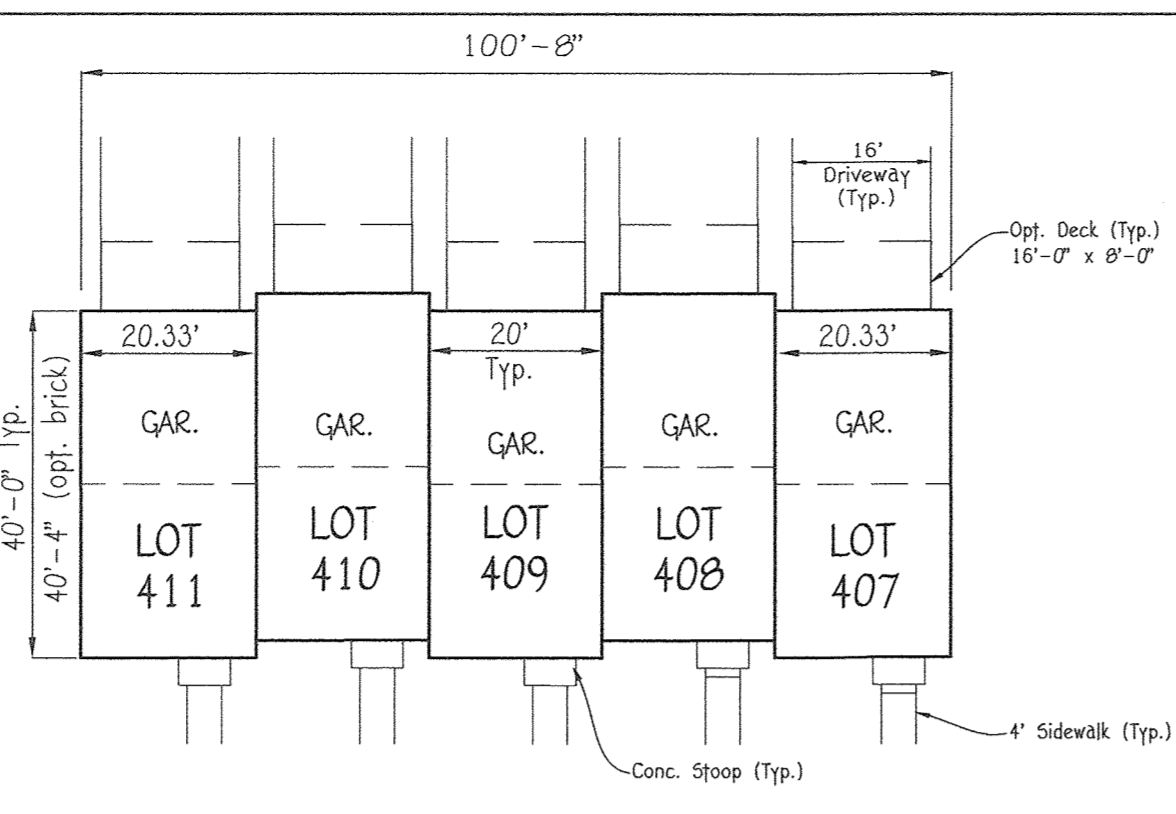
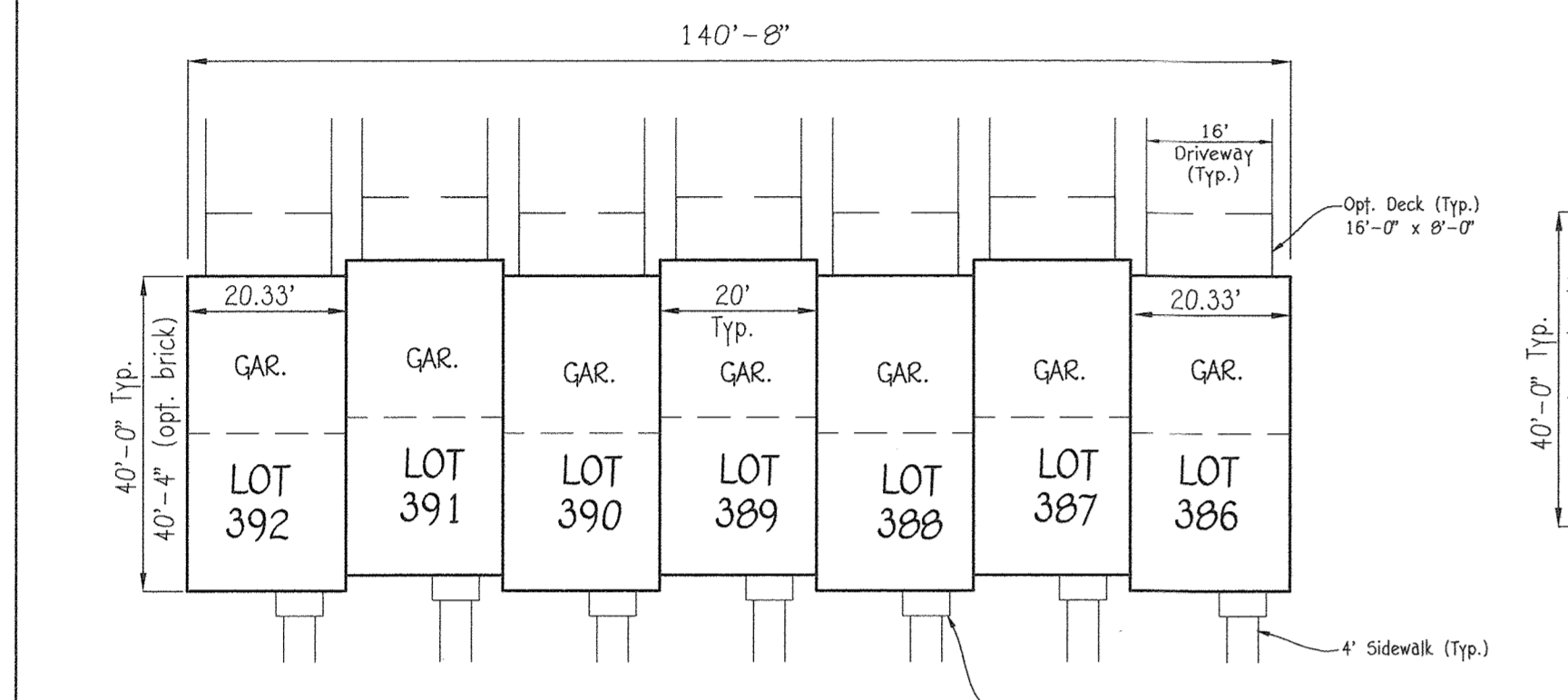


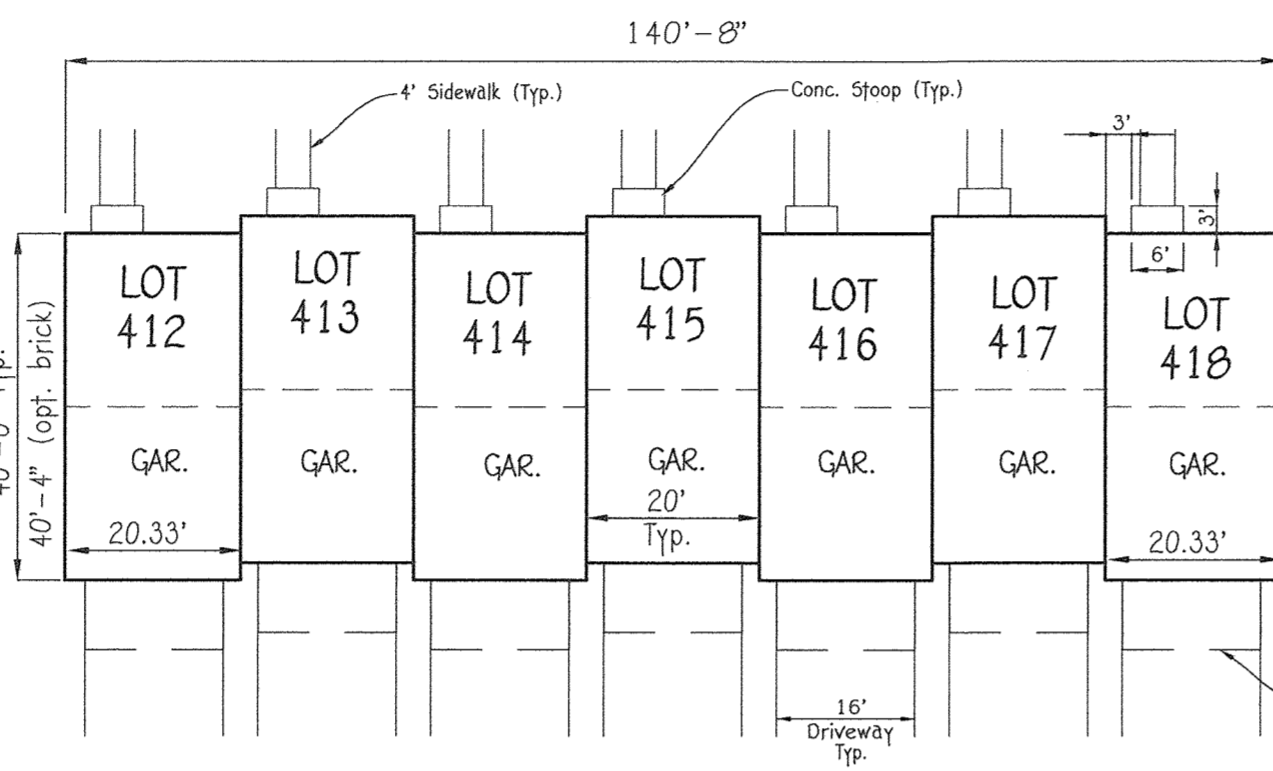
Lots 379 Thru 385 (7-Unit)



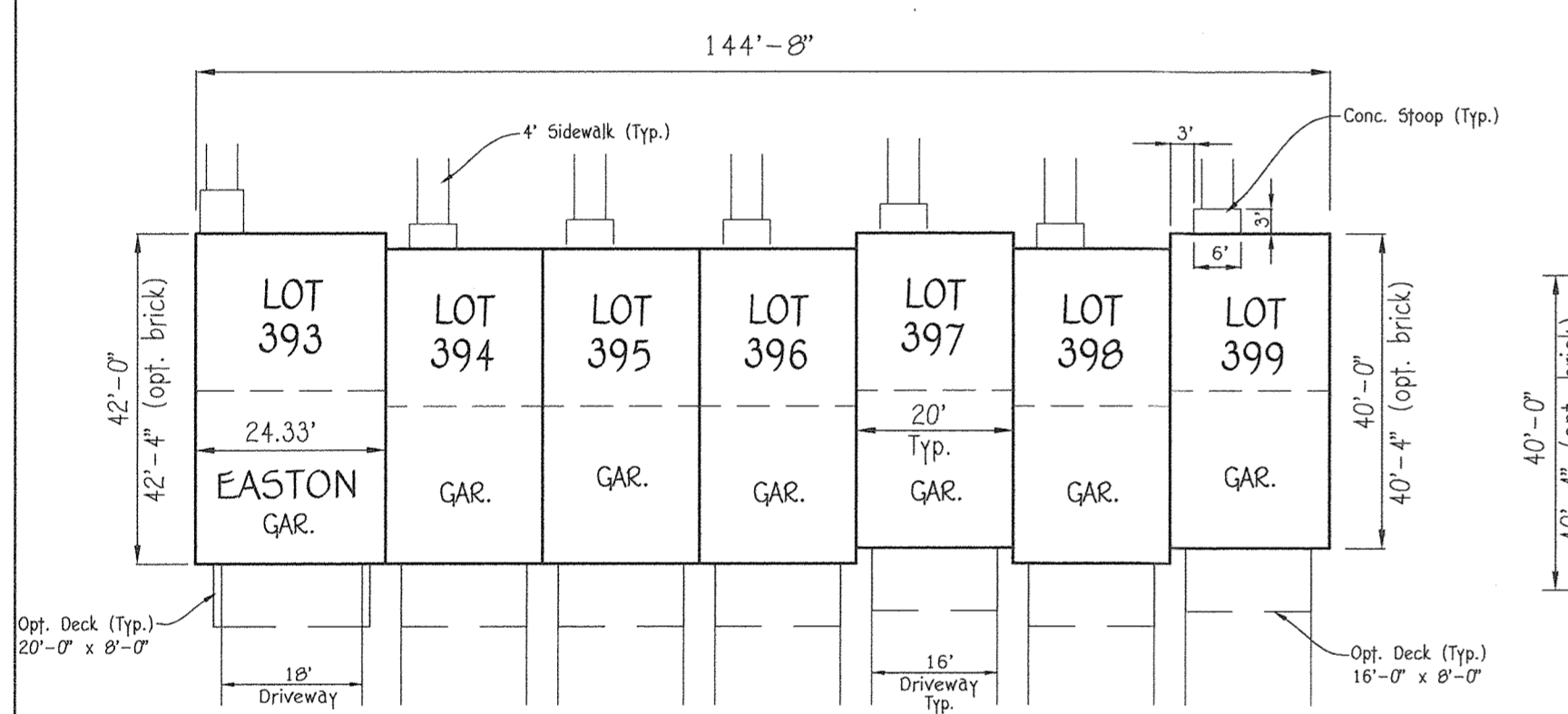
Lots 407 Thru 411 (5-Unit)



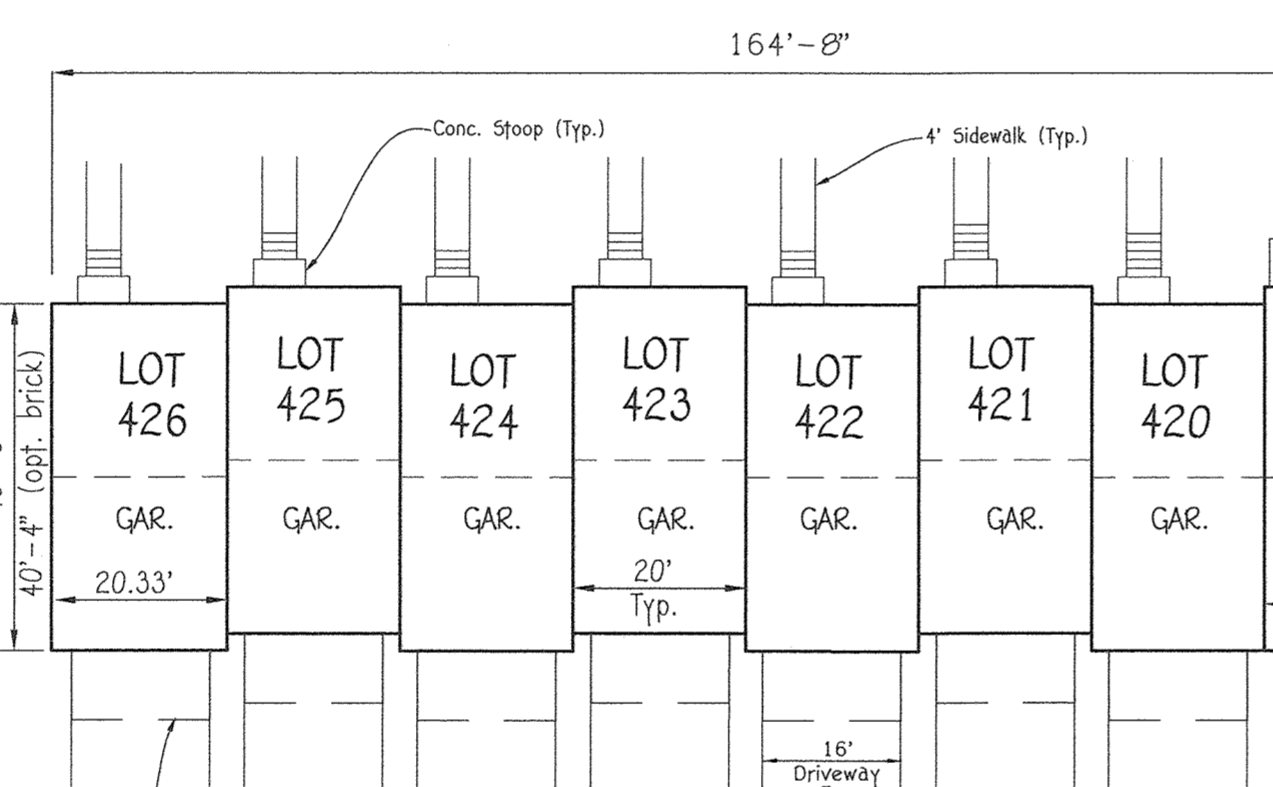
Lots 386 Thru 392 (7-Unit)



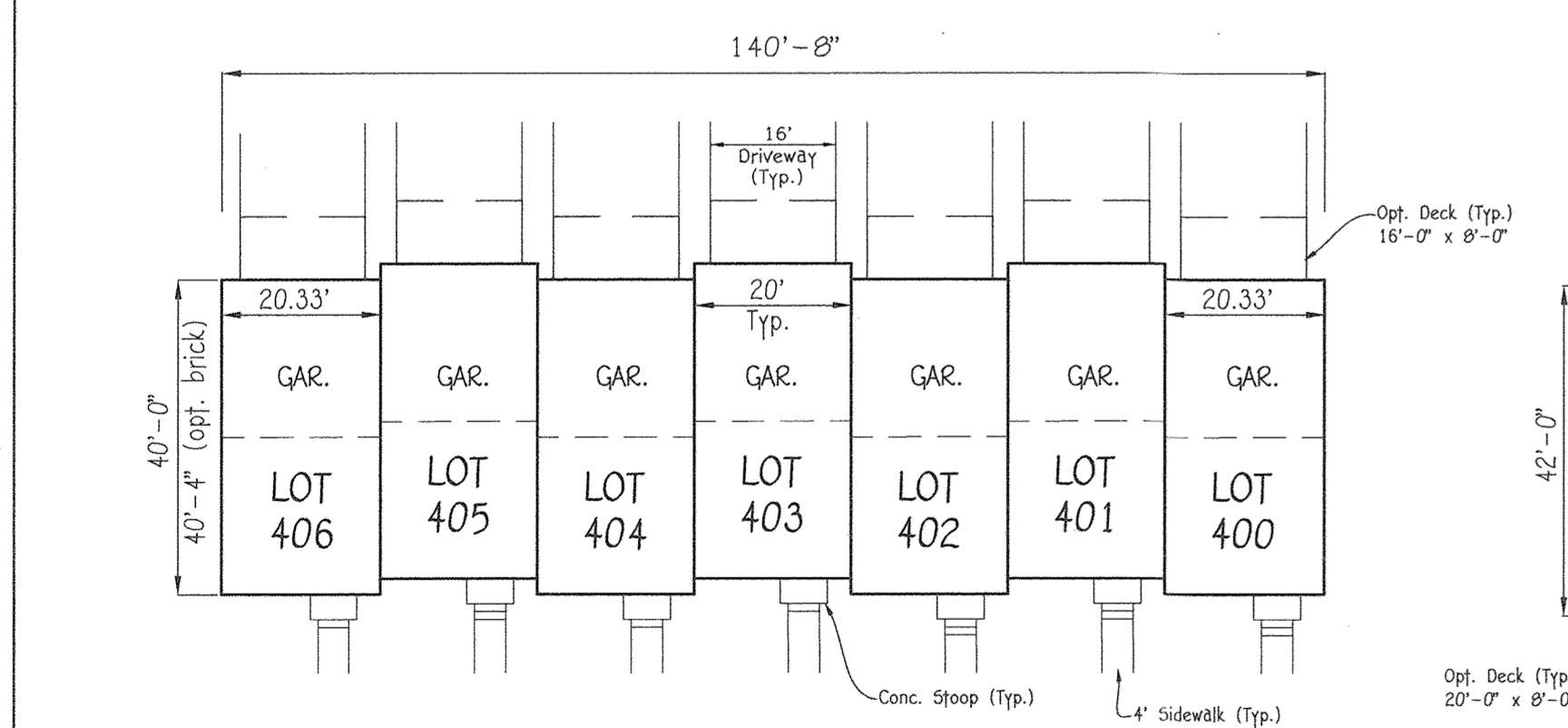
Lots 412 Thru 418 (7-Unit)



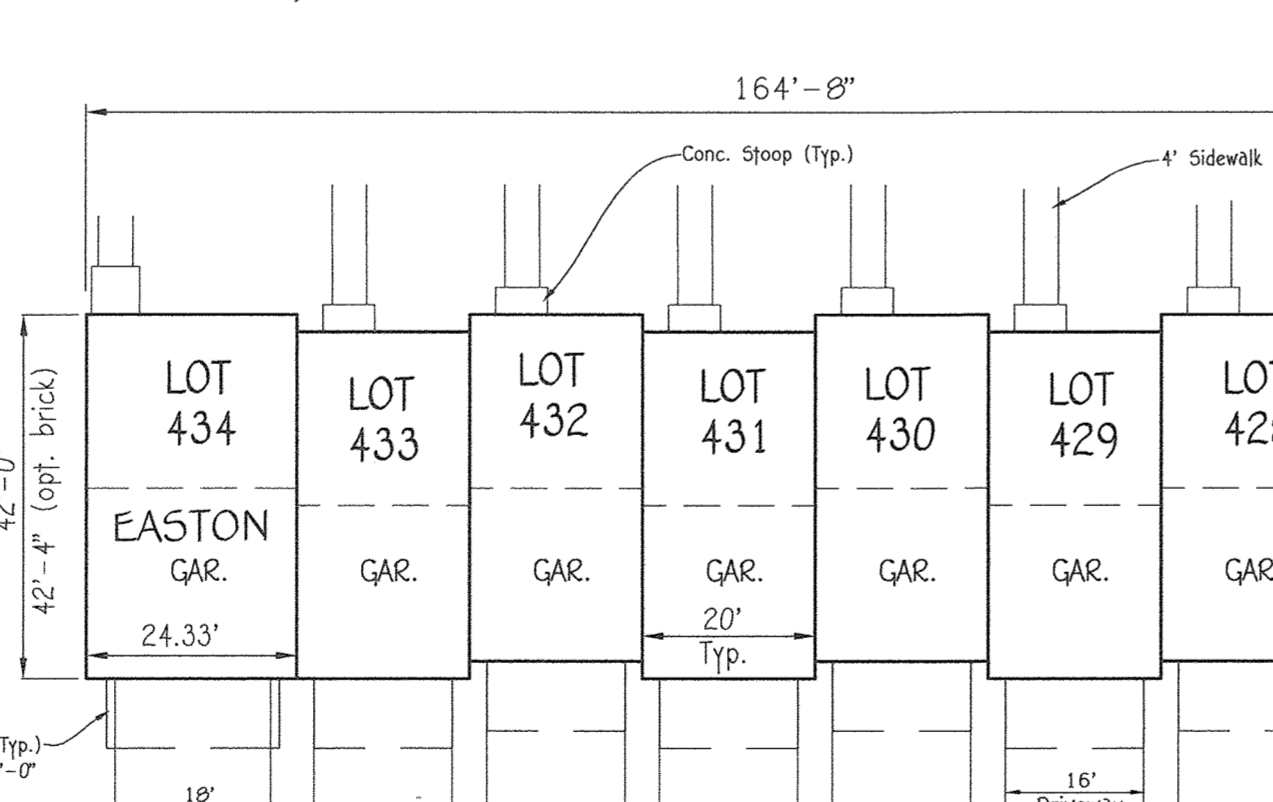
Lots 393 Thru 399 (7-Unit)



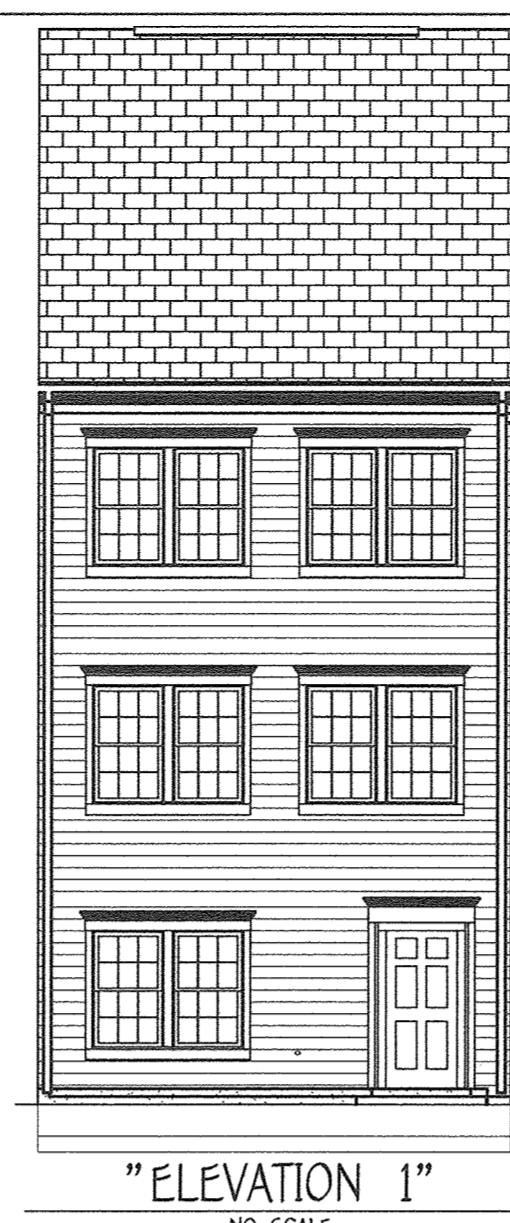
Lots 419 Thru 426 (8-Unit)



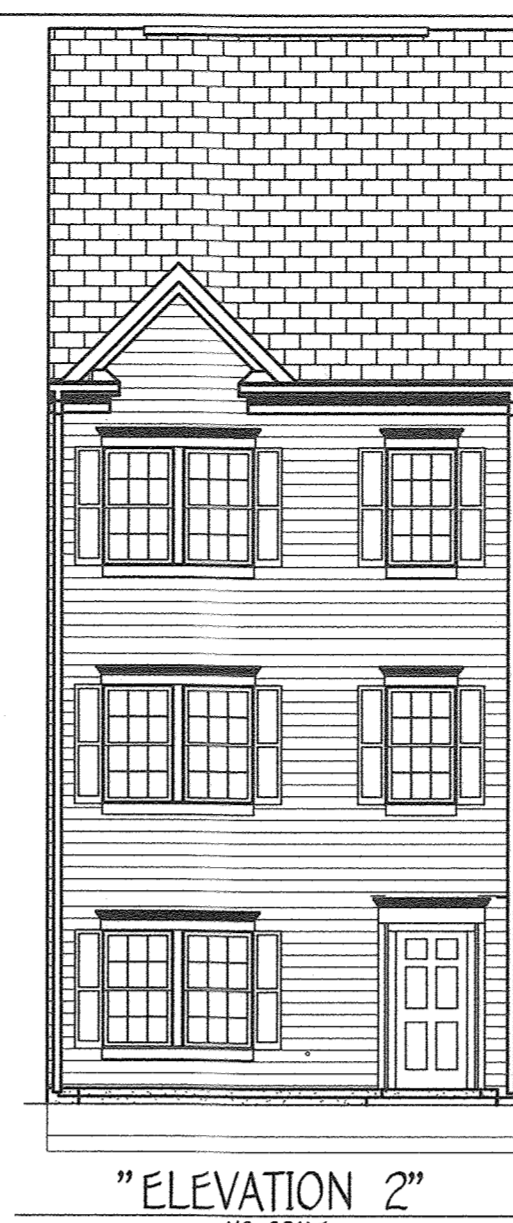
Lots 400 Thru 406 (7-Unit)



Lots 427 Thru 434 (8-Unit)



"ELEVATION 1"  
NO SCALE



"ELEVATION 2"  
NO SCALE



"ELEVATION 3"  
NO SCALE



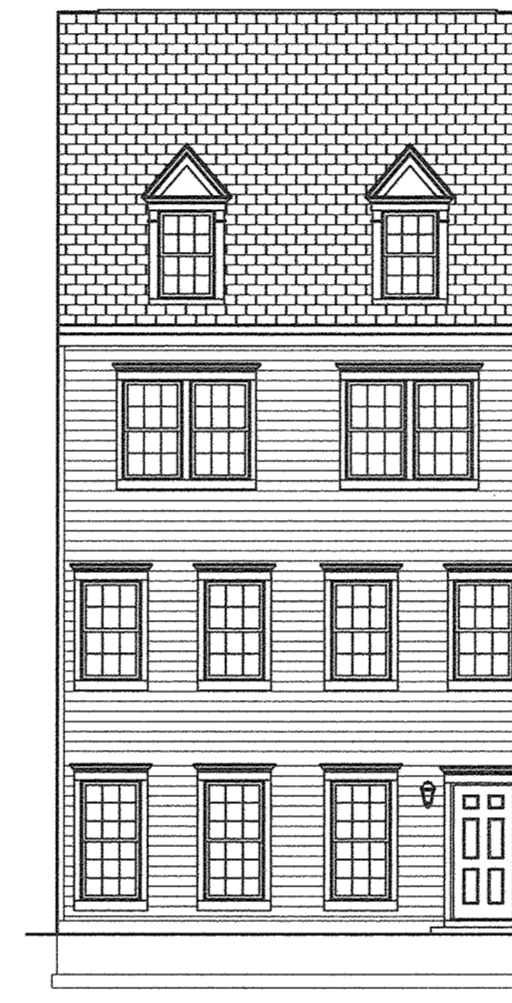
"ELEVATION 4"  
NO SCALE

NOTE: ALL FRONT ELEVATIONS SHOWN w/ FULL SIDING. ALSO AVAILABLE w/FULL BRICK & SIDING w/ BRICK WATER TABLE.

20' ARCADIA



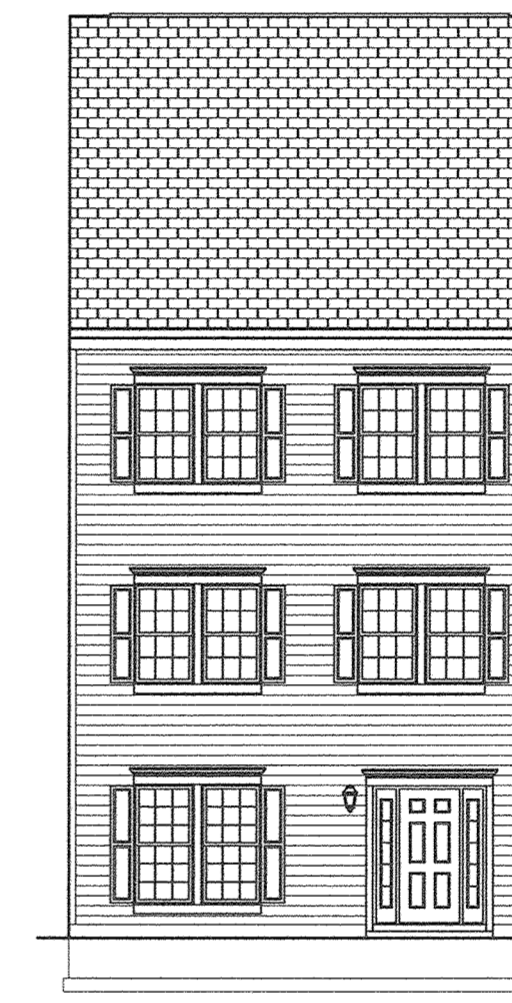
"ELEVATION 1"  
NO SCALE



"ELEVATION 2"  
NO SCALE



"ELEVATION 3"  
NO SCALE



"ELEVATION 4"  
NO SCALE

NOTE: ALL FRONT ELEVATIONS SHOWN w/ FULL SIDING. ALSO AVAILABLE w/FULL BRICK & SIDING w/ BRICK WATER TABLE.

24' EASTON

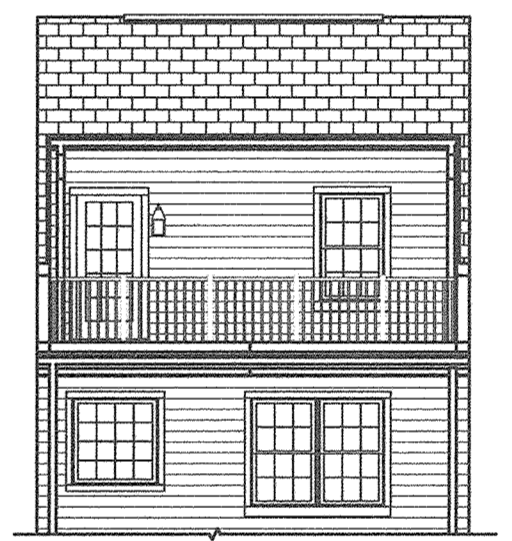


(24' EASTON)  
TYP. REAR ELEVATION  
NO SCALE

NOTE: SEE SHEET 6 FOR NOISE MITIGATION NOTES



SIDE ELEVATION  
NO SCALE



Rear Elevation w/Opt. Loft - (Open Loft Or Opt. Bedroom)



(20' ARCADIA)  
TYP. REAR ELEVATION  
NO SCALE

\* DECK NOTE: A DESIGN MANUAL WAIVER IS APPROVED, DATED JULY 17, 2018. (SEE GENERAL NOTE 40, SHEET 1) ALLOWING DECKS WITHIN 4'-FEET OF A PUBLIC UTILITY EASEMENT PER THE FOLLOWING CONDITIONS:

1. PROPOSED DECK SHALL BE A MAXIMUM SIZE OF 8 FEET DEEP FROM THE UNIT.
2. STRUCTURAL POST AND FOOTINGS SHALL BE A MIN. OF FIVE FEET FROM ANY WATER VALVE OR SEWER CLEANOUT OR WATER/SEWER APPURTENANCE (e.g. METER).
3. THE CONSTRUCTION OF ACCESS STEPS, FROM/TO EXTERIOR GRADE, FOR THE DECKS SHALL NOT BE PERMITTED.
4. THE DECK CONDITIONS AND SIZE LIMITATIONS APPROVED HEREIN SHALL BE NOTED AND DOCUMENTED ON THE WATER AND SEWER CONTRACT DRAWINGS, SITE DEVELOPMENT PLANS AND ELSEWHERE AS MAY BE DIRECTED BY DEVELOPMENT ENGINEERING DIVISION (DED).



DECK DETAIL ELEVATION SIDE VIEW  
NO SCALE

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

*Kyle Decker* Chief, Division of Land Development 6-12-19 Date  
*David L. Schaeffer* Chief, Development Engineering Division 5-6-19 Date  
*Nellie J. J. J. J.* Director - Department of Planning and Zoning 6-17-19 Date



**Owner**  
Killogg-CDP, LLC  
c/o David P. Schaeffer, Jr., Managing Member  
100 West Road, Suite 304  
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Ph: 410-296-3800

**Developer**  
Preston + Scheffner Properties  
100 West Road, Suite 304  
Towson, Maryland 21204  
Ph: 410-296-3800

NO.	REVISION	DATE

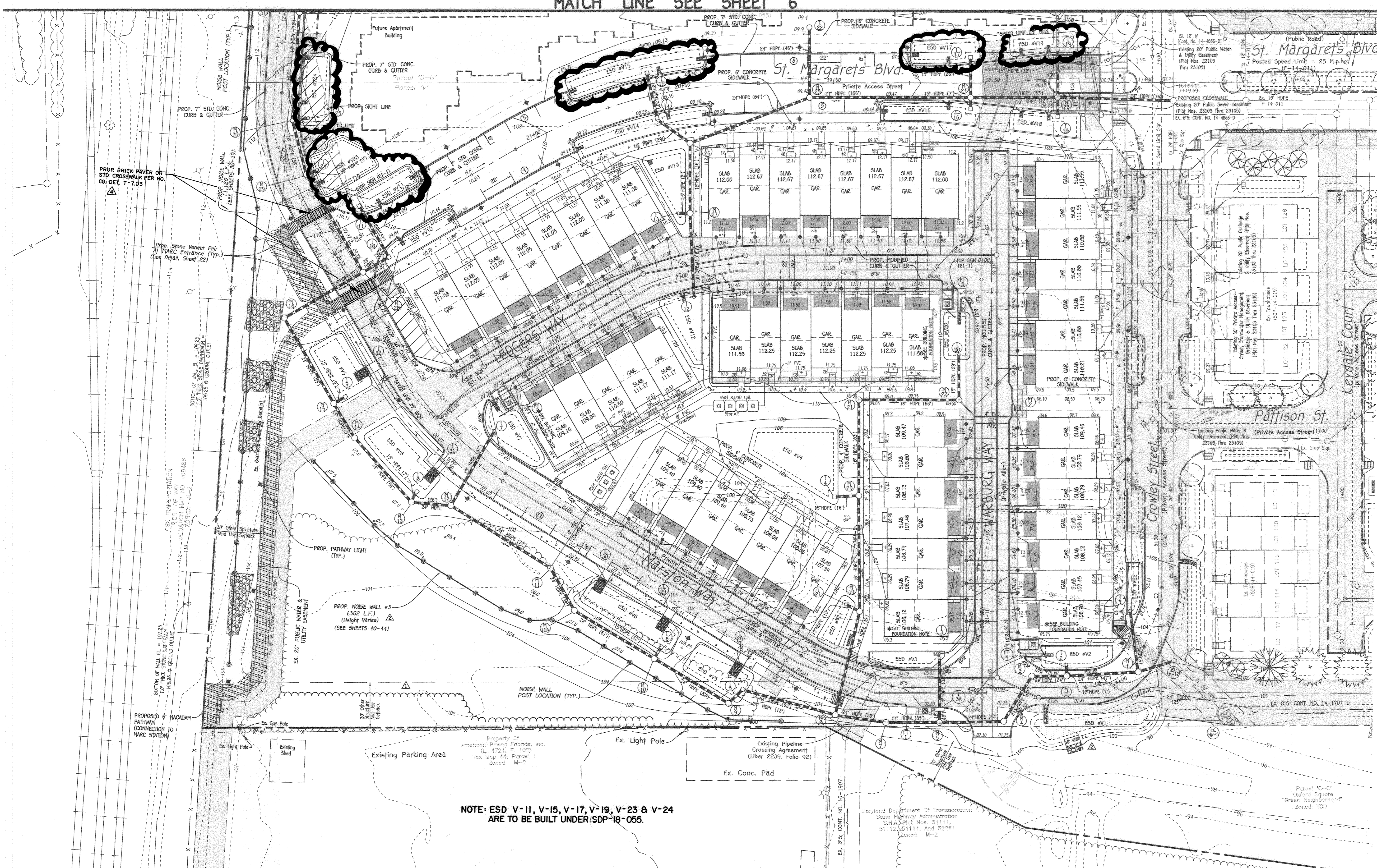
BUILDING ELEVATIONS

OXFORD SQUARE  
"A Howard County Green Neighborhood"  
LOTS 379-434, OPEN SPACE LOTS 435-439  
AND PARCEL 'H-H' & 'I-I'  
'THE YARDS'

(Being A Resubdivision Of Parcel 'G-G', As Shown On Plats Entitled "Oxford Square", "Green Neighborhood", "Parcels 'G-G', 'F-F', And Open Space Lot 377" Recorded As Plat Nos. 24351 Thru 24353 And A Resubdivision Of Parcel 'Y', As Shown On Resubdivision Plat Entitled "Oxford Square", "Green Neighborhood", "Parcels 'Y' Thru 'Z', 'A-A' Thru 'C-C'" And Open Space Lots 244 And 249" Recorded As Plat Nos. 23710 Thru 23715)

Zoned: TO  
Tax Map No.: 30 Grid No.: 20 Parcel No.: 1003  
First Election District: Howard County, Maryland  
Scale: As Shown  
Date: April 4, 2019  
Sheet 2 Of 14





- NOTES:**
- SEE SHEET 23 FOR TYPICAL ROADWAY SECTIONS & DETAILS.
  - SEE SHEETS 9 THRU 12 FOR 10' SCALE STORMWATER MANAGEMENT (ESD) PLAN VIEWS
  - SEE SHEET 11 FOR STORAGE TANKS 10' SCALE PLAN VIEW & SHEET 24 FOR STORAGE TANKS NOTES AND DETAILS.
  - SEE SHEET 20 FOR STONE RESERVOIR NOTES AND DETAILS.

**BUILDING FOUNDATION NOTE:**  
 BUILDER SHALL VERIFY THE DEPTH OF THE BUILDING FOUNDATION WITH THE ARCHITECT, GEOTECHNICAL AND STRUCTURAL ENGINEERS IN RELATION TO ADJACENT UTILITIES AND STORMWATER MANAGEMENT (ESD) FACILITIES.

**NOTE: SEE SHEET 6 FOR NOISE MITIGATION NOTES**

**LEGEND**

SYMBOL	DESCRIPTION
---100---	EXISTING CONTOUR 10' INTERVAL
---102---	EXISTING CONTOUR 2' INTERVAL
- - - - -	PROPOSED CONTOUR 10' INTERVAL
- - - - -	PROPOSED CONTOUR 2' INTERVAL
---	EXISTING TREENE LINE
5,000 Gal. Stor.	UNDERGROUND SWM STORAGE TANKS
■	PROPOSED 8" DECK
■	STONE RESERVOIR FOR SWM Rev
ESD #V1	STORMWATER MANAGEMENT DEVICE
—	STORM DRAIN
●	STREET LIGHT (proposed)
○	STREET LIGHT (existing)
○	STREET TREE (proposed)
○	STREET TREE (existing)
■	PROPOSED GARDEN BENCH
■	PROPOSED BRICK PEIR & SITE WALL
■	PROPOSED MAILBOX BANK
○	BORING LOCATION
○	PROPOSED 1-1/2" WHC
○	PROPOSED 4" SHC
○	PROPOSED TWIN SHC
—	65 dBA NOISE LINE W/BARRIER
—	65 dBA NOISE LINE W/O BARRIER
—	OVERHEAD ELECTRIC
■	PROPOSED 8" WIDE DECK

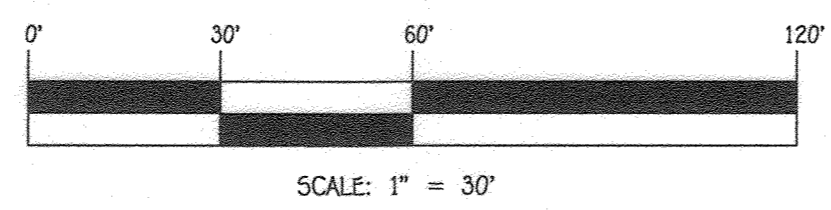
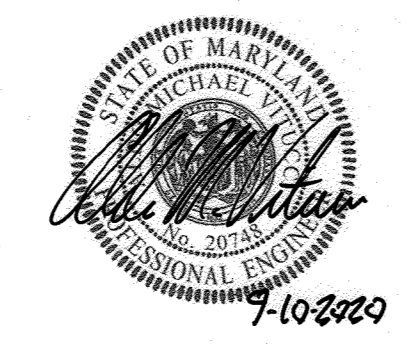
**NOTE: ESD V-II, V-15, V-17, V-19, V-23 & V-24 ARE TO BE BUILT UNDER SDP-18-055.**

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

Chief, Division of Land Development *[Signature]* 3/16/21 Date

Chief, Development Engineering Division *[Signature]* 12-9-20 Date

Director, Department of Planning and Zoning *[Signature]* 3-10-21 Date



**Owner**  
 Kellogg-DCP, LLC  
 c/o David P. Scheffenacker, Jr.  
 Managing Member  
 100 West Road, Suite 304  
 Towson, Maryland 21204  
 Ph: 410-296-3800

**Developer**  
 Preston • Scheffenacker Properties  
 100 West Road, Suite 304  
 Towson, Maryland 21204  
 Ph: 410-296-3800

NO.	REVISION	DATE
1	ADDED CROSSWALK NOTE	8/17/23
2	Removed ESD V-II, V-15, V-17, V-19 & V-23 Thru V-25	10-7-21
3	ADD ESD #V1, ADDITIONAL PAVING AND STORM DRAIN, MOVED NOISE WALL #3 AND ADJUSTED THE LOCATIONS OF SOME NOISE WALL #2 POSTS.	3/20/20
4	REVISE PROPOSED TREENE LINE	1/17/20

NO.	REVISION	DATE
1	ADDED CROSSWALK NOTE	8/17/23
2	Removed ESD V-II, V-15, V-17, V-19 & V-23 Thru V-25	10-7-21
3	ADD ESD #V1, ADDITIONAL PAVING AND STORM DRAIN, MOVED NOISE WALL #3 AND ADJUSTED THE LOCATIONS OF SOME NOISE WALL #2 POSTS.	3/20/20
4	REVISE PROPOSED TREENE LINE	1/17/20

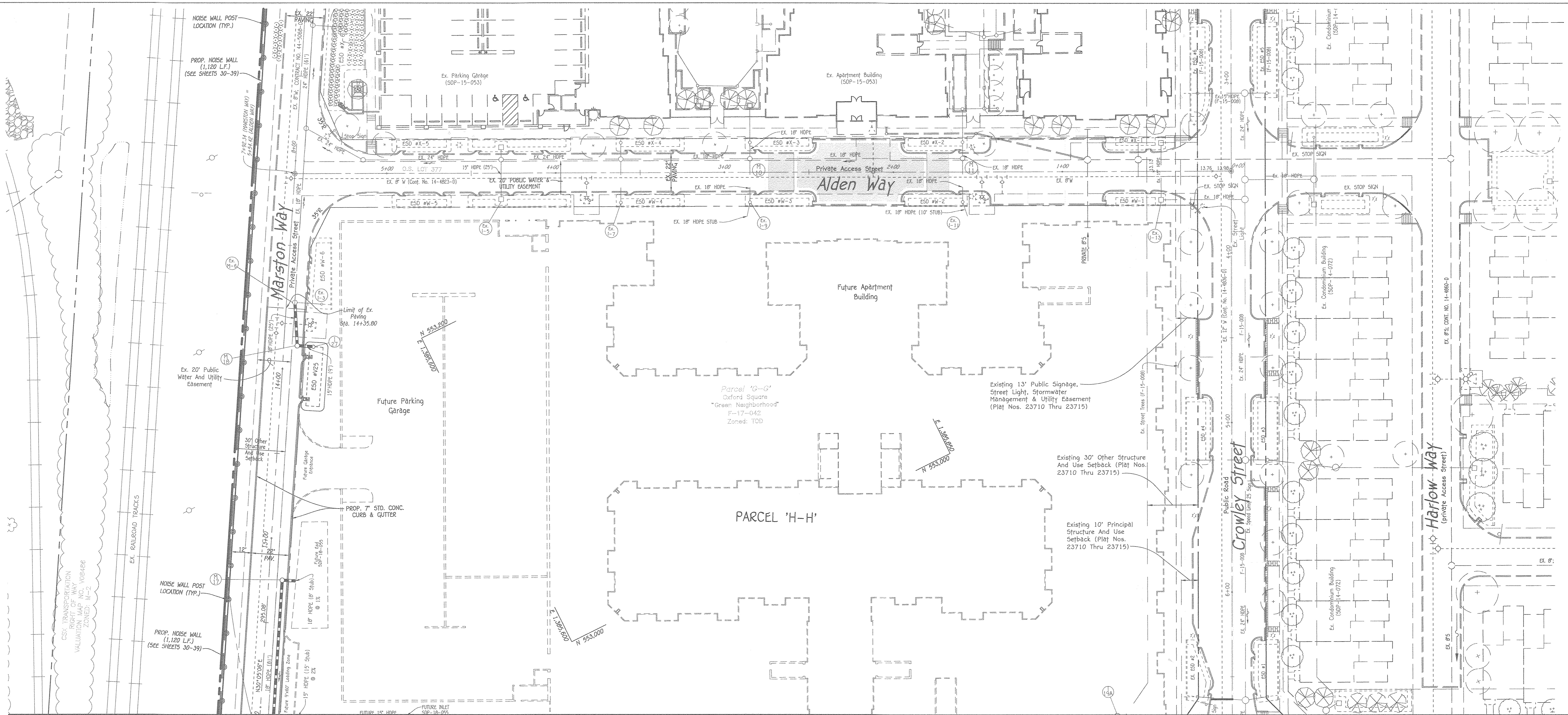
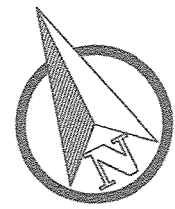
PLAT NO.	BLOCK NO.	ZONE	TAX/ZONE	ELEC. DIST.	CENSUS TR.
25047-25050	N/A	TOD	3B	1st.	601101

**REVISED SITE DEVELOPMENT PLAN OXFORD SQUARE**  
 "A Howard County Green Neighborhood"  
 LOTS 379-434, OPEN SPACE LOTS 435-439 AND PARCEL "H-H" & "I-I"  
 'THE YARDS'

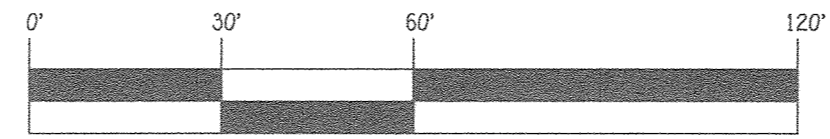
(Being A Re-subdivision Of Parcel "C-C", As Shown On Plats Entitled "Oxford Square, "Green Neighborhood", Parcels "G-G", "F-F", And Open Space Lot 377" Recorded As Plat Nos. 24351 Thru 24353) And A Re-subdivision Of Parcel "I-I", As Shown On Re-subdivision Plat Entitled "Oxford Square, "Green Neighborhood", Parcels "V-Z", "A-A" Thru "C-C" And Open Space Lots 244 And 245" Recorded As Plat Nos. 23710 Thru 23715)

Tax Map No.: 3B Grid No.: 20 Parcel No.: 1003  
 First Election District: Howard County, Maryland  
 Scale: As Shown  
 Date: March 20, 2020  
 Sheet 5 Of 44





MATCH LINE SEE SHEET 3



SCALE: 1" = 30'

LEGEND	
SYMBOL	DESCRIPTION
---100---	EXISTING CONTOUR 10' INTERVAL
---102---	EXISTING CONTOUR 2' INTERVAL
---100---	PROPOSED CONTOUR 10' INTERVAL
---102---	PROPOSED CONTOUR 2' INTERVAL
---	EXISTING TREELINE
	UNDERGROUND SWM STORAGE TANKS
	PROPOSED DECK
	STORMWATER MANAGEMENT DEVICE
	STORM DRAIN
	STREET LIGHT (proposed)
	STREET LIGHT (existing)
	STREET TREE (proposed)
	STREET TREE (existing)
	PROPOSED GARDEN BENCH
	PROPOSED BRICK PIER & SITE WALL
	PROPOSED MAILBOX BANK
	BORING LOCATION
	65 dBA NOISE W/BARRIER
	65 dBA NOISE W/O BARRIER
	OVERHEAD ELECTRIC
	EASEMENT TO BE ABANDONED

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

*Keith DeLoach* 6-12-19  
 Chief, Division of Land Development Date

*Al Chubb* 5-6-19  
 Chief, Development Engineering Division Date

*Valerie Zilli* 6-17-19  
 Director - Department of Planning and Zoning Date



**FISHER, COLLINS & CARTER, INC.**  
 CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS  
 NATIONAL SQUARE OFFICE PARK - 10772 BALTIMORE NATIONAL PARK  
 ELICOTT CITY, MARYLAND 21042  
 (410) 461-2895

**Owner**  
 Kellogg-CCP, LLC  
 c/o David P. Scheffnacker, Jr.,  
 Managing Member  
 100 West Road, Suite 304  
 Towson, Maryland 21204  
 Ph# 410-296-3800

**Developer**  
 Preston + Scheffnacker Properties  
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 Ph# 410-296-3800

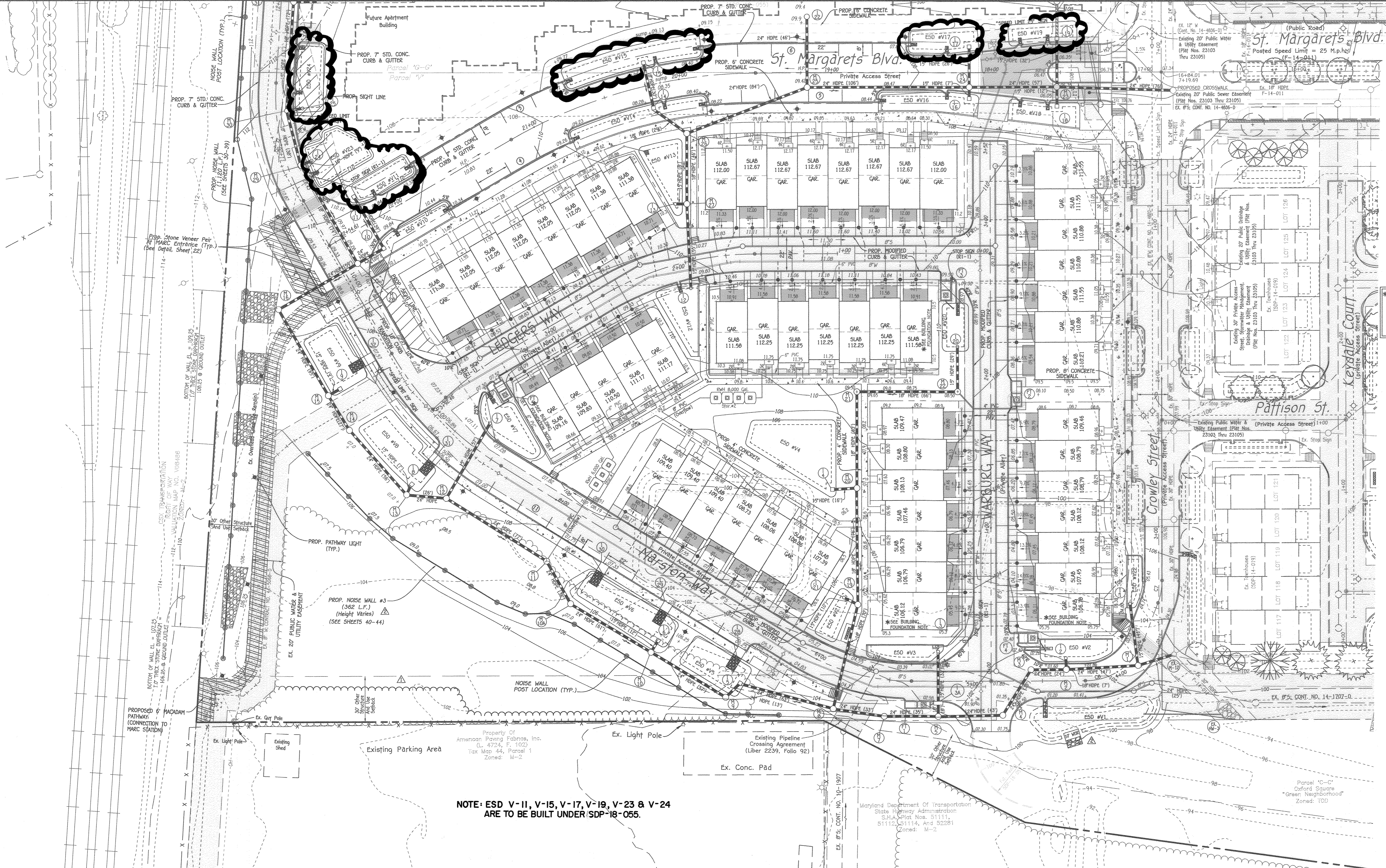
NO.		REVISION		DATE
SUBDIVISION	OXFORD SQUARE - 'THE YARDS'	SECTION/AREA	N/A	LOT Nos.
PLAT NO.	25047-25050	ZONE	TOD	CENSUS TR.
		TAX/ZONE	38	601101
		ELEC. DIST.	1st	

GEOMETRY PLAN  
**OXFORD SQUARE**  
 "A Howard County Green Neighborhood"  
 LOTS 379-434, OPEN SPACE LOTS 435-439  
 AND PARCEL 'H-H' & 'I-I'  
 'THE YARDS'

(Being A Resubdivision Of Parcel 'G-G', As Shown On Plats Entitled "Oxford Square, "Green Neighborhood", Parcels 'G-G', 'F-F', And Open Space Lot 377' Recorded As Plat Nos. 24351, Thru 24353) And A Resubdivision Of Parcel 'Y', As Shown On Resubdivision Plat Entitled "Oxford Square, "Green Neighborhood", Parcels 'Y' Thru 'Z', 'A-A' Thru 'C-C' And Open Space Lots 244 And 245' Recorded As Plat Nos. 23710 Thru 23715)

Zoned: TOD  
 Tax Map No.: 38 Grid No.: 20 Parcel No.: 1003  
 First Election District: Howard County, Maryland  
 Scale: As Shown  
 Date: April 4, 2019  
 Sheet 4 of 44





- NOTES:**
- SEE SHEET 23 FOR TYPICAL ROADWAY SECTIONS & DETAILS.
  - SEE SHEETS 9 THRU 12 FOR 10 SCALE STORMWATER MANAGEMENT (ESD) PLAN VIEWS
  - SEE SHEET 11 FOR STORAGE TANKS 10 SCALE PLAN VIEW & SHEET 24 FOR STORAGE TANKS NOTES AND DETAILS.
  - SEE SHEET 20 FOR STONE RESERVOIR NOTES AND DETAILS.

**\* BUILDING FOUNDATION NOTE:**  
 BUILDER SHALL VERIFY THE DEPTH OF THE BUILDING FOUNDATION WITH THE ARCHITECT, GEOTECHNICAL AND STRUCTURAL ENGINEERS IN RELATION TO ADJACENT UTILITIES AND STORMWATER MANAGEMENT (ESD) FACILITIES.

**NOTE: SEE SHEET 6 FOR NOISE MITIGATION NOTES**

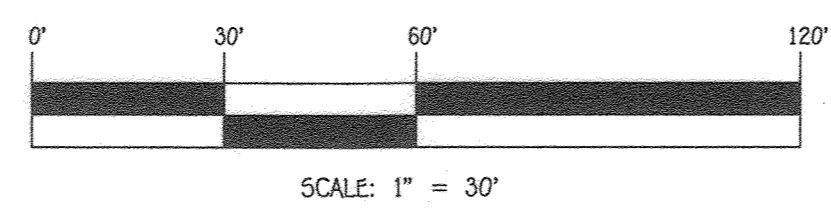
**LEGEND**

SYMBOL	DESCRIPTION
---100---	EXISTING CONTOUR 10' INTERVAL
---102---	EXISTING CONTOUR 2' INTERVAL
- - -100- - -	PROPOSED CONTOUR 10' INTERVAL
- - -102- - -	PROPOSED CONTOUR 2' INTERVAL
---	EXISTING TREETRINE
6,000 Gal. Stor.	UNDERGROUND SWM STORAGE TANKS
■	PROPOSED 8" DECK
■	STONE RESERVOIR FOR SWM Rev
ESD #V1	STORMWATER MANAGEMENT DEVICE
—	STORM DRAIN
●	STREET LIGHT (proposed)
○	STREET LIGHT (existing)
○	STREET TREE (proposed)
○	STREET TREE (existing)
■	PROPOSED GARDEN BENCH
■	PROPOSED BRICK PIER & SITE WALL
■	PROPOSED MAILBOX BANK
○	BORING LOCATION
○	PROPOSED 1-1/2" WHC
○	PROPOSED 4" SHC
○	PROPOSED TWIN SHC
---	65 dBA NOISE LINE W/BARRIER
---	65 dBA NOISE LINE W/O BARRIER
---	OVERHEAD ELECTRIC
---	PROPOSED 8" WIDE DECK

**NOTE: ESD V-II, V-15, V-17, V-19, V-23 & V-24 ARE TO BE BUILT UNDER SDP-18-055.**

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

Chief, Division of Land Development *[Signature]* 3/16/21 Date  
 Chief, Development Engineering Division *[Signature]* 12.9.20 Date  
 Director, Department of Planning and Zoning *[Signature]* 3-10-21 Date



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 Phe 410-296-3800

**Developer**  
 Preston • Scheffnacker Properties  
 100 West Road, Suite 304  
 Towson, Maryland 21204  
 Phe 410-296-3800

NO.	REVISION	DATE
3	Removed ESD V-II, V-15, V-17, V-19 & V-23 Thru V-25	10-28-21
4	ADD ESD #V1, ADDITIONAL PAVING AND STORM DRAIN, MOVED NOISE WALL #3 AND ADJUSTED THE LOCATIONS OF SOME NOISE WALL #2 POSTS.	3/20/20
5	REVISE PROPOSED TREETRINE	1/17/20

SUBDIVISION	SECTION/AREA	LOT Nos.
OXFORD SQUARE - 'THE YARDS'	N/A	379-434
PLAT NO.	BLOCK NO.	ZONE
25047-25050	N/A	TOD
		ELEC. DIST.
		1st.
		CENSUS TR.
		601101

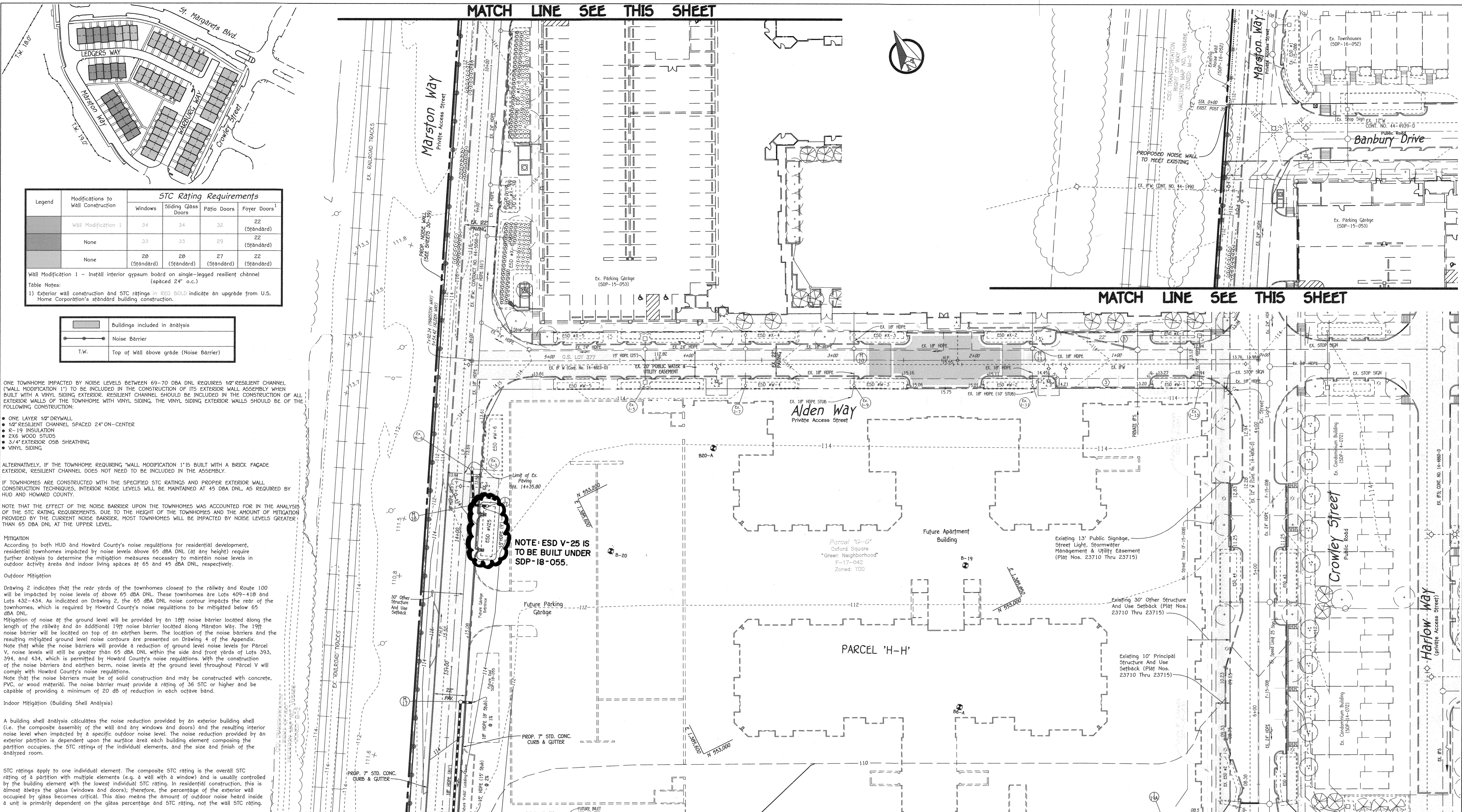
**REVISED SITE DEVELOPMENT PLAN OXFORD SQUARE**

"A Howard County Green Neighborhood"  
 LOTS 379-434, OPEN SPACE LOTS 435-439 AND PARCEL "H-H" & "I-I"  
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(Being A Resubdivision Of Parcel "G-G", As Shown On Plat Entitled "Oxford Square, "Green Neighborhood", Parcels "G-G", "F-F", And Open Space Lot 377" Recorded As Plat Nos. 24351 Thru 24353 And A Resubdivision Of Parcel "V", As Shown On Resubdivision Plat Entitled "Oxford Square, "Green Neighborhood", Parcels "V", "Z", "A-A" Thru "C-C" And Open Space Lots 244 And 245" Recorded As Plat Nos. 23710 Thru 23715)  
 Tax Map No.: 3B Grid No.: 2D Parcel No.: 1003  
 First Election District: Howard County, Maryland  
 Scale: As Shown  
 Date: March 20, 2020  
 Sheet 5 of 44



MATCH LINE SEE THIS SHEET



Legend	Modifications to Wall Construction	STC Rating Requirements			
		Windows	Sliding Glass Doors	Patio Doors	Foyer Doors
Wall Modification 1	34	34	32	22 (Standard)	
None	33	33	29	22 (Standard)	
None	28 (Standard)	28 (Standard)	27 (Standard)	22 (Standard)	

Wall Modification 1 - Install interior gypsum board on single-legged resilient channel (spaced 24" o.c.)

Table Notes:  
 1) Exterior wall construction and STC ratings in RED BOLD indicate an upgrade from U.S. Home Corporation's standard building construction.

	Buildings included in analysis
	Noise Barrier
	Top of Wall above grade (Noise Barrier)

ONE TOWNHOME IMPACTED BY NOISE LEVELS BETWEEN 69-70 DBA DNL REQUIRES 1/2" RESILIENT CHANNEL ("WALL MODIFICATION 1") TO BE INCLUDED IN THE CONSTRUCTION OF ITS EXTERIOR WALL ASSEMBLY WHEN BUILT WITH A VINYL SIDING EXTERIOR. RESILIENT CHANNEL SHOULD BE INCLUDED IN THE CONSTRUCTION OF ALL EXTERIOR WALLS OF THE TOWNHOME WITH VINYL SIDING. THE VINYL SIDING EXTERIOR WALLS SHOULD BE OF THE FOLLOWING CONSTRUCTION:

- ONE LAYER 1/2" DRYWALL
- 1/2" RESILIENT CHANNEL SPACED 24" ON-CENTER
- R-19 INSULATION
- 2X6 WOOD STUDS
- 3/4" EXTERIOR OSB SHEATHING
- VINYL SIDING

ALTERNATIVELY, IF THE TOWNHOME REQUIRING "WALL MODIFICATION 1" IS BUILT WITH A BRICK FAÇADE EXTERIOR, RESILIENT CHANNEL DOES NOT NEED TO BE INCLUDED IN THE ASSEMBLY.

IF TOWNHOMES ARE CONSTRUCTED WITH THE SPECIFIED STC RATINGS AND PROPER EXTERIOR WALL CONSTRUCTION TECHNIQUES, INTERIOR NOISE LEVELS WILL BE MAINTAINED AT 45 DBA DNL, AS REQUIRED BY HUD AND HOWARD COUNTY.

NOTE THAT THE EFFECT OF THE NOISE BARRIER UPON THE TOWNHOMES WAS ACCOUNTED FOR IN THE ANALYSIS OF THE STC RATING REQUIREMENTS. DUE TO THE HEIGHT OF THE TOWNHOMES AND THE AMOUNT OF MITIGATION PROVIDED BY THE CURRENT NOISE BARRIER, MOST TOWNHOMES WILL BE IMPACTED BY NOISE LEVELS GREATER THAN 65 DBA DNL AT THE UPPER LEVEL.

**Mitigation**  
 According to both HUD and Howard County's noise regulations for residential development, residential townhomes impacted by noise levels above 65 dBA DNL (at any height) require further analysis to determine the mitigation measures necessary to maintain noise levels in outdoor activity areas and indoor living spaces at 65 and 45 dBA DNL, respectively.

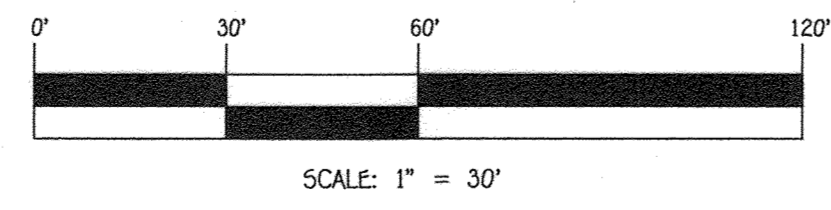
**Outdoor Mitigation**  
 Drawing 2 indicates that the rear yards of the townhomes closest to the railway and Route 100 will be impacted by noise levels above 65 dBA DNL. These townhomes are Lots 409-418 and Lots 432-434. As indicated on Drawing 2, the 65 dBA DNL noise contour impacts the rear of the townhomes, which is required by Howard County's noise regulations to be mitigated below 65 dBA DNL.

Mitigation of noise at the ground level will be provided by an 18ft noise barrier located along the length of the railway and an additional 19ft noise barrier located along Marston Way. The 19ft noise barrier will be located on top of an earthen berm. The location of the noise barriers and the resulting mitigated ground level noise contours are presented on Drawing 4 of the Appendix. Note that while the noise barriers will provide a reduction of ground level noise levels for Parcel V, noise levels will still be greater than 65 dBA DNL within the side and front yards of Lots 393, 394, and 434, which is permitted by Howard County's noise regulations. With the construction of the noise barriers and earthen berm, noise levels at the ground level throughout Parcel V will comply with Howard County's noise regulations. Note that the noise barriers must be of solid construction and may be constructed with concrete, PVC, or wood material. The noise barrier must provide a rating of 36 STC or higher and be capable of providing a minimum of 20 dB of reduction in each octave band.

**Indoor Mitigation (Building Shell Analysis)**  
 A building shell analysis calculates the noise reduction provided by an exterior building shell (i.e. the composite assembly of the wall and any windows and doors) and the resulting interior noise level when impacted by a specific outdoor noise level. The noise reduction provided by an exterior partition is dependent upon the surface area each building element composing the partition occupies, the STC ratings of the individual elements, and the size and finish of the analyzed room.

STC ratings apply to one individual element. The composite STC rating is the overall STC rating of a partition with multiple elements (e.g. a wall with a window) and is usually controlled by the building element with the lowest individual STC rating. In residential construction, this is almost always the glass (windows and doors); therefore, the percentage of the exterior wall occupied by glass becomes critical. This also means the amount of outdoor noise heard inside a unit is primarily dependent on the glass percentage and STC rating, not the wall STC rating.

**NOTE: ESD V-25 IS TO BE BUILT UNDER SDP-18-055.**



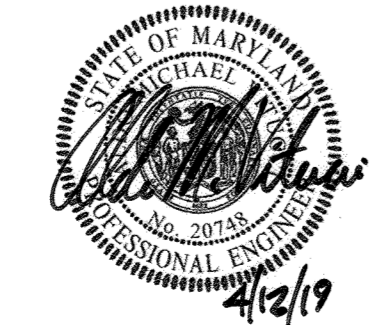
APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

*Kentel Chow* 6-17-19  
 Chief, Division of Land Development Date

*John Chubb* 5-6-19  
 Chief, Development Engineering Division Date

*Valerie J. Kelly* 6-17-19  
 Director - Department of Planning and Zoning Date

**FISHER, COLLINS & CARTER, INC.**  
 CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS  
 CENTRAL SQUARE OFFICE PARK - 10272 BALTIMORE NATIONAL PIKE  
 ELIJAH CITY, MARYLAND 21042  
 (410) 461 - 2299



MATCH LINE SEE SHEET 5

Owner	Developer
Kellogg-CCP, LLC c/o David P. Scheffenacker, Jr., Managing Member 100 West Road, Suite 304 Towson, Maryland 21204 Ph: 410-296-3800	Preston - Scheffenacker Properties 100 West Road, Suite 304 Towson, Maryland 21204 Ph: 410-296-3800

SUBDIVISION		SECTION/AREA	LOT NOS.
OXFORD SQUARE - "THE YARDS"		N/A	379-434
PLAT NO.	BLOCK NO.	TAX/ZONE	ELEC. DIST.
25047-25050	N/A	TOD 3B	1st
REVISION		DATE	
1 Removed ESD V-11, V-16, V-17, V-19 & V-23 Thru V-25		10-7-21	
CENSUS TR.		DATE	
601101		6/11/01	

**SITE DEVELOPMENT PLAN**  
**OXFORD SQUARE**  
 "A Howard County Green Neighborhood"  
 LOTS 379-434, OPEN SPACE LOTS 435-439  
 AND PARCEL "H-H" & "I-I"  
 "THE YARDS"

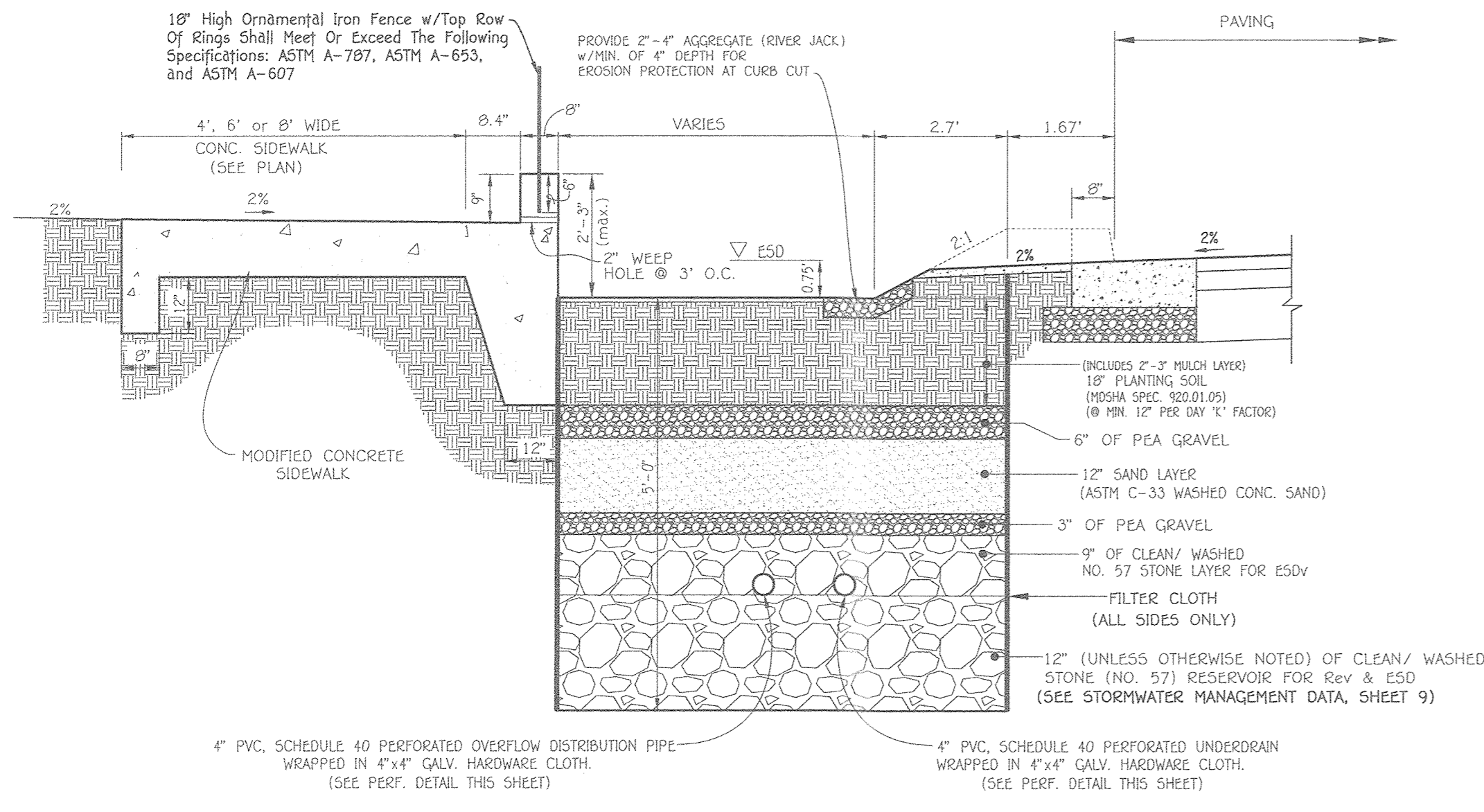
(Being A Resubdivision Of Parcel "G-G", As Shown On Plats Entitled "Oxford Square, "Green Neighborhood", Parcels "G-G", "F-F", And Open Space Lot 377 Recorded As Plat Nos. 24351 Thru 24353) And A Resubdivision Of Parcel "V", As Shown On Resubdivision Plat Entitled "Oxford Square, "Green Neighborhood", Parcels "V" Thru "Z", "A-A" Thru "C-C" And Open Space Lots 244 And 245" Recorded As Plat Nos. 23710 Thru 23715)

Zoned: TOD  
 Tax Map No.: 3B Grid No.: 20 Parcel No.: 1003  
 First Election District: Howard County, Maryland  
 Scale: As Shown  
 Date: April 4, 2019  
 Sheet 6 Of 44

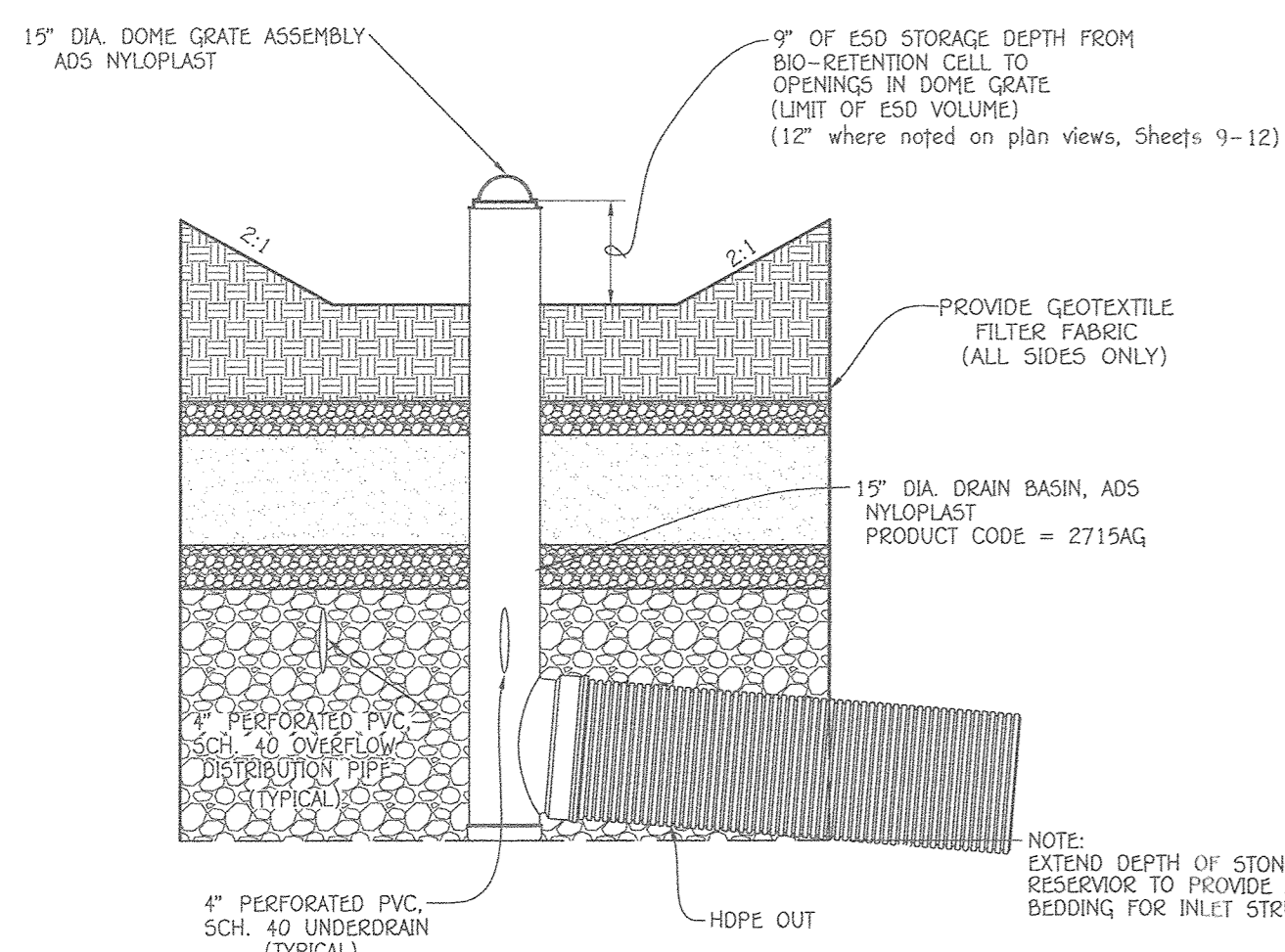




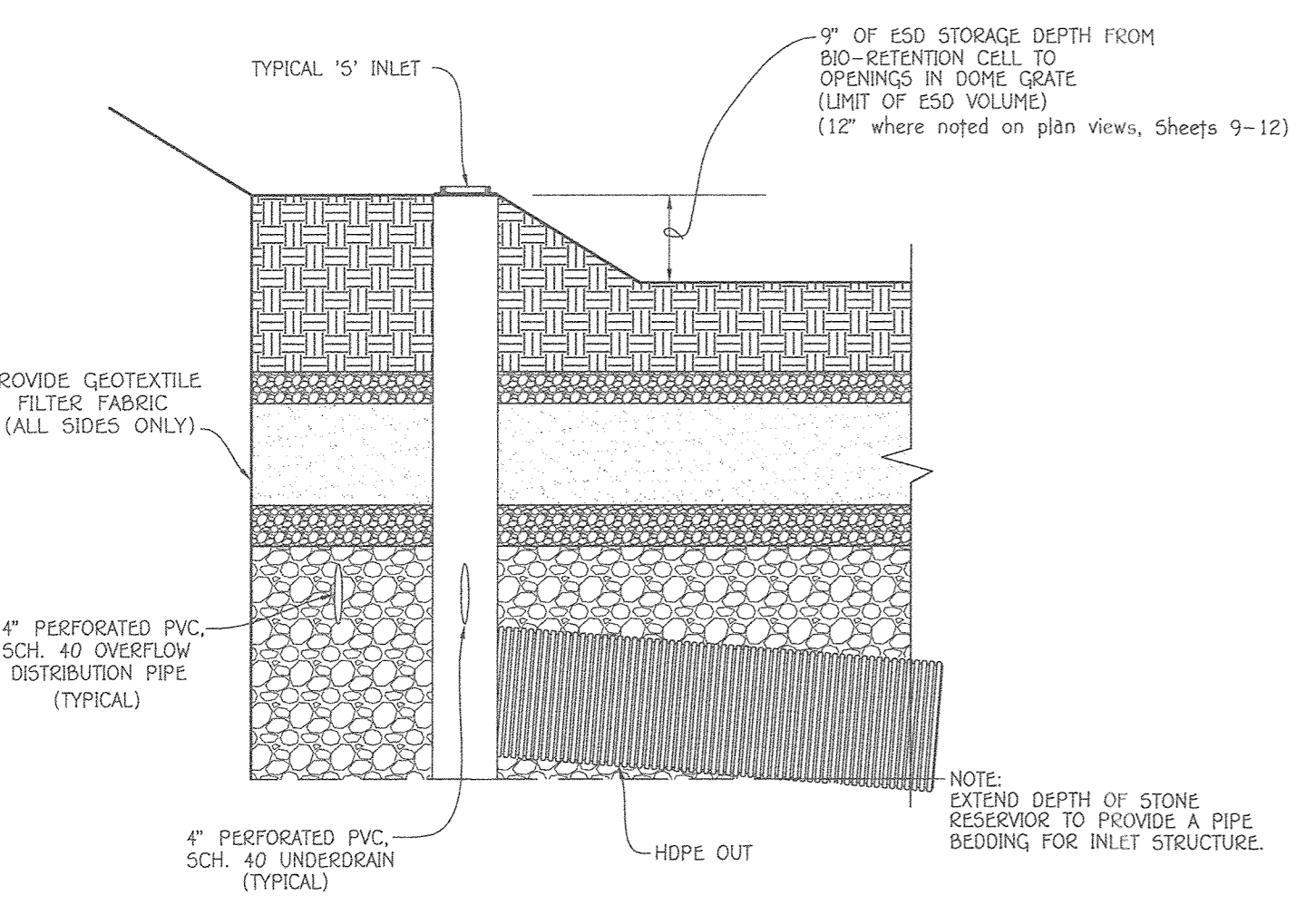




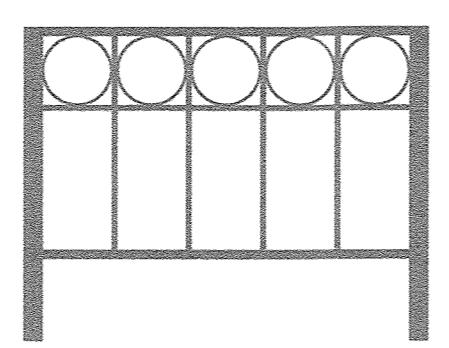
**TYPICAL BIO-RETENTION (M-Ø) ADJACENT TO ROADWAY @ CURB CUT AND/OR SIDEWALK**  
NO SCALE



