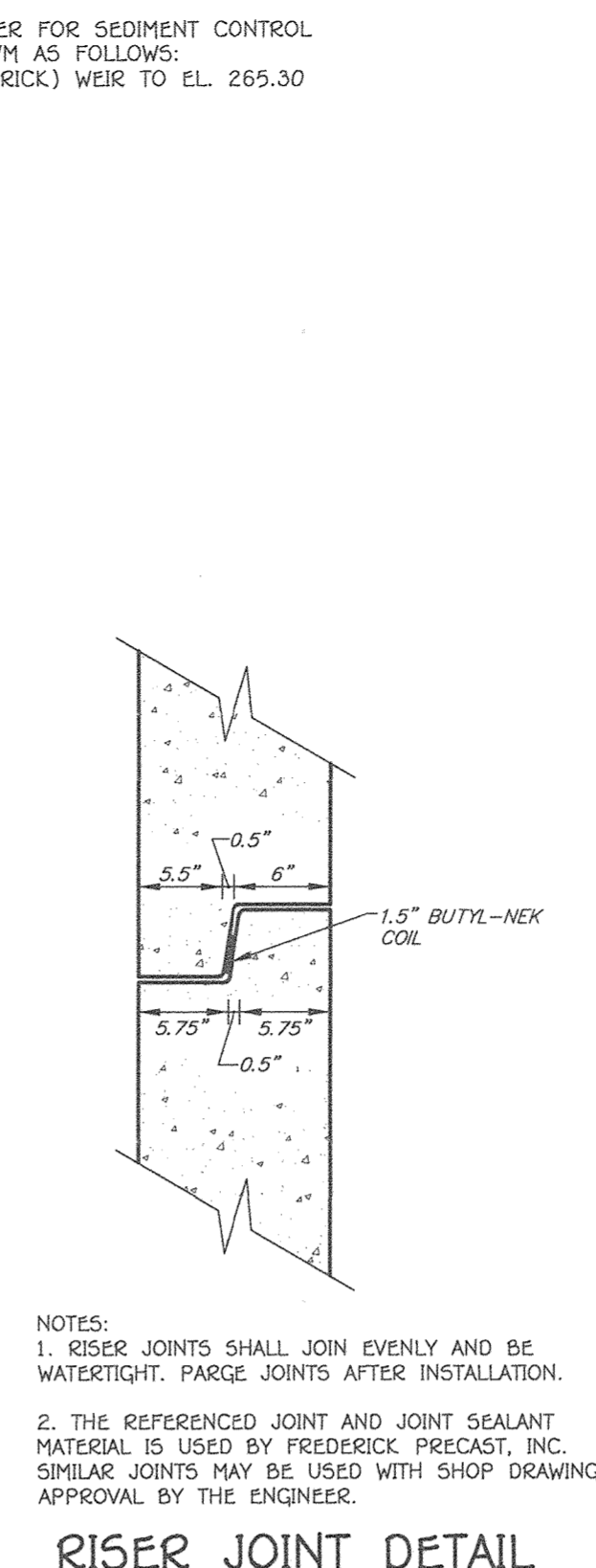
ZONED: R-5C MXD-3, R-5A-8 MXD-3 AND R-12
 PARCEL Nos.: 102, 349, 235
 TAX MAP No.: 42 & 43 GRID No.: 24 & 19
 SIXTH ELECTION DISTRICT HOWARD COUNTY, MARYLAND
 SCALE: AS SHOWN DATE: AUGUST, 2020
 SHEET 78 OF 131



(TEMPORARY SWM)
RISER ROAD R-1 DETAIL
SCALE: 1" = 2'



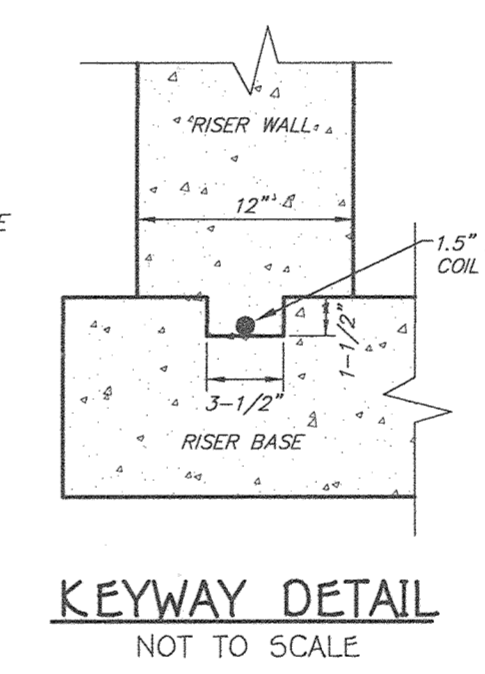
(TEMPORARY SWM)
RISER ROAD R-1 DETAIL
SCALE: 1" = 2'



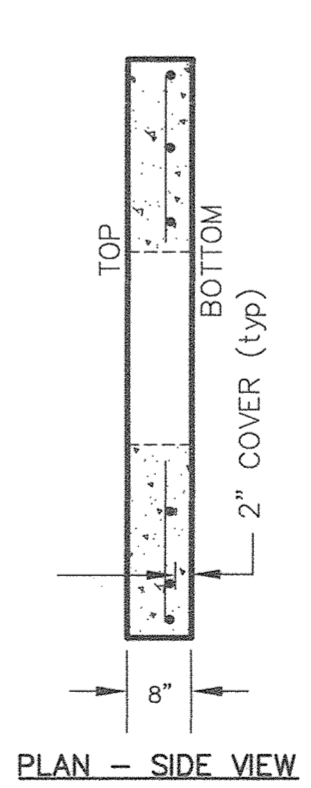
RISER JOINT DETAIL
NOT TO SCALE

- STRUCTURE R-1 NOTES**
- STRUCTURE MATERIAL FOR ALL WALLS AND BASE SHALL BE AIR-ENTRAINED 4,500 PSI CONCRETE.
 - REINFORCEMENT SHALL BE DEFORMED STEEL, FREE OF RUST, AND MEET ASTM A615, GRADE 60, WITH 2" COVER EXCEPT AS SHOWN.
 - REINFORCEMENT IS PARTIALLY SHOWN AND IS TYPICAL FOR EACH RISER WALL, BASE, WING WALLS, FOOTING AND TOP SLAB. THE STRUCTURE SHALL BE REINFORCED THROUGHOUT.
 - HORIZONTAL REBAR SHALL EXTEND INTO THE ADJACENT RISER WALL WITH A 1'-6" L-SHAPED OVERLAP. THE RISER HORIZONTAL REBAR SHALL ALSO EXTEND 1'-6" MIN. INTO THE WING WALLS.
 - VERTICAL REBAR SHALL EXTEND INTO BASE WITH A 1'-6" L-SHAPE OVERLAP.
 - CHAMFER ALL EXPOSED EDGES 1/2" X 1/2".
 - PROVIDE TRASH RACK AT THE WEIR (REMOVABLE, GALVANIZED AND PAINTED) PER THE TRASH RACK DETAIL.
 - SLOPE RISER BOTTOM 2% MIN. TOWARDS OUTFALL INVERT.
 - ALL PIPE CONNECTIONS MUST BE WATERTIGHT. CONTRACTOR SHALL INSTALL 12" THICK CONCRETE PROJECTION COLLAR AROUND 48" RCCP OUTFALL, EXTENDING 12" BEYOND O.D. AND REINFORCE WITH 4"X4" WWF. APPLY NON-SHRINK GROUT TO SEAL COLLAR TO RISER, OR USE A-LOK GASKETS.
 - PROVIDE MANHOLE STEPS PER HO. CO. STDS. DETAIL G 5.21.
 - PLACE A STANDARD 2 FT # HOWARD CO. SIDEWALK STORM DRAIN F&C IN TOP SLAB.
 - THE TOP SLAB SHALL NOT BE STRUCTURALLY ATTACHED TO THE VERTICAL RISER WALLS.
 - IF RISER IS SUPPLIED IN SECTIONS, THE JOINTS SHALL BE WATERTIGHT PER RISER JOINT DETAIL. BOLT SECTIONS TOGETHER AT EACH JOINT WITH THREE (3) RUSTPROOF, 2" X 6" (1/4" THICK) FLAT BAR CONNECTIONS WITH 1/2" BOLTS EMBEDDED IN TO RISER.
 - USE PROVIDED DIMENSIONS; DO NOT SCALE DRAWINGS.

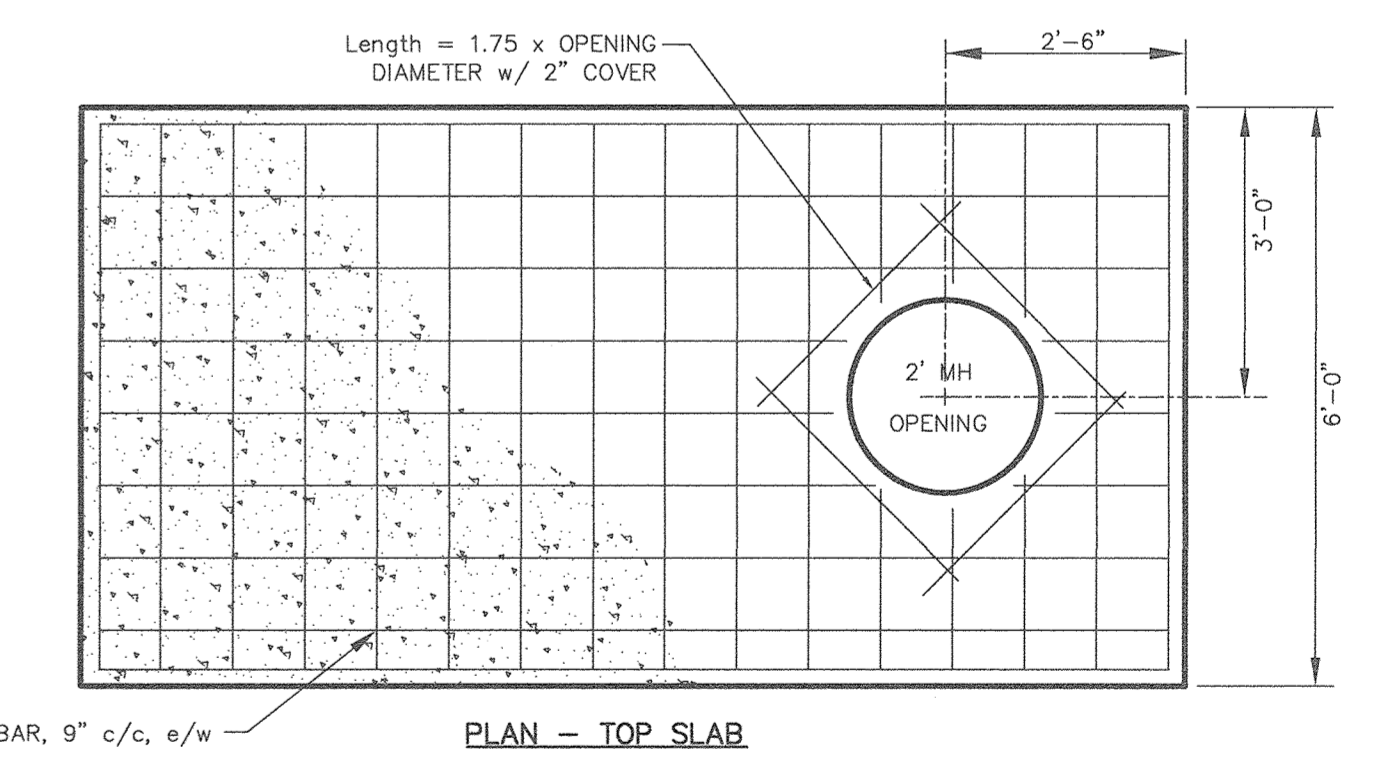
- TRASH RACK NOTES**
- THE TRASH RACK SHALL BE GALVANIZED AFTER FABRICATION AND PAINTED "BATTLESHIP GRAY".
 - TRASH RACK SHALL CONFORM TO HOWARD COUNTY AND MD-37B (SMALL POND DESIGN) SPECIFICATIONS.
 - REBAR SHALL BE #4 SMOOTH STEEL BARS.
 - THE TRASH RACK FABRICATOR MAY SUBSTITUTE ANGLED BARS FOR FLAT BARS.
 - THE TRASH RACK SHALL BE INSTALLED SO AS TO EXTEND 8" BELOW THE WEIR CREST WITH 12" CLEARANCE ABOVE THE TIMBER SUMP INVERT.
 - THE RISER SHALL BE FIELD-MEASURED PRIOR TO THE TRASH RACK FABRICATION TO ENSURE AN EXACT TRASH RACK FIT. THE FABRICATOR CAN MAKE MINOR ADJUSTMENTS TO THE TRASH RACK DIMENSIONS (B*) TO MEET OVERALL AND INTENDED DIMENSIONS. TRASH RACK IS CENTERED ON OPENING.
 - WEIR TRASH RACK: NO DIAGONAL OPENING SHALL EXCEED 17".
 - WEIR TRASH RACK BOTTOM DIMENSION CALCULATION: 100-YR WEIR FLOW DEPTH = 2.31'; WEIR WIDTH = 6.83'; FLOW AREA = 2.31' X 6.83' = 15.8 sf. AREA UNDER TRASH RACK = BOTTOM WIDTH X PROTRUSION = 9' X 1.83' = 16.5 sf > 15.8 sf.
 - PLACE TOP SLAB BOLTS NEAR VERTICAL CENTER OF TOP SLAB, 3" MIN. COVER.



KEYWAY DETAIL
NOT TO SCALE



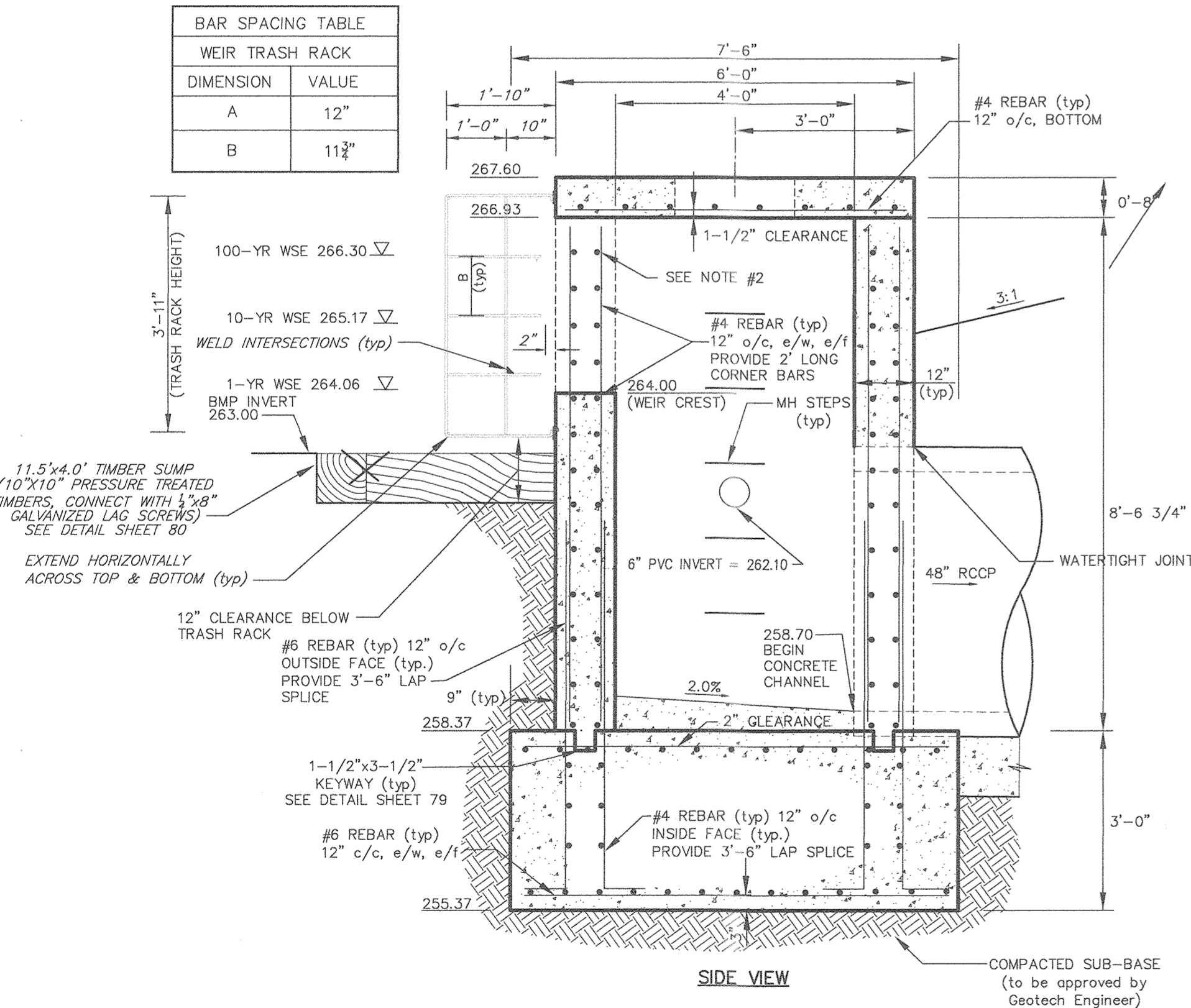
PLAN - SIDE VIEW



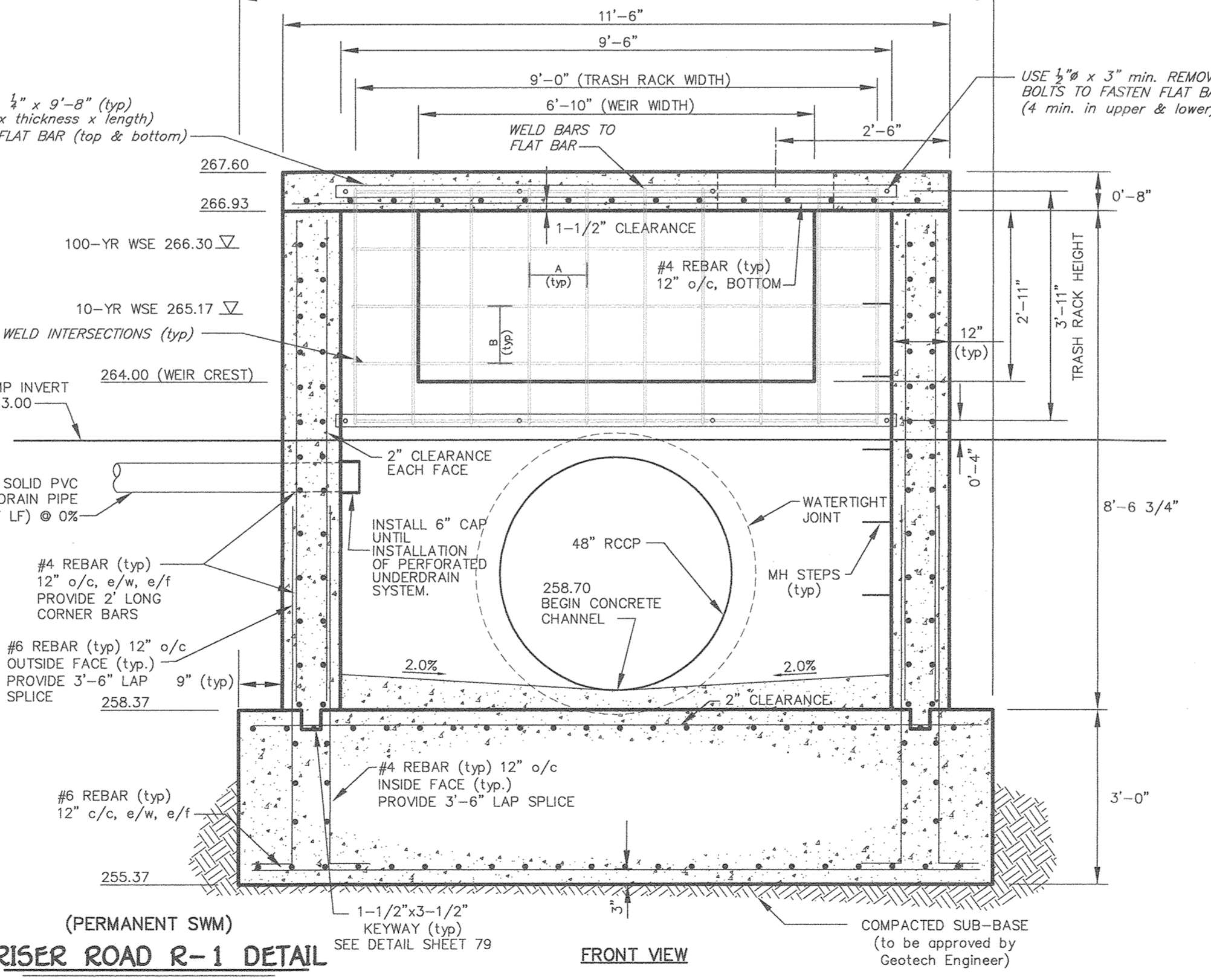
PLAN - TOP SLAB

NOTE:
THIS FACILITY WAS CONSTRUCTED UNDER A REDLINE REVISION TO F-17-064 CHASE PROPERTY AT MISSION ROAD. FINAL CONVERSION TO SWM SHALL BE DONE UNDER THIS PLAN.

BAR SPACING TABLE	
WEIR TRASH RACK	
DIMENSION	VALUE
A	12"
B	11 3/4"



(PERMANENT SWM)
RISER ROAD R-1 DETAIL
SCALE: 1" = 2'



(PERMANENT SWM)
RISER ROAD R-1 DETAIL
SCALE: 1" = 2'

FISHER, COLLINS & CARTER, INC.
CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
CENTENNIAL SQUARE OFFICE PARK - 10272 BALTIMORE NATIONAL PIKE
ELLSWORTH CITY, MARYLAND 21042
(410) 461-2992

ENGINEER'S CERTIFICATE
I HEREBY CERTIFY THAT THIS PLAN HAS BEEN DESIGNED IN ACCORDANCE WITH THE CURRENT MARYLAND EROSION AND SEDIMENT CONTROL LAWS, REGULATIONS, AND STANDARDS REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE, AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

Signature: *Stephanie J. Tuite* DATE: 8/17/20
SIGNATURE OF ENGINEER DATE

DEVELOPER'S CERTIFICATE
I/WE HEREBY CERTIFY THAT ANY CLEARING, GRADING, CONSTRUCTION, OR DEVELOPMENT WILL BE DONE PURSUANT TO THIS APPROVED EROSION AND SEDIMENT CONTROL PLAN, INCLUDING INSPECTING AND MAINTAINING CONTROLS, AND THAT THE RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF TRAINING AT A MARYLAND DEPARTMENT OF THE ENVIRONMENT (MDE) APPROVED TRAINING PROGRAM FOR THE CONTROL ON EROSION AND SEDIMENT PRIOR TO BEGINNING THE PROJECT. I CERTIFY RIGHT OF ENTRY FOR PERIODIC ON-SITE EVALUATION BY HOWARD COUNTY, THE HOWARD SOIL CONSERVATION DISTRICT AND/OR MDE.

Signature: *James J. Kelly* DATE: 8-19-2020
SIGNATURE OF DEVELOPER DATE

*PROFESSIONAL CERTIFICATION. I HEREBY CERTIFY THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 30306, EXPIRATION DATE: JANUARY 12, 2022.

Signature: *Stephanie J. Tuite* DATE: 8/17/20
STEPHANIE J. TUITE, R.L.A., P.E., L.EED AP BC&D DATE

THESE PLANS FOR SWM BOND CONSTRUCTION, SOIL EROSION AND SEDIMENT CONTROL MEET THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

Signature: *Howard Soil Conservation District* DATE: _____
HOWARD SOIL CONSERVATION DISTRICT DATE

APPROVED: DEPARTMENT OF PLANNING AND ZONING

Signature: *John G...* DATE: 10/5/20
Director - Department of Planning and Zoning DATE

Signature: *John G...* DATE: 10/5/20
Chief, Division of Land Development DATE

Signature: *John G...* DATE: 8-24-20
Chief, Development Engineering Division DATE

PREPARED FOR
HOWARD COUNTY PUBLIC SCHOOL SYSTEM
9020 MENDENHALL COURT
SUITE 101
COLUMBIA, MARYLAND 21045
Attention: DANIEL LUBELEY
410-313-8203

Signature: *Stephanie J. Tuite* DATE: 8/17/20
Professional Engineer No. 38386 DATE

ADDRESS CHART	
PARCEL NO.	STREET ADDRESS
-	8500 RIDGELY'S RUN ROAD JESSUP, MARYLAND 20794

PROJECT	SECTION/AREA	PARCEL
HIGH SCHOOL #13	N/A	102, 349, 235

PLAT NO.	BLOCK NO.	ZONE	TAX MAP	ELEC. DIST.	CENSUS TR.
255A	18 & 24	RSC MXD-3	42 & 43	SIXTH	606901
285B	13 & 19	RSA-B MXD-3			

WATER CODE	SEWER CODE
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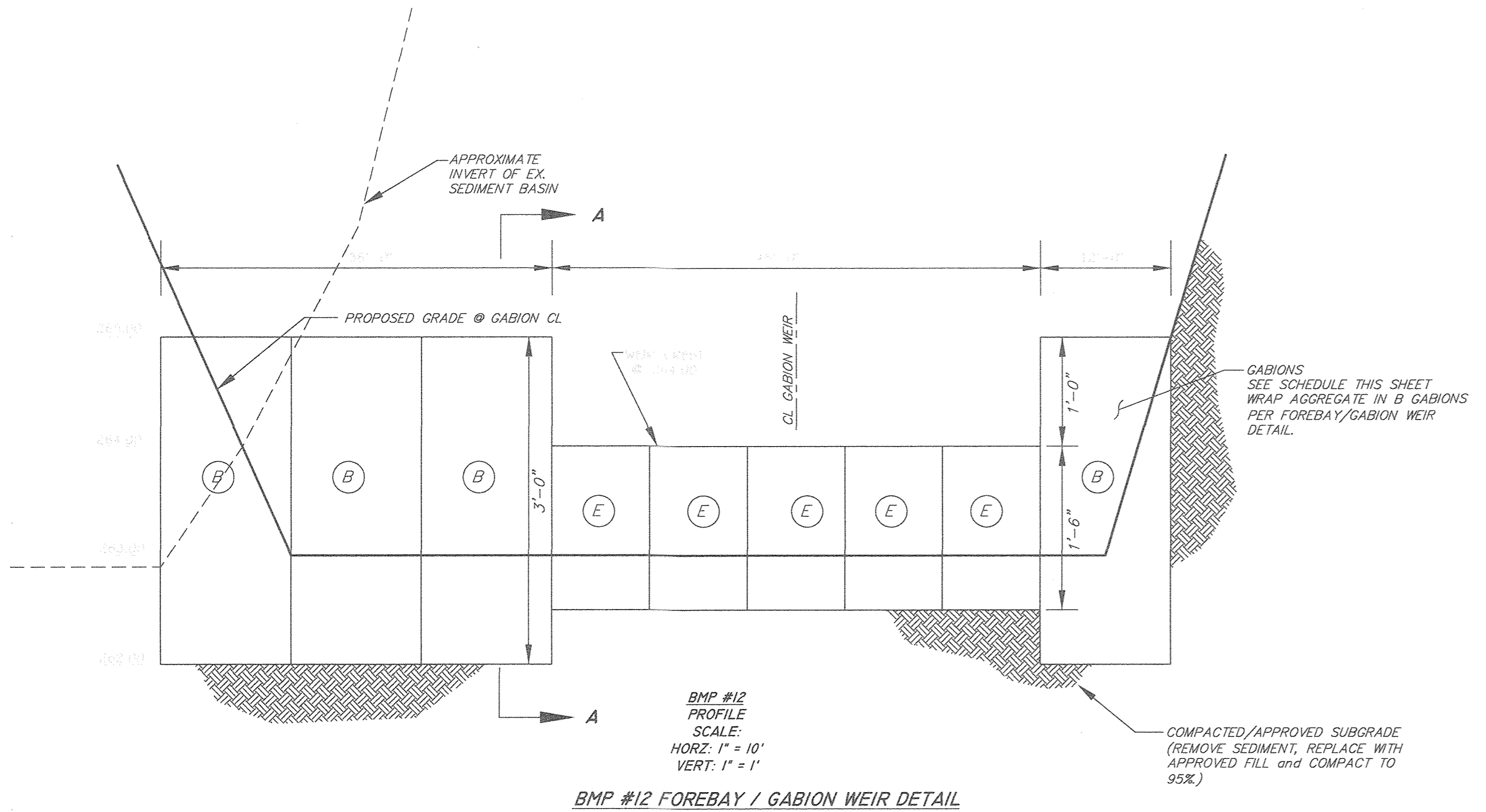
BMP #12 R-1 DETAILS & TEMPORARY S.W.M. DETAILS

HIGH SCHOOL #13 PARCELS 'A' THRU 'D'

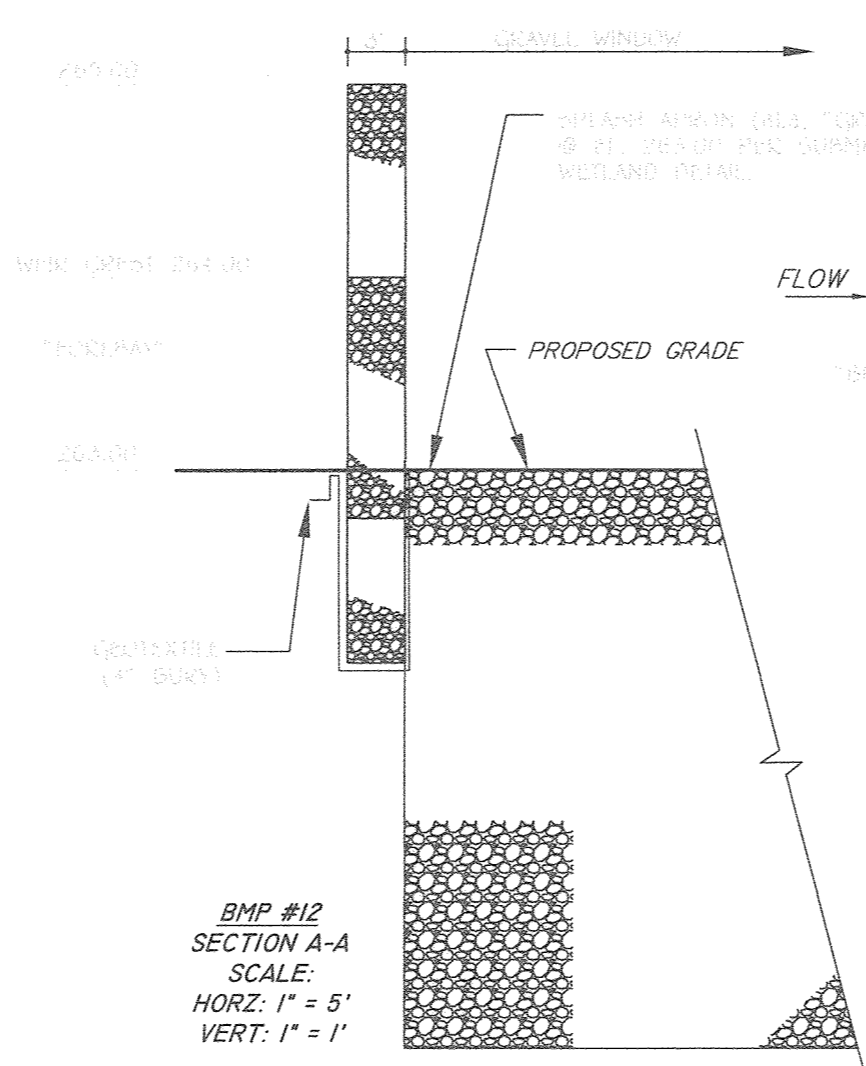
ZONED: R-5C MXD-3, R-5A-B MXD-3 AND R-12
PARCEL Nos.: 102, 349, 235
TAX MAP No.: 42 & 43 GRID No.: 24 & 19
SIXTH ELECTION DISTRICT HOWARD COUNTY, MARYLAND
SCALE: AS SHOWN DATE: AUGUST, 2020
SHEET 79 OF 131

BMP #12 FOREBAY GABION WEIR SCHEDULE (Gabion Basket Quantities)	
MANUFACTURER'S LETTER CODE/DIMENSIONS	QUANTITY
(B) 12'x3'x3'	4
(E) 9'x3'x1.5'	5

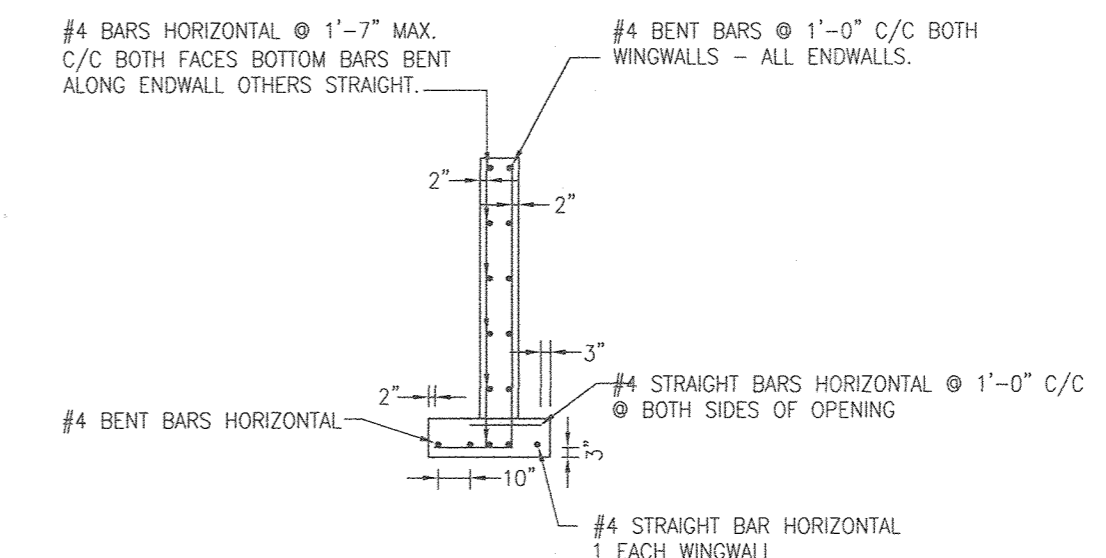
REFER TO SHEET 76 FOR FOREBAY/GABION WEIR NOTES.



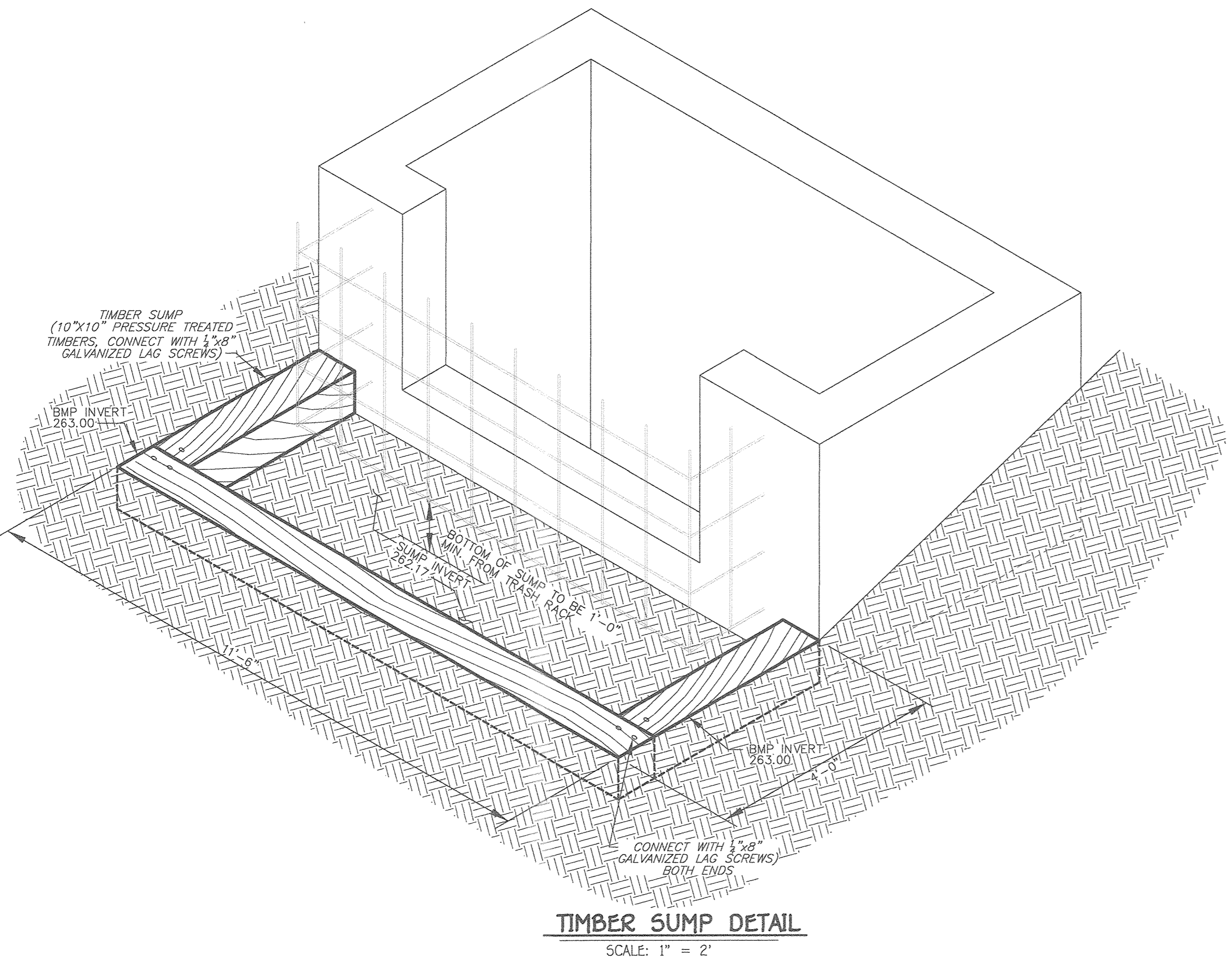
BMP #12 FOREBAY / GABION WEIR DETAIL



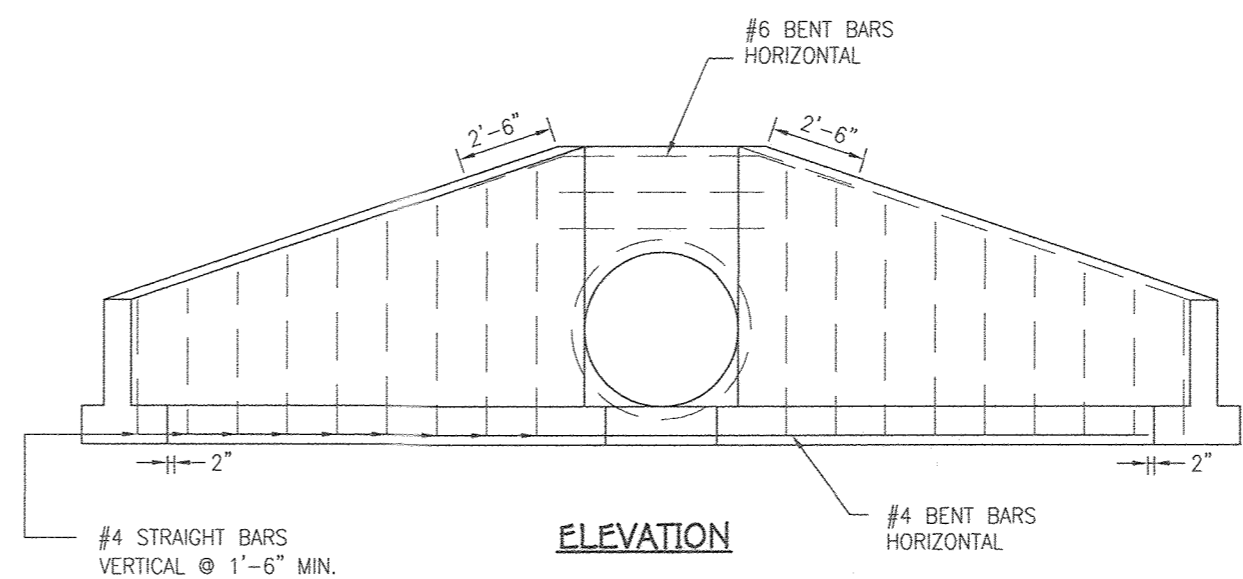
BMP #12 FOREBAY / GABION WEIR DETAIL



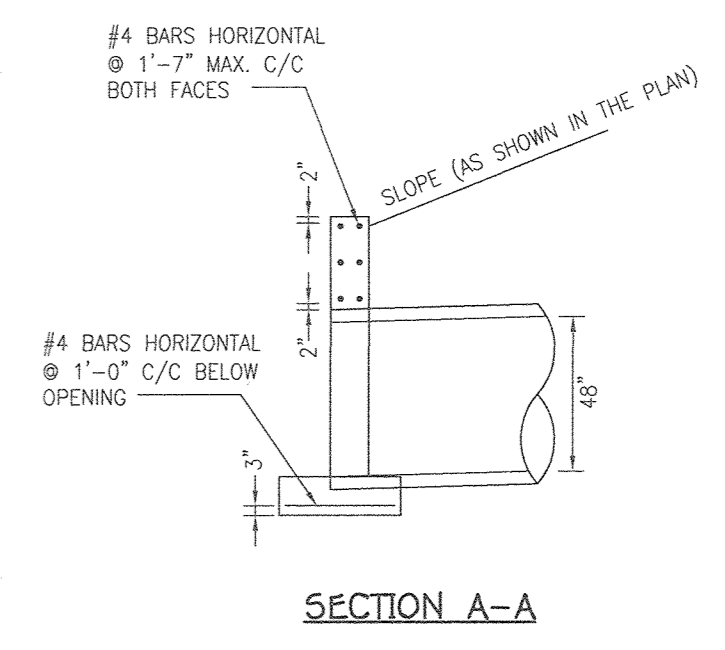
SECTION B-B DISPOSITION OF BARS DETAIL



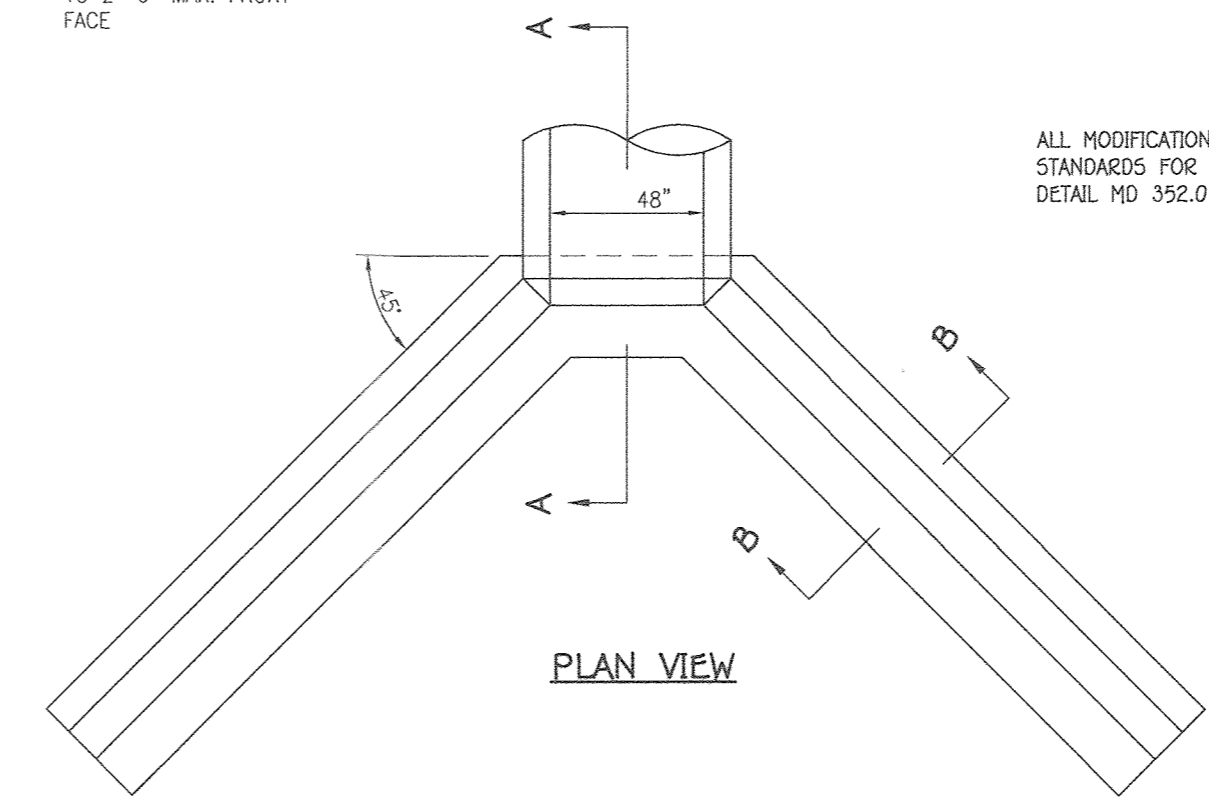
TIMBER SUMP DETAIL



ELEVATION

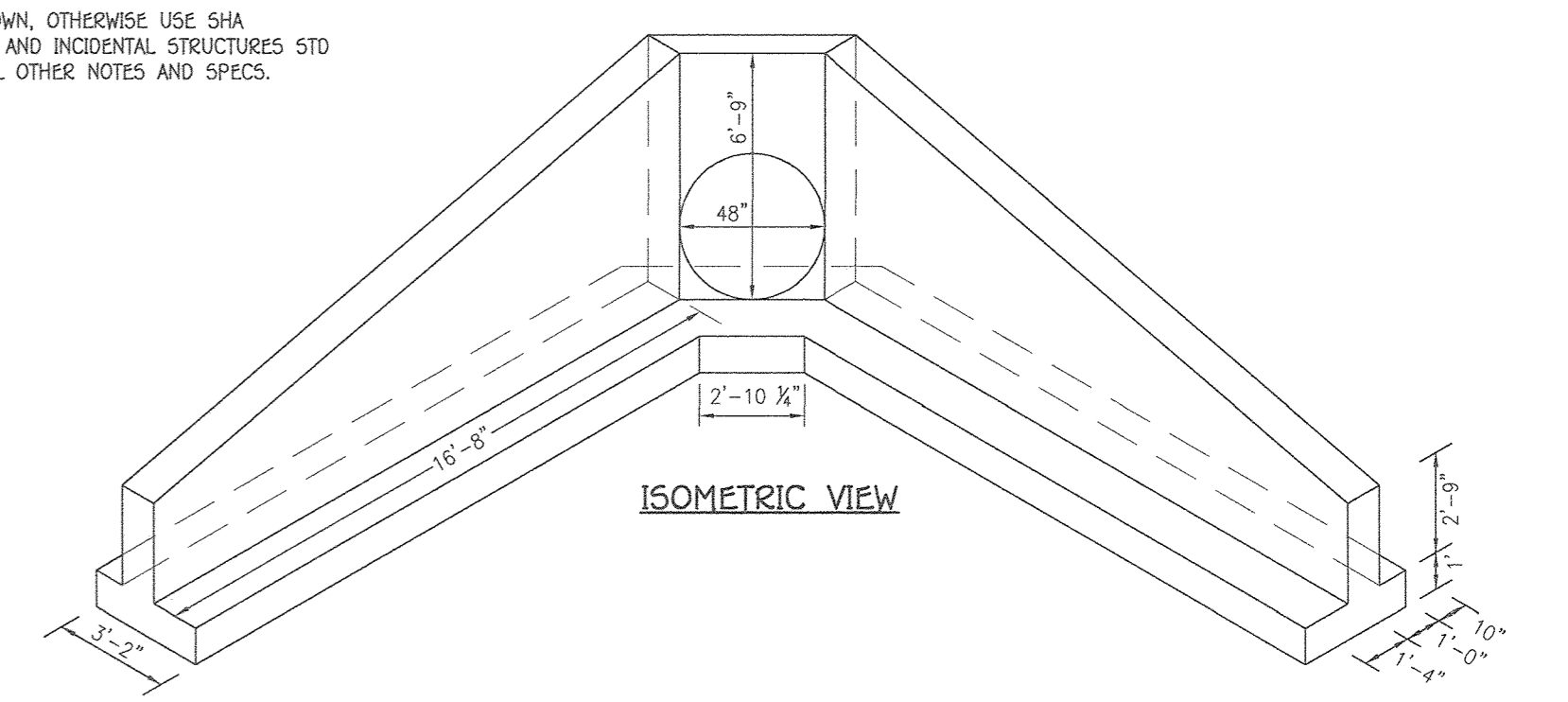


SECTION A-A



PLAN VIEW

HEADWALL ROAD E-4
DETAIL (BMP #12)
SCALE: 1" = 5"



ISOMETRIC VIEW

ALL MODIFICATIONS ARE SHOWN, OTHERWISE USE SHS STANDARDS FOR HIGHWAYS AND INCIDENTAL STRUCTURES STD DETAIL MD 352.01 FOR ALL OTHER NOTES AND SPECS.

NOTE:
THIS FACILITY WAS CONSTRUCTED UNDER A REDLINE REVISION TO F-17-064 CHASE PROPERTY AT MISSION ROAD. FINAL CONVERSION TO SWM SHALL BE DONE UNDER THIS PLAN.

FISHER, COLLINS & CARTER, INC.
CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
CENTENNIAL SQUARE OFFICE PARK - 10272 BALTIMORE NATIONAL PIKE
ELLSWORTH CITY, MARYLAND 21042
(410) 461-2999

ENGINEER'S CERTIFICATE
"I HEREBY CERTIFY THAT THIS PLAN HAS BEEN DESIGNED IN ACCORDANCE WITH THE CURRENT MARYLAND EROSION AND SEDIMENT CONTROL LAWS, REGULATIONS, AND STANDARDS REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT."
Signature: *Stephen Tute* DATE: 8/17/20

DEVELOPER'S CERTIFICATE
"I/WE HEREBY CERTIFY THAT ANY CLEARING, GRADING, CONSTRUCTION, OR DEVELOPMENT WILL BE DONE PURSUANT TO THIS APPROVED EROSION AND SEDIMENT CONTROL PLAN, INCLUDING INSPECTING AND MAINTAINING CONTROLS, AND THAT THE RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF TRAINING AT A MARYLAND DEPARTMENT OF THE ENVIRONMENT (MDE) APPROVED TRAINING PROGRAM FOR THE CONTROL ON EROSION AND SEDIMENT PRIOR TO BEGINNING THE PROJECT. I CERTIFY RIGHT OF ENTRY FOR PERIODIC ON-SITE EVALUATION BY HOWARD COUNTY, THE HOWARD SOIL CONSERVATION DISTRICT AND/OR MDE."
Signature: *James J. Kelly* DATE: 8-19-2020

"PROFESSIONAL CERTIFICATION. I HEREBY CERTIFY THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 38386, EXPIRATION DATE: JANUARY 12, 2022."
Signature: *Stephanie M. Tute* DATE: 8/17/20
STEPHANIE M. TUTE, RLA, P.E., LEED AP BC&D

APPROVED: DEPARTMENT OF PLANNING AND ZONING
Director: *Ally Conroy* DATE: 10/5/20
Chief of Division of Land Development: *Ally Conroy* DATE: 10/5/20
Chief, Development Engineering Division: *Ally Conroy* DATE: 8/26/20

HOWARD SOIL CONSERVATION DISTRICT DATE: _____

PREPARED FOR
HOWARD COUNTY PUBLIC SCHOOL SYSTEM
9020 MENDENHALL COURT
SUITE 'C'
COLUMBIA, MARYLAND 21045
Attention: DANIEL LUBELEY
410-313-8203

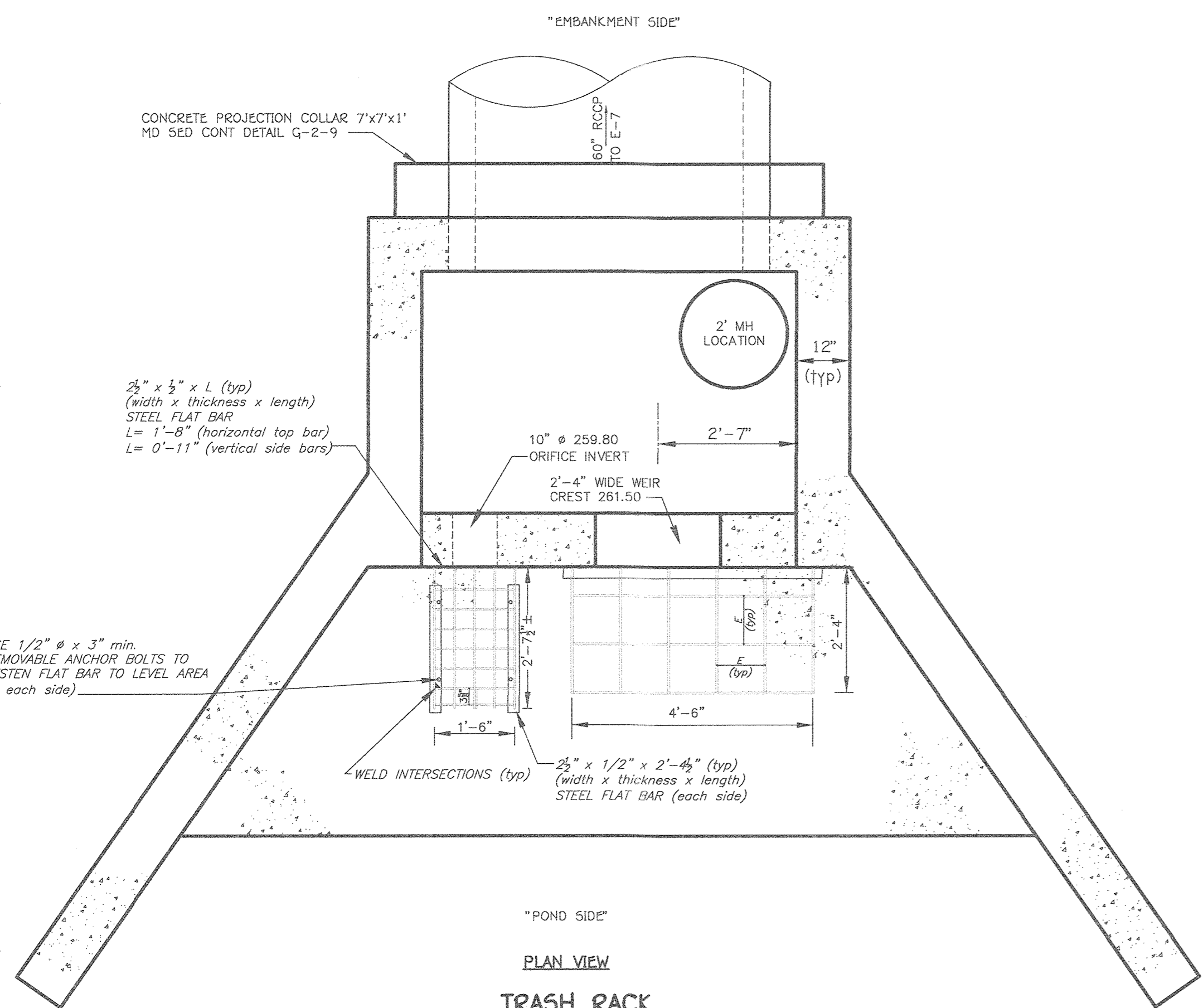
STATE OF MARYLAND
REGISTERED PROFESSIONAL ENGINEER
No. 38386
Stephanie M. Tute

ADDRESS CHART					
PARCEL NO.	STREET ADDRESS				
-	8500 RIDGELY'S RUN ROAD JESSUP, MARYLAND 20794				
PROJECT	SECTION/AREA				
HIGH SCHOOL #13	N/A				
PARCEL	102, 349, 235				
PLAT NO.	BLOCK NO.	ZONE	TAX MAP	ELEC. DIST.	CENSUS TR.
85008	18 & 24	R-12	42 & 43	SIXTH	606901
85532	13 & 19	RSA-8 MXD-3			
WATER CODE	SEWER CODE		---		

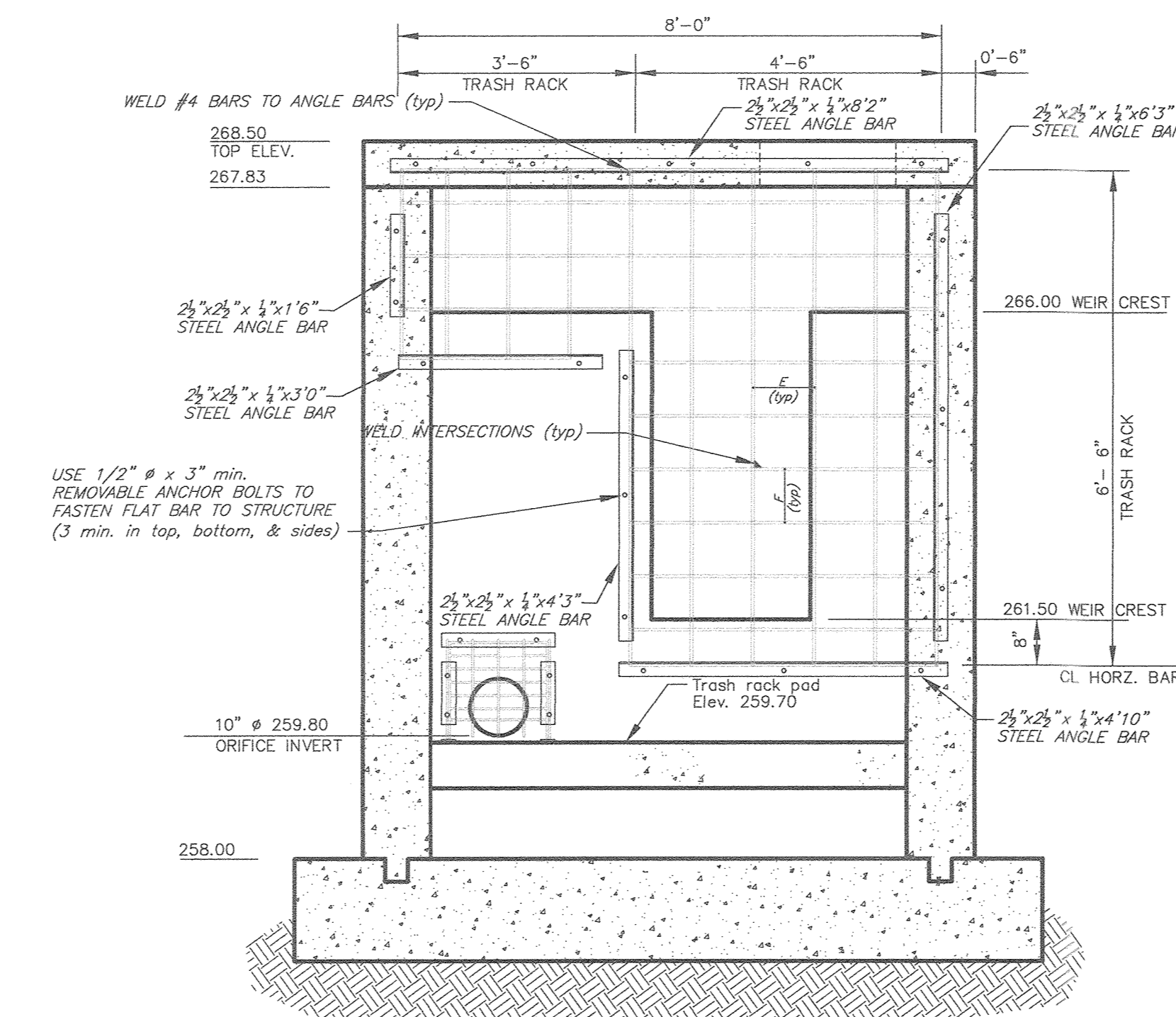
BMP #12 DETAILS

**HIGH SCHOOL #13
PARCELS 'A' THRU 'D'**

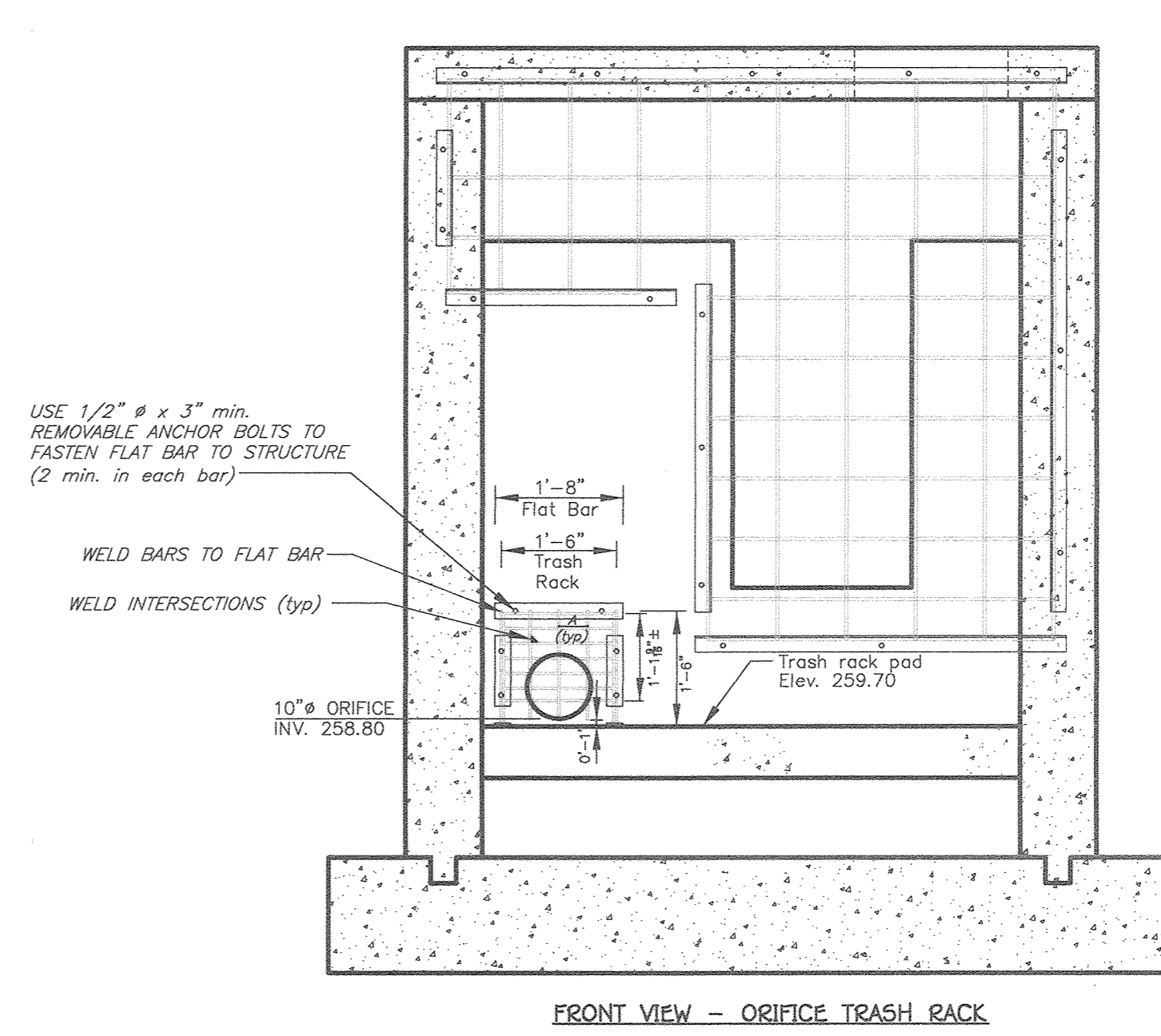
ZONED: R-5C MXD-3, R-5A-8 MXD-3 AND R-12
PARCEL Nos.: 102, 349, 235
TAX MAP No.: 42 & 43 GRID No.: 24 & 19
SIXTH ELECTION DISTRICT HOWARD COUNTY, MARYLAND
SCALE: AS SHOWN DATE: AUGUST, 2020
SHEET 80 OF 131



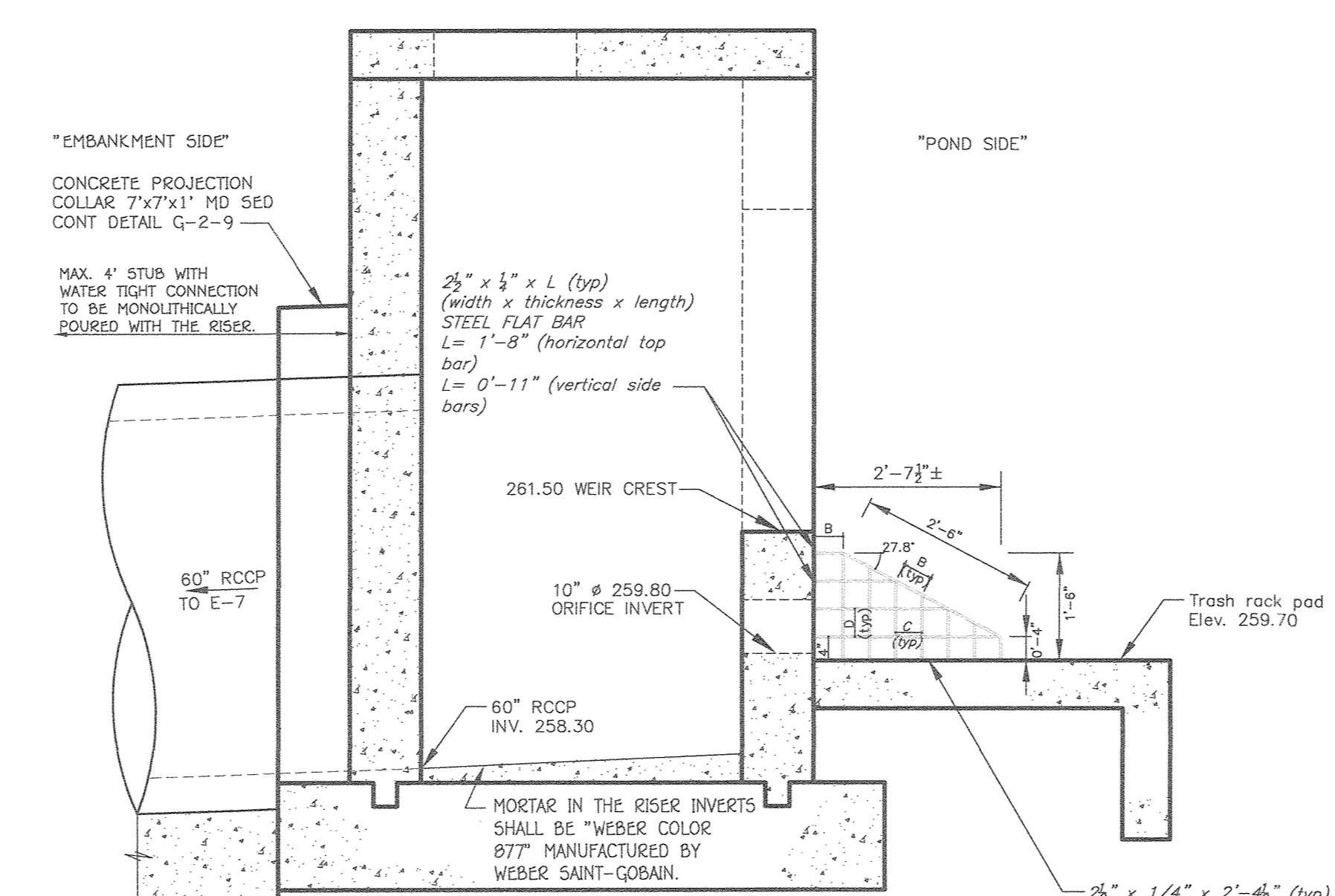
TRASH RACK
H5-13 R-9 DETAIL (SWM #15)
SCALE: 1" = 2'



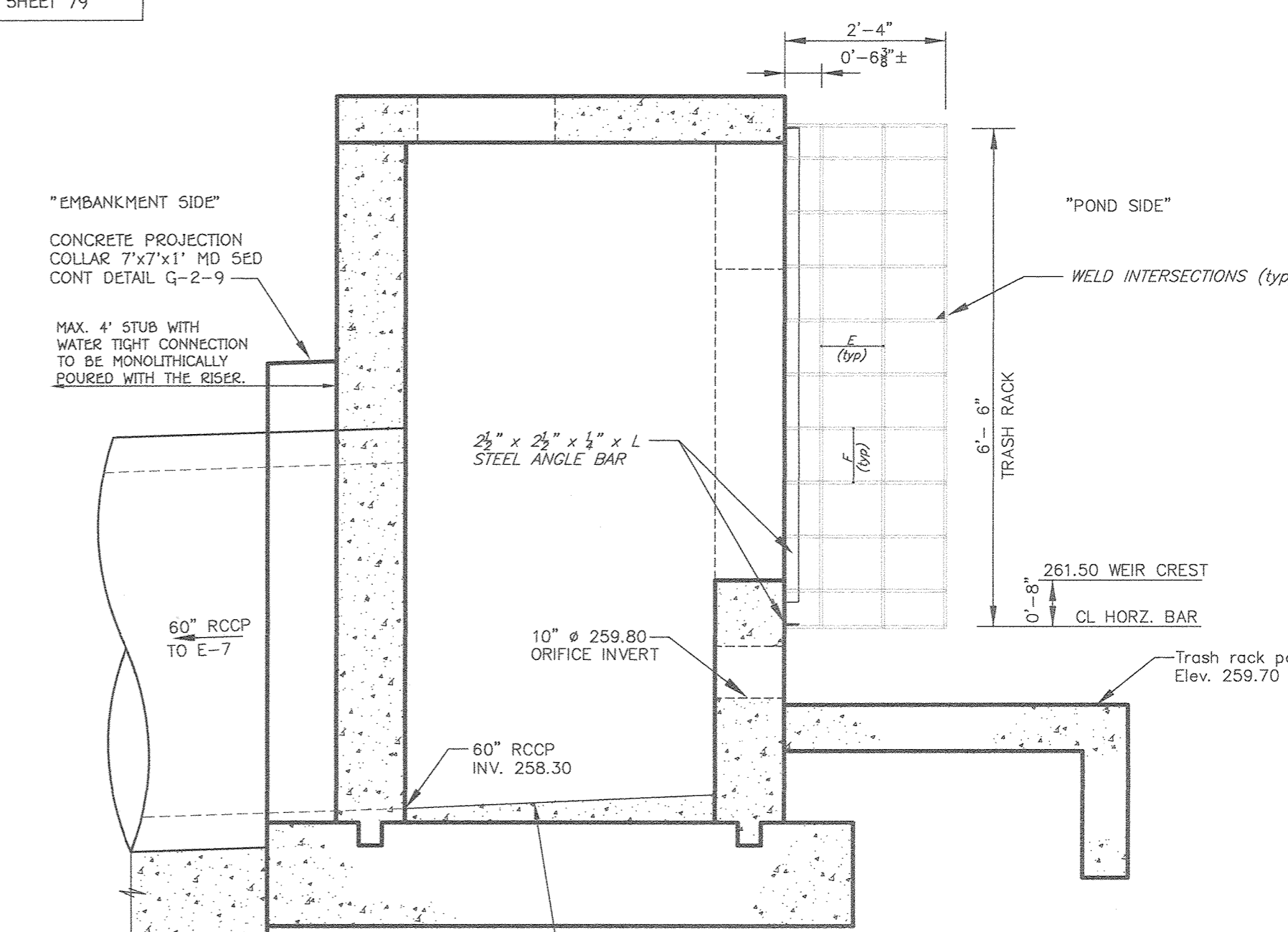
FRONT VIEW - TRASH RACKS
FRONT VIEW - ORIFICE TRASH RACK
TRASH RACK
H5-13 R-9 DETAIL (SWM #15)
SCALE: 1" = 2'



FRONT VIEW - ORIFICE TRASH RACK



SIDE VIEW - ORIFICE TRASH RACK



SIDE VIEW - WEIR TRASH RACK

TRASH RACK NOTES

- SEE STORMWATER MANAGEMENT RISER DETAIL ROAD R-9 FOR STRUCTURE DIMENSIONS NOT SHOWN ON THIS DETAIL.
- THIS DETAIL IS FOR TRASH RACK CONSTRUCTION ONLY.
- THE TRASH RACK SHALL BE GALVANIZED AFTER FABRICATION AND PAINTED "BATTLESHIP GRAY".
- TRASH RACK SHALL CONFORM TO HOWARD COUNTY AND MD-378 (SMALL POND DESIGN) SPECIFICATIONS.
- REBAR SHALL BE #4 SMOOTH STEEL BARS.
- THE TRASH RACK FABRICATOR MAY SUBSTITUTE ANGLED BARS FOR FLAT BARS.
- THE WEIR TRASH RACK SHALL BE INSTALLED SO AS TO EXTEND 8" BELOW THE WEIR CREST WITH 12" CLEARANCE ABOVE THE CONCRETE PAD.
- THE RISER SHALL BE FIELD-MEASURED PRIOR TO THE TRASH RACK FABRICATION TO ENSURE AN EXACT TRASH RACK FIT. THE FABRICATOR CAN MAKE MINOR ADJUSTMENTS TO THE TRASH RACK DIMENSIONS (1/8") TO MEET INTENDED AND OVERALL DIMENSIONS. TRASH RACKS ARE CENTERED ON OPENINGS.
- ORIFICE TRASH RACK: NO DIAGONAL OPENING SHALL EXCEED 6.75".
- WEIR TRASH RACK: NO DIAGONAL OPENING SHALL EXCEED 15".
- ORIFICE TRASH RACK VERTICAL AND SLOPED BARS TO BE ON OUTSIDE/ABOVE INNER BARS AS SHOWN.
- WEIR TRASH RACK BOTTOM DIMENSION CALCULATION: 100-YR WEIR FLOW AREA = 2.23 x (66.56-61.50) + 4.67 x (66.56-66.00) = 14.4 sf. AREA UNDER TRASH RACK = 8' x 2.33' = 18.6 sf; 18.6 sf > 14.4 sf IS OK.
- PLACE TOP SLAB BOLTS NEAR VERTICAL CENTER, 3" MIN. COVER.

FOR STRUCTURAL DETAILS SEE SHEET 79

BAR SPACING TABLE	
ORIFICE TRASH RACK	
DIMENSION	VALUE
A	4 1/2"
B	5"
C	4 3/8" ±
D	4 3/8" ±

BAR SPACING TABLE	
WEIR TRASH RACK	
DIMENSION	VALUE
E	10 1/8" ±
F	9 3/8" ±

NOTE:
THIS FACILITY WAS CONSTRUCTED UNDER A REDLINE REVISION TO F-17-064 CHASE PROPERTY AT MISSION ROAD. FINAL CONVERSION TO SWM SHALL BE DONE UNDER THIS PLAN.

FISHER, COLLINS & CARTER, INC.
CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
CENTENNIAL SQUARE OFFICE PARK - 10272 BALTIMORE NATIONAL PLACE
ELLSWORTH CITY, MARYLAND 21042
(410) 461-3295

ENGINEER'S CERTIFICATE
I HEREBY CERTIFY THAT THIS PLAN HAS BEEN DESIGNED IN ACCORDANCE WITH THE CURRENT MARYLAND EROSION AND SEDIMENT CONTROL LAWS, REGULATIONS, AND STANDARDS REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE, AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

Signature: *Stephanie J. White* DATE: 8/17/20
SIGNATURE OF DEVELOPER: *James D. Kelly* DATE: 8-19-2020

DEVELOPER'S CERTIFICATE
I/WE HEREBY CERTIFY THAT ANY CLEARING, GRADING, CONSTRUCTION, OR DEVELOPMENT WILL BE DONE PURSUANT TO THIS APPROVED EROSION AND SEDIMENT CONTROL PLAN, INCLUDING INSPECTING AND MAINTAINING CONTROLS, AND THAT THE RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF TRAINING AT A MARYLAND DEPARTMENT OF THE ENVIRONMENT (MDE) APPROVED TRAINING PROGRAM FOR THE CONTROL ON EROSION AND SEDIMENT PRIOR TO BEGINNING THE PROJECT. I CERTIFY RIGHT OF ENTRY FOR PERIODIC ON-SITE EVALUATION BY HOWARD COUNTY, THE HOWARD SOIL CONSERVATION DISTRICT AND/OR MDE.

"PROFESSIONAL CERTIFICATION. I HEREBY CERTIFY THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 38386, EXPIRATION DATE: JANUARY 12, 2022."

Signature: *Stephanie J. White* DATE: 8/17/20
STEPHANIE J. WHITE, RLA, P.E., LEAD AP BC&D

APPROVED: DEPARTMENT OF PLANNING AND ZONING
Director: *Alfonso Gomez* DATE: 10/15/20
Chief, Division of Land Development: *Chad Smith* DATE: 8-28-20
Chief, Development Engineering Division

THESE PLANS FOR SMALL POND CONSTRUCTION, SOIL EROSION AND SEDIMENT CONTROL MEET THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

HOWARD SOIL CONSERVATION DISTRICT DATE: _____

PREPARED FOR
HOWARD COUNTY PUBLIC SCHOOL SYSTEM
9020 MENDENHALL COURT
SUITE "C"
COLUMBIA, MARYLAND 21045
Attention: DANIEL LUBELEY
410-313-8203

STATE OF MARYLAND
DEPARTMENT OF PLANNING AND ZONING
PROFESSIONAL ENGINEER
No. 38386
Stephanie J. White

ADDRESS CHART

PARCEL NO.	STREET ADDRESS
-	8500 RIDGELY'S RUN ROAD JESSUP, MARYLAND 20794

PROJECT: HIGH SCHOOL #13 SECTION/AREA: N/A PARCEL: 102, 349, 235

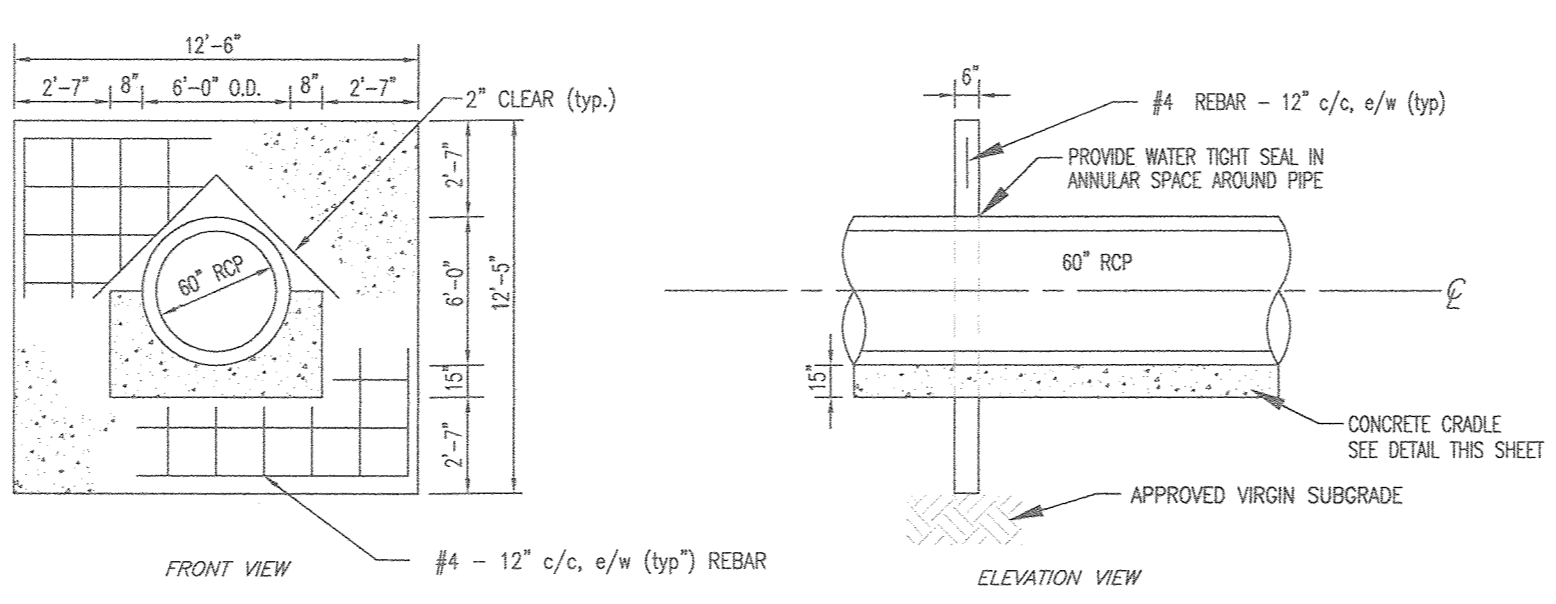
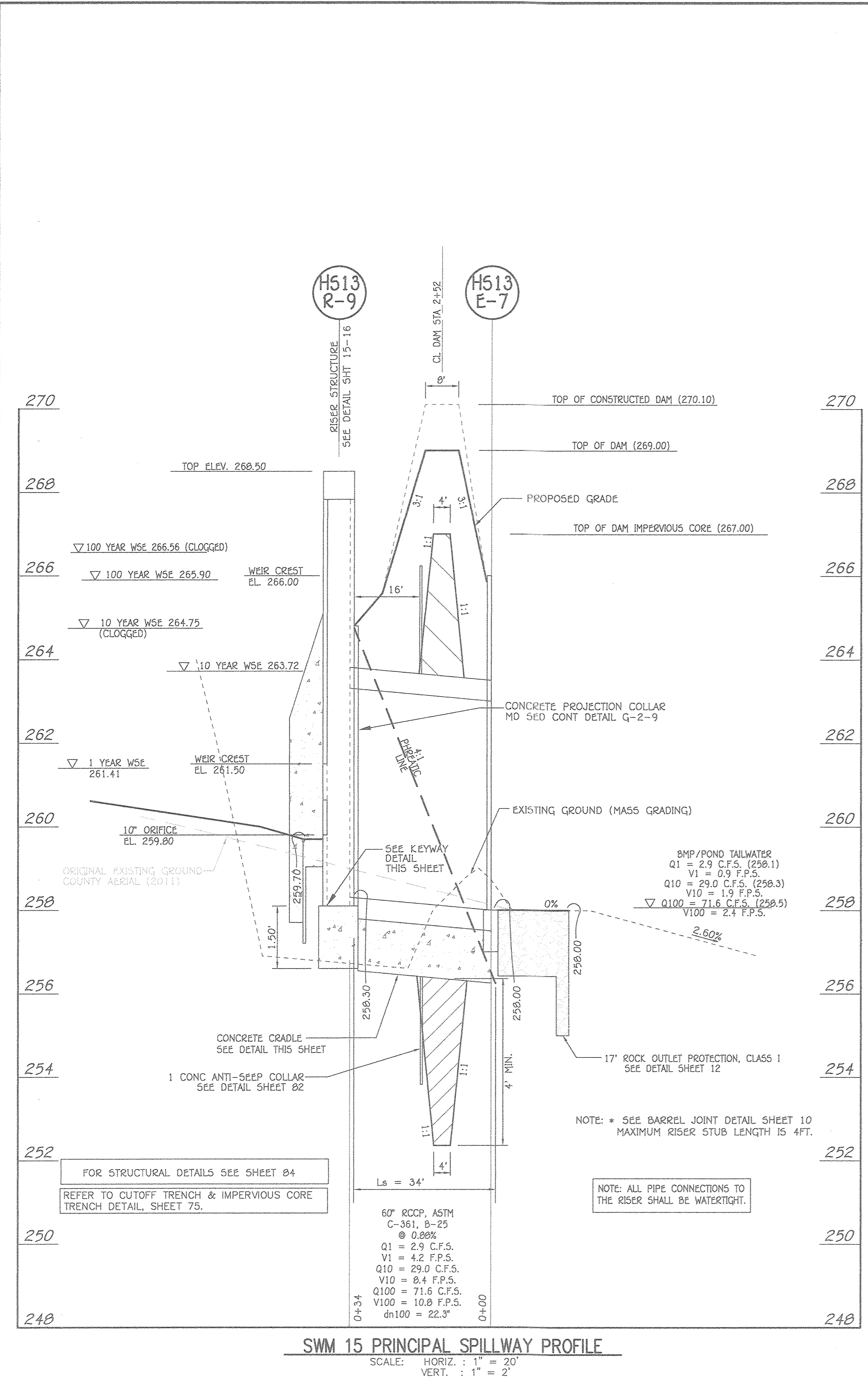
PLAT NOS.	BLOCK NO.	ZONE	TAX MAP	ELEC. DIST.	CENSUS TR.
16528 13 & 19	18 & 24	RS-MXD-3 RSA-8 MXD-3	42 & 43	SIXTH	606901

WATER CODE: --- SEWER CODE: ---

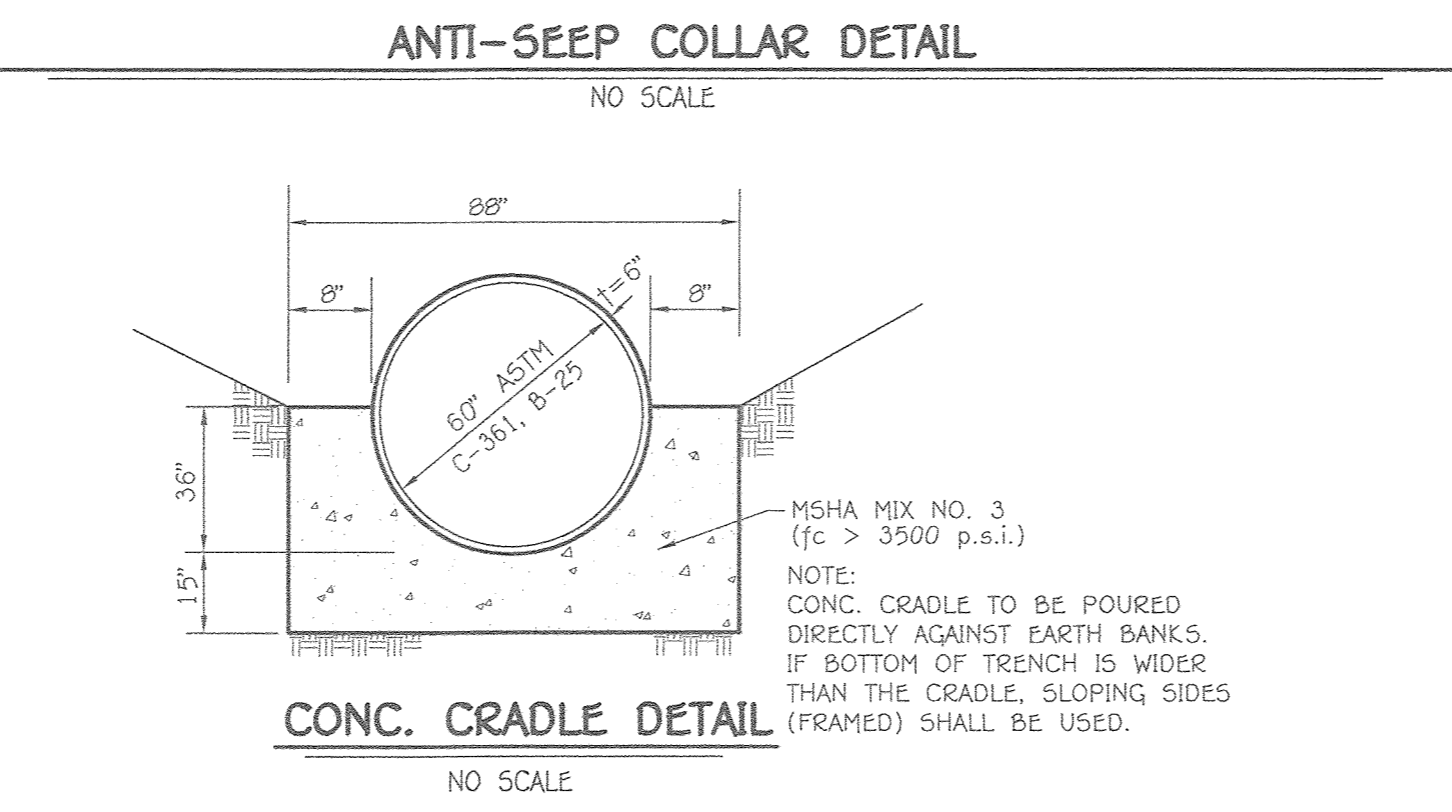
SWM #15 TRASH RACK DETAILS

HIGH SCHOOL #13
PARCELS 'A' THRU 'D'

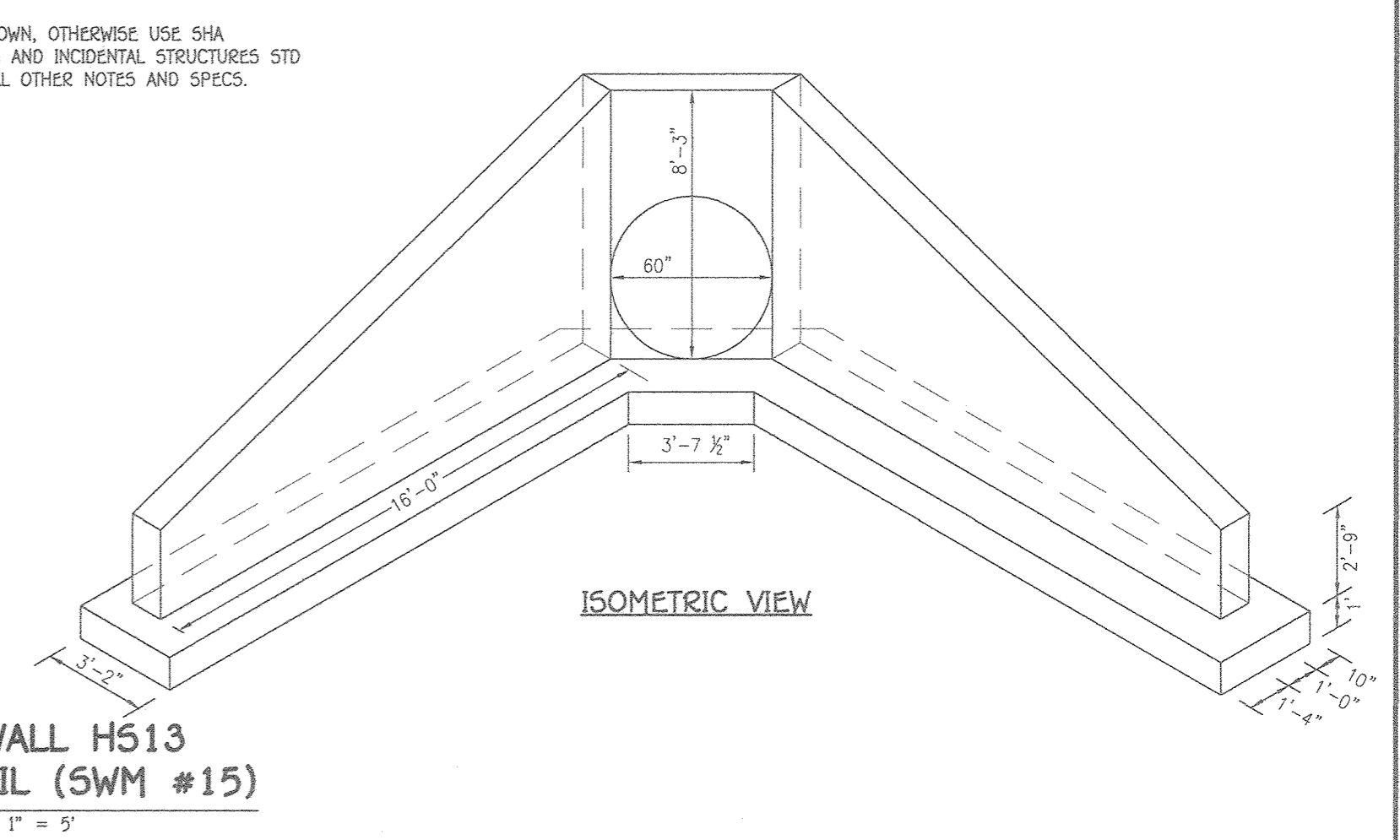
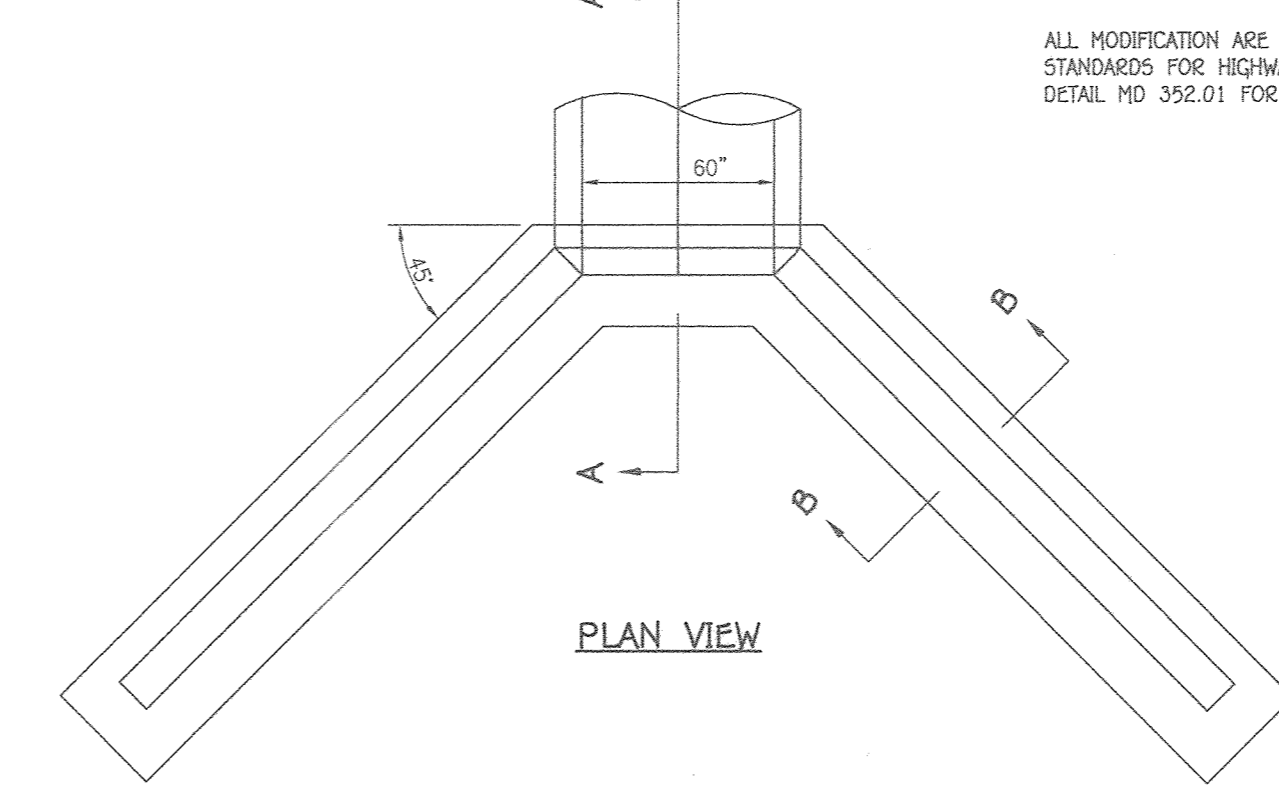
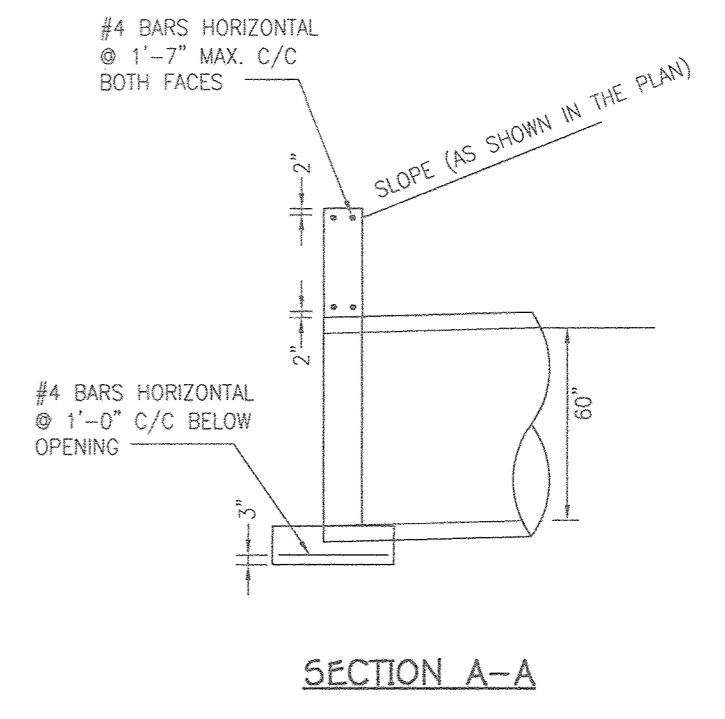
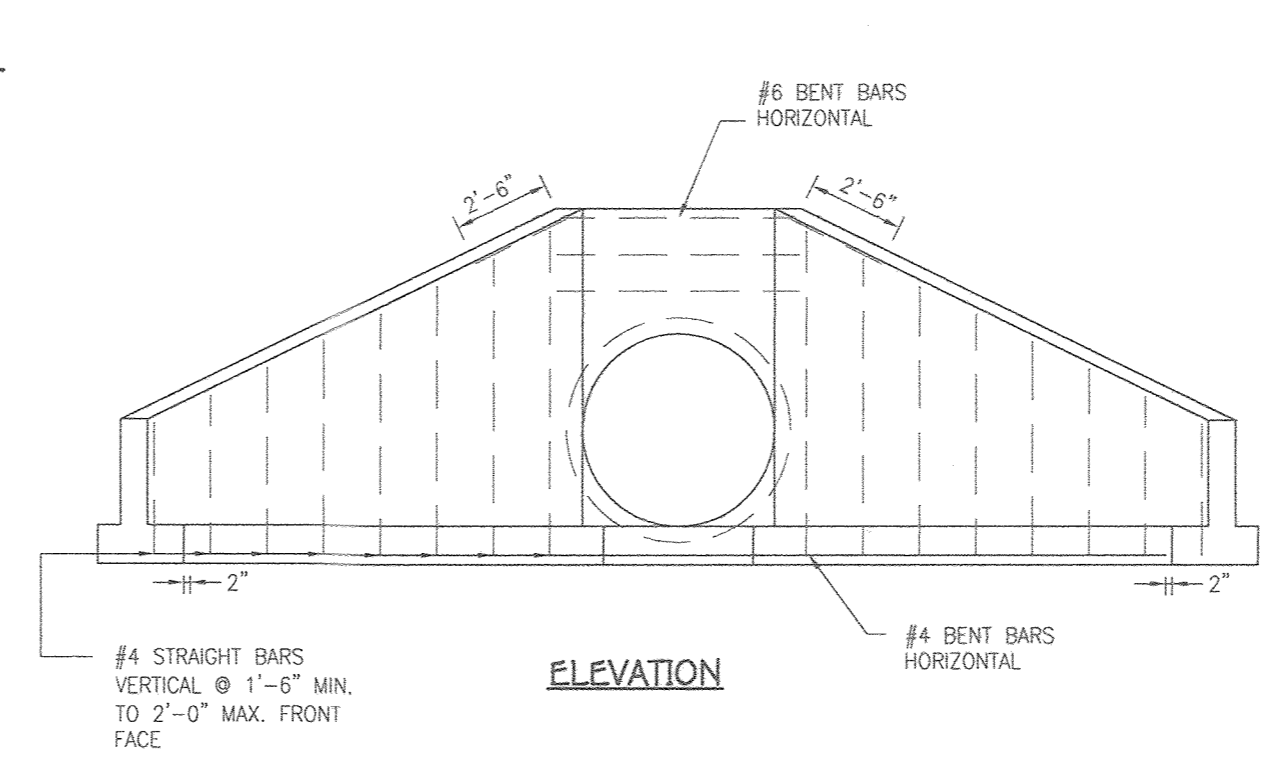
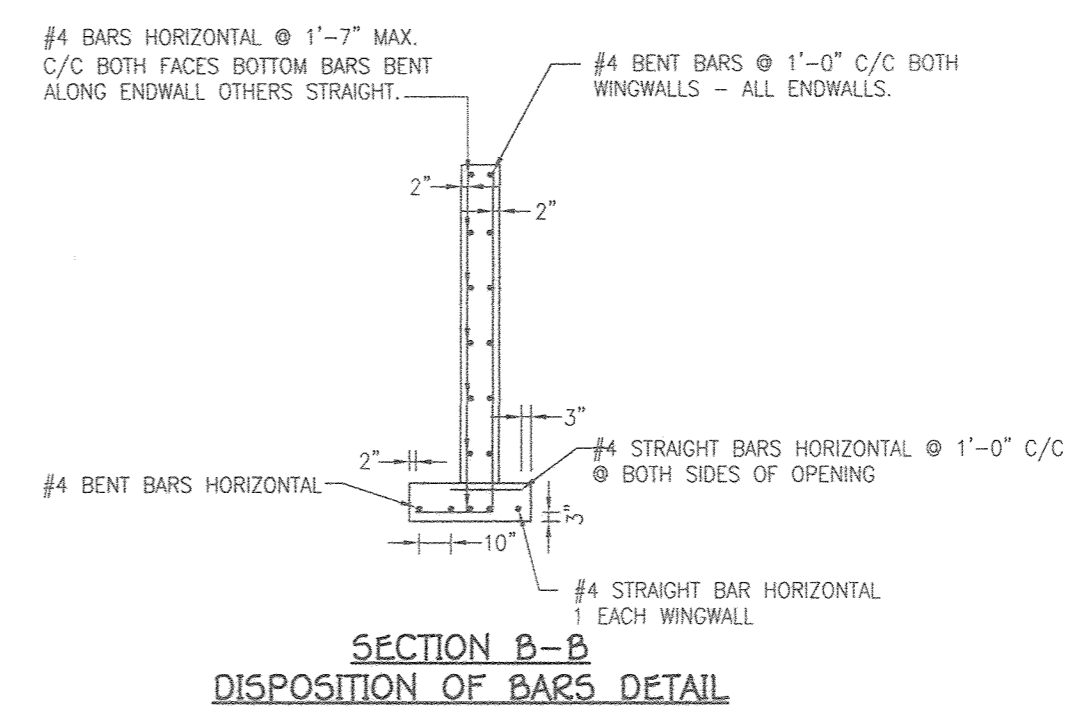
ZONED: R-5C MXD-3, R-5A-8 MXD-3 AND R-12
PARCEL Nos.: 102, 349, 235
TAX MAP No.: 42 & 43 GRID No.: 24 & 19
SIXTH ELECTION DISTRICT HOWARD COUNTY, MARYLAND
SCALE: AS SHOWN DATE: AUGUST, 2020
SHEET 01 OF 131



- ANTI-SEEP COLLAR NOTES**
1. LOWER HALF OF COLLAR SHALL BE POURED CONCURRENTLY WITH THE CRADLE POUR.
 2. REBAR IS SHOWN SCHEMATICALLY AND SHALL BE PLACED THROUGHOUT THE ENTIRE COLLAR.
 3. PROVIDE A WATER TIGHT SEAL IN ANNULAR SPACE BETWEEN PIPE AND COLLAR USING MASTIC SEALER. USE A "A-LOK" JOINT SEAL PRODUCT.
 4. LOCATE COLLAR 2" MINIMUM FROM JOINT AND MAINTAIN 10' MINIMUM SEPARATION FROM COLLAR TO COLLAR OR COLLAR TO RISER.
 5. PLACE TWO (2) ADDITIONAL REBARS (4' MIN. LONG) AT RIGHT ANGLES TO REBAR GRID 2" FROM PIPE O.D.
 6. COLLAR MATERIAL SPECIFICATIONS SHALL MEET THE SAME AS THAT FOR THE CONCRETE RISER (SWM OUTFALL) STRUCTURE.



