SITE DEVELOPMENT PLAN
IDREES RESIDENCE
LOT 1

TAX MAP NO. 31 GRID NO. 20 PARCEL NO. 199

FIRST ELECTION DISTRICT HOWARD COUNTY, MARYLAND

SHEET INDEX	
SHEET NO.	DESCRIPTION
1	TITLE SHEEET
2	SITE PLAN
3	ESC NOTES AND DETAILS

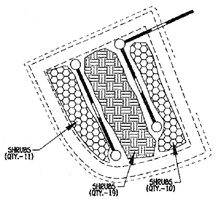
ADDRESS CHART	
LOT	ADDRESS
1	5518 MONTGOMERY ROAD
2	5522 MONTGOMERY ROAD

PERMIT INFORMATION CHART					
SUBMISSION NAME: IDREES RESIDENCE			SECTION/ AREA: N/A	PARCEL/LOT: PARCEL 199/LOT 1	WATER CODE G-01 SEWER CODE 1255028
PLAT NO. 24546	ZONING R-20	BLOCK 0020	TAX MAP 31	ELECTION DISTRICT FIRST	CENSUS TRACT 601105

MICRO-BIORETENTION PLANT MATERIAL			
MICRO-BIO QUANTITY	NAME	SIZE (HT.)	MAXIMUM SPACING (FT.)
15	Itea virginica 'Henry's Garnet' Virginia Sweetspire	24" - 30"	3.0 FT.
15	Ilex crenata ' Helleri" Japanese Holly	24"-30"	2.5 FT.

* SEE PLANT MATERIAL CHARTS FOR QUANTITIES AND SPACING

NOTE: PLANT MATERIAL MUST COVER AT LEAST 50% OF THE SURFACE AREA OF THE MICRO-BIORETENTION



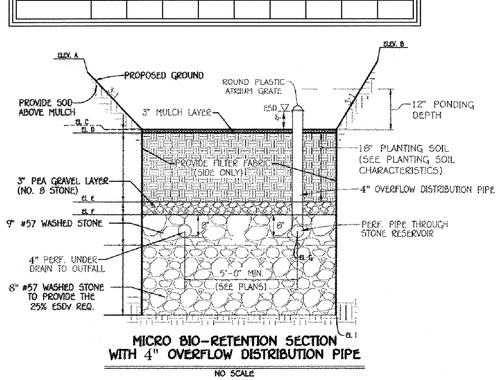
MICRO-BIORETENTION PLANTING DETAIL
NOT TO SCALE

SOILS LEGEND			
SOIL	NAME	CLASS	K FACTOR
UfA	Urban Land-Fallsington Complex, 0 to 2 percent slope	D	.02
UsB	Urban Land-Sassafras-Beltsville Complex, 0 to 2 percent slope	D	.37
Soil Map Number: 19 (Savage, NE)			

STORMWATER MANAGEMENT SUMMARY			
AREA ID.	ESDv REQUIRED CU.FT.	ESDv PROVIDED CU.FT.	REMARKS
SITE	837	452	MICRO-BIORETENTION (M-6) & GRASS SWALE (M-8)
TOTAL	837	452	

GROSS AREA = 1.28 ACRES (LOTS 1 & 2)
LOD = 0.69 ACRES
RCN = 77
TARGET Fe = 1.2"

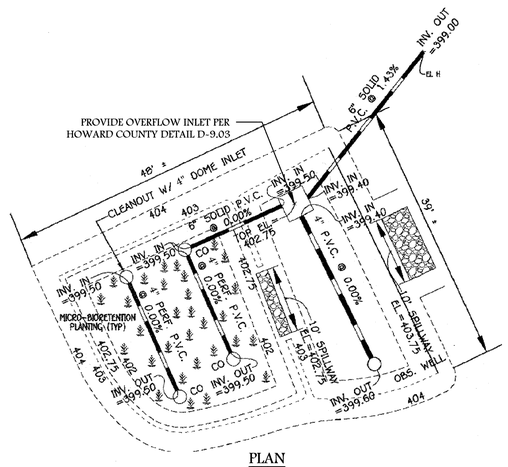
MICRO-BIORETENTION / BIORETENTION									
BIORETENTION FILTER	A	B	C	D	E	F	G	H	I
1	404.00	404.00	402.00	401.75	400.25	400.00	399.50	399.0	397.95



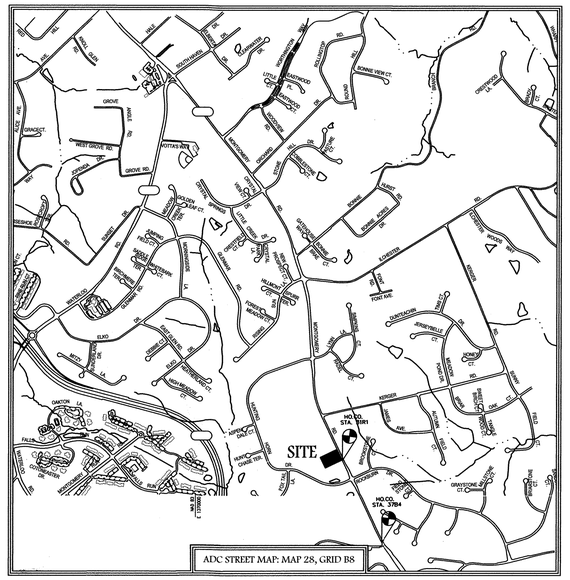
MICRO BIO-RETENTION SECTION WITH 4" OVERFLOW DISTRIBUTION PIPE
NO SCALE

Table B.4. Materials Specifications for Micro – Bioretention, Rain Gardens & Landscape Infiltration

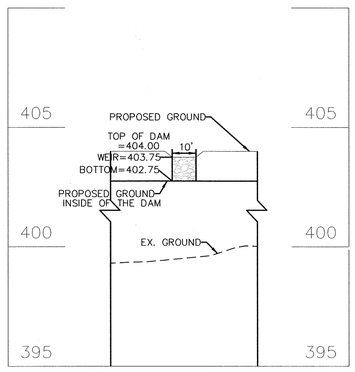
Material	Specification	Size	Notes
Plantings	see Appendix: Table A.4	n/a	plantings are site-specific
Planting soil (2' to 4' deep)	loamy sand 60-65% compost 35-40% or sandy loam 30% coarse sand 30% compost 40%		USDA soil types loamy sand or sandy loam; clay content <5%
Organic Content	Min. 10% by dry weight (ASTM D2974)		
Mulch	shredded hardwood		aged 6 months, minimum
Pea gravel diaphragm	pea gravel ASTM-D-448	No. 8 or No. 9 (1/8" t 3/8")	
Cutrain drain	ornamental stone: washed cobbles	Stone: 2" to 5"	
Geotextile		n/a	PE Type 1 nonwoven
Gravel (underdrains and infiltration berms)	AASHTO M-43	No. 57 or No. Aggregate (3/8" to 3/4")	
Underdrain piping	F 758, Type PS 28 or AASHTO M-278	4" to 6" rigid schedule 40PVS or SDR35	Slattted or perforated pipe; 3/8" pert. @ 6" on center, 4 holes per row; minimum of 3' of gravel over pipes; not necessary underneath pipes. Perforated pipe shal be wrapped with 1/4 inch galvanizd hardware cloth
Poured in place concrete (if required)	MSHA Mix NO. 3: f = 3500 psi at 28 days, normal weight, air-entrained: reinforcing to meet ASTM-615-60	n.a	on-site testing of poured-in-place concrete required; 28 day strenght and slump test; all concrete design (cast-in-place or pre-cast) not using previously approved state or local standards requires design drawings sealed and approved by a professional structurial engineer licensed in the State of Maryland - design to include eeting ACI Code 350.R/89; vertical loading (CH-10 or H-20); and analysis of potential cracking
Sand	AASHTO-M-6 or ASTM-C-33	0.02" to 0.04"	Sand substitutions such as Diabase and Graystone (AASHTO) #10 are not acceptance. No calcium carbonated or dolomitic sand substitutions are acceptable. No "rock dust" can be used for sand



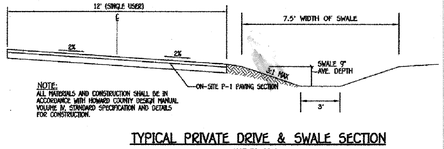
PLAN
SCALE: 1"=10'



VICINITY MAP
SCALE: 1" = 1200'



MICRO BIO RETENTION PROFILE
SCALE: HOR. 1"=30'
VERT. 1" = 3'

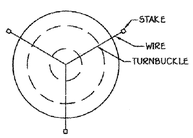


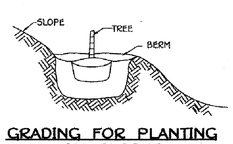
TYPICAL PRIVATE DRIVE & SWALE SECTION
NOT TO SCALE

SITE ANALYSIS DATA CHART

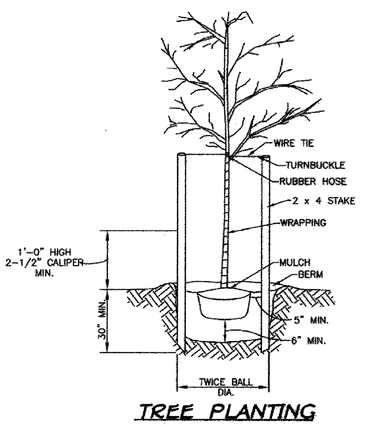
A. TOTAL AREA FOR SDP = 0.559 AC ±
B. LIMIT OF DISTURBED AREA = 29,890 SQ.FT. OR 0.69 AC ±
C. PRESENT ZONING DESIGNATION = R-20
(PER 10/06/2013 COMPREHENSIVE ZONING PLAN)
D. PROPOSED USE: RESIDENTIAL
E. PREVIOUS HOWARD COUNTY FILES: ECP-16-068 AND F-17-033
F. TOTAL AREA OF FLOODPLAIN LOCATED ON-SITE = 0.00 AC±
G. TOTAL AREA OF STEEP SLOPES:
MODERATE STEEP SLOPES: 15%-24.9% = 0.00 AC ±
STEEP SLOPES: 25% OR GREATER = 0.00 AC ±
H. TOTAL AREA OF WETLANDS (INCLUDING BUFFER) = 0.00 AC ±
I. TOTAL AREA OF STREAM (INCLUDING BUFFER) = 0.00 AC ±
J. TOTAL AREA OF EXISTING FOREST = 0.00 AC ±
K. TOTAL AREA OF FOREST TO Be RETAINED = 0.00 AC ±
L. TOTAL AREA OF LOTS / BUILDABLE PARCELS = 0.559 AC ±
M. TOTAL GREEN OPEN AREA = 0.46 AC ±
N. TOTAL IMPERVIOUS AREA = 0.10 AC ±
O. TOTAL AREA OF ERODIBLE SOILS = 0.00 AC ±