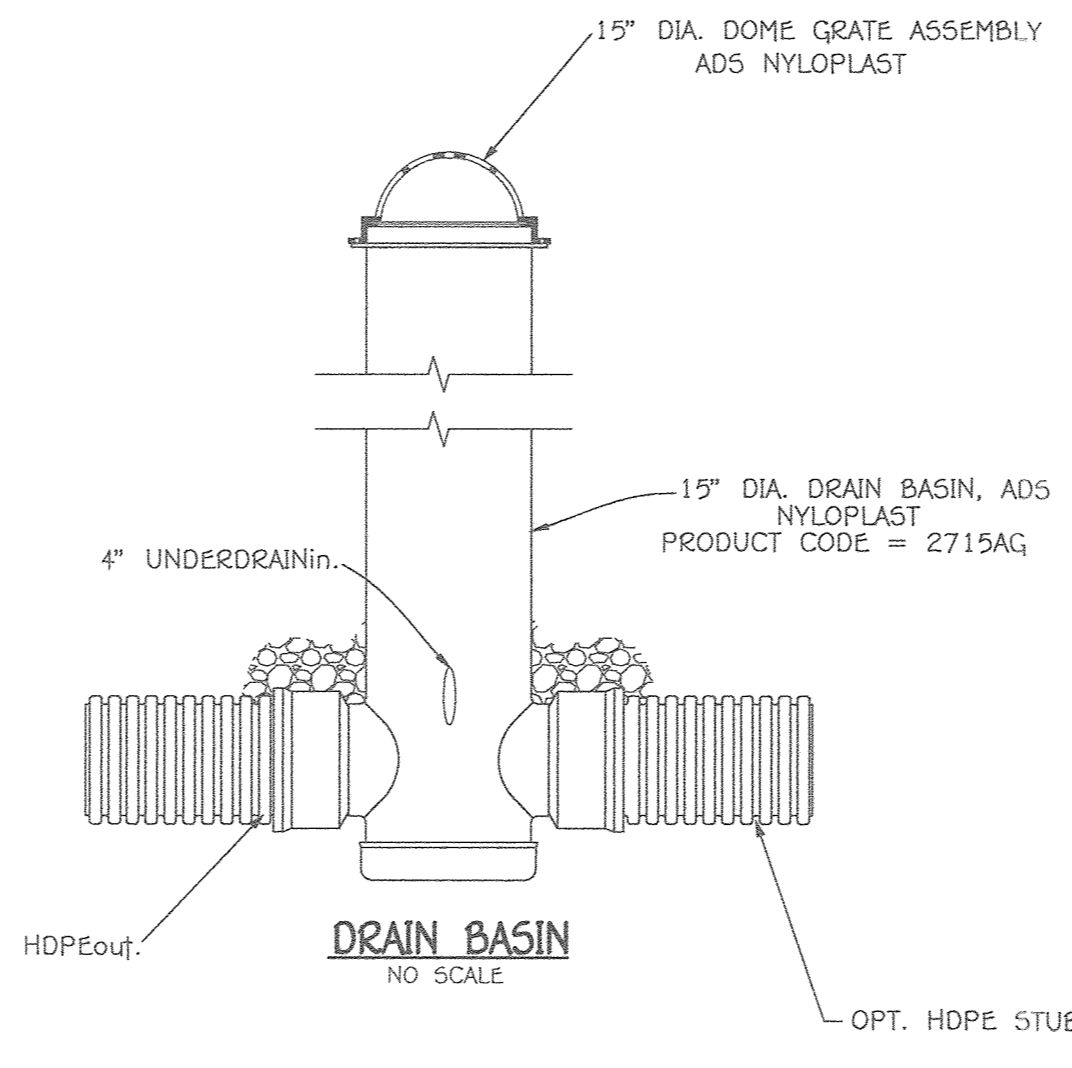
**TYPICAL 15\"/>**



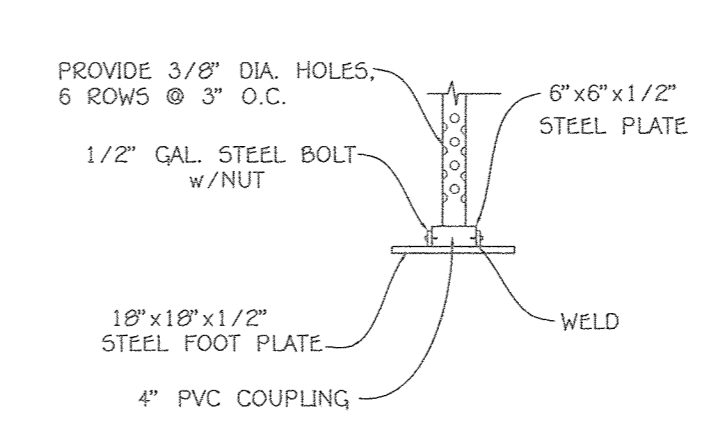
**TYPICAL 5\"/>**



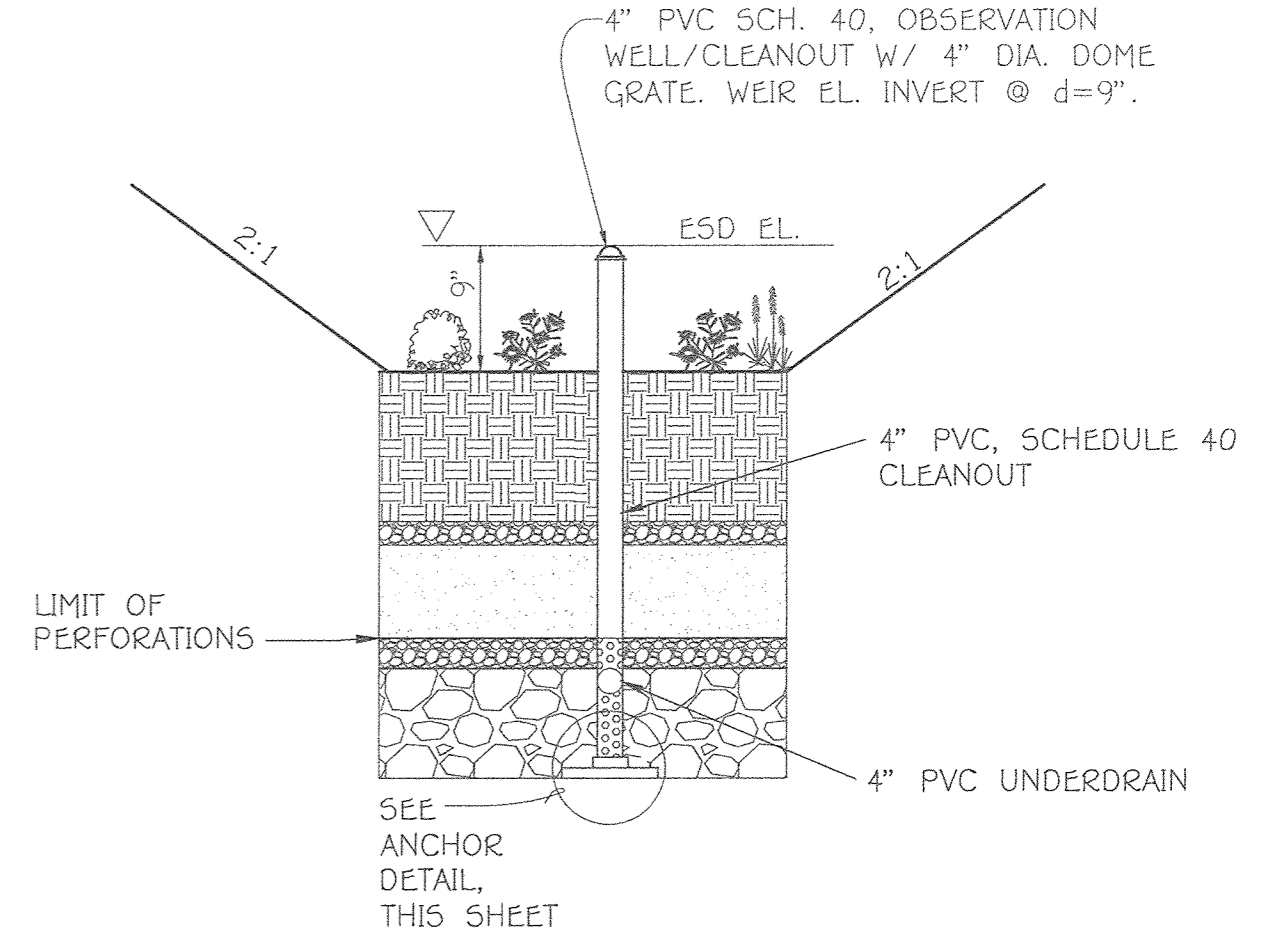
**18\"/>**



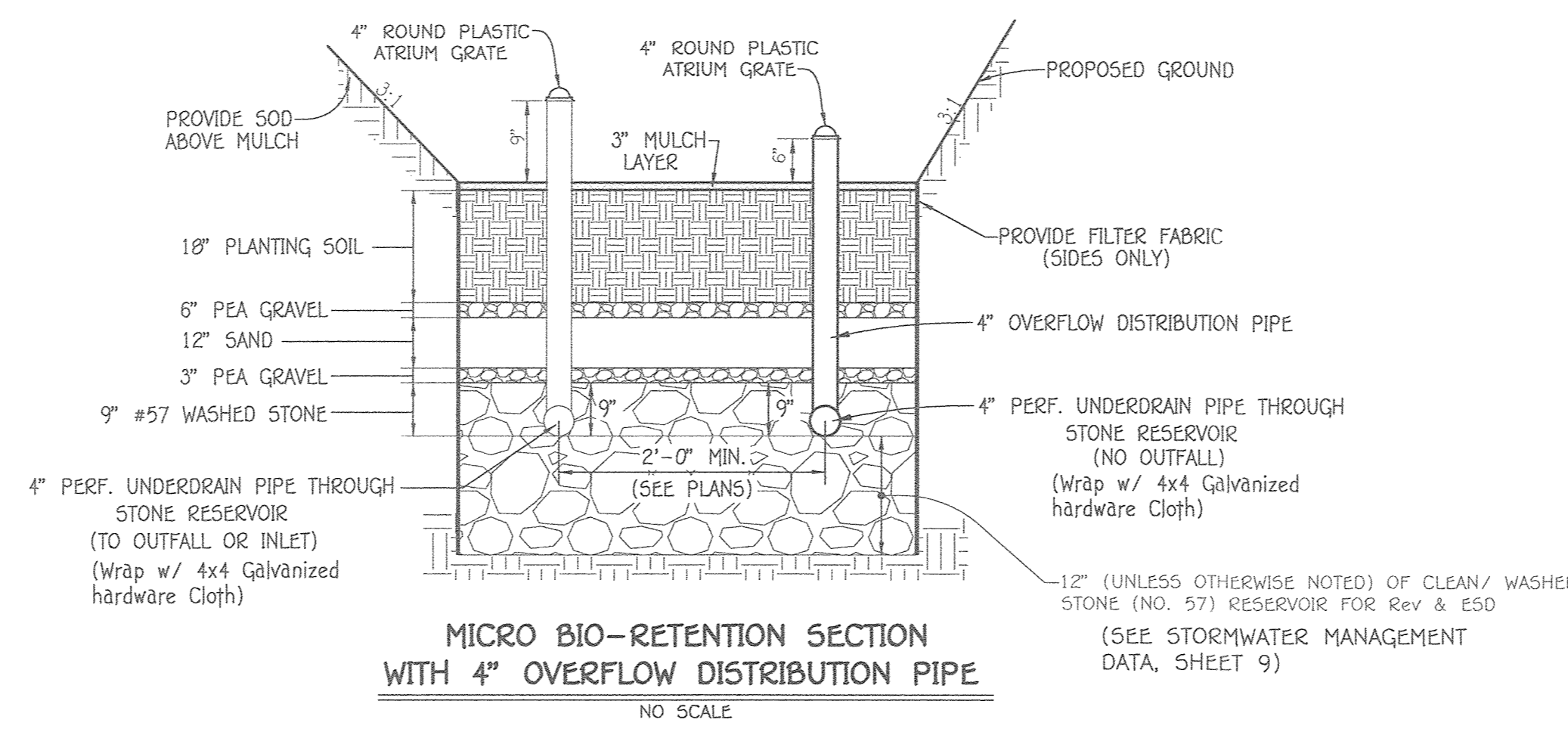
**DRAIN BASIN**  
NO SCALE



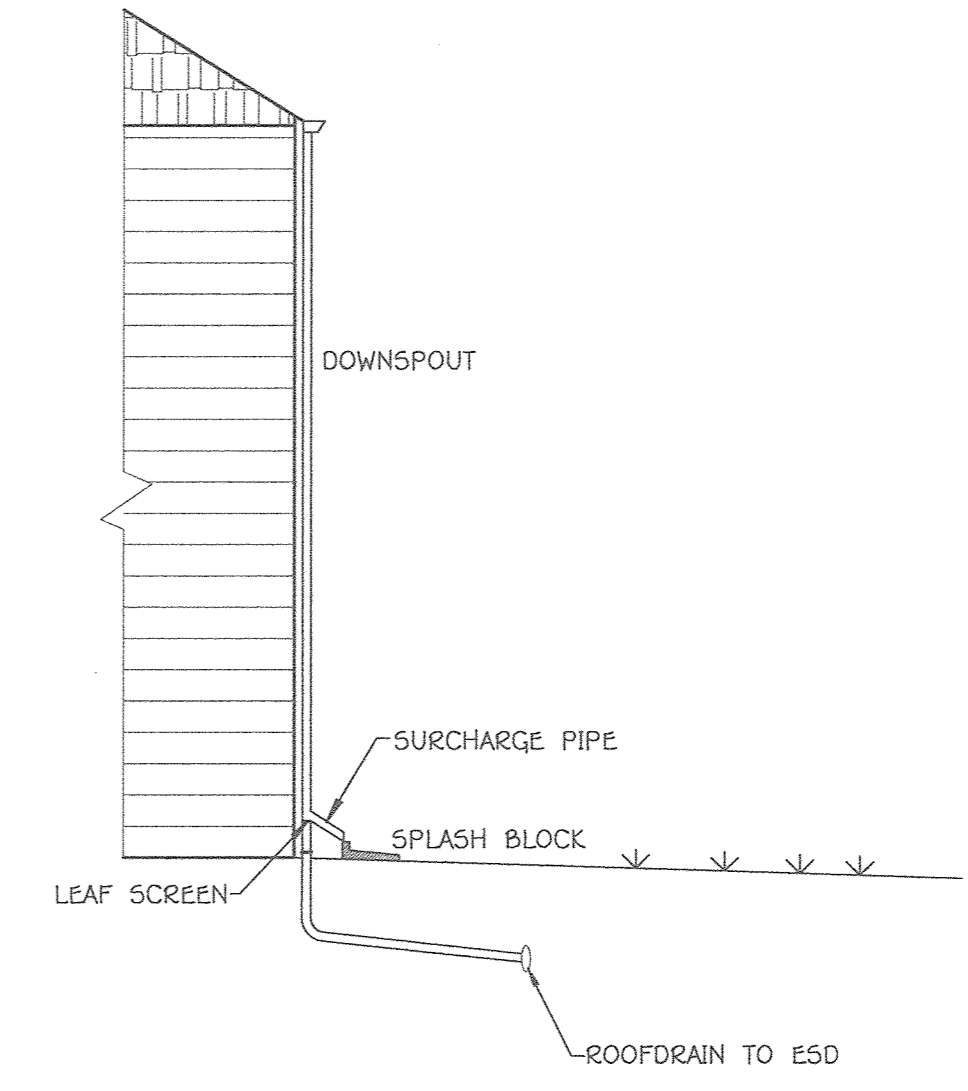
**Anchor Detail**  
NO SCALE



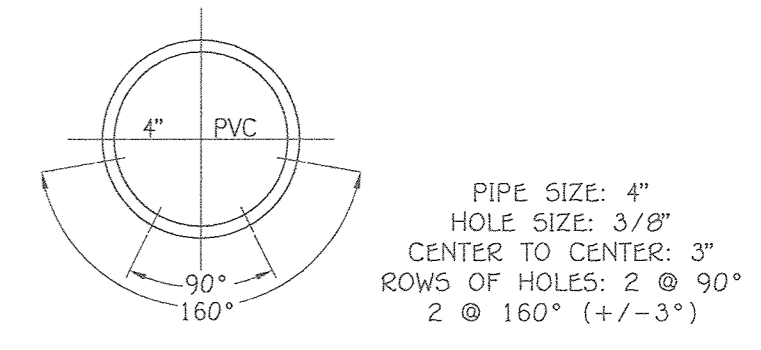
**SECTION @ OBSERVATION WELL LOCATION**  
NOT TO SCALE



**MICRO BIO-RETENTION SECTION WITH 4\"/>**

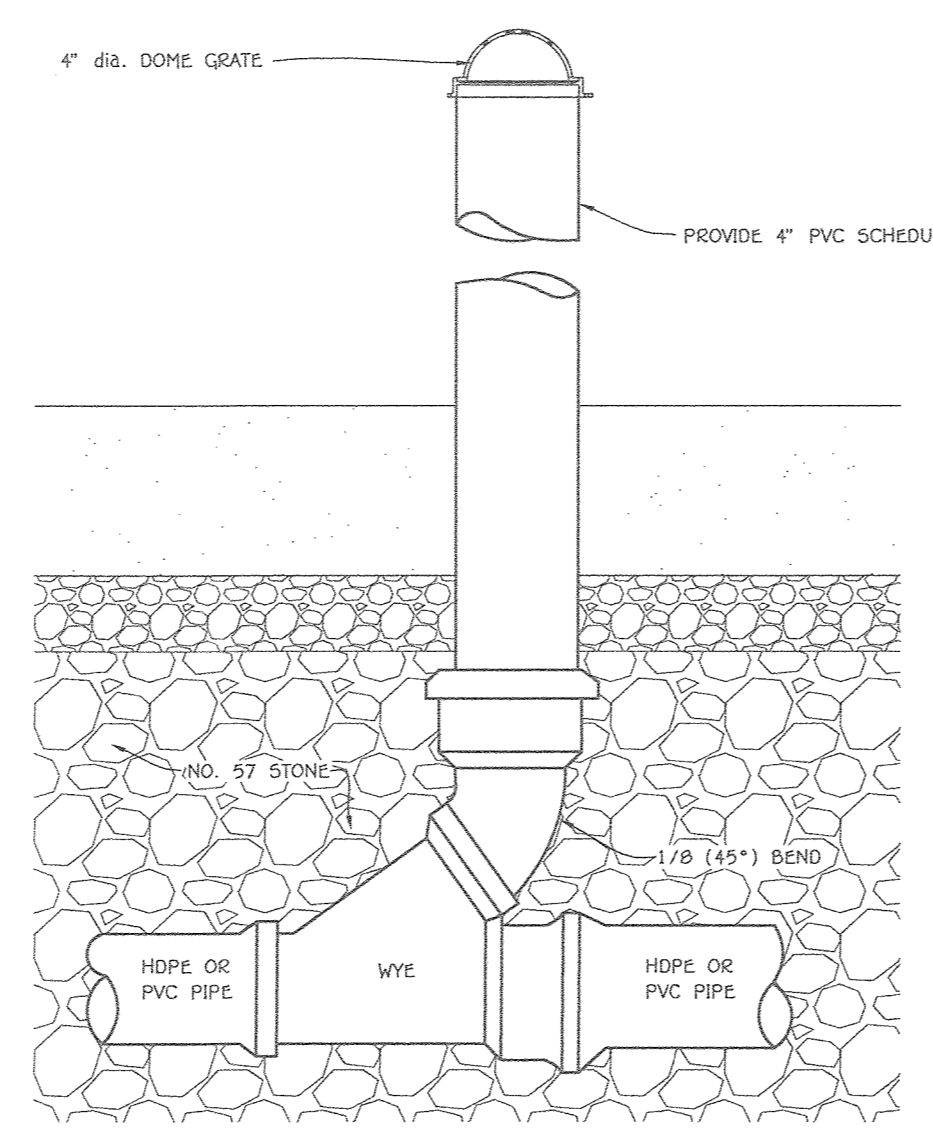


**TYPICAL DOWNSPOUT FOR LOTS WITH ROOFLEADERS**  
NO SCALE

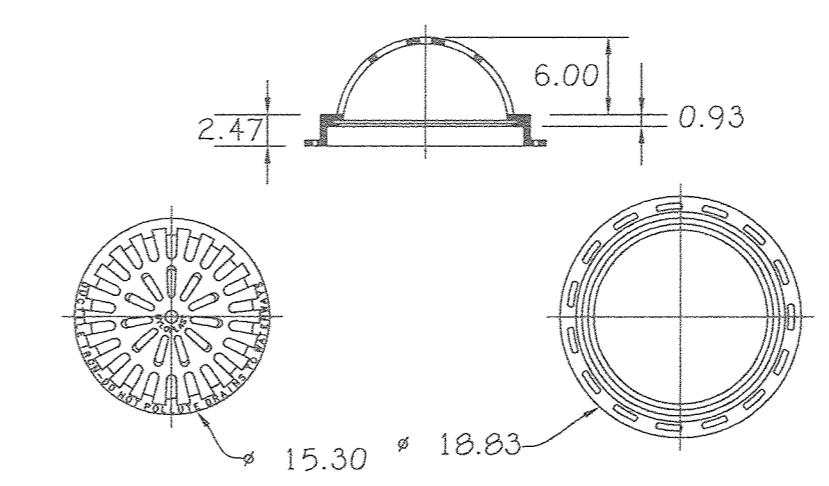


**SCH 40 PVC PERFORATED UNDERDRAIN PIPE DETAIL FOR HORIZONTAL DRAIN PIPE**  
NO SCALE

**BUILDING FOUNDATION NOTE:**  
BUILDER SHALL VERIFY THE DEPTH OF THE BUILDING FOUNDATION WITH THE ARCHITECT, GEOTECHNICAL AND STRUCTURAL ENGINEERS IN RELATION TO ADJACENT UTILITIES AND STORMWATER MANAGEMENT (ESD) FACILITIES.



**TYPICAL CLEAN-OUT DETAIL**  
NO SCALE



**15\"/>**

ALL DIMENSIONS IN INCHES UNLESS NOTED OTHERWISE  
QUALITY: MATERIAL SHALL CONFORM TO ASTM A536 GRADE 70-50-05  
PAINT: CASTINGS ARE FURNISHED WITH A BLACK PAINT LOCKING DEVICE AVAILABLE UPON REQUEST  
SEE DRAWING NO. 7001-110-230

**Nyloplast**  
3130 VERONA AVE  
BUFORD, GA 30518  
PHN (770) 932-2443  
FAX (770) 932-2490  
www.nyloplast-us.com

NOTES:  
UNDERDRAIN PIPE SHALL BE 4" DIAMETER, SLOTTED OR PERFORATED RIGID PLASTIC PIPE (ASTM F756, TYPE PS 28 OR AASHTO-M-278) IN A GRAVEL LAYER. THE PREFERRED MATERIAL IS SLOTTED 4" RIGID PIPE (e.g., PVC OR HDPE).  
PERFORATIONS SHALL BE 3/8" DIAMETER LOCATED 6" ON CENTER WITH A MINIMUM OF FOUR HOLES PER ROW. PIPE SHALL BE WRAPPED WITH A 1/4" (NO. 4 OR 4 x 4) GALVANIZED HARDWARE CLOTH.  
GRAVEL LAYER SHALL BE (NO. 57 STONE PREFERRED) AT LEAST 3" THICK ABOVE AND BELOW THE UNDERDRAIN.  
THE MAIN COLLECTOR PIPE SHALL BE AT A MINIMUM 0.5% SLOPE.  
A RIGID, NON PERFORATED OBSERVATION WELL MUST BE PROVIDED (ONE PER EVERY 1,000 SQ.FT.) TO PROVIDE A CLEANOUT PORT AND MONITOR PERFORMANCE OF THE FILTER.  
A 4" LAYER OF PEA GRAVEL (1/8" TO 3/8" STONE) SHALL BE LOCATED BETWEEN THE FILTER MEDIA AND UNDERDRAIN TO PREVENT MIGRATION OF FINES INTO THE UNDERDRAIN. THIS LAYER MAY BE CONSIDERED PART OF THE FILTER BED WHEN BED THICKNESS EXCEEDS 24".

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

*Kevin S. O'Neil* 6-12-19  
Chief, Division of Land Development

*John P. Blum* 5-6-19  
Chief, Development Engineering Division

*Walter J. Glick* 6-17-19  
Director - Department of Planning and Zoning



**Owner**  
Kellogg-CCP, LLC  
c/o David P. Scheffemacker, Jr.,  
Managing Member  
100 West Road, Suite 304  
Towson, Maryland 21204  
Ph: 410-296-3800

**Developer**  
Preston • Scheffemacker Properties  
100 West Road, Suite 304  
Towson, Maryland 21204  
Ph: 410-296-3800

NO.		REVISION		DATE
SUBDIVISION	OXFORD SQUARE - 'THE YARDS'	SECTION/AREA	N/A	LOT Nos.
PLAT NO.	25047-25050	BLOCK NO.	N/A	TAX/ZONE
		ZONE	TOD	ELEC. DIST.
			3B	CENSUS TR.
			1st.	601101

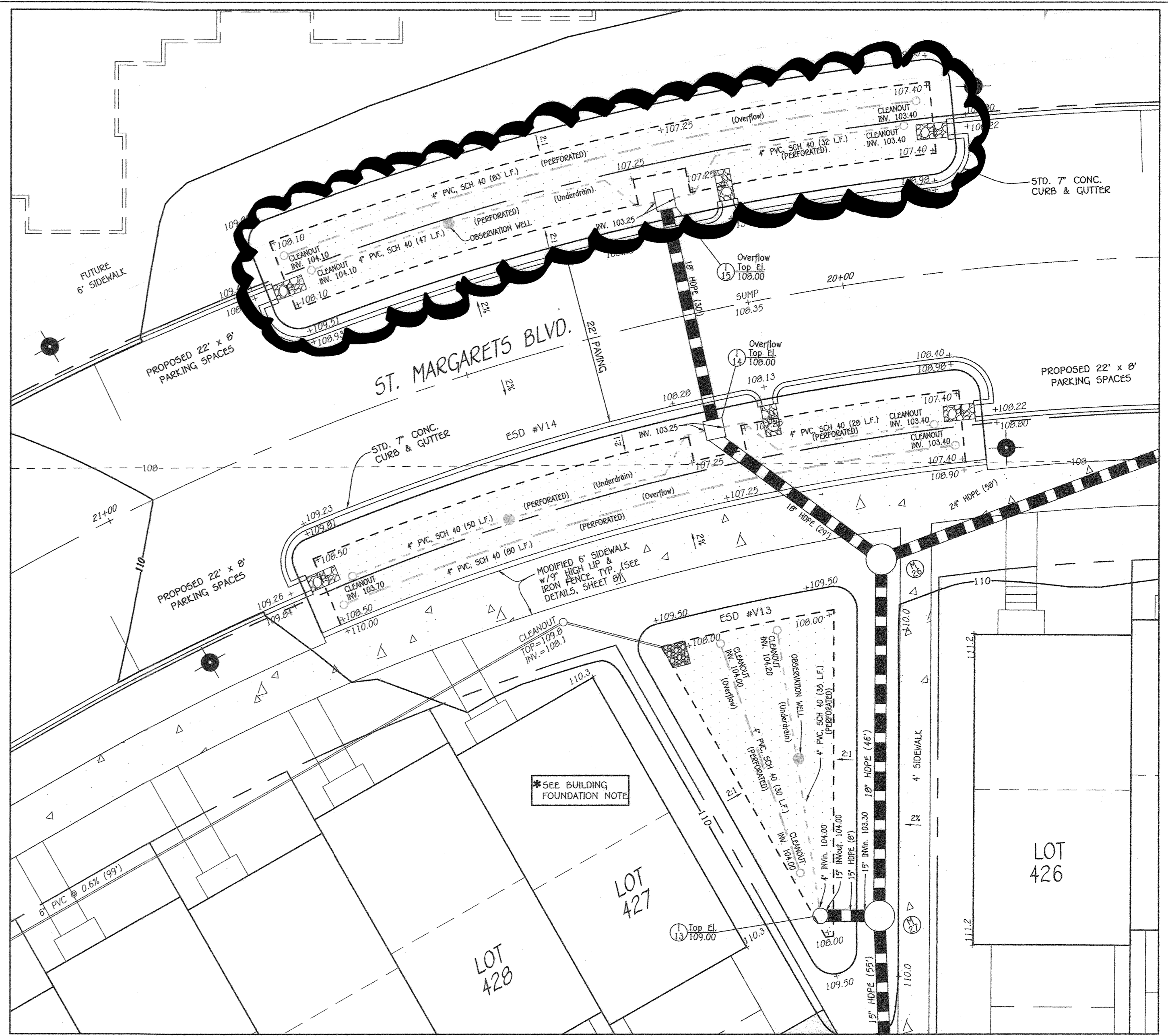
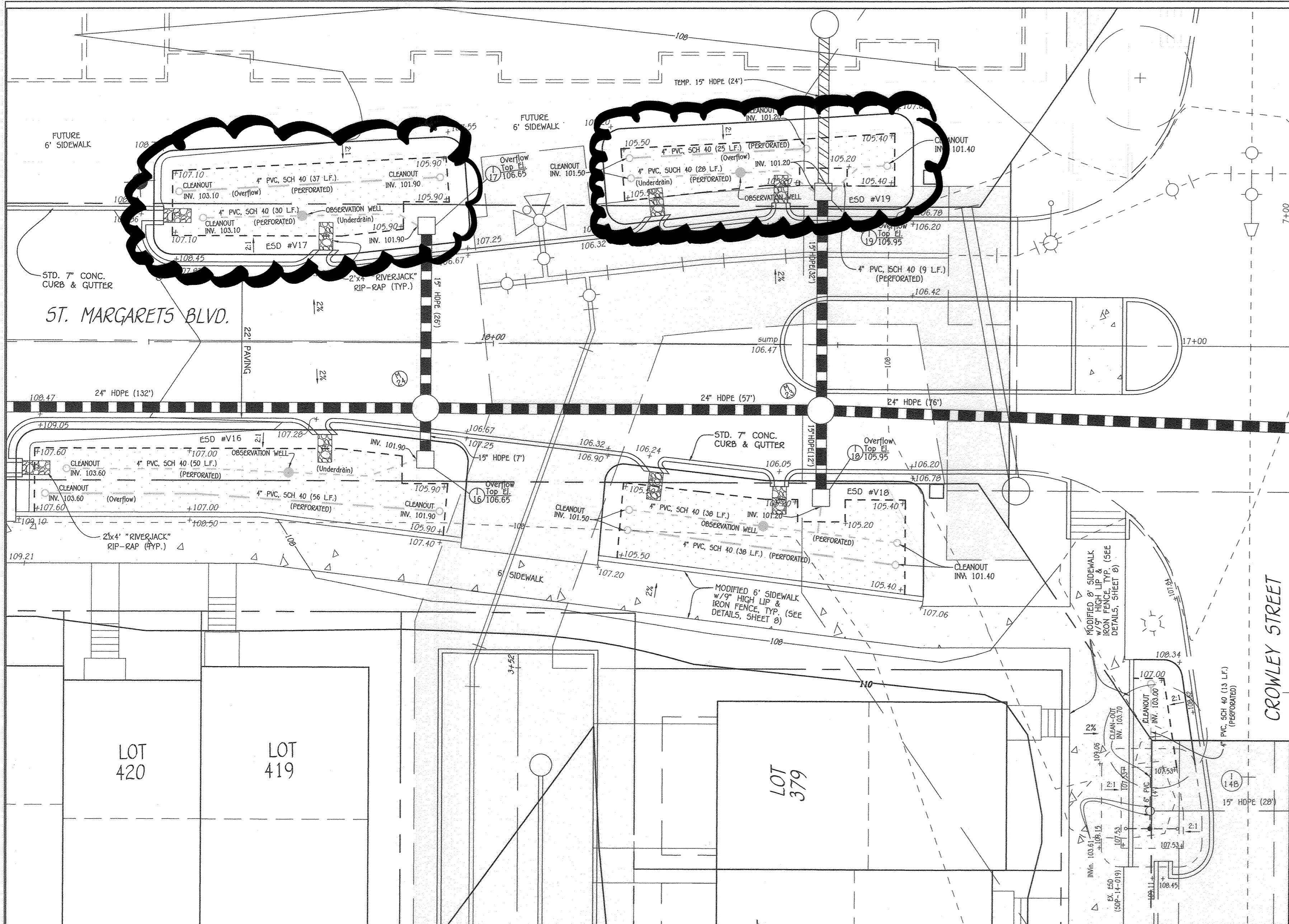
**STORMWATER MANAGEMENT NOTES & DETAILS**

**OXFORD SQUARE**  
"A Howard County Green Neighborhood"  
LOTS 379-434, OPEN SPACE LOTS 435-439 AND PARCEL 'H-H' & 'I-I'  
'THE YARDS'

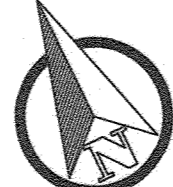
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Zoned: TOD  
Tax Map No: 3B Grid No: 20 Parcel No: 1003  
First Election District: Howard County, Maryland  
Scale: As Shown  
Date: April 4, 2019  
Sheet 8 Of 44



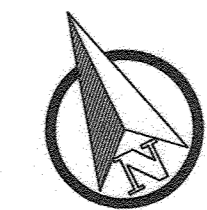


PROPOSED MICRO BIO-RETENTION (M-6)  
ESD Nos. V16 & V18 & REVISED  
EX. ESD No. D3 PLAN VIEW  
SCALE: 1" = 10'



STORMWATER MANAGEMENT DATA				
ESD No.	INLET TOP EL.	4" INVIN.	INOUT.	REV DEPTH
V2	102.00	97.00	97.00 (15")	12"
V3	102.90	97.90	97.90 (15")	12"
V4	105.50	100.50	100.50 (15")	42"
V5	104.22	99.22	99.22 (15")	24"
V6	105.40	100.40	100.40 (15")	24"
V7	106.80	101.80	101.80 (15")	12"
V8	105.50	100.50	100.50 (15")	36"
V9	106.50	101.50	101.50 (15")	36"
V10	109.75	105.00	102.41 (24")	24"
V11	109.75	105.00	103.14 (18")	12"
V12	109.00	104.00	102.60 (15")	42"
V13	109.00	104.00	104.00 (15")	42"
V14	108.00	103.25	101.81 (18")	33"
V15	108.00	103.25	102.36 (18")	33"
V16	106.65	101.90	100.57 (15")	33"
V17	106.65	101.90	99.94 (24")	33"
V18	105.95	101.20	101.20 (15")	33"
V19	105.95	101.20	102.28 (15")	33"
V20	108.42	103.42	102.55 (15")	12"
V21	104.50	99.50	99.50 (15")	12"
V22	104.35	99.60	97.86 (15")	30"
V23	110.25	105.25	104.41 (15")	12"
V24	110.95	106.20	106.20 (15")	18"
V25	112.35	107.60	107.60 (15")	18"
V26	113.45	108.70	108.70 (15")	12"

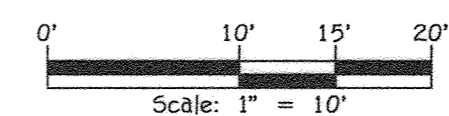
PROPOSED MICRO BIO-RETENTION (M-6)  
ESD Nos. V13 & V14 PLAN VIEW  
SCALE: 1" = 10'



NOTE: ESD V-15, V-17 & V-19 ARE  
TO BE BUILT UNDER SDP-18-055.

STORMWATER MANAGEMENT LEGEND

- - DENOTES TYPE 'S' INLET (MAIN OVERFLOW INLET)
- - DENOTES DRAIN BASIN (MAIN OVERFLOW INLET)
- - DENOTES CLEANOUT
- - DENOTES OBSERVATION WELL
- - - - - DENOTES 4" PVC SCH 40 (UNDERDRAIN) (PERFORATED) (OUTFALLS TO STORM DRAIN)
- - - - - DENOTES 4" PVC SCH 40 DISTRIBUTION PIPE (OVERFLOW) (PERFORATED) (OUTFALLS INTO STONE LAYER)
- ▨ - DENOTES FILTER BED AREA
- ▭ - SEDIMENTATION CHAMBER
- ▭ - PLANT
- ▭ - TREATMENT CHAMBER
- ▭ - DENOTES FILTERED INLET
- ▭ - UNDERDRAIN



STORMWATER MANAGEMENT MAINTENANCE NOTE

ALL STORMWATER MANAGEMENT FACILITIES WILL BE PRIVATELY OWNED AND MAINTAINED BY THE OXFORD SQUARE COMMERCIAL ASSOCIATION, INC. THE STREET TREES, PERFORATED UNDERDRAINS, FEEDERS, PLANTINGS AND SWALES WILL ALSO BE PRIVATELY OWNED AND MAINTAINED BY THE OXFORD SQUARE COMMERCIAL ASSOCIATION. HOWARD COUNTY WILL ONLY MAINTAIN THE INLET STRUCTURE WITHIN THE MICRO BIO-RETENTION FACILITIES ADJACENT TO THE RIGHT-OF-WAY.

BUILDING FOUNDATION NOTE:

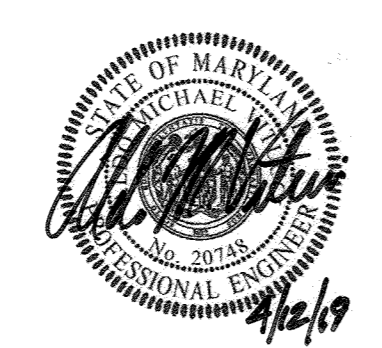
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APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

*Karl Schuch* 6-12-19  
Chief, Division of Land Development Date

*Chad Elmer* 5-6-19  
Chief, Development Engineering Division Date

*Nancy Folie* 6-17-19  
Director - Department of Planning and Zoning Date



**Owner**  
Kelloog-CCP, LLC  
c/o David P. Schefflencker, Jr.  
100 West Road, Suite 304  
Towson, Maryland 21204  
Ph: 410-296-3800

**Developer**  
Preston + Schefflencker Properties  
100 West Road, Suite 304  
Towson, Maryland 21204  
Ph: 410-296-3800

STORMWATER MANAGEMENT PLAN VIEWS  
OXFORD SQUARE

"A Howard County Green Neighborhood"  
LOTS 379-434, OPEN SPACE LOTS 435-439  
AND PARCEL 'H-H' & 'I-I'  
'THE YARDS'

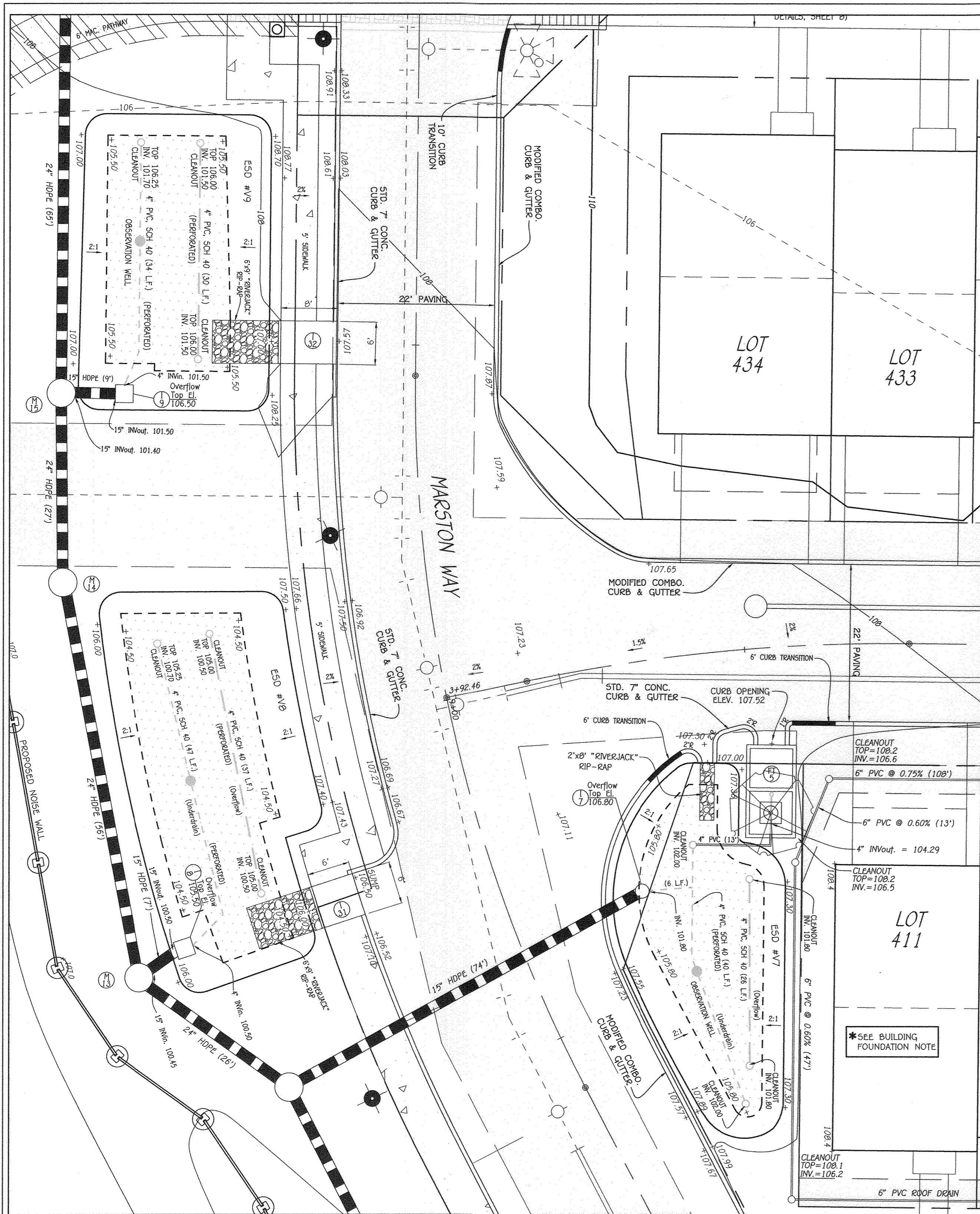
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NO.	REVISION	DATE
1	Removed ESD V-15, V-17 & V-19 From This SDP	10-7-21

SUBDIVISION: OXFORD SQUARE - 'THE YARDS' SECTION/AREA: N/A LOT Nos.: 379-434  
PLAT NO.: 25047-25050 BLOCK NO.: N/A ZONE: TOD TAX/ZONE: 3B ELEC. DIST.: 1st. CENSUS TR.: 601101

Tax Map No.: 3B Grid No.: 20 Parcel No.: 1003  
First Election District: Howard County, Maryland  
Scale: As Shown  
Date: April 4, 2019  
Sheet 9 Of 44





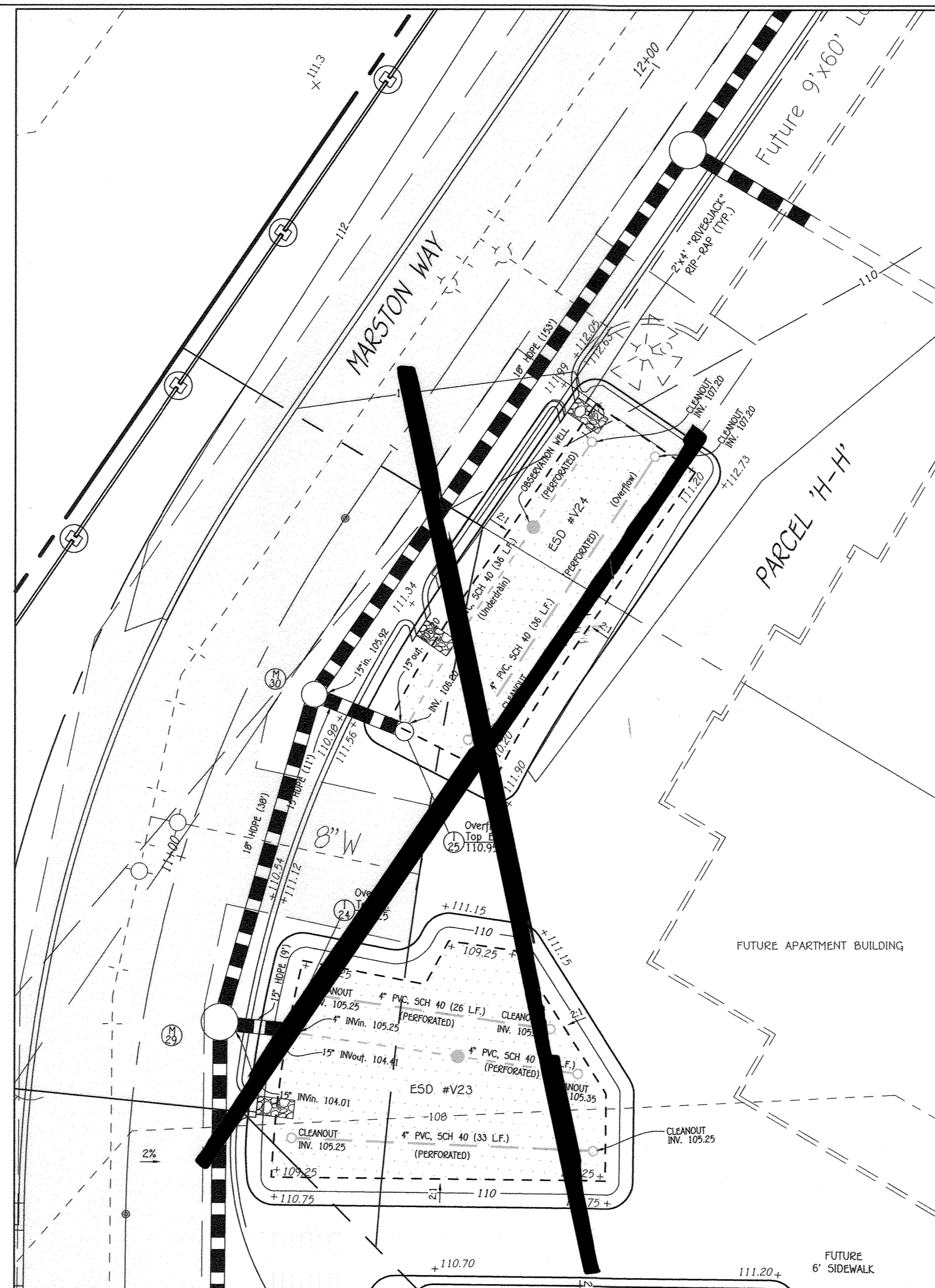
PROPOSED MICRO BIO-RETENTION (M-6)  
ESD Nos. V7 THRU V9 PLAN VIEW  
SCALE: 1" = 10'



**BUILDING FOUNDATION NOTE:**  
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**STORMWATER MANAGEMENT MAINTENANCE NOTE**

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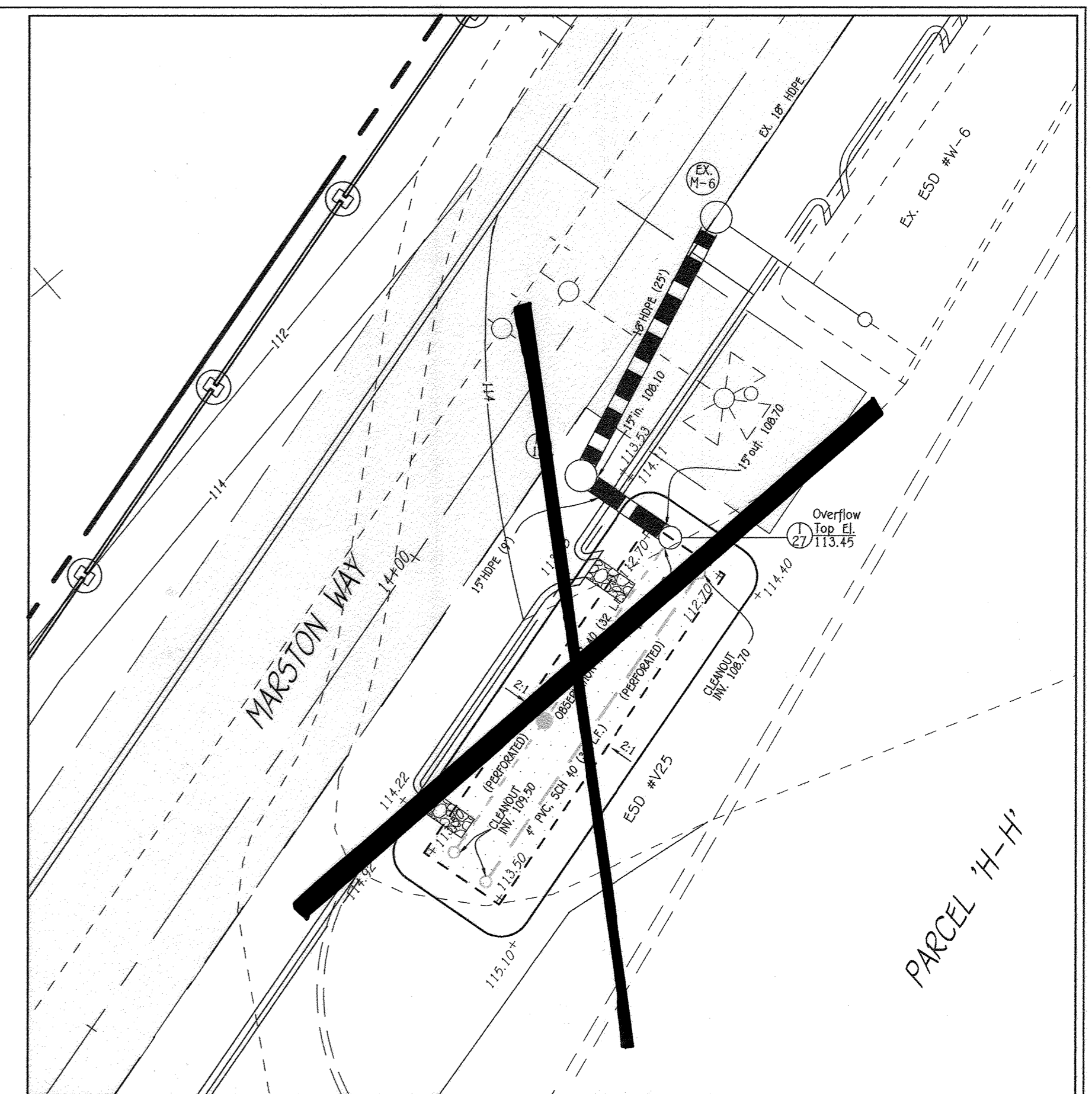
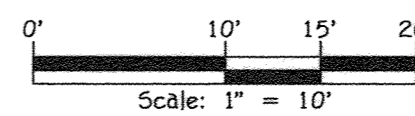
PROPOSED MICRO BIO-RETENTION (M-6)  
ESD Nos. V23 THRU V25 PLAN VIEW  
SCALE: 1" = 10'



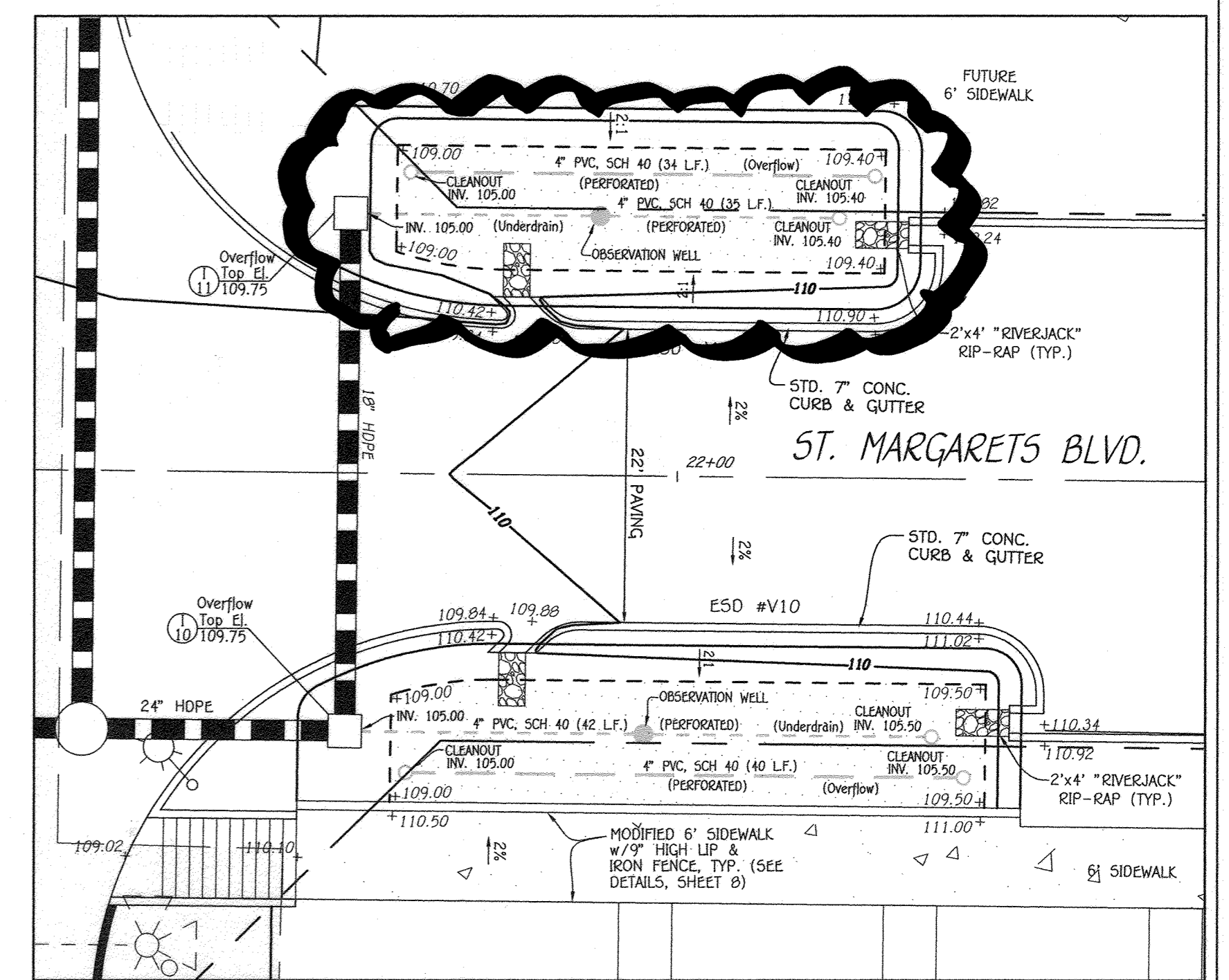
NOTE: V-11, V-23 THRU V-25 ARE TO BE BUILT UNDER SDP-18-055.

**STORMWATER MANAGEMENT LEGEND**

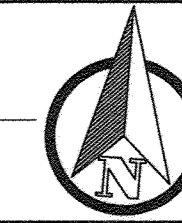
- - DENOTES TYPE 'S' INLET (MAIN OVERFLOW INLET)
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- ▭ - DENOTES SEDIMENTATION CHAMBER
- ▭ - DENOTES TREATMENT CHAMBER
- ▭ - DENOTES PLANT
- ▭ - DENOTES FILTERRA INLET
- ▭ - DENOTES UNDERDRAIN



PROPOSED MICRO BIO-RETENTION (M-6)  
ESD Nos. V10 PLAN VIEW  
SCALE: 1" = 10'



PROPOSED MICRO BIO-RETENTION (M-6)  
ESD Nos. V10 PLAN VIEW  
SCALE: 1" = 10'



APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

*Kent Johnson* 6-12-19  
Chief, Division of Land Development Date

*Phil Chamber* 5-6-19  
Chief, Development Engineering Division Date

*William J. Miller* 6-17-19  
Director - Department of Planning and Zoning Date



**FISHER, COLLINS & CARTER, INC.**  
CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS  
OXFORD SQUARE OFFICE: PHASE - 10272 BALDWIN NATIONAL FLEE  
ELLSWORTH CITY, MARYLAND 21042  
(410) 461-8295

**Owner**

Kellogg-CCP, LLC  
c/o David P. Scheffacker, Jr.,  
Managing Member  
100 West Road, Suite 304  
Towson, Maryland 21204  
Ph: 410-296-3800

**Developer**

Preston • Scheffacker Properties  
100 West Road, Suite 304  
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Ph: 410-296-3800

NO.	REVISION	DATE
1	Removed ESD V-11, V-23, V-24 & V-25 From This SDP	10-9-21

SUBDIVISION	SECTION/AREA	LOT Nos.
OXFORD SQUARE - 'THE YARDS'	N/A	379-434

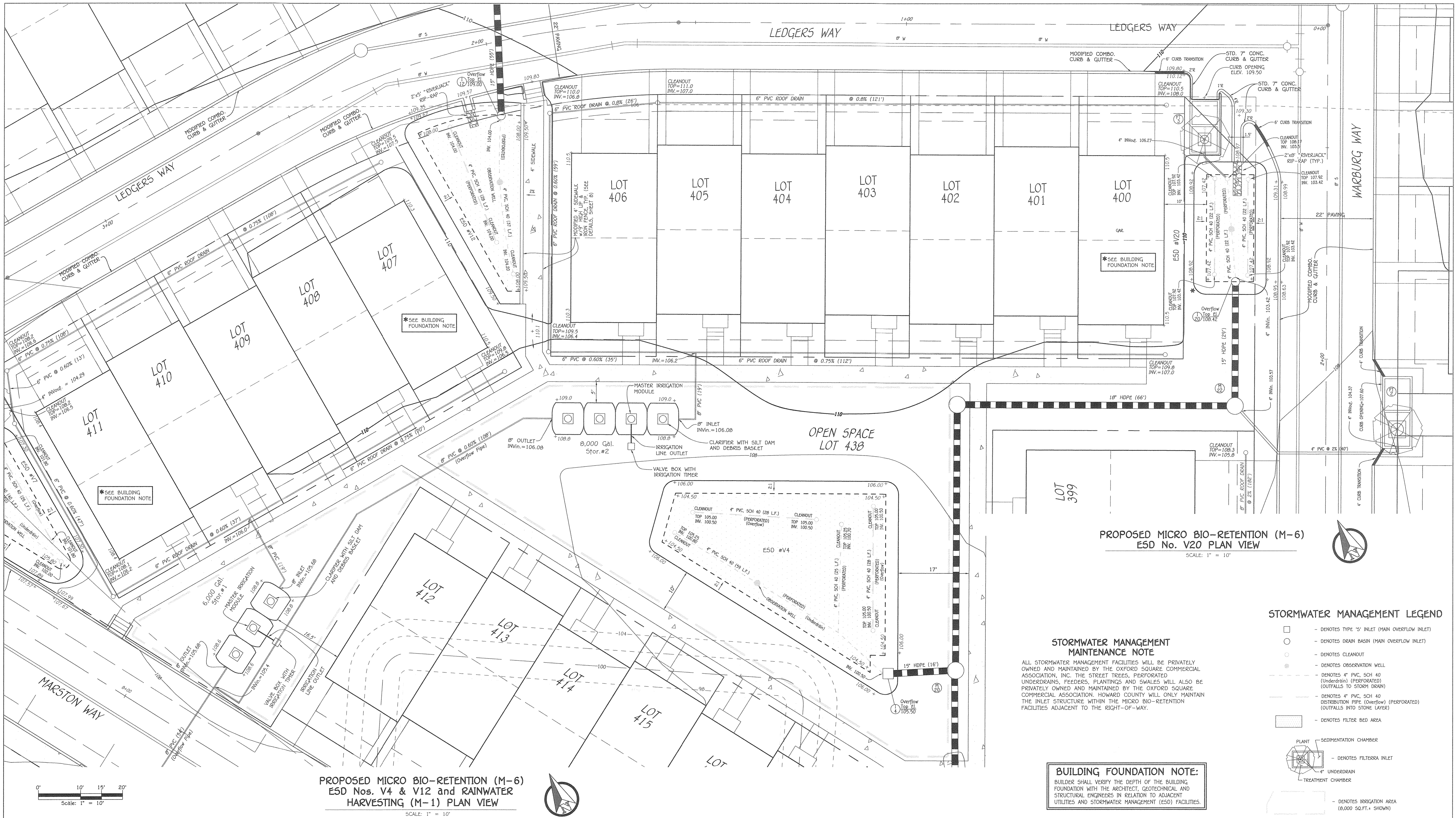
PLAT NO.	BLOCK NO.	ZONE	TAX/ZONE	ELEC. DIST.	CENSUS TR.
25047-25050	N/A	TOD	38	1st.	601101

**STORMWATER MANAGEMENT PLAN VIEWS**

**OXFORD SQUARE**  
"A Howard County Green Neighborhood"  
LOTS 379-434, OPEN SPACE LOTS 435-439  
AND PARCEL 'H-H' & 'I-I'  
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Zoned: TOD  
Tax Map No: 36 Grid No: 20 Parcel No: 1003  
First Election District: Howard County, Maryland  
Scale: As Shown  
Date: April 4, 2019  
Sheet 10 Of 44





**PROPOSED MICRO BIO-RETENTION (M-6)  
ESD Nos. V4 & V12 and RAINWATER  
HARVESTING (M-1) PLAN VIEW**  
SCALE: 1" = 10'

**PROPOSED MICRO BIO-RETENTION (M-6)  
ESD No. V20 PLAN VIEW**  
SCALE: 1" = 10'

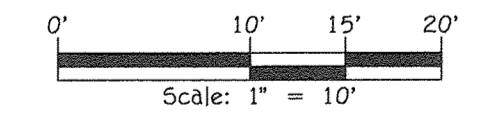
**STORMWATER MANAGEMENT MAINTENANCE NOTE**

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**STORMWATER MANAGEMENT LEGEND**

- - DENOTES TYPE 'S' INLET (MAIN OVERFLOW INLET)
- - DENOTES DRAIN BASIN (MAIN OVERFLOW INLET)
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- ▭ - DENOTES FILTERINA INLET
- ▭ - UNDERDRAIN
- ▭ - TREATMENT CHAMBER
- ▭ - DENOTES IRRIGATION AREA (8,000 SQ.F.T. SHOWN)



APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

*Karl Schuchman* Chief, Division of Land Development 6-12-19 Date

*David Edman* Chief, Development Engineering Division 5-6-19 Date

*Valerie Klein* Director - Department of Planning and Zoning 6-17-19 Date



**Owner**  
Kellogg-CCP, LLC  
c/o David P. Scheffnacker, Jr., Managing Member  
100 West Road, Suite 304  
Towson, Maryland 21204  
Ph: 410-296-3800

**Developer**  
Preston - Scheffnacker Properties  
100 West Road, Suite 304  
Towson, Maryland 21204  
Ph: 410-296-3800

NO.	REVISION	DATE

**STORMWATER MANAGEMENT PLAN VIEWS**  
**OXFORD SQUARE**  
"A Howard County Green Neighborhood"  
LOTS 379-434, OPEN SPACE LOTS 435-439 AND PARCEL 'H-H' & 'I-I'  
'THE YARDS'

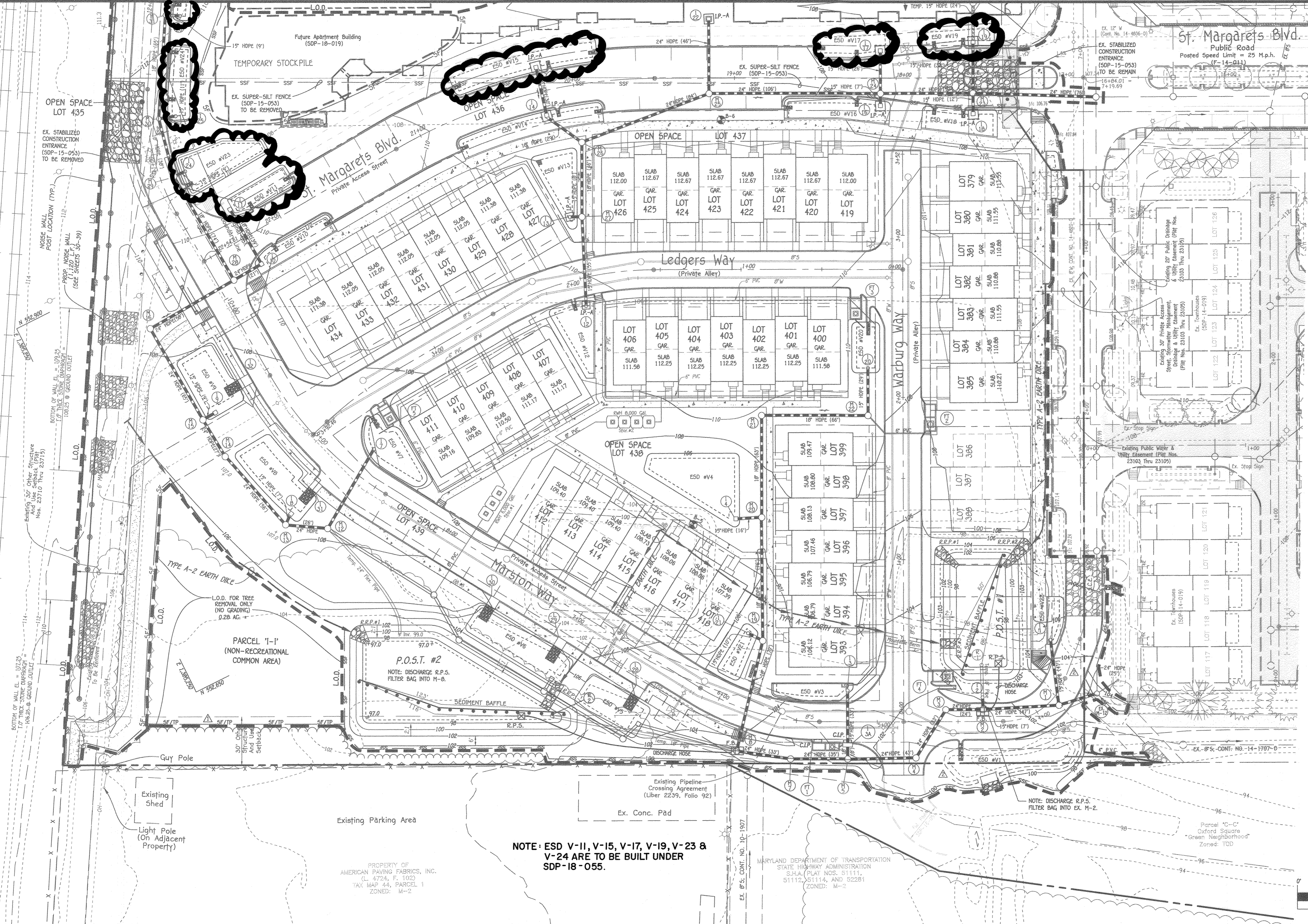
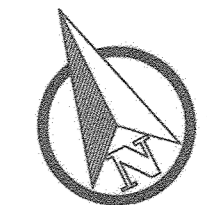
(Being A Resubdivision Of Parcel 'G-G', As Shown On Plats Entitled "Oxford Square," "Green Neighborhood," Parcels 'G-G', 'F-F', And Open Space Lot 377 Recorded As Plat Nos. 24351 Thru 24353) And A Resubdivision Of Parcel 'V', As Shown On Resubdivision Plat Entitled "Oxford Square," "Green Neighborhood," Parcels 'V' Thru 'Z', 'A-A' Thru 'C-C', And Open Space Lots 244 And 245" Recorded As Plat Nos. 23710 Thru 23715)

Zoned: TOD  
Tax Map No: 3B Grid No: 20 Parcel No.: 1003  
First Election District: Howard County, Maryland  
Scale: As Shown  
Date: April 4, 2019  
Sheet 11 Of 44









**PIPE OUTLET SEDIMENT TRAP (ST-1)**

P.O.S.T. #	P.O.S.T. #2	DRAINAGE AREA - INTIAL	(ACRES)
1.92	4.38	DRAINAGE AREA - INTERM	(ACRES)
1.83	2.25	DRAINAGE AREA - FINAL	(ACRES)
6912	15696	TOTAL STORAGE REQUIRED	(CF)
14696	27994	TOTAL STORAGE PROVIDED	(CF)
3456	7848	WET STORAGE REQUIRED	(CF)
3456	7848	WET STORAGE PROVIDED	(CF)
6912	15246	DRY STORAGE REQUIRED	(CF)
14696	15246	DRY STORAGE PROVIDED	(CF)
98.00	97.00	TRAP BOTTOM ELEVATION	(FT)
31'-6.3"	45'-11.8"	RISER BOTTOM DIMENSIONS	(FT + FT)
101.00	100.10	RISER CREST (DRY STORAGE) ELEVATION	(FT)
99.50	98.70	OUTLET (WET STORAGE) ELEVATION	(FT)
98.80	98.00	CLEANOUT ELEVATION	(FT)
103.00	102.00	TOP OF EMBANKMENT ELEVATION	(FT)
2:1	2:1	SIDE SLOPE	H:V RATIO
6'	6'	EMBANKMENT TOP WIDTH	(FT)
METAL	METAL	PRINCIPAL SPILLWAY MATERIAL (BARREL, RISER, ANTI-SEEP COLLAR)	
24"	27"	RISER DIAMETER	(IN)
18"	18"	BARREL DIAMETER	(IN)
36"	42"	TRASH RACK DIAMETER	(IN)
21"	21"	TRASH RACK HEIGHT	(IN)
8.62'x8.62'	7.81'x7.81'	ANTI-SEEP COLLAR DIMENSIONS	(FT)
n/a	n/a	OUTLET PROTECTION - LENGTH	(FT)
n/a	n/a	OUTLET PROTECTION - WIDTH	(FT)
n/a	n/a	OUTLET PROTECTION - DEPTH	(IN)

**CONTRACTOR NOTE:**  
CONTRACTOR SHALL PUMP THE SEDIMENT TRAPS/ BASINS COMPLETELY DRY THROUGH A FILTERING DEVICE TO A CLEAN WATER OUTFALL WITHIN 24 HOURS FOLLOWING ANY RAINFALL EVENT.

**SEDIMENT CONTROL LEGEND**

- SSF-SSF-SSF SUPER-SILT FENCE
- [Symbol] STABILIZED CONSTRUCTION ENTRANCE
- [Symbol] C.I.P. CURB INLET PROTECTION
- [Symbol] S.I.P. STANDARD INLET PROTECTION TYPE 'A' or 'B'
- TYPE A-2 EARTH DIKE
- L.O.D. LIMIT OF DISTURBANCE
- [Symbol] R.P.S. REMOVABLE PUMPING STATION
- [Symbol] F.B. FILTER BAG
- NOTE: OUTFALL FILTER BAG EX. M-2

**CONTRACTOR NOTE:**  
ANY SEDIMENT CONTROLS INTERRUPTED BY THE INSTALLATION OF STORM DRAINS ARE TO BE REPAIRED IMMEDIATELY.

**BAFFLE DATA:**

P.O.S.T. #1:  
A = SURFACE AREA @ WET STORAGE = 2,497 FT<sup>2</sup>  
WE = EFFECTIVE WIDTH-WE=(A/2)-0.5=35'  
FLOW LENGTH FROM INFLOW TO OUTFLOW = 22'  
SINCE 22' < 35' PROVIDE SEDIMENT BAFFLES  
L1 + L2 = 60+66 = 126 > 35, OK

P.O.S.T. #2:  
A = SURFACE AREA @ WET STORAGE = 5,705 FT<sup>2</sup>  
WE = EFFECTIVE WIDTH-WE=(A/2)-0.5=53'  
FLOW LENGTH FROM INFLOW TO OUTFLOW = 6'  
SINCE 6' < 53' PROVIDE SEDIMENT BAFFLES  
L1 + L2 = 116+123 = 239 > 56, OK

SCALE: 1" = 30'

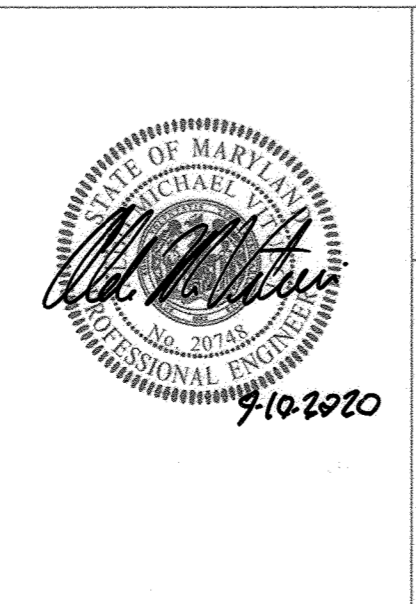
**NOTE: ESD V-II, V-15, V-17, V-19, V-23 & V-24 ARE TO BE BUILT UNDER SDP-18-055.**

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

Chief, Division of Land Development: *[Signature]* 3/10/24 Date

Chief, Development Engineering Division: *[Signature]* 12-9-20 Date

Director - Department of Planning and Zoning: *[Signature]* 3-10-21 Date



**ENGINEER'S CERTIFICATE**  
"I certify that this plan for sediment and erosion control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District."  
Signature of Engineer (print name below signature): *John A. Blotter* 7-10-2020 Date

**DEVELOPER'S CERTIFICATE**  
"I/We certify that all development and construction will be done according to this plan for sediment and erosion control, and that all responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the Howard Soil Conservation District."  
Signature of Developer (print name below signature): *David P. Schreffler* 9/10/2020 Date

This development plan is approved for soil erosion and sediment control by the HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING.

Owner: Kellogg-CCP, LLC  
c/o David P. Schreffler, Jr., Managing Member  
100 West Road, Suite 304  
Towson, Maryland 21284  
Phone 410-296-3800

Developer: Preston + Schreffler Properties  
100 West Road, Suite 304  
Towson, Maryland 21284  
Phone 410-296-3800

REVISION	DATE
3 Revised ESD V-II, V-15, V-17, V-19, V-23 & V-24 From This BOP	10-7-21
ADD ESD #11, ADDITIONAL FENCE AND STORM DRAIN, MOVED NOISE WALL #3	3/20/20
AND ADJUSTED THE LOCATIONS OF SOME NOISE WALL #2 POSTS.	
REVISED L.O.D. / PROPOSED TREE LINE	1/17/20

SUBDIVISION: OXFORD SQUARE - 'THE YARDS'

SECTION/AREA: N/A

LOT Nos.: 379-434

PLAT NO.: 25047-25050

BLOCK NO.: N/A

ZONE: TOD

TAX/ZONE: 3B

ELEC. DIST.: 1st

CENSUS TR.: 601101

**REVISED SEDIMENT & EROSION CONTROL PLAN OXFORD SQUARE**

"A Howard County Green Neighborhood"

LOTS 379-434, OPEN SPACE LOTS 435-439 AND PARCEL 'H-H' & 'I-I'

'THE YARDS'

(Being A Resubdivision of Parcel 'G-G', As Shown On Plans Entitled 'Oxford Square, 'Green Neighborhood', 'G-G', 'F-F', And Open Space Lot 377' Recorded As Plat Nos. 24351 Thru 24353) And A Resubdivision of Parcel 'V', As Shown On Resubdivision Plat Entitled 'Oxford Square, 'Green Neighborhood', 'Parcels V Thru Z', 'A-A' Thru 'C-C' And Open Space Lots 244 And 245' Recorded As Plat Nos. 23710 Thru 23715)

Zoned: TOD

Tax Map No.: 3B Grid No.: 20 Parcel No.: 1003

First Election District: Howard County, Maryland

Scale: As Shown

Date: March 20, 2020

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**SOIL PREPARATION, TOPSOILING AND SOIL AMENDMENTS (B-4-2)**

**A. Soil Preparation**

1. Temporary Stabilization
  - a. Seeded preparation consists of loosening soil to a depth of 3 to 5 inches by means of suitable agricultural or construction equipment, such as disc harrows or chisel plows or ripers mounted on construction equipment. After the soil is loosened, it must not be rolled or dragged smooth but left in the roughened condition. Slopes 3:1 or flatter are to be tracked with ridges running parallel to the contour of the slope.
  - b. Application of amendments or lime as prescribed on the plans.
  - c. Incorporate lime and fertilizer into the top 3 to 5 inches of soil by disking or other suitable means.
2. Permanent Stabilization
  - a. A soil test is required for any earth disturbance of 5 acres or more. The minimum soil conditions required for permanent vegetative establishment are:
    - i. Soil pH between 6.0 and 7.0.
    - ii. Soluble salts less than 500 parts per million (ppm).
    - iii. Soil contains less than 40 percent clay but enough fine grained material (greater than 30 percent silt plus clay) to provide the capacity to hold a moderate amount of moisture. An exception: if loess soils will be planted, then a sandy soil (less than 30 percent silt plus clay) would be acceptable.
    - iv. Soil contains 1.5 percent minimum organic matter by weight.
    - v. Soil contains sufficient pore space to permit adequate root penetration.
  - b. Application of amendments or topsoil is required if on-site soils do not meet the above conditions.
  - c. Graded areas must be maintained in 0 true and even grade as specified on the approved plan, then scarified or otherwise loosened to a depth of 3 to 5 inches.
  - d. Apply soil amendments as specified on the approved plan or as indicated by the results of a soil test.
  - e. Mix soil amendments into the top 3 to 5 inches of soil by disking or other suitable means. Rate lawn areas to smooth the surface, remove large objects like stones and branches, and ready the area for seed application. Loosen surface soil by dragging with a heavy chain or other equipment to roughen the surface where site conditions will not permit normal seeded preparation. Track slopes 3:1 or flatter with tracked equipment leaving the soil in an irregular condition with ridges running parallel to the contour of the slope. Leave the top 1 to 3 inches of soil loose and friable. Seeded loosening may be unnecessary on newly disturbed areas.

**B. Topsoiling**

1. Topsoil to be placed over prepared subsoil prior to establishment of permanent vegetation. The purpose is to provide a suitable soil medium for vegetative growth. Soils of concern have low moisture content, low nutrient levels, low pH, materials toxic to plants, and/or unacceptable soil gradation.
2. Topsoil salvaged from an existing site may be used provided it meets the standards as set forth in these specifications. Typically, the depth of topsoil to be salvaged for a given soil type can be found in the representative soil profile section in the Soil Survey published by USDA-NRCS.
3. Topsoiling is limited to areas having 2:1 or flatter slopes where:
  - a. The texture of the exposed subsoil/patient material is not adequate to produce vegetative growth.
  - b. The soil material is so alkaline that the rooting zone is not deep enough to support plants or furnish continuing supplies of moisture and plant nutrients.
  - c. The original soil to be vegetated contains material toxic to plant growth.
  - d. The soil is so acidic that treatment with limestone is not feasible.
4. Areas having slopes steeper than 2:1 require special consideration and design.
5. Topsoil Specifications: Soil to be used as topsoil must meet the following criteria:
  - a. Topsoil must be a loam, sandy loam, clay loam, silt loam, sandy clay loam, or loamy sand. Other soils may be used if recommended by an agronomist or soil scientist and approved by the appropriate approval authority. Topsoil must not be a mixture of contrasting textured subsoils and must contain less than 5 percent by volume of cinders, stones, slag, coarse fragments, gravel, sticks, roots, trash, or other materials larger than 1 1/2 inches in diameter.
  - b. Topsoil must be free of noxious plants or plant parts such as Bermuda grass, quick grass, Johnson grass, net seed, poison ivy, thistle, or others as specified.
  - c. Topsoil substitutes or amendments, as recommended by a qualified agronomist or soil scientist and approved by the appropriate approval authority, may be used in lieu of natural topsoil.
6. Topsoil Application
  - a. Erosion and sediment control practices must be maintained when applying topsoil.
  - b. Uniformly distribute topsoil in a 3 to 6 inch layer and lightly compact to a minimum thickness of 4 inches. Spreading is to be performed in such a manner that sodding or seeding can proceed with a minimum of additional soil preparation and tillage. Any irregularities in the surface resulting from topsoiling or other operations must be corrected in order to prevent the formation of depressions or water pockets.
  - c. Topsoil must not be placed if the topsoil or subsoil is in a frozen or muddy condition, when the subsoil is excessively wet or in a condition that may otherwise be detrimental to proper grading and seeded preparation.

**C. Soil Amendments (Fertilizer and Lime Specifications)**

1. Soil tests must be performed to determine the exact rates and application rates for both lime and fertilizer on sites having disturbed areas of 5 acres or more. Soil analysis may be performed by a recognized private or commercial laboratory. Soil samples taken for engineering purposes may also be used for chemical analyses.
2. Fertilizers must be uniform in composition, free flowing and suitable for accurate application by appropriate equipment. Manure may be substituted for fertilizer with prior approval from the appropriate approval authority. Fertilizers must all be delivered to the site fully blended according to the applicable laws and must bear the name, trade name or trademark and warranty of the producer.
3. Lime materials must be ground limestone (hydrated or burnt lime may be substituted except when hydroseeding) which contains at least 50 percent total oxides (calcium oxide plus magnesium oxide). Limestone must be ground to such fineness that at least 50 percent will pass through a #100 mesh sieve and 99 to 100 percent will pass through a #20 mesh sieve.
4. Lime and fertilizer are to be evenly distributed and incorporated into the top 3 to 5 inches of soil by disking or other suitable means.
5. Where the subsoil is either highly acidic or composed of heavy clays, spread ground limestone at the rate of 4 to 8 tons/acre (200-400 pounds per 1,000 square feet) prior to the placement of topsoil.

**TEMPORARY SEEDING NOTES (B-4-4)**

1. To stabilize disturbed soils with vegetation for up to 6 months.
  - a. Purpose
    - i. To use flat growing vegetation that provides cover on disturbed soils.
  - b. Conditions Where Practice Applies
    - i. Exposed soils where ground cover is needed for a period of 6 months or less. For longer duration of time, permanent stabilization practices are required.
  - c. Criteria
    - i. Select one or more of the species or seed mixtures listed in Table B.1 for the appropriate plan.
    - ii. Hardness Zone (from Figure B.3), and enter them in the Temporary Seeding Summary below along with application rates, seeding dates and seeding depths. If this Summary is not put on the plan and completed, then Table B.1 plus fertilizer and lime rates must be put on the plan.
    - iii. For sites having soil tests performed, use and show the recommended rates by the testing agency. Soil tests are not required for Temporary Seeding.
    - iv. When stabilization is required outside of a seeding season, apply seed and mulch or straw mulch alone as prescribed in Section B-4-3.A.1.b and maintain until the next seeding season.

Temporary Seeding Summary			Fertilizer Rate (10-20-20)	Lime Rate
Hardness Zone (from Figure B.3):	_____ B1 _____	_____ B2 _____		
Species	Application Rate (lb/acre)	Seeding Dates	Seeding Depth	
BARLEY	95	3/1 - 5/15 8/15 - 10/15	1"	436 lb/acre (10 lb / 1000 sf)
OATS	72	3/1 - 5/15 8/15 - 10/15	1"	90 lb/acre (90 lb / 1000 sf)
RYE	112	3/1 - 5/15 8/15 - 10/15	1"	

**PERMANENT SEEDING NOTES (B-4-5)**

**A. Seed Mixtures**

1. General Use
  - a. Select one or more of the species or mixtures listed in Table B.3 for the appropriate Plant Hardness Zone (from Figure B.3) and based on the site condition or purpose found on Table B.2. Enter selected mixtures), application rates, and seeding dates in the Permanent Seeding Summary. The Summary is to be placed on the plan.
  - b. Additional planting specifications for exceptional sites such as shorelines, stream banks, or dunes or for special purposes such as wildlife or aesthetic treatment may be found in USDA-NRCS Technical Field Office Guide, Section 342 - Critical Area Planting.
  - c. For sites having disturbed area over 5 acres, use and show the rates recommended by the soil testing agency. d. For areas receiving low maintenance, apply urea form fertilizer (48-0-0) at 1 1/2 pounds per 1000 square feet (150 pounds per acre) at the time of seeding in addition to the soil amendments shown in the Permanent Seeding Summary.
2. Turfgrass Mixtures
  - a. Areas where turfgrass may be desired include lawns, parks, playgrounds, and commercial sites which will receive a medium to high level of maintenance.
  - b. Select one or more of the species or mixtures listed below based on the site conditions or purpose. Enter selected mixtures), application rates, and seeding dates in the Permanent Seeding Summary. The Summary is to be placed on the plan.
    - i. Kentucky Bluegrass: Full Sun Mixture: For use in areas that receive intensive management, irrigation required in the areas of central Maryland and Eastern Shore. Recommended Certified Kentucky Bluegrass Cultivars Seeding Rate: 1.5 to 2.0 pounds per 1000 square feet. Choose a minimum of three Kentucky Bluegrass cultivars with each ranging from 10 to 35 percent of the total mixture by weight.
    - ii. Kentucky Bluegrass/Perennial Ryegrass: Full Sun Mixture: For use in full sun areas where rapid establishment is necessary and when turf will receive medium to intensive management. Certified Perennial Ryegrass/Certified Kentucky Bluegrass Seeding Rate: 2 pounds mixture per 1000 square feet. Choose a minimum of three Kentucky Bluegrass cultivars with each ranging from 10 to 35 percent of the total mixture by weight.
    - iii. Tall Fescue/Kentucky Bluegrass: Full Sun Mixture: For use in drought prone areas and/or for areas receiving low to medium management in full sun to medium shade. Recommended mixture includes: Certified Tall Fescue Cultivars 95 to 100 percent, Certified Kentucky Bluegrass Cultivars 0 to 5 percent. Seeding Rate: 5 to 8 pounds per 1000 square feet. One or more cultivars may be blended.
    - iv. Kentucky Bluegrass/Fine Fescue: Shade Mixture: For use in areas with shade in Bluegrass lawns. For establishment in high quality, intensively managed turf areas. Mixture includes: Certified Kentucky Bluegrass Cultivars 30 to 40 percent and Certified Fine Fescue and 60 to 70 percent. Seeding Rate: 1 1/2 to 3 pounds per 1000 square feet.

3. Ideal Times of Seeding for Turf Grass Mixtures Western MD: March 15 to June 1, August 1 to October 1 (Hardness Zones: 5b, 6a) Central MD: March 1 to May 15, August 15 to October 15 (Hardness Zones: 6b) Southern MD, Eastern Shore: March 1 to May 15, August 15 to October 15 (Hardness Zones: 7a, 7b)
  - a. Tall trees to receive seed by disking or other approved methods to a depth of 2 to 4 inches, level and rake the areas to prepare a proper seedbed. Remove stones and debris over 1 1/2 inches in diameter. The resulting seedbed must be in such condition that future mowing of grass will pose no difficulty.
  - b. If soil moisture is deficient, supply new seedlings with adequate water for plant growth ( 1/2 to 1 inch every 3 to 4 days depending on soil texture) until they are firmly established. This is especially true when seeds are made late in the planting season, in abnormally dry or hot seasons, or on adverse sites.

Permanent Seeding Summary				
Hardness Zone (from Figure B.3):	_____ B1 _____	_____ B2 _____	Fertilizer Rate (10-20-20)	
Seed Mixture (from Table B.3):	_____ 1 _____	_____ 2 _____	N	P <sub>2</sub> O <sub>5</sub>
No.	Species	Application Rate (lb/acre)	Seeding Dates	Seeding Depth
1	TALL FESCUE	100	Mar. - May 15 Aug. - Oct. 15	1 1/4 - 1 1/2 in.

STANDARD STABILIZATION NOTE  
 FOLLOWING INITIAL SOIL DISTURBANCE OR RE-DISTURBANCE, PERMANENT OR TEMPORARY STABILIZATION MUST BE COMPLETED WITHIN:  
 a.) THREE (3) CALENDAR DAYS AS TO THE SURFACE OF ALL PERIMETER DICES, SHOULDS, DITCHES, PERIMETER SLOPES AND ALL SLOPES STEEPER THAN 3 HORIZONTAL TO 1 VERTICAL (3:1); AND  
 b.) SEVEN (7) CALENDAR DAYS AS TO ALL OTHER DISTURBED OR GRADED AREAS ON THE PROJECT SITE, NOT UNDER ACTIVE GRADING.

**STANDARDS AND SPECIFICATIONS FOR STOCKPILE AREA (B-4-B)**

**Definition**  
 The mound or pile of soil protected by appropriately designed erosion and sediment control measures.

**Purpose**  
 To provide a designated location for the temporary storage of soil that controls the potential for erosion, sedimentation, and changes to drainage patterns.

**Conditions Where Practice Applies**  
 To stabilize disturbed soils with vegetation for up to 6 months.

**Criteria**  
 To use flat growing vegetation that provides cover on disturbed soils.

1. The stockpile location and all related sediment control practices must be clearly indicated on the erosion and sediment control plan.
2. The footprint of the stockpile must be sized to accommodate the anticipated volume of material and based on a side slope ratio no steeper than 2:1. Benching must be provided in accordance with Section B-3 Land Grading.
3. Runoff from the stockpile area must drain to a suitable sediment control practice.
4. Access the stockpile area from the upgrade side.
5. Clear water runoff into the stockpile area must be minimized by use of a diversion device such as an earth ditch, temporary swale or diversion fence. Provisions must be made for discharging concentrated flow in a non-erosive manner.
6. Where runoff concentrates along the low of the stockpile fill, an appropriate erosion/sediment control practice must be used to intercept the discharge.
7. Stockpiles must be stabilized in accordance with the 3/7 day stabilization requirement as well as Standard B-4-1 Incremental Stabilization and Standard B-4-4 Temporary Stabilization.
8. If the stockpile is located on an impervious surface, a liner should be provided below the stockpile to facilitate cleanup. Stockpiles containing contaminated material must be covered with impermeable sheeting.

