



SITE ANALYSIS DATA CHART

- 1. GENERAL SITE DATA
a. TOTAL SITE AREA: 21.39 AC.±
b. TOTAL LIMIT OF DISTURBED AREA: 11.37 AC.±
c. ONSITE LIMIT OF DISTURBED AREA: 13.71 AC.±
d. OFFSITE LIMIT OF DISTURBED AREA: 1.28 AC.±
e. TOTAL IMPERVIOUS AREA: 8.15 AC.±
f. BUILDING COVERAGE OF SITE: 150,618 SQ FT
g. GREEN OPEN AREA: 1.10 AC.±
h. PRESENT ZONING: HT-DMUA
i. PROPOSED USE: HOWARD CO. MIXED USE VACANT/OVERFLOW PARKING FOR EVENTS PUBLIC PUBLIC
j. EXISTING USE: HOWARD CO. MIXED USE VACANT/OVERFLOW PARKING FOR EVENTS PUBLIC PUBLIC
k. PROPOSED WATER: HOWARD CO. MIXED USE VACANT/OVERFLOW PARKING FOR EVENTS PUBLIC PUBLIC
l. PROPOSED SEWER: HOWARD CO. MIXED USE VACANT/OVERFLOW PARKING FOR EVENTS PUBLIC PUBLIC
m. AREA OF STEEP SLOPES: 15% AND GREATER: 0.76 AC.
n. AREA OF HIGHLY ERODIBLE SOIL: 1.52 AC.
o. AREA OF ONSITE FLOODPLAIN AND ITS BUFFER: 0.00 AC.
p. AREA OF ONSITE WETLANDS AND THEIR BUFFERS: 0.00 AC.
q. AREA OF FORESTS: 1.90 AC.
r. AREA OF ERODIBLE SOILS: 2.24 AC.±
s. FDP-DC-CRESCENT-1A

2. FLOOR SPACE

Table with columns: Land Use & Density Summary by Building, SFP 17-027, Units, SFP 18-005, Units, Phase 1 & 2 Totals, Units. Rows include various building types like Restaurant, Office, Hotel, etc.

3. PARKING REQUIREMENTS: STORAGE 1,000 S.F. 1,000 S.F.

Table with columns: Phase 1 Building, Maximum Parking Spaces Required (1), Phase 2 Building, Maximum Parking Spaces Required (2). Rows include Restaurant, Office, Hotel, etc.

4. PARKING PROVIDED:

Table with columns: LEVEL, TOTAL SPACES, HANDCAP (STD), HANDCAP (VAN), LOW EMISSIONS. Rows include Northwest Parking Lot, South West Parking Lot, On-Street Parking.

5. NORTHWEST PARKING LOT:

Table with columns: TOTAL SPACES, HANDCAP (STD), HANDCAP (VAN), LOW EMISSIONS. Row: 154, 5, 2, 0.

6. SOUTH WEST PARKING LOT:

Table with columns: TOTAL SPACES, HANDCAP (STD), HANDCAP (VAN), LOW EMISSIONS. Row: 243, 6, 2, 0.

7. ON-STREET PARKING:

Table with columns: LEVEL, TOTAL SPACES, HANDCAP (STD), HANDCAP (VAN), LOW EMISSIONS. Row: 11, 11, 0, 0.

8. OVERALL PARKING SUPPLY SUMMARY:

Table with columns: Phase 1 SFP, Phase 2 SFP, Total SFP, Units, Handicap, Low Emission. Rows include Restaurant, Office, Hotel, etc.

GENERAL NOTES: CONTINUED FROM SHEET 1

- 45. FOR INFORMATION ON THE POTENTIAL TRANSIT ROUTE CIRCULATION, SEE THE NEIGHBORHOOD SPECIFIC IMPLEMENTATION PLAN PAGES 16 AND 17. FOR INFORMATION ON THE LOCATIONS OF PRIMARY AND SECONDARY PEDESTRIAN ROUTES AND THE BICYCLE CIRCULATION, SEE CHAPTER 3 OF THE CRESCENT NEIGHBORHOOD SPECIFIC DESIGN GUIDELINES. FOR INFORMATION ON THE STREET FRAMEWORK CHANGES, SEE CHAPTER 3 OF THE CRESCENT NEIGHBORHOOD SPECIFIC DESIGN GUIDELINES.
46. A GEOTECHNICAL REPORT WAS PREPARED BY THE BALTER COMPANIES DATED JULY 12, 2016 AND APPROVED JANUARY 9, 2017.
47. ENVIRONMENTAL RESTORATION ACTIVITIES PURSUANT TO CEPPA 15 WILL BE COMPLETED IN ACCORDANCE WITH THE PLANNING BOARD'S DECEMBER 2, 2016 APPROVAL OF CEPPA ALTERNATIVE COMPLIANCE.
48. SIGHT DISTANCE ANALYSIS PROVIDED UNDER SP 16-009 FOR THE INTERSECTION OF MANGO TREE ROAD WITH THE SYMPHONY WOODS ROAD AND THE INTERSECTION OF VALENCIA LANE AND MERRIWEATHER DRIVE. PRELIMINARY SIGHT DISTANCE ANALYSIS PROVIDED UNDER SP 16-009 FOR THE FOLLOWING PRIVATE DRIVEWAY ENTRANCES:
- DRIVEWAY FROM PARCEL D-1 TO MERRIWEATHER DRIVE
- DRIVEWAY FROM PARCEL D-3 TO SYMPHONY WOODS ROAD
- DRIVEWAY FROM PARCEL D-1, D-2, AND D-9 TO DOVE SAIL LANE
- DRIVEWAY FROM PARCEL D-2 TO VALENCIA LANE
- INTERSECTION OF SKY RIBBON RD WITH MANGO TREE ROAD
- DRIVEWAYS FROM PARCEL D-3 TO MANGO TREE ROAD
NO SIGHT DISTANCE ANALYSIS PROVIDED FOR THE INTERSECTION OF DOVE SAIL LANE WITH MANGO TREE ROAD AND VALENCIA LANE WITH MANGO TREE ROAD AS THESE ARE PROPOSED TO BE ALL-WAY STOP CONTROLLED INTERSECTIONS. ALL PRELIMINARY SIGHT DISTANCE ANALYSIS FOR THE ABOVE PRIVATE DRIVEWAYS AND INTERSECTIONS HAS BEEN VERIFIED AS REFLECTING THE PROPOSED CONDITIONS WITHIN THIS SDP OR AN UPDATED SIGHT DISTANCE ANALYSIS PROVIDED WITH THIS SDP.
49. A WAIVER OF SECTION 16.1106 (WP 16-100) WAS APPROVED ON MARCH 17, 2016 WHICH REQUIRES A MILESTONE DATE OF 9 MONTHS FROM THE DECISION DATE TO SUBMIT PLANS IN THE NEXT STAGE OF THE SUBDIVISION AND LAND DEVELOPMENT PROCESS IN ORDER TO MAINTAIN TENTATIVE ALLOCATIONS FOR A PROJECT. APPROVAL IS SUBJECT TO THE FOLLOWING THREE CONDITIONS:
- THE FIRST PHASE OF 300 ALLOCATIONS MUST BE SUBMITTED ON OR BEFORE JULY 30, 2016. ADDITIONAL EXTENSIONS OF TIME WILL REQUIRE A NEW PETITION.
- UPDATE THIS PHASING CHART TO REFLECT THE NEW MILESTONE DATE IN ACCORDANCE WITH WP 16-100.
- PLEASE REFERENCE THE WAIVER PETITION NUMBER, SECTION REQUEST, DATE OF THE DECISION AND CONDITIONS OF APPROVAL ON ALL FUTURE PLANS FOR THIS SITE.
50. ALL PUBLIC CROSSWALK INSTALLATIONS ARE SUBJECT TO APPROVAL OF THE HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS.
51. A NOISE STUDY FOR THIS PROJECT WAS PREPARED BY HUSH ACOUSTICS, LLC DATED OCTOBER 31, 2016 AND WAS APPROVED ON JANUARY 9, 2017.
52. AS AGREED TO BY THE HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS ON JUNE 29, 2017, EXCEPT AS PROVIDED BELOW, ALL STORMWATER MANAGEMENT DEVICES ON PRIVATELY OWNED PROPERTY, INCLUDING THOSE THAT PROVIDE TREATMENT FOR PUBLIC ROADS, ARE TO BE PRIVATELY OWNED. THE RINKER STORMCEPTORS WILL BE PRIVATELY OWNED BUT MAINTAINED BY THE HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS EXCLUDING PIPES WITH PUBLIC EASEMENTS PROVIDED FOR ACCESS. STORMWATER MANAGEMENT STRUCTURES ADJACENT TO THE PUBLIC RIGHT-OF-WAY OF VALENCIA LANE, DOVE SAIL LN, SKY RIBBON RD AND MANGO TREE ROAD WILL BE PRIVATELY MAINTAINED BY THE OWNER. THE SPECIFICS OF THE AGREED UPON OWNERSHIP, AND MAINTENANCE RESPONSIBILITIES OF THE STORMWATER MANAGEMENT FACILITIES, WILL BE INCLUDED IN A MAINTENANCE AGREEMENT TO BE EXECUTED BY BOTH PARTIES.
53. THIS SDP (PHASE 1 AREA 3, PHASE 2) USES 436 ADDITIONAL HOUSING ALLOCATIONS FOR A TOTAL OF 818 HOUSING ALLOCATIONS IN PHASE 1 AREA 3, PHASE 1 AND PHASE 1 AREA 3, PHASE 2. THE ALLOCATIONS USED FOR THE 818 UNITS ARE UTILIZED FROM ALLOCATION YEARS 1-4.
54. BUILDING ENTRANCE LOCATIONS ARE PRELIMINARY AND MAY CHANGE TO ADDRESS TENANT NEEDS.
55. PER HOWARD COUNTY GREEN BUILDING LAW (CB14-2010), ALL NEW CONSTRUCTION 10,000 SQUARE FEET OR LARGER SHALL ACHIEVE LEED CERTIFICATION FROM THE US GREEN BUILDING BOARD:
- RESIDENTIAL C - #100070651
- RETAIL E1 - #100078224
56. REFER TO TABLE 1.1 ON THIS SHEET FOR OWNERSHIP AND MAINTENANCE RESPONSIBILITIES WITHIN EASEMENTS INFORMATION.
57. SEE SHEET 9 FOR LOCATION OF FUTURE TRANSIT STOP.
58. PROPERTY WITHIN THE AREA OF THIS SITE DEVELOPMENT PLAN IS NOW SUBJECT TO THE TERMS OF THE RECIPROCAL EASEMENT AGREEMENT DATED OCTOBER 19, 2017 RECORDED AMONG THE HOWARD COUNTY LAND RECORDS IN LIBER 17874, FOLIO 496 (REA) WHICH, AMONG OTHER THINGS, CREATES RECIPROCAL RIGHTS AND OBLIGATIONS OF THE PROPERTY OWNER(S) AS TO ACCESS AND PARKING, UTILITIES AND STORM WATER MANAGEMENT, AMENITIES AND LANDSCAPING, AND SETS FORTH THE PRIVATE MAINTENANCE RESPONSIBILITIES FOR ALL PRIVATELY OWNED COMMON AREA AND/OR QUASI-PUBLIC AMENITIES (SUCH AS PRIVATE COARDBOARDS, PRIVATE WALKWAYS, AND DOWNTOWN COMMONS) AND PUBLIC ART TO BE MAINTAINED BY THE PROPERTY OWNER(S), SUBJECT TO SUCH RESPONSIBILITIES BEING SHARED AMONG THE PROPERTY OWNER(S) OR ASSUMED BY A MAINTENANCE ORGANIZATION, THE COUNTY OR OTHER ORGANIZATION. PROPERTY OWNER ACKNOWLEDGES AND CONFIRMS THAT ANY REFERENCE IN THE REA TO AN OWNER'S RIGHT TO DEDICATE ALL OR A PORTION OF AN EASEMENT AREA OR MAINTENANCE OF ANY OFF-SITE AREA TO THE COUNTY IS SUBJECT TO THE COUNTY'S AFFIRMATIVE ACCEPTANCE OF ANY SUCH OBLIGATION WHICH IT MAY GRANT OR DENY, IN ITS OWN DETERMINATION, IN ACCORDANCE WITH THE COUNTY'S PROCEDURE REGARDING SAME.
59. THE PUBLIC AND PRIVATE MULTI-PURPOSE AND UTILITY EASEMENTS AND PRIVATELY MAINTAINED STORMWATER EASEMENTS ARE SHOWN ON SHEETS 19, 21-22, 27-32 AND 35. FOR ADDITIONAL INFORMATION, SEE GENERAL NOTE 58 ON THIS SHEET. THE PRIVATE MULTI-PURPOSE EASEMENT AREAS SHOWN HEREON ARE INTENDED TO BE SUBJECT TO THE REA, NOT WITHSTANDING ANY INCONSISTENCIES IN LABELING, LOCATION OR DESIGNATION, SUBJECT TO THE PROVISIONS OF NOTE 56. ALL EXISTING EASEMENTS WERE RECORDED WITH PLATS 24623-24630 AND 24814-24820.
60. WP-18-105 WAS ON APPROVED ON MAY 24, 2018 GRANTING ALTERNATE COMPLIANCE OF SECTION 16.1106(A)(1) OF THE SUBDIVISION AND LAND DEVELOPMENT REGULATIONS WHICH PROHIBITS THE GRADING, REMOVAL OF VEGETATIVE COVER AND TREES, PAVING AND NEW STRUCTURES WITHIN 25 FEET OF A WETLAND TO PROVIDE A RETAINING WALL MAINTENANCE EASEMENT WITHIN A SMALL PORTION (APPROXIMATELY 195 SF) OF THE BUFFER AREA. APPROVAL IS SUBJECT TO THE FOLLOWING CONDITIONS:
1. ENCROACHMENT INTO THE WETLAND BUFFER SHALL NOT EXTEND BEYOND THE APPROXIMATELY 195 SF AREA IMPACTED BY THE 10' MAINTENANCE EASEMENT SHOWN ON THE EXHIBIT AND ON SDP-18-005. ANY DISTURBANCE SHALL BE LIMITED TO WALL ACCESS AND MAINTENANCE.
2. THE ORIGINAL'S ONLY PLAT SHALL BE RECORDED SHOWING THE 10' PRIVATE RETAINING WALL MAINTENANCE EASEMENT ON OPEN SPACE LOT 3. AS APPROVED FOR SUBMISSION IN A LETTER TO GLW DATED MAY 18, 2018.
3. SHOULD THERE BE ANY IMPACTS TO ENVIRONMENTAL RESTORATION PLANTINGS DUE TO WALL ACCESS OR MAINTENANCE, OR ANY OTHER USE OF THE WALL MAINTENANCE EASEMENT AREA, REPLANTING SHALL OCCUR IN ACCORDANCE WITH THE PLANTING PLAN AS APPROVED WITH F-15-106.
4. CONDITIONS OF APPROVAL OF THIS ALTERNATIVE COMPLIANCE SHALL BE ADDED TO RELEVANT PLANS.
61. WP-18-089 WAS APPROVED ON APRIL 10, 2018 GRANTING ALTERNATE COMPLIANCE OF SECTION 16.1106(B) OF THE SUBDIVISION AND LAND DEVELOPMENT REGULATIONS WHICH STATES THAT FOR NONRESIDENTIAL PAVING, CEILING, AND FLOOR FINISHES, REPAIRS, AND MAINTENANCE OCCURS NINE MONTHS AFTER THE STARTING DATE. APPROVAL IS SUBJECT TO THE FOLLOWING CONDITIONS:
1. AN SDP SUBMISSION FOR THE REMAINING 95 ALLOCATIONS GRANTED AS PART OF FDP-DC-CRESCENT-1A, DOWNTOWN COLUMBIA, CRESCENT NEIGHBORHOOD, ALLOCATION PHASE 3 (ALLOCATION YEAR 2020) MUST BE SUBMITTED ON OR BEFORE JULY 1, 2018.
2. ALTERNATIVELY, THE REMAINING 95 ALLOCATIONS GRANTED AS PART OF FDP-DC-CRESCENT-1A, DOWNTOWN COLUMBIA, CRESCENT NEIGHBORHOOD, ALLOCATION PHASE 3 (ALLOCATION YEAR 2020) MAY BE REDISTRIBUTED IN ACCORDANCE WITH SECTION 16.1102(B)(6) AS AMENDED BY CB 1-2018 (EFFECTIVE APRIL 16, 2018) AS PART OF A COMPREHENSIVE REDISTRIBUTION OF APPROVAL HOUSING UNIT ALLOCATIONS ON OR BEFORE JULY 1, 2018.
62. WP-19-088 WAS APPROVED ON MAY 14, 2019 GRANTING ALTERNATIVE COMPLIANCE OF SECTION 16.1106(A) OF THE SUBDIVISION AND LAND DEVELOPMENT REGULATIONS WHICH STATES THAT FOR NONRESIDENTIAL PAVING, CEILING, AND FLOOR FINISHES, REPAIRS, AND MAINTENANCE OCCURS NINE MONTHS AFTER THE STARTING DATE. APPROVAL IS SUBJECT TO THE FOLLOWING CONDITION: A MAJOR REVISION TO SDP-18-005 MUST BE SUBMITTED THAT SHOWS MIXED-USE RESIDENTIAL BUILDING C WITH THE ADDITIONAL 13 UNITS WITHIN 122-DAYS FROM THE APRIL 1, 2019 DEADLINE SHOWN IN THE PHASING CHART FOR ALLOCATION YEAR 2021 (ON OR BEFORE AUGUST 1, 2019).

LEGEND

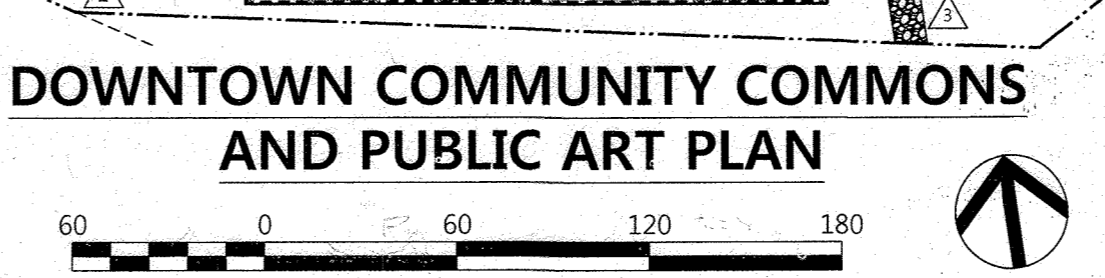
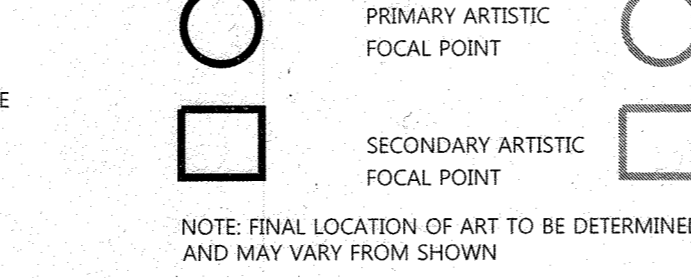
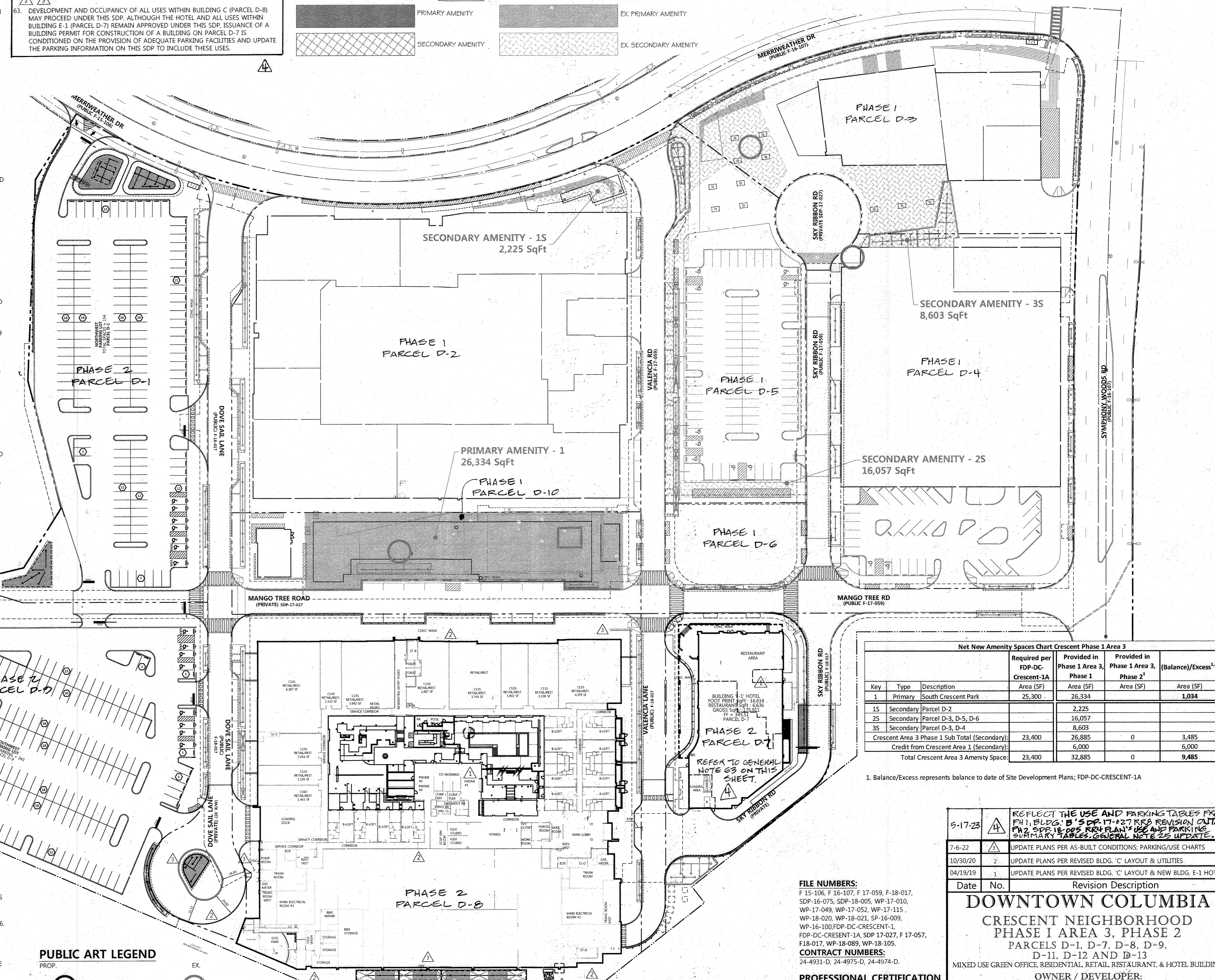
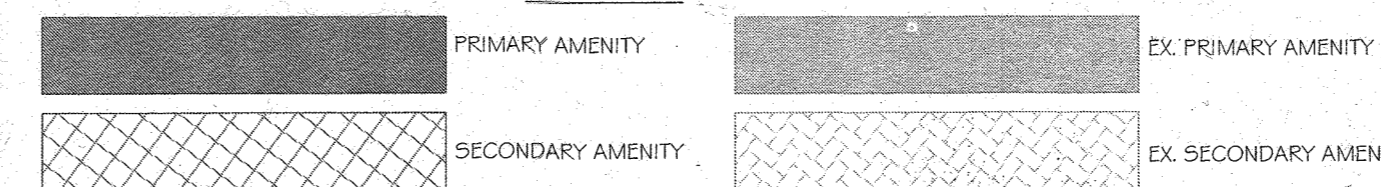


TABLE 1.1: OWNERSHIP AND MAINTENANCE RESPONSIBILITIES WITHIN EASEMENTS. Includes explanation note and table with columns: Infrastructure Item, Ownership, Maintenance, Associated County File Number.

(1) UPON COMPLETION OF WORK, HOWARD COUNTY IS NOT RESPONSIBLE FOR RETURNING THE PRIVATE ITEMS WITHIN THE PUBLIC MULTI-PURPOSE AND UTILITY EASEMENTS AND THE PRIVATE MULTI-PURPOSE EASEMENTS BACK TO EXISTING CONDITIONS. THE COUNTY IS ONLY OBLIGATED TO RETURN THE AREAS TO EXISTING GRADE AND PROVIDE ITEMS CONSISTENT WITH A TYPICAL PUBLIC STREET OR SIDEWALK. THE PROPERTY OWNER IS RESPONSIBLE FOR RETURNING HARDSCAPE TO THE PRIOR OR FINISHED CONDITION.
(2) THIS WOULD INCLUDE, BUT ARE NOT LIMITED TO ITEMS SUCH AS THE CURB OPENINGS THAT CONVEY THE RUNOFF FROM THE CURB TO THE ESD DEVICES, STRUCTURES THAT PROVIDE CHANNEL PROTECTION, ETC.
(3) THE LIMITS OF PRIVATE AND PUBLIC WATER AND SEWER CONNECTIONS HAVE BEEN PROVIDED WITH CONT #24-4974-D.
(4) THE LIMITS OF THE PRIVATE AND PUBLIC STORM DRAIN CONNECTIONS HAVE BEEN PROVIDED WITH F 17-059 AND F 18-017.
(5) PRIVATE DRY UTILITIES AND CONDUITS MAY INCLUDE, BUT ARE NOT LIMITED TO ELECTRIC LINES, GAS MAINS, CABLE, FIBER OPTICS, AND TELEPHONE.
(6) UPON COMPLETION OF WORK, THE UTILITY COMPANIES ARE NOT RESPONSIBLE FOR RETURNING THE PRIVATE ITEMS WITHIN THE PUBLIC MULTI-PURPOSE AND UTILITY EASEMENTS AND THE PRIVATE MULTI-PURPOSE EASEMENTS BACK TO EXISTING CONDITIONS. THE UTILITY COMPANIES ARE ONLY OBLIGATED TO RETURN THE AREAS TO EXISTING GRADE AND PROVIDE ITEMS CONSISTENT WITH A TYPICAL PUBLIC STREET OR SIDEWALK. THE PROPERTY OWNER IS RESPONSIBLE FOR RETURNING HARDSCAPE TO THE PRIOR OR FINISHED CONDITION.
(7) THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PROTECT THE COUNTY'S INFRASTRUCTURE AND MAINTAIN UNINTERRUPTED SERVICE. ANY DAMAGE INCURRED SHALL BE REPAIRED IMMEDIATELY TO THE SATISFACTION OF THE COUNTY ENGINEER AT THE CONTRACTOR'S EXPENSE.

Net New Amenity Spaces Chart. Table with columns: Key, Type, Description, Required per FDP-DC-Crescent-1A, Provided in Phase 1, Provided in Phase 2, Provided in Phase 3, (Balance)/Excess.

1. Balance/Excess represents balance to date of Site Development Plans, FDP-DC-CRESCENT-1A

Professional Engineer certification block for DW (DAFF, McCUNE, WALKER, INC) with date 5-17-23 and project details.

General Notes and Amenity Plan block with title, scale, project number, and revision history.

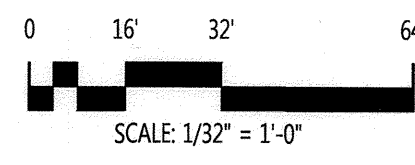
APPROVED: HOWARD COUNTY DEPT. OF PLANNING & ZONING. Chief, Development Engineering Division: 11/0/22. Chief, Division of Land Development: 12/6/22. Director: 12/6/22.



NORTH

**GLAZED OPENING ANALYSIS:**  
RESIDENTIAL = 35% TOTAL GLAZING

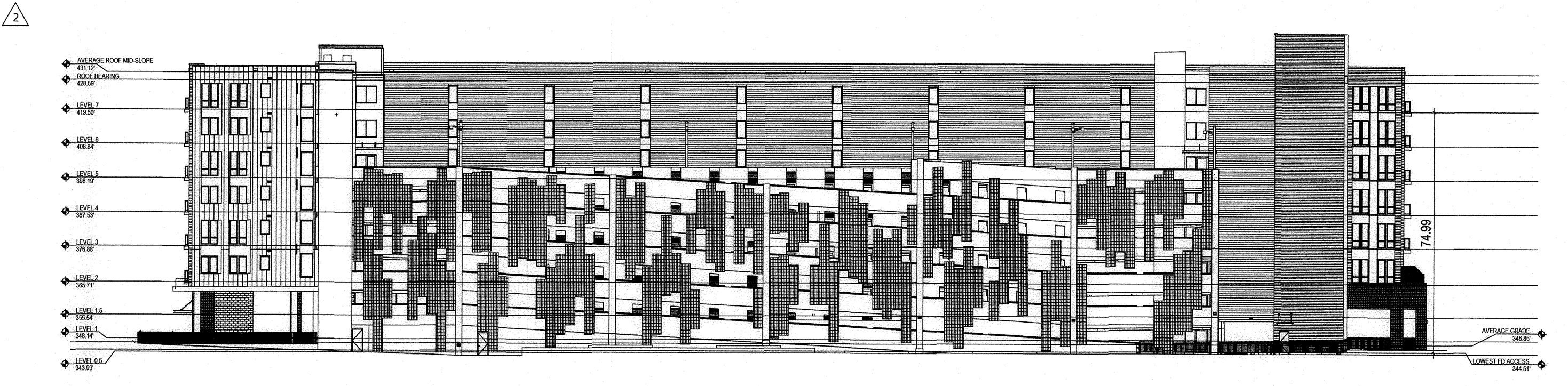
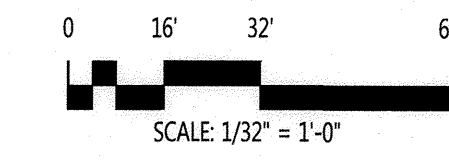
BUILDING C	ELEVATION	FACADE LENGTH	RETAIL STOREFRONT	%
	NORTH	379'-4"	346'-0"	91%



EAST

**GLAZED OPENING ANALYSIS:**  
RESIDENTIAL = 34% TOTAL GLAZING

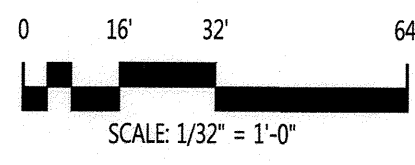
BUILDING C	ELEVATION	FACADE LENGTH	RETAIL STOREFRONT	%
	EAST	336'-1"	67'-3"	20%



SOUTH

**GLAZED OPENING ANALYSIS:**  
RESIDENTIAL = 12% TOTAL GLAZING

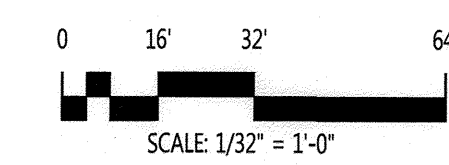
BUILDING C	ELEVATION	FACADE LENGTH	RETAIL STOREFRONT	%
	SOUTH	379'-4"	0'	0%



WEST

**GLAZED OPENING ANALYSIS:**  
RESIDENTIAL = 31% TOTAL GLAZING

BUILDING C	ELEVATION	FACADE LENGTH	RETAIL STOREFRONT	%
	WEST	346'-4"	169'-10"	49%



**BUILDING C - ELEVATIONS**

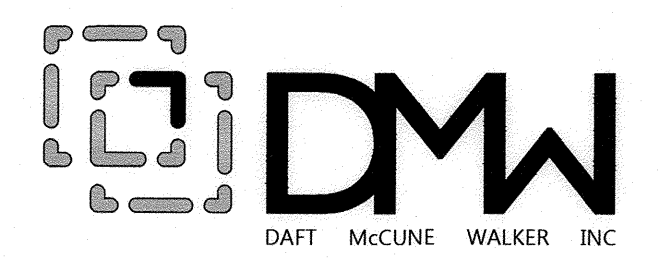
**NOTE:**  
THE SCHEMATIC BUILDING ELEVATIONS INDICATE BUILDING HEIGHT, MASSING AND ARCHITECTURAL INTENT AND MAY CHANGE WITH FURTHER DESIGN DEVELOPMENT. FINAL ARCHITECTURAL DESIGN WILL BE SHOWN ON THE CONSTRUCTION DOCUMENTS AND WILL BE REVIEWED FOR COMPLIANCE WITH THE NEIGHBORHOOD SPECIFIC DESIGN GUIDELINES AT THE TIME OF BUILDING PERMIT.

1. THIS BUILDING IS TO COMPLY WITH THE CRESCENT NEIGHBORHOOD DESIGN GUIDELINE.
2. COMPLIANT TO THE CRESCENT NEIGHBORHOOD DESIGN GUIDELINES THE GLAZING AT THE GROUND FLOOR SHALL BE TRANSPARENT AND NON-REFLECTIVE. ALL OTHER GLAZING WILL HAVE THE MINIMUM REFLECTIVITY TO ACHIEVE ENERGY EFFICIENCY RELYING PRIMARILY ON THE USE OF COATINGS AND/OR TINTS. THE USE OF OPAQUE, TRANSLUCENT, OR FRITTED GLAZING WILL BE LIMITED AND PRIMARILY USED TO PROVIDE PRIVACY.

SCALE: 1" = 50'

Date	No.	Revision Description
10/30/20		UPDATE PLANS PER REVISED BLDG. 'C' LAYOUT & UTILITIES
04/19/19		BLDG C ELEVATIONS, AND INTERIOR LAYOUT

**DOWNTOWN COLUMBIA**  
CRESCENT NEIGHBORHOOD  
PHASE I AREA 3, PHASE 2  
PARCELS D-1, D-7, D-8, D-9,  
D-11, D-12 AND D-13  
OWNER / DEVELOPER:  
THE HOWARD RESEARCH AND DEVELOPMENT CORPORATION  
COLUMBIA REGIONAL OFFICE  
10480 LITTLE PATUXENT PARKWAY SUITE 400  
COLUMBIA, MD 21044  
410-964-4800



501 FAIRMOUNT AVENUE SUITE 300 TOWSON, MD 21286  
P: 410 296 3333 F: 410 296 4705 WWW.DMW.COM

PROJECT NAME	SECTION	NEIGHBORHOOD	LOT/PARCEL #
DOWNTOWN COLUMBIA	CRESCENT	NEIGHBORHOOD	PARCEL D
PLAN OR LOT #	BLOCK #	TAX ZONE/MAP	BLDG. DISTRICT
2481-300	7	INVA	36
WATER CODE	SEWER CODE	STAGE	CENSUS TRACT
550	LITTLE PATUXENT	1	605602

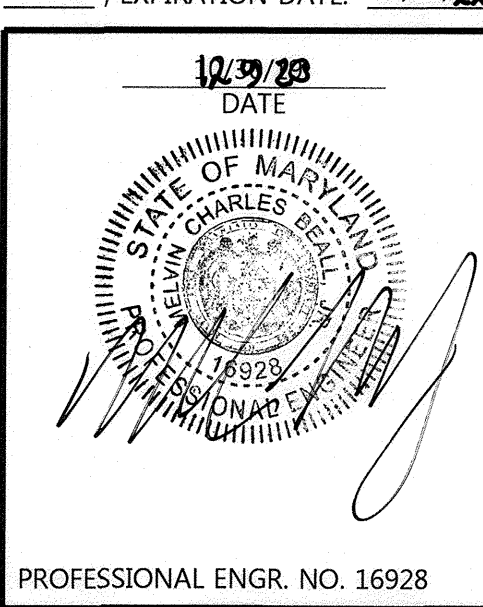
TITLE  
**BUILDING C - ELEVATIONS**  
REVISED SITE DEVELOPMENT PLAN

Des. By	GDT/DM	SCALE	AS SHOWN	Proj. No.	04038.B0
Drn. By	MCJ	Date	02/15/19		
Chk. By	MCB	Approved	MCB		3 of 78

**FILE NUMBERS:**  
F-15-106, F-16-107, F-17-059, F-18-017,  
SDP-16-075, SDP-17-027, WP-17-010,  
WP-17-049, WP-17-052, WP-17-059,  
WP-17-115, WP-18-020, WP-18-021,  
SP-16-009, WP-17-100

**CONTRACT NUMBERS:**  
24-4931-D, 24-4975-D, 24-4974-D.

**PROFESSIONAL CERTIFICATION**  
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 16928, EXPIRATION DATE: 05/13/19.



PROFESSIONAL ENGR. NO. 16928

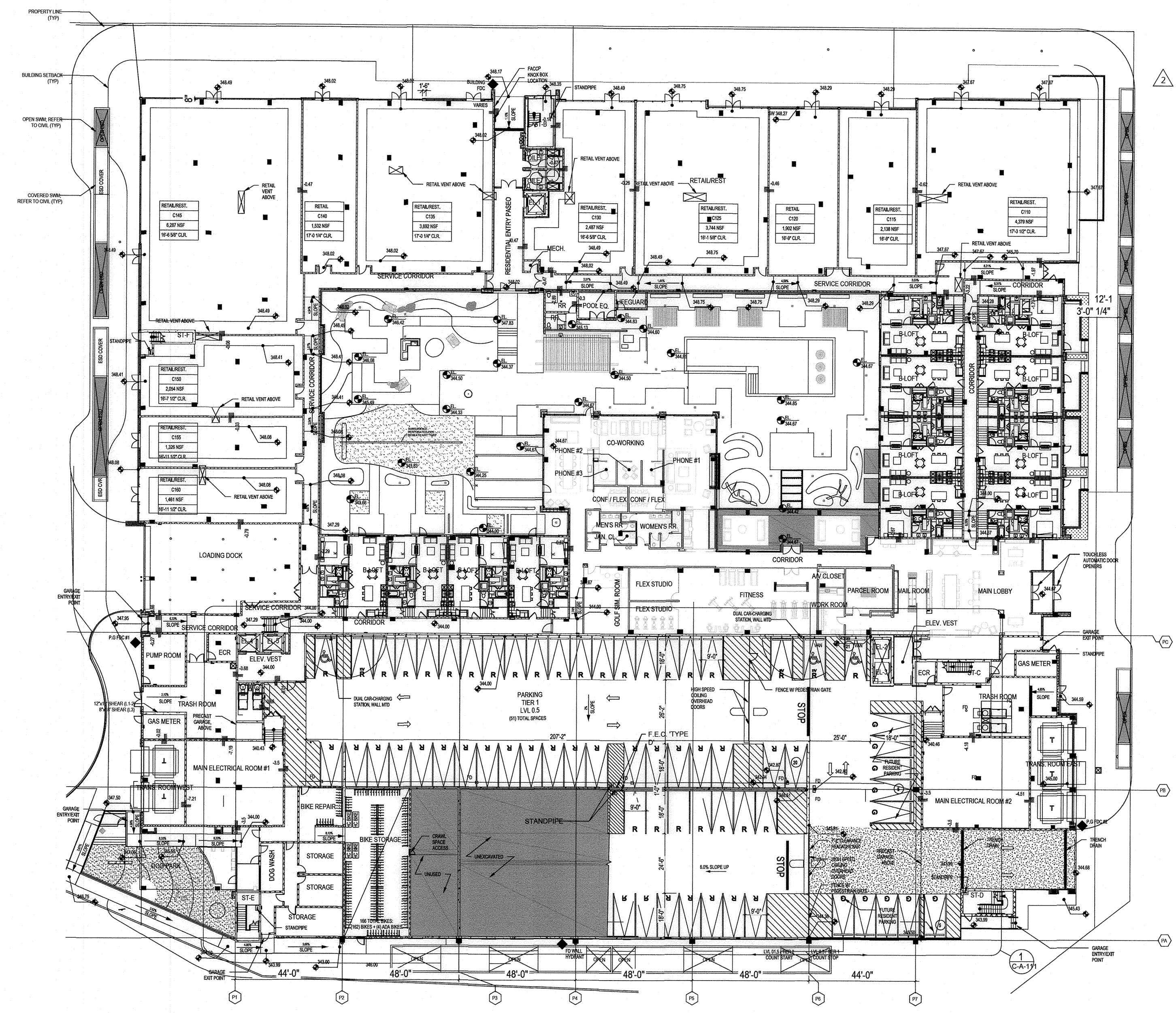
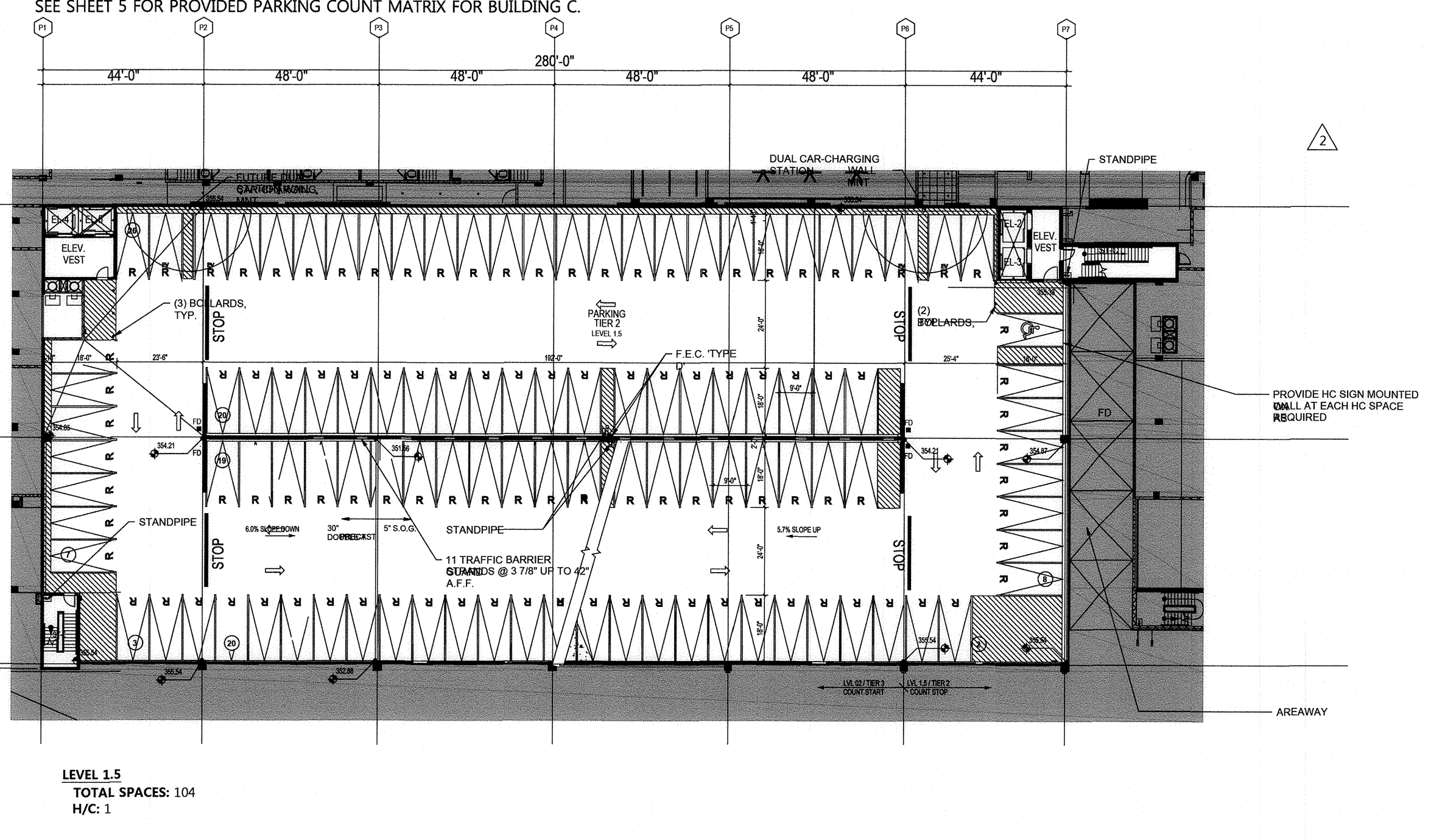
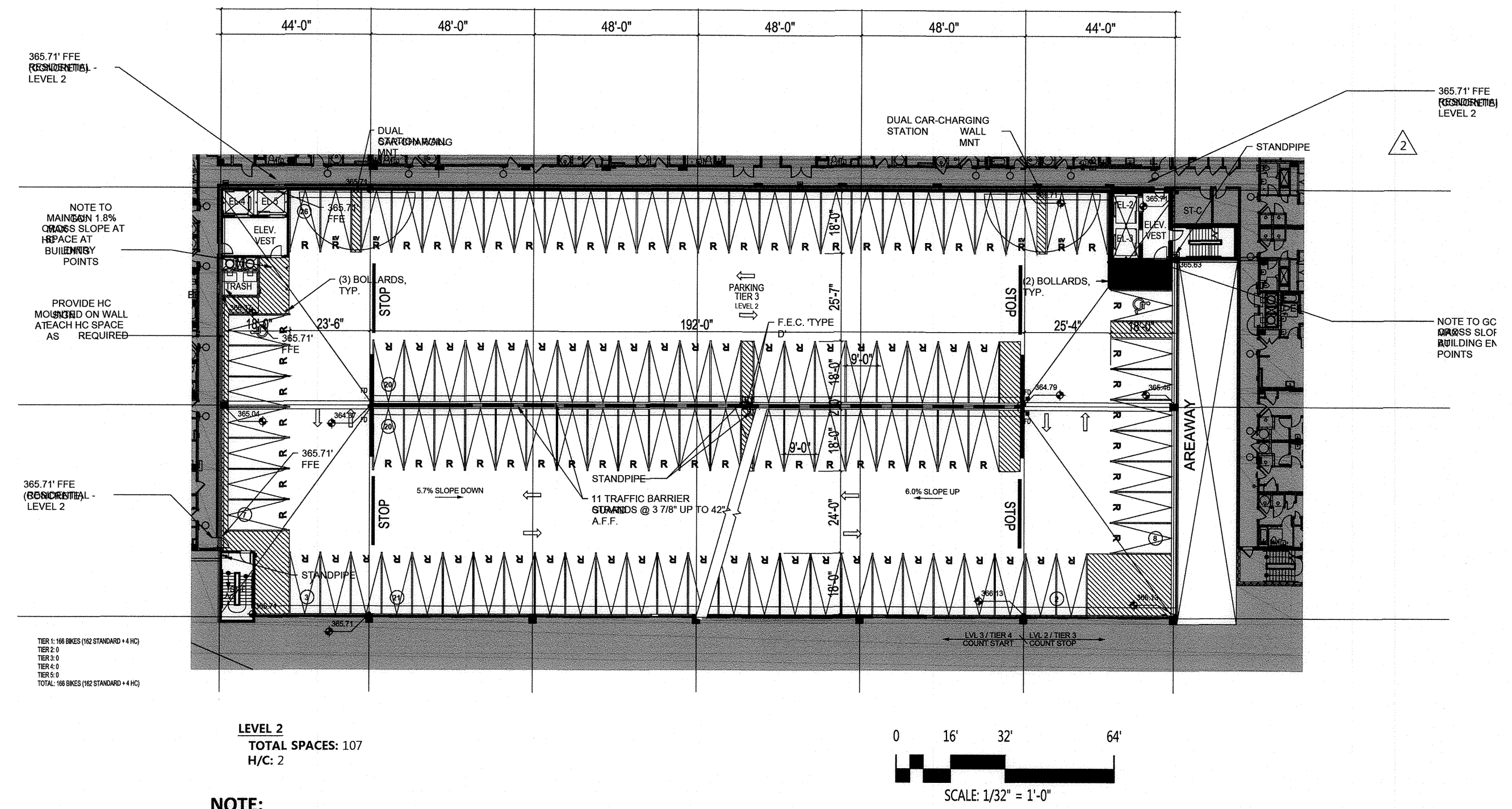
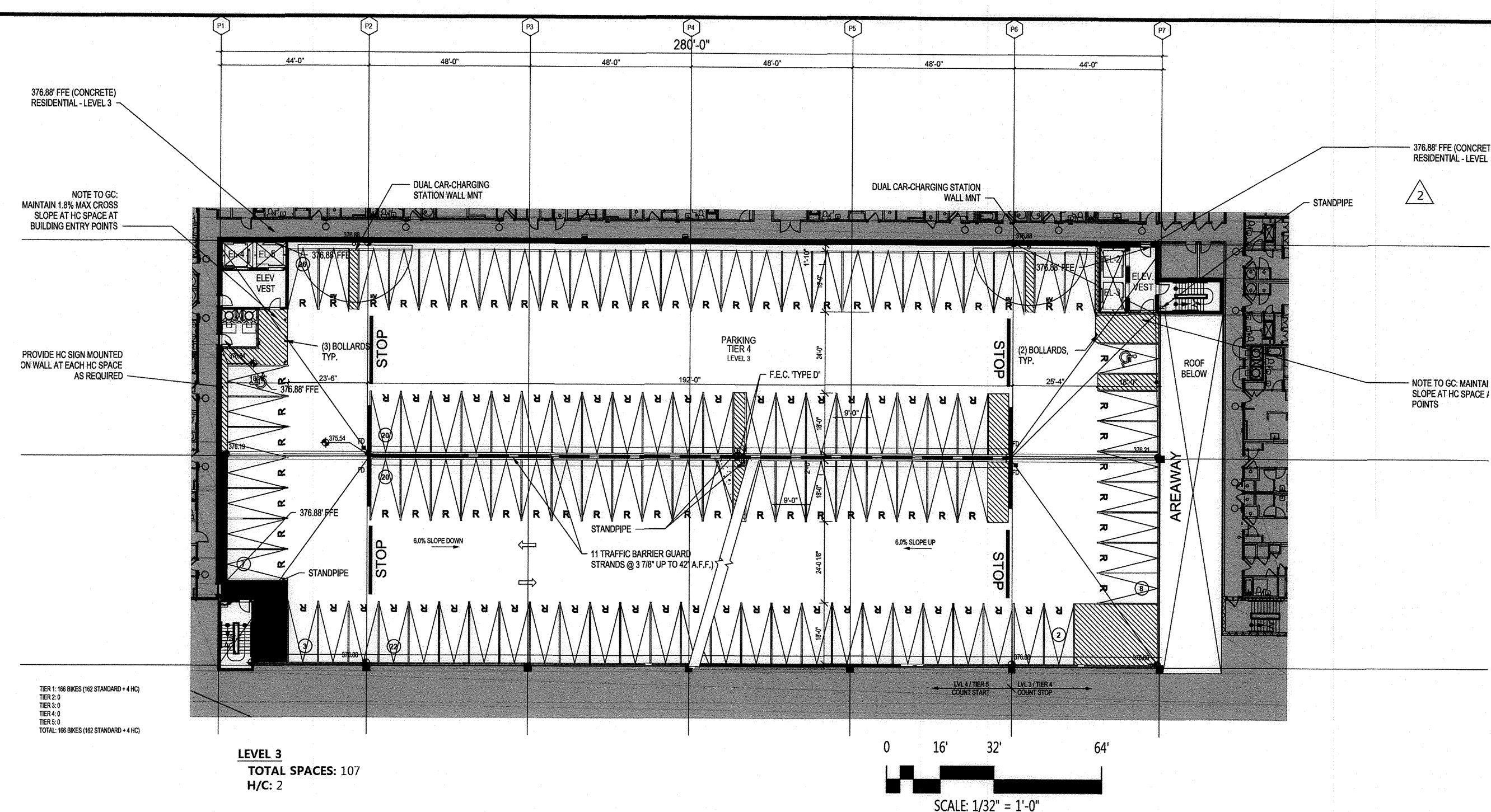
APPROVED:  
PLANNING BOARD OF HOWARD COUNTY  
DATE: 11/9/19

A:\PROJECTS\BROWNSHOP\CAD\PLANS\BROWNSHOP\18-005 - BLDG C ELEVATIONS\DWG\18-005-03.dwg

APPROVED: HOWARD COUNTY DEPT. OF PLANNING & ZONING  
*[Signature]* 1/19/21  
CHIEF, DEVELOPMENT ENGINEERING DIVISION  
DATE

*[Signature]* 2/3/21  
CHIEF, DIVISION OF LAND DEVELOPMENT  
DATE

*[Signature]* 2-3-21  
DIRECTOR  
DATE



**GRAPHIC SYMBOL LEGEND:**

- (X) NUMBER OF STALLS PER ROW
- [Symbol] PARKING STALL, 9'x18' RESIDENTIAL (R)
- [Symbol] PARKING STALL, 9'x18' RETAIL/ REST. GUEST (G)
- [Symbol] PARKING STALL, 9'x18' HOTEL (H)
- [Symbol] ACCESSIBLE PARKING STALL, 9'x18' W/ 5' AISLE
- [Symbol] ACCESSIBLE PARKING STALL, VAN - 9'x18' W/ 8' AISLE
- [Symbol] PARALLEL PARKING STALL, 20'x10'
- [Symbol] TRAFFIC DIRECTION ARROWS
- [Symbol] ELECTRICAL TRANSFORMER
- [Symbol] LINE OF SPRINKLER HOSE (MAX. DIST. OF 130'-0": 100'-0" HOSE PULL AND MAX. 30'-0" HOSE SPRAY LENGTH)

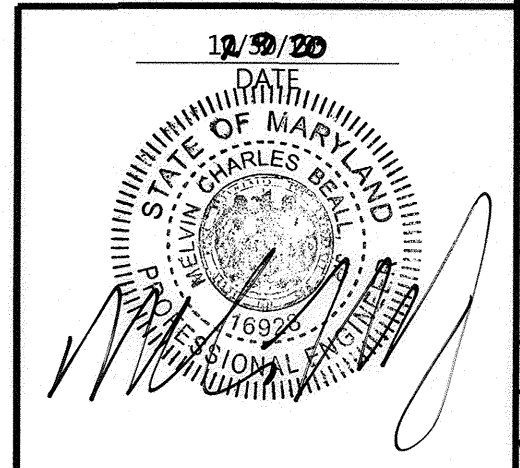
**NOTE:**

1. DUE TO PARKING DECK SPIRALING, THE DEPICTION OF PROPOSED PARKING FROM LEVEL TO LEVEL MAY VARY FROM OTHER CHARTS WITHIN THIS SET.
2. FOR THE RESTRICTED PORTION OF THE GARAGE, RESIDENTS WILL HAVE A CARD READER SYSTEM IN THEIR CARS ASSIGNED TO THEM. VISITORS WILL BE MET BY RESIDENT PRIOR TO ENTRY INTO THE GARAGE.
3. PARKING FOR RETAIL AND HOTEL WILL NOT BE RESERVED/DEDICATED.

**FILE NUMBERS:**  
F-15-106, F-16-107, F-17-059, F-18-017, SDP-16-075, SDP-17-027, WP-17-010, WP-17-049, WP-17-052, WP-17-059, WP-17-115, WP-18-020, WP-18-021, SP-16-009, WP-17-100

**CONTRACT NUMBERS:**  
24-4931-D, 24-4975-D, 24-4974-D

**PROFESSIONAL CERTIFICATION**  
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 16928, EXPIRATION DATE: 05/13/22.



PROFESSIONAL ENGR. NO. 16928

APPROVED:  
PLANNING BOARD OF HOWARD COUNTY  
DATE: 11/8/18

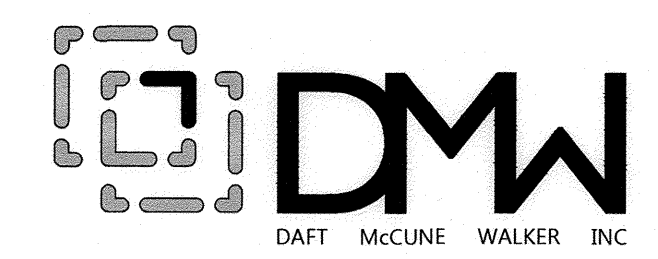
**NOTE:**  
RETAIL SUITES ARE ACCESSED ALONG EXTERIOR OF BUILDING.

SCALE: 1/32" = 1'-0"

Date	No.	Revision Description
10/30/20	1	UPDATE PLANS PER REVISION BLDG. 'C' LAYOUT & UTILITIES
04/19/19	2	BDG C ELEVATIONS, AND INTERIOR LAYOUT

**DOWNTOWN COLUMBIA**  
CRESCENT NEIGHBORHOOD  
PHASE I AREA 3, PHASE 2  
PARCELS D-1, D-7, D-8, D-9, D-11, D-12 AND D-13

OWNER / DEVELOPER:  
THE HOWARD RESEARCH AND DEVELOPMENT CORPORATION  
COLUMBIA REGIONAL OFFICE  
10480 LITTLE PATUXENT PARKWAY SUITE 400  
COLUMBIA, MD 21044  
410-961-4800



501 FAIRMOUNT AVENUE SUITE 300 TOWSON, MD 21286 P: 410 296 3333 F: 410 296 4705 WWW.DMW.COM
PROJECT NAME: DOWNTOWN COLUMBIA CRESCENT NEIGHBORHOOD PHASE I AREA 3
PLAT OR LOT: 7
ZONE: 30
SEWER CODE: 550
STAGE: 1
CENSUS TRACT: 605602

<b>BUILDING C 1ST FLR. PLN. &amp; GARAGE PLANS</b>		
REVISED SITE DEVELOPMENT PLAN		
Des. By: GDT/DM	SCALE: AS SHOWN	Proj. No. 04038.80
Drn. By: MCJ	Date: 02/15/19	4 of 78
Chk. By: MCB	Approved: MCB	

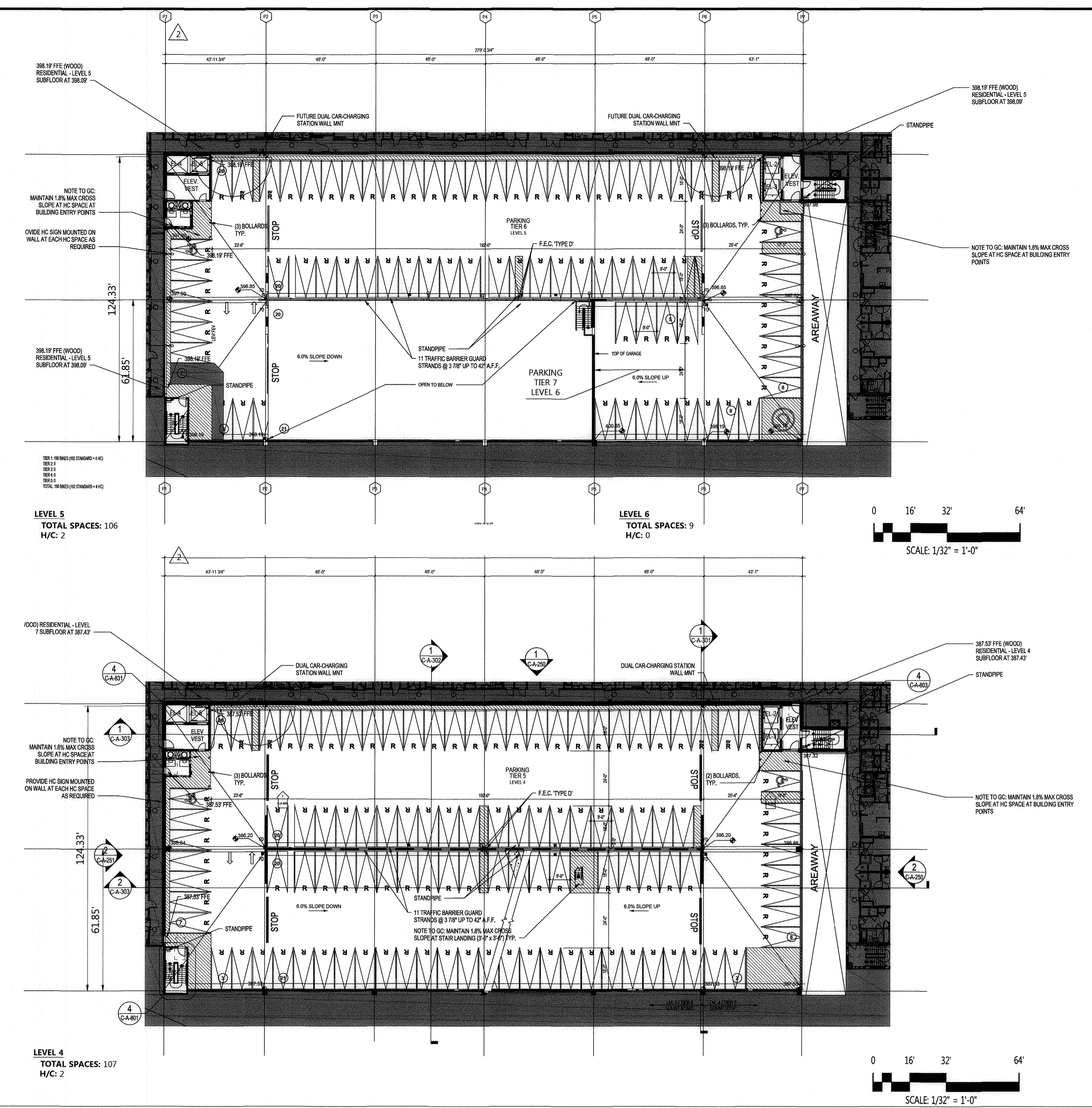
APPROVED: HOWARD COUNTY DEPT. OF PLANNING & ZONING

Chief, Development Engineering Division: 1-15-21

Chief, Division of Land Development: 2-3-21

Director: 2-3-21

**BUILDING C GARAGE SPACE LAYOUT**



**BUILDING C GARAGE SPACE LAYOUT**

APPROVED: HOWARD COUNTY DEPT. OF PLANNING & ZONING  
 Chief, Development Engineering Division  
 Chief, Division of Land Development  
 Director

1/15/21  
 2/3/21  
 2-3-21

PROVIDED PARKING COUNT NOVEMBER 18, 2020		
LEVELS	TYPE	STALLS
LEVEL 1 (TIER 1)	27,384 SF	
	9' X 18' STANDARD (RESID.)	46
	9' X 18' ACCESSIBLE VAN (RESID.)	1
	9' X 18' ACCESSIBLE (RESID.)	0
	9' X 18' ACCESSIBLE VAN EV (RESID.)	1
	9' X 18' ACCESSIBLE EV (RESID.)	1
	9' X 18' LEV / FEV	0
	9' X 18' EV	2
		51
LEVEL 1.5 (TIER 2)	33,884 SF	
	9' X 18' STANDARD (RESID.)	101
	9' X 18' ACCESSIBLE (RESID.)	1
	9' X 18' EV	2
		104
LEVEL 2 (TIER 3)	34,035 SF	
	9' X 18' STANDARD (RESID.)	101
	9' X 18' ACCESSIBLE (RESID.)	2
	9' X 18' ACCESSIBLE EV (RESID.)	0
	9' X 18' EV	4
		107
LEVEL 3 (TIER 4)	34,035 SF	
	9' X 18' STANDARD (RESID.)	101
	9' X 18' ACCESSIBLE (RESID.)	2
	9' X 18' ACCESSIBLE EV (RESID.)	0
	9' X 18' EV	4
		107
LEVEL 4 (TIER 5)	34,035 SF	
	9' X 18' STANDARD (RESID.)	101
	9' X 18' ACCESSIBLE (RESID.)	2
	9' X 18' ACCESSIBLE EV (RESID.)	0
	9' X 18' EV	4
		107
LEVEL 5 (ROOF) (TIER 6)	34,035 SF	
	9' X 18' STANDARD (RESID.)	104
	9' X 18' ACCESSIBLE (RESID.)	2
	9' X 18' ACCESSIBLE EV (RESID.)	0
	9' X 18' EV	0
		106
LEVEL 6 (ROOF) (TIER 7)	2,928 SF	
	9' X 18' STANDARD (RESID.)	9
	9' X 18' ACCESSIBLE (RESID.)	0
	9' X 18' EV	0
		9
<b>TOTAL</b>		<b>591</b>

- GRAPHIC SYMBOL LEGEND:**
- NUMBER OF STALLS PER ROW
  - PARKING STALL, 9'x18' RESIDENTIAL (R)
  - PARKING STALL, 9'x18' RETAIL/ REST. GUEST (G)
  - PARKING STALL, 9'x18' RESIDENTIAL VISITOR (V)
  - ACCESSIBLE PARKING STALL, 9'x18' W/ 5' AISLE
  - ACCESSIBLE PARKING STALL, VAN - 9'x18' W/ 8' AISLE
  - PARALLEL PARKING STALL, 20'x10'
  - TRAFFIC DIRECTION ARROWS
  - ELECTRICAL TRANSFORMER
  - LINE OF SPRINKLER HOSE (MAX. DIST. OF 130'-0": 100'-0" HOSE PULL AND MAX. 30'-0" HOSE SPRAY LENGTH)

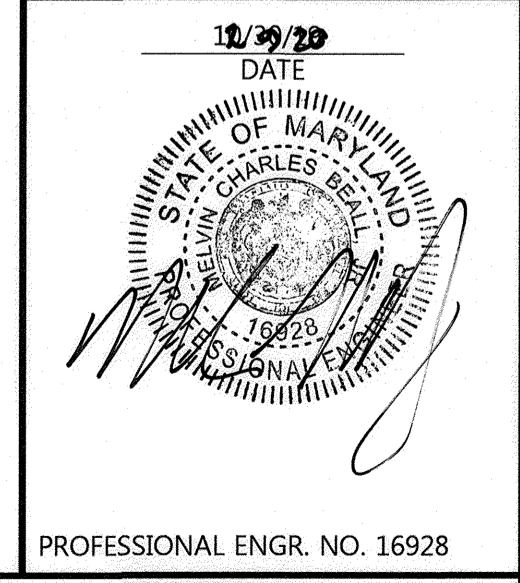
**NOTE:**

- DUE TO PARKING DECK SPIRALING, THE DEPICTION OF PROPOSED PARKING FROM LEVEL TO LEVEL MAY VARY FROM OTHER CHARTS WITHIN THIS SET.
- PARKING FOR RETAIL AND HOTEL WILL NOT BE RESERVED/DEDICATED.

**FILE NUMBERS:**  
 F 15-106, F 16-107, F 17-059, F 18-017, SDP-16-075, SDP-17-027, WP-17-010, WP-17-049, WP-17-052, WP-17-059, WP-17-115, WP-18-020, WP-18-021, SP-16-009, WP-17-100

**CONTRACT NUMBERS:**  
 24-4931-D, 24-4975-D, 24-4974-D

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APPROVED:  
 PLANNING BOARD OF HOWARD COUNTY  
 DATE: 11/18/21

**SCALE: 1/32" = 1' - 0"**

10/30/20	UPDATE PLANS PER REVISED BLDG. 'C' LAYOUT & UTILITIES	
04/19/19	BLDG C ELEVATIONS AND INTERIOR LAYOUT	
Date	No.	Revision Description

**DOWNTOWN COLUMBIA**  
 CRESCENT NEIGHBORHOOD  
 PHASE I AREA 3, PHASE 2  
 PARCELS D-1, D-7, D-8, D-9, D-11, D-12 AND D-13

OWNER / DEVELOPER:  
 THE HOWARD RESEARCH AND DEVELOPMENT CORPORATION  
 COLUMBIA REGIONAL OFFICE  
 10180 LITTLE PATUXENT PARKWAY SUITE 400  
 COLUMBIA, MD 21044  
 410-964-4800

**DW**  
 DAFT MCCUNE WALKER INC

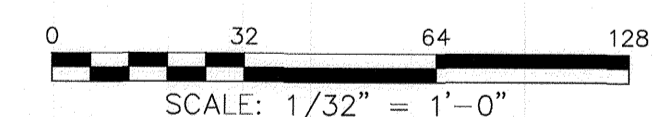
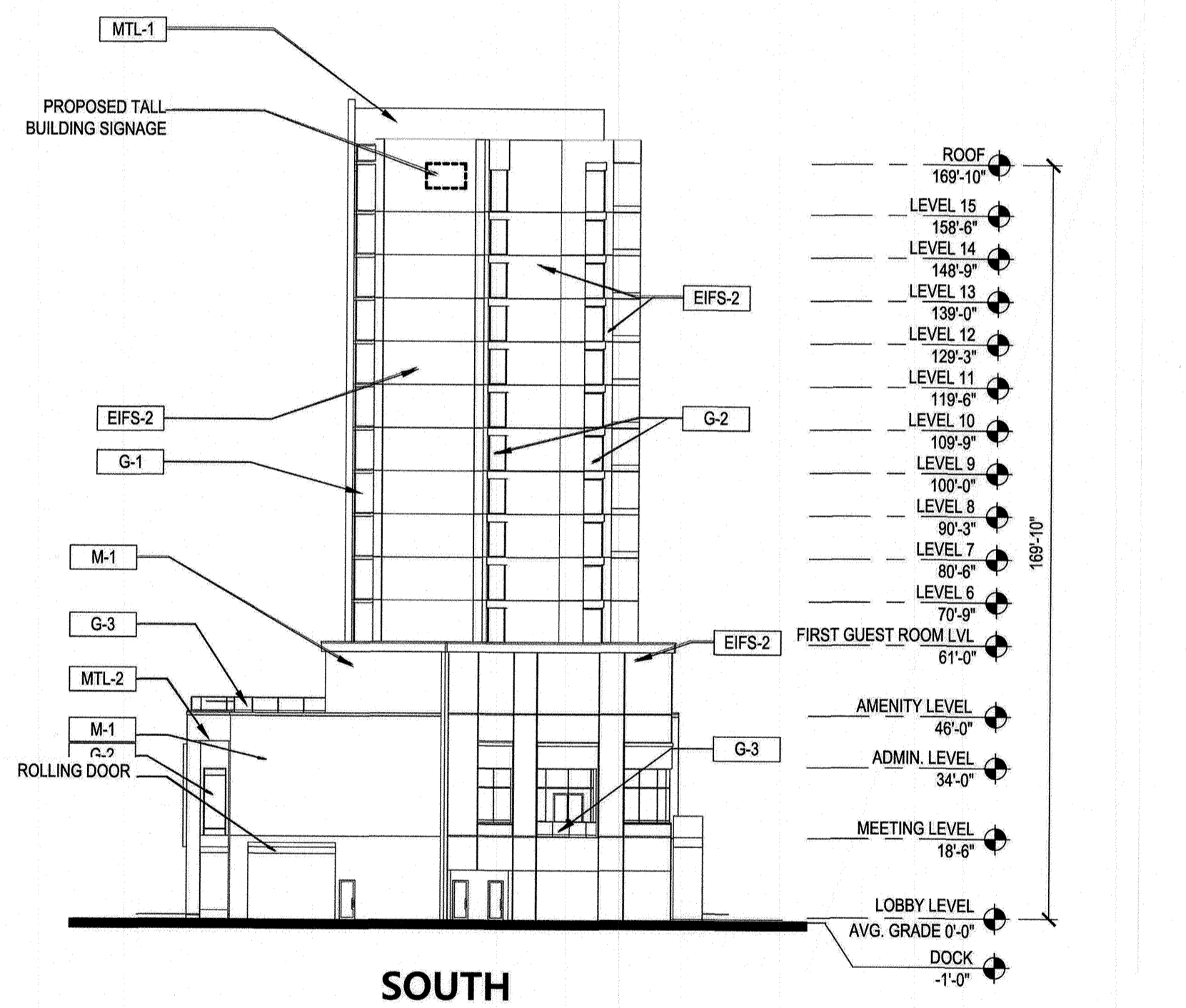
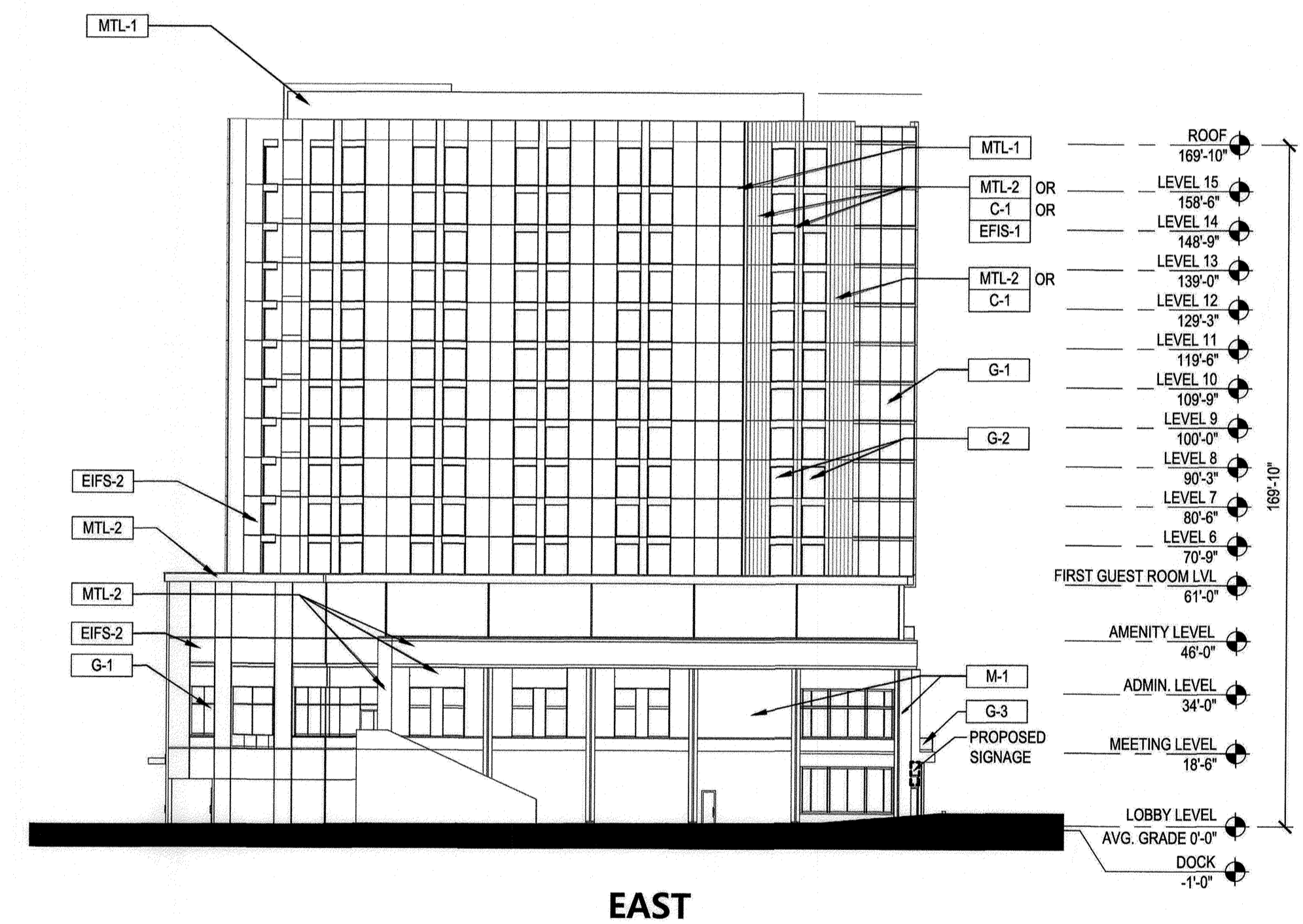
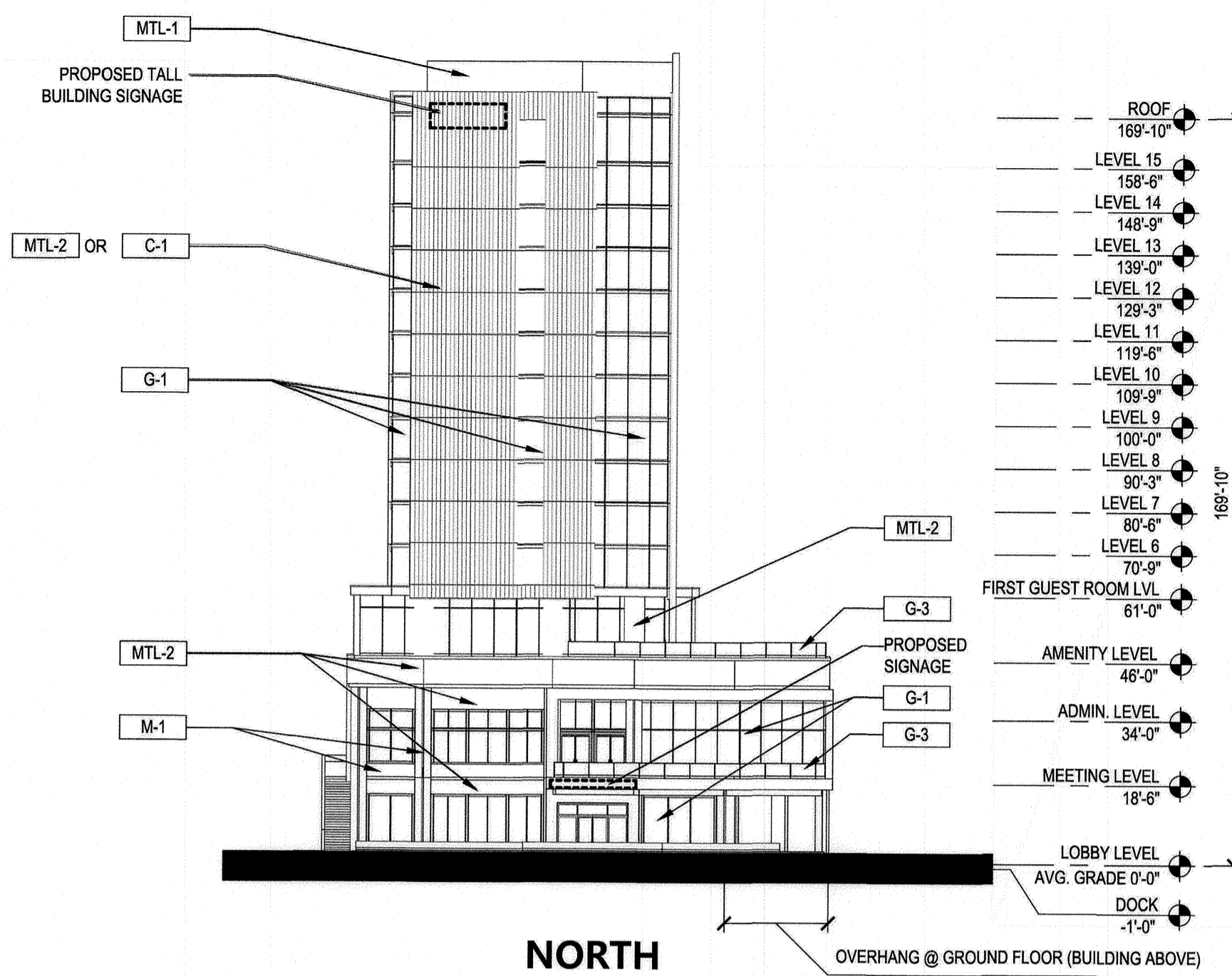
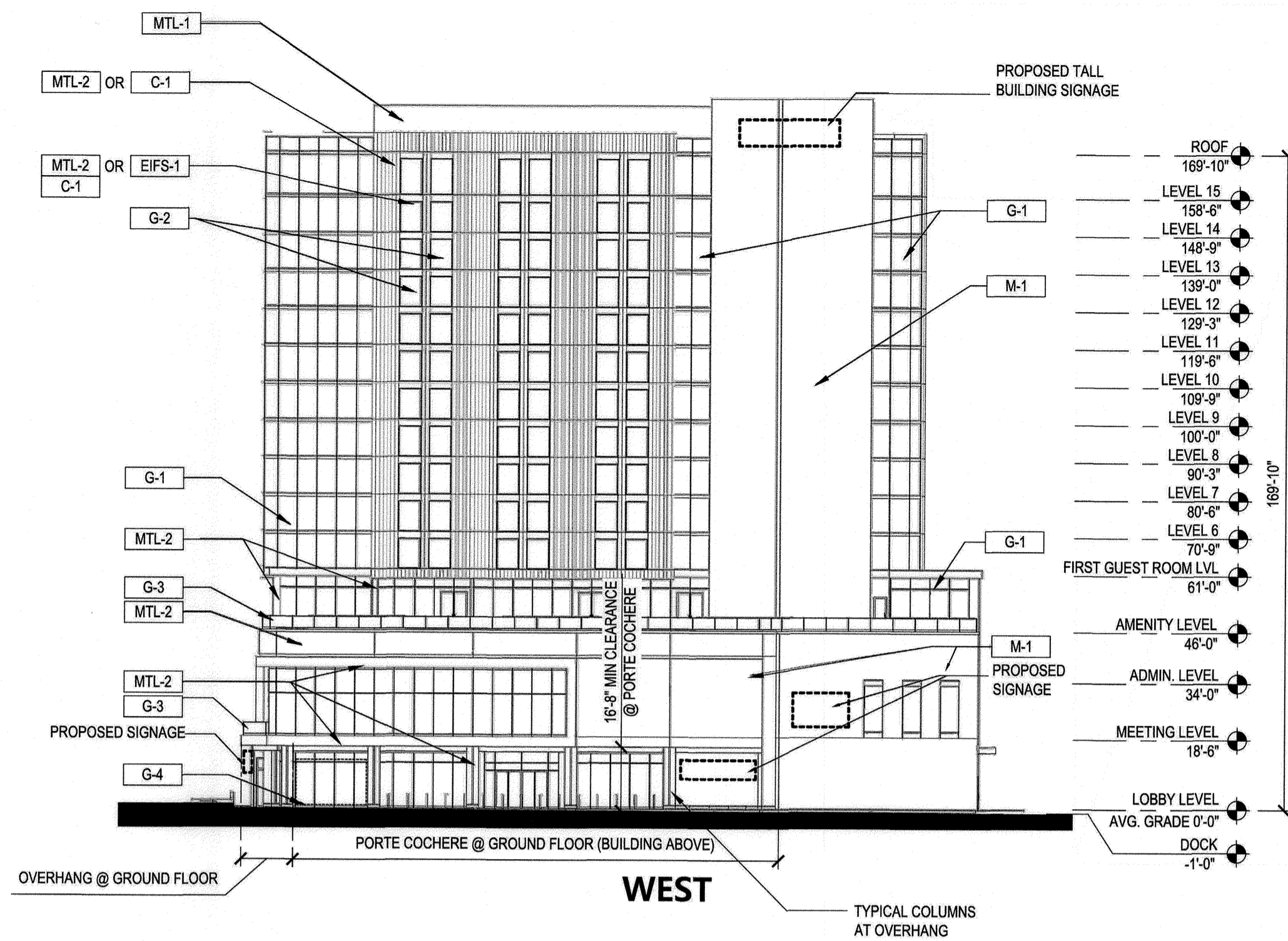
501 FAIRMOUNT AVENUE SUITE 300 TOWSON, MD 21286  
 P: 410 296 3333 F: 410 296 4705 WWW.DMW.COM

SUBDIVISION NAME	DOWNTOWN COLUMBIA	SECTION/AREA	CRESCENT NEIGHBORHOOD	LOT/PARCEL #	
PLAT OR L.P.	2018-001	BLOCK #	7	TRAC	
WATER CODE	550	SEWER CODE	5	STAGE	1

**BUILDING C GARAGE PLANS**  
 REVISED SITE DEVELOPMENT PLAN

Des. By	GDT/DM	SCALE	AS SHOWN	Proj. No.	04038.80
Drn. By	MCJ	Date	02/15/19		
Chk. By	MCB	Approved	MCB		5 of 78

SDP-18-005



EXTERIOR FINISH LEGEND	
DESIG.	
MTL-1	CORRUGATED METAL
MTL-2	COMPOSITE METAL PANEL
MTL-3	ROLLING DOOR
M-1	BRICK
C-1	CEMENTITIOUS PANEL
EIFS-1	EIFS
EIFS-2	EIFS (MEDIUM FINISH)
G-1	GLAZING SYSTEM
G-2	VISION GLASS
G-3	GLASS GUARDRAIL
G-4	OPERABLE GLASS WALL SYSTEM

**BUILDING E-1 - HOTEL**

**GENERAL NOTES:**  
 1. THE SCHEMATIC DESIGN BUILDING ELEVATIONS INDICATE BUILDING HEIGHT, MASSING, AND ARCHITECTURAL INTENT AND MAY CHANGE WITH FURTHER DESIGN DEVELOPMENT. FINAL ARCHITECTURAL DESIGN WILL BE SHOWN ON THE CONSTRUCTION DOCUMENTS AND WILL BE REVIEWED FOR COMPLIANCE WITH THE NEIGHBORHOOD SPECIFIC DESIGN GUIDELINES AT THE TIME OF BUILDING PERMIT.

