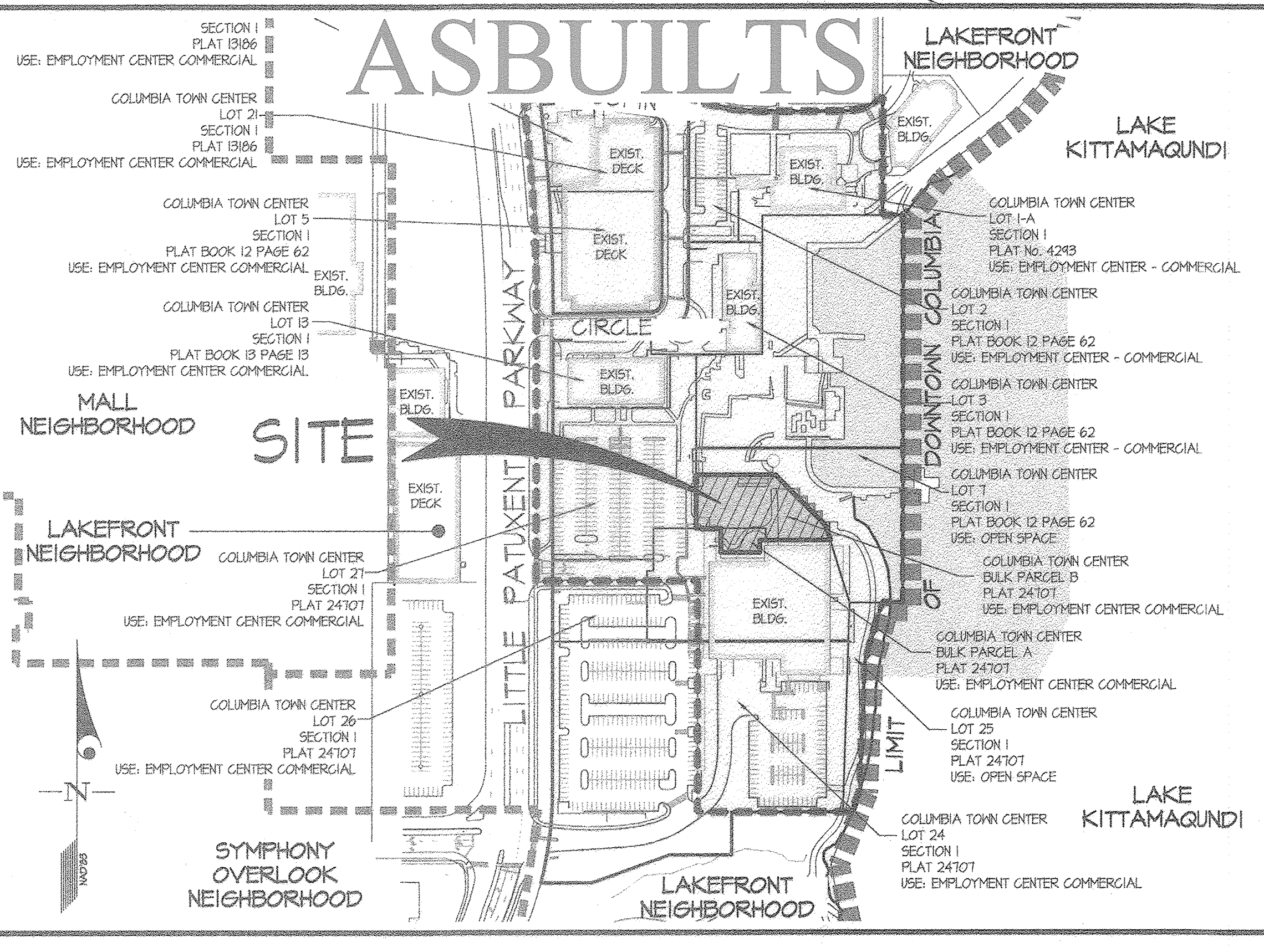


GENERAL NOTES

- 1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF HOWARD COUNTY PLUS MSHA STANDARDS AND SPECIFICATIONS IF APPLICABLE.
2. THE CONTRACTOR SHALL NOTIFY THE BUREAU OF ENGINEERING/CONSTRUCTION INSPECTION DIVISION AT (410) 313-1880 AT LEAST 48 HOURS PRIOR TO THE START OF WORK.
3. THE CONTRACTOR SHALL NOTIFY "MISS UTILITY" AT 1-800-251-7171 AT LEAST 48-HOURS PRIOR TO ANY EXCAVATION WORK.
4. THE CONTRACTOR SHALL NOTIFY THE HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS/BUREAU OF UTILITIES AT (410) 313-4100 AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION WORK.
5. PROJECT BACKGROUND:
LOCATION: TAX MAP 36
PROPERTY IS ZONED "M" OPEN SPACE LOT 1 IS DESIGNATED AS DOWNTOWN MIXED USE AREA ADDITIONALLY, THE PROJECT AREA IS SUBJECT TO THE DOWNTOWN COLUMBIA PLAN - A GENERAL PLAN AMENDMENT EFFECTIVE APRIL 6, 2010.
ELECTION DISTRICT: FIFTH ELECTION DISTRICT
AREA OF LOTS: OPEN SPACE LOT 1 - 0.60 AC
RECORD PLAT NO.: 25127
DPZ REF. FILE NO.: FDP-DC-L-1, ECP M-014, F 20-003, F 20-004
6. TOPOGRAPHIC FIELD SURVEY WAS PERFORMED ON AUGUST 2010 BY GUTSCHICK, LITTLE AND WEBER, P.A.
7. COORDINATES ARE BASED ON NAD 83 MARYLAND COORDINATE SYSTEM AS PROJECTED BY HOWARD COUNTY GEODETIC CONTROL STATION NUMBERS: 36AA AND 306A.
8. THE EXISTING UTILITIES SHOWN HEREIN WERE DERIVED FROM AVAILABLE PUBLIC RECORDS AND FIELD LOCATIONS BY GUTSCHICK, LITTLE & WEBER, P.A. AND AT DATA. THE CONTRACTOR MUST DIG TEST PITS BY HAND AT ALL UTILITY CROSSINGS AND CONNECTION POINTS TO VERIFY EXACT LOCATION.
9. SPOT ELEVATIONS SHOWN FOR CURBS ARE BOTTOM OF CURB UNLESS OTHERWISE NOTED.
10. ALL PLAIN DIMENSIONS ARE TO THE FACE OF BUILDING OR CURB UNLESS OTHERWISE NOTED. DIMENSIONS ARE MEASURED PERPENDICULAR OR RADIAL BETWEEN ITEMS UNLESS NOTED OTHERWISE.
11. THERE ARE NO KNOWN GRAVE SITES, CEMETERIES, FLOOD PLAINS OR WETLANDS ON SITE. WETLANDS AND FLOODPLAIN ARE PRESENT ADJACENT TO THIS SITE BUT ARE NOT BEING DISTURBED UNDER THIS PLAN.
12. NO PUBLIC WATER SERVICE EXISTING OR PROVIDED. WATER TO FOUNTAINS PROVIDED BY WDC FROM WILKES, BEANS FOUNTAIN BUILDING.
13. SEWER SERVICE IS PUBLIC (CONTR. #69-S).
14. THE PROJECT IS EXEMPT FROM FOREST CONSERVATION REQUIREMENTS OF SECTION 16.12002 OF THE HOWARD COUNTY CODE SECTION 16.12020(B)(3) (FOU) WITH A PDP APPROVED PRIOR TO 12/31/14.
15. THE CONTRACTOR SHALL TEST PIT ALL EXISTING UTILITIES AT LEAST (5) DAYS PRIOR TO STARTING ANY WORK SHOWN ON THESE DRAWINGS AND NOTIFY THE ENGINEER OF ANY CONFLICTS.
16. APPROXIMATE LOCATION OF EXISTING UTILITIES ARE SHOWN. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PROTECT THE EXISTING UTILITIES AND MAINTAIN UNINTERRUPTED SERVICE. ANY DAMAGE INCURRED DUE TO CONTRACTOR'S OPERATION SHALL BE REPAIRED IMMEDIATELY AT THE CONTRACTOR'S EXPENSE. EXISTING UTILITIES ARE SHOWN BASED ON THE BEST AVAILABLE INFORMATION.
17. NOTE: IN CASE OF DISCREPANCIES BETWEEN THE PLAN AND THE PLANS, THE PLAN SHALL GOVERN.
18. ALL OUTDOOR LIGHTING SHALL BE ORIENTED TO DIRECT LIGHT INWARDS AND DOWNWARDS ON-SITE AWAY FROM ALL ADJOINING PUBLIC ROADS AND IN ACCORDANCE WITH SECTION 194 OF THE HOWARD COUNTY ZONING REGULATIONS.
19. THE LANDSCAPE PLAN WAS PREPARED ACCORDING TO THE ALTERNATIVE COMPLIANCE SECTION OF THE LANDSCAPE MANUAL. THE LANDSCAPE PLANS HAVE BEEN PREPARED BY A REGISTERED LANDSCAPE ARCHITECT AND IS CERTIFIED TO MEET THE DESIGN INTENT OF THE LAKEFRONT CORE NEIGHBORHOOD DESIGN GUIDELINES. A LANDSCAPE SURETY IN THE AMOUNT OF \$130,000 WILL BE PROVIDED WITH THE DPW DEVELOPER'S AGREEMENT.
20. THE MINIMUM BUILDING SETBACKS RESTRICTIONS FROM PROPERTY LINES AND PUBLIC ROAD RIGHTS OF WAY ARE TO BE IN ACCORDANCE WITH FDP-DC-L-1 AND LAKEFRONT CORE NEIGHBORHOOD DESIGN GUIDELINES.
21. THIS PROPERTY IS SUBJECT TO THE LAKEFRONT CORE NEIGHBORHOOD SPECIFIC DESIGN GUIDELINES (NDG), RECORDED IN L. 03940, F. 308, THE LAKEFRONT CORE NEIGHBORHOOD SPECIFIC IMPLEMENTATION PLAN (NSIP), RECORDED IN L. 03940, F. 308, THE LAKEFRONT CORE NEIGHBORHOOD CONCEPT PLAN (RCP) RECORDED AS PLAT NOS. 24710 THRU 24714 AND THE LAKEFRONT CORE FINAL DEVELOPMENT PLAN (FDP-DC-L-1), RECORDED AS PLAT NOS. 24712 THRU 24718.
22. AT THE TIME OF SDP APPROVAL, THE SITE IS UNDER PHASE I OF THE DOWNTOWN REVITALIZATION PHASING PROGRESSION.
23. THERE ARE HIGHLY ERODIBLE SOILS ON SITE. MORE STRINGENT SEEDING AND STABILIZATION METHODS MAY BE EXPECTED. SOIL TABLE PROVIDED ON SHEET 0.
24. THE PROPOSED HEIGHT OF THE COMMUNITY PERGOLA IS 1 STORY, 14 FEET. THE MAXIMUM HEIGHT OF BUILDINGS ALLOWED FOR THIS PROJECT PER GUIDELINES IS A MAXIMUM OF 4 STORIES AND NOT TO EXCEED 60 FEET.
25. PROPERTY OWNER TO COORDINATE PRIVATE TRASH PICK UP FROM THE SITE.
26. SITE AREA FALLS WITHIN HOWARD COUNTY SCD SOIL MAP #10.
27. THE SCENIC ROADS MAP DOES NOT INDICATE ANY SCENIC ROADS IN THE VICINITY.
28. THERE ARE NO DESIGNATED HISTORIC OR CULTURALLY SIGNIFICANT EXISTING SITES, BUILDINGS, OR STRUCTURES OR PUBLIC ART WITHIN THE SITE AREA.
29. THE GEOTECHNICAL REPORT WAS PROVIDED BY ROBERT B. BALTER COMPANY DATED OCTOBER, 2010.
30. THE WETLAND DELINEATION STUDY FOR THIS PROJECT WAS PREPARED BY BIOHABITATS DATED OCTOBER, 2010.
31. TRAFFIC STUDY FOR THE PROJECT WAS PREPARED BY WELLS AND ASSOCIATES DATED OCTOBER, 2010.
32. BOUNDARY INFORMATION TAKEN FROM BOUNDARY SURVEYS BY DRAFT, MCGINE AND WALKER.
33. NO GRADING, REMOVAL OF VEGETATIVE COVER OR TREES, OR PLACEMENT OF NEW STRUCTURES IS PERMITTED WITHIN LIMITS OF WETLANDS, STREAMS OR THEIR REQUIRED BUFFERS, OR 100 YEAR FLOODPLAIN AREAS, UNLESS PERMITTED UNDER AN APPROVED MAJOR PERMIT OR DETERMINED TO BE ESSENTIAL OR NECESSARY BY DPZ.
34. THE PROJECT IS WITHIN THE METROPOLITAN DISTRICT.
35. THIS SITE QUALIFIES FOR REDEVELOPMENT UNDER MDC CRITERIA. STORMWATER MANAGEMENT FOR THIS SITE WILL BE PROVIDED IN ACCORDANCE WITH CHAPTER 5 OF THE MDC STORMWATER DESIGN MANUAL. IN ORDER TO FULFILL THE STORMWATER MANAGEMENT REQUIREMENTS A COMBINATION OF MICRO-BIORETENTION (M-B), FILTERABLE PAVEMENT (A-2) AND A STORMWATER MANGROVE WILL BE USED. ALL STORMWATER DEVICES WILL BE PRIVATELY OWNED AND MAINTAINED. THERE ARE NO MAJOR STORMWATER MANAGEMENT FACILITIES WITHIN THE PLAN AREA OR ADJOINING LAND.
36. PRIOR TO SUBMITTING THIS SDP, A PRE-SUBMISSION COMMUNITY MEETING WAS HELD ON OCTOBER 23, 2010 AT SLAYTON HOUSE. NOTICE OF THE MEETING WAS PROVIDED IN ACCORDANCE WITH SECTION 16.120 OF THE ZONING REGULATIONS.
37. PRIOR TO SUBMITTING THIS SITE DEVELOPMENT PLAN, A SUBMISSION TO THE HOWARD COUNTY DESIGN ADVISORY PANEL WAS MADE IN ACCORDANCE WITH SECTION 125.113(D). THE DESIGN ADVISORY PANEL CONSIDERED THE AFFILIATION AT ITS MEETING ON OCTOBER 24, 2010. THE DAP ADOPTED THREE RECOMMENDATIONS TO THE PLANNING BOARD FOR THE PROJECT AS NOTED IN THE MINUTES.
38. THERE ARE NO EXISTING SIGNATURE BUILDINGS WITHIN THE SITE AREA. THE SITE IS ADJACENT TO A SIGNATURE BUILDING WITH SPECIAL PROTECTIONS AFFORDED BY THE DOWNTOWN COLUMBIA PLAN.
39. THE PLANNING BOARD HAS APPROVED AND ISSUED BUILDING PERMITS FOR ABOUT 2,122,091 SQUARE FEET OF NET NEW DEVELOPMENT DOWNTOWN. FINAL SQUARE FOOTAGES WILL BE MAINTAINED IN THE DOWNTOWN COLUMBIA DATABASE MAINTAINED BY THE COUNTY. SEE THE NEIGHBORHOOD IMPLEMENTATION PLAN FOR A CEPPA UPDATE.
40. THE DOWNTOWN NEIGHBORHOOD SQUARE IS TO BE DEED TO THE COUNTY AT THE COMPLETION OF CONSTRUCTION IN FULFILLMENT OF CEPPA NO. 22. MAINTENANCE FOR THE SQUARE WILL BE FULFILLED BY THE DEPARTMENT OF RECREATION AND PARKS.
41. PER SECTION 125.0.A.(4)(f) AND IN ACCORDANCE WITH THE ALTERNATIVE CEPPA TIMING APPROVED 6/21/10, NEW DOWNTOWN COMMUNITY COMMONS SHOWN ON THIS SDP WILL BE CONSTRUCTED IN ACCORDANCE WITH THE FOLLOWING PHASING PLAN:
1. THE DOWNTOWN NEIGHBORHOOD SQUARE (OPEN SPACE LOT 1) MUST BE COMPLETED AND DEEDED TO HOWARD COUNTY PRIOR TO ISSUANCE OF A BUILDING PERMIT FOR THE 2,600,000TH NET NEW SQUARE FOOT OF DEVELOPMENT.

SITE DEVELOPMENT PLAN
DOWNTOWN COLUMBIA
LAKEFRONT CORE NEIGHBORHOOD
OPEN SPACE LOT 1
PUBLIC DOWNTOWN NEIGHBORHOOD SQUARE



KEY MAP SCALE: 1" = 200'

DEVELOPMENT CHART table with columns for PARCEL, Area (SF), Area (Acre), and various uses (Retail, Office, Cultural, Total) categorized by Existing, Demolition, and Net New.

(1) OPEN SPACE LOT 1 IS FOR THE DOWNTOWN COLUMBIA PUBLIC SQUARE.
NOTE: CEPPA'S CANNOT BE TRIGGERED FROM DEVELOPMENT OF DOWNTOWN ARTS, CULTURAL AND COMMUNITY USES OR RESIDENTIAL DEVELOPMENTS INCLUDING AT LEAST 40% AFFORDABLE UNITS.

Community Enhancements, Programs and Public Amenities (CEPPA's) Tracking Chart table with columns for CEPPA, Trigger, Notes, and completion status.

APPROVED PLANNING BOARD OF HOWARD COUNTY
Date: May 16, 2019
APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
Director: May 29, 2019
Chief, Division of Land Development: May 29, 2019
Chief, Development Engineering Division: May 19, 2019

GLW PLANNING [ENGINEERING] SURVEYING
3809 NATIONAL DRIVE | SUITE 250 | BURTONSVILLE, MD 20886 | GLWPA.COM
PHONE: 301-421-4024 | FAX: 301-421-1188

DESIGNED BY:
DRAWN BY:
CHECKED BY: [Signatures and dates]
DATE:
ADD NOTE REGARDING VETERAN'S MEMORIAL
Add top of Boulder Elevation to Legend
REVISION

PREPARED FOR:
ACB PARKING BUSINESS TRUST
c/o THE HOWARD RESEARCH AND DEVELOPMENT CORP.
10980 GRANCHESTER WAY, SUITE 110
CONTACT: CAROL DOONEY
COLUMBIA, MARYLAND 21044
410.964.5408

PROFESSIONAL CERTIFICATION
I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 14637
EXPIRATION DATE: MAY 21, 2020



GENERAL NOTES cont'

- 42. A PUBLIC EASEMENT WILL BE PROVIDED ON FDP-DC-L-1 PARCELS F AND/OR K AS NECESSARY THAT PROVIDES UNRESTRICTED ACCESS TO THE DOWNTOWN NEIGHBORHOOD SQUARE. THE EXACT LOCATION OF THE EASEMENT WILL BE DETERMINED WITH THE FINAL PLAN AND THIS SITE DEVELOPMENT PLAN. TEMPORARY CLOSURE OF NINCOPIN CIRCLE EXTENDED ROAD B TO VEHICULAR TRAFFIC IS PERMITTED DURING FESTIVALS, EVENTS AND OTHER PEDESTRIAN-ORIENTED ACTIVITIES PROVIDED PEDESTRIAN ACCESS TO THE DOWNTOWN NEIGHBORHOOD SQUARE IS MAINTAINED.
43. ALL PROPERTY CORNERS ARE TO BE LOCATED BY A LICENSED SURVEYOR AND THE APPROPRIATE PERMANENT MARKER TO BE SET.
44. NO PARKING IS REQUIRED FOR THE DOWNTOWN NEIGHBORHOOD SQUARE PER THE DEPARTMENT OF RECREATION AND PARKS BASED ON THE ANTICIPATED OPERATIONS. VISITORS ARE ANTICIPATED TO USE THE "PARK-ONCE" APPROACH RECOMMENDED BY THE DOWNTOWN COLUMBIA PLAN. PARK USERS WILL HAVE ACCESS TO PUBLICLY AVAILABLE PARKING IN THE LAKEFRONT CORE NEIGHBORHOOD. THERE ARE NO REQUIREMENTS FOR HANDICAP PARKING, HOWEVER, TWO HANDICAP PARKING SPACES HAVE BEEN LOCATED PROXIMATE TO THE DOWNTOWN NEIGHBORHOOD SQUARE AND ADJACENT TO A HANDICAP ACCESSIBLE ROUTE TO AND THROUGH THE SQUARE ON LOT 21.
45. CONTRACTOR SHALL NOTIFY THE HOWARD COUNTY DEPARTMENT OF RECREATION AND PARKS (DRP) AT 410-313-4100 AT LEAST 48 HOURS PRIOR TO WORK.
A. DRP SHALL BE FURNISHED WITH THE FINAL DRAWINGS AND ANY REVISIONS TO THE FINAL DRAWINGS, SPECIFICATIONS, SHOP DRAWINGS, SUBMITTALS AND ANY OTHER FORM OF APPROVALS PRIOR TO MANUFACTURE OR SHIPMENT OF MATERIAL FOR COMMENT AND FINAL APPROVAL.
B. DRP SHALL BE FURNISHED WITH A CONSTRUCTION SCHEDULE.
C. DRP SHALL BE NOTIFIED AT LEAST 48 HOURS PRIOR TO ANY CONSTRUCTION MEETING.
D. A REPRESENTATIVE DRP SHALL BE PRESENT ON-SITE DURING CONSTRUCTION FOR INSPECTION.
46. CONTRACTOR SHALL PROVIDE THE OWNER AND HOWARD COUNTY DEPARTMENT OF RECREATION AND PARKS AN AS-BUILT DRAWING AND/OR REPORT DEMONSTRATING ADA COMPLIANCE FOR THE IDENTIFIED RAMP, RAMPS AND AREAS SHOWN ON THE HANDICAP ACCESSIBILITY PLAN ON SHEET 3.
47. THE EXISTING STORM DRAIN SYSTEM HAS BEEN VIDEO INSPECTED AND IS AVAILABLE UPON REQUEST. CONTRACTOR SHALL TAKE ANY AND ALL NECESSARY PRECAUTIONS TO PROTECT ALL EXISTING STORM DRAINS DURING CONSTRUCTION. CONTRACTOR SHALL FLUSH THE STORM DRAIN SYSTEM, INCLUDING STRUCTURES, AT THE COMPLETION OF CONSTRUCTION AND ONCE THE SITE HAS BEEN FULLY STABILIZED.
48. THIS SITE INCLUDES THE USE OF RETAINING WALLS AS PART OF THE GRADING SCHEME FOR THE PROJECT. THE DESIGN HAS USED CONCRETE OR STONE RETAINING WALLS WITH LITTLE OR NO BATTER IN THE FACE OF THE WALL. CHANGES FROM CONCRETE AND/OR STONE TO OTHER MATERIALS MAY EFFECT THE LOCATION OF ADJACENT GROUND FEATURES AND MAY ADVERSELY IMPACT THE ADJACENT STORMWATER FACILITY. CHANGES TO ANOTHER WALL SYSTEM WILL REQUIRE THAT THE CHANGES BE REVIEWED AND APPROVED BY HOWARD COUNTY (REDLINE PROCESS).
49. THE MAXIMUM SLOPE FOR ALL VEGETATED OR MULCHED AREAS IS 3 HORIZONTAL TO 1 VERTICAL.
50. CONTRACTOR TO COORDINATE LOCATION OF BOARDWALK, PLAY EQUIPMENT, AND ART INSTALLATION FOOTINGS WITH EXISTING AND PROPOSED STORM DRAIN AND UNDERDRAINS TO AVOID CONFLICTS AND ADVERSE LOADINGS.
51. ANY EARTHWORK QUANTITIES DEPICTED IN THESE PLANS ARE FOR REVIEW PURPOSES ONLY. THE CONTRACTOR SHOULD PERFORM A DETAILED EARTHWORK ANALYSIS TO DETERMINE THE AMOUNT OF IMPORT/EXPORT OF MATERIAL IF ANY.
52. A PUBLIC PEDESTRIAN ACCESS EASEMENT RECORDED AT LIBER 10164, FOLIO 116 PROVIDES ACCESS TO THE PARK FROM A PUBLIC ROAD ACROSS PRIVATE PROPERTIES/STREETS.

NOTE: A COMMITTEE HAS BEEN APPOINTED BY COUNTY ADMINISTRATION FOR THE DESIGN AND CONSTRUCTION OF THE PROPOSED VETERAN'S MONUMENT. A RESOLVE FOR THIS PLAN WILL BE REQUIRED WHEN THE DESIGN HAS BEEN COMPLETED.

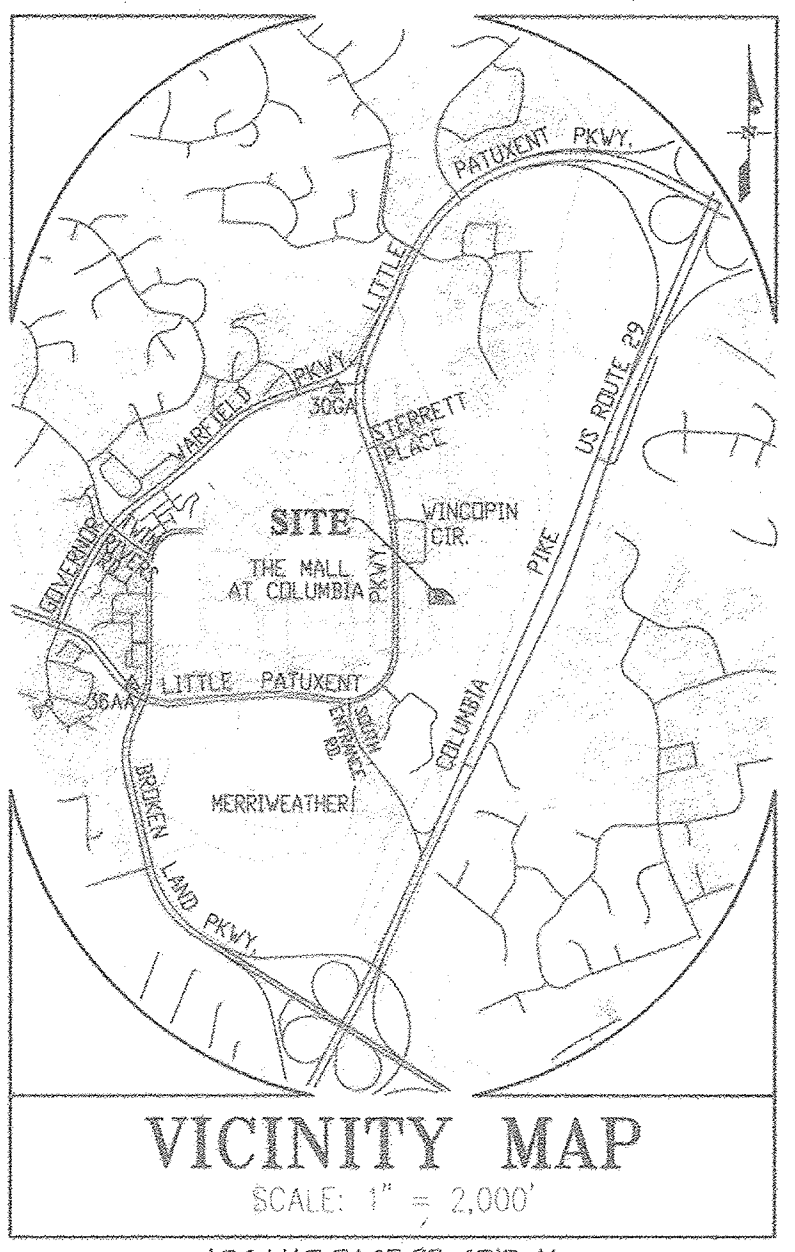
LEGEND table showing symbols for existing and proposed contours, limits of disturbance, floodplains, buildings, storm drains, sewer mains, public water, and boulder elevations.

CUMULATIVE DOWNTOWN COMMUNITY COMMONS TRACKING CHART table showing SDP No., Parcel, DCC Area Provided (SF), and Surplus by Parcel (SF).

- 1. GENERAL SITE DATA
A. TOTAL PROJECT AREA: 26,254 SQUARE FEET OR 0.6 AC.
B. LIGHT OF DISTURBED AREA: 24,401 SQUARE FEET OR 0.55 AC.
C. PRESENT ZONING: M (FDP DC-L-1)
D. PROPOSED USE OF SITE: PUBLIC SQUARE (DCC), VETERAN'S MEMORIAL & PLAYGROUND

ASBUILT COVER SHEET
PUBLIC DOWNTOWN NEIGHBORHOOD SQUARE
DOWNTOWN COLUMBIA
OPEN SPACE LOT 1
LAKEFRONT CORE
PLAT No. 25127

PERMIT INFORMATION CHART table with columns for SUBDIVISION NAME, SECTION/AREA, PARCEL, PLAT No., PARCEL, ZONE, TAX MAP, BLOCK, ELEC. DIST., and CENSUS TRACT.



VICINITY MAP SCALE: 1" = 2,000' ADC MAP PAGE 33, GRID AI

SHEET INDEX

SHEET INDEX table listing sheets for COVER SHEET, SITE DEVELOPMENT AND GRADING PLAN, SITE DETAILS AND HANDICAP ACCESSIBILITY PLAN, and LANDSCAPE.

Date: 7/9/2020
Carl K. Gutschick
Professional Engineer
Maryland Reg. No. 12475

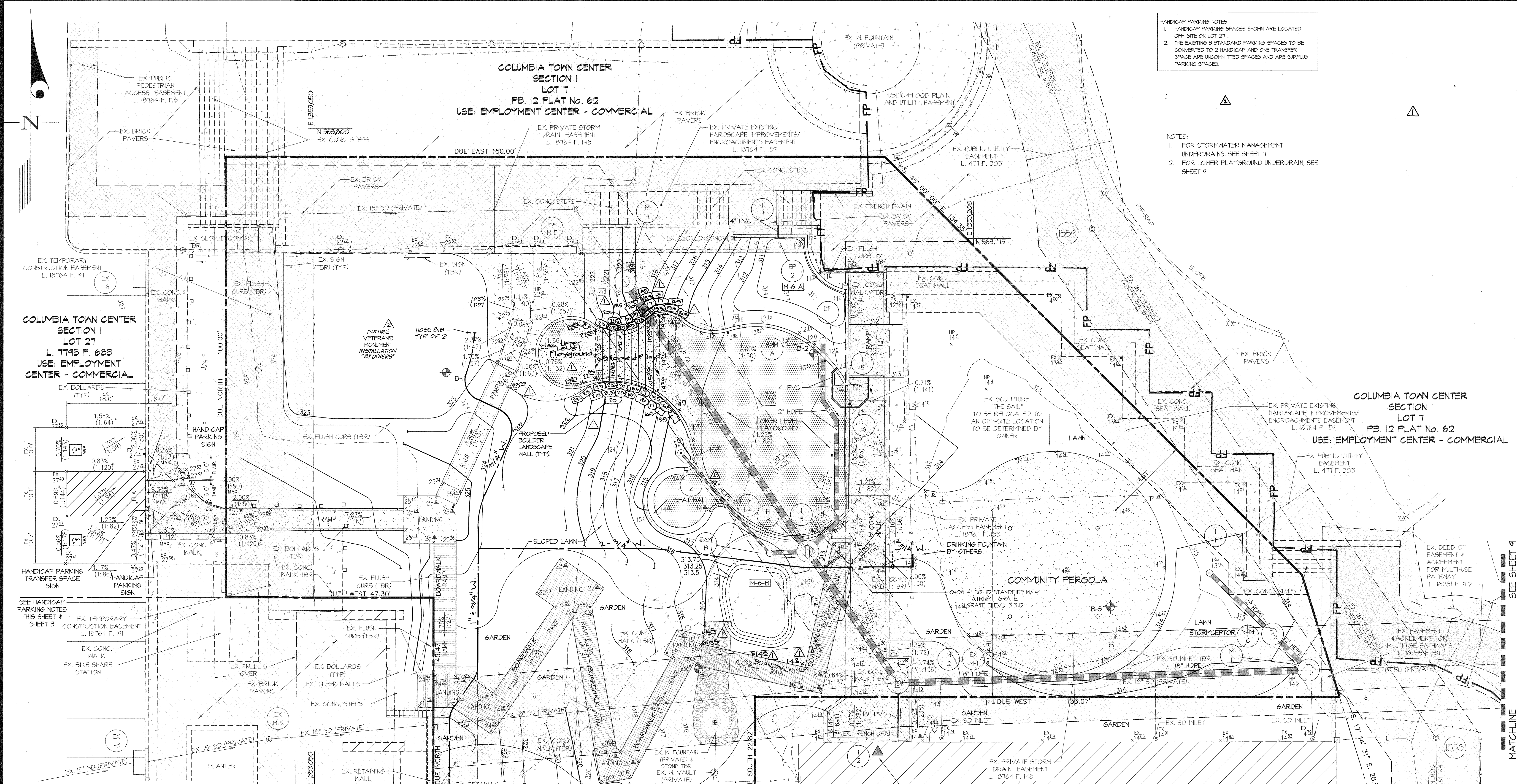
ADDRESS CHART table showing COMMUNITY PERGOLA at 10271 LITTLE PATUXENT PARKWAY.

ASBUILT SHEET 1 OF 4

SCALE, ZONING (AS SHOWN, NT), G. L. W. FILE No. (18050), DATE (JULY 2020, JULY, 2019), TAX MAP - GRID (36 - 2), SHEET (1 OF 25)

HANDICAP PARKING NOTES:
 1. HANDICAP PARKING SPACES SHOWN ARE LOCATED OFF-SITE ON LOT 21.
 2. THE EXISTING 3 STANDARD PARKING SPACES TO BE CONVERTED TO 2 HANDICAP AND ONE TRANSFER SPACE ARE UNCOMMITTED SPACES AND ARE SURPLUS PARKING SPACES.

NOTES:
 1. FOR STORMWATER MANAGEMENT UNDERDRAINS, SEE SHEET 7
 2. FOR LOWER PLAYGROUND UNDERDRAIN, SEE SHEET 4



APPROVED PLANNING BOARD OF HOWARD COUNTY
 Date: May 16, 2019

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
Nancy Jaffee 8-29-19
 Director Date
Vet Schulz 9/23/19
 Chief, Division of Land Development Date
John Smith 8-19-19
 Chief, Development Engineering Division Date

GLW
 PLANNING | ENGINEERING | SURVEYING

3909 NATIONAL DRIVE | SUITE 250 | BURTONSVILLE, MD 20886 | GLWPA.COM
 PHONE: 301-421-4024 | BALT: 410-880-1820 | DC&VA: 301-989-2524 | FAX: 301-421-4186

DESIGNED BY:	DATE:	REVISION:	BY:	APPR:

PREPARED FOR:
 ACB PARKING BUSINESS TRUST
 c/o THE HOWARD RESEARCH
 AND DEVELOPMENT CORP.
 10960 GRANCHESTER WAY, SUITE 110
 CONTACT: CAROL DOONEY
 COLUMBIA, MARYLAND 21044
 410.964.5408

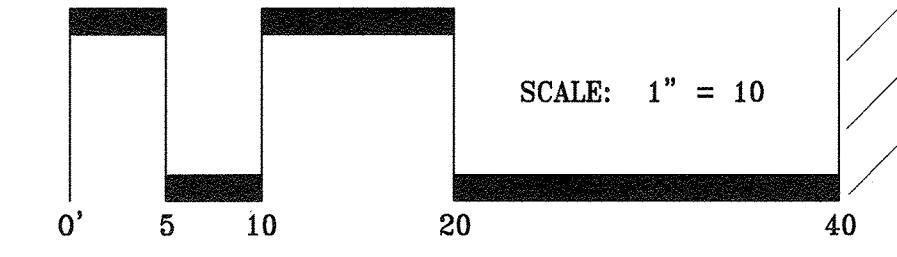
PROFESSIONAL CERTIFICATION
 I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 14937
 EXPIRATION DATE: MAY 21, 2020

Michael J. Smith
 PROFESSIONAL ENGINEER

SITE DEVELOPMENT & GRADING PLAN NO. ASBUILT
PUBLIC DOWNTOWN NEIGHBORHOOD SQUARE
DOWNTOWN COLUMBIA
OPEN SPACE LOT 1
LAKEFRONT CORE
 PLAT No. 2512-1

INFORMATION
 07/09/2020

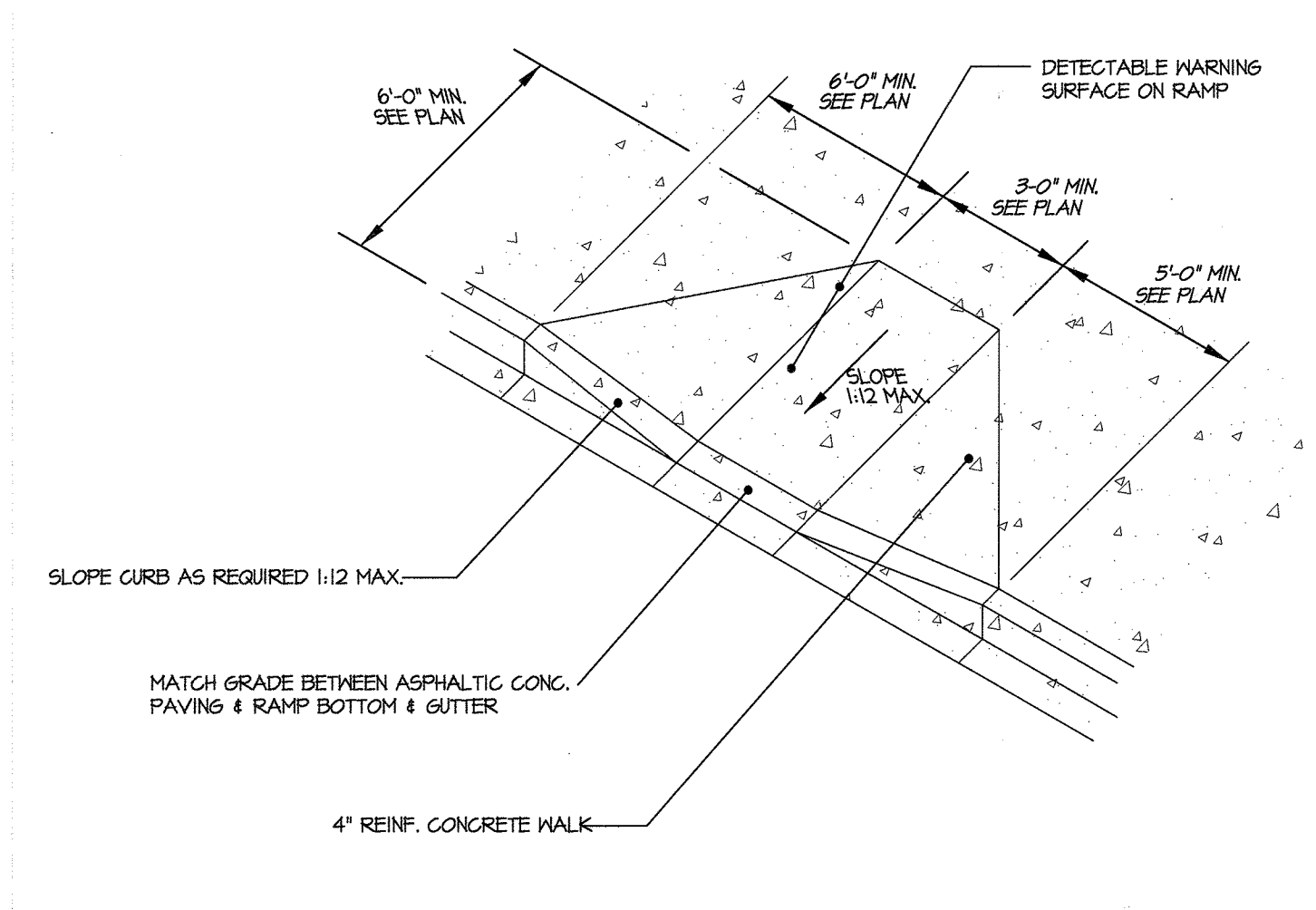
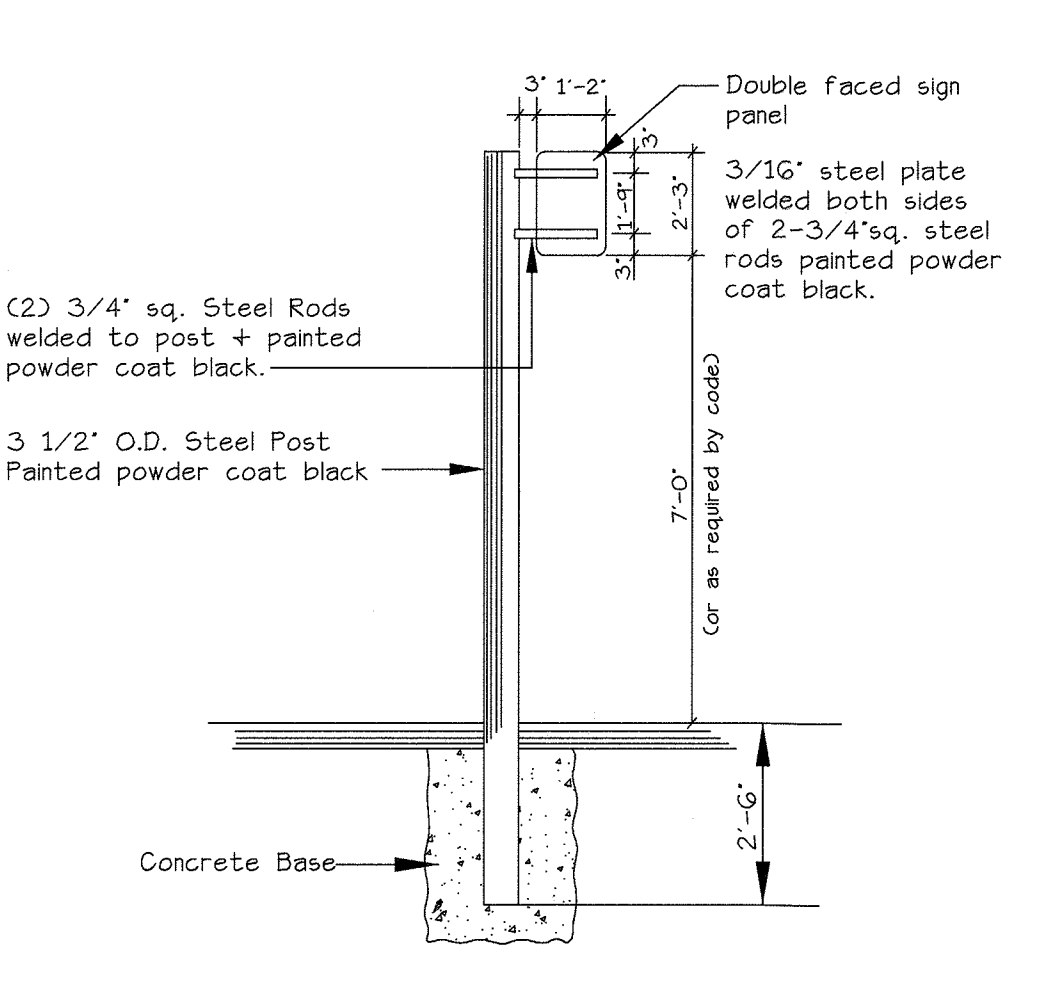
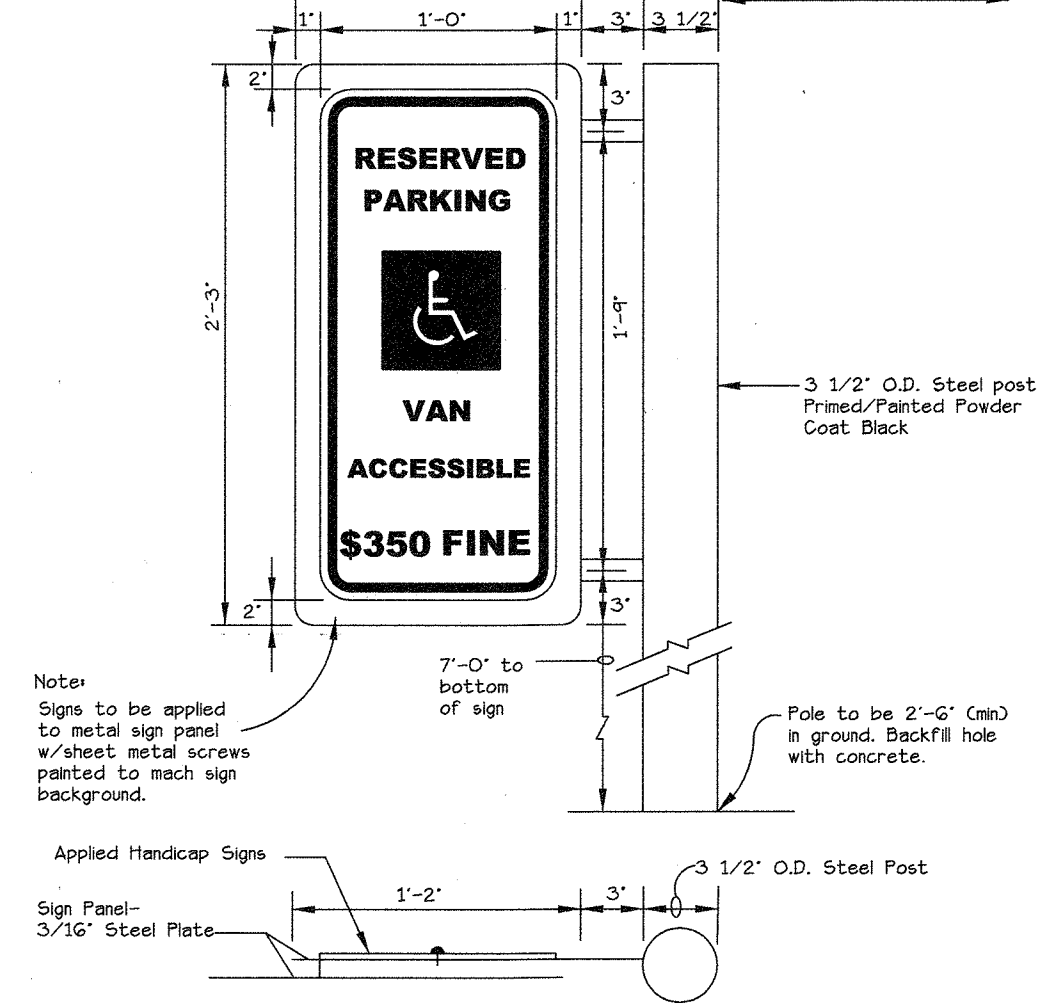
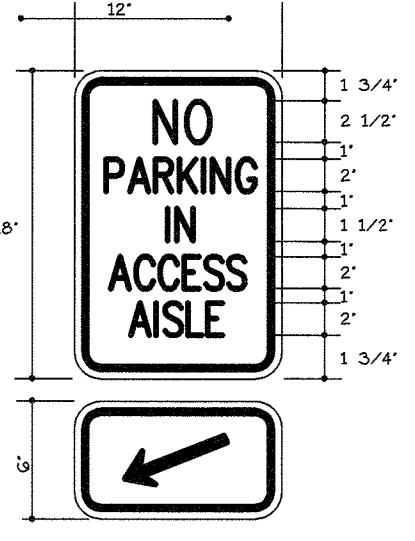
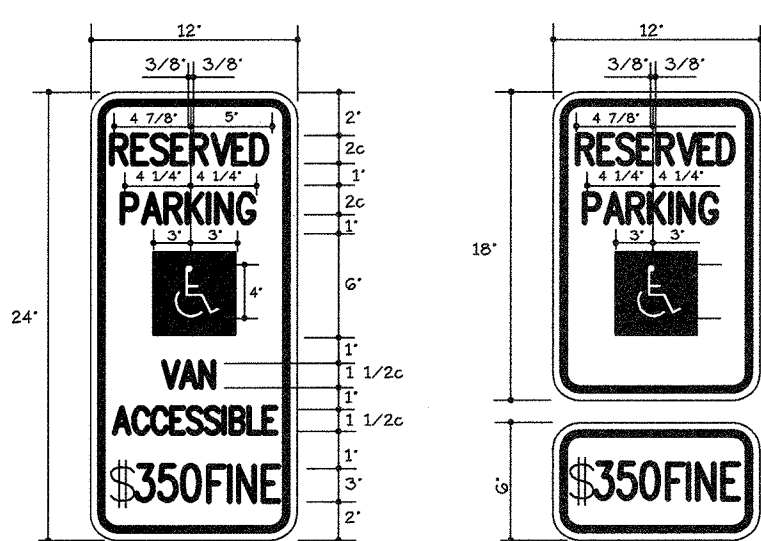
HOWARD COUNTY, MARYLAND



SCALE	ZONING	G. L. W. FILE No.
1"=10'	NT	18050
DATE	TAX MAP - GRID	SHEET
JULY, 2019	36 - 2	2 OF 25

L:\CAD\DRAWINGS\11068\18050\PLANS BY GLW\SP\18050-SP-02040808.dwg

MATCHLINE SEE SHEET 9



General Notes:
 1. Signs shall meet design standards of the Federal Highway Administration and conform to the State of Maryland Standard Highway sign booklet detail R7-8.
 2. One sign is required per space placed as shown on site plan.
 3. Spaces indicated on site plan as "VAN" accessible shall be signed accordingly.
 4. Colors: Legend and Border - green
 Symbol - white on blue background
 background - white

General Notes:
 1. Signs shall meet design standards of the Federal Highway Administration and conform to the State of Maryland Standard Highway sign booklet detail R8-1(2).
 2. One sign is required per access isle placed as shown on site plan.
 3. Colors: Legend and Border - green
 Symbol - white on blue background
 background - white

Notes:
 Signs to be applied to metal sign panel w/ sheet metal screws painted to match sign background.
 Applied Handicap Signs
 Sign Panel - 3/16" Steel Plate
 Pole to be 2'-6" (max) in ground. Backfill hole with concrete.

(2) 3/4" sq. Steel Rods welded to post + painted powder coat black.
 3 1/2" O.D. Steel Post Painted powder coat black.
 Concrete Base

6'-0" MIN. SEE PLAN
 6'-0" MIN. SEE PLAN
 3'-0" MIN. SEE PLAN
 5'-0" MIN. SEE PLAN
 SLOPE 1:12 MAX.
 SLOPE CURB AS REQUIRED 1:12 MAX.
 MATCH GRADE BETWEEN ASPHALTIC CONC. PAVING & RAMP BOTTOM & GUTTER
 4" REINF. CONCRETE WALK

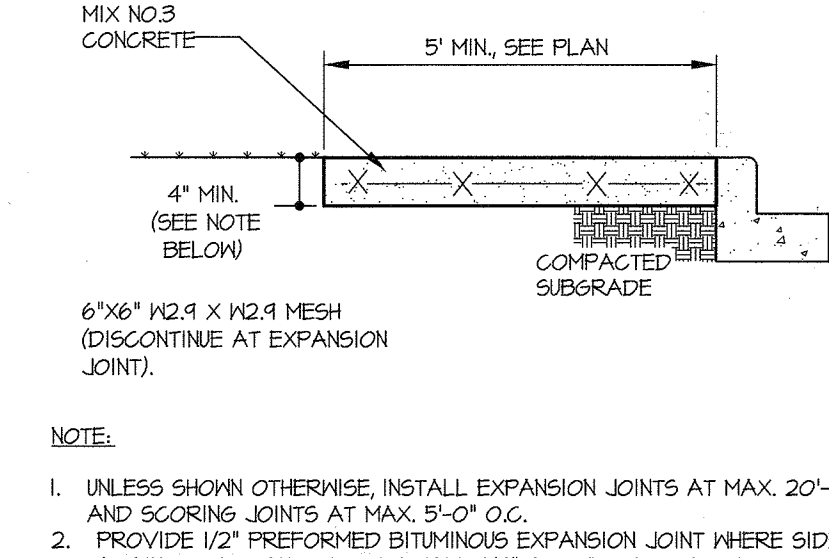
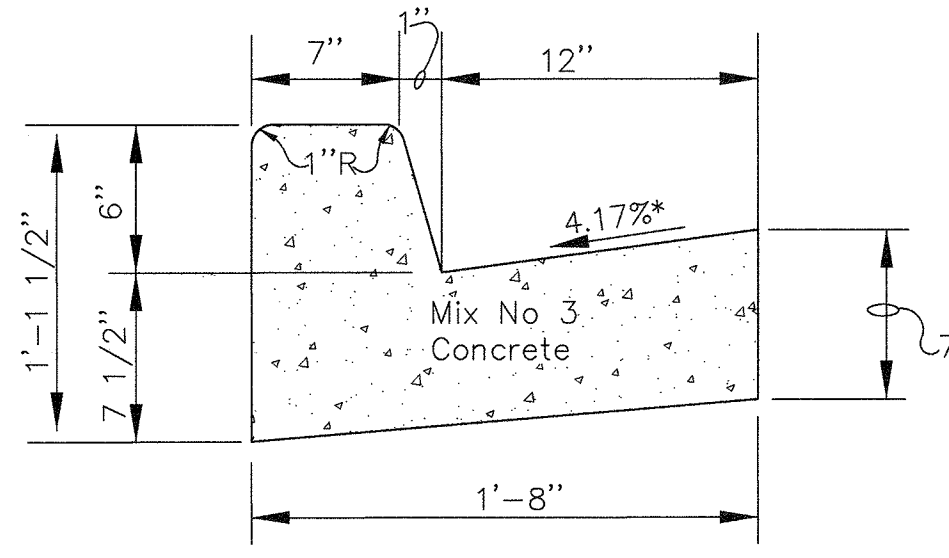
HANDICAP PARKING SIGNS DETAIL
N.T.S.

ACCESS ISLE SIGN DETAIL
N.T.S.

MOUNTING DETAIL FOR PARKING RESTRICTION SIGN
N.T.S.

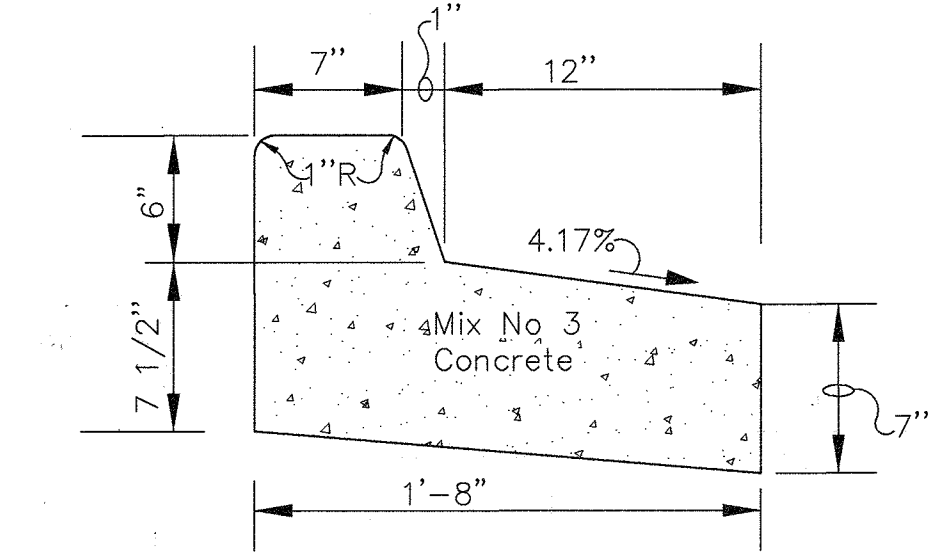
POST & SIGN PANEL DETAIL FOR PARKING RESTRICTION SIGN
N.T.S.

CURB RAMP DETAIL
N.T.S.



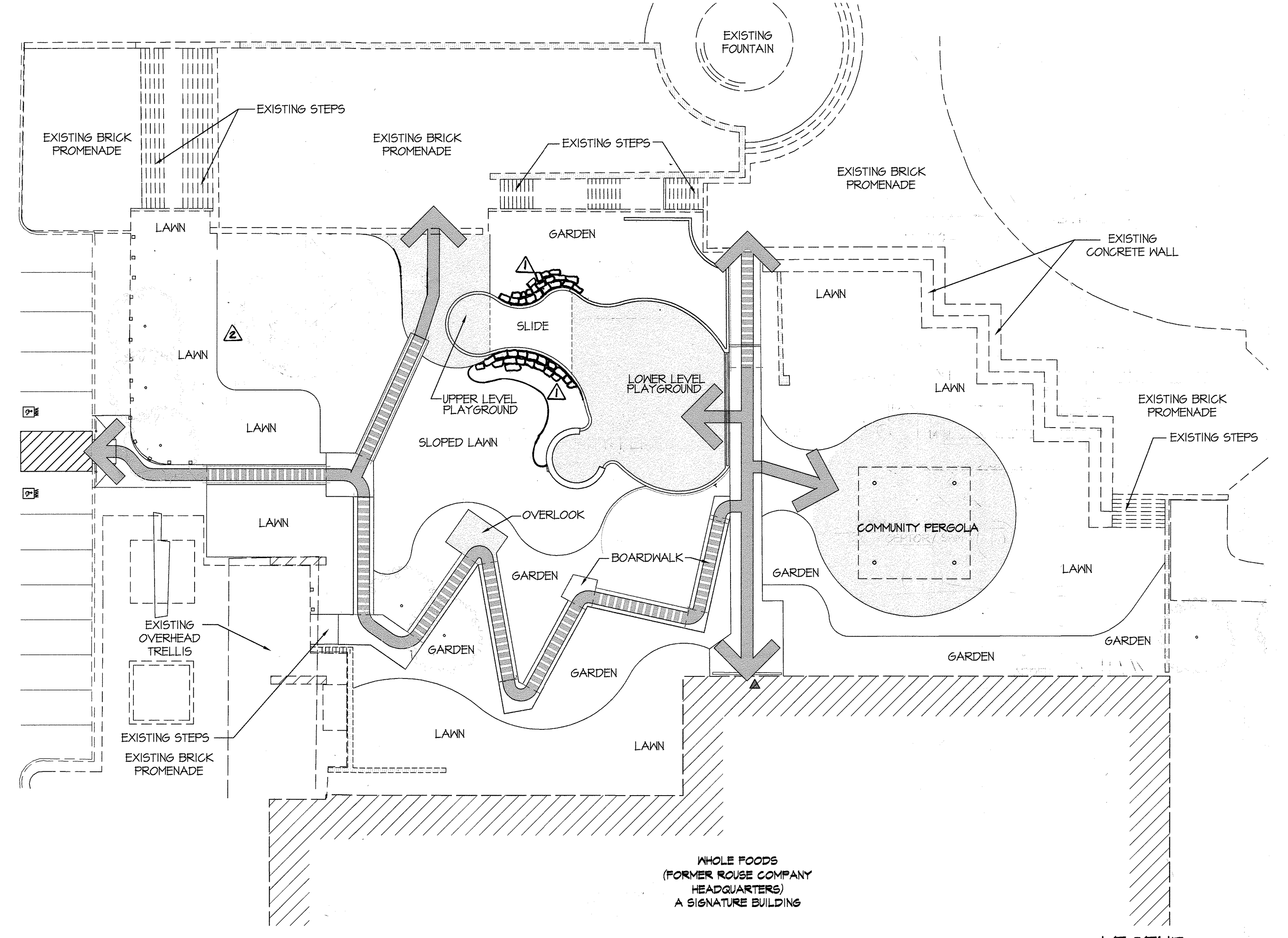
STANDARD 6" COMBINATION CURB AND GUTTER (AT CURB RAMP)
N.T.S.