- SEDIMENT BASIN NOTES**
1. The draw down device shall be constructed to N.R.C.S.'s Horizontal Drawdown Device Detail G-2-6. The perforations shall have a 1" diameter and spaced 6" apart as follows: 8" pipe with 4 rows of perforations, 10" pipe with 6 rows of perforations. Minimum perforated area per LF of pipe: 6.28 sq ft for 8" pipe and 9.42 sq ft for 10" pipe.
 2. The drawdown device pipe shall be evenly and adequately supported per Drawdown Device Detail G-2-6 (with aggregate or posts).
 3. The drawdown device connection to the riser shall be watertight (i.e., the annular area between the drawdown device and orifice shall be temporarily sealed (with galvanized plate/gasket, or mortar, or other suitable methods that allow easy conversion to the final permanent SWM facility).
 4. See the SWM plans for other embankment/riser information not shown on this sheet.
 5. Install the permanent weir trash rack during construction. Remove and reinstall as needed when basin is converted to a permanent SWM facility.
 6. Dewater basin and maintain drawdown device when basin drain time exceeds 10 hours. Pump basin to an approved E&SC device.
 7. Drawdown pipe shall be Schedule 40 PVC or approved equal.



ALL MODIFICATIONS ARE SHOWN, OTHERWISE USE SHA STANDARDS FOR HIGHWAYS AND INCIDENTAL STRUCTURES STD DETAIL MD 352.01 FOR ALL OTHER NOTES AND SPECS.

HEADWALL H513 E-7 DETAIL (SWM #15)
SCALE: 1" = 5'

NOTE:
THIS FACILITY WAS CONSTRUCTED UNDER A REDLINE REVISION TO F-17-064 CHASE PROPERTY AT MISSION ROAD. FINAL CONVERSION TO SWM SHALL BE DONE UNDER THIS PLAN.

FISHER, COLLINS & CARTER, INC.
CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
CENTENNIAL SQUARE OFFICE PARK - 10278 BALTIMORE NATIONAL PIKE
ELLSWORTH CITY, MARYLAND 21042
(410) 461-2995

ENGINEER'S CERTIFICATE
"I HEREBY CERTIFY THAT THIS PLAN HAS BEEN DESIGNED IN ACCORDANCE WITH THE CURRENT MARYLAND EROSION AND SEDIMENT CONTROL LAWS, REGULATIONS, AND STANDARDS REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE, AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT."
Signature: *Stephanie Jutte* DATE: 8/17/20
Signature: *James D. Halley* DATE: 8/19/2020

DEVELOPER'S CERTIFICATE
"I HEREBY CERTIFY THAT ANY CLEARING, GRADING, CONSTRUCTION, OR DEVELOPMENT WILL BE DONE PURSUANT TO THIS APPROVED EROSION AND SEDIMENT CONTROL PLAN, INCLUDING INSPECTING AND MAINTAINING CONTROLS, AND THAT THE RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF TRAINING AT A MARYLAND DEPARTMENT OF THE ENVIRONMENT (MDE) APPROVED TRAINING PROGRAM FOR THE CONTROL ON EROSION AND SEDIMENT PRIOR TO BEGINNING THE PROJECT. I CERTIFY RIGHT OF ENTRY FOR PERIODIC ON-SITE EVALUATION BY HOWARD COUNTY, THE HOWARD SOIL CONSERVATION DISTRICT AND/OR MDE."
Signature: *Stephanie Jutte* DATE: 8/17/20

"PROFESSIONAL CERTIFICATION. I HEREBY CERTIFY THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 38386, EXPIRATION DATE: JANUARY 12, 2022."
Signature: *Stephanie Jutte* DATE: 8/17/20
Signature: *Howard Soil Conservation District* DATE: _____

APPROVED: DEPARTMENT OF PLANNING AND ZONING
Director: *John Con* DATE: 10/5/20
Chief, Division of Land Development: *John Con* DATE: 10/17/20
Chief, Development Engineering Division: *John Con* DATE: 8/26/20

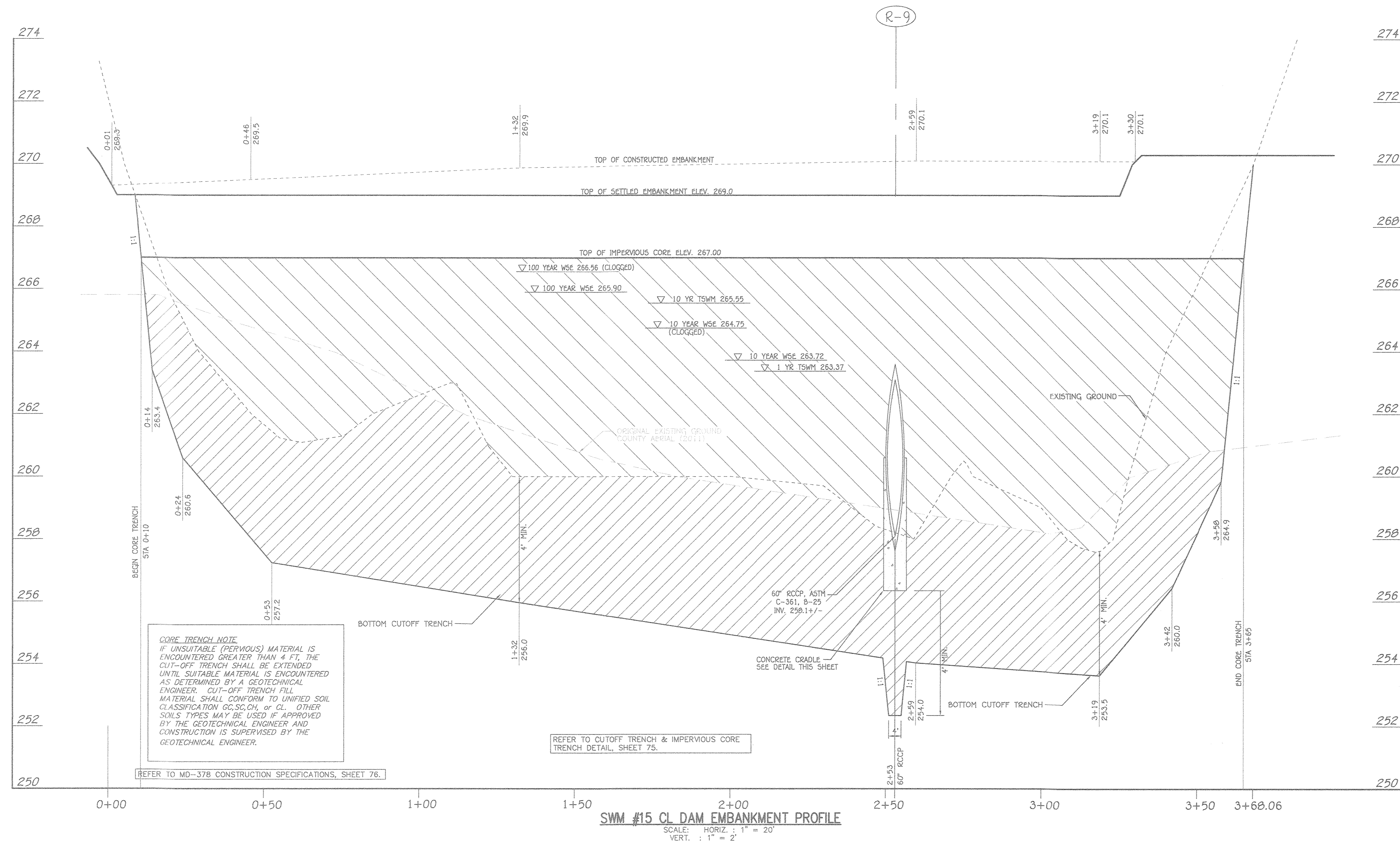
PREPARED FOR
HOWARD COUNTY PUBLIC SCHOOL SYSTEM
9020 HENDENHALL COURT
SUITE 'C'
COLUMBIA, MARYLAND 21045
Attention: DANIEL LUBELEY
410-313-8203

ADDRESS CHART	
PARCEL NO.	STREET ADDRESS
-	8500 RIDGELYS RUN ROAD JESSUP, MARYLAND 20794
PROJECT	
HIGH SCHOOL #13	SECTION/AREA
102, 349, 235	N/A
PLAT NO.	
10 & 24	BLOCK NO.
13 & 19	10 & 24
13 & 19	13 & 19
ZONE	
RSC MXD-3	42 & 43
6SA-B MXD-3	SIXTH
TAX MAP	
42 & 43	ELEC. DIST.
42 & 43	606901
WATER CODE	
---	SEWER CODE
---	---

SWM #15 PRINCIPAL SPILLWAY PROFILE AND DETAIL

HIGH SCHOOL #13 PARCELS 'A' THRU 'D'

ZONED: R-5C MXD-3, R-5A-8 MXD-3 AND R-12
PARCEL Nos.: 102, 349, 235
TAX MAP No.: 42 & 43 GRID No.: 24 & 19
SIXTH ELECTION DISTRICT HOWARD COUNTY, MARYLAND
SCALE: AS SHOWN DATE: AUGUST, 2020
SHEET 82 OF 131



CORE TRENCH NOTE
 IF UNSUITABLE (PERVIOUS) MATERIAL IS ENCOUNTERED GREATER THAN 4 FT, THE CUT-OFF TRENCH SHALL BE EXTENDED UNTIL SUITABLE MATERIAL IS ENCOUNTERED AS DETERMINED BY A GEOTECHNICAL ENGINEER. CUT-OFF TRENCH FILL MATERIAL SHALL CONFORM TO UNIFIED SOIL CLASSIFICATION GC, SC, CH, or CL. OTHER SOIL TYPES MAY BE USED IF APPROVED BY THE GEOTECHNICAL ENGINEER AND CONSTRUCTION IS SUPERVISED BY THE GEOTECHNICAL ENGINEER.

REFER TO CUTOFF TRENCH & IMPERVIOUS CORE TRENCH DETAIL, SHEET 75.

REFER TO MD-378 CONSTRUCTION SPECIFICATIONS, SHEET 76.

SWM #15 CL DAM EMBANKMENT PROFILE
 SCALE: HORIZ. 1" = 20'
 VERT. 1" = 2'

NOTE:
 THIS FACILITY WAS CONSTRUCTED UNDER A REZONE REVISION TO F-17-064 CHASE PROPERTY AT MIDDLE ROAD. FINAL CONVERSION TO SWM SHALL BE DONE UNDER THIS PLAN.

FISHER, COLLINS & CARTER, INC.
 CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
 CENTRAL SQUARE OFFICE PARK - 10272 BALTIMORE NATIONAL PIKE
 ELICOTT CITY, MARYLAND 21042
 (410) 461-1999

ENGINEER'S CERTIFICATE
 "I HEREBY CERTIFY THAT THIS PLAN HAS BEEN DESIGNED IN ACCORDANCE WITH THE CURRENT MARYLAND EROSION AND SEDIMENT CONTROL LAWS, REGULATIONS, AND STANDARDS REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE, AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT."
 Signature: *Stephanie J. Nute*
 DATE: 8/19/20

"PROFESSIONAL CERTIFICATION. I HEREBY CERTIFY THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 38386, EXPIRATION DATE: JANUARY 12, 2022."
 Signature: *Stephanie J. Nute*
 DATE: 8/19/20
 STEPHANIE J. NUTE, R.L.A., P.E., LEED AP BC&O

DEVELOPER'S CERTIFICATE
 "I/WE HEREBY CERTIFY THAT ANY CLEARING, GRADING, CONSTRUCTION, OR DEVELOPMENT WILL BE DONE PURSUANT TO THIS APPROVED EROSION AND SEDIMENT CONTROL PLAN, INCLUDING INSPECTING AND MAINTAINING CONTROLS, AND THAT THE RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF TRAINING AT A MARYLAND DEPARTMENT OF THE ENVIRONMENT (MDE) APPROVED TRAINING PROGRAM FOR THE CONTROL ON EROSION AND SEDIMENT PRIOR TO BEGINNING THE PROJECT. I CERTIFY RIGHT OF ENTRY FOR PERIODIC ON-SITE EVALUATION BY HOWARD COUNTY, THE HOWARD SOIL CONSERVATION DISTRICT AND/OR MDE."
 Signature: *James J. Halley*
 DATE: 8-19-2020

THESE PLANS FOR SMALL SCALE CONSTRUCTION, SOIL EROSION AND SEDIMENT CONTROL MEET THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.
 HOWARD SOIL CONSERVATION DISTRICT
 DATE: 8/19/20

APPROVED: DEPARTMENT OF PLANNING AND ZONING
 Director: *Stephanie J. Nute* DATE: 10/5/20
 Chief, Division of Land Development: *Stephanie J. Nute* DATE: 10/5/20
 Chief, Development Engineering Division: *Stephanie J. Nute* DATE: 8/26/20

PREPARED FOR
 HOWARD COUNTY PUBLIC SCHOOL SYSTEM
 9020 MENDENHALL COURT
 SUITE "C"
 COLUMBIA, MARYLAND 21045
 Attention: DANIEL LUBELEY
 410-313-8203

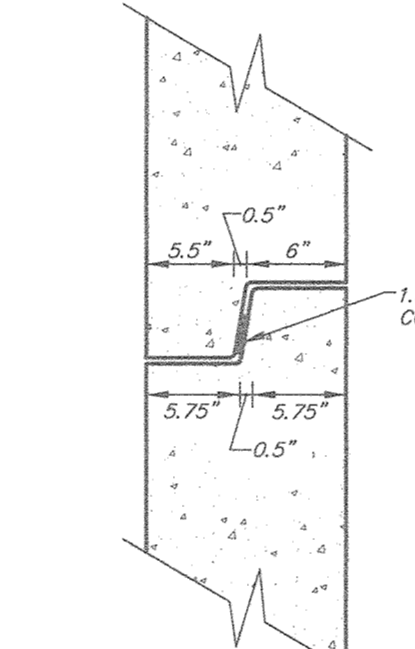
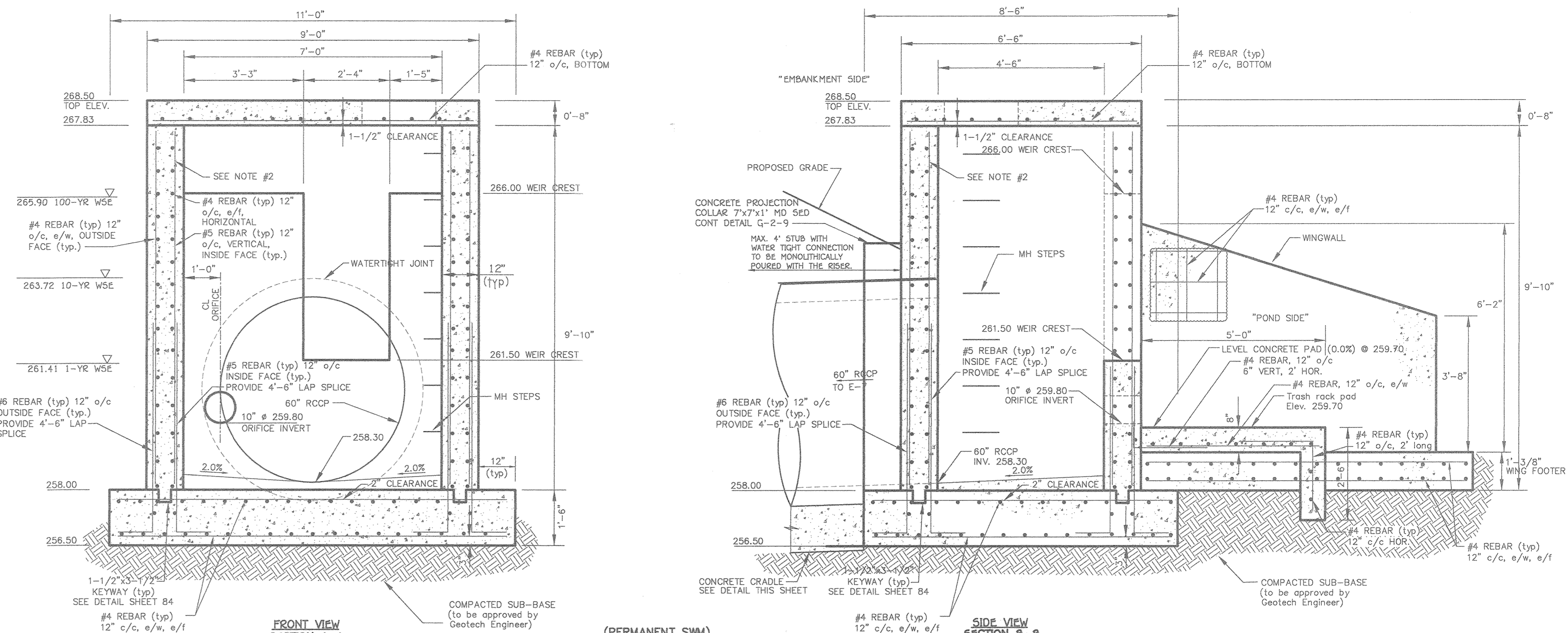
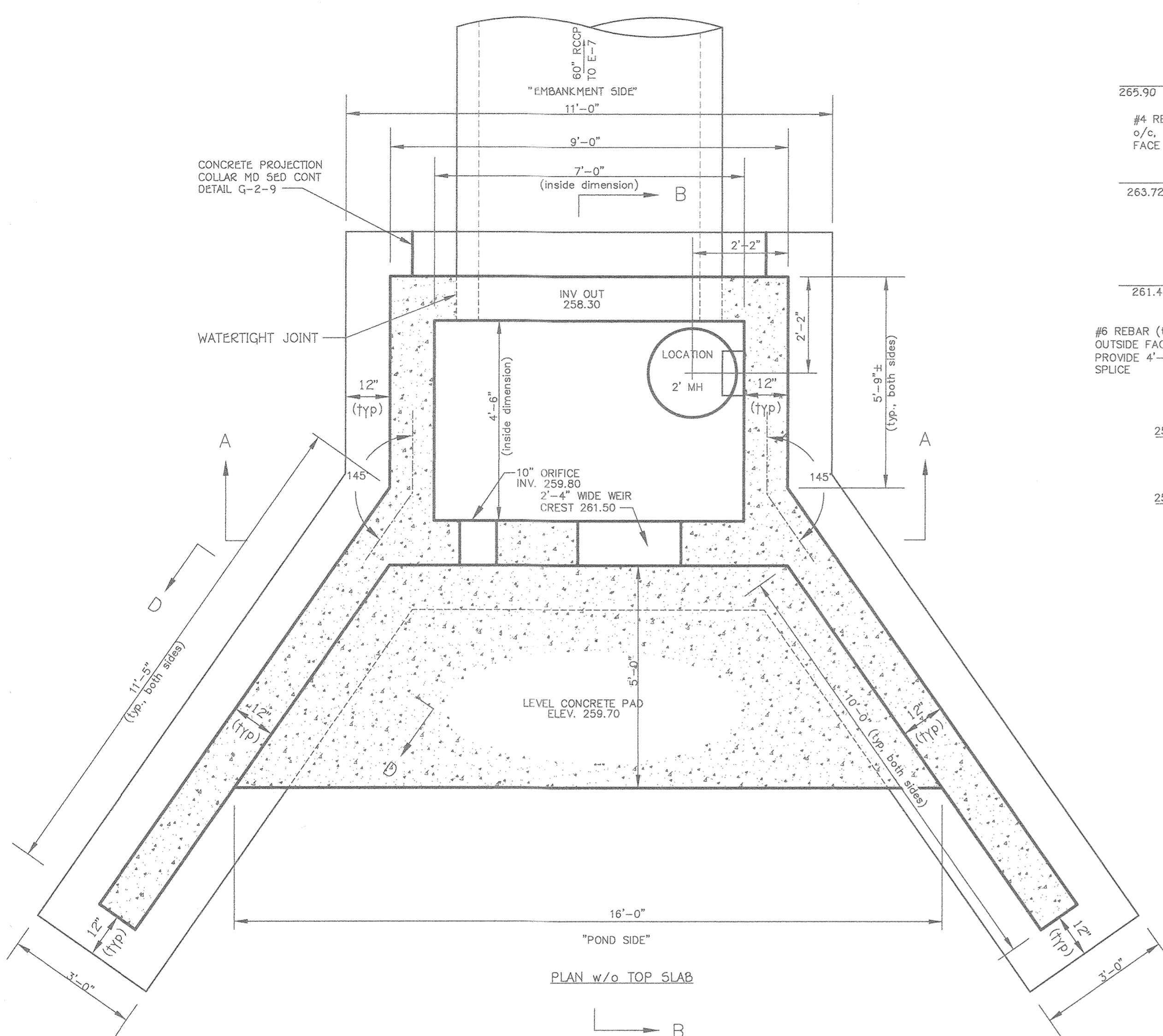


ADDRESS CHART	
PARCEL NO.	STREET ADDRESS
-	8500 RIDGELYS RUN ROAD JESSUP, MARYLAND 20794
PROJECT	SECTION/AREA
HIGH SCHOOL #13	N/A
BLOCK NO.	TAX MAP
18 & 24 13 & 19	42 & 43
ZONE	ELEC. DIST.
R-12 RSC MXD-3 R5A-8 MXD-3	SIXTH
PARCEL	CENSUS TR.
102, 349, 235	606901
WATER CODE	SEWER CODE
----	----

SWM #15 CL DAM PROFILE

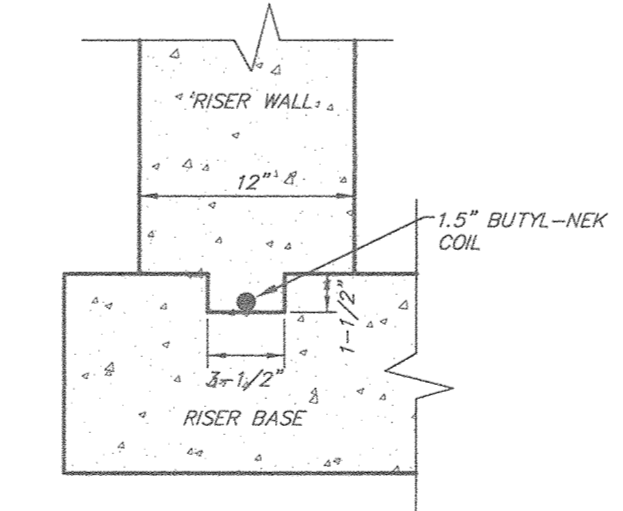
**HIGH SCHOOL #13
 PARCELS 'A' THRU 'D'**

ZONED: R-5C MXD-3, R-5A-8 MXD-3 AND R-12
 PARCEL Nos.: 102, 349, 235
 TAX MAP No.: 42 & 43 GRID No.: 24 & 19
 SIXTH ELECTION DISTRICT HOWARD COUNTY, MARYLAND
 SCALE: AS SHOWN DATE: AUGUST, 2020
 SHEET 03 OF 13

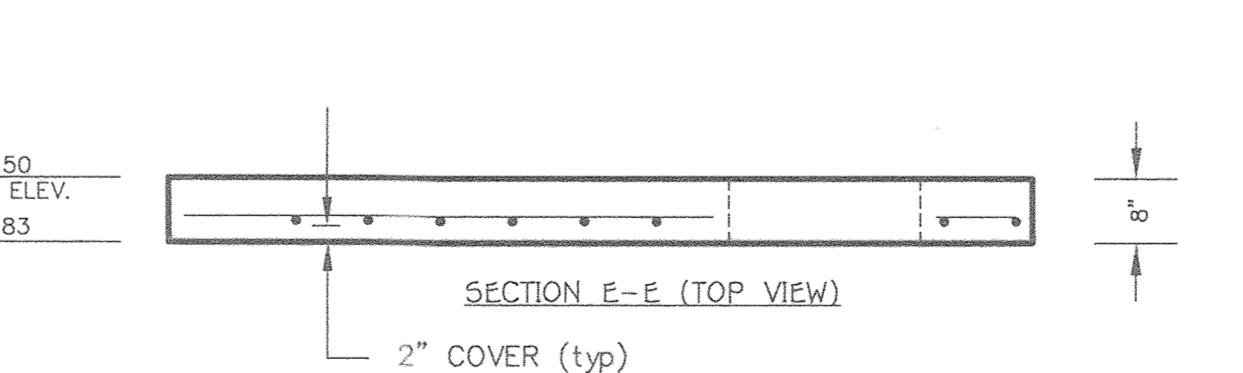
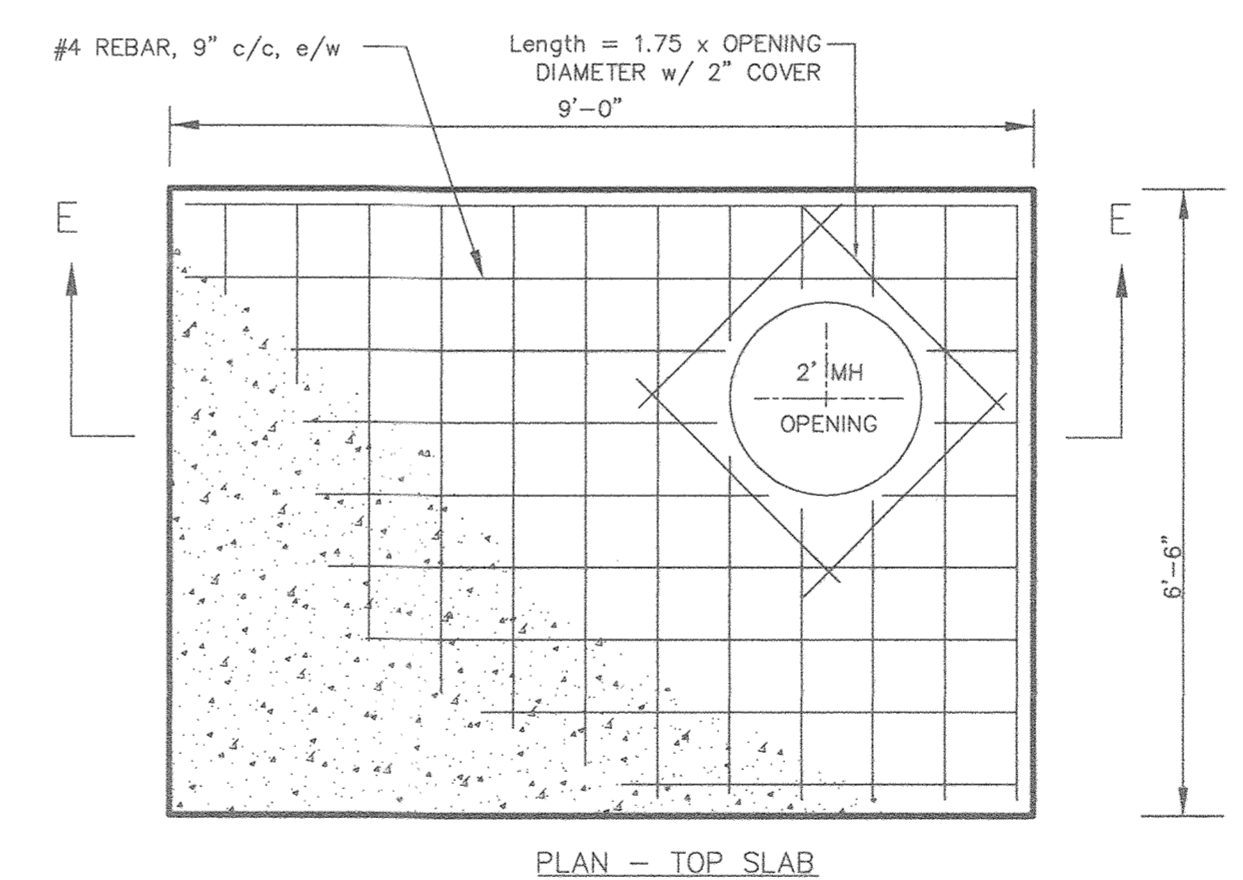


NOTES:
 1. RISER JOINTS SHALL JOIN EVENLY AND BE WATERTIGHT. PARGE JOINTS AFTER INSTALLATION.
 2. THE REFERENCED JOINT AND JOINT SEALANT MATERIAL IS USED BY FREDERICK PRECAST, INC. SIMILAR JOINTS MAY BE USED WITH SHOP DRAWING APPROVAL BY THE ENGINEER.

RISER JOINT DETAIL
NOT TO SCALE



KEYWAY DETAIL
NOT TO SCALE



RISER HS13 R-9 DETAIL
SCALE: 1" = 2"

- STRUCTURE R-9 NOTES**
- STRUCTURE MATERIAL FOR ALL WALLS AND BASE SHALL BE AIR-ENTRAINED 4,500 PSI CONCRETE.
 - REINFORCEMENT SHALL BE DEFORMED STEEL, FREE OF RUST, AND MEET ASTM A615, GRADE 60, WITH 2" COVER EXCEPT AS SHOWN.
 - REINFORCEMENT IS PARTIALLY SHOWN AND IS TYPICAL FOR EACH RISER WALL, BASE, WING WALLS, FOOTING AND TOP SLAB. THE STRUCTURE SHALL BE REINFORCED THROUGHOUT.
 - HORIZONTAL REBAR SHALL EXTEND INTO THE ADJACENT RISER WALL WITH A 1'-6" L-SHAPED OVERLAP. THE RISER HORIZONTAL REBAR SHALL ALSO EXTEND 1'-6" MIN. INTO THE WING WALLS.
 - VERTICAL REBAR SHALL EXTEND INTO BOTTOM OF BASE WITH A 1'-6" L-SHAPE OVERLAP.
 - CHAMFER EXPOSED EDGES 1/2" X 1/2".
 - THE WEIR AND LOW FLOW ORIFICE SHALL HAVE A REMOVABLE, GALVANIZED AND PAINTED, TRASH RACKS PER THE DETAILS.
 - SLOPE RISER BOTTOM 2% MIN. TOWARDS OUTFALL WITH MORTAR OR BRICKS.
 - ALL PIPE CONNECTIONS MUST BE WATERTIGHT. CONTRACTOR SHALL INSTALL 12" THICK CONCRETE PROJECTION COLLAR AROUND 60" RCCP OUTFALL, EXTENDING 12" BEYOND O.D. AND REINFORCE WITH 4"X4" WWF. APPLY NON-SHRINK GROUT TO SEAL COLLAR TO RISER, OR USE A-LOK GASKETS.
 - PROVIDE MANHOLE STEPS PER HOCO. STD. DETAIL G-5.21.
 - PLACE A STANDARD 2 FT # HOWARD CO. SIDEWALK STORM DRAIN F&C IN TOP SLAB.
 - THE TOP SLAB SHALL NOT BE STRUCTURALLY ATTACHED TO THE VERTICAL RISER WALLS.
 - IF RISER IS SUPPLIED IN SECTIONS, THE JOINTS SHALL BE WATERTIGHT PER RISER JOINT DETAIL. BOLT SECTIONS TOGETHER AT EACH JOINT WITH THREE (3) RUSTPROOF, 2" X 6" (1/4" THICK) FLAT BAR CONNECTIONS WITH 1/2" BOLTS EMBEDDED IN TO RISER.
 - USE PROVIDED DIMENSIONS; DO NOT SCALE DRAWINGS.
 - THE CIRCUMFERENCE OF THE RISER LOW FLOW ORIFICE ON THE UPSTREAM (POND SIDE) SHALL BE ROUNDED (1/2" RADIUS).

NOTE: SEE SHEET 01 FOR TRASH RACK DETAILS.

NOTE:
 THIS FACILITY WAS CONSTRUCTED UNDER A RDLNE REVISION TO F-17-064 CHASE PROPERTY AT MISSION ROAD. FINAL CONVERSION TO SWM SHALL BE DONE UNDER THIS PLAN.

FISHER, COLLINS & CARTER, INC.
 CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
 CENTRAL SQUARE OFFICE PARK - 10272 BALTIMORE NATIONAL PIKE
 ELLESTON CITY, MARYLAND 21042
 (410) 461-7899

ENGINEER'S CERTIFICATE
 "I HEREBY CERTIFY THAT THIS PLAN HAS BEEN DESIGNED IN ACCORDANCE WITH THE CURRENT MARYLAND EROSION AND SEDIMENT CONTROL LAWS, REGULATIONS, AND STANDARDS REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE, AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT."
 Signature: *Stephanie Tuttle* DATE: 8/17/20

"PROFESSIONAL CERTIFICATION. I HEREBY CERTIFY THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 30386, EXPIRATION DATE: JANUARY 12, 2022."
 Signature: *Stephanie Tuttle* DATE: 8/17/20
 STEPHANIE T. TUTTLE, R.L.A., P.E., LEED AP BC&D

DEVELOPER'S CERTIFICATE
 "I/WE HEREBY CERTIFY THAT ANY CLEARING, GRADING, CONSTRUCTION, OR DEVELOPMENT WILL BE DONE PURSUANT TO THIS APPROVED EROSION AND SEDIMENT CONTROL PLAN, INCLUDING INSPECTING AND MAINTAINING CONTROLS, AND THAT THE RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF TRAINING AT A MARYLAND DEPARTMENT OF THE ENVIRONMENT (MDE) APPROVED TRAINING PROGRAM FOR THE CONTROL ON EROSION AND SEDIMENT PRIOR TO BEGINNING THE PROJECT. I CERTIFY RIGHT OF ENTRY FOR PERIODIC ON-SITE EVALUATION BY HOWARD COUNTY, THE HOWARD SOIL CONSERVATION DISTRICT AND/OR MDE."
 Signature: *[Signature]* DATE: 8-19-2020

THESE PLANS FOR SMALL SCALE CONSTRUCTION, SOIL EROSION AND SEDIMENT CONTROL MEET THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.
 HOWARD SOIL CONSERVATION DISTRICT DATE: _____

DATE	DESCRIPTION	REVISION BLOCK
10/5/20		
10/15/20		
8/26/20		

APPROVED: DEPARTMENT OF PLANNING AND ZONING
 Director: *[Signature]* DATE: 10/5/20
 Chief, Division of Land Development: *[Signature]* DATE: 10/15/20
 Chief, Development Engineering Division: *[Signature]* DATE: 8/26/20

PREPARED FOR
 HOWARD COUNTY PUBLIC SCHOOL SYSTEM
 9020 MENDENHALL COURT
 SUITE 'C'
 COLUMBIA, MARYLAND 21045
 Attention: DANIEL LUBELEY
 410-313-0203



ADDRESS CHART			
PARCEL NO.	STREET ADDRESS		
-	0500 RIDGELYS RUN ROAD JESSUP, MARYLAND 20794		
PROJECT	SECTION/AREA		
HIGH SCHOOL #13	N/A		
PARCEL	102, 349, 235		
BLOCK NO.	TAX MAP	ELEC. DIST.	CENSUS TR.
10 & 24	42 & 43	SIXTH	606901
13 & 19	42 & 43	SIXTH	606901
WATER CODE	SEWER CODE		

SWM #15 R-9 DETAILS

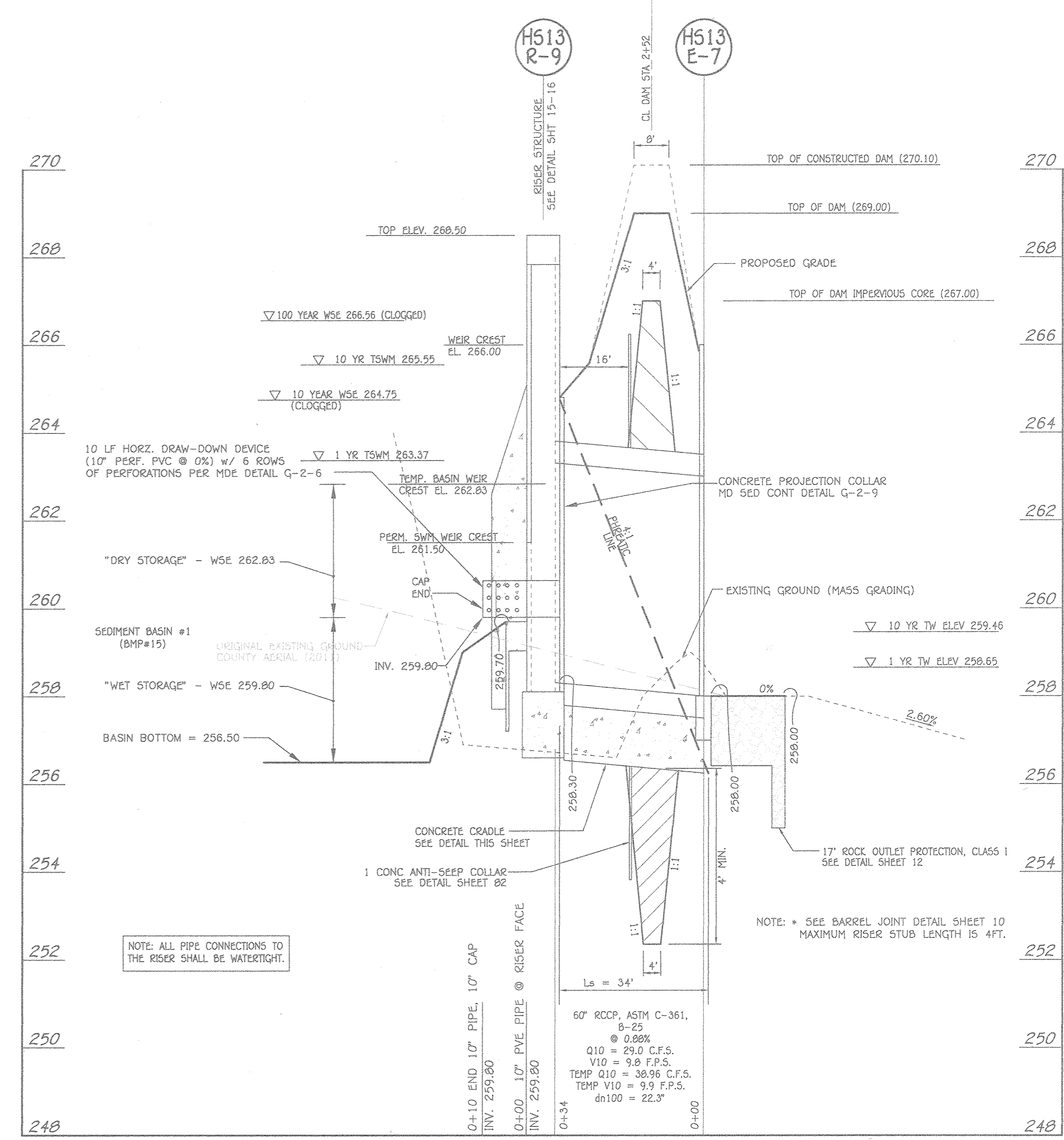
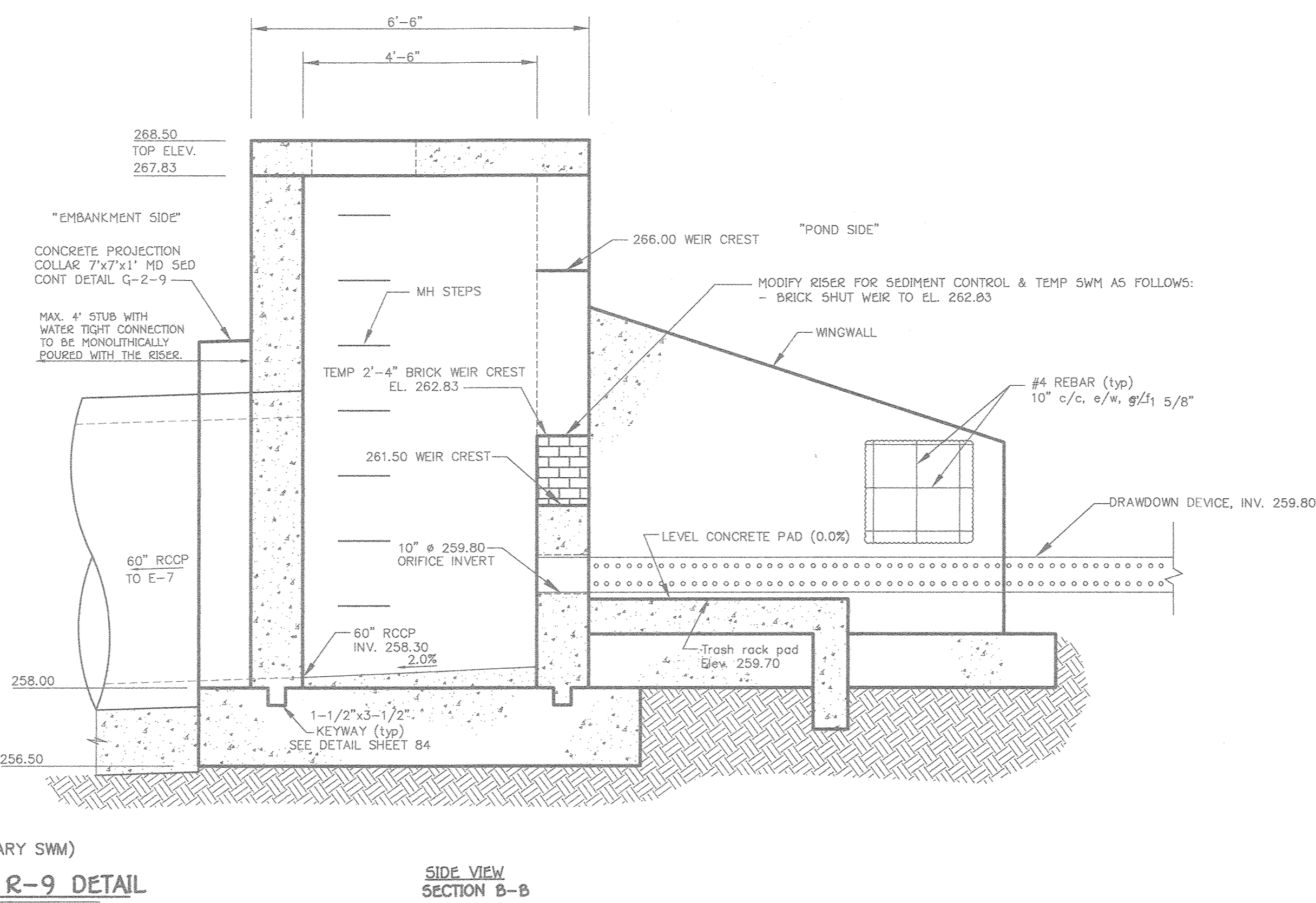
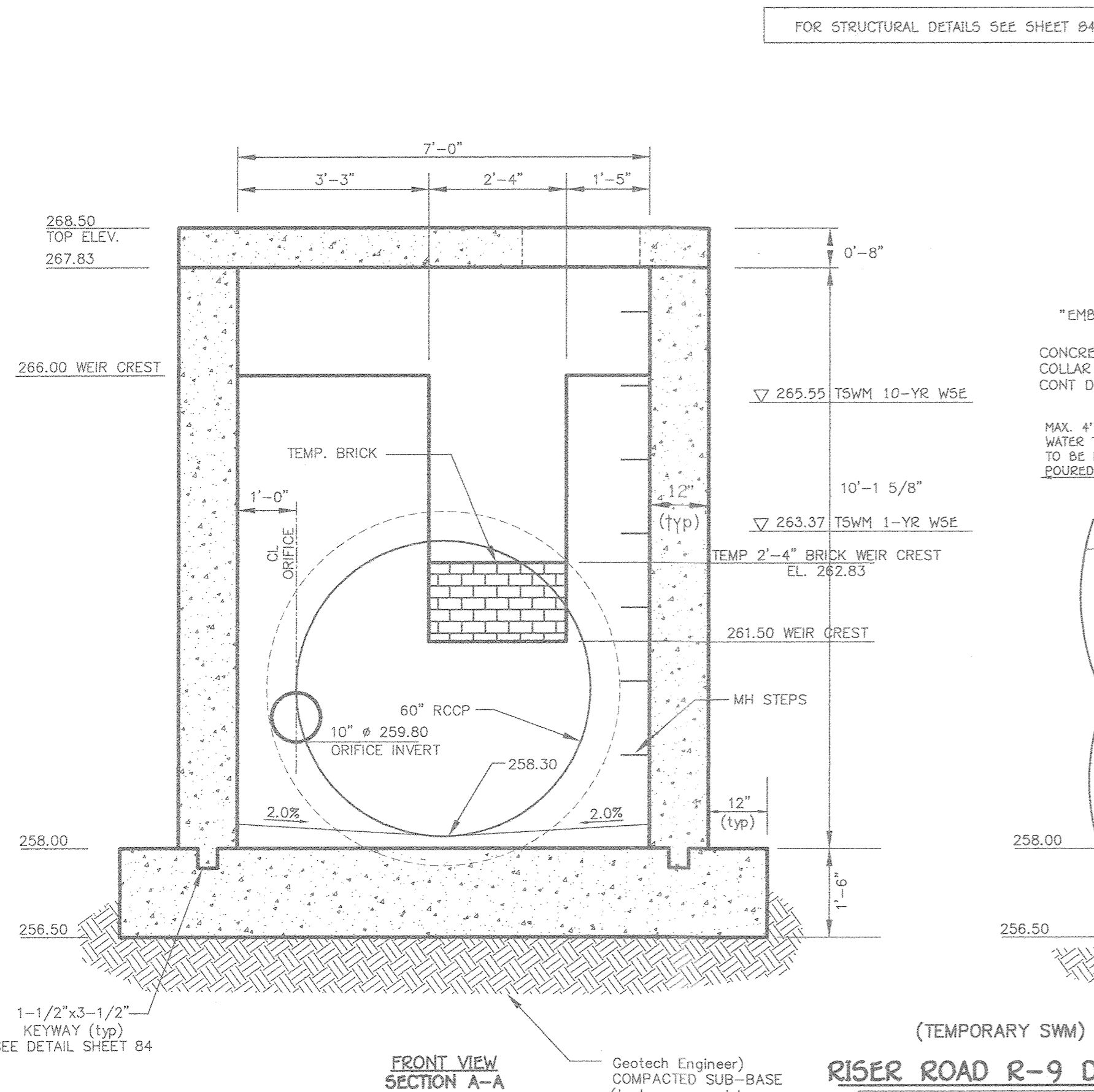
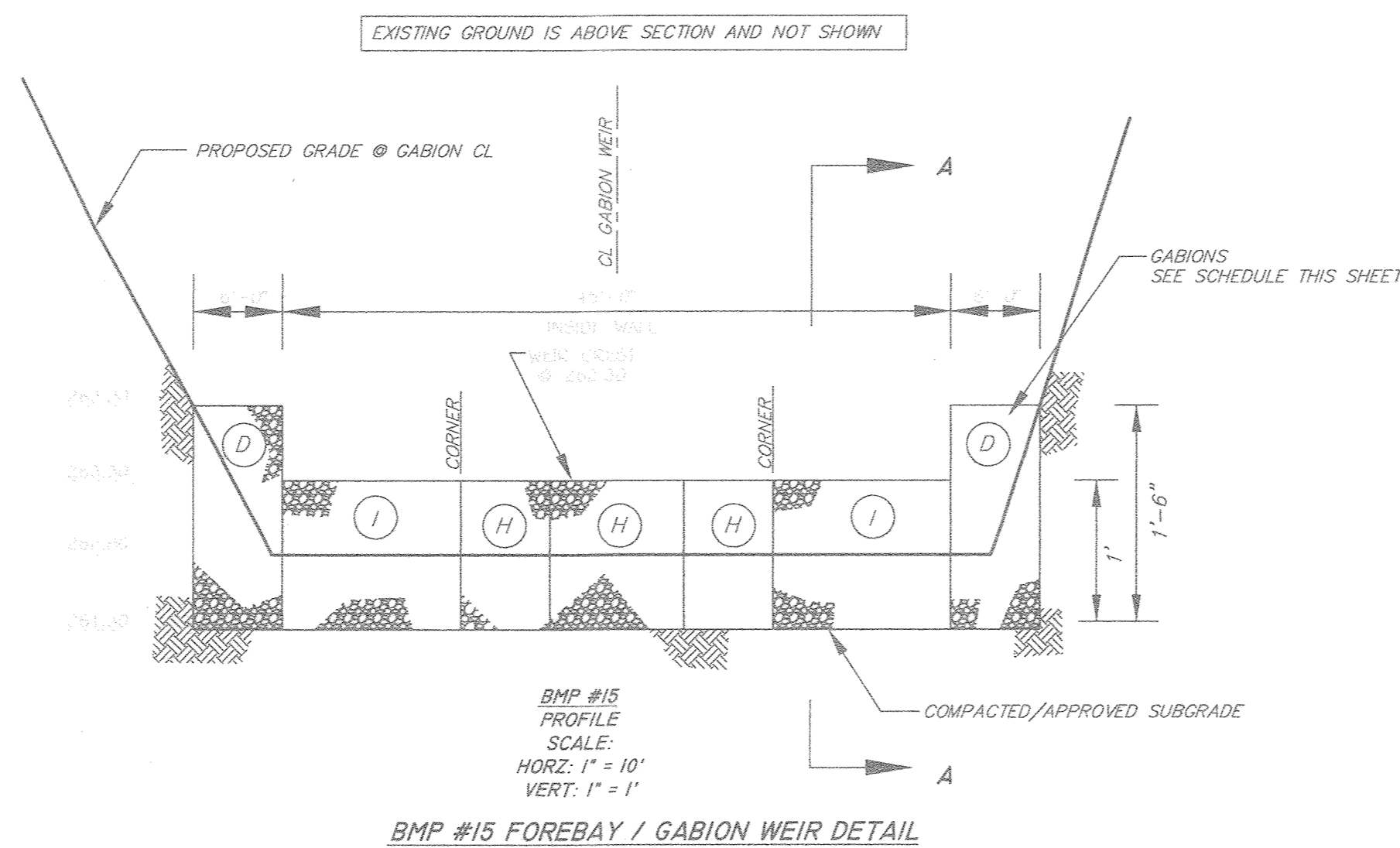
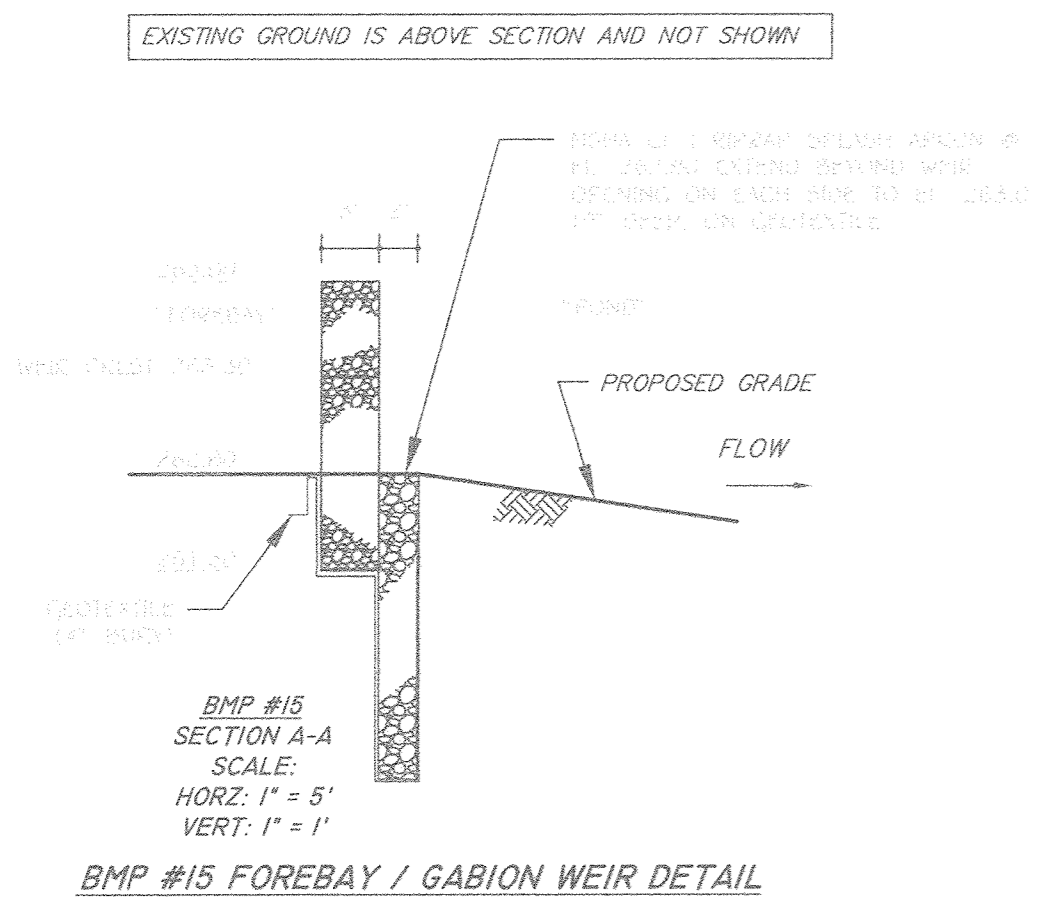
**HIGH SCHOOL #13
 PARCELS 'A' THRU 'D'**

ZONED: R-SC MXD-3, R-5A-B MXD-3 AND R-12
 PARCEL Nos.: 102, 349, 235
 TAX MAP No.: 42 & 43 GRID No.: 24 & 19
 SIXTH ELECTION DISTRICT - HOWARD COUNTY, MARYLAND
 SCALE: AS SHOWN DATE: AUGUST, 2020
 SHEET 04 OF 131

**BMP #15 FOREBAY
GABION WEIR SCHEDULE**
(Gabion Basket Quantities)

MANUFACTURER'S LETTER CODE/DIMENSIONS	QUANTITY
(D) 6'x3'x1.5'	2
(H) 9'x3'x1'	3
(I) 12'x3'x1'	2

REFER TO SHEET 76 FOR FOREBAY/GABION WEIR NOTES.



NOTE: THIS FACILITY WAS CONSTRUCTED UNDER A REDLINE REVISION TO F-17-064 CHASE PROPERTY AT MISSION ROAD. FINAL CONVERSION TO SWM SHALL BE DONE UNDER THIS PLAN.

FISHER, COLLINS & CARTER, INC.
CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
CENTRAL SQUARE OFFICE PARK - 10272 BALTIMORE NATIONAL PIKE
ELLSWORTH CITY, MARYLAND 21042
(410) 461-2995

ENGINEER'S CERTIFICATE
I HEREBY CERTIFY THAT THIS PLAN HAS BEEN DESIGNED IN ACCORDANCE WITH THE CURRENT MARYLAND EROSION AND SEDIMENT CONTROL LAWS, REGULATIONS, AND STANDARDS REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

Signature: *Stephan Tute* DATE: 8/17/20
Stephan Tute, ENGINEER

DEVELOPER'S CERTIFICATE
I/WE HEREBY CERTIFY THAT ANY CLEARING, GRADING, CONSTRUCTION, OR DEVELOPMENT WILL BE DONE PURSUANT TO THIS APPROVED EROSION AND SEDIMENT CONTROL PLAN, INCLUDING INSPECTING AND MAINTAINING CONTROLS, AND THAT THE RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF TRAINING AT A MARYLAND DEPARTMENT OF THE ENVIRONMENT (MDE) APPROVED TRAINING PROGRAM FOR THE CONTROL OF EROSION AND SEDIMENT PRIOR TO BEGINNING THE PROJECT. I CERTIFY RIGHT OF ENTRY FOR PERIODIC ON-SITE EVALUATION BY HOWARD COUNTY, THE HOWARD SOIL CONSERVATION DISTRICT AND/OR MDE.

Signature: *Terence H. Kelly* DATE: 8-19-2020
Terence H. Kelly, DEVELOPER

"PROFESSIONAL CERTIFICATION, I HEREBY CERTIFY THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 38386, EXPIRATION DATE: JANUARY 12, 2022."

Signature: *Stephan Tute* DATE: 8/17/20
Stephan Tute, P.E., LEED AP BC&D

APPROVED: DEPARTMENT OF PLANNING AND ZONING
Director: *Ag. Coan* DATE: 10/5/20
Chief of Division: *Land Development* DATE: 10/15/20
Chief of Division: *Engineering Division* DATE: 8-26-20

THESE PLANS FOR SMALL POND CONSTRUCTION, SOIL EROSION AND SEDIMENT CONTROL MEET THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

HOWARD SOIL CONSERVATION DISTRICT DATE: _____

PREPARED FOR
HOWARD COUNTY PUBLIC SCHOOL SYSTEM
9020 MENDENHALL COURT
SUITE 'C'
COLUMBIA, MARYLAND 21045
Attention: DANIEL LUBELEY
410-313-8203

STATE OF MARYLAND
DEPARTMENT OF PLANNING AND ZONING
PROFESSIONAL ENGINEER
No. 38386
Stephan Tute

ADDRESS CHART

PARCEL NO.	STREET ADDRESS
-	8500 RIDGELYS RUN ROAD JESSUP, MARYLAND 20794

PROJECT: HIGH SCHOOL #13
SECTION/AREA: N/A
PARCEL: 102, 349, 235

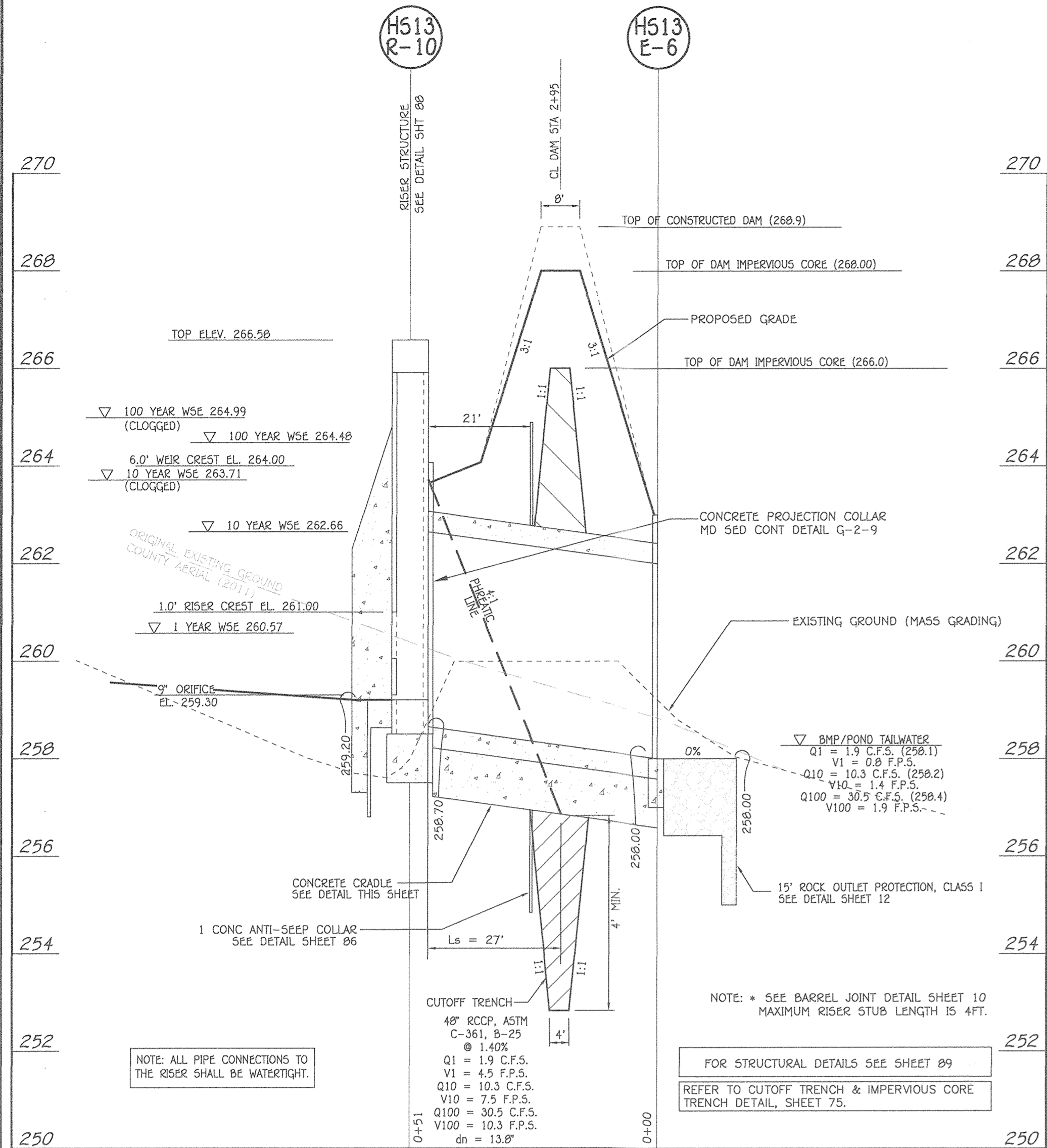
BLOCK NO.	ZONE	TAX MAP NO.	ELEC. DIST.	CENSUS TR.
18 & 24 13 & 19	R-5C R-5A-B MXD-3	42 & 43	SIXTH	606901

WATER CODE: --- SEWER CODE: ---

SWM #15 FOREBAY/GABION DETAILS & TEMPORARY S.W.M. DETAILS

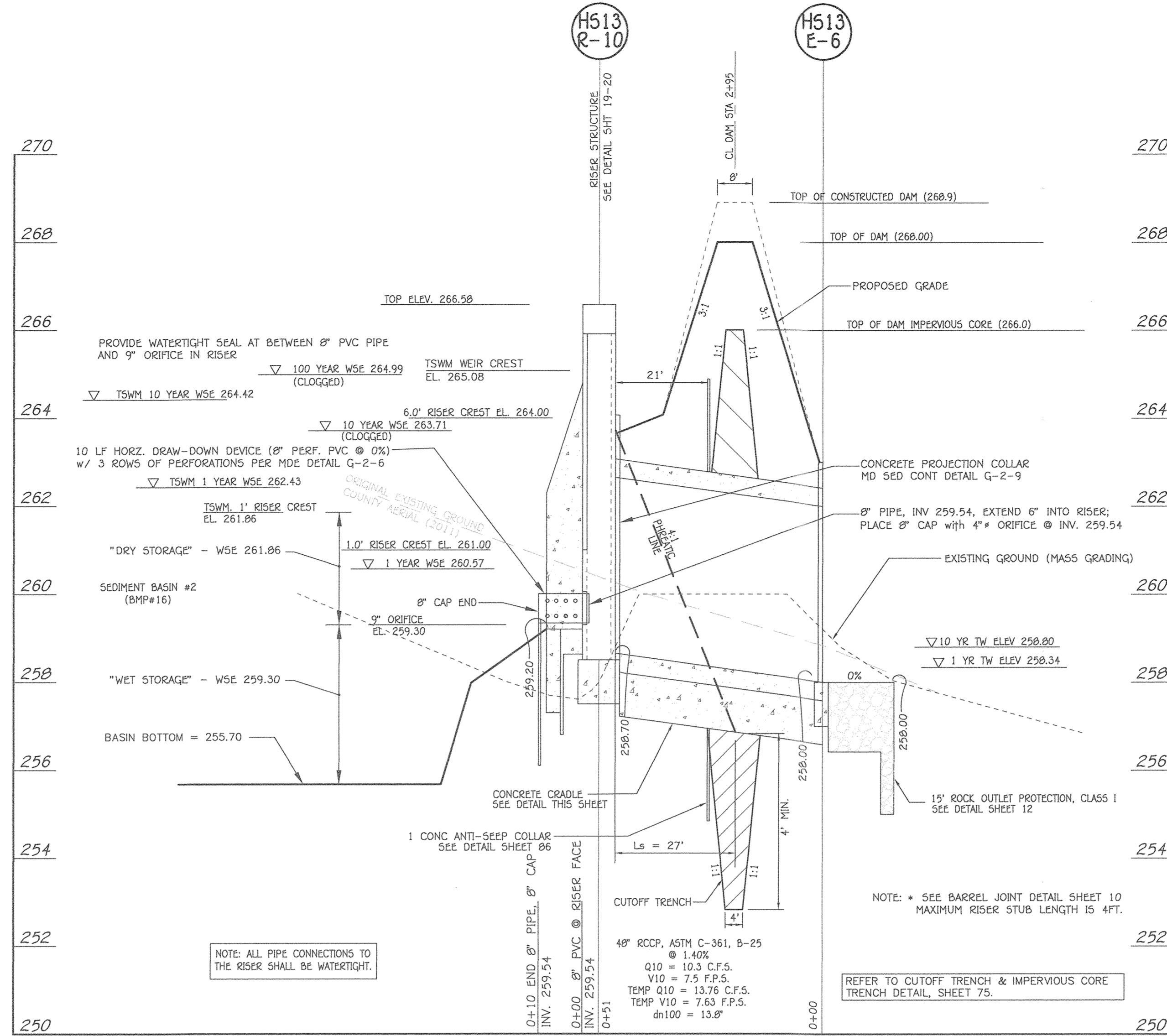
**HIGH SCHOOL #13
PARCELS 'A' THRU 'D'**

ZONED: R-5C MXD-3, R-5A-B MXD-3 AND R-12
PARCEL Nos.: 102, 349, 235
TAX MAP No.: 42 & 43 GRID No.: 24 & 19
SIXTH ELECTION DISTRICT HOWARD COUNTY, MARYLAND
SCALE: AS SHOWN DATE: AUGUST, 2020
SHEET 05 OF 131



SWM 16 PRINCIPAL SPILLWAY PROFILE

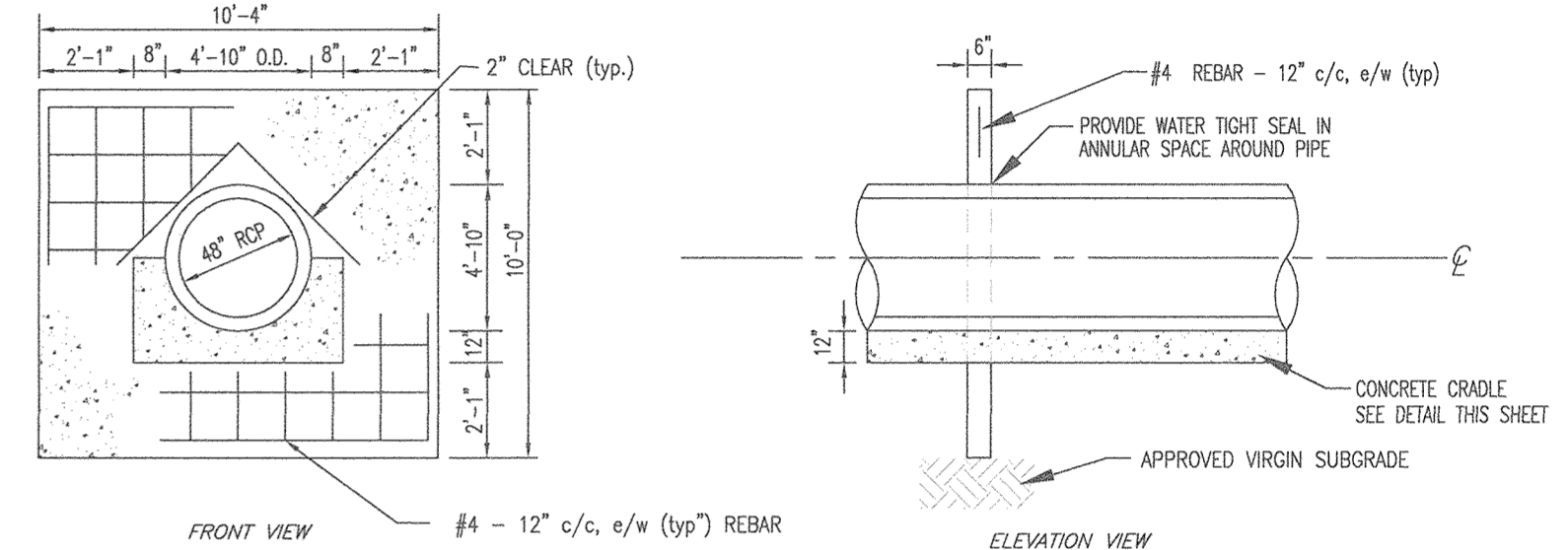
SCALE: HORIZ. : 1" = 20'
VERT. : 1" = 2'



SEDIMENT BASIN #2 @ BMP #16 w/ TEMPORARY SWM DRAWDOWN DEVICE OUTFALL PROFILE

SCALE: HORIZ. : 1" = 20'
VERT. : 1" = 2'

- SEDIMENT BASIN NOTES**
- The draw down device shall be constructed to N.R.C.S.'s Horizontal Drawdown Device Detail G-2-6. The perforations shall have a 1" diameter and spaced 6" apart as follows: 8" pipe with 4 rows of perforations, 10" pipe with 6 rows of perforations. Minimum perforated area per LF of pipe: 6.28 sq ft for 8" pipe and 9.42 sq ft for 10" pipe.
 - The drawdown device pipe shall be evenly and adequately supported per Drawdown Device Detail G-2-6 (with aggregate or posts).
 - The drawdown device connection to the riser shall be watertight (i.e., the annular area between the drawdown device and orifice shall be temporarily sealed (with galvanized plate/gasket, or mortar, or other suitable methods that allow easy conversion to the final permanent SWM facility).
 - See the SWM plans for other embankment/riser information not shown on this sheet.
 - Install the permanent weir trash rack during construction. Remove and reinstall as needed when basin is converted to a permanent SWM facility.
 - Dewater basin and maintain drawdown device when basin drain time exceeds 10 hours. Pump basin to an approved E&SC device.
 - Drawdown pipe shall be Schedule 40 PVC or approved equal.

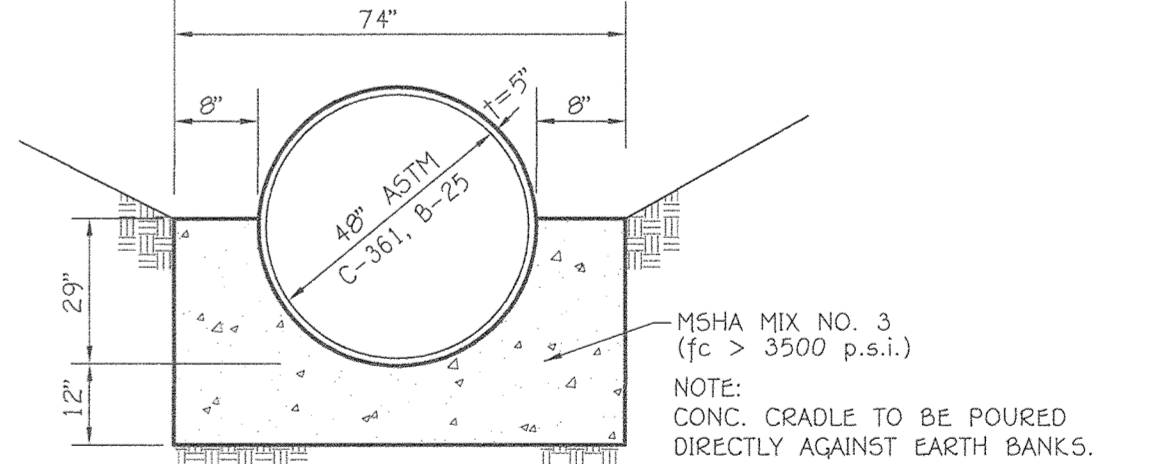


ANTI-SEEPEP COLLAR NOTES

- LOWER HALF OF COLLAR SHALL BE POURED CONCURRENTLY WITH THE CRADLE POUR.
- REBAR IS SHOWN SCHEMATICALLY AND SHALL BE PLACED THROUGHOUT THE ENTIRE COLLAR.
- PROVIDE A WATER TIGHT SEAL IN ANNULAR SPACE BETWEEN PIPE AND COLLAR USING MASTIC SEALER. USE A "A-LOK" JOINT SEAL PRODUCT.
- LOCATE COLLAR 2" MINIMUM FROM JOINT AND MAINTAIN 10" MINIMUM SEPARATION FROM COLLAR TO COLLAR OR COLLAR TO RISER.
- PLACE TWO (2) ADDITIONAL REBARS (5' MIN. LONG) AT RIGHT ANGLES TO REBAR GRID 2" FROM PIPE O.D.
- COLLAR MATERIAL SPECIFICATIONS SHALL MEET THE SAME AS THAT FOR THE CONCRETE RISER (SWM OUTFALL) STRUCTURE.

ANTI-SEEPEP COLLAR DETAIL

NO SCALE



CONC. CRADLE DETAIL

NO SCALE

NOTE:
THIS FACILITY WAS CONSTRUCTED UNDER A REDLINE REVISION TO F-17-064 CHASE PROPERTY AT MISSION ROAD. FINAL CONVERSION TO SWM SHALL BE DONE UNDER THIS PLAN.

FISHER, COLLINS & CARTER, INC.
CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
CENTENNIAL SQUARE OFFICE PARK - 10272 BALDWIN NATIONAL PIKE
ELLSWORTH CITY, MARYLAND 21042
(410) 441-2999

ENGINEER'S CERTIFICATE
I HEREBY CERTIFY THAT THIS PLAN HAS BEEN DESIGNED IN ACCORDANCE WITH THE CURRENT MARYLAND EROSION AND SEDIMENT CONTROL LAWS, REGULATIONS, AND STANDARDS REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE, AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

Signature: *Stephanie Tuite* DATE: 8/17/20
SIGNATURE OF ENGINEER DATE

DEVELOPER'S CERTIFICATE
I/WE HEREBY CERTIFY THAT ANY CLEARING, GRADING, CONSTRUCTION, OR DEVELOPMENT WILL BE DONE PURSUANT TO THIS APPROVED EROSION AND SEDIMENT CONTROL PLAN, INCLUDING INSPECTING AND MAINTAINING CONTROLS, AND THAT THE RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF TRAINING AT A MARYLAND DEPARTMENT OF THE ENVIRONMENT (MDE) APPROVED TRAINING PROGRAM FOR THE CONTROL ON EROSION AND SEDIMENT PRIOR TO BEGINNING THE PROJECT. I CERTIFY RIGHT OF ENTRY FOR PERIODIC ON-SITE EVALUATION BY HOWARD COUNTY, THE HOWARD SOIL CONSERVATION DISTRICT AND/OR MDE.

Signature: *Stephanie Tuite* DATE: 8-19-2020
SIGNATURE OF DEVELOPER DATE

"PROFESSIONAL CERTIFICATION. I HEREBY CERTIFY THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 30306, EXPIRATION DATE: JANUARY 12, 2022."

Signature: *Stephanie Tuite* DATE: 8/17/20
STEPHANIE TUITE, RLA, P.E., LEED AP BC&D DATE

APPROVED: DEPARTMENT OF PLANNING AND ZONING
Signature: *John Gou* DATE: 10/5/20
Director - Department of Planning and Zoning DATE

Chief, Development Engineering Division
Signature: *John Gou* DATE: 8/26/20
DATE

PREPARED FOR
HOWARD COUNTY PUBLIC SCHOOL SYSTEM
9020 MENDENHALL COURT
SUITE 101
COLUMBIA, MARYLAND 21045
Attention: DANIEL LUBELEY
410-313-8203

STATE OF MARYLAND
PROFESSIONAL ENGINEER
No. 38386
Date: 8/17/20

ADDRESS CHART

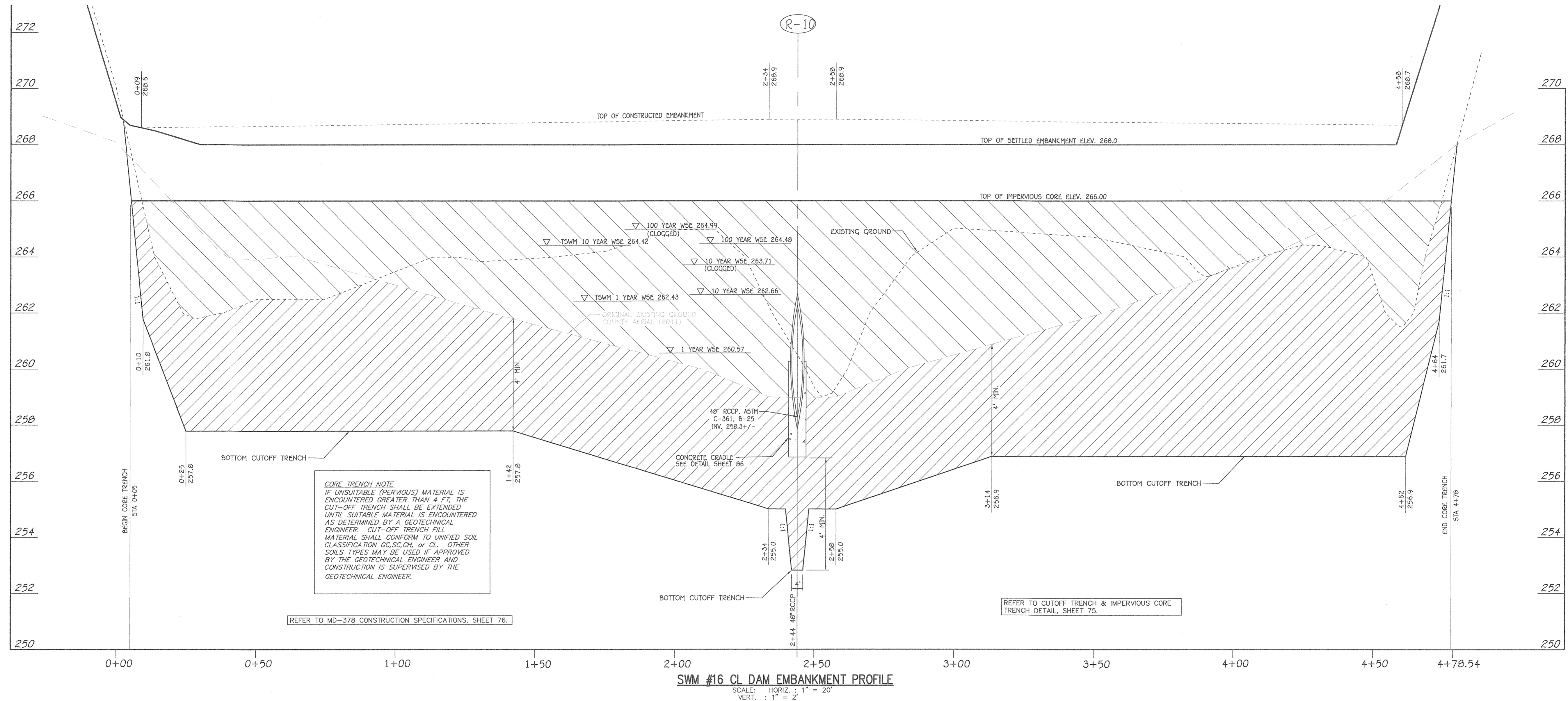
PARCEL NO.	STREET ADDRESS
-	8500 RIDGELY'S RUN ROAD JESSUP, MARYLAND 20794

SWM #16 PRINCIPAL SPILLWAY PROFILE AND DETAIL & TEMPORARY SWM DETAILS

HIGH SCHOOL #13 PARCELS 'A' THRU 'D'

ZONED: R-5C MXD-3, R-5A-B MXD-3 AND R-12
PARCEL Nos.: 102, 349, 235
TAX MAP No.: 42 & 43 GRID No.: 24 & 19
SIXTH ELECTION DISTRICT HOWARD COUNTY, MARYLAND
SCALE: AS SHOWN DATE: AUGUST, 2020
SHEET 06 OF 131

I:\2010\10027\Engineering\Drawings\SDP\10027 SDP 086-89 SWM 16 PROFILES.dwg, PROFILE-SHEET 87, 8/15/2020 12:39:01 PM, 1:1



CORE TRENCH NOTE
 IF UNSUITABLE (PERVIOUS) MATERIAL IS ENCOUNTERED GREATER THAN 4 FT, THE CUT-OFF TRENCH SHALL BE EXTENDED UNTIL SUITABLE MATERIAL IS ENCOUNTERED AS DETERMINED BY A GEOTECHNICAL ENGINEER. CUT-OFF TRENCH FILL MATERIAL SHALL CONFORM TO UNIFIED SOIL CLASSIFICATION GC, SC, CH, or CL. OTHER SOILS TYPES MAY BE USED IF APPROVED BY THE GEOTECHNICAL ENGINEER AND CONSTRUCTION IS SUPERVISED BY THE GEOTECHNICAL ENGINEER.

REFER TO MD-378 CONSTRUCTION SPECIFICATIONS, SHEET 76.

REFER TO CUTOFF TRENCH & IMPERVIOUS CORE TRENCH DETAIL, SHEET 75.

NOTE:
 THIS FACILITY WAS CONSTRUCTED UNDER A REOLINE REVISION TO F-17-064 CHASE PROPERTY AT MISSION ROAD. FINAL CONVERSION TO SWM SHALL BE DONE UNDER THIS PLAN.

FISHER, COLLINS & CARTER, INC.
 CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
 CENTENNIAL SQUARE OFFICE PARK - 10272 BALTIMORE NATIONAL PIKE
 BELLEFLORETTE CITY, MARYLAND 21042
 (410) 481-3295

ENGINEER'S CERTIFICATE
 "I HEREBY CERTIFY THAT THIS PLAN HAS BEEN DESIGNED IN ACCORDANCE WITH THE CURRENT MARYLAND EROSION AND SEDIMENT CONTROL LAWS, REGULATIONS, AND STANDARDS REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE, AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT."
 Signature: *Stephanie Lute* DATE: 8/17/20
 SIGNATURE OF ENGINEER DATE

"PROFESSIONAL CERTIFICATION. I HEREBY CERTIFY THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 38386, EXPIRATION DATE: JANUARY 12, 2022."
 Signature: *Stephanie Lute* DATE: 8/17/20
 STEPHANIE LUTE, R.L.A., P.E., LEED AP BC&D DATE

DEVELOPER'S CERTIFICATE
 "I/WE HEREBY CERTIFY THAT ANY CLEARING, GRADING, CONSTRUCTION, OR DEVELOPMENT WILL BE DONE PURSUANT TO THIS APPROVED EROSION AND SEDIMENT CONTROL PLAN, INCLUDING INSPECTING AND MAINTAINING CONTROLS, AND THAT THE RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF TRAINING AT A MARYLAND DEPARTMENT OF THE ENVIRONMENT (MDE) APPROVED TRAINING PROGRAM FOR THE CONTROL ON EROSION AND SEDIMENT PRIOR TO BEGINNING THE PROJECT. I CERTIFY RIGHT OF ENTRY FOR PERIODIC ON-SITE EVALUATION BY HOWARD COUNTY, THE HOWARD SOIL CONSERVATION DISTRICT AND/OR MDE."
 Signature: *Daniel Lubley* DATE: 8-19-2020
 SIGNATURE OF DEVELOPER DATE

~~THESE PLANS FOR SMALL POND CONSTRUCTION, SOIL EROSION AND SEDIMENT CONTROL MEET THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.~~
 HOWARD SOIL CONSERVATION DISTRICT DATE

APPROVED: DEPARTMENT OF PLANNING AND ZONING
 Director - Department of Planning and Zoning DATE: 10/5/20
 Chief, Division of Land Development DATE: 8/24/20
 Chief, Development Engineering Division DATE: 8/24/20

PREPARED FOR
 HOWARD COUNTY PUBLIC SCHOOL SYSTEM
 9020 MENDENHALL COURT
 SUITE 101
 COLUMBIA, MARYLAND 21045
 Attention: DANIEL LUBELEY
 410-313-8203

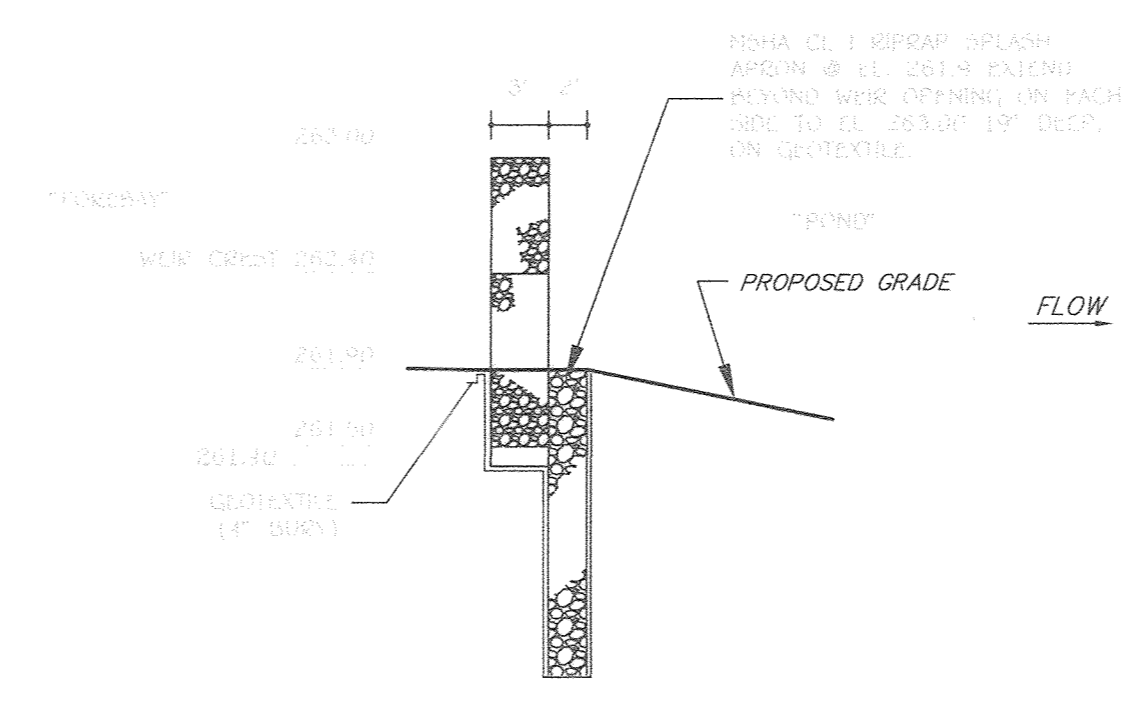


ADDRESS CHART					
PARCEL NO.	STREET ADDRESS				
-	8500 RIDGELY'S RUN ROAD				
JESSUP, MARYLAND 20794					
PROJECT	SECTION/AREA	PARCEL			
HIGH SCHOOL #13	N/A	102, 349, 235			
PLAT NOS.	BLOCK NO.	ZONE	TAX MAP	ELEC. DIST.	CENSUS TR.
20538-18 & 24	2-12	R-12	42 & 43	SIXTH	606901
20532-13 & 19	2-19	RSA-B MXD-3			
WATER CODE	SEWER CODE				
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SWM #16 CL DAM PROFILE

**HIGH SCHOOL #13
 PARCELS 'A' THRU 'D'**

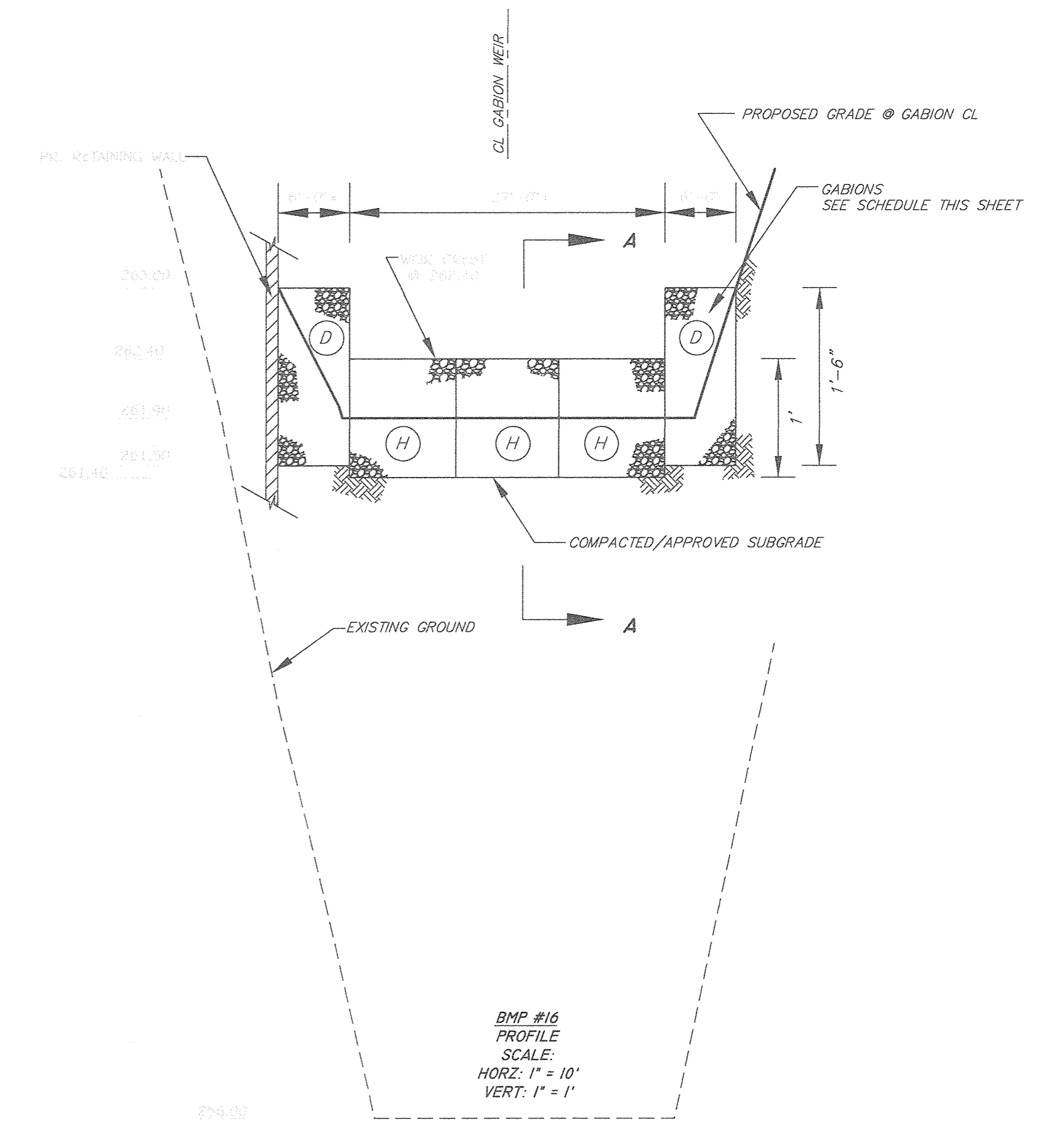
ZONED: R-5C MXD-3, R-SA-B MXD-3 AND R-12
 PARCEL Nos.: 102, 349, 235
 TAX MAP No.: 42 & 43 GRID No.: 24 & 19
 SIXTH ELECTION DISTRICT HOWARD COUNTY, MARYLAND
 SCALE: AS SHOWN DATE: AUGUST, 2020
 SHEET 87 OF 131



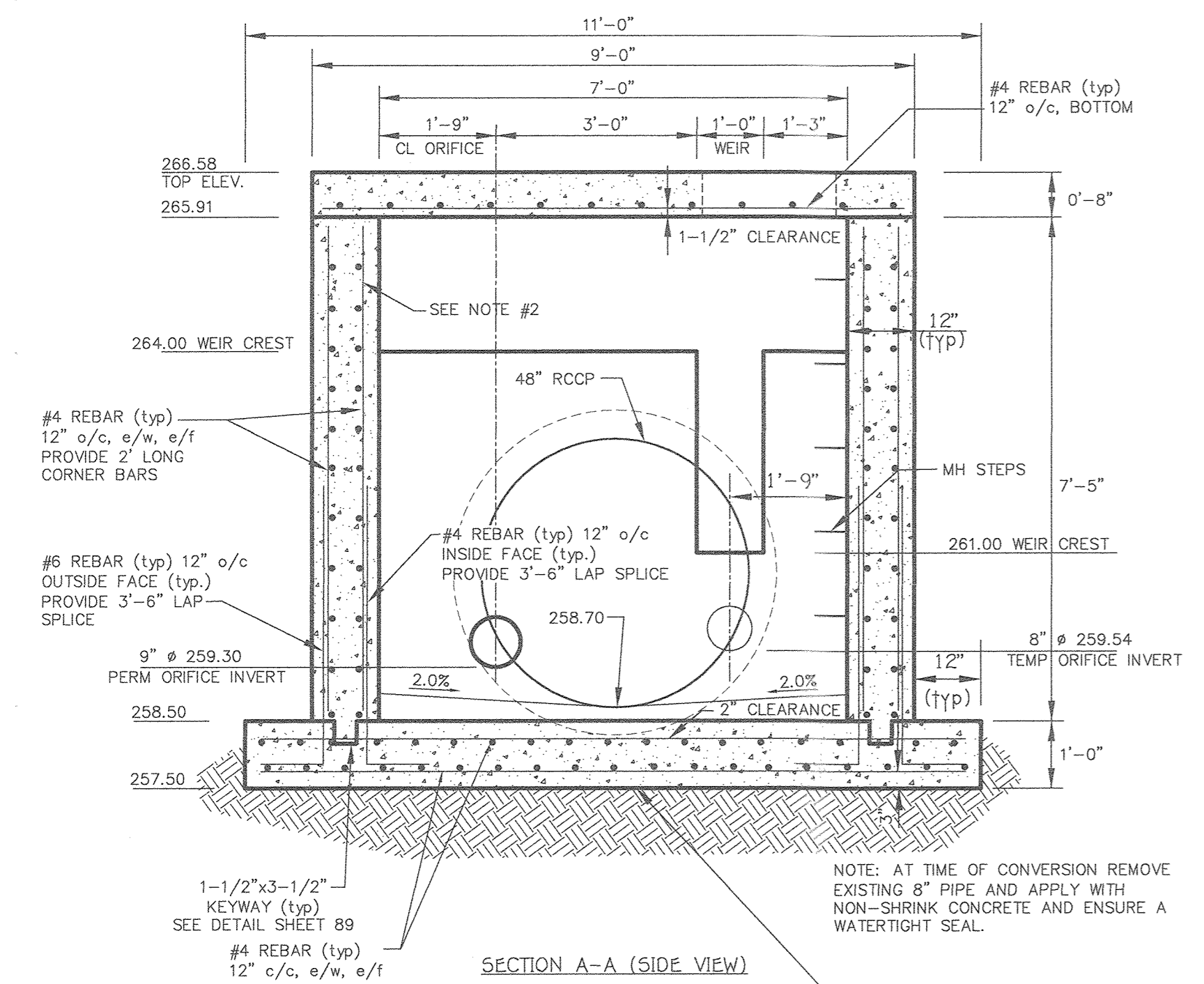
BMP #16
SECTION A-A
SCALE:
HORZ: 1" = 5'
VERT: 1" = 1'
BMP #16 FOREBAY / GABION WEIR DETAIL

BMP #9 FOREBAY GABION WEIR SCHEDULE (Gabion Basket Quantities)	
MANUFACTURER'S LETTER CODE/DIMENSIONS	QUANTITY
(D) 6'x3'x1.5'	2
(H) 9'x3'x1'	3

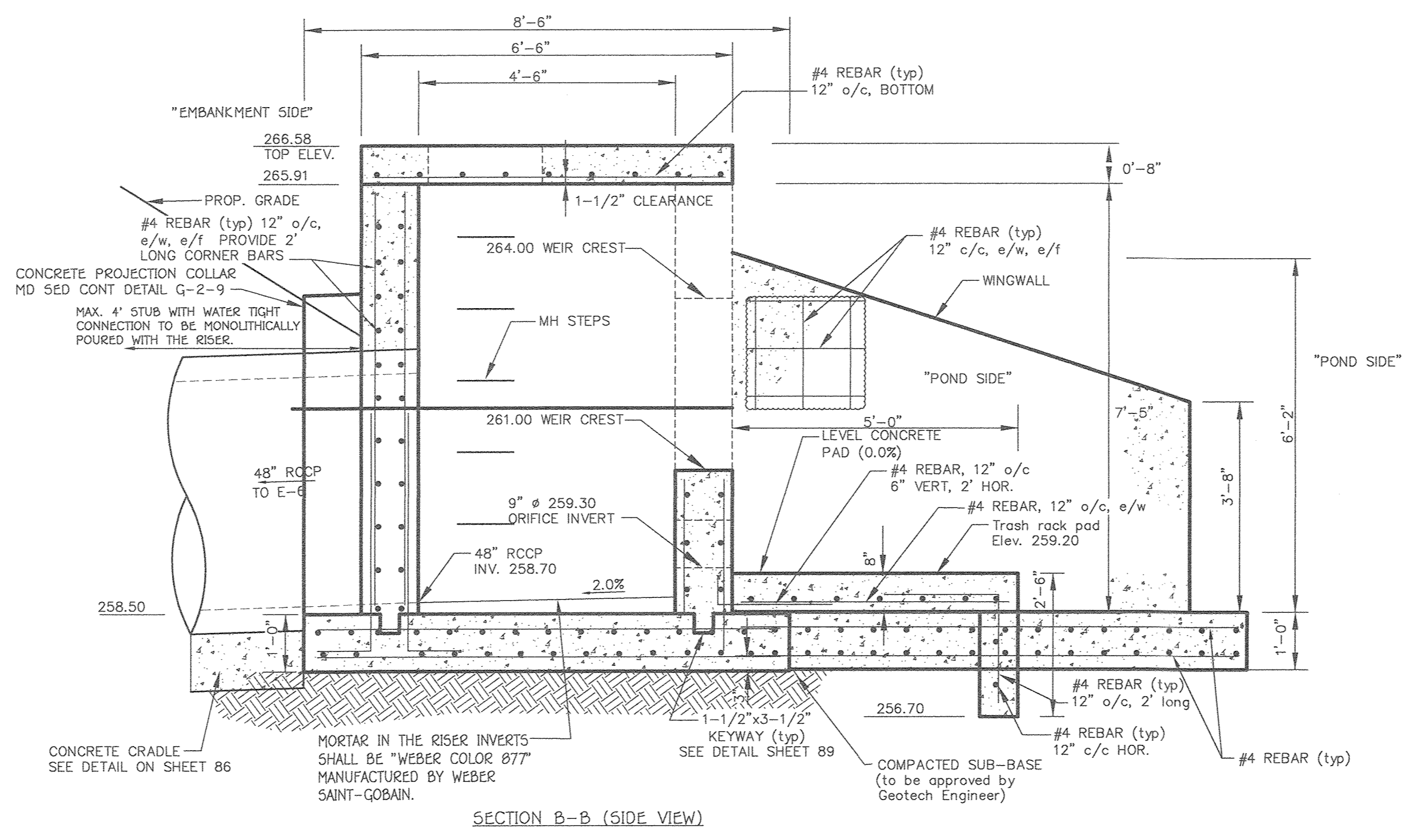
REFER TO SHEET 76 FOR FOREBAY/GABION WEIR NOTES.