**GLAZING ANALYSIS:**

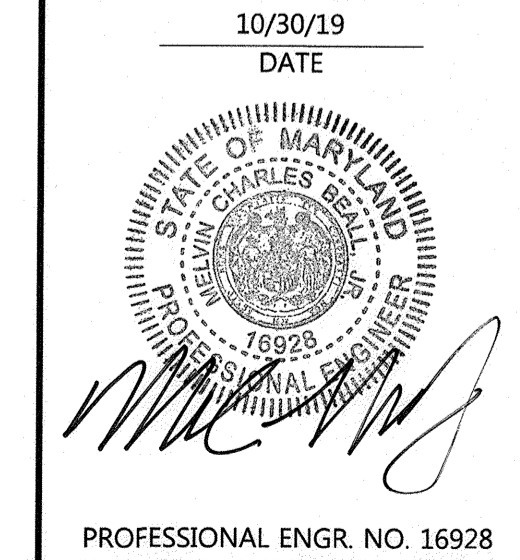
HOTEL	ELEVATION	PODIUM / TOWER	% GLAZING
	WEST	TOWER	46%
	WEST	PODIUM	32%
	NORTH	TOWER	39%
	NORTH	PODIUM	46%
	EAST	TOWER	34%
	EAST	PODIUM	15%
	SOUTH	TOWER	15%
	SOUTH	PODIUM	10%

HOWARD COUNTY DEPT. OF PLANNING & ZONING  
 [Signature] 12-4-19  
 CHIEF, DEVELOPMENT ENGINEERING DIVISION  
 [Signature] 12-11-19  
 CHIEF, DIVISION OF LAND DEVELOPMENT  
 [Signature] 12-12-19  
 DIRECTOR

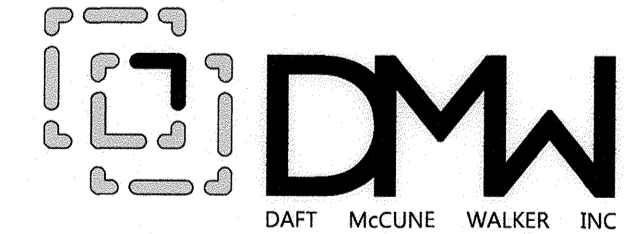
**FILE NUMBERS:**  
 F 15-106, F 16-107, F 17-059, F-18-017, SDP-16-075, SDP-17-027, WP-17-010, WP-17-049, WP-17-052, WP-17-059, WP-17-115, WP-18-020, WP-18-021, SP-16-009, WP-17-100

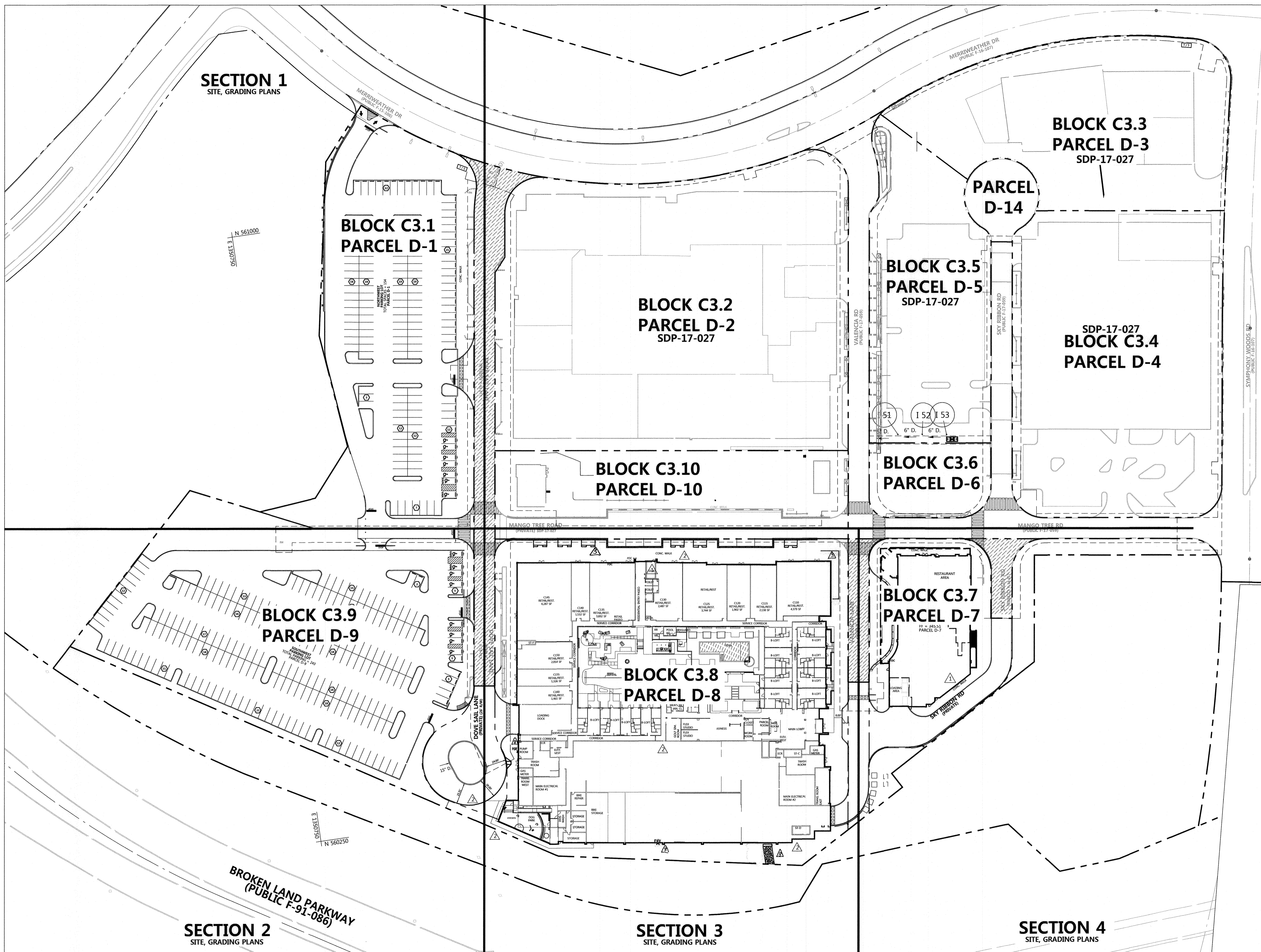
**CONTRACT NUMBERS:**  
 24-4931-D, 24-4975-D, 24-4974-D

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APPROVED:  
 PLANNING BOARD OF HOWARD COUNTY  
 DATE: October 17, 2019

4/19/19	1	UPDATE PLANS PER REVISED BLDG. 'C' LAYOUT AND NEW BUILDING E-1 HOTEL
Date	No.	Revision Description
<b>DOWNTOWN COLUMBIA</b>		
<b>CRESCENT NEIGHBORHOOD</b>		
<b>PHASE I AREA 3, PHASE 2</b>		
PARCELS D-1, D-7, D-8, D-9, D-11, D-12 AND D-13		
MIXED USE GREEN OFFICE, RESIDENTIAL RETAIL, RESTAURANT, & HOTEL BUILDING		
OWNER / DEVELOPER: THE HOWARD RESEARCH AND DEVELOPMENT CORPORATION COLUMBIA REGIONAL OFFICE 10480 LITTLE PATUXENT PARKWAY SUITE 400 COLUMBIA, MD 21044 410-964-4800		
 DAFT MCCUNE WALKER INC		
501 FAIRMOUNT AVENUE SUITE 300 TOWSON, MD 21286 P: 410 296 3333 F: 410 296 4705 WWW.DMW.COM		
SDP/PROJECT NAME DOWNTOWN COLUMBIA	SECTION/AREA CRESCENT NEIGHBORHOOD	LOT/PARCEL # PARCEL D
PLAT OR L.P. 2018-009	BLOCK & PLOT 7 RW1	TAX ZONING 36
WATER CODE 550	SEWER CODE LITTLE PATUXENT	CENSUS TRACT 605602
STAGE 1		
TITLE <b>BUILDING E-1 ELEVATION</b> REVISED SITE DEVELOPMENT PLAN		
Des. By GDT/DM	SCALE AS SHOWN	Proj. No. 04038.B0
Drn. By MCJ	Date 02/15/19	
Chk. By MCB	Approved MCB	6 of 78



**SECTION 1**  
SITE, GRADING PLANS

**SECTION 2**  
SITE, GRADING PLANS

**SECTION 3**  
SITE, GRADING PLANS

**SECTION 4**  
SITE, GRADING PLANS

**BLOCK C3.1**  
**PARCEL D-1**

**BLOCK C3.2**  
**PARCEL D-2**  
SDP-17-027

**BLOCK C3.3**  
**PARCEL D-3**  
SDP-17-027

**PARCEL D-14**

**BLOCK C3.5**  
**PARCEL D-5**  
SDP-17-027

SDP-17-027  
**BLOCK C3.4**  
**PARCEL D-4**

**BLOCK C3.10**  
**PARCEL D-10**

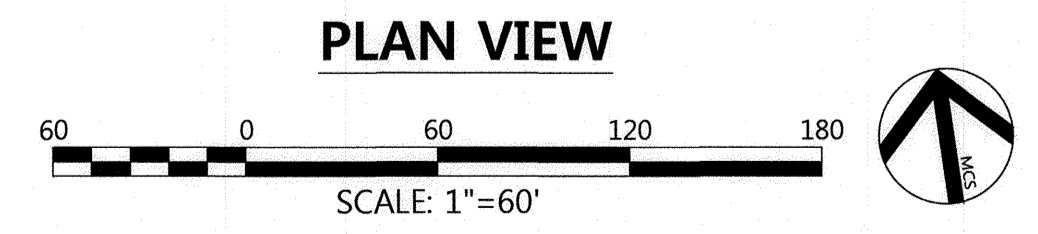
**BLOCK C3.6**  
**PARCEL D-6**

**BLOCK C3.9**  
**PARCEL D-9**

**BLOCK C3.8**  
**PARCEL D-8**

**BLOCK C3.7**  
**PARCEL D-7**

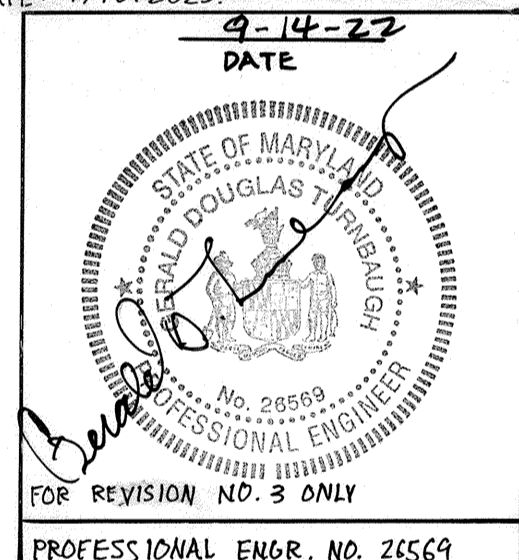
APPROVED: HOWARD COUNTY DEPT. OF PLANNING & ZONING  
 [Signature] 1-15-21  
 CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE  
 [Signature] 2/15/21  
 CHIEF, DIVISION OF LAND DEVELOPMENT DATE  
 [Signature] 2-3-21  
 DIRECTOR DATE



**LEGEND**

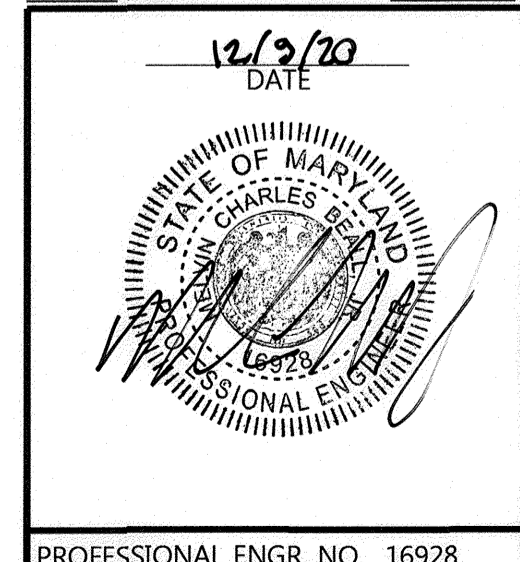
- PROPERTY LINE
- - - PROP. EASEMENT
- - - EX. CURB
- - - EX. BUILDING
- - - PUBLIC ROAD

PROFESSIONAL CERTIFICATION  
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 WERE PREPARED OR APPROVED BY ME, AND  
 THAT I AM A DULY LICENSED PROFESSIONAL  
 ENGINEER UNDER THE LAWS OF THE STATE  
 OF MARYLAND, LICENSE NO. 26569, EXPIRATION  
 DATE: 7/18/2023.



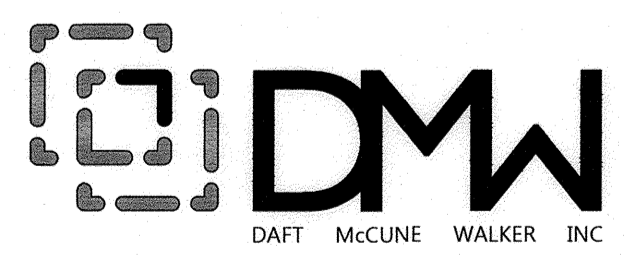
**FILE NUMBERS:**  
 F 15-106, F 16-107, F 17-059, F 18-017,  
 SDP-16-075, SDP-18-005, WP-17-010,  
 WP-17-049, WP-17-052, WP-17-115,  
 WP-18-020, WP-18-021, SP-16-009,  
 WP-16-100 FDP-DC-CRESCENT-1,  
 FDP-DC-CRESCENT-1A, SDP 17-027, F 17-057,  
 F18-017, WP-18-089, WP-18-105.  
**CONTRACT NUMBERS:**  
 24-4931-D, 24-4975-D, 24-4974-D.

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 ENGINEER UNDER THE LAWS OF THE  
 STATE OF MARYLAND, LICENSE NO.  
 16928, EXPIRATION DATE: 05/13/22.



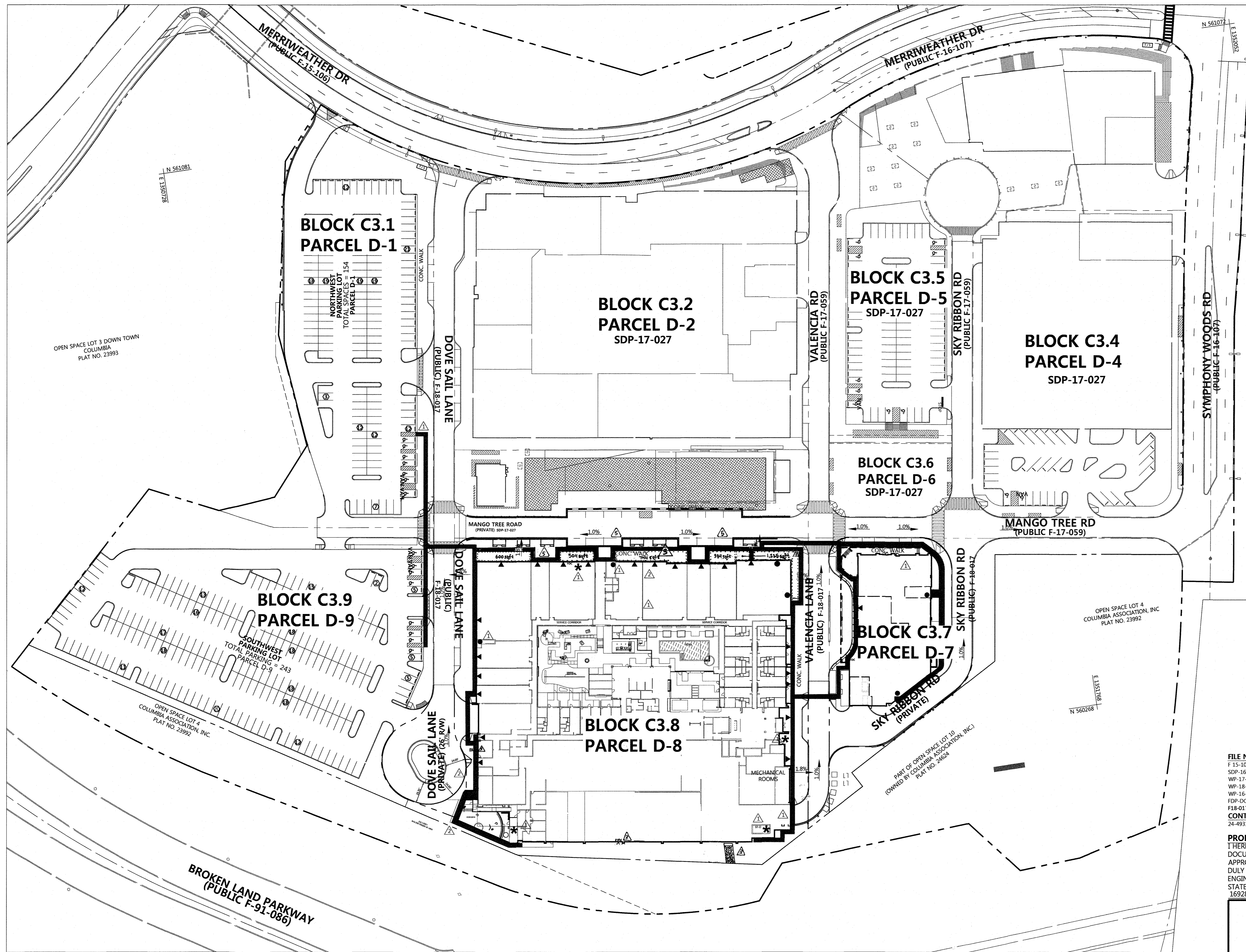
PROFESSIONAL ENGR. NO. 16928  
 APPROVED:  
 PLANNING BOARD OF HOWARD COUNTY  
 DATE: 11/8/18

7-6-22	UPDATE PLANS PER AS-BUILT CONDITIONS	
10/30/20	UPDATE PLANS PER REVISED BLDG. "C" LAYOUT & UTILITIES	
04/19/19	UPDATE PLANS PER REVISED BLDG. "C" LAYOUT & NEW BLDG. E-1 HOTEL	
Date	No.	Revision Description
<b>DOWNTOWN COLUMBIA</b>		
<b>CRESCENT NEIGHBORHOOD</b>		
<b>PHASE I AREA 3, PHASE 2</b>		
PARCELS D-1, D-7, D-8, D-9, D-11, D-12 AND D-13		
MIXED USE GREEN OFFICE, RESIDENTIAL, RETAIL, RESTAURANT, & HOTEL BUILDING		
OWNER / DEVELOPER: THE HOWARD RESEARCH AND DEVELOPMENT CORPORATION COLUMBIA REGIONAL OFFICE 10960 GRANTCHESTER WAY SUITE 110 COLUMBIA, MD 21044 410-964-4800		



501 FAIRMOUNT AVENUE SUITE 300 TOWSON, MD 21286 P: 410 296 3333 F: 410 296 4705 WWW.DMW.COM			
SECTION	LOT/PARCEL #	PARCEL D	
DOWNTOWN COLUMBIA			
PLATE OR LOT #	TAX ZONE/ASSESSOR	LOT DISTRICT	CENSUS TRACT
24881-24889	7	36	5
WATER CODE	SEWER CODE	LITTLE PATUXENT	STAGE
S50			1

<b>BOUNDARY PLAN AND KEY SHEET</b>			
REVISED SITE DEVELOPMENT PLAN			
Des. By	GDT/DM	SCALE AS SHOWN	Proj. No. 04038.B0
Drn. By	MCJ	Date 02/15/19	
Chk. By	MCB	Approved MCB	7 of 78



- LEGEND**
- ▲ BUILDING ENTRANCE
  - SECONDARY MEANS OF EGRESS
  - \* PEDESTRIAN ACCESS TO GARAGE
  - ACCESSIBLE ROUTE
  - ▭ OUTDOOR SEATING AREA

- NOTES:**
1. THE CROSS SLOPE SHALL NOT EXCEED 1.8%. 5X5 LEVEL LANDINGS AND ENTRANCE AND EXIT DOORS. THE SLOPE IN THE LINE OF TRAVEL SHALL NOT BE 5% OR MORE UNLESS RAMPS ARE PROVIDED.
  2. WHEN BUILDING OR TENANT SPACES ARE REQUIRED TO HAVE A SECOND MEANS OF EGRESS, THIS SECOND MEANS OF EGRESS SHALL BE HANDICAP ACCESSIBLE TO THE PUBLIC WAY.

**FOR REDLINE REVISION NO. 5 ONLY**

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I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NO. 26569, EXPIRATION DATE: 7/18/2025

DATE: 9-14-22  
PROFESSIONAL ENGR. NO. 26569

**FOR REVISION NO. 3 ONLY**  
PROFESSIONAL ENGR. NO. 26569

**FOR REVISION NO. 2 ONLY**  
PROFESSIONAL ENGR. NO. 26569

**FILE NUMBERS:**  
F-15-106, F-16-107, F-17-059, F-18-017, SDP-16-075, SDP-18-005, WP-17-010, WP-17-049, WP-17-052, WP-17-115, WP-18-020, WP-18-021, SP-16-009, WP-18-180, FDP-DC-CRESENT-1, FDP-DC-CRESENT-1A, SDP-17-027, F-17-057, F-18-017, WP-18-089, WP-18-105.

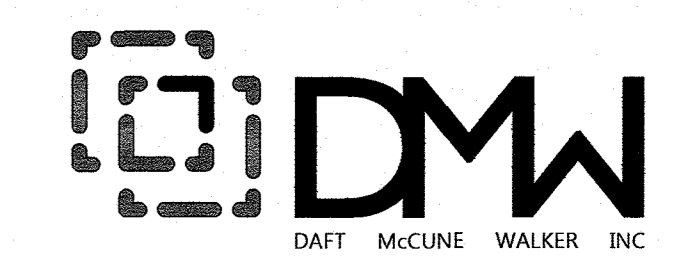
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Date	No.	Revision Description
4/19/24	5	ADD OUTDOOR DINING PATIO AREAS & REVISE ADA ACCESSIBLE ROUTE PATHS
7/16/22	4	UPDATE PLANS PER AS-BUILT CONDITIONS
10/30/20	3	UPDATE PLANS PER REVISED BLDG. 'C' LAYOUT & UTILITIES
04/19/19	2	UPDATE PLANS PER REVISED BLDG. 'C' LAYOUT & NEW BLDG. E-1 HOTEL

**DOWNTOWN COLUMBIA**  
**CRESCENT NEIGHBORHOOD**  
**PHASE I AREA 3, PHASE 2**  
**PARCELS D-1, D-7, D-8, D-9, D-11, D-12 AND D-13**  
MIXED USE GREEN OFFICE, RESIDENTIAL RETAIL, RESTAURANT, & HOTEL BUILDING

OWNER / DEVELOPER:  
THE HOWARD RESEARCH AND DEVELOPMENT CORPORATION  
10960 GRANTCHESTER WAY SUITE 110  
COLUMBIA, MD 21044  
410-964-1800



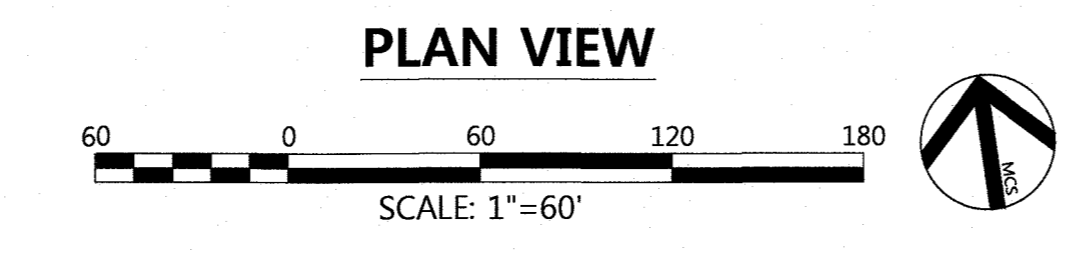
501 FAIRMOUNT AVENUE SUITE 300 TOWSON, MD 21286 P: 410 296 3333 F: 410 296 4705 WWW.DMW.COM		
SUBDIVISION NAME: DOWNTOWN COLUMBIA	SECTION: CRESCENT NEIGHBORHOOD	LOT/PARCEL #: PARCEL D
PLAT NO.: 23993	BLOCK: 7	TAX ZONE/ADAP: 36
DATE: 11/8/21	LOT: DMW	ELEC DISTRICT: 5
WATER CODE: 550	SEWER CODE: LITTLE PATUXENT	STAGE: 1
TITLE: ACCESSIBLE ROUTE PLAN		
Des. By: GDT/DM	SCALE: AS SHOWN	Proj. No.: 04038.B0
Drn. By: MCB	Date: 02/15/19	8 of 78
Chk. By: MCB	Approved: MCB	

APPROVED: HOWARD COUNTY DEPT. OF PLANNING & ZONING  
DATE: 1/5/21

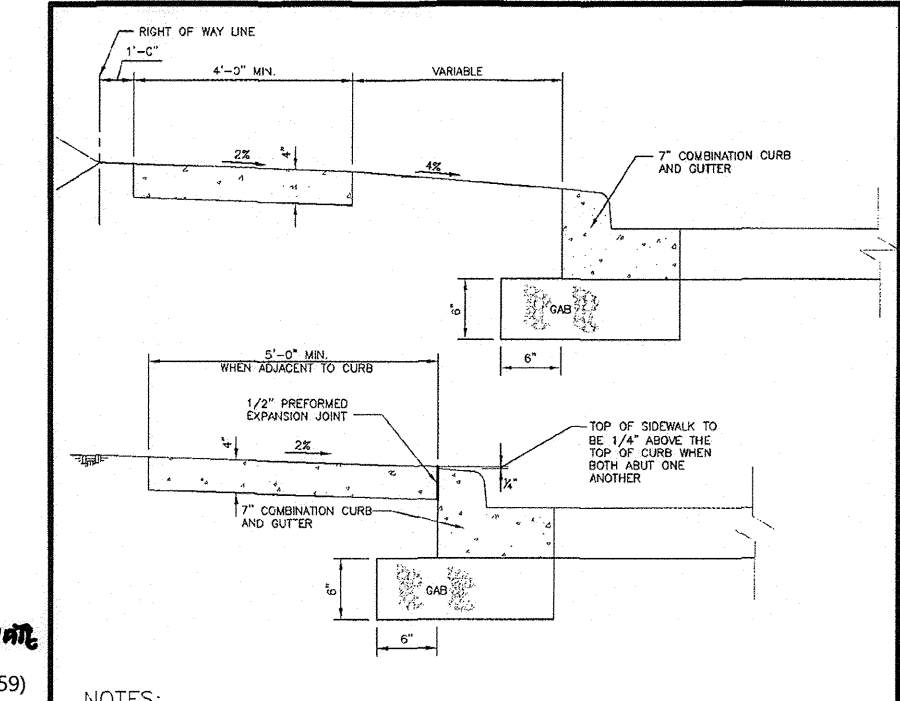
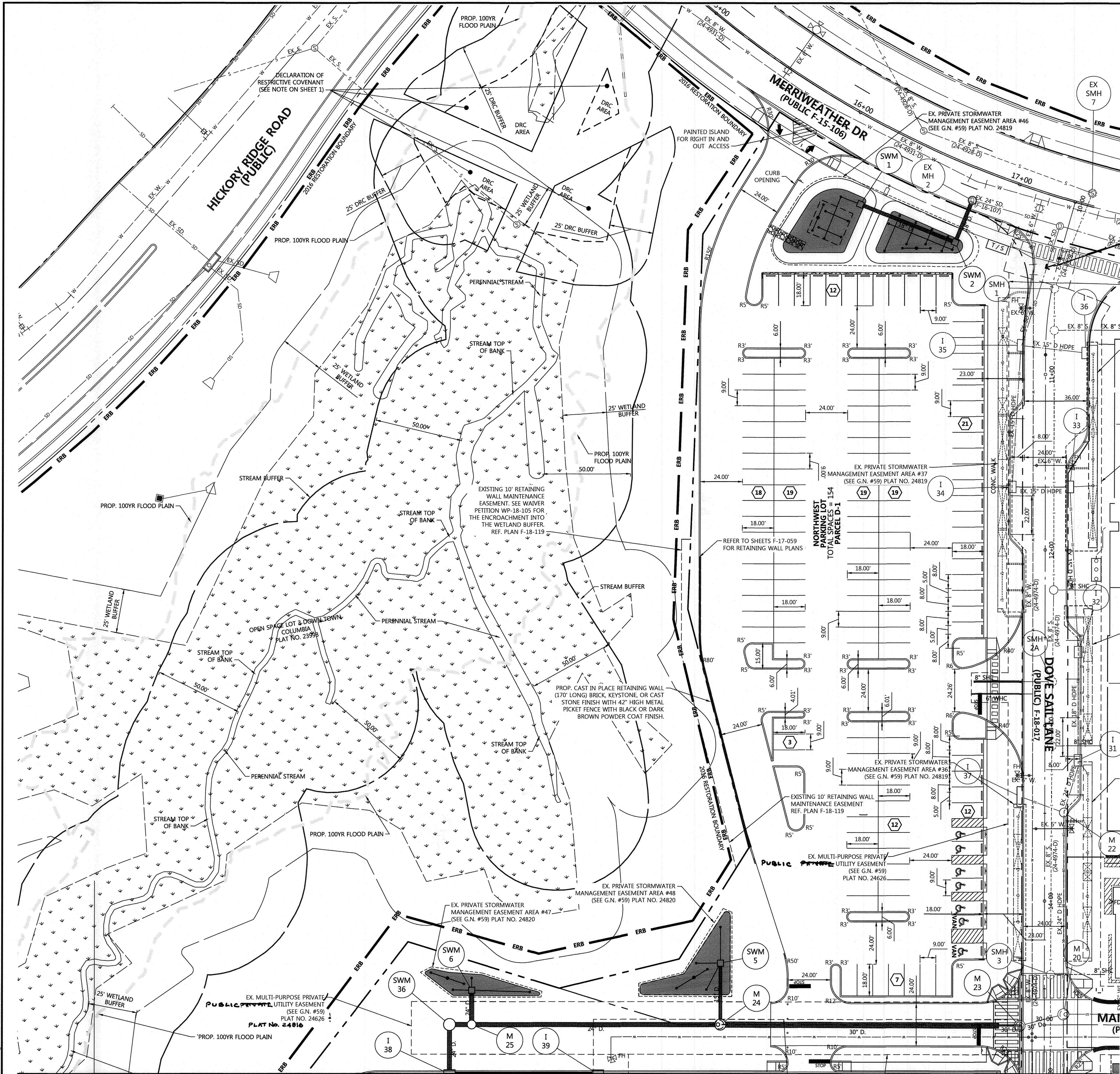
CHIEF, DEVELOPMENT ENGINEERING DIVISION

CHIEF, DIVISION OF LAND DEVELOPMENT  
DATE: 2/3/21

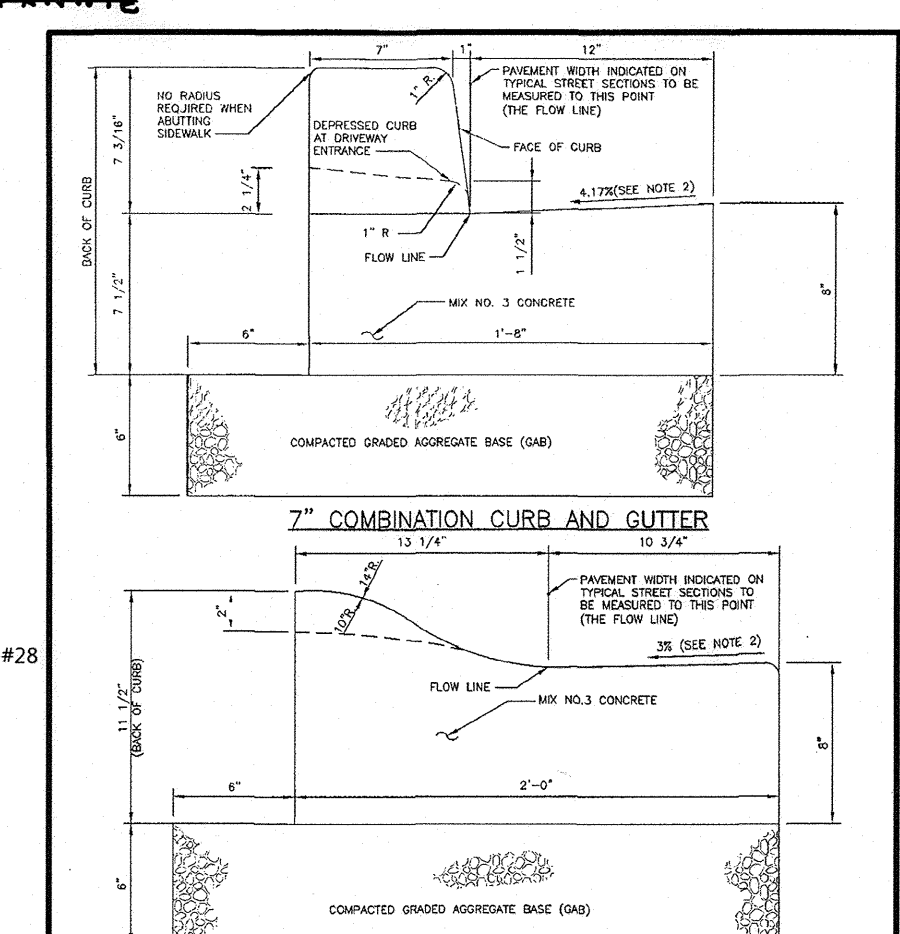
DIRECTOR  
DATE: 2-3-21







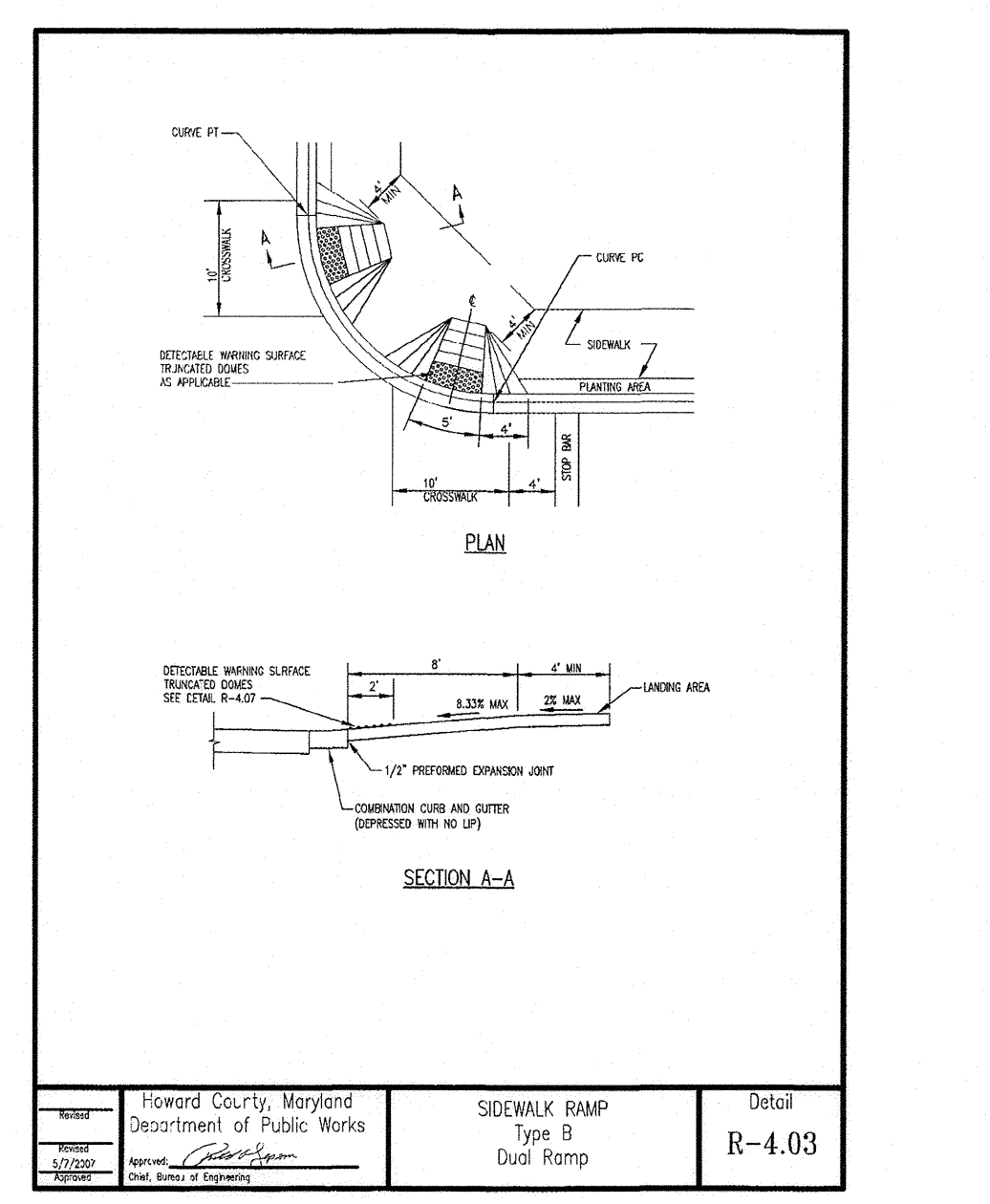
Howard County, Maryland Department of Public Works	Concrete Sidewalk	Detail
Project No. 24-4931-D	Sheet No. R-3.05	



Howard County, Maryland Department of Public Works	CURB AND GUTTER 7" Modified	Detail
Project No. 24-4931-D	Sheet No. R-3.01	

### LEGEND

	BOLLARD
	PROPERTY LINE
	EX. CONTOURS
	EX. CURB
	EX. BUILDING
	EX. TREE LINE
	EX. WATER
	EX. SEWER
	EX. STORM DRAIN
	EX. OVERHEAD TELEPHONE
	EX. EASEMENT
	EX. UTILITY POLE
	PROP. EASEMENT
	PROP. CONTOURS
	PROP. WATER
	PROP. SEWER
	PROP. STORM DRAIN
	PROP. BUILDING
	PROP. CURB
	PROP. TREE LINE
	SURFACE PLANTING BED
	(M-6) TREE PIT MICRO-BIORETENTION FACILITY
	EX. (M-6) MODULAR MICRO-BIORETENTION FACILITY
	UNDERGROUND CPV STORMWATER MANAGEMENT
	TRANSIT SHELTER



Howard County, Maryland Department of Public Works	SIDEWALK RAMP Type B Dust Ramp	Detail
Project No. 24-4931-D	Sheet No. R-4.03	

APPROVED: HOWARD COUNTY DEPT. OF PLANNING & ZONING

*Chad P. ...* 3-20-19  
CHIEF, DEVELOPMENT ENGINEERING DIVISION

*Keith ...* 4-24-19  
CHIEF, DIVISION OF LAND DEVELOPMENT

*Val ...* 4-24-19  
DIRECTOR, DIVISION OF LAND DEVELOPMENT

CONTINUATION LINE SHEET 10

PLAN VIEW

SCALE: 1" = 30'

EX. MULTI-PURPOSE PUBLIC/PRIVATE UTILITY EASEMENT (SEE G.N. #59) PLAT NO. 24616

EX. MULTI-PURPOSE PRIVATE UTILITY EASEMENT (SEE G.N. #59) PLAT NO. 24626

- NOTES:
- HARDSCAPE AND LANDSCAPE ARCHITECTURE PLAN SHEETS SHALL REGULATE DESIGN PARAMETERS, DETAIL, LAYOUT AND INTENT OF DEPICTED HARDSCAPE AND LANDSCAPE FEATURES (I.E. PROPOSED SIDEWALKS, OPEN SPACE FEATURES, PROMENADE(S), PROPOSED FOUNTAINS, PLANTINGS, ETC). THIS INFORMATION IS SHOWN SOLELY FOR TIE-DOWN, LOCATION AND CONSTRUCTION COORDINATION PURPOSES. THE CONTRACTOR SHALL COORDINATE WITH THE LANDSCAPE ARCHITECT CONCERNING ANY CHANGE, DEVIATION OR MODIFICATION OF SUCH FEATURES SHOWN AND/OR ILLUSTRATED.
  - SEE ROAD PLAN SHEET AND HARDSCAPE SHEETS FOR DETAIL REGARDING THE EXTENT OF CURBLESS ROADWAY.
  - FOR PAVEMENT ROAD PLAN AND PROFILE SEE SHEETS 18 THRU 19.
  - SEE GENERAL NOTE #52 REGARDING STORMWATER MANAGEMENT OWNERSHIP AND MAINTENANCE.
  - SEE GENERAL NOTE #44 REGARDING TRASH SERVICE.
  - SEE GENERAL NOTE #59 REGARDING EASEMENTS.

FILE NUMBERS:  
F-15-106, F-16-107, F-17-059, F-18-017, SDP-16-075, SDP-18-005, WP-17-010, WP-17-049, WP-17-052, WP-17-115, WP-18-029, WP-18-022, SP-16-009, WP-16-100, FDP-DC-CRESCENT-1, FDP-DC-CRESENT-1A, SDP 17-027, F-17-057, F18-017, WP-18-089, WP-18-105.

CONTRACT NUMBERS:  
24-4931-D, 24-4975-D, 24-4974-D.

PROFESSIONAL CERTIFICATION  
I HEREBY CERTIFY THAT THESE OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 26569, EXPIRATION DATE: 07/18/19.

2-18-19  
DATE

PROFESSIONAL ENGR. NO. 26569

APPROVED:  
PLANNING BOARD OF HOWARD COUNTY  
DATE: 11/8/18

Date	No.	Revision Description

**DOWNTOWN COLUMBIA**  
CRESCENT NEIGHBORHOOD  
PHASE I AREA 3, PHASE 2  
PARCELS D-1, D-7, D-8, D-9,  
D-II, D-12 AND D-13  
MIXED USE GREEN OFFICE, RESIDENTIAL, RETAIL, RESTAURANT BUILDING

OWNER / DEVELOPER:  
THE HOWARD RESEARCH AND DEVELOPMENT CORPORATION  
COLUMBIA REGIONAL OFFICE  
10480 LITTLE PATUXENT PARKWAY SUITE 400  
COLUMBIA, MD 21044  
410-964-4800

**DMW**  
DAFT MCCUNE WALKER INC

501 FAIRMOUNT AVENUE SUITE 300 TOWSON, MD 21286  
P: 410 296 3333 F: 410 296 4705 WWW.DMW.COM

SUBDIVISION NAME DOWNTOWN COLUMBIA	SECTION/AREA CRESCENT NEIGHBORHOOD PHASE 3 AREA 3	LOT/PARCEL # 36
POWER OF ATTORNEY 24121-24122	TAX ZONING MAP 7	TRACT/DISTRICT S
WATER CODE 550	SEWER CODE LITTLE PATUXENT	STAGE 1

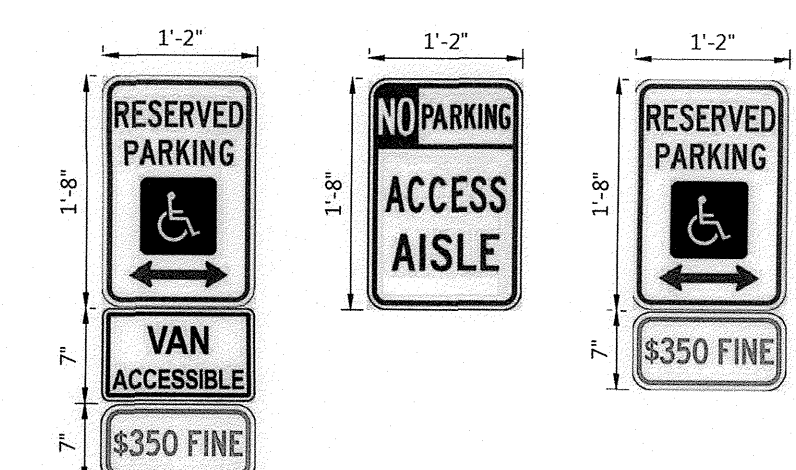
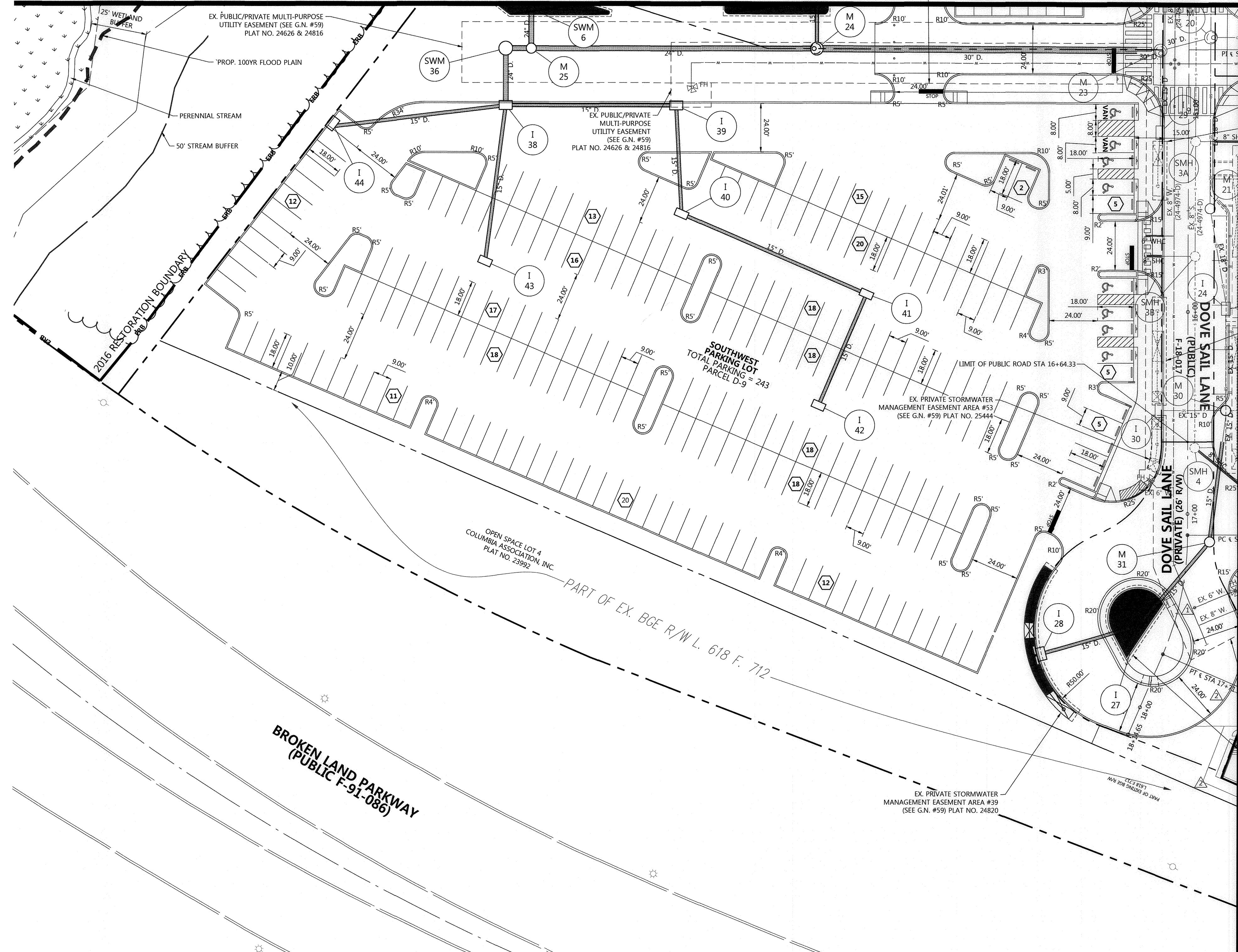
TITLE: **SITE PLAN SECTION 1**

Des. By GDT/DM	SCALE AS SHOWN	Proj. No. 04038.B0
Drn. By MCJ	Date 02/15/19	
Chk. By MCB	Approved MCB	9 of 78

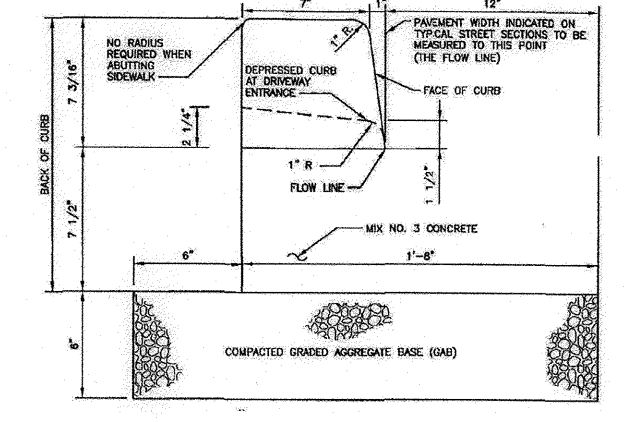
SDP-18-005

CONTINUATION LINE SHEET 9

EX. PUBLIC/PRIVATE MULTI-PURPOSE UTILITY EASEMENT (SEE G.N. #59) PLAT NO. 24626 & 24816



HANDICAP PARKING SIGN DETAILS  
NOT TO SCALE

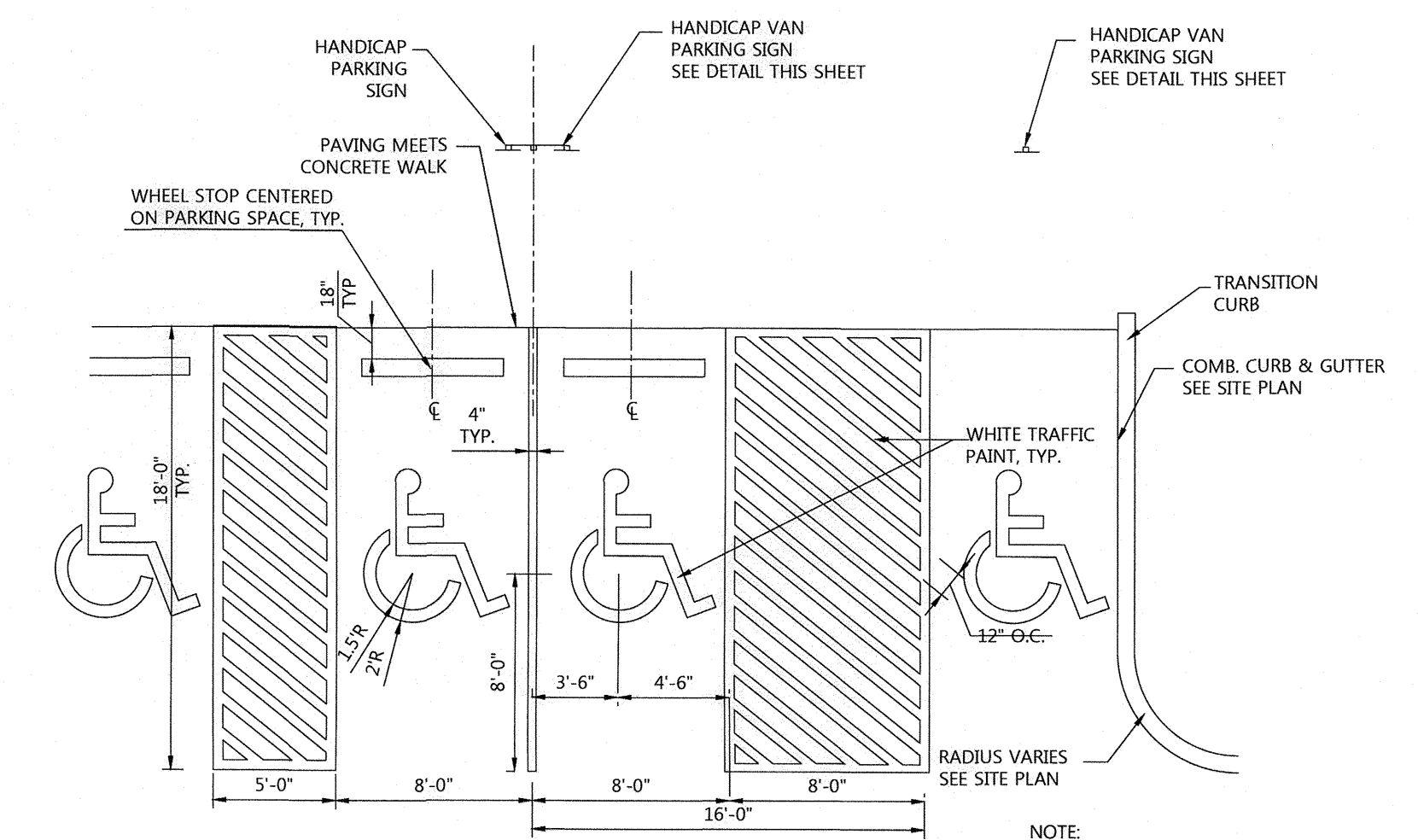


CURB AND GUTTER DETAIL  
NOT TO SCALE

LEGEND

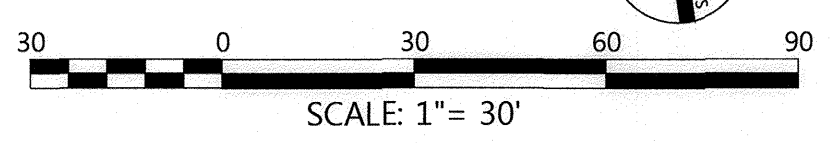
- BOLLARD
- PROPERTY LINE
- EX. CONTOURS
- EX. CURB
- EX. BUILDING
- EX. TREELINE
- EX. WATER
- EX. SEWER
- EX. STORM DRAIN
- EX. OVERHEAD TELEPHONE
- EX. EASEMENT
- EX. UTILITY POLE
- PROP. EASEMENT
- PROP. CONTOURS
- PROP. WATER
- PROP. SEWER
- PROP. STORM DRAIN
- PROP. BUILDING
- PROP. CURB
- PROP. TREE LINE
- SURFACE PLANTING BED
- (M-6) TREE PIT MICRO-BIORETENTION FACILITY

CONTINUATION LINE SHEET 11



HANDICAP PARKING: VAN & STANDARD  
NOT TO SCALE

PLAN VIEW



APPROVED: HOWARD COUNTY DEPT. OF PLANNING & ZONING  
 [Signature] 1/5/21 DATE  
 CHIEF, DEVELOPMENT ENGINEERING DIVISION  
 [Signature] 2/3/21 DATE  
 CHIEF, DIVISION OF LAND DEVELOPMENT  
 [Signature] 2-3-21 DATE  
 DIRECTOR

- NOTES:**
1. THE HARDSCAPE AND LANDSCAPE ARCHITECTURE PLAN SHEETS SHALL REGULATE DESIGN PARAMETERS, DETAIL, LAYOUT AND INTENT OF DEPICTED HARDSCAPE AND LANDSCAPE FEATURES (I.E. PROPOSED SIDEWALKS, OPEN SPACE FEATURES, PROMENADE(S), PROPOSED FOUNTAINS, PLANTINGS, ETC.) THIS INFORMATION IS SHOWN SOLELY FOR TIE-DOWN, LOCATION AND CONSTRUCTION COORDINATION PURPOSES. THE CONTRACTOR SHALL COORDINATE WITH THE LANDSCAPE ARCHITECT CONCERNING ANY CHANGE, DEVIATION OR MODIFICATION OF SUCH FEATURES SHOWN AND/OR ILLUSTRATED.
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  4. SEE GENERAL NOTE #52 REGARDING STORMWATER MANAGEMENT OWNERSHIP AND MAINTENANCE.
  5. SEE GENERAL NOTE #44 REGARDING TRASH SERVICE.
  6. SEE GENERAL NOTE #59 REGARDING EASEMENTS.

**FILE NUMBERS:**  
 F 15-106, F 16-107, F 17-059, F-18-017, SDP-16-075, SDP-18-005, WP-17-010, WP-17-049, WP-17-052, WP-17-115, WP-18-020, WP-18-021, SP-16-009, WP-16-100/DC-CRESCENT-1, FDP-DC-CRESENT-1A, SDP 17-027, F 17-057, F18-017, WP-18-089, WP-18-105.  
**CONTRACT NUMBERS:**  
 24-4931-D, 24-4975-D, 24-4974-D.

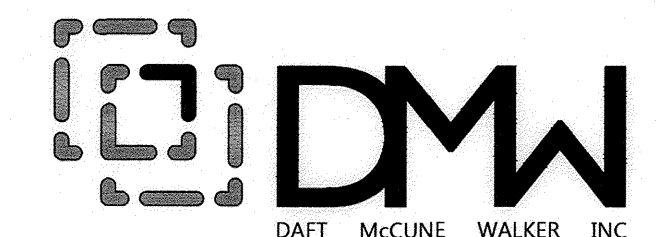
**PROFESSIONAL CERTIFICATION**  
 I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 16928, EXPIRATION DATE: 05/13/22.

12/9/20 DATE  
 [Professional Engineer Seal for Howard County, MD, License No. 16928]

APPROVED: PLANNING BOARD OF HOWARD COUNTY  
 DATE: 11/8/18

Date	No.	Revision Description
10/30/20	1	UPDATE PLANS PER REVISED BLDG. 'C' LAYOUT & UTILITIES
04/19/19	1	UPDATE PLANS PER REVISED BLDG. 'C' LAYOUT & NEW BLDG. E-1 HOTEL

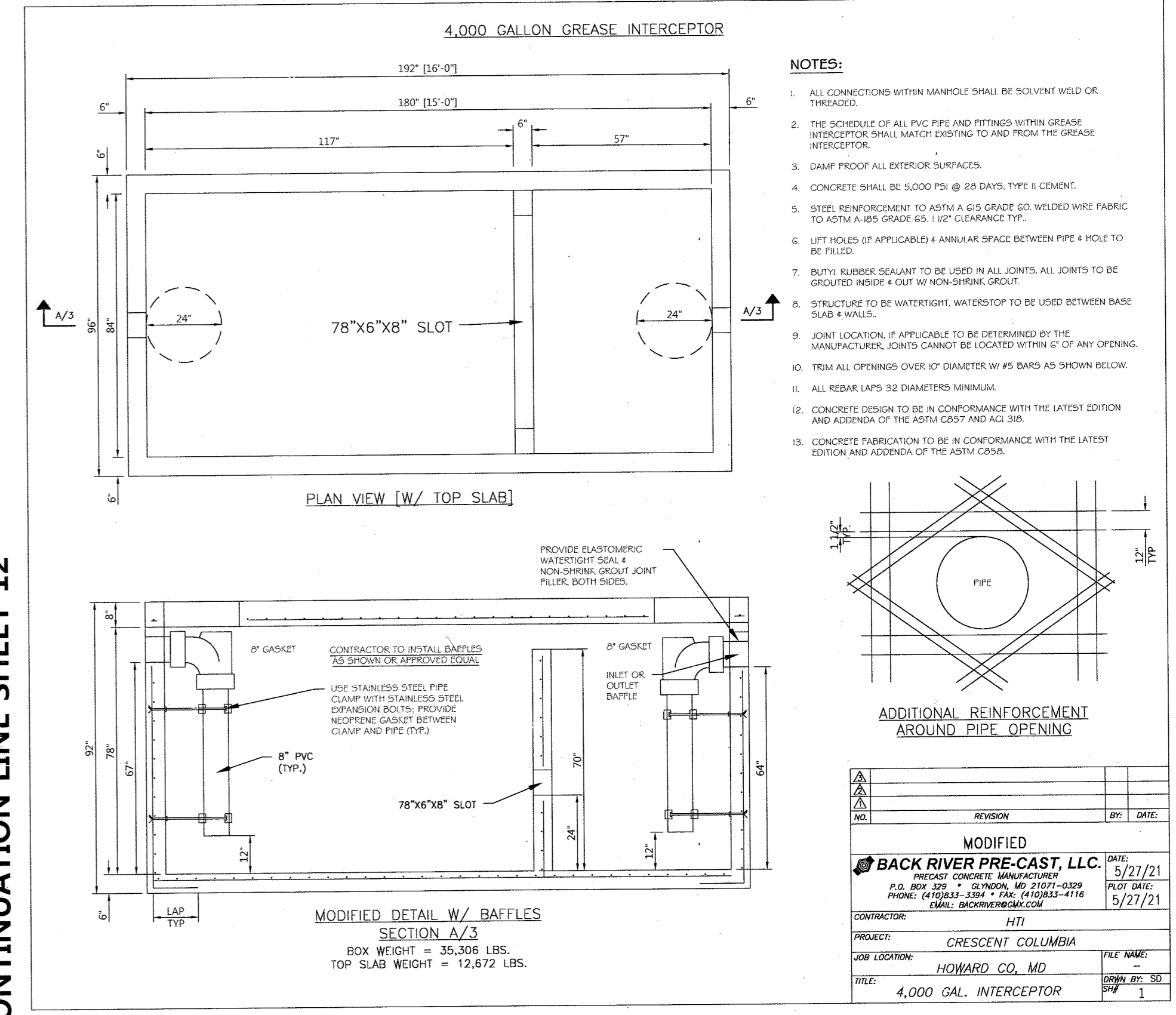
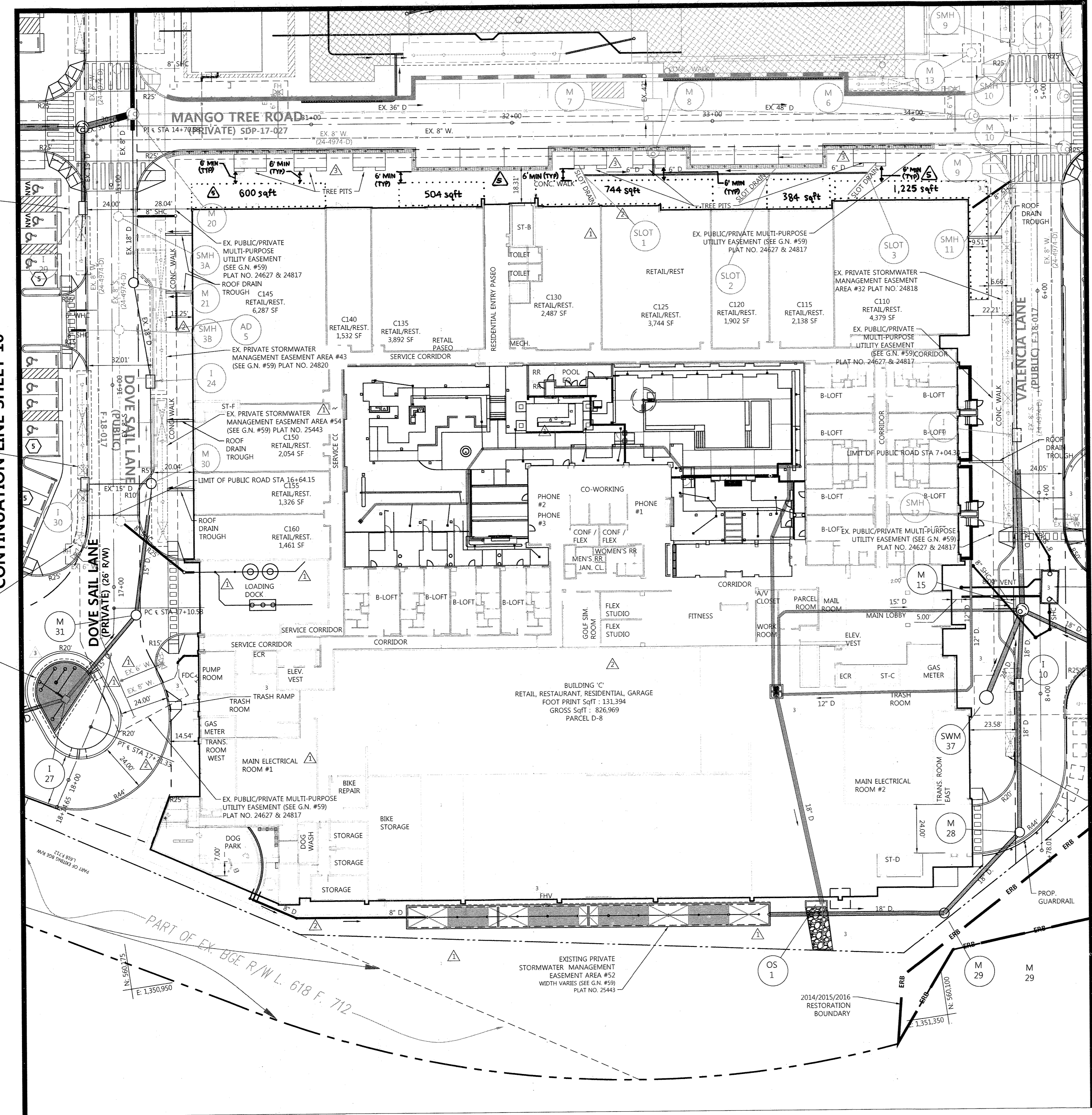
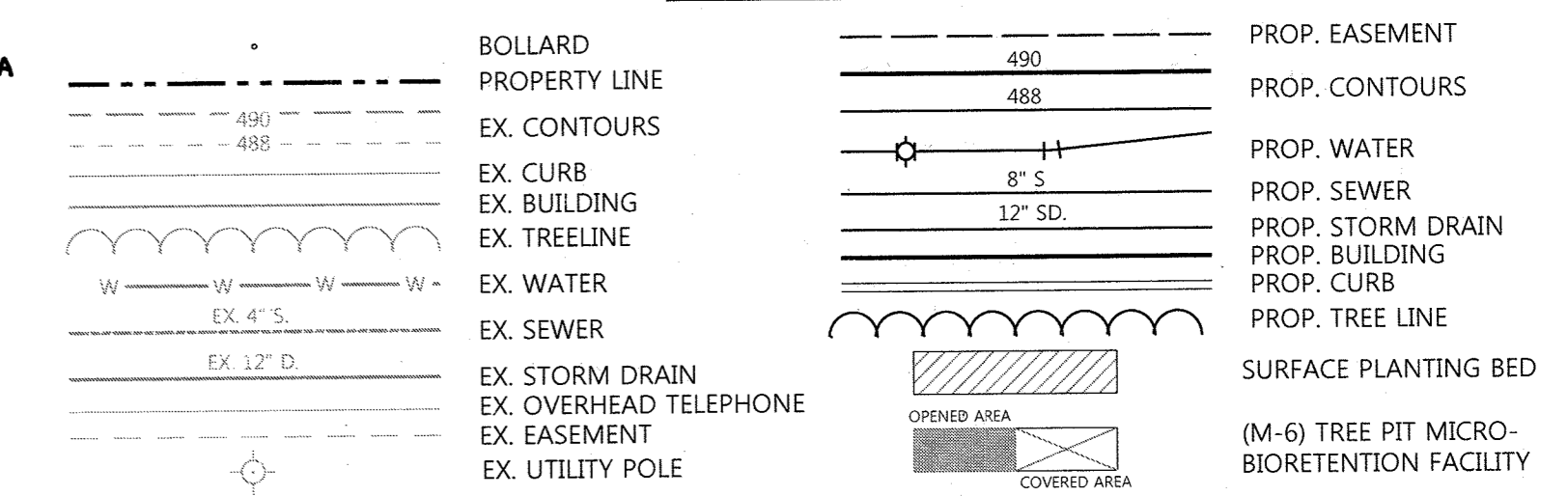
**DOWNTOWN COLUMBIA**  
**CRESCENT NEIGHBORHOOD**  
**PHASE I AREA 3, PHASE 2**  
 PARCELS D-1, D-7, D-8, D-9, D-11, D-12 AND D-13  
 MIXED USE GREEN OFFICE, RESIDENTIAL, RETAIL, RESTAURANT, & HOTEL BUILDING  
 OWNER / DEVELOPER:  
 THE HOWARD RESEARCH AND DEVELOPMENT CORPORATION  
 COLUMBIA REGIONAL OFFICE  
 10960 GRANTCHESTER WAY SUITE 110  
 COLUMBIA, MD 21044  
 410-964-4800



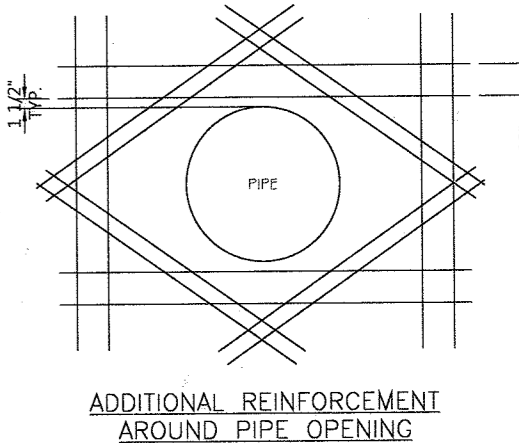
503 FAIRMOUNT AVENUE, SUITE 300 TOWSON, MD 21286 P: 410 296 3333 F: 410 296 4705 WWW.DMW.COM		
SUBDIVISION NAME: DOWNTOWN COLUMBIA	SECTION AREA: CRESCENT NEIGHBORHOOD PHASE 2	LOT/PARCEL #: PARCEL D
PLAT OR LOT #: 7	BLOCK #: 36	TAX ZONE/MAP: 5
WATER CODE: 550	SEWER CODE: LITTLE PATUXENT	CENSUS TRACT: 605602
TITLE: SITE PLAN SECTION 2		STAGE: 1

Des. By: GDT/DM	SCALE: AS SHOWN	Proj. No. 04038.B0
Drn. By: MCJ	Date: 02/15/19	
Chk. By: MCB	Approved: MCB	10 of 78

**LEGEND**



- NOTES:**
1. ALL CONNECTIONS WITHIN MAINHOLE SHALL BE SOLVENT WELD OR TRISOL.
  2. THE SCHEDULE OF ALL PVC PIPE AND FITTINGS WITHIN GREASE INTERCEPTOR SHALL MATCH EXISTING TO AND FROM THE GREASE INTERCEPTOR.
  3. DAMP PROOF ALL EXTERIOR SURFACES.
  4. CONCRETE SHALL BE 5000 PSI @ 28 DAYS, TYPE I CEMENT.
  5. STEEL REINFORCEMENT TO ASTM A 615 GRADE 60, WELDED WIRE FABRIC TO ASTM A 955 GRADE 65, 1/2" CLEARANCE TYP.
  6. LIFT HOLES IF APPLICABLE, AN ANNUAL SPACE BETWEEN PIPE JOINTS TO BE FILLED.
  7. BUTYL RUBBER SEALANT TO BE USED IN ALL JOINTS, ALL JOINTS TO BE GROUTED INSIDE A 4" W/ NON-SHRINK GROUT.
  8. STRUCTURE TO BE WATERIGHT, WATERSTOP TO BE USED BETWEEN BASE SLOPS & WALLS.
  9. JOINT LOCATION, IF APPLICABLE, TO BE DETERMINED BY THE MANUFACTURER, JOINTS CANNOT BE LOCATED WITHIN 6" OF ANY OPENING.
  10. TRAIL ALL OPENINGS OVER OF DIAMETER W/ #5 BARS AS SHOWN BELOW.
  11. ALL REBAR LAPS @ 2 DIAMETERS MINIMUM.
  12. CONCRETE DESIGN TO BE IN CONFORMANCE WITH THE LATEST EDITION AND ADDENDA OF THE ASTM C687 AND AGC 310.
  13. CONCRETE FABRICATION TO BE IN CONFORMANCE WITH THE LATEST EDITION AND ADDENDA OF THE ASTM C940.



NO.	REVISION	DATE
1	MODIFIED	5/27/21

**BACK RIVER PRE-CAST, LLC.**  
 PRECAST CONCRETE MANUFACTURER  
 P.O. BOX 1000, COLUMBIA, MD 21044  
 PHONE: (410) 338-3333 \* FAX: (410) 338-4116  
 EMAIL: INFO@BACKRIVERPRECAST.COM

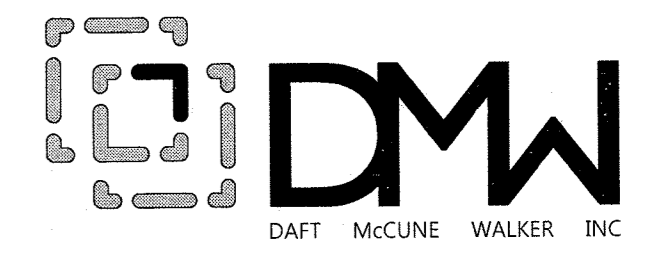
CONTRACTOR: HTI  
 PROJECT: CRESCENT COLUMBIA  
 JOB LOCATION: HOWARD CO., MD  
 FILE: 4,000 GAL. INTERCEPTOR  
 SHEET NO. 1

- NOTES:**
1. THE HARDSCAPE AND LANDSCAPE ARCHITECTURE PLAN SHEETS SHALL REGULATE DESIGN PARAMETERS, DETAIL, LAYOUT AND INTENT OF DEPICTED HARDSCAPE AND LANDSCAPE FEATURES (I.E. PROPOSED SIDEWALKS, OPEN SPACE FEATURES, PROMENADES), PROPOSED FOUNTAINS, PLANTINGS, ETC.). THIS INFORMATION IS SHOWN SOLELY FOR TIE-DOWN, LOCATION AND CONSTRUCTION COORDINATION PURPOSES. THE CONTRACTOR SHALL COORDINATE WITH THE LANDSCAPE ARCHITECT CONCERNING ANY CHANGE, DEVIATION OR MODIFICATION OF SUCH FEATURES SHOWN AND/OR ILLUSTRATED.
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  4. SEE GENERAL NOTE #52 REGARDING STORMWATER MANAGEMENT OWNERSHIP AND MAINTENANCE.
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  6. SEE GENERAL NOTE #59 REGARDING EASEMENTS.

Date	No.	Revision Description
10/30/20	2	UPDATE PLANS PER REVISED BLDG. 'C' LAYOUT & UTILITIES
04/19/19	1	UPDATE PLANS PER REVISED BLDG. 'C' LAYOUT & NEW BLDG. E-1 HOTEL

**DOWNTOWN COLUMBIA**  
**CRESCENT NEIGHBORHOOD**  
**PHASE I AREA 3, PHASE 2**  
 PARCELS D-1, D-7, D-8, D-9,  
 D-11, D-12 AND D-13  
 MIXED USE GREEN OFFICE, RESIDENTIAL, RESTAURANT, & HOTEL BUILDING

**OWNER / DEVELOPER:**  
 THE HOWARD RESEARCH AND DEVELOPMENT CORPORATION  
 COLUMBIA REGIONAL OFFICE  
 10960 GRANTCHESTER WAY SUITE 110  
 COLUMBIA, MD 21044  
 410-964-4800



501 FAIRMOUNT AVENUE SUITE 300 TOWSON, MD 21286 P: 410 296 3333 F: 410 296 4705 WWW.DMW.COM	
PROJECT NAME: DOWNTOWN COLUMBIA	SECTION: CRESCENT NEIGHBORHOOD
PLAT NO. 19	BLOCK 7
TAX ZONE: MAP 36	ELECT. DISTRICT: 5
CENSUS TRACT: 7	POWER CODE: LITTLE PATUXENT
STAGE: 550	STAGE: 1

<b>TITLE</b> SITE PLAN SECTION 3 REVISED SITE DEVELOPMENT PLAN	
Des. By: GDT/DM	SCALE: AS SHOWN
Drn. By: MCJ	Date: 02/15/19
Chk. By: MCB	Approved: MCB
Proj. No. 04038.80	
11 of 78	

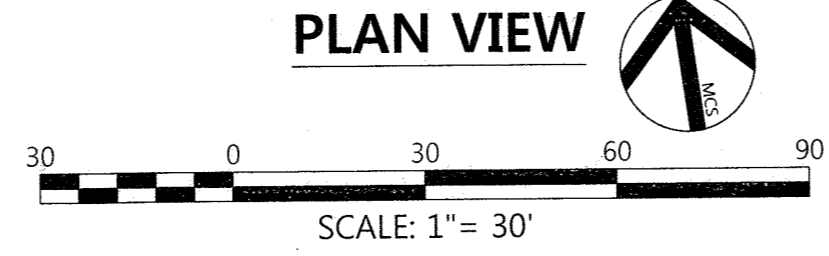
SDP-18-005

APPROVED: HOWARD COUNTY DEPT. OF PLANNING & ZONING

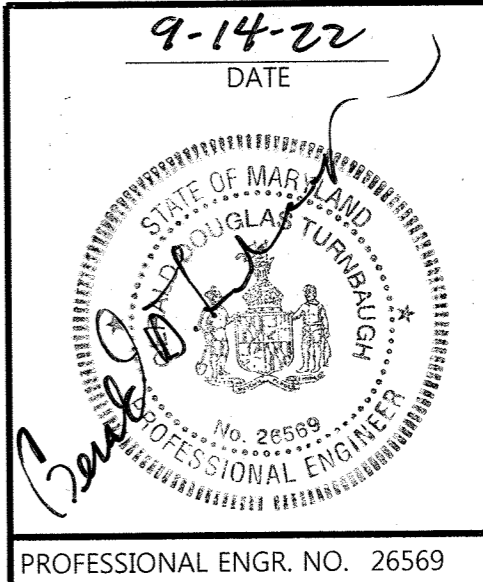
*Chief Development Engineering Division* 11/10/22  
 CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

*Chief, Division of Land Development* 12/16/22  
 CHIEF, DIVISION OF LAND DEVELOPMENT DATE

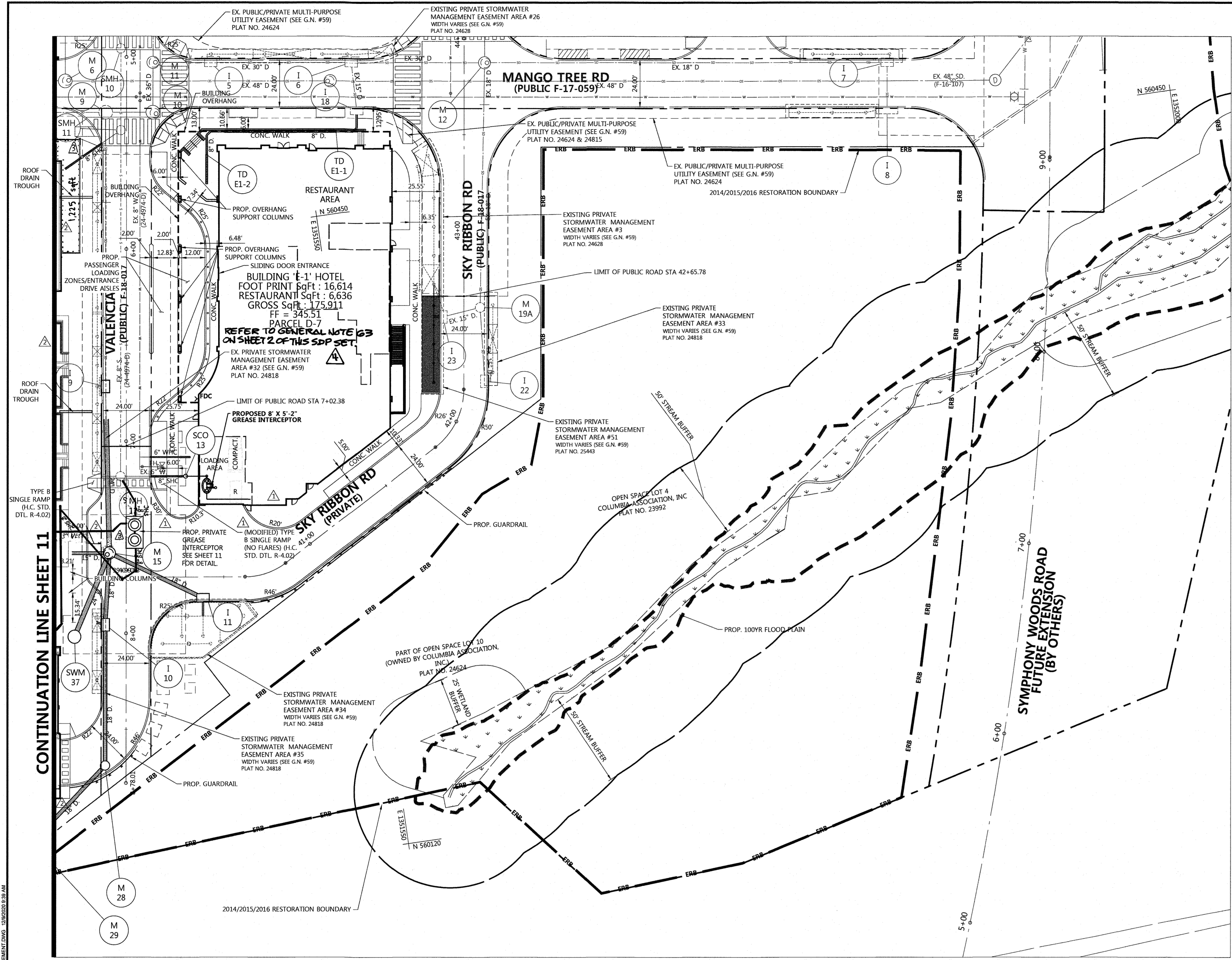
*Director* 12/16/22  
 DIRECTOR DATE



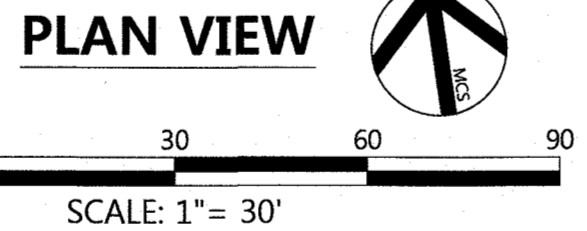
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 LICENSE NO. 26569, EXPIRATION DATE 07/18/2025



Date	No.	Revision Description
4/19/24	1	ADD OUTDOOR DINING PRIO AREAS
7-6-22	3	UPDATE PLANS PER AS-BUILT CONDITIONS & HARDSCAPE REVISIONS



CONTINUATION LINE SHEET 11



LEGEND	
	PROPERTY LINE
	EX. CONTOURS
	EX. CURB
	EX. BUILDING
	EX. TREELINE
	EX. WATER
	EX. SEWER
	EX. STORM DRAIN
	EX. OVERHEAD TELEPHONE
	EX. EASEMENT
	EX. UTILITY POLE
	PROP. EASEMENT
	PROP. CONTOURS
	PROP. WATER
	PROP. SEWER
	PROP. STORM DRAIN
	PROP. BUILDING
	PROP. CURB
	PROP. TREE LINE
	SURFACE PLANTING BED
	(M-6) TREE PIT MICRO-BIORETENTION FACILITY
	OUTDOOR SEATING AREA

- NOTES:**
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  - SEE GENERAL NOTE #59 REGARDING EASEMENTS

**FILE NUMBERS:**  
 F-15-106, F-16-107, F-17-059, F-18-017,  
 SDP-16-075, SDP-18-005, WP-17-010,  
 WP-17-049, WP-17-052, WP-17-115,  
 WP-18-020, WP-18-021, SP-16-009,  
 WP-16-100/FDP-DC-CRESCENT-1,  
 FDP-DC-CRESENT-1A, SDP-17-027, F-17-057,  
 F18-017, WP-18-089, WP-18-105.  
**CONTRACT NUMBERS:**  
 24-4931-D, 24-4975-D, 24-4974-D.

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 LICENSE NO. 26569; EXPIRATION DATE 07/19/2025

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 LICENSE NO. 16928; EXPIRATION DATE: 7/18/2025.

PROFESSIONAL CERTIFICATION  
 THEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.  
 LICENSE NO. 16928; EXPIRATION DATE: 05/13/22.

PROFESSIONAL ENGR. NO. 26569	PROFESSIONAL ENGR. NO. 26569	PROFESSIONAL ENGR. NO. 16928

APPROVED: HOWARD COUNTY DEPT. OF PLANNING & ZONING  
  
 CHIEF, DEVELOPMENT ENGINEERING DIVISION  
 DATE: 1/5/21

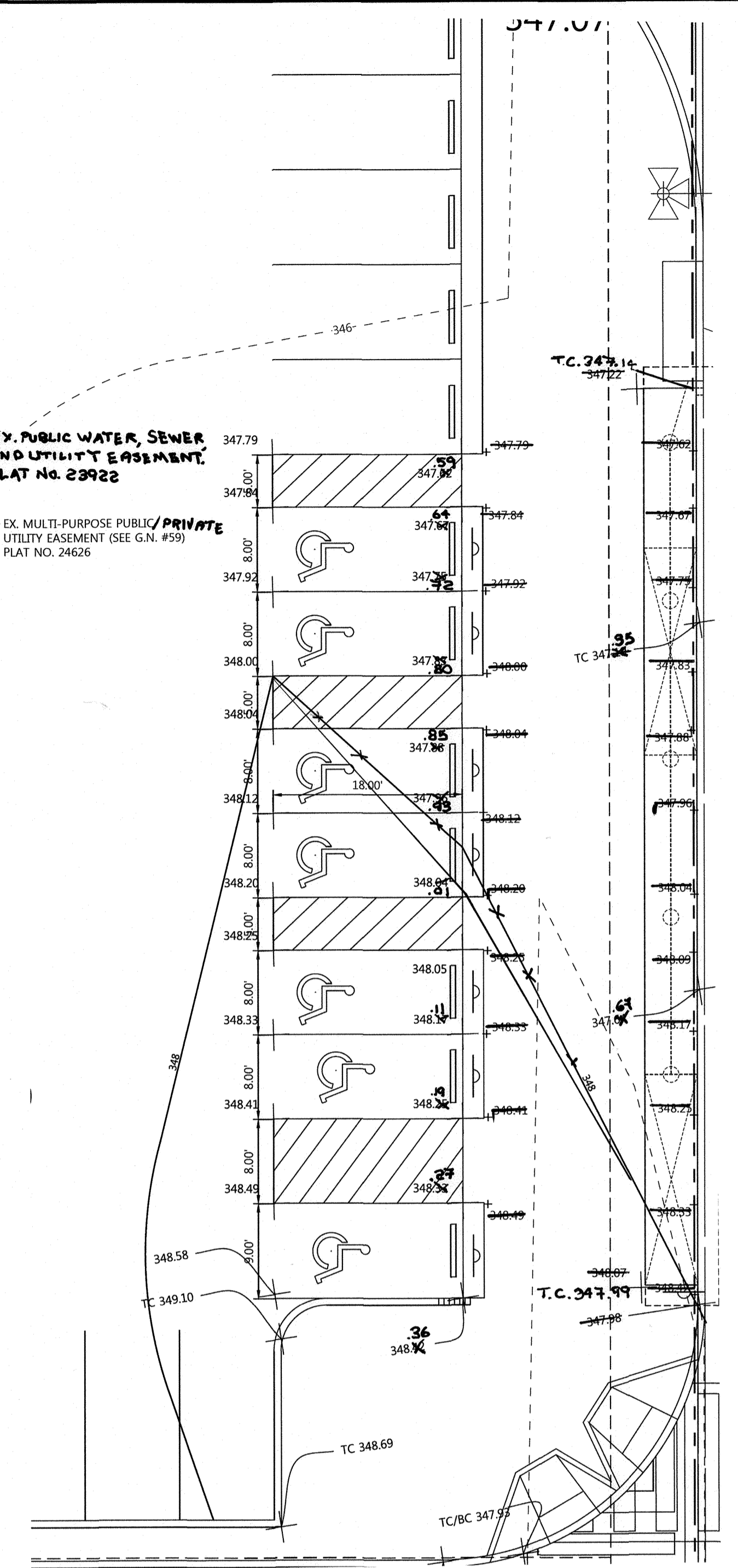
CHIEF, DIVISION OF LAND DEVELOPMENT  
  
 DATE: 2/9/21

DIRECTOR  
  
 DATE: 2-3-21

APPROVED:  
 PLANNING BOARD OF HOWARD COUNTY  
 DATE: 11/8/18

10/30/20	UPDATE PLANS PER REVISED BLDG. 'C' LAYOUT & UTILITIES
04/19/19	UPDATE PLANS PER REVISED BLDG. 'C' LAYOUT & NEW BLDG. E-1 HOTEL
Date	Revision Description
<b>DOWNTOWN COLUMBIA</b>	
<b>CRESCENT NEIGHBORHOOD</b>	
<b>PHASE I AREA 3, PHASE 2</b>	
<b>PARCELS D-1, D-7, D-8, D-9,</b>	
<b>D-11, D-12 AND D-13</b>	
MIXED USE GREEN OFFICE, RESIDENTIAL RETAIL, RESTAURANT, & HOTEL BUILDING	
OWNER / DEVELOPER: THE HOWARD RESEARCH AND DEVELOPMENT CORPORATION COLUMBIA REGIONAL OFFICE 10960 GRANTCHESTER WAY SUITE 110 COLUMBIA, MD 21044 410-964-1800	
501 FAIRMOUNT AVENUE SUITE 300 TOWSON, MD 21286 P: 410 296 3333 F: 410 296 4705 WWW.DMW.COM	
SUBDIVISION NAME: DOWNTOWN COLUMBIA	SECTION: CRESCENT NEIGHBORHOOD
PLAT NO. 24818	PARCEL D
BLOCK # 7	CELSUS TRACK 605602
WATER CODE 550	SEWER CODE LITTLE PATUXENT
TITLE: <b>SITE PLAN SECTION 4</b>	
REVISED SITE DEVELOPMENT PLAN	
Des. By: GDT/DM	SCALE: AS SHOWN
Drn. By: MCI	Date: 02/15/19
Chk. By: MCB	Approved: MCB
Proj. No. 04038.B0	

4/19/24 ADD OUTDOOR DINING PATIO AREAS



**HANDICAP DETAIL VIEW**  
SCALE: 1"=10'

**STEEP SLOPES DATA**

15% AND UP (HIGHLY ERODIBLE)

25% AND UP (STEEP SLOPES)

NOTE: SLOPE INFORMATION SHOWN HERE ON IS A RESULT OF MASS GRADING SDP-16-075

NOTE: SEE SHEET 41 FOR SEEDING SPECIFICATIONS TO BE IMPLEMENTED ON PARCELS AND OPEN SPACES OWNED BY THE COLUMBIA ASSOCIATION.

