	SHEET INDEX	
SHEET NO.	DESCRIPTION	
1	TITLE SHEET	
2	GENERIC BOXES & HOUSE TYPES	
3&4	SITE DEVELOPMENT/LANDSCAPE PLAN	
5	SEDIMENT AND EROSION CONTROL NOTES AND DETAILS	
6&7	SEDIMENT EROSION CONTROL PLAN	
8	STORMWATER MANAGEMENT/LANDSCAPE NOTES & DETAILS	

# SITE DEVELOPMENT PLAN WIESTIMOUNT

PHASE 1

LOTS 3 THRU 6, 21 THRU 26, 28 THRU 32, 36 & 37

ZONED: R-ED (RESIDENTIAL ENVIRONMENTAL DEVELOPMENT) TAX MAP No. 23 P/O PARCEL NO. 149 GRID No's. 6 & 12 HOWARD COUNTY, MARYLAND

# MD. RTE. 40 & CEMETERY LANE

VICINITY MAP

5CALE: 1" = 2000"HO. CO. ADC MAP 11, GRID 0-7, 0-8 & E-7, E-8

# GENERAL NOTES

T.P. 161A ELEV. 462.986 N. 589,509.368 E. 1.346.343.632

LOC. NEAR INTERSECTION OF

T.P. 23CA ELEV. 402.187

LOC. NEAR 1-95 BRIDGE

LOC. NEAR INTERSECTION OF

N. 558,035,645 E. 1.348,385,607

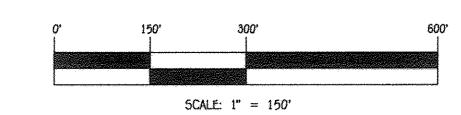
- 1. SUBJECT PROPERTY ZONED R-ED PER THE 10/06/13 COMPREHENSIVE ZONING PLAN. 2. THE CONTRACTOR SHALL NOTIFY THE CONSTRUCTION INSPECTION DIVISION AT (410)313-1880 AT
- LEAST (5) FIVE WORKING DAYS PRIOR TO THE START OF WORK. 3. THE CONTRACTOR SHALL NOTIFY "MISS UTILITY" AT 1-800-257-7777 AT LEAST 48 HOURS
- 4. THIS PROJECT IS SUBJECT TO HOWARD COUNTY FILES: F-07-124, F-11-050, ZB-1087M WP-11-132, ECP-14-050; SP-14-000, WP-15-030, WP-16-001, WP-16-143, F-15-087,

PLAT TITLED "WESTMOUNT PHASE 1" AND RECORDED AS 24123 - 24130 AMONG THE LAND

- PB400, THE DRRA IS RECORDED IN LIBER 12722, FOLIO 240. 5DP-10-009, & 5DP-10-010. 5. THIS PLAN IS BASED ON A FIELD RUN MONUMENTED BOUNDARY SURVEY PERFORMED ON OR ABOUT SEPTEMBER, 2001 BY FISHER, COLLINS & CARTER INC. AND SUPPLEMENTED WITH THE
- RECORDS OF HOWARD COUNTY. 6. TOPOGRAPHY SHOWN IS BASED ON FINAL ROAD CONSTRUCTION, GRADING AND STORMWATER
- MANAGEMENT PLANS F-15-087. 7. HORIZONTAL AND VERTICAL CONTROL DATUM IS BASED ON NAD B3, MARYLAND COORDINATE SYSTEM AS PROJECTED BY HOWARD COUNTY GEODETIC CONTROL STATIONS.
- HOWARD COUNTY MONUMENT 161A N 589,509.368 E 1,346,343.632 HOWARD COUNTY MONUMENT 23CA N 558,035.645 E 1,348,385.607 8. ANY DAMAGE TO THE COUNTY'S RIGHT-OF-WAY SHALL BE CORRECTED AT THE DEVELOPER'S
- 9. THIS PLAN IS FOR HOUSE SITING AND GRADING ONLY. IMPROVEMENTS SHOWN WITHIN THE RIGHTS-OF-WAY OF THIS S.D.P. ARE NOT USED FOR CONSTRUCTION. FOR CONSTRUCTION SEE APPROVED ROAD CONSTRUCTION PLANS F-15-087. FOR APPROVED WATER AND SEWER CONTRACT
- 10. CONTRACTOR WILL CHECK SEWER HOUSE CONNECTION ELEVATION AT EASEMENT LINE PRIOR TO
- 11. LANDSCAPING OBLIGATIONS FOR THE OVERALL WESTMOUNT PROJECT HAVE BEEN PROVIDED UNDER F-15-007. FINANCIAL SURETY FOR THE REQUIRED 2 SHADE TREES, AND 2 EVERGREEN TREES FOR THIS PLAN SHALL BE POSTED AS PART OF THE GRADING PERMIT IN THE AMOUNT OF
- 12. FOREST CONSERVATION REQUIREMENTS HAVE BEEN ADDRESSED WITH F-15-087. 13. FOR DRIVEWAY ENTRANCE DETAILS REFER TO HO, CODES MANUAL VOL. IV DETAIL R.6.01.
- 14. OPEN SPACE REQUIREMENTS FOR THESE LOTS HAVE BEEN PROVIDED UNDER F-15-087.
- REGULATIONS AND THE ZONING REGULATIONS AS AMENDED BY COUNCIL BILL 50-2001 16. IN ACCORDANCE WITH SECTION 128.0 OF THE HOWARD COUNTY ZONING REGULATIONS, BAY WINDOWS, CHIMNEYS OR EXTERIOR STAIRWAYS NOT MORE THAN 16' FEET IN WIDTH MAY PROJECT NOT MORE THAN 4 FEET INTO ANY SETBACKS, PORCHES OR DECKS OPEN OR ENCLOSED MAY
- MINIMUM DISTANCE BETWEEN STRUCTURES DOES NOT APPLY TO THOSE REFERENCED FEATURES NOR BETWEEN OPEN DECKS AND A DWELLING STRUCTURE OR ANOTHER DECK. AS AN ADVISORY, THE 15' DISTANCE DOES APPLY TO THE SECOND STORY OVERHANG. . STORMWATER MANAGEMENT WILL BE PROVIDED BY 51 DRY WELLS (M-5) TO BE
- MAINTAINED BY THE LOT OWNER WHERE THAT PARTICULAR DRY WELL IS LOCATED. THIS SITE DEVELOPMENT IS ALSO SUPPORTED BY BIO-RETENTION PROVIDED BY F-15-067.
- 16. THE PROJECT IS NOT SUBJECT TO THE PROVISIONS OF MODERATE INCOME HOUSING UNITS (MIHU) BASED ON THE DEVELOPER'S RIGHTS AND RESPONSIBILITIES AGREEMENT (DRRA) RECORDED AT LIBER 12722 FOLIO 248 ON 9/17/2010.
- 19. DRIVEWAYS SHALL BE PROVIDED PRIOR TO ISSUANCE OF A USE AND OCCUPANCY PERMIT FOR ANY NEW DWELLINGS TO INSURE SAFE ACCESS FOR FIRE AND EMERGENCY VEHICLES PER THE FOLLOWING (MINIMUM) REQUIREMENTS:
  - A.) WIDTH 12' (16' IF SERVING MORE THAN ONE RESIDENCE) B.) SURFACE - 6" OF COMPACTED CRUSHER RUN BASE W/TAR AND CHIP COATING
  - C.) GEOMETRY MAXIMUM 15% GRADE, MAXIMUM 10% GRADE CHANGE AND 45 FOOT
  - TURNING RADIUS. D.) STRUCTURES - (BRIDGES/CULVERTS) CAPABLE OF SUPPORTING 25 GROSS TONS
  - (H25-LOADING) E.) DRAINAGE ELEMENTS CAPABLE OF SAFETY PASSING 100 YEAR FLOOD WITH NO
  - MORE THAN I FOOT DEPTH OVER DRIVEWAY SURFACE.

5/13/12."

- F.) STRUCTURE CLEARANCES MINIMUM 12 FEET G.) MAINTENANCE SUFFICIENT TO INSURE ALL WEATHER USE. 20. NO GRADING, REMOVAL OF VEGETATIVE COVER OR TREES, PAVING AND NEW STRUCTURES SHALL
- BE PERMITTED WITHIN THE LIMITS OF WETLANDS, STREAM(5), OR THEIR REQUIRED BUFFERS, FLOODPLAIN AND FOREST CONSERVATION EASEMENT AREAS.
- 21. FLAG AND PIPESTEM LOTS, REFUSE COLLECTION, SNOW REMOVAL AND ROAD MAINTENANCE ARE PROVIDED TO THE JUNCTION OF THE FLAG OR PIPESTEM AND ROAD RIGHT-OF-WAY LINE AND NOT ONTO THE PIPESTEM LOT DRIVEWAY.
- 22. THE 650BA NOISE LINE ESTABLISHED BY HOWARD COUNTY TO ALERT DEVELOPERS, BUILDERS AND FUTURE RESIDENTS THAT AREAS BEYOND THIS THRESHOLD MAY EXCEED GENERALLY ACCEPTED NOISE LEVELS ESTABLISHED BY THE U.S. DEPARTMENT OF HOUSING AND URBAN DEVELOPMENT.
- 23. SUBJECT PROPERTY ZONED R-ED AND IS SUBJECT TO COUNCIL BILL NO. 2, "SECTION 128.0.A.1.j. OF THE ZONING REGULATIONS (CB-2-2012) WHICH ALLOWS SUNROOMS AND ROOM EXTENSIONS NOT MORE THAN 10 FEET INTO THE REAR SETBACK ALONG NOT MORE THAN 60% OF THE REAR FACE OF THE DWELLING ON A LOT WHICH ADJOINS OPEN SPACE ALONG A MAJORITY OF THE REAR LOT LINE FOR R-ED LOTS RECORDED AFTER THE EFFECTIVE DATE OF
- 24. THIS DEVELOPMENT SHALL BE IN ACCORDANCE WITH ALL REQUIREMENTS ESTABLISHED AS PART OF THE "DEVELOPER'S RIGHTS AND RESPONSIBILITIES AGREEMENT" (DRRA) BETWEEN HOWARD COUNTY AND THE CARROLLS. PER THE DRRA, THE DEVELOPER AND DPW HAVE AGREED THAT A PER LOT FEE IN THE AMOUNT OF \$3,000 WILL BE PAID AT BUILDING PERMIT STAGE FOR SEWAGE NUTRIENT REDUCTION.
- 25. THIS PLAN IS SUBJECT TO ALTERNATIVE COMPLIANCE REQUESTS WP-15-038, WP-16-001 AND WP-16-143. SEE SHEET 8 FOR DETAILS OF ALTERNATIVE COMPLIANCE APPROVALS AND



# SITE ANALYSIS DATA

- L. TOTAL AREA OF SITE = 3.29 AC.  $\pm$
- TOTAL AREA OF THIS SUBMISSION = 3.29 AC. + LIMIT OF DISTURBED AREA = 3.29 AC. +
- PRESENT ZONING DESIGNATION = R-ED
- PROPOSED USE: SINGLE FAMILY DETACHED
- FLOOR SPACE ON EACH LEVEL OF BUILDING: N/A G. TOTAL NUMBER OF UNITS: 17 UNITS
- H. TOTAL NUMBER OF PARKING SPACES REQUIRED = 43 SPACES
- I. TOTAL NUMBER OF PARKING SPACES PROVIDED = 68 SPACES
- OPEN SPACE ON SITE: N/A
- BUILDING COVERAGE OF SITE: 30%
- PREVIOUS HOWARD COUNTY FILES: F-07-124, F-11-058, ZB-1087M, WP-11-132, ECP-14-058, SP-14-008, WP-15-038,
- WP-16-001, WP-16-143, PB400, THE DRRA IS RECORDED IN LIBER 12722, FOLIO 240, 50P-18-009, & 50P-18-018
- M. TOTAL AREA OF FLOODPLAIN: 0.00 AC. ± N. TOTAL AREA OF SLOPES IN EXCESS OF 25% = 0.000 AC.+
- ). AREA OF WETLANDS = 0.00 AC.\*
- P. AREA OF FOREST = 0.00 AC. + Q. IMPERVIOUS AREA = 37% AC.±

ON LOT STORMWATER

MANAGEMENT PRACTICES

318 BURTON DRIVE 0605 WARBURTON COURT 10629 WARBURTON COURT Y(3) 0633 WARBURTON COURT Y(3) 0637 WARBURTON COURT 10630 WARBURTON COURT Y(3)

10626 WARBURTON COURT Y(3)

LEGEND					
SYMBOL	DESCRIPTION				
448	EXISTING CONTOUR 2' INTERVAL				
450	EXISTING CONTOUR 10' INTERVAL				
440	PROPOSED CONTOUR 2' INTERVAL				
<b>—450—</b>	PROPOSED CONTOUR 10' INTERVAL				
×444.5	×444.5 SPOT ELEVATION				
DRYWELL (M-5)-TYPICAL					
ngaragan di Mandan pina	LIMIT OF DISTURBANCE.				
\$5F	SUPER SILT FENCE				
	FLOOD PLAIN				
	STREAM BUFFER				
	STREET TREES PER F-15-087				
	PERIMETER LANDSCAPE TREES PER F-15-007				
	EXISTING BIO RETENTION FACILITY (F-6) OR (M-6) AS NOTED				

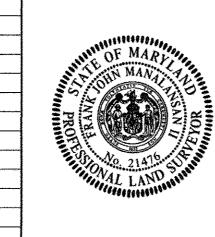
FISHER, COLLINS & CARTER, INC.

MIL ENGINEERING CONSULTANTS & LAND SURVEYORS

FILICOTT CITY, MARYLAND 21042

ADD	RESS CHART
LOT NUMBER	STREET ADDRESS
3	3307 BURTON DRIVE
4	3311 BURTON DRIVE
5	3315 BURTON DRIVE
6	3319 BURTON DRIVE
21	3340 BURTON DRIVE
22	3336 BURTON DRIVE
23	3332 BURTON DRIVE
24	3320 BURTON DRIVE
25	3324 BURTON DRIVE
26	3310 BURTON DRIVE
28	10605 WARBURTON COURT
29	10621 WARBURTON COURT
30	10629 WARBURTON COURT
31	10633 WARBURTON COURT
32	10637 WARBURTON COURT
36	10630 WARBURTON COURT
a	LACAR LUIGELISTAN CALLOT

ADD	RESS CHART
LOT NUMBER	STREET ADDRESS
3	3307 BURTON DRIVE
4	3311 BURTON DRIVE
5	3315 BURTON DRIVE
6	3319 BURTON DRIVE
21	3340 BURTON DRIVE
22	3336 BURTON DRIVE
23	3332 BURTON DRIVE
24	3320 BURTON DRIVE
25	3324 BURTON DRIVE
26	3310 BURTON DRIVE
28	10605 WARBURTON COURT
29	10621 WARBURTON COURT
30	10629 WARBURTON COURT
31	10633 WARBURTON COURT
32	10637 WARBURTON COURT
36	10630 WARBURTON COURT
37	10626 WARBURTON COURT



DATE

# PROFESSIONAL CERTIFICATION

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND THAT I AM A DULY LICENSED PROFESSIONAL LAND SURVEYOR UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 21476, EXPIRATION DATE: 7/14/19.

PROPERTY OF

PHILIP D. CARROLL & CAMILLA CARROLL

			×11.			
	APPROVED:	HOWARD COU	NTY DEPARTM	ENT OF PLAN	NING AND ZO	NING
	chief, Divis	sion of Land (	Pevelopment &		de referencia de Missouri en resperanta en seperanta en seperanta en seperanta en seperanta en seperanta en se	3(15/18 Odje
	Chief Devi	elopment Engir	neering Divisio	Au	·	3.13.18 Dațe 3-16-18
	Director -	Department	of Planning ar	nd Zoning		Dațe
	PROJECT			PHASE	1	PARCEL NO.
· · · · · · · · · · · · · · · · · · ·	WESTMOUNT			erranii eerranii	1	149
OWNER/BUILDER	PLAT	BLOCK NO.	ZONE	TAX/ZONE	ELEC. DIST	. CENSUS TR.
BEAZER HOMES, LLC 8965 GUILFORD ROAD - SUITE 290	24127	6 & 12	R-ED	23	2	605102
COLUMBIA, MARYLAND 21046 (765) 894-0182	1	OWARD COUNT		FCP_14_058 S	P_14_000 WP.	-15-038, WP-16-081,
(142) 47 444	WP-16-143, PE	1-070, 20-10071 1408, THE DRRA 1	5 RECORDED IN	LIBER 12722, FO	)LIO 240, 50P-	10-009 & SDP-10-016

KIWANIS CLUB OF ELLICOTT CITY, INC.