TYPICAL SIDEWALK SECTION
N.T.S.



REVERSE 6" COMBINATION CURB AND GUTTER (AT CURB RAMP)
N.T.S.

- HANDICAP ACCESSIBILITY NOTES:**
1. MAXIMUM SIDEWALK CROSS SLOPE IS 2%.
 2. A 5' X 5' MINIMUM LEVEL (2% MAX.) LANDING IS REQUIRED AT THE TOP AND BOTTOM OF ALL RAMPS. RAMPS ARE SLOPES GREATER THAN 5%.
 3. A 5' X 5' MINIMUM LEVEL (2% MAX.) LANDING OUTSIDE OF BUILDING ENTRANCES/EXITS.
 4. MAXIMUM SLOPE IN ANY DIRECTION OF THE HANDICAP PARKING IS 2%.
 5. DETECTABLE WARNINGS ARE REQUIRED ON ALL SIDEWALK RAMPS.
 6. DETECTABLE WARNINGS ARE REQUIRED ON ALL SIDEWALKS WITHOUT CURB RAMPS THAT TERMINATE AT FLUSH CURB FOR ROADWAYS.
 7. HANDICAP ACCESSIBLE ROUTES SHALL HAVE A MAXIMUM OF 2% CROSS SLOPE AND A LONGITUDINAL SLOPE OF 5% MAXIMUM.
 8. HANDICAP ACCESSIBLE RAMPS SHALL HAVE A MAXIMUM OF 2% CROSS SLOPE AND A MAXIMUM LONGITUDINAL SLOPE OF 0.5% BUT ALL RAMPS SHALL NOT EXCEED A 30" MAXIMUM RISE.
 9. HANDICAP ACCESSIBLE AREAS SHALL PREDOMINATELY HAVE A SLOPE OF 2% OR LESS IN ANY DIRECTION AND MAY HAVE ISOLATED AREAS AT A MAXIMUM SLOPE IN ANY DIRECTION OF UP TO 5%.
 10. HANDICAP ACCESSIBLE FURNISHINGS AND PLAY EQUIPMENT SHALL REST ON AREAS, 5 FEET BY 5 FEET MINIMUM, THAT HAVE A MAXIMUM SLOPE OF 2% IN ANY DIRECTION.
 11. ALL AREAS SHALL HAVE POSITIVE DRAINAGE TO AN OUTLET.



HANDICAP ACCESSIBILITY PLAN
SCALE: 1" = 20'

- NOTES:**
1. FOR INFORMATION NOT SHOWN, SEE SHEET 2.
 2. FOR GRADING SEE SHEET 2.

LEGEND

	HANDICAP ACCESSIBLE ROUTE
	HANDICAP ACCESSIBLE RAMPS
	HANDICAP ACCESSIBLE AREA

APPROVED
PLANNING BOARD OF HOWARD COUNTY
 Date: May 16, 2019

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
 Director: Walter J. Griffin 8-29-19
 Chief, Division of Land Development: Veronica L. Smith 8/28/19
 Chief, Development Engineering Division: Chad L. Blum 8-19-19

GLW
 PLANNING | ENGINEERING | SURVEYING
 3909 NATIONAL DRIVE | SUITE 250 | BURTONSVILLE, MD 20866 | GLWPA.COM
 PHONE: 301-421-4024 | BALT: 410-880-1820 | DC&VA: 301-989-2524 | FAX: 301-421-4188

DESIGNED BY:		DATE:	
DRAWN BY:	mjt	DATE:	
CHECKED BY:	06/14/2020	REVISION:	REMOVE VETERANS MEMORIAL AREA PAVING AND BENCH
	01/07/20	REVISION:	Revise Boulder Wall
DATE:		BY:	APPR.

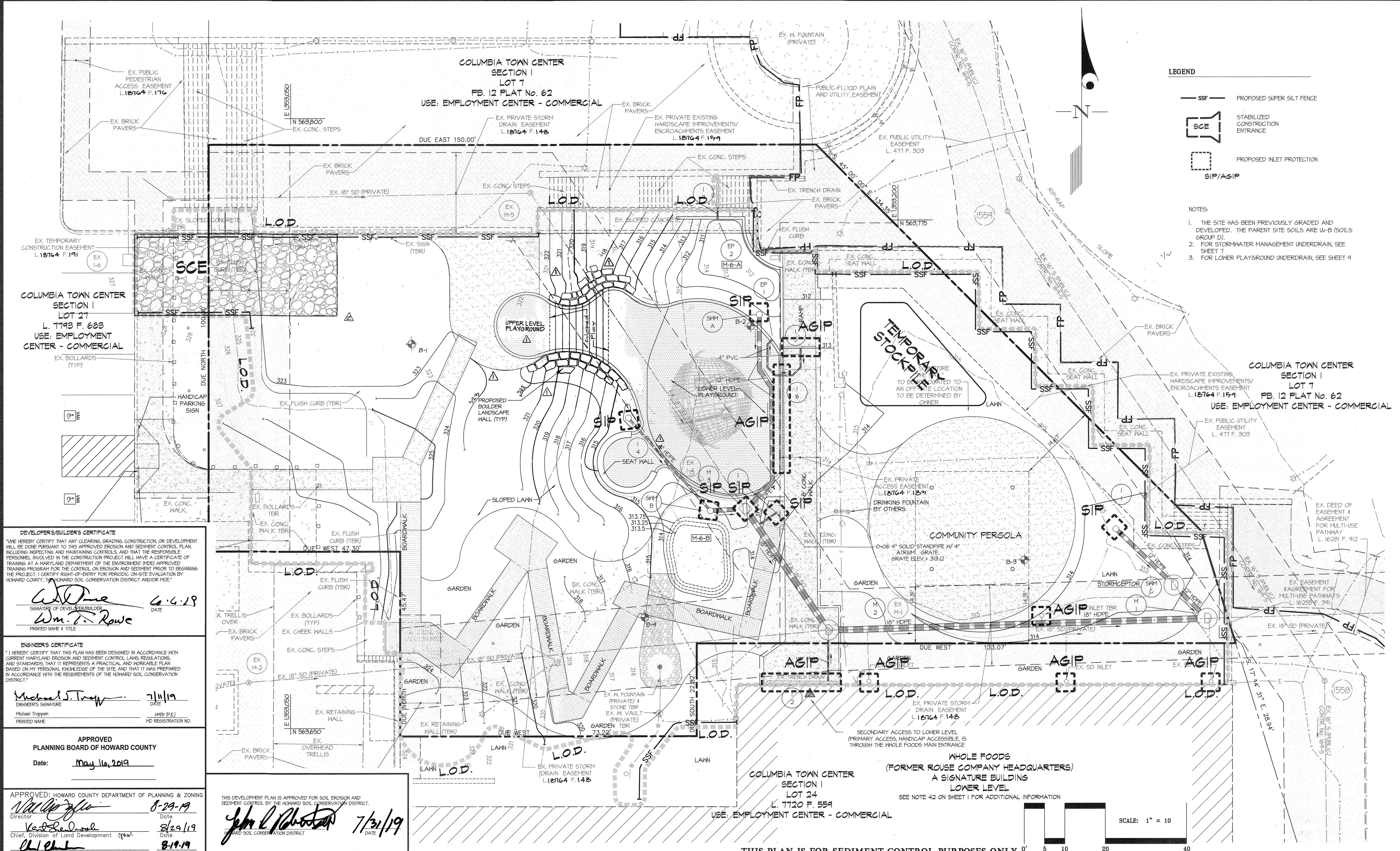
PREPARED FOR:
 ACB PARKING BUSINESS TRUST
 c/o THE HOWARD RESEARCH AND DEVELOPMENT CORP.
 10960 GRANCHESTER WAY, SUITE 110
 CONTACT: CAROL DOONEY
 COLUMBIA, MARYLAND 21044
 410.964.5408

PROFESSIONAL CERTIFICATION
 I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 14937
 EXPIRATION DATE: MAY 21, 2020

SITE AND HANDICAP ACCESSIBILITY DETAILS NO ASBUILT INFORMATION
PUBLIC DOWNTOWN NEIGHBORHOOD SQUARE
DOWNTOWN COLUMBIA
OPEN SPACE LOT 1 LAKEFRONT CORE
 PLAT NO. 25127
 HOWARD COUNTY, MARYLAND

SCALE	ZONING	G. L. W. FILE NO.
AS SHOWN	NT	18050
DATE	TAX MAP - GRID	SHEET
JULY, 2019	36 - 2	3 OF 25

L:\CAD\DRAWINGS\1068\18050\PLANS BY G.W.SBP\18050-SP-03.dwg
 DATE: 7/10/2019 11:30 AM
 USER: G.W.SBP
 PLOT: 7/10/2019 11:38 AM
 PLOTTER: HP DesignJet 5000



- LEGEND**
- PROPOSED SUPER SILT FENCE
 - STABILIZED CONSTRUCTION ENTRANCE
 - PROPOSED INLET PROTECTION

- NOTES:**
1. THE SITE HAS BEEN PREVIOUSLY GRADED AND DEVELOPED. THE PARENT SITE SOILS ARE U-B (SOILS GROUP D).
 2. FOR STORMWATER MANAGEMENT UNDERDRAIN, SEE SHEET 7
 3. FOR LOWER PLAYGROUND UNDERDRAIN, SEE SHEET 4

DEVELOPER'S/BUILDER'S CERTIFICATE
 "I/WE HEREBY CERTIFY THAT ANY CLEARING, GRADING, CONSTRUCTION OR DEVELOPMENT WILL BE DONE PURSUANT TO THIS APPROVED EROSION AND SEDIMENT CONTROL PLAN, INCLUDING INSPECTING AND MAINTAINING CONTROLS, AND THAT THE RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF TRAINING AT A MARYLAND DEPARTMENT OF THE ENVIRONMENT (MDE) APPROVED TRAINING PROGRAM FOR THE CONTROL OF EROSION AND SEDIMENT PRIOR TO BEGINNING THE PROJECT. I CERTIFY RIGHT-OF-ENTRY FOR PERIODIC ON-SITE EVALUATION BY HOWARD COUNTY, THE HOWARD SOIL CONSERVATION DISTRICT AND/OR MDE."
 Signature: *Wm. Rowe* DATE: 6.4.19
 PRINTED NAME & TITLE: **Wm. Rowe**

ENGINEER'S CERTIFICATE
 "I HEREBY CERTIFY THAT THIS PLAN HAS BEEN DESIGNED IN ACCORDANCE WITH CURRENT MARYLAND EROSION AND SEDIMENT CONTROL LAWS, REGULATIONS, AND STANDARDS, THAT IT REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE, AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT."
 Signature: *Michael J. Tropp* DATE: 7/11/19
 PRINTED NAME: **Michael Tropp**
 (P.E.) NO. REGISTRATION NO.

APPROVED PLANNING BOARD OF HOWARD COUNTY
 Date: May 16, 2019

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
 Director: *[Signature]* DATE: 8-29-19
 Chief, Division of Land Development: *[Signature]* DATE: 8/29/19
 Chief, Development Engineering Division: *[Signature]* DATE: 8/19/19

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.
 Signature: *[Signature]* DATE: 7/31/19
 HOWARD SOIL CONSERVATION DISTRICT

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 PHONE: 301-421-4024 | BALT: 410-880-1820 | DC&VA: 301-988-2524 | FAX: 301-421-4188

DESIGNED BY:		DATE:	
DRAWN BY:		DATE:	
CHECKED BY:	05/14/2020	DATE:	01/07/20
REVISION:	REMOVE VETERANS MEMORIAL AREA PAVING AND BENCH	BY:	MJT
	Rev. sloped play area incline to coordinate with slide	BY:	MJT

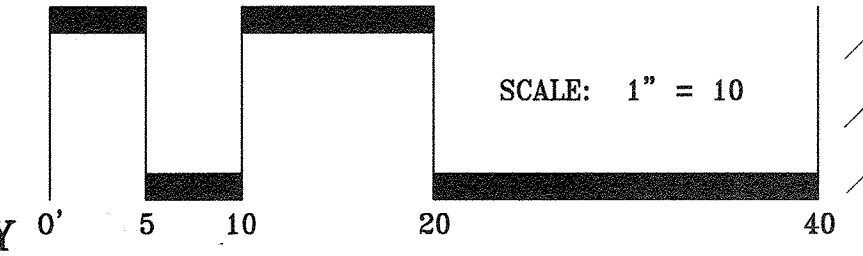
PREPARED FOR:
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 c/o THE HOWARD RESEARCH AND DEVELOPMENT CORP.
 10960 GRANCHESTER WAY, SUITE 110
 CONTACT: CAROL DOONEY
 COLUMBIA, MARYLAND 21044
 410.964.5408

PROFESSIONAL CERTIFICATION
 I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 14931
 EXPIRATION DATE: MAY 21, 2020
 Signature: *[Signature]*
 PROFESSIONAL ENGINEER

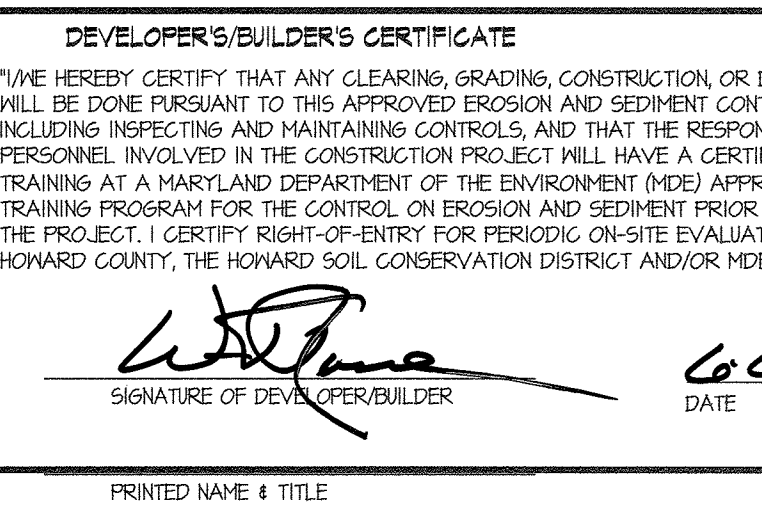
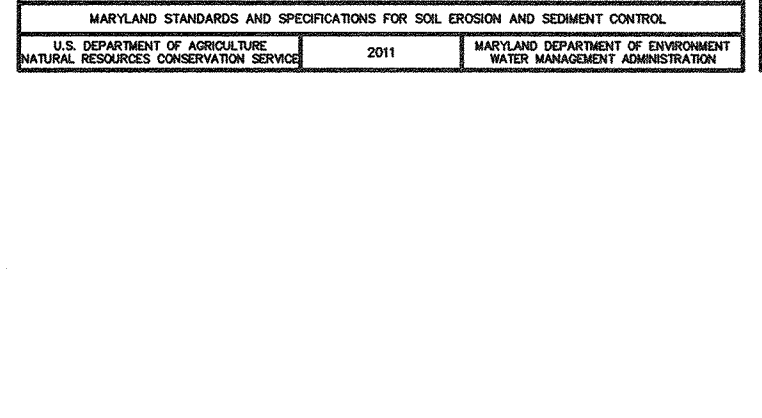
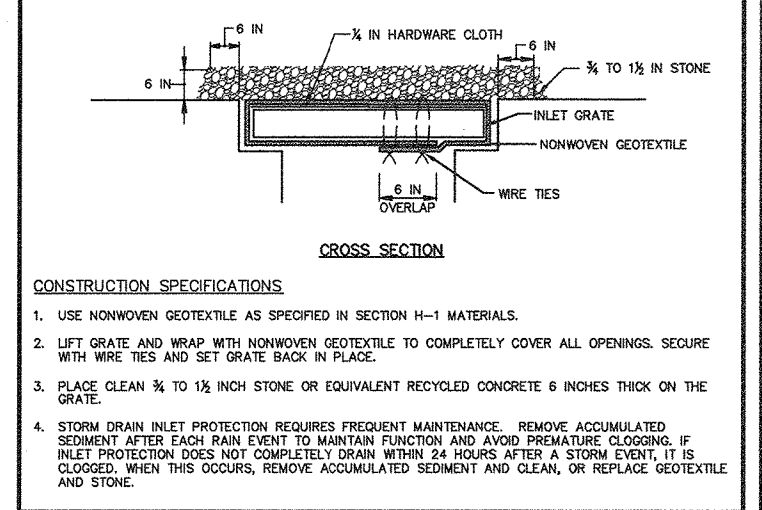
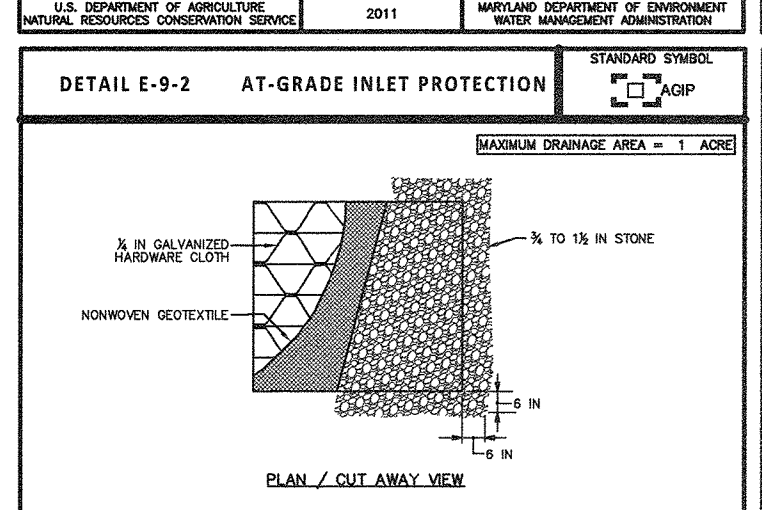
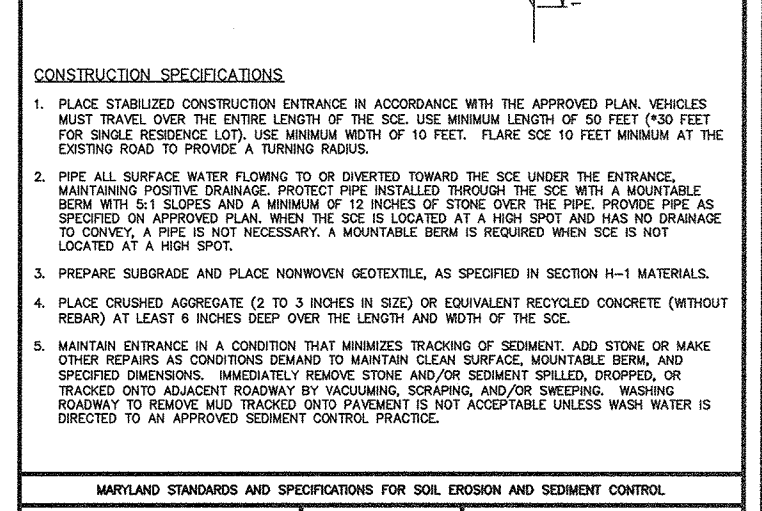
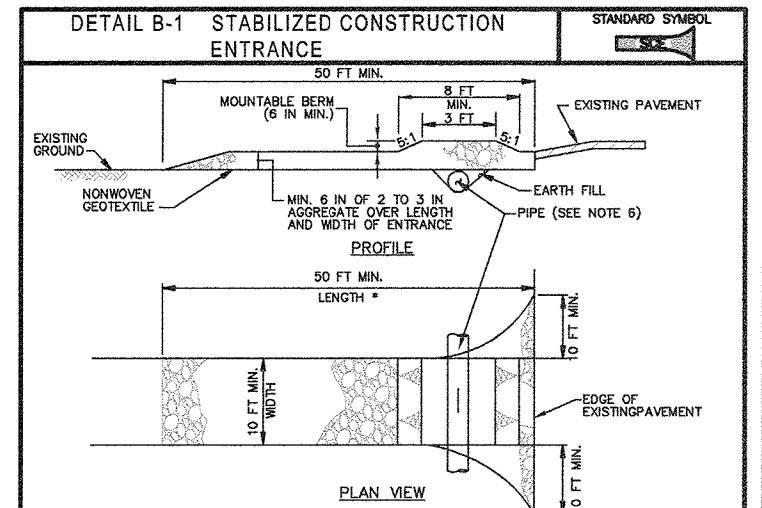
SEDIMENT CONTROL PLAN
 PUBLIC DOWNTOWN NEIGHBORHOOD SQUARE
 DOWNTOWN COLUMBIA
 OPEN SPACE LOT 1
 LAKEFRONT CREEK
 PLAT No. 25127
 NO ASBUILT INFORMATION 07/09/2020
 HOWARD COUNTY, MARYLAND

SCALE	ZONING	G. L. W. FILE No.
1"=10'	NT	18050
DATE	TAX MAP - GRID	SHEET
JULY, 2019	36 - 2	4 OF 25

THIS PLAN IS FOR SEDIMENT CONTROL PURPOSES ONLY



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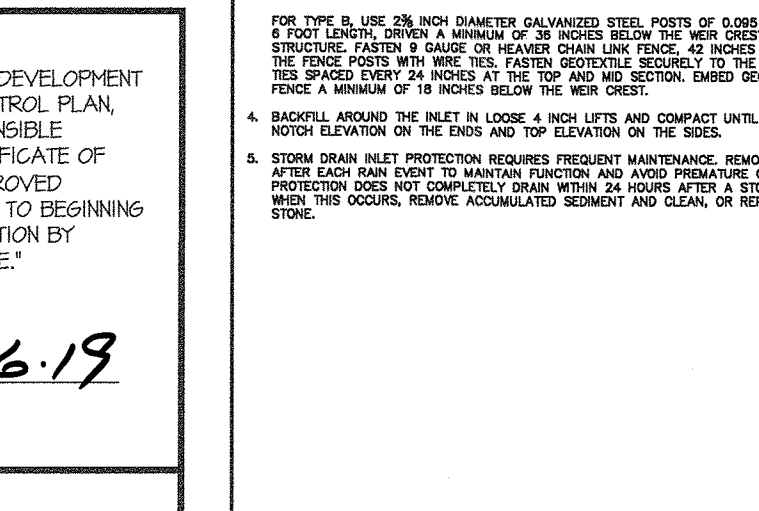
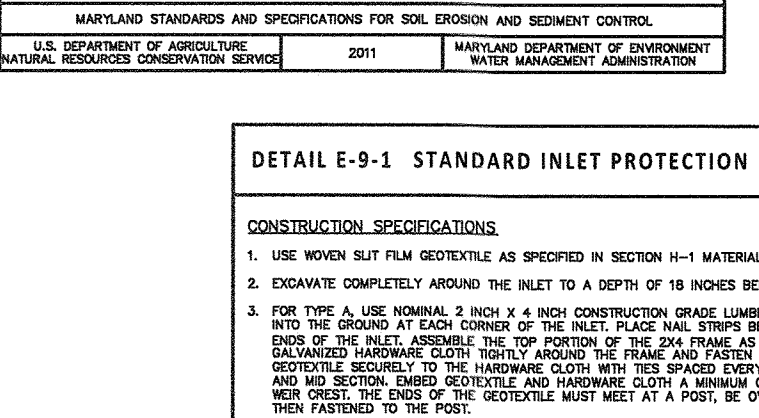
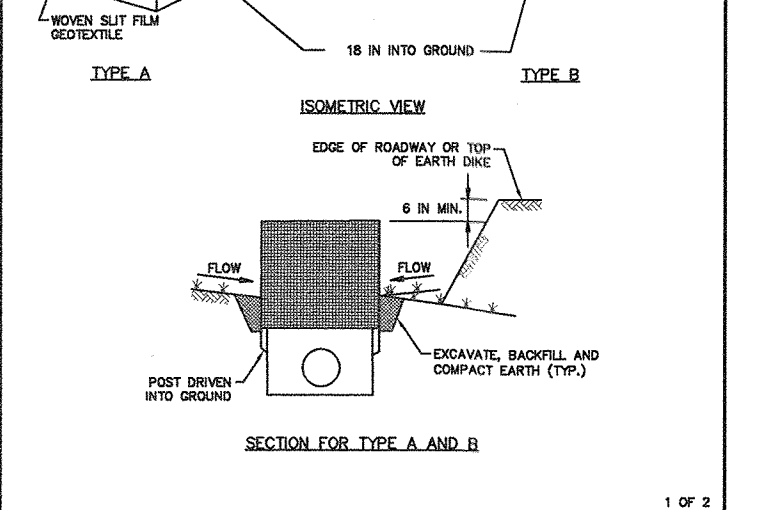
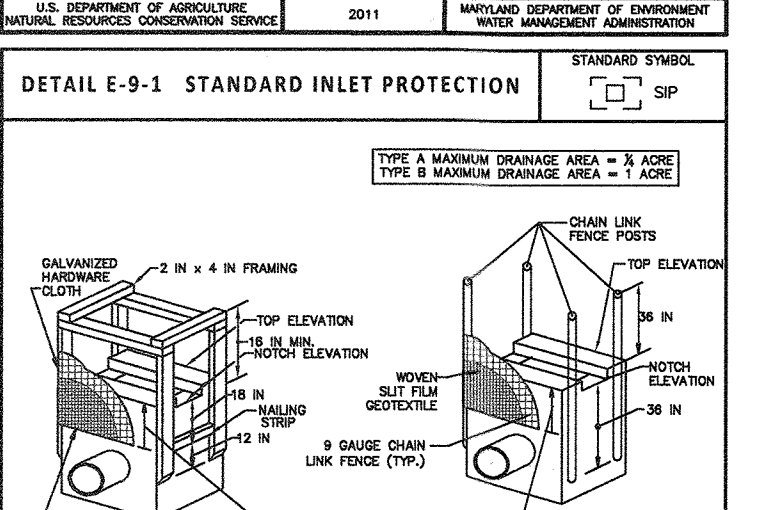
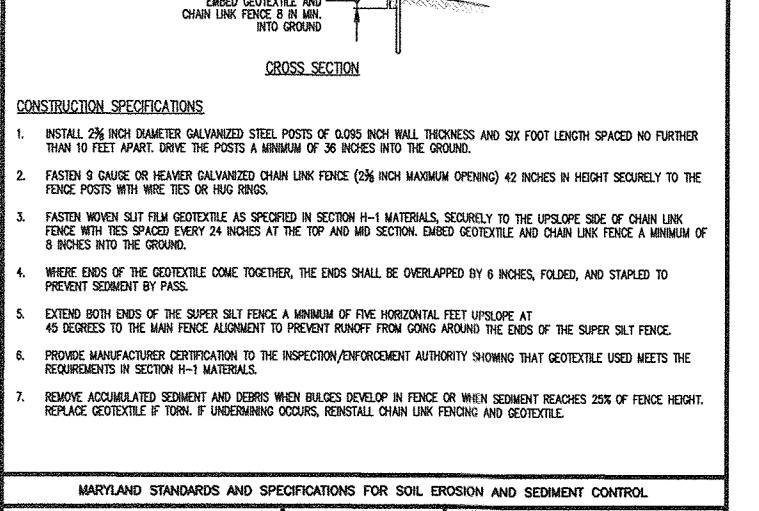
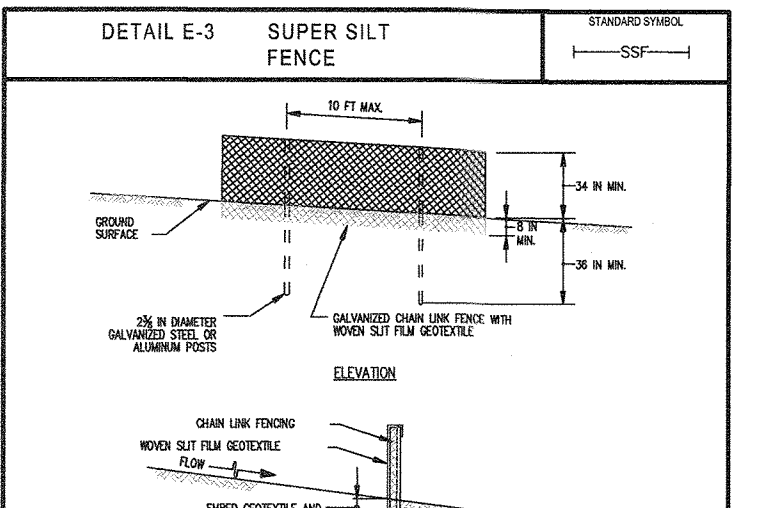
DEVELOPER/BUILDER'S CERTIFICATE. A section for the developer/builder to certify that the plan complies with all applicable laws and regulations. It includes a signature line and a date field.

ENGINEER'S CERTIFICATE. A section for the engineer to certify that the plan has been designed in accordance with applicable laws and regulations. It includes a signature line and a date field.

APPROVED PLANNING BOARD OF HOWARD COUNTY. A section for the Planning Board to approve the plan. It includes a signature line and a date field.

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING. A section for the Department of Planning & Zoning to approve the plan. It includes a signature line and a date field.

DESIGNED BY, DRAWN BY, CHECKED BY. A section for the design team to provide their names and roles.



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DESIGNED BY, DRAWN BY, CHECKED BY. A section for the design team to provide their names and roles.

B-4-2 STANDARD AND SPECIFICATIONS FOR SOIL PREPARATION, TOPSOILING, AND SOIL AMENDMENTS. A section defining soil preparation, topsoiling, and soil amendments, including their purposes and application methods.

DEFINITION, PURPOSE, CONDITIONS WHERE PRACTICE APPLIES, CRITERIA. A section defining soil preparation, topsoiling, and soil amendments, including their purposes and application methods.

A. SOIL PREPARATION. A section detailing the specifications for soil preparation, including the use of fertilizers and lime.

B. TOPSOILING. A section detailing the specifications for topsoiling, including the use of topsoil and mulch.

C. SOIL AMENDMENTS (FERTILIZER AND LIME SPECIFICATIONS). A section detailing the specifications for soil amendments, including the use of fertilizers and lime.

B-4-3 STANDARDS AND SPECIFICATIONS FOR SEEDING AND MULCHING. A section defining seeding and mulching, including their purposes and application methods.

DEFINITION, PURPOSE, CONDITIONS WHERE PRACTICE APPLIES, CRITERIA. A section defining seeding and mulching, including their purposes and application methods.

A. SEEDING. A section detailing the specifications for seeding, including the use of seed mixtures and fertilizers.

B. MULCHING. A section detailing the specifications for mulching, including the use of mulch materials.

C. ANCHORING. A section detailing the specifications for anchoring, including the use of mulch and soil amendments.

B-4-4 STANDARDS AND SPECIFICATIONS FOR TEMPORARY STABILIZATION. A section defining temporary stabilization, including its purpose and application methods.

DEFINITION, PURPOSE, CONDITIONS WHERE PRACTICE APPLIES, CRITERIA. A section defining temporary stabilization, including its purpose and application methods.

A. SEED MIXTURE. A section detailing the specifications for seed mixtures, including the use of various seed types and fertilizers.

B. STOCKPILE AREA. A section detailing the specifications for stockpile areas, including the use of mulch and soil amendments.

C. ANCHORING. A section detailing the specifications for anchoring, including the use of mulch and soil amendments.

B-4-5 STANDARDS AND SPECIFICATIONS FOR PERMANENT STABILIZATION. A section defining permanent stabilization, including its purpose and application methods.

DEFINITION, PURPOSE, CONDITIONS WHERE PRACTICE APPLIES, CRITERIA. A section defining permanent stabilization, including its purpose and application methods.

A. SEED MIXTURES. A section detailing the specifications for seed mixtures, including the use of various seed types and fertilizers.

B. TURFGRASS MIXTURES. A section detailing the specifications for turfgrass mixtures, including the use of various turfgrass species.

C. SEEDING. A section detailing the specifications for seeding, including the use of various seed types and fertilizers.

STANDARD SEDIMENT CONTROL NOTES. A section detailing the requirements for sediment control, including the use of silt fences and stabilization measures.

DEFINITION, PURPOSE, CONDITIONS WHERE PRACTICE APPLIES, CRITERIA. A section detailing the requirements for sediment control, including the use of silt fences and stabilization measures.

A. GENERAL. A section detailing the general requirements for sediment control, including the use of silt fences and stabilization measures.

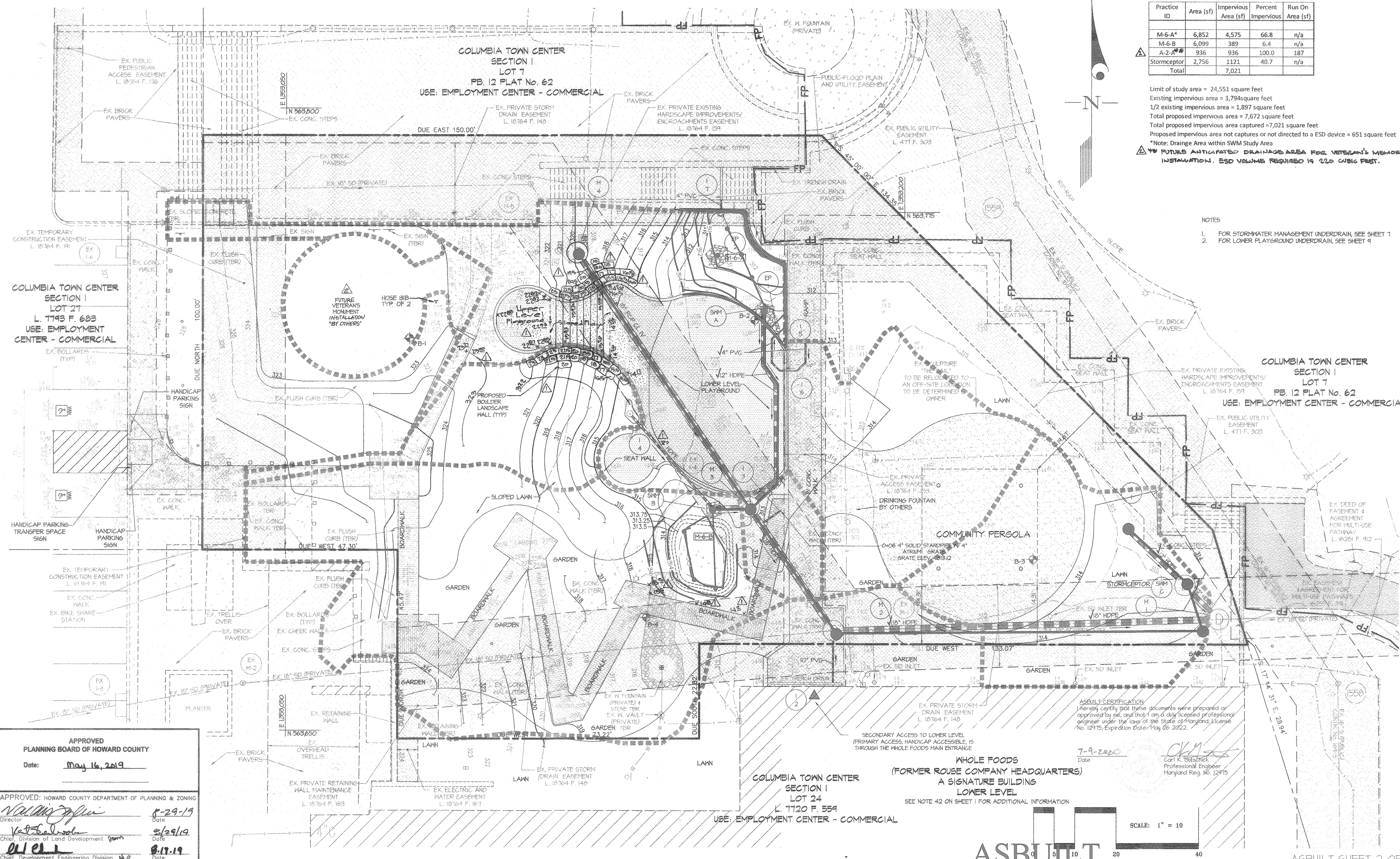
B. SITE ANALYSIS. A section detailing the requirements for site analysis, including the use of sediment control measures.

C. SEDIMENT CONTROL. A section detailing the requirements for sediment control, including the use of silt fences and stabilization measures.

Practice ID	Area (sf)	Impervious Area (sf)	Percent Impervious	Run On Area (sf)
M-6-A*	6,852	4,575	66.8	n/a
M-6-B	6,099	389	6.4	n/a
A-2-A**	936	936	100.0	187
Stormceptor	2,756	1121	40.7	n/a
Total		7,021		

Limit of study area = 24,551 square feet
 Existing impervious area = 3,794 square feet
 1/2 existing impervious area = 1,897 square feet
 Total proposed impervious area = 7,672 square feet
 Total proposed impervious area captured = 7,021 square feet
 Proposed impervious area not captured or not directed to a ESD device = 651 square feet
 *Note: Drainage Area within SWM Study Area
 **FUTURE ANTICIPATED DRAINAGE AREA FOR VETERAN'S MEMORIAL INSTALLATION. ESD VOLUME REQUIRED IS 22.0 CUBIC FEET.

- NOTES
- FOR STORMWATER MANAGEMENT UNDERDRAIN, SEE SHEET 1
 - FOR LOWER PLAYGROUND UNDERDRAIN, SEE SHEET 4



APPROVED
PLANNING BOARD OF HOWARD COUNTY
 Date: May 16, 2019

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
 Director: [Signature] Date: 5-29-19
 Chief, Division of Land Development: [Signature] Date: 5/29/19
 Chief, Development Engineering Division: [Signature] Date: 5-17-19

ASBUILT CERTIFICATION
 I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland, License No. 12915, Expiration Date: May 26 2022.
 Date: 7-9-2020
 Carl K. Buttschick
 Professional Engineer
 Maryland Reg. No. 12915

WHOLE FOODS
 (FORMER ROUSE COMPANY HEADQUARTERS)
 A SIGNATURE BUILDING
 LOWER LEVEL
 SEE NOTE 42 ON SHEET 1 FOR ADDITIONAL INFORMATION

ASBUILT
 SCALE: 1" = 10'

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DESIGNED BY:	DRAWN BY:	CHECKED BY:	DATE:	REVISION:	BY:	APPR.:
		DS/11/20	01/21/20	REMOVE VETERAN'S MEMORIAL AREA FINING AND BENCH	JKT	JKT
		mjt		Rev. sloped play area incline to coordinate with slide	WJ	WJ

PREPARED FOR:
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PROFESSIONAL CERTIFICATION
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ASBUILT
ESD DRAINAGE AREA MAP
 PUBLIC DOWNTOWN NEIGHBORHOOD SQUARE
DOWNTOWN COLUMBIA
 OPEN SPACE LOT 1
 LAKEFRONT CORE
 PLAT No. 251/27

SCALE	ZONING	G. L. W. FILE No.
1"=10'	NT	18050
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JULY, 2020 JULY, 2019	36 - 2	6 OF 25

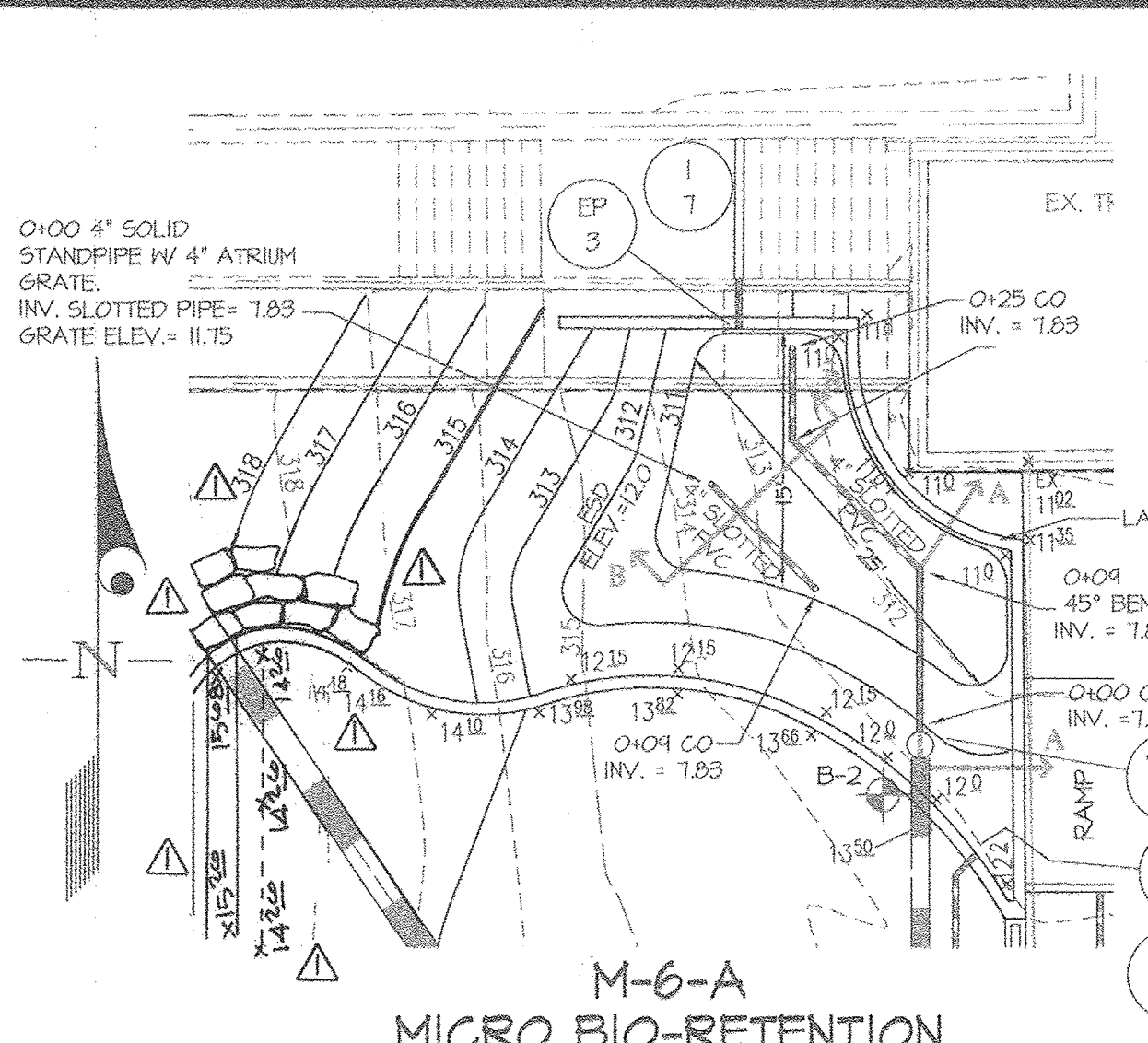
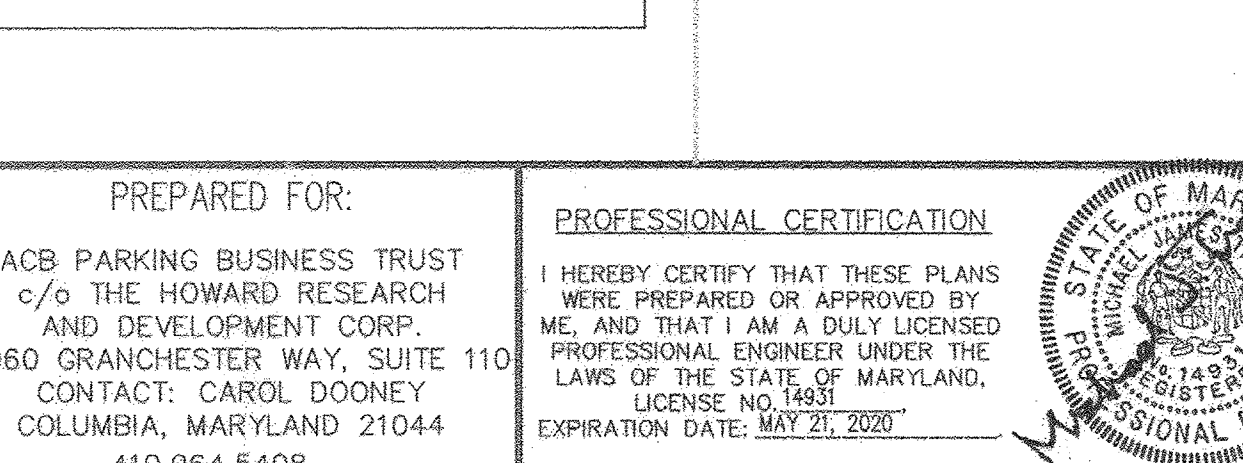
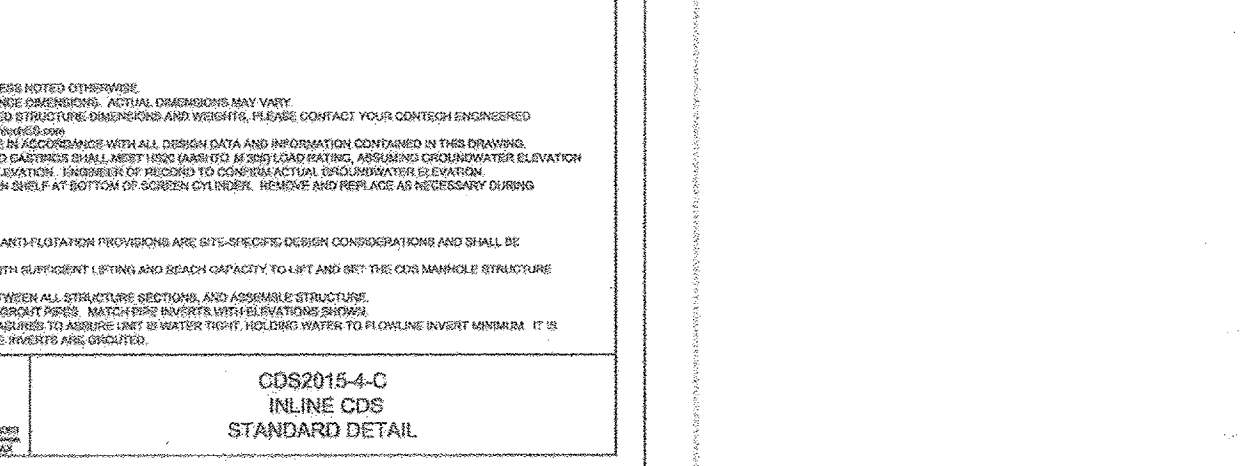
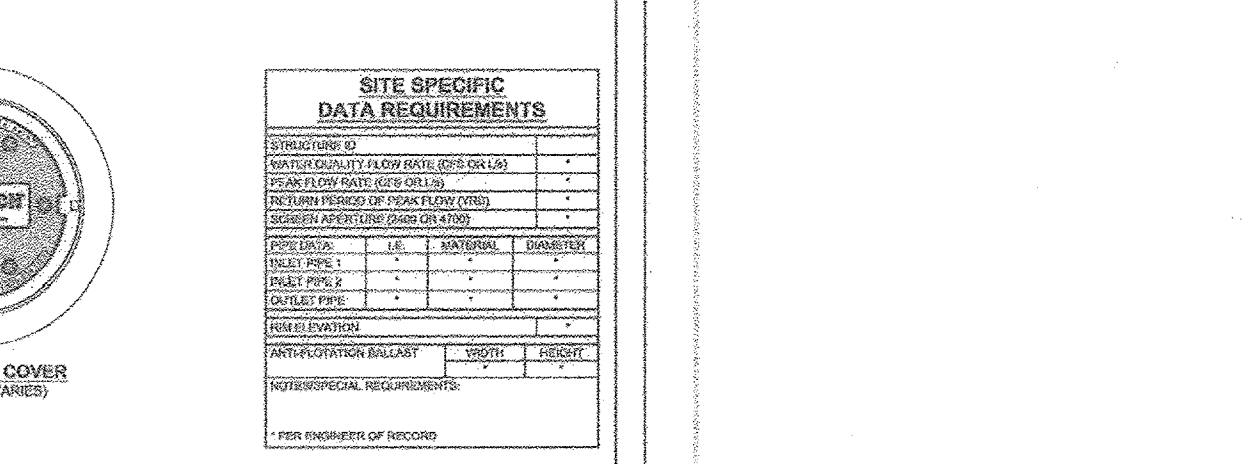
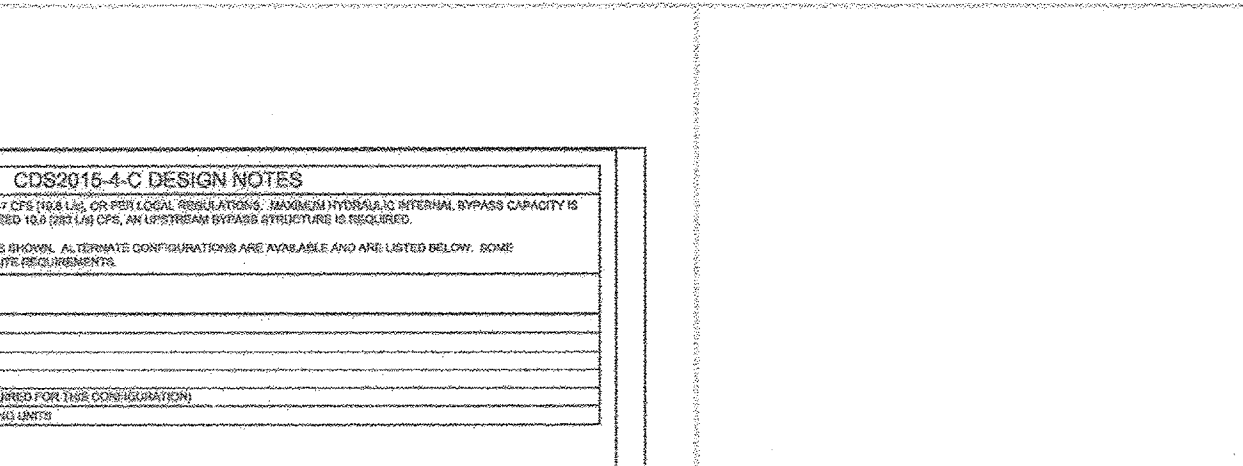
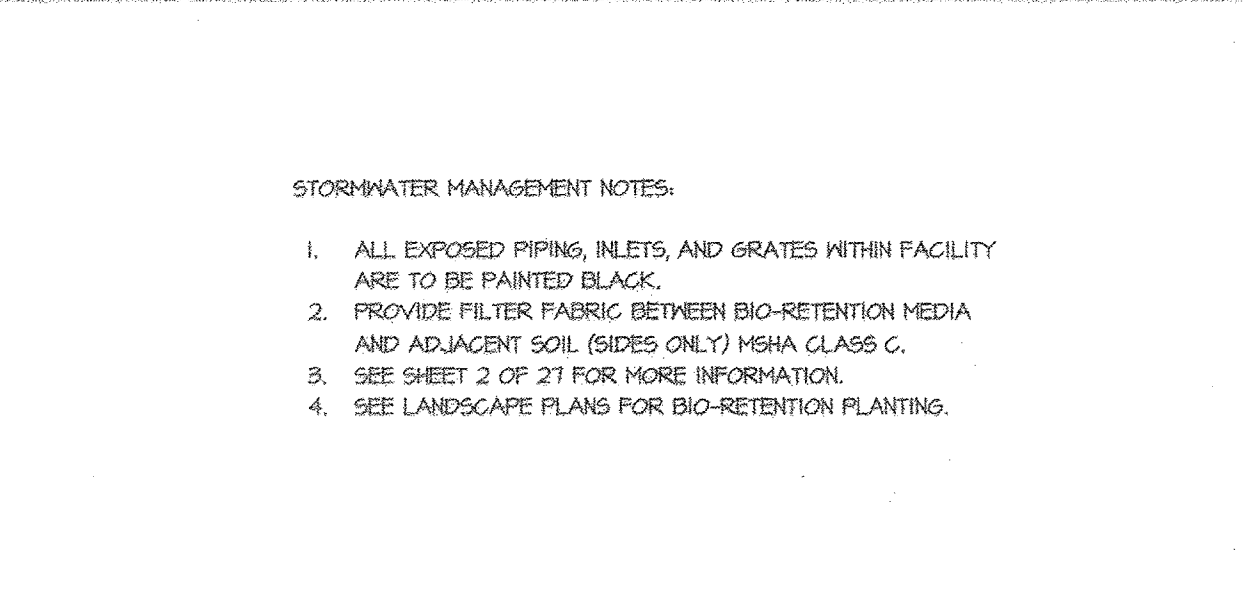
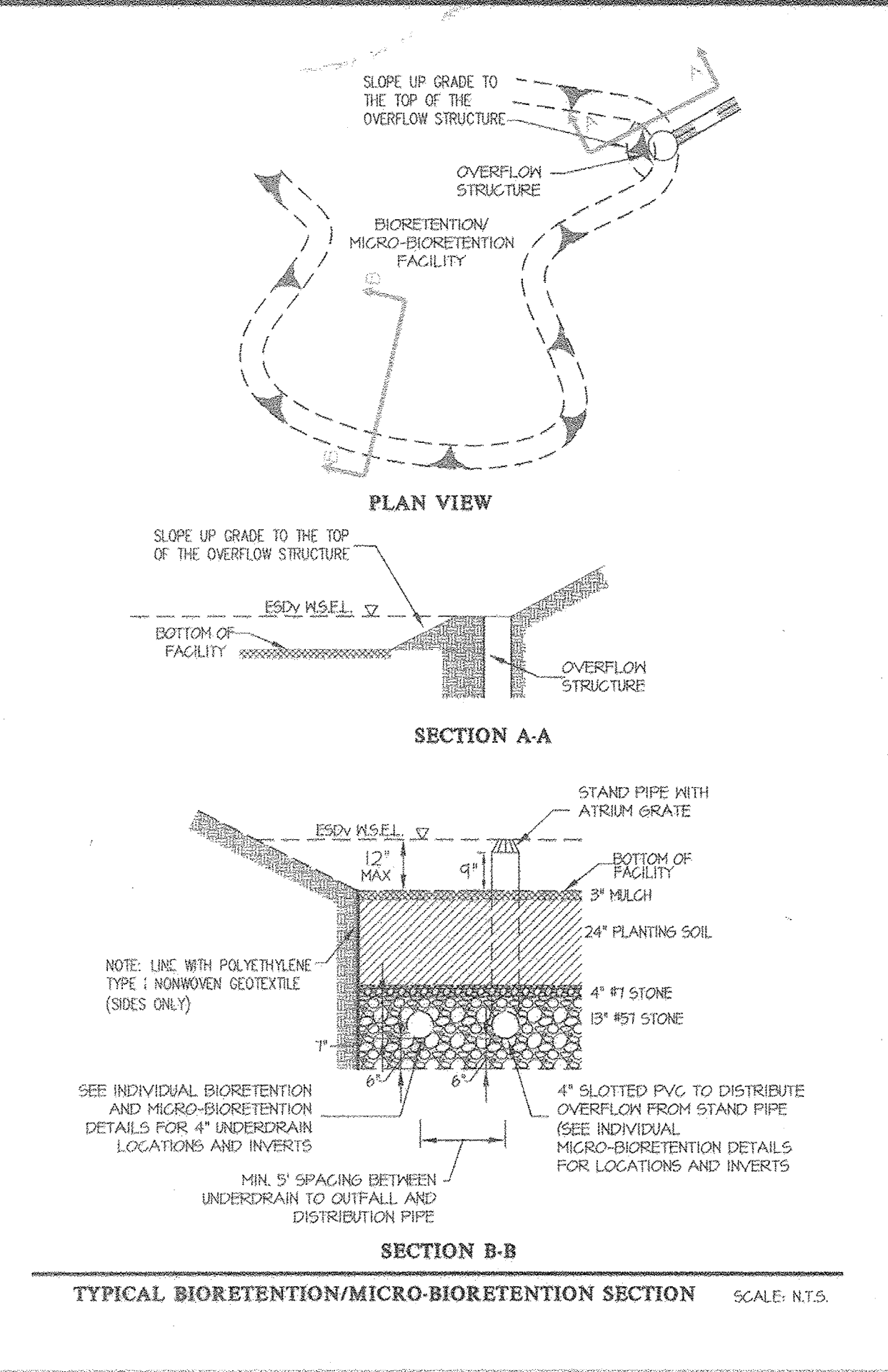
GENERAL NOTES
1. MATERIAL SPECIFICATIONS
THE ALLOWABLE MATERIALS TO BE USED IN THESE PRACTICES ARE DETAILED IN TABLE B.4.1.
2. PLANTING SOIL
THE SOIL SHALL BE A UNIFORM MIX FREE OF STONES, STUMPS, ROOTS OR OTHER SIMILAR OBJECTS LARGER THAN TWO INCHES.
3. SOIL COMPONENTS
LOAMY SAND OR SANDY LOAM (USDA SOIL TEXTURAL CLASSIFICATION)
ORGANIC CONTENT - MINIMUM 10% BY DRY WEIGHT (ASTM D 2974). IN GENERAL, THIS CAN BE MET WITH A MIXTURE OF LOAMY SAND (80%-65%) AND COMPOST (15%-10%). COARSE SAND (20%), AND COMPOST (40%).
CLAY CONTENT - MEDIA SHALL HAVE A CLAY CONTENT OF LESS THAN 5%
PH RANGE - SHOULD BE BETWEEN 5.5 - 7.0. AMENDMENTS (E.G., LIME, IRON SULFATE PLUS SULFUR) MAY BE MIXED INTO THE SOIL TO INCREASE OR DECREASE PH.
THESE SHALL BE AT LEAST ONE SOIL TEST PER PROJECT. EACH TEST SHALL CONSIST OF BOTH THE STANDARD SOIL TEST FOR PH, AND ADDITIONAL TESTS OF ORGANIC MATTER, AND SOLUBLE SALTS. A TEXTURAL ANALYSIS IS REQUIRED FROM THE SITE STOCKPILED TOPSOIL. IF TOPSOIL IS IMPORTED, THEN A TEXTURAL ANALYSIS SHALL BE PERFORMED FOR EACH LOCATION WHERE THE TOPSOIL WAS EXCAVATED.
3. COMPACTION
IT IS VERY IMPORTANT TO MINIMIZE COMPACTION OF BOTH THE BASE OF BIORETENTION PRACTICES AND THE REQUIRED BACKFILL.
WHEN POSSIBLE, USE EXCAVATION HOES TO REMOVE ORIGINAL SOIL. IF PRACTICES ARE EXCAVATED USING A LOADER, THE CONTRACTOR SHOULD USE WIDE TRACK OR MARSH TRACK EQUIPMENT, OR LIGHT EQUIPMENT WITH TURF TYPE TIRES. USE OF EQUIPMENT WITH NARROW TRACKS OR NARROW TIRES, RUBBER TIRES WITH LARGE LUGS, OR HIGH-PRESSURE TIRES WILL CAUSE EXCESSIVE COMPACTION RESULTING IN REDUCED INFILTRATION RATES AND IS NOT ACCEPTABLE. COMPACTION WILL SIGNIFICANTLY CONTRIBUTE TO SEALEX FAILURE.
COMPACTION CAN BE ALLEVIATED AT THE BASE OF THE BIORETENTION FACILITY BY USING A PRIMARY TILLING OPERATION SUCH AS A CHISEL PLOW, RIPPER, OR SUBSOILER. THESE TILLING OPERATIONS ARE TO RESTRUCTURE THE SOIL PROFILE THROUGH THE 12 INCH COMPACTION ZONE. SUBSTITUTE METHODS MUST BE APPROVED BY THE ENGINEER. ROTILLERS TYPICALLY DO NOT TILL DEEP ENOUGH TO REDUCE THE EFFECTS OF COMPACTION FROM HEAVY EQUIPMENT.
ROTILL 2 TO 3 INCHES OF SAND INTO THE BASE OF THE BIORETENTION FACILITY BEFORE BACKFILLING THE OPTIONAL SAND LAYER. PUMP ANY PONDY WATER BEFORE PREPARING (ROTILLING) BASE.
WHEN BACKFILLING THE TOPSOIL OVER THE SAND LAYER, FIRST PLACE 3 TO 4 INCHES OF TOPSOIL OVER THE SAND, THEN ROTILL THE SAND/TOPSOIL TO CREATE A GRADATION ZONE. BACKFILL THE REMAINDER OF THE TOPSOIL TO FINAL GRADE. WHEN BACKFILLING THE BIORETENTION FACILITY, PLACE SOIL IN LIFTS 12" TO 18". DO NOT USE HEAVY EQUIPMENT WITHIN THE BIORETENTION BASIN. HEAVY EQUIPMENT CAN BE USED AROUND THE PERIMETER OF THE BASIN TO SUPPLY SOILS AND SAND. GRADE BIORETENTION MATERIALS WITH LIGHT EQUIPMENT SUCH AS A COMPACT LOADER OR A DOZER/LOADER WITH MARSH TRACKS.
4. PLANT MATERIAL
RECOMMENDED PLANT MATERIAL FOR MICRO-BIORETENTION PRACTICES CAN BE FOUND IN APPENDIX A, SECTION A.2.3.
5. PLANT INSTALLATION
COMPOST IS A BETTER ORGANIC MATERIAL SOURCE, IS LESS LIKELY TO FLOAT, AND SHOULD BE PLACED IN THE INVERT AND OTHER LOW AREAS. MULCH SHOULD BE PLACED IN SUPERDRY TO A UNIFORM THICKNESS OF 2" TO 3". SHREDED OR CHIPPED HARDWOOD MULCH IS THE ONLY ACCEPTED MULCH. MULCH AND WOOD CHIPS WILL FLOAT AND MOVE TO THE PERIMETER OF THE BIORETENTION AREA DURING A STORM EVENT AND ARE NOT ACCEPTABLE. SHREDED MULCH MUST BE WELL AGED (6 TO 12 MONTHS) FOR ACCEPTANCE.
ROOTSTOCK OF THE PLANT MATERIAL SHALL BE KEPT MOIST DURING TRANSPORT AND ON-SITE STORAGE. THE PLANT ROOT BALL SHOULD BE PLANTED SO 1/8TH OF THE BALL IS ABOVE FINAL GRADE SURFACE. THE DIAMETER OF THE PLANTING PIT SHALL BE AT LEAST SIX INCHES LARGER THAN THE DIAMETER OF THE PLANTING BALL. SET AND MAINTAIN THE PLANT STRAIGHT DURING THE ENTIRE PLANTING PROCESS. THOROUGHLY WATER GROUND BED COVER AFTER INSTALLATION.
TREES SHALL BE BRACED USING 2" BY 2" STAKES ONLY AS NECESSARY AND FOR THE FIRST GROWING SEASON ONLY. STAKES ARE TO BE EQUALLY SPACED ON THE OUTSIDE OF THE TREE BALL.
GRASSES AND LEGUME SEED SHOULD BE DRILLED INTO THE SOIL TO A DEPTH OF AT LEAST ONE INCH. GRASS AND LEGUME PLUGS SHALL BE PLANTED FOLLOWING THE NON-GRASS GROUND COVER PLANTING SPECIFICATIONS.
THE TOPSOIL SPECIFICATIONS PROVIDE ENOUGH ORGANIC MATERIAL TO ADEQUATELY SUPPLY NUTRIENTS FROM NATURAL CYCLING. THE PRIMARY FUNCTION OF THE BIORETENTION STRUCTURE IS TO IMPROVE WATER QUALITY. ADDING FERTILIZERS, DEFANTS, OR AT A MINIMUM, AMENDMENTS TO SOIL. ONLY ADD FERTILIZER IF WOOD CHIPS OR MULCH ARE USED TO AMEND THE SOIL. ROTILL AREA FERTILIZER AT A RATE OF 2 POUNDS PER 1000 SQUARE FEET.
6. UNDERDRAINS
UNDERDRAINS SHOULD MEET THE FOLLOWING CRITERIA:
PIPE - SHOULD BE 4" TO 6" DIAMETER, SLOTTED, SMOOTH WALL, PERFORATED (ASTM F350, TYPE F5 28, OR AASHTO M-278) IN A GRAVEL LAYER. THE PREFERRED MATERIAL IS SLOTTED, 4" RIBBED PVC (E.G., PVC OR HDPE).
PERFORATIONS - IF PERFORATED PIPE IS USED, PERFORATIONS SHOULD BE 3/8" DIAMETER LOCATED 6" ON CENTER WITH A MINIMUM OF FOUR HOLES PER BORE. PIPE SHALL BE WRAPPED WITH A 1" (NO. 4 OR 4X4) GALVANIZED HARDWARE CLOTH.
GRAVEL - THE GRAVEL LAYER (NO. 57 STONE PREFERRED) SHALL BE AT LEAST 3" THICK ABOVE AND BELOW THE UNDERDRAIN.
THE MAIN COLLECTOR PIPE SHALL BE AT A MINIMUM 0.5% SLOPE.
A RIGID, NON-PERFORATED OBSERVATION WELL MUST BE PROVIDED (ONE PER EVERY 1000 SQUARE FEET) TO PROVIDE A CLEAN-OUT PORT AND MONITOR PERFORMANCE OF THE FILTER.
A 4" LAYER OF FEA GRAVEL (1.5" TO 3" STONES) SHALL BE LOCATED BETWEEN THE FILTER MEDIA AND UNDERDRAIN TO PREVENT MIGRATION OF FINES INTO THE UNDERDRAIN. THIS LAYER MAY BE CONSIDERED PART OF THE FILTER BED WHEN BED THICKNESS EXCEEDS 2".
THE MAIN COLLECTOR PIPE FOR UNDERDRAIN SYSTEMS SHALL BE CONSTRUCTED AT A MINIMUM SLOPE OF 0.5%. OBSERVATION WELLS AND/OR CLEAN-OUT PIPES MUST BE PROVIDED (ONE MINIMUM PER EVERY 1000 SQUARE FEET OF SURFACE AREA).
7. MISCELLANEOUS
THESE PRACTICES MAY NOT BE CONSTRUCTED UNTIL ALL CONTRIBUTING DRAINAGE AREA HAS BEEN STABILIZED.

