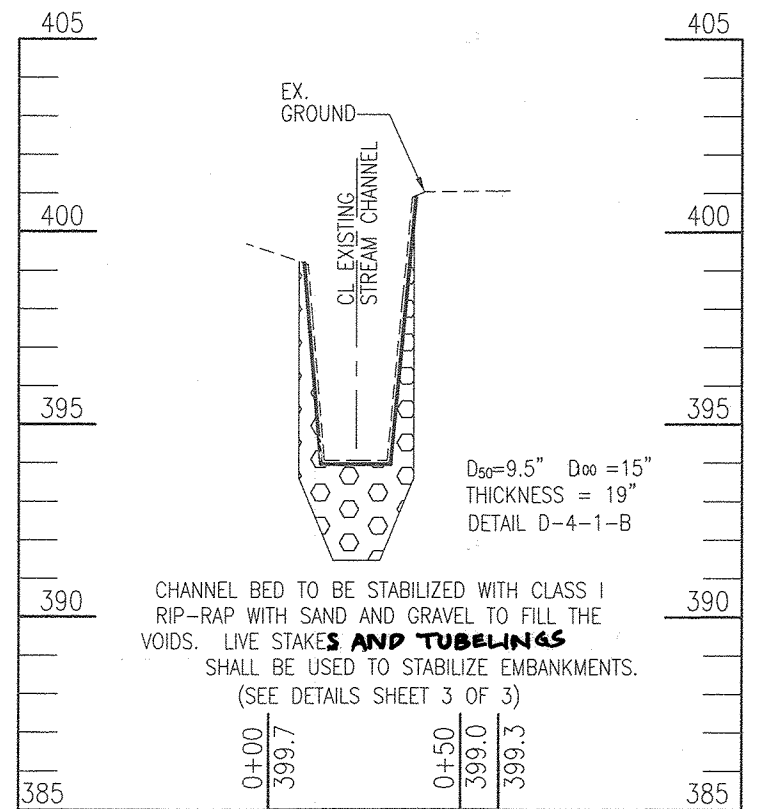
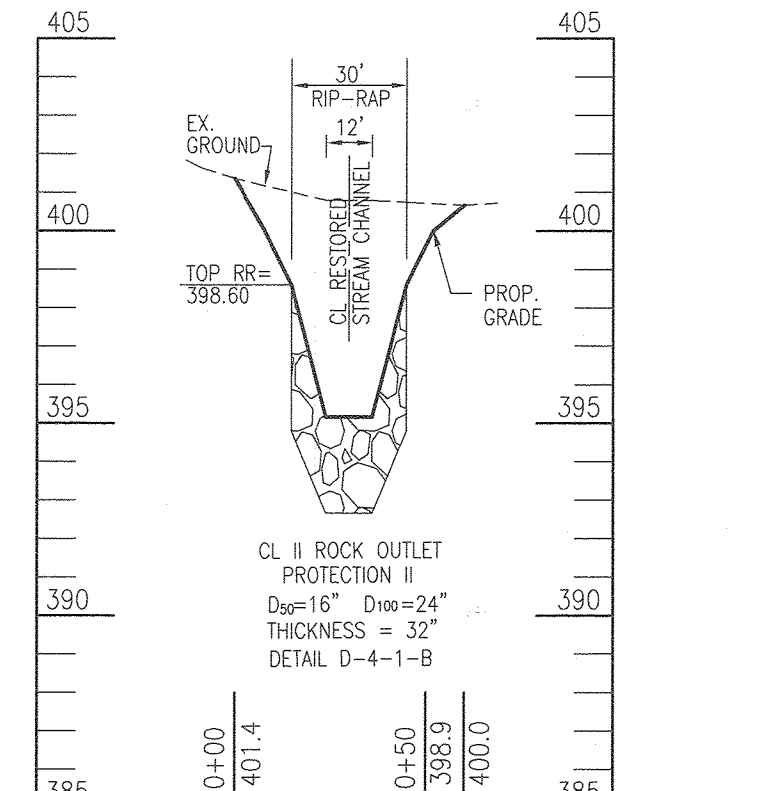