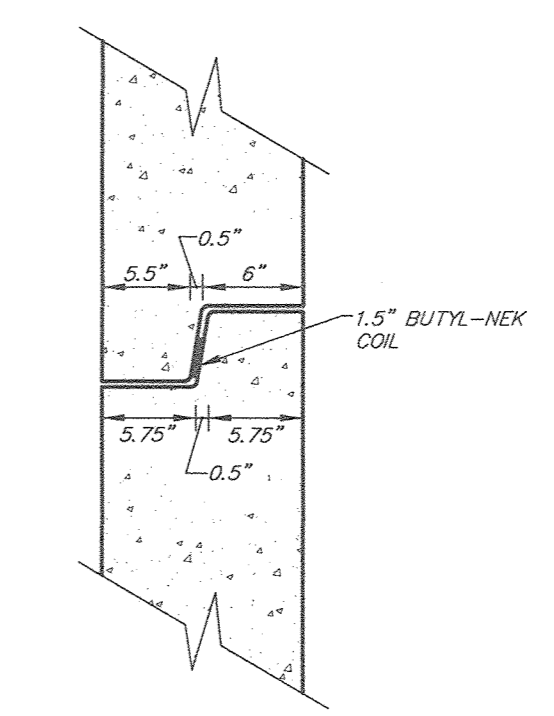
BMP #16 FOREBAY / GABION WEIR DETAIL



(PERMANENT SWM)
RISE R H513 R-10 DETAIL
SCALE: 1" = 2"

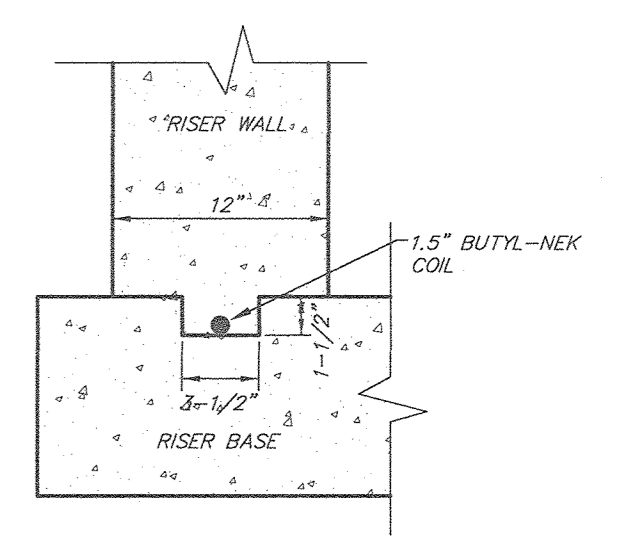


SECTION B-B (SIDE VIEW)



NOTES:
1. RISER JOINTS SHALL JOIN EVENLY AND BE WATER-TIGHT. PARGE JOINTS AFTER INSTALLATION.
2. THE REFERENCED JOINT AND JOINT SEALANT MATERIAL IS USED BY FREDERICK PRECAST, INC. SIMILAR JOINTS MAY BE USED WITH SHOP DRAWING APPROVAL BY THE ENGINEER.

RISE R JOINT DETAIL
NOT TO SCALE



KEYWAY DETAIL
NOT TO SCALE

NOTE: SEE SHEET 95 FOR TRASH RACK DETAILS.

NOTE:
THIS FACILITY WAS CONSTRUCTED UNDER A REDLINE REVISION TO F-17-064 CHASE PROPERTY AT MISSION ROAD. FINAL CONVERSION TO SWM SHALL BE DONE UNDER THIS PLAN.

FISHER, COLLINS & CARTER, INC.
CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
CENTRAL SQUARE OFFICE PARK - 10272 BALDWIN NATIONAL PIKE
ELICOTT CITY, MARYLAND 21042
(410) 441-3999

ENGINEER'S CERTIFICATE
"I HEREBY CERTIFY THAT THIS PLAN HAS BEEN DESIGNED IN ACCORDANCE WITH THE CURRENT MARYLAND EROSION AND SEDIMENT CONTROL LAWS, REGULATIONS, AND STANDARDS REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE, AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT."
Signature: *Stephan J. Tuite* DATE: 8/17/20

"PROFESSIONAL CERTIFICATION. I HEREBY CERTIFY THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 30386, EXPIRATION DATE: JANUARY 12, 2022."
Signature: *Stephan J. Tuite* DATE: 8/17/20
STEPHAN J. TUITE, R.L.A., P.E., LEED AP BC&D

DEVELOPER'S CERTIFICATE
"I/WE HEREBY CERTIFY THAT ANY CLEARING, GRADING, CONSTRUCTION, OR DEVELOPMENT WILL BE DONE PURSUANT TO THIS APPROVED EROSION AND SEDIMENT CONTROL PLAN, INCLUDING INSPECTING AND MAINTAINING CONTROLS, AND THAT THE RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF TRAINING AT A MARYLAND DEPARTMENT OF THE ENVIRONMENT (MDE) APPROVED TRAINING PROGRAM FOR THE CONTROL ON EROSION AND SEDIMENT PRIOR TO BEGINNING THE PROJECT. I CERTIFY RIGHT OF ENTRY FOR PERIODIC ON-SITE EVALUATION BY HOWARD COUNTY, THE HOWARD SOIL CONSERVATION DISTRICT AND/OR MDE."
Signature: *James J. Kelly* DATE: 8-19-2020

THESE PLANS FOR SMALL POND CONSTRUCTION, SOIL EROSION AND SEDIMENT CONTROL MEET THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.
Signature: *Howard Soil Conservation District* DATE: _____

APPROVED: DEPARTMENT OF PLANNING AND ZONING
Director - Department of Planning and Zoning
Date: 10/5/20
Chief, Division of Land Development
Date: 8-26-20
Chief, Development Engineering Division

PREPARED FOR
HOWARD COUNTY PUBLIC SCHOOL SYSTEM
9020 MENDENHALL COURT
SUITE 101
COLUMBIA, MARYLAND 21045
Attention: DANIEL LUBELEY
410-313-8203

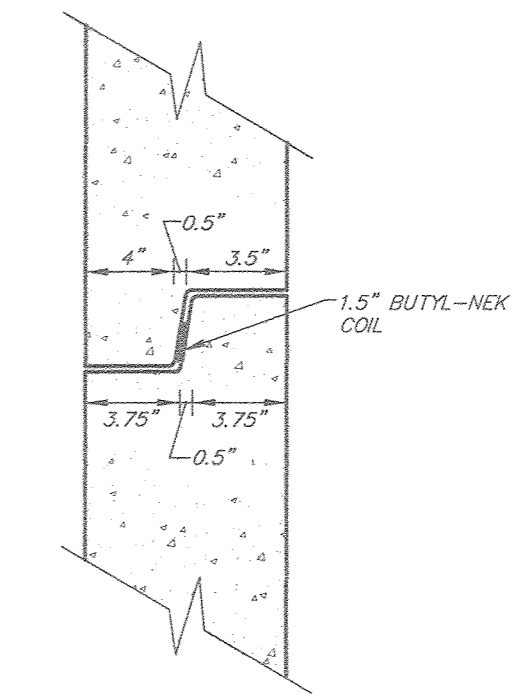


ADDRESS CHART					
PARCEL NO.	STREET ADDRESS				
-	8500 RIDGELY'S RUN ROAD JEFFERSON, MARYLAND 20794				
PROJECT	SECTION/AREA				
HIGH SCHOOL #13	N/A				
PLAT NOS.	BLOCK NO.	ZONE	TAX MAP	ELEC. DIST.	CENSUS TR.
85588 85589 85592	18 & 24 13 & 19	RSC MXD-3 RSA-B MXD-3	42 & 43	SIXTH	606901
WATER CODE	SEWER CODE				
----	----				

SWM #16 R-10 DETAILS
SWM #16 FOREBAY/GABION DETAILS
HIGH SCHOOL #13
PARCELS 'A' THRU 'D'
ZONED: R-SC MXD-3, R-SA-B MXD-3 AND R-12
PARCEL Nos.: 102, 349, 235
TAX MAP No.: 42 & 43 GRID No.: 24 & 19
SIXTH ELECTION DISTRICT HOWARD COUNTY, MARYLAND
SCALE: AS SHOWN DATE: AUGUST, 2020
SHEET 89 OF 131

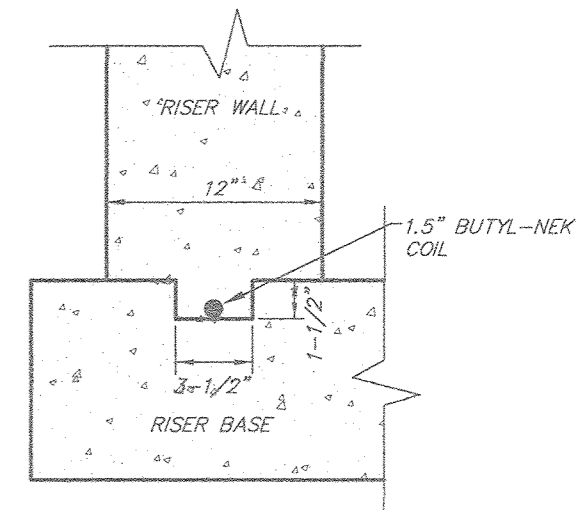
SEDIMENT BASIN NOTES

- The draw down device shall be constructed to N.R.C.S.'s Horizontal Drawdown Device Detail G-2-6. The perforations shall have a 1" diameter and spaced 6" apart as follows: 8" pipe with 4 rows of perforations, 10" pipe with 6 rows of perforations. Minimum perforated area per LF of pipe: 6.28 sf for 8" pipe and 9.42 sf for 10" pipe.
- The drawdown device pipe shall be evenly and adequately supported per Drawdown Device Detail G-2-6 (with aggregate or posts).
- The drawdown device connection to the riser shall be watertight (i.e., the annular area between the drawdown device and orifice shall be temporarily sealed (with galvanized plate/gasket, or mortar, or other suitable methods that allow easy conversion to the final permanent SWM facility).
- See the SWM plans for other embankment/riser information not shown on this sheet.
- Install the permanent weir trash rack during construction. Remove and reinstall as needed when basin is converted to a permanent SWM facility.
- Dewater basin and maintain drawdown device when basin drain time exceeds 10 hours. Pump basin to an approved E&SC device.
- Drawdown pipe shall be Schedule 40 PVC or approved equal.

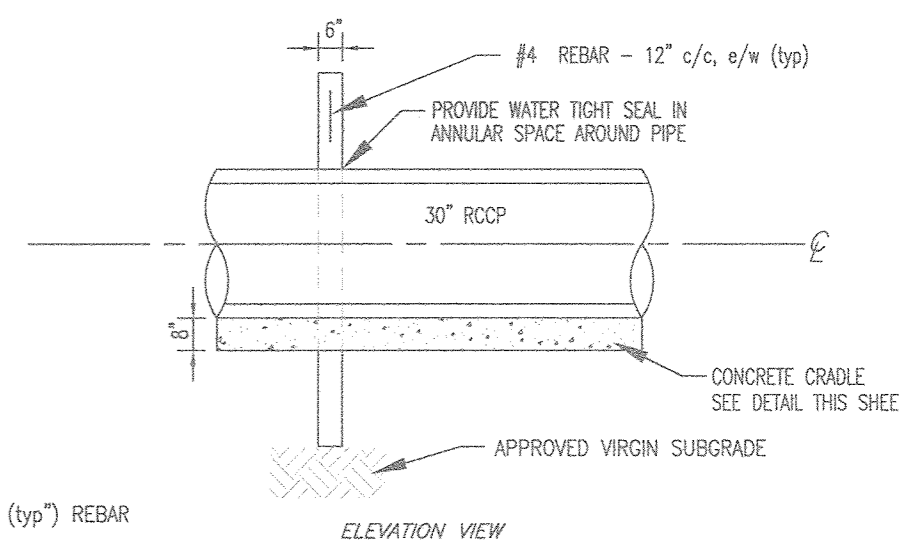
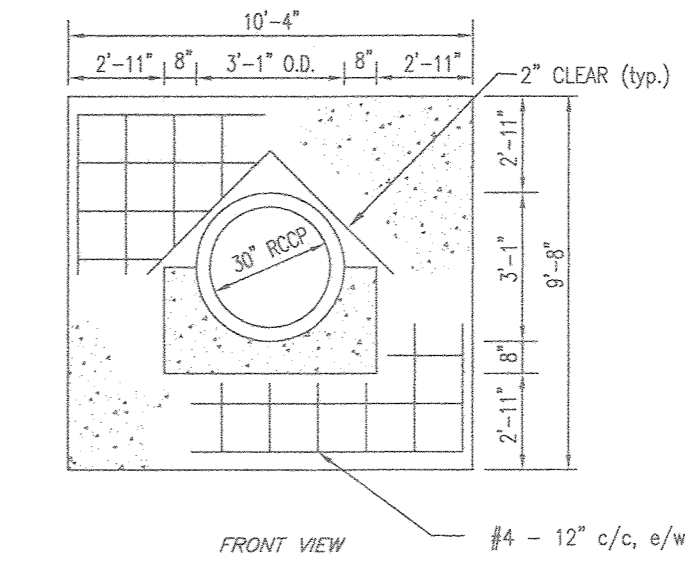


NOTES:
1. RISER JOINTS SHALL JOIN EVENLY AND BE WATER-TIGHT. PARGE JOINTS AFTER INSTALLATION.
2. THE REFERENCED JOINT AND JOINT SEALANT MATERIAL IS USED BY FREDERICK PRECAST, INC. SIMILAR JOINTS MAY BE USED WITH SHOP DRAWING APPROVAL BY THE ENGINEER.

RISER JOINT DETAIL
NOT TO SCALE



KEYWAY DETAIL
NOT TO SCALE

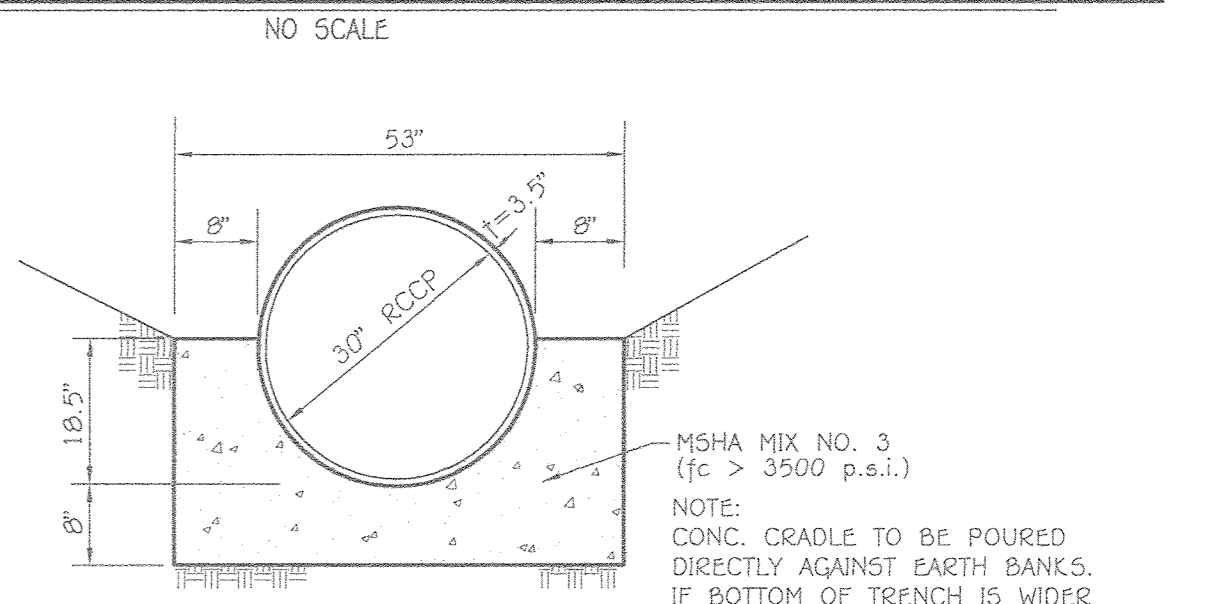


ANTI-SEEP COLLAR DETAIL
NO SCALE

ANTI-SEEP COLLAR NOTES

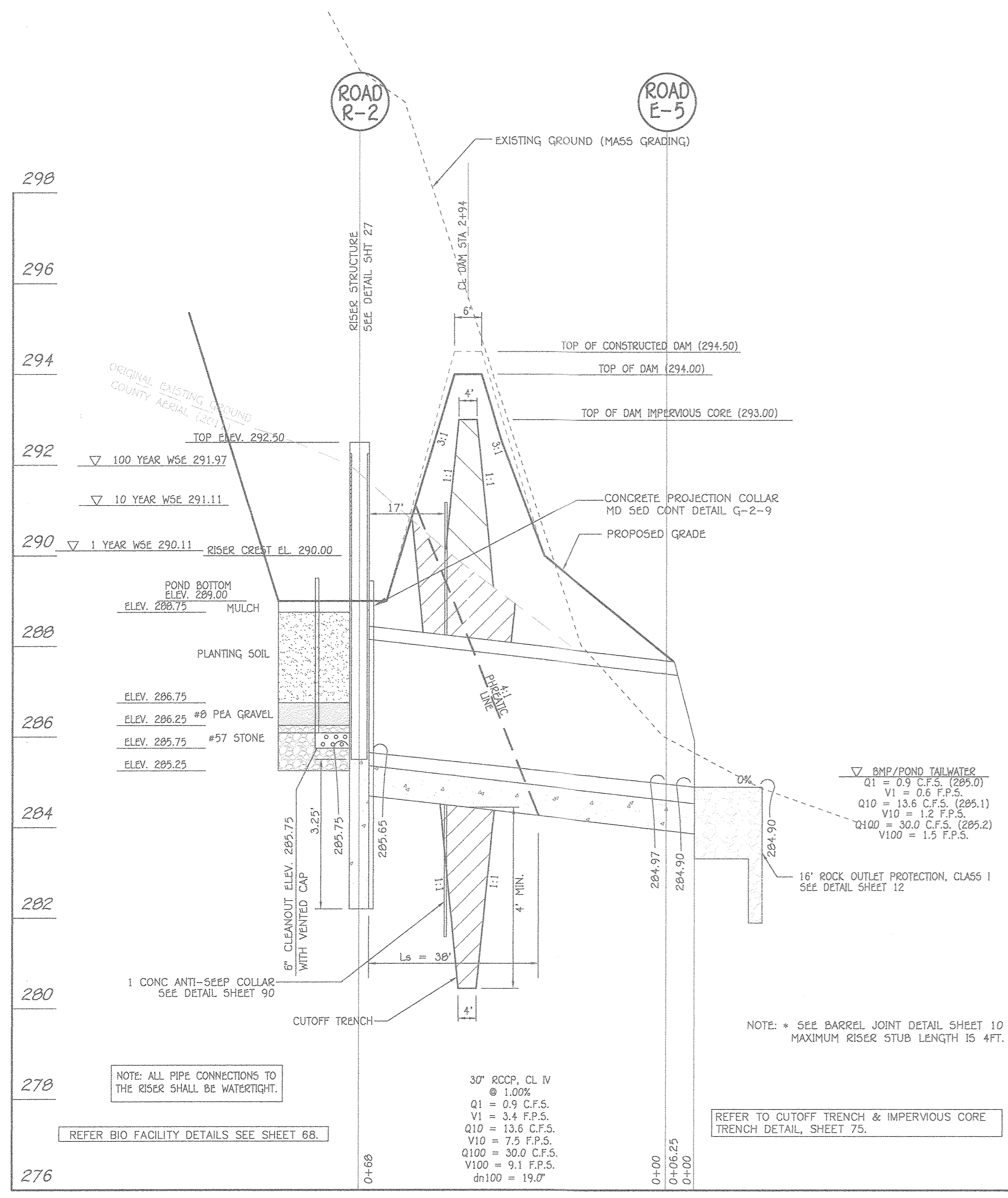
- LOWER HALF OF COLLAR SHALL BE POURED CONCURRENTLY WITH THE CRADLE POUR.
- REBAR IS SHOWN SCHEMATICALLY AND SHALL BE PLACED THROUGHOUT THE ENTIRE COLLAR.
- PROVIDE A WATER TIGHT SEAL IN ANNULAR SPACE BETWEEN PIPE AND COLLAR USING MASTIC SEALER. USE A "A-LOK" JOINT SEAL PRODUCT.
- LOCATE COLLAR 2" MINIMUM FROM JOINT AND MAINTAIN 10" MINIMUM SEPARATION FROM COLLAR TO COLLAR OR COLLAR TO RISER.
- PLACE TWO (2) ADDITIONAL REBAR'S (4" MIN. LONG) AT RIGHT ANGLES TO REBAR GRID 2" FROM PIPE O.D.
- COLLAR MATERIAL SPECIFICATIONS SHALL MEET THE SAME AS THAT FOR THE CONCRETE RISER (SWM OUTFALL) STRUCTURE.

ANTI-SEEP COLLAR DETAIL

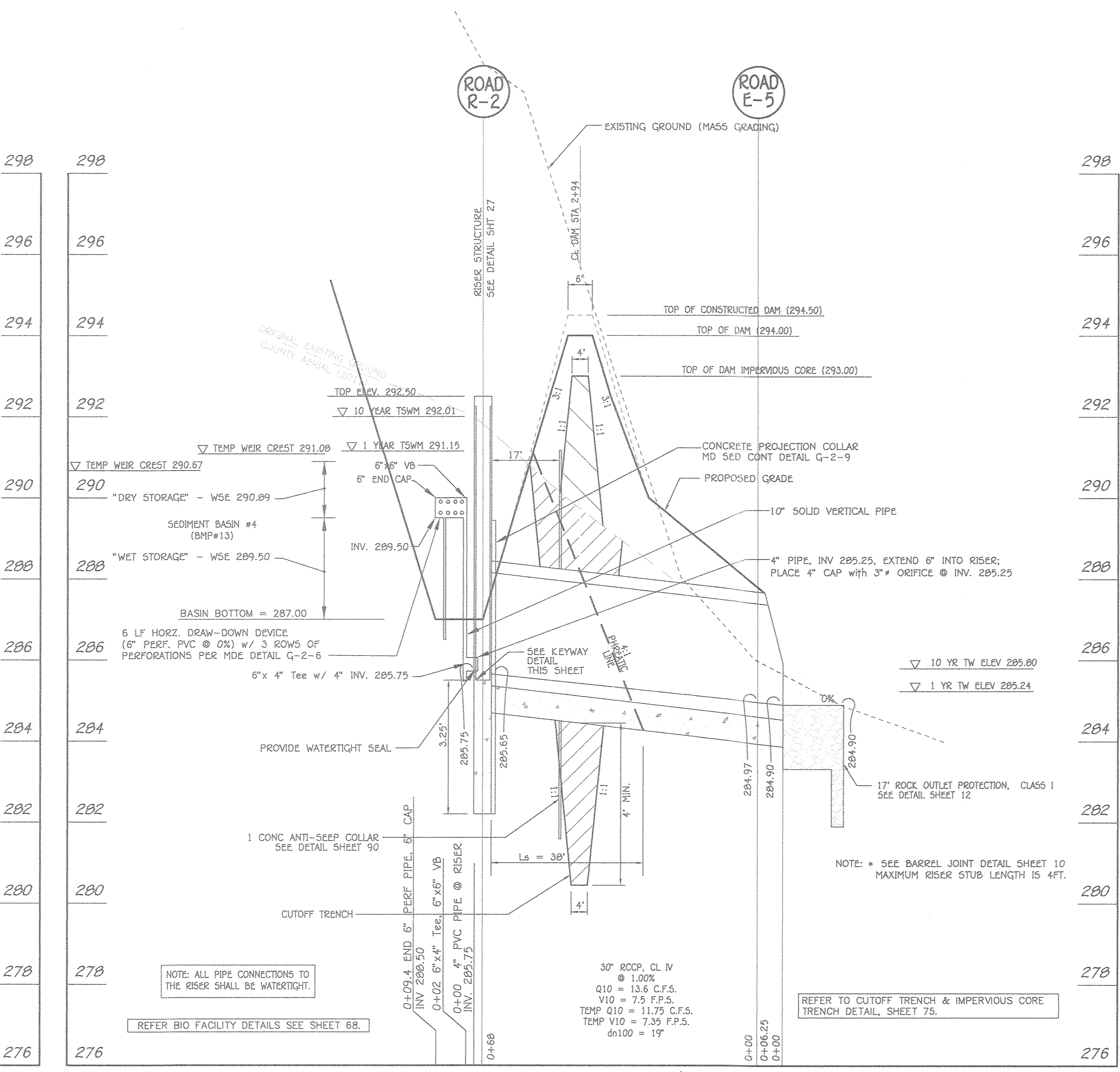


CONC. CRADLE DETAIL
NO SCALE

NOTE:
THIS FACILITY WAS CONSTRUCTED UNDER A REDLINE REVISION TO F-17-064 CHASE PROPERTY AT MISSION ROAD. FINAL CONVERSION TO SWM SHALL BE DONE UNDER THIS PLAN.



BMP 13 PRINCIPAL SPILLWAY PROFILE
SCALE: HORIZ. : 1" = 20'
VERT. : 1" = 2'



SEDIMENT BASIN #4 @ BMP #13 w/ TEMPORARY SWM DRAWDOWN DEVICE OUTFALL PROFILE
SCALE: HORIZ. : 1" = 20'
VERT. : 1" = 2'

FISHER, COLLINS & CARTER, INC.
CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
CENTRAL SQUARE OFFICE PARK - 10272 BALTIMORE NATIONAL PIKE
ELLSWORTH CITY, MARYLAND 21042
(410) 461-8995

ENGINEER'S CERTIFICATE
"I HEREBY CERTIFY THAT THIS PLAN WAS DESIGNED IN ACCORDANCE WITH THE CURRENT MARYLAND EROSION AND SEDIMENT CONTROL LAWS, REGULATIONS, AND STANDARDS REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT."
Signature: Stephanie J. Tate
DATE: 8/17/20

DEVELOPER'S CERTIFICATE
"I/WE HEREBY CERTIFY THAT ANY CLEARING, GRADING, CONSTRUCTION, OR DEVELOPMENT WILL BE DONE PURSUANT TO THIS APPROVED EROSION AND SEDIMENT CONTROL PLAN, INCLUDING INSPECTING AND MAINTAINING CONTROLS, AND THAT THE RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF TRAINING AT A MARYLAND DEPARTMENT OF THE ENVIRONMENT (MDE) APPROVED TRAINING PROGRAM FOR THE CONTROL ON EROSION AND SEDIMENT PRIOR TO BEGINNING THE PROJECT. I CERTIFY RIGHT OF ENTRY FOR PERIODIC ON-SITE EVALUATION BY HOWARD COUNTY, THE HOWARD SOIL CONSERVATION DISTRICT AND/OR MDE."
Signature: [Signature]
DATE: 8-19-2020

"PROFESSIONAL CERTIFICATION. I HEREBY CERTIFY THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 38386, EXPIRATION DATE: JANUARY 12, 2022."
Signature: Stephanie J. Tate
DATE: 8/17/20

APPROVED: DEPARTMENT OF PLANNING AND ZONING
Director - Department of Planning and Zoning
Date: 10/5/20

Chief, Division of Land Development
Date: 8/20/20

PREPARED FOR
HOWARD COUNTY PUBLIC SCHOOL SYSTEM
9020 MENDENHALL COURT
SUITE "C"
COLUMBIA, MARYLAND 21045
Attention: DANIEL LUBELEY
410-313-8203

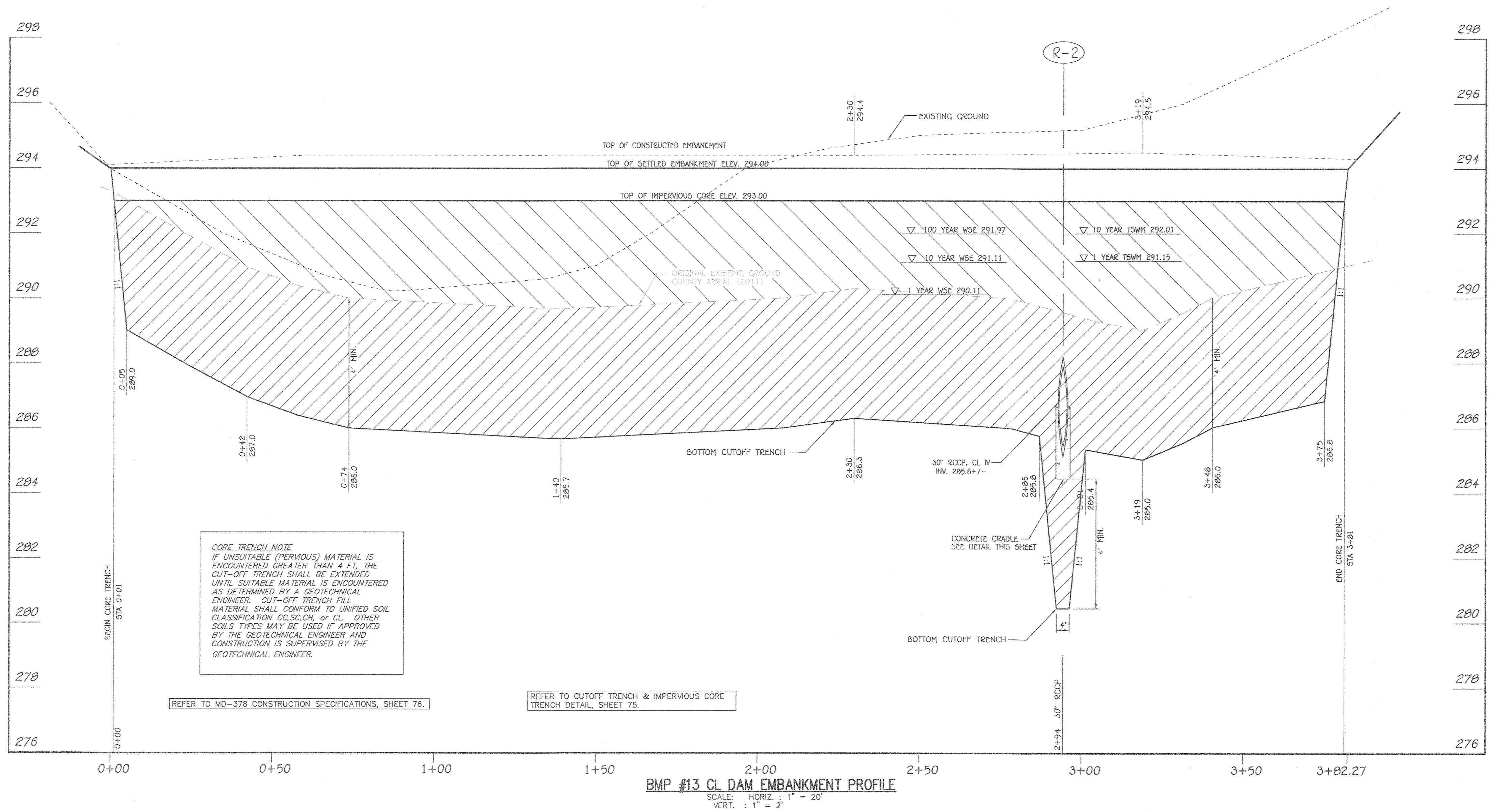
STATE OF MARYLAND
PROFESSIONAL ENGINEER
No. 38386
Stephanie J. Tate

ADDRESS CHART	
PARCEL NO.	STREET ADDRESS
-	8500 RIDGELY'S RUN ROAD JESSUP, MARYLAND 20794
PROJECT	SECTION/AREA
HIGH SCHOOL #13	N/A
PLAT NO. 25528	PARCEL 102, 349, 235
BLOCK NO. 18 & 24	TAX MAP No.: 42 & 43
ZONE R-12	ELEC. DIST. SIXTH
TAX MAP No.: 13 & 19	CENSUS TR. 606901
WATER CODE	SEWER CODE

BMP #13 PRINCIPAL SPILLWAY PROFILE AND DETAIL & TEMPORARY SWM DETAILS

HIGH SCHOOL #13 PARCELS 'A' THRU 'D'

ZONED: R-5C MXD-3, R-5A-B MXD-3 AND R-12
PARCEL Nos.: 102, 349, 235
TAX MAP No.: 42 & 43 GRID No.: 24 & 19
SIXTH ELECTION DISTRICT HOWARD COUNTY, MARYLAND
SCALE: AS SHOWN DATE: AUGUST, 2020
SHEET 90 OF 131



CORE TRENCH NOTE
 IF UNSUITABLE (PERVIOUS) MATERIAL IS ENCOUNTERED GREATER THAN 4 FT, THE CUT-OFF TRENCH SHALL BE EXTENDED UNTIL SUITABLE MATERIAL IS ENCOUNTERED AS DETERMINED BY A GEOTECHNICAL ENGINEER. CUT-OFF TRENCH FILL MATERIAL SHALL CONFORM TO UNIFIED SOIL CLASSIFICATION GC, SC, CH, or CL. OTHER SOILS TYPES MAY BE USED IF APPROVED BY THE GEOTECHNICAL ENGINEER AND CONSTRUCTION IS SUPERVISED BY THE GEOTECHNICAL ENGINEER.

REFER TO MD-378 CONSTRUCTION SPECIFICATIONS, SHEET 76.
 REFER TO CUTOFF TRENCH & IMPERVIOUS CORE TRENCH DETAIL, SHEET 75.

BMP #13 CL DAM EMBANKMENT PROFILE
 SCALE: HORIZ. : 1" = 20'
 VERT. : 1" = 2'

NOTE:
 THIS FACILITY WAS CONSTRUCTED UNDER A REDLINE REVISION TO F-17-064 CHASE PROPERTY AT MISSION ROAD. FINAL CONVERSION TO SWM SHALL BE DONE UNDER THIS PLAN.

FISHER, COLLINS & CARTER, INC.
 CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
 CENTENNIAL SQUARE OFFICE PARK - 10272 BALTIMORE NATIONAL PIKE
 ELLSWORTH CITY, MARYLAND 21042
 (410) 461-2899

ENGINEER'S CERTIFICATE
 "I HEREBY CERTIFY THAT THIS PLAN HAS BEEN DESIGNED IN ACCORDANCE WITH THE CURRENT MARYLAND EROSION AND SEDIMENT CONTROL LAWS, REGULATIONS, AND STANDARDS REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE, AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT."
 Signature: *Stephanie Tuttle* DATE: 8/17/20
 SIGNATURE OF ENGINEER DATE

DEVELOPER'S CERTIFICATE
 "I/WE HEREBY CERTIFY THAT ANY CLEARING, GRADING, CONSTRUCTION, OR DEVELOPMENT WILL BE DONE PURSUANT TO THIS APPROVED EROSION AND SEDIMENT CONTROL PLAN, INCLUDING INSPECTING AND MAINTAINING CONTROLS, AND THAT THE RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF TRAINING AT A MARYLAND DEPARTMENT OF THE ENVIRONMENT (MDE) APPROVED TRAINING PROGRAM FOR THE CONTROL ON EROSION AND SEDIMENT PRIOR TO BEGINNING THE PROJECT. I CERTIFY RIGHT OF ENTRY FOR PERIODIC ON-SITE EVALUATION BY HOWARD COUNTY, THE HOWARD SOIL CONSERVATION DISTRICT AND/OR MDE."
 Signature: *James H. Hulley* DATE: 8-19-2020
 SIGNATURE OF DEVELOPER DATE

"PROFESSIONAL CERTIFICATION. I HEREBY CERTIFY THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 38386, EXPIRATION DATE: JANUARY 12, 2022."
 Signature: *Stephanie Tuttle* DATE: 8/17/20
 STEPHANIE M. TUTTLE, RIA, P.E., LEED AP BC&O
 SIGNATURE OF PROFESSIONAL ENGINEER DATE

APPROVED: DEPARTMENT OF PLANNING AND ZONING
 Director: *[Signature]* DATE: 10/5/20
 Chief, Division of Land Development: *[Signature]* DATE: 8-24-20
 Chief, Development Engineering Division: *[Signature]* DATE: 8-24-20

PREPARED FOR
 HOWARD COUNTY PUBLIC SCHOOL SYSTEM
 9020 MIDDENHALL COURT
 SUITE "C"
 COLUMBIA, MARYLAND 21045
 Attention: DANIEL LUBELEY
 410-313-8203

DATE: 10/5/20

ADDRESS CHART

PARCEL NO.	STREET ADDRESS
-	8500 RIDGELYS RUN ROAD
-	JESSUP, MARYLAND 20794

PROJECT: HIGH SCHOOL #13
 SECTION/AREA: N/A
 PARCEL: 102, 349, 235

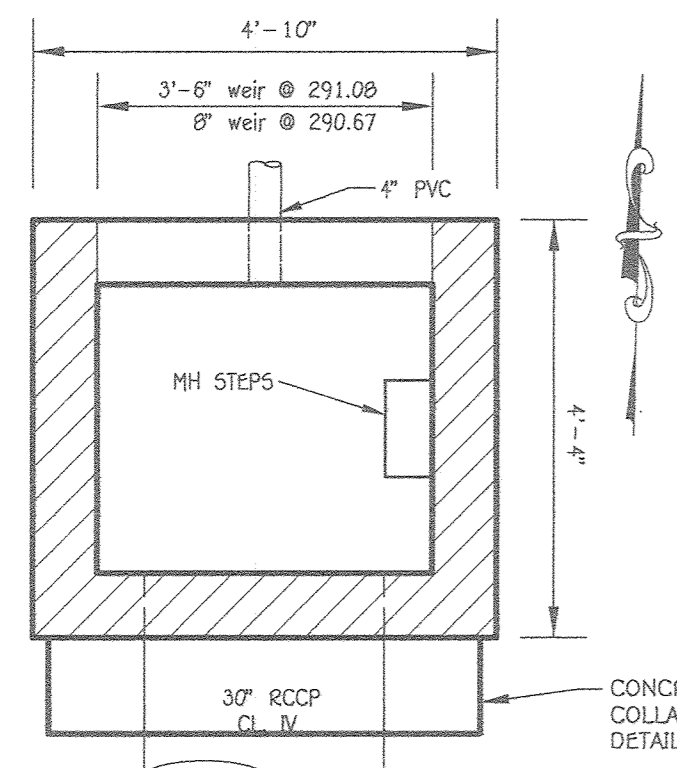
PLAT NO.	BLOCK NO.	ZONE	TAX MAP	ELEC. DIST.	CENSUS TR.
26528	18 & 24	R-12	42 & 43	SIXTH	606901
26532	13 & 19	R-5C MXD-3 R-5A-B MXD-3	42 & 43	SIXTH	606901

WATER CODE: --- SEWER CODE: ---

BMP #13 CL DAM PROFILE

**HIGH SCHOOL #13
 PARCELS 'A' THRU 'D'**

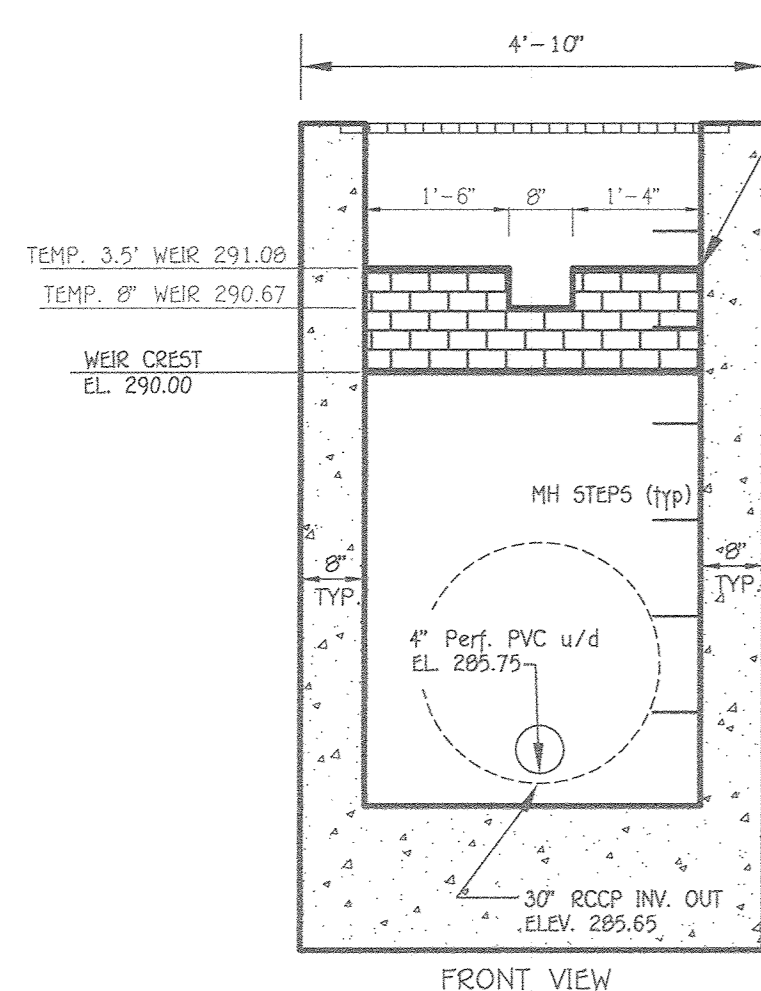
ZONED: R-5C MXD-3, R-5A-B MXD-3 AND R-12
 PARCEL Nos.: 102, 349, 235
 TAX MAP No.: 42 & 43 GRID No.: 24 & 19
 SIXTH ELECTION DISTRICT HOWARD COUNTY, MARYLAND
 SCALE: AS SHOWN DATE: AUGUST, 2020
 SHEET 91 OF 131



REFER TO SHEET 68 FOR STANDARDS NOTES AND SPECIFICATIONS.

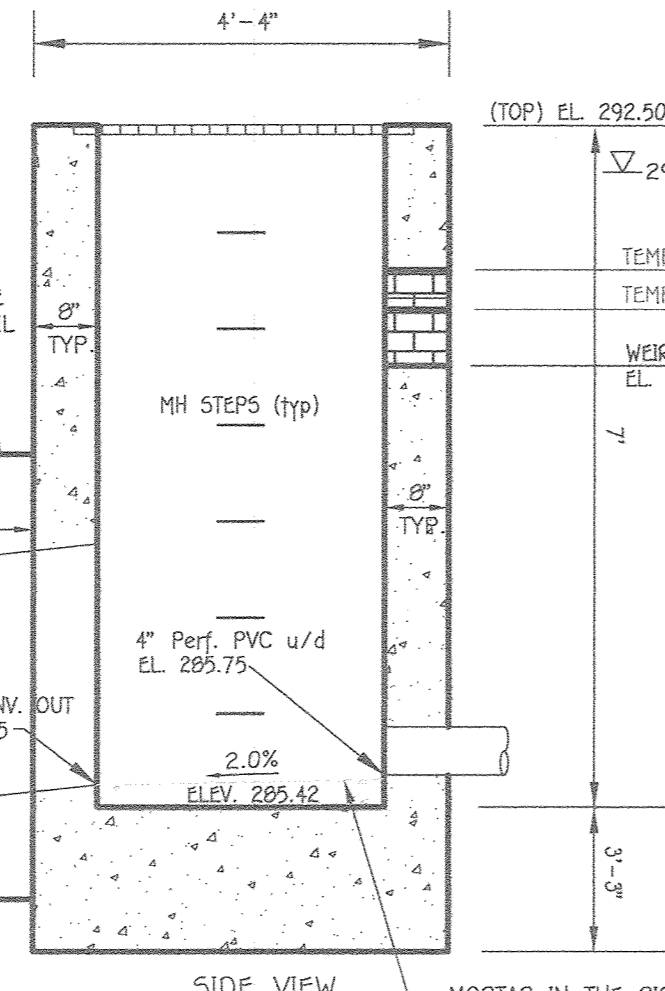
PLAN (SHOWN W/O GRATE)

MODIFY RISER FOR SEDIMENT CONTROL & TEMP SWM AS FOLLOWS:
 - BRICK LOWER WEIR TO EL. 290.67 (8\"/>



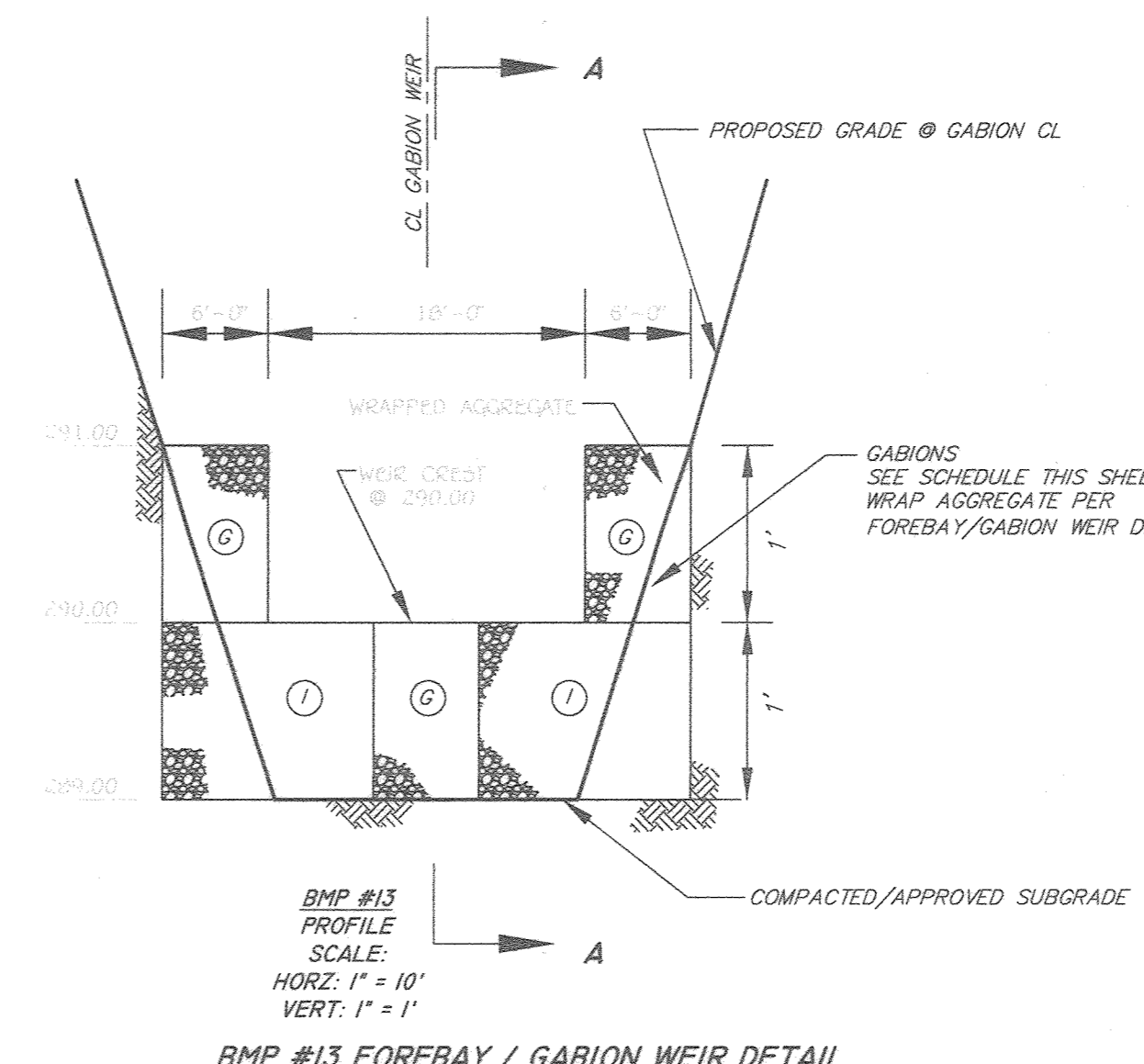
FRONT VIEW

RISER R-2 DETAIL
 SCALE: 1" = 2'



SIDE VIEW

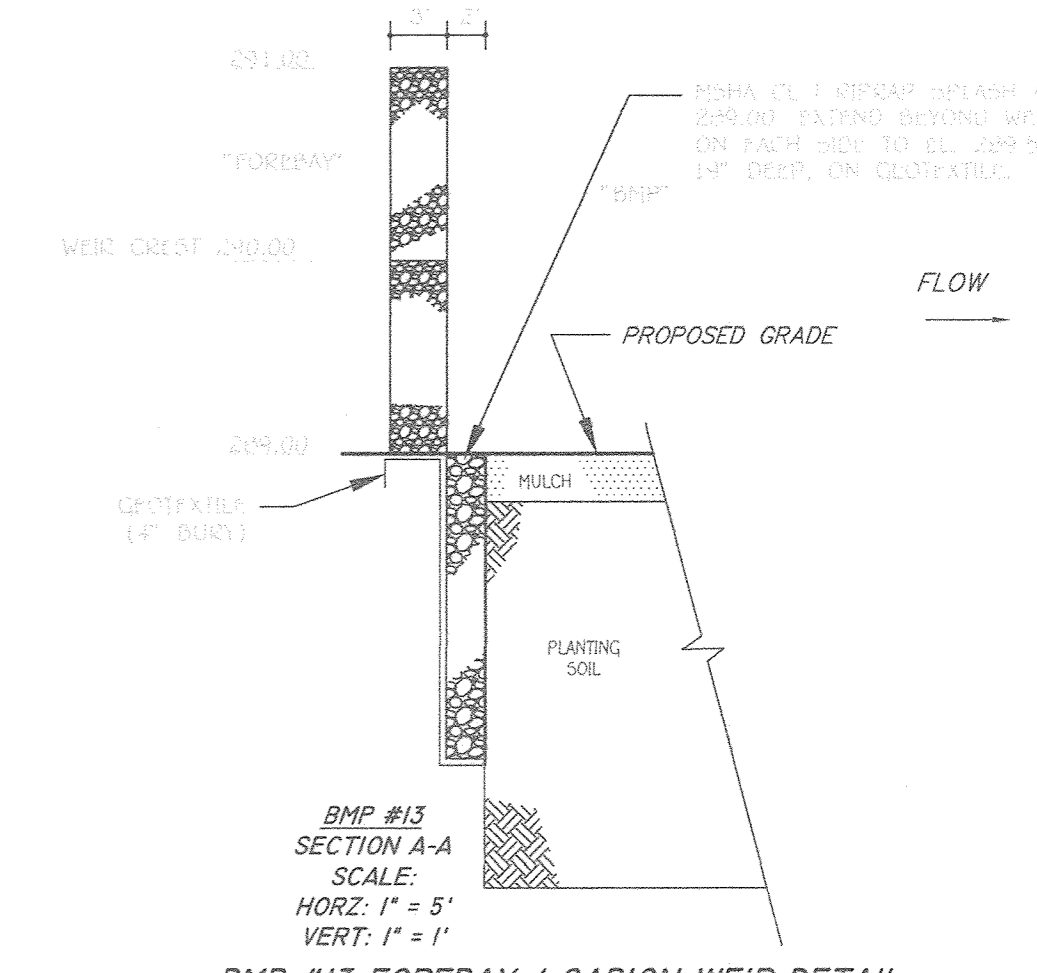
MORTAR IN THE RISER INVERTS SHALL BE "WEBER COLOR 877" MANUFACTURED BY WEBER SAINT-GOBAIN.



BMP #13 FOREBAY / GABION WEIR DETAIL

BMP #13 FOREBAY GABION WEIR SCHEDULE (Gabion Basket Quantities)		
MANUFACTURER'S LETTER CODE/DIMENSIONS		QUANTITY
6	6'x3'x1'	3
1	12'x3'x1'	2

REFER TO SHEET 76 FOR FOREBAY/GABION WEIR NOTES.



BMP #13 FOREBAY / GABION WEIR DETAIL

NOTE:
 THIS FACILITY WAS CONSTRUCTED UNDER A REDLINE REVISION TO F-17-064 CHASE PROPERTY AT MISSION ROAD. FINAL CONVERSION TO SWM SHALL BE DONE UNDER THIS PLAN.

FISHER, COLLINS & CARTER, INC.
 CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
 CENTENNIAL SQUARE OFFICE PARK - 10272 BALTIMORE NATIONAL PIKE
 ELLSWORTH CITY, MARYLAND 21142
 (410) 461-2295

ENGINEER'S CERTIFICATE
 "I HEREBY CERTIFY THAT THIS PLAN HAS BEEN DESIGNED IN ACCORDANCE WITH THE CURRENT MARYLAND EROSION AND SEDIMENT CONTROL LAWS, REGULATIONS, AND STANDARDS REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE, AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT."
 Signature: *Stephanie J. Tuite* DATE: 8/17/20
 STEPHANIE J. TUITE, RLA, P.E., LEED AP BC&O

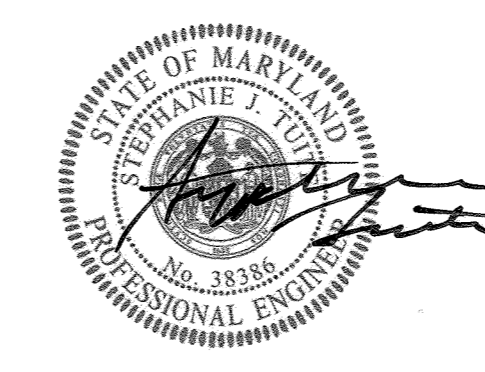
DEVELOPER'S CERTIFICATE
 "I/WE HEREBY CERTIFY THAT ANY CLEARING, GRADING, CONSTRUCTION, OR DEVELOPMENT WILL BE DONE PURSUANT TO THIS APPROVED EROSION AND SEDIMENT CONTROL PLAN, INCLUDING INSPECTING AND MAINTAINING CONTROLS, AND THAT THE RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF TRAINING AT A MARYLAND DEPARTMENT OF THE ENVIRONMENT (MDE) APPROVED TRAINING PROGRAM FOR THE CONTROL ON EROSION AND SEDIMENT PRIOR TO BEGINNING THE PROJECT. I CERTIFY RIGHT OF ENTRY FOR PERIODIC ON-SITE EVALUATION BY HOWARD COUNTY, THE HOWARD SOIL CONSERVATION DISTRICT AND/OR MDE."
 Signature: *[Signature]* DATE: 8-19-2020

"PROFESSIONAL CERTIFICATION. I HEREBY CERTIFY THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 38386, EXPIRATION DATE: JANUARY 12, 2022."
 Signature: *Stephanie J. Tuite* DATE: 8/17/20
 STEPHANIE J. TUITE, RLA, P.E., LEED AP BC&O

THESE PLANS FOR STORMWATER CONSTRUCTION, SOIL EROSION AND SEDIMENT CONTROL MEET THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.
 HOWARD SOIL CONSERVATION DISTRICT DATE: _____

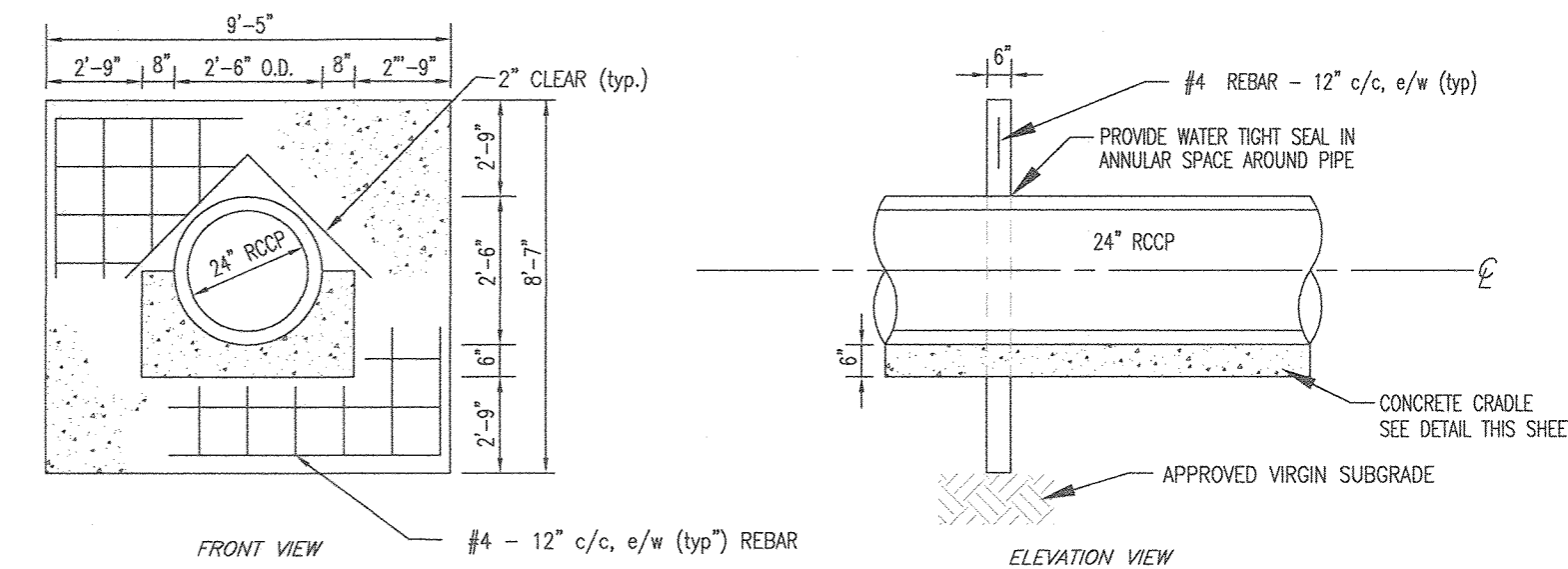
APPROVED: DEPARTMENT OF PLANNING AND ZONING
 Director - Department of Planning and Zoning DATE: 10/5/20
 Chief, Division of Land Development DATE: 10/5/20
 Chief, Development Engineering Division DATE: 8-26-20

PREPARED FOR
 HOWARD COUNTY PUBLIC SCHOOL SYSTEM
 9020 MENDENHALL COURT
 SUITE 'C'
 COLUMBIA, MARYLAND 21045
 Attention: DANIEL LUBELEY
 410-313-8203

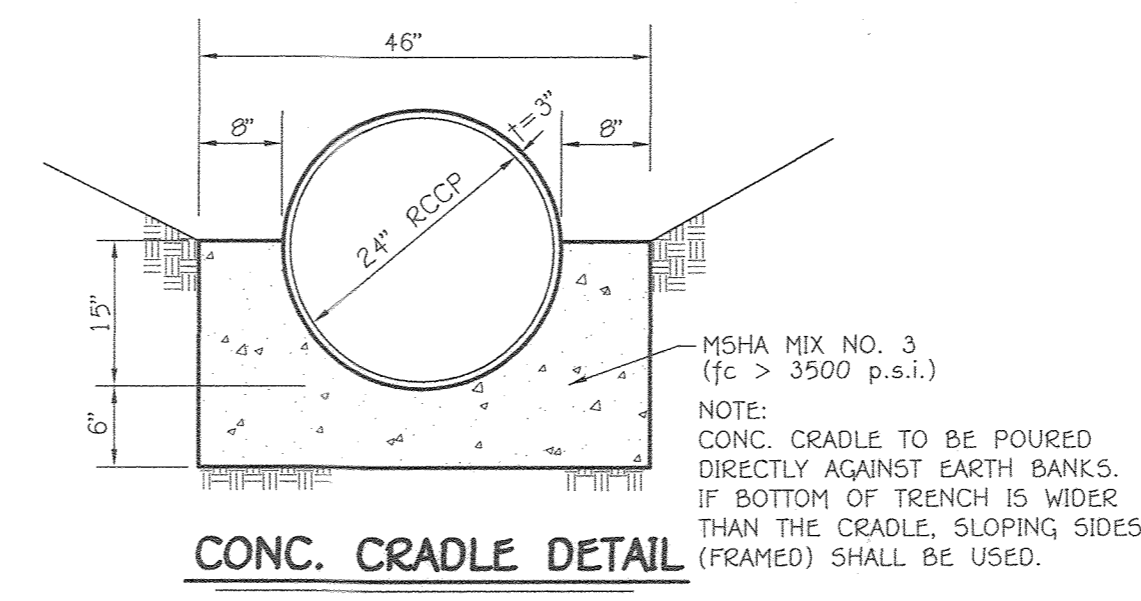


ADDRESS CHART					
PARCEL NO.	STREET ADDRESS				
-	8500 RIDGELY'S RUN ROAD JESSUP, MARYLAND 20794				
PROJECT	SECTION/AREA				
HIGH SCHOOL #13	N/A				
PLAT NOS.	BLOCK NO.	ZONE	TAX MAP	ELEC. DIST.	CENSUS TR.
25528 25529	18 & 24 13 & 19	R-12 RSC MXD-3 RSA-B MXD-3	42 & 43	SIXTH	606901
WATER CODE	SEWER CODE				
----	----				

BMP #13 FOREBAY/GABION DETAILS & TEMPORARY SWM DETAILS
HIGH SCHOOL #13 PARCELS 'A' THRU 'D'
 ZONED: R-SC MXD-3, R-5A-B MXD-3 AND R-12
 PARCEL Nos.: 102, 349, 235
 TAX MAP No.: 42 & 43 GRID No.: 24 & 19
 SIXTH ELECTION DISTRICT HOWARD COUNTY, MARYLAND
 SCALE: AS SHOWN DATE: AUGUST, 2020
 SHEET 92 OF 131

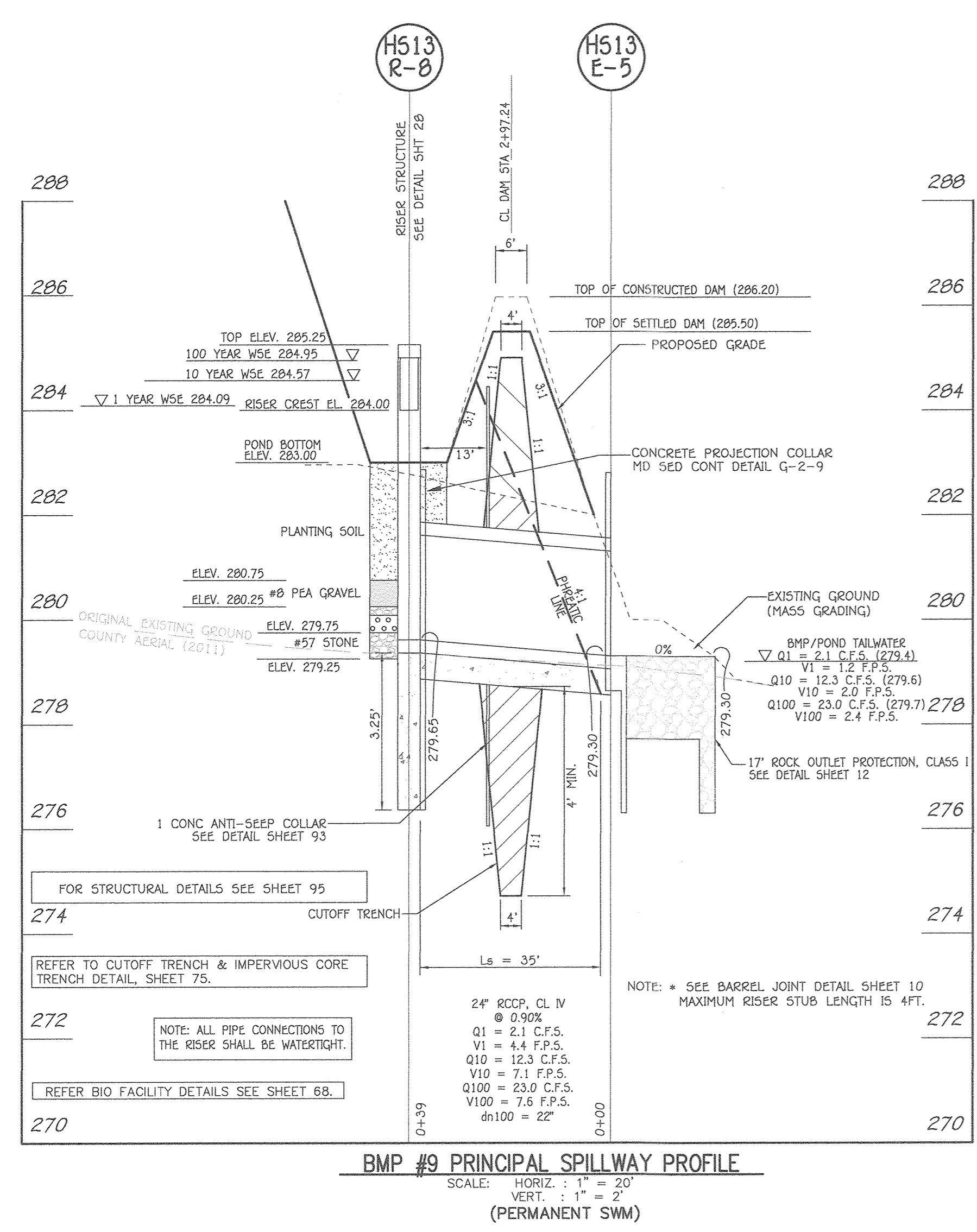


- ANTI-SEEP COLLAR NOTES**
1. LOWER HALF OF COLLAR SHALL BE POURED CONCURRENTLY WITH THE CRADLE POUR.
 2. REBAR IS SHOWN SCHEMATICALLY AND SHALL BE PLACED THROUGHOUT THE ENTIRE COLLAR.
 3. PROVIDE A WATER TIGHT SEAL IN ANNULAR SPACE BETWEEN PIPE AND COLLAR USING MASTIC SEALER. USE A "A-LOK" JOINT SEAL PRODUCT.
 4. LOCATE COLLAR 2" MINIMUM FROM JOINT AND MAINTAIN 10" MINIMUM SEPARATION FROM COLLAR TO COLLAR OR COLLAR TO RISER.
 5. PLACE TWO (2) ADDITIONAL REBARS (4' MIN. LONG) AT RIGHT ANGLES TO REBAR GRID 2" FROM PIPE O.D.
 6. COLLAR MATERIAL SPECIFICATIONS SHALL MEET THE SAME AS THAT FOR THE CONCRETE RISER (5WV OUTFALL) STRUCTURE.

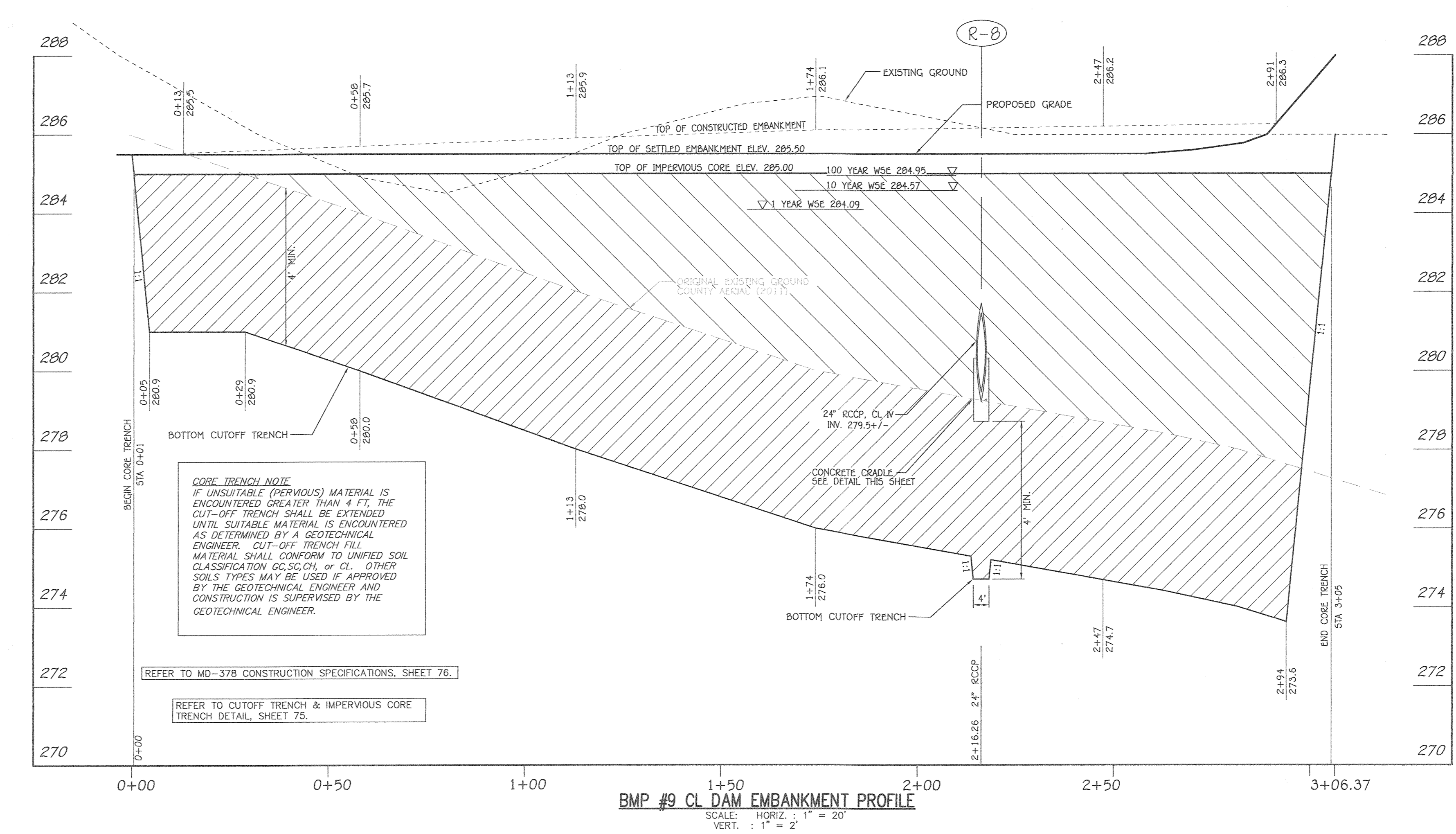


CONC. CRADLE DETAIL
NO SCALE

ANTI-SEEP COLLAR DETAIL
NO SCALE



BMP #9 PRINCIPAL SPILLWAY PROFILE
SCALE: HORIZ. : 1" = 20'
VERT. : 1" = 2'
(PERMANENT SWM)



BMP #9 CL DAM EMBANKMENT PROFILE
SCALE: HORIZ. : 1" = 20'
VERT. : 1" = 2'

NOTE:
THIS FACILITY WAS CONSTRUCTED UNDER A REDLINE REVISION TO F-17-064 CHASE PROPERTY AT MISSION ROAD. FINAL CONVERSION TO SWM SHALL BE DONE UNDER THIS PLAN.

FISHER, COLLINS & CARTER, INC.
CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
CENTRAL SQUARE OFFICE PARK - 10272 BALDOR NATIONAL PIKE
ELLETT CITY, MARYLAND 21042
(410) 461 - 2099

ENGINEER'S CERTIFICATE
"I HEREBY CERTIFY THAT THIS PLAN HAS BEEN DESIGNED IN ACCORDANCE WITH THE CURRENT MARYLAND EROSION AND SEDIMENT CONTROL LAWS, REGULATIONS, AND STANDARDS REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE, AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT."
SIGNATURE OF ENGINEER: *Stephanie Tuite* DATE: 8/19/20
DEVELOPER'S CERTIFICATE
"I/WE HEREBY CERTIFY THAT ANY CLEARING, GRADING, CONSTRUCTION, OR DEVELOPMENT WILL BE DONE PURSUANT TO THIS APPROVED EROSION AND SEDIMENT CONTROL PLAN, INCLUDING INSPECTING AND MAINTAINING CONTROLS, AND THAT THE RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF TRAINING AT A MARYLAND DEPARTMENT OF THE ENVIRONMENT (MDE) APPROVED TRAINING PROGRAM FOR THE CONTROL ON EROSION AND SEDIMENT PRIOR TO BEGINNING THE PROJECT. I CERTIFY RIGHT OF ENTRY FOR PERIODIC ON-SITE EVALUATION BY HOWARD COUNTY, THE HOWARD SOIL CONSERVATION DISTRICT AND/OR MDE."
SIGNATURE OF DEVELOPER: *James J. Hulley* DATE: 8-19-2020

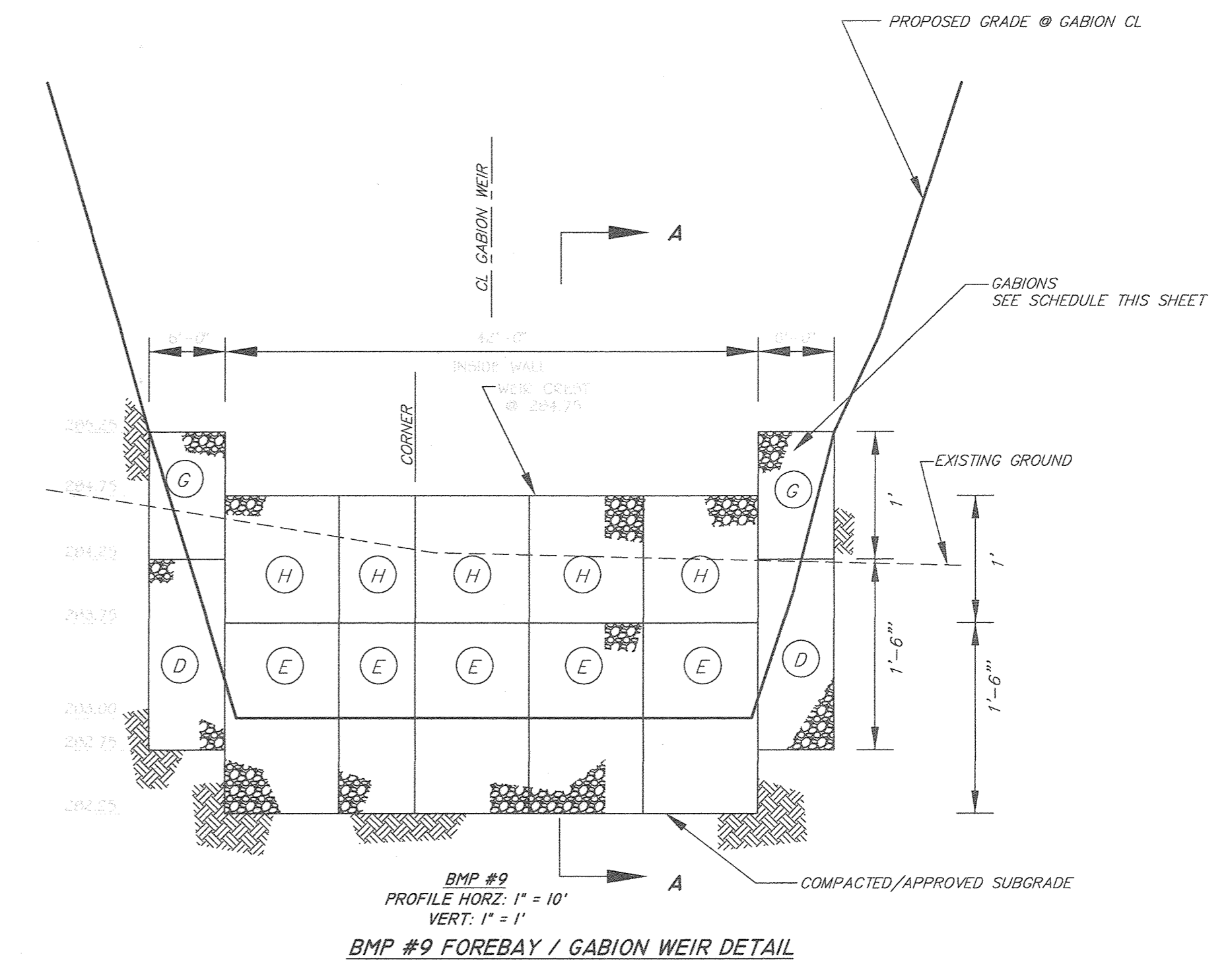
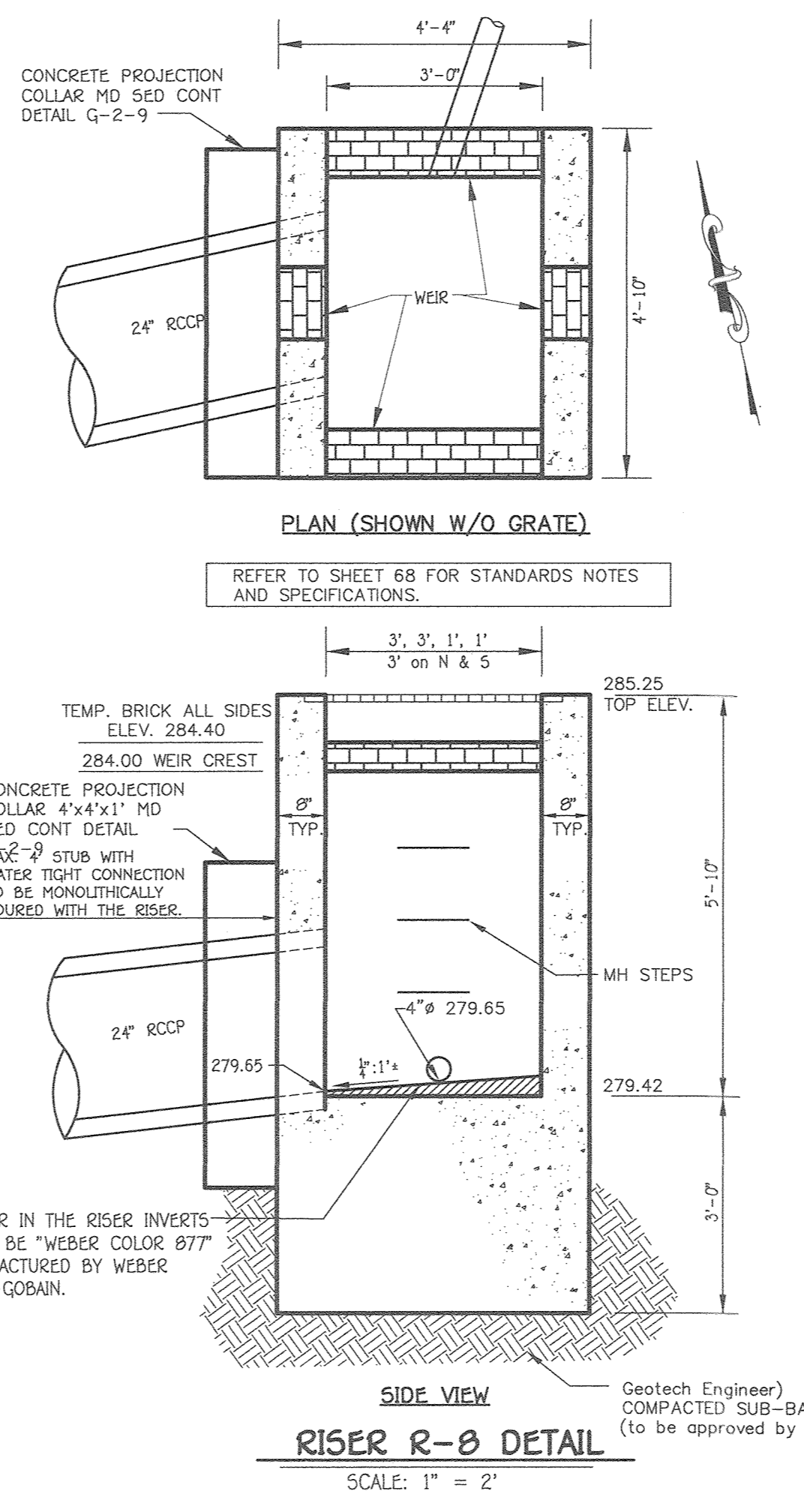
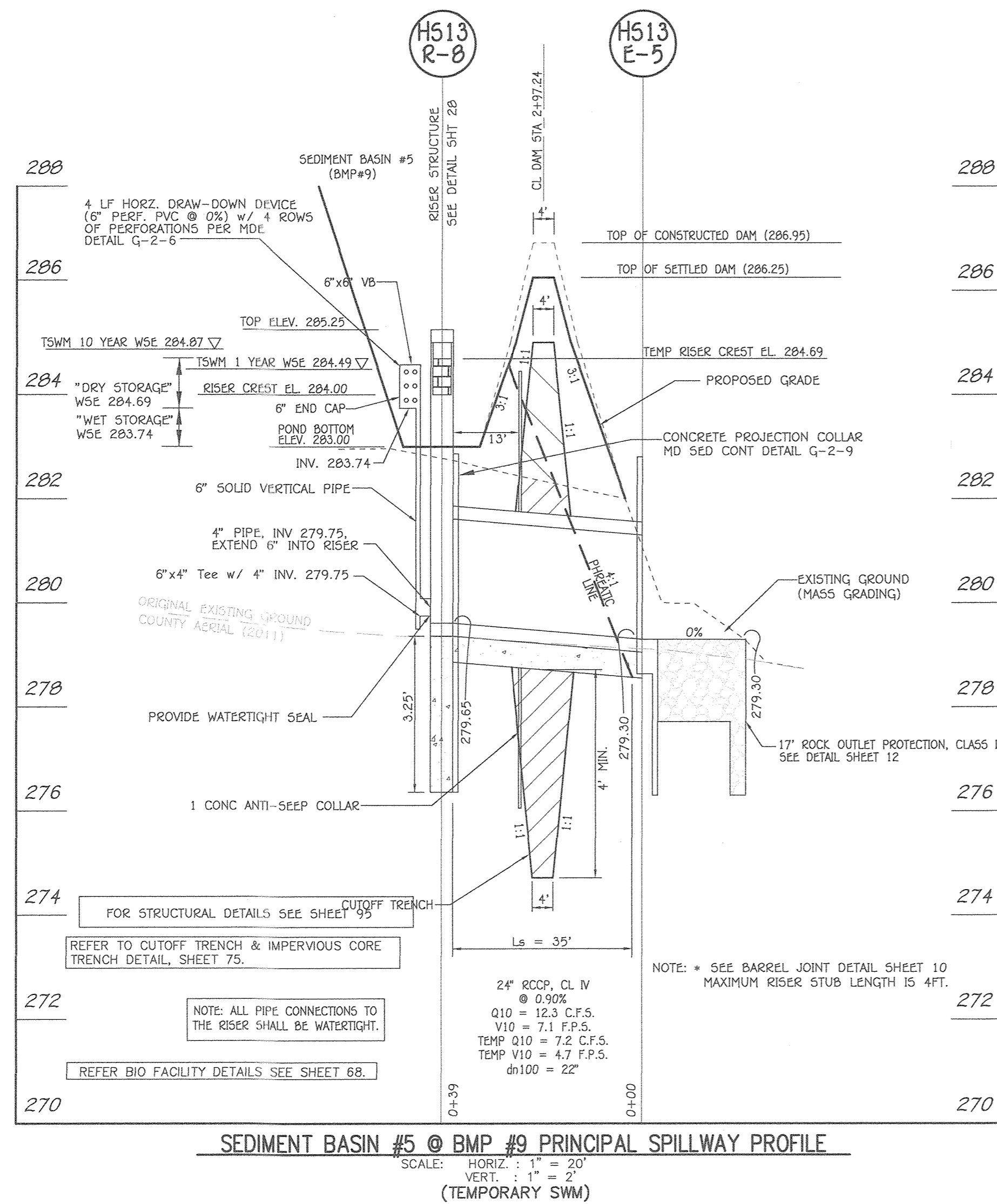
"PROFESSIONAL CERTIFICATION. I HEREBY CERTIFY THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 30386, EXPIRATION DATE: JANUARY 12, 2022."
SIGNATURE OF PROFESSIONAL ENGINEER: *Stephanie Tuite* DATE: 8/19/20
STEPHANIE TUITE, R.L.A., P.E., LEED AP BC&D
THESE PLANS FOR SMALL POND CONSTRUCTION, SOIL EROSION AND SEDIMENT CONTROL MEET THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.
HOWARD SOIL CONSERVATION DISTRICT DATE: _____

APPROVED: DEPARTMENT OF PLANNING AND ZONING
Director: *John G. ...* DATE: 10/5/20
Chief of Planning and Zoning: *...* DATE: 8/24/20
Chief, Development Engineering Division: *...* DATE: _____

PREPARED FOR
HOWARD COUNTY PUBLIC SCHOOL SYSTEM
9020 MENDENHALL COURT
SUITE 101
COLUMBIA, MARYLAND 21045
Attention: DANIEL LUBELEY
410-313-8203

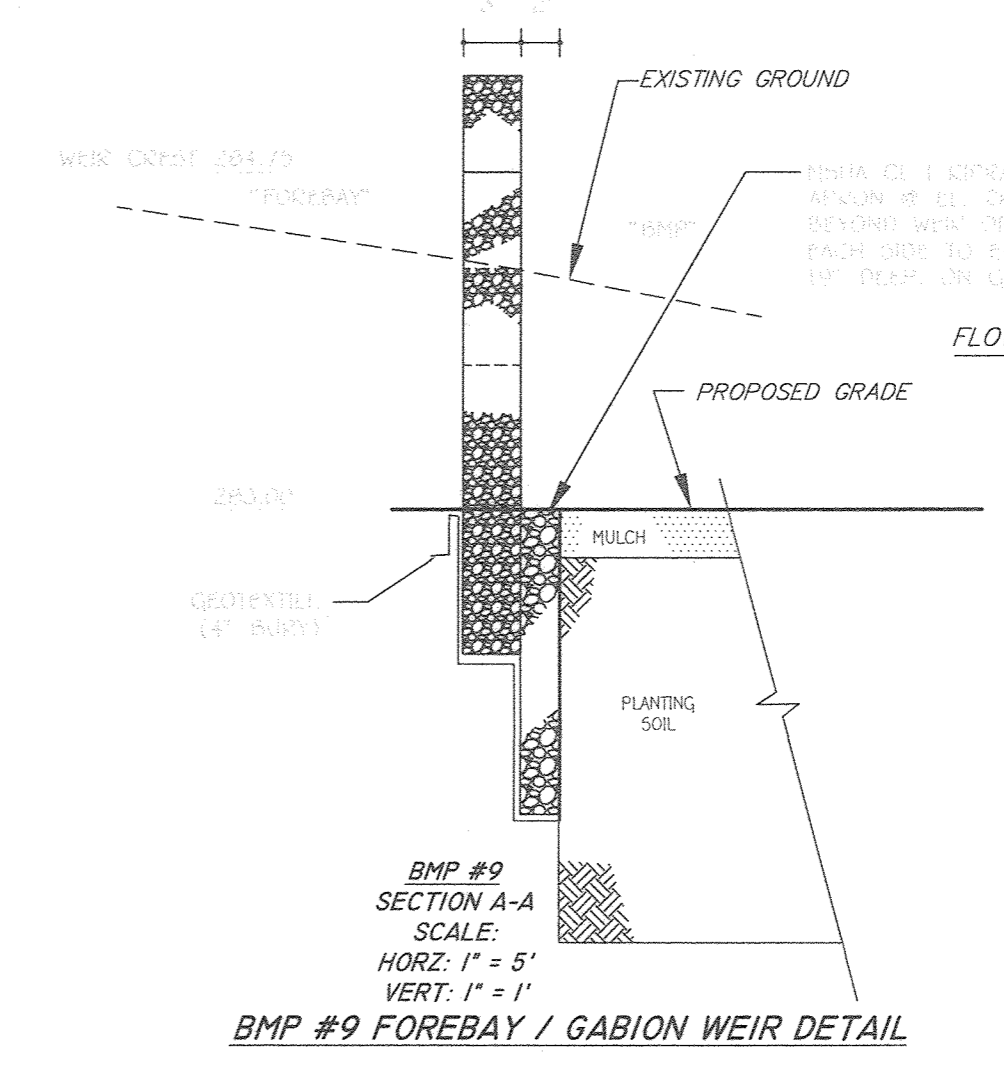
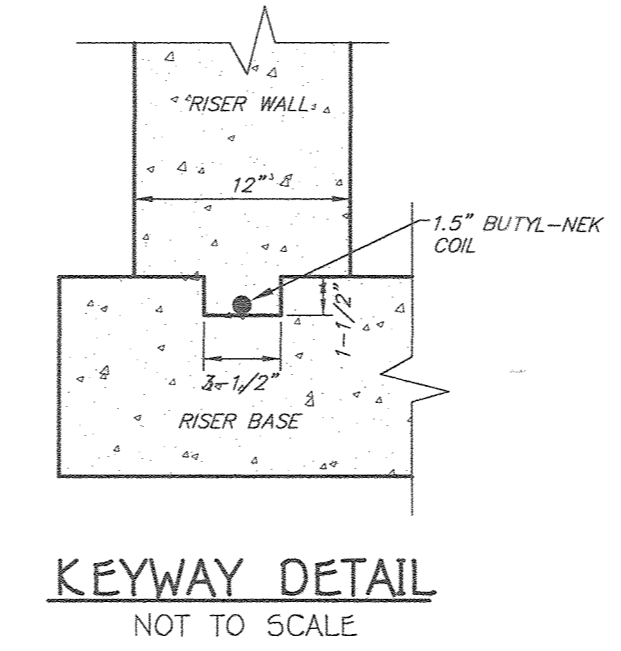
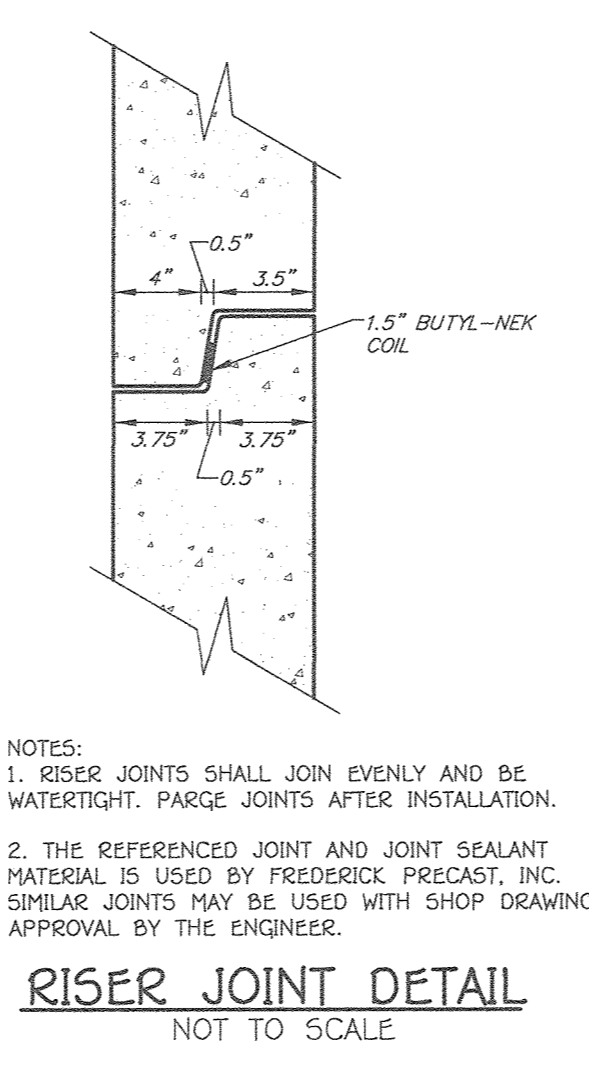
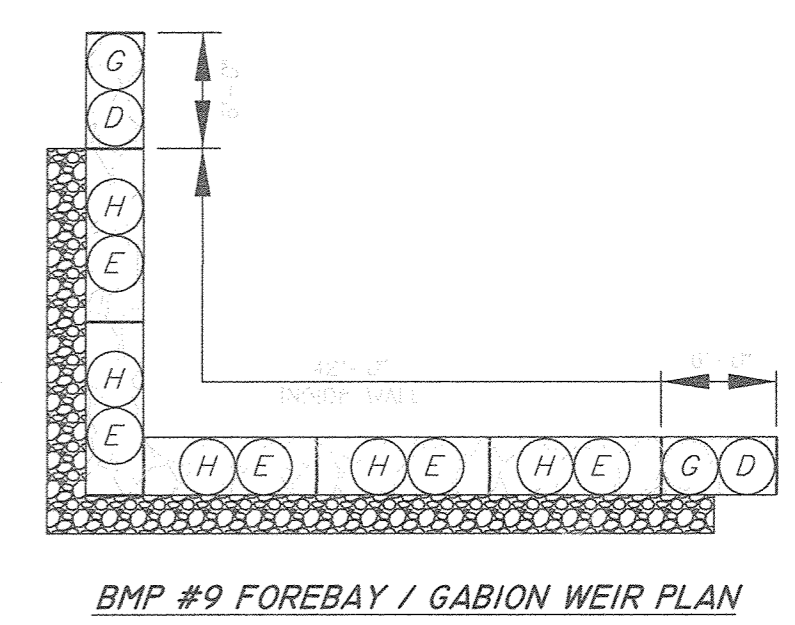
ADDRESS CHART			
PARCEL NO.	STREET ADDRESS		
-	8500 RIDGELYS RUN ROAD		
-	JESSUP, MARYLAND 20794		
PROJECT	SECTION/AREA	PARCEL	
HIGH SCHOOL #13	N/A	102, 349, 235	
PLAT NOS.	BLOCK NO.	ZONE	TAX MAP ELEC. DIST. CENSUS TR.
A6628-18 & 24	13 & 19	RSC MXD-3	42 & 43 SIXTH
A6532		65A-B MXD-3	606901
WATER CODE	SEWER CODE		
----	----		

BMP #9 PROFILES AND DETAILS
HIGH SCHOOL #13 PARCELS 'A' THRU 'D'
ZONED: R-5C MXD-3, R-5A-B MXD-3 AND R-12
PARCEL Nos.: 102, 349, 235
TAX MAP No.: 42 & 43 GRID No.: 24 & 19
SIXTH ELECTION DISTRICT HOWARD COUNTY, MARYLAND
SCALE: AS SHOWN DATE: AUGUST, 2020
SHEET 93 OF 131



BMP #9 FOREBAY GABION WEIR SCHEDULE
(Gabion Basket Quantities)

MANUFACTURER'S LETTER CODE/DIMENSIONS	QUANTITY
D 6'x3'x1.5'	2
E 9'x3'x1.5'	5
G 6'x3'x1'	2
H 9'x3'x1'	5



NOTE:
THIS FACILITY WAS CONSTRUCTED UNDER A REDLINE REVISION TO F-17-064 CHASE PROPERTY AT MISSION ROAD. FINAL CONVERSION TO SWM SHALL BE DONE UNDER THIS PLAN.