Maintenance  
 The stockpile area must continuously meet the requirements for Adequate Vegetative Establishment in accordance with Section B-4 Vegetative Stabilization. Side slopes must be maintained at no steeper than a 2:1 ratio. The stockpile area must be kept free of erosion. If the vertical height of a stockpile exceeds 20 feet for 2-1 slopes, 30 feet for 3:1 slopes, or 40 feet for 4:1 slopes, benching must be provided in accordance with Section B-3 Land Grading.

**STANDARDS AND SPECIFICATIONS FOR SEEDING AND MULCHING (B-4-3)**

**Definition**

The application of seed and mulch to establish vegetation cover.

**Purpose**

To protect disturbed soils from erosion during and at the end of construction.

**Conditions Where Practice Applies**

To the surface of all perimeter controls, slopes, and any disturbed area not under active grading.

**Criteria**

1. Seeding
  - a. All seed must meet the requirement of the Maryland State Seed Law. All seed must be subject to re-testing by a recognized seed laboratory. All seed used must have been tested within the 6 months immediately preceding the date of sowing such material on any project. Refer to Table B.4 regarding the quality of seed. Seed tags must be available upon request to the inspector to verify type of seed and seeding rate.
  - b. Mulch alone may be applied between the fall and spring seeding dates only if the ground is frozen. The appropriate seeding mixture must be applied when the ground thaws.
  - c. Inoculants: The inoculant for treating legume seed in the seed mixtures must be a pure culture of nitrogen fixing bacteria prepared specifically for the species. Inoculants must not be used later than the date indicated on the container. Add fresh inoculants as directed on the package. Use four times the recommended rate when hydroseeding. Note: It is very important to keep inoculant as cool as possible until used. Temperatures above 75 to 80 degrees Fahrenheit can weaken bacteria and make the inoculant less effective.
  - d. Sod or seed must not be placed on soil which has been treated with soil sterilants or chemicals used for weedcontrol until sufficient time has elapsed (14 days min.) to permit dissipation of phyto-toxic materials.
2. Application
  - a. Dry Seeding: This includes use of conventional drop or broadcast spreaders.
    - i. Incorporate seed into the subsoil at the rates prescribed on Temporary Seeding Table B.1, Permanent Seeding Table B.3, or site-specific seeding summaries.
    - ii. Apply seed in two directions, perpendicular to each other. Apply half the seeding rate in each direction. Roll the seeded area with weighted roller to provide good seed to soil contact.
  - b. Drill or Cultipacker Seeding: Mechanized seeders that apply and cover seed with soil.
    - i. Cultipacker seeders are required to bury the seed in such a fashion as to provide at least 1/4 inch of soil covering. Seedbed must be firm after planting.
    - ii. Apply seed in two directions, perpendicular to each other. Apply half the seeding rate in each direction.
  - c. Hydroseeding: Apply seed uniformly with hydroseeder (slurry includes seed and fertilizer).
    - i. If fertilizer is being applied at the time of seeding, the application rates should not exceed the following: nitrogen, 100 pounds per acre total of soluble nitrogen; P O (phosphorus), 200 pounds per acre; K O (potassium), 200 pounds per acre.
    - ii. Lime: Use only ground agricultural limestone (up to 3 tons per acre may be applied by hydroseeding). Normally, not more than 2 tons are applied by hydroseeding at any one time. Do not use burnt or hydrated lime when hydroseeding.
    - iii. Mix seed and fertilizer on site and seed immediately and without interruption.
    - iv. When hydroseeding does not incorporate seed into the soil.

3. Mulching
  - a. Materials (in order of preference)
    - i. Straw consisting of thoroughly threshed wheat, oat, rye, or barley and reasonably bright in color. Straw is to be free of noxious weed seeds as specified in the Maryland Seed Law and not musty, moldy, coked, decayed, or excessively dusty. Note: Use only sterile straw mulch in areas where one species of grass is desired.
    - ii. Wood Cellulose Fiber Mulch (WCFM) consisting of specially prepared wood cellulose processed into uniform fibrous physical state.
      - i. WCFM is to be dyed green or contain a green dye in the package that will provide an appropriate color to facilitate visual inspection of the uniformity spread slurry.
      - ii. WCFM, including dye, must contain no germination or growth inhibiting factors.
      - iii. WCFM materials are to be manufactured and processed in such a manner that the wood cellulose fiber mulch will remain in uniform suspension in water under agitation and will blend with seed, fertilizer and other additives to form a homogeneous slurry. The mulch material must form a blotter-like ground cover, on application, having moisture absorption and percolation properties and must cover and hold grass seed in contact with the soil without inhibiting the growth of the grass seedlings.
      - iv. WCFM material must not contain elements or compounds at concentration levels that will by phyto-toxic.
      - v. WCFM must conform to the following physical requirements: fiber length of approximately 10 millimeters, diameter approximately 1 millimeter, pH range of 4.0 to 8.5, ash content of 1.6 percent maximum and water holding capacity of 90 percent minimum.
  - b. Application
    - i. Apply mulch to all seeded areas immediately after seeding.
    - ii. When straw mulch is used, spread it over all seeded areas at the rate of 2 tons per acre to a uniform loose depth of 1 to 2 inches. Apply mulch to achieve a uniform distribution and depth so that the soil surface is not exposed. When using a mulch anchoring tool, increase the application rate to 2.5 tons per acre.
    - iii. Wood cellulose fiber used as mulch must be applied to a net dry weight of 1500 pounds per acre. Mix the wood cellulose fiber with water to obtain a mixture with a maximum of 50 pounds of wood cellulose fiber per 100 gallons of water.
  - c. Anchoring
    - i. Perform mulch anchoring immediately following application of mulch to minimize loss by wind or water. This may be done by one of the following methods (listed by preference), depending upon the size of the area and erosion hazard:
      - i. A mulch anchoring tool is a tractor drawn implement designed to punch and anchor mulch into the soil surface a minimum of 2 inches. This practice is most effective on large areas, but is limited to flatter slopes where equipment can operate safely. If used on sloping land, this practice should follow the contour.
      - ii. Wood cellulose fiber may be used for anchoring straw. Apply the fiber binder at a net dry weight of 750 pounds per acre. Mix the wood cellulose fiber with water at a maximum of 50 pounds of wood cellulose fiber per 100 gallons of water.
      - iii. Synthetic binders such as Acrylic DLR (Agra-Tack), DCA-70, Petrosol, Terra Tex II, Terra Tack AR or other approved equal may be used. Follow application rates as specified by the manufacturer. Application of liquid binders needs to be heavier at the edges where wind catches mulch, such as in valleys and on crests of banks. Use of asphalt binders is strictly prohibited. Lightweight plastic netting may be stapled over the mulch according to manufacturer recommendations. Netting is usually available in rolls 4-15 feet wide and 300 to 3,000 feet long.
    - iv. Other methods may be used to anchor mulch to the soil surface.

**SEQUENCE OF CONSTRUCTION**

1. OBTAIN GRADING PERMITS. (2 WEEKS)
2. NOTIFY "MSS UTILITY" AT LEAST 48 HOURS BEFORE ANY WORK. AT 1-800-257-7777. NOTIFY HOWARD COUNTY OFFICE OF CONSTRUCTION/INSPECTION DIVISION AT 410-313-1970 AT LEAST 24-HOURS BEFORE STARTING ANY WORK.
3. INSTALL THE STABILIZED CONSTRUCTION ENTRANCES, PERIMETER SUPER SILT FENCE AND EXTERNAL EXTERIOR DICES AS SHOWN ON THE PLANS. CLEAR AND GRUB SITE. (3 DAYS)
4. INSTALL INTERNAL EARTH DICED AND P.O.S.T. #1 AND 2 SIMULTANEOUSLY. THEN INSTALL STORM DRAINAGE STRUCTURES AND PIPES FROM H-10 TO H-7 TO EX. H-2. INSTALL 1-19A TO I-19 TO H-23 TO EX. MANHOLE TO EXPOSE THE CLEAN WATER AROUND THE SITE. (2 WEEKS)
5. GRADE SITE TO MASS GRADING CONTOURS FOR THE PRIVATE ROADS AND BUILDING PADS. THE CONTRACTOR SHALL HAVE THE OPTION TO GRADE SOME AREAS PRIOR TO OTHERS TO ALLOW FOR FLEXIBILITY ON WHICH PORTION OF THE PRIVATE ROADS BE CONSTRUCTED FIRST. OBTAIN PERMISSION FROM THE SEDIMENT CONTROL INSPECTOR BEFORE PROCEEDING. (3 WEEKS)
6. INSTALL THE PROPOSED STORM DRAIN SYSTEMS TO H-12 THEN INSTALL A 24" FLEXIBLE PIPE UNTIL P.O.S.T. #2. INSTALL PUBLIC WATER MAINS AND PUBLIC/Private SEWER MAINS AS SHOWN ON THE PLANS. SO FOR THE SWM BIO-RETENTION CELLS, THE CONSTRUCTION SHALL COMPLETE THE SOIL PROFILE OF FILTER MEDIA, STONE LAYERS, UNDERDRAIN AND PLANTINGS FOR EACH BIO-RETENTION CELL. CAN BE RELATED UNTIL THE CONTRIBUTING DRAINAGE AREA FOR EACH FACILITY IS PERMANENTLY STABILIZED. INSTALL INLET PROTECTION AS SHOWN ON THE PLAN OR AS ANOTHER OPTION, BUILD THE 60 AND 100 IN SLOPE (2 WEEKS)
7. INSTALL THE PROPOSED SEWER AND WATER MAINS IN CONJUNCTION WITH THE ABOVE STORM DRAIN SYSTEM. (1 WEEK)
8. UPON PERMISSION FROM THE SEDIMENT CONTROL INSPECTOR TO PROCEED, INSTALL CONCRETE CURBS AND GUTTER BASE COURSE FINING.
9. UPON PERMISSION FROM THE SEDIMENT CONTROL INSPECTOR, THE CONTRACTOR MAY COORDINATE A PHASING FOR THE REMOVAL OF INDIVIDUAL CONTROL MEASURES LIKE P.O.S.T. #1 SUCH THAT HOUSING CONSTRUCTION MAY BEGIN SOONER IN SOME AREAS THAN OTHERS ON-SITE.
10. INSTALL INLET PROTECTION ON THOSE INLETS AS INTENDED TO PROTECT EACH SWM FACILITY. BEGIN CONSTRUCTION OF THE TOWNHOUSES. ONCE THE CONTRIBUTING DRAINAGE AREA TO THE PERIMETER CONTROL STRUCTURES IS STABILIZED, THE PERIMETER SILT FENCE CAN BE REMOVED. (1 WEEK)
11. STABILIZE ALL REMAINING AREAS DISTURBED AREAS ON SITE WITH PERMANENT SEEDING OR OPTIONAL SEEDING. THE FINAL CONSTRUCTION OF THE BIO-RETENTION FACILITIES CAN BE COMPLETED WITH THE FILTER MEDIA AND PLANTING THE FILTER MEDIA. (1 WEEK)
12. STANDARD NOTE: THE CONTRACTOR SHALL COORDINATE WITH THE INSPECTOR IN REGARDS TO THE REQUIREMENT THAT NO MORE THAN 20 ACRES OF "OPEN" GROUND SHALL BE DISTURBED AT ANY GIVEN TIME. THE DISTURBED AREAS SHALL BE RESEED AS SOON AS POSSIBLE.
13. THE CONTRACTOR SHALL INSPECT AND PROVIDE NECESSARY MAINTENANCE ON ALL SEDIMENT AND EROSION CONTROL STRUCTURES SHOWN HEREIN AFTER EACH RAINFALL AND ON A DAILY BASIS.
14. GREEN NEIGHBORHOOD NOTE: ALL CONSTRUCTION WASTE WILL BE MANAGED IN ACCORDANCE WITH THE APPROVED GREEN NEIGHBORHOOD WASTE MANAGEMENT PLAN.

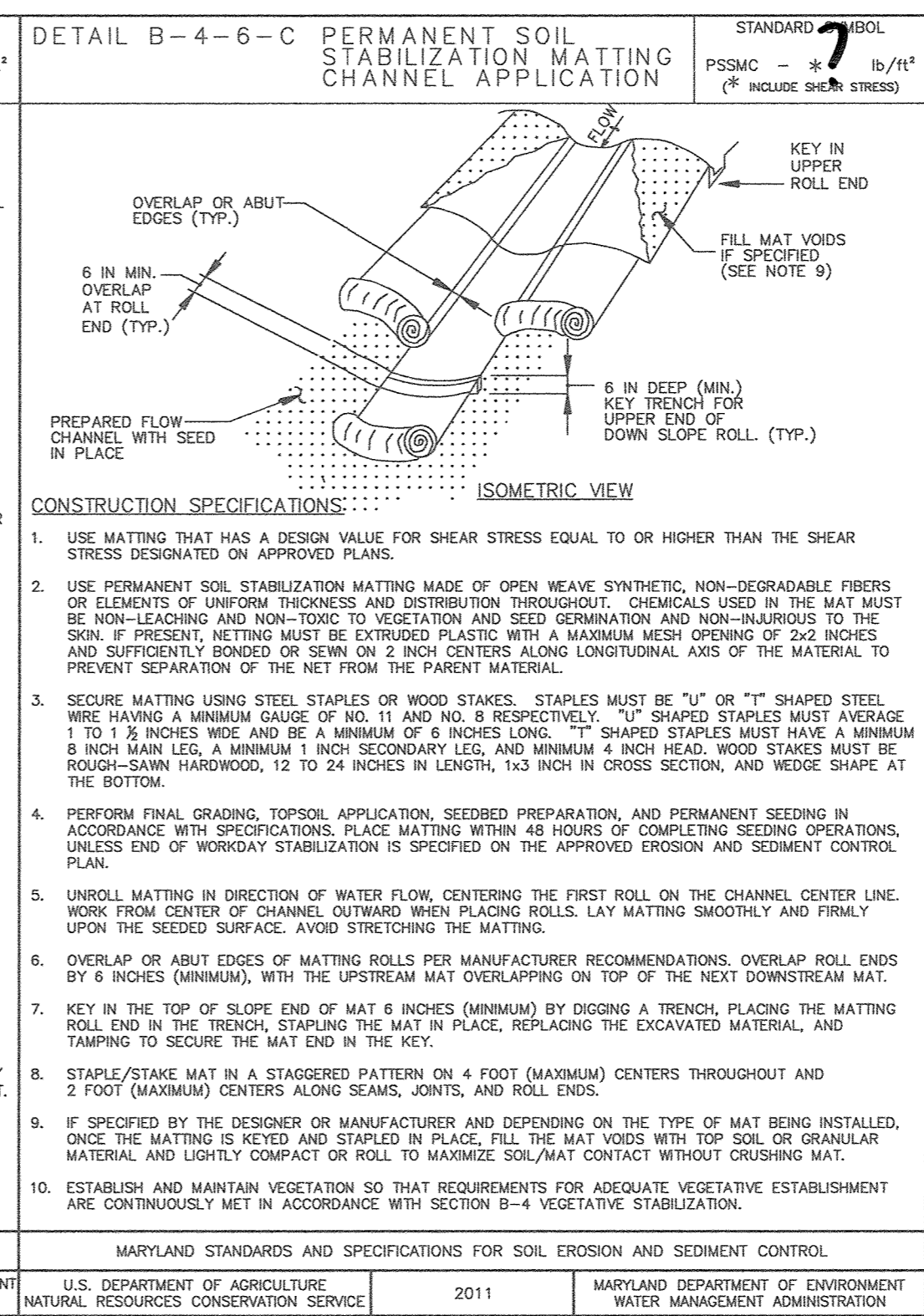
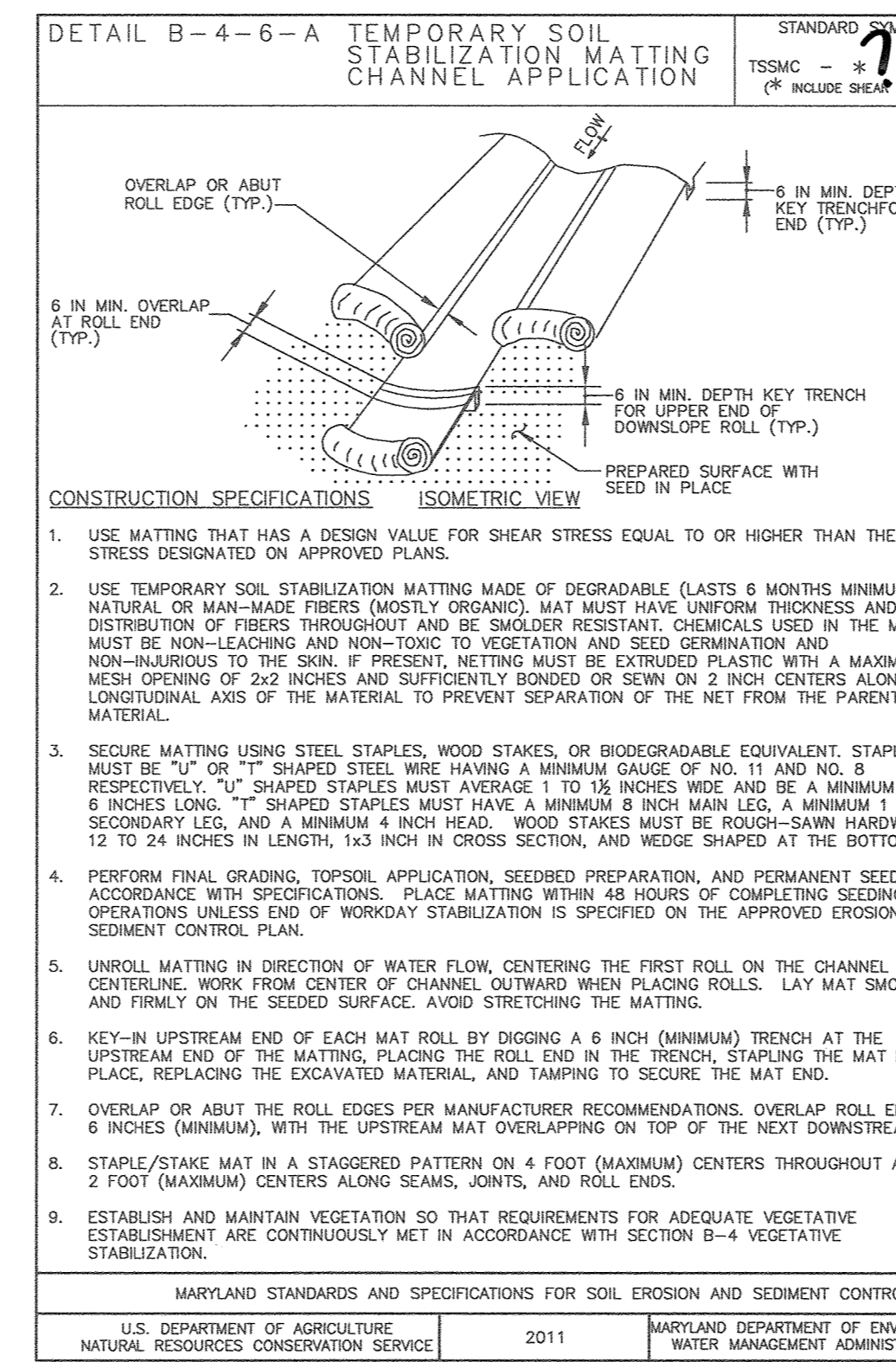
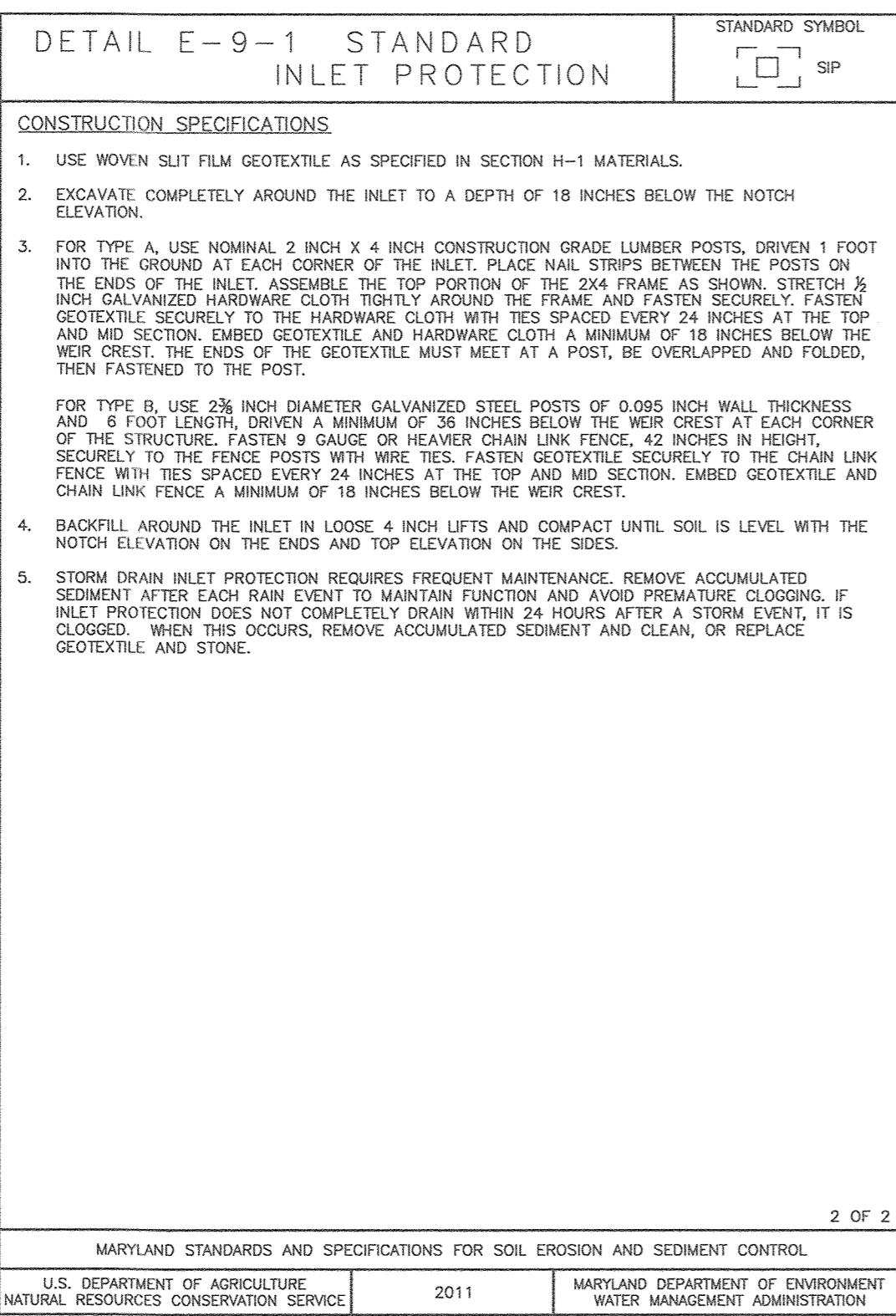
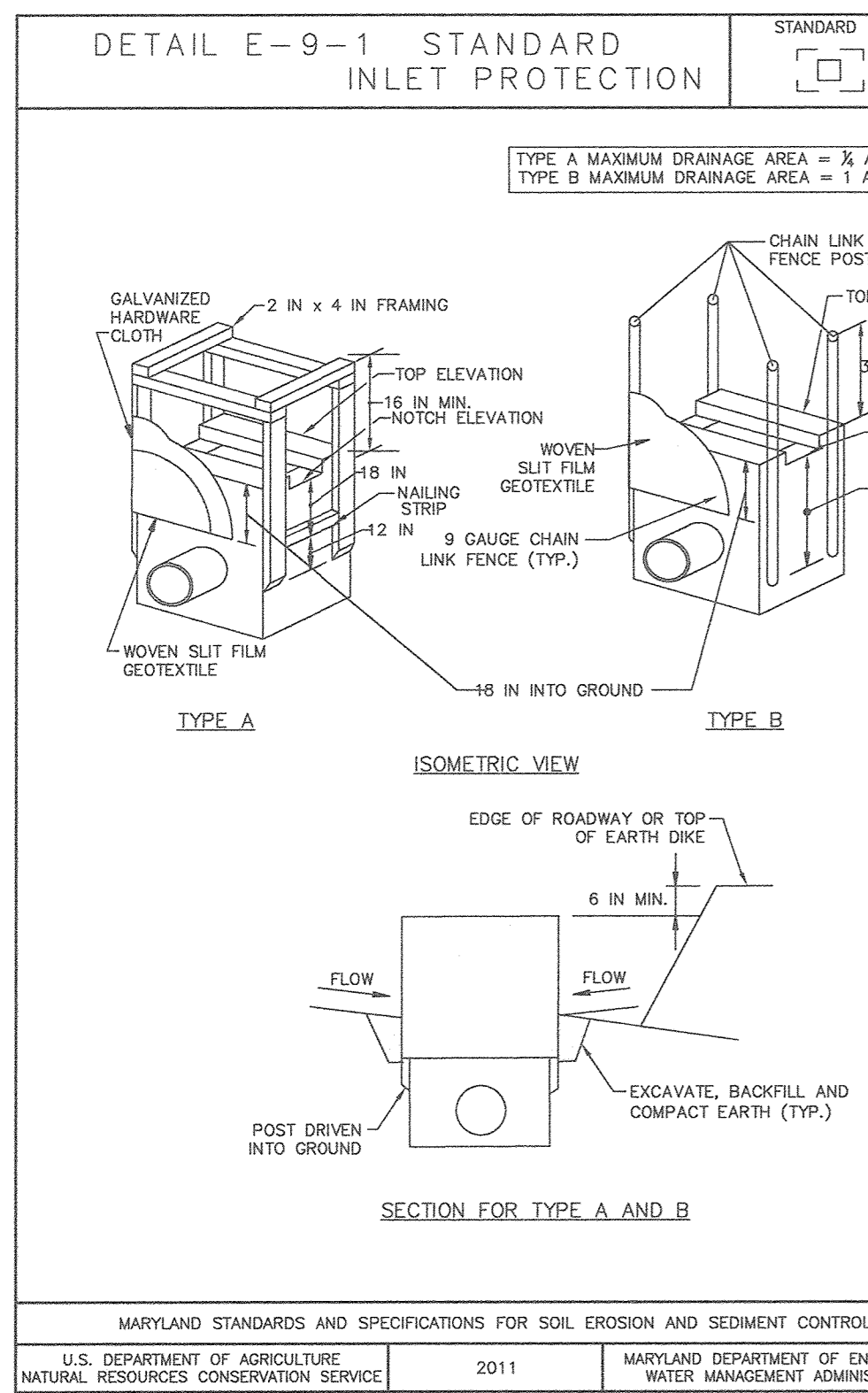
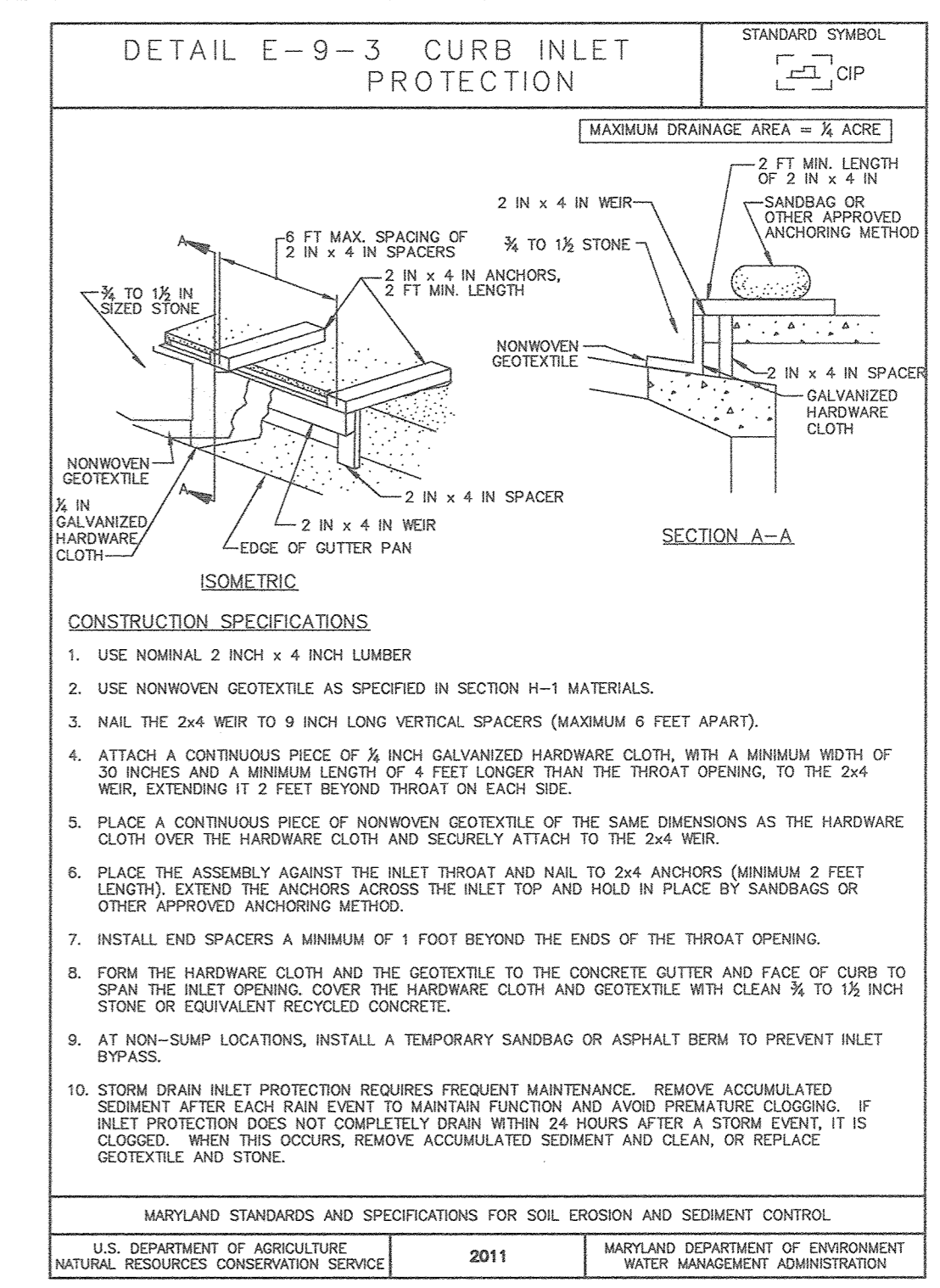
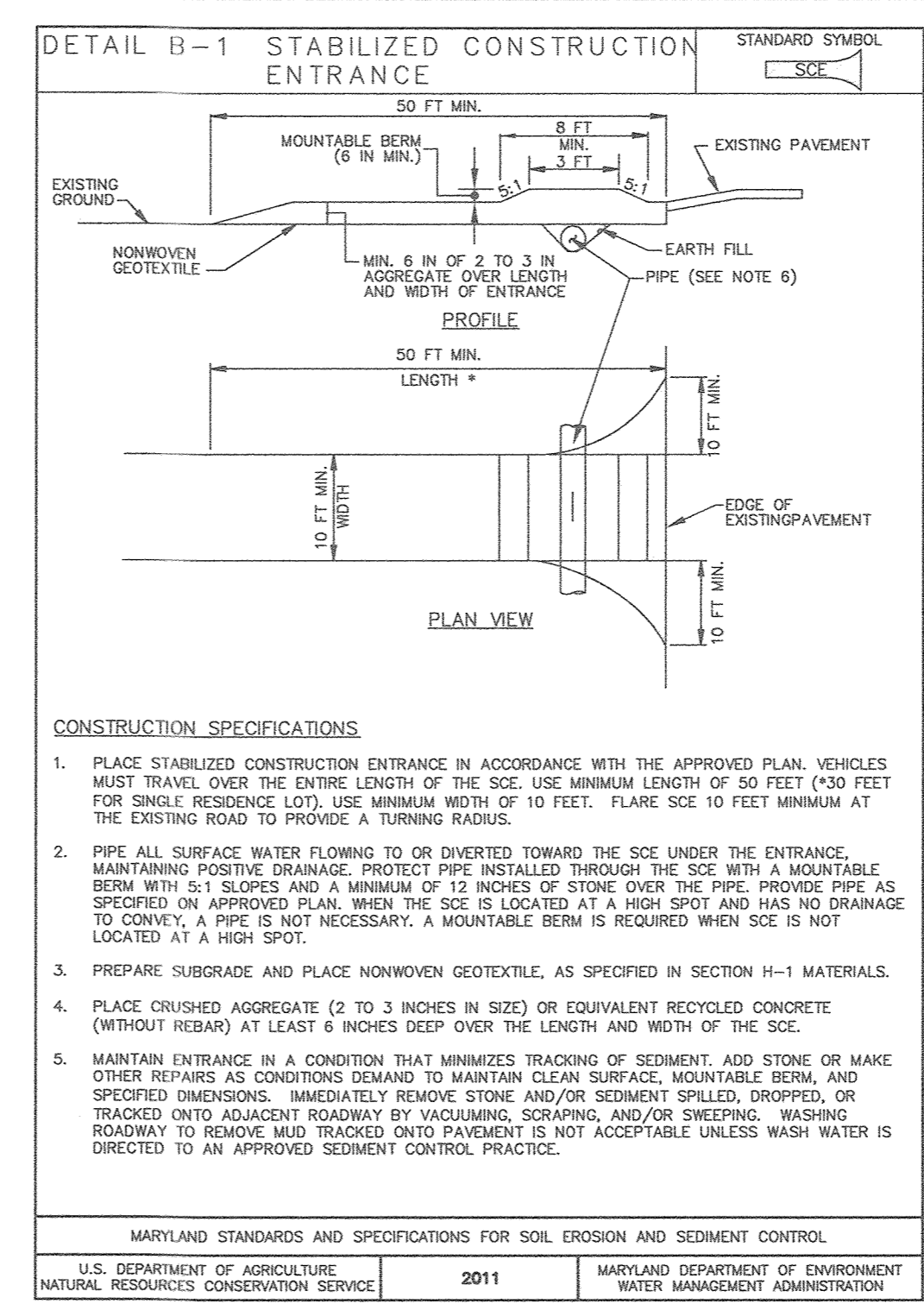
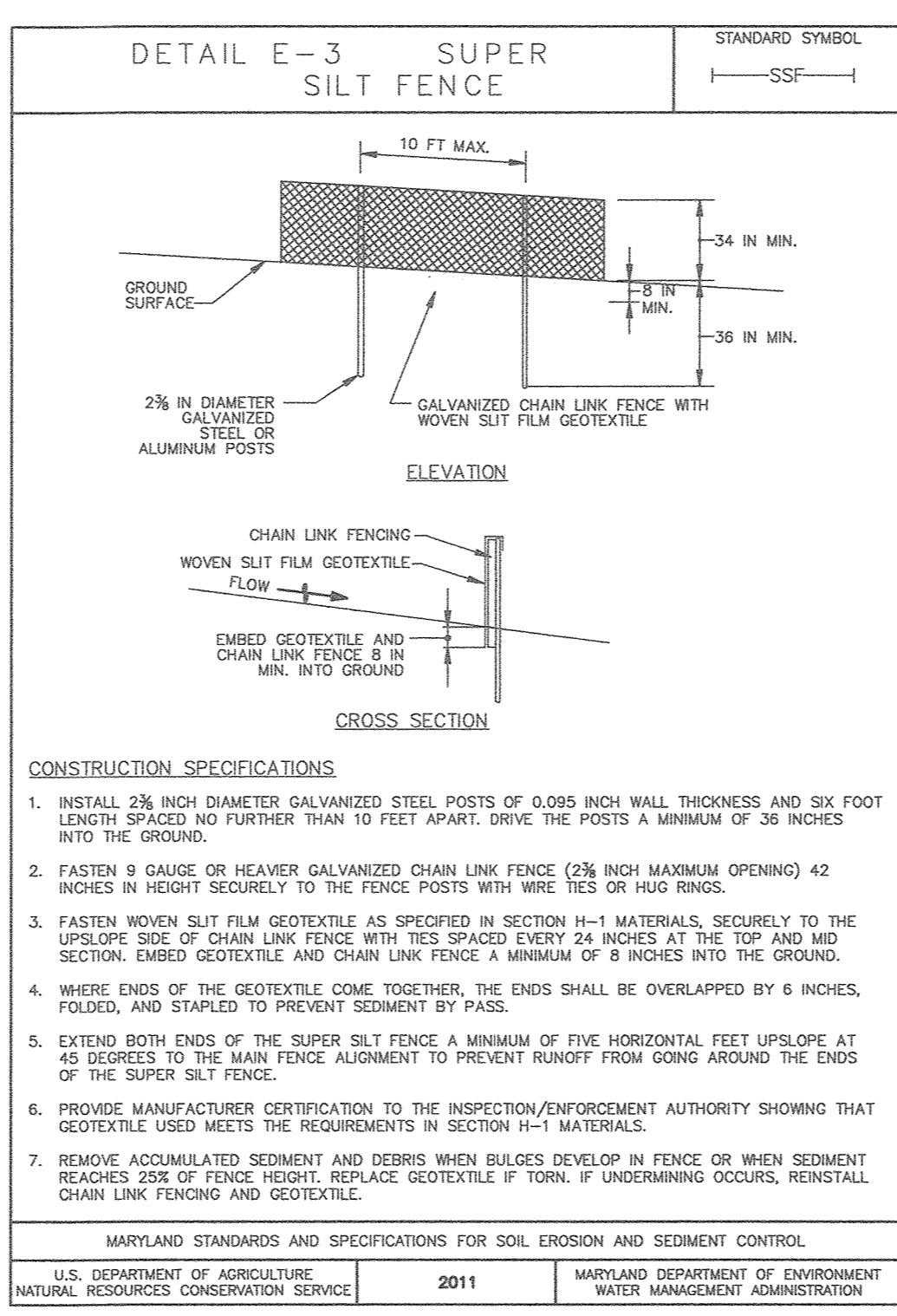
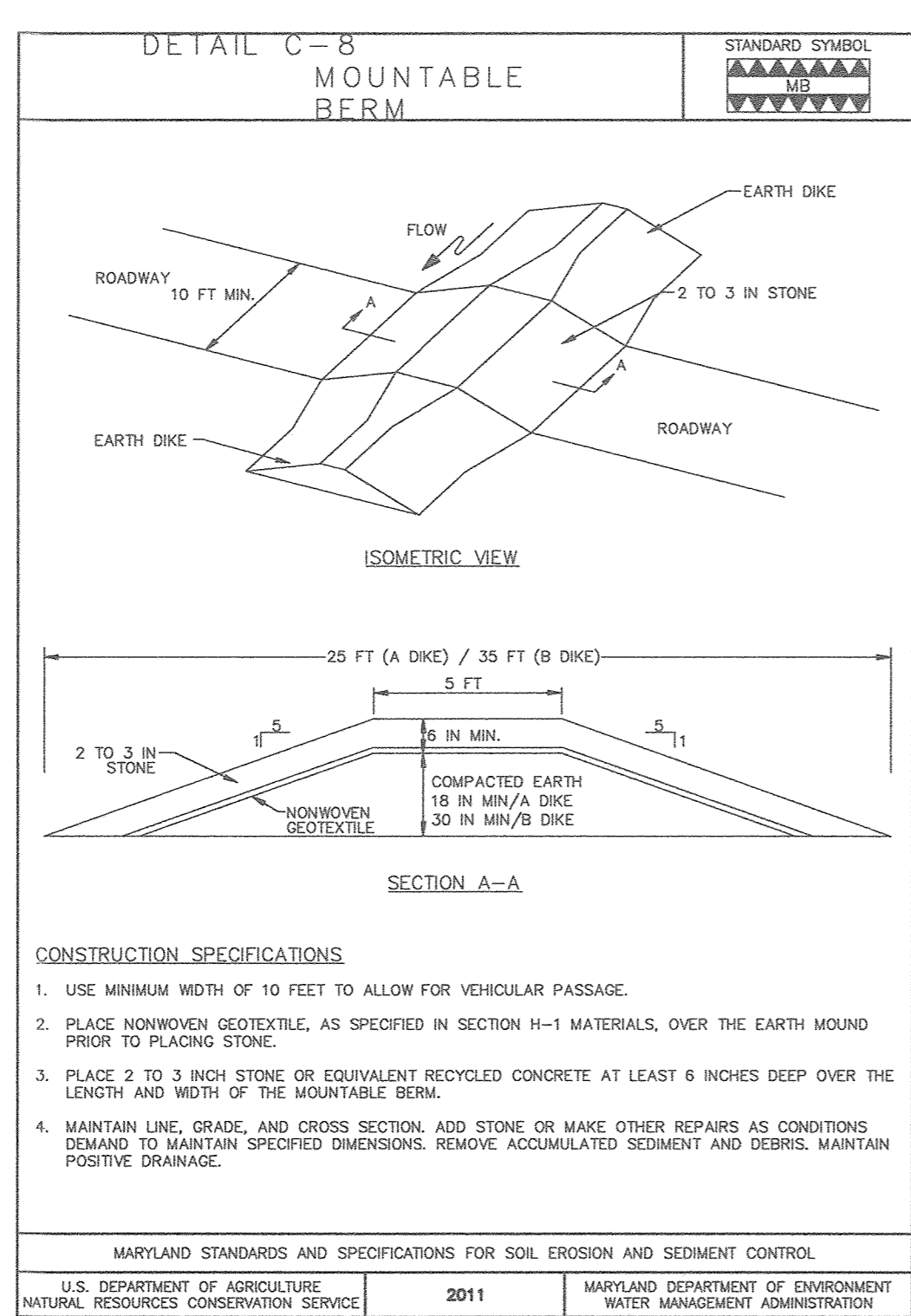
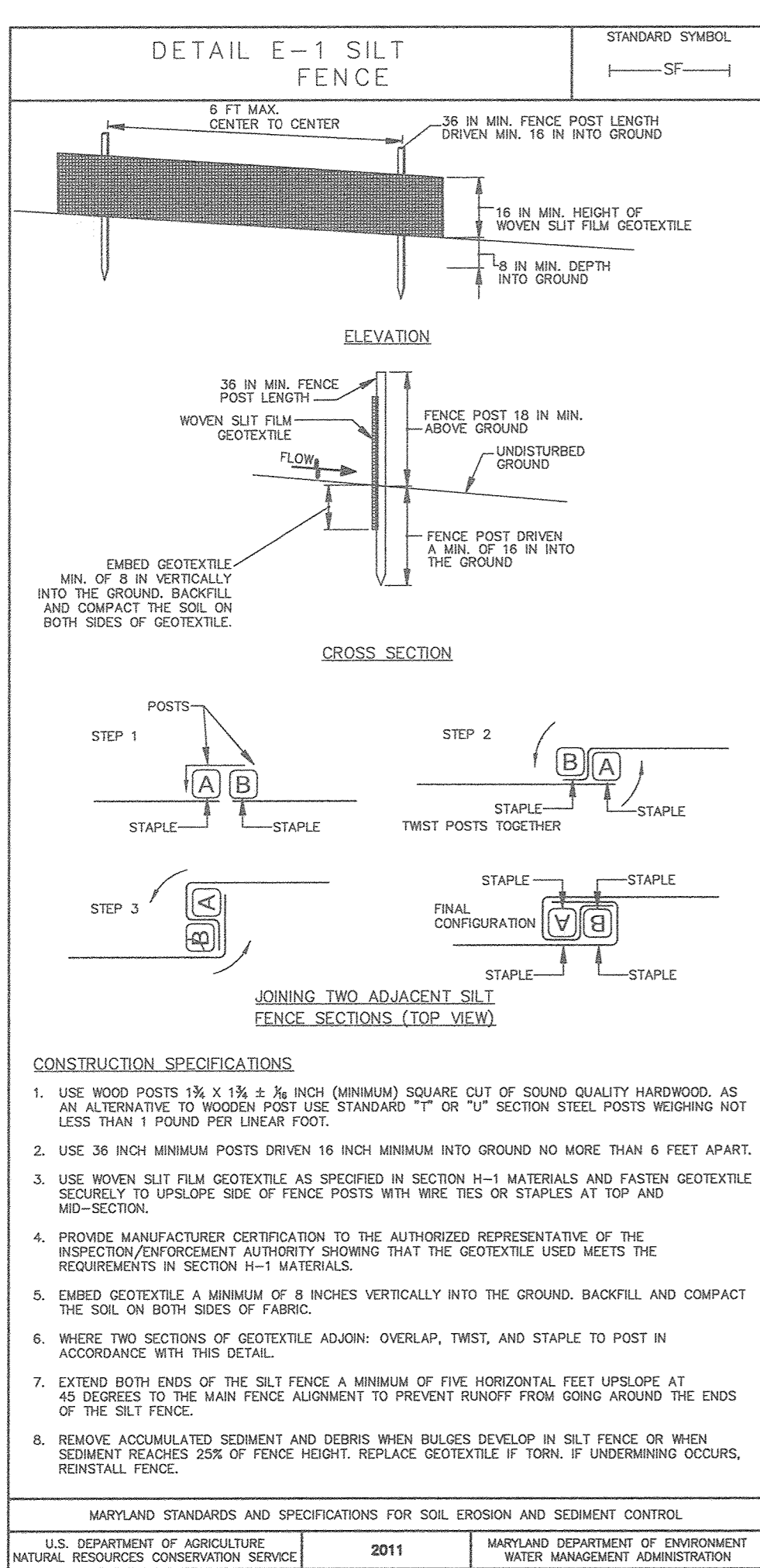
NOTE: ALL CONSTRUCTION WASTE MUST BE MANAGED IN ACCORDANCE WITH THE CONSTRUCTION WASTE MANAGEMENT PLAN PER GREEN NEIGHBORHOOD CREDIT H-3.

**HOWARD SOIL CONSERVATION DISTRICT (HSCD) STANDARD SEDIMENT CONTROL NOTES**

1. A pre-construction meeting must occur with the Howard County Department of Public Works, Construction Inspection Division (CID), 410-313-1955 after the future L.O.O and protected areas are marked clearly in the field. A minimum of 48 hour notice to CID must be given at the following stages: a. Prior to the start of earth disturbance, b. Upon completion of the installation of perimeter erosion and sediment controls, but before proceeding with any other earth disturbance or grading, c. Prior to the start of another phase of construction or erosion of another grading unit, d. Prior to the removal or modification of sediment control practices. Other building or grading inspection approvals may not be authorized until this initial approval by the inspection agency is made. Other related state and federal permits shall be referenced, to ensure coordination and to avoid conflicts with this plan.
2. All vegetative and structural practices are to be installed according to the provisions of this plan and are to be in conformance with the 2011 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL and revisions thereto.
3. Following initial soil disturbance or re-disturbance, permanent or temporary stabilization is required within three (3) calendar days as to the surface of all perimeter controls, dikes, swales, ditches, perimeter slopes, and all slopes steeper than 3 horizontal to 1 vertical (3:1) or steeper than 2:1 calendar days as to all other disturbed areas on the project site except for those areas under active grading.
4. All disturbed areas must be stabilized within the time period specified above in accordance with the 2011 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL for topsoil (Sec. B-4-2), permanent seeding (Sec. B-4-4) and mulching (Sec. B-4-3). Temporary stabilization with mulch alone can only be applied between the fall and spring seeding dates if the ground is frozen. Incremental stabilization (Sec. B-4-1) specifications shall be enforced in areas with >15' of cut and/or fill. Slopstakes (Sec. B-4-4-B) in excess of 20 ft in excess of 20 ft must be benched with stable outlet. All concentrated flow, steep slopes, and highly erodible areas shall receive soil stabilization matting (Sec. B-4-6).
5. All sediment control structures are to remain in place, and are to be maintained in operative condition until permission for their removal has been obtained from the CID.
6. Site Analysis:  
 Total Area of Site: 10.45 Acres (Parcel "V", Parcel "G-Q" & p/o 0.5 Lot 377)  
 Area Disturbed: 6.1 Acres  
 Area to be roofed or paved: 3.6 Acres  
 Area to be vegetatively stabilized: 2.9 Acres  
 Total Cut: 13,046 Cu. Yds.  
 Total Fill: 25,700 Cu. Yds.  
 Waste/Borrow Area Location: ON-SITE OF OXFORD PROJECT
7. Any sediment control practice which is disturbed by grading activity for placement of utilities must be repaired on the same day of disturbance.
8. Additional sediment control must be provided, if deemed necessary by the CID. The site and all controls shall be inspected by the contractor weekly; and the next day after each rain event. A written report by the contractor, made available upon request, is part of every inspection and should include:
  - Inspection date
  - Inspection type (routine, pre-storm event, during rain event)
  - Name and title of inspector
  - Weather information (current conditions as well as time and amount of last recorded precipitation)
  - Brief description of project's status (e.g., percent complete) and/or current deficiencies
  - Evidence of sediment discharges
  - Identification of plan deficiencies
  - Identification of sediment controls that require maintenance
  - Identification of missing or improperly installed sediment controls
  - Compliance status regarding the sequence of construction and stabilization requirements
  - Photographs
  - Monitoring/dampening
  - Maintenance and/or corrective action performed
  - Other inspection items as required by the General Permit for Stormwater Associated with Construction Activities (NPDDES, MDE).
9. Trenches for the construction of utilities is limited to three pipe lengths or that which can and shall be back-filled and stabilized by the end of each workday, whichever is shorter.
10. Any major changes or revisions to the plan or sequence of construction must be reviewed and approved by the HSCD prior to proceeding with construction. Minor revisions may be allowed by the CID per the list of HSCD-approved field changes.
11. Disturbance shall not occur outside the L.O.O. A project is to be sequenced so that grading activities begin on one grading unit (maximum acreage of 20 ac. per grading unit) at a time. Work may proceed to a subsequent grading unit when at least 50 percent of the disturbed area in the preceding grading unit has been stabilized and approved by the HSCD. Unless otherwise specified and approved by the HSCD, no more than 30 acres cumulatively may be disturbed at a given time.
12. Wash water from any equipment, vehicles, haulage, haulage, and other sources must be treated in a sediment basin or other approved washout structure.
13. Topsoil shall be stockpiled and preserved on-site for redistribution onto final grade.
14. All Silt Fence and Super Silt Fence shall be placed on the contour, and be imbricated at 25' minimum intervals, with lower ends curled uphill by 2' in elevation.
15. Stream channels must not be disturbed during the following restricted time periods (inclusive):
  - Use I and IP March 1 - June 15
  - Use III and BP October 1 - April 30
  - Use IV March 1 - May 31
16. A copy of this plan, the 2011 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL, and associated permits shall be on-site and available when the site is active.

**SEDIMENT AND EROSION CONTROL NOTES & DETAILS**  
**OXFORD SQUARE**  
 "A Howard County Green Neighborhood"  
 LOTS 379-434, OPEN SPACE LOTS 435-439 AND PARCEL 'H-H' & 'I-I'  
 'THE YARDS'  
 (Being a Resubdivision Of Parcel "G-Q," As Shown On Lots Entitled "Oxford Square," "Green Neighborhood," "Parcel "G-Q," "F-F," And Open Space Lot 377 Recorded As Plat Nos. 24351 Thru 24353 And A Resubdivision Of Parcel "V," As Shown On Resubdivision Plat Entitled "Oxford Square," "Green Neighborhood," "Parcel "V Thru "Z," "A-A" Thru "C-C," And Open Space Lots 244 And 249 Recorded As Plat Nos. 23710 Thru 23715) Zoned: TD  
 Tax Map No.: 36 Grid No.: 2003  
 First Election District: Howard County, Maryland  
 Scale: As Shown  
 Date: April 4, 2019  
 Sheet 15 Of 44





NOTE: SEE SHEET 29 FOR PIPE OUTLET SEDIMENT TRAP DETAILS.

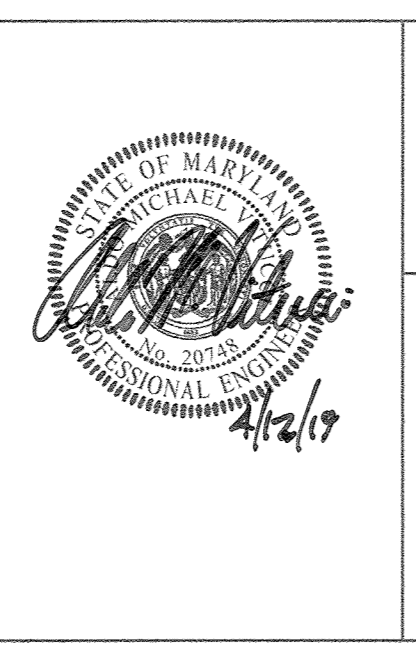
**FISHER, COLLINS & CARTER, INC.**  
 CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS  
 CENTENNIAL SQUARE OFFICE PARK - 10272 BALTIMORE NATIONAL PIKE  
 ELKTON, MD, MARYLAND 21142  
 (410) 461-2995

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

*Verleah...* 6-12-19  
 Chief, Division of Land Development

*...* 5-6-19  
 Chief, Development Engineering Division

*...* 0-17-19  
 Director - Department of Planning and Zoning



**ENGINEER'S CERTIFICATE**

"I certify that soil erosion control represents a practical and workable plan based on the site conditions and that it was prepared in accordance with the Howard Soil Conservation District."

Signature of *David P. Scheffenecker* 4/2/19  
 Date

**PROFESSIONAL DEVELOPER'S CERTIFICATE**

"I/We certify that soil development and construction will be done according to this plan for sediment and erosion control, and that all responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the Howard Soil Conservation District."

Signature of *David P. Scheffenecker* 4/16/19  
 Date

This development plan is approved for soil erosion and sediment control by the HOWARD SOIL CONSERVATION DISTRICT.

Signature of *John P. ...* 5/2/19  
 Date

Owner: Kellogg-CCP, LLC  
 c/o David P. Scheffenecker, Jr., Managing Member  
 100 West Road, Suite 304  
 Towson, Maryland 21284  
 Ph: 410-296-3800

Developer: Preston • Scheffenecker Properties  
 100 West Road, Suite 304  
 Towson, Maryland 21204  
 Ph: 410-296-3800

SUBDIVISION		REVISION		DATE	
NO.	SECTION/AREA				
1	N/A				

NO.	BLOCK NO.	ZONE	TAX/ZONE	ELEC. DIST.	CENSUS TR.
25047-25050	N/A	TOD	3B	1st	601101

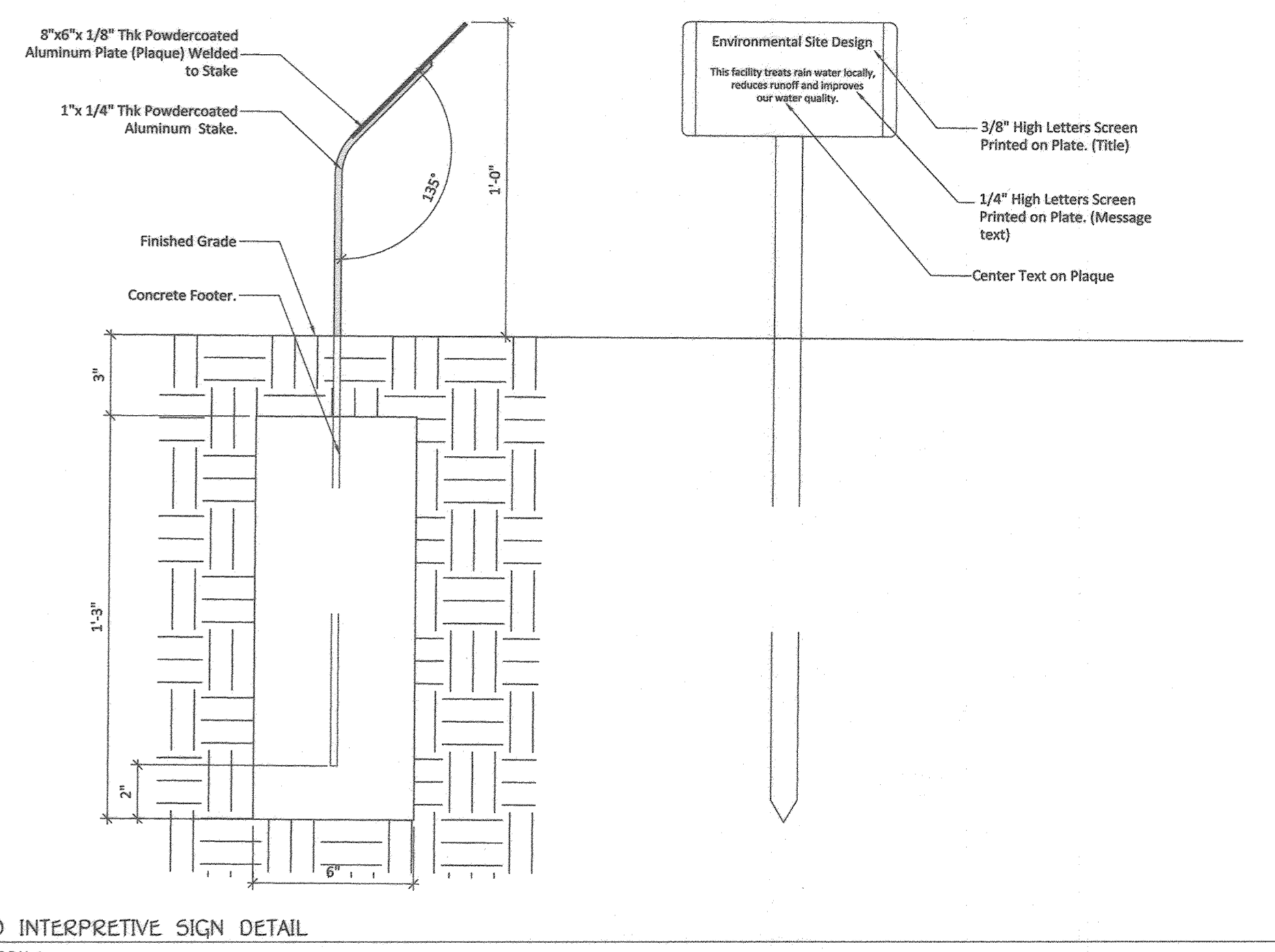
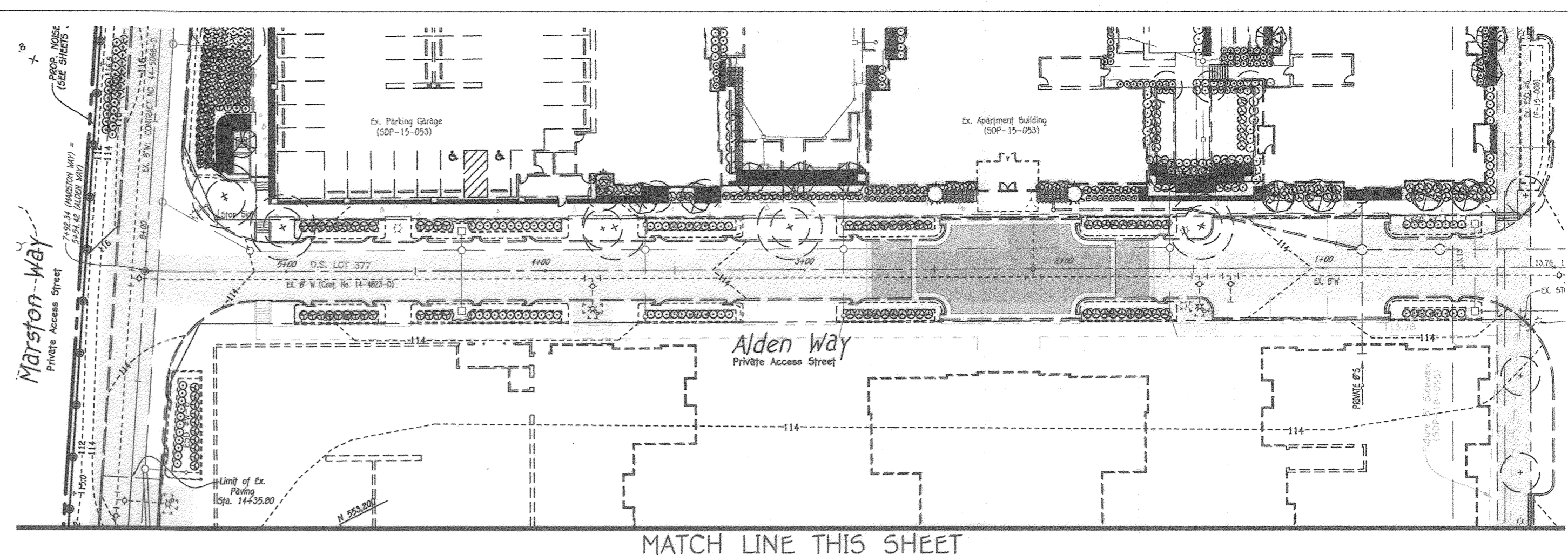
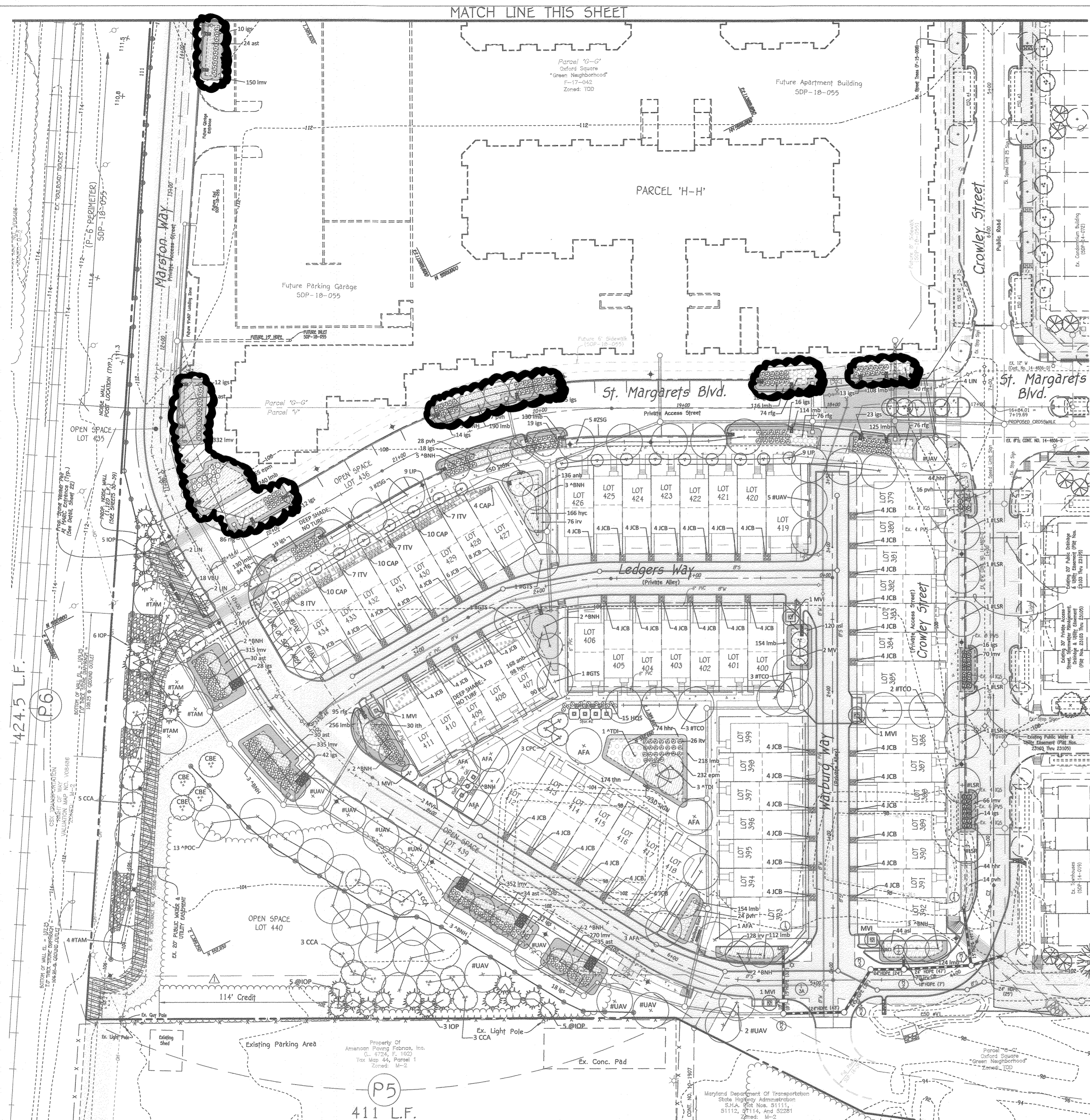
**SEDIMENT AND EROSION CONTROL NOTES & DETAILS**

**OXFORD SQUARE**  
 "A Howard County Green Neighborhood"  
 LOTS 379-434, OPEN SPACE LOTS 435-439 AND PARCEL 'H-H' & 'I-I'

**'THE YARDS'**  
 (Being A Resubdivision Of Parcel 'G-G' As Shown On Plats Entitled "Oxford Square," "Green Neighborhood," Parcels 'G-G,' 'F-F,' And Open Space Lot 377' Recorded As Plat Nos. 24351 Thru 24353) And A Resubdivision Of Parcel 'V,' As Shown On Resubdivision Plat Entitled "Oxford Square," "Green Neighborhood," Parcels 'V' Thru 'Z,' 'A-A' Thru 'C-C' And Open Space Lots 244 And 245' Recorded As Plat Nos. 23710 Thru 23715)

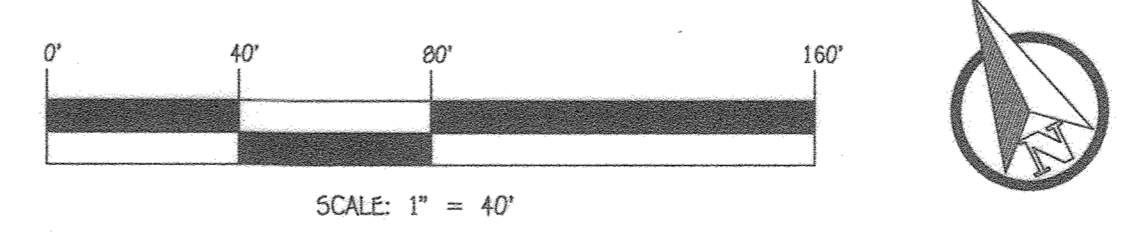
Tax Map No.: 3B Grid No.: 20 Parcel No.: 1003  
 First Election District: Howard County, Maryland  
 Scale: As Shown  
 Date: April 4, 2019  
 Sheet 16 OF 44





NOTE: ESD Nos. V-11, V-15, V-17, V-19 & V-23 THRU V-25 ARE TO BE BUILT UNDER SDP-18-055.

NOTE: ESD #V1 TO BE LANDSCAPED WITH FUTURE SDP-16-051



**PLANT SYMBOL LEGEND**

#ABC - STREET TREE SDP REQUIREMENTS

ABC - INTERNAL LANDSCAPING SDP REQUIREMENTS

@ABC- PERIMETER LANDSCAPING SDP REQUIREMENTS

abc - STORMWATER MANAGEMENT

\*ABC - GREEN NEIGHBORHOODS

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

Chief, Division of Land Development *[Signature]* 3/16/24 Date

Chief, Development Engineering Division *[Signature]* 12-9-20 Date

Director, Department of Planning and Zoning *[Signature]* 3-10-21 Date

**LANDSCAPE DEVELOPER'S CERTIFICATE**

I/We certify that the landscaping shown on this plan will be done according to the plan, Section 16.124 of the Howard County Code and the Howard County Landscape Manual. I/We further certify that upon completion a letter of landscape installation accompanied by an executed one year guarantee of plant materials will be submitted to the Department of Planning and Zoning.

*[Signature]* 9/10/2020 Date

**Owner**  
Kelloog-CCP, LLC  
c/o David P. Scheffnacker, Jr.  
Managing Member  
100 West Road, Suite 304  
Towson, Maryland 21204  
Ph: 410-296-3900

**Developer**  
Preston • Scheffnacker Properties  
100 West Road, Suite 304  
Towson, Maryland 21204  
Ph: 410-296-3800

NO.	REVISION	DATE
3	Removed ESD V-11, V-15, V-17, V-19, V-23 Thru V-25	10-7-21
	ADD ESD #V1, ADDITIONAL PAVING AND STORM DRAIN, MOVED NOISE WALL #3 AND ADJUSTED THE LOCATIONS OF SOME NOISE WALL #2 POSTS.	3/20/22
	REVISE PROPOSED TREE LINE	1/17/20

SUBDIVISION	SECTION/AREA	LOT NOS.
OXFORD SQUARE - 'THE YARDS'	N/A	379-434

PLAT NO.	BLOCK NO.	ZONE	TAX/ZONE	ELEC. DIST.	CENSUS TR.
25047-25050	N/A	TOD	38	1st.	601101

**REVISED LANDSCAPE PLAN OXFORD SQUARE**

"A Howard County Green Neighborhood"

LOTS 379-434, OPEN SPACE LOTS 435-439 AND PARCEL 'H-H' & 'I-I'

"THE YARDS"

(Being A Resubdivision Of Parcel "G-G," As Shown On Plats Entitled "Oxford Square, "Green Neighborhood", Parcels "G-G," "F-F," And Open Space Lot 377" Recorded As Plat Nos. 24351, Thru 24353) And A Resubdivision Of Parcel "A," As Shown On Resubdivision Plat Entitled "Oxford Square, "Green Neighborhood", Parcels "V" Thru "Z," "A-A" Thru "C-C" And Open Space Lots 244 And 245" Recorded As Plat Nos. 23710 Thru 23715)

Zoned: TOD

Tax Map No.: 38 Grid No.: 20 Parcel No.: 1003

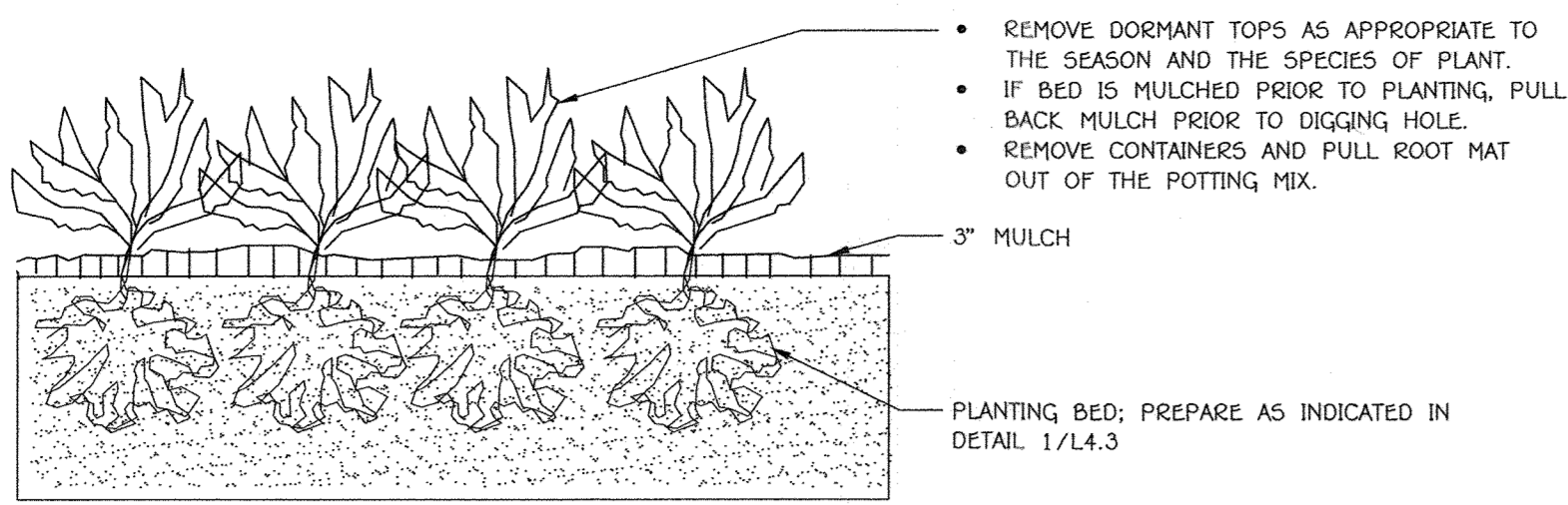
First Election District: Towson, Maryland

Scale: As Shown

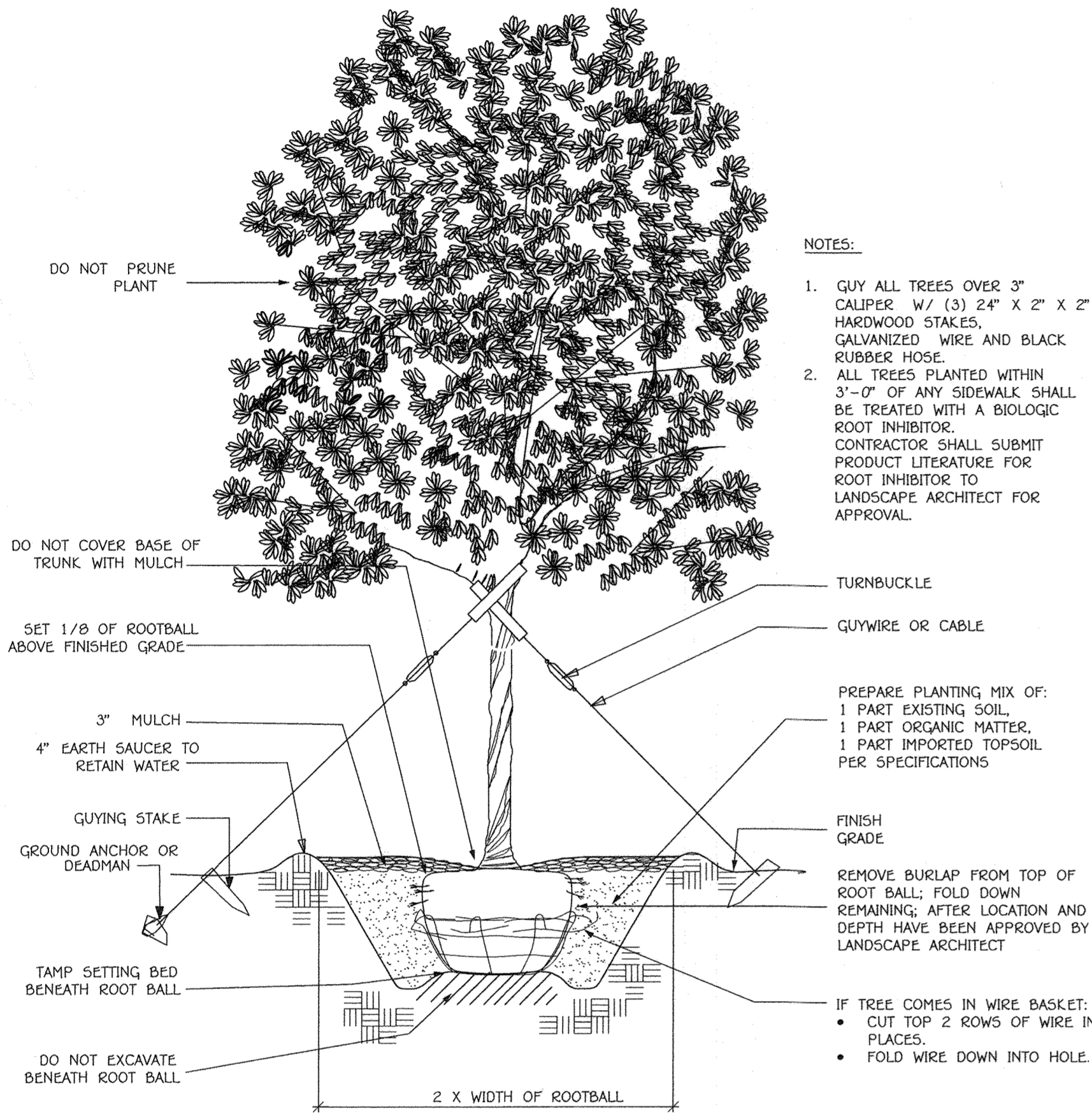
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Sheet 17 of 44

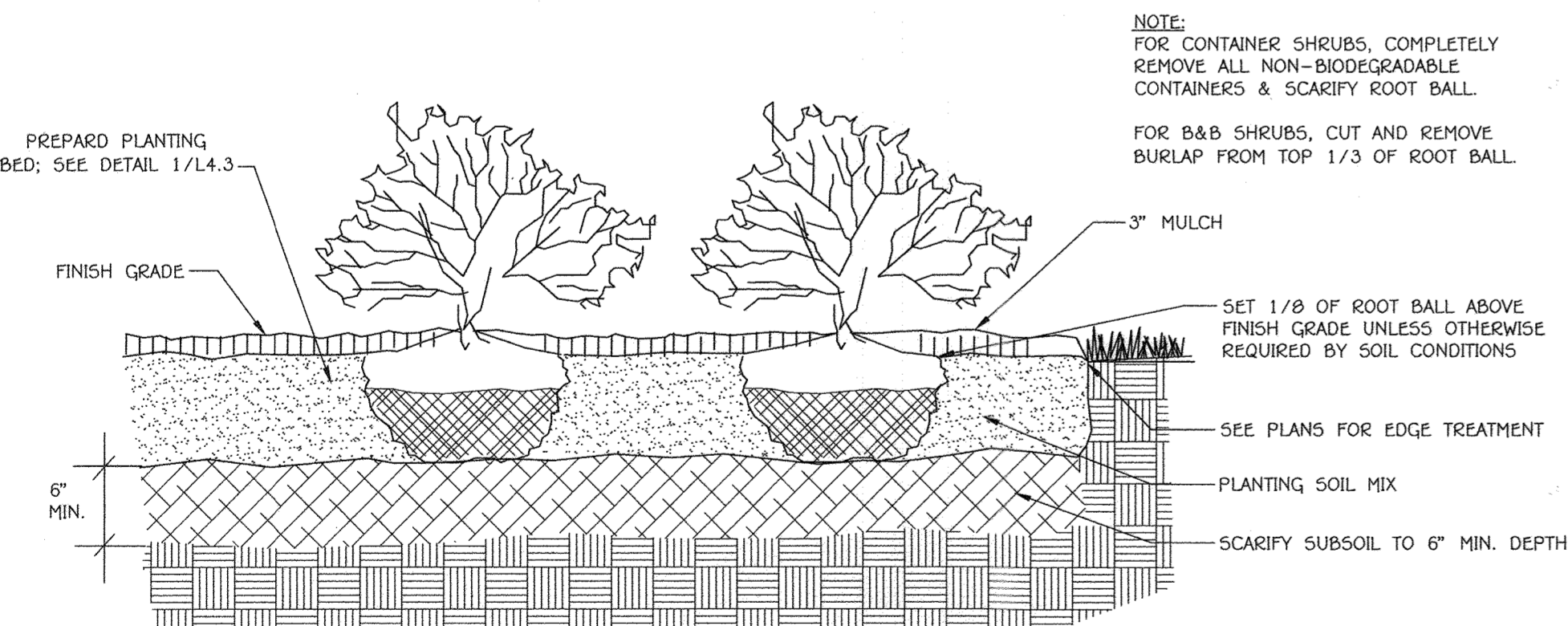




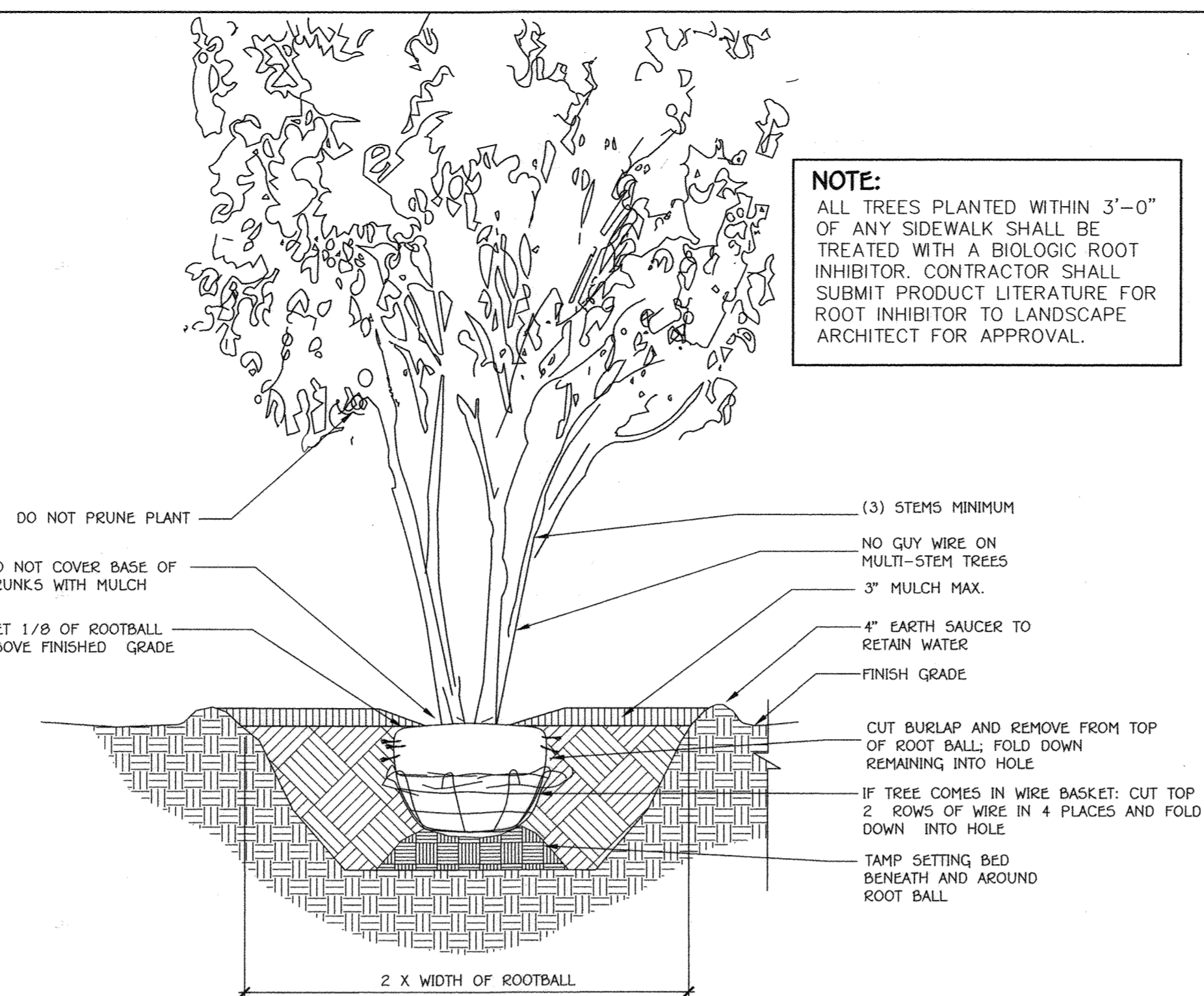
6 GROUNDCOVER / PERENNIAL PLANTING - TYPICAL



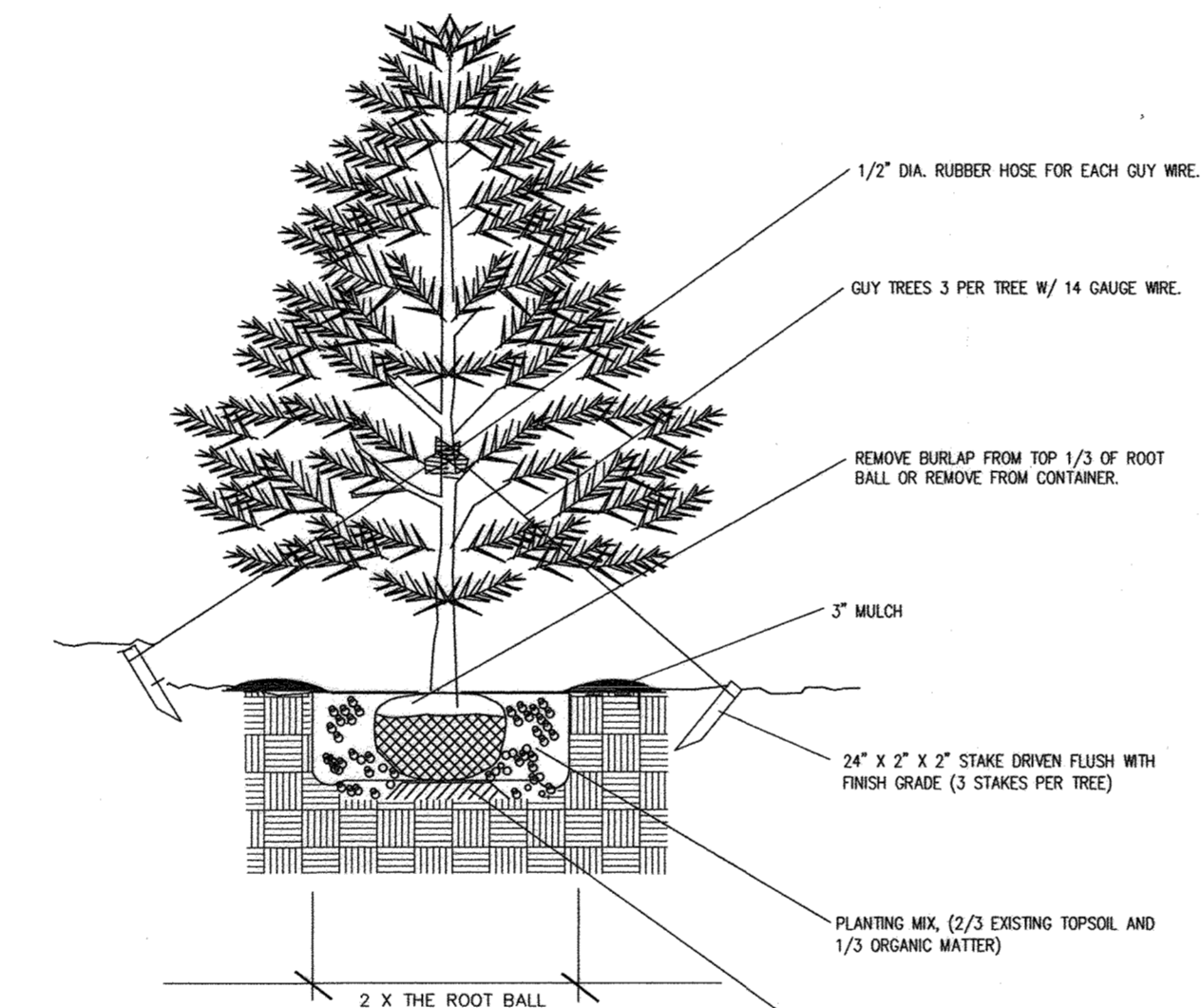
2 SHRUB PLANTING - TYPICAL



3 DECIDUOUS TREE PLANTING - TYPICAL



4 MULTISTEM TREE PLANTING DETAIL - TYPICAL



5 EVERGREEN TREE - TYPICAL PLANTING DETAIL

PLANTING SPECIFICATIONS

- CLEAR & GRUB ALL PLANTING AREAS AS INDICATED ON THE DRAWINGS.
- PROVIDE PROTECTION FOR TREES, SHRUBS, AND PERENNIALS/GROUND COVERS THAT ARE TO BE PRESERVED.
- CONTRACTOR SHALL VERIFY THE CORRECT LOCATION OF ALL UNDERGROUND UTILITIES IN THE FIELD PRIOR TO INSTALLATION OF ANY PLANT MATERIALS.
- ALL PLANTING SHALL BE DONE AS PER PLANTING DETAILS AND SPECIFICATIONS.
- NO CHANGES SHALL BE MADE WITHOUT WRITTEN CONSENT OF THE OWNER OR LANDSCAPE ARCHITECT.
- PRIOR TO CONSTRUCTION OF PLANTING BEDS, THE CONTRACTOR SHALL STAKE OUT PLANTING BED LINES IN THE FIELD FOR REVIEW BY THE LANDSCAPE ARCHITECT. LANDSCAPE ARCHITECT SHALL MAKE ADJUSTMENTS IN THE FIELD AS NECESSARY. ALL FINAL PLANTING BED LOCATIONS ARE TO BE APPROVED BY THE LANDSCAPE ARCHITECT. FOR LAYOUT REVIEW, CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT A MINIMUM OF THREE DAYS IN ADVANCE.
- INSTALL ALL REQUIRED PLANTING AND LAWN SOILS AS PER DETAILS AND SPECIFICATIONS, AND ALL SHRUBS, GROUND COVERS, AND PERENNIALS SHALL BE PLANTED IN PLANTING BEDS PREPARED AS REQUIRED BY THE DETAILS AND SPECIFICATIONS.
- MAINTAIN POSITIVE DRAINAGE OUT OF PLANTING BEDS AT A MINIMUM 2% SLOPE AND MAINTAIN POSITIVE DRAINAGE OF ALL LAWN AREAS, UNLESS OTHERWISE NOTED ON DRAWINGS. ALL GRADES, DIMENSIONS, AND EXISTING CONDITIONS SHALL BE VERIFIED BY THE CONTRACTOR ON SITE BEFORE CONSTRUCTION BEGINS. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT OR OWNER.
- ALL PLANT BEDS SHALL BE CONTAINED WITH A SPAGED EDGE UNLESS OTHERWISE NOTED ON DRAWINGS.
- IN THE EVENT OF A DISCREPANCY BETWEEN QUANTITIES SHOWN ON THE DRAWINGS AND QUANTITIES SHOWN ON THE PLANT LIST, THE QUANTITIES ON THE DRAWINGS SHALL APPLY. REPORT DISCREPANCIES TO THE LANDSCAPE ARCHITECT FOR CLARIFICATION PRIOR TO BIDDING.
- ALL PLANTS SHALL CONFORM TO THE SIZES GIVEN IN THE PLANT LIST AND SHALL BE NURSERY GROWN IN ACCORDANCE WITH THE "AMERICAN STANDARD FOR NURSERY STOCK" (ANSI Z603.1), LATEST EDITION.
- PLANTS SHALL BE LOCATED AS SHOWN ON THE DRAWINGS. PRIOR TO PLANTING, THE CONTRACTOR SHALL STAKE OUT THE LOCATIONS OF ALL PLANTS IN THE FIELD FOR REVIEW BY THE LANDSCAPE ARCHITECT. LANDSCAPE ARCHITECT SHALL MAKE ADJUSTMENTS IN THE FIELD AS NECESSARY. ALL FINAL PLANT LOCATIONS ARE TO BE APPROVED BY THE LANDSCAPE ARCHITECT. FOR LAYOUT REVIEW, CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT A MINIMUM OF THREE DAYS IN ADVANCE.
- ALL DISTURBED AREAS SHALL BE FINE GRADED AND SEEDED OR SOODED; SEE PLAN FOR LOCATIONS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR WATERING AND MAINTAINING ALL PLANTS DURING THE WARRANTY PERIOD; REFER TO SPECIFICATIONS.