GENERAL NOTES

- 1. PROJECT BACKGROUND: SUBDIVISION NAME: OAKLAND RIDGE INDUSTRIAL PARK... SECTION - 1 LOT 2, PARCEL 239... TOTAL TRACT AREA: 7.00 ACRES... CONTRACT NO. 165-W/S AND CONTRACT NO. 157-S... ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF HOWARD COUNTY STANDARDS AND SPECIFICATIONS UNLESS WAIVERS HAVE BEEN APPROVED... THE CONTRACTOR SHALL NOTIFY THE DEPARTMENT OF PUBLIC WORKS/BUREAU OF ENGINEERING/CONSTRUCTION INSPECTION DIVISION AT (410) 313-1890 AT LEAST FIVE (5) WORKING DAYS PRIOR TO START OF WORK... EXISTING UTILITIES SHOWN FROM ROAD CONSTRUCTION PLANS, FIELD SURVEYS, PUBLIC WATER AND SEWER EXTENSION PLANS AND AVAILABLE RECORD DRAWINGS... THE CONTRACTOR SHALL LOCATE EXISTING UTILITIES WELL IN ADVANCE OF CONSTRUCTION ACTIVITIES AND TAKE ALL NECESSARY PRECAUTIONS TO PROTECT THE EXISTING UTILITIES AND TO MAINTAIN UNINTERRUPTED SERVICE... THE CONTRACTOR SHALL NOTIFY THE DEPARTMENT OF PUBLIC WORKS/BUREAU OF ENGINEERING/CONSTRUCTION INSPECTION DIVISION AT (410) 313-1890 AT LEAST FIVE (5) WORKING DAYS PRIOR TO START OF WORK... THE CONTRACTOR SHALL NOTIFY "MISS UTILITY" AT 1-800-257-7777 AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION WORK... THE SUBJECT PROPERTY IS ZONED NT-INDUSTRIAL IN ACCORDANCE WITH THE 10/6/13 ZONING REGULATIONS... SUBJECT TO THE SUBDIVISION AND LAND DEVELOPMENT REGULATIONS EFFECTIVE 10/2/03 PER COUNCIL BILL 75-2003... DEVELOPMENT OF THESE LOTS MUST COMPLY WITH SEWER AND BUFFER REGULATIONS IN EFFECT AT THE TIME OF SUBMISSION OF THE SITE DEVELOPMENT PLAN... THE PROJECT BOUNDARY AND PROJECT LINES SHOWN HEREON ARE BASED ON A FIELD RUN BOUNDARY SURVEY PERFORMED BY ROBERT H. VOGEL ENGINEERING, INC., DATED JANUARY 2014... THE EXISTING TOPOGRAPHIC INFORMATION FROM HOWARD COUNTY GIS COUNTY RECORDS, AND A FIELD TOPOGRAPHICAL SURVEY WITH TWO FOOT CORNER INTERVALS PERFORMED BY ROBERT H. VOGEL ENGINEERING, INC., DATED JANUARY 2014, COORDINATES AND ELEVATIONS ARE BASED ON MARYLAND COORDINATE SYSTEM - NAD83(1991) AS PROJECTED BY HOWARD COUNTY GEODETIC SURVEY CONTROL 300C... THIS PROPERTY IS LOCATED WITHIN THE METROPOLITAN DISTRICT... WATER FOR THIS PROJECT IS PUBLIC, CONTRACT #165-W/S... SEWER FOR THIS PROJECT IS TO BE PUBLIC, CONTRACT #165-W/S AND 157-S... A FIELD INVESTIGATION BY MCCARTHY AND ASSOCIATES DETERMINED THAT THE PROPERTY DOES NOT CONTAIN ANY WETLANDS... THERE IS A PERMANENT STREAM AND A PORTION OF THE 100 YEAR FLOODPLAIN EXTENDING ALONG THE SITE... DEVELOPMENT WITHIN THE DEVELOPMENT AREA AS PER FEMA FEMA MAPS AND ELEVATIONS APPROVED BY FEMA AND EFFECTIVE FOR COUNTY DEVELOPMENT RESTRICTIONS AS OF MAY 15, 2013, THERE DOES APPEAR TO BE SOME FOREST ON SITE, HOWEVER FOREST CONSERVATION IS NOT REQUIRED IN THE NT ZONING DISTRICT... UNPERMITTED DISTURBANCE TO THE STREAM AND STREAM BUFFER FOR EXTENSION OF A 36" PIPE AND A NEW HEADWALL... THE PURPOSE OF THIS PLAN IS TO RESTORE THE EXISTING CHANNEL AND HEADWALL TO ITS ORIGINAL CONDITION... ENVIRONMENTAL FEATURES WILL BE PROTECTED TO THE GREATEST EXTENT POSSIBLE... THE ONLY DISTURBANCES PROPOSED WITHIN THE ENVIRONMENTAL AREAS ARE NECESSARY DISTURBANCES FOR THE IMPROVEMENT OF THE HEADWALL AND RESTORATION OF THE STREAM CHANNEL... THE LOCATION OF THE NEW HEADWALL AND CHANNEL GRADING WAS ESTABLISHED BY RECORD DRAWINGS AND HOWARD COUNTY GIS DATA... SOIL TYPES SHOWN HEREON ARE IN ACCORDANCE WITH THE WEB SOIL SURVEY HOWARD COUNTY, MARYLAND - MAP #18... AREA OF MODERATE SLOPES (25% & GREATER) > 20,000 S.F. CONTIGUOUS = 0 S.F. OR 0.00 AC... THERE ARE 5 S.F. (0.00 AC) OF HIGHLY ERODIBLE SOILS ON SITE IN ACCORDANCE WITH SECTION 16.155(A)(1)(I) OF THE SUBDIVISION REGULATIONS... GEOLOGICAL INVESTIGATION OF