### **GENERAL NOTES** THE CONTRACTOR SHALL NOTIFY THE DEPARTMENT OF PUBLIC WORKS/BUREAU OF ENGINEERING/CONSTRUCTION INSPECTION DIVISION AT

(410) 313-1880 AT LEAST FIVE (5) WORKING DAYS PRIOR TO START OF WORK. THE CONTRACTOR SHALL NOTIFY "MISS UTILITY" AT 1-800-257-7777 AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION WORK. ALL ASPECTS OF THE PROJECT ARE IN CONFORMANCE WITH THE LATEST HOWARD COUNTY STANDARDS UNLESS ALTERNATIVE COMPLIANCE

THE TRAFFIC STUDY FOR THIS PROJECT WAS PREPARED BY THE TRAFFIC GROUP, DATED 02-02-2016, AND APPROVED ON MARCH 6, 2017. THE COORDINATES SHOWN HEREON ARE BASED UPON THE HOWARD COUNTY GEODETIC CONTROL, WHICH IS BASED UPON THE MARYLAND STATE PLANE COORDINATE SYSTEM. HOWARD COUNTY MONUMENT NOS. 38E1 AND 38H1 WERE USED FOR THIS PROJECT. N 557,794.508 E 1,393,570.083 0043 N 558,479.001 E 1,386,642.122

THE PROPERTY BOUNDARY IS BASED ON A FIELD RUN MONUMENTED BOUNDARY SURVEY PERFORMED ON OR ABOUT MAY 8, 2015 BY ROBERT C. HARR, JR,. FOR BOHLER ENGINEERING.

THE SUBJECT PROPERTY IS ZONED R-12 PER THE 10/06/2013 COMPREHENSIVE ZONING PLAN. THE GEOTECHNICAL REPORT FOR THIS PROJECT WAS PREPARED BY HILLIS-CARNES, DATED DECEMBER 14, 2016, AND WAS APPROVED ON

STORMWATER MANAGEMENT PRACTICES ARE REQUIRED IN ACCORDANCE WITH THE DESIGN MANUALS. PRIOR TO SIGNATURE APPROVAL OF THE FINAL PLAT OR SITE DEVELOPMENT PLAN, THE DEVELOPER WILL BE REQUIRED TO EXECUTE THE DECLARATION OF COVENANT AND/OR A DEVELOPER'S AGREEMENT FOR THE CONSTRUCTION OF THE STORMWATER MANAGEMENT PRACTICES AND A MAINTENANCE AGREEMENT. EXISTING UTILITIES ARE BASED ON FIELD RUN SURVEY PERFORMED BY BOHLER ENGINEERING, DATED 05-08-2015 AND HOWARD COUNTY

RECORD PLANS FOR THE WHITETAIL WOODS II AND CANBURY WOODS SUBDIVISION. ANY DAMAGE TO THE COUNTY'S RIGHTS-OF-WAY, PAVING, OR EXISTING UTILITIES SHALL BE CORRECTED AT THE CONTRACTOR'S EXPENSE SHC ELEVATIONS ARE LOCATED AT THE PROPERTY LINE / EDGE OF EASEMENT. DRIVEWAY SHALL BE PROVIDED PRIOR TO RESIDENTIAL OCCUPANCY TO ENSURE SAFE ACCESS FOR FIRE AND EMERGENCY VEHICLES PER THE

FOLLOWING (MINIMUM) REQUIREMENTS: A-WIDTH 12 FEET (16 FEET SERVING MORE THAN ONE RESIDENCE)

B-SURFACE - 6 INCHES OF COMPACTED CRUSHER RUN BASE WITH TAR AND CHIP COATING (1-1 1/2" MIN.)

C-GEOMETRY - MAX. 15% GRADE, MAXIMUM 10% GRADE CHANGE AND MINIMUM OF 45 TURNING RADIUS D- STRUCTURES (CULVERTS/BRIDGES) CAPABLE OF SUPPORTING 25 GROSS TONS (H 25 LOADING)

DRAINAGE ELEMENTS - CAPABLE OF SAFELY PASSING 100 YEAR FLOOD WITH NO MORE THAN 1 FOOT DEPTH OVER DRIVEWAY SURFACE F- STRUCTURE CLEARANCES- MINIMUM 12 FEET

G- MAINTENANCE - SUFFICIENT TO INSURE ALL WEATHER USE THE CONTRACTOR IS TO NOTIFY THE FOLLOWING UTILITIES OR AGENCIES AT LEAST FIVE DAYS BEFORE STARTING

1-800-252-1133 410-637-8713 BGE (CONSTRUCTION SERVICES) BGE (EMERGENCY) 410-685-0123 410-313-4900 BUREAU OF UTILITIES COLONIAL PIPELINE CO 410-795-1390 1-800-257-7777 STATE HIGHWAY ADMINISTRATION VERIZON 1-800-743-0033

15. THE PROPERTY TOPOGRAPHY IS BASED ON A FIELD RUN SURVEY PERFORMED ON OR ABOUT MAY 8, 2015 BY ROBERT C. HARR, JR, FOR BOHLER ENGINEERING THE WATER HOUSE CONNECTION SHALL BE OUTSIDE METER SETTING UNLESS OTHERWISE NOTED ON THE PLANS OR IN SPECIFICATIONS. . IN ACCORDANCE WITH SECTION 128.0.A OF THE HOWARD COUNTY ZONING REGULATIONS, BAY WINDOWS, CHIMNEYS, OR EXTERIOR STAIRWAYS NOT MORE THAN 16 FEET IN WIDTH MAY PROJECT NOT MORE THAN 4 FEET INTO ANY SETBACKS. PORCHES OR DECKS, OPEN OR ENCLOSED MAY PROJECT NOT MORE THAN 10 FEET INTO THE FRONT OR REAR YARD SETBACK.

. NO GRADING, REMOVAL OF VEGETATIVE COVER OR TREES, PAVING AND NEW STRUCTURES SHALL BE PERMITTED WITHIN THE REQUIRED WETLANDS, STREAM(S) OR THEIR BUFFERS, FOREST CONSERVATION EASEMENT AREAS AND 100 YEAR FLOODPLAIN (REFER TO WP-16-150.) 19. THIS PROPERTY IS LOCATED INSIDE THE METROPOLITAN DISTRICT. WATER AND SEWER SERVICE TO LOT 1 WILL BE GRANTED UNDER THE PROVISIONS OF SECTION 18.122.B OF THE HOWARD COUNTY CODE.

WILL BE PROVIDED THROUGH CONTRACT NO. 14-1404-D, CONT NO. 14-3281-D, & CONT. NO. 14-1450-D. 22. PUBLIC WATER AND SEWER ALLOCATION WILL BE GRANTED AT THE TIME OF ISSUANCE OF THE BUILDING PERMIT IF CAPACITY IS AVAILABLE 23. FOREST CONSERVATION REQUIREMENT HAD BEEN ESTABLISHED TO FULFILL THE REQUIREMENTS OF SECTION 16.1200 OF THE HOWARD COUNTY

WATER AND SEWER SERVICE FOR LOT 1 WILL BE PUBLIC. WATER WILL BE PROVIDED THROUGH CONTRACT NO. 14-1404-D. SEWER

CODE AND THE FOREST CONSERVATION ACT. NO CLEARING, GRADING, OR CONSTRUCTION IS PERMITTED WITHIN THE FOREST CONSERVATION EASEMENT: HOWEVER, FOREST MANAGEMENT PRACTICES AS DEFINED IN THE DEED OF FOREST CONSERVATION EASEMENT ARE ALLOWED. THE FOREST CONSERVATION OBLIGATION HAS BEEN FULFILLED UNDER F-18-008. . ALTERNATIVE COMPLIANCE REQUEST WP-16-150 WAS APPROVED ON JULY 11, 2017 WITH THE FOLLOWING CONDITIONS

1-APPROVAL IS LIMITED TO THE REMOVAL OF SPECIMEN TREES #1-4, 6-7, 9, 11-12, 21-23 AS DEPICTED ON THE ALTERNATIVE COMPLIANCE EXHIBIT. ANY PROPOSAL TO REMOVE ADDITIONAL SPECIMEN TREES WILL REQUIRE A NEW ALTERNATIVE COMPLIANCE REQUEST OF AN AMENDMENT TO THIS ALTERNATIVE COMPLIANCE REQUEST. 2-A MINIMUM OF 24 ADDITIONAL, NATIVE, 3" (MIN.) CALIPER TREES SHALL BE PROVIDED ON SITE AS A PART OF THE MITIGATION FOR THE

SPECIMEN TREE REMOVAL. THIS MITIGATION WILL BE ADDRESSED WITH THE FINAL PLAN AND WILL BE IN ADDITION TO ANY REQUIRED LANDSCAPE OR FOREST CONSERVATION PLANTINGS. THE MITIGATION WILL ALSO BE SHOWN ON THE ASSOCIATED LANDSCAPE PLAN 3-DUE TO THEIR PROXIMITY TO THE LOD OR OTHER POTENTIAL DISTURBANCES, INDIVIDUAL TREE PROTECTIVE DEVICES (TREE FENCING) SHALL BE PLACED COMPLETELY AROUND THE CRITICAL ROOT ZONE OF SPECIMEN TREES #5, 8, 10, AND 14, PRIOR TO THE COMMENCEMENT OF ANY GRADING. THIS SHALL BE OUTLINED IN THE PRE-CONSTRUCTION MANAGEMENT PLAN OF THE FINAL FOREST CONSERVATION PLAN (FCP) AND WITHIN THE SEQUENCE OF CONSTRUCTION PROVIDED ON THE SITE DEVELOPMENT PLAN. 4-STEEP SLOPE IMPACT IS LIMITED TO 4,194 SF AS DEPICTED ON THE ALTERNATIVE COMPLIANCE EXHIBIT

5-FINAL PLAT AND PLAN CANNOT BE APPROVED PRIOR TO WRITEN CONFIRMATION FROM THE STATE'S ATTORNEY'S OFFICE THAT ALL PROCESSES AND PROCEDURES FOR DISINTERNMENT AND REINTERNMENT HAVE BEEN APPROVED; AND NOSITE DEVELOPMENT PLAN CAN BE SIGNED UNTIL ALL GRAVES HAVE BEEN SUCCESSFULLY RELOCATED. 25. FILE REFERENCES: ECP-16-008, F-05-094, S-16-001, S-03-02, P-04-11, WP-16-150, CONT.#14-4220-D, P-17-001, AND

26. FOR FLAG OF PIPESTEM LOTS, REFUSE COLLECTION, SNOW REMOVAL AND ROAD MAINTENANCE ARE PROVIDED TO THE JUNCTION OF THE FLAG OR PIPESTEM AND THE ROAD RIGHT OF WAY ONLY AND NOT ONTO THE FLAG OR PIPESTEM LOT DRIVEWAY.

STEEP SLOPE IMPACT (25% OR GREATER) IS LIMITED TO 4,194 SF AS DEPICTED ON THE ALTERNATIVE COMPLIANCE THERE IS A FAMILY CEMETERY, FAMILY NAME REIMENSNIDER, WHERE ARCHEOLOGY CONSULTANTS DISCOVERED AT LEAST NINE CONFIRMED BURIALS. PER A LETTER FROM THE OFFICE OF THE STATES ATTORNEY FOR HOWARD COUNTY, DATED JUNE 14, 2017, THE DISINTERMENT OF ANY REMAINS AND TOMBSTONES IS AUTHORIZED. REINTERMENT OF THE REMAINS WITH IDENTIFYING TOMBSTONES WAS COMPLETED AT ZION CEMETERY, 6600 AMBERTON DRIVE ELKRIDGE, MD 21075

29. THE FLOODPLAIN STUDY AND EXISTING CSX CULVERT ANALYSIS REPORT FOR THIS PROJECT WAS PREPARED BY BOHLER ENGINEERING, DATED MAY 2, 2017, AND WAS APPROVED ON MARCH 6, 2017. 30. FOREST STAND DELINEATION REPORT WAS COMPLETED BY FORENVICON ON FEBRUARY 2ND, 2016. FIELD WORK WAS PERFORMED ON JANUARY

31. THIS PROPERTY IS LOCATED APPROXIMATELY 10,500 FEET FROM RUNWAY 15R LOCATED AT BWI THURGOOD MARSHALL AIRPORT. MARYLAND DEPARTMENT OF AVIATION (MAA) HAS REVIEWED AND APPROVED THE PROPOSED PRELIMINARY PLAN, APPROVAL DATE JULY 14, 2016. THE FINAL PLAN HAS BEEN REVIEWED AND APPROVED ON MARCH 29, 2018. . NO WETLANDS EXIST ON SITE BASED UPON THE NRI WETLAND INVESTIGATION AND FOREST STAND DELINEATION REPORT BY FORENVICON DATED

33. LANDSCAPING FOR THIS SUBDIVISION HAD BEEN PROVIDED IN ACCORDANCE WITH SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL UNDER F-18-008.