STAKING DETAIL
NOT TO SCALE

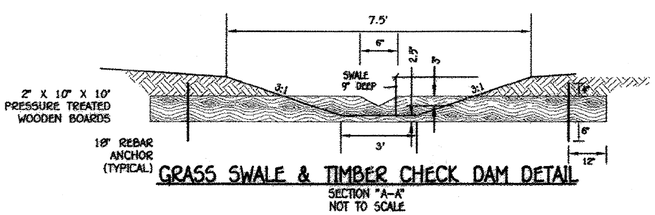




GRADING FOR PLANTING ON SLOPES
NOT TO SCALE



TREE PLANTING



GRASS SWALE & TIMBER CHECK DAM DETAIL
SECTION "A-A"
NOT TO SCALE

SCALE: 1" = 30'
0 30 60

OWNER/DEVELOPER
IDREES MOHAMMAD
114 URICK LANE
MONROEVILLE, PA 15146
PHONE: 412-638-4819

OPERATION & MAINTENANCE SCHEDULE FOR MICRO-BIORETENTION (M-6)

A. THE OWNER SHALL MAINTAIN THE PLANT MATERIAL, MULCH LAYER AND SOIL LAYER ANNUALLY. MAINTENANCE OF MULCH AND SOIL IS LIMITED TO CORRECTING AREAS OF EROSION OR WASH OUT. ANY MULCH REPLACEMENT SHALL BE DONE IN THE SPRING. PLANT MATERIAL SHALL BE CHECKED FOR DISEASE AND INSECT INFESTATION AND MAINTENANCE WILL ADDRESS DEAD MATERIAL AND PRUNING. ACCEPTABLE REPLACEMENT PLANT MATERIAL IS LIMITED TO THE FOLLOWING: 2000 MARYLAND STORMWATER DESIGN MANUAL VOLUME II, TABLE A.4.1 AND 2
B. THE OWNER SHALL PERFORM A PLANT IN THE SPRING AND IN THE FALL OF EACH YEAR. DURING THE INSPECTION, THE OWNER SHALL REMOVE DEAD AND DISEASED VEGETATION CONSIDERED BEYOND TREATMENT, REPLACE DEAD PLANT MATERIAL WITH ACCEPTABLE REPLACEMENT PLANT MATERIAL, TREAT DISEASED TREES AND SHRUBS AND REPLACE ALL DEFICIENT STAKES AND WIRES.
C. THE OWNER SHALL INSPECT THE MULCH EACH SPRING, THE MULCH SHALL BE REPLACED EVERY TWO TO THREE YEARS. THE PREVIOUS MULCH LAYER SHALL BE MOVED BEFORE THE NEW LAYER IS APPLIED.
D. THE OWNER SHALL CORRECT SOIL EROSION ON AN AS NEEDED BASIS, WITH A MINIMUM OF ONCE PER MONTH AND AFTER EACH HEAVY STORM.

General Notes:

1. SUBJECT PROPERTY ZONED R-20 PER 10/06/13 COMPREHENSIVE ZONING PLAN.
2. COORDINATES BASED ON NAD '83, MARYLAND COORDINATE SYSTEM AS PROJECTED BY HOWARD COUNTY GEODETIC CONTROL STATIONS NO. 31R1 AND NO. 37B4.
   STA. 31R1 N 565,303..479 E 1,372,517,790 ELEV.= 400.94
   STA. 37B4 N 563,920.557 E 1,971,109.173 ELEV.= 401.36
3. THE EXISTING TOPOGRAPHY IS TAKEN FROM FIELD RUN SURVEY WITH TWO FOOT CONTOUR INTERVALS PREPARED BY FISHER, COLLINS AND CARTER, INC. DATED JANUARY, 2016
4. B.R.L.. DENOTES BUILDING RESTRICTION LINE
5. ● DENOTES IRON PIN SET CAPPED "F.C.C. 106".
6. DENOTES IRON PIPE OR IRON BAR FOUND.
7. DENOTES ANGULAR CHANGE IN BEARING OF BOUNDARY OR RIGHTS-OF-WAY.
8. ■ DENOTES CONCRETE MONUMENT SET WITH ALUMINUM PLATE "F.C.C. 106".
9. DENOTES CONCRETE MONUMENT OR STONE FOUND.
10. ALL AREAS ARE MORE OR LESS (±).
11. DISTANCES SHOWN ARE BASED ON SURFACE MEASUREMENT AND NOT REDUCED TO NAD '83 GRID MEASUREMENT.
12. FOR FLAG OR PIPESTEM LOTS, REFUSE COLLECTION, SNOW REMOVAL AND ROAD MAINTENANCE IS TO BE PROVIDED AT THE JUNCTION OF THE FLAG OR PIPESTEM AND THE ROAD RIGHT-OF-WAY AND NOT ONTO THE FLAG OR PIPESTEM DRIVEWAY
13. DRIVEWAYS SHALL BE PROVIDED PRIOR TO ISSUANCE OF A USE AND OCCUPANCY PERMIT FOR ANY NEW DWELLINGS TO ENSURE SAFE ACCESS FOR FIRE AND EMERGENCY VEHICLES PER THE FOLLOWING (MINIMUM) REQUIREMENTS:
   A) WIDTH - 12 FEET (16 FEET SERVING MORE THAN ONE RESIDENCE);
   B) SURFACE - SIX (6") INCHES OF COMPACTED CRUSHER RUN BASE WITH TAR AND CHIP COATING. (1-1/2" MINIMUM);
   C) GEOMETRY -MAXIMUM 15% GRADE, MAXIMUM 10% GRADE CHANGE AND 45-FOOT TURNING RADIUS;
   D) STRUCTURES (CULVERTS/BRIDGES) - CAPABLE OF SUPPORTING 25 GROSS TONS (H25-LOADING);
   E) DRAINAGE ELEMENTS - CAPABLE OF SAFELY PASSING 100 YEAR FLOOD WITH NO MORE THAN 1 FOOT DEPTH OVER SURFACE;
   F) STRUCTURE CLEARANCE - MINIMUM 12 FEET;
   G) MAINTENANCE - SUFFICIENT TO ENSURE ALL WEATHER USE.
14. PROPERTY SUBJECT TO PRIOR DEPARTMENT OF PLANNING AND ZONING FILE NO'S: ECP-16-068 AND F-17-033
15. NO CEMETERIES EXIST ON THE SUBJECT PROPERTY BASED ON VISUAL OBSERVATION OR LISTED IN AVAILABLE HOWARD COUNTY CEMETERY INVENTORY MAP.
16. SITE IS NOT ADJACENT TO A SCENIC ROAD.
17. A LETTER OF FINDINGS DATED JULY 14, 2016 PREPARED BY ECO-SCIENCE PROFESSIONALS, INC. DETERMINED THAT THERE ARE NO 100 YEAR FLOODPLAIN, WETLANDS, FOREST OR SPECIMEN TREE, STREAM(S) AND/OR THEIR BUFFERS, AND STEEP SLOPES ON-SITE.
18. PLAT IS EXEMPT FROM PROVIDING FOREST CONSERVATION OBLIGATION IN ACCORDANCE WITH SECTION 16.1202(B)(1)(VIII) BECAUSE THIS LOT IS PART OF MINOR SUBDIVISION THAT CREATES ONE (1) NEW LOT AND HAS NO FURTHER SUBDIVISION POTENTIAL.
19. OPEN SPACE REQUIREMENTS ARE PROVIDED BY A FEE-IN-LIEU PAYMENT OF $1,500.00 UNDER F-17-033.
20. A PRE-SUBMISSION COMMUNITY MEETING WAS CONDUCTED ON JUNE 17, 2016 FOR THE PURPOSE OF THE DEVELOPER TO PROVIDE INFORMATION TO THE COMMUNITY REGARDING THE PROPOSED RESIDENTIAL DEVELOPMENT AND TO ALLOW THE COMMUNITY TO ASK QUESTIONS AND TO MAKE COMMENTS, PER SECTION 16.128(D) OF THE SUBDIVISION REGULATIONS.
21. A TRAFFIC STUDY IS NOT REQUIRED FOR THIS PROJECT SINCE THIS IS A MINOR SUBDIVISION.
22. THIS PROPERTY IS LOCATED WITHIN THE METROPOLITAN DISTRICT AND WILL BE SERVED BY PUBLIC WATER AND SEWER.
23. NOISE ANALYSIS STUDY DATED JANUARY, 2017 WAS PREPARED BY MARS GROUP. THE UNMITIGATED 65DBA NOISE LINE CONTOUR LINE DRAWN ON THIS PLAN IS ADVISORY AS REQUIRED BY THE HOWARD COUNTY DESIGN MANUAL, CHAPTER 5, REVISED FEBRUARY, 1992 AND CANNOT BE CONSIDERED TO EXACTLY LOCATED THE 65DBA NOISE EXPOSURE. THE UNMITIGATED 65DBA NOISE CONTOUR LINE WAS ESTABLISHED BY HOWARD COUNTY TO ALERT DEVELOPERS. BUILDERS AND FUTURE RESIDENTS THAT AREAS BEYOND THIS THRESHOLD MAY EXCEED GENERALLY ACCEPTED NOISE LEVELS ESTABLISHED BY THE U.S. DEPARTMENT OF HOUSING AND URBAN DEVELOPMENT.
24. THE PRIVATE USE-IN-COMMON DRIVEWAY ACCESS EASEMENT AND MAINTENANCE AGREEMENT FOR SHARED DRIVEWAY ON LOTS 1 AND 2 IS RECORDED UNDER F-17-033.
25. NO HISTORIC STRUCTURES EXIST WITHIN THE LIMITS OF THIS PLAT SUBMISSION.
26. THE EXISTING TOPOGRAPHY SHOWN HEREON IS BASED ON A TOPOGRAPHIC SURVEY PERFORMED BY FISHER COLLINS & CARTER, INC. IN APRIL, 2016 AND SUPPLEMENTED WITH HOWARD COUNTY GIS TOPOGRAPHY AT 5' CONTOUR INTERVAL INTERPOLATED FOR 2' CONTOUR INTERVAL.
27. THIS DEVELOPMENT IS DESIGNED TO BE IN ACCORDANCE WITH SECTION 16.127 - RESIDENTIAL INFILL DEVELOPMENT OF THE SUBDIVISION AND LAND DEVELOPMENT REGULATIONS. THE DEVELOPER OF THIS PROJECT SHALL CREATE COMPATIBILITY WITH THE EXISTING NEIGHBORHOOD THROUGH THE USE OF ENHANCED PERIMETER LANDSCAPING, BERMS, FENCES, SIMILAR HOUSING UNIT TYPES AND THE DIRECTIONAL ORIENTATION OF THE PROPOSED HOUSE. THE MINIMUM SETBACK REQUIREMENTS HAVE BEEN MET AND THE SHOWN SETBACKS IN COMPLIANCE WITH THE RESIDENTIAL INFILL DEVELOPMENT REQUIREMENTS. IN ADDITION A SHARED USE-IN-COMMON DRIVEWAY WILL BE PROVIDED AS A CONNECTION TO THE PUBLIC ROAD.
28. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF HOWARD COUNTY PLUS MSHA STANDARDS AND SPECIFICATION IF APPLICABLE.
29. THE CONTRACTOR SHALL NOTIFY THE DEPARTMENT OF PUBLIC WORKS/BUREAU OF ENGINEERING/CONSTRUCTION INSPECTION DIVISION AT (410) 313-1880 AT LEAST FIVE (5) WORKING DAYS PRIOR TO THE START OF WORK.
30. THE CONTRACTOR SHALL NOTIFY "MISS UTILITY" AT 1-800-257-7777 AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION WORK BEING DONE.
31. TRAFFIC CONTROL DEVICES, MARKINGS AND SIGNING SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD). ALL STREET AND REGULATORY SIGNS SHALL BE IN PLACE PRIOR TO THE PLACEMENT OF ANY ASPHALT.
32. EXISTING UTILITIES ARE BASED ON ACTUAL FIELD LOCATIONS, IN COMBINATION WITH EXISTING WATER AND SEWER CONTRACTS.
33. ANY DAMAGE TO THE COUNTY'S RIGHT-OF-WAY SHALL BE CORRECTED AT THE DEVELOPER'S EXPENSE.
34. SHC ELEVATIONS SHOWN ARE LOCATED AT THE PROPERTY LINE.
35. FOR DRIVEWAY ENTRANCE DETAILS REFERS TO THE HOWARD COUNTY DESIGN MANUAL, VOLUME IV, STANDARD DETAIL R-2.01
36. IN ACCORDANCE WITH SECTION 128 OF THE HOWARD COUNTY ZONING REGULATIONS, BAY WINDOWS, CHIMNEYS OR EXTERIOR STAIRWAYS NOT MORE THAN 16 FEET IN WIDTH MAY PROJECT NOT MORE THAN 4 FEET INTO ANY SETBACKS. PORCHES, OR DECKS, OPEN OR ENCLOSED MAY PROJECT NOT MORE THAN 10 FEET INTO THE FRONT OR REAR YARD SETBACK."
37. LANDSCAPING FOR LOTS 1 AND 2 IS PROVIDED IN ACCORDANCE WITH SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL. A LANDSCAPE SURETY IN THE AMOUNT OF $4,650.00 BASED ON 8 SHADE TREES @$300/SHADE TREE AND 15 EVERGREEN TREES @$150/EVERGREEN TREE WILL BE COMPLETED WITH THE SDP AND BONDED WITH THE BUILDING/GRADING PERMIT.
38. STORMWATER MANAGEMENT IS IN ACCORDANCE WITH THE M.D.E. STORM WATER DESIGN MANUAL VOLUME I & II, REVISED 2009. NON-STRUCTURAL PRACTICES IN ACCORDANCE WITH CHAPTER 5 ARE BEING UTILIZED

