

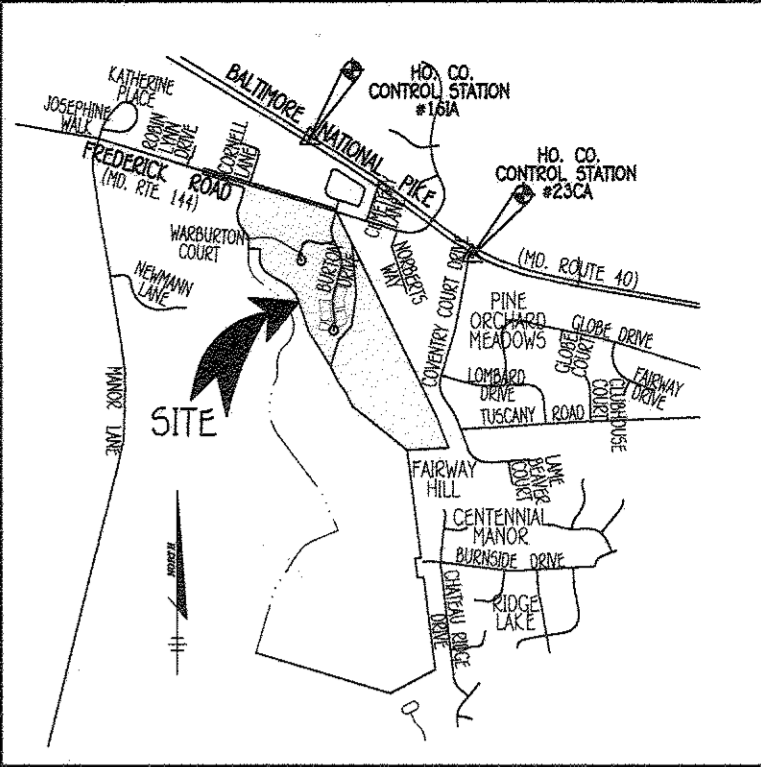
SHEET INDEX	
SHEET NO.	DESCRIPTION
1	TITLE SHEET
2	GENERIC BOXES & HOUSE TYPES
3	SITE DEVELOPMENT PLAN
4	SEDIMENT EROSION CONTROL PLAN
5	SEDIMENT AND EROSION CONTROL NOTES & DETAILS
6	STORMWATER MANAGEMENT NOTES & DETAILS

SITE DEVELOPMENT PLAN WESTMOUNT PHASE 1

LOTS 7 THRU 11 & 17 THRU 20

ZONED: R-ED (RESIDENTIAL ENVIRONMENTAL DEVELOPMENT)
TAX MAP No. 23 P/O PARCEL NO. 149 GRID No's. 6 & 12
HOWARD COUNTY, MARYLAND

BENCH MARKS
 T.P. 161A ELEV. 462.908
 N. 569,509.366
 E. 1,346,343.632
 LOC. NEAR INTERSECTION OF MD. RTE. 40 & CEMETERY LANE.
 T.P. 23CA ELEV. 482.187
 N. 558,035.645
 E. 1,348,395.607
 LOC. NEAR 95 BRIDGE MD. RTE. 40 & CONVENTY CT.



VICINITY MAP
 SCALE: 1" = 2000'
 HO. CO. ADC MAP 11, GRID D-7, D-8 & E-7, E-8

SITE ANALYSIS DATA

- A. TOTAL AREA OF SITE: 1.58 AC.±
- B. TOTAL AREA OF THIS SUBMISSION: 1.58 AC.±
- C. LIMIT OF DISTURBED AREA: 1.58 AC.±
- D. PRESENT ZONING DESIGNATION: R-ED
- E. PROPOSED USE: SINGLE FAMILY DETACHED
- F. FLOOR SPACE ON EACH LEVEL OF BUILDING: N/A
- G. TOTAL NUMBER OF UNITS: 9 UNITS
- H. TOTAL NUMBER OF PARKING SPACES REQUIRED: PER SECTION 133.0.02.2 OF THE ZONING REGULATIONS 2 PARKING SPACES/DWELLING UNIT; 9 UNITS X 2 = 18 SPACES PLUS 0.5/UNIT FOR VISITOR PARKING; 0.5 X 9 X 5 = 23 TOTAL SPACES
- I. TOTAL NUMBER OF PARKING SPACES PROVIDED: 36 SPACES
- J. OPEN SPACE ON SITE: N/A
- K. BUILDING COVERAGE OF SITE: 30%
- L. PREVIOUS HOWARD COUNTY FILES: F-07-124, F-11-058, ZB-1087M, WP-11-132, ECP-14-058, SP-14-008, WP-15-038, WP-16-081, WP-16-143, PB408, THE DRA IS RECORDED IN LIBER 12722, FOLIO 248, SDP-18-009, SDP-18-018, & SDP-18-027
- M. TOTAL AREA OF FLOODPLAIN: 0.00 AC.±
- N. TOTAL AREA OF SLOPES IN EXCESS OF 25%: 0.000 AC.±
- O. AREA OF WETLANDS: 0.00 AC.±
- P. AREA OF FOREST: 0.00 AC.±
- Q. IMPERVIOUS AREA: 42% AC.±

ON LOT STORMWATER MANAGEMENT PRACTICES

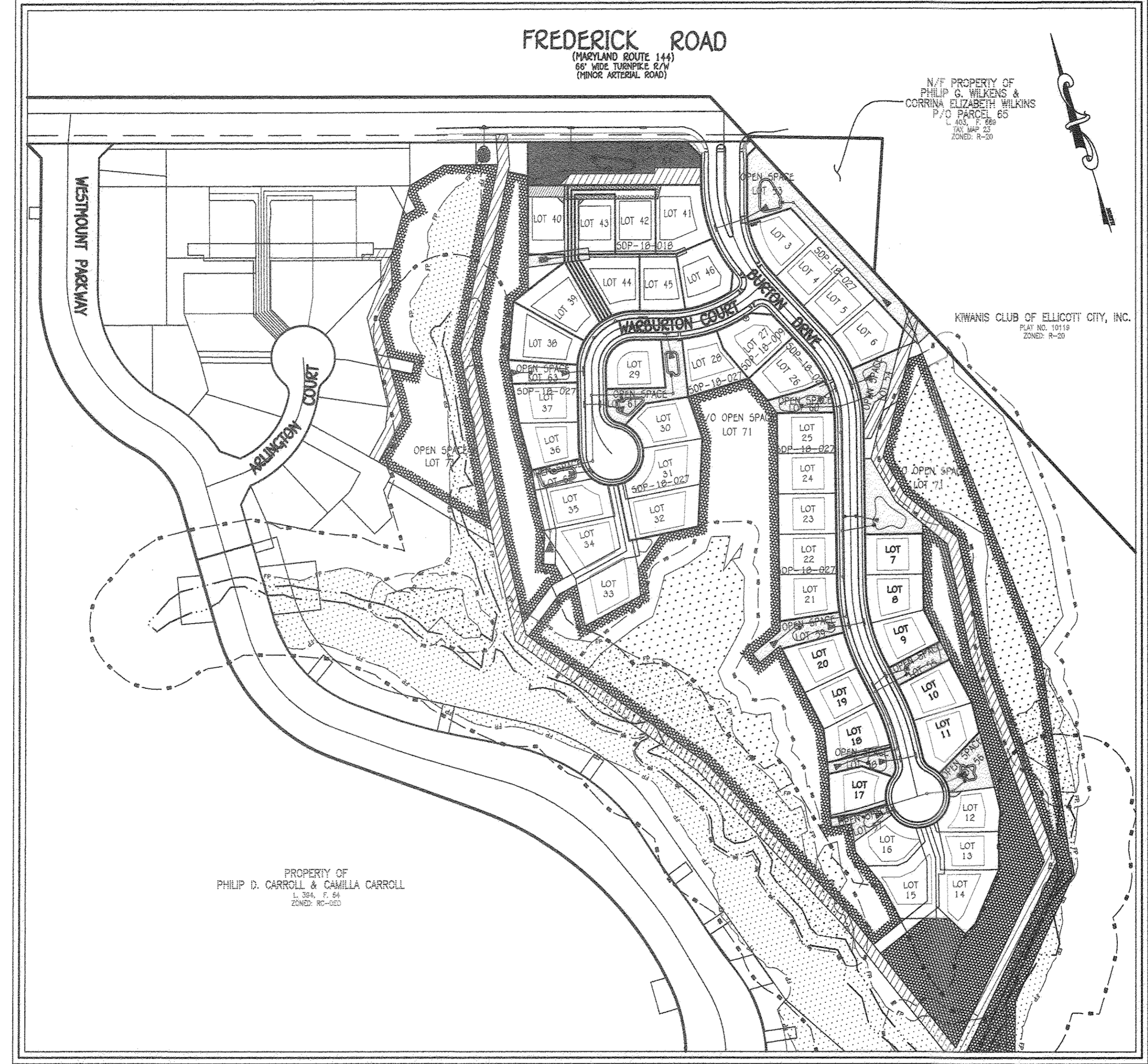
LOT NO.	STREET ADDRESS	DRY WELLS M-5 (Y/N)
7	3335 BURTON DRIVE	Y(3)
8	3339 BURTON DRIVE	Y(3)
9	3343 BURTON DRIVE	Y(2)
10	3349 BURTON DRIVE	Y(2)
11	3353 BURTON DRIVE	Y(3)
17	3358 BURTON DRIVE	Y(3)
18	3352 BURTON DRIVE	Y(2)
19	3348 BURTON DRIVE	Y(2)
20	3344 BURTON DRIVE	Y(2)

LEGEND

SYMBOL	DESCRIPTION
(---) 4'-0"	EXISTING CONTOUR 2' INTERVAL
(---) 4'-0"	EXISTING CONTOUR 10' INTERVAL
(---) 4'-0"	PROPOSED CONTOUR 2' INTERVAL
(---) 4'-0"	PROPOSED CONTOUR 10' INTERVAL
x444.5	SPOT ELEVATION
(---) 1'-0"	DEVELOP (1'-0") TYPICAL LIMIT OF DISTURBANCE
(---) 55'	SUPER SILT FENCE
(---) 1'-0"	FLOOD PLAN
(---) 1'-0"	STREAM BUFFER
(---) 1'-0"	STREET TREES PER F-15-087
(---) 1'-0"	PERIMETER LANDSCAPE TREES PER F-15-087
(---) 1'-0"	EXISTING BIO RETENTION FACILITY (F-6) OR (M-6) AS NOTED