**LEGEND**

[Symbol]	BOLLARD
[Symbol]	PROPERTY LINE
[Symbol]	EX. CONTOURS
[Symbol]	EX. CURB
[Symbol]	EX. BUILDING
[Symbol]	EX. TREELINE
[Symbol]	EX. WATER
[Symbol]	EX. SEWER
[Symbol]	EX. STORM DRAIN
[Symbol]	EX. OVERHEAD TELEPHONE
[Symbol]	EX. EASEMENT
[Symbol]	EX. UTILITY POLE
[Symbol]	PROP. EASEMENT
[Symbol]	PROP. CONTOURS
[Symbol]	PROP. WATER
[Symbol]	PROP. SEWER
[Symbol]	PROP. STORM DRAIN
[Symbol]	PROP. CURB
[Symbol]	PROP. TREE LINE
[Symbol]	SURFACE PLANTING BED
[Symbol]	(M-6) TREE PIT MICRO-BIORETENTION FACILITY

APPROVED: HOWARD COUNTY DEPT. OF PLANNING & ZONING

*[Signature]* 3-20-19  
CHIEF, DEVELOPMENT ENGINEERING DIVISION

*[Signature]* 4-24-19  
CHIEF, DIVISION OF LAND DEVELOPMENT

*[Signature]* 4-24-19  
DIRECTOR, DIVISION OF LAND DEVELOPMENT

NOTE: APPROVED EROSION AND SEDIMENT CONTROLS WILL BE INSTALLED AND MAINTAINED THROUGHOUT DURATION OF CONSTRUCTION TO MINIMIZE IMPACTS ON ADJACENT RESOURCES AND RESTORATION AREAS. ANY REVEGETATION OR MITIGATION PLANTINGS DISTURBED DURING CONSTRUCTION WILL BE REPLACED/RE-PLANTED IN ACCORDANCE WITH THE PLANS AS APPROVED WITH F-15-106, AS WELL AS SUPPLEMENTAL PLANTING AS PER BIOHABITATS SKETCH PLAN "CRESCENT NEIGHBORHOOD" PHASE 1, AREA 3, PHASE 2 PARCEL D SHEETS 1-3 DATED 12/20/17.

**PLAN VIEW**

SCALE: 1"=30'

7. FOR GUARDRAIL SEE MD SHA TRAFFIC BARRIER W BEAM SINGLE FACE STANDARD DETAIL NO. MD. 605.22.

8. GUARDRAIL TO BE POWDER COATED BRONZE. COLOR TO BE SPECIFIED BY GRAPHIC DESIGNER PRIOR TO FABRICATION.

NOTE: SEE SHEET 41 FOR SEEDING SPECIFICATIONS TO BE IMPLEMENTED ON PARCELS AND OPEN SPACES OWNED BY THE COLUMBIA ASSOCIATION.

- SPOT GRADES AND DETAILED GRADING BETWEEN THE CURB AND BUILDING, INCLUDING BUT NOT LIMITED TO HARDSCAPE FEATURES SUCH AS PROPOSED SIDEWALKS, OPEN SPACE FEATURES, PROMENADES, PROPOSED FOUNTAINS, ETC., HAVE BEEN DESIGNED BY THE LANDSCAPE ARCHITECT. SEE THE LANDSCAPE AND HARDSCAPE PLAN FOR ADDITIONAL DETAIL. THE CONTRACTOR SHALL COORDINATE WITH THE LANDSCAPE ARCHITECT CONCERNING ANY CHANGE, DEVIATION OR MODIFICATION OF SUCH FEATURES SHOWN AND/OR ILLUSTRATED.
- FOR PRIVATE ROAD PLAN AND PROFILE SEE SHEETS 18 THRU 19.
- SEE GENERAL NOTE #52 REGARDING STORMWATER MANAGEMENT OWNERSHIP AND MAINTENANCE.
- SEE GENERAL NOTE #44 REGARDING TRASH SERVICE.
- SEE GENERAL NOTE #59 REGARDING EASEMENTS
- FOR GUARDRAIL SEE MD SHA TRAFFIC BARRIER W BEAM W WOOD OFFSET BLOCK STANDARD DETAIL NO. MD. 605.21.

FILE NUMBERS:  
F-15-106, F-16-107, F-17-059, F-18-017, SDP-16-075, SDP-18-005, WP-17-010, WP-17-049, WP-17-052, WP-17-115, WP-18-020, WP-18-021, SP-16-009, WP-16-100, FDP-DC-CRESCENT-1, FDP-DC-CRESCENT-1A, SDP 17-027, F 17-057, F18-017, WP-18-089, WP-18-105.

CONTRACT NUMBERS:  
24-4931-D, 24-4975-D, 24-4974-D.

**PROFESSIONAL CERTIFICATION**  
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 26569, EXPIRATION DATE: 7-18-19.

DATE: 2-16-19

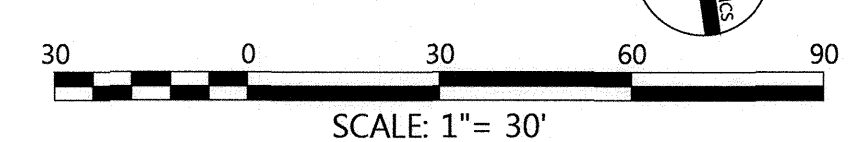
PROFESSIONAL ENGR. NO. 26569

Date	No.	Revision Description
		FILE NUMBERS: F-15-106, F-16-107, F-17-059, F-18-017, SDP-16-075, SDP-18-005, WP-17-010, WP-17-049, WP-17-052, WP-17-115, WP-18-020, WP-18-021, SP-16-009, WP-16-100, FDP-DC-CRESCENT-1, FDP-DC-CRESCENT-1A, SDP 17-027, F 17-057, F18-017, WP-18-089, WP-18-105.
		CONTRACT NUMBERS: 24-4931-D, 24-4975-D, 24-4974-D.
		PROFESSIONAL CERTIFICATION I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 26569, EXPIRATION DATE: 7-18-19.
<b>DOWNTOWN COLUMBIA</b>		
<b>CRESCENT NEIGHBORHOOD</b>		
<b>PHASE I AREA 3, PHASE 2</b>		
<b>PARCELS D-1, D-7, D-8, D-9,</b>		
<b>D-11, D-12 AND D-13</b>		
<b>MIXED USE GREEN OFFICE, RESIDENTIAL, RETAIL, RESTAURANT BUILDING</b>		
<b>OWNER / DEVELOPER:</b>		
THE HOWARD RESEARCH AND DEVELOPMENT CORPORATION		
10480 LITTLE PATUXENT PARKWAY SUITE 400		
COLUMBIA, MD 21044		
410-964-4800		
<b>DW</b>		
DAFT MCCUNE WALKER INC		
501 FAIRMOUNT AVENUE SUITE 300 TOWSON, MD 21286 P: 410 296 3333 F: 410 296 4705 WWW.DMW.COM		
SUBDIVISION NAME	SECTION	LOT/PARCEL #
DOWNTOWN COLUMBIA	CRESCENT NEIGHBORHOOD PHASE I AREA 3	PARCEL D
PLAT NO. 24626	TAX ZONING MAP	CENSUS TRACT
7	36	605602
WATER CODE	SEWER CODE	STAGE
550	LITTLE PATUXENT	1
<b>GRADING PLAN SECTION 1</b>		
Des. By	GDT/DM	SCALE AS SHOWN
Drn. By	MJ	Date 02/15/19
Chk. By	MCB	Approved MCB
		Proj. No. 04038.B0
		13 of 78

CONTINUATION LINE SHEET 13



PLAN VIEW



LEGEND

	BOLLARD		PROP. EASEMENT
	PROPERTY LINE		PROP. CONTOURS
	EX. CONTOURS		PROP. WATER
	EX. CURB		PROP. SEWER
	EX. BUILDING		PROP. STORM DRAIN
	EX. TREELINE		PROP. BUILDING
	EX. WATER		PROP. CURB
	EX. SEWER		PROP. TREE LINE
	EX. STORM DRAIN		SURFACE PLANTING BED
	EX. OVERHEAD TELEPHONE		(M-6) TREE PIT MICRO-BIORETENTION FACILITY
	EX. EASEMENT		
	EX. UTILITY POLE		

- NOTE:**
- SPOT GRADES AND DETAILED GRADING BETWEEN THE CURB AND BUILDING, INCLUDING BUT NOT LIMITED TO HARDSCAPE FEATURES SUCH AS PROPOSED SIDEWALKS, OPEN SPACE FEATURES, PROMENADE(S), PROPOSED FOUNTAINS, ETC., HAVE BEEN DESIGNED BY THE LANDSCAPE ARCHITECT. SEE THE LANDSCAPE AND HARDSCAPE PLAN FOR ADDITIONAL DETAIL. THE CONTRACTOR SHALL COORDINATE WITH THE LANDSCAPE ARCHITECT CONCERNING ANY CHANGE, DEVIATION OR MODIFICATION OF SUCH FEATURES SHOWN AND/OR ILLUSTRATED.
  - FOR PRIVATE ROAD PLAN AND PROFILE SEE SHEETS 18 THRU 19.
  - SEE GENERAL NOTE #52 REGARDING STORMWATER MANAGEMENT OWNERSHIP AND MAINTENANCE.
  - SEE GENERAL NOTE #44 REGARDING TRASH SERVICE.
  - SEE GENERAL NOTE #59 REGARDING EASEMENTS

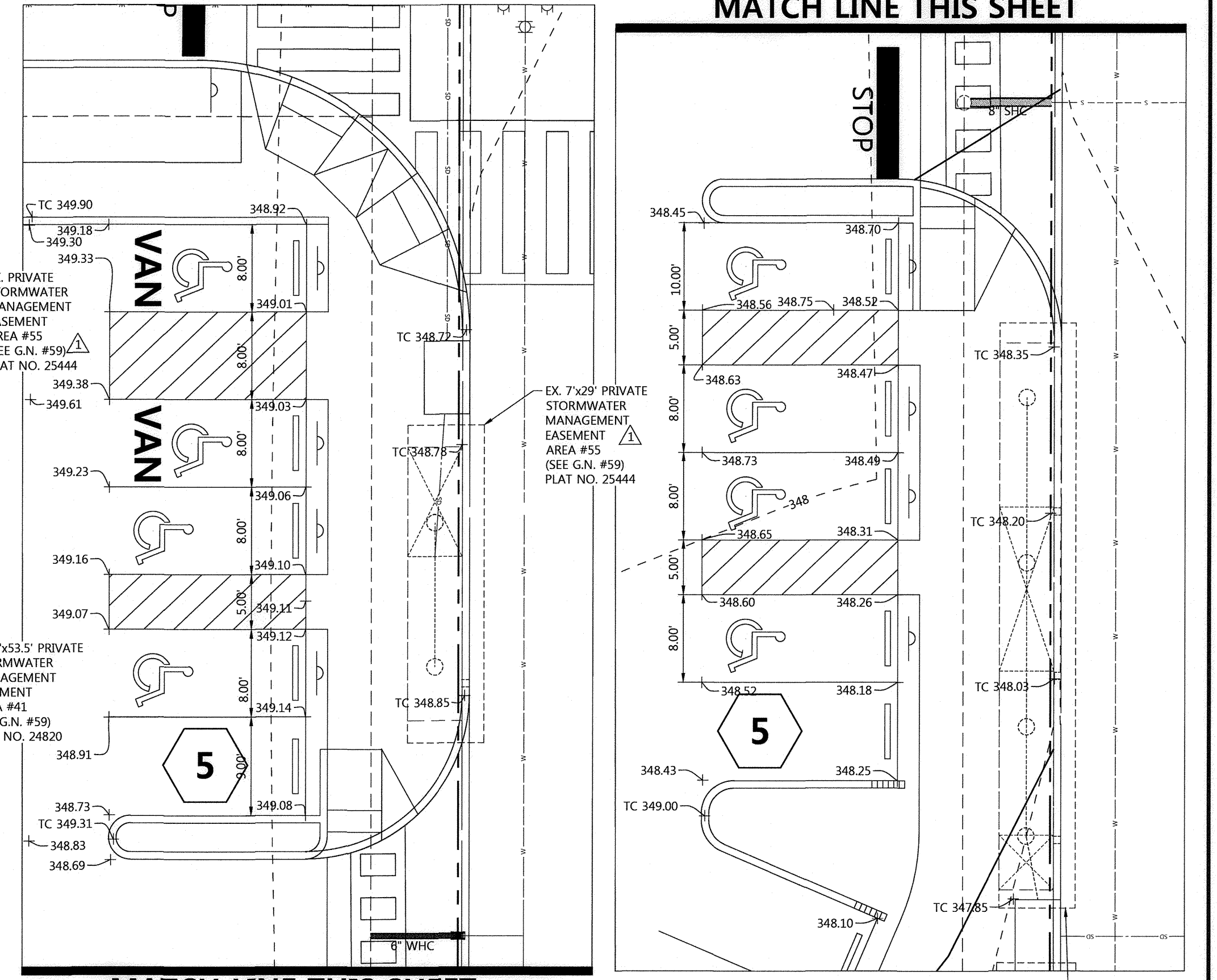
APPROVED: HOWARD COUNTY DEPT. OF PLANNING & ZONING

*[Signature]* 1-15-21  
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

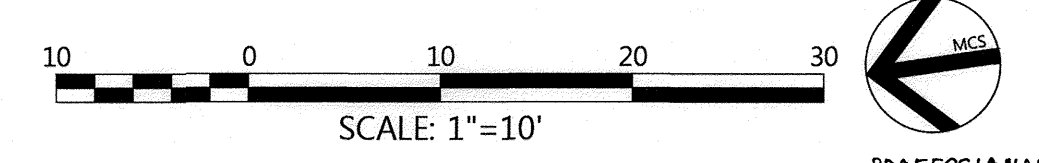
*[Signature]* 2/3/21  
CHIEF, DIVISION OF LAND DEVELOPMENT DATE

*[Signature]* 2-3-21  
DIRECTOR DATE

CONTINUATION LINE SHEET 15



HANDICAP DETAIL VIEW



**STEEP SLOPES DATA**

15% AND UP (HIGHLY ERODIBLE)

25% AND UP (STEEP SLOPES)

NOTE: SLOPE INFORMATION SHOWN HERE ON IS A RESULT OF MASS GRADING SDP-16-075

EX. PRIVATE STORMWATER MANAGEMENT EASEMENT AREA #38 (SEE G.N. #59) PLAT NO. 24820

EX. PUBLIC/PRIVATE MULTI-PURPOSE UTILITY EASEMENT (SEE G.N. #59) PLAT NO. 24627 & 24817

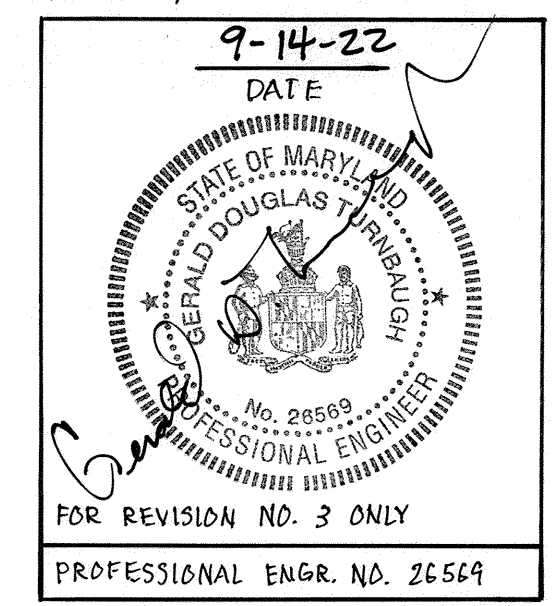
EX. 7'x53.5' PRIVATE STORMWATER MANAGEMENT EASEMENT AREA #41 (SEE G.N. #59) PLAT NO. 24820

EX. PRIVATE STORMWATER MANAGEMENT EASEMENT AREA #55 (SEE G.N. #59) PLAT NO. 25444

EX. PUBLIC/PRIVATE MULTI-PURPOSE UTILITY EASEMENT (SEE G.N. #59) PLAT NO. 24626 & 24816

MATCH LINE THIS SHEET

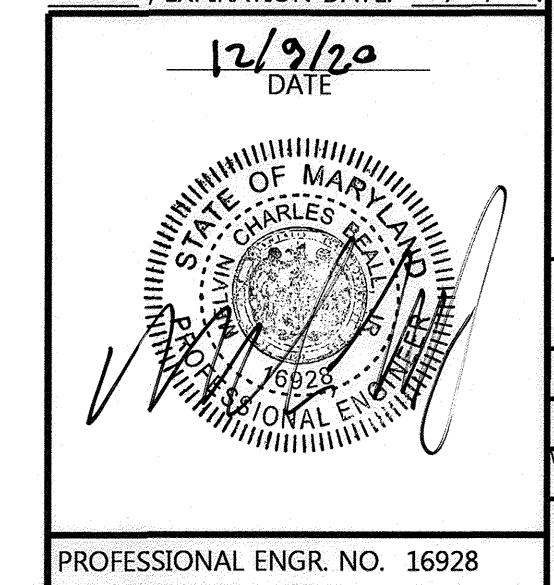
PROFESSIONAL CERTIFICATION  
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NO. 26549, EXPIRATION DATE: 7/18/2023.



**FILE NUMBERS:**  
F 15-106, F 16-107, F 17-059, F 18-017, SDP-16-075, SDP-18-005, WP-17-010, WP-17-009, WP-17-052, WP-17-115, WP-18-020, WP-18-021, SP-16-009, WP-16-100, FDP-DC-CRESCENT-1, FDP-DC-CRESENT-1A, SDP 17-027, F 17-057, F18-017, WP-18-089, WP-18-105.

**CONTRACT NUMBERS:**  
24-4931-D, 24-4975-D, 24-4974-D.

**PROFESSIONAL CERTIFICATION**  
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NO. 16928, EXPIRATION DATE: 05/13/22.



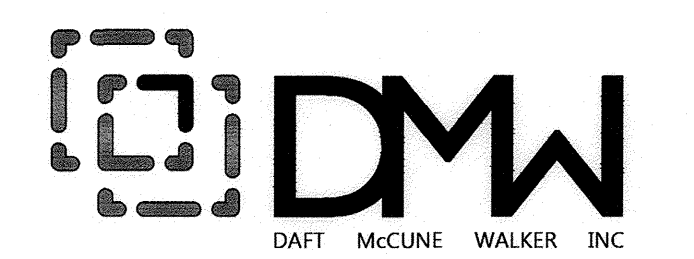
PROFESSIONAL ENGR. NO. 16928

APPROVED: PLANNING BOARD OF HOWARD COUNTY  
DATE: 11/2/18

Date	No.	Revision Description
7/16/2021	1	UPDATE PLANS PER AS-BUILT CONDITIONS
10/30/20	2	UPDATE PLANS PER REVISED BLDG. 'C' LAYOUT & UTILITIES
04/19/19	3	UPDATE PLANS PER REVISED BLDG. 'C' LAYOUT & NEW BLDG. E-1 HOTEL

**DOWNTOWN COLUMBIA**  
**CRESCENT NEIGHBORHOOD**  
**PHASE I AREA 3, PHASE 2**  
**PARCELS D-1, D-7, D-8, D-9, D-II, D-12 AND D-13**  
MIXED USE GREEN OFFICE, RESIDENTIAL, RETAIL, RESTAURANT, & HOTEL BUILDING

OWNER / DEVELOPER:  
THE HOWARD RESEARCH AND DEVELOPMENT CORPORATION  
COLUMBIA REGIONAL OFFICE  
10960 GRANTCHESTER WAY SUITE 110  
COLUMBIA, MD 21044  
410-964-4800



501 FAIRMOUNT AVENUE SUITE 300 TOWSON, MD 21286  
P: 410 296 3333 F: 410 296 4705 WWW.DMW.COM

SUBDIVISION NAME	SECTION	NEIGHBORHOOD	LOT/PARCEL #
DOWNTOWN COLUMBIA	PHASE 2 AREA 3		
PLAT NO.	TRAY ZONING MAP	REVISION	CANONIC TRACT
7	36	5	605602
WATER CODE	SEWER CODE	STAGE	
550		1	

TITLE			
<b>GRADING PLAN SECTION 2</b>			
REVISED SITE DEVELOPMENT PLAN			
Des. By	GDT/DM	SCALE AS SHOWN	Proj. No. 04038.B0
Des. By	MJC	Date 02/15/19	
Chk. By	MCB	Approved MCB	14 of 78

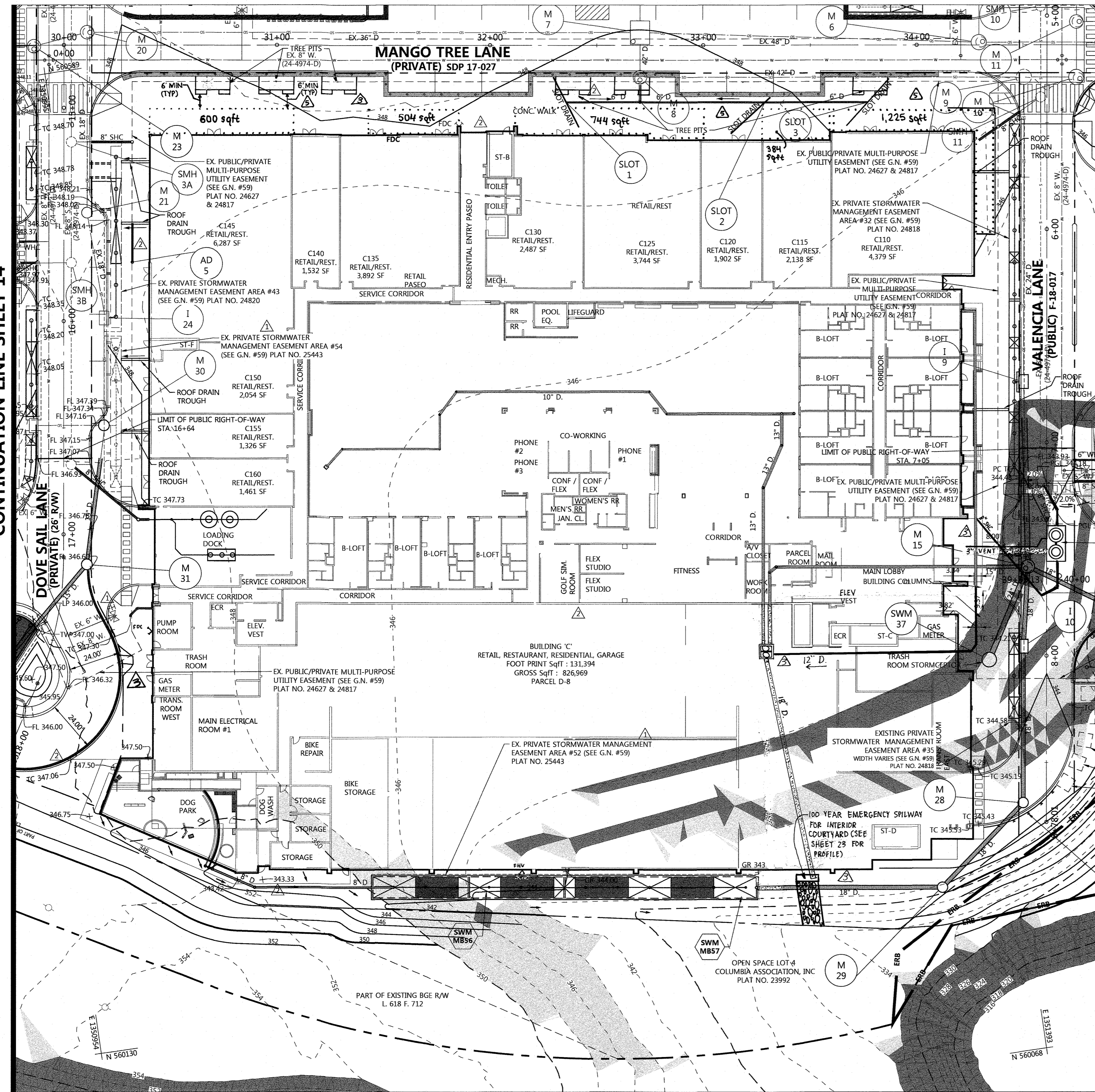
SDP-18-005

LEGEND

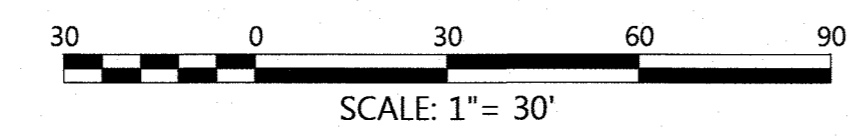
- BOLLARD
PROPERTY LINE
EX. CONTOURS
EX. CURB
EX. BUILDING
EX. TREELINE
EX. WATER
EX. SEWER
EX. STORM DRAIN
EX. OVERHEAD TELEPHONE
EX. EASEMENT
EX. UTILITY POLE
PROP. EASEMENT
PROP. CONTOURS
PROP. WATER
PROP. SEWER
PROP. STORM DRAIN
PROP. BUILDING
PROP. CURB
PROP. TREE LINE
SURFACE PLANTING BED
(M-6) TREE PIT MICRO-BIORETENTION FACILITY
REVERSE GUTTER SLOPE
OUTDOOR SEATING AREA

CONTINUATION LINE SHEET 14

CONTINUATION LINE SHEET 16

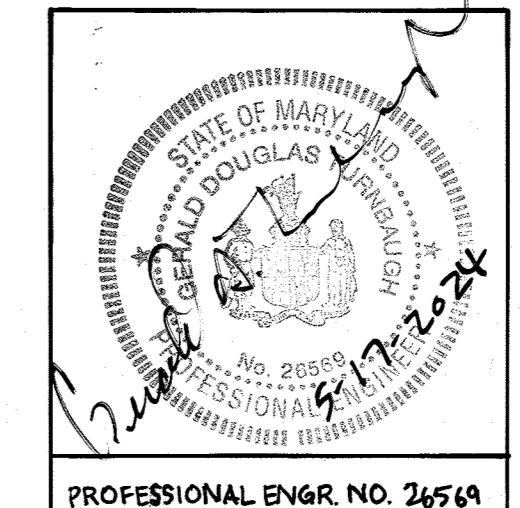


PLAN VIEW



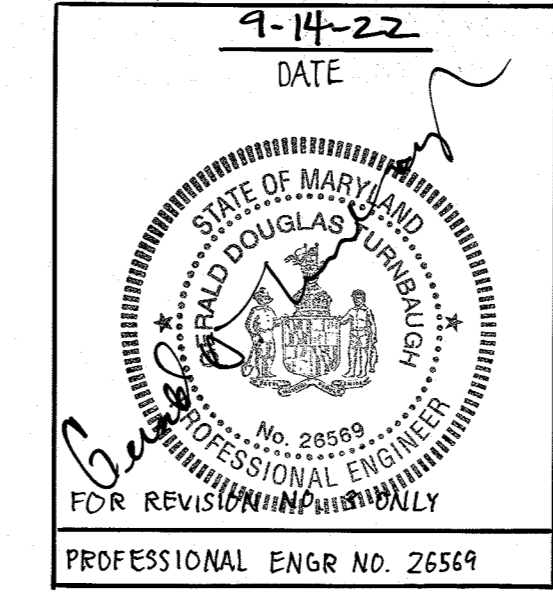
NOTE: SEE SHEET 41 FOR SEEDING SPECIFICATIONS TO BE IMPLEMENTED ON PARCELS AND OPEN SPACES OWNED BY THE COLUMBIA ASSOCIATION.

PROFESSIONAL CERTIFICATION I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NO. 26569; EXPIRATION DATE 07/18/2025



FILE NUMBERS: F-15-106, F-16-107, F-17-059, F-18-017, SDP-16-075, SDP-18-005, WP-17-010, WP-17-049, WP-17-052, WP-17-115, WP-18-020, WP-18-021, SP-16-009, WP-16-100/POP-DC-CRESCENT-L, FDP-DC-CRESENT-1A, SDP 17-027, F 17-057, F18-017, WP-18-089, WP-18-105, 24-4931-D, 24-4975-D, 24-4974-D.

PROFESSIONAL CERTIFICATION I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NO. 26564; EXPIRATION DATE 7/18/2025



PROFESSIONAL CERTIFICATION I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NO. 16928; EXPIRATION DATE: 05/13/22

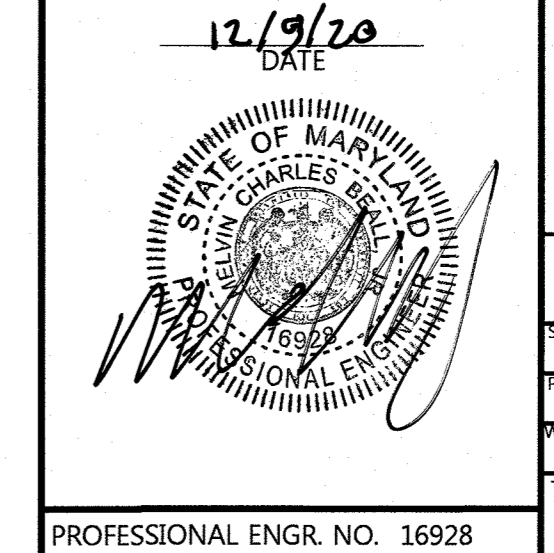


Table with 2 columns: Date, Revision Description. Includes entries for 4/19/24 (ADD OUTDOOR DINING PATIO AREAS), 7/6/22 (UPDATE PLANS PER AS-BUILT CONDITIONS), 10/30/20 (UPDATE PLANS PER REVISED BLDG. 'C' LAYOUT & UTILITIES), and 04/19/19 (UPDATE PLANS PER REVISED BLDG. 'C' LAYOUT & NEW BLDG. E-1 HOTEL).

DOWNTOWN COLUMBIA CRESCENT NEIGHBORHOOD PHASE I AREA 3, PHASE 2 PARCELS D-1, D-7, D-8, D-9, D-11, D-12 AND D-13

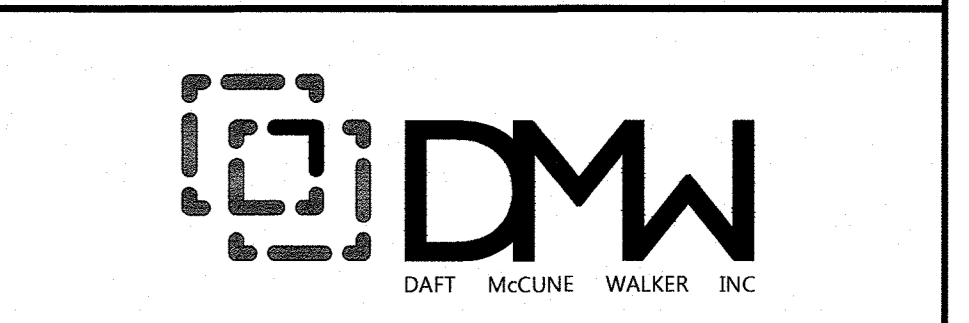
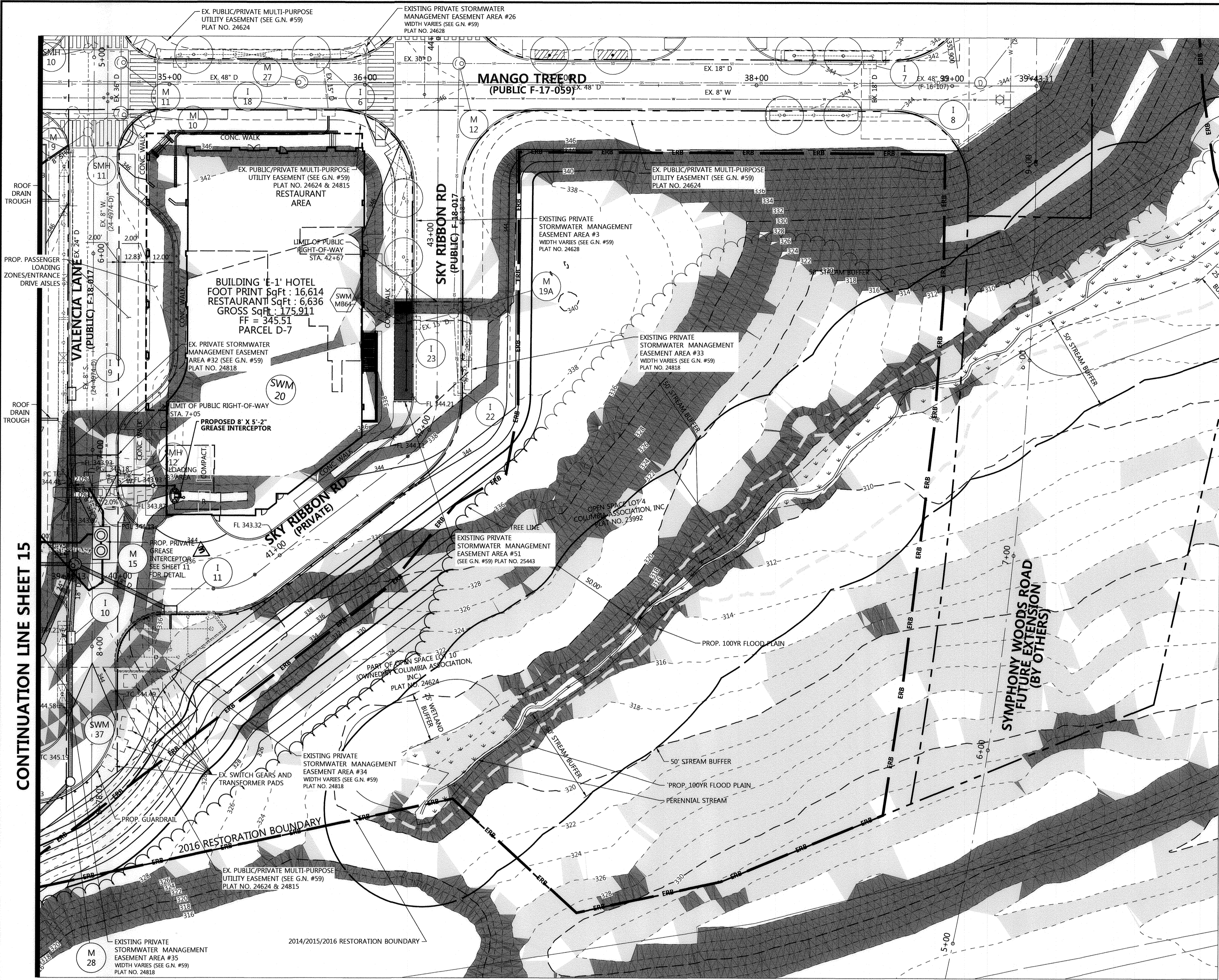


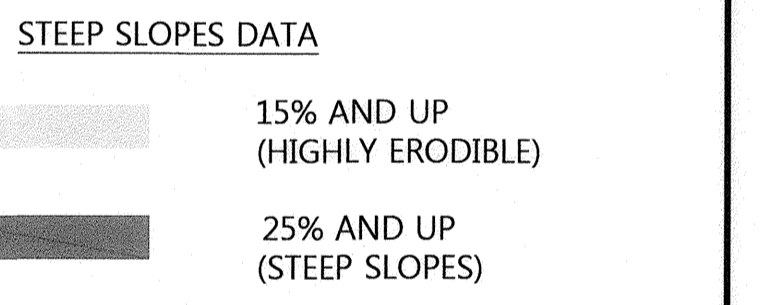
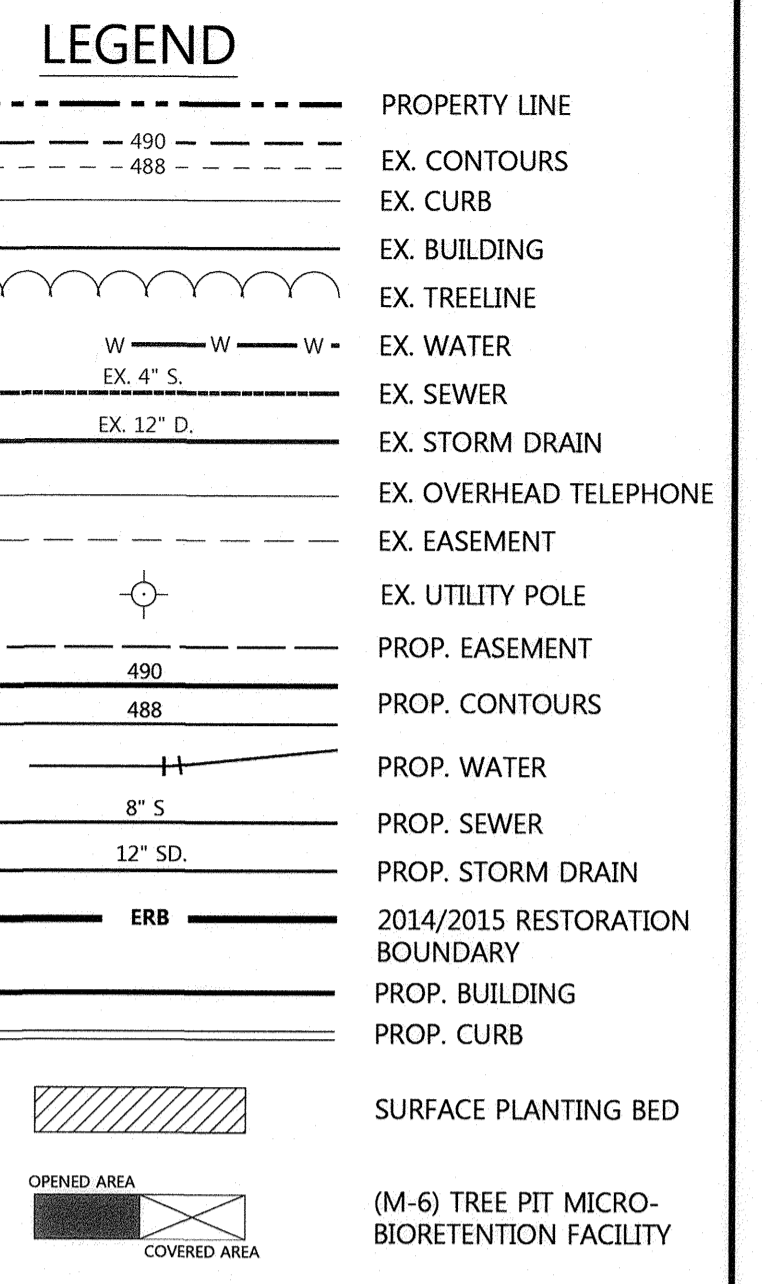
Table with project details: 501 FAIRMOUNT AVENUE SUITE 300 TOWSON, MD 21286; Project Name: DOWNTOWN COLUMBIA CRESCENT NEIGHBORHOOD PHASE I AREA 3, PHASE 2; Parcel D: 605602; Title: GRADING PLAN SECTION 3; Date: 11/8/18; Project No. 04038.B0.

APPROVED: HOWARD COUNTY DEPT. OF PLANNING & ZONING. Chief, Development Engineering Division: 1/5/21; Chief, Division of Land Development: 2/3/21; Director: 2-3-21

- NOTE: 1. SPOT GRADES AND DETAILED GRADING BETWEEN THE CURB AND BUILDING... 2. SEE GENERAL NOTE #44 REGARDING TRASH SERVICE. 3. SEE GENERAL NOTE #52 REGARDING STORMWATER MANAGEMENT OWNERSHIP AND MAINTENANCE. 4. SEE GENERAL NOTE #49 REGARDING EASEMENTS. 5. SEE GENERAL NOTE #59 REGARDING EASEMENTS. 6. FOR GUARDRAIL SEE MD SHA TRAFFIC BARRIER W BEAM WITH WOOD OFFSET BLOCK STANDARD DETAIL NO. MD 605.21. 7. FOR GUARDRAIL SEE MD SHA BARRIER W BEAM SINGLE FACE STANDARD DETAIL NO. MD 605.22. 8. GUARDRAIL TO BE POWDER COATED BRONZE. COLOR TO BE SPECIFIED BY GRAPHIC DESIGNER PRIOR TO FABRICATION.



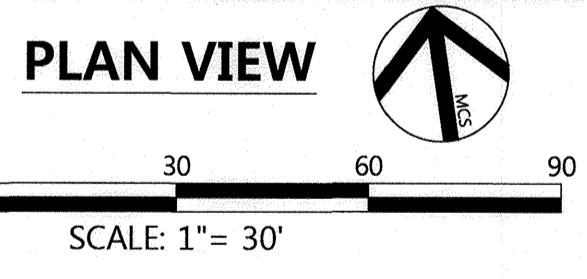
CONTINUATION LINE SHEET 15



NOTE: SLOPE INFORMATION SHOWN HERE ON IS A RESULT OF MASS GRADING SDP-16-075

NOTE: APPROVED EROSION AND SEDIMENT CONTROLS WILL BE INSTALLED AND MAINTAINED THROUGHOUT DURATION OF CONSTRUCTION TO MINIMIZE IMPACTS ON ADJACENT RESOURCES AND RESTORATION AREAS. ANY RESTORATION OR MITIGATION PLANTINGS DISTURBED DURING CONSTRUCTION WILL BE REPLACED/RE-PLANTED IN ACCORDANCE WITH THE PLANS AS APPROVED WITH F-15-106, AS WELL AS SUPPLEMENTAL PLANTING AS PER BIODIVERSITY SKETCH PLAN 'CRESCENT NEIGHBORHOOD PHASE 1, AREA 3, PHASE 2 PARCEL D' SHEETS 1-3 DATED 12/20/17.

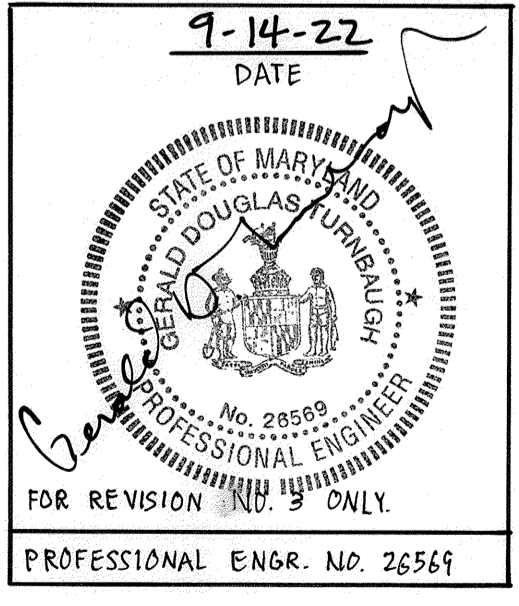
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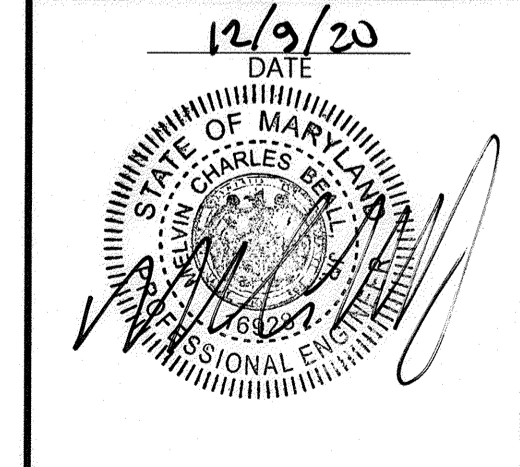
**FILE NUMBERS:**  
 F 15-106, F 16-107, F 17-059, F 18-017, SDP-16-075, SDP-18-005, WP-17-010, WP-17-049, WP-17-052, WP-17-115, WP-18-020, WP-18-021, SP-16-009, WP-16-100/FDP-DC-CRESCENT-1, FDP-DC-CRESCENT-1A, SDP 17-027, F 17-057, F18-017, WP-18-089, WP-18-105, 24-4931-D, 24-4975-D, 24-4974-D.

**CONTRACT NUMBERS:**  
 24-4931-D, 24-4975-D, 24-4974-D.

PROFESSIONAL CERTIFICATION  
 I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.  
 LICENSE NO. 26564, EXPIRATION DATE: 7/16/2028.



**PROFESSIONAL CERTIFICATION**  
 I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 16928, EXPIRATION DATE: 05/13/22.



Date	No.	Revision Description
7/6/22	1	UPDATE PLANS PER AS-BUILT CONDITIONS
10/30/20	2	UPDATE PLANS PER REVISED BLDG. 'C' LAYOUT & UTILITIES
04/19/19	3	UPDATE PLANS PER REVISED BLDG. 'C' LAYOUT & NEW BLDG. E-1 HOTEL

**DOWNTOWN COLUMBIA**  
**CRESCENT NEIGHBORHOOD**  
**PHASE I AREA 3, PHASE 2**  
 PARCELS D-1, D-7, D-8, D-9,  
 D-11, D-12 AND D-13  
 MIXED USE GREEN OFFICE, RESIDENTIAL, RETAIL, RESTAURANT, & HOTEL BUILDING

OWNER / DEVELOPER:  
 THE HOWARD RESEARCH AND DEVELOPMENT CORPORATION  
 COLUMBIA REGIONAL OFFICE  
 10960 GRANTCREEPER WAY SUITE 110  
 COLUMBIA, MD 21044  
 410-964-4800



501 FAIRMOUNT AVENUE, SUITE 300 TOWSON, MD 21286		P: 410 296 3333 WWW.DMW.COM	
SUBDIVISION NAME	SECTION/AREA	LOT/PARCEL #	PARCEL #
DOWNTOWN COLUMBIA	CRESCENT NEIGHBORHOOD		PARCEL D
PLAT OR REF. MAP	BLOCK #	TAX ZONE/MAP	ELECT. DISTRICT
24624	7	35	605602
WATER CODE	SEWER CODE	STAGE	
550	LITTLE PATUXENT	1	

TITLE		
<b>GRADING PLAN</b>		
<b>SECTION 4</b>		
REVISED SITE DEVELOPMENT PLAN		
Des. By	GDT/DM	SCALE AS SHOWN
Drn. By	MCJ	Date 02/15/19
Chk. By	MCB	Approved MCB
		16 of 78

APPROVED: HOWARD COUNTY DEPT. OF PLANNING & ZONING

*[Signature]* 1-15-21  
 CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

*[Signature]* 2-3-21  
 CHIEF, DIVISION OF LAND DEVELOPMENT DATE

*[Signature]* 2-3-21  
 DIRECTOR DATE

- NOTE:**
- SPOT GRADES AND DETAILED GRADING OF THE CURB AND BUILDING, INCLUDING BUT NOT LIMITED TO HARDSCAPE FEATURES SUCH AS PROPOSED SIDEWALKS, OPEN SPACE FEATURES, PROMENADES, PROPOSED FOUNTAINS, ETC., HAVE BEEN DESIGNED BY THE LANDSCAPE ARCHITECT. SEE THE LANDSCAPE AND HARDSCAPE PLAN FOR ADDITIONAL DETAIL. THE CONTRACTOR SHALL COORDINATE WITH THE LANDSCAPE ARCHITECT CONCERNING ANY CHANGE, DEVIATION OR MODIFICATION OF SUCH FEATURES SHOWN AND/OR ILLUSTRATED.
  - FOR PRIVATE ROAD PLAN AND PROFILE SEE SHEETS 18 THRU 19.
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  - SEE GENERAL NOTE #44 REGARDING TRASH SERVICE.
  - SEE GENERAL NOTE #59 REGARDING EASEMENTS.
  - FOR GUARDRAIL SEE MD SHA TRAFFIC BARRIER W/ BEAM W/ WOOD OFFSET BLOCK - STANDARD DETAIL NO. MD. 605.21.
  - FOR GUARDRAIL SEE MD SHA TRAFFIC BARRIER W/ BEAM SINGLE FACE - STANDARD DETAIL NO. MD. 605.22.
  - GUARDRAIL TO BE POWDER COATED BRONZE. COLOR TO BE SPECIFIED BY GRAPHIC DESIGNER PRIOR TO FABRICATION.

PROFESSIONAL ENGR. NO. 16928

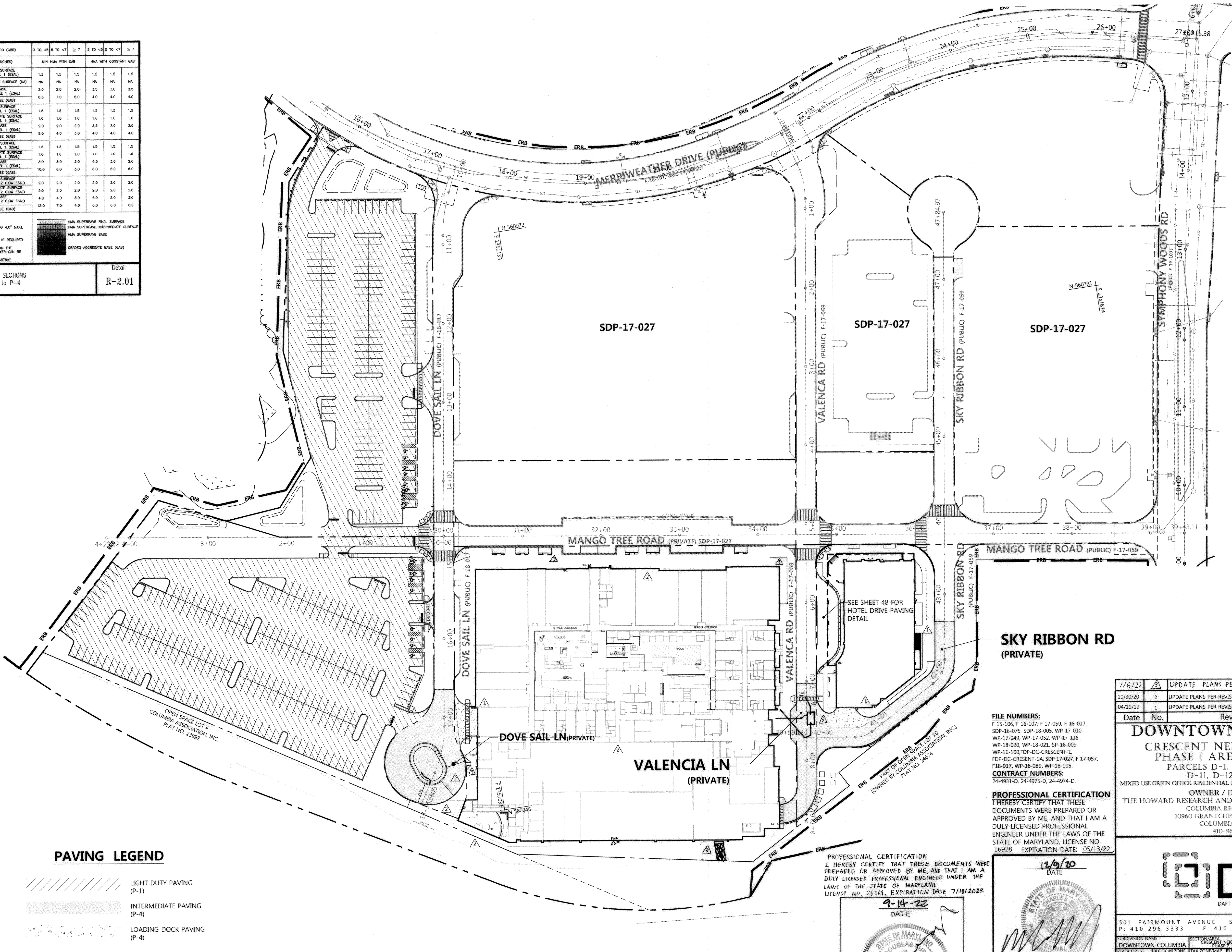
APPROVED:  
 PLANNING BOARD OF HOWARD COUNTY  
 DATE: 1/18/19



SECTION NUMBER	ROAD AND STREET CLASSIFICATION	CALIFORNIA BEARING RATIO (CBR)					
		3 TO <3	5 TO <7	2, 7	3 TO <5	5 TO <7	2, 7
P-1	PARKING DRIVE ALLEYS: RESIDENTIAL AND NON-RESIDENTIAL WITH NO MORE THAN 10 HEAVY TRUCKS PER DAY	PAVEMENT MATERIAL (INCHES)	MIN HMA WITH GAB		HMA WITH CONSTANT GAB		
		HMA SUPERPAVE FINAL SURFACE	1.5	1.5	1.5	1.5	1.5
		9.5 MM PG 64-22, LEVEL 1 (ESAL)	NA	NA	NA	NA	NA
		HMA SUPERPAVE INTERMEDIATE SURFACE (INA)	2.0	2.0	2.0	2.0	2.0
P-2	PARKING DRIVE ALLEYS: RESIDENTIAL AND NON-RESIDENTIAL WITH NO MORE THAN 10 HEAVY TRUCKS PER DAY	PAVEMENT MATERIAL (INCHES)	MIN HMA WITH GAB		HMA WITH CONSTANT GAB		
		HMA SUPERPAVE FINAL SURFACE	1.5	1.5	1.5	1.5	1.5
		9.5 MM PG 64-22, LEVEL 1 (ESAL)	NA	NA	NA	NA	NA
		HMA SUPERPAVE INTERMEDIATE SURFACE (INA)	2.0	2.0	2.0	2.0	2.0
P-3	PARKING DRIVE ALLEYS: RESIDENTIAL AND NON-RESIDENTIAL WITH NO MORE THAN 10 HEAVY TRUCKS PER DAY	PAVEMENT MATERIAL (INCHES)	MIN HMA WITH GAB		HMA WITH CONSTANT GAB		
		HMA SUPERPAVE FINAL SURFACE	1.5	1.5	1.5	1.5	1.5
		9.5 MM PG 64-22, LEVEL 1 (ESAL)	NA	NA	NA	NA	NA
		HMA SUPERPAVE INTERMEDIATE SURFACE (INA)	2.0	2.0	2.0	2.0	2.0
P-4	PARKING DRIVE ALLEYS: RESIDENTIAL AND NON-RESIDENTIAL WITH NO MORE THAN 10 HEAVY TRUCKS PER DAY	PAVEMENT MATERIAL (INCHES)	MIN HMA WITH GAB		HMA WITH CONSTANT GAB		
		HMA SUPERPAVE FINAL SURFACE	1.5	1.5	1.5	1.5	1.5
		9.5 MM PG 64-22, LEVEL 1 (ESAL)	NA	NA	NA	NA	NA
		HMA SUPERPAVE INTERMEDIATE SURFACE (INA)	2.0	2.0	2.0	2.0	2.0

**Notes:**  
1) HEAVY TRUCKS ARE DEFINED AS THOSE WITH SIX (6) WHEELS OR MORE INCLUDING GARAGE TRUCKS.  
2) HMA SUPERPAVE LAYERS SHALL BE PLACED IN APPROPRIATE COMPACTED LIFT THICKNESS: 19.0 MM BASE (2.0" MIN TO 4.0" MAX), 12.5 MM SURFACE (1.5" MIN TO 3.0" MAX) AND 9.5 MM SURFACE (1.0" MIN TO 2.0" MAX).  
3) GRADED AGGREGATE BASE (GAB) TO BE PLACED AND COMPACTED IN 6" MAX COMPACTED THICKNESS LAYERS.  
4) THE INTERMEDIATE SURFACE COURSE LAYER MUST BE GRADED WITHIN 2' RADII OF PLACEMENT OF BASE COURSE, AND IS REQUIRED PRIOR TO SUBSTANTIAL COMPLETION INSPECTION AND BOND REDUCTION.  
5) IN THE CASE OF PLACING THE INTERMEDIATE SURFACE COURSE LAYER FOR COMMERCIAL/INDUSTRIAL ENTRANCE AREAS WITHIN THE COUNTY RIGHT-OF-WAY WHERE ADJUTARY LANES ARE NOT REQUIRED, THE THICKNESS OF THE INTERMEDIATE PAVEMENT LAYER CAN BE ADDED TO THE REQUIRED THICKNESS OF THE BASE/SURFACE LAYER.  
6) THE CONSTRUCTION DRAWINGS SHALL SHOW THE PAVING SECTION, ROAD CLASSIFICATION AND CBR VALUE FOR EACH ROADWAY.

DATE: 11/15/21	HOWARD COUNTY, MARYLAND DEPARTMENT OF PUBLIC WORKS	PAVING SECTIONS P-1 TO P-4	Detail R-2.01
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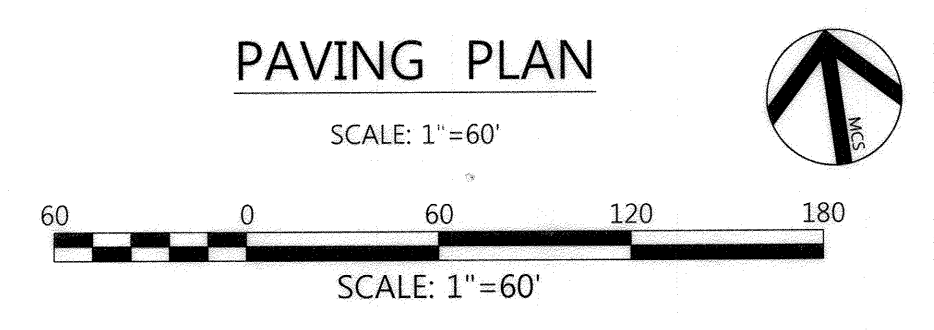


**PAVING LEGEND**

	LIGHT DUTY PAVING (P-1)
	INTERMEDIATE PAVING (P-4)
	LOADING DOCK PAVING (P-4)

**SITE LEGEND**

	PROPERTY LINE
	PROP. EASEMENT
	EX. CURB
	EX. BUILDING



APPROVED: HOWARD COUNTY DEPT. OF PLANNING & ZONING

CHIEF, DEVELOPMENT ENGINEERING DIVISION *[Signature]* 11/15/21 DATE

CHIEF, DIVISION OF LAND DEVELOPMENT *[Signature]* 11/15/21 DATE

DIRECTOR *[Signature]* 11/15/21 DATE

PROFESSIONAL CERTIFICATION  
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.  
LICENSE NO. 26569, EXPIRATION DATE 7/18/2029.

DATE: 11/15/21

PROFESSIONAL ENGR. NO. 26569

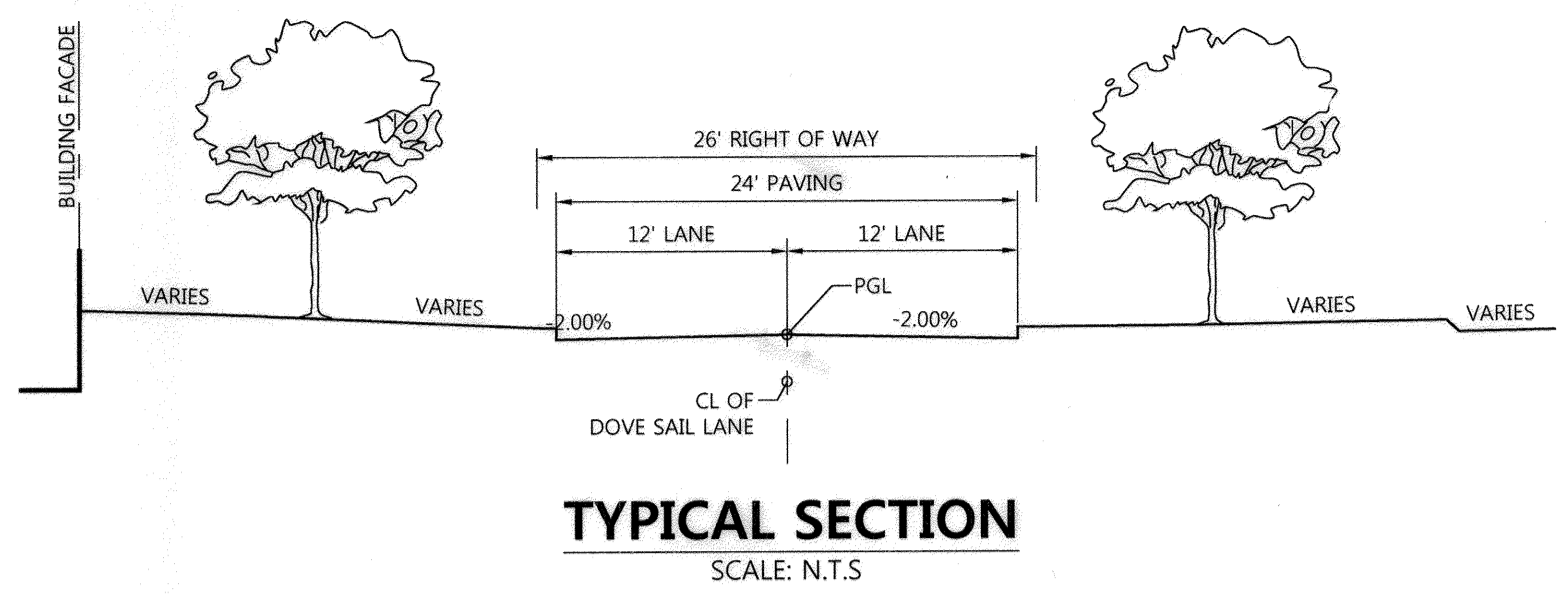
FILE NUMBERS:  
F-15-106, F-16-107, F-17-059, F-18-017, SDP-16-075, SDP-18-005, WP-17-010, WP-17-049, WP-17-052, WP-17-115, WP-18-020, WP-18-021, SP-16-009, WP-16-100 FDP-DC-CRESCENT-1, FDP-DC-CRESCENT-1A, SDP-17-027, F-17-057, F18-017, WP-18-089, WP-18-105.  
CONTRACT NUMBERS:  
24-4931-D, 24-4975-D, 24-4974-D.

PROFESSIONAL CERTIFICATION  
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 16928, EXPIRATION DATE: 05/13/22.

DATE: 11/9/20

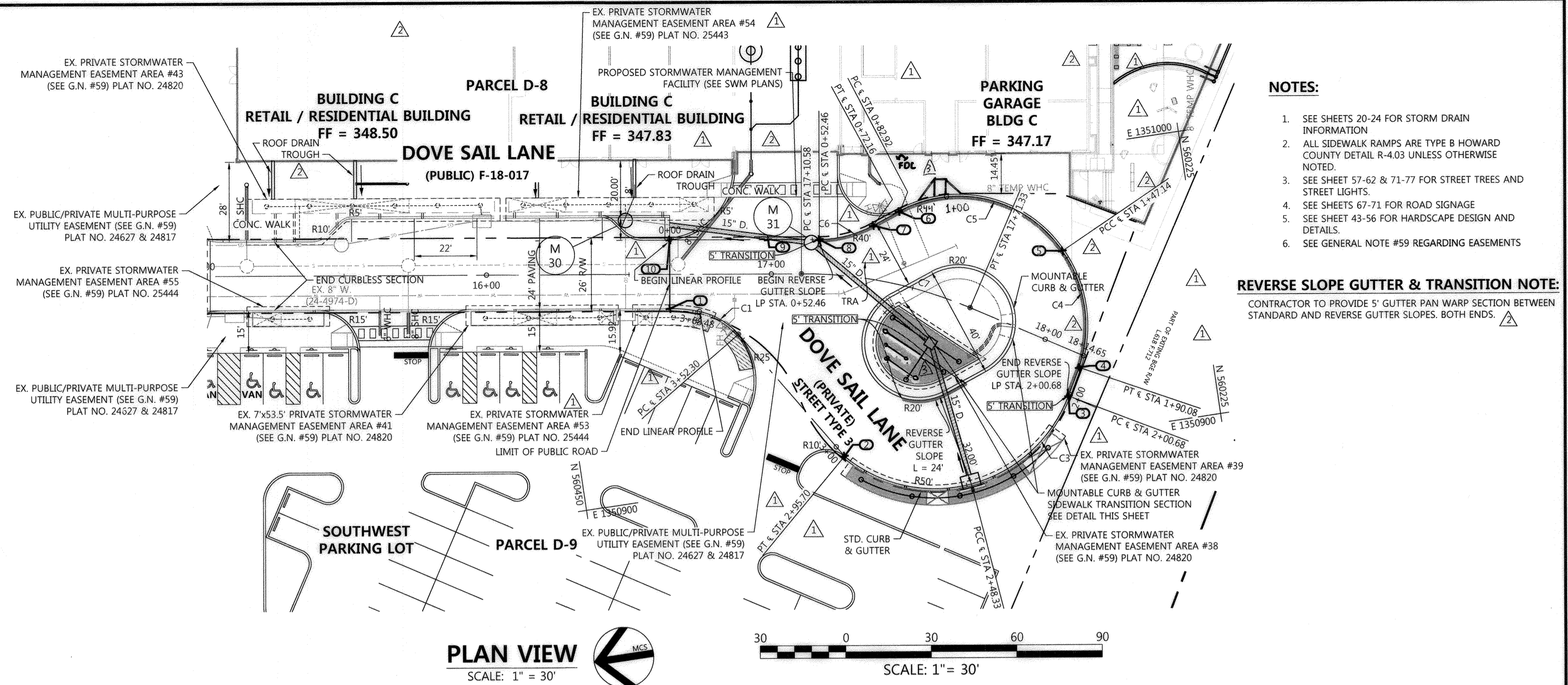
PROFESSIONAL ENGR. NO. 16928

7/7/22	1	UPDATE PLANS PER AS-BUILT CONDITIONS
10/30/20	2	UPDATE PLANS PER REVISED BLDG. "C" LAYOUT & UTILITIES
04/19/19	1	UPDATE PLANS PER REVISED BLDG. "C" LAYOUT & NEW BLDG. E-1 HOTEL
Date	No.	Revision Description
<b>DOWNTOWN COLUMBIA</b>		
<b>CRESCENT NEIGHBORHOOD</b>		
<b>PHASE I AREA 3, PHASE 2</b>		
PARCELS D-1, D-7, D-8, D-9, D-11, D-12 AND D-13		
MIXED USE GREEN OFFICE, RESIDENTIAL, RETAIL, RESTAURANT, & HOTEL BUILDING		
OWNER / DEVELOPER: THE HOWARD RESEARCH AND DEVELOPMENT CORPORATION COLUMBIA REGIONAL OFFICE 10960 GRANTCHSTER WAY SUITE 100 COLUMBIA, MD 21044 410-964-1800		
501 FAIRMOUNT AVENUE SUITE 300 TOWSON, MD 21286 P: 410.296.3333 F: 410.296.4705 WWW.DMW.COM		
DOWNTOWN COLUMBIA	CRESCENT NEIGHBORHOOD	LOT/PARCEL
PLAT NO. 17	BLOCK # 7	PARCEL D
PLAT NO. 17	LOT # 5	605602
WATER CODE	SEWER CODE	STAGE
550	LITTLE PATUXENT	1
<b>PAVING PLAN AND DETAILS</b>		
REVISED SITE DEVELOPMENT PLAN		
Des. By	GDT/DM	SCALE AS SHOWN
Drn. By	MCJ	Date 02/15/19
Chk. By	MCB	Approved MCB
		Proj. No. 04038.B0
		17 of 78



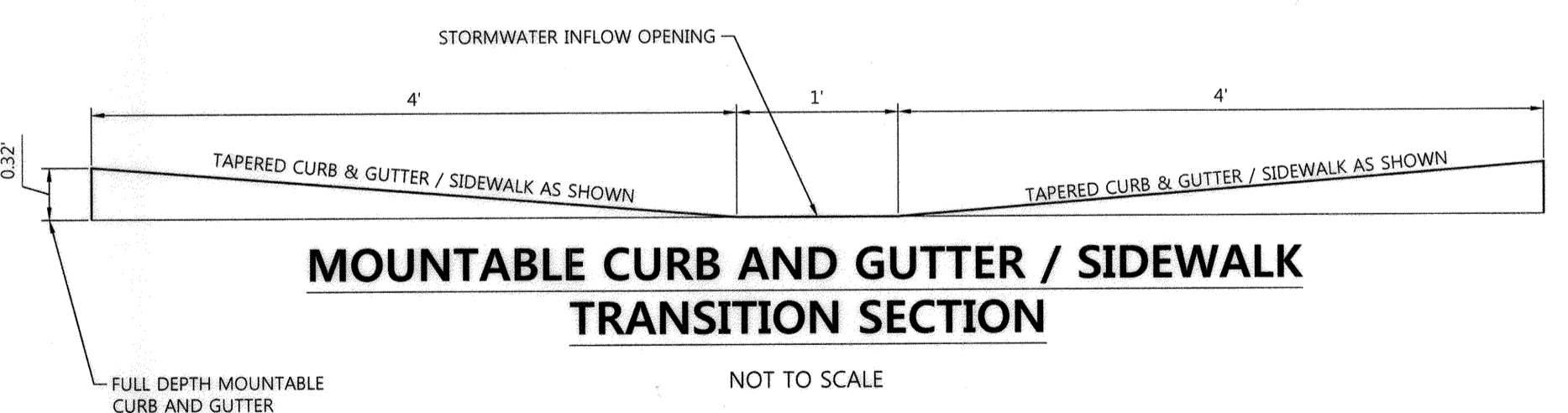
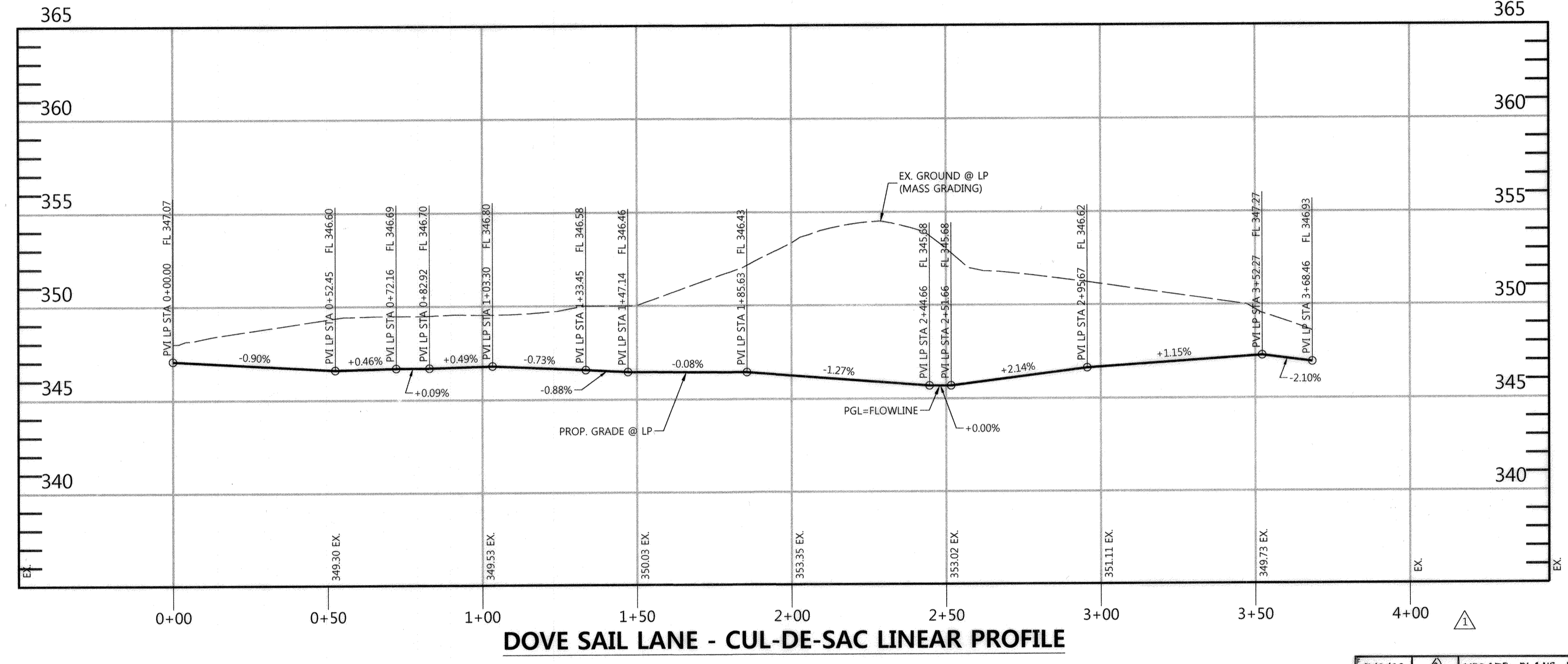
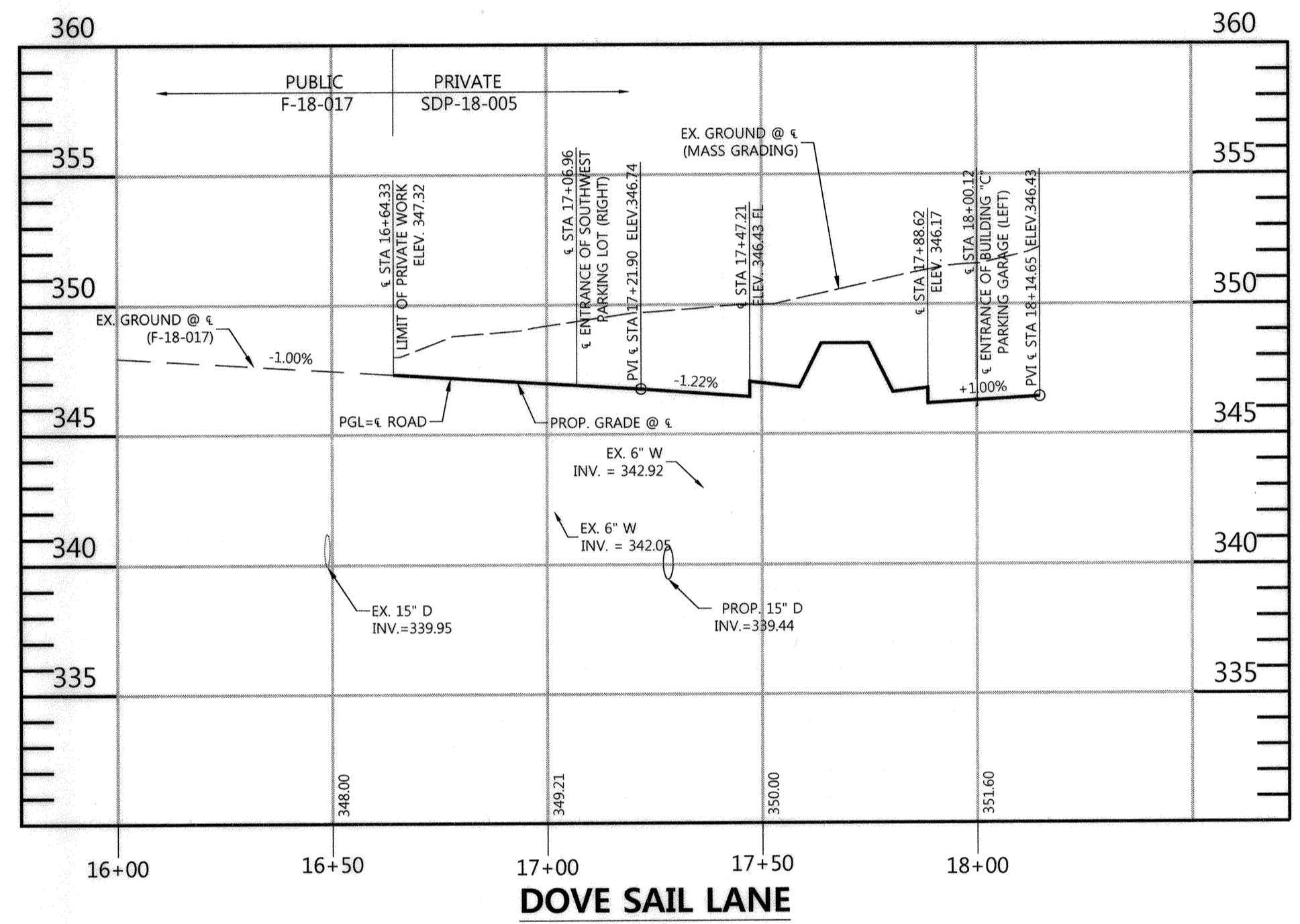
**LEGEND**

- BOLLARD
- PROPERTY LINE
- EX. CONTOURS
- EX. CURB
- EX. BUILDING
- EX. TREELINE
- EX. WATER
- EX. SEWER
- EX. STORM DRAIN
- EX. OVERHEAD TELEPHONE
- EX. EASEMENT
- EX. UTILITY POLE
- PROP. EASEMENT
- PROP. CONTOURS
- PROP. WATER
- PROP. SEWER
- PROP. STORM DRAIN
- PROP. BUILDING
- PROP. CURB
- PROP. TREE LINE
- SURFACE PLANTING BED
- (M-6) TREE PIT MICRO-BIORETENTION FACILITY
- REVERSE GUTTER SLOPE



- NOTES:**
- SEE SHEETS 20-24 FOR STORM DRAIN INFORMATION
  - ALL SIDEWALK RAMP ARE TYPE B HOWARD COUNTY DETAIL R-4.03 UNLESS OTHERWISE NOTED
  - SEE SHEET 57-62 & 71-77 FOR STREET TREES AND STREET LIGHTS
  - SEE SHEETS 67-72 FOR ROAD SIGNAGE
  - SEE SHEET 43-56 FOR HARDSCAPE DESIGN AND DETAILS
  - SEE GENERAL NOTE #59 REGARDING EASEMENTS

**REVERSE SLOPE GUTTER & TRANSITION NOTE:**  
CONTRACTOR TO PROVIDE 5' GUTTER PAN WARP SECTION BETWEEN STANDARD AND REVERSE GUTTER SLOPES, BOTH ENDS.



**DOVE SAIL LANE CURB FLOW LINE ELEVATION TABLE**

PT. NO.	STATION*	ELEV.
①	3+68.46	346.93'
②	2+95.70	346.65'
③	2+00.68	346.24'
④	1+90.08	346.37'
⑤	1+47.14	346.46'
⑥	0+82.92	346.70'
⑦	0+78.16	346.69'
⑧	0+52.46	346.60'
⑨	0+34.49	346.76'
⑩	0+00	347.07'

\* LINEAR PROFILE STATION

**ε CURVE DATA CHART**

CURVE	STREET NAME	PC STA.	PT STA.	RADIUS	TANGENT	ARC	CHORD	BEARING	DELTA
C1	DOVE SAIL LANE - CUL-DE-SAC	3+52.30	3+68.48	25.00'	8.39'	16.18'	15.90'	N38°57'32"E	37°05'10"
C3	DOVE SAIL LANE - CUL-DE-SAC	2+00.68	2+48.33	49.86'	25.82'	47.65'	45.86'	N33°26'35"W	54°45'21"
C4	DOVE SAIL LANE - CUL-DE-SAC	1+47.14	1+90.08	45.72'	23.20'	42.94'	41.38'	N89°40'44"W	53°48'57"
C5	DOVE SAIL LANE - CUL-DE-SAC	0+82.92	1+47.14	44.00'	39.35'	64.21'	58.67'	S22°30'51"W	83°37'05"
C6	DOVE SAIL LANE - CUL-DE-SAC	0+52.46	0+72.16	40.00'	10.05'	19.70'	19.50'	S05°49'17"E	28°13'08"
C7	DOVE SAIL LANE	17+10.58	17+71.33	150.00'	30.80'	60.75'	60.34'	S20°00'45"W	23°12'24"
C8	DOVE SAIL LANE	10+33.21	10+88.84	200.00'	27.99'	55.63'	55.45'	S16°22'37"W	15°56'09"

APPROVED: HOWARD COUNTY DEPT. OF PLANNING & ZONING  
 CHIEF, DEVELOPMENT ENGINEERING DIVISION  
 CHIEF, DIVISION OF LAND DEVELOPMENT  
 DIRECTOR

1-15-21  
 2/3/21  
 2-3-21

PROFESSIONAL CERTIFICATION  
 I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 26569, EXPIRATION DATE: 7/16/2023.

7-14-22  
 DATE

PROFESSIONAL ENGR. NO. 26569

**FILE NUMBERS:**  
 F 15-105, F 16-107, F 17-059, F 18-017, SDP-16-075, SDP-18-005, WP-17-010, WP-17-049, WP-17-052, WP-17-115, WP-18-020, WP-18-021, SP-16-009, WP-16-100/FDP-DC-CRESCENT-1, FDP-DC-CRESCENT-1A, SDP 17-027, F 17-057, F18-017, WP-18-089, WP-18-105, 24-4931-D, 24-4975-D, 24-4974-D.

**CONTRACT NUMBERS:**  
 24-4931-D, 24-4975-D, 24-4974-D.

**PROFESSIONAL CERTIFICATION**  
 I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 16928, EXPIRATION DATE: 05/13/22.