LOT 24

TITLE SHEET

SINGLE FAMILY HOUSES

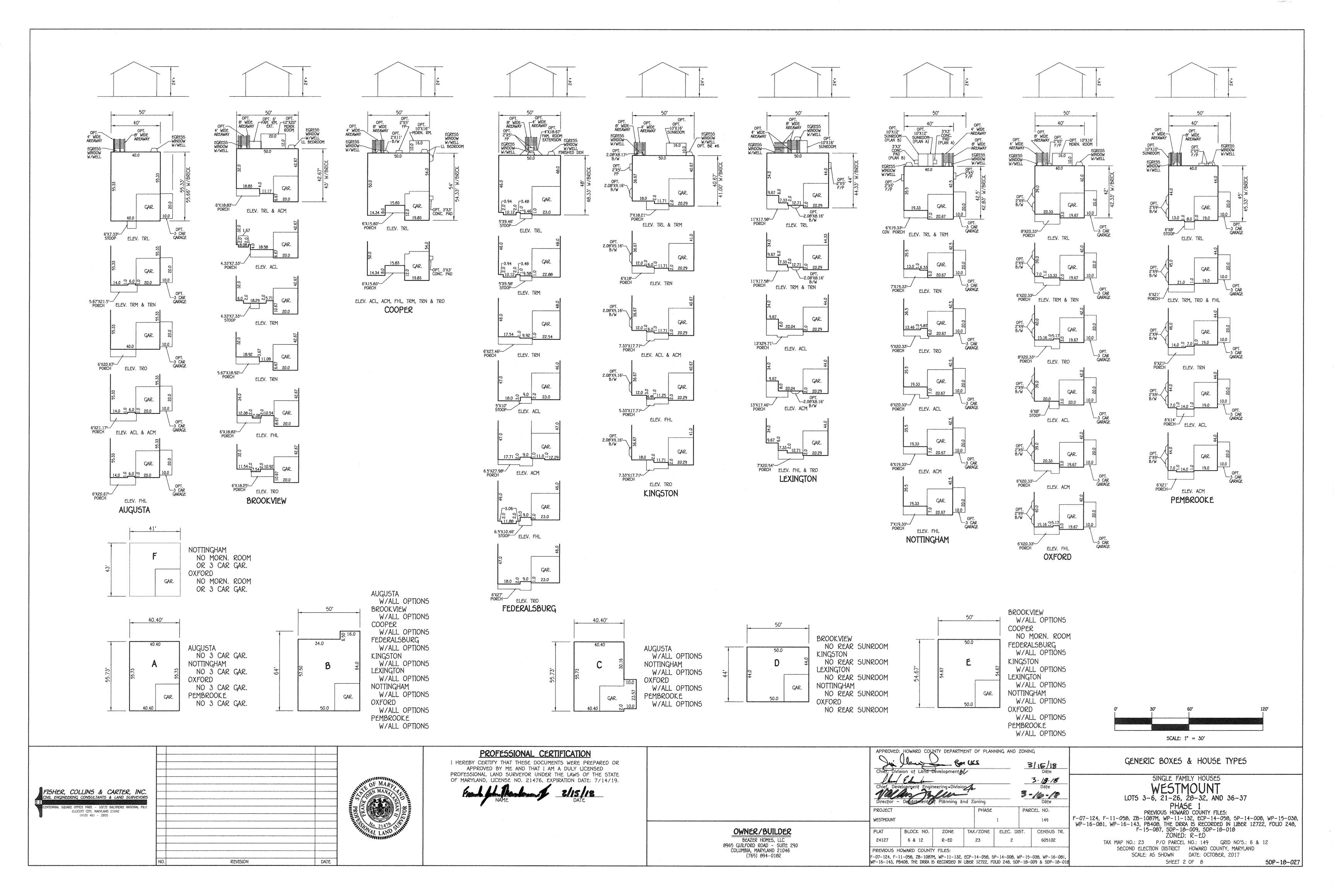
LOTS 3-6, 21-26, 28-32, AND 36-37 PREVIOUS HOWARD COUNTY FILES: F-07-124, F-11-050, ZB-1007M, WP-11-132, ECP-14-050, SP-14-000, WP-15-030, WP-16-081, WP-16-143, PB408, THE DRRA IS RECORDED IN LIBER 12722, FOLIO 248,

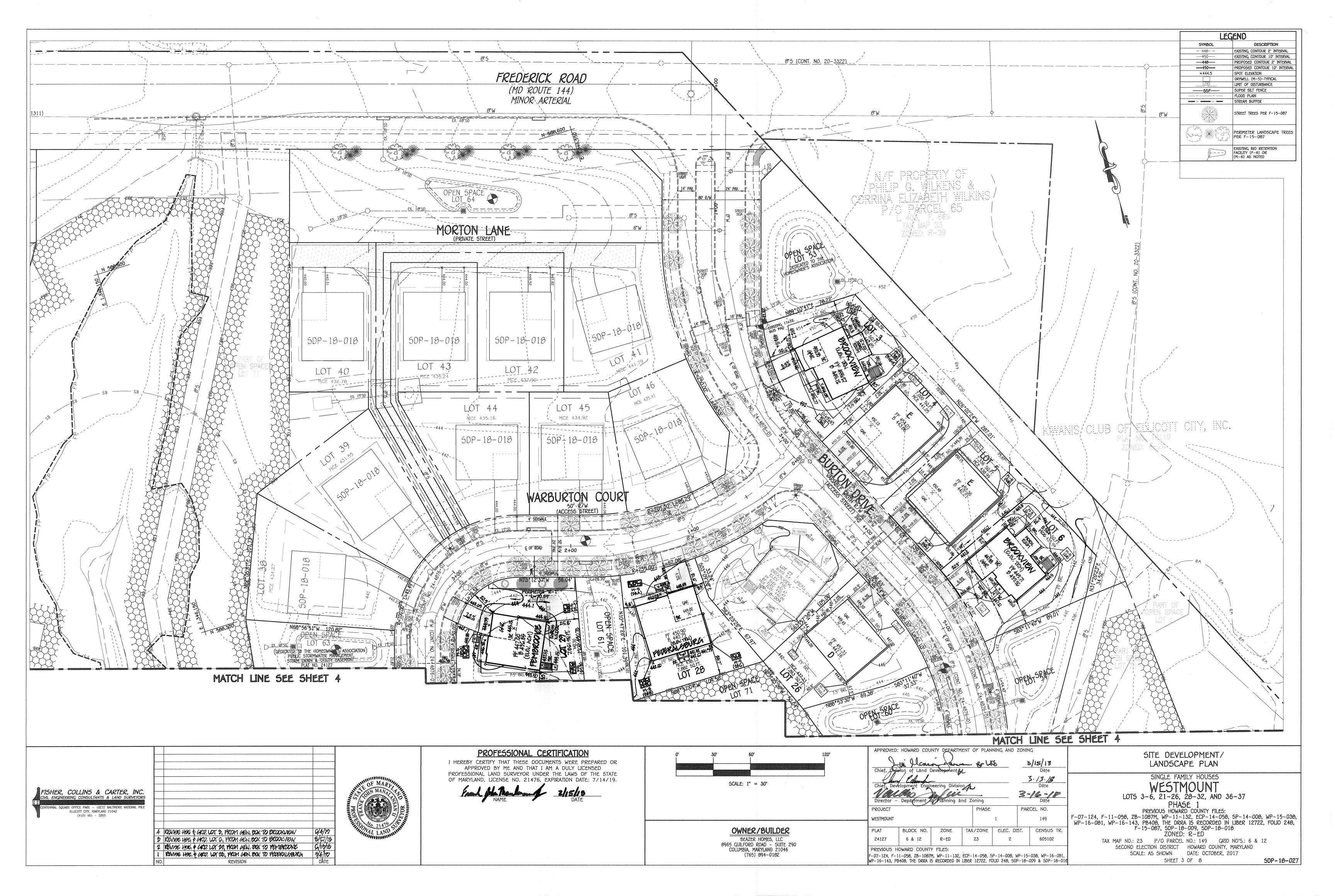
> ZONED: R-ED TAX MAP NO.; 23 P/O PARCEL NO.: 149 GRID NO'5.: 6 & 12 SECOND ELECTION DISTRICT HOWARD COUNTY, MARYLAND SCALE: AS SHOWN DATE: OCTOBER, 2017

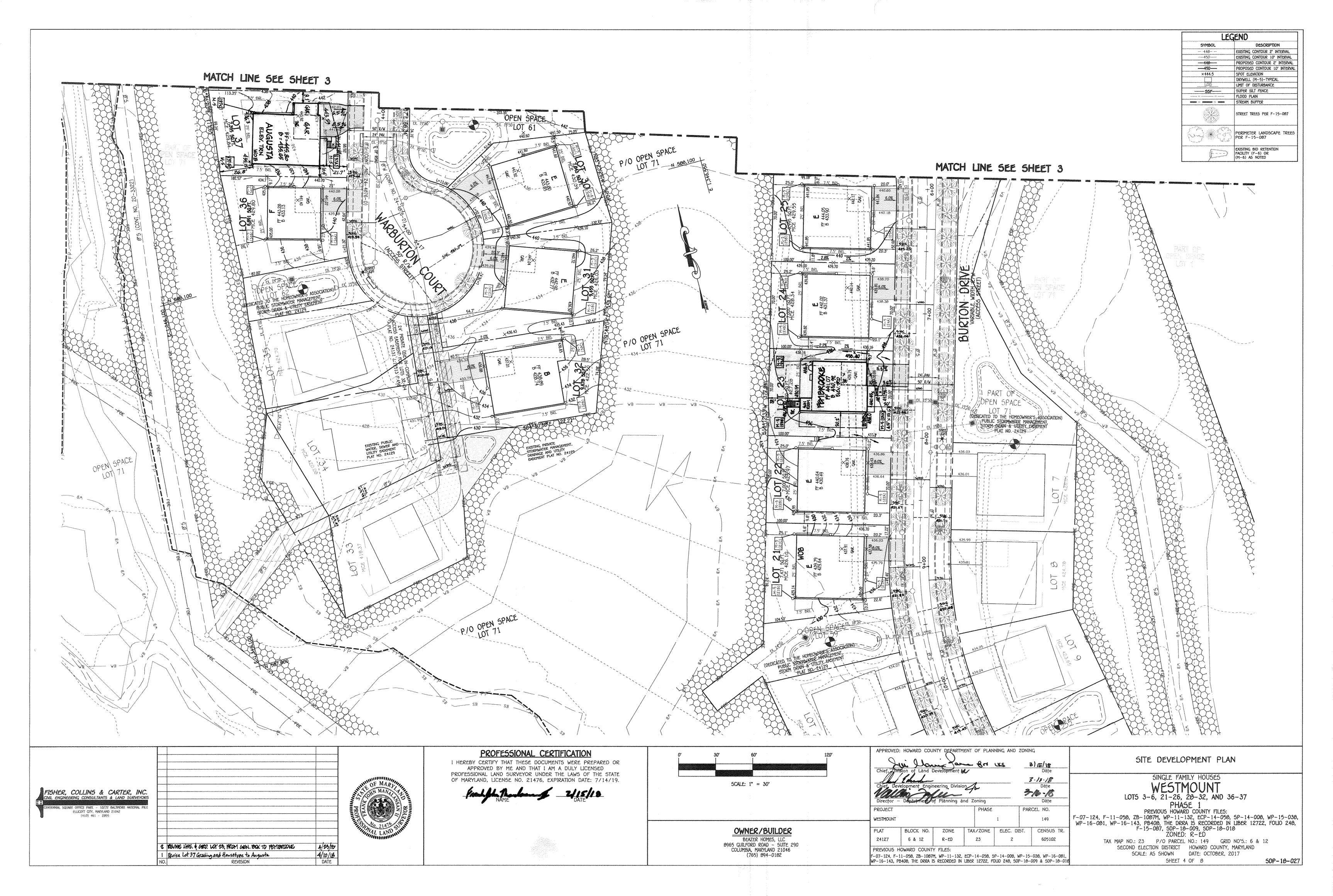
F-15-007, 5DP-10-009, 5DP-10-010

SHEET 1 OF 8

50P-18-027







### SOIL PREPARATION, TOPSOILING AND SOIL AMENDMENTS (B-4-2)

### A. SOIL PREPARATION 1. TEMPORARY STABILIZATION

- A SEEDBED PREPARATION CONSISTS OF LOOSENING SOIL TO A DEPTH OF 3 TO 5 INCHES BY MEANS OF SUITABLE AGRICULTURAL OR CONSTRUCTION EQUIPMENT, SUCH AS DISC HARROWS OR CHISEL PLOWS OR RIPPERS MOUNTED ON CONSTRUCTION EQUIPMENT. AFTER THE SOIL IS LOOSENED, IT MUST NOT BE ROLLED OR DRAGGED SMOOTH BUT LEFT IN THE ROUGHENED CONDITION. SLOPES 3:1 OR PLATTER ARE TO BE TRACKED WITH RIDGES RUNNING PARALLEL B. APPLY FERTILIZER AND LIME AS PRESCRIBED ON THE PLANS.
- C. INCORPORATE LIME AND FERTILIZER INTO THE TOP 3 TO 5 INCHES OF SOIL BY DISKING OR OTHER SUITABLE MEANS. 2. PERMANENT STABILIZATION
- A A SOIL TEST IS REQUIRED FOR ANY EARTH DISTURBANCE OF 5 ACRES OR MORE. THE MINIMUM SOIL CONDITIONS REQUIRED FOR PERMANENT VEGETATIVE ESTABLISHMENT ARE: I. SOIL PH BETWEEN 6.0 AND 7.0.
- II. SOLUBLE SALTS LESS THAN 500 PARTS PER MILLION (PPM). III. SOIL CONTAINS LESS THAN 40 PERCENT CLAY BUT ENOUGH FINE GRAINED MATERIAL (GREATER THAN 30 PERCENT SILT PLUS CLAY) TO PROVIDE THE CAPACITY TO HOLD A MODERATE AMOUNT OF MOISTURE. AN EXCEPTION: IF LOVEGRASS WILL BE PLANTED, THEN A SANDY SOIL (LESS THAN 30 PERCENT SILT PLUS CLAY) WOULD BE
- ACCEPTABLE IV. SOIL CONTAINS 1.5 PERCENT MINIMUM ORGANIC MATTER BY WEIGHT. V. SOIL CONTAINS SUFFICIENT PORE SPACE TO PERMIT ADEQUATE ROOT PENETRATION.
- B. APPLICATION OF AMENIMENTS OR TOPSOIL IS REQUIRED IF ON-SITE SOILS DO NOT MEET THE ABOVE CONDITIONS. C. GRADED AREAS MUST BE MAINTAINED IN A TRUE AND EVEN GRADE AS SPECIFIED ON THE APPROVED PLAN. THEN SCARIFIED OR OTHERWISE LOOSENED TO A DEPTH OF 3 TO 5 INCHES.
- D. APPLY SOIL AMENDMENTS AS SPECIFIED ON THE APPROVED PLAN OR AS INDICATED BY THE RESULTS OF A SOIL TEST. E. MIX SOIL AMENDMENTS INTO THE TOP 3 TO 5 INCHES OF SOIL BY DISKING OR OTHER SUITABLE MEANS. RAKE LAWA areas to smooth the surface, remove large objects like stones and branches, and ready the area for SEED APPLICATION, LOOSEN SURFACE SOIL BY DRAGGING WITH A HEAVY CHAIN OR OTHER EQUIPMENT TO ROUGHEN THE SURFACE WHERE SITE CONDITIONS WILL NOT PERMIT NORMAL SEEDBED PREPARATION. TRACK SLOPES 3:1 OR FLATTER WITH TRACKED EQUIPMENT LEAVING THE SOIL IN AN IRREGULAR CONDITION WITH RIDGES RUNNING PARALLEL TO THE CONTOUR OF THE SLOPE. LEAVE THE TOP 1 TO 3 INCHES OF SOIL LOOSE AND FRIABLE. SEEDBED LOOSENING MAY BE UNNECESSARY ON NEWLY DISTURBED AREAS.