B.4-B SPECIFICATIONS FOR PERMEABLE PAVEMENTS
THESE SPECIFICATIONS INCLUDE INFORMATION ON ACCEPTABLE MATERIALS FOR TYPICAL APPLICATIONS AND ARE NOT EXCLUSIVE OR LIMITING. THE DESIGNER IS RESPONSIBLE FOR DEVELOPING DETAILED SPECIFICATIONS FOR INDIVIDUAL PROJECTS AND SPECIFIC CONDITIONS.
PERVIOUS CONCRETE SPECIFICATIONS
DESIGN THICKNESS - PERVIOUS CONCRETE APPLICATIONS SHALL BE DESIGNED SO THAT THE THICKNESS OF THE CONCRETE SLAB SHALL SUPPORT THE TRAFFIC AND VEHICLE TYPES THAT WILL BE CARRIED. APPLICATIONS MAY BE DESIGNED USING EITHER STANDARD-REINFORCEMENT PROCEDURES (E.G., AASHTO, ACI 325.9R, ACI 330R) OR USING STRUCTURAL VALUES DERIVED FROM FLEXIBLE PAVEMENT DESIGN PROCEDURES.
MIX & INSTALLATION - TRADITIONAL PORTLAND CEMENTS (ASTM C 150, C 1157) MAY BE USED IN PERVIOUS CONCRETE APPLICATIONS. PHOSPHORUS ADMIXTURES MAY ALSO BE USED. MATERIALS SHOULD BE TESTED (E.G., TRIAL BATCHING) PRIOR TO CONSTRUCTION SO THAT CRITICAL PROPERTIES (E.G., SETTING TIME, RATE OF STRENGTH DEVELOPMENT, POROSITY, PERMEABILITY) CAN BE DETERMINED.
AGGREGATE - PERVIOUS CONCRETE CONTAINS A LIMITED TYPICAL AGGREGATE CONTENT. COMMONLY USED GRADATIONS INCLUDE AGGREGATE C 33 NO. 87 (3/8" IN. TO NO. 4), NO. 8 (3/8" IN. TO NO. 16) AND NO. 89 (1/2" IN. TO NO. 50) SIEVES. SINGLE-SIZED AGGREGATE UP TO 1 INCH MAY ALSO BE USED.
WATER CONTENT - WATER-TO-CEMENT RATIOS BETWEEN 0.27 AND 0.30 ARE USED ROUTINELY WITH PROPER INCLUSION OF CHEMICAL ADMIXTURES. WATER QUALITY SHOULD MEET ACI 308 AS A GENERAL RULE. POTABLE WATER SHOULD BE USED ALTHOUGH RECYCLED CONCRETE PRODUCTION WATER MEETING ASTM C 94 OR AASHTO M 457 MAY ALSO BE USED.
ADMIXTURES - CHEMICAL ADMIXTURES (E.G., RETARDERS OR HYDRATION-STABILIZERS) ARE USED TO OBTAIN SPECIAL PROPERTIES IN PERVIOUS CONCRETE. USE OF ADMIXTURES SHOULD MEET ASTM C 494 (CHEMICAL ADMIXTURES) AND ASTM C 260 (AIR ENTRAINING ADMIXTURES) AND CLOSELY FOLLOW MANUFACTURER'S RECOMMENDATIONS.
BASE COURSE - THE BASE COURSE SHALL BE AASHTO NO. 3 OR 4 COURSE AGGREGATE WITH AN ASSUMED OPEN PORE SPACE OF 30% (N = 0.30).
2. PERMEABLE INTERLOCKING CONCRETE PAVEMENTS (PICP)
PAVER BLOCKS - BLOCKS SHOULD BE EITHER 3 1/2 IN. OR 4 IN. THICK AND MEET ASTM C 936 OR CSA A231.2 REQUIREMENTS. APPLICATIONS SHOULD HAVE 20% OR MORE (AGG PREFERRED) OF THE SURFACE AREA OPEN. INSTALLATION SHOULD FOLLOW MANUFACTURER'S INSTRUCTIONS EXCEPT THAT INFILL AND BASE COURSE MATERIALS AND DIMENSIONS SPECIFIED IN THE APPENDIX SHALL BE FOLLOWED. INFILL MATERIALS AND LEVELING COURSE - OPENINGS SHALL BE FILLED WITH ASTM C-33 GRADED SAND OR SANDY LOAM. PICP BLOCKS SHALL BE PLACED ON A ONE-INCH THICK LEVELING COURSE OF ASTM C-33 SAND.
BASE COURSE - THE BASE COURSE SHALL BE AASHTO NO. 3 OR 4 COURSE AGGREGATE WITH AN ASSUMED OPEN PORE SPACE OF 30% (N = 0.30), REINFORCED TURF.
REINFORCED GRASS PAVEMENT (RGP) - WHETHER USED WITH GRASS OR GRAVEL, THE RGP THICKNESS SHALL BE AT LEAST 1 1/2" THICK WITH A LOAD CAPACITY CAPABLE OF SUPPORTING THE TRAFFIC AND VEHICLE TYPES THAT WILL BE CARRIED.

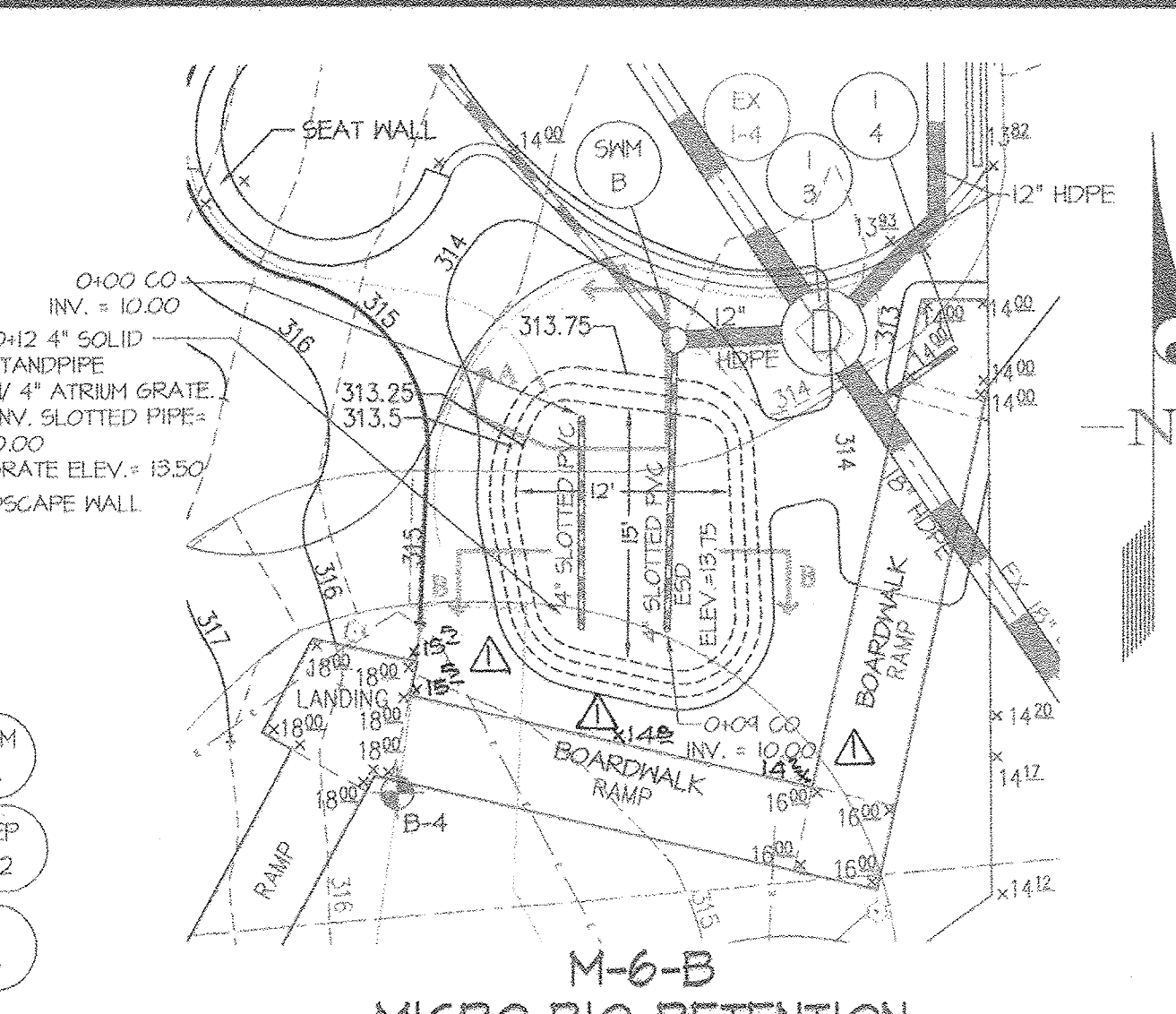
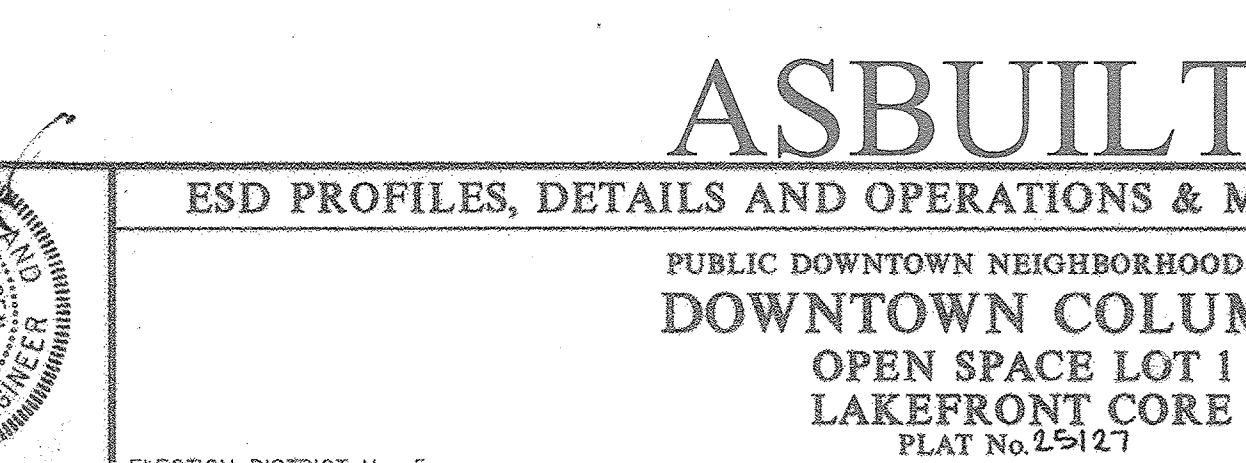
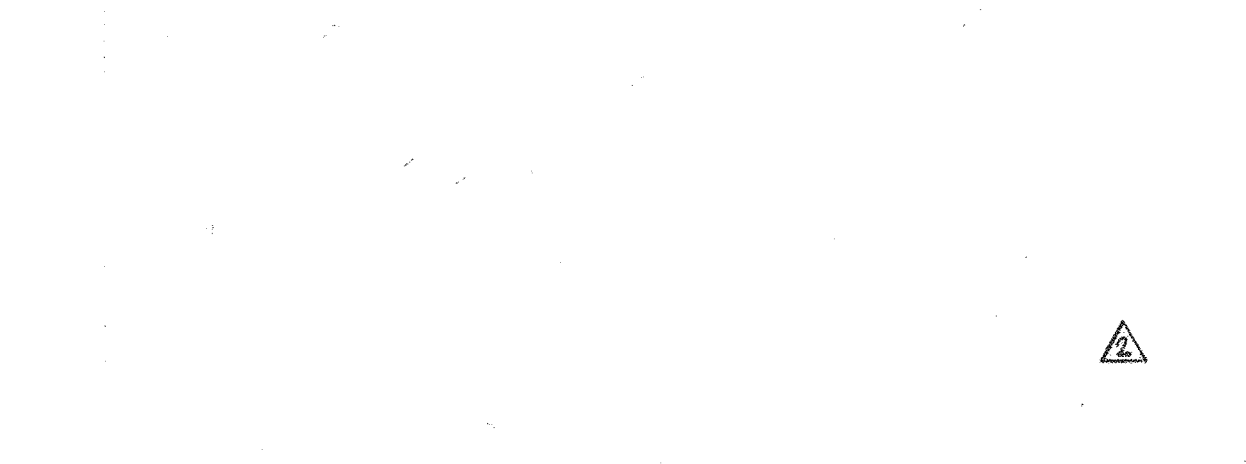
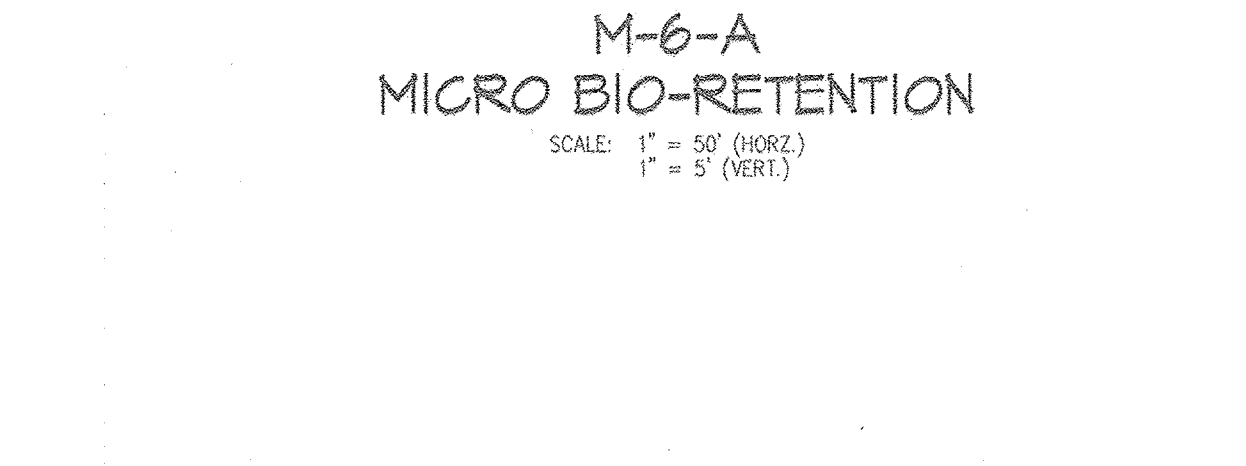
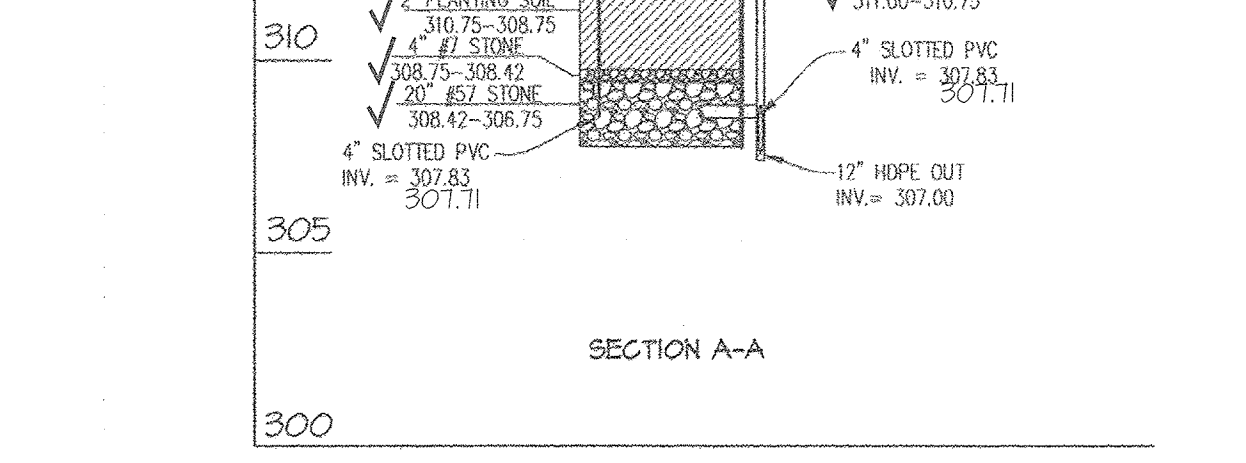
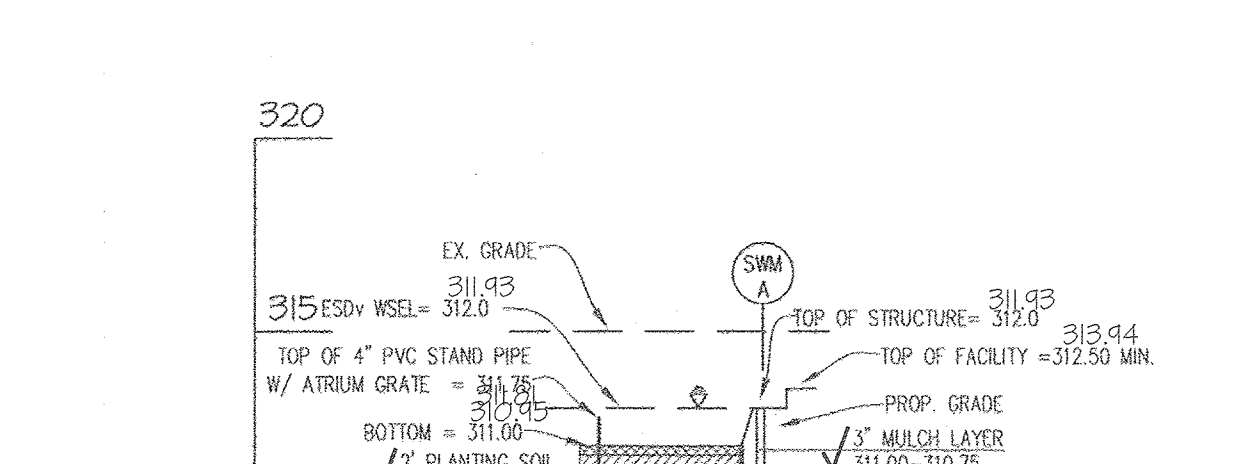
OPERATION AND MAINTENANCE SCHEDULE FOR PRIVATELY OWNED AND MAINTAINED STORMWATER QUALITY DEVALVE
A. THE OWNER SHALL INSPECT THE STORMWATER QUALITY STRUCTURE PERIODICALLY AND CLEAN IT TO MAINTAIN PROPER OPERATION AND FUNCTION. THE OWNER SHALL INSPECT THE STORMWATER QUALITY STRUCTURE YEARLY AT A MINIMUM, UTILIZING THE STORMWATER INSPECTION/MONITORING FORM. INSPECTIONS SHALL BE DONE BY USING A CLEAR PLEXIGLASS TUBE ("SLOUGE JUDGE") TO EXTRACT A WATER COLUMN SAMPLE. WHEN THE SEDIMENT DEPTHS EXCEED THE LEVEL SPECIFIED IN TABLE 6 OF THE STORMWATER TECHNICAL MANUAL, THE STORMWATER UNIT MUST BE CLEANED.
B. THE OWNER SHALL CHECK AND CLEAN IMMEDIATELY THE STORMWATER QUALITY STRUCTURE AFTER PETROLEUM SPILLS. THE OWNER SHALL CONTACT THE APPROPRIATE REGULATORY AGENCIES AND CLEAN THE PETROLEUM SPILLS IN ACCORDANCE WITH ALL APPLICABLE LAWS AND REGULATIONS.
C. THE MAINTENANCE OF THE STORMWATER QUALITY STRUCTURE SHALL BE DONE USING A VACUUM TRUCK WHICH WILL REMOVE THE WATER, SEDIMENT, DEBRIS, FLOATING HYDROCARBONS AND OTHER MATERIALS IN THE STORMWATER UNIT. THE OWNER SHALL FOLLOW ALL REQUIREMENTS FOR THE PROPER CLEANING AND DISPOSAL OF THE REMOVED MATERIALS AND LIQUID.
D. THE OWNER SHALL CHECK THE INLET AND OUTLET PIPES FOR ANY OBSTRUCTIONS AT LEAST ONCE EVERY SIX (6) MONTHS. IF OBSTRUCTIONS ARE FOUND, THE OWNER SHALL HAVE THEM REMOVED. THE OWNER SHALL REPAIR THE STRUCTURAL PARTS OF THE STORMWATER UNIT AS NEEDED.
E. THE OWNER SHALL RETAIN AND MAKE THE STORMWATER INSPECTION/MONITORING FORMS AVAILABLE TO THE HOWARD COUNTY OFFICIALS UPON THEIR REQUEST.

OPERATION AND MAINTENANCE SCHEDULE FOR PRIVATELY OWNED AND MAINTAINED PERMEABLE PAVEMENT (A-2)
A. THE OWNER SHALL PERIODICALLY SWEEP (OR VACUUM POROUS CONCRETE PAVEMENT) THE PAVEMENT SURFACES TO REDUCE SEDIMENT ACCUMULATION AND ENSURE CONTINUED SURFACE POROSITY. SWEEPING SHOULD BE PERFORMED AT LEAST TWICE ANNUALLY WITH A COMMERCIAL CLEANING UNIT. WASHING OR COMPRESSED AIR UNITS SHOULD NOT BE USED TO PERFORM SURFACE CLEANING.
B. THE OWNER SHALL PERIODICALLY CLEAN DRAINAGE PIPES, INLETS, STONE EDGE DRAINS AND OTHER STRUCTURES WITHIN OR DRAINING TO THE SUBBASE.
C. THE OWNER SHALL USE DEICERS IN MODERATION. DEICERS SHOULD BE NON-TOXIC AND BE APPLIED EITHER AS CALCIUM MAGNESIUM ACETATE OR AS PRETREATED SALT.
D. THE OWNER SHALL ENSURE SNOW PLOWING IS PERFORMED CAREFULLY WITH BLADES SET ONE INCH ABOVE THE SURFACE. PLOWED SNOW PILES AND SNOWMELT SHOULD NOT BE DIRECTED TO PERMEABLE PAVEMENT.

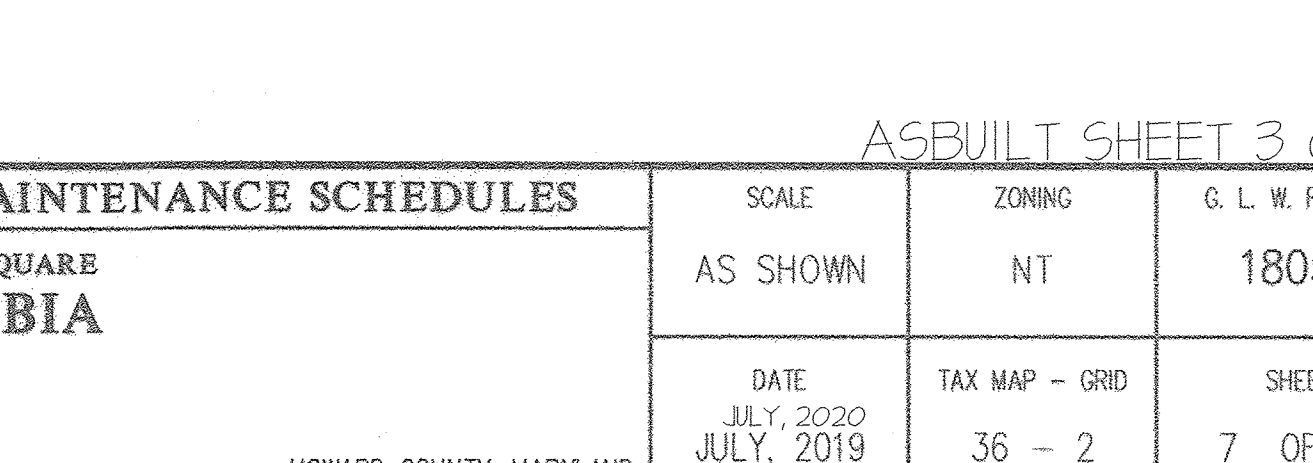
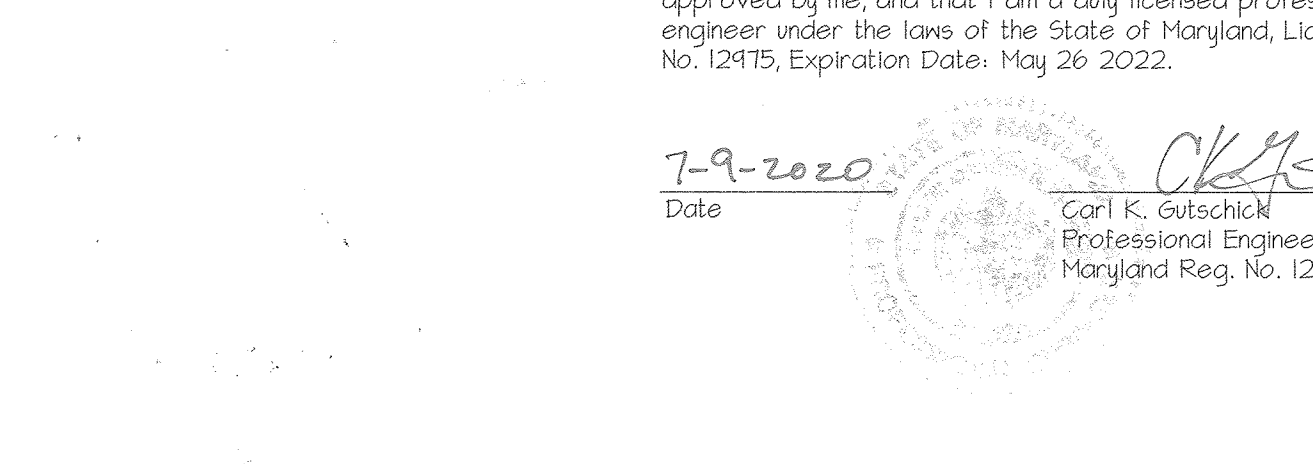
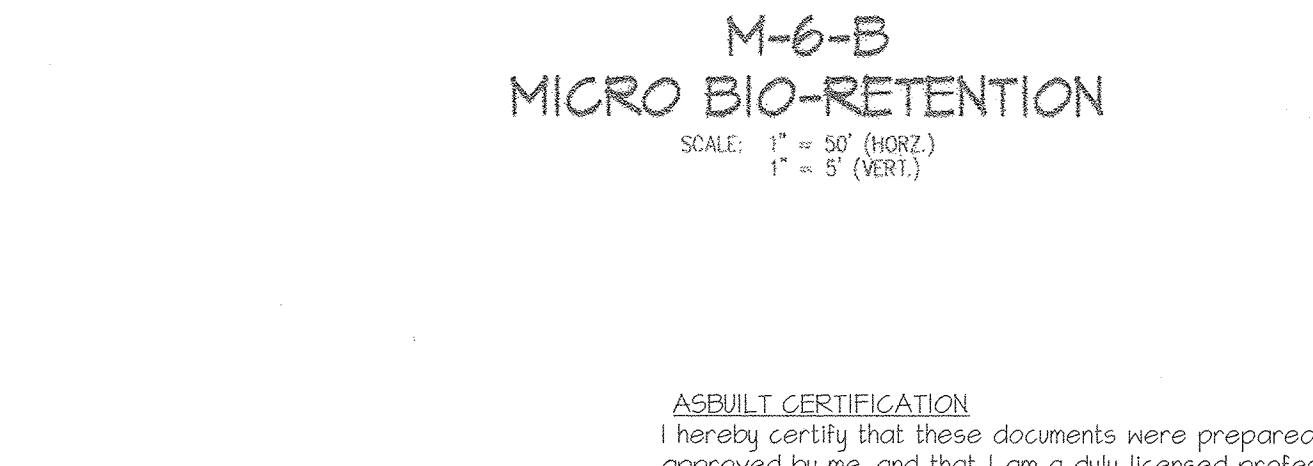
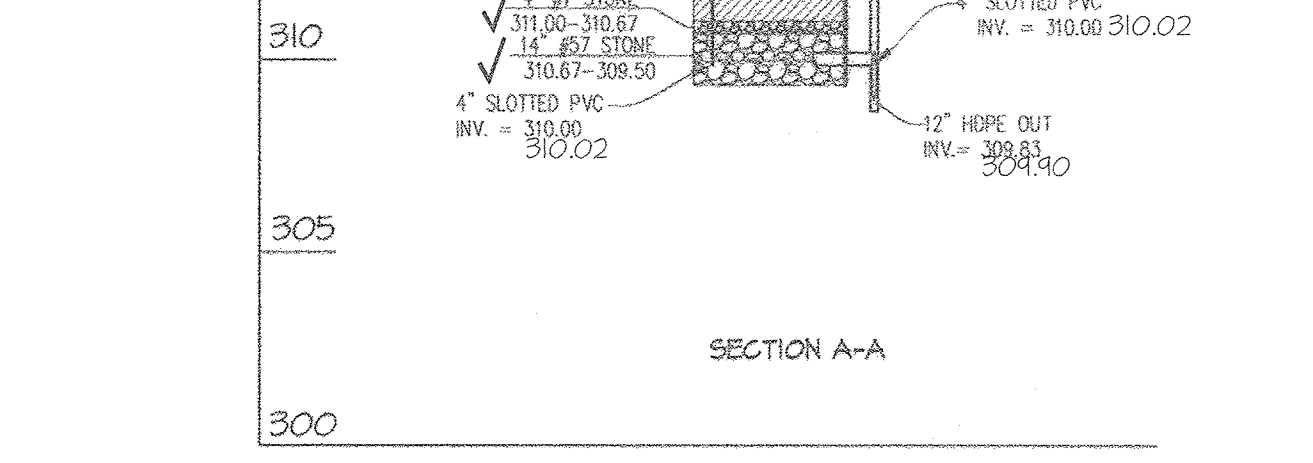
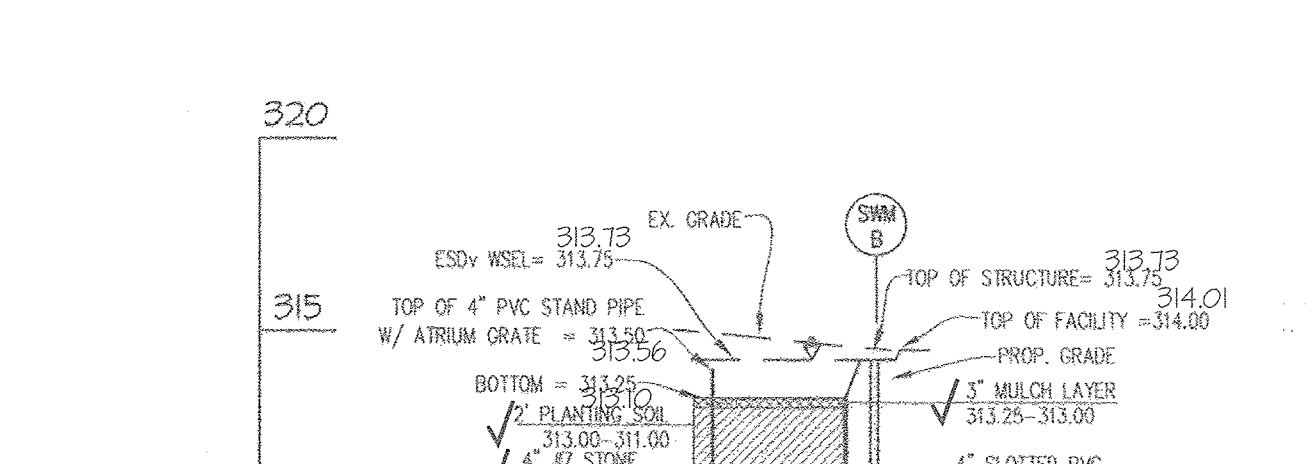
OPERATION AND MAINTENANCE SCHEDULE FOR MICRO-BIORETENTION (M-6)
A. THE OWNER SHALL MAINTAIN THE PLANT MATERIAL, MULCH LAYER AND SOIL LAYER ANNUALLY. MAINTENANCE OF MULCH AND SOIL IS LIMITED TO CORRECTING AREAS OF EROSION OR WASH OUT. ANY MULCH REPLACEMENT SHALL BE DONE IN THE SPRING. PLANT MATERIAL SHALL BE CHECKED FOR DISEASE AND INSECT INFESTATION AND MAINTENANCE WILL ADDRESS DEAD MATERIAL AND PRUNING. ACCEPTABLE REPLACEMENT PLANT MATERIAL IS LIMITED TO THE FOLLOWING: 2000 MARYLAND STORMWATER DESIGN MANUAL VOLUME 9, TABLE A.4.1 AND 2.
B. THE OWNER SHALL PERFORM A PLANT INSPECTION IN THE SPRING AND IN THE FALL OF EACH YEAR. DURING THE INSPECTION, THE OWNER SHALL REMOVE DEAD AND DISEASED VEGETATION CONSIDERED BEYOND TREATMENT, REPLACE DEAD PLANT MATERIAL WITH ACCEPTABLE REPLACEMENT PLANT MATERIAL, TREAT DISEASED TREES AND SHRUBS, AND REPLACE ALL DEFICIENT STAKES AND WIRES.
C. THE OWNER SHALL INSPECT THE MULCH EACH SPRING. THE MULCH SHALL BE REPLACED EVERY TWO TO THREE YEARS. THE PREVIOUS MULCH LAYER SHALL BE REMOVED BEFORE THE NEW LAYER IS APPLIED.
D. THE OWNER SHALL CORRECT SOIL EROSION ON AN AS NEEDED BASIS, WITH A MINIMUM OF ONCE PER MONTH AND AFTER EACH HEAVY STORM.
E. THE OWNER SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF THE UNDERDRAINS WITHIN THE BIO-RETENTION LAYERS.
F. THE OWNER SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL STORM DRAIN PIPES AND STRUCTURES.



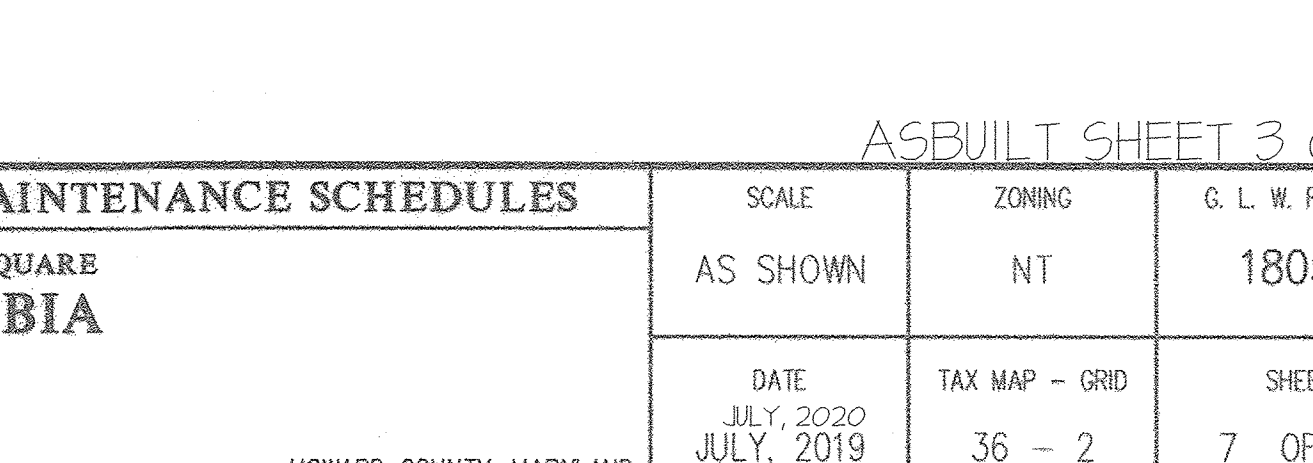
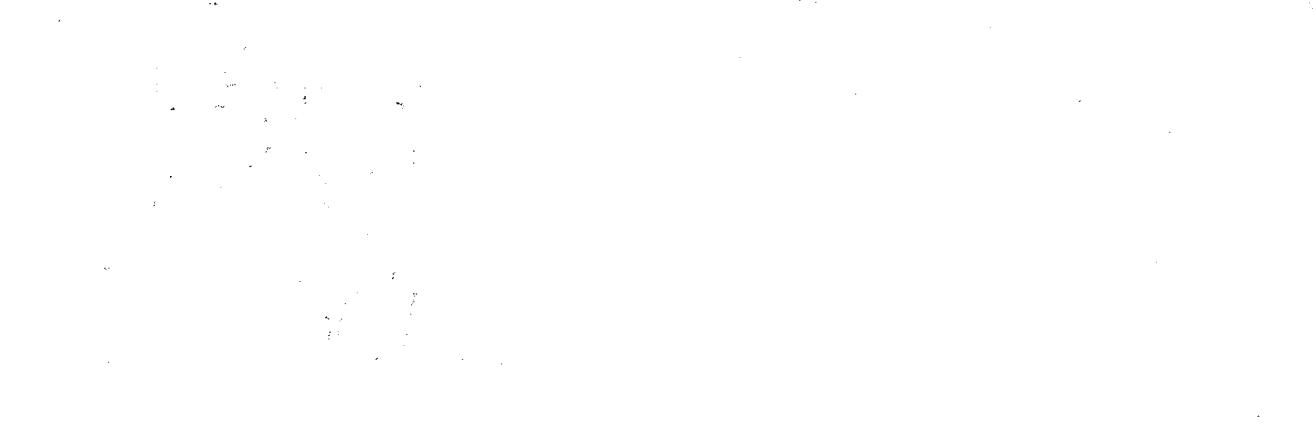
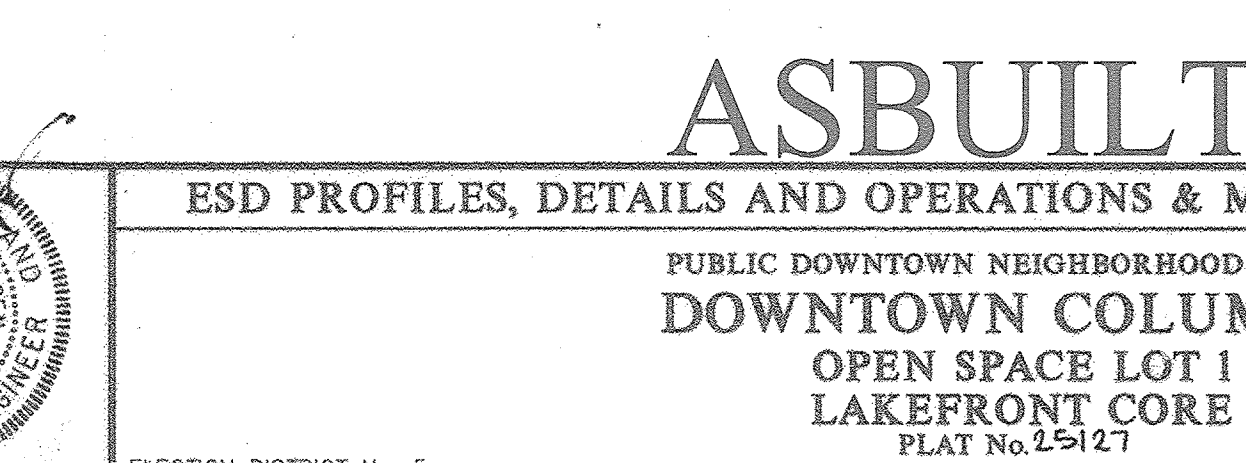
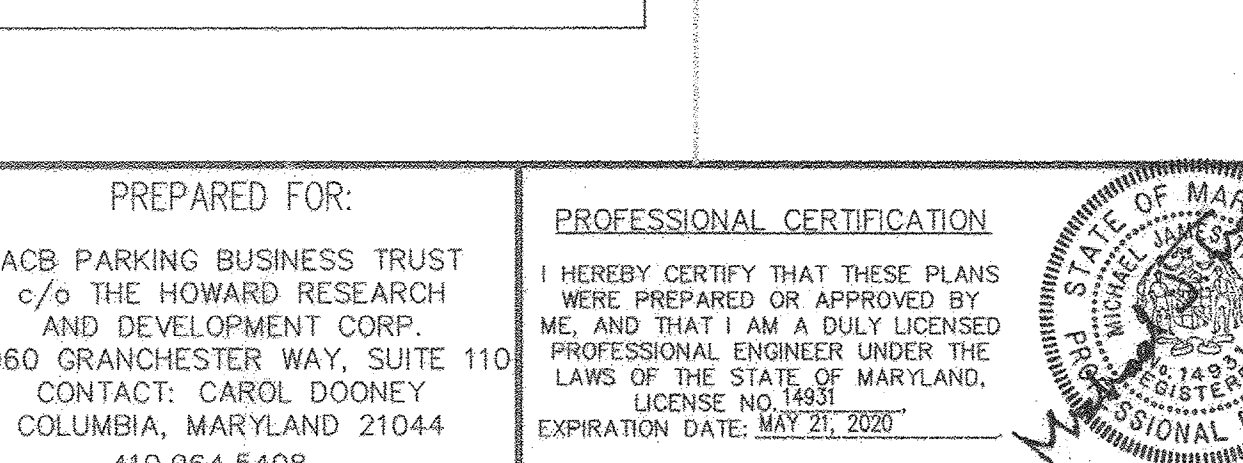
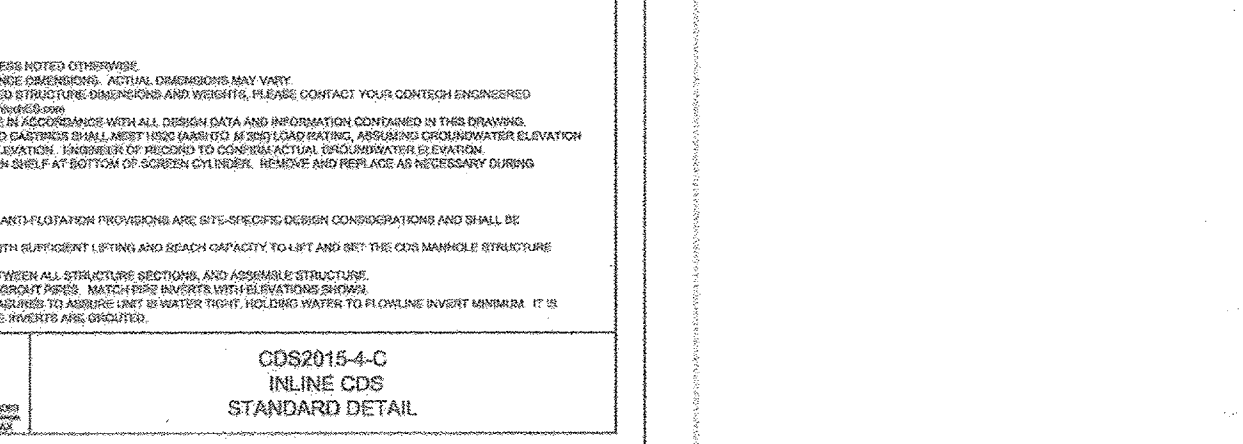
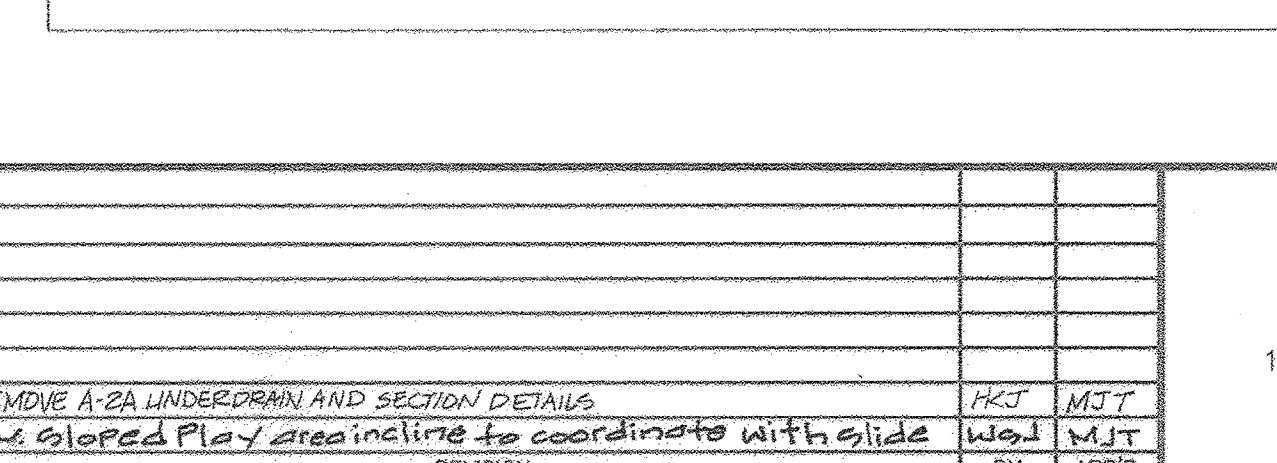
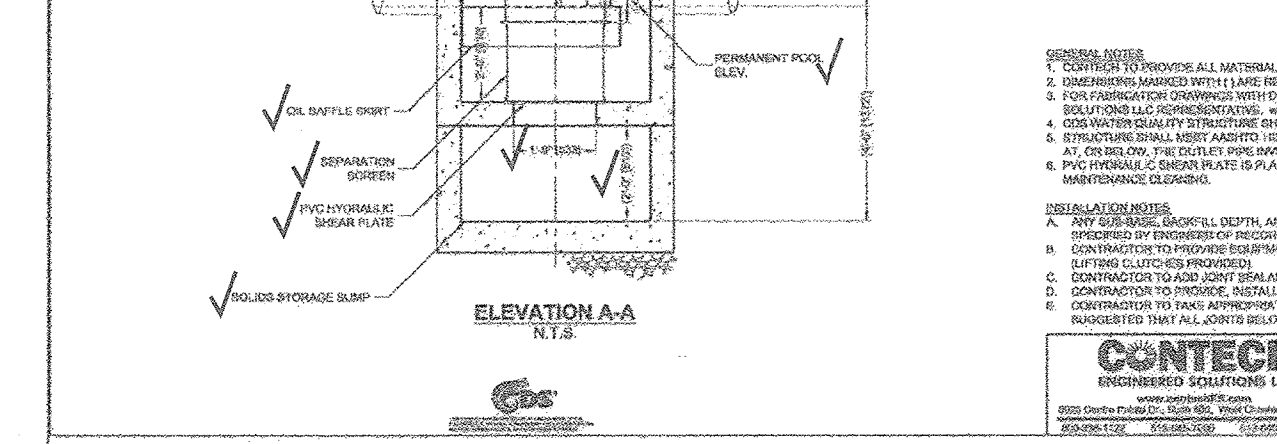
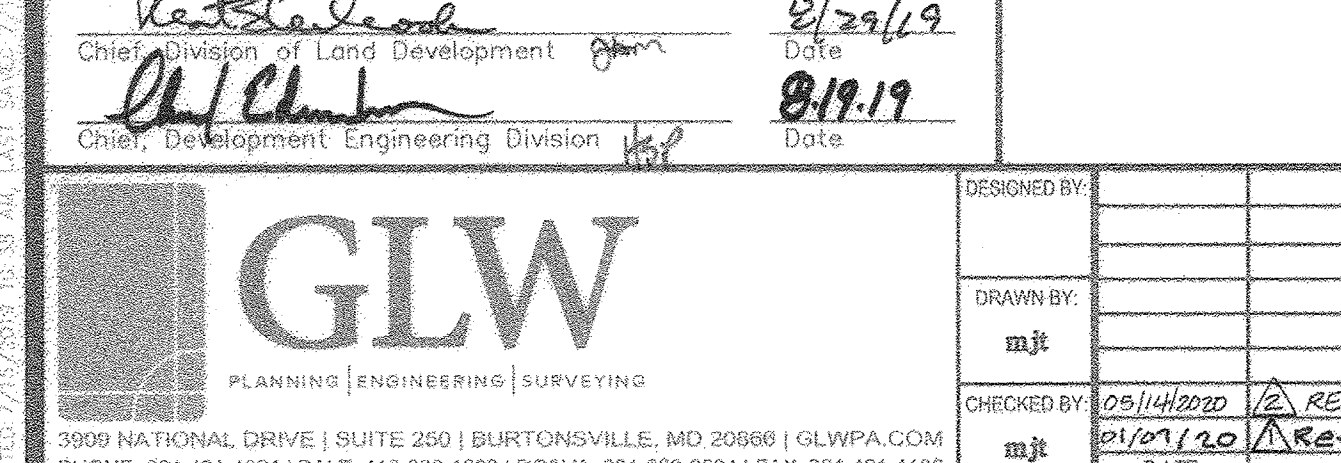
M-6-A
MICRO BIO-RETENTION
SCALE: 1"=10'
M-6-A
TYPE (PER MDE): MICRO BIORETENTION SYSTEM (M6)
NON - MDE 378 FACILITY
TOTAL DRAINAGE AREA TO FACILITY = 6,862 SF
STORAGE PROVIDED = 283 CU-FT @ 312.00' 256 CU-FT @ 311.93
ESDV PROVIDED = 371 CU-FT
LOW-FLOW OUTFALL: SLOTTED 4" UNDERDRAIN SYSTEM
BOTTOM OF FACILITY = 311.00
HIGH-FLOW OUTFALL: 5/8\"-B (12\" DRAIN BASIN WITH 12\" NYLOPLAST DOMED GRATE. INLET, TOP = 310.00) 311.93



M-6-B
MICRO BIO-RETENTION
SCALE: 1"=10'
M-6-B
TYPE (PER MDE): MICRO BIORETENTION SYSTEM (M6)
NON - MDE 378 FACILITY
TOTAL DRAINAGE AREA TO FACILITY = 6,094 SF
STORAGE PROVIDED = 107 CU-FT @ 313.75' 128 CU-FT @ 313.73
ESDV PROVIDED = 141 CU-FT
LOW-FLOW OUTFALL: SLOTTED 4" UNDERDRAIN SYSTEM
BOTTOM OF FACILITY = 313.25
HIGH-FLOW OUTFALL: 5/8\"-B (12\" DRAIN BASIN WITH 12\" NYLOPLAST DOMED GRATE. TOP = 313.75) 313.73



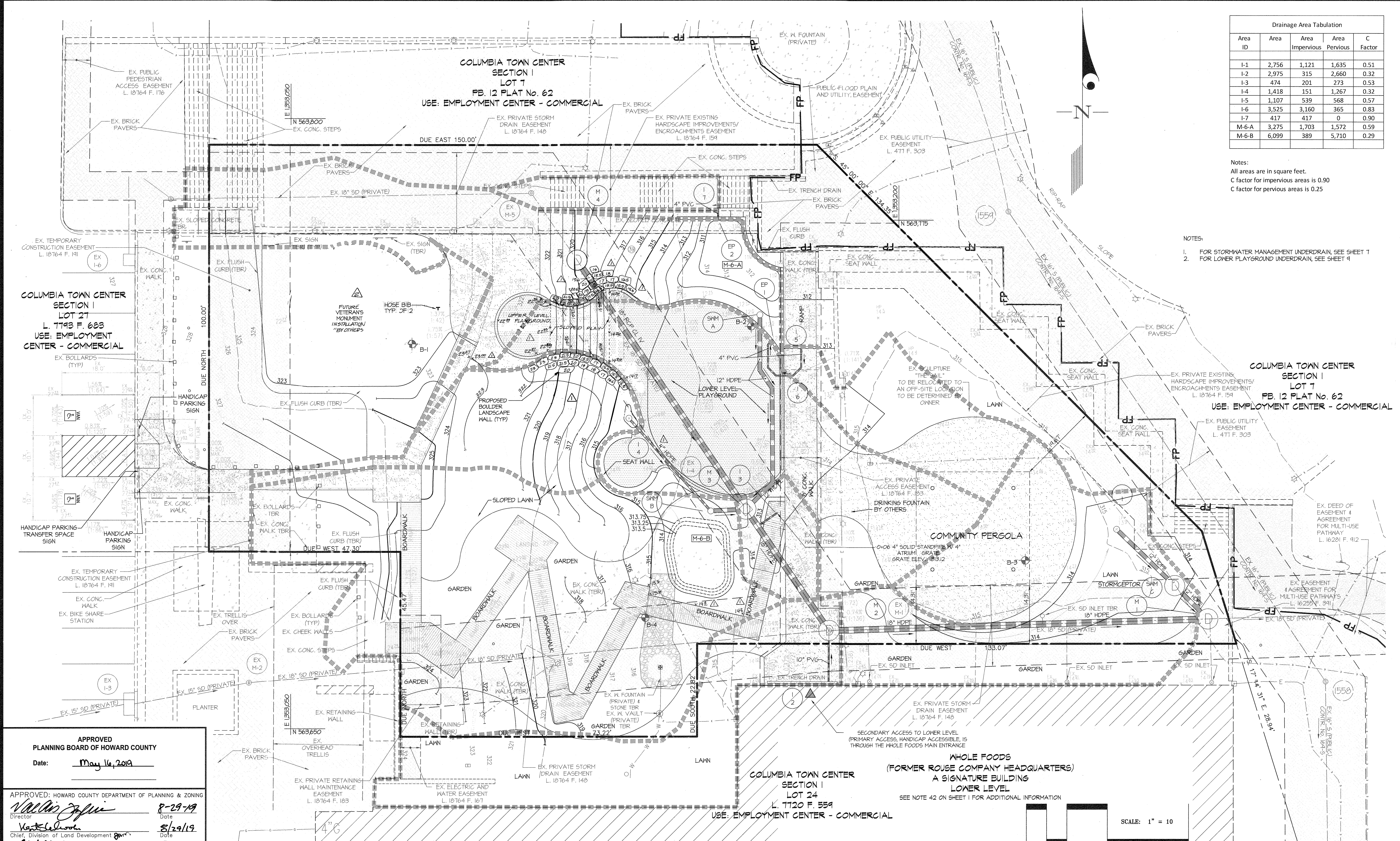
APPROVED
PLANNING BOARD OF HOWARD COUNTY
Date: May 16, 2019
APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
Director: 8-29-19
Chief, Division of Land Development: 8/29/19
Chief, Development Engineering Division: 8/19/19