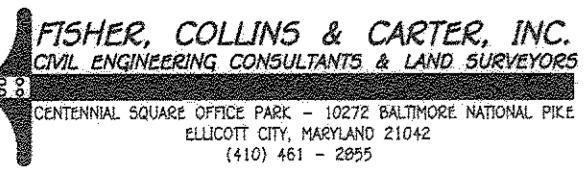
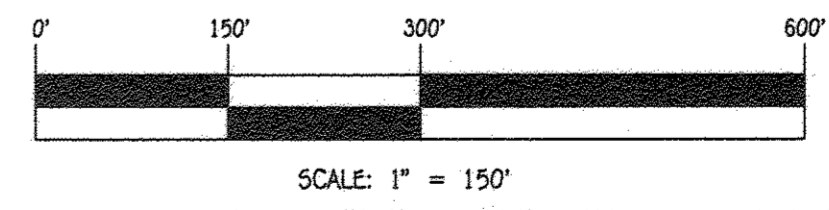
ADDRESS CHART

LOT NUMBER	STREET ADDRESS
7	3335 BURTON DRIVE
8	3339 BURTON DRIVE
9	3343 BURTON DRIVE
10	3349 BURTON DRIVE
11	3353 BURTON DRIVE
17	3358 BURTON DRIVE
18	3352 BURTON DRIVE
19	3348 BURTON DRIVE
20	3344 BURTON DRIVE



GENERAL NOTES

1. SUBJECT PROPERTY ZONED R-ED PER THE 10/06/13 COMPREHENSIVE ZONING PLAN.
2. THE CONTRACTOR SHALL NOTIFY THE CONSTRUCTION INSPECTION DIVISION AT (410)313-1800 AT LEAST (5) FIVE WORKING DAYS PRIOR TO THE START OF WORK.
3. THE CONTRACTOR SHALL NOTIFY "MISS UTILITY" AT 1-800-257-7777 AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION WORK.
4. THIS PROJECT IS SUBJECT TO HOWARD COUNTY FILES: F-11-058, ZB-1087M, WP-11-132, ECP-14-058, SP-14-008, WP-15-038, WP-16-081, WP-16-143, PB408, THE DRA IS RECORDED IN LIBER 12722, FOLIO 248, SDP-18-009, SDP-18-018, & SDP-18-027.
5. THIS PLAN IS BASED ON A FIELD RUN MONUMENTED BOUNDARY SURVEY PERFORMED ON OR ABOUT SEPTEMBER, 2001 BY FISHER, COLLINS & CARTER INC. AND SUPPLEMENTED WITH THE PLAT TITLED "WESTMOUNT PHASE 1" AND RECORDED AS 24123 - 24138 AMONG THE LAND RECORDS OF HOWARD COUNTY.
6. TOPOGRAPHY SHOWN IS BASED ON FINAL ROAD CONSTRUCTION, GRADING AND STORMWATER MANAGEMENT PLANS F-15-087.
7. HORIZONTAL AND VERTICAL CONTROL DATUM IS BASED ON NAD 83, MARYLAND COORDINATE SYSTEM AS PROJECTED BY HOWARD COUNTY GEODETIC CONTROL STATIONS: HOWARD COUNTY MONUMENT 161A N 569,509.366 E 1,346,343.632 HOWARD COUNTY MONUMENT 23CA N 558,035.645 E 1,348,395.607
8. ANY DAMAGE TO THE COUNTY'S RIGHT-OF-WAY SHALL BE CORRECTED AT THE DEVELOPER'S EXPENSE.
9. THIS PLAN IS FOR HOUSE SITING AND GRADING ONLY. IMPROVEMENTS SHOWN WITHIN THE RIGHTS-OF-WAY OF THIS S.D.P. ARE NOT USED FOR CONSTRUCTION. FOR CONSTRUCTION SEE APPROVED ROAD CONSTRUCTION PLANS F-15-087. FOR APPROVED WATER AND SEWER CONTRACT NO. 24-4876-0.
10. CONTRACTOR WILL CHECK SEWER HOUSE CONNECTION ELEVATION AT EASEMENT LINE PRIOR TO CONSTRUCTION.
11. LANDSCAPING OBLIGATIONS FOR THE OVERALL WESTMOUNT PROJECT HAVE BEEN PROVIDED UNDER F-15-087.
12. FOREST CONSERVATION REQUIREMENTS HAVE BEEN ADDRESSED WITH F-15-087.
13. FOR DRIVEWAY ENTRANCE DETAILS REFER TO HO. CODES MANUAL VOL. IV DETAILS R.6.03 & R.6.05.
14. OPEN SPACE REQUIREMENTS FOR THESE LOTS HAVE BEEN PROVIDED UNDER F-15-087.
15. THIS S.D.P. IS SUBJECT TO THE 5TH EDITION OF THE SUBDIVISION AND LAND DEVELOPMENT REGULATIONS AND THE ZONING REGULATIONS AS AMENDED BY COUNCIL BILL 90-2001.
16. IN ACCORDANCE WITH SECTION 128.0 OF THE HOWARD COUNTY ZONING REGULATIONS, BAY WINDOWS, CHIMNEYS OR EXTERIOR STAIRWAYS NOT MORE THAN 16' FEET IN WIDTH MAY PROJECT NOT MORE THAN 4 FEET INTO ANY SETBACKS, PORCHES OR DECKS OPEN OR ENCLOSED MAY PROJECT NOT MORE THAN 10 FEET INTO THE FRONT OR REAR YARD SETBACKS. THE 15' MINIMUM DISTANCE BETWEEN STRUCTURES DOES NOT APPLY TO THOSE REFERENCED FEATURES NOR BETWEEN OPEN DECKS AND A DWELLING STRUCTURE OR ANOTHER DECK. AS AN ADVISORY, THE 15' DISTANCE DOES APPLY TO THE SECOND STORY OVERHANG.
17. STORMWATER MANAGEMENT WILL BE PROVIDED BY 22 DRY WELLS (M-5) TO BE OWNED AND MAINTAINED BY THE LOT OWNER WHERE THAT PARTICULAR DRY WELL IS LOCATED. THIS SITE DEVELOPMENT IS ALSO SUPPORTED BY BIO-RETENTION PROVIDED BY F-15-087.
18. THE PROJECT IS NOT SUBJECT TO THE PROVISIONS OF MODERATE INCOME HOUSING UNITS (MIHU) BASED ON THE DEVELOPER'S RIGHTS AND RESPONSIBILITIES AGREEMENT (DRA) RECORDED AT LIBER 12722, FOLIO 248 ON 9/17/2010.
19. DRIVEWAYS SHALL BE PROVIDED PRIOR TO ISSUANCE OF A USE AND OCCUPANCY PERMIT FOR ANY NEW DWELLINGS TO INSURE SAFE ACCESS FOR FIRE AND EMERGENCY VEHICLES PER THE FOLLOWING (MINIMUM) REQUIREMENTS:
 - A.) WIDTH - 12' (18' IF SERVING MORE THAN ONE RESIDENCE)
 - B.) SURFACE - 6" OF COMPACTED CRUSHER RUN BASE W/TAR AND CHIP COATING (1-1/2" MIN.)
 - C.) GEOMETRY MAXIMUM 15% GRADE, MAXIMUM 10% GRADE CHANGE AND 45 FOOT TURNING RADIUS.
 - D.) STRUCTURES - (BRIDGES/CULVERTS) CAPABLE OF SUPPORTING 25 GROSS TONS (H25-LOADING)
 - E.) DRAINAGE ELEMENTS CAPABLE OF SAFELY PASSING 100 YEAR FLOOD WITH NO MORE THAN 1 FOOT DEPTH OVER DRIVEWAY SURFACE.
 - F.) STRUCTURE CLEARANCES - MINIMUM 12 FEET
 - G.) MAINTENANCE SUFFICIENT TO INSURE ALL WEATHER USE.
20. NO GRADING, REMOVAL OF VEGETATIVE COVER OR TREES, PAVING AND NEW STRUCTURES SHALL BE PERMITTED WITHIN THE LIMITS OF WETLANDS, STREAM(S), OR THEIR REQUIRED BUFFERS, FLOODPLAIN AND FOREST CONSERVATION EASEMENT AREAS.
21. THE ESOSA NOISE LINE ESTABLISHED BY HOWARD COUNTY TO ALERT DEVELOPERS, BUILDERS AND FUTURE RESIDENTS THAT AREAS BEYOND THIS THRESHOLD MAY EXCEED GENERALLY ACCEPTED NOISE LEVELS ESTABLISHED BY THE U.S. DEPARTMENT OF HOUSING AND URBAN DEVELOPMENT.
22. SUBJECT PROPERTY ZONED R-ED AND IS SUBJECT TO COUNCIL BILL NO. 2, SECTION 128.0.A.1.J. OF THE ZONING REGULATIONS (CB-2-2012) WHICH ALLOWS SUNROOMS AND ROOM EXTENSIONS NOT MORE THAN 10 FEET INTO THE REAR SETBACK, ALONG NOT MORE THAN 60% OF THE REAR FACE OF THE DWELLING ON A LOT WHICH ADJOINS OPEN SPACE ALONG A MAJORITY OF THE REAR LOT LINE FOR R-ED LOTS RECORDED AFTER THE EFFECTIVE DATE OF 5/13/12.
23. THIS DEVELOPMENT SHALL BE IN ACCORDANCE WITH ALL REQUIREMENTS ESTABLISHED AS PART OF THE "DEVELOPER'S RIGHT AND RESPONSIBILITIES AGREEMENT (DRA) BETWEEN HOWARD COUNTY AND THE CARROLLS. PER THE DRA, THE DEVELOPER AND DPW HAVE AGREED THAT A PER LOT FEE IN THE AMOUNT OF \$3,000 WILL BE PAID AT BUILDING PERMIT STAGE FOR SEWAGE NUTRIENT REDUCTION.
24. THIS PLAN IS SUBJECT TO ALTERNATIVE COMPLIANCE REQUESTS WP-15-038, WP-16-081 AND WP-16-143. SEE SHEET 6 FOR DETAILS OF ALTERNATIVE COMPLIANCE APPROVALS AND CONDITIONS.