M.I.H.U NOTE : PLEASE NOTE THAT LOT 1 IS SUBJECT TO THE MIHU FEE-IN-LIEU REQUIREMENT THAT IS TO BE CALCULATED AND PAID TO THE DEPARTMENT OF INSPECTIONS, LICENSES AND PERMITS AT THE TIME OF BUILDING PERMIT ISSUANCE BY THE PERMIT APPLICANT

HOWARD SCD SIGNATURE BLOCK
THIS PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.
HOWARD SOIL CONSERVATION DISTRICT — DATE 6/4/19

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
CHIEF, DEVELOPMENT ENGINEERING DIVISION — DATE 6.19.19
CHIEF, DIVISION OF LAND DEVELOPMENT — DATE 7-01-19
DIRECTOR — DATE 7-02-19

TITLE SHEET
IDREES RESIDENCE
LOTS 1 AND 2
SINGLE FAMILY DETACHED DWELLING
5518 MONTGOMERY ROAD, ELLICOTT CITY, MD-21042
PLAT NO.24546, (L. 18303, F. 345)
ECP-16-068 AND F-17-033
PARCEL 199, TAX MAP 31 GRID 20, ZONING R-20
FIRST ELECTION DISTRICT- HOWARD COUNTY, MARYLAND

STATE OF MARYLAND — KUI LIN — No. 35194 — PROFESSIONAL ENGINEER — SEAL — 6/3/19

Professional Certification; I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland, License No. 35194, Expiration Date: 6/6/20

KUI LIN, P.E.
8221 Ruxton Crossing Ct
Towson, MD 21204
PHONE (410) 948-7948

DRAWN BY: KL
CHECKED BY: KL
SCALE: 1" = 30'
DATE: 05/30/2019
SHEET 1 OF 3

SDP-19-021

LEGEND			
SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION
492	EXISTING 2' CONTOURS	402	PROPOSED CONTOUR
490	EXISTING 10' CONTOURS	+362.5	SPOT ELEVATION
GgB GgC	SOILS LINES AND TYPE	LOD	LIMITS OF DISTURBANCE
	EXISTING TREELINE		DRAINAGE AREA DIVIDE
	INDIVIDUAL TREES & SHRUBS	SF	SILT FENCE
x x	EXISTING FENCE LINE	ECM	EROSION CONTROL MATTING
	EXISTING & PROPOSED PAVING		STABILIZES CONSTRUCTION ENTRANCE
H.P.	HIGH POINT	T.B.R.	TO BE REMOVER OR RELOCATED

STRUCTURE SCHEDULE

STRUCTURE NO.	TOP ELEVATION	INV. IN	INV. OUT	ROAD NAME/COORDINATES	ROAD STA.	OFFSET	TYPE	REMARKS
1-1	402.00	-----	399.50 (6")	N 565460.21 E 1372319.94	-------	-------	ADS INLET -6" DOME	ADS NYLOPLAST
1-2	402.75	399.50 (6")	399.40 (6")	N 565471.34 E 1372344.96	-------	-------	'S' INLET	D-4.22
5-1	399.50	-----	399.00 (6")	N 565493.47 E 1372364.12	-------	-------	MITERED TO SLOPE	

SCHEDULE A - PERIMETER LANDSCAPE EDGE

PERIMETER	P-1	P-2*		TOTAL
CATEGORY	ADJACENT TO OPEN SPACE	ADJACENT TO PERIMETER PROPERTIES		
LANDSCAPE TYPE	A	A		
LINEAR FEET OF PERIMETER	87 L.F.	280 L.F.		
NUMBER OF PLANTS REQUIRED SHADE TREES EVERGREEN TREES	(87'/60') = 1.5 OR 2 0	(280'/60') = 4.6 OR 5 0		7 0
CREDIT FOR EXISTING VEGETATION SHADE TREES SMALL/MEDIUM DECIDUOUS TREES (2:1 SUBSTITUTION)	0 0	0 0		0 0
NUMBER OF PLANTS PROVIDED SHADE TREES EVERGREEN TREES	2 0	(280'/50') = 5.6 OR 6* (280'/40') = 7*		8* 15*

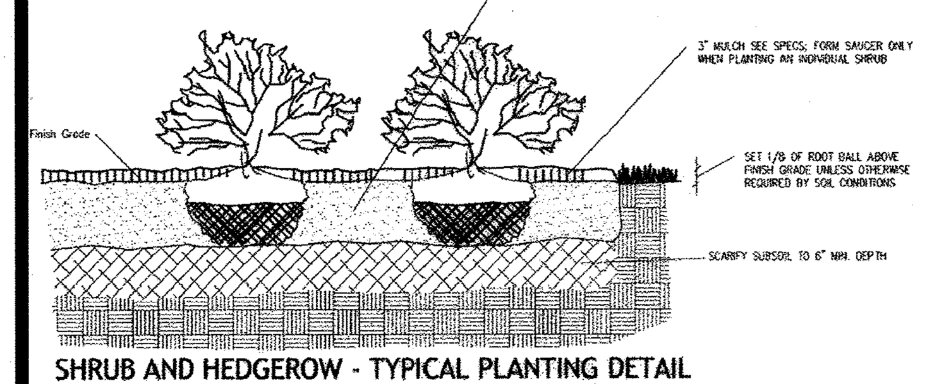
* - NOTE: THE ADDITIONAL PLANTINGS ARE TO MEET THE REQUIREMENTS OF SECTION 16.127 RESIDENTIAL INFILL DEVELOPMENT

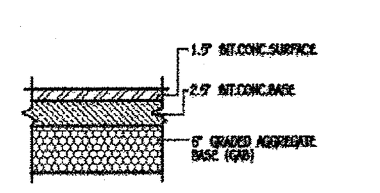
PIPE SCHEDULE

SIZE	CLASS	LENGTH
4"	PVC. SCH. 40 (PERFORATED)	84"
6"	PVC. SCH. 40 (SOLID)	29"