- I. TOPSOIL IS PLACED OVER PREPARED SUBSOIL PRIOR TO ESTABLISHMENT OF PERMANENT VEGETATION. THE PURPOSE IS TO PROVIDE A SUITABLE SOR MEDIUM FOR VEGETATIVE GROWTH. SOILS OF CONCERN HAVE LOW MOISTURE CONTENT.
- LOW NUTRIENT LEVELS. LOW PH. MATERIALS TOXIC TO PLANTS. AND/OR UNACCEPTABLE SOIL GRADATION. Z. TOPSOIL SALVAGED FROM AN EXISTING SITE MAY BE USED PROVIDED IT MEETS THE STANDARDS AS SET FORTH IN THESE SPECIFICATIONS, TYPICALLY, THE DEPTH OF TOPSOIL TO BE SALVAGED FOR A GIVEN SOIL TYPE CAN BE FOUND
- IN THE REPRESENTATIVE SOIL PROFILE SECTION IN THE SOIL SURVEY PUBLISHED BY USDA-NRCS. 3, TOPSOILING IS LIMITED TO AREAS HAVING 2:1 OR FLATTER SLOPES WHERE: A. THE TEXTURE OF THE EXPOSED SUBSOIL/PARENT MATERIAL IS NOT ADEQUATE TO PRODUCE VEGETATIVE GROWTH.
- B, THE SOIL MATERIAL IS SO SHALLOW THAT THE ROOTING ZONE IS NOT DEEP ENOUGH TO SUPPORT PLANTS OR FURNISH CONTINUING SUPPLIES OF MOISTURE AND PLANT NUTRIENTS.
- C. THE ORIGINAL SOIL TO BE VEGETATED CONTAINS MATERIAL TOXIC TO PLANT GROWTH D. THE SOIL IS SO ACIDIC THAT TREATMENT WITH LIMESTONE IS NOT FEASIBLE.
- 4. AREAS HAVING SLOPES STEEPER THAN 2:1 REQUIRE SPECIAL CONSIDERATION AND DESIGN. 5. TOPSOIL SPECIFICATIONS: SOIL TO BE USED AS TOPSOIL MUST MEET THE FOLLOWING CRITERIA:
- A TOPSOIL MUST BE A LOAM, SANDY LOAM, CLAY LOAM, SELT LOAM, SANDY CLAY LOAM, OR LOAMY SAND. OTHER SOILS MAY BE USED IF RECOMMENDED BY AN AGRONOMIST OR SOIL SCIENTIST AND APPROVED BY THE APPROPRIATE APPROVAL AUTHORITY. TOPSOIL MUST NOT BE A MIXTURE OF CONTRASTING TEXTURED SUBSOILS AND MUST CONTAIN LEGS THAN 5 PERCENT BY VOLUME OF CINDERS, STONES, SLAG, COARSE FRAGMENTS, GRAVEL, STICKS, ROOTS, TRASH, OR OTHER MATERIALS LARGER THAN 1 1/2 INCHES IN DIAMETER
- B. TOPSOIL MUST BE FREE OF NOXIOUS PLANTS OR PLANT PARTS SUCH AS BERMUDA GRASS, QUACK GRASS, JOHNSON GRASS, NUT SEDGE, POISON NY, THISTLE, OR OTHERS AS SPECIFIED. C. TOPSOIL SUBSTITUTES OR AMENDMENTS. AS RECOMMENDED BY A QUALIFIED AGRONOMIST OR SOIL SCIENTIST AND
- APPROVED BY THE APPROPRIATE APPROVAL AUTHORITY, MAY BE USED IN LIEU OF NATURAL TOPSOIL 6. TOPSOIL APPLICATION
- A EROSION AND SEDIMENT CONTROL PRACTICES MUST BE MAINTAINED WHEN APPLYING TOPSOIL B. UNIFORMLY DISTRIBUTE TOPSOIL IN A 5 TO B INCH LAYER AND LIGHTLY COMPACT TO A MINIMUM THICKNESS OF 4 INCHES. SPREADING IS TO BE PERFORMED IN SLICH A MANNER THAT SODDING OR SEEDING CAN PROCEED WITH A MINIMUM OF ADDITIONAL SOIL PREPARATION AND TILLAGE. ANY IRREGULARITIES IN THE SURFACE RESULTING FROM TOPSOILING OR OTHER OPERATIONS MUST BE CORRECTED IN ORDER TO PREVENT THE FORMATION OF DEPRESSIONS OR WATER POCKETS.

C. TOPSOIL MUST NOT BE PLACED IF THE TOPSOIL OR SUBSOIL IS IN A FROZEN OR MUDDY CONDITION, WHEN THE SUBSOIL

is excessively wet or in a condition that may otherwise be detrimental to proper grading and seedbed

### C. SOIL AMENDMENTS (FERTILIZER & LIME SPECIFICATIONS) 1. SOIL TESTS MUST BE PERFORMED TO DETERMINE THE EXACT RATIOS AND APPLICATION RATES FOR BOTH LIME AND

- FRETILIZER ON SITES HAVING DISTURBED AREAS OF 5 ACRES OR MORE. SOIL ANALYSIS MAY BE PERFORMED BY A RECOGNIZED PRIVATE OR COMMERCIAL LABORATORY. SOIL SAMPLES TAKEN FOR ENGINEERING PURPOSES MAY ALSO
- 2. FERTILIZERS MUST BE UNIFORM IN COMPOSITION, FREE FLOWING AND SUITABLE FOR ACCURATE APPLICATION BY APPROPRIATE EQUIPMENT. MANURE MAY BE SUBSTITUTED FOR FERTILIZER WITH PRIOR APPROVAL FROM THE APPROPRIATE APPROVAL AUTHORITY, FERTILIZERS MUST ALL BE DELIVERED TO THE SITE FULLY LABELED ACCORDING TO THE APPLICABLE LAWS AND MUST BEAR THE NAME, TRADE NAME OF
- TRADEMARK AND WARRANTY OF THE PRODUCER. 3. LIME MATERIALS MUST BE GROUND LIMESTONE (HYDRATED OR BURNT LIME MAY BE SUBSTITUTED EXCEPT WHEN HYDROSEEDING) WHICH CONTAINS AT LEAST 50 PERCENT TOTAL OXIDES (CALCIUM OXIDE PLUS MAGNESIUM OXIDE).
- LIMESTONE MUST BE GROUND TO SUCH FINENESS THAT AT LEAST 50 PERCENT WILL PASS THROUGH A #100 MESH SIEVE AND 98 TO 100 PERCENT WILL PASS THROUGH A #20 MESH SIEVE. 4. LIME AND FERTILIZER ARE TO BE EVENLY DISTRIBUTED AND INCORPORATED INTO THE TOP 3 TO 5 INCHES OF SOIL BY
- DISKING OR OTHER SUITABLE MEANS. 5. WHERE THE SUBSOIL IS EITHER HIGHLY ACTOIC OR COMPOSED OF HEAVY CLAYS, SPREAD GROUND LIMESTONE AT THE RATE OF 4 TO 8 TONS/ACRE (200-400 POUNOS PER 1,000 SQUARE FEET) PRIOR TO THE PLACEMENT OF TOPSOIL

### DUST CONTROL

# DEFINITION

CONTROLLING DUST BLOWING AND MOVEMENT ON CONSTRUCTION SITES AND ROADS. PURPOSE

to prevent blowing and movement of dust from exposed soil surfaces. Reduce on and off-site DAMAGE, HEALTH HAZARDS AND IMPROVE TRAFFIC SAFETY. CONDITIONS WHERE PRACTICE APPLIES

THIS PRACTICE IS APPLICABLE TO AREAS SUBJECT TO DUST BLOWING AND MOVEMENT WHERE ON AND OFF-SITE DAMAGE IS LIKELY WITHOUT TREATMENT

- TEMPORARY METHODS 1. MULCHES - SEE STANDARDS FOR VEGETATIVE STABILIZATION WITH MULCHES ONLY. MULCH SHOULD BE CRIMPED OR TACKED TO PREVENT BLOWING.
- 2. VEGETATIVE COVER SEE STANDARDS FOR TEMPORARY VEGETATIVE COVER, 3. TILLAGE - TO ROUGHEN SURFACE AND BRING CLODS TO THE SURFACE, THIS IS AN EMERGENCY MEASURE WHICH SHOULD BE USED BEFORE SOIL BLOWING STARTS BEGIN PLOWING ON WINDWARD SIDE OF THE SITE, CHISEL-TYPE PLOWS SPACED ABOUT 12" APART, SPRING-TOOTHED HARROWS AND SIMILAR PLOWS ARE EXAMPLES OF EQUIPMENT
- WHICH MAY PRODUCE THE DESIRED EFFECT. 4. IRRIGATION - THIS IS GENERALLY DONE AS AN EMERGENCY TREATMENT. SITE IS SPRINKLED WITH WATER UNTIL THE SURFACE IS MOIST. REPEAT AS NEEDED. AT NO TIME SHOULD THE SITE BE IRRIGATED TO THE POINT THAT
- RUNOFF BEGINS TO FLOW. 5. BARRIERS - SOLID BOARD FENCES SILT FENCES, SNOW FENCES, BURLAP FENCES, STRAW BALE DIKES AND SIMILAR MATERIAL CAN BE USED TO CONTROL AIR CONTROLLING SOIL BLOWING, CURRENTS AND SOIL BLOWING. CURRENTS AND SOIL BLOWING, BARRIERS PLACED AT RIGHT ANGLES TO PREVAILING CURRENTS AT INTERVALS
- OF ABOUT 10 TIMES THEIR HEIGHT ARE EFFECTIVE IN 6. CALCIUM CHLORIDE - APPLY AT RATES THAT WILL KEEP SURFACE MOIST, MAY NEED RETREATMENT. PERMANENT METHODS
- 1. PERMENENT VEGETATION SEE STANDARDS FOR PERMANENT VEGETATIVE COVER AND PERMANENT STABILIZATION WITH SOD. EXISTING TREES OR LARGE SHRUBS MAY AFFORD VALUABLE PROTECTION IF LEFT IN PLACE. 2. TOPSOILING - COVERING WITH LESS EROSIVE SOIL MATERIALS. SEE STANDARDS FOR TOPSOILING. 3. STONE - COVER SURFACE WITH CRUSHED STONE OR COARSE GRAVEL

### TEMPORARY SEEDING NOTES (B-4-4)

DEFINITION TO STABILIZE DISTURBED SOILS WITH VEGETATION FOR UP TO 6 MONTHS.

- PURPOSE. TO USE FAST GROWING VEGETATION THAT PROVIDES COVER ON DISTURBED SOILS.
- CONDITIONS WHERE PRACTICE APPLIES EXPOSED SOILS WHERE GROUND COVER IS NEEDED FOR A PERIOD OF 6 MONTHS OR LESS. or longer duration of time, permanent stabilization practices are regulred.
- 1. SELECT ONE OR MORE OF THE SPECIES OR SEED MIXTURES LISTED IN TABLE B.1 FOR THE APPROPRIATE PLANT HARDINESS ZONE (FROM FIGURE B.3), AND ENTER THEM IN THE TEMPORARY seeding summary below along with application rates, seeding dates and seeding depths. IF THIS SUMMARY IS NOT PUT ON THE PLAN AND COMPLETED. THEN TABLE B.1 PLUS FERTILIZER AND LIME RATES MUST BE PUT ON THE PLAN
- 2. FOR SITES HAVING SOIL TESTS PERFORMED, USE AND SHOW THE RECOMMENDED RATES BY THE testing agency, soil tests are not required for temporary seeding. 3. WHEN STABILIZATION IS REQUIRED OUTSIDE OF A SEEDING SEASON, APPLY SEED AND MULCH OR STRAW MULCH ALONE AS PRESCRIBED IN SECTION B-4-3.A.1.8 AND MAINTAIN UNTIL THE NEXT SEEDING SEASON.

	TEMPO	ORARY SEED	ING SUMM	1ARY	
HARDINESS SEED MIXTU	ZONE (FROM FIGURE 1 RE (FROM TABLE B.1)	6.3): <u>68</u>		FERTILIZER RATE (10-20-20)	LIME RATE
5PECIES	APPLICATION RATE (LB/AC)	SEEDING DATES	SEEDING DEPTHS		
	i I		1	1 1	**************************************

# PERMANENT SEEDING NOTES (B-4-5)

- 1. GENERAL USE A SELECT ONE OR MORE OF THE SPECIES OR MIXTURES LISTED IN TABLE 8.3 FOR THE APPROPRIATE PLANT HARDINESS ZONE (FROM FIGURE 8.3) AND BASED ON THE SITE CONDITION OR PURPOSE FOUND ON TABLE 8.2. ENTER SELECTED MIXTURE(S). APPLICATION RATES. AND SEEDING DATES IN THE PERMANENT SEEDING SUMMARY
- B. ADDITIONAL PLANTING SPECIFICATIONS FOR EXCEPTIONAL SITES SUCH AS SHORELINES, STREAM BANKS, OR DUNES OR FOR SPECIAL PURPOSES SUCH AS WILDLIFE OR AESTHETIC TREATMENT MAY BE FOUND
- IN USDA-NECS TECHNICAL FIELD OFFICE GUIDE, SECTION 342 CRITICAL AREA PLANTING. C. FOR SITES HAVING DISTURBED AREA OVER 5 ACRES, USE AND SHOW THE RATES RECOMMENDED BY THE SOIL TESTING AGENCY, D. FOR AREAS RECEIVING LOW MAINTENANCE, APPLY LIREA FORM FERTILIZER (46-0-0) AT 3 1/2 POUNDS PER 1000 SQUARE FEET (150 POUNDS PER ACRE) AT THE TIME OF SEEDING IN ADDITION TO THE SOIL AMENOMENTS SHOWN IN THE PERMANENT SEEDING SUMMARY.
- 2. TURFGRASS MIXTURES A AREAS WHERE TURFCRASS MAY BE DESIRED INCLUDE LAWNS, PARKS, PLAYGROUNDS, AND COMMERCIAL SITES WHICH WILL RECEIVE A MEDIUM TO HIGH LEVEL OF MAINTENANCE
- B. SELECT ONE OR MORE OF THE SPECIES OR MIXTURES LISTED BELOW BASED ON THE SITE CONDITIONS OR PURPOSE ENTER SELECTED MIXTURE(S), APPLICATION RATES, AND SEEDING DATES IN THE PERMANENT SEEDING SUMMARY. THE SUMMARY IS TO BE PLACED ON THE PLAN. . KENTUCKY BLUEGRASS: FULL SUN MIXTURE: FOR USE IN AREAS THAT RECEIVE INTENSIVE MANAGEMENT. IRRIGATION REQUIRED IN THE AREAS OF CENTRAL MARYLAND AND FASTERN SHORE, RECOMMENDED
- CERTIFIED KENTUCKY BLUEGRASS CULTIVARS SEEDING RATE: 1.5 TO 2.0 POUNDS PER 1000 SQUARE FEET. CHOOSE A MINIMUM OF THREE KENTUCKY BLUEGRASS CULTIVARS WITH EACH RANGING FROM 10 TO 35 PERCENT OF THE TOTAL MIXTURE BY WEIGHT.