NOTE:  
ALL TREES PLANTED WITHIN 3'-0" OF ANY SIDEWALK SHALL BE TREATED WITH A BIOLOGIC ROOT INHIBITOR. CONTRACTOR SHALL SUBMIT PRODUCT LITERATURE FOR ROOT INHIBITOR TO LANDSCAPE ARCHITECT FOR APPROVAL.

QTY.	KEY	BOTANICAL NAME COMMON NAME	SIZE	CONT.	REMARKS
<b>TREES - DECIDUOUS SHADE (53)</b>					
3	#GTS	Quercus tinctoria var. inermis 'Shademaster'	2-1/2" cal. min.	B & B	
7	#LSR	Liquidambar styraciflua 'Rotundiloba' Seedless Sweetgum	2-1/2" cal. min.	B & B	Seedless
8	#TAM	Tilia americana 'Redmond' American Linden	2-1/2" cal. min.	B & B	
8	#TCO	Tilia cordata 'Greenspire' Littleleaf Linden	2-1/2" cal. min.	B & B	
19	#JAV	Ulmus americana 'Valley Forge' American Elm	2-1/2" cal. min.	B & B	
8	#ZSG	Zelkova serotina 'Green Vase' Japanese Zelkova	2-1/2" cal. min.	B & B	

QTY.	KEY	BOTANICAL NAME COMMON NAME	SIZE	CONT.	REMARKS
<b>INTERNAL LANDSCAPING PLANT LIST</b>					
<b>TREES - DECIDUOUS SHADE (9)</b>					
9	AFA	Acer x freemanii 'Autumn Blaze' Freeman Maple	2-1/2" cal. min.	B & B	Seedless
<b>TREES - ORNAMENTAL (62)</b>					
14	CCA	Cercis canadensis Eastern Redbud	8'-10" ht. min.	B & B	
3	CPC	Carpinus caroliniana American Hornbeam	8'-10" ht. min.	B & B	
4	CBE	Carpinus betulus European Hornbeam	8'-10" ht. min.	B & B	Fastigate
8	LIN	Lagerstroemia indica x fauriei 'Natchez' Natchez Crape myrtle	8'-10" ht. min.	B & B	Multistem/4 cones min.
18	LIP	Lagerstroemia x 'Potomac' Potomac Crape myrtle	8'-10" ht. min.	B & B	Multistem/4 cones min.
15	MVI	Magnolia virginiana Sweetbay Magnolia	8'-10" ht. min.	B & B	Multistem/4 cones min.
<b>TREES - EVERGREEN (14)</b>					
14	IOP	Ilex opaca American Holly	6'-8" ht. min.	B & B	Female Only
<b>SHRUBS (294)</b>					
34	CAP	Clethra alnifolia 'Pink Spire' Pink Spire Summersweet	24"-30" ht.	Cont.	36" O.C.
15	HQS	Hydrangea quercifolia 'Snow Queen' Oakleaf Hydrangea	24"-30" ht.	Cont.	40" O.C.
29	ITV	Itea virginica 'Henry's Garnet' Sweetspire	24"-30" ht.	Cont.	36" O.C.
198	JCB	Juniperus conferta 'Blue Pacific' Blue Pacific Juniper	15"-18" ht.	Cont.	24" O.C.
18	VBU	Viburnum x burkwoodii 'Conoy' Burkwood Viburnum	30"-36" ht.	B & B	60" O.C.

QTY.	KEY	BOTANICAL NAME COMMON NAME	SIZE	CONT.	REMARKS
<b>PERIMETER LANDSCAPING PLANT LIST</b>					
<b>TREES - EVERGREEN (10)</b>					
10	IOP	Ilex opaca American Holly	6'-8" ht. min.	B & B	Female Only

QTY.	KEY	BOTANICAL NAME COMMON NAME	SIZE	CONT.	REMARKS
<b>STORMWATER MANAGEMENT PLANT LIST</b>					
<b>ESD PLANTS</b>					
304	anb	Aster novo-belgii New York Aster	#1	Cont.	18" O.C.
164	asl	Aster laevis Smooth Aster	#1	Cont.	18" O.C.
129	ast	Aster sp. Tuberosa Butterfly Weed	#1	Cont.	30" O.C.
232	epm	Echinacea purpurea 'Magnus' Purple Coneflower	#1	Cont.	18" O.C.
162	hrh	Hemerocallis 'Happy Returns' Happy Returns Daylily	#1	Cont.	18" O.C.
284	hyc	Hypericum calycinum Aaron'sbeard St. Johnswort	15"-18" Ht.	Cont.	18" O.C.
245	igs	Ilex glabra 'Shamrock' Inkberry	24"-30" ht.	Cont.	40" O.C., provide males & females
364	irv	Iris versicolor Blue Flag Iris	#1	Cont.	18" O.C.
30	ith	Itea virginica 'Little Henry' Sweetspire	24"-30" ht.	Cont.	36" O.C.
26	itv	Itea virginica 'Henry's Garnet' Sweetspire	24"-30" ht.	Cont.	36" O.C.
1517	lmb	Liriope muscari 'Big Blue' Big Blue Lilyturf	4" pot	Cont.	15" O.C.
1408	lmv	Liriope muscari 'Variegata' Variegated Lilyturf	4" pot	Cont.	15" O.C.
82	pvh	Panicum virgatum 'Heavy Metal' Heavy Metal Switchgrass	#2	Cont.	36" O.C.
331	rfg	Rudbeckia fulgida 'Goldstrum' Black-eyed Susan	1 Qt.	Cont.	18" O.C.
174	thn	Thelypteris noveboracensis New York Fern	#2	Cont.	18" O.C.

QTY.	KEY	BOTANICAL NAME COMMON NAME	SIZE	CONT.	REMARKS
<b>GREEN NEIGHBORHOODS PLANT LIST</b>					
<b>TREES - DECIDUOUS SHADE (50)</b>					
33	#BNH	Betula nigra 'Heritage' Heritage River Birch	8'-10" ht. min.	B & B	Multistem/3 cones min.
4	#TDI	Toxodendron distichum Common Baldcypress	2-1/2" cal. min.	B & B	
13	#POC	Platanus occidentalis American Sycamore	2-1/2" cal. min.	B & B	

PERIMETER	SCHEDULE A PERIMETER LANDSCAPE EDGE	
	P5	P6
CATEGORY	Res. Adjacent to Non-Res.	Res. Adjacent to Non-Res.
LANDSCAPE TYPE	A	A
LINEAR FEET OF PERIMETER (THIS SOP)	411'	424.5'
CREDIT FOR EXISTING VEGETATION (YES, NO, LINEAR FEET) (DESCRIBE BELOW IF NEEDED)	YES (114')	NO
CREDIT FOR WALL, FENCE OR BERM (YES, NO, LINEAR FEET) (DESCRIBE BELOW IF NEEDED)	NO	YES-384.5' (NOISE WALL) YES-40' (EX. VEGETATION)
NUMBER OF PLANTS REQUIRED (THIS SOP)	5	0
SHADE TREES	-	-
EVERGREEN TREES	-	-
NUMBER OF PLANTS PROVIDED (THIS SOP)	0	0
SHADE TREES	10	-
EVERGREEN TREES	-	-
OTHER TREES (2:1 SUBSTITUTION)	-	-
SHRUBS (10:1 SUBSTITUTION)	-	-
(DESCRIBE PLANT SUBSTITUTION CREDITS BELOW IF NEEDED)	-	-

REGULATIONS DO NOT REQUIRE LANDSCAPE EDGES, BUFFERING OR SCREENING BETWEEN INTERNAL LOTS OR PARCELS WITHIN THE SAME DEVELOPMENT.

SCHEDULE C RESIDENTIAL DEVELOPMENT INTERNAL LANDSCAPING - PARCEL V	
NUMBER OF DWELLING UNITS	56
NUMBER OF TREES REQUIRED (1:1 UNIT)	56
NUMBER OF TREES PROVIDED	9
SHADE TREES	14
EVERGREEN TREES	62
ORNAMENTAL SHRUBS	96

STREET TREE SDP REQUIREMENTS

- REQUIREMENTS:**
- ST. MARGARET'S HAS A STREET LENGTH OF 544 LINEAR FEET WHICH REQUIRES APPROXIMATELY 14 TREES ON THE SOUTH SIDE OF THE STREET.
  - MARSTON WAY HAS A STREET LENGTH OF 590 LINEAR FEET WHICH REQUIRES APPROXIMATELY 30 TREES ON BOTH SIDES OF THE STREET.
  - CROWLEY STREET HAS A STREET LENGTH OF 374 LINEAR FEET WHICH REQUIRES APPROXIMATELY 9 TREES ON THE WEST SIDE OF THE STREET.
  - A TOTAL OF APPROXIMATELY 53 TREES ARE REQUIRED.
  - FINAL PLACEMENT OF STREET TREES WILL OCCUR IN THE FIELD AND BE PLACED A MINIMUM OF 30 FEET FROM ALL SIGNS AND INTERSECTIONS WHEN PLANTED BETWEEN SIDEWALK AND CURB. BE LOCATED WITH CONSIDERATION OF UNDERGROUND UTILITIES AND STRUCTURES AND MAINTAIN A MINIMUM 5 FEET DISTANCE ON CENTER FROM A DRAIN INLET STRUCTURE, 5 FEET FROM AN OPEN SPACE ACCESS STRIP AND 10 FEET FROM A DRIVEWAY.

LANDSCAPING PROVIDED: A TOTAL OF 53 TREES HAVE BEEN PROVIDED TO MEET THIS SDP REQUIREMENT. SEE "STREET TREE PLANT LIST".

PERIMETER LANDSCAPING 'SCHEDULE A' SDP REQUIREMENTS

- REQUIREMENTS:**
- REGULATIONS DO NOT REQUIRE LANDSCAPE EDGES, BUFFERING OR SCREENING BETWEEN INTERNAL LOTS OR PARCELS WITHIN THE SAME DEVELOPMENT. THIS PARCEL INCLUDES PERIMETER P5 AND P6.
  - PERIMETER P-5 HAS A TOTAL LENGTH OF 411 LINEAR FEET ADJACENT TO A NON-RESIDENTIAL LOT. A CREDIT OF 114 LINEAR FEET IS GIVEN FOR EXISTING VEGETATION. FIVE (5) SHADE TREES ARE REQUIRED FOR 297 LINEAR FEET OF PERIMETER (LANDSCAPE EDGE TYPE A).
  - PERIMETER P-6 HAS A TOTAL LENGTH OF 424.5 LINEAR FEET ADJACENT TO A NON-RESIDENTIAL LOT. A CREDIT OF 384.5 LINEAR FEET IS GIVEN FOR A SITE WALL. ZERO (0) SHADE TREES ARE REQUIRED FOR 40 LINEAR FEET OF PERIMETER (LANDSCAPE EDGE TYPE A).
  - A TOTAL OF 5 SHADE TREES ARE REQUIRED.

LANDSCAPING PROVIDED: 10 EVERGREEN TREES ARE BEING PROVIDED AT A 2:1 RATIO WHICH IS THE EQUIVALENT OF 5 SHADE TREES.

INTERNAL LANDSCAPING 'SCHEDULE C' SDP REQUIREMENTS

- REQUIREMENTS:**
- 56 SINGLE FAMILY DWELLING UNITS ARE BEING PROVIDED. INTERNAL LANDSCAPING MUST BE PROVIDED AT A RATE OF 1 TREE EVERY DWELLING UNITS. 56 UNITS / 1=56 REQUIRED SHADE TREES.
  - 9 DECIDUOUS SHADE TREES ARE BEING PROVIDED.
  - 62 ORNAMENTAL TREES ARE BEING PROVIDED AT A 2:1 RATIO WHICH IS THE EQUIVALENT OF 31 SHADE TREES.
  - 14 EVERGREEN TREES ARE BEING PROVIDED AT A 2:1 RATIO WHICH IS THE EQUIVALENT OF 7 SHADE TREES.
  - 96 SHRUBS ARE BEING PROVIDED AT A 10:1 RATIO WHICH IS THE EQUIVALENT OF 9.6 SHADE TREES.

LANDSCAPING PROVIDED: THE TOTAL QUANTITY OF ORNAMENTAL TREES, EVERGREEN TREES, AND SHRUBS PROVIDED IS EQUIVALENT TO 47 SHADE TREES IN ADDITION TO THE 9 DECIDUOUS SHADE TREES PROVIDED. FOR A TOTAL OF 56 SHADE TREES.

STORMWATER MANAGEMENT

LANDSCAPING PROVIDED: SHRUBS AND PERENNIAL PLANTINGS ARE PROVIDED IN STORMWATER MANAGEMENT FACILITIES. SEE "STORMWATER MANAGEMENT PLANT LIST".

GREEN NEIGHBORHOODS

LANDSCAPING PROVIDED: A TOTAL OF 50 EXTRA NATIVE SHADE TREES HAVE BEEN PROVIDED TO QUALIFY FOR GREEN NEIGHBORHOODS CREDIT 'E-1'. SEE "GREEN NEIGHBORHOODS PLANT LIST".

FINANCIAL SURETY

FINANCIAL SURETY FOR THE REQUIRED LANDSCAPING TREES (62 SHADE, 62 ORNAMENTALS, 24 EVERGREENS, AND 96 SHRUBS) SHALL BE POSTED AS PART OF THE DEVELOPER'S AGREEMENT IN THE AMOUNT OF \$34,380.00. IN ADDITION, FINANCIAL SURETY FOR 50 SHADE TREES SHALL ALSO BE POSTED AS PART OF THE DEVELOPER'S AGREEMENT IN THE AMOUNT OF \$15,000.00 TO MEET THE GR CREDIT E-1. FINANCIAL SURETY FOR EXTRA DRIVEWAY LANDSCAPING (198 SHRUBS) SHALL ALSO BE POSTED AS PART OF THE DEVELOPER'S AGREEMENT IN THE AMOUNT OF \$5,940.00.

**LANDSCAPE DETAILS**  
**OXFORD SQUARE**  
"A" Howard County Green Neighborhood  
LOTS 379-434, OPEN SPACE LOTS 435-439  
AND PARCEL 'H-H' & 'I-I'  
**'THE YARDS'**

(Being A Resubdivision Of Parcel 'G-G', As Shown On Plats Entitled "Oxford Square", "Green Neighborhood", Parcels "G-G", "F-F", "E-E", And "Open Space Lots 377" Recorded As Plat Nos. 24351 Thru 24353) And A Resubdivision Of Parcel 'I' As Shown On Resubdivision Plat Entitled "Oxford Square", "Green Neighborhood", Parcels 'I' Thru 'J', 'A-A' Thru 'C-C' And Open Space Lots 244 And 245" Recorded As Plat Nos. 23710 Thru 23715)

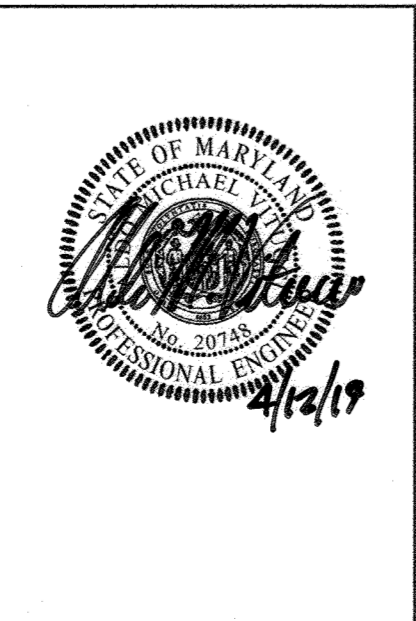
Zoned: TOD  
Tax Map No.: 38 Grid No.: 20 Parcel No.: 1003  
First Election District: Howard County, Maryland  
Scale: As Shown  
Date: April 4, 2019  
Sheet 18 Of 44

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

*Kent Beulwood* 6-12-19  
Chief, Division of Land Development Date

*Chad Edwards* 5-6-19  
Chief, Development Engineering Division Date

*Nellis J. Lee* 6-17-19  
Director - Department of Planning and Zoning Date



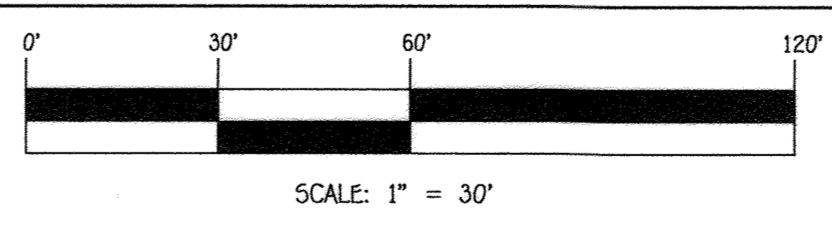
**LANDSCAPE DEVELOPER'S CERTIFICATE**

I/We certify that the landscaping shown on this plan will be done according to the plan, Section 16.124 of the Howard County Code and the Howard County Landscape Manual. I/We further certify that upon completion a letter of landscape installation accompanied by an executed one year guarantee of plant materials will be submitted to the Department of Planning and Zoning.

*David Schaeffer* 4/16/19  
Date

Owner: Kellogg-CCP, LLC  
c/o David P. Scheffels, Jr., Managing Member  
100 West Road, Suite 304  
Towson, Maryland 21204  
Ph: 410-296-3800

Developer: Preston + Scheffels Properties  
100 West Road, Suite 304  
Towson, Maryland 21204  
Ph: 410-296-3800



NO.	REVISION	DATE
1	Revised EWM Plant List For The Removed Rod's.	10-7-21

PLAT NO.	BLOCK NO.	ZONE	TAX/ZONE	ELEC. DIST.	CENSUS TR.
25047-25050	N/A	TOD	3B	1B	601101

1 Revised EWM Plant List For The Removed Rod's. 10-7-21

NO. REVISION DATE

SUBDIVISION: OXFORD SQUARE - 'THE YARDS'

SECTION/AREA: N/A

LOT No.: 379-434

PLAT NO.: 25047-25050

BLOCK NO.: N/A

ZONE: TOD

TAX/ZONE: 3B

ELEC. DIST.: 1B

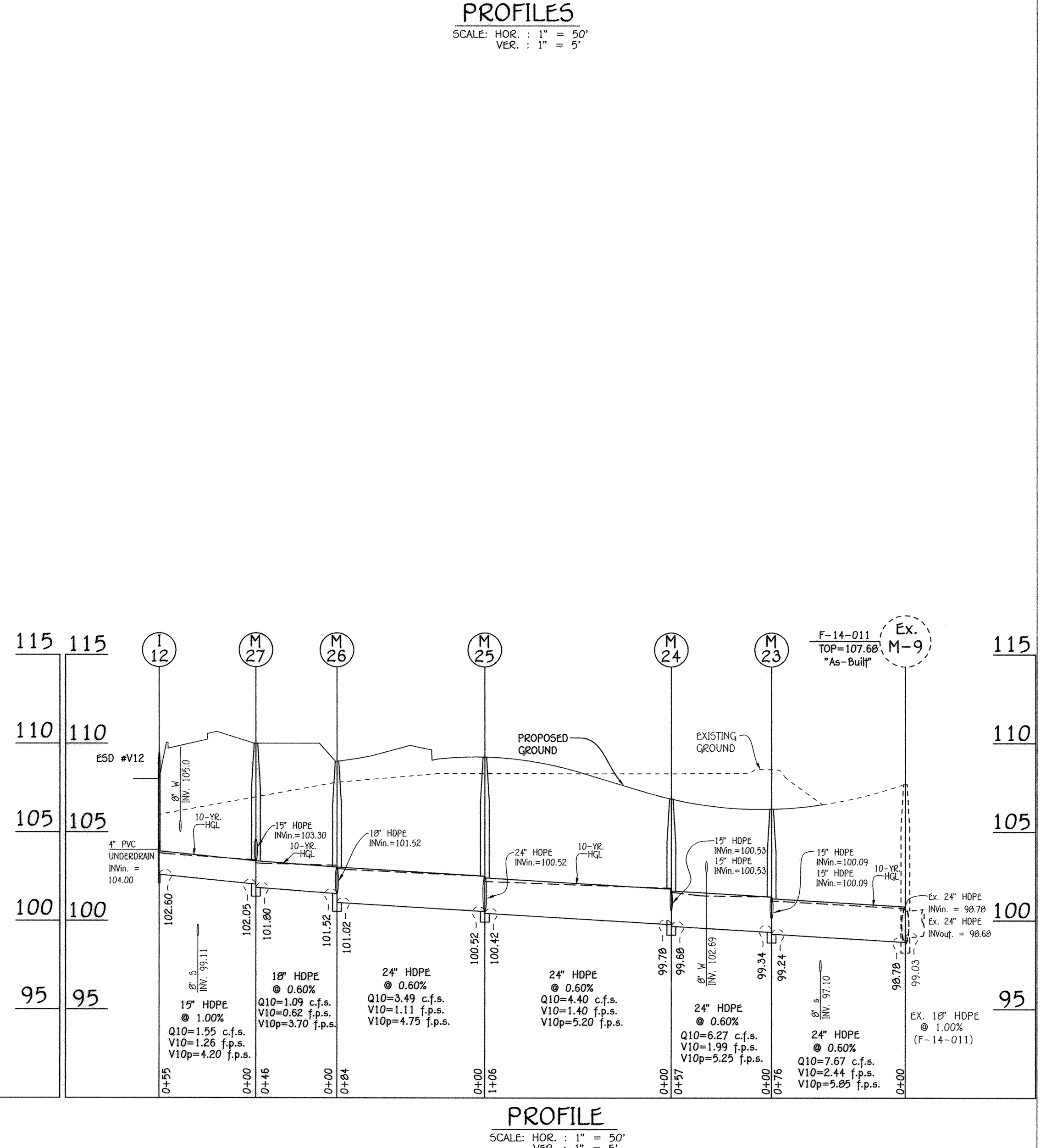
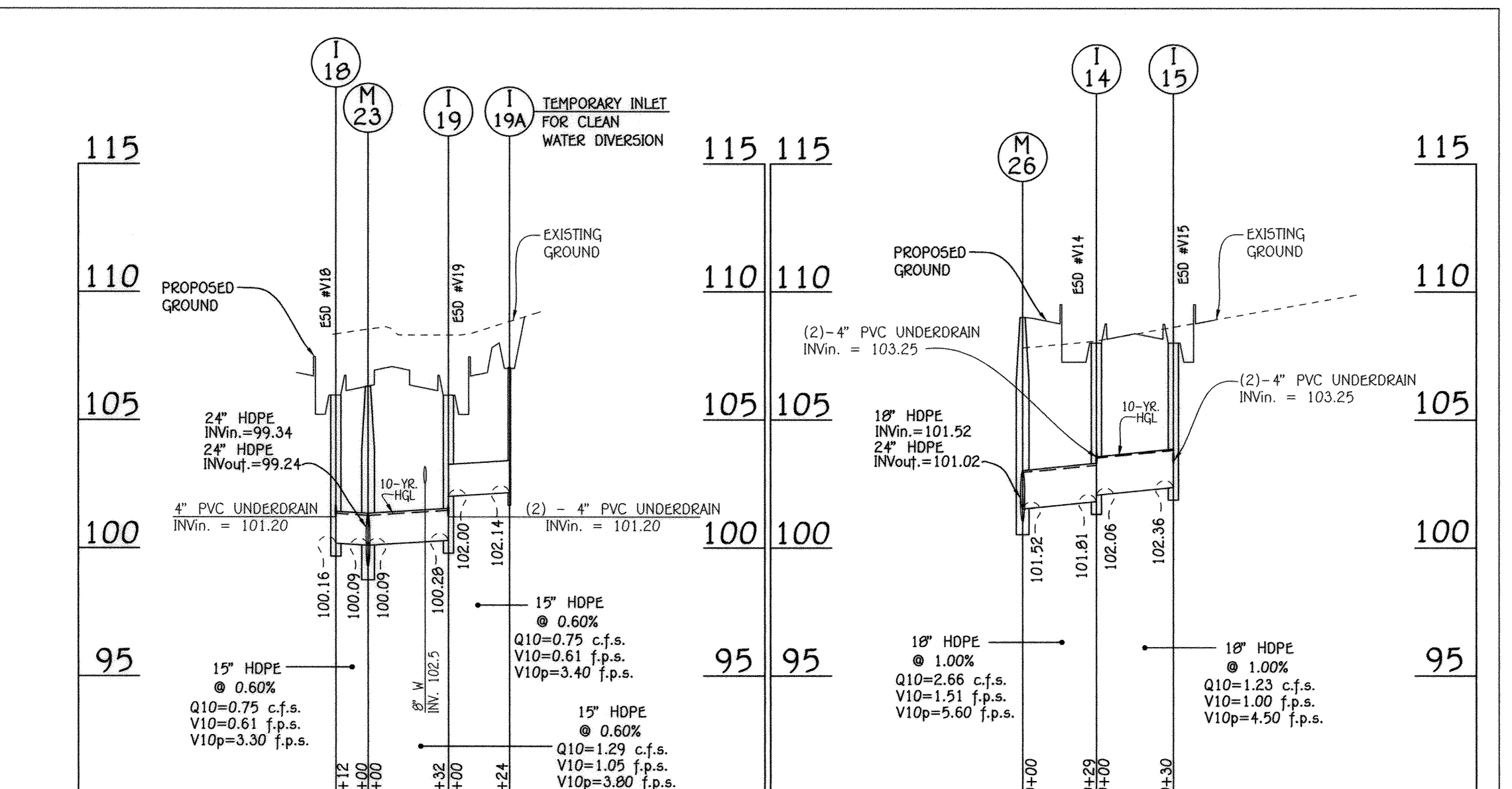
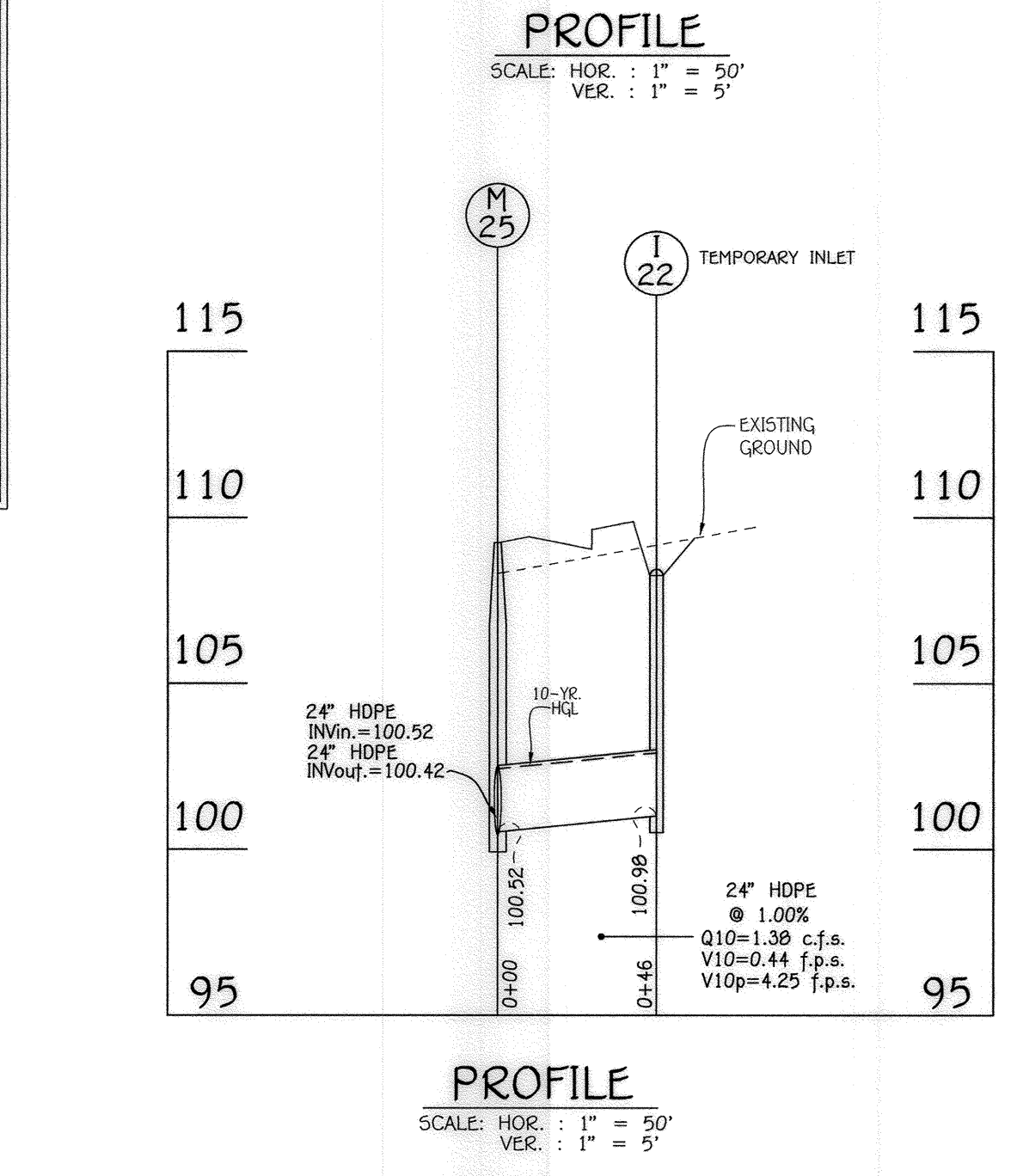
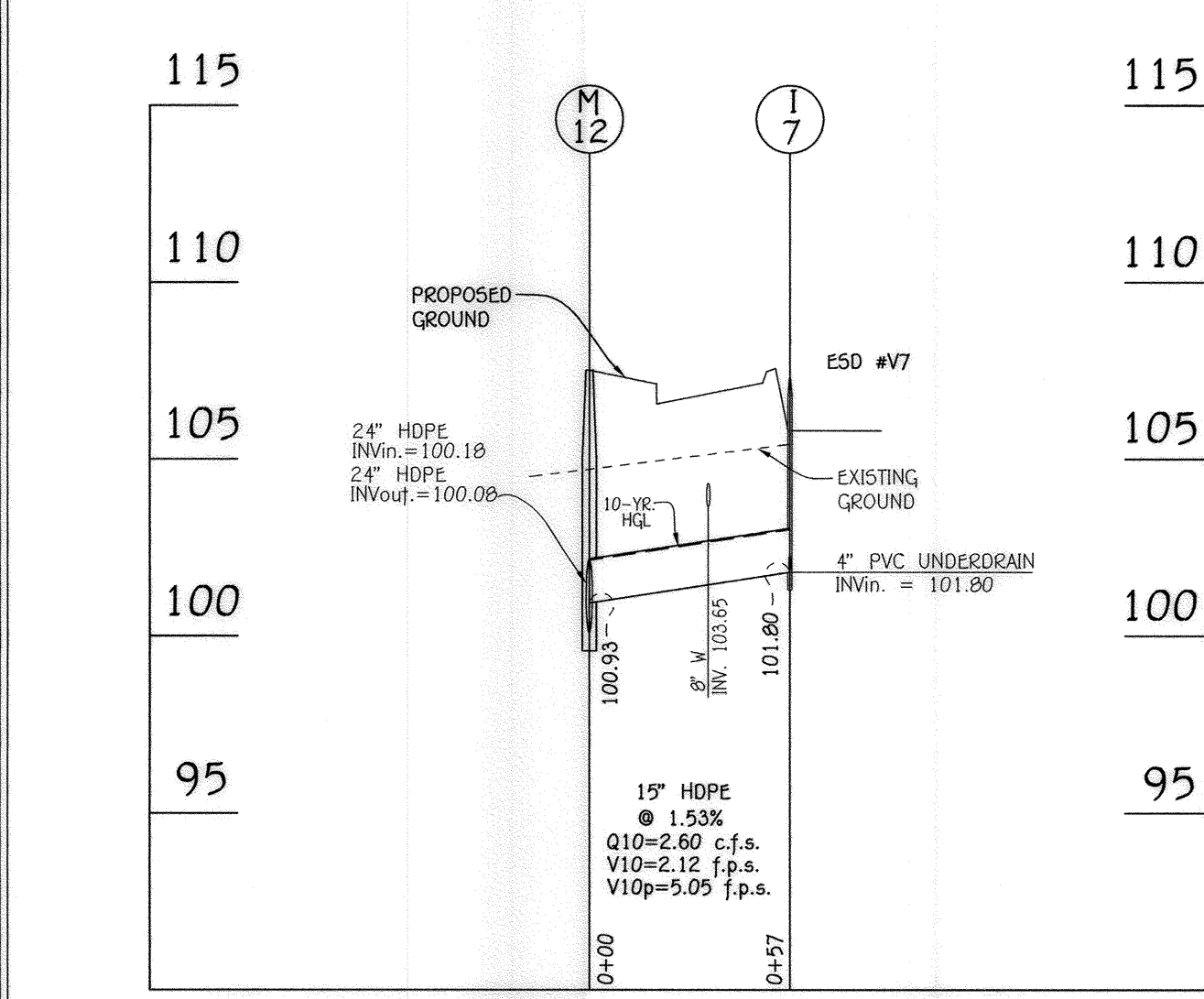
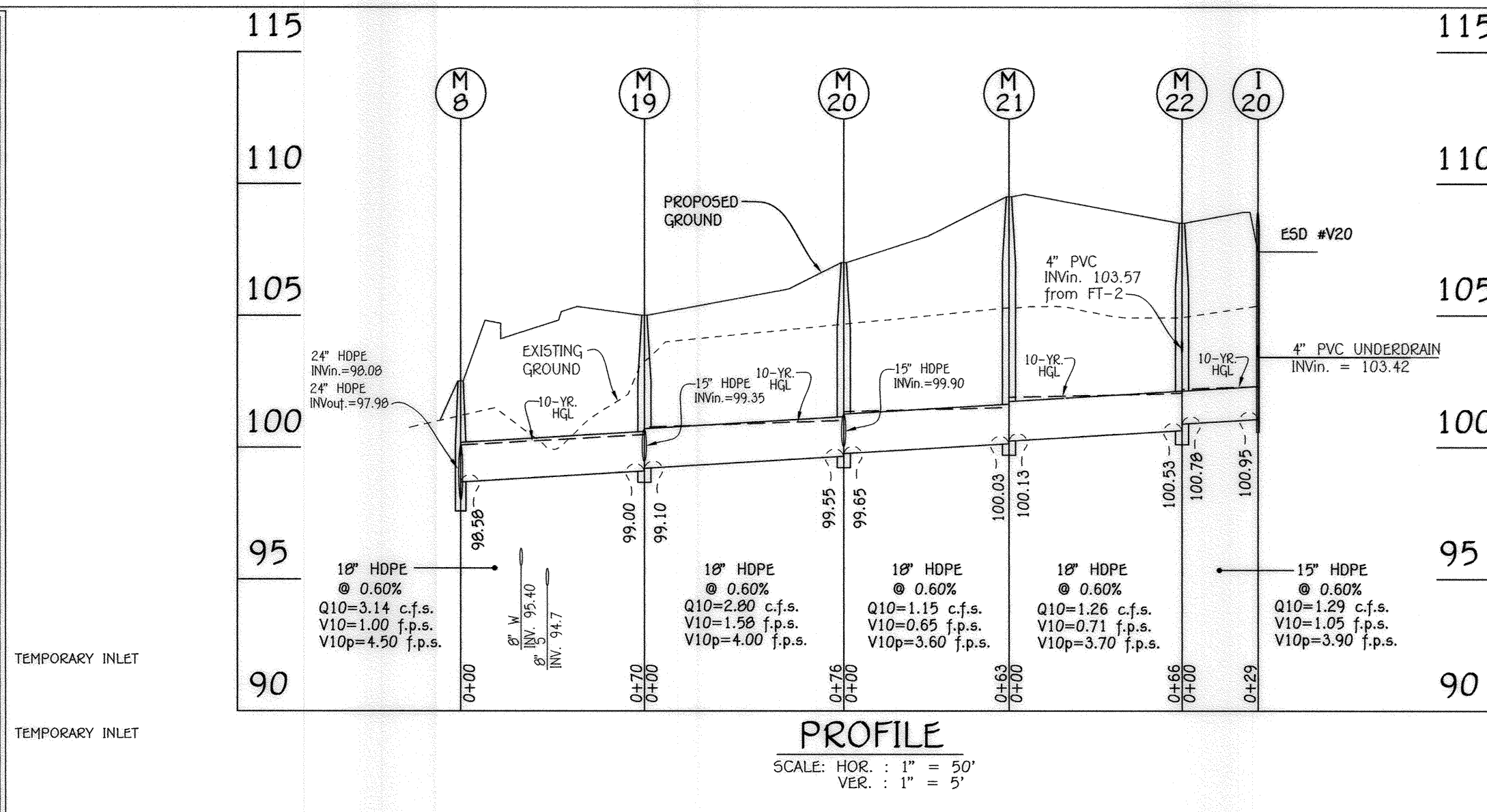
CENSUS TR.: 601101



STRUCTURE SCHEDULE									
STRUCTURE NO.	TOP ELEVATION	INV.IN	INV.OUT	LOCATION	ROAD STA.	OFFSET	TYPE AND WIDTH	REMARKS	
I-1	104.35	99.60 (4")	97.82 (15")	CROWLEY STREET	3+53	16.9' L	15" DRAIN BASIN	ADS NYLOPLAST	
I-2	102.00	97.00 (4")	97.00 (18")	CROWLEY STREET	4+34.4	14.8' R	18" DRAIN BASIN	ADS NYLOPLAST	
I-3	102.90	97.90 (4")	97.90 (15")	MARSTON WAY	5+18.34	19.4' R	15" DRAIN BASIN	ADS NYLOPLAST	
I-3A	103.00	99.50 (4"), 97.71 (15")	97.61 (18")	MARSTON WAY	5+18.34	11.0' L	'A'-5" INLET	D-4.22	
I-4	105.50	100.50 (4")	100.50 (15")	N 552,596.80 E 1,385,596.69	----	----	'S' INLET	D-4.22	
I-5	104.22	99.22 (4"), 98.50 (24")	98.40 (24")	MARSTON WAY	6+55	38.9' L	'S' INLET	D-4.22	
I-6	105.40	100.40 (4")	100.40 (15")	MARSTON WAY	6+95	43.3' L	'S' INLET	D-4.22	
I-7	106.80	101.80 (4")	101.80 (15")	MARSTON WAY	8+65	18.7' R	15" DRAIN BASIN	ADS NYLOPLAST	
I-8	105.50	100.50 (4")	100.50 (15")	MARSTON WAY	8+76	44.4' L	'S' INLET	D-4.22	
I-9	106.50	101.50 (4")	101.50 (15")	MARSTON WAY	9+43	41.0' L	'S' INLET	D-4.22	
I-10	109.75	105.00 (4"), 102.85 (18")	102.35 (24")	SANT MARGARETS BLVD.	22+24.8	19.4' R	'S' INLET	D-4.22	
I-11	109.75	105.00 (4")	103.24 (18")	SANT MARGARETS BLVD.	22+24.8	19.4' R	'S' INLET	D-4.22	
I-12	109.00	104.00 (4")	102.60 (15")	LEDGERS WAY	2+00	16.3' L	15" DRAIN BASIN	ADS NYLOPLAST	
I-13	109.00	104.00 (4")	104.00 (15")	N 552,809.40 E 1,385,587.09	----	----	15" DRAIN BASIN	ADS NYLOPLAST	
I-14	108.00	103.25 (4"), 103.25 (4"), 102.06 (18")	101.81 (18")	SANT MARGARETS BLVD.	20+20	19.2' L	'S' INLET	D-4.22	
I-15	108.00	103.25 (4"), 103.25 (4")	102.36 (18")	SANT MARGARETS BLVD.	20+20	19.2' R	'S' INLET	D-4.22	
I-16	106.65	101.90 (4")	100.57 (15")	SANT MARGARETS BLVD.	18+09.8	16.9' L	'S' INLET	D-4.22	
I-17	106.65	101.90 (4")	100.68 (15")	SANT MARGARETS BLVD.	18+09.8	16.9' R	'S' INLET	D-4.22	
I-18	105.95	101.20 (4")	101.20 (15")	SANT MARGARETS BLVD.	17+52.3	22.1' L	'S' INLET	D-4.22	
I-19	105.95	101.20 (4"), 101.20 (4"), 102.00 (15")	100.28 (15")	SANT MARGARETS BLVD.	17+52.3	22.1' R	'S' INLET	D-4.22	
I-19A	107.00	-----	102.14 (15")	SANT MARGARETS BLVD.	17+52.3	46.3' R	15" DRAIN BASIN	ADS NYLOPLAST	
I-20	108.42	103.42 (4")	100.95 (15")	WARBURG WAY	2+18.3	21.7' L	15" DRAIN BASIN	ADS NYLOPLAST	
I-21	104.50	99.50 (4")	99.50 (15")	MARSTON WAY	6+02.5	43.9' R	15" DRAIN BASIN	ADS NYLOPLAST	
I-22	108.25	-----	100.98 (15")	SANT MARGARETS BLVD.	19+15.7	36.6' R	24" DRAIN BASIN	ADS NYLOPLAST	
I-24	110.25	105.25 (4")	104.41 (15")	MARSTON WAY	10+84.8	15.8' R	15" DRAIN BASIN	ADS NYLOPLAST	
I-25	110.95	106.20 (4")	106.20 (15")	MARSTON WAY	11+23.1	17.3' R	15" DRAIN BASIN	ADS NYLOPLAST	
I-27	113.45	108.70 (4")	108.70 (15")	MARSTON WAY	14+14.1	17.5' R	15" DRAIN BASIN	ADS NYLOPLAST	
I-28	109.92	-----	-----	MARSTON WAY	6+45.2	19.0' L	COG/COS OPENING	MD-374.68	
I-29	107.11	-----	-----	MARSTON WAY	7+01.8	19.0' L	COG/COS OPENING	MD-374.68	
I-30	108.00	-----	-----	MARSTON WAY	7+50.5	19.0' L	COG/COS OPENING	MD-374.68	
I-31	107.17	-----	-----	MARSTON WAY	8+77.9	19.0' L	COG/COS OPENING	MD-374.68	
I-32	108.24	-----	-----	MARSTON WAY	9+50.2	19.0' L	COG/COS OPENING	MD-374.68	
M-1	102.57	97.02 (15"), 96.27 (24")	96.17 (24")	CROWLEY STREET	3+88.4	6.5' L	5" DIA. MANHOLE	G - 5.13	
M-2	101.60	96.91 (18"), 96.65 (24")	96.55 (24")	CROWLEY STREET	4+34.4	6.0' R	5" DIA. MANHOLE	G - 5.13	
M-3	101.56	96.90 (24")	96.80 (24")	CROWLEY STREET	4+58.4	6.0' R	4" DIA. MANHOLE	G - 5.12	
M-4	101.58	97.20 (24")	97.10 (24")	CROWLEY STREET	4+76.1	22.3' L	4" DIA. MANHOLE	G - 5.12	
M-5	102.00	97.55 (18"), 97.55 (24")	97.45 (24")	MARSTON WAY	5+09.7	22.9' L	5" DIA. MANHOLE	G - 5.13	
M-7	102.00	97.82 (24")	97.72 (24")	MARSTON WAY	5+51.1	24' L	4" DIA. SHALLOW MANHOLE	G - 5.12	
M-8	102.50	98.58 (18"), 98.08 (24")	97.98 (24")	MARSTON WAY	5+79.7	26.0' L	5" DIA. SHALLOW MANHOLE	G - 5.13	
M-9	104.00	98.67 (24")	98.57 (24")	MARSTON WAY	6+37.7	51.7' L	5" DIA. SHALLOW MANHOLE	G - 5.13	
M-10	106.00	99.89 (15"), 99.06 (24")	98.96 (24")	MARSTON WAY	6+94.8	52.3' L	5" DIA. MANHOLE	G - 5.13	
M-10A	106.50	99.47 (24")	99.37 (24")	MARSTON WAY	7+56.3	52.8' L	4" DIA. MANHOLE	G - 5.12	
M-11	108.40	101.02 (8"), 99.73 (24")	99.63 (24")	MARSTON WAY	7+84.6	53.2' L	4" DIA. MANHOLE	G - 5.12	
M-12	107.50	100.93 (15"), 100.22 (24")	100.12 (24")	MARSTON WAY	8+58.7	37.6' L	5" DIA. MANHOLE	G - 5.13	
M-13	106.50	100.45 (15"), 100.45 (24")	100.35 (24")	MARSTON WAY	8+76.7	52.0' L	5" DIA. MANHOLE	G - 5.13	
M-14	106.50	100.91 (24")	100.81 (24")	MARSTON WAY	9+22.0	50.9' L	4" DIA. MANHOLE	G - 5.12	
M-15	107.00	101.40 (15"), 101.15 (24")	101.05 (24")	MARSTON WAY	9+43.4	49.8' L	5" DIA. MANHOLE	G - 5.13	
M-16	108.50	101.59 (24")	101.49 (24")	MARSTON WAY	10+07.7	49.8' L	5" DIA. MANHOLE	G - 5.13	
M-17	114.62	107.61 (18")	107.36 (18")	MARSTON WAY	12+75.6	8.0' R	4" DIA. MANHOLE	G - 5.12	
M-18	113.63	108.10 (15")	107.75 (18")	MARSTON WAY	14+14.2	8.0' R	4" DIA. MANHOLE	G - 5.12	
M-19	105.10	99.35 (15"), 99.10 (18")	99.00 (18")	MARSTON WAY	5+87.7	43.4' R	5" DIA. MANHOLE	G - 5.13	
M-20	107.00	99.90 (15"), 99.65 (18")	99.55 (18")	WARBURG WAY	1+26.0	87.5' L	5" DIA. MANHOLE	G - 5.13	
M-21	109.50	100.13 (18")	100.03 (18")	WARBURG WAY	1+88.9	87.5' L	4" DIA. MANHOLE	G - 5.12	
M-22	108.50	103.57 (4"), 100.78 (15")	100.53 (18")	WARBURG WAY	1+88.9	21.6' R	4" DIA. MANHOLE	G - 5.12	
M-23	106.29	100.09 (15"), 100.09 (15"), 99.34 (24")	99.24 (24")	SANT MARGARETS BLVD.	17+52.4	9.5' L	5" DIA. MANHOLE	G - 5.13	
M-24	106.88	100.53 (15"), 100.53 (15"), 99.78 (24")	99.68 (24")	SANT MARGARETS BLVD.	18+09.8	9.5' L	5" DIA. MANHOLE	G - 5.13	
M-25	109.23	100.52 (24"), 100.52 (24")	100.42 (24")	SANT MARGARETS BLVD.	19+15.7	9.5' L	5" DIA. MANHOLE	G - 5.13	
M-26	109.60	101.52 (18"), 101.52 (18")	101.02 (24")	SANT MARGARETS BLVD.	20+00.5	35.8' L	5" DIA. MANHOLE	G - 5.13	
M-27	110.00	103.30 (15"), 102.05 (15")	101.80 (18")	SANT MARGARETS BLVD.	20+10.3	80.9' L	5" DIA. MANHOLE	G - 5.13	
M-28	109.10	102.64 (18"), 102.14 (24")	102.04 (24")	MARSTON WAY	10+07.7	10.0' R	5" DIA. MANHOLE	G - 5.13	
M-29	110.33	104.01 (15"), 103.48 (18")	103.38 (18")	MARSTON WAY	10+82.8	8.2' R	5" DIA. MANHOLE	G - 5.13	
M-30	111.09	105.92 (15"), 103.96 (18")	103.86 (18")	MARSTON WAY	11+21.9	6.8' R	5" DIA. MANHOLE	G - 5.13	
M-31	112.89	105.81 (15"), 105.56 (18")	105.46 (18")	MARSTON WAY	11+94.45	8.0' R	5" DIA. MANHOLE	G - 5.13	
FT-1	102.95 *	-----	99.72 (4")	MARSTON WAY	5+28.7	11.43' R	FTSC 8" x 4" (Outside Dims: 17" x 5")		
FT-2	107.60 *	-----	104.37 (4")	WARBURG WAY	1+87.4	11' L	FTSC 8" x 6" (Outside Dims: 17" x 7")		
FT-3	109.50 *	-----	106.27 (4")	LEDGERS WAY	0+29	17.8' L	FTSC 6" x 6" (Outside Dims: 13" x 7")		
FT-4	102.40 *	-----	99.17 (4")	WARBURG WAY	0+28	17.8' R	FTSC 6" x 6" (Outside Dims: 13" x 7")		
FT-5	107.52 *	-----	104.29 (4")	LEDGERS WAY	3+46	11.7' L	FTSC 6" x 6" (Outside Dims: 13" x 7")		

15" DRAIN BASIN (TOP ELEVATION) IS TOP OF STRUCTURE BEFORE THE DOME CAP IS INSTALLED.  
 'S' INLET (TOP ELEVATION) IS TOP OF STRUCTURE BEFORE GRATE IS INSTALLED.  
 SEE SHEET 24 FOR FILTERRA DETAIL.  
 \* DENOTES - CURB OPENING

SIZE	CLASS	LENGTH
4"	PVC, SCH. 40 (PERFORATED)	2,136 L.F.
4"	PVC, SCH. 40 (SOLID)	113 L.F.
6"	PVC, SCH. 40 (SOLID)	795 L.F.
8"	PVC, SCH. 40 (SOLID)	413 L.F.
15"	HDPE	423 L.F.
18"	HDPE	725 L.F.
24"	HDPE	1,119 L.F.

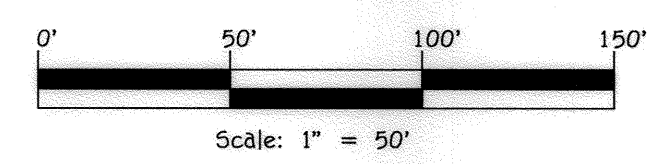


APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

Chief, Division of Land Development: [Signature] Date: 12-9-20

Chief, Development Engineering Division: [Signature] Date: 3-8-21

Director - Department of Planning and Zoning: [Signature] Date: 3-8-21



Owner: Kellogg-CCP, LLC  
 c/o David P. Scheffnacker, Jr., Managing Member  
 100 West Road, Suite 304  
 Towson, Maryland 21284  
 Ph: 410-296-3800

Developer: Preston - Scheffnacker Properties  
 100 West Road, Suite 304  
 Towson, Maryland 21284  
 Ph: 410-296-3800

NO.	REVISION	DATE
1	ADD STORM DRAIN & REVISE PIPE AND STRUCTURE SCHEDULES	3/20/20

SUBDIVISION	SECTION/AREA	LOT Nos.
OXFORD SQUARE - 'THE YARDS'	N/A	379-434

PLAT NO.	BLOCK NO.	ZONE	TAX/ZONE	ELEC. DIST.	CENSUS TR.
25047-25050	N/A	TOD	3B	1st	601101

REVISED STORM DRAIN PROFILES OXFORD SQUARE

"A Howard County Green Neighborhood"

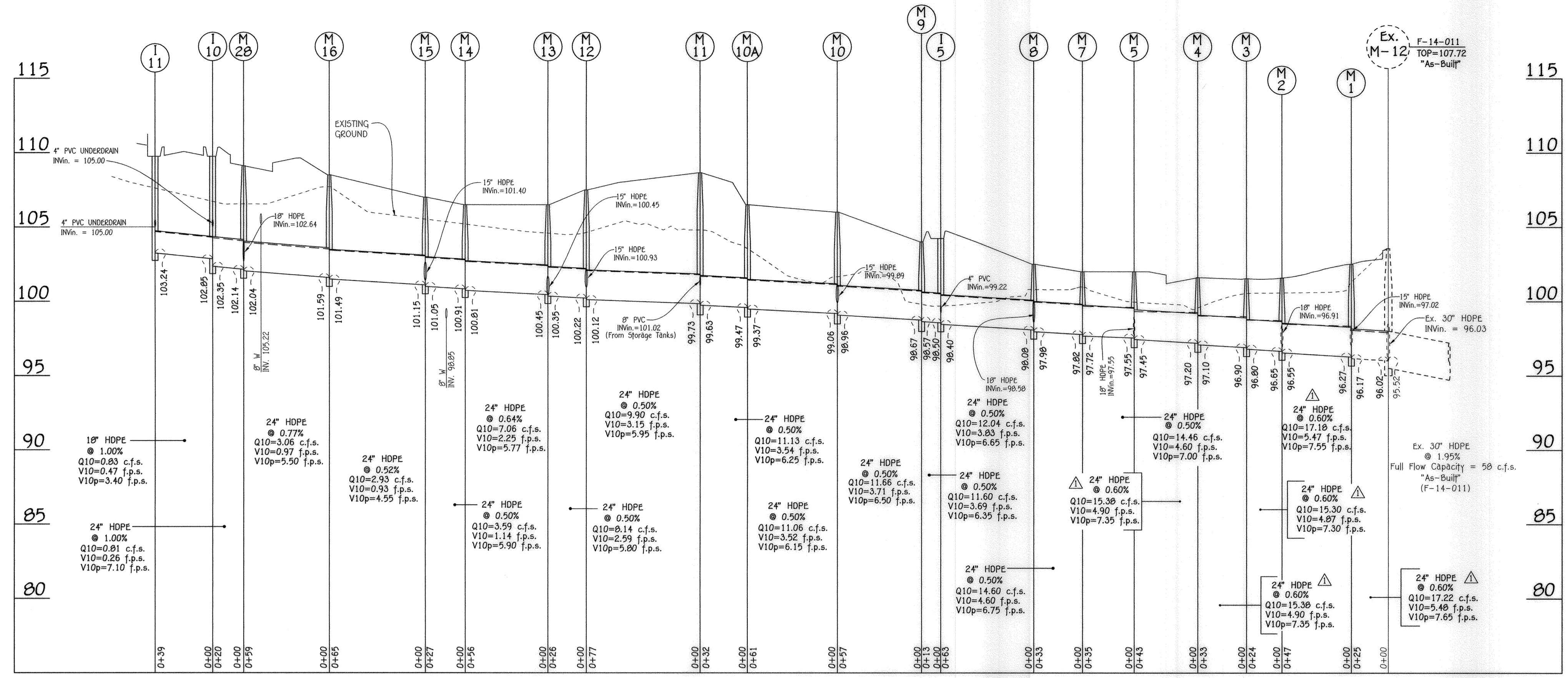
LOTS 379-434, OPEN SPACE LOTS 435-439 AND PARCEL 'H-H' & 'I-I'

'THE YARDS'

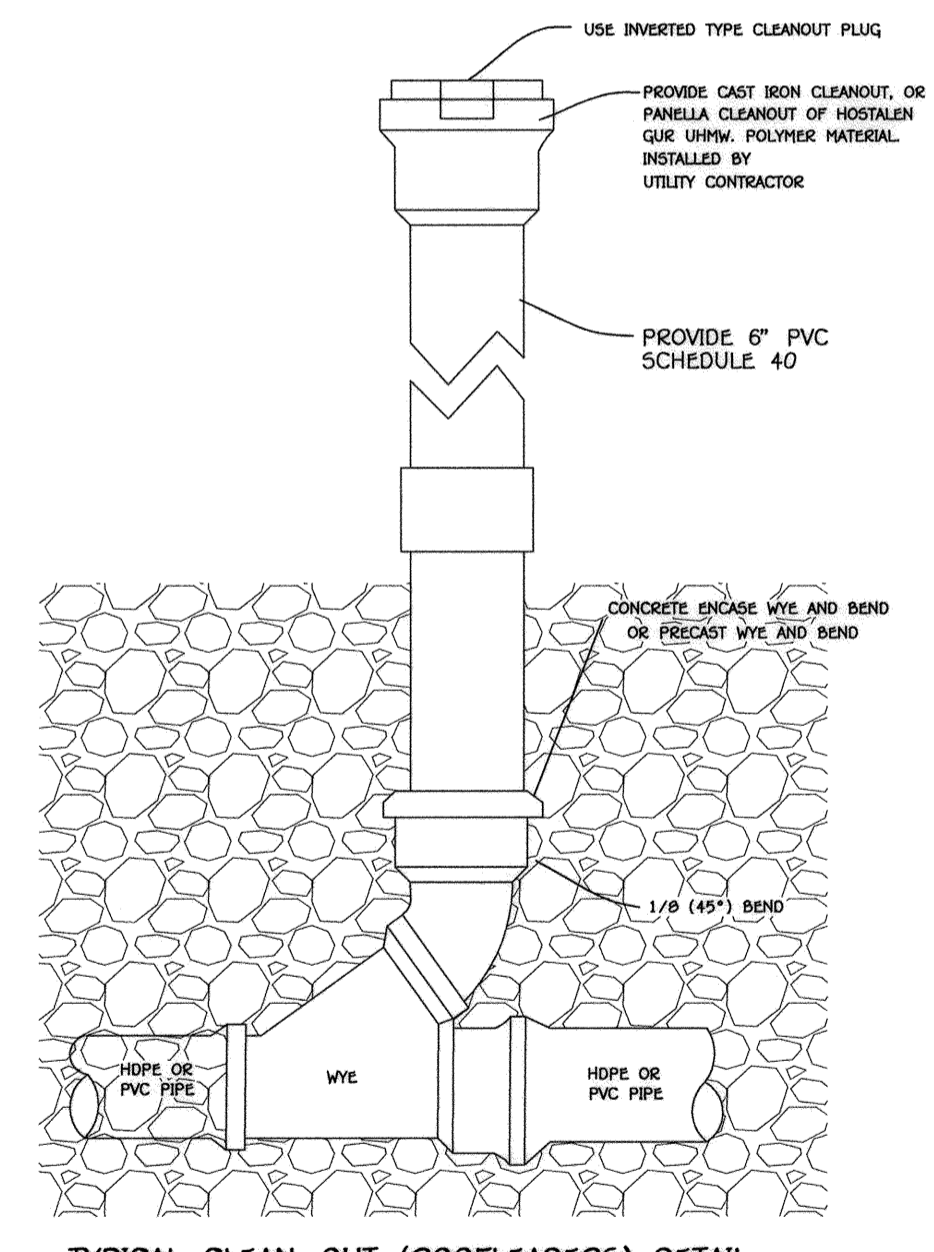
(Being A Resubdivision Of Parcel "G-G", As Shown On Plans Entitled "Oxford Square, "Green Neighborhood", Parcels "G-G", "F-F", And Open Space Lot 377" Recorded As Plat Nos. 24351 Thru 24353) And A Resubdivision Of Parcel "V", As Shown On Resubdivision Plat Entitled "Oxford Square, "Green Neighborhood", Parcels "V" Thru "Z", "A-A" Thru "C-C" And Open Space Lots 244 And 245" Recorded As Plat Nos. 23710 Thru 23715)

Tax Map No: 3B Grid No: 2D Parcel No: 1003  
 First Election District: Howard County, Maryland  
 Date: As Shown  
 March 20, 2020  
 Sheet 19 of 44

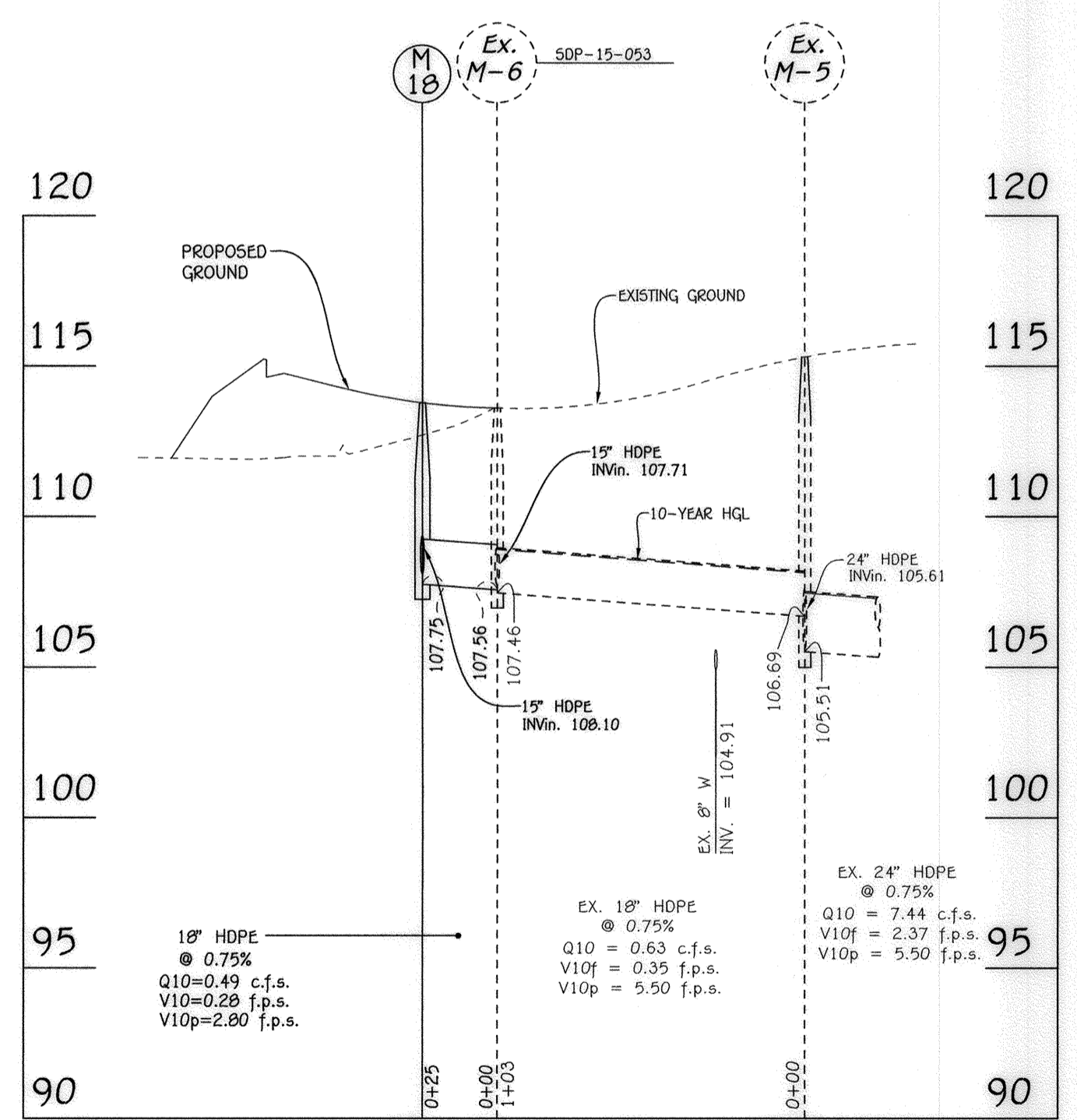




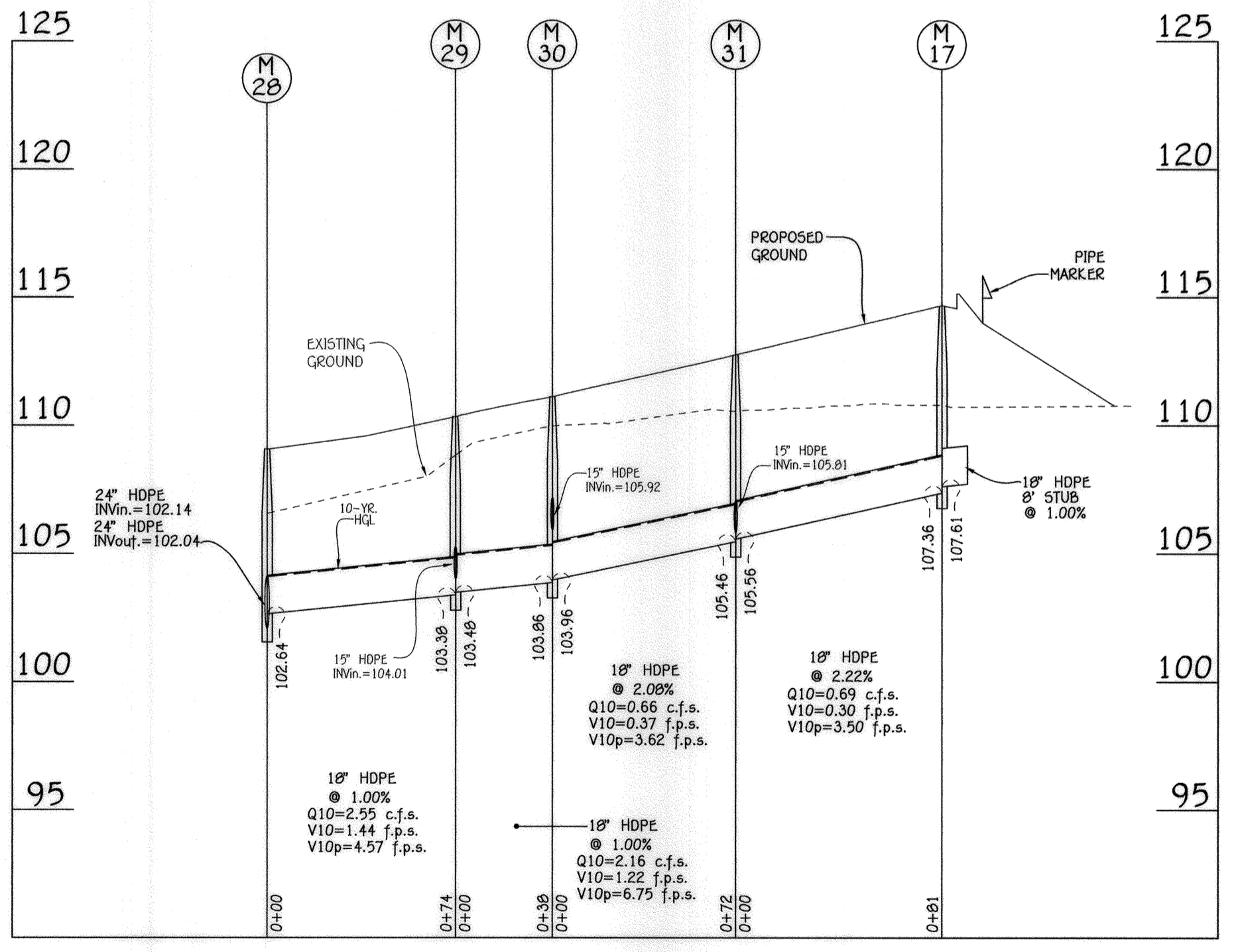
**PROFILE**  
SCALE: HOR. : 1" = 50'  
VER. : 1" = 5'



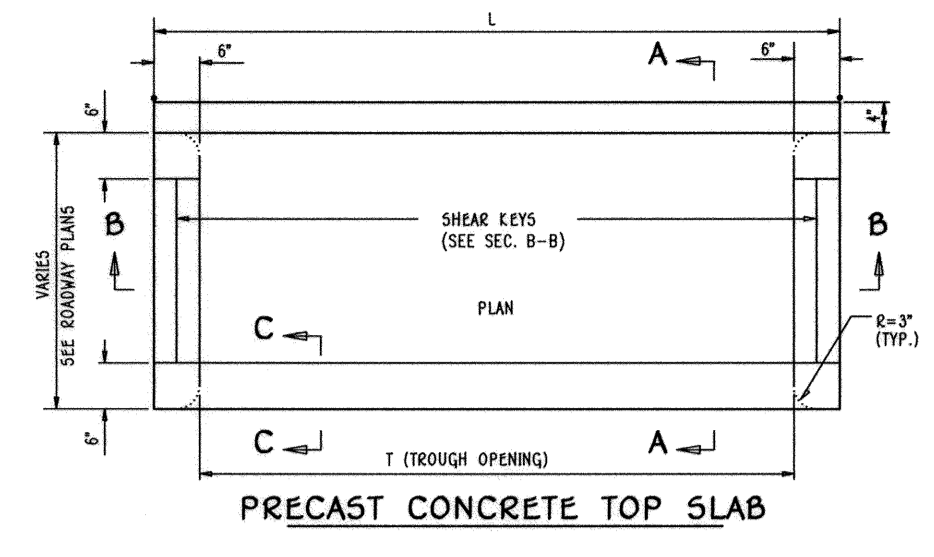
TYPICAL CLEAN-OUT (ROOFLEADERS) DETAIL  
NO SCALE



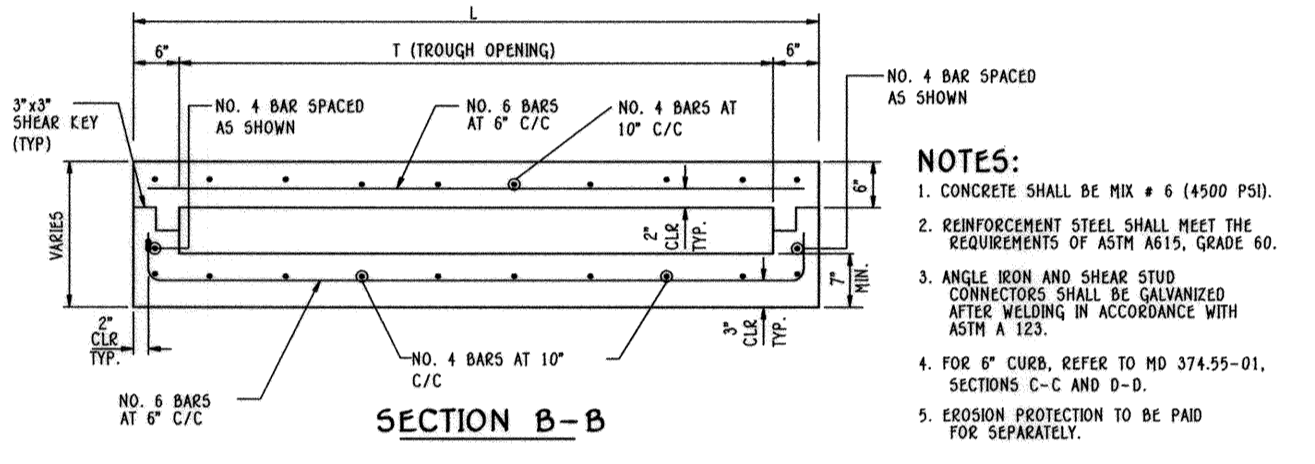
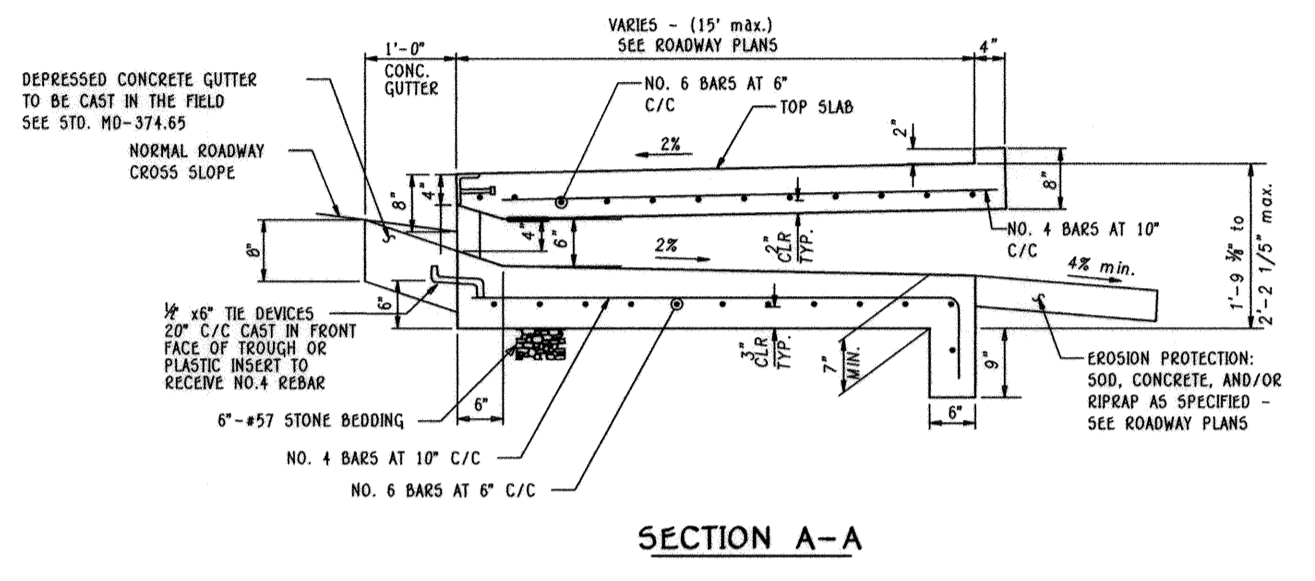
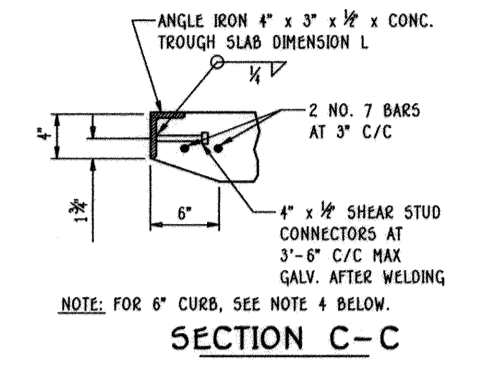
**PROFILE**  
SCALE: HOR. : 1" = 50'  
VER. : 1" = 5'



**PROFILE**  
SCALE: HOR. : 1" = 50'  
VER. : 1" = 5'



SLAB TYPE	L	T
1	8'-0"	5'-0"

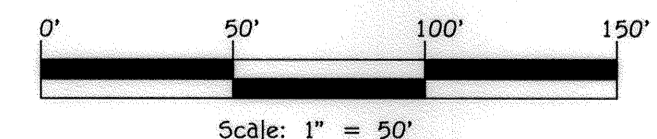


- NOTES:**
1. CONCRETE SHALL BE MIX # 6 (14500 PSI).
  2. REINFORCEMENT STEEL SHALL MEET THE REQUIREMENTS OF ASTM A615, GRADE 60.
  3. ANGLE IRON AND SHEAR STUD CONNECTORS SHALL BE GALVANIZED AFTER WELDING IN ACCORDANCE WITH ASTM A 123.
  4. FOR 6" CUBES, REFER TO MD 374.55-01, SECTIONS C-C AND D-D.
  5. FROST PROTECTION TO BE PAID FOR SEPARATELY.