Drainage Area Tabulation				
Area ID	Area	Area Impervious	Area Pervious	C Factor
I-1	2,756	1,121	1,635	0.51
I-2	2,975	315	2,660	0.32
I-3	474	201	273	0.53
I-4	1,418	151	1,267	0.32
I-5	1,107	539	568	0.57
I-6	3,525	3,160	365	0.83
I-7	417	417	0	0.90
M-6-A	3,275	1,703	1,572	0.59
M-6-B	6,099	389	5,710	0.29

Notes:
 All areas are in square feet.
 C factor for impervious areas is 0.90
 C factor for pervious areas is 0.25

- NOTES:
- FOR STORMWATER MANAGEMENT UNDERDRAIN, SEE SHEET 7
 - FOR LOWER PLAYGROUND UNDERDRAIN, SEE SHEET 4



APPROVED
 PLANNING BOARD OF HOWARD COUNTY
 Date: May 16, 2019

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
Nallia J. J. J. 8-29-19
 Director Date
Kate L. L. 8/29/19
 Chief, Division of Land Development Date
Ch. L. L. 8-19-19
 Chief, Development Engineering Division Date

GLW
 PLANNING | ENGINEERING | SURVEYING
 3909 NATIONAL DRIVE | SUITE 250 | BURTONSVILLE, MD 20886 | GLW.PA.COM
 PHONE: 301-421-4024 | BALTO: 410-880-1820 | DC&VA: 301-988-2524 | FAX: 301-421-4188

DESIGNED BY:	DATE:	REVISION:

PREPARED FOR:
 ACB PARKING BUSINESS TRUST
 c/o THE HOWARD RESEARCH
 AND DEVELOPMENT CORP.
 10960 GRANCHESTER WAY, SUITE 110
 CONTACT: CAROL DOONEY
 COLUMBIA, MARYLAND 21044
 410.964.5408

PROFESSIONAL CERTIFICATION
 I HEREBY CERTIFY THAT THESE PLANS
 WERE PREPARED OR APPROVED BY
 ME, AND THAT I AM A DULY LICENSED
 PROFESSIONAL ENGINEER UNDER THE
 LAWS OF THE STATE OF MARYLAND,
 LICENSE NO. 14931
 EXPIRATION DATE: MAY 21, 2020

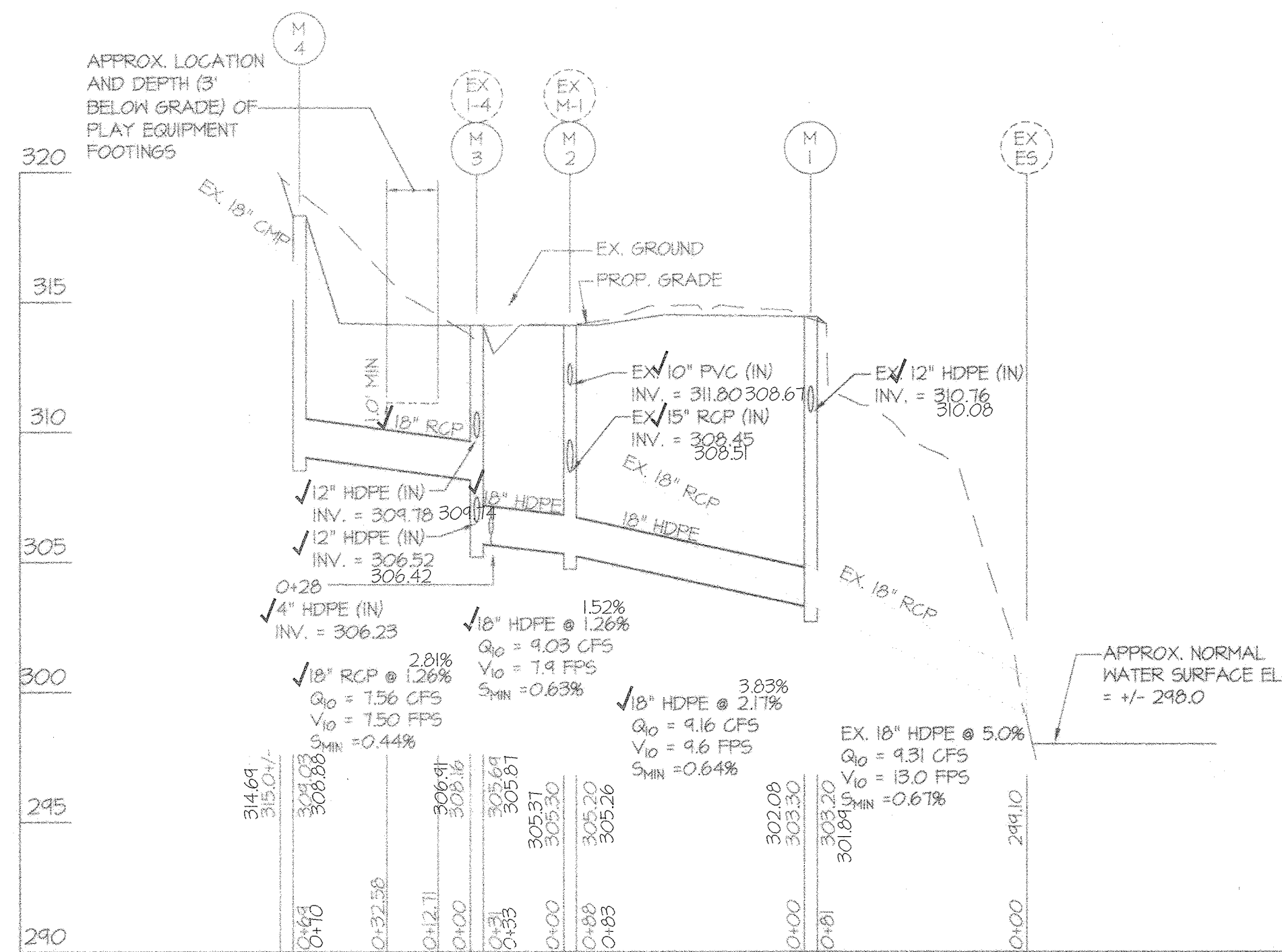
STORM DRAIN DRAINAGE AREA MAP
 PUBLIC DOWNTOWN NEIGHBORHOOD SQUARE
 DOWNTOWN COLUMBIA
 OPEN SPACE LOT 1
 LAKEFRONT CORE
 PLAT No. 25127

NO ASBUILT INFORMATION
 07/09/2020

ELECTION DISTRICT No. 5
 HOWARD COUNTY, MARYLAND

SCALE	ZONING	G. L. W. FILE No.
1"=10'	NT	18050
DATE	TAX MAP - GRID	SHEET
JULY, 2019	36 - 2	8 OF 25

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STORM DRAIN PROFILE

PERMA-TRENCH HDPE TRENCH DRAINS

Z886 Perma-Trench[®]

HDPE 6" Drain System (4" Throat)

Z886 Applications

- Highways
- Industrial Floors
- Driveways
- Kitchens
- Plants
- Parking Lots
- Gas Stations
- Airports
- Airplane Hangars
- Chemical Plants
- Food Processing
- Shoepack Health
- Manufacturing Plants
- Pharmaceuticals
- Amusement Parks

Installation Specification

4" Throat / 6.312" Overall Width
Consult Plans and Specifications

Features and Benefits

- 80" Pre-engineered Modular Channel Sections with 20" or 40" Grotes
- 275 Built-In Slope - Handles greater flows, uniform slope
- Reinforced Bottom - Better flow rates, less water build-up
- Straight High-Density Polyethylene Structural Concrete Reinforced Water Absorption
- Durable and Lightweight - Strong composite material
- Extra Long Runs - Side wall indentations allow one-piece runs up to 500 feet
- Variety of Endings - Multiple finishes and designs available
- Gate Options - From feet-on-top to FAA-rated ADA compliant (see pages 16-22)
- Built-In Retain Clips - Accommodates 8.5 or 8.8 rebar (subject to others)
- Frame Available in coated steel, stainless steel, or galvanized steel

Engineering Specification

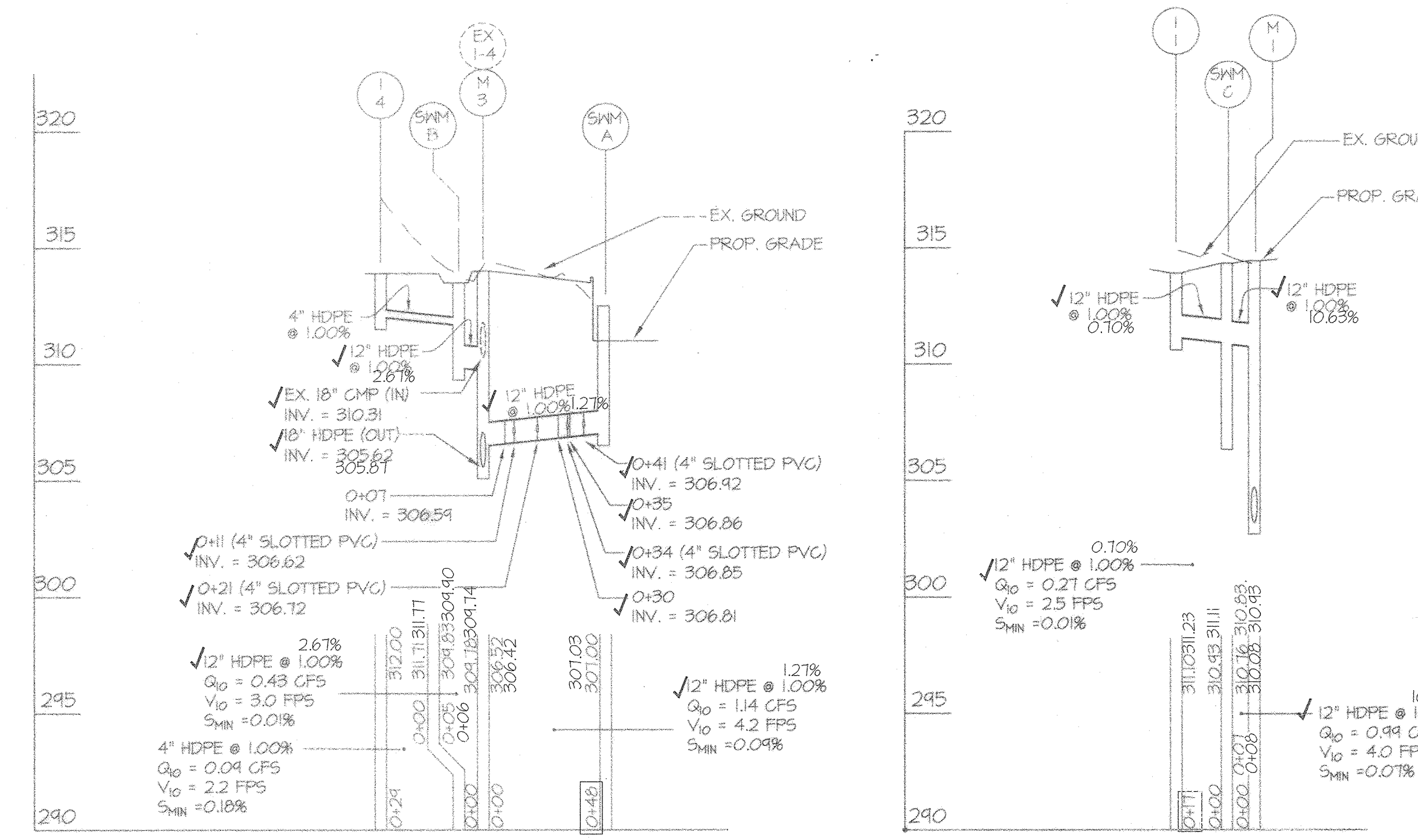
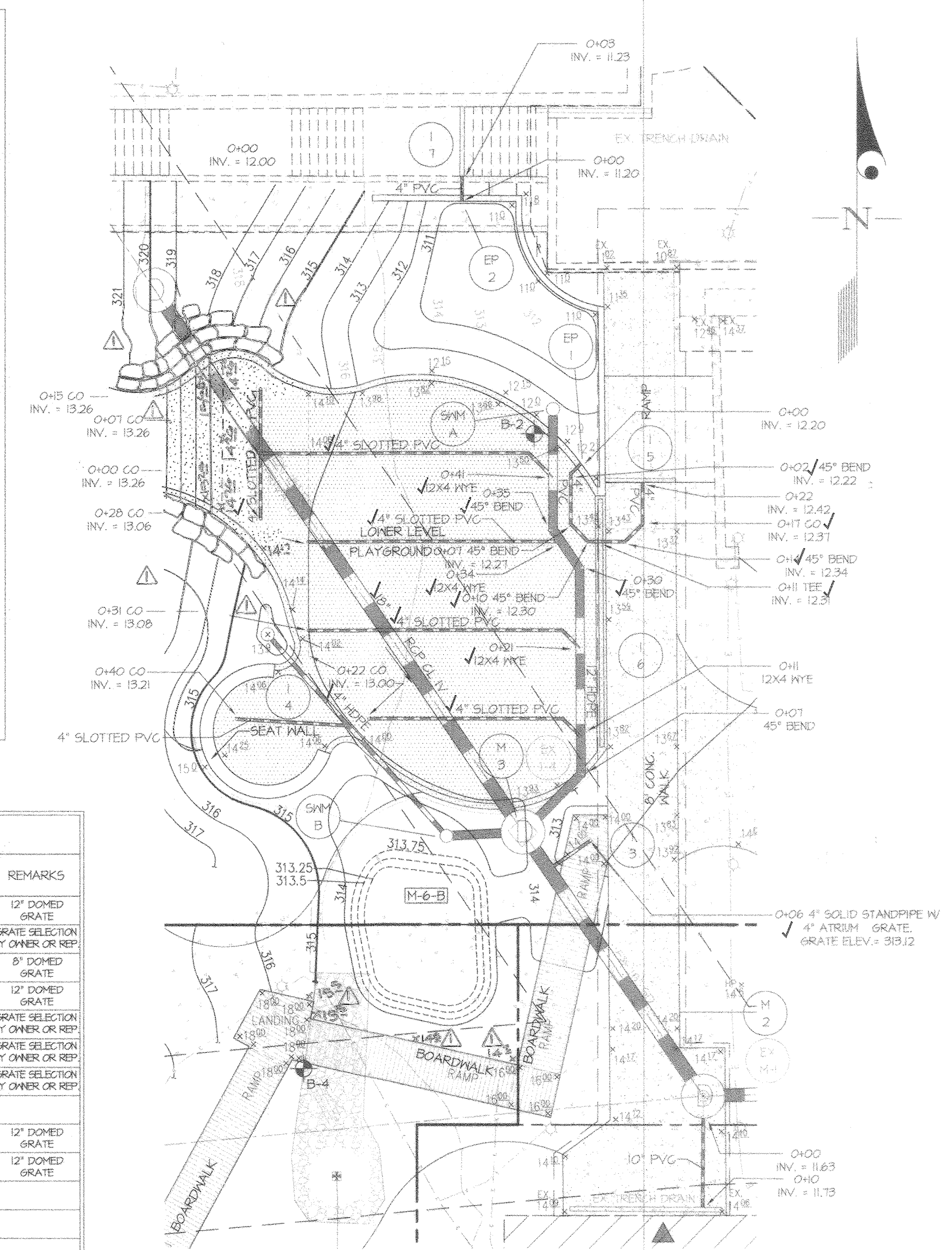
Channels must be 80" long, 6.312" wide, and have a 4" wide throat. Modular channel sections shall be made of High Density Polyethylene (HDPE). Have mechanical interlocking ends, with reinforced bottom. Channels shall be provided either finished, or with a 20% built-in slope. Channels shall be available with inlets ranging from 3" to 24" (inlets are not included). Channels must be installed at factory. Channels must have clips molded into the sides of the channel to accommodate vertical rebar for positioning and anchoring purposes. Channels shall be 8.5 or 8.8 rebar (subject to others) and shall be available with 1/2" and 3/4" rebar (subject to others). Channels shall be available with 1/2" and 3/4" rebar (subject to others). Channels shall be available with 1/2" and 3/4" rebar (subject to others).

System Highlights

- Interfit Substrates
- Mechanical Interlocking Connections
- Optional HD Frame Assembly
- Top and 80" Filtration
- Substrates

Installation Specification Table

THROAT WIDTH	OVERALL WIDTH	CHANNEL HEIGHT	CHANNEL WEIGHT	CHANNEL LENGTH	CHANNEL VOLUME	CHANNEL SURFACE AREA	CHANNEL PERIMETER	CHANNEL WEIGHT PER FOOT	CHANNEL SURFACE AREA PER FOOT	CHANNEL PERIMETER PER FOOT	CHANNEL VOLUME PER FOOT
3"	5.812"	4.0"	1.50 LBS	80"	0.051 CU YD	1.60 SQ YD	31.416 FT	0.1875 LBS/FT	0.200 SQ YD/FT	3.1416 FT/FT	0.00625 CU YD/FT
4"	6.312"	4.0"	1.87 LBS	80"	0.064 CU YD	1.68 SQ YD	31.416 FT	0.2338 LBS/FT	0.253 SQ YD/FT	3.1416 FT/FT	0.00781 CU YD/FT
6"	8.312"	4.0"	3.12 LBS	80"	0.107 CU YD	1.82 SQ YD	31.416 FT	0.3900 LBS/FT	0.416 SQ YD/FT	3.1416 FT/FT	0.01250 CU YD/FT
8"	10.312"	4.0"	4.37 LBS	80"	0.150 CU YD	1.96 SQ YD	31.416 FT	0.5463 LBS/FT	0.578 SQ YD/FT	3.1416 FT/FT	0.01719 CU YD/FT
10"	12.312"	4.0"	5.62 LBS	80"	0.193 CU YD	2.10 SQ YD	31.416 FT	0.7026 LBS/FT	0.739 SQ YD/FT	3.1416 FT/FT	0.02188 CU YD/FT
12"	14.312"	4.0"	6.87 LBS	80"	0.236 CU YD	2.24 SQ YD	31.416 FT	0.8589 LBS/FT	0.890 SQ YD/FT	3.1416 FT/FT	0.02657 CU YD/FT
14"	16.312"	4.0"	8.12 LBS	80"	0.279 CU YD	2.38 SQ YD	31.416 FT	1.0152 LBS/FT	1.026 SQ YD/FT	3.1416 FT/FT	0.03126 CU YD/FT
16"	18.312"	4.0"	9.37 LBS	80"	0.322 CU YD	2.52 SQ YD	31.416 FT	1.1715 LBS/FT	1.167 SQ YD/FT	3.1416 FT/FT	0.03595 CU YD/FT
18"	20.312"	4.0"	10.62 LBS	80"	0.365 CU YD	2.66 SQ YD	31.416 FT	1.3278 LBS/FT	1.308 SQ YD/FT	3.1416 FT/FT	0.04064 CU YD/FT
20"	22.312"	4.0"	11.87 LBS	80"	0.408 CU YD	2.80 SQ YD	31.416 FT	1.4841 LBS/FT	1.449 SQ YD/FT	3.1416 FT/FT	0.04533 CU YD/FT
24"	26.312"	4.0"	15.12 LBS	80"	0.516 CU YD	3.14 SQ YD	31.416 FT	1.9044 LBS/FT	1.946 SQ YD/FT	3.1416 FT/FT	0.05712 CU YD/FT



STORM DRAIN PROFILE

STORM DRAIN PROFILE

STRUCTURE SCHEDULE (STORM DRAIN)

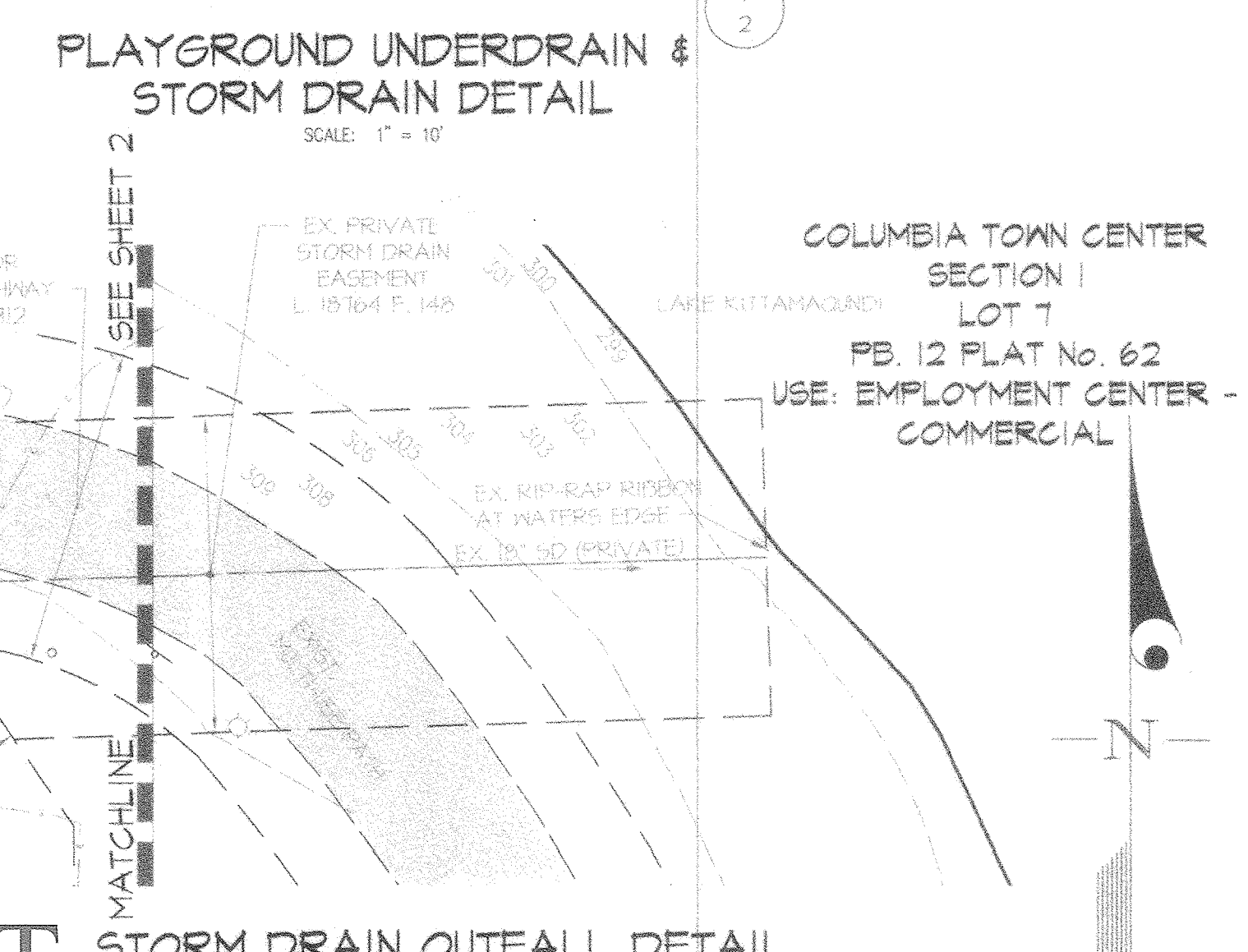
NO	TYPE	WIDTH (INSIDE)	TOP ELEVATION		INVERT		STD. DETAIL	LOCATIONS	REMARKS
			UPPER	LOWER	UPPER	LOWER			
I-1	12" NYLOPLAST	12"	313.90	---	311.10	---	NYLOPLAST DRAIN BASIN OR EQUIVALENT	563,649 N 1,353,254 E	12" DOMED GRATE
I-2	TRENCH DRAIN	8"	314.04	314.06	311.73	---	ZURN Z886 OR SIMILAR	SEE PLAN	GRATE SELECTION BY OWNER OR REP
I-3	4" NYLOPLAST	4"	313.12	---	311.24	---	NYLOPLAST INLINE DRAIN OR EQUIVALENT	563,703 N 1,353,170 E	8" DOMED GRATE
I-4	12" NYLOPLAST	12"	313.90	---	312.00	---	NYLOPLAST DRAIN BASIN OR EQUIVALENT	563,726 N 1,353,133 E	12" DOMED GRATE
I-5	TRENCH DRAIN	8"	313.82	313.42	312.31	---	ZURN Z886 OR SIMILAR	SEE PLAN	GRATE SELECTION BY OWNER OR REP
I-6	TRENCH DRAIN	8"	313.82	313.42	312.31	---	ZURN Z886 OR SIMILAR	SEE PLAN	GRATE SELECTION BY OWNER OR REP
I-7	TRENCH DRAIN	8"	314.60	314.30	311.23	---	ZURN Z886 OR SIMILAR	SEE PLAN	GRATE SELECTION BY OWNER OR REP
SBM A	12" NYLOPLAST	12"	311.93	---	307.03	---	NYLOPLAST DRAIN BASIN OR EQUIVALENT	563,752 N 1,353,166 E	12" DOMED GRATE
SBM B	12" NYLOPLAST	12"	313.73	---	311.77	---	NYLOPLAST DRAIN BASIN OR EQUIVALENT	563,703 N 1,353,154 E	12" DOMED GRATE
SBM C	STORMCEPTOR	4'-0"	313.96	---	310.43	---	CONTECH OR EQUIVALENT	563,685 N 1,353,268 E	
M-1	MANHOLE	4'-0"	314.46	---	310.08	301.84	HO. CO. 6-5-12	563,671 N 1,353,276 E	
M-2	MANHOLE	4'-0"	314.18	---	311.20	305.26	HO. CO. 6-5-12	563,674 N 1,353,183 E	
M-3	MANHOLE	4'-0"	314.00	---	304.74	305.87	HO. CO. 6-5-12	563,704 N 1,353,162 E	
M-4	MANHOLE	4'-0"	314.80	---	314.69	304.03	HO. CO. 6-5-12	563,765 N 1,353,121 E	

NOTES:
1. ALL EXPOSED PIPING, INLETS, AND GRATES ARE TO BE PAINTED BLACK.

PIPE SCHEDULE (STORM DRAIN)

SIZE	TYPE	QUANTITY (L.F.)	REMARKS
4"	HDPE	60	PRIVATE
10"	HDPE	10	PRIVATE
18"	HDPE	119	PRIVATE
18"	RCP CL IV	69	PRIVATE

NOTES:
1. HDPE Indicates High Density Polyethylene pipe, such as N-12 by ADS, or H-4 by Hancor or an approved equal.
2. Trench bedding to be provided per Howard County Detail 6.2.01, "Trench for PVC pipe and HDPE."
3. All exposed piping, inlets, and grates are to be painted black.



ASBUILT STORM DRAIN OUTFALL DETAIL

APPROVED
PLANNING BOARD OF HOWARD COUNTY

Date: May 16, 2019

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

William J. Jaffee 8/29/19
Director

W. J. Seal 8/29/19
Chief, Division of Land Development

John E. Clark 8/19/19
Chief, Development Engineering Division

ASBUILT CERTIFICATION
I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland, License No. 12475, Expiration Date: May 26, 2022.

7-9-2020
Date

Carl K. Gutschick
Professional Engineer
Maryland Reg. No. 12475

GLW PLANNING ENGINEERS | SURVEYING

3809 NATIONAL DRIVE | SUITE 250 | BURTONSVILLE, MD 20866 | GLWPA.COM
PHONE: 301-421-4024 | BALTY: 410-980-1820 | DC/VA: 301-689-2524 | FAX: 301-421-4188

DESIGNED BY: [Blank]
DRAWN BY: [Blank]
CHECKED BY: [Blank]

PREPARED FOR:
ACB PARKING BUSINESS TRUST
c/o THE HOWARD RESEARCH
AND DEVELOPMENT CORP.
10960 GRANCHESTER WAY, SUITE 110
CONTACT: CAROL DOONEY
COLUMBIA, MARYLAND 21044
410.964.5408

PROFESSIONAL CERTIFICATION
I HEREBY CERTIFY THAT THESE PLANS
WERE PREPARED OR APPROVED BY
ME, AND THAT I AM A DULY LICENSED
PROFESSIONAL ENGINEER UNDER THE
LAWS OF THE STATE OF MARYLAND,
LICENSE NO. 12475
EXPIRATION DATE: MAY 26, 2022

STORM DRAIN PROFILES, SCHEDULES AND DETAILS

PUBLIC DOWNTOWN NEIGHBORHOOD SQUARE
DOWNTOWN COLUMBIA
OPEN SPACE LOT 1
LAKEFRONT CORE
PLAT No. 2-12-17

ELECTION DISTRICT No. 5

SCALE: AS SHOWN

ZONING: NT

G. L. W. FILE NO.: 18050

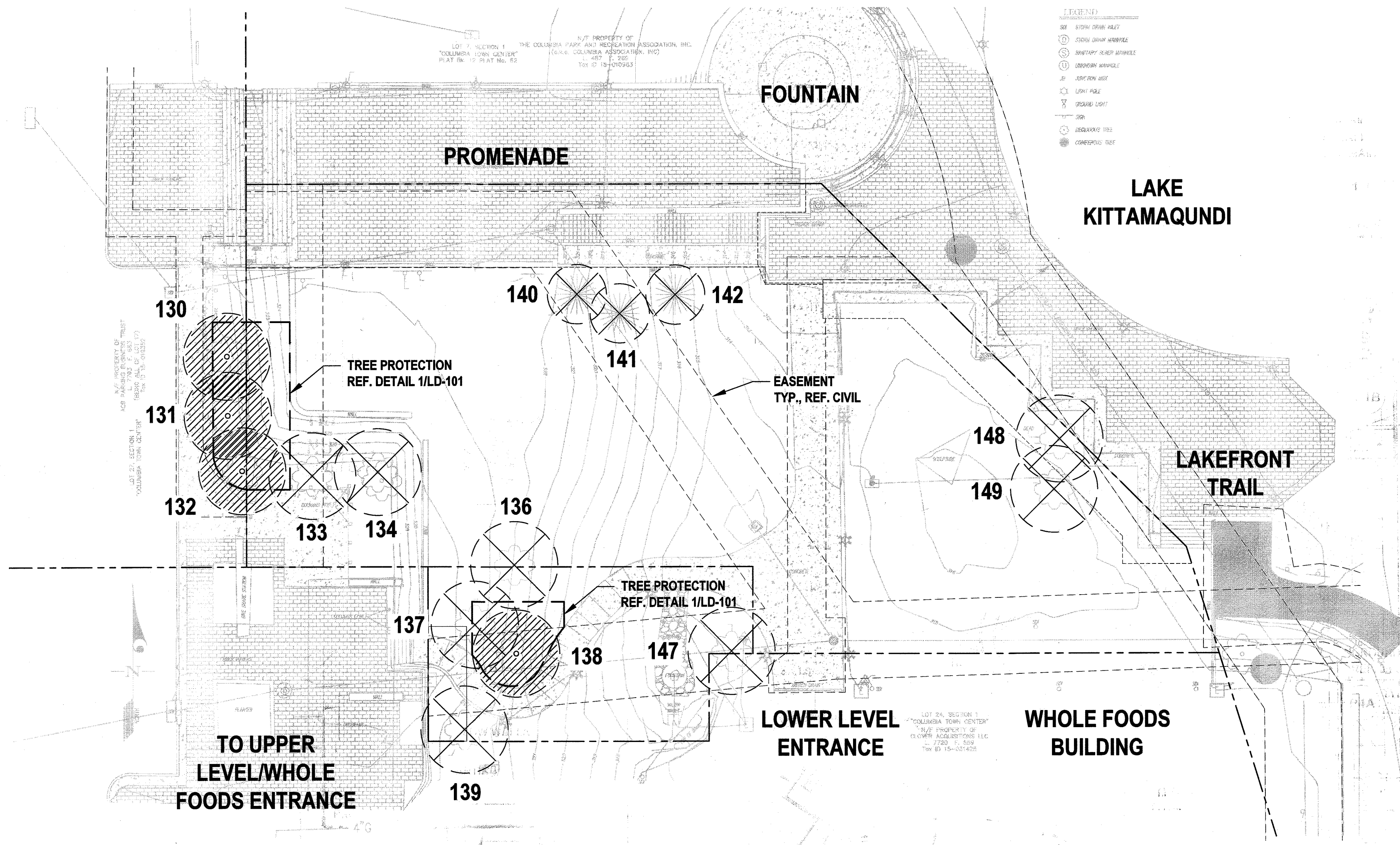
DATE: JULY 2020
JULY, 2019

TAX MAP - GRID: 36 - 2

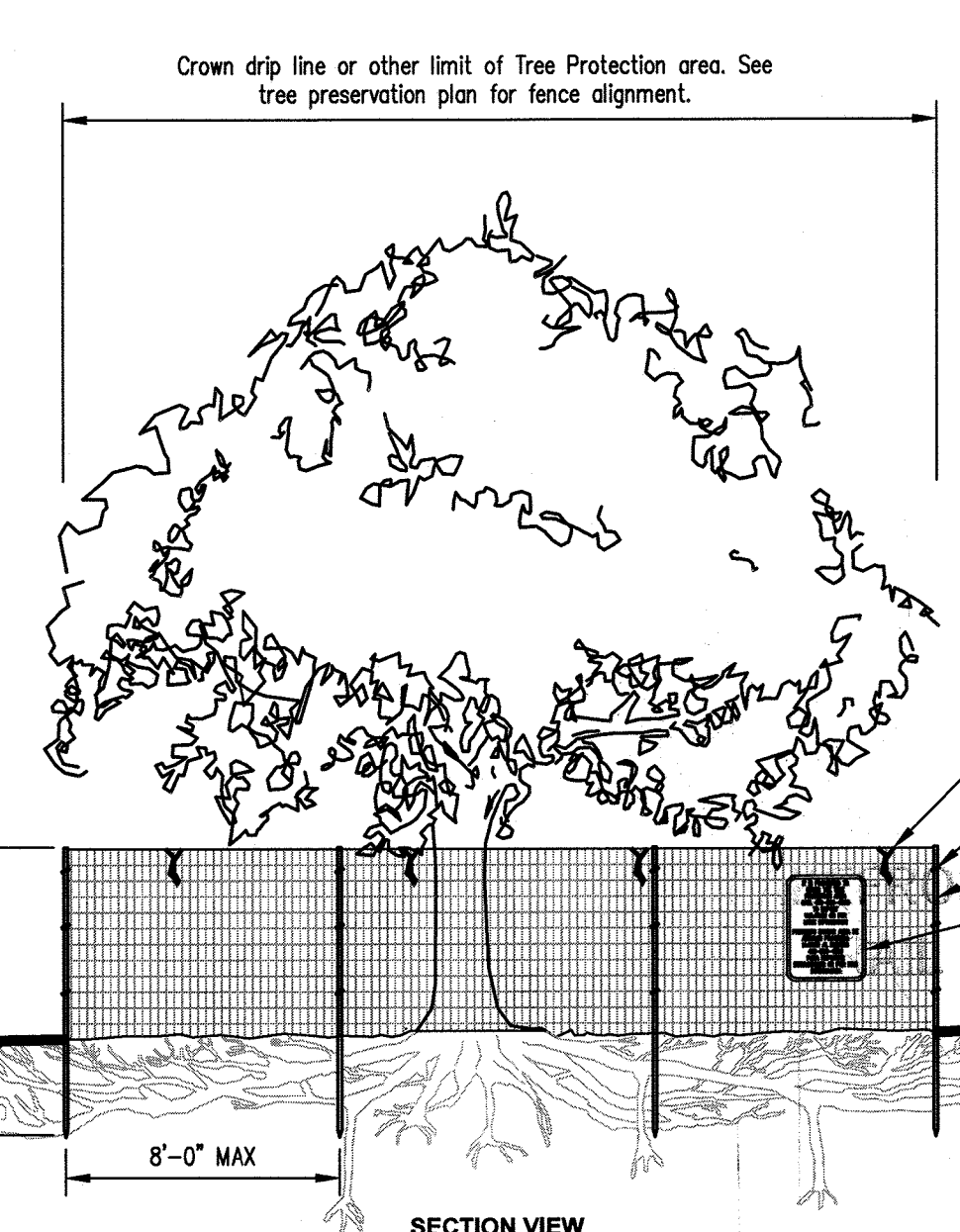
SHEET: 9 OF 25

HOWARD COUNTY, MARYLAND

ASBUILT SDP 19-037



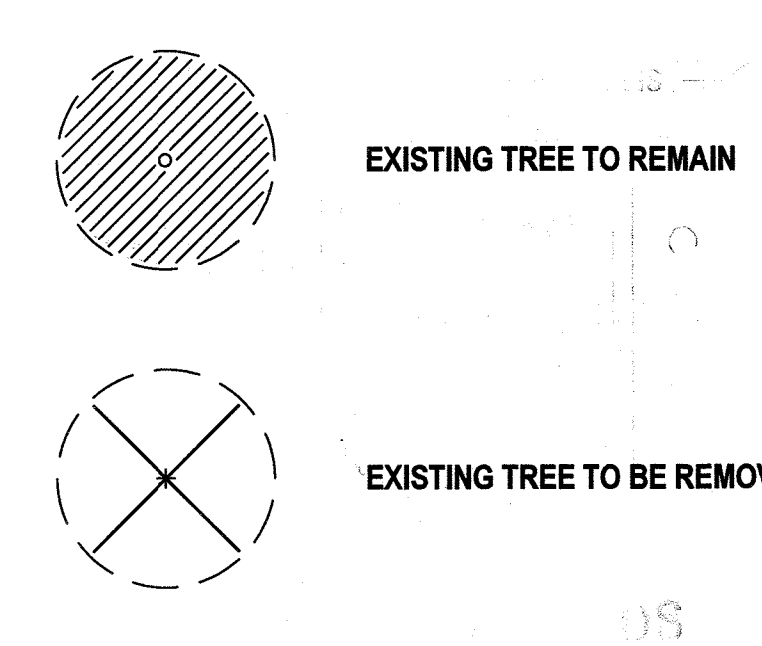
IT IS PROHIBITED TO ENTER THE TREE PROTECTION AREA CALL TO REPORT VIOLATION OR FOR MORE INFORMATION PROHIBIDO ENTRAR AREA DE ARBOLES PROTEGIDA LLAMAR AL NUMERO PARA REPORTAR INFRACCIONES O POR MAS INFORMACION



- Notes:
- 1- Tree protection fence shall be installed prior to any site work, clearing or demolition.
 - 2- Where required, super silt fence may be used in lieu of welded wire for tree protection provided it is installed and maintained as a tree protection measure and is posted with tree protection signs.
 - 3- Tree protection fence shall be maintained throughout construction. Remove fence only with approval and after all site work has been completed.
 - 4- See specifications for additional tree protection requirements.
 - 5- If there is no existing irrigation, see specifications for watering requirements.
 - 6- No pruning shall be performed except by certified arborist.
 - 7- No equipment shall operate inside the protective fencing including during fence installation and removal.
 - 8- See site preparation plan for any modifications with the Tree Protection area.

1 TREE PROTECTION
1/4" = 1'-0"

TREE PRESERVATION LEGEND



Tree #	Latin Name	Common Name	Location	DBH	Condition	Action
#130	Gleditsia tricanthos	Honey Locust	parking area	16"	Good	structural pruning/fertilization
#131	Gleditsia tricanthos	Honey Locust	parking area	17"	Good	structural pruning/fertilization
#132	Gleditsia tricanthos	Honey Locust	parking area	20"	Fair	structural pruning/fertilization
#133	Gleditsia tricanthos	Honey Locust	slope	23"	Poor	Removal/stump grinding
#134	Gleditsia tricanthos	Honey Locust	slope	24"	Poor	Removal/stump grinding
#136	Quercus palustris	Pin Oak	slope	22"	Poor	Removal/stump grinding
#137	Quercus palustris	Pin Oak	slope	21"	Fair	Removal/stump grinding
#138	Amalanchier canadensis	Serviceberry	walkway	6"	Good	structural pruning/fertilization
#139	Quercus palustris	Pin Oak	slope	25"	Poor	Removal/stump grinding
#140	Pinus strobus	White Pine	brick plaza	12"	Good	Removal/stump grinding
#141	Pinus strobus	White Pine	brick plaza	13"	Good	Removal/stump grinding
#142	Pinus strobus	White Pine	brick plaza	11"	Good	Removal/stump grinding
#147	Gleditsia tricanthos	Honey Locust	foundation	22"	Poor	Removal/stump grinding
#148	Acer japonicum	Japanese Maple	lawn area	18"	Dead	Removal/stump grinding
#149	Acer japonicum	Japanese Maple	lawn area	14"	Poor	Removal/stump grinding

PREFERRED VENDOR:
BARTLETT TREE EXPERTS
CONTACT: MARTY ADAMS
410.977.0824 | 410.526.6655

APPROVED
PLANNING BOARD OF HOWARD COUNTY
Date: May 16, 2019

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
N. J. ... 8-29-19
Director Date
V. ... 8/29/19
Chief, Division of Land Development Date
C. ... 8-19-19
Chief, Development Engineering Division Date

Design Collective
ARCHITECTURE PLANNING INTERIORS
LANDSCAPE ARCHITECTURE GRAPHICS
801 East Pratt Street, Suite 300
Baltimore, Maryland 21202
P: 410.526.6655 www.designcollective.com

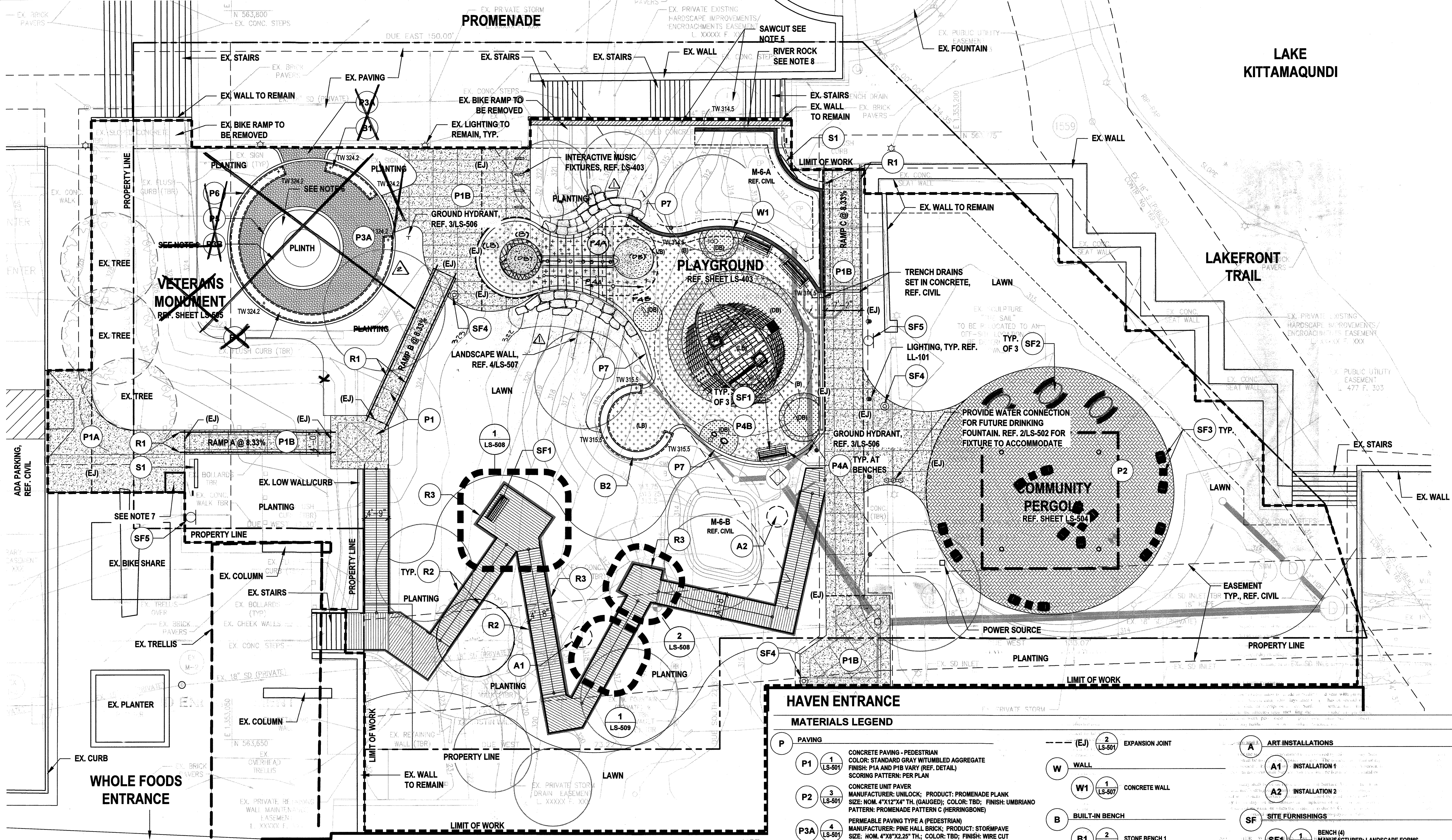
DES.	DRN.	CHK.	DATE	REVISION	BY	APP'R.

PREPARED FOR:
ACB PARKING BUSINESS TRUST
c/o THE HOWARD RESEARCH
AND DEVELOPMENT CORP.
10480 LITTLE PATUXENT PARKWAY
COLUMBIA, MARYLAND 21044
CONTACT: CAROL DOONEY

"I certify that these documents were prepared or approved by me, and that I am a duly licensed landscape architect under the laws of the State of Maryland. License No. 1039, expiration date 06/12/2020"
By: *Matt D'Amico*, PLA
Design Collective, Inc.

TREE PRESERVATION PLAN
PUBLIC DOWNTOWN NEIGHBORHOOD SQUARE
DOWNTOWN COLUMBIA
LAKEFRONT CORE
OPEN SPACE LOT 1
PLAT No. **LD-101**
ELECTION DISTRICT No. 5
HOWARD COUNTY, MARYLAND

SCALE	ZONING	FILE No.
1" = 20'	NT	18050
DATE	TAX MAP - GRID	SHEET
JULY, 2019	36 - 2	10 OF 25



HAVEN ENTRANCE

MATERIALS LEGEND

Symbol	Description
P	PAVING
P1	CONCRETE PAVING - PEDESTRIAN COLOR: STANDARD GRAY W/TUMBLED AGGREGATE FINISH: P1A AND P1B VARY (REF. DETAIL) SCORING PATTERN: PER PLAN
P2	CONCRETE UNIT PAVER MANUFACTURER: UNILOCK; PRODUCT: PROMENADE PLANK SIZE: NOM. 4"X12"X4" TH. (GAUGED); COLOR: TBD; FINISH: UMBRIANO PATTERN: PROMENADE PATTERN C (HERRINGBONE)
P3A	PERMEABLE PAVING TYPE A (PEDESTRIAN) MANUFACTURER: PINE HALL BRICK; PRODUCT: STORMPAVE SIZE: NOM. 4"X8"X2.25" TH.; COLOR: TBD; FINISH: WIRE CUT PATTERN: HERRINGBONE
P3B	PERMEABLE PAVING TYPE B (PEDESTRIAN) MANUFACTURER: HANOVER ARCH PRODUCTS; PRODUCT: PERMEABLE SIZE: NOM. 3.25"X18"X4" TH.; COLOR: TBD; FINISH: TUDOR PATTERN: HERRINGBONE
P4A	RUBBER SAFETY SURFACE TYPE A (CONCRETE BASE) MANUFACTURER: SURFACE AMERICA (PROVIDED BY SPARKS AT PLAY) COLOR: LIGHT BROWN (LB), DARK BROWN (DB), BLUE (B)
P4B	RUBBER SAFETY SURFACE TYPE B (PERMEABLE) MANUFACTURER: SURFACE AMERICA (PROVIDED BY SPARKS AT PLAY) COLOR: LIGHT BROWN (LB), DARK BROWN (DB), BLUE (B)
P5	8" GRANITE BAND COLOR: TO MATCH STONE BENCH; FINISH: THERMAL
P6	6" CONCRETE BAND COLOR: STD GRAY; FINISH: BROOM
P7	8" CONCRETE BAND COLOR: STD GRAY; FINISH: BROOM
W	WALL
W1	CONCRETE WALL
B	BUILT-IN BENCH
B1	STONE BENCH 1
B2	STONE BENCH 2
R	RAILINGS
R1	RAMP HANDRAIL
R2	BOARDWALK HANDRAIL
R3	BOARDWALK GUARDRAIL
S	SIGNAGE
S1	PARK SIGNAGE

Symbol	Description
A	ART INSTALLATIONS
A1	INSTALLATION 1
A2	INSTALLATION 2
SF	SITE FURNISHINGS
SF1	BENCH (4) MANUFACTURER: LANDSCAPE FORMS PRODUCT: NEOLIVIANO - 69" BACKED PICNIC TABLE (3) MANUFACTURER: LANDSCAPE FORMS PRODUCT: CHARLIE TABLE AND CHAIRS MANUFACTURER: LANDSCAPE FORMS PRODUCT: PARC CENTRE - LOUNGE CHAIR (14), OTTOMAN (7) LITTER & RECYCLING RECEPTACLE (3) MANUFACTURER: FORMS+SURFACES PRODUCT: DISPATCH LITTER & RECYCLING RECEPTACLE PET WASTE RECEPTACLE (2) MANUFACTURER: DOGIPOT PRODUCT: POLY DOGIPOT PET STATION (#1010)
SF2	
SF3	
SF4	
SF5	

- NOTES:**
- REF. LD-101 FOR TREE PROTECTION FOR EXISTING TREES TO REMAIN.
 - REF. CIVIL DRAWINGS FOR GRADING.
 - FINAL LOCATIONS FOR BENCHES, CHAIRS, TABLES, AND RECEPTACLES SHALL BE APPROVED BY LANDSCAPE ARCHITECT AND DEPARTMENT OF RECREATION AND PARKS ON SITE PRIOR TO FINAL INSTALLATION.
 - REF. MEP DRAWINGS FOR ELECTRICAL AND PLUMBING CONNECTION COORDINATION.
 - REMOVE EXISTING CONCRETE RAMP. SAW CUT AND MAINTAIN A MAX. 12" WIDE CONCRETE STRIP ALONG FACE OF CHEEK WALL. INTENT IS TO ELIMINATE POTENTIAL DAMAGE TO EX. CHEEK WALL AND STAIRS.
 - TEMPORARY CONDITION - P3B PAVER LOCATED AT VETERAN'S MONUMENT TO BE INSTALLED AT SAME TIME AS MONUMENT. INSTALL SOD, SET FLUSH WITH ADJACENT GRADE IN PLACE UNTIL TIME OF SCULPTURE INSTALL. PROVIDE METAL EDGING TO CONTAIN P3A AND P5 PAVERS IN PLACE.
 - 4' SQ. CONC. MOCK UP, SET ADJACENT TO EX. CONCRETE PAVING. MOCK UP TO BE REVIEWED AND APPROVED BY LANDSCAPE ARCHITECT.
 - PLACE RIVER ROCK (DELAWARE RIVER JACK - 3"-5") TO A MIN. 3" DEPTH BETWEEN THE PROPOSED W1 WALL AND SAW CUT CONCRETE ALONGSIDE THE STAIR CHEEK WALL. SET IN STACKED PATTERN PERP. TO FACE OF WALL, LOOSE LAID OVER FILTER FABRIC.
 - DELAWARE RIVER JACK (3"-5") TO BE PROVIDED IN BASIN OF MICROBIORETENTION AT INLET LOCATIONS (MIN. 20 SF AREA, 8" DEPTH). LOCATIONS AND EXTENTS SHALL BE APPROVED BY LANDSCAPE ARCHITECT AND DEPARTMENT OF RECREATION AND PARKS ON SITE FOLLOWING BIO INSTALLATION.

APPROVED
PLANNING BOARD OF HOWARD COUNTY
Date: May 16, 2019

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
Nick D'Amico 8-29-19
Director Date
Christina 5/29/19
Chief, Division of Land Development Date
Christina 8-19-19
Chief, Development Engineering Division Date

Design Collective

ARCHITECTURE PLANNING INTERIORS
LANDSCAPE ARCHITECTURE GRAPHICS
805 West Street, Suite 300
Baltimore, Maryland 21201
P 410 525 8855 www.designcollective.com

DES.	DRN.	CHK.	DATE	REVISION
			05/14/2019	VETERAN'S MONUMENT REMOVED
			05/20/2019	Slide along and Boulder Retention

DATE	REVISION	BY	APPR.
05/14/2019	VETERAN'S MONUMENT REMOVED	PKJ	MJT
05/20/2019	Slide along and Boulder Retention	PKJ	MJT

PREPARED FOR:
ACB PARKING BUSINESS TRUST
c/o THE HOWARD RESEARCH
AND DEVELOPMENT CORP.
10480 LITTLE PATUXENT PARKWAY
COLUMBIA, MARYLAND 21044
CONTACT: CAROL DOONEY

"I certify that these documents were prepared or approved by me, and that I am a duly licensed landscape architect under the laws of the State of Maryland, License No. 1039, expiration date 06/12/2020"
By: *Matt D'Amico*, PLA
Design Collective, Inc.

MATERIALS PLAN

PUBLIC TOWN NEIGHBORHOOD SQUARE
DOWNTOWN COLUMBIA
LAKEFRONT CORE
OPEN SPACE LOT 1
PLAT No. 25127

NO ASBUILT INFORMATION
07/09/2020

SCALE: 1" = 10'

DATE: JULY, 2019

ZONING: NT

TAX MAP - GRID: 36 - 2

FILE No.: 18050

SHEET: 11 OF 25

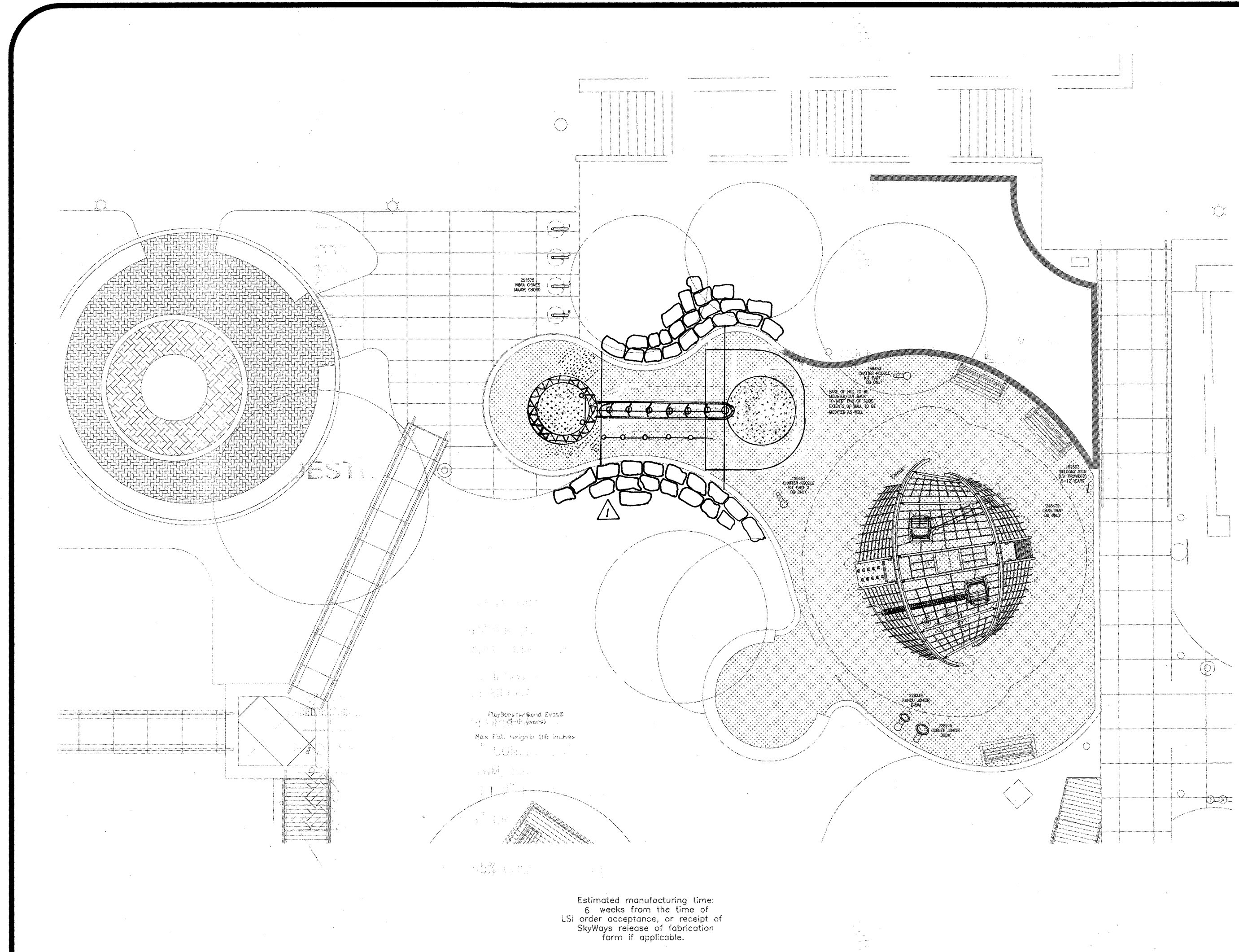
HOWARD COUNTY, MARYLAND

0' 5' 10' 20' 30'

LS-101

ELECTION DISTRICT No. 5

SDP 19-037



STY. POST/ARCH LENSURE
2 A 84"Steel Post, 28"

landscape structures

IPEMA CERTIFIED

The play components identified on this plan are IPEMA certified. (Unless model number is provided add "1" to the end and type of these components conform to the requirements of ASTM F1487. To verify product certification, visit www.ipema.org

THIS PLAY AREA & PLAY EQUIPMENT IS DESIGNED FOR AGES 5-12 YEARS UNLESS OTHERWISE NOTED ON PLAN.