34. PUBLIC STREET TREES HAD BEEN PROVIDED FOR THIS PROJECT IN ACCORDANCE WITH SECTION 16.124(e)(1) OF THE SUBDIVISION REGULATIONS AND THE LANDSCAPE MANUAL UNDER F-18-008. 35. OPEN SPACE LOT 43 SHALL BE DEDICATED TO HOWARD COUNTY DEPARTMENT OF RECREATION AND PARKS. OPEN SPACE LOT 44 SHALL BE

OWNED BY THE HOMEOWNERS ASSOCIATION. 36. A NOISE STUDY HAS BEEN COMPLETED BY FORENSIC ENVIRONMENTAL CONSULTANTS (FORENVICON) DATED OCTOBER 10TH, 2017. BASED ON THE STUDY RECOMMENDATION ON LOTS 12 & 23 HAS BEEN DESIGNED WITH 1.5' KNEE WALL. LOT 19 HAS BEEN DESIGNED WITH A 2.5' KNEE WALL AND LOT 24 HAS BEEN DESIGNED WITH A BERM ELEVATION OF 116.5' AS REQUIRED. THE 65 DBA NOISE CONTOUR LINE DRAWN ON THIS SUBDIVISION PLAN IS ADVISORY AS REQUIRED BY THE HOWARD COUNTY DESIGN MANUAL,

CHAPTER 5, REVISED FEBRUARY, 1992 AND CANNOT BE CONSIDERED TO EXACLTY LOCATE THE 65 DBA NOISE EXPOSURE. THE 65 DBA NOISE LINE WAS ESTABLISHED BY HOWARD COUTNY TO ALERT DEVELOPERS, BUILDERS AND FUTURE RESIDENTS THAT AREAS BEYOND THIS THRESHOLD MAY EXCEED GENERALLY ACCEPTED NOISE LEVELS ESTABLISHED BY THE U.S. DEPARTMENT OF HOUSING AND URBAN DEVELOPMENT. A PRE-SUBMISSION COMMUNITY MEETING WAS HELD ON JULY 21, 2015 AT 6:30 PM AT ROCKBURN ELEMENTARY SCHOOL 38. IN ACCORDANCE WITH SECTION 109.0.E OF THE ZONING REGULATIONS, AT LEAST 10% OF THE DWELLINGS IN THIS R-12 DEVELOPMENT SHALL BE MODERATE INCOME HOUSING UNITS. THIS REQUIREMENT WILL BE MET THROUGH PAYMENT OF A FEE IN LIEU. L. 18649 F. 304

DEPARTMENT OF ASSESSMENTS AND TAXATION ON 8 / 28 / 2018, FILING NO. 1000362011491588 DECLARATION OF CONVENANTS AND RESTRICTIONS FOR THE ELKRIDGE WOODS HOMEOWNERS ASSOCIATION, INC. WAS RECORDED SIMULTANEOUSLY WITH THE FINAL PLAT. 40. GRADING AND DISTURBANCE OF ENVIRONMENTAL FEATURES AS APPLICABLE FOR OUTFALL LOCATIONS AND/OR UTILITY CONSTRUCTION IS CONSIDERED ESSENTIAL DISTURBANCE. NO OTHER GRADING, DISTURBANCE OR VEGETATIVE REMOVAL IS PÉRMITTED IN WETLANDS, STREAMS, THEIR BUFFERS, FLOOD PLAIN OR FOREST CONSERVATION EASEMENT AREAS.

39. ARTICLES OF INCORPORATION FOR THE ELKRIDGE WOODS HOMEOWNERS ASSOCIATION, INC. HAS BEEN FILED WITH THE MARYLAND STATE

. PARKING WILL BE RESTRICTED TO ONE SIDE OF THE PUBLIC ROAD(S) WITH 24' PAVEMENT WIDTH. 42. THIS PLAN IS SUBJECT TO THE AMENDED FIFTH EDITION OF THE SUBDIVISION AND LAND DEVELOPMENT REGULATIONS. DEVELOPMENT OR CONSTRUCTION OF THESE LOTS MUST COMPLY WITH SETBACK AND BUFFER REGULATIONS IN EFFECT AT THE TIME OF SUBMISSION OF THE

6-6-19

DATE

6-6-19

SITE DEVELOPMENT PLAN, WAIVER PETITION, OR BUILDING AND GRADING PERMITS.  $raket{43}$ . THE PROPOSED UNITS SHALL HAVE AN AUTOMATIC FIRE PROTECTION SPRINKLER SYSTEM.

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

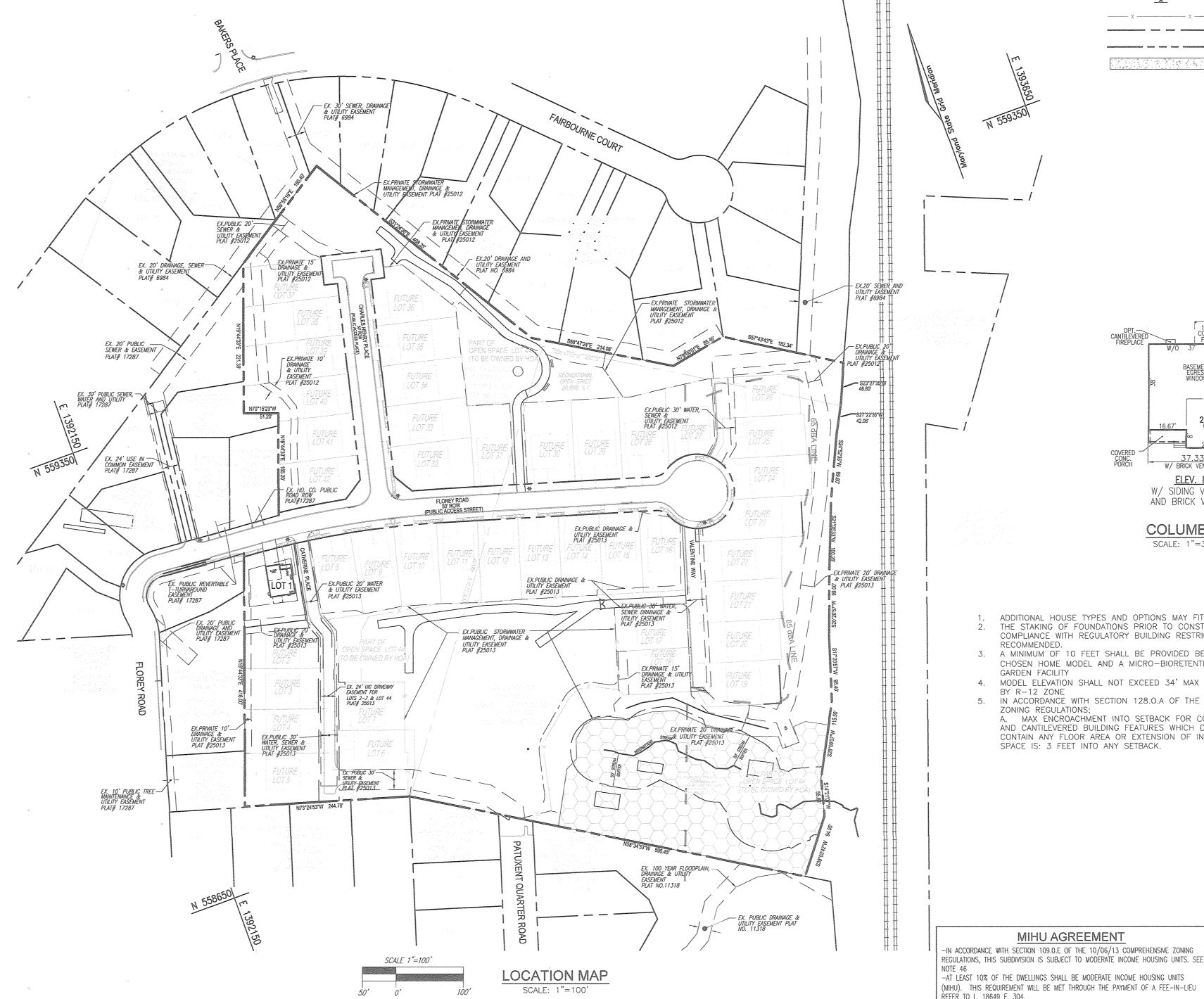
EVELOPMENT ENGINEERING DIVISION

44. HIGHLY ERODABLE SOILS EXIST ON SITE. SEDIMENT CONTROL PLANS WILL ADDRESS THE EROSION CONCERNS. 45. AN ENVIRONMENTAL CONCEPT PLAN (ECP-16-008) WAS APPROVED JUNE 2017.

46. SOIL TYPES SHOWN HEREON ARE IN ACCORDANCE WITH THE WEB SOIL SURVEY HOWARD COUNTY, MARYLAND MAP# 20. 47. FOR DRIVEWAY ENTRANCE DETAILS REFER TO THE HOWARD COUNTY DESIGN MANUAL, VOLUME IV, STANDARD DETAL R-6.03.

# SITE DEVELOPMENT PLAN ELKRIDGE WOODS

HOWARD COUNTY, MARYLAND

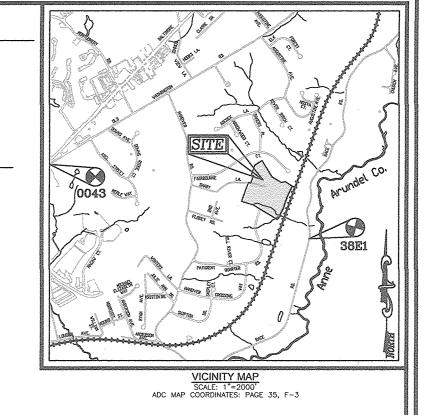


# BENCHMARKS

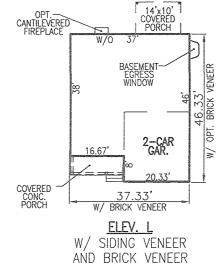
HOWARD COUNTY BENCHMARK 38E1 N 557,794.508 E 1,393,570.083 ELEV.: 32.408' HOWARD COUNTY BENCHMARK 0043 N 558,479.001 E 1,386,642.122 ELEV.: 189.49'

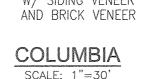
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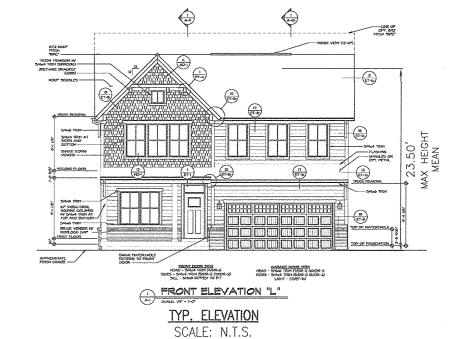
_EGEND	
	EXISTING CURB AND GUTTER
a	EXISTING UTILITY POLE
	EXISTING LIGHT POLE
	EXISTING SIGN
Х ——— Х ———— Х ————	EXISTING FENCE
copromotional contract contrac	PROPERTY LINE
entralismonto de como entralismo entralismonto entralismon	RIGHT-OF-WAY LINE
	EXISTING SIDEWALK



SHEET NO.		
1	OF 3	
2	OF 3	
3	OF 3	
	<u> </u>	







## **HOUSE TYPE NOTES:**

- ADDITIONAL HOUSE TYPES AND OPTIONS MAY FIT ON ANY GIVEN LOT. B. MAX ENCROACHMENT INTO SETBACK FOR BAY WINDOWS. COMPLIANCE WITH REGULATORY BUILDING RESTRICTION LINES IS
- RECOMMENDED 3. A MINIMUM OF 10 FEET SHALL BE PROVIDED BETWEEN THE CHOSEN HOME MODEL AND A MICRO-BIORETENTION / RAIN GARDEN FACILITY
- 4. MODEL ELEVATION SHALL NOT EXCEED 34' MAX HEIGHT AS ALLOWED BY R-12 ZONE
- 5. IN ACCORDANCE WITH SECTION 128.O.A OF THE HOWARD COUNTY **ZONING REGULATIONS:** A. MAX ENCROACHMENT INTO SETBACK FOR CORNICES, EAVES AND CANTILEVERED BUILDING FEATURES WHICH DO NOT CONTAIN ANY FLOOR AREA OR EXTENSION OF INTERIOR LIVING

SPACE IS: 3 FEET INTO ANY SETBACK.