  II. KENTUCKY BLUEGRASS/PERENNIAL RYE: FULL SUN MIXTURE: FOR USE IN FULL SUN AREAS WHERE RAPID establishment is necessary and when turf will receive medium to intensive management. CERTIFIED PERENNIAL RYEGRASS CULTIVARS/CERTIFIED KENTUCKY BLUEGRASS SEEDING RATE: 2 POUNDS
- mixture per 1000 square feet, choose a minimum of three kentucky bluegrass cultivars with EACH RANGING FROM 10 TO 35 PERCENT OF THE TOTAL MIXTURE BY WEIGHT. II. TALL FESCUE/KENTUCKY BLUEGRASS: FULL SUN MEXTURE: FOR USE IN DROUGHT PRONE ARPAS AND/OR FOR AREAS RECEIVING LOW TO MEDIUM MANAGEMENT IN FULL SUN TO MEDIUM SHADE. RECOMMENDED MIXTURE INCLUDES; CERTIFIED TALL FESCUE CULTIVARS 95 TO 100 PERCENT, CERTIFIED KENTUCKY
- BLUEGRASS CULTIVARS O TO 5 PERCENT. SEEDING RATE: 5 TO 8 POUNDS PER 1000 SQUARE FEET. one or more cultivars may be blended. IV. Kentucky bluegrass/fine fescue: Shade mixture: for use in areas with shade in bluegrass LAWNS. FOR ESTABLISHMENT IN HIGH QUALITY, INTENSIVELY MANAGED TURF AREA. MIXTURE INCLUDES; CERTIFIED KENTUCKY BLUEGRASS CULTIVARS 30 TO 40 PERCENT AND CERTIFIED FINE FESCUE AND 60
- TO 70 PERCENT. SEEDING RATE: 1 1/2 TO 3 POUNDS PER 1000 SQUARE FEET SELECT TURFGRASS VARIETIES FROM THOSE LISTED IN THE MOST CURRENT UNIVERSITY OF MARYLAND PUBLICATION, AGRONOMY MEMO #77, "TURFGRASS CULTIVAR RECOMMENDATIONS FOR MARYLAND" CHOOSE CERTIFIED MATERIAL CERTIFIED MATERIAL IS THE BEST GUARANTEE OF CULTIVAR PURITY. THE CERTIFICATION PROGRAM OF THE MARYLAND DEPARTMENT OF AGRICULTURE, TURF AND SEED SECTION PROVIDES A RELIABLE MEANS OF CONSUMER PROTECTION AND ASSURES A PURE GENETIC LINE C. IDEAL TIMES OF SEEDING FOR TURF GRASS MIXTURES WESTERN MD: MARCH 15 TO JUNE 1, AUGUST 1 TO
- OCTOBER 1 (HARDINESS ZONES: 58, 6A) CENTRAL MD: MARCH 1 TO MAY 15, AUGUST 15 TO OCTOBER (Hardiness zone: 6B) southern md, eastern shore: March 1 to may 15, august 15 to october 15 HARDINESS ZONES: 7A, 7B) D. TILL AREAS TO RECEIVE SEED BY DISKING OR OTHER APPROVED METHODS TO A DEPTH OF 2 TO 4 INCHES, LEVEL AND RAKE THE AREAS TO PREPARE A PROPER SEEDBED. REMOVE STONES AND DEBRIS OVER 1 1/2 INCHES IN DIAMETER THE RESULTING SEEDBED MUST BE IN SUCH CONDITION THAT FUTURE MOWING OF
- E. IF SOIL MOISTURE IS DEFICIENT, SUPPLY NEW SELDINGS WITH ADEQUATE WATER FOR PLANT GROWTH (1/2 TO 1 INCH EVERY 3 TO 4 DAYS DEPENDING ON SOIL TEXTURE) UNTIL THEY ARE FIRMLY ESTABLISHED. THIS IS ESPECIALLY TRUE WHEN SEEDINGS ARE MADE LATE IN THE PLANTING SEASON, IN ABNORMALLY DRY or hot seasons, or on adverse sites

### PERMANENT SEFDING SUMMARY

HARDINESS ZONE (FROM FIGURE 8.3): 68 SEED MIXTURE (FROM TABLE 8.3): 8					FERTILIZE	LIME RATE		
NO,	5PECIES	APPLICATION RATE (LB/AC)	SEEDING DATES	SEEDING DEPTHS	***************************************	P205	K <sub>2</sub> 0	
8	TALL PESCUE	100	MAR. 1-MAY 15 AUG. 15-OCT. 15	1/4-1/2 N.	45 LBS. PER ACRE (1.0 LB/ 1000 SF)	90 LB/AC (2 LB/ 1000 SF)	90 LB/AC (2 LB/ 1000 SF)	2 TONS/AC (90 LB/ 1000 SF)

### B. 500: TO PROVIDE QUICK COVER ON DISTURBED AREAS (2:1 GRADE OR FLATTER).

- 1. GENERAL SPECIFICATIONS
- A CLASS OF TURFGRASS SOD MUST BE MARYLAND STATE CERTIFIED. SOD LABELS MUST BE MADE AVAILABLE TO THE B. SOD MUST BE MACHINE CUT AT A UNIFORM SOIL THICKNESS TO 3/4 INCH, PLUS OR MINUS 1/4 INCH, AT THE TIME OF CUTTING, MEASUREMENT FOR THICKNESS MUST EXCLUDE TOP GROWTH AND THATCH, BROKEN PADS AND TORN OR UNEVEN ENDS WILL NOT BE ACCEPTABLE
- C. STANDARD SIZE SECTIONS OF SOD MUST BE STRONG ENOUGH TO SUPPORT THEIR OWN WEIGHT AND RETAIN THEIR SIZE AND SHAPE WHEN SUSPENDED VERTICALLY WITH A FIRM GRASP ON THE UPPER 10 PERCENT OF THE SECTION. D. SOD MUST NOT BE HARVESTED OR TRANSPLANTED WHEN MOISTURE CONTENT (EXCESSIVELY DRY OF WET) MAY E. SOD MUST BE HARVESTED, DELIVERED, AND INSTALLED WITHIN A PERIOD OF 36 HOURS. SOD NOT TRANSPLANTED
- WITHIN THIS PERIOD MUST BE APPROVED BY AN AGRONOMIST OR SOIL SCIENTIST PRIOR TO ITS INSTALLATION. 2. SOD INSTALLATION
- A DURING PERIODS OF EXCESSIVELY HIGH TEMPERATURE OR IN AREAS HAVING DRY SUBSOIL, LIGHTLY IRRIGATE THE SUBSOIL IMMEDIATELY PRIOR TO LAYING THE SOO, B, LAY THE FIRST ROW OF SOD IN A STRAIGHT LINE WITH SUBSEQUENT ROWS PLACED PARALLEL TO IT AND TIGHTLY WEDGED AGAINST EACH OTHER. STAGGER LATERAL JOINTS TO PROMOTE MORE UNIFORM GROWTH AND STRENGTH.
- ENSURE THAT SOD IS NOT STRETCHED OR OVERLAPPED AND THAT ALL JOINTS ARE BUTTED TIGHT IN ORDER TO PREVENT VOIDS WHICH WOULD CAUSE AIR DRYING OF THE ROOTS. C. WHEREVER POSSIBLE, LAY 500 WITH THE LONG EDGES PARALLEL TO THE CONTOUR AND WITH STACGERING JOINTS. ROLL AND TAMP, PEG OR OTHERWISE SECURE THE SOD TO PREVENT SLIPPAGE ON SLOPES, ENSURE SOLIO CONTACT EXISTS BETWEEN 500 ROOTS AND THE UNDERLYING SOIL SURFACE. D. WATER THE SOO IMMEDIATELY FOLLOWING ROLLING AND TAMPING UNTIL THE UNDERSIDE OF THE NEW SOO PAD AND SOIL SURFACE BELOW THE SOO ARE THOROUGHLY WET. COMPLETE THE OPERATIONS OF LAYING, TAMPING, AND
- reigating for any piece of 500 within eight hours. 3. 500 MAINTENANCE A. IN THE ABSENCE OF ADEQUATE RAINFALL, WATER DAILY DURING THE FIRST WEEK OR AS OFTEN AND SUFFICIENTLY
- AS NECESSARY TO MAINTAIN MOIST SOIL TO A DEPTH OF 4 INCHES. WATER SOD DURING THE HEAT OF THE DAY TO B. AFTER THE FIRST WEEK, 500 WATERING IS REQUIRED AS NECESSARY TO MAINTAIN ADEQUATE MOISTURE CONTENT. C. DO NOT MOW UNTIL THE 50D IS FIRMLY ROOTED. NO MORE THAN 1/3 OF THE GRASS LEAF MUST BE REMOVED BY

THE INITIAL CUTTING OR SUBSEQUENT CUTTINGS. MAINTAIN A GRASS HEIGHT OF AT LEAST 3 INCHES UNLESS

# STANDARD STABILIZATION NOTE

FOLLOWING INITIAL SOIL DISTURBANCE OR RE-DISTURBANCE, PERMANENT OR TEMPORARY STABILIZATION MUST BE COMPLETED WITHIN: A.) THREE (3) CALENDAR DAYS AS TO THE SURFACE OF ALL PERIMETER DIKES, SWALES, DITCHES, PERIMETER SLOPES, AND ALL SLOPES STEEPER THAN 3 HORIZONTAL TO 1 VERTICAL (3:1). B.) SEVEN (7) CALENDAR DAYS AS TO ALL OTHER DISTURBED OR GRADED AREAS ON THE PROJECT SITE NOT UNDER ACTIVE GRADING.

### B-4-8 STANDARDS AND SPECIFICATIONS FOR STOCKPILE AREA

A mound or pile of soil protected by appropriately designed erosion and sediment control measures.

Purpose To provide a designated location for the temporary storage of soil that controls the potential for erosion. sedimentation, and changes to drainage patterns.

Conditions Where Practice Applies Stockpile areas are utilized when it is necessary to salvage and store soil for later use.

- 1. The stockpile location and all related sediment control practices must be clearly indicated on the 2. The footprint of the stockpile must be sized to accommodate the anticipated volume of material and based on a side slope ratio no steeper than 2:1. Benching must be provided in accordance with Section B-3 Land Grading.
- 3. Runoff from the stockpile area must drain to a suitable sediment control practice. 4. Access the stockpile area from the uparade side. 5. Clear water runoff into the stockpile area must be minimized by use of a diversion device such as
- an earth dike, temporary swale or diversion fence. Provisions must be made for discharging concentrated flow in a non-erosive manner. 6. Where runoff concentrates along the toe of the stockpile fill, an appropriate erosion/sediment
- control practice must be used to intercept the discharge. 7. Stockpiles must be stabilized in accordance with the 3/7 day stabilization requirement as well as Standard 8-4-1 Incremental Stabilization and Standard 8-4-4 Temporary Stabilization.
- 8. If the stockpile is located on an impervious surface, a liner should be provided below the stockpile to facilitate cleanup. Stockpiles containing contaminated material must be covered with impermeable

The stockpile area must continuously meet the requirements for Adequate Vegetative Establishment in accordance with Section 8-4 Vegetative Stabilization. Side slopes must be maintained at no steeper than a 2:1 ratio. The stockpile area must be kept free of erosion. If the vertical height of a stockpile exceeds 20 feet for 2:1 slopes, 30 feet for 3:1 slopes, or 40 feet for 4:1 slopes, benching must be provided in accordance with Section 8-3

### B-4-3 STANDARDS AND SPECIFICATIONS FOR SEEDING & MULCHING DEFINITION STANDARD SEDIMENT CONTROL NOTES

### THE APPLICATION OF SEED AND MULCH TO ESTABLISH VEGETATIVE COVER.

### PURPOSE TO PROTECT DISTURBED SOILS FROM EROSION DURING AND AT THE END OF CONSTRUCTION.

CONDITIONS WHERE PRACTICE APPLIES TO THE SURFACE OF ALL PERIMETER CONTROLS, SLOPES, AND ANY DISTURBED AREA NOT UNDER ACTIVE GRADING.

A. SEEDING 1. SPECIFICATIONS

A. ALL SEED MUST MEET THE REQUIREMENT OF THE MARYLAND STATE SEED LAW. ALL SEED MUST BE SUBJECT TO RE-TESTING BY A RECOGNIZED SEED LABORATORY, ALL SEED USED MUST HAVE BEEN TESTED WITHIN THE 6 MONTHS IMMEDIATELY PRECEDING THE DATE OF SOWING SUCH MATERIAL ON ANY PROJECT. REFER TO TABLE 8.4 REGARDING THE QUALITY OF SEED. SEED TAGS MUST BE available upon request to the inspector to verify type of seed and seeding rate.

ON THE CONTAINER. ADD FRESH INOCULANTS AS DIRECTED ON THE PACKAGE. USE FOUR TIMES THE RECOMMENDED RATE WHEN

- 8. MULCH ALONE MAY BE APPLIED BETWEEN THE FALL AND SPRING SEEDING DATES ONLY IF THE GROUND IS FROZEN. THE APPROPRIATE SEEDING MIXTURE MUST BE APPLIED WHEN THE GROUND THAMS. C. INOCULANTS: THE INOCULANT FOR TREATING LEGUME SEED IN THE SEED MIXTURES MUST BE A PURE CULTURE OF NITROGEN FIXING BACTERIA PREPARED SPECIFICALLY FOR THE SPECIES. INOCULANTS MUST NOT BE USED LATER THAN THE DATE INDICATED
- HYDROSEEDING, NOTE: IT IS VERY IMPORTANT TO KEEP INOCULANT AS COOL AS POSSIBLE UNTIL USED. TEMPERATURES ABOVE 75 TO 80 DEGREES FAHRENHEIT CAN WEAKEN BACTERIA AND MAKE THE INOCULANT LESS EFFECTIVE. D. SOD OR SEED MUST NOT BE PLACED ON SOIL WHICH HAS BEEN TREATED WITH SOIL STERILANTS OR CHEMICALS USED FOR

A. DRY SEEDING: THIS INCLUDES USE OF CONVENTIONAL DROP OR BROADCAST SPREADERS.

- WEEDCONTROL UNTIL SUFFICIENT TIME HAS ELAPSED (14 DAYS MIN.) TO PERMIT DISSIPATION OF PHYTO-TOXIC MATERIALS.
  - I. INCORPORATE SEED INTO THE SUBSOIL AT THE RATES PRESCRIBED ON TEMPORARY SEEDING TABLE 8.1. PERMANENT SEEDING TABLE B.3, OR SITE-SPECIFIC SEEDING SUMMARIES. II. APPLY SEED IN TWO DIRECTIONS, PERPENDICULAR TO EACH OTHER, APPLY HALF THE SEEDING RATE IN EACH DIRECTION. ROLL THE SEEDED AREA WITH WEIGHTED ROLLER TO PROVIDE GOOD SEED TO SOIL CONTACT.

8. ORILL OR CULTIPACKER SEEDING: MECHANIZED SEEDERS THAT APPLY AND COVER SEED WITH SOIL

- 1. CULTIPACKING SEEDERS ARE REQUIRED TO BURY THE SEED IN SUCH A FASHION AS TO PROVIDE AT LEAST 1/4 INCH OF SOIL COVERING, SEEDBED MUST BE FIRM AFTER PLANTING. II. APPLY SEED IN TWO DIRECTIONS, PERPENDICULAR TO EACH OTHER. APPLY HALF THE SEEDING RATE IN EACH DIRECTION.
- C. HYDROSEEDING: APPLY SEED UNIFORMLY WITH HYDROSEEDER (SLURRY INCLUDES SEED AND FERTILIZER). 1. IF FERTILIZER IS BEING APPLIED AT THE TIME OF SEEDING, THE APPLICATION RATES SHOULD NOT EXCEED THE FOLLOWING: NITROGEN, 100 POUNDS PER ACRE TOTAL OF SOLUBLE NITROGEN; Pag (PHOSPHORUS). 200 POUNDS PER ACRE; K20 (POTASSIUM), 200 POUNDS PER ACRE
- IL LIME: USE ONLY GROUND AGRICULTURAL LIMESTONE (UP TO 3 TONS PER ACRE MAY BE APPLIED BY HYDROSEEDING). NORMALLY, NOT MORE THAN 2 TONS ARE APPLIED BY HYDROSEEDING AT ANY ONE TIME. DO NOT USE BURNT OR HYDRATED LIME WHEN HYDROSEEDING. III. MIX SEED AND FEXTILIZER ON SITE AND SEED IMMEDIATELY AND WITHOUT INTERRUPTION.