PRECAST COG/COS OPENING  
NO SCALE (MD-374.68)

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

Chief, Division of Land Development *[Signature]* Date *3/10/24*  
 Chief, Development Engineering Division *[Signature]* Date *12-9-20*  
 Director - Department of Planning and Zoning *[Signature]* Date *3-10-21*



**Owner**  
Kellogg-CCP, LLC  
c/o David P. Schreffener, Jr.,  
Managing Member  
100 West Road, Suite 304  
Towson, Maryland 21284  
Ph: 410-296-3800

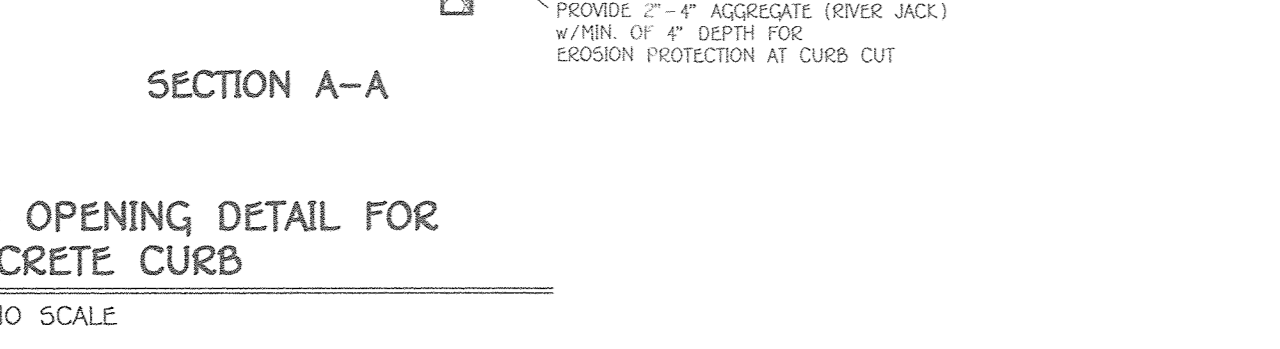
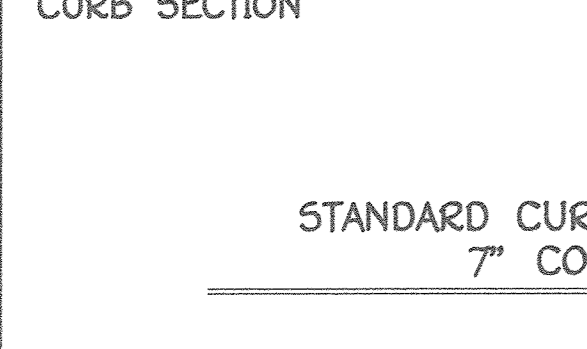
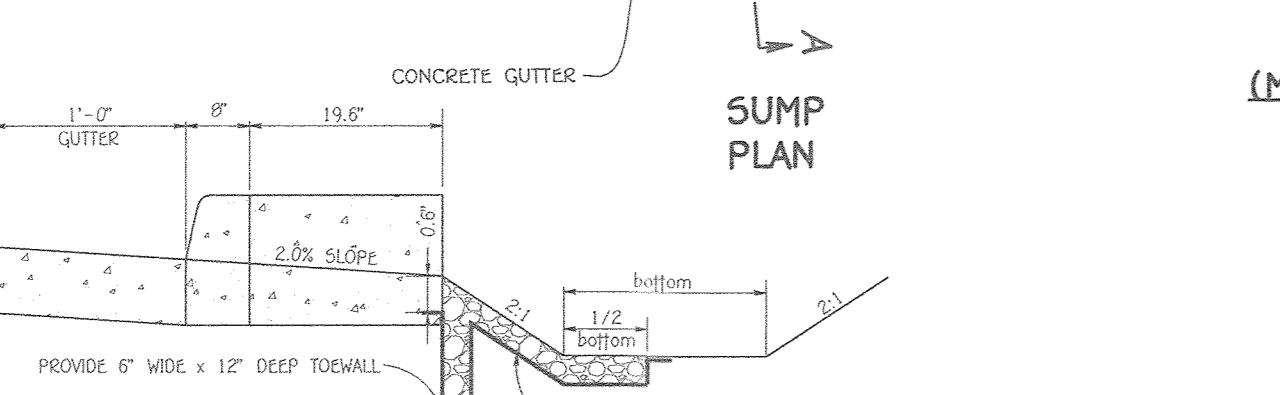
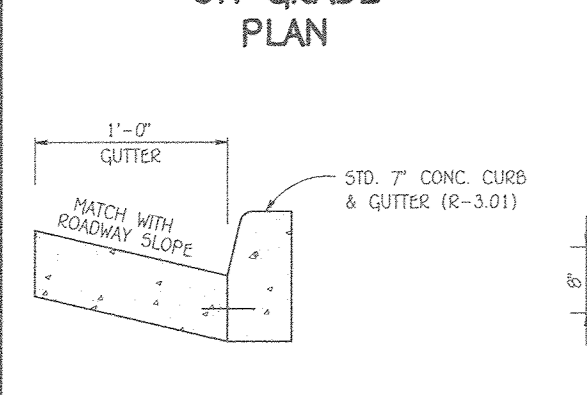
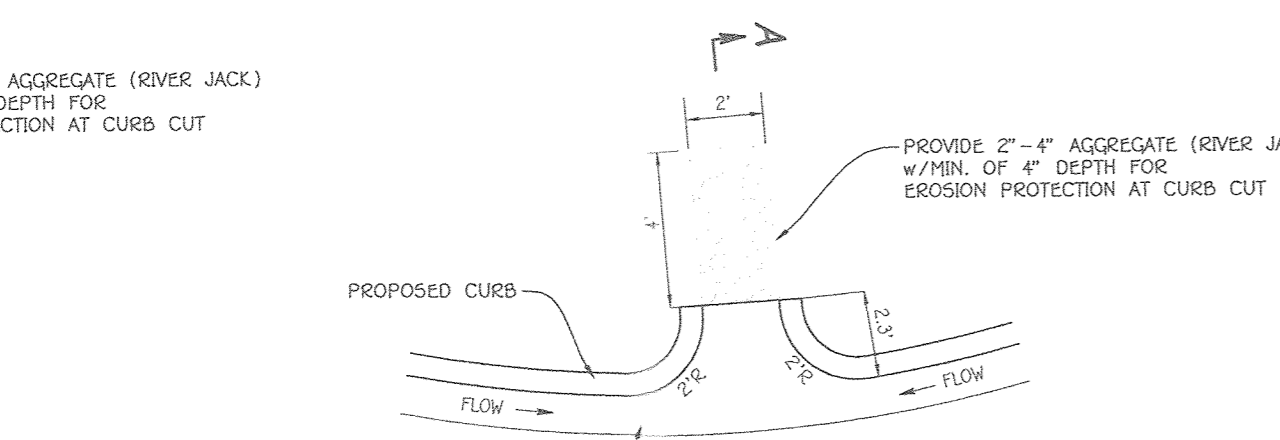
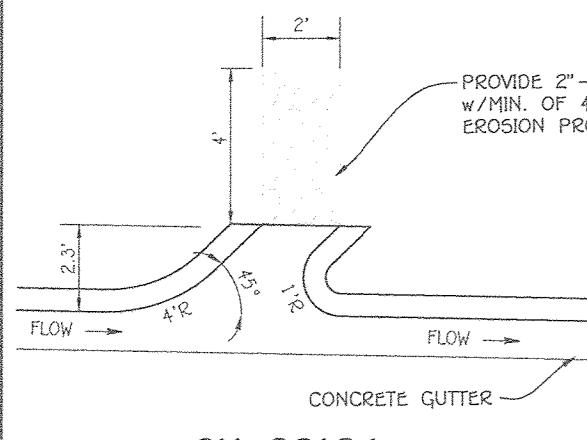
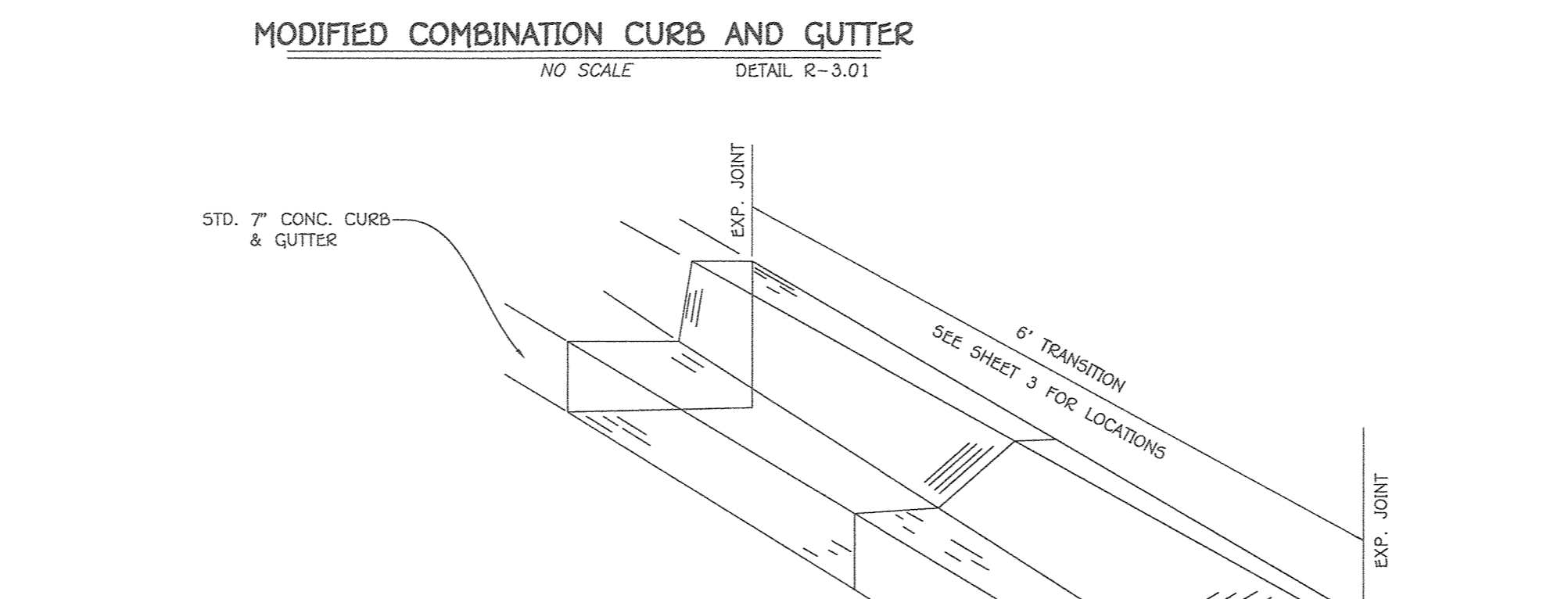
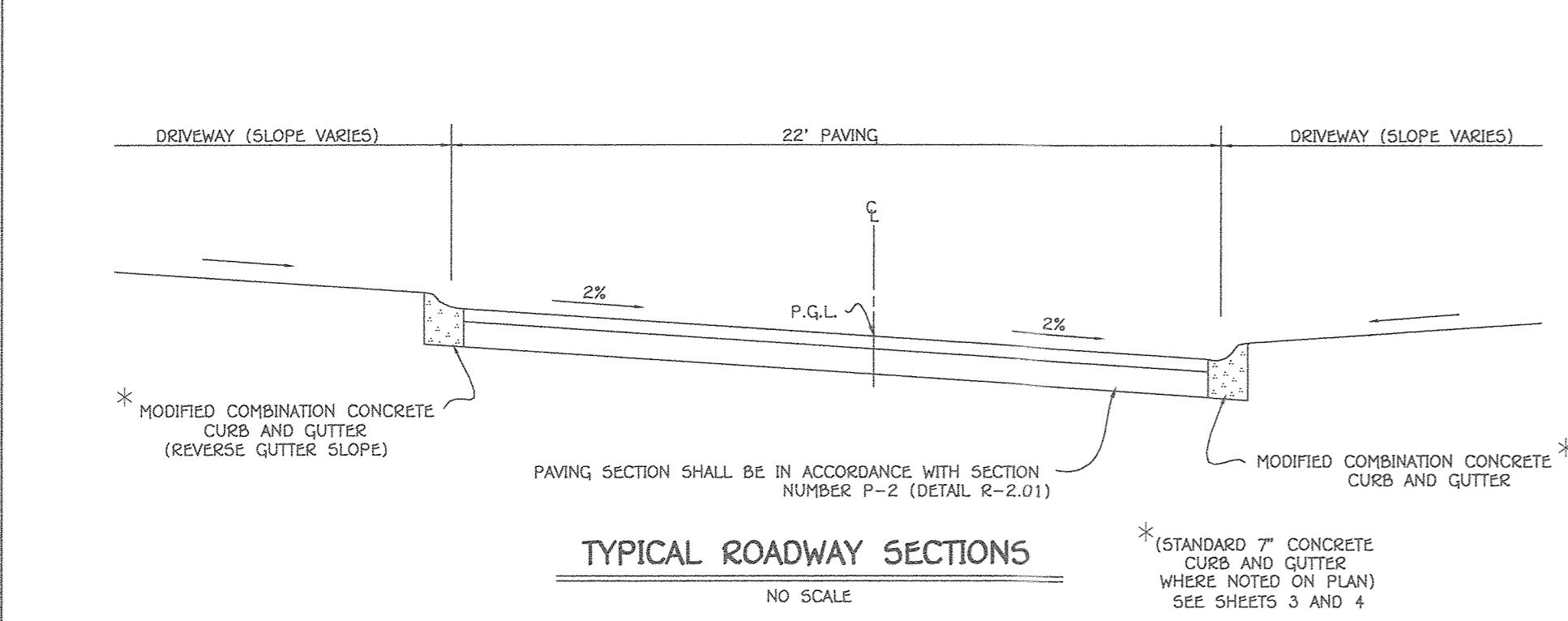
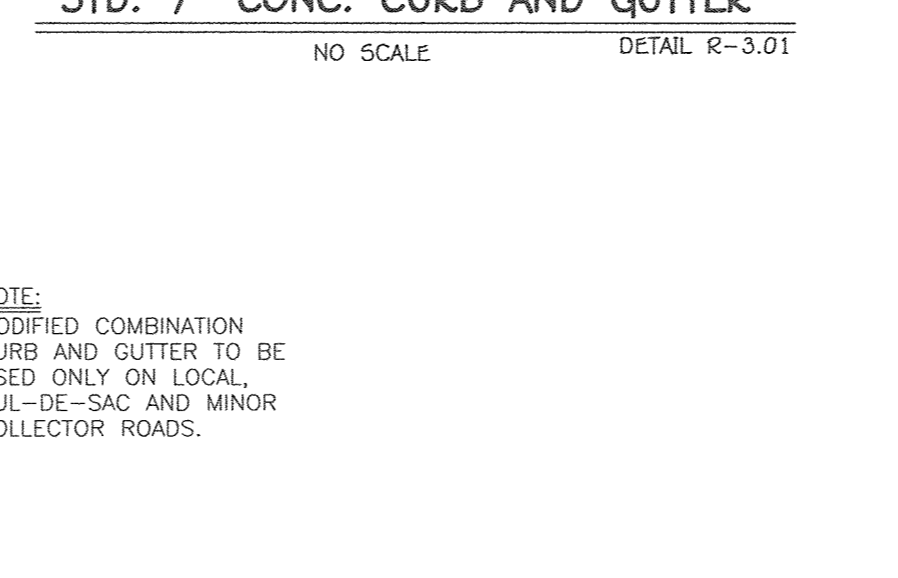
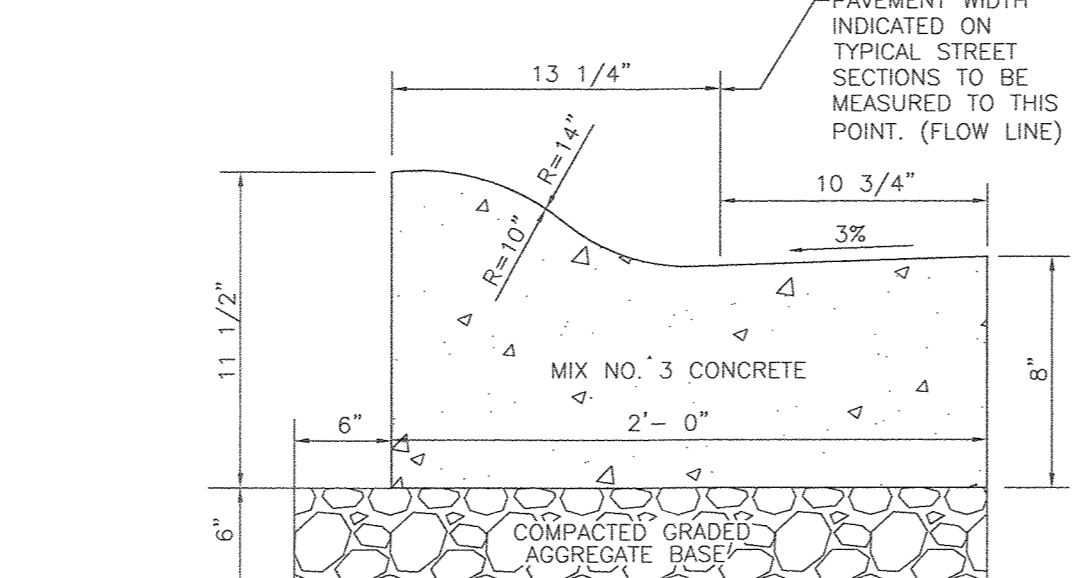
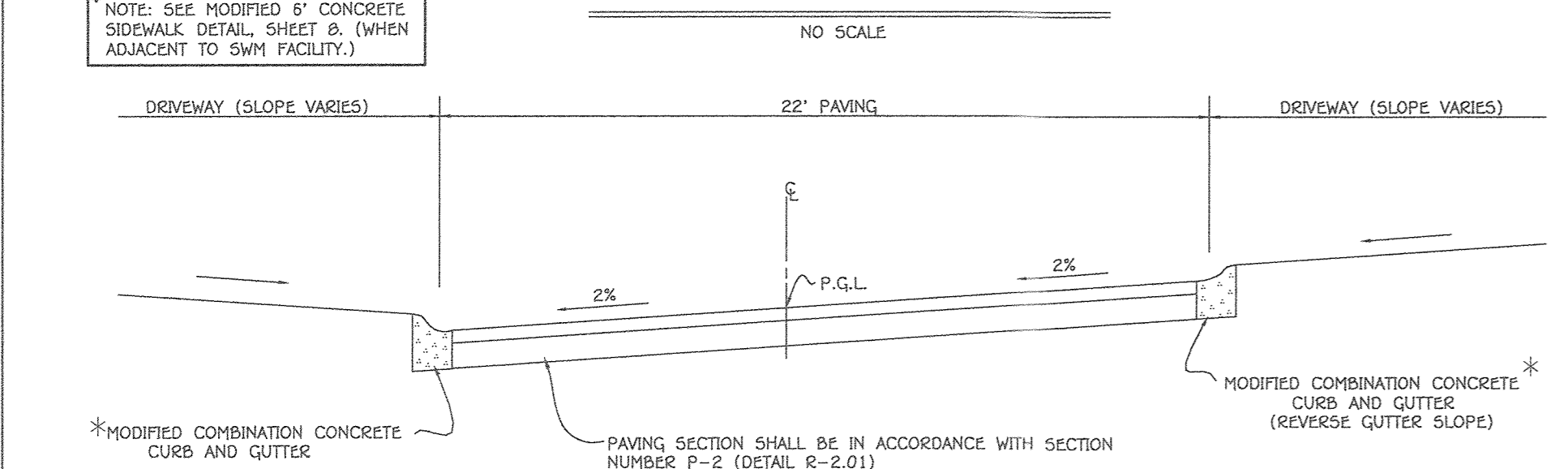
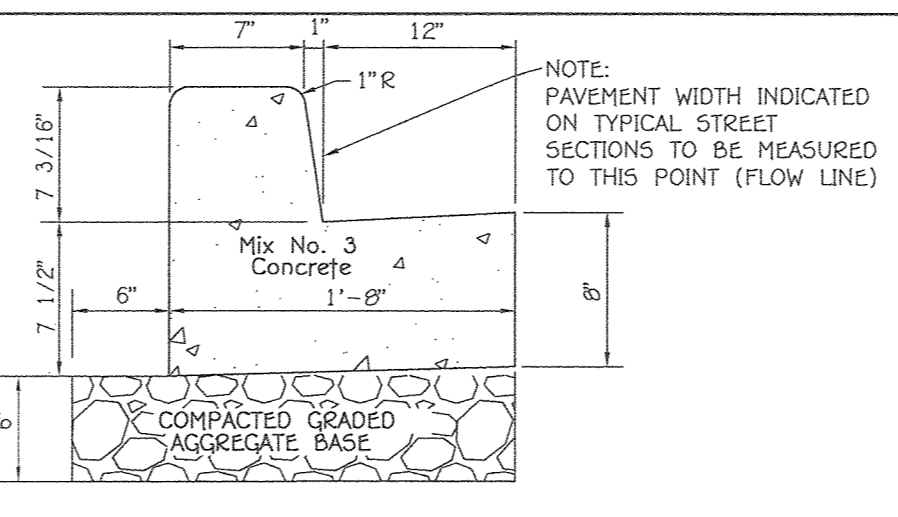
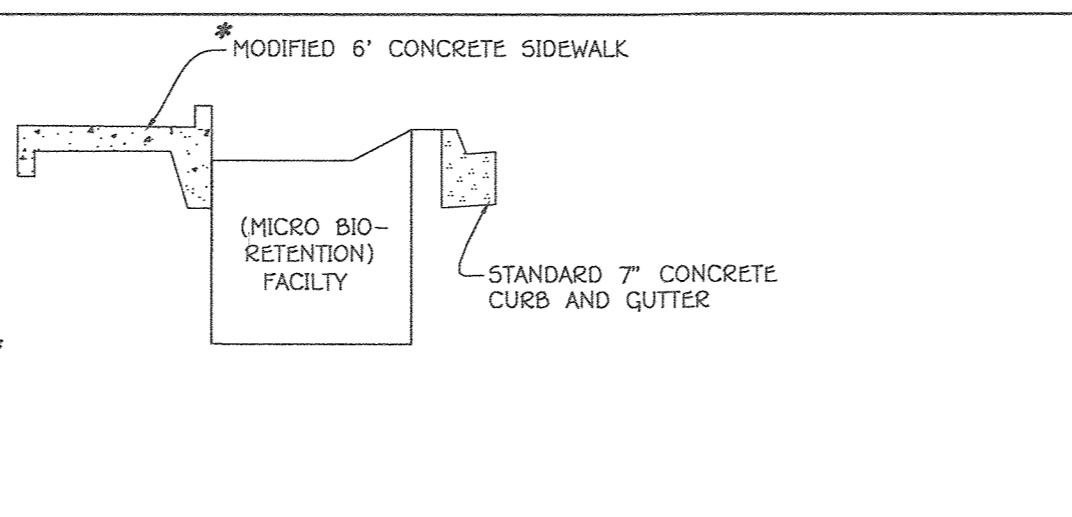
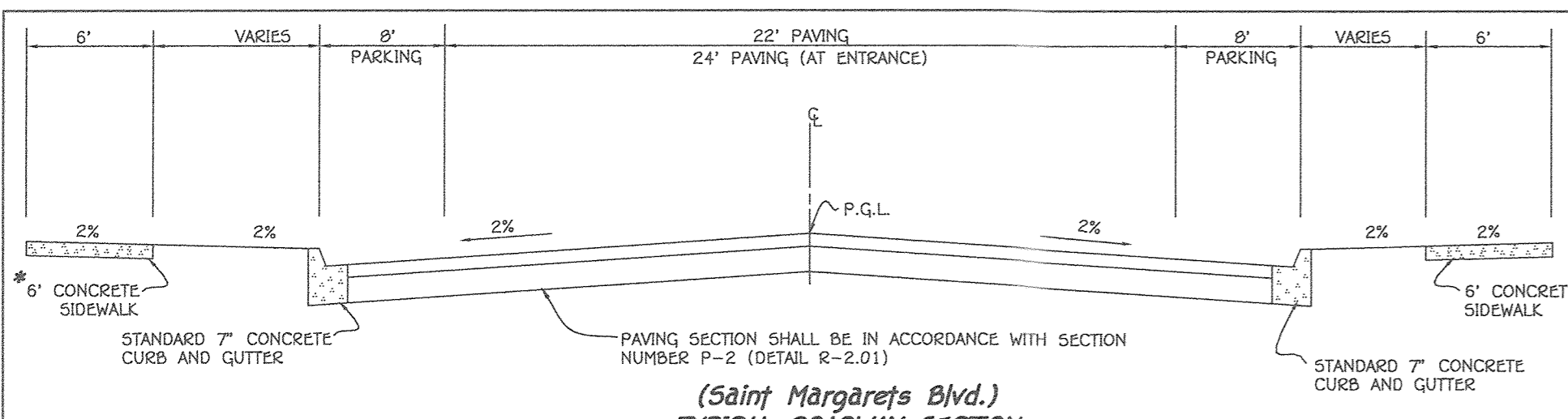
**Developer**  
Preston • Schreffener Properties  
100 West Road, Suite 304  
Towson, Maryland 21204  
Ph: 410-296-3800

SUBDIVISION		SECTION/AREA		LOT Nos.	
OXFORD SQUARE - 'THE YARDS'		N/A		379-434	
PLAT NO.	BLOCK NO.	ZONE	TAX/ZONE	ELEC. DIST.	CENSUS TR.
25047-25050	N/A	TOD	3B	1st.	601101

**REVISED STORM DRAIN PROFILES OXFORD SQUARE**

"A Howard County Green Neighborhood"  
 LOTS 379-434, OPEN SPACE LOTS 435-439 AND PARCEL 'H-H' & 'I-I'  
 'THE YARDS'  
 (Being A Resubdivision Of Parcel 'G-G', As Shown On Plats Entitled "Oxford Square, "Green Neighborhood", Parcels "G-G", "F-F", And Open Space Lot 377 Recorded As Plat Nos. 24351 Thru 24353) And A Resubdivision Of Parcel "V", As Shown On Resubdivision Plat Entitled "Oxford Square, "Green Neighborhood", Parcels "V" Thru "Z", "A-A" Thru "C-C" And Open Space Lots 244 And 249 Recorded As Plat Nos. 23710 Thru 23715)  
 Zoned: TOD  
 Tax Map No.: 3B Grid No.: 20 Parcel No.: 1003  
 First Election District: Howard County, Maryland  
 Scale: As Shown  
 Date: March 20, 2020  
 Sheet 20 Of 44





DETAIL R-2.01

SECTION NUMBER	ROAD AND STREET CLASSIFICATION	CALIFORNIA BEARING RATIO (CBR)	3 TO <5				5 TO <7				7 TO <9				
			MIN HMA WITH GAB		HMA WITH CONSTANT GAB		MIN HMA WITH GAB		HMA WITH CONSTANT GAB		MIN HMA WITH GAB		HMA WITH CONSTANT GAB		
P-1	PARKING BAYS: RESIDENTIAL AND NON-RESIDENTIAL PARKING DRIVE ABLES: RESIDENTIAL AND NON-RESIDENTIAL WITH NO MORE THAN 2 HEAVY TRUCKS PER DAY	HMA SUPERPAVE FINAL SURFACE 9.5 MM, PG 64-22, LEVEL 1 (ESAL)	1.5	1.5	1.5	1.5	1.5	1.5	1.5	1.5	1.5	1.5	1.5	1.5	
			HMA SUPERPAVE INTERMEDIATE SURFACE (N/A)	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	
			HMA SUPERPAVE BASE 19.0 MM, PG 64-22, LEVEL 1 (ESAL)	2.0	2.0	2.0	3.5	3.0	2.5	2.0	2.0	2.0	3.5	3.0	2.5
			GRADED AGGREGATE BASE (GAB)	8.5	7.0	5.0	4.0	4.0	4.0	4.0	4.0	4.0	4.0	4.0	4.0
			HMA SUPERPAVE FINAL SURFACE 9.5 MM, PG 64-22, LEVEL 1 (ESAL)	1.5	1.5	1.5	1.5	1.5	1.5	1.5	1.5	1.5	1.5	1.5	1.5
P-2	PARKING DRIVE ABLES: RESIDENTIAL AND NON-RESIDENTIAL WITH NO MORE THAN 10 HEAVY TRUCKS PER DAY LOCAL ROADS: ACCESS, PLACE, ACCESS STREET CUL-DE-SACS: RESIDENTIAL	HMA SUPERPAVE FINAL SURFACE 9.5 MM, PG 64-22, LEVEL 1 (ESAL)	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	
			HMA SUPERPAVE INTERMEDIATE SURFACE (N/A)	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	
			HMA SUPERPAVE BASE 19.0 MM, PG 64-22, LEVEL 1 (ESAL)	2.0	2.0	2.0	3.5	2.0	2.0	2.0	2.0	2.0	2.0	2.0	2.0
			GRADED AGGREGATE BASE (GAB)	8.0	4.0	3.0	4.0	4.0	4.0	4.0	4.0	4.0	4.0	4.0	4.0
			HMA SUPERPAVE FINAL SURFACE 9.5 MM, PG 64-22, LEVEL 1 (ESAL)	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

*Keith Devoe* 6-12-19  
Chief, Division of Land Development

*Alan Plunk* 5-6-19  
Chief, Development Engineering Division

*Valerie J. J. J.* 6-17-19  
Director - Department of Planning and Zoning

**FISHER, COLLINS & CARTER, INC.**  
CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS  
CENTENNIAL SQUARE OFFICE PARK - 10772 BALTIMORE NATIONAL PIKE  
ELIJAH CITY, MARYLAND 21042  
(410) 461-2895

**Owner**  
Kallig - CDP, LLC  
c/o David P. Scheffner, Jr.,  
Managing Member  
100 West Road, Suite 304  
Towson, Maryland 21204  
Ph: 410-296-3800

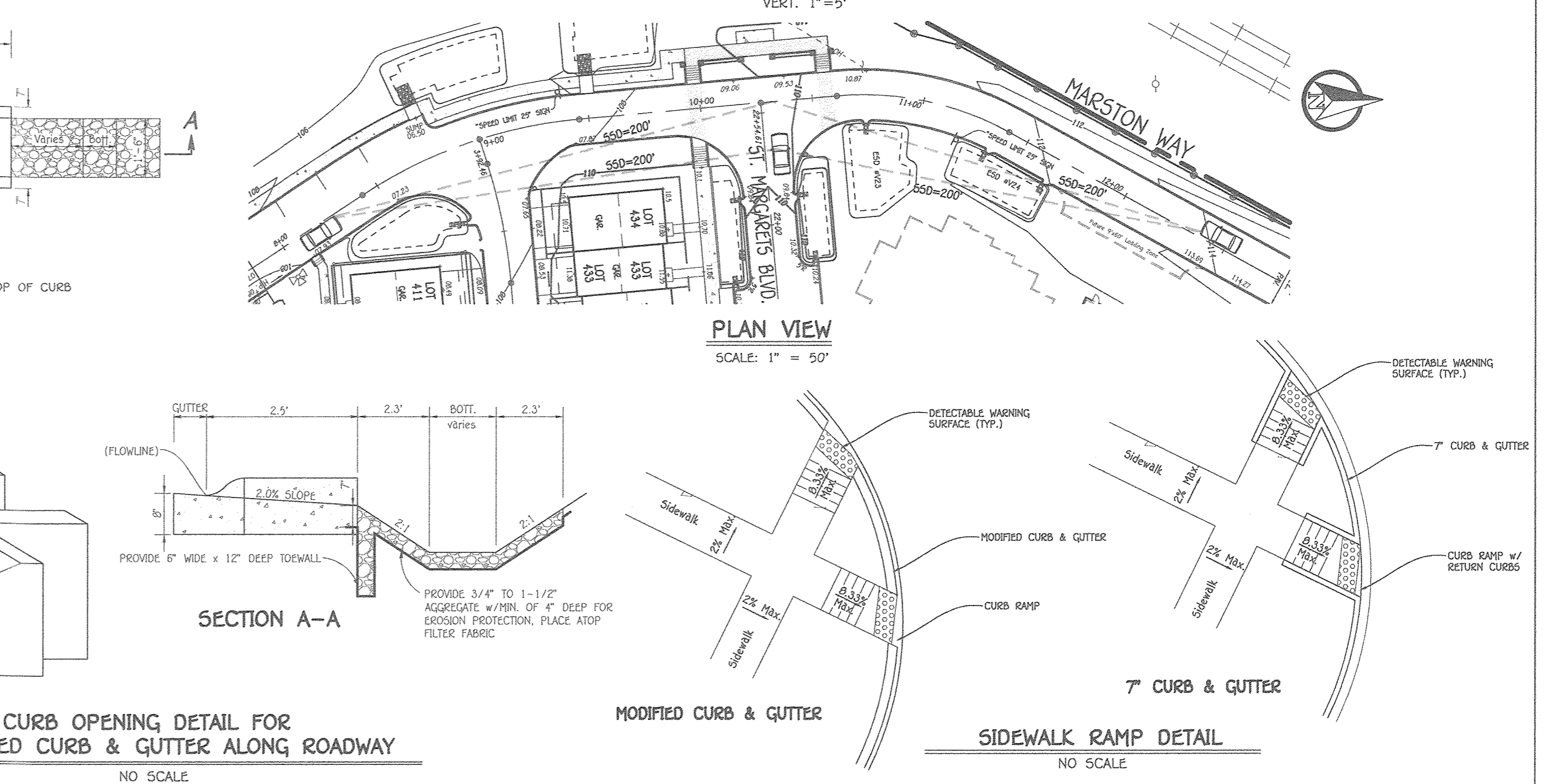
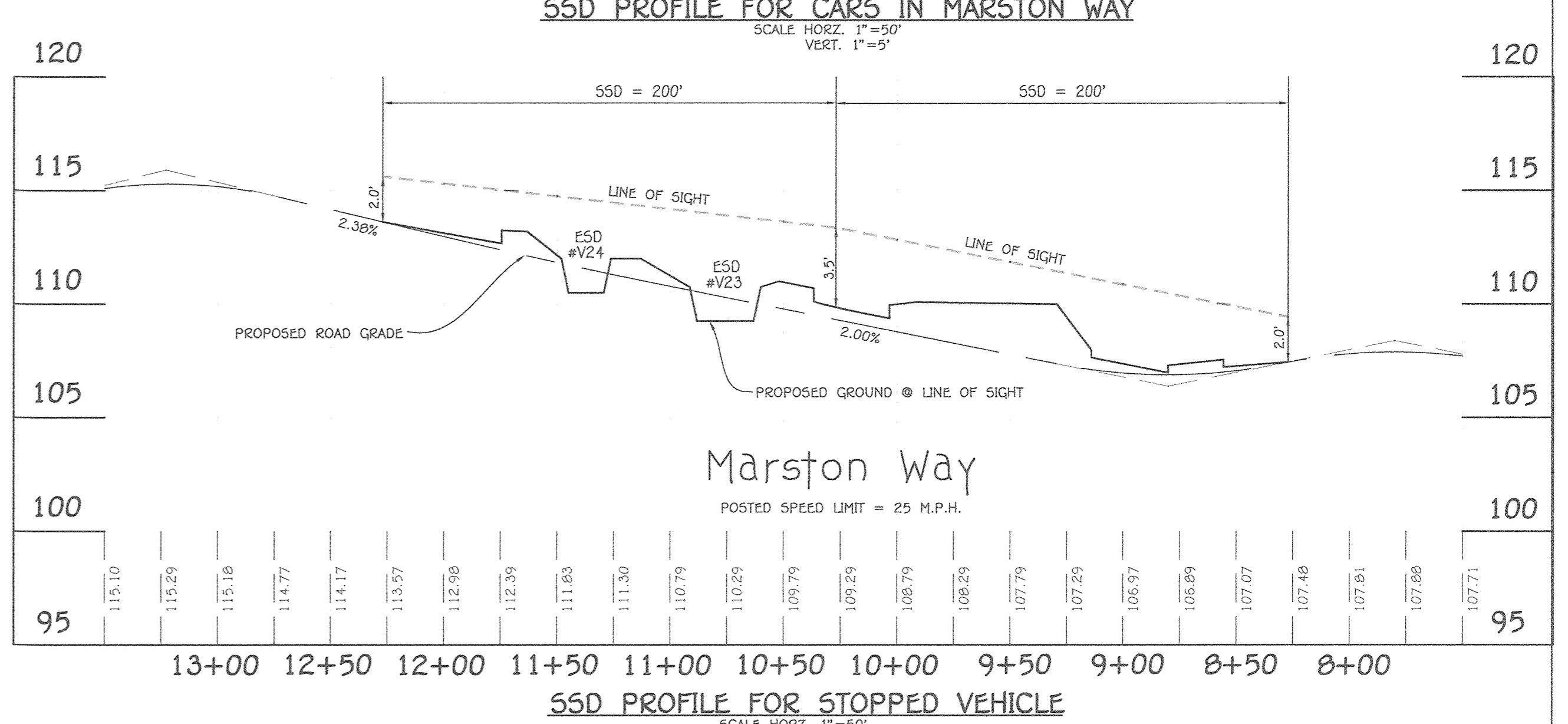
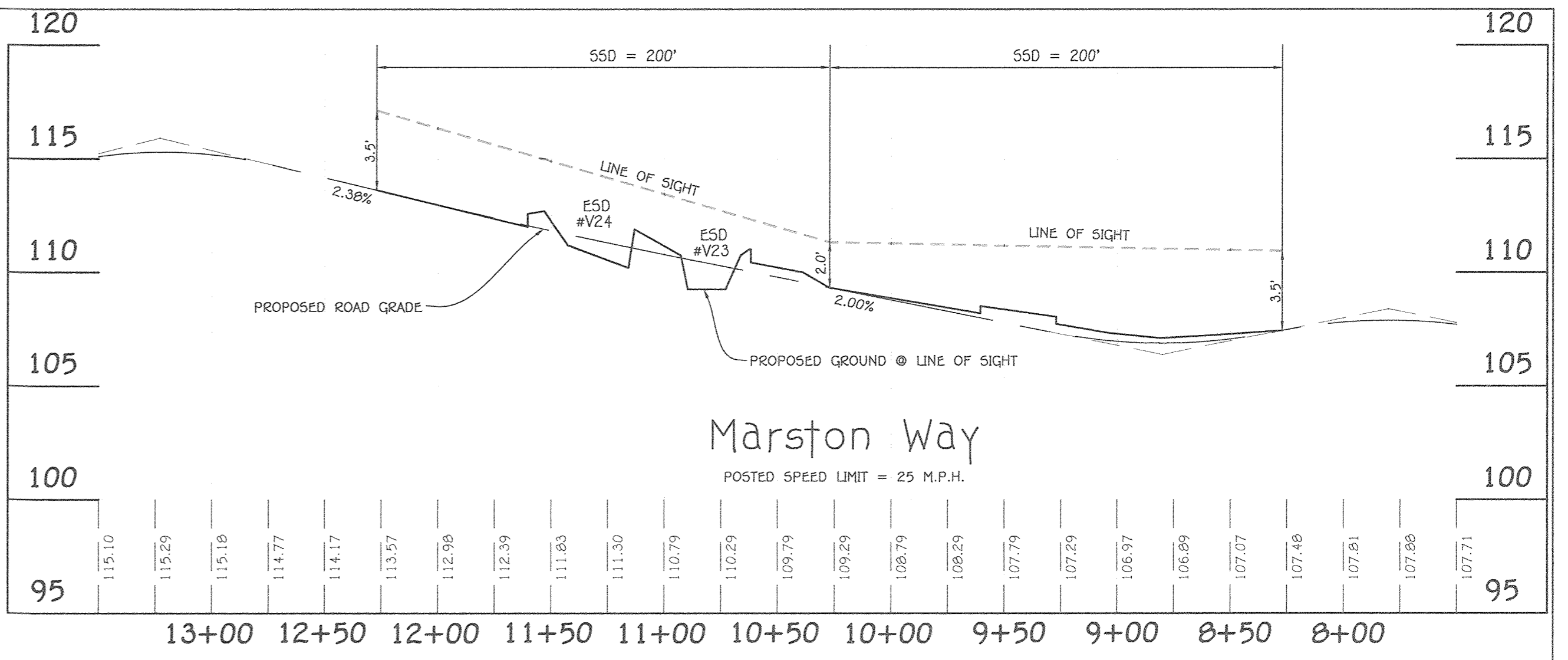
**Developer**  
Preston + Scheffner Properties  
100 West Road, Suite 304  
Towson, Maryland 21204  
Ph: 410-296-3800



**NOTES**

- THE DETECTABLE WARNING SURFACE SHALL BE LOCATED SO THAT THE EDGE NEAREST THE CURB LINE IS 6 TO 8 INCHES FROM THE FACE OF CURB.
- FOR SLOPED APPLICATIONS DETECTABLE WARNING SHALL BE PLACED SUCH THAT THE DOMES CLOSEST TO THE BACK OF CURB ARE NO LESS THAN 0.2" AND NO MORE THAN 3.0" FROM THE BACK OF CURB. TRUNCATED DOME SURFACES SHALL BE FABRICATED TO PROVIDE TULL BOLLS ONLY.
- DETECTABLE WARNING SURFACE SHALL BE PAID FOR IN ACCORDANCE WITH SECTION 611 OF THE SPECIFICATIONS.
- DETECTABLE WARNING SURFACES ARE REQUIRED AT STREET CROSSING & SIGNALIZED INTERSECTIONS.

**DETECTABLE WARNING SURFACE GUIDELINES**



**ROADWAY DETAILS**

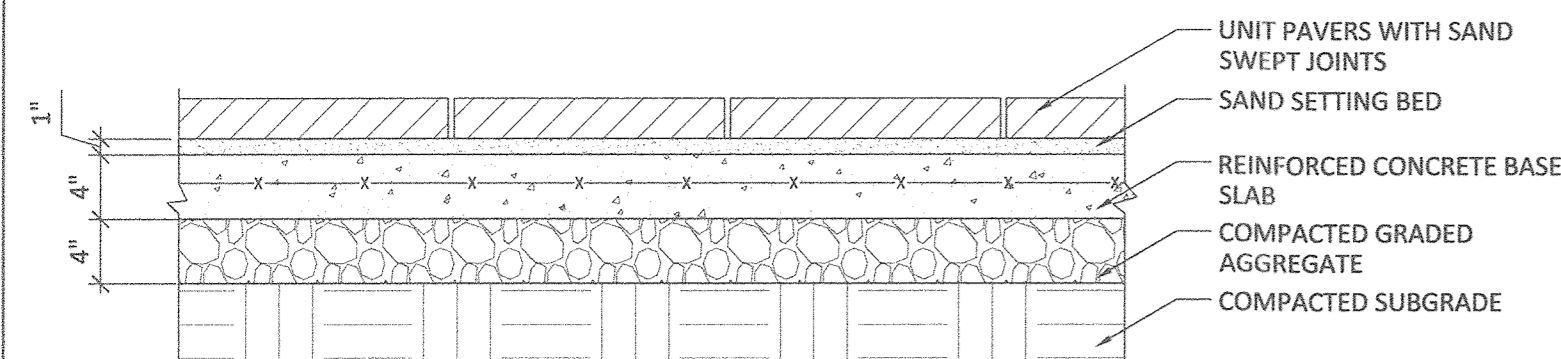
**OXFORD SQUARE**  
"A Howard County Green Neighborhood"  
LOTS 379-434, OPEN SPACE LOTS 435-439  
AND PARCEL 'H-H' & 'I-I'  
'THE YARDS'

(Being A Resubdivision Of Parcel 'G-G', As Shown On Plats Entitled "Oxford Square", "Green Neighborhood", "Parcels 'G-G', 'H-H', 'I-I', And Open Space Lot 377" Recorded As Plat Nos. 24351 Thru 24353) And A Resubdivision Of Parcel 'Y', As Shown On Resubdivision Plat Entitled "Oxford Square", "Green Neighborhood", "Parcels 'Y' Thru 'Z', 'A-A' Thru 'C-C', And Open Space Lots 244 And 245" Recorded As Plat Nos. 23710 Thru 23715)

Zoned: TOD  
Tax Map No.: 38 Grid No.: 20 Parcel No.: 1003  
First Election District: Howard County, Maryland  
Scale: As Shown  
Date: April 4, 2019  
Sheet 21 Of 44

NO.	REVISION	DATE
NO.	SECTION/AREA	LOT Nos.
OXFORD SQUARE - 'THE YARDS'		379-434
PLAT NO.	BLOCK NO.	ZONE
25047-25050	N/A	TOD
ELEC. DIST.		CENSUS TR.
3B		1st
601101		





SECTION

METAL EDGING REQUIRED WHERE PAVING DOES NOT ABUT A VERTICAL HARDSCAPE ELEMENT  
45° CUT AT CORNERS TYP.  
HALF BRICK AT CORNERS TYP.

90° HERRINGBONE PATTERN TYP.

METAL EDGING PRODUCT INFORMATION

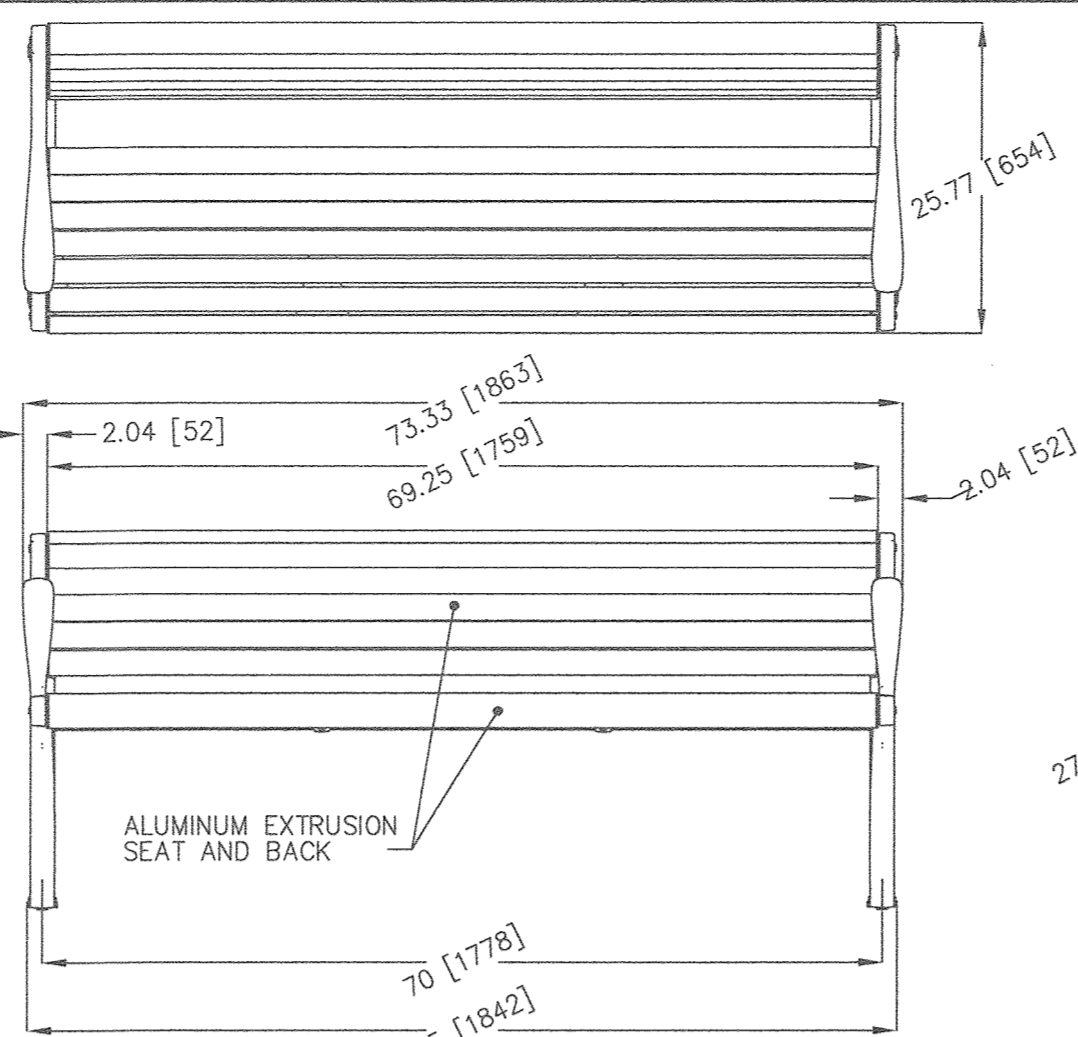
MANUFACTURER: SURE-LOC EDGING

STEEL, 3/16" x 4" x 16"  
COLOR: BLACK

PLAN

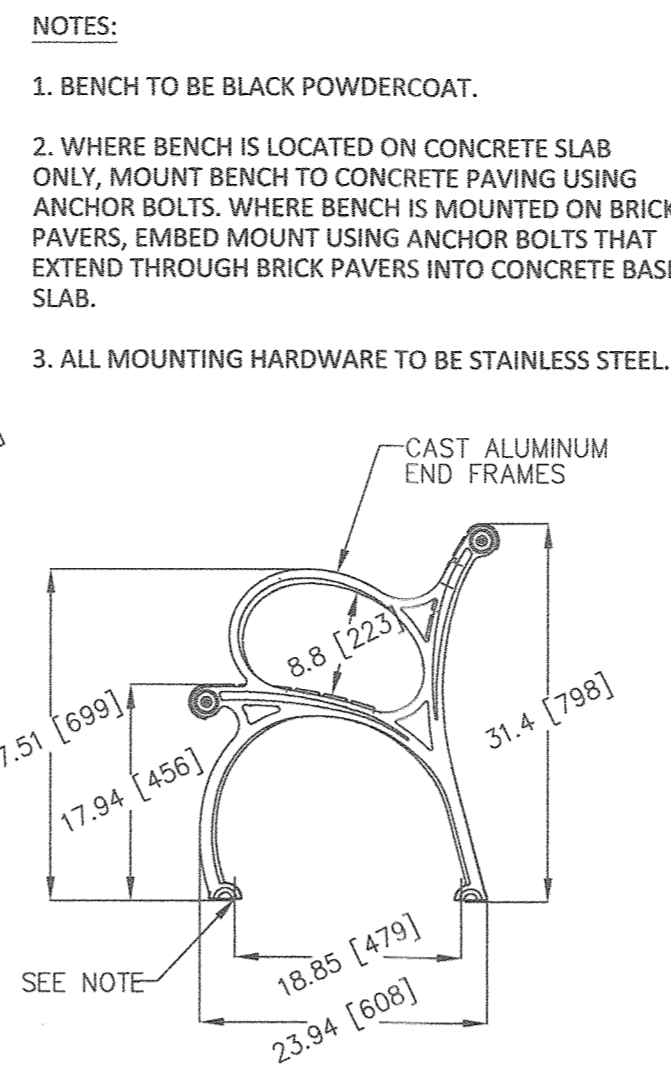
1 UNIT PAVER DETAIL-PEDESTRIAN APPLICATION

1/2" = 1'-0"



6 TYPICAL BENCH DETAIL

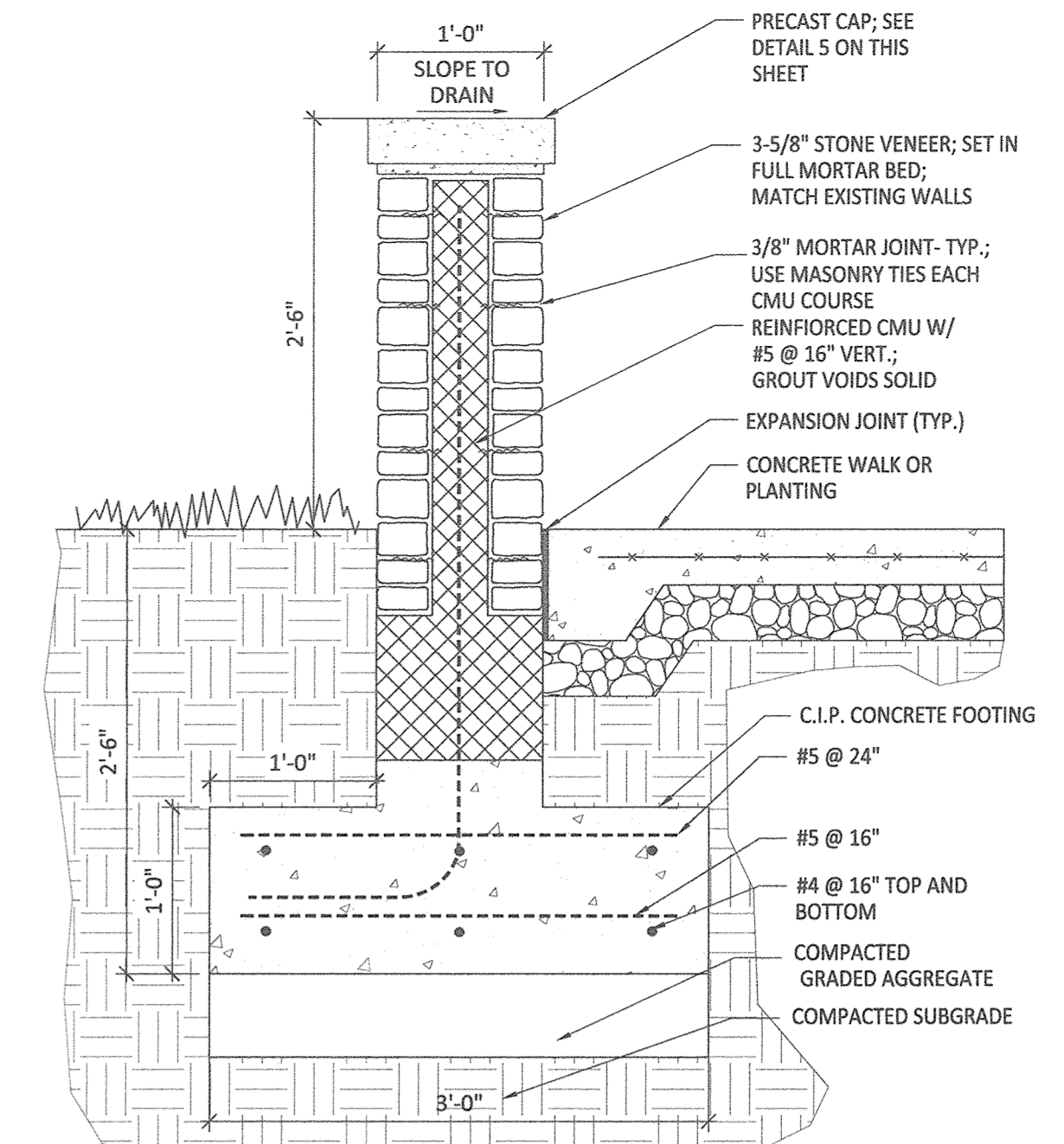
3/4" = 1'-0"



SEE NOTE

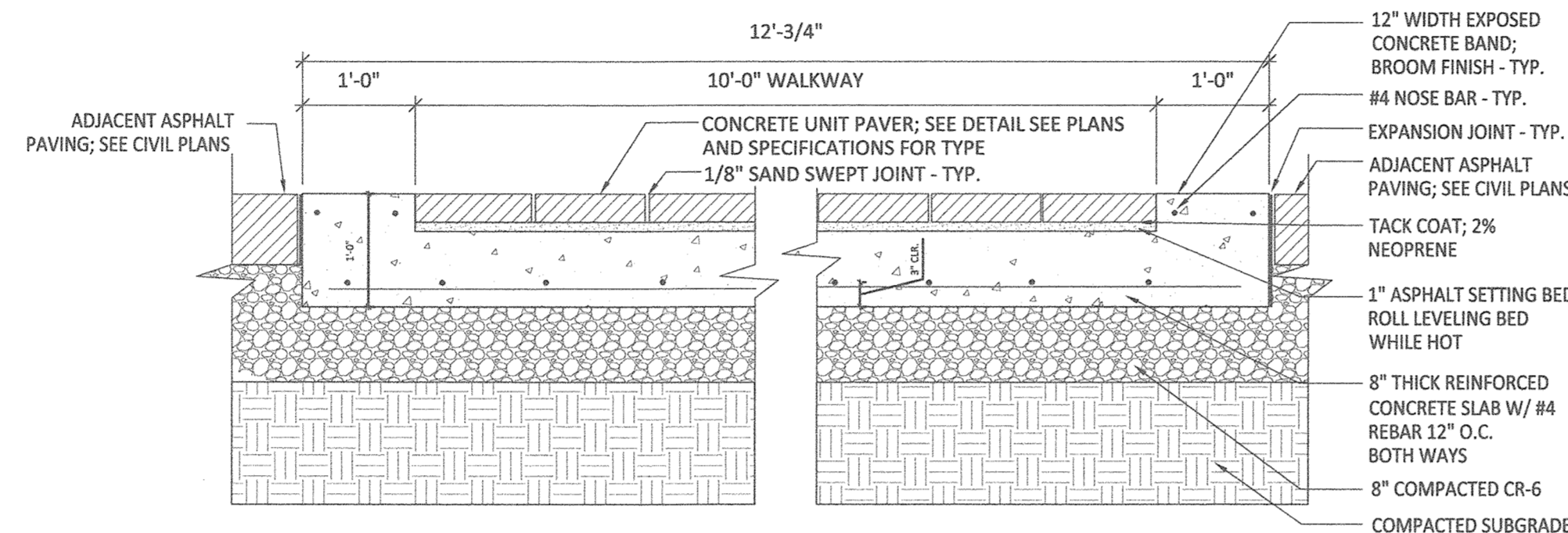
NOTES:

- BENCH TO BE BLACK POWDERCOAT.
- WHERE BENCH IS LOCATED ON CONCRETE SLAB ONLY, MOUNT BENCH TO CONCRETE PAVING USING ANCHOR BOLTS. WHERE BENCH IS MOUNTED ON BRICK PAVERS, EMBED MOUNT USING ANCHOR BOLTS THAT EXTEND THROUGH BRICK PAVERS INTO CONCRETE BASE SLAB.
- ALL MOUNTING HARDWARE TO BE STAINLESS STEEL.



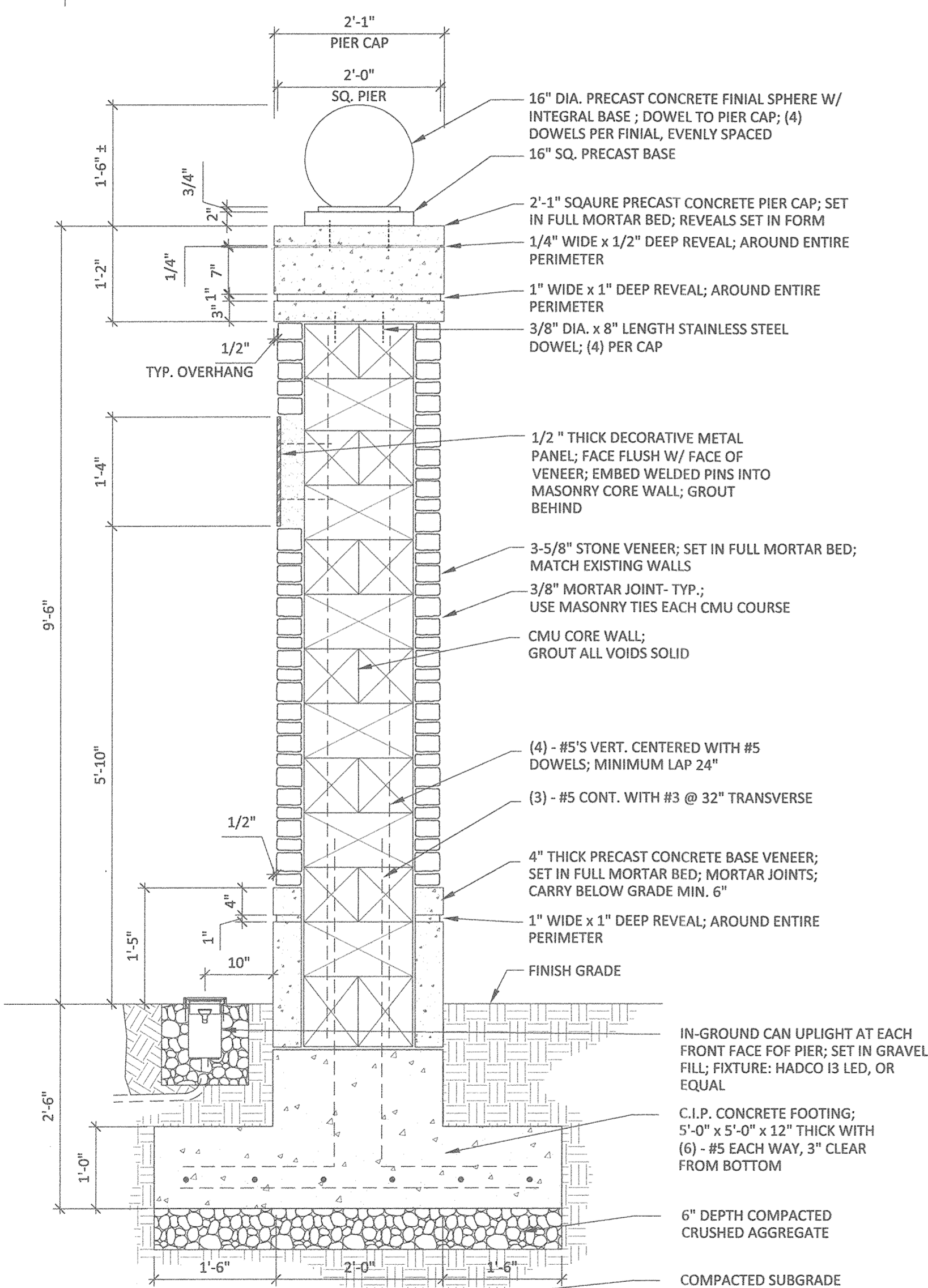
7 STONE WALL AT MARC ENTRANCE - TYPICAL SECTION

1" = 1'-0"



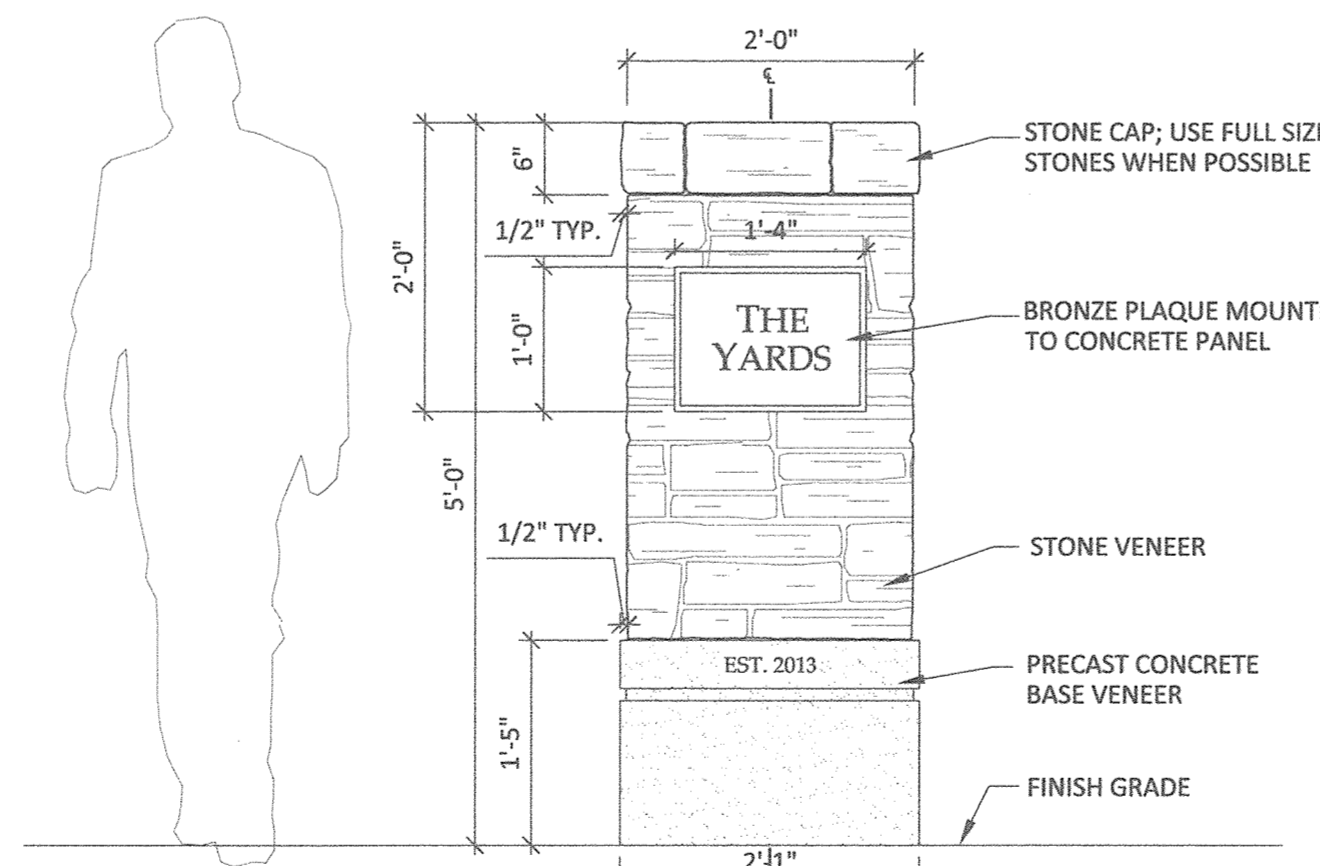
2 UNIT PAVER DETAIL-VEHICULAR APPLICATION

3/4" = 1'-0"



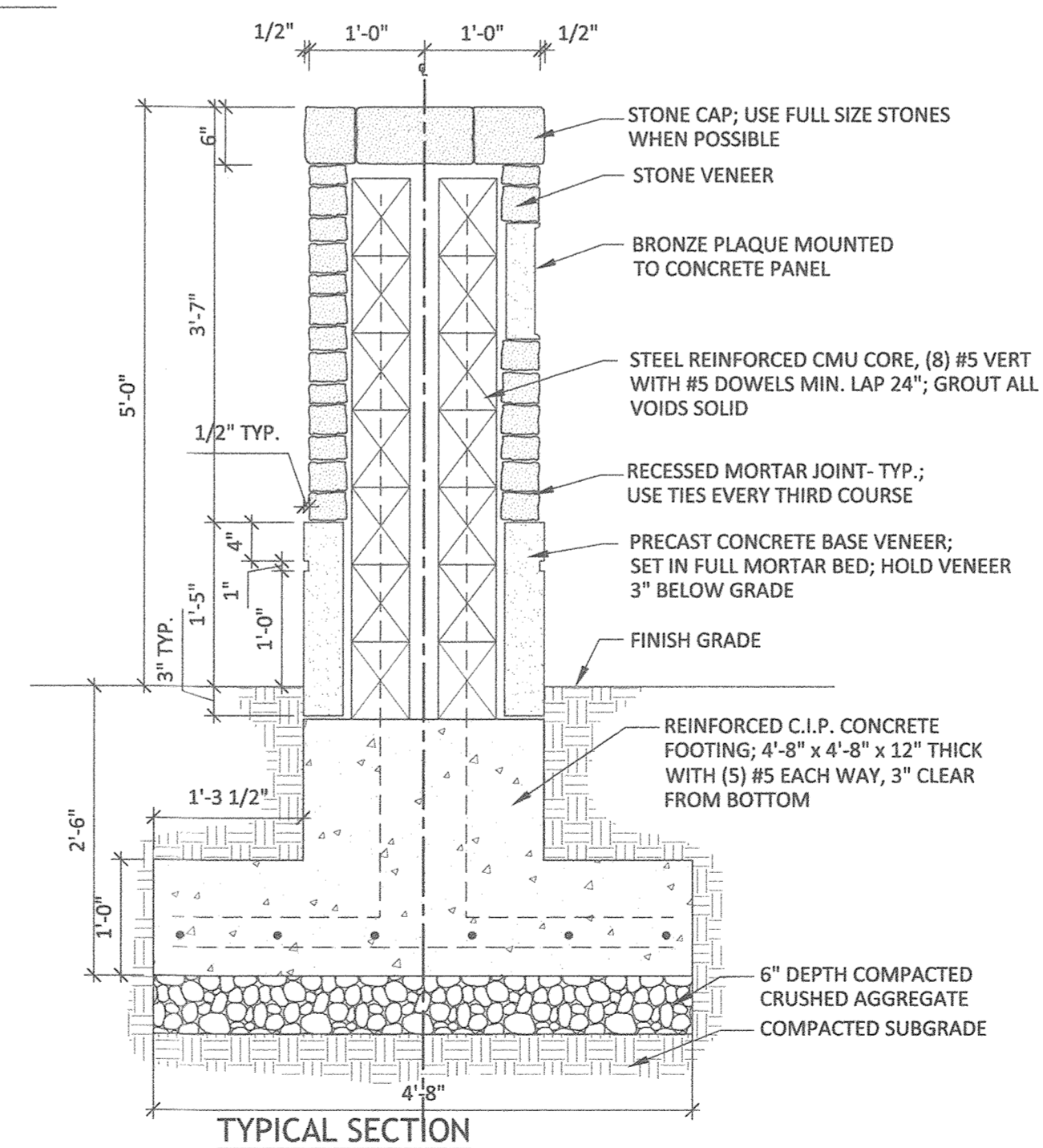
4 STONE VENEER PIER AT MARC ENTRANCE - TYP.

3/4" = 1'-0"

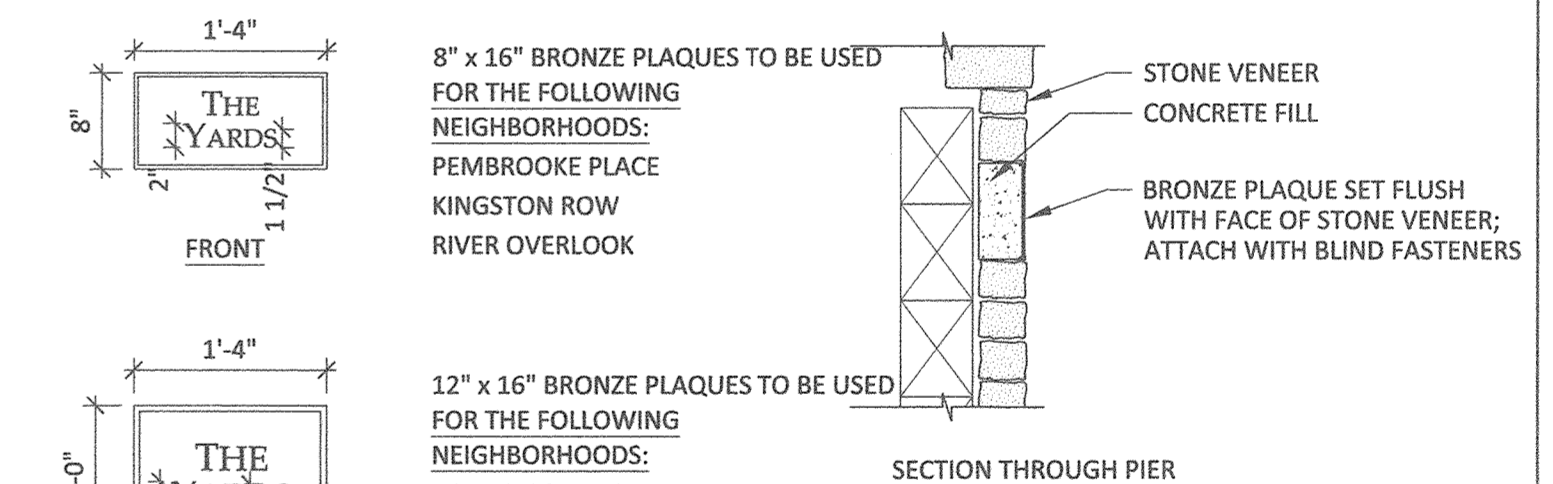


5 NEIGHBORHOOD PIER

1" = 1'-0"



TYPICAL SECTION



BRONZE PLAQUE DETAIL

BRONZE PLAQUES MATERIAL DETAILS  
- STOCK FINISH, BEAD BLASTED BACKGROUND  
- BRASS COLOR BACKGROUND WITH RAISED PAINTED BORDER AND LETTERING  
- STOCK THICKNESS 1/4" ALLOY 22000  
- ATTACH TO PIER USING BLIND FASTENERS

MANUFACTURER:  
SIGNSACTIONS  
1941 GREENSPRING RD.  
TIMONIUM, MD 21093  
410-453-9003 ph  
410-453-9004 fax  
sales@signsactionsinc.net

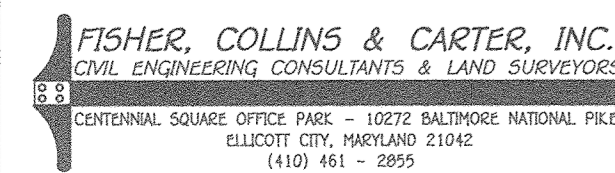
MATCH STYLE OF PLAQUES AT COCA-COLA DRIVE ENTRANCE PIERS. SUBMIT SHOP DRAWINGS FOR OWNER APPROVAL.

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

*Howard County*  
Chief, Division of Land Development Date: 6-12-19

*Michael J. ...*  
Chief, Development Engineering Division Date: 5-6-19

*Valerie ...*  
Director - Department of Planning and Zoning Date: 6-17-19



Owner

Kellogg-COP, LLC  
c/o David P. Scheffacker, Jr.,  
Managing Member  
100 West Road, Suite 304  
Towson, Maryland 21204  
Ph: 410-296-3800

Developer

Preston - Scheffacker Properties  
100 West Road, Suite 304  
Towson, Maryland 21204  
Ph: 410-296-3800

NO.	REVISION	DATE
1	SUBDIVISION	SECTION/AREA
2	OXFORD SQUARE - 'THE YARDS'	N/A
3	LOT NOS.	379-434
4	PLAT NO.	BLOCK NO.
5	25047-25050	N/A
6	ZONE	TOD
7	TAX/ZONE	30
8	ELEC. DIST.	1st
9	CENSUS TR.	601101

SITE DETAILS

**OXFORD SQUARE**

"A Howard County Green Neighborhood"

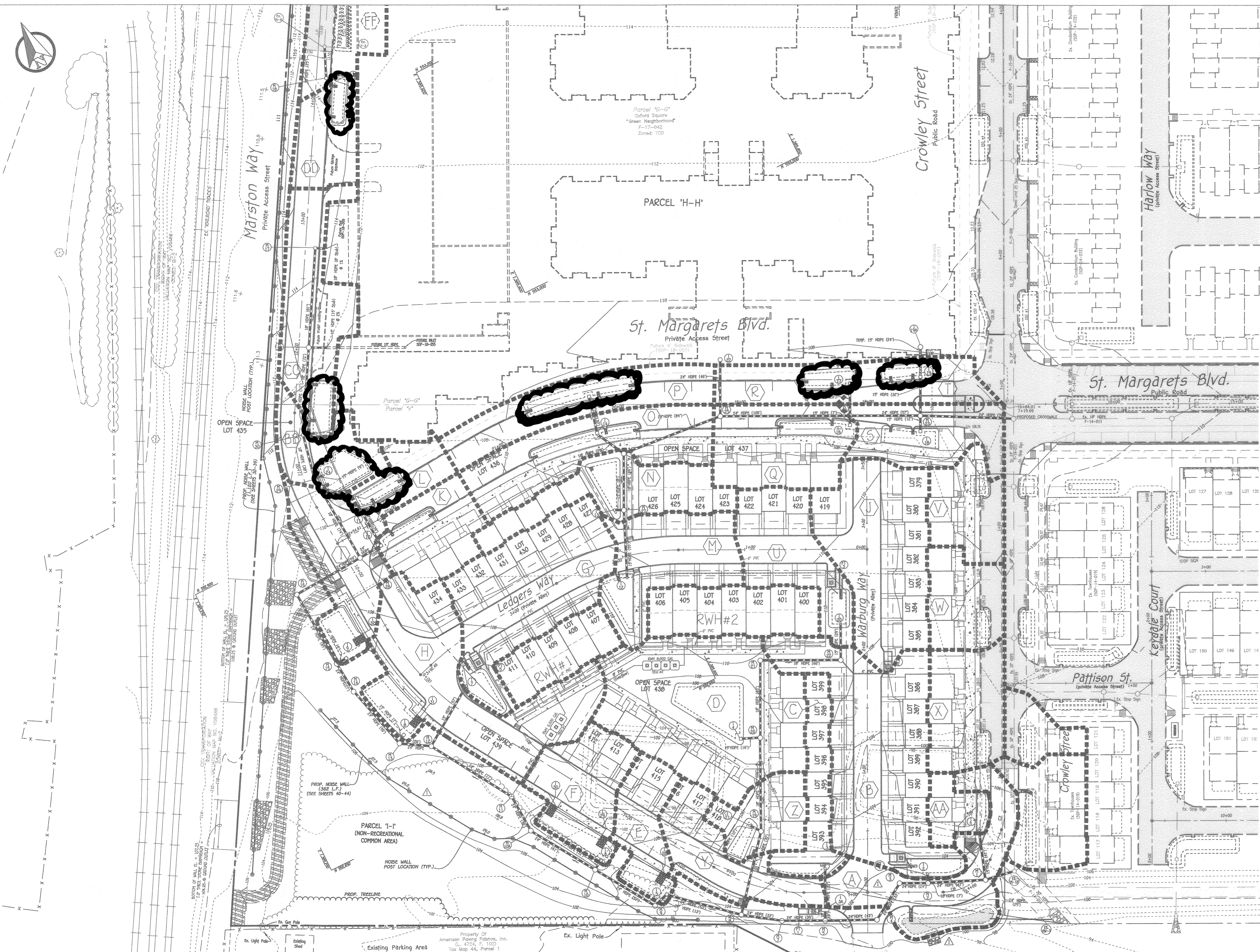
LOTS 379-434, OPEN SPACE LOTS 435-439  
AND PARCEL 'H-H' & 'I-I'

'THE YARDS'

(Being A Resubdivision Of Parcel 'G-G', As Shown On Plats Entitled "Oxford Square, "Green Neighborhood", Parcels "G-G", "I-I", And Open Space Lot 377 Recorded As Plat Nos. 24351 Thru 24353) And A Resubdivision Of Parcel "V", As Shown On Resubdivision Plat Entitled "Oxford Square, "Green Neighborhood", Parcels "V" Thru "Z", "A-A" Thru "C-C" And Open Space Lots 244 And 245" Recorded As Plat Nos. 23710 Thru 23715)

Zoned: TOD  
Tax Map No. 30 Grid No.: 20 Parcel No.: 1003  
First Election District Howard County, Maryland  
Scale: As Shown  
Date: April 4, 2019  
Sheet 22 Of 44

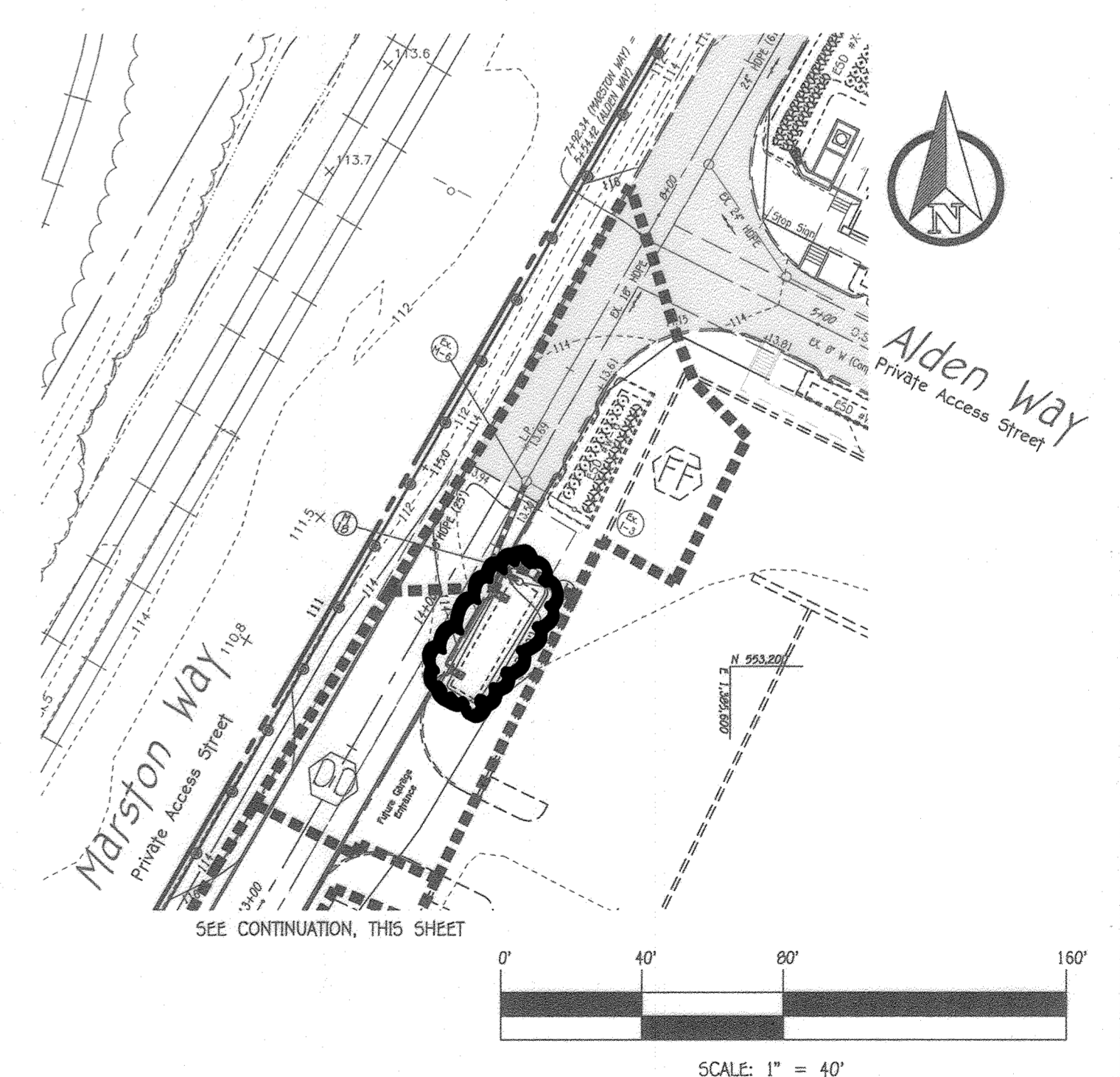




DRAINAGE AREA DATA						
STRUCTURE NO.	DRAINAGE AREA	AREA (Sq. Ft.)	AREA (Acres)	'C'	ZONED	% IMP.
I-23	A	8,995	0.21	0.60	TOD	62%
I-2	B	17,542	0.40	0.75	TOD	71%
I-3	C	3,840	0.09	0.76	TOD	73%
I-4	D	17,172	0.39	0.55	TOD	42%
I-5	E	4,365	0.10	0.69	TOD	63%
I-6	F	6,299	0.14	0.73	TOD	69%
I-7	G	12,275	0.28	0.94	TOD	99%
I-8	H	14,101	0.32	0.58	TOD	48%
I-9	J	7,375	0.17	0.67	TOD	60%
I-10	K	5,276	0.12	0.68	TOD	62%
I-11	L	2,569	0.06	0.70	TOD	65%
I-12	M	9,328	0.21	0.60	TOD	51%
I-13	N	7,014	0.16	0.72	TOD	67%
I-14	O	9,038	0.21	0.80	TOD	79%
I-15	P	7,398	0.17	0.73	TOD	69%
I-16	Q	7,455	0.17	0.72	TOD	67%
I-17	R	3,605	0.08	0.73	TOD	69%
I-18	S	6,031	0.14	0.55	TOD	54%
I-19	T	3,952	0.09	0.63	TOD	54%
I-20	U	7,941	0.18	0.72	TOD	67%
I-21	Z	4,087	0.09	0.59	TOD	49%
I-1	AA	2,104	0.05	0.75	TOD	72%
I-24	BB	5,182	0.12	0.53	TOD	30%
I-25	CC	8,415	0.19	0.36	TOD	15%
I-27	DD	4,215	0.10	0.53	TOD	41%
RWH#1		4,025	0.09	0.95	TOD	100%
RWH#2		5,600	0.13	0.95	TOD	100%
FILTERRA #2	J	11,590	0.27	0.86	TOD	87%
FILTERRA #1	Y	5,318	0.12	0.75	TOD	72%
Ex. I-14B	V	4,656	0.11	0.76	TOD	73%
Ex. I-13	W	4,667	0.11	0.77	TOD	74%
Ex. I-11	X	6,046	0.14	0.74	TOD	70%
Ex. I-3	FF	3,711	0.09	0.77	TOD	74%

SDP-14-019  
SDP-14-019  
SDP-14-019  
SDP-15-053

NOTE: ESD V-11, V-15, V-17, V-19, V-23 THRU V-25 ARE TO BE BUILT UNDER SDP-18-055.



APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

Chief, Division of Land Development *[Signature]* 3/10/21  
Date  
Chief, Development Engineering Division *[Signature]* 12-9-21  
Date  
Director, Department of Planning and Zoning *[Signature]* 3-10-21  
Date



**Owner**  
Kelllogg-CCP, LLC  
c/o David P. Scheffacker, Jr.,  
Managing Member  
100 West Road, Suite 304  
Towson, Maryland 21204  
Ph: 410-296-3800

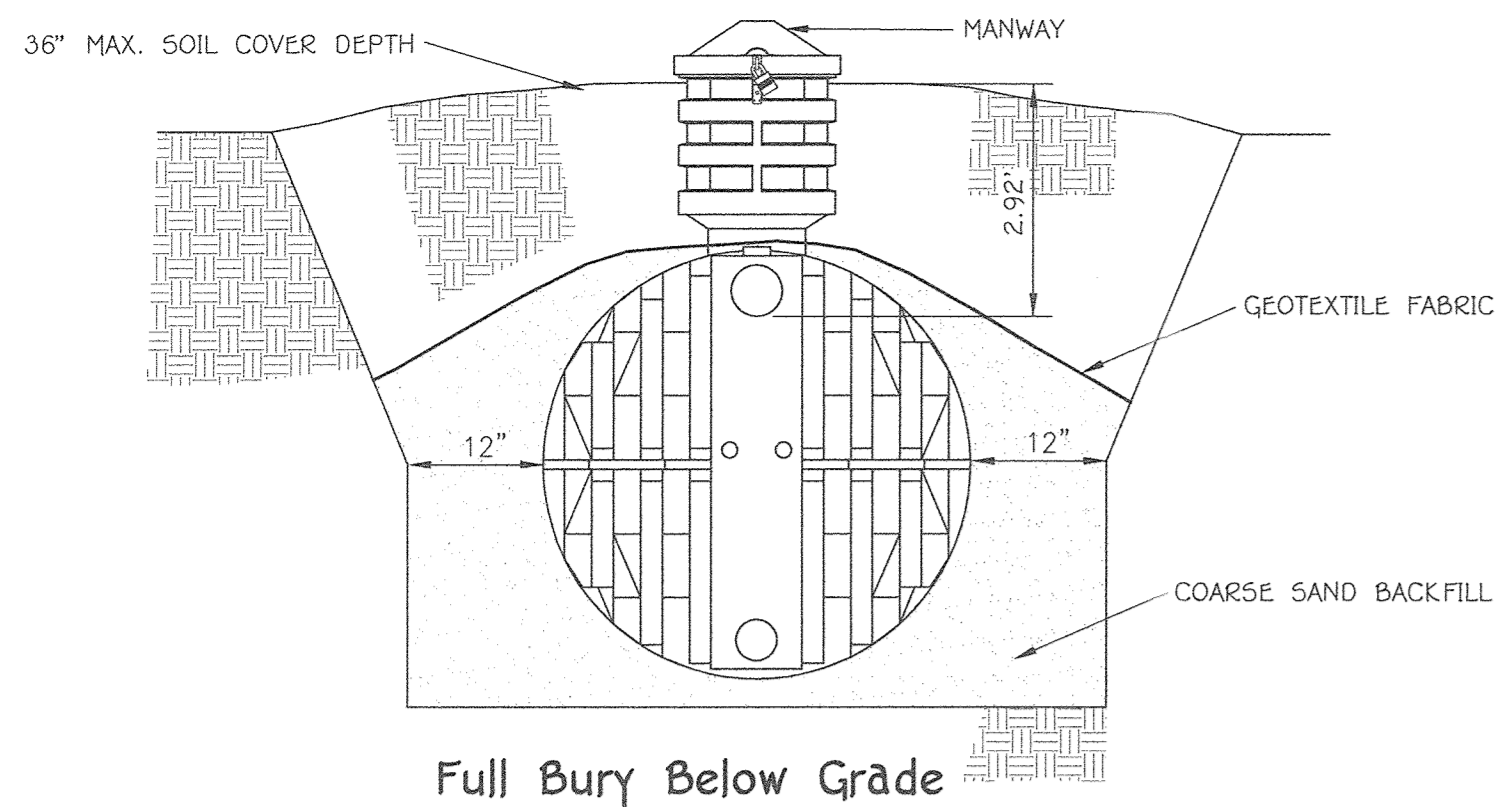
**Developer**  
Preston • Scheffacker Properties  
100 West Road, Suite 304  
Towson, Maryland 21204  
Ph: 410-296-3800

SUBDIVISION	SECTION/AREA	LOT Nos.			
OXFORD SQUARE - 'THE YARDS'	N/A	379-434			
PLAT NO.	BLOCK NO.	ZONE	TAX/ZONE	ELEC. DIST.	CENSUS TR.
25047-25050	N/A	TOD	38	1st.	601101

REVISED  
DRAINAGE AREA MAP  
OXFORD SQUARE  
"A Howard County Green Neighborhood"  
LOTS 379-434, OPEN SPACE LOTS 435-439  
AND PARCEL 'H-H' & 'I-I'  
'THE YARDS'

(Being A Resubdivision Of Parcel 'G-G', As Shown On Plats Entitled "Oxford Square, "Green Neighborhood", Parcels "G-G", "F-F", And Open Space Lot 377" Recorded As Plat Nos. 24351 Thru 24353) And A Resubdivision Of Parcel "V", As Shown On Resubdivision Plat Entitled "Oxford Square, "Green Neighborhood", Parcels "V" Thru "Z", "A-A" Thru "C-C", And Open Space Lots 244 And 249" Recorded As Plat Nos. 23710 Thru 23715)  
Zoned: TOD  
Tax Map No. 38 Grid No.: 20 Parcel No.: 1003  
Fire Election District: Howard County, Maryland  
Scale: As Shown  
Date: March 20, 2020  
Sheet 23 of 44

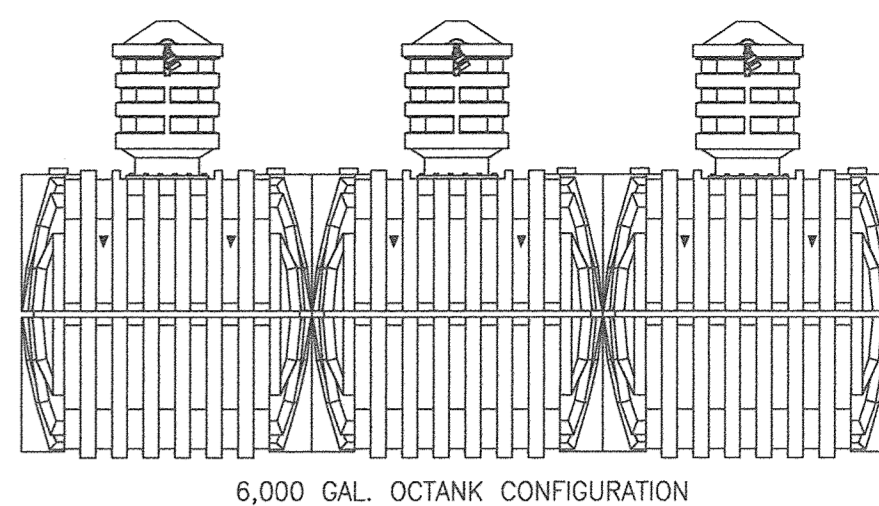
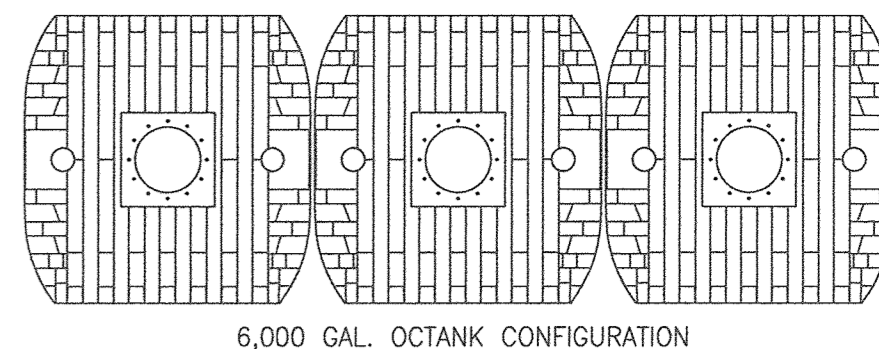




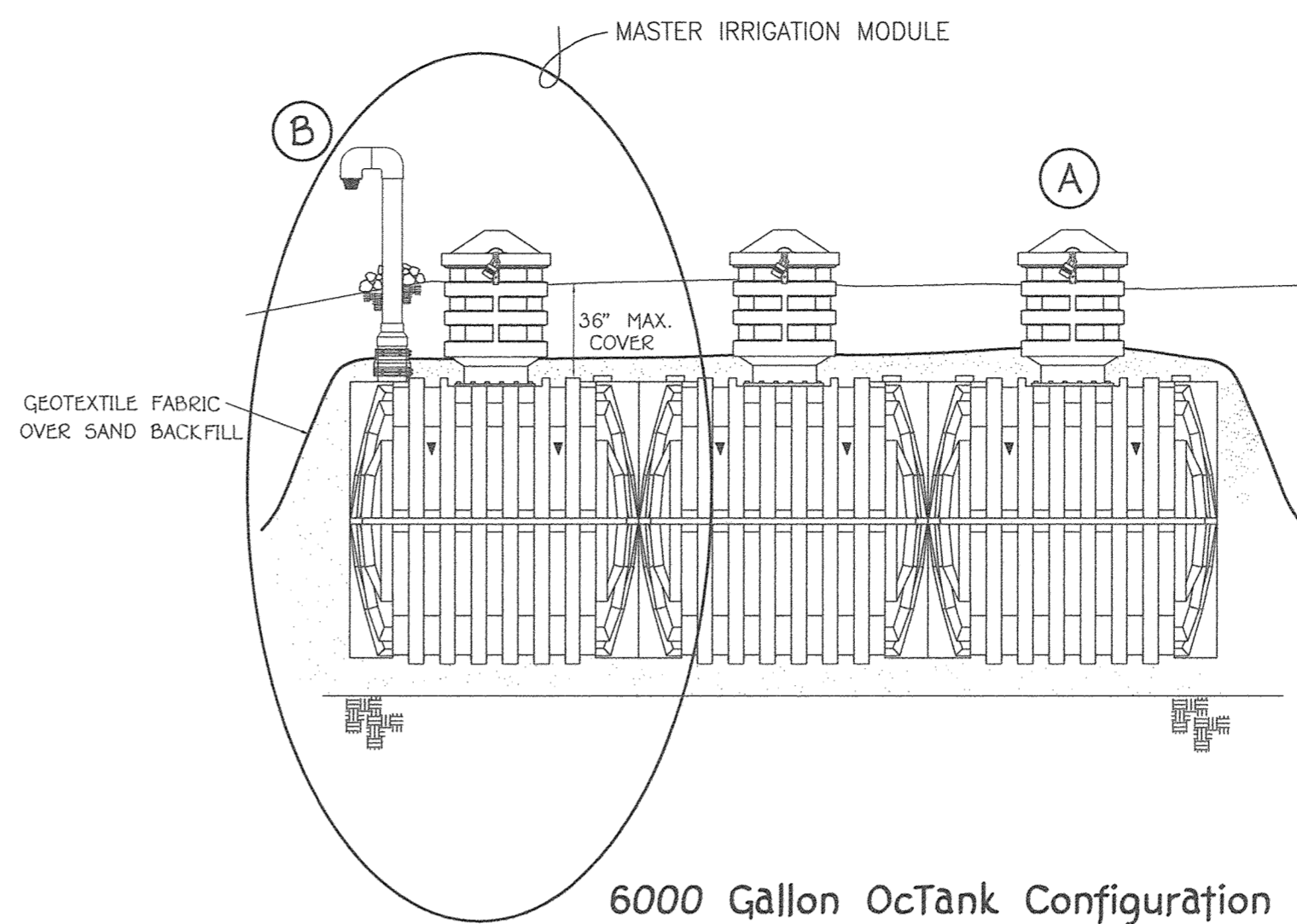
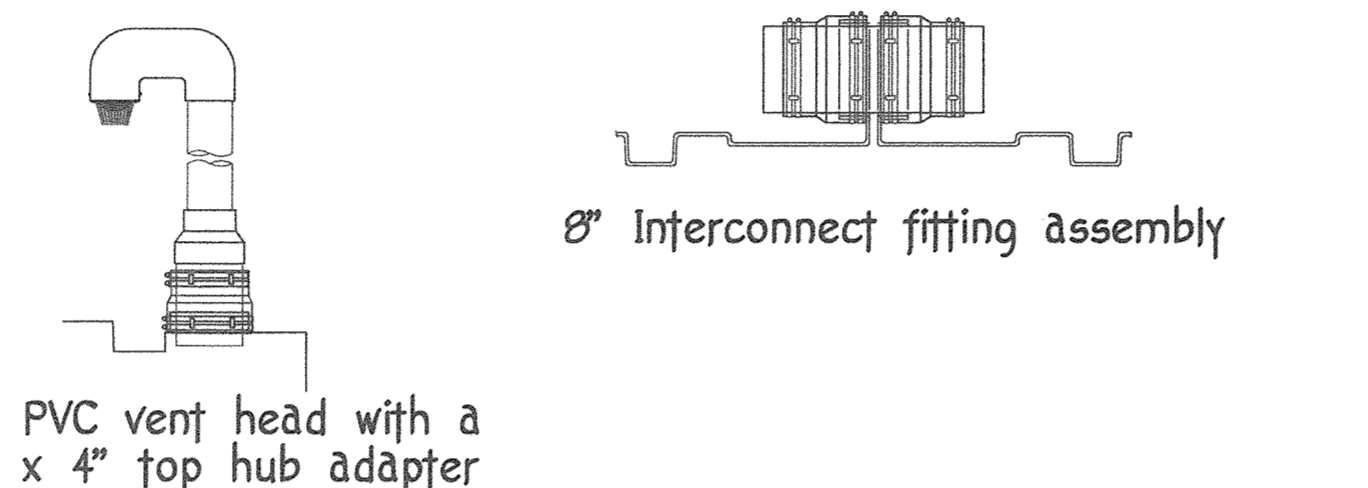
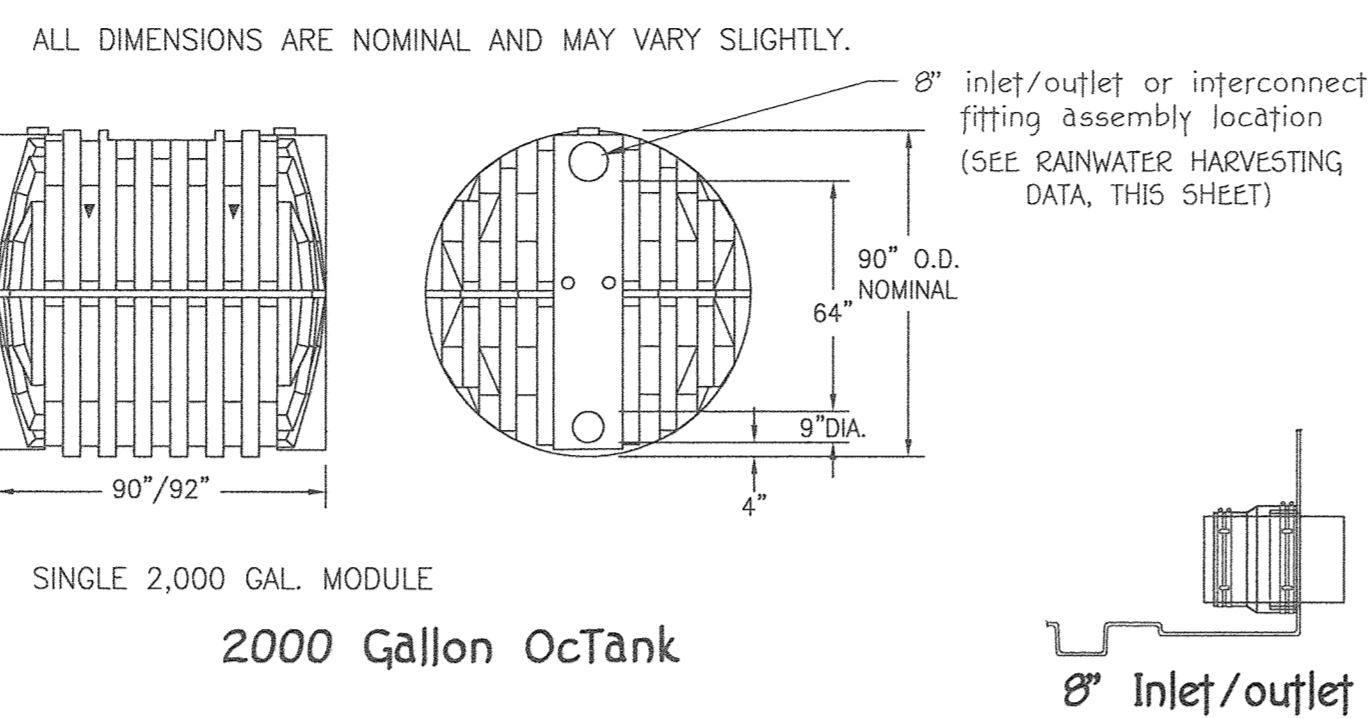
- ### ACCESSORIES
- ① - 20" LB. POLYETHYLENE SPOOL TYPE MANWAY EXTENSION TO GRADE W/ MESH BASKET ASSEMBLY AND INFLOW PIPE.
  - ② - PVC VENT WITH GUARD AND STAINLESS STEEL INSECT SCREEN.