MIHU AGREEMENT

-ALL LOTS IN THIS SUBDIVISIONARE SUBJECT TO THE MODERATE INCOME HOUSING UNIT (MIHU) FEE-IN-LIEU REQUIREMENT THAT IS TO BE CALCULATED AND PAID TO THE

DEPARTMENT OF INSPECTIONS, LICENSES AND PERMITS AT THE TIME OF BUILDING

PERMIT ISSUANCE BY THE PERMIT APPLICANT.

MODERATE INCOME HOUSING UNITS (MIHU) ALLOCATION EXEMPTIONS TRACKING

- IS: 4 FEET INTO ANY SETBACK OR A REQUIRED DISTANCE BETWEEN BUILDINGS, PROVIDED THE FEATURE HAS A MAXIMUM WIDTH OF 16 FEET AS MEASURED HORIZONTALLY ALONG THE WALL FROM WHICH THE FEATURE EXTENDS.
- MAX ENCROACHMENT INTO SETBACK FOR EXTERIOR STAIRWAYS OR RAMPS, ABOVE OR BELOW GROUND LEVEL EXCLUDING THOSE ATTACHED TO A PORCH OR DECK (SEE E) IS: 10 FEET INTO A FRONT SETBACK OR A SETBACK FROM A PROJECT BOUNDARY OR DIFFERENT ZONING DISTRICT: 16 FEET INTO A REAR SETBACK: 4 FEET INTO A SIDE SETBACK OR A REQUIRED DISTANCE BETWEEN BUILDINGS

E. MAX ENCROACHMENT INTO SETBACK FOR OPEN OR ENCLOSED PORCHES AND DECKS, AND THE STAIRWAYS OR RAMPS ATTACHED THERETO IS: 10 FEET INTO A FRONT OR REAR SETBACK. A SETBACK FROM A PROJECT BOUNDARY, A SETBACK FROM A DIFFERENT ZONING DISTRICT, OR A REQUIRED DISTANCE BETWEEN

**DEVELOPER** OWNER ESC ELKRIDGE WOODS LLO ELM STREET DEVELOPMENT 5074 DORSEY HALL ROAD, SUITE 205 5074 DORSEY HALL ROAD, SUITE 20 ELLICOTT CITY, MD 21042 ELLICOTT CITY, MD 21042 410-720-3021 410-720-3021

REVISE THE PLAN TO ADD THE REQUIRED ADA PARKING AREA FOR THE MODEL 8-13-19 OME, Amend the House Elevation, ADD Private Sign Easement and Change Grading

## SITE DEVELOPMENT PLAN

**COVER SHEET** 

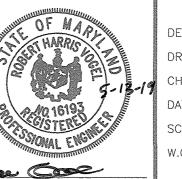
**ELKRIDGE WOODS** 

FAX MAP 38 GRID 9

ZONED: R-12 PLAT#25013 PARCELS 756, 340 HOWARD COUNTY, MARYLAND

1ST ELECTION DISTRICT





DESIGN BY:	EDS
DRAWN BY: _	KG
CHECKED BY:	RHV
DATE:	MAY 2019
SCALE:	AS SHOWN
WO NO:	41446

# PROFESSIONAL CERTIFICATE

WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 16193 EXPIRATION DATE: 09-27-2020

SDP-19-008

# SITE ANALYSIS DATA

OF BUILDING PER USE:

- TOTAL PROJECT AREA: AREA OF PLAN SUBMISSION: LIMIT OF DISTURBANCE: PRESENT ZONING DESIGNATION
- PROPOSED USES FOR SITE AND STRUCTURES: FLOOR SPACE ON EACH LEVEL
- G. TOTAL NUMBER OF UNITS ALLOWED FOR PROJECT AS SHOWN ON FINAL PLAT: 1 BUILDABLE LOT (THIS SDP) H. TOTAL NUMBER OF UNITS PROPOSED ON SUBMISSION MAXIMUM NUMBER OF EMPLOYEES,
- TENANTS ON SITE PER USE: NUMBER OF PARKING SPACES REQUIRED BY HO.CO. ZONING REGULATIONS: K. NUMBER OF PARKING SPACES PROVIDED ON SITE:
- OPEN SPACE ON SITE AREA OF RECREATION OPEN SPACE REQUIRED BY SUBDIVISION & LAND **DEVELOPMENT REGULATIONS:** BUILDING COVERAGE OF SITE:

O. APPLICABLE DPZ FILE REFERENCES:

- P. ANY OTHER INFORMATION WHICH MAY
- Q. FLOOR AREA RATIO:

BE RELEVANT:

0.21 AC OR 9,161 SF 0.21 AC (LOT 1) 0.23 AC

SINGLE FAMILY DETACHED

2.5 PER SFD HOUSE 4 PER SFD HOUSE REFER TO F-18-008

REFER TO F-18-008

ECP-16-008, F-05-094, S-16-001, S-03-02, P-04-11, WP-16-150, CONT.# 14-4220-D, P-17-001,

TAX MAP 38, GRID 9, PARCELS 756 & 340 1ST ELECTION DISTRICT

### **PARKING TABULATION:** TOTAL NUMBER OF DWELLING UNITS PROPOSED: 1

- 1. PARKING SPACES REQUIRED: 2 SPACES PER UNIT 2 SPACES REQUIRED  $(1 \times 2 = 2)$ 2. VISITOR PARKING SPACES REQUIRED:
- 3. PARKING SPACES PROVIDED: SFD = 2 GARAGE / 2 DRIVEWAY 2 SPACES IN GARAGE = 2 SPACES 2 SPACES ON DRIVEWAY = 2 SPACES TOTAL PARKING SPACES PROVIDED: = 4 SPACES

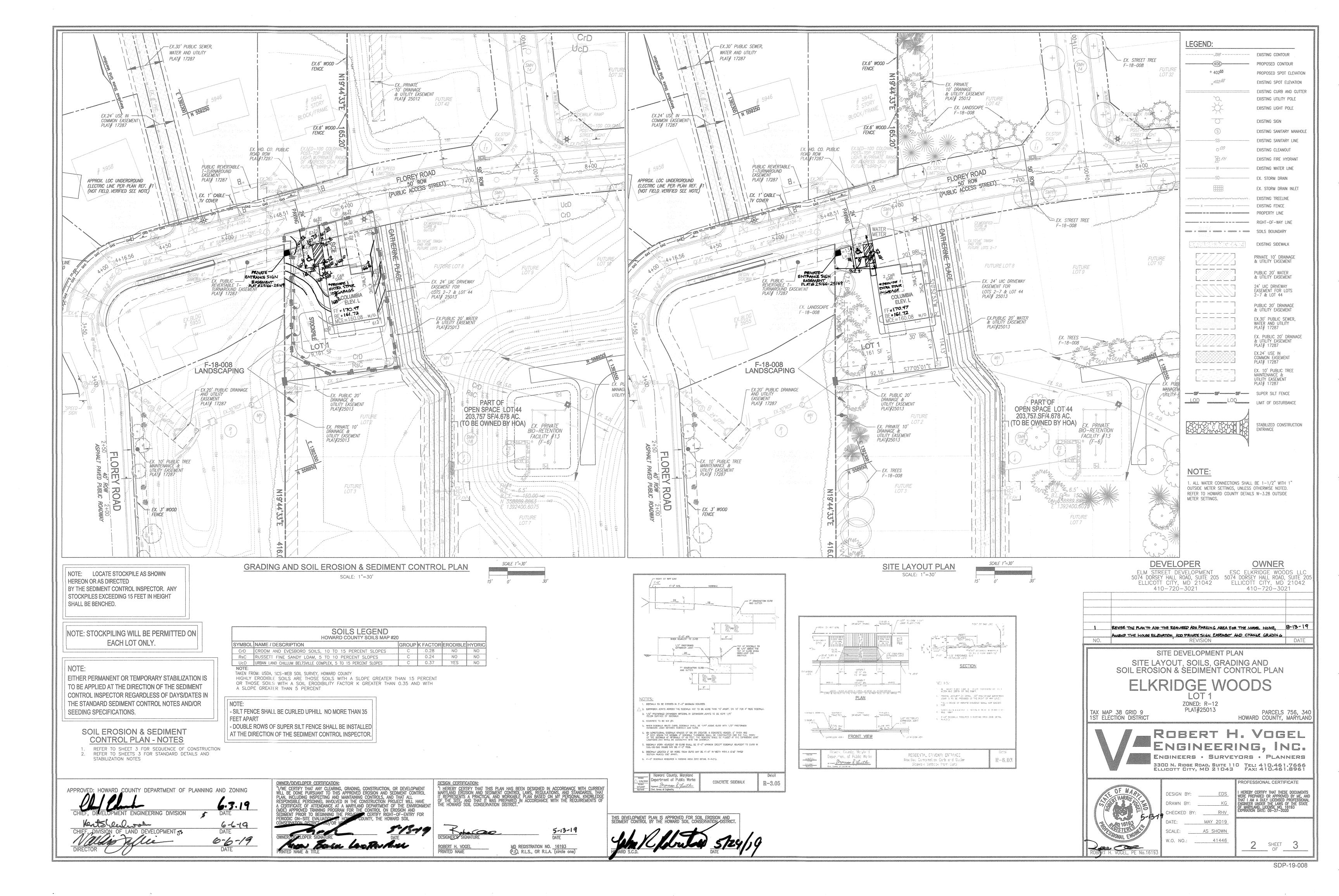
A. SFD - 1 UNIT @ 0.5 SPACES PER UNIT

 $1 \times 0.5 = 0.5$  SPACE REQUIRED

### NUMBER OF MIHU REQUIRED (EXEMPT FROM APFO ALLOCATIONS) NUMBER OF APFO ALLOCATIONS REQUIRED (REMAINING LOTS/UNITS) LOT 1 (INDICATE LOT/UNIT NUMBERS)

TOTAL NUMBER OF LOTS/UNITS PROPOSED

					***********		
ADDRESS CHART							
BUILDING NO.	STREET ADD	RESS					
5937	FLOREY ROAD						
PERMIT INFORMATION CHART							
SUBDIVISION NAME			SECTION	/AREA LOTS/PARCEL #		S/PARCEL #	
ELKRIDGE WOODS N/A			'A		1		
PLAT # OR L/F	BLOCK NO.	ZONE	1	TAX MAP	ELECT	. DIST.	CENSUS TR.
25010-25013	9	R-12	38		1ST		601201



HOWARD SOIL CONSERVATION DISTRICT STANDARD SEDIMENT CONTROL NOTES

A PRE-CONSTRUCTION MEETING MUST OCCUR WITH THE HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS, CONSTRUCTION INSPECTION DIVISION (CID), 410-313-1855 AFTER THE FUTURE LOD AND PROTECTED AREAS ARE MARKED CLEARLY IN THE FIELD. A MINIMUM OF 48 HOUR NOTICE TO CID MUST BE GIVEN AT THE FOLLOWING STAGES:

PRIOR TO THE START OF EARTH DISTURBANCE UPON COMPLETION OF THE INSTALLATION OF PERIMETER FROSION AND SEDIMENT CONTROLS, BUT BEFORE PROCEEDING WITH ANY OTHER EARTH DISTURBANCE OR GRADING.