WETLAND REPORT WAS PROVIDED WITH THE APPROVED ENVIRONMENTAL CONCEPT PLAN SUBMISSION... RED BRANCH ROAD IS CLASSIFIED AS A MAJOR COLLECTOR, SITE ACCESS SHALL BE VIA EXISTING DRIVEWAY ACCESS... TO THE BEST OF OUR KNOWLEDGE, THERE ARE NO BURIAL GROUNDS, CEMETERIES, OR HISTORIC STRUCTURES LOCATED WITHIN THE DEVELOPMENT AREA... HYDROLOGICAL DATA ARE PRESENT ON SITE PER USDA SOIL SURVEY... NO GRADING, REMOVAL OF VEGETATIVE COVER OR TRAIL PAVING AND NEW STRUCTURES SHALL BE PERMITTED WITHIN THE LIMITS OF WETLANDS, STREAMS OR THEIR REQUIRED BUFFERS, FLOODPLAIN AND FOREST CONSERVATION AREAS, EXCEPT AS CONSIDERED NECESSARY DISTURBANCE TO RESTORE THE STREAM CHANNEL, STREAM BUFFER AND HEADWALL TO ITS ORIGINAL CONDITION... AN ENVIRONMENTAL CONCEPT PLAN (ECP-17-045) WAS APPROVED ON AUGUST 23, 2016... REFERENCE ALTERNATIVE COMPLIANCE WP-16-154, APPROVED MARCH 15, 2017, IN ACCORDANCE WITH SECTION 16.155(A)(1)(I) OF THE SUBDIVISION AND LAND DEVELOPMENT REGULATIONS... APPROVAL IS SUBJECT TO THE FOLLOWING CONDITIONS: APPROVAL OF THIS ALTERNATIVE COMPLIANCE PETITION IS TO ESTABLISH THE USES FOR 9190 RED BRANCH ROAD, RE-STRIPE THE EXISTING PARKING LOT AND PROVIDE 5' SIDEWALK AS INDICATED ON THE ALTERNATIVE COMPLIANCE PETITION... APPROVAL OF THIS ALTERNATIVE COMPLIANCE PETITION DOES NOT AFFECT THE STATUS OF THE ACTIVE ZONING VIOLATION CASE, CE-16-129, FOR THIS PROPERTY... COMPLIANCE WITH ALL APPLICABLE COUNTY AND STATE REGULATIONS AND OBTAIN ALL NECESSARY PERMITS FROM THE DEPARTMENT OF INSPECTIONS, LICENSES AND PERMITS... COMPLIANCE WITH AND OBTAIN APPROVAL FROM OAKLAND RIDGE INDUSTRIAL CENTER ARCHITECTURAL REVIEW COMMITTEE IF APPLICABLE... COMPLIANCE WITH ECP-03-04... REFERENCE ALTERNATIVE COMPLIANCE WP-14-037, DENIED DECEMBER 20, 2013, IN ACCORDANCE WITH SECTION 16.155(A)(1)(I) OF THE SUBDIVISION AND LAND DEVELOPMENT REGULATIONS... THE APPLICATION SUBMITTED DOES NOT CONTAIN SUFFICIENT JUSTIFICATIONS TO SUBSTANTIATE EXTRAORDINARY HARDSHIP OR PRACTICAL DIFFICULTIES WITH COMPLIANCE FOR PROVIDING A PROFESSIONALLY PREPARED SITE DEVELOPMENT PLAN... THE APPLICANT AND JUSTIFICATION PROVIDED DOES NOT CONTAIN REASONING AS TO WHY THE WAIVER WOULD NOT BE DETRIMENTAL TO PUBLIC INTEREST... THE WAIVER, IF APPROVED WOULD NULLIFY THE INTENT AND PURPOSE OF THE SUBDIVISION AND LAND DEVELOPMENT REGULATIONS AS STATED IN SECTION 16.101, WHICH IS TO ENSURE APPROPRIATE DEVELOPMENT WITH REGARD TO SITE'S NATURAL FEATURES, TO ASSIST IN THE ORDERLY AND EFFICIENT DEVELOPMENT OF LAND AND TO PROVIDE UNIFORM PROCEDURES AND STANDARDS FOR THE PROCESSING OF SITE DEVELOPMENT PLANS... A REVISED WAIVER PETITION/WHITWAS NOT SUBMITTED PRIOR TO THE REQUESTED DEADLINE OF DECEMBER 15, 2013 PER ECP LETTER DATED 12/29/2013 - SEE ATTACHED... THE LIMIT OF DISTURBANCE WAS NOT ACCURATELY SHOWN ON THE PLAN EXHIBIT... JUSTIFICATION LARGELY RELIES ON THE ASSUMPTION THAT NECESSARY AND ANY FUTURE PLANS FOR THE SITE INCLUDING STABILIZATION AND RE-VEGETATION... ALL GREAT DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED... STORMWATER MANAGEMENT IS NOT REQUIRED FOR THESE IMPROVEMENTS... NO TRAFFIC STUDY IS REQUIRED FOR THIS PROJECT... FINANCIAL SURETY IN THE AMOUNT OF (\$81,010.00) SHALL BE POSTED AS PART OF THE SITE DEVELOPMENT PLAN DEVELOPER'S AGREEMENT FOR THE REQUIRED 16,382 S.F. (0.38 AC.) OF REFORESTATION AT \$0.50/S.F. APPROVAL FOR NECESSARY DISTURBANCE SUBJECT TO SECTION 16.116(C) OF THE SUBDIVISION REGULATIONS AND LETTER DATED MARCH 28, 2020... THE PROPOSED IMPACTS TO THE STREAM AND STORM DRAIN OUTFALL WILL NOT REQUIRE PERMITS FROM THE MD DEPT. OF THE ENVIRONMENT, PER ON-SITE MEETING WITH HOWARD COUNTY AND MDE PERSONNEL ON MARCH 12, 2018.