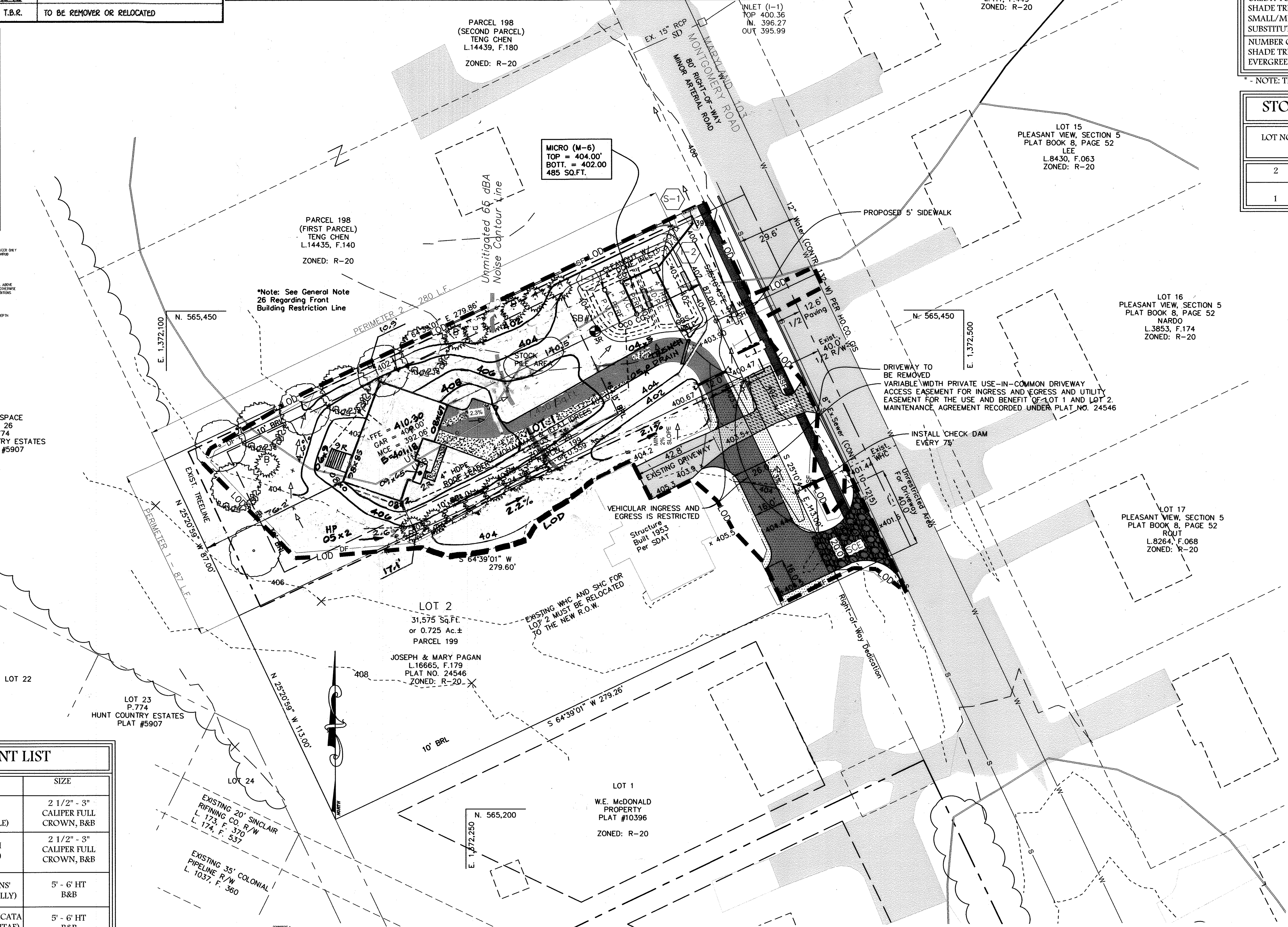
STORMWATER MANAGEMENT PRACTICES

LOT NO.	DISCONNECTION OF ROOFTOP RUNOFF (N-1) Y/N	DISCONNECTION OF NON-ROOFTOP RUNOFF (N-2) Y/N	DRY WELLS (M-5) Y/N, NUMBER	MICRO-BIORETENTION (M-6) Y/N, NUMBER
2	-	-	-	-
1	NO	NO	NO	YES (1)


SHRUB AND HEDGEROW - TYPICAL PLANTING DETAIL


P-1 DRIVEWAY PAVING SECTION

NOT TO SCALE



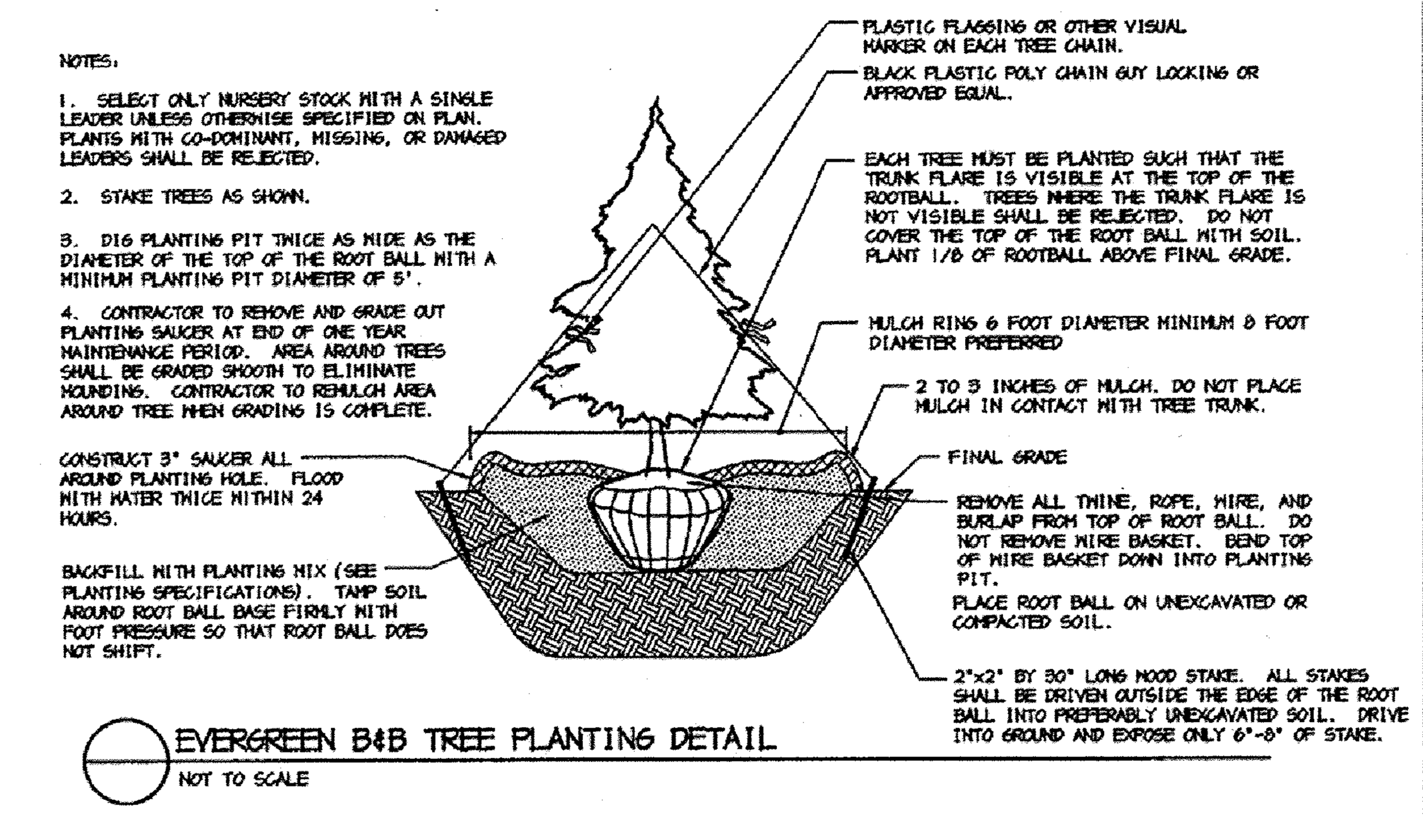
MARYLAND 103
MONTGOMERY ROAD
80' RIGHT-OF-WAY
MINOR ARTERIAL ROAD
EX. 15" RCP SD
INLET (I-1)
TOP 400.36
IN. 396.27
OUT 395.99
LOT 14
PLEASANT VIEW, SECTION 5
PLAT BOOK 8, PAGE 52
SPINDLER
L.411, F.449
ZONED: R-20
PARCEL 198
(SECOND PARCEL)
TENG CHEN
L.14439, F.180
ZONED: R-20
LOT 15
PLEASANT VIEW, SECTION 5
PLAT BOOK 8, PAGE 52
LEE
L.8430, F.063
ZONED: R-20
MICRO (M-6)
TOP = 404.00'
BOTT. = 402.00
485 SQ.FT.
Unmitigated 65 dBA
Noise Contour Line
PARCEL 198
(FIRST PARCEL)
TENG CHEN
L.14435, F.140
ZONED: R-20
PROPOSED 5' SIDEWALK
*Note: See General Note
26 Regarding Front
Building Restriction Line
N. 565,450
E. 1,372,100
N. 565,450
E. 1,372,500
LOT 16
PLEASANT VIEW, SECTION 5
PLAT BOOK 8, PAGE 52
NARDO
L.3853, F.174
ZONED: R-20
DRIVEWAY TO
BE REMOVED
VARIABLE WIDTH PRIVATE USE-IN-COMMON DRIVEWAY
ACCESS EASEMENT FOR INGRESS AND EGRESS AND UTILITY
EASEMENT FOR THE USE AND BENEFIT OF LOT 1 AND LOT 2.
MAINTENANCE AGREEMENT RECORDED UNDER PLAT NO. 24546
INSTALL CHECK DAM
EVERY 75'
OPEN SPACE
LOT 26
P.774
HUNT COUNTRY ESTATES
PLAT #5907
EXISTING DRIVEWAY
VEHICULAR INGRESS AND
EGRESS IS RESTRICTED
Structure
Built 1953
Per SDAT
LOT 17
PLEASANT VIEW, SECTION 5
PLAT BOOK 8, PAGE 52
ROUT
L.8264, F.068
ZONED: R-20
EXST. TREELINE
PERIMETER 1 - 87 L.F.
PERIMETER 2 - 280 L.F.
S 64°39'01" W
279.60'
LOT 2
31,575 Sq.Ft.
or 0.725 Ac.±
PARCEL 199
JOSEPH & MARY PAGAN
L.16665, F.179
PLAT NO. 24546
ZONED: R-20
EXISTING WHC AND SHC FOR
LOT 2 MUST BE RELOCATED
TO THE NEW R.O.W.
Right-of-Way Dedication
LOT 22
LOT 23
P.774
HUNT COUNTRY ESTATES
PLAT #5907
N 25°20'59" W 113.00'
S 64°39'01" W 279.26'
10' BRL
LOT 24
EXISTING 20' SINCLAIR
RIFINING CO. R/W
L. 173, F. 370
L. 174, F. 337
EXISTING 35' COLONIAL
PIPELINE R/W
L. 1037, F. 360
LOT 1
W.E. McDONALD
PROPERTY
PLAT #10396
ZONED: R-20
N. 565,200
E. 1,372,250

PLAN

SCALE 1" = 30'

SCALE: 1" = 30'