FISHER, COLLINS & CARTER, INC.
CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
CENTRAL SQUARE OFFICE PARK - 10272 BALTIMORE NATIONAL PIKE
ELLSWORTH CITY, MARYLAND 21042
(410) 461-2899

ENGINEER'S CERTIFICATE
I HEREBY CERTIFY THAT THIS PLAN HAS BEEN DESIGNED IN ACCORDANCE WITH THE CURRENT MARYLAND EROSION AND SEDIMENT CONTROL LAWS, REGULATIONS, AND STANDARDS REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE, AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.
Stephanie J. Lute 8/17/20
SIGNATURE OF ENGINEER DATE

DEVELOPER'S CERTIFICATE
I HEREBY CERTIFY THAT ANY CLEARING, GRADING, CONSTRUCTION, OR DEVELOPMENT WILL BE DONE PURSUANT TO THIS APPROVED EROSION AND SEDIMENT CONTROL PLAN, INCLUDING INSPECTING AND MAINTAINING CONTROLS, AND THAT THE RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF TRAINING AT A MARYLAND DEPARTMENT OF THE ENVIRONMENT (MDE) APPROVED TRAINING PROGRAM FOR THE CONTROL ON EROSION AND SEDIMENT PRIOR TO BEGINNING THE PROJECT. I CERTIFY RIGHT OF ENTRY FOR PERIODIC ON-SITE EVALUATION BY HOWARD COUNTY, THE HOWARD SOIL CONSERVATION DISTRICT AND/OR MDE.
Thomas J. Hall 8-19-2020
SIGNATURE OF DEVELOPER DATE

"PROFESSIONAL CERTIFICATION. I HEREBY CERTIFY THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 38386, EXPIRATION DATE: JANUARY 12, 2022."
Stephanie J. Lute 8/17/20
SIGNATURE DATE

DATE DESCRIPTION REVISION BLOCK

APPROVED: DEPARTMENT OF PLANNING AND ZONING
John Coran 10/5/20
Director - Department of Planning and Zoning Date

Chief, Division of Land Development *Mark* 10/12/20
Date

Chief, Development Engineering Division *Bob* 8/26/20
Date

THESE PLANS FOR SPILL BOND CONSTRUCTION, EROSION AND SEDIMENT CONTROL MEET THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.
HOWARD SOIL CONSERVATION DISTRICT DATE

PREPARED FOR
HOWARD COUNTY PUBLIC SCHOOL SYSTEM
9020 MENDENHALL COURT
SUITE 'C'
COLUMBIA, MARYLAND 21045
Attention: DANIEL LUBELEY
410-313-8203

STATE OF MARYLAND
STEPHANIE J. LUTE
PROFESSIONAL ENGINEER
No. 38386

ADDRESS CHART

PARCEL NO.	STREET ADDRESS
-	8500 RIDGELYS RUN ROAD JESSUP, MARYLAND 20794

PROJECT: HIGH SCHOOL #13
SECTION/AREA: N/A
PARCEL: 102, 349, 235

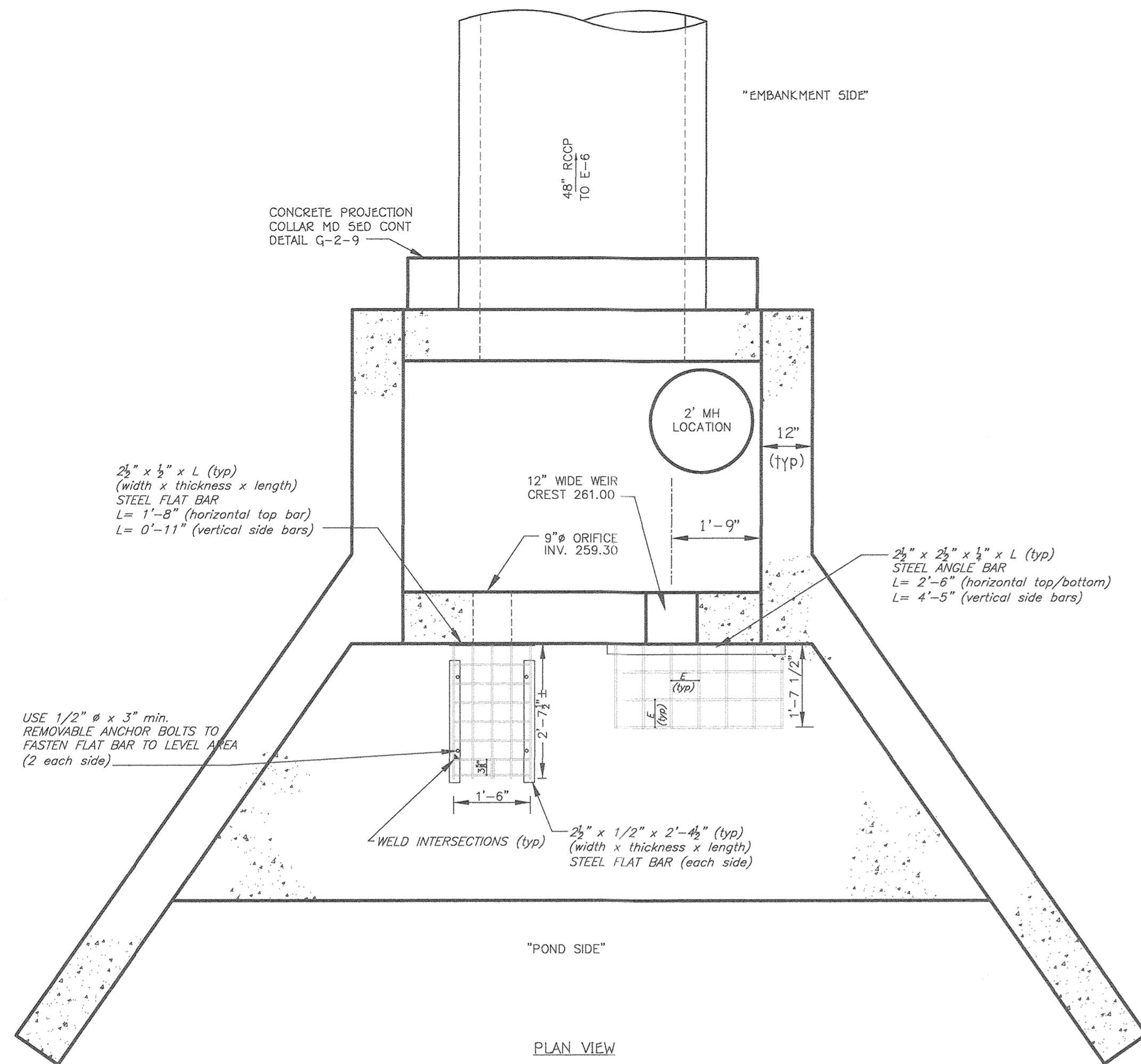
PLAT	BLOCK NO.	ZONE	TAX MAP	ELEC. DIST.	CENSUS TR.
85528	18 & 24	R-12	42 & 43	SIXTH	606901
86532	13 & 19	RSC MXD-3 RSA-8 MXD-3			

WATER CODE: --- SEWER CODE: ---

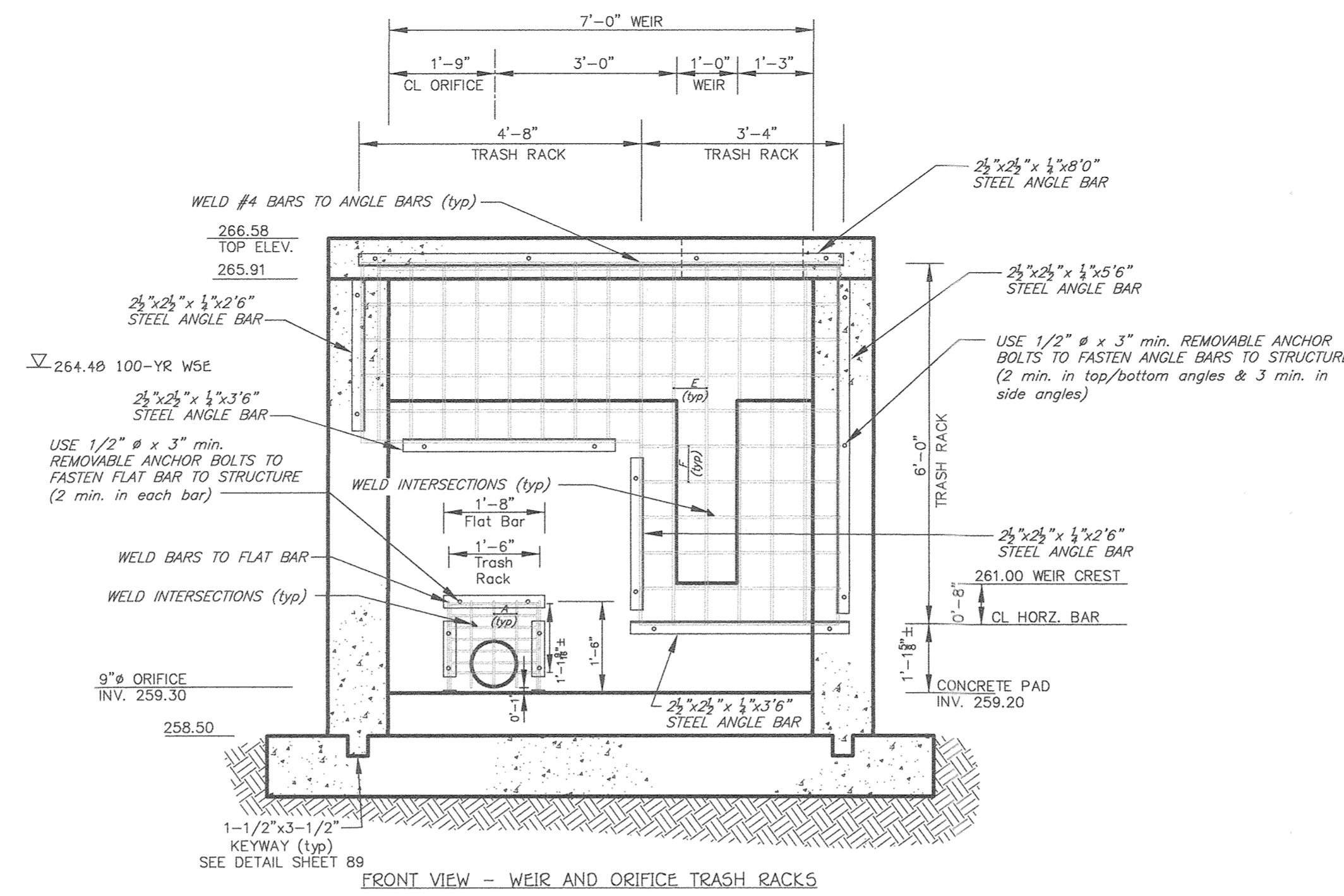
BMP #9 FOREBAY/GABION DETAILS, SEDIMENT BASIN #5 PROFILE AND DETAILS

HIGH SCHOOL #13 PARCELS 'A' THRU 'D'

ZONED: R-SC MXD-3, R-5A-8 MXD-3 AND R-12
PARCEL Nos.: 102, 349, 235
TAX MAP No.: 42 & 43 GRID No.: 24 & 19
SIXTH ELECTION DISTRICT - HOWARD COUNTY, MARYLAND
SCALE: AS SHOWN DATE: AUGUST, 2020
SHEET 94 OF 131



TRASH RACK
H5-13 R-10 DETAIL (SWM #16)
SCALE: 1" = 2'



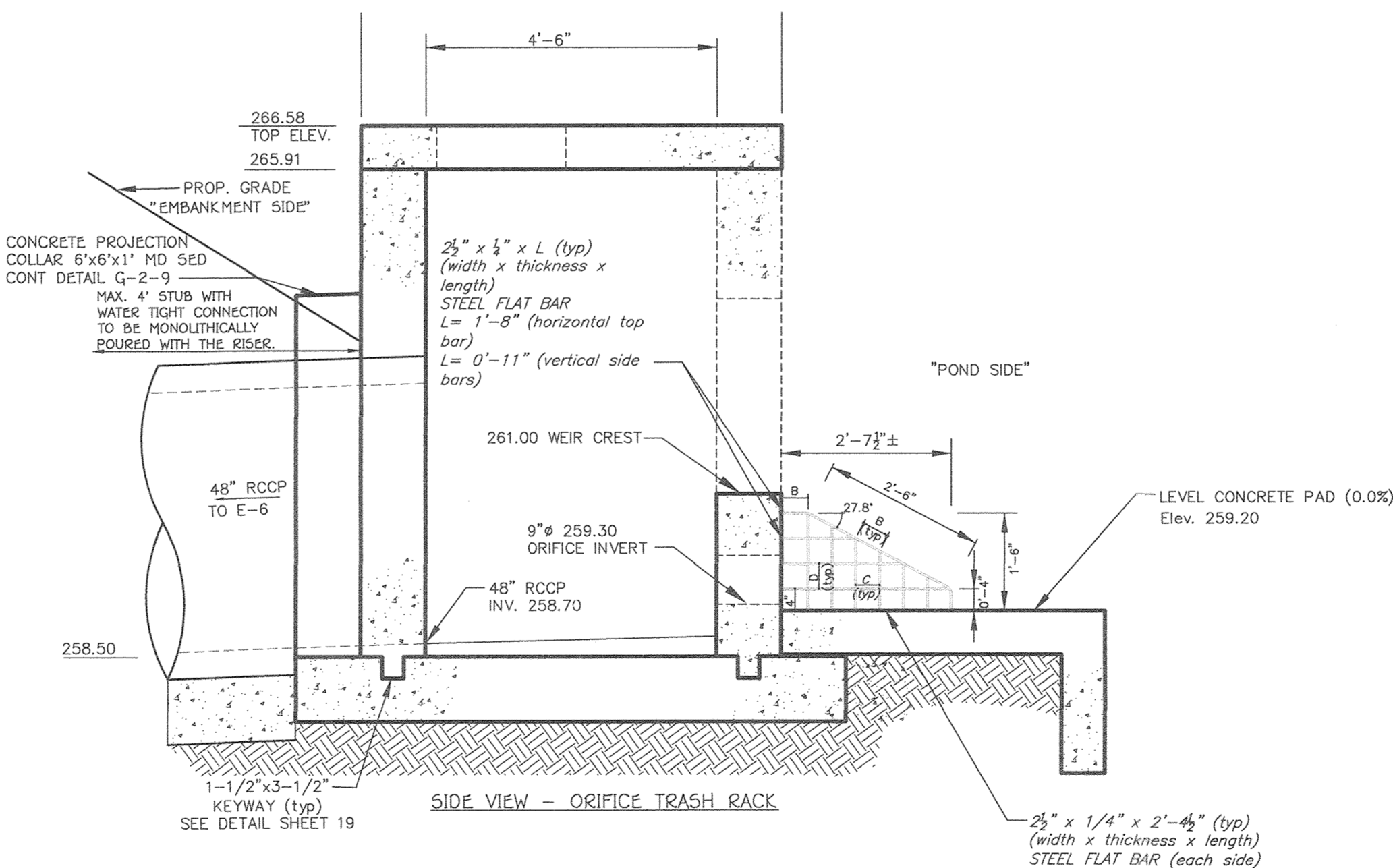
TRASH RACK
H5-13 R-10 DETAIL (SWM #16)
SCALE: 1" = 2'

ORIFICE TRASH RACK	
DIMENSION	VALUE
A	4 1/2"
B	5"
C	4 3/4" ±
D	4 3/4" ±

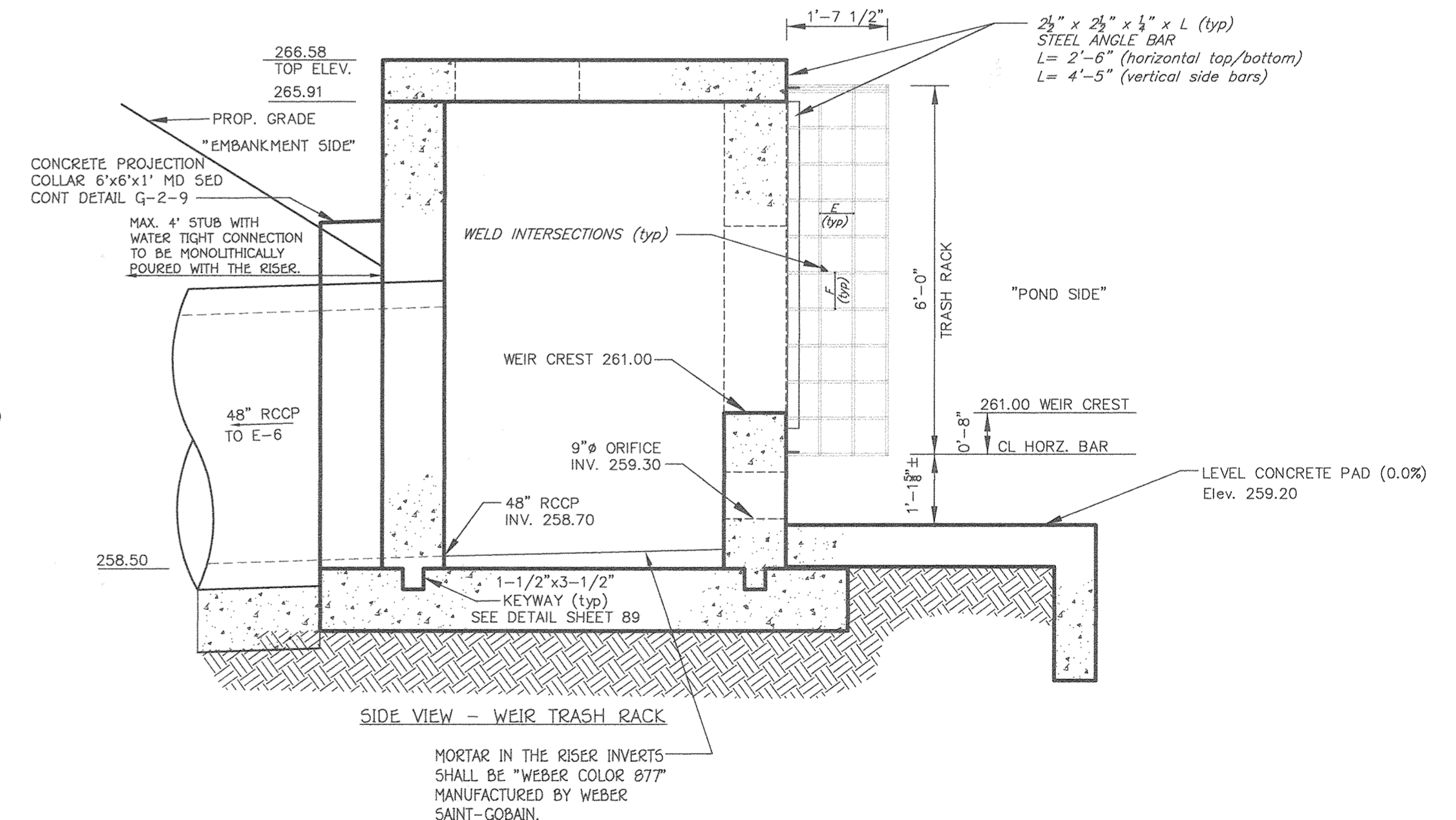
WEIR TRASH RACK	
DIMENSION	VALUE
E	6 1/2"
F	7"

TRASH RACK NOTES

- SEE STORMWATER MANAGEMENT RISER DETAIL ROAD R-1 FOR STRUCTURE DIMENSIONS NOT SHOWN ON THIS DETAIL.
- THIS DETAIL IS FOR TRASH RACK CONSTRUCTION ONLY.
- THE TRASH RACK SHALL BE GALVANIZED AFTER FABRICATION AND PAINTED "BATTLESHIP GRAY".
- TRASH RACK SHALL CONFORM TO HOWARD COUNTY AND MD-378 (SMALL POND DESIGN) SPECIFICATIONS.
- REBAR SHALL BE #4 SMOOTH STEEL BARS.
- THE TRASH RACK FABRICATOR MAY SUBSTITUTE ANGLED BARS FOR FLAT BARS.
- THE WEIR TRASH RACK SHALL BE INSTALLED SO AS TO EXTEND 8" BELOW THE WEIR CREST WITH 12" CLEARANCE ABOVE THE CONCRETE PAD.
- THE RISER SHALL BE FIELD-MEASURED PRIOR TO THE TRASH RACK FABRICATION TO ENSURE AN EXACT TRASH RACK FIT. THE FABRICATOR CAN MAKE MINOR ADJUSTMENTS TO THE TRASH RACK DIMENSIONS (+/-) TO MEET INTENDED AND OVERALL DIMENSIONS. TRASH RACKS ARE CENTERED ON OPENINGS.
- ORIFICE TRASH RACK: NO DIAGONAL OPENING SHALL EXCEED 6.75".
- WEIR TRASH RACK: NO DIAGONAL OPENING SHALL EXCEED 9".
- ORIFICE TRASH RACK VERTICAL AND SLOPED BARS TO BE ON OUTSIDE/ABOVE INNER BARS AS SHOWN.
- WEIR TRASH RACK BOTTOM DIMENSION CALCULATION:
WEIR FLOW AREA = 1.0' x (64.99 - 61.00) + 6' x (64.99 - 64.00) = 9.9 sf.
AREA UNDER TRASH RACK = 8' x 1.6' = 12.8; 12.8 sf > 9.9 sf. OK
- PLACE TOP SLAB BOLTS NEAR VERTICAL CENTER, 3" MIN. COVER.



TRASH RACK
H5-13 R-10 DETAIL (SWM #16)
SCALE: 1" = 2'



NOTE:
THIS FACILITY WAS CONSTRUCTED UNDER A REDLINE REVISION TO F-17-064 CHASE PROPERTY AT MISSION ROAD. FINAL CONVERSION TO SWM SHALL BE DONE UNDER THIS PLAN.

FISHER, COLLINS & CARTER, INC.
CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
CENTRAL SQUARE OFFICE PARK - 10772 BALTIMORE NATIONAL PIKE
ELICOTT CITY, MARYLAND 21042
(410) 461-2995

ENGINEER'S CERTIFICATE
"I HEREBY CERTIFY THAT THIS PLAN HAS BEEN DESIGNED IN ACCORDANCE WITH THE CURRENT MARYLAND EROSION AND SEDIMENT CONTROL LAWS, REGULATIONS, AND STANDARDS REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE, AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT."
Signature: *Stephen Saito* DATE: 8/17/20

DEVELOPER'S CERTIFICATE
"I/WE HEREBY CERTIFY THAT ANY CLEARING, GRADING, CONSTRUCTION, OR DEVELOPMENT WILL BE DONE PURSUANT TO THIS APPROVED EROSION AND SEDIMENT CONTROL PLAN, INCLUDING INSPECTING AND MAINTAINING CONTROLS, AND THAT THE RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF TRAINING AT A MARYLAND DEPARTMENT OF THE ENVIRONMENT (MDE) APPROVED TRAINING PROGRAM FOR THE CONTROL ON EROSION AND SEDIMENT PRIOR TO BEGINNING THE PROJECT. I CERTIFY RIGHT OF ENTRY FOR PERIODIC ON-SITE EVALUATION BY HOWARD COUNTY, THE HOWARD SOIL CONSERVATION DISTRICT AND/OR MDE."
Signature: *James Hubby* DATE: 8-19-2020

"PROFESSIONAL CERTIFICATION. I HEREBY CERTIFY THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 38036, EXPIRATION DATE: JANUARY 12, 2022."
Signature: *Stephanie Tuite* DATE: 8/17/20
STEPHANIE TUIE, RLA, P.E., LEED AP BC&O

THESE PLANS FOR SMALL POND CONSTRUCTION SOLE EROSION AND SEDIMENT CONTROL MEET THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.
HOWARD SOIL CONSERVATION DISTRICT DATE: _____

APPROVED: DEPARTMENT OF PLANNING AND ZONING
Director - Department of Planning and Zoning
Chief, Division of Land Development
Chief, Development Engineering Division
DATE: 10/5/20
DATE: 8-21-20

PREPARED FOR
HOWARD COUNTY PUBLIC SCHOOL SYSTEM
9020 MENDENHALL COURT
SUITE 'C'
COLUMBIA, MARYLAND 21045
Attention: DANIEL LUBELEY
410-313-8203

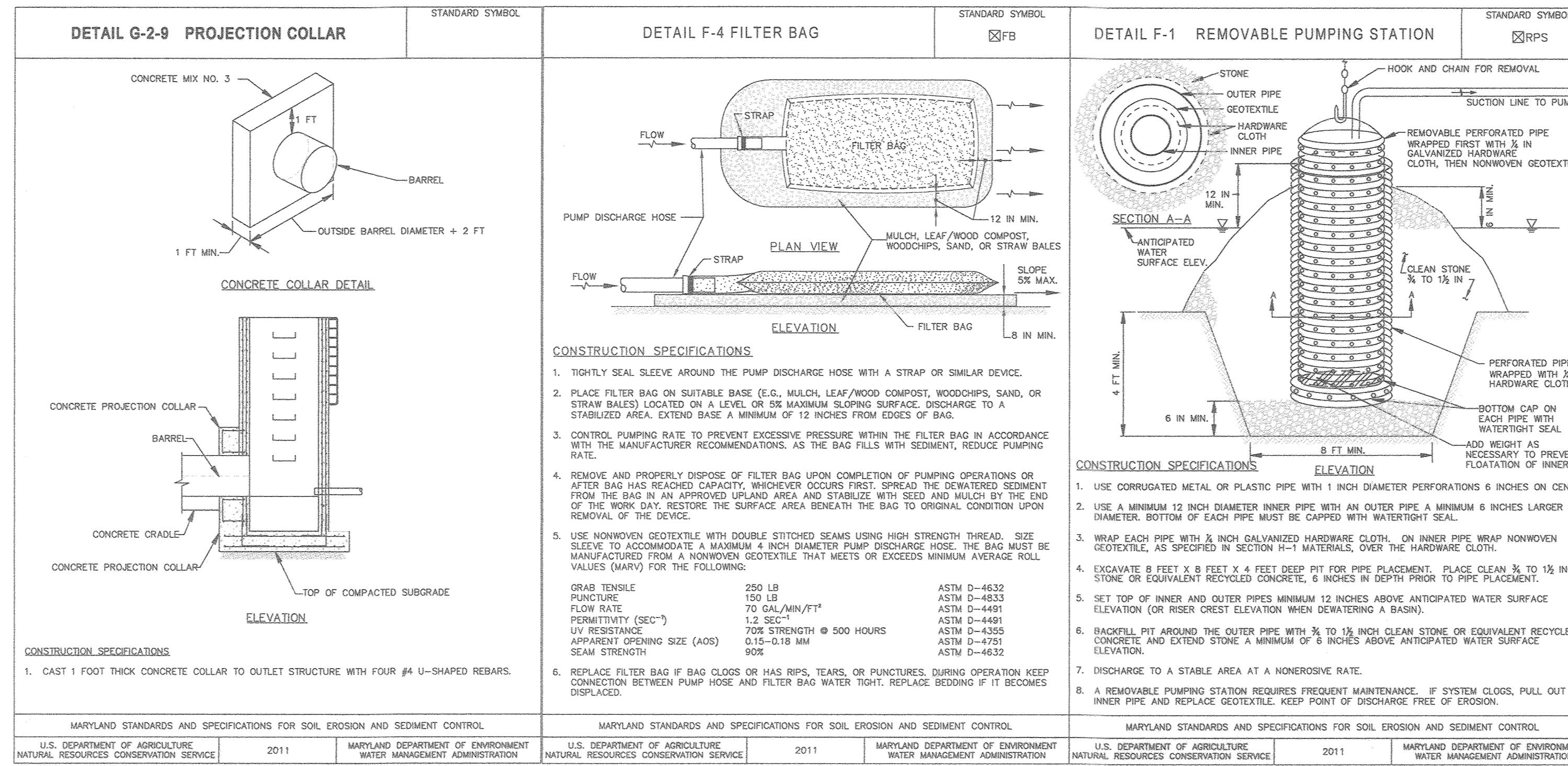
ADDRESS CHART	
PARCEL NO.	STREET ADDRESS
-	8500 RIDGELYS RUN ROAD JESSUP, MARYLAND 20794

PROJECT	SECTION/AREA	PARCEL
HIGH SCHOOL #13	N/A	102, 349, 235
PLAT NO. 10528, 26572	BLOCK NO. 10 & 24, 13 & 19	ZONE R-12, RSC MXD-3, R5A-B MXD-3
TAX MAP 42 & 43	ELEC. DIST. SIXTH	CENSUS TR. 606901
WATER CODE	SEWER CODE	

SWM #16 TRASH RACK DETAILS

**HIGH SCHOOL #13
PARCELS 'A' THRU 'D'**

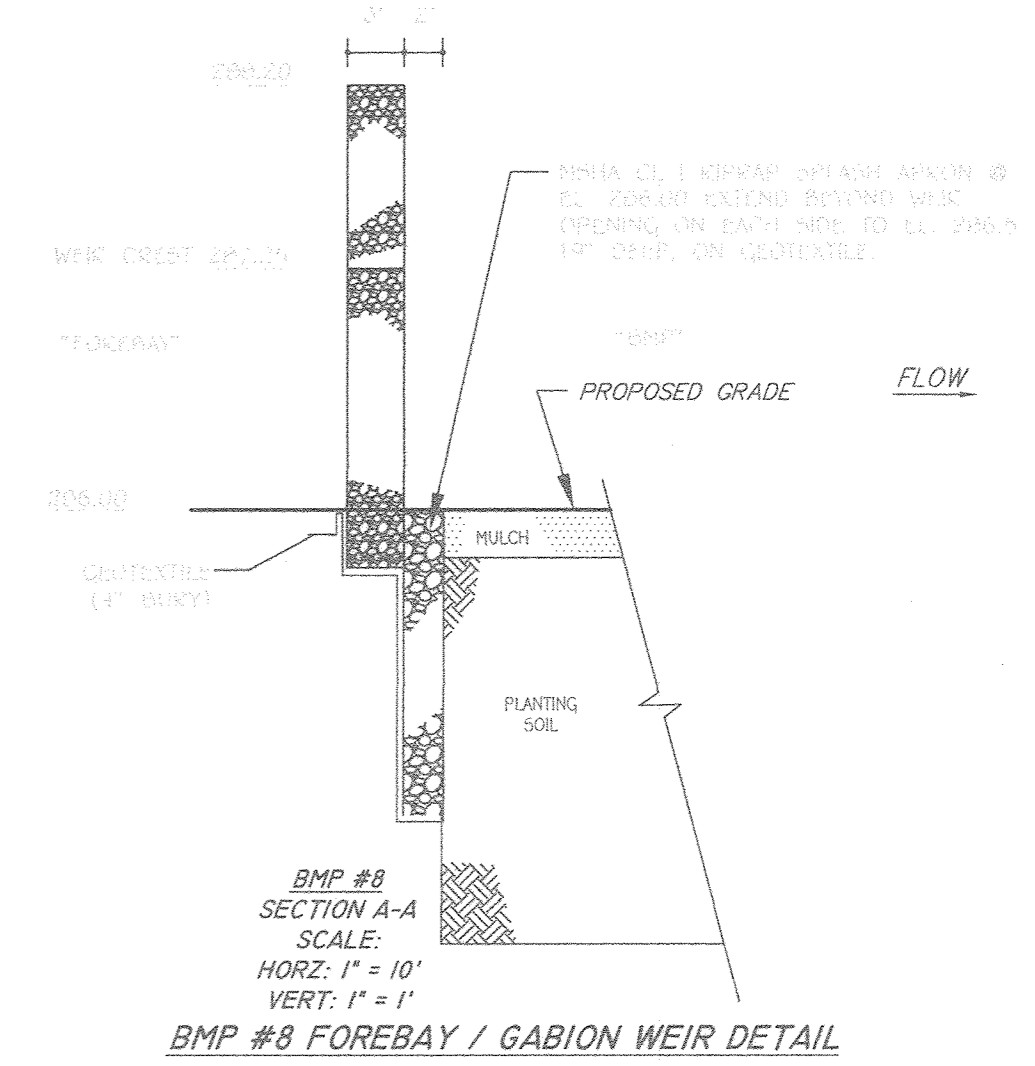
ZONED: R-SC MXD-3, R-5A-B MXD-3 AND R-12
PARCEL Nos.: 102, 349, 235
TAX MAP No.: 42 & 43 GRID No.: 24 & 19
SIXTH ELECTION DISTRICT HOWARD COUNTY, MARYLAND
SCALE: AS SHOWN DATE: AUGUST, 2020
SHEET 95 OF 131



BMP #9 FOREBAY GABION WEIR SCHEDULE (Gabion Basket Quantities)		
MANUFACTURER'S LETTER CODE/DIMENSIONS	QUANTITY	
D 6'x3'x1.5'	2	
E 9'x3'x1.5'	2	
G 6'x3'x1'	2	

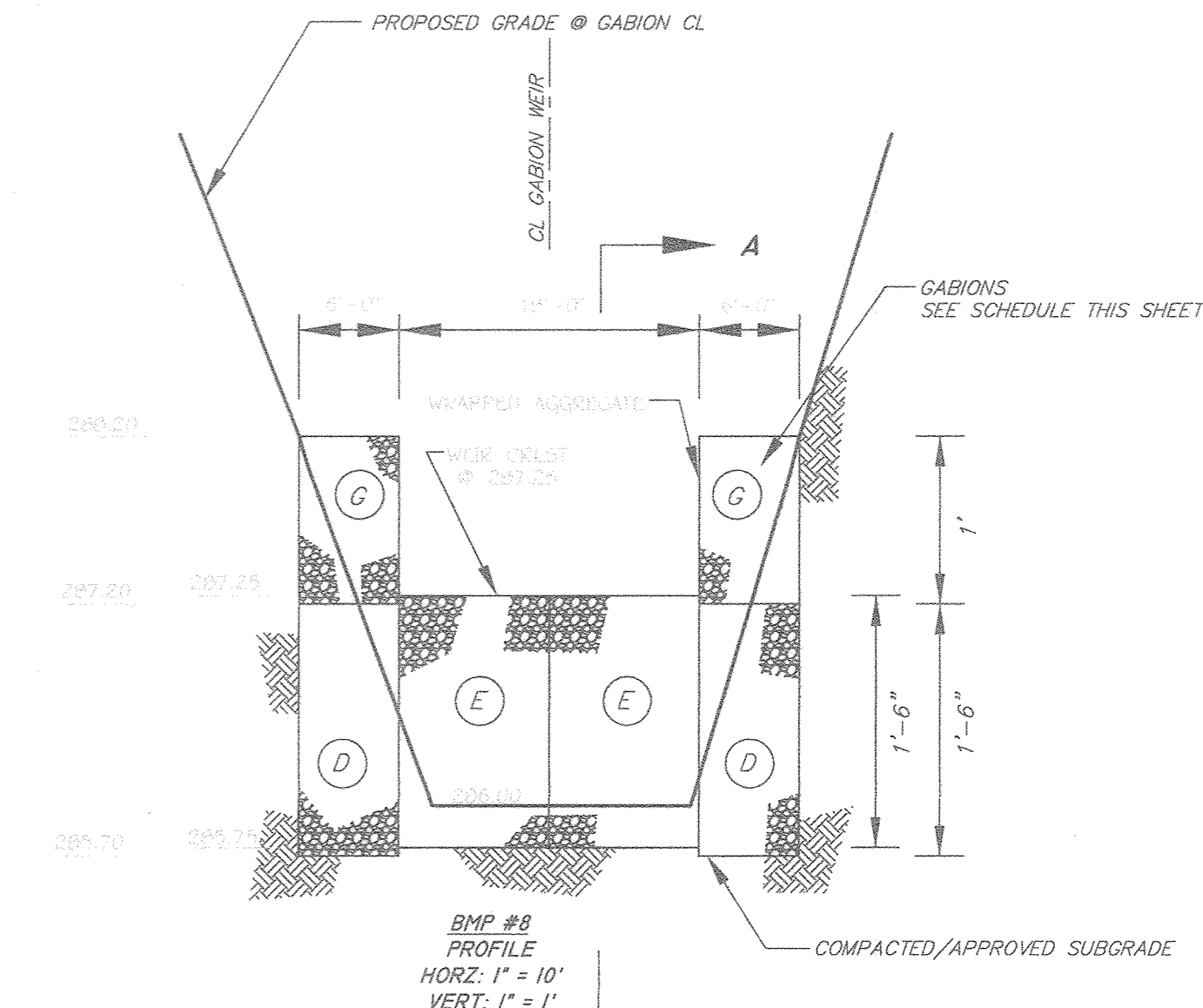
REFER TO SHEET 76 FOR FOREBAY/GABION WEIR NOTES.

EXISTING GROUND IS ABOVE SECTION AND NOT SHOWN



BMP #8 FOREBAY / GABION WEIR DETAIL

EXISTING GROUND IS ABOVE SECTION AND NOT SHOWN



BMP #8 FOREBAY / GABION WEIR DETAIL

FISHER, COLLINS & CARTER, INC.
CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
CENTRAL SQUARE OFFICE: PARC - 10272 BALTIMORE NATIONAL PIKE
ELICOTT CITY, MARYLAND 21042
(410) 461-2000

ENGINEER'S CERTIFICATE
"I HEREBY CERTIFY THAT THIS PLAN HAS BEEN DESIGNED IN ACCORDANCE WITH THE CURRENT MARYLAND EROSION AND SEDIMENT CONTROL LAWS, REGULATIONS, AND STANDARDS REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE, AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT."
Signature: *Stephanie J. Tuite* DATE: 8/17/20

"PROFESSIONAL CERTIFICATION, I HEREBY CERTIFY THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 30386, EXPIRATION DATE: JANUARY 12, 2022."
Signature: *Stephanie J. Tuite* DATE: 8/17/20
STEPHANIE J. TUITE, R.L.A., P.E., LEED AP BC&D

DEVELOPER'S CERTIFICATE
"I/WE HEREBY CERTIFY THAT ANY CLEARING, GRADING, CONSTRUCTION, OR DEVELOPMENT WILL BE DONE PURSUANT TO THIS APPROVED EROSION AND SEDIMENT CONTROL PLAN, INCLUDING INSPECTING AND MAINTAINING CONTROLS, AND THAT THE RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF TRAINING AT A MARYLAND DEPARTMENT OF THE ENVIRONMENT (MDE) APPROVED TRAINING PROGRAM FOR THE CONTROL ON EROSION AND SEDIMENT PRIOR TO BEGINNING THE PROJECT. I CERTIFY RIGHT OF ENTRY FOR PERIODIC ON-SITE EVALUATION BY HOWARD COUNTY, THE HOWARD SOIL CONSERVATION DISTRICT AND/OR MDE."
Signature: *James D. Kelly* DATE: 8-19-2020

APPROVED: DEPARTMENT OF PLANNING AND ZONING
Director - Department of Planning and Zoning
Date: 10/15/20
Chief, Division of Land Development
Date: 10/15/20
Chief, Development Engineering Division
Date: 8-26-20

DATE DESCRIPTION REVISION BLOCK
10/15/20
10/15/20
8-26-20

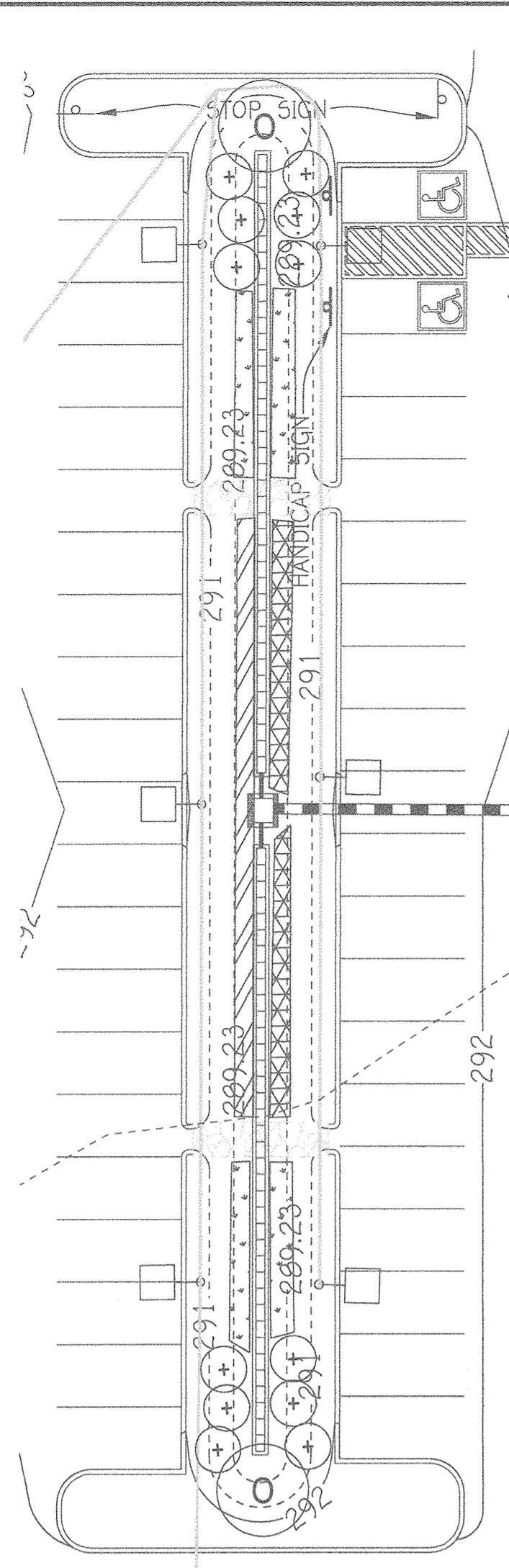
PREPARED FOR
HOWARD COUNTY PUBLIC SCHOOL SYSTEM
9020 MEMORIAL COURT
SUITE 'C'
COLUMBIA, MARYLAND 21045
Attention: DANIEL LUBELEY
410-313-8203



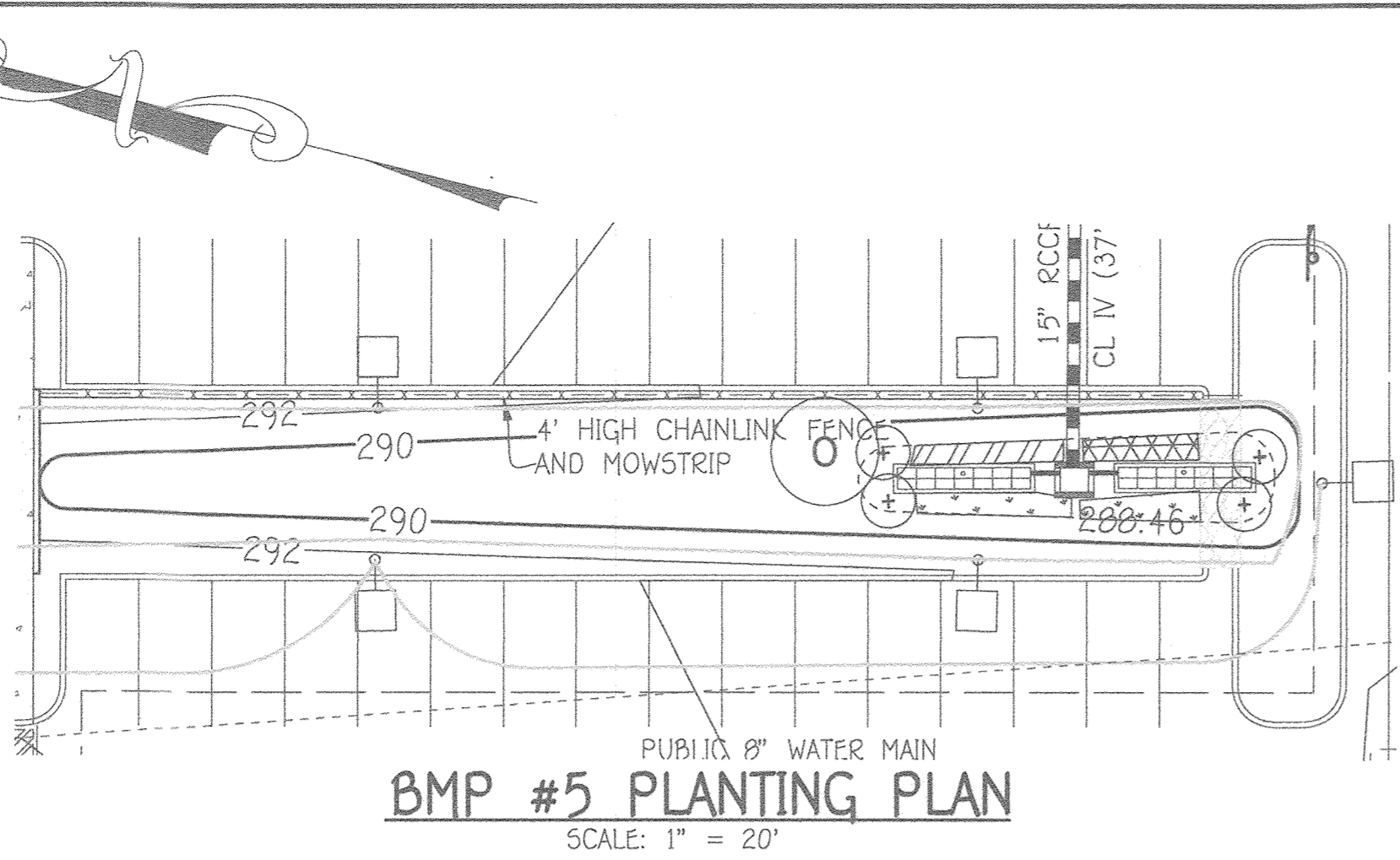
ADDRESS CHART				
PARCEL NO.	STREET ADDRESS			
	8500 RIDGELY'S RUN ROAD JEFFERSON, MARYLAND 20794			
PROJECT	SECTION/AREA			
HIGH SCHOOL #13	N/A			
PARCEL	102, 349, 235			
BLOCK NO.	ZONE	TAX MAP	ELEC. DIST.	CENSUS TR.
18 & 24	R-12	42 & 43	SIXTH	606901
13 & 19	RSC MXD-3 RSA-B MXD-3			
WATER CODE	SEWER CODE			

**BMP #8 FOREBAY/GABION DETAILS,
SEDIMENT AND EROSION CONTROL DETAILS**

**HIGH SCHOOL #13
PARCELS 'A' THRU 'D'**
ZONED: R-SC MXD-3, R-5A-B MXD-3 AND R-12
PARCEL Nos.: 102, 349, 235
TAX MAP No.: 42 & 43 GRID No.: 24 & 19
SIXTH ELECTION DISTRICT HOWARD COUNTY, MARYLAND
SCALE: AS SHOWN DATE: AUGUST, 2020
SHEET 96 OF 131



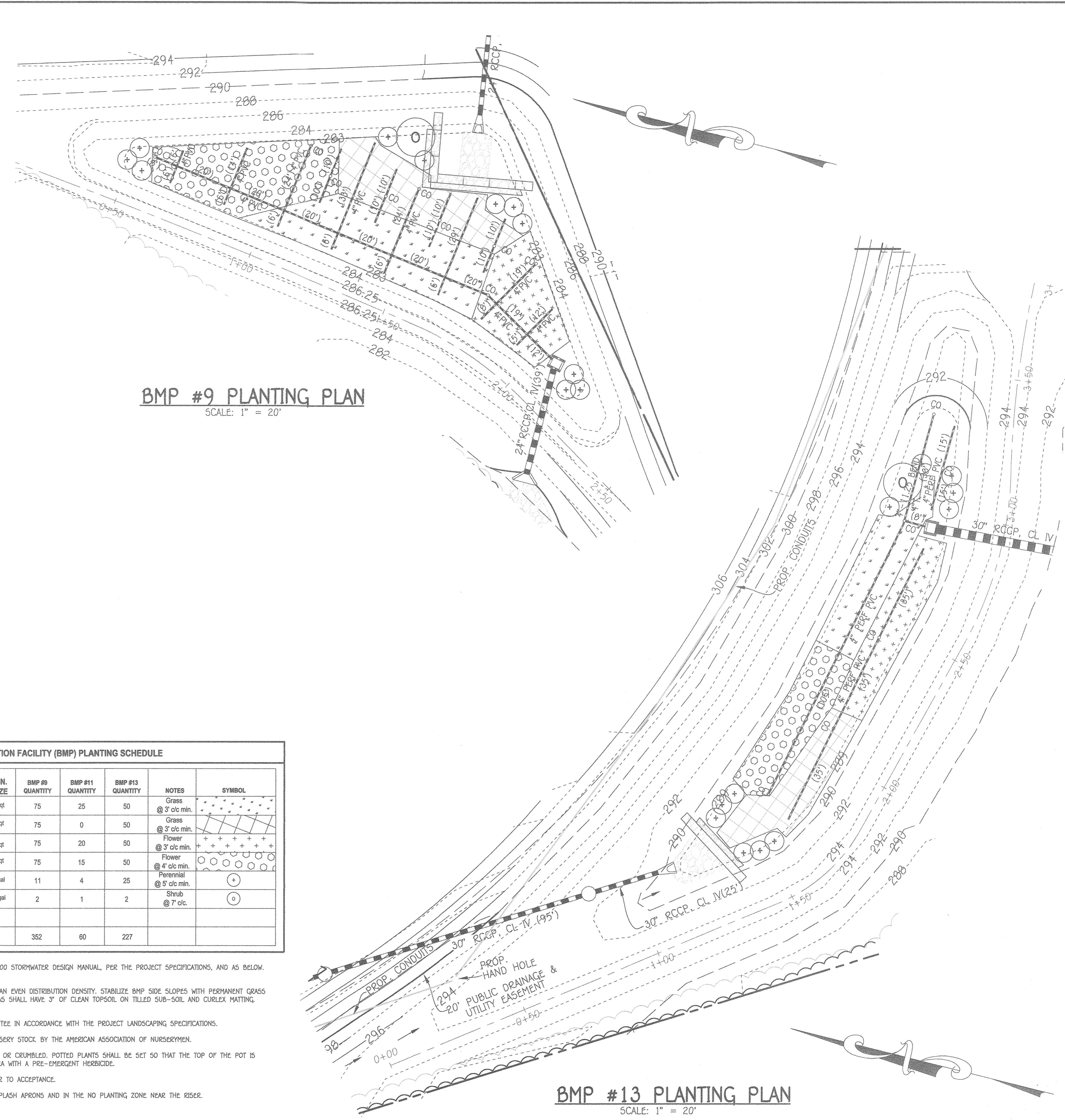
BMP #6 PLANTING PLAN
SCALE: 1" = 20'



BMP #5 PLANTING PLAN
SCALE: 1" = 20'

BIORETENTION FACILITY (BMP) PLANTING SCHEDULE						
KEY	PLANT NAME	MIN. SIZE	BMP #5 QUANTITY	BMP #6 QUANTITY	NOTES	SYMBOL
SG	SWITCH GRASS (<i>Panicum virgatum</i>)	1 qt	20	23	Grass @ 3' c/c min.	(Symbol)
RM	ROSE MALLOW (<i>Hibiscus moscheutos</i>)	1 qt	8	23	Grass @ 3' c/c min.	(Symbol)
NEA	NEW ENGLAND ASTER (<i>Aster novae angliae</i>)	1 qt	8	23	Grass @ 3' c/c min.	(Symbol)
JP	JOE PYE WEED (<i>Eupatorium maculatum</i> 'Gateway')	1 gal	4	12	Perennial @ 3' c/c min.	(Symbol)
ROD	RED OSIER DOGWOOD (<i>Cornus sericea</i>)	2 gal	1	2	Shrub @ 7' c/c	(Symbol)
TOTAL			41	83		

- PLANTING SPECIFICATIONS:**
- PLANT INSTALLATION SHALL BE PER MDE SPECIFICATIONS IN THE 2000 STORMWATER DESIGN MANUAL, PER THE PROJECT SPECIFICATIONS, AND AS BELOW.
- ADDITIONAL SPECIFICATIONS:**
- PLANT BMP LEVEL SURFACE AS SHOWN IN THE ABOVE TABLE WITH AN EVEN DISTRIBUTION DENSITY. STABILIZE BMP SIDE SLOPES WITH PERMANENT GRASS SEED PER NRCS SPECIFICATIONS. SIDE SLOPE PERMANENT GRASS AREAS SHALL HAVE 3" OF CLEAN TOPSOIL ON TILLED SUB-SOIL AND CURLEX MATTING. WATER AS NECESSARY UNTIL ESTABLISHED VEGETATION.
 - THE CONTRACTOR SHALL PROVIDE PLANT MAINTENANCE AND GUARANTEE IN ACCORDANCE WITH THE PROJECT LANDSCAPING SPECIFICATIONS.
 - PLANT MATERIAL SHALL CONFORM TO THE U.S. STANDARD FOR NURSERY STOCK BY THE AMERICAN ASSOCIATION OF NURSERYMEN.
 - PLANTING PERENNIALS & GRASSES: ROOT SYSTEMS SHALL BE SPLIT OR CRUMBLED. POTTED PLANTS SHALL BE SET SO THAT THE TOP OF THE POT IS EVEN WITH EXISTING GRADE. TREAT THE MULCHED AND PLANTED AREA WITH A PRE-EMERGENT HERBICIDE.
 - ALL PLANTS MUST BE THOROUGHLY AND REGULARLY WATERED PRIOR TO ACCEPTANCE.
 - DO NOT PLANT VEGETATION WITHIN 1.5 FT OF THE FOREBAY WEIR SPLASH APRONS AND IN THE NO PLANTING ZONE NEAR THE RISER.

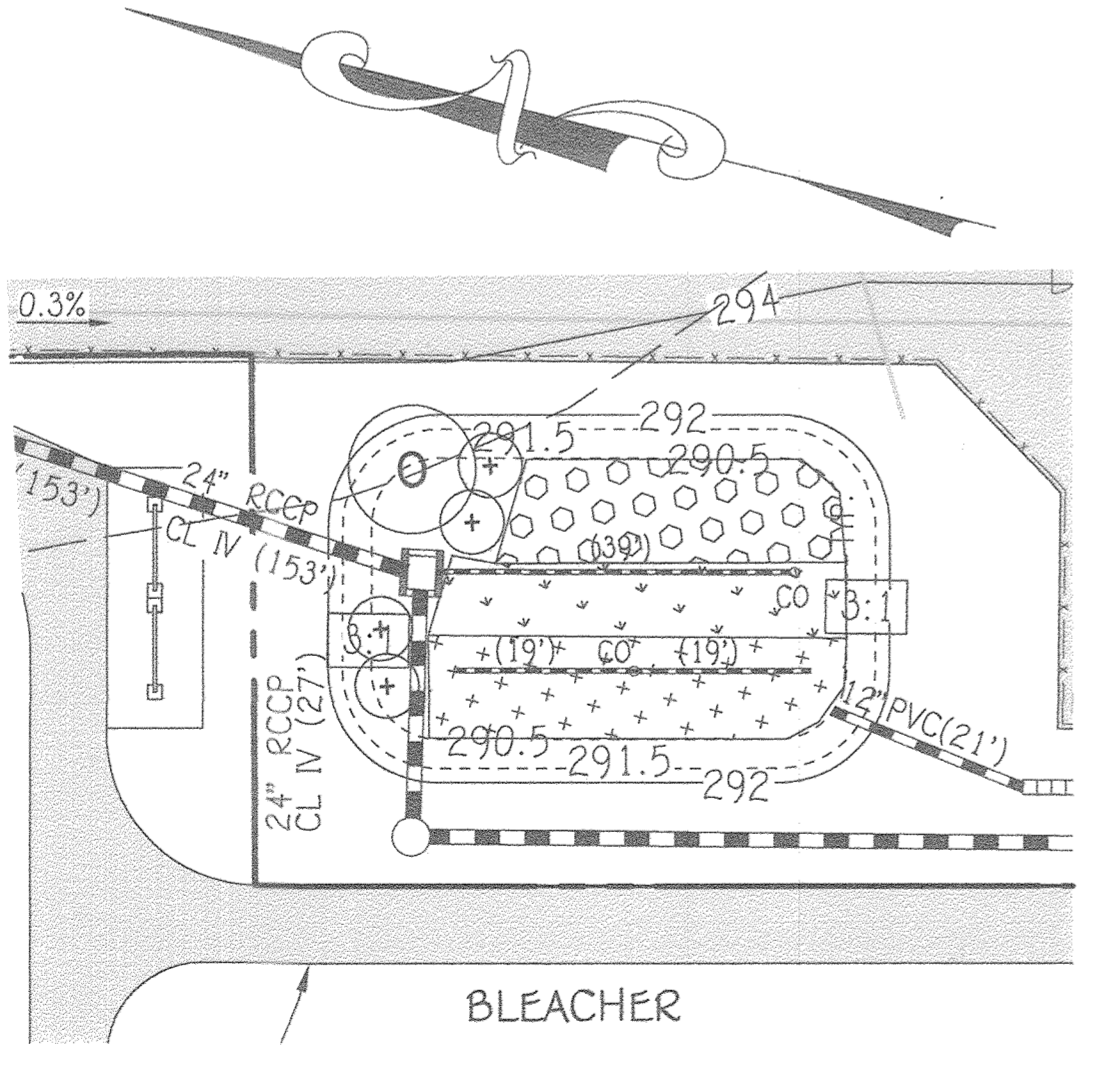


BMP #9 PLANTING PLAN
SCALE: 1" = 20'

BMP #13 PLANTING PLAN
SCALE: 1" = 20'

BIORETENTION FACILITY (BMP) PLANTING SCHEDULE							
KEY	PLANT NAME	MIN. SIZE	BMP #9 QUANTITY	BMP #11 QUANTITY	BMP #13 QUANTITY	NOTES	SYMBOL
SG	SWITCH GRASS (<i>Panicum virgatum</i>)	1 qt	75	25	50	Grass @ 3' c/c min.	(Symbol)
TS	TUSsock SEDGE (<i>Carex stricta</i>)	1 qt	75	0	50	Grass @ 3' c/c min.	(Symbol)
CC	OUTLEAF CONEFLOWER (<i>Rudbeckia hirta</i>)	1 qt	75	20	50	Flower @ 3' c/c min.	(Symbol)
BB	BEEBALM (<i>Monarda didyma</i>)	1 qt	75	15	50	Flower @ 4' c/c min.	(Symbol)
JP	JOE PYE WEED (<i>Eupatorium maculatum</i> 'Gateway')	1 gal	11	4	25	Perennial @ 3' c/c min.	(Symbol)
ROD	RED OSIER DOGWOOD (<i>Cornus sericea</i>)	2 gal	2	1	2	Shrub @ 7' c/c	(Symbol)
TOTAL			352	60	227		

- PLANTING SPECIFICATIONS:**
- PLANT INSTALLATION SHALL BE PER MDE SPECIFICATIONS IN THE 2000 STORMWATER DESIGN MANUAL, PER THE PROJECT SPECIFICATIONS, AND AS BELOW.
- ADDITIONAL SPECIFICATIONS:**
- PLANT BMP LEVEL SURFACE AS SHOWN IN THE ABOVE TABLE WITH AN EVEN DISTRIBUTION DENSITY. STABILIZE BMP SIDE SLOPES WITH PERMANENT GRASS SEED PER NRCS SPECIFICATIONS. SIDE SLOPE PERMANENT GRASS AREAS SHALL HAVE 3" OF CLEAN TOPSOIL ON TILLED SUB-SOIL AND CURLEX MATTING. WATER AS NECESSARY UNTIL ESTABLISHED VEGETATION.
 - THE CONTRACTOR SHALL PROVIDE PLANT MAINTENANCE AND GUARANTEE IN ACCORDANCE WITH THE PROJECT LANDSCAPING SPECIFICATIONS.
 - PLANT MATERIAL SHALL CONFORM TO THE U.S. STANDARD FOR NURSERY STOCK BY THE AMERICAN ASSOCIATION OF NURSERYMEN.
 - PLANTING PERENNIALS & GRASSES: ROOT SYSTEMS SHALL BE SPLIT OR CRUMBLED. POTTED PLANTS SHALL BE SET SO THAT THE TOP OF THE POT IS EVEN WITH EXISTING GRADE. TREAT THE MULCHED AND PLANTED AREA WITH A PRE-EMERGENT HERBICIDE.
 - ALL PLANTS MUST BE THOROUGHLY AND REGULARLY WATERED PRIOR TO ACCEPTANCE.
 - DO NOT PLANT VEGETATION WITHIN 1.5 FT OF THE FOREBAY WEIR SPLASH APRONS AND IN THE NO PLANTING ZONE NEAR THE RISER.



BMP #11 PLANTING PLAN
SCALE: 1" = 20'

FISHER, COLLINS & CARTER, INC.
CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
CENTENNIAL SQUARE OFFICE PARK - 10272 BALTIMORE NATIONAL PIKE
ELLSWORTH CITY, MARYLAND 21142
(410) 461-2295

"PROFESSIONAL CERTIFICATION. I HEREBY CERTIFY THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NO. 38386, EXPIRATION DATE: JANUARY 12, 2022."
Stephanie C. Tuttle
STEPHANIE C. TUTTLE, R.L.A. P.E., LEED AP BC&D
8/17/20
DATE

DATE	DESCRIPTION	REVISION BLOCK
APPROVED: DEPARTMENT OF PLANNING AND ZONING		
Director, Department of Planning and Zoning	10/5/20	Date
Chief, Department of Land Development	col/ta	Date
Chief, Development Engineering Division	8/26/20	Date

PREPARED FOR
HOWARD COUNTY PUBLIC SCHOOL SYSTEM
9020 MENDENHALL COURT
SUITE 'C'
COLUMBIA, MARYLAND 21045
Attention: DANIEL LUBELEY
410-313-8203

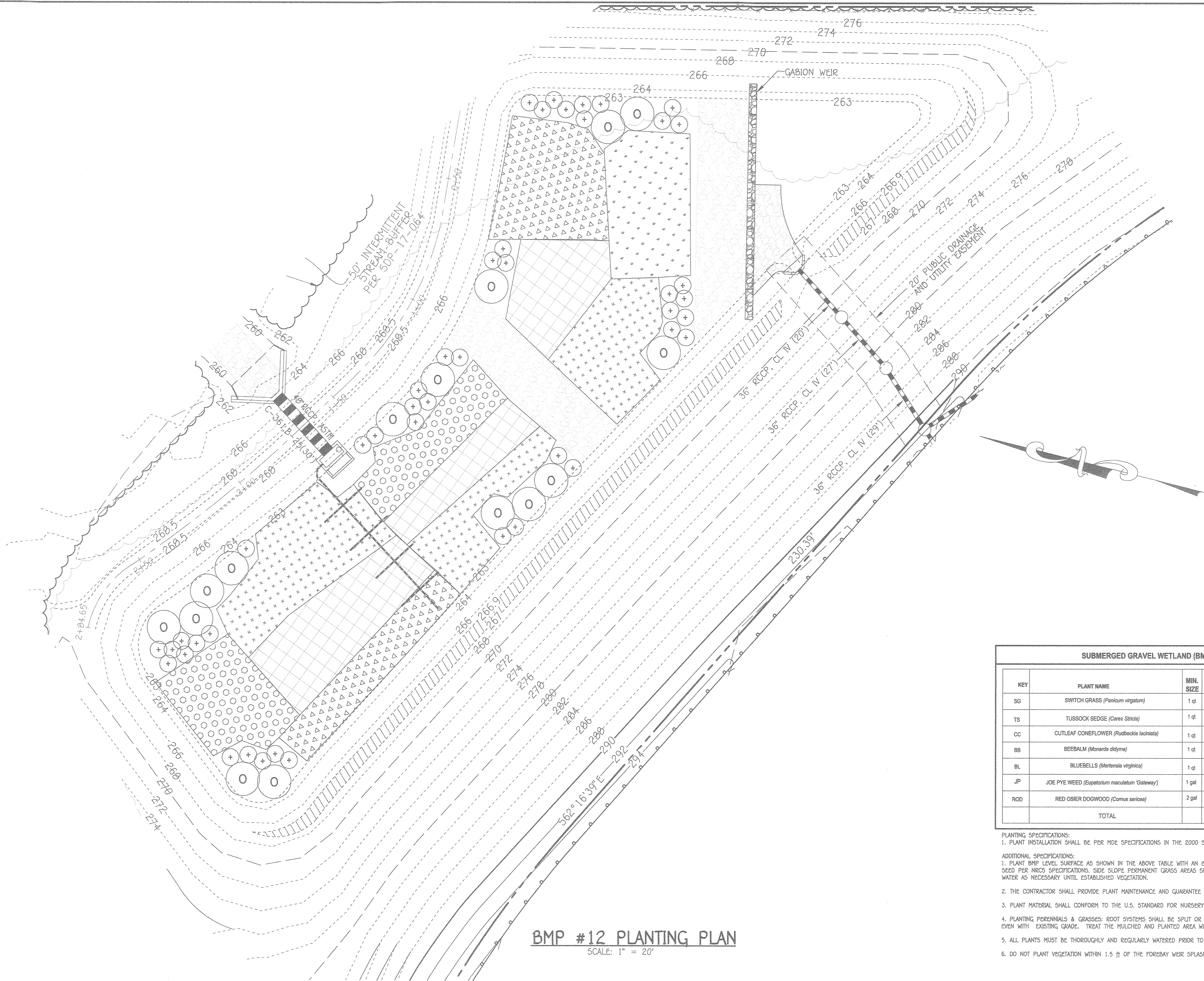


ADDRESS CHART			
PARCEL NO.	STREET ADDRESS		
	8500 RIDGELY'S RUN ROAD		
	JESSUP, MARYLAND 20794		
PROJECT		SECTION/AREA	PARCEL
HIGH SCHOOL #13		N/A	102, 349, 235
PLAT NOS.	BLOCK NO.	ZONE	TAX MAP ELEC. DIST. CENSUS TR.
04208 20532	18 & 24 13 & 19	R-12 RSC MXD-3 RSA-B MXD-3	42 & 43 SIXTH 606901
WATER CODE	SEWER CODE		

SWM LANDSCAPING

**HIGH SCHOOL #13
PARCELS 'A' THRU 'D'**

ZONED: R-SC MXD-3, R-SA-B MXD-3 AND R-12
PARCEL Nos.: 102, 349, 235
TAX MAP No.: 42 & 43 GRID No.: 24 & 19
SIXTH ELECTION DISTRICT HOWARD COUNTY, MARYLAND
SCALE: AS SHOWN DATE: AUGUST, 2020
SHEET 97 OF 131



BMP #12 PLANTING PLAN
SCALE: 1" = 20'

SUBMERGED GRAVEL WETLAND (BMP#12) PLANTING SCHEDULE						
KEY	PLANT NAME	MIN. SIZE	BMP #	QUANTITY	NOTES	SYMBOL
SG	SWITCH GRASS (<i>Panicum virgatum</i>)	1 qt	65	65	Grass @ 3' c/c min.	[Symbol]
TS	TUSsock SEDGE (<i>Carex stricta</i>)	1 qt	150	150	Grass @ 3' c/c min.	[Symbol]
CC	CUTLEAF CONEFLOWER (<i>Rudbeckia laciniata</i>)	1 qt	170	170	Flower @ 3' c/c min.	[Symbol]
BB	BEEBALM (<i>Morania didyma</i>)	1 qt	60	60	Flower @ 4' c/c min.	[Symbol]
BL	BLUEBELLS (<i>Mertensia virginica</i>)	1 qt	150	150	Flower @ 3' c/c min.	[Symbol]
JP	JOE PYE WEED (<i>Eupatorium maculatum</i> 'Gateway')	1 gal	45	45	Perennial @ 5' c/c min.	[Symbol]
ROD	RED OSIER DOGWOOD (<i>Cornus sericea</i>)	2 gal	15	15	Shrub @ 7' c/c.	[Symbol]
TOTAL				650		

- PLANTING SPECIFICATIONS:**
1. PLANT INSTALLATION SHALL BE PER MDE SPECIFICATIONS IN THE 2000 STORMWATER DESIGN MANUAL, PER THE PROJECT SPECIFICATIONS, AND AS BELOW.
- ADDITIONAL SPECIFICATIONS:**
1. PLANT BMP LEVEL SURFACE AS SHOWN IN THE ABOVE TABLE WITH AN EVEN DISTRIBUTION DENSITY. STABILIZE BMP SIDE SLOPES WITH PERMANENT GRASS SEED PER NRCS SPECIFICATIONS. SIDE SLOPE PERMANENT GRASS AREAS SHALL HAVE 3" OF CLEAN TOPSOIL ON TILLED SUB-SOIL AND CURLEX MATTING, WATER AS NECESSARY UNTIL ESTABLISHED VEGETATION.
2. THE CONTRACTOR SHALL PROVIDE PLANT MAINTENANCE AND GUARANTEE IN ACCORDANCE WITH THE PROJECT LANDSCAPING SPECIFICATIONS.
3. PLANT MATERIAL SHALL CONFORM TO THE U.S. STANDARD FOR NURSERY STOCK BY THE AMERICAN ASSOCIATION OF NURSERYMEN.
4. PLANTING PERENNIALS & GRASSES: ROOT SYSTEMS SHALL BE SPLIT OR CRUMBLED. POTTED PLANTS SHALL BE SET SO THAT THE TOP OF THE POT IS EVEN WITH EXISTING GRADE. TREAT THE MULCHED AND PLANTED AREA WITH A PRE-EMERGENT HERBICIDE.
5. ALL PLANTS MUST BE THOROUGHLY AND REGULARLY WATERED PRIOR TO ACCEPTANCE.
6. DO NOT PLANT VEGETATION WITHIN 1.5 FT OF THE FOREBAY WEIR SPLASH APRONS AND IN THE NO PLANTING ZONE NEAR THE RISER.

"PROFESSIONAL CERTIFICATION, I HEREBY CERTIFY THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 38386, EXPIRATION DATE: JANUARY 12, 2022."

Stephanie L. Tuite
STEPHANIE L. TUITE, RLA, P.E., LEED AP BC&O
DATE: 8/17/20

DATE	DESCRIPTION
	REVISION BLOCK
APPROVED: DEPARTMENT OF PLANNING AND ZONING	
Director, Department of Planning and Zoning	10/5/20 Date
Chief, Division of Land Development	10/15/20 Date
Chief, Development Engineering Division	8/24/20 Date

PREPARED FOR
HOWARD COUNTY PUBLIC SCHOOL SYSTEM
9020 MENDENHALL COURT
SUITE 'C'
COLUMBIA, MARYLAND 21045
Attention: DANIEL LUBELEY
410-313-8203



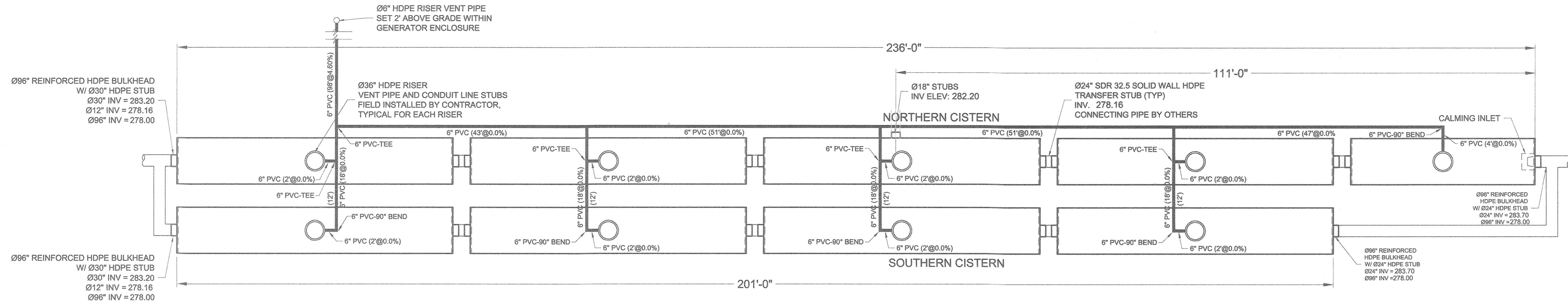
ADDRESS CHART			
PARCEL NO.	STREET ADDRESS		
-	8500 RIDGELYS RUN ROAD JESSUP, MARYLAND 20794		
PROJECT	SECTION/AREA	PARCEL	
HIGH SCHOOL #13	N/A	102, 349, 235	
BLOCK NO.	ZONE	TAX MAP	ELEC. DIST. CENSUS TR.
18 & 24 13 & 19	R-5C R-5A-8 MXD-3	42 & 43	SIXTH
PLANTING	WATER CODE	SEWER CODE	
85588 86538			

SWM LANDSCAPING

**HIGH SCHOOL #13
PARCELS 'A' THRU 'D'**

ZONED: R-5C MXD-3, R-5A-8 MXD-3 AND R-12
PARCEL Nos.: 102, 349, 235
TAX MAP No.: 42 & 43 GRID No.: 24 & 19
SIXTH ELECTION DISTRICT HOWARD COUNTY, MARYLAND
SCALE: AS SHOWN DATE: AUGUST, 2020
SHEET 98 OF 131

FISHER, COLLINS & CARTER, INC.
CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
CENTENIAL SQUARE OFFICE PARK - 10772 BALTIMORE NATIONAL PIKE
BELLGATE CITY, MARYLAND 21104
(410) 461-2299



ASSEMBLY VIEW LAYOUT AREA

ASSEMBLY
SCALE: 1" = 20'
VOLUME: 151,570 GAL.
LOADING: H20/H25
SYSTEM INV = 276.00'

NOTES

- ALL RISER AND STUB DIMENSIONS ARE TO CENTERLINE.
- ALL ELEVATIONS, DIMENSIONS, AND LOCATIONS OF RISERS AND INLETS, SHALL BE VERIFIED BY THE ENGINEER OF RECORD PRIOR TO RELEASING FOR FABRICATION.
- ALL FITTINGS AND REINFORCEMENT COMPLY WITH ASTM D3350.
- ALL RISERS AND STUBS ARE HIGH DENSITY POLYETHYLENE UNLESS OTHERWISE NOTED.
- RISERS TO BE FIELD TRIMMED TO GRADE.
- FLOTATION CONTROL IS CRITICAL AND THE RESPONSIBILITY OF THE INSTALLER. THE INFORMATION IS SUBMITTED AS A GUIDELINE ONLY. CONTECH IS NOT RESPONSIBLE FOR THE USE AND INTERPRETATION OF THIS INFORMATION.
- ALL TANKS ARE TESTED FOR WATERTIGHTNESS PRIOR TO SHIPMENT.

FISHER, COLLINS & CARTER, INC.
CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
CENTRAL SQUARE OFFICE PARK - 10772 BALTIMORE NATIONAL PIKE
ELLSWORTH CITY, MARYLAND 21144
(410) 461-2895

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Stephan J. Tuite
STEPHAN J. TUITE, RLA, P.E., LEED AP BC&O

8/13/20
DATE

DATE	DESCRIPTION	REVISION BLOCK
APPROVED: DEPARTMENT OF PLANNING AND ZONING		
<i>[Signature]</i>	Director	10/15/20 Date
<i>[Signature]</i>	Chief, Division of Land Development	10/15/20 Date
<i>[Signature]</i>	Chief, Development Engineering Division	8/26/20 Date

PREPARED FOR
HOWARD COUNTY PUBLIC SCHOOL SYSTEM
9020 MENDENHALL COURT
SUITE 'C'
COLUMBIA, MARYLAND 21045
Attention: DANIEL LUBELEY
410-313-8203



ADDRESS CHART	
PARCEL NO.	STREET ADDRESS
	8500 RIDGELYS RUN ROAD JESSUP, MARYLAND 20794
PROJECT	
HIGH SCHOOL #13	SECTION/AREA N/A
102, 349, 235	PARCEL
BLOCK NO. 18 & 24 13 & 19	ZONE R-12 RSC MXD-3 R5A-8 MXD-3
TAX MAP 42 & 43	ELEC. DIST. SIXTH
CENSUS TR. 606901	
WATER CODE	SEWER CODE

CISTERN TANK DETAIL AND NOTES

HIGH SCHOOL #13
PARCELS 'A' THRU 'D'

ZONED: R-SC MXD-3, R-5A-8 MXD-3 AND R-12
PARCEL Nos.: 102, 349, 235
TAX MAP No.: 42 & 43 GRID No.: 24 & 19
SIXTH ELECTION DISTRICT HOWARD COUNTY, MARYLAND
SCALE: AS SHOWN DATE: AUGUST, 2020
SHEET 99 OF 131

SPECIFICATION FOR STEEL REINFORCED POLYETHYLENE PIPE

SCOPE

THIS SPECIFICATION COVERS THE MANUFACTURE AND INSTALLATION OF THE STEEL REINFORCED POLYETHYLENE PIPE DETAILED IN THE PROJECT PLANS.

DESCRIPTION

DUROMAXX IS A REINFORCED POLYETHYLENE PIPE WITH A SMOOTH WATERWAY WALL AND EXTERIOR PROFILE THAT IS REINFORCED WITH HIGH STRENGTH GALVANIZED STEEL RIBS. THE CONTINUOUS REINFORCING RIBS ARE COMPLETELY ENCASED WITHIN THE POLYETHYLENE PROFILE. DUROMAXX IS MANUFACTURED USING A HELICAL WINDING PROCESS THAT RESULTS IN A CONTINUOUSLY FUSION WELDED CIRCUMFERENTIAL LAP SEAM. THE PIPE PROFILE IS MANUFACTURED USING A HIGH QUALITY PRESSURE-RATED THERMOPLASTIC MEETING THE REQUIREMENTS OF ASTM F2562 "STANDARD SPECIFICATION FOR STEEL REINFORCED THERMOPLASTIC RIBBED PIPE AND FITTINGS FOR NON-PRESSURE DRAINAGE AND SEWERAGE". FOR THE PURPOSE OF HYDRAULIC DESIGN, THE RECOMMENDED MANNING'S "N" VALUE SHALL BE 0.012 FOR PIPE DIAMETERS INCLUDED WITHIN THIS SPECIFICATION. PIPE LENGTH & ALL DIMENSIONS SHOWN ARE SUBJECT TO MANUFACTURERS TOLERANCES OF ±1% ACCORDING TO ASTM F2562.

MATERIAL PROPERTIES

VIRGIN HIGH DENSITY POLYETHYLENE PRESSURE-RATED RESINS ARE USED TO MANUFACTURE DUROMAXX PIPE. RESINS SHALL CONFORM TO THE MINIMUM REQUIREMENTS OF CELL CLASSIFICATION 345464 C AS DEFINED AND DESCRIBED IN THE LATEST VERSION OF ASTM D3350 "STANDARD SPECIFICATION FOR POLYETHYLENE PLASTICS PIPE AND FITTINGS MATERIALS".

FITTINGS

ALL FITTINGS SHALL BE FABRICATED FROM DUROMAXX PIPE. ANY FITTINGS 30"Ø AND BELOW WILL BE HDPE PIPE.

ALL FABRICATION OF THE PRODUCT SHALL OCCUR WITHIN THE UNITED STATES.

INSTALLATION

INSTALLATION SHALL BE IN ACCORDANCE WITH ASTM D2321 "PRACTICE FOR UNDERGROUND INSTALLATION OF THERMOPLASTIC PIPE FOR SEWERS AND OTHER GRAVITY-FLOW APPLICATIONS" ALONG WITH PRODUCT-SPECIFIC RECOMMENDATIONS CONTAINED IN CONTECH INSTALLATION GUIDELINES FOR DUROMAXX PIPE.

INSTALLATION

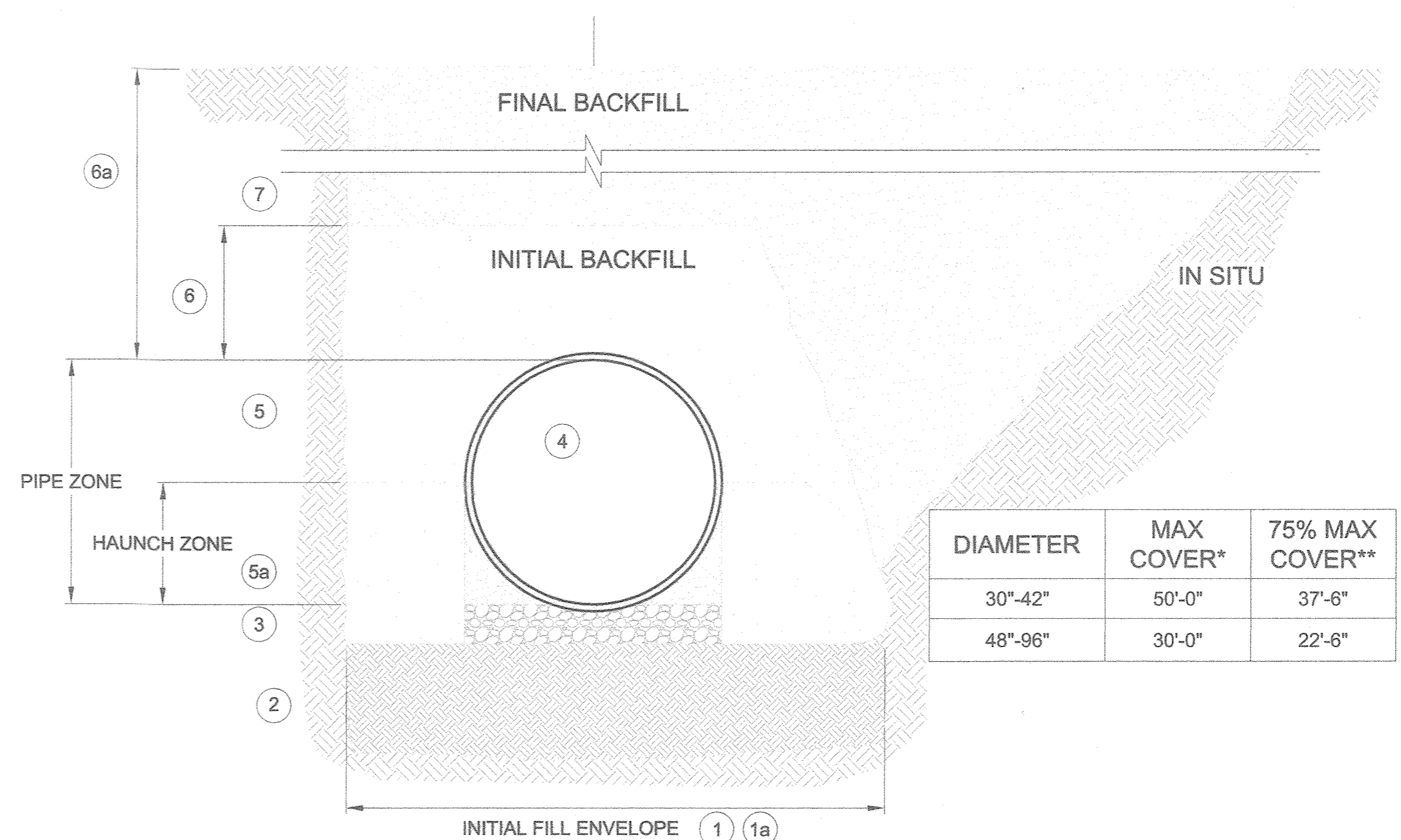
PRE-CONSTRUCTION MEETING

PRIOR TO INSTALLATION OF THE DRAINAGE SYSTEM A PRE-CONSTRUCTION MEETING SHALL BE CONDUCTED. THOSE REQUIRED TO ATTEND ARE THE SUPPLIER OF THE DRAINAGE SYSTEM, THE GENERAL CONTRACTOR, SUB CONTRACTORS AND THE ENGINEER.

INSTALLATION OF PIPE:

IT IS THE RESPONSIBILITY OF THE CONTRACTOR AND/OR PROJECT ENGINEER TO ENSURE THAT ALL QUESTIONS ABOUT INSTALLATION ARE ADDRESSED PRIOR TO APPROVAL OF SYSTEM. ALL DETAILS FOR INSTALLATION ARE LOCATED IN THIS DRAWING PACKAGE ANY QUESTIONS CONCERNING THESE STANDARD DETAILS CAN BE ADDRESSED BY YOUR CONTECH REPRESENTATIVE PRIOR TO APPROVAL.

BACKFILL SHALL BE PLACED TO THE PROPER ELEVATION OVER THE SYSTEM AS OUTLINED IN THE PLANS. MINIMUM COVER FOR CONSTRUCTION LOADING NEEDS TO BE DETERMINED BASED ON THE TYPE OF EQUIPMENT THAT IS PLANNED FOR CONSTRUCTION. PROPER COVER FOR CONSTRUCTION EQUIPMENT SHALL BE DETERMINED PRIOR TO THE PRE-CONSTRUCTION MEETING BY THE ENGINEER.



- ① MINIMUM TRENCH WIDTH MUST ALLOW ROOM FOR PROPER COMPACTION OF HAUNCH MATERIALS UNDER PIPE. MIN. WIDTH = (1.25 x DIAMETER) + 12" (FOLLOW ASTM D2321)
- ①a MINIMUM EMBANKMENT WIDTH IS 3 PIPE DIAMETERS BUT NO LESS THAN 2' OUTSIDE OF SPRINGLINE.
- ② FOUNDATION SHALL BE WELL CONSOLIDATED & STABLE.
- ③ BEDDING MATERIAL SHALL BE A RELATIVELY LOOSE MATERIAL THAT IS ROUGHLY SHAPED TO FIT THE BOTTOM OF THE PIPE, 4" TO 6" IN DEPTH.
- ④ DUROMAXX STEEL REINFORCED (SRPE) PIPE.
- ⑤ INITIAL BACKFILL FOR PIPE EMBEDMENT MATERIAL TO MEET ASTM D2321 CLASS I, II, III OR APPROVED EQUAL, COMPACTED TO 90% STANDARD PROCTOR (NATIVE MATERIAL CAN BE UTILIZED THAT MEETS ASTM D2321 OR APPROVED EQUAL).
 - ALL LIFTS PLACED IN CONTROLLED MANNER. TO PREVENT UNEVEN LOADING, IT IS RECOMMENDED THAT LIFTS NOT EXCEED 8" UNCOMPACTED LIFT HEIGHTS.
- ⑤a HAUNCH ZONE MATERIAL SHALL BE HAND SHOVELED OR SHOVEL SLICED INTO PLACE TO ALLOW FOR PROPER COMPACTION.
- ⑥ INITIAL BACKFILL ABOVE PIPE MAY INCLUDE ROAD BASE MATERIAL AND RIGID PAVEMENT (IF APPLICABLE), MINIMUM COVER STILL APPLIES, OTHERWISE:
 - 8" MINIMUM FOR PIPE DIAMETERS 30" - 60"
 - 12" MINIMUM FOR PIPE DIAMETERS 66" - 96"
- ⑥a HEIGHT OF COMPACTED COVER PER DIAMETER FOR CONVENTIONAL HIGHWAY LOADS (DISTANCE MEASURED FROM TOP OF PIPE TO BOTTOM OF FLEXIBLE PAVEMENT OR TOP OF RIGID PAVEMENT):
 - 12" MINIMUM FOR PIPE DIAMETERS 30" - 60"
 - 18" MINIMUM FOR PIPE DIAMETER 66" - 72"
 - 24" MINIMUM FOR PIPE DIAMETERS 84" - 96"
- ⑦ FINAL BACKFILL MATERIAL SELECTION AND COMPACTION REQUIREMENTS PER THE PROJECT PLANS, SPECIFICATIONS. ENGINEER OF RECORD.

- NOTES:**
- GEOTEXTILE SHALL BE USED AS REQUIRED TO PREVENT SOIL MIGRATION.
 - FOR MULTIPLE BARREL INSTALLATION THE RECOMMENDED STANDARD SPACING BETWEEN PARALLEL PIPE RUNS SHALL BE = PIPE DIA./2 OR 3' FOR PIPE DIAMETERS 72" AND LARGER. CONTACT YOUR CONTECH REPRESENTATIVE FOR NONSTANDARD SPACING.
 - BACKFILL REQUIREMENTS SHALL FOLLOW ASTM D2321. IN THE EVENT OF DISCREPANCIES, ASTM D2321 SHALL SUPERCEDE THIS DETAIL.

FISHER, COLLINS & CARTER, INC.
CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
CENTENNIAL SQUARE OFFICE PARK - 10272 BALTIMORE NATIONAL PIKE
ELLSWORTH CITY, MARYLAND 21045
(410) 461-3295

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Stephanie J. Tuite
STEPHANIE J. TUITE, RLA, P.E., LEAD AP BC&D
8/17/20
DATE

DATE	DESCRIPTION	REVISION BLOCK

APPROVED: DEPARTMENT OF PLANNING AND ZONING

John G...
Director, Department of Planning and Zoning
10/5/20
Date

Michael...
Chief, Division of Land Development
10/5/20
Date

John...
Chief, Development Engineering Division
8/24/20
Date

PREPARED FOR
HOWARD COUNTY PUBLIC SCHOOL SYSTEM
9020 MENDENHALL COURT
SUITE 'C'
COLUMBIA, MARYLAND 21045
Attention: DANIEL LUBELEY
410-313-8203



ADDRESS CHART	
PARCEL NO.	STREET ADDRESS
	8500 RIDGELY RUN ROAD JESSUP, MARYLAND 20794

PROJECT	SECTION/AREA	PARCEL
HIGH SCHOOL #13	N/A	102, 349, 235

PLAT NO.	BLOCK NO.	ZONE	TAX MAP	ELEC. DIST.	CENSUS TR.
26508	10 & 24	R-12	42 & 43	SIXTH	606901
26508	13 & 19	RSA-8 MXD-3			

CISTERN TANK DETAIL AND NOTES

**HIGH SCHOOL #13
PARCELS 'A' THRU 'D'**

ZONED: R-5C MXD-3, R-5A-8 MXD-3 AND R-12
PARCEL Nos.: 102, 349, 235
TAX MAP No.: 42 & 43 GRID No.: 24 & 19
SIXTH ELECTION DISTRICT HOWARD COUNTY, MARYLAND
SCALE: AS SHOWN DATE: AUGUST, 2020
SHEET 100 OF 181

NOTES:
1) RECOMMENDED 30" DIAMETER MIN. RISER.

MAX RISER Ø THAT DOES NOT REQUIRE CONCRETE REINFORCEMENT FOR COVER HEIGHTS OF ≤10'	
MAINLINE DIAMETER	RISER (MAX Ø)
42"	42"
48" TO 120"	36"

FOR MORE DETAILED INFORMATION CONSULT FITTING STUB REINFORCEMENT TABLE ON DETAIL #300. IF REINFORCEMENT IS REQUIRED, USE RISER DETAIL #400.

TRAFFIC RATED FRAME & GRATE OR METAL PLATE & FRAME SHALL BE SEPARATE FROM RISER TO PREVENT ANY LIVE LOADS BEING DIRECTED ONTO RISER

REINFORCED CONCRETE COLLAR BY OTHERS TO PREVENT LIVE LOADS FROM BEING IMPOSED ON RISER

TYPICAL BACKFILL AS SHOWN ON BACKFILL DETAIL

HDPE RISER PIPE

FINISHED GRADE

GASKET MATERIAL SUFFICIENT TO PREVENT SLAB FROM BEARING ON RISER TO BE PROVIDED BY CONTRACTOR.

6" PVC VENT PIPE

RISER BACKFILL ENVELOPE SHALL BE CLASS 1 MATERIAL PER ASTM D2321

ACCESS CAP BY OTHERS

FINISHED GRADE

6" PVC VENT PIPE

UNDISTURBED EARTH

TYPICAL MAINLINE PIPE BACKFILL PER PROJECT SPECIFICATIONS UP TO PIPE EMBEDMENT ZONE.

TYPICAL PIPE BEDDING Per pipe specifications depth and compaction

DUROMAXX PIPE

FISHER, COLLINS & CARTER, INC.
CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
CENTENNIAL SQUARE OFFICE PARK - 10272 BALTIMORE NATIONAL PIKE
ELLSWORTH CITY, MARYLAND 21045
(410) 461-2995

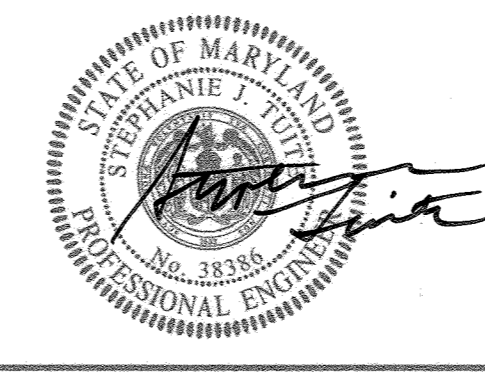
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Stephanie Tuite
STEPHANIE TUIE, RLA, P.E., LEED AP BC&D

8/17/20
DATE

DATE	DESCRIPTION	DATE
	REVISION BLOCK	
APPROVED: DEPARTMENT OF PLANNING AND ZONING		
<i>John Gorn</i>	Director, Department of Planning and Zoning	8/15/20
<i>Stephanie Tuite</i>	Chief, Division of Land Development	8/26/20
<i>John Gorn</i>	Chief, Development Engineering Division	

PREPARED FOR
HOWARD COUNTY PUBLIC SCHOOL SYSTEM
9020 MENDENHALL COURT
SUITE 'C'
COLUMBIA, MARYLAND 21045
Attention: DANIEL LUBELEY
410-313-8203



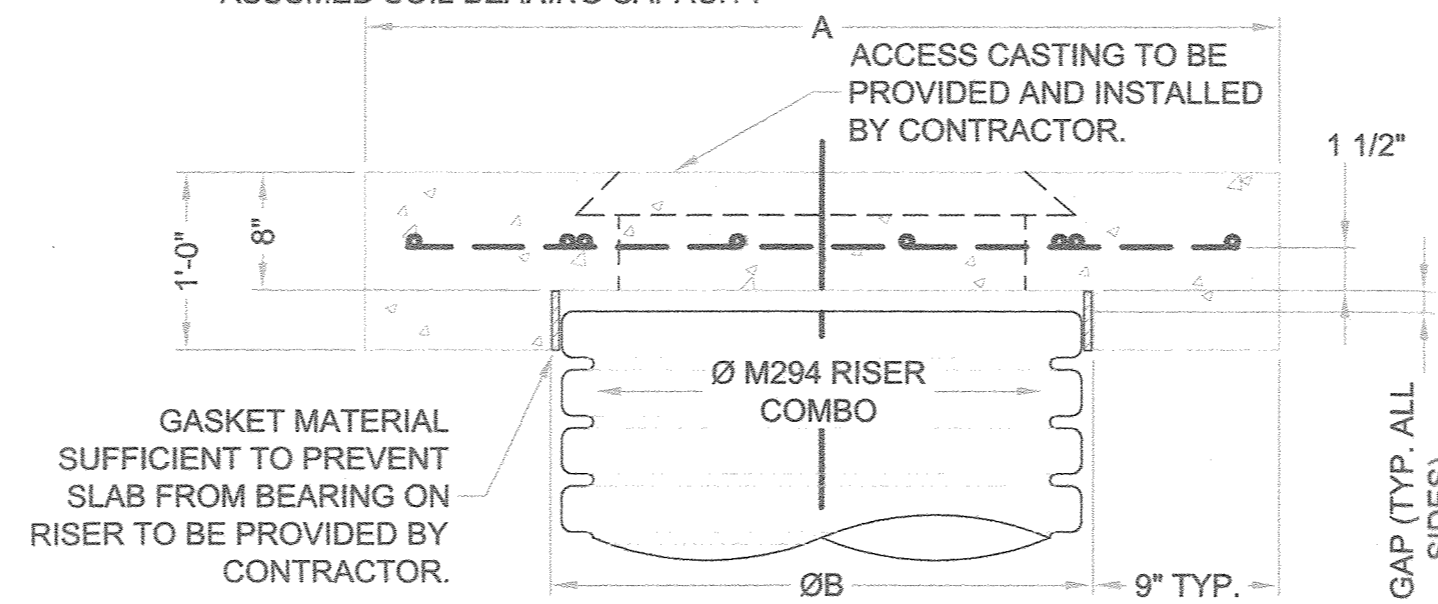
ADDRESS CHART				
PARCEL NO.	STREET ADDRESS			
	8500 RIDGELY'S RUN ROAD JESSUP, MARYLAND 20794			
PROJECT	SECTION/AREA			
HIGH SCHOOL #13	N/A			
BLDG. NO.	ZONE	TAX MAP	ELEC. DIST.	CENSUS TR.
10 & 24	R-12	42 & 43	SIXTH	606901
13 & 19	RSA-8 MXD-3			
WATER CODE	SEWER CODE			
---	---			

CISTERN TANK DETAILS	
HIGH SCHOOL #13 PARCELS 'A' THRU 'D'	
ZONED: R-5C MXD-3, R-5A-8 MXD-3 AND R-12 PARCEL Nos.: 102, 349, 235 TAX MAP No.: 42 & 43 GRID No.: 24 & 19 SIXTH ELECTION DISTRICT HOWARD COUNTY, MARYLAND SCALE: AS SHOWN DATE: AUGUST, 2020 SHEET 101 OF 131	

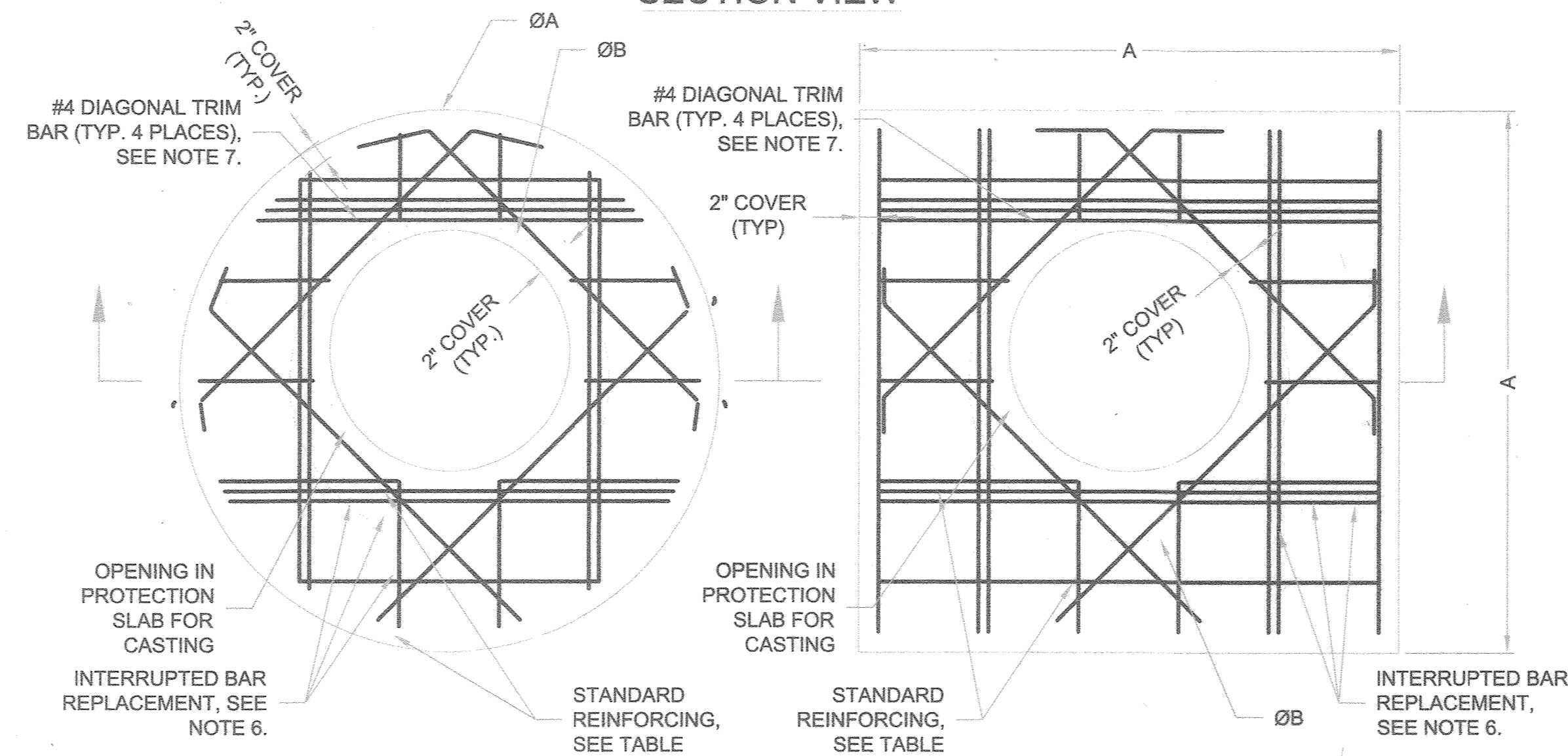
I:\2010\10027\Engineering\Drawings\SDP\10027 SDP 099-103 CISTERN PLANS.dwg, SHEET-101_Cistern Plans, 8/15/2020 1:05:50 PM, 1:1

REINFORCING TABLE				
RISER Ø	A	Ø B	REINFORCING	**BEARING PRESSURE (PSF)
36"	Ø 5'-0"	42"	#4 @ 9" OCEW	2,410
	5'-0" X 5'-0"		#4 @ 7" OCEW	1,660

** ASSUMED SOIL BEARING CAPACITY



SECTION VIEW



ROUND OPTION PLAN VIEW

SQUARE OPTION PLAN VIEW

NOTES:

- DESIGN IN ACCORDANCE WITH AASHTO, 17th EDITION.
- DESIGN LOAD HS25.
- EARTH COVER = 1' MAX.
- CONCRETE STRENGTH = 3,500 psi
- REINFORCING STEEL = ASTM A615, GRADE 60.