IT IS THE MANUFACTURER'S OPINION THAT THIS PLAY AREA DOES CONFORM TO THE A.D.A. ACCESSIBILITY STANDARDS, ASSUMING AN ACCESSIBLE PROTECTIVE SURFACING IS PROVIDED, AS INDICATED, OR WITHIN THE PLANNED USE ZONE.

THE CONCEPTUAL PLAN IS BASED ON INFORMATION AVAILABLE TO US PRIOR TO CONSTRUCTION. DETAIL SITE INFORMATION INCLUDING SITE DIMENSIONS, TOPOGRAPHY, EXISTING UTILITIES, SOIL CONDITIONS, AND DRAINAGE SOLUTIONS SHOULD BE OBTAINED, EVALUATED, & UTILIZED IN THE FINAL DESIGN. PLEASE VERIFY ALL DIMENSIONS OF PLAY AREA, SIZE, ORIENTATION, AND LOCATION OF ALL EXISTING UTILITIES, EQUIPMENT, AND SITE SURFACING PRIOR TO CONSTRUCTION. SIZES SHOULD NOT EXCEED THE NOTED ATTACHED SIZE.

CHOOSE A PROTECTIVE SURFACING MATERIAL THAT HAS A CRITICAL HEIGHT VALUE TO MEET THE MAXIMUM FALL HEIGHT FOR THE EQUIPMENT (SEE NEW FIBER STRONGER CONSUMER SAFETY PERFORMANCE SPECIFICATION FOR PLAYGROUND EQUIPMENT FOR PUBLIC USE, SECTION 6 CURRENT EDITION). THE SURFACING MUST BE WELL DRAINED. IF THE SOIL DOES NOT DRAIN NATURALLY IT MUST BE TILED OR SLOPED 1/4" TO 1/4" PER FOOT TO A STORM DRAIN OR A TRENCH DRAIN.

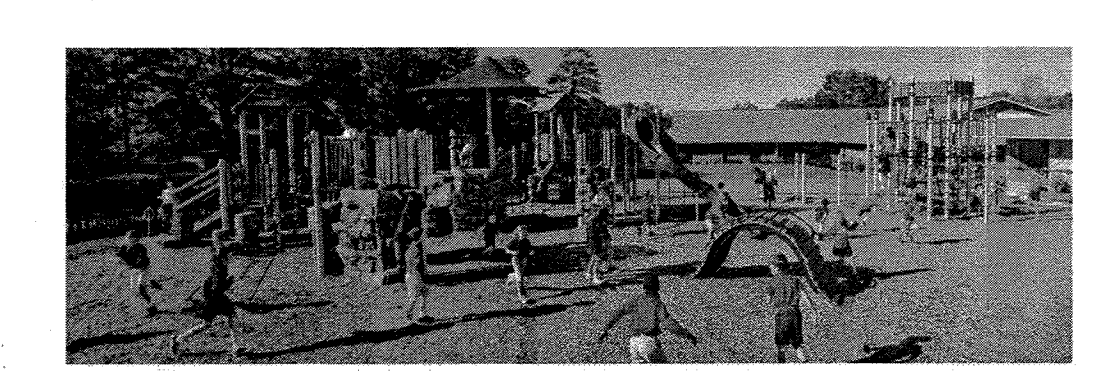
AREA OF ACCESSIBLE/PROTECTIVE SURFACING (POURED-IN-PLACE SUGGESTED)

IT IS THE MANUFACTURER'S OPINION AND INTENT THAT THE LAYOUT OF THESE COMPONENTS CONFORM WITH THE U.S. CONSUMER PRODUCT SAFETY COMMISSION'S (CPSC) "HANDBOOK FOR PUBLIC PLAYGROUND SAFETY".

DESIGNED BY: **landscape structures**

SO
COPYRIGHT © 2019
LANDSCAPE STRUCTURES, INC.
601 7th STREET SOUTH - P.O. BOX 198
ELAND, MINNESOTA 55328
TEL: 1-800-222-2035 FAX: 1-763-973-6091

Date: Previous Drawing # 10/16/18



2019 Play Equipment Warranty
You have our word.

All the warranties commence on date of Manufacturer's invoice. Should any failure to conform to the above express warranties appear within the applicable warranty period, Manufacturer shall, upon being notified in writing promptly after discovery of the defect and within the applicable warranty period, correct such nonconformity either by repairing any defective part or parts or by making available a replacement part within 60 days of written notification. Manufacturer shall deliver the repaired or replacement part or parts to the site free of charge, but will not be responsible for providing labor or the cost of labor for the removal of the defective part or parts, the installation of any replacement part or parts or for disposal costs of any part or parts. Replacement parts will be warranted for the balance of the original warranty.

THIS WARRANTY IS EXCLUSIVE AND IN LIEU OF ALL OTHER WARRANTIES, WHETHER EXPRESSED OR IMPLIED, INCLUDING BUT NOT LIMITED TO ANY WARRANTY OF MERCHANTABILITY OR OF FITNESS FOR A PARTICULAR PURPOSE.

The remedies hereby provided shall be the exclusive and sole remedies of the purchaser. Manufacturer shall not be liable for any direct, indirect, special, incidental or consequential damages.

Manufacturer neither assumes nor authorizes any employee, representative or any other person to assume for Manufacturer any other liability in connection with the sale or use of the structures sold, and there are no oral agreements or warranties collateral to or affecting this agreement. The warranties stated above are valid only if the structures and/or equipment are installed in accordance with Landscape Structures' installation instructions and maintained according to the maintenance procedures furnished by Landscape Structures Inc. Goods which have not been inspected for the purpose for which the goods were designed, have not been enclosed to subviewer or sold spray have not been subject to misuse, negligence, vandalism, or accident have not been subjected to addition or substitution of parts, and have not been modified, altered, or repaired by persons other than Manufacturer or Manufacturer's designees in any respect which in the judgment of Manufacturer, affects the condition or operation of the structures.

To make a claim send your written statement of claim, along with the original job number or invoice number to Landscape Structures Inc. 601 7th Street South, Delano, Minnesota, 55328-8605.

Signed: *[Signature]* President Date: 06/03/2020

SCALE IN FEET: 0' 5' 10'

Columbia Waterfront
Columbia, MD

Sparks@Play, LLC
Justin Wilson

SYSTEM TYPE: PlayBooster
DRAWING #: 1131315-03-01

ISO 14001:2015 CERTIFIED
ISO 9001:2015 CERTIFIED

SURFACE AMERICA
Resilient Surfacing from Recycled Rubber

PLAYGROUND SURFACE SYSTEM TEN YEAR WARRANTY

Scope of Warranty
Surface America, Inc. expressly warrants to the Owner that the materials supplied and installed per the purchase order agreement shall remain free from defects in workmanship and materials for a period of ten (10) years from the date of this Warranty.

This Warranty shall be pro-rated as follows:

- If at any time in years 1-5 of the Warranty a Warranty claim is made and determined to be valid, Surface America shall repair or replace the affected area without cost to the Owner.
- If a Warranty claim is made and determined to be valid in year 6 of the Warranty, Surface America shall repair or replace the affected area at a cost to the Owner of 20% of the repair cost.
- If a Warranty claim is made and determined to be valid in year 7 of the Warranty, Surface America shall repair or replace the affected area at a cost to the Owner of 40% of the repair cost.
- If a Warranty claim is made and determined to be valid in year 8 of the Warranty, Surface America shall repair or replace the affected area at a cost to the Owner of 60% of the repair cost.
- If a Warranty claim is made and determined to be valid in year 9-10 of the Warranty, Surface America shall repair or replace the affected area at a cost to the Owner of 80% of the repair cost.

Surface America, Inc. expressly warrants that if the surface is used as a playground it shall remain at or below 1000 IHC and 200 GMAX as tested in accordance with ASTM F1292 for a period of three (3) years from the date of this Warranty.

- Any repairs/replacements which are necessary as a result of the failure of the system to maintain 1000 IHC and 200 GMAX shall be covered for a period of three (3) years from the date of this Warranty.

Owner's Compliance with Maintenance Manual
The Warranties stated above are subject to and conditioned upon the Owner's compliance with Surface America, Inc.'s maintenance procedures.

Exclusions from Warranties
The Warranties stated above exclude damage due to:

- Improper or faulty subsurface preparation
- Shrinkage (which is an inherent characteristic of elastic rubber)
- Normal wear and tear
- Slight color variations

WARRANTY CLAIMS PROCEDURE

All warranty claims must be made in writing and sent with photographs to Surface America, Inc., at the address listed below, within thirty (30) days after Owner has or should have knowledge of the alleged defect. Within a reasonable time of receipt of notice, Surface America, Inc. shall have the opportunity to inspect the site and investigate the affected area, including the right to take any photographs and/or tests of the area. Any repair or replacement work performed by a party other than Surface America, Inc. shall invalidate this Warranty and terminate any further obligation of Surface America, Inc.

Limitations and Exclusions of Warranties/Remedy

If an area of the surface is determined to be covered by this Warranty, Surface America, Inc.'s obligations under this Warranty shall be to repair or replace the area. The remedy of repair or replacement shall be the Owner's sole and exclusive remedy. Except in the case of personal injury, Surface America, Inc. shall not be liable for consequential damages. In no event shall Surface America, Inc. be liable for incidental or punitive damages.

This Warranty shall be of no force and effect if Surface America, Inc. is not paid in full for the System and Surface America, Inc.'s obligations under this Warranty are expressly contingent upon Surface America, Inc. being paid in full for the System. Surface America, Inc. must be paid at least 90% of its contract balance within one hundred twenty (120) days of the substantial completion of its work and fully paid within one year of the substantial completion of the work, or when the retainage is due by Contract. In the event that repairs are required which would otherwise be covered under the Warranty but for non-payment, Surface America, Inc. and the Owner may mutually agree that Surface America, Inc. shall perform such repairs on a pre-pay basis.

NO OTHER WARRANTIES OR REPRESENTATIONS, EXPRESS OR IMPLIED AS TO MERCHANTABILITY OR FITNESS FOR A PARTICULAR PURPOSE OR OTHERWISE ARE MADE AND ALL OTHER WARRANTIES EXCEPT AS EXPRESSLY STATED HEREIN ARE DISCLAIMED.

This Warranty is issued by Surface America, Inc. in the State of New York and shall be governed by and interpreted in accordance with the laws of the State of New York.

DATE: 06/03/2020
SIGNATURE: *[Signature]*
on behalf of SURFACE AMERICA, INC.

PROJECT: *[Project Name]*

RD Box 157, Williamsville, New York 14221
Toll Free 800.999.0555 • Phone 716.632.8413 • Fax 716.632.8324
Web Site: www.surface.com • Email: info@surface.com
"Master in Recreational Surfacing"

1 PLAYGROUND ENLARGEMENT
1" = 10'

APPROVED
PLANNING BOARD OF HOWARD COUNTY
Date: May 16, 2019

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
[Signature] 8-29-19
Director Date
[Signature] 2/29/19
Chief, Division of Land Development Date
[Signature] 8-19-19
Chief, Development Engineering Division Date

PREFERRED VENDOR:
SPARKS AT PLAY
CONTACT: JUSTIN WILSON
443.898.6253

Design Collective
ARCHITECTURE PLANNING INTERIORS
601 East Park Street, Suite 300
Baltimore, Maryland 21202
P: 410.988.8668 • www.designcollective.com

DES.	DRN.	CHK.	DATE	REVISION	BY	APPR.
			2019-01-07	SLIDE ELONGATED; ROPE PULL ADDED	HKJ	MJT

PREPARED FOR:
ACB PARKING BUSINESS TRUST
c/o THE HOWARD RESEARCH
AND DEVELOPMENT CORP.
10480 LITTLE PATUXENT PARKWAY
COLUMBIA, MARYLAND 21044
CONTACT: CAROL DOONEY

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By: Matt D'Amico, PLA
Design Collective, Inc.

2 WARRANTY INFORMATION
N.T.S.

PLAYGROUND ENLARGEMENT
PUBLIC DOWNTOWN NEIGHBORHOOD SQUARE
DOWNTOWN COLUMBIA
LAKEFRONT CORE
OPEN SPACE LOT 1
PLAT No. 25127

ELECTION DISTRICT No. 5

NO ASBUILT INFORMATION
07/09/2020

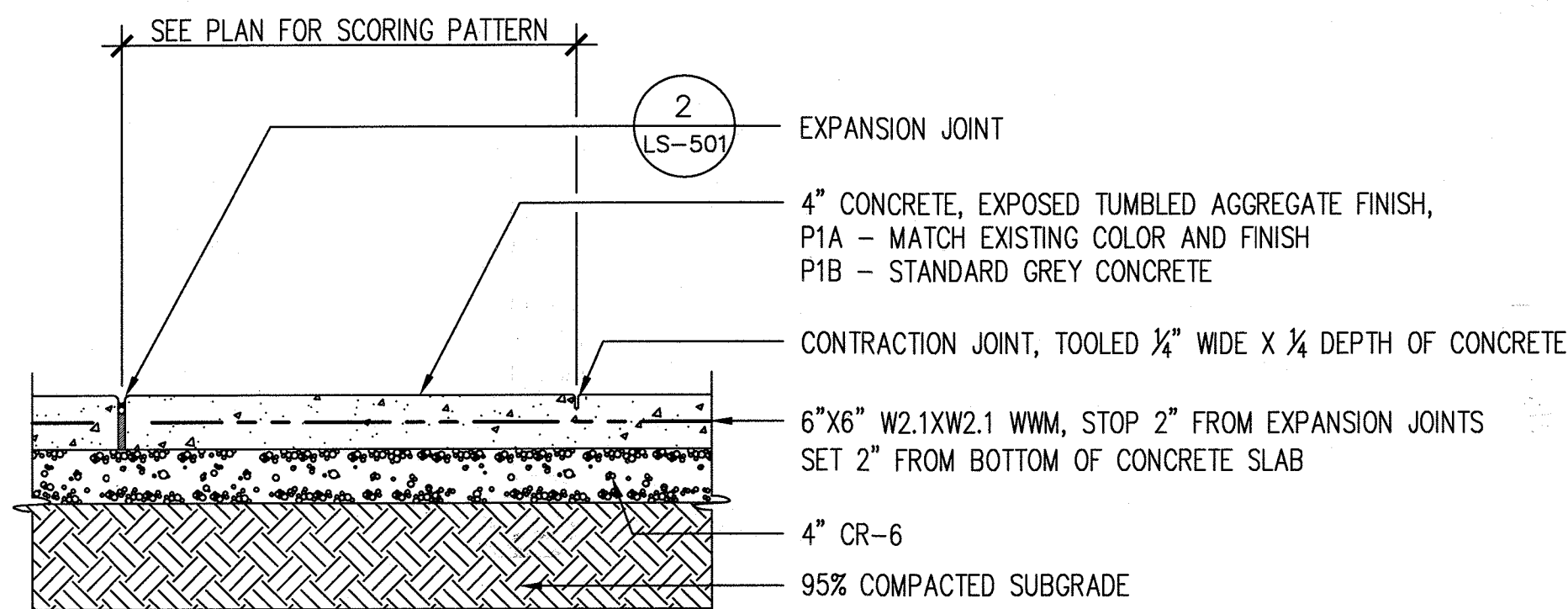
SCALE: AS SHOWN
ZONING: NT
FILE No.: 18050

DATE: JULY, 2019
TAX MAP - GRID: 36 - 2
SHEET: 12 OF 25

HOWARD COUNTY, MARYLAND

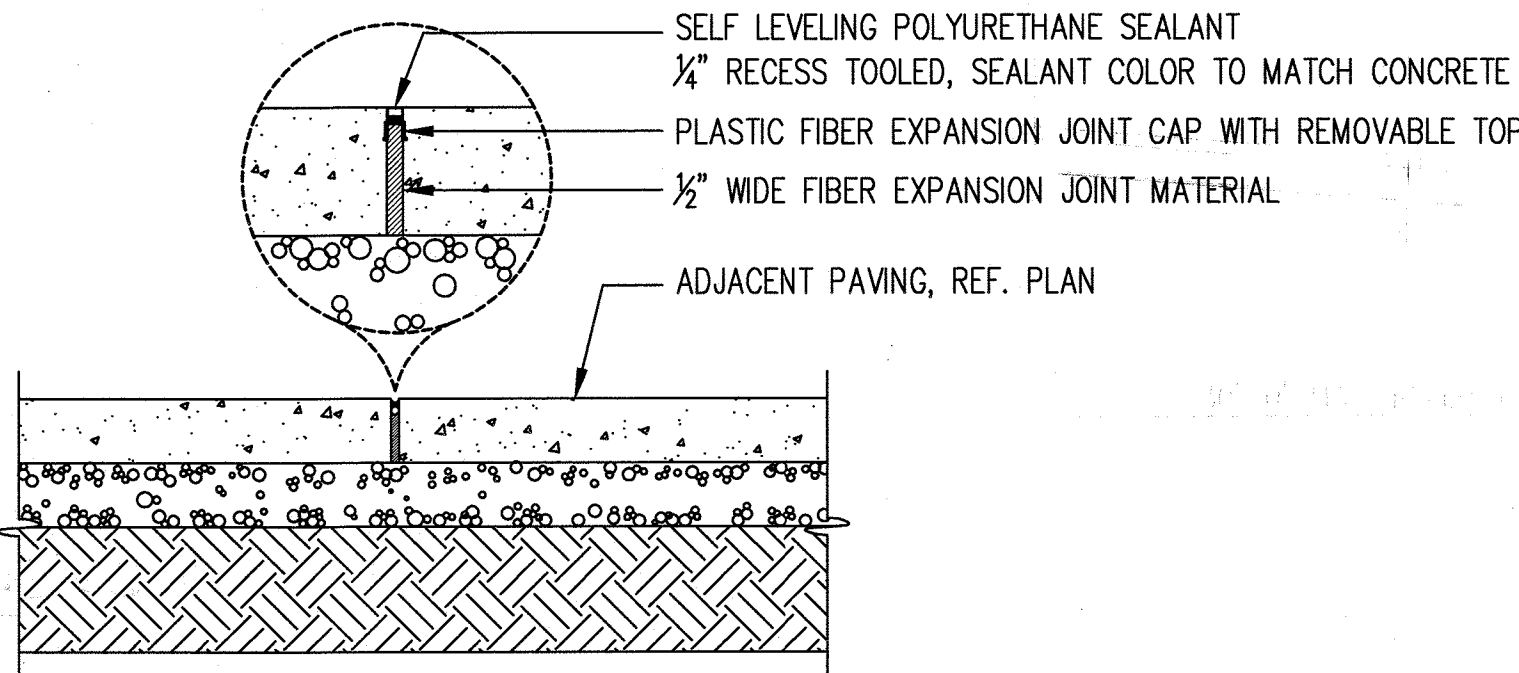
LS-403

SDP 19-037

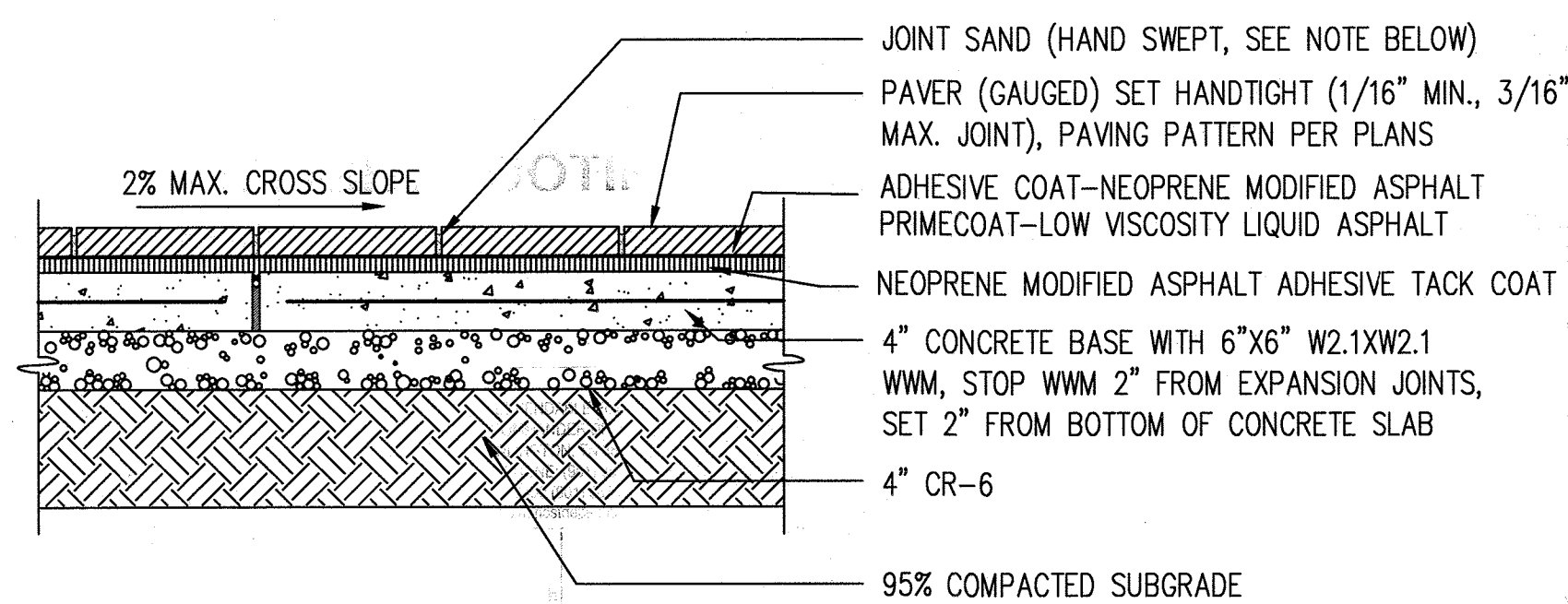


1 CONCRETE - PEDESTRIAN
1" = 1'-0"

NOTE: PROVIDE 4' SQ. MOCK UP IN THE FIELD (HALF OF MOCK UP W FINISH 1A AND OTHER HALF OF 1B. SEE PLAN FOR MOCK UP LOCATION.



2 EXPANSION JOINT
1" = 1'-0"



3 CONCRETE UNIT PAVERS
1" = 1'-0"

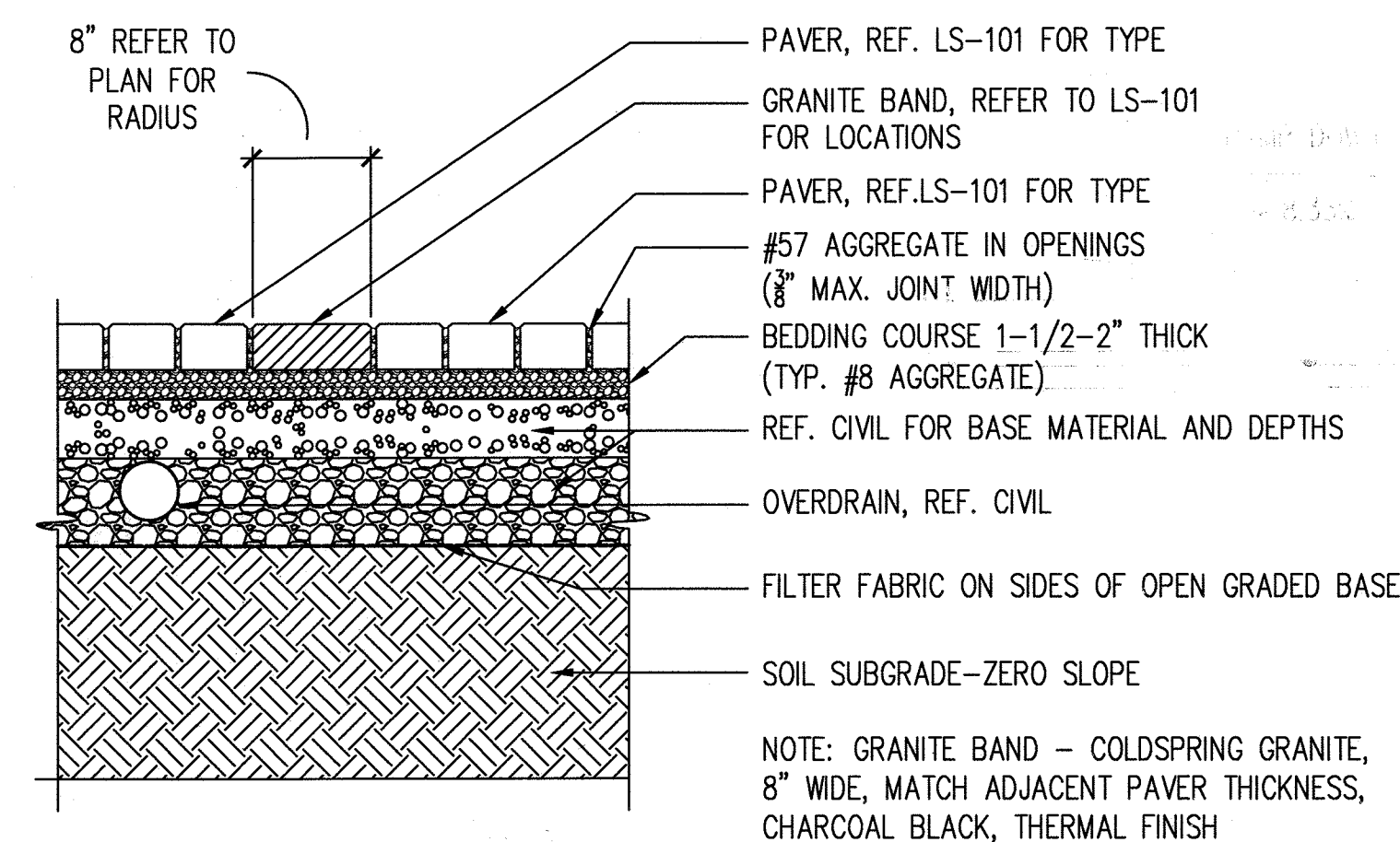
CONCRETE MIX PROPERTIES

A. ELEMENT (NORMAL WEIGHT UNO)	28-DAY STRENGTH	W/C MAX(b)	AIR CONTENT (a)
ALL CONCRETE	4,000 PSI	0.50	6% +/- 1.5

PUMP MIXES: MAXIMUM WATER/CEMENT (W/C) RATIO MUST BE MAINTAINED. IF ADDITIONAL WORKABILITY IS REQUIRED FOR PUMPED PLACEMENT, THE HIGH OR MID-RANGE WATER REDUCERS SHALL BE USED IN LIEU OF ADDITIONAL WATER.

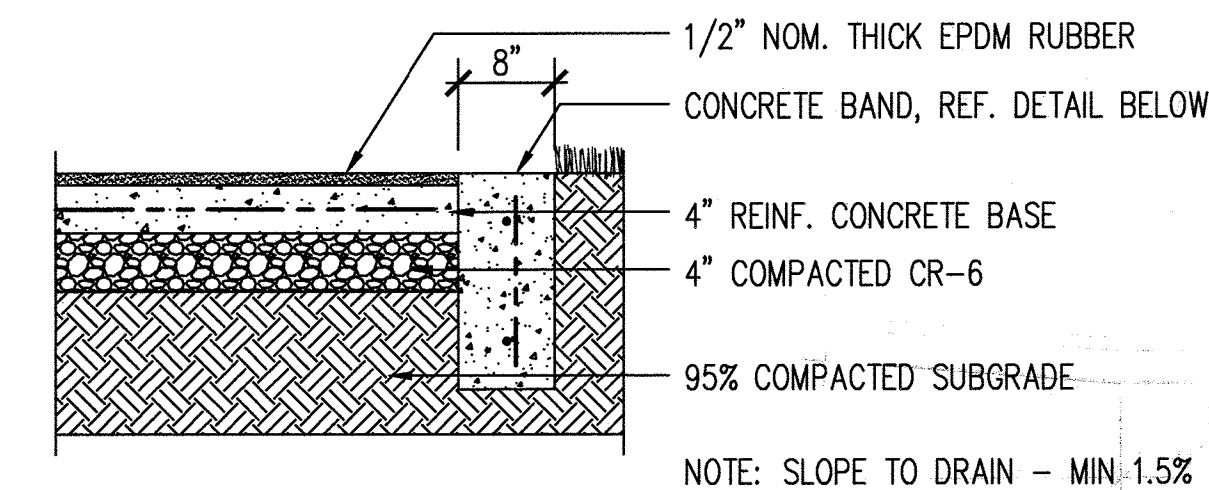
- B. PORTLAND CEMENT: ASTM C150, TYPE II
- C. CEMENT SUBSTITUTES: ASTM C595, TYPE LS (LIMIT TO 50% MAX OF CEMENTITIOUS CONTENT BY WEIGHT)
- D. AGGREGATES/DENSITY: ASTM C33 / 145 PCF - NORMAL WEIGHT
- E. AIR-ENTRAINMENT: ASTM C260
- F. HYDROPHOBIC ADMIXTURE: HYCRETE SYSTEM W, AS MANUFACTURED BY HYCRETE, INC.

6 CONCRETE MIX PROPERTIES
N.T.S.

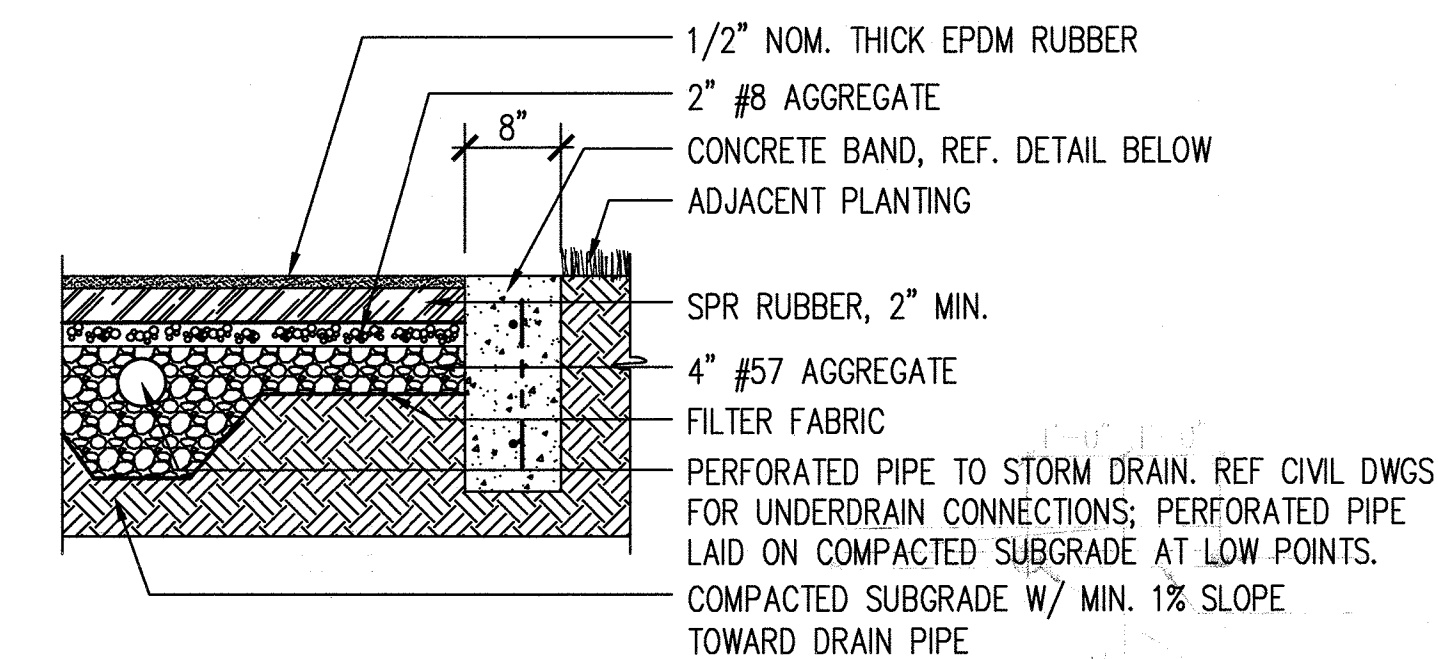


4 PERMEABLE PAVERS
1" = 1'-0"

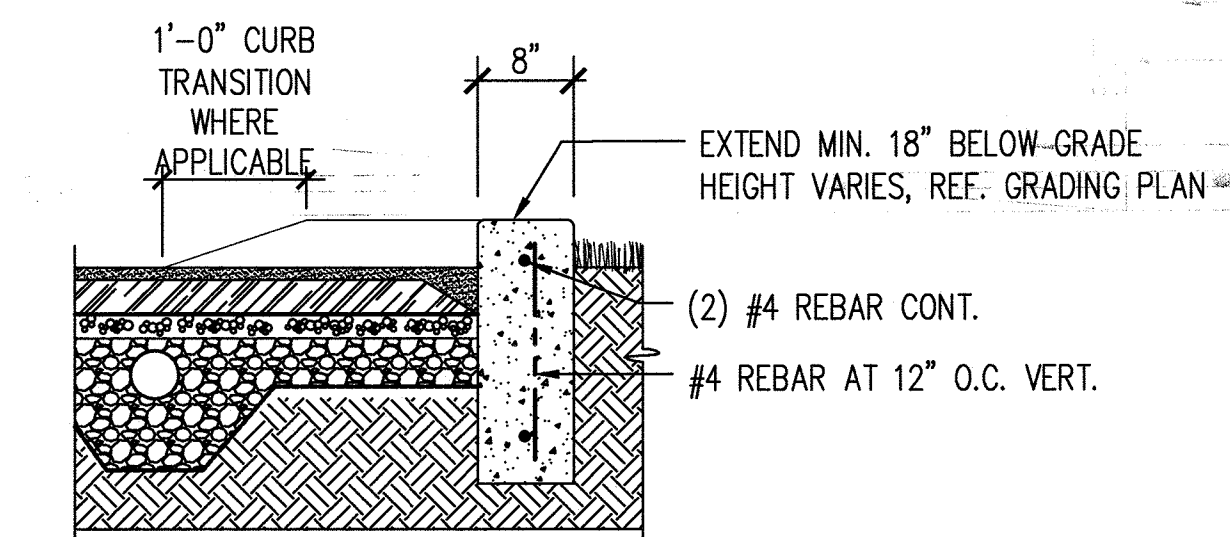
NOTE: GRANITE BAND - COLDSRING GRANITE, 8" WIDE, MATCH ADJACENT PAVER THICKNESS, CHARCOAL BLACK, THERMAL FINISH



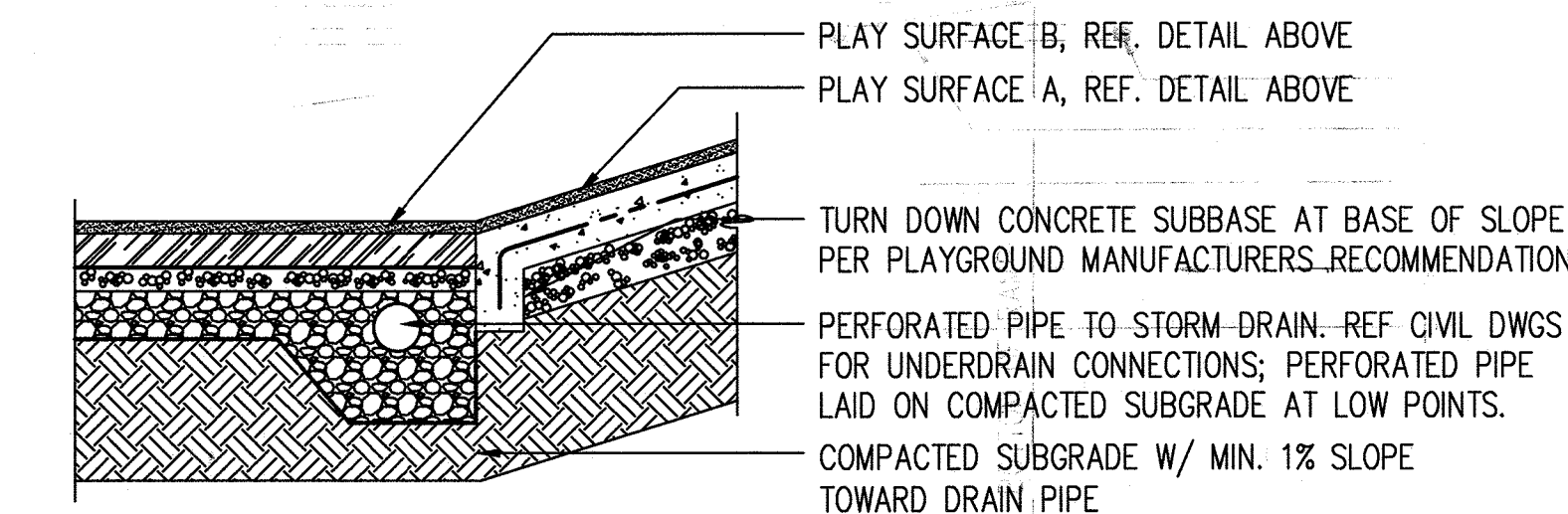
SAFETY SURFACE A



SAFETY SURFACE B



CONCRETE BAND/CURB AT SAFETY SURFACE



SAFETY SURFACE TRANSITION

- SAFETY SURFACE NOTES:
1. IMPACT LAYER SBR RUBBER DEPTH VARIES, AND IS BASED ON CFH (CRITICAL FALL HEIGHT) OF PLAY EQUIPMENT.
 2. EPDM BONDED RUBBER MULCH SURFACING CORRESPONDS TO SLOPE OF SUB-GRADE.
 3. SUFFICIENT CURE TIME MUST BE ALLOWED FOR IMPACT COURSE LAYER
 4. PLAYGROUND SURFACE SHALL MEET OR EXCEED CONSUMER PRODUCT SAFETY COMMISSION GUIDELINES FOR IMPACT ATTENUATION.
 5. COLOR SELECTIONS ARE INTENDED AS BASIS OF DESIGN. LANDSCAPE ARCHITECT AND HOWARD COUNTY DEPARTMENT OF RECREATION AND PARKS STAFF TO REVIEW AND APPROVE SUBMITTAL.
 6. REFER TO PLANS FOR EXTENTS OF FLUSH AND EXTENDED CURB SECTIONS.

5 RUBBER SAFETY SURFACE
3/4" = 1'-0"

APPROVED
PLANNING BOARD OF HOWARD COUNTY
Date: May 16, 2019

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

William J. Miller 8-29-19
Director Date

Keith D. Dool 8/29/19
Chief, Division of Land Development Date

Allen 8-29-19
Chief, Development Engineering Division Date

Design Collective

ARCHITECTURE PLANNING INTERIORS
LANDSCAPE ARCHITECTURE INTERIORS

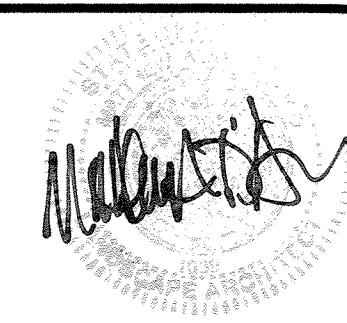
DES. DRN. CHK.

DATE REVISION BY APPR.

PREPARED FOR:

ACB PARKING BUSINESS TRUST
c/o THE HOWARD RESEARCH
AND DEVELOPMENT CORP.
10480 LITTLE PATUXENT PARKWAY
COLUMBIA, MARYLAND 21044
CONTACT: CAROL DOONEY

"I certify that these documents were prepared or approved by me, and that I am a duly licensed landscape architect under the laws of the State of Maryland, License No. 1039, expiration date 06/12/2020"
By: Matt D'Amico, PLA
Design Collective, Inc.



PAVING DETAILS

PUBLIC DOWNTOWN NEIGHBORHOOD SQUARE
DOWNTOWN COLUMBIA
LAKEFRONT CORE
OPEN SPACE LOT 1
PLAT No. **26127**

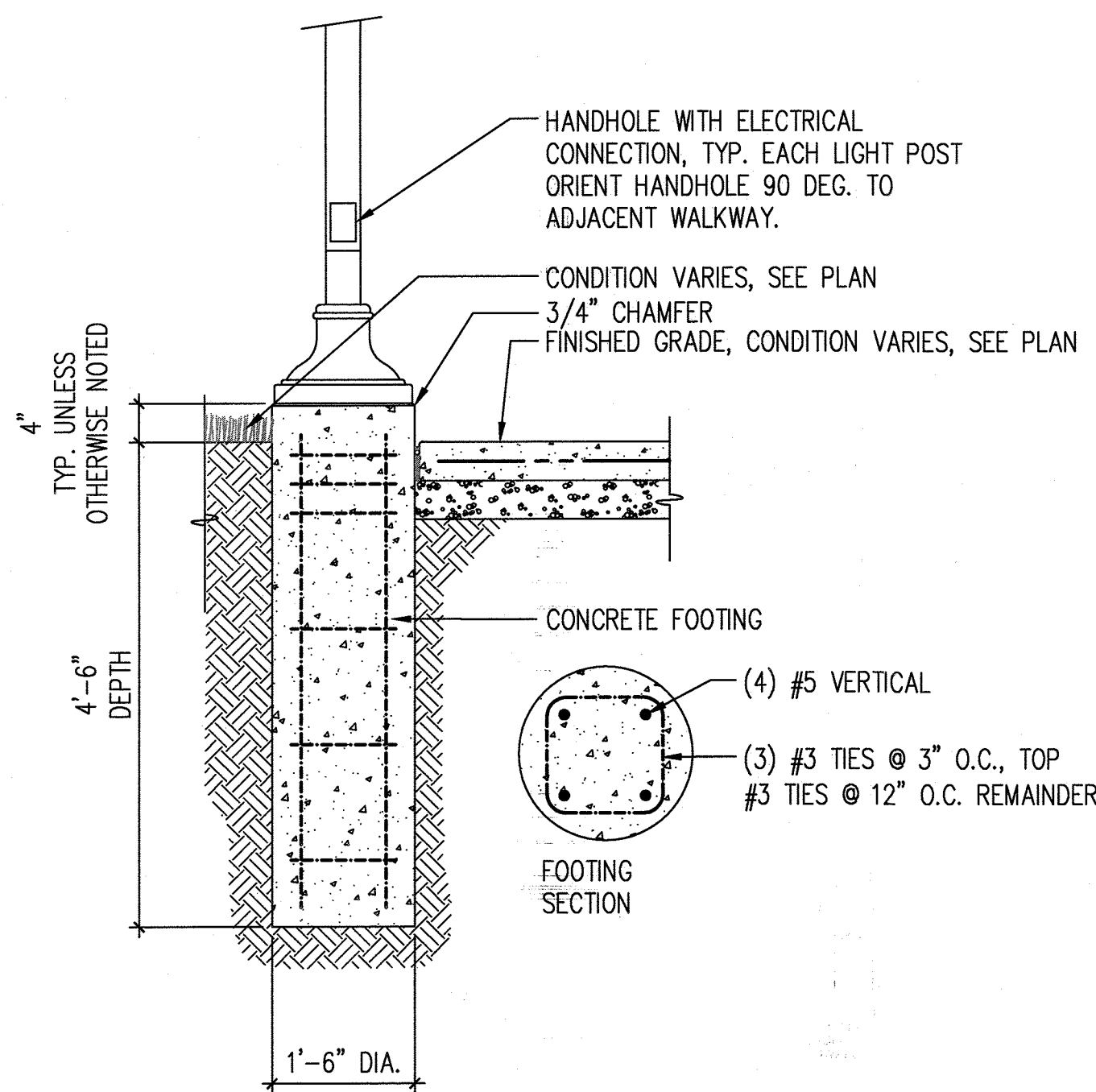
NO ASBUILT INFORMATION
07/09/2020

SCALE	ZONING	FILE No.
AS SHOWN	NT	18050
DATE	TAX MAP - GRID	SHEET
JULY, 2019	36 - 2	13 OF 25

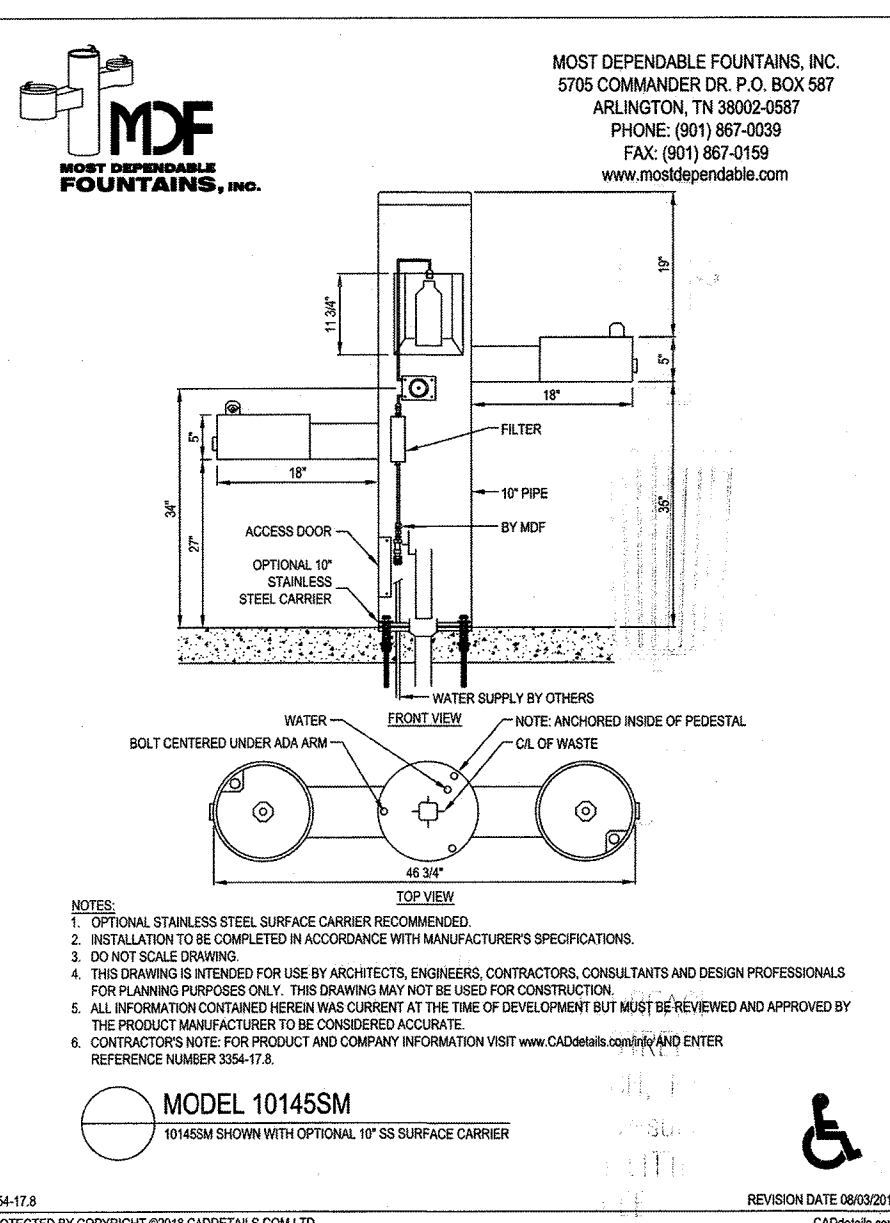
LS-501

ELECTION DISTRICT No. 5

HOWARD COUNTY, MARYLAND



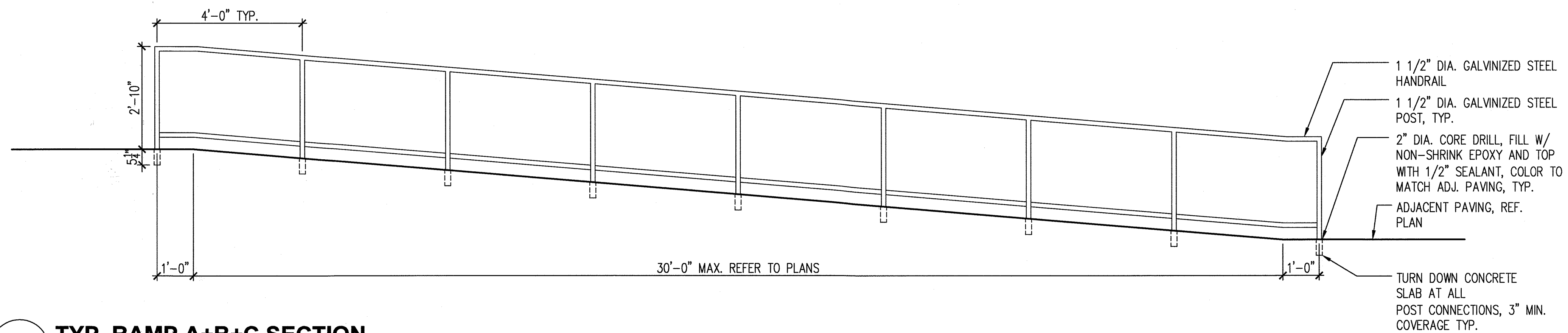
1 POLE LIGHT FOOTING
3/4" = 1'-0"



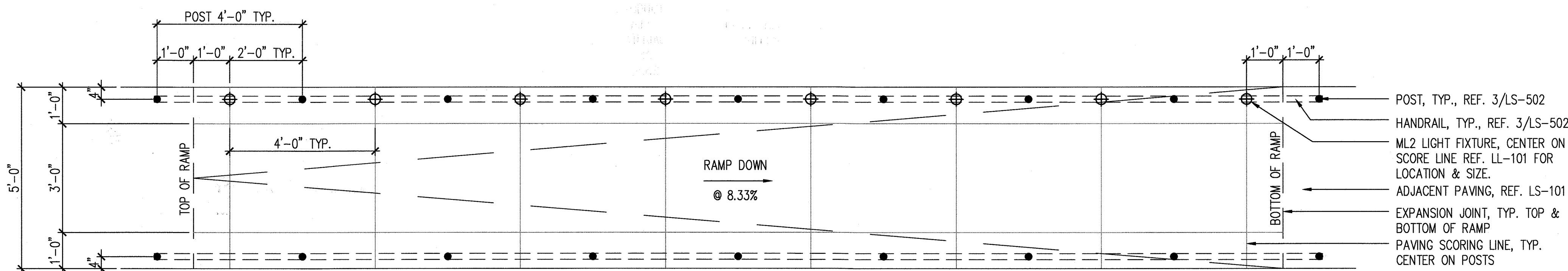
PRODUCT INFORMATION
 MOST DEPENDABLE FOUNTAINS
 5705 COMMANDER DRIVE
 ARLINGTON, TN 38002
 www.mostdependable.com
 PRODUCT: (MODEL# 1014S SM)
 SIZE: N/A
 COLOR: TBD
 OPTIONS: PET FOUNTAIN, HOSE BIB WITH LOCKABLE DOOR

NOTE: NOT IN CONTRACT - FOR COORDINATION PURPOSES IN PROVIDING WATER CONNECTION ONLY

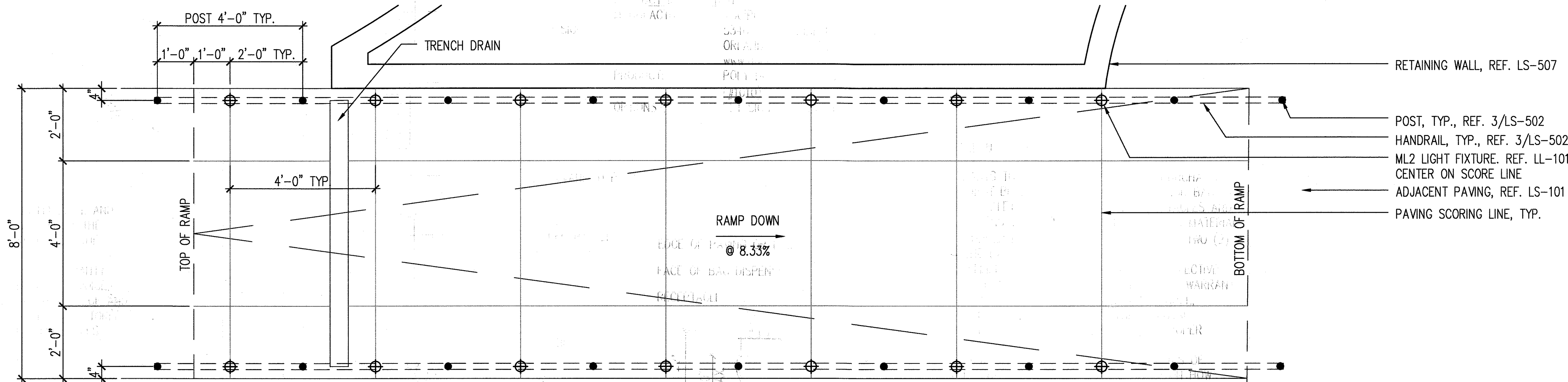
2 WATER FOUNTAIN
N.T.S.



3 TYP. RAMP A+B+C SECTION
1/2" = 1'-0"



4 TYP. RAMP A+B PLAN
1/2" = 1'-0"



5 TYP. RAMP C PLAN
1/2" = 1'-0"

APPROVED
 PLANNING BOARD OF HOWARD COUNTY

Date: May 16, 2019

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

Walter D'Amico 8-29-19
 Director Date
Scott Seidman 8-29-19
 Chief, Division of Land Development Date
Chad 8-19-19
 Chief, Development Engineering Division Date

Design Collective

624 Oak Park Street, Suite 300
 Baltimore, Maryland 21202
 P: 410-988-6858 www.designcollective.com

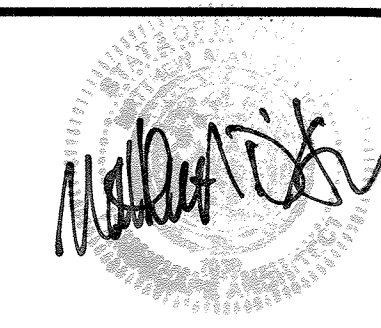
DES. DRN. CHK.

DATE REVISION BY APPR.

PREPARED FOR:

ACB PARKING BUSINESS TRUST
 c/o THE HOWARD RESEARCH
 AND DEVELOPMENT CORP.
 10480 LITTLE PATUXENT PARKWAY
 COLUMBIA, MARYLAND 21044
 CONTACT: CAROL DOONEY

"I certify that these documents were prepared or approved by me, and that I am a duly licensed landscape architect under the laws of the State of Maryland, License No. 1039, expiration date 06/12/2020"
 By: *Matt D'Amico*, PLA
 Design Collective, Inc.



HARDSCAPE DETAILS

PUBLIC DOWNTOWN NEIGHBORHOOD SQUARE
 DOWNTOWN COLUMBIA
 LAKEFRONT CORE
 OPEN SPACE LOT 1
 PLAT No. 25127

NO ASBUILT INFORMATION
 07/07/2020

SCALE AS SHOWN	ZONING NT	FILE No. 18050
DATE JULY, 2019	TAX MAP - GRID 36 - 2	SHEET 14 OF 25

LS-502

ELECTION DISTRICT No. 5

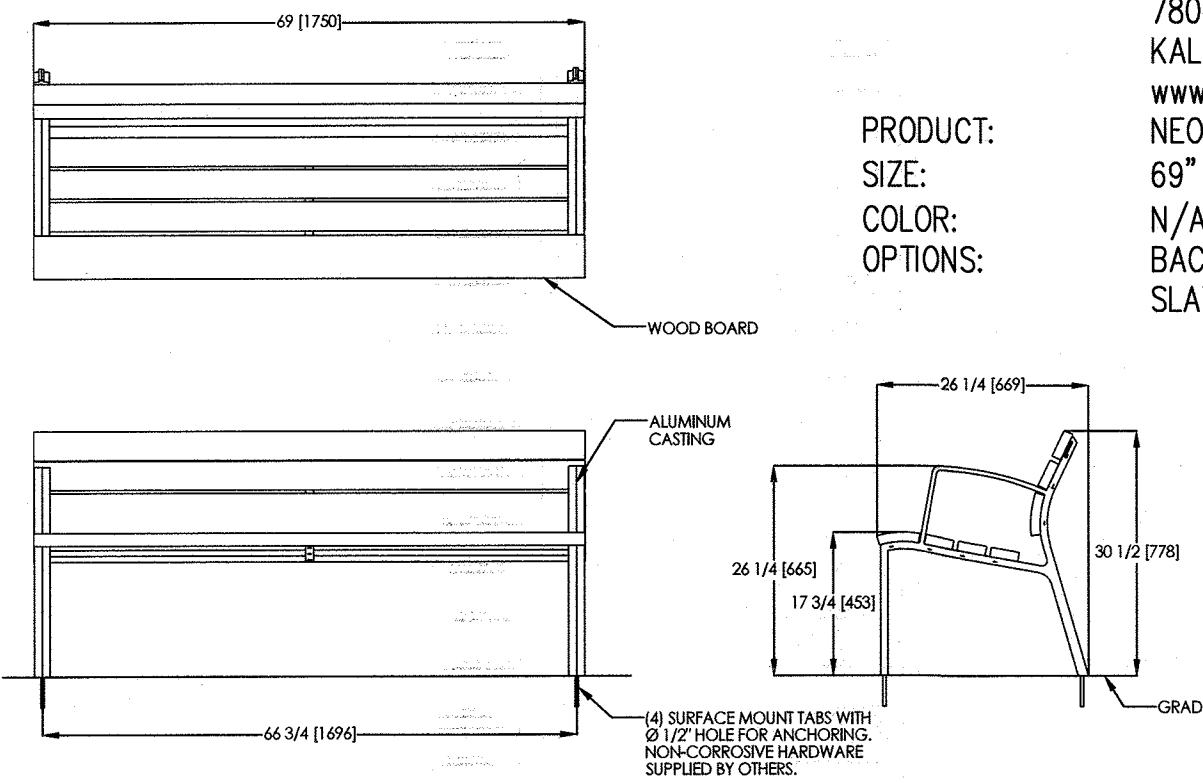
HOWARD COUNTY, MARYLAND

LANDSCAPE FORMS WARRANTY INFORMATION (SEE LS-101 - MATERIALS PLAN FOR ADDITIONAL FURNISHINGS)

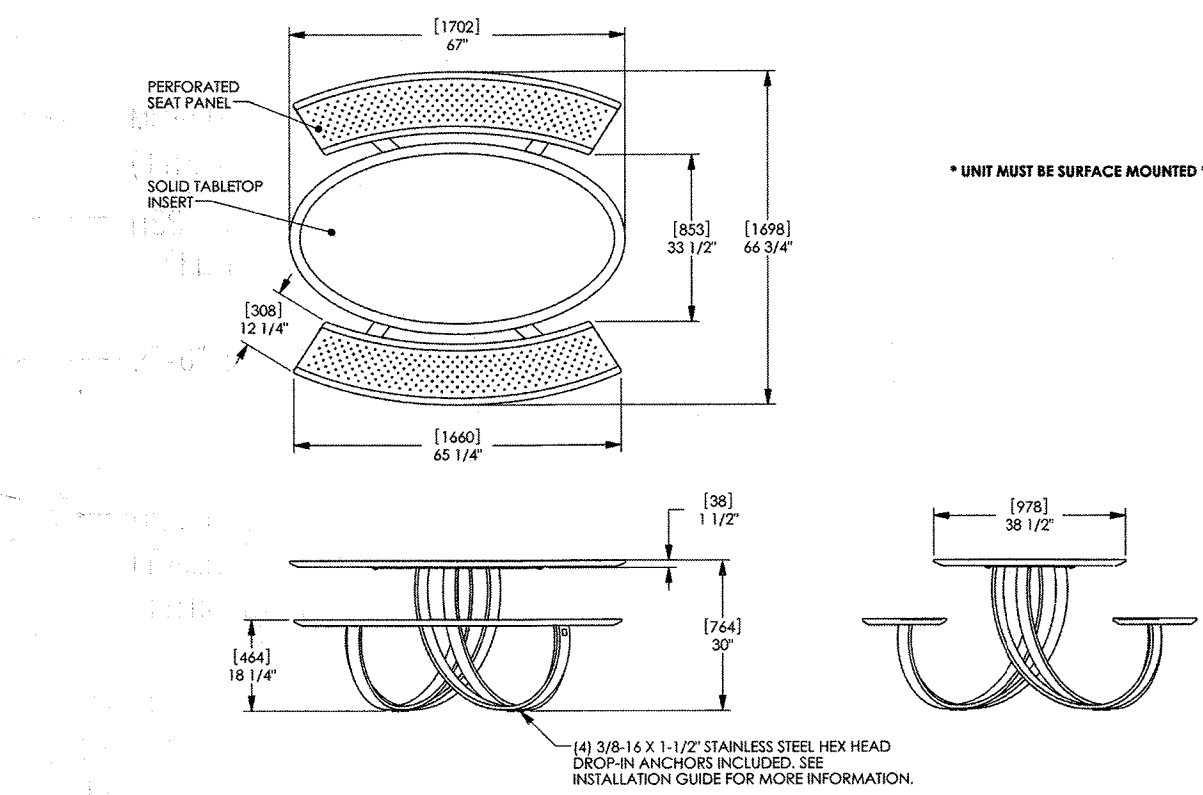
- PRODUCTS WILL BE FREE FROM DEFECTS IN MATERIAL AND/OR WORKMANSHIP FOR A PERIOD OF THREE YEARS FROM THE DATE OF INVOICE.
- THE WARRANTY DOES NOT APPLY TO DAMAGE RESULTING FROM ACCIDENT, ALTERATION, MISUSE, TAMPERING, NEGLIGENCE, OR ABUSE.
- LANDSCAPE FORMS, INC. SHALL, AT ITS OPTION, REPAIR, REPLACE, OR REFUND THE PURCHASE PRICE OF ANY ITEMS FOUND DEFECTIVE UPON INSPECTION BY AN AUTHORIZED LANDSCAPE FORMS SERVICE REPRESENTATIVE.
- PURCHASERS SHOULD BE AWARE THAT NORMAL USE OF THESE HIGH QUALITY PRODUCTS CAN RESULT IN SUPERFICIAL DAMAGE AFFECTING THE FINISH. SCRATCHES, NICKS, AND DENTS ARE TO BE CONSIDERED NORMAL WEAR AND TEAR, AND ARE NOT THE RESPONSIBILITY OF THE MANUFACTURER.