PROFESSIONAL CERTIFICATION
 I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND THAT I AM A DULY LICENSED PROFESSIONAL LAND SURVEYOR UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 21476, EXPIRATION DATE: 7/14/19.
 Frank J. Paolantonio, Jr. 4/30/18
 NAME DATE

OWNER/BUILDER
 BEAZER HOMES, LLC
 8965 QUILFORD ROAD - SUITE 290
 COLUMBIA, MARYLAND 21046
 (765) 944-0182

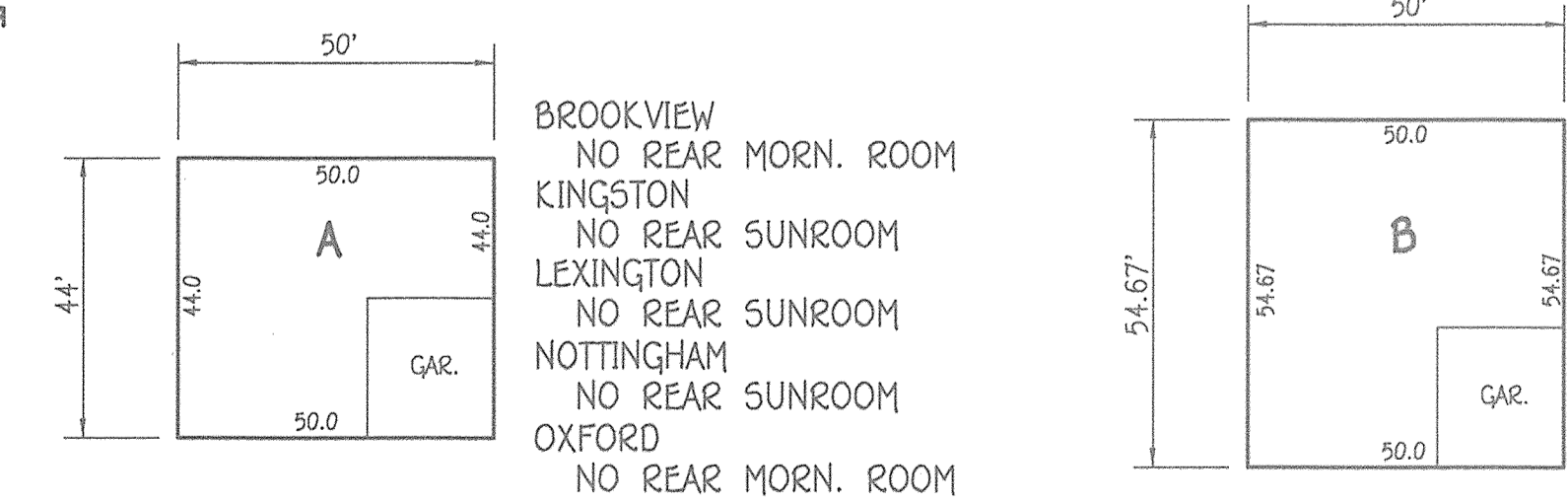
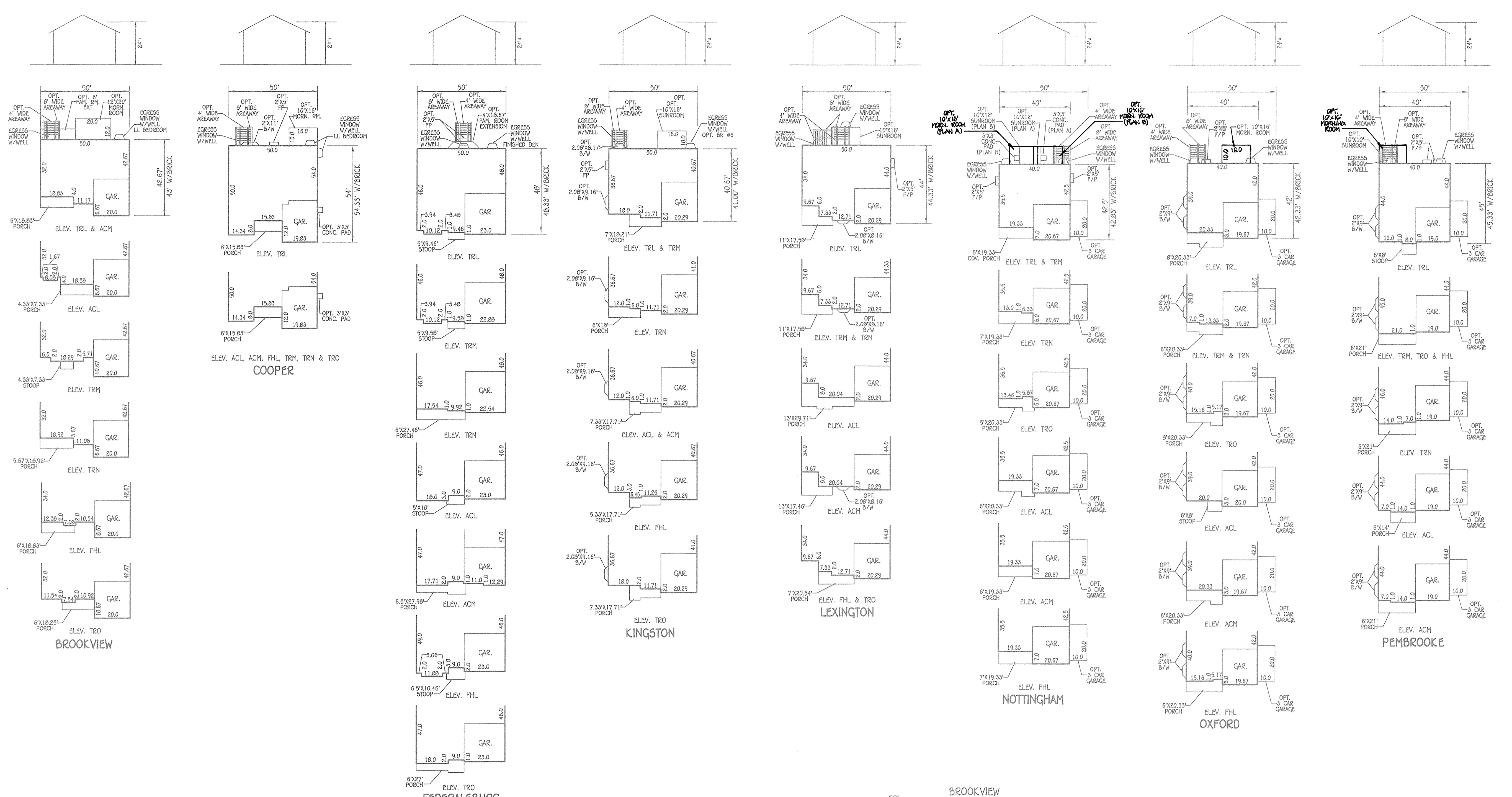
APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

Chief, Division of Land Development	6-12-18
Director of Engineering	6-7-18
Director - Department of Planning and Zoning	6-12-18

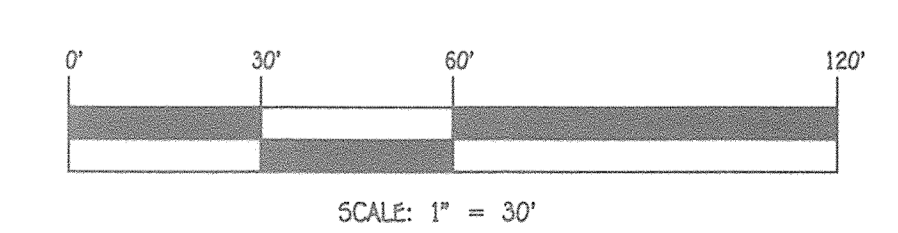
PROJECT	PHASE	PARCEL NO.			
WESTMOUNT	1	149			
PLAT	BLOCK NO.	ZONE	TAX/ZONE	ELEC. DIST.	CENSUS TR.
24123-24141	6 & 12	R-ED	23	2	60203.03

PREVIOUS HOWARD COUNTY FILES:
 F-11-058, ZB-1087M, WP-11-132, ECP-14-058, SP-14-008, WP-15-038, WP-16-081, WP-16-143, PB408, THE DRA IS RECORDED IN LIBER 12722, FOLIO 248, SDP-18-009, SDP-18-018 & SDP-18-027

TITLE SHEET
 SINGLE FAMILY HOUSES
WESTMOUNT
 LOTS 7 THRU 11 AND 17 THRU 20
 PHASE 1
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 ZONED: R-ED
 TAX MAP NO: 23 P/O PARCEL NO: 149 GRID NO'S: 6 & 12
 SECOND ELECTION DISTRICT HOWARD COUNTY, MARYLAND
 SCALE: AS SHOWN DATE: MARCH, 2018
 SHEET 1 OF 6



BROOKVIEW
W/ALL OPTIONS
COOPER
NO MORN. ROOM
FEDERALSBURG
W/ALL OPTIONS
KINGSTON
NO REAR SUNROOM
LEXINGTON
W/ALL OPTIONS
LEXINGTON
NO REAR SUNROOM
NOTTINGHAM
W/ALL OPTIONS
NOTTINGHAM
W/ALL OPTIONS
OXFORD
W/ALL OPTIONS
PEMBROKE
W/ALL OPTIONS



I:\2018\05022.dwg (SHP) 18-039 (Plan) 5/15/2018 11:22:39 AM, 1:1

FISHER, COLLINS & CARTER, INC.
CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
CENTENNIAL SQUARE OFFICE PARK - 10272 BALTIMORE NATIONAL FILE
ELICOTT CITY, MARYLAND 21142
(410) 461-1200



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Kenneth H. Handman II 4/30/18
NAME DATE

OWNER/BUILDER
BEAZER HOMES, LLC
8965 GUILFORD ROAD - SUITE 290
COLUMBIA, MARYLAND 21046
(765) 894-0182

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

<i>[Signature]</i>	6-12-18
Chief, Division of Land Development	Date
<i>[Signature]</i>	6-7-18
Chief, Development Engineering Division	Date
<i>[Signature]</i>	6-12-18
Director - Department of Planning and Zoning	Date