CROSS SECTION X-1 (SEE SHEET 3 OF 3 FOR BANK STABILIZATION DETAILS)

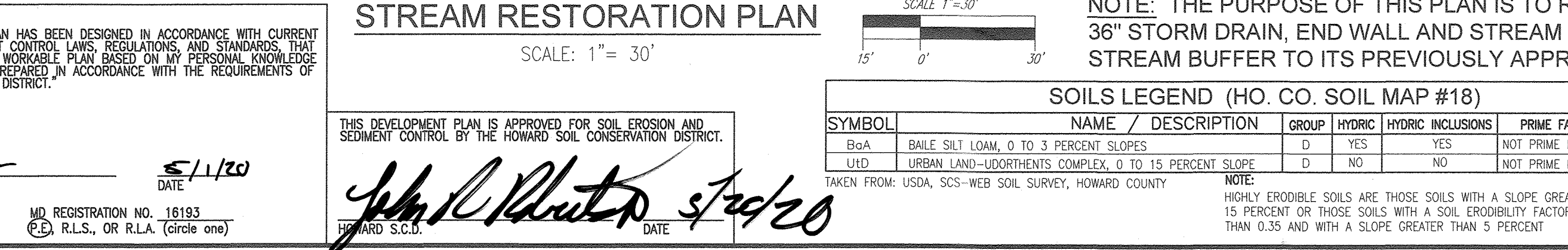
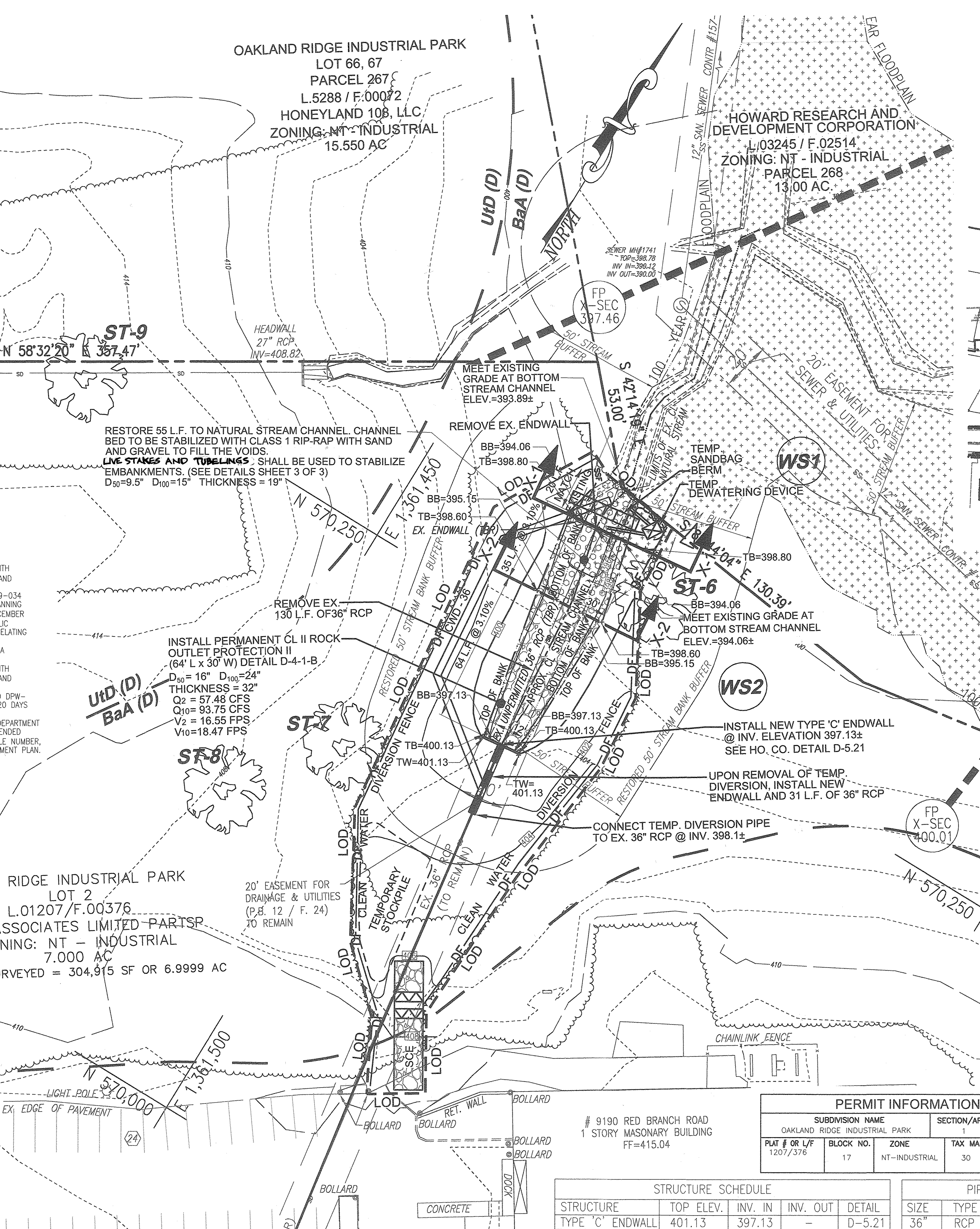


CROSS SECTION X-2 CHANNEL CROSS SECTIONS

GENERAL NOTES (CONTD)

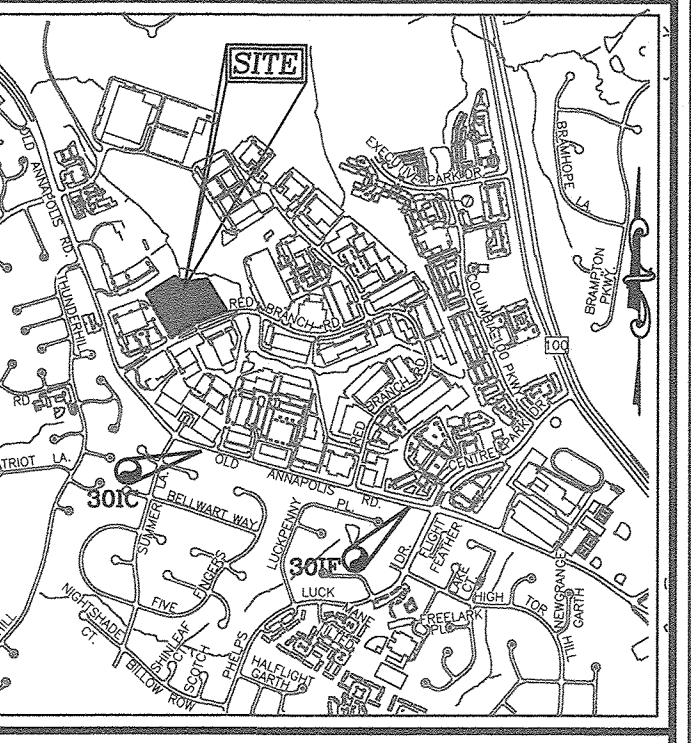
- 33. REFERENCE ALTERNATIVE COMPLIANCE WP-20-030, APPROVED 10/25/19 IN ACCORDANCE WITH SECTION 16.156(I) AND SECTION 16.156 (M) OF THE HOWARD COUNTY SUBDIVISION AND LAND DEVELOPMENT REGULATIONS... THE DEADLINE TO SUBMIT SDP-19-034 ORIGINALS IS HEREBY EXTENDED... THE DEVELOPER'S AGREEMENT ASSOCIATED WITH SDP-19-034 MUST BE SUBMITTED TO THE DEPARTMENT OF PLANNING AND ZONING FOR SIGNATURE AND RECORDATION WITHIN 45 DAYS (ON OR BEFORE DECEMBER 9, 2019)... REFERENCE ALTERNATIVE COMPLIANCE WP-20-056, APPROVED 02/28/20 IN ACCORDANCE WITH SECTION 16.156(I) AND SECTION 16.156 (M) OF THE HOWARD COUNTY SUBDIVISION AND LAND DEVELOPMENT REGULATIONS... APPROVAL IS SUBJECT TO THE FOLLOWING CONDITIONS: THE DEVELOPER'S AGREEMENT ASSOCIATED WITH SDP-19-034 MUST BE SUBMITTED TO THE DEPARTMENT OF PLANNING AND ZONING FOR SIGNATURE AND RECORDATION WITHIN 120 DAYS FROM THE EXISTING EXTENDED DEADLINE (ON OR BEFORE APRIL 7, 2020)... THE DEVELOPER'S AGREEMENT ASSOCIATED WITH SDP-19-034 MUST BE SUBMITTED TO THE DEPARTMENT OF PLANNING AND ZONING FOR SIGNATURE AND RECORDATION WITHIN 120 DAYS FROM THE EXISTING EXTENDED DEADLINE (ON OR BEFORE APRIL 7, 2020)... REFERENCE ALTERNATIVE COMPLIANCE WP-20-056, APPROVED 02/28/20 IN ACCORDANCE WITH SECTION 16.156(I) AND SECTION 16.156 (M) OF THE HOWARD COUNTY SUBDIVISION AND LAND DEVELOPMENT REGULATIONS... APPROVAL IS SUBJECT TO THE FOLLOWING CONDITIONS: THE DEVELOPER'S AGREEMENT ASSOCIATED WITH SDP-19-034 MUST BE SUBMITTED TO THE DEPARTMENT OF PLANNING AND ZONING FOR SIGNATURE AND RECORDATION WITHIN 120 DAYS FROM THE EXISTING EXTENDED DEADLINE (ON OR BEFORE APRIL 7, 2020)... THE DEVELOPER'S AGREEMENT ASSOCIATED WITH SDP-19-034 MUST BE SUBMITTED TO THE DEPARTMENT OF PLANNING AND ZONING FOR SIGNATURE AND RECORDATION WITHIN 120 DAYS FROM THE EXISTING EXTENDED DEADLINE (ON OR BEFORE APRIL 7, 2020)...

SITE DEVELOPMENT PLAN OAKLAND RIDGE INDUSTRIAL PARK STREAM AND STREAM BUFFER RESTORATION PLAN 9190 RED BRANCH ROAD SECTION 1 - LOT 2, PARCEL 239



BENCHMARKS

HOWARD COUNTY GEODETIC SURVEY CONTROL 300F	E 1,363,934.332	ELEV. 473.359
HOWARD COUNTY GEODETIC SURVEY CONTROL 300C	E 1,361,633.753	ELEV. 441.456

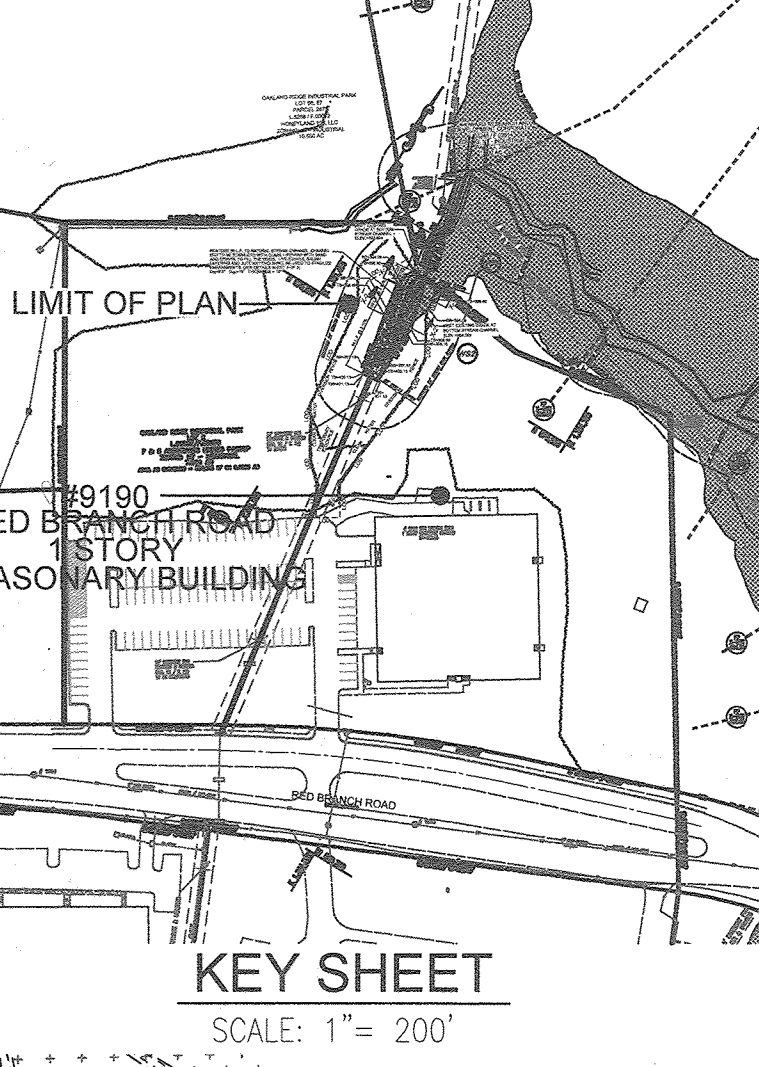
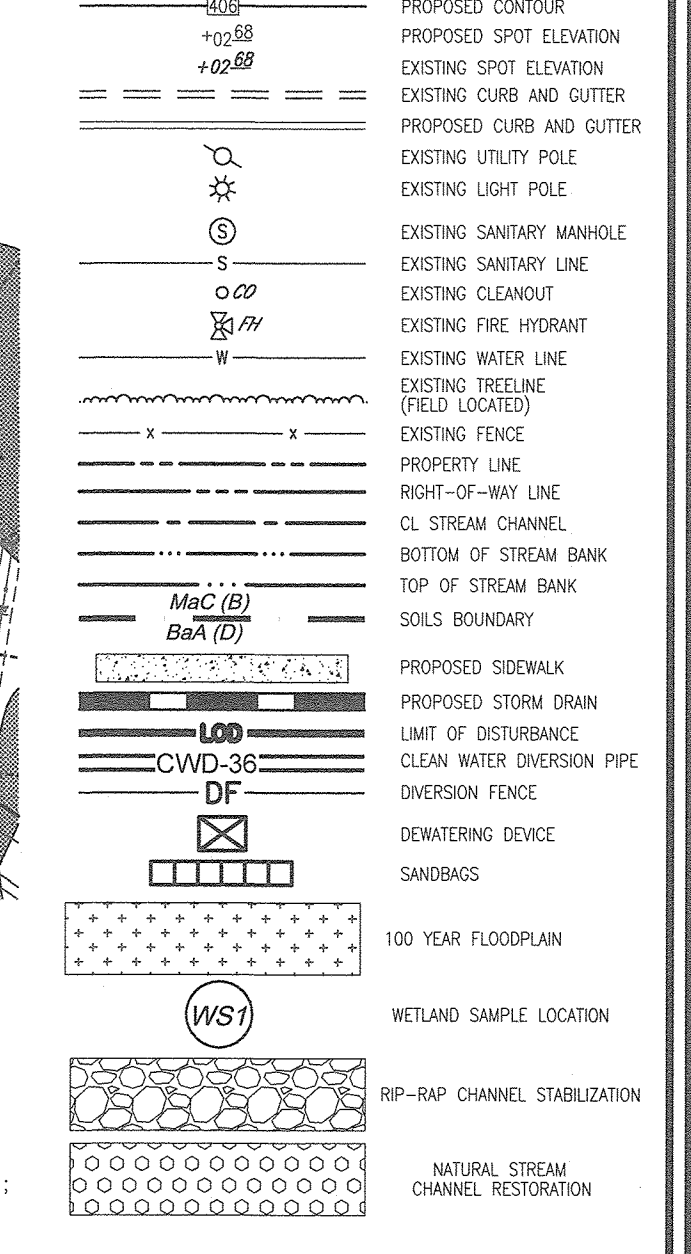


VICINITY MAP
SCALE: 1"=2000'
ADC MAP COORDINATE: 4935/H3

SPECIMEN TREE CHART

NO.	SIZE	TYPE	REMARKS
ST-6	37"	OAK	TO REMAIN
ST-7	32"	OAK	TO REMAIN
ST-8	31"	POPLAR	TO REMAIN
ST-9	33"	POPLAR	TO REMAIN

LEGEND:



KEY SHEET
SCALE: 1"= 200'

SITE DATA
LOCATION: 9190 RED BRANCH ROAD, COLUMBIA, MD.
TAX MAP 30, BLOCK 17, PARCEL 239, LOT 2
2ND ELECTION DISTRICT
FOREST ZONING - FOREST ON SITE: 3.38 AC.
AREA OF MODERATE SLOPES (15%-24.99% AND >20,000 S.F. CONTIGUOUS): 0 S.F. / 0.00 AC.
AREA OF STEEP SLOPES (25% OR GREATER AND >20,000 S.F. CONTIGUOUS): 0 S.F. / 0.00 AC.
AREA OF ERODIBLE SOILS: 0.00 AC.

SHEET INDEX

1 OF 3	LAYOUT, GRADING AND SEDIMENT CONTROL PLAN
2 OF 3	SITE, SEDIMENT AND EROSION CONTROL NOTES AND DETAILS
3 OF 3	REFORESTATION AND BUFFER PLANTING PLAN

OWNER / DEVELOPER
9190, LLC
508 OLNEY SANDY SPRING ROAD
SANDY SPRING, MD 20886
(301) 924-5258

REVISIONS

NO.	REVISION	DATE
1	REVISE THE PLAN TO REPLACE THE BRUSH LAYERING AND JUTE MATTING WITH TUBELING PLANTINGS	6-15-21

**SITE DEVELOPMENT PLAN
STREAM AND STREAM BUFFER RESTORATION PLAN
LAYOUT, GRADING AND SEDIMENT CONTROL PLAN
OAKLAND RIDGE INDUSTRIAL PARK
SECTION 1, LOT 2**

TAX MAP 30 GRID 17
2ND ELECTION DISTRICT

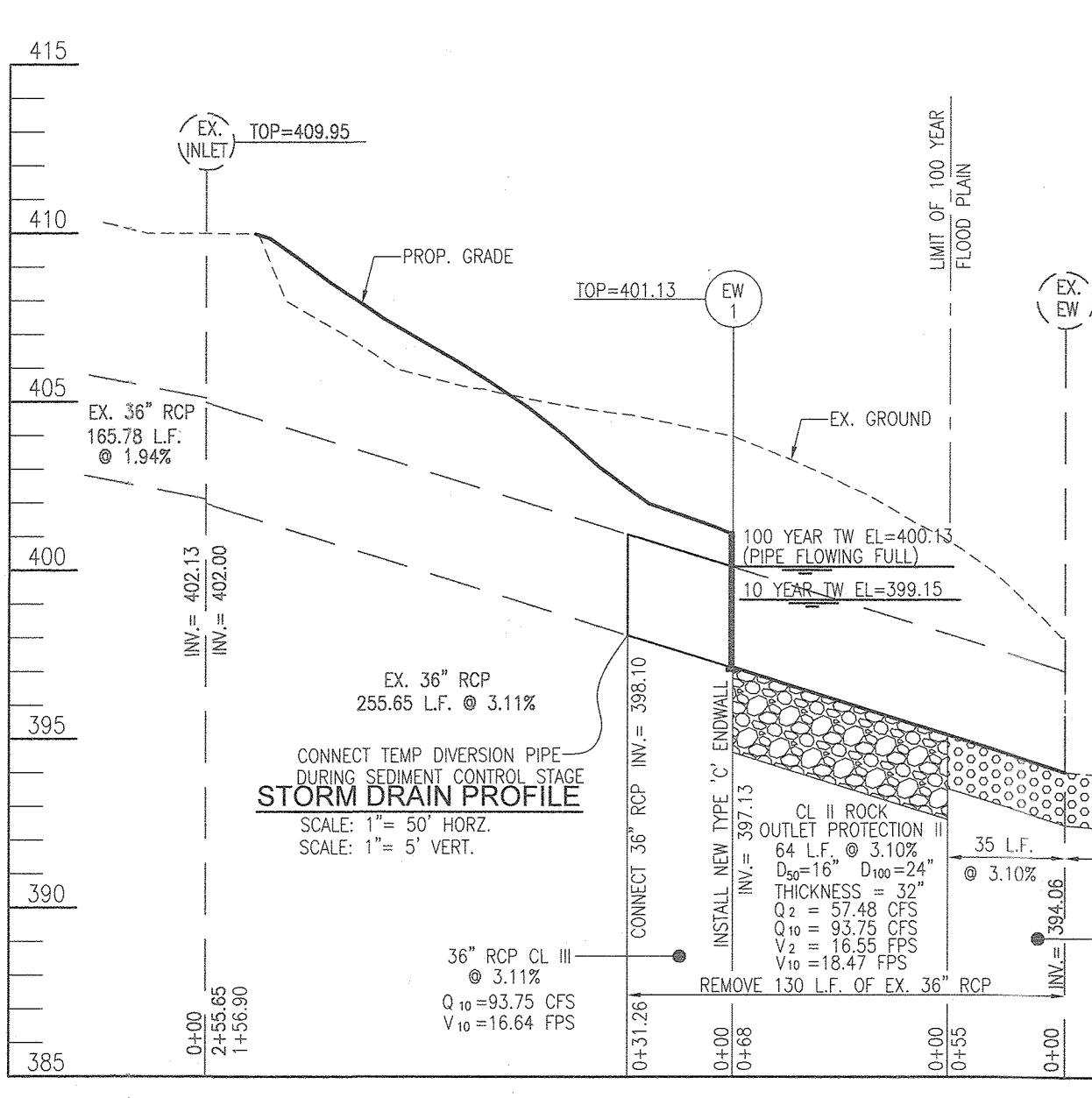
ZONED: NT-INDUSTRIAL
LOT 2/PARCEL 239
HOWARD COUNTY, MARYLAND

ROBERT H. VOGEL ENGINEERING, INC.
ENGINEERS • SURVEYORS • PLANNERS
3300 N. RIDGE ROAD, SUITE 110
ELICOTT CITY, MD 21043
TEL: 410.461.7666
FAX: 410.461.8961

PROFESSIONAL CERTIFICATE
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.
EXPIRATION DATE: 09-30-2020

DESIGN BY: GAH
DRAWN BY: GAH
CHECKED BY: RHV
DATE: MAY 2020
SCALE: AS SHOWN
W.O. NO.: 13-07

1 SHEET OF 3



APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

6-8-20
DATE

6/1/2020
DATE

6/17/2020
DATE

OWNER/DEVELOPER CERTIFICATION:
I/WE CERTIFY THAT ANY CLEARING, GRADING, CONSTRUCTION OR DEVELOPMENT WILL BE DONE PURSUANT TO THIS APPROVED LAYOUT, GRADING AND SEDIMENT CONTROL PLAN, INCLUDING INSPECTING AND MAINTAINING CONTROLS, AND THAT ALL RESPONSIBLE PERSONNEL INVOLVED IN CONSTRUCTION PROGRAMS AND STANDARDS HAVE A CERTIFICATE OF ATTENDANCE AT A MARYLAND DEPARTMENT OF THE ENVIRONMENT (MDE) APPROVED TRAINING PROGRAM FOR THE CONTROL OF EROSION AND SEDIMENTATION DURING THE PROJECT. I CERTIFY THAT I AM A REGISTERED PERIODIC ON-SITE EVALUATOR BY HOWARD COUNTY, THE HOWARD SOIL CONSERVATION DISTRICT AND/OR MDE.

5/1/2020
DATE

Feeds A Nichols president
PRINTED NAME & TITLE

DESIGN CERTIFICATION:
I HEREBY CERTIFY THAT THIS PLAN HAS BEEN DESIGNED IN ACCORDANCE WITH CURRENT MARYLAND EROSION AND SEDIMENT CONTROL LAWS, REGULATIONS AND STANDARDS, THAT IT REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE (ON THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT).

5/1/2020
DATE

Robert H. Vogel
DESIGNER'S SIGNATURE

ROBERT H. VOGEL
PRINTED NAME

MD REGISTRATION NO. 16193
R.L.S., OR R.L.A. (circle one)

STRUCTURE SCHEDULE

STRUCTURE	TOP ELEV.	INV. IN	INV. OUT	DETAIL
TYPE 'C' ENDWALL	401.13	397.13	-	D-5.21

PIPE SCHEDULE

SIZE	TYPE	CLASS	LENGTH
36"	RCP	III	31 LF

PERMIT INFORMATION CHART

SUBDIVISION NAME	SECTION/AREA	LOTS/PARCEL #
OAKLAND RIDGE INDUSTRIAL PARK		2/239

STRUCTURE SCHEDULE

SYMBOL	NAME / DESCRIPTION	GROUP	HYDRIC	HYDRIC INCLUSIONS	PRIME FARMLAND	Kw	<15% SLOPE W/ EROSION POTENTIAL
BaA	BALE SILT LOAM, 0 TO 3 PERCENT SLOPES	D	YES	YES	NOT PRIME FARMLAND	.32	NO
UdD	URBAN LAND-UDORIENTEDS COMPLEX, 0 TO 15 PERCENT SLOPE	D	NO	NO	NOT PRIME FARMLAND	.28	NO

NOTE: HIGHLY ERODIBLE SOILS ARE THOSE SOILS WITH A SLOPE GREATER THAN 15 PERCENT OR THOSE SOILS WITH A SOIL ERODIBILITY FACTOR K GREATER THAN 0.35 AND WITH A SLOPE GREATER THAN 5 PERCENT.