### IV. WHEN HYDROSEEDING DO NOT INCORPORATE SEED INTO THE SOIL B. MULCHING

- 1. MULCH MATERIALS (IN ORDER OF PREFERENCE)
- A. STRAW CONSISTING OF THOROUGHLY THRESHED WHEAT, RYE, OAT, OR BARLEY AND REASONABLY BRIGHT IN COLDR. STRAW IS TO BE FREE OF NOXIOUS WEED SEEDS AS SPECIFIED IN THE MARYLAND SEED LAW AND NOT MUSTY, MOLDY, CAKED, DECAYED,
- OR EXCESSIVELY DUSTY. NOTE: USE ONLY STERILE STRAW MULCH IN AREAS WHERE ONE SPECIES OF GRASS IS DESIRED. 8. WOOD CELLULOSE FIBER MULCH (WCFM) CONSISTING OF SPECIALLY PREPARED WOOD CELLULOSE PROCESSED INTO UNIFORM FIBROUS PHYSICAL STATE.
- I. WOFM IS TO BE DYED GREEN OR CONTAIN A GREEN DYE IN THE PACKAGE THAT WILL PROVIDE A APPROPRIATE COLOT TO FACILITATE VISUAL INSPECTION OF THE UNIFORMLY SPREAD SLURRY.
- II. WCFM, INCLUDING DYE, MUST CONTAIN NO GERMINATION OR GROWTH INHIBITING FACTORS. III. WCFM MATERIALS ARE TO BE MANUFACTURED AND PROCESSED IN SUCH A MANNER THAT THE WOOD CELLULOSE FIBER MULCH WILL REMAIN IN UNIFORM SUSPENSION IN WATER UNDER ACITATION AND WILL BLEND WITH SEED FERTBLIZER AND OTHER ADDITIVES TO FORM A HOMOGENEOUS SLURRY. THE MULCH MATERIAL MUST FORM A BLOTTER-LIKE GROUND COVER
- IN CONTACT WITH THE SOIL WITHOUT INHIBITING THE GROWTH OF THE GRASS SEEDLINGS IV. WCFM MATERIAL MUST NOT CONTAIN ELEMENTS OR COMPOUNDS AT CONCENTRATION LEVELS THAT WILL BY PHYTO-TOXIC. V. WCFM MUST CONFORM TO THE FOLLOWING PHYSICAL REQUIREMENTS: FIBER LENGTH OF APPROXIMATELY 10 MILLIMETERS, DIAMETER APPROXIMATELY I MILLIMETER, PH RANGE OF 4.0 TO 8.5, ASH CONTENT OF 1.6 PERCENT MAXIMUM AND WATER

ON APPLICATION, HAVING MOISTURE ABSORPTION AND PERCOLATION PROPERTIES AND MUST COVER AND HOLD GRASS SEED

### HOLDING CAPACITY OF 90 PERCENT MINIMUM. 2. APPLICATION A. APPLY MULCH TO ALL SEPDED AREAS IMMEDIATELY AFTER SPEDING.

BANKS. USE OF ASPHALT BINDERS IS STRICTLY PROHIBITED.

- 8. WHEN STRAW MULCH IS USED, SPREAD IT OVER ALL SEEDED AREAS AT THE RATE OF 2 TONS PER ACRE TO A UNIFORM LOOSE DEPTH OF 1 TO 2 INCHES. APPLY MULCH TO ACHIEVE A UNIFORM DISTRIBUTION AND DEPTH SO THAT THE SOIL SURFACE IS NOT
- EXPOSED. WHEN USING A MULCH ANCHORING TOOL, INCREASE THE APPLICATION RATE TO 2.5 TONS PER ACRE. C. WOOD CELLULOSE FIBER USED AS MULCH MUST BE APPLIED TO A NET DRY WEIGHT OF 1500 POUNDS PER ACRE, MIX THE WOOD CELLULOSE FIBER WITH WATER TO ATTAIN A MIXTURE WITH A MAXIMUM OF 50 POUNDS OF WOOD CELLULOSE FIBER PER
- 100 GALLONS OF WATER. 3. ANCHORING A. PERFORM MULCH ANCHORING IMMEDIATELY FOLLOWING APPLICATION OF MULCH TO MINIMIZE LOSS BY WIND OR WATER. THIS MAY BE DONE BY ONE OF THE FOLLOWING METHODS (LISTED BY PREFERENCE), DEPENDING UPON THE SIZE OF5THE AREA AND EROSION HAZARD:
- I. A MULCH ANCHORING TOOL IS A TRACTOR DRAWN IMPLEMENT DESIGNED TO PUNCH AND ANCHOR MULCH INTO THE SOIL SURFACE A MINIMUM OF 2 INCHES. THIS PRACTICE IS MOST EFFECTIVE ON LARGE AREAS, BUT IS LIMITED TO FLATTER SLOPES WHERE EQUIPMENT CAN OPERATE SAFELY. IF USED ON SLOPING LAND, THIS PRACTICE SHOULD FOLLOW THE CONTOUR. II. WOOD CELLULOSE FIBER MAY BE USED FOR ANCHORING STRAW. APPLY THE FIBER BINDER AT A NET DRY WEIGHT OF 750 POUNDS
- PER ACRE. MIX THE WOOD CELLULOSE FIBER WITH WATER AT A MAXIMUM OF 50 POUNDS OF WOOD CELLULOSE FIBER PER 100 GALLONS OF WATER. III. SYNTHETIC BINDERS SUCH AS ACRYLIC DLR (AGRO-TACK), DCA-70, PETROSET, TERRA TAX II, TERRA TACK AR, OR OTHER APPROVED EQUAL MAY BE USED, FOLLOW APPLICATION RATES AS SPECIFIED BY THE MANUFACTURER, APPLICATION OF LIQUID BINDERS NEEDS TO BE HEAVIER AT THE EDGES WHERE WIND CATCHES MULCH, SUCH AS IN VALLEYS AND ON CRESTS OF
- IV. LIGHTWEIGHT PLASTIC NETTING MAY BE STAPLED OVER THE MULCH ACCORDING TO MANUFACTURER RECOMMENDATIONS. NETTING IS USUALLY AVAILABLE IN ROLLS 4-15 FEET WIDE AND 300 TO 3,000 FEET LONG.

# HOWARD SOIL CONSERVATION DISTRICT (HSCD)

1. A pre-construction meeting must occur with the Howard County Department of Public Works, Construction Inspection Division (CID), 410-313-1855 after the future LOD and protected areas are marked clearly in the field. A minimum of 40 hour notice to CID must be given at the following stages: a. Prior to the start of earth

b. Upon completion of the installation of perimeter erosion and sediment controls, but before proceeding with any other earth disturbance or oradina.

c. Prior to the start of another phase of construction or opening of another grading unit, d. Prior to the removal or modification of sediment control practices.

Other building or grading inspection approvals may not be authorized until this initial approval by the inspection agency is made. Other related state and federal permits shall be referenced, to ensure coordination and to

2. All vegetative and structural practices are to be installed according to the provisions of this plan and are to be in conformance with the 2011 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL, and revisions thereto.

3. Following initial soil disturbance or re-disturbance, permanent or temporary stabilization is required within three (3) calendar days as to the surface of all perimeter controls, dikes, swales, ditches, perimeter slopes, and all slopes steeper than 3 horizontal to 1 vertical (3:1); and seven (7) calendar days as to all other disturbed areas on the project site except for those areas under active grading.

4. All disturbed areas must be stabilized within the time period specified above in accordance with the 2011 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL for topsoil (Sec. B-4-2), permanent seeding (Sec. B-4-5), temporary seeding (Sec. B-4-4) and mulching (Sec. B-4-3). Temporary stabilization with mulch alone can only be applied between the fall and spring seeding dates if the ground is frozen. Incremental stabilization (Sec. 8-4-1) specifications shall be enforced in areas with >15' of cut and/or fill. Stockpiles (Sec. B-4-8) in excess of 20 ft. must be benched with stable outlet. All concentrated flow, steep slope, and highly erodible areas shall receive soil stabilization matting (Sec. B-4-6).

5. All sediment control structures are to remain in place, and are to be maintained in operative condition until permission for their removal has been obtained from the CID.

# 6. Site Analysis For Total Site Area:

Total Area of Site: 3.29+/- Acres 3.29+/- Acres LOD Total Area Disturbed: Area to be roofed or paved: 1.22+/- Acres Area to be vegetatively stabilized: 2.07+/- Acres Total Cut:

5,185 Cu.Yds.+/-Total Fill: 5,185 Cu. Yds. N/A Offsite waste/borrow area location:

7. Any sediment control practice which is disturbed by grading activity for placement of utilities must be repaired on the same day of disturbance

8. Additional sediment control must be provided, if deemed necessary by the CID. The site and all controls shall be inspected by the contractor weekly; and the next day after each rain event. A written report by the contractor, made available upon request, is part of every inspection and should include:

- · Inspection type (routine, pre-storm event, during rain event)
- · Name and title of inspector · Weather information (current conditions as well as time and amount of last recorded precipitation) · Brief description of project's status (e.g., percent complete) and/or current activities
- · Evidence of sediment discharges Identification of plan deficiencies
- · Identification of sediment controls that require maintenance
- · Identification of missing or improperly installed sediment controls
- · Compliance status regarding the sequence of construction and stabilization requirements Photographs
- Monitoring/sampling
- · Maintenance and/or corrective action performed · Other inspection items as required by the General Permit for Stormwater Associated with Construction Activities (NPDES, MDE).
- Trenches for the construction of utilities is limited to three pipe lengths or that which can and shall be back-filled and stabilized by the end of each workday, whichever is shorter.
- 10. Any major changes or revisions to the plan or sequence of construction must be reviewed and approved by the HSCO prior to proceeding with construction. Minor revisions may allowed by the CID per the list of 11. Disturbance shall not occur outside the L.O.D. A project is to be sequenced so that grading activities begin
- on one grading unit (maximum acreage of 20 ac. per grading unit) at a time. Work may proceed to a subsequent grading unit when at least 50 percent of the disturbed area in the preceding grading unit has been stabilized and approved by the H5CD. Unless otherwise specified and approved by the H5CD, no more than 30 acres cumulatively may be disturbed at a given time.

12. Wash water from any equipment, vehicles, wheels, pavement, and other sources must be treated in a

### 13. Topsoil shall be stockpiled and preserved on-site for redistribution onto final grade. 14. All Silt Fence and Super Silt Fence shall be placed on-the-contour, and be imbricated at 25' minimum

15. Stream channels must not be disturbed during the following restricted time periods Use I and IP March 1 - June 15

• Use III and IIIP October 1 - April 30

sediment basin or other approved washout structure.

intervals, with lower ends curled uphill by 2' in elevation.

• Use IV March 1 - May 31 16. A copy of this plan, the 2011 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL, and associated permits shall be on-site and available when the site is active.

# TABLE B.1 TEMPORARY SEEDING FOR SITE STABILIZATION

0.445	SEEC	SEEDING RATE 1/ SEEDING DEPTH 2		EEDING RECOMMENDED SEEDING DATES BY PLANT HARDINESS ZONE 3/				
PLANT SPECS	LB./AC.	LB./1000 FT. <sup>2</sup>	fra instances	5b AND 6a	6Ь	7a AND 7b		
COOL-SEASON GRASSES				L				
ANNUAL RYEGRASS (LOLIUM PERENNE SSP. MUTIFLORUM)	40	1.0	0.5	MAR. 15 TO MAY 31; AUG. 1 TO SEPT. 30	MAR. 1 TO MAY 15; AUG. 1 TO OCT. 15	FEB. 15 TO APR. 30; AUG. 15 TO NOV. 30		
BARLEY (HORDEUM VULGARE)	96	2.2	1.0	MAR. 15 TO MAY 31; AUG. 1 TO SEPT. 30	MAR. 1 TO MAY 15; AUG. 1 TO OCT. 15	FEB. 15 TO APR. 30; AUG. 15 TO NOV. 30		
OATS (AVENA SATIVA)	72	1.7	1.0	MAR. 15 TO MAY 31; AUG. 1 TO SEPT. 30	MAR. 1 TO MAY 15; AUG. 1 TO OCT. 15	FEB. 15 TO APR. 30; AUG. 15 TO NOV. 30		
WHEAT (TRITICUM AESTIVUM)	120	2.0	1.0	MAR. 15 TO MAY 31; AUG. 1 TO SEPT. 30	MAR. 1 TO MAY 15; AUG. 1 TO OCT. 15	FEB. 15 TO APR. 30; AUG. 15 TO NOV. 30		
CEREAL RYE (SECALE CEREALE)	112	2.8	1.0	MAR. 15 TO MAY 31; AUG. 31 TO OCT. 31	MAR. 1 TO MAY 15; AUG. 1 TO NOV. 15	FEB. 15 TO APR. 30; AUG. 15 TO DEC. 15		
WARM-SEASON GRASSES	**************************************	<del>anderede en en grand general en en grand en en grand en de de de la communicación de la communicación de la com</del>						
FOXTAIL MILLET (SETARIA ITALICA)	30	0.7	0.5	JUNE 1 TO JULY 31	MAY 16 TO JULY 31	MAY 1 TO AUGUST 14		
PEARL MILLET (PENNISETUM GLAUCUM)	20	0.5	0.5	JUNE 1 TO JULY 31	MAY 16 TO JULY 31	MAY 1 TO AUGUST 14		

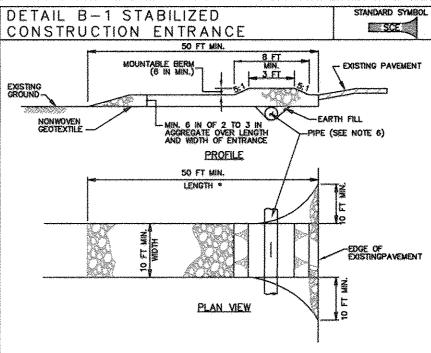
1. SEEDING RATES FOR THE WARM-SEASON GRASSES ARE IN POUNDS OF PURE LIVE SEED (PLS). ACTUAL PLANTING RATES SHALL BE ADJUSTED TO REFLECT PERCENT SEED GERMINATION AND PURITY, AS TESTED.

ADJUSTMENTS ARE USUALLY NOT NEEDED FOR THE COOL-SEASON GRASSES. SEEDING RATES LISTED ABOVE ARE FOR TEMPORARY SEEDINGS, WHEN PLANTED ALONE WHEN PLANTED AS A NURSE CROP WITH PERMANENT SEED MIXES, USE 1/3 OF THE SEEDING RATE LISTED ABOVE FOR BARLEY. OATS AND WHEAT. FOR SMALLER-SEEDED GRASSES (ANNUAL RYEGRASS, PEARL MILLET, FOXTAIL MILLET). DO NOT EXCEED MORE THAN 5% (BY WEIGHT) OF THE OVERALL PERMANENT SEEDING MIX, CEREAL RYE GENERALLY SHOULD NOT BE USED AS A NURSE CROP, UNLESS PLANTING WILL OCCUR IN VERY LATE FALL BEYOND THE SEEDING DATES FOR OTHER TEMPORARY SEEDINGS. CEREAL RYE HAS ALLELOPATHIC PROPERTIES THAT INHIBIT THE GERMINATION AND GROWTH OF OTHER PLANTS. IF IT MUST 8E USED AS A NURSE CROP, SEED AT 1/3 OF THE RATE LISTED ABOVE.