- PROVIDE ADDITIONAL REINFORCING AROUND OPENINGS EQUAL TO THE BARS INTERRUPTED, HALF EACH SIDE. ADDITIONAL BARS TO BE IN THE SAME PLANE.
- TRIM OPENING WITH DIAGONAL #4 BARS, EXTEND BARS A MINIMUM OF 12" BEYOND OPENING, BEND BARS AS REQUIRED TO MAINTAIN BAR COVER.
- PROTECTION SLAB AND ALL MATERIALS TO BE PROVIDED AND INSTALLED BY CONTRACTOR.
- DETAIL DESIGN BY DELTA ENGINEERING, BINGHAMTON NY.

FISHER, COLLINS & CARTER, INC.
CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
CENTENNIAL SQUARE OFFICE PARK - 10272 BALTIMORE NATIONAL FREE
ELICOTT CITY, MARYLAND 21046
(410) 461-2025

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Stephanie A. Tuite
STEPHANIE A. TUITE, RLA, P.E., LEED AP BC&D

9/17/20
DATE

DATE	DESCRIPTION
	REVISION BLOCK
APPROVED: DEPARTMENT OF PLANNING AND ZONING	
<i>John Green</i>	10/15/20
Director, Department of Planning and Zoning	Date
<i>John Green</i>	10/15/20
Chief, Division of Planning and Development	Date
<i>John Green</i>	9-26-20
Chief, Development Engineering Division	Date

PREPARED FOR
HOWARD COUNTY PUBLIC SCHOOL SYSTEM
9020 MENDENHALL COURT
SUITE 'C'
COLUMBIA, MARYLAND 21045
Attention: DANIEL LUBELEY
410-313-8203

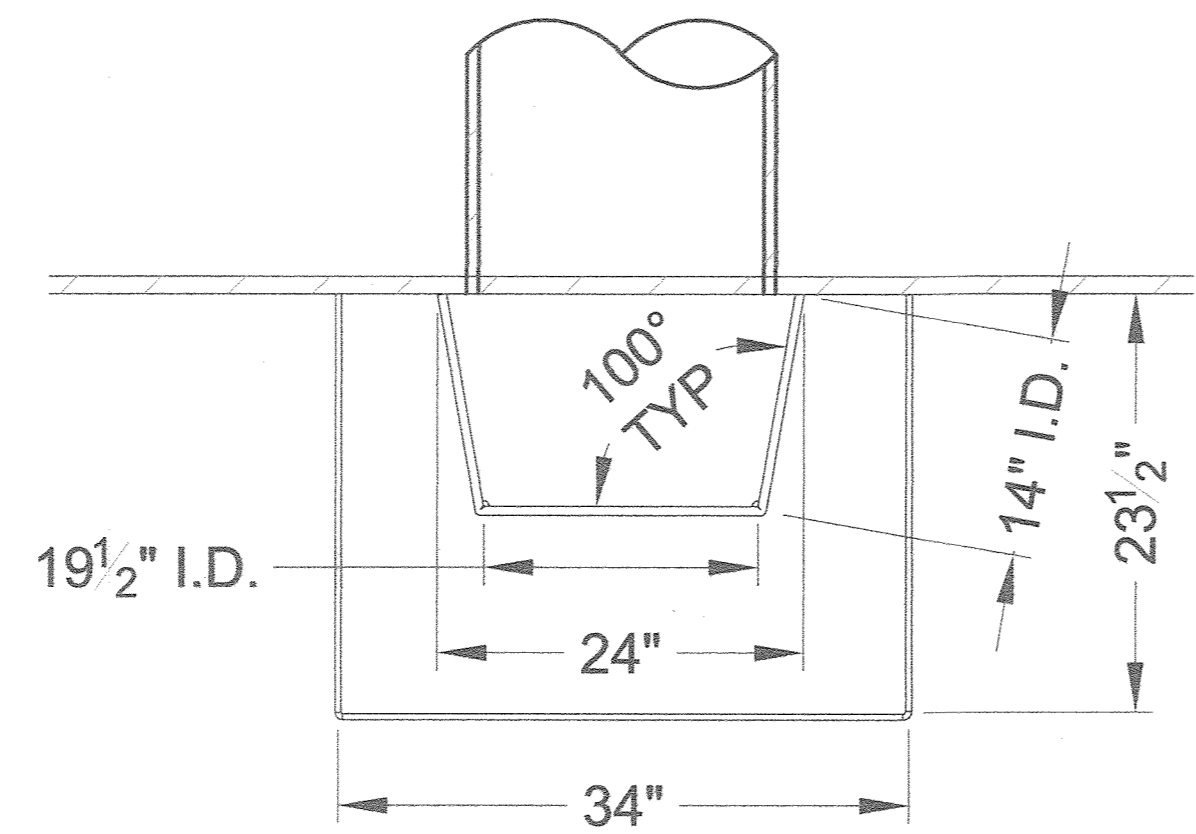


ADDRESS CHART					
PARCEL NO.	STREET ADDRESS				
	8500 RIDGELY'S RUN ROAD				
	JESSUP, MARYLAND 20794				
PROJECT	SECTION/AREA	PARCEL			
HIGH SCHOOL #13	N/A	102, 349, 235			
PLAT NO.	BLOCK NO.	ZONE	TAX MAP	ELEC. DIST.	CENSUS TR.
26522	10 & 24 13 & 19	R-12 RSC MXD-3 RSA-B MXD-3	42 & 43	SIXTH	606901
WATER CODE	SEWER CODE				
----	----				

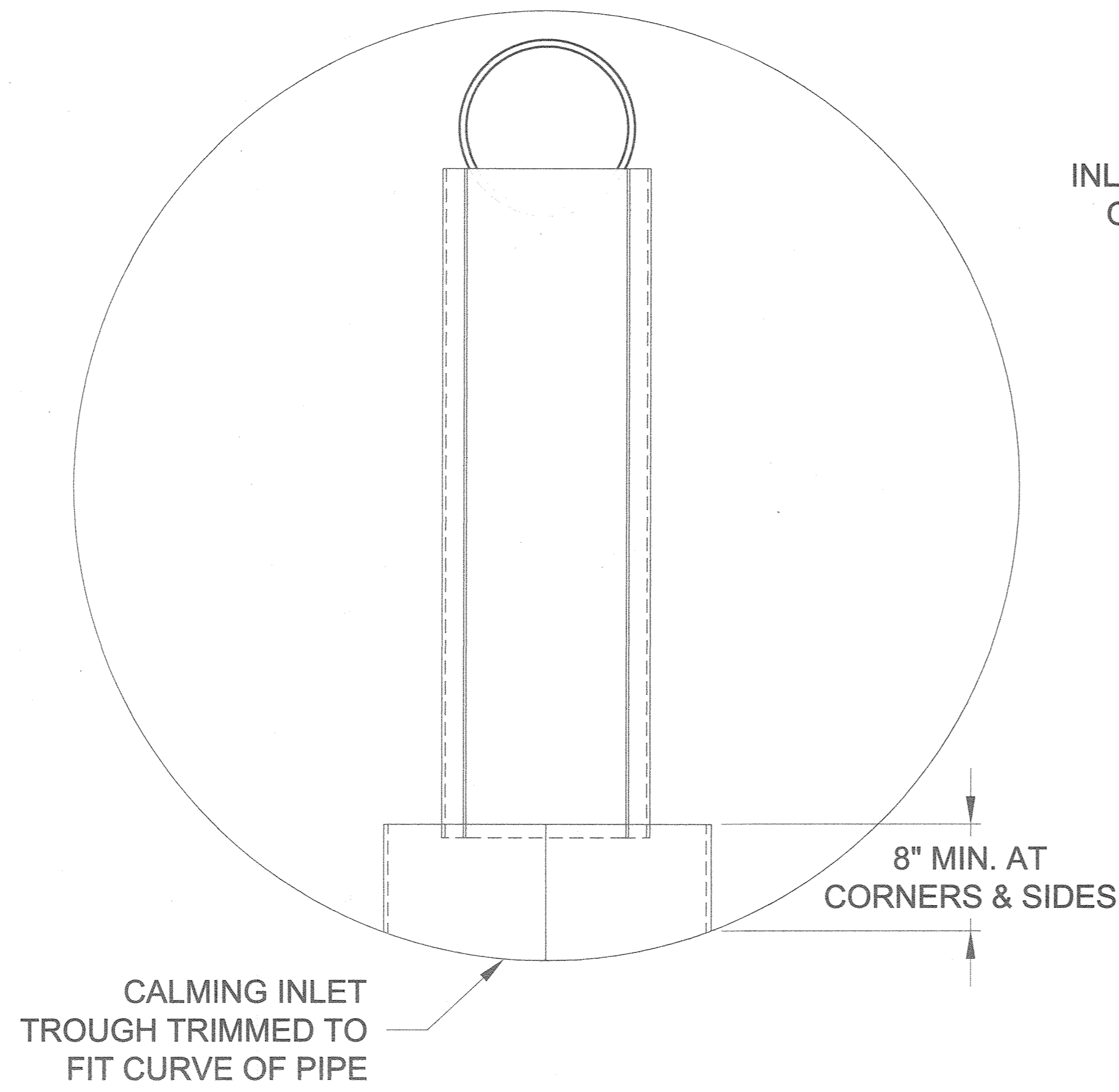
CISTERN TANK DETAILS

HIGH SCHOOL #13
PARCELS 'A' THRU 'D'

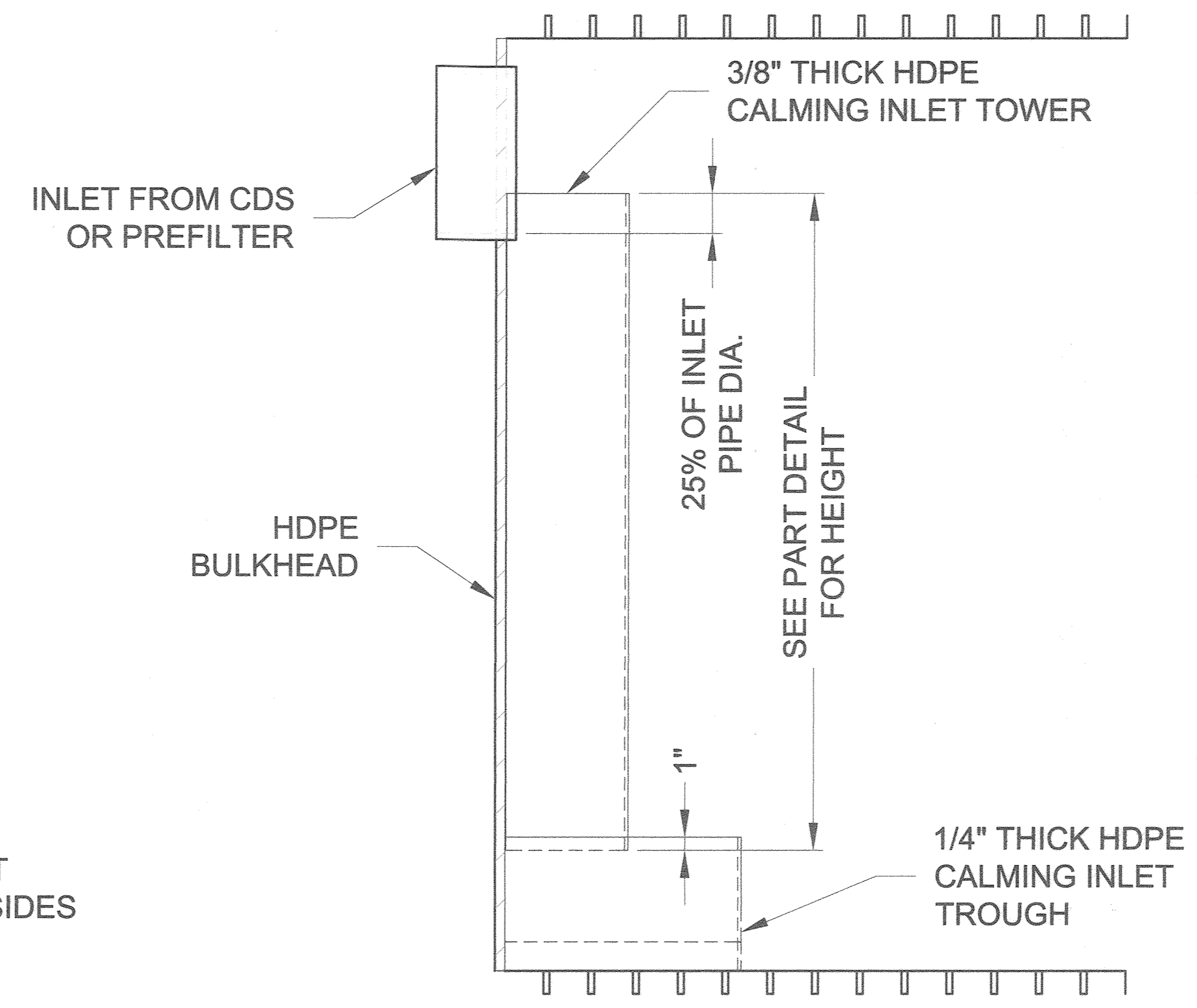
ZONED: R-5C MXD-3, R-5A-Ø MXD-3 AND R-12
PARCEL Nos.: 102, 349, 235
TAX MAP No.: 42 & 43 GRID No.: 24 & 19
SIXTH ELECTION DISTRICT HOWARD COUNTY, MARYLAND
SCALE: AS SHOWN DATE: AUGUST, 2020
SHEET 102 OF 131



PLAN VIEW



ELEVATION VIEW - INSIDE



SIDE VIEW

FISHER, COLLINS & CARTER, INC.
 CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
 CENTENNIAL SQUARE OFFICE PARK - 10272 BALTIMORE NATIONAL PIKE
 ELLETTTS CITY, MARYLAND 21144
 (410) 461-2295

"PROFESSIONAL CERTIFICATION, I HEREBY CERTIFY THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 36306, EXPIRATION DATE: JANUARY 12, 2022."
Stephanie J. Tuite 8/17/20
 STEPHANIE J. TUITE, R.L.A., P.E., LEED AP BC&D DATE

DATE	DESCRIPTION	REVISION BLOCK
10/5/20	10/5/20	Date
10/5/20	10/5/20	Date
8/21/20	8/21/20	Date

APPROVED: DEPARTMENT OF PLANNING AND ZONING
Stephanie J. Tuite
 Director, Department of Planning and Zoning
Stephanie J. Tuite
 Chief, Division of Land Development
Stephanie J. Tuite
 Chief, Development Engineering Division

PREPARED FOR
 HOWARD COUNTY PUBLIC SCHOOL SYSTEM
 9020 MENDENHALL COURT
 SUITE 'C'
 COLUMBIA, MARYLAND 21045
 Attention: DANIEL LUBELEY
 410-313-8203



ADDRESS CHART					
PARCEL NO.	STREET ADDRESS				
-	8500 RIDGELY RUN ROAD JESSUP, MARYLAND 20794				
PROJECT	SECTION/AREA	PARCEL			
HIGH SCHOOL #13	N/A	102, 349, 235			
PLAT NO.	BLOCK NO.	ZONE	TAX MAP	ELEC. DIST.	CENSUS TR.
85548 13 & 19	18 & 24 13 & 19	R-12 RSC MXD-3 R5A-B MXD-3	42 & 43	SIXTH	606901
WATER CODE	SEWER CODE				
---	---				

CISTERN TANK DETAILS

**HIGH SCHOOL #13
 PARCELS 'A' THRU 'D'**

ZONED: R-5C MXD-3, R-5A-B MXD-3 AND R-12
 PARCEL Nos.: 102, 349, 235
 TAX MAP No.: 42 & 43 GRID No.: 24 & 19
 SIXTH ELECTION DISTRICT HOWARD COUNTY, MARYLAND
 SCALE: AS SHOWN DATE: AUGUST, 2020
 SHEET 103 OF 131

PUMP STATION SPECIFICATIONS:

NAME: HOWARD COUNTY HIGH SCHOOL #13
 STATION MODEL: WMSTV-5000-1-15-480-3-145-95
 STATION TOTAL PERFORMANCE: 145 GPM @ 95 PSI

PRESSURE DROP START

PUMP HORSEPOWER:
 PUMP NO.1: 15 HP (3600 RPM)

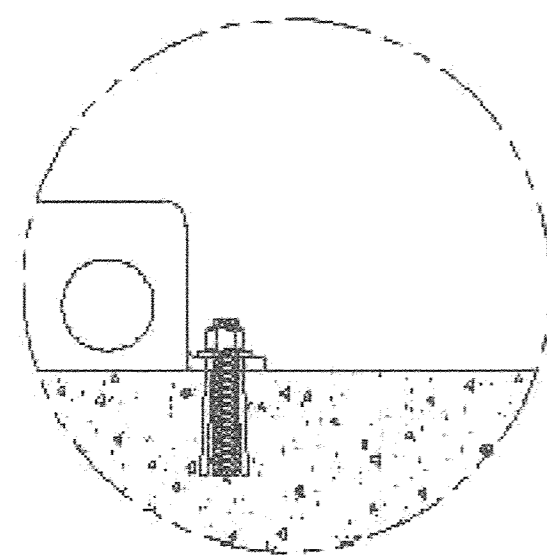
CHECK VALVE SIZES:
 PUMP NO.1: 3"

ISOLATION VALVE SIZES:
 DISCHARGE ISOLATION VALVE SIZE: 3"
 DISCHARGE MANIFOLD SIZE: 3"

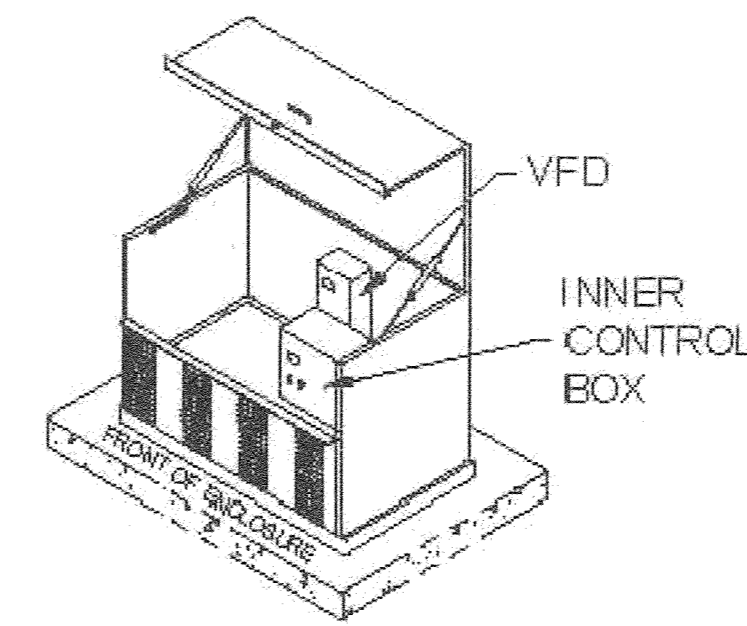
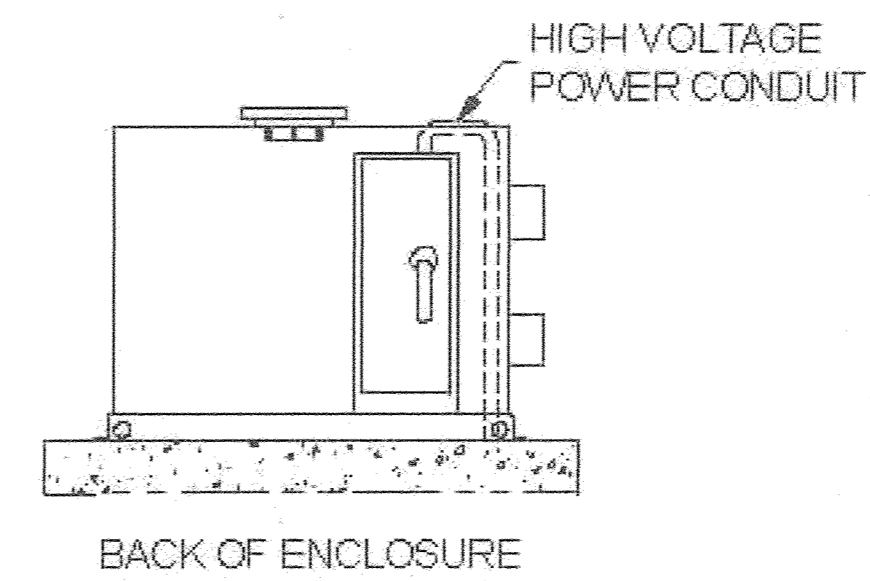
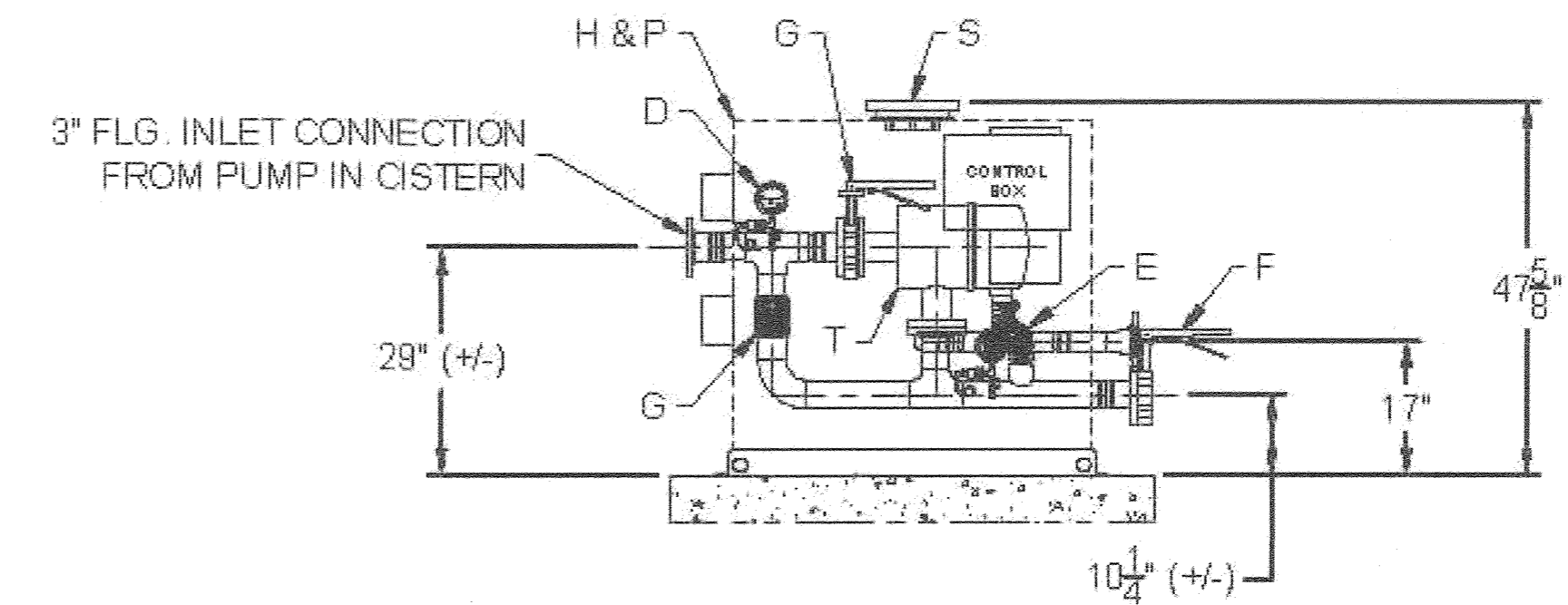
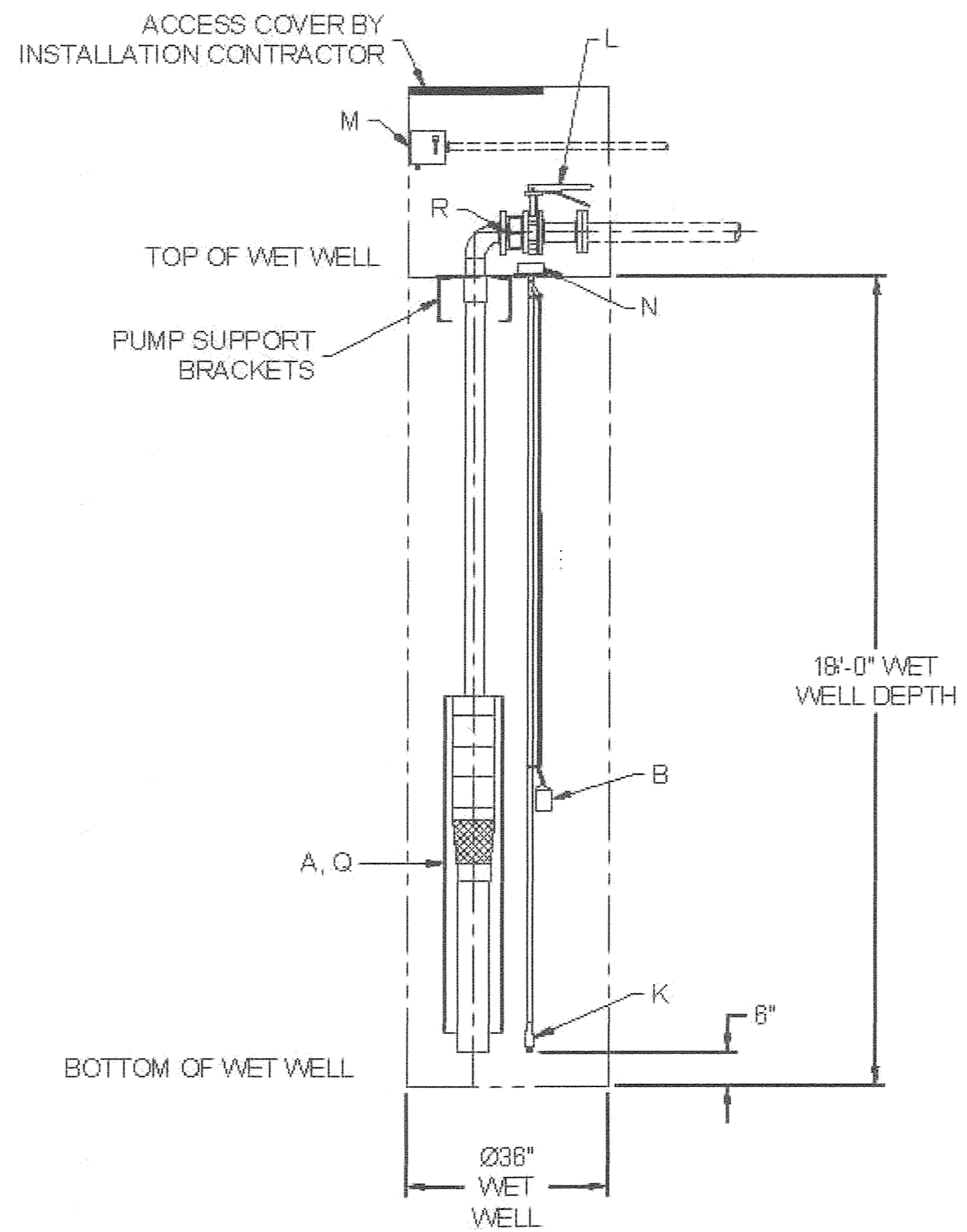
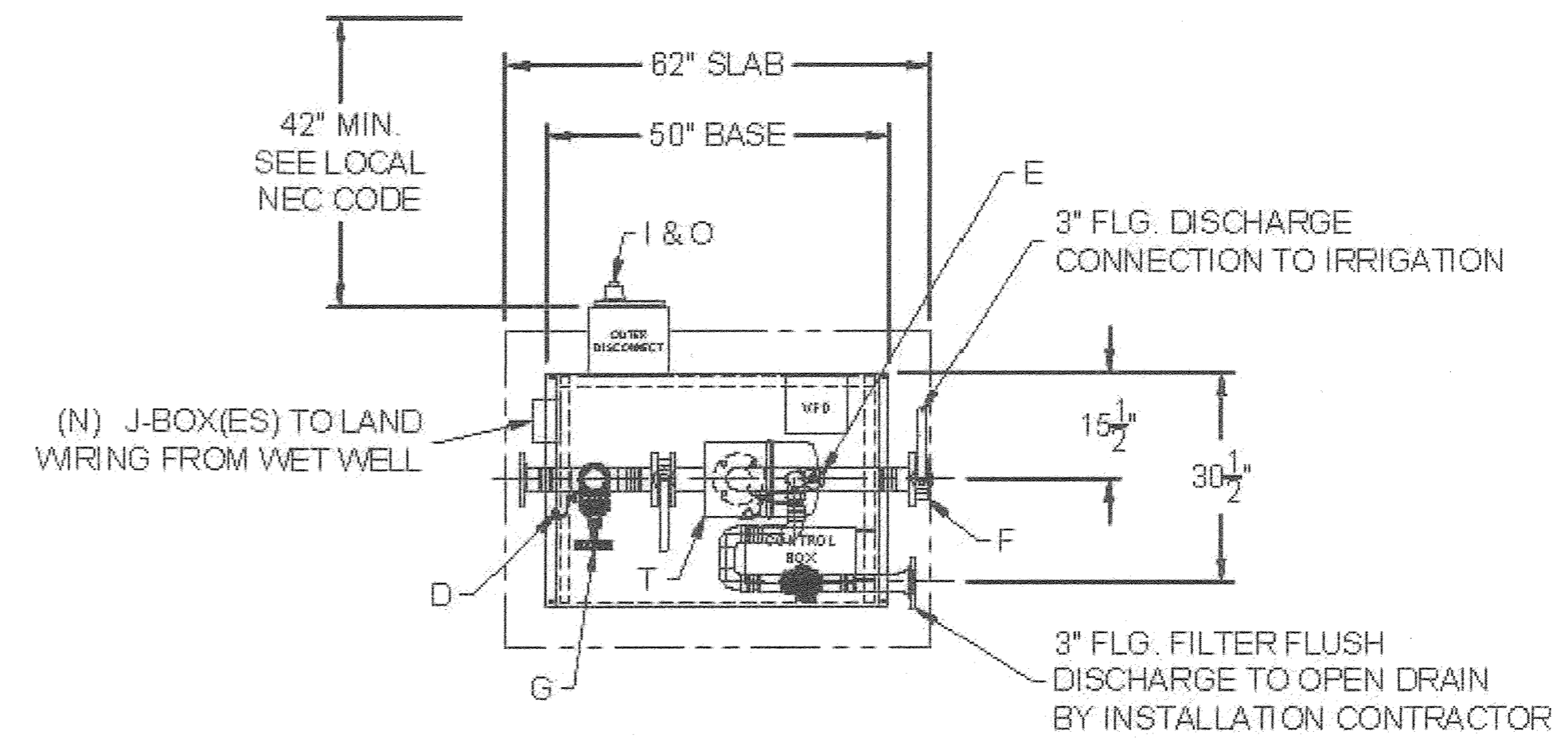
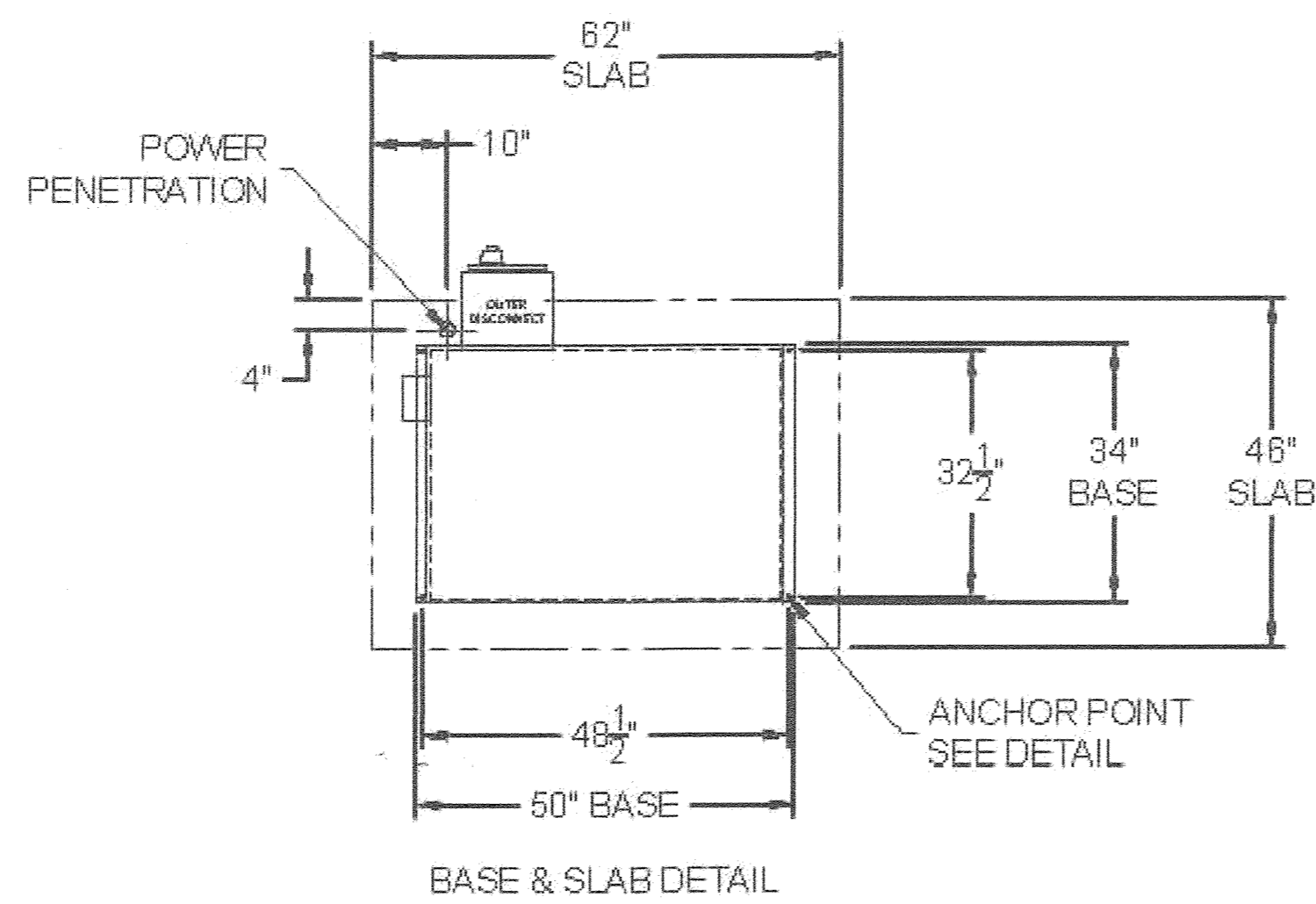
RECOMMENDED DISCONNECT: 60 AMP
 POWER REQUIREMENTS: 480V, 60 HZ, 3 PHZ, 26 FLA

STATION COMPONENTS:

- A 15HP PUMP AND MOTOR
- B LOW LEVEL FLOAT
- C PUMP DISCHARGE PIPE
- D PRESSURE TRANSDUCER W/ GAUGE
- E PUMP FLOW SENSOR
- F DISCHARGE ISOLATION VALVE
- G FILTER ISOLATION VALVE
- H PAINTED STEEL ENCLOSURE (SANDSTONE)
- I HIGH VOLTAGE POWER BOX
- J N/A
- K LEVEL TRANSDUCER
- L PUMP ISOLATION VALVE
- M NEMA 4X REMOTE DISCONNECT
- N NEMA 4X LOW VOLTAGE ELECTRICAL J-BOX
- O DISCONNECT SWITCH
- P PAINTED STEEL BASE (SANDSTONE)
- Q FLOW INDUCER SLEEVE FOR MOTOR COOLING
- R CHECK VALVE
- S HOOD MOUNTED FAN
- T AUTOMATIC SELF-CLEANING FILTER



DETAIL *A*
 CONCRETE ANCHOR
 TYPICAL (4) LOCATIONS



ENCLOSURE
 ISOMETRIC VIEW

FISHER, COLLINS & CARTER, INC.
 CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
 CENTRAL SQUARE OFFICE PARK - 10272 BALTIMORE NATIONAL PIKE
 ELKLOFF CITY, MARYLAND 21042
 (410) 461-2225

"PROFESSIONAL CERTIFICATION. I HEREBY CERTIFY THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 38386, EXPIRATION DATE: JANUARY 12, 2022."
Stephanie J. Tuite 9/17/20
 STEPHANIE J. TUITE, R.L.A., P.E., LEED AP BC&D

DATE	DESCRIPTION

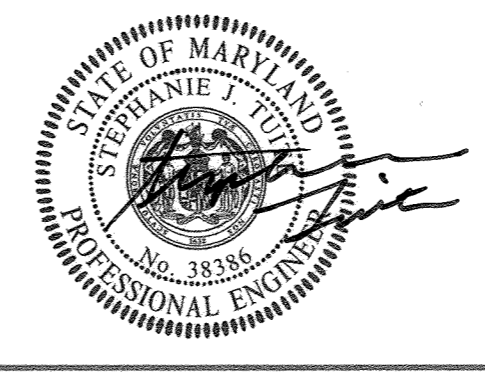
APPROVED: DEPARTMENT OF PLANNING AND ZONING

Director: *[Signature]* 10/5/20
 Date: 10/5/20

Chief, Division of Land Development: *[Signature]* 8/25/20
 Date: 8/25/20

Chief, Development Engineering Division: *[Signature]*
 Date:

PREPARED FOR
 HOWARD COUNTY PUBLIC SCHOOL SYSTEM
 9020 MENDENHALL COURT
 SUITE 'C'
 COLUMBIA, MARYLAND 21045
 Attention: DANIEL LUBELEY
 410-313-8203

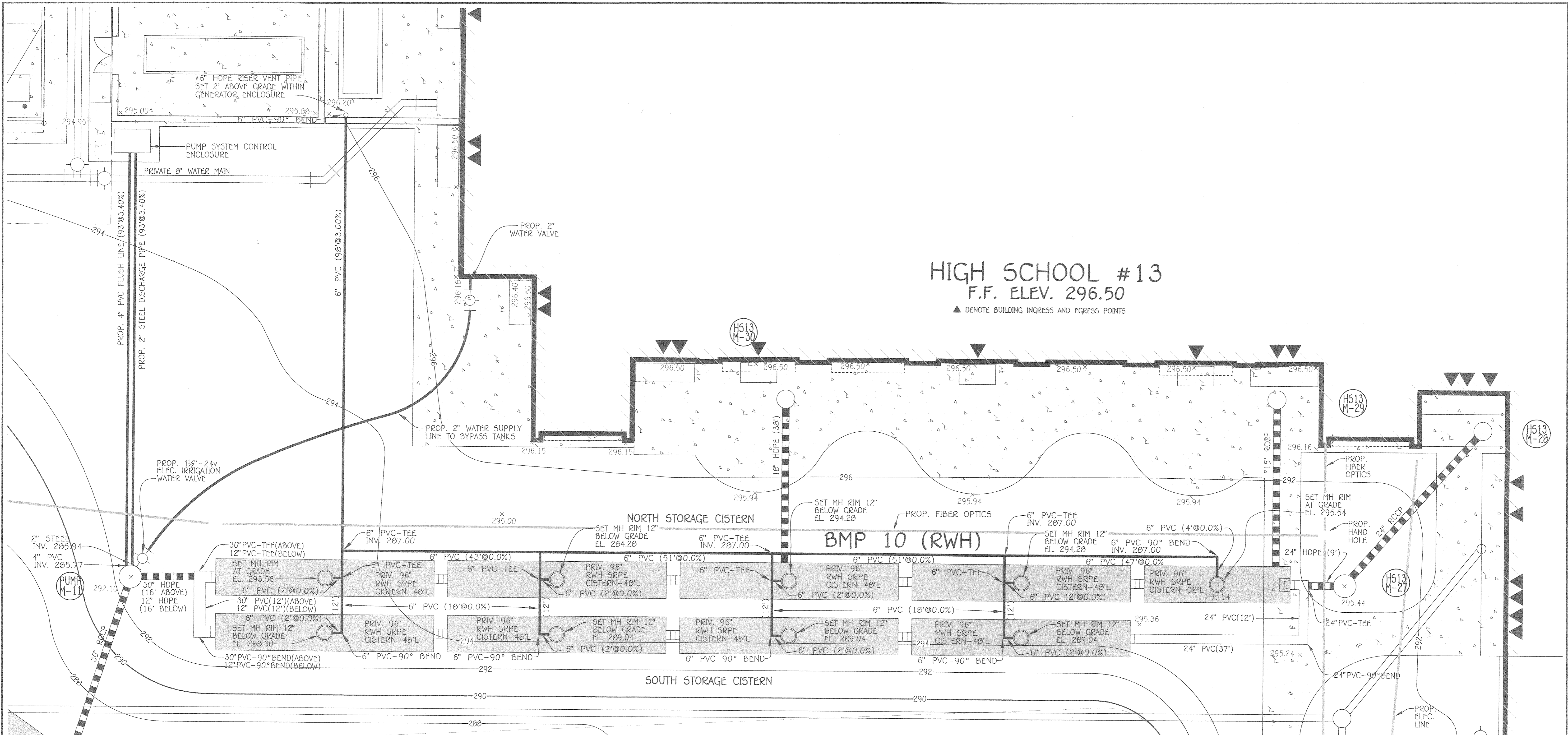


ADDRESS CHART					
PARCEL NO.	STREET ADDRESS				
	8500 RIDGELY'S RUN ROAD				
	JESSUP, MARYLAND 20794				
PROJECT	SECTION/AREA	PARCEL			
HIGH SCHOOL #13	N/A	102, 349, 235			
PLAT NOS.	BLOCK NO.	ZONE	TAX MAP	ELEC. DIST.	CENSUS TR.
05528 05532	18 & 24 13 & 19	R-12 RSC MXD-3 RSA-B MXD-3	42 & 43	SIXTH	606901
WATER CODE			SEWER CODE		

CISTERN TANK MECHANICAL SYSTEM DETAILS

**HIGH SCHOOL #13
 PARCELS 'A' THRU 'D'**

ZONED: R-5C MXD-3, R-5A-B MXD-3 AND R-12
 PARCEL Nos.: 102, 349, 235
 TAX MAP No.: 42 & 43 GRID No.: 24 & 19
 SIXTH ELECTION DISTRICT HOWARD COUNTY, MARYLAND
 SCALE: A5 SHOWN DATE: AUGUST, 2020
 SHEET 104 OF 131



HIGH SCHOOL #13
F.F. ELEV. 296.50
 ▲ DENOTE BUILDING INGRESS AND EGRESS POINTS

PLAN
 SCALE: 1" = 10'

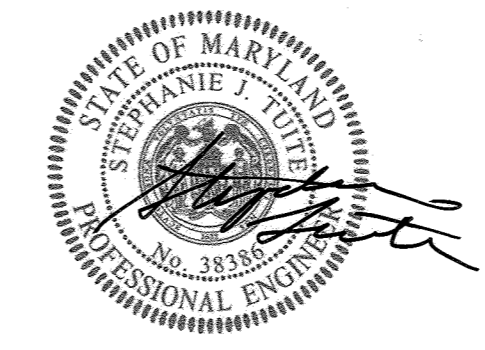
NOTE: ALL DEBRIS IS TO BE KEPT OUT OF THE FACILITY DURING AND AFTER CONSTRUCTION.

"PROFESSIONAL CERTIFICATION. I HEREBY CERTIFY THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 38386, EXPIRATION DATE: JANUARY 12, 2022."
Stephanie J. Tuite
 STEPHANIE J. TUITE, RLA, P.E., LEED AP BC&D
 8/11/20
 DATE

DATE	DESCRIPTION	REVISION BLOCK

APPROVED: DEPARTMENT OF PLANNING AND ZONING
 Director: *[Signature]* 10/5/20
 Date: 10/5/20
 Chief, Development Engineering Division: *[Signature]* 8-26-20
 Date: 8-26-20

PREPARED FOR
 HOWARD COUNTY PUBLIC SCHOOL SYSTEM
 9020 MENDENHALL COURT
 SUITE 'C'
 COLUMBIA, MARYLAND 21045
 Attention: DANIEL LUBELEY
 410-313-8203



ADDRESS CHART	
PARCEL NO.	STREET ADDRESS
	8500 RIDGELYS RUN ROAD JESSUP, MARYLAND 20794

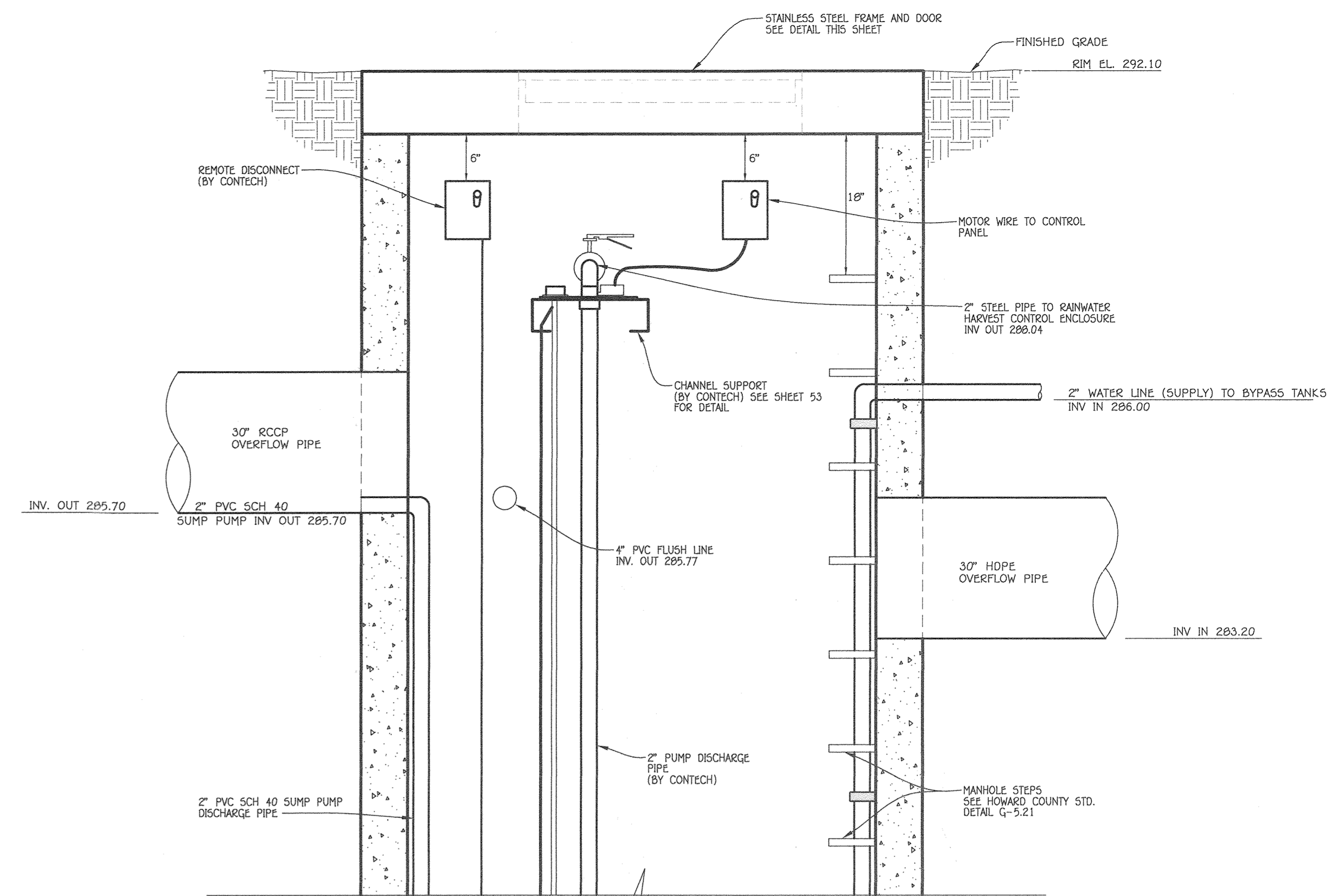
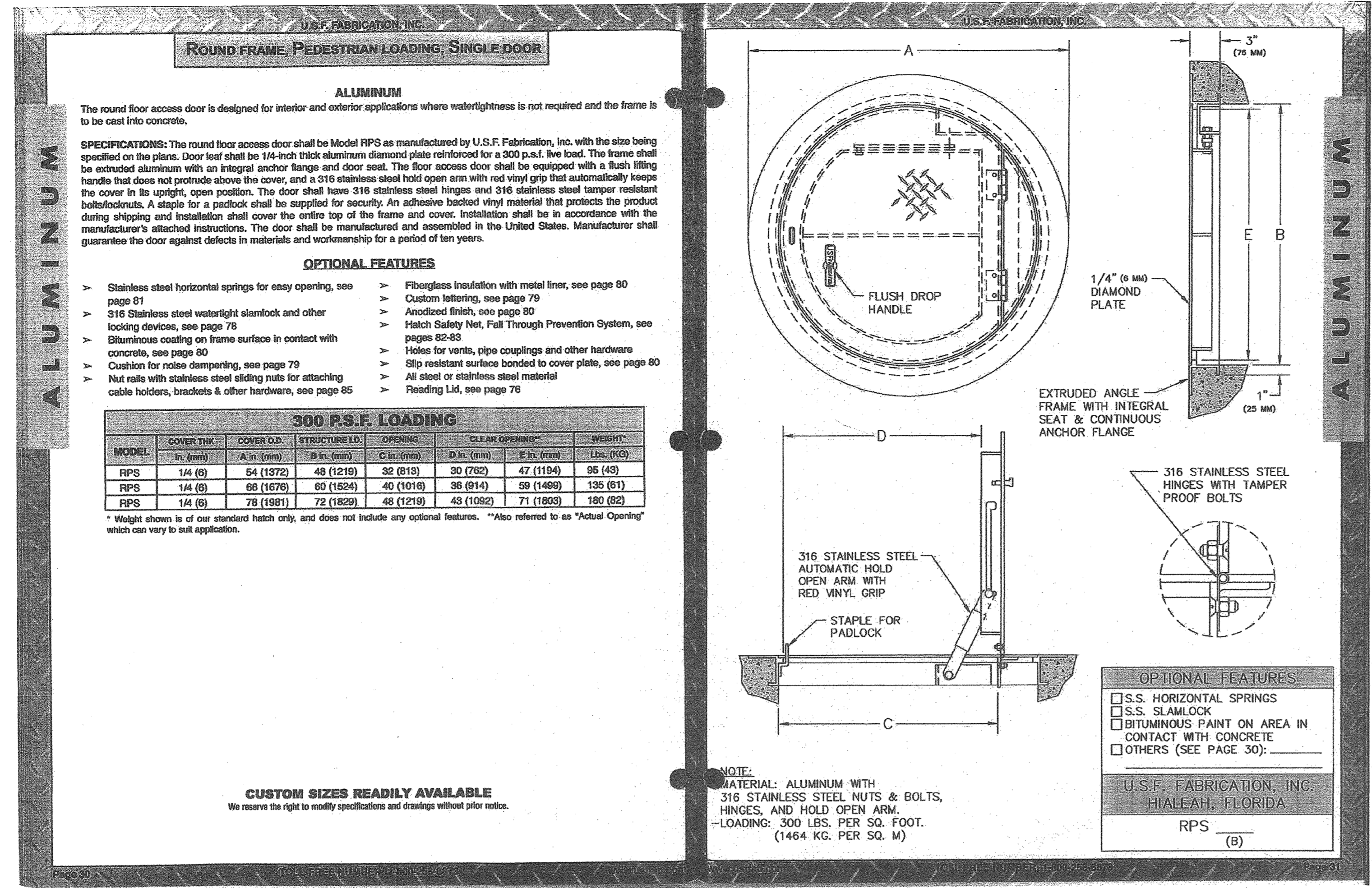
PROJECT	SECTION/AREA	PARCEL
HIGH SCHOOL #13	N/A	102, 349, 235

PLAY NO.	BLOCK NO.	ZONE	TAX MAP	ELEC. DIST.	CENSUS TR.
26628	18 & 24	R-12	42 & 43	SIXTH	606901
25630	13 & 19	RSC MXD-3 RGA-2 MXD-3	42 & 43	SIXTH	606901

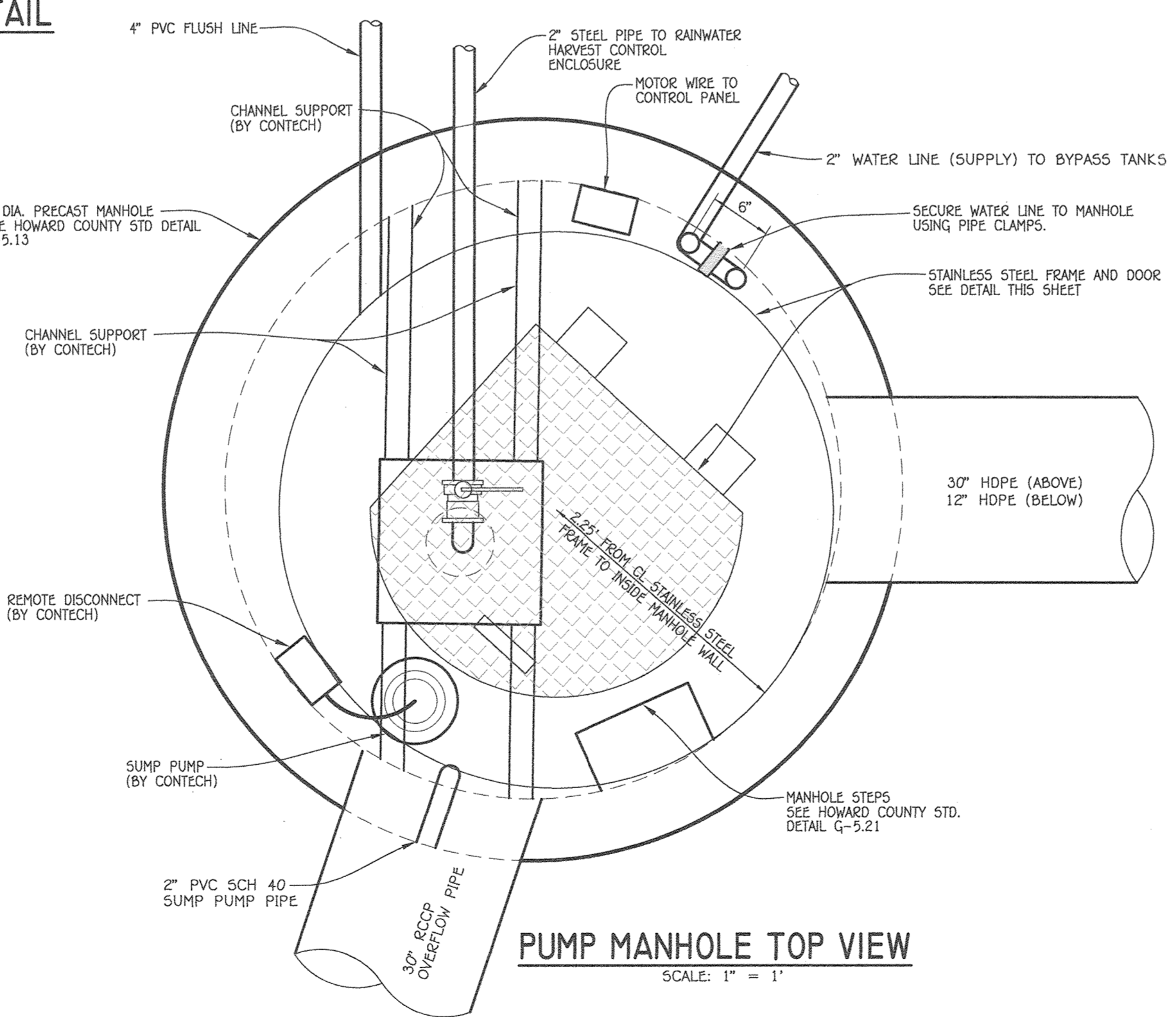
IRRIGATION SYSTEM PLAN VIEW

HIGH SCHOOL #13
PARCELS 'A' THRU 'D'

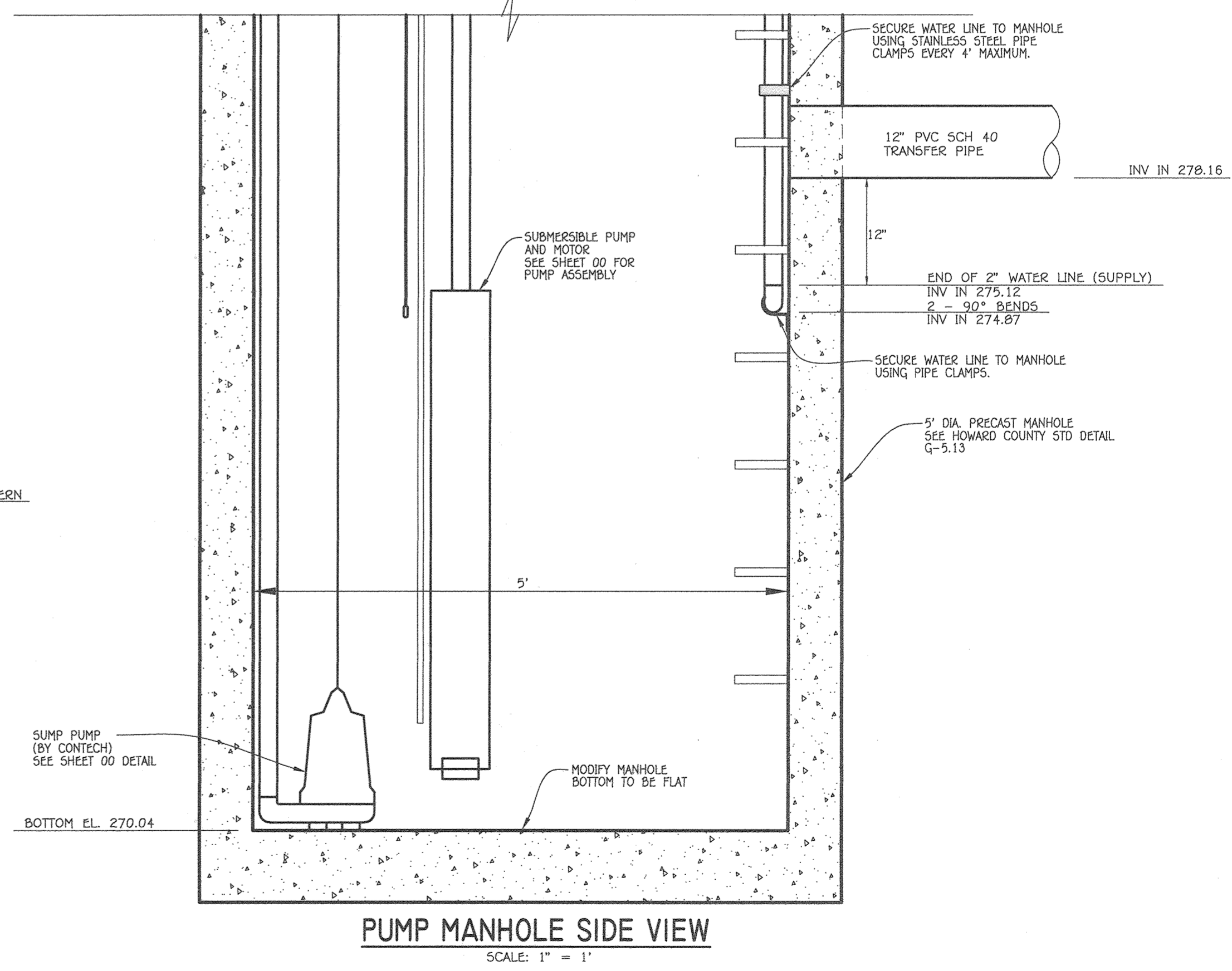
ZONED: R-SC MXD-3, R-SA-0 MXD-3 AND R-12
 PARCEL Nos.: 102, 349, 235
 TAX MAP No.: 42 & 43 GRID No.: 24 & 19
 SIXTH ELECTION DISTRICT HOWARD COUNTY, MARYLAND
 SCALE: AS SHOWN DATE: AUGUST, 2020
 SHEET 105 OF 131



PUMP MANHOLE ACCESS DETAIL
NO SCALE



PUMP MANHOLE TOP VIEW
SCALE: 1" = 1'



PUMP MANHOLE SIDE VIEW
SCALE: 1" = 1'

FISHER, COLLINS & CARTER, INC.
CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
CENTENNIAL SQUARE OFFICE PARK - 10272 BALTIMORE NATIONAL PIKE
ELLSWORTH CITY, MARYLAND 21042
(410) 461-2992

"PROFESSIONAL CERTIFICATION, I HEREBY CERTIFY THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 39306, EXPIRATION DATE: JANUARY 12, 2022."
Stephanie J. Tuite
STEPHANIE J. TUITE, R.L.A., P.E., L.EED AP BC&D
DATE: 9/17/20

DATE	DESCRIPTION
	REVISION BLOCK
APPROVED: DEPARTMENT OF PLANNING AND ZONING	
Director - <i>John G...</i> Date: 10/5/20	
Chief, Division of Land Development Date: 9/26/20	
Chief, Development Engineering Division	

PREPARED FOR
HOWARD COUNTY PUBLIC SCHOOL SYSTEM
9020 MENDENHALL COURT
SUITE 'C'
COLUMBIA, MARYLAND 21045
Attention: DANIEL LUBELEY
410-313-8203

STATE OF MARYLAND
PROFESSIONAL ENGINEER
No. 39306
Date: 9/17/20

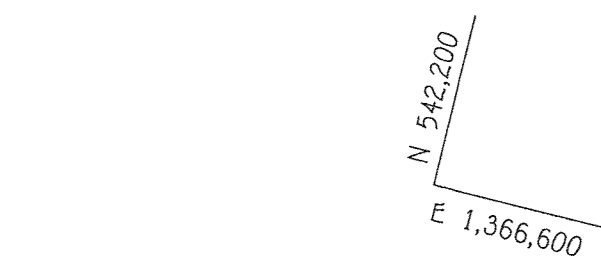
ADDRESS CHART			
PARCEL NO.	STREET ADDRESS		
	8500 RIDGELY'S RUN ROAD JESSUP, MARYLAND 20794		
PROJECT	SECTION/AREA	PARCEL	
HIGH SCHOOL #13	N/A	102, 349, 235	
BLK. NO. 18 & 24 13 & 19	ZONE R-12 RSC MXD-3 RSA-B MXD-3	TAX MAP 42 & 43	ELEC. DIST. SIXTH CENSUS TR. 606901
WATER CODE		SEWER CODE	

IRRIGATION SYSTEM PUMP

**HIGH SCHOOL #13
PARCELS 'A' THRU 'D'**

ZONED: R-SC MXD-3, R-SA-B MXD-3 AND R-12
PARCEL Nos.: 102, 349, 235
TAX MAP No.: 42 & 43 GRID No.: 24 & 19
SIXTH ELECTION DISTRICT HOWARD COUNTY, MARYLAND
SCALE: AS SHOWN DATE: AUGUST, 2020
SHEET 106 OF 171

LEGEND	
SYMBOL	DESCRIPTION
--- 282 ---	EXISTING CONTOUR 2' INTERVAL
--- 280 ---	EXISTING CONTOUR 10' INTERVAL
--- 282 ---	PROPOSED CONTOUR 2' INTERVAL
--- 280 ---	PROPOSED CONTOUR 10' INTERVAL
▬▬▬▬▬▬	PROPOSED CONCRETE WALK
▬▬▬▬▬▬	PROPOSED MACADAM PAVING

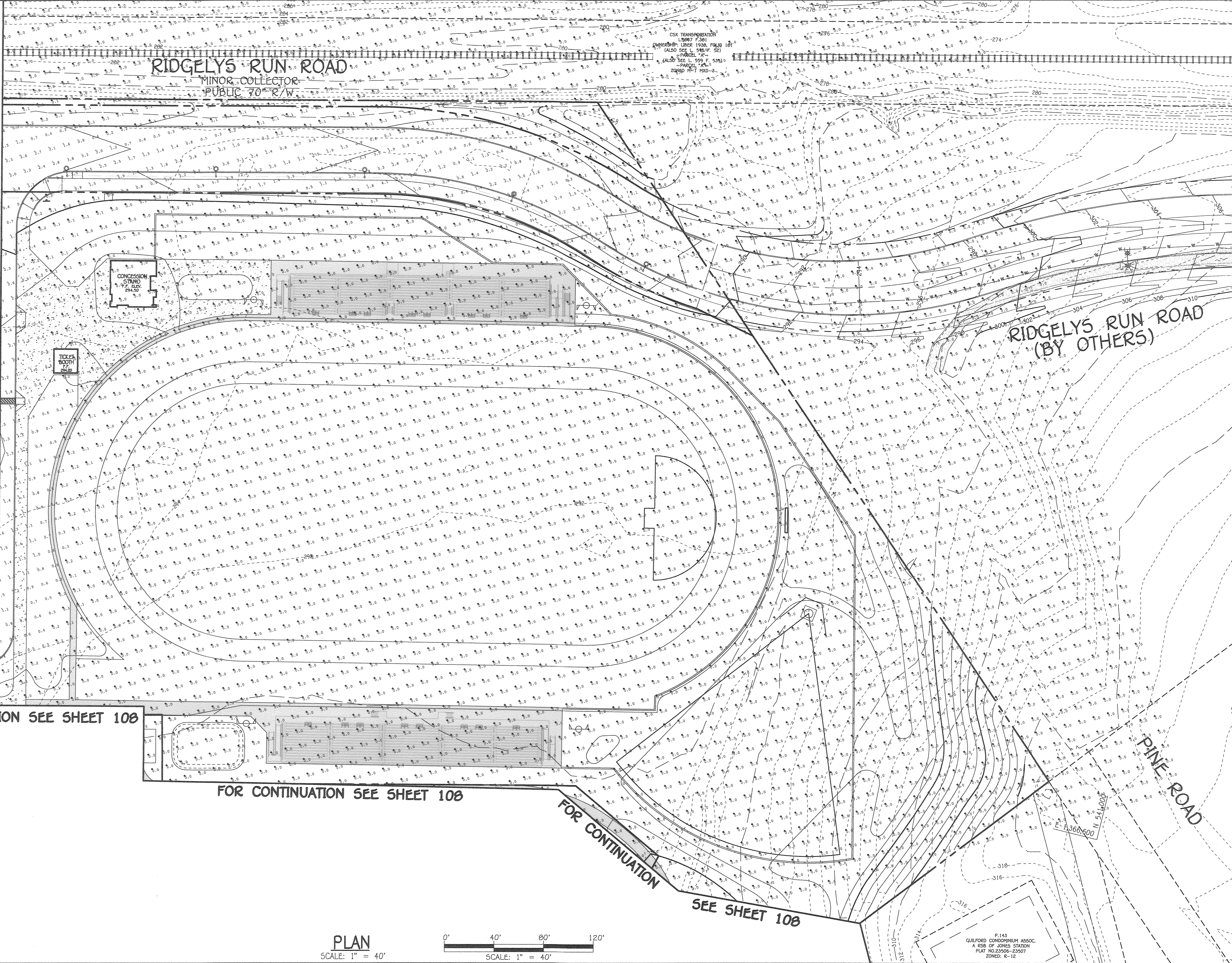


FOR CONTINUATION SEE SHEET 109

FOR CONTINUATION SEE SHEET 108

FOR CONTINUATION SEE SHEET 108

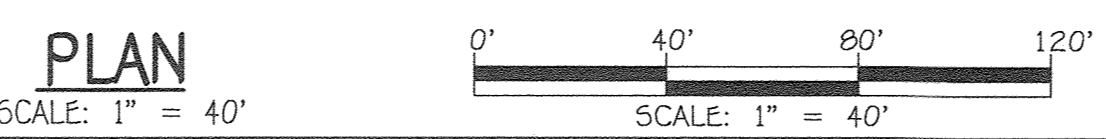
FOR CONTINUATION SEE SHEET 108



FOR CONTINUATION SEE SHEET 108

FOR CONTINUATION SEE SHEET 108

FOR CONTINUATION SEE SHEET 108



FISHER, COLLINS & CARTER, INC.
 CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
 CENTENNIAL SQUARE OFFICE PARK - 10772 BALTIMORE NATIONAL PIKE
 ELIZABETH CITY, MARYLAND 21046
 (410) 461-2855

"PROFESSIONAL CERTIFICATION. I HEREBY CERTIFY THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 38386, EXPIRATION DATE: JANUARY 12, 2022."
Stephanie J. Fuite
 STEPHANIE J. FUITE, RLA, P.E., LEED AP BC&D
 8/17/20
 DATE

DATE	DESCRIPTION	REVISION BLOCK
10/5/20		
10/12/20		
8/21/20		

APPROVED: DEPARTMENT OF PLANNING AND ZONING
 Director - Department of Planning and Zoning
 Chief, Planning and Development
 Chief, Development Engineering Division

PREPARED FOR
 HOWARD COUNTY PUBLIC SCHOOL SYSTEM
 9020 MENDENHALL COURT
 SUITE 'C'
 COLUMBIA, MARYLAND 21045
 Attention: DANIEL LUBELEY
 410-313-8203



ADDRESS CHART	
PARCEL NO.	STREET ADDRESS
-	8500 RIDGELY'S RUN ROAD JESSUP, MARYLAND 20794

PROJECT	SECTION/AREA	PARCEL
HIGH SCHOOL #13	N/A	102, 349, 235

BLK. NO.	ZONE	TAX MAP	ELEC. DIST.	CENSUS TR.
18 & 24	R-12	42 & 43	SIXTH	606901
13 & 19	RSC MXD-3	42 & 43	SIXTH	606901
	RS-A-2 MXD-3			

PHOTOMETRICS PLAN

**HIGH SCHOOL #13
 PARCELS 'A' THRU 'D'**

ZONED: R-5C MXD-3, R-5A-0 MXD-3 AND R-12
 PARCEL Nos.: 102, 349, 235
 TAX MAP No.: 42 & 43, GRID No.: 24 & 19
 SIXTH ELECTION DISTRICT HOWARD COUNTY, MARYLAND
 SCALE: AS SHOWN DATE: AUGUST, 2020
 SHEET 107 OF 131

FOR CONTINUATION SEE SHEET 109

FOR CONTINUATION SEE SHEET 107

FOR CONTINUATION SEE SHEET 107

FOR CONTINUATION SEE SHEET 107

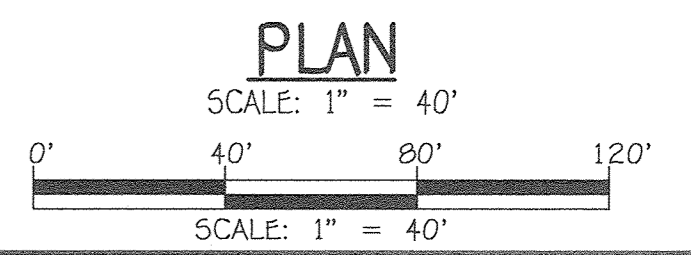
FOR CONTINUATION SEE SHEET 110

FOR CONTINUATION SEE SHEET 111

FOR CONTINUATION SEE SHEET 111

FOR CONTINUATION SEE SHEET 111

LEGEND	
SYMBOL	DESCRIPTION
--- 2' ---	EXISTING CONTOUR 2' INTERVAL
--- 10' ---	EXISTING CONTOUR 10' INTERVAL
- - - 2' - - -	PROPOSED CONTOUR 2' INTERVAL
- - - 10' - - -	PROPOSED CONTOUR 10' INTERVAL
▬▬▬	PROPOSED CONCRETE WALK
▬▬▬	PROPOSED MACADAM PAVING



PLAN

SCALE: 1" = 40'

FISHER, COLLINS & CARTER, INC.
 CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
 CENTRAL SQUARE OFFICE PARK - 1072 BALTIMORE NATIONAL PIKE
 ELICOTT CITY, MARYLAND 21046
 (410) 461-2995

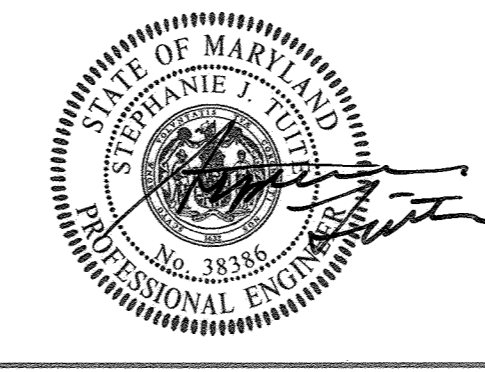
"PROFESSIONAL CERTIFICATION. I HEREBY CERTIFY THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 38386, EXPIRATION DATE: JANUARY 12, 2022."

Stephanie S. Tuite
 STEPHANIE S. TUITE, R.L.A., P.E., LEED AP BC&D
 8/17/20
 DATE

DATE	DESCRIPTION
10/15/20	Djt
10/15/20	Date
8/26/20	Date

APPROVED: DEPARTMENT OF PLANNING AND ZONING
 Director - Department of Planning and Zoning
 Chief, Division of Land Development
 Chief, Development Engineering Division

PREPARED FOR
 HOWARD COUNTY PUBLIC SCHOOL SYSTEM
 9020 MENDENHALL COURT
 SUITE 'C'
 COLUMBIA, MARYLAND 21045
 Attention: DANIEL LUBELEY
 410-313-8203



ADDRESS CHART	
PARCEL NO.	STREET ADDRESS
-	8500 RIDGELYS RUN ROAD JESSUP, MARYLAND 20794

PROJECT	SECTION/AREA	PARCEL
HIGH SCHOOL #13	N/A	102, 349, 235

PLAT NO.	BLOCK NO.	ZONE	TAX MAP	ELEC. DIST.	CENSUS TR.
255A9	18 & 24	R-12	42 & 43	SIXTH	606901
255B2	13 & 19	RSC MXD-3 (RSC-B MXD-3)	42 & 43	SIXTH	606901

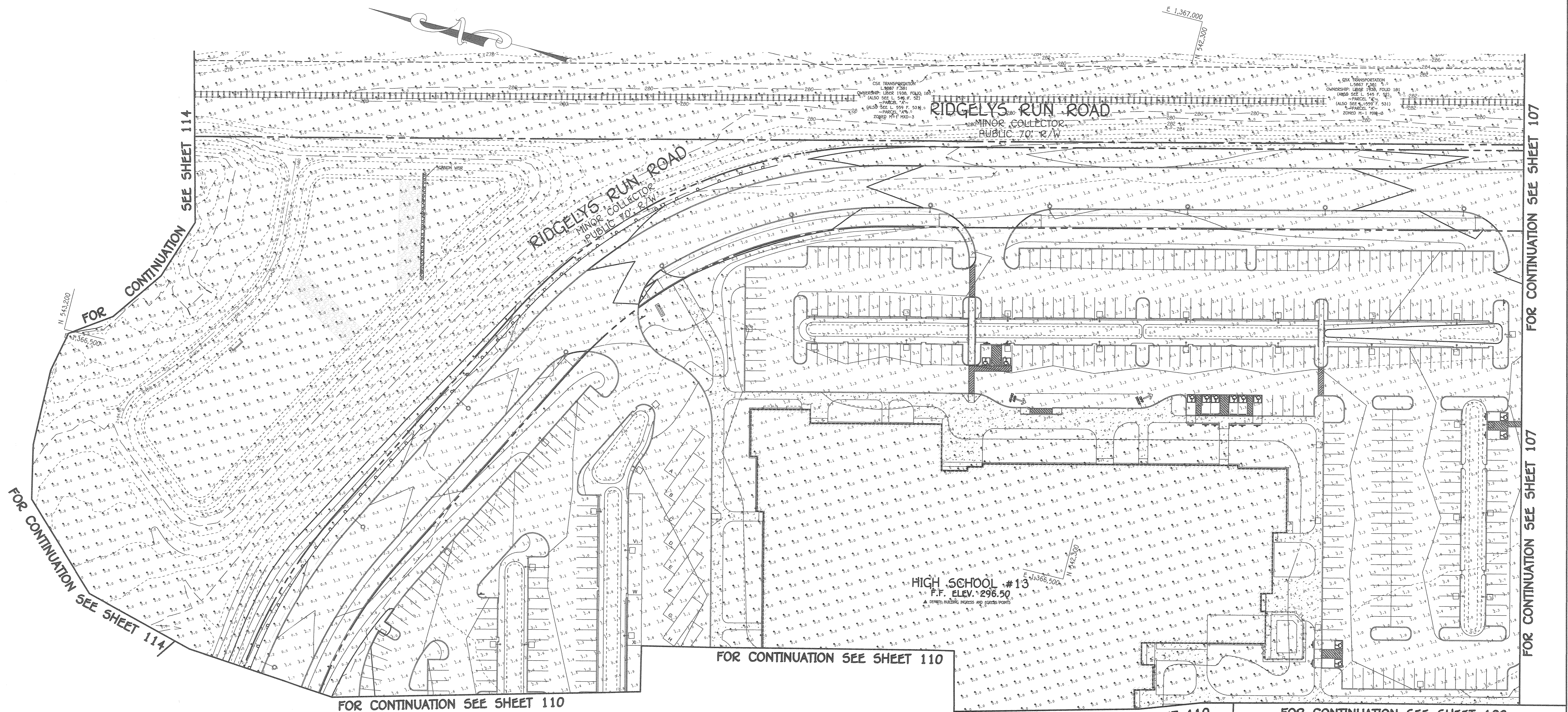
PHOTOMETRICS PLAN

**HIGH SCHOOL #13
 PARCELS 'A' THRU 'D'**

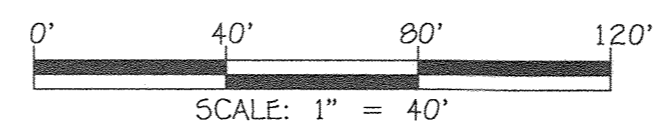
ZONED: R-SC MXD-3, R-SA-8 MXD-3 AND R-12
 PARCEL Nos.: 102, 349, 235
 TAX MAP No.: 42 & 43 GRID No.: 24 & 19
 SIXTH ELECTION DISTRICT HOWARD COUNTY, MARYLAND
 SCALE: AS SHOWN - DATE: AUGUST, 2020
 SHEET 108 OF 131

I:\2010\10027\Engineering\Drawings\SDP\10027 SDP 107-114 PHOTOMETRICS.dwg, SHEET-108, Photometrics, 8/17/2020 7:59:22 AM, 1:1

LEGEND	
SYMBOL	DESCRIPTION
--- 282 ---	EXISTING CONTOUR 2' INTERVAL
- - - 280 - - -	EXISTING CONTOUR 10' INTERVAL
--- 282 ---	PROPOSED CONTOUR 2' INTERVAL
- - - 280 - - -	PROPOSED CONTOUR 10' INTERVAL
▨	PROPOSED CONCRETE WALK
▨	PROPOSED MACADAM PAVING



PLAN
SCALE: 1" = 40'



FISHER, COLLINS & CARTER, INC.
CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
CENTENNIAL SQUARE OFFICE PARK - 10272 BALTIMORE NATIONAL PIKE
CLIDIST CITY, MARYLAND 21042
(410) 461-1000

"PROFESSIONAL CERTIFICATION. I HEREBY CERTIFY THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 38386, EXPIRATION DATE: JANUARY 12, 2022."

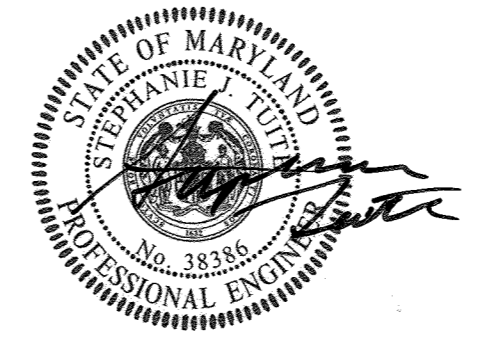
Stephan Tuite
STEPHAN T. TUIE, R.L.A., P.E., LEED AP BC&O

8/17/20
DATE

DATE	DESCRIPTION	REVISION BLOCK
10/15/20	DATE	
10/15/20	DATE	
8-26-20	DATE	

APPROVED: DEPARTMENT OF PLANNING AND ZONING
Director - Department of Planning and Zoning
Chief, Division of Land Development
Chief, Development Engineering Division

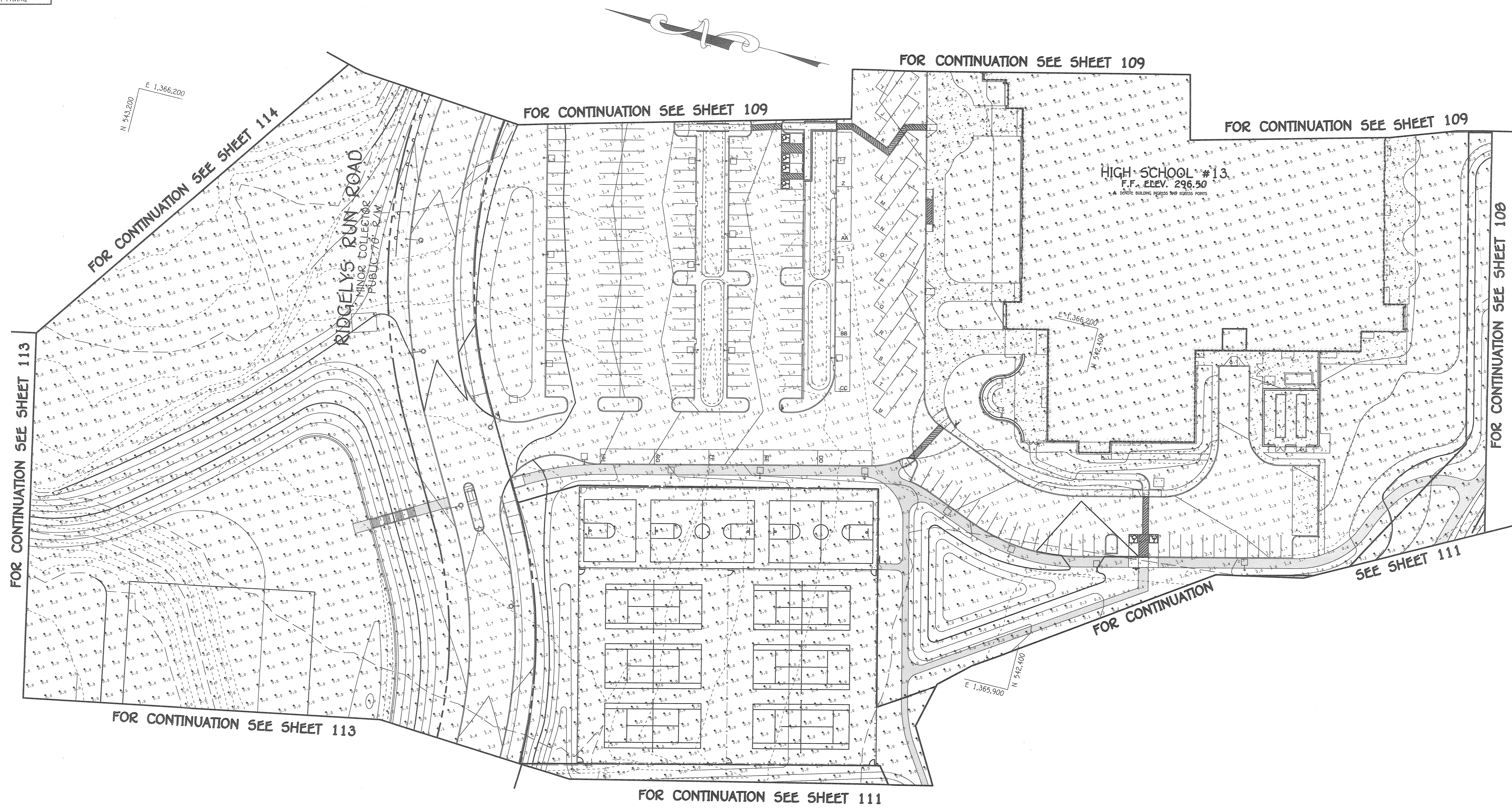
PREPARED FOR
HOWARD COUNTY PUBLIC SCHOOL SYSTEM
9020 MENDENHALL COURT
SUITE 'C'
COLUMBIA, MARYLAND 21045
Attention: DANIEL LUBELEY
410-313-8203



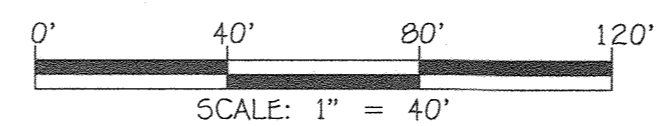
ADDRESS CHART			
PARCEL NO.	STREET ADDRESS		
-	8500 RIDGELY'S RUN ROAD JESSUP, MARYLAND 20794		
PROJECT		SECTION/AREA	PARCEL
HIGH SCHOOL #13		N/A	102, 349, 235
PLAT NOS.	BLOCK NO.	ZONE	TAX MAP
20528- 26632	18 & 24 13 & 19	R-12 RSC MXD-3 RSCA-R MXD-3	42 & 43
WATER CODE		ELEC. DIST.	CENSUS TR.
---		42 & 43	SIXTH
SEWER CODE		---	

PHOTOMETRIC PLAN	
HIGH SCHOOL #13 PARCELS 'A' THRU 'D'	
ZONED: R-SC MXD-3, R-5A-B MXD-3 AND R-12	PARCEL NOS.: 102, 349, 235
SIXTH ELECTION DISTRICT	TAX MAP No.: 42 & 43 GRID No.: 24 & 19
SCALE: AS SHOWN	DATE: AUGUST, 2020
SHEET 109 OF 131	

LEGEND	
SYMBOL	DESCRIPTION
---282---	EXISTING CONTOUR 2' INTERVAL
---280---	EXISTING CONTOUR 10' INTERVAL
---282---	PROPOSED CONTOUR 2' INTERVAL
---280---	PROPOSED CONTOUR 10' INTERVAL
---	PROPOSED CONCRETE WALK
---	PROPOSED MACADAM PAVING



PLAN
SCALE: 1" = 40'



FISHER, COLLINS & CARTER, INC.
CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
CENTENNIAL SQUARE OFFICE: PARC - 10272 WALTHAM NATIONAL PLACE
ELICOTT CITY, MARYLAND 21042
(410) 461-2000

"PROFESSIONAL CERTIFICATION. I HEREBY CERTIFY THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 38386, EXPIRATION DATE: JANUARY 12, 2022."

Stephanie J. Ruite
STEPHANIE RUIE, RLA, P.E., LEED AP BC&O

8/11/20
DATE

DATE	DESCRIPTION
	REVISION BLOCK
APPROVED: DEPARTMENT OF PLANNING AND ZONING	
<i>[Signature]</i>	10/5/20 Date
Director - Department of Planning and Zoning	
<i>[Signature]</i>	10/15/20 Date
Chief, Development Engineering Division	

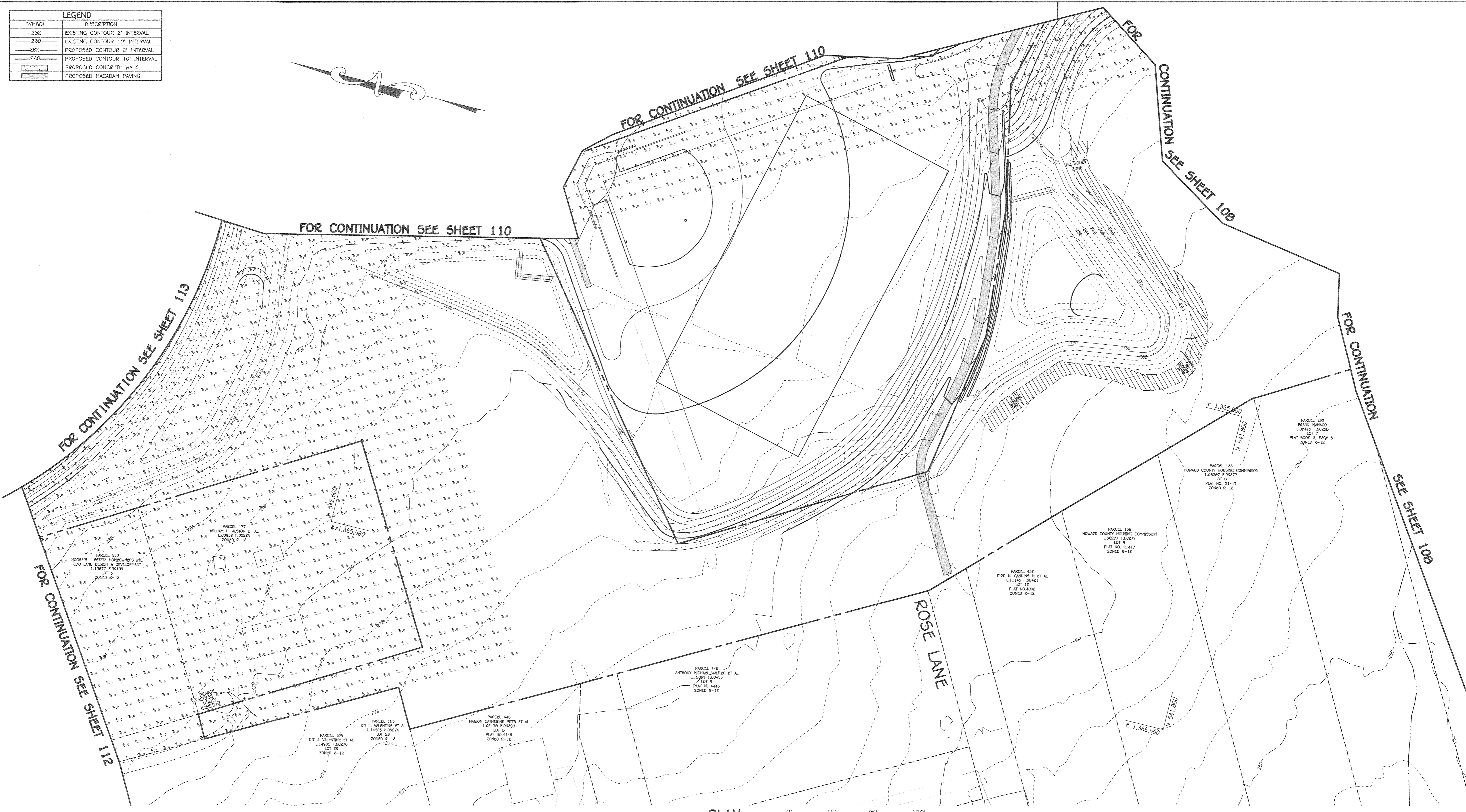
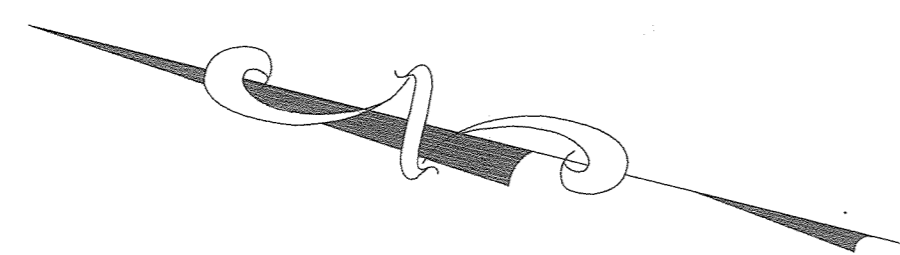
PREPARED FOR
HOWARD COUNTY PUBLIC SCHOOL SYSTEM
9020 MENDENHALL COURT
SUITE 'C'
COLUMBIA, MARYLAND 21045
Attention: DANIEL LUBELEY
410-313-8203



ADDRESS CHART	
PARCEL NO.	STREET ADDRESS
-	8500 RIDGELY'S RUN ROAD JESSUP, MARYLAND 20794
PROJECT	
HIGH SCHOOL #13	SECTION/AREA N/A
PLAT NOS. A5528 25532	BLOCK NO. 18 & 24 13 & 19
ZONE R-12 RSC MXD-3 RSA-8 MXD-3	TAX MAP 42 & 43
	ELEC. DIST. SIXTH
	CENSUS TR. 606901
WATER CODE	SEWER CODE

PHOTOMETRICS PLAN	
HIGH SCHOOL #13 PARCELS 'A' THRU 'D'	
ZONED: R-SC MXD-3, R-5A-8 MXD-3 AND R-12	
PARCEL Nos.: 102, 349, 235	
TAX MAP No.: 42 & 43 GRID No.: 24 & 19	
SIXTH ELECTION DISTRICT - HOWARD COUNTY, MARYLAND	
SCALE: AS SHOWN	DATE: AUGUST, 2020
SHEET 110 OF 131	

LEGEND	
SYMBOL	DESCRIPTION
--- 2' ---	EXISTING CONTOUR 2' INTERVAL
--- 10' ---	EXISTING CONTOUR 10' INTERVAL
- - - 2' - - -	PROPOSED CONTOUR 2' INTERVAL
- - - 10' - - -	PROPOSED CONTOUR 10' INTERVAL
▬▬▬	PROPOSED CONCRETE WALK
▬▬▬	PROPOSED MACADAM PAVING



PLAN
SCALE: 1" = 40'

FISHER, COLLINS & CARTER, INC.
CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
CENTRAL SQUARE OFFICE, PARK - 10272 BALTIMORE NATIONAL PIKE
ELLSWORTH CITY, MARYLAND 21142
(410) 461-2299

"PROFESSIONAL CERTIFICATION. I HEREBY CERTIFY THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 30386, EXPIRATION DATE: JANUARY 12, 2022."
Stephanie J. Tuttle
STEPHANIE J. TUTTLE, R.L.A. P.E., LEED AP BC&O
9/17/20
DATE

DATE	DESCRIPTION	REVISION BLOCK

APPROVED: DEPARTMENT OF PLANNING AND ZONING
Director - Department of Planning and Zoning
Chief, Division of Land Development
Chief, Development Engineering Division

10/5/20
Date
10/5/20
Date
8-23-20
Date

PREPARED FOR
HOWARD COUNTY PUBLIC SCHOOL SYSTEM
9020 MENDENHALL COURT
SUITE 'C'
COLUMBIA, MARYLAND 21045
Attention: DANIEL LUBELEY
410-313-8203



ADDRESS CHART	
PARCEL NO.	STREET ADDRESS
	8500 RIDGELYS RUN ROAD JESSUP, MARYLAND 20794

PROJECT	SECTION/AREA	PARCEL
HIGH SCHOOL #13	N/A	102, 349, 235

PLAT NO.	BLOCK NO.	ZONE	TAX MAP	ELEC. DIST.	CENSUS TR.
05528	18 & 24	R-12	42 & 43	SIXTH	606901
05632	13 & 19	RSA-B MXD-3			

WATER CODE: --- SEWER CODE: ---

PHOTOMETRICS PLAN

**HIGH SCHOOL #13
PARCELS 'A' THRU 'D'**

ZONED: R-SC MXD-3, R-5A-B MXD-3 AND R-12
PARCEL Nos.: 102, 349, 235
TAX MAP No.: 42 & 43 GRID No.: 24 & 19
SIXTH ELECTION DISTRICT HOWARD COUNTY, MARYLAND
SCALE: AS SHOWN DATE: AUGUST, 2020
SHEET 111 OF 131

LEGEND	
SYMBOL	DESCRIPTION
---202---	EXISTING CONTOUR 2' INTERVAL
-200-	EXISTING CONTOUR 10' INTERVAL
-202-	PROPOSED CONTOUR 2' INTERVAL
-200-	PROPOSED CONTOUR 10' INTERVAL
---	PROPOSED CONCRETE WALK
---	PROPOSED MACADAM PAVING

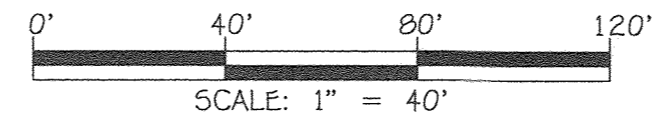


FOR CONTINUATION SEE SHEET 113

FOR CONTINUATION SEE SHEET 113

FOR CONTINUATION SEE SHEET 111

PLAN
SCALE: 1" = 40'



FISHER, COLLINS & CARTER, INC.
CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
CENTENNIAL SQUARE OFFICE PARK - 10272 BALTIMORE NATIONAL PIKE
ELLSWORTH CITY, MARYLAND 21042
(410) 461-2995

"PROFESSIONAL CERTIFICATION, I HEREBY CERTIFY THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 38386, EXPIRATION DATE: JANUARY 12, 2022."