PROJECT	PHASE	PARCEL NO.			
WESTMOUNT	1	149			
PLAT	BLOCK NO.	ZONE	TAX/ZONE	ELEC. DIST.	CENSUS TR.
24123-24141	6 & 12	R-ED	23	2	6023.03

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GENERIC BOXES & HOUSE TYPES

SINGLE FAMILY HOUSES
WESTMOUNT
LOTS 7 THRU 11 AND 17 THRU 20

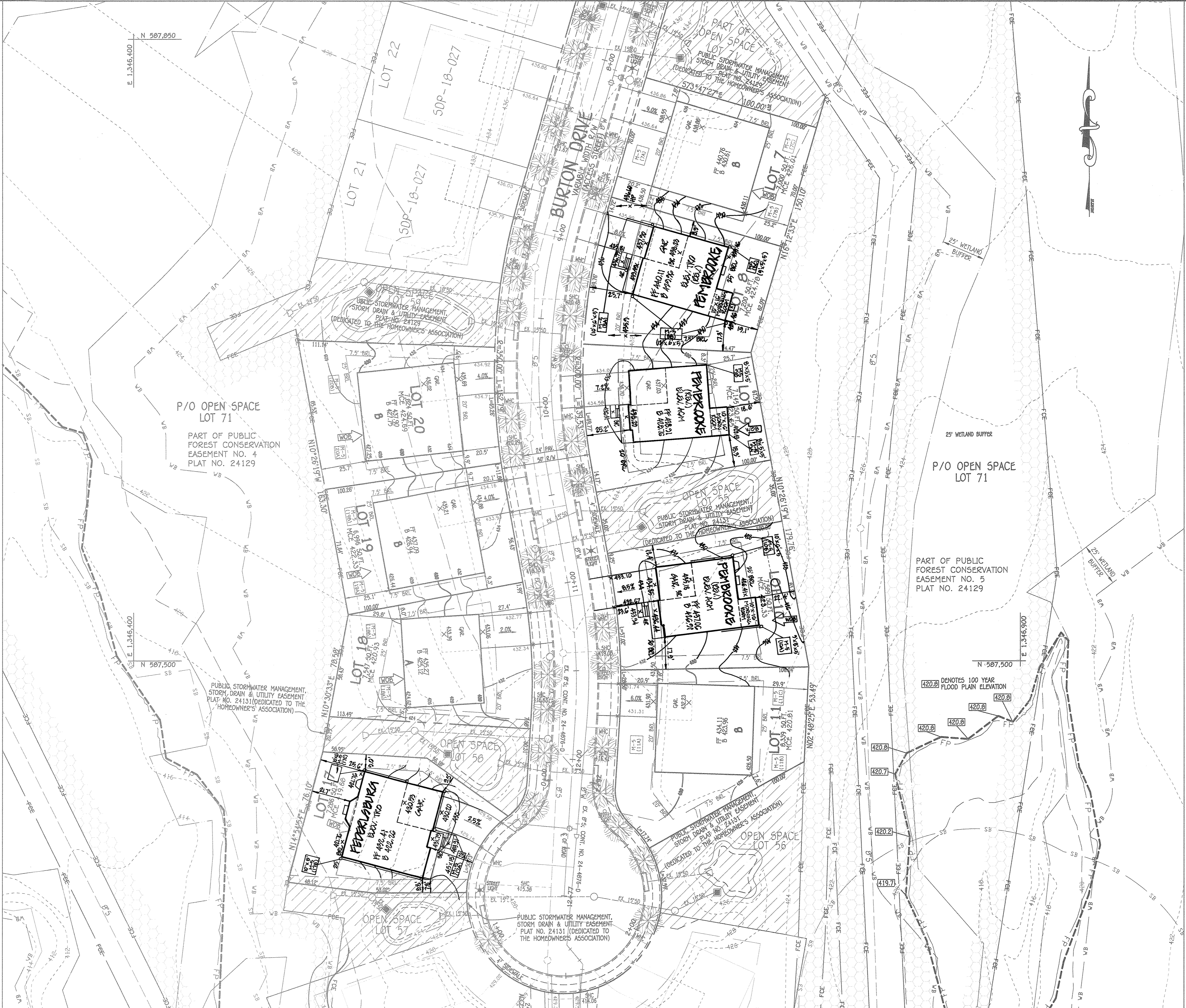
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TAX MAP NO.: 23 P/O PARCEL NO.: 149 GRID NO'S: 6 & 12
SECOND ELECTION DISTRICT HOWARD COUNTY, MARYLAND
SCALE: AS SHOWN DATE: MARCH, 2018

SHEET 2 OF 6 SDP-18-039

NO.	REVISION	DATE
1	ADD OPTIONS TO NOTTINGHAM, OXFORD & PEMBROKE HOUSE TYPES	12/13/18

LEGEND	
SYMBOL	DESCRIPTION
---446---	EXISTING CONTOUR 2' INTERVAL
---450---	EXISTING CONTOUR 10' INTERVAL
---448---	PROPOSED CONTOUR 2' INTERVAL
---452---	PROPOSED CONTOUR 10' INTERVAL
x444.5	SPOT ELEVATION
○	DRYWELL (M-5)-TYPICAL
□	LIMIT OF DISTURBANCE
---	SUPPER BILT FENCE
---	FLOOD PLAN
---	STREAM BUFFER
○	STREET TREES PER F-15-087
○	PERIMETER LANDSCAPE TREES PER F-15-087
□	EXISTING BIO RETENTION FACILITY (F-6) OR (M-6) AS NOTED

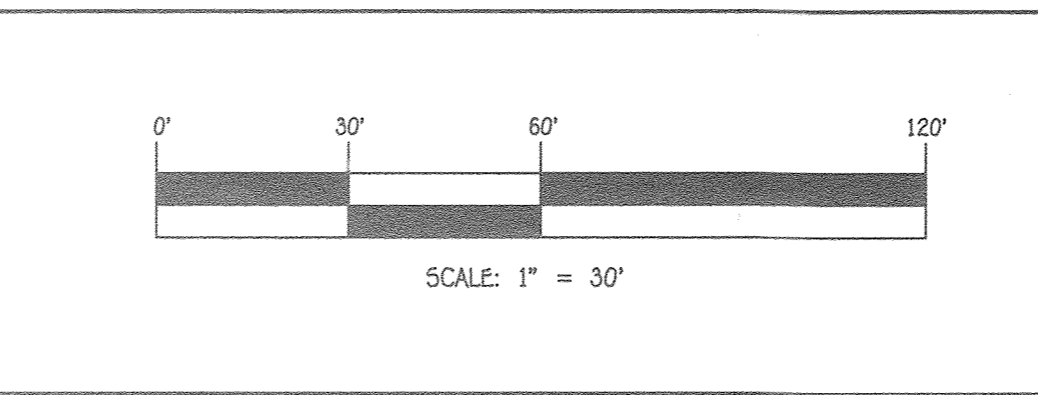


FISHER, COLLINS & CARTER, INC.
 CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
 CENTENNIAL SQUARE OFFICE PARK - 10272 BALTIMORE NATIONAL PIKE
 ELLICOTT CITY, MARYLAND 21042
 (410) 481-2000

NO.	REVISION	DATE
4	REVISE H&E & GR2 LOT 8, FROM OPEN BOX, TO PERIMETER	10/27/16
3	REVISE H&E & GR2 LOT 10, FROM OPEN BOX, TO PERIMETER	10/27/16
2	REVISE H&E & GR2 LOT 9, FROM OPEN BOX, TO PERIMETER	10/27/16
1	REVISE H&E & GR2 LOT 17, FROM OPEN BOX, TO PERIMETER	8/31/16



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 Frank John Brandon *F* 4/30/18
 NAME DATE



OWNER/BUILDER
 BEAZER HOMES, LLC
 8965 GUILFORD ROAD - SUITE 290
 COLUMBIA, MARYLAND 21046
 (765) 894-0182

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

Chief, Division of Land Development	6-12-18
Chief, Development Engineering Division	6-7-18
Director - Department of Planning and Zoning	6-12-18