# DETAIL E-3 SUPER |----SSF----SILT FENCE GALVANIZED CHAIN LINK FENCE WITH WOVEN SLIT FILM GEOTEXTILE ELEVATION CHAIN LINK FENCING WOVEN SLIT FILM GEOTEXTILE-FLOW 1

CROSS SECTION CONSTRUCTION SPECIFICATIONS

- FASTEN 9 GAUGE OR HEAVIER GALVANIZED CHAIN LINK FENCE (2% INCH MAXIMUM OPENING) 42 INCHES IN HEIGHT SECURELY TO THE FENCE POSTS WITH WIRE TIES OR HUG RINGS.
- . WHERE ENDS OF THE GEOTEXTILE COME TOGETHER, THE ENDS SHALL BE OVERLAPPED BY 6 INCHES, FOLDED, AND STAPLED TO PREVENT SEDIMENT BY PASS.
- EXTEND BOTH ENDS OF THE SUPER SILT FENCE A MINIMUM OF FIVE HORIZONTAL FEET UPSLOPE AT 45 DEGREES TO THE MAIN FENCE ALIGNMENT TO PREVENT RUNOFF FROM GOING AROUND THE ENDS OF THE SUPER SILT FENCE.
- . PROVIDE MANUFACTURER CERTIFICATION TO THE INSPECTION/ENFORCEMENT AUTHORITY SHOWING THA GEOTEXTILE USED MEETS THE REQUIREMENTS IN SECTION H-1 MATERIALS. REMOVE ACCUMULATED SEDIMENT AND DEBRIS WHEN BULGES DEVELOP IN FENCE OR WHEN SEDIMENT REACHES 25% OF FENCE HEIGHT. REPLACE GEOTEXTILE IF TORN. IF UNDERMINING OCCURS, REINSTALL CHAIN LINK FENCING AND GEOTEXTILE.
  - MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL 2011



CONSTRUCTION SPECIFICATIONS

PLACE STABILIZED CONSTRUCTION ENTRANCE IN ACCORDANCE WITH THE APPROVED PLAN. VEHICLES MUST TRAVEL OVER THE ENTIRE LENGTH OF THE SCE. USE MINIMUM LENGTH OF 50 FEET (\*30 FEET FOR SINGLE RESIDENCE LOT). USE MINIMUM WIDTH OF 10 FEET. FLARE SCE 10 FEET MINIMUM AT THE EXISTING ROAD TO PROVIDE A TURNING RADIUS.

2. PIPE ALL SURFACE WATER FLOWING TO OR DIVERTED TOWARD THE SCE UNDER THE ENTRANCE, MAINTAINING POSITIVE DRAINAGE, PROTECT PIPE INSTALLED THROUGH THE SCE WITH A MOUNTABLE BERM WITH 5:1 SLOPES AND A MINIMUM OF 12 INCHES OF STONE OVER THE PIPE, PROVIDE PIPE AS SPECIFIED ON APPROVED PLAN, WHEN THE SCE IS LOCATED AT A HIGH SPOT AND HAS NO DRAINAG TO CONVEY, A PIPE IS NOT NECESSARY. A MOUNTABLE BERM IS REQUIRED WHEN SCE IS NOT LOCATED AT A HIGH SPOT. PREPARE SUBGRADE AND PLACE NONWOVEN GEOTEXTILE, AS SPECIFIED IN SECTION H-1 MATERIALS

. PLACE CRUSHED AGGREGATE (2 TO 3 INCHES IN SIZE) OR EQUIVALENT RECYCLED CONCRETE (WITHOUT

MAINTAIN ENTRANCE IN A CONDITION THAT MINIMIZES TRACKING OF SEDIMENT. ADD STONE OR MAKE OTHER REPAIRS AS CONDITIONS DEMAND TO MAINTAIN CLEAN SURFACE, MOUNTABLE BERM, AND SPECIFIED DIMENSIONS. IMMEDIATELY REMOVE STONE AND/OR SEDIMENT SPILLED, DROPPED, OR TRACKED ONTO ADJACENT ROADWAY BY VACULATING, SCRAPING, AND/OR SWEEPING. WASHING ROADWAY TO REMOVE MUD TRACKED ONTO PAYMENT IS NOT ACCEPTABLE UNLESS WASH WATER IS DIRECTED TO AN APPROVED SEDIMENT CONTROL PRACTICE.

REBAR) AT LEAST 6 INCHES DEEP OVER THE LENGTH AND WIDTH OF THE SCE.

MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL

# SEQUENCE OF CONSTRUCTION

1. OBTAIN A GRADING PERMIT AND HOLD PRE-CONSTRUCTION MEETING WITH COUNTY INSPECTOR. 2. NOTIFY "MISS UTILITY" AT LEAST 48 HOURS BEFORE BEGINNING ANY WORK AT 1-800-257-7777 NOTIFY THE HOWARD COUNTY OFFICE OF CONSTRUCTION/ INSPECTION AT 410-313-1330 AT LEAST

3. INSTALL THE STABILIZED CONSTRUCTION ENTRANCE, SILT FENCE, AND SUPER-SILT FENCE.

4. ROUGH GRADE AROUND HOUSE SITE AND INSTALL TEMPORARY SEEDING, IF REQUIRED.

24 HOURS BEFORE STARTING WORK.

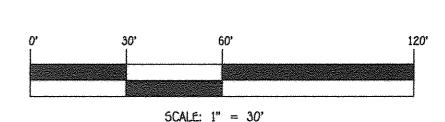
(7 DAYS) (2 DAYS) (3 DAYS) (4 MONTHS)

5. CONSTRUCT BUILDING. 6. INSTALL DRYWELLS. 7. FINE GRADE SITE AND INSTALL PERMANENT SEEDING. 8. ALL FINAL GRADES AND STABILIZATION SHOULD BE COMPLETED BEFORE ANY REMOVAL OF CONTROLS. WHEN ALL CONTRIBUTING AREAS TO THE SEDIMENT CONTROL DEVICES HAVE BEEN STABILIZED AND WITH

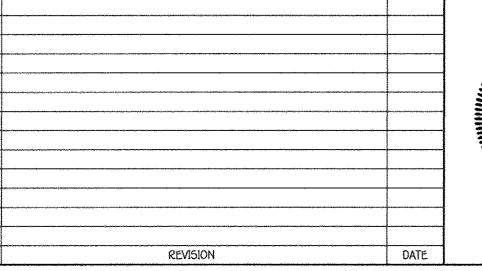
3/15/1g

THE PERMISSION OF THE SEDIMENT CONTROL INSPECTOR, THE SEDIMENT CONTROL DEVICES MAY BE REMOVED. (3 DAYS) NOTE: THE CONTRACTOR SHALL INSPECT AND PROVIDE NECESSARY MAINTENANCE EACH RAINFALL AND ON A

(14 DAYS)



FISHER, COLLINS & CARTER, INC. VIL ENGINEERING CONSULTANTS & LAND SURVEYORS ELLICOTT CITY, MARYLAND 21042 (410) 461 - 2855





PROFESSIONAL CERTIFICATE "I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS

OATS ARE THE RECOMMENDED NURSE CROP FOR WARM-SEASON GRASSES.

PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT. FLICENSED PROFESSIONAL FRANK JOHN MANALANSAN II

BUILDER/DEVELOPER'S CERTIFICATE "I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN, FOR SEDIMENT AND EROSION CONTROL AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE

ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT."

CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE



OWNER/BUILDER BEAZER HOMES, LLC 8965 GUILFORD ROAD - SUITE 290 COLUMBIA, MARYLAND 21046 (765) 894-0182

3.13.18 3-16-18 Date PROJECT PHASE PARCEL NO. WESTMOUNT TAX/ZONE | ELEC. DIST. CENSUS TR. BLOCK NO. ZONE 24127 R-ED 605102 6 & 12 PREVIOUS HOWARD COUNTY FILES: F-07-124, F-11-058, ZB-1087M, WP-11-132, ECP-14-058, SP-14-008, WP-15-038, WP-16-081 WP-16-143, PB400, THE DRRA IS RECORDED IN LIBER 12722, FOLIO 240, 50P-10-009 & 50P-10-010

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

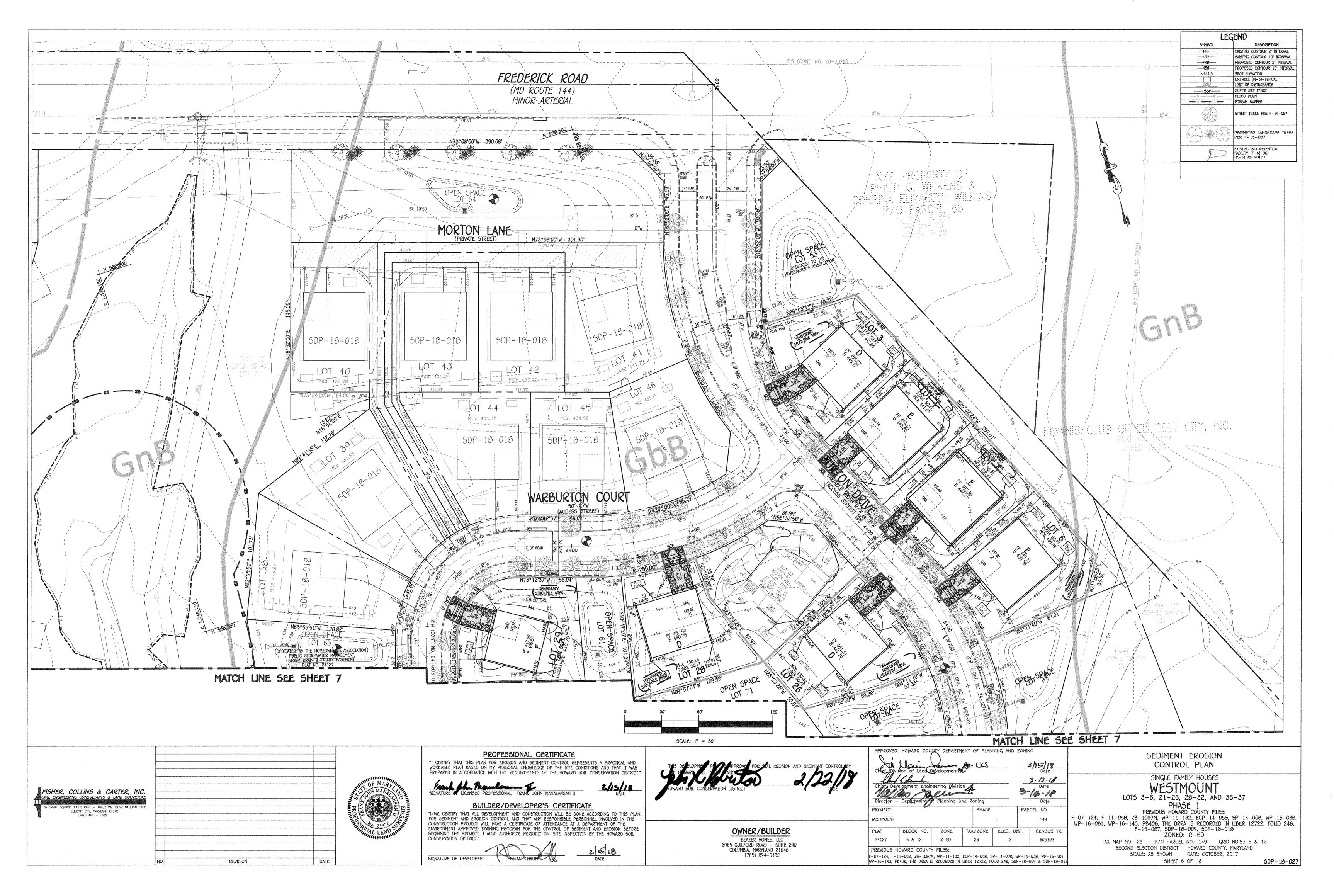
SEDIMENT AND EROSION CONTROL NOTES AND DETAILS

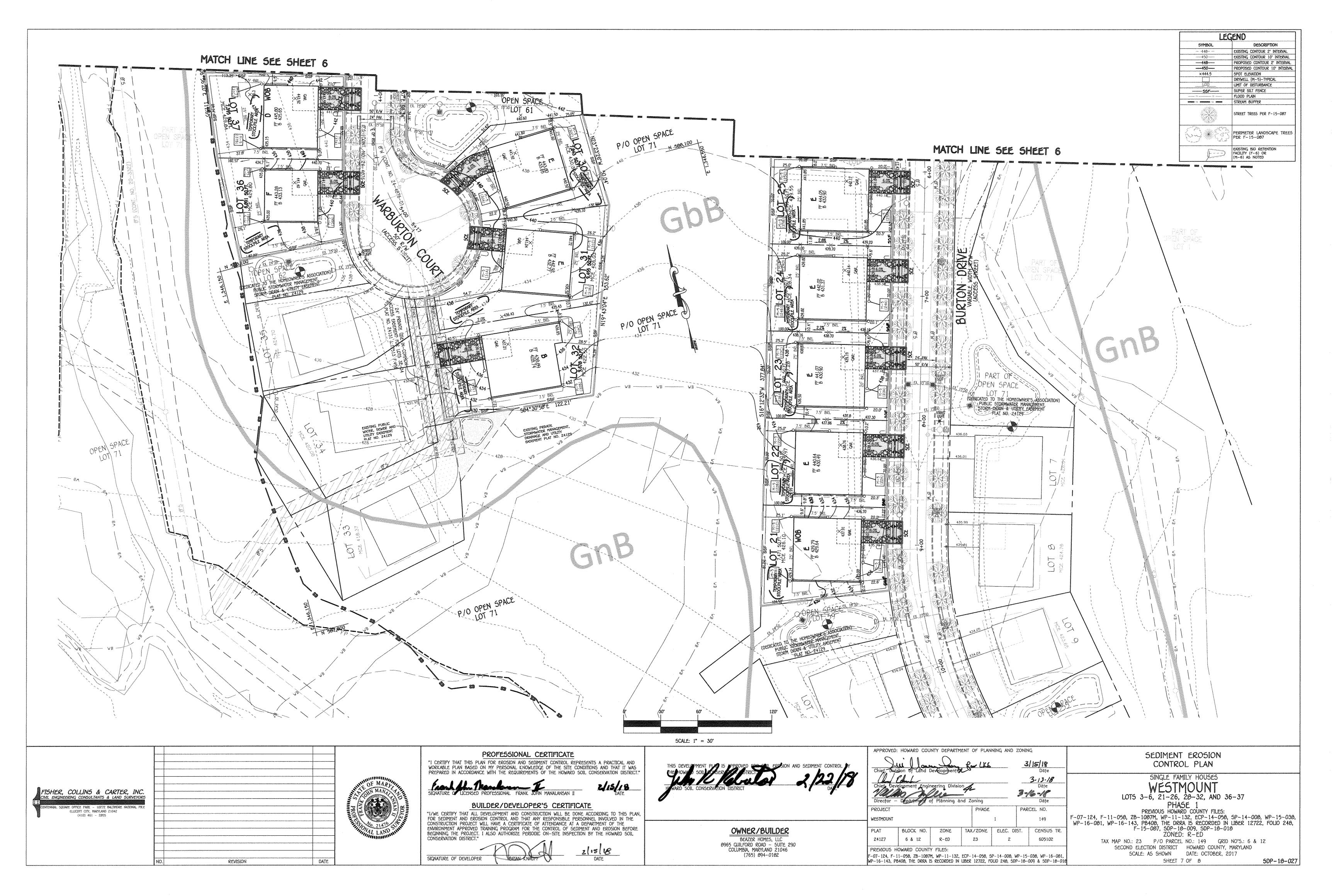
### SINGLE FAMILY HOUSES **WESTMOUNT** LOTS 3-6, 21-26, 20-32, AND 36-37

PREVIOUS HOWARD COUNTY FILES: F-07-124, F-11-056, ZB-1067M, WP-11-132, ECP-14-056, SP-14-008, WP-15-036, WP-16-001, WP-16-143, PB400, THE DRRA IS RECORDED IN LIBER 12722, FOLIO 248, F-15-007, 50P-10-009, 50P-10-010 ZONED: R-ED

> TAX MAP NO.: 23 P/O PARCEL NO.: 149 GRID NO'5.: 6 & 12 SECOND ELECTION DISTRICT HOWARD COUNTY, MARYLAND SCALE: AS SHOWN DATE: OCTOBER, 2017 SHEET 5 OF 8

50P-10-027





### CONSTRUCTION CRITERIA:

THE FOLLOWING ITEMS SHOULD BE ADDRESSED DURING CONSTRUCTION OF PROJECTS WITH DRY WELLS:

EROSION AND SEDIMENT CONTROL:

FINAL GRADING FOR PROPOSED DRY WELLS SHOULD NOT TAKE PLACE UNTIL THE SURROUNDING SITE IS COMPLETELY STABILIZED. IF THIS CANNOT BE ACCOMPLISHED, RUNOFF FROM DISTURBED AREAS SHALL BE DIVERTED.