12/9/20  
 DATE

PROFESSIONAL ENGR. NO. 16928

Date	No.	Revision Description
7/6/22	1	UPDATE PLANS PER AS-BUILT CONDITIONS
10/30/20	2	UPDATE PLANS PER REVISED BLDG. 'C' LAYOUT & UTILITIES
04/19/19	1	UPDATE PLANS PER REVISED BLDG. 'C' LAYOUT & NEW BLDG. E-1 HOTEL

**DOWNTOWN COLUMBIA**  
 CRESCENT NEIGHBORHOOD  
 PHASE I AREA 3, PHASE 2  
 PARCELS D-1, D-7, D-8, D-9,  
 D-11, D-12 AND D-13  
 MIXED USE GREEN OFFICE, RESIDENTIAL, RETAIL, RESTAURANT, & HOTEL BUILDING

**OWNER / DEVELOPER:**  
 THE HOWARD RESEARCH AND DEVELOPMENT CORPORATION  
 COLUMBIA REGIONAL OFFICE  
 10960 GRANTCHESTER WAY SUITE 110  
 COLUMBIA, MD 21044  
 410-964-8800

**DW**  
 DAFT MCCLUNE WALKER INC

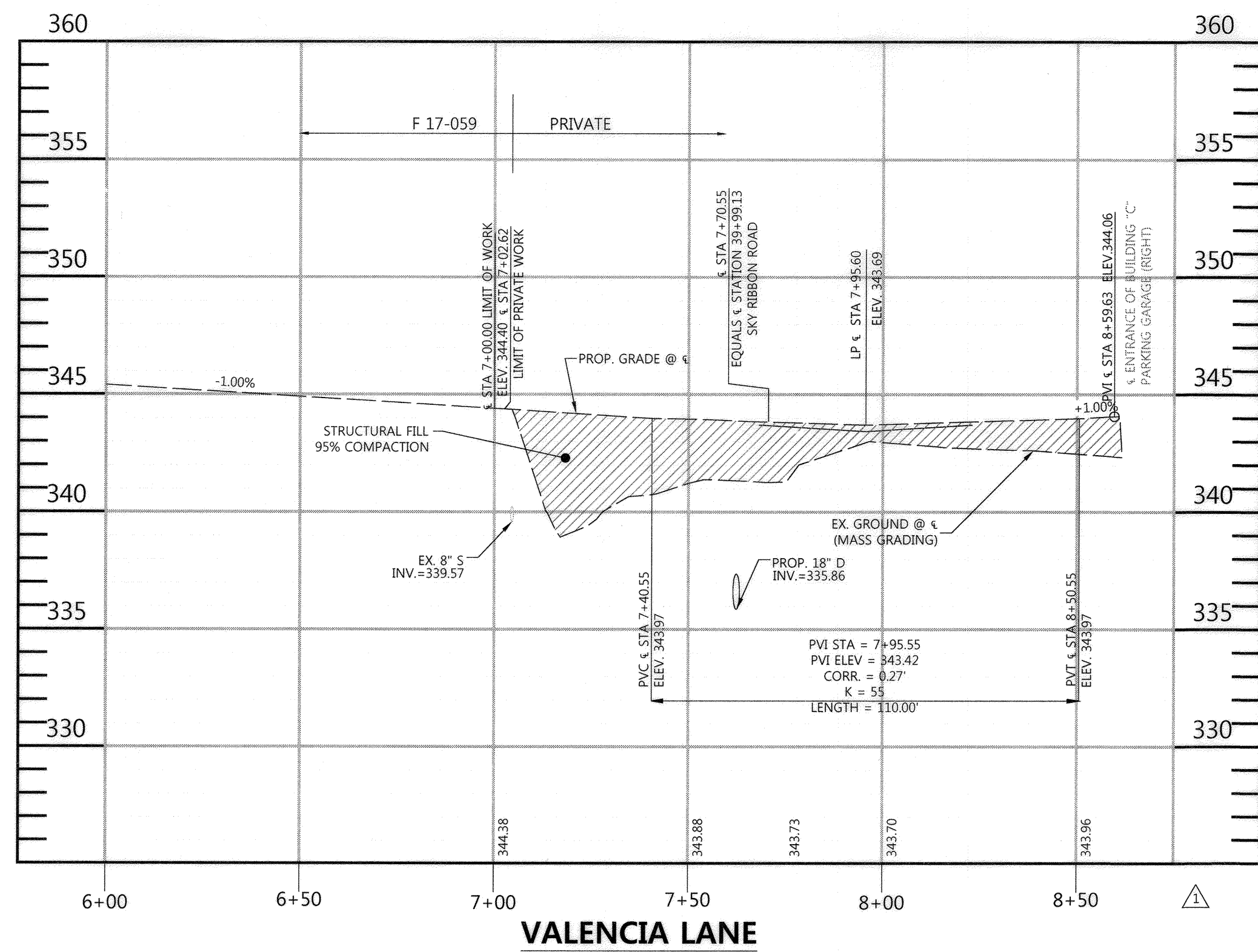
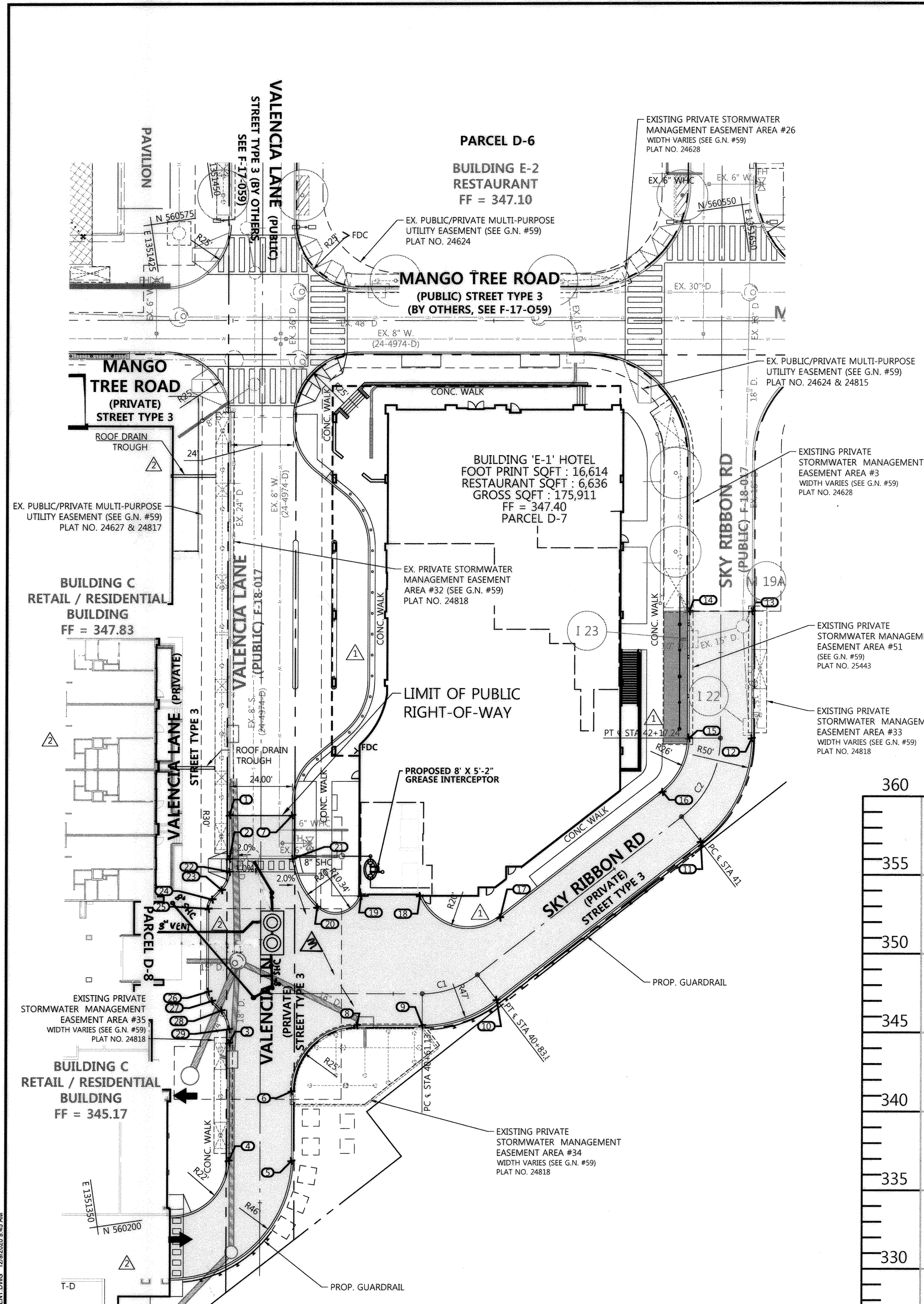
501 FAIRMOUNT AVENUE SUITE 300 TOWSON, MD 21286  
 P: 410 296 3333 F: 410 296 4705 WWW.DMW.COM

PROFESSIONAL ENGR. NO. 16928

APPROVED:  
 PLANNING BOARD OF HOWARD COUNTY  
 DATE: 1/18/21

**ROAD PLAN (DOVE SAIL LN)**  
 REVISION SET DEVELOPMENT PLAN  
 Des. By GDT/DM SCALE AS SHOWN Proj. No. 04038.B0  
 Drn. By MCJ Date 02/15/19  
 Chk. By MCB Approved MCB 18 of 78

SDP-18-005

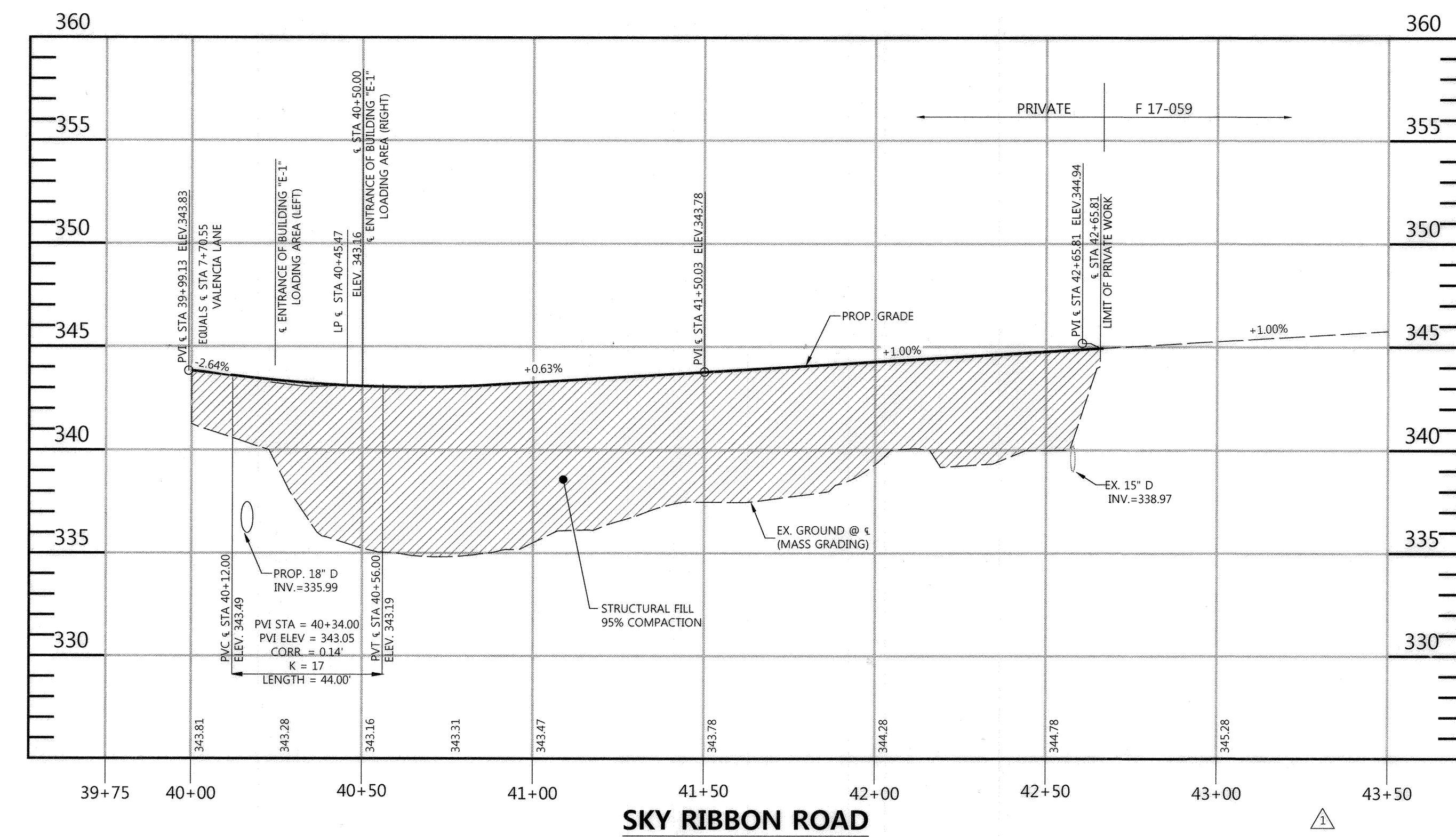


**VALENCIA LANE CURB FLOW LINE ELEVATION TABLE**

NO.	STATION	OFFSET	ELEV.
1	7+02.63	12.00' R.	344.11'
2	7+15.55	12.00' R.	343.93'
3	7+95.60	12.00' R.	343.46'
4	8+32.93	12.00' R.	343.88'
5	8+32.93	12.00' L.	343.81'
6	8+07.55	12.00' L.	343.52'
7	7+02.63	12.00' L.	344.11'
21	7+15.55	12.00' L.	343.93'
22	7+24.19	12.00' L.	343.91'
23	7+31.16	14.90' L.	343.96'
24	7+34.77	18.50' L.	343.88'
25	7+38.30	20.00' L.	343.88'
26	7+69.80	20.00' L.	343.73'
27	7+73.36	18.50' L.	343.64'
28	7+76.96	14.90' L.	343.59'
29	7+84.08	12.00' L.	343.5'

**SKY RIBBON ROAD CURB FLOW LINE ELEVATION TABLE**

PT.	STATION	OFFSET	ELEV.
8	40+37.00	12.00' R.	343.25'
9	40+62.00	12.00' R.	342.80'
10	40+84.77	12.00' R.	342.88'
11	41+83.43	12.00' R.	343.76'
12	42+18.12	12.00' R.	344.21'
13	42+66.68	12.00' R.	344.69'
14	42+66.68	12.00' L.	344.69'
15	42+17.24	12.00' L.	344.16'
16	41+82.55	12.00' L.	344.42'
17	41+04.03	12.00' L.	343.70'
18	40+60.14	37.30' L.	344.28'
19	40+37.60	37.28' L.	344.18'
20	40+20.78	32.95' L.	343.73'



**ε CURVE DATA CHART**

CURVE	STREET NAME	PC STA.	PT STA.	RADIUS	TANGENT	ARC	CHORD	BEARING	DELTA
C1	SKY RIBBON ROAD	40+61.13	40+83.89	34.61'	11.81'	22.77'	22.36'	N79°33'52"E	37°41'33"
C2	SKY RIBBON ROAD	41+82.55	42+17.24	38.00'	18.66'	34.69'	33.50'	N34°33'53"E	52°18'25"

9-14-22  
DATE

FOR REVISION NO. 3 ONLY  
PROFESSIONAL ENGR. NO. 26569

**PROFESSIONAL CERTIFICATION**  
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NO. 26569, EXPIRATION DATE: 7/16/2029.

Date	Revision Description
7/16/22	1 UPDATE PLANS PER AS-BUILT CONDITIONS
10/20/20	2 UPDATE PLANS PER REVISED BLDG. 'C' LAYOUT & UTILITIES
04/19/19	1 UPDATE PLANS PER REVISED BLDG. 'C' LAYOUT & NEW BLDG. E-1 HOTEL

**FILE NUMBERS:**  
F 15-106, F 16-107, F 17-059, F 18-017, SDP-16-075, SDP-18-005, WP-17-010, WP-17-049, WP-17-052, WP-17-115, WP-18-020, WP-18-021, SP-16-009, WP-16-100/POP-DC-CRESCENT-1, FDP-DC-CRESCENT-1A, SDP-17-027, F 17-057, F 18-017, WP-18-089, WP-18-105.  
**CONTRACT NUMBERS:**  
24-4931-D, 24-4975-D, 24-4974-D.

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12/9/10  
DATE

PROFESSIONAL ENGR. NO. 16928

**DMW**  
DAFT MCCUNE WALKER INC.

501 FAIRMOUNT AVENUE SUITE 300 TOWSON, MD 21286  
P: 410.296.3333 F: 410.296.4705 WWW.DMW.COM

SECTION	CRESCENT NEIGHBORHOOD	LOT/PARCEL #	PARCEL D
PLANNING BOARD	DOWNTOWN COLUMBIA	TAX JURISDICTION	ELECT DISTRICT
PLANNING BOARD	7	ZONE	36
WATER CODE	550	SUBDIVISION	5
		STAGE	1

TITLE: **ROAD PLAN (VALENCIA AND SKY RIBBON)**  
REVISED SITE DEVELOPMENT PLAN

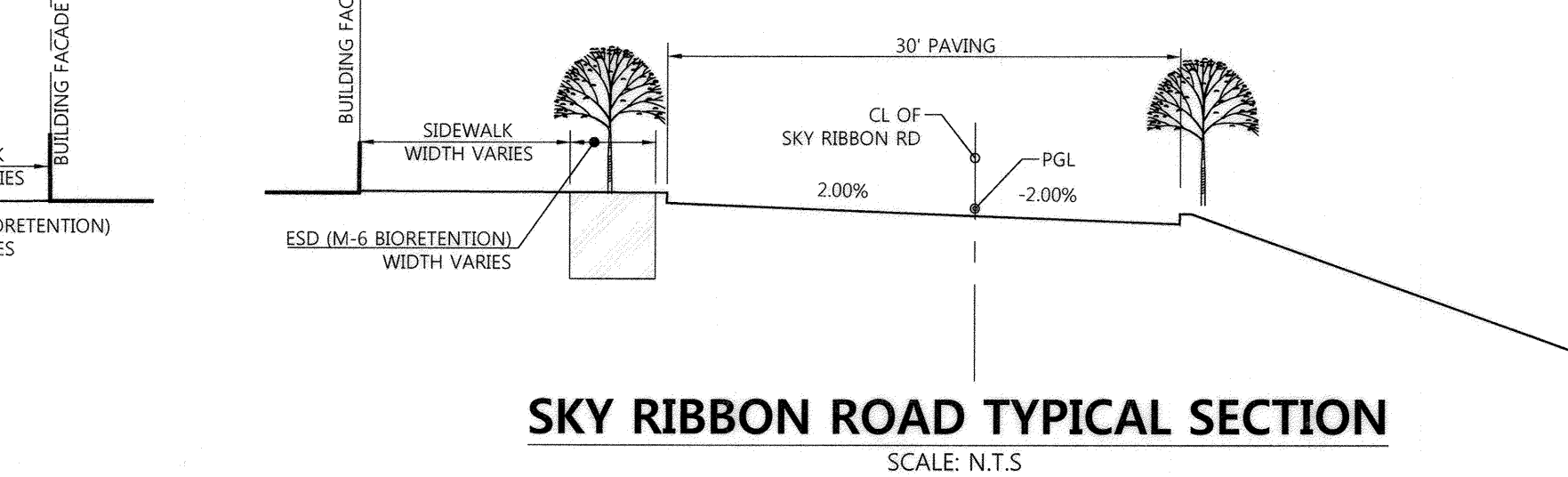
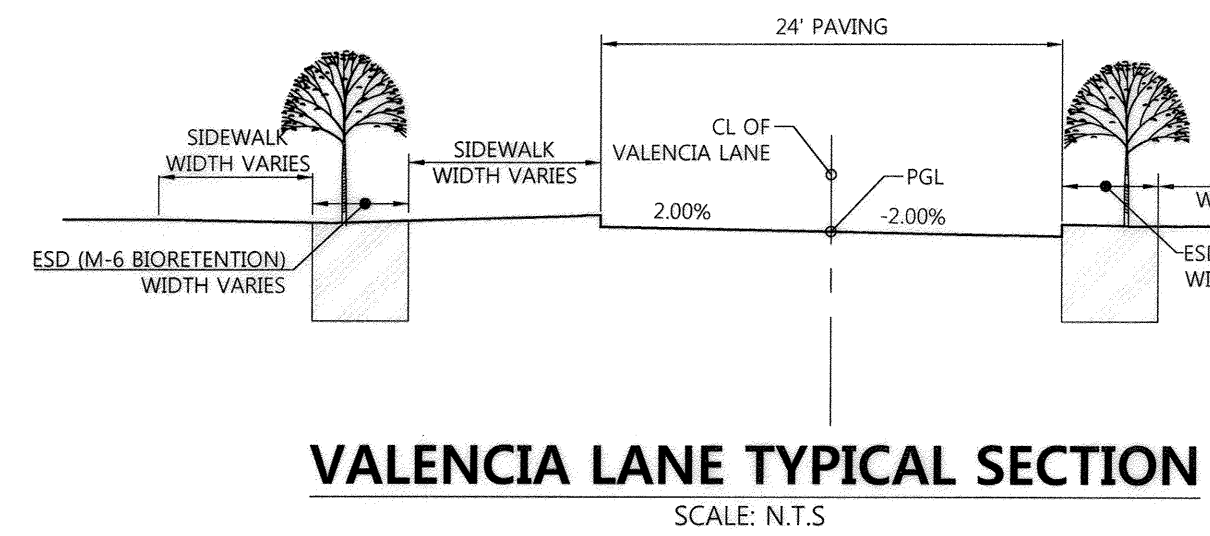
Des. By	GDT/DM	SCALE	AS SHOWN	Proj. No.	04038.80
Drn. By	MCJ	Date	02/15/19		
Chk. By	MCB	Approved	MCB		19 of 78

APPROVED: HOWARD COUNTY DEPT. OF PLANNING & ZONING  
1/15/21  
DATE

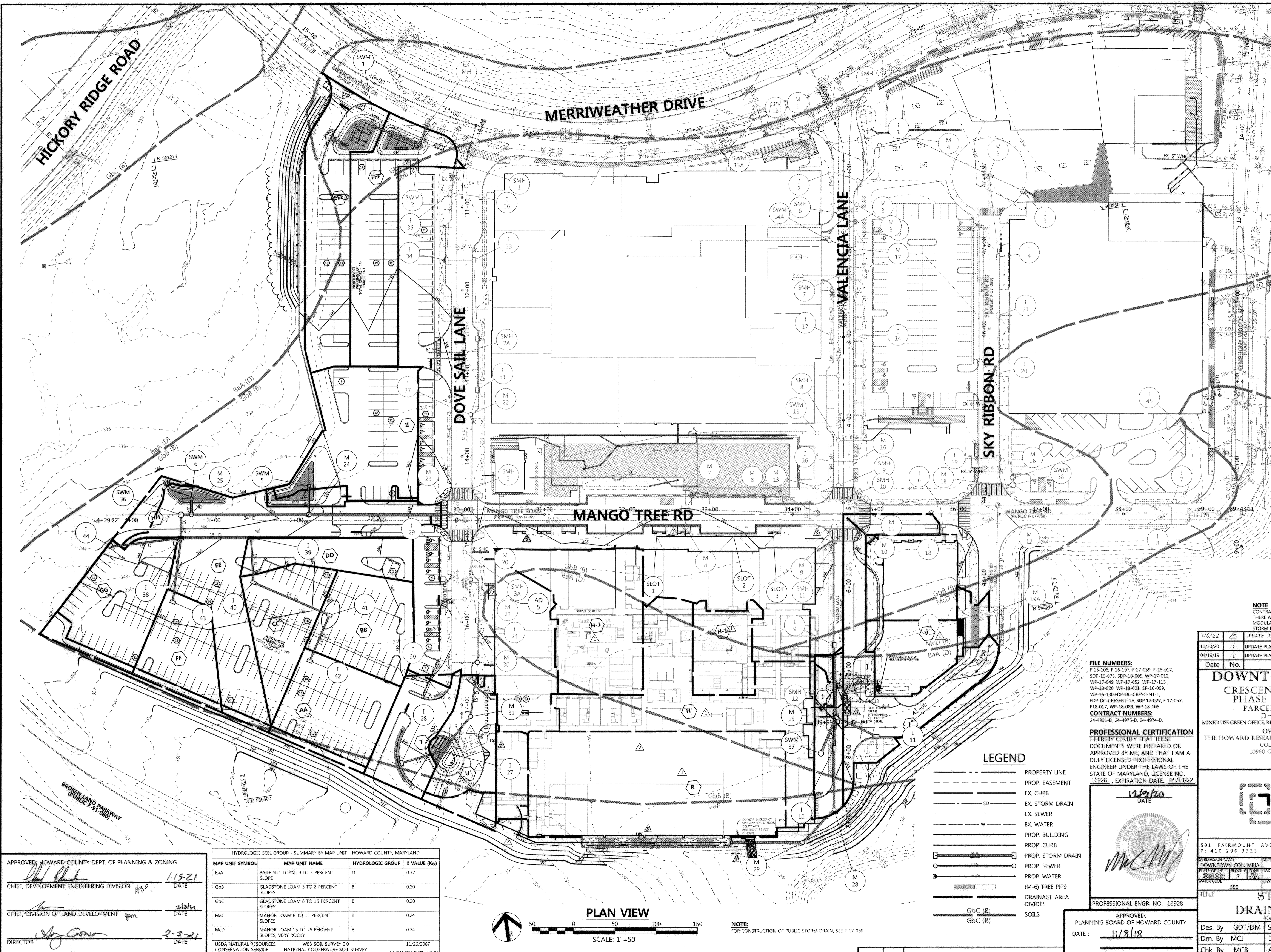
CHIEF, DEVELOPMENT ENGINEERING DIVISION

CHIEF, DIVISION OF LAND DEVELOPMENT  
DATE

DIRECTOR  
DATE

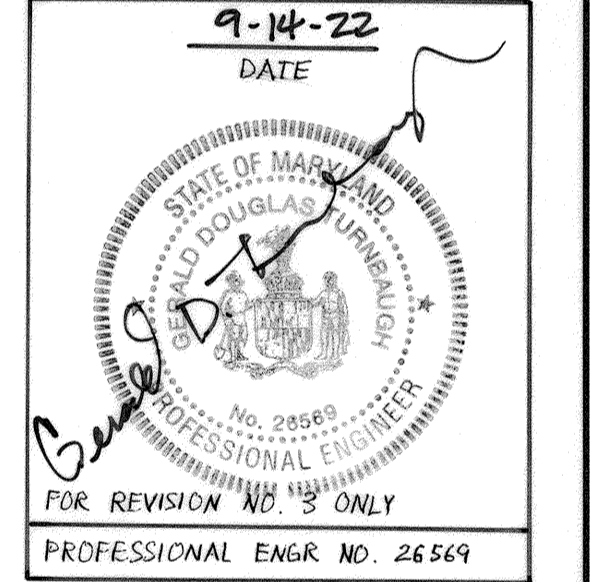


- NOTES:**
- SEE SHEETS 20-23 FOR STORM DRAIN INFORMATION
  - ALL SIDEWALK RAMPS ARE TYPE B HOWARD COUNTY DETAIL R-4.03 UNLESS OTHERWISE NOTED.
  - SEE SHEET 57-62 & 71-76 FOR STREET TREES AND STREET LIGHTS.
  - SEE SHEETS 66-69 FOR ROAD SIGNAGE
  - SEE SHEET 44-56 FOR HARDSCAPE DESIGN AND DETAILS.
  - SEE GENERAL NOTE #59 REGARDING EASEMENTS



DA LABEL	DA SIZE (AC)	COEFF. C	IMP. (%)
H	0.94	0.86	100
I	0.39	0.84	97
J	0.15	0.85	99
T	0.23	0.85	98
U	0.27	0.75	85
V	0.58	0.85	98
AA	0.32	0.79	90
BB	0.30	0.83	95
CC	0.26	0.84	97
DD	0.19	0.77	88
EE	0.32	0.81	93
FF	0.23	0.79	90
GG	0.34	0.74	83
HH	0.47	0.84	98
II	0.46	0.84	98
EEE	0.45	0.85	98
FFF	0.44	0.83	96
H-1	0.55	0.86	100
R	0.87	0.86	100

PROFESSIONAL CERTIFICATION  
 I HEREBY CERTIFY THAT THESE DOCUMENTS  
 WERE PREPARED OR APPROVED BY ME,  
 AND THAT I AM A DULY LICENSED  
 PROFESSIONAL ENGINEER UNDER THE LAWS  
 OF THE STATE OF MARYLAND, LICENSE NO.  
 26564, EXPIRATION DATE: 2/18/2023.



**NOTE**  
 CONTRACTOR TO NOTIFY STRUCTURAL ENGINEER IF  
 THERE ARE ANY CONFLICTS WITH THE (M-6)  
 MODULAR WALLS/FOOTINGS AND ADJACENT  
 STORM DRAIN PIPES AND STRUCTURES.

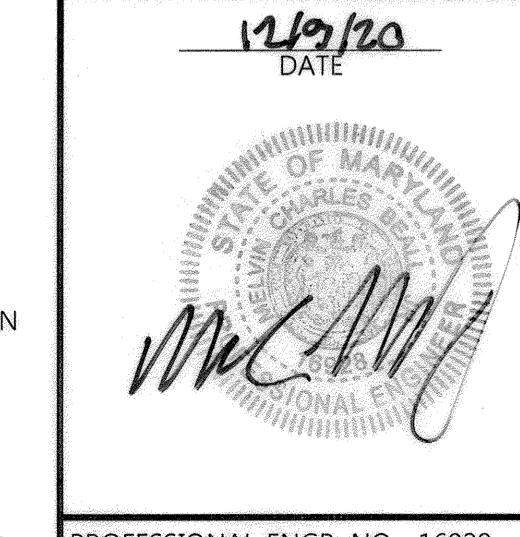
Date	No.	Revision Description
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**DOWNTOWN COLUMBIA**  
**CRESCENT NEIGHBORHOOD**  
**PHASE I AREA 3, PHASE 2**  
 PARCELS D-1, D-7, D-8, D-9,  
 D-11, D-12 AND D-13  
 MIXED USE GREEN OFFICE, RESIDENTIAL, RETAIL, RESTAURANT, & HOTEL BUILDING

OWNER / DEVELOPER:  
 THE HOWARD RESEARCH AND DEVELOPMENT CORPORATION  
 COLUMBIA REGIONAL OFFICE  
 10960 GRANTCHESTER WAY SUITE 110  
 COLUMBIA, MD 21044  
 410-964-4800

**FILE NUMBERS:**  
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 SDP-16-075, SDP-18-005, WP-17-010,  
 WP-17-049, WP-17-052, WP-17-115,  
 WP-18-020, WP-18-021, SP-16-009,  
 WP-16-100/FDP-DC-CRESCENT-1,  
 FDP-DC-CRESCENT-1A, SDP 17-027, F 17-057,  
 F18-017, WP-18-089, WP-18-105.  
**CONTRACT NUMBERS:**  
 24-4931-D, 24-4975-D, 24-4974-D.

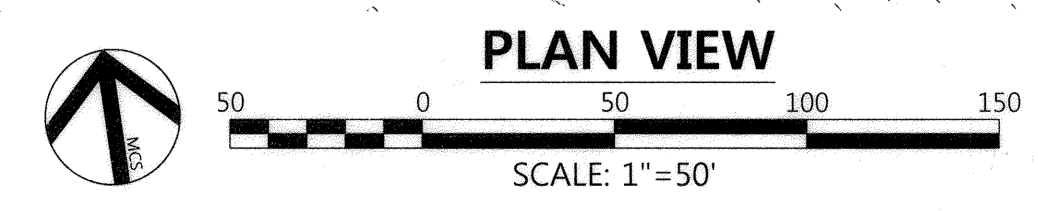
**PROFESSIONAL CERTIFICATION**  
 I HEREBY CERTIFY THAT THESE  
 DOCUMENTS WERE PREPARED OR  
 APPROVED BY ME, AND THAT I AM A  
 DULY LICENSED PROFESSIONAL  
 ENGINEER UNDER THE LAWS OF THE  
 STATE OF MARYLAND, LICENSE NO.  
 16928, EXPIRATION DATE: 05/13/22.



APPROVED:  
 PLANNING BOARD OF HOWARD COUNTY  
 DATE: 11/8/18

**LEGEND**

---	PROPERTY LINE
- - - -	PROP. EASEMENT
---	EX. CURB
SD	EX. STORM DRAIN
---	EX. SEWER
W	EX. WATER
---	PROP. BUILDING
---	PROP. CURB
---	PROP. STORM DRAIN
---	PROP. SEWER
---	PROP. WATER
---	(M-6) TREE PITS
---	DRAINAGE AREA DIVIDES
---	SOILS



**NOTE:**  
 FOR CONSTRUCTION OF PUBLIC STORM DRAIN, SEE F-17-059.

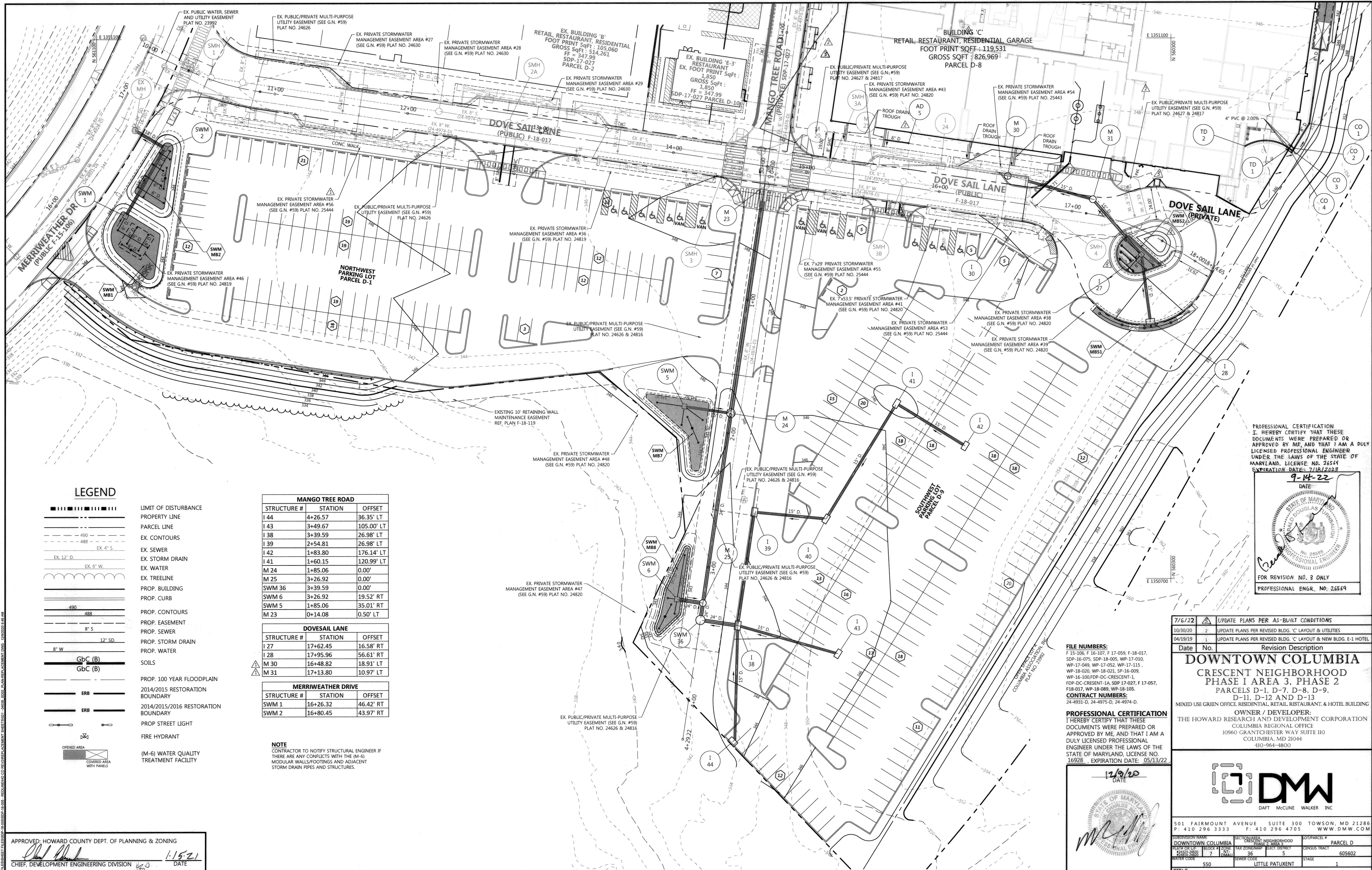
APPROVED: HOWARD COUNTY DEPT. OF PLANNING & ZONING  
 CHIEF, DEVELOPMENT ENGINEERING DIVISION  
 CHIEF, DIVISION OF LAND DEVELOPMENT  
 DIRECTOR

DATE: 1-15-21  
 DATE: 2/9/21  
 DATE: 2-3-21

HYDROLOGIC SOIL GROUP - SUMMARY BY MAP UNIT - HOWARD COUNTY, MARYLAND

MAP UNIT SYMBOL	MAP UNIT NAME	HYDROLOGIC GROUP	K VALUE (Kv)
BaA	BAILE SILT LOAM, 0 TO 3 PERCENT SLOPE	D	0.32
GbB	GLADSTONE LOAM 3 TO 8 PERCENT SLOPES	B	0.20
GbC	GLADSTONE LOAM 8 TO 15 PERCENT SLOPES	B	0.20
MaC	MANOR LOAM 8 TO 15 PERCENT SLOPES	B	0.24
McD	MANOR LOAM 15 TO 25 PERCENT SLOPES, VERY ROCKY	B	0.24

USDA NATURAL RESOURCES CONSERVATION SERVICE WEB SOIL SURVEY 2.0 NATIONAL COOPERATIVE SOIL SURVEY 11/26/2007 HOWARD COUNTY SOIL MAP #18



**LEGEND**

- LIMIT OF DISTURBANCE
- PROPERTY LINE
- PARCEL LINE
- EX. CONTOURS
- EX. SEWER
- EX. STORM DRAIN
- EX. WATER
- EX. TREELINE
- PROP. BUILDING
- PROP. CURB
- PROP. CONTOURS
- PROP. EASEMENT
- PROP. SEWER
- PROP. STORM DRAIN
- PROP. WATER
- SOILS
- PROP. 100 YEAR FLOODPLAIN
- 2014/2015 RESTORATION BOUNDARY
- 2014/2015/2016 RESTORATION BOUNDARY
- PROP STREET LIGHT
- FIRE HYDRANT
- (M-6) WATER QUALITY TREATMENT FACILITY

**MANGO TREE ROAD**

STRUCTURE #	STATION	OFFSET
I 44	4+26.57	36.35' LT
I 43	3+49.67	105.00' LT
I 38	3+39.59	26.98' LT
I 39	2+54.81	26.98' LT
I 42	1+83.80	176.14' LT
I 41	1+60.15	120.99' LT
M 24	1+85.06	0.00'
M 25	3+26.92	0.00'
SWM 36	3+39.59	0.00'
SWM 6	3+26.92	19.52' RT
SWM 5	1+85.06	35.01' RT
M 23	0+14.08	0.50' LT

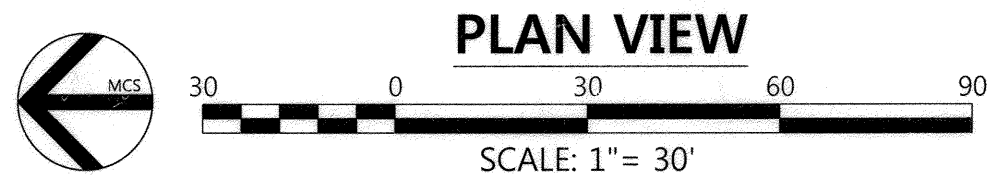
**DOVESAIL LANE**

STRUCTURE #	STATION	OFFSET
I 27	17+62.45	16.58' RT
I 28	17+95.96	56.61' RT
M 30	16+48.82	18.91' LT
M 31	17+13.80	10.97' LT

**MERRILWEATHER DRIVE**

STRUCTURE #	STATION	OFFSET
SWM 1	16+26.32	46.42' RT
SWM 2	16+80.45	43.97' RT

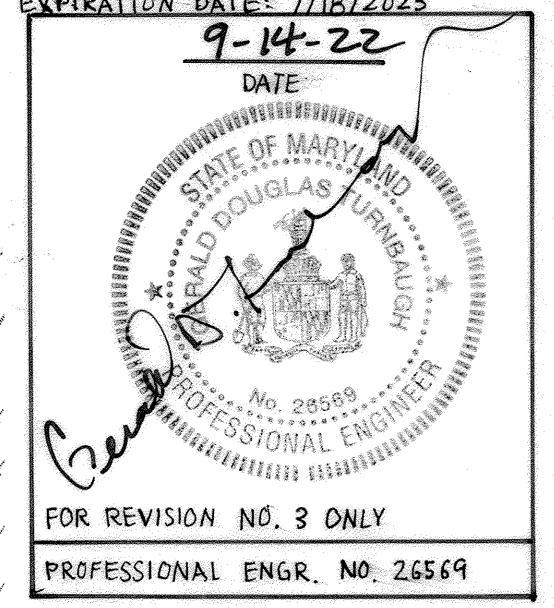
**NOTE**  
CONTRACTOR TO NOTIFY STRUCTURAL ENGINEER IF THERE ARE ANY CONFLICTS WITH THE (M-6) MODULAR WALLS/FOOTINGS AND ADJACENT STORM DRAIN PIPES AND STRUCTURES.



APPROVED: HOWARD COUNTY DEPT. OF PLANNING & ZONING  
 [Signature] 1-15-21  
 CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE  
 [Signature] 2/3/21  
 CHIEF, DIVISION OF LAND DEVELOPMENT DATE  
 [Signature] 2-3-21  
 DIRECTOR DATE

**NOTES:**  
1. SEE GENERAL NOTE #56 & #59 REGARDING EASEMENTS

PROFESSIONAL CERTIFICATION  
 I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NO. 26544  
 EXPIRATION DATE: 7/18/2023

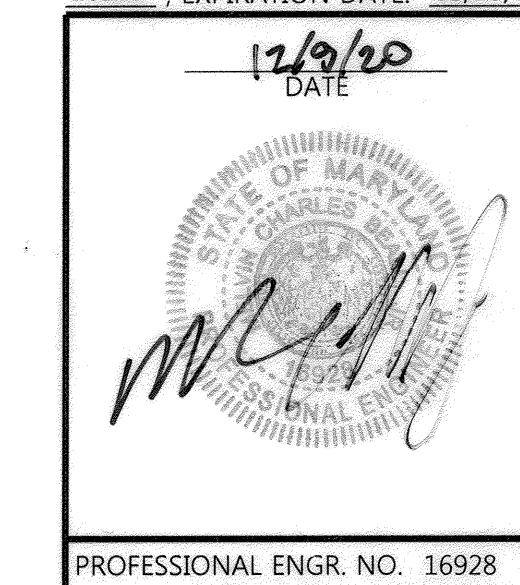


Date	No.	Revision Description
7/6/22	1	UPDATE PLANS PER AS-BUILT CONDITIONS
10/30/20	2	UPDATE PLANS PER REVISED BLDG. 'C' LAYOUT & UTILITIES
04/19/19	1	UPDATE PLANS PER REVISED BLDG. 'C' LAYOUT & NEW BLDG. E-1 HOTEL

**DOWNTOWN COLUMBIA**  
**CRESCENT NEIGHBORHOOD**  
**PHASE I AREA 3, PHASE 2**  
 PARCELS D-1, D-7, D-8, D-9,  
 D-11, D-12 AND D-13  
 MIXED USE GREEN OFFICE, RESIDENTIAL, RETAIL, RESTAURANT & HOTEL BUILDING  
 OWNER / DEVELOPER:  
 THE HOWARD RESEARCH AND DEVELOPMENT CORPORATION  
 COLUMBIA REGIONAL OFFICE  
 10960 GRANITCHESTER WAY SUITE 110  
 COLUMBIA, MD 21044  
 410-964-3800

**FILE NUMBERS:**  
 F 15-106, F 16-107, F 17-059, F 18-017,  
 SDP-16-075, SDP-18-005, WP-17-010,  
 WP-17-049, WP-17-052, WP-17-115,  
 WP-18-020, WP-18-021, SP-16-009,  
 WP-16-100/FDP-DC-CRESCENT-1,  
 FDP-DC-CRESCENT-1A, SDP 17-027, F 17-057,  
 F18-017, WP-18-089, WP-18-105.  
**CONTRACT NUMBERS:**  
 24-4931-D, 24-4975-D, 24-4974-D.

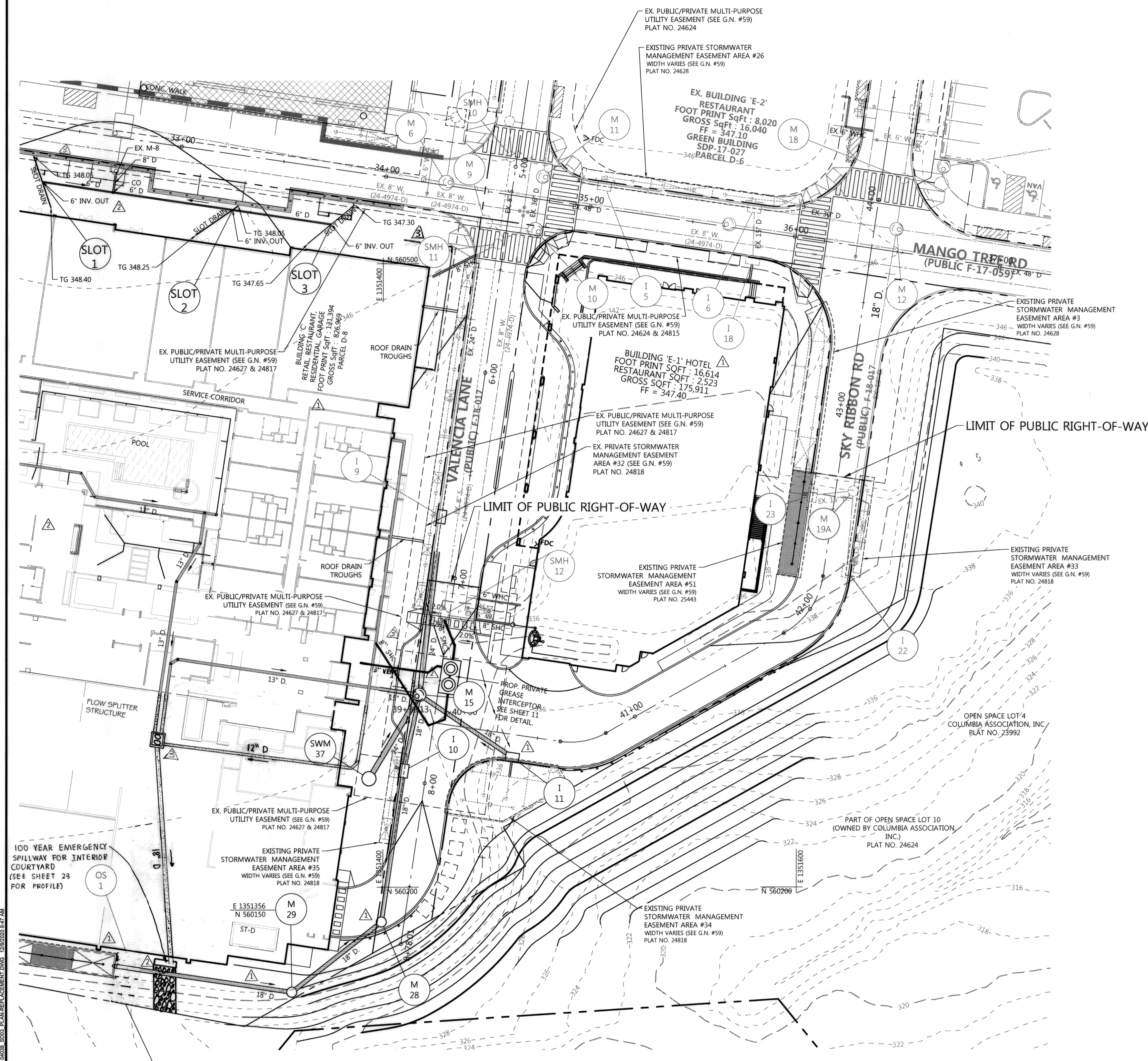
**PROFESSIONAL CERTIFICATION**  
 I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 16928. EXPIRATION DATE: 05/13/22



APPROVED:  
 PLANNING BOARD OF HOWARD COUNTY  
 DATE: 11/8/18

SUBDIVISION NAME		SECTION/AREA		NEIGHBORHOOD		LOT/PARCEL #	
DOWNTOWN COLUMBIA		PHASE I AREA 3		CRESCENT NEIGHBORHOOD		PARCEL D	
24481-24500	7	36	5	60560	60560		
WATER CODE	550	SEWER CODE	LITTLE PATUXENT	STAGE	1		

Des. By	GDT/DM	SCALE	AS SHOWN	Proj. No.	04038.B0
Drn. By	MCJ	Date	02/15/19	21 of 78	
Chk. By	MCB	Approved	MCB		



LEGEND	
--- --- --- --- --- --- --- --- --- --- --- --- --- --- --- --- --- --- --- --- --- ---	LIMIT OF DISTURBANCE
---	PROPERTY LINE
---	PARCEL LINE
---	EX. CONTOURS
---	EX. SEWER
---	EX. STORM DRAIN
---	EX. WATER
---	EX. TREETLINE
---	PROP. BUILDING
---	PROP. CURB
---	PROP. CONTOURS
---	PROP. EASEMENT
---	PROP. SEWER
---	PROP. STORM DRAIN
---	PROP. WATER
---	SOILS
---	PROP. 100 YEAR FLOODPLAIN
---	2014/2015 RESTORATION BOUNDARY
---	2014/2015/2016 RESTORATION BOUNDARY
---	PROP STREET LIGHT
---	FIRE HYDRANT
---	(M-6) WATER QUALITY TREATMENT FACILITY

**NOTE**  
CONTRACTOR TO NOTIFY STRUCTURAL ENGINEER IF THERE ARE ANY CONFLICTS WITH THE (M-6) MODULAR WALLS/FOOTINGS AND ADJACENT STORM DRAIN PIPES AND STRUCTURES.

Date	No.	Revision Description
10/30/20	2	UPDATE PLANS PER REVISED BLDG. 'C' LAYOUT & UTILITIES
04/19/19	1	UPDATE PLANS PER REVISED BLDG. 'C' LAYOUT & NEW BLDG. E-1 HOTEL

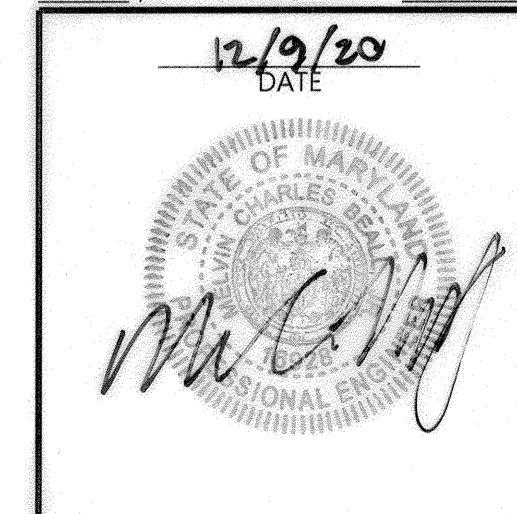
**DOWNTOWN COLUMBIA**  
CRESCENT NEIGHBORHOOD  
PHASE I AREA 3, PHASE 2  
PARCELS D-1, D-7, D-8, D-9,  
D-11, D-12 AND D-13  
MIXED USE GREEN OFFICE, RESIDENTIAL, RETAIL, RESTAURANT, & HOTEL BUILDING

**OWNER / DEVELOPER:**  
THE HOWARD RESEARCH AND DEVELOPMENT CORPORATION  
COLUMBIA REGIONAL OFFICE  
10960 GRANTCHESTER WAY SUITE 110  
COLUMBIA, MD 21044  
410-964-4800

**FILE NUMBERS:**  
F 15-106, F 16-107, F 17-059, F 18-017,  
SDP-16-075, SDP-18-005, WP-17-010,  
WP-17-049, WP-17-052, WP-17-115,  
WP-18-020, WP-18-021, SP-16-009,  
WP-16-100, FDP-DC-CRESCENT-1,  
FDP-DC-CRESCENT-1A, SDP 17-027, F 17-057,  
F 18-017, WP-18-089, WP-18-105.

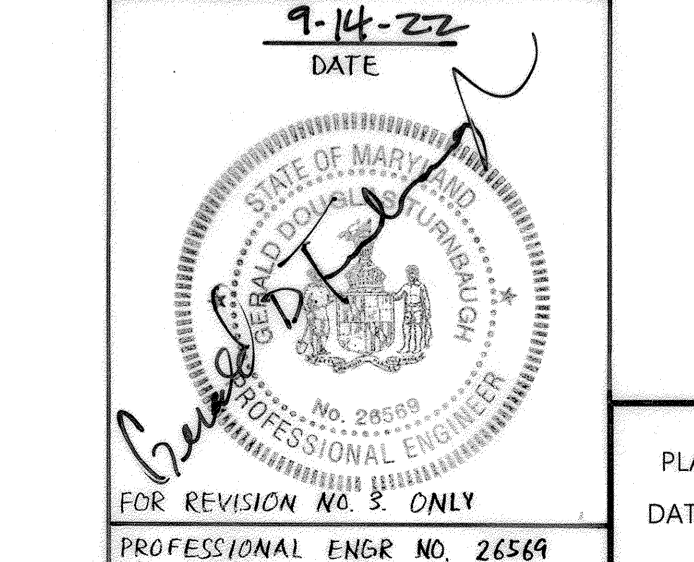
**CONTRACT NUMBERS:**  
24-4931-D, 24-4975-D, 24-4974-D.

**PROFESSIONAL CERTIFICATION**  
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 16928, EXPIRATION DATE: 05/13/22.



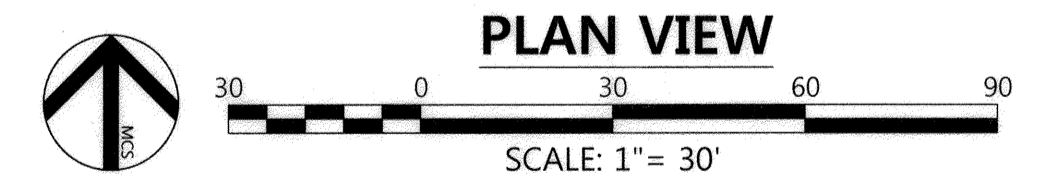
PROFESSIONAL ENGR. NO. 16928

**PROFESSIONAL CERTIFICATION**  
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 26569, EXPIRATION DATE: 7/18/2023.



PROFESSIONAL ENGR. NO. 26569

APPROVED:  
PLANNING BOARD OF HOWARD COUNTY  
DATE: 11/8/18



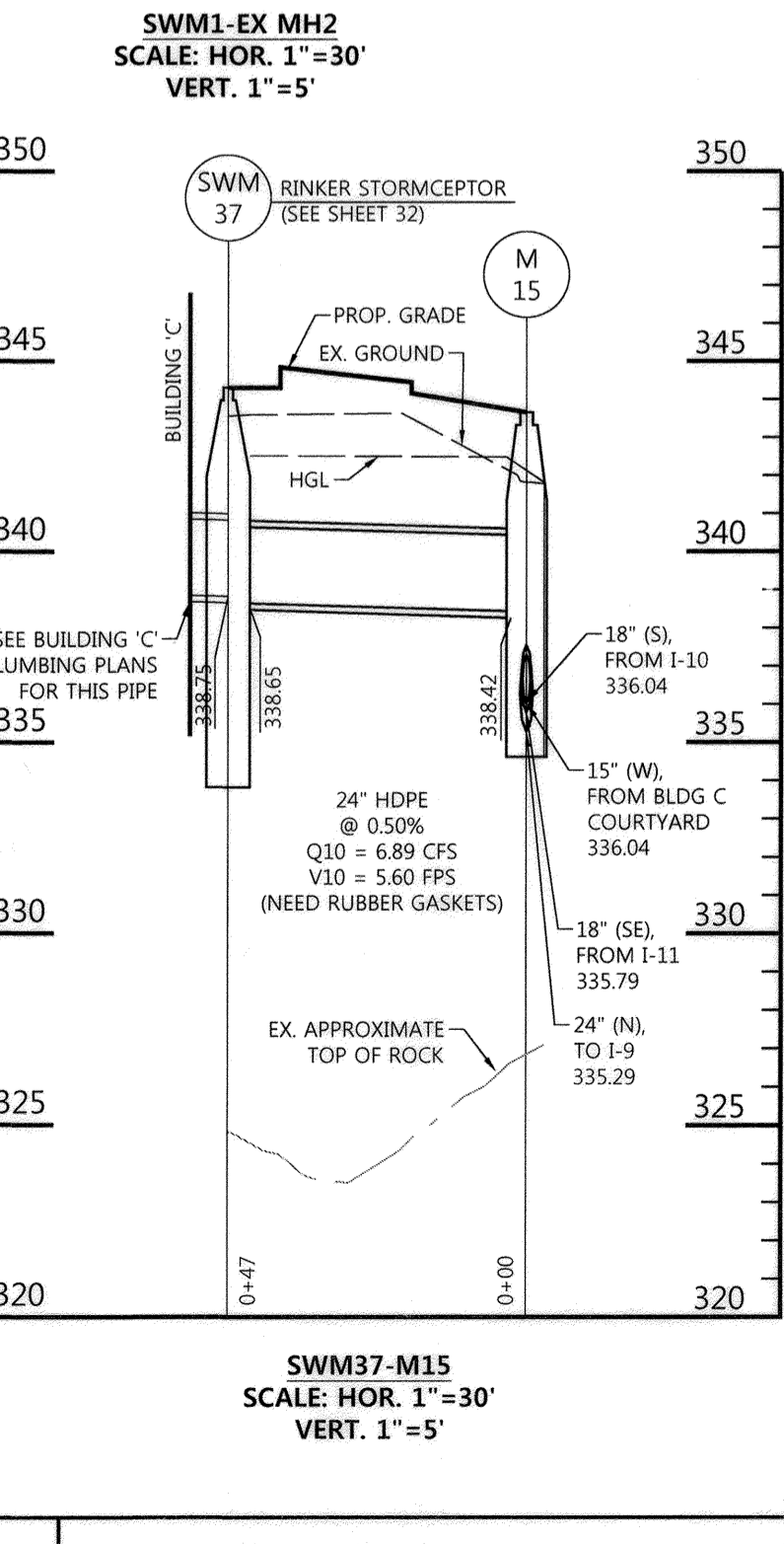
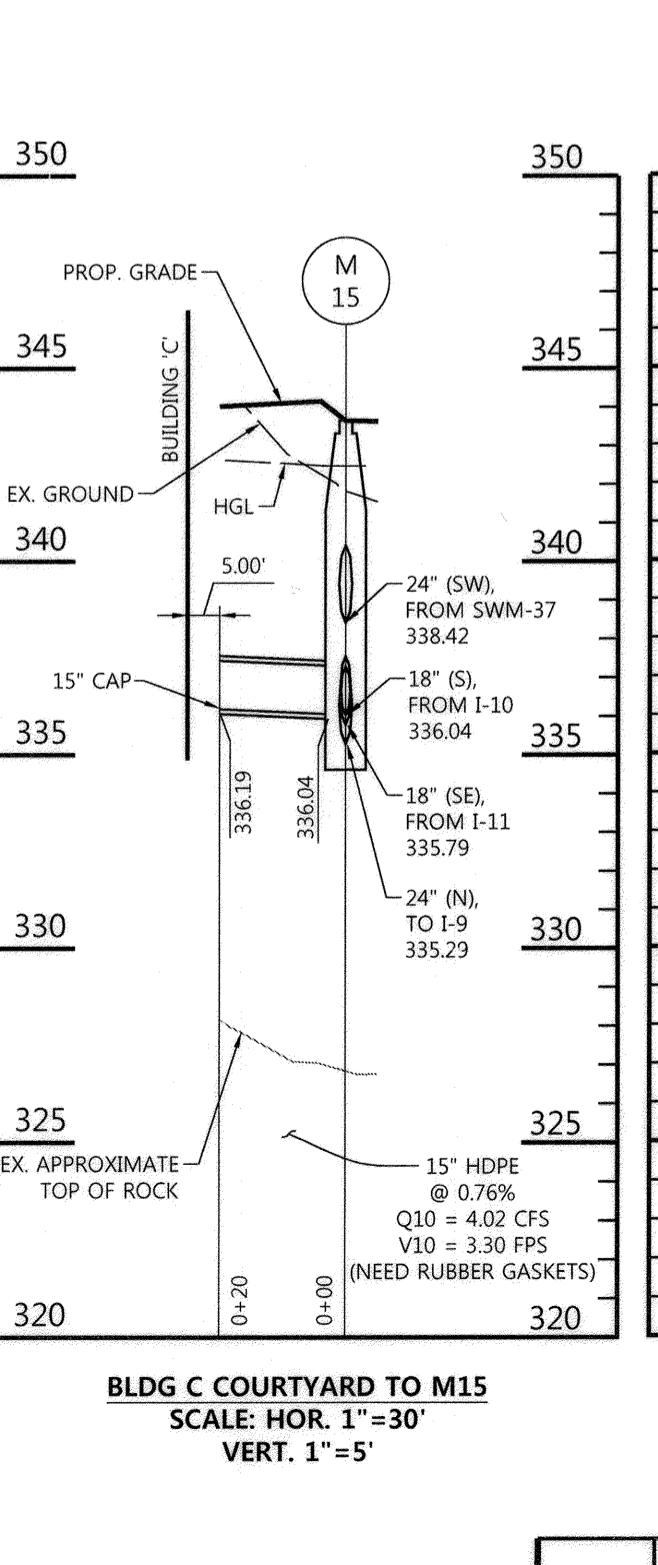
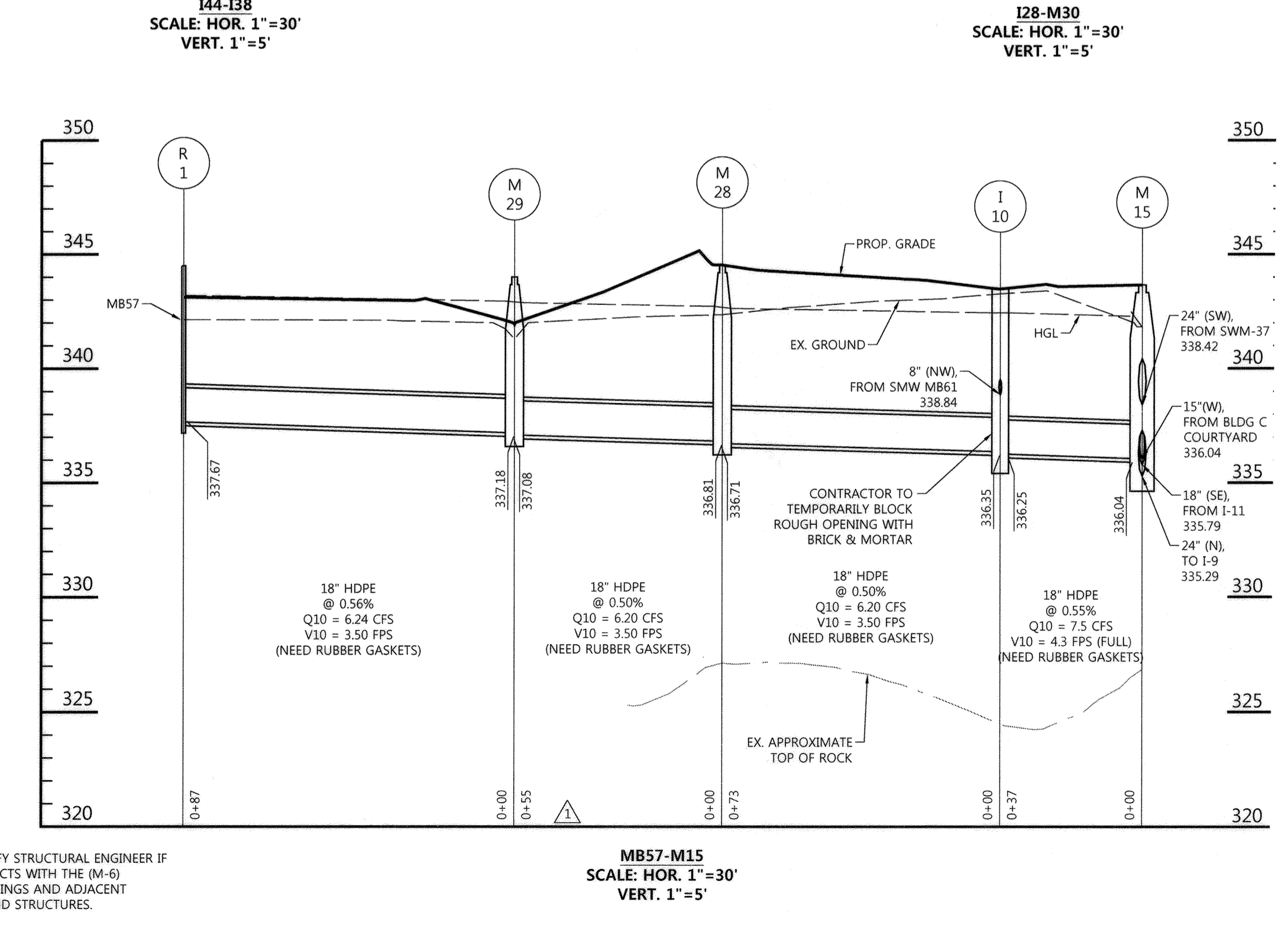
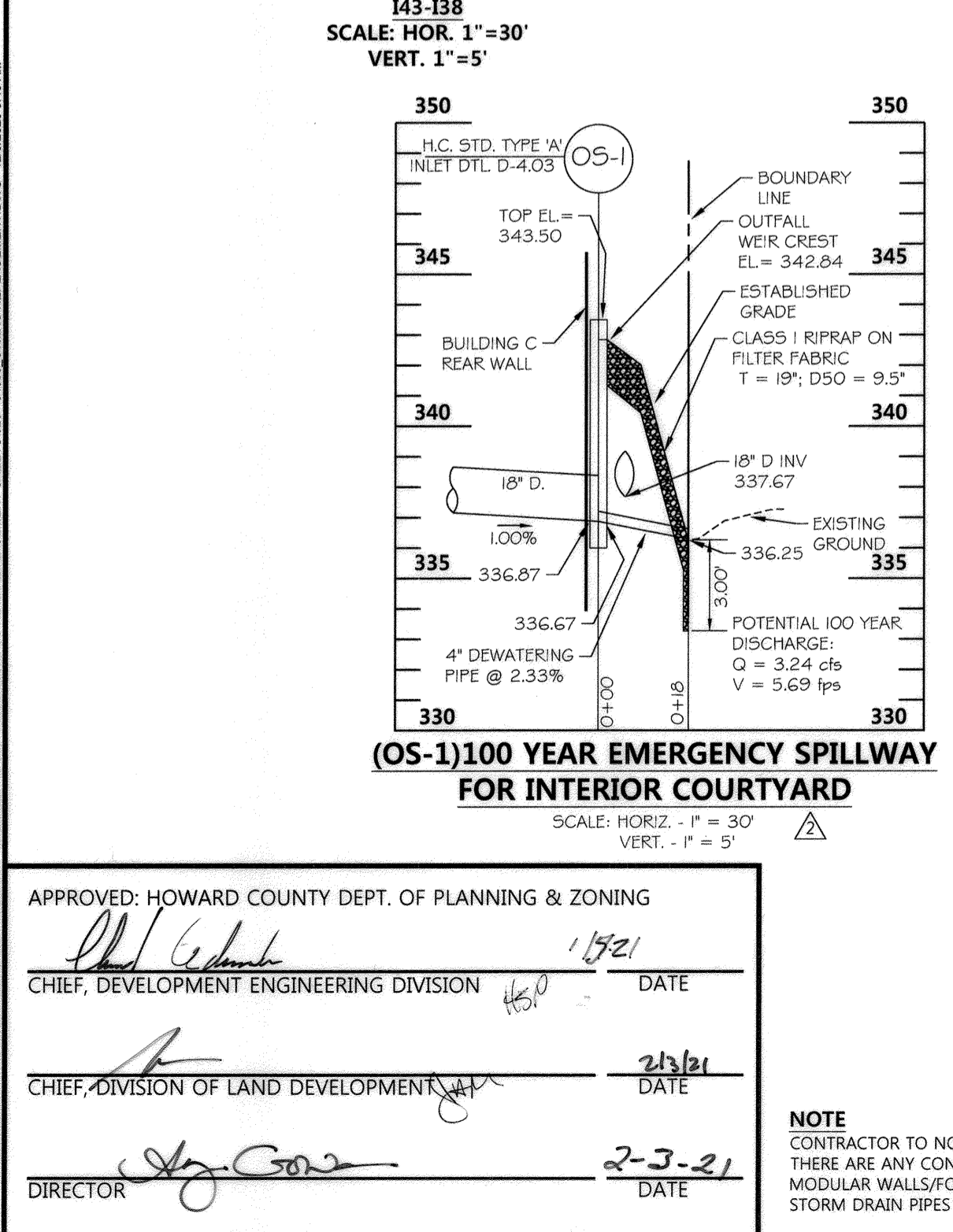
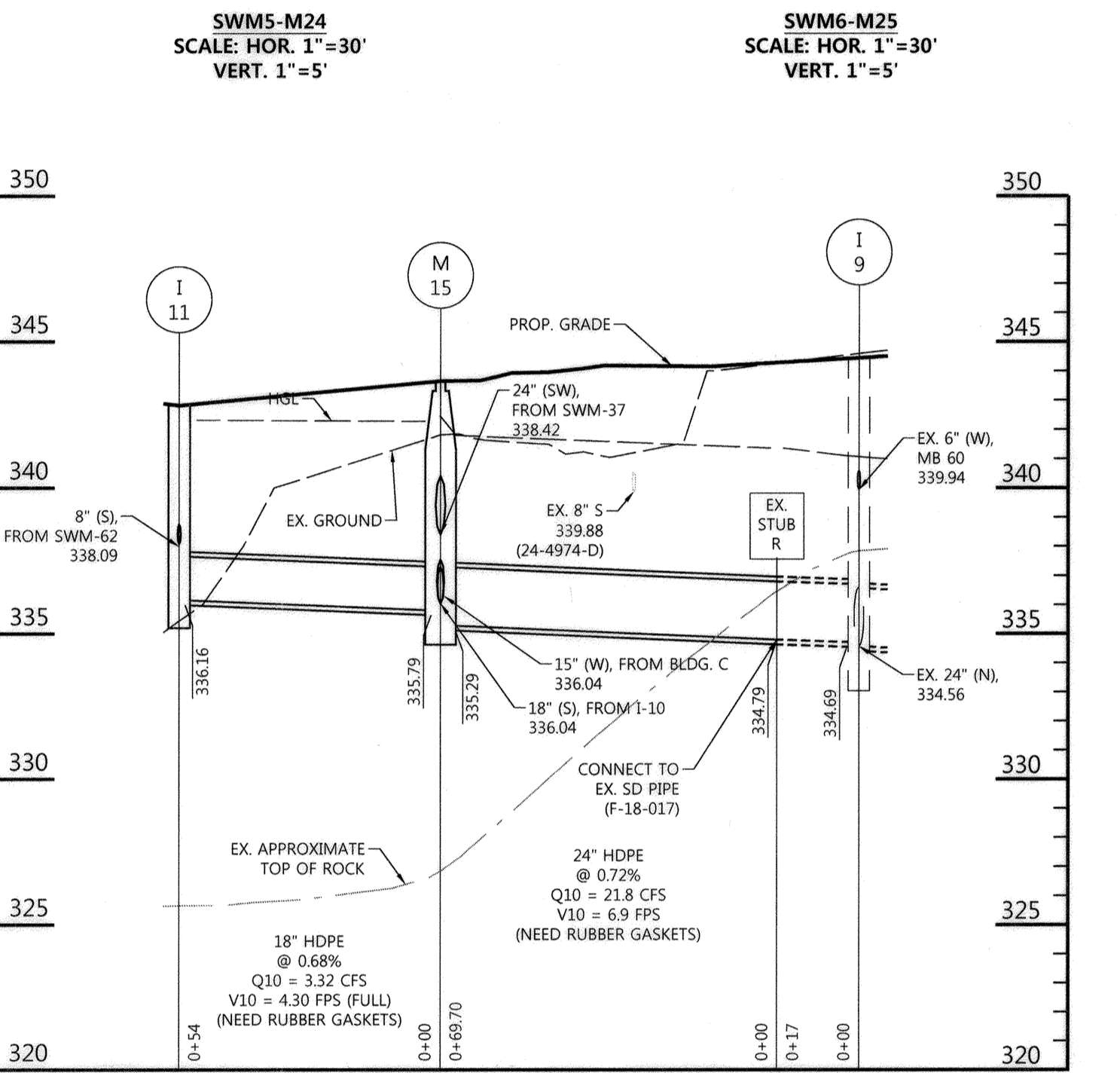
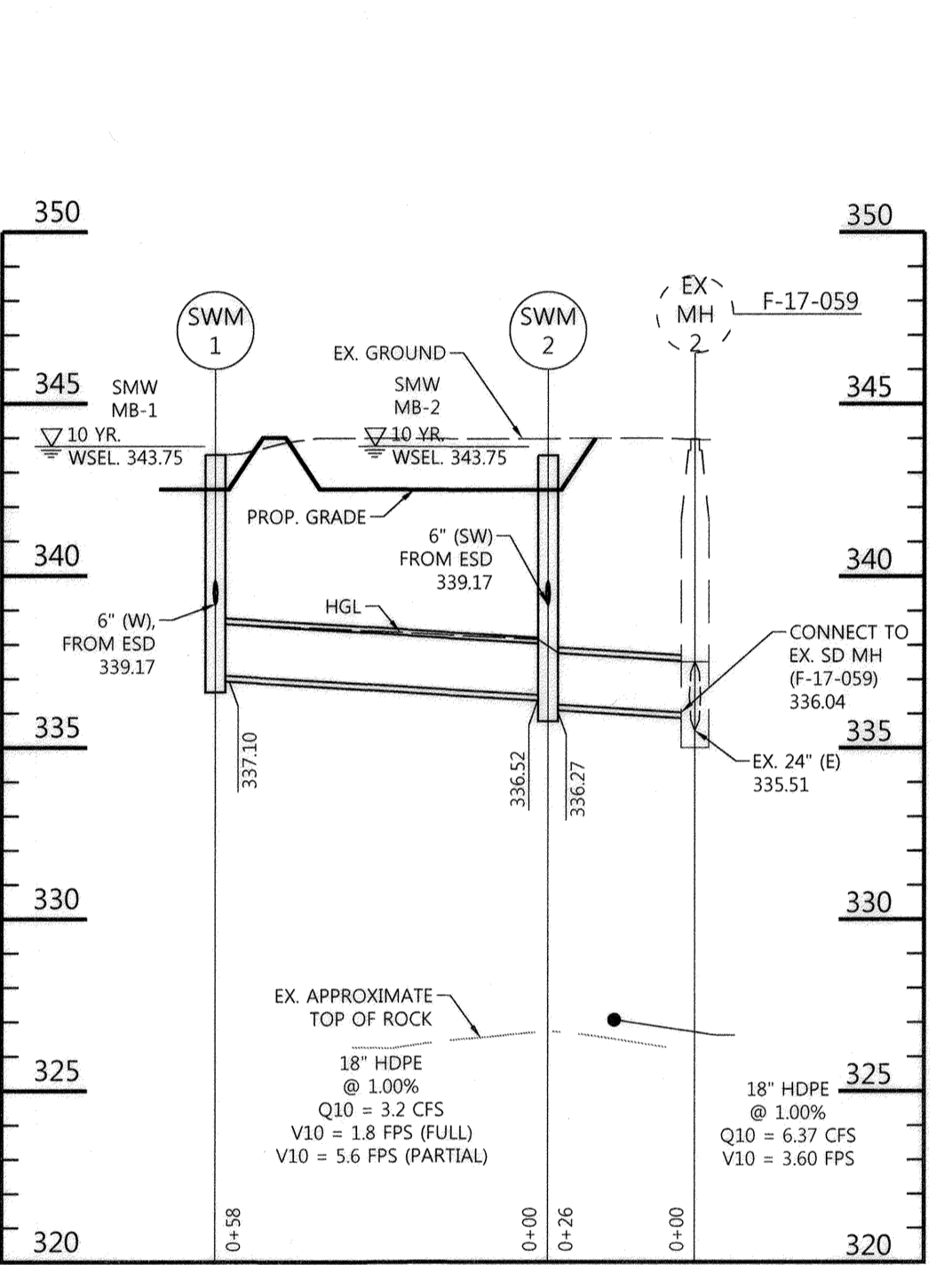
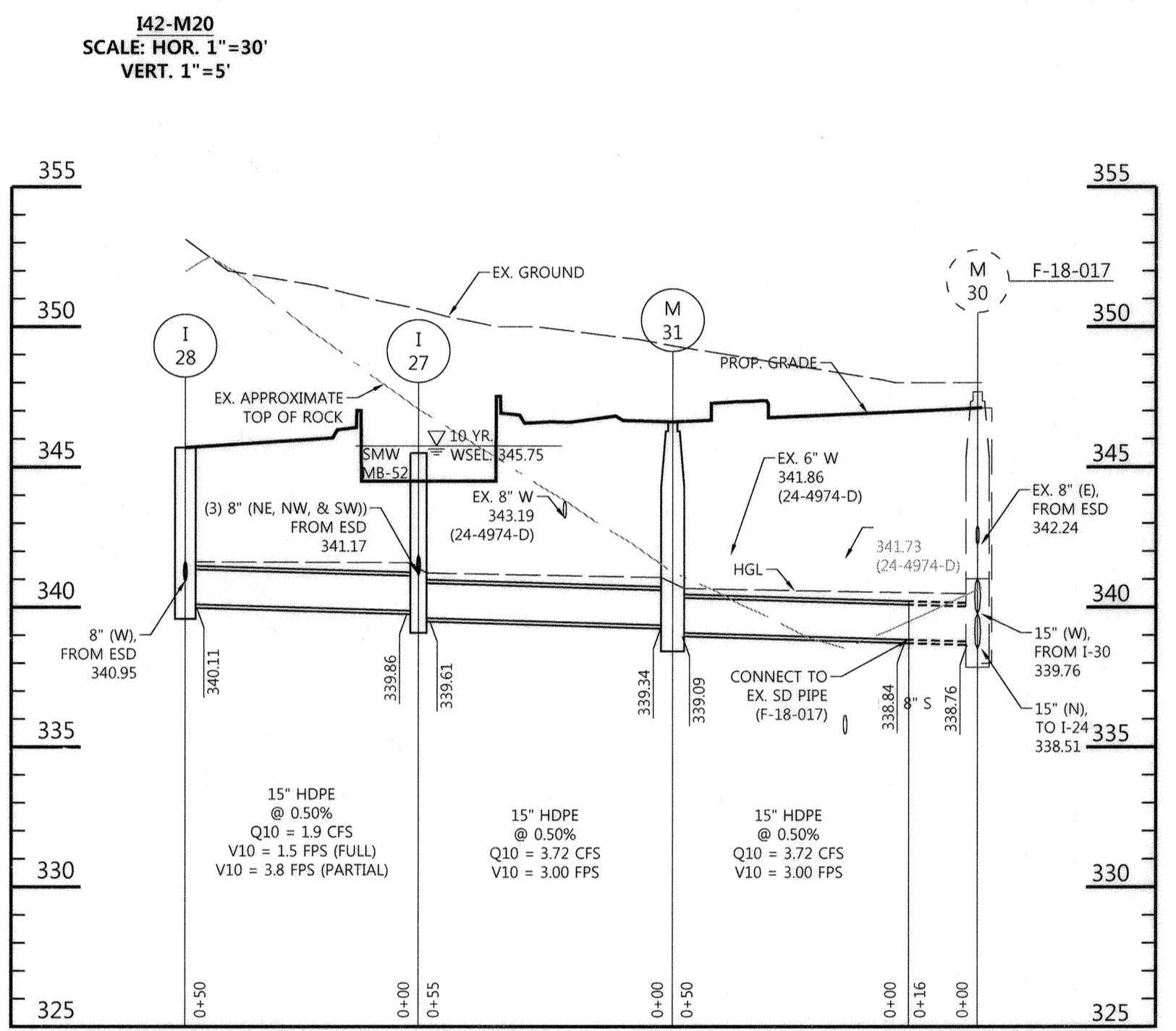
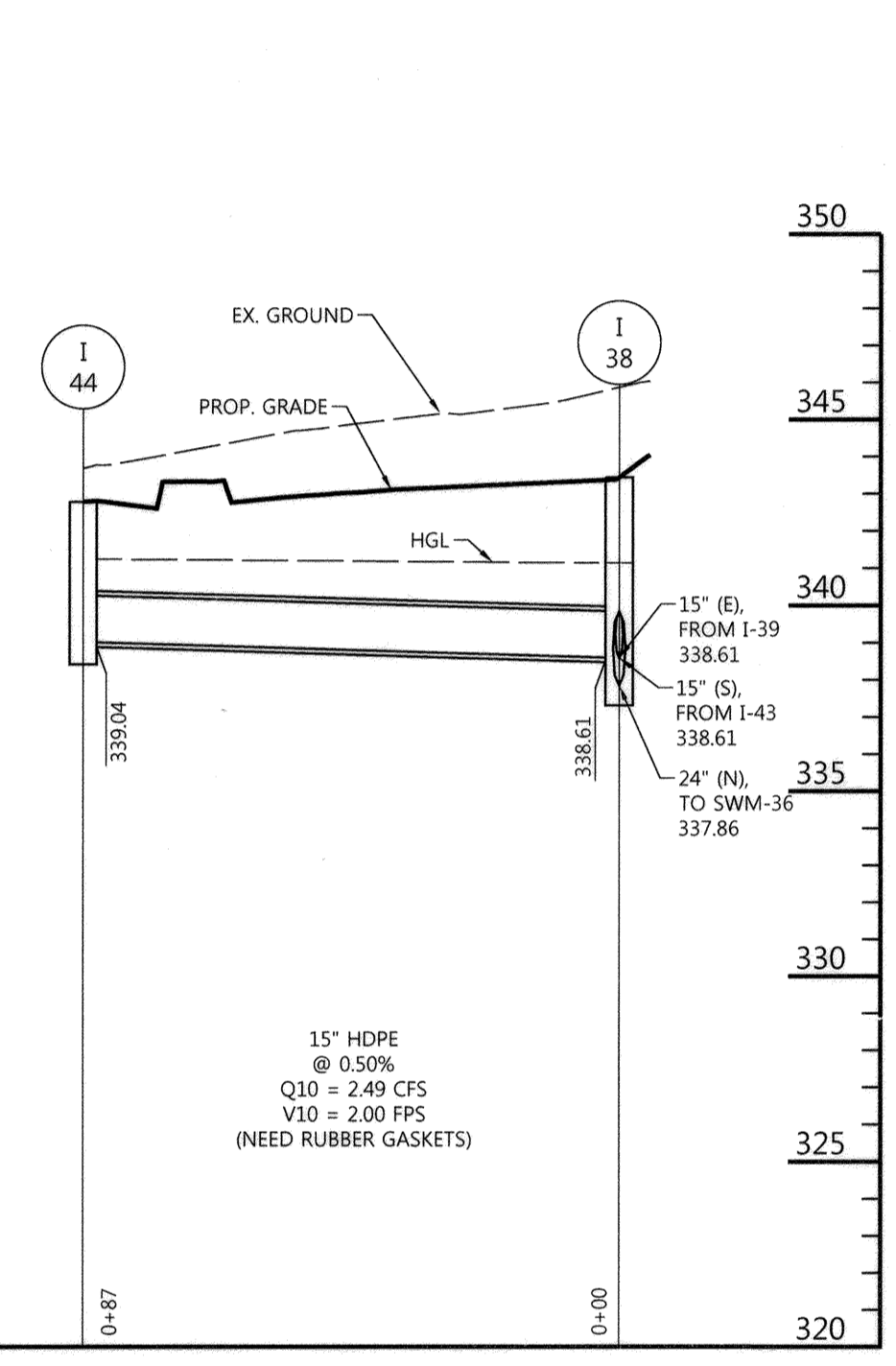
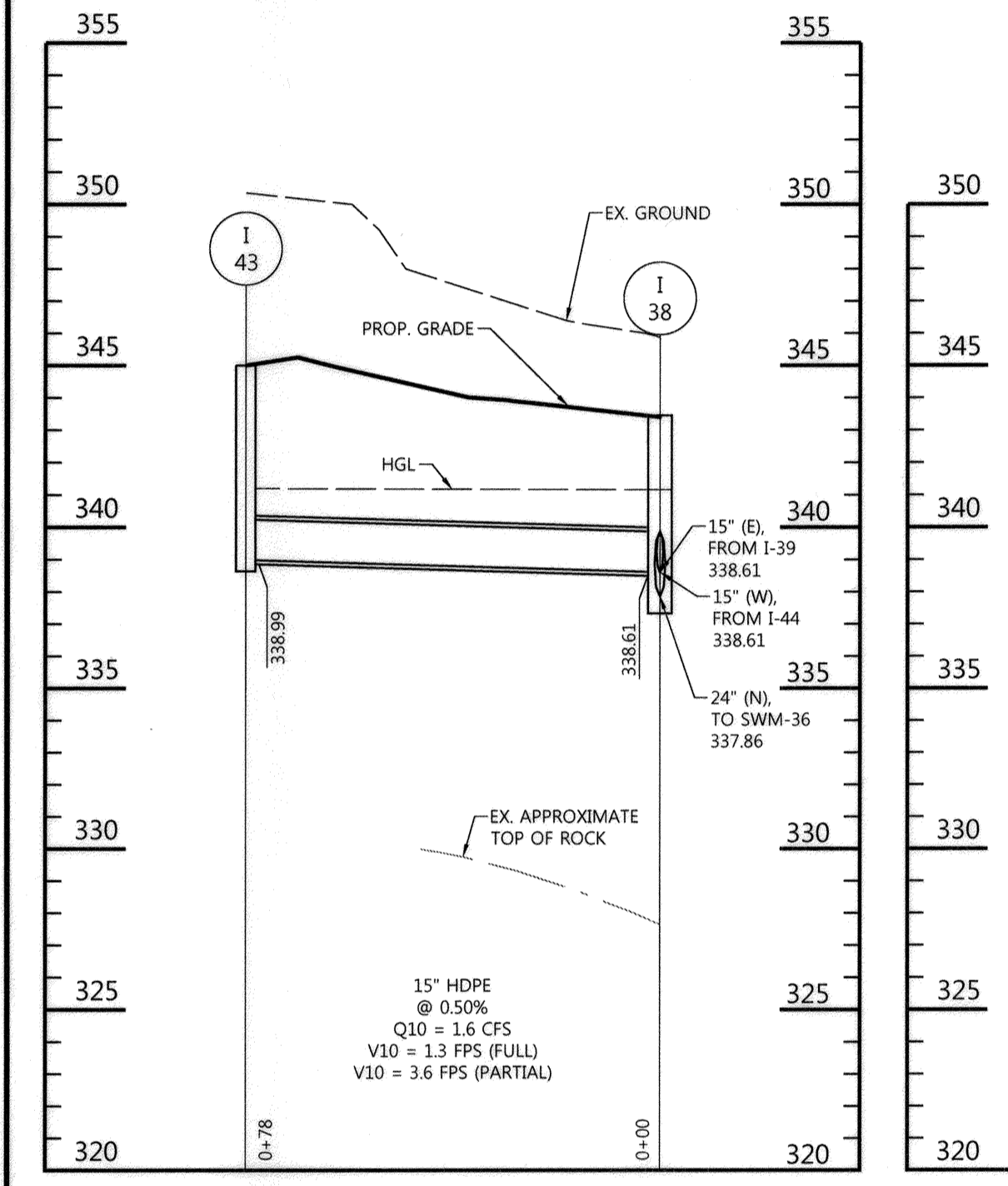
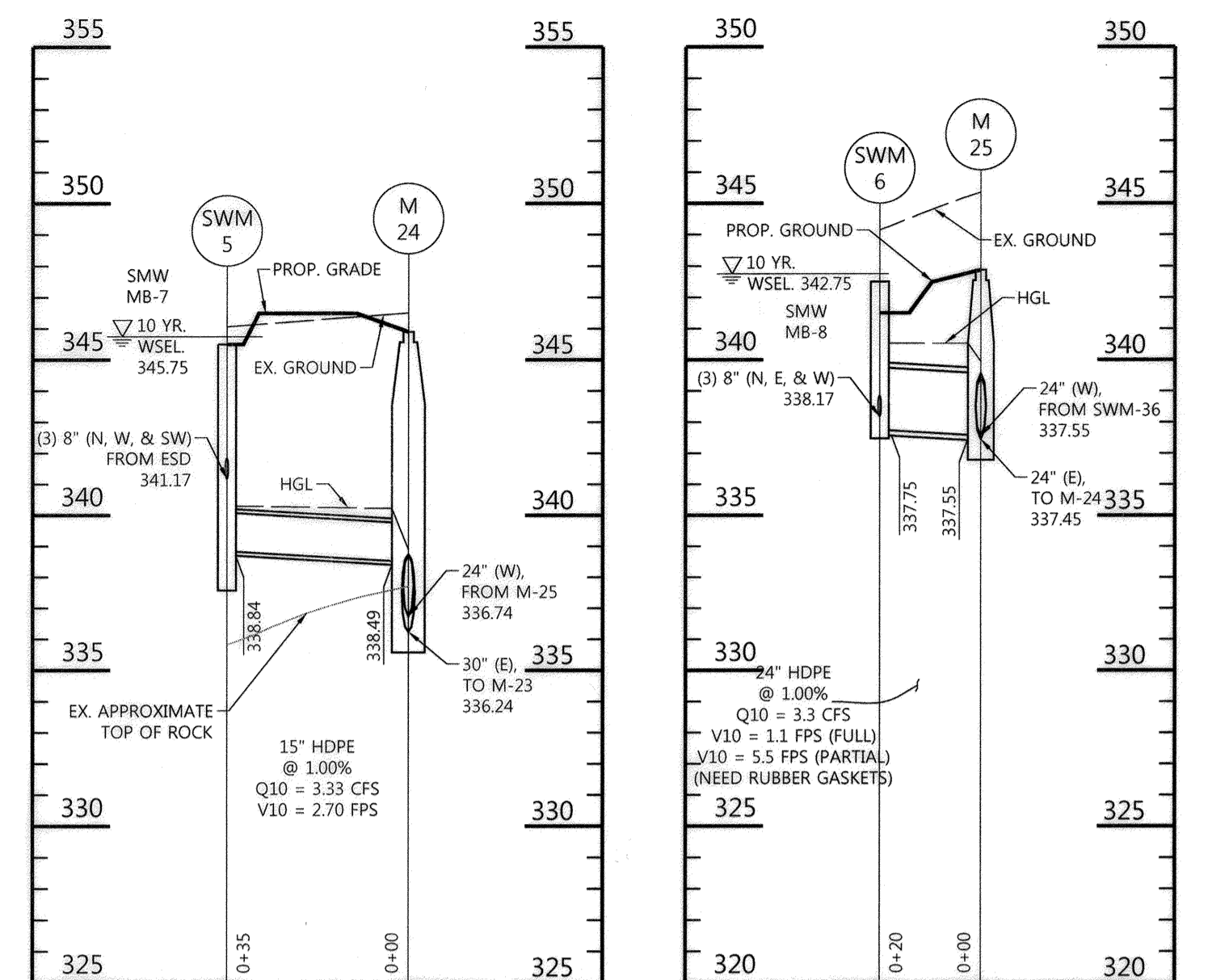
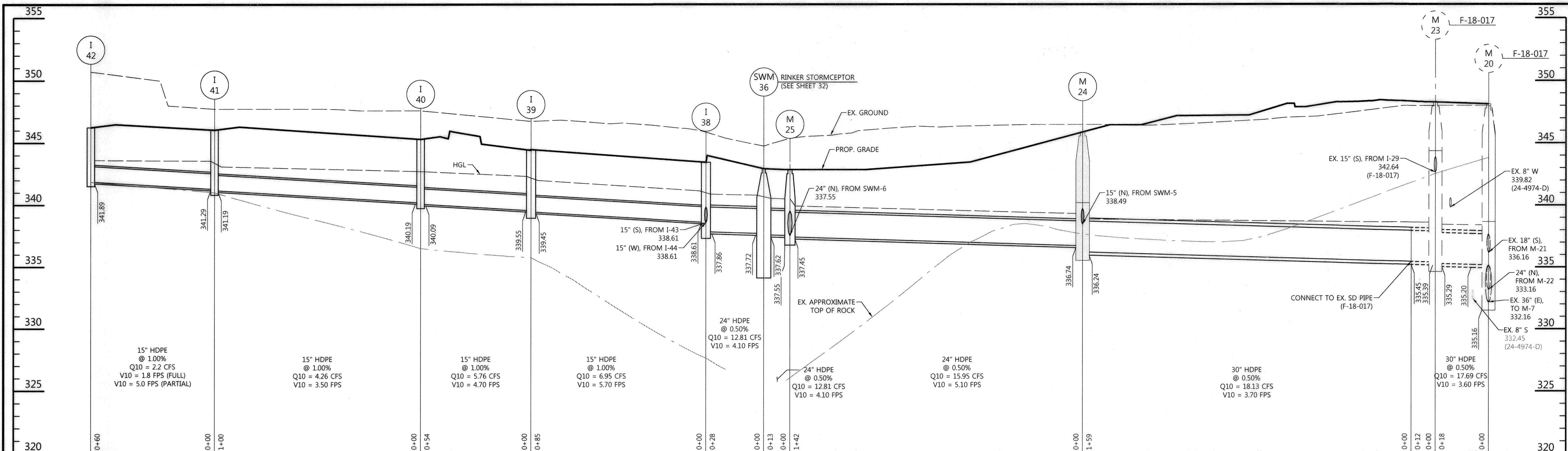
VALENCIA LANE		
STRUCTURE #	STATION	OFFSET
M 15	7+58.18	8.77' RT
I-10	7+95.55	12.55' RT
I-11	7+82.55	40.09' LT
SWM 37	8+01.74	26.96' RT
M-28	8+68.89	10.89' RT

APPROVED: HOWARD COUNTY DEPT. OF PLANNING & ZONING  
1/19/21  
DATE  
CHIEF, DEVELOPMENT ENGINEERING DIVISION  
2/3/21  
DATE  
CHIEF, DIVISION OF LAND DEVELOPMENT  
2-3-21  
DATE  
DIRECTOR

**NOTES:**  
1. SEE GENERAL NOTE #56 & 59 REGARDING EASEMENTS

TITLE			
STORM DRAIN PLAN			
REVISED SITE DEVELOPMENT PLAN			
Des. By	GDT/DM	SCALE AS SHOWN	Proj. No. 04038.B0
Drn. By	MCJ	Date 02/15/19	
Chk. By	MCB	Approved MCB	22 of 78

SDP-18-005



**FILE NUMBERS:**  
 F 15-106, F 16-107, F 17-059, F-18-017, SDP-16-075, SDP-18-005, WP-17-010, WP-17-049, WP-17-052, WP-17-115, WP-18-020, WP-18-021, SP-16-009, WP-16-100, FDP-DC-CRESCENT-1, FDP-DC-CRESCENT-1A, SDP 17-027, F 17-057, F18-017, WP-18-089, WP-18-105.