Neoliviano Backed Bench, 69in, Embedded, Wood
 Product Drawing
 www.landscapeforms.com
 Date: 8/10/2019
 Ph: 800.521.2546

PRODUCT INFORMATION
 MANUFACTURER: LANDSCAPE FORMS
 7800 E. MICHIGAN AVE
 KALAMAZOO, MI 49048
 www.landscapeforms.com
 NEOLIVIANO BENCH
 PRODUCT: 69"
 SIZE: N/A
 COLOR: BACKED SEAT, JARRAH WOOD
 OPTIONS: SLATS, EMBEDDED



Charlie Picnic Table, 67in, Surface Mount, No Holes
 Product Drawing
 www.landscapeforms.com
 Date: 10/10/2012
 Ph: 800.521.2546



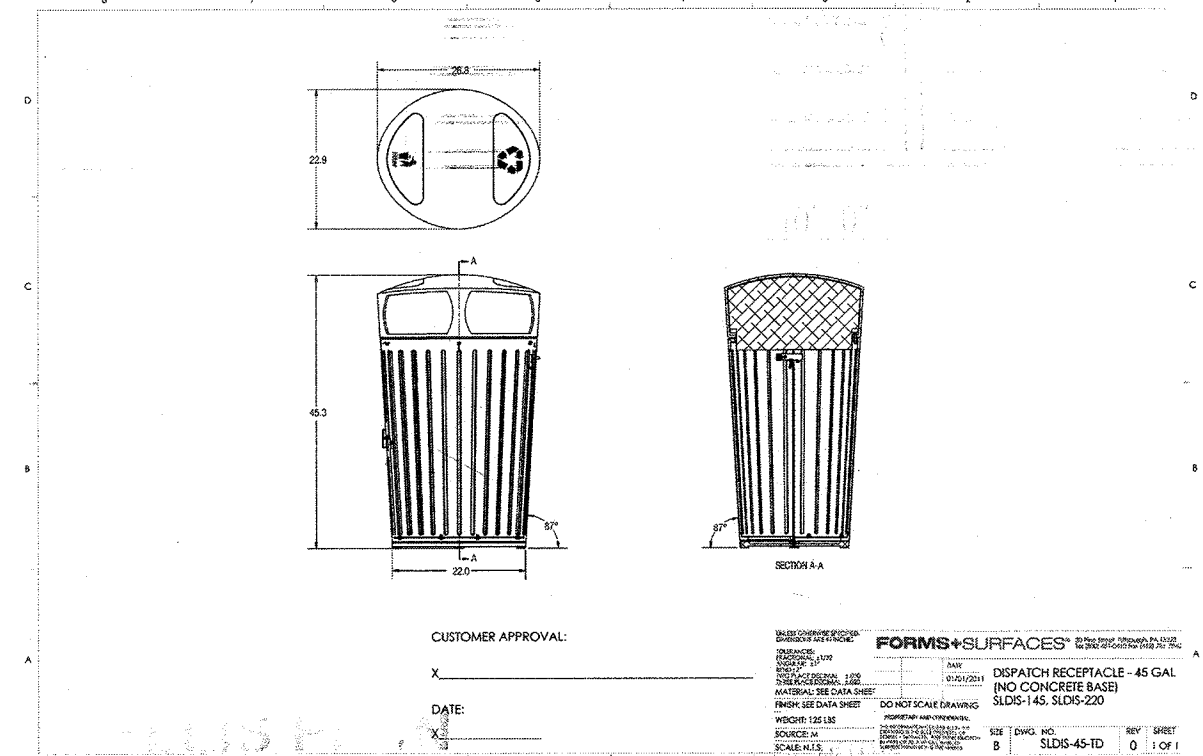
PRODUCT INFORMATION
 MANUFACTURER: LANDSCAPE FORMS
 7800 E. MICHIGAN AVE
 KALAMAZOO, MI 49048
 www.landscapeforms.com
 CHARLIE
 STYLE: DINING HEIGHT TABLE
 MATERIAL: STAINLESS STEEL
 COLOR: TBD
 OPTIONS: N/A

Drawing: NL509-02
 Dimensions are in inches [mm]
 Spanish Industrial Design 151.245
 CONFIDENTIAL DRAWING INFORMATION CONTAINED HEREIN IS THE PROPERTY OF LANDSCAPE FORMS, INC. THIS DRAWING IS NOT TO BE COPIED OR DISCLOSED TO OTHERS WITHOUT THE WRITTEN CONSENT OF LANDSCAPE FORMS, INC. ©2013 LANDSCAPE FORMS, INC. ALL RIGHTS RESERVED.

Drawing: D220-01
 Dimensions are in inches [mm]
 CONFIDENTIAL DRAWING INFORMATION CONTAINED HEREIN IS THE PROPERTY OF LANDSCAPE FORMS, INC. THIS DRAWING IS NOT TO BE COPIED OR DISCLOSED TO OTHERS WITHOUT THE WRITTEN CONSENT OF LANDSCAPE FORMS, INC. ©2013 LANDSCAPE FORMS, INC. ALL RIGHTS RESERVED.

1 BENCH
 N.T.S.

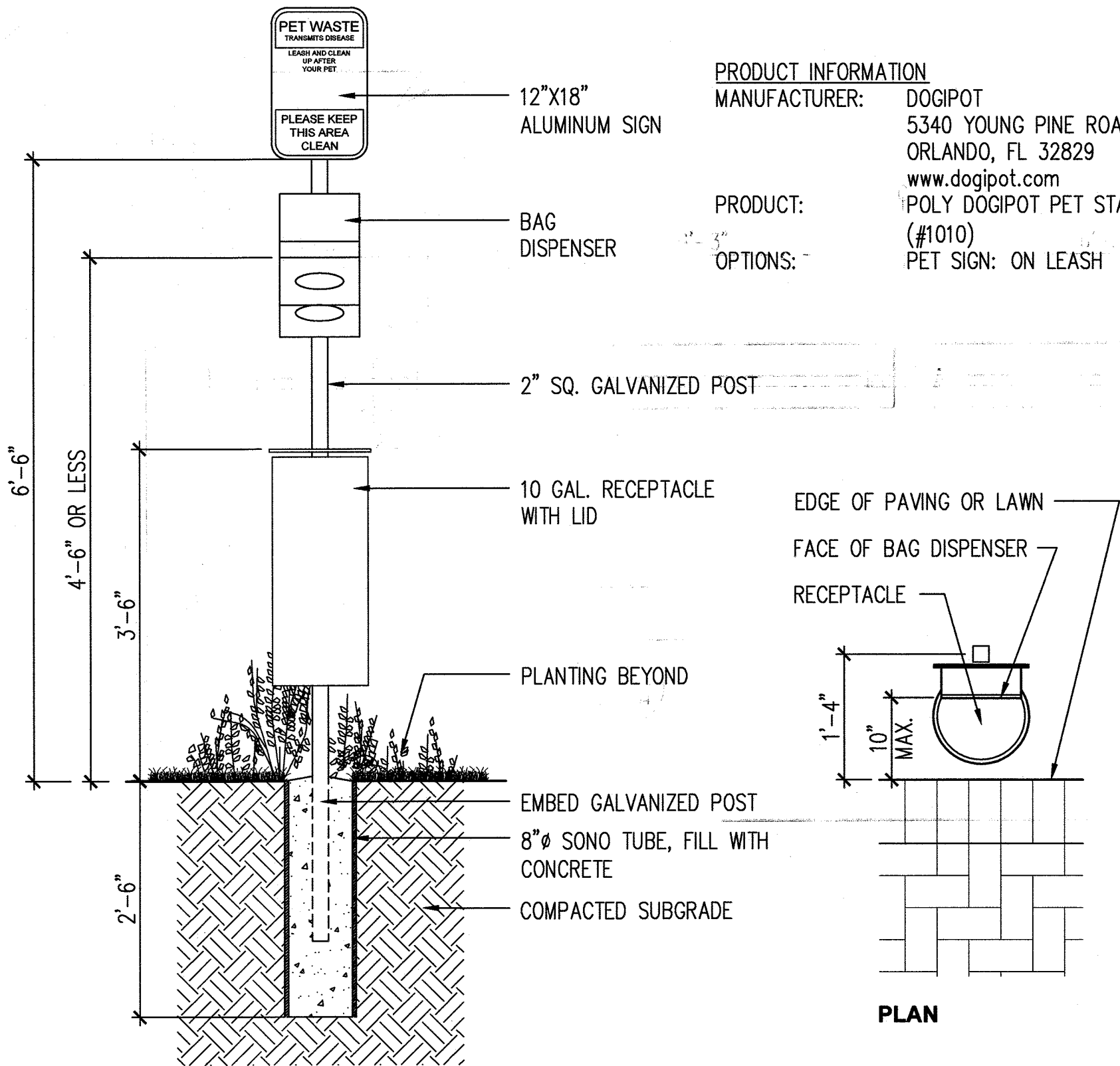
2 PICNIC TABLE
 N.T.S.



PRODUCT INFORMATION
 MANUFACTURER: FORMS+SURFACES
 30 PINE STREET
 PITTSBURGH, PA 15223
 www.forms-surfaces.com
 PRODUCT: DISPATCH LITTER & RECYCLING RECEPTACLE (MODEL# SLDIS-145)
 SIZE: 45 GALLON, SPLIT-STREAM
 COLOR: TBD
 OPTIONS: N/A

WARRANTY INFORMATION
 • PRODUCTS TO BE FREE FROM DEFECTS IN MATERIAL AND WORKMANSHIP FOR A PERIOD OF ONE YEAR FROM THE DATE OF INVOICE, UNLESS OTHERWISE STATED ON THE ORDER ACKNOWLEDGMENT.
 • SHOULD ANY FAILURE TO CONFORM TO THIS WARRANTY APPEAR WITHIN ONE YEAR AFTER THE DATE OF INVOICE, FORMS+SURFACES SHALL UPON NOTIFICATION THEREOF AND SUBSTANTIATION THAT THE PRODUCTS HAVE BEEN STORED AND APPLIED IN ACCORDANCE WITH FORMS+SURFACES FACILITY OR AT LOCATION OF THE PRODUCTS.

3 LITTER & RECYCLING RECEPTACLE
 N.T.S.



PRODUCT INFORMATION
 MANUFACTURER: DOGIPOT
 5340 YOUNG PINE ROAD SUITE 8
 ORLANDO, FL 32829
 www.dogipot.com
 PRODUCT: POLY DOGIPOT PET STATION (#1010)
 OPTIONS: PET SIGN: ON LEASH

WARRANTY INFORMATION
 • DOGIPOT WARRANTS TO THE ORIGINAL CONSUMER PURCHASER THAT OUR DOGIPOT BRAND PRODUCTS, NAMELY JUNIOR BAG DISPENSERS, DOGVALETS, 10 GALLON WASTE RECEPTACLES AND ALUMINUM PET SIGNS WILL BE FREE FROM DEFECTS IN MATERIAL WORKMANSHIP UNDER NORMAL USE FOR A PERIOD OF TWO (2) YEARS FROM THE DATE OF PURCHASE.
 • DOGIPOT MAY ELECT TO REPAIR OR REPLACE ANY DEFECTIVE DOGIPOT PRODUCT COVERED BY OUR WARRANTY. OUR WARRANTY DOES NOT COVER DEFLECTS CAUSED BY MISUSE, ABUSE, VANDALISM, NEGLIGENCE, ALTERATIONS, ENVIRONMENTAL CONDITIONS, EXTREME WEATHER CONDITIONS OR IMPROPER INSTALLATION, SOTRAGE AND HANDLING.
 • THIS WARRANTY IS ONLY VALID IN THE UNITED STATES OF AMERICA. SOME STATES DO NOT ALLOW LIMITATION ON HOW LONG AN IMPLIED WARRANTY LASTS OR THE EXCLUSION OF INCIDENTAL OR CONSEQUENTIAL DAMAGES, SO THE ABOVE LIMITATIONS OR EXCLUSIONS MAY NOT APPLY. THIS WARRANTY GIVES YOU SPECIFIC LEGAL RIGHTS, AND YOU MAY ALSO HAVE OTHER RIGHTS WHICH VARY FROM STATE TO STATE.
 • TO OBTAIN PERFORMANCE UNDER THIS WARRANTY, THE PURCHASER MUST CONTACT THE DOGIPOT DISTRIBUTOR AND REPORT, IN WRITING, ALL DEFECTS CLAIMED. IF YOU HAVE DIFFICULTY OBTAINING ASSISTANCE, WRITE TO: DOGIPOT, 2100 PRINCIPAL ROW, SUITE 405, ORLANDO, FL 32837 OR CALL 407.888.4627.

4 DOG STATION
 3/4" = 1'-0"

APPROVED
 PLANNING BOARD OF HOWARD COUNTY
 Date: May 16, 2019

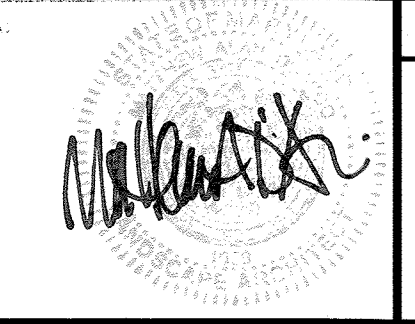
APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
 Director: Valerie J. J. J. 8-29-19
 Chief, Division of Land Development: V. J. J. 8-29-19
 Chief, Development Engineering Division: V. J. J. 8-19-19

Design Collective
 ARCHITECTURE, PLANNING, INTERIORS
 601 East Pratt Street, Suite 300
 BALTIMORE, MARYLAND 21202
 P 410.503.0255 www.designcollective.com

DES.	DRN.	CHK.	DATE	REVISION	BY	APPR.

PREPARED FOR:
 ACB PARKING BUSINESS TRUST
 c/o THE HOWARD RESEARCH
 AND DEVELOPMENT CORP.
 10480 LITTLE PATUXENT PARKWAY
 COLUMBIA, MARYLAND 21044
 CONTACT: CAROL DOONEY

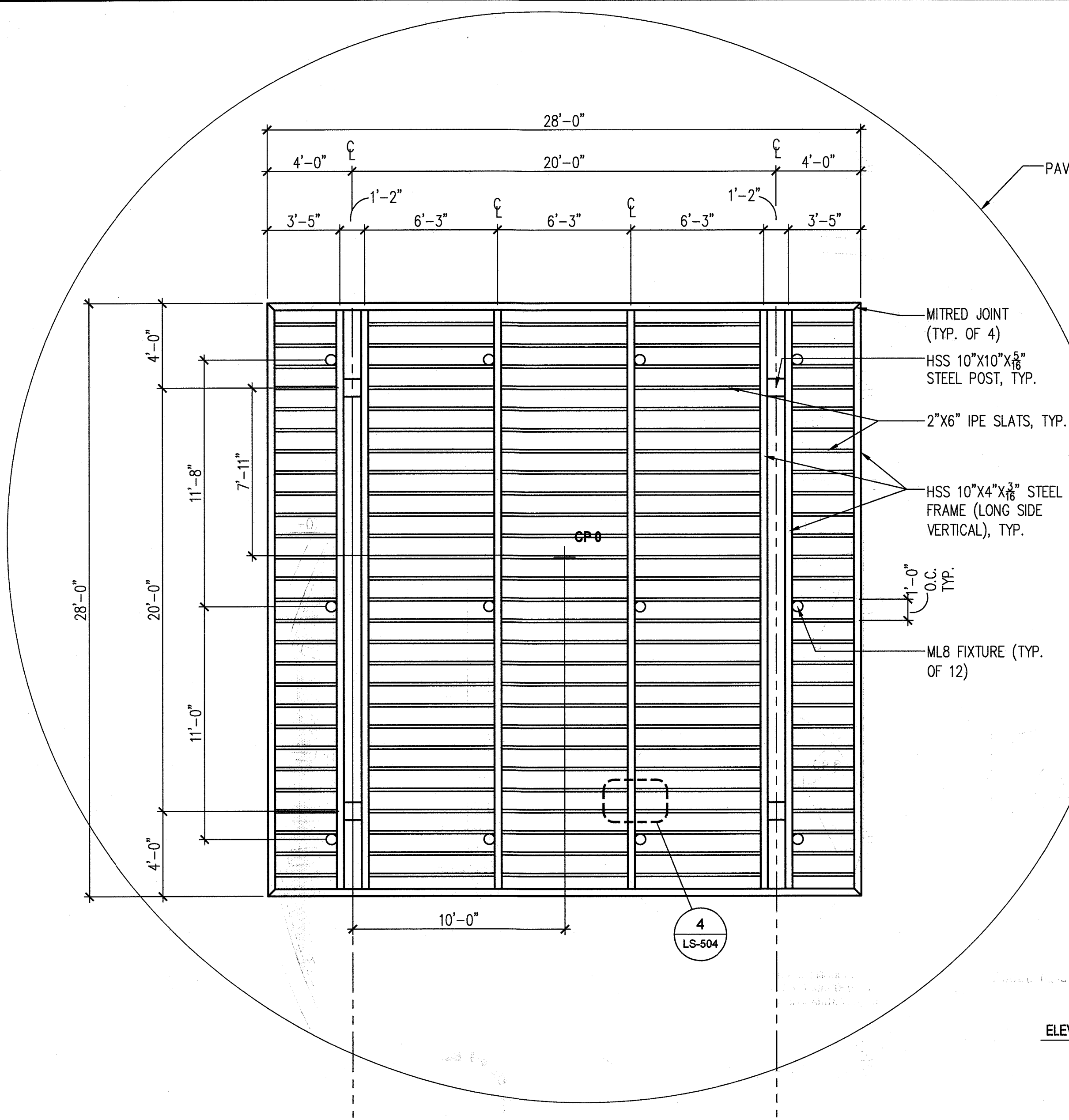
"I certify that these documents were prepared or approved by me, and that I am a duly licensed landscape architect under the laws of the State of Maryland, License No. 1039, expiration date 06/12/2020"
 By: Matt D'Amico, PLA
 Design Collective, Inc.



SITE FURNISHING DETAILS
 PUBLIC DOWNTOWN NEIGHBORHOOD SQUARE
 DOWNTOWN COLUMBIA
 LAKEFRONT CORE
 OPEN SPACE LOT 1
 PLAT No. **25127**
 ELECTION DISTRICT No. 5
 HOWARD COUNTY, MARYLAND

SCALE	ZONING	FILE No.
AS SHOWN	NT	18050
DATE	TAX MAP - GRID	SHEET
JULY, 2019	36 - 2	15 OF 25

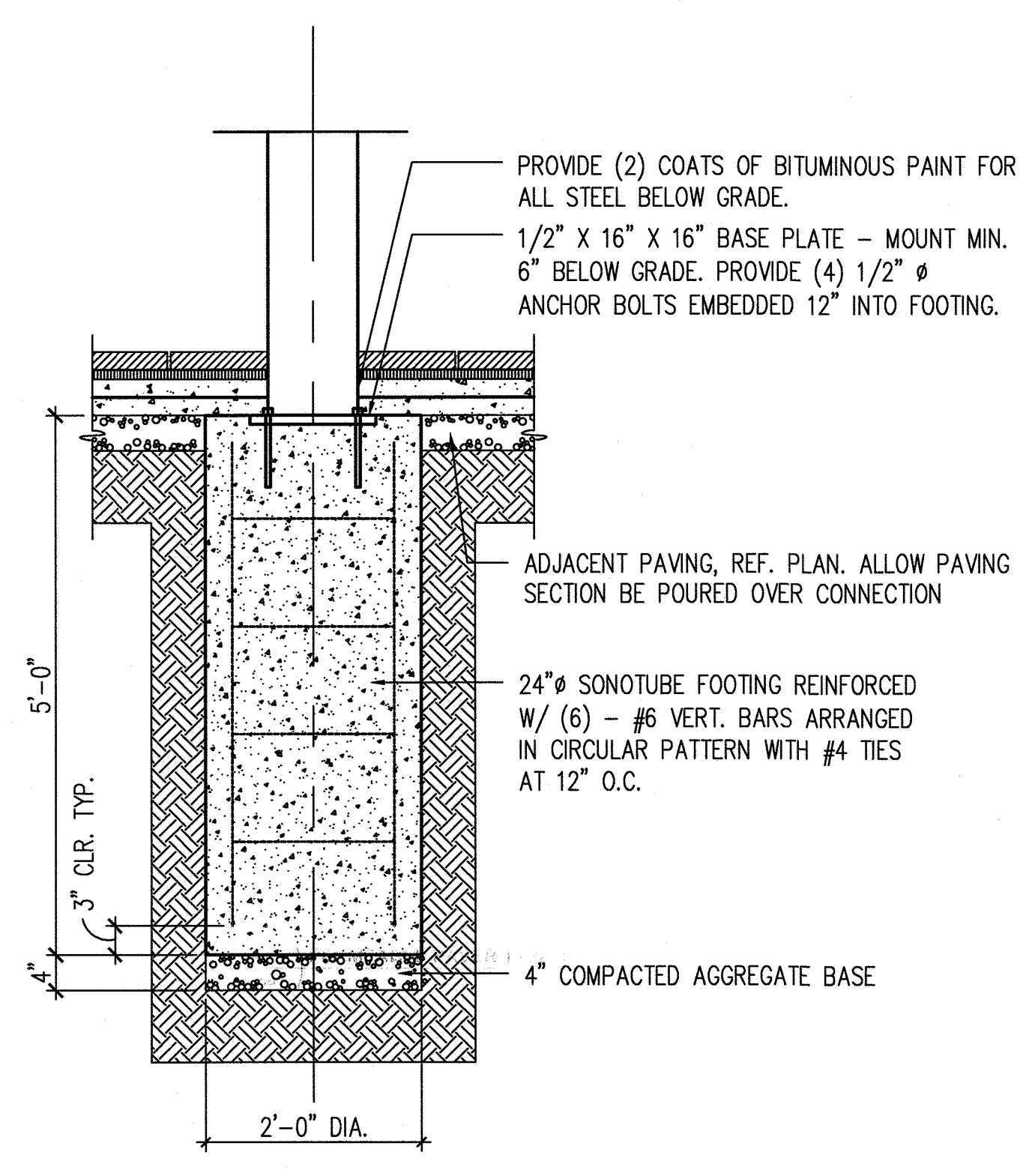
LS-503



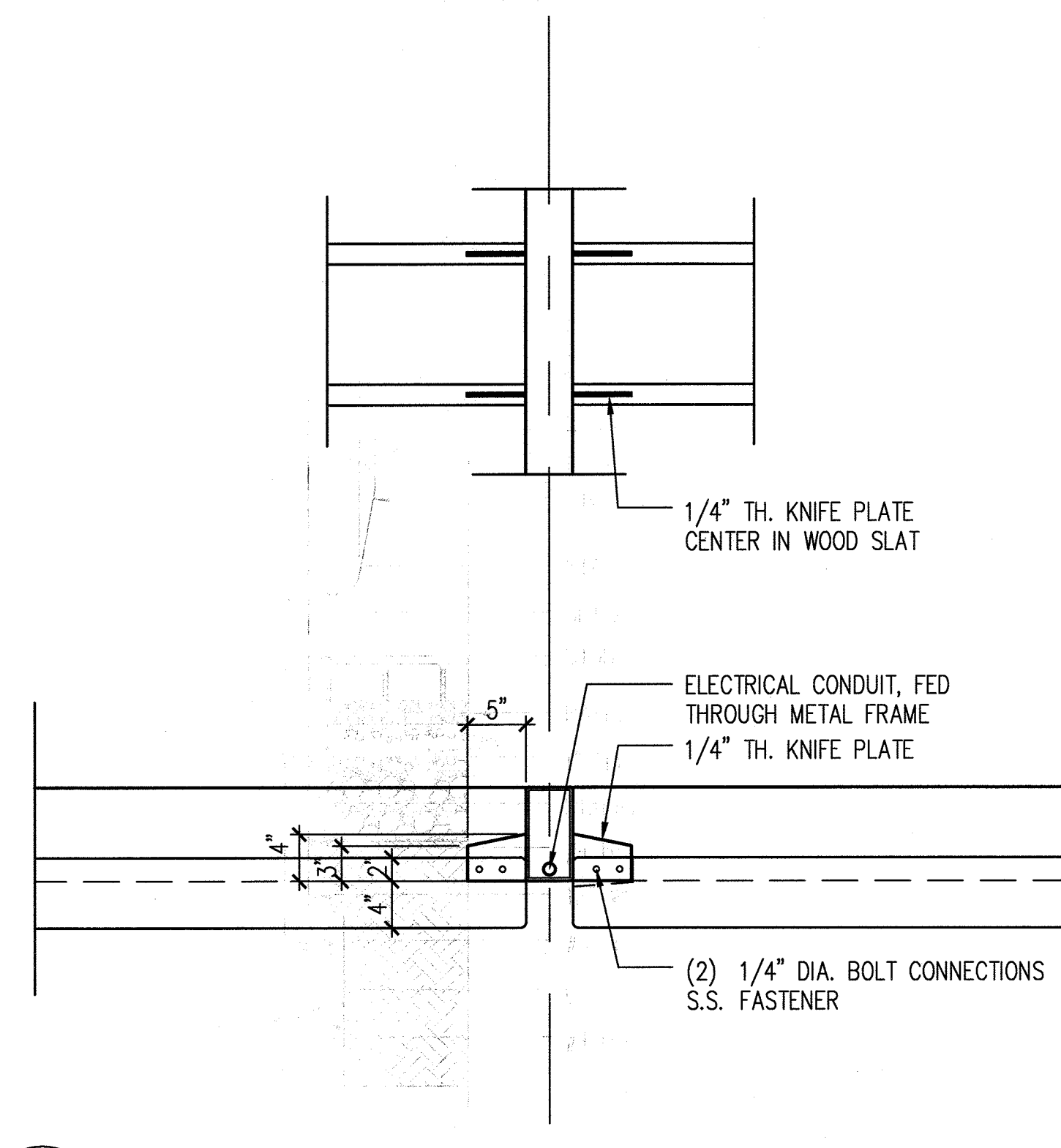
1 TRELLIS PLAN
1/4" = 1'-0"

- TRELLIS NOTES**
- STEEL FRAME** PAINT FRAME DARK GRAY, HIGH PERFORMANCE COATING. ENDS OF ALL TUBES SHALL BE CLOSED WITH ALL AROUND WELDED CONNECTIONS, OR WITH 1/4" CAP PLATE FLUSH WITH TUBE.
 - STEEL BRACKETS** PAINT BRACKETS DARK GRAY, HIGH PERFORMANCE COATING
 - WOOD SLATS MATERIAL:** IPE FULL BOARD LENGTHS AS SHOWN FSC CERTIFIED
 - FASTENERS MATERIAL:** STAINLESS STEEL FASTENER CONNECTIONS. CONNECTIONS TO BE DISCREET AND HIDDEN FROM VIEW.

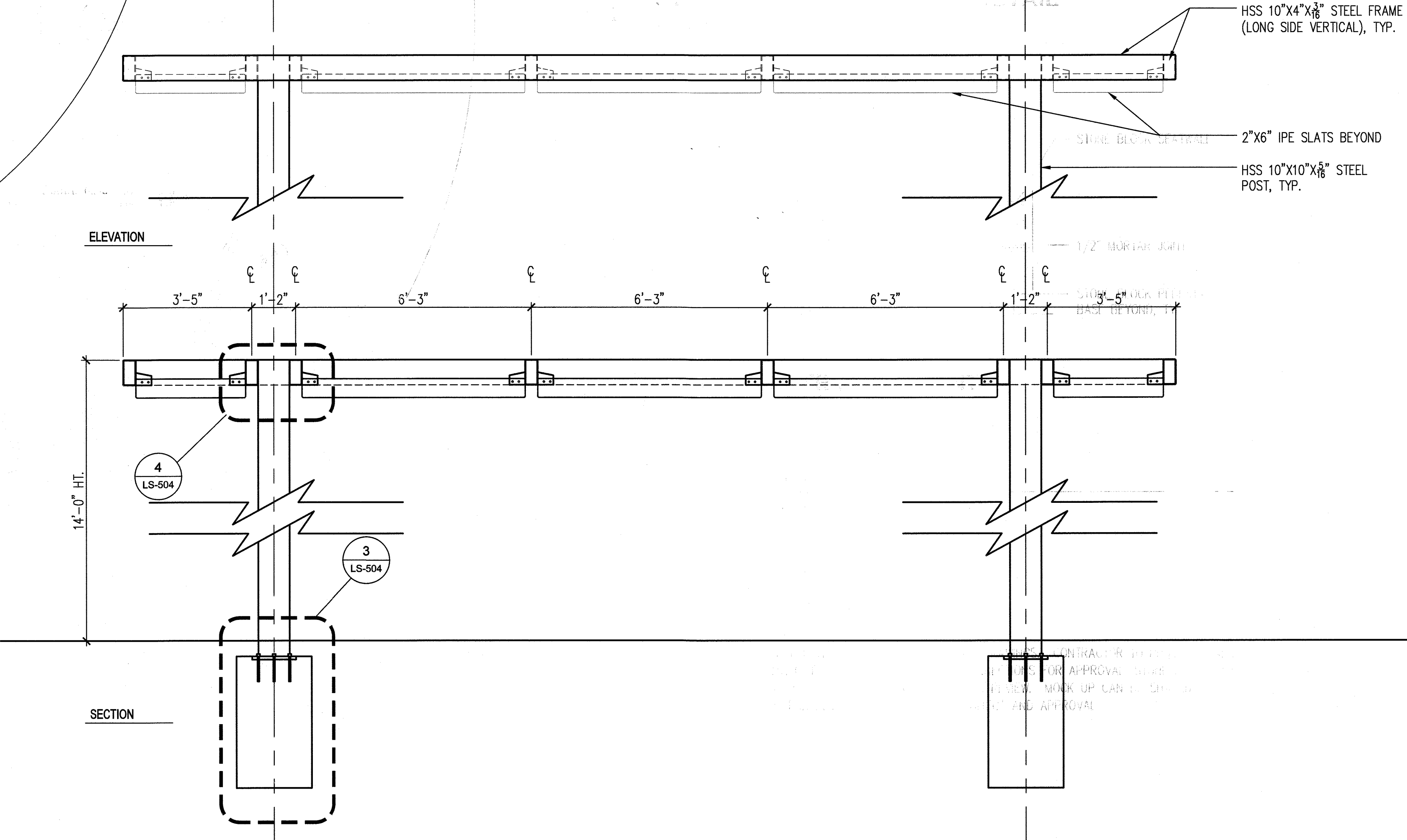
SHOP DRAWINGS
LANDSCAPE ARCHITECT AND HOWARD COUNTY DEPARTMENT OF RECREATION AND PARKS STAFF TO APPROVE TRELLIS SHOP DRAWINGS. CONTRACTOR TO PROVIDE LANDSCAPE ARCHITECT WITH CUT SHEETS/DETAILS OF ALL CONNECTIONS FOR APPROVAL.



3 TRELLIS FOOTING
3/4" = 1'-0"



4 TRELLIS BRACKET PLAN AND SECTION
1" = 1'-0"



2 TRELLIS ELEVATION & SECTION
1/2" = 1'-0"

APPROVED
PLANNING BOARD OF HOWARD COUNTY
Date: May 16, 2019

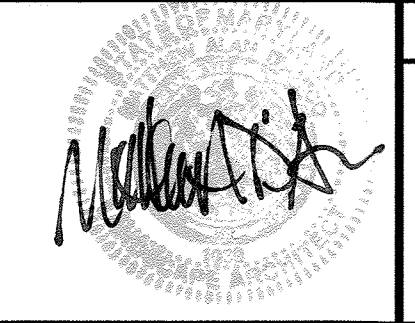
APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
N. A. J. J. J. 8-29-19
 Director Date
V. J. J. J. 8-29-19
 Chief, Division of Land Development Date
A. J. J. J. 8-19-19
 Chief, Development Engineering Division Date

Design Collective
ARCHITECTURE PLANNING INTERIORS
601 East Park Street, Suite 300
Baltimore, Maryland 21202
P 410 635 6555 | www.designcollective.com

DES.	DRN.	CHK.	DATE	REVISION	BY	APPR.

PREPARED FOR:
ACB PARKING BUSINESS TRUST
c/o THE HOWARD RESEARCH
AND DEVELOPMENT CORP.
10480 LITTLE PATUXENT PARKWAY
COLUMBIA, MARYLAND 21044
CONTACT: CAROL DOONEY

"I certify that these documents were prepared or approved by me, and that I am a duly licensed landscape architect under the laws of the State of Maryland, License No. 1039, expiration date 06/12/2020"
By: *Matt D'Amico*, PLA
Design Collective, Inc.



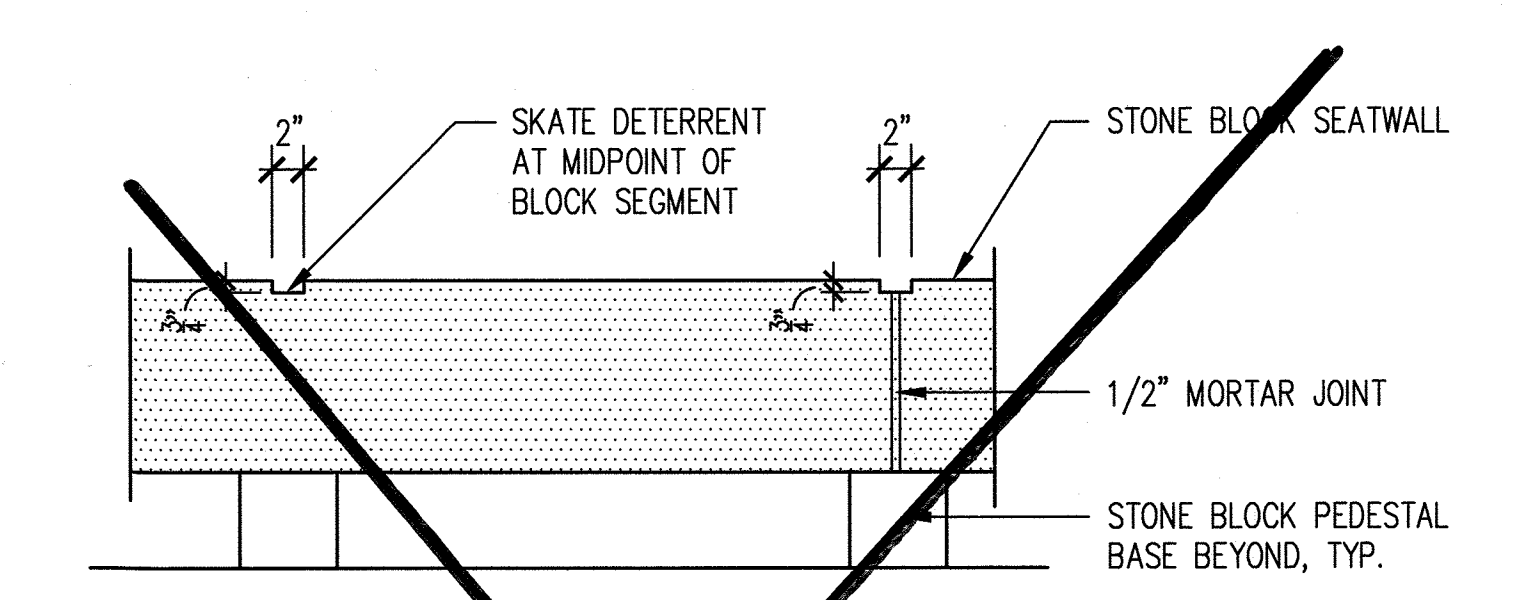
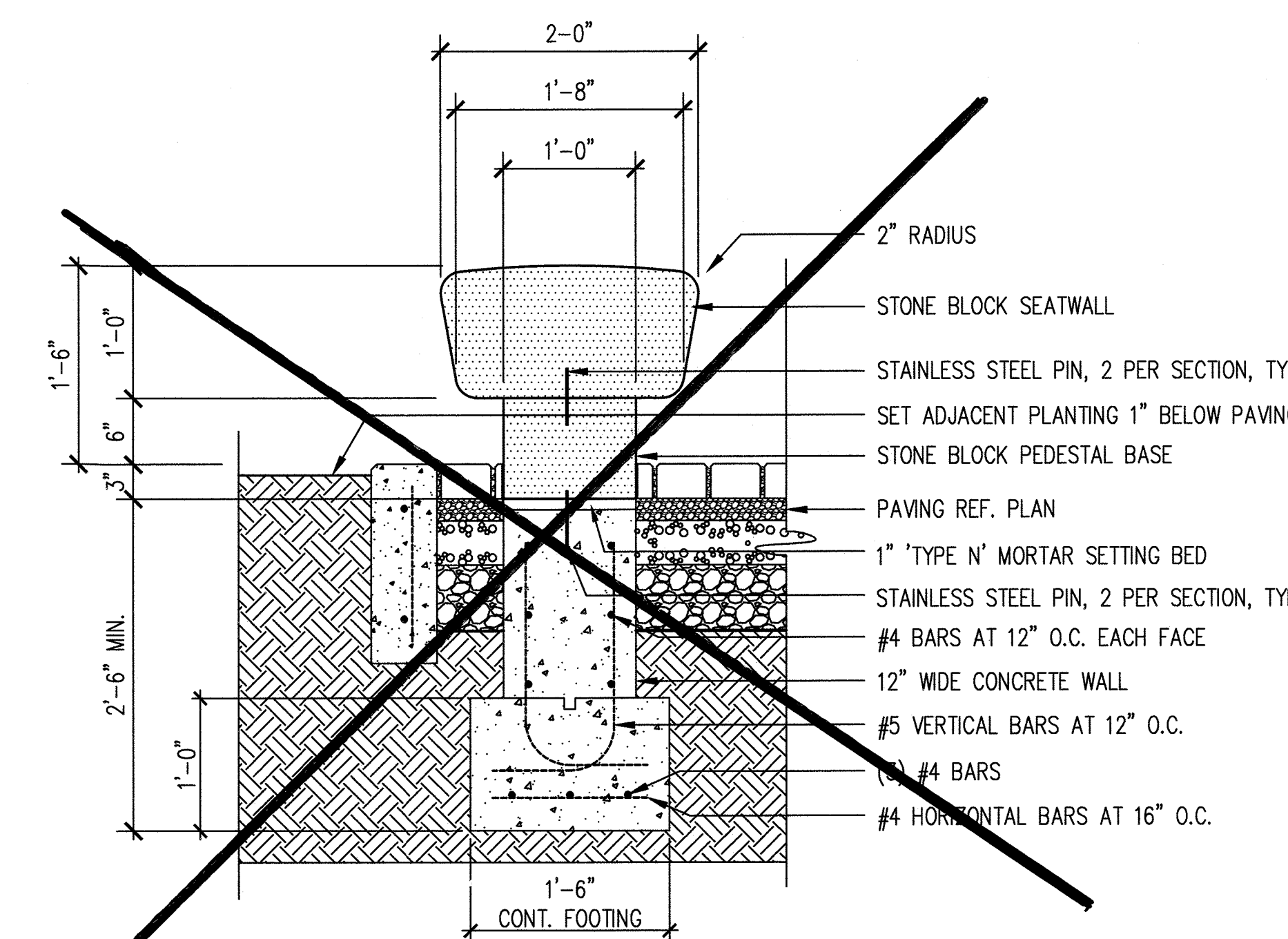
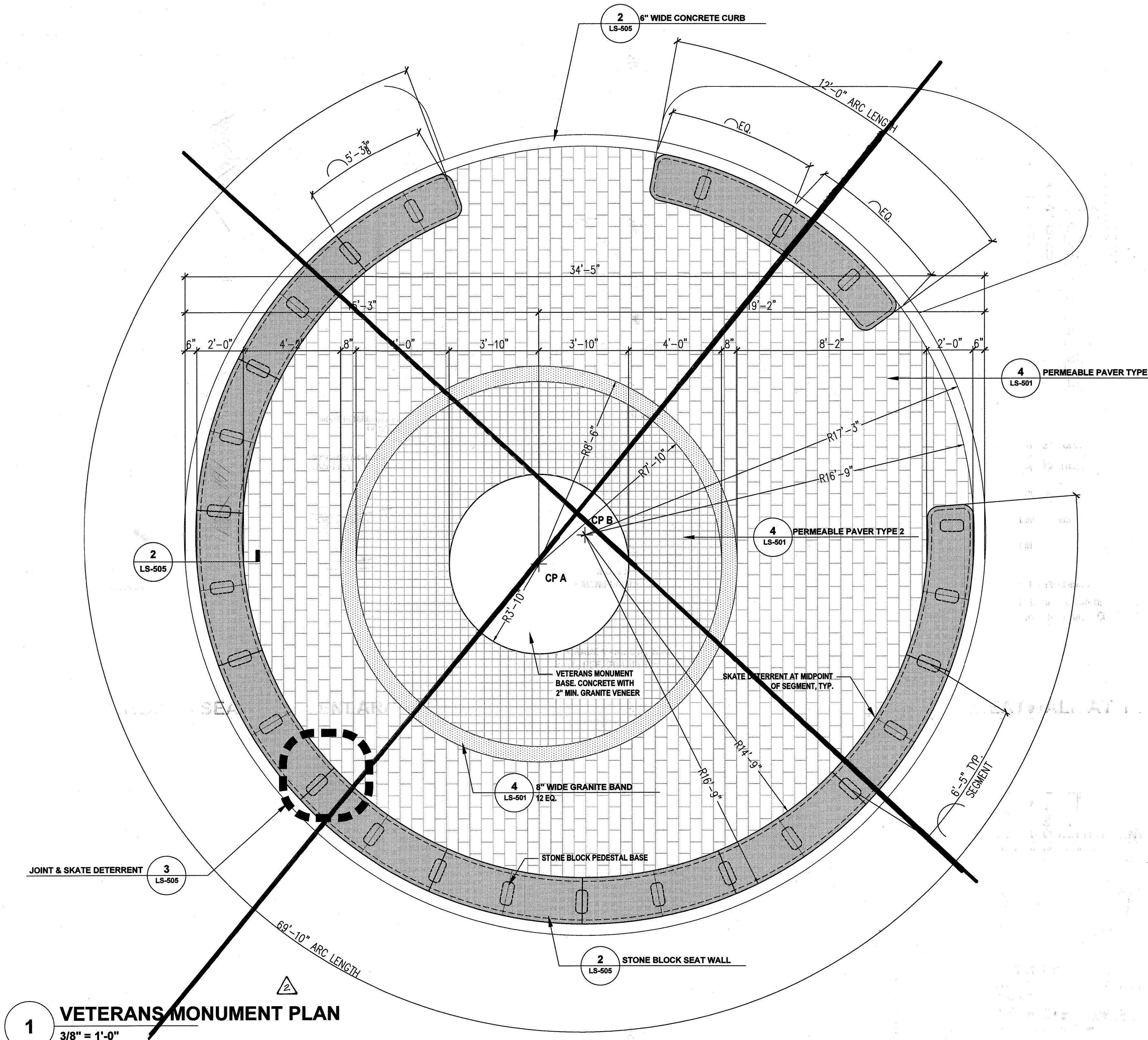
COMMUNITY PERGOLA DETAILS
PUBLIC DOWNTOWN NEIGHBORHOOD SQUARE
DOWNTOWN COLUMBIA
LAKEFRONT CORE
OPEN SPACE LOT 1
PLAT No. 25127
ELECTION DISTRICT No. 5
HOWARD COUNTY, MARYLAND

SCALE	ZONING	FILE No.
AS SHOWN	NT	18050
DATE	TAX MAP - GRID	SHEET
JULY, 2019	36 - 2	16 OF 25



Professional Certification. I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland, License No. 24971, Expiration Date: 2/27/2020

LS-504



STONE INFORMATION

MANUFACTURER: WILDSRING GRANITE OR EQUAL

PRODUCT: CHARCOAL BLACK

DIMENSIONS: PER DETAIL

FINISH: RUB AND SAND

SHOP DRAWINGS

LANDSCAPE ARCHITECT TO APPROVE STONE SHOP DRAWINGS. CONTRACTOR TO PROVIDE LANDSCAPE ARCHITECT WITH CUT SHEETS/DETAILS OF ALL CONNECTIONS FOR APPROVAL. STONE FABRICATOR TO PROVIDE MOCKUP OF JOINT/SKATE DETERRENT FOR REVIEW. MOCK UP CAN BE SHARED BY PHOTO/E-MAIL FOR REVIEW BY LANDSCAPE ARCHITECT AND APPROVAL.

APPROVED
PLANNING BOARD OF HOWARD COUNTY
Date: May 16, 2019

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
N. Williams 8-29-19
Director Date
V. Johnson 8/29/19
Chief, Division of Land Development Date
Ch. Clark 8.19.19
Chief, Development Engineering Division Date

NOTE: THIS SHEET WILL BE REPLACED WITH THE FUTURE REDLINE FOR THE VETERANS MONUMENT. REDLINE REQ'D WHEN THE DESIGN IS COMPLETED.

Design Collective
ARCHITECTURE PLANNING INTERIORS
401 East Potomac Street, Suite 300
Baltimore, Maryland 21202
P: 410.635.0855 www.designcollective.com

DES.	DRN.	CHK.	DATE	REVISION	BY	APP'R.
			05-14-2019	2. REMOVED VETERANS MONUMENT	HKJ	MJT

PREPARED FOR:
ACB PARKING BUSINESS TRUST
c/o THE HOWARD RESEARCH AND DEVELOPMENT CORP.
10480 LITTLE PATUXENT PARKWAY
COLUMBIA, MARYLAND 21044
CONTACT: CAROL DOONEY

"I certify that these documents were prepared or approved by me, and that I am a duly licensed landscape architect under the laws of the State of Maryland, License No. 1039, expiration date 06/12/2020"
By: Matt D'Amico, PLA
Design Collective, Inc.

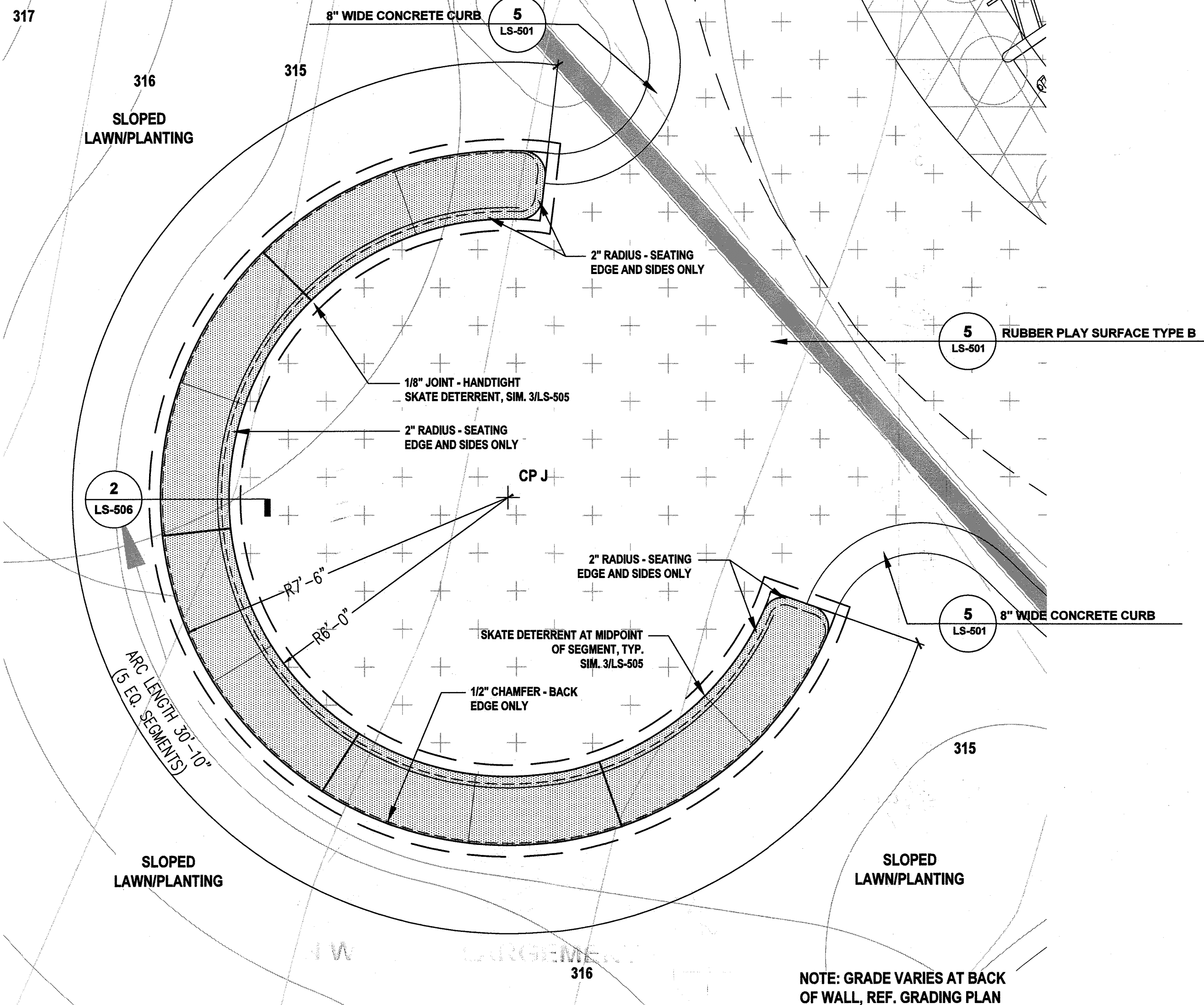
VETERANS MEMORIAL DETAILS
PUBLIC DOWNTOWN NEIGHBORHOOD SQUARE
DOWNTOWN COLUMBIA
LAKEFRONT CORE
OPEN SPACE LOT 1
PLAT No. 25127

NO ASBUILT INFORMATION
07/09/2020

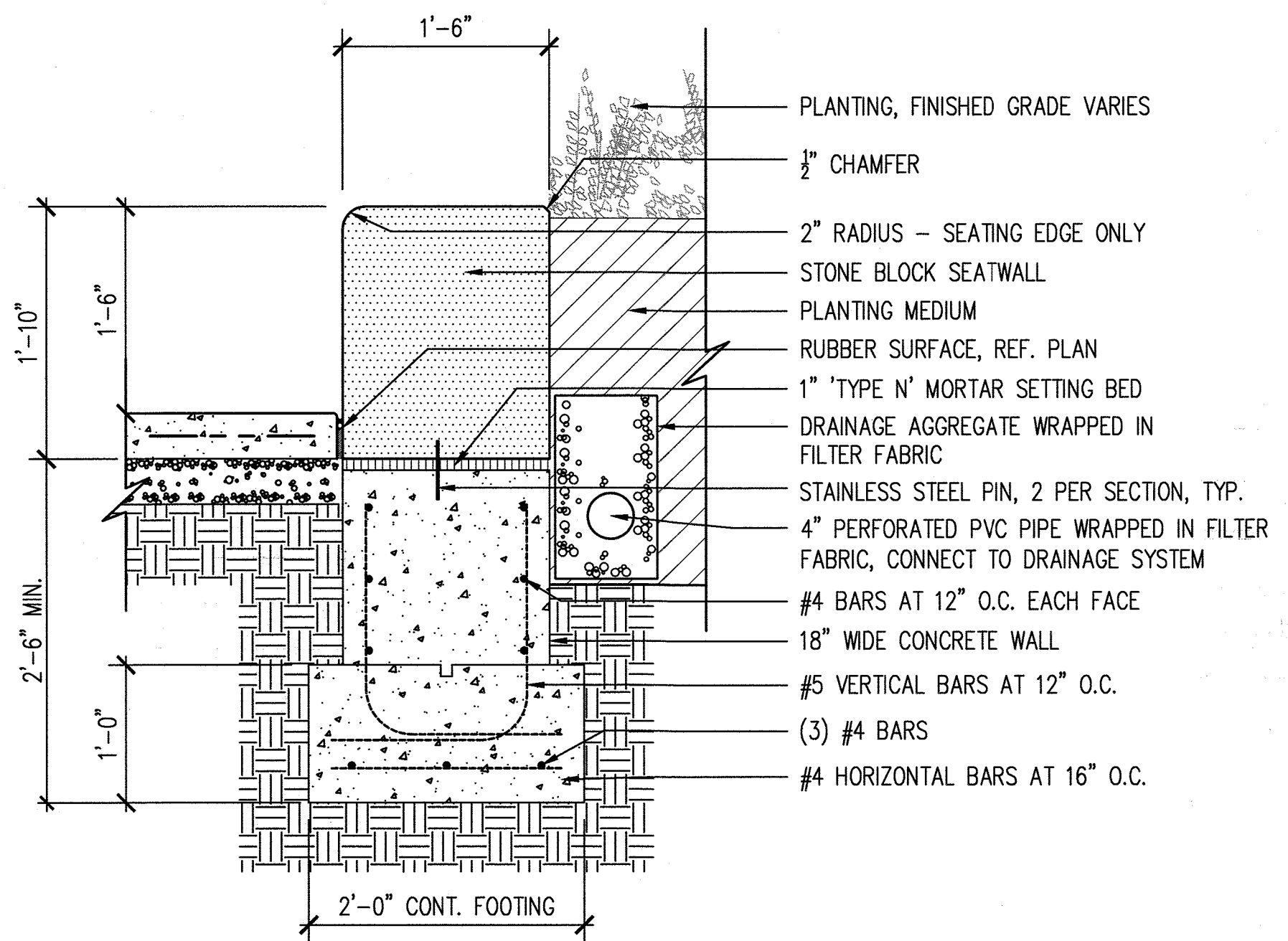
ELECTION DISTRICT No. 5
HOWARD COUNTY, MARYLAND

SCALE	ZONING	FILE No.
AS SHOWN	NT	18050
DATE	TAX MAP - GRID	SHEET
JULY, 2019	36 - 2	17 OF 25

LS-505



1 PLAYGROUND SEAT WALL ENLARGEMENT
1/2" = 1'-0"



STONE INFORMATION

MANUFACTURER: COLDSRING GRANITE OR EQUAL

PRODUCT: CHARCOAL BLACK

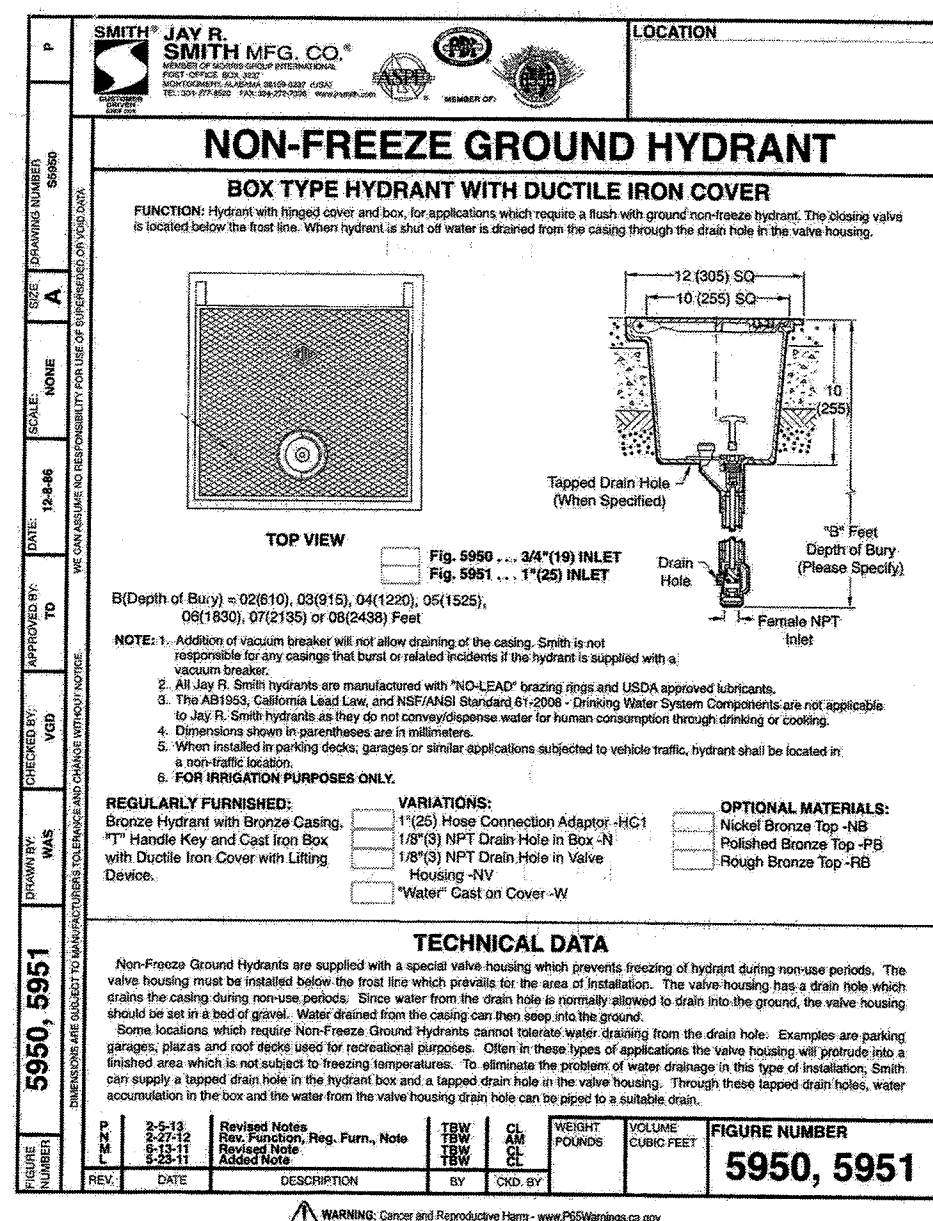
DIMENSIONS: PER DETAIL

FINISH: EXPOSED SIDES - RUB AND SAND
BACK SAWN ONLY

SHOP DRAWINGS

LANDSCAPE ARCHITECT TO APPROVE STONE SHOP DRAWINGS. CONTRACTOR TO PROVIDE LANDSCAPE ARCHITECT WITH CUT SHEETS/DETAILS OF ALL CONNECTIONS FOR APPROVAL.