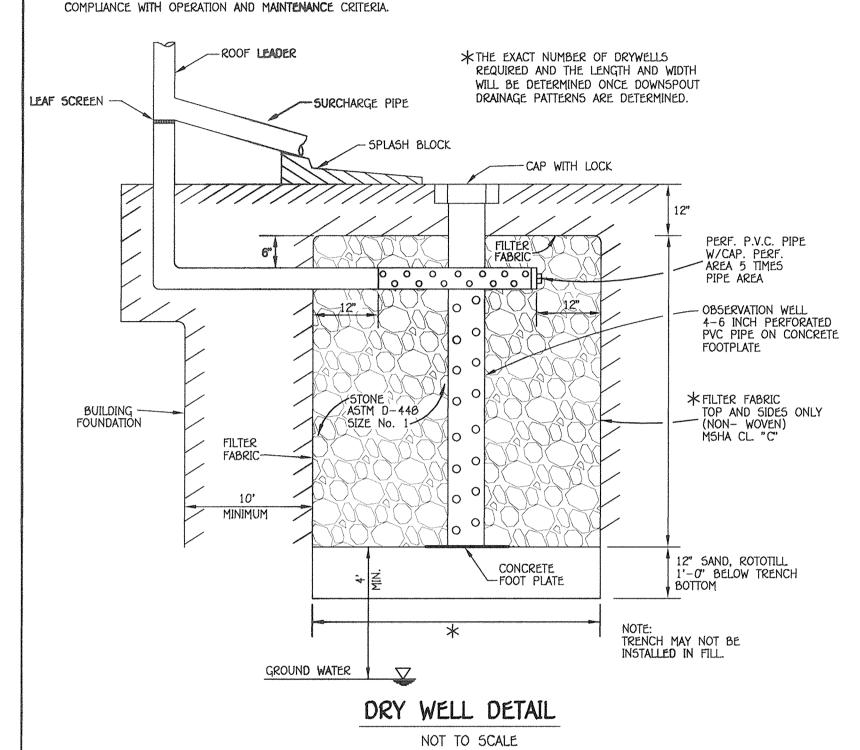
### **50IL COMPACTION:**

EXCAVATION SHOULD BE CONDUCTED IN DRY CONDITIONS WITH EQUIPMENT LOCATED OUTSIDE OF THE PRACTICE TO MINIMIZE BOTTOM AND SIDEWALL COMPACTION. CONSTRUCTION OF A DRY WELL SHALL BE PERFORMED WITH LIGHTWEIGHT, WIDE-TRACKED EQUIPMENT TO MINIMIZE DISTURBANCE AND COMPACTION. EXCAVATED MATERIALS SHALL BE PLACED IN A CONTAINED AREA

UNDERGROUND CHAMBER: A SUBSURFACE PREFABRICATED CHAMBER MAY BE USED, PROVIDED A RED-LINE TO THIS PLAN SET IS APPROVED BY THE HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING.

# OPERATION & MAINTENANCE SCHEDULE FOR PRIVATELY OWNED AND MAINTAINED DRY WELLS (M-5)

- A. THE OWNER SHALL INSPECT THE MONITORING WELLS AND STRUCTURES ON A QUARTERLY BASIS
- AND AFTER EVERY HEAVY STORM EVENT. B. THE OWNER SHALL RECORD THE WA**TER LE**VELS AND SEDIMENT BUILD UP IN THE MONITORING
- WELLS OVER A PERIOD OF SEVERAL DAYS TO ENSURE TRENCH DRAINAGE. . THE OWNER SHALL MAINTAIN A LOG BOOK TO DETERMINE THE RATE AT WHICH THE FACILITY DRAINS. ). WHEN THE FACILITY BECOMES CLOGGED SO THAT IT DOES NOT DRAIN DOWN WITHIN A SEVENTY-TWO
- (72) HOUR TIME PERIOD. CORRECTIVE ACTION SHALL BE TAKEN. E. THE MAINTENANCE LOG BOOK SHALL BE AVAILABLE TO HOWARD COUNTY FOR INSPECTION TO INSURE



DRY WELL BOTTOM:

FILTER CLOTH:

GRAVEL MEDIA

D448 4, 5, OR 6 STONE OR EQUAL).

THE BOTTOM SHALL BE AS LEVEL AS POSSIBLE TO MINIMIZE POOLED WATER

IN SMALL AREAS THAT MAY REDUCE OVERALL INFILTRATION AND LONGEVITY.

FILTER CLOTH SHALL NOT BE INSTALLED ON THE BOTTOM OF THE WELL.

OF THE DRY WELL TO PREVENT THE PORE SPACE BETWEEN THE STONES

THE AGGREGATE SHALL BE COMPOSED OF AN 18 TO 48-INCH LAYER OF

CLEAN WASHED, OPEN GRADED MATERIAL WITH 40% POROSITY (E.G., ASTM

FROM BEING BLOCKED BY THE SURROUNDING NATIVE MATERIAL.

NON-WOVEN FILTER CLOTH SHOULD BE USED TO LINE THE TOP AND SIDES

# PLANTING SPECIFICATIONS

Plants, related material, and operations shall meet the detailed description as given on the plans and as described herein.

All plant material, unless otherwise specified, shall be nursery grown, uniformly branched, have a vigorous root system, and shall conform to the species, size, root and shape shown on the plant list and the American Association of Nurserymen (AAN) Standards. Plant material shall be healthy, vigorous, free from defects, decay, disfiguring roots, sun scald injuries, abrasions of the bark, plant disease, insect pest eggs, borers and all forms of insect infestations or objectionable disfigurements. Plant material that is weak or which has been cut back from larger grades to meet specified requirements will be rejected. Trees with forked leaders will not be accepted. All plants shall be freshly dug; no healed-in plants from cold storage will be accepted. Unless otherwise specified, all general conditions, planting operations, details and planting specification shall conform to "Landscape Specification Guidelines for Baltimore-Washington Metropolitan Areas", (hereinafter "Landscape Guidelines") approved by the Landscape Contractors Association of Metropolitan Washington and the Potomac Chapter of the American Society of Landscape Architect, latest edition, including all agenda.

Contractor shall be required to quarantee all plant material for a period of one year after date of acceptance in accordance with the appropriate section of the Landscape Guidelines Contractor's attention is directed to the maintenance requirements found within the one year specifications including watering and replacement of specified plant material.

Contractor shall be responsible for notifying utility companies, utility contractors and "Miss Utility" a minimum of 40 hours prior to beginning any work. Contractor may make minor adjustments in spacing and location of plant material to avoid conflicts with utilities. Damage to existing structure and utilities shall be repaired at the expense of the Contractor.

Protection of existing vegetation to remain shall be accomplished by the temporary installation of 4 foot high snow fence or blaze orange safety fence at Contractor id responsible for installing all material in the proper planting season for each plant type. All planting is to be completed within the growing

season of completion of site construction. Bid shall be base on actual site conditions. No extra payment shall be made for work arising from site conditions differing from those indicated on

Plant quantities are provided for the convenience of the contractor only. If discrepancies exist between quantities shown on plan and those shown on the plant list, the quantities on the plan take precedence

All shrubs shall be planted in continuous trenches or prepared planting beds and mulched with composted hardwood mulch as details and specified except where noted on plans.

Positive drainage shall be maintained in planting beds 2 percent slope). Planting mix shall be as follows: Deciduous Plants - Two parts topsoil, one part well-rotted cow or horse manure. Add 3 lbs. of standard fertilizer per cubic yard of planting mix. Evergreen Plants — two parts topsoil, one part humus or other approved organic material. Add 3 lbs. of evergreen (acidic) fertilizer per cubic yard of planting mix. Topsoil shall conform to the Landscape Guidelines.

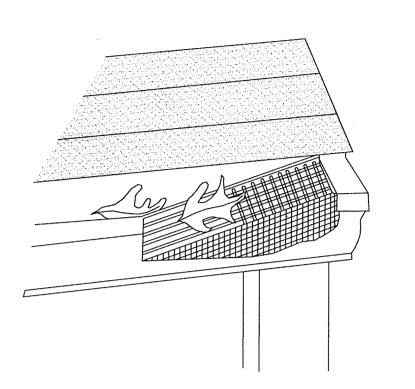
Weed Control: Incorporate a pre-emergent herbicide into the planting bed following recommended rates on the label. Caution: Be sure to carefully check the chemical used to assure its adaptability to the specific ground cover to be treated.

All areas within contract limits disturbed during or prior to construction not designated to receive plants and mulch shall be fine graded and seeded.

This plan is intended for landscape use only. see other plan sheets for more information on grading, sediment control, layout, etc.

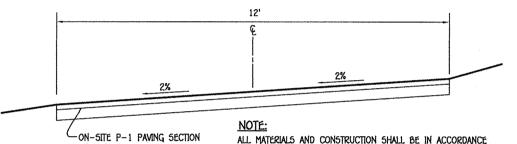
# STORMWATER MANAGEMENT NOTES

- 1. STORMWATER MANAGEMENT IS PROVIDED IN ACCORDANCE WITH WITH CHAPTER 5, "ENVIRONMENTAL SITE DESIGN" OF THE 2007 MARYLAND STORMWATER MANAGEMENT DESIGN MANUAL.
- EFFECTIVE MAY 4, 2010 2. MAXIMUM CONTRIBUTING ROOF TOP AREA TO EACH DOWNSPOUT
- SHALL BE 1,000 SQ. FT. OR LESS. 3. DRYWELLS SHALL BE PROVIDED AT LOCATIONS WHERE THE LENGTH OF DISCONNECTION IS LESS THAN 75' AT 5%. THE SIZE AND CONSTRUCTION OF THE DRYWELL SHALL BE IN ACCORDANCE WITH
- THE DETAIL SHOWN ON THIS SHEET. 4. FINAL GRADING IS SHOWN ON THIS SITE DEVELOPMENT PLAN.

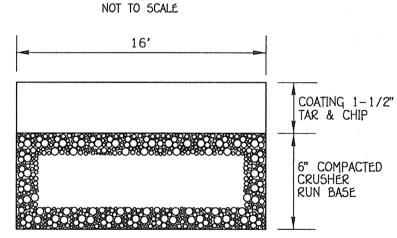


# GUTTER DRAIN FILTER DETAIL

NOT TO SCALE \*A GUTTER GUARD OR A SUITABLE EQUIVALENT SHALL BE USED FOR EACH DOWNSPOUT DIRECTED TO A DRYWELL.



# TYPICAL PRIVATE DRIVE CROSS SLOPE SECTION



WITH HOWARD COUNTY DESIGN MANUAL VOLUME IV, STANDARD

COMMON DRIVEWAY DETAIL

NOT TO SCALE

- 1. THE PERIMETER LANDSCAPE OBLIGATION IS PROVIDED IN ACCORDANCE WITH SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL, A LANDSCAPE SURETY IN THE AMOUNT OF \$900.00 BASED ON TWO (2) SHADE TREES @ \$300/5HADE TREE, TWO (2) EVERGREEN TREES @ \$150/EVERGREEN TREE, AND NO SHRUBS @ \$30/5HRUB
- FOR ANY TREE DESIGNATED FOR PRESERVATION, FOR WHICH CREDIT IS GIVEN, BE REMOVED OR DIE PRIOR TO RELEASE OF BONDS, THE OWNER WILL BE REQUIRED TO REPLACE THE TREE WITH THE EQUIVALENT SPECIES OR IF THE TREE IS LISTED AS A PROHIBITED OR INVASIVE SPECIES ON THE DPZ TREE LIST IT SHOULD BE REPLACED WITH A RECOMMENDED TREE SPECIES WHICH WILL OBTAIN THE SAME HEIGHT, SPREAD AND GROWTH CHARACTERISTICS. THE REPLACEMENT TREE MUST

### ADDRESS NUMBER DOWNSPOUTS REQUIRED | PROVIDED | STORAGE | TREATMENT | DRYWELLS | OF DRYWELLS 110 Cuft 110 Cuft 127 CuFt 144 CuFt 100% 100% 1 9' X **8**' X 5' 3 M-5 (3C) 79 CuFt | 80 CuFt | 8' X 5' X 5' 137 CuFt 140 CuFt 4 M-5 (4A) 100% 100% 4 M-5 (48) 3311 BURTON DRIVE 141 CuFt 144 CuFt 100% 100% 4 M-5 (4C) 114 CuFt 120 CuFt 100% 100% 5 M-5 (5A) 137 CuFt 140 CuFt 100% 100% 5 M-5 (58) 3315 BURTON DRIVE 141 CuFt 144 CuFt 100% 100% 1 9' X 8' X 5' 114 CuFt | 120 CuFt | 100% 5 M-5 (5C) 100% 10' X 6' X 5' 6 M-5 (6A) 137 CuFt 140 CuFt 100% 100% 10' X 7' X 5' 6 M-5 (6B) 141 CuFt 144 CuFt 100% 100% 9' X 8' X 5' 114 CuFt | 120 CuFt 100% 100% 10' X 6' X 5' 21 M-5 (21A) 137 CuFt | 140 CuFt | 100% | 141 CuFt 144 CuFt 100% 3340 BURTON DRIVE 100% 21 M-5 (21C) 114 CuFt 120 CuFt 100% 22 M-5 (22A) 137 CuFt 140 CuFt 100% 141 CuFt 144 CuFt 100% 100% 1 9' X 8' X 5' 3336 BURTON DRIVE 22 M-5 (22C) 114 CuFt | 120 CuFt | 100% 137 CuFt | 140 CuFt | 100% 100% 23 M-5 (238) 3332 BURTON DRIVE 141 CuFt | 144 CuFt | 100% | 100% | 137 CuFt 140 CuFt 100% 100% 24 M-5 (24B) 3328 BURTON DRIVE 141 CuFt 144 CuFt 100% 100% 24 M-5 (24C) 114 CuFt | 120 CuFt 100% 100% 137 CuFt 140 CuFt 100% 100% 1 25 M-5 (25A) 25 M-5 (25B) 141 Cuft 144 Cuft 3324 BURTON DRIVE 100% 100% 25 M-5 (25C) 114 CuFt 120 CuFt 100% 100% 1 10' X 6' X 5' 26 M-5 (26A) 110 Cuft | 110 Cuft 100% 100% 26 M-5 (26B) 3310 BURTON DRIVE 126 Cuff | 126 Cuff 100% 26 M-5 (26C) 79 Cuft | 80 Cuft | 100% | 100% 28 M-5 (28A) 10605 WARBURTON COURT 28 M-5 (288) 126 Cury 126 Cury 100% 100% 1 28 M-5 (28C) 79 Cuft | 80 Cuft | 100% | 100% | 1 | 8' X 5' X 5' 29 M-5 (29A) 94 Curt 100 Curt 100% 100% 1 10' X 5' X 5' 0621 WARBURTON COURT 29 M-5 (29B) 96 Cuft | 100 Cuft | 100% | 100% | 1 | 10° X 5' X 5' 29 M-5 (29C) 63 Cuft | 70 Cuft | 100% | 100% | 1 | 7° X 5' X 5' 10629 WARBURTON COURT 30 M-5 (308) 30 M-5 (30C) 114 CuP; 120 CuP; 100% 100% 1 10° X 6' X 5' 137 CuFt 140 CuFt 100% 100% 1 10633 WARBURTON COURT 31 M-5 (31B) 144 CuFf 100% 100% 1 120 CuFf 100% 100% 1 10° X 6° X 5° 32 M-5 (32A) 142 CuFt | 144 CuFt | 100% | 100% | 1 12' X 6' X 5' 10637 WARBURTON COURT 32 M-5 (32B) 144 CuFt 100% 142 Cuft 100% 12' X 6' X 5' 32 M-5 (32C) 143 Cuff 144 CuFt 100% 100% 12' X 6' X 5' 36 M-5 (36A) 94 CuFt 100 CuFt 100% 10' X 5' X 5' 10630 WARBURTON COURT 36 M-5 (36B) 96 CuFt 100 CuFt 36 M-5 (36C) 63 Cult 70 Cult 100% 110 Cult 110 Cult 1100% 7' X 5' X 5' 100% 10626 WARBURTON COURT 37 M-5 (378) 126 CuFt 126 CuFt 100% 100% 1 9' X 7' X 5' 550 5qFt 79 CuFt 80 CuFt 100% 100% 1 8' X 5' X 5' 37 M-5 (37C)

DRY WELL CHART

VOLUME | VOLUME | AREA OF | AREA OF | NO. OF

WP-15-038
ON OCTOBER 30, 2014 WP 15-038 WAS GRANTED FOR THE FOLLOWING: . TO ALLOW FOR THE REMOVAL OF VEGETATIVE COVER AND TREES FROM ENVIRONMENTAL AREAS (A WAIVER FROM SECTION 16.116(c) AND TO ALLOW FOR THE REMOVAL OF SPECIMEN TREES(A WAIVER FROM SECTION 16.1205(a)(7).