Stephanie J. Tuite
STEPHANIE J. TUITE, RIA, P.E., LEED AP BC&D
8/13/20
DATE

DATE	DESCRIPTION
	REVISION BLOCK
APPROVED: DEPARTMENT OF PLANNING AND ZONING	
<i>[Signature]</i>	10/15/20 Date
Director - Department of Planning and Zoning	
<i>[Signature]</i>	08/12/20 Date
Chief, Division of Land Development	
<i>[Signature]</i>	8-26-20 Date
Chief, Development Engineering Division	

PREPARED FOR
HOWARD COUNTY PUBLIC SCHOOL SYSTEM
9020 MENDENHALL COURT
SUITE 'C'
COLUMBIA, MARYLAND 21045
Attention: DANIEL LUBELEY
410-313-8203



ADDRESS CHART					
PARCEL NO.	STREET ADDRESS				
-	8500 RIDGELYS RUN ROAD JESSUP, MARYLAND 20794				
PROJECT					
HIGH SCHOOL #13					
PLAT NO.	BLOCK NO.	ZONE	TAX MAP	ELEC. DIST.	CENSUS TR.
105/28 265/27	18 & 24 13 & 19	R-12 RSC MXD-3 RSA-B MXD-3	42 & 43	SIXTH	606901
WATER CODE		SEWER CODE			
---		---			

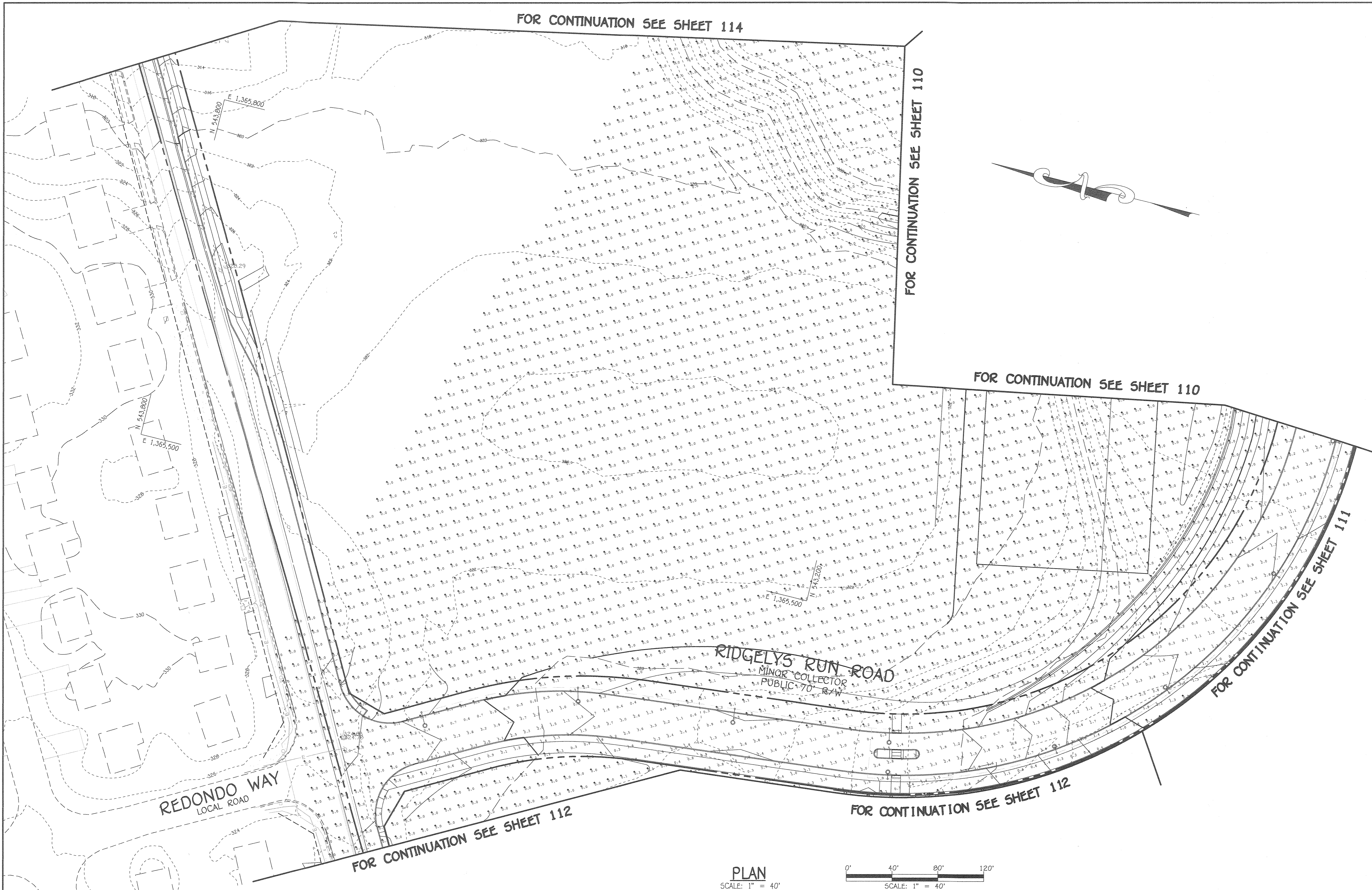
PHOTOMETRICS PLAN

**HIGH SCHOOL #13
PARCELS 'A' THRU 'D'**

ZONED: R-SC MXD-3, R-5A-B MXD-3 AND R-12
PARCEL Nos.: 102, 349, 235
TAX MAP No.: 42 & 43 GRID No.: 24 & 19
SIXTH ELECTION DISTRICT HOWARD COUNTY, MARYLAND
SCALE: AS SHOWN DATE: AUGUST, 2020
SHEET 112 OF 131

I:\2010\10027\Engineering\Drawings\SDP\10027 SDP 107-114 PHOTOMETRICS.dwg, SHEET-112, Photometrics, 8/17/2020 7:48:33 AM, 1:1

LEGEND	
SYMBOL	DESCRIPTION
---282---	EXISTING CONTOUR 2' INTERVAL
---280---	EXISTING CONTOUR 10' INTERVAL
---282---	PROPOSED CONTOUR 2' INTERVAL
---280---	PROPOSED CONTOUR 10' INTERVAL
---	PROPOSED CONCRETE WALK
---	PROPOSED MACADAM PAVING



PLAN
SCALE: 1" = 40'

0' 40' 80' 120'
SCALE: 1" = 40'

FISHER, COLLINS & CARTER, INC.
CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS

CENTENNIAL SQUARE OFFICE PARK - 10272 BALDORNE NATIONAL PIKE
ELICOTT CITY, MARYLAND 21042
(410) 461-1222

"PROFESSIONAL CERTIFICATION. I HEREBY CERTIFY THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 38386, EXPIRATION DATE: JANUARY 12, 2022."

Stephanie J. Tuite
STEPHANIE J. TUITE, RLA, P.E., LEED AP BC&D

8/17/20
DATE

DATE	DESCRIPTION	REVISION BLOCK

APPROVED: DEPARTMENT OF PLANNING AND ZONING

Dir. Can...
Director - Department of Planning and Zoning

11/5/20
Date

8/26/20
Date

Chief, Development Engineering Division

PREPARED FOR
HOWARD COUNTY PUBLIC SCHOOL SYSTEM
9020 MENDENHALL COURT
SUITE 'C'
COLUMBIA, MARYLAND 21045
Attention: DANIEL LUBELEY
410-313-8203

ADDRESS CHART	
PARCEL NO.	STREET ADDRESS
	8500 RIDGELY'S RUN ROAD JESSUP, MARYLAND 20794

PROJECT	SECTION/AREA	PARCEL
HIGH SCHOOL #13	N/A	102, 349, 235

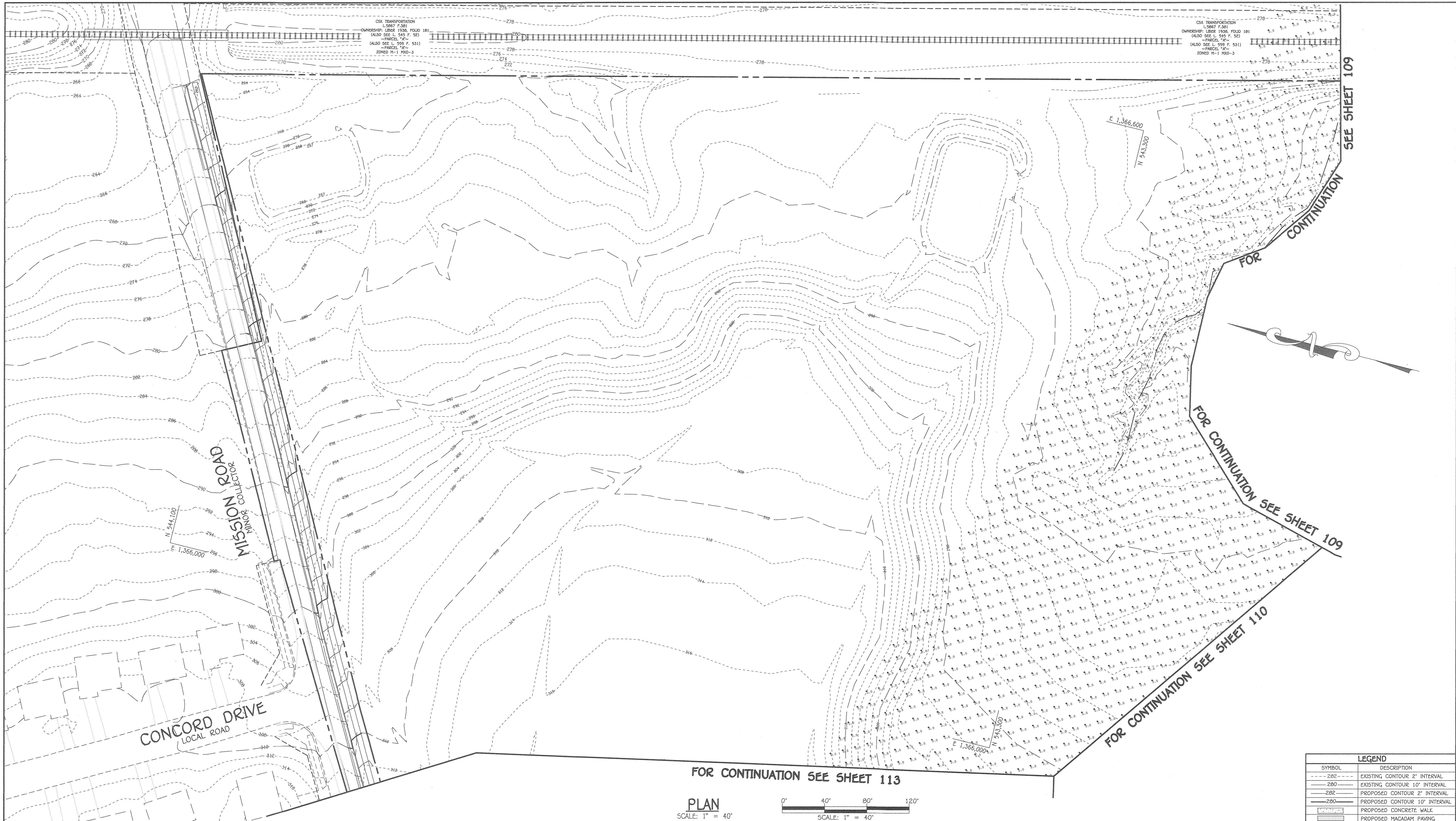
PLAT NO.	BLOCK NO.	ZONE	TAX MAP	ELEC. DIST.	CENSUS TR.
85528	18 & 24	R-12	42 & 43	SIXTH	606901
28932	13 & 19	RSC MXD-3 RSA-8 MXD-3			

WATER CODE: --- SEWER CODE: ---

PHOTOMETRICS PLAN

HIGH SCHOOL #13
PARCELS 'A' THRU 'D'

ZONED: R-SC MXD-3, R-5A-8 MXD-3 AND R-12
PARCEL Nos.: 102, 349, 235
TAX MAP No.: 42 & 43 GRID No.: 24 & 19
SIXTH ELECTION DISTRICT - HOWARD COUNTY, MARYLAND
SCALE: AS SHOWN DATE: AUGUST, 2020
SHEET 113 OF 121



CSX TRANSPORTATION
 L 5887 F. 351
 OWNERSHIP: L 5887 F. 351
 (ALSO SEE L 545 F. 52)
 PARCEL 'A'
 (ALSO SEE L 559 F. 531)
 PARCEL 'B'
 ZONED M-1 MXD-3

CSX TRANSPORTATION
 L 5887 F. 351
 OWNERSHIP: L 5887 F. 351
 (ALSO SEE L 545 F. 52)
 PARCEL 'A'
 (ALSO SEE L 559 F. 531)
 PARCEL 'B'
 ZONED M-1 MXD-3

CONCORD DRIVE
 LOCAL ROAD

FOR CONTINUATION SEE SHEET 113

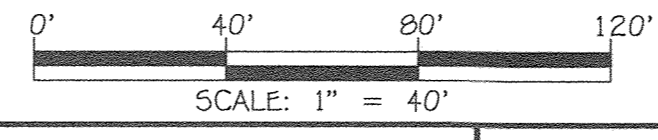
FOR CONTINUATION SEE SHEET 110

FOR

CONTINUATION

SEE SHEET 109

PLAN
 SCALE: 1" = 40'



LEGEND	
SYMBOL	DESCRIPTION
--- 2' ---	EXISTING CONTOUR 2' INTERVAL
--- 10' ---	EXISTING CONTOUR 10' INTERVAL
- - - 2' - - -	PROPOSED CONTOUR 2' INTERVAL
- - - 10' - - -	PROPOSED CONTOUR 10' INTERVAL
▬▬▬	PROPOSED CONCRETE WALK
▬▬▬	PROPOSED MACADAM PAVING

FISHER, COLLINS & CARTER, INC.
 CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
 CENTENNIAL SQUARE OFFICE PARK - 10272 BALTIMORE NATIONAL PIKE
 ELICOTT CITY, MARYLAND 21042
 (410) 461-2000

"PROFESSIONAL CERTIFICATION. I HEREBY CERTIFY THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 38366, EXPIRATION DATE: JANUARY 12, 2022."

Stephanie J. Luite
 STEPHANIE J. LUIE, R.L.A., P.E., LEED AP BC&O
 DATE: 8/17/20

DATE	DESCRIPTION	REVISION BLOCK
10/5/20		
10/12/20		
03/20/20		

APPROVED: DEPARTMENT OF PLANNING AND ZONING
 Director - Department of Planning and Zoning
 Chief, Department of Land Development
 Chief, Development Engineering Division

PREPARED FOR
 HOWARD COUNTY PUBLIC SCHOOL SYSTEM
 9020 MENDENHALL COURT
 SUITE 'C'
 COLUMBIA, MARYLAND 21045
 Attention: DANIEL LUBELEY
 410-313-0203

ADDRESS CHART	
PARCEL NO.	STREET ADDRESS
-	8500 RIDGELYS RUN ROAD JESSUP, MARYLAND 20794

PROJECT	SECTION/AREA	PARCEL
HIGH SCHOOL #13	N/A	102, 349, 235

PLAT NO.	BLOCK NO.	ZONE	TAX MAP	ELEC. DIST.	CENSUS TR.
85528	18 & 24	R-12	42 & 43	SIXTH	606901
25532	13 & 19	RSC MXD-3 RSA-8 MXD-3			

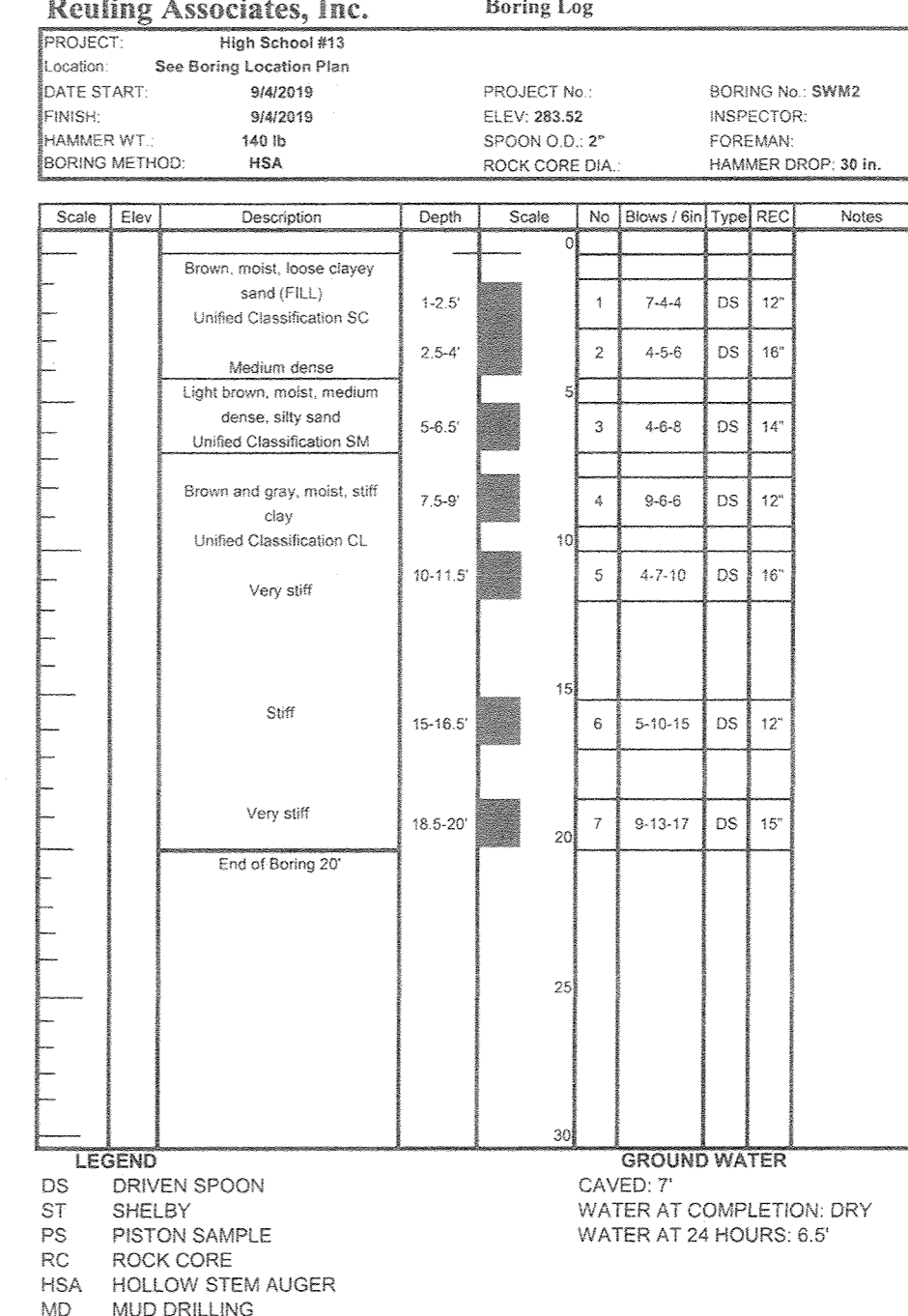
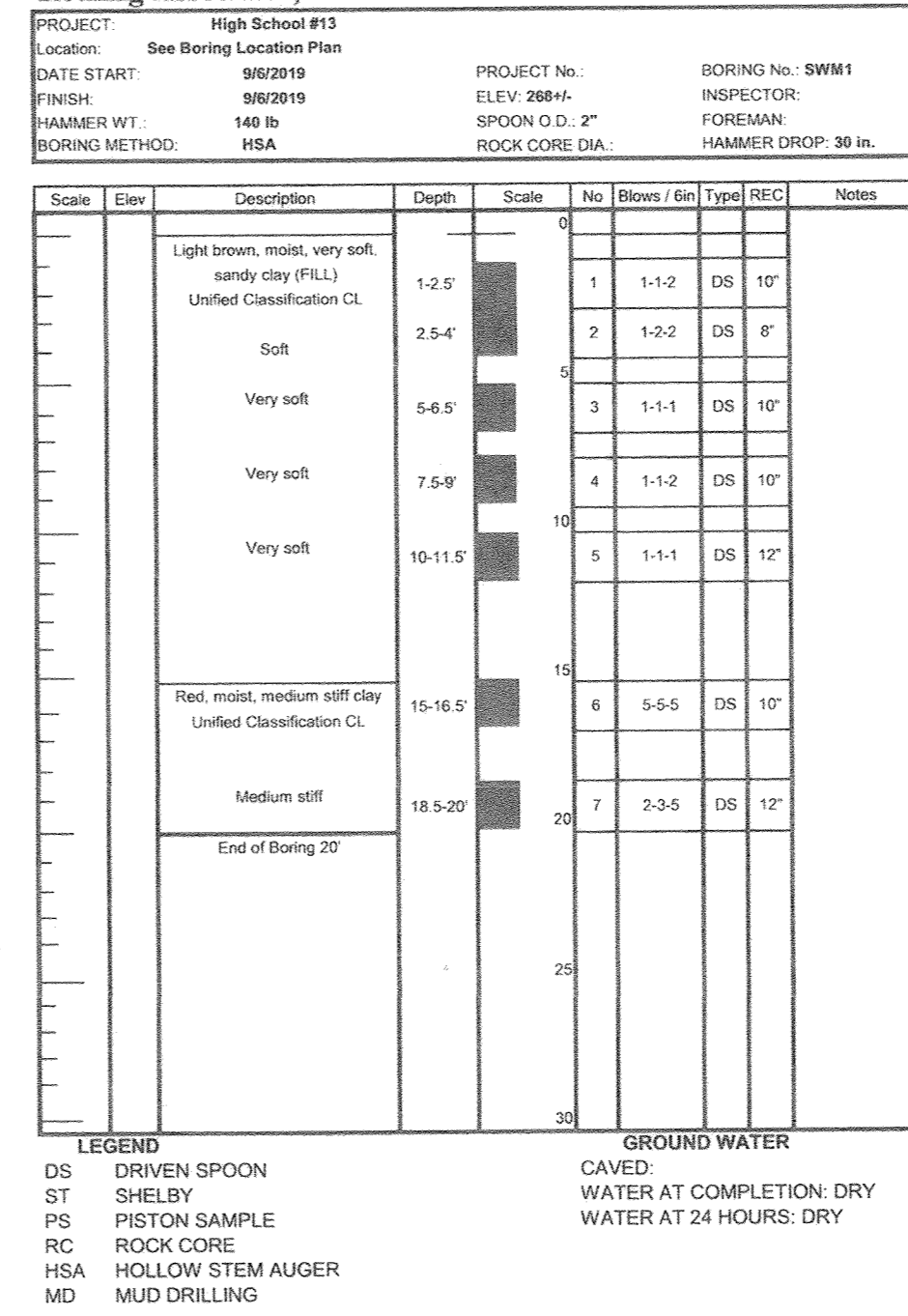
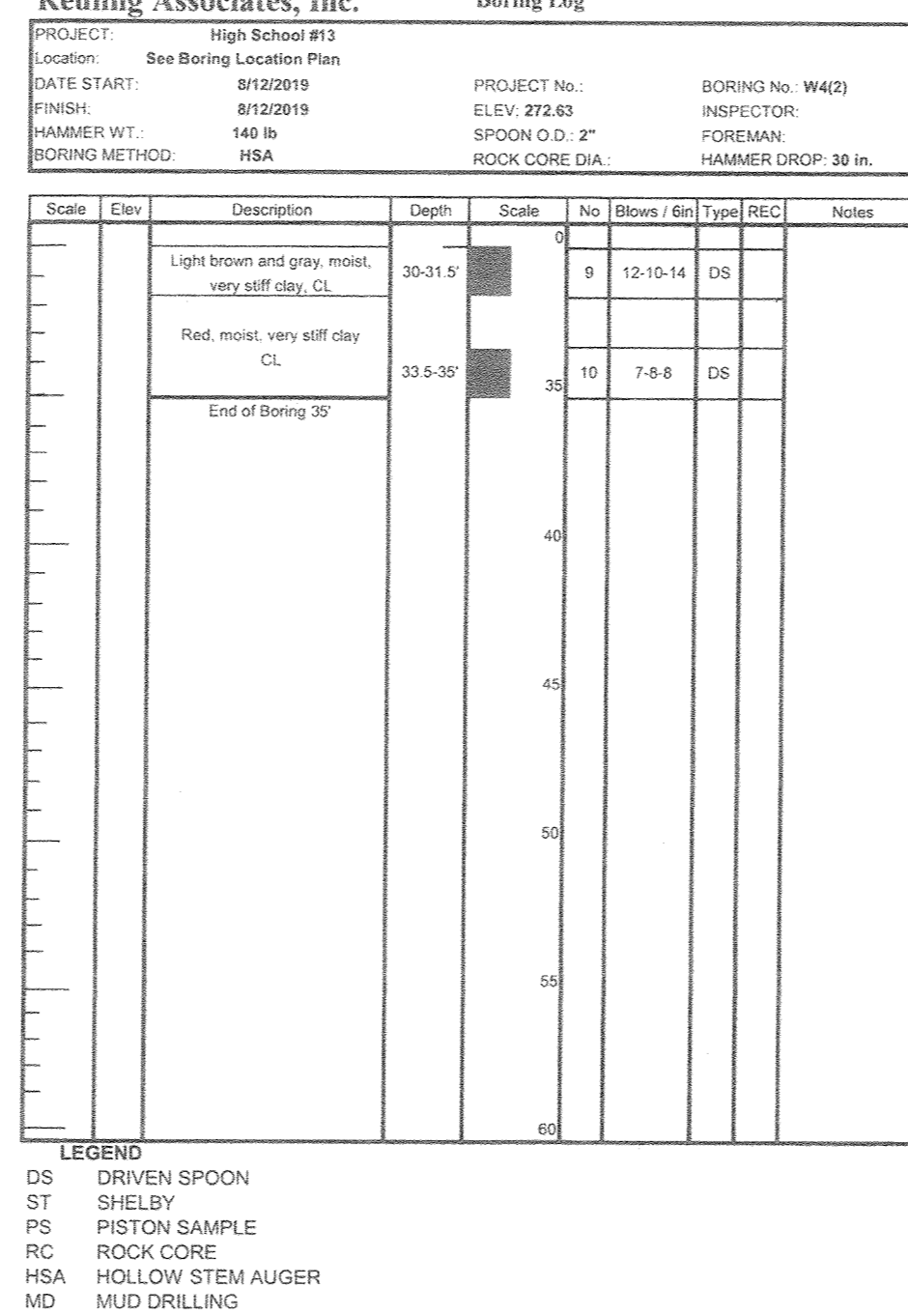
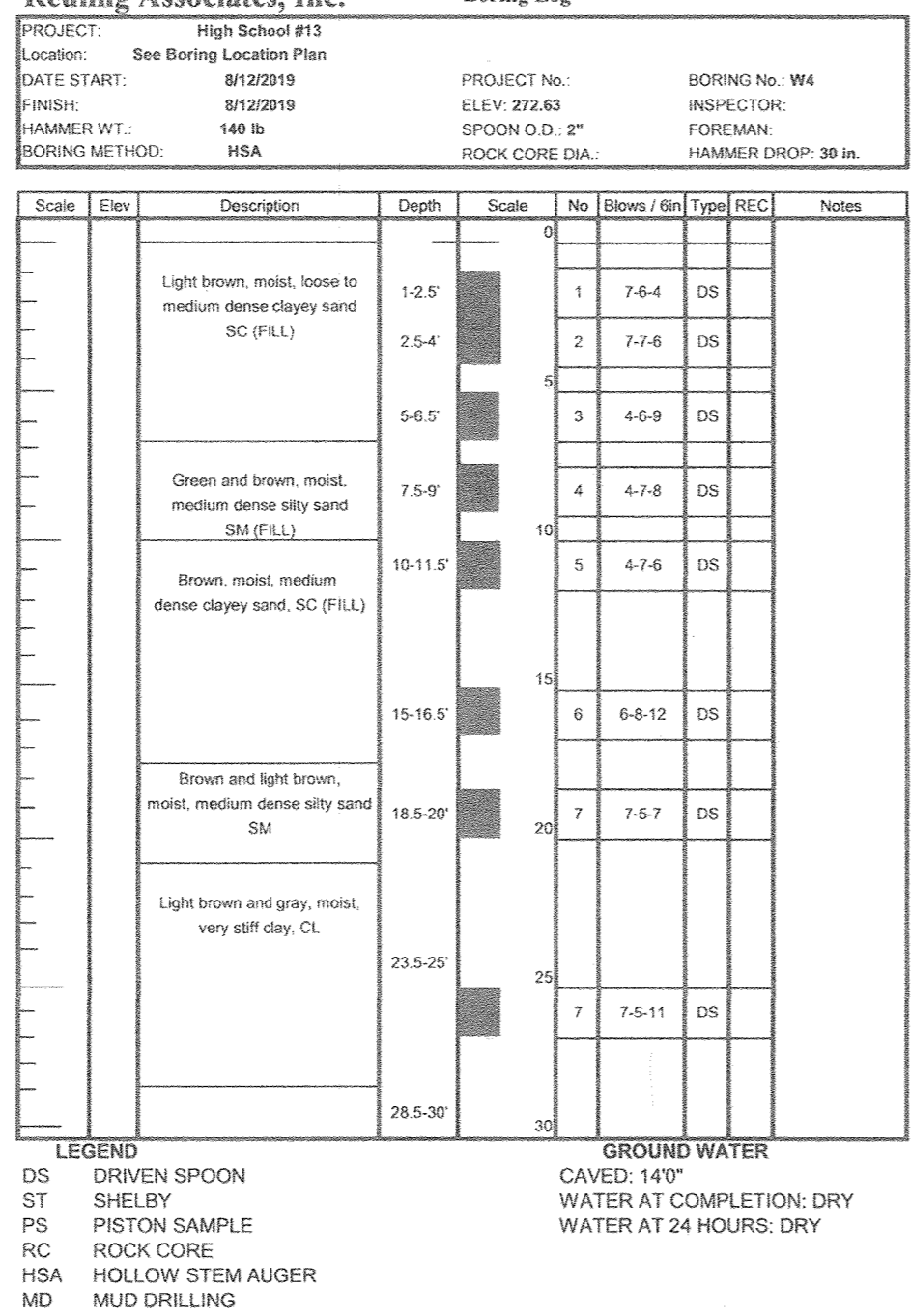
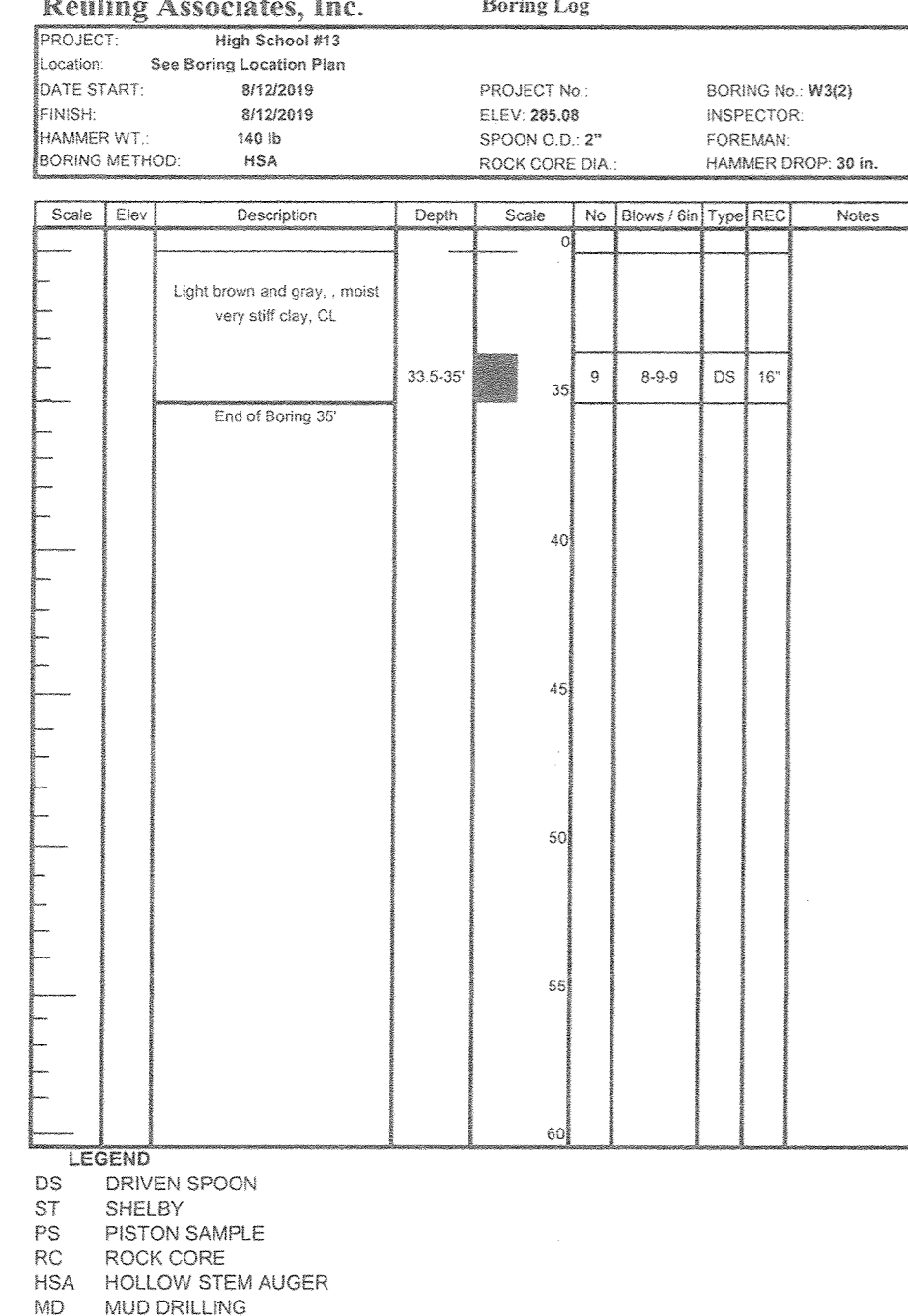
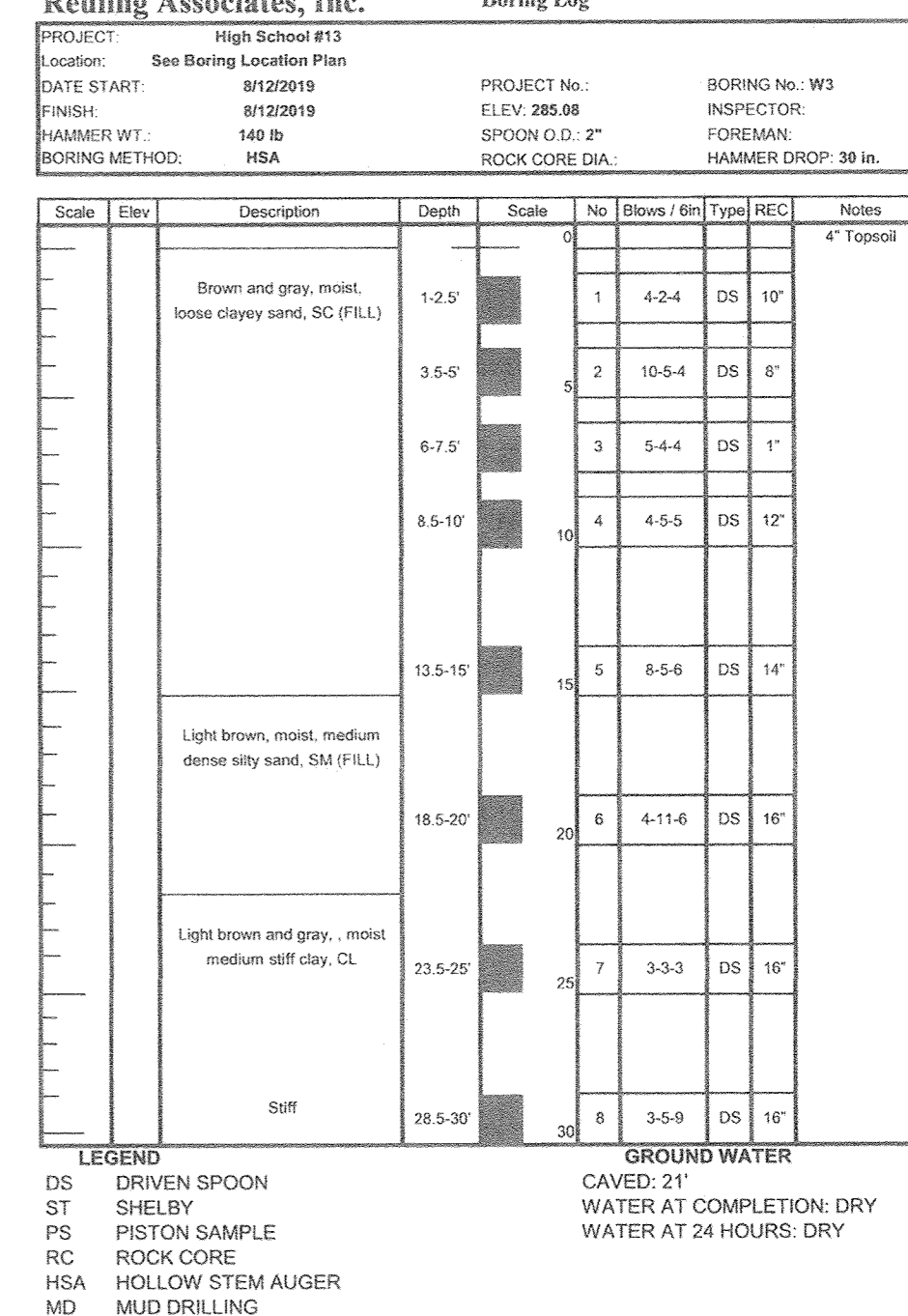
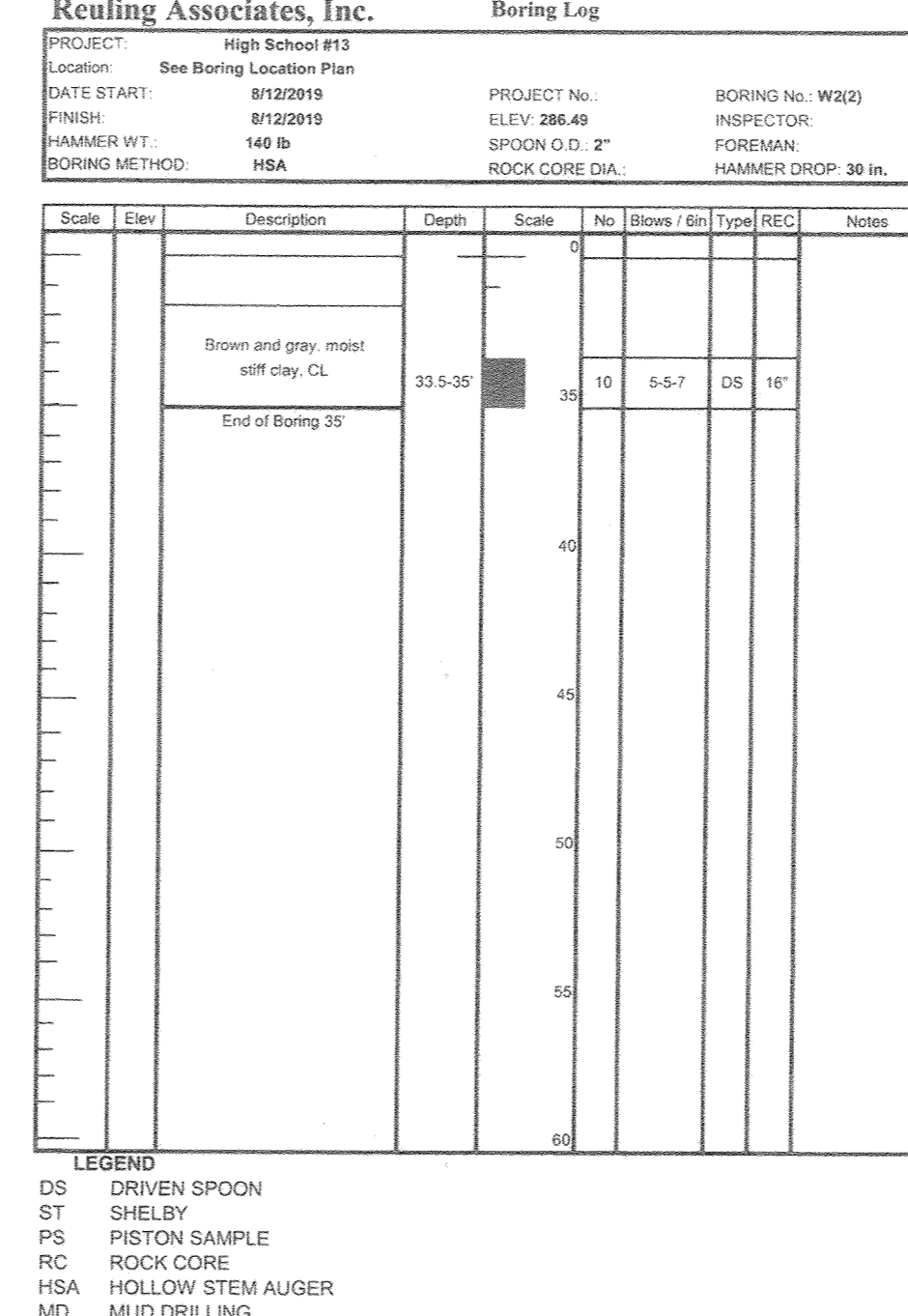
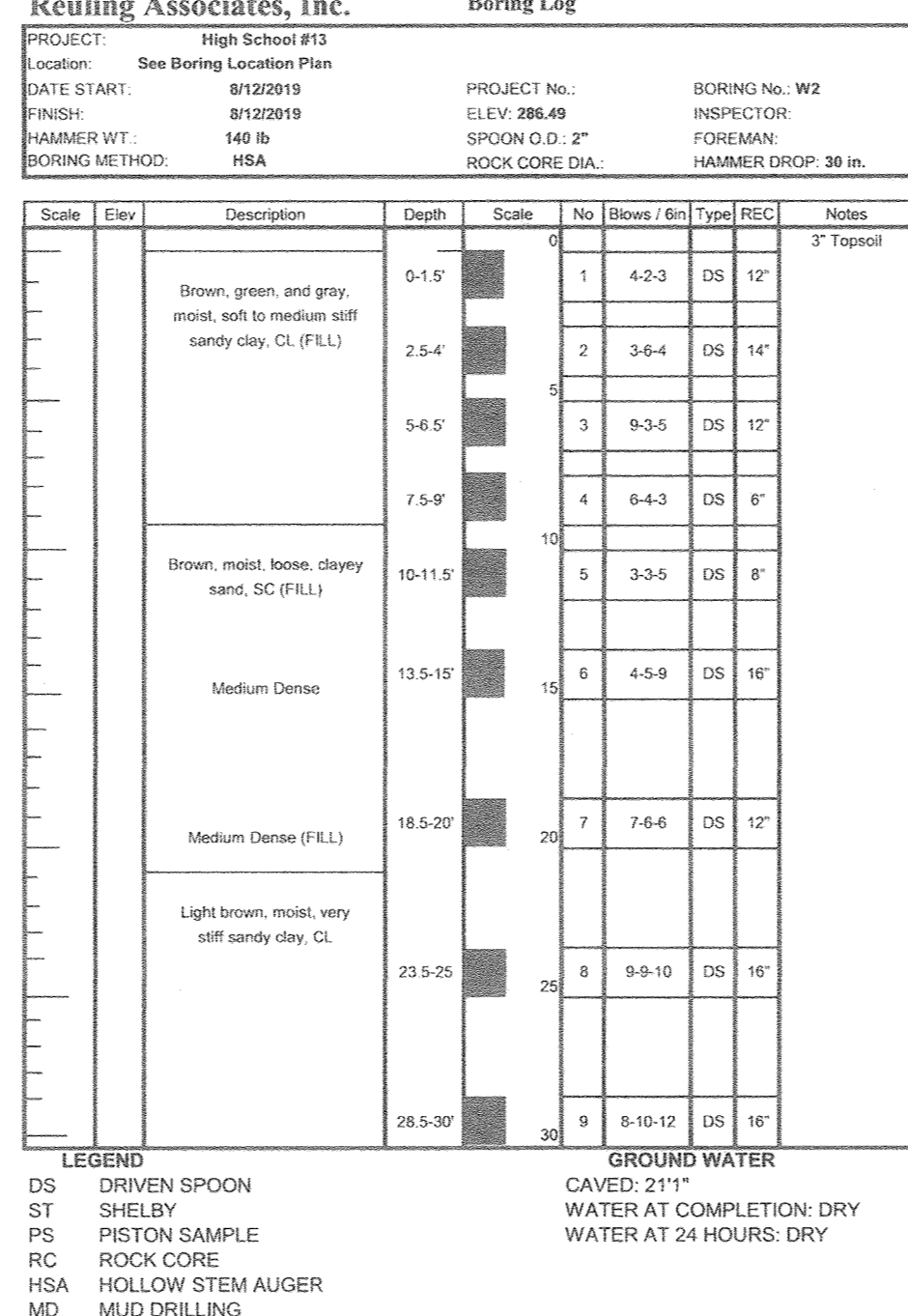
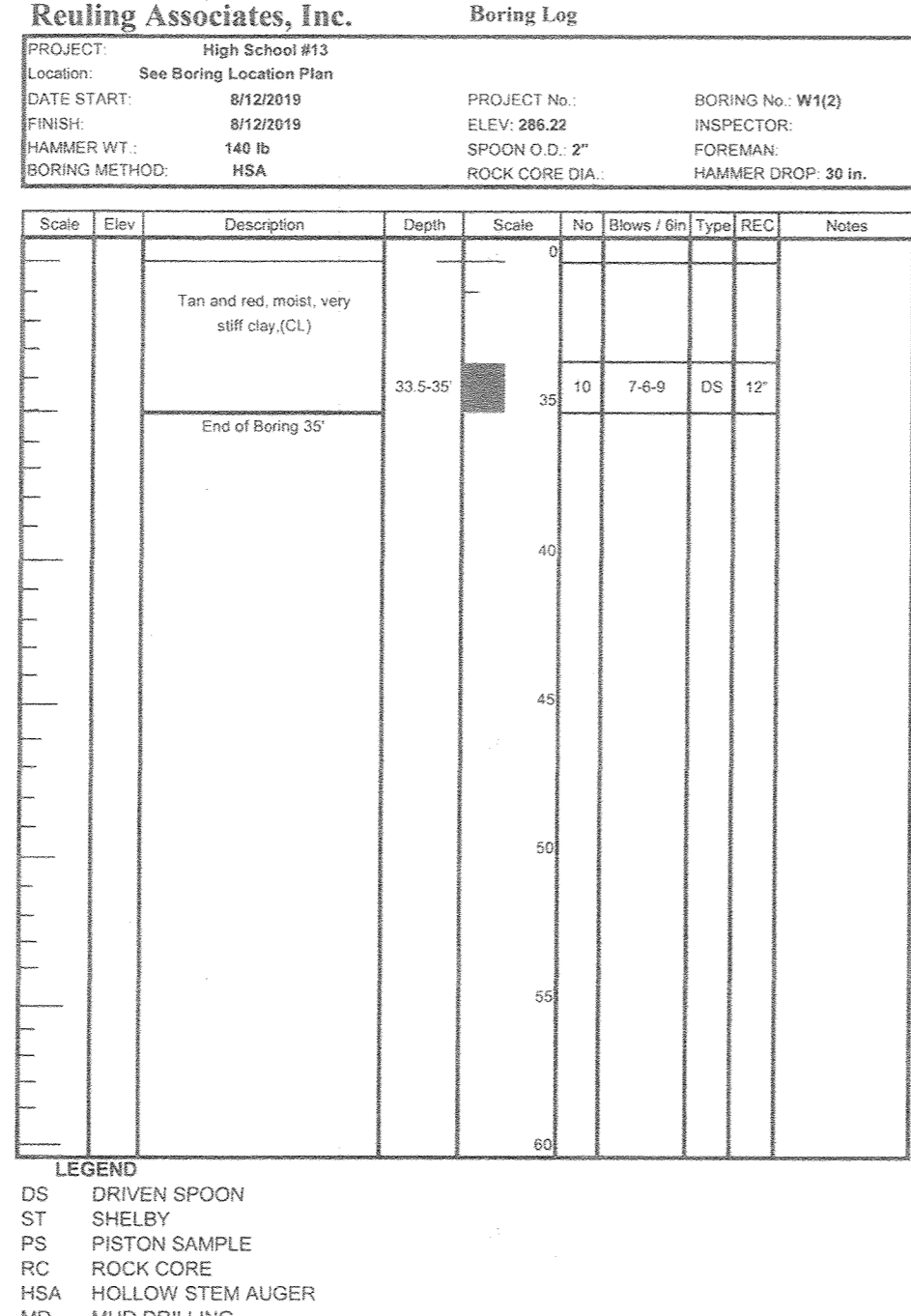
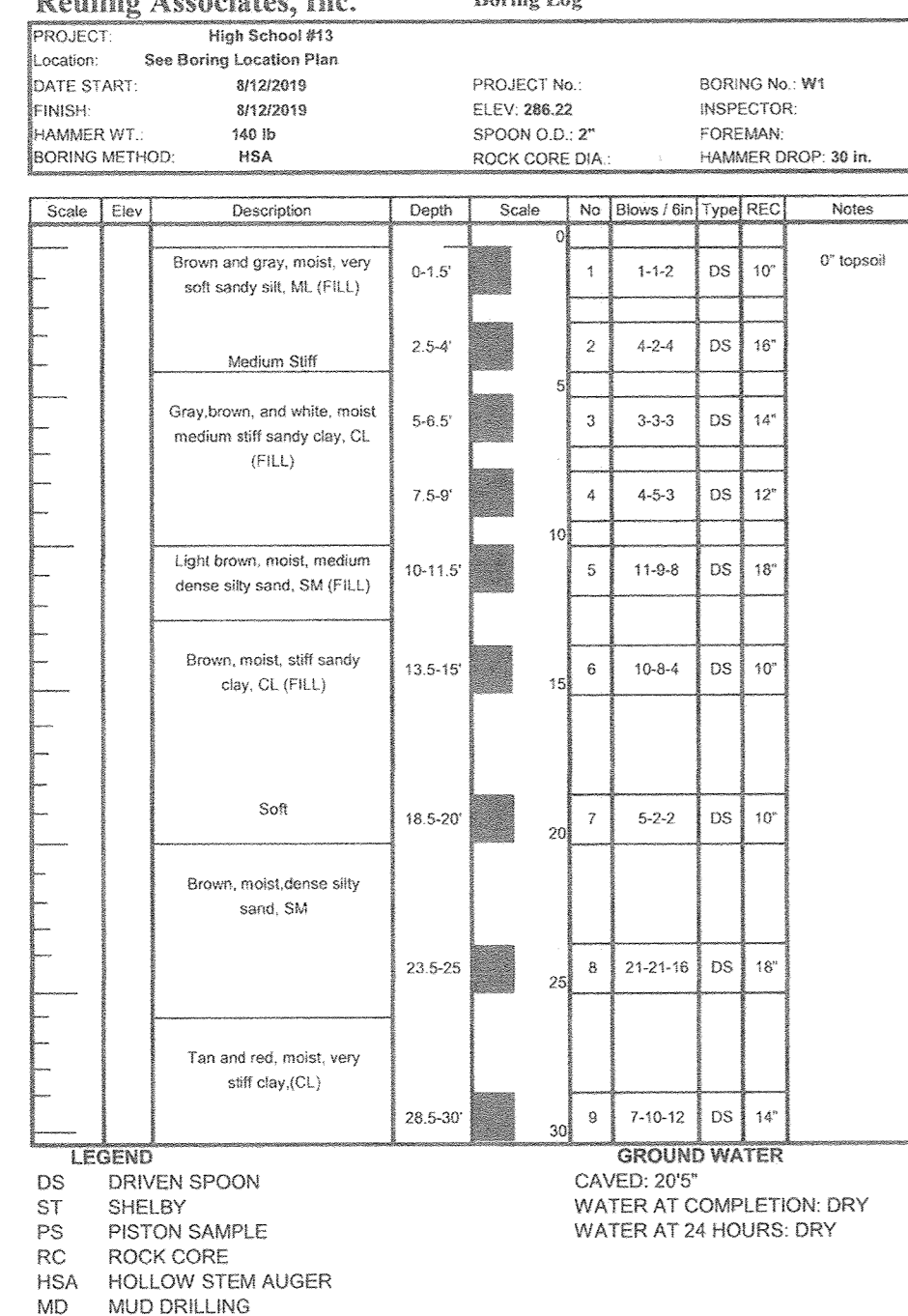
WATER CODE: --- SEWER CODE: ---

PHOTOMETRICS PLAN

**HIGH SCHOOL #13
 PARCELS 'A' THRU 'D'**

ZONED: R-SC MXD-3, R-5A-B MXD-3 AND R-12
 PARCEL Nos.: 102, 349, 235
 TAX MAP No.: 42 & 43 GRID No.: 24 & 19
 SIXTH ELECTION DISTRICT HOWARD COUNTY, MARYLAND
 SCALE: AS SHOWN DATE: AUGUST, 2020
 SHEET 114 OF 131

I:\2010\10027\Engineering\DWG\SDP\10027 SDP_107-114_Photometrics.dwg, SHEET-114_Photometrics, 8/17/2020 7:46:39 AM, 1:1



"PROFESSIONAL CERTIFICATION. I HEREBY CERTIFY THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 38386, EXPIRATION DATE: JANUARY 12, 2022."

Stephanie J. Tuite 8/17/20

STEPHANIE J. TUITE, RIA, P.E., LEED AP BC&D

APPROVED: DEPARTMENT OF PLANNING AND ZONING

Director: Department of Planning and Zoning

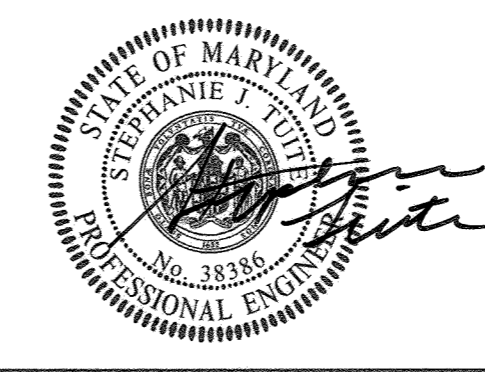
Chief, Division of Land Development

Chief, Development Engineering Division

10/15/20 Date

8/26/20 Date

PREPARED FOR HOWARD COUNTY PUBLIC SCHOOL SYSTEM
9020 MENDENHALL COURT
SUITE 'C'
COLUMBIA, MARYLAND 21045
Attention: DANIEL LUBELEY
410-313-8203



ADDRESS CHART

PARCEL NO.	STREET ADDRESS
-	8500 RIDGELYS RUN ROAD JESSUP, MARYLAND 20794

PROJECT: HIGH SCHOOL #13

BUS 102	BLOCK NO. 102, 349, 235	SECTION/AREA N/A	PARCEL 102, 349, 235
PLAT 2028	ZONE R-12	TAX MAP 42 & 43	ELEC. DIST. SIXTH
20232	RSC MXD-3	CENSUS TR. 606901	
WATER CODE	SEWER CODE		

BORING LOGS

HIGH SCHOOL #13

PARCELS 'A' THRU 'D'

ZONED: R-SC MXD-3, R-5A-B MXD-3 AND R-12
PARCEL Nos.: 102, 349, 235
TAX MAP No.: 42 & 43 GRID No.: 24 & 19
SIXTH ELECTION DISTRICT HOWARD COUNTY, MARYLAND
SCALE: AS SHOWN DATE: AUGUST, 2020
SHEET 115 OF 120

PROJECT: High School #13
Location: See Boring Location Plan
DATE START: 8/20/19
FINISH: 8/20/19
HAMMER WT.: 140 lb
BORING METHOD: HSA

Table with columns: Scale, Elev, Description, Depth, Scale, No, Blows / 6in, Type, REC, Notes. Contains soil log data for Boring 18'.

LEGEND
DS DRIVEN SPOON
ST SHELBY
PS PISTON SAMPLE
RC ROCK CORE
HSA HOLLOW STEM AUGER
MD MUD DRILLING

PROJECT: High School #13
Location: See Boring Location Plan
DATE START: 8/20/19
FINISH: 8/20/19
HAMMER WT.: 140 lb
BORING METHOD: HSA

Table with columns: Scale, Elev, Description, Depth, Scale, No, Blows / 6in, Type, REC, Notes. Contains soil log data for Boring 20'.

LEGEND
DS DRIVEN SPOON
ST SHELBY
PS PISTON SAMPLE
RC ROCK CORE
HSA HOLLOW STEM AUGER
MD MUD DRILLING

PROJECT: High School #13
Location: See Boring Location Plan
DATE START: 8/20/19
FINISH: 8/20/19
HAMMER WT.: 140 lb
BORING METHOD: HSA

Table with columns: Scale, Elev, Description, Depth, Scale, No, Blows / 6in, Type, REC, Notes. Contains soil log data for Boring 18'.

LEGEND
DS DRIVEN SPOON
ST SHELBY
PS PISTON SAMPLE
RC ROCK CORE
HSA HOLLOW STEM AUGER
MD MUD DRILLING

PROJECT: High School #13
Location: See Boring Location Plan
DATE START: 8/20/19
FINISH: 8/20/19
HAMMER WT.: 140 lb
BORING METHOD: HSA

Table with columns: Scale, Elev, Description, Depth, Scale, No, Blows / 6in, Type, REC, Notes. Contains soil log data for Boring 18'.

LEGEND
DS DRIVEN SPOON
ST SHELBY
PS PISTON SAMPLE
RC ROCK CORE
HSA HOLLOW STEM AUGER
MD MUD DRILLING

PROJECT: High School #13
Location: See Boring Location Plan
DATE START: 8/20/19
FINISH: 8/20/19
HAMMER WT.: 140 lb
BORING METHOD: HSA

Table with columns: Scale, Elev, Description, Depth, Scale, No, Blows / 6in, Type, REC, Notes. Contains soil log data for Boring 18'.

LEGEND
DS DRIVEN SPOON
ST SHELBY
PS PISTON SAMPLE
RC ROCK CORE
HSA HOLLOW STEM AUGER
MD MUD DRILLING

PROJECT: High School #13
Location: See Boring Location Plan
DATE START: 8/20/19
FINISH: 8/20/19
HAMMER WT.: 140 lb
BORING METHOD: HSA

Table with columns: Scale, Elev, Description, Depth, Scale, No, Blows / 6in, Type, REC, Notes. Contains soil log data for Boring 18'.

LEGEND
DS DRIVEN SPOON
ST SHELBY
PS PISTON SAMPLE
RC ROCK CORE
HSA HOLLOW STEM AUGER
MD MUD DRILLING

PROJECT: High School #13
Location: See Boring Location Plan
DATE START: 8/20/19
FINISH: 8/20/19
HAMMER WT.: 140 lb
BORING METHOD: HSA

Table with columns: Scale, Elev, Description, Depth, Scale, No, Blows / 6in, Type, REC, Notes. Contains soil log data for Boring 18'.

LEGEND
DS DRIVEN SPOON
ST SHELBY
PS PISTON SAMPLE
RC ROCK CORE
HSA HOLLOW STEM AUGER
MD MUD DRILLING

PROJECT: High School #13
Location: See Boring Location Plan
DATE START: 8/20/19
FINISH: 8/20/19
HAMMER WT.: 140 lb
BORING METHOD: HSA

Table with columns: Scale, Elev, Description, Depth, Scale, No, Blows / 6in, Type, REC, Notes. Contains soil log data for Boring 18'.

LEGEND
DS DRIVEN SPOON
ST SHELBY
PS PISTON SAMPLE
RC ROCK CORE
HSA HOLLOW STEM AUGER
MD MUD DRILLING

PROJECT: High School #13
Location: See Boring Location Plan
DATE START: 8/20/19
FINISH: 8/20/19
HAMMER WT.: 140 lb
BORING METHOD: HSA

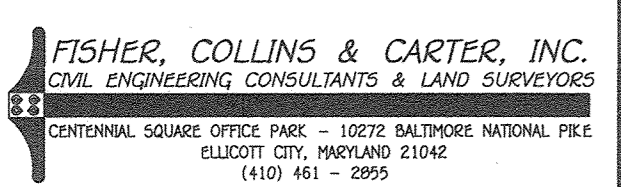
Table with columns: Scale, Elev, Description, Depth, Scale, No, Blows / 6in, Type, REC, Notes. Contains soil log data for Boring 20'.

LEGEND
DS DRIVEN SPOON
ST SHELBY
PS PISTON SAMPLE
RC ROCK CORE
HSA HOLLOW STEM AUGER
MD MUD DRILLING

PROJECT: High School #13
Location: See Boring Location Plan
DATE START: 8/20/19
FINISH: 8/20/19
HAMMER WT.: 140 lb
BORING METHOD: HSA

Table with columns: Scale, Elev, Description, Depth, Scale, No, Blows / 6in, Type, REC, Notes. Contains soil log data for Boring 20'.

LEGEND
DS DRIVEN SPOON
ST SHELBY
PS PISTON SAMPLE
RC ROCK CORE
HSA HOLLOW STEM AUGER
MD MUD DRILLING



*PROFESSIONAL CERTIFICATION, I HEREBY CERTIFY THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 38386, EXPIRATION DATE: JANUARY 12, 2022.
Stephanie J. Tuttle, RIA, P.E., LEED AP-BC+D
8/13/20
DATE

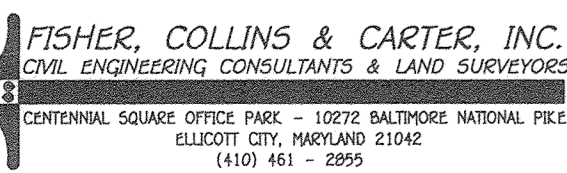
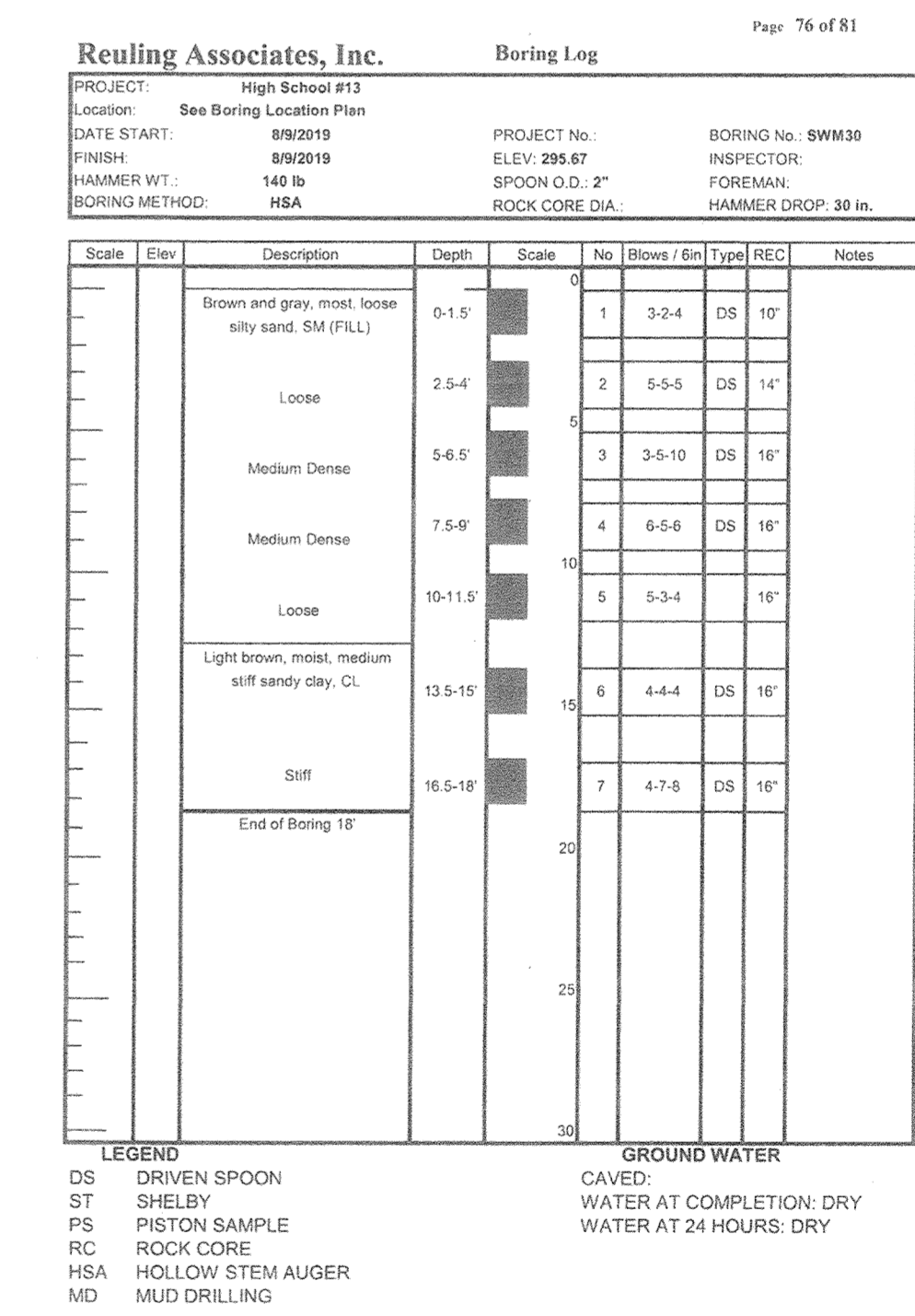
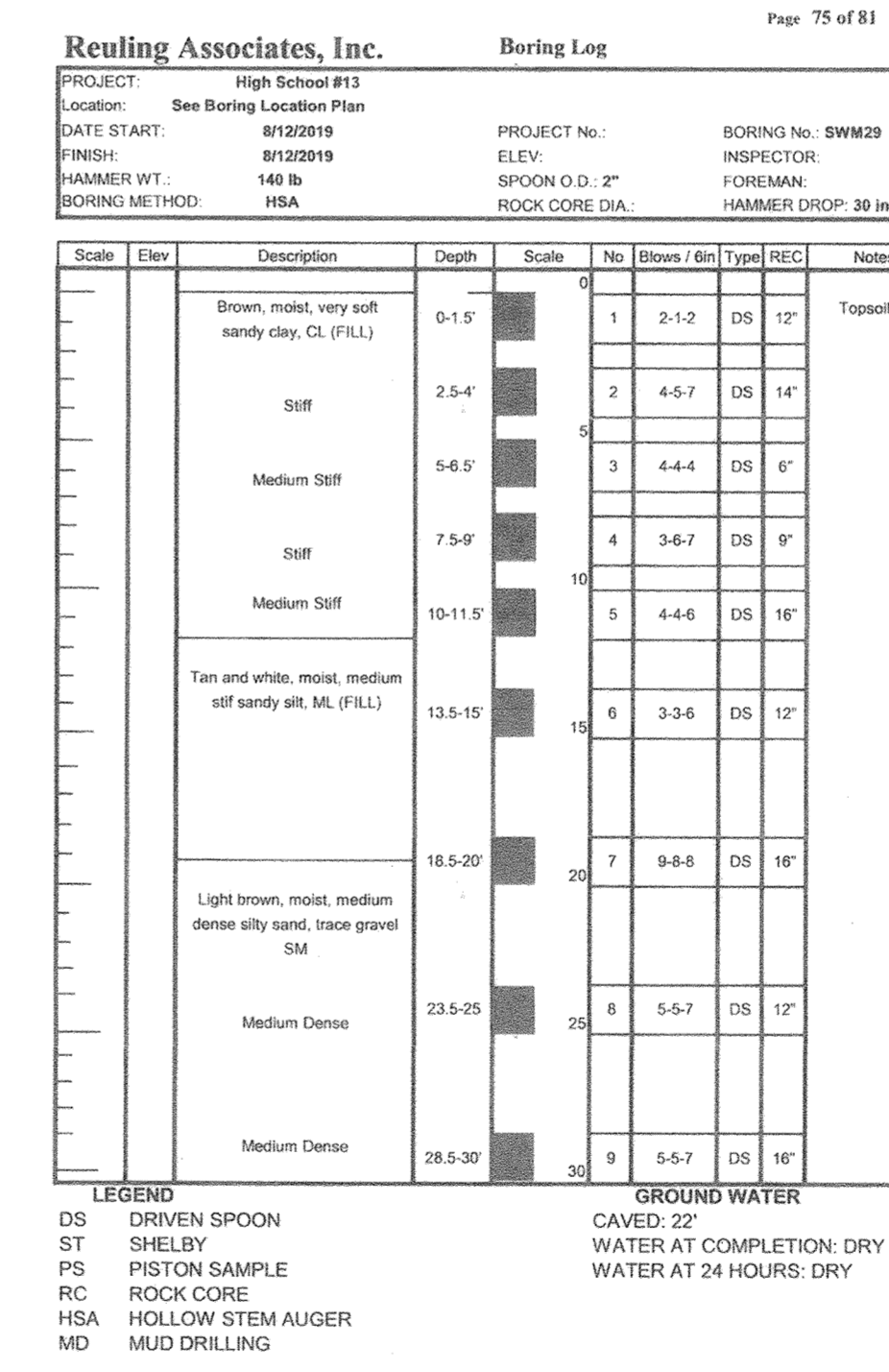
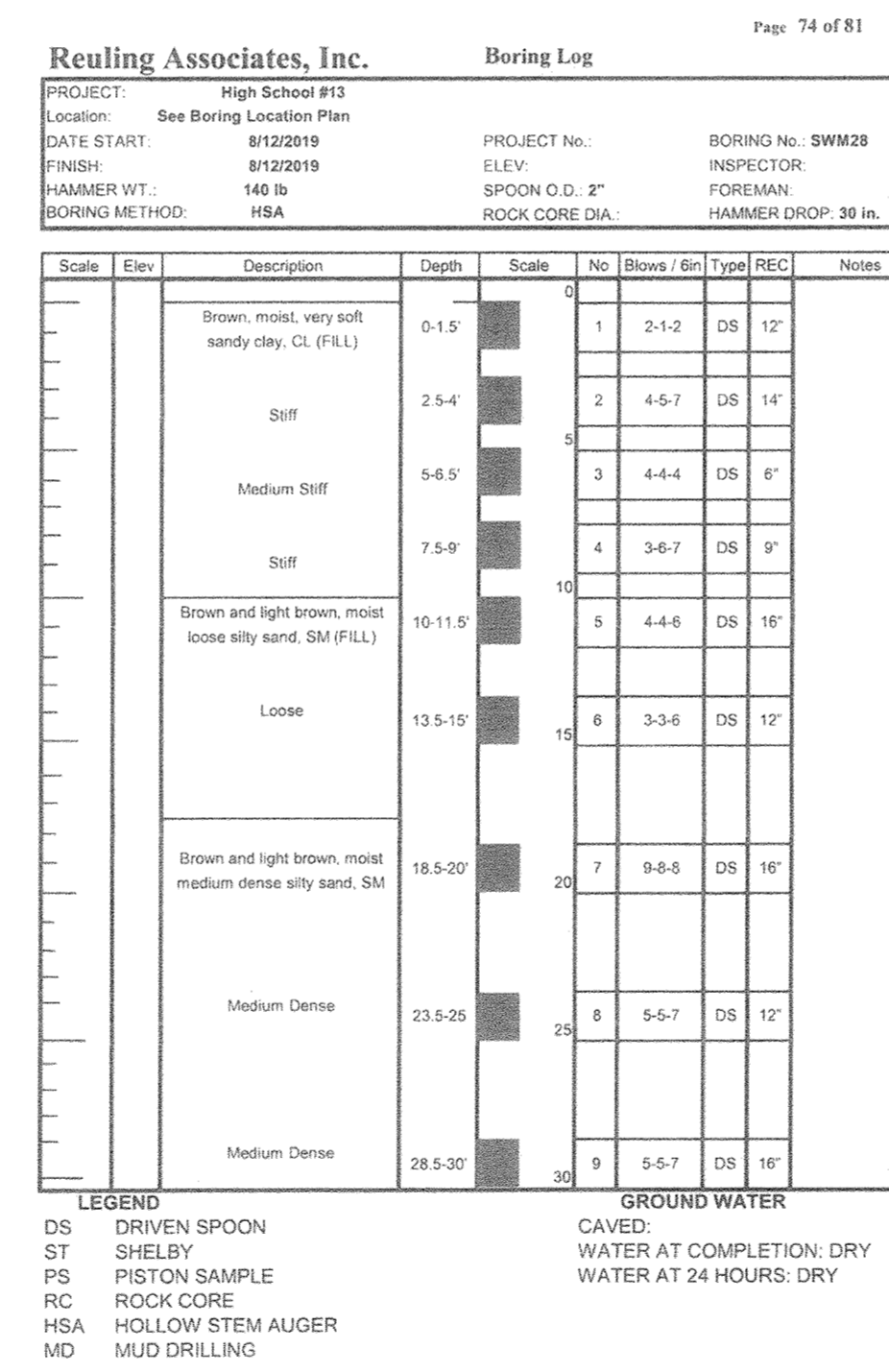
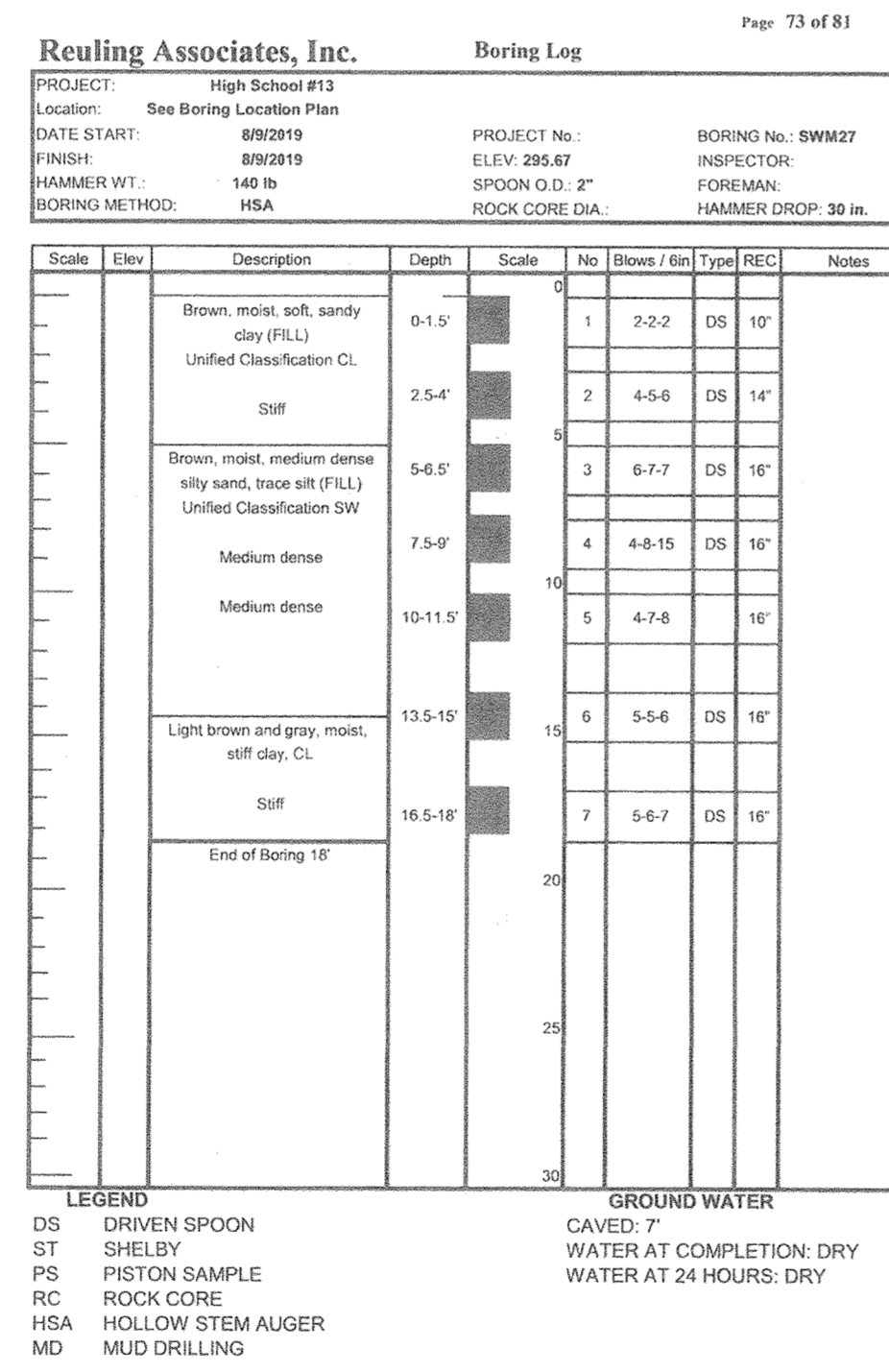
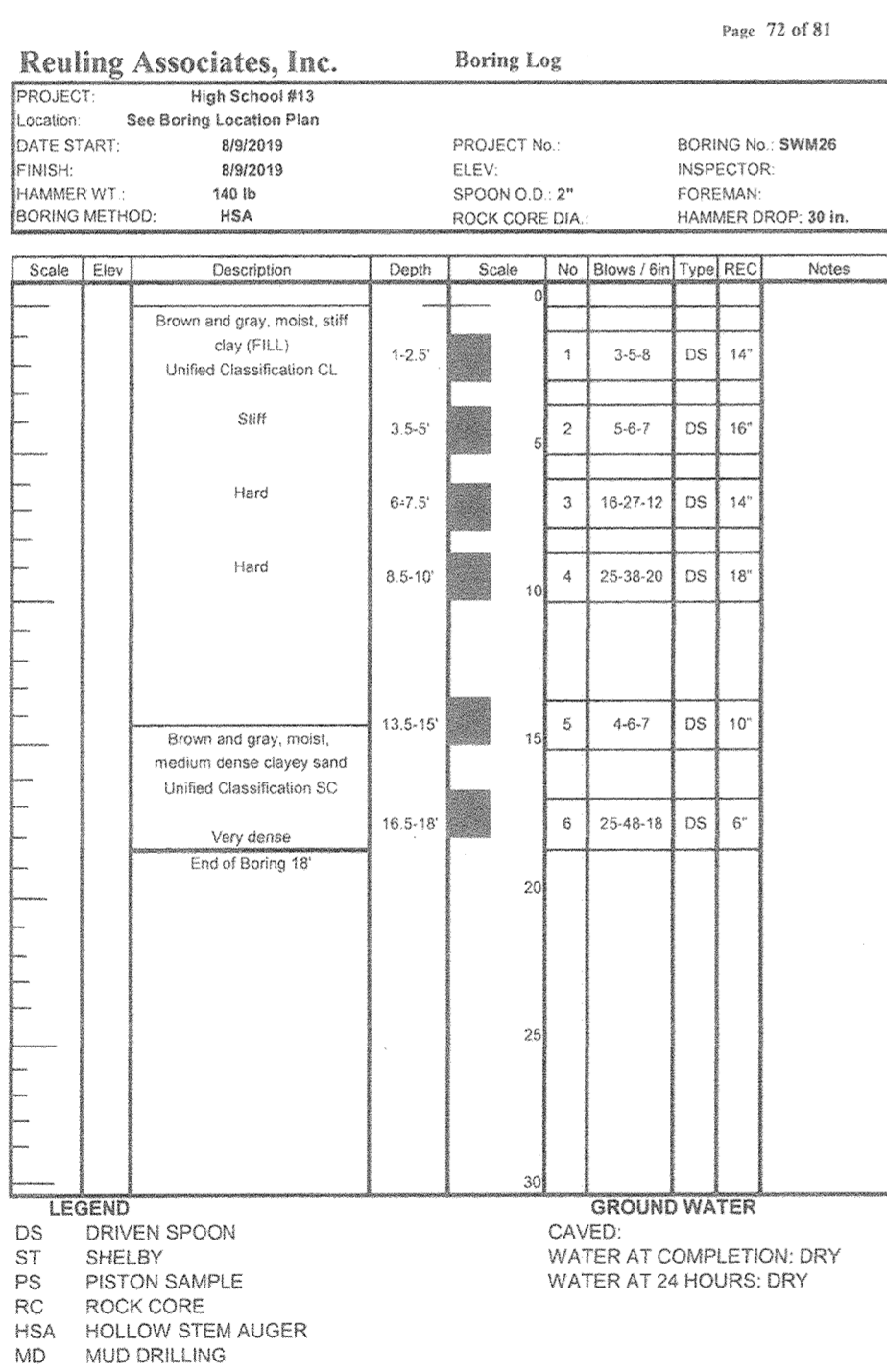
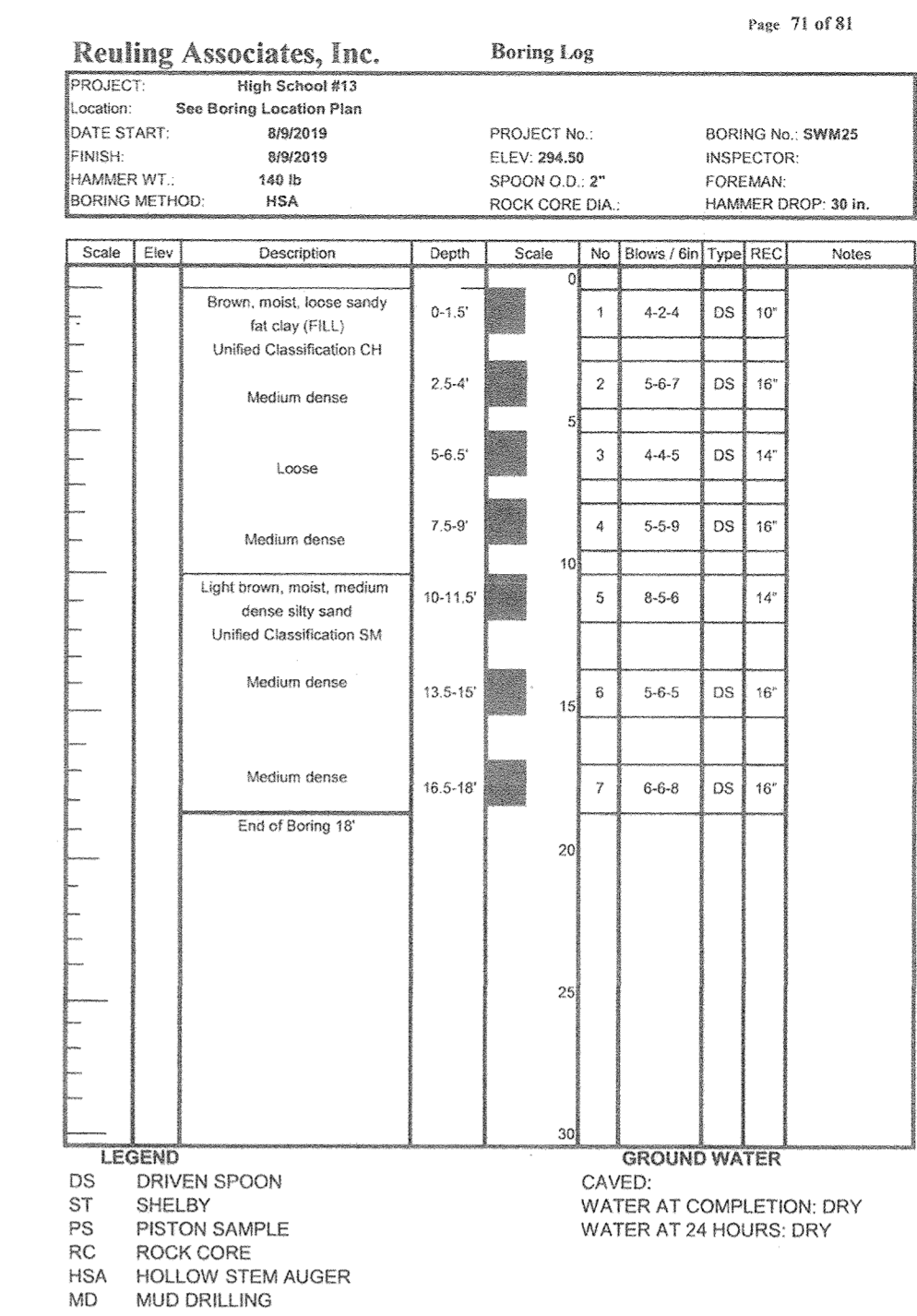
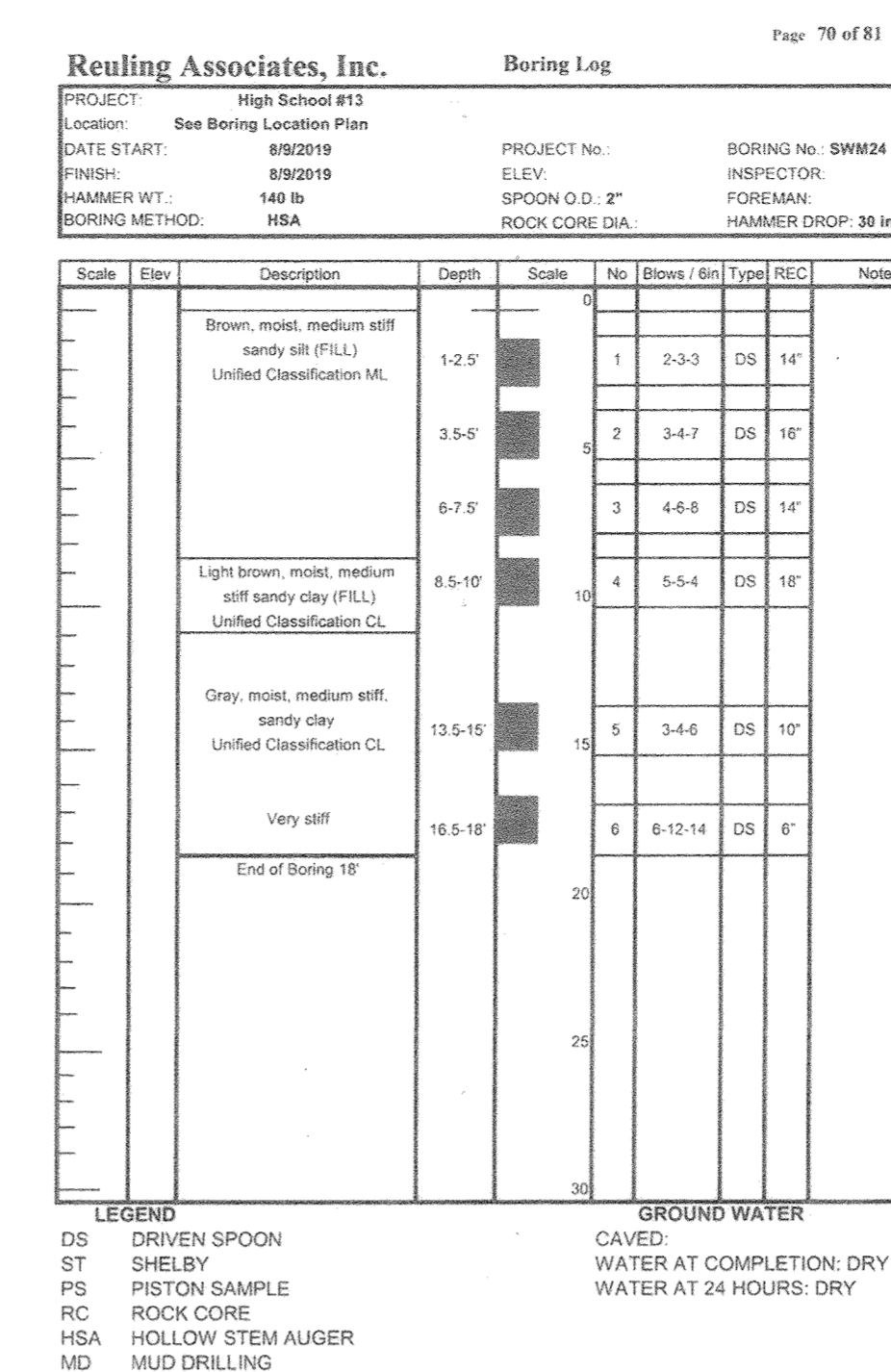
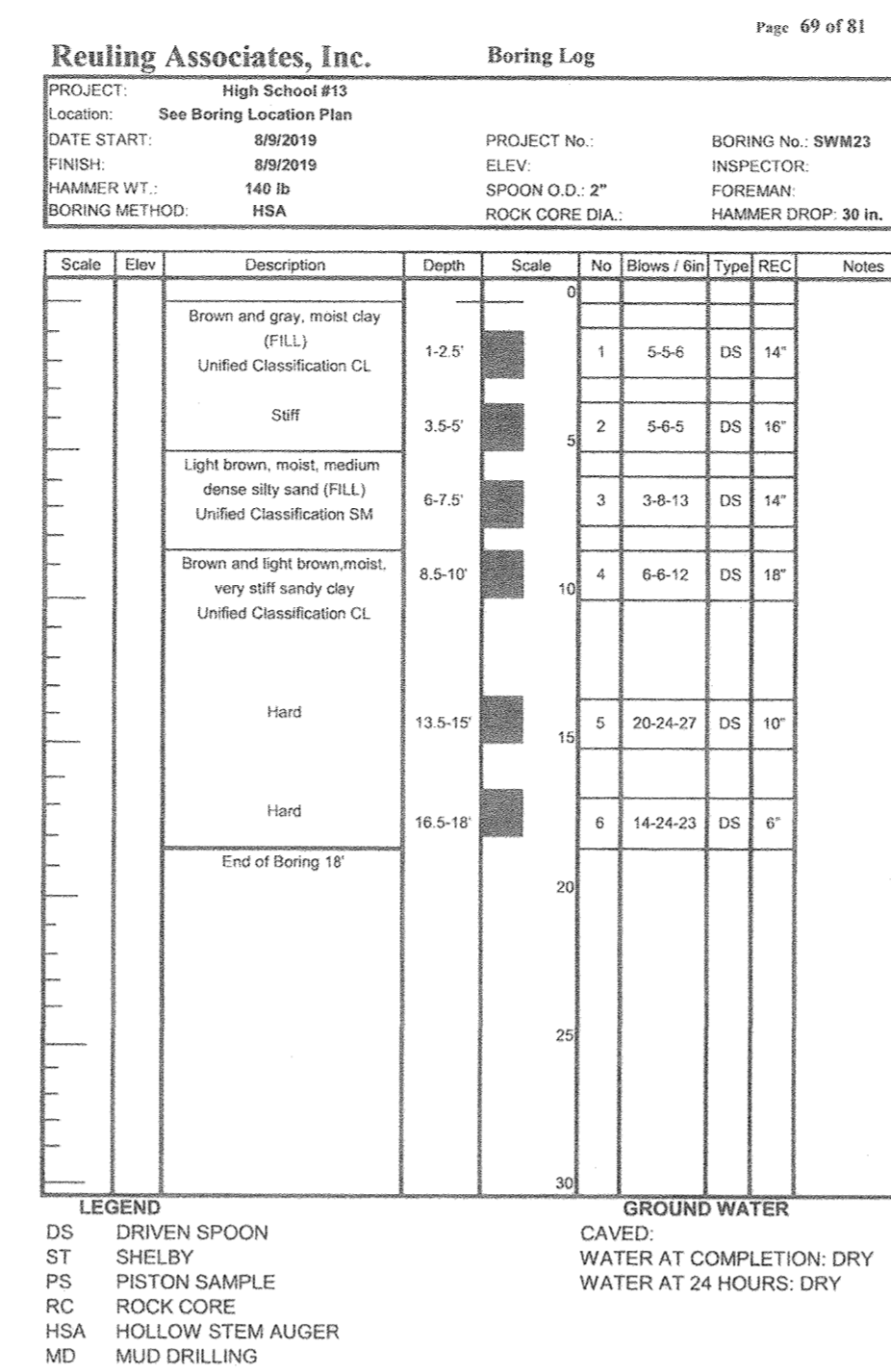
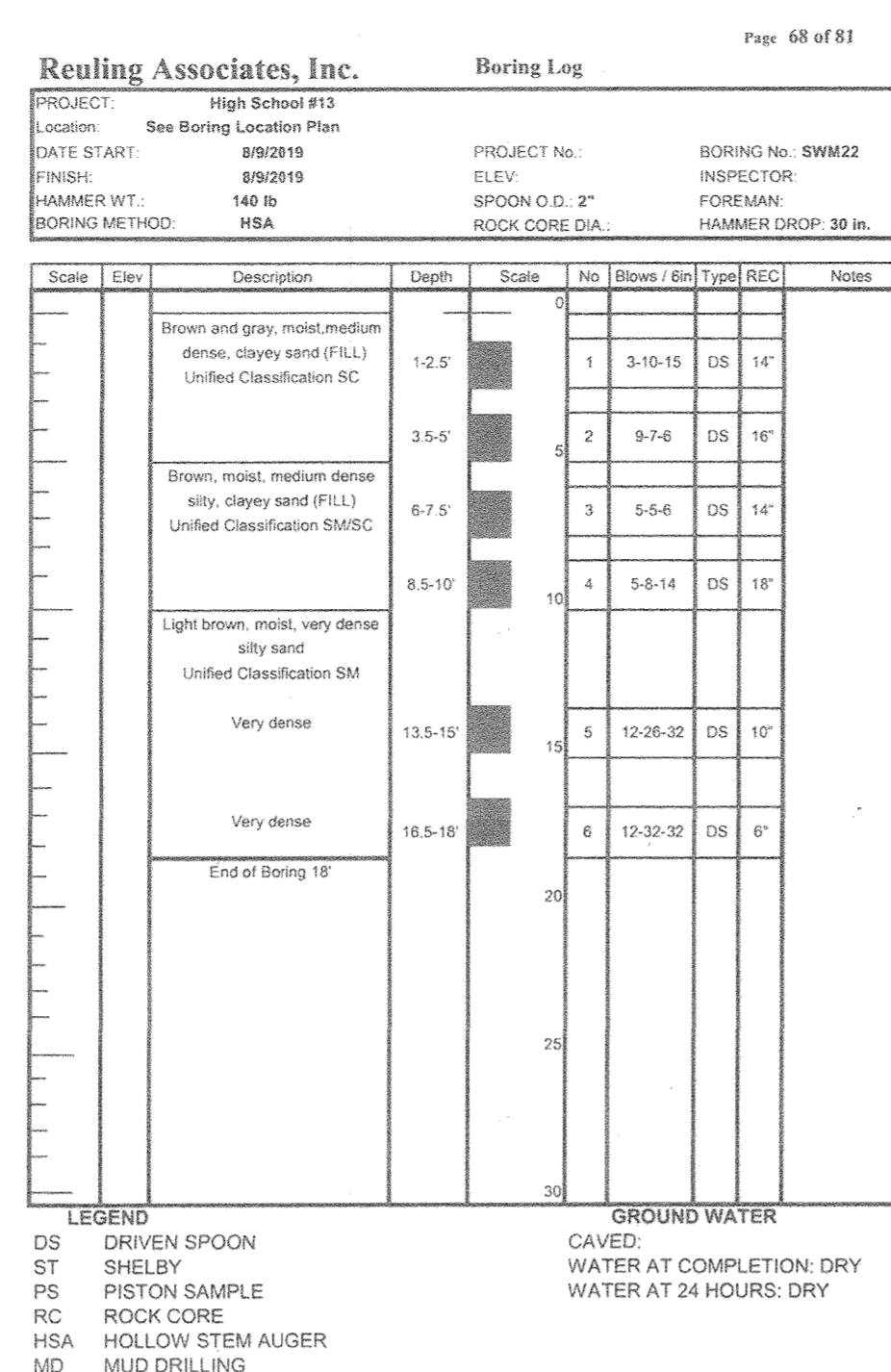
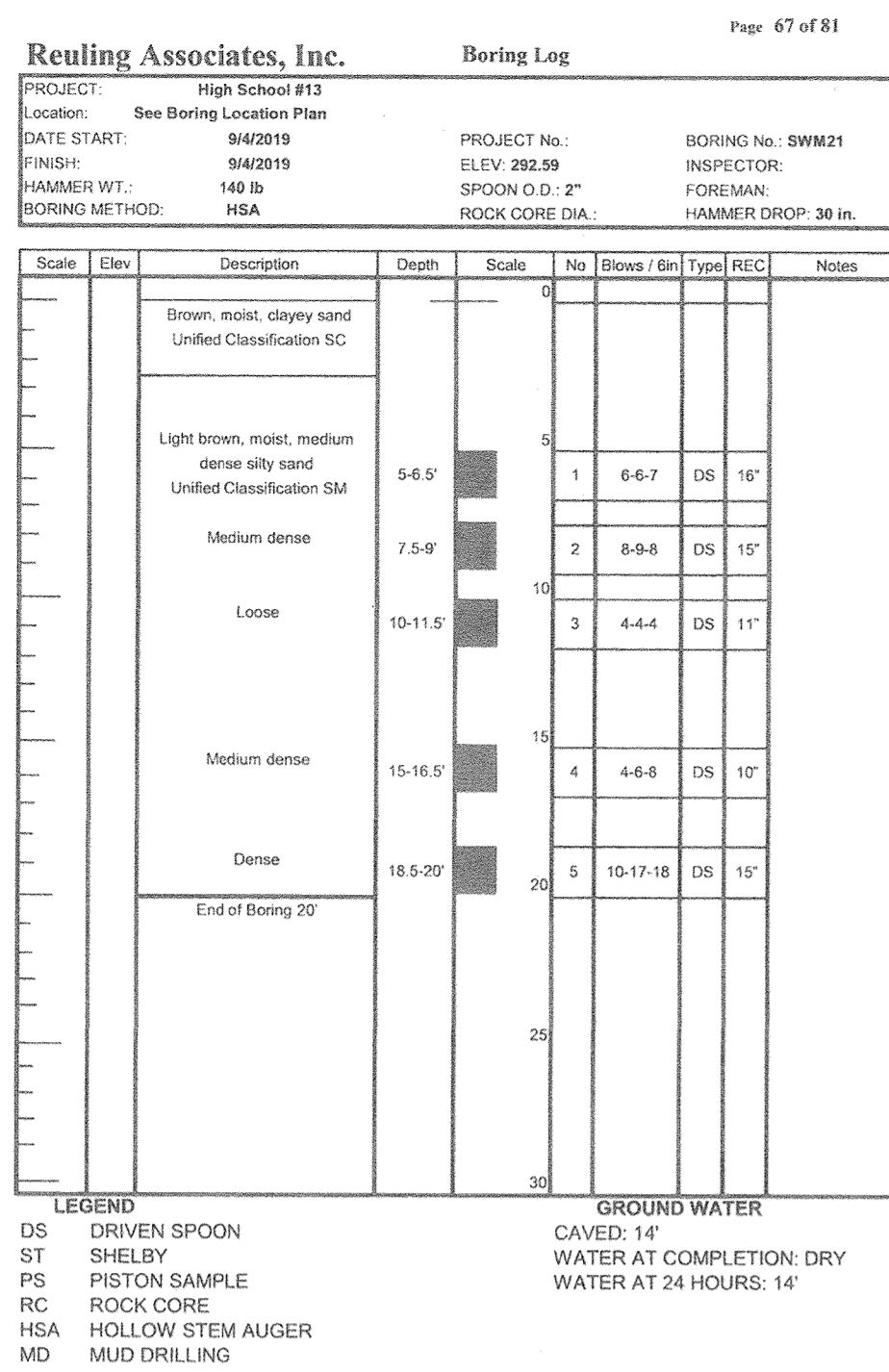
APPROVED: DEPARTMENT OF PLANNING AND ZONING
Director - Department of Planning and Zoning
Date: 10-5-20
Date: 9-28-20

PREPARED FOR
HOWARD COUNTY PUBLIC SCHOOL SYSTEM
9020 MENDENHALL COURT
SUITE 'C'
COLUMBIA, MARYLAND 21045
Attention: DANIEL LUBELEY
410-313-0203



ADDRESS CHART
PARCEL NO. STREET ADDRESS
8500 RIDGELYS RUN ROAD
JESSUP, MARYLAND 20794

BORING LOGS
HIGH SCHOOL #13
PARCELS 'A' THRU 'D'
ZONED: R-SC MXD-3, R-5A-0 MXD-3 AND R-12
PARCEL Nos.: 102, 349, 235
TAX MAP No.: 42 & 43 GRID No.: 24 & 19
SIXTH ELECTION DISTRICT HOWARD COUNTY, MARYLAND
SCALE: AS SHOWN DATE: AUGUST, 2020
SHEET 116 OF 131



*PROFESSIONAL CERTIFICATION. I HEREBY CERTIFY THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 38386, EXPIRATION DATE: JANUARY 12, 2022.
 Signature
 STEPHANIE J. TUTTLE, R.L.A., P.E., LEAD AP BC&D

8/17/20
 DATE

APPROVED: DEPARTMENT OF PLANNING AND ZONING
 Director: Department of Planning and Zoning
 Chief, Development Engineering Division

10-5-20 Date
 8-26-20 Date

PREPARED FOR
 HOWARD COUNTY PUBLIC SCHOOL SYSTEM
 9020 MENDENHALL COURT
 SUITE 'C'
 COLUMBIA, MARYLAND 21045
 Attention: DANIEL LUBELEY
 410-313-8203



ADDRESS CHART

PARCEL NO.	STREET ADDRESS
	8500 RIDGELY'S RUN ROAD
	JESSUP, MARYLAND 20794

PROJECT: HIGH SCHOOL #13
 SECTION/AREA: N/A
 PARCEL: 102, 349, 235

PLAT NO.	BLOCK NO.	ZONE	TAX MAP	ELEC. DIST.	CENSUS TR.
A5588	18 & 24	R-12	42 & 43	SIXTH	606901
26532	13 & 19	R-5C MXD-3	42 & 43	SIXTH	606901
		65A-2 MXD-3			

SEWER CODE

BORING LOGS

HIGH SCHOOL #13
 PARCELS 'A' THRU 'D'

ZONED: R-5C MXD-3, R-5A-2 MXD-3 AND R-12
 PARCEL Nos.: 102, 349, 235
 TAX MAP No.: 42 & 43 - GRID No.: 24 & 19
 SIXTH ELECTION DISTRICT HOWARD COUNTY, MARYLAND
 SCALE: AS SHOWN DATE: AUGUST, 2020
 SHEET 117 OF 131

PROJECT: High School #13
 Location: See Boring Location Plan
 DATE START: 8/20/19 PROJECT No.: BORING No.: SWM31
 FINISH: 8/20/19 ELEV. 285.87 INSPECTOR:
 HAMMER WT.: 140 lb SPOON O.D. 2" FOREMAN:
 BORING METHOD: HSA ROCK CORE DIA. HAMMER DROP: 30 in.