**CONTRACT NUMBERS:**  
 24-4931-D, 24-4975-D, 24-4974-D.

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DATE: 12/2/20

PROFESSIONAL ENGR. NO. 16928

10/30/20	1	UPDATE PLANS PER REVISED BLDG. 'C' LAYOUT & UTILITIES
04/19/19	1	UPDATE PLANS PER REVISED BLDG. 'C' LAYOUT & NEW BLDG. E-1 HOTEL

**DOWNTOWN COLUMBIA**  
 CRESCENT NEIGHBORHOOD  
 PHASE I AREA 3, PHASE 2  
 PARCELS D-1, D-7, D-8, D-9,  
 D-11, D-12 AND D-13  
 MIXED USE GREEN OFFICE, RESIDENTIAL, RETAIL, RESTAURANT, & HOTEL BUILDING

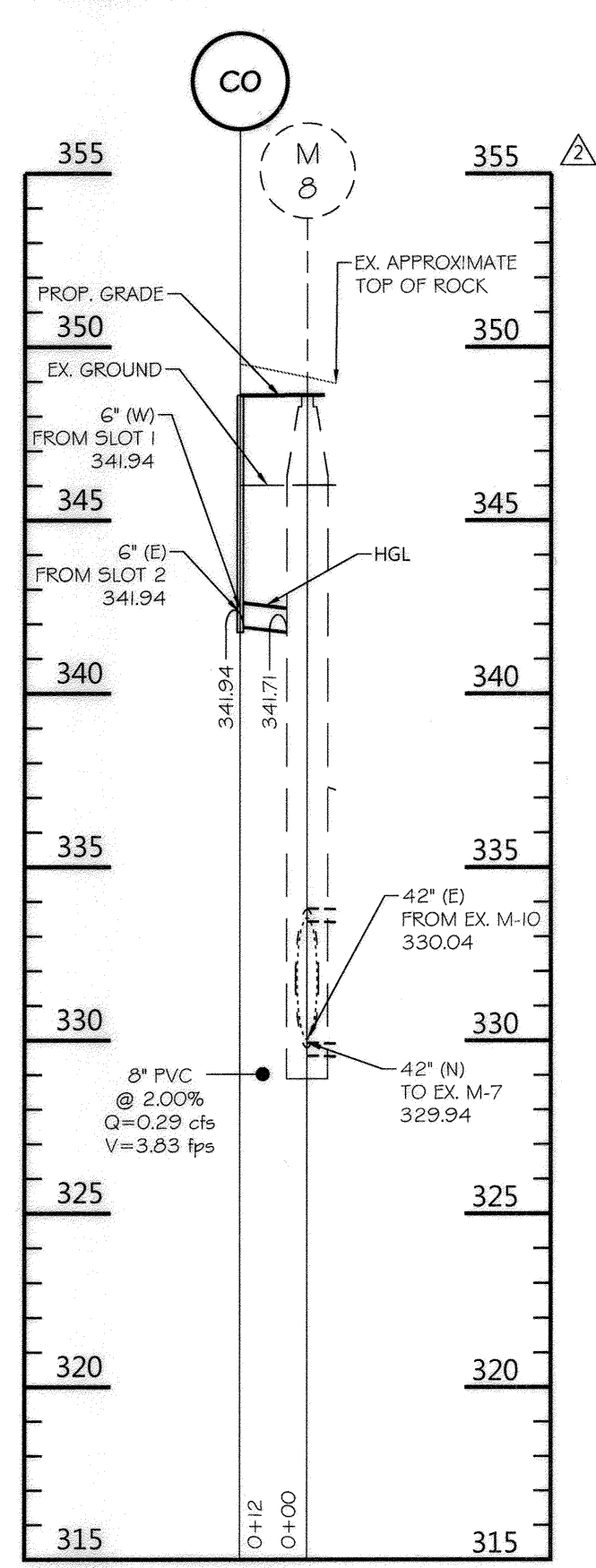
OWNER / DEVELOPER:  
 THE HOWARD RESEARCH AND DEVELOPMENT CORPORATION  
 COLUMBIA REGIONAL OFFICE  
 10960 GRANTCHESTER WAY SUITE 110  
 COLUMBIA, MD 21044  
 410-964-4800

**STORM DRAIN PROFILES**  
 REVISED SITE DEVELOPMENT PLAN

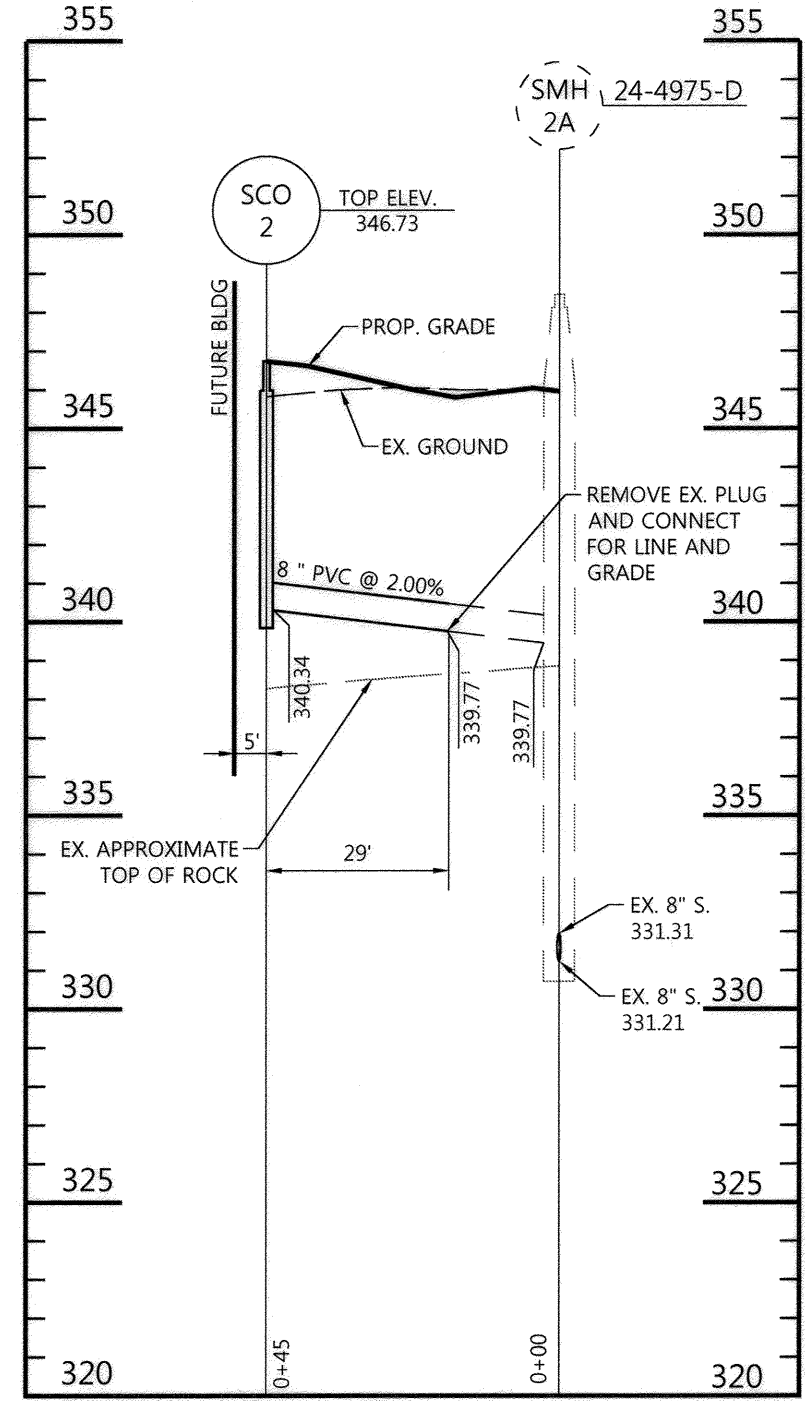
Des. By GDT/DM Date AS SHOWN Proj. No. 04038.B0  
 Drn. By MCJ Scale 02/15/19  
 Chk. By MCB Approved MCB 23 of 78

APPROVED: HOWARD COUNTY DEPT. OF PLANNING & ZONING  
 Chief, Development Engineering Division DATE: 1/7/21  
 Chief, Division of Land Development DATE: 2/3/21  
 Director DATE: 2-3-21

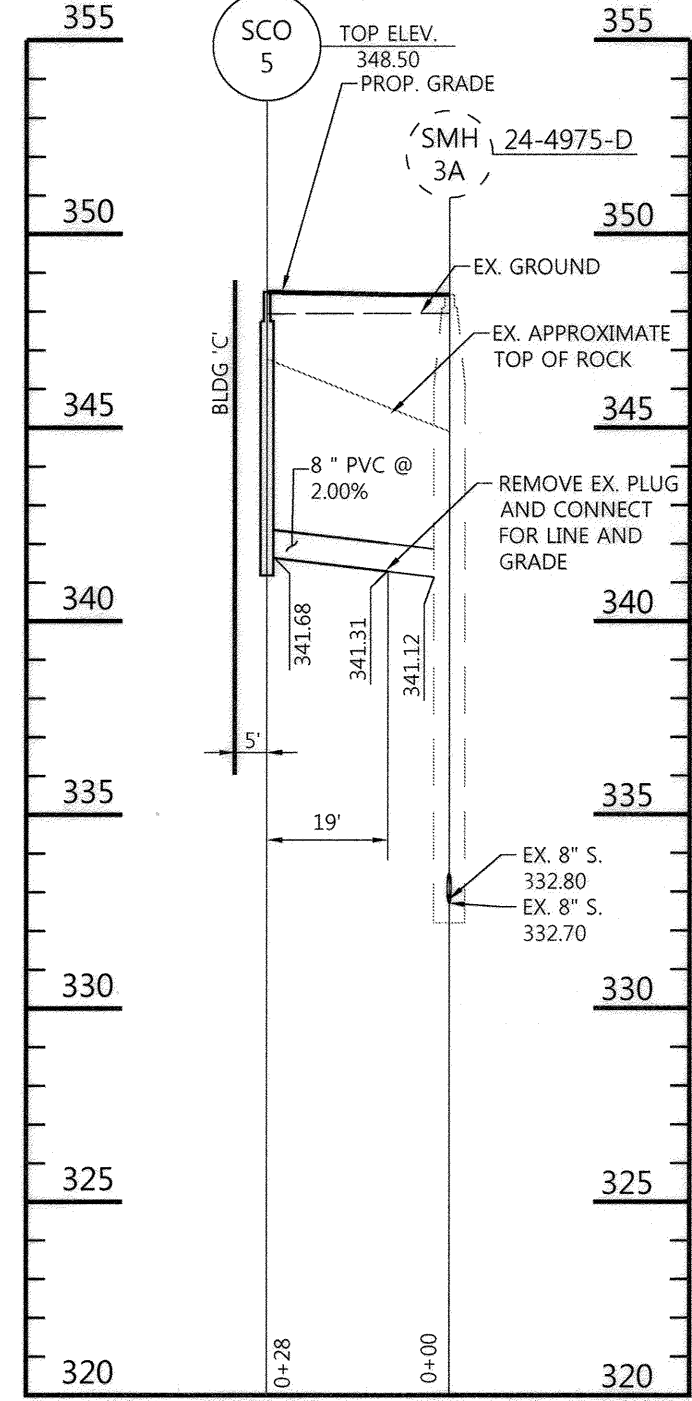
**NOTE**  
 CONTRACTOR TO NOTIFY STRUCTURAL ENGINEER IF THERE ARE ANY CONFLICTS WITH THE (M-6) MODULAR WALLFOOTINGS AND ADJACENT STORM DRAIN PIPES AND STRUCTURES.



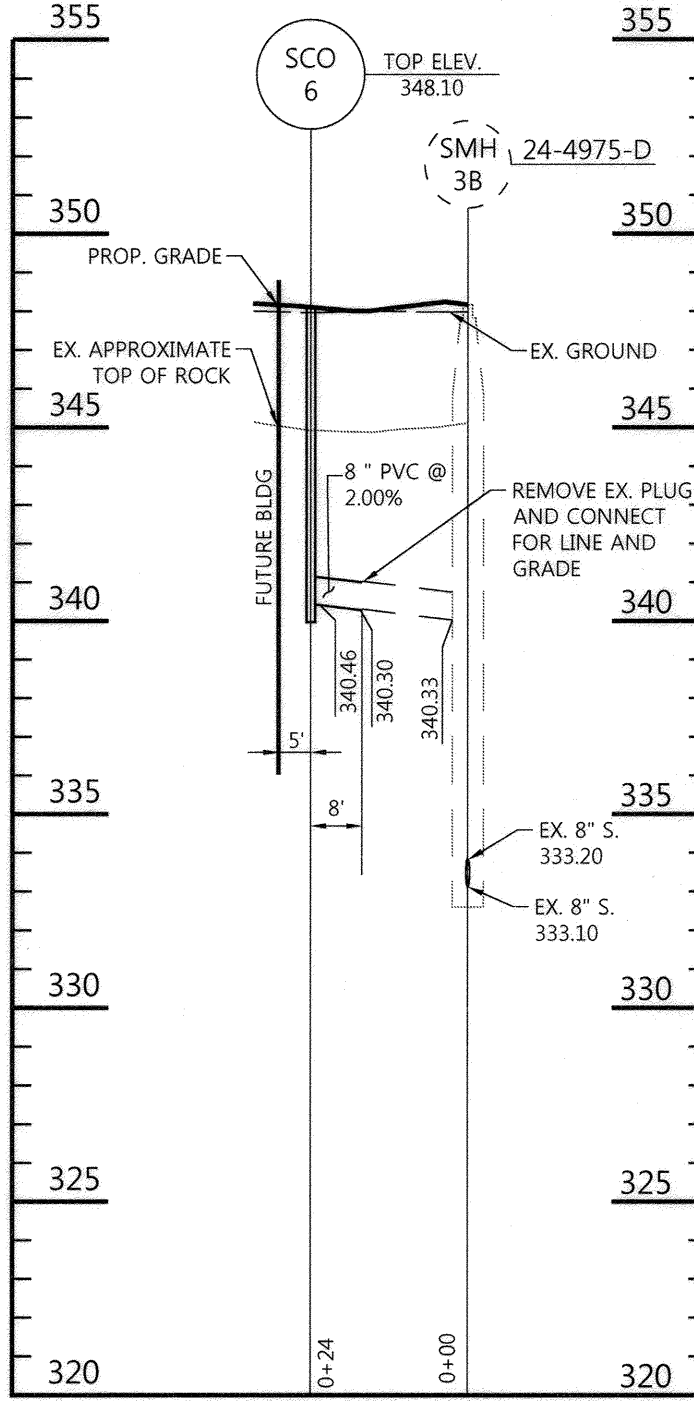
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SCALE: HOR. 1"=30'  
VERT. 1"=5'



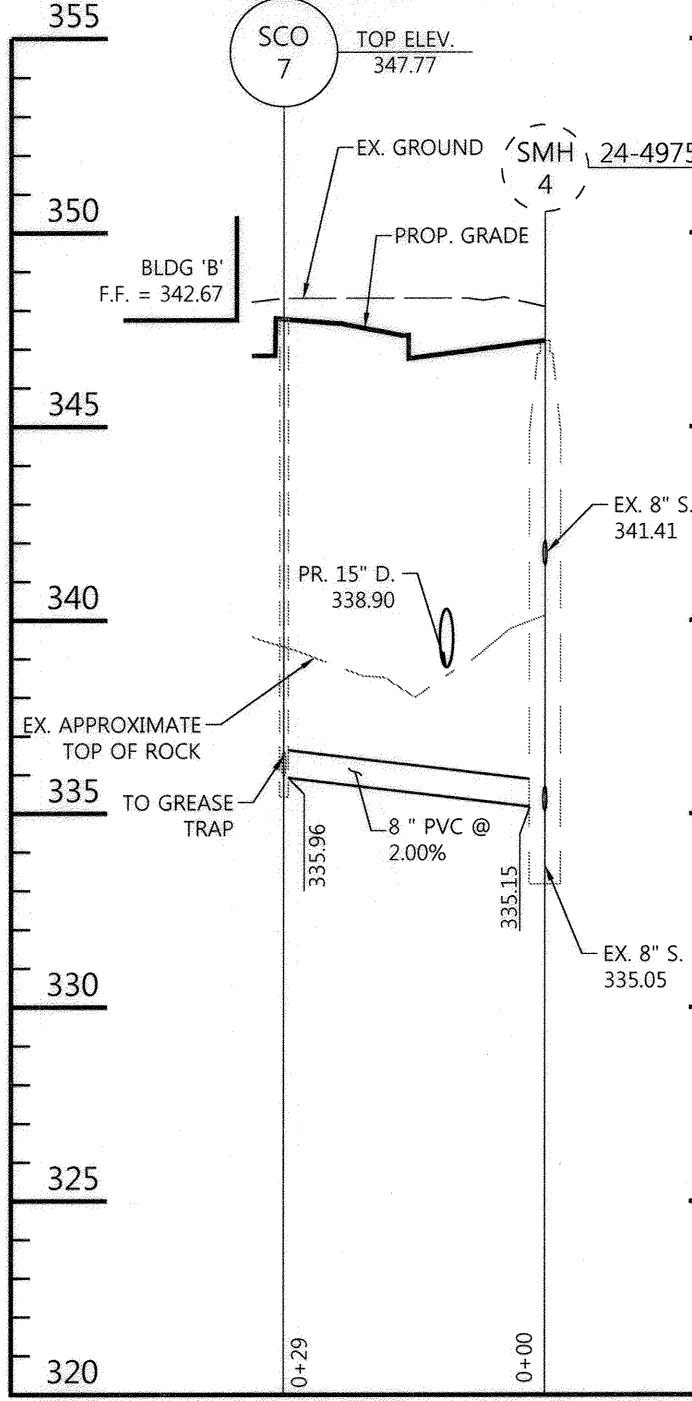
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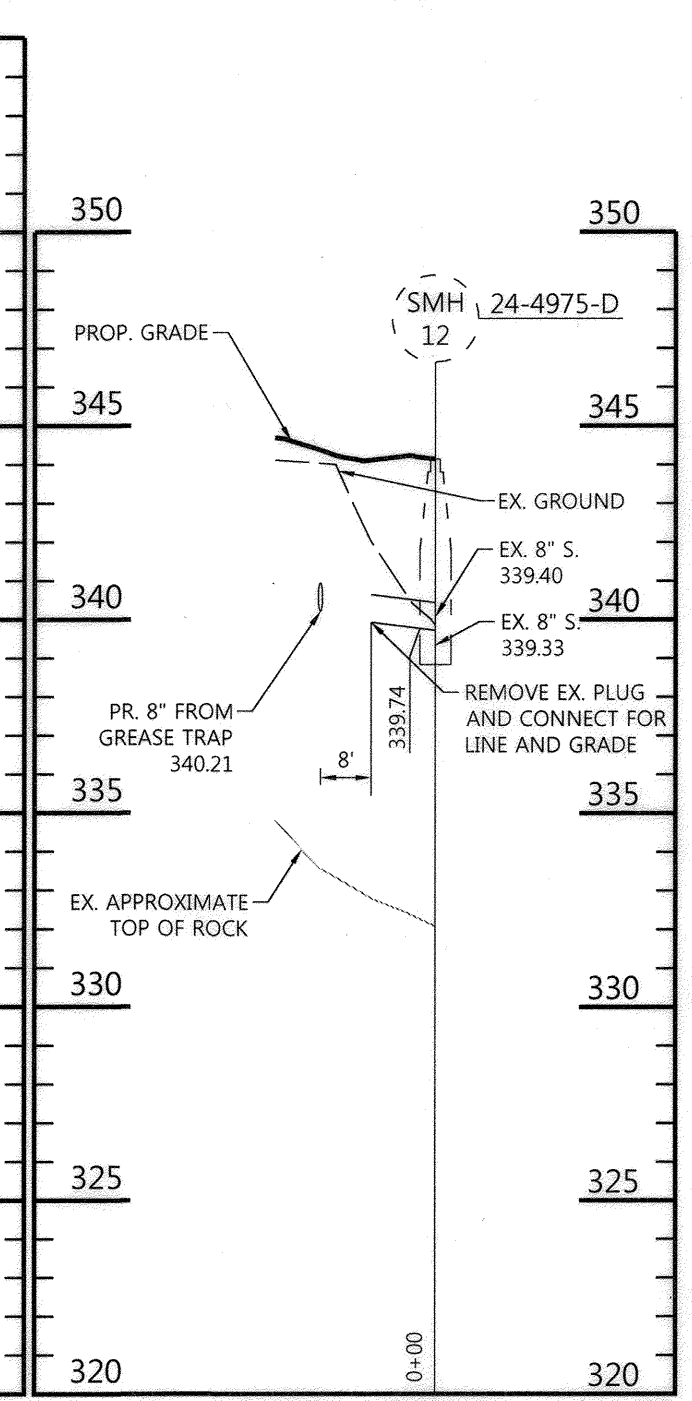
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VERT. 1"=5'



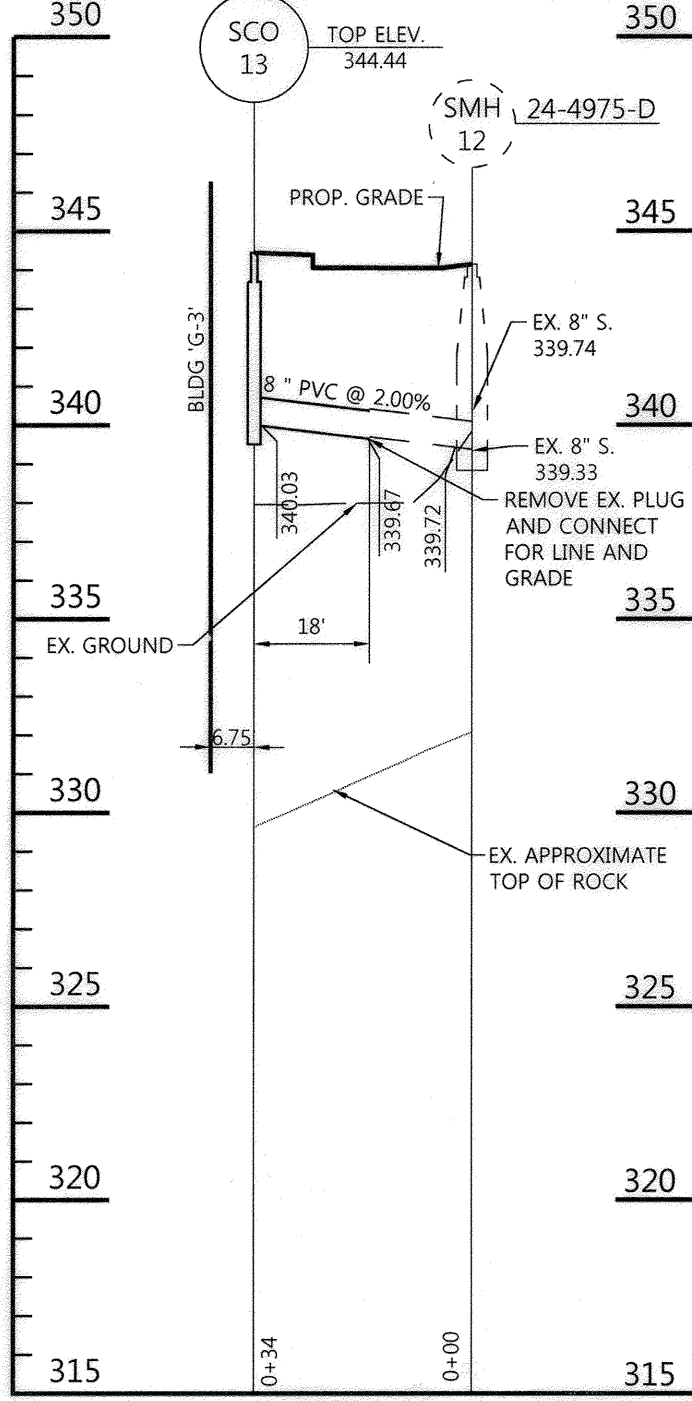
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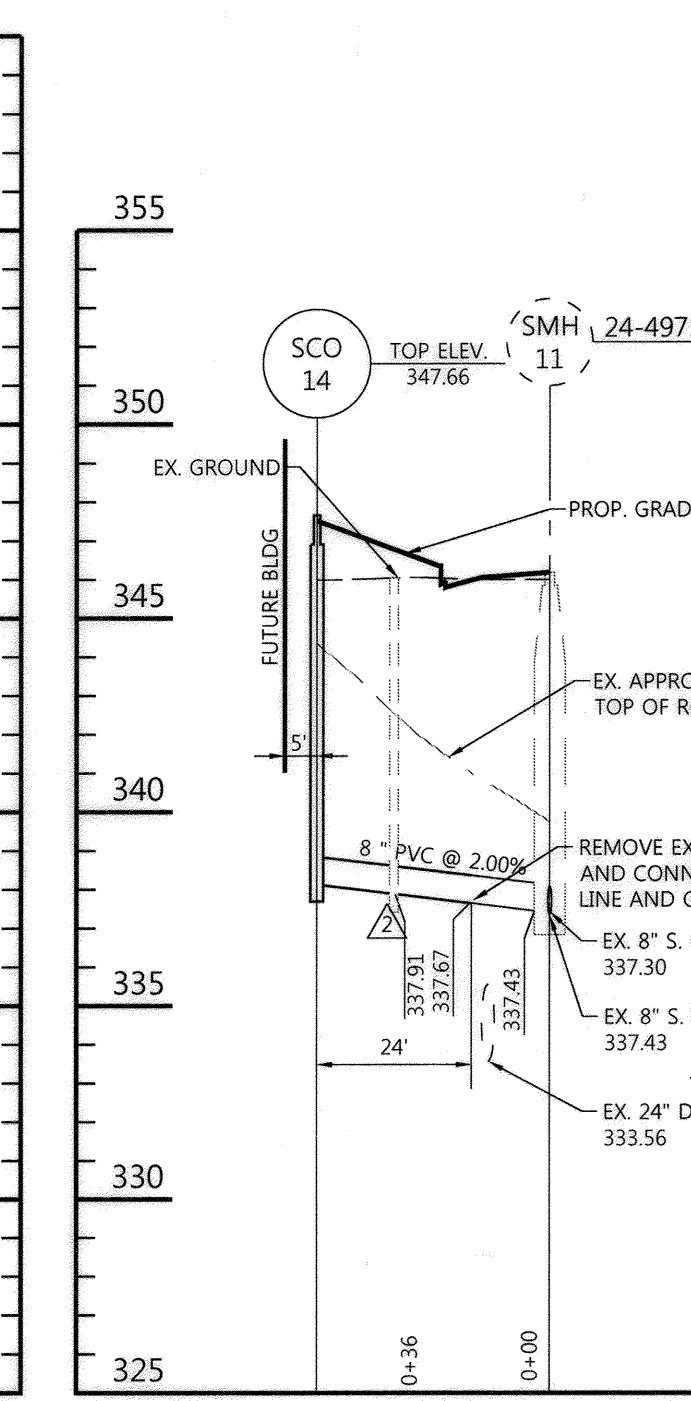
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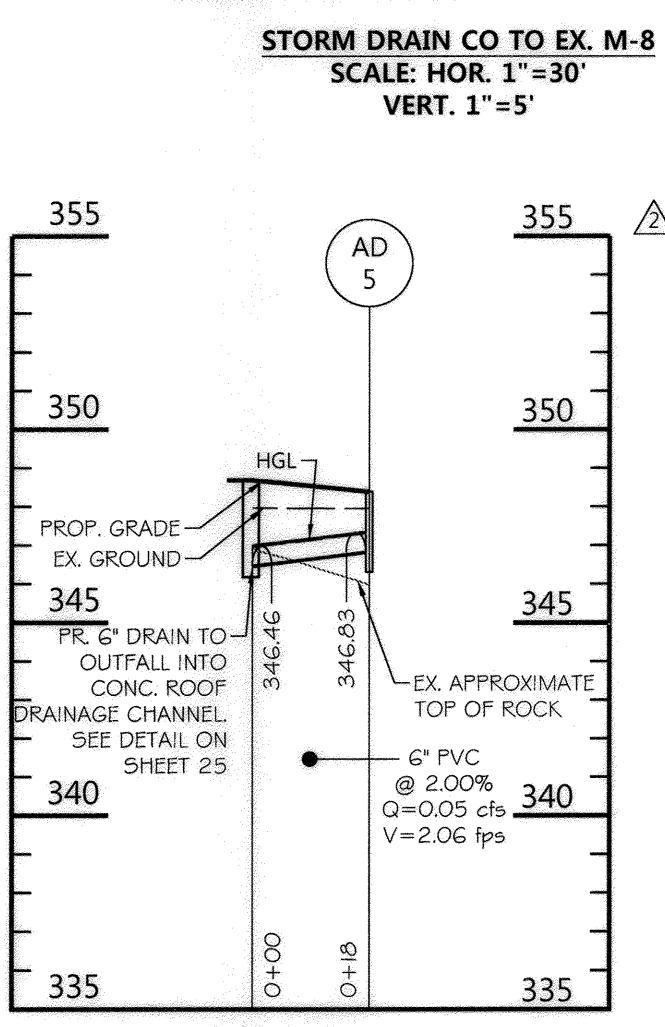
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VERT. 1"=5'



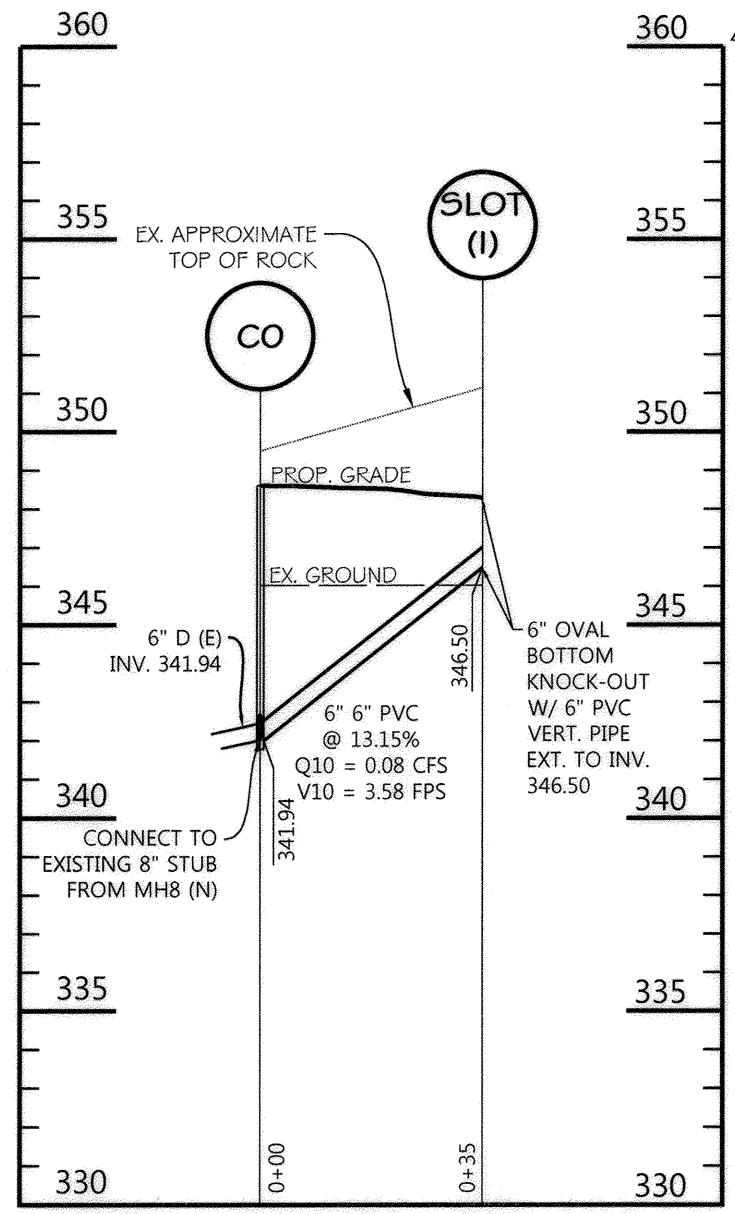
SAN SHC TO SMH 12  
SCALE: HOR. 1"=30'  
VERT. 1"=5'



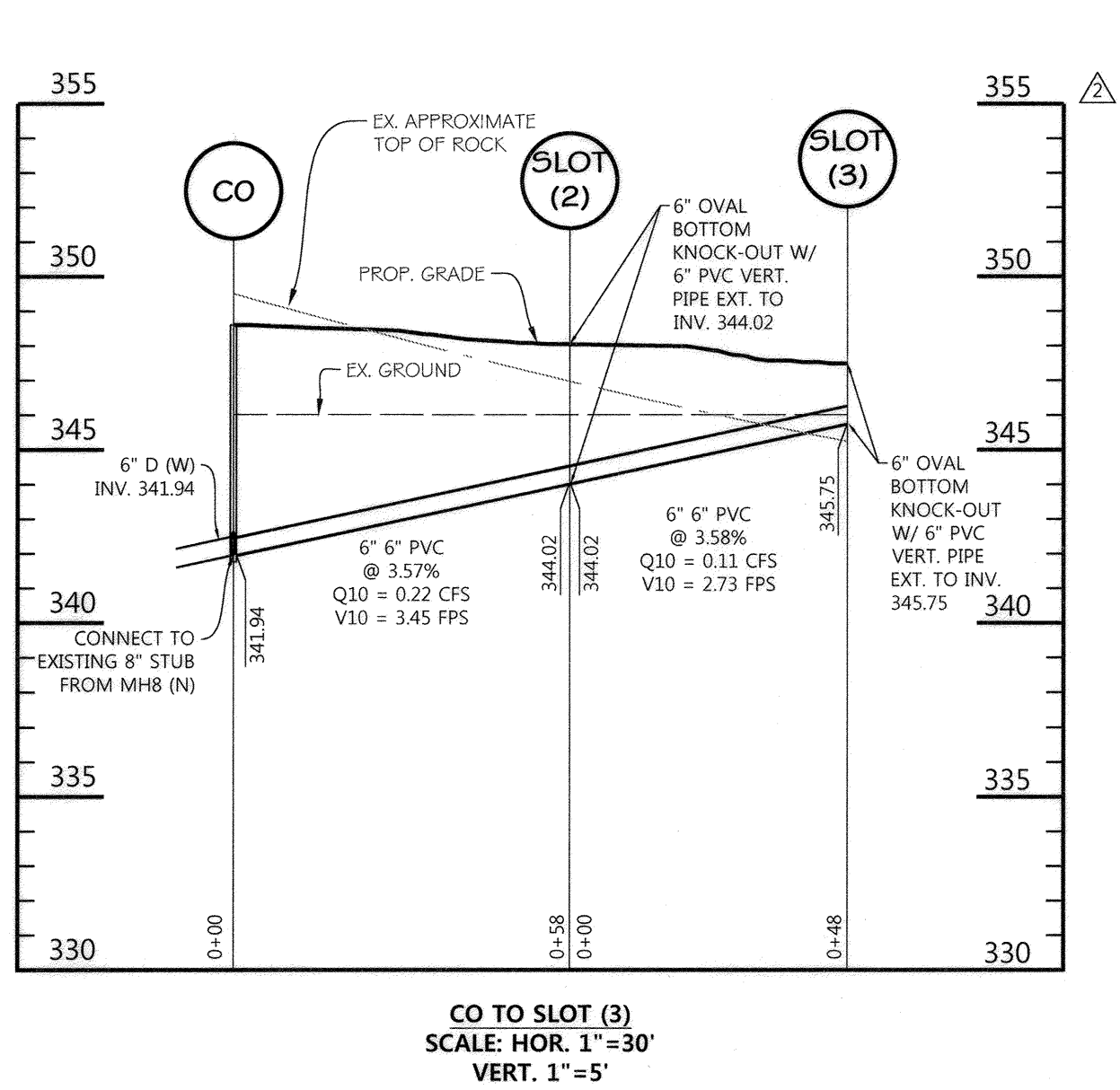
SMH 12 TO BUILDING C  
SCALE: HOR. 1"=30'  
VERT. 1"=5'



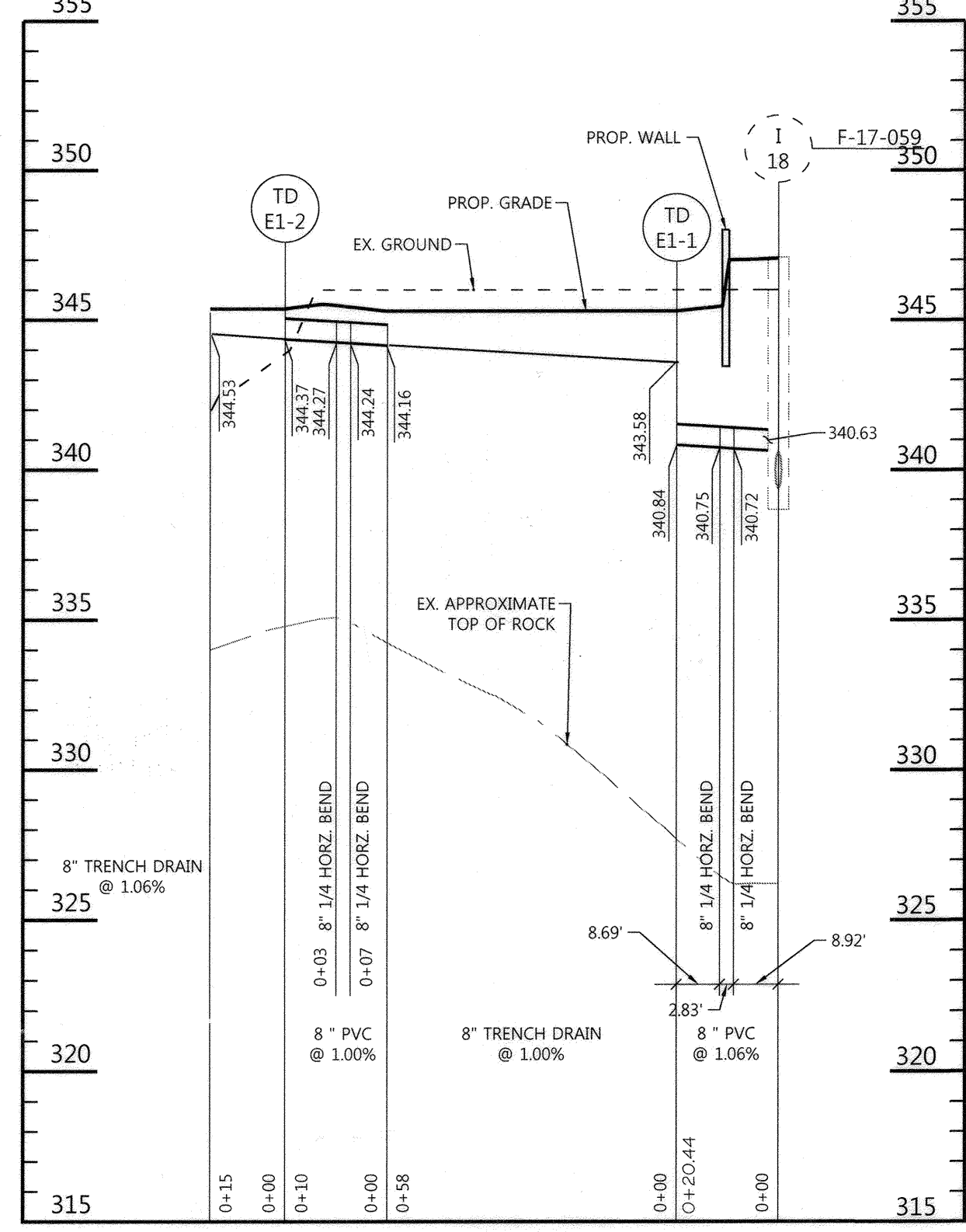
STORM DRAIN CO TO EX. M-8  
SCALE: HOR. 1"=30'  
VERT. 1"=5'



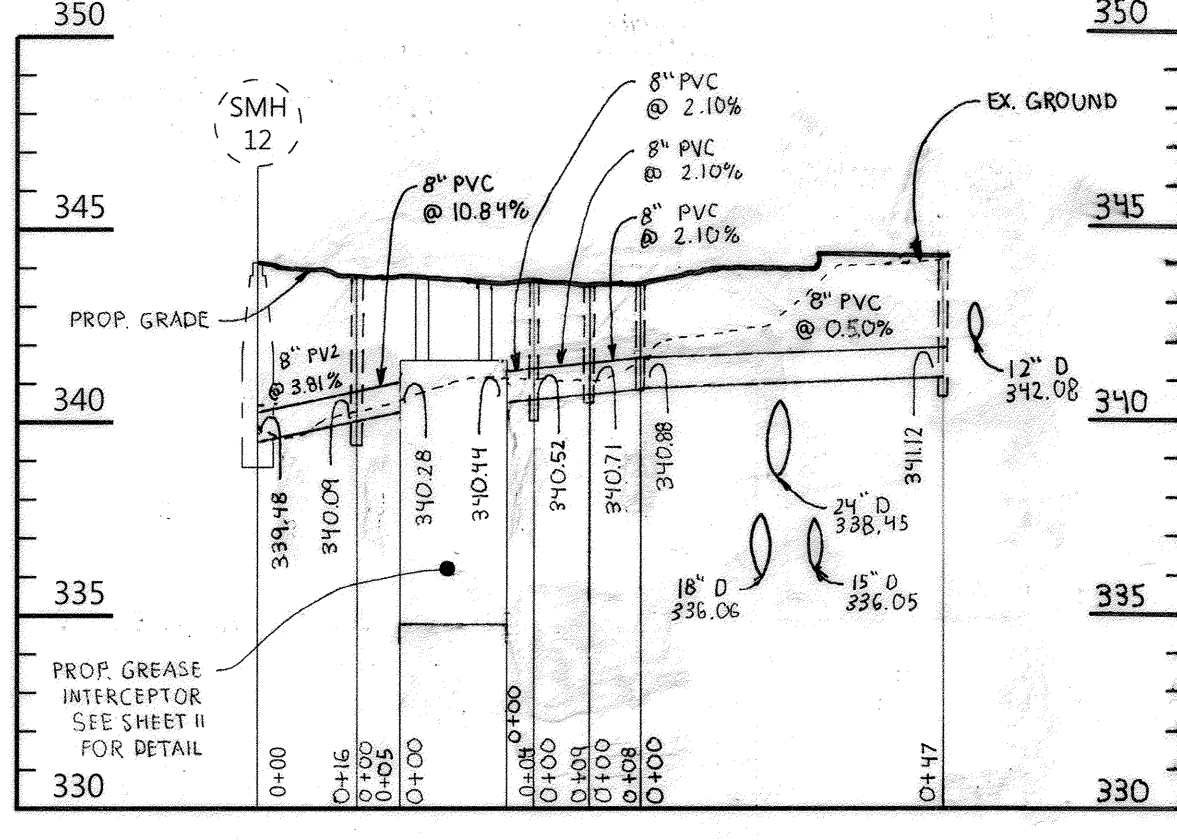
CO TO SLOT (1)  
SCALE: HOR. 1"=30'  
VERT. 1"=5'



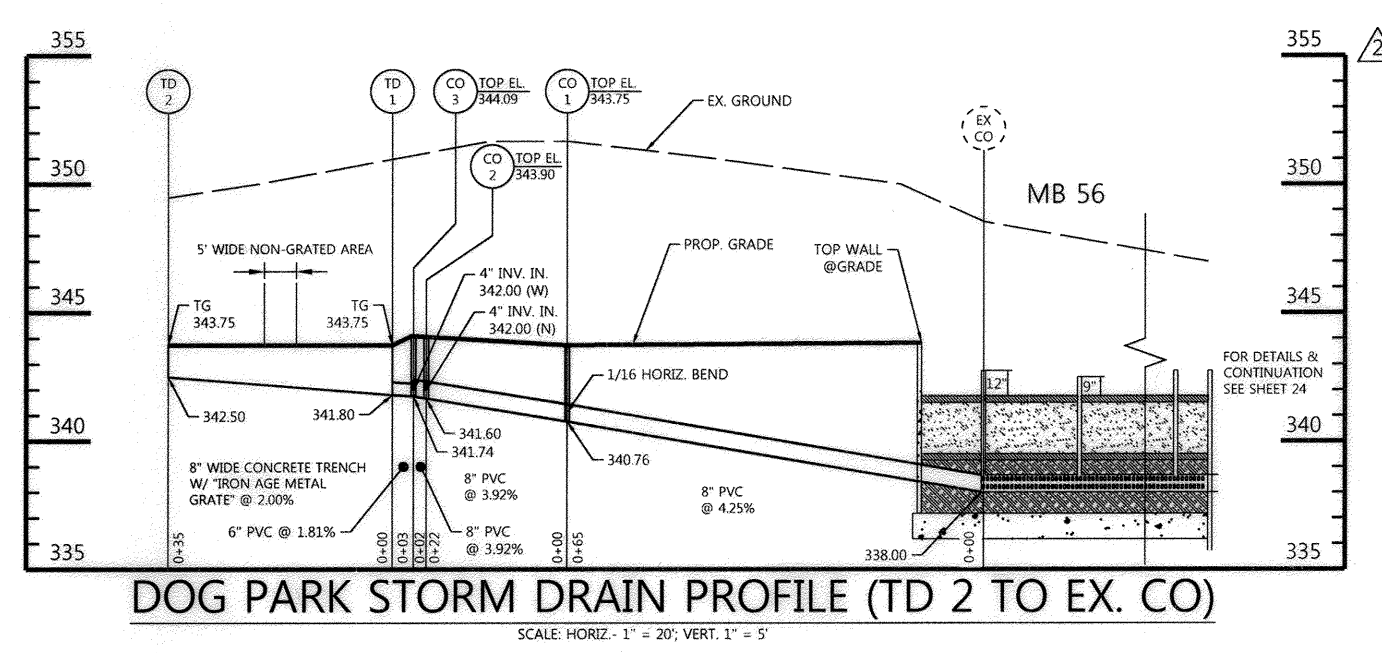
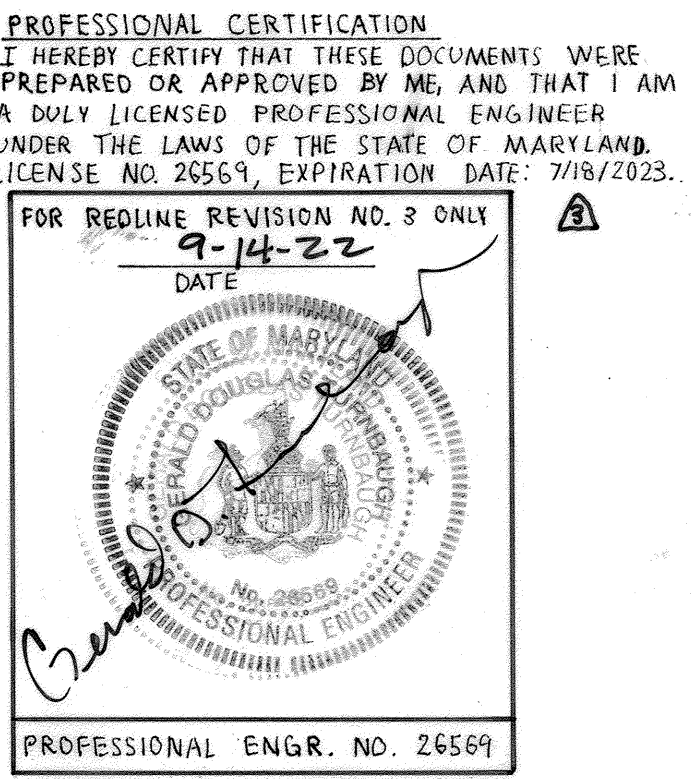
CO TO SLOT (3)  
SCALE: HOR. 1"=30'  
VERT. 1"=5'



HOTEL TRENCH DRAINS  
SCALE: HOR. 1"=30'  
VERT. 1"=5'



SMH 12 TO BUILDING C  
SCALE: HOR. 1"=30'  
VERT. 1"=5'



DOG PARK STORM DRAIN PROFILE (TD 2 TO EX. CO)  
SCALE: HOR. 1"=30', VERT. 1"=5'

STORM INLET SCHEDULE				
NO.	TYPE / DETAIL NO.	INV. IN	INV. OUT	GRATE ELEV.
AD 5	NYLOPLAST 12" CUSTOM BASIN PART #2812AG W/ #1299 CGP GRATE	346.83	348.38	348.38
1 10	DOUBLE WR, HOWARD CO. STD. DTL D-4-35	336.35 339.84	336.25	343.46
1 11	DOUBLE WR, HOWARD CO. STD. DTL D-4-35	338.09	336.16	342.25
1 27	TYPE 'D', HOWARD CO. STD. DTL D-4-10	339.86 341.17	339.61	345.50 THROAT OPENING
1 28	DOUBLE WR, HOWARD CO. STD. DTL D-4-35	340.95	340.11	345.69
1 38	DOUBLE WR, HOWARD CO. STD. DTL D-4-35	338.61 338.61 338.61	337.86	343.45
1 39	DOUBLE WR, HOWARD CO. STD. DTL D-4-35	339.55	339.45	344.48
1 40	DOUBLE 'S', HOWARD CO. STD. DTL D-4-23	340.19	340.09	345.30
1 41	DOUBLE 'S', HOWARD CO. STD. DTL D-4-23	341.29	341.19	346.05
1 42	DOUBLE 'S', HOWARD CO. STD. DTL D-4-23	341.89	341.89	346.25
1 43	DOUBLE 'S', HOWARD CO. STD. DTL D-4-23	338.99	338.99	345.00
1 44	DOUBLE WR, HOWARD CO. STD. DTL D-4-35	339.04	339.04	342.81
SWM 1	TYPE 'D', HOWARD CO. STD. DTL D-4-10	339.17	337.10	343.50
SWM 2	TYPE 'D', HOWARD CO. STD. DTL D-4-10	336.52 339.17	336.27	343.50
SWM 5	TYPE 'D', HOWARD CO. STD. DTL D-4-10	338.84	338.84	345.50
SWM 6	TYPE 'D', HOWARD CO. STD. DTL D-4-10	337.75	337.75	342.50
OS 1	TYPE A-10 - CAST IN PLACE HOWARD CO. STD. DTL D-4-04	336.89	336.87	339.00
SLOT 1	ACO DRAIN K100 KLASIK DRAIN WITH HEEL-RESISTANT BRICKSLOT 100 GRATE (OR APPROVED EQUAL). TWO SLOPED CHANNELS LENGTHS 4m EACH.	346.50	346.50	SEE PLAN VIEW
SLOT 2	ACO DRAIN K100 KLASIK DRAIN WITH HEEL-RESISTANT BRICKSLOT 100 GRATE (OR APPROVED EQUAL). TWO SLOPED CHANNELS LENGTHS 6.5m AND 1m.	344.02	344.02	SEE PLAN VIEW
SLOT 3	ACO DRAIN K100 KLASIK DRAIN WITH HEEL-RESISTANT BRICKSLOT 100 GRATE (OR APPROVED EQUAL). SLOPED CHANNEL LENGTH 5.5m AND CONSTANT DEPTH CHANNEL LENGTH 5.5m.	345.75	345.75	SEE PLAN VIEW
OS-1	TYPE 'A-10' INLET HOWARD COUNTY STD. DETAIL D-4-03	336.87	336.67	TOP ELEV. 343.50

STORM MANHOLE SCHEDULE					
NO.	TYPE / DETAIL NO.	SIZE	INV. IN	INV. OUT	RIM ELEV.
M 15	STD. MANHOLE, HOWARD CO. STD. DTL G-5-13	60"	338.42 336.04 335.79 336.04	335.29	343.65
M 24	STD. MANHOLE, HOWARD CO. STD. DTL G-5-13	60"	336.74 338.49	336.24	345.89
M 25	STD. MANHOLE, HOWARD CO. STD. DTL G-5-12	48"	337.55 337.55	337.45	342.87
M 28	STD. MANHOLE, HOWARD CO. STD. DTL G-5-12	48"	336.81	336.71	344.52
M 29	STD. MANHOLE, HOWARD CO. STD. DTL G-5-12	48"	337.18	337.08	344.00
M 31	STD. MANHOLE, HOWARD CO. STD. DTL G-5-12	48"	339.34	339.09	346.60

APPROVED: HOWARD COUNTY DEPT. OF PLANNING & ZONING  
 CHIEF, DEVELOPMENT ENGINEERING DIVISION  
 CHIEF, DIVISION OF LAND DEVELOPMENT  
 DIRECTOR

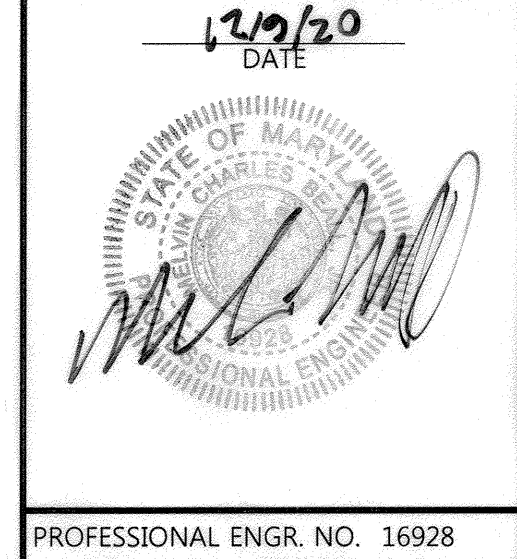
1-15-21  
 2/3/24  
 2-3-21

NOTE  
 CONTRACTOR TO NOTIFY STRUCTURAL ENGINEER IF THERE ARE ANY CONFLICTS WITH THE (M-6) MODULAR WALLS/FOOTINGS AND ADJACENT STORM DRAIN PIPES AND STRUCTURES.

FILE NUMBERS:  
 F 15-106, F 16-107, F 17-059, F-18-017, SDP-18-075, SDP-18-005, WP-17-010, WP-17-049, WP-17-052, WP-17-115, WP-18-020, WP-18-021, SP-16-009, WP-16-100, FDP-DC-CRESENT-1, FDP-DC-CRESENT-1A, SDP 17-027, F 17-057, F18-017, WP-18-089, WP-18-105.

CONTRACT NUMBERS:  
 24-4931-D, 24-4975-D, 24-4974-D.

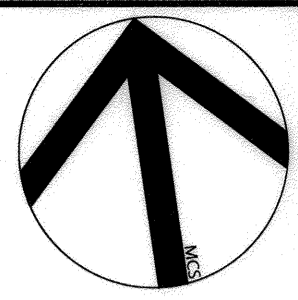
PROFESSIONAL CERTIFICATION  
 I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 16928, EXPIRATION DATE: 05/13/22.



APPROVED:  
 PLANNING BOARD OF HOWARD COUNTY  
 DATE: 11/8/18

7/6/22	AS-BUILT CONDITIONS	
10/30/20	2 UPDATE PLANS PER REVISED BLDG. "C" LAYOUT & UTILITIES	
04/19/19	1 UPDATE PLANS PER REVISED BLDG. "C" LAYOUT & NEW BLDG. E-1 HOTEL	
Date	No.	Revision Description
<b>DOWNTOWN COLUMBIA</b>		
<b>CRESCENT NEIGHBORHOOD</b>		
<b>PHASE I AREA 3, PHASE 2</b>		
PARCELS D-1, D-7, D-8, D-9, D-11, D-12 AND D-13		
MIXED USE GREEN OFFICE, RESIDENTIAL, RETAIL, RESTAURANT, & HOTEL BUILDING		
OWNER / DEVELOPER: THE HOWARD RESEARCH AND DEVELOPMENT CORPORATION COLUMBIA REGIONAL OFFICE 10960 GRANTCHESTER WAY SUITE 110 COLUMBIA, MD 21044 410-964-4800		
501 FAIRMOUNT AVENUE SUITE 300 TOWSON, MD 21286 P: 410 296 3333 F: 410 296 4705 WWW.DMW.COM		
SUBMISSION NAME	SECTION	NEIGHBORHOOD
DOWNTOWN COLUMBIA	PHASE 2 AREA 3	PARCEL D
PLAN NO. 24-4975-D	36	5
PROJECT NO. 7	36	5
WATER CODE	SEWER CODE	STAGE
550	LITTLE PATUXENT	1
<b>PRIVATE UTILITIES</b>		
<b>PROFILES</b>		
REVISED SITE DEVELOPMENT PLAN		
Des. By	GDT/DM	SCALE AS SHOWN
Drn. By	MCJ	Date 02/15/19
Chk. By	MCB	Approved MCB
		Proj. No. 04038.80
		24 of 78

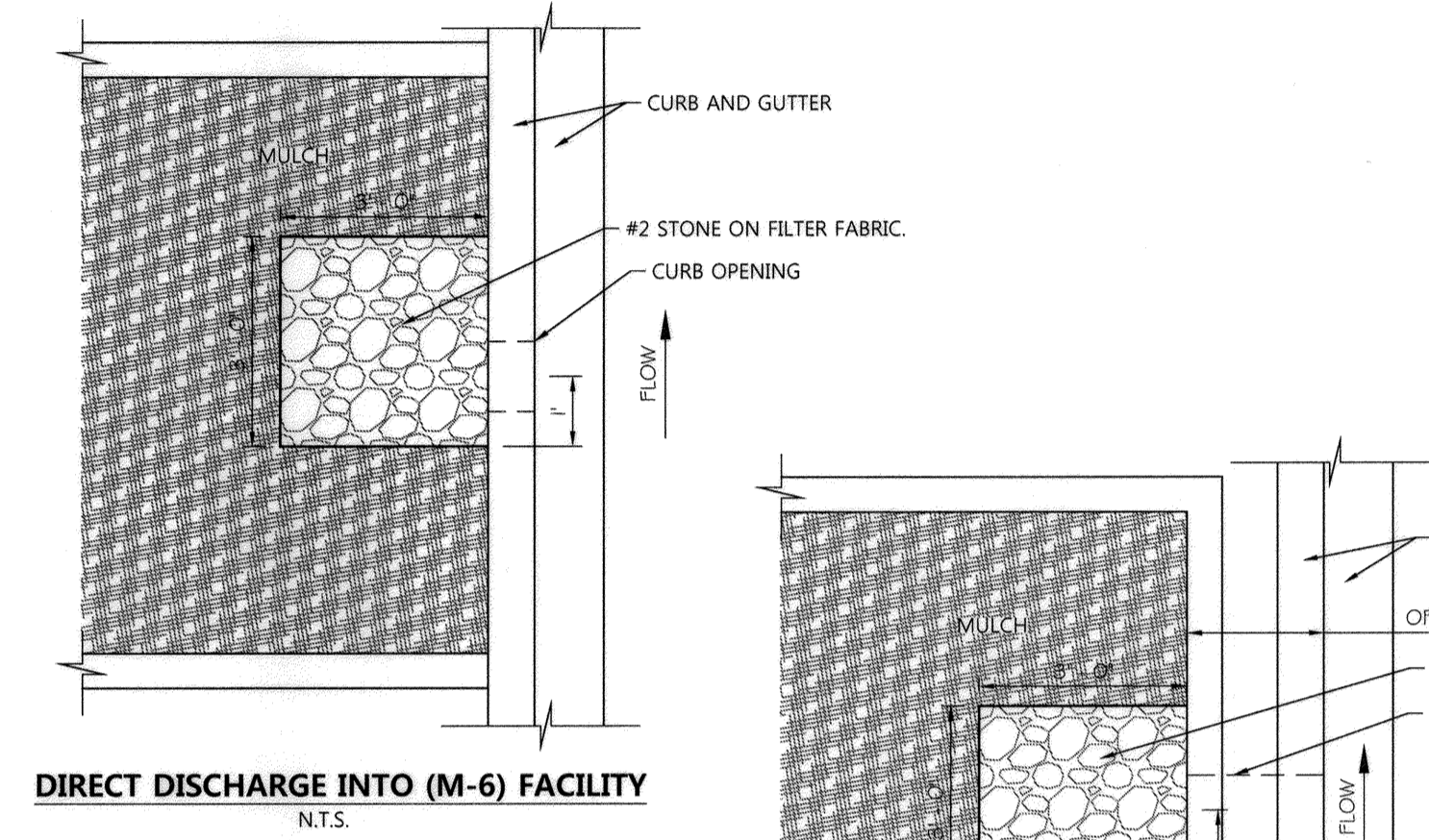




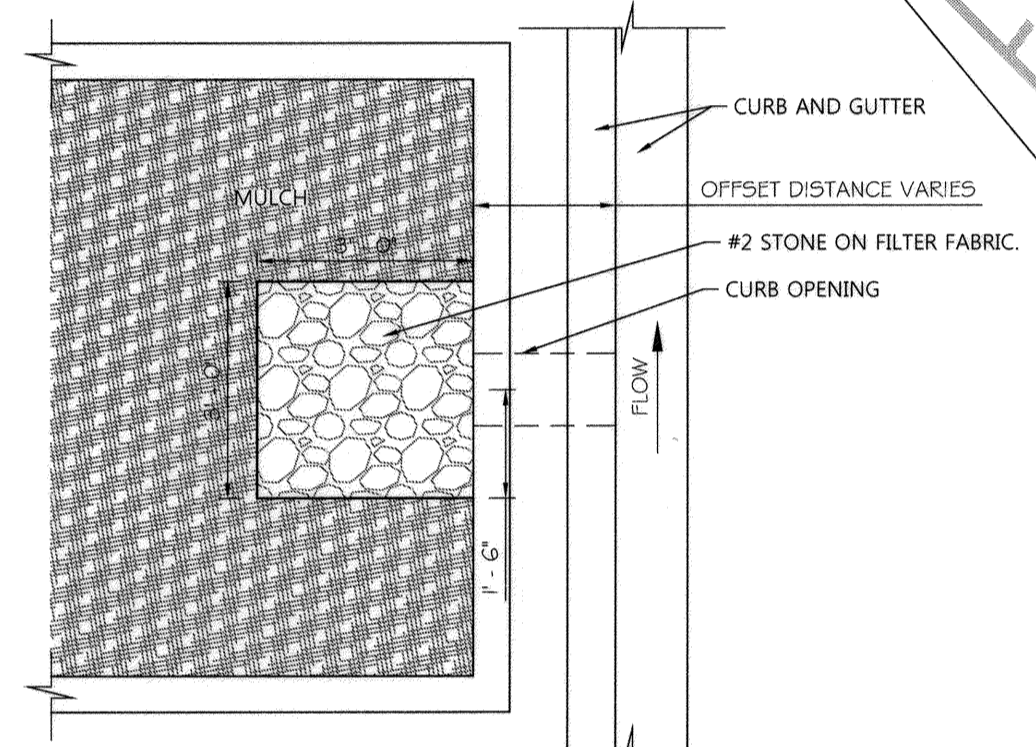
**LEGEND**

- LIMIT OF DISTURBANCE
- - - - - PROPERTY LINE
- - - - - PARCEL LINE
- - - - - EX. CONTOURS
- - - - - EX. SEWER
- - - - - EX. STORM DRAIN
- - - - - EX. WATER
- - - - - EX. TREELINE
- - - - - PROP. BUILDING
- - - - - PROP. CURB
- - - - - PROP. CONTOURS
- - - - - PROP. EASEMENT
- - - - - PROP. SEWER
- - - - - PROP. STORM DRAIN
- - - - - PROP. WATER
- - - - - SOILS
- - - - - DRAINAGE AREA TO CPV2

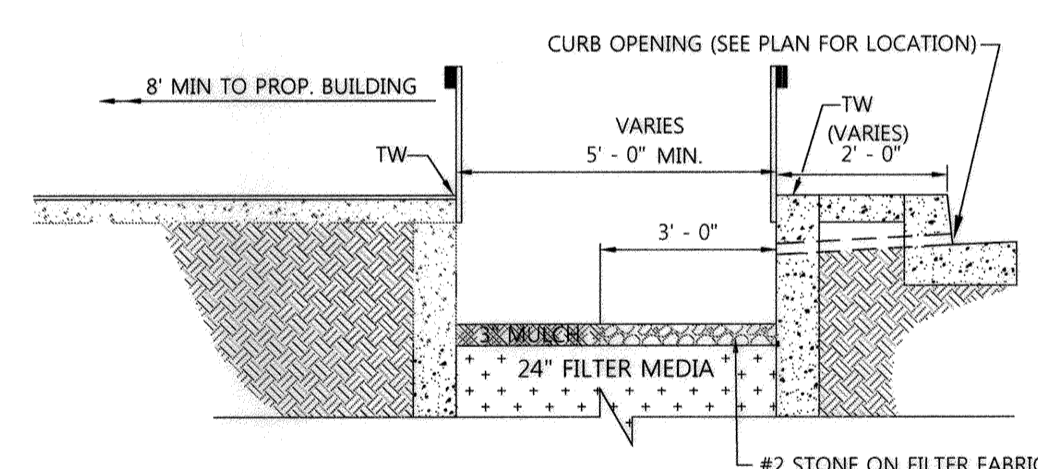
- PROP. STREET LIGHT
- ⊗ FIRE HYDRANT



**DIRECT DISCHARGE INTO (M-6) FACILITY**  
N.T.S.



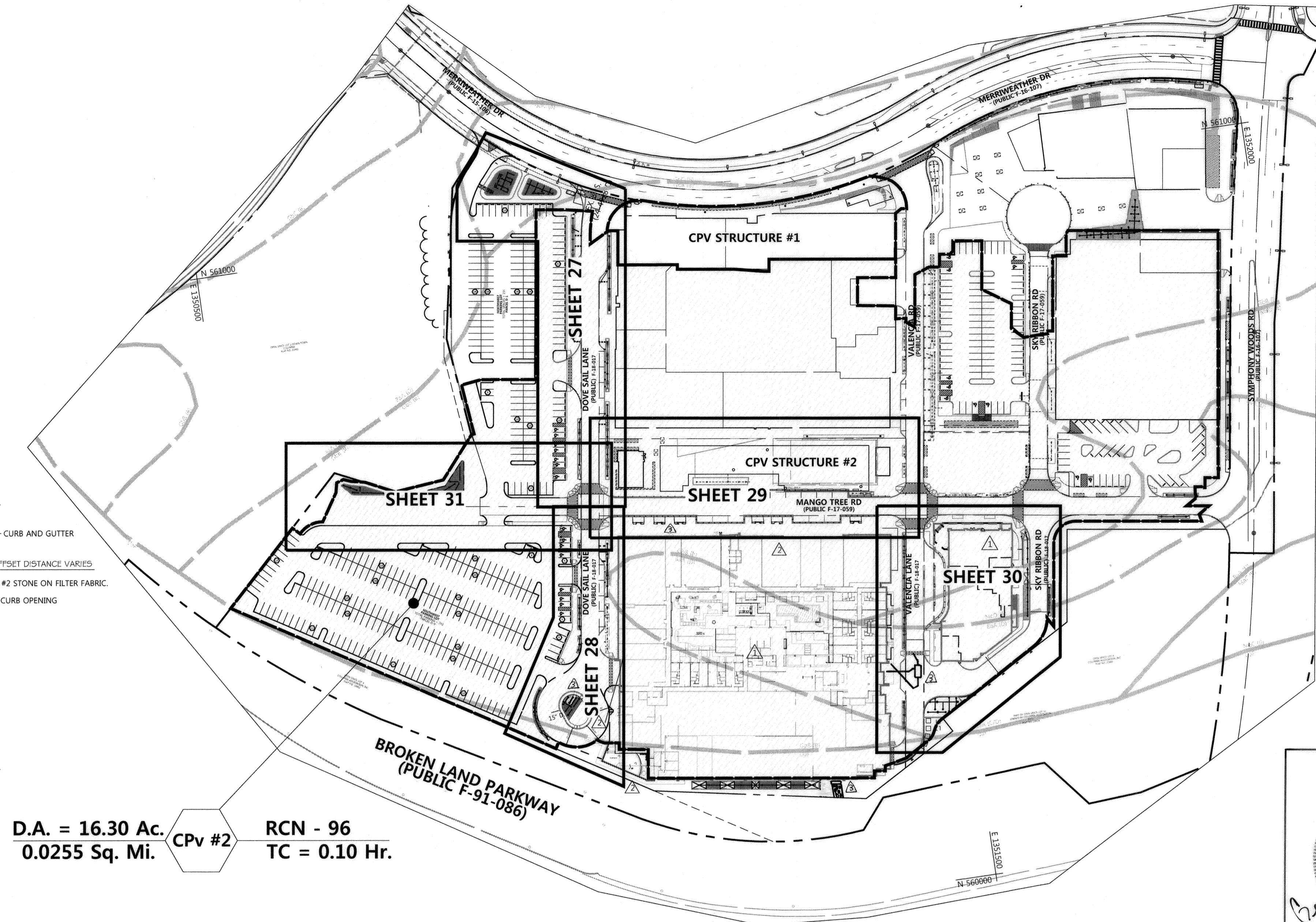
**OFFSET DISCHARGE INTO (M-6) FACILITY**  
N.T.S.



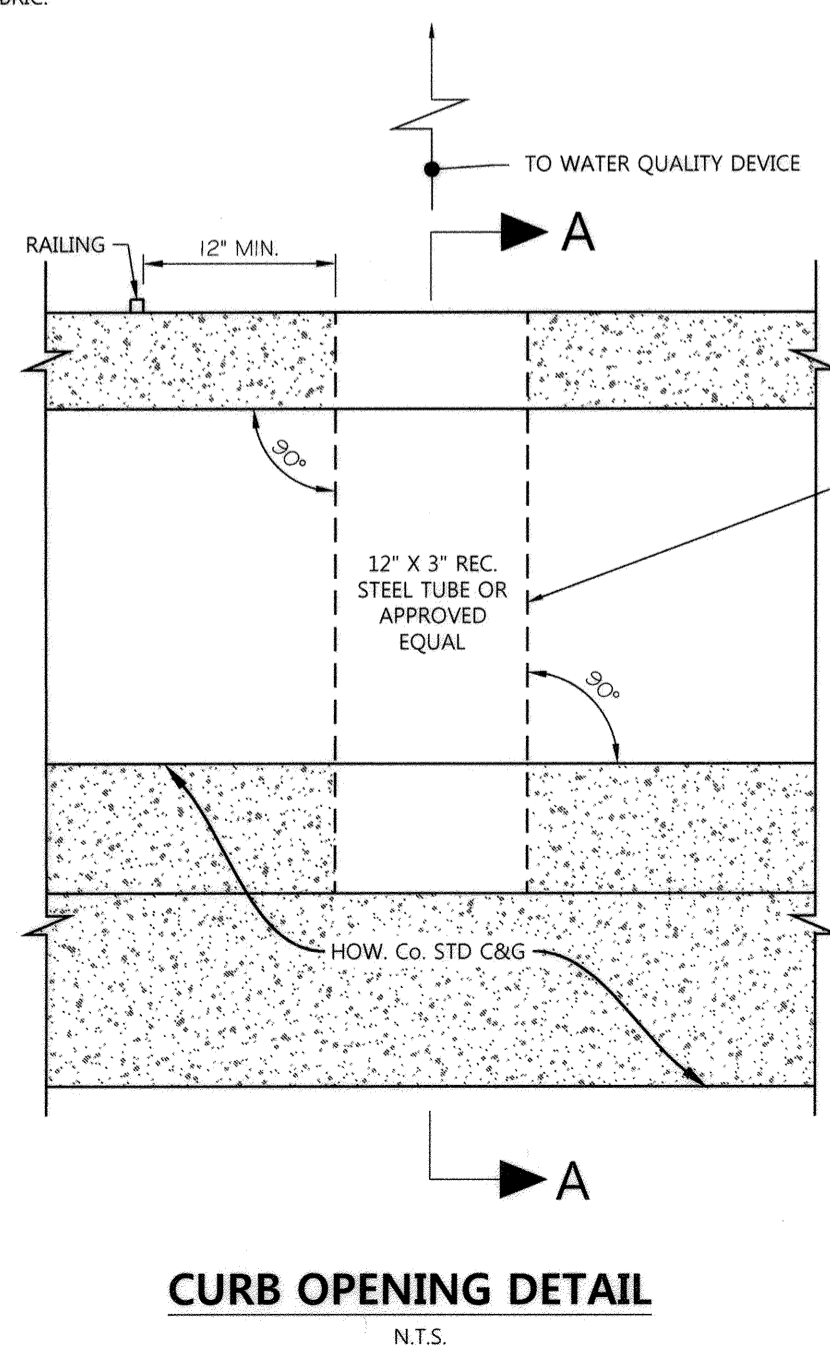
**D.A. = 16.30 Ac.**  
**0.0255 Sq. Mi.**

**CPV #2**

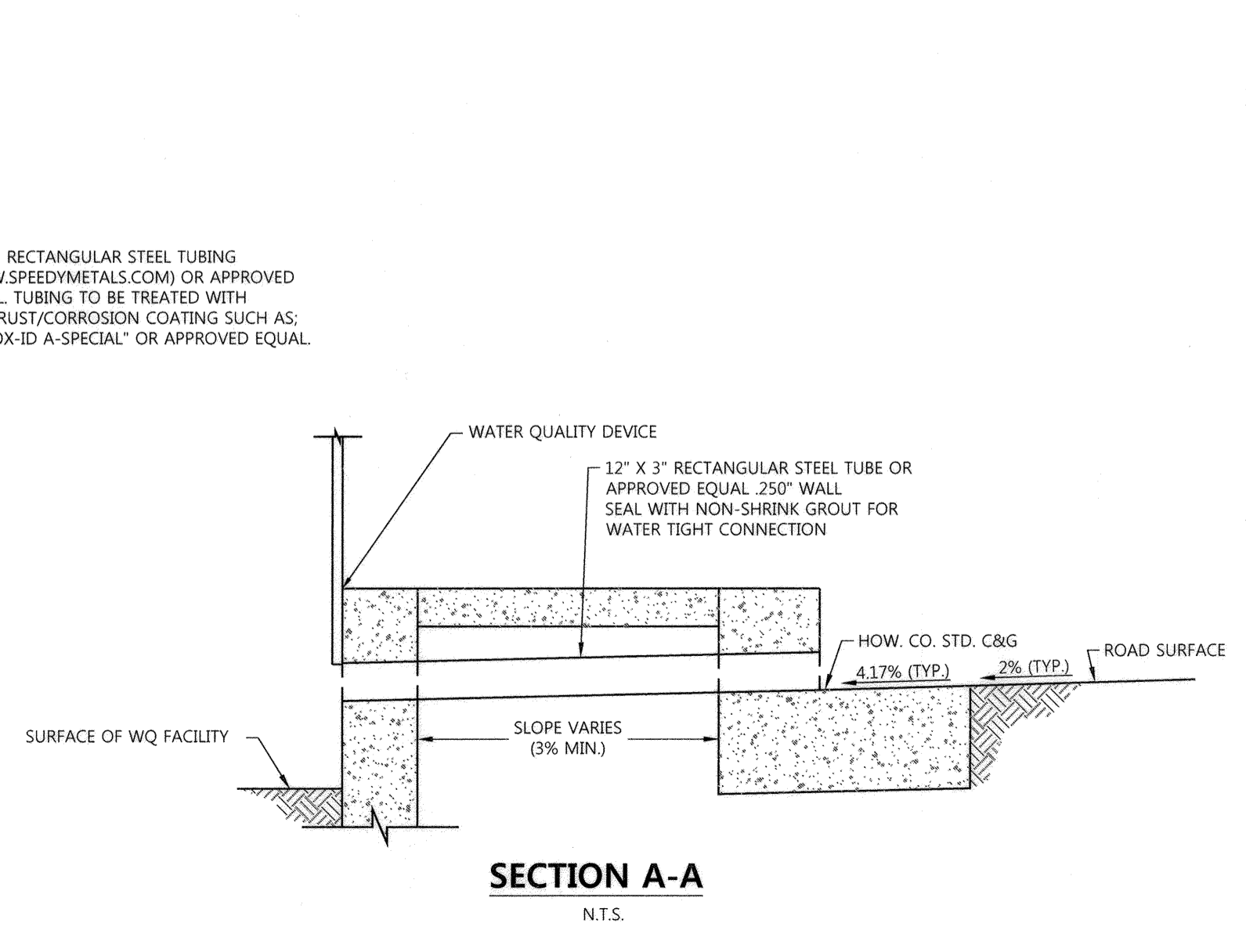
**RCN - 96**  
**TC = 0.10 Hr.**



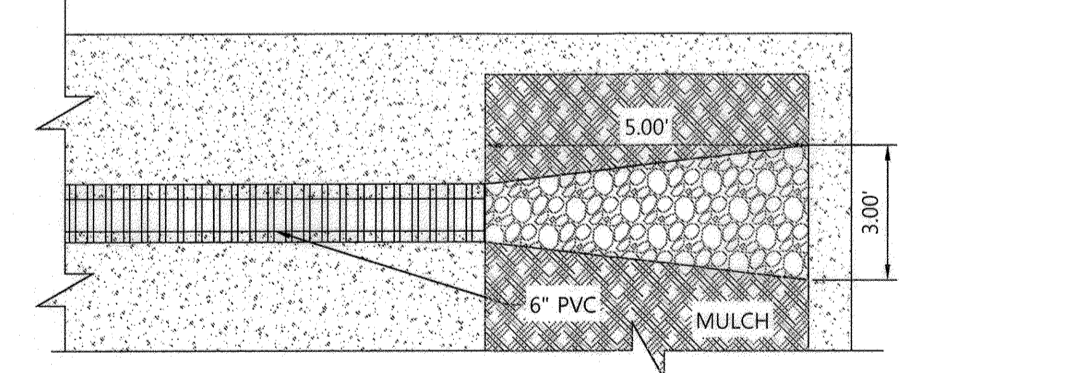
**PLAN VIEW**  
SCALE: 1"=100'



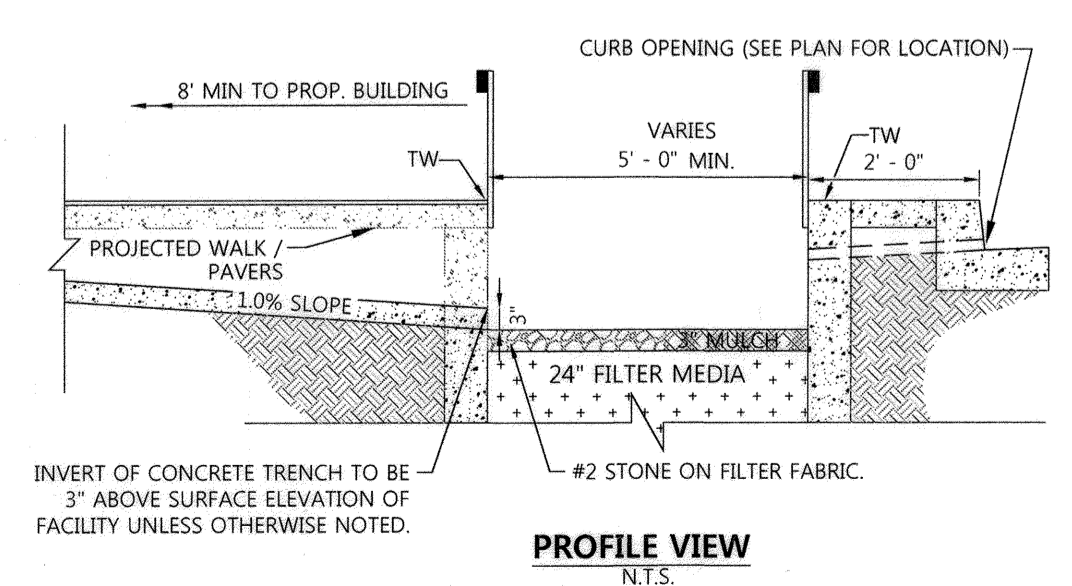
**CURB OPENING DETAIL**  
N.T.S.



**SECTION A-A**  
N.T.S.

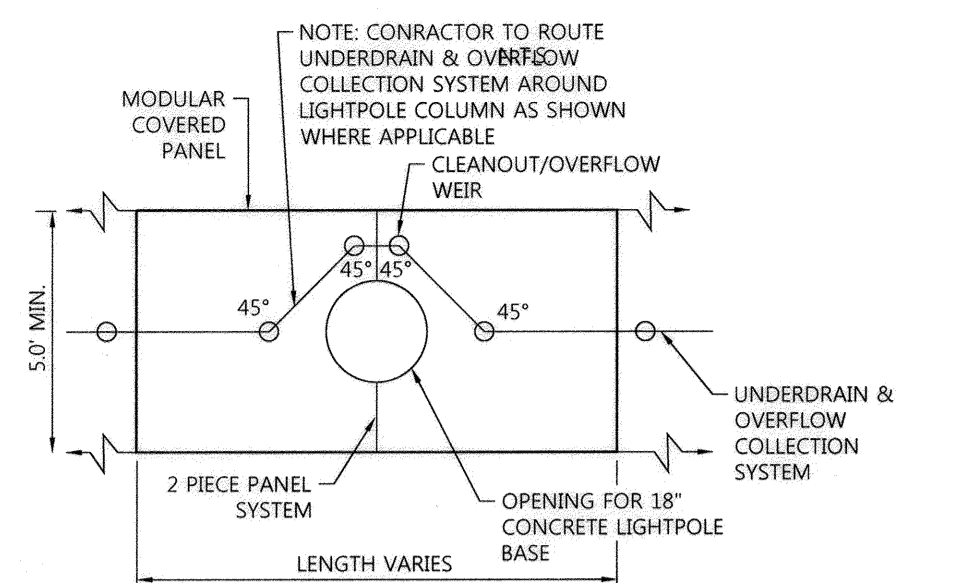


**PLAN VIEW**  
N.T.S.

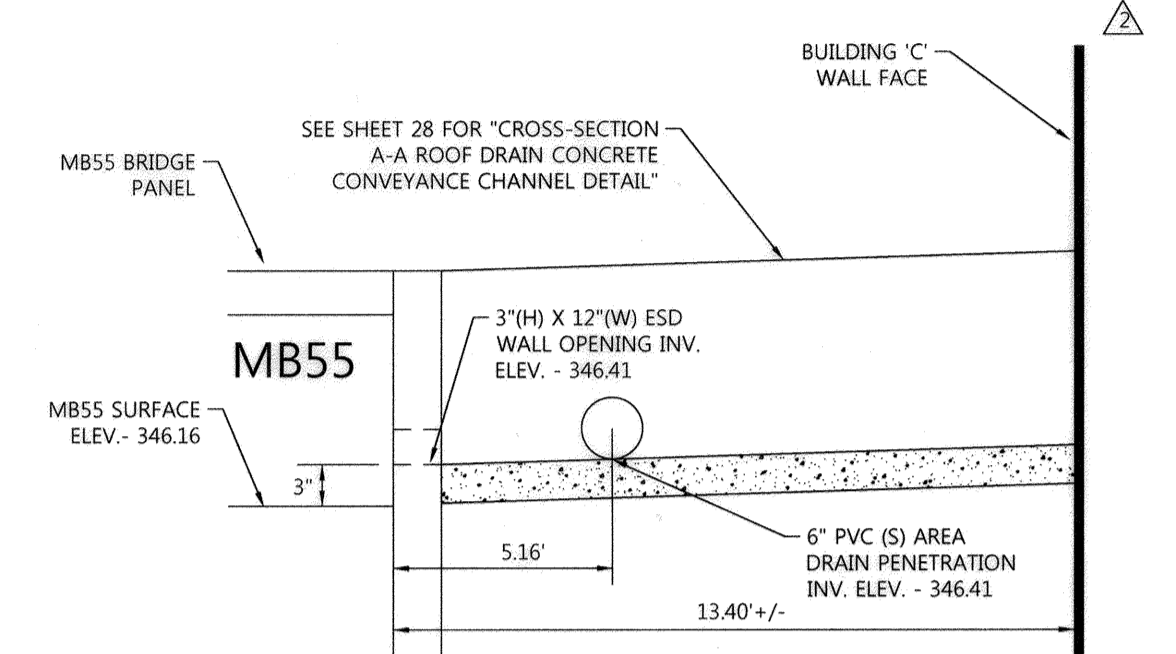


**PROFILE VIEW**  
N.T.S.

**ROOF DRAIN INFLOW PROTECTION DETAIL**



**(M-6) MODULAR SWM FACILITY'S COVERED PANEL W/ LIGHTPOLE DETAIL**  
NOT TO SCALE



**AREA DRAIN CUT-IN TO MB55 CONCRETE ROOF TROUGH TRENCH**  
NOT TO SCALE

SHOWN FOR REFERENCE ONLY.

SDP-17-027  
PRIVATE Area CPV #2 Detention Storage for 1-yr Frequency Only (10-yr Split Out)  
Underground Storage Facility - Manufacturer: Oldcastle/Precast or Approved Equal  
17,000 s.f. Footprint x 7.0' Depth 100,797.68 c.f.  
Recharge Provided Under Private Area  
(Stone Reservoir - 17,000 s.f. x 18.75' Depth x 0.4 void) = 10625.00 c.f.

Total CPV Provided Volume Storage =	106,211.68 c.f.
Total Rev Provided Volume Storage =	10,625.00 c.f.

NOTE: REFER TO SDP-17-027 FOR OVERALL CPV STORAGE REQUIREMENTS AND PROVISIONS, AS WELL AS CONSTRUCTION PLANS FOR THIS STRUCTURE.