LOT DRYWELL NO. OF

• A WAIVER FROM SECTION 16.121(e) WHICH REQUIRES 40' OF FRONTAGE ON A PUBLIC ROAD FOR AT LEAST ONE ACCESS TO AN OPEN SPACE LOT, WITH 20' BEING PERMISSABLE FOR ANY ADDITIONAL ACCESS. • A WAIVER FROM SECTION 16.119(e)(5) WHICH REQUIRES PUBLIC RIGHT-OF-WAY LINES ON CORNER LOTS AT INTERSECTIONS SHALL BE TRUNCATED BY STRAIGHT LINES JOINING POINTS 25' BACK FROM THE THEORETICAL PROPERTY LINE INTERSECTION IN EACH QUADRANT

THE APPROVAL IS SUBJECT TO THE FOLLOWING CONDITIONS: 1. COMPLIANCE WITH ALL SUBDIVISION REVIEW COMMITTEE COMMENTS FOR

SP-14-008. 2. THE WAIVER PETITION NUMBER (WP-15-038) AND ITS CONDITIONS OF APPROVAL MUST BE ADDED TO SP-14-008 AND ALL FUTURE SUBDIVISION PLANS. 3.AS MITIGATION FOR THE REQUESTED REMOVAL OF FIFTY-SEVEN (57)

SPECIMEN TREES LOCATED WITHIN THE SITE, THE DEVELOPER IS REQUIRED TO USE 2" CALIPER PLANT MATERIALS FOR THE REQUIRED PLANTINGS WITHIN THE PROPOSED REFORESTATION PLANTING AREAS AT A MINIMUM PLANTED ADJACENT TO ALL RESIDENTIAL LOTS THROUGHOUT THE SUBDIVISION. A FINAL DETERMINATION OF THE PLANT MATERIAL SIZE AND TOTAL NUMBER OF PLANTS WILL BE REVIEWED AND FINALIZED AT THE FINAL PLAN. IF DESIGN CHANGES ARE MADE AT FINAL PLAN STAGE AND THE REFORESTATION PLANTING AREAS ARE REDUCED OR ELIMINATED, THEN THE DEVELOPER SHALL PLANT AN EQUIVALENT NUMBER OF SHADE TREES WITHIN THE RESIDENTIAL AND OPEN SPACE LOTS AND ADJACENT TO PRIORITY RETENTION AREAS. THOSE FIFTY-SEVEN (57) SHADE TREES (OR EQUIVALENT) WILL BE IN ADDITION TO AND AN ENHANCEMENT OF ANY REQUIRED LANDSCAPING

AND SHALL BE BONDED. 4.A WAIVER TO SECTION 16.1169(c) IS NOT REQUIRED FOR THE THREE (3) STREAM CROSSINGS, THE PUBLIC UTILITY LINE EXTENSIONS AND FOR THE PATHWAY THROUGH OPEN SPACE WHICH WERE DETERMINED ESSENTIAL FOR ESSENTIAL ROAD CROSSINGS, UTILITY LINE CONNECTIONS AND PREDESTRIAN CONNECTIONS IN ACCORDANCE WITH SECTION

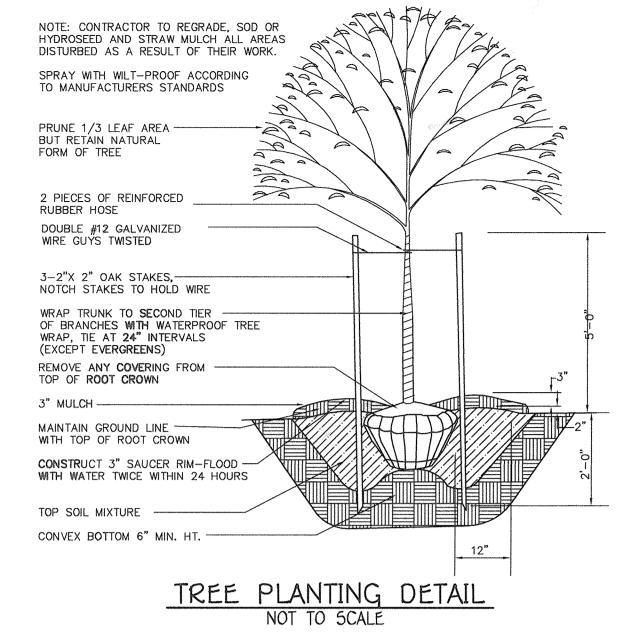
16.116(c) OF THE REGULATIONS. 5. THE REDUCTION OF THE MINIMUM OPEN SPACE FRONTAGE REQUIREMETS IS ONLY FOR THOSE OPEN SPACE LOTS DEPICTED ON THE SUBMITTED WAIVER EXHIBIT WHICH PROVIDES ACCESS TO STORMWATER MANAGEMENT

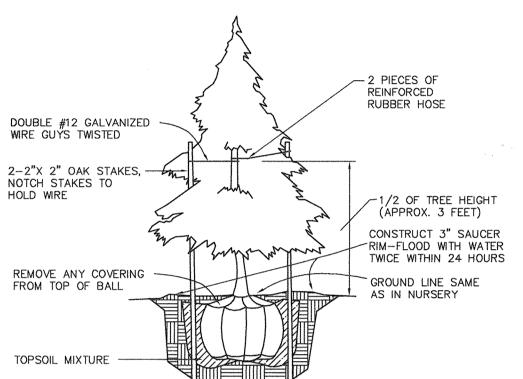
- ON JANUARY 6, 2016 WP 16-081 WAS GRANTED FOR THE FOLLOWING: · A WAIVER FROM SECFTION 16.1202(A) REQUIRING THE SUBMISSION OF A FOREST CONSERVATION PLAN FOR THE ENTIRE GROSS AREA IS PART OF THE SUBDIVISION PLAN PROCESS.
- A WAIVER FROM SECTION 16.147(C) REQUIRING A PLAT TO BE SUBMITTED AT A SCALE OF 1 INCH EQUALS 100 FEET, 1 INCH EQUALS 50 FEET OR 1 INCH EQUALS 30 FEET.
- APPROVAL IS SUBJECT TO THE FOLLOWING CONDITIONS: 1. THE APPLICANT MUST CONTINUE PROCESSING THE FINAL SUBDIVISION PLANS FOR ALL PHASES AND MEET ALL REQUIRED PROCESSING DEADLINE DATES IN ACCORDANCE WITH THE APPROVED APFO PHASING SCHEDULE FOR WESTMOUNT.
- 2. THIS APPROVAL OF THE FOREST CONSERVATION OBLIGATION REQUIREMENT IS ONLY AN ALLOWANCE TO TEMPORARILY DEFER THE RECORDATION OF FOREST CONSERVATION EASEMENTS AS A PHASED PROJECT. THE TOTAL FOREST CONSERVATION OBLIGATION REQUIREMENT FOR THE ENTIRE PROJECT SHALL BE ESTABLISHED AND RECORDED WITH THE LAST PHASE. THE FOREST CONSERVATION PLAN SUBMITTED WITH EACH OF THE 4 PHASES OF THIS PROJECT SHALL ESTABLISH AND RECORD THE MINIMUM FOREST CONSERVATION EASEMENT AREA FOR
- 3. COMPLIANCE WITH ALL SUBDIVISION REVIEW COMMITTEE COMMENTS FOR F-15-007, F-16-046 AND F-16-061. 4. THE WAIVER PETITION NUMBER (WP-16-081) AND ITS CONDITIONS OF APPROVAL MUST BE ADDED TO ALL FUTURE SUBDIMISION PLATS AND SITE DEVELOPMENT PLANS.

### WP 16-143 ON JUNE 20, 2016 WP 16-143 WAS GRANTED FOR THE FOLLOWING: • A WAIVER FROM SECTION 16.144(n)(1) REQUIRING THE SUBMISSION OF ADDITIONAL INFORMATION WITHIN 45 DAYS OF REQUEST.

APPROVAL IS SUBJECT TO THE FOLLOWING CONDITIONS:

- 1. COMPLIANCE WITH ALL SUBDIVISION REVIEW COMMITTEE COMMENTS FOR F-15-007, F-16-046, AND F-16-061. 2. THE REVISED PLAN FOR F-15-087 MUST BE RE-SUBMITTED ON OR
- BEFORE AUGUST 20, 2016. 3. THE WAIVER PETITION NUMBER (WP-16-041) AND ITS CONDITIONS OF APPROVAL MUST BE ADDED TO ALL FUTURE SUBDIVISION PLATS AND SITE DEVELOPMENT PLANS.

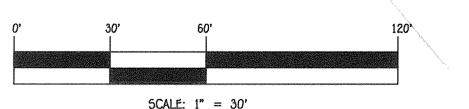




# EVERGREEN PLANTING DETAIL

	PERIMETER	LANDSCAPE	PLANT	LI5T
QTY.	KEY	NAME		SIZE
2		ACER GINNALA (AMAR MAPLE)		.0"-2.5" CAL FULL CROWN, B&B
2		PINUS STROBUS (WHITE PINE)		10' HT, B&B

SCHEDULE A PERIMETER LANDSCAPE EDGE							
PERIMETER	R-1	TOTAL					
LANDSCAPE TYPE	В						
LINEAR FEET OR ROADWAY FRONTAGE/PERIMETER	70.60	71					
CREDIT FOR EXISTING VEGETATION (YES, NO LINEAR FEET) (DESCRIBE BELOW IF NEEDED)	NO	NO					
CREDIT FOR WALL, FENCE OR BERM (YES, NO LINEAR FEET) (DESCRIBE BELOW IF NEEDED)	NO	NO					
NUMBER OF PLANTS REQUIRED SHADE TREES: 1 PER 50 LINEAR FEET EVERGREEN TREES: 1 PER 40 LINEAR FEET SHRUBS: N/A	2 2 -	2 2 -					
NUMBER OF PLANTS PROVIDED SHADE TREES EVERGREEN TREES SHRUBS	2 2 -	2 2 -					



### LANDSCAPE NOTES

- SHALL BE BONDED AS PART OF THE DPW GRADING PERMIT SURETY BOND. AT THE TIME OF INSTALLMENT, ALL SHRUBS AND OTHER PLANTINGS HEREWITH LISTED AND APPROVED FOR THIS SITE, SHALL BE OF THE PROPER HEIGHT REQUIREMENTS IN ACCORDANCE WITH THE HOWARD COUNTY LANDSCAPING MANUAL. IN ADDITION, NO SUBSTITUTIONS OR RELOCATION OF REQUIRED PLANTINGS MAY BE MADE WITHOUT PRIOR REVIEW AND APPROVAL FROM THE DEPARTMENT OF PLANNING AND ZONING. ANY DEVIATION FROM THIS APPROVED LANDSCAPE PLAN MAY RESULT IN DENIAL OR DELAY IN THE RELEASE OF LANDSCAPE SURETY UNTIL SUCH TIME AS ALL REQUIRED MATERIALS ARE PLANTED AND/OR REVISIONS ARE MADE TO APPLICABLE PLANS AND CERTIFICATES.
- 3. THE OWNER, TENANT, AND/OR THEIR AGENTS SHALL BE RESPONSIBLE FOR MAINTENANCE OF THE REQUIRED LANDSCAPING, INCLUDING BOTH PLANT MATERIALS AND BERMS, FENCES AND WALLS. ALL PLANT MATERIALS SHALL BE MAINTAINED IN GOOD GROWING CONDITION, AND WHEN NECESSARY, REPLACED WITH NEW MATERIALS TO ENSURE CONTINUED COMPLIANCE WITH APPLICABLE REGULATIONS. ALL OTHER REQUIRED LANDSCAPING SHALL BE PERMANENTLY MAINTAINED IN GOOD CONDITION, AND WHEN NECESSARY, REPAIRED OR REPLACED.
- BE A MINIMUM OF 3 INCHES IN CALIPER AND INSTALLED AS REQUIRED IN THE LANDSCAPE MANUAL."

# LANDSCAPE DEVELOPER'S CERTIFICATE

I/We certify that the landscaping shown on this plan will be done according to the plan, Section 16.124 of the Howard County Code and the Howard County Landscape Manual. I/We further certify that upon completion a letter of landscape installation accompanied by an executed one year guarantee of plant materials will be submitted to the Department of Planning and Zoning.

2/15/18

OWNER/BUILDER BEAZER HOMES, LLC 8965 GUILFORD ROAD - SUITE 290 COLUMBIA, MARYLAND 21046

(765) 894-0182

# APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING 3/15/18 3.13.18 3-16-18 PROJECT PHASE PARCEL NO.

WESTMOUNT TAX/ZONE | ELEC. DIST. BLOCK NO. ZONE CENSUS TR. 24127 R-ED PREVIOUS HOWARD COUNTY FILES:

F-07-124, F-11-050, ZB-1007M, WP-11-132, ECP-14-050, 5P-14-000, WP-15-030, WP-16-001 WP-16-143, PB400, THE DRRA IS RECORDED IN LIBER 12722, FOLIO 240, SDP-10-009 & SDP-10-01:

### STORMWATER MANAGEMENT/LANDSCAPE NOTES & DETAILS

# SINGLE FAMILY HOUSES WESTMOUNT

LOTS 3-6, 21-26, 20-32, AND 36-37 PHASE 1

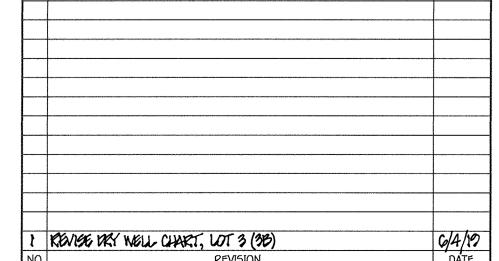
PREVIOUS HOWARD COUNTY FILES: F-07-124. F-11-058. ZB-1087M. WP-11-132. ECP-14-058. SP-14-008. WP-15-038. WP-16-081, WP-16-143, PB408, THE DRRA IS RECORDED IN LIBER 12722, FOLIO 248, F-15-087, 5DP-18-009, 5DP-18-018

> ZONED: R-ED TAX MAP NO.: 23 P/O PARCEL NO.: 149 GRID NO'5.: 6 & 12 SECOND ELECTION DISTRICT HOWARD COUNTY, MARYLAND SCALE: AS SHOWN DATE: OCTOBER, 2017

> > SHEET 8 OF 8

50P-18-027







# PROFESSIONAL CERTIFICATION

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND THAT I AM A DULY LICENSED PROFESSIONAL LAND SURVEYOR UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 21476, EXPIRATION DATE: 7/14/19.