Scale	Elev.	Description	Depth	Scale	No	Blows / 6in	Type	REC	Notes
	0-1.5'	Gray and brown, moist, loose silty sand, SM (FILL)	0-1.5'	1	7-4-2	DS	10"		
	2.5-4'	Medium Dense	2.5-4'	2	5-5-6	DS	14"		
	5-6.5'	Loose	5-6.5'	3	8-5-5	DS	16"		
	7.5-9'	Light brown, moist, medium stiff sandy clay, CL (FILL)	7.5-9'	4	3-3-7	DS	16"		
	10-11.5'	Medium Stiff	10-11.5'	5	4-4-6		16"		
	13-15'	Gray and tan, moist, loose to medium dense silty sand SM (FILL)	13-15'	6	4-4-4	DS	16"		
	16-18'	End of Boring 18'	16-18'	7	6-5-10	DS	16"		

LEGEND
 DS DRIVEN SPOON
 ST SHELBY
 PS PISTON SAMPLE
 RC ROCK CORE
 HSA HOLLOW STEM AUGER
 MD MUD DRILLING

CAVED:
 WATER AT COMPLETION: DRY
 WATER AT 24 HOURS: DRY

PROJECT: High School #13
 Location: See Boring Location Plan
 DATE START: 8/20/19 PROJECT No.: BORING No.: SWM32
 FINISH: 8/20/19 ELEV. 284.44 INSPECTOR:
 HAMMER WT.: 140 lb SPOON O.D. 2" FOREMAN:
 BORING METHOD: HSA ROCK CORE DIA. HAMMER DROP: 30 in.

Scale	Elev.	Description	Depth	Scale	No	Blows / 6in	Type	REC	Notes
	1-2.5'	Tan, moist, medium stiff to very soft clay (FILL), CL	1-2.5'	1	3-3-4	DS	16"		
	2.5-4'	Brown, moist, very loose silty sand (FILL), SM	2.5-4'	2	WQH-2	DS	10"		
	5-6.5'	Tan, moist, very soft to medium stiff sandy clay (FILL), CL	5-6.5'	3	WQH-1	DS	15"		
	7.5-9'	Gray, moist, medium stiff sandy clay, CL	7.5-9'	4	2-2-4	DS	16"		
	10-11.5'	Very Stiff	10-11.5'	5	2-3-5	DS	13"		
	15-16.5'	Medium Stiff	15-16.5'	6	4-6-10	DS	15"		
	18.5-20'	End of Boring 20'	18.5-20'	7	2-3-3	DS	16"		

LEGEND
 DS DRIVEN SPOON
 ST SHELBY
 PS PISTON SAMPLE
 RC ROCK CORE
 HSA HOLLOW STEM AUGER
 MD MUD DRILLING

CAVED:
 WATER AT COMPLETION: 18.5
 WATER AT 24 HOURS: 16.5

PROJECT: High School #13
 Location: See Boring Location Plan
 DATE START: 8/20/19 PROJECT No.: BORING No.: SWM33
 FINISH: 8/20/19 ELEV. 282.11 INSPECTOR:
 HAMMER WT.: 140 lb SPOON O.D. 2" FOREMAN:
 BORING METHOD: HSA ROCK CORE DIA. HAMMER DROP: 30 in.

Scale	Elev.	Description	Depth	Scale	No	Blows / 6in	Type	REC	Notes
	1-2.5'	Light brown, moist, very loose silty sand, SM (FILL)	1-2.5'	1	2-3-3	DS	16"		
	2.5-4'	Very Loose	2.5-4'	2	1-2-2	DS	10"		
	5-6.5'	Light brown, moist, very soft sandy clay, CL	5-6.5'	3	WQH-1	DS	15"		
	7.5-9'	Soft	7.5-9'	4	WHO-2-3	DS	16"		
	10-11.5'	Tan and gray, moist, loose silty sand, SM	10-11.5'	5	1-2-8	DS	13"		
	15-16.5'	Very Loose, wet	15-16.5'	6	6-2-2	DS	15"		
	18.5-20'	Very Loose, wet	18.5-20'	7	1-2-2	DS	16"		

LEGEND
 DS DRIVEN SPOON
 ST SHELBY
 PS PISTON SAMPLE
 RC ROCK CORE
 HSA HOLLOW STEM AUGER
 MD MUD DRILLING

CAVED:
 WATER AT COMPLETION: 15'
 WATER AT 24 HOURS: 13'

PROJECT: High School #13
 Location: See Boring Location Plan
 DATE START: 8/20/19 PROJECT No.: BORING No.: SWM34
 FINISH: 8/20/19 ELEV. 290.75 INSPECTOR:
 HAMMER WT.: 140 lb SPOON O.D. 2" FOREMAN:
 BORING METHOD: HSA ROCK CORE DIA. HAMMER DROP: 30 in.

Scale	Elev.	Description	Depth	Scale	No	Blows / 6in	Type	REC	Notes
	1-2.5'	Light brown, moist, loose silty sand, SM (FILL)	1-2.5'	1	8-4-2	DS	12"		Topsoil 2'
	3.5-5'	Brown, moist, medium dense clayey sand, SC (FILL)	3.5-5'	2	5-4-6	DS	12"		
	6.5-7.5'	Medium Dense	6.5-7.5'	3	3-6-17	DS	14"		
	8.5-10'	Gray, moist, medium dense silty sand, some gravel SM (FILL)	8.5-10'	4	6-5-8	DS	16"		
	13.5-15'	Medium Dense	13.5-15'	5	15-10-6	DS	8"		
	16.5-18'	End of Boring 18'	16.5-18'	6	10-8-8	DS	6"		

LEGEND
 DS DRIVEN SPOON
 ST SHELBY
 PS PISTON SAMPLE
 RC ROCK CORE
 HSA HOLLOW STEM AUGER
 MD MUD DRILLING

CAVED:
 WATER AT COMPLETION: DRY
 WATER AT 24 HOURS: DRY

PROJECT: High School #13
 Location: See Boring Location Plan
 DATE START: 7/25/2019 PROJECT No.: BORING No.: SWM35
 FINISH: 7/25/2019 ELEV. 293.27 INSPECTOR:
 HAMMER WT.: 140 lb SPOON O.D. 2" FOREMAN:
 BORING METHOD: HSA ROCK CORE DIA. HAMMER DROP: 30 in.

Scale	Elev.	Description	Depth	Scale	No	Blows / 6in	Type	REC	Notes
	0-1.5'	Brown, moist, medium stiff sandy clay, CL (FILL)	0-1.5'	1	5-4-4	DS	14"		
	2.5-4'	Very Stiff	2.5-4'	2	9-12-14	DS	16"		
	5-6.5'	Very Stiff	5-6.5'	3	8-9-10	DS	16"		
	7.5-9'	Brown, moist, medium dense silty sand, SM (FILL)	7.5-9'	4	6-5-6	DS	14"		
	10-11.5'	Medium Dense	10-11.5'	5	4-6-6		16"		
	13.5-15'	Medium Dense	13.5-15'	6	17-14-12	DS	6"		
	16.5-18'	Brown, moist, medium dense clayey sand, SC	16.5-18'	7	11-12-12	DS	16"		

LEGEND
 DS DRIVEN SPOON
 ST SHELBY
 PS PISTON SAMPLE
 RC ROCK CORE
 HSA HOLLOW STEM AUGER
 MD MUD DRILLING

CAVED:
 WATER AT COMPLETION: DRY
 WATER AT 24 HOURS: DRY

FSHER, COLLINS & CARTER, INC.
 CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
 CENTENAL SQUARE OFFICE PARK - 10272 BALTIMORE NATIONAL PIKE
 ELIZOFT CITY, MARYLAND 21042
 (410) 461-2995

"PROFESSIONAL CERTIFICATION, I HEREBY CERTIFY THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 38386, EXPIRATION DATE: JANUARY 12, 2022."

 STEPHANIE J. TUITE, RIA, P.E., LEED AP BC&O
 8/17/20
 DATE

APPROVED: DEPARTMENT OF PLANNING AND ZONING

 Director - Department of Planning and Zoning
 10/5/20
 Date

 Chief of Planning - Land Development
 8/26/20
 Date

 Chief, Development Engineering Division

PREPARED FOR
 HOWARD COUNTY PUBLIC SCHOOL SYSTEM
 9020 MENDENHALL COURT
 SUITE 'C'
 COLUMBIA, MARYLAND 21045
 Attention: DANIEL LUBELEY
 410-313-8203

ADDRESS CHART
 PARCEL NO. STREET ADDRESS
 8500 RIDGELYS RUN ROAD
 JESSUP, MARYLAND 20794

PROJECT: HIGH SCHOOL #13
 SECTION/AREA: N/A
 PARCEL: 102, 349, 235

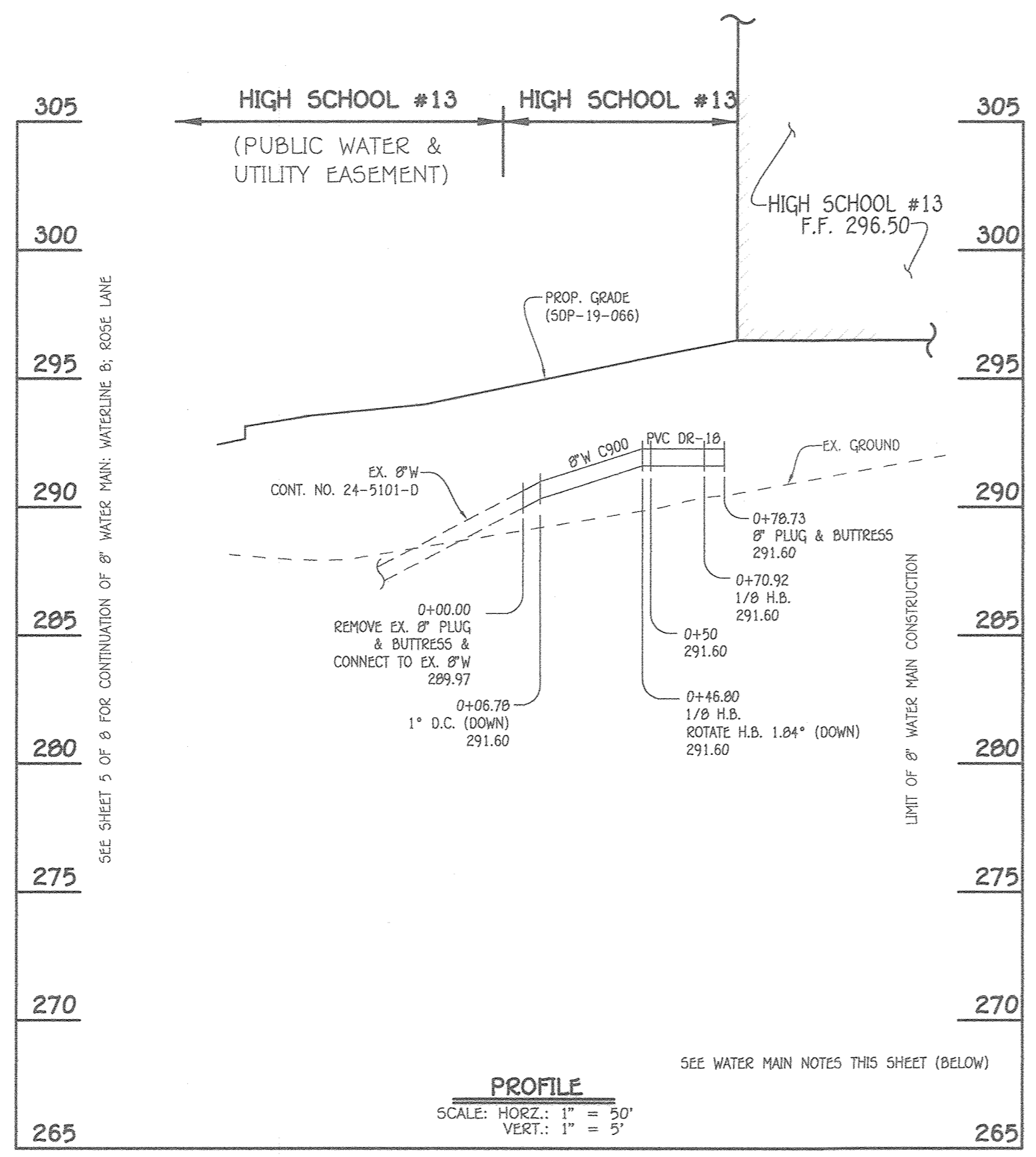
BLOCK NO. 18 & 24
 13 & 19
 ZONE R-12
 TAX MAP 42 & 43
 ELEC. DIST. SIXTH
 CENSUS TR. 606901

SEWER CODE

BORING LOGS

**HIGH SCHOOL #13
 PARCELS 'A' THRU 'D'**

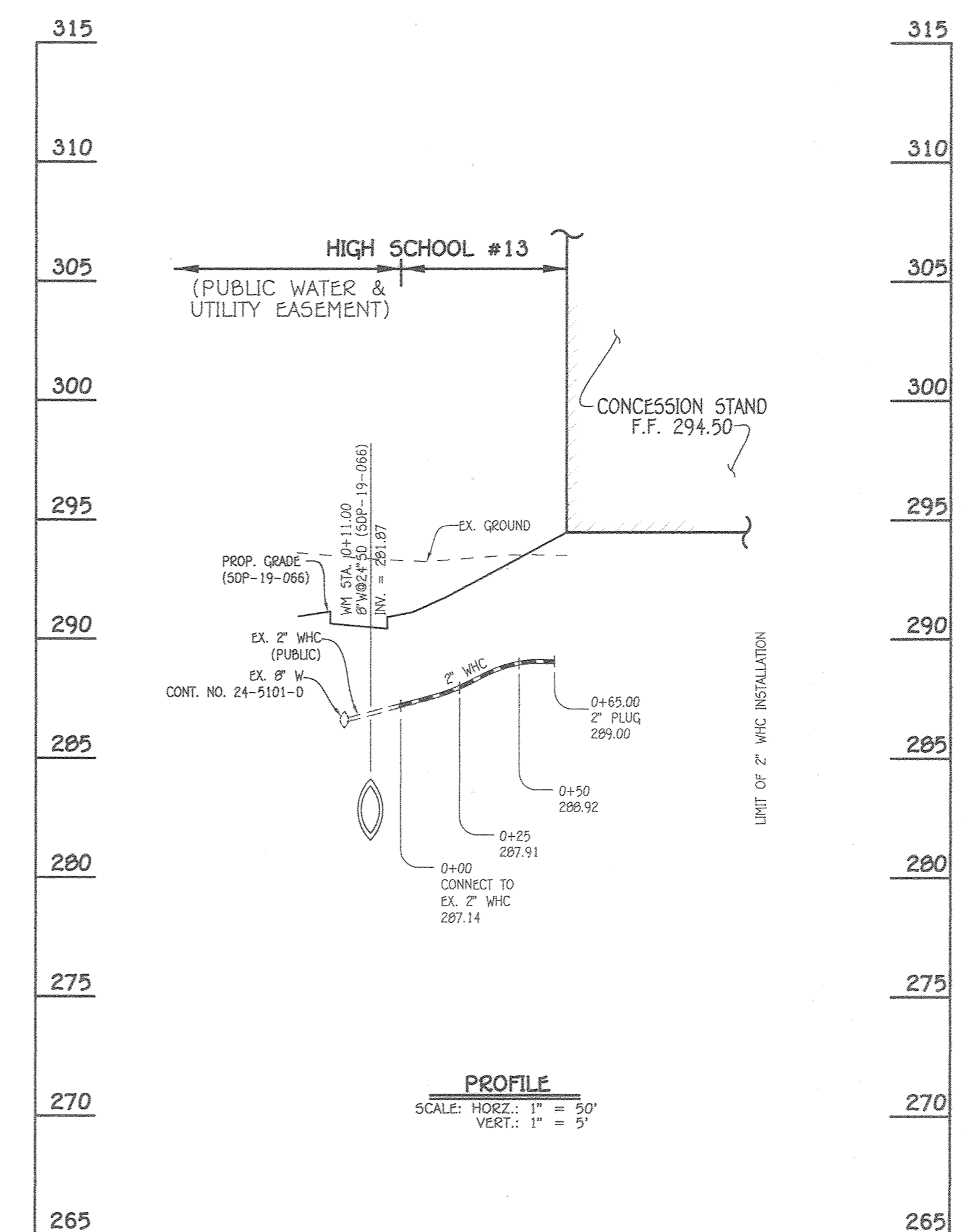
ZONED: R-SC MXD-3, R-5A-8 MXD-3 AND R-12
 PARCEL Nos.: 102, 349, 235
 TAX MAP No.: 42 & 43 GRID No.: 24 & 19
 SIXTH ELECTION DISTRICT HOWARD COUNTY, MARYLAND
 SCALE: AS SHOWN DATE: AUGUST, 2020
 SHEET 118 OF 131



8" WATER MAIN: TO HIGH SCHOOL

WATER MAIN TABULATION CHART			
W.M. STA.	APPURTENANCE	NORTHING	EASTING
8" WATER MAIN: TO HIGH SCHOOL			
0+00.00	CONNECT TO EX. 8" W	542,191.31	1,366,153.74
0+06.78	1" DEFLECTION COUPLING (DOWN)	542,192.91	1,366,160.33
0+46.80	1/8 H.B. (ROTATE H.B. 1.84° DOWN)	542,202.33	1,366,199.23
0+70.92	1/8 H.B.	542,222.93	1,366,211.79
0+78.73	8" PLUG & BUTTRESS	542,224.79	1,366,219.47

- WATER MAIN NOTES:**
1. ALL WATER MAINS SHALL BE AWWA C900 PVC PIPE; DR-18.
 2. ALL PIPE BEDDING, TRACER WIRE, LOCATING TAPE AND OTHER APPURTENANCES SHALL BE IN ACCORDANCE WITH THE HOWARD COUNTY DESIGN MANUAL, VOLUME IV - WATER AND SEWER STANDARDS FOR AWWA C900 PVC WATER PIPE INSTALLATION.
 3. DEFLECTION COUPLINGS SHALL BE CERTAIN-TEED PVC HIGH DEFLECTION COUPLINGS.
 4. ALL WATER HOUSE CONNECTIONS AND TAPS SHALL BE PERFORMED USING A SADDLE.



2" WHC (WATERLINE D) : TO CONCESSION STAND

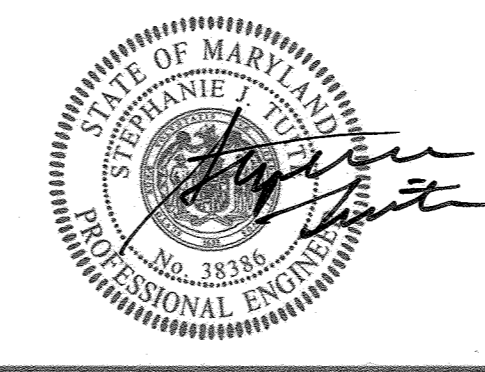
PIPE SCHEDULE (PRIVATE)		
SIZE	CLASS	LENGTH
2"	WHC	65 L.F.
8"	8" W C900 PVC DR-18	79 L.F.

FISHER, COLLINS & CARTER, INC.
 CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
 CENTRAL SQUARE OFFICE PARK - 10270 BALTIMORE NATIONAL PIKE
 ELICOTT CITY, MARYLAND 21114
 (410) 461-2295

"PROFESSIONAL CERTIFICATION, I HEREBY CERTIFY THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 38386, EXPIRATION DATE: JANUARY 12, 2022."
Stephanie L. Tuite
 STEPHANIE L. TUITE, R.L.A., P.E., LEED AP BC&D
 8/19/20
 DATE

APPROVED: DEPARTMENT OF PLANNING AND ZONING
Angela
 Director, Department of Planning and Zoning
 10/15/20
 Date
John
 Chief, Development Engineering Division
 8/26/20
 Date

PREPARED FOR
 HOWARD COUNTY PUBLIC SCHOOL SYSTEM
 9020 MENDENHALL COURT
 SUITE 'C'
 COLUMBIA, MARYLAND 21045
 Attention: DANIEL LUBELEY
 410-313-8203



ADDRESS CHART	
PARCEL NO.	STREET ADDRESS
-	8500 RIDGELY'S RUN ROAD JESSUP, MARYLAND 20794

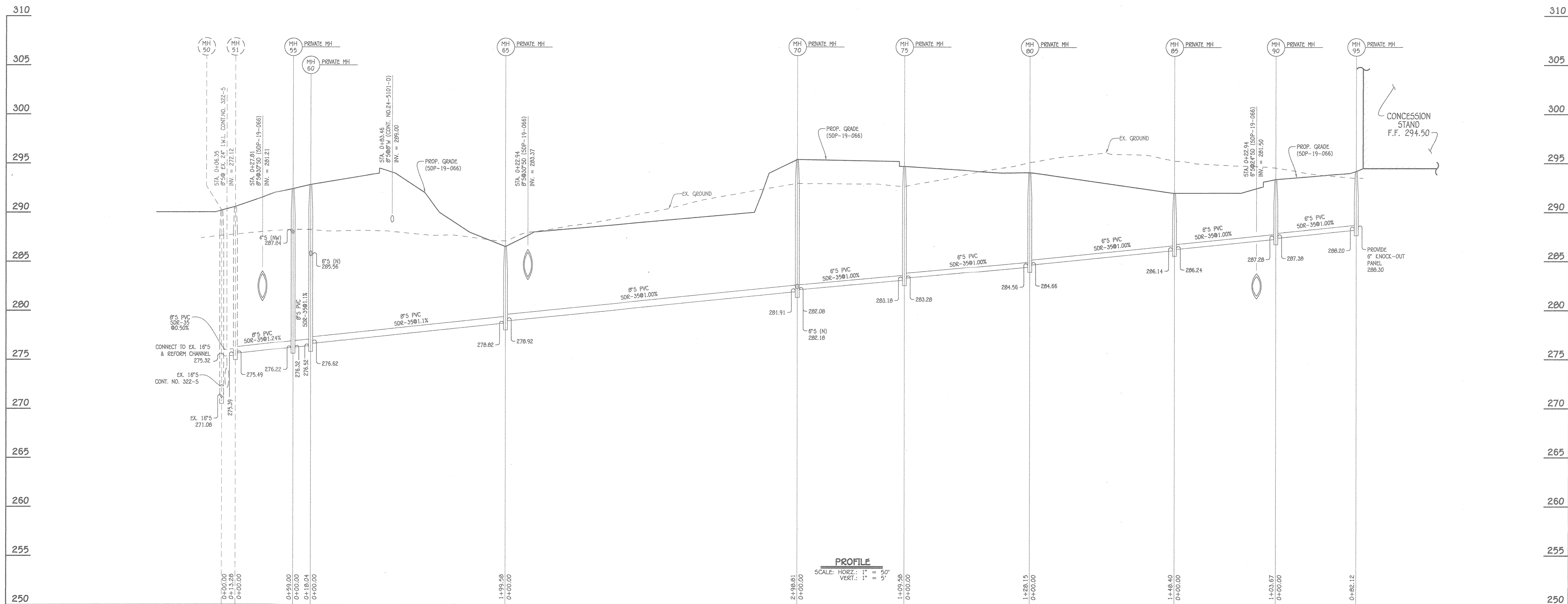
PROJECT	SECTION/AREA	PARCEL
HIGH SCHOOL #13	N/A	102, 349, 235

BLK. NO.	ZONE	TAX MAP	ELEC. DIST.	CENSUS TR.
18 & 24 13 & 19	R-12 R5C MXD-3 R5A-8 MXD-3	42 & 43	SIXTH	606901

PRIVATE 8" WATER MAIN & 2" WHC: PROFILES

**HIGH SCHOOL #13
 PARCELS 'A' THRU 'D'**

ZONED: R-SC MXD-3, R-5A-8 MXD-3 AND R-12
 PARCEL Nos.: 102, 349, 235
 TAX MAP No.: 42 & 43 GRID No.: 24 & 19
 SIXTH ELECTION DISTRICT HOWARD COUNTY, MARYLAND
 SCALE: AS SHOWN DATE: AUGUST, 2020
 SHEET 119 OF 121



SEWER MAIN: TO CONCESSION STAND

STRUCTURE SCHEDULE								
STRUCTURE NO.	OWNERSHIP AND MAINTENANCE	TOP ELEVATION	INV. IN	INV. OUT	COORDINATES	WIDTH	TYPE	REMARKS
55	PRIVATE	292.41	276.32 (6")	287.04 (4")	N 542,277.59 E 1,366,093.56	4'	STD. MANHOLE	G - 5.12
60	PRIVATE	292.83	276.62 (6")	285.56 (6")	N 542,265.94 E 1,366,107.33	4'	STD. MANHOLE	G - 5.12
65	PRIVATE	286.51	278.92 (6")	278.02 (6")	N 542,071.97 E 1,366,154.33	4'	STD. MANHOLE	G - 5.12
70	PRIVATE	295.38	282.08 (6")	282.18 (6")	N 542,142.33 E 1,366,444.74	4'	STD. MANHOLE	G - 5.12
75	PRIVATE	294.68	283.28 (6")	283.18 (6")	N 542,035.83 E 1,366,470.54	4'	STD. MANHOLE	G - 5.12
80	PRIVATE	294.09	284.66 (6")	284.56 (6")	N 542,066.01 E 1,366,595.09	4'	STD. MANHOLE	G - 5.12
85	PRIVATE	291.99	286.24 (6")	286.14 (6")	N 542,027.84 E 1,366,738.49	4'	STD. MANHOLE	G - 5.12
90	PRIVATE	293.39	287.38 (6")	287.28 (6")	N 541,927.09 E 1,366,762.90	4'	STD. MANHOLE	G - 5.12
95	PRIVATE	294.20	288.30 (6" KNOCK OUT PANEL)	288.20 (6")	N 541,886.80 E 1,366,834.46	4'	STD. MANHOLE	G - 5.12
100	PRIVATE	293.23	288.50 (4")	288.50 (4")	N 542,292.10 E 1,366,105.83	4'	STD. MANHOLE	G - 5.12
C.O.1	PRIVATE	296.40	283.62 (6")	283.62 (6")	N 542,189.71 E 1,366,465.50	4'	CLEANOUT	DET. 3/44
C.O.2	PRIVATE	296.20	288.50 (6")	288.50 (6")	N 542,289.30 E 1,366,203.74	4'	CLEANOUT	DET. 3/44

NOTE: SET MH RIMS/C.O. TOPS FLUSH W/ PROPOSED GRADE.

PIPE SCHEDULE (PRIVATE)		
SIZE	CLASS	LENGTH
4"	6" PVC 508-35	19.00 L.F.
6"	6" PVC 508-35	719.21 L.F.
8"	6" PVC 508-35	575.43 L.F.

FISHER, COLLINS & CARTER, INC.
 CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
 CENTENNIAL SQUARE OFFICE PARK - 10772 BALTIMORE NATIONAL PIKE
 CLUETT CITY, MARYLAND 21046
 (410) 461-2895

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Stephanie J. Tuite
 STEPHANIE J. TUITE, RLA, P.E., LEED AP BC&D

8/17/20
 DATE

DATE	DESCRIPTION
	REVISION BLOCK
APPROVED: DEPARTMENT OF PLANNING AND ZONING	
Director, Department of Planning and Zoning	10/5/20 Date
Chief, Division of Land Development	10/15/20 Date
Chief, Development Engineering Division	8/26/20 Date

PREPARED FOR
 HOWARD COUNTY PUBLIC SCHOOL SYSTEM
 9020 MENDENHALL COURT
 SUITE 'C'
 COLUMBIA, MARYLAND 21045
 Attention: DANIEL LUBELEY
 410-313-8203



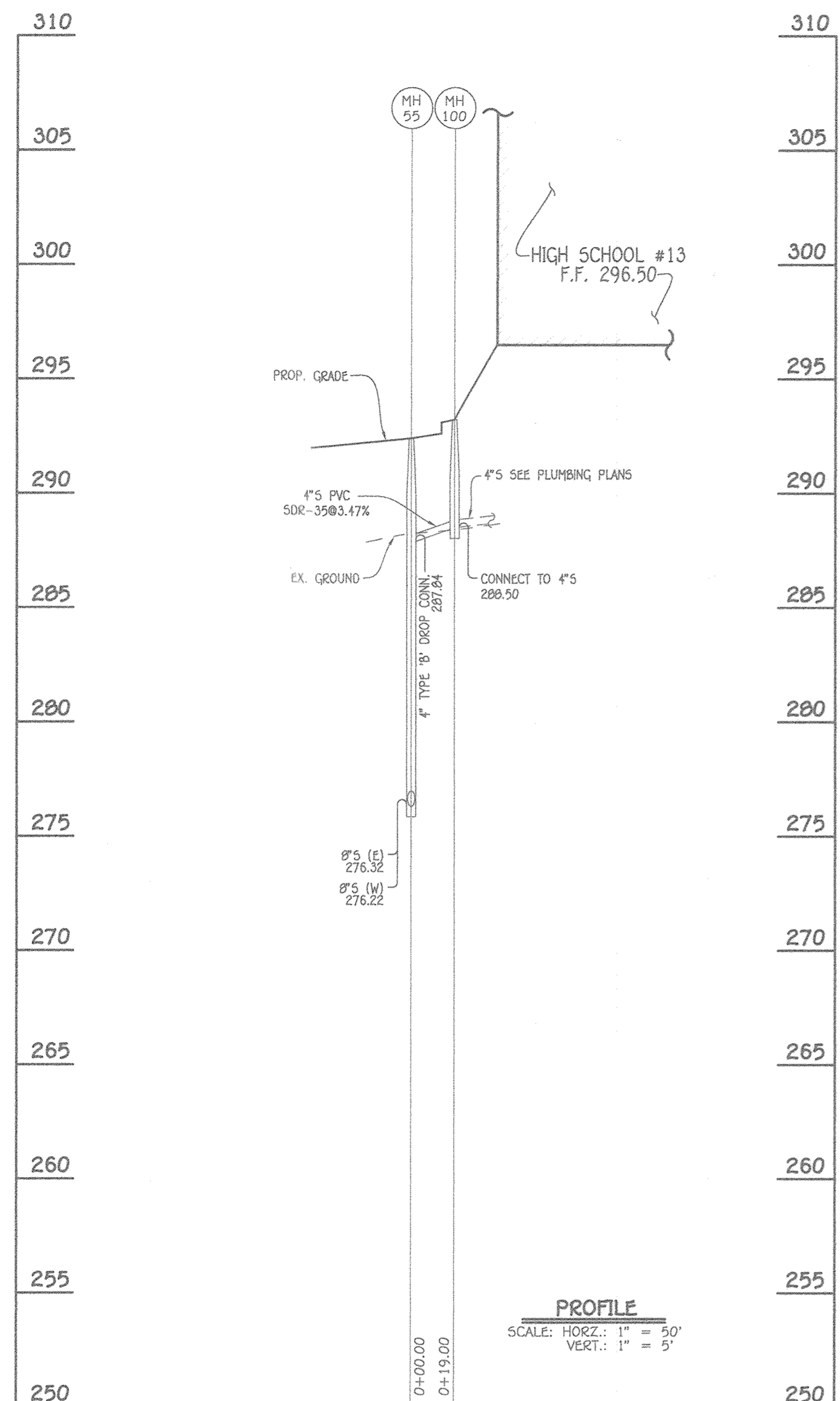
ADDRESS CHART	
PARCEL NO.	STREET ADDRESS
	8500 RIDGELYS RUN ROAD JESSUP, MARYLAND 20794

PROJECT	SECTION/AREA	PARCEL
HIGH SCHOOL #13	N/A	102, 349, 235
BLOCK NO.	TAX MAP	ELEC. DIST.
18 & 24	42 & 43	SIXTH
13 & 19	65A-8 MXD-3	606901
WATER CODE	SEWER CODE	

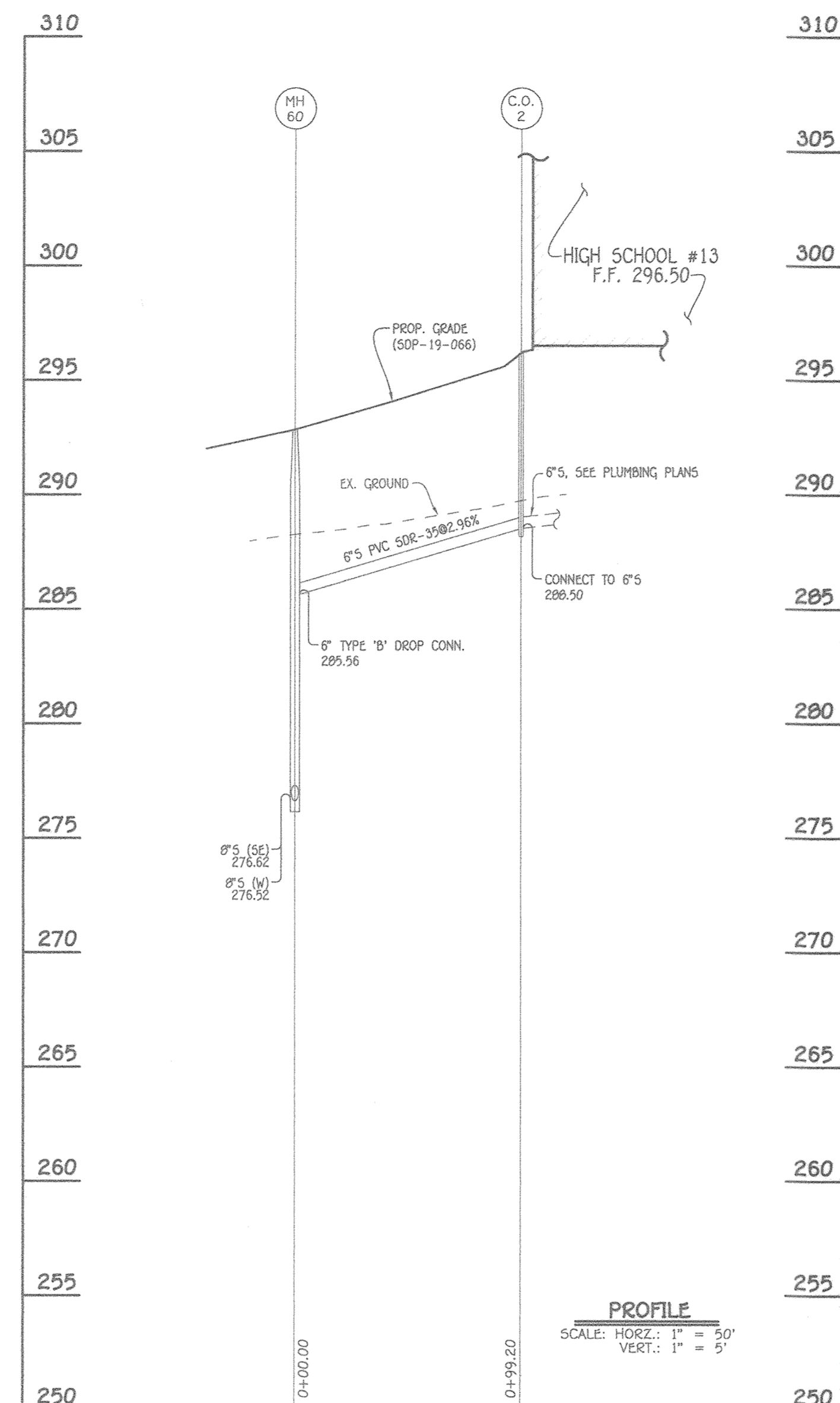
PRIVATE 6" & 8" SEWER MAINS: PROFILE

**HIGH SCHOOL #13
 PARCELS 'A' THRU 'D'**

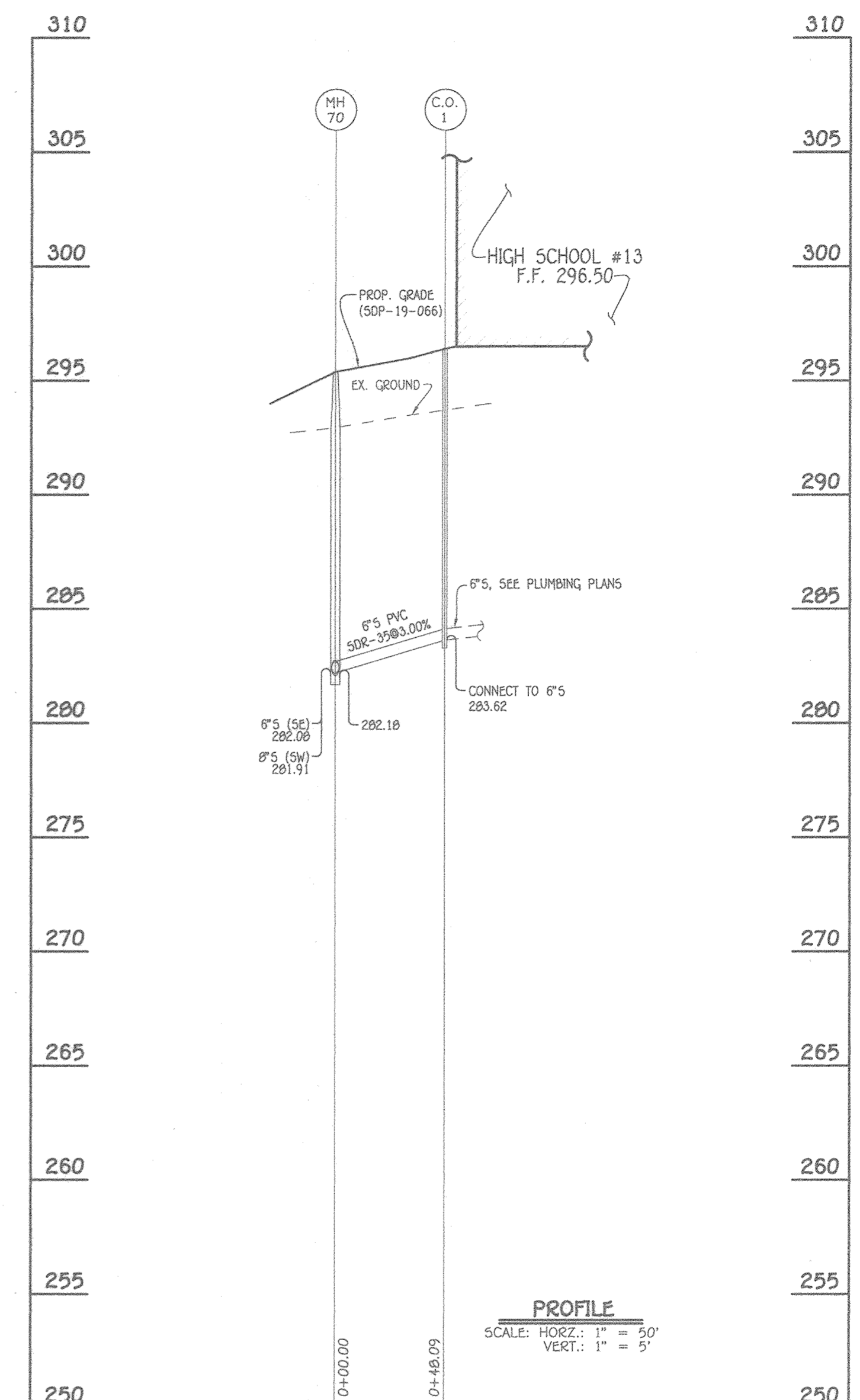
ZONED: R-SC MXD-3, R-SA-8 MXD-3 AND R-12
 PARCEL Nos.: 102, 349, 235
 TAX MAP No.: 42 & 43 GRID No.: 24 & 19
 SIXTH ELECTION DISTRICT HOWARD COUNTY, MARYLAND
 SCALE: AS SHOWN DATE: AUGUST, 2020
 SHEET 120 OF 121



4" SEWER MAIN: TO HIGH SCHOOL BUILDING



6" SEWER MAIN: TO HIGH SCHOOL BUILDING



6" SEWER MAIN: TO HIGH SCHOOL BUILDING

FISHER, COLLINS & CARTER, INC.
 CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
 CENTENNIAL SQUARE OFFICE PARK - 10270 BALTIMORE NATIONAL PIKE
 ELICOTT CITY, MARYLAND 21046
 (410) 461-2995

"PROFESSIONAL CERTIFICATION, I HEREBY CERTIFY THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 38386, EXPIRATION DATE: JANUARY 12, 2022."
Stephanie C. Tuite
 STEPHANIE C. TUITE, RLA, P.E., LEED AP BC&D
 8/17/20
 DATE

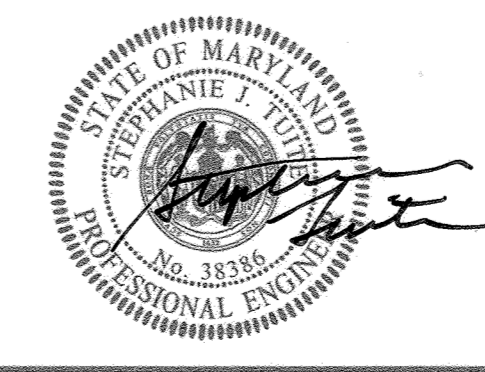
DATE	DESCRIPTION	REVISION BLOCK

APPROVED: DEPARTMENT OF PLANNING AND ZONING

Director: *Ang Gorman* 10/5/20
 Date

Chief, Development Engineering Division: *Stephanie C. Tuite* 8-26-20
 Date

PREPARED FOR
 HOWARD COUNTY PUBLIC SCHOOL SYSTEM
 9020 MENDENHALL COURT
 SUITE 'C'
 COLUMBIA, MARYLAND 21045
 Attention: DANIEL LUBELEY
 410-313-8203



ADDRESS CHART					
PARCEL NO.	STREET ADDRESS				
	8500 RIDGELY RUN ROAD				
	JESSUP, MARYLAND 20794				

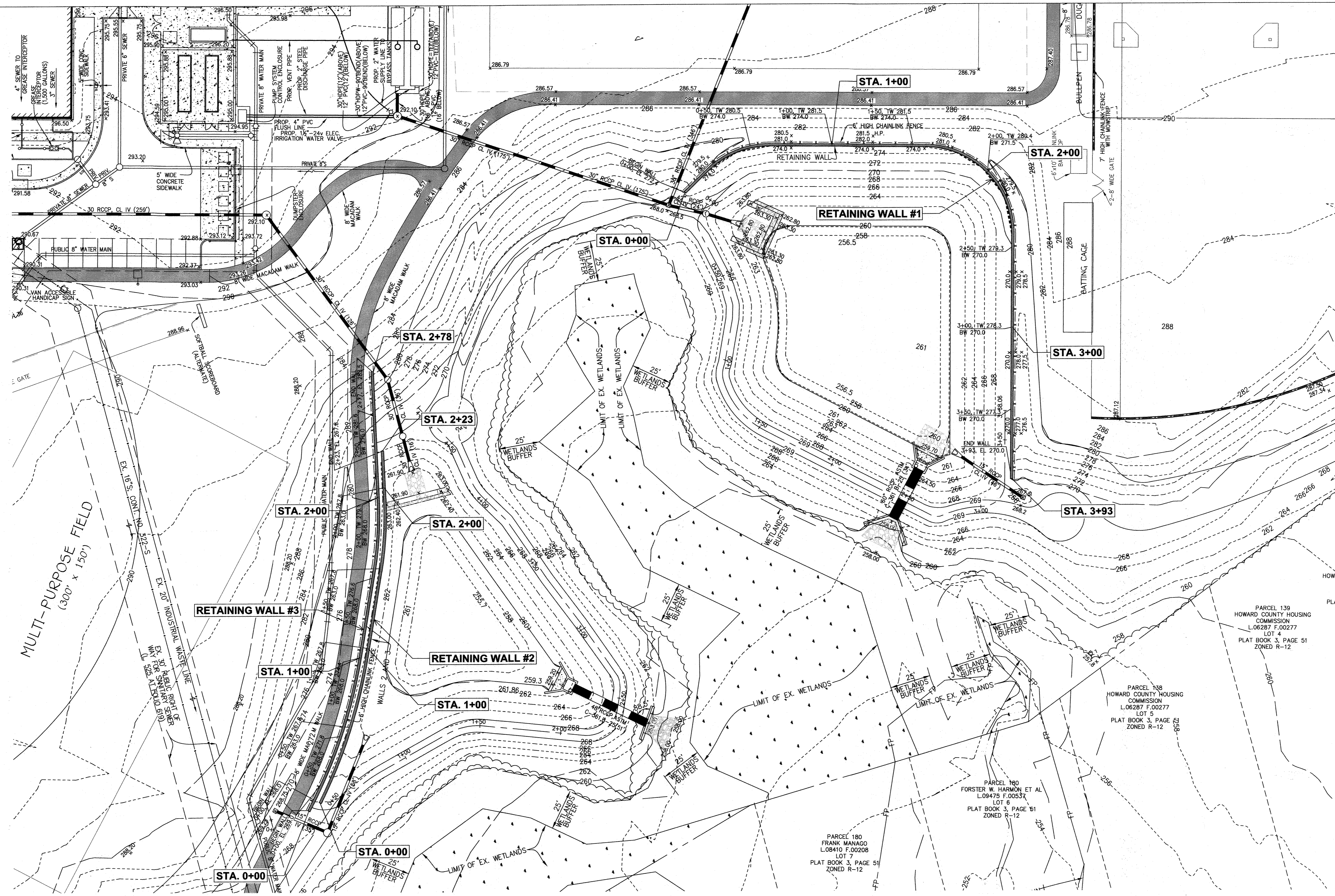
PROJECT	SECTION/AREA	PARCEL
HIGH SCHOOL #13	N/A	102, 349, 235

BLOCK NO.	ZONE	TAX MAP	ELEC. DIST.	CENSUS TR.
18 & 24 13 & 19	R-12 RSC MXD-3 RSA-8 MXD-3	42 & 43	SIXTH	606901

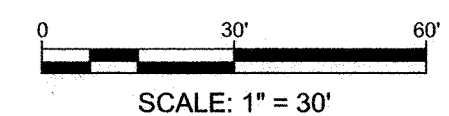
4" & 6" SEWER MAINS: PROFILES

**HIGH SCHOOL #13
 PARCELS 'A' THRU 'D'**

ZONED: R-SC MXD-3, R-SA-8 MXD-3 AND R-12
 PARCEL Nos.: 102, 349, 235
 TAX MAP No.: 42 & 43 GRID No.: 24 & 19
 SIXTH ELECTION DISTRICT HOWARD COUNTY, MARYLAND
 SCALE: AS SHOWN DATE: AUGUST, 2020
 SHEET 121 OF 131



WALL LOCATION PLAN
1" = 30'



FISHER, COLLINS & CARTER, INC.
CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
CENTENNIAL SQUARE OFFICE PARK - 10272 BALTIMORE NATIONAL PARK
ELLSWORTH CITY, MARYLAND 21042
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HILLIS-CARNES
ENGINEERING ASSOCIATES
10975 Guilford Road, Suite A Annapolis Junction, Maryland
Phone: (410) 880-4788 www.hcea.com Fax: (410) 880-4098

DESIGNED BY: AM DRAWN BY: AM
APPROVED BY: RWS HCEA JOB NO.: 19428A

STATE OF MARYLAND
Professional Engineer Seal for Timothy B. Hill, P.E.

PROFESSIONAL CERTIFICATION: I HEREBY CERTIFY THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 14808, EXPIRATION DATE: FEBRUARY 27, 2022.

DATE: 8/19/2020

AS-BUILT CERTIFICATION
I HEREBY CERTIFY THAT THE FACILITY SHOWN ON THIS PLAN WAS CONSTRUCTED AS SHOWN ON THE "AS-BUILT" PLANS AND MEETS THE APPROVED PLANS AND SPECIFICATIONS.

SIGNATURE: P.E. No. DATE:

CERTIFY MEANS TO STATE OR DECLARE A PROFESSIONAL OPINION BASED UPON ON-SITE INSPECTIONS AND MATERIAL TESTS WHICH ARE CONDUCTED DURING CONSTRUCTION. THE ON-SITE INSPECTIONS AND MATERIAL TESTS ARE THOSE INSPECTIONS AND TESTS DEEMED SUFFICIENT AND APPROPRIATE COMMONLY ACCEPTED ENGINEERING STANDARDS. CERTIFY DOES NOT MEAN OR IMPLY A GUARANTEE BY THE ENGINEER NOR DOES AN ENGINEER'S CERTIFICATION RELIEVE ANY OTHER PARTY FROM MEETING REQUIREMENTS IMPOSED BY CONTRACT, EMPLOYMENT, OR OTHER MEANS, INCLUDING MEETING COMMONLY ACCEPTED INDUSTRY PRACTICES.

DATE	DESCRIPTION	REVISION BLOCK
8/19/2020	DATE	
	DESCRIPTION	
	REVISION BLOCK	

APPROVED: DEPARTMENT OF PLANNING AND ZONING
Director: Department of Planning and Zoning
Chief, Division of Land Development
Chief, Development Engineering Division

4/5/20
10/18/20
9-26-20

PREPARED FOR
HOWARD COUNTY PUBLIC SCHOOL SYSTEM
9020 MENDENHALL COURT
SUITE 'C'
COLUMBIA, MARYLAND 21045
Attention: DANIEL LUBELEY
410-313-6805

ADDRESS CHART	
PARCEL NO.	STREET ADDRESS
	8500 RIDGELYS RUN ROAD
	JESSUP, MARYLAND 20794

PROJECT	SECTION/AREA	PARCEL
HIGH SCHOOL #13	N/A	102, 349, 235

PLAT NOS.	BLOCK NO.	ZONE	TAX MAP	ELEC. DIST.	CENSUS TR.
25928	18 & 24	R-12	42 & 43	SIXTH	606901
25922	13 & 19	RSC MXD-3			

WATER CODE: SEWER CODE:

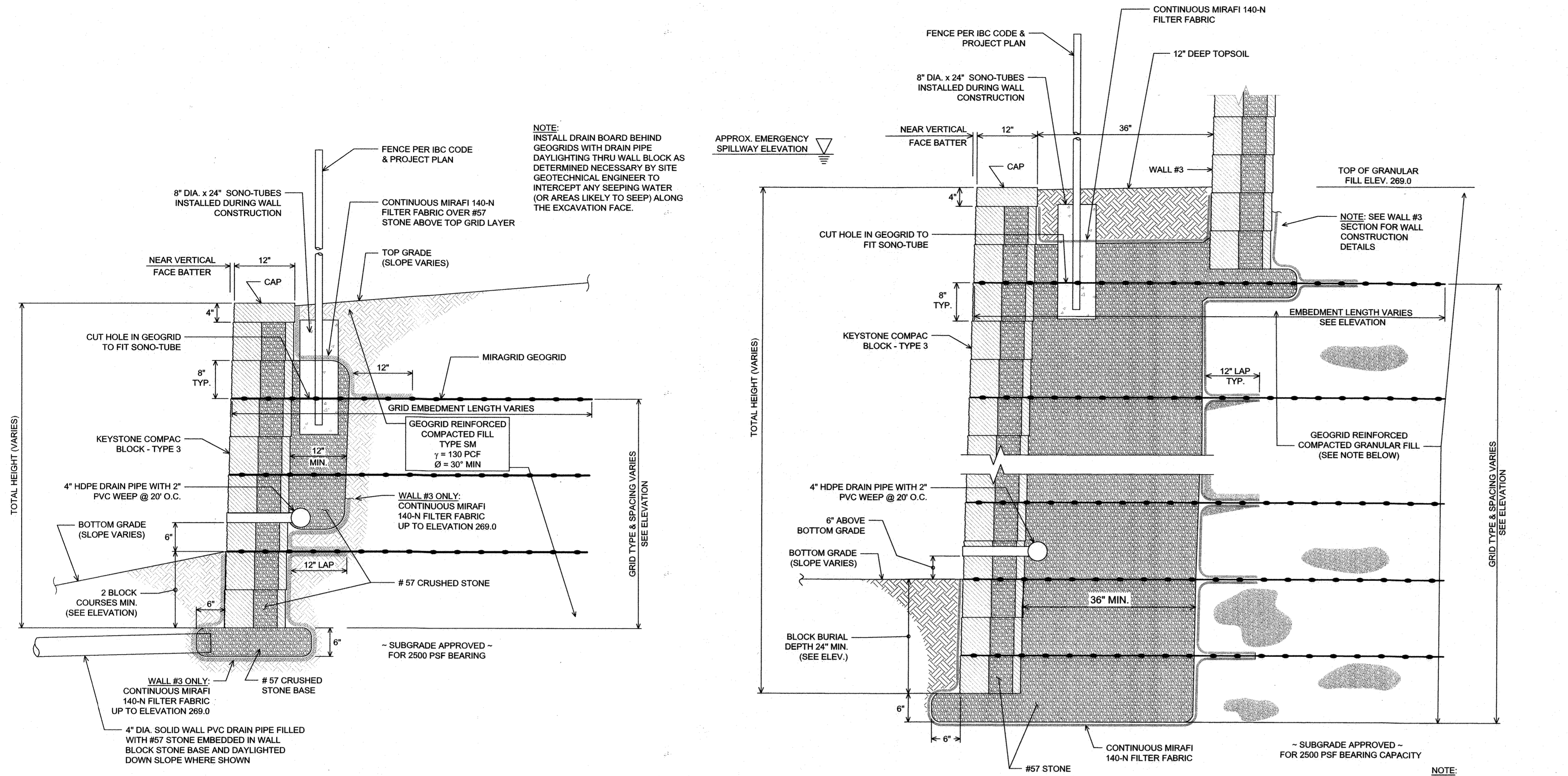
RETAINING WALL LOCATION PLAN

HIGH SCHOOL #13
PARCELS 'A' THRU 'D'

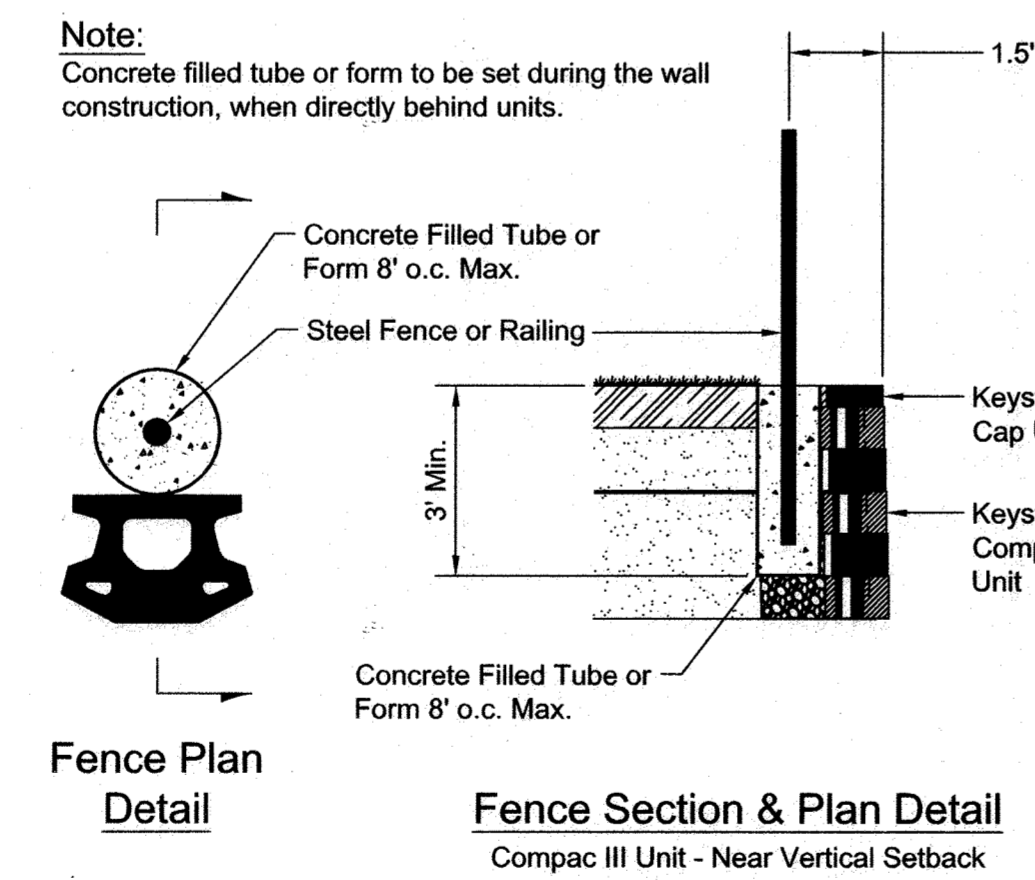
ZONED: R-5C MXD-3, R-5A-B MXD-3 AND R-12
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TAX MAP No.: 42 & 43 GRID No.: 24 & 19
SIXTH ELECTION DISTRICT HOWARD COUNTY, MARYLAND
SCALE: AS SHOWN DATE: AUGUST, 2020
SHEET 122 OF 131

SPECIFICATIONS

MODULAR CONCRETE BLOCK RETAINING WALL



- HOWARD COUNTY NOTES:**
- NO TREES SHALL BE PLANTED WITHIN 10 FEET OF THE TOP OF THE RETAINING WALL.
 - RETAINING WALLS SHALL ONLY BE CONSTRUCTED UNDER THE OBSERVATION OF A REGISTERED PROFESSIONAL ENGINEER AND A (NICET, WACEL, OR EQUIV.) CERTIFIED SOILS TECHNICIAN.
 - ONE SOIL BORING SHALL BE REQUIRED EVERY ONE HUNDRED FEET ALONG THE ENTIRE LENGTH OF THE WALL. COPIES OF ALL BORING REPORTS SHALL BE PROVIDED TO THE HOWARD COUNTY INSPECTOR PRIOR TO THE START OF CONSTRUCTION.
 - THE REQUIRED BEARING PRESSURE BENEATH THE WALL SYSTEM SHALL BE VERIFIED IN THE FIELD BY A CERTIFIED SOILS TECHNICIAN. TESTING DOCUMENTATION MUST BE PROVIDED TO THE HOWARD COUNTY INSPECTOR PRIOR TO START OF CONSTRUCTION. THE REQUIRED BEARING TEST SHALL BE THE DYNAMIC CONE PENETROMETER TEST ASTM STP-399.
 - THE SUITABILITY OF FILL MATERIAL SHALL BE CONFIRMED BY THE ON-SITE SOILS TECHNICIAN. EACH 8" LIFT MUST BE COMPACTED TO A MINIMUM 95% STANDARD PROCTOR DENSITY AND THE TESTING REPORT SHALL BE MADE AVAILABLE TO THE HOWARD COUNTY INSPECTOR UPON COMPLETION OF CONSTRUCTION.
 - WALLS SHALL NOT BE CONSTRUCTED ON UNCERTIFIED FILL MATERIALS.
 - WALLS SHALL NOT BE CONSTRUCTED WITHIN A HOWARD CO. RIGHT-OF-WAY OR EASEMENT.



- PART 1: GENERAL**
- 1.01 DESCRIPTION**
- A. WORK SHALL CONSIST OF FURNISHING AND CONSTRUCTION OF A MODULAR RETAINING WALL SYSTEM IN ACCORDANCE WITH THESE SPECIFICATIONS AND IN REASONABLY CLOSE CONFORMITY WITH THE LINES, GRADES, DESIGN, AND DIMENSIONS SHOWN ON THE PLANS.
- B. WORK INCLUDES PREPARING FOUNDATION SOIL, FURNISHING AND INSTALLING LEVELING PAD, UNIT FACING SYSTEM, UNIT DRAINAGE FILL AND REINFORCED BACKFILL TO THE LINES AND GRADES SHOWN ON THE CONSTRUCTION DRAWINGS.
- C. WORK INCLUDES FURNISHING AND INSTALLING GEOGRID SOIL REINFORCEMENT OF THE TYPE, SIZE, LOCATION, AND LENGTHS DESIGNATED ON THE CONSTRUCTION DRAWINGS.
- 1.02 DELIVERY, STORAGE AND HANDLING**
- A. CONTRACTOR SHALL CHECK ALL MATERIALS UPON DELIVERY TO ASSURE THAT THE PROPER TYPE, GRADE, COLOR, AND CERTIFICATION HAS BEEN RECEIVED.
- B. CONTRACTOR SHALL PROTECT ALL MATERIALS FROM DAMAGE DUE TO JOB SITE CONDITIONS AND IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS. DAMAGED MATERIALS SHALL NOT BE INCORPORATED INTO THE WORK.
- PART 2: PRODUCTS**
- 2.01 MODULAR CONCRETE RETAINING WALL UNITS**
- A. MODULAR CONCRETE UNITS SHALL CONFORM TO THE FOLLOWING ARCHITECTURAL REQUIREMENTS:
FACE COLOR - COLOR MAY BE SPECIFIED BY THE OWNER.
FACE FINISH - HARD SPLIT IN ANGULAR TRI-PLANE OR STRAIGHT FACE CONFIGURATION. OTHER FACE FINISHES WILL NOT BE ALLOWED WITHOUT WRITTEN APPROVAL OF OWNER.
BOND CONFIGURATION - RUNNING WITH BONDS NOMINALLY LOCATED AT MIDPOINT IN VERTICALLY ADJACENT UNITS, IN BOTH STRAIGHT AND CURVED ALIGNMENTS.
EXPOSED SURFACES OF UNITS SHALL BE FREE OF CHIPS, CRACKS OR OTHER IMPERFECTIONS VIEWED FROM A DISTANCE OF 20 FEET UNDER DIFFUSED LIGHTING.
- B. MODULAR CONCRETE UNITS SHALL CONFORM TO THE REQUIREMENTS OF ASTM C1372 - STANDARD SPECIFICATIONS FOR SEGMENTAL RETAINING WALL UNITS.
- C. MODULAR CONCRETE UNITS SHALL CONFORM TO THE FOLLOWING STRUCTURAL AND GEOMETRIC REQUIREMENTS MEASURED IN ACCORDANCE WITH ASTM C140 SAMPLING & TESTING CONCRETE MASONRY UNITS.
COMPRESSIVE STRENGTH = 3000 PSI MINIMUM; ABSORPTION = 8% MAXIMUM (6% MAXIMUM IN NORTHERN STATES) FOR STANDARD WEIGHT AGGREGATES;
DIMENSIONAL TOLERANCES = ±1/8" FROM NOMINAL UNIT DIMENSIONS NOT INCLUDING ROUGH SPLIT FACE ±1/4" FROM NOMINAL UNIT HEIGHT. UNIT SIZE - 8" (H) X 18" (W) X 12" (D) MINIMUM FOR COMPAC III UNITS; [UNIT SIZE - 6" (H) X 18" (W) X 18" (D) MINIMUM FOR STANDARD UNITS].
INTER-UNIT SHEAR STRENGTH - 1000 PLF MINIMUM AT 2 PSI NORMAL PRESSURE; AT 1 PSI NORMAL FORCE.
[GEOGRID/UNIT PEAK CONNECTION STRENGTH - 1000 PLF MINIMUM.]
- D. MODULAR CONCRETE UNITS SHALL CONFORM TO THE FOLLOWING CONSTRUCTABILITY REQUIREMENTS:
VERTICAL SETBACK = 1/8" PER COURSE (NEAR VERTICAL) OR 1 1/2" PER COURSE PER TYPICAL WALL SECTION; ALIGNMENT AND GRID ATTACHING MECHANISM - FIBERGLASS PINS, TWO PER UNIT MINIMUM; MAXIMUM HORIZONTAL GAP BETWEEN ERECTED UNITS SHALL BE 1/2 INCH.
- 2.02 SHEAR AND REINFORCEMENT PIN CONNECTORS**
- A. SHEAR AND REINFORCEMENT PIN CONNECTORS SHALL BE 1/2 INCH DIAMETER THERMOSET ISOPHTHALIC POLYESTER RESIN PULTRUDED FIBERGLASS REINFORCEMENT RODS OR EQUIVALENT TO PROVIDE CONNECTION BETWEEN VERTICALLY AND HORIZONTALLY ADJACENT UNITS AND GEOSYNTHETIC REINFORCEMENT WITH THE FOLLOWING REQUIREMENTS: FLEXURAL STRENGTH IN ACCORDANCE WITH ASTM D4476: 128,000 PSI MINIMUM; SHORT BEAM SHEAR IN ACCORDANCE WITH ASTM D4476: 6,400 PSI MINIMUM.
- B. SHEAR CONNECTORS SHALL BE CAPABLE OF HOLDING THE GEOGRID IN THE PROPER DESIGN POSITION DURING GRID PRE-TENSIONING AND BACKFILLING.
- 2.03 BASE LEVELING PAD MATERIAL**
- A. MATERIAL SHALL CONSIST OF A COMPACTED #57 CRUSHED STONE BASE OR CONCRETE AS SHOWN ON THE CONSTRUCTION DRAWINGS.
- 2.04 UNIT DRAINAGE FILL**
- A. UNIT DRAINAGE FILL SHALL CONSIST OF #57 CRUSHED STONE.
- 2.05 REINFORCED BACKFILL**
- A. REINFORCED BACKFILL SHALL BE TYPE SM, UNLESS OTHERWISE SHOWN, IN ACCORDANCE WITH ASTM D422 AND MEET OTHER PROPERTIES SHOWN ON THE PLAN:
- | SIEVE SIZE | PERCENT PASSING |
|------------|-----------------|
| 1 1/2 INCH | 100 |
| 3/4 INCH | 100-75 |
| NO. 40 | 0-60 |
| NO. 200 | 0-35 |
- PLASTICITY INDEX (PI) <15 AND LIQUID LIMIT <40, PER ASTM D4318.
- B. MATERIAL CAN BE SITE EXCAVATED SOILS WHERE THE ABOVE REQUIREMENTS CAN BE MET. UNSUITABLE SOILS FOR BACKFILL (HIGHLY PLASTIC CLAYS OR ORGANIC SOILS) SHALL NOT BE USED IN THE REINFORCED SOIL MASS.
- C. CONTRACTOR SHALL SUBMIT REINFORCED FILL SAMPLE AND LABORATORY TEST RESULTS FOR APPROVAL PRIOR TO THE USE OF ANY REINFORCED BACKFILL MATERIAL.
- 2.06 GEOGRID SOIL REINFORCEMENT**
- A. GEOSYNTHETIC REINFORCEMENT SHALL CONSIST OF GEOGRIDS MANUFACTURED SPECIFICALLY FOR SOIL REINFORCEMENT APPLICATIONS AND SHALL BE MANUFACTURED FROM HIGH TENACITY POLYESTER (PET) YARN.
- 2.07 DRAINAGE PIPE**
- A. THE DRAINAGE PIPE SHALL BE PERFORATED CORRUGATED HDPE PIPE MANUFACTURED IN ACCORDANCE WITH ASTM D1248.
- 2.08 GEOTEXTILE FILTER FABRIC**
- A. WHEN REQUIRED, FILTER FABRIC SHALL BE A NEEDLE-PUNCHED NONWOVEN FABRIC MEETING REQUIREMENTS OF AASHTO M288.
- PART 3 EXECUTION**
- 3.01 EXCAVATION**
- A. CONTRACTOR SHALL EXCAVATE TO THE LINES AND GRADES SHOWN ON THE CONSTRUCTION DRAWINGS. OWNER'S REPRESENTATIVE SHALL BE RESPONSIBLE FOR INSPECTING AND APPROVING THE SUBGRADE PRIOR TO PLACEMENT OF LEVELING MATERIAL OR FILL SOILS.
- 3.02 BASE LEVELING PAD**
- A. LEVELING PAD MATERIAL SHALL BE PLACED TO THE LINES AND GRADES SHOWN ON THE CONSTRUCTION DRAWINGS. TO A MINIMUM THICKNESS OF 6 INCHES AND EXTEND LATERALLY A MINIMUM OF 6" IN FRONT AND BEHIND THE MODULAR WALL UNIT.
- B. LEVELING PAD SHALL BE PREPARED TO INSURE FULL CONTACT TO THE BASE SURFACE OF THE CONCRETE UNITS.
- C. COMPACT TO MINIMUM 95% OF STANDARD PROCTOR DENSITY PER ASTM D698.
- 3.03 MODULAR UNIT INSTALLATION**
- A. FIRST COURSE OF UNITS SHALL BE PLACED ON THE LEVELING PAD AT THE APPROPRIATE LINE AND GRADE. ALIGNMENT AND LEVEL SHALL BE CHECKED IN ALL DIRECTIONS AND INSURE THAT ALL UNITS ARE IN FULL CONTACT WITH THE BASE AND PROPERLY SEATED.
- B. PLACE THE FRONT OF UNITS SIDE-BY-SIDE. DO NOT LEAVE GAPS BETWEEN ADJACENT UNITS. LAYOUT OF CORNERS AND CURVES SHALL BE IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.
- C. INSTALL SHEAR/CONNECTING DEVICES PER MANUFACTURER'S RECOMMENDATIONS.
- D. PLACE AND COMPACT DRAINAGE FILL WITHIN AND BEHIND WALL UNITS. NOT LESS THAN 1.3 CU. FT. OF DRAINAGE FILL SHALL BE USED FOR EACH SQ. FT. OF WALL FACE, UNLESS NOTED OTHERWISE.
- E. PLACE AND COMPACT REINFORCED BACKFILL SOIL BEHIND DRAINAGE FILL. FOLLOW WALL ERECTION AND DRAINAGE FILL CLOSELY WITH BACKFILL.
- F. MAXIMUM STACKED VERTICAL HEIGHT OF WALL UNITS, PRIOR TO UNIT DRAINAGE FILL AND BACKFILL PLACEMENT AND COMPACTION, SHALL NOT EXCEED TWO COURSES.
- 3.04 STRUCTURAL GEOGRID INSTALLATION**
- A. GEOGRID SHALL BE ORIENTED WITH THE HIGHEST STRENGTH AXIS PERPENDICULAR TO THE WALL ALIGNMENT.
- B. GEOGRID REINFORCEMENT SHALL BE PLACED AT THE STRENGTHS, LENGTHS, AND ELEVATIONS SHOWN ON THE CONSTRUCTION DRAWINGS OR AS DIRECTED BY THE ENGINEER.
- C. THE GEOGRID SHALL BE LAID HORIZONTALLY ON COMPACTED BACKFILL AND ATTACHED TO THE MODULAR WALL UNIT PINS AND WITHIN 1 INCH OF THE FACE OF THE UNITS. PLACE THE NEXT COURSE OF MODULAR CONCRETE UNITS OVER THE GEOGRID. THE GEOGRID SHALL BE PULLED TIGHT AND ANCHORED PRIOR TO BACKFILL PLACEMENT ON THE GEOGRID.
- D. GEOGRID REINFORCEMENTS SHALL BE CONTINUOUS THROUGHOUT THEIR EMBEDMENT LENGTHS AND PLACED SIDE-BY-SIDE TO PROVIDE 100% COVERAGE AT EACH LEVEL. SPLICED CONNECTIONS BETWEEN SHORTER PIECES OF GEOGRID OR GAPS GREATER THAN 2 INCHES BETWEEN ADJACENT PIECES OF GEOGRID ARE NOT PERMITTED.
- 3.05 REINFORCED BACKFILL PLACEMENT**
- A. REINFORCED BACKFILL SHALL BE PLACED, SPREAD, AND COMPACTED IN SUCH A MANNER THAT MINIMIZES THE DEVELOPMENT OF SLACK IN THE GEOGRID AND INSTALLATION DAMAGE TO GEOGRID.
- B. REINFORCED BACKFILL SHALL BE PLACED AND COMPACTED IN LIFTS NOT TO EXCEED 6 INCHES WHERE HAND OPERATED COMPACTION EQUIPMENT IS USED, OR 8 - 10 INCHES WHERE HEAVY COMPACTION EQUIPMENT IS USED. LIFT THICKNESS SHALL BE DECREASED TO ACHIEVE THE REQUIRED DENSITY AS REQUIRED.
- C. REINFORCED BACKFILL SHALL BE COMPACTED TO 95% OF THE MAXIMUM DENSITY AS DETERMINED BY ASTM D698. THE MOISTURE CONTENT OF THE BACKFILL MATERIAL PRIOR TO AND DURING COMPACTION SHALL BE UNIFORMLY DISTRIBUTED THROUGHOUT EACH LAYER AND SHALL BE +0% TO -3% OF OPTIMUM.
- D. ONLY LIGHTWEIGHT HAND-OPERATED COMPACTION EQUIPMENT SHALL BE ALLOWED WITHIN 3 FEET FROM THE BACK OF THE MODULAR CONCRETE UNIT.
- E. TRACKED CONSTRUCTION EQUIPMENT SHALL NOT BE OPERATED DIRECTLY UPON THE GEOGRID REINFORCEMENT. A MINIMUM FILL THICKNESS OF 6 INCHES IS REQUIRED PRIOR TO OPERATION OF TRACKED VEHICLES OVER THE GEOGRID. TRACKED VEHICLE TURNING SHOULD BE KEPT TO A MINIMUM TO PREVENT TRACKS FROM DISPLACING THE FILL AND DAMAGING OR DISPLACING THE MODULAR CONCRETE UNITS OR GEOGRID.
- F. RUBBER TIRE EQUIPMENT MAY PASS OVER GEOGRID REINFORCEMENT AT SLOW SPEEDS, LESS THAN 10 MPH. SUDDEN BRAKING AND TURNING SHALL BE AVOIDED.
- G. AT THE END OF EACH DAY'S OPERATION, THE CONTRACTOR SHALL SLOPE THE LAST LIFT OF REINFORCED BACKFILL AWAY FROM THE WALL UNITS TO DIRECT RUNOFF AWAY FROM WALL FACE. THE CONTRACTOR SHALL NOT ALLOW SURFACE RUNOFF FROM ADJACENT AREAS TO ENTER THE WALL CONSTRUCTION SITE.
- 3.06 CAP INSTALLATION**
- A. PRIOR TO PLACEMENT OF CAP UNITS, THE UPPER SURFACE OF THE TOP COURSE WALL UNITS SHALL BE CLEANED OF SOIL AND ANY OTHER MATERIAL.
- B. CAP UNITS SHALL BE GLUED TO UNDERLYING UNITS WITH AN ALL-WEATHER EXTERIOR CONSTRUCTION ADHESIVE RECOMMENDED BY THE MANUFACTURER.
- 3.07 FIELD QUALITY CONTROL**
- A. THE OWNER SHALL ENGAGE INSPECTION AND TESTING SERVICES, INCLUDING INDEPENDENT LABORATORIES, TO PROVIDE QUALITY ASSURANCE AND TESTING SERVICES DURING CONSTRUCTION.
- B. AS A MINIMUM, QUALITY ASSURANCE TESTING SHOULD INCLUDE FOUNDATION SOIL INSPECTION, RETAINED SOIL AND BACKFILL TESTING, VERIFICATION OF DESIGN PARAMETERS, AND OBSERVATION OF CONSTRUCTION FOR GENERAL COMPLIANCE WITH DESIGN DRAWINGS AND SPECIFICATIONS.

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DESIGNED BY: AM DRAWN BY: AM
APPROVED BY: RWS HCEA JOB NO.: 19428A

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8/19/2020

TIMOTHY P. HILL, P.E.

AS-BUILT CERTIFICATION
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APPROVED: Department of PLANNING AND ZONING

Director: _____ Date: 10-5-20

Chief, Division of Land Development: _____ Date: 8-26-20

Chief, Development Engineering Division: _____

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Attention: DANIEL LUBELEY
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ADDRESS CHART

PARCEL NO.	STREET ADDRESS
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PROJECT: HIGH SCHOOL #13 SECTION/AREA: N/A PARCEL: 102, 349, 235

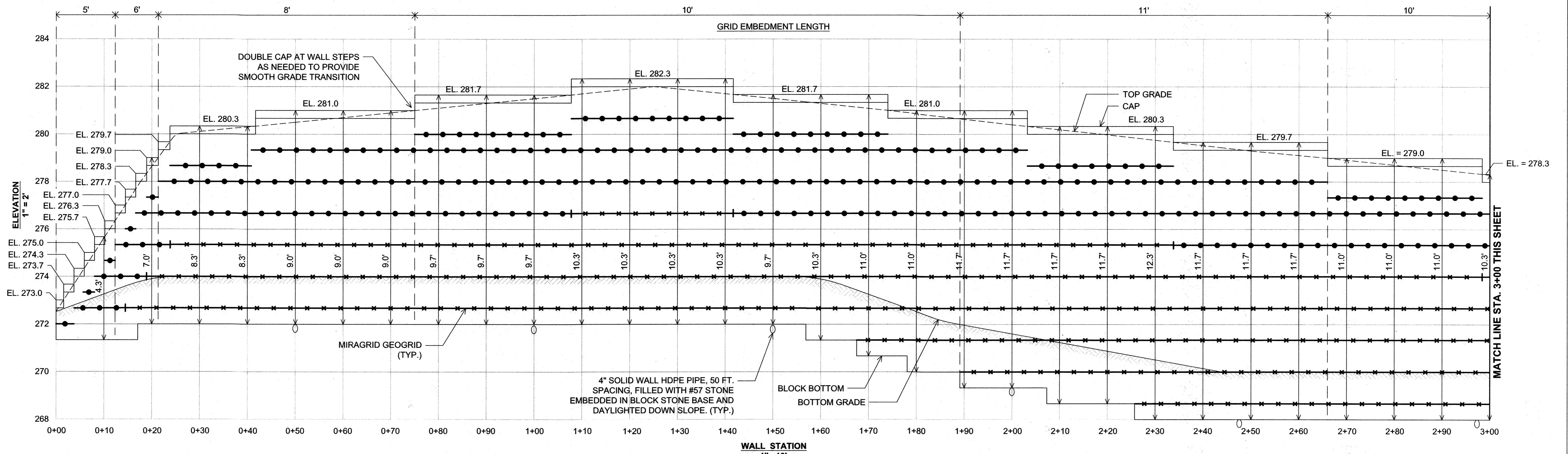
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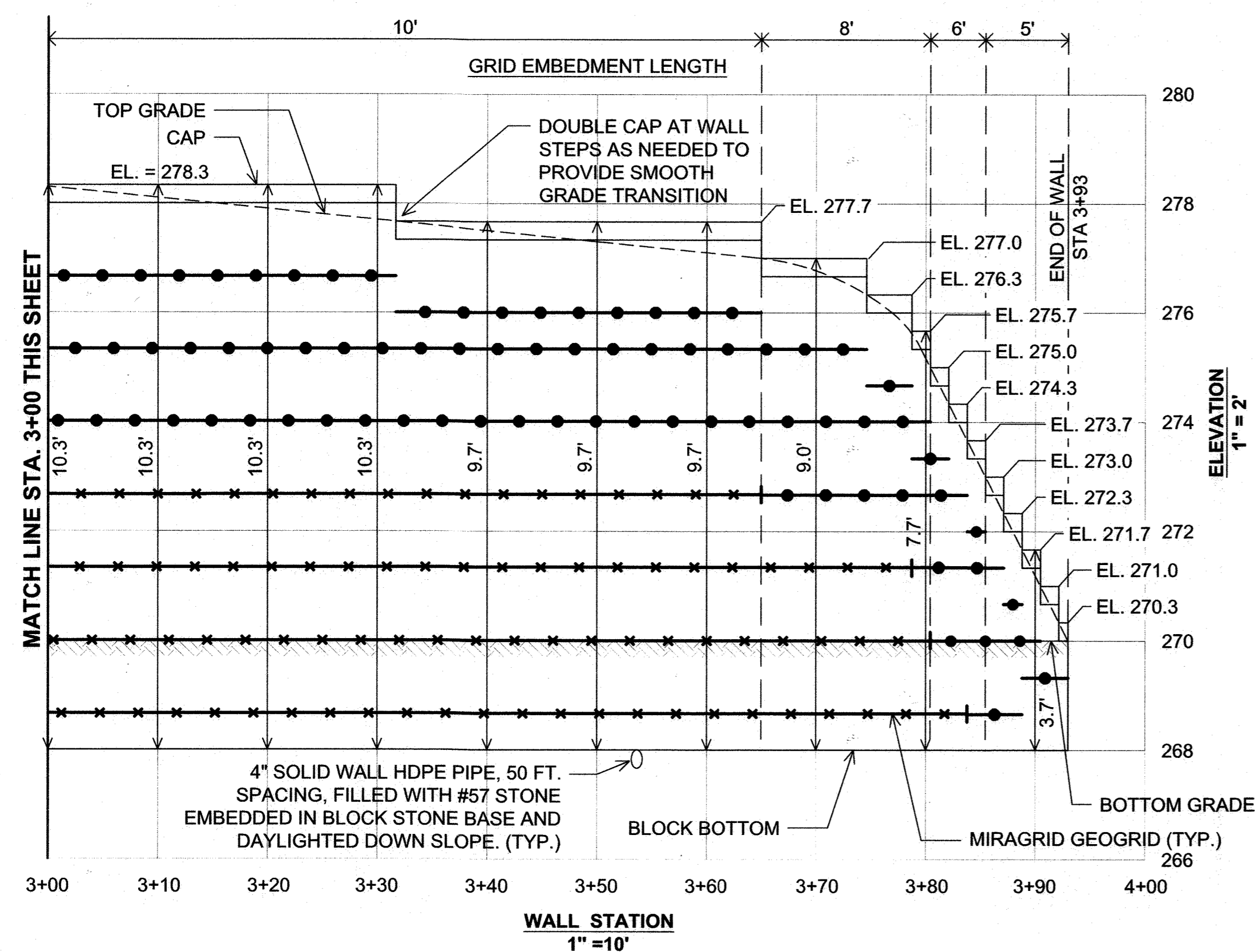
RETAINING WALL CONSTRUCTION DETAILS

HIGH SCHOOL #13
PARCELS 'A' THRU 'D'

ZONED: R-5C MXD-3, R-5A-8 MXD-3 AND R-12
PARCEL NOS.: 102, 349, 235
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SHEET 123 OF 131



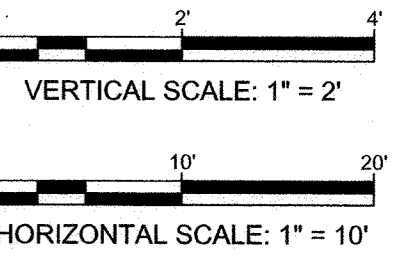
WALL #1 ELEVATION



WALL #1 ELEVATION

GEOGRID KEY

- MIRAGRID 3XT GEOGRID
- ××××× MIRAGRID 5XT GEOGRID



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DATE	DESCRIPTION	REVISION BLOCK

APPROVED: DEPARTMENT OF PLANNING AND ZONING
 Director - Department of Planning and Zoning *[Signature]* 10/5/20
 Date
 Chief, Division of Land Development *[Signature]* 8-26-20
 Date
 Chief, Development Engineering Division

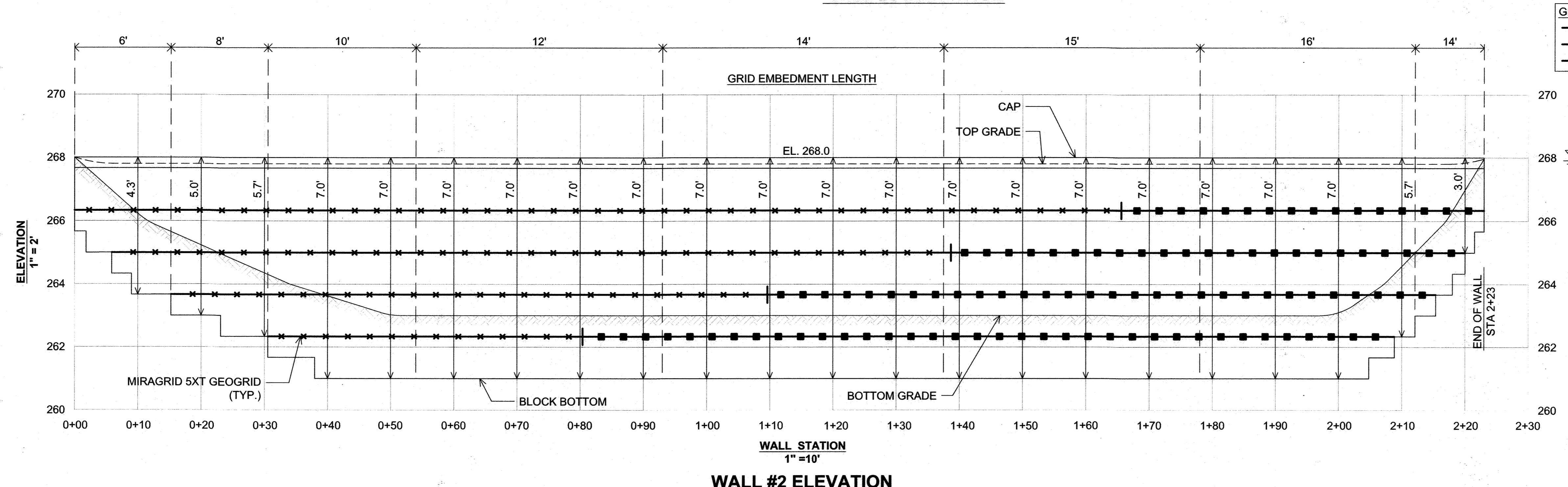
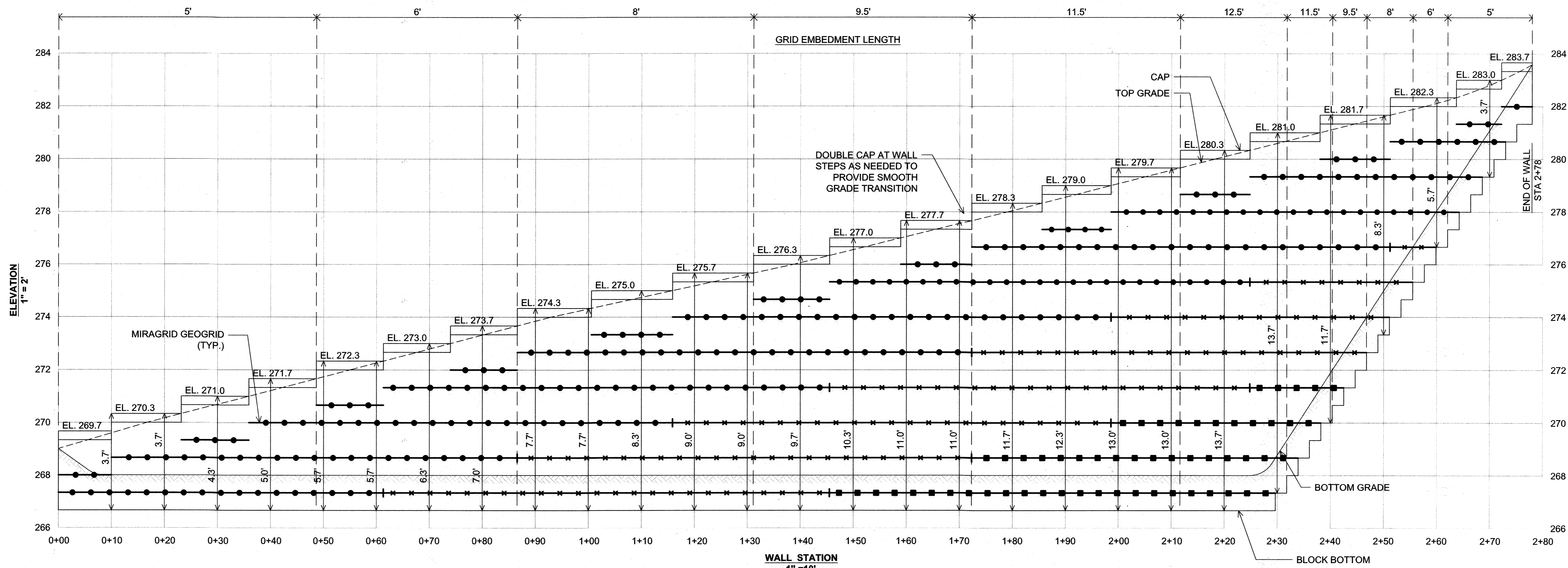
PREPARED FOR
 HOWARD COUNTY PUBLIC SCHOOL SYSTEM
 9020 MENDENHALL COURT
 SUITE 'C'
 COLUMBIA, MARYLAND 21045
 Attention: DANIEL LUBELEY
 410-313-6805

ADDRESS CHART					
PARCEL NO.	STREET ADDRESS				
	8500 RIDGELYS RUN ROAD				
	JESSUP, MARYLAND 20794				
PROJECT	SECTION/AREA	PARCEL			
HIGH SCHOOL #13	N/A	102, 349, 235			
PLAT NOS.	BLOCK NO.	ZONE	TAX MAP	ELEC. DIST.	CENSUS TR.
A5529- 25532	18 & 24 13 & 19	R-12 RSC MXD-3 65A-8 MXD-3	42 & 43	SIXTH	606901
WATER CODE			SEWER CODE		

RETAINING WALL #1 ELEVATION

HIGH SCHOOL #13
 PARCELS 'A' THRU 'D'

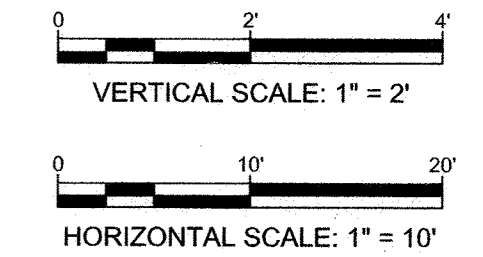
ZONED: R-5C MXD-3, R-5A-8 MXD-3 AND R-12
 PARCEL Nos.: 102, 349, 235
 TAX MAP No.: 42 & 43 GRID No.: 24 & 19
 SIXTH ELECTION DISTRICT HOWARD COUNTY, MARYLAND
 SCALE: AS SHOWN DATE: AUGUST, 2020
 SHEET 124 OF 131



GEOGRID KEY

- MIRAGRID 3XT GEOGRID
- MIRAGRID 5XT GEOGRID
- MIRAGRID 7XT GEOGRID

NOTE: FILL IN WALL #2 GEOGRID ZONE SHALL BE CR-6 OR SIMILAR LOW FINES NON PLASTIC HIGHLY GRANULAR MATERIAL APPROVED BY HCEA.



FISHER, COLLINS & CARTER, INC.
 CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
 CENTENNIAL SQUARE OFFICE PARK - 10272 BALTIMORE NATIONAL PIKE
 ELICOTT CITY, MARYLAND 21042
 (410) 461-2855

HILLIS-CARNES ENGINEERING ASSOCIATES
 10975 Guilford Road, Suite A Annapolis Junction, Maryland
 Phone: (410) 880-4788 www.hcea.com Fax: (410) 880-4098

DESIGNED BY: AM DRAWN BY: AM
 APPROVED BY: RWS HCEA JOB NO.: 19428A

PROFESSIONAL ENGINEER
 STATE OF MARYLAND
 TIMOTHY B. MILL, P.E.

"PROFESSIONAL CERTIFICATION. I HEREBY CERTIFY THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 14808, EXPIRATION DATE: FEBRUARY 27, 2022."

DATE: 8/19/2020

TIMOTHY B. MILL, P.E.

AS-BUILT CERTIFICATION
 I HEREBY CERTIFY THAT THE FACILITY SHOWN ON THIS PLAN WAS CONSTRUCTED AS SHOWN ON THE "AS-BUILT" PLANS AND MEETS THE APPROVED PLANS AND SPECIFICATIONS.

SIGNATURE: P.E. No.: DATE:

CERTIFY MEANS TO STATE OR DECLARE A PROFESSIONAL OPINION BASED UPON ON-SITE INSPECTIONS AND MATERIAL TESTS WHICH ARE CONDUCTED DURING CONSTRUCTION. THE ON-SITE INSPECTIONS AND MATERIAL TESTS ARE THOSE INSPECTIONS AND TESTS DEEMED SUFFICIENT AND APPROPRIATE COMMONLY ACCEPTED ENGINEERING STANDARDS. CERTIFY DOES NOT MEAN OR IMPLY A GUARANTEE BY THE ENGINEER NOR DOES AN ENGINEER'S CERTIFICATION RELIEVE ANY OTHER PARTY FROM MEETING REQUIREMENTS IMPOSED BY CONTRACT, EMPLOYMENT, OR OTHER MEANS, INCLUDING MEETING COMMONLY ACCEPTED INDUSTRY PRACTICES.