NOTE: EACH DOWNSPOUT THAT IS CONNECTED TO THE OCTANKS SHALL HAVE AN OVERFLOW AND HAVE AN GUTTER DRAIN FILTER.

RAINWATER HARVESTING DATA			
TANK NO.	MANWAY ELEVATION	INLET/OUTLET ELEVATION	SIZE (Gallons)
#1	108.6	105.68	6,000
#2	109.0	106.08	8,000



6000 Gallon Octank Configuration (shown with manway extension)



6000 Gallon Octank Configuration

### Operation And Maintenance Schedule For Privately Owned & Maintained by H.O.A. Rainwater Harvesting System (M-1)

THE RAINWATER HARVESTING SYSTEM (UNDERGROUND CHAMBERS) SHALL BE INSPECTED AT LEAST TWICE PER YEAR (ONCE EACH IN THE SPRING AND FALL). THE OWNER IS RESPONSIBLE FOR MAINTAINING A DETAILED LOG OF THE MAINTENANCE INSPECTION FINDINGS AND A HISTORY OF THE COMPLETED WORK. THE LOG SHALL BE MADE AVAILABLE TO HOWARD COUNTY DPZ AND/OR THE MARYLAND DEPARTMENT OF THE ENVIRONMENT UPON REQUEST.

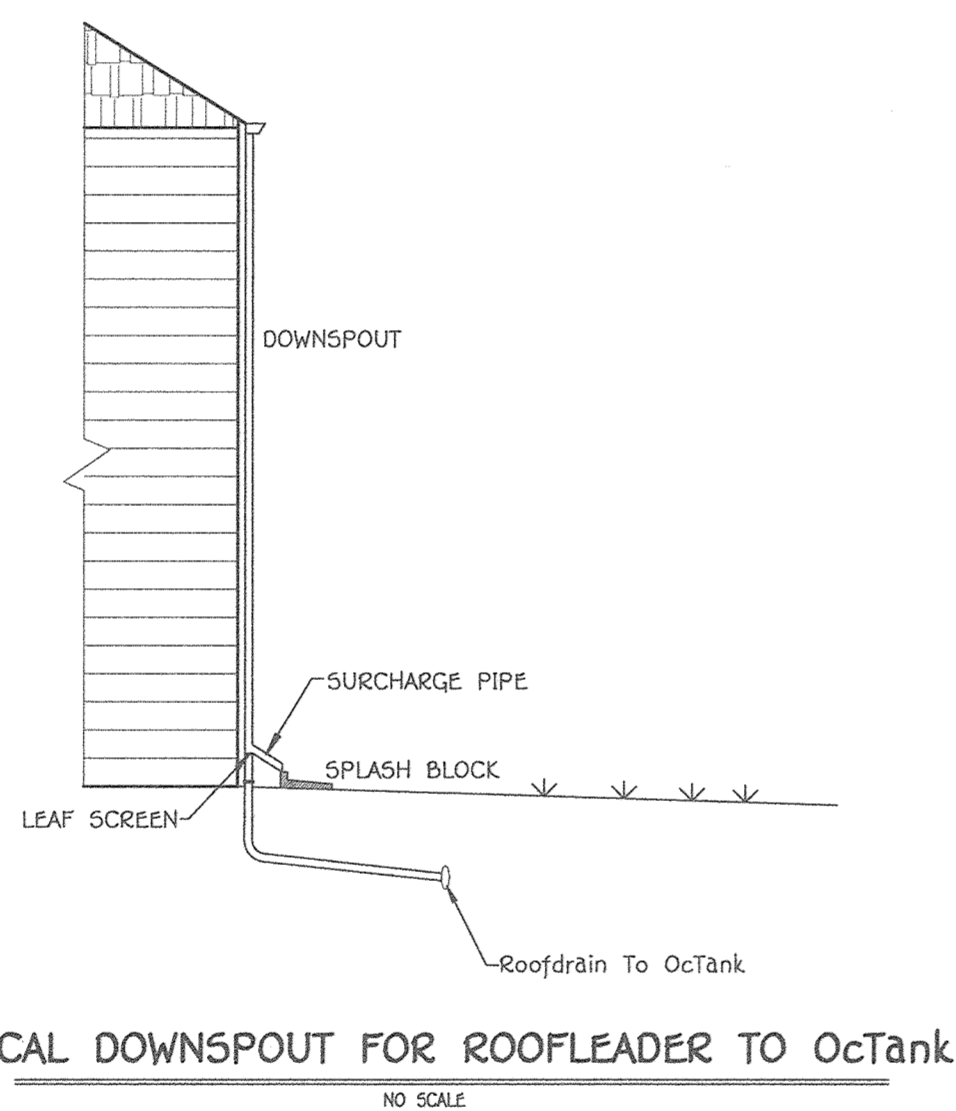
SPECIFIC COMPONENTS TO BE INSPECTED AND MAINTAINED INCLUDE THE ITEMS AS FOLLOWS:

1. REMOVE DEBRIS.
2. EXAMINE STRUCTURES FOR SIGNS OF STRUCTURAL ISSUES (DAMAGE, CORROSION, ETC).
3. REMOVE AND PROPERLY DISPOSE ACCUMULATED SEDIMENT GREATER THAN ONE (1) INCH.
4. THE HOMEOWNER SHALL VERIFY INTEGRITY OF LEAF SCREENS, GUTTERS & DOWNSPOUTS AND CLEAN AND REMOVE ANY DEBRIS.

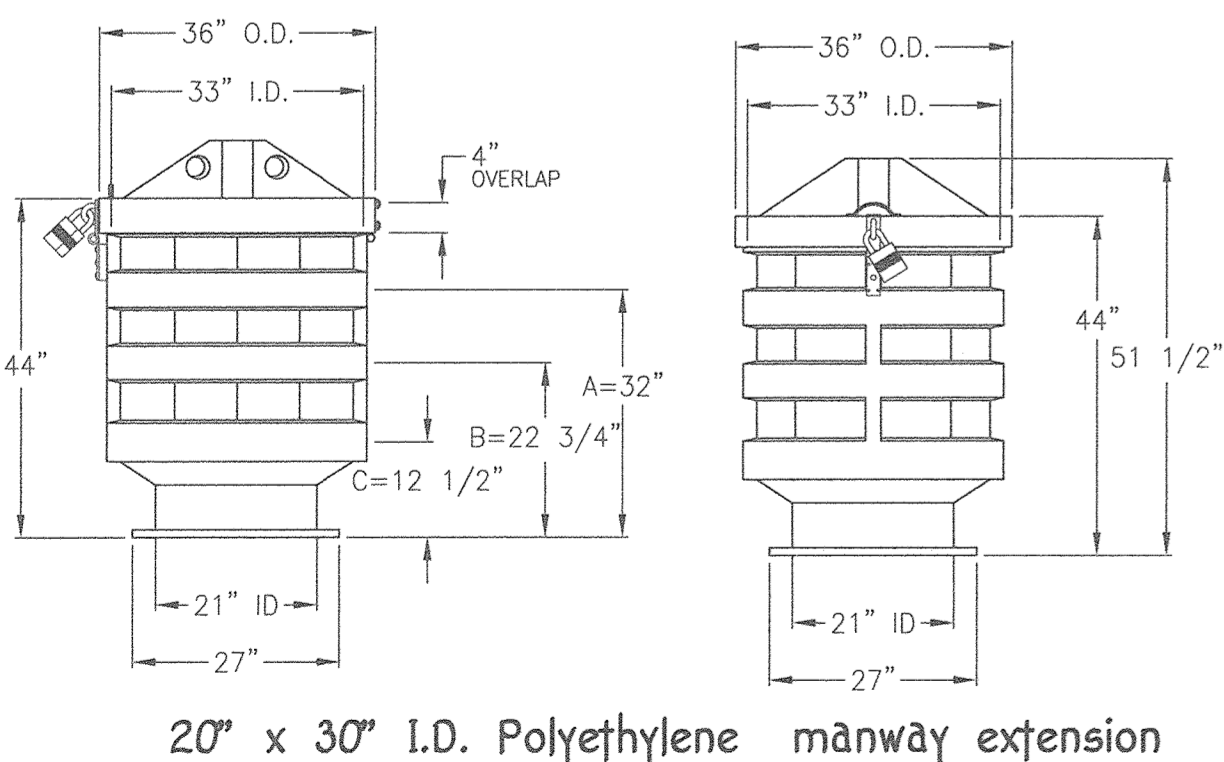
#### NOTES:

1. THE RAINWATER HARVESTING STORAGE SHALL BE MAINTAINED AT 80% EMPTIED MINIMUM, WHEN A 2" OR GREATER RAINFALL EVENT IS FORECASTED. THIS IS TO ALLOW STORAGE TO PROVIDE QUANTITY MANAGEMENT NEEDED TO PROTECT DOWNSTREAM WATERWAYS.
2. DURING THE WINTER MONTHS WHEN THE IRRIGATION SYSTEM IS SHUT DOWN, THE TANKS SHALL BE PUMPED DOWN ON SUNNY DAYS TO 80% EMPTIED MINIMUM THRU THE OVERFLOW STORM DRAIN OUTFALL PIPE.
3. AN IRRIGATION AREA OF 7,477 SQ.FT. MIN. IS TO BE LOCATED WITHIN THE CENTRAL LAWN OPEN SPACE LOT 430 TO INCLUDE ESD #V-4 PLANTING BED.

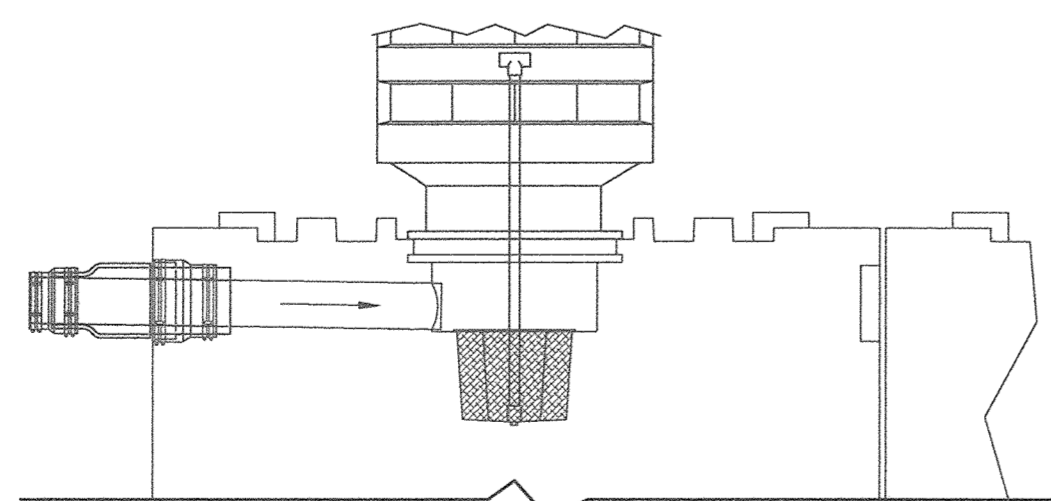
NOTE: SEE SHEET 11 FOR IRRIGATION AREA (APPROX. 8,000 SQ.FT. SHOWN)



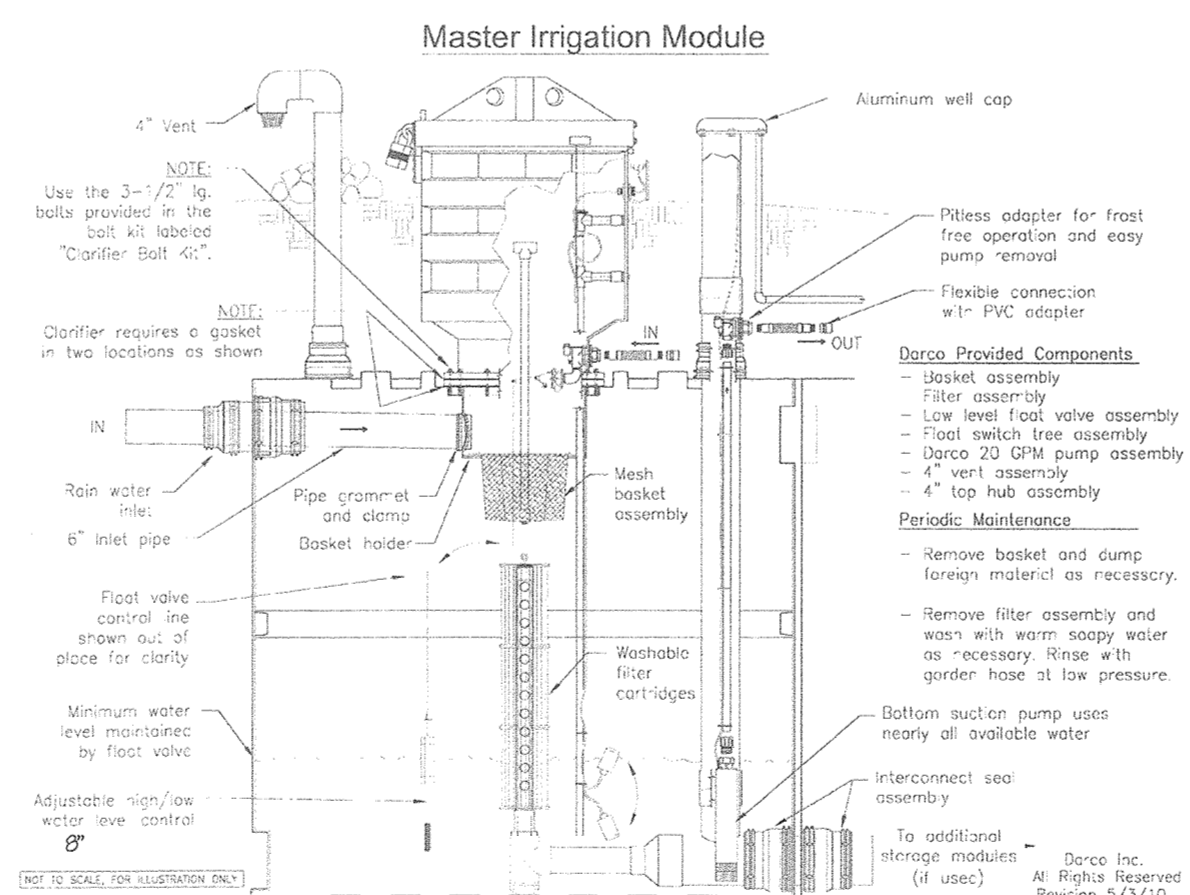
TYPICAL DOWNSPOUT FOR ROOFLEADER TO Octank



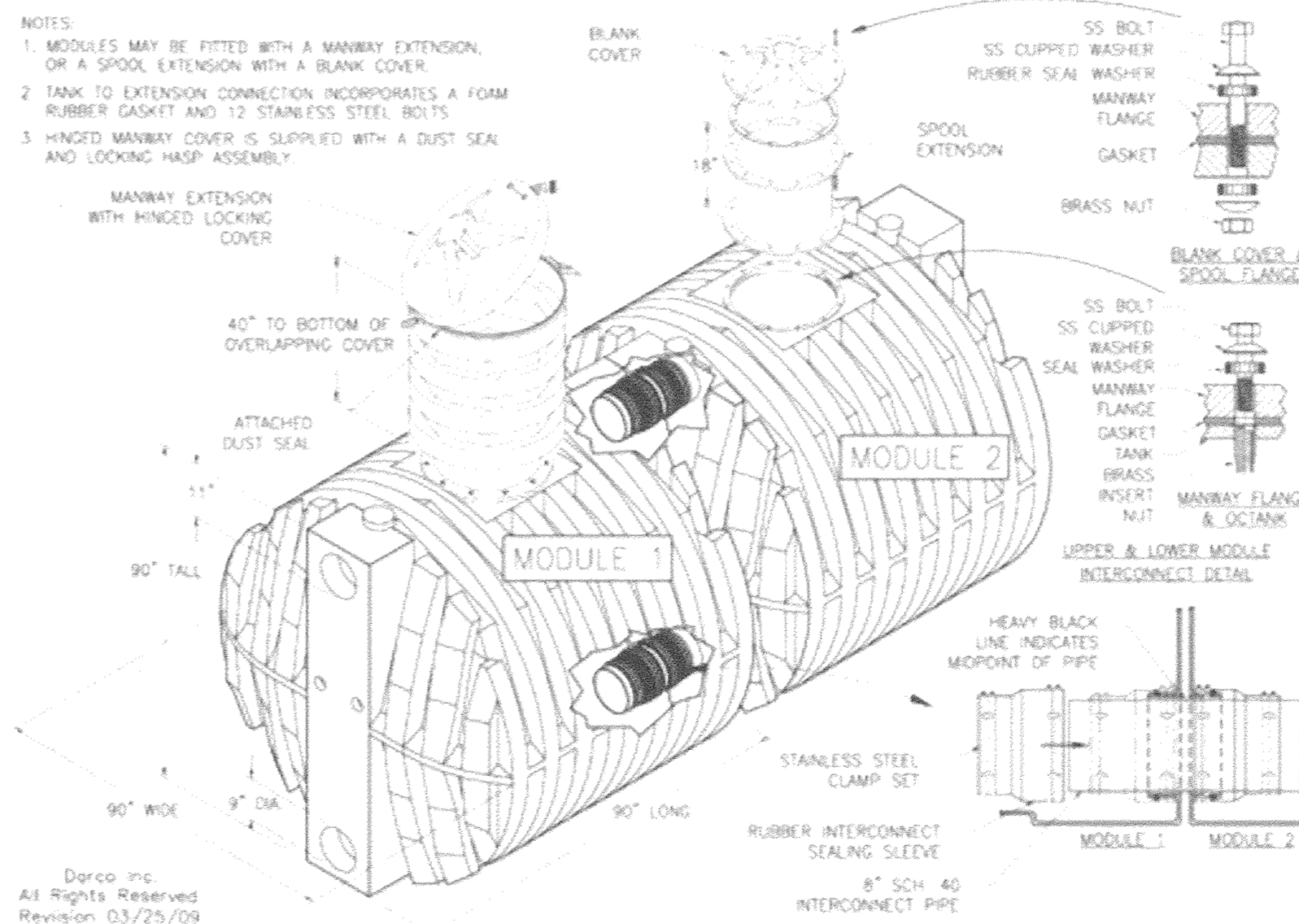
20" x 30" I.D. Polyethylene manway extension



Clarifier with silt dam and debris basket



### Manway Extensions, Blank Cover, & Interconnect Detail



### SPECIFICATIONS FOR POLYETHYLENE UNDERGROUND WATER TANKS QUALITY ASSURANCE

Manufacturer: Darco Inc. 980 Darco Dr. - P.O. Box 779 - Bennett, CO 80102 Or Equal  
Phone number 800-232-0660, Fax 303-644-5001, Internet - www.darcoinc.com

#### GENERAL GOVERNING STANDARDS

1. ASTM 1998-93, Polyethylene Storage Tanks, those specific sections considered germane and prudent as applied to underground water storage tanks only.
- Section 4: Type 2 high density virgin linear polyethylene resin
- Section 5: Material standards for food contact grade polyethylene resin
- Section 7: Fittings for polyethylene water tanks
- Section 8: Performance requirements based on impact testing
- Section 9: Dimensions and tolerances
- Section 10: Workmanship

#### DESIGN STANDARDS / DARCO MODULAR POLYETHYLENE OCTANK SYSTEMS

1. External Hydrostatic Loading: The empty tank system with manway risers, when anchored into a sand backfilled excavation at a 3 foot bury depth and flooded with water to spring line, must maintain its structural shape and 100% water tightness.
2. Traffic Loading: Tank systems, when properly installed and incorporating an approved concrete surface slab, must withstand automotive and H20 truck traffic loads.
3. Dry Bury Installation: Tank systems must have sufficient wall strength and structural integrity to be installed and completely backfilled to a 3 foot bury depth without the addition of water during the backfill process. Furthermore, tank systems must maintain their structural shape and full storage capacity when left empty for extended periods.

#### TANK FITTINGS

All fittings shall be of poliolefin or PVC construction and incorporate only 300 series stainless steel hardware. Compatible and warranted tank-to-pipe flexible couplers must be made available along with the tank system at the time of purchase. Fittings, gaskets, and hardware must be available specifically for domestic water use.

#### POTABLE WATER APPLICATIONS

The virgin polyethylene resin used for construction of potable water storage tanks must be NSF listed and comply with FDA Title 21 when in contact with drinking water.

#### ACCESSORIES

The accessory package provided with any storage tank system must contain only fully approved accessories and accessories which meet all performance standards and warranty coverage guidelines of tank manufacturer.

#### CAPACITY AND SIZE REQUIREMENTS

1. The nominal volume of the tank system shall be \_\_\_\_\_ gallons.
2. The nominal tank diameter shall be \_\_\_\_\_ feet by a nominal length of \_\_\_\_\_ feet.

#### LIMITED WARRANTY

A standard 2 year structural and corrosion warranty shall become effective upon tank delivery. An optional extended warranty program must be available at time of purchase.

### STORMWATER MANAGEMENT OCTANK DETAILS

### OXFORD SQUARE

"A Howard County Green Neighborhood"  
LOTS 379-434, OPEN SPACE LOTS 435-439 AND PARCEL 'H-H' & 'I-I'

### 'THE YARDS'

(Being A Resubdivision Of Parcel 'G-G', As Shown On Plats Entitled "Oxford Square, "Green Neighborhood", Parcels "G-G", "F-F", And Open Space Lot 377" Recorded As Plat Nos. 24351 Thru 24353 And A Resubdivision Of Parcel "V", As Shown On Resubdivision Plat Entitled "Oxford Square, "Green Neighborhood", Parcels "V" Thru "Z", "A-A" Thru "C-C" And Open Space Lots 244 And 249" Recorded As Plat Nos. 23710 Thru 23715)

Tax Map No.: 38 Grid No.: 20 Parcel No.: 1003  
First Election District: Howard County, Maryland

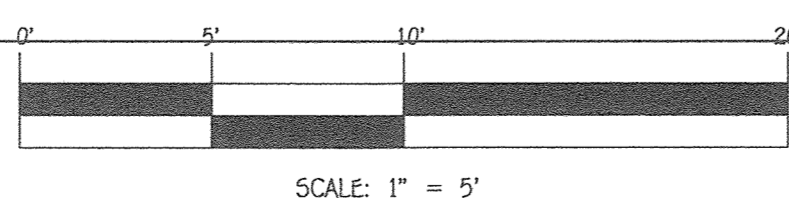
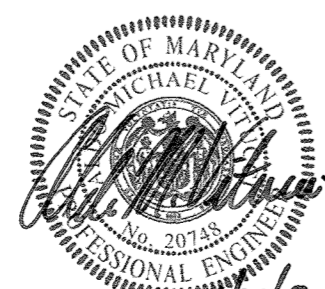
Scale: As Shown  
Date: April 6, 2019  
Sheet 24 of 44

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

*Kentzel*  
Chief, Division of Land Development 6-12-19 Date

*Edman*  
Chief, Development Engineering Division 5-6-19 Date

*Nalajovic*  
Director - Department of Planning and Zoning 6-17-19 Date



SCALE: 1" = 5'

#### Owner

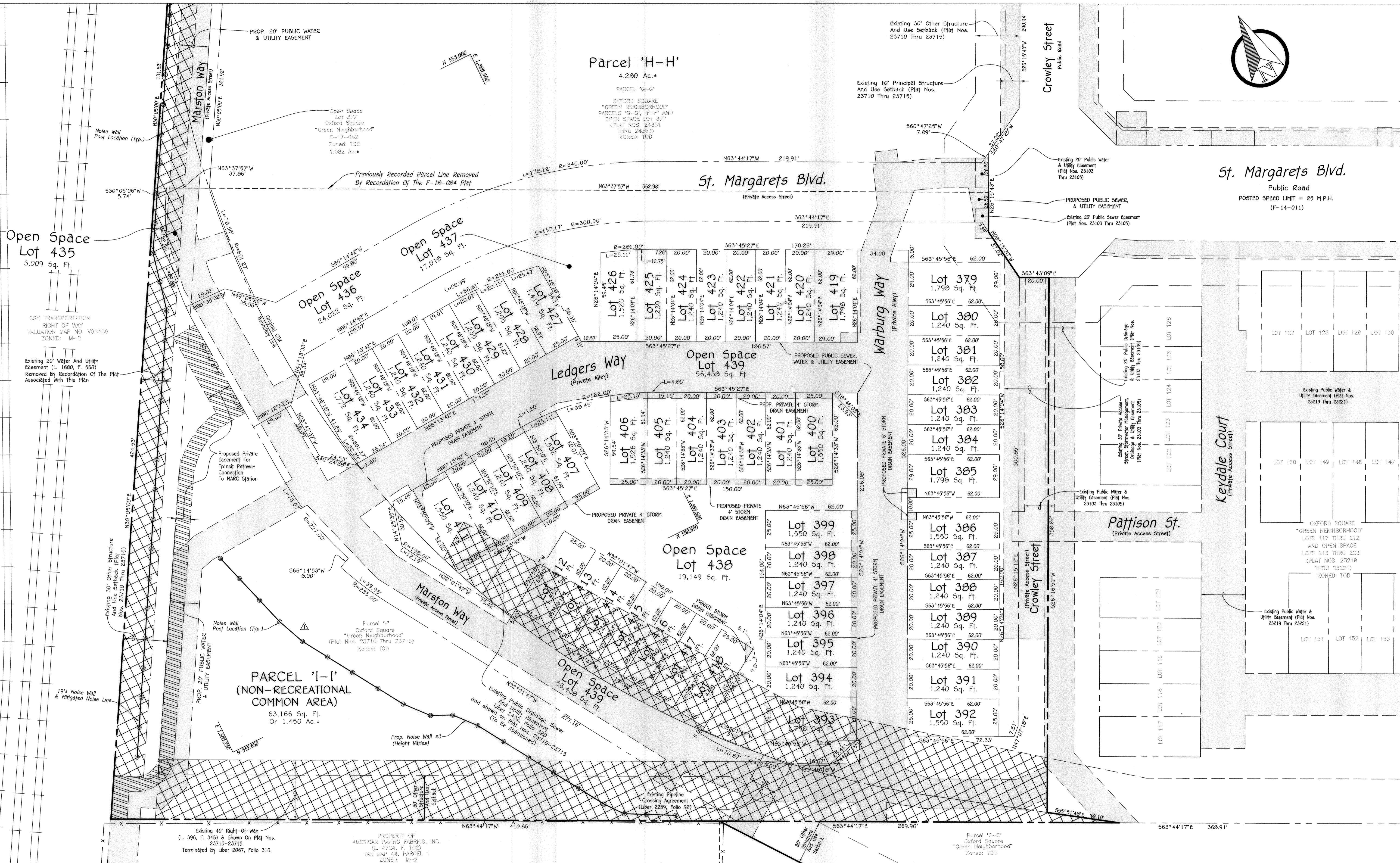
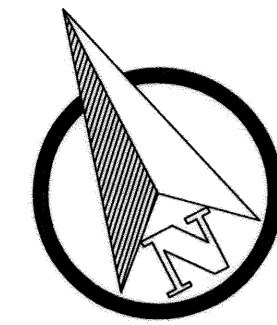
Kellogg-COP, LLC  
c/o David P. Scheffenecker, Jr.,  
Managing Member  
100 West Road, Suite 304  
Towson, Maryland 21204  
Ph: 410-296-3800

#### Developer

Preston + Scheffenecker Properties  
100 West Road, Suite 304  
Towson, Maryland 21204  
Ph: 410-296-3800

SUBDIVISION		REVISION		SECTION/AREA		LOT Nos.	
OXFORD SQUARE - 'THE YARDS'		N/A		379-434		379-434	
PLAT NO.	BLOCK NO.	ZONE	TAX/ZONE	ELEC. DIST.	CENSUS TR.		
25047-25050	N/A	TOD	38	1st.	601101		





Parcel 'H-H'  
4.280 Ac.±

PARCEL 'I-I'  
(NON-RECREATIONAL COMMON AREA)  
63,166 Sq. Ft.  
Or 1.450 Ac.±

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

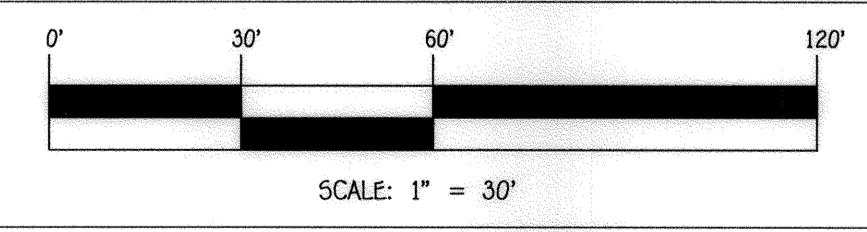
Chief, Division of Land Development *[Signature]* Date *3/10/20*

Chief, Development Engineering Division *[Signature]* Date *12-9-20*

Director, Department of Planning and Zoning *[Signature]* Date *3-10-21*



PROPERTY OF AMERICAN PAYING FABRICS, INC.  
(L. 4724, F. 102)  
TAX MAP #44, PARCEL 1  
ZONED: M-2



**Owner**  
Kellogg-OSP, LLC  
c/o David P. Scheffacker, Jr.,  
Managing Member  
100 West Road, Suite 304  
Towson, Maryland 21204  
Ph: 410-296-3800

**Developer**  
Preston • Scheffacker Properties  
100 West Road, Suite 304  
Towson, Maryland 21204  
Ph: 410-296-3800

NO.	REVISION	DATE
1	MOVED NOISE WALL #3 AND ADJUSTED THE LOCATIONS OF SOME NOISE WALL #2 POSTS.	3/20/20

SUBDIVISION	SECTION/AREA	LOT NOS.
OXFORD SQUARE - 'THE YARDS'	N/A	379-434

PLAT NO.	BLOCK NO.	ZONE	TAX/ZONE	ELEC. DIST.	CENSUS TR.
25047-25050	N/A	TOD	3B	1st.	601101

**REVISED METES & BOUNDS PLAN OXFORD SQUARE**  
"A Howard County Green Neighborhood"  
LOTS 379-434, OPEN SPACE LOTS 435-439 AND PARCEL 'H-H' & 'I-I'  
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(Being A Resubdivision Of Parcel 'G-G', As Shown On Plats Entitled "Oxford Square, "Green Neighborhood", Parcels "G-G", "F-F", And Open Space Lot 377 Recorded As Plat Nos. 24351 Thru 24353) And A Resubdivision Of Parcel 'V', As Shown On Resubdivision Plat Entitled "Oxford Square, "Green Neighborhood", Parcels "V" Thru "Z", "A-A" Thru "C-C" Thru "E-E" And Open Space Lots 244 And 245 Recorded As Plat Nos. 23710 Thru 23715)  
Zoned: TOD

Tax Map No: 3B Grid No: 20 Parcel No: 1003  
First Election District: Howard County, Maryland  
Scale: As Shown  
Date: March 20, 2020  
Sheet 25 Of 44



**RESIDENTIAL DEVELOPMENT AREA CALCULATION**

Gross Acre	129.53 Acres
Developable Acreage (Net Acre)	107.51 Acres
Permitted Residential Development Area (RDA) (50% of Developable Acreage)	53.76 Acres

**Residential Developments Residential Development Area**

SDP-14-027: Woodfield (Multifamily)	7.31 Acres
SDP-14-071: Lennar (Multifamily)	0.86 Acres
SDP-14-072: Lennar (Multifamily)	5.38 Acres
SDP-15-053: Preston (Multifamily)	3.26 Acres
SDP-18-055: Parcel 'H-H' (Multifamily)	3.97 Acres
<b>Total Multifamily Development Area:</b>	<b>20.78 Acres</b>

SDP-13-068: Lennar (Single Family Attached)	6.63 Acres
SDP-14-019: Lennar (Single Family Attached)	5.80 Acres
SDP-14-071: Lennar (Single Family Attached)	2.06 Acres
SDP-16-052: Lennar (Single Family Attached)	2.89 Acres
SDP-18-019: Lennar (Single Family Attached)	3.09 Acres
<b>Total Single Family Attached Development Area:</b>	<b>20.47 Acres</b>

<b>Total Residential Development Area:</b>	<b>41.25 Acres</b>
% of Developable Acreage:	38.37%

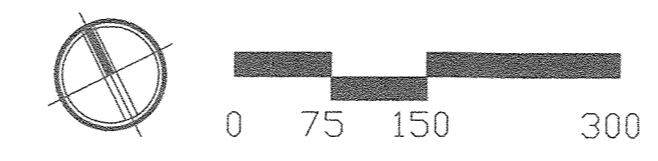
**ANALYSIS ASSUMPTIONS**

- Residential Development Area:** Land area of which "no more than 50% of developable acreage excluding road right-of-way and open space devoted to residential buildings, parking and amenity spaces." (Section 127.4.F.2.b)
- Developable Acreage:** "Net Acre: An acre of land that includes no 100-year floodplain and no steep slopes existing at the time of subdivision." (Section 103.0)
- Right-of-Way:** "A strip or parcel of land designated for use as a street, highway, driveway, alley or walkway, or for any drainage or public utility purpose or other similar uses. For public streets, the right-of-way width shall be as required by the State for State roads and the Howard County Design Manual for County Roads." (Section 103.0)

*Oxford Square clarifies the definition of Right-of-Way to include both private and public streets between the outer edge of associated walkways (sidewalks). Oxford Square excludes alleys and driveways from right-of-way as they functionally support residential parking.*

- Open Space:** "A separate lot or area which provides for protection of the environment, for recreation or for public use, including public facilities such as schools, libraries, fire stations and parks as shown on the General Plan or hiking, biking and equestrian trails. Parking areas may be included within open space if accessory to an open space use." (Section 103.0)

*Oxford Square clarifies the definition of Open Space to include land reserved for the protection of the environment and for general public use and recreation, such as the lawn space at Beaumont Place and the shared use path network.*



Note: The information depicted on this analysis is derived from multiple SDPs and S-15-001. The areas depict current conditions and future development known at this point in time. This analysis is subject to change and refinement as Oxford Square development is implemented.

hord | coplan | macht

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

*Kate Schenck* 6-12-19  
Chief, Division of Land Development Date

*Al Edwards* 5-6-19  
Chief, Development Engineering Division Date

*William J. Lewis* 6-17-19  
Director - Department of Planning and Zoning Date



FISHER, COLLINS & CARTER, INC.  
CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS  
CENTENNIAL SQUARE OFFICE PARK - 10272 BALTIMORE NATIONAL PIKE  
ELICOTT CITY, MARYLAND 21042  
(410) 461-2895

**Owner**  
Kelllogg-CCP, LLC  
c/o David P. Schefflenacker, Jr.  
Managing Member  
100 West Road, Suite 304  
Towson, Maryland 21204  
Ph: 410-296-3800

**Developer**  
Preston • Schefflenacker Properties  
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REVISION					
NO.	SECTION/AREA	LOT Nos.	DATE		
SUBDIVISION	OXFORD SQUARE - 'THE YARDS'	N/A	379-434		
PLAT NO.	BLOCK NO.	ZONE	TAX/ZONE	ELEC. DIST.	CENSUS TR.
25047-25050	N/A	TOD	3B	1st.	601101

**RESIDENTIAL DEVELOPMENT AREA**  
**OXFORD SQUARE**  
"A Howard County Green Neighborhood"  
LOTS 379-434, OPEN SPACE LOTS 435-439  
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Zoned: TOD  
Tax Map No.: 3B Grid No.: 20 Parcel No.: 1003  
First Election District: Howard County, Maryland  
Scale: As Shown  
Date: April 4, 2019  
Sheet 26 Of 44







**GREEN NEIGHBORHOOD NOTES:**

- A-2 THE DESIGN AND DEVELOPMENT TEAM INCLUDES A LEED AP (MATTHEW FITZSIMMONS- HORD COPLAN MACTH), ENVIRONMENTAL PROFESSIONAL (JOHN CANOLES- ECO-SCIENCE PROFESSIONALS, INC.), LANDSCAPE ARCHITECT (JOSH KILRAIN- HORD COPLAN MACTH) AND AN ENGINEER (ALDO VITUCCI PE- FISHER COLLINS & CARTER)
- A-3 THE THIRD PARTY CERTIFICATION IS PROVIDED BY CHARLES ALEXANDER, LEED-AP OF ALEXANDER DESIGN STUDIOS.
- B-1a THE 118.5 ACRE DEVELOPMENT CONSISTS OF 30.4 ACRES OF PREVIOUSLY DEVELOPED LAND (25.7% OF THE OXFORD SQUARE DEVELOPMENT).
- B-3a OXFORD SQUARE WILL PROVIDE TWO TRANSIT STOPS FOR THE PROPOSED PRIVATE SHUTTLE SERVICE CONNECTING OXFORD SQUARE TO THE DORSEY MARC COMMUTER RAIL STATION. THE STOPS WILL BE WITHIN 1/4 WALKING DISTANCE TO ALL DWELLING UNITS, EXCEPT FOR THE FURTHEST UNITS LOCATED ON PARCELS 'E-E' AND 'Z'.
- B-3b OXFORD SQUARE WILL PROVIDE ONE SHELTER AT ONE OF THE PRIVATE SHUTTLE STOPS. THE SHELTER WILL COMPLY WITH COUNTY-APPROVED CRITERIA INCLUDING BENCHES AND LIGHTING.
- C-1 OXFORD SQUARE WILL PROVIDE TWO NONRESIDENTIAL LAND USES: 1. INSTITUTIONAL (MIDDLE SCHOOL BUILDING AND OUTDOOR CLASSROOM SPACE, ELEMENTARY SCHOOL) AND 2. CIVIC (SCHOOL'S RECREATIONAL PLAYING FIELDS AND SHARED-USE PATH) AND TWO RESIDENTIAL LAND USES TYPES: 1. SINGLE FAMILY ATTACHED AND 2. APARTMENTS.
- C-2 OXFORD SQUARE IS LOCATED WITHIN THE EXISTING PLANNED WATER AND SEWER SERVICE AREA.
- C-3c OXFORD SQUARE WILL PROVIDE A MINIMUM OF TWO PEDESTRIAN SYSTEM AMENITY EXPERIENCES: 1) SHARED USE PATH (TRAIL SIGNS AND MARKERS, BENCHES, LITTER RECEPTACLES, INFORMATIONAL SIGNS, BIKE RACKS), 2) THE LAWN (BENCHES, EXTERIOR LIGHTING, SHADE TREES, INFORMATIONAL SIGNS), 3) RESIDENTIAL COURTYARDS AND MEWS (BENCHES), AND 4) SCHOOL SITES (PLAYING FIELDS, BENCHES, BIKE RACKS)
- D-8b OXFORD SQUARE WILL PROVIDE A MINIMUM 75 FT ENHANCED STREAM BUFFER.
- E-3 OXFORD SQUARE WILL NOT PLANT INVASIVE PLANTS.
- E-4 OXFORD SQUARE WILL NOT PLANT TURF IN DENSELY SHADED AREAS.
- F-3b OXFORD SQUARE WILL PROVIDE AT LEAST 5% WATER QUALITY VOLUME STORED AND INFILTRATED/RE-USE ON-SITE.

**GREEN NEIGHBORHOOD CALCULATIONS & TABLES:**

**A-4b Priority Parking for Low-Emitting and Fuel Efficient Vehicles**

Overall Development	
Total Number of Off-Street Parking Spaces:	1,226 Spaces
Total Number of Proposed Preferred Parking Spaces:	65 Spaces
Percent of Preferred Parking Spaces:	5.3%

Note: Overall Development calculations summarize all of the site development plans. This plan does not provide common off-street perpendicular parking spaces.

**A-4c Compact Development**

Complete Build-Out	
Total Dwelling Units:	1,362 DU
Residential Land Area:	54.7 AC
Residential Density:	24.90 DU/AC

Note: This SDP proposes constructing 56 townhouses.

**A-4d Walkable Streets**

	Complete Build-Out	SDP
Length of Buildings Frontage Oriented Towards the Public Space:	14,186 FT	1,000 FT
Total Length of Building Frontage:	15,763 FT	1,140 FT
% of Building Frontage Oriented Towards the Public Spaces:	90.0%	87.7%

Length of Building Frontage with Service or Garage Openings:	1,013 FT	140 FT
Length of Building Frontage Oriented Towards Public Spaces including Service and Garage Openings:	15,199 FT	1,140 FT
% of Building Frontage with Service or Garage Openings:	6.7%	12.3%

**B-1a Redevelopment Site**

Gross Site Area:	118.5 Acres
Area of Existing Development (Acres):	30.4 Acres
Percent of Previously Developed:	25.7%

**B-3a Transit Access & Amenities for Reduced Auto Dependence (Stop)**

Residential Buildings within 1/4 Mile (<1,320 FT)	Total Number of Qualifying Units	Percent of all Units
All Buildings, except the most distant building on Parcels 'Z' and 'E-E':	1,323 DU	97%

Note: This SDP will build 56 Townhouses within a 1/4 mile walk from the bus stop on Crowley Street.

**C-1 Diversity of Uses**

Residential Uses	Number of Units	Percent of Total Units
Apartments	965 DU	71%
Townhouses (Single Family Attached)	397 DU	29%
	1,362	
Nonresidential Uses		
Office:	0 SF	0 SF/DU
Institutional		
Middle School	95,747 SF	
Middle School Outdoor Classroom Space	2,500 SF	
Elementary School	117,222 SF	
<b>Institutional Subtotal:</b>	<b>215,469 SF</b>	<b>158 SF/DU</b>
Civic		
Recreational Playing Fields (School Site)	236,139 SF	
Northern Shared Use Path (8 FT wide)	22,096 SF	
Southern Shared Use Path (8 FT wide)	8,016 SF	
<b>Civic Subtotal:</b>	<b>266,251 SF</b>	<b>195 SF/DU</b>

**C-3a Pedestrian System (Paths and Trails)**

Northern Shared Use Path:	Width of Path: 8 FT Length: 2,762 FT (0.52 Miles)
Southern Shared Use Path:	Width of Path: 8 FT Length: 1,002 FT (0.19 Miles)

**C-4 Street Connections**

Street Name / ID	Street Length	Qualifying Street Length
Saint Margarets Boulevard	1,684 FT	1,684 FT
Banbury Drive	2,491 FT	2,491 FT
Southmoor Street	960 FT	960 FT
Dene Court	514 FT	514 FT
Crowley Street	1,141 FT	1,141 FT
Danvers Street	465 FT	465 FT
Beaumont Place	1,450 FT	1,450 FT
Dunstead Street	240 FT	- FT
Headley Street	120 FT	- FT
Pattison Street	120 FT	- FT
Saint Margarets Boulevard Extended (former Road 'Y')	570 FT	570 FT
Alden Way	554 FT	554 FT
Marston Way	2,089 FT	1,505 FT
Rackham Way	500 FT	- FT

Summary		
Total Street Length:	12,898 FT	
Total Connected Street Length:	10,820 FT	
Percent Connected Streets:	83.9%	

Note: This development extends Marston Way and Saint Margarets' Boulevard.

**C-5 Parking Does Not Exceed Required Minimum**

Number of Spaces within a Common Parking Structure: 991 spaces

**C-6 Exceed Minimum Open Space**

Net Acreage:	107.41 AC
Required Amenity Space (TOD: 10% of Net Acreage):	10.74 AC
Provided Amenity Space:	16.77 AC
Percent Increase above the Minimum Required:	56.1%

**C-7 Green Spaces and Amenity Areas**

Parcel	Road Frontage	Amenity Type	Amenity Area
Open Space 1: Lawn and Barn	+7,108 FT	Plaza: outdoor gathering and event space	9,148 SF (0.21 AC)
Parcel 'Y' (SDP-15-074A)	(length along Banbury Drive)	Barn: learning, meeting and performance space	
Open Space 2: Pool House and Pool	+7,138 FT	Pool house, Pool, Fitness Room, and Warming Kitchen	11,282 SF (0.26 AC)
O.S. Lot #107 (SDP-13-068)	(length along Dene Court)		

**D-4 15% Slope Preservation**

Total Area of Slopes 15-24.9%:	506,841 SF
Area of Undisturbed Slopes 15-24.9%:	200,866 SF
Percent of Undisturbed Slopes:	39.6 %

Note: 1. The area of undisturbed slopes is the summation of slopes impacted by the greatest extent of LDDs accumulated from the entire development.  
2. Includes area of development per Slope Plan and future environmental restoration work.

**D-5 Minimize Grading and Site Disturbance**

Complete Build Out	
Gross Area of Site	118.5 AC
Existing Impervious Cover	30.4 AC
Area of Site	88.1 AC
Area of Site to Remain Undisturbed:	24.2 AC
Percent of Site to Remain Undisturbed:	27.5 %
Ratio of Cut to Fill:	1.31 Ratio
Retaining Wall:	<3 FT

Note: 1. Complete Build Out Calculations are based on the highest greatest extent of LDD's from entire development.  
2. No dirt will be imported or exported from Oxford Square.

**D-8b Exceed Minimum Stream Buffer Requirements**

Total Stream Buffer Width:	150 FT
Width of Buffer Exceeding Requirements:	75 FT
Total Length of Stream Buffer:	1,984.2 FT
Length of Stream Buffer Outside Other Buffers:	1,352.3 FT
Percent of Stream Buffer Outside Other Buffers:	68.2 %

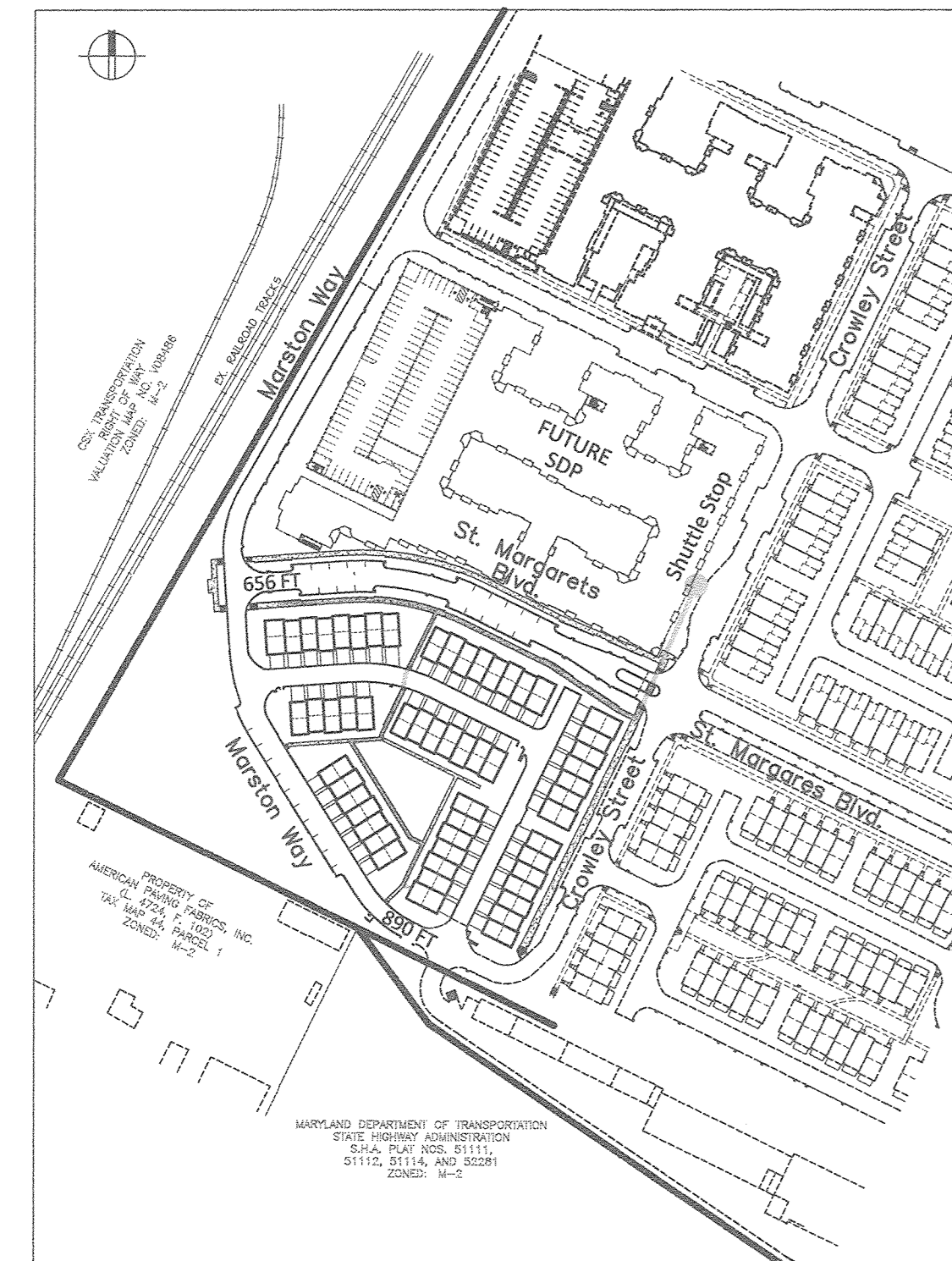
**E-1 Landscaping**

Plants Required	Shade				Total	Percent
	Trees	Evergreen	Shrubs			
Number of Plants Required by Landscape Manual <sup>1</sup>	114	0	0	114		
Number Excess Plants Required for GN Credit <sup>2</sup>	25	0	0	25	21.9	
Landscape Manual and GN Requirements	139	0	0	139		

Plants Provided	Shade Trees		Evergreen (Substitute)	Other Trees (Substitute)	Shrub (Substitute)		Total
	Trees	(Substitute)					
Number of Plants Provided to Meet Landscape Manual	62	52	0	0	0	0	114
Number of Plants Provided to Meet GN Credits	50	0	0	0	0	0	50
Total Number of Plants Provided	112	52	0	0	0	0	164

- Notes: 1. Number of Plants Required by Landscape Manual (Schedule A) excludes 9 trees credited by perimeter noise wall and existing vegetation.
- 2. Number of Excess Plants Required for GN Credit includes 14 (Schedule A, without credits) + 56 (Schedule C) + 53 (Street Trees) = 123 Trees x 20% = 25 Shade Trees
- 3. Required Shade Trees (9.6A) = 1075 + 8255 + 712A + 8100 = 9530 Shade Trees
- 4. Required Shade Trees (native) (9.9AV + 8.7AM) = 27 Shade Trees
- 5. Shade Tree Substitute (24 Evergreens + 62 Ornamentals) / 72 = 43 Shade Trees
- 6. Shrub Substitute (180 Shrubs / 30) = 6 Shade Trees
- 7. Excess Native Shade Trees = (132 Native - 126 Native) = 6 Native Shade Trees
- 8. This plan provides 25 additional native shade trees over the project's 20% goal.

**B-3a & B-3b VICINITY MAP (Scale: 1" = 200')**



APPROVED  
HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING  
GREEN NEIGHBORHOOD PLAN FOR SITES

*Beth Burge* 6-12-19  
CHIEF, RESOURCE CONSERVATION DIVISION DATE

LEED ACCREDITED PROFESSIONAL CERTIFICATE  
GREEN NEIGHBORHOOD PLAN FOR SITES

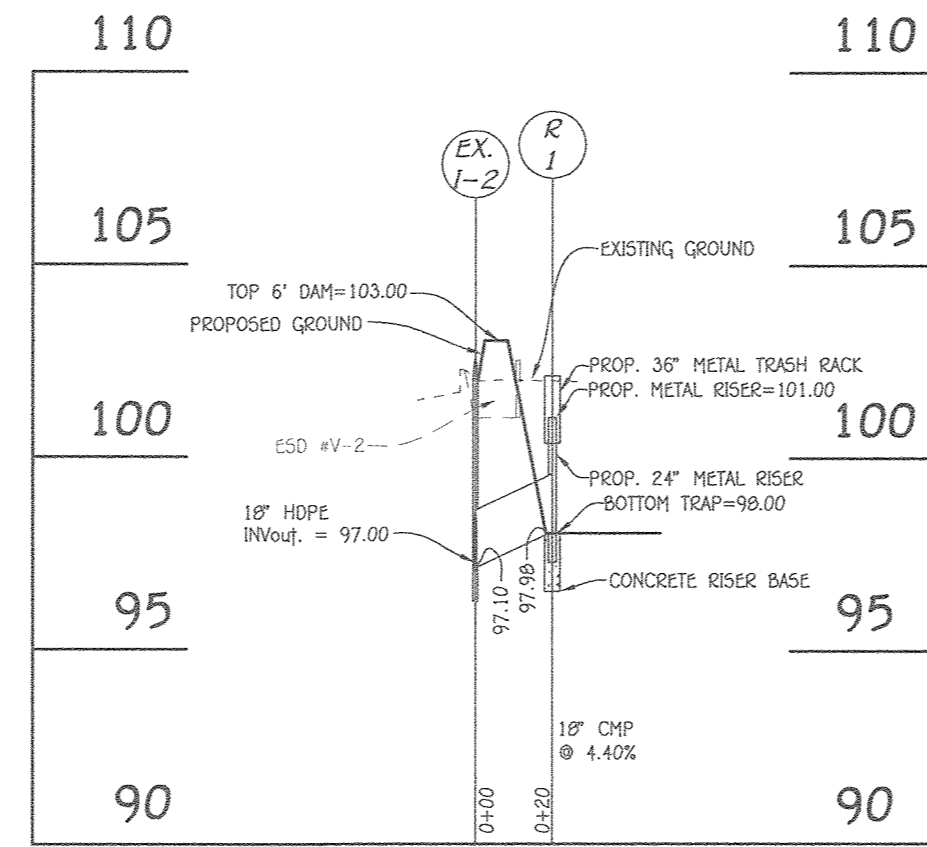
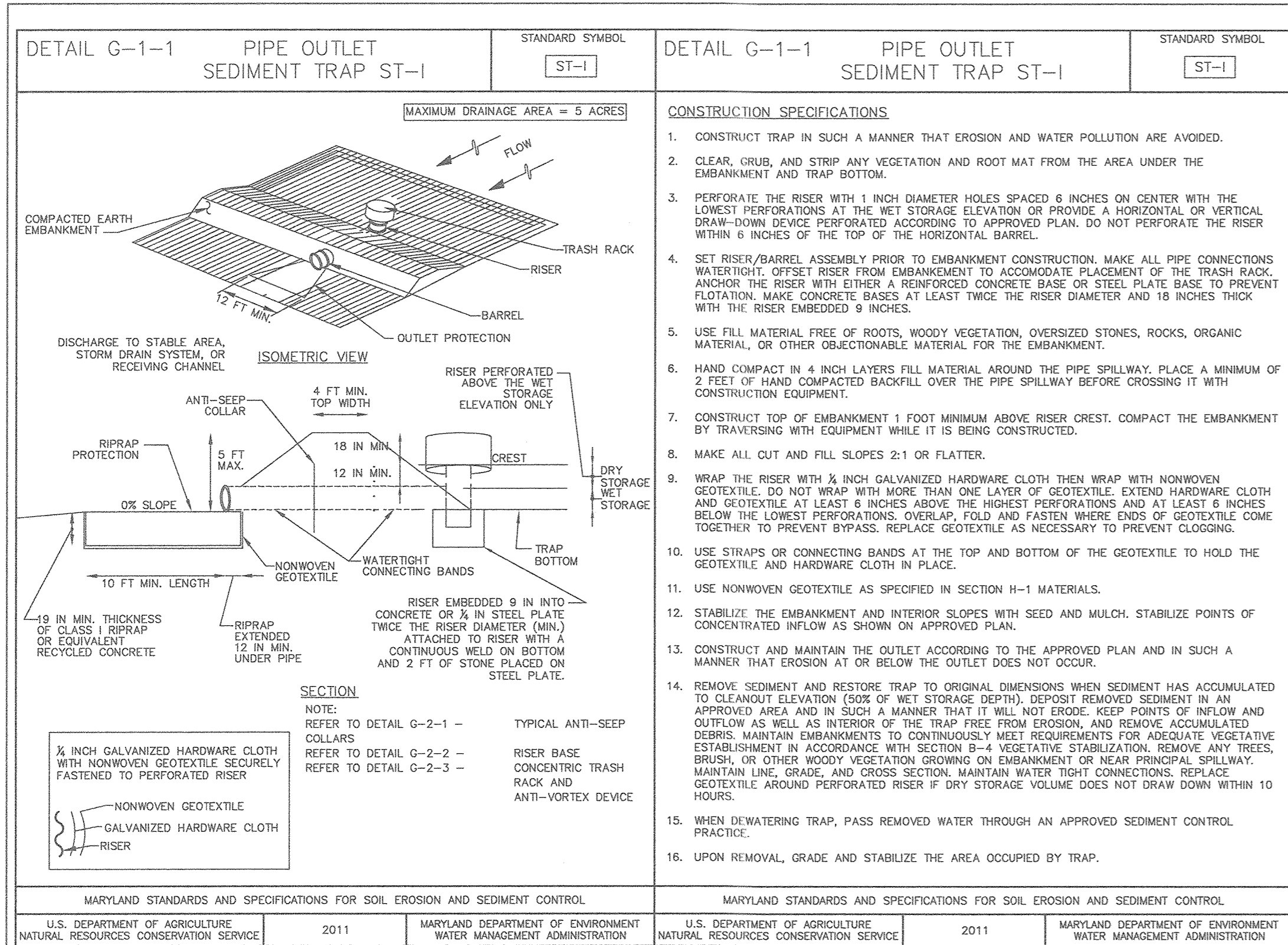
I hereby certify that this plan represents a practical and workable plan for achieving the targeted credits and point total shown on the Green Neighborhood for Sites Compliance Checklist.

*Matthew J. Fitzsimmons* 10007912 4/12/19  
MATTHEW J. FITZSIMMONS, LEED AP LEED ACCREDITATION NUMBER DATE

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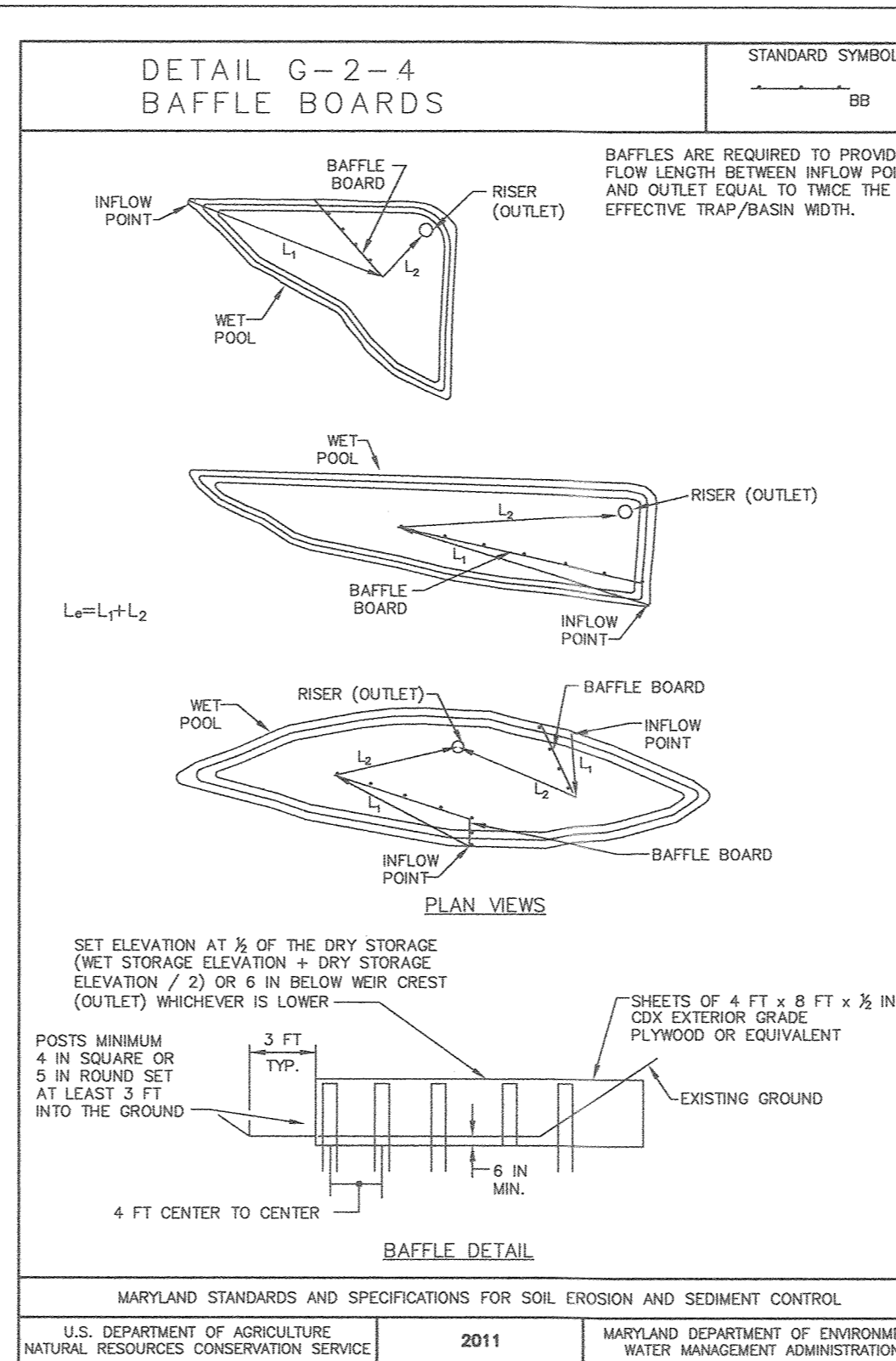
APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING 			<b>Owner</b> Kellogg-CCP, LLC c/o David P. Schefflenacker, Jr., Managing Member 100 West Road, Suite 304 Towson, Maryland 21204 Phe 410-296-3800		<b>Developer</b> Preston + Schefflenacker Properties 100 West Road, Suite 304 Towson, Maryland 21204 Phe 410-296-3800	
			<b>GREEN NEIGHBORHOOD PLAN</b> <b>OXFORD SQUARE</b> "A Howard County Green Neighborhood" <b>LOTS 379-434, OPEN SPACE LOTS 435-439</b> <b>AND PARCEL 'H-H' &amp; 'I-I'</b> "THE YARDS" (Being A Resubdivision Of Parcel "G-G", As Shown On Plats Entitled "Oxford Square, "Green Neighborhood", Parcels "C-C", "F-F", And Open Space Lot 377" Recorded As Plat Nos. 24351 Thru 24353) And A Resubdivision Of Parcel "Z", As Shown On Resubdivision Plat Entitled "Oxford Square, "Green Neighborhood", Parcels "V" Thru "Z", "A-A" Thru "C-C" And Open Space Lots 244 And 245" Recorded As Plat Nos. 23710 Thru 23715) Zoned: TOD Tax Map No.: 38 Grid No.: 20 Parcel No.: 1003 First Election District Howard County, Maryland Scale: As Shown Date: April 4, 2019 Sheet 28 Of 44			
NO. _____ REVISION _____ DATE _____ SUBDIVISION OXFORD SQUARE - "THE YARDS" SECTION/AREA N/A LOT Nos. 379-434 PLAT NO. 25047-25050 BLOCK NO. N/A ZONE TOD TAX/ZONE 38 ELEC. DIST. 1st. CENSUS TR. 601101						



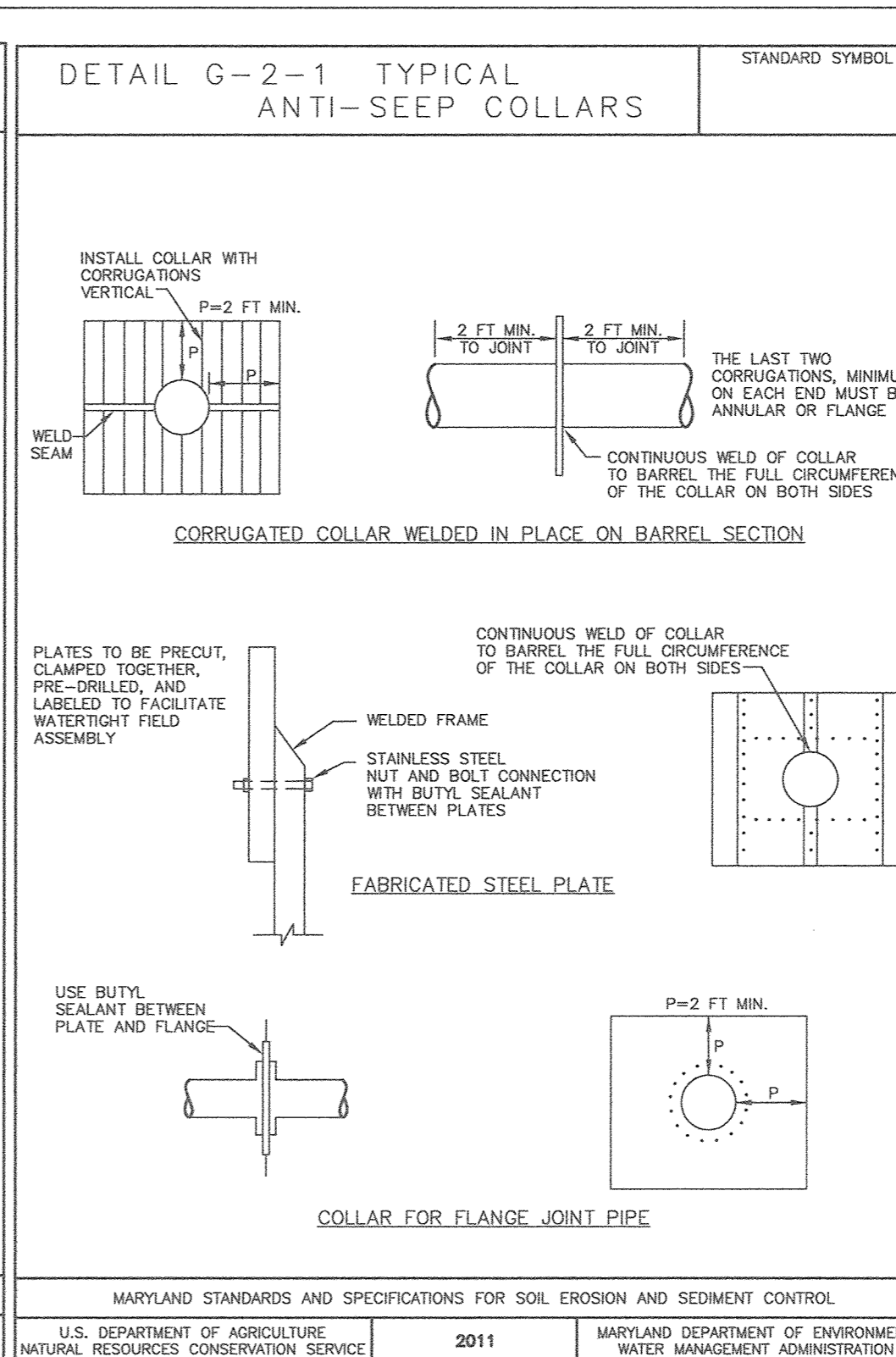


P.O.S.T. 1 OUTFALL

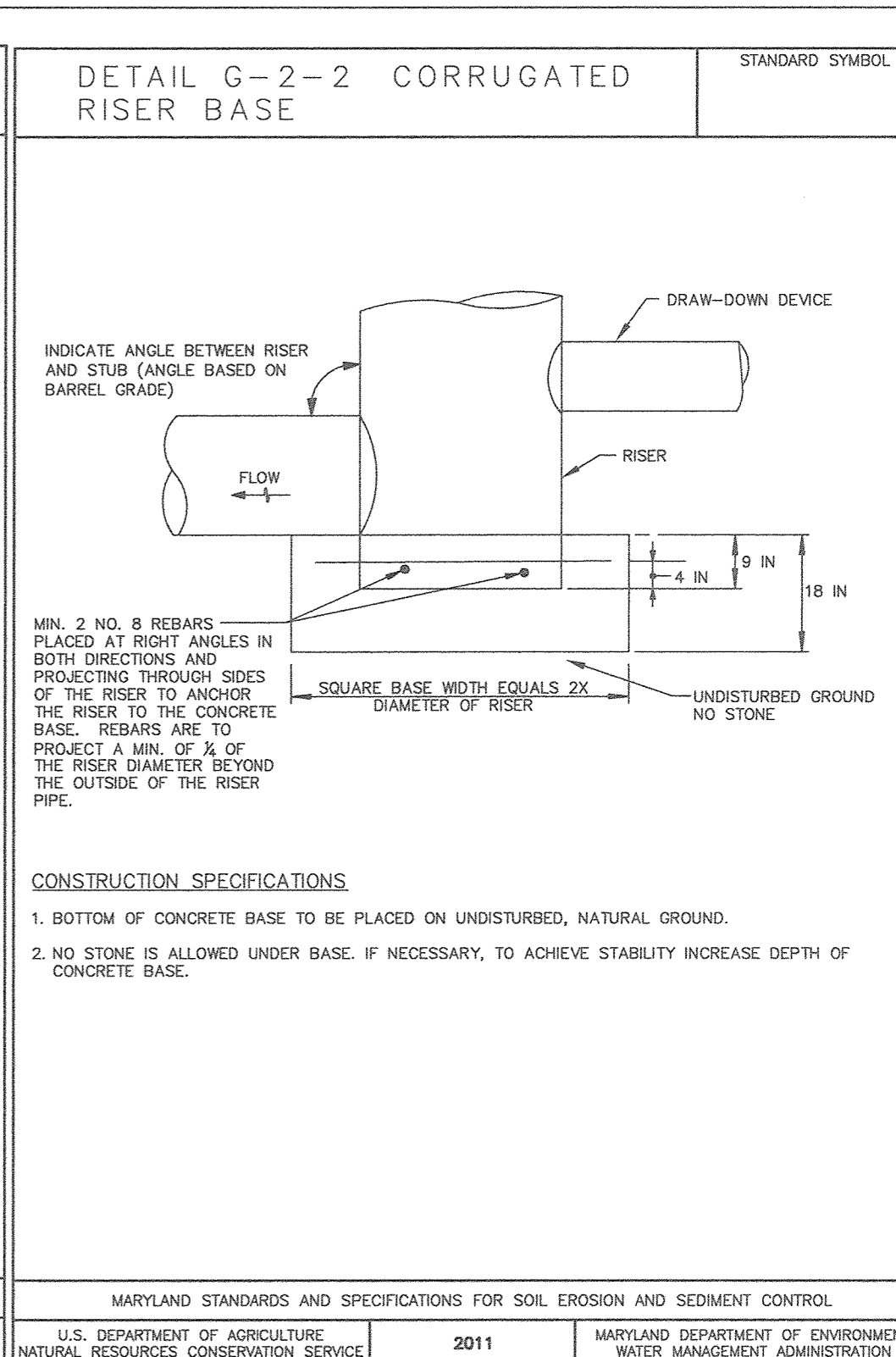
PROFILE  
SCALE HORIZ. 1"=50'  
VERT. 1"=5'



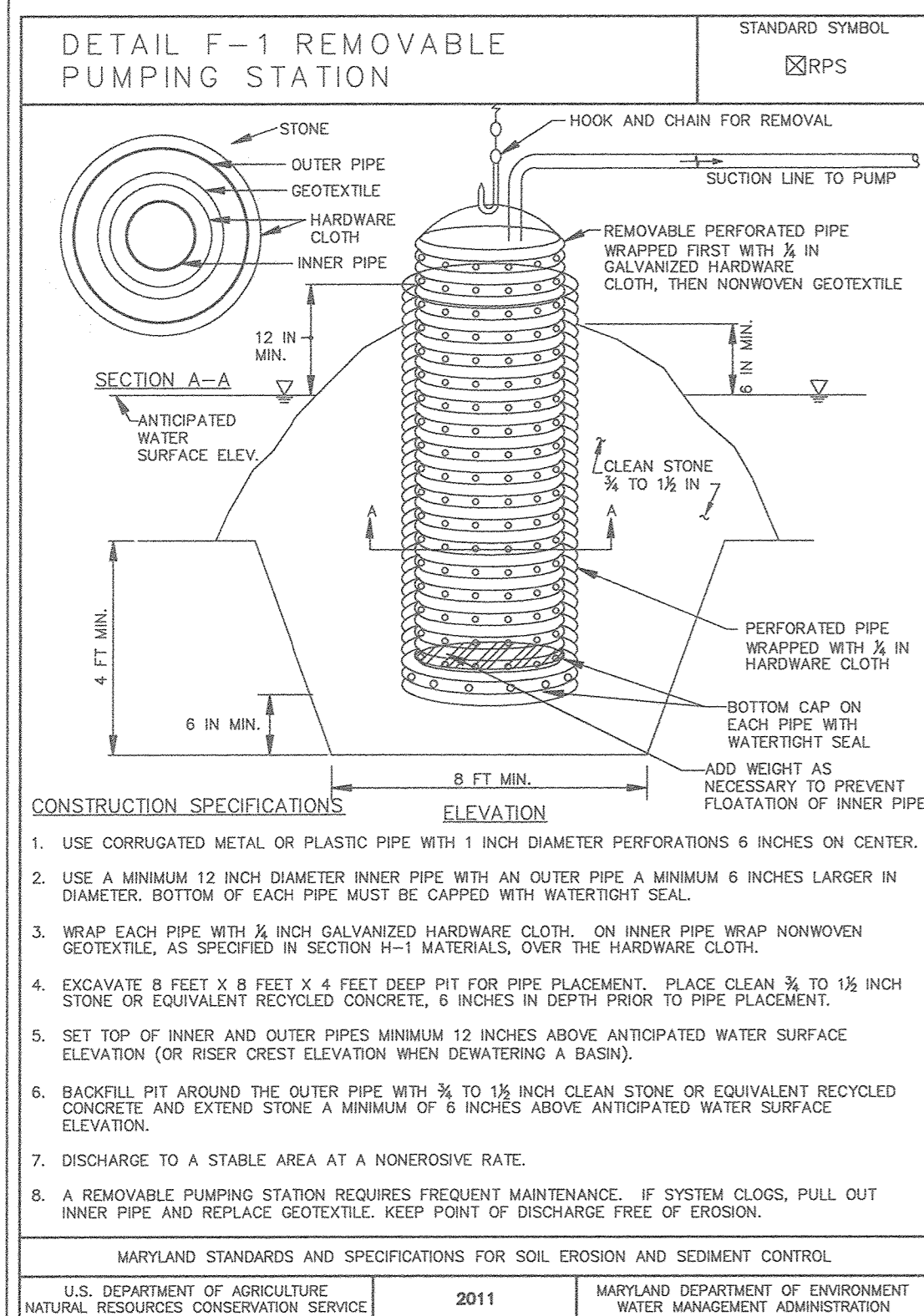
MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL



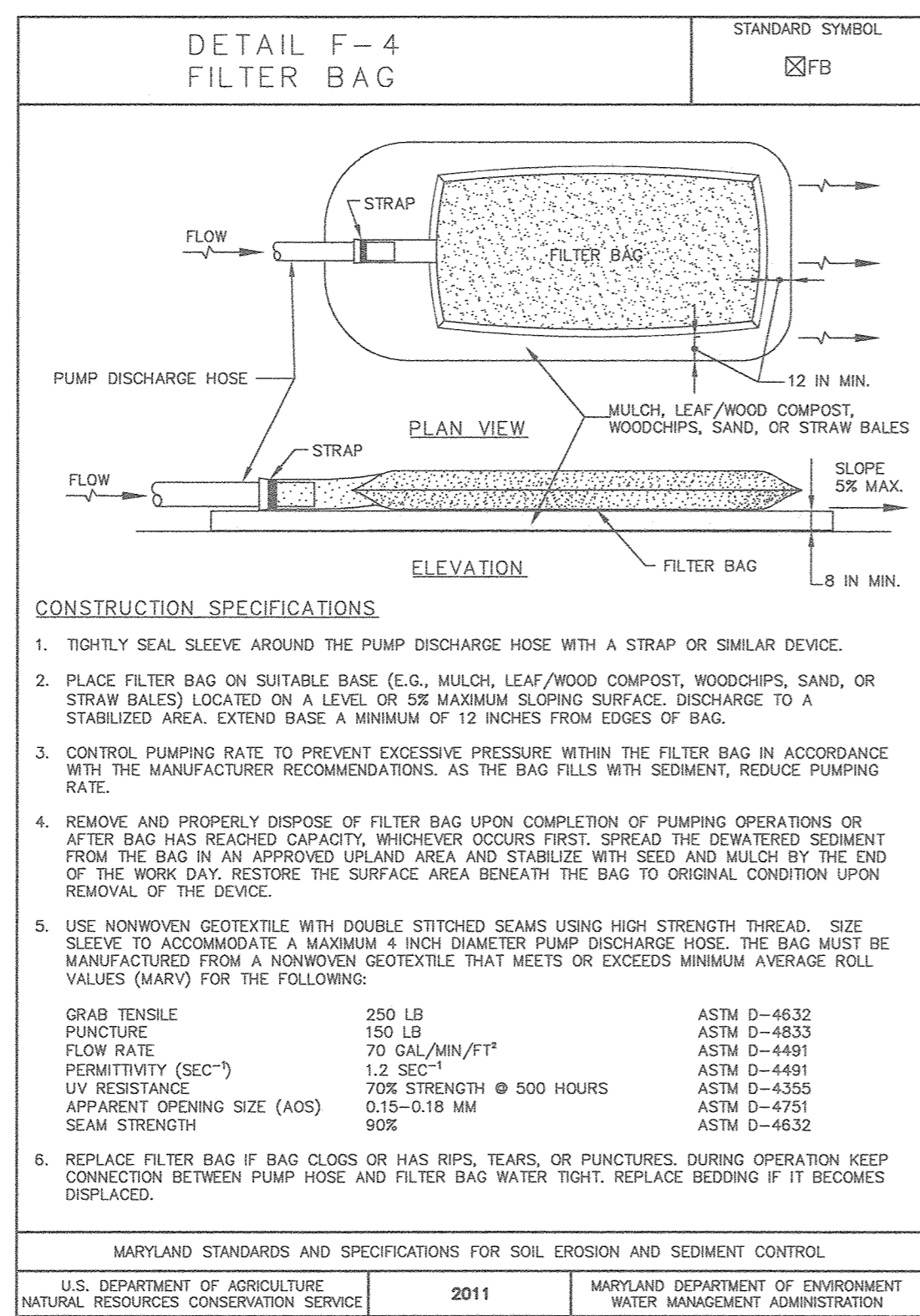
MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL



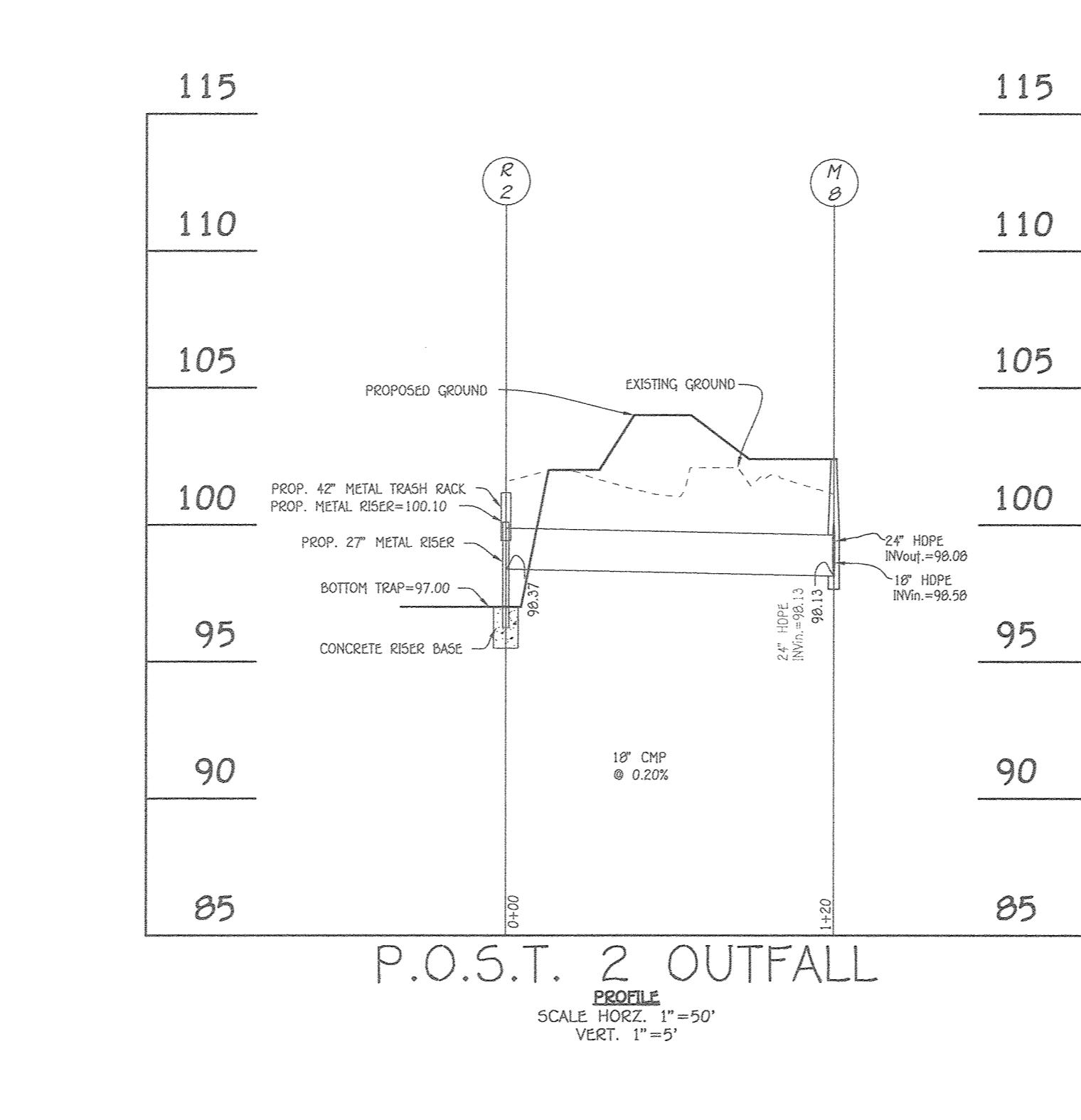
MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL



MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL

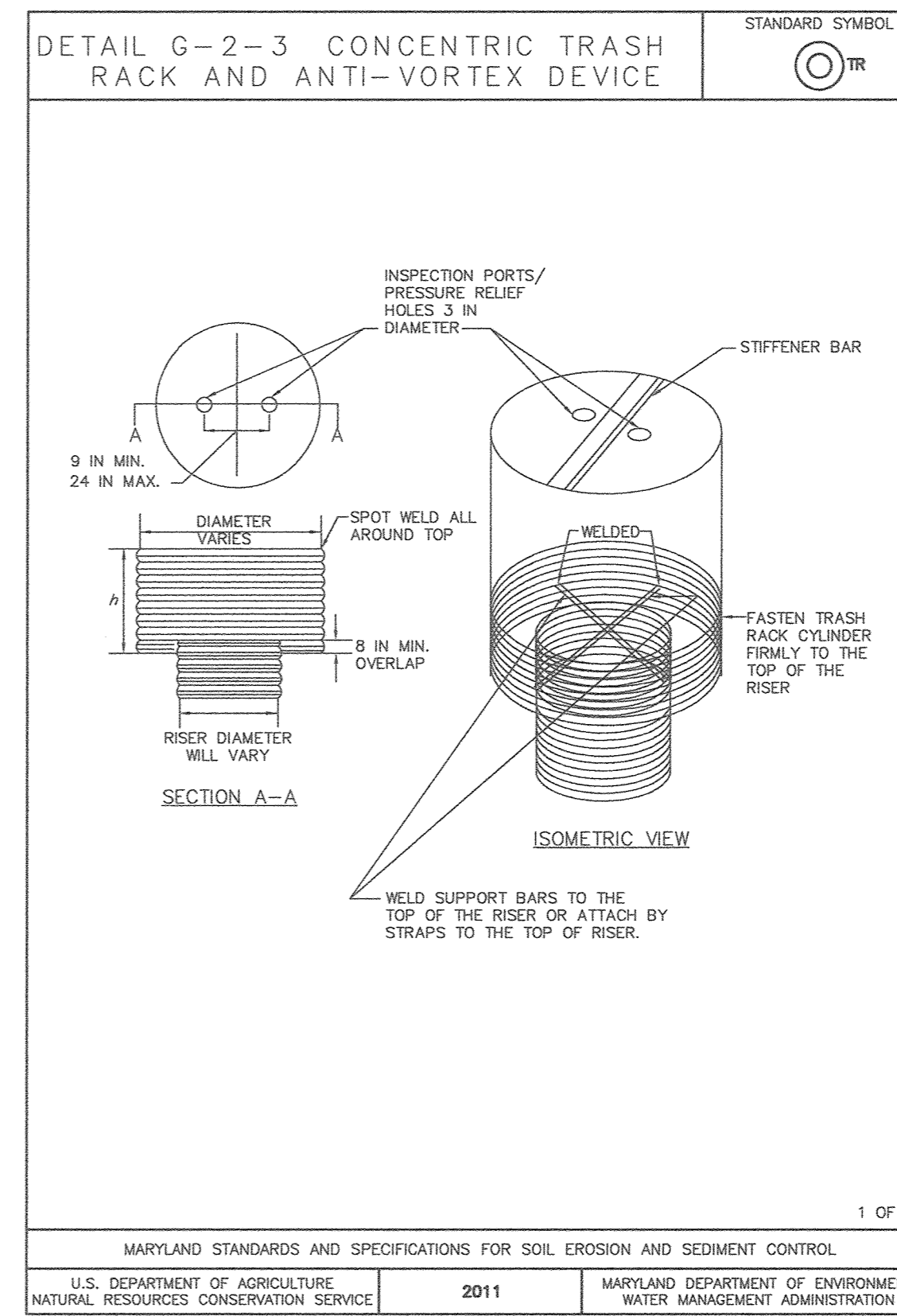


MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL



P.O.S.T. 2 OUTFALL

PROFILE  
SCALE HORIZ. 1"=50'  
VERT. 1"=5'



MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL

RISER DIAM. (IN)	TRASH RACK CYLINDER			MINIMUM TOP SUPPORT BAR		MINIMUM TOP THICKNESS (GAUGE)	STIFFENER
	DIAM. (IN)	THICKNESS (IN)	h (IN)	MINIMUM SIZE	THICKNESS (GAUGE)		
12	18	16	14	#6 REBAR	16	N/A	
15	21	16	15	#6 REBAR	16	N/A	
18	27	16	16	#6 REBAR	16	N/A	
21	30	16	19	#6 REBAR	16	N/A	
24	36	16	21	#6 REBAR	14	N/A	
27	42	16	21	#6 REBAR	14	N/A	
36	54	14	25	#8 REBAR	12	N/A	
42	60	14	27	#8 REBAR	12	N/A	
48	72	12	29	1 1/2 IN PIPE OR 1 1/2 x 1 1/2 x 1/4 ANGLE	10	N/A	
54	78	12	33	1 1/2 IN PIPE OR 1 1/2 x 1 1/2 x 1/4 ANGLE	10	N/A	
60	90	12	37	1 1/2 IN PIPE OR 1 1/2 x 1 1/2 x 1/4 ANGLE	8	N/A	
66	96	10	41	2 IN PIPE OR 2 x 2 x 3/8 ANGLE	8	2 x 2 x 3/8 ANGLE	
72	102	10	44	2 IN PIPE OR 2 x 2 x 3/8 ANGLE	8	2 1/2 x 2 1/2 x 3/8 ANGLE	
78	114	10	47	2 1/2 IN PIPE OR 2 x 2 x 3/8 ANGLE	8	2 1/2 x 2 1/2 x 3/8 ANGLE	
84	120	10	50	2 1/2 IN PIPE OR 2 1/2 x 2 1/2 x 3/8 ANGLE	8	2 1/2 x 2 1/2 x 3/8 ANGLE	

NOTE: THE ABOVE TRASH RACK AND ANTI-VORTEX DEVICE INFORMATION IS FOR CORRUGATED METAL PIPE ONLY. CONCRETE RISERS MUST MEET THE REQUIREMENTS OF MD 378.

MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

*Kurt Sanderson* 6-12-19  
Chief, Division of Land Development

*Chad Clark* 5-6-19  
Chief, Development Engineering Division

*William Zelin* 6-12-19  
Director - Department of Planning and Zoning

**FISHER, COLLINS & CARTER, INC.**  
CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS  
CENTENNIAL SQUARE OFFICE PARK - 10272 BALTIMORE NATIONAL PIKE  
ELLSWORTH CITY, MARYLAND 21042  
(410) 461-2995

**ENGINEER'S CERTIFICATE**

"I certify that the development and erosion control represents a practical and workable plan based on the site conditions and that it was prepared in accordance with the Howard Soil Conservation District."

Signature of Engineer: *John L. Blanton* 4/12/19  
Date

**DEVELOPER'S CERTIFICATE**

"I/we certify that the design and construction will be done according to this plan for sediment and erosion control, and that all responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the Howard Soil Conservation District."

Signature of Developer: *David P. Scheffensacker Jr.* 4/16/19  
Date

**Owner:** Kellogg-CCP, LLC  
c/o David P. Scheffensacker, Jr., Managing Member  
100 West Road, Suite 304  
Towson, Maryland 21204  
Ph: 410-296-3800

**Developer:** Preston • Scheffensacker Properties  
100 West Road, Suite 304  
Towson, Maryland 21204  
Ph: 410-296-3800

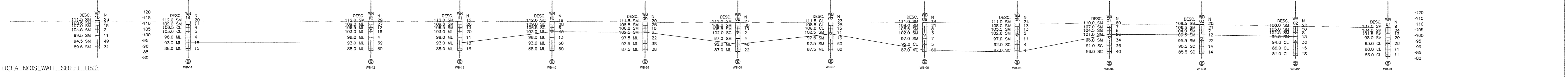
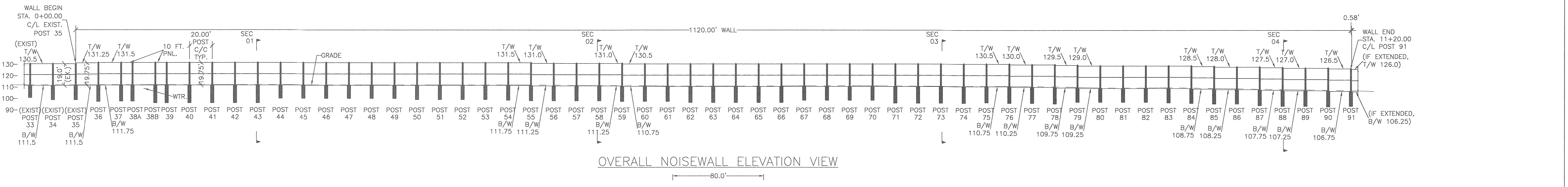
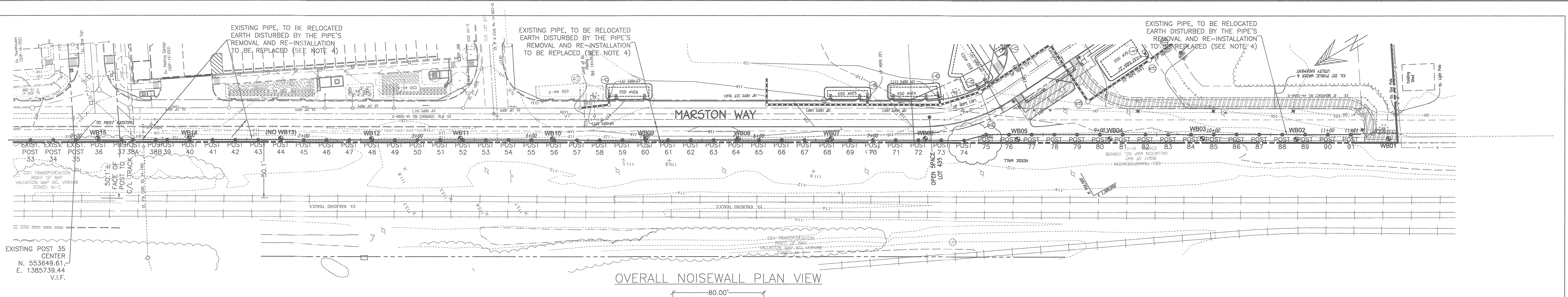
PIPE OUTLET SEDIMENT TRAP  
NOTES & DETAILS  
**OXFORD SQUARE**  
"A Howard County Green Neighborhood"  
LOTS 379-434, OPEN SPACE LOTS 435-439  
AND PARCEL 'H-H' & 'I-I'

**'THE YARDS'**  
(Being A Resubdivision Of Parcel 'G-G', As Shown On Plats Entitled "Oxford Square," "Green Neighborhood," Parcels 'G-G', 'F-F', And Open Space Lot 377' Recorded As Plat Nos. 24351 Thru 24353) And A Resubdivision Of Parcel 'V', As Shown On Resubdivision Plat Entitled "Oxford Square," "Green Neighborhood," Parcels 'V' Thru 'Z', 'A-A' Thru 'C-C' And Open Space Lots 244 And 245' Recorded As Plat Nos. 23710 Thru 23715)

Zone: TOD  
Tax Map No.: 30 Grid No.: 20 Parcel No.: 1003  
First Election District: Howard County, Maryland  
Scale: As Shown  
Date: April 4, 2019  
Sheet 29 OF 44

NO.	REVISION	DATE			
SUBDIVISION	OXFORD SQUARE - 'THE YARDS'	SECTION/AREA	N/A	LOT Nos.	379-434
PLAT NO.	25047-25050	BLOCK NO.	N/A	ZONE	TOD
TAX/ZONE	30	ELEC. DIST.	1st.	CENSUS TR.	601101





- HCEA NOISEWALL SHEET LIST:
- (1): OVERALL PLAN AND PROFILE, SOIL PROFILE, AND NOTES
  - (2): PLAN AND PROFILE, NOISEWALL POSTS 36-44
  - (3): PLAN AND PROFILE, NOISEWALL POSTS 45-58
  - (4): PLAN AND PROFILE, NOISEWALL POSTS 59-
  - (5): PLAN AND PROFILE, NOISEWALL POSTS ---
  - (6): PLAN AND PROFILE, NOISEWALL POSTS ---
  - (7): NOISEWALL SECTIONS 1, 2, 3, AND 4
  - (8): NOISEWALL DATA TABLE AND CONSTRUCTION SEQUENCE
  - (9): NOISEWALL SHAFT AND POST CONSTRUCTION DETAILS
  - (10): NOISEWALL PANEL CONSTRUCTION DETAILS

- FOUNDATION AND NOISEWALL NOTES:
1. CONSTRUCTION TO COMPLY WITH CURRENT IBC, ACI, LOCAL CODES, RAILROAD CRITERIA (IF APPLICABLE), AND ALL PROJECT REQ'S.
  2. GEOMETRY SHOWN IS BASED ON INFORMATION PROVIDED BY OTHERS. VERIFY CRITICAL DIMENSIONS (FOUNDATION LOCATIONS, ELEVATIONS, GRADES, ADJACENT UTILITIES, AND IMPROVEMENTS). RESOLVE ANY DISCREPANCY BEFORE PROCEEDING.
  3. LOADS: DEAD, (COMPONENT WEIGHT). LIVE 100 PSF. (SURCHARGE). GROUND SNOW LOAD 35 PSF. WIND DESIGN: 115 MPH, EXP. CAT. B. WIND 40 PSF MAX.

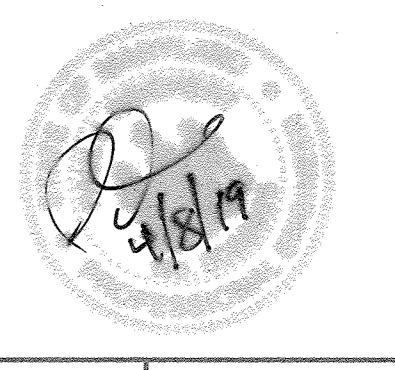
- NOTES (CONT.):
- SEISMIC DESIGN:  
 RISK CATEGORY, II (STANDARD, NON-CRITICAL STRUCTURE)  
 SEISMIC IMPORTANCE FACTOR, 1.0  
 MAPPED SPECTRAL RESPONSE ACC,  $SS = 0.124$ ,  $SI = 0.051$ .  
 SITE CLASS, D.  
 SPECTRAL RESPONSE COEFFICIENTS,  $SDS = 0.132$ ,  $SD1 = 0.081$ .  
 SEISMIC DESIGN CATEGORY, B  
 BASIC SEISMIC FORCE RESISTING SYSTEM, NONBUILDING STRUCTURE  
 SIGN AND BILLBOARD  
 SHEAR  $0.044 \times W$   
 SEISMIC RESPONSE COEFFICIENT  $CS, 0.044$   
 RESPONSE MODIFICATION COEFFICIENT  $R, 3$   
 ANALYSIS PROCEDURE USED, EQUIVALENT LATERAL FORCE.

- NOTES (CONT.):
4. FOUNDATION SOILS; SPECIFIED DEPTHS ARE BASED ON THE HCEA SUBSURFACE INVESTIGATION AND BORE LOGS OBTAINED FOR THIS NOISEWALL. SOIL CONDITIONS TO BE VERIFIED AS FOUNDATIONS ARE EXCAVATED. WHERE FIELD CONDITIONS REVEAL UNACCEPTABLE (SOFT) SOILS AT THE SPECIFIED BEARING DEPTH, UNDERCUT TO A SUITABLE (2000 PSF, EQUIV.) BEARING LAYER AND REPLACE UNDERCUT MATERIAL WITH THE SHAFT CONCRETE MIX.
  5. DRILLED SHAFTS: CONSTRUCT PER ACI 336.1-01 SPECIFICATION AND 336.3R-14 RECOMMENDATIONS. SHAFT INSTALLED DEPTHS MAY BE BELOW GROUNDWATER. USE CASING, DEWATERING, AND TREMIE PLACEMENT AS COUNTERMEASURES TO MAINTAIN QUALITY IN POOR SOIL CONDITIONS.

- NOTES (CONT.):
5. (CONT.) DRILLED SHAFT/CAGE POSITION TOLERANCE 3" AND MAINTAIN MIN. 3" COVER. DRILLED SHAFT CONCRETE LOWER POUR SHALL BE 3500 PSI AT 28 DAYS.
  6. SUPERSTRUCTURE / PRECAST CONCRETE, CONSTRUCT PER CURRENT ACI REQUIREMENTS. NOISEWALL POST SHALL BE 5000 PSI MIN. AT 28 DAYS, AIR-ENTRAINED. NOISEWALL PANEL AND SHAFT UPPER SHALL BE 4500 PSI MIN. AT 28 DAYS. POST, PANEL AND SHAFT UPPER, AIR-ENTRAINED, 0.40 MAX W/C, NO CHLORIDES. PLACE AND CURE CONCRETE IN ACCORDANCE WITH CURRENT ACI RECOMMENDATIONS. REINFORCING STEEL SHALL CONFORM TO ASTM-615 GRADE 60. REINFORCING SPLICES PER ACI TO DEVELOP FULL STRENGTH OF THE BAR.

- NOTES (CONT.):
7. NEOPRENE: 60 DUROMETER, CONSTRUCTION GRADE.
  8. INCORPORATE PROJECT-SPECIFIC QC AS REQ'D BY CONTRACT / OWNER. NOISEWALL POST POSITION TOLERANCE "1". CONCRETE MEMBER POSITIONS, DIMENSIONS, AND SURFACE QUALITY PER AC1 UNLESS OTHERWISE NOTED. CONCRETE SAMPLING: ONE SET OF (6) 4X8 CYLINDERS FOR: -EACH 50 YDS. PLACED. -EACH DAY CONCRETE IS PLACED (<50 YDS.) -EACH MIX DESIGN PLACED PER DAY (WHEN PLACING MORE THAN 1 MIX). PROVIDE MILL CERTS FOR REINFORCING STEEL. MIX DESIGNS WITH MATERIAL AND ADMIXTURE SPECS, BATCH TICKETS FOR ALL CONCRETE PLACED

**PROFESSIONAL CERTIFICATION**  
 I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 0028925  
 EXPIRATION DATE: 1/15/2020



**HILLIS-CARNES**  
 ENGINEERING ASSOCIATES  
 10975 Guilford Road, Suite A Annapolis Junction, Maryland  
 Ph: (410) 880-4788 WWW.HCEA.COM Fax: (410) 880-4098

**OXFORD SQUARE NOISEWALL 2 / EXTENSION**  
 ELKRIDGE, HOWARD COUNTY, MD

**OVERALL PLAN AND PROFILE, SOIL PROFILE, AND NOTES**

REVISIONS: 9/17/18 POST 38 DELETED. POSTS 38A AND 38B AND 10 FT. PANEL ADDED.  
 12/28/18 POSTS 75-91 OFFSET. POST DETAIL INCLUDES ANGLE-POST.

JOB NUMBER: 16422A DESIGNED BY: PR  
 SCALE: AS SHOWN DRAWN BY: PR  
 DATE: 06/05/18 APPROVED BY: PR

**FISHER, COLLINS & CARTER, INC.**  
 CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS  
 CENTRAL SQUARE OFFICE PARK - 10775 BALTIMORE NATIONAL PIKE  
 ELKJOTT CITY, MARYLAND 21042  
 (410) 461 - 2895

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

*Kat Schuchman* 6-12-19  
 Chief, Division of Land Development Date

*Al Ch...* 5-6-19  
 Chief, [Development] Engineering Division Date

*William J...* 6-17-19  
 Director - Department of Planning and Zoning Date

**Owner**  
 Kellogg-CCP, LLC  
 c/o David P. Scheffenaeker, Jr.  
 Managing Member  
 100 West Road, Suite 304  
 Towson, Maryland 21204  
 Ph: 410-296-3800

**Developer**  
 Preston + Scheffenaeker Properties  
 100 West Road, Suite 304  
 Towson, Maryland 21204  
 Ph: 410-296-3800

NO.	REVISION	SECTION/AREA	LOT No.	DATE
SUBDIVISION	OXFORD SQUARE - 'THE YARDS'	N/A	379-434	
PLAT NO.	25047-25050	BLOCK NO. N/A	ZONE TOD	TAX/ZONE 38
			ELEC. DIST. 1st.	CENSUS TR. 601101

**OXFORD SQUARE**  
 "A Howard County Green Neighborhood"  
 LOTS 379-434, OPEN SPACE LOTS 435-440  
 AND PARCEL 'H-H' & 'I-I'  
 "THE YARDS"  
 (Being A Resubdivision Of Parcel 'G-G', As Shown On Plats Entitled "Oxford Square, "Green Neighborhood",  
 Parcels 'G-G', 'F-F', And Open Space Lot 377. Recorded As Plat Nos. 24351 Thru 24353) And A  
 Resubdivision Of Parcel 'V', As Shown On Resubdivision Plat Entitled "Oxford Square, "Green Neighborhood",  
 Parcels 'V' Thru 'Z', 'A-A' Thru 'C-C' And Open Space Lots 244 And 245. Recorded As Plat Nos.  
 23710 Thru 23715)  
 Zoned: TOD  
 Tax Map No.: 38 Grid No.: 20 Parcel No.: 1003  
 First Election District: Howard County, Maryland  
 Scale: As Shown  
 Date: April 5, 2019  
 Sheet 30 Of 44









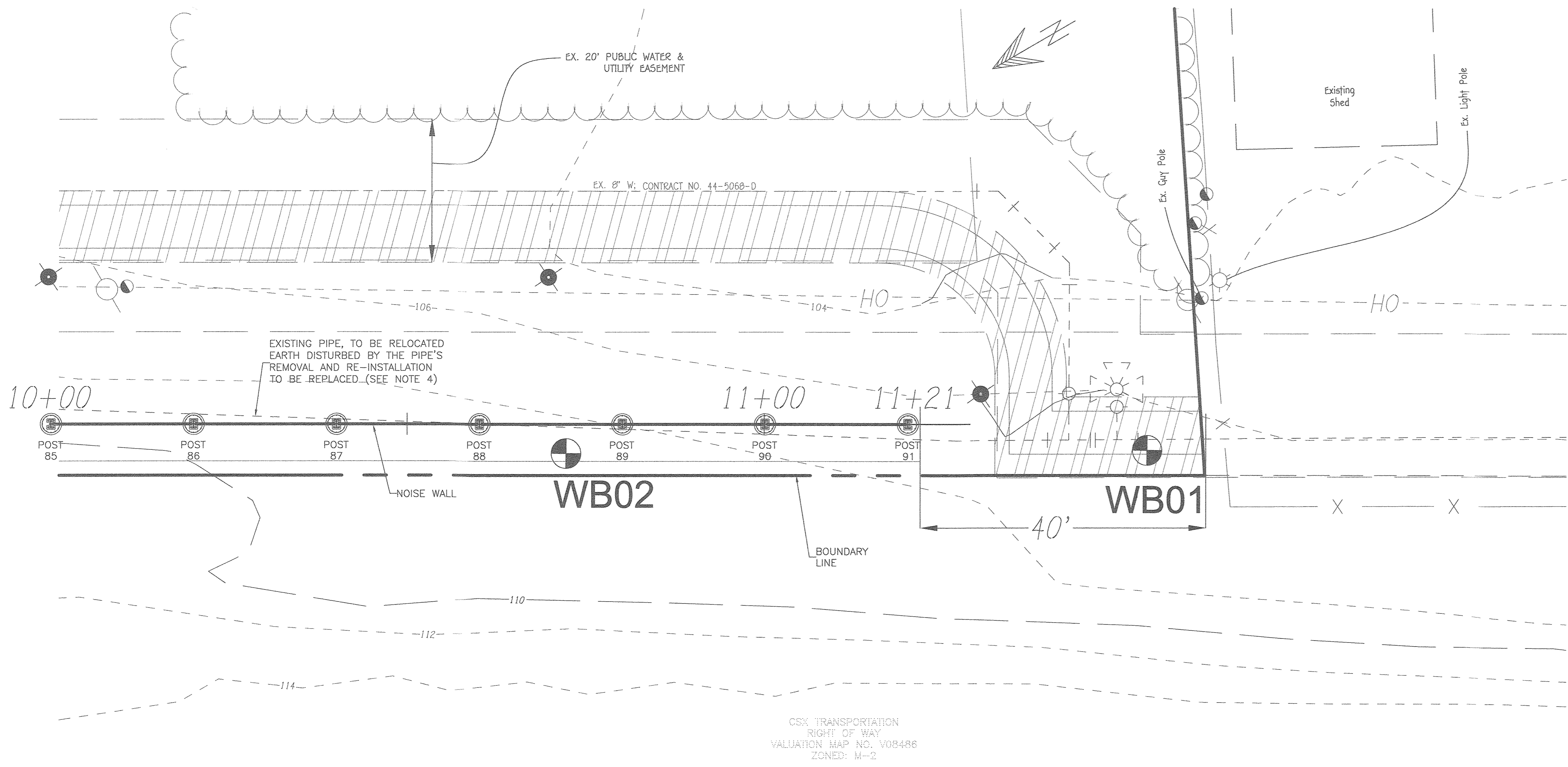






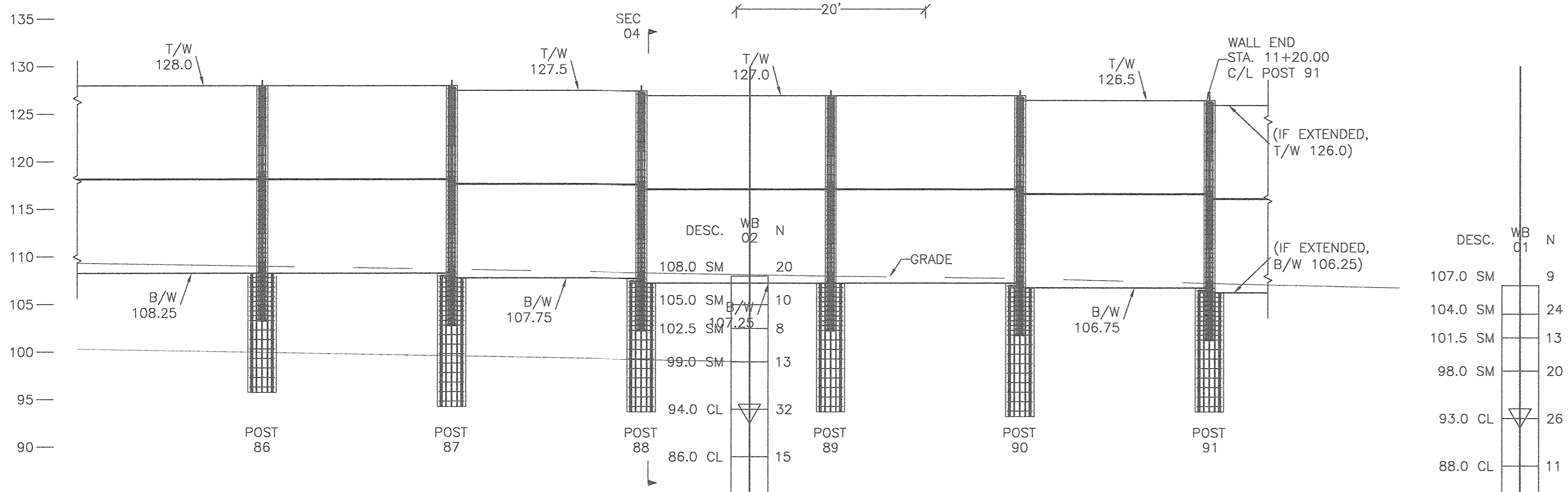






CSX TRANSPORTATION  
RIGHT OF WAY  
VALUATION MAP NO. V08-486  
ZONED: M-2

NOISEWALL POSTS 87-91 PLAN VIEW



NOISEWALL POSTS 87-91 ELEVATION VIEW

**PROFESSIONAL CERTIFICATION**  
I HEREBY CERTIFY THAT THESE PLANS  
WERE PREPARED OR APPROVED BY ME,  
AND THAT I AM A DULY LICENSED  
PROFESSIONAL ENGINEER UNDER THE  
LAWS OF THE STATE OF MARYLAND,  
LICENSE NO. 0028925  
EXPIRATION DATE: 1/15/2020



**HILLIS-CARNES**  
ENGINEERING ASSOCIATES  
10975 Guilford Road, Suite A Annapolis Junction, Maryland  
Ph: (410) 880-4788 WWW.HCEA.COM Fax: (410) 880-4098

**OXFORD SQUARE NOISEWALL 2 / EXTENSION**  
**ELKRIDGE, HOWARD COUNTY, MD**

**PLAN AND PROFILE,  
NOISEWALL POSTS 87-91**

REVISIONS:	06/05/18 - ORIGINAL
	12/28/18 POSTS 75-91 OFFSET. POST DETAIL INCLUDES ANGLE-POST.

JOB NUMBER:	16422A	DESIGNED BY:	PR
SCALE:	AS SHOWN	DRAWN BY:	PR
DATE:	06/05/18	APPROVED BY:	PR

**FISHER, COLLINS & CARTER, INC.**  
CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS  
OXFORD SQUARE OFFICE PARK - 10272 BALTIMORE NATIONAL PIKE  
ELIJAH CITY, MARYLAND 21042  
(410) 461 - 2895

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

*Kathleen* 6-12-19  
Chief, Division of Land Development Date

*Chad* 5-6-19  
Chief, Development Engineering Division Date

*Natalie* 6-17-19  
Director - Department of Planning and Zoning Date

**Owner**  
Kellogg-CCP, LLC  
c/o David P. Scheffacker, Jr.,  
Managing Member  
100 West Road, Suite 304  
Towson, Maryland 21284  
Ph# 410-296-3800

**Developer**  
Preston - Scheffacker Properties  
100 West Road, Suite 304  
Towson, Maryland 21204  
Ph# 410-296-3800

NO.	REVISION	SECTION/AREA	LOT Nos.	DATE	
	SUBDIVISION	SECTION/AREA	LOT Nos.		
	OXFORD SQUARE - 'THE YARDS'	N/A	379-434		
PLAT NO.	BLOCK NO.	ZONE	TAX/ZONE	ELEC. DIST.	CENSUS TR.
25047-25050	N/A	TOD	3B	1st.	601101

**OXFORD SQUARE**  
"A Howard County Green Neighborhood"  
LOTS 379-434, OPEN SPACE LOTS 435-440  
AND PARCEL 'H-H' & 'I-I'  
"THE YARDS"  
(Being A Resubdivision Of Parcel 'G-G', As Shown On Plats Entitled "Oxford Square, "Green Neighborhood",  
Parcels 'C-C', 'F-F', And Open Space Lot 377" Recorded As Plat No. 24353) Thru 24353) And A  
Resubdivision Of Parcel 'V', As Shown On Resubdivision Plat Entitled "Oxford Square, "Green Neighborhood",  
Parcels 'V' Thru 'Z', 'A-A' Thru 'C-C' And Open Space Lots 244 And 245" Recorded As Plat No.  
23710 Thru 23715)  
Zoned: TOD  
Tax Map No: 3B Grid No.: 20 Parcel No.: 1003  
First Election District: Howard County, Maryland  
Scale: As Shown  
Date: April 5, 2019  
Sheet 35 Of 44



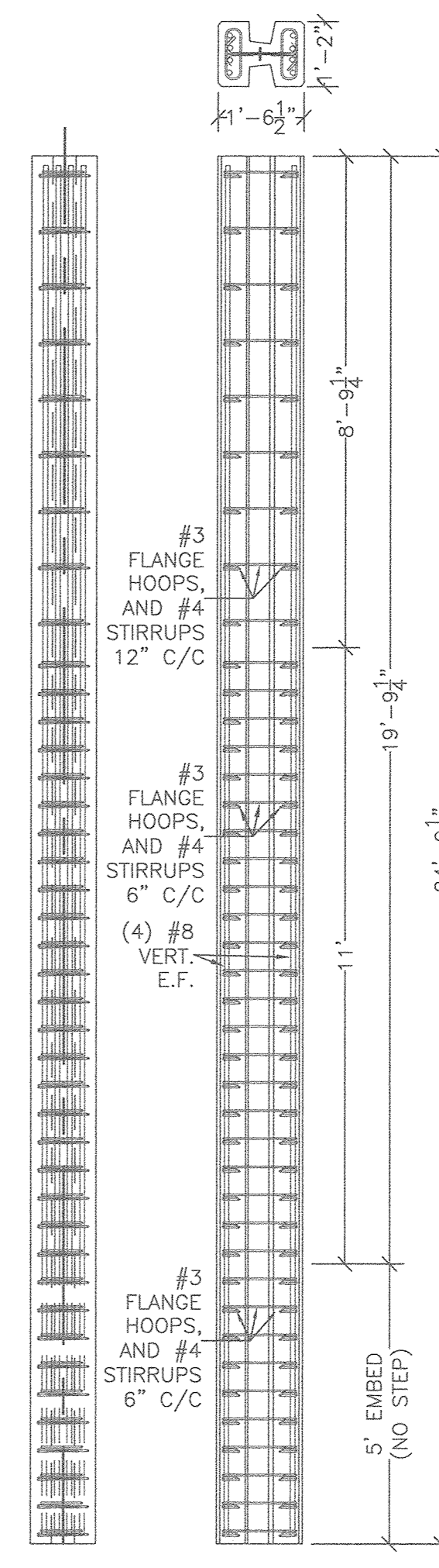
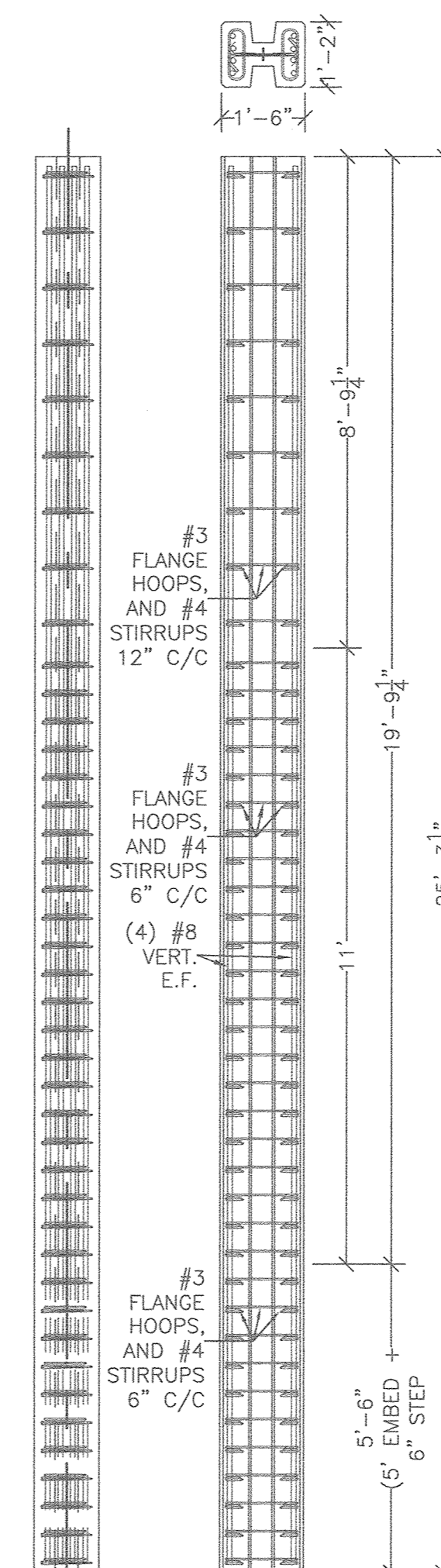
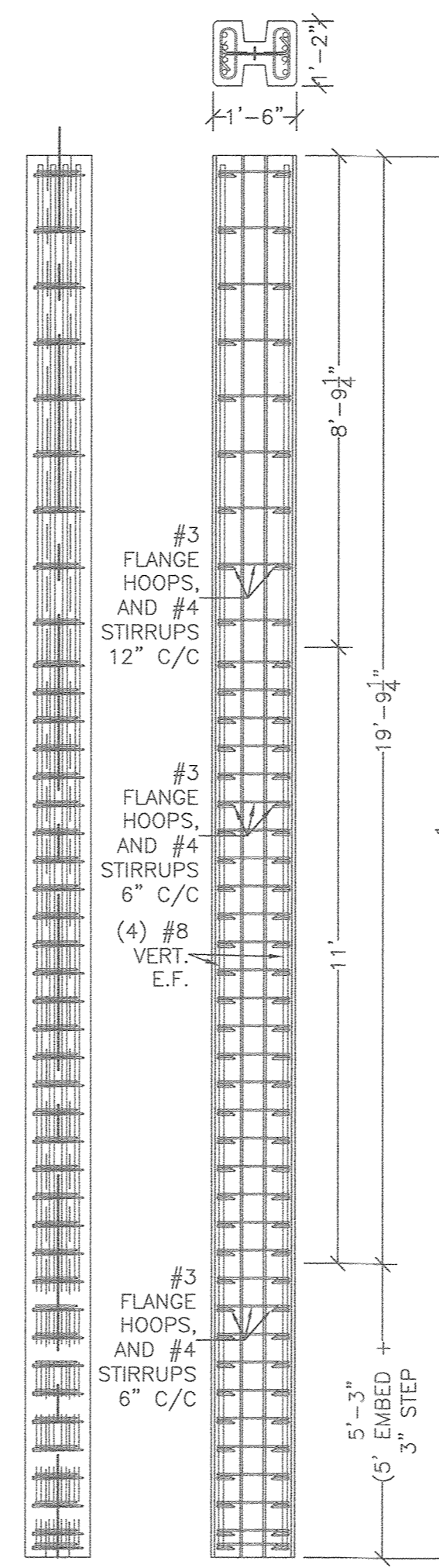
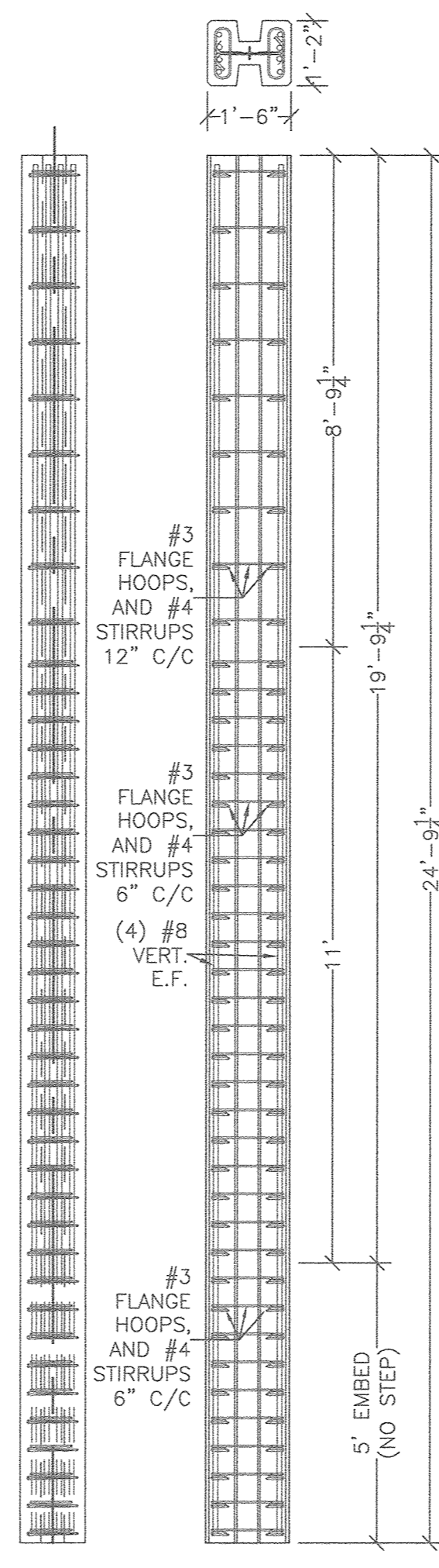
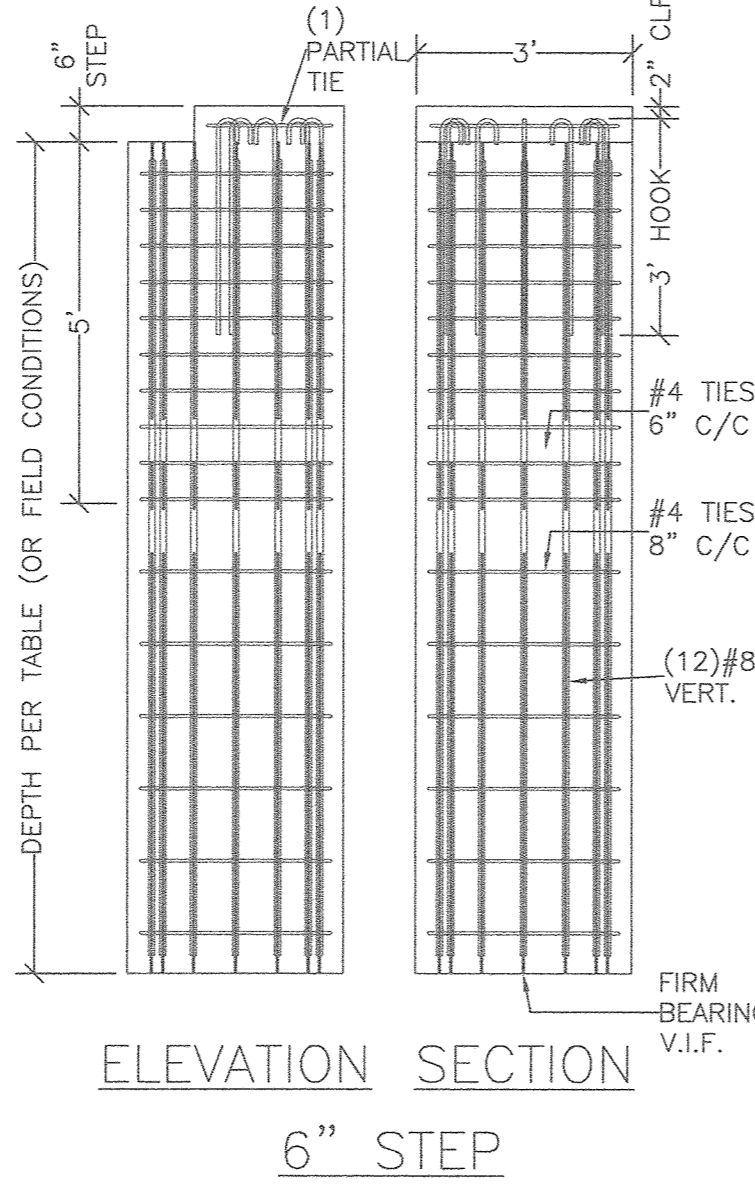
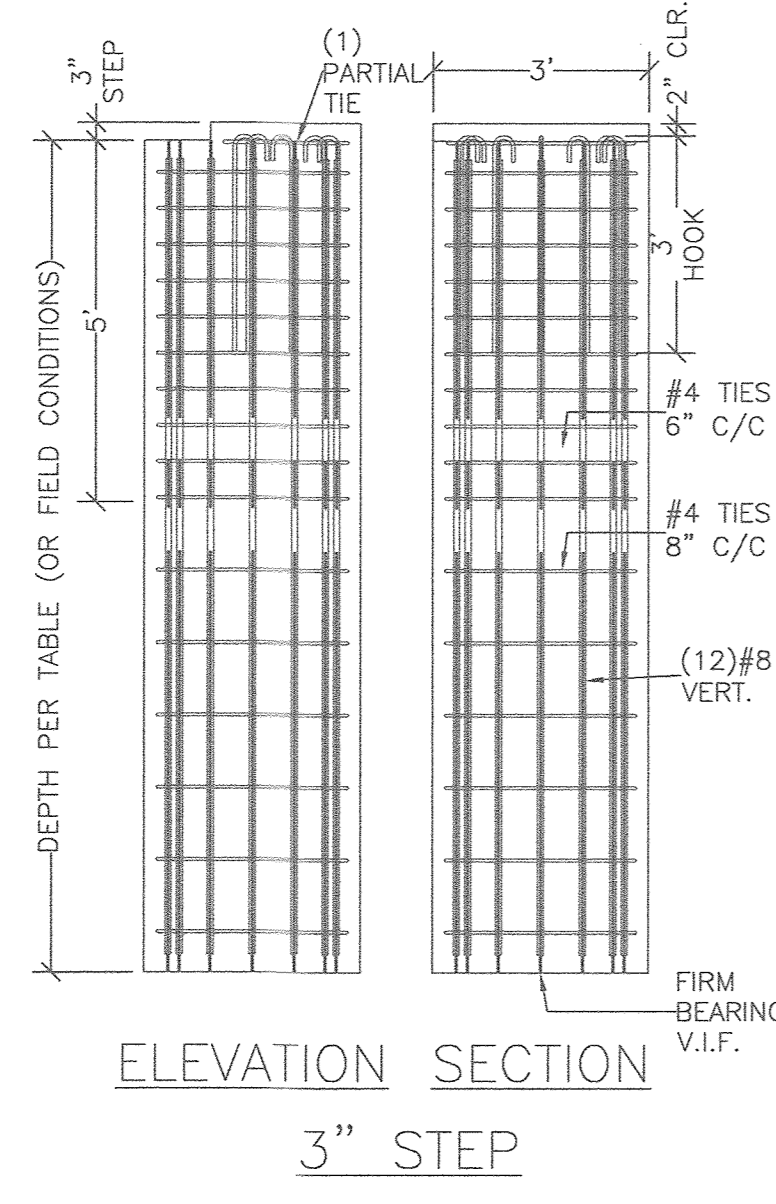
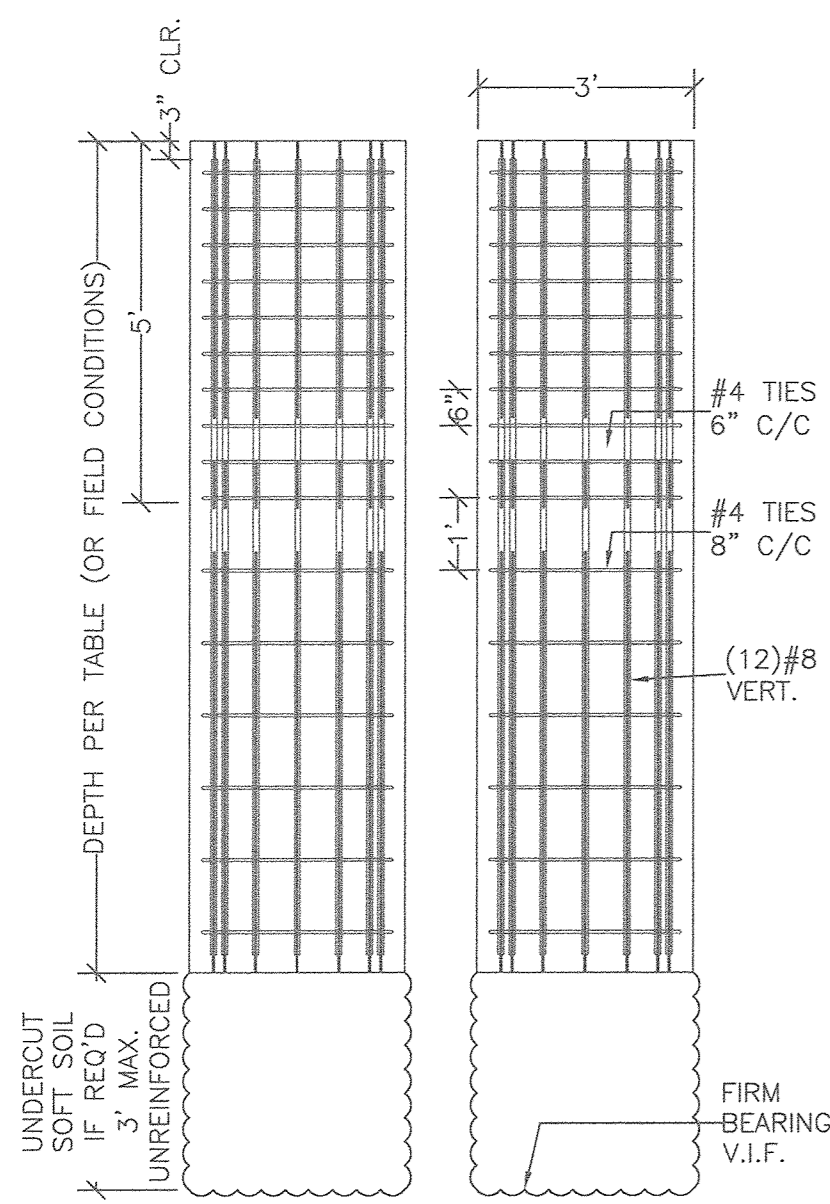
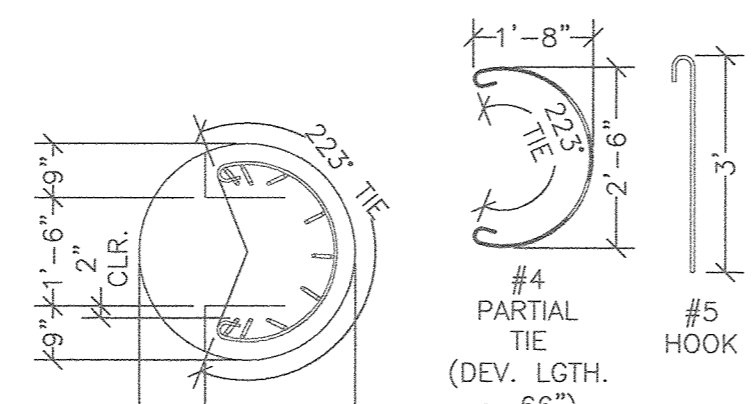
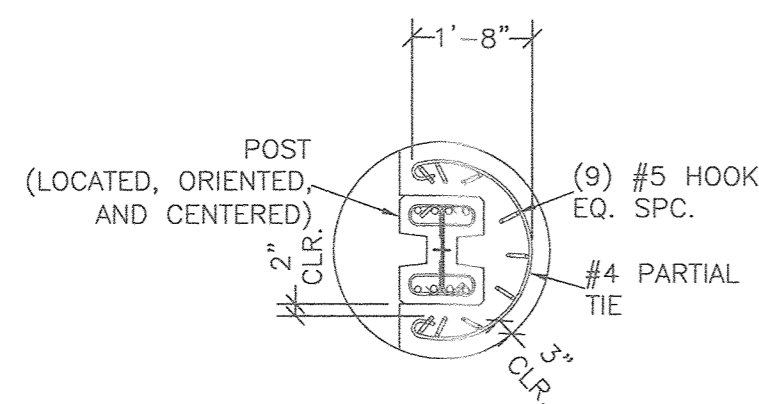
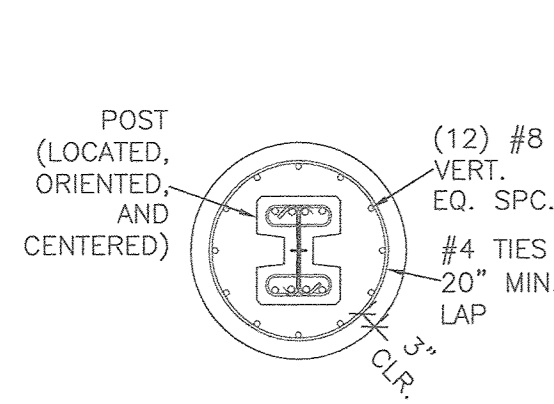




OXFORD SQUARE NOISEWALL DATA TABLE  
By Hillis-Carnes Eng. Assoc.  
Date: 12/18/2018

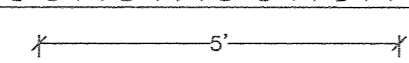
Post No.	EX. GR.	WORKING POINT A (POST FACE, QUIET SIDE, FOR ORIENTING)		WORKING POINT B CENTER OF POST/SHAFT		WP 'B' c/c (Back-Sta.)	Panel ht. nom ft.		Post embed ft.		Brg. Pad thk. ft.		Dsn. Shaft Btm. elev.					
		NORTHING	EASTING	NORTHING	EASTING		Ahd. Sta. Top of Panel	Ahd. Sta. Btm. of Panel	Top of Post elev.	Nom. Post Ht. (ft.)	Total Post Lgth. (ft.)	Top of Shaft elev.		Shaft Step (ft.)	high side, Ahead or Back	BOR. LOG REF.	Dsn. SHAFT DEPTH (ft.)	
(EXIST.)	35	112.00	553648.98	1385740.53	553649.36	1385739.88	19.75	5	0.02			111.48						
POST	36	112.00	553631.68	1385730.50	553632.05	1385729.85	20.00	131.50	111.75	131.50	20.02	25.02	111.48	0.3	Ahd.	WB15	14.0	97.5
POST	37	112.00	553614.37	1385720.47	553614.75	1385719.83	20.00	131.50	111.75	131.50	19.77	24.77	111.73			WB15	14.0	97.7
POST	38 A	112.00	553605.72	1385715.46	553606.10	1385714.81	10.00	131.50	111.75	131.50	19.77	24.77	111.73			WB15	14.0	97.7
POST	38 B	112.00	553588.41	1385705.44	553588.79	1385704.79	20.00	131.50	111.75	131.50	19.77	24.77	111.73			WB14	15.5	96.2
POST	39	112.00	553579.76	1385700.42	553580.14	1385699.78	10.00	131.50	111.75	131.50	19.77	24.77	111.73			WB14	15.5	96.2
POST	40	112.00	553562.45	1385690.40	553562.83	1385689.75	20.00	131.50	111.75	131.50	19.77	24.77	111.73			WB14	15.5	96.2
POST	41	112.00	553545.15	1385680.37	553545.52	1385679.73	20.00	131.50	111.75	131.50	19.77	24.77	111.73			WB14	15.5	96.2
POST	42	112.00	553527.84	1385670.35	553528.22	1385669.70	20.00	131.50	111.75	131.50	19.77	24.77	111.73			WB14	15.5	96.2
POST	43	112.00	553510.54	1385660.32	553510.91	1385660.28	20.00	131.50	111.75	131.50	19.77	24.77	111.73			WB14	15.5	96.2
POST	44	112.00	553493.23	1385650.30	553493.61	1385649.65	20.00	131.50	111.75	131.50	19.77	24.77	111.73			WB12	11.5	100.2
POST	45	112.00	553475.93	1385640.27	553476.30	1385639.62	20.00	131.50	111.75	131.50	19.77	24.77	111.73			WB12	11.5	100.2
POST	46	112.00	553458.62	1385630.25	553459.00	1385629.60	20.00	131.50	111.75	131.50	19.77	24.77	111.73			WB12	11.5	100.2
POST	47	112.00	553441.31	1385620.22	553441.69	1385619.57	20.00	131.50	111.75	131.50	19.77	24.77	111.73			WB12	11.5	100.2
POST	48	112.00	553424.01	1385610.20	553424.38	1385609.55	20.00	131.50	111.75	131.50	19.77	24.77	111.73			WB12	11.5	100.2
POST	49	112.00	553406.70	1385600.17	553407.08	1385599.52	20.00	131.50	111.75	131.50	19.77	24.77	111.73			WB12	11.5	100.2
POST	50	112.00	553389.40	1385590.15	553389.77	1385589.50	20.00	131.50	111.75	131.50	19.77	24.77	111.73			WB11	12.5	99.2
POST	51	112.00	553372.09	1385580.12	553372.47	1385579.47	20.00	131.50	111.75	131.50	19.77	24.77	111.73			WB11	12.5	99.2
POST	52	112.00	553354.78	1385570.10	553355.16	1385569.45	20.00	131.50	111.75	131.50	19.77	24.77	111.73			WB11	12.5	99.2
POST	53	112.00	553337.48	1385560.07	553337.85	1385559.42	20.00	131.50	111.75	131.50	19.77	24.77	111.73			WB11	12.5	99.2
POST	54	112.00	553320.17	1385550.05	553320.55	1385549.40	20.00	131.50	111.75	131.50	19.77	24.77	111.73			WB10	13.0	98.7
POST	55	112.00	553302.87	1385540.02	553303.24	1385539.37	20.00	131.00	111.25	131.00	19.77	24.77	111.23	0.5	Back	WB10	13.0	98.2
POST	56	111.75	553285.56	1385530.00	553285.94	1385529.35	20.00	131.00	111.25	131.00	19.77	24.77	111.23			WB10	13.0	98.2
POST	57	111.75	553268.25	1385519.97	553268.63	1385519.32	20.00	131.00	111.25	131.00	19.77	24.77	111.23			WB10	13.0	98.2
POST	58	111.75	553250.95	1385509.95	553251.32	1385509.30	20.00	131.00	111.25	131.00	19.77	24.77	111.23			WB09	13.0	98.2
POST	59	111.50	553233.64	1385499.92	553234.02	1385499.27	20.00	130.50	110.75	130.50	19.77	24.77	110.73	0.5	Back	WB09	13.0	97.7
POST	60	111.00	553216.34	1385489.90	553216.71	1385489.25	20.00	130.50	110.75	130.50	19.77	24.77	110.73			WB09	13.0	97.7
POST	61	111.00	553199.03	1385479.87	553199.41	1385479.22	20.00	130.50	110.75	130.50	19.77	24.77	110.73			WB09	13.0	97.7
POST	62	111.00	553181.72	1385469.85	553182.10	1385469.20	20.00	130.50	110.75	130.50	19.77	24.77	110.73			WB08	14.0	96.7
POST	63	111.00	553164.42	1385459.82	553164.79	1385459.17	20.00	130.50	110.75	130.50	19.77	24.77	110.73			WB08	14.0	96.7
POST	64	111.00	553147.11	1385449.80	553147.49	1385449.15	20.00	130.50	110.75	130.50	19.77	24.77	110.73			WB08	14.0	96.7
POST	65	111.13	553129.81	1385439.77	553130.18	1385439.12	20.00	130.50	110.75	130.50	19.77	24.77	110.73			WB08	14.0	96.7
POST	66	111.25	553112.50	1385429.74	553112.88	1385429.10	20.00	130.50	110.75	130.50	19.77	24.77	110.73			WB08	14.0	96.7
POST	67	111.38	553095.19	1385419.72	553095.57	1385419.07	20.00	130.50	110.75	130.50	19.77	24.77	110.73			WB07	12.0	98.7
POST	68	111.50	553077.88	1385409.69	553078.27	1385409.04	20.00	130.50	110.75	130.50	19.77	24.77	110.73			WB07	12.0	98.7
POST	69	111.38	553060.58	1385400.67	553060.96	1385399.02	20.00	130.50	110.75	130.50	19.77	24.77	110.73			WB07	12.0	98.7
POST	70	111.25	553043.28	1385389.64	553043.65	1385388.99	20.00	130.50	110.75	130.50	19.77	24.77	110.73			WB07	12.0	98.7
POST	71	111.13	553025.97	1385379.61	553026.35	1385378.96	20.00	130.50	110.75	130.50	19.77	24.77	110.73			WB06	14.5	96.2
POST	72	111.00	553008.92	1385369.15	553009.04	1385368.94	20.00	130.50	110.75	130.50	19.77	24.77	110.73			WB06	14.5	96.2
POST	73	111.00	552991.36	1385359.56	552991.74	1385358.91	20.00	130.50	110.75	130.50	19.77	24.77	110.73			WB06	14.5	96.2
*POST	74	111.00	552974.13	1385349.62	552974.43	1385348.89	20.00	130.50	110.75	130.50	19.77	24.77	110.73			WB06	14.5	96.2
*POST	75	111.00	552954.83	1385344.37	552955.12	1385343.68	20.00	130.50	110.75	130.50	19.77	24.77	110.73			WB05	14.0	96.7
POST	76	111.00	552937.44	1385334.30	552937.82	1385333.65	20.00	130.00	110.25	130.50	20.27	25.27	110.23	0.5	Back	WB05	14.0	96.2
POST	77	110.75	552920.14	1385324.28	552920.51	1385323.63	20.00	130.00	110.25	130.00	19.77	24.77	110.23			WB05	14.0	96.2
POST	78	110.25	552902.81	1385314.25	552903.21	1385313.60	20.00	129.50	109.75	129.50	19.77	24.77	109.73	0.5	Back	WB05	14.0	95.7
POST	79	109.75	552885.53	1385304.22	552885.90	1385303.58	20.00	129.00	109.25	129.50	20.27	25.27	109.23	0.5	Back	WB04	12.0	97.2
POST	80	109.75	552868.22	1385294.20	552868.60	1385293.55	20.00	129.00	109.25	129.00	19.77	24.77	109.23			WB04	12.0	97.2
POST	81	109.75	552850.91	1385284.17	552851.29	1385283.52	20.00	129.00	109.25	129.00	19.77	24.77	109.23			WB04	12.0	97.2
POST	82	110.00	552833.61	1385274.15	552833.99	1385273.50	20.00	129.00	109.25	129.00	19.77	24.77	109.23			WB04	12.0	97.2
POST	83	109.67	552816.30	1385264.12	552816.68	1385263.47	20.00	129.00	109.25	129.00	19.77	24.77	109.23			WB03	12.5	96.7
POST	84	109.33	552799.00	1385254.09	552799.37	1385253.45	20.00	128.50	108.75	129.00	20.27	25.27	108.73	0.5	Back	WB03	12.5	96.2
POST	85	109.00	552781.69	1385244.07	552782.07	1385243.42	20.00	128.00	108.25	128.50	20.27	25.27	108.23	0.5	Back	WB03	12.5	95.7
POST	86	108.67	552764.39	1385234.04	552764.76	1385233.39	20.00	128.00	108.25	128.00	19.77	24.77	108.23			WB03	12.5	95.7
POST	87	108.33	552747.08	1385224.02	552747.46	1385223.37	20.00	127.50	107.75	128.00	20.27	25.27	107.73	0.5	Back	WB02	13.5	94.2
POST	88	108.00	552729.78	1385213.99	552730.15	1385213.34	20.00	127.00	107.25	127.50	20.27	25.27	107.23	0.5	Back	WB02	13.5	93.7
POST	89	107.75	552712.47	1385203.96	552712.													



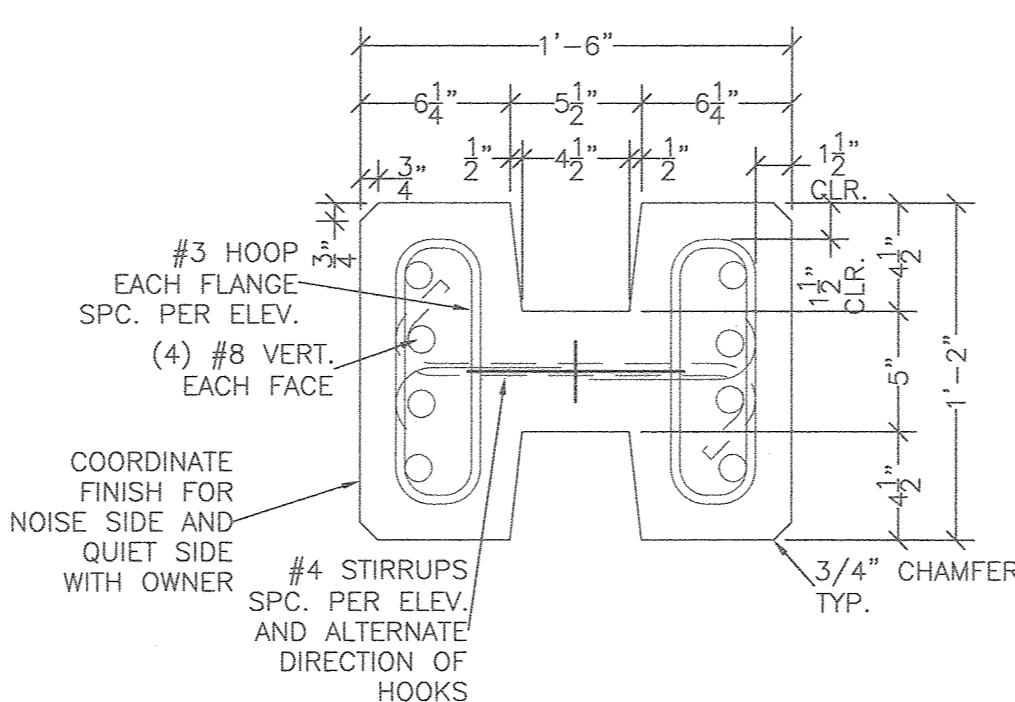


ELEVATION SECTION  
NO STEP

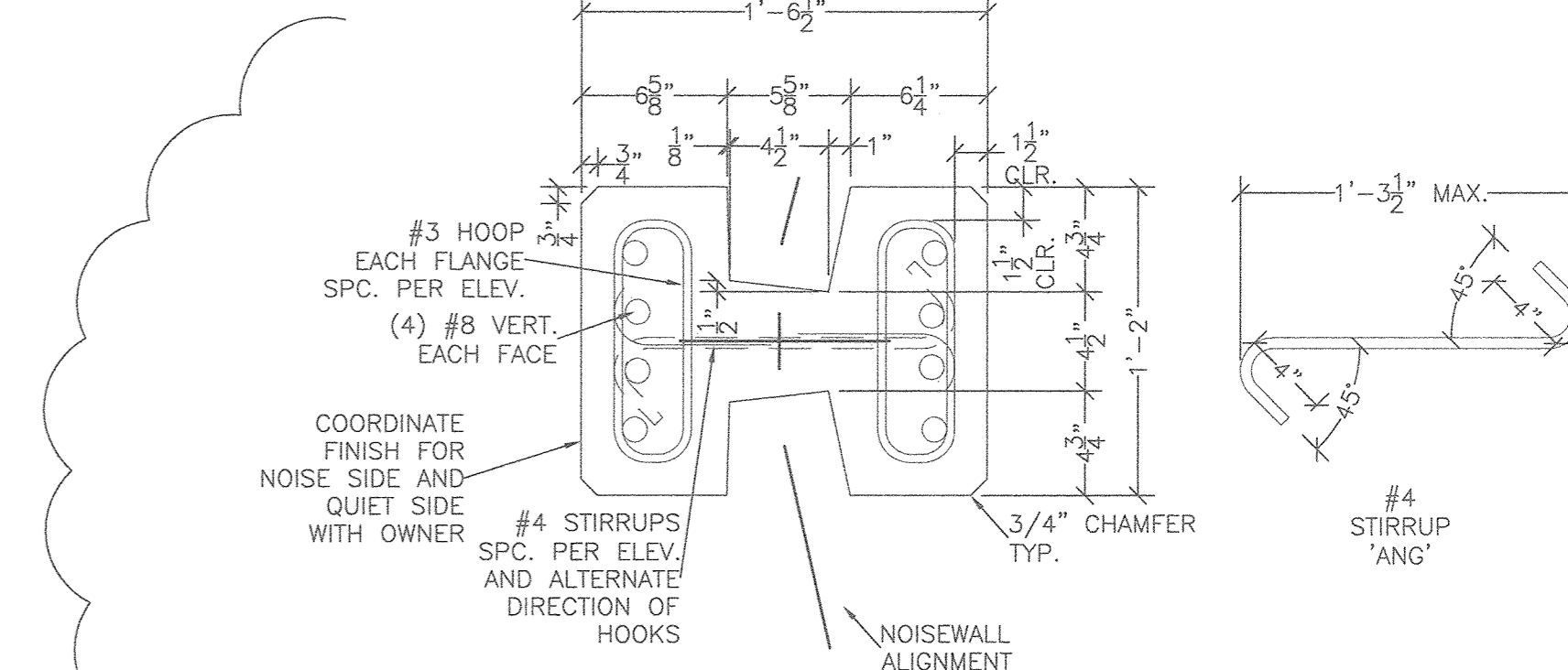
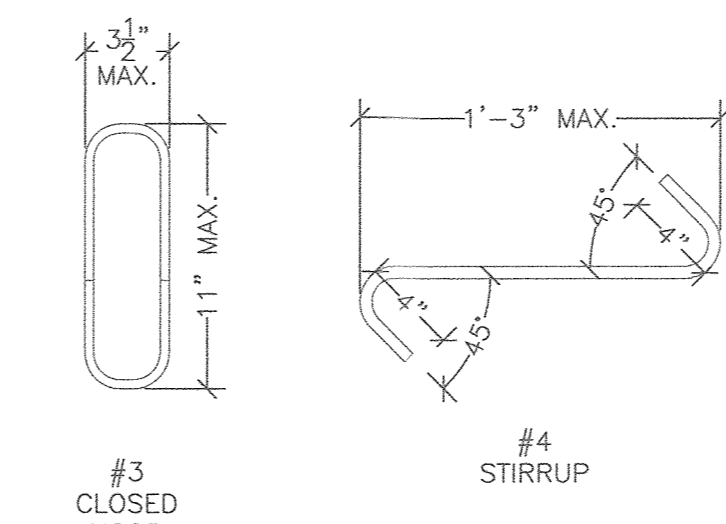
SHAFT CONSTRUCTION DETAILS



POST CONSTRUCTION DETAILS

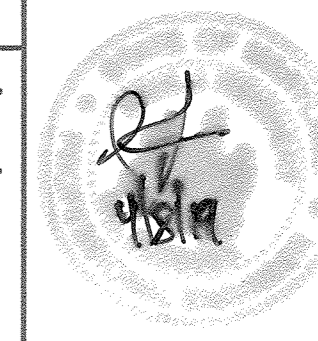


POST CROSS-SECTION



'ANG' POST CROSS-SECTION  
(POSTS 74 AND 75)

PROFESSIONAL CERTIFICATION  
I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NO. 0028829 EXPIRATION DATE: 1/15/2020



**HILLIS-CARNES**  
ENGINEERING ASSOCIATES  
10975 Guilford Road, Suite A  
Annapolis Junction, Maryland  
Ph: (410) 890-4788 WWW.HCEA.COM Fax: (410) 890-4098

**OXFORD SQUARE NOISEWALL 2 / EXTENSION**  
ELKRIDGE, HOWARD COUNTY, MD

NOISEWALL SHAFT AND POST CONSTRUCTION DETAILS

REVISIONS: 12/18/18 - ANG. POST ADDED

JOB NUMBER: 16422A DESIGNED BY: PR  
SCALE: AS SHOWN DRAWN BY: PR  
DATE: 9/28/16 APPROVED BY: PR

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

*Kathleen Dool* 6-12-19  
Chief, Division of Land Development Date

*John E. ...* 6-6-19  
Chief, Development Engineering Division Date

*Nathan ...* 6-17-19  
Director - Department of Planning and Zoning Date

**FISHER, COLLINS & CARTER, INC.**  
CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS  
CENTRAL SQUARE OFFICE PARK - 10272 BALTIMORE NATIONAL PIKE  
ELLSWORTH CITY, MARYLAND 21042  
(410) 461-2955

**Owner**  
Kellogg-CCP, LLC  
c/o David P. Scheffnacker, Jr.,  
Managing Member  
100 West Road, Suite 304  
Towson, Maryland 21204  
Ph: 410-296-3800

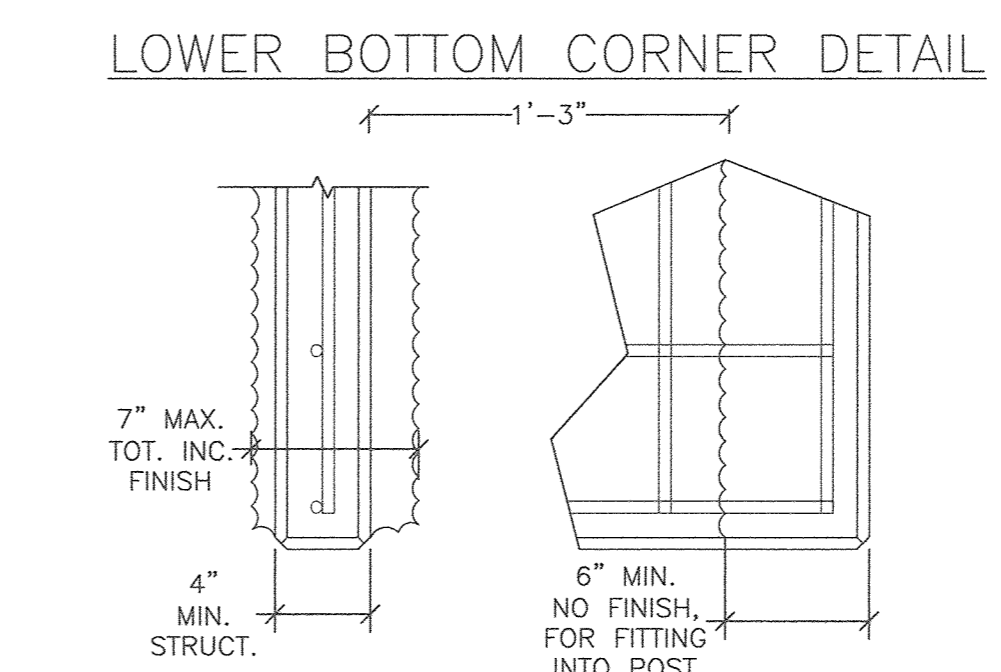
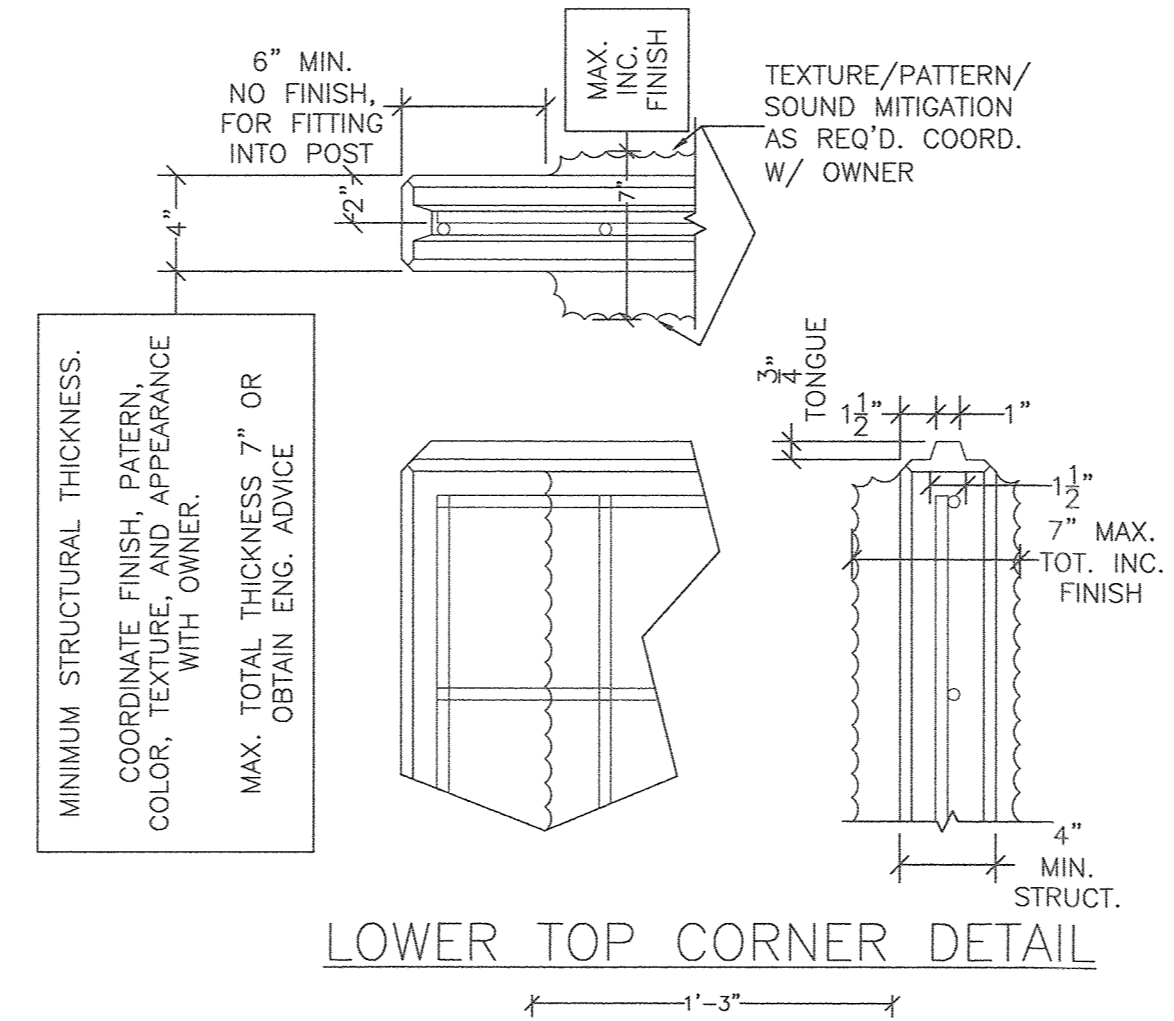
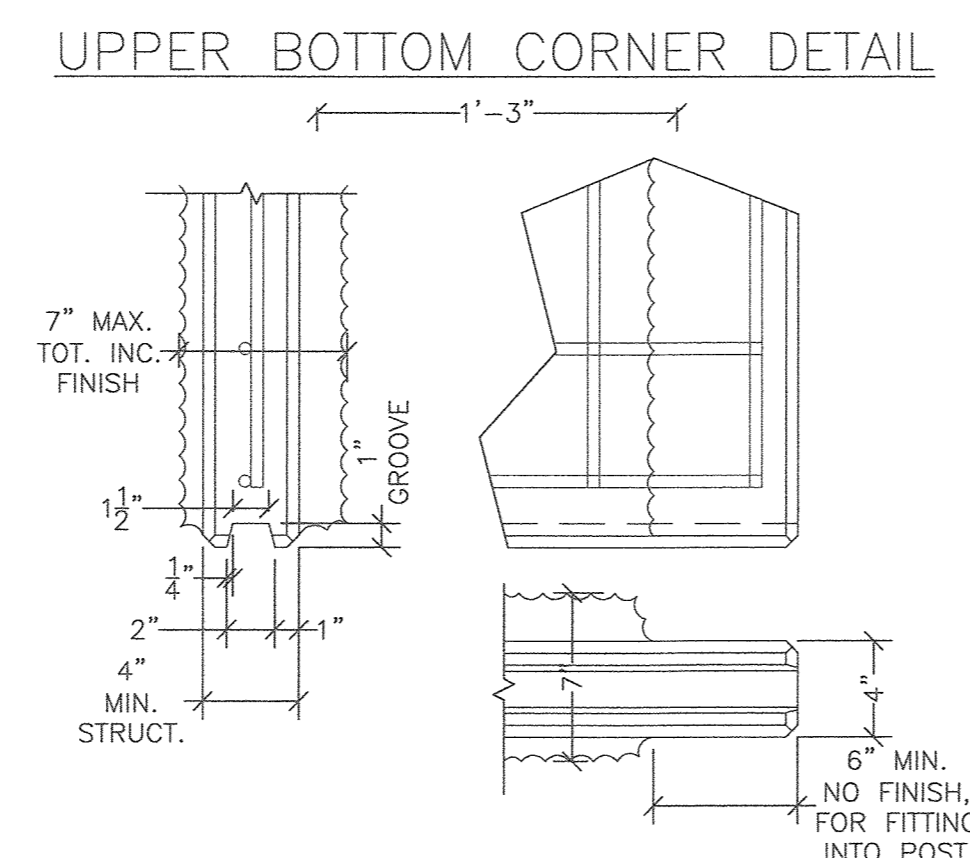
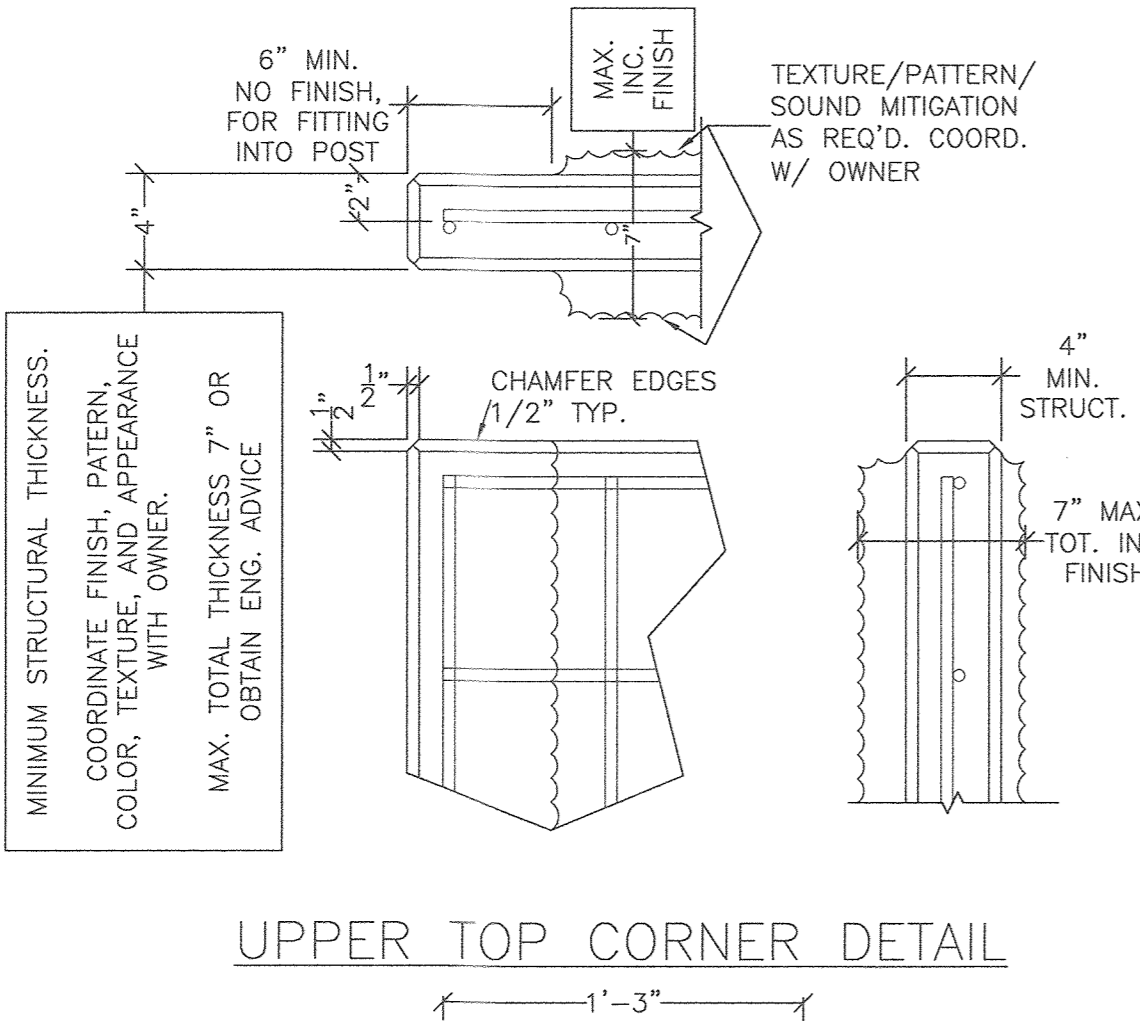
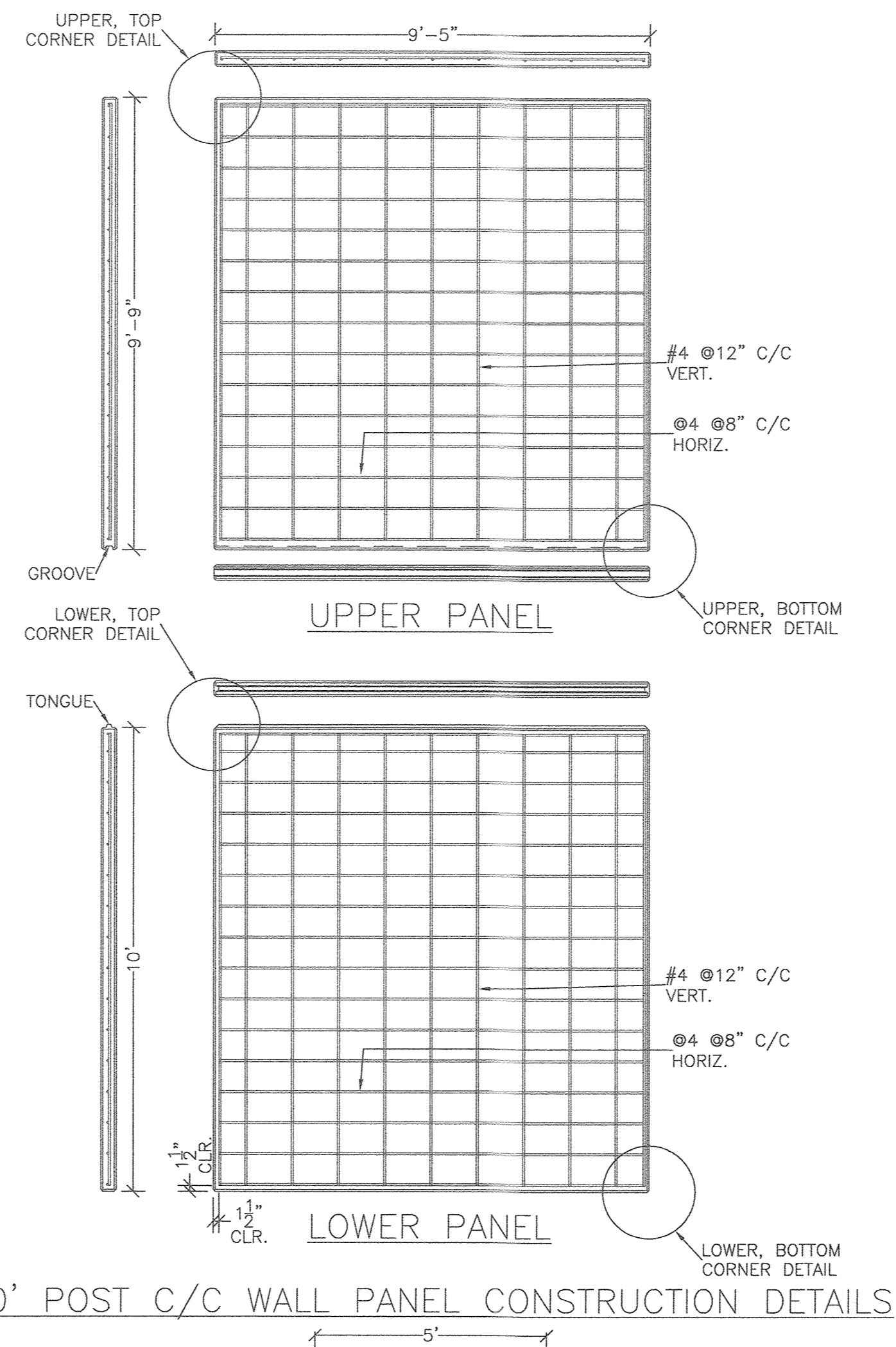
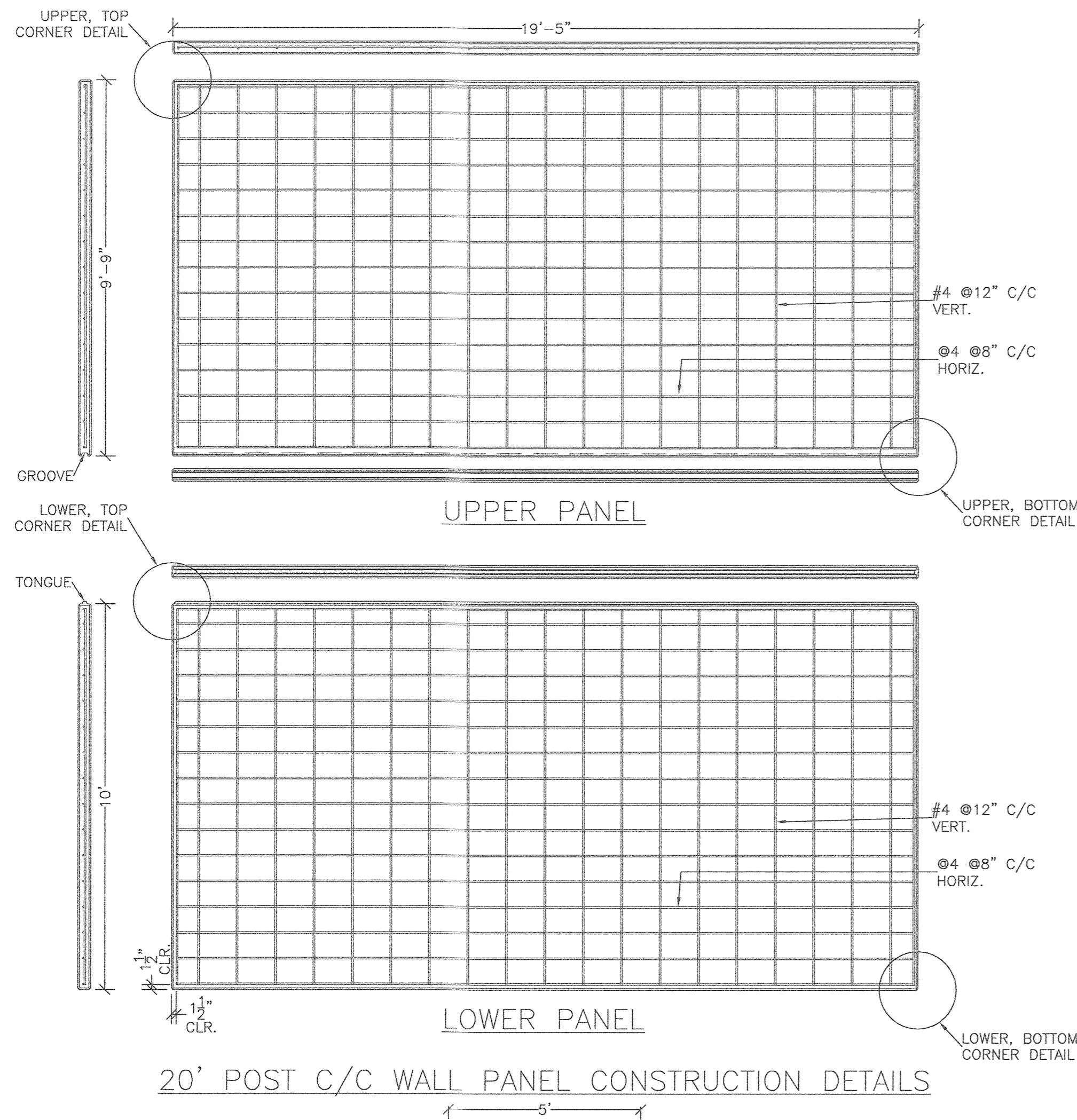
**Developer**  
Preston • Scheffnacker Properties  
100 West Road, Suite 304  
Towson, Maryland 21204  
Ph: 410-296-3800

NO.	REVISION	SECTION/AREA	LOT Nos.	DATE	
SUBDIVISION	OXFORD SQUARE - 'THE YARDS'	N/A	379-434		
PLAT NO.	25047-25050	BLOCK NO. N/A	TAX/ZONE TOD	ELEC. DIST. 30	CENSUS TR. 1st
601101					

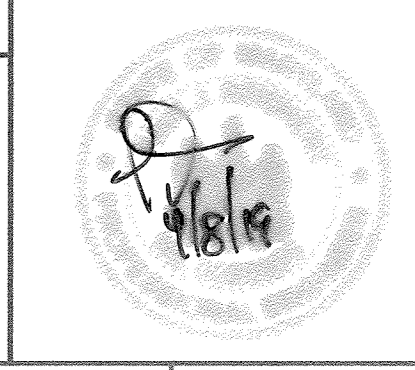
**OXFORD SQUARE**  
"A Howard County Green Neighborhood"  
LOTS 379-434, OPEN SPACE LOTS 435-440  
AND PARCEL 'H-H' & 'I-I'  
'THE YARDS'

(Being A Resubdivision Of Parcel 'G-G', As Shown On Plats Entitled "Oxford Square, "Green Neighborhood", "Parcels 'G-G', 'F-F', And Open Space Lot 377" Recorded As Plat Nos. 24351 Thru 24353) And A Resubdivision Of Parcel 'V', As Shown On Resubdivision Plat Entitled "Oxford Square, "Green Neighborhood", "Parcels 'V' Thru 'Z', 'A-A' Thru 'C-C' And Open Space Lots 244 And 245" Recorded As Plat Nos. 23710 Thru 23719)  
Zone: TOD  
Tax Map No: 30 Grid No: 20 Parcel No: 1003  
First Election District: Howard County, Maryland  
Scale: As Shown  
Date: April 5, 2019  
Sheet 38 Of 44





**PROFESSIONAL CERTIFICATION**  
 I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NO. 0028925 EXPIRATION DATE: 1/15/2020



**HILLIS-CARNES**  
 ENGINEERING ASSOCIATES  
 10975 Guilford Road, Suite A Annapolis Junction, Maryland  
 Ph: (410) 880-4788 WWW.HCEA.COM Fax: (410) 880-4098

**OXFORD SQUARE NOISEWALL 2 / EXTENSION**  
**ELKRIDGE, HOWARD COUNTY, MD**

**NOISEWALL PANEL CONSTRUCTION DETAILS**

REVISIONS: 9/17/18 POST 38 DELETED. POSTS 38A AND 38B AND 10' WALL PANEL ADDED.