9-14-22  
DATE

FOR REVISION NO. 3 ONLY  
PROFESSIONAL ENGR. NO. 28569

**PROFESSIONAL CERTIFICATION**  
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.  
LICENSE NO. 28569, EXPIRATION DATE: 7/18/2023

**NOTE**  
CONTRACTOR TO NOTIFY STRUCTURAL ENGINEER IF THERE ARE ANY CONFLICTS WITH THE (M-6) MODULAR WALLS/FOOTINGS AND ADJACENT STORM DRAIN PIPES AND STRUCTURES.

Date	No.	Revision Description
7/6/22	1	UPDATE PLANS PER AS-BUILT CONDITIONS
10/30/20	2	UPDATE PLANS PER REVISED BLDG. 'C' LAYOUT & UTILITIES
04/19/19	1	UPDATE PLANS PER REVISED BLDG. 'C' LAYOUT & NEW BLDG. E-1 HOTEL

**DOWNTOWN COLUMBIA**  
**CRESCENT NEIGHBORHOOD**  
**PHASE I AREA 3, PHASE 2**  
PARCELS D-1, D-7, D-8, D-9,  
D-11, D-12 AND D-13  
MIXED USE GREEN OFFICE, RESIDENTIAL RETAIL RESTAURANT, & HOTEL BUILDING

**OWNER / DEVELOPER:**  
THE HOWARD RESEARCH AND DEVELOPMENT CORPORATION  
COLUMBIA REGIONAL OFFICE  
10960 GRANTCHESTER WAY SUITE 110  
COLUMBIA, MD 21044  
410-964-4800

**FILE NUMBERS:**  
F 15-106, F 16-107, F 17-059, F 18-017,  
SDP-16-075, SDP-18-005, WP-17-010,  
WP-17-049, WP-17-052, WP-17-115,  
WP-18-020, WP-18-021, SP-16-009,  
WP-16-100, FDP-DC-CRESCENT-1,  
FDP-DC-CRESCENT-3A, SDP 17-027, F 17-057,  
F 18-017, WP-18-089, WP-18-105.

**CONTRACT NUMBERS:**  
24-4931-D, 24-4975-D, 24-4974-D.

**PROFESSIONAL CERTIFICATION**  
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 16928, EXPIRATION DATE: 05/13/22.

12/9/20  
DATE

PROFESSIONAL ENGR. NO. 16928

APPROVED: HOWARD COUNTY DEPT. OF PLANNING & ZONING

*[Signature]* 1-15-21  
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

*[Signature]* 2/3/21  
CHIEF, DIVISION OF LAND DEVELOPMENT DATE

*[Signature]* 2-3-21  
DIRECTOR DATE

APPROVED: PLANNING BOARD OF HOWARD COUNTY

DATE: 11/8/18

Des. By	GDT/DM	SCALE	AS SHOWN	Proj. No.	04038.B0
Drn. By	MCJ	Date	02/15/19		
Chk. By	MCB	Approved	MCB		25 of 78

ESD TYPES: (M-6) MICRO-BIORETENTION			
(M-6)-DA 1 Facility MB1	Drainage Area: SWM1 WQv = 1,160 s.f. Surface Area AI = 1,293 c.f. Treated 18,551 s.f. Treated	Required WQv PE: 1.00 inches Provided WQv PE: 1.16 inches	
(M-6)-DA 2 Facility MB2	Drainage Area: SWM2 WQv = 928 s.f. Surface Area AI = 1,172 c.f. Treated 18,041 s.f. Treated	Required WQv PE: 1.00 inches Provided WQv PE: 1.08 inches	
(M-6)-DA 5 Facility MB7	Drainage Area: SWM5 WQv = 1,343 s.f. Surface Area AI = 1,694 c.f. Treated 18,122 s.f. Treated	Required WQv PE: 1.00 inches Provided WQv PE: 1.55 inches	
(M-6)-DA 6 Facility MB8	Drainage Area: SWM6 WQv = 775 s.f. Surface Area AI = 959 c.f. Treated 13,690 s.f. Treated	Required WQv PE: 1.00 inches Provided WQv PE: 1.16 inches	
(M-6)-DA 7a Facility MB51	Drainage Area: SWM7a WQv = 400 s.f. Surface Area AI = 533 c.f. Treated 7,518 s.f. Treated	Required WQv PE: 1.00 inches Provided WQv PE: 1.18 inches	
(M-6)-DA 8 Facility MB52	Drainage Area: SWM8 WQv = 528 s.f. Surface Area AI = 704 c.f. Treated 10,076 s.f. Treated	Required WQv PE: 1.00 inches Provided WQv PE: 1.16 inches	
(M-6)-DA 9a, 10 & 17 Facility MB56 & MB57	Drainage Area: SWM9, 10 & 17 WQv = 1,800 s.f. Surface Area AI = 2,400 c.f. Treated 37,000 s.f. Treated	Required WQv PE: 1.00 inches Provided WQv PE: 1.08 inches	
(M-6)-DA 20 Facility MB64	Drainage Area: SWM20 WQv = 450 s.f. Surface Area AI = 630 c.f. Treated 10,394 s.f. Treated	Required WQv PE: 1.00 inches Provided WQv PE: 1.01 inches	

NOTE: SWM-15 WQV NOT REQUIRED. AREA OF 23,982 S.F. BYPASSES TO CPV.

ESD TYPES: (M-6) MICRO-BIORETENTION - STORMCEPTORS			
Stormceptor #1: HRVATE SDP-18-005	Drainage Area: SWM35 WQv = 3,308 c.f. Treated AI = 41,787 s.f. Treated	Required WQv PE: 1.00 inches Provided WQv PE: 1.00 inches	
Stormceptor #2: HRVATE SDP-18-005	Drainage Area: SWM37 WQv = 3,251 c.f. Treated AI = 41,067 s.f. Treated	Required WQv PE: 1.00 inches Provided WQv PE: 1.00 inches	

(M-6) MODULAR MICRO-BIORETENTION SEQUENCE OF CONSTRUCTION

- ONCE CONTRIBUTING DRAINAGE AREAS TO FACILITIES HAVE BEEN STABILIZED, EXCAVATE TO SUB-GRADE. SPECIAL CARE SHOULD BE TAKEN NOT TO DAMAGE THE NEWLY CONSTRUCTED STORM DRAIN OVERFLOW INLET AND ASSOCIATED OUTFALL PIPES.
- ONCE VERIFIED SUB-GRADES HAVE BEEN ESTABLISHED, INSTALL CONTAINMENT WALL FOOTING AND WALL SYSTEM.
- PLACE REQUIRED DEPTH OF GRAVEL JACKET OF NO.57 OR NO. 6 AGGREGATE IN BOTTOM OF EXCAVATION UP TO INVERT OF UNDERDRAIN & OVERFLOW PIPES.
- INSTALL UNDERDRAINS AND ASSOCIATED PARTS & TIE PIPES TO INLET WALLS AT THEIR PRESCRIBED INVERT ELEVATIONS.
- PLACE REMAINDER (10") OF THE 20" GRAVEL JACKET. CHECK FOR LEVELNESS.
- PLACE 2" PEA GRAVEL LAYER OVER GRAVEL JACKET.
- BACKFILL TOPSOIL FILTER MEDIA (TOTAL 24") IN LIFTS OF 12" TO 18". DO NOT COMPACT. INSTALL LANDSCAPE PLANTINGS.
- INSTALL RIP RAP INFLOW PROTECTION AT ALL CURB OPENING + ROOF INFLOW POINTS.
- ADD 3" MULCH AND STONE LAYER.

(M-6) STANDARD MICRO-BIORETENTION SEQUENCE OF CONSTRUCTION

- ONCE CONTRIBUTING DRAINAGE AREAS TO FACILITIES HAVE BEEN STABILIZED, EXCAVATE TO SUB-GRADE. SPECIAL CARE SHOULD BE TAKEN NOT TO DAMAGE THE NEWLY CONSTRUCTED STORM DRAIN OVERFLOW INLET AND ASSOCIATED OUTFALL PIPES.
- ONCE VERIFIED SUB-GRADES HAVE BEEN ESTABLISHED, PLACE REQUIRED DEPTH OF GRAVEL JACKET OF NO.57 OR NO. 6 AGGREGATE IN BOTTOM OF EXCAVATION UP TO INVERT OF UNDERDRAIN & OVERFLOW PIPES.
- PLACE 3" WIDE STRIPS OF FILTER FABRIC DOWN ON 3" GRAVEL LAYER TO SUPPORT UNDERDRAIN SYSTEM. PLACE UNDERDRAINS IN CENTER OF FABRIC & TIE PIPES TO INLET WALLS AT THEIR PRESCRIBED INVERT ELEVATIONS.
- PLACE REMAINDER (10") OF THE 20" GRAVEL JACKET. CHECK FOR LEVELNESS.
- PLACE 2" PEA GRAVEL LAYER OVER GRAVEL JACKET.
- BACKFILL TOPSOIL FILTER MEDIA (TOTAL 24") IN LIFTS OF 12" TO 18". DO NOT COMPACT. INSTALL LANDSCAPE PLANTINGS.
- INSTALL RIP RAP INFLOW PROTECTION AT ALL CURB OPENING INFLOW POINTS.
- SEED OR SOD 3:1 SIDE SLOPES. ADD 3" MULCH LAYER.

TABLE B.4.1 MATERIALS SPECIFICATIONS FOR MICRO-BIORETENTION, RAIN GARDENS & LANDSCAPE INFILTRATION

MATERIAL	SPECIFICATION	SIZE	NOTES
PLANTINGS	SEE APPENDIX A, TABLE A.4	N/A	PLANTINGS ARE SITE-SPECIFIC
PLANTING SOIL (2' TO 4' DEEP)	LOAMY SAND (60 - 65%) & COMPOST (35 - 40%) OR SANDY LOAM (30%), COARSE SAND (30%) & COMPOST (40%)	N/A	
ORGANIC CONTENT	MIN. 10% BY DRY WEIGHT (ASTM D 2974)		
MULCH	SHREDDED HARDWOOD		AGED 6 MONTHS, MINIMUM; NO PINE OR WOOD CHIPS
PEA GRAVEL DIAPHRAGM	PEA GRAVEL: ASTM-D-448	NO. 8 OR NO. 9 (1/8" TO 3/8")	
CURTAIN DRAIN	ORNAMENTAL STONE: WASHED COBBLES	STONE: 2" TO 5"	
GEOTEXTILE		N/A	PE TYPE 1 NONWOVEN
GRAVEL (UNDERDRAINS AND INFILTRATION BERMS)	AASHTO M-43	NO. 57 OR NO. 6 AGGREGATE (3/8" TO 3/4")	
UNDERDRAIN PIPING	F 758, TYPE PS 28 OR AASHTO M-278	6" RIGID SCHEDULE 40 PVC OR SDR35 UNLESS NOTED OTHERWISE.	SLOTTED OR PERFORATED PIPE: 3/8" PERF. @ 6". 6 HOLES PER ROW; MINIMUM OF 3" OF GRAVEL OVER PIPES; NOT NECESSARY UNDERNEATH PIPES. PERFORATED PIPE SHALL BE WRAPPED WITH 1/4-INCH GALVANIZED HARDWARE CLOTH
POURED IN PLACE CONCRETE (IF REQUIRED)	MSHA MIX NO. 6; Fc = 4500 PSI @ 28 DAYS, NORMAL WEIGHT, AIR-ENTRAINED; REINFORCING TO MEET ASTM-615-60	N/A	ON-SITE TESTING OF POURED-IN-PLACE CONCRETE REQUIRED: 28 DAY STRENGTH AND SLUMP TEST; ALL CONCRETE DESIGN (CAST-IN-PLACE OR PRE-CAST) NOT USING PREVIOUSLY APPROVED STATE OR LOCAL STANDARDS REQUIRES DESIGN DRAWINGS SEALED AND APPROVED BY A PROFESSIONAL STRUCTURAL ENGINEER LICENSED IN THE STATE OF MARYLAND - DESIGN TO INCLUDE MEETING ACI CODE 350R/89; VERTICAL LOADING [H-10 OR H-20]; ALLOWABLE HORIZONTAL LOADING (BASED ON SOIL PRESSURES); AND ANALYSIS OF POTENTIAL CRACKING
SAND	AASHTO-M-6 OR ASTM-C-33	0.02" TO 0.04"	SAND SUBSTITUTIONS SUCH AS DIABASE AND GRAYSTONE (AASHTO) #10 ARE NOT ACCEPTABLE. NO CALCIUM CARBONATED OR DOLOMITIC SAND SUBSTITUTIONS ARE ACCEPTABLE. NO "ROCK DUST" CAN BE USED FOR SAND.

LEGEND

- LIMIT OF DISTURBANCE
- PROPERTY LINE
- PARCEL LINE
- - - - - EX. CONTOURS
- EX. SEWER
- EX. STORM DRAIN
- EX. WATER
- EX. TREELINE
- PROP. BUILDING
- PROP. CURB
- PROP. CONTOURS
- PROP. EASEMENT
- PROP. SEWER
- PROP. STORM DRAIN
- PROP. WATER
- SOILS
- PROP STREET LIGHT
- FIRE HYDRANT
- (M-6) WATER QUALITY TREATMENT FACILITY

OPERATION AND MAINTENANCE SCHEDULE FOR MICRO-BIORETENTION (M-6)

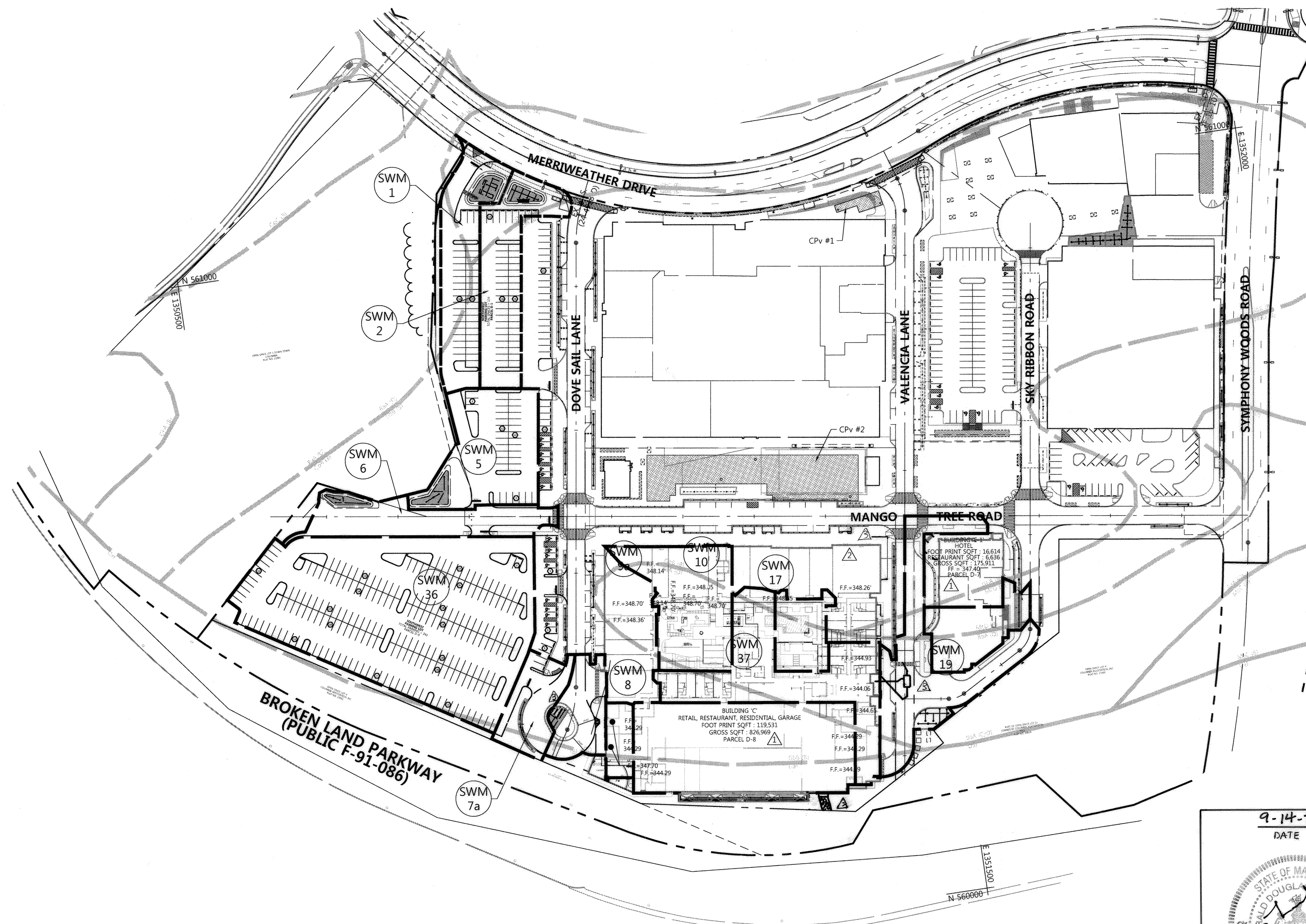
- THE OWNER SHALL MAINTAIN THE PLANT MATERIAL, MULCH LAYER AND SOIL LAYER ANNUALLY. MAINTENANCE OF MULCH AND SOIL IS LIMITED TO CORRECTING AREAS OF EROSION OR WASH OUT. ANY MULCH REPLACEMENT SHALL BE DONE IN THE SPRING. PLANT MATERIAL SHALL BE CHECKED FOR DISEASE AND INSECT INFESTATION AND MAINTENANCE WILL ADDRESS DEAD MATERIAL AND PRUNING. ACCEPTABLE REPLACEMENT PLANT MATERIAL IS LIMITED TO THE FOLLOWING: 2000 MARYLAND STORMWATER DESIGN MANUAL VOLUME II, TABLE A.4.1 AND 2.
- THE OWNER SHALL PERFORM A PLANT IN THE SPRING AND IN THE FALL OF EACH YEAR. DURING THE INSPECTION, THE OWNER SHALL REMOVE DEAD AND DISEASED VEGETATION CONSIDERED BEYOND TREATMENT, REPLACE DEAD PLANT MATERIAL WITH ACCEPTABLE REPLACEMENT PLANT MATERIAL, TREAT DISEASED TREES AND SHRUBS, AND REPLACE ALL DEFICIENT STAKES AND WIRES.
- THE OWNER SHALL INSPECT THE MULCH EACH SPRING. THE MULCH SHALL BE REPLACED EVERY TWO TO THREE YEARS. THE PREVIOUS MULCH LAYER SHALL BE REMOVED BEFORE THE NEW LAYER IS APPLIED. THE OWNER SHALL INSPECT CONCRETE CONTAINMENT WALLS ANNUALLY. REPAIR AND PATCH CONTAINMENT WALLS AS NEEDED PER HOWARD COUNTY STANDARD SPECIFICATIONS AND DETAILS FOR CONSTRUCTION.
- THE OWNER SHALL CORRECT SOIL EROSION ON AN AS NEEDED BASIS, WITH A MINIMUM OF ONCE PER MONTH AND AFTER EACH HEAVY STORM.
- PERIODICALLY REMOVE TRASH & DEBRIS AS IT ACCUMULATES.
- REMOVE AND REPLACE TOP FEW INCHES OF FILTER MEDIA WHEN WATER PONDS FOR MORE THAN 48 HRS.
- PRUNE AND REPLACE DEAD VEGETATION AS NECESSARY.
- WATER VEGETATION DURING DRY PERIODS.

- NOTE:
- THE (M-6) MICRO-BIORETENTION FACILITIES SHOWN ON THESE PLANS WILL BE PRIVATELY OWNED AND MAINTAINED.
  - (REV) GROUNDWATER RECHARGE VOLUME AND (CPV) CHANNEL PROTECTION VOLUME MANAGEMENT ARE BEING PROVIDED IN SDP-17-027.

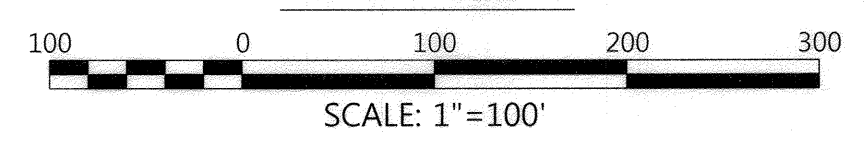
APPROVED: HOWARD COUNTY DEPT. OF PLANNING & ZONING  
 [Signature] 1/15/21  
 CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

[Signature] 2/3/21  
 CHIEF, DIVISION OF LAND DEVELOPMENT DATE

[Signature] 2-3-21  
 DIRECTOR DATE



PLAN VIEW



PROFESSIONAL CERTIFICATION  
 I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NO. 26564, EXPIRATION DATE: 7/11/2028

9-14-22  
 DATE

[Signature]  
 PROFESSIONAL ENGR. NO. 26564

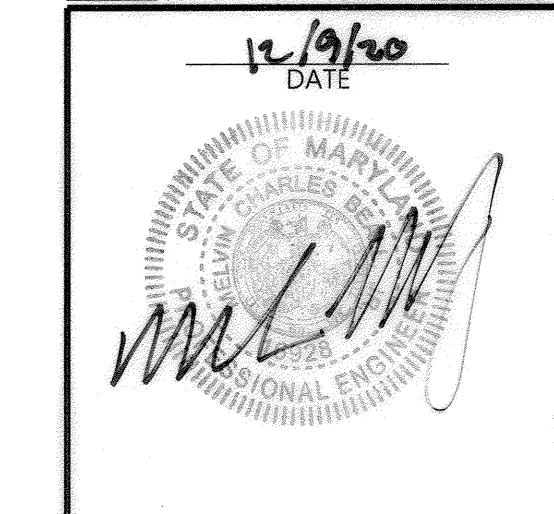
FILE NUMBERS:  
 F-15-106, F-16-107, F-17-059, F-18-017,  
 SDP-16-075, SDP-18-005, WP-17-010,  
 WP-17-049, WP-17-052, WP-17-115,  
 WP-18-020, WP-18-021, SP-16-009,  
 WP-16-100, FDP-DC-CRESENT-1,  
 FDP-DC-CRESENT-1A, SDP-17-027, F-17-057,  
 F-18-017, WP-18-089, WP-18-105.

CONTRACT NUMBERS:  
 24-4931-D, 24-4975-D, 24-4974-D.

PROFESSIONAL CERTIFICATION  
 I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NO. 16928, EXPIRATION DATE: 05/13/22

12/9/20  
 DATE

[Signature]  
 PROFESSIONAL ENGR. NO. 16928

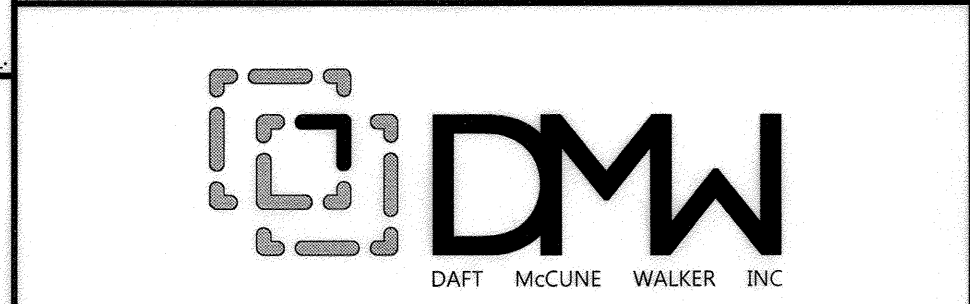


APPROVED:  
 PLANNING BOARD OF HOWARD COUNTY  
 DATE: 11/8/19

Date	No.	Revision Description
7/6/22	1	UPDATE PLANS PER AS-BUILT CONDITIONS
10/30/20	2	UPDATE PLANS PER REVISED BLDG. 'C' LAYOUT & UTILITIES
04/19/19	1	UPDATE PLANS PER REVISED BLDG. 'C' LAYOUT & NEW BLDG. E-1 HOTEL

**DOWNTOWN COLUMBIA**  
**CRESCENT NEIGHBORHOOD**  
**PHASE I AREA 3, PHASE 2**  
 PARCELS D-1, D-7, D-8, D-9,  
 D-11, D-12 AND D-13  
 MIXED USE GREEN OFFICE, RESIDENTIAL, RETAIL, RESTAURANT, & HOTEL BUILDING

OWNER / DEVELOPER:  
 THE HOWARD RESEARCH AND DEVELOPMENT CORPORATION  
 COLUMBIA REGIONAL OFFICE  
 10960 GRANTCHESTER WAY SUITE 110  
 COLUMBIA, MD 21044  
 410-964-4800



501 FAIRMOUNT AVENUE SUITE 300 TOWSON, MD 21286  
 P: 410 296 3333 F: 410 296 4705 WWW.DMW.COM

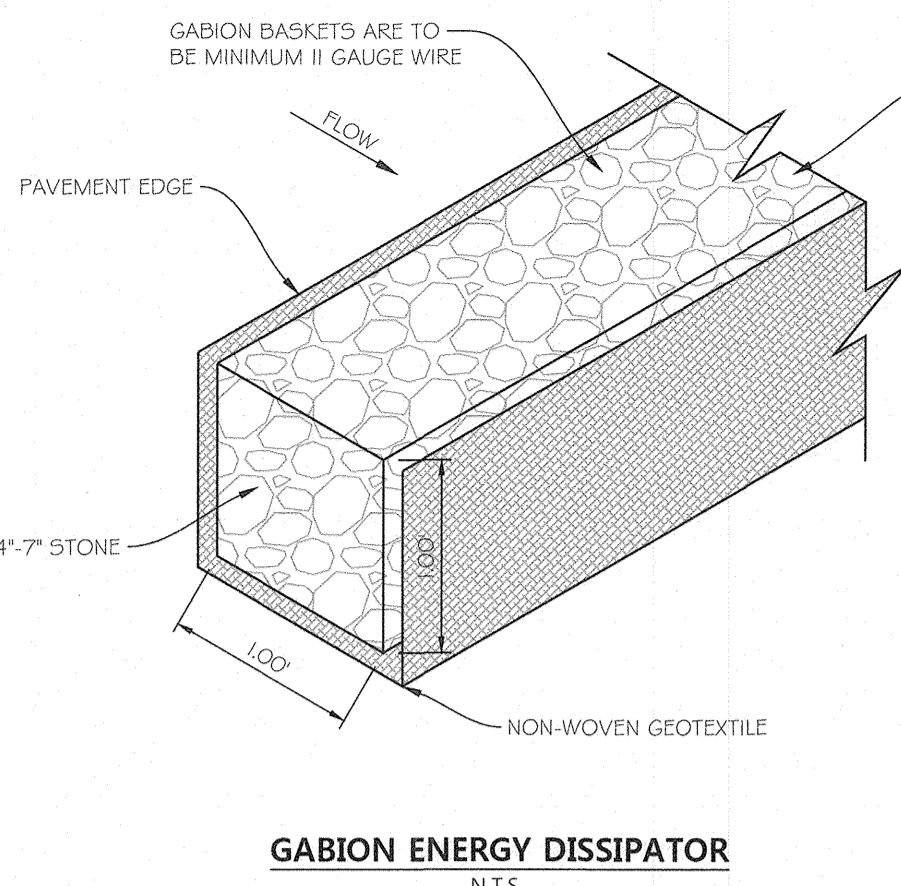
SUBDIVISION NAME: DOWNTOWN COLUMBIA SECTION: CRESCENT NEIGHBORHOOD LOT/PARCEL # PARCEL D  
 FEAT. # 2480 BLOCK # 7 ZONE MAP 36 DISTRICT 5 CENSUS TRACT 60562  
 WATER CODE 550 SEWER CODE LITTLE PATUXENT STAGE 1

TITLE: (WQV) STORMWATER MANAGEMENT DRAINAGE AREA MAP & O&M REVISED SITE DEVELOPMENT PLAN			
Des. By	GDT/DM	SCALE AS SHOWN	Proj. No. 04038.B0
Drn. By	MCJ	Date 02/15/19	
Chk. By	MCB	Approved MCB	26 of 78

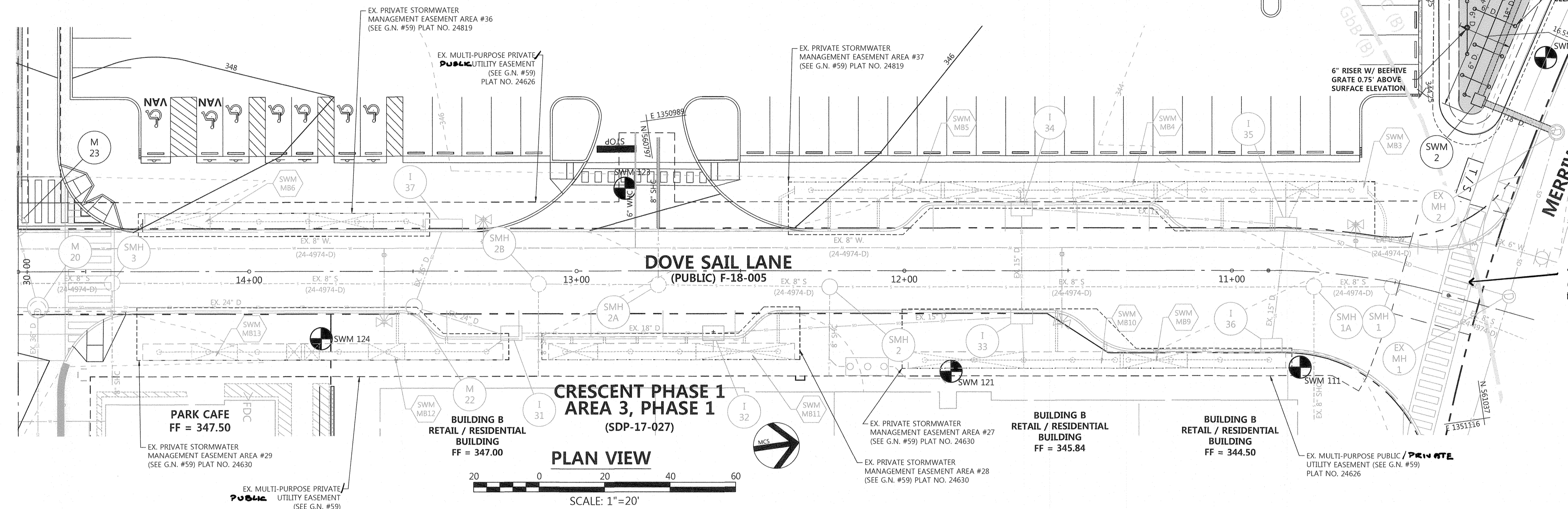
**LEGEND**

	LIMIT OF DISTURBANCE
	PROPERTY LINE
	PARCEL LINE
	EX. CONTOURS
	EX. SEWER
	EX. STORM DRAIN
	EX. WATER
	EX. TREELINE
	PROP. BUILDING
	PROP. CURB
	PROP. CONTOURS
	PROP. EASEMENT
	PROP. SEWER
	PROP. STORM DRAIN
	PROP. WATER
	SOILS
	PROP STREET LIGHT
	FIRE HYDRANT
	(M-6) WATER QUALITY TREATMENT FACILITY
	SOIL BORING

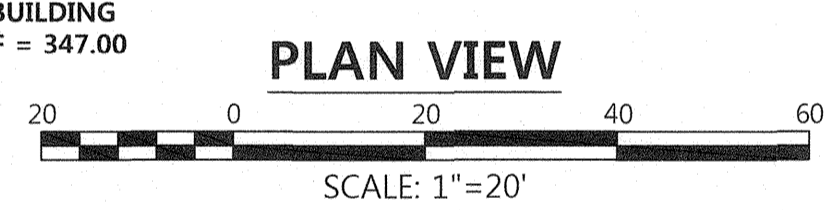
**NOTE**  
CONTRACTOR TO NOTIFY STRUCTURAL ENGINEER IF THERE ARE ANY CONFLICTS WITH THE (M-6) MODULAR WALLS/FOOTINGS AND ADJACENT STORM DRAIN PIPES AND STRUCTURES.



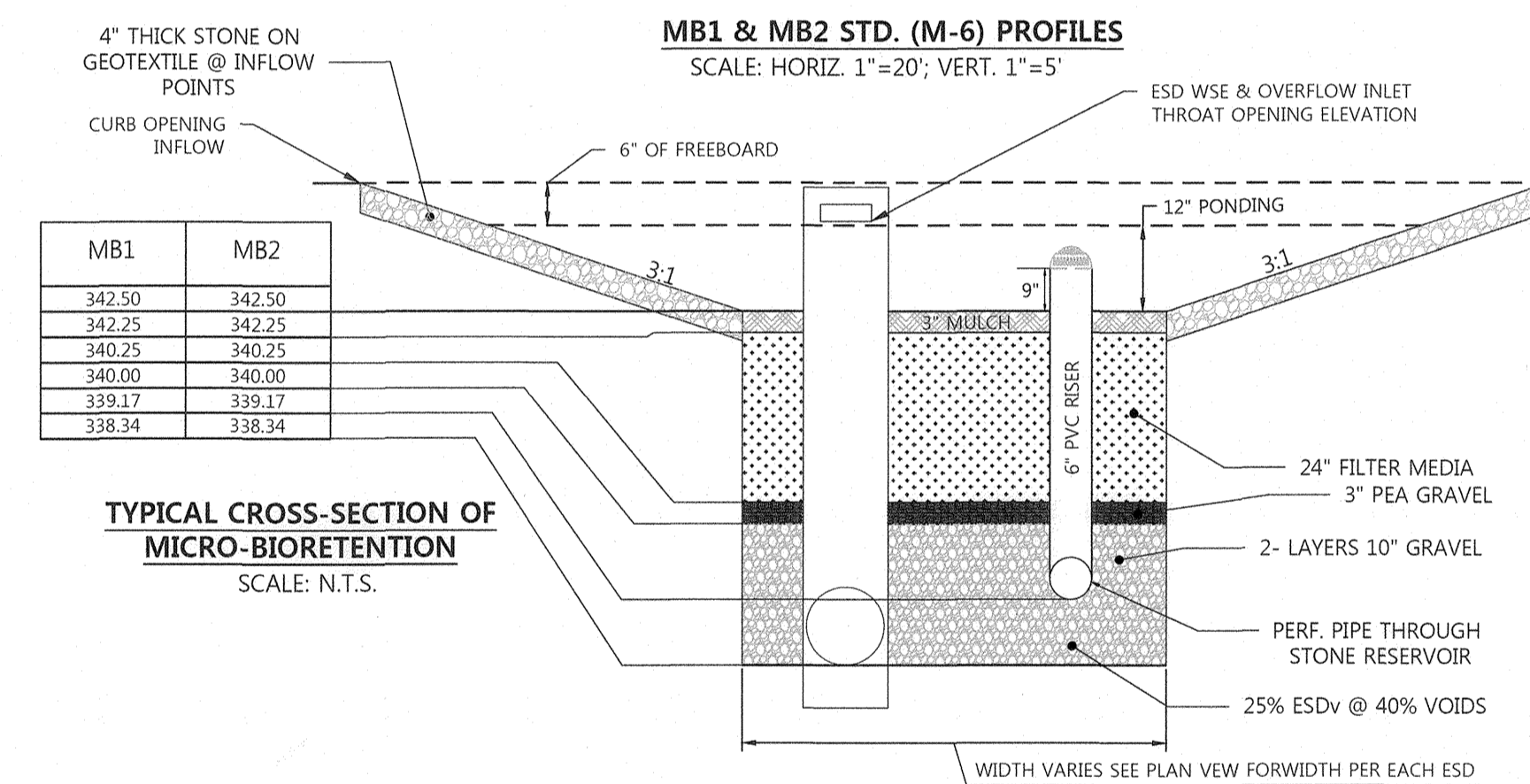
**GABION ENERGY DISSIPATOR**  
N.T.S.



**CRESCENT PHASE 1 AREA 3, PHASE 1**  
(SDP-17-027)

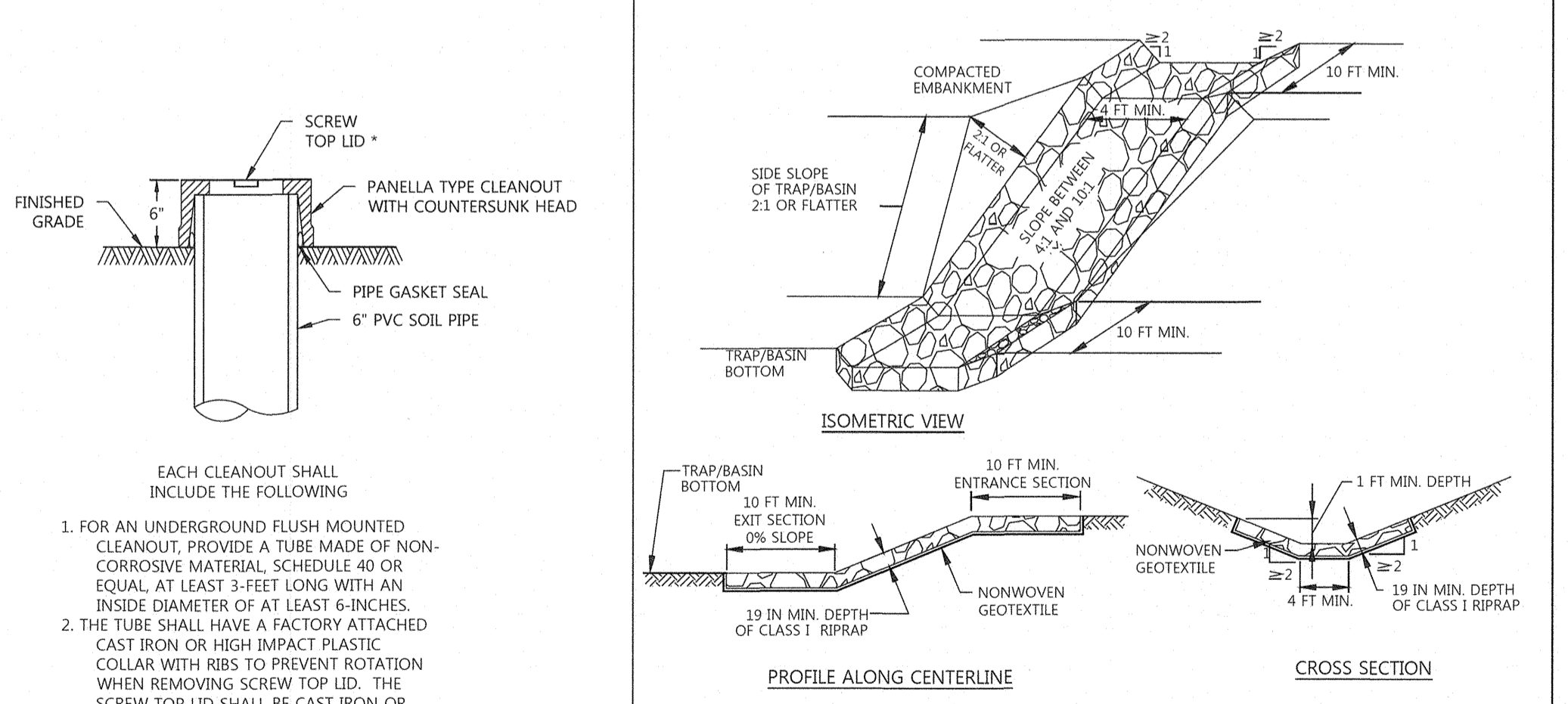


**EX. PUBLIC WATER, SEWER AND UTILITY EASEMENT, PLAT NO. 2399Z**



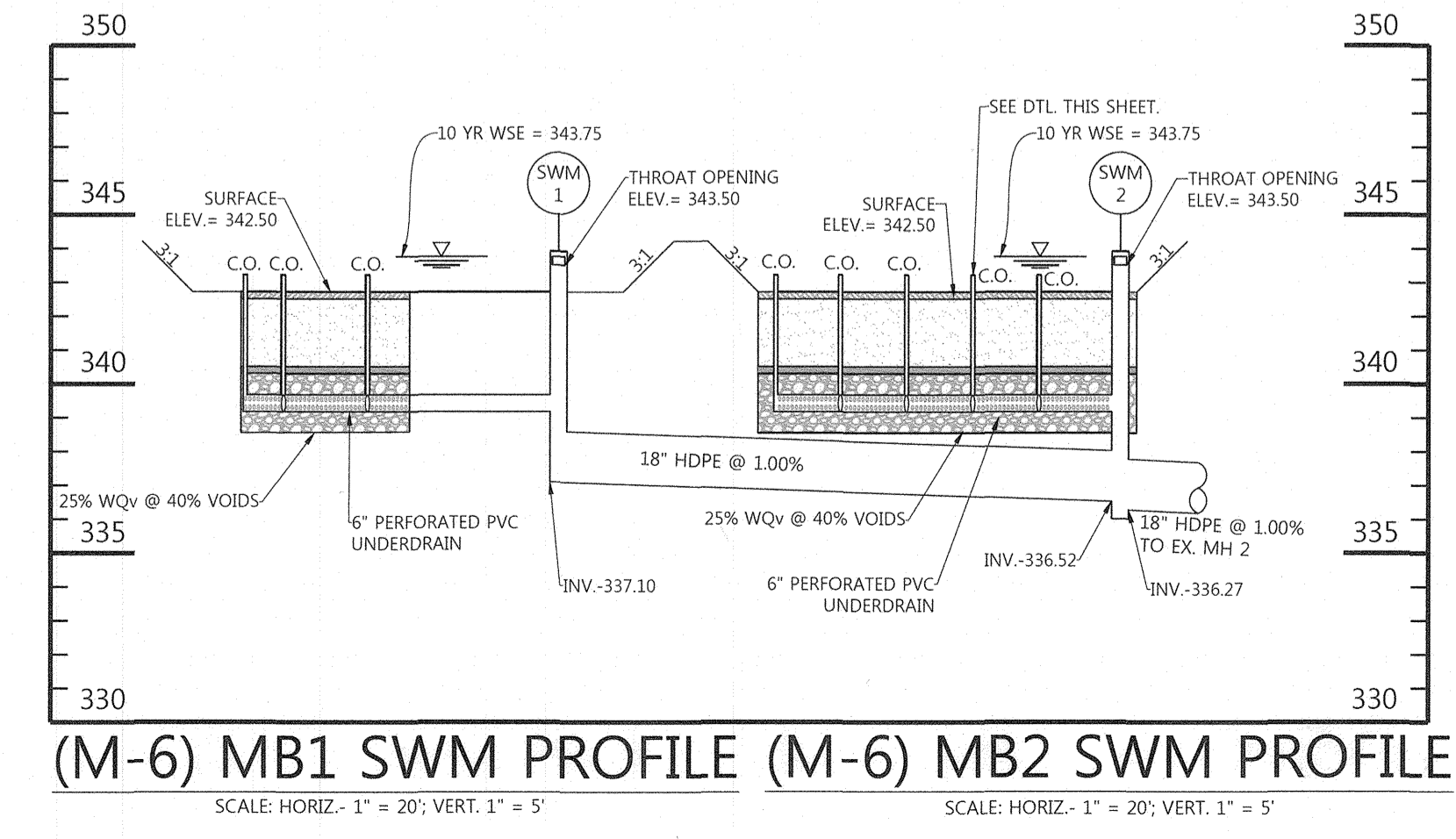
**TYPICAL CROSS-SECTION OF MICRO-BIORETENTION**  
SCALE: N.T.S.

**DETAIL D-3-1 RIPRAP INFLOW PROTECTION**



- CONSTRUCTION SPECIFICATIONS**
1. PROVIDE NONWOVEN GEOTEXTILE, AS SPECIFIED IN SECTION H-1 MATERIALS, UNDER THE BOTTOM AND ALONG SIDES OF ALL RIPRAP.
  2. CONSTRUCT INFLOW CHANNEL WITH CLASS 1 RIPRAP OR EQUIVALENT RECYCLED CONCRETE LINING TO A MINIMUM DEPTH OF 19 INCHES (2 x D<sub>90</sub>) AND A 1 FOOT DEEP FLOW CHANNEL. INFLOW RIPRAP PROTECTION CHANNEL MUST HAVE A TRAPEZOIDAL CROSS SECTION WITH 2:1 OR FLATTER SIDE SLOPES AND A 4 FOOT MINIMUM BOTTOM WIDTH.
  3. INSTALL ENTRANCE AND EXIT SECTIONS AS SHOWN ON THE PROFILE.
  4. BLEND RIPRAP INTO EXISTING GROUND.
  5. MAINTAIN LINE, GRADE, AND CROSS SECTION. REMOVE ACCUMULATED SEDIMENT AND DEBRIS. KEEP POINTS OF INFLOW AND OUTFLOW FREE OF EROSION.

MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL  
U.S. DEPARTMENT OF AGRICULTURE NATURAL RESOURCES CONSERVATION SERVICE 2011  
MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION



**(M-6) MB1 SWM PROFILE (M-6) MB2 SWM PROFILE**  
SCALE: HORIZ. 1" = 20'; VERT. 1" = 5'

- NOTE:**
1. FOR DETAIL ON THE COVER OVER THE WATER QUALITY FACILITIES SEE HARDSCAPE PLANS.
  2. SEE STRUCTURAL SHEET 65 FOR MODULAR (M-6) FACILITY AND SUPPORT DETAIL OF SWM HARDSCAPE PANEL.
  3. ESD MODULAR (M-6) FACILITIES ARE 5' WIDTH UNLESS OTHER WISE NOTED, SEE ESD PROFILES FOR LENGTH.
  4. REFER TO STORMWATER MANAGEMENT SHEET 26 FOR STANDARD MODULAR (M-6) FACILITY MATERIAL SPECIFICATIONS, SEQUENCE OF CONSTRUCTION AND OPERATION & MAINTENANCE SCHEDULES.
  5. SEE GENERAL NOTE #59 REGARDING EASEMENTS

**CLEAN OUT DETAIL**  
NOT TO SCALE

EACH CLEANOUT SHALL INCLUDE THE FOLLOWING

1. FOR AN UNDERGROUND FLUSH MOUNTED CLEANOUT, PROVIDE A TUBE MADE OF NON-CORROSIVE MATERIAL, SCHEDULE 40 OR EQUAL, AT LEAST 3'-FEET LONG WITH AN INSIDE DIAMETER OF AT LEAST 6-INCHES.
2. THE TUBE SHALL HAVE A FACTORY ATTACHED CAST IRON OR HIGH IMPACT PLASTIC COLLAR WITH RIBS TO PREVENT ROTATION WHEN REMOVING SCREW TOP LID. THE SCREW TOP LID SHALL BE CAST IRON OR HIGH IMPACT PLASTIC THAT WILL WITHSTAND ULTRA-VIOLET RAYS.

\* ABOVE DETAIL PROVIDED AS SCHEMATIC SCREW TOP PVC CLEAN OUT CAP ONLY

**APPROVED:** HOWARD COUNTY DEPT. OF PLANNING & ZONING

*John Paul* 3-20-19  
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

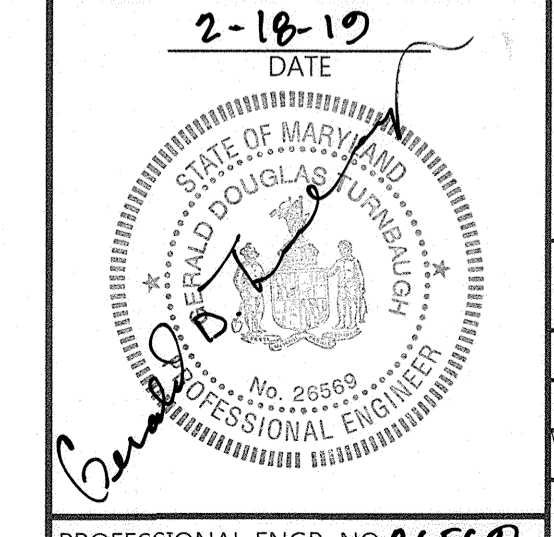
*Keith Devoe* 4-24-19  
CHIEF, DIVISION OF LAND DEVELOPMENT DATE

*William J. Blum* 4-24-19  
DIRECTOR, DIVISION OF LAND DEVELOPMENT DATE

**FILE NUMBERS:**  
F 15-106, F 16-107, F 17-059, F 18-017, SDP-16-075, SDP-18-005, WP-17-010, WP-17-049, WP-17-052, WP-17-115, WP-18-000, WP-18-021, SP-16-009, WP-16-100, FDP-DC-CRESCENT-1, FDP-DC-CRESCENT-1A, SDP 17-027, F 17-057, F18-017, WP-18-089, WP-18-105.

**CONTRACT NUMBERS:**  
24-4931-D, 24-4975-D, 24-4974-D.

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I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 26569, EXPIRATION DATE: 7-18-19.



APPROVED:  
PLANNING BOARD OF HOWARD COUNTY  
DATE: 11/2/18

Date	No.	Revision Description

**DOWNTOWN COLUMBIA**  
**CRESCENT NEIGHBORHOOD**  
**PHASE 1 AREA 3, PHASE 2**  
PARCELS D-1, D-7, D-8, D-9, D-11, D-12 AND D-13  
MIXED USE GREEN OFFICE, RESIDENTIAL, RETAIL, RESTAURANT BUILDING

OWNER / DEVELOPER:  
THE HOWARD RESEARCH AND DEVELOPMENT CORPORATION  
COLUMBIA REGIONAL OFFICE  
10480 LITTLE PATUXENT PARKWAY SUITE 400  
COLUMBIA, MD 21044  
410-964-4800

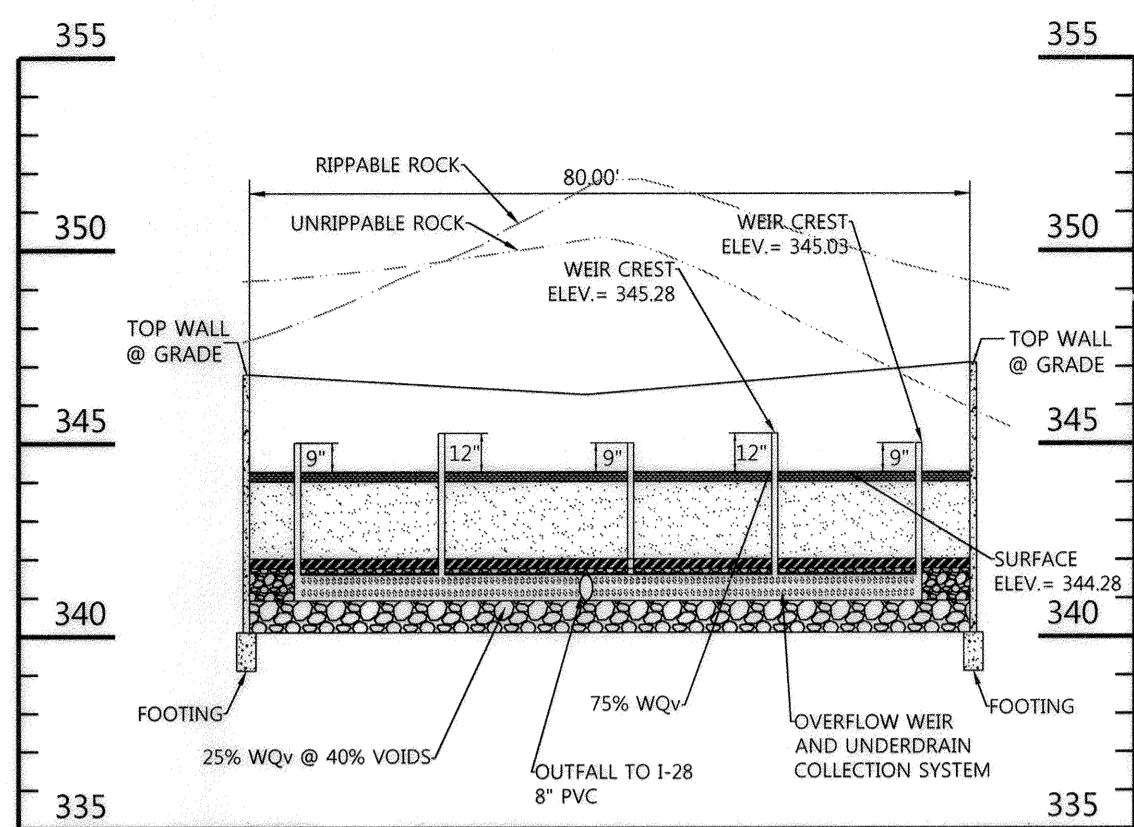
**DMW**  
DAFF MCCUNE WALKER INC

501 FAIRMOUNT AVENUE SUITE 300 TOWSON, MD 21286  
P: 410 296 3333 F: 410 296 4705 WWW.DMW.COM

PROJECT OR SITE NAME	SECTION/AREA	LOT/PARCEL #
DOWNTOWN COLUMBIA	CRESCENT NEIGHBORHOOD	
PROJECT OR SITE NUMBER	BLOCK NUMBER	CENSUS TRACT
7	36	605602
WATER CODE	SEWER CODE	STAGE
550	LITTLE PATUXENT	1

**TITLE (M-6) WQv STORMWATER MANAGEMENT PLAN**

Des. By	GDT/DM	SCALE	AS SHOWN	Proj. No.	04038.B0
Dwn. By	MCJ	Date	02/15/19		
Chk. By	MCB	Approved	MCB		27 of 78



**(M-6) MB51 SWM PROFILE**  
SCALE: HORIZ. 1" = 20'; VERT. 1" = 5'

ESD OPENINGS FROM CURB

ESD	INSIDE ELEV @ ESD BOX	LINEAR PROFILE STATION
MB51	345.70	2+19.30
MB51	345.59	2+28.35
MB51	345.64	2+44.86
MB51	345.96	2+59.92
MB51	346.28	2+74.98

NOTE: FOR FLOWLINE STATIONS AND ELEVATION ROAD PLAN, SEE SHEET 18.

ESD OUTFLOW PIPE LOCATION TABLE

FACILITY #	CENTERLINE STA.	OFFSET	INVERT @ ESD WALL	PIPE DIA. (IN)
MB51	17+92.23	58.23 RT	340.85	8"

ESD COVER PANEL BRIDGE LOCATION TABLE

ESD #	ROAD NAME	C.L. LOCATION	BEGIN BRIDGE STATION	END BRIDGE STATION
MB51	DOVE SAIL LANE	RT	17+82.49	17+89.08
		RT	18+9.12	18+14.54

(M-6) SWM LOCATION TABLE

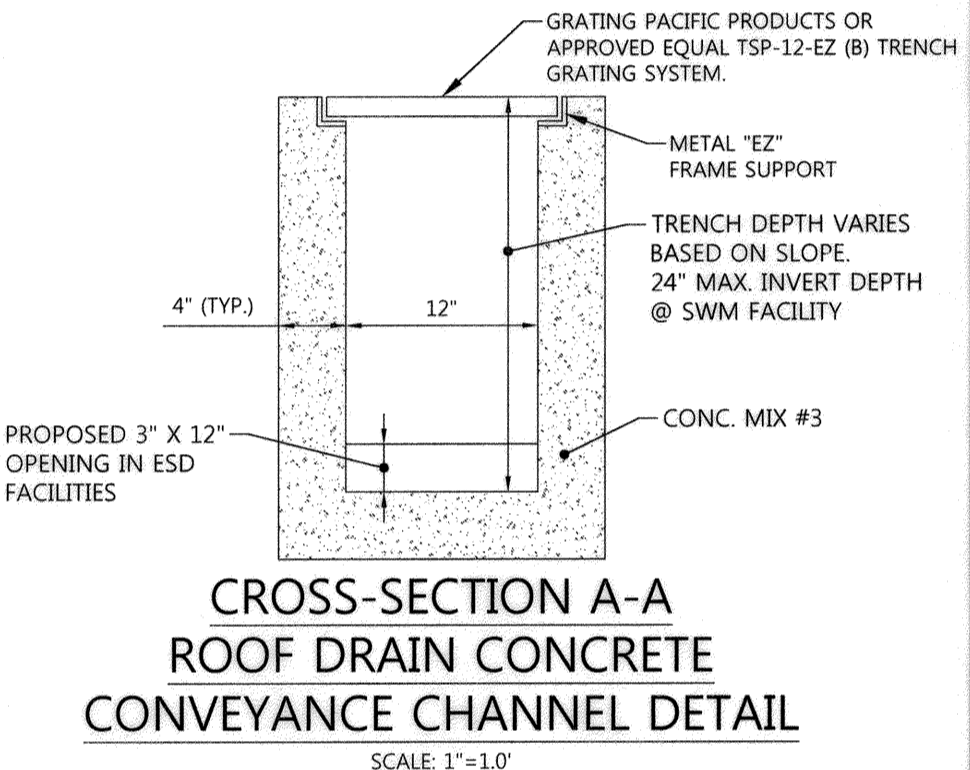
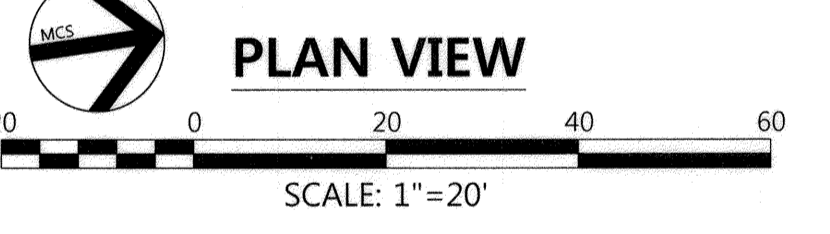
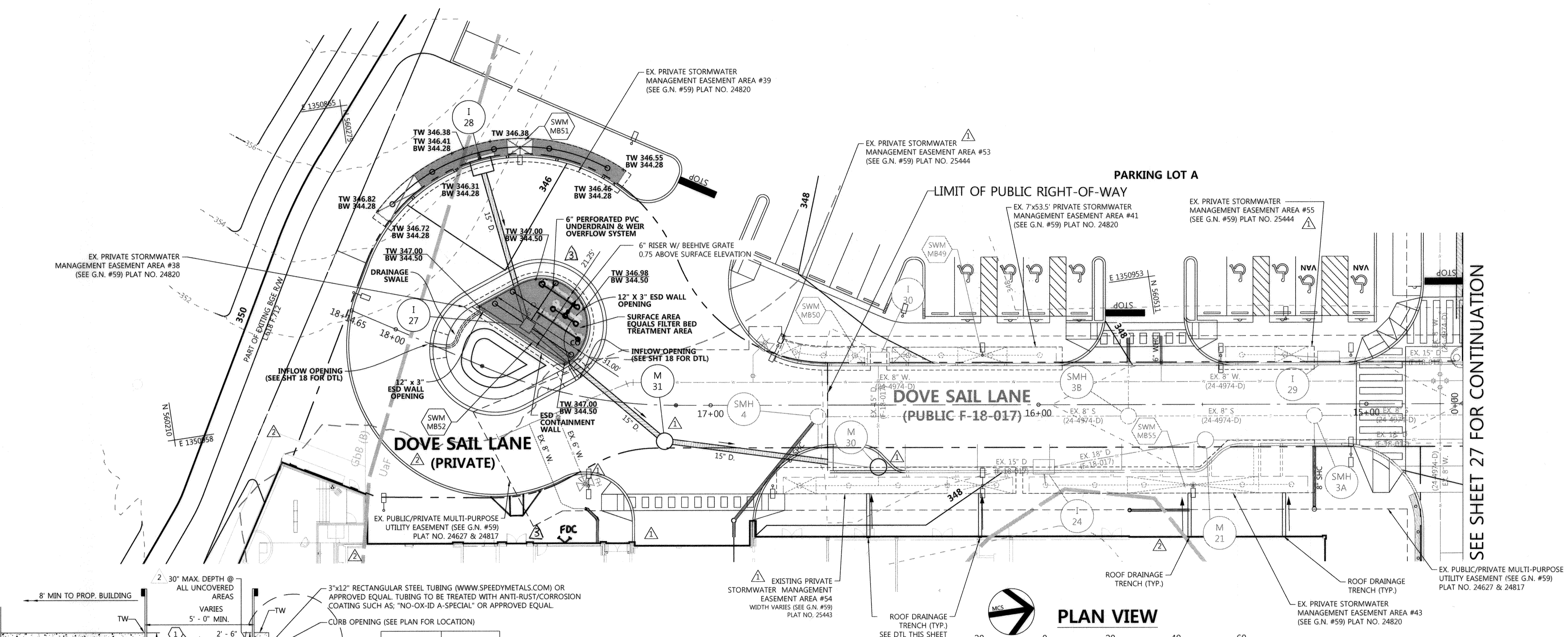
FACILITY #	CENTERLINE STA.	OFFSET
MB51	17+42.70	65.21'R
MB51	17+39.25	69.84'R
MB51	17+99.30	61.4'R
MB51	18+14.54	29.14'R
MB52	17+50.20	30.70'R
MB52	17+80.10	15.85'R
MB52	17+46.82	8.01'R

ESD LIGHT POLE LOCATION TABLE

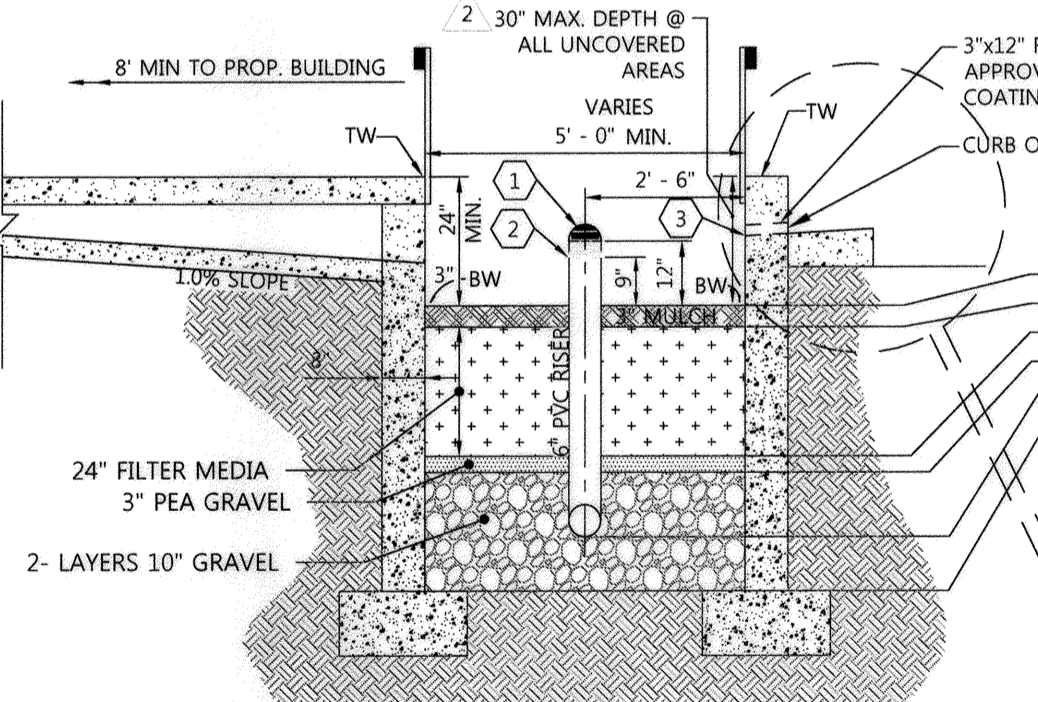
ESD#	CENTERLINE STA.	TOP PLATE ELEV.
MB51	2+48.54	346.57
MB53	16+81.14	347.63

**LEGEND**

- LIMIT OF DISTURBANCE
- PROPERTY LINE
- PARCEL LINE
- EX. CONTOURS
- EX. SEWER
- EX. STORM DRAIN
- EX. WATER
- EX. TREELINE
- PROP. BUILDING
- PROP. CURB
- PROP. CONTOURS
- PROP. EASEMENT
- PROP. SEWER
- PROP. STORM DRAIN
- PROP. WATER
- SOILS
- PROP STREET LIGHT
- FIRE HYDRANT
- (M-6) WATER QUALITY TREATMENT FACILITY
- SOIL BORING

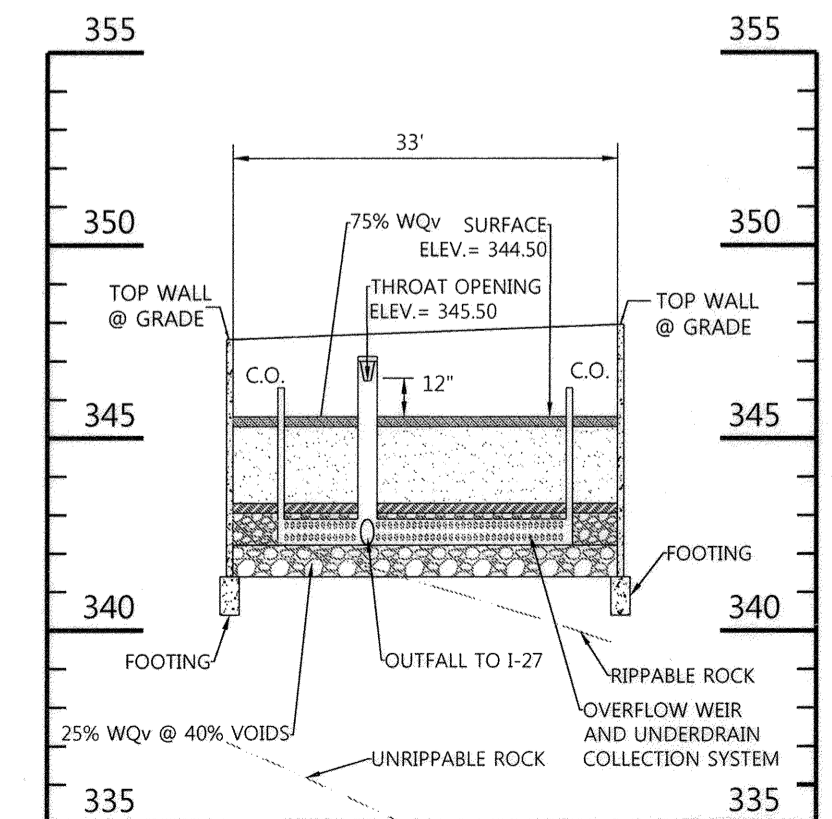
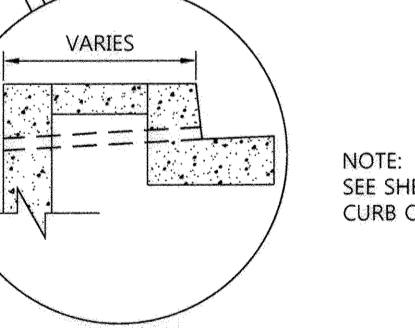


- NOTE:**
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  - SEE STRUCTURAL SHEET 65 FOR MODULAR (M-6) FACILITY AND SUPPORT DETAIL OF SWM HARDSCAPE PANEL.
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  - SEE GENERAL NOTE #59 REGARDING EASEMENTS



MB51	MB52
344.28	344.50
344.03	344.25
342.03	342.25
341.78	342.00
340.95	341.17
340.12	340.34
5	VARIABLES
3A8/3S-3	4B/S-3

- HIGH FREQUENCY STORM OVERFLOW WEIR (REFER TO PROFILE FOR WEIR CREST ELEVATIONS)
- OVERFLOW WEIR FOR UNDERGROUND WQV STORAGE (25%) (REFER TO PROFILES FOR WEIR CREST ELEVATIONS)
- SEE CURB ESD OPENING TABLE FOR INVERT AND LOCATION.



**(M-6) MB52 SWM PROFILE**  
SCALE: HORIZ. 1" = 20'; VERT. 1" = 5'

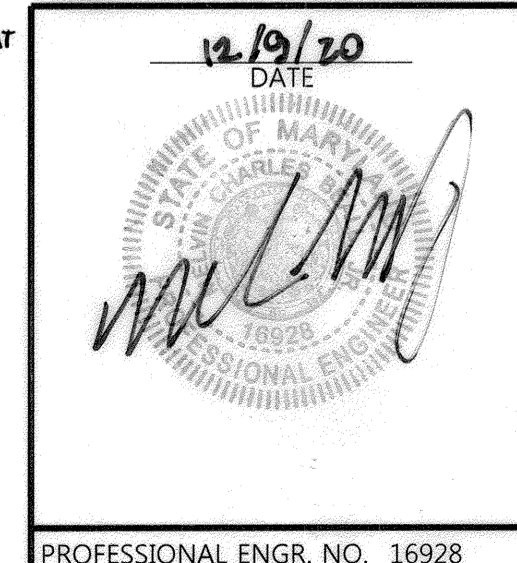
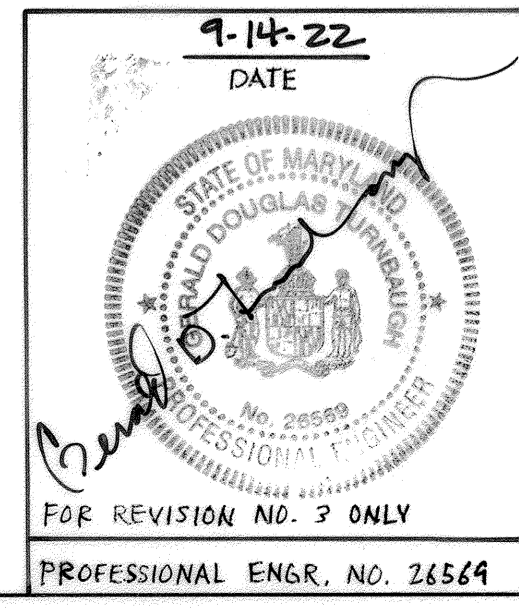
APPROVED: HOWARD COUNTY DEPT. OF PLANNING & ZONING

1-15-21  
DATE

1-15-21  
DATE

2-3-21  
DATE

PROFESSIONAL CERTIFICATION  
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NO. 26549, EXPIRATION DATE: 7/18/2023



APPROVED:  
PLANNING BOARD OF HOWARD COUNTY  
DATE: 11/8/18

**DOWNTOWN COLUMBIA**  
CRESCENT NEIGHBORHOOD  
PHASE I AREA 3, PHASE 2  
PARCELS D-1, D-7, D-8, D-9,  
D-11, D-12 AND D-13  
MIXED USE GREEN OFFICE, RESIDENTIAL, RETAIL, RESTAURANT, & HOTEL BUILDING

OWNER / DEVELOPER:  
THE HOWARD RESEARCH AND DEVELOPMENT CORPORATION  
COLUMBIA REGIONAL OFFICE  
10960 GRANTCHESTER WAY SUITE 110  
COLUMBIA, MD 21044  
410-964-4800

**DW**  
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501 FAIRMOUNT AVENUE SUITE 300 TOWSON, MD 21286  
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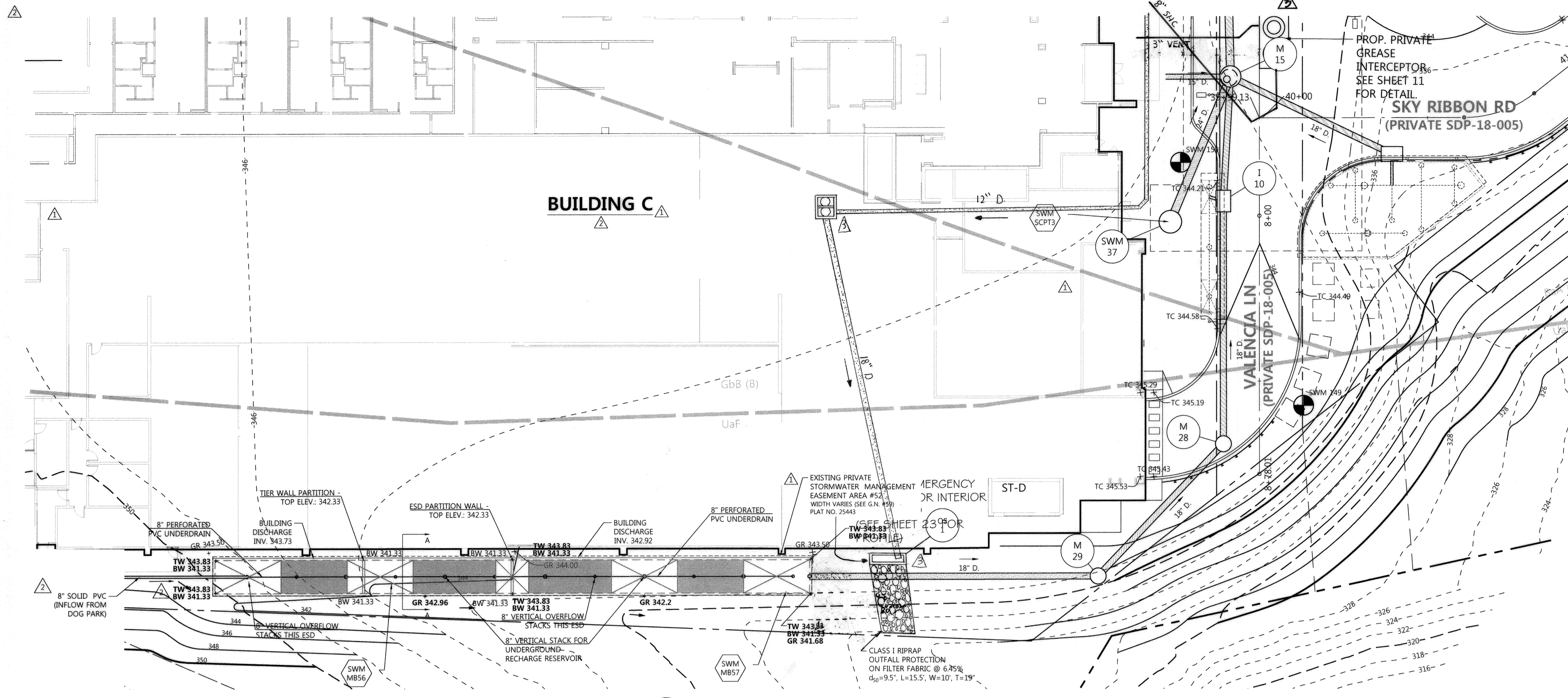
PROFESSIONAL ENGR. NO. 16928

APPROVED:  
PLANNING BOARD OF HOWARD COUNTY  
DATE: 11/8/18

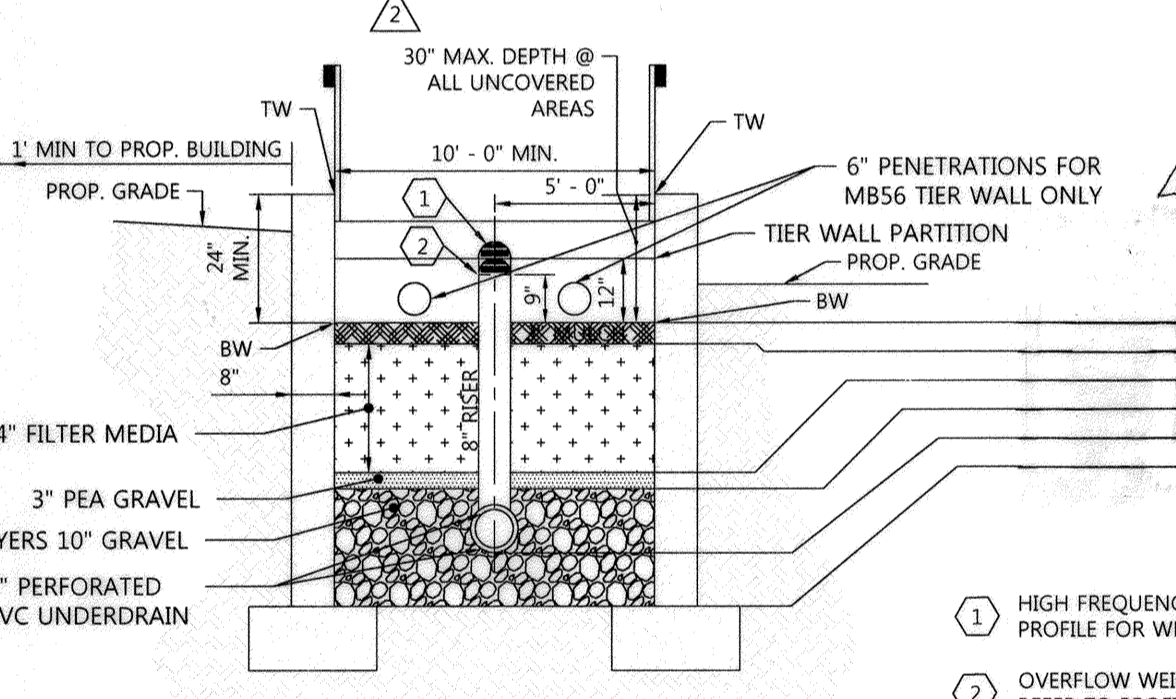
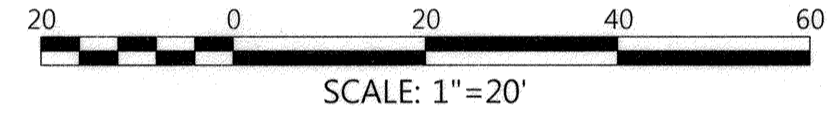
Des. By GDT/DM SCALE AS SHOWN Proj. No. 04038.B0  
Drn. By MCJ Date 02/15/19  
Chk. By MCB Approved MCB 28 of 78

**LEGEND**

- LIMIT OF DISTURBANCE
- - - - - PROPERTY LINE
- - - - - PARCEL LINE
- - - - - EX. CONTOURS
- - - - - EX. SEWER
- - - - - EX. STORM DRAIN
- - - - - EX. WATER
- - - - - EX. TREELINE
- - - - - PROP. BUILDING
- - - - - PROP. CURB
- - - - - PROP. TRENCH DRAIN
- - - - - PROP. CONTOURS
- - - - - PROP. EASEMENT
- - - - - PROP. SEWER
- - - - - PROP. STORM DRAIN
- - - - - PROP. WATER
- - - - - SOILS
- - - - - PROP STREET LIGHT
- - - - - FIRE HYDRANT
- - - - - (M-6) WATER QUALITY TREATMENT FACILITY
- - - - - SOIL BORING
- - - - - EX. BOLLARD
- - - - - EX. PLANTER BOX
- - - - - CPV UNDERGROUND STORAGE
- - - - - PLANTER (NON-SWM)
- - - - - EX (M-6) WATER QUALITY TREATMENT FACILITY



**PLAN VIEW**



**TYPICAL CROSS-SECTION A-A OF MODULAR (M-6) FACILITY**  
SCALE: N.T.S.

	MB56	MB57
341.33	341.33	341.33
341.08	341.08	341.08
339.08	339.08	339.08
338.83	338.83	338.83
338.00	338.00	338.00
337.17	337.17	337.17
	10	10

- ① HIGH FREQUENCY STORM OVERFLOW WEIR (REFER TO PROFILE FOR WEIR CREST ELEVATIONS)
- ② OVERFLOW WEIR FOR UNDERGROUND WQv STORAGE (25%) REFER TO PROFILES FOR WEIR CREST ELEVATIONS)

**NOTE**  
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  5. REFER TO STORMWATER MANAGEMENT SHEET 26 FOR STANDARD MODULAR (M-6) FACILITY MATERIAL SPECIFICATIONS, SEQUENCE OF CONSTRUCTION AND OPERATION & MAINTENANCE SCHEDULES.
  6. SEE GENERAL NOTE #59 REGARDING EASEMENTS

Date	No.	Revision Description
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10/30/20	2	UPDATE PLANS PER REVISED BLDG. 'C' LAYOUT & UTILITIES
04/19/19	1	UPDATE PLANS PER REVISED BLDG. 'C' LAYOUT & NEW BLDG. E-1 HOTEL

**DOWNTOWN COLUMBIA**  
**CRESCENT NEIGHBORHOOD**  
**PHASE I AREA 3, PHASE 2**  
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D-11, D-12 AND D-13  
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COLUMBIA REGIONAL OFFICE  
10960 GRANTCHESTER WAY SUITE 110  
COLUMBIA, MD 21044  
410-964-4800

**FILE NUMBERS:**  
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**CONTRACT NUMBERS:**  
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PROFESSIONAL CERTIFICATION  
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9-14-22  
DATE

FOR REVISION NO. 9 ONLY  
PROFESSIONAL ENGR. NO. 26569

12/9/20  
DATE

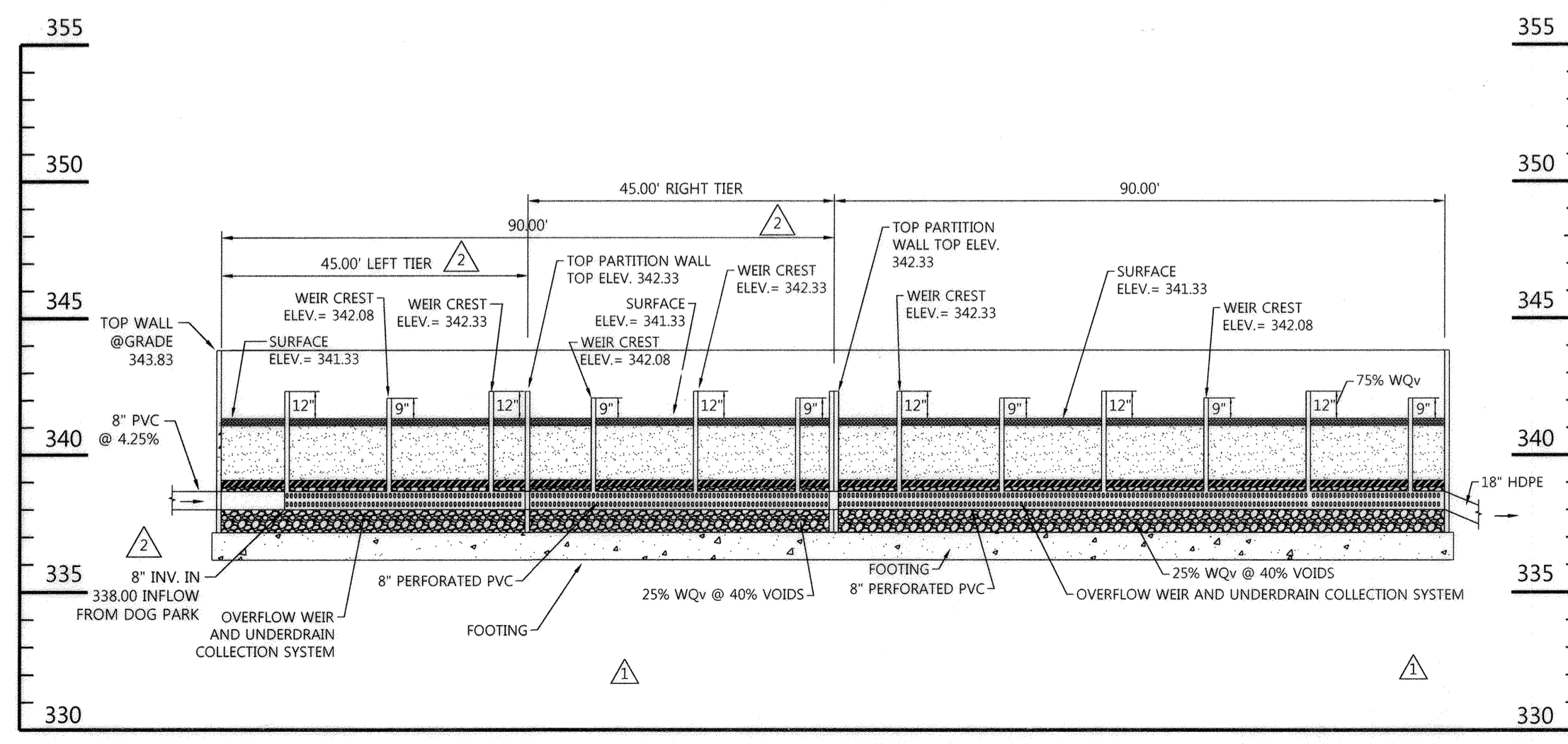
PROFESSIONAL ENGR. NO. 16928

APPROVED: HOWARD COUNTY DEPT. OF PLANNING & ZONING

\_\_\_\_\_  
CHIEF, DEVELOPMENT ENGINEERING DIVISION  
DATE: 1-15-21

\_\_\_\_\_  
CHIEF, DIVISION OF LAND DEVELOPMENT  
DATE: 2/3/21

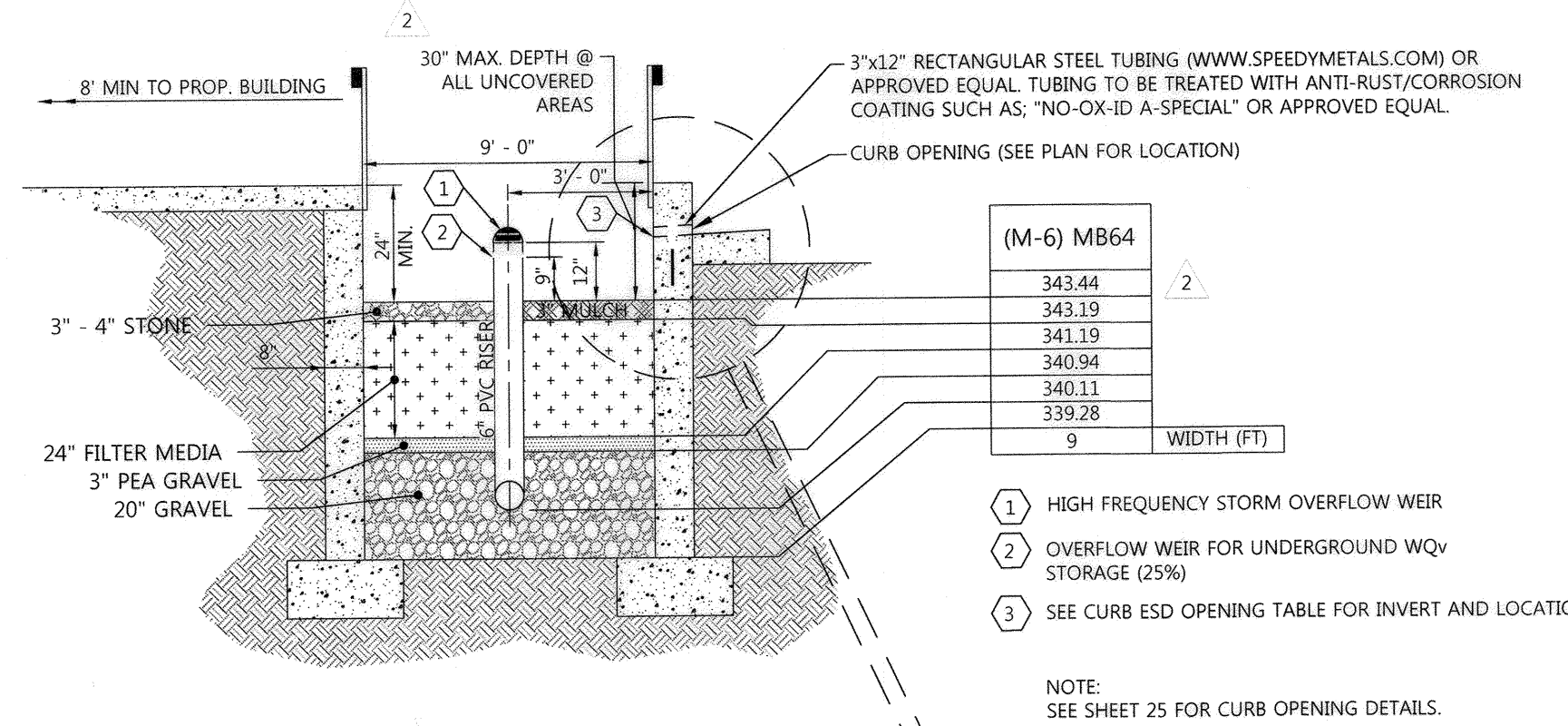
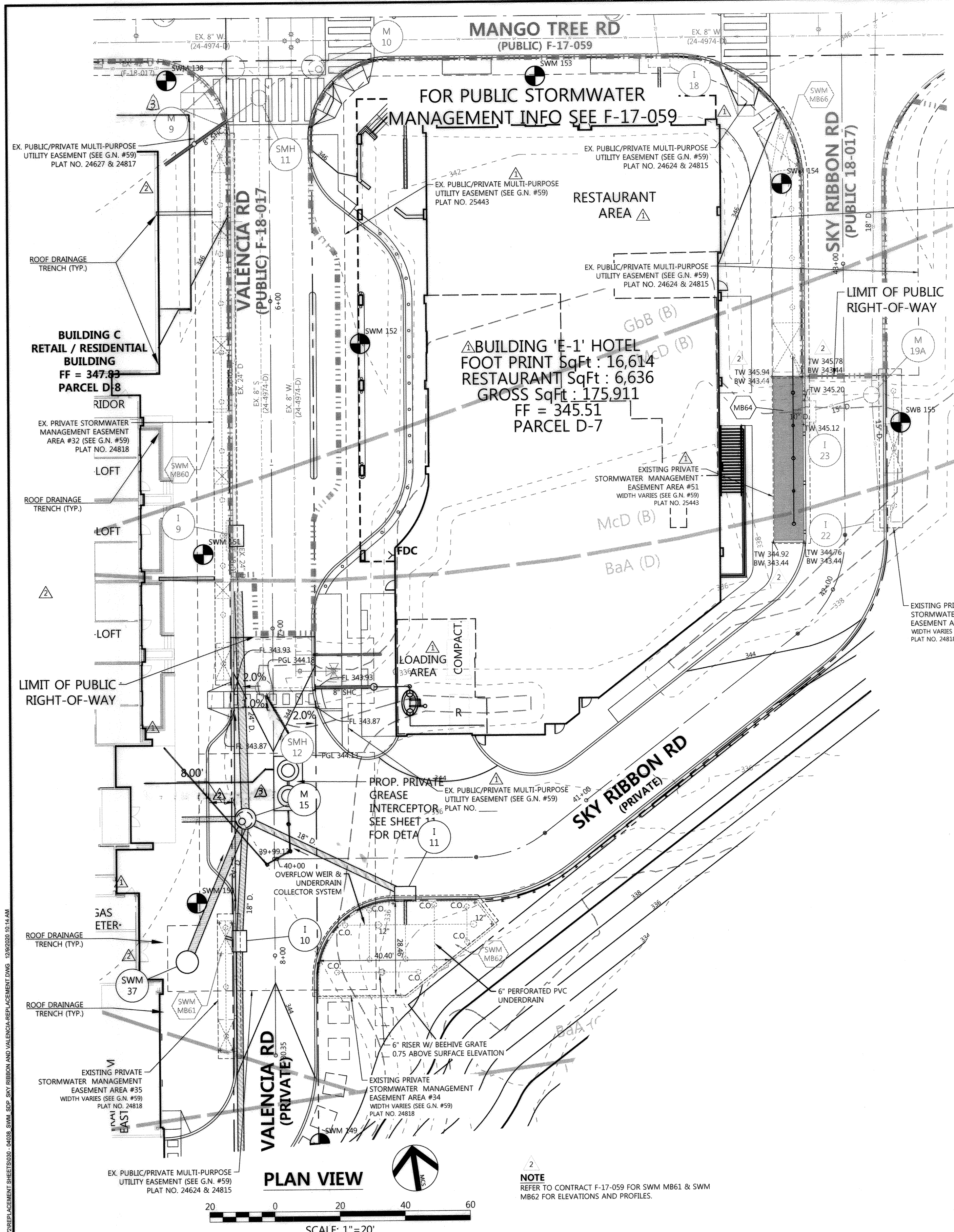
\_\_\_\_\_  
DIRECTOR  
DATE: 2-3-21



**(M-6) MB56 SWM PROFILE**      **(M-6) MB57 SWM PROFILE**  
SCALE: HORIZ. 1" = 20'; VERT. 1" = 5'

APPROVED: PLANNING BOARD OF HOWARD COUNTY  
DATE: 1/18/18

Des. By GDT/DM      SCALE AS SHOWN      Proj. No. 04038.B0  
Dwn. By MCJ      Date 02/15/19  
Chk. By MCB      Approved MCB      29 of 78

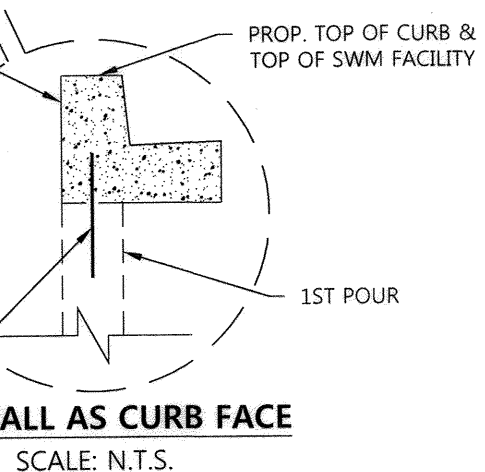


TYPICAL CROSS-SECTION OF MODULAR (M-6) FACILITY  
SCALE: N.T.S.