APPROVED: DEPARTMENT OF PLANNING AND ZONING

Director - Department of Planning and Zoning

10/5/20

10/5/20

8/28/20

PREPARED FOR
 HOWARD COUNTY PUBLIC SCHOOL SYSTEM
 9020 MENDENHALL COURT
 SUITE 'C'
 COLUMBIA, MARYLAND 21045
 Attention: DANIEL LUBELEY
 410-313-6805

ADDRESS CHART

PARCEL NO.	STREET ADDRESS
	8500 RIDGELYS RUN ROAD JESSUP, MARYLAND 20794

PROJECT: HIGH SCHOOL #13

SECTION/AREA	PARCEL
N/A	102, 349, 235

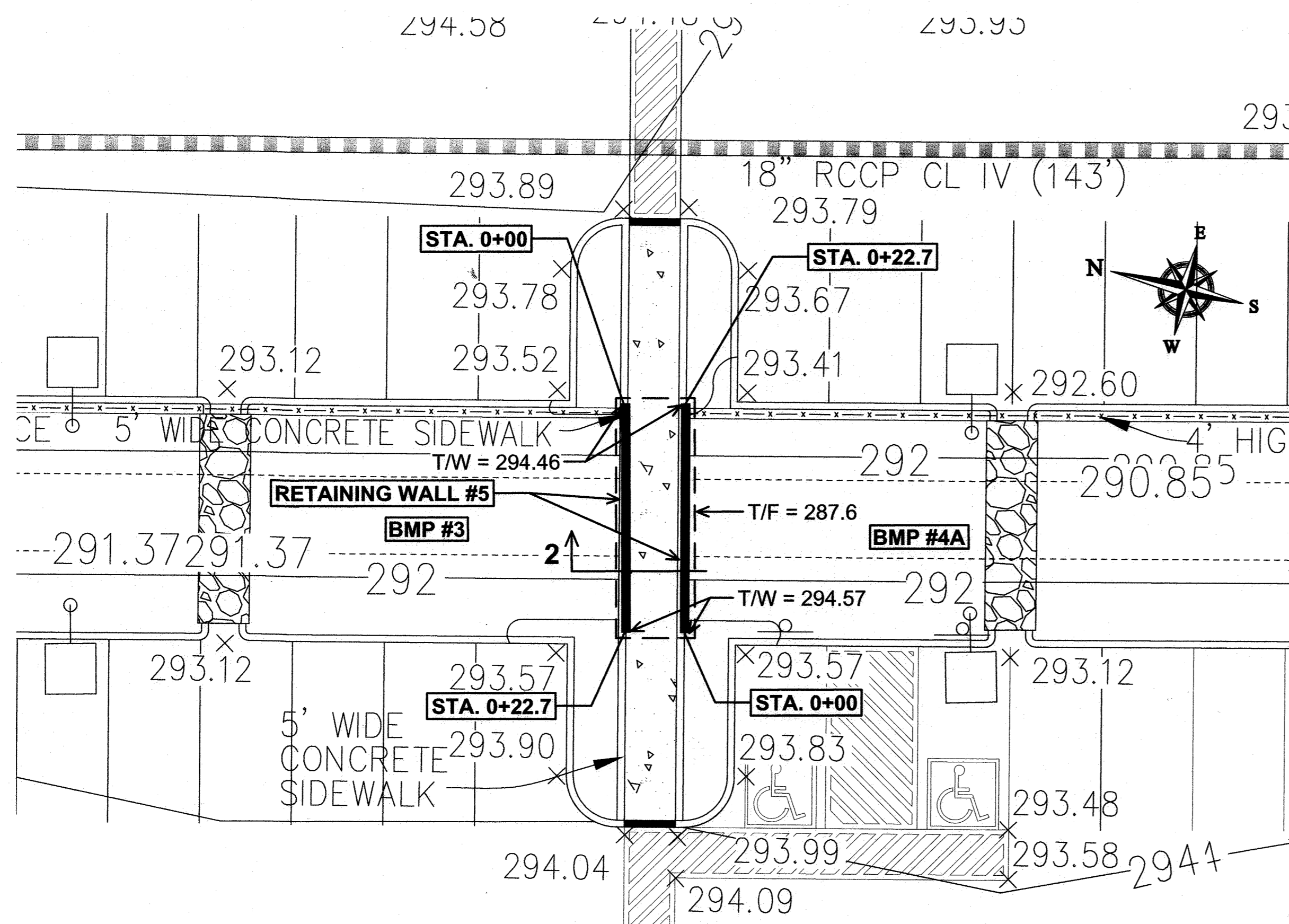
PLAT NOS.	BLOCK NO.	ZONE	TAX MAP	ELEC. DIST.	CENSUS TR.
16628 25532	18 & 24 13 & 19	R-12 RSC MXD-3 RSC-2 MXD-3	42 & 43	SIXTH	606901

WATER CODE: --- SEWER CODE: ---

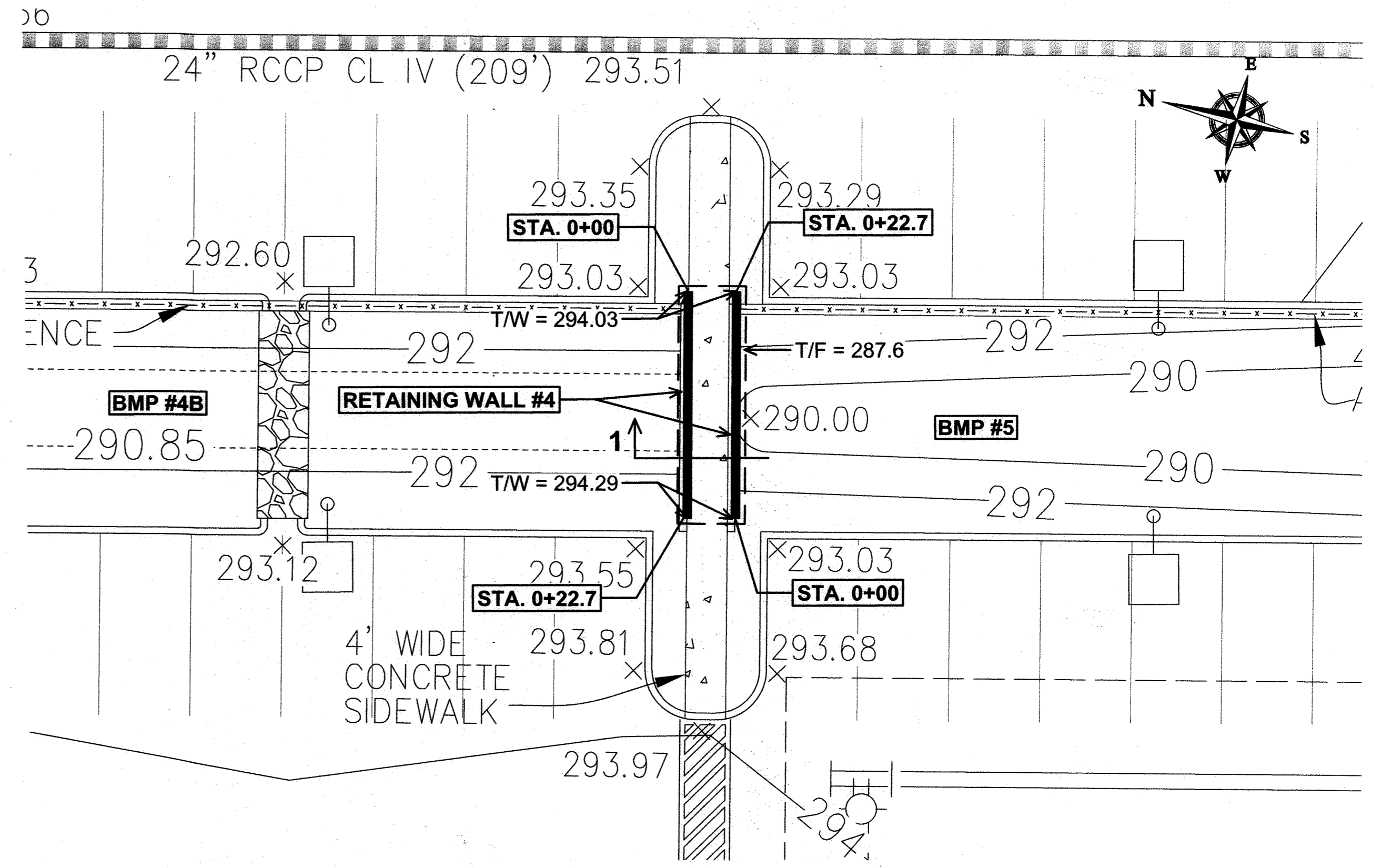
RETAINING WALL #2 & #3 ELEVATIONS

HIGH SCHOOL #13
 PARCELS 'A' THRU 'D'

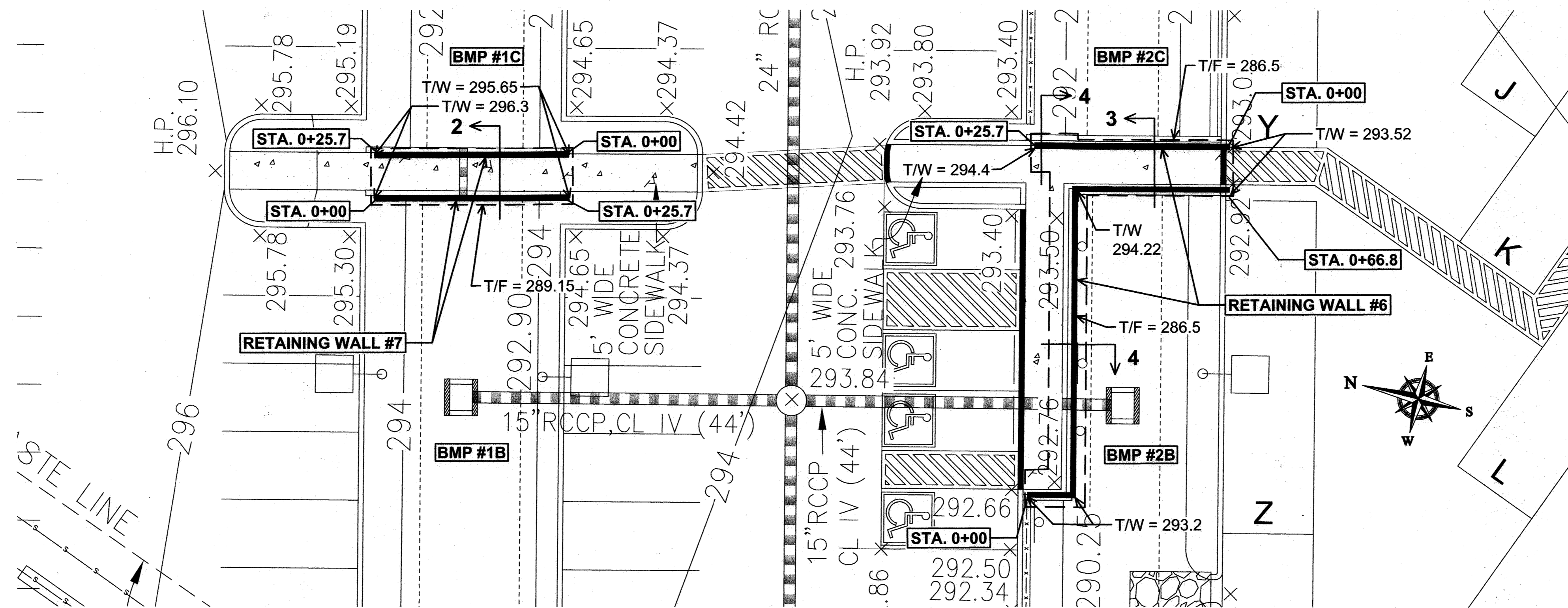
ZONED: R-5C MXD-3, R-5A-8 MXD-3 AND R-12
 PARCEL Nos.: 102, 349, 235
 TAX MAP No.: 42 & 43 GRID No.: 24 & 19
 SIXTH ELECTION DISTRICT HOWARD COUNTY, MARYLAND
 SCALE: AS SHOWN DATE: AUGUST, 2020
 SHEET 125 OF 131



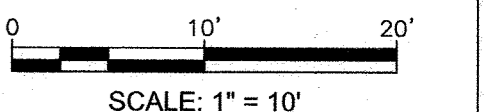
WALL #5 LOCATION PLAN
1" = 10'



WALL #4 LOCATION PLAN
1" = 10'



WALL #6 & #7 LOCATION PLAN
1" = 10'



FISHER, COLLINS & CARTER, INC.
CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
10975 Guilford Road, Suite A Annapolis Junction, Maryland
Phone: (410) 880-4788 www.fcce.com Fax: (410) 880-4098
(410) 461-3855

HILLIS-CARNES
ENGINEERING ASSOCIATES
10975 Guilford Road, Suite A Annapolis Junction, Maryland
Phone: (410) 880-4788 www.hce.com Fax: (410) 880-4098
DESIGNED BY: TJC DRAWN BY: AM
APPROVED BY: TJC HCEA JOB NO.: 19428A



"PROFESSIONAL CERTIFICATION. I HEREBY CERTIFY THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 14808, EXPIRATION DATE: FEBRUARY 27, 2022."

Timothy B. Hill
TIMOTHY B. HILL, P.E. DATE: 8/19/2020

AS-BUILT CERTIFICATION
I HEREBY CERTIFY THAT THE FACILITY SHOWN ON THIS PLAN WAS CONSTRUCTED AS SHOWN ON THE "AS-BUILT" PLANS AND MEETS THE APPROVED PLANS AND SPECIFICATIONS.

SIGNATURE: *[Signature]* P.E. No. DATE:
CERTIFY MEANS TO STATE OR DECLARE A PROFESSIONAL OPINION BASED UPON ON-SITE INSPECTIONS AND MATERIAL TESTS WHICH ARE CONDUCTED DURING CONSTRUCTION. THE ON-SITE INSPECTIONS AND MATERIAL TESTS ARE THOSE INSPECTIONS AND TESTS DEEMED SUFFICIENT AND APPROPRIATE COMMONLY ACCEPTED ENGINEERING STANDARDS. CERTIFY DOES NOT MEAN OR IMPLY A GUARANTEE BY THE ENGINEER NOR DOES AN ENGINEER'S CERTIFICATION RELIEVE ANY OTHER PARTY FROM MEETING REQUIREMENTS IMPOSED BY CONTRACT, EMPLOYMENT, OR OTHER MEANS, INCLUDING MEETING COMMONLY ACCEPTED INDUSTRY PRACTICES.

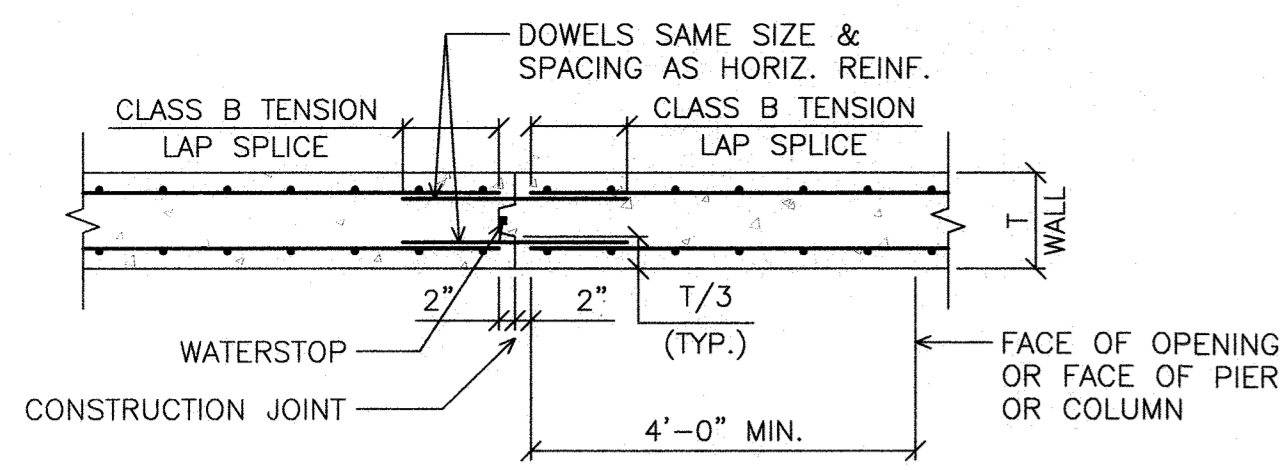
DATE	DESCRIPTION
	REVISION BLOCK
APPROVED: DEPARTMENT OF PLANNING AND ZONING	
Director - Department of Planning and Zoning	Date: 10/5/20
Chief, Division of Land Development	Date: 8/20/20
Chief, Development Engineering Division	Date: 8/20/20

PREPARED FOR
HOWARD COUNTY PUBLIC SCHOOL SYSTEM
9020 MENDENHALL COURT
SUITE 'C'
COLUMBIA, MARYLAND 21045
Attention: DANIEL LUBELEY
410-313-8203

ADDRESS CHART					
PARCEL NO.	STREET ADDRESS				
	8500 RIDGELY'S RUN ROAD				
	JESSUP, MARYLAND 20794				
PROJECT	BLOCK NO.	ZONE	TAX MAP	ELEC. DIST.	PARCEL
HIGH SCHOOL #13	10 & 24	R-12	42 & 43	SIXTH	102, 349, 235
PLAT NOS. 20520-25522	13 & 19	65A-2 MXD-3	42 & 43	SIXTH	606901
WATER CODE		SEWER CODE			

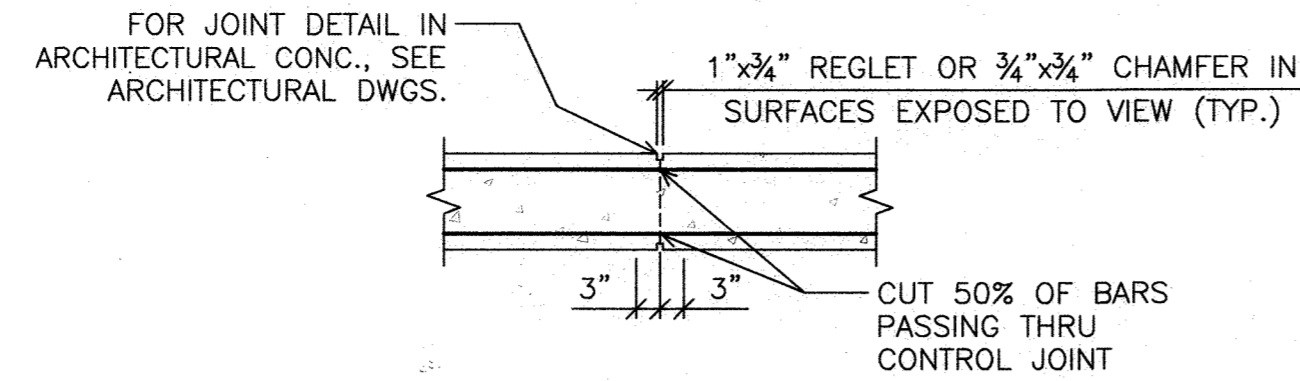
CONCRETE WALL LOCATION PLANS

HIGH SCHOOL #13
PARCELS 'A' THRU 'D'
ZONED: R-5C MXD-3, R-5A-8 MXD-3 AND R-12
PARCEL Nos.: 102, 349, 235
TAX MAP No.: 42 & 43 GRID No.: 24 & 19
SIXTH ELECTION DISTRICT HOWARD COUNTY, MARYLAND
SCALE: AS SHOWN DATE: AUGUST, 2020
SHEET 126 OF 131



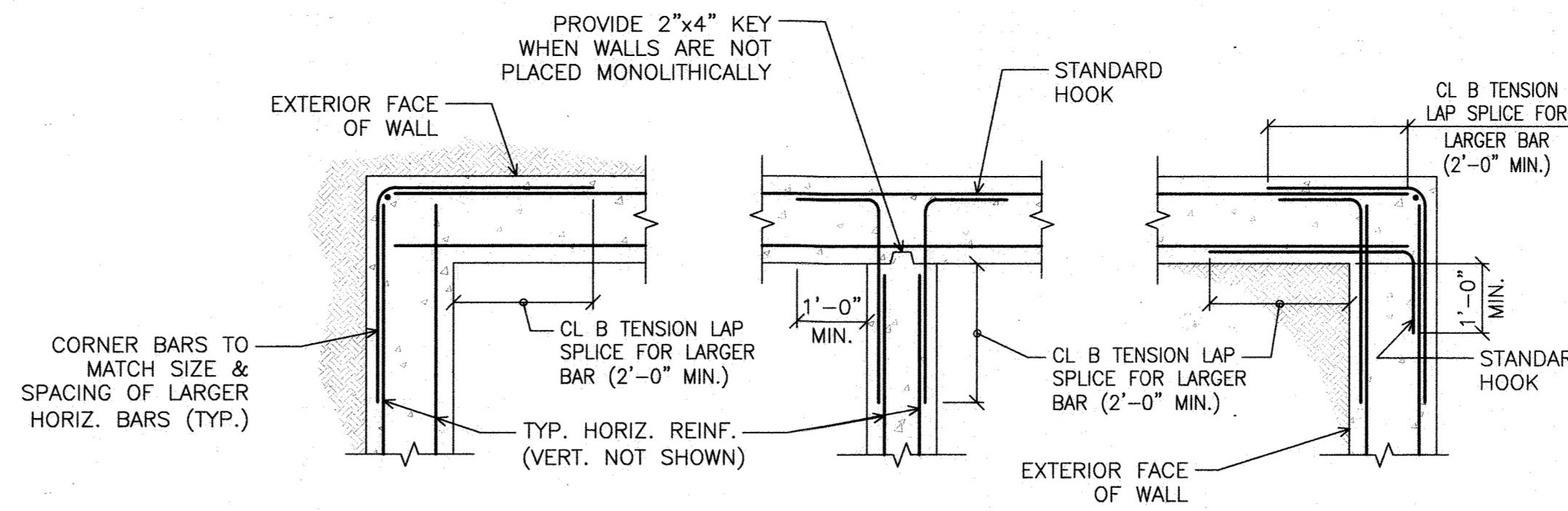
NOTE:
SEE CONTROL JOINT DETAIL IF CONSTRUCTION JOINT OCCURS AT C.J. LOCATION.

TYPICAL VERTICAL CONSTRUCTION JOINT IN WALL
NOT TO SCALE



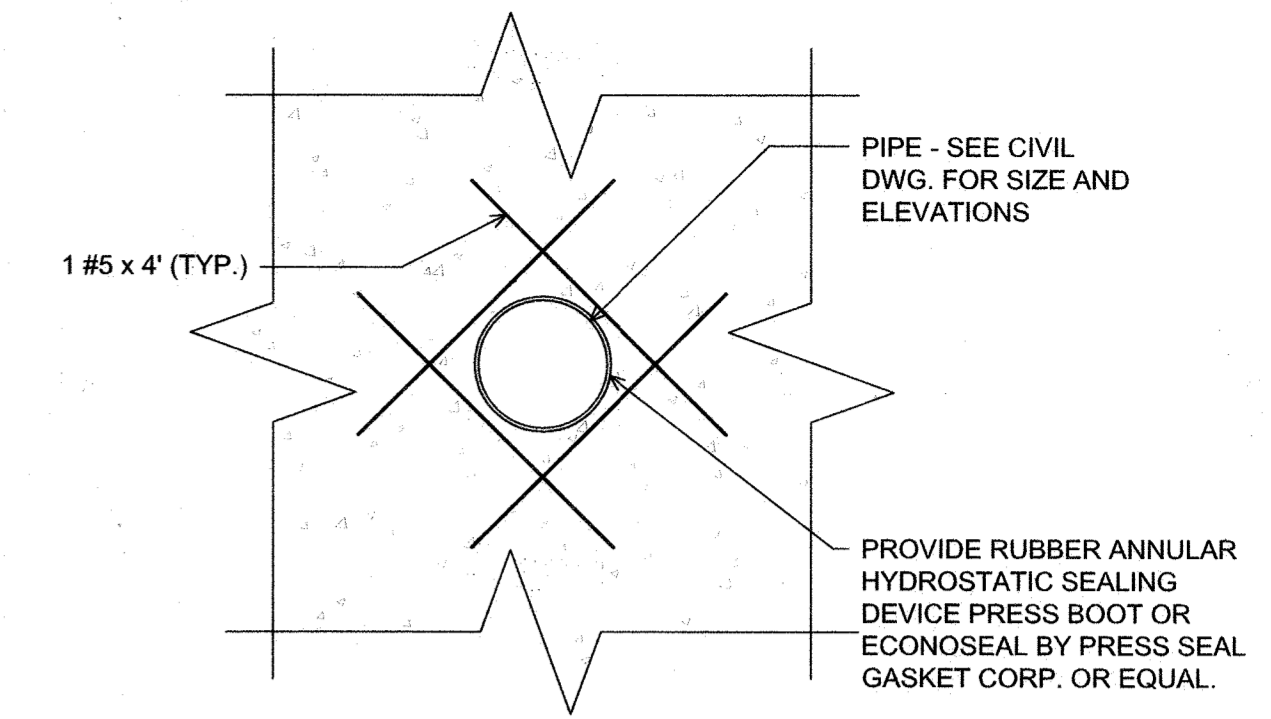
NOTE:
PROVIDE CONTROL JOINTS AT LOCATIONS INDICATED ON PLAN OR ARCHITECTURAL DRAWINGS. PROVIDE AT 30'-0" O.C. MAXIMUM WHERE NOT SHOWN, BUT NO CLOSER THAN 12" FROM COLUMNS, PIERS OR OPENINGS.

VERTICAL CONTROL JOINT IN CONCRETE WALL
NOT TO SCALE



OUTSIDE CORNER INTERSECTION INSIDE CORNER

CONCRETE WALL BAR BENDING DETAIL
NOT TO SCALE



PIPE PENETRATION THRU CONCRETE WALL
NOT TO SCALE

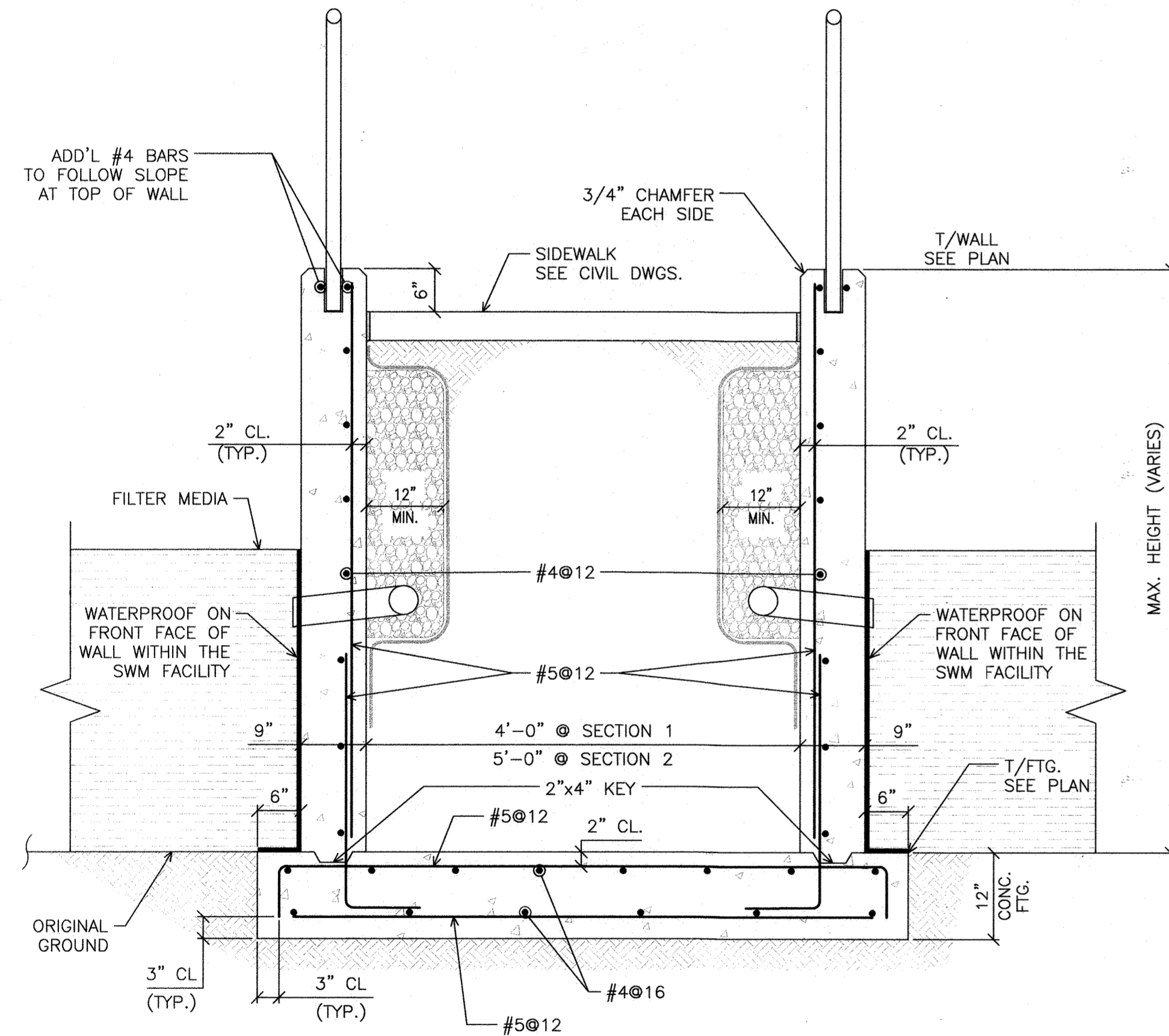
GENERAL NOTES

CONCRETE

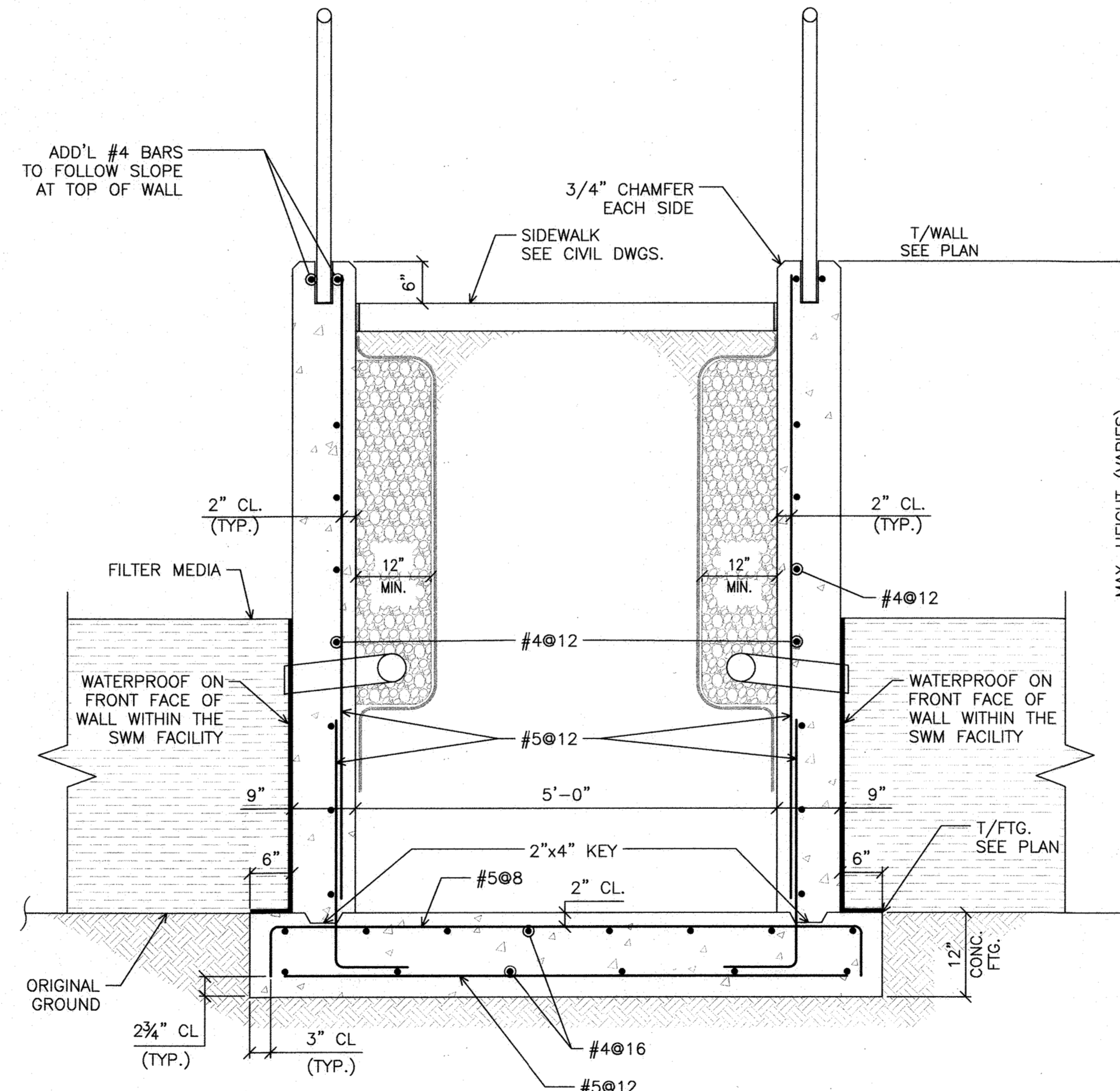
- CONCRETE WORK SHALL CONFORM TO ACI 301 SPECIFICATIONS FOR STRUCTURAL CONCRETE.
- CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3,000 PSI AT 28 DAYS WITH A MINIMUM CEMENT CONTENT OF 600 POUNDS PER CUBIC YARD.
- ALL CONCRETE SHALL HAVE A SLUMP OF NO GREATER THAN 4" TO WITHIN A TOLERANCE OF 1".
- ALL EXPOSED CONCRETE SHALL BE AIR-ENTRAINED, 6% (WITHIN 1% TOLERANCE), CONFORMING TO ASTM C260.
- ALL EXPOSED CONCRETE CORNERS SHALL BE FORMED WITH 3/4" x 3/4" MILLED CHAMFERED STRIPS.
- REINFORCING STEEL SHALL CONFORM TO ASTM A615, GRADE 60.
- ALL REINFORCING STEEL LAP SPLICES NOT SHOWN SHALL BE A MINIMUM OF 45 BAR DIAMETERS.

SOILS

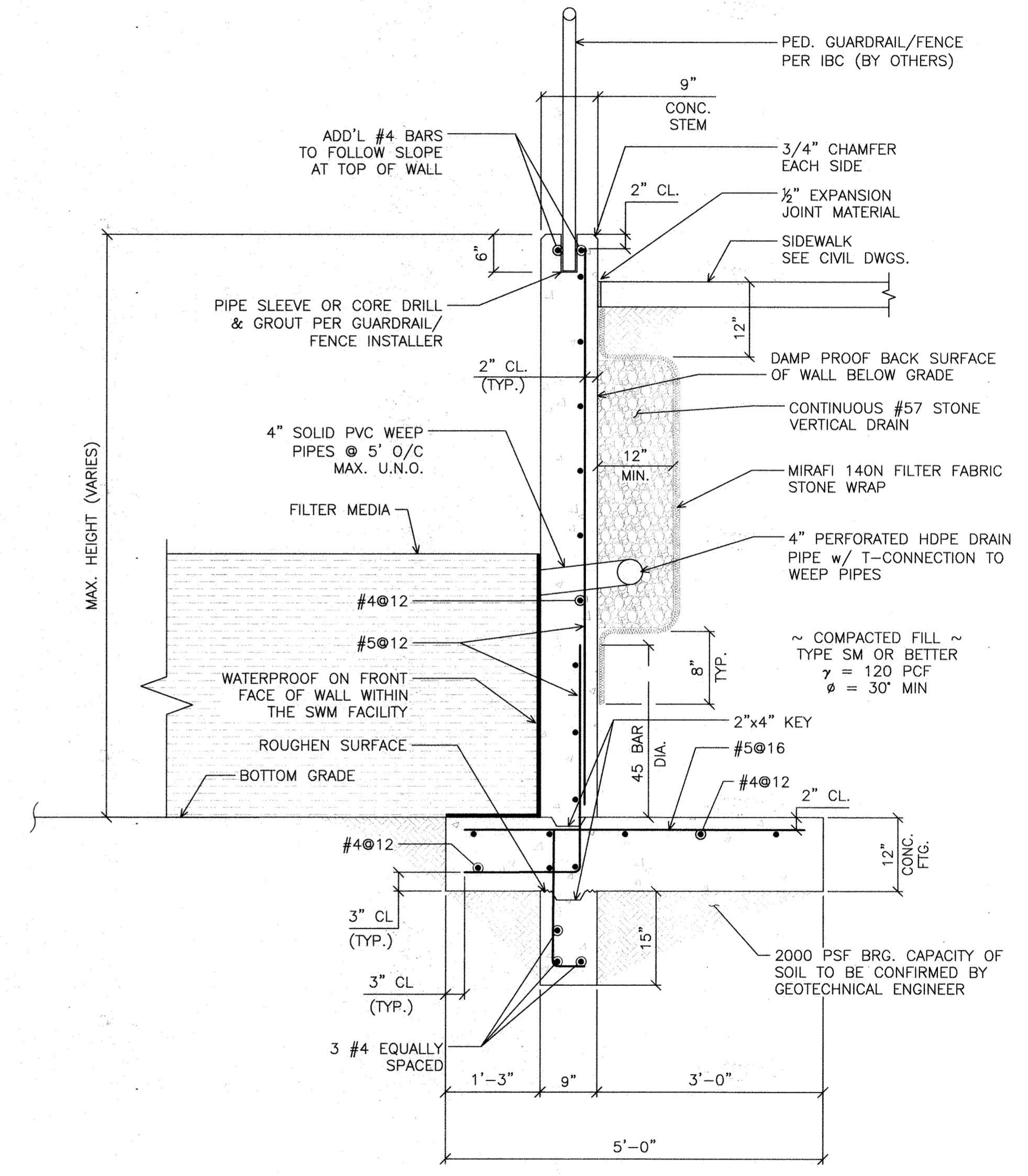
- FOOTING DESIGN BASED ON ASSUMED MINIMUM ALLOWABLE SOIL BEARING CAPACITY OF 2000 PSF. BEARING CAPACITY OF SUBGRADE SHALL BE CONFIRMED BY GEOTECHNICAL ENGINEER PRIOR TO CONSTRUCTION. NOTIFY ENGINEER IF SOIL BEARING CAPACITY IS NOT ADEQUATE AT FOOTING ELEVATIONS INDICATED.
- SUBGRADE TO BE FREE OF ORGANICS AND BE SUITABLE, COMPACTED MATERIAL.
- BACKFILL SHALL BE PERFORMED IN 8" LIFTS COMPACTED TO 95% OF MAXIMUM DRY DENSITY AS DETERMINED BY THE STANDARD PROCTOR COMPACTION TEST (ASTM D 698).
- BACKFILL MATERIAL SHALL BE SM OR MORE GRANULAR IN ACCORDANCE WITH ASTM D2487.



WALLS #4, #5 & #7
WALL SECTION 1 & 2
3/4" = 1'-0"



WALL #6
WALL SECTION 3
3/4" = 1'-0"



NOTE: PLACE KEY AND FOOTING AGAINST UNDISTURBED GROUND

WALL #6
WALL SECTION 4
3/4" = 1'-0"

SCALE: 3/4" = 1'-0"

FISHER, COLLINS & CARTER, INC.
CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
CENTENNIAL SQUARE OFFICE PARK - 10272 BALTIMORE NATIONAL PIKE
ELLSWORTH CITY, MARYLAND 21042
(410) 461-2855

HILLIS-CARNES
ENGINEERING ASSOCIATES
10975 Guilford Road, Suite A Annapolis Junction, Maryland
Phone: (410) 880-4788 www.hcea.com Fax: (410) 880-4088
DESIGNED BY: TJC DRAWN BY: AM
APPROVED BY: TJC HCEA JOB NO.: 19428A



"PROFESSIONAL CERTIFICATION, I HEREBY CERTIFY THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 14808, EXPIRATION DATE: FEBRUARY 27, 2022."

Timothy B. Hill
TIMOTHY B. HILL, P.E. DATE: 8/19/2020

AS-BUILT CERTIFICATION
I HEREBY CERTIFY THAT THE FACILITY SHOWN ON THIS PLAN WAS CONSTRUCTED AS SHOWN ON THE "AS-BUILT" PLANS AND MEETS THE APPROVED PLANS AND SPECIFICATIONS.

SIGNATURE: _____ P.E. No. _____ DATE: _____
ENGINEER MEANS TO STATE OR DECLARE A PROFESSIONAL OPINION BASED UPON ON-SITE INSPECTIONS AND MATERIAL TESTS WHICH ARE CONDUCTED DURING CONSTRUCTION. THE ON-SITE INSPECTIONS AND MATERIAL TESTS ARE THOSE INSPECTIONS AND TESTS DEEMED SUFFICIENT AND APPROPRIATE COMMONLY ACCEPTED ENGINEERING STANDARDS. CERTIFY DOES NOT MEAN OR IMPLY A GUARANTEE BY THE ENGINEER NOR DOES AN ENGINEER'S CERTIFICATION RELIEVE ANY OTHER PARTY FROM MEETING REQUIREMENTS IMPOSED BY CONTRACT, EMPLOYMENT, OR OTHER MEANS, INCLUDING MEETING COMMONLY ACCEPTED INDUSTRY PRACTICES.

DATE	DESCRIPTION	REVISION BLOCK

APPROVED: DEPARTMENT OF PLANNING AND ZONING
Director - Department of Planning and Zoning DATE: 10/15/20
Chief Division of Land Development DATE: 10/15/20
Chief, Development Engineering Division DATE: 8/26/20

PREPARED FOR
HOWARD COUNTY PUBLIC SCHOOL SYSTEM
9020 MENDENHALL COURT
SUITE "C"
COLUMBIA, MARYLAND 21045
Attention: DANIEL LUBELEY
410-313-0203

ADDRESS CHART					
PARCEL NO.	STREET ADDRESS				
	8500 RIDGELY RUN ROAD JESSUP, MARYLAND 20794				
PROJECT	SECTION/AREA				
HIGH SCHOOL #13	N/A				
PLAT NOS.	BLOCK NO.	ZONE	TAX MAP	ELEC. DIST.	CENSUS TR.
25528	18 & 24	R-12	42 & 43	SIXTH	606901
WATER CODE	SEWER CODE				

CONCRETE WALL CONSTRUCTION DETAILS

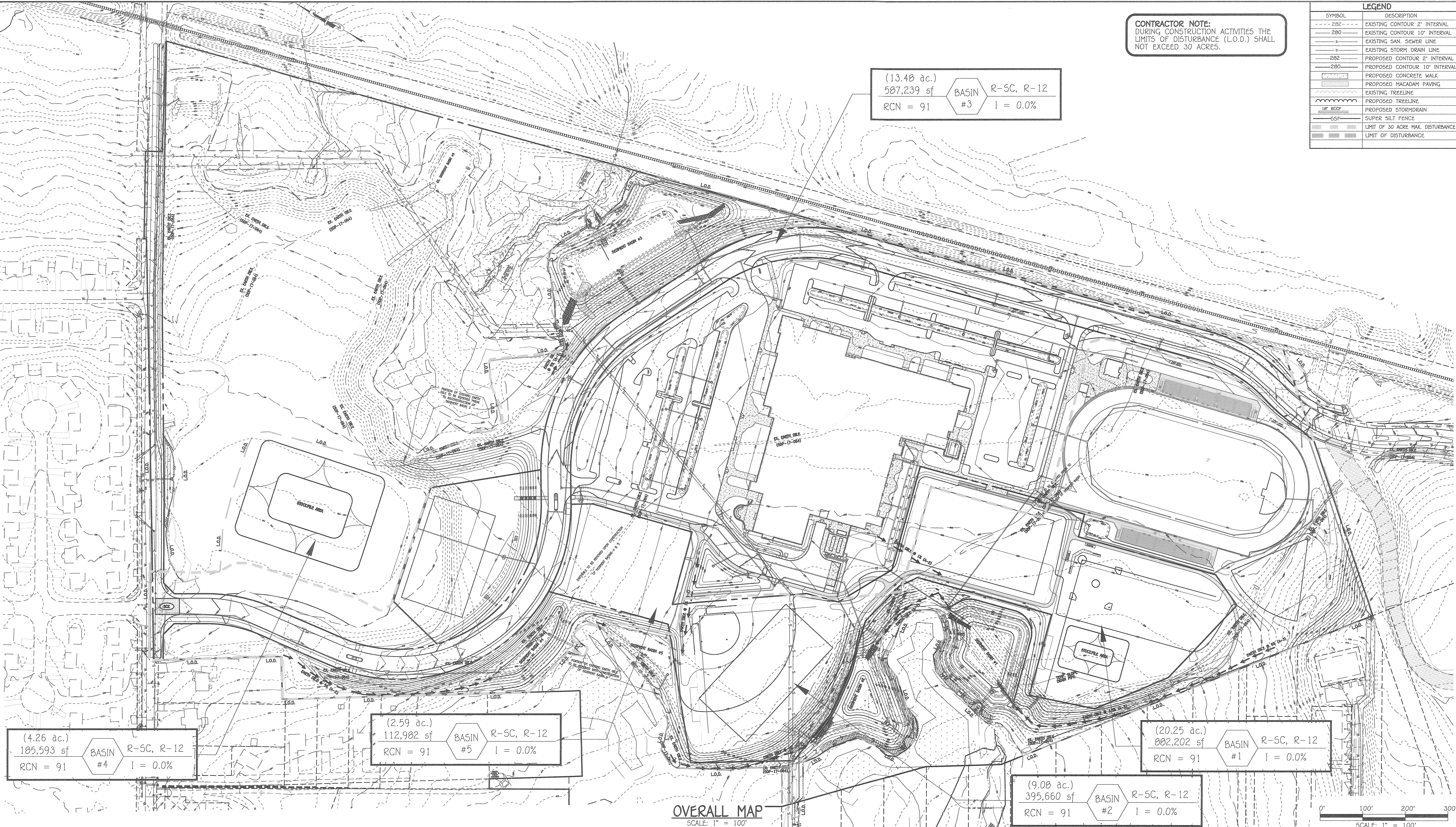
HIGH SCHOOL #13
PARCELS 'A' THRU 'D'

ZONED: R-5C MXD-3, R-5A-0 MXD-3 AND R-12
PARCEL Nos.: 102, 349, 235
TAX MAP No.: 42 & 43 GRID No.: 24 & 19
SIXTH ELECTION DISTRICT HOWARD COUNTY, MARYLAND
SCALE: AS SHOWN DATE: AUGUST, 2020
SHEET 127 OF 131

CONTRACTOR NOTE:
DURING CONSTRUCTION ACTIVITIES THE LIMITS OF DISTURBANCE (L.O.D.) SHALL NOT EXCEED 30 ACRES.

SYMBOL	DESCRIPTION
--- 2'02	EXISTING CONTOUR 2' INTERVAL
--- 10'	EXISTING CONTOUR 10' INTERVAL
---	EXISTING SAN. SEWER LINE
---	EXISTING STORM DRAIN LINE
--- 2'02	PROPOSED CONTOUR 2' INTERVAL
--- 10'	PROPOSED CONTOUR 10' INTERVAL
---	PROPOSED CONCRETE WALK
---	PROPOSED MACADAM PAVING
---	EXISTING TREELINE
---	PROPOSED TREELINE
---	PROPOSED STORMDRAIN
---	SUPER SILT FENCE
---	LIMIT OF 30 ACRE MAX. DISTURBANCE
---	LIMIT OF DISTURBANCE

(13.48 ac.)
587,239 sf BASIN R-5C, R-12
RCN = 91 #3 I = 0.0%



(4.26 ac.)
185,593 sf BASIN R-5C, R-12
RCN = 91 #4 I = 0.0%

(2.59 ac.)
112,982 sf BASIN R-5C, R-12
RCN = 91 #5 I = 0.0%

(20.25 ac.)
882,202 sf BASIN R-5C, R-12
RCN = 91 #1 I = 0.0%

(9.08 ac.)
395,660 sf BASIN R-5C, R-12
RCN = 91 #2 I = 0.0%

OVERALL MAP
SCALE: 1" = 100'

0' 100' 200' 300'
SCALE: 1" = 100'

FISHER, COLLINS & CARTER, INC.
CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
CENTENNIAL SQUARE OFFICE PARK - 10272 BALTIMORE NATIONAL FIDELITY CITY, MARYLAND 21142 (410) 461-2009

ENGINEER'S CERTIFICATE
"I HEREBY CERTIFY THAT THIS PLAN HAS BEEN DESIGNED IN ACCORDANCE WITH THE CURRENT MARYLAND EROSION AND SEDIMENT CONTROL LAWS, REGULATIONS, AND STANDARDS REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT."
Stephanie Fuite 8/17/20
SIGNATURE OF ENGINEER DATE

DEVELOPER'S CERTIFICATE
"I/WE HEREBY CERTIFY THAT ANY CLEARING, GRADING, CONSTRUCTION, OR DEVELOPMENT WILL BE DONE PURSUANT TO THIS APPROVED EROSION AND SEDIMENT CONTROL PLAN, INCLUDING INSPECTING AND MAINTAINING CONTROLS, AND THAT THE RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF TRAINING AT A MARYLAND DEPARTMENT OF THE ENVIRONMENT (MDE) APPROVED TRAINING PROGRAM FOR THE CONTROL ON EROSION AND SEDIMENT PRIOR TO BEGINNING THE PROJECT. I CERTIFY RIGHT OF ENTRY FOR PERIODIC ON-SITE EVALUATION BY HOWARD COUNTY, THE HOWARD SOIL CONSERVATION DISTRICT AND/OR MDE."
David Kelly 8-19-2020
SIGNATURE OF DEVELOPER DATE

"PROFESSIONAL CERTIFICATION. I HEREBY CERTIFY THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 38386, EXPIRATION DATE: JANUARY 12, 2022."
Stephanie Fuite 8/17/20
SIGNATURE DATE

THESE PLANS FOR SMALL POND CONSTRUCTION ARE EROSION AND SEDIMENT CONTROL MEASURES THAT MEET THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.
HOWARD SOIL CONSERVATION DISTRICT DATE

APPROVED: DEPARTMENT OF PLANNING AND ZONING
Logan 10/5/20
DATE

Director - Department of Planning and Zoning

Stephanie Fuite 8/17/20
DATE

Chief, Development Engineering Division

PREPARED FOR
HOWARD COUNTY PUBLIC SCHOOL SYSTEM
9020 MENDENHALL COURT
SUITE 'C'
COLUMBIA, MARYLAND 21045
Attention: DANIEL LUBELEY
410-313-8203

STATE OF MARYLAND
PROFESSIONAL ENGINEER
NO. 38386

ADDRESS CHART	
PARCEL NO.	STREET ADDRESS
-	8500 RIDGELY'S RUN ROAD JESSUP, MARYLAND 20794

PROJECT	SECTION/AREA	PARCEL
HIGH SCHOOL #13	N/A	102, 349, 235

PLAT NO.	BLOCK NO.	ZONE	TAX MAP	ELEC. DIST.	CENSUS TR.
13528-13 & 19	18 & 24	R-12	42 & 43	SIXTH	606901

WATER CODE --- SEWER CODE ---

OVERALL SEDIMENT AND EROSION CONTROL PLAN

HIGH SCHOOL #13 PARCELS 'A' THRU 'D'

ZONED: R-5C MXD-3, R-5A-B MXD-3 AND R-12
PARCEL Nos.: 102, 349, 235
TAX MAP No.: 42 & 43 GRID No.: 24 & 19
SIXTH ELECTION DISTRICT HOWARD COUNTY, MARYLAND
SCALE: AS SHOWN DATE: AUGUST, 2020
SHEET 128 OF 131

I:\2010\10027\Engineering\Drawings\SDP\10027 SDP 128-129 SED CONT PLAN.dwg, SHEET 128 SEC Sheet, 8/18/2020 10:30:24 AM, 1:1

CONTRACTOR NOTE:
DURING CONSTRUCTION ACTIVITIES THE LIMITS OF DISTURBANCE (L.O.D.) SHALL NOT EXCEED 30 ACRES.

SYMBOL	DESCRIPTION
--- 282 ---	EXISTING CONTOUR 2' INTERVAL
--- 280 ---	EXISTING CONTOUR 10' INTERVAL
---	EXISTING SAN. SEWER LINE
---	EXISTING STORM DRAIN LINE
-282-	PROPOSED CONTOUR 2' INTERVAL
-280-	PROPOSED CONTOUR 10' INTERVAL
---	EXISTING TREELINE
---	PROPOSED TREELINE
---	18" RSCP
---	LIMIT OF 30 ACRE MAX. DISTURBANCE
---	LIMIT OF DISTURBANCE



OVERALL MAP
SCALE: 1" = 100'

0' 100' 200' 300'
SCALE: 1" = 100'

FISHER, COLLINS & CARTER, INC.
CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
CENTRAL SQUARE OFFICE PARK - 10272 BALTIMORE NATIONAL PIKE
ELLSWORTH CITY, MARYLAND 21042
(410) 461-2900

ENGINEER'S CERTIFICATE
"I HEREBY CERTIFY THAT THIS PLAN HAS BEEN DESIGNED IN ACCORDANCE WITH THE CURRENT MARYLAND EROSION AND SEDIMENT CONTROL LAWS, REGULATIONS, AND STANDARDS REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE, AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT."
Stephan J. Tuite 8/17/20
SIGNATURE OF ENGINEER DATE
STEPHAN J. TUITE, R.L.A., P.E., LEED AP BC&D

"PROFESSIONAL CERTIFICATION. I HEREBY CERTIFY THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 38386, EXPIRATION DATE: JANUARY 12, 2022."
Stephan J. Tuite 8/17/20
DATE

DEVELOPER'S CERTIFICATE
"I/WE HEREBY CERTIFY THAT ANY CLEARING, GRADING, CONSTRUCTION, OR DEVELOPMENT WILL BE DONE PURSUANT TO THIS APPROVED EROSION AND SEDIMENT CONTROL PLAN, INCLUDING INSPECTING AND MAINTAINING CONTROLS, AND THAT THE RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF TRAINING AT A MARYLAND DEPARTMENT OF THE ENVIRONMENT (MDE) APPROVED TRAINING PROGRAM FOR THE CONTROL ON EROSION AND SEDIMENT PRIOR TO BEGINNING THE PROJECT. I CERTIFY RIGHT OF ENTRY FOR PERIODIC ON-SITE EVALUATION BY HOWARD COUNTY, THE HOWARD SOIL CONSERVATION DISTRICT AND/OR MDE."
James H. Hulley 8-19-2020
SIGNATURE OF DEVELOPER DATE

THESE PLANS FOR SPEED BOND CONSTRUCTION, SOIL EROSION AND SEDIMENT CONTROL MEET THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.
HOWARD SOIL CONSERVATION DISTRICT DATE

APPROVED: DEPARTMENT OF PLANNING AND ZONING
John Cov 10/5/20
Director - Department of Planning and Zoning DATE
Chad Lamb 8-27-20
Chief, Development Engineering Division DATE

PREPARED FOR
HOWARD COUNTY PUBLIC SCHOOL SYSTEM
9020 MENDENHALL COURT
SUITE 'C'
COLUMBIA, MARYLAND 21045
Attention: DANIEL LUBELEY
410-313-8203

ADDRESS CHART	
PARCEL NO.	STREET ADDRESS
	8500 RIDGELYS RUN ROAD JESSUP, MARYLAND 20794
PROJECT	SECTION/AREA
HIGH SCHOOL #13	N/A
PLAT NO.	BLOCK NO.
25528	18 & 24
25532	13 & 19
WATER CODE	ZONE
	R-12
	R5A-8 MXD-3
	R5A-8 MXD-3
	TAX MAP
	42 & 43
	ELEC. DIST.
	SIXTH
	CENSUS TR.
	606901
	SEWER CODE

INITIAL DRAINAGE AREAS TO EARTH DIKES & SEDIMENT BASINS

**HIGH SCHOOL #13
PARCELS 'A' THRU 'D'**

ZONED: R-5C MXD-3, R-5A-8 MXD-3 AND R-12
PARCEL Nos.: 102, 349, 235
TAX MAP No.: 42 & 43 GRID No.: 24 & 19
SIXTH ELECTION DISTRICT HOWARD COUNTY, MARYLAND
SCALE: AS SHOWN DATE: AUGUST, 2020
SHEET 129 OF 131

Site/Existing Conditions Narrative

The Subject Property is 22.8+/- Acre Residential Lot Located At 400 Morgan Station Road In The Woodbine Section Of Howard County, Maryland. The Property Includes A Single Family Home That Is Surrounded By Lawn Area. Accessory Uses Around The Home Includes Gardens, A Garage And Other Recreational Facilities. The Lot Is An Irregularly Shaped Property That Follows The Serpentine Course Of The Patapsco River. The Northern Property Limits Follow The River. The Southern Property Limits Vary But Generally Follow The Same Serpentine Pattern. The House And Lawn Area Located Near The Center Of The Property. A Rectangular Lot Area Extends To The Southeast Of The Home And A Long Peninsula Extends Out To Morgan Station Road. Access To The Site Is Gained Via A Ingress/Egress Easement On An Adjacent Property.

The Subject Property Is Dominated By Forest That Occurs On Steep Slopes/Ridge Lines And Floodplain Terraces That Border The River. The Upland Forest Community That Occurs On The Slopes And Ridge Lines Is Dominated By A Mixed Oak/Poplar Association. The Floodplain Terrace Includes Tulip Poplar, Red Maple, Sycamore, And Mixed Oaks. Wetland Development Is Common Within The Floodplain. Limited Wetland Development Is Present On The Steep Slopes. In This Area Wetlands Have Developed Along And Around The Head Of Spring Creeks That Emerge From The Slopes And Drain To The River. Rocky Outcrops Are Present Along The Steep Slopes. The Canopy Of The Upland Mixed Oak/Poplar Forest Includes White Oak, Red Oak, Chestnut Oak, Tulip Poplar And Red Maple. The Canopy Closure Is Approximately 90 Percent And Is Made Up Of 15-25" DBH Trees. Scattered Specimen Trees Were Observed Within This Community.

Since No Disturbance Is Proposed For This Project The Specimen Trees Were Not Specifically Located. The Stand Contains Several Standing Snags And Downed Woody Debris Is Also Common. The Understory Is Made Up Of Young Canopy Species As Well As Black Gum, Flowering Dogwood And Pignut Hickory.

The Shrub Layer In This Stand Includes Mountain Laurel, Spicebush, Japanese Barberry, Winterberry And Huckleberry. Mountain Laurel Is Most Commonly Encountered, Especially Along The Steep Slopes. Shrub Coverage Is Higher On The Slopes And On The Ridge Lines. Deer Common On The Ridge Line.

Herbaceous Community Development Is Variable. Shift Grass Is Common Throughout. Lady Fern Is Common On The Ridge Lines. Christmas And New York Ferns Are Common Along The Steep Slopes And Juncos Are Present Along Wetland And Stream Edges. Oriental Bittersweet, Japanese Honeylocust And Poison Ivy Were Noted Within The Stand.

The Forest Community Is Fragmented Along The Outer Edges But Given The Riparian Position And Steep Valley Conditions, It Is Likely That The Forest Does Provide Forest Interior Habitat.

Through There Is Some Evidence Of Hunting Within The Stand And An Old Access Road Is Present Following The Floodplain, Along The Slopes The Overall Activity Level Within The Stand Is Limited. The Stand Is A High Priority For Retention Due To Its Position On Steep Slopes, Within Adjacent Wetlands/Streams/Buffered Areas As Interior Habitat.

It Is Our Understanding That The Property Owners Are Seeking To Create A Forest Conservation Bank That Will Include Approximately 3.275 Acres Of Forest Retention. The FCE Bank Will Be Created In Three FCE Areas. FCE #1 Is A 1.871 Acre Forested Block That Is Located On Steep Slopes Above The 100 Year Floodplain In The Western Edge Of The Site. FCE #2 Is A 0.286 Acre Block Located Along The Ridge Line To The Southwest Of The Home. FCE #3 Is A 0.438 Acre Block Located On Steep Slopes Along The East Side Of The Patapsco River Between The Patapsco River And An Existing Access Road.

Per The Existing Conditions Overview These Proposed FCE Areas Are Dominated By A Mix Oak/Tulip Poplar Community. FCE #1 And FCE #3 Include Steep Forested Slopes That Contain Wetlands, Streams And Buffers.

The Community Is A High Priority For Retention Due To Its Position On Steep Slopes, Being Within And Adjacent To Buffers And Floodplain And For Its Ability To Provide Interior Function. FCE Is Dominated By A Mixed Oak/Poplar Community And Occurs Only A More Gently Sloping Ridge Line. This Forest Is Located Toward The Outer Edge Of The Overall Forest And Provides A Buffer To Interior Habitat Within The Riparian Valley.

- Project Notes:**
- The Proposed Development Project Will Create 3.275 Acres Of Forest Conservation Easement On Part Of Lot 2.
 - The Property Is Zoned RC-DEO.
 - Any Forest Conservation Easement (FCE) Area Shown Hereon Is Subject To Protective Covenants Which May Be Found In The Land Records Of Howard County Which Restrict The Disturbance And Use Of These Areas.
 - Forested Areas Occurring Outside Of The FCE Shall Not Be Considered Part Of The FCE And Shall Not Be Subject To Protective Land Covenants.
 - There Shall Be No Clearing, Grading, Construction Or Disturbance Of Vegetation In The Forest Conservation Easement, Except As Permitted By Howard County DEO.
 - No Stockpiles, Pile Areas, Equipment Clearing Areas, Etc. Shall Occur Within Areas Designated As Forest Conservation Easements.
 - Remnant Protective Signage Shall Be Placed Along All FCE Boundaries That Occur Within 50 Feet Of The Proposed Limits Of Disturbance.
 - Permanent Protective Signage Shall Be Installed Along The Boundary Of The Forest Conservation Easement. Signs Shall Be Installed At 50-100 Foot Intervals And At Angles Along The Outside Perimeter Of The Easement.
 - An Existing Dwelling Exists On Lot 1.
 - No Debris, Dumping, Etc. Exists Within The Forest Conservation Easement, Or If It Does, That It Will Be Cleared Prior To The Recordation Of The Easement.

- Forest Retention Management Notes**
- Any Proposed Future Activities Shall Adhere To The Conditions, Schedules And Terms Of An Approved Sediment Control And Erosion Plan.
 - After The Boundaries Of The Retention Area Have Been Staked And Flagged And Before Any Disturbance Has Taken Place On-Site, Any Future Construction On-Site Will Require A Pre-Construction Meeting At The Construction Site In Which The Developer, Contractor Or Project Manager, And Appropriate County Inspectors Shall Attend.
 - Tree Protection For All Retained Areas:
 - All Retention Areas Within 50 Feet Of Proposed Construction Activities Shall Be Protected By Highly Visible, Well Anchored Temporary Protection Devices (Calf Fence Or Blaze Orange Plastic Mesh).
 - All Protection Devices Shall Be In Place Prior To Any Grading Or Land Construction Activity.
 - All Protection Devices Shall Be Properly Maintained And Shall Remain In Place Until Construction Has Ceased.
 - Attachment Of Signs, Fencing, Or Other Objects To Trees Is Prohibited.
 - No Equipment, Machinery, Vehicles, Materials Or Excessive Pedestrian Traffic Shall Be Allowed Within Protected Areas.
 - If The Critical Root Zone Is Affected By Any Future Construction Activities, Such As Grade Change, Digging For Foundations And Roads Or Utility Installations:
 - Prune Roots With A Clean Cut Using Proper Pruning Equipment.
 - After And Surface As Needed.
 - During Any Future Construction On The Site, Monitor And Correct Condition Of Retained Trees For Soil Compaction, Root Injury, Flood Conditions, Drought Conditions, And Other Stress Signs.
 - After Any Future Construction Is Completed, The Following Procedures And Protection Shall Occur:
 - Inspect Existing Trees Around The Perimeter Of Disturbed Limits For Evidence Of Soil Compaction, Root Injury, Limb Injury Or Other Stress Signs And Correct With Proper Management Techniques Such As Root Or Limb Pruning, Soil Aeration, Fertilization, Crown Reduction, Or Watering. Inspection And Evaluation Shall Be Performed By A Licensed Arborist.
 - Inspect For Dead Or Dying Trees Or Limbs Which May Pose Safety Hazard And Remove.
 - No Burial Of Discarded Materials Will Occur On-Site Within The Conservation Areas.
 - No Burning Within 100 Feet Of Wooded Areas.
 - All Temporary Forest Protection Structures Will Be Removed After Construction.
 - Following Completion Of Construction, Prior To Use, The County Inspector Shall Inspect The Entire Area.

Soils Legend

SOIL	NAME	CLASS
Co	Codonus And Hiltbos 5B Loams, 0 To 3 Percent Slopes	C
GqB	Glenly Loam, 3 To 8 Percent Slopes	C
GmB	Glenville 5B Loam, 3 To 8 Percent Slopes	B
GqB	Glenville-Codonus 5B Loams, 0 To 8 Percent Slopes	C
MAC	Minor Loam, 8 To 15 Percent Slopes	B
MaD	Minor Loam, 15 To 25 Percent Slopes	B
McC	Minor-Channery Loam, 8 To 15 Percent Slopes	B
MkF	Minor-Brinklow Complex, 25 To 65 Percent Slopes, Very Rocky	B

NOTES:
 * Hydric Soils And/Or Contains Hydric Inclusions
 ** May Contain Hydric Inclusions
 † Generally Only Within 100-Year Floodplain Areas

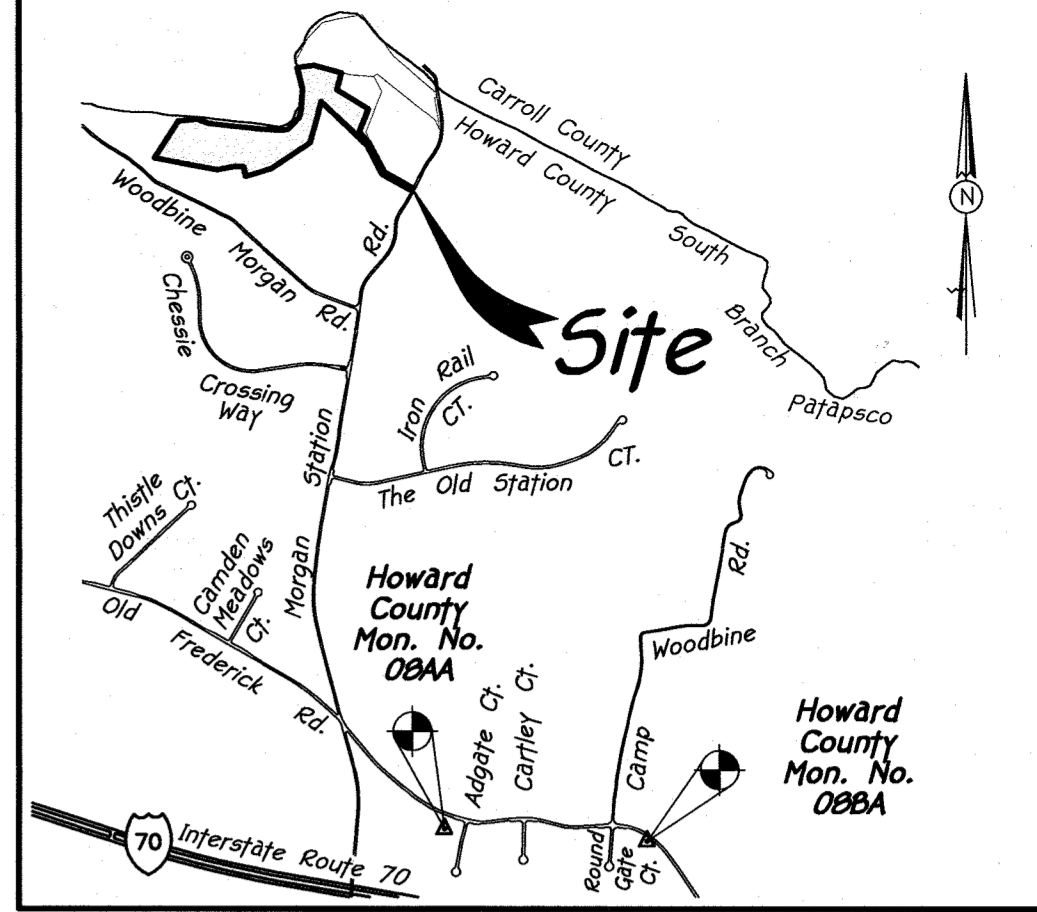
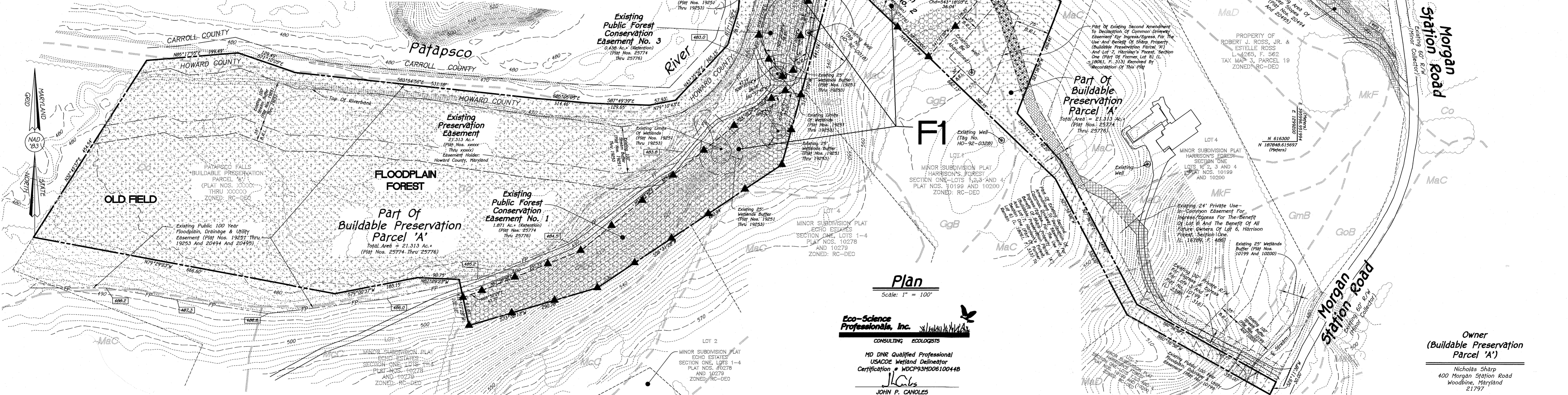
Forest Stand Data Chart

Key	Community Type	Age Class (Years)	Dominant Vegetation	General Condition	Retention Potential
F1	Mixed Oak-Poplar	3.275	Quercus alba, Quercus prinus, Quercus rubra, Liriodendron tulipifera, Acer rubrum	Good	High slopes, buffers, interior

Off-Site Forest Mitigation Banks

Bank	Retention	Afforestation	Replacement Equivalent
Sharp's Mill Horse Meadow (2007-20-037)	10.13 Ac.	10.13 Ac.	10.13 Ac.
Sharp Property	12.41 Ac.	6.205 Ac.	6.205 Ac.
Patapsco Falls	3.275 Ac.	1.6375 Ac.	1.6375 Ac.
Sharp Property (2007-16-015)		6.138 Ac.	6.138 Ac.
Total		24.1105 Ac.	

- Legend**
- Public Forest Conservation Easement (3.275 Acres) Retention
 - Preservation Easement (21.313 Acres)
 - Stream Bank Buffer
 - 20' Private Access Easement For The Use And Benefit Of Buildable Preservation Parcel 'A'
 - Part Of Existing Second Amendment To Declaration Of Common Ownership Agreement For The Use And Benefit Of Sharp Property (Buildable Preservation Parcel 'A') And Lot 2, Harrison's Forest Section One (Part Of Former Lot 5) (L. 18061, P. 313) Removed By Recordation Of This Plat



Street Address Chart

Parcel No.	Street Address
BPP 'A'	400 Morgan Station Road

Fisher, Collins & Carter, Inc.
 Civil Engineering Consultants & Land Surveyors
 14101 Old Baltimore National Pike
 Ellicott City, Maryland 21042
 (410) 461-2855

"PROFESSIONAL CERTIFICATION. I HEREBY CERTIFY THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL LAND SURVEYOR UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 10692, EXPIRATION DATE: DECEMBER 13, 2021."

Terrill A. Fisher
 TERRILL A. FISHER, C.S. #10692

10/26/2021
 DATE

APPROVED: DEPARTMENT OF PLANNING AND ZONING

John P. Canoles
 Director - Department of Planning and Zoning

11-4-21
 Date

Chief, Division of Land Development

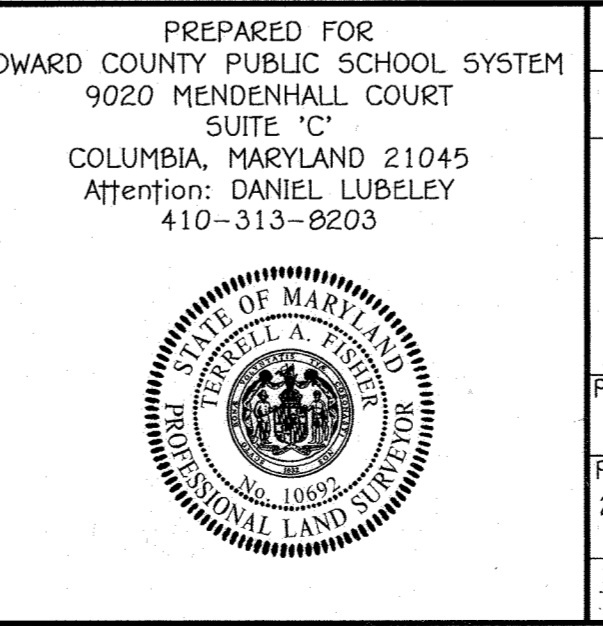
11/4/21
 Date

Chief, Development Engineering Division

PREPARED FOR
 HOWARD COUNTY PUBLIC SCHOOL SYSTEM
 9020 MENDENHALL COURT
 SUITE 'C'
 COLUMBIA, MARYLAND 21045
 Attention: DANIEL LUBELEY
 410-313-8203

MD ONE Qualified Professional
 USACOE Wetland Delineator
 Certification # WDCP93MD006100448

John P. Canoles
 JOHN P. CANOLES



ADDRESS CHART

PARCEL NO.	STREET ADDRESS
-	400 MORGAN STATION ROAD
-	WOODBINE, MARYLAND 21797

Patapsco Falls-Buildable Preservation Parcel 'A'
 Off-Site Forest Conservation Plan

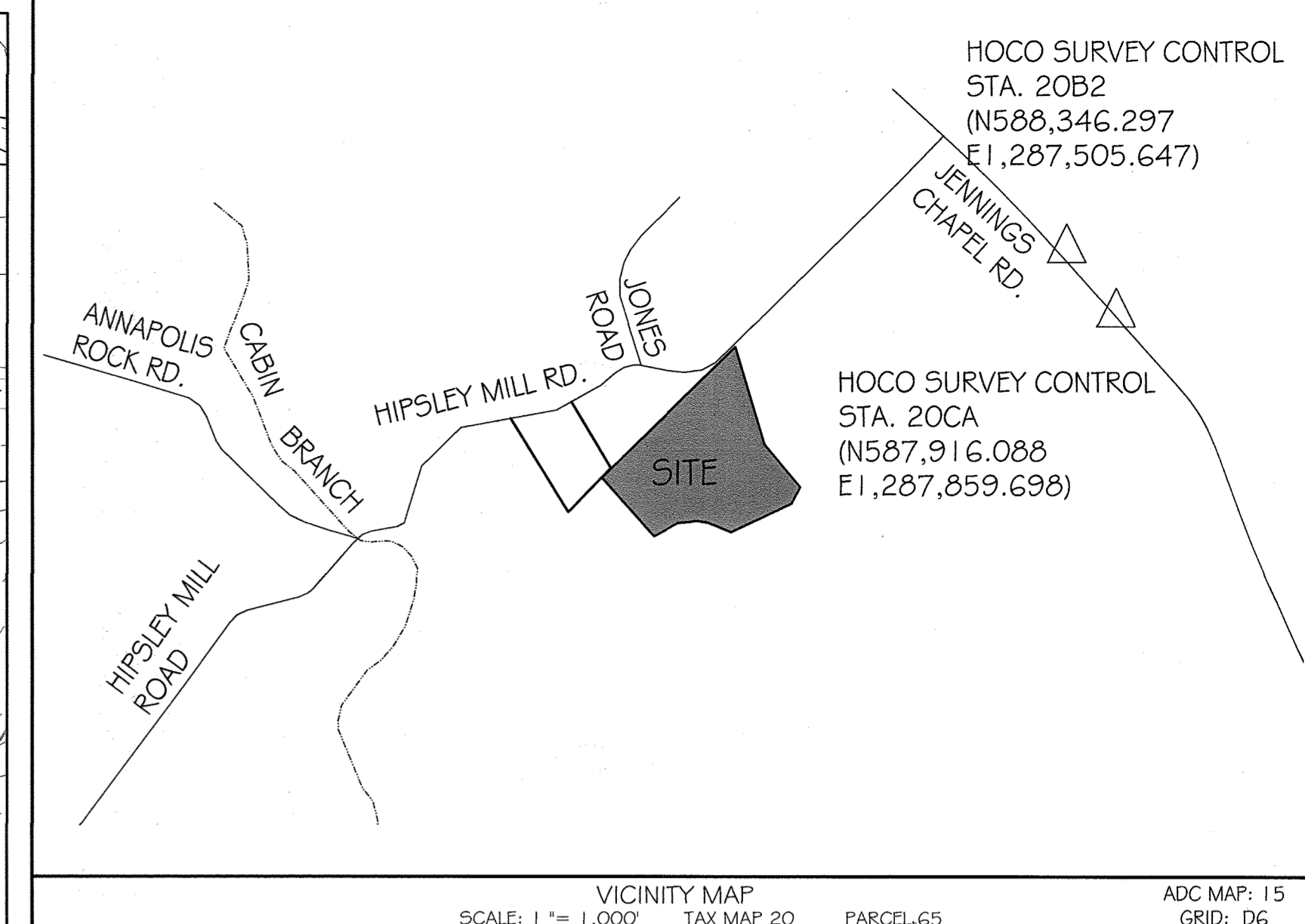
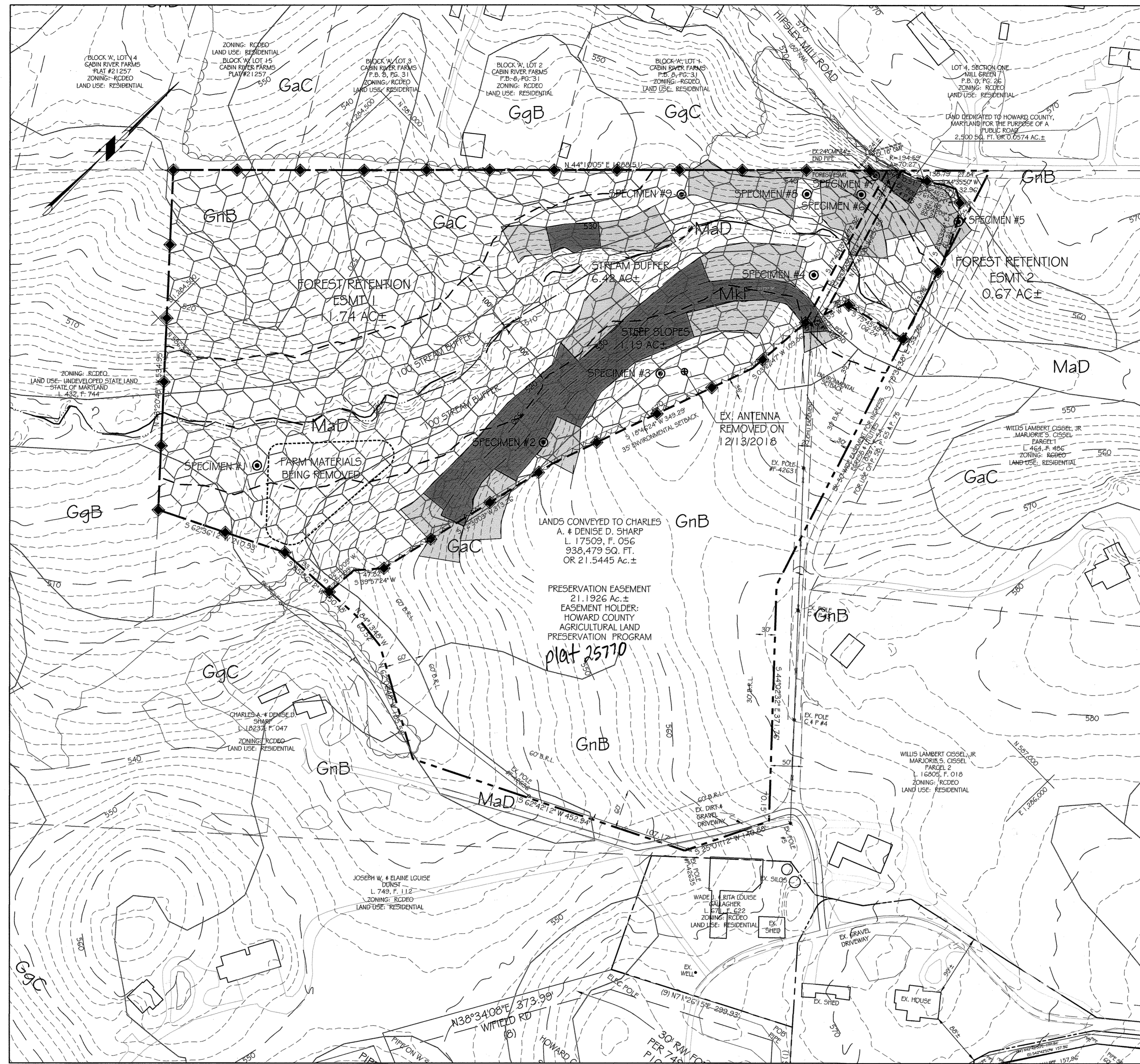
HIGH SCHOOL #13 PARCELS 'A' THRU 'D'

ZONED: R-5C MXD-3, R-5A-6 MXD-3 AND R-12
 PARCEL Nos.: 102, 349, 235
 TAX MAP No.: 42 & 43 GRID No.: 24 & 19
 SIXTH ELECTION DISTRICT HOWARD COUNTY, MARYLAND
 SCALE: DATE: AUGUST 30, 2020
 SHEET 130 OF 131

CISSEL/SHARP PROPERTY
FOREST STAND DELINEATION NARRATIVE REPORT
Revised November 27, 2018

- PURPOSE OF THE PLAN.** THE PURPOSE OF THE PLAN IS TO ESTABLISH A FOREST BANK WITHIN THE NET TRACT AREA THAT INCLUDES ALL OF THE FOREST ON THE SUBJECT PROPERTY. NO FOREST WILL BE CLEARED OR DISTURBED. NO SPECIMEN TREES WILL BE REMOVED. THE PROPOSED BANK CONFORMS TO ALL RETENTION AND LOCATION PRIORITIES. NO CONSTRUCTION IS PROPOSED ON THE SUBJECT PROPERTY.
- GROSS TRACT AREA:** 21.5445 AC±.
- NET TRACT AREA:** 12.41 AC±.
- TOTAL FOREST AREA:** 12.41 AC±.
- FOREST STRUCTURE STAND CONDITION.** MATURE HARDWOOD FOREST IN GOOD CONDITION.
- SPECIMEN TREES.** NINE SPECIMEN TREES HAVE BEEN FIELD LOCATED WITHIN THE NET TRACT.
 - SPECIMEN #1: 33" TULIP POPLAR, GOOD.
 - SPECIMEN #2: 35" OSAGE ORANGE, FAIR.
 - SPECIMEN #3: 35" OSAGE ORANGE, FAIR.
 - SPECIMEN #4: 35" WHITE OAK, FAIR.
 - SPECIMEN #5: ASH DYING.
 - SPECIMEN #6: 36" WHITE OAK, FAIR.
 - SPECIMEN #7: 38" WHITE OAK, FAIR.
 - SPECIMEN #8: 46" WHITE OAK, FAIR.
 - SPECIMEN #9: 32" TULIP POPLAR, GOOD.
- RELATIONSHIP TO OTHER ENVIRONMENTAL FEATURES.**
 - STEEP SLOPES 25% AND GREATER: 1.19 AC.
 - MODERATE SLOPES 15% TO 25%: 1.78 AC.
 - CRITICAL HABITATS INCLUDE A CLASS III-P PERENNIAL STREAM AND ITS ASSOCIATED STREAM VALLEY, WHICH FLOWS INTO AND ADJOINS STATE OWNED LAND TO THE WEST.
 - A LETTER REQUESTING COMMENTS AND LOCATIONS OF THREATENED, OR ENDANGERED TREES, SHRUBS, PLANTS OR ANIMALS WITHIN THE NET TRACT HAS BEEN REQUESTED FROM MARYLAND DNR, NATURAL HERITAGE PROGRAM.
 - SINCE THE PROPERTY IS ZONED RC RESOURCE CONSERVATION, A 100' BUFFER HAS BEEN SHOWN ALONG BOTH SIDES OF THE PERENNIAL STREAM ACCORDING TO SECTION 16.116(a)(2)(iv).
 - SOILS WITHIN THE NET TRACT HAVE A K_w OF 0.20.
 - NO FLOODABLE SOILS OR HYDRIC SOILS HAVE BEEN MAPPED WITHIN THE NET TRACT.
 - NO FLOOD PLANS HAVE BEEN MAPPED WITHIN THE NET TRACT.
 - NATIONAL WETLAND MAPPING SHOWS WETLANDS IN THE PERENNIAL STREAM CHANNEL.
 - NO EXISTING BUILDINGS OR STRUCTURES EXIST WITHIN THE NET TRACT. ONE AREA OF FARM MATERIALS IS IDENTIFIED AS BEING REMOVED ON THE SOUTHWEST CORNER OF THE NET TRACT.
 - NO HISTORIC STRUCTURES OF OTHER HISTORIC RESOURCES, TREES, OR CEMETERIES.
- WATERSHED NAME AND DNR NUMBER:** BRIGHTON DAM, 02131108
- BANK LOCATION PRIORITIES, PER SECTION 16.1208(a)(1-5).**
 - THE NET TRACT AREA IS A STREAM VALLEY FORMED BY A PERENNIAL STREAM WITH A 100' WIDE STREAM BUFFER.
 - NATIONAL WETLANDS MAPPING SHOWS WETLANDS IN THE STREAM CHANNEL ALONG THE LENGTH OF THE NET TRACT.
 - THE NET TRACT AREA IS A FOREST THAT ESTABLISHES AND ENHANCES CRITICAL HABITAT BUFFERS AND FOREST CORRIDORS FOR WILDLIFE MOVEMENT THAT IS BETWEEN 300' AND 700' WIDE.
 - THE NET TRACT INCLUDES 1.19 ACRES OF FOREST ON 25% STEEP SLOPES.
 - THE NET TRACT IS ADJACENT TO EXISTING STATE FORESTS THEREBY INCREASING THE OVERALL AREA OF CONTIGUOUS FOREST COVER.
- CLASSIFICATION OF FOREST STANDS AND OTHER VEGETATION.**
 - THE NET TRACT FOREST AND ASSOCIATED VEGETATION IS CLASSIFIED AS ONE STAND: TULIP POPLAR ASSOCIATION.
- FOREST STAND DESCRIPTION:** THE TYPICAL COVER OF FOREST IN THE NET TRACT IS TULIP POPLAR/OAK. CANOPY CLOSURE IS 80-95%. DOMINANT SPECIES IS TULIP POPLAR, 18-24" DBH WITH OAK SPECIES AS CO-DOMINANT. FLOOR IS HEAVY LEAF LITTER WITH LESS THAN 5% INVASIVES.
- WOODLAND SUITABILITY REQUIREMENTS.**
 - SOIL EROSION HAZARD: SLIGHT - MODERATE
 - EQUIPMENT LIMITATION: SLIGHT - MODERATE
 - SEEDLING MORTALITY: SLIGHT - MODERATE
 - WIND THROW HAZARD: SLIGHT - MODERATE
 - TREES TO PLANT: HARDWOODS, POPLAR, PINES
 - RELATION TO OFF-SITE FOREST: SURROUNDED BY MATURE FOREST TO THE WEST, RESIDENTIAL USES TO THE NORTH, AGRICULTURE TO THE EAST AND SOUTH, PUBLIC STREET TO THE NORTH.
 - CONCLUSION: SITE SUITABLE FOR CONTINUED FOREST RETENTION AND FOREST MANAGEMENT.
- FOREST MANAGEMENT.**
 - Remove Farm Materials. Complete removal of Farm Materials. Stabilize disturbed areas with annual grass seed. Area where farm materials are being removed has near 100% canopy closure, thereby qualifying as forest. Once removal is completed, the forest floor will quickly return with dense leaf litter, seedlings, and understory growth. Replanting is not required.
 - Treat and Remove Tree of Heaven. Cut trees to within 18" of the ground. Spray stumps with systemic herbicide. Herbicide treatments include post-emerge foliar spray, cut surface treatments and basal bark application. All applications of chemical treatments shall be according to the manufacturer's specifications.

ON-SITE FOREST CONSERVATION EASEMENT NOTE.
THE FOREST CONSERVATION EASEMENTS SHOWN HEREON HAVE BEEN ESTABLISHED TO FULFILL THE REQUIREMENTS OF SECTION 16.1209 OF THE HOWARD COUNTY SUBDIVISION AND LAND DEVELOPMENT REGULATIONS, FOREST CONSERVATION ACT. NO CLEARING, GRADING OR CONSTRUCTION IS PERMITTED WITHIN THE FOREST CONSERVATION EASEMENTS. ANY UNAUTHORIZED ACTIVITIES THAT RESULT IN ADDITIONAL CLEARING, OR THAT AFFECT PROPOSED PLANTING/PRESERVATION AREAS SHOWN ON THE FOREST CONSERVATION PLAN MAY RESULT IN A REQUEST FOR RECALCULATION OF FOREST CONSERVATION REQUIREMENTS AND DESIGNATION OF ADDITIONAL PLANTING/PRESERVATION AREAS IF NEEDED TO MEET THE OBLIGATIONS OF THE FOREST CONSERVATION PROGRAM. ANY FUTURE RESUBDIVISION, DEVELOPMENT, OR CHANGE IN LAND USE MAY BE SUBJECT TO ADDITIONAL REQUIREMENTS OF THE HOWARD COUNTY FOREST CONSERVATION PROGRAM.



- GENERAL NOTES:**
- OWNER: CHARLES A. SHARP & DENISE D. SHARP
DEED REFERENCE: LIBER 17509 AT FOLIO 056
DATE: MARCH 13, 2017
GRANTOR: WILLIS LAMBERT CISEL, JR. & MARJORIE S. CISEL
 - TAX MAP: 20 GRID: 3 PARCEL: 65
 - NEAREST POTABLE WATER SUPPLY: DAMASCUS DISTANCE: 7.3 MILES ±.
 - THE SUBJECT PROPERTY IS NOT LOCATED IN SPECIAL FLOOD HAZARD AREA PER NATIONAL FLOOD INSURANCE PROGRAM, FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NO. 24027C0040D, EFFECTIVE NOVEMBER 6, 2013.
 - ON-SITE TOPOGRAPHY & PLANIMETRIC FEATURES SHOWN HEREON TAKEN FROM COPYRIGHTED GIS DATA FROM HOWARD COUNTY AND SUPPLEMENTED WITH FIELD LOCATIONS BY VANMAR ASSOCIATES, INC. CONTOUR INTERVAL IS 2 FEET. VERTICAL DATUM IS NAVD88.
 - THE BASIS OF BEARINGS FOR THIS PLAN IS THE MARYLAND COORDINATE SYSTEM (MAD83) PER HOWARD COUNTY SURVEY CONTROL STATIONS: HO CO #20B2 N.588,346.297 E.1,287,505.647 HO CO #20CA N.587,916.088 E.1,287,859.698 DISTANCES SHOWN HEREON ARE GROUND DISTANCES.
 - THERE ARE NO WELLS OR SEPTIC SYSTEMS WITHIN 100' OF THE PROPERTY BOUNDARY UNLESS OTHERWISE SHOWN HEREON.
 - THE EXISTING WELLS SHOWN ON THIS PLAN HAVE BEEN FIELD LOCATED BY VANMAR ASSOCIATES OR TAKEN FROM AVAILABLE RECORDS AND ACCURATELY SHOWN.
 - THE SUBJECT PROPERTY IS ZONED RC-DEO PER THE 1/06/13 COMPREHENSIVE ZONING REGULATIONS. THIS PROJECT IS SUBJECT TO THE AMENDED FIFTH EDITION OF THE HOWARD COUNTY SUBDIVISION AND LAND DEVELOPMENT REGULATIONS EFFECTIVE OCTOBER 7, 2007.
 - THERE ARE NO HISTORIC SITES OR CEMETERIES ON THIS PROPERTY.

FOREST SURETY NOTE
THIS PLAN COMPLIES WITH THE REQUIREMENTS OF SECTION 16.1209 OF THE HOWARD COUNTY CODE FOR FOREST CONSERVATION. NO SURETY IS REQUIRED FOR ESTABLISHING A FOREST CONSERVATION RETENTION EASEMENT.

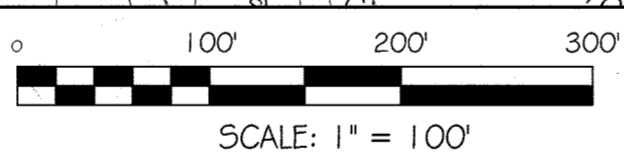
CISSEL/SHARP FOREST RETENTION EASEMENT			
STANDARD CHART FOR EXCHANGE OF FOREST CONSERVATION EASEMENT CREDITS			
FILE #	NAME	AC USED	AC BALANCE
SDP-19-066	HIGH SCHOOL #13 AREA D	12.41	0

PROFESSIONAL CERTIFICATION
I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional landscape architect under the laws of the State of Maryland, License No. 563, Expiration Date: 08-16-2019.

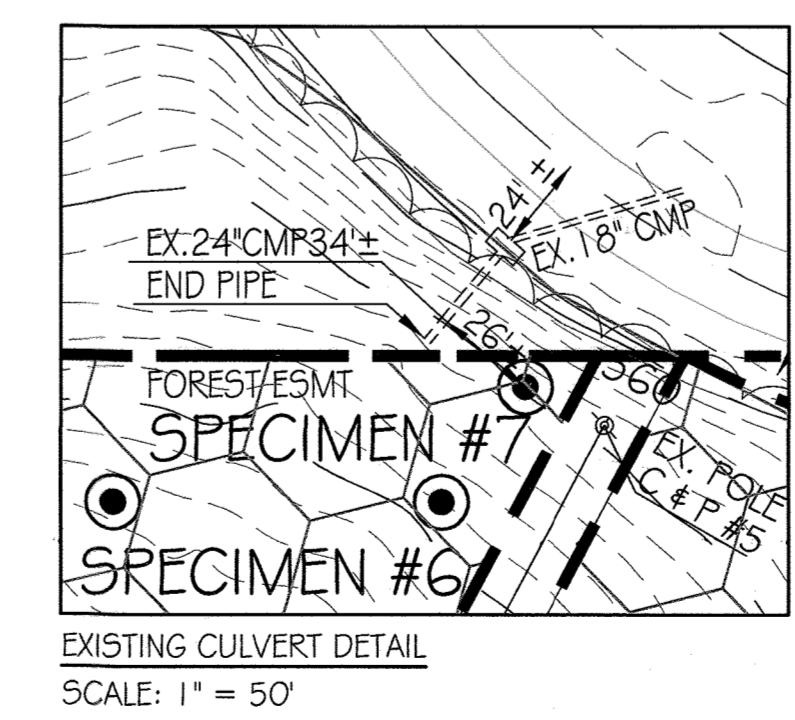
EXHIBIT 3-2 FOREST STAND ANALYSIS TABLE
Applicant: Charles A. & Denise D. Sharp
Project Name: Cissel / Sharp Property
Submission No.:

KEY	A. TYPE OF COMMUNITY	B. AREA	C. SOIL INFORMATION			D. EXISTING VEGETATION (Dominant Species and Approx. %)	E. STAND CHARACTERISTICS			F. FOREST AREA IN SENSITIVE ENVIRONMENTS AC: BUFFER, SLOPES	G. HABITAT VALUE
			1. Soil Types	2. Typical forest cover for soil type	3. Woodland Suitability Index		1. Size (Diam)	2. Age	3. General Conditions		
1-A	TULIP POPLAR	12.41	GaC	Hardwood		OAK 65%	18-24"	10-15 yrs	Good	4.36	Good
			GgB	Hardwood							
			GgC	Hardwood							
			GnC	Hardwood							
			MaD	Hardwood							
			MkF	Hardwood							

11" MIN FOREST RETENTION AREA
MACHINERY, BURNING, OR STORAGE OF ANY MATERIALS IS PROHIBITED
VIOLATORS ARE SUBJECT TO FINES AS IMPOSED BY THE MARYLAND FOREST CONSERVATION ACT OF 1981
FOREST CONSERVATION EASEMENT SIGNAGE
NOTE: SPACE SIGNS 100' APART MAXIMUM OR 150' WHEN ON PROTECTIVE FENCE. PLACE SPECIMEN TREE SIGN AS SHOWN ON PLAN.



- LEGEND**
- EDGE OF EXISTING FOREST PER HOWARD COUNTY MAPPING
 - SPECIMEN TREE
 - NET TRACT AREA, FOREST CONSERVATION EASEMENT & SIGNAGE
 - PRESERVATION EASEMENT
 - SOIL BOUNDARY
 - SOIL SYMBOL
 - 15 - 25% SLOPES
 - 25% OR GREATER SLOPES
 - OHU OVERHEAD UTILITY



SOIL LEGEND

MAP SYMBOL	MAPPING UNIT	HYDROLOGIC SOIL GROUP	HYDRIC COMPONENTS	K _w	SLOPE
GaC	GAILA LOAM	B	NO	0.20	0-15%
GgB	GLENELG LOAM	B	NO	0.20	3-8%
GgC	GLENELG LOAM	B	NO	0.20	0-15%
GnC	GLENVILLE BAILLE	B	NO	0.20	0-5%
MaD	MANOR LOAM	B	NO	0.20	15-25%
MkF	MANOR-BRINKLOW	B	NO	0.20	25-65%

APPROVED
HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
DIRECTOR, DEPARTMENT OF PLANNING AND ZONING
CHIEF, DIVISION OF LAND DEVELOPMENT
CHIEF, DEVELOPMENT ENGINEERING DIVISION

DATE: 11-4-21
DATE: 11/1/21
DATE: 11-30-21

DATE: 11/27/18 REVISIONS: COMMENTS

OFF SITE FOREST CONSERVATION FOR HIGH SCHOOL 13 CISSEL / SHARP PROPERTY
LIBER 17509 AT FOLIO 056

TAX MAP: 20 GRID NO: 3 PARCEL NO: 65 ELECTION DISTRICT: No. 4 HOWARD COUNTY, MARYLAND EX. ZONING: RC-DEO SCALE: 1" = 100' DATE: DECEMBER, 2018 SHEET 1 OF 1

OWNER / DEVELOPER: CHARLES A. & DENISE D. SHARP 4003 JENNINGS CHAPEL ROAD BROOKVILLE, MARYLAND 20833 (489) 465 - 4630

VANMAR ASSOCIATES, INC. Engineers Surveyors Planners 310 South Main Street Mount Airy, Maryland 21771 (301) 829-2880 (301) 831-9015 (410) 549-2751 Fax (301) 831-5603 ©Copyright, Latest Date Shown

8/21/19

Sheet SDP-19-066 131 of 131