PROJECT	PHASE	PARCEL NO.
WESTMOUNT	1	149

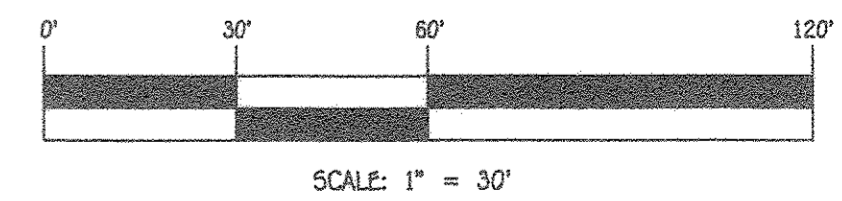
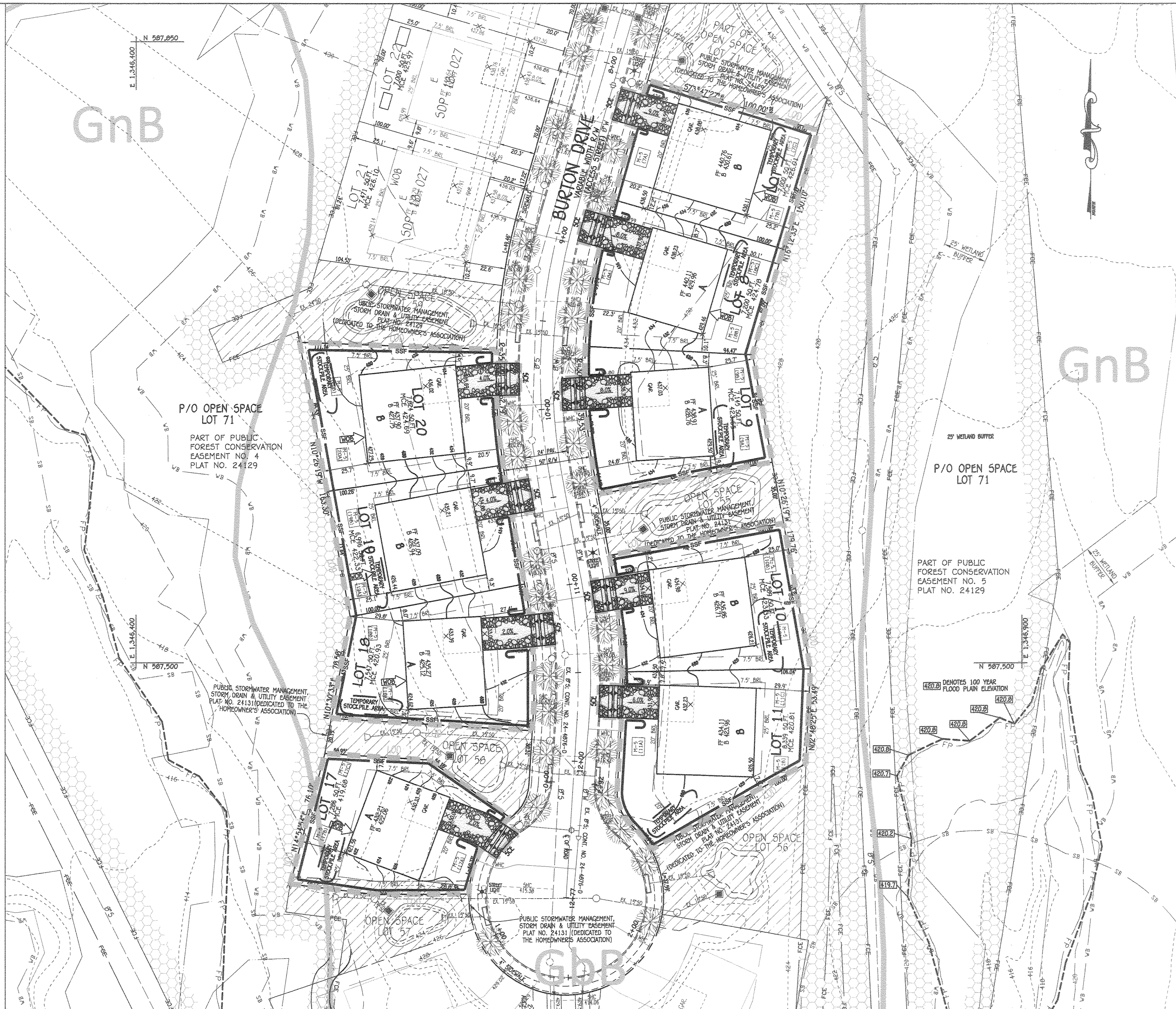
PLAT	BLOCK NO.	ZONE	TAX/ZONE	ELEC. DIST.	CENSUS TR.
24123-24141	6 & 12	R-ED	23	2	6023.03

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 ZONED: R-ED
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 SECOND ELECTION DISTRICT HOWARD COUNTY, MARYLAND
 SCALE: AS SHOWN DATE: MARCH, 2018
 SHEET 3 OF 6

SITE DEVELOPMENT PLAN
 SINGLE FAMILY HOUSES
WESTMOUNT
 LOTS 7 THRU 11 AND 17 THRU 20
 PHASE 1
 PREVIOUS HOWARD COUNTY FILES:
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 SECOND ELECTION DISTRICT HOWARD COUNTY, MARYLAND
 SCALE: AS SHOWN DATE: MARCH, 2018
 SHEET 3 OF 6

SOILS LEGEND			
SOIL	NAME	CLASS	KW
GbB	GLADSTONE LOAM	B	0.37
GnB	GLENNVILLE-DALE LOAM, 3 TO 6 PERCENT SLOPES	C	0.37

LEGEND	
SYMBOL	DESCRIPTION
--- 448 ---	EXISTING CONTOUR 2' INTERVAL
--- 450 ---	EXISTING CONTOUR 10' INTERVAL
--- 448 ---	PROPOSED CONTOUR 2' INTERVAL
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FISHER, COLLINS & CARTER, INC.
 CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
 CENTENNIAL SQUARE OFFICE PARK - 12077 BALTIMORE NATIONAL, FEE
 ELICOTT CITY, MARYLAND 21042
 (410) 481-2095



PROFESSIONAL CERTIFICATE

"I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT."

Prank John Manalansan II 4/30/18
 SIGNATURE OF LICENSED PROFESSIONAL PRANK JOHN MANALANSAN II DATE

BUILDER/DEVELOPER'S CERTIFICATE

"I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN, FOR SEDIMENT AND EROSION CONTROL AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT."

[Signature] 4/26/18
 SIGNATURE OF DEVELOPER DATE

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT
John L. Whitson 5/1/18
 HOWARD SOIL CONSERVATION DISTRICT DATE

OWNER/BUILDER

BEAZER HOMES, LLC
 8965 GUILFORD ROAD - SUITE 290
 COLUMBIA, MARYLAND 21046
 (765) 894-0182

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

[Signature] 6-12-18
 Chief, Division of Land Development Date
[Signature] 6-7-18
 Chief, Development Engineering Division Date
[Signature] 6-12-18
 Director - Department of Planning and Zoning Date

PROJECT	PHASE	PARCEL NO.
WESTMOUNT	1	149

PLAT	BLOCK NO.	ZONE	TAX/ZONE	ELEC. DIST.	CENSUS TR.
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SEDIMENT EROSION CONTROL PLAN

SINGLE FAMILY HOUSES
WESTMOUNT
 LOTS 7 THRU 11 AND 17 THRU 20
 PHASE 1

PREVIOUS HOWARD COUNTY FILES:
 F-11-098, ZB-1087M, WP-11-132, ECP-14-058, SP-14-008, WP-15-038, WP-16-081, WP-16-143, PB-408, THE DORA IS RECORDED IN LIBER 12722, FOLIO 248, SFP-16-009, SFP-16-018 & SFP-16-027

ZONED: R-ED
 TAX MAP NO.: 23 P/O PARCEL NO.: 149 GRID NO'S: 6 & 12
 SECOND ELECTION DISTRICT HOWARD COUNTY, MARYLAND
 SCALE: AS SHOWN DATE: MARCH, 2018

SOIL PREPARATION, TOPSOILING AND SOIL AMENDMENTS (B-4-2)

- A. SOIL PREPARATION
1. TEMPORARY STABILIZATION
a. SEEDING PREPARATION CONSISTS OF LOOSENING SOIL TO A DEPTH OF 3 TO 5 INCHES BY MEANS OF SUITABLE MECHANICAL OR CONSTRUCTION EQUIPMENT...

- B. TOPSOILING
1. SOILS CONTAINING LESS THAN 40 PERCENT CLAY BUT EXCEEDING FINE GRAINED MATERIAL (GREATER THAN 30 PERCENT SILT PLUS CLAY) TO PROVIDE THE CAPACITY TO HOLD A MODERATE AMOUNT OF HUMUS...

- C. SOIL AMENDMENTS (FERTILIZER & LIME SPECIFICATIONS)
1. SOIL TESTS MUST BE PERFORMED TO DETERMINE THE EXACT NUTRIENT AND APPLICATION RATES FOR BOTH LIME AND FERTILIZER ON SITES HAVING DISTURBED AREAS OF 5 ACRES OR MORE...

DUST CONTROL

- DEFINITION
CONTROLLING DUST BLOWING AND MOVEMENT ON CONSTRUCTION SITES AND ROADS.
PURPOSE
TO PREVENT BLOWING AND MOVEMENT OF DUST FROM EXPOSED SOIL SURFACES...

- STANDARD STABILIZATION NOTE
A mound or pile of soil protected by appropriately designed erosion and sediment control measures.
PURPOSE
To provide a designated location for the temporary storage of soil that controls the potential for erosion, sedimentation, and changes to drainage patterns.

- TEMPORARY SEEDING NOTES (B-4-4)
DEFINITION
TO STABILIZE DISTURBED SOILS WITH VEGETATION FOR UP TO 6 MONTHS.
PURPOSE
TO USE FAST GROWING VEGETATION THAT PROVIDES COVER ON DISTURBED SOILS.

Table with 4 columns: HARDINESS ZONE (FROM FIGURE B.3), SEED MIXTURE (FROM TABLE B.1), FERTILIZER RATE (10-20-20), LIME RATE. Rows include Barley, Oats, and Rye.

PERMANENT SEEDING NOTES (B-4-5)

- A. SEED MIXTURES
GENERAL USE
1. SELECT ONE OR MORE OF THE SPECIES OR MIXTURES LISTED IN TABLE B.1 FOR THE APPROPRIATE PLANT HARDINESS ZONE (FROM FIGURE B.3) AND BASED ON THE SITE CONDITIONS OR PARALLEL TO THE PLANT B.2...

Table with 4 columns: HARDINESS ZONE (FROM FIGURE B.3), SEED MIXTURE (FROM TABLE B.1), FERTILIZER RATE (10-20-20), LIME RATE. Rows include Barley, Oats, and Rye.

B. SOIL TO PROVIDE QUICK COVER ON DISTURBED AREAS (2:1 GRADE OR FLATTER).

- GENERAL SPECIFICATIONS
1. CLASS OF TURFGRASS SOD MUST BE A MARYLAND STATE CERTIFIED. SOD LABELS MUST BE MADE AVAILABLE TO THE JOB FOREMAN AND INSPECTOR.

STANDARD STABILIZATION NOTE

- DEFINITION
A mound or pile of soil protected by appropriately designed erosion and sediment control measures.

B-4-2 STANDARDS AND SPECIFICATIONS FOR STOCKPILE AREA

- DEFINITION
A mound or pile of soil protected by appropriately designed erosion and sediment control measures.
PURPOSE
To provide a designated location for the temporary storage of soil that controls the potential for erosion, sedimentation, and changes to drainage patterns.

B-4-3 STANDARDS AND SPECIFICATIONS FOR SEEDING & MULCHING

- DEFINITION
THE APPLICATION OF SEED AND MULCH TO ESTABLISH VEGETATIVE COVER.
PURPOSE
TO PROTECT DISTURBED SOIL FROM EROSION DURING AND AT THE END OF CONSTRUCTION.

- A. SEEDING
SPECIFICATIONS
1. ALL SEED MUST MEET THE REQUIREMENT OF THE MARYLAND STATE SEED LAW. ALL SEED MUST BE SUBJECT TO RE-TESTING BY A RECOGNIZED SEED LABORATORY...