2 STONE SEATWALL AT PLAYGROUND
1" = 1'-0"



PRODUCT INFORMATION

MANUFACTURER: JAY R. SMITH MFG. CO.
P.O. BOX 3237
MONTGOMERY, AL 36109
www.jrsmith.com

PRODUCT: NON-FREEZE GROUND HYDRANT
(MODEL# 5950)

SIZE: N/A
COLOR: STAINLESS STEEL
OPTIONS: N/A

3 GROUND HYDRANT
N.T.S.

APPROVED
PLANNING BOARD OF HOWARD COUNTY

Date: May 16, 2019

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

Valerie J. J. J. 8-29-19
Director Date

Ken S. S. 8/29/19
Chief, Division of Land Development Date

A. J. J. 8-19-19
Chief, Development Engineering Division Date

Design Collective

ARCHITECTURE PLANNING INTERIORS
LANDSCAPE ARCHITECTURE

800 East Pratt Street, Suite 300
Baltimore, Maryland 21202
P: 410-588-0855 F: 410-588-0856 www.designcollective.com

DES.	DRN.	CHK.	DATE	REVISION	BY	APP'R.

PREPARED FOR:

ACB PARKING BUSINESS TRUST
c/o THE HOWARD RESEARCH
AND DEVELOPMENT CORP.
10480 LITTLE PATUXENT PARKWAY
COLUMBIA, MARYLAND 21044
CONTACT: CAROL DOONEY

"I certify that these documents were prepared or approved by me, and that I am a duly licensed landscape architect under the laws of the State of Maryland, License No. 1039, expiration date 06/12/2020"
By: Matt D'Amico, PLA
Design Collective, Inc.

Matt D'Amico

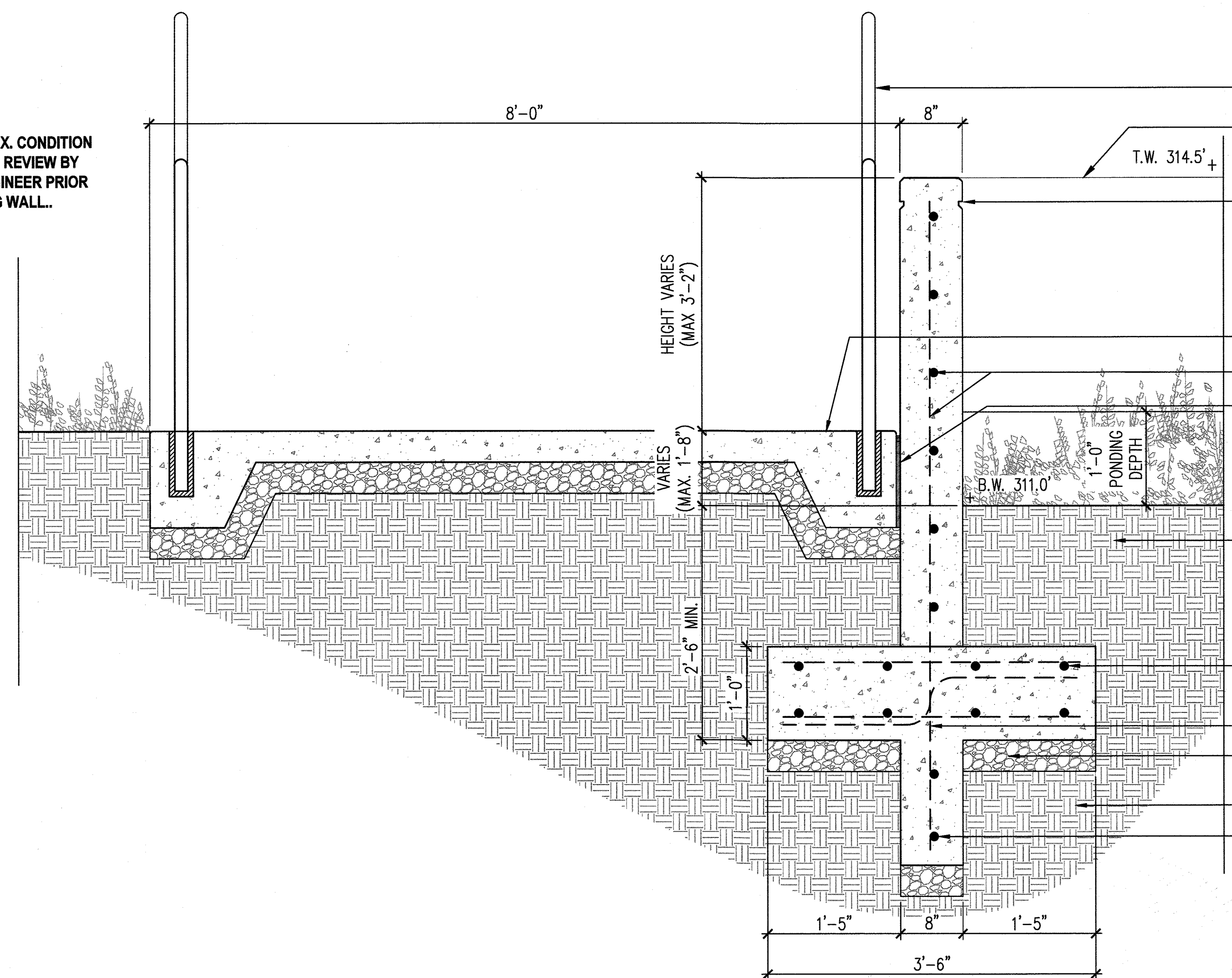
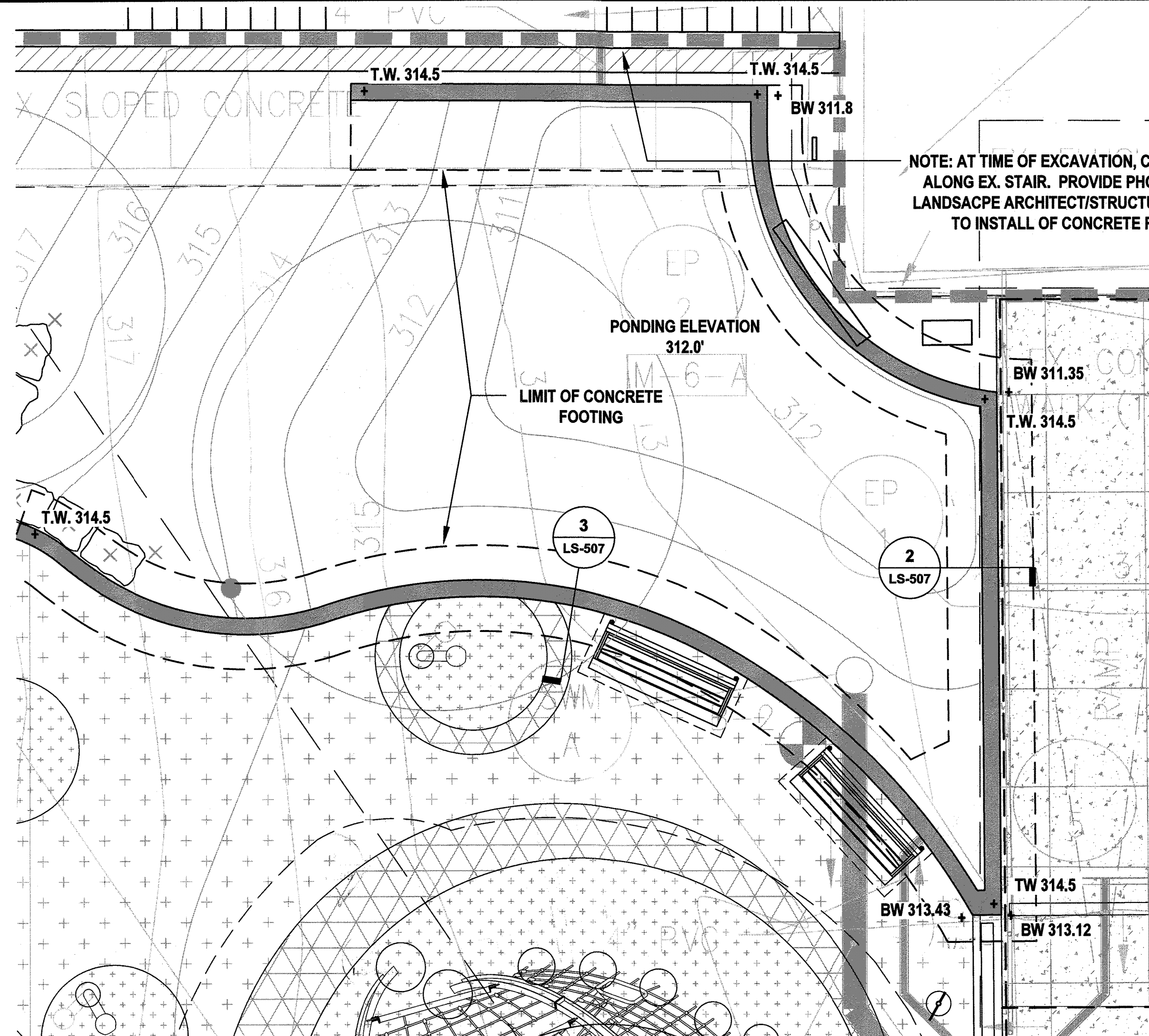
STONE BENCH 2 DETAILS

PUBLIC DOWNTOWN NEIGHBORHOOD SQUARE
DOWNTOWN COLUMBIA
LAKEFRONT CORE
OPEN SPACE LOT 1
PLAT No. 25127

NO ASBUILT INFORMATION
07/09/2020

SCALE	ZONING	FILE No.
AS SHOWN	NT	18050
DATE	TAX MAP - GRID	SHEET
JULY, 2019	36 - 2	18 OF 25

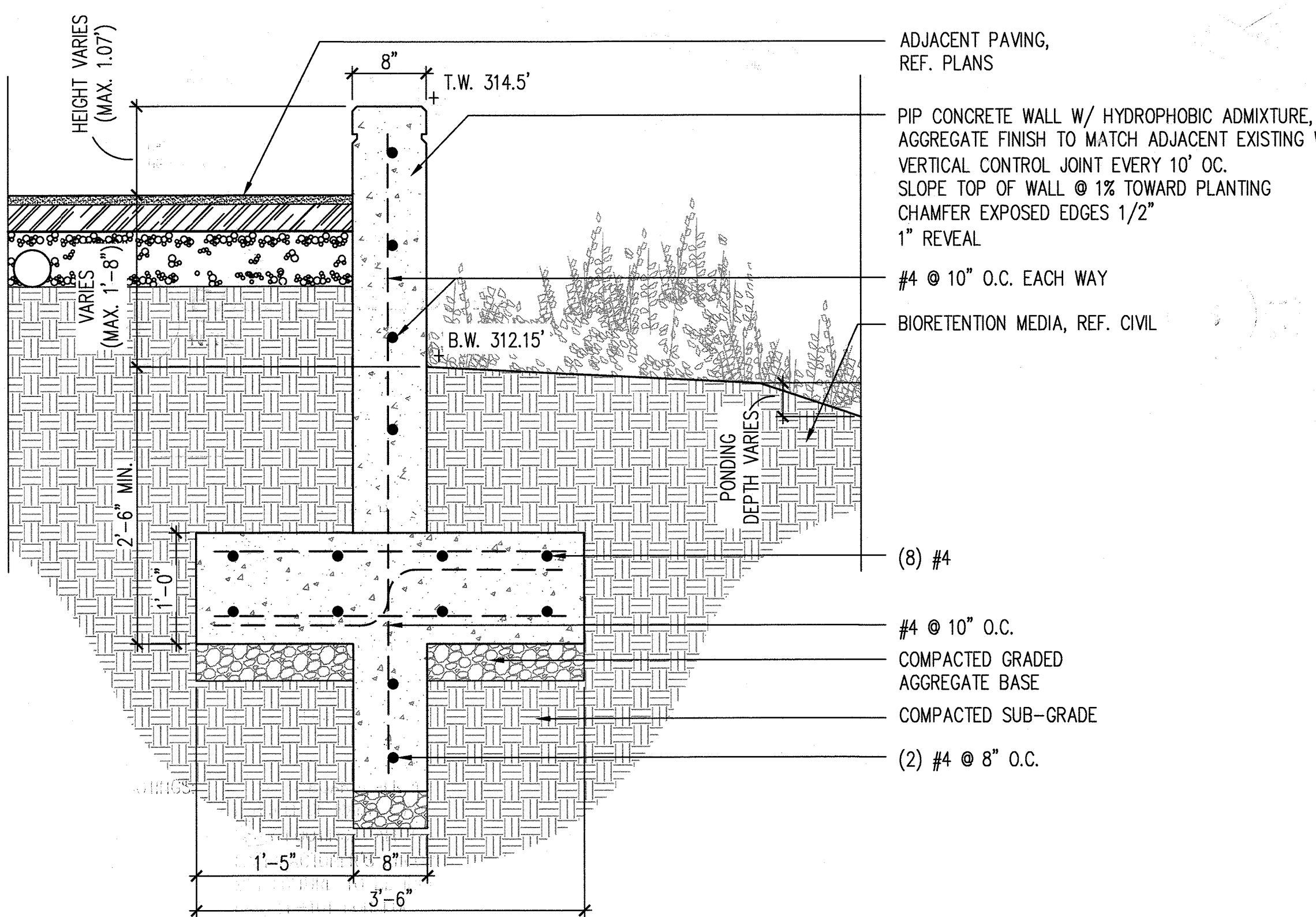
LS-506



- RAILING AT RAMP, REF. DETAIL 3/LS-502
- TOP OF WALL BEYOND
- PIP CONCRETE WALL W/ HYDROPHOBIC ADMIXTURE, EXPOSED AGGREGATE FINISH TO MATCH ADJACENT EXISTING WALLS
- VERTICAL CONTROL JOINT EVERY 10' O.C.
- SLOPE TOP OF WALL @ 1% TOWARD PLANTING
- CHAMFER EXPOSED EDGES 1/2" 1" REVEAL
- ADJACENT PAVING, REF. PLANS
- #4 @ 10" O.C. EACH WAY
- EXPANSION JOINT
- BIORETENTION MEDIA, REF. CIVIL
- (8) #4
- #4 @ 10" O.C.
- COMPACTED GRADED AGGREGATE BASE
- COMPACTED SUB-GRADE
- (2) #4 @ 8" O.C.

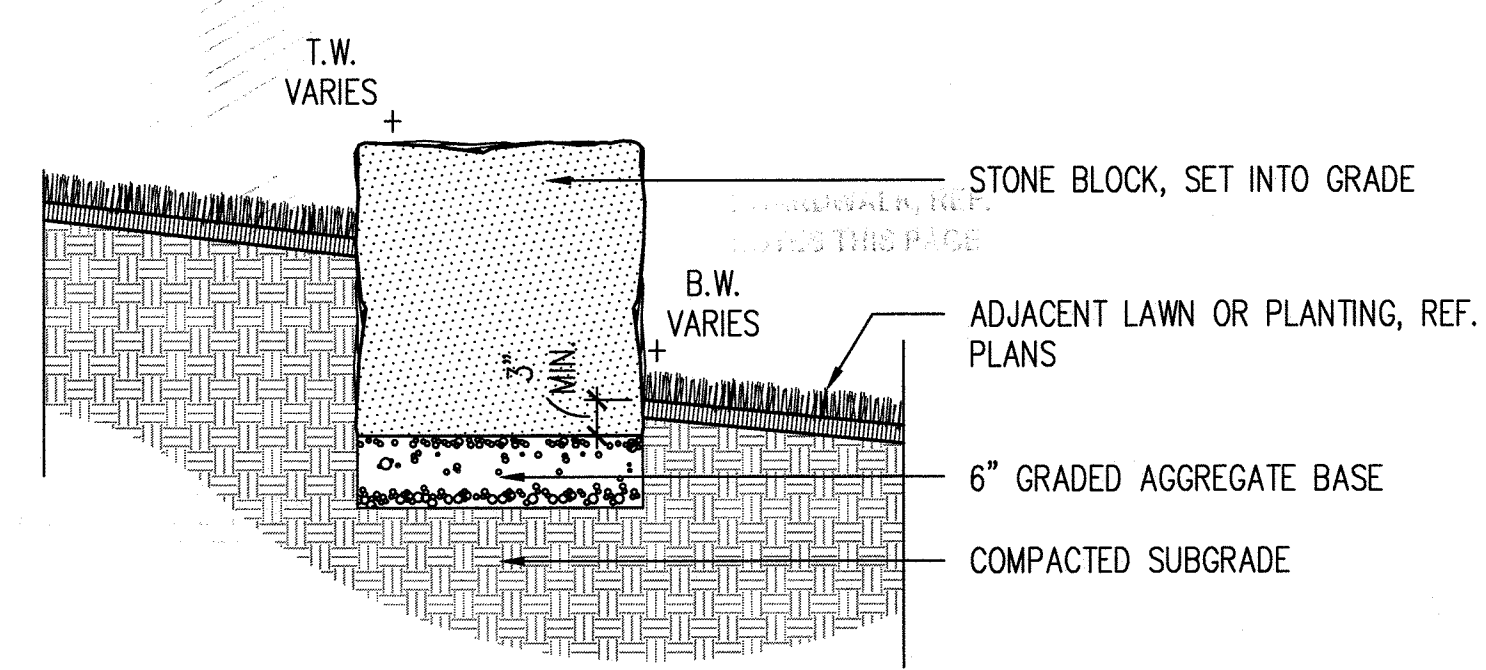
1 BIORETENTION WALL ENLARGEMENT
1/4" = 1'-0"

2 BIORETENTION RETAINING WALL AT RAMP
1" = 1'-0"



- ADJACENT PAVING, REF. PLANS
- PIP CONCRETE WALL W/ HYDROPHOBIC ADMIXTURE, AGGREGATE FINISH TO MATCH ADJACENT EXISTING WALLS
- VERTICAL CONTROL JOINT EVERY 10' O.C.
- SLOPE TOP OF WALL @ 1% TOWARD PLANTING
- CHAMFER EXPOSED EDGES 1/2" 1" REVEAL
- #4 @ 10" O.C. EACH WAY
- BIORETENTION MEDIA, REF. CIVIL
- (8) #4
- #4 @ 10" O.C.
- COMPACTED GRADED AGGREGATE BASE
- COMPACTED SUB-GRADE
- (2) #4 @ 8" O.C.

3 BIORETENTION RETAINING WALL AT PLAY SURFACE
1" = 1'-0"



- STONE BLOCK STAIR NOTES**
- MANUFACTURER: CARDEROCK
www.carderock.com
 - MATERIAL: LANNON STONE
 - SIZE: 2' HT. X 18' WIDTH (+/- 3" TOLERANCE), LENGTH 2'-3'
 - FINISH: NATURAL CLEFT TOP AND FACE, SAWN ENDS
 - NOTE: LANDSCAPE ARCHITECT TO APPROVE STONE SHOP DRAWINGS FOR APPROVAL.

4 STONE BLOCK LANDSCAPE WALL
3/4" = 1'-0"

APPROVED
PLANNING BOARD OF HOWARD COUNTY
Date: May 16, 2019

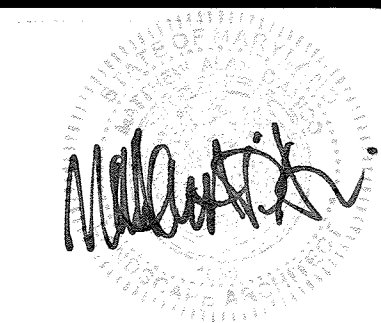
APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
William J. J. [Signature] 8-29-19
Director Date
Rob [Signature] 8/29/19
Chief, Division of Land Development Date
Ant [Signature] 8/19/19
Chief, Development Engineering Division Date

Design Collective
ARCHITECTURE PLANNING INTERIORS
601 East Pratt Street, Suite 300
Baltimore, Maryland 21202
P 410 635 8656 www.designcollective.com

DES.	DRN.	CHK.	DATE	REVISION	BY	APP'R.

PREPARED FOR:
ACB PARKING BUSINESS TRUST
c/o THE HOWARD RESEARCH
AND DEVELOPMENT CORP.
10480 LITTLE PATUXENT PARKWAY
COLUMBIA, MARYLAND 21044
CONTACT: CAROL DOONEY

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By: *Matt D'Amico*, PLA
Design Collective, Inc.



RETAINING WALL DETAILS
PUBLIC DOWNTOWN NEIGHBORHOOD SQUARE
DOWNTOWN COLUMBIA
LAKEFRONT CORE
OPEN SPACE LOT 1
PLAT No. **LS-507**

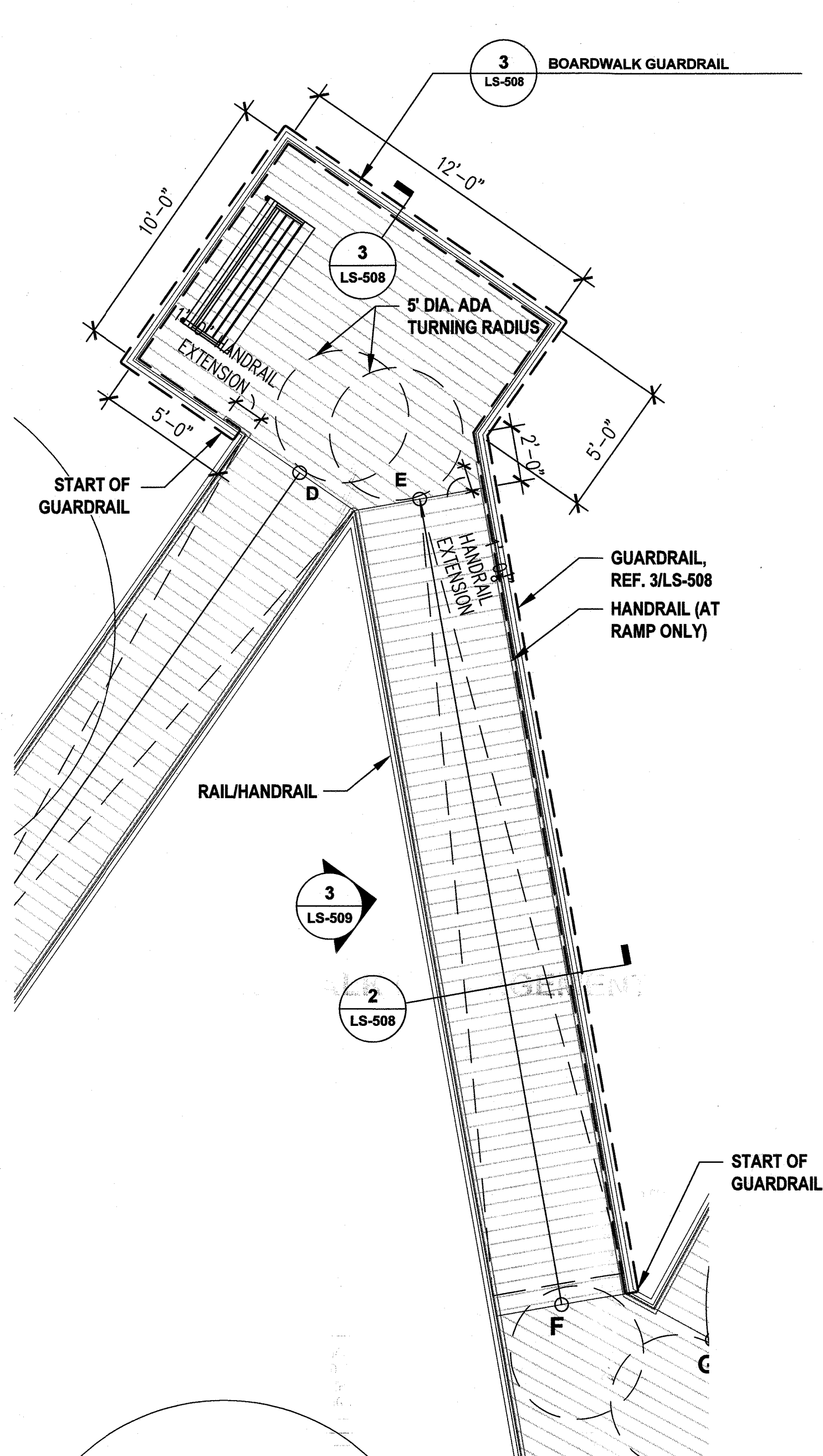
NO ABUSE OF INFORMATION
07/09/2020

ELECTION DISTRICT No. 5

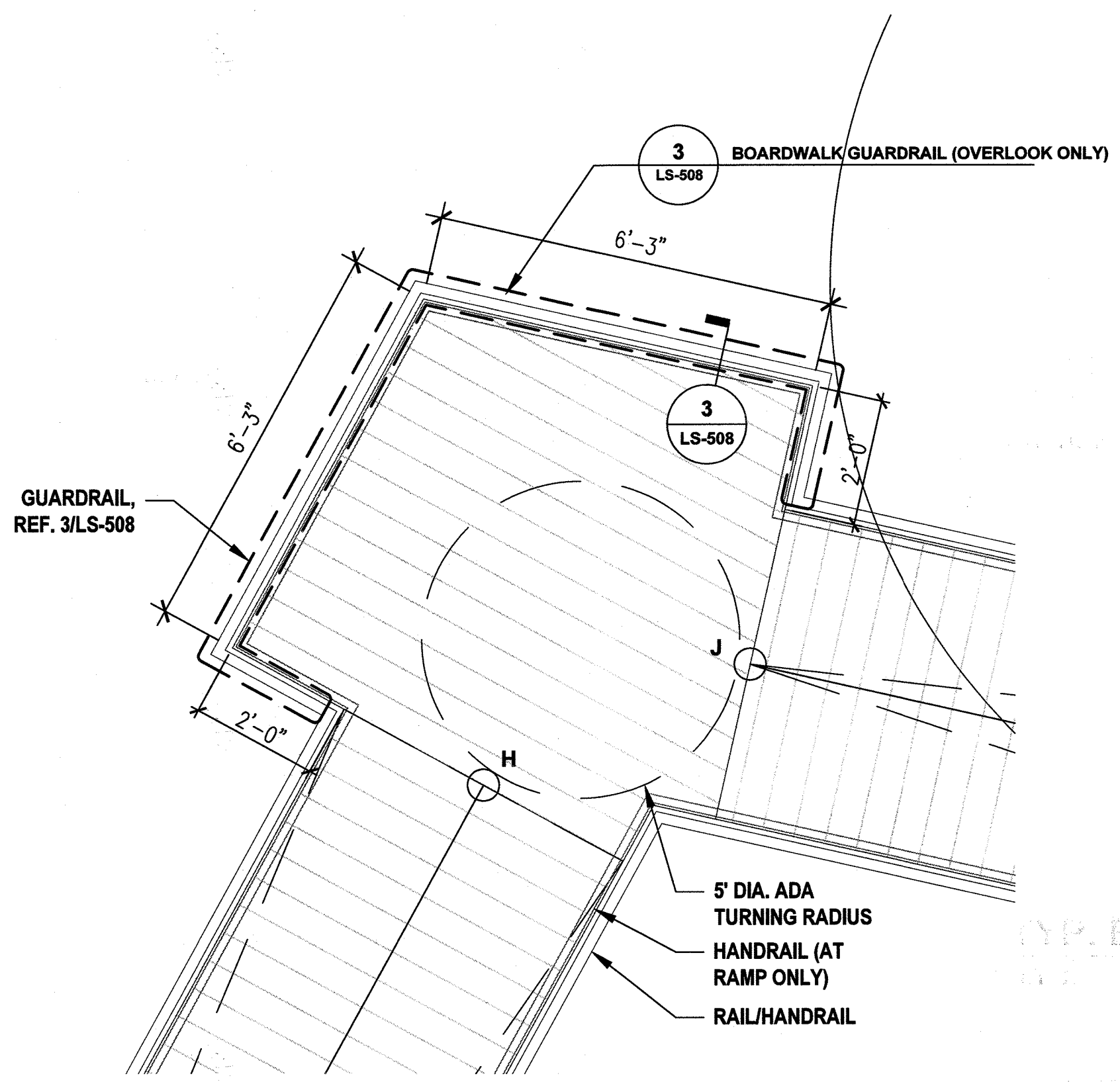
SCALE	ZONING	FILE No.
AS SHOWN	NT	18050
DATE	TAX MAP - GRID	SHEET
JULY, 2019	36 - 2	19 OF 25

HOWARD COUNTY, MARYLAND

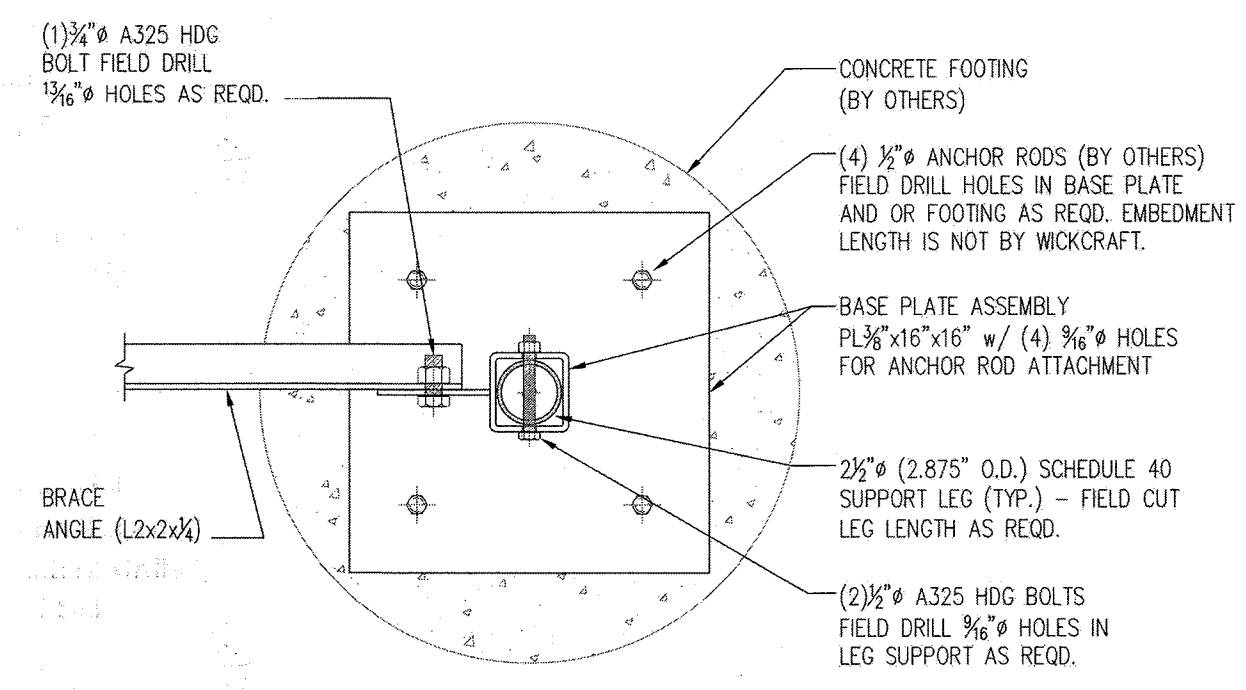
LS-507



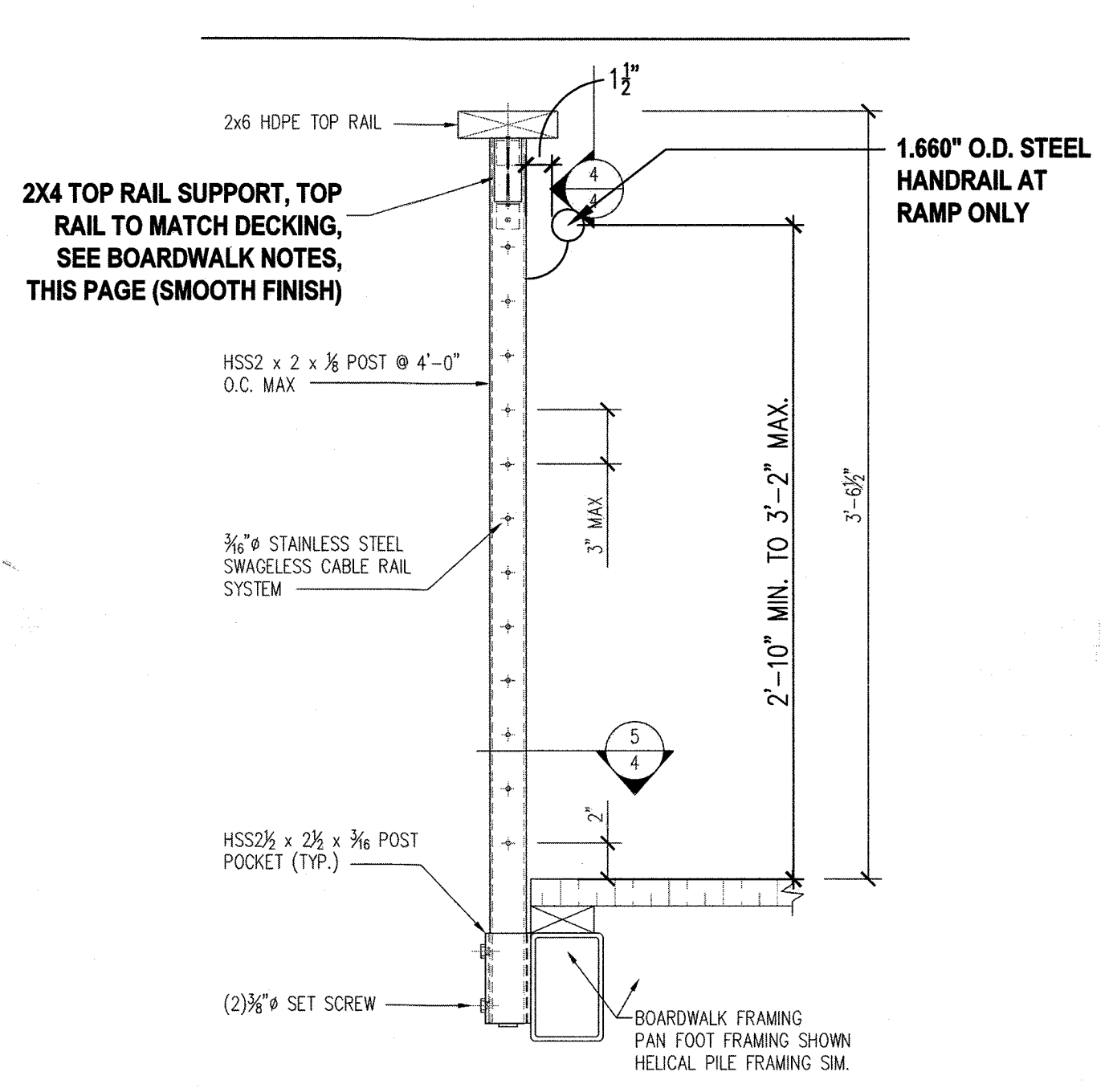
1 OVERLOOK ENLARGEMENT
1/4" = 1'-0"



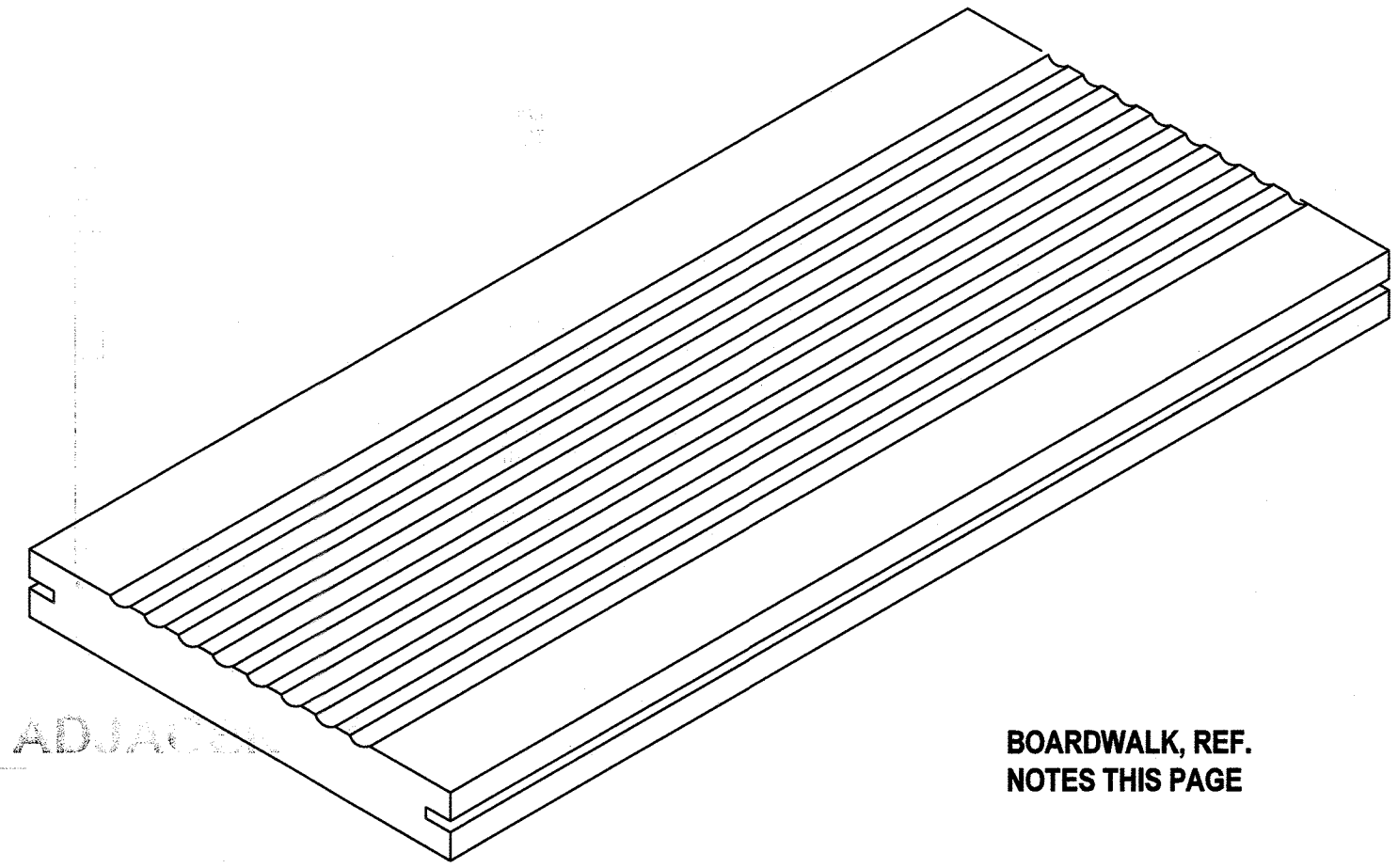
2 OVERLOOK 2 ENLARGEMENT
1/2" = 1'-0"



4 BASE PLATE DETAIL
N.T.S.



3 BOARDWALK GUARDRAIL DETAIL
N.T.S.



5 BOARDWALK DECKING
6" = 1'-0"

BOARDWALK	
MANUFACTURER:	WICKCRAFT CONTACT: NAOMI BLOOMER (608.244.9177)
STEEL FRAME:	GALVANIZED
DECKING MATERIAL:	MOSO BAMBOO X-TREME FULL BOARD LENGTHS 1X6 BO-DK20-G2-PP REEDED FINISH
NOTES:	BOARDWALK FOOTINGS: ANCHOR BOARDWALK TO CONCRETE SLAB/FOOTING AT TOP AND BOTTOM OF RAMP. ANCHOR BOARDWALK TO INTERMEDIATE SLAB/FOOTING. ALL OTHER FOOTINGS TO BE PAN FOOTINGS PER MANUFACTURER'S RECOMMENDATION. LIGHTING: M1 FIXTURE TO BE INCORPORATED INTO BOARDWALK DECKING. REF. LL-101 FOR LOCATIONS & LS-509 FOR TRANSFORMER NOTES.
SHOP DRAWINGS:	LANDSCAPE ARCHITECT TO APPROVE BOARDWALK SHOP DRAWINGS. CONTRACTOR TO PROVIDE LANDSCAPE ARCHITECT WITH CUT SHEETS/DETAILS OF ALL CONNECTIONS FOR APPROVAL.

APPROVED
PLANNING BOARD OF HOWARD COUNTY
Date: May 16, 2019

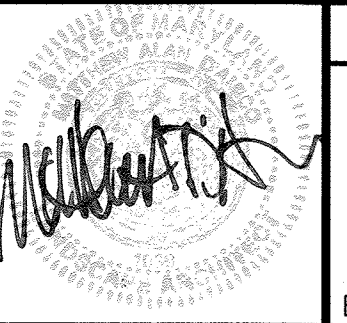
APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
Naomi Bloomer 8-29-19
Director Date
Ventura Seaman 8/29/19
Chief, Division of Land Development Date
Chel 8-19-19
Chief, Development Engineering Division Date

Design Collective
ARCHITECTURE PLANNING INTERIORS
LANDSCAPE ARCHITECTURE GRAPHICS
800 East Pratt Street, Suite 300
Baltimore, Maryland 21202
P 410 638 6655 www.designcollective.com

DES.	DRN.	CHK.	DATE	REVISION	BY	APP'R.

PREPARED FOR:
ACB PARKING BUSINESS TRUST
c/o THE HOWARD RESEARCH
AND DEVELOPMENT CORP.
10480 LITTLE PATUXENT PARKWAY
COLUMBIA, MARYLAND 21044
CONTACT: CAROL DOONEY

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By: *Matt D'Amico*, PLA
Design Collective, Inc.



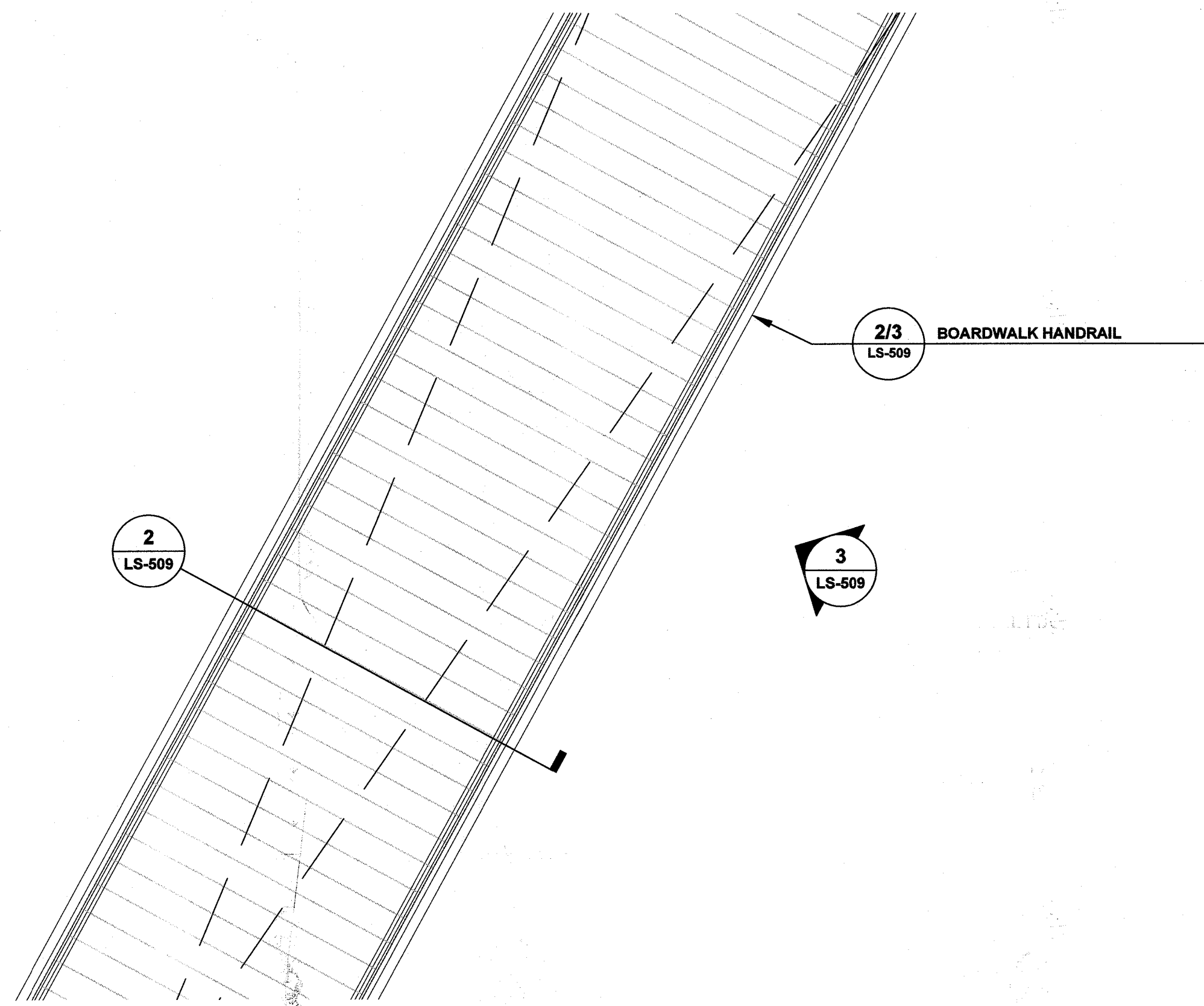
BOARDWALK DETAILS
PUBLIC DOWNTOWN NEIGHBORHOOD SQUARE
DOWNTOWN COLUMBIA
LAKEFRONT CORE
OPEN SPACE LOT 1
PLAT No. 25127

NO ASBUILT INFORMATION
07/09/2020

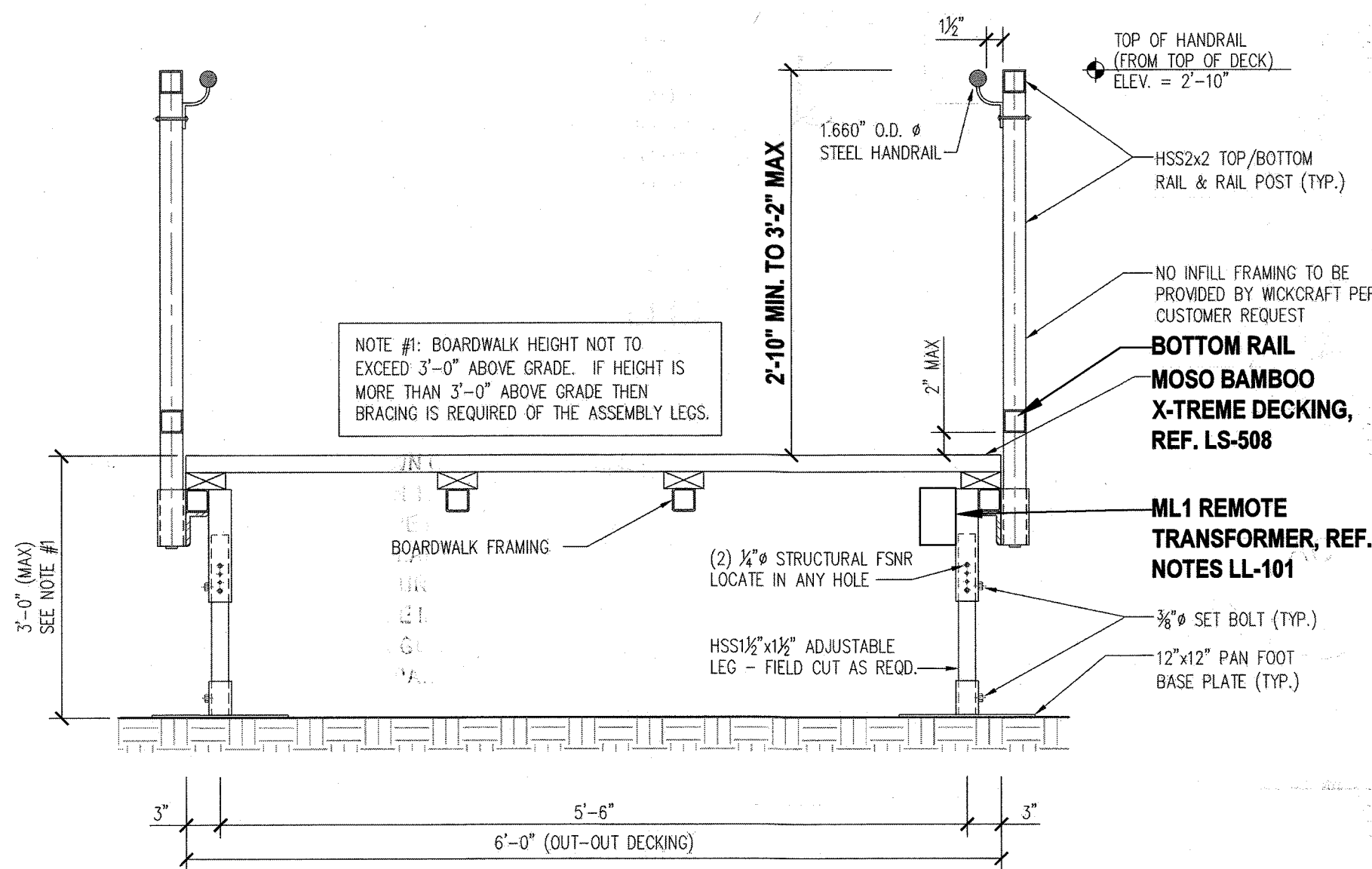
HOWARD COUNTY, MARYLAND

SCALE AS SHOWN	ZONING NT	FILE No. 18050
DATE JULY, 2019	TAX MAP - GRID 36 - 2	SHEET 20 OF 25

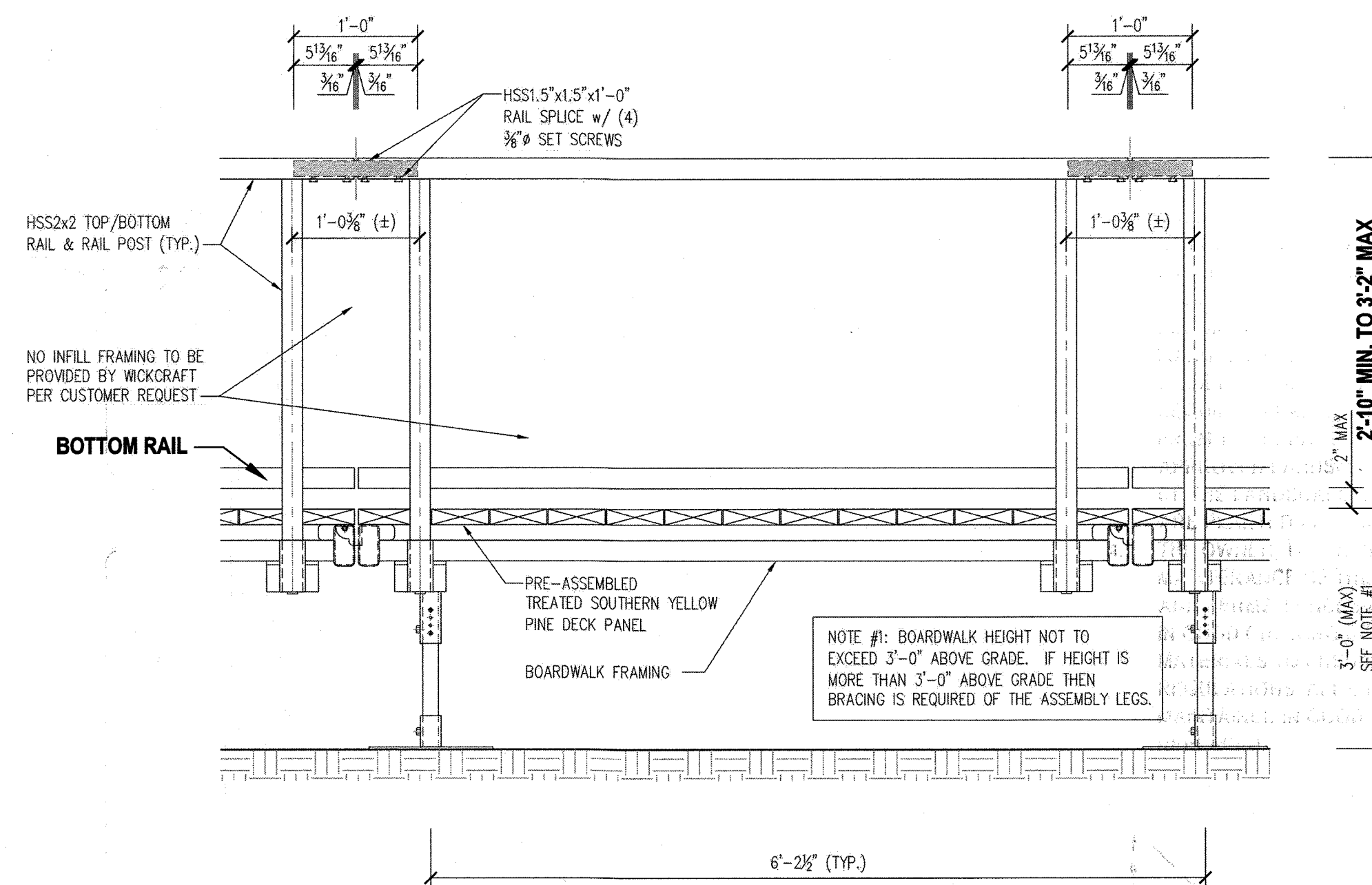
LS-508



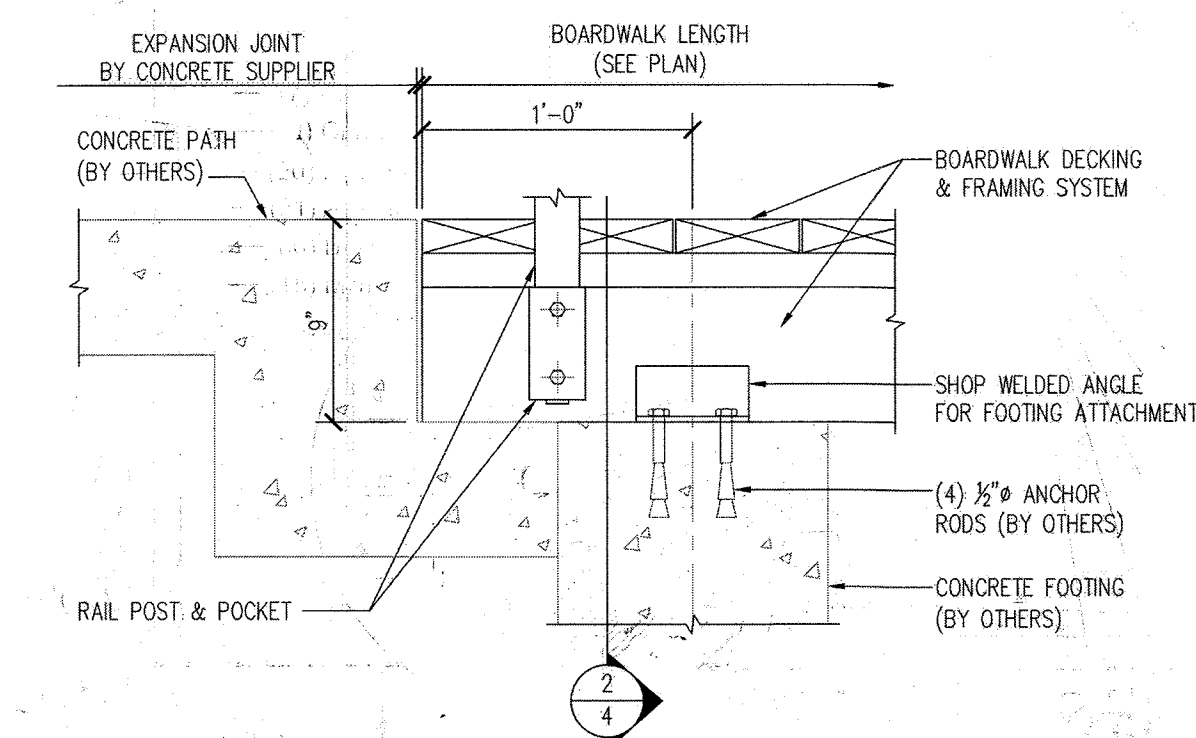
1 TYP. BOARDWALK ENLARGEMENT
1/2" = 1'-0"



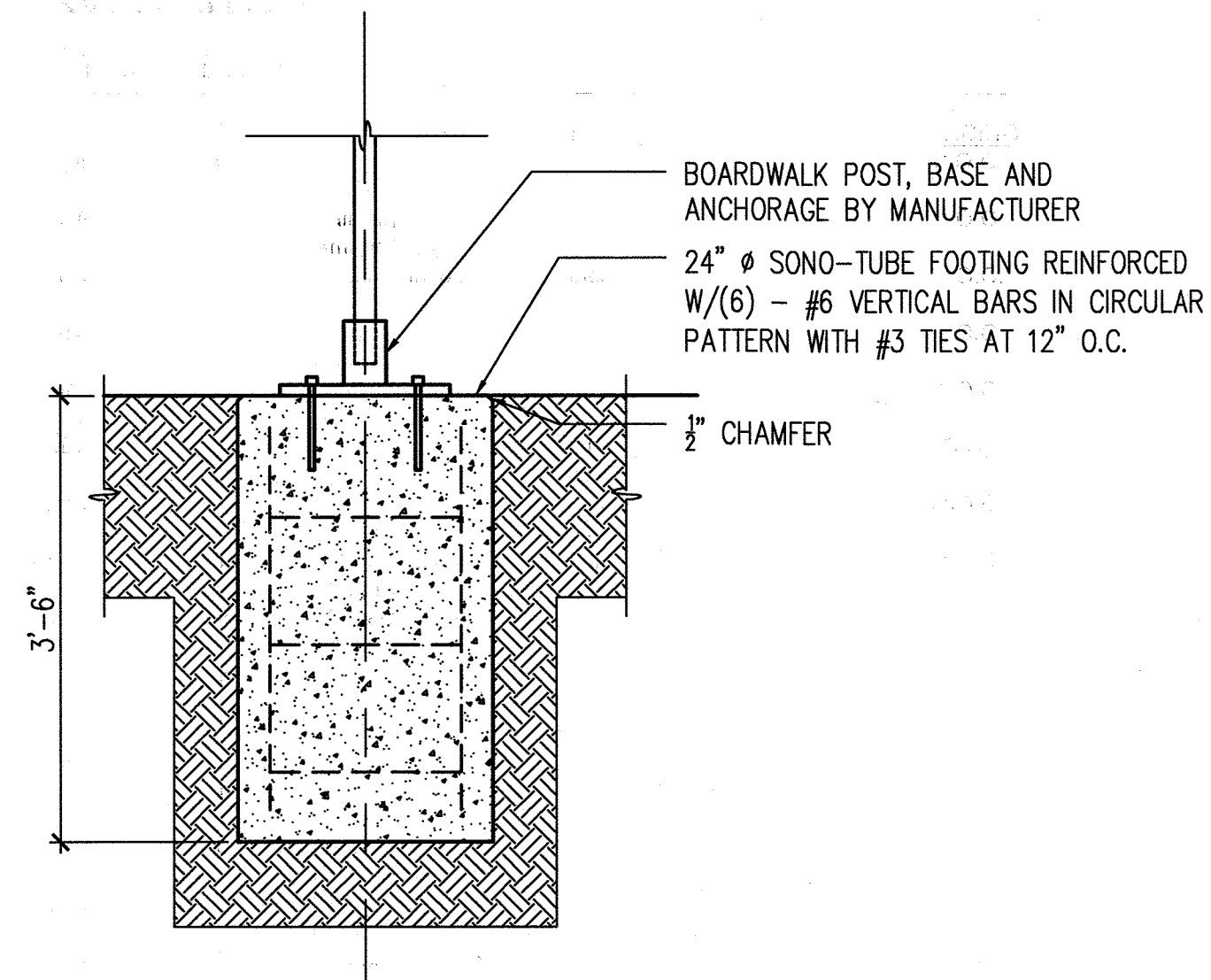
2 TYP. BOARDWALK SECTION
N.T.S.