0 30 60

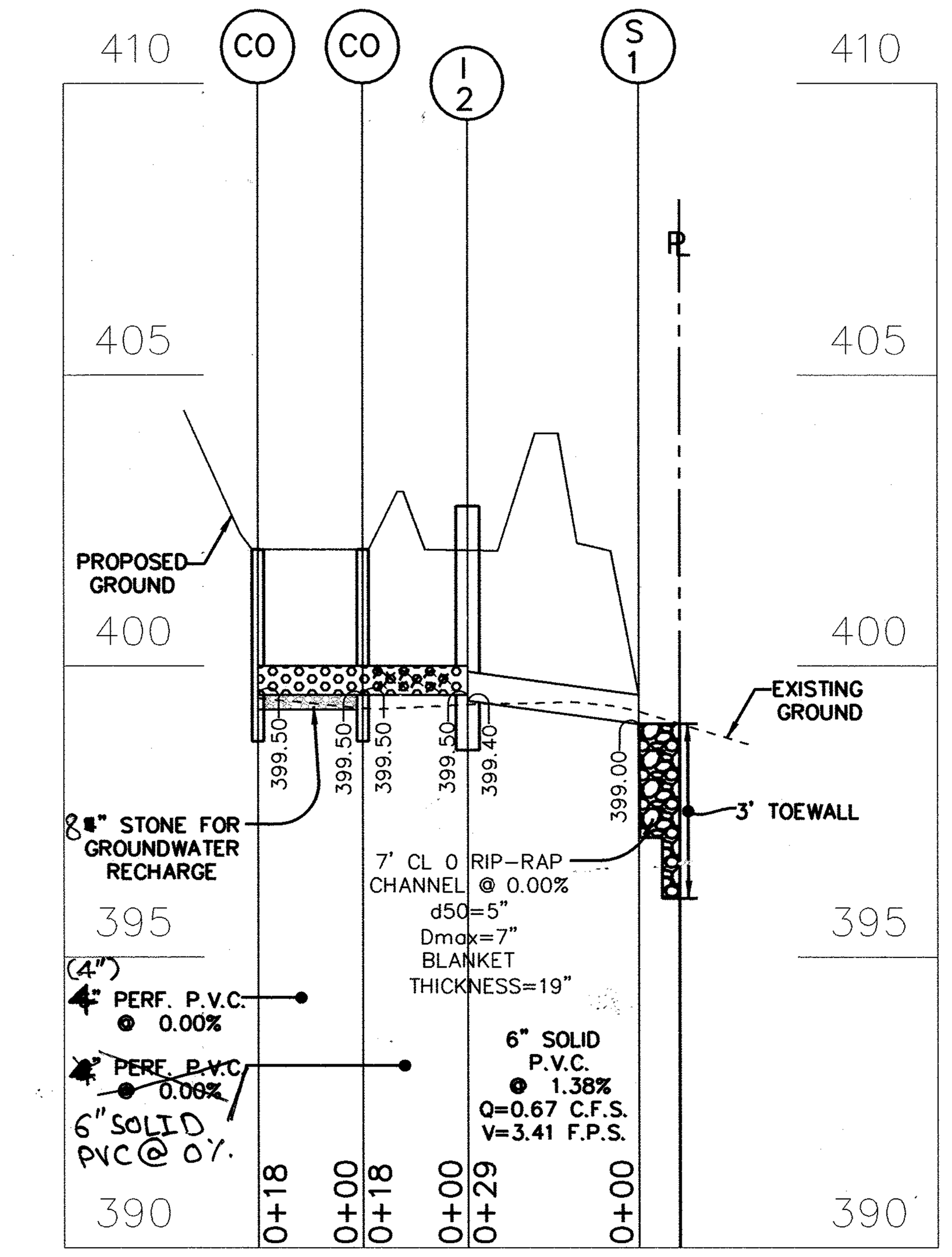


NOTES:
1. SELECT ONLY NURSERY STOCK WITH A SINGLE LEADER UNLESS OTHERWISE SPECIFIED ON PLAN. PLANTS WITH CO-DOMINANT, MISSING, OR DAMAGED LEADERS SHALL BE REJECTED.
2. STAKE TREES AS SHOWN.
3. DIG PLANTING PIT TWICE AS WIDE AS THE DIAMETER OF THE TOP OF THE ROOT BALL WITH A MINIMUM PLANTING PIT DIAMETER OF 5'.
4. CONTRACTOR TO REMOVE AND GRADE OUT PLANTING SAUCER AT END OF ONE YEAR MAINTENANCE PERIOD. AREA AROUND TREES SHALL BE GRADED SMOOTH TO ELIMINATE MOUNDING. CONTRACTOR TO REMULCH AREA AROUND TREE WHEN GRADING IS COMPLETE.
CONSTRUCT 3" SAUCER ALL AROUND PLANTING HOLE. FLOOD WITH WATER TWICE WITHIN 24 HOURS.
BACKFILL WITH PLANTING MIX (SEE PLANTING SPECIFICATIONS). TAMP SOIL AROUND ROOT BALL BASE FIRMLY WITH FOOT PRESSURE SO THAT ROOT BALL DOES NOT SHIFT.
PLASTIC FLAGGING OR OTHER VISUAL MARKER ON EACH TREE CHAIN.
BLACK PLASTIC POLY CHAIN GUY LOCKING OR APPROVED EQUAL.
EACH TREE MUST BE PLANTED SUCH THAT THE TRUNK FLARE IS VISIBLE AT THE TOP OF THE ROOTBALL. TREES WHERE THE TRUNK FLARE IS NOT VISIBLE SHALL BE REJECTED. DO NOT COVER THE TOP OF THE ROOT BALL WITH SOIL. PLANT 1/8 OF ROOTBALL ABOVE FINAL GRADE.
MULCH RING 6 FOOT DIAMETER MINIMUM 8 FOOT DIAMETER PREFERRED
2 TO 3 INCHES OF MULCH. DO NOT PLACE MULCH IN CONTACT WITH TREE TRUNK.
FINAL GRADE
REMOVE ALL TWINE, ROPE, WIRE, AND BURLAP FROM TOP OF ROOT BALL. DO NOT REMOVE WIRE BASKET. BEND TOP OF WIRE BASKET DOWN INTO PLANTING PIT.
PLACE ROOT BALL ON UNEXCAVATED OR COMPACTED SOIL.
2"x2" BY 30" LONG WOOD STAKE. ALL STAKES SHALL BE DRIVEN OUTSIDE THE EDGE OF THE ROOT BALL INTO PREFERABLY UNEXCAVATED SOIL. DRIVE INTO GROUND AND EXPOSE ONLY 6"-8" OF STAKE.

EVERGREEN B&B TREE PLANTING DETAIL

NOT TO SCALE

See Bio-retention Details on Sheet 1



PROFILE

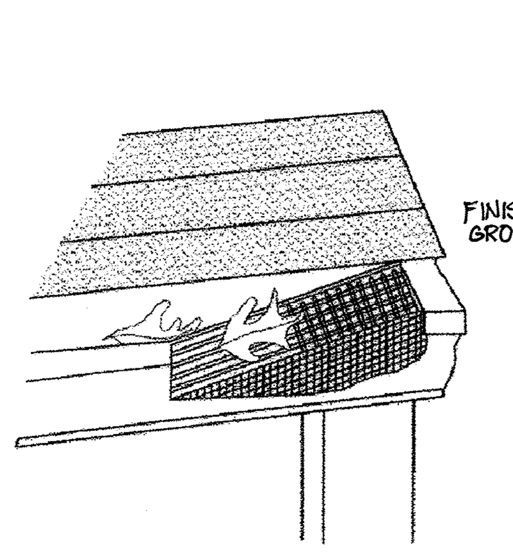
SCALE: HOR. 1"=30'

VERT. 1"=3'

LANDSCAPING PLANT LIST

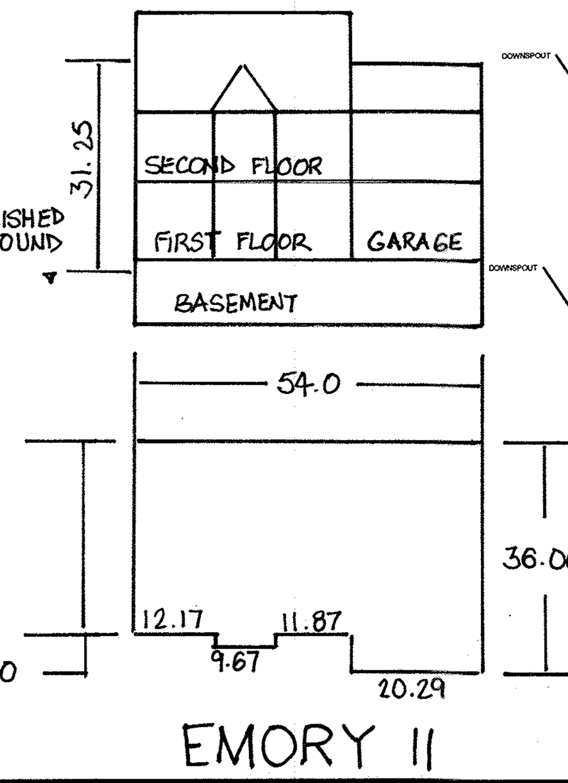
QTY.	KEY	NAME	SIZE
4		ACER RUBRUM 'OCTOBER GLORY' (OCTOBER RED MAPLE)	2 1/2" - 3" CALIPER FULL CROWN, B&B
4		PRUNUS SARGENTII (SARGENT CHERRY)	2 1/2" - 3" CALIPER FULL CROWN, B&B
3		ILEX 'NELLIE R. STEVENS' (NELLIE R. STEVENS HOLLY)	5' - 6' HT B&B
12		THUJA STANDISHII X PLICATA (GREEN GIANT ARBORVITAE)	5' - 6' HT B&B

TOTAL TREES: 8 SHADE TREES, 15 EVERGREEN

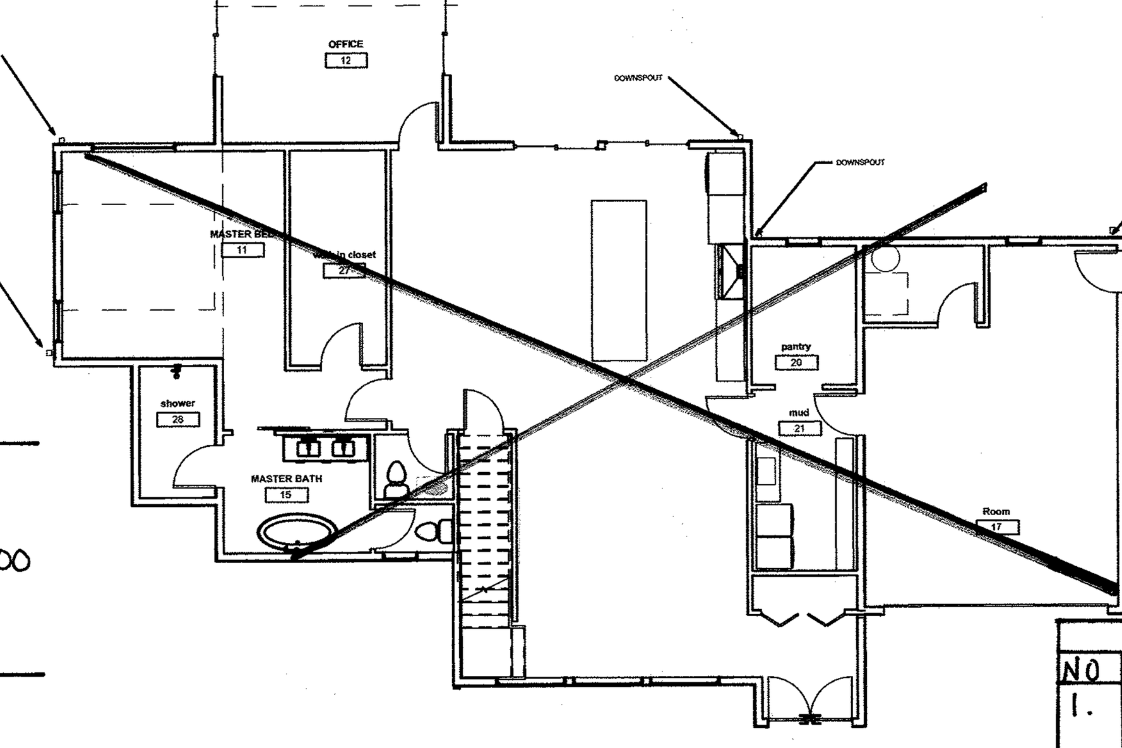


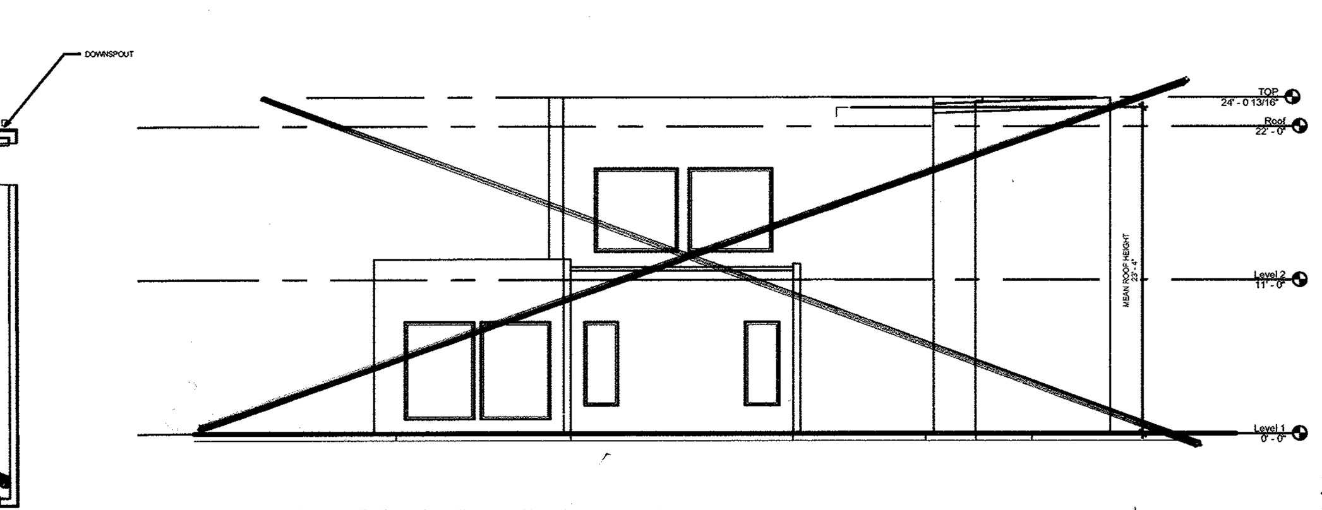
GUTTER DRAIN FILTER DETAIL

NOT TO SCALE



EMORY II





Note: Access to the existing house must remain while new driveway is constructed. Proper maintenance of traffic will be required throughout construction

REVISIONS		
NO	DESCRIPTION	DATE
1.	REVISED HOUSE MODEL AND ASSOCIATED GRADING ON LOT 1, REVISED LOD ON LOT 2 TO CORRECTED GRADING ERROR	MAR 2020

OWNER/DEVELOPER
IDREES MOHAMMAD
114 URICK LANE
MONROEVILLE, PA 15146
PHONE: 412-638-4819

HOWARD SCD SIGNATURE BLOCK

THIS PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

John R Robertson 6/11/19
HOWARD SOIL CONSERVATION DISTRICT DATE

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

6.19.19
CHIEF, DEVELOPMENT ENGINEERING DIVISION NY DATE

7-01-19
CHIEF, DIVISION OF LAND DEVELOPMENT KB DATE

7-2-19
DIRECTOR DATE

SITE DEVELOPMENT PLAN
IDREES RESIDENCE
LOTS 1 AND 2

SINGLE FAMILY DETACHED DWELLING
5518 MONTGOMERY ROAD, ELLICOTT CITY, MD-21042
PLAT NO.24546, (L. 18303, F. 345)
ECP-16-068 AND F-17-033
PARCEL 199, TAX MAP 31 GRID 20, ZONING R-20
FIRST ELECTION DISTRICT- HOWARD COUNTY, MARYLAND

STATE OF MARYLAND KUI LIN No. 35194 PROFESSIONAL ENGINEER
SEAL 6/3/19

Professional Certification: I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland, License No. 35194, Expiration Date: 6/6/20

KUI LIN, P.E.
8221 Ruxton Crossing Ct
Towson, MD 21204
PHONE (410) 948-7948

DRAWN BY: KL
CHECKED BY: KL
SCALE: 1" = 30'
DATE: 05/30/2019

SDP-19-021

HOWARD SOIL CONSERVATION DISTRICT (HSCD)
STANDARD SEDIMENT CONTROL NOTES

1. A pre-construction meeting must occur with the Howard County Department of Public Works, Construction Inspection Division (CID), 410-313-1855 after the future LOD and protected areas are marked clearly in the field. A minimum of 48 hour notice to CID must be given at the following stages:
a. Prior to the start of earth disturbance,
b. Upon completion of the installation of perimeter erosion and sediment controls, but before proceeding with any other earth disturbance or grading,
c. Prior to the start of another phase of construction or opening of another grading unit,
d. Prior to the removal or modification of sediment control practices.
Other building or grading inspection approvals may not be authorized until this initial approval by the inspection agency is made. Other related state and federal permits shall be referenced, to ensure coordination and to avoid conflicts with this plan.

2. All vegetative and structural practices are to be installed according to the provisions of this plan and are to be in conformance with the 2011 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL, and revisions thereto.

3. Following initial soil disturbance or re-disturbance, permanent or temporary stabilization is required within three (3) calendar days as to the surface of all perimeter controls, dikes, swales, ditches, perimeter slopes, and all slopes steeper than 3 horizontal to 1 vertical (3:1); and seven (7) calendar days as to all other disturbed areas on the project site except for those areas under active grading.

4. All disturbed areas must be stabilized within the time period specified above in accordance with the 2011 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL for topsoil (Sec. B-4-2), permanent seeding (Sec. B-4-5), temporary seeding (Sec. B-4-4) and mulching (Sec. B-4-3). Temporary stabilization with mulch alone can only be applied between the fall and spring seeding dates if the ground is frozen. Incremental stabilization (Sec. B-4-1) specifications shall be enforced in areas with >15' of cut and/or fill. Stockpiles (Sec. B-4-8) in excess of 20 ft. must be benched with stable outlet. All concentrated flow, steep slope, and highly erodible areas shall receive soil stabilization matting (Sec. B-4-6).

5. All sediment control structures are to remain in place, and are to be maintained in operative condition until permission for their removal has been obtained from the CID.

6. Site Analysis:
Total Area of Site: 0.559 +/- Acres
Area Disturbed: 0.69 +/- Acres
Area to be roofed or paved: 0.10 +/- Acres
Area to be vegetatively stabilized: 0.46 +/- Acres
Total Cut: 400 Cu. Yds.
Total Fill: 100 Cu. Yds.

7. Any sediment control practice which is disturbed by grading activity for placement of utilities must be repaired on the same day of disturbance.

8. Additional sediment control must be provided, if deemed necessary by the CID. The site and all controls shall be inspected by the contractor weekly; and the next day after each rain event. A written report by the contractor, made available upon request, is part of every inspection and should include:
• Inspection date
• Inspection type (routine, pre-storm event, during rain event)
• Name and title of inspector
• Weather information (current conditions as well as time and amount of last recorded precipitation)
• Brief description of project's status (e.g., percent complete) and/or current activities
• Evidence of sediment discharges
• Identification of plan deficiencies
• Identification of sediment controls that require maintenance
• Identification of missing or improperly installed sediment controls
• Compliance status regarding the sequence of construction and stabilization requirements
• Photographs
• Monitoring/sampling
• Maintenance and/or corrective action performed
• Other inspection items as required by the General Permit for Stormwater Associated with Construction Activities (NPDES, MDE).

9. Trenches for the construction of utilities is limited to three pipe lengths or that which can and shall be back-filled and stabilized by the end of each workday, whichever is shorter.

10. Any major changes or revisions to the plan or sequence of construction must be reviewed and approved by the HSCD prior to proceeding with construction. Minor revisions may allowed by the CID per the list of HSCD-approved field changes.

11. Disturbance shall not occur outside the L.O.D. A project is to be sequenced so that grading activities begin on one grading unit (maximum acreage of 20 ac. per grading unit) at a time. Work may proceed to a subsequent grading unit when at least 50 percent of the disturbed area in the preceding grading unit has been stabilized and approved by the CID. Unless otherwise specified and approved by the HSCD, no more than 30 acres cumulatively may be disturbed at a given time.

12. Wash water from any equipment, vehicles, wheels, pavement, and other sources must be treated in a sediment basin or other approved washout structure.

13. Topsoil shall be stockpiled and preserved on-site for redistribution onto final grade.

14. All Silt Fence and Super Silt Fence shall be placed on-the-contour, and be imbricated at 25' minimum intervals, with lower ends curled uphill by 2' in elevation.

15. Stream channels must not be disturbed during the following restricted time periods (inclusive):
• Use I and IP March 1 - June 15
• Use III and IIIP October 1 - April 30
• Use IV March 1 - May 31

16. A copy of this plan, the 2011 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL, and associated permits shall be on-site and available when the site is active.