- B. MULCHING
1. MULCH MATERIALS (IN ORDER OF PREFERENCE)
a. STRAW CONSISTING OF MECHANICALLY THRESHED WHEAT, RYE, OR BARLEY AND REASONABLY SHORT IN COLOR, STRAW IS TO BE FREED OF NOXIOUS WEED SEEDS...

HOWARD SOIL CONSERVATION DISTRICT (H5CD) STANDARD SEDIMENT CONTROL NOTES

- 1. A pre-construction meeting must occur with the Howard County Department of Public Works, Construction Inspection Division (CID), 410-313-1999 after the future L.O.D and protected areas are marked clearly in the field. A minimum of 48 hour notice to CID must be given at the following address...

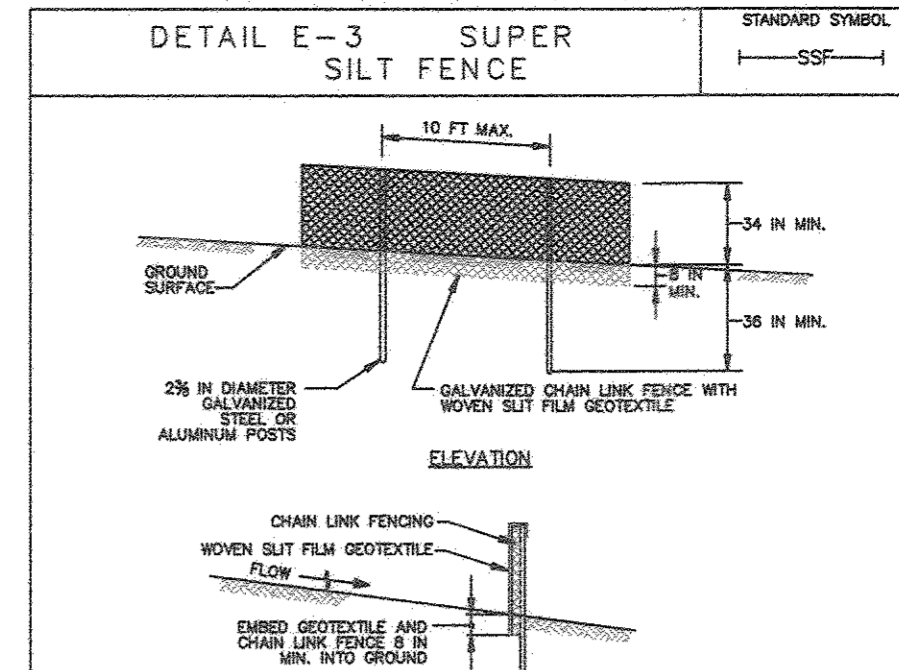


Table with 4 columns: HARDINESS ZONE (FROM FIGURE B.3), SEED MIXTURE (FROM TABLE B.1), FERTILIZER RATE (10-20-20), LIME RATE. Rows include Barley, Oats, and Rye.

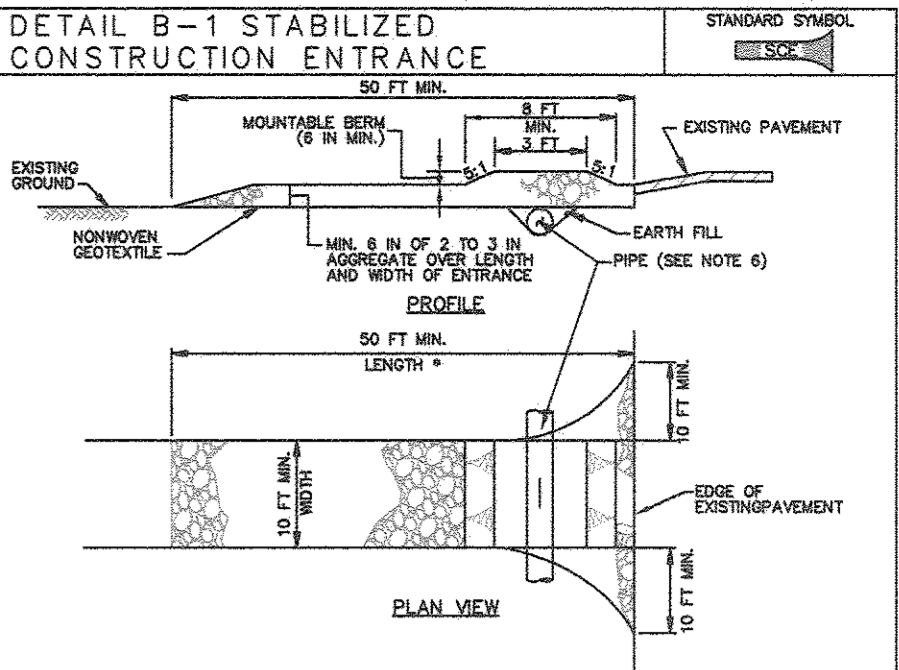


Table with 4 columns: HARDINESS ZONE (FROM FIGURE B.3), SEED MIXTURE (FROM TABLE B.1), FERTILIZER RATE (10-20-20), LIME RATE. Rows include Barley, Oats, and Rye.

- CONSTRUCTION SPECIFICATIONS
1. INSTALL 28 INCH DIAMETER GALVANIZED STEEL POSTS OF 0.625 INCH WALL THICKNESS AND SIX FOOT LENGTH SPACED NO FURTHER THAN 10 FEET APART...

- 5. Any sediment control practice which is disturbed by grading activity for placement of utilities must be repaired on the same day of disturbance.
6. Additional sediment control must be provided, if deemed necessary by the CID. The site and all controls shall be inspected by the contractor weekly...

- CONSTRUCTION SPECIFICATIONS
1. PLACE STABILIZED CONSTRUCTION ENTRANCE IN ACCORDANCE WITH THE APPROVED PLAN. VEHICLES SHALL TRAVEL OVER THE ENTIRE LENGTH OF THE SIZE. USE MINIMUM LENGTH OF 50 FEET OVER THE SINGLE RESIDENCE LOT...

SEQUENCE OF CONSTRUCTION

- 1. OBTAIN A GRADING PERMIT AND HOLD PRE-CONSTRUCTION MEETING WITH COUNTY INSPECTOR. (14 DAYS)
2. NOTIFY 'MUD' UTILITY AT LEAST 48 HOURS BEFORE BEGINNING ANY WORK AT 1-800-293-7777. (7 DAYS)

TABLE B.1 TEMPORARY SEEDING FOR SITE STABILIZATION

Table with 4 columns: PLANT SPECIES, SEEDING RATE (LB./AC. and LB./1000 FT.2), SEEDING DEPTH (INCHES), and RECOMMENDED SEEDING DATES BY PLANT HARDINESS ZONE (5b AND 6a, 6b, 7a AND 7b).

FISHER, COLLINS & CARTER, INC. CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS. Includes company logo and contact information.

PROFESSIONAL CERTIFICATE. Signed by Frank John Manlansan II, dated 4/30/18. Includes state seal of Maryland.

BUILDER/DEVELOPER'S CERTIFICATE. Signed by Brian Klauer, dated 4/26/18. Includes state seal of Maryland.

OWNER/BUILDER. Signed by Beazer Homes, LLC, dated 5/11/18. Includes company logo and contact information.

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING. Signed by David M. Taylor, dated 6-12-18.

SEDIMENT AND EROSION CONTROL NOTES AND DETAILS. Includes project information for Westmount, Lots 7 thru 11 and 17 thru 20.

CONSTRUCTION CRITERIA:

THE FOLLOWING ITEMS SHOULD BE ADDRESSED DURING CONSTRUCTION OF PROJECTS WITH DRY WELLS:

EROSION AND SEDIMENT CONTROL:
FINAL GRADING FOR PROPOSED DRY WELLS SHOULD NOT TAKE PLACE UNTIL THE SURROUNDING SITE IS COMPLETELY STABILIZED. IF THIS CANNOT BE ACCOMPLISHED, RUNOFF FROM DISTURBED AREAS SHALL BE DIVERTED.

SOIL COMPACTION:
EXCAVATION SHOULD BE CONDUCTED IN DRY CONDITIONS WITH EQUIPMENT LOCATED OUTSIDE OF THE PRACTICE TO MINIMIZE BOTTOM AND SIDEWALL COMPACTION. CONSTRUCTION OF A DRY WELL SHALL BE PERFORMED WITH LIGHTWEIGHT, WIDE-TRACKED EQUIPMENT TO MINIMIZE DISTURBANCE AND COMPACTION. EXCAVATED MATERIALS SHALL BE PLACED IN A CONTAINED AREA.

UNDERGROUND CHAMBER:
A SUBSURFACE PREFABRICATED CHAMBER MAY BE USED.

DRY WELL BOTTOM:
THE BOTTOM SHALL BE AS LEVEL AS POSSIBLE TO MINIMIZE POOLED WATER IN SMALL AREAS THAT MAY REDUCE OVERALL INFILTRATION AND LONGEVITY.

FILTER CLOTH:
FILTER CLOTH SHALL NOT BE INSTALLED ON THE BOTTOM OF THE WELL. NON-WOVEN FILTER CLOTH SHOULD BE USED TO LINE THE TOP AND SIDES OF THE DRY WELL TO PREVENT THE PORE SPACE BETWEEN THE STONES FROM BEING BLOCKED BY THE SURROUNDING NATIVE MATERIAL.

GRAVEL MEDIA:
THE AGGREGATE SHALL BE COMPOSED OF AN 18 TO 48-INCH LAYER OF CLEAN WASHED, OPEN GRADED MATERIAL WITH 40% POROSITY (E.G., ASTM D448 4, 5, OR 6 STONE OR EQUAL).

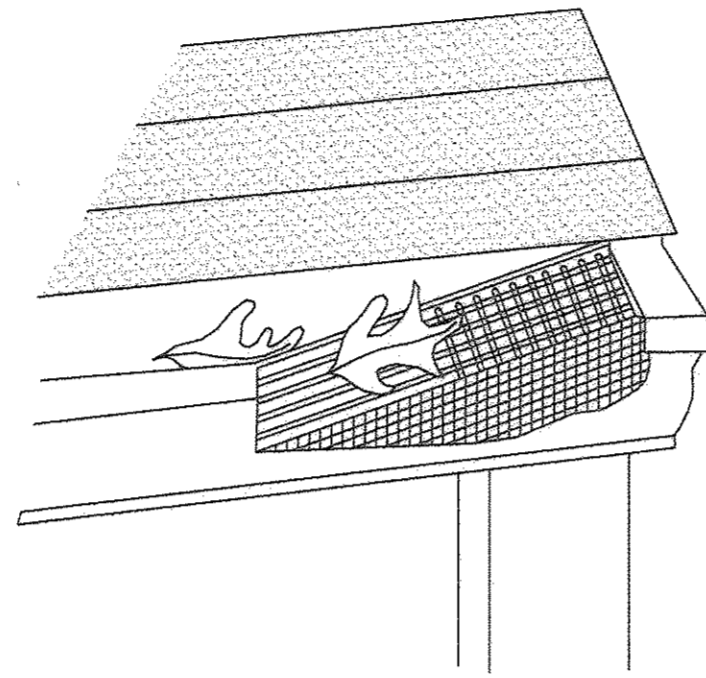
STORMWATER MANAGEMENT NOTES

1. STORMWATER MANAGEMENT IS PROVIDED IN ACCORDANCE WITH WITH CHAPTER 5, "ENVIRONMENTAL SITE DESIGN" OF THE 2007 MARYLAND STORMWATER MANAGEMENT DESIGN MANUAL, EFFECTIVE MAY 4, 2010.
2. MAXIMUM CONTRIBUTING ROOF TOP AREA TO EACH DOWNSPOUT SHALL BE 1,000 SQ. FT. OR LESS.
3. DRYWELLS SHALL BE PROVIDED AT LOCATIONS WHERE THE LENGTH OF DISCONNECTION IS LESS THAN 75' AT 5% THE SIZE AND CONSTRUCTION OF THE DRYWELL SHALL BE IN ACCORDANCE WITH THE DETAIL SHOWN ON THIS SHEET.
4. FINAL GRADING IS SHOWN ON THIS SITE DEVELOPMENT PLAN.

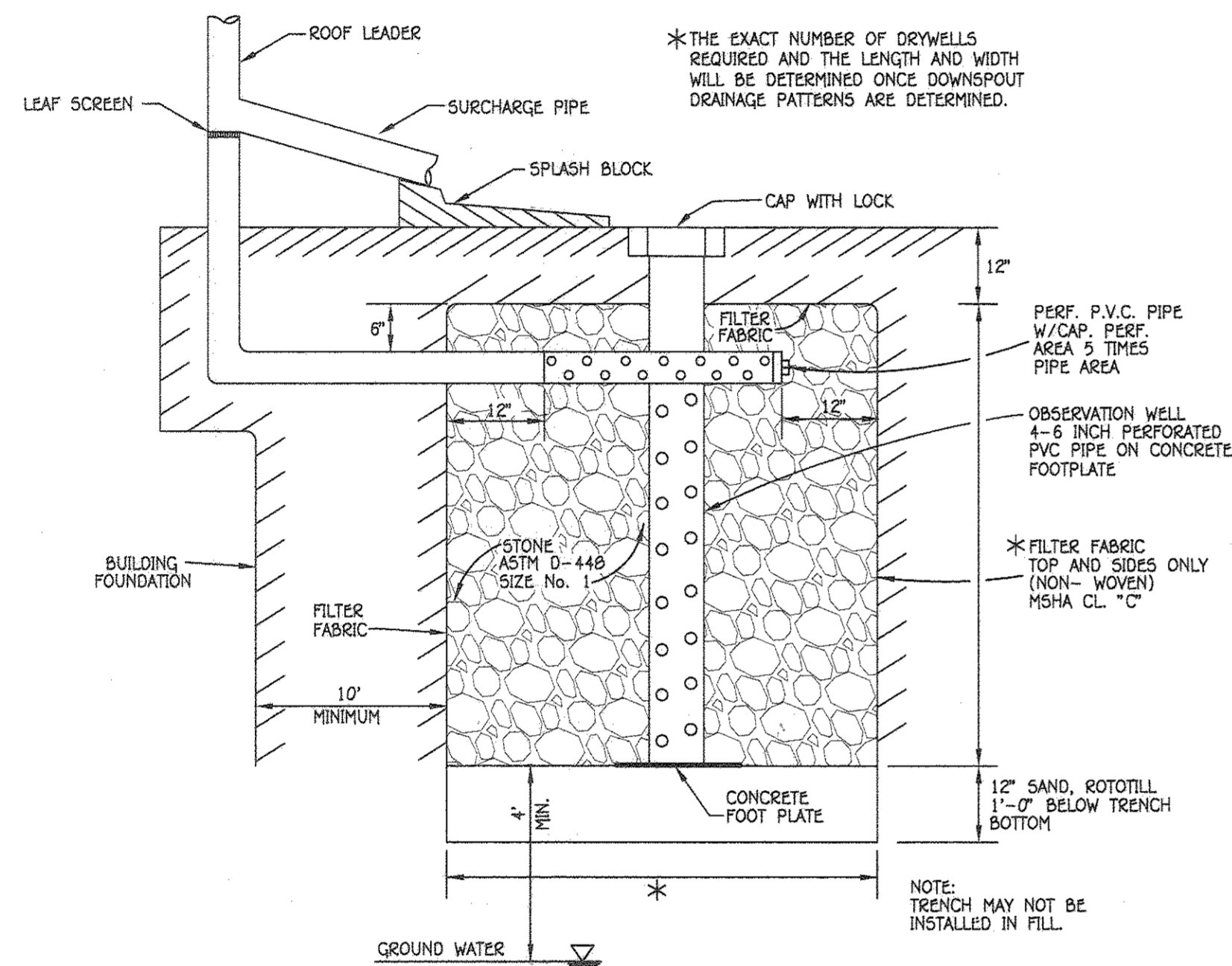
DRY WELL CHART										
ADDRESS	LOT NO.	DRYWELL NUMBER	NO. OF DOWNSPOUTS	AREA OF ROOF	VOLUME REQUIRED	VOLUME PROVIDED	AREA OF STORAGE	AREA OF TREATMENT	NO. OF DRYWELLS	DIMENSIONS OF DRYWELLS
3355 BURTON DRIVE	7	M-5 (7A)	2	957 SqFt	136 CuFt	140 CuFt	100%	100%	1	10' X 7' X 5'
	7	M-5 (7B)	2	984 SqFt	140 CuFt	144 CuFt	100%	100%	1	9' X 8' X 5'
	7	M-5 (7C)	1	793 SqFt	113 CuFt	120 CuFt	100%	100%	1	10' X 6' X 5'
3359 BURTON DRIVE	8	M-5 (8A)	2	770 SqFt	110 CuFt	110 CuFt	100%	100%	1	11' X 5' X 5'
	8	M-5 (8B)	2	800 SqFt	125 CuFt	126 CuFt	100%	100%	1	9' X 7' X 5'
3343 BURTON DRIVE	9	M-5 (9A)	1	550 SqFt	79 CuFt	80 CuFt	100%	100%	1	8' X 5' X 5'
	9	M-5 (9B)	1	550 SqFt	79 CuFt	80 CuFt	100%	100%	1	8' X 5' X 5'
	9	M-5 (9C)	1	550 SqFt	79 CuFt	80 CuFt	100%	100%	1	8' X 5' X 5'
3349 BURTON DRIVE	10	M-5 (10A)	2	984 SqFt	140 CuFt	144 CuFt	100%	100%	1	9' X 8' X 5'
	10	M-5 (10B)	1	793 SqFt	113 CuFt	120 CuFt	100%	100%	1	10' X 6' X 5'
3353 BURTON DRIVE	11	M-5 (11A)	2	957 SqFt	136 CuFt	140 CuFt	100%	100%	1	10' X 7' X 5'
	11	M-5 (11B)	2	984 SqFt	140 CuFt	144 CuFt	100%	100%	1	9' X 8' X 5'
	11	M-5 (11C)	1	793 SqFt	113 CuFt	120 CuFt	100%	100%	1	10' X 6' X 5'
3358 BURTON DRIVE	17	M-5 (17A)	2	770 SqFt	110 CuFt	110 CuFt	100%	100%	1	11' X 5' X 5'
	17	M-5 (17B)	2	800 SqFt	125 CuFt	126 CuFt	100%	100%	1	9' X 7' X 5'
	17	M-5 (17C)	1	550 SqFt	79 CuFt	80 CuFt	100%	100%	1	8' X 5' X 5'
3392 BURTON DRIVE	18	M-5 (18A)	1	550 SqFt	79 CuFt	80 CuFt	100%	100%	1	8' X 5' X 5'
	18	M-5 (18B)	1	550 SqFt	79 CuFt	80 CuFt	100%	100%	1	8' X 5' X 5'
3348 BURTON DRIVE	19	M-5 (19A)	1	574 SqFt	82 CuFt	84 CuFt	100%	100%	1	7' X 6' X 5'
	19	M-5 (19B)	1	793 SqFt	113 CuFt	120 CuFt	100%	100%	1	10' X 6' X 5'
3344 BURTON DRIVE	20	M-5 (20A)	1	574 SqFt	82 CuFt	84 CuFt	100%	100%	1	7' X 6' X 5'
	20	M-5 (20B)	1	793 SqFt	113 CuFt	120 CuFt	100%	100%	1	10' X 6' X 5'

OPERATION & MAINTENANCE SCHEDULE FOR PRIVATELY OWNED AND MAINTAINED DRY WELLS (M-5)

- A. THE OWNER SHALL INSPECT THE MONITORING WELLS AND STRUCTURES ON A QUARTERLY BASIS AND AFTER EVERY HEAVY STORM EVENT.
- B. THE OWNER SHALL RECORD THE WATER LEVELS AND SEDIMENT BUILD UP IN THE MONITORING WELLS OVER A PERIOD OF SEVERAL DAYS TO ENSURE TRENCH DRAINAGE.
- C. THE OWNER SHALL MAINTAIN A LOG BOOK TO DETERMINE THE RATE AT WHICH THE FACILITY DRAINS.
- D. WHEN THE FACILITY BECOMES CLOGGED SO THAT IT DOES NOT DRAIN DOWN WITHIN A SEVENTY-TWO (72) HOUR TIME PERIOD, CORRECTIVE ACTION SHALL BE TAKEN.
- E. THE MAINTENANCE LOG BOOK SHALL BE AVAILABLE TO HOWARD COUNTY FOR INSPECTION TO INSURE COMPLIANCE WITH OPERATION AND MAINTENANCE CRITERIA.