3 TYP. BOARDWALK HANDRAIL DETAIL
N.T.S.



4 BOARDWALK ADJACENT TO CONCRETE
N.T.S.



5 BOARDWALK SONO-TUBE FOOTING
3/4" = 1'-0"

APPROVED
PLANNING BOARD OF HOWARD COUNTY
Date: May 16, 2019

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

Valerie J. Miller 8-29-19
Director Date

Wendell D. Miller 8-29-19
Chief, Division of Land Development Date

Wendell D. Miller 8-19-19
Chief, Development Engineering Division Date

Design Collective

ARCHITECTURE PLANNING INTERIORS
LANDSCAPE ARCHITECTURE GRAPHICS

601 East Park Street, Suite 300
Baltimore, Maryland 21202
P: 410.688.6855 www.designcollective.com

DES.	DRN.	CHK.	DATE	REVISION	BY	APPR.

DES.	DRN.	CHK.	DATE	REVISION	BY	APPR.

PREPARED FOR:
ACB PARKING BUSINESS TRUST
c/o THE HOWARD RESEARCH
AND DEVELOPMENT CORP.
10480 LITTLE PATUXENT PARKWAY
COLUMBIA, MARYLAND 21044
CONTACT: CAROL DOONEY

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By: *Matt D'Amico*, PLA
Design Collective, Inc.

BOARDWALK DETAILS

PUBLIC DOWNTOWN NEIGHBORHOOD SQUARE
DOWNTOWN COLUMBIA
LAKEFRONT CORE
OPEN SPACE LOT 1
PLAT No. 25127

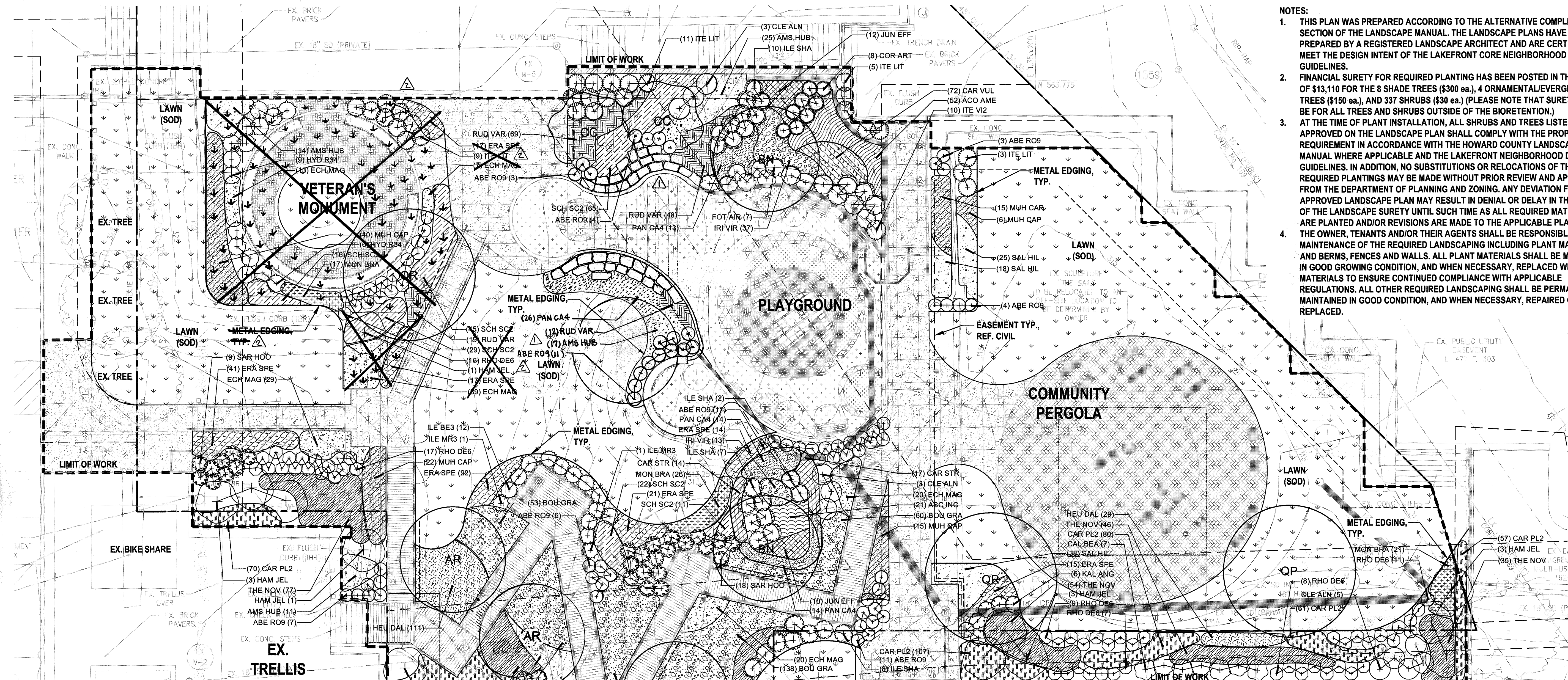
NO ASBUILT INFORMATION
07/09/2020

ELECTION DISTRICT No. 5

HOWARD COUNTY, MARYLAND

SCALE	ZONING	FILE No.
AS SHOWN	NT	18050
DATE	TAX MAP - GRID	SHEET
JULY, 2019	36 - 2	21 OF 25

LS-509



- NOTES:**
- THIS PLAN WAS PREPARED ACCORDING TO THE ALTERNATIVE COMPLIANCE SECTION OF THE LANDSCAPE MANUAL. THE LANDSCAPE PLANS HAVE BEEN PREPARED BY A REGISTERED LANDSCAPE ARCHITECT AND ARE CERTIFIED TO MEET THE DESIGN INTENT OF THE LAKEFRONT CORE NEIGHBORHOOD DESIGN GUIDELINES.
 - FINANCIAL SURETY FOR REQUIRED PLANTING HAS BEEN POSTED IN THE AMOUNT OF \$13,110 FOR THE 8 SHADE TREES (\$300 ea.), 4 ORNAMENTAL/EVERGREEN TREES (\$150 ea.), AND 337 SHRUBS (\$30 ea.) (PLEASE NOTE THAT SURETY WOULD BE FOR ALL TREES AND SHRUBS OUTSIDE OF THE BIORETENTION.)
 - AT THE TIME OF PLANT INSTALLATION, ALL SHRUBS AND TREES LISTED AND APPROVED ON THE LANDSCAPE PLAN SHALL COMPLY WITH THE PROPER HEIGHT REQUIREMENT IN ACCORDANCE WITH THE HOWARD COUNTY LANDSCAPE MANUAL WHERE APPLICABLE AND THE LAKEFRONT CORE NEIGHBORHOOD DESIGN GUIDELINES. IN ADDITION, NO SUBSTITUTIONS OR RELOCATIONS OF THE REQUIRED PLANTINGS MAY BE MADE WITHOUT PRIOR REVIEW AND APPROVAL FROM THE DEPARTMENT OF PLANNING AND ZONING. ANY DEVIATION FROM THE APPROVED LANDSCAPE PLAN MAY RESULT IN DENIAL OR DELAY IN THE RELEASE OF THE LANDSCAPE SURETY UNTIL SUCH TIME AS ALL REQUIRED MATERIALS ARE PLANTED AND/OR REVISIONS ARE MADE TO THE APPLICABLE PLANS.
 - THE OWNER, TENANTS AND/OR THEIR AGENTS SHALL BE RESPONSIBLE FOR MAINTENANCE OF THE REQUIRED LANDSCAPING INCLUDING PLANT MATERIALS AND BERMS, FENCES AND WALLS. ALL PLANT MATERIALS SHALL BE MAINTAINED IN GOOD GROWING CONDITION, AND WHEN NECESSARY, REPLACED WITH NEW MATERIALS TO ENSURE CONTINUED COMPLIANCE WITH APPLICABLE REGULATIONS. ALL OTHER REQUIRED LANDSCAPING SHALL BE PERMANENTLY MAINTAINED IN GOOD CONDITION, AND WHEN NECESSARY, REPAIRED OR REPLACED.

CERTIFICATION NOTE:
I/WE CERTIFY THAT THE LANDSCAPING SHOWN ON THIS PLAN WILL BE DONE ACCORDING TO THE PLAN, SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL FOR NEW TOWN ALTERNATIVE COMPLIANCE AND THE LAKEFRONT CORE NEIGHBORHOOD DESIGN GUIDELINES. I/WE FURTHER CERTIFY THAT UPON COMPLETION A LETTER OF LANDSCAPE INSTALLATION, ACCOMPANIED BY AN EXECUTED ONE YEAR GUARANTEE OF PLANT MATERIALS, WILL BE SUBMITTED TO THE DEPARTMENT OF PLANNING AND ZONING.

Wm. T. Rowe SVP
DEVELOPER'S/OWNER'S NAME
DEVELOPER'S/OWNER'S NAME

TREE SCHEDULE

DECIDUOUS TREES	QTY	BOTANICAL / COMMON NAME	CONT	CAL	SIZE	REMARKS
AR	4	Acer rubrum 'Franksred'	B & B		3"-3.5" Cal.	
BN	2	Betula nigra 'Cully'	B & B		10-12' HT.	Multi Stemmed
QP	1	Quercus phellos	B & B		3"-3.5" Cal.	Spring dug
QR	1	Quercus rubra	B & B		3"-3.5" Cal.	Spring dug
ORNAMENTAL TREES	QTY	BOTANICAL / COMMON NAME	CONT	CAL	SIZE	REMARKS
AC	2	Amelanchier canadensis	B & B		8-10' HT.	
CC	2	Cercis canadensis	B & B		8-10' HT.	

----- ROOT BARRIER

HAVEN ENTRANCE

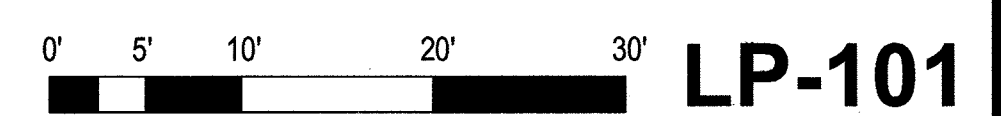
PLANT SCHEDULE

SHRUBS	QTY	BOTANICAL / COMMON NAME	SIZE	SPACING	REMARKS
ABE RO9	66	Abelia x 'Rose Creek'	5 gal	36" O.C.	
CAL BEA	12	Callicarpa americana	7 gal	48" O.C.	
CLE ALN	11	Clethra alnifolia 'Ruby Spice'	7 gal	48" O.C.	
COR ART	8	Ruby Spice Clethra	7 gal	36" O.C.	
FOT AIR	7	Cornus sericea 'Artic Fire'	7 gal	42" O.C.	
HAM JEL	11	Fothergilla gardenii 'Mt. Airy'	6' HT.	8' O.C.	
HYD R34	16	Dwarf Witchhazel	7 gal	42" O.C.	
ILE BE3	12	Hamamelis x intermedia 'Jelena'	5 gal	36" O.C.	
ILE MR3	2	Yellow Orange Witch Hazel	5 gal	42" O.C.	
ILE SHA	27	Hydrangea quercifolia 'Ruby Slippers'	5 gal	42" O.C.	
ITE LIT	10	Ilex verticillata 'Berry Poppins'	5 gal	30" O.C.	
ITE V12	10	Berry Poppins Winterberry Holly	5 gal	42" O.C.	
KAL ANG	6	Ilex verticillata 'Mr. Poppins'	5 gal	42" O.C.	
RHO DE6	52	Ilex glabra 'Shamrock'	5 gal	36" O.C.	
SAR HOO	53	Inkberry	5 gal	36" O.C.	
ACO AME	52	Itea virginica 'Little Henry' TM	1 gal	18" O.C.	
ASC INC	21	Virginia Sweetspire	1 gal	18" O.C.	
CAR STR	31	Ilex glabra 'Densa'	1 gal	18" O.C.	

WHOLE FOODS

CAR VUL	QTY	BOTANICAL / COMMON NAME	CONT	SPACING	REMARKS
IRI VIR	50	Carex vulpinoidea	1 gal	12" O.C.	
JUN EFF	22	Brown Fox Sedge	1 gal	18" O.C.	
PAN CA4	67	Iris virginica	1 gal	24" O.C.	
FERN THE NOV	284	Juncus effusus	1 gal	18" O.C.	
GRASSES BOU GRA	397	Soft Rush	1 gal	18" O.C.	
CAR PL2	509	Panicum virgatum 'Cape Breeze'	1 gal	12" O.C.	
ERA SPE	113	Switch Grass	1 gal	18" O.C.	
MUH CAP	58	Carex plantaginea	1 gal	24" O.C.	
SCH SC2	98	Plantain-Leaved Sedge	1 gal	18" O.C.	
PERENNIALS AMS HUB	53	Eragrostis spectabilis	1 gal	24" O.C.	
ECH MAG	69	Muhlenbergia capillaris	1 gal	18" O.C.	
HEU DAL	140	Pink Muhly	1 gal	15" O.C.	
MON BRA	47	Schizachyrium scoparium 'The Blues'	1 gal	18" O.C.	
RUD VAR	129	The Blues Little Bluestem	1 qt	15" O.C.	
SAL HIL	112	American Alumroot	1 gal	18" O.C.	

NOTE: ALL SOD SHALL BE MARYLAND CERTIFIED TALL FESCUE SOD WITH 3 VARIETIES APPROVED BY THE UNIVERSITY OF MARYLAND. 9,720 SF TOTAL SOD.



APPROVED PLANNING BOARD OF HOWARD COUNTY

Date: May 16, 2019

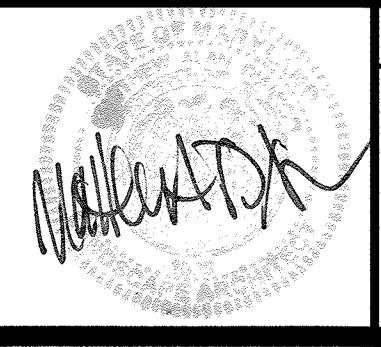
APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
Nathan J. ... 8-29-19
 Director
Kristina ... 8-29-19
 Chief, Division of Land Development
... 8-19-19
 Chief, Development Engineering Division

Design Collective

DES.	DRN.	CHK.	DATE	REVISION	BY	APP'R.
			05/16/20	Planting removed at Veterans Monument. Replaced with wood.	WJ	MJT
			07/07/20	Planting Rearranged for slope/Boulders; trees added	WJ	MJT

PREPARED FOR:
ACB PARKING BUSINESS TRUST
c/o THE HOWARD RESEARCH AND DEVELOPMENT CORP.
10480 LITTLE PATUXENT PARKWAY
COLUMBIA, MARYLAND 21044
CONTACT: CAROL DOONEY

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By: Matt D'Amico, PLA
Design Collective, Inc.

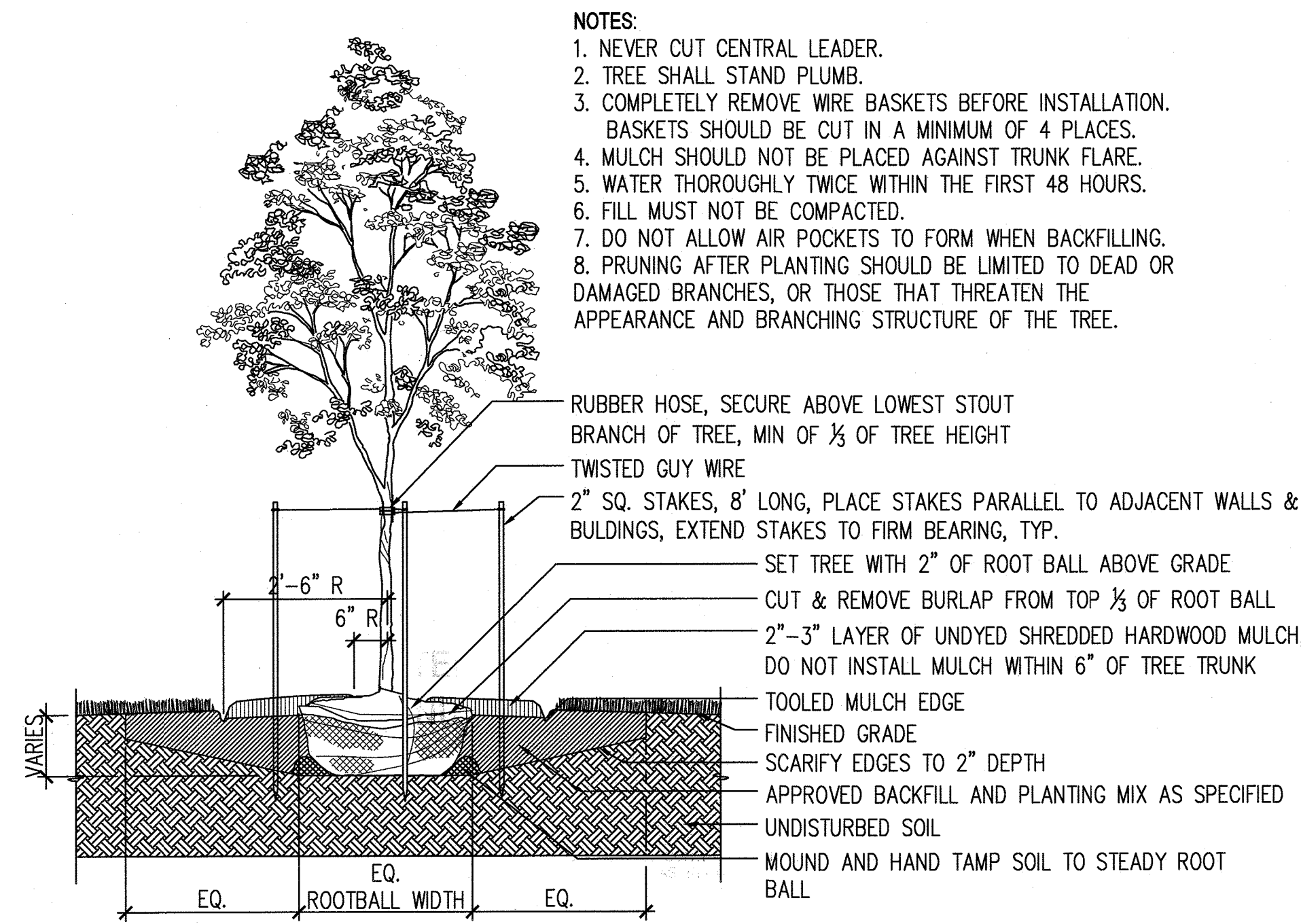


PLANTING PLAN
PUBLIC DOWNTOWN NEIGHBORHOOD SQUARE
DOWNTOWN COLUMBIA
LAKEFRONT CORE
OPEN SPACE LOT 1
PLAT No. 25127

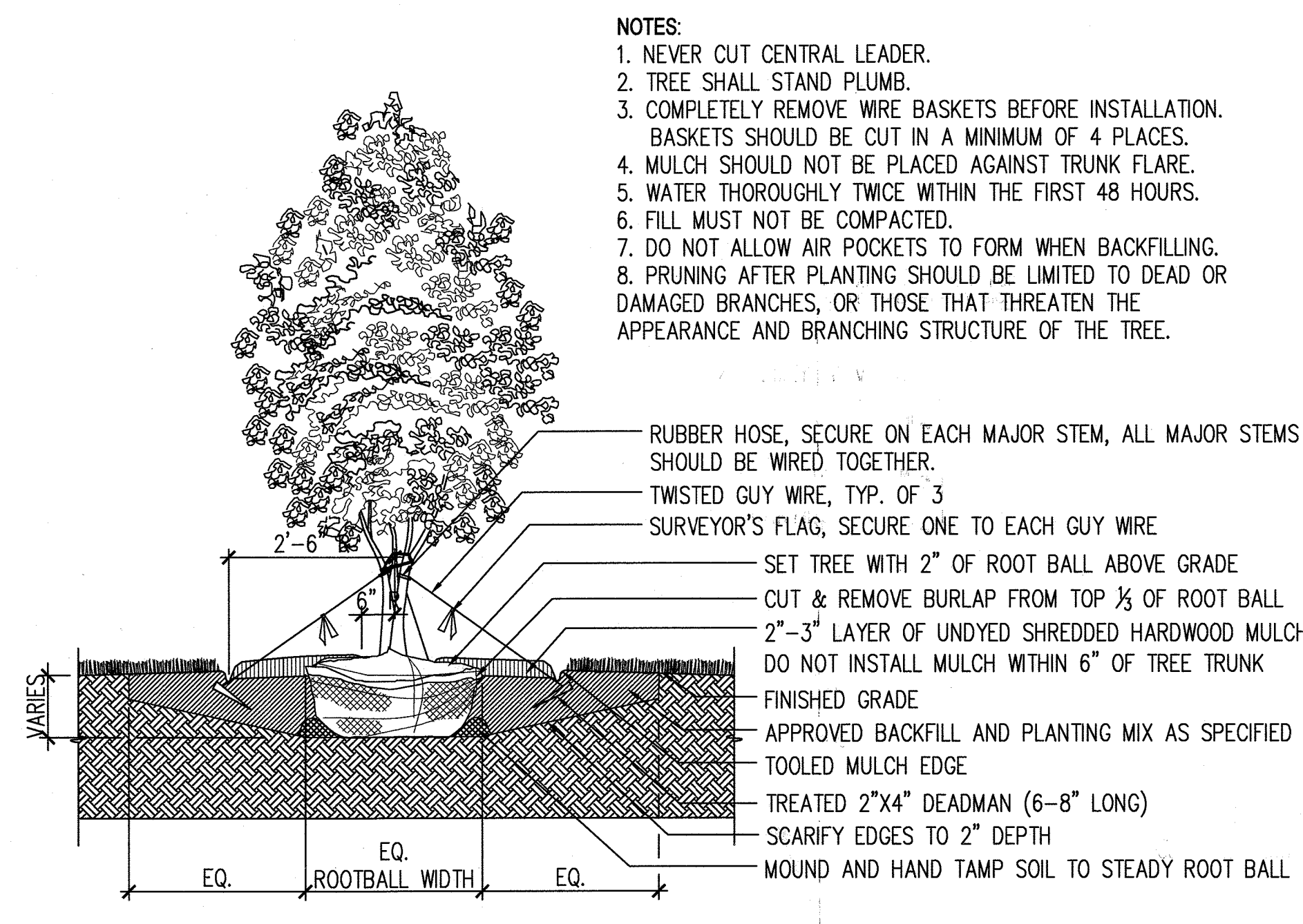
NO ABSTRACT INFORMATION
07/09/2020

ELECTION DISTRICT No. 5

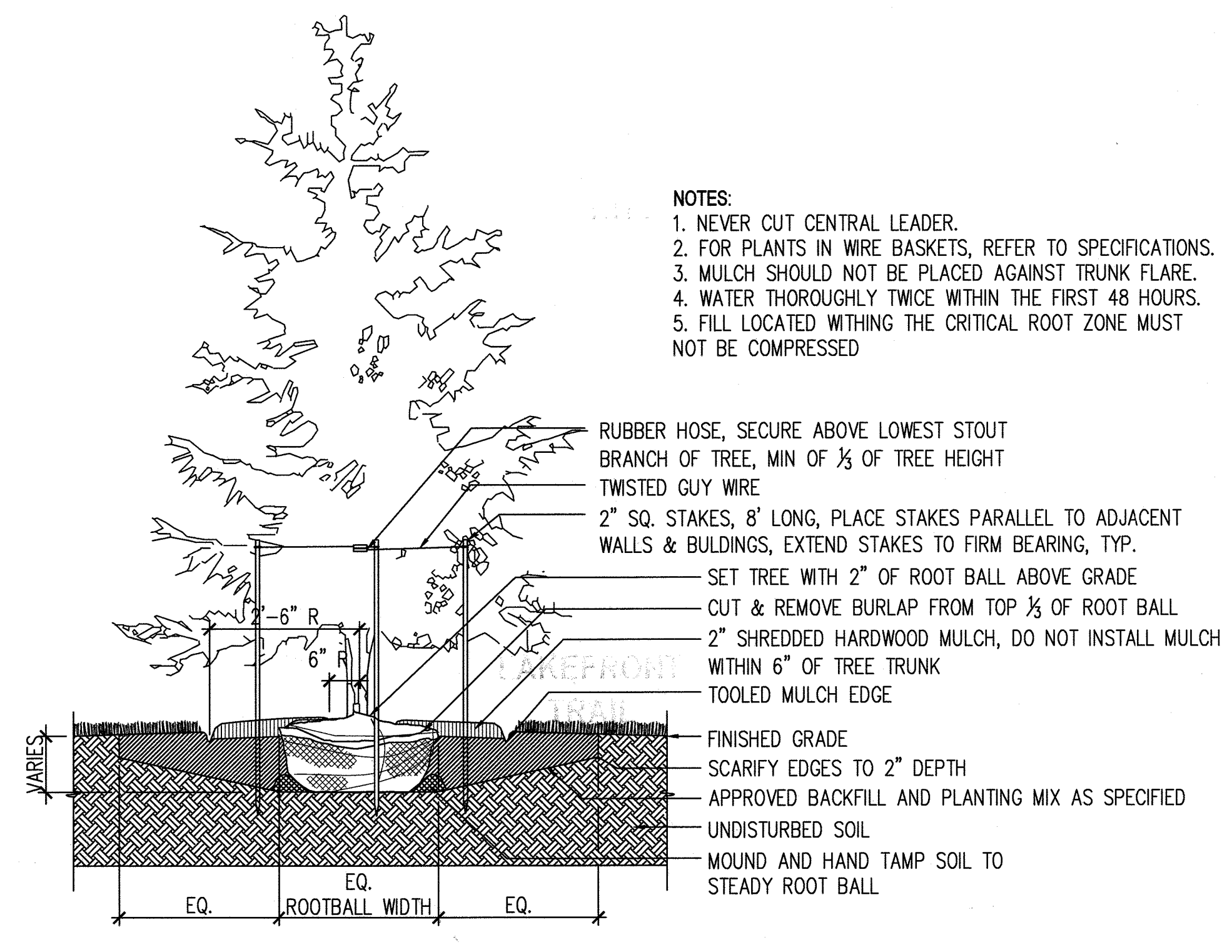
SCALE	ZONING	FILE No.
1" = 10'	NT	18050
DATE	TAX MAP - GRIC	SHEET
JULY, 2019	36 - 2	22 OF 25



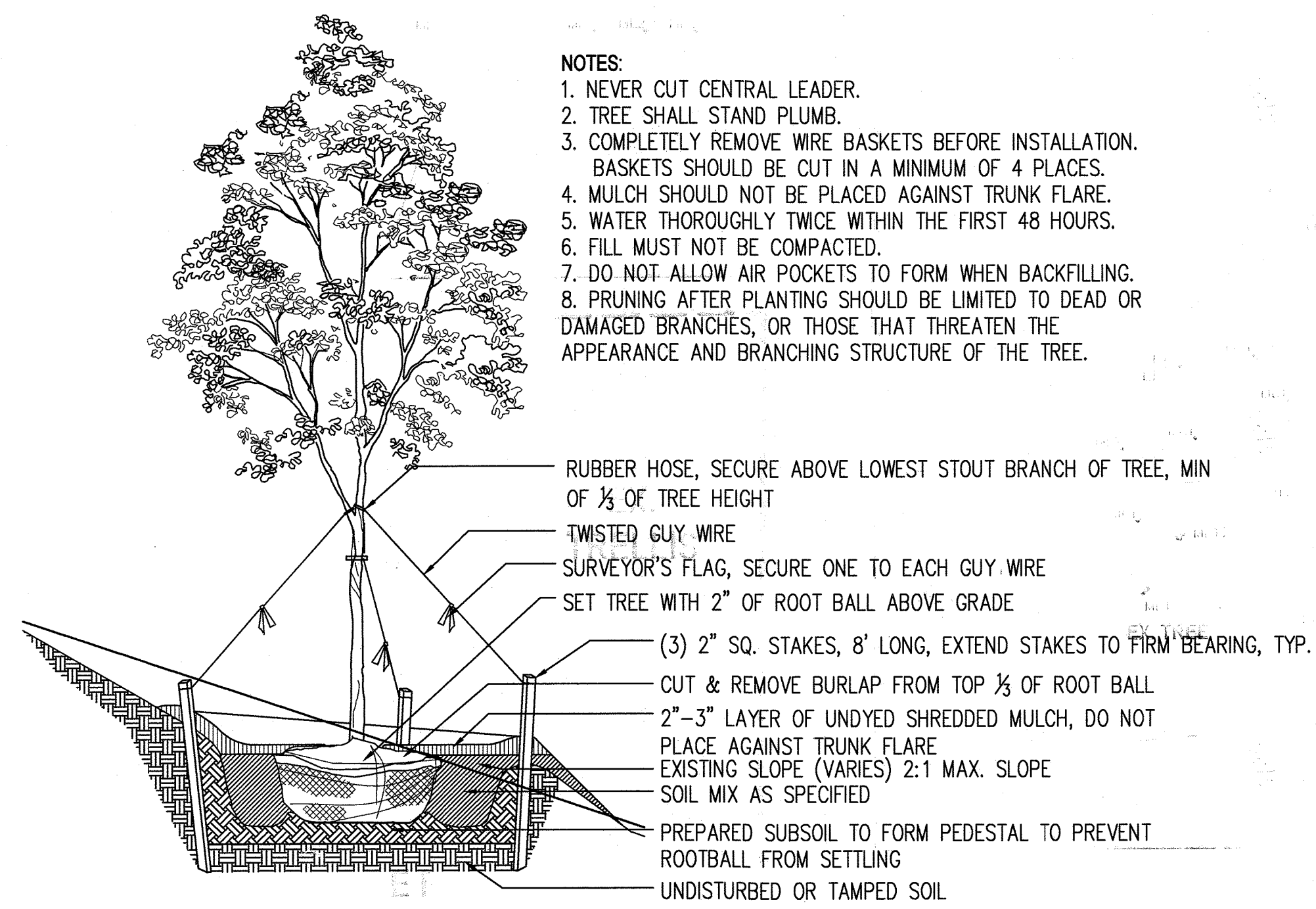
1 DECIDUOUS TREE PLANTING - STAKED
1/2" = 1'-0"



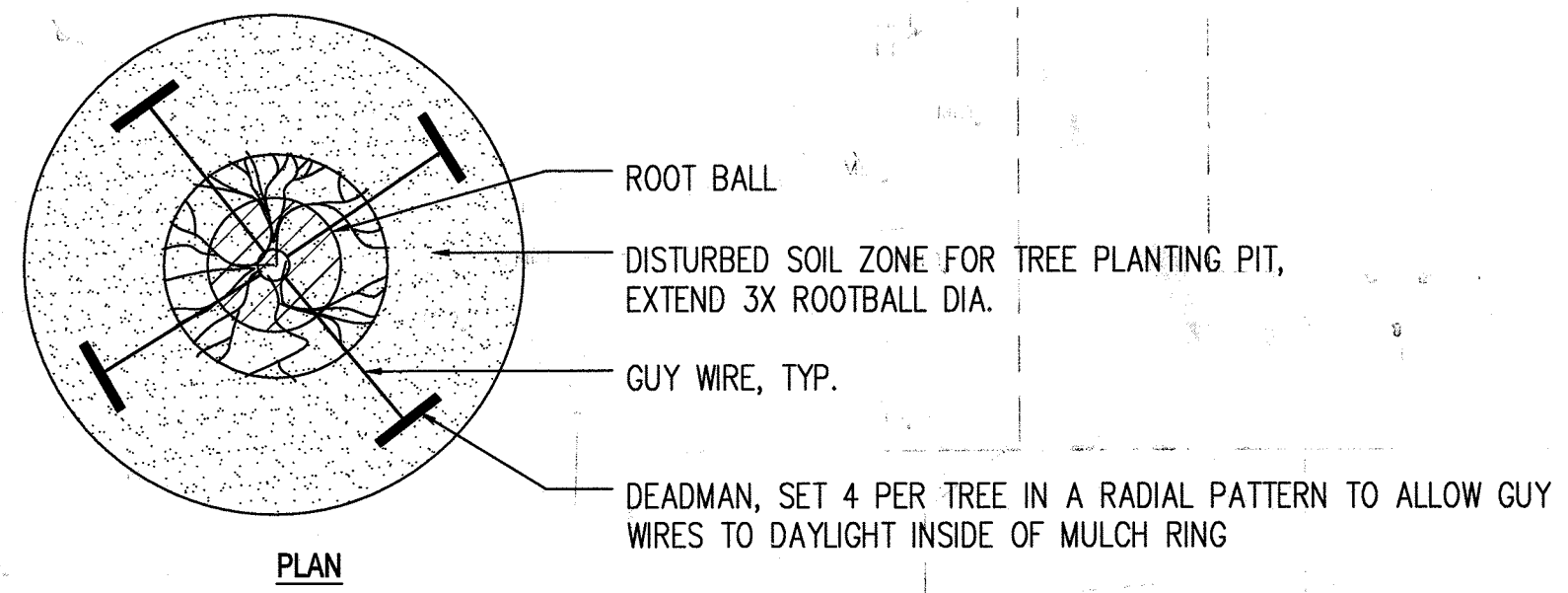
2 MULTI-STEMMED TREE PLANTING - STAKED
1/2" = 1'-0"



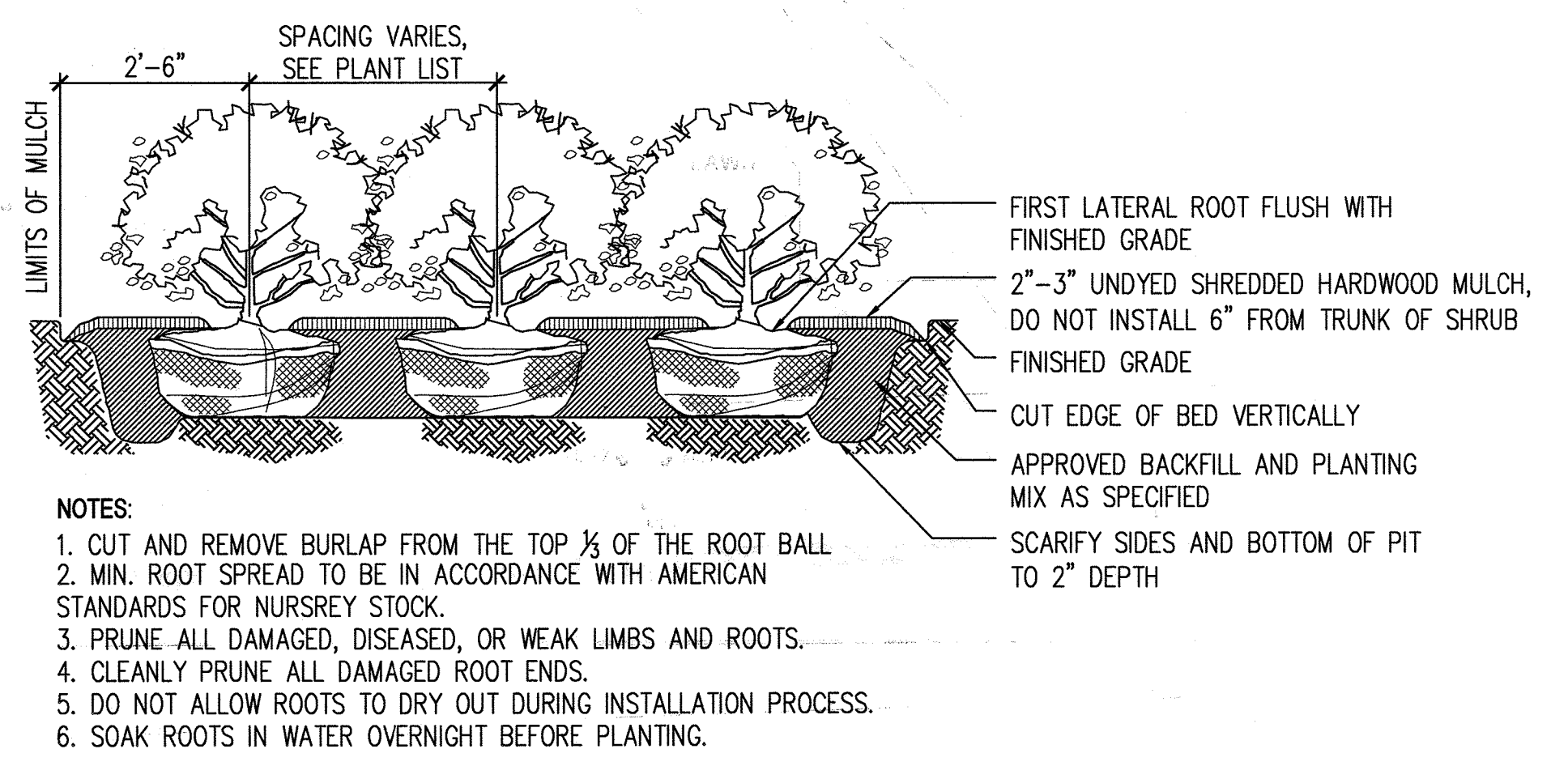
3 EVERGREEN TREE PLANTING - STAKED
1/2" = 1'-0"



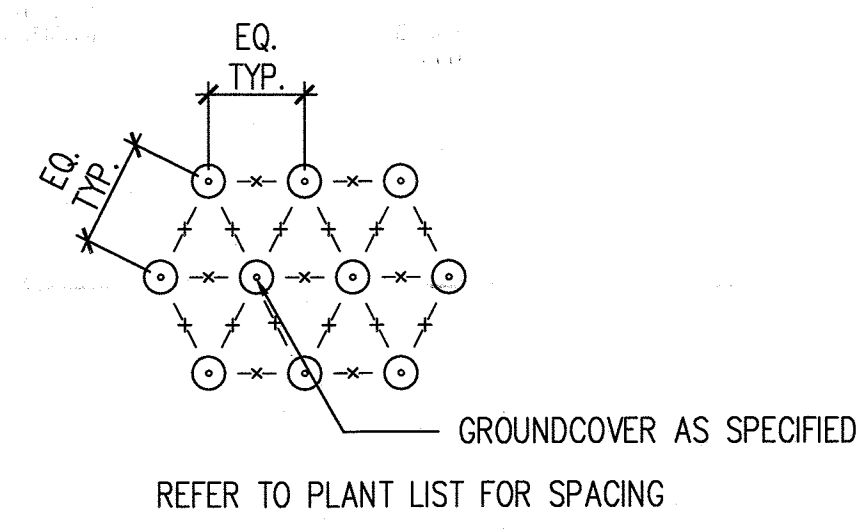
4 SLOPED TREE PLANTING
1/2" = 1'-0"



5 STAKED PLAN ENLARGEMENT
1/2" = 1'-0"



6 SHRUB PLANTING
1/2" = 1'-0"



7 PLANT SPACING DIAGRAM
1/2" = 1'-0"

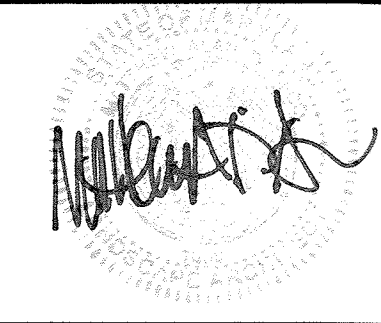
APPROVED
PLANNING BOARD OF HOWARD COUNTY
Date: May 16, 2019

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
N. Walling 0-29-19
Director Date
C. L. L. L. 8/29/19
Chief, Division of Land Development Date
A. L. L. 8/19/19
Chief, Development Engineering Division Date

DES.	DRN.	CHK.	DATE	REVISION	BY	APP'R.

PREPARED FOR:
ACB PARKING BUSINESS TRUST
c/o THE HOWARD RESEARCH
AND DEVELOPMENT CORP.
10480 LITTLE PATUXENT PARKWAY
COLUMBIA, MARYLAND 21044
CONTACT: CAROL DOONEY

"I certify that these documents were prepared or approved by me, and that I am a duly licensed landscape architect under the laws of the State of Maryland, License No. 1039, expiration date 06/12/2020"
By: Matt D'Amico, PLA
Design Collective, Inc.

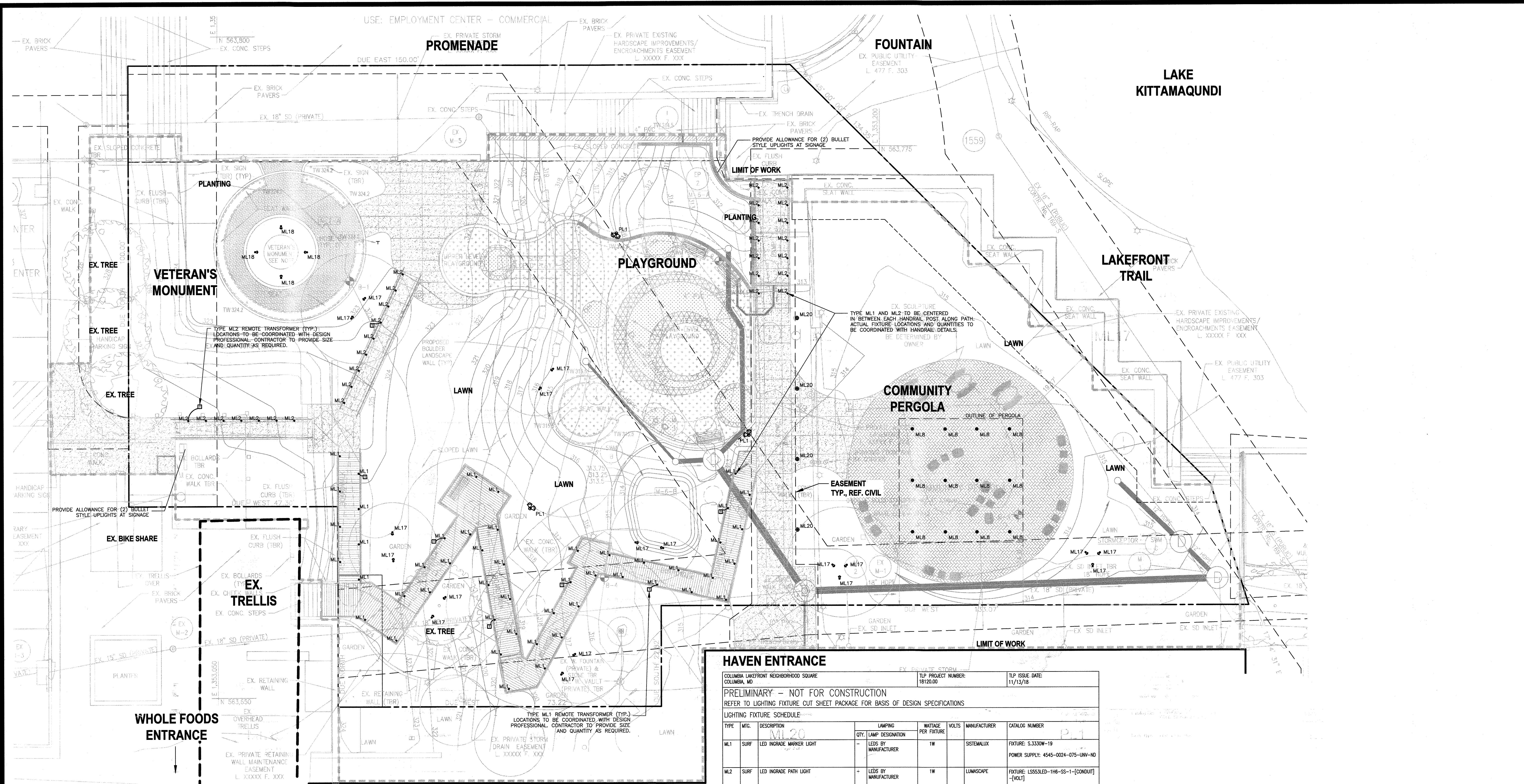


PLANTING DETAILS
PUBLIC DOWNTOWN NEIGHBORHOOD SQUARE
DOWNTOWN COLUMBIA
LAKEFRONT CORE
OPEN SPACE LOT 1
PLAT No. 25117
ELECTION DISTRICT No. 5
HOWARD COUNTY, MARYLAND

NO AS-BUILT INFORMATION
07/09/2020

SCALE AS SHOWN	ZONING NT	FILE No. 18050
DATE JULY, 2019	TAX MAP - GRID 36 - 2	SHEET 23 OF 25

LP-501



HAVEN ENTRANCE

COLUMBIA LAKEFRONT NEIGHBORHOOD SQUARE
COLUMBIA, MD

TLP PROJECT NUMBER: 18120.00
TLP ISSUE DATE: 11/15/18

PRELIMINARY - NOT FOR CONSTRUCTION
REFER TO LIGHTING FIXTURE CUT SHEET PACKAGE FOR BASIS OF DESIGN SPECIFICATIONS

LIGHTING FIXTURE SCHEDULE

TYPE	MTG.	DESCRIPTION	QTY.	LAMPING	WATTAGE PER FIXTURE	VOLTS	MANUFACTURER	CATALOG NUMBER
ML1	SURF	LED INGRADE MARKER LIGHT	-	LEDS BY MANUFACTURER	1W		SIEMALUX	FIXTURE: S.3330W-19 POWER SUPPLY: 4545-0024-075-UNV-ND
ML2	SURF	LED INGRADE PATH LIGHT	-	LEDS BY MANUFACTURER	1W		LUMASCOPE	FIXTURE: LS553LED-1HG-SS-1-[CONDUIT]-[VOLT] POWER SUPPLY: LSLED-24V6W-[VOLT]
ML8	SURF	LED CYLINDER DOWNLIGHT	-	LEDS BY MANUFACTURER	7W		BK LIGHTING	EC-LED-465-WL-[FINISH]-12-11-B + PM1-SM-TR20-1-[VOLT]
ML17	SURF	LED TREE ACCENT	-	LEDS BY MANUFACTURER	20W		BK LIGHTING	DE-LED-X62-FL-[FINISH]-12-11-C + HP2-D20NC-MT
ML18	SURF	LED INGRADE UPLIGHT	-	LEDS BY MANUFACTURER	20W		BK LIGHTING	HP2-LED-TR-X62-[FINISH]-11-12-D20NC-AH
ML20	SURF	LED EXTERIOR BOLLARD	-	LEDS BY MANUFACTURER	13W		SIEMALUX	SL1921W-UNV-20
PL1	SURF	LED POLE LIGHT	-	LEDS BY MANUFACTURER	40W		BEGA	FIXTURE: (2X) 77705-[FINISH]-K3 + 70757 POLE: 1908HR-[FINISH]

APPROVED
PLANNING BOARD OF HOWARD COUNTY

Date: May 16, 2019

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

Walter J. Lee 02/29/19
Director Date

Victor Salazar 02/29/19
Chief, Division of Land Development Date

Al Clark 02/29/19
Chief, Development Engineering Division Date

Design Collective

ARCHITECTURE PLANNING INTERIORS
LANDSCAPE ARCHITECTURE

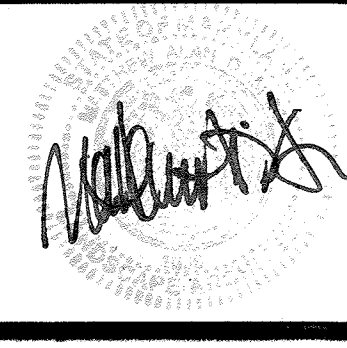
400 East Park Street, Suite 300
Baltimore, Maryland 21202
P: 410 685 6655 www.designcollective.com

DES.	DRN.	CHK.	DATE	REVISION	BY	APPR.

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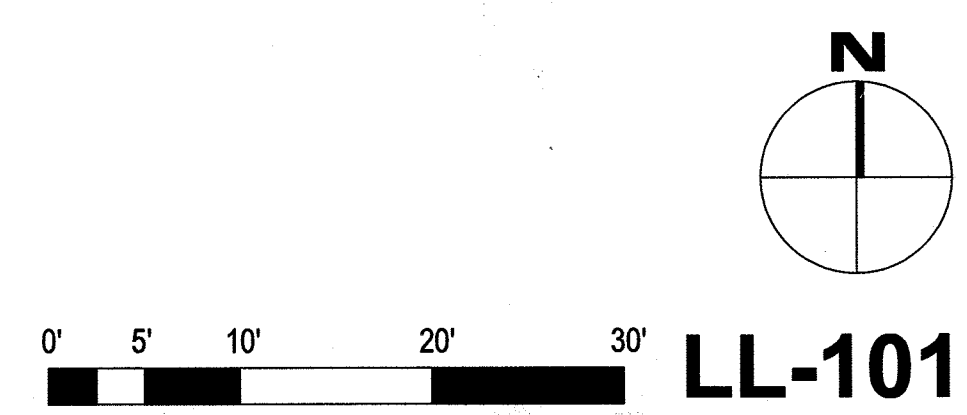
ELECTION DISTRICT No. 5

LIGHTING PLAN

PUBLIC DOWNTOWN NEIGHBORHOOD SQUARE
DOWNTOWN COLUMBIA
LAKEFRONT CORE
OPEN SPACE LOT 1
PLAT No. 25127

NO ASBUILT INFORMATION
07/09/2020

SCALE	ZONING	FILE No.
1" = 10'	NT	18050
DATE	TAX MAP - GRID	SHEET
JULY, 2019	36 - 2	24 OF 25



FOCUS RECESSED DECK LIGHTS SL-37 SERIES TYPE READY

CONSTRUCTION: Body finished copper substrate (LAMP only) with stainless steel. Cast aluminum housing with stainless steel mounting ring. High impact clear tempered glass lens.

LED Options: SL-37MR16-COP, SL-37MR11-COP, SL-37MR8-COP

ORDERING INFORMATION: CATALOG NO., DESCRIPTION, LAMP, SHIP WEIGHT

BEAM/ANGLE CONTROL ACCESSORIES: R-30-20C-16, R-30-20C-18, R-30-20C-19, R-30-20C-20, R-30-20C-21

Job Information: Name, Date, Location, Specification, Notes, etc.

LS553LED Via Ingrade

15053LED Pre-Installation Blockout Version

15053LED Direct Recessed Version

Stainless Wiring Diagram

EL CAPITAN™

CATALOG NUMBER LOGIC

Example: EC - LED - 65W - 12" - 11" - 8

ABSOLUTE FINISH, BEAM FINISH, PRISM FINISH

ABSOLUTE FINISH: Black, White, Anodized, etc.

BEAM FINISH: Beam, Flood, etc.

PRISM FINISH: Prismatic, etc.

DENALI SERIES™ FLOODLIGHT

CATALOG NUMBER LOGIC

Example: DE - LED - 65W - 12" - 11" - 8

ABSOLUTE FINISH, BEAM FINISH, PRISM FINISH

HP2 DRIVER HOUSING

CATALOG NUMBER LOGIC

Example: HP2 - D120NC - MT - 65W

DRIVER HOUSING: HP2, D120NC, MT, 65W

Catalog No: SL-37MR11-COP + FA-104-37C-11

Date: 11/18/2018

Fixture Type: ML1

Lamp Type: LEDs BY MANUFACTURER

Page: 2 of 1

Catalog No: LS553LED-1H6-SS-1 (CONDUIT) [VOLT]

Date: 11/12/2018

Fixture Type: ML2

Lamp Type: LEDs BY MANUFACTURER

Page: 2 of 7

Catalog No: EC-LED-65W-FL-FINISH-12-11-8 + PM1-SM-TRex2-1

Date: 11/13/2018

Fixture Type: ML8

Lamp Type: LEDs BY MANUFACTURER

Page: 1 of 6

Catalog No: DE-LED-X62-FL-FINISH-12-11-C + HP2-D20INC-MT

Date: 10/16/2018

Fixture Type: ML17

Lamp Type: LEDs BY MANUFACTURER

Page: 1 of 5

Catalog No: DE-LED-X62-FL-FINISH-12-11-C + HP2-D20INC-MT

Date: 10/16/2018

Fixture Type: ML17

Lamp Type: LEDs BY MANUFACTURER

Page: 1 of 5

1 ML1 N.T.S.

2 ML2 N.T.S.

3 ML8 N.T.S.

4 ML17 N.T.S.

HP2 DRIVER HOUSING

CATALOG NUMBER LOGIC

Example: HP2 - D120NC - MT - 65W

ABSOLUTE FINISH, BEAM FINISH, PRISM FINISH

MINI LOOK ROLLARWOOD

TECHNICAL DATA

LOAD	CCT	CHI	OPTIC	DELIVERED LUMENS	LUMINAIRE EFFICACY	CENTER BEAM CANDLE POWER	MODEL
90W	3000K	90	Accent light	3350	36	263	S.LS209W - 230mm
130W	3000K	90	Accent light	3350	36	263	S.LS211W - 560mm

ACCESSORY: 8-7249 - Flange with angled screw

MINI LOOK ROLLARWOOD

TECHNICAL DATA

LOAD	CCT	CHI	OPTIC	DELIVERED LUMENS	LUMINAIRE EFFICACY	CENTER BEAM CANDLE POWER	MODEL
3000W	3000K	90	Accent light	3350	36	263	S.LS209W - 230mm
3000W	3000K	90	Accent light	3350	36	263	S.LS211W - 560mm

ACCESSORY: 8-7249 - Flange with angled screw

Compact floodlight

Weight: 5.0 lbs.

Material: 6061-T6 Aluminum

Finish: Anodized Aluminum

Mounting: 1/4" x 1/4" stainless steel flange

1908R 3" - 6" Tapered round hinged pole

Weight: 17.0 lbs.

Material: 6061-T6 Aluminum

Finish: Anodized Aluminum

Catalog No: HP2-LED-TR-X62-FINISH-12-11-2-D20INC-AH

Date: 10/16/2018

Fixture Type: ML18

Lamp Type: LEDs BY MANUFACTURER

Page: 1 of 3

Catalog No: S.LS211W-UNV-20

Date: 10/16/2018

Fixture Type: ML20

Lamp Type: LEDs BY MANUFACTURER

Page: 1 of 2

Catalog No: S.LS211W-UNV-20

Date: 10/16/2018

Fixture Type: ML20

Lamp Type: LEDs BY MANUFACTURER

Page: 2 of 2

Catalog No: FIXTURE: (2x) 77705-FINISH-K3 + 70757 POLE: 1908R-FL-FINISH

Date: 11/06/2018

Fixture Type: PL1

Lamp Type: LEDs BY MANUFACTURER

Page: 1 of 2

Catalog No: FIXTURE: (2x) 77705-FINISH-K3 + 70757 POLE: 1908R-FL-FINISH

Date: 11/06/2018

Fixture Type: PL1

Lamp Type: LEDs BY MANUFACTURER

Page: 2 of 2

5 ML18 N.T.S.

6 ML20 N.T.S.

7 PL1 N.T.S.

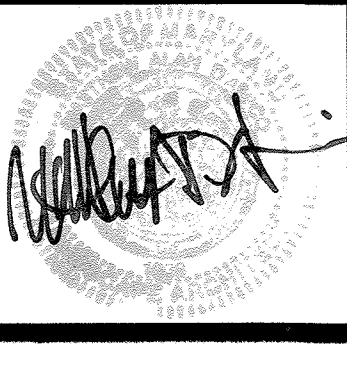
APPROVED
PLANNING BOARD OF HOWARD COUNTY
Date: May 16, 2019

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
Director: Nallein Zylstra Date: 5-29-19
Chief, Division of Land Development: Kevin Johnson Date: 5/29/19
Chief, Development Engineering Division: John Hoff Date: 5-19-19

DES.	DRN.	CHK.	DATE	REVISION	BY	APPR.

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By: Matt D'Amico, PL
Design Collective, Inc.



LIGHTING CUTSHEETS
PUBLIC DOWNTOWN NEIGHBORHOOD SQUARE
DOWNTOWN COLUMBIA
LAKEFRONT CORE
OPEN SPACE LOT 1
PLAT No. 25127

NO ASBUILT INFORMATION
07/09/2020
HOWARD COUNTY, MARYLAND

SCALE	ZONING	FILE No.
1" = 10'-0"	NT	18050
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Design Collective
ARCHITECTURE | PLANNING | INTERIORS | 601 East Pratt Street, Suite 300
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P: 410-525-8252 | WWW.DESIGNCOLLECTIVE.COM