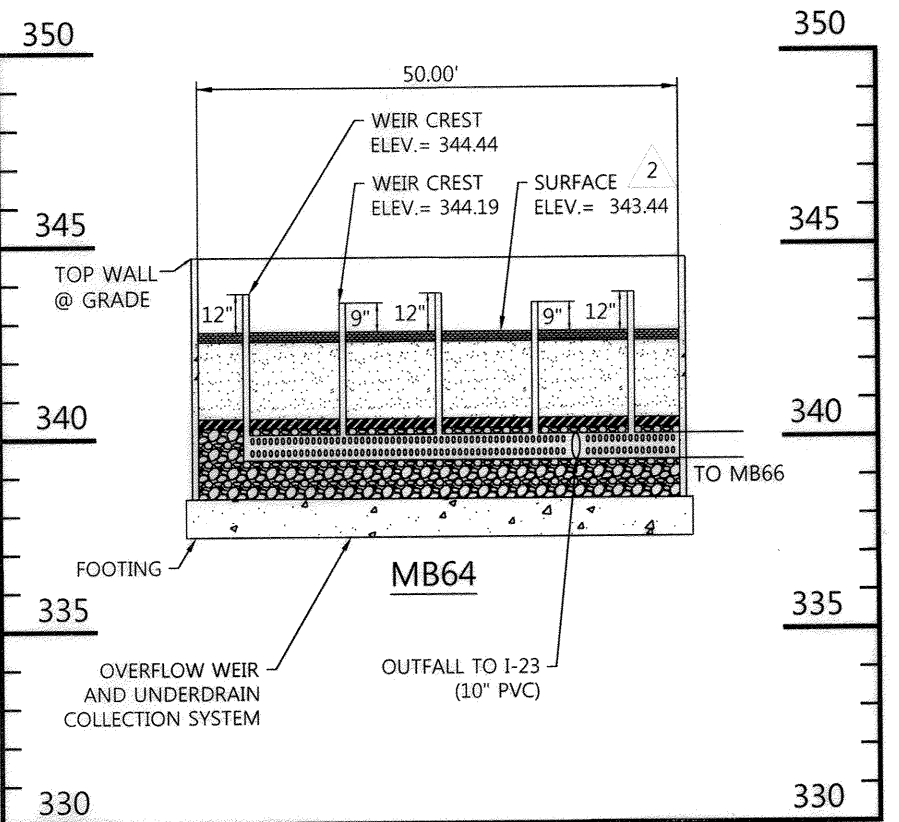
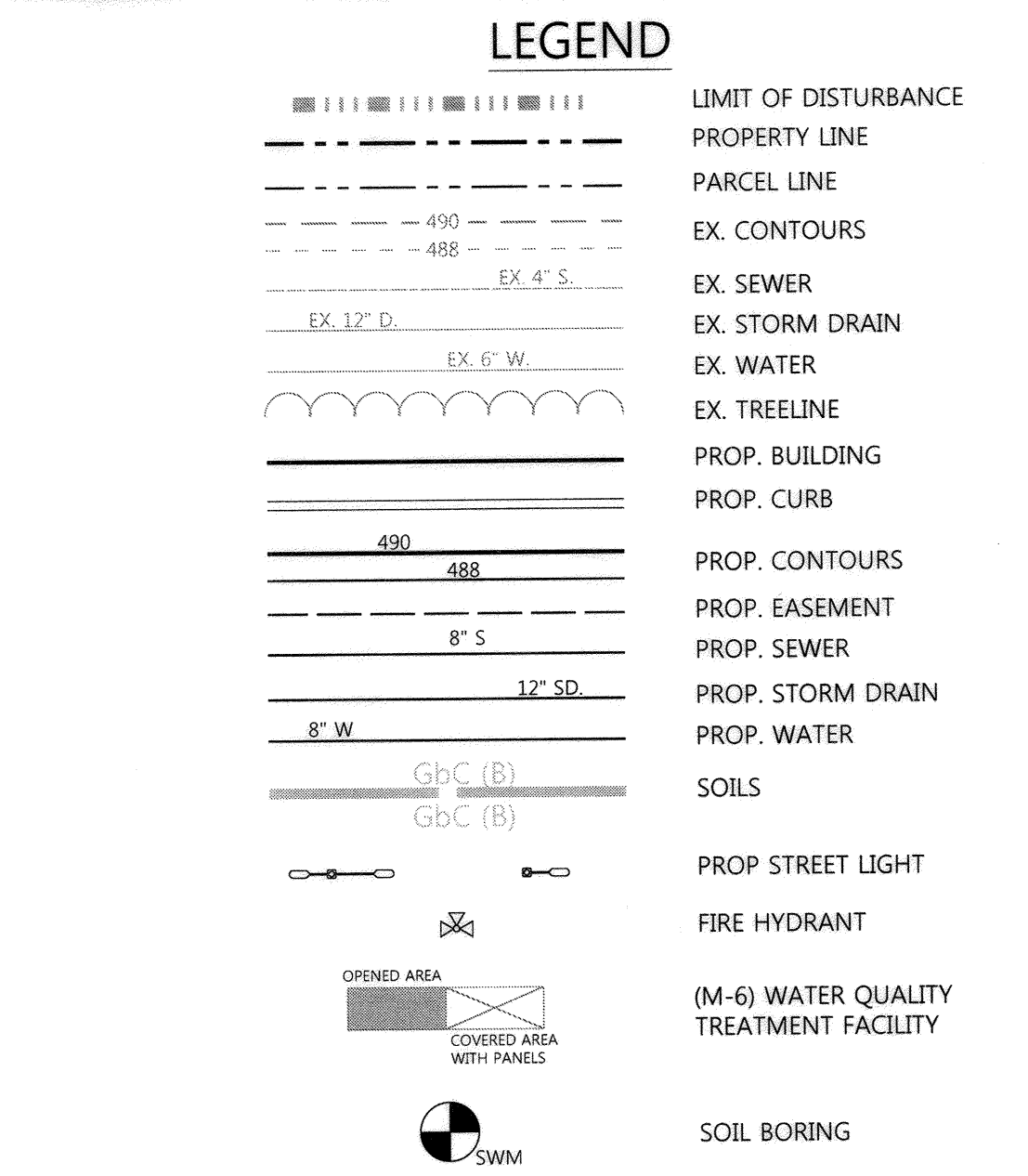
(M-6) MB64

343.44	2
343.19	
341.19	
340.94	
340.11	
339.28	
9	WIDTH (FT)

- 1 HIGH FREQUENCY STORM OVERFLOW WEIR
  - 2 OVERFLOW WEIR FOR UNDERGROUND WQV STORAGE (25%)
  - 3 SEE CURB ESD OPENING TABLE FOR INVERT AND LOCATION.
- NOTE: SEE SHEET 25 FOR CURB OPENING DETAILS.

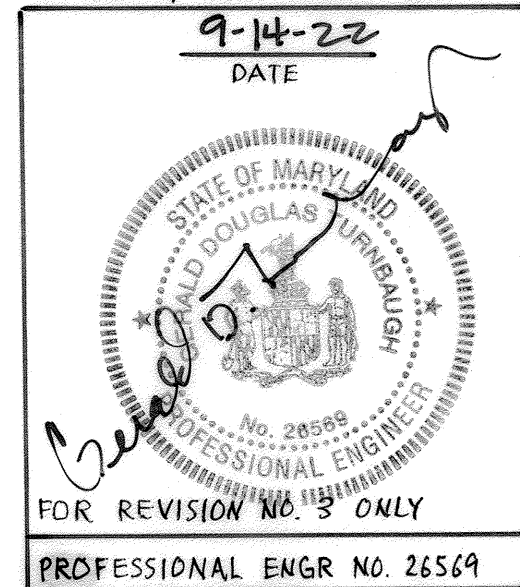


ESD WALL AS CURB FACE  
SCALE: N.T.S.



(M-6) MB64 SWM PROFILE  
SCALE: HORIZ. 1" = 20', VERT. 1" = 5'  
NOTE: SEE SH7 FOR TYPICAL CLEANOUT DETAIL

PROFESSIONAL CERTIFICATION  
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.  
LICENSE NO. 26569, EXPIRATION DATE: 7/18/2023



NOTE:  
CONTRACTOR TO NOTIFY STRUCTURAL ENGINEER IF THERE ARE ANY CONFLICTS WITH THE (M-6) MODULAR WALLS/FOOTINGS AND ADJACENT STORM DRAIN PIPES AND STRUCTURES.

- NOTE:
- FOR DETAIL ON THE COVER OVER THE WATER QUALITY FACILITIES SEE HARDSCAPE PLANS.
  - SEE STRUCTURAL SHEET 65 FOR MODULAR (M-6) FACILITY AND SUPPORT DETAIL OF SWM HARDSCAPE PANEL.
  - ESD MODULAR (M-6) FACILITIES ARE 5' WIDTH UNLESS OTHERWISE NOTED. SEE ESD PROFILES FOR LENGTH.
  - REFER TO STORMWATER MANAGEMENT SHEET 26 FOR STANDARD MODULAR (M-6) FACILITY MATERIAL SPECIFICATIONS, SEQUENCE OF CONSTRUCTION AND OPERATION & MAINTENANCE SCHEDULES.
  - SEE GENERAL NOTE #59 REGARDING EASEMENTS

ESD INFLOW PIPE LOCATION TABLE

FACILITY #	STATION	OFFSET	INVERT	PIPE DIA. (IN)
MB64	42+49.47	21.67 LT	343.69	10"
	46+19.47	21.67 LT	343.69	

(M-6) SWM LOCATION TABLE

FACILITY #	CENTERLINE STA.	OFFSET
MB64	42+65.81	12.67 LT
MB64	42+65.81	21.67 LT
MB64	42+15.09	12.67 LT
MB64	42+13.91	21.61 LT

ESD OUTFLOW PIPE LOCATION TABLE

FACILITY #	CENTERLINE STA.	OFFSET	INVERT @ ESD WALL	PIPE DIA. (IN)
MB64	42+55.04	13.12 LT	339.38	10"

CURB OPENING TABLE

CENTERLINE STATIONS		FACILITY
LEFT	RIGHT	
42+18.31	N/A	
42+33.31	N/A	
42+48.31	N/A	MB64
42+60.81	N/A	
N/A	42+26.53	
N/A	42+35.78	
N/A	42+50.78	MB67
N/A	42+65.81	

NOTE:  
FOR FLOWLINE STATIONS AND ELEVATION ROAD PLAN, SEE SHEET 19.

APPROVED: HOWARD COUNTY DEPT. OF PLANNING & ZONING  
 Chief, Development Engineering Division: 1-15-21  
 Chief, Division of Land Development: 2-14-21  
 Director: 2-3-21

APPROVED:  
PLANNING BOARD OF HOWARD COUNTY  
DATE: 11/8/18

10/30/20 2 UPDATE PLANS PER REVISED BLDG. 'C' LAYOUT & UTILITIES  
 04/19/19 1 UPDATE PLANS PER REVISED BLDG. 'C' LAYOUT & NEW BLDG. E-1 HOTEL

Date	No.	Revision Description

**DOWNTOWN COLUMBIA**  
**CRESCENT NEIGHBORHOOD**  
**PHASE 1 AREA 3, PHASE 2**  
 PARCELS D-1, D-7, D-8, D-9,  
 D-11, D-12 AND D-13  
 MIXED USE GREEN OFFICE, RESIDENTIAL, RETAIL, RESTAURANT, & HOTEL BUILDING

OWNER / DEVELOPER:  
 COLUMBIA REGIONAL OFFICE  
 10960 GRANTCHESTER WAY SUITE 110  
 COLUMBIA, MD 21044  
 410-964-1800

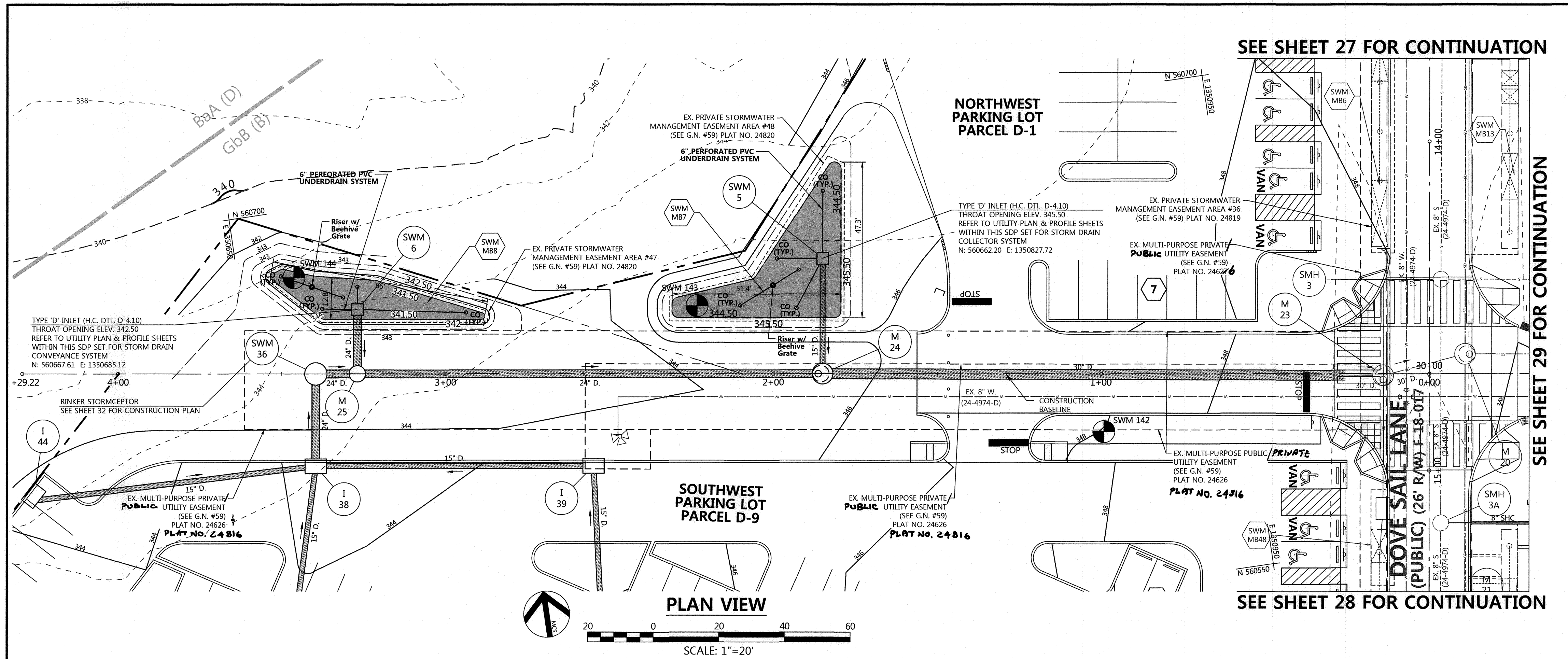
**DMW**  
 DAFT MCCUNE WALKER INC

501 FAIRMOUNT AVENUE, SUITE 300 TOWSON, MD 21286  
 P: 410 296 3333 F: 410 296 4705 WWW.DMW.COM

SUBDIVISION NAME: DOWNTOWN COLUMBIA SECTION: CRESCENT NEIGHBORHOOD LOT/PARCEL #: PARCEL D  
 PLAT OR L.P. FILE NO.: 7 BLOCK: 7 ZONE: 36 ELECT. DISTRICT: 5 CENSUS TRACT: 605602  
 WATER CODE: 550 SEWER CODE: LITTLE PATUXENT STAGE: 1

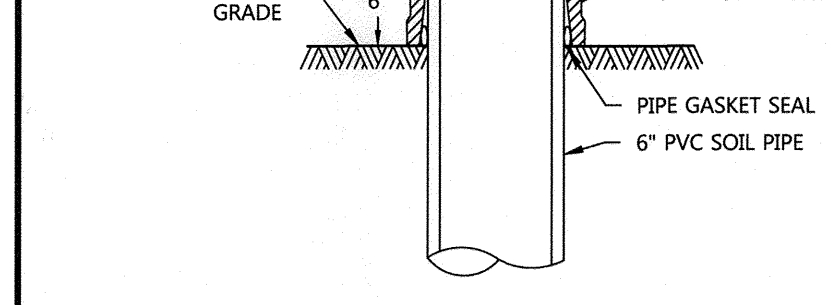
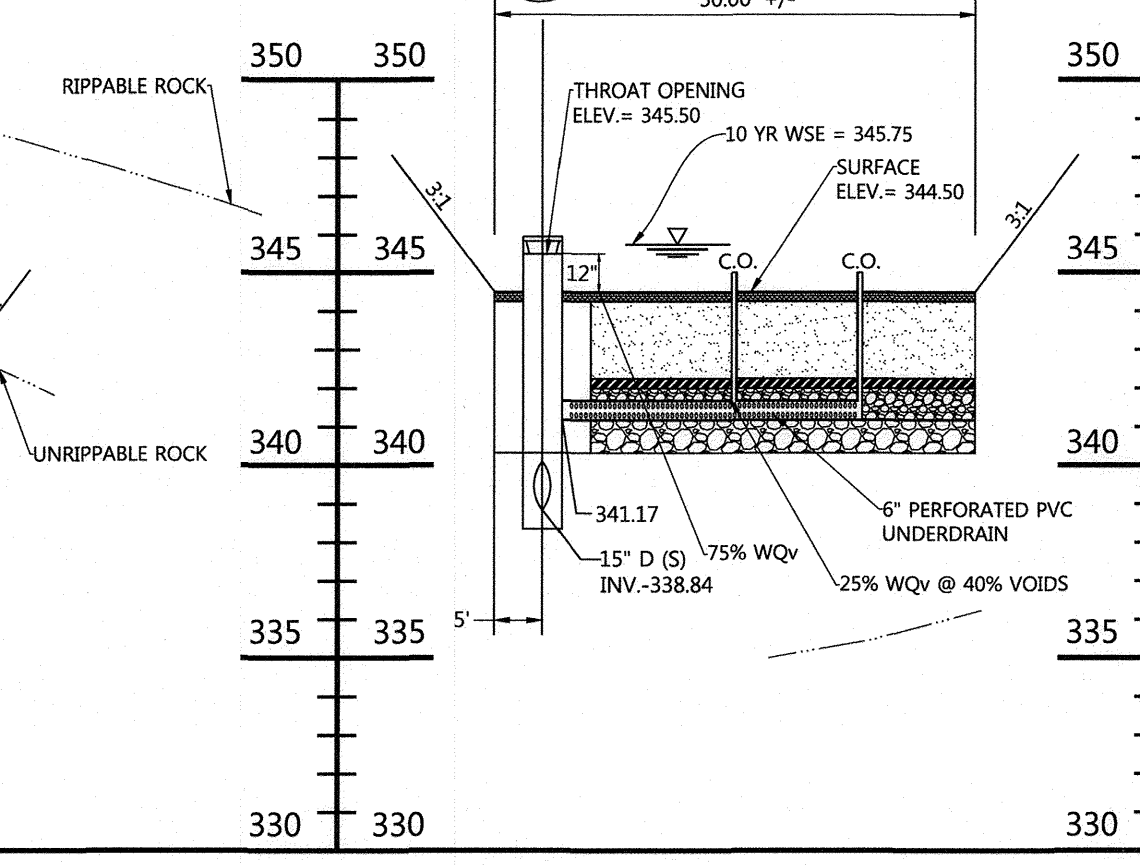
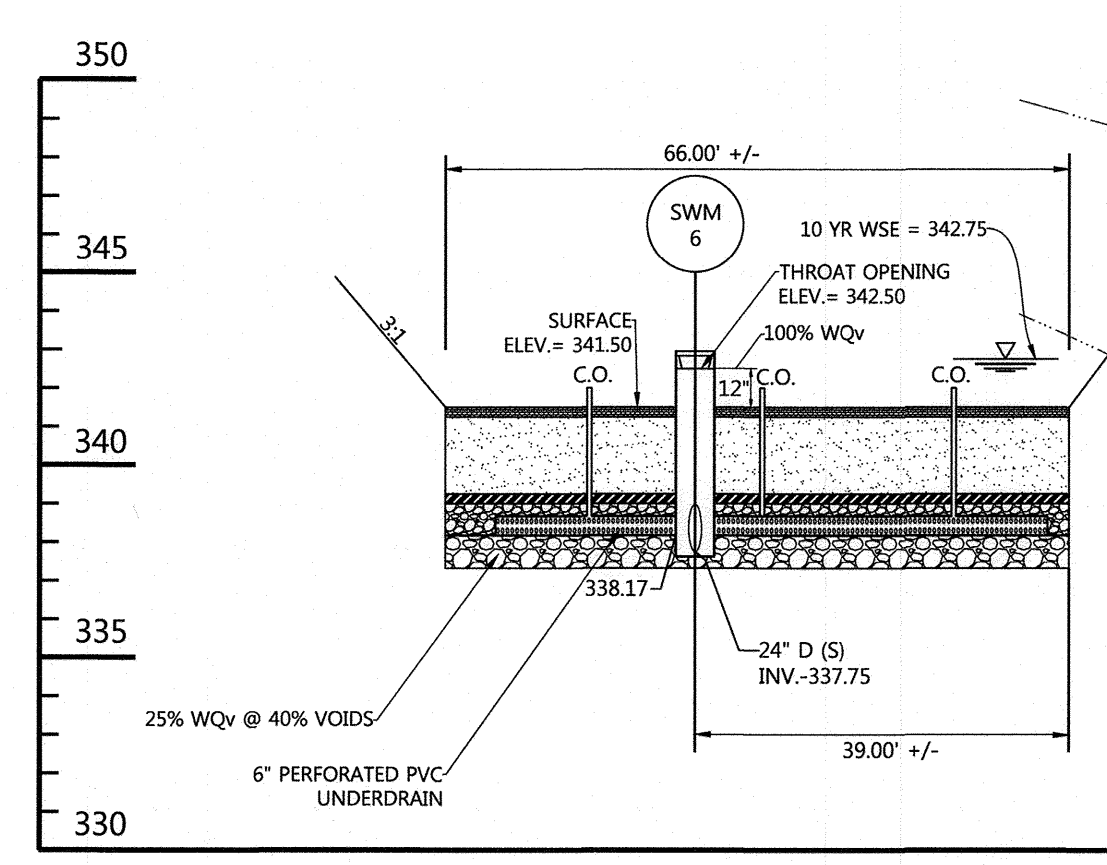
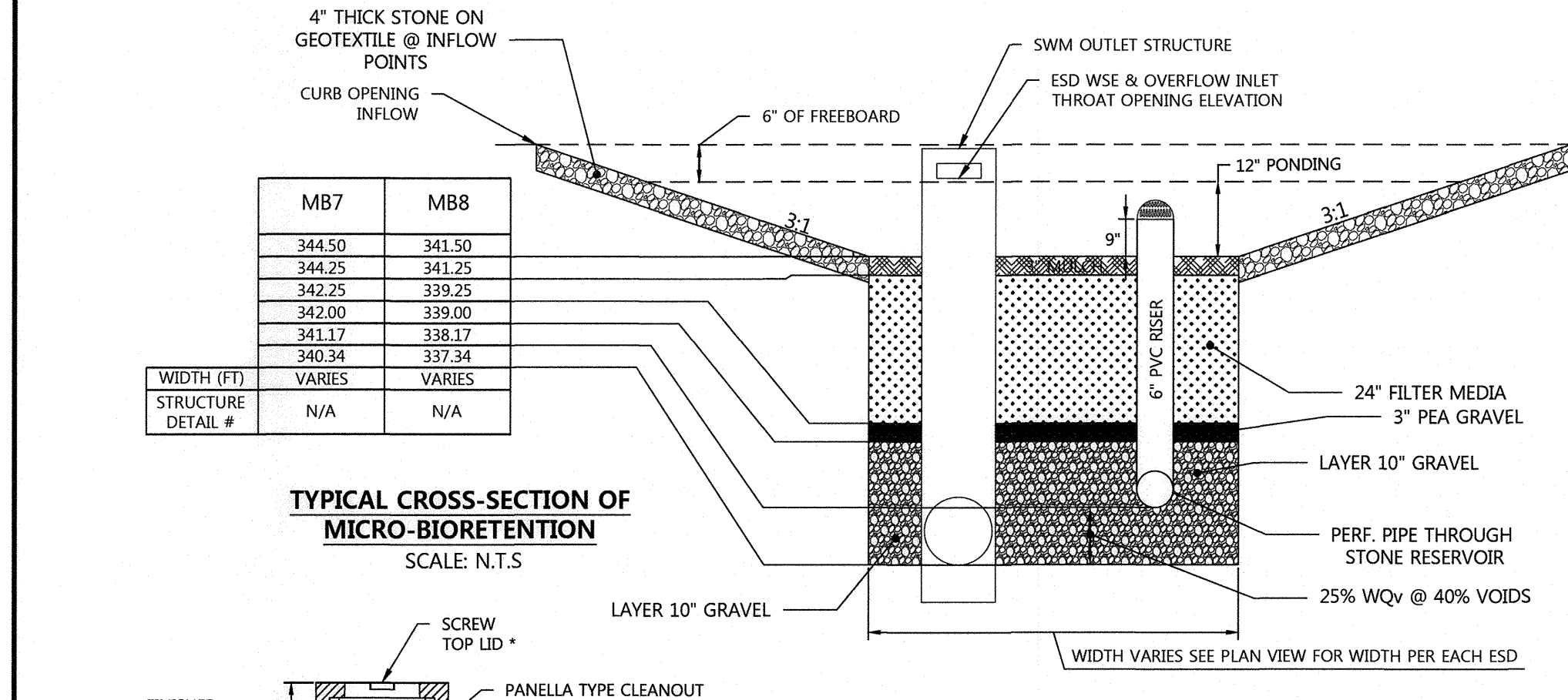
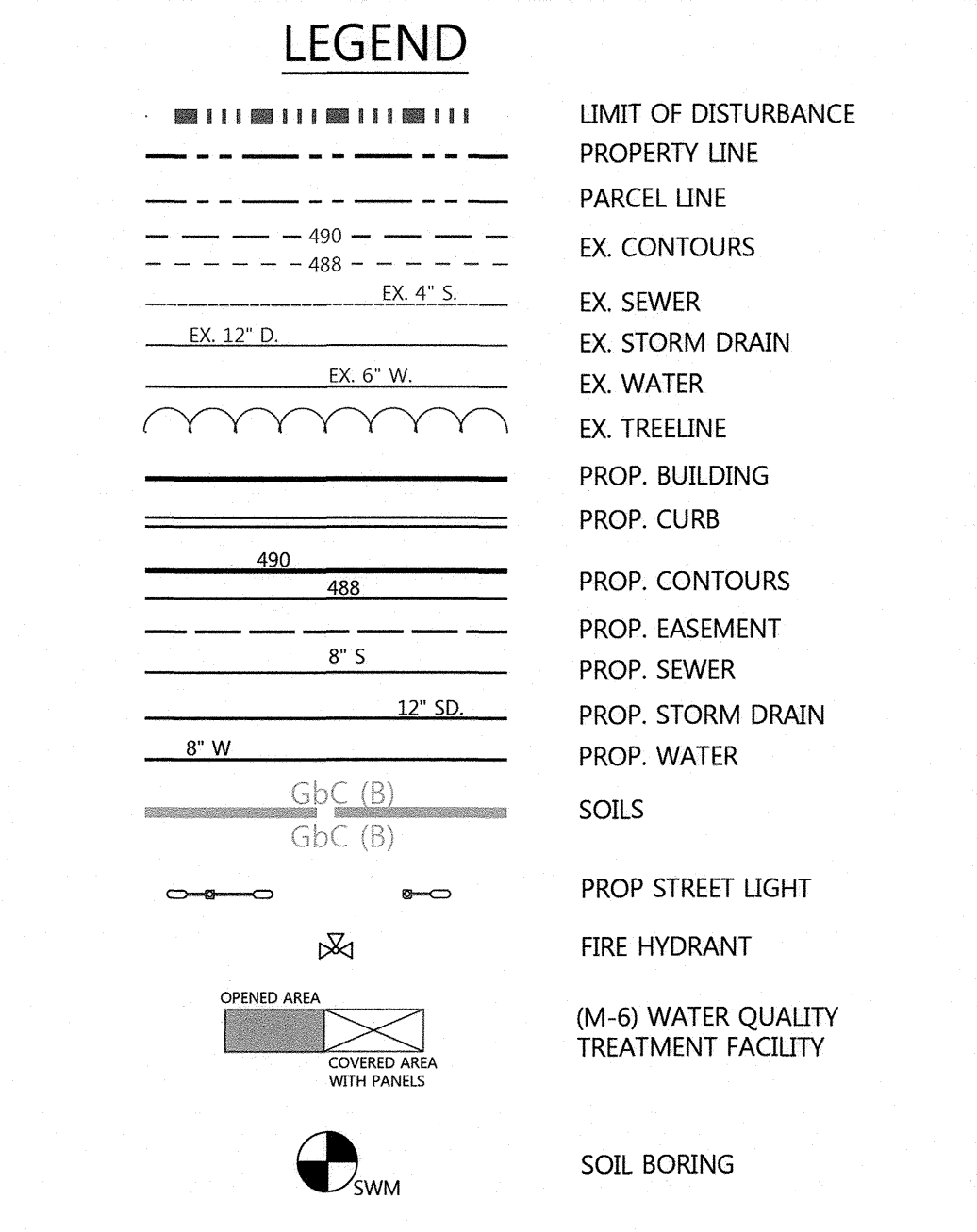
TITLE: (M-6) WQV STORMWATER MANAGEMENT PLAN  
 REVISION SITE DEVELOPMENT PLAN

Des. By: GDT/DM SCALE: AS SHOWN Proj. No. 04038.80  
 Dwn. By: MCJ Date: 02/15/19  
 Chk. By: MCB Approved: MCB 30 of 78



(M-6) SWM LOCATION TABLE

FACILITY #	BASELINE OF CONSTRUCTION STA.	OFFSET
MB7	1+79.49	62.34'R
MB7	1+80.0	17.61'R
MB7	1+83.16	63.44'R
MB7	2+05.94	29.06'R
MB7	2+30.34	17.62'R
MB7	2+30.50	22.47'R
MB8	2+88.07	17.39'R
MB8	3+20.75	28.23'R
MB8	3+36.75	16.54'R
MB8	3+40.25	29.73'R
MB8	3+49.51	31.76'R
MB8	3+52.93	31.76'R



- EACH CLEANOUT SHALL INCLUDE THE FOLLOWING
- FOR AN UNDERGROUND FLUSH MOUNTED CLEANOUT, PROVIDE A TUBE MADE OF NON-CORROSIVE MATERIAL, SCHEDULE 40 OR EQUAL, AT LEAST 3-FEET LONG WITH AN INSIDE DIAMETER OF AT LEAST 6-INCHES.
  - THE TUBE SHALL HAVE A FACTORY ATTACHED CAST IRON OR HIGH IMPACT PLASTIC COLLAR WITH RIBS TO PREVENT ROTATION WHEN REMOVING SCREW TOP LID. THE SCREW TOP LID SHALL BE CAST IRON OR HIGH IMPACT PLASTIC THAT WILL WITHSTAND ULTRA-VIOLET RAYS.
- \* ABOVE DETAIL PROVIDED AS SCHEMATIC SCREW TOP PVC CLEAN OUT CAP ONLY
- CLEAN OUT DETAIL**  
NOT TO SCALE

APPROVED: HOWARD COUNTY DEPT. OF PLANNING & ZONING

*[Signature]* 3-20-19  
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

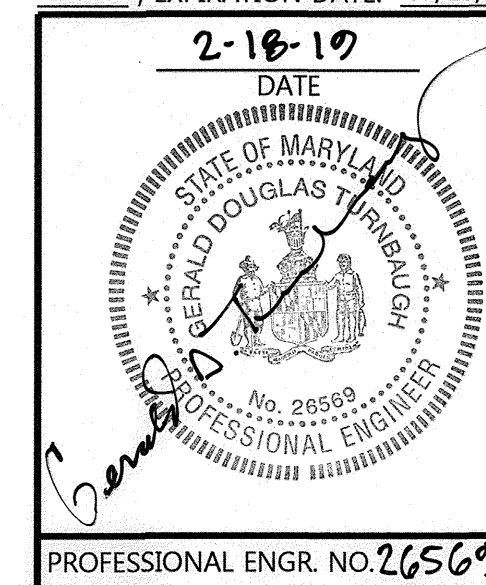
*[Signature]* 4-24-19  
CHIEF, DIVISION OF LAND DEVELOPMENT DATE

*[Signature]* 4-24-19  
DIRECTOR, DIVISION OF LAND DEVELOPMENT DATE

**FILE NUMBERS:**  
F 15-106, F 16-107, F 17-059, F 18-017, SDP-16-075, SDP-18-005, WP-17-010, WP-17-049, WP-17-052, WP-17-115, WP-18-020, WP-18-021, SP-16-009, WP-16-100, FDP-DC-CRESCENT-1, FDP-DC-CRESCENT-1A, SDP 17-027, F 17-057, F18-017, WP-18-089, WP-18-105.

**CONTRACT NUMBERS:**  
24-4931-D, 24-4975-D, 24-4974-D.

**PROFESSIONAL CERTIFICATION**  
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 26569, EXPIRATION DATE: 07/18/19.



APPROVED:  
PLANNING BOARD OF HOWARD COUNTY  
DATE: 11/8/18

Date	No.	Revision Description

**DOWNTOWN COLUMBIA**  
CRESCENT NEIGHBORHOOD  
PHASE I AREA 3, PHASE 2  
PARCELS D-1, D-7, D-8, D-9,  
D-11, D-12 AND D-13  
MIXED USE GREEN OFFICE, RESIDENTIAL, RETAIL, RESTAURANT BUILDING

OWNER / DEVELOPER:  
THE HOWARD RESEARCH AND DEVELOPMENT CORPORATION  
COLUMBIA REGIONAL OFFICE  
10480 LITTLE PATUXENT PARKWAY SUITE 400  
COLUMBIA, MD 21044  
410-964-1800

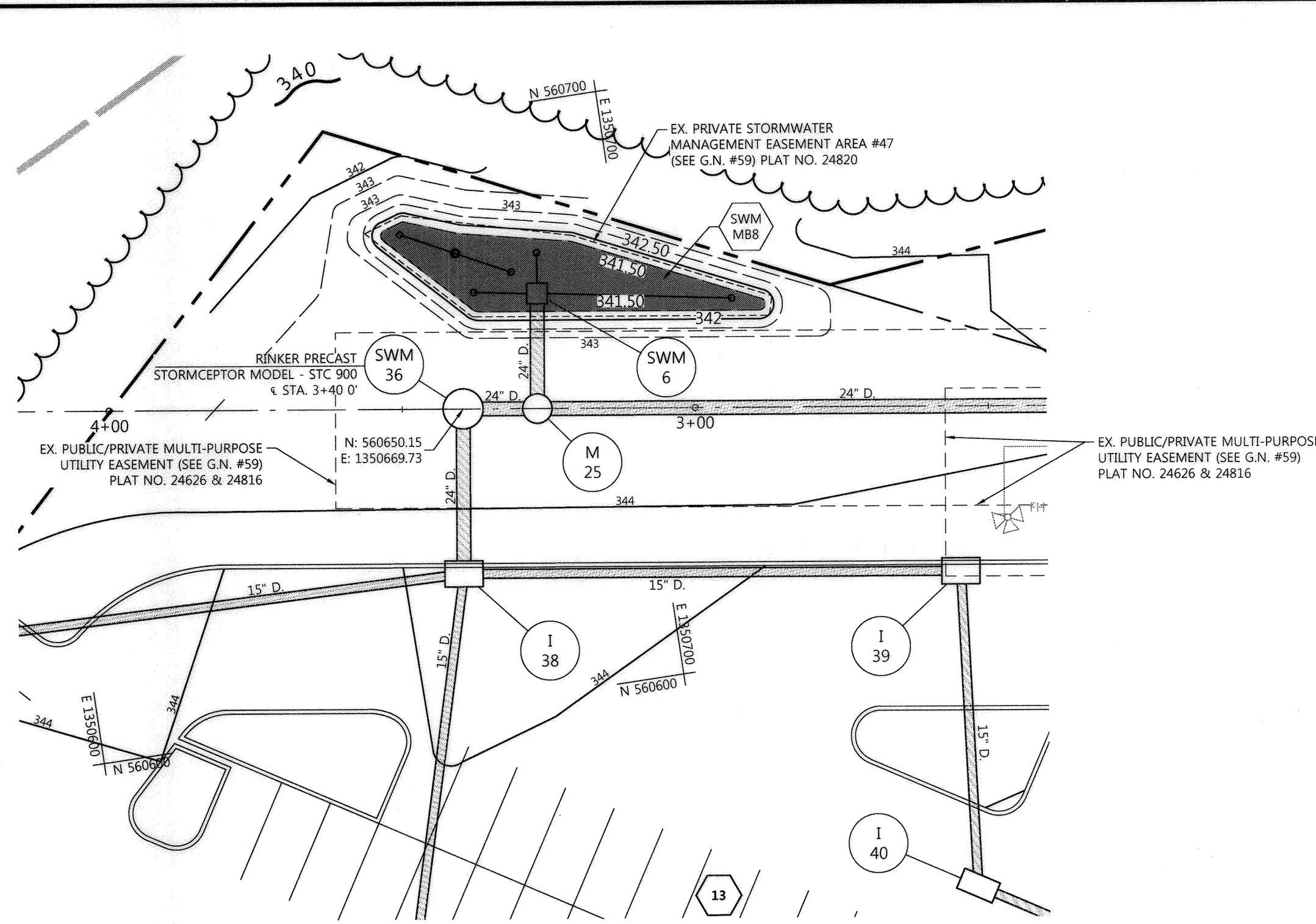
501 FAIRMOUNT AVENUE SUITE 300 TOWSON, MD 21286  
P: 410 296 3333 F: 410 296 4705 WWW.DMW.COM

SUBDIVISION NAME	SECTION/AREA	NEIGHBORHOOD	LOT/PARCEL #
DOWNTOWN COLUMBIA	PHASE 2, AREA 3		PARCEL D
PLAT NO.	BLOCK/STRIP	TRACT/SECTION	CENSUS TRACT
24-4931-D	7	36	605602
WATER CODE	SEWER CODE	STAGE	
550	LITTLE PATUXENT	1	

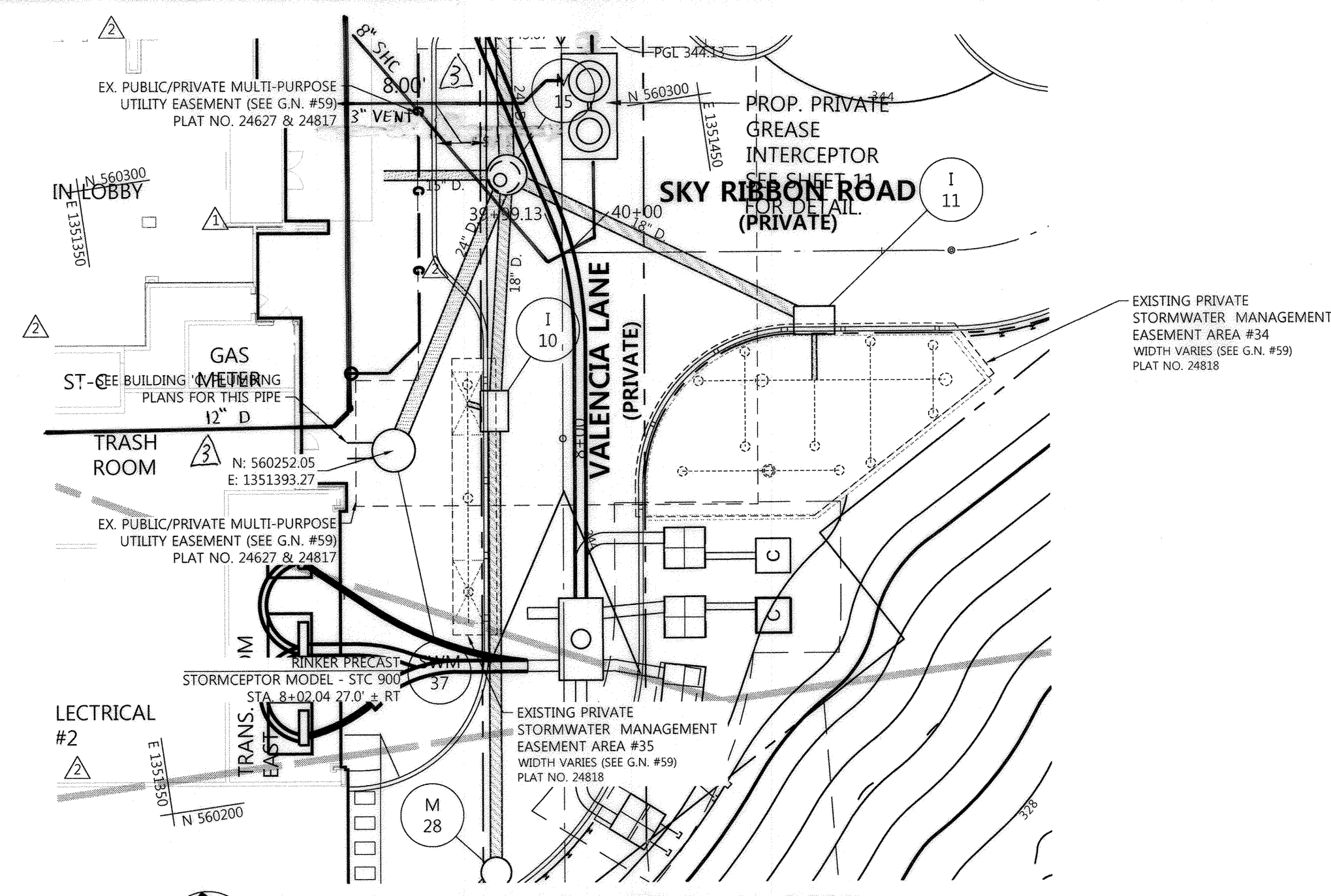
TITLE: (M-6) WQv STORMWATER MANAGEMENT PLAN

Des. By	GDT/DM	SCALE AS SHOWN	Proj. No. 04038.B0
Drn. By	MCJ	Date 02/15/19	
Chk. By	MCB	Approved MCB	31 of 78

SDP-18-005



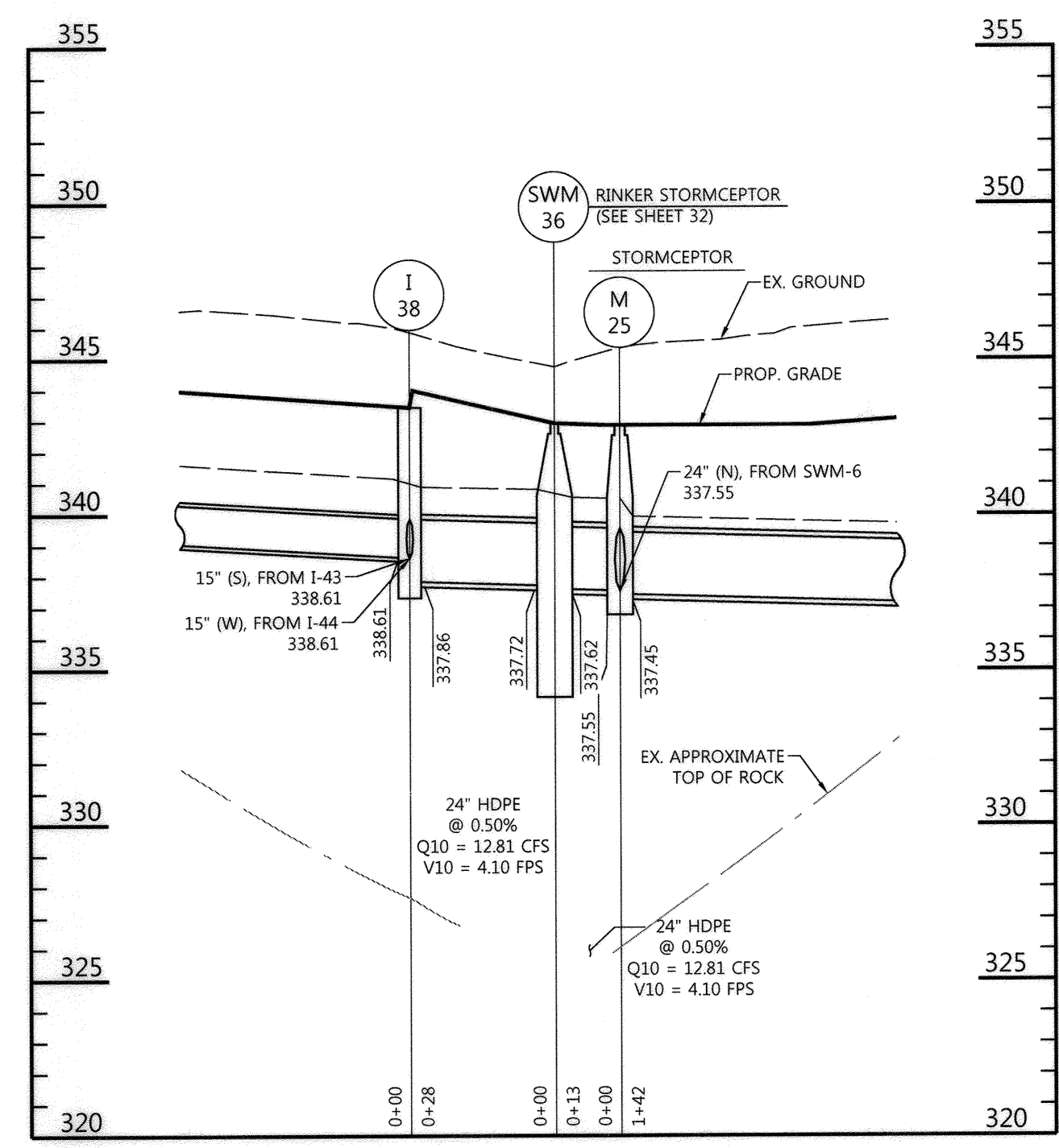
**RINKER STORMCEPTOR SWM SCPT1**  
SCALE: 1" = 20'



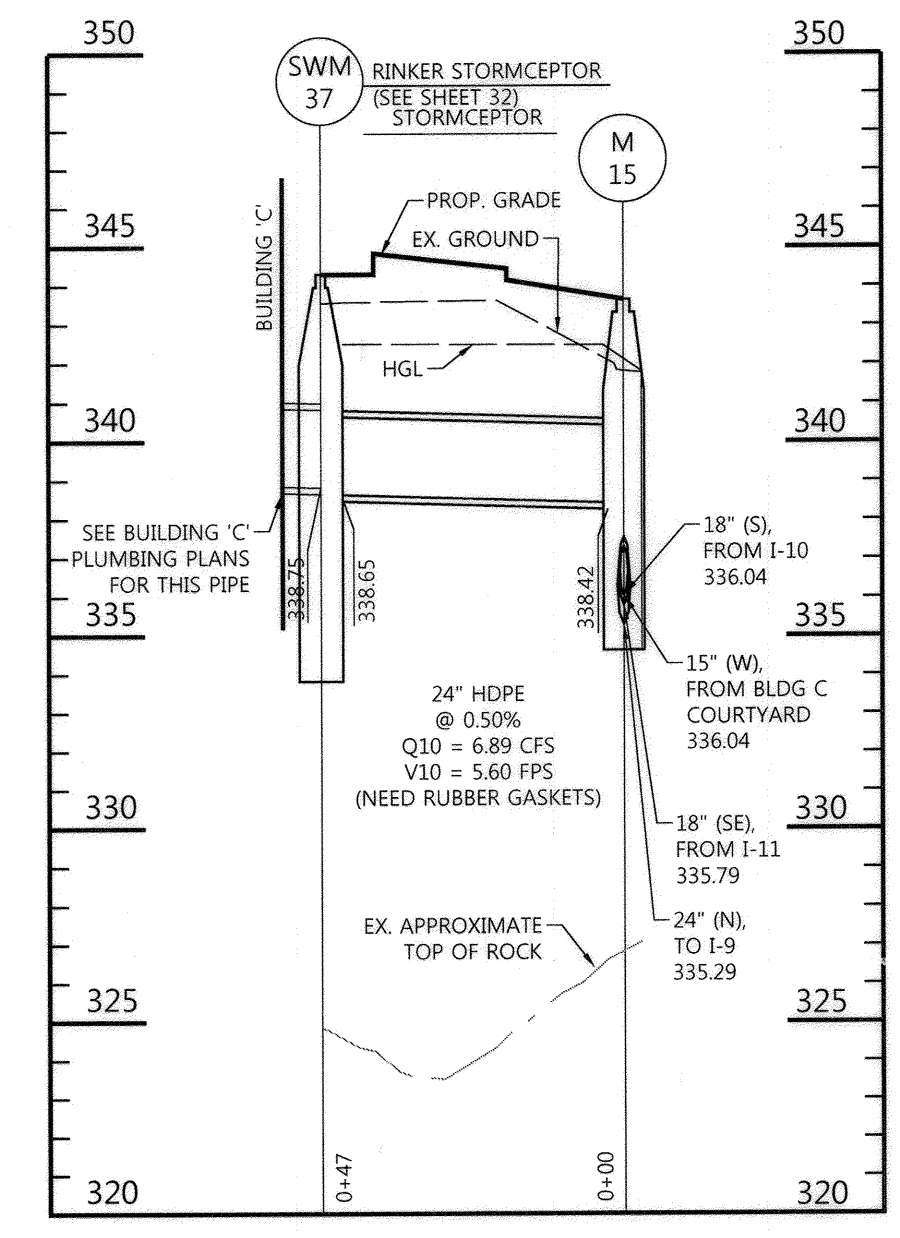
**RINKER STORMCEPTOR SWM SCPT3**  
SCALE: 1" = 20'

**LEGEND**

--- --- --- --- --- --- --- --- --- ---	LIMIT OF DISTURBANCE
---	PROPERTY LINE
- - - -	EX. CONTOURS
- - - -	EX. SEWER
- - - -	EX. STORM DRAIN
- - - -	EX. WATER
- - - -	EX. TREELINE
▭	PROP. BUILDING
▭	PROP. CURB
- - - -	PROP. CONTOURS
- - - -	PROP. EASEMENT
- - - -	PROP. SEWER
- - - -	PROP. STORM DRAIN
- - - -	PROP. WATER
▭	SOILS
○	PROP STREET LIGHT
⊕	FIRE HYDRANT
⊕	(M-6) WATER QUALITY TREATMENT FACILITY



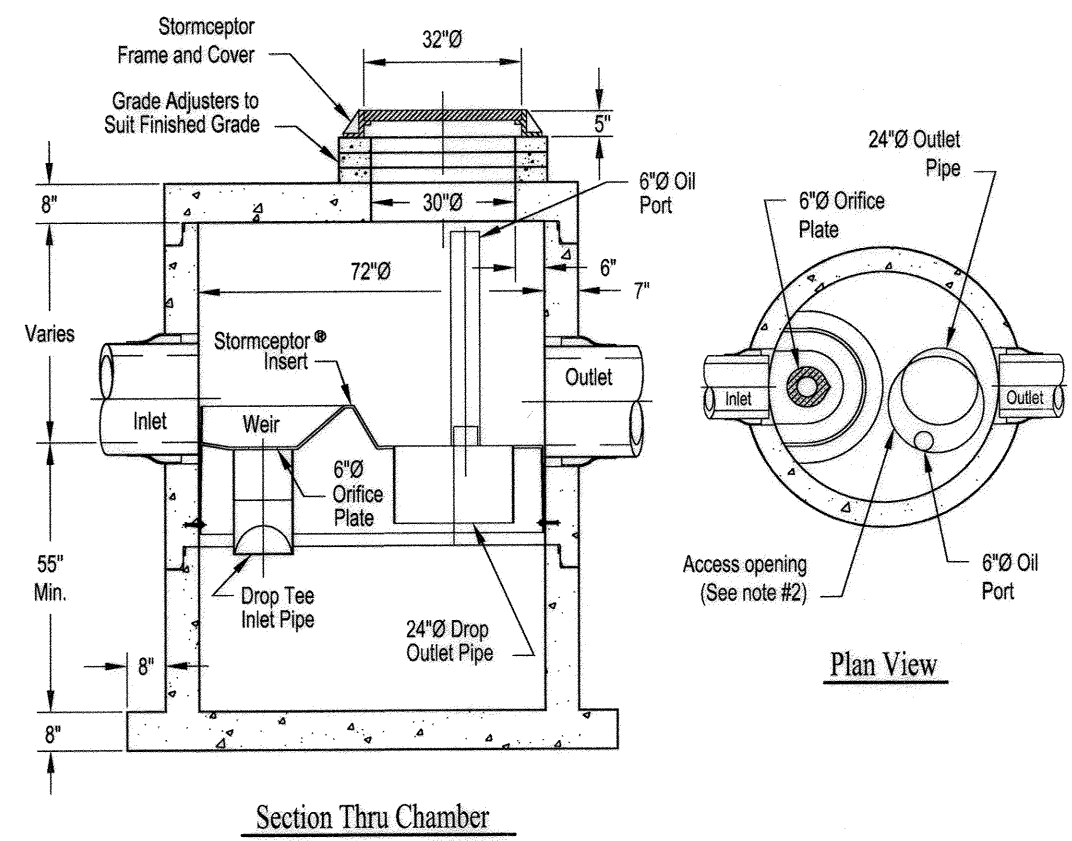
**RINKER STORMCEPTOR DA #36 PROFILE**  
SCALE: HORZ. 1" = 30', VERT. 1" = 5'



**RINKER STORMCEPTOR DA #37 PROFILE**  
SCALE: HORZ. 1" = 30', VERT. 1" = 5'

**Rinker** Concrete Pipe Division

**STC 900 Precast Concrete Stormceptor®**  
(900 U.S. Gallon Capacity)



- Notes:
- The Use Of Flexible Connection is Recommended at The Inlet and Outlet Where Applicable.
  - The Cover Should be Positioned Over The Outlet Drop Pipe and The Oil Port.
  - The Stormceptor System is protected by one or more of the following U.S. Patents: #4985148, #5498331, #5725760, #5751115, #5949181, #6068765, #6371690.
  - Contact a Concrete Pipe Division representative for further details not listed on this drawing.

**OPERATION AND MAINTENANCE SCHEDULE FOR PRIVATELY OWNED AND MAINTAINED STORMCEPTOR WATER QUALITY DEVICE**

- THE STORMCEPTOR WATER QUALITY STRUCTURE SHALL BE PERIODICALLY INSPECTED AND CLEANED TO MAINTAIN OPERATION AND FUNCTION. THE OWNER SHALL INSPECT THE STORMCEPTOR UNIT YEARLY AT A MINIMUM, UTILIZING THE STORMCEPTOR INSPECTION/MONITORING FORM. INSPECTIONS SHALL BE DONE BY USING A CLEAR PLEXIGLASS TUBE ("SLUDGE JUDGE") TO EXTRACT A WATER COLUMN SAMPLE. WHEN THE SEDIMENT DEPTHS EXCEED THE LEVEL SPECIFIED IN TABLE 6 OF THE STORMCEPTOR TECHNICAL MANUAL, THE UNIT MUST BE CLEANED.
- THE STORMCEPTOR WATER QUALITY STRUCTURE SHALL BE CHECKED AND CLEANED IMMEDIATELY AFTER PETROLEUM SPILLS. THE OWNER SHALL CONTACT THE APPROPRIATE REGULATORY AGENCIES.
- THE MAINTENANCE OF THE STORMCEPTOR UNIT SHALL BE DONE USING A VACUUM TRUCK WHICH WILL REMOVE THE WATER, SEDIMENT, DEBRIS, FLOATING HYDROCARBONS AND OTHER MATERIALS IN THE UNIT. PROPER CLEANING AND DISPOSAL OF THE REMOVED MATERIALS AND LIQUID MUST BE FOLLOWED BY THE OWNER.
- THE INLET AND OUTLET PIPES SHALL BE CHECKED FOR ANY OBSTRUCTIONS AT LEAST ONCE EVERY SIX MONTHS. IF OBSTRUCTIONS ARE FOUND, THE OWNER SHALL HAVE THEM REMOVED. STRUCTURAL PARTS OF THE STORMCEPTOR UNIT SHALL BE REPAIRED AS NEEDED.
- THE OWNER SHALL RETAIN AND MAKE THE STORMCEPTOR INSPECTION/MONITORING FORMS AVAILABLE TO THE HOWARD COUNTY OFFICIALS UPON THEIR REQUEST.

APPROVED: HOWARD COUNTY DEPT. OF PLANNING & ZONING

*[Signature]* 1/5/21  
DATE

CHIEF, DEVELOPMENT ENGINEERING DIVISION

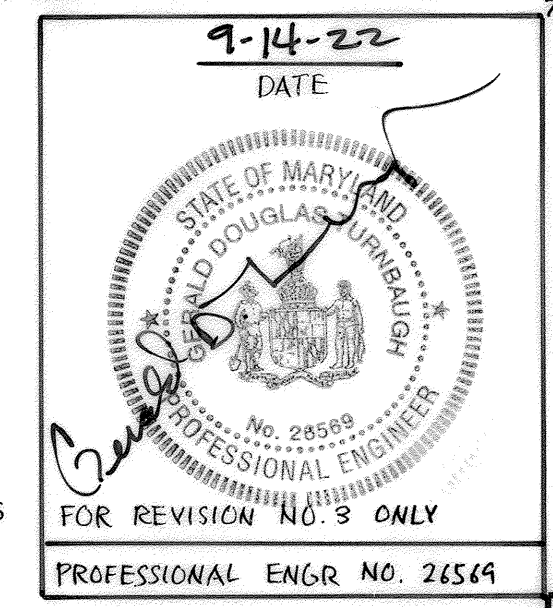
*[Signature]* 2/3/21  
DATE

CHIEF, DIVISION OF LAND DEVELOPMENT

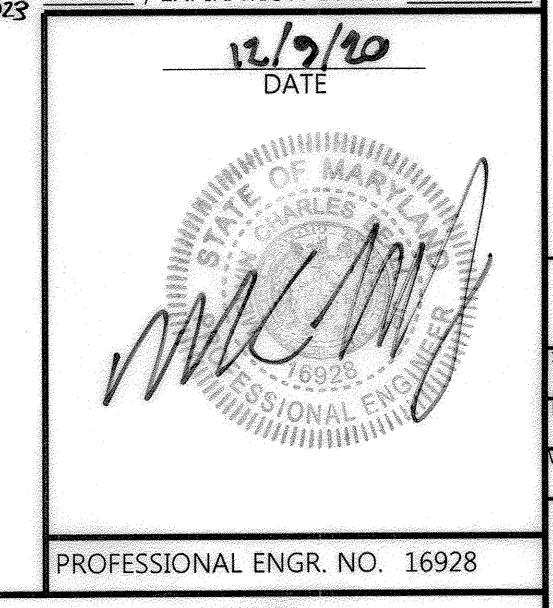
*[Signature]* 2-3-21  
DATE

DIRECTOR

PROFESSIONAL CERTIFICATION  
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NO. 26544 EXPIRATION DATE: 7/18/2025



PROFESSIONAL CERTIFICATION  
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NO. 16928 EXPIRATION DATE: 05/13/22



APPROVED:  
PLANNING BOARD OF HOWARD COUNTY  
DATE: 11/8/18

**NOTE**  
CONTRACTOR TO NOTIFY STRUCTURAL ENGINEER IF THERE ARE ANY CONFLICTS WITH THE (M-6) MODULAR WALLS/FOOTINGS AND ADJACENT STORM DRAIN PIPES AND STRUCTURES.

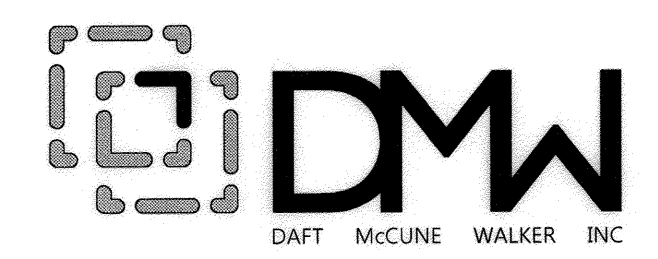
**NOTE:**  
1. SEE GENERAL NOTE #56 & 59 REGARDING EASEMENTS

Date	No.	Revision Description
10/30/20	2	UPDATE PLANS PER REVISED BLDG. 'C' LAYOUT & UTILITIES
04/19/19	1	UPDATE PLANS PER REVISED BLDG. 'C' LAYOUT & NEW BLDG. E-1 HOTEL

**DOWNTOWN COLUMBIA**  
CRESCENT NEIGHBORHOOD  
PHASE I AREA 3, PHASE 2  
PARCELS D-1, D-7, D-8, D-9,  
D-11, D-12 AND D-13

MIXED USE GREEN OFFICE, RESIDENTIAL, RETAIL, RESTAURANT, & HOTEL BUILDING

**OWNER / DEVELOPER:**  
THE HOWARD RESEARCH AND DEVELOPMENT CORPORATION  
COLUMBIA REGIONAL OFFICE  
10960 GRANT CHESTER WAY SUITE 110  
COLUMBIA, MD 21044  
410-964-4800



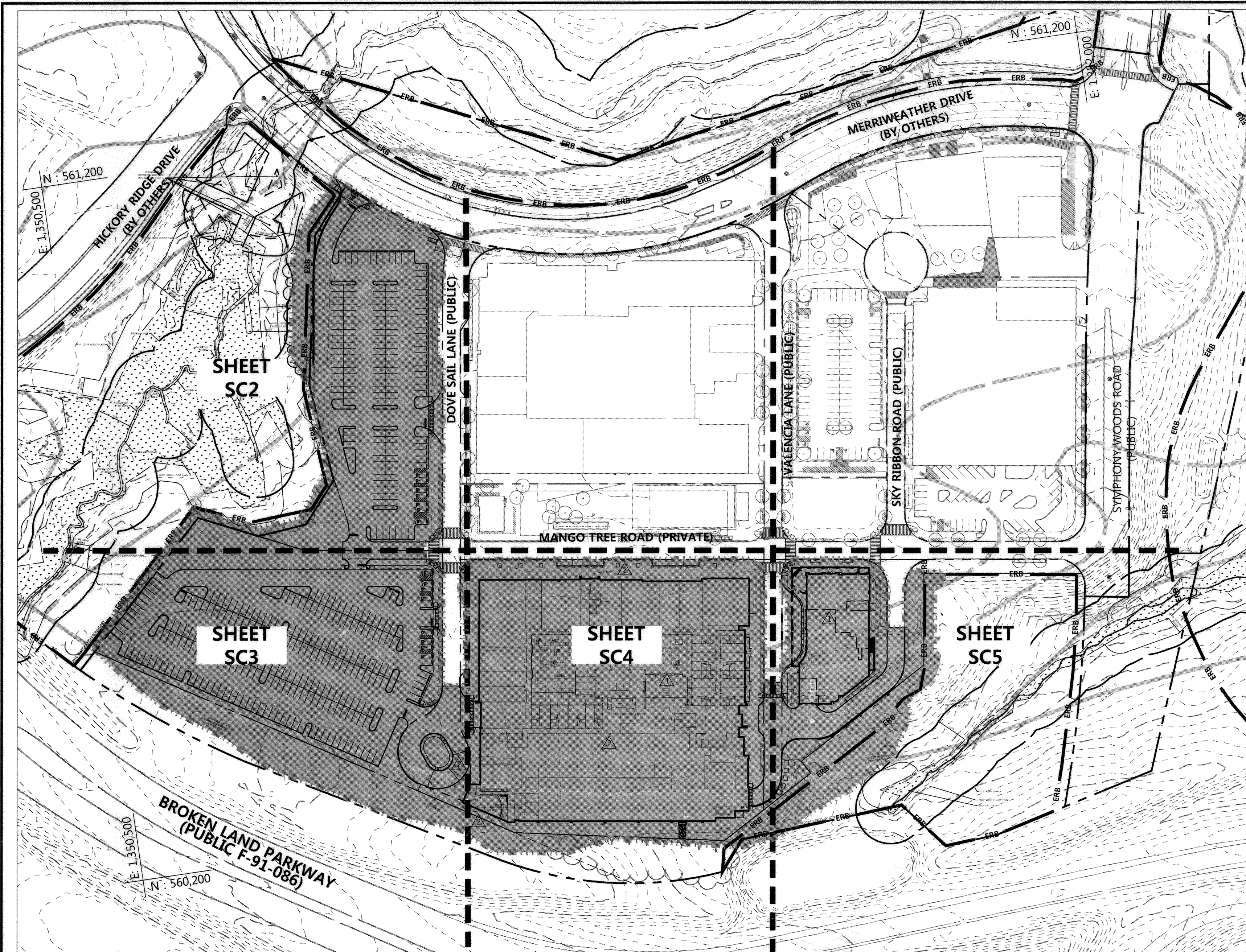
501 FAIRMOUNT AVENUE SUITE 300 TOWSON, MD 21286 P: 410 296 3333 F: 410 296 4705 WWW.DMW.COM
SUBDIVISION NAME: DOWNTOWN COLUMBIA SECTION: CRESCENT NEIGHBORHOOD LOT/PARCEL #: 04/038.80
PLAT NO.: 2018-0077 SHEET NO.: 36
WATER CODE: 550 SEWER CODE: LITTLE PATUXENT STAGE: 1

TITLE: **STORMWATER MANAGEMENT STORMCEPTOR WQv PLAN**

Des. By: GDT/DM	SCALE: AS SHOWN	Proj. No.: 04038.80
Drn. By: MCJ	Date: 02/15/19	
Chk. By: MCB	Approved: MCB	32 of 78







**EROSION & SEDIMENT CONTROL KEY PLAN**  
 SCALE: 1"=100'

**SEQUENCE OF CONSTRUCTION**

- OBTAIN A GRADING PERMIT FOR THE PROPOSED WORK.
- NOTIFY THE HOWARD COUNTY DEPARTMENT OF PERMITS AND LICENSES (DPL) AT LEAST 48 HOURS PRIOR TO BEGINNING WORK. (2 DAYS)
- CLEAR AND GRUB FOR ALL THE EROSION AND SEDIMENT CONTROL DEVICES AND MEASURES ONLY. (1 WEEK)
- UPON APPROVAL BY THE SEDIMENT CONTROL INSPECTOR, BEGIN INSTALLATION OF THE FOLLOWING SEDIMENT CONTROL DEVICES AND MEASURES:
  - TWO STABILIZED CONSTRUCTION ENTRANCES (SCE) WITH A MOUNTABLE BERM
  - SUPER SILT FENCE (SSF)
 NOTE: ENSURE ALL SEDIMENT CONTROL TRANSITIONS ARE SECURELY TIED IN TO PREVENT THE ESCAPE OF SEDIMENT. (1 WEEK)
- ONCE PERIMETER CONTROLS ARE INSTALLED AND WITH THE APPROVAL OF THE SEDIMENT CONTROL INSPECTOR BEGIN CONSTRUCTION OPERATIONS. REMOVE THE EXISTING STONE OUTLET SEDIMENT TRAP IN THE FOLLOWING ORDER:
  - REMOVE ALL SEDIMENT FROM TRAP, INCLUDING SOFT SUB-BASE SOILS. FINAL TRAP DREDGE SPOIL TO BE TAKEN TO A SITE WITH AN APPROVED OPEN GRADING PERMIT AND AN APPROVED SEDIMENT CONTROL PLAN.
  - FILL-IN CONVEYANCE SWALE AND RIP RAP INFLOW PROTECTION.
  - REMOVE Baffle, REMOVABLE PUMPING STATION/SUMP PIT AND ANY REMAINING TRAP COMPONENTS.
  - FILL-IN TRAP AND PROVIDE POSITIVE DRAINAGE TO NEWLY INSTALLED OR REBURNISHED PERIMETER SEDIMENT CONTROL PRACTICES.
- WITH THE PERMISSION OF THE SEDIMENT CONTROL INSPECTOR, BEGIN CONSTRUCTION OPERATIONS.
  - ROUGH-IN BUILDING PADS AND BRING ROADS TO SUB-GRADE. (1 WEEK)
  - BEGIN CONSTRUCTION OF NEW BUILDINGS AND PARKING GARAGES WITHIN THE LOD. (1 YEAR MIN)
  - INSTALL PROPOSED UTILITIES, INSTALL INLET PROTECTION, SIP TYPE A OR B, AROUND ALL STORM DRAIN INLETS AS SHOWN ON PLAN. (3 DAYS)
  - INSTALL ALL (M-6) MODULAR SWM FACILITIES, STORMCEPTORS & ASSOCIATED COMPONENTS, TEMPORARILY BLOCK UNITS UNTIL SITE HAS BEEN ESTABLISHED WITH VEGETATION OR HAS BEEN DEEMED STABILIZED PRIOR TO FACILITIES MAKING ACTIVE. (2 WEEKS)
 NOTE: THE SUMP PITS ARE TO BE USED TO DEWATER FACILITIES IN THE EVENT OF MAINTENANCE.
- INSTALL PROPOSED ROADWAYS, SIDEWALKS & CURB AND GUTTER. PROVIDE CURB OPENINGS FOR (M-6) MODULAR SWM FACILITIES.
  - INSTALL INLET BLOCKING, IB, TO CURB OPENINGS. (3 WEEKS)
- FINE GRADE ALL OTHER DISTURBED AREAS NOT BEING PAVED AND PERMANENTLY STABILIZE THESE AREAS. (1 WEEK)
- MAKE ALL SWM FACILITIES ACTIVE. (2 DAYS)
- UPON STABILIZATION OF THE SITE WITH ESTABLISHED VEGETATION AND WITH PERMISSION OF THE SEDIMENT CONTROL INSPECTOR REMOVE SEDIMENT CONTROL MEASURES AND STABILIZE THOSE AREAS DISTURBED BY THIS PROCESS. (1 WEEK)

APPROVED: HOWARD COUNTY DEPT. OF PLANNING & ZONING

CHIEF, DEVELOPMENT ENGINEERING DIVISION *[Signature]* 1/15/21 DATE

CHIEF, DIVISION OF LAND DEVELOPMENT *[Signature]* 2/3/21 DATE

DIRECTOR *[Signature]* 2-3-21 DATE

**HOWARD COUNTY SOIL CONSERVATION DISTRICT STANDARD SEDIMENT CONTROL NOTES**

- A PRE-CONSTRUCTION MEETING MUST OCCUR WITH THE HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS, CONSTRUCTION INSPECTION DIVISION (CID), 410-313-1855 AFTER THE FUTURE LOD AND PROTECTED AREAS ARE MARKED CLEARLY IN THE FIELD. A MINIMUM OF 48 HOUR NOTICE TO CID MUST BE GIVEN AT THE FOLLOWING STAGES:
  - PRIOR TO THE START OF EARTH DISTURBANCE.
  - UPON COMPLETION OF THE INSTALLATION OF PERIMETER EROSION AND SEDIMENT CONTROLS, BUT BEFORE PROCEEDING WITH ANY OTHER EARTH DISTURBANCE OR GRADING.
  - PRIOR TO THE START OF ANOTHER PHASE OF CONSTRUCTION OR OPENING OF ANOTHER GRADING UNIT.
  - PRIOR TO THE REMOVAL OR MODIFICATION OF SEDIMENT CONTROL PRACTICES.
 OTHER BUILDING OR GRADING INSPECTION APPROVALS MAY NOT BE AUTHORIZED UNTIL THIS INITIAL APPROVAL BY THE INSPECTION AGENCY IS MADE. OTHER RELATED STATE AND FEDERAL PERMITS SHALL BE REFERENCED, TO ENSURE COORDINATION AND TO AVOID CONFLICTS WITH THIS PLAN.
- ALL VEGETATIVE AND STRUCTURAL PRACTICES ARE TO BE INSTALLED ACCORDING TO THE PROVISIONS OF THIS PLAN AND ARE TO BE IN CONFORMANCE WITH THE 2011 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL, AND REVISIONS THERETO.
- FOLLOWING INITIAL SOIL DISTURBANCE OR RE-DISTURBANCE, PERMANENT OR TEMPORARY STABILIZATION IS REQUIRED WITHIN THREE (3) CALENDAR DAYS AS TO THE SURFACE OF ALL PERIMETER CONTROLS, DIKES, SWALES, DITCHES, PERIMETER SLOPES, AND ALL SLOPES GREATER THAN 3 HORIZONTAL TO 1 VERTICAL (3:1); AND SEVEN (7) CALENDAR DAYS AS TO ALL OTHER DISTURBED AREAS ON THE PROJECT SITE EXCEPT FOR THOSE AREAS UNDER ACTIVE GRADING.
- ALL DISTURBED AREAS MUST BE STABILIZED WITHIN THE TIME PERIOD SPECIFIED ABOVE IN ACCORDANCE WITH THE 2011 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL FOR TOPSOIL (SEC. B-4-2), PERMANENT SEEDING (SEC. B-4-5), TEMPORARY SEEDING (SEC. B-4-4) AND MULCHING (SEC. B-4-3). TEMPORARY STABILIZATION WITH MULCH ALONE CAN ONLY BE APPLIED BETWEEN FALL AND SPRING SEEDING DATES IF THE GROUND IS FROZEN. INCREMENTAL STABILIZATION (SEC. B-4-1) SPECIFICATIONS SHALL BE ENFORCED IN AREAS WITH >15 FT. OF CUT AND/OR FILL. STOCKPILES (SEC. B-4-8) IN EXCESS OF 20 FT. MUST BE BENCHED WITH STABLE OUTLET. ALL CONCENTRATED FLOW, STEEP SLOPE, AND HIGHLY ERODIBLE AREAS SHALL RECEIVE SOIL STABILIZATION MATTING (SEC. B-4-6).
- ALL SEDIMENT CONTROL STRUCTURES ARE TO REMAIN IN PLACE, AND ARE TO BE MAINTAINED IN OPERATIVE CONDITION UNTIL PERMISSION FOR THEIR REMOVAL HAS BEEN OBTAINED FROM THE CID.
- SITE ANALYSIS:
 

TOTAL AREA OF SITE	PHASE 2
LIMIT OF DISTURBANCE:	21.39 ACRES
AREA TO BE ROOFED OR PAVED	495,293 SQFT / 11.37 AC±
AREA TO BE VEGETATIVELY STABILIZED	8.64 ACRES
TOTAL CUT	2.73 ACRES
TOTAL FILL	22,284 CU. YDS.
OFFSITE WASTE/BORROW AREA LOCATION	21,872 CU. YDS.
- ANY SEDIMENT CONTROL PRACTICE WHICH IS DISTURBED BY GRADING ACTIVITY FOR PLACEMENT OF UTILITIES MUST BE REPAIRED ON THE SAME DAY OF DISTURBANCE.
- ADDITIONAL SEDIMENT CONTROL MUST BE PROVIDED, IF DEEMED NECESSARY BY THE CID. THE SITE AND ALL CONTROLS SHALL BE INSPECTED BY THE CONTRACTOR WEEKLY, AND THE NEXT DAY AFTER EACH RAIN EVENT. A WRITTEN REPORT BY THE CONTRACTOR, MADE AVAILABLE UPON REQUEST, IS PART OF EVERY INSPECTION AND SHOULD INCLUDE:
  - INSPECTION DATE
  - INSPECTION TYPE (ROUTINE, PRE-STORM EVENT, DURING RAIN EVENT)
  - NAME AND TITLE OF INSPECTOR
  - WEATHER INFORMATION (CURRENT CONDITIONS AS WELL AS TIME AND AMOUNT OF LAST RECORDED PRECIPITATION)
  - BRIEF DESCRIPTION OF PROJECT'S STATUS (E.G., PERCENT COMPLETE) AND/OR CURRENT ACTIVITIES
  - EVIDENCE OF SEDIMENT DISCHARGES
  - IDENTIFICATION OF SEDIMENT CONTROLS THAT REQUIRE MAINTENANCE
  - IDENTIFICATION OF MISSING OR IMPROPERLY INSTALLED SEDIMENT CONTROLS
  - COMPLIANCE STATUS REGARDING THE SEQUENCE OF CONSTRUCTION AND STABILIZATION REQUIREMENTS
  - PHOTOGRAPHS
  - MONITORING/SAMPLING
  - MAINTENANCE AND/OR CORRECTIVE ACTION PERFORMED
  - OTHER INSPECTION ITEMS AS REQUIRED BY THE GENERAL PERMIT FOR STORMWATER ASSOCIATED WITH CONSTRUCTION ACTIVITIES (NPDES, MDE).
- TRENCHES FOR THE CONSTRUCTION OF UTILITIES IS LIMITED TO THREE PIPE LENGTHS OR THAT WHICH CAN AND SHALL BE BACK-FILLED AND STABILIZED BY THE END OF EACH WORKDAY, WHICHEVER IS SHORTER.
- ANY MAJOR CHANGES OR REVISIONS TO THE PLAN OR SEQUENCE OF CONSTRUCTION MUST BE REVIEWED AND APPROVED BY THE HSCD PRIOR TO PROCEEDING WITH CONSTRUCTION. MINOR REVISIONS MAY BE ALLOWED BY THE CID PER THE LIST OF HSCD APPROVED FIELD CHANGES.
- DISTURBANCE SHALL NOT OCCUR OUTSIDE THE LOD. A PROJECT IS TO BE SEQUENCED SO THAT GRADING ACTIVITIES BEGIN ON ONE GRADING UNIT (MAXIMUM ACREAGE OF 20 AC. PER GRADING UNIT) AT A TIME. WORK MAY PROCEED TO A SUBSEQUENT GRADING UNIT WHEN AT LEAST 50 PERCENT OF THE DISTURBED AREA IN THE PRECEDING GRADING UNIT HAS BEEN STABILIZED AND APPROVED BY THE HSCD. UNLESS OTHERWISE SPECIFIED AND APPROVED BY THE HSCD, NO MORE THAN 30 ACRES CUMULATIVELY MAY BE DISTURBED AT A GIVEN TIME.
- WASH WATER FROM ANY EQUIPMENT, VEHICLES, WHEELS, PAVEMENT, AND OTHER SOURCES MUST BE TREATED IN A SEDIMENT BASIN OR OTHER APPROVED WASHOUT STRUCTURE.
- TOPSOIL SHALL BE STOCKPILED AND PRESERVED ON-SITE FOR REDISTRIBUTION ONTO FINAL GRADE.
- ALL SILT FENCE AND SUPER SILT FENCE SHALL BE PLACED ON-THE-CONTOUR, AND BE IMBRICATED AT 2' MINIMUM INTERVALS, WITH LOWER ENDS CURLED UPHILL BY 2' IN ELEVATION.
- STREAM CHANNELS MUST NOT BE DISTURBED DURING THE FOLLOWING RESTRICTED TIME PERIODS (INCLUSIVE):
  - USE I AND IP MARCH 1 - JUNE 15
  - USE III AND IIIIP OCTOBER 1 - APRIL 30
  - USE IV MARCH 1 - MAY 31
- A COPY OF THIS PLAN, THE 2011 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL, AND ASSOCIATED PERMITS SHALL BE ON-SITE AND AVAILABLE WHEN THE SITE IS ACTIVE.

**UTILITY NOTE**

- CONTRACTOR SHOULD OPEN ONLY THAT SECTION OF TRENCH THAT CAN BE BACKFILLED AND STABILIZED EACH DAY. IF TRENCH MUST REMAIN OPEN LONGER THAN ONE DAY, SILT FENCE SHALL BE PLACED BELOW (DOWNSLOPE OF) THE TRENCH.
- PLACE ALL EXCAVATED MATERIAL ON UPHILL SIDE OF TRENCH.
- ANY SEDIMENT DISTURBED BY UTILITY CONSTRUCTION ARE TO BE REPAIRED IMMEDIATELY.

**LEGEND**

	PROPERTY LINE
	EX. CONTOURS
	EX. EDGE OF ROAD
	EX. BUILDING
	EX. TREELINE
	EX. WATER
	EX. SEWER
	EX. STORM DRAIN
	EX. OVERHEAD TELEPHONE
	EX. EASEMENT
	PROP. EASEMENT
	PROP. CONTOURS
	PROP. 12" DISCHARGE WATERMAIN
	PROP. SEWER
	PROP. STORM DRAIN
	PROP. BUILDING
	PROP. CURB
	LIMIT OF DISTURBANCE
	SOILS
	STABILIZED CONSTRUCTION ENTRANCE W/ MOUNTABLE BERM
	(M-6) TREE PIT MICRO-BIORETENTION FACILITY
	STORMCEPTOR
	PROPOSED UTILITY STRUCTURES
	SEC. PHASE 2 CONSTRUCTION AREA

**VICINITY MAP**

SCALE: 1"=2000'

HOWARD COUNTY ADC  
MAP NUMBER 15  
GRID NO. G-7

**OWNERS/DEVELOPER CERTIFICATION:**

"I/WE HEREBY CERTIFY THAT ANY CLEARING, GRADING, CONSTRUCTION, OR DEVELOPMENT WILL BE DONE PURSUANT TO THIS APPROVED EROSION AND SEDIMENT CONTROL PLAN, INCLUDING INSPECTING AND MAINTAINING CONTROLS, AND THAT THE RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF TRAINING AT A MARYLAND DEPARTMENT OF THE ENVIRONMENT (MDE) APPROVED TRAINING PROGRAM FOR THE CONTROL ON EROSION AND SEDIMENT PRIOR TO BEGINNING THE PROJECT. I CERTIFY RIGHT-OF-ENTRY FOR PERIODIC ON-SITE EVALUATION BY HOWARD COUNTY, THE HOWARD SOIL CONSERVATION DISTRICT AND/OR MDE."

OWNER'S/DEVELOPER'S SIGNATURE *[Signature]* 12/10/20 DATE  
 PRINTED NAME & TITLE *Wm J. Rowe Jr.*

**DESIGN CERTIFICATION:**

"I HEREBY CERTIFY THAT THIS PLAN HAS BEEN DESIGNED IN ACCORDANCE WITH CURRENT MARYLAND EROSION AND SEDIMENT CONTROL LAWS, REGULATIONS, AND STANDARDS, THAT IT REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT."

DESIGNER'S SIGNATURE *[Signature]* 12/9/20 DATE  
 PRINTED NAME *Malvin C. Beatty Jr.* MD REGISTRATION NO. 16928  
 PE, PLS., OR R.L.A. (CIRCLE ONE)

Date	No.	Revision Description
10/30/20	2	UPDATE PLANS PER REVISED BLDG. 'C' LAYOUT & NEW UTILITIES
04/19/19	1	UPDATE PLANS PER REVISED BLDG. 'C' LAYOUT & NEW BLDG. E-1 HOTEL

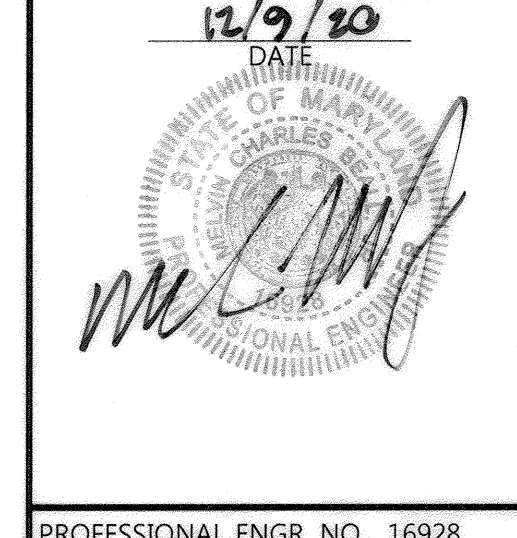
**DOWNTOWN COLUMBIA**  
**CRESCENT NEIGHBORHOOD**  
**PHASE I AREA 3, PHASE 2**  
 PARCELS D-1, D-7, D-8, D-9,  
 D-11, D-12 AND D-13  
 MIXED USE GREEN OFFICE, RESIDENTIAL, RETAIL, RESTAURANT, & HOTEL BUILDING

OWNER / DEVELOPER:  
 THE HOWARD RESEARCH AND DEVELOPMENT CORPORATION  
 COLUMBIA REGIONAL OFFICE  
 10960 GRANTCHESTER WAY SUITE 110  
 COLUMBIA, MD 21044  
 410-964-4800

**FILE NUMBERS:**  
 F 15-106, F 16-107, F 17-059, F 18-017,  
 SDP-16-075, SDP-18-005, WP-17-010,  
 WP-17-049, WP-17-052, WP-17-315,  
 WP-18-020, WP-18-021, SP-16-009,  
 WP-16-100, FDP-DC-CRESCENT-1,  
 FDP-DC-CRESCENT-1A, SDP 17-027, F 17-057,  
 F18-017, WP-18-089, WP-18-105.

**CONTRACT NUMBERS:**  
 24-4931-D, 24-4975-D, 24-4974-D.

**PROFESSIONAL CERTIFICATION**  
 I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 16928. EXPIRATION DATE: 05/13/22



PROFESSIONAL ENGR. NO. 16928

APPROVED:  
 PLANNING BOARD OF HOWARD COUNTY  
 DATE: 11/8/18

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT

*[Signature]* 01/06/2021  
 HOWARD SOIL CONSERVATION DISTRICT DATE

**DW**  
 DAFT MCCUNE WALKER INC

501 FAIRMOUNT AVENUE SUITE 300 TOWSON, MD 21286  
 P: 410 296 3333 F: 410 296 4705 WWW.DMW.COM

SUBDIVISION NAME	SECTION/AREA	NEIGHBORHOOD	LOT/PARCEL #
DOWNTOWN COLUMBIA	TAX ZONE/PROP	7 287A	PARCEL D
PLAT/LOT #	BLK/LOT #	DISTRICT	CENSUS TRACT
287A-287B	7	36	5
WATER CODE	SEWER CODE	LITTLE PATUXENT	STAGE
550			1

TITLE: **SEDIMENT AND EROSION CONTROL KEY SHEET**  
 REVISED SITE DEVELOPMENT PLAN

Des. By	SLAJ	SCALE AS SHOWN	Proj. No. 04038.B0
Drn. By	SLAJ	Date 02/15/19	
Chk. By	MCB/GDT	Approved MCB	34 of 78



**LEGEND**

	PROPERTY LINE
	EX. CONTOURS
	EX. EDGE OF ROAD
	EX. BUILDING
	EX. TREELINE
	EX. WATER
	EX. SEWER
	EX. STORM DRAIN
	EX. OVERHEAD TELEPHONE
	EX. EASEMENT
	PROP. EASEMENT
	PROP. CONTOURS
	PROP. CURB
	PROP. WATER
	PROP. SEWER
	PROP. STORM DRAIN
	PROP. BUILDING
	LIMIT OF DISTURBANCE
	SOILS
	STABILIZED CONSTRUCTION ENTRANCE W/ MOUNTABLE BERM
	PERMANENT SOIL STABILIZATION MATTING SOIL (PSSMS)
	(M-6) TREE PIT MICRO- BIORETENTION FACILITY
	STORMCEPTOR
	PROPOSED UTILITY STRUCTURES
	STANDARD INLET PROTECTION
	SUMP PIT
	SUPER SILT FENCE
	DIVERSION FENCE
	INLET BLOCKING

EX. PUBLIC WATER, SEWER AND UTILITY EASEMENT, PLAT NO. 28992

EX. MULTI-PURPOSE PUBLIC/PRIVATE UTILITY EASEMENT (SEE G.N. #59) PLAT NO. 24626

EX. PRIVATE STORMWATER MANAGEMENT EASEMENT AREA #37 (SEE G.N. #59) PLAT NO. 24819

EX. MULTI-PURPOSE PRIVATE UTILITY EASEMENT (SEE G.N. #59) PLAT NO. 24626

EX. PRIVATE STORMWATER MANAGEMENT EASEMENT AREA #36 (SEE G.N. #59) PLAT NO. 24819

EX. MULTI-PURPOSE PUBLIC/PRIVATE UTILITY EASEMENT (SEE G.N. #59) PLAT NO. 24626

EX. MULTI-PURPOSE PRIVATE UTILITY EASEMENT (SEE G.N. #59) PLAT NO. 24626

**OWNERS/DEVELOPER CERTIFICATION:**  
 "I/WE HEREBY CERTIFY THAT ANY CLEARING, GRADING, CONSTRUCTION, OR DEVELOPMENT WILL BE DONE PURSUANT TO THIS APPROVED EROSION AND SEDIMENT CONTROL PLAN, INCLUDING INSPECTING AND MAINTAINING CONTROLS, AND THAT THE RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF TRAINING AT A MARYLAND DEPARTMENT OF THE ENVIRONMENT (MDE) APPROVED TRAINING PROGRAM FOR THE CONTROL ON EROSION AND SEDIMENT PRIOR TO BEGINNING THE PROJECT. I CERTIFY RIGHT-OF-ENTRY FOR PERIODIC ON-SITE EVALUATION BY HOWARD COUNTY, THE HOWARD SOIL CONSERVATION DISTRICT AND/OR MDE."  
 2-18-19  
 OWNER'S/DEVELOPER'S SIGNATURE DATE  
 Wm. T. Rowe SVP  
 PRINTED NAME & TITLE

**DESIGN CERTIFICATION:**  
 "I HEREBY CERTIFY THAT THIS PLAN HAS BEEN DESIGNED IN ACCORDANCE WITH CURRENT MARYLAND EROSION AND SEDIMENT CONTROL LAWS, REGULATIONS, AND STANDARDS, THAT IT REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE, AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT."  
 2-18-19  
 DESIGNER'S SIGNATURE DATE  
 Gerald D. Turnbaugh  
 PRINTED NAME  
 REGISTRATION NO. (P.E. R.L.S. OR R.L.A. (CIRCLE ONE))

**FILE NUMBERS:**  
 F 15-106, F 16-107, F 17-059, F-18-017, SDP-16-075, SDP-18-005, WP-17-010, WP-17-049, WP-17-052, WP-17-115, WP-18-020, WP-18-021, SP-16-009, WP-16-100, FDP-DC-CRESCENT-1, FDP-DC-CRESENT-1A, SDP 17-027, F 17-057, F18-017, WP-18-089, WP-18-105.  
**CONTRACT NUMBERS:**  
 24-4931-D, 24-4975-D, 24-4974-D.

**PROFESSIONAL CERTIFICATION**  
 I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 26569, EXPIRATION DATE: 07/18/19.  
 2-18-19  
 DATE  
 PROFESSIONAL ENGR. NO. 26569

Date	No.	Revision Description
		<b>DOWNTOWN COLUMBIA</b> <b>CRESCENT NEIGHBORHOOD</b> <b>PHASE I AREA 3, PHASE 2</b> PARCELS D-1, D-7, D-8, D-9, D-11, D-12, A, N, D-13 MIXED USE GREEN OFFICE RESIDENTIAL RETAIL RESTAURANT BUILDING

**OWNER / DEVELOPER:**  
 THE HOWARD RESEARCH AND DEVELOPMENT CORPORATION  
 COLUMBIA REGIONAL OFFICE  
 10480 LITTLE PATUXENT PARKWAY SUITE 400  
 COLUMBIA, MD 21044  
 410-964-4800

**DAFT M'CUNE WALKER INC**

501 FAIRMOUNT AVENUE SUITE 300 TOWSON, MD 21286 P: 410 296 3333 F: 410 296 4705 WWW.DMW.COM	
SUBDIVISION NAME: DOWNTOWN COLUMBIA	SECTION: CRESCENT NEIGHBORHOOD
PLAT NO. 24819	TAX ZONING: R-3
WATER CODE: 550	SEWER CODE: 36
	STAGE: 5
	CENSUS TRACT: 605602
TITLE: <b>SEDIMENT AND EROSION CONTROL PLAN</b>	

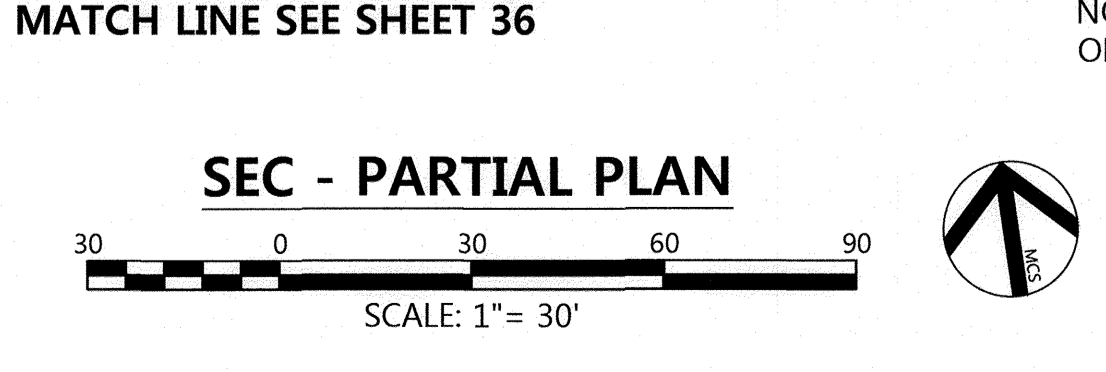
**APPROVED:** HOWARD COUNTY DEPT. OF PLANNING & ZONING

3-20-19  
 DATE  
 Chief, Development Engineering Division

4-24-19  
 DATE  
 Chief, Division of Land Development

4-24-19  
 DATE  
 Director, Division of Land Development

**EASEMENT NOTE:**  
 MULTI-PURPOSE PUBLIC UTILITY EASEMENT VARIES IN WIDTH AND ENCOMPASSES THE FOLLOWING:  
 • WATER  
 • SEWER  
 • STREET LIGHTING  
 • STORM WATER MANAGEMENT  
 • STORM DRAIN  
 • UTILITY



NOTE: SEE SHEET 41 FOR SEEDING SPECIFICATIONS TO BE IMPLEMENTED ON PARCELS AND OPEN SPACES OWNED BY THE COLUMBIA ASSOCIATION.

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT

3/6/19  
 DATE  
 HOWARD SOIL CONSERVATION DISTRICT

APPROVED:  
 PLANNING BOARD OF HOWARD COUNTY  
 DATE: 1/2/18

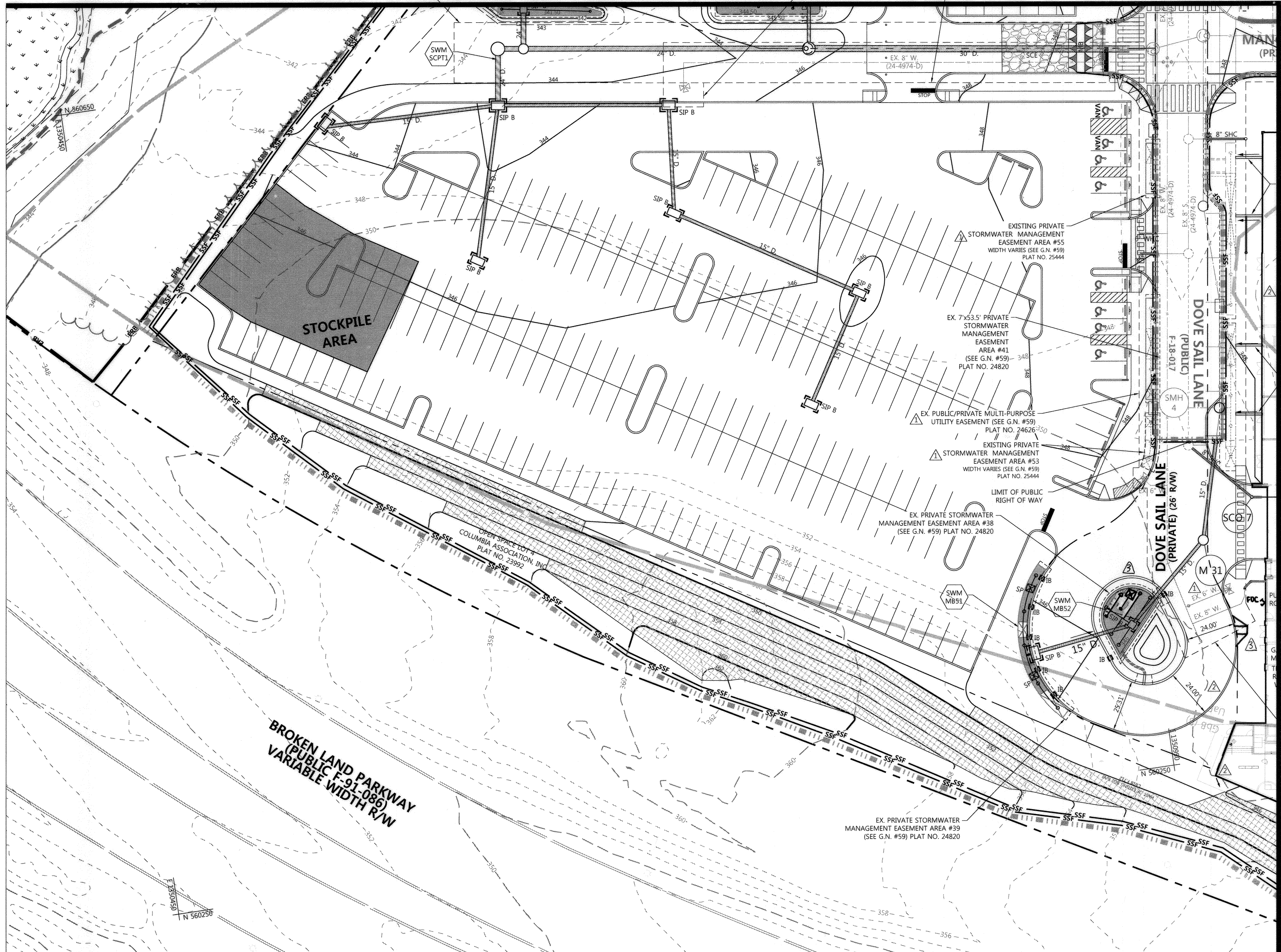
Des. By	SLAJ	SCALE	AS SHOWN	Proj. No.	04038.B0
Drn. By	SLAJ	Date	02/15/19		
Chk. By	MCB/GDT	Approved	MCB		35 of 78

EX. PUBLIC/PRIVATE MULTI-PURPOSE UTILITY EASEMENT (SEE G.N. #59) PLAT NO. 24626 & 24816

**CONTINUATION LINE SHEET 35**

EX. PUBLIC/PRIVATE MULTI-PURPOSE UTILITY EASEMENT (SEE G.N. #59) PLAT NO. 24626 & 24816

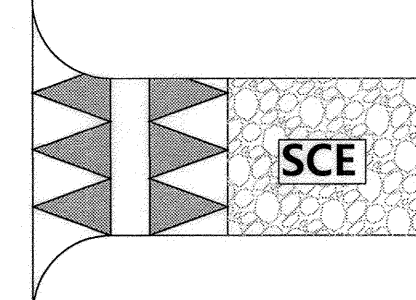
EX. PUBLIC/PRIVATE MULTI-PURPOSE UTILITY EASEMENT (SEE G.N. #59) PLAT NO. 24626 & 24816



CONTINUATION LINE SHEET 37

**LEGEND**

	PROPERTY LINE
	EX. CONTOURS
	EX. EDGE OF ROAD
	EX. BUILDING
	EX. TREE LINE
	EX. WATER
	EX. SEWER
	EX. STORM DRAIN
	EX. OVERHEAD TELEPHONE
	EX. EASEMENT
	PROP. EASEMENT
	PROP. CONTOURS
	PROP. CURB
	PROP. WATER
	PROP. SEWER
	PROP. STORM DRAIN
	PROP. BUILDING
	LIMIT OF DISTURBANCE
	SOILS



	(M-6) TREE PIT MICRO-BIORETENTION FACILITY
	STORMCEPTOR
	PROPOSED UTILITY STRUCTURES
	STANDARD INLET PROTECTION
	SUMP PIT
	SUPER SILT FENCE
	DIVERSION FENCE
	STOCKPILE AREA
	INLET BLOCKING

EX. PUBLIC/PRIVATE MULTI-PURPOSE UTILITY EASEMENT (SEE G.N. #59) PLAT NO. 24627 & 24817

**OWNERS/DEVELOPER CERTIFICATION:**

"I/WE HEREBY CERTIFY THAT ANY CLEARING, GRADING, CONSTRUCTION, OR DEVELOPMENT WILL BE DONE PURSUANT TO THIS APPROVED EROSION AND SEDIMENT CONTROL PLAN, INCLUDING INSPECTING AND MAINTAINING CONTROLS, AND THAT THE RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF TRAINING AT A MARYLAND DEPARTMENT OF THE ENVIRONMENT (MDE) APPROVED TRAINING PROGRAM FOR THE CONTROL ON EROSION AND SEDIMENT PRIOR TO BEGINNING THE PROJECT. I CERTIFY RIGHT-OF-ENTRY FOR PERIODIC ON-SITE EVALUATION BY HOWARD COUNTY, THE HOWARD SOIL CONSERVATION DISTRICT AND/OR MDE."

OWNER'S/DEVELOPER'S SIGNATURE \_\_\_\_\_ DATE \_\_\_\_\_

**DESIGN CERTIFICATION:**

"I HEREBY CERTIFY THAT THIS PLAN HAS BEEN DESIGNED IN ACCORDANCE WITH CURRENT MARYLAND EROSION AND SEDIMENT CONTROL LAWS, REGULATIONS, AND STANDARDS, THAT IT REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE, AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT."

DESIGNER'S SIGNATURE \_\_\_\_\_ DATE 2/9/22

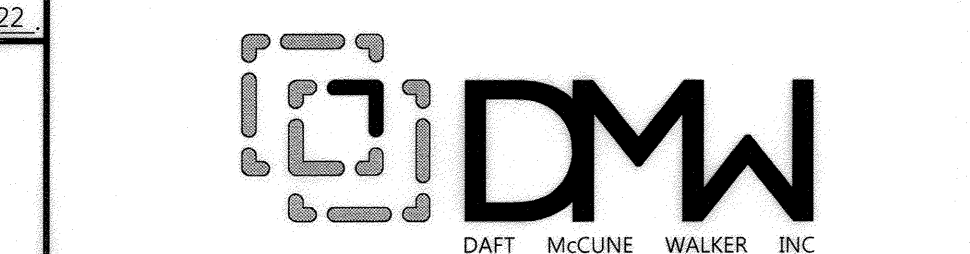
PRINTED NAME Melvin C. Beall, Jr. MD REGISTRATION NO. 16928  
P.E./R.L.S. OR R.L.A. (CIRCLE ONE)

Date	No.	Revision Description
7/16/22	1	UPDATE PLANS PER AS-BUILT CONDITIONS
10/30/20	2	UPDATE PLANS PER REVISED BLDG. 'C' LAYOUT & UTILITIES
04/19/19	1	UPDATE PLANS PER REVISED BLDG. 'C' LAYOUT & NEW BLDG. E-1 HOTEL

**DOWNTOWN COLUMBIA**  
CRESCENT NEIGHBORHOOD  
PHASE I AREA 3, PHASE 2  
PARCELS D-1, D-7, D-8, D-9,  
D-11, D-12 AND D-13

MIXED USE GREEN OFFICE, RESIDENTIAL, RETAIL, RESTAURANT, & HOTEL BUILDING

**OWNER / DEVELOPER:**  
THE HOWARD RESEARCH AND DEVELOPMENT CORPORATION  
COLUMBIA REGIONAL OFFICE  
10960 GRANBY CHESTER WAY SUITE 110  
COLUMBIA, MD 21044  
410-964-4800

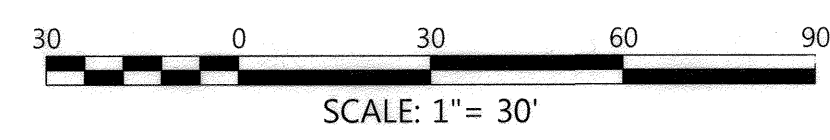


501 FAIRMOUNT AVENUE SUITE 300 TOWSON, MD 21286  
P: 410 296 3333 F: 410 296 4705 WWW.DMW.COM

SUBDIVISION NAME	SECTION AREA	NEIGHBORHOOD	LOT/PARCEL #
DOWNTOWN COLUMBIA	PHASE 2 AREA 3		
PLAT NO.	TAX ZONE	BLK. FRONT	CEMSIS TRACT
24626	7	36	605602
WATER CODE	SEWER CODE	LITTLE PATUXENT	STAGE
550			1

TITLE <b>SEDIMENT AND EROSION CONTROL PLAN</b>			
REVISED SITE DEVELOPMENT PLAN			
Des. By	SLAJ	SCALE AS SHOWN	Proj. No. 04038.B0
Drn. By	SLAJ	Date 02/15/19	
Chk. By	MCB/GDT	Approved MCB	36 of 78

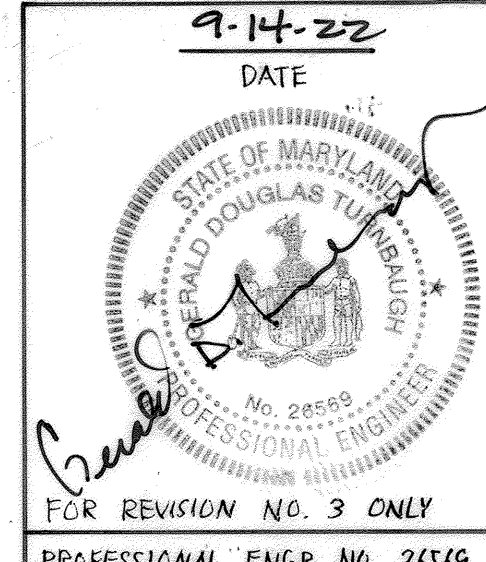
**SEC - PARTIAL PLAN**



- EASEMENT NOTE:**
- MULTI-PURPOSE PUBLIC UTILITY EASEMENT VARIES IN WIDTH AND ENCOMPASSES THE FOLLOWING:
- WATER
  - SEWER
  - STREET LIGHTING
  - STORM WATER MANAGEMENT
  - STORM DRAIN
  - UTILITY

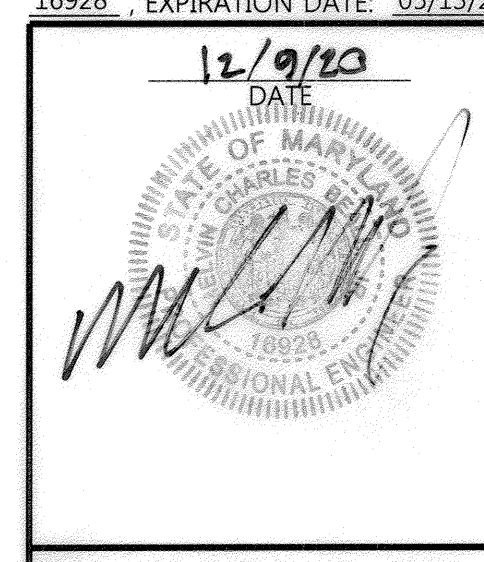
APPROVED: HOWARD COUNTY DEPT. OF PLANNING & ZONING	
	1-15-21
CHIEF, DEVELOPMENT ENGINEERING DIVISION	DATE
	2/3/21
CHIEF, DIVISION OF LAND DEVELOPMENT	DATE
	2-3-21
DIRECTOR	DATE

PROFESSIONAL CERTIFICATION  
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.  
LICENSE NO. 24519, EXPIRATION DATE: 7/18/2023.



DATE 9-14-22  
FOR REVISION NO. 3 ONLY  
PROFESSIONAL ENGR. NO. 24519

PROFESSIONAL CERTIFICATION  
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.  
LICENSE NO. 16928, EXPIRATION DATE: 05/13/22.



DATE 12/9/20  
PROFESSIONAL ENGR. NO. 16928

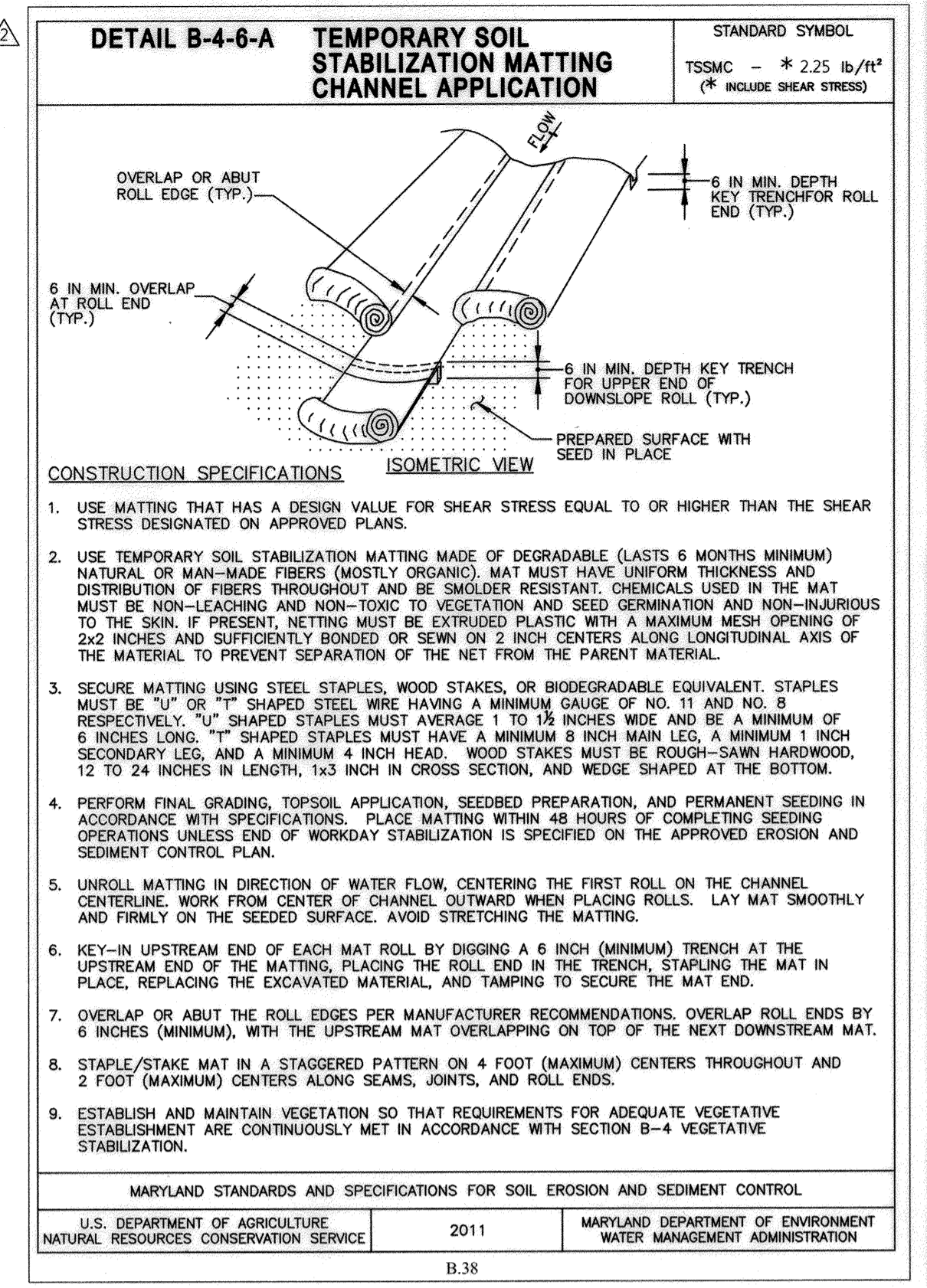
THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT

ALEXANDER BRATCHIE  
HOWARD SOIL CONSERVATION DISTRICT

DATE 01/06/2021

APPROVED:  
PLANNING BOARD OF HOWARD COUNTY

DATE 1/18/18



**OWNERS/DEVELOPER CERTIFICATION:**

"I/WE HEREBY CERTIFY THAT ANY CLEARING, GRADING, CONSTRUCTION, OR DEVELOPMENT WILL BE DONE PURSUANT TO THIS APPROVED EROSION AND SEDIMENT CONTROL PLAN, INCLUDING INSPECTING AND MAINTAINING CONTROLS, AND THAT THE RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF TRAINING AT A MARYLAND DEPARTMENT OF THE ENVIRONMENT (MDE) APPROVED TRAINING PROGRAM FOR THE CONTROL ON EROSION AND SEDIMENT PRIOR TO BEGINNING THE PROJECT. I CERTIFY RIGHT-OF-ENTRY FOR PERIODIC ON-SITE EVALUATION BY HOWARD COUNTY, THE HOWARD SOIL CONSERVATION DISTRICT AND/OR MDE."

OWNER'S/DEVELOPER'S SIGNATURE: *Wm T Rowe* 12/10/2020  
DATE: 12/10/2020

PRINTED NAME & TITLE: Wm T Rowe, MDE

**DESIGN CERTIFICATION:**

"I HEREBY CERTIFY THAT THIS PLAN HAS BEEN DESIGNED IN ACCORDANCE WITH CURRENT MARYLAND EROSION AND SEDIMENT CONTROL LAWS, REGULATIONS, AND STANDARDS, THAT IT REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE, AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT."

DESIGNER'S SIGNATURE: *Malvin C. Beatty Jr.* 12/9/20  
DATE: 12/9/20

PRINTED NAME: Malvin C. Beatty Jr., M.D. REGISTRATION NO. 16928, OR R.L.A. (CIRCLE ONE)

Date	No.	Revision Description
7/16/22	1	UPDATE PLANS PER AS-BUILT CONDITIONS
10/30/20	2	UPDATE PLANS PER REVISED BLDG. 'C' LAYOUT & UTILITIES
04/19/19	1	UPDATE PLANS PER REVISED BLDG. 'C' LAYOUT & NEW BLDG. E-1 HOTEL

**FILE NUMBERS:**  
F 15-106, F 16-107, F 17-059, F 18-017, SDP-16-075, SDP-18-005, WP-17-010, WP-17-049, WP-17-052, WP-17-115, WP-18-020, WP-18-021, SP-16-009, WP-16-100, FDP-DC-CRESCENT-1, FDP-DC-CRESCENT-1A, SDP 17-027, F 17-057, F 18-017, WP-18-089, WP-18-105.

**CONTRACT NUMBERS:**  
24-4931-D, 24-4975-D, 24-4974-D.

**PROFESSIONAL CERTIFICATION**

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 16928, EXPIRATION DATE: 05/13/22

DATE: 12/9/20

PROFESSIONAL ENGR. NO. 16928

**SEDIMENT AND EROSION CONTROL PLAN**

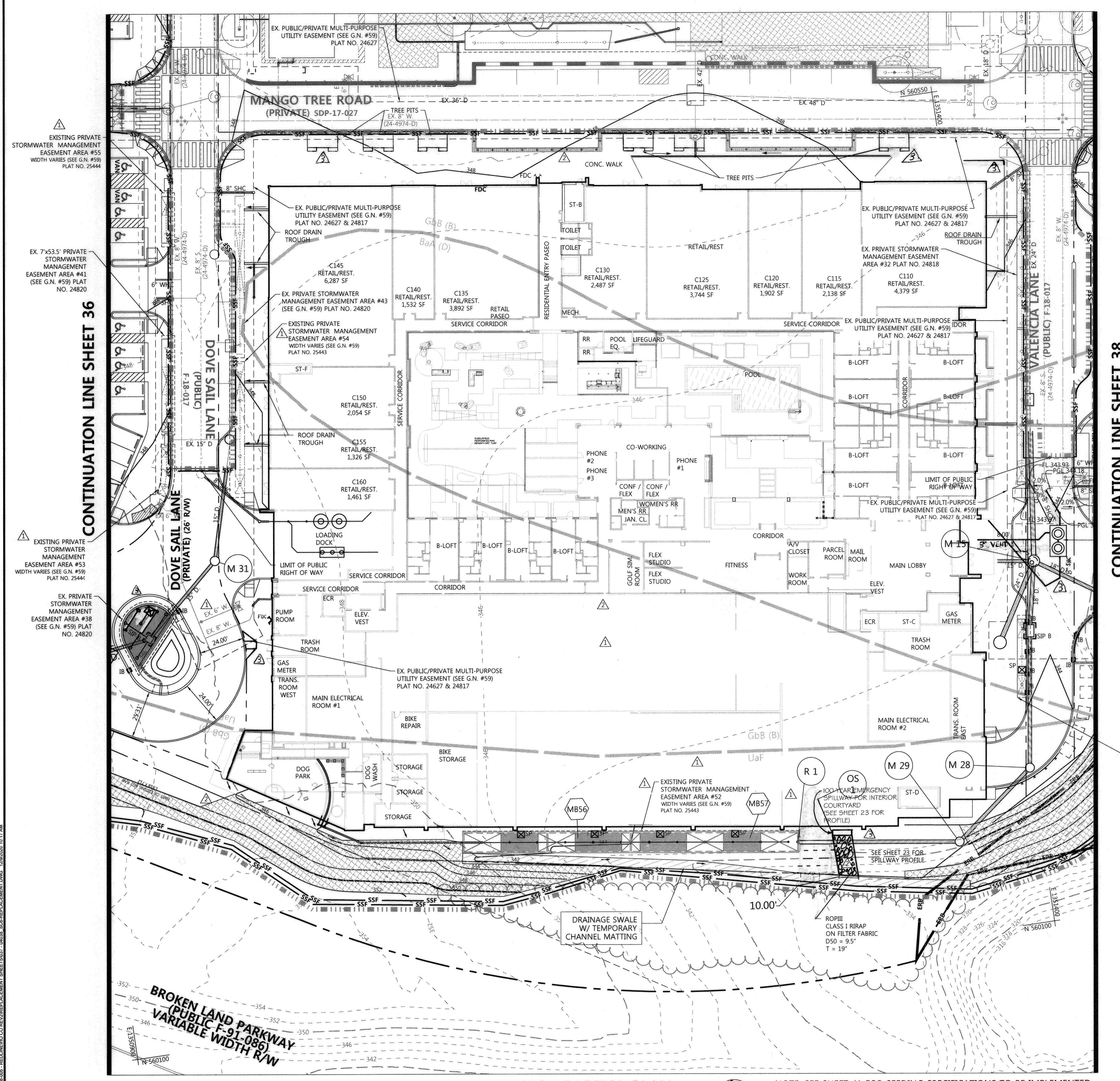
REVISED SITE DEVELOPMENT PLAN

APPROVED: PLANNING BOARD OF HOWARD COUNTY DATE: 11/8/18

Des. By: SLAJ SCALE AS SHOWN Proj. No. 04038.B0  
Dwn. By: SLAJ Date: 02/15/19  
Chk. By: MCB/GDT Approved: MCB 37 of 78

**LEGEND**

- 499 --- PROPERTY LINE
  - 488 --- EX. CONTOURS
  - 488 --- EX. EDGE OF ROAD
  - 488 --- EX. BUILDING
  - 488 --- EX. TREELINE
  - 488 --- EX. WATER
  - 488 --- EX. SEWER
  - 488 --- EX. STORM DRAIN
  - 488 --- EX. OVERHEAD TELEPHONE
  - 488 --- EX. EASEMENT
  - 488 --- PROP. EASEMENT
  - 488 --- PROP. CONTOURS
  - 488 --- PROP. CURB
  - 488 --- PROP. WATER
  - 488 --- PROP. SEWER
  - 488 --- PROP. STORM DRAIN
  - 488 --- PROP. BUILDING
  - 488 --- LIMIT OF DISTURBANCE
  - 488 --- SOILS
- SCE --- STABILIZED CONSTRUCTION ENTRANCE W/ MOUNTABLE BERM
- --- PERMANENT SOIL STABILIZATION MATTING SOIL (PSSMS)
- --- TEMPORARY SOIL STABILIZATION MATTING SOIL CHANNEL (TSSMC)
- --- SURFACE PLANTING BED
- --- (M-6) TREE PIT MICRO-BIORETENTION FACILITY
- --- STORMCEPTOR
- --- PROPOSED UTILITY STRUCTURES
- SIP-A --- STANDARD INLET PROTECTION
- SIP-B --- STANDARD INLET PROTECTION
- SP --- SUMP PIT
- SSF --- SUPER SILT FENCE
- DF --- DIVERSION FENCE
- IB --- INLET BLOCKING
- --- ROCK OUTLET PROTECTION III (ROP3)



APPROVED: HOWARD COUNTY DEPT. OF PLANNING & ZONING

DATE: 1/15/21

DATE: 2/1/21

DATE: 2-3-21

- EASEMENT NOTE:**
- MULTI-PURPOSE PUBLIC UTILITY EASEMENT VARIES IN WIDTH AND ENCOMPASSES THE FOLLOWING:
- WATER
  - SEWER
  - STREET LIGHTING
  - STORM WATER MANAGEMENT
  - STORM DRAIN
  - UTILITY

**PROFESSIONAL CERTIFICATION**

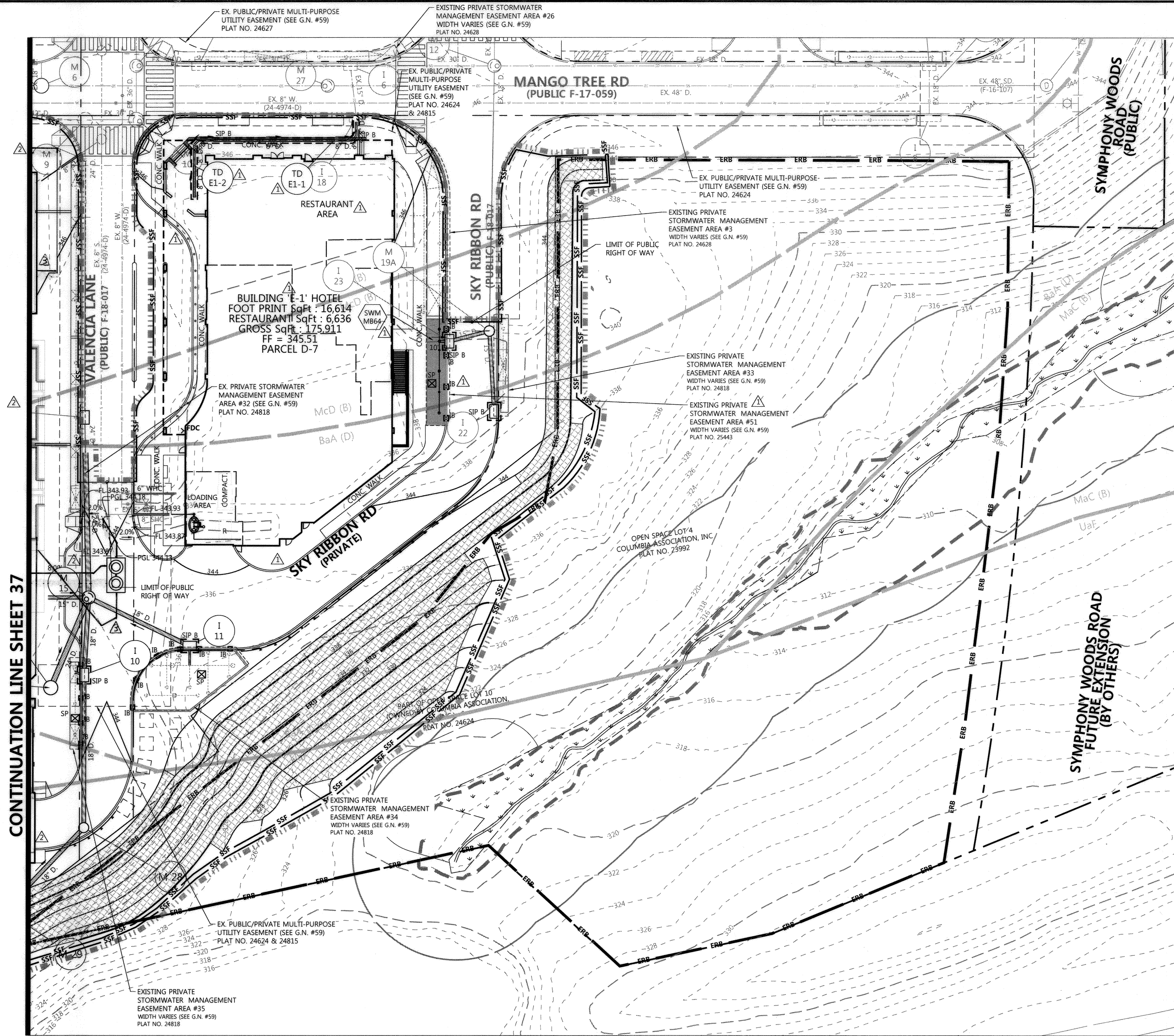
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 26569, EXPIRATION DATE: 7/18/2023

DATE: 9-14-22

PROFESSIONAL ENGR. NO. 26569

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT

DATE: 01/06/2021

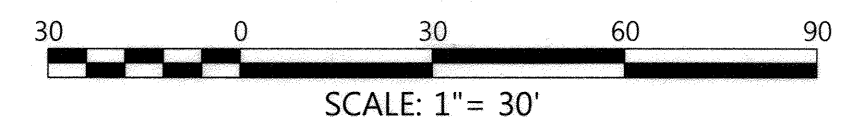


CONTINUATION LINE SHEET 37

**LEGEND**

- 490 --- PROPERTY LINE
  - 488 --- EX. CONTOURS
  - EX. EDGE OF ROAD
  - EX. BUILDING
  - EX. TREELINE
  - W --- EX. WATER
  - S --- EX. SEWER
  - SD --- EX. STORM DRAIN
  - EX. OVERHEAD TELEPHONE
  - EX. EASEMENT
  - 490 --- PROP. CONTOURS
  - 488 --- PROP. CONTOURS
  - C --- PROP. CURB
  - W --- PROP. WATER
  - S --- PROP. SEWER
  - SD --- PROP. STORM DRAIN
  - B --- PROP. BUILDING
  - L --- LIMIT OF DISTURBANCE
  - GbC --- SOILS
- 
- SCE STABILIZED CONSTRUCTION ENTRANCE W/ MOUNTABLE BERM
  - PERMANENT SOIL STABILIZATION MATTING SOIL (PSSMS)
  - (M-6) TREE PIT MICRO-BIORETENTION FACILITY
  - STORMCEPTOR
  - PROPOSED UTILITY STRUCTURES
  - STANDARD INLET PROTECTION
  - SUMP PIT
  - SUPER SILT FENCE
  - DIVERSION FENCE
  - INLET BLOCKING

**SEC - PARTIAL PLAN**

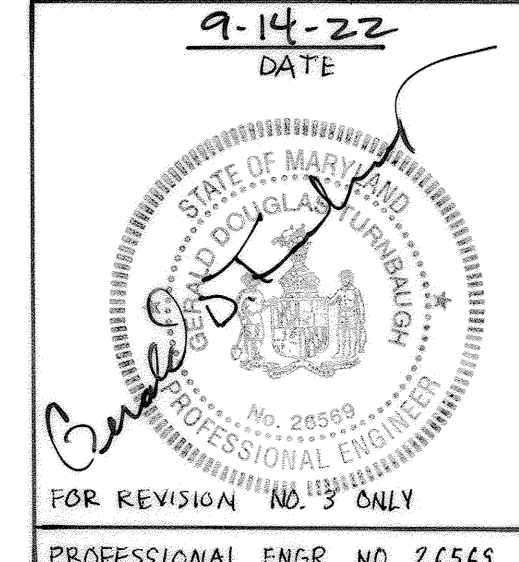


NOTE: SEE SHEET 41 FOR SEEDING SPECIFICATIONS TO BE IMPLEMENTED ON PARCELS AND OPEN SPACES OWNED BY THE COLUMBIA ASSOCIATION.

**EASEMENT NOTE:**  
 MULTI-PURPOSE PUBLIC UTILITY EASEMENT VARIES IN WIDTH AND ENCOMPASSES THE FOLLOWING:  
 • WATER  
 • SEWER  
 • STREET LIGHTING  
 • STORM WATER MANAGEMENT  
 • STORM DRAIN  
 • UTILITY

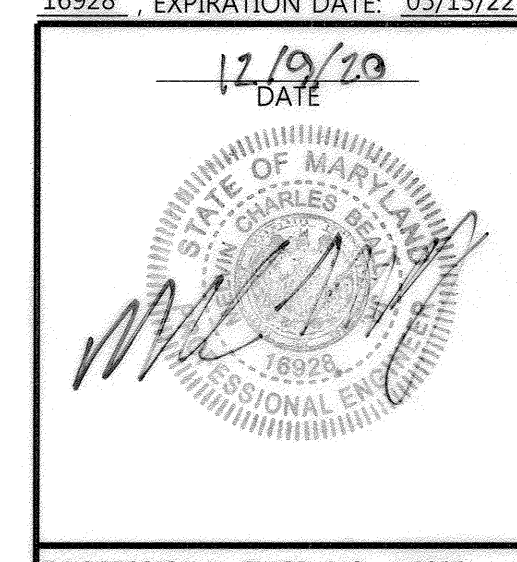
APPROVED: HOWARD COUNTY DEPT. OF PLANNING & ZONING  
 [Signature] 1/15/21 DATE  
 CHIEF, DEVELOPMENT ENGINEERING DIVISION  
 [Signature] 2/1/21 DATE  
 CHIEF, DIVISION OF LAND DEVELOPMENT  
 [Signature] 2-3-21 DATE  
 DIRECTOR

**PROFESSIONAL CERTIFICATION**  
 I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NO. 26368, EXPIRATION DATE: 7/18/2023



**PROFESSIONAL CERTIFICATION**

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 16928, EXPIRATION DATE: 05/13/22



THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT  
 [Signature] 01/06/2021 DATE  
 HOWARD SOIL CONSERVATION DISTRICT

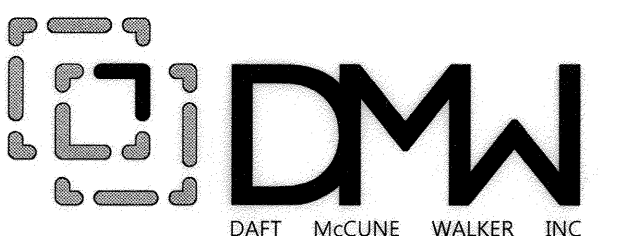
APPROVED: PLANNING BOARD OF HOWARD COUNTY  
 DATE: 11/8/18

**OWNERS/DEVELOPER CERTIFICATION:**  
 I/WE HEREBY CERTIFY THAT ANY CLEARING, GRADING, CONSTRUCTION, OR DEVELOPMENT WILL BE DONE PURSUANT TO THIS APPROVED EROSION AND SEDIMENT CONTROL PLAN, INCLUDING INSPECTING AND MAINTAINING CONTROLS, AND THAT THE RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF TRAINING AT A MARYLAND DEPARTMENT OF THE ENVIRONMENT (MDE) APPROVED TRAINING PROGRAM FOR THE CONTROL ON EROSION AND SEDIMENT PRIOR TO BEGINNING THE PROJECT. I CERTIFY RIGHT-OF-ENTRY FOR PERIODIC ON-SITE EVALUATION BY HOWARD COUNTY, THE HOWARD SOIL CONSERVATION DISTRICT AND/OR MDE.  
 [Signature] 12/19/2020 DATE  
 OWNER'S/DEVELOPER'S SIGNATURE  
 Wm. T. Rowe JVP  
 PRINTED NAME & TITLE

**DESIGN CERTIFICATION:**  
 I HEREBY CERTIFY THAT THIS PLAN HAS BEEN DESIGNED IN ACCORDANCE WITH CURRENT MARYLAND EROSION AND SEDIMENT CONTROL LAWS, REGULATIONS, AND STANDARDS, THAT IT REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE, AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.  
 [Signature] 12/9/20 DATE  
 DESIGNER'S SIGNATURE  
 Melvin C. Beatty Jr. 16928  
 PRINTED NAME MD REGISTRATION NO.  
 C.E., R.L.S., OR R.L.A. (CIRCLE ONE)

Date	No.	Revision Description
7/6/22	1	UPDATE PLANS PER AS-BUILT CONDITIONS.
10/30/20	2	UPDATE PLANS PER REVISED BLDG. 'C' LAYOUT & UTILITIES
04/19/19	1	UPDATE PLANS PER REVISED BLDG. 'C' LAYOUT & NEW BLDG. E-1 HOTEL

**DOWNTOWN COLUMBIA**  
**CRESCENT NEIGHBORHOOD**  
**PHASE I AREA 3, PHASE 2**  
 PARCELS D-1, D-7, D-8, D-9,  
 D-11, D-12 AND D-13  
 MIXED USE GREEN OFFICE, RESIDENTIAL, RETAIL, RESTAURANT, & HOTEL BUILDING  
 OWNER / DEVELOPER:  
 THE HOWARD RESEARCH AND DEVELOPMENT CORPORATION  
 COLUMBIA REGIONAL OFFICE  
 10960 GRANTCHESTER WAY SUITE 110  
 COLUMBIA, MD 21044  
 410-964-4800

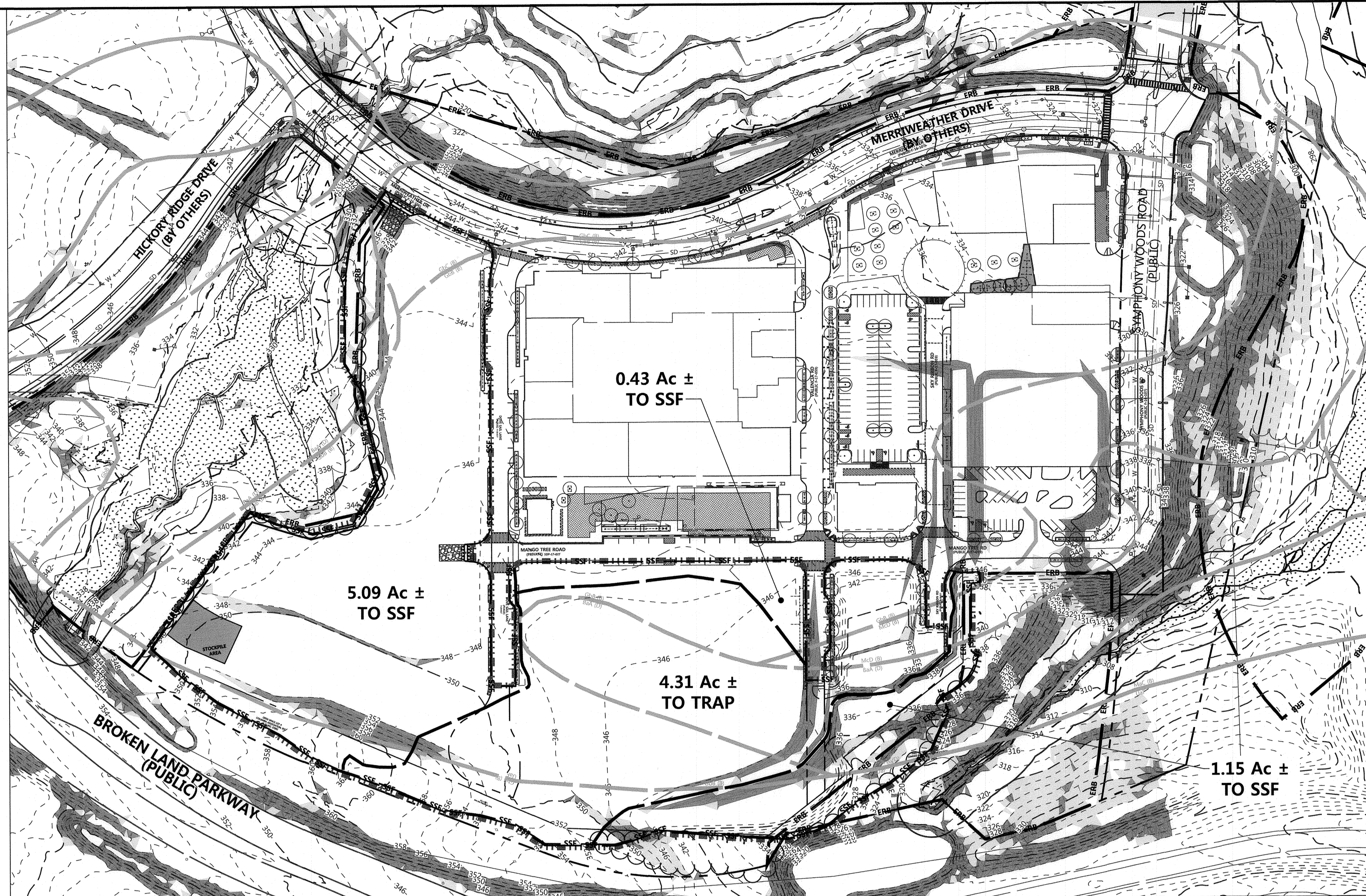


501 FAIRMOUNT AVENUE SUITE 300 TOWSON, MD 21286  
 P: 410 296 3333 F: 410 296 4705 WWW.DMW.COM

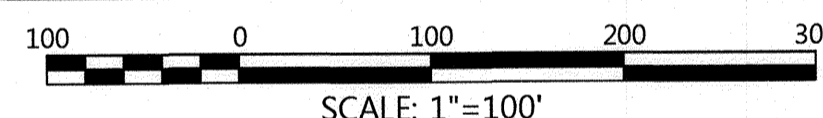
Subdivision Name	Section/Block	Lot/Parcel #
DOWNTOWN COLUMBIA	CRESCENT NEIGHBORHOOD	PARCEL D
PLAT OR LOT	TAX ZONE/MAP	ELECT. DISTRICT
24818	7	5
WATER CODE	SEWER CODE	STAGE
550	LITTLE PATUXENT	1

**TITLE**  
**SEDIMENT AND EROSION CONTROL PLAN**  
 REVISED SITE DEVELOPMENT PLAN

Des. By	SLAJ	SCALE AS SHOWN	Proj. No.
Des. By	SLAJ	SCALE AS SHOWN	Proj. No. 04038.B0
Drn. By	SLAJ	Date 02/15/19	
Chk. By	MCB/GDT	Approved MCB	38 of 78



EXISTING CONDITIONS - DRAINAGE AREA MAP



STEEP SLOPES DATA

- 15% AND UP (HIGHLY ERODIBLE)
- 20% AND UP (STEEP SLOPES)

NOTE: SLOPE INFORMATION SHOWN HERE ON IS A RESULT OF MASS GRADING SDP-16-075

HYDROLOGIC SOIL GROUP - SUMMARY BY MAP UNIT - HOWARD COUNTY, MARYLAND			
MAP UNIT SYMBOL	MAP UNIT NAME	HYDROLOGIC GROUP	K VALUE (Kw)
BaA	BAILE SILT LOAM, 0 TO 3 PERCENT SLOPE	D	0.32
GbB	GLADSTONE LOAM 3 TO 8 PERCENT SLOPES	B	0.20
GbC	GLADSTONE LOAM 8 TO 15 PERCENT SLOPES	B	0.20
MaC	MANOR LOAM 8 TO 15 PERCENT SLOPES	B	0.24
McD	MANOR LOAM 15 TO 25 PERCENT SLOPES, VERY ROCKY	B	0.24
USDA NATURAL RESOURCES CONSERVATION SERVICE WEB SOIL SURVEY 2.0 NATIONAL COOPERATIVE SOIL SURVEY			11/26/2007 HOWARD COUNTY SOIL MAP #18

APPROVED: HOWARD COUNTY DEPT. OF PLANNING & ZONING  
  
 CHIEF, DEVELOPMENT ENGINEERING DIVISION **3-20-19**  
 DATE

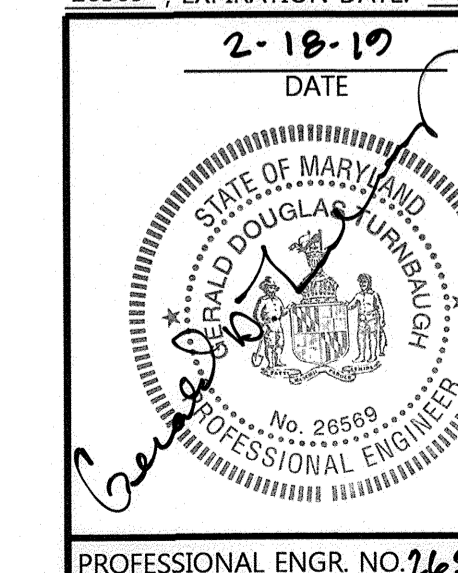
CHIEF, DIVISION OF LAND DEVELOPMENT **4-24-19**  
 DATE

DIRECTOR, DIVISION OF LAND DEVELOPMENT **4-24-19**  
 DATE

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT  
  
 HOWARD SOIL CONSERVATION DISTRICT **3/6/19**  
 DATE

**FILE NUMBERS:**  
 F 15-106, F 16-107, F 17-059, F 18-017, SDP-16-075, SDP-18-005, WP-17-010, WP-17-049, WP-17-052, WP-17-115, WP-18-020, WP-18-021, SP-16-009, WP-16-100, FDP-DC-CRESCENT-1, FDP-DC-CRESCENT-1A, SDP 17-027, F 17-057, F18-017, WP-18-089, WP-18-105.  
**CONTRACT NUMBERS:**  
 24-4931-D, 24-4975-D, 24-4974-D.

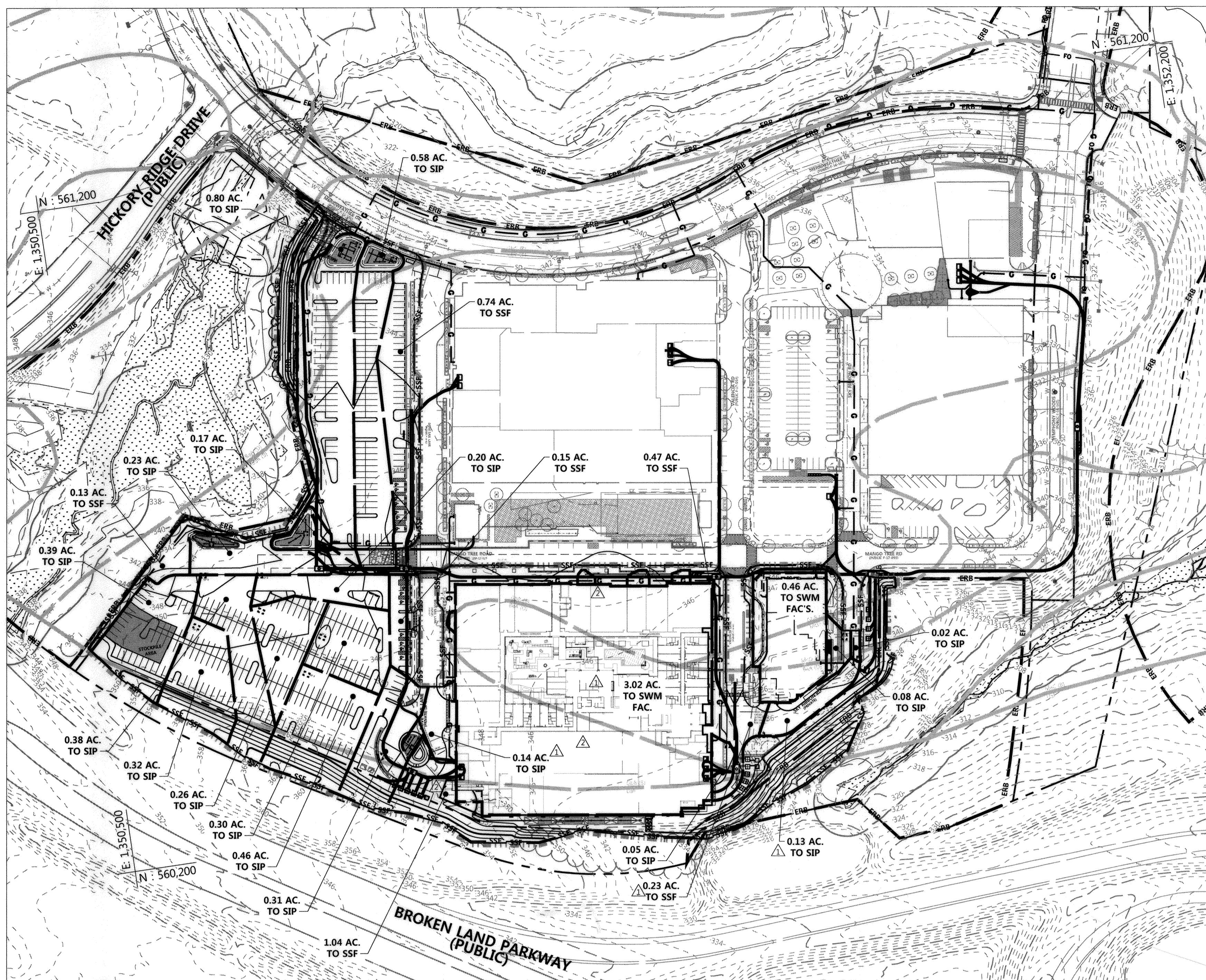
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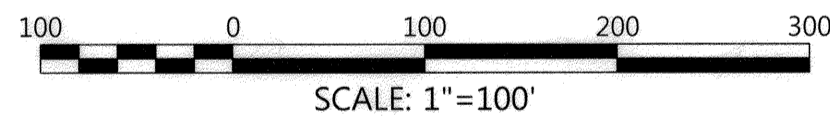
APPROVED:  
 PLANNING BOARD OF HOWARD COUNTY  
 DATE: **11/8/18**

- LEGEND**
- PROPERTY LINE
  - EX. CONTOURS
  - EX. EDGE OF ROAD
  - EX. BUILDING
  - EX. TREELINE
  - EX. WATER
  - EX. SEWER
  - EX. STORM DRAIN
  - EX. OVERHEAD TELEPHONE
  - EX. EASEMENT
  - LIMIT OF DISTURBANCE
  - SOILS
  - DRAINAGE DIVIDES
  - STABILIZED CONSTRUCTION ENTRANCE W/ MOUNTABLE BERM
  - (M-6) MODULAR MICRO-BIORETENTION FACILITY
  - PROPOSED UTILITY STRUCTURES
  - STANDARD INLET PROTECTION
  - SUMP PIT
  - SUPER SILT FENCE
  - DIVERSION FENCE
  - STOCKPILE AREA

Date	No.	Revision Description	
		<b>DOWNTOWN COLUMBIA</b> CRESCENT NEIGHBORHOOD PHASE I AREA 3, PHASE 2 PARCELS D-1, D-7, D-8, D-9, D-11, D-12 AND D-13 MIXED USE GREEN OFFICE, RESIDENTIAL, RETAIL, RESTAURANT BUILDING	
OWNER / DEVELOPER: THE HOWARD RESEARCH AND DEVELOPMENT CORPORATION COLUMBIA REGIONAL OFFICE 10480 LITTLE PATUXENT PARKWAY SUITE 400 COLUMBIA, MD 21044 410-964-4800			
 DAFT MCCUNE WALKER INC			
501 FAIRMOUNT AVENUE SUITE 300 TOWSON, MD 21286 P: 410 296 3333 F: 410 296 4705 WWW.DMW.COM			
SUBDIVISION NAME	SECTION	NEIGHBORHOOD	LOT/PARCEL #
DOWNTOWN COLUMBIA	PHASE 2	AREA 3	PARCEL D
PLAT OR L.P.P. NUMBER	TAX MAP	ELECT. DISTRICT	CENSUS TRACT
7	36	5	605602
WATER CODE	SEWER CODE	STAGE	
SS0	LITTLE PATUXENT	1	
TITLE <b>SEDIMENT AND EROSION CONTROL EX. CONDITIONS DA MAP</b>			
Des. By	SLAJ	SCALE AS SHOWN	Proj. No. 04038.80
Drn. By	SLAJ	Date 02/15/19	
Chk. By	MCB/GDT	Approved MCB	39 of 78



PROPOSED CONDITIONS - DRAINAGE AREA MAP



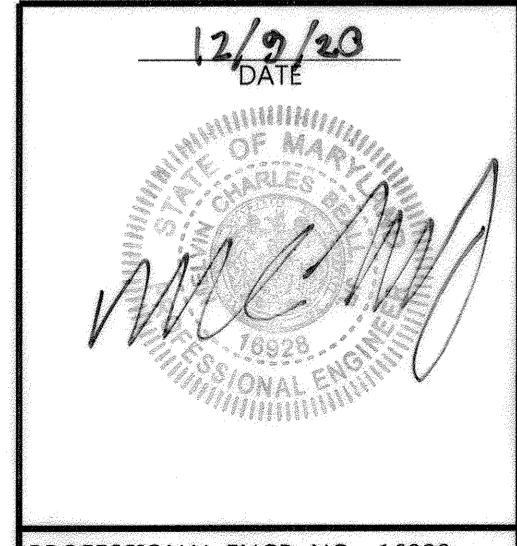
NOTE: ROOF AND PARKING GARAGE AREAS DRAIN UNDERGROUND INTO STORM DRAIN SYSTEM AND/OR STORMCEPTORS.

LEGEND

- PROPERTY LINE
- - - EX. CONTOURS
- EX. EDGE OF ROAD
- EX. BUILDING
- EX. TREELINE
- EX. WATER
- EX. SEWER
- EX. STORM DRAIN
- EX. OVERHEAD TELEPHONE
- EX. EASEMENT
- PROP. EASEMENT
- PROP. CONTOURS
- PROP. CURB
- PROP. 12" DISCHARGE WATERMAIN
- PROP. SEWER
- PROP. STORM DRAIN
- PROP. BUILDING
- LIMIT OF DISTURBANCE
- SOILS
- DRAINAGE DIVIDES
- SCE --- STABILIZED CONSTRUCTION ENTRANCE W/ MOUNTABLE BERM
- (M-6) MODULAR MICRO-BIORETENTION FACILITY
- STORMCEPTOR
- PROPOSED UTILITY STRUCTURES
- SIP --- INLET PROTECTION
- SP --- SUMP PIT
- SSF --- SUPER SILT FENCE
- DF --- DIVERSION FENCE
- STOCKPILE AREA

**FILE NUMBERS:**  
 F 15-106, F 16-107, F 17-059, F 18-017,  
 SDP-16-075, SDP-18-005, WP-17-010,  
 WP-17-049, WP-17-052, WP-17-115,  
 WP-18-020, WP-18-021, SP-16-009,  
 WP-16-100, FDP-DC-CRESCENT-1,  
 FDP-DC-CRESCENT-1A, SDP 17-027, F 17-057,  
 F18-017, WP-18-089, WP-18-105.  
**CONTRACT NUMBERS:**  
 24-4931-D, 24-4975-D, 24-4974-D.

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PROFESSIONAL ENGR. NO. 16928

APPROVED:  
 PLANNING BOARD OF HOWARD COUNTY  
 DATE: 11/8/18

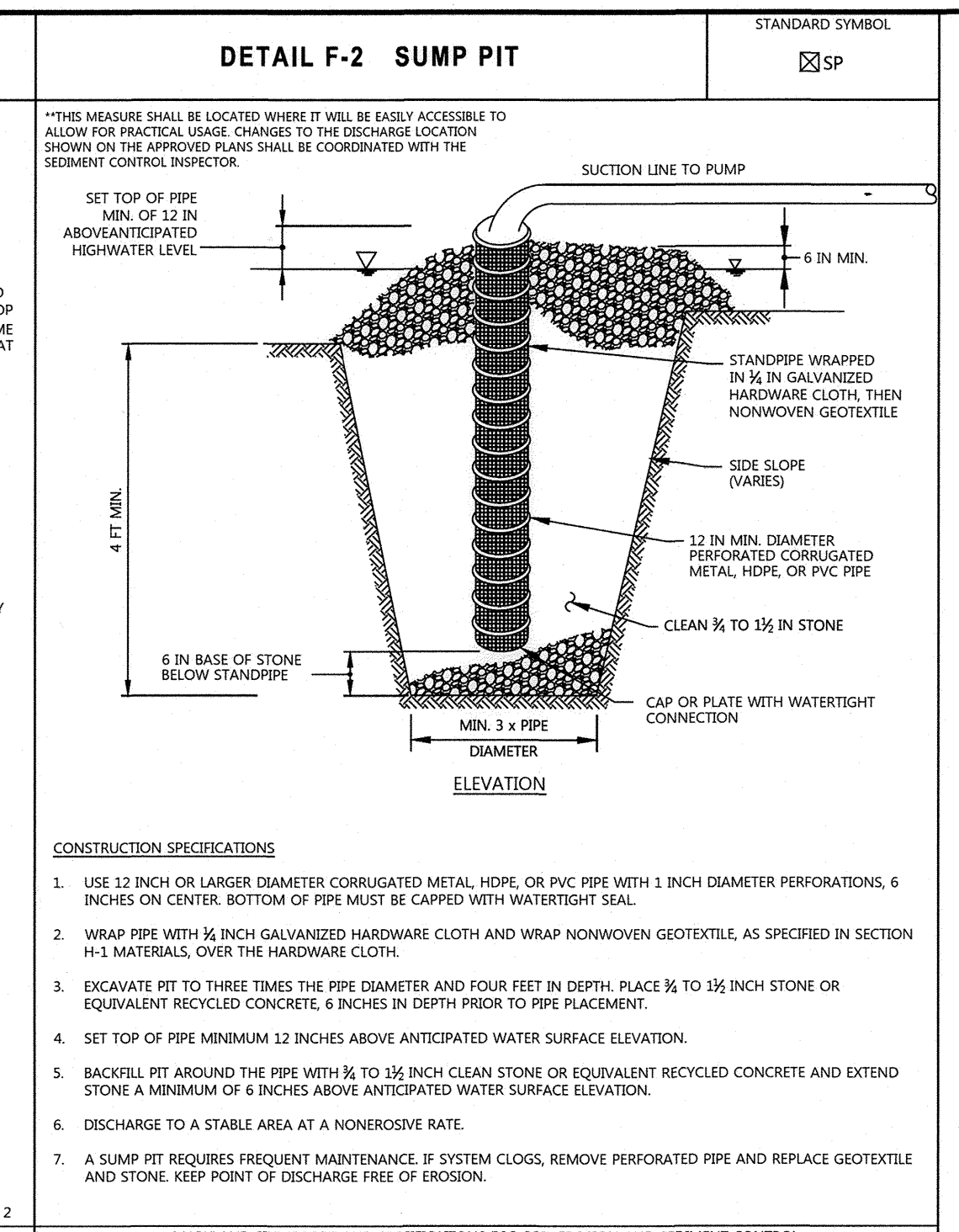
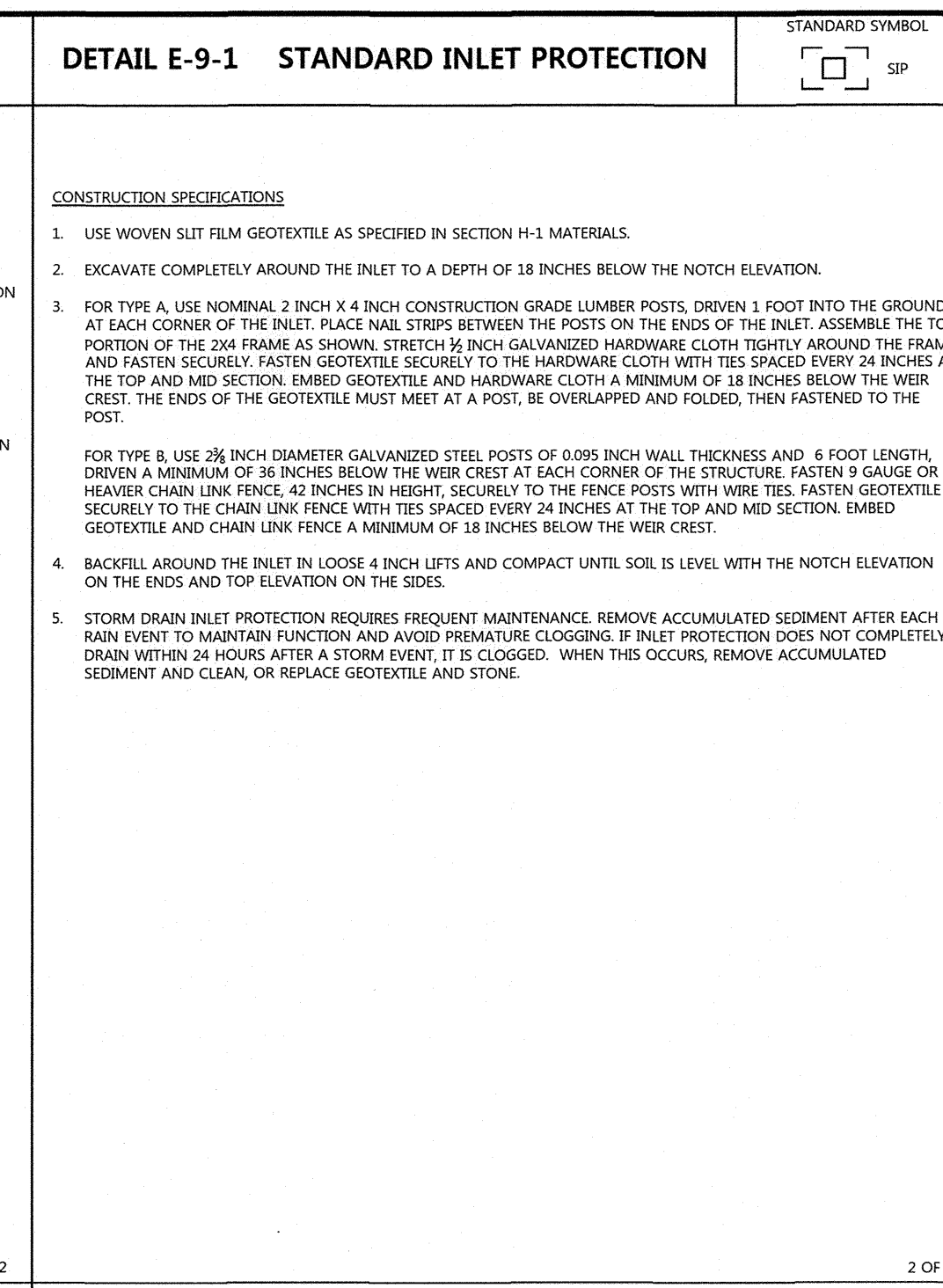
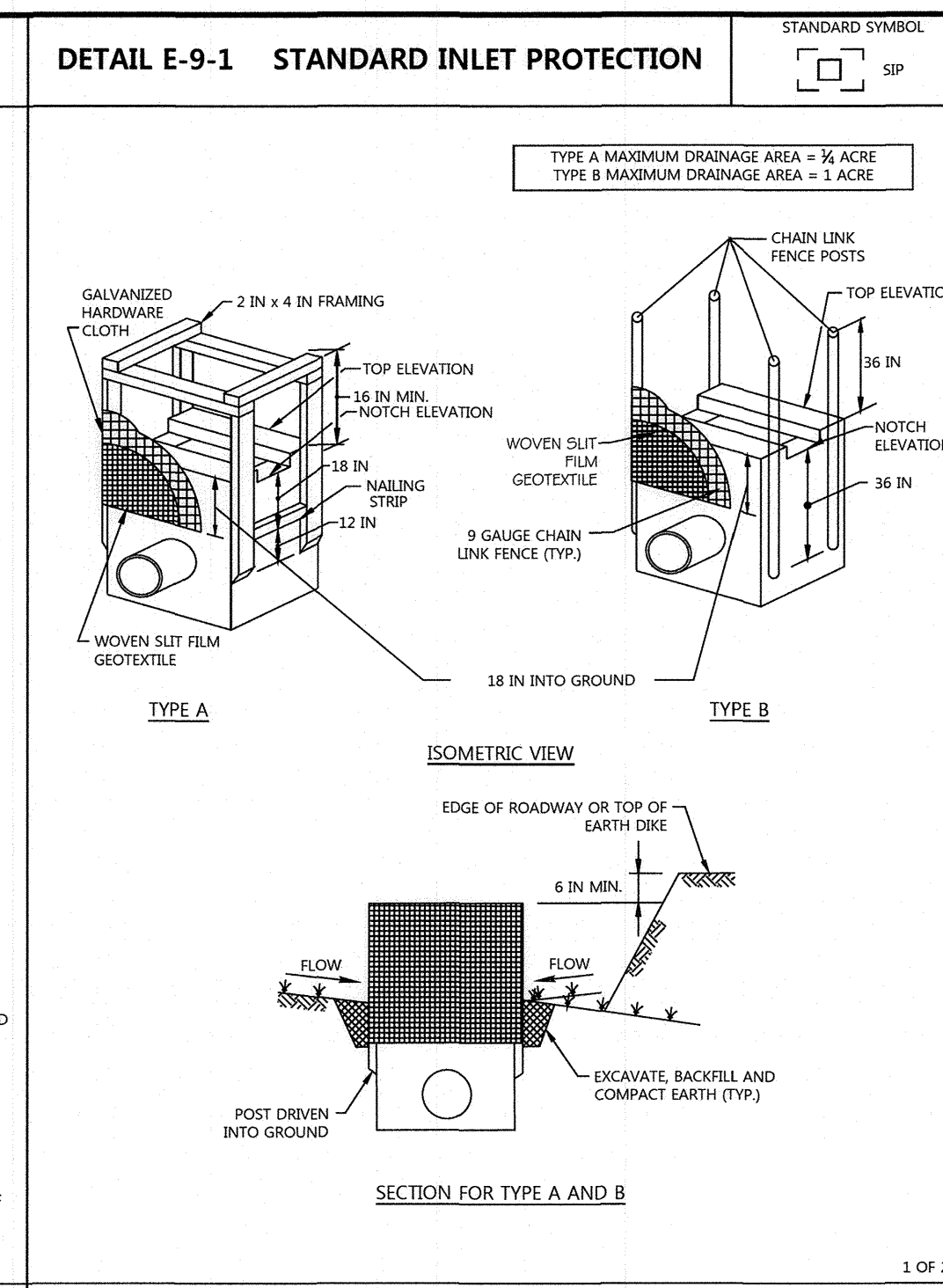
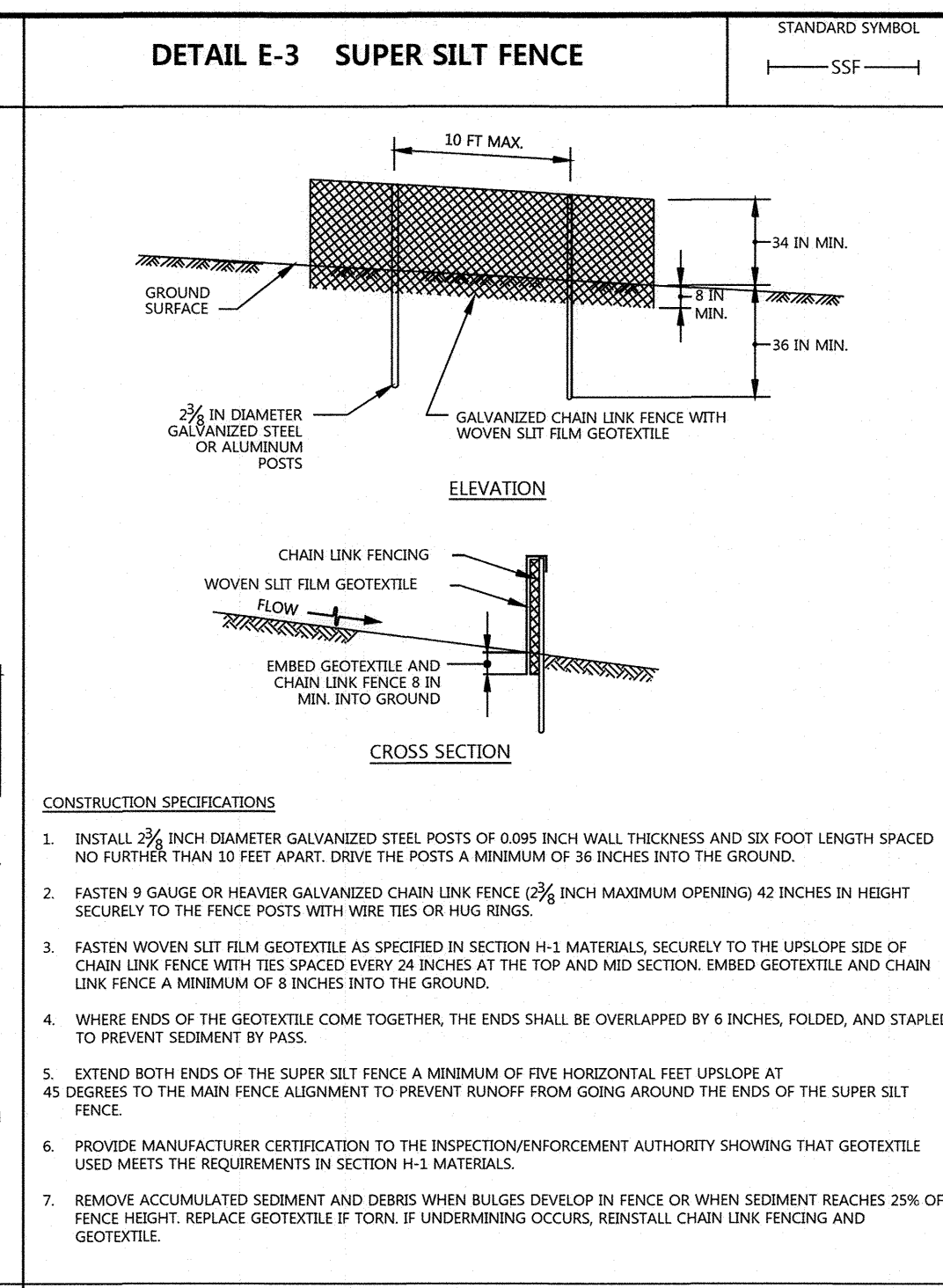
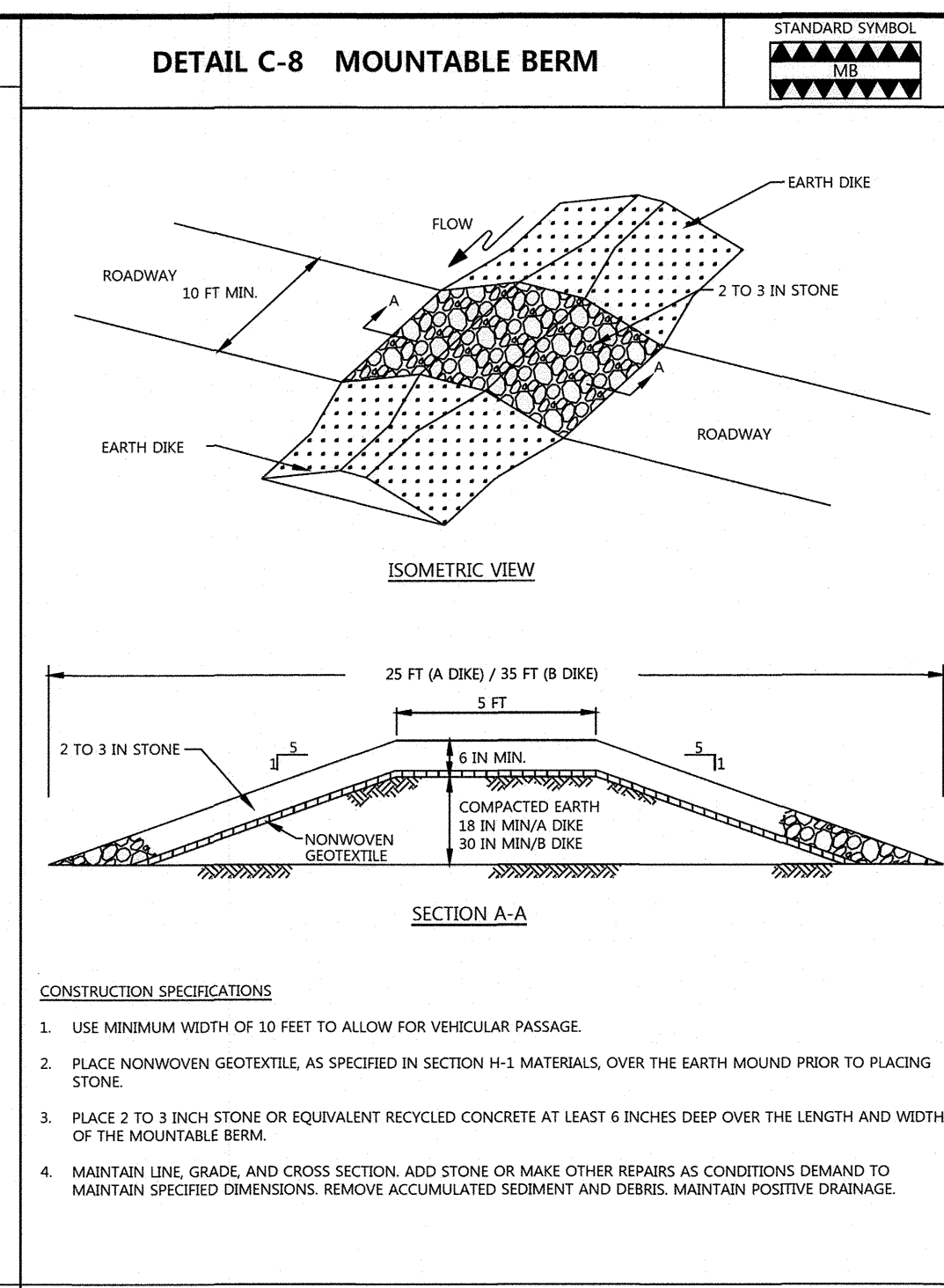