SEQUENCE OF CONSTRUCTION

1. Obtain grading permit.
2. Notify Howard County DPW, Construction Inspection Division (CID) (313-1855) at least 24 hours before starting any work.
3. Install stabilized construction entrance, perimeter super silt fence, and diversion fence
4. With Inspector's approvals, remove necessary trees, structures and rough grade
5. Install temporary seeding
6. Construct house and driveway. install sewer house connection and water house connection. Construct SWM Facility per drawings & specifications.
7. Fine grade site. Install permanent seeding
8. All final grades and stabilization should be completed before any removal of controls. When all contributing areas to sediment control devices have been stabilized and with the permission of sediment control inspector, the sediment control devices may be removed.

B-4-5 STANDARDS AND SPECIFICATIONS
FOR
PERMANENT STABILIZATION

Definition
To stabilize disturbed soils with permanent vegetation.

Purpose
To use long-lived perennial grasses and legumes to establish permanent ground cover on disturbed soils.

Conditions Where Practice Applies
Exposed soils where ground cover is needed for 6 months or more.

Criteria
A. Seed Mixtures
1. General Use
a. Select one or more of the species or mixtures listed in Table B.3 for the appropriate Plant Hardiness Zone (from Figure B.3) and based on the site condition or purpose found on Table B.2. Enter selected mixture(s), application rates, and seeding dates in the Permanent Seeding Summary. The Summary is to be placed on the plan.
b. Additional planting specifications for exceptional sites such as shorelines, stream banks, or dunes or for special purposes such as wildlife or aesthetic treatment may be found in USDA-NRCS Technical Field Office Guide, Section 342 - Critical Area Planting.
c. For sites having disturbed area over 5 acres, use and show the rates recommended by the soil testing agency.
d. For areas receiving low maintenance, apply urea form fertilizer (46-0-0) at 3 ½ pounds per 1000 square feet (150 pounds per acre) at the time of seeding in addition to the soil amendments shown in the Permanent Seeding Summary .
2. Turfgrass Mixtures
a. Areas where turfgrass may be desired include lawns, parks, playgrounds, and commercial sites which will receive a medium to high level of maintenance.
b. Select one or more of the species or mixtures listed below based on the site conditions or purpose. Enter selected mixture(s), application rates, and seeding dates in the Permanent Seeding Summary. The summary is to be placed on the plan.
i. Kentucky Bluegrass: Full Sun Mixture: For use in areas that receive intensive management. Irrigation required in the areas of central Maryland and Eastern Shore. Recommended Certified Kentucky Bluegrass Cultivars Seeding Rate: 1.5 to 2.0 pounds per 1000 square feet. Choose a minimum of three Kentucky bluegrass cultivars with each ranging from 10 to 35 percent of the total mixture by weight.
ii. Kentucky Bluegrass/Perennial Rye: Full Sun Mixture: For use in full sun areas where rapid establishment is necessary and when turf will receive medium to intensive management. Certified Perennial Ryegrass Cultivars/Certified Kentucky Bluegrass Seeding Rate: 2 pounds mixture per 1000 square feet. Choose a minimum of three Kentucky bluegrass cultivars with each ranging from 10 to 35 percent of the total mixture by weight.
iii. Tall Fescue/Kentucky Bluegrass: Full Sun Mixture: For use in drought prone areas and/or for areas receiving low to medium management in full sun to medium shade. Recommended mixture includes; Certified Tall Fescue Cultivars 95 to 100 percent, Certified Kentucky Bluegrass Cultivars 0 to 5 percent. Seeding Rate: 5 to 8 pounds per 1000 square feet. One or more cultivars may be blended.
iv. Kentucky Bluegrass/Fine Fescue: Shade Mixture: For use in areas with shade in Bluegrass lawns. For establishment in high quality, intensively managed turf area. Mixture includes; Certified Kentucky Bluegrass Cultivars 30 to 40 percent and Certified Fine Fescue and 60 to 70 percent. Seeding Rate: 1½ to 3 pounds per 1000 square feet.

Notes:
Select turfgrass varieties from those listed in the most current University of Maryland Publication, Agronomy Memo #77, "Turfgrass Cultivar Recommendations for Maryland"

Choose certified material. Certified material is the best guarantee of cultivar purity. The certification program of the Maryland Department of Agriculture, Turf and Seed Section, provides a reliable means of consumer protection and assures a pure genetic line

c. Ideal Times of Seeding for Turf Grass Mixtures

Western MD: March 15 to June 1, August 1 to October 1 (Hardiness Zones: 5b, 6a)

Central MD: March 1 to May 15, August 15 to October 15 (Hardiness Zone: 6b)

Southern MD. Eastern Shore: March 1 to May 15, August 15 to October 15 (Hardiness Zones: 7a, 7b)

d. Till areas to receive seed by disking or other approved methods to a depth of 2 to 4 inches, level and rake the areas to prepare a proper seedbed. Remove stones and debris over 1½ inches in diameter. The resulting seedbed must be in such condition that future mowing of grasses will pose no difficulty.
e. If soil moisture is deficient, supply new seedings with adequate water for plant growth (½ to 1 inch every 3 to 4 days depending on soil texture) until they are firmly established. This is especially true when seedings are made late in the planting season, in abnormally dry or hot seasons, or on adverse sites.

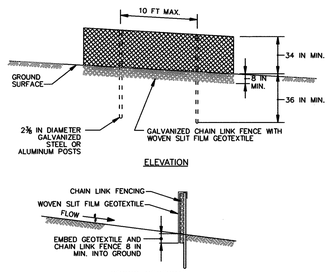
Permanent Seeding Summary

Hardiness Zone (from Figure B.3): 6B Seed Mixture (from Table B.3):					Fertilizer Rate (10-20-20)			Lime Rate
No.	Species	Application Rate (lb/ac)	Seeding Dates	Seeding Depths	N	P_2O_5	K_2O	
	Barley	40	March 1	¼- ½ in	45 pounds per acre (1.0 lb/ 1000 sf)	90 lb/ac (2 lb/ 1000 sf)	90 lb/ac (2 lb/ 1000 sf)	2 tons/ac (90 lb/ 1000 sf)
			to May 15 Aug 1 to	¼- ½ in				
			Oct 15	¼- ½ in				

B. Sod: To provide quick cover on disturbed areas (2:1 grade or flatter).
1. General Specifications
a. Class of turfgrass sod must be Maryland State Certified. Sod labels must be made available to the job foreman and inspector.
b. Sod must be machine cut at a uniform soil thickness of ¾ inch, plus or minus ¼ inch, at the time of cutting. Measurement for thickness must exclude top growth and thatch. Broken pads and torn or uneven ends will not be acceptable.
c. Standard size sections of sod must be strong enough to support their own weight and retain their size and shape when suspended vertically with a firm grasp on the upper 10 percent of the section.
d. Sod must not be harvested or transplanted when moisture content (excessively dry or wet) may adversely affect its survival.
e. Sod must be harvested, delivered, and installed within a period of 36 hours. Sod not transplanted within this period must be approved by an agronomist or soil scientist prior to its installation.
2. Sod Installation
a. During periods of excessively high temperature or in areas having dry subsoil, lightly irrigate the subsoil immediately prior to laying the sod.
b. Lay the first row of sod in a straight line with subsequent rows placed parallel to it and tightly wedged against each other. Stagger lateral joints to promote more uniform growth and strength. Ensure that sod is not stretched or overlapped and that all joints are butted tight in order to prevent voids which would cause air drying of the roots.
c. Wherever possible, lay sod with the long edges parallel to the contour and with staggering joints. Roll and tamp, peg or otherwise secure the sod to prevent slippage on slopes. Ensure solid contact exists between sod roots and the underlying soil surface.
d. Water the sod immediately following rolling and tamping until the underside of the new sod pad and soil surface below the sod are thoroughly wet. Complete the operations of laying, tamping and irrigating for any piece of sod within eight hours.
3. Sod Maintenance
a. In the absence of adequate rainfall, water daily during the first week or as often and sufficiently as necessary to maintain moist soil to a depth of 4 inches. Water sod during the heat of the day to prevent wilting.
b. After the first week, sod watering is required as necessary to maintain adequate moisture content.
c. Do not mow until the sod is firmly rooted. No more than ⅓ of the grass leaf must be removed by the initial cutting or subsequent cuttings. Maintain a grass height of at least 3 inches unless otherwise specified.

DETAIL E-3 SUPER SILT FENCE

STANDARD SYMBOL: SSF



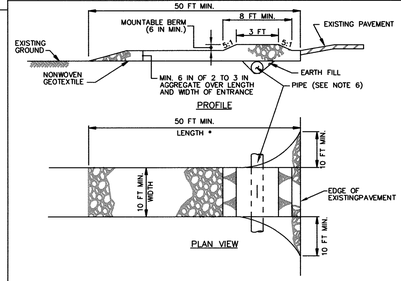
CONSTRUCTION SPECIFICATIONS
1. INSTALL 2⅜ INCH DIAMETER GALVANIZED STEEL POSTS OF 0.095 INCH WALL THICKNESS AND SIX FOOT LENGTH SPACED NO FURTHER THAN 10 FEET APART. DRIVE THE POSTS A MINIMUM OF 36 INCHES INTO THE GROUND.
2. FASTEN 9 GAUGE OR HEAVIER GALVANIZED CHAIN LINK FENCE (2⅜ INCH MAXIMUM OPENING) 42 INCHES IN HEIGHT SECURELY TO THE FENCE POSTS WITH WIRE TIES OR HUG RINGS.
3. FASTEN WOVEN SLIT FILM GEOTEXTILE AS SPECIFIED IN SECTION H-1 MATERIALS, SECURELY TO THE UPSLOPE SIDE OF CHAIN LINK FENCE WITH TIES SPACED EVERY 24 INCHES AT THE TOP AND MID SECTION. EMBED GEOTEXTILE AND CHAIN LINK FENCE A MINIMUM OF 8 INCHES INTO THE GROUND.
4. WHERE ENDS OF THE GEOTEXTILE COME TOGETHER, THE ENDS SHALL BE OVERLAPPED BY 6 INCHES, FOLDED, AND STAPLED TO PREVENT SEDIMENT BY PASS.
5. EXTEND BOTH ENDS OF THE SUPER SILT FENCE A MINIMUM OF FIVE HORIZONTAL FEET UPSLOPE AT 45 DEGREES TO THE MAIN FENCE ALIGNMENT TO PREVENT RUNOFF FROM GOING AROUND THE ENDS OF THE SUPER SILT FENCE.
6. PROVIDE MANUFACTURER CERTIFICATION TO THE INSPECTION/ENFORCEMENT AUTHORITY SHOWING THAT GEOTEXTILE USED MEETS THE REQUIREMENTS IN SECTION H-1 MATERIALS.
7. REMOVE ACCUMULATED SEDIMENT AND DEBRIS WHEN BULGES DEVELOP IN FENCE OR WHEN SEDIMENT REACHES 25% OF FENCE HEIGHT. REPLACE GEOTEXTILE IF TORN. IF UNDERMINING OCCURS, REINSTALL CHAIN LINK FENCING AND GEOTEXTILE.

MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL

U.S. DEPARTMENT OF AGRICULTURE NATURAL RESOURCES CONSERVATION SERVICE	2011	MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION

DETAIL B-1 STABILIZED CONSTRUCTION ENTRANCE

STANDARD SYMBOL: SCE



CONSTRUCTION SPECIFICATIONS
1. PLACE STABILIZED CONSTRUCTION ENTRANCE IN ACCORDANCE WITH THE APPROVED PLAN. VEHICLES MUST TRAVEL OVER THE ENTIRE LENGTH OF THE SCE. USE MINIMUM LENGTH OF 50 FEET (*30 FEET FOR SINGLE RESIDENCE LOT). USE MINIMUM WIDTH OF 10 FEET. FLARE SCE 10 FEET MINIMUM AT THE EXISTING ROAD TO PROVIDE A TURNING RADIUS.
2. PIPE ALL SURFACE WATER FLOWING TO OR DIVERTED TOWARD THE SCE UNDER THE ENTRANCE, MAINTAINING POSITIVE DRAINAGE. PROTECT PIPE INSTALLED THROUGH THE SCE WITH A MOUNTABLE BERM WITH 5:1 SLOPES AND A MINIMUM OF 12 INCHES OF STONE OVER THE PIPE. PROVIDE PIPE AS SPECIFIED ON APPROVED PLAN. WHEN THE SCE IS LOCATED AT A HIGH SPOT AND HAS NO DRAINAGE TO CONVEY, A PIPE IS NOT NECESSARY. A MOUNTABLE BERM IS REQUIRED WHEN SCE IS NOT LOCATED AT A HIGH SPOT.
3. PREPARE SUBGRADE AND PLACE NONWOVEN GEOTEXTILE, AS SPECIFIED IN SECTION H-1 MATERIALS.
4. PLACE CRUSHED AGGREGATE (2 TO 3 INCHES IN SIZE) OR EQUIVALENT RECYCLED CONCRETE (WITHOUT REBAR) AT LEAST 6 INCHES DEEP OVER THE LENGTH AND WIDTH OF THE SCE.
5. MAINTAIN ENTRANCE IN A CONDITION THAT MINIMIZES TRACKING OF SEDIMENT. ADD STONE OR MAKE OTHER REPAIRS AS CONDITIONS DEMAND TO MAINTAIN CLEAN SURFACE, MOUNTABLE BERM, AND SPECIFIED DIMENSIONS. IMMEDIATELY REMOVE STONE AND/OR SEDIMENT SPILLED, DROPPED, OR TRACKED ONTO ADJACENT ROADWAY BY VACUUMING, SCRAPING, AND/OR SWEEPING. WASHING ROADWAY TO REMOVE MUD TRACKED ONTO PAVEMENT IS NOT ACCEPTABLE UNLESS WASH WATER IS DIRECTED TO AN APPROVED SEDIMENT CONTROL PRACTICE.

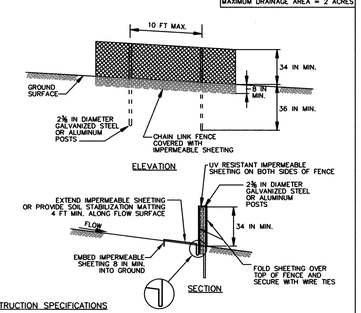
MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL

U.S. DEPARTMENT OF AGRICULTURE NATURAL RESOURCES CONSERVATION SERVICE	2011	MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION

DETAIL C-9 DIVERSION FENCE

STANDARD SYMBOL: DF

MAXIMUM DRAINAGE AREA = 2 ACRES



CONSTRUCTION SPECIFICATIONS
1. USE 42 INCH HIGH, 9 GAUGE OR THICKER CHAIN LINK FENCING (2⅜ INCH MAXIMUM OPENING).
2. USE 2⅜ INCH DIAMETER GALVANIZED STEEL POSTS OF 0.095 INCH WALL THICKNESS AND SIX FOOT LENGTH SPACED NO FURTHER THAN 10 FEET APART. THE POSTS DO NOT NEED TO BE SET IN CONCRETE.
3. FASTEN CHAIN LINK FENCE SECURELY TO THE FENCE POSTS WITH WIRE TIES.
4. SECURE 10 MIL OR THICKER UV RESISTANT, IMPERMEABLE SHEETING TO CHAIN LINK FENCE WITH TIES SPACED EVERY 24 INCHES AT TOP, MID SECTION, AND BELOW GROUND SURFACE.
5. EXTEND SHEETING A MINIMUM OF 4 FEET ALONG FLOW SURFACE AND EMBED END A MINIMUM OF 8 INCHES INTO GROUND. SOIL STABILIZATION MATTING MAY BE USED IN LIEU OF IMPERMEABLE SHEETING ALONG FLOW SURFACE.
6. WHEN TWO SECTIONS OF SHEETING ADJOIN EACH OTHER, OVERLAP BY 6 INCHES AND FOLD WITH SEAM FACING DOWNGRADE.
7. KEEP FLOW SURFACE ALONG DIVERSION FENCE AND POINT OF DISCHARGE FREE OF EROSION. REMOVE ACCUMULATED SEDIMENT AND DEBRIS. MAINTAIN POSITIVE DRAINAGE. REPLACE IMPERMEABLE SHEETING IF TORN. IF UNDERMINING OCCURS, REINSTALL FENCE.

MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL

U.S. DEPARTMENT OF AGRICULTURE NATURAL RESOURCES CONSERVATION SERVICE	2011	MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION

B-4-4 STANDARDS AND SPECIFICATIONS
FOR
TEMPORARY STABILIZATION

Definition
To stabilize disturbed soils with vegetation for up to 6 months.

Purpose
To use fast growing vegetation that provides cover on disturbed soils.

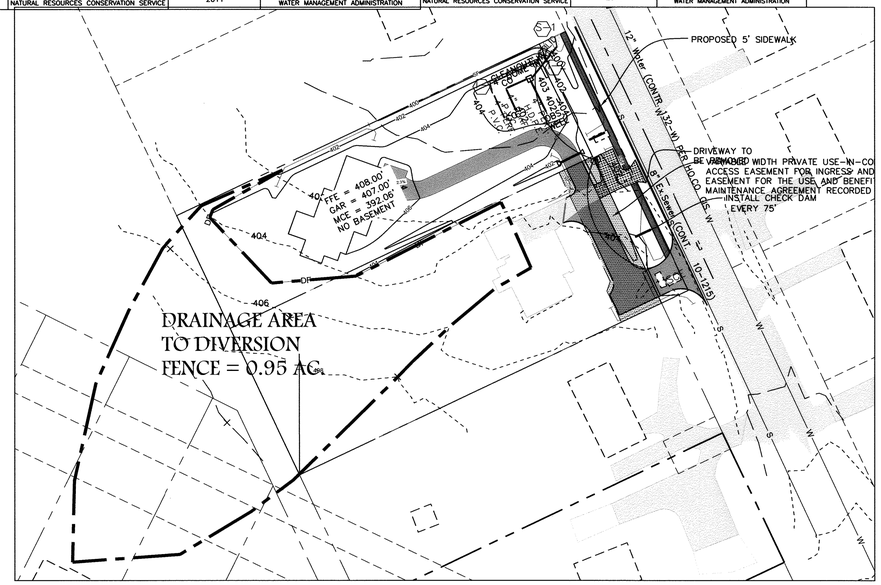
Conditions Where Practice Applies
Exposed soils where ground cover is needed for a period of 6 months or less. For longer duration of time, permanent stabilization practices are required.

Criteria
1. Select one or more of the species or seed mixtures listed in Table B.1 for the appropriate Plant Hardiness Zone (from Figure B.3), and enter them in the Temporary Seeding Summary below along with application rates, seeding dates and seeding depths. If this Summary is not put on the plan and completed, then Table B.1 plus fertilizer and lime rates must be put on the plan.
2. For sites having soil tests performed, use and show the recommended rates by the testing agency. Soil tests are not required for Temporary Seeding.
3. When stabilization is required outside of a seeding season, apply seed and mulch or straw mulch alone as prescribed in Section B-4-3.A.1.b and maintain until the next seeding season.

Temporary Seeding Summary

Hardiness Zone (from Figure B.3): 6B Seed Mixture (from Table B.1):					Fertilizer Rate (10-20-20)	Lime Rate
No.	Species	Application Rate (lb/ac)	Seeding Dates	Seeding Depths		
	Barley	40	March 1 to May 15 Aug 1 to Oct 15	1	436 lb/ac (10 lb/1000 sf)	2 tons/ac (90 lb/1000 sf)

Note: Cut and Fill Volume for estimates only. Contractor responsible for Cut and Fill Volume.



OWNER/DEVELOPER
IDREES MOHAMMAD
114 URICK LANE
MONROEVILLE, PA 15146
PHONE: 412-638-4819

HOWARD SCD SIGNATURE BLOCK
THIS PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

HOWARD SOIL CONSERVATION DISTRICT — DATE 6/11/19

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

CHIEF, DEVELOPMENT ENGINEERING DIVISION — DATE 6.19.19

CHIEF, DIVISION OF LAND DEVELOPMENT — DATE 7-01-19

DIRECTOR — DATE 7-02-19

ESC NOTES AND DETAILS
IDREES RESIDENCE
LOTS 1 AND 2
SINGLE FAMILY DETACHED DWELLING
5518 MONTGOMERY ROAD, ELLICOTT CITY, MD-21042
PLAT NO.24546, (L. 18303, F. 345)
ECP-16-068 AND F-17-033
PARCEL 199, TAX MAP 31 GRID 20, ZONING R-20
FIRST ELECTION DISTRICT- HOWARD COUNTY, MARYLAND

STATE OF MARYLAND — KUI LIN — No. 35194 — PROFESSIONAL ENGINEER — SEAL — 6/7/19

Professional Certification: I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland, License No. 35194, Expiration Date: 6/6/20

KUI LIN, P.E.
8221 Ruxton Crossing Ct
Towson, MD 21204
PHONE (410) 948-7948

DRAWN BY: KL
CHECKED BY: KL
SCALE: 1" = 30'
DATE: 05/30/2019
SHEET 3 OF 3

SDP-19-021