C. PRIOR TO THE START OF ANOTHER PHASE OF CONSTRUCTION OR OPENING OF ANOTHER GRADING UNIT. D. PRIOR TO THE REMOVAL OR MODIFICATION OF SEDIMENT CONTROL

OTHER BUILDING OR GRADING INSPECTION APPROVALS MAY NOT BE AUTHORIZED UNTIL THIS INITIAL APPROVAL BY THE INSPECTION AGENCY IS MADE. OTHER RELATED STATE AND FEDERAL PERMITS SHALL BE REFERENCED, TO ENSURE COORDINATION AND TO AVOID CONFLICTS WITH THIS PLAN.

ALL VEGETATIVE AND STRUCTURAL PRACTICES ARE TO BE INSTALLED ACCORDING TO THE PROVISIONS OF THIS PLAN AND ARE TO BE IN CONFORMANCE WITH THE 2011 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL AND REVISIONS THERETO.

FOLLOWING INITIAL SOIL DISTURBANCE OR RE-DISTURBANCE, PERMANENT OR TEMPORARY STABILIZATION IS REQUIRED WITHIN THREE (3) CALENDAR DAYS AS TO THE SURFACE OF ALL PERIMETER CONTROLS, DIKES, SWALES, DITCHES, PERIMETER SLOPES, AND ALL SLOPES STEEPER THAN 3 HORIZONTAL TO 1 VERTICAL (3:1): AND SEVEN (7) CALENDAR DAYS AS TO ALL OTHER DISTURBED AREAS ON THE PROJECT SITE EXCEPT FOR THOSE AREAS UNDER ACTIVE GRADING.

ALL DISTURBED AREAS MUST BE STABILIZED WITHIN THE TIME PERIOD SPECIFIED ABOVE IN ACCORDANCE WITH THE 2011 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL FOR TOPSOIL (SEC. B-4-2), PERMANENT SEEDING (SEC. B-4-5), TEMPORARY SEEDING (SEC. B-4-4) AND MULCHING (SEC. B-4-3). TEMPORARY STABILIZATION WITH MULCH ALONE CAN ONLY BE APPLIED BETWEEN THE FALL AND SPRING SEFDING DATES IF THE GROUND IS FROZEN, INCREMENTAL STABILIZATION (SEC. B-4-1) SPECIFICATIONS SHALL BE ENFORCED IN AREAS WITH >15' OF CUT AND/OR FILL. STOCKPILES (SEC. B-4-8) IN EXCESS OF 20 FT. MUST BE BENCHED WITH STABLE OUTLET. ALL CONCENTRATED FLOW. STEEP SLOPE. AND

HIGHLY ERODIBLE AREAS SHALL RECEIVE SOIL STABILIZATION MATTING (SEC. B-4-6). ALL SEDIMENT CONTROL STRUCTURES ARE TO REMAIN IN PLACE, AND ARE TO BE MAINTAINED IN OPERATIVE CONDITION UNTIL PERMISSION FOR THEIR REMOVAL HAS BEEN OBTAINED FROM THE CID.

ACRES

ACRES

CU. YDS. TOTAL

CU. YDS. TOTAL

AREA TO BE VEGETATIVELY STABILIZED: TOTAL CUT: TOTAL FILL: OFFSITE WASTE/BORROW AREA LOCATION: F-18-008

AREA TO BE ROOFED OR PAVED:

TOTAL AREA OF SITE:

AREA DISTURBED:

1) REFER TO ITEM 11 BELOW ANY SEDIMENT CONTROL PRACTICE WHICH IS DISTURBED BY GRADING ACTIVITY FOR

PLACEMENT OF UTILITIES MUST BE REPAIRED ON THE SAME DAY OF DISTURBANCE ADDITIONAL SEDIMENT CONTROL MUST BE PROVIDED. IF DEFMED NECESSARY BY THE CID. THE SITE AND ALL CONTROLS SHALL BE INSPECTED BY THE CONTRACTOR WEEKLY AND THE NEXT DAY AFTER EACH RAIN EVENT. A WRITTEN REPORT BY THE CONTRACTOR, MADE AVAILABLE UPON REQUEST, IS PART OF EVERY INSPECTION AND SHOULD INCLUDE

INSPECTION DATE INSPECTION TYPE (ROUTINE, PRE-STORM EVENT, DURING RAIN EVENT)

NAME AND TITLE OF INSPECTOR WEATHER INFORMATION (CURRENT CONDITIONS AS WELL AS TIME AND AMOUNT OF LAST RECORDED PRECIPITATION - BRIEF DESCRIPTION OF PROJECT'S STATUS (E.G., PERCENT COMPLETE)

AND/OR CURRENT ACTIVITIES EVIDENCE OF SEDIMENT DISCHARGES IDENTIFICATION OF PLAN DEFICIENCIES

IDENTIFICATION OF SEDIMENT CONTROLS THAT REQUIRE MAINTENANCE IDENTIFICATION OF MISSING OR IMPROPERLY INSTALLED SEDIMENT CONTROLS COMPLIANCE STATUS REGARDING THE SEQUENCE OF CONSTRUCTION AND STABILIZATION REQUIREMENTS

**PHOTOGRAPHS** MAINTENANCE AND/OR CORRECTIVE ACTION PERFORMED

OTHER INSPECTION ITEMS AS REQUIRED BY THE GENERAL PERMIT FOR STORMWATER ASSOCIATED WITH CONSTRUCTION ACTIVITIES (NPDES, MDE).

TRENCHES FOR THE CONSTRUCTION OF UTILITIES IS LIMITED TO THREE PIPE LENGTHS OR THAT WHICH CAN AND SHALL BE BACK-FILLED AND STABILIZED BY THE END OF EACH WORKDAY, WHICHEVER IS SHORTER. ANY MAJOR CHANGES OR REVISIONS TO THE PLAN OR SEQUENCE OF CONSTRUCTION

MUST BE REVIEWED AND APPROVED BY THE HSCD PRIOR TO PROCEEDING WITH CONSTRUCTION. MINOR REVISIONS MAY ALLOWED BY THE CID PER THE LIST OF HSCD-APPROVED FIFLD CHANGES. DISTURBANCE SHALL NOT OCCUR OUTSIDE THE L.O.D. A PROJECT IS TO BE SEQUENCED SO THAT GRADING ACTIVITIES BEGIN ON ONE GRADING UNIT (MAXIMUM

ACREAGE OF 20 AC. PER GRADING UNIT) AT A TIME, WORK MAY PROCEED TO A SUBSEQUENT GRADING UNIT WHEN AT LEAST 50 PERCENT OF THE DISTURBED AREA IN THE PRECEDING GRADING UNIT HAS BEEN STABILIZED AND APPROVED BY THE CID. UNLESS OTHERWISE SPECIFIED AND APPROVED BY THE CID. NO MORE THAN ACRES CUMULATIVELY MAY BE DISTURBED AT A GIVEN TIME WASH WATER FROM ANY EQUIPMENT, VEHICLES, WHEELS, PAVEMENT, AND OTHER

SOURCES MUST BE TREATED IN A SEDIMENT BASIN OR OTHER APPROVED WASHOUT TOPSOIL SHALL BE STOCKPILED AND PRESERVED ON-SITE FOR REDISTRIBUTION ONTO

ALL SILT FENCE AND SUPER SILT FENCE SHALL BE PLACED ON-THE-CONTOUR, AND BE IMBRICATED AT 25' MINIMUM INTERVALS, WITH LOWER ENDS CURLED UPHILL BY 2' IN ELEVATION.

STREAM CHANNELS MUST NOT BE DISTURBED DURING THE FOLLOWING RESTRICTED TIME PERIODS (INCLUSIVE): USE I AND IP MARCH 1 - JUNE 15

USE III AND IIIP OCTOBER 1 - APRIL 30 USE IV MARCH 1 - MAY 31 A COPY OF THIS PLAN, THE 2011 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL, AND ASSOCIATED PERMITS SHALL BE ON-SITE AND AVAILABLE WHEN THE SITE IS ACTIVE.

B-4-5 STANDARDS AND SPECIFICATIONS PERMANENT STABILIZATION

TO STABILIZE DISTURBED SOILS WITH PERMANENT VEGETATION.

TO USE LONG-LIVED PERENNIAL GRASSES AND LEGUMES TO ESTABLISH PERMANENT GROUND COVER ON DISTURBED SOILS.

EXPOSED SOILS WHERE GROUND COVER IS NEEDED FOR 6 MONTHS OR MORE.

CONDITIONS WHERE PRACTICE APPLIES

A. SEED MIXTURES

SEEDING SUMMARY.

**DEFINITION** 

1. GENERAL USE A. SELECT ONE OR MORE OF THE SPECIES OR MIXTURES LISTED IN TABLE 8.3 FOR THE APPROPRIATE PLANT HARDINESS ZONE (FROM FIGURE 8.3) AND BASED ON THE SITE CONDITION OR PURPOSE FOUND ON TABLE 8.2. ENTER SELECTED MIXTURE(S), APPLICATION RATES, AND SEEDING DATES IN THE PERMANENT SEEDING SUMMARY. THE SUMMARY IS TO BE PLACED ON THE PLAN. B. ADDITIONAL PLANTING SPECIFICATIONS FOR EXCEPTIONAL SITES SUCH AS SHORFLINES

STREAM BANKS, OR DUNES OR FOR SPECIAL PURPOSES SUCH AS WILDLIFF OR AESTHETIC TREATMENT MAY BE FOUND IN USDA-NRCS TECHNICAL FIELD OFFICE GUIDE, SECTION 342 - CRITICAL AREA PLANTING. FOR SITES HAVING DISTURBED AREA OVER 5 ACRES, USE AND SHOW THE RATES RECOMMENDED BY THE SOIL TESTING AGENCY D. FOR AREAS RECEIVING LOW MAINTENANCE, APPLY UREA FORM FERTILIZER (46-0-0) AT 3-1/2 POUNDS PER 1000 SQUARE FEET (150 POUNDS PER ACRE) AT THE TIME OF SEEDING IN ADDITION TO THE SOIL AMENDMENTS SHOWN IN THE PERMANENT

2. TURFGRASS MIXTURES A. AREAS WHERE TURFGRASS MAY BE DESIRED INCLUDE LAWNS, PARKS, PLAYGROUNDS, AND COMMERCIAL SITES WHICH WILL RECEIVE A MEDIUM TO HIGH LEVEL OF MAINTENANC B. SELECT ONE OR MORE OF THE SPECIES OR MIXTURES LISTED BELOW BASED ON THE SITE CONDITIONS OR PURPOSE. ENTER SELECTED MIXTURE(S), APPLICATION RATES, AND

SEEDING DATES IN THE PERMANENT SEEDING SUMMARY. THE SUMMARY IS TO BE PLACED ON THE PLAN. KENTUCKY BLUEGRASS: FULL SUN MIXTURE: FOR USE IN AREAS THAT RECEIVE INTENSIVE MANAGEMENT. IRRIGATION REQUIRED IN THE AREAS OF CENTRAL MARYLAND AND EASTERN SHORE. RECOMMENDED CERTIFIED KENTUCKY BLUEGRASS CULTIVARS SEEDING RATE: 1.5 TO 2.0 POUNDS PER 1000 SQUARE FEET, CHOOSE A MINIMUM

OF THREE KENTUCKY BLUEGRASS CULTIVARS WITH EACH RANGING FROM 10 TO 35

PERCENT OF THE TOTAL MIXTURE BY WEIGHT. II. KENTUCKY BLUEGRASS/PERENNIAL RYE: FULL SUN MIXTURE: FOR USF IN FULL SUN AREAS WHERE RAPID ESTABLISHMENT IS NECESSARY AND WHEN TURF WILL RECEIVE MEDIUM TO INTENSIVE MANAGEMENT, CERTIFIED PERENNIAL RYEGRASS CULTIVARS/ CERTIFIED KENTUCKY BLUEGRASS SEEDING RATE: 2 POUNDS MIXTURE PER 1000 QUARE FEET. CHOOSE A MINIMUM OF THREE KENTUCKY BLUEGRASS CULTIVARS WIT EACH RANGING FROM 10 TO 35 PERCENT OF THE TOTAL MIXTURE BY WEIGHT. III. TALL FESCUE/KENTUCKY BLUEGRASS: FULL SUN MIXTURE: FOR USE IN DROUGHT PRONE AREAS AND/OR FOR AREAS RECEIVING LOW TO MEDIUM MANAGEMENT IN FULI SUN TO MEDIUM SHADE. RECOMMENDED MIXTURE INCLUDES; CERTIFIED TALL FESCUE CULTIVARS 95 TO 100 PERCENT, CERTIFIED KENTUCKY BLUFGRASS CULTIVARS 0 TO 5 PERCENT. SEEDING RATE: 5 TO 8 POUNDS PER 1000 SQUARE FEET. ONE OR MORE CULTIVARS MAY BE BLENDED.