NO.	REVISION	DATE

JOB NUMBER:	16422A	DESIGNED BY:	PR
SCALE:	AS SHOWN	DRAWN BY:	PR
DATE:	9/28/16	APPROVED BY:	PR

**FISHER, COLLINS & CARTER, INC.**  
 CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS  
 CENTONAL SQUARE OFFICE, PARK - 10272 BALTIMORE NATIONAL FREE  
 ELKRIOT CITY, MARYLAND 21046  
 (410) 461 - 2955

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

*Kent Deane* 6-12-19  
 Chief, Division of Land Development Date

*W. J. Smith* 5-6-19  
 Chief, Development Engineering Division Date

*Valerie J. J. J.* 6-17-19  
 Director - Department of Planning and Zoning Date

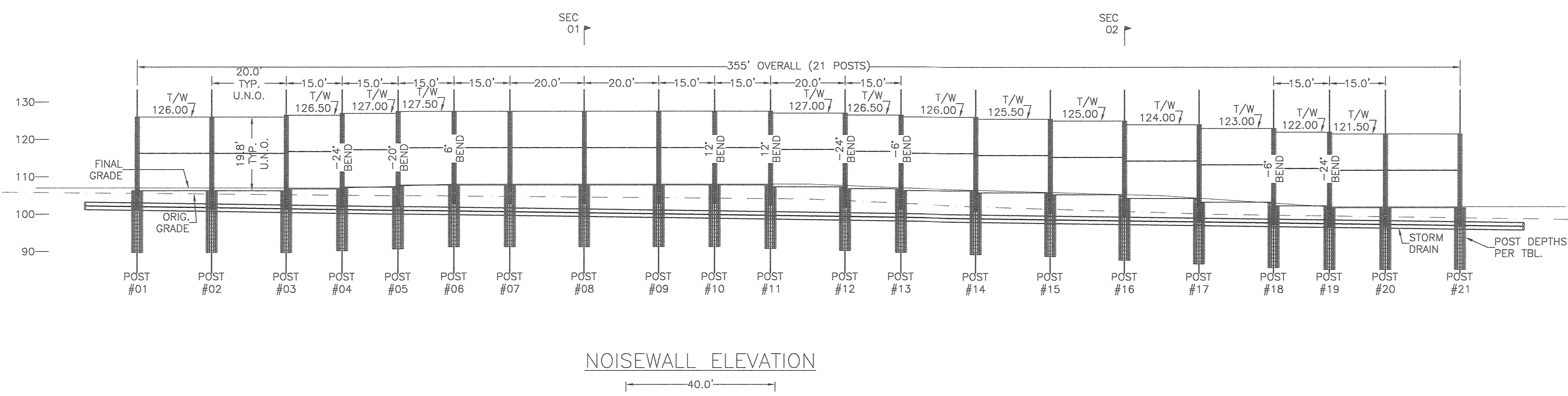
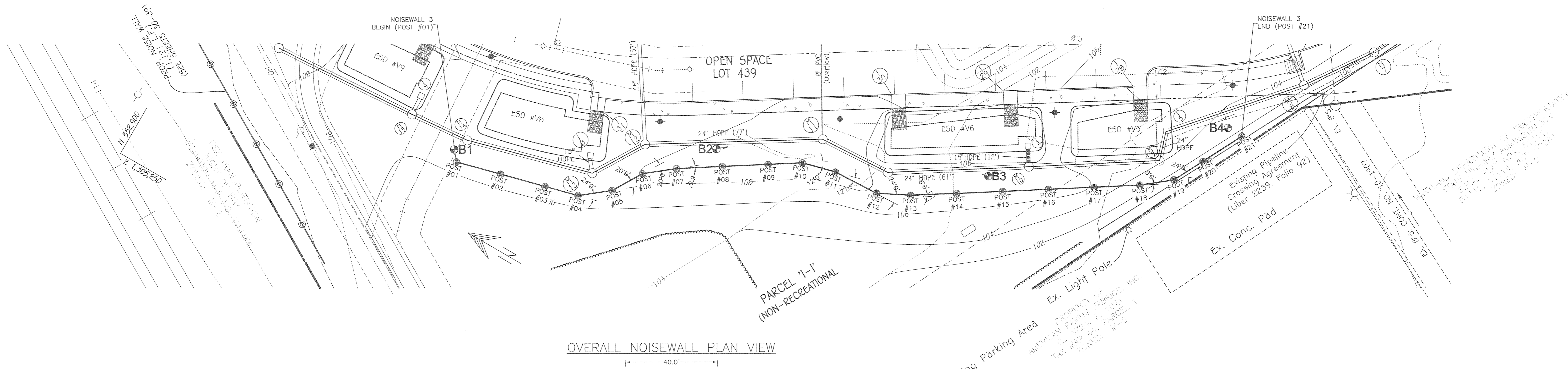
**Owner**  
 Kellogg-CCP, LLC  
 c/o David P. Scheffnacker, Jr.,  
 Managing Member  
 100 West Road, Suite 304  
 Towson, Maryland 21204  
 Ph: 410-296-3800

**Developer**  
 Preston + Scheffnacker Properties  
 100 West Road, Suite 304  
 Towson, Maryland 21204  
 Ph: 410-296-3800

SUBDIVISION	SECTION/AREA	LOT Nos.			
OXFORD SQUARE - 'THE YARDS'	N/A	379-434			
PLAT NO.	BLOCK NO.	ZONE	TAX/ZONE	ELEC. DIST.	CENSUS TR.
25047-25050	N/A	TOD	3B	1st	601101

**OXFORD SQUARE**  
 "A Howard County Green Neighborhood"  
 LOTS 379-434, OPEN SPACE LOTS 435-440  
 AND PARCEL 'H-H' & 'I-I'  
 'THE YARDS'  
 (Being A Resubdivision Of Parcel 'G-G', As Shown On Plats Entitled "Oxford Square, "Green Neighborhood",  
 Parcels 'G-G', 'F-F', And Open Space Lot 377" Recorded As Plat Nos. 24351 Thru 24353) And A  
 Resubdivision Of Parcel 'I', As Shown On Resubdivision Plat Entitled "Oxford Square, "Green Neighborhood",  
 Parcels 'I' Thru 'Z', 'A-A' Thru 'C-C' And Open Space Lots 244 And 245" Recorded As Plat Nos.  
 23710 Thru 23715)  
 Tax Map No: 38 Grid No: 20 Parcel No: 1093  
 First Election District: Howard County, Maryland  
 Scale: As Shown  
 Date: April 5, 2019  
 Sheet 39 Of 44





- HCEA NOISEWALL SHEET LIST:**
- (1): OVERALL PLAN AND PROFILE, SOIL PROFILE, AND NOTES
  - (2): NOISEWALL SECTIONS 1, AND 2
  - (3): NOISEWALL DATA TABLE AND CONSTRUCTION SEQUENCE
  - (4): NOISEWALL SHAFT AND POST CONSTRUCTION DETAILS
  - (5): NOISEWALL PANEL CONSTRUCTION DETAILS

- FOUNDATION AND NOISEWALL NOTES:**
- CONSTRUCTION TO COMPLY WITH CURRENT IBC, ACI, LOCAL CODES, RAILROAD CRITERIA (IF APPLICABLE), AND ALL PROJECT REQ'S.
  - GEOMETRY SHOWN IS BASED ON INFORMATION PROVIDED BY OTHERS. VERIFY CRITICAL DIMENSIONS (FOUNDATION LOCATIONS, ELEVATIONS, GRADES, ADJACENT UTILITIES, AND IMPROVEMENTS). RESOLVE ANY DISCREPANCY BEFORE PROCEEDING.
  - LOADS:  
DEAD, (COMPONENT WEIGHT).  
LIVE 100 PSF (SURCHARGE).  
GROUND SNOW LOAD 35 PSF.  
WIND DESIGN: 115 MPH. EXP. CAT. B.  
WIND 40 PSF MAX.

- NOTES (CONT.):**
- SEISMIC DESIGN:  
RISK CATEGORY, II (STANDARD, NON-CRITICAL STRUCTURE)  
SEISMIC IMPORTANCE FACTOR, 1.0  
MAPPED SPECTRAL RESPONSE ACC,  $SS = 0.124$ ,  $SI = 0.051$ .  
SITE CLASS, D.  
SPECTRAL RESPONSE COEFFICIENTS,  $SDS = 0.132$ ,  $SD1 = 0.081$ .  
SEISMIC DESIGN CATEGORY, B  
BASIC SEISMIC FORCE RESISTING SYSTEM, NONBUILDING STRUCTURE  
SHEAR 0.044 X W  
SEISMIC RESPONSE COEFFICIENT  $CS, 0.044$   
RESPONSE MODIFICATION COEFFICIENT R, 3  
ANALYSIS PROCEDURE USED, EQUIVALENT LATERAL FORCE.

- NOTES (CONT.):**
- FOUNDATION SOILS; EST. DEPTHS ARE BASED ON THE HCEA SUBSURFACE INVESTIGATION AND BORE LOGS OBTAINED FOR ADJACENT NOISEWALL. SOIL CONDITIONS TO BE VERIFIED AS FOUNDATIONS ARE EXCAVATED. WHERE FIELD CONDITIONS REVEAL UNACCEPTABLE (SOFT) SOILS AT THE SPECIFIED BEARING DEPTH, UNDERCUT TO A SUITABLE (2000 PSF, EQUIV.) BEARING LAYER AND REPLACE UNDERCUT MATERIAL WITH THE SHAFT CONCRETE MIX.
  - SOIL ADJACENT TO THE SHAFT WAS OVERDUG, EXCAVATED, DISTURBED BY INSTALLATION OR REMOVAL OF PIPES OR CABLE, OR VOIDS DEVELOPED AROUND THE SHAFT, REPLACE AND COMPACT TO 98% STD. PROCTOR.
  - DRILLED SHAFTS: CONSTRUCT PER ACI 336.1-01 SPECIFICATION AND 336.3R-14 RECOMMENDATIONS. SHAFT INSTALLED DEPTHS MAY BE BELOW GROUNDWATER. USE CASING, DEWATERING, AND TREMIE PLACEMENT AS COUNTERMEASURES TO MAINTAIN QUALITY IN POOR SOIL CONDITIONS.

- NOTES (CONT.):**
- (CONT.)  
DRILLED SHAFT/CAGE POSITION TOLERANCE 3" AND MAINTAIN MIN. 3" COVER.  
DRILLED SHAFT CONCRETE LOWER POUR SHALL BE 3500 PSI AT 28 DAYS.
  - SUPERSTRUCTURE / PRECAST CONCRETE. CONSTRUCT PER CURRENT ACI REQUIREMENTS.  
NOISEWALL POST SHALL BE 5000 PSI MIN. AT 28 DAYS, AIR-ENTRAINED.  
NOISEWALL PANEL AND SHAFT UPPER SHALL BE 4500 PSI MIN. AT 28 DAYS.  
POST, PANEL AND SHAFT UPPER, AIR-ENTRAINED, 0.40 MAX W/C, NO CHLORIDES.  
PLACE AND CURE CONCRETE IN ACCORDANCE WITH CURRENT ACI RECOMMENDATIONS.  
REINFORCING STEEL SHALL CONFORM TO ASTM-615 GRADE 60.  
REINFORCING SPLICES PER ACI TO DEVELOP FULL STRENGTH OF THE BAR.

- NOTES (CONT.):**
- NEOPRENE: 60 DUROMETER, CONSTRUCTION GRADE.
  - INCORPORATE PROJECT-SPECIFIC QC AS REQ'D BY CONTRACT / OWNER.  
NOISEWALL POST POSITION TOLERANCE 1".  
CONCRETE MEMBER POSITIONS, DIMENSIONS, AND SURFACE QUALITY PER ACI UNLESS OTHERWISE NOTED.  
CONCRETE SAMPLING: ONE SET OF (6) 4X8 CYLINDERS FOR:  
-EACH 50 YDS. PLACED.  
-EACH DAY CONCRETE IS PLACED (<50 YDS.)  
-EACH MIX DESIGN PLACED PER DAY (WHEN PLACING MORE THAN 1 MIX).  
PROVIDE MILL CERTS FOR REINFORCING STEEL.  
MIX DESIGNS WITH MATERIAL AND ADMIXTURE SPECS,  
BATCH TICKETS FOR ALL CONCRETE PLACED

**PROFESSIONAL CERTIFICATION**  
I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.  
LICENSE NO. 0028925  
EXPIRATION DATE: 1/15/2020



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Ph: (410) 880-4788 WWW.HCEA.COM Fax: (410) 880-4098

**OXFORD SQUARE NOISEWALL 3**  
**ELKRIDGE, HOWARD COUNTY, MD**

**OVERALL PLAN AND PROFILE, AND NOTES**

NO.	REVISION	SECTION/AREA	DATE

JOB NUMBER:	16422B	DESIGNED BY:	PR
SCALE:	AS SHOWN	DRAWN BY:	PR
DATE:	11/30/18	APPROVED BY:	PR

**FISHER, COLLINS & CARTER, INC.**  
CENTRAL SQUARE OFFICE BLDG. - 10732 BALTIMORE NATIONAL PIKE  
BLADDETT CITY, MARYLAND 21142  
(410) 461-2895

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

*Karl Schindler* 6-12-19  
Chief, Division of Land Development

*Val Anzures* 5-6-19  
Chief, Development Engineering Division

*Val Anzures* 6-17-19  
Director - Department of Planning and Zoning

**Owner**  
Kellogg-CCP, LLC  
c/o David P. Scheffnacker, Jr.,  
Managing Member  
100 West Road, Suite 304  
Towson, Maryland 21204  
Ph: 410-296-3800

**Developer**  
Preston - Scheffnacker Properties  
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Towson, Maryland 21204  
Ph: 410-296-3800

NO.	REVISION	SECTION/AREA	DATE

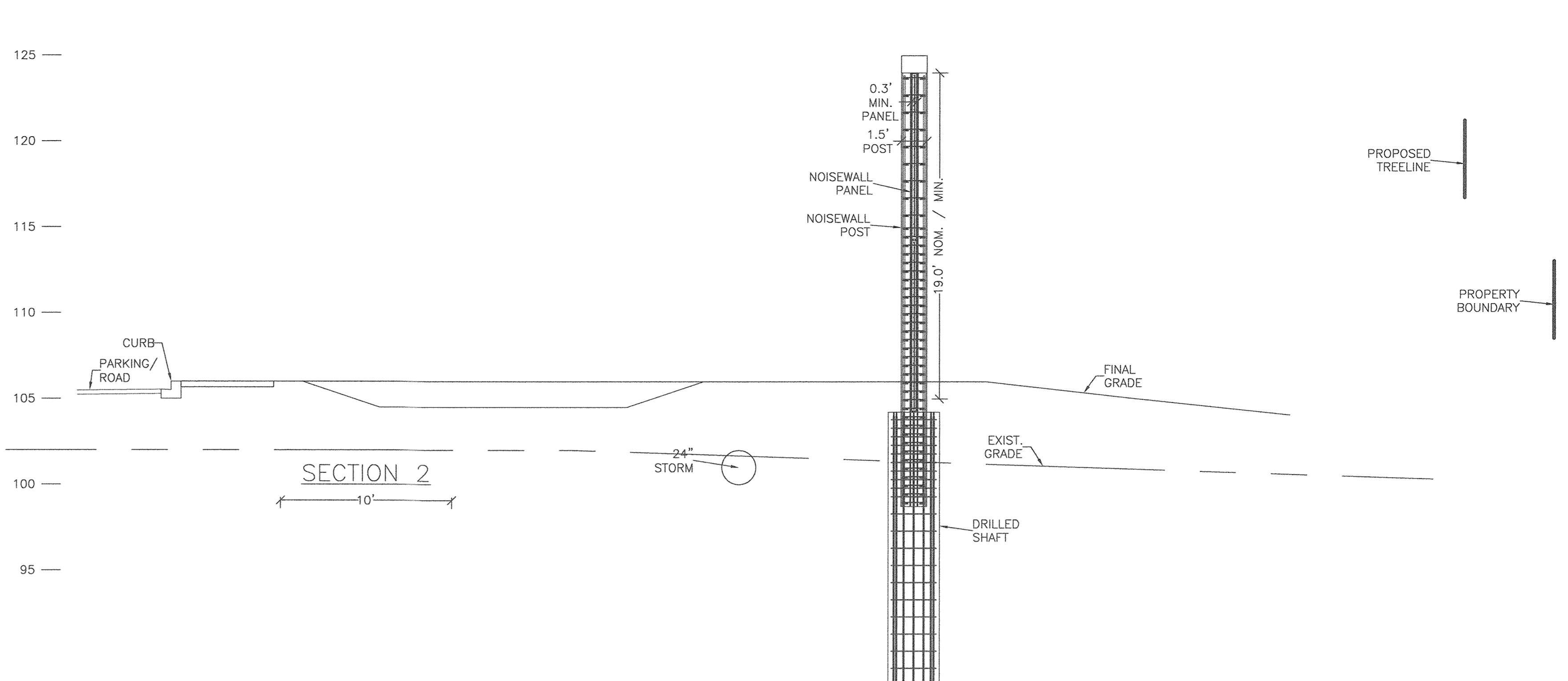
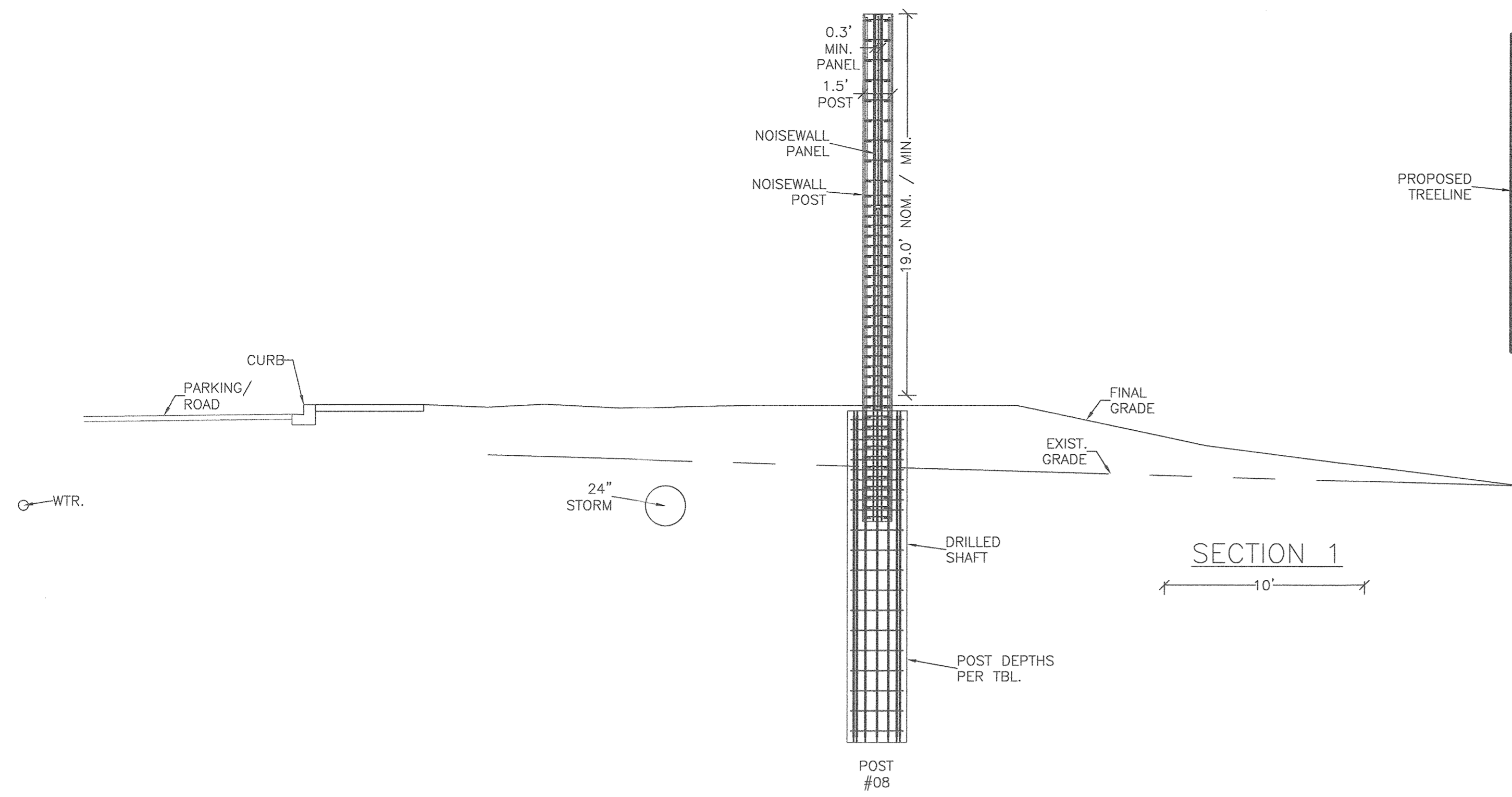
NO.	REVISION	SECTION/AREA	DATE

**OXFORD SQUARE**  
"A Howard County Green Neighborhood"  
LOTS 379-434, OPEN SPACE LOTS 435-440  
AND PARCEL "H-H" & "I-I"  
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(Being A Resubdivision Of Parcel "G-G", As Shown On Plats Entitled "Oxford Square, "Green Neighborhood", Parcels "G-G", "F-F", And Open Space Lot 377" Recorded As Plat Nos. 24351 Thru 24353) And A Resubdivision Of Parcel "V", As Shown On Resubdivision Plat Entitled "Oxford Square, "Green Neighborhood", Parcels "V" Thru "Z", "A-A" Thru "C-C" And Open Space Lots 244 And 245" Recorded As Plat Nos. 23710 Thru 23715)

Zone: TOD  
Tax Map No.: 38 Grid No.: 20 Parcel No.: 1003  
First Election District: Howard County, Maryland  
Date: April 5, 2019  
Scale: As Shown  
Sheet 40 Of 44





**HILLIS - CARNES ENGINEERING ASSOCIATES, INC. RECORD OF SOIL EXPLORATION**

Project Name: Oxford Square Noise Wall 3 Boring No. B-1  
 Location: Banbury Dr., Hanover, MD Job # 16422B

Date: 3/8/2019  
 Hammer Wt: 140 lbs Hole Diameter: 6 in Foreman: N. Lazaro  
 Surf. Elev: Hammer Drop: 30 in Rock Core Diameter: NA Inspector:  
 Date Started: 3/8/2019 Pipe Size (O.D.): 2.0 in Boring Method: HSA Date Completed: 3/8/2019

Elevation (Depth) (ft)	SOIL SYMBOLS & SAMPLE CONDITIONS	Description	Boring and Sampling Notes	Sample No.	Rec. (in)	NM (%)	SPT Blows		
							N	10	30
0		Tan orange and dark gray, moist, loose, silty SAND, some gravel, trace clay (SM, FILL)	No topsoil	1	10	2-2.4	6		
2		Dark gray and white, moist, medium dense, GRAVEL, some sand and silt, trace clay (GM, FILL)		2	10	3-2.5	7		
3		Orange-brown, moist, medium dense, SAND, some silt and clay, trace gravel (SC)		3	14	5-6.6	12		
4		Tan-brown with orange-brown, very moist, SAND, some silt and silt, trace clay (SM)		4	7	4-12.13	25		
5		trace clay	Groundwater encountered at 13.5 ft while drilling	5	15	6-10.11	21		
6		Orange-brown, very moist, medium dense, SAND, some clay, trace gravel (SC)		6	15	9-11.13	24		
7		Gray with orange-brown, moist, medium dense to dense, SAND, some clay, some trace gravel (SC)		7	16	6-9.11	20		
8		Orange-brown, wet, medium dense, sandy GRAVEL, coarse sand, some clay (GC)	Boring backfilled at completion	8	15	32-20.19	39		

SAMPLER TYPE: DRIVEN SPLIT SPOON UNLESS OTHERWISE INDICATED  
 SAMPLE CONDITIONS: D-DISINTEGRATED, I-INTACT, L-LOOSE, L-LOST  
 AT COMPLETION: D-DISINTEGRATED, I-INTACT, L-LOOSE, L-LOST  
 GROUND WATER: DRY, WET  
 CAVE IN DEPTH: 15.0 ft  
 BORING METHOD: HSA - HOLLOW STEM AUGERS, QCA - CONTINUOUS FLIGHT AUGERS, DC - DRIVING CASING, MD - MUD DRILLING

**HILLIS - CARNES ENGINEERING ASSOCIATES, INC. RECORD OF SOIL EXPLORATION**

Project Name: Oxford Square Noise Wall 3 Boring No. B-2  
 Location: Banbury Dr., Hanover, MD Job # 16422B

Date: 3/7/2019  
 Hammer Wt: 140 lbs Hole Diameter: 6 in Foreman: D. Addison  
 Surf. Elev: Hammer Drop: 30 in Rock Core Diameter: NA Inspector:  
 Date Started: 3/7/2019 Pipe Size (O.D.): 2.0 in Boring Method: HSA Date Completed: 3/7/2019

Elevation (Depth) (ft)	SOIL SYMBOLS & SAMPLE CONDITIONS	Description	Boring and Sampling Notes	Sample No.	Rec. (in)	NM (%)	SPT Blows		
							N	10	30
0		(No recovery)		1	0	1-1.1	2		
2		Light brown, moist, medium dense, silty SAND, some gravel (SM, possible FILL) (top recovery)		2	1	4-5.6	11		
3		Orange-brown, moist, medium dense, SAND, some silt and clay, trace gravel (SC)		3	14	2-10-13	23		
4		Tan-brown with orange-brown, very moist, SAND, some silt and silt, trace clay (SM)		4	12	4-5-10	15		
5		Red-brown to orange-brown, moist, medium dense to loose, coarse SAND, some clay, trace gravel and silt (SC)	Groundwater encountered at 14.0 ft while drilling	5	18	5-10-14	24		
6		Orange-brown, wet, medium dense, coarse SAND, trace silt (SP-SM)		6	18	4-4.4	8		
7		Orange-brown, wet, medium dense, sandy GRAVEL, coarse sand, some clay (GC)		7	10	6-7-11	18		
8		White and orange-brown, moist, loose, coarse SAND, some clay and silt (SC)	Boring backfilled after 24 hrs	8	18	3-3.5	8		

SAMPLER TYPE: DRIVEN SPLIT SPOON UNLESS OTHERWISE INDICATED  
 SAMPLE CONDITIONS: D-DISINTEGRATED, I-INTACT, L-LOOSE, L-LOST  
 AT COMPLETION: D-DISINTEGRATED, I-INTACT, L-LOOSE, L-LOST  
 GROUND WATER: WET  
 CAVE IN DEPTH: 10.0 ft  
 BORING METHOD: HSA - HOLLOW STEM AUGERS, QCA - CONTINUOUS FLIGHT AUGERS, DC - DRIVING CASING, MD - MUD DRILLING

**HILLIS - CARNES ENGINEERING ASSOCIATES, INC. RECORD OF SOIL EXPLORATION**

Project Name: Oxford Square Noise Wall 3 Boring No. B-3  
 Location: Banbury Dr., Hanover, MD Job # 16422B

Date: 3/7/2019  
 Hammer Wt: 140 lbs Hole Diameter: 6 in Foreman: D. Addison  
 Surf. Elev: Hammer Drop: 30 in Rock Core Diameter: NA Inspector:  
 Date Started: 3/7/2019 Pipe Size (O.D.): 2.0 in Boring Method: HSA Date Completed: 3/7/2019

Elevation (Depth) (ft)	SOIL SYMBOLS & SAMPLE CONDITIONS	Description	Boring and Sampling Notes	Sample No.	Rec. (in)	NM (%)	SPT Blows		
							N	10	30
0		Gray-beige with orange-brown, moist, very loose, clayey SAND (SC, possible FILL)		1	14	WCH-1-1	2		
2		Brown and gray, moist, medium dense, SAND, some silt and clay (SC)		2	16	16.0	2-4.7	11	
3		Orange-brown and orange gray, very moist, medium dense, SAND, clayey to trace clay, some gravel and silt, trace organics (SC, possible FILL)		3	14	3-7.9	16		
4		Orange-brown and tan, very moist, SAND, some gravel and silt (SM)		4	16	6-9.9	18		
5		Orange-brown and tan, very moist, fine SAND, some silt (SM)	Groundwater encountered at 13.5 ft while drilling	5	18	6-5.7	12		
6		Orange-brown and gray-brown, wet, medium dense to very dense, coarse SAND, trace silt (SP-SM)		6	14	5-8.8	16		
7		Orange-brown, wet, medium dense, sandy GRAVEL, coarse sand, trace silt (GP-GM)		7	8	4-13-15	28		
8		White and orange, very moist, medium dense, coarse SAND, some clay and silt (SC)	Boring backfilled after 24 hrs	8	18	7-8.8	16		

SAMPLER TYPE: DRIVEN SPLIT SPOON UNLESS OTHERWISE INDICATED  
 SAMPLE CONDITIONS: D-DISINTEGRATED, I-INTACT, L-LOOSE, L-LOST  
 AT COMPLETION: D-DISINTEGRATED, I-INTACT, L-LOOSE, L-LOST  
 GROUND WATER: WET  
 CAVE IN DEPTH: 12.5 ft  
 BORING METHOD: HSA - HOLLOW STEM AUGERS, QCA - CONTINUOUS FLIGHT AUGERS, DC - DRIVING CASING, MD - MUD DRILLING

**HILLIS - CARNES ENGINEERING ASSOCIATES, INC. RECORD OF SOIL EXPLORATION**

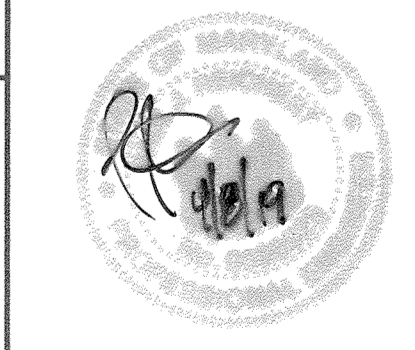
Project Name: Oxford Square Noise Wall 3 Boring No. B-4  
 Location: Banbury Dr., Hanover, MD Job # 16422B

Date: 3/7/2019  
 Hammer Wt: 140 lbs Hole Diameter: 6 in Foreman: D. Addison  
 Surf. Elev: Hammer Drop: 30 in Rock Core Diameter: NA Inspector:  
 Date Started: 3/7/2019 Pipe Size (O.D.): 2.0 in Boring Method: HSA Date Completed: 3/7/2019

Elevation (Depth) (ft)	SOIL SYMBOLS & SAMPLE CONDITIONS	Description	Boring and Sampling Notes	Sample No.	Rec. (in)	NM (%)	SPT Blows		
							N	10	30
0		Brown and gray, moist, loose, silty clay, some sand and organics (GM, FILL)	4" topsoil	1	6	4-4.4	8		
2		Light gray and orange-brown, soft, CLAY, some sand and silt, trace organics (CL, possible FILL)		2	12	1-2-2	4		
3		Dark brown, very moist, medium stiff, CLAY, some silt and sand, possible plug (CL, possible FILL)		3	8	1-2-4	7		
4		Orange-brown and tan, very moist, SAND, some gravel and silt (SM)		4	14	3-5.6	11		
5		Light gray with orange, very moist, fine SAND, some silt (SM)	Groundwater encountered at 16.7 ft while drilling	5	12	1-3-4	7		
6		Orange-brown and light gray, wet, loose, SAND, some silt and gravel, trace clay (SM)		6	16	5-11-15	28		
7		Orange-brown, wet, medium dense, coarse SAND, trace silt (SP-SM)		7	18	19-24-32	65		
8		Orange-brown, wet, sandy GRAVEL, coarse sand, trace clay (GP-GC)	Boring backfilled after 24 hrs	8	18	3-4-5	9		

SAMPLER TYPE: DRIVEN SPLIT SPOON UNLESS OTHERWISE INDICATED  
 SAMPLE CONDITIONS: D-DISINTEGRATED, I-INTACT, L-LOOSE, L-LOST  
 AT COMPLETION: D-DISINTEGRATED, I-INTACT, L-LOOSE, L-LOST  
 GROUND WATER: WET  
 CAVE IN DEPTH: 13.0 ft  
 BORING METHOD: HSA - HOLLOW STEM AUGERS, QCA - CONTINUOUS FLIGHT AUGERS, DC - DRIVING CASING, MD - MUD DRILLING

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**OXFORD SQUARE NOISEWALL 3**  
**ELKCRIDGE, HOWARD COUNTY, MD**

**NOISEWALL SECTIONS 1-2 AND LOGS**

REVISIONS: 11/30/18 ORIG. 4/5/19 FINN. UPDATE

JOB NUMBER: 16422A DESIGNED BY: PR  
 SCALE: AS SHOWN DRAWN BY: PR  
 DATE: 11/30/18 APPROVED BY: PR

**FISHER, COLLINS & CARTER, INC.**  
 CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS  
 CENTRAL SQUARE OFFICE PARK - 10775 BALTIMORE NATIONAL PIKE  
 ELIZOFT CITY, MARYLAND 21042  
 (410) 461-2895

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

*Kurt Anderson* 6-12-19  
 Chief, Division of Land Development Date

*John Clark* 5-6-19  
 Chief, Development Engineering Division Date

*William J. Davis* 6-17-19  
 Director - Department of Planning and Zoning Date

**Owner**  
 Kellogg-COP, LLC  
 c/o David P. Scheffenacker, Jr.,  
 Managing Member  
 100 West Road, Suite 304  
 Towson, Maryland 21204  
 Ph: 410-296-3800

**Developer**  
 Preston • Scheffenacker Properties  
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 Towson, Maryland 21204  
 Ph: 410-296-3800

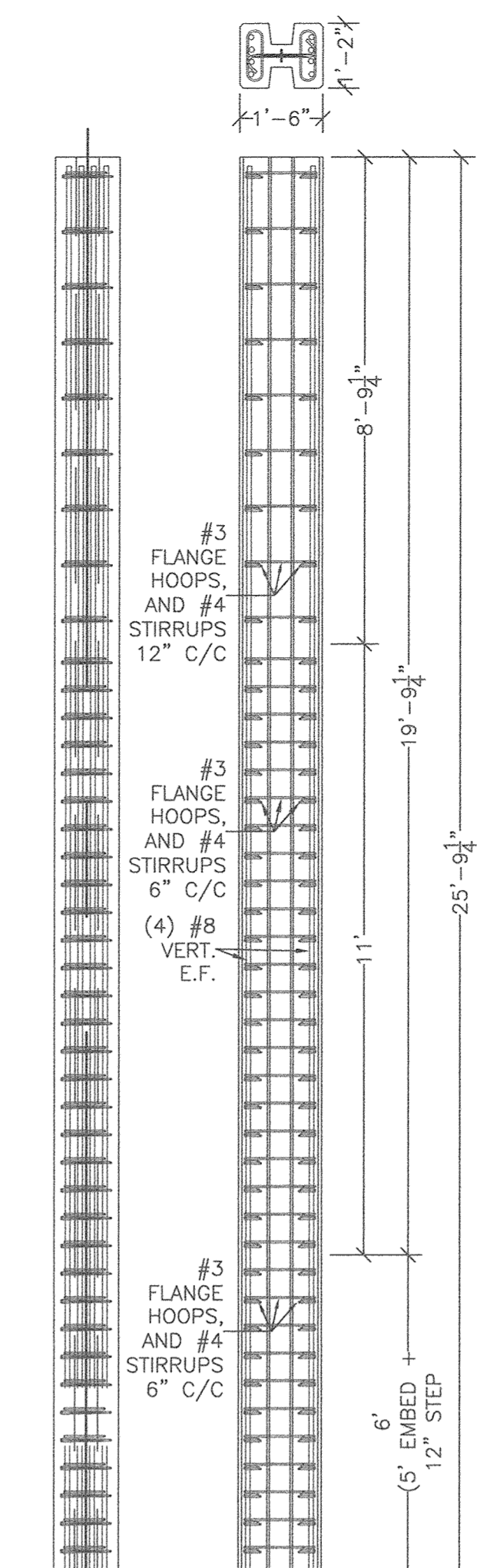
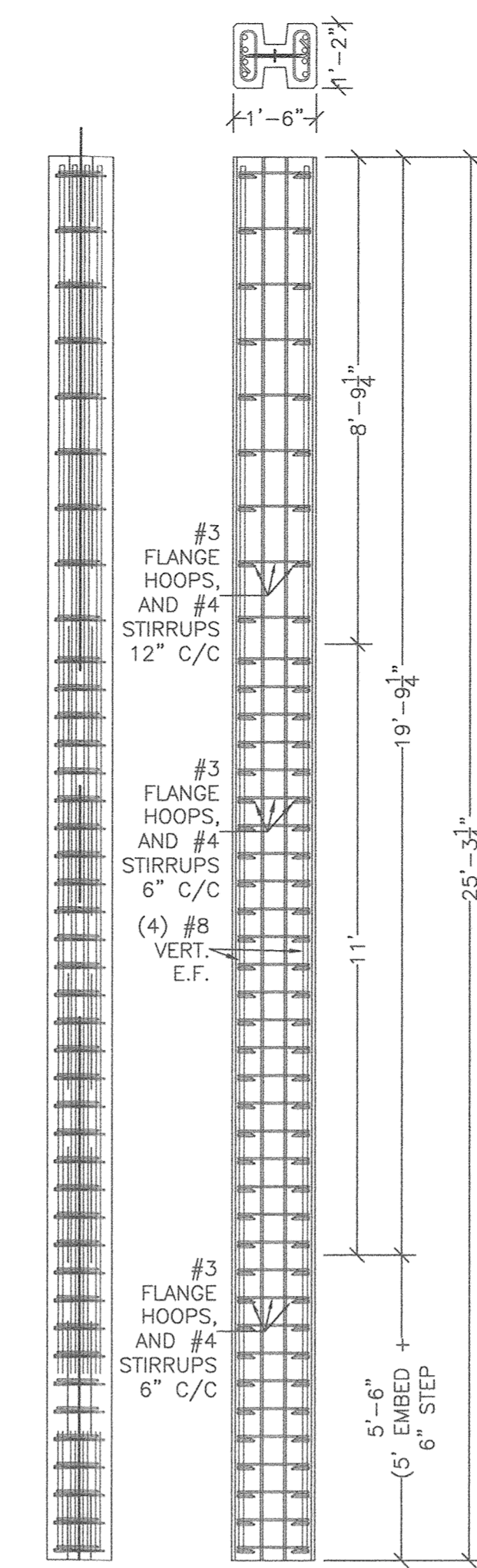
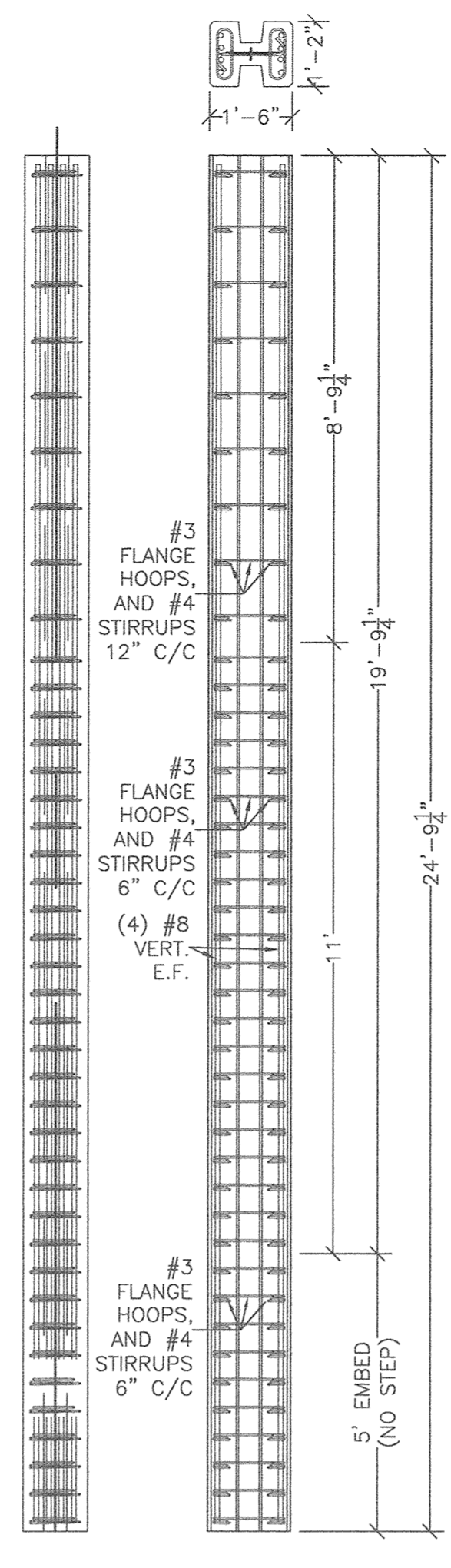
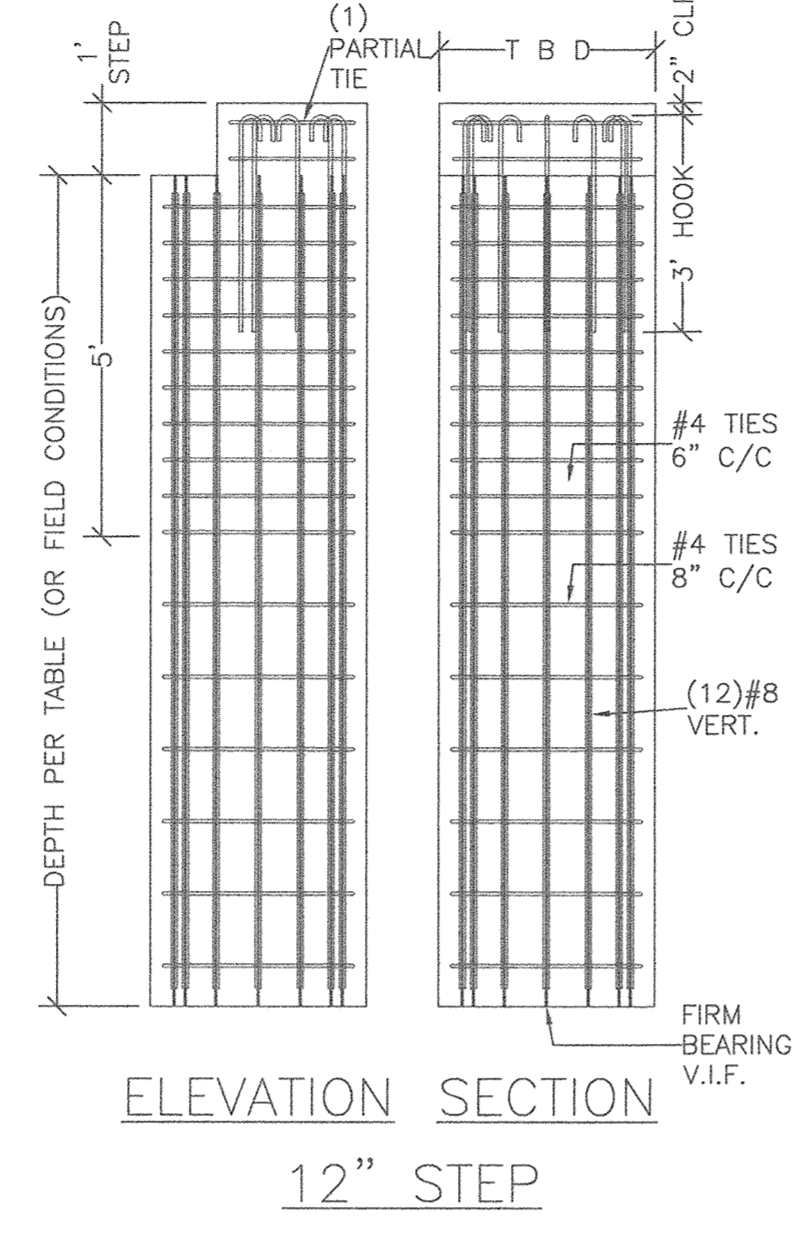
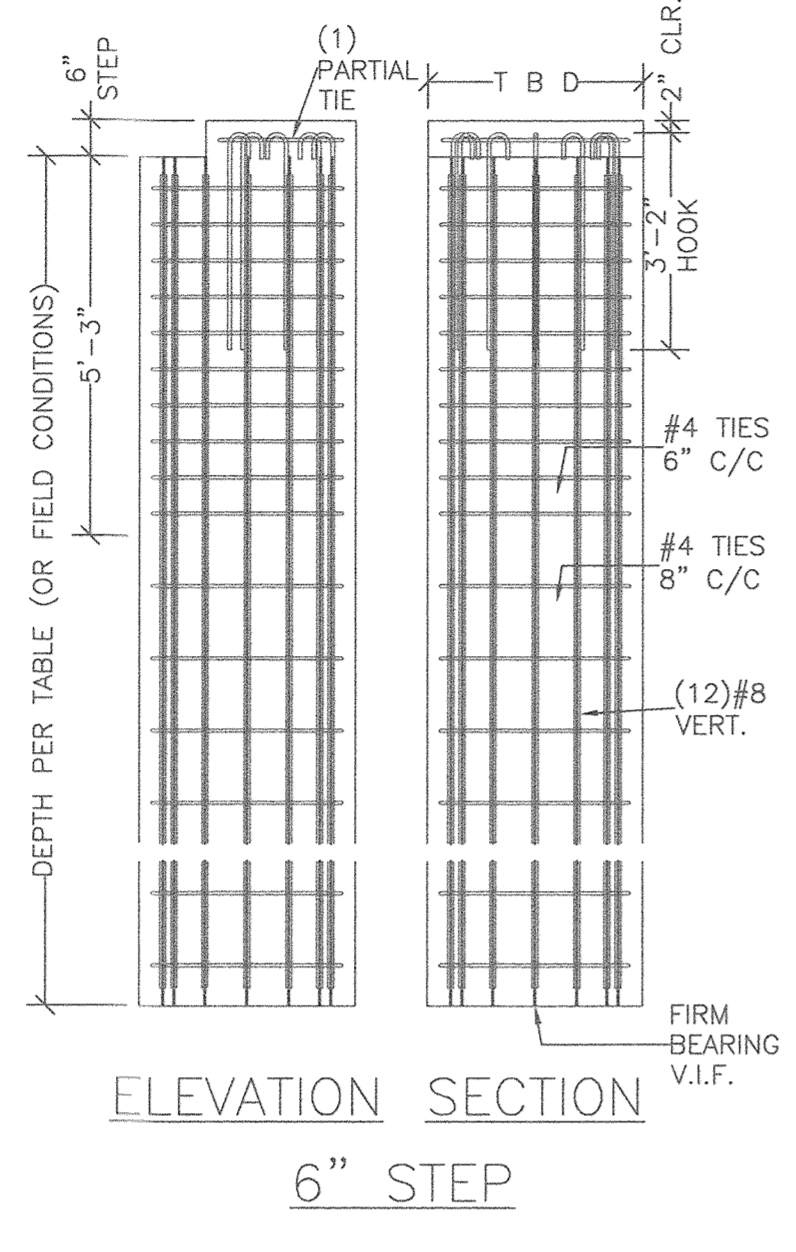
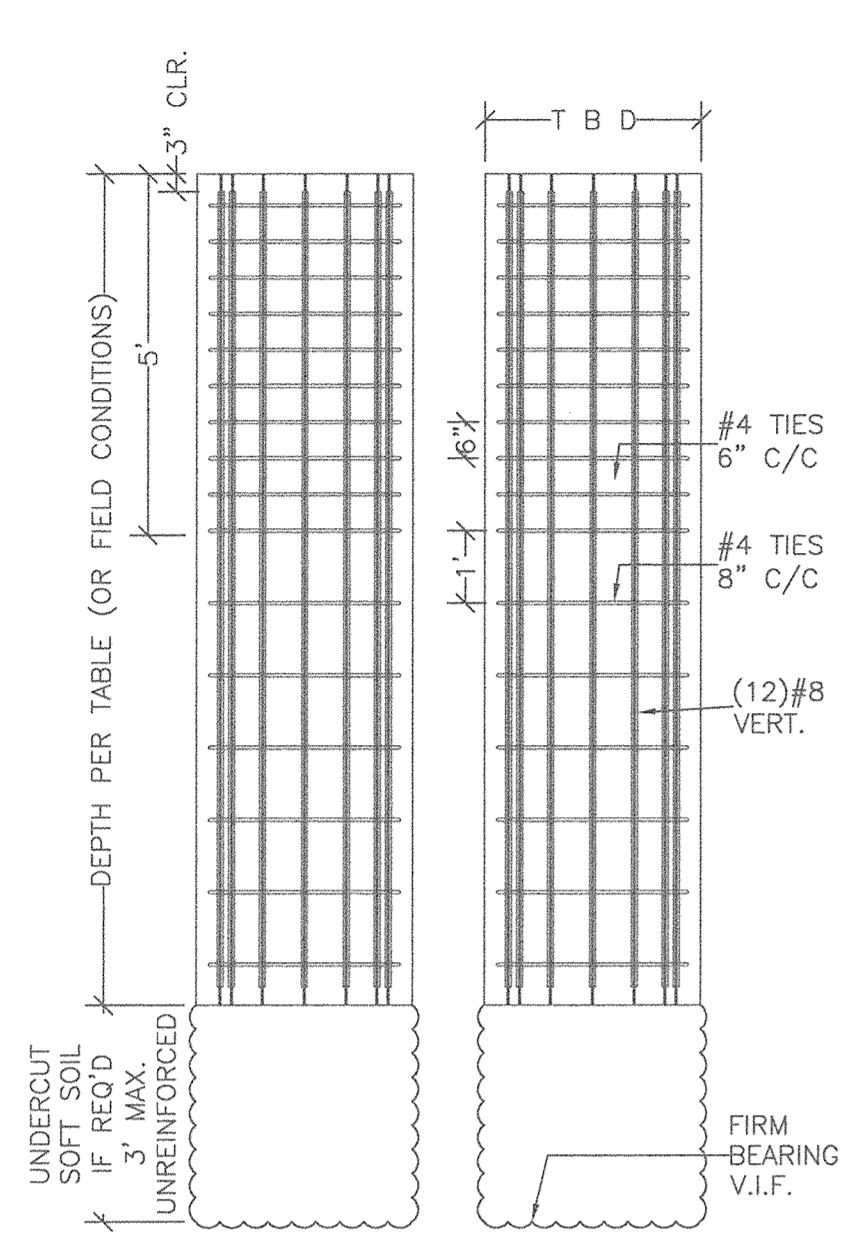
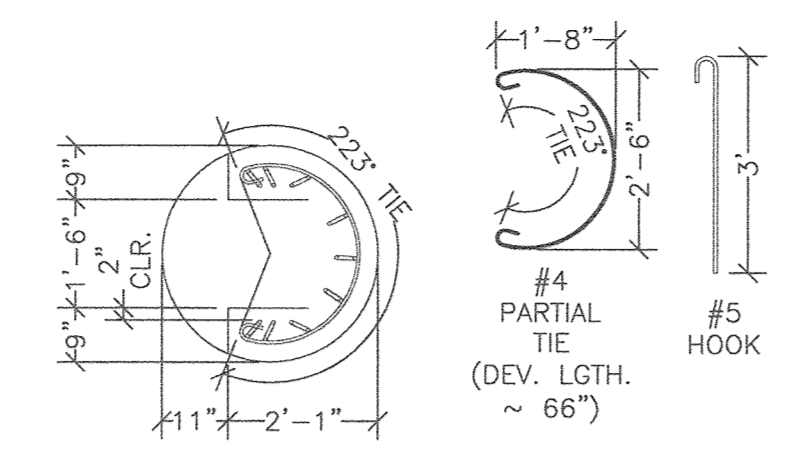
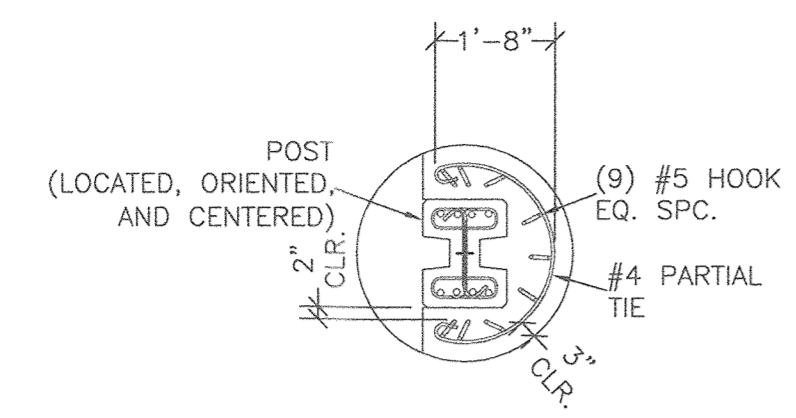
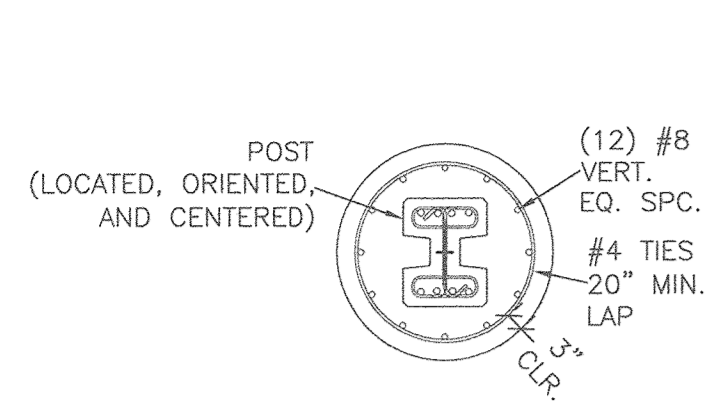
NO.	REVISION	SECTION/AREA	DATE
SUBDIVISION	OXFORD SQUARE - 'THE YARDS'	SECTION/AREA N/A	LOT No. 379-434
PLAT NO.	25047-25050	BLOCK NO. N/A	ZONE TOD
		TAX/ZONE 3B	ELEC. DIST. 1st.
		CENSUS TR. 601101	

**OXFORD SQUARE**  
 "A Howard County Green Neighborhood"  
 LOTS 379-434, OPEN SPACE LOTS 435-440 & PARCEL 'H-H' 'THE YARDS'  
 (Being A Resubdivision Of Parcel "G-G", As Shown On Plats Entitled "Oxford Square, "Green Neighborhood", Parcels "G-G", "F-F", And Open Space Lot 377" Recorded As Plat Nos. 24351 Thru 24353) And A Resubdivision Of Parcel "V", As Shown On Resubdivision Plat Entitled "Oxford Square, "Green Neighborhood", Parcels "V" Thru "Z", "A-A" Thru "C-C" And Open Space Lots 244 And 245" Recorded As Plat Nos. 23710 Thru 23715)  
 Zoned: TOD  
 Tax Map No.: 38 Grid No.: 20 Parcel No.: 1003  
 First Election District: Howard County, Maryland  
 Date: April 5, 2019  
 Scale: As Shown  
 Sheet 41 Of 44









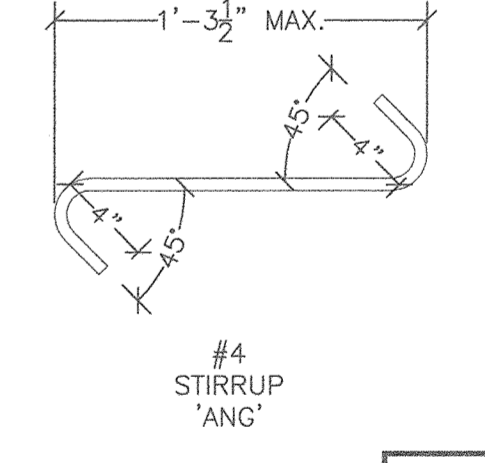
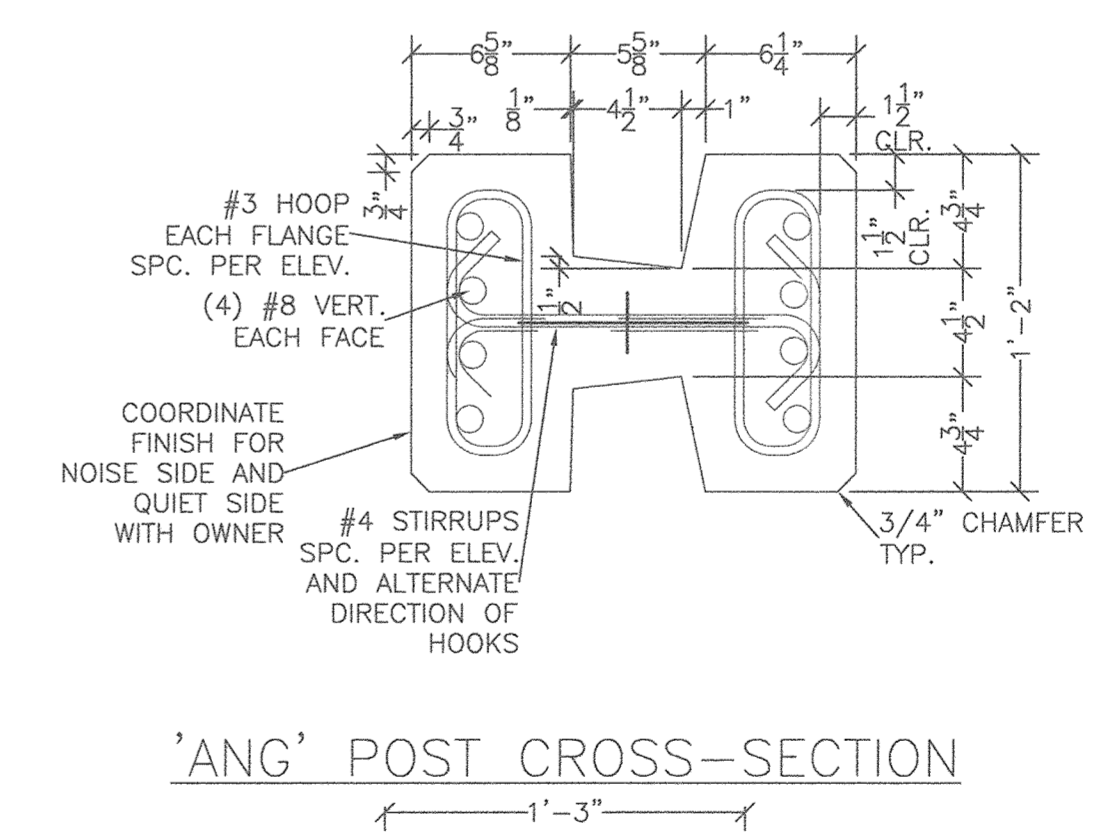
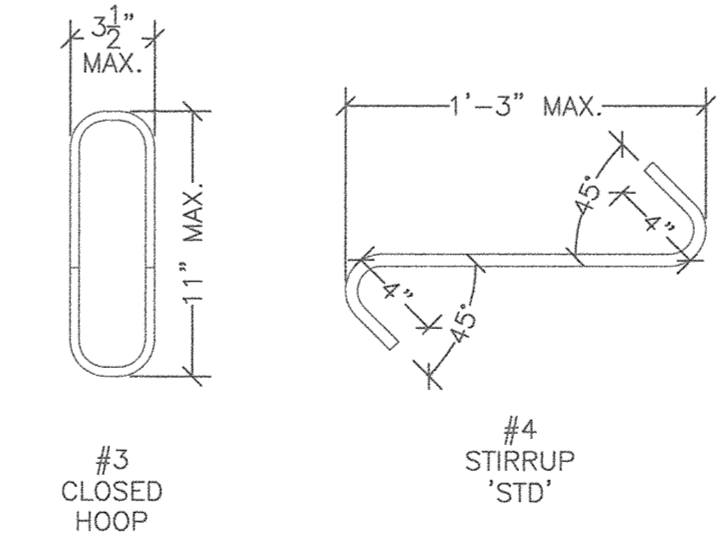
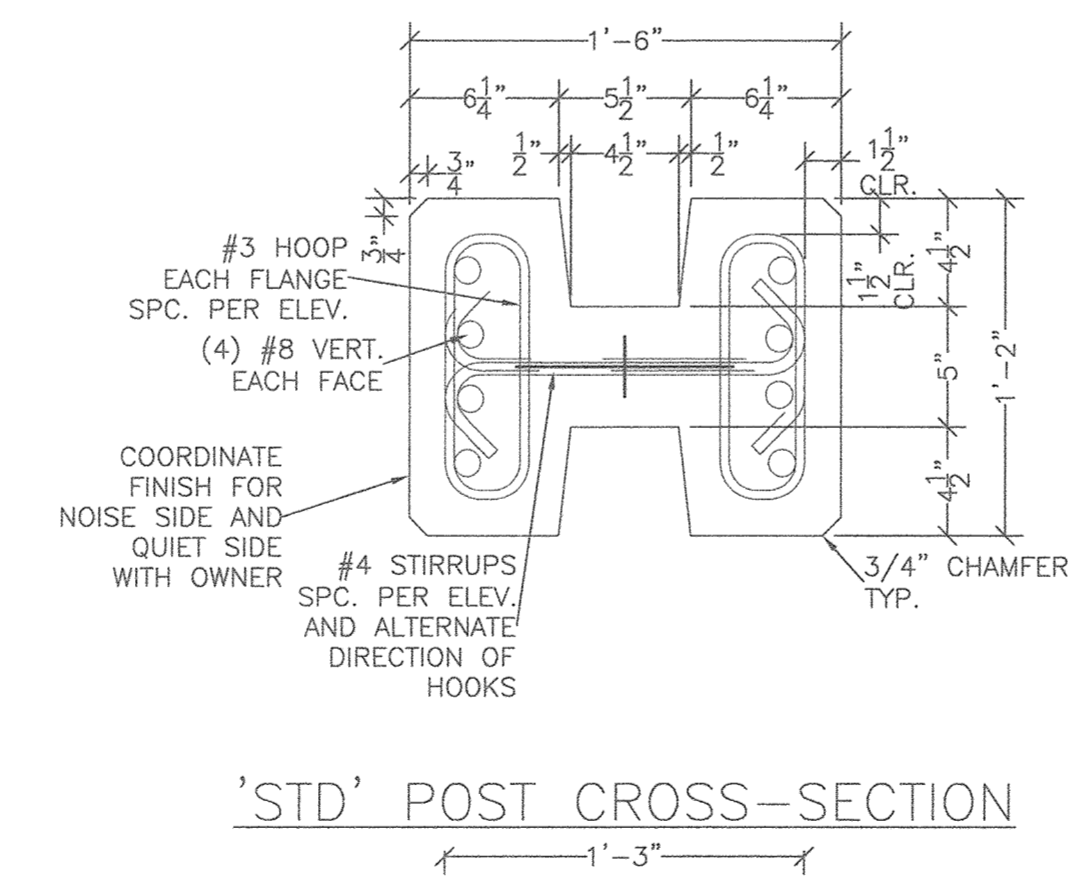
ELEVATION SECTION  
NO STEP

ELEVATION SECTION  
6" STEP

ELEVATION SECTION  
12" STEP

POST CONSTRUCTION DETAILS

SHAFT CONSTRUCTION DETAILS



**PROFESSIONAL CERTIFICATION**  
I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 0028925  
EXPIRATION DATE: 1/15/2020



**HILLIS-CARNES**  
ENGINEERING ASSOCIATES  
10975 Guilford Road, Suite A Annapolis Junction, Maryland  
Ph: (410) 880-4788 WWW.HCEA.COM Fax: (410) 880-4098

**OXFORD SQUARE NOISEWALL 3**  
**ELKRIDGE, HOWARD COUNTY, MD**

**NOISEWALL SHAFT AND POST CONSTRUCTION DETAILS**

REVISIONS:	11/30/18 - ORIG. 4/5/19 FNDN. UPDATE
JOB NUMBER:	16422B
SCALE:	AS SHOWN
DATE:	11/30/18
DESIGNED BY:	PR
DRAWN BY:	PR
APPROVED BY:	PR

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

*Kent Sandwick* 6-12-19  
Chief, Division of Land Development Date

*Chad Clark* 5-6-19  
Chief, Development Engineering Division Date

*William J. Davis* 6-17-19  
Director - Department of Planning and Zoning Date

**FISHER, COLLINS & CARTER, INC.**  
CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS  
CENTRAL SQUARE OFFICE PARK - 10278 BALTIMORE NATIONAL PIKE  
ELIJAH CITY, MARYLAND 21042  
(410) 461 - 2895

**Owner**  
Kelloog-CCP, LLC  
c/o David P. Scheffacker, Jr.,  
Managing Member  
100 West Road, Suite 304  
Towson, Maryland 21204  
Ph: 410-296-3800

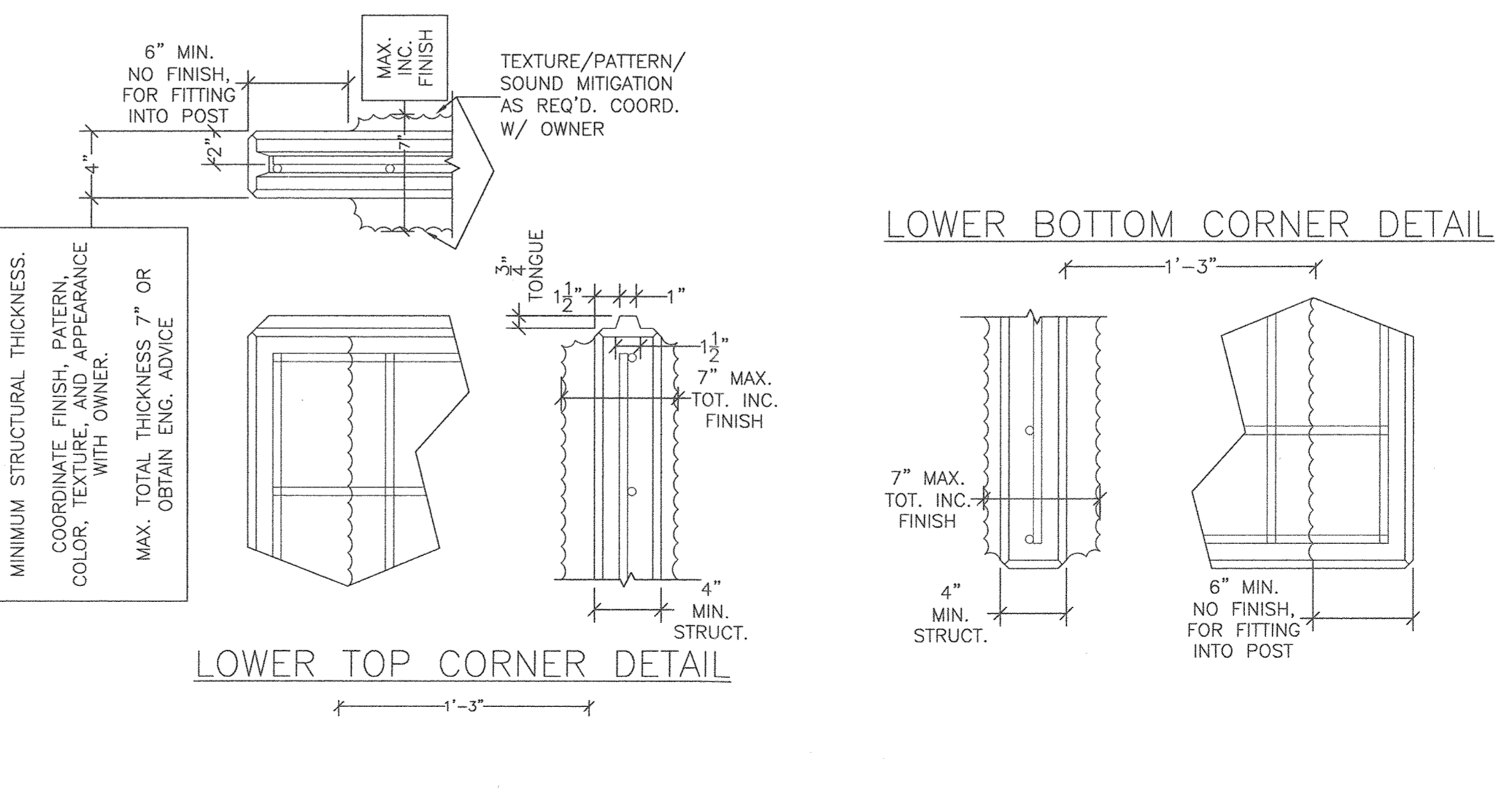
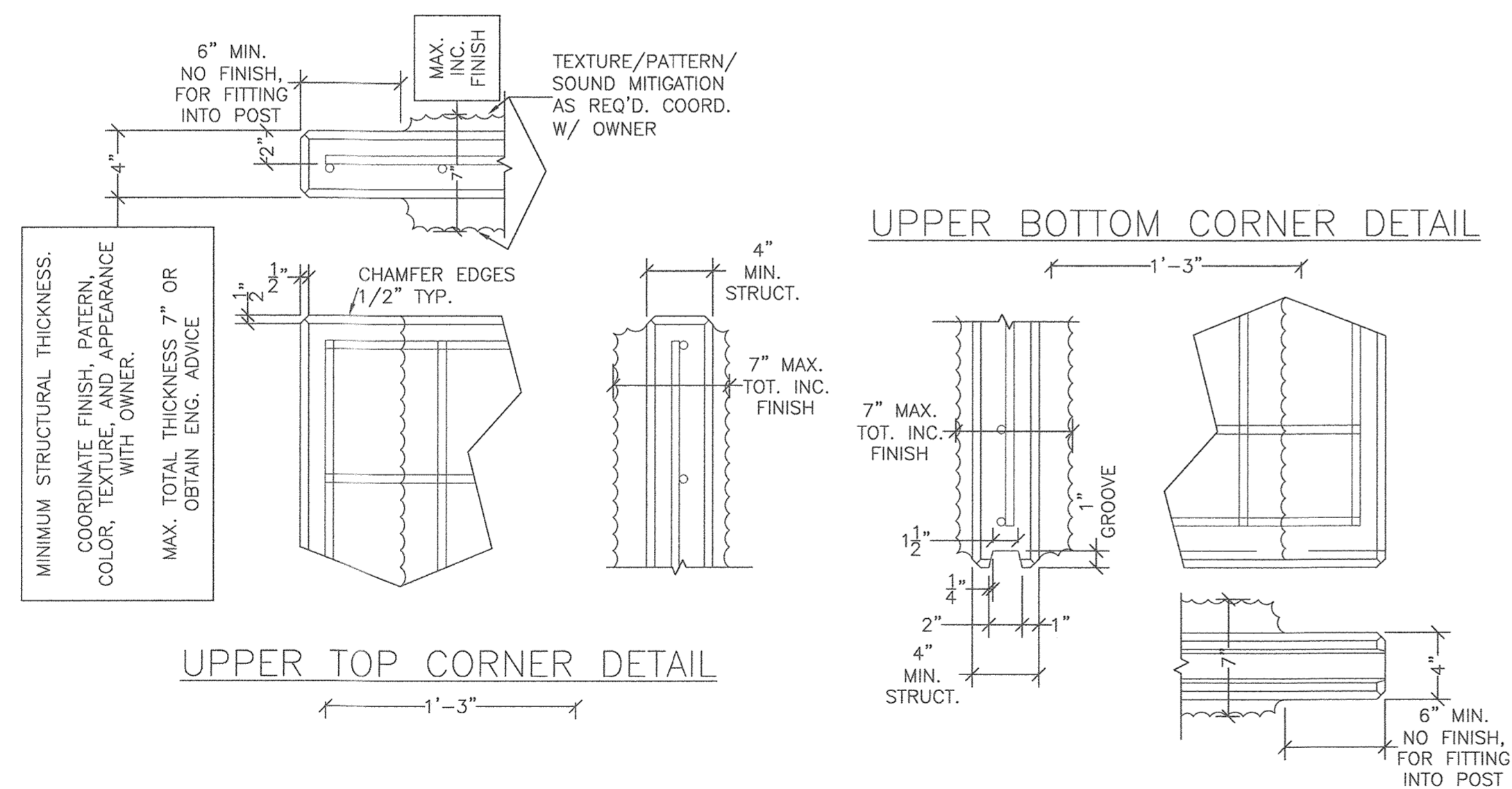
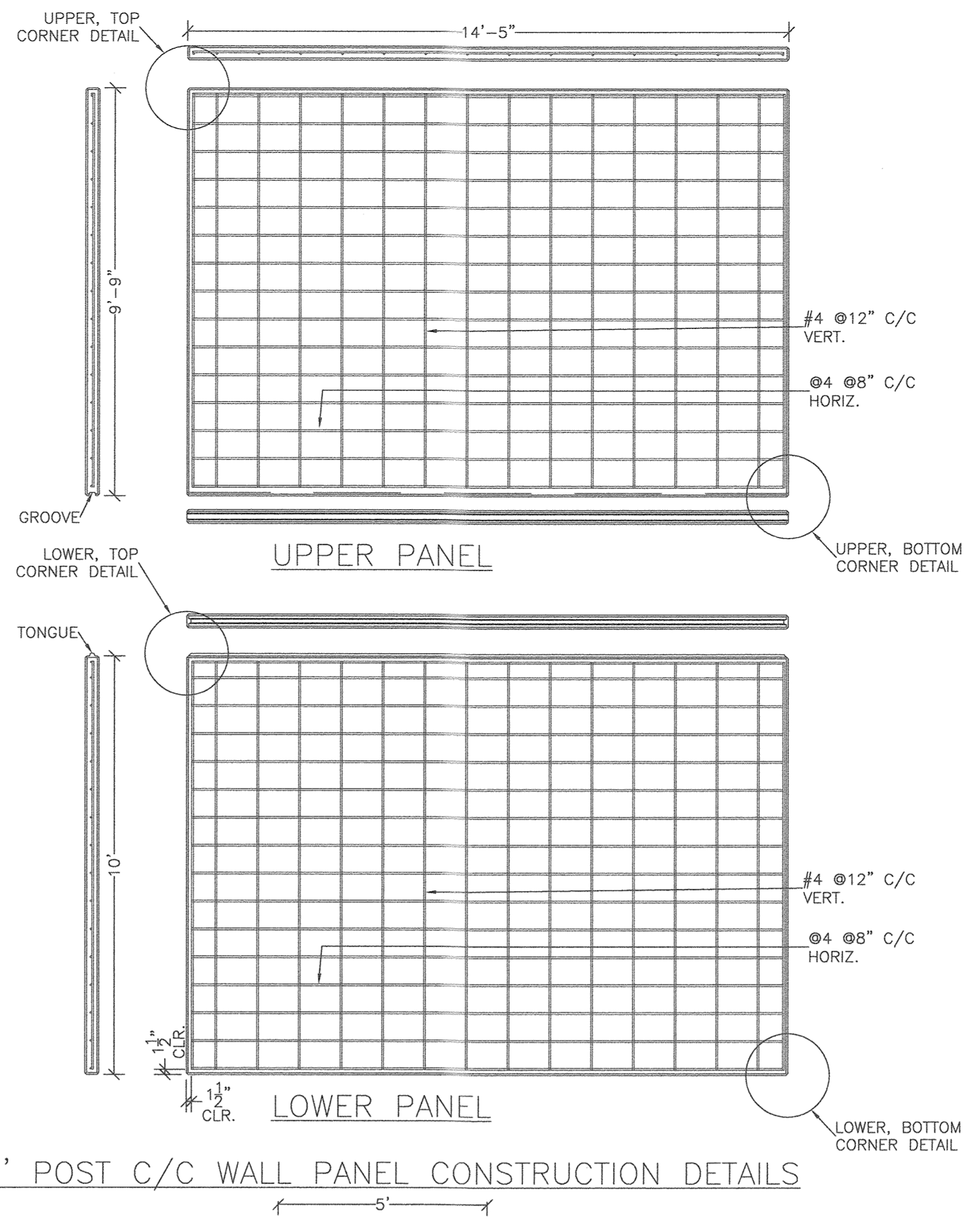
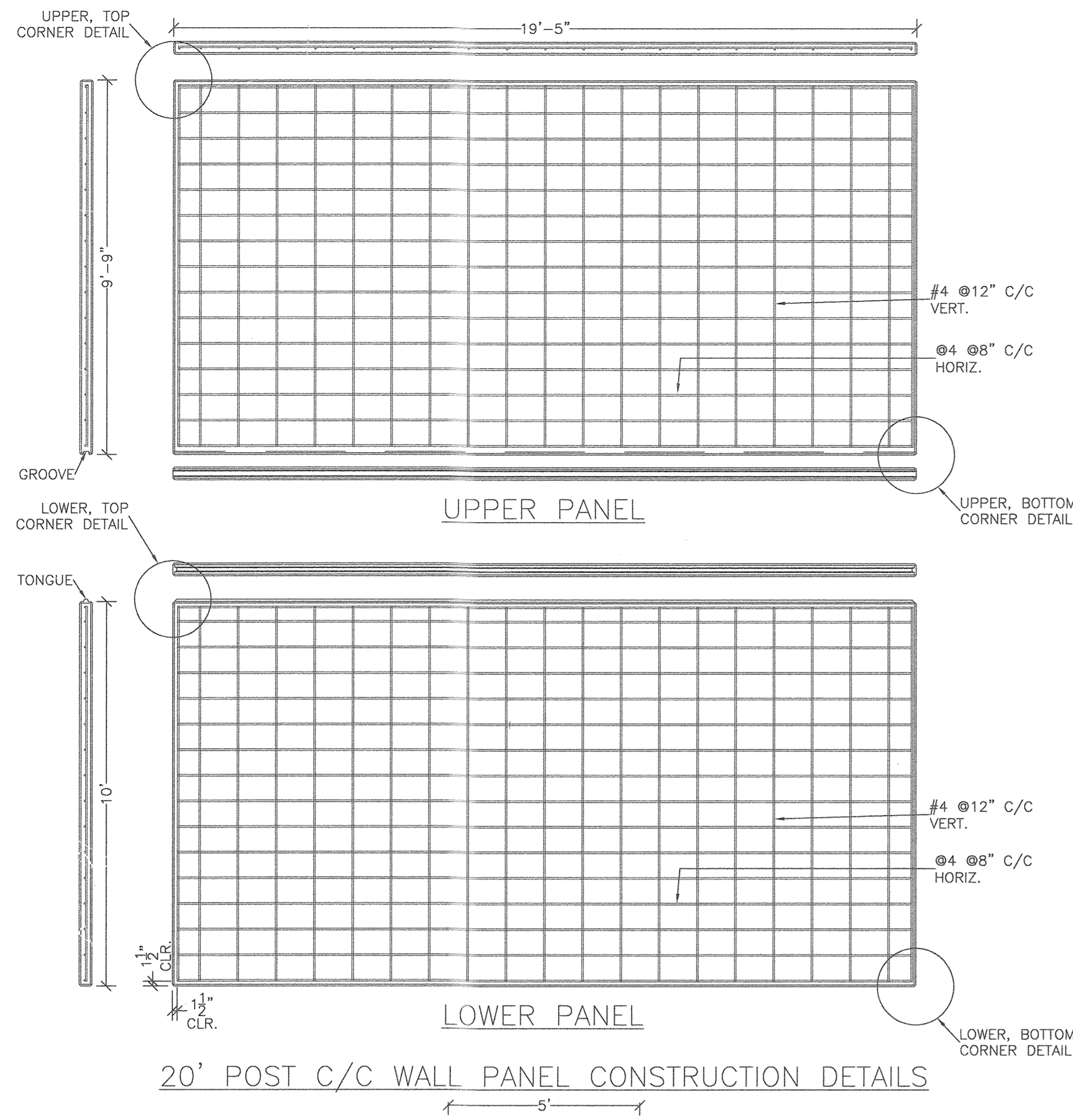
**Developer**  
Preston + Scheffacker Properties  
100 West Road, Suite 304  
Towson, Maryland 21204  
Ph: 410-296-3800

NO.	REVISION	SECTION/AREA	LOT Nos.	DATE
SUBDIVISION	OXFORD SQUARE - 'THE YARDS'	N/A	379-434	
PLAT NO.	25047-25050	ZONE	TOD	TAX/ZONE
				3B
				ELEC. DIST.
				1st.
				CENSUS TR.
				601101

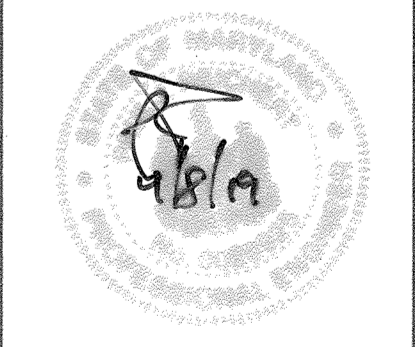
**OXFORD SQUARE**  
"A Howard County Green Neighborhood"  
**LOTS 379-434, OPEN SPACE LOTS 435-440 & PARCEL 'H-H'**  
**'THE YARDS'**

(Being A Resubdivision Of Parcel 'G-G', As Shown On Plats Entitled "Oxford Square, "Green Neighborhood", Parcels 'G-G', 'F-F', And Open Space Lot 377" Recorded As Plat Nos. 24351 Thru 24353) And A Resubdivision Of Parcel 'V', As Shown On Resubdivision Plat Entitled "Oxford Square, "Green Neighborhood", Parcels 'V' Thru 'Z', 'A-A' Thru 'C-C' And Open Space Lots 244 And 249" Recorded As Plat Nos. 23710 Thru 23715)  
Zoned: TOD  
Tax Map No.: 3B Grid No.: 20 Parcel No.: 1003  
First Election District: Howard County, Maryland  
Scale: As Shown  
Date: July, 2018  
Sheet 43 Of 44





**PROFESSIONAL CERTIFICATION**  
 I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NO. 0028923 EXPIRATION DATE: 1/15/2020



**HILLIS-CARNES ENGINEERING ASSOCIATES**  
 10975 Guilford Road, Suite A  
 Pinnacles Junction, Maryland  
 Ph: (410) 880-4788 WWW.HCEA.COM Fax: (410) 880-4098

**OXFORD SQUARE NOISEWALL 3  
 ELKRIDGE, HOWARD COUNTY, MD**

**NOISEWALL PANEL CONSTRUCTION DETAILS**

REVISIONS:	

JOB NUMBER:	16422B	DESIGNED BY:	PR
SCALE:	AS SHOWN	DRAWN BY:	PR
DATE:	11/30/18	APPROVED BY:	PR

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

*Kent Slawson* 6-12-19  
 Chief, Division of Land Development

*Chad Child* 5-6-19  
 Chief, Development Engineering Division

*William J. Ellis* 6-17-19  
 Director - Department of Planning and Zoning

**Owner**  
 Kellogg-CCP, LLC  
 c/o David P. Scheffenecker, Jr.,  
 Managing Member  
 100 West Road, Suite 304  
 Towson, Maryland 21284  
 Ph: 410-296-3800

**Developer**  
 Preston - Scheffenecker Properties  
 100 West Road, Suite 304  
 Towson, Maryland 21204  
 Ph: 410-296-3800

SUBDIVISION		SECTION/AREA		LOT Nos.	
OXFORD SQUARE - 'THE YARDS'		N/A		379-434	
PLAT NO.	BLOCK NO.	ZONE	TAX/ZONE	ELEC. DIST.	CENSUS TR.
25047-25050	N/A	TOD	3B	1st	601101

**OXFORD SQUARE**  
 "A Howard County Green Neighborhood"  
 LOTS 379-434, OPEN SPACE LOTS 435-440 & PARCEL 'H-H'  
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Tax Map No.: 3B Grid No.: 20 Parcel No.: 1003  
 First Election District: Howard County, Maryland  
 Scale: As Shown  
 Date: April 5, 2019  
 Sheet 44 Of 44

**FISHER, COLLINS & CARTER, INC.**  
 CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS  
 CENTENNIAL SQUARE OFFICE PARK - 10272 BALTIMORE NATIONAL PIKE  
 BLOTT CITY, MARYLAND 21042  
 Ph: (410) 461-2895