GUTTER DRAIN FILTER DETAIL
NOT TO SCALE



DRY WELL DETAIL
NOT TO SCALE

WP-15-038

ON OCTOBER 30, 2014 WP 15-038 WAS GRANTED FOR THE FOLLOWING:
 • TO ALLOW FOR THE REMOVAL OF VEGETATIVE COVER AND TREES FROM ENVIRONMENTAL AREAS (A WAIVER FROM SECTION 16.116(C) AND TO ALLOW FOR THE REMOVAL OF SPECIMEN TREES(A WAIVER FROM SECTION 16.1205(a)(7)).
 • A WAIVER FROM SECTION 16.121(e) WHICH REQUIRES 40' OF FRONTAGE ON A PUBLIC ROAD FOR AT LEAST ONE ACCESS TO AN OPEN SPACE LOT, WITH 20' BEING PERMISSIBLE FOR ANY ADDITIONAL ACCESS.
 • A WAIVER FROM SECTION 16.119(e)(5) WHICH REQUIRES PUBLIC RIGHT-OF-WAY LINES ON CORNER LOTS AT INTERSECTIONS SHALL BE TRUNCATED BY STRAIGHT LINES JOINING POINTS 25' BACK FROM THE THEORETICAL PROPERTY LINE INTERSECTION IN EACH QUADRANT

THE APPROVAL IS SUBJECT TO THE FOLLOWING CONDITIONS:
 1. COMPLIANCE WITH ALL SUBDIVISION REVIEW COMMITTEE COMMENTS FOR SP-14-008.

2. THE WAIVER PETITION NUMBER (WP-15-038) AND ITS CONDITIONS OF APPROVAL MUST BE ADDED TO SP-14-008 AND ALL FUTURE SUBDIVISION PLANS.
3. AS MITIGATION FOR THE REQUESTED REMOVAL OF FIFTY-SEVEN (57) SPECIMEN TREES LOCATED WITHIN THE SITE, THE DEVELOPER IS REQUIRED TO USE 2" CALIBER PLANT MATERIALS FOR THE REQUIRED PLANTINGS WITHIN THE PROPOSED REFORESTATION PLANTING AREAS AT A MINIMUM PLANTED ADJACENT TO ALL RESIDENTIAL LOTS THROUGHOUT THE SUBDIVISION. A FINAL DETERMINATION OF THE PLANT MATERIAL SIZE AND TOTAL NUMBER OF PLANTS WILL BE REVIEWED AND FINALIZED AT THE FINAL PLAN. IF DESIGN CHANGES ARE MADE AT FINAL PLAN STAGE AND THE REFORESTATION PLANTING AREAS ARE REDUCED OR ELIMINATED, THEN THE DEVELOPER SHALL PLANT AN EQUIVALENT NUMBER OF SHADE TREES WITHIN THE RESIDENTIAL AND OPEN SPACE LOTS AND ADJACENT TO PRIORITY RETENTION AREAS. THOSE FIFTY-SEVEN (57) SHADE TREES (OR EQUIVALENT) WILL BE IN ADDITION TO AND AN ENHANCEMENT OF ANY REQUIRED LANDSCAPING AND SHALL BE BONDED.
4. A WAIVER TO SECTION 16.119(c) IS NOT REQUIRED FOR THE THREE (3) STREAM CROSSINGS, THE PUBLIC UTILITY LINE EXTENSIONS AND FOR THE PATHWAY THROUGH OPEN SPACE WHICH WERE DETERMINED ESSENTIAL FOR ESSENTIAL ROAD CROSSINGS, UTILITY LINE CONNECTIONS AND PEDESTRIAN CONNECTIONS IN ACCORDANCE WITH SECTION 16.116(c) OF THE REGULATIONS.
5. THE REDUCTION OF THE MINIMUM OPEN SPACE FRONTAGE REQUIREMENTS IS ONLY FOR THOSE OPEN SPACE LOTS DEPICTED ON THE SUBMITTED WAIVER EXHIBIT WHICH PROVIDES ACCESS TO STORMWATER MANAGEMENT FACILITIES.

WP-16-081

ON JANUARY 6, 2016 WP 16-081 WAS GRANTED FOR THE FOLLOWING:
 • A WAIVER FROM SECTION 16.1202(A) REQUIRING THE SUBMISSION OF A FOREST CONSERVATION PLAN FOR THE ENTIRE GROSS AREA IS PART OF THE SUBDIVISION PLAN PROCESS.
 • A WAIVER FROM SECTION 16.147(C) REQUIRING A PLAN TO BE SUBMITTED AT A SCALE OF 1 INCH EQUALS 100 FEET, 1 INCH EQUALS 50 FEET OR 1 INCH EQUALS 30 FEET.

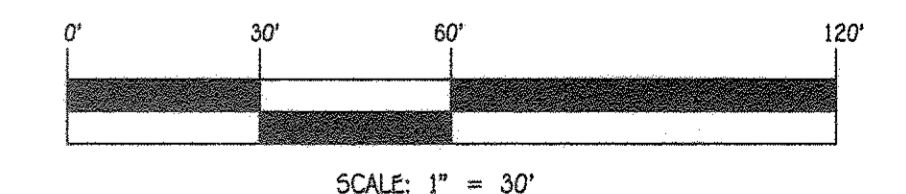
APPROVAL IS SUBJECT TO THE FOLLOWING CONDITIONS:
 1. THE APPLICANT MUST CONTINUE PROCESSING THE FINAL SUBDIVISION PLANS FOR ALL PHASES AND MEET ALL REQUIRED PROCESSING DEADLINE DATES IN ACCORDANCE WITH THE APPROVED APFO PHASING SCHEDULE FOR WESTMOUNT.

2. THIS APPROVAL OF THE FOREST CONSERVATION OBLIGATION REQUIREMENT IS ONLY AN ALLOWANCE TO TEMPORARILY DEFER THE RECORDATION OF FOREST CONSERVATION EASEMENTS AS A PHASED PROJECT. THE TOTAL FOREST CONSERVATION OBLIGATION REQUIREMENT FOR THE ENTIRE PROJECT SHALL BE ESTABLISHED AND RECORDED WITH THE LAST PHASE. THE FOREST CONSERVATION PLAN SUBMITTED WITH EACH OF THE 4 PHASES OF THIS PROJECT SHALL ESTABLISH AND RECORD THE MINIMUM FOREST CONSERVATION EASEMENT AREA FOR EACH PHASE.
3. COMPLIANCE WITH ALL SUBDIVISION REVIEW COMMITTEE COMMENTS FOR F-15-087, F-16-046 AND F-16-061.
4. THE WAIVER PETITION NUMBER (WP-16-081) AND ITS CONDITIONS OF APPROVAL MUST BE ADDED TO ALL FUTURE SUBDIVISION PLATS AND SITE DEVELOPMENT PLANS.

WP-16-143

ON JUNE 20, 2016 WP 16-143 WAS GRANTED FOR THE FOLLOWING:
 • A WAIVER FROM SECTION 16.144(n)(1) REQUIRING THE SUBMISSION OF ADDITIONAL INFORMATION WITHIN 45 DAYS OF REQUEST.

APPROVAL IS SUBJECT TO THE FOLLOWING CONDITIONS:
 1. COMPLIANCE WITH ALL SUBDIVISION REVIEW COMMITTEE COMMENTS FOR F-15-087, F-16-046, AND F-16-061.
 2. THE REVISED PLAN FOR F-15-087 MUST BE RE-SUBMITTED ON OR BEFORE AUGUST 20, 2016.
 3. THE WAIVER PETITION NUMBER (WP-16-041) AND ITS CONDITIONS OF APPROVAL MUST BE ADDED TO ALL FUTURE SUBDIVISION PLATS AND SITE DEVELOPMENT PLANS.



SCALE: 1" = 30'

FISHER, COLLINS & CARTER, INC.
 CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
 CENTENNIAL SQUARE OFFICE PARK - 10272 BALTIMORE NATIONAL PIKE
 ELICOTT CITY, MARYLAND 21042
 (410) 461-2895



PROFESSIONAL CERTIFICATION

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND THAT I AM A DULY LICENSED PROFESSIONAL LAND SURVEYOR UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 21476, EXPIRATION DATE: 7/14/19.

Paul M. Randolph II
 NAME DATE 7/30/18

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

Kurt L. O'Neil 6-12-18
 Chief, Division of Land Development Date
W. J. ... 6-7-18
 Chief, Development Engineering Division Date
Valerie ... 6-12-18
 Director - Department of Planning and Zoning Date

PROJECT: WESTMOUNT PHASE: 1 PARCEL NO.: 149

PLAT	BLOCK NO.	ZONE	TAX/ZONE	ELEC. DIST.	CENSUS TR.
24123-24141	6 & 12	R-ED	23	2	602A.03

PREVIOUS HOWARD COUNTY FILES:
 F-11-058, ZB-1087M, WP-11-132, ECP-14-058, SP-14-008, WP-15-038, WP-16-081, WP-16-143, PB408, THE DRA IS RECORDED IN LIBER 12722, FOLIO 248, SDP-18-009, SDP-18-018 & SDP-18-027

OWNER/BUILDER
 BEAZER HOMES, LLC
 8965 QUILFORD ROAD - SUITE 290
 COLUMBIA, MARYLAND 21046
 (765) 894-0182

STORMWATER MANAGEMENT NOTES & DETAILS

SINGLE FAMILY HOUSES
WESTMOUNT
 LOTS 7 THRU 11 AND 17 THRU 20

PHASE 1
 PREVIOUS HOWARD COUNTY FILES:
 F-11-058, ZB-1087M, WP-11-132, ECP-14-058, SP-14-008, WP-15-038, WP-16-081, WP-16-143, PB408, THE DRA IS RECORDED IN LIBER 12722, FOLIO 248, SDP-18-009, SDP-18-018 & SDP-18-027

ZONED: R-ED
 TAX MAP NO.: 23 P/O PARCEL NO.: 149 GRID NO'S.: 6 & 12
 SECOND ELECTION DISTRICT HOWARD COUNTY, MARYLAND
 SCALE: AS SHOWN DATE: MARCH, 2018

SHEET 6 OF 6 SDP-18-039