IV. KENTUCKY BLUEGRASS/FINE FESCUE: SHADE MIXTURE: FOR USE IN AREAS WITH SHADE IN BLUEGRASS LAWNS. FOR ESTABLISHMENT IN HIGH QUALITY, INTENSIVELY MANAGED TURF AREA. MIXTURE INCLUDES; CERTIFIED KENTUCKY BLUEGRASS CULTIVARS 30 TO 40 PERCENT AND CERTIFIED FINE FESCUE AND 60 TO 70 PERCENT. SEEDING RATE: 11/2 TO 3 POUNDS PER 1000 SQUARE FEET.

SELECT TURFGRASS VARIETIES FROM THOSE LISTED IN THE MOST CURRENT UNIVERSITY OF MARYLAND PUBLICATION, AGRONOMY MEMO #77. "TURFGRASS CULTIVAR RECOMMENDATIONS FOR MARYLAND" CHOOSE CERTIFIED MATERIAL CERTIFIED MATERIAL IS THE BEST GUARANTEE OF CULTIVAR PURITY THE CERTIFICATION PROGRAM OF THE MARYLAND DEPARTMENT OF AGRICULTURE, TURF AND SEED SECTION, PROVIDES A RELIABLE MEANS OF CONSUMER PROTECTION AND ASSURES A PURE GENETIC

C. IDEAL TIMES OF SEEDING FOR TURF GRASS MIXTURES

WESTEM MD: MARCH 15 TO JUNE 1, AUGUST ITO OCTOBER 1 (HARDINESS ZONES: SB. 6A) - CENTRAL MD: MARCH 1 TO MAY 15. AUGUST 15 TO OCTOBER 15 (HARDINESS ZONE: 6B) - SOUTHERN MD, EASTERN SHORE: MARCH 1 TO MAY 15, AUGUST 15 TO OCTOBER 15

. TILL AREAS TO RECEIVE SEED BY DISKING OR OTHER APPROVED METHODS TO A DEPTH OF 2 TO 4 INCHES, LEVEL AND RAKE THE AREAS TO PREPARE A PROPER SEEDBED. REMOVE STONES AND DEBRIS OVER 11/4 INCHES IN DIAMETER. THE RESULTING SEEDBED MUST BE IN SUCH CONDITION THAT FUTURE MOWING OF GRASSES WILL POSE NO DIFFICULTY. IF SOIL MOISTURE IS DEFICIENT, SUPPLY NEW SEEDINGS WITH ADEQUATE WATER FOR PLANT GROWTH (1/2 TO 1 INCH EVERY 3 TO 4 DAYS DEPENDING ON SOIL TEXTURE) UNTIL THEY ARE FIRMLY ESTABLISHED. THIS IS ESPECIALLY TRUE WHEN SEEDINGS ARE MADE LATE IN THE PLANTING SEASON, IN ABNORMALLY DRY OR HOT SEASONS, OR ON ADVERSE SITES

SOD: TO PROVIDE QUICK COVER ON DISTURBED AREAS (2:1 GRADE OR FLATTER)

A. CLASS OF TURFGRASS SOD MUST BE MARYLAND STATE CERTIFIED. SOD LABELS MUST BE MADE AVAILABLE TO THE JOB FOREMAN AND INSPECTOR. B. SOD MUST BE MACHINE CUT AT A UNIFORM SOIL THICKNESS OF 3/4 INCH, PLUS OR MINUS 1/4 INCH, AT THE TIME OF CUTTING, MEASUREMENT FOR THICKNESS MUST EXCLUDE TOP GROWTH AND THATCH. BROKEN PADS AND TOM OR UNEVEN ENDS WILL NOT BE

acceptable . STANDARD SIZE SECTIONS OF SOD MUST BE STRONG ENOUGH TO SUPPORT THEIR OWN WEIGHT AND RETAIN THEIR SIZE AND SHAPE WHEN SUSPENDED VERTICALLY WITH A FIRM GRASP ON THE UPPER 10 PERCENT OF THE SECTION. D SOD MUST NOT BE HARVESTED OR TRANSPLANTED WHEN MOISTURE CONTENT (EXCESSIVELY DRY OR WET) MAY ADVERSELY AFFECT ITS SURVIVAL . SOD MUST BE HARVESTED, DELIVERED, AND INSTALLED WITHIN A PERIOD OF 36 HOURS. SOD NOT TRANSPLANTED WITHIN THIS PERIOD MUST BE APPROVED BY AN AGRONOMIST OR SOIL SCIENTIST PRIOR TO ITS INSTALLATION.

2. SOD INSTALLATION A. DURING PERIODS OF EXCESSIVELY HIGH TEMPERATURE OR IN AREAS HAVING DRY SUBSOIL. LIGHTLY IRRIGATE THE SUBSOIL IMMEDIATELY PRIOR TO LAYING THE SOD. B. LAY THE FIRST ROW OF SOD IN A STRAIGHT LINE WITH SUBSEQUENT ROWS PLACED PARALLEL TO IT AND TIGHTLY WEDGED AGAINST EACH OTHER. STAGGER LATERAL JOINTS TO PROMOTE MORE UNIFORM GROWTH AND STRENGTH. ENSURE THAT SOD IS NOT STRETCHED OR OVERLAPPED AND THAT ALL JOINTS ARE BUTTED TIGHT IN ORDER TO PREVENT VOIDS WHICH WOULD CAUSE AIR DRYING OF THE ROOTS. . WHEREVER POSSIBLE, LAY SOD WITH THE LONG EDGES PARALLEL TO THE CONTOUR AND WITH STAGGERING JOINTS. ROLL AND TAMP, PEG OR OTHERWISE SECURE THE SOD TO PREVENT SLIPPAGE ON SLOPES. ENSURE SOLID CONTACT EXISTS BETWEEN SOD ROOTS AND THE

UNDERLYING SOIL SURFACE. D. WATER THE SOD IMMEDIATELY FOLLOWING ROLLING AND TAMPING UNTIL THE UNDERSIDE OF THE NEW SOD PAD AND SOIL SURFACE BELOW THE SOD ARE THOROUGHLY WET. COMPLETE THE OPERATIONS OF LAYING, TAMPING AND IRRICATING FOR ANY PIECE OF SOD WITHIN EIGHT

3. SOD MAINTENANCE A. IN THE ABSENCE OF ADEQUATE RAINFALL, WATER DAILY DURING THE FIRST WEEK OR AS OFTEN AND SUFFICIENTLY AS NECESSARY TO MAINTAIN MOIST SOIL TO A DEPTH OF 4 INCHES, WATER SOD DURING THE HEAT OF THE DAY TO PREVENT WILTING. B. AFTER THE FIRST WEEK, SOD WATERING IS REQUIRED AS NECESSARY TO MAINTAIN

ADEQUATE MOISTURE CONTENT. C. DO NOT MOW UNTIL THE SOD IS FIRMLY ROOTED. NO MORE THAN 1/3 OF THE GRASS LEAF MUST BE REMOVED BY THE INITIAL CUTTING OR SUBSEQUENT CUTTINGS. MAINTAIN A GRASS HEIGHT OF AT LEAST 3 INCHES UNLESS OTHERWISE SPECIFIED. PERMANENT SEEDING SUMMARY

MAR 1 TO

HARDINESS ZONE (FROM FIGURE B.3): ZONE 6b

SEED MIXTURE (FROM TABLE B.3): 9

SPECIES RATE (LB/AC) DATES

T.F. 60 LB / AC

K.B. 40 LB / AC AUG 15 TO

R-4-2 STANDARDS AND SPECIFICATIONS FOR

SOIL PREPARATION, TOPSOILING AND SOIL AMENDMENTS

DEFINITION THE PROCESS OF PREPARING THE SOILS TO SUSTAIN ADEQUATE VEGETATIVE STABILIZATION.

<u>PURPOSE</u> TO PROVIDE A SUITABLE SOIL MEDIUM FOR VEGETATIVE GROWTH.

CONDITIONS WHERE PRACTICE APPLIES WHERE VEGETATIVE STABILIZATION IS TO BE ESTABLISHED.

**CRITERIA** A. SOIL PREPARATION

1. TEMPORARY STABILIZATION A SEEDBED PREPARATION CONSISTS OF LOOSENING SOIL TO A DEPTH OF 3 TO 5 INCHES BY MEANS OF SUITABLE AGRICULTURAL OR CONSTRUCTION EQUIPMENT, SUCH AS DISC HARROWS OR CHISEL PLOWS OR RIPPERS MOUNTED ON CONSTRUCTION EQUIPMENT AFTER THE SOIL IS LOOSENED. IT MUST NOT BE ROLLED OR DRAGGED SMOOTH BUT LEFT IN THE ROUGHENED CONDITION. SLOPES 3:1 OR FLATTER ARE TO BE TRACKED WITH RIDGES RUNNING PARALLEL TO THE CONTOUR OF THE SLOPE. B. APPLY FERTILIZER AND LIME AS PRESCRIBED ON THE PLANS

C. Incorporate lime and fertilizer into the top 3 to 5 inches of soil by Disking OR OTHER SUITABLE MEANS. 2. PERMANENT STABILIZATION A. A SOIL TEST IS REQUIRED FOR ANY EARTH DISTURBANCE OF 5 ACRES OR MORE, THE

MINIMUM SOIL CONDITIONS REQUIRED FOR PERMANENT VEGETATIVE ESTABLISHMENT ARE: I. SOIL PH BETWEEN 6.0 AND 7.0. IL SOLUBLE SALTS LESS THAN 500 PARTS PER MILLION (PPM). III. SOIL CONTAINS LESS THAN 40 PERCENT CLAY BUT ENOUGH FINE GRAINED MATERIAL (GREATER THAN 30 PERCENT SILT PLUS CLAY) TO PROVIDE THE CAPACITY TO HOLD

PLANTED, THEN A SANDY SOIL (LESS THAN 30 PERCENT SILT PLUS CLAY) WOULD BE ACCEPTABLE IV. SOIL CONTAINS 1.5 PERCENT MINIMUM ORGANIC MATTER BY WEIGHT. V. SOIL CONTAINS SUFFICIENT PORE SPACE TO PERMIT ADEQUATE ROOT PENETRATION.

A MODERATE AMOUNT OF MOISTURE, AN EXCEPTION: IF LOVEGRASS WILL BE

B. APPLICATION OF AMENDMENTS OR TOPSOIL IS REQUIRED IF ON-SITE SOILS DO NOT MEET THE ABOVE CONDITIONS C. GRADED AREAS MUST BE MAINTAINED IN A TRUE AND EVEN GRADE AS SPECIFIED ON THE APPROVED PLAN. THEN SCARIFIED OR OTHERWISE LOOSENED TO A DEPTH OF 3 TO

D. APPLY SOIL AMENDMENTS AS SPECIFIED ON THE APPROVED PLAN OR AS INDICATED BY THE RESULTS OF A SOIL TEST. E. MIX SOIL AMENDMENTS INTO THE TOP 3 TO 5 INCHES OF SOIL BY DISKING OR OTHER SUITABLE MEANS. RAKE LAWN AREAS TO SMOOTH THE SURFACE, REMOVE LARGE OBJECTS LIKE STONES AND BRANCHES AND READY THE AREA FOR SEED APPLICATION LOOSEN SURFACE SOIL BY DRAGGING WITH A HEAVY CHAIN OR OTHER EQUIPMENT TO ROUGHEN THE SURFACE WHERE SITE CONDITIONS WILL NOT PERMIT NORMAL SEEDBED PREPARATION, TRACK SLOPES 3:1 OR FLATTER WITH TRACKED EQUIPMENT LEAVING THI SOIL IN AN IRREGULAR CONDITION WITH RIDGES RUNNING PARALLEL TO THE CONTOUR OF THE SLOPE. LEAVE THE TOP 1 TO 3 INCHES OF SOIL LOOSE AND FRIABLE. SEEDBED LOOSENING MAY BE UNNECESSARY ON NEWLY DISTURBED AREAS.

. TOPSOIL IS PLACED OVER PREPARED SUBSOIL PRIOR TO ESTABLISHMENT OF PERMANENT VEGETATION. THE PURPOSE IS TO PROVIDE A SUITABLE SOIL MEDIUM FOR VEGETATIVE GROWTH. SOILS OF CONCEM HAVE LOW MOISTURE CONTENT, LOW NUTRIENT LEVELS, LOW PH, MATERIALS TOXIC TO PLANTS, AND/OR UNACCEPTABLE SOIL GRADATION. 2. TOPSOIL SALVAGED FROM AN EXISTING SITE MAY BE USED PROVIDED IT MEETS THE STANDARDS AS SET FORTH IN THESE SPECIFICATIONS. TYPICALLY, THE DEPTH OF TOPSOIL TO BE SALVAGED FOR A GIVEN SOIL TYPE CAN BE FOUND IN THE REPRESENTATIVE SOIL PROFILE SECTION IN THE SOIL SURVEY PUBLISHED BY USDA-

5. TOPSOILING IS LIMITED TO AREAS HAVING 2:1 OR FLATTER SLOPES WHERE: A. THE TEXTURE OF THE EXPOSED SUBSOIL/PARENT MATERIAL IS NOT ADEQUATE TO PRODUCE VEGETATIVE GROWTH B. THE SOIL MATERIAL IS SO SHALLOW THAT THE ROOTING ZONE IS NOT DEEP ENOUGH TO SUPPORT PLANTS OR FLIRNISH CONTINUING SUPPLIES OF MOISTURE AND PLANT

. THE ORIGINAL SOIL TO BE VEGETATED CONTAINS MATERIAL TOXIC TO PLANT GROWTH. ). THE SOIL IS SO ACIDIC THAT TREATMENT WITH LIMESTONE IS NOT FEASIBLE 4. AREAS HAVING SLOPES STEEPER THAN 2:1 REQUIRE SPECIAL CONSIDERATION AND 5. TOPSOIL SPECIFICATIONS: SOIL TO BE USED AS TOPSOIL MUST MEET THE FOLLOWING

A. TOPSOIL MUST BE A LOAM, SANDY LOAM, CLAY LOAM, SILT LOAM, SANDY CLAY LOAM OR LOAMY SAND. OTHER SOILS MAY BE USED IF RECOMMENDED BY AN AGRONOMIST OR SOIL SCIENTIST AND APPROVED BY THE APPROPRIATE APPROVAL AUTHORITY. TOPSOIL MUST NOT BE A MIXTURE OF CONTRASTING TEXTURED SUBSOILS AND MUST CONTAIN LESS THAN 5 PERCENT BY VOLUME OF CINDERS, STONES, SLAG, COARSE FRAGMENTS, GRAVEL, STICKS, ROOTS, TRASH, OR OTHER MATERIALS LARGER THAN 1½ INCHES IN DIAMETER. B TOPSOIL MUST BE FREE OF NOXIOUS PLANTS OR PLANT PARTS SLICH AS BERMUDA GRASS, QUACK GRASS, JOHNSON GRASS, NUT SEDGE, POISON IVY, THISTLE. OR OTHERS AS SPECIFIED . TOPSOIL SUBSTITUTES OR AMENDMENTS, AS RECOMMENDED BY A QUALIFIED AGRONOMIST OR SOIL SCIENTIST AND APPROVED BY THE APPROPRIATE APPROVAL

AUTHORITY, MAY BE USED IN LIEU OF NATURAL TOPSOIL. 6. TOPSOIL APPLICATION a. Erosion and sediment control practices must be maintained when applying . UNIFORMLY DISTRIBUTE TOPSOIL IN A 5 TO 8 INCH LAYER AND LIGHTLY COMPACT TO A MINIMUM THICKNESS OF 4 INCHES. SPREADING IS TO BE PERFORMED IN SUCH A MANNER THAT SODDING OR SEEDING CAN PROCEED WITH A MINIMUM OF ADDITIONAL SOIL PREPARATION AND TILLAGE. ANY IRREGULARITIES IN THE SURFACE RESULTING FROM OPSOILING OR OTHER OPERATIONS MUST BE CORRECTED IN ORDER TO PREVENT THE

FORMATION OF DEPRESSIONS OR WATER POCKETS. C. TOPSOIL MUST NOT BE PLACED IF THE TOPSOIL OR SUBSOIL IS IN A FRO7FN OR MUDDY CONDITION WHEN THE SUBSOIL IS EXCESSIVELY WET OR IN A CONDITION THAT MAY OTHERWISE BE DETRIMENTAL TO PROPER GRADING AND SEEDBED PREPARATION. C. SOIL AMENDMENTS (FERTILIZER AND LIME SPECIFICATIONS)

I. SOIL TESTS MUST BE PERFORMED TO DETERMINE THE EXACT RATIOS AND APPLICATION RATES FOR BOTH LIME AND FERTILIZER ON SITES HAVING DISTURBED AREAS OF 5 ACRES OR MORE, SOIL ANALYSIS MAY BE PERFORMED BY A RECOGNIZED PRIVATE OR COMMERCIAL LABORATORY. SOIL SAMPLES TAKEN FOR ENGINEERING PURPOSES MAY ALSO BE USED FOR CHEMICAL ANALYSES. . FERTILIZERS MUST BE UNIFORM IN COMPOSITION, FREE FLOWING AND SUITABLE FOR ACCURATE APPLICATION BY APPROPRIATE EQUIPMENT. MANURE MAY BE SUBSTITUTED FOR FERTILIZER WITH PRIOR APPROVAL FROM THE APPROPRIATE APPROVAL AUTHORITY. FERTILIZERS MUST ALL BE DELIVERED TO THE SITE FULLY LARFLED ACCORDING TO THE APPLICABLE LAWS AND MUST BEAR THE NAME, TRADE NAME OR TRADEMARK AND

WARRANTY OF THE PRODUCER. 3. LIME MATERIALS MUST BE GROUND LIMESTONE (HYDRATED OR BURNT LIME MAY BE SUBSTITUTED EXCEPT WHEN HYDROSEEDING) WHICH CONTAINS AT LEAST 50 PERCENT TOTAL OXIDES (CALCIUM OXIDE PLUS MACNESIUM OXIDE) LIMESTONE MUST BE GROUND TO SUCH FINENESS THAT AT LEAST 50 PERCENT WILL PASS THROUGH A #100 MESH SIEVE AND 98 TO 100 PERCENT WILL PASS THROUGH A #20 MESH SIEVE. Lime and Fertilizer are to be evenly distributed and incorporated into th TOP 3 TO 5 INCHES OF SOIL BY DISKING OR OTHER SUITABLE MEANS. 5. WHERE THE SUBSOIL IS EITHER HIGHLY ACIDIC OR COMPOSED OF HEAVY CLAYS, SPREAD GROUND LIMESTONE AT THE RATE OF 4 TO 8 TONS/ACRE (200-400 POUNDS PER 1,000 SQUARE FEET) PRIOR TO THE PLACEMENT OF TOPSOIL.

#### B-4-3 STANDARDS AND SPECIFICATIONS FOR SEEDING AND MULCHING

DEFINITION

THE APPLICATION OF SEED AND MULCH TO ESTABLISH VEGETATIVE COVER.

TO PROTECT DISTURBED SOILS FROM EROSION DURING AND AT THE END OF CONSTRUCTION. CONDITIONS WHERE PRACTICE APPLIES TO THE SURFACE OF ALL PERIMETER CONTROLS, SLOPES, AND ANY DISTURBED AREA NOT UNDER ACTIVE

<u>CRITERIA</u>

A. SEEDING 1.SPECIFICATIONS

A. ALL SEED MUST MEET THE REQUIREMENTS OF THE MARYLAND STATE SEED LAW. ALL SEED MUST BE TO RE-TESTING BY A RECOGNIZED SEED LABORATORY, ALL SEED USED MUST HAVE BEEN TESTED WITHIN THE 6 MONTHS IMMEDIATELY PRECEDING THE DATE OF SOWING SLICH MATERIAL ON AN' PROJECT, REFER TO TABLE B.4 REGARDING THE QUALITY OF SEED. SEED TAGS MUST BE AVAILABLE JPON REQUEST TO THE INSPECTOR TO VERIEY TYPE OF SEED AND SEEDING RATE B. MULCH ALONE MAY BE APPLIED BETWEEN THE FALL AND SPRING SEEDING DATES ONLY IF THE GROUND IS FROZEN. THE APPROPRIATE SEEDING MIXTURE MUST BE APPLIED WHEN THE GROUND

C. INOCULANTS: THE INOCULANT FOR TREATING LEGUME SEED IN THE SEED MIXTURES MUST BE A PURE CULTURE OF NITROGEN FIXING BACTERIA PREPARED SPECIFICALLY FOR THE SPECIES. INOCULANTS MUST NOT BE USED LATER THAN THE DATE INDICATED ON THE CONTAINER, ADD FRESH INOCULANTS AS DIRECTED ON THE PACKAGE. USE FOUR TIMES THE RECOMMENDED RATE WHEN HYDROSEFDING, NOTE: IT IS VERY IMPORTANT TO KEEP INOCULANT AS COOL AS POSSIBLE UNTIL USED. TEMPERATURES ABOVE 75 TO 80 DEGREES FAHRENHEIT CAN WEAKEN BACTERIA AND MAKE D. SOD OR SEED MUST NOT BE PLACED ON SOIL WHICH HAS BEEN TREATED WITH SOIL STERILANTS OR CHEMICALS USED FOR WEED CONTROL UNTIL SUFFICIENT TIME HAS ELAPSED (14 DAYS MIN.) TO PERMIT DISSIPATION OF PHYTO-TOXIC MATERIALS.

2. APPLICATION A. DRY SEFDING: THIS INCLUDES USE OF CONVENTIONAL DROP OR BROADCAST SPREADERS. I. INCORPORATE SEED INTO THE SUBSOIL AT THE RATES PRESCRIBED ON TEMPORARY SEEDING TABLE 8.1, PERMANENT SEEDING TABLE 8.3, OR SITE-SPECIFIC SEEDING SUMMARIES. II. APPLY SEED IN TWO DIRECTIONS, PERPENDICULAR TO EACH OTHER. APPLY HALF THE SEEDING RATE IN EACH DIRECTION. ROLL THE SEEDED AREA WITH A WEIGHTED ROLLER TO PROVIDE GOOD

SEED TO SOIL CONTACT. B. DRILL OR CULTIPACKER SEEDING: MECHANIZED SEEDERS THAT APPLY AND COVER SEED WITH SOIL I. CULTIPACKING SEEDERS ARE REQUIRED TO BURY THE SEED IN SUCH A FASHION AS TO PROVIDE AT LEAST 1/4 INCH OF SOIL COVERING. SEEDBED MUST BE FIRM AFTER PLANTING. II. APPLY SEED IN TWO DIRECTIONS, PERPENDICULAR TO EACH OTHER. APPLY HALF THE SEEDING RATE IN EACH DIRECTION. C. HYDROSEEDING: APPLY SEED UNIFORMLY WITH HYDROSEEDER (SLURRY INCLUDES SEED AND

I. IF FERTILIZER IS BEING APPLIED AT THE TIME OF SEEDING, THE APPLICATION RATES SHOULD NOT EXCEED THE FOLLOWING: NITROGEN, 100 POUNDS PER ACRE TOTAL OF SOLUBLE NITROGEN P205 (PHOSPHOROUS), 200 POUNDS PER ACRE; K20 (POTASSIUM), 200 POUNDS PER ACRE. II. LIME: USE ONLY GROUND AGRICULTURAL LIMESTONE (UP TO 3 TONS PER ACRE MAY BE APPLIED BY HYDROSEEDING). NORMALLY, NOT MORE THAN 2 TONS ARE APPLIED BY HYDROSEEDING AT ANY ONE TIME. DO NOT USE BURNT OR HYDRATED LIME WHEN HYDROSEEDING. III MIX SEED AND FERTILIZER ON SITE AND SEED IMMEDIATELY AND WITHOUT INTERRUPTION IV. WHEN HYDROSEEDING DO NOT INCORPORATE SEED INTO THE SOIL.

B. MULCHING I. MULCH MATERIALS (IN ORDER OF PREFERENCE) A. STRAW CONSISTING OF THOROUGHLY THRESHED WHEAT, LYE, OAT, OR BARLEY AND REASONABLY

PERCENT MAXIMUM AND WATER HOLDING CAPACITY OF 90 PERCENT MINIMUM.

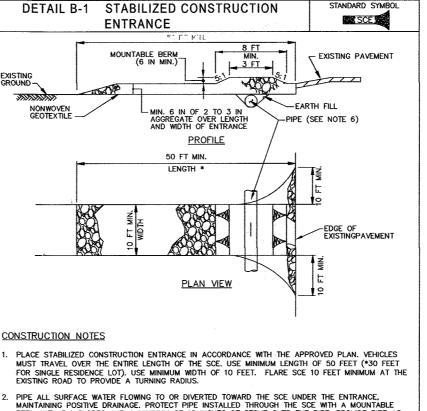
BRIGHT IN COLOR. STRAW IS TO BE FREE OF NOXIOUS WEED SEEDS AS SPECIFIED IN THE MARYLAND SEED LAW AND NOT MUSTY, MOLDY, CAKED, DECAYED, OR EXCESSIVELY DUSTY. NOTE USE ONLY STERILE STRAW MULCH IN AREAS WHERE ONE SPECIES OF GRASS IS DESIRED. B. WOOD CELLULOSE FIBER MULCH (WCFM) CONSISTING OF SPECIALLY PREPARED WOOD CELLULOSE PROCESSED INTO A UNIFORM FIBROUS PHYSICAL STATE 1. WCFM IS TO BE DYED GREEN OR CONTAIN A GREEN DYE IN THE PACKAGE THAT WILL PROVIDE A APPROPRIATE COLOR TO FACILITATE VISUAL INSPECTION OF THE UNIFORMLY SPREAD SLURRY. II. WCFM, INCLUDING DYE, MUST CONTAIN NO GERMINATION OR GROWTH INHIBITING FACTORS III. WCFM MATERIALS ARE TO BE MANUFACTURED AND PROCESSED IN SUCH A MANNER THAT THE WOOD CELLULOSE FIBER MULCH WILL REMAIN IN UNIFORM SUSPENSION IN WATER UNDER AGITATION AND WILL BLEND WITH SEED, FERTILIZER AND OTHER ADDITIVES TO FORM A HOMOGENEOUS SLURRY. THE MULCH MATERIAL MUST FORM A BLOTTER-LIKE GROUND COVER, ON APPLICATION, HAVING MOISTURE ABSORPTION AND PERCOLATION PROPERTIES AND MUST COVER AND HOLD GRASS SEED IN CONTACT WITH THE SOIL WITHOUT INHIBITING THE GROWTH OF THE GRASS SEEDLINGS. IV. WCFM MATERIAL MUST NOT CONTAIN ELEMENTS OR COMPOUNDS AT CONCENTRATION LEVELS THAT WILL BE V. WCFM MUST CONFORM TO THE FOLLOWING PHYSICAL REQUIREMENTS: FIBER LENGTH OF APPROXIMATELY 10 MILLIMETERS, DIAMETER APPROXIMATELY 1 MILLIMETER, PH RANGE OF 4.0 TO 8.5, ASH CONTENT OF 1.6

A. APPLY MULCH TO ALL SEEDED AREAS IMMEDIATELY AFTER SEEDING. B. WHEN STRAW MULCH IS USED, SPREAD IT OVER ALL SEEDED AREAS AT THE RATE OF 2 TONS PER ACRE TO A UNIFORM LOOSE DEPTH OF 1 TO 2 INCHES, APPLY MULCH TO ACHIEVE A UNIFORM DISTRIBUTION AND DEPTH SO THAT THE SOIL SURFACE IS NOT EXPOSED. WHEN USING

MULCH ANCHORING TOOL, INCREASE THE APPLICATION RATE TO 2.5 TONS PER ACRE. WOOD CELLULOSE FIBER USED AS MULCH MUST BE APPLIED AT A NET DRY WEIGHT OF 1500 POUNDS PER ACRE, MIX THE WOOD CELLULOSE FIBER WITH WATER TO ATTAIN A MIXTURE WITH A MAXIMUM OF 50 POUNDS OF WOOD CELLULOSE FIBER PER 100 GALLONS OF WATER. S. ANCHORING

A. PERFORM MULCH ANCHORING IMMEDIATELY FOLLOWING APPLICATION OF MULCH TO MINIMIZE LOSS BY WIND OR WATER. THIS MAY BE DONE BY ONE OF THE FOLLOWING METHODS (LISTED BY PREFERENCE), DEPENDING UPON THE SIZE OF THE AREA AND EROSION HAZARD: I. A MULCH ANCHORING TOOL IS A TRACTOR DRAWN IMPLEMENT DESIGNED TO PUNCH AND ANCHOR MULCH INTO THE SOIL SURFACE A MINIMUM OF 2 INCHES. THIS PRACTICE IS MOST EFFECTIVE ON LARGE AREAS, BU IS LIMITED TO FLATTER SLOPES WHERE EQUIPMENT CAN OPERATE SAFELY. IF USED ON SLOPING LAND, THIS PRACTICE SHOULD FOLLOW THE CONTOUR. II. WOOD CELLULOSE FIBER MAY BE USED FOR ANCHORING STRAW. APPLY THE FIBER BINDER AT A NET DRY WEIGHT OF 750 POUNDS PER ACRE. MIX THE WOOD CELLULOSE FIBER WITH WATER AT A MAXIMUM OF 50 POUNDS OF WOOD CELLULOSE FIBER PER 100 GALLONS OF WATER. III. SYNTHETIC BINDERS SUCH AS ACRYLIC DLR (AGRO-TACK), DCA-70, PETROSET TERRA TAX II, TERRA TACK AR OR OTHER APPROVED EQUAL MAY BE USED. FOLLOW APPLICATION RATES AS

SPECIFIED BY THE MANUFACTURER. APPLICATION OF LIQUID BINDERS NEEDS TO BE HEAVIER AT THE EDGES WHERE WIND CATCHES MULCH, SUCH AS IN VALLEYS AND ON CRESTS OF BANKS. USE OF ASPHALT BINDERS IS STRICTLY PROHIBITED. IV. LIGHTWEIGHT PLASTIC NETTING MAY BE STAPLED OVER THE MULCH ACCORDING TO MANUFACTURER RECOMMENDATIONS. NETTING IS USUALLY AVAILABLE IN ROLLS 4 TO 15 FEET WIDE AND 300 TO 3,000 FEET



PIPE ALL SURFACE WATER FLOWING TO OR DIVERTED TOWARD THE SCE UNDER THE ENTRANCE, MAINTAINING POSITIVE DRAINAGE. PROTECT PIPE INSTALLED THROUGH THE SCE WITH A MOUNTABLE BERM WITH 5:1 SLOPES AND A MINIMUM OF 12 INCHES OF STONE OVER THE PIPE. PROVIDE PIPE AS SPECIFIED ON APPROVED PLAN. WHEN THE SCE IS LOCATED AT A HIGH SPOT AND HAS NO DRAINAGE TO CONVEY, A PIPE IS NOT NECESSARY. A MOUNTABLE BERM IS REQUIRED WHEN SCE IS NOT LOCATED AT A HIGH SPOT.

PREPARE SUBGRADE AND PLACE NONWOVEN GEOTEXTILE, AS SPECIFIED IN SECTION H-1 MATERIALS. PLACE CRUSHED AGGREGATE (2 TO 3 INCHES IN SIZE) OR EQUIVALENT RECYCLED CONCRETE (WITHOU REBAR) AT LEAST 6 INCHES DEEP OVER THE LENGTH AND WIDTH OF THE SCE. MAINTAIN ENTRANCE IN A CONDITION THAT MINIMIZES TRACKING OF SEDIMENT. ADD STONE OR MAKE OTHER REPAIRS AS CONDITIONS DEMAND TO MAINTAIN CLEAN SURFACE, MOUNTABLE BERM, AND

SPECIFIED DIMENSIONS. IMMEDIATELY REMOVE STONE AND/OR SEDIMENT SPILLED, DROPPED, OR TRACKED ONTO ADJACENT ROADWAY BY VACUUMING, SCRAPING, AND/OR SWEEPING. WASHING ROADWAY TO REMOVE MUD TRACKED ONTO PAVEMENT IS NOT ACCEPTABLE UNLESS WASH WATER IS DIRECTED TO AN APPROVED SEDIMENT CONTROL PRACTICE.

MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL 2011

B-4-4 STANDARDS AND SPECIFICATIONS TEMPORARY STABILIZATION

TO STABILIZE DISTURBED SOILS WITH VEGETATION FOR UP TO 6 MONTHS.

TO USE FAST GROWING VEGETATION THAT PROVIDES COVER ON DISTURBED SOILS. CONDITIONS WHERE PRACTICE APPLIES

EXPOSED SOILS WHERE GROUND COVER IS NEEDED FOR A PERIOD OF 6 MONTHS OR LESS. FOR LONGER DURATION OF TIME, PERMANENT STABILIZATION PRACTICES ARE REQUIRED.

1. SELECT ONE OR MORE OF THE SPECIES OR SEED MIXTURES LISTED IN TABLE 8.1 FOR THE APPROPRIATE PLANT HARDINESS ZONE (FROM FIGURE B.3), AND ENTER THEM IN THE TEMPORARY SEEDING SUMMARY BELOW ALONG WITH APPLICATION RATES SEEDING DATES AND SEEDING DEPTHS. IF THIS SUMMARY IS NOT PUT ON THE PLAN AND COMPLETED, THEN TABLE 8.1 PLUS FERTILIZER AND LIME RATES MUST BE PUT ON THE PLAN. 2. FOR SITES HAVING SOIL TESTS PERFORMED, USE AND SHOW THE RECOMMENDED. RATES BY THE TESTING AGENCY. SOIL TESTS ARE NOT REQUIRED FOR TEMPORARY

3. WHEN STABILIZATION IS REQUIRED OUTSIDE OF A SEEDING SEASON, APPLY SEED AND MULCH OR STRAW MULCH ALONE AS PRESCRIBED IN SECTION B-4-3.A.1.B AND MAINTAIN UNTIL THE NEXT SEEDING SEASON.

TEMPORARY SEEDING SUMMARY

	HARDINESS ZONE (FROM FIGURE B.3): ZONE 6b SEED MIXTURE (FROM TABLE B.1):				FERTILIZER RATE	LIME RATE
NO	SPECIES	APPLICATION RATE (LB/AC)	SEEDING DATES	SEEDING DEPTHS	(10-20-20)	CIME TOTAL
1	COOL SEASON ANNUAL RYEGRASS OR EQUAL	40 LB / AC	MAR 1 TO MAY 15 AUG 1 TO OCT 15	1/2 IN.	436 LB/AC (10 LB PER 1000 SF )	2 TONS/AC (90 LB PER 1000 SF )
2	WARM SEASON FOXTAIL MILLET OR EQUAL	30 LB / AC	MAY 16 TO JUL 31	1/2 IN.	Name of the Control o	

B-4-8 STANDARDS AND SPECIFICATIONS STOCKPILE AREA

DETAIL E-1 SILT FENCE

**ELEVATION** 

CROSS SECTION

JOINING TWO ADJACENT SIL'

FENCE SECTIONS (TOP VIEW

MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL

CENTER TO CENTER

WOVEN SLIT FILM-

EMBED GEOTEXTILI
MIN. OF 8 IN VERTICALLY
INTO THE GROUND. BACKFILI

AND COMPACT THE SOIL OF BOTH SIDES OF GEOTEXTILE

STAPLE-

STEP 3

----SF-----

\_\_36 IN MIN. FENCE POST LENGTH DRIVEN MIN. 16 IN INTO GROUND

16 IN MIN. HEIGHT OF WOVEN SLIT FILM GEOTEXTILE

8 IN MIN. DEPTH INTO GROUND

FENCE POST 18 IN MIN.

ABOVE GROUND

STAPLE-

STAPLE ---

STAPLE

1 OF 2

TWIST POSTS TOGETHER

A MOUND OR PILE OF SOIL PROTECTED BY APPROPRIATELY DESIGNED EROSION AND SEDIMENT CONTROL MEASURES

TO PROVIDE A DESIGNATED LOCATION FOR THE TEMPORARY STORAGE OF SOIL THAT CONTROLS THE POTENTIAL FOR EROSION, SEDIMENTATION, AND CHANGES TO DRAINAGE PATTERNS.

CONDITIONS WHERE PRACTICE APPLIES STOCKPILE AREAS ARE UTILIZED WHEN IT IS NECESSARY TO SALVAGE AND STORE SOIL

FOR LATER USE. THE STOCKPILE LOCATION AND ALL RELATED SEDIMENT CONTROL PRACTICES MUST BE CLEARLY INDICATED ON THE FROSION AND SEDIMENT CONTROL PLAN.

THE FOOTPRINT OF THE STOCKPILE MUST BE SIZED TO ACCOMMODATE THE ANTICIPATED VOLUME OF MATERIAL AND BASED ON A SIDE SLOPE RATIO NO STEEPER THAN 2:1. BENCHING MUST BE PROVIDED IN ACCORDANCE WITH SECTION B-3 LAND GRADING. RUNOFF FROM THE STOCKPILE AREA MUST DRAIN TO A SUITABLE SEDIMENT CONTROL PRACTICE. ACCESS THE STOCKPILE AREA FROM THE UPGRADE SIDE.

OF A DIVERSION DEVICE SUCH AS AN EARTH DIKE, TEMPORARY SWALE OR DIVERSION FENCE PROVISIONS MUST BE MADE FOR DISCHARGING CONCENTRATED FLOW IN A NON-EROSIVE MANNER. WHERE RUNOFF CONCENTRATES ALONG THE TOE OF THE STOCKPILE FILL, AN APPROPRIATE EROSION/SEDIMENT CONTROL PRACTICE MUST BE USED TO

INTERCEPT THE DISCHARGE 7. STOCKPILES MUST BE STABILIZED IN ACCORDANCE WITH THE 3/7 DAY TABILIZATION REQUIREMENT AS WELL AS STANDARD B-4-1 INCREMENTAL STABILIZATION AND STANDARD B-4-4 TEMPORARY STABILIZATION. IF THE STOCKPILE IS LOCATED ON AN IMPERVIOUS SURFACE, A LINER SHOULD

BE PROVIDED BELOW THE STOCKPILE TO FACILITATE CLEANUP. STOCKPILES

CONTAINING CONTAMINATED MATERIAL MUST BE COVERED WITH IMPERMEABLE

CLEAR WATER RUNOFF INTO THE STOCKPILE AREA MUST BE MINIMIZED BY USE

MAINTENANCE

THE STOCKPILE AREA MUST CONTINUOUSLY MEET THE REQUIREMENTS FOR ADEQUATE VEGETATIVE ESTABLISHMENT IN ACCORDANCE WITH SECTION 8-4 VEGETATIVE STABILIZATION. SIDE SLOPES MUST BE MAINTAINED AT NO STEEPER THAN A 2:1 RATIO. THE STOCKPILE AREA MUST BE KEPT FREE OF EROSION. IF THE VERTICAL HEIGHT OF A STOCKPILE EXCEEDS 20 FEET FOR 2:1 SLOPES, 30 FEET FOR 3:1 SLOPES. OR 40 FEET FOR 4:1 SLOPES, BENCHING MUST BE PROVIDED IN ACCORDANCE WITH SECTION B-3 LAND GRADING.

SEQUENCE OF CONSTRUCTION

COMPLETE BUILDING CONSTRUCTION.

OBTAIN HOWARD COUNTY GRADING PERMIT. (1 WEEK) 2. NOTIFY HOWARD COUNTY AT LEAST 48 HOURS PRIOR TO START OF CONSTRUCTION, 410-313-2455 (2 DAYS)

3. CONDUCT A PRE-CONSTRUCTION MEETING WITH THE SEDIMENT CONTROL INSPECTOR PRIOR TO ANY LAND DISTURBANCE. (1 DAY) 4. INSTALL STABILIZED CONSTRUCTION ENTRANCE WITH MOUNTABLE

BERM IF REQUIRED. (2 DAYS) 5. INSTALL SILT FENCE AS INDICATED ON PLAN (2 DAYS) 6. WITH APPROVAL OF SEDIMENT CONTROL INSPECTOR, CLEAR AND GRUB SITE AS REQUIRED WEEK)

8. COMPLETE SITE GRADING AND UTILITY CONSTRUCTION. (1 WEEK) 9. INSTALL PAVING . (1 DAY) 10. FINE GRADE PROPOSED LOT IN CONFORMANCE WITH SPOT ELEVATIONS SHOWN AND IN ACCORDANCE WITH ANY ESD STORMWATER PRACTICES STABILIZE ALL AREAS WITHIN THE THE LOD. (2 DAYS)

11. REMOVE ALL SEDIMENT CONTROL MEASURES AFTER RECEIVING APPROVAL FROM THE SEDIMENT CONTROL INSPECTOR. (2 DA

(8 WEEKS)

**DEVELOPER** OWNER STREET DEVELOPMENT ESC ELKRIDGE WOODS LLC 5074 DORSEY HALL ROAD, SUITE 205 5074 DORSEY HALL ROAD, SUITE ELLICOTT CITY, MD 21042 ELLICOTT CITY, MD 21042 410-720-3021 410-720-3021

REVISION DATE SITE DEVELOPMENT PLAN

GRADING, SOIL EROSION AND

SEDIMENT CONTRÓL PLAN - NOTES AND DETAILS

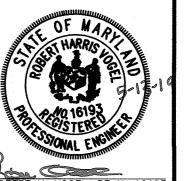
**ELKRIDGE WOODS** LOT 1

ZONED: R-12 PLAT#25013 FAX MAP 38 GRID 9 IST ELECTION DISTRICT

PARCELS 756, 340 HOWARD COUNTY, MARYLAND



ROBERT H. VOGEL ENGINEERING, INC. ENGINEERS • SURVEYORS • PLANNERS 3300 N. RIDGE ROAD, SUITE 110 TEL: 410.461.7666 ELLICOTT CITY, MD 21043 FAX: 410.461.8961



CHECKED BY: MAY 2019 AS SHOWN 41446

SHEET

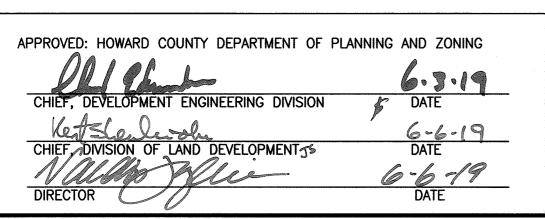
# **NOTES**

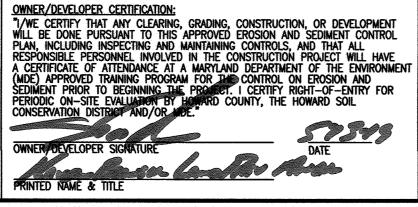
DURING GRADING AND AFTER EACH RAINFALL, THE CONTRACTOR SHALL **INSPECT** AND PROVIDE THE NECESSARY MAINTENANCE ON THE SEDIMENT AND EROSION CONTROL MEASURES SHOWN HEREON.

FOLLOWING INITIAL SOIL DISTURBANCE OR REDISTURBANCE, PERMANENT OR

TEMPORARY STABILIZATION SHALL BE COMPLETED WITHIN: A. 3 CALENDAR DAYS FOR ALL PERIMETER SEDIMENT CONTROL STRUCTURES,

DIKES, PERIMETER SLOPES AND ALL SLOPES GREATER THAN 3:1. B. 7 DAYS AS TO ALL OTHER DISTURBED OR GRADED AREAS ON THE PROJECT SITE.



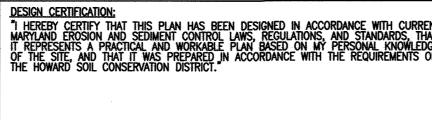


(10-20-20)

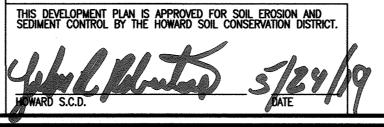
1/4-1/2 IN. (1 LB PER (2 LB PER (2 LB PER (90 LB PER

45 LB/AC 90 LB/AC 90 LB/AC 2 TONS/AC

1000 SF ) 1000 SF ) 1000 SF ) 1000 SF



MD REGISTRATION NO. 16193
(P.E., R.L.S., OR R.L.A. (circle one)



REMOVE ACCUMULATED SEDIMENT AND DEBRIS WHEN BULGES DEVELOP IN SILT FENCE OR WHEN SEDIMENT REACHES 25% OF FENCE HEIGHT. REPLACE GEOTEXTILE IF TORN. IF UNDERMINING OCCURS, REINSTALL FENCE.

WHERE TWO SECTIONS OF GEOTEXTILE ADJOIN: OVERLAP, TWIST, AND STAPLE TO POST IN ACCORDANCE WITH THIS DETAIL.

. USE WOOD POSTS  $1\frac{1}{4}$  X  $1\frac{1}{4}$   $\pm$   $\frac{1}{16}$  INCH (MINIMUM) SQUARE CUT OF SOUND QUALITY HARDWOOD. AS A ALTERNATIVE TO WOODEN POST USE STANDARD "T" OR "U" SECTION STEEL POSTS WEIGHING NOT LES THAN 1 POUND PER LINEAR FOOT.

USE 36 INCH MINIMUM POSTS DRIVEN 16 INCH MINIMUM INTO GROUND NO MORE THAN 6 FEET APAR

I. USE WOVEN SLIT FILM GEOTEXTILE AS SPECIFIED IN SECTION H-1 MATERIALS AND FASTEN GEOTEXTILE SECURELY TO UPSLOPE SIDE OF FENCE POSTS WITH WIRE TIES OR STAPLES AT TOP AND

EMBED GEOTEXTILE A MINIMUM OF 8 INCHES VERTICALLY INTO THE GROUND. BACKFILL AND COMPACT THE SOIL ON BOTH SIDES OF FABRIC.

EXTEND BOTH ENDS OF THE SILT FENCE A MINIMUM OF FIVE HORIZONTAL FEET UPSLOPE AT 45 DEGREES TO THE MAIN FENCE AUGNMENT TO PREVENT RUNOFF FROM GOING AROUND THE ENDS OF THE SILT FENCE.

DETAIL E-1 SILT FENCE

CONSTRUCTION SPECIFICATIONS

STANDARD SYMBOL

⊢----SF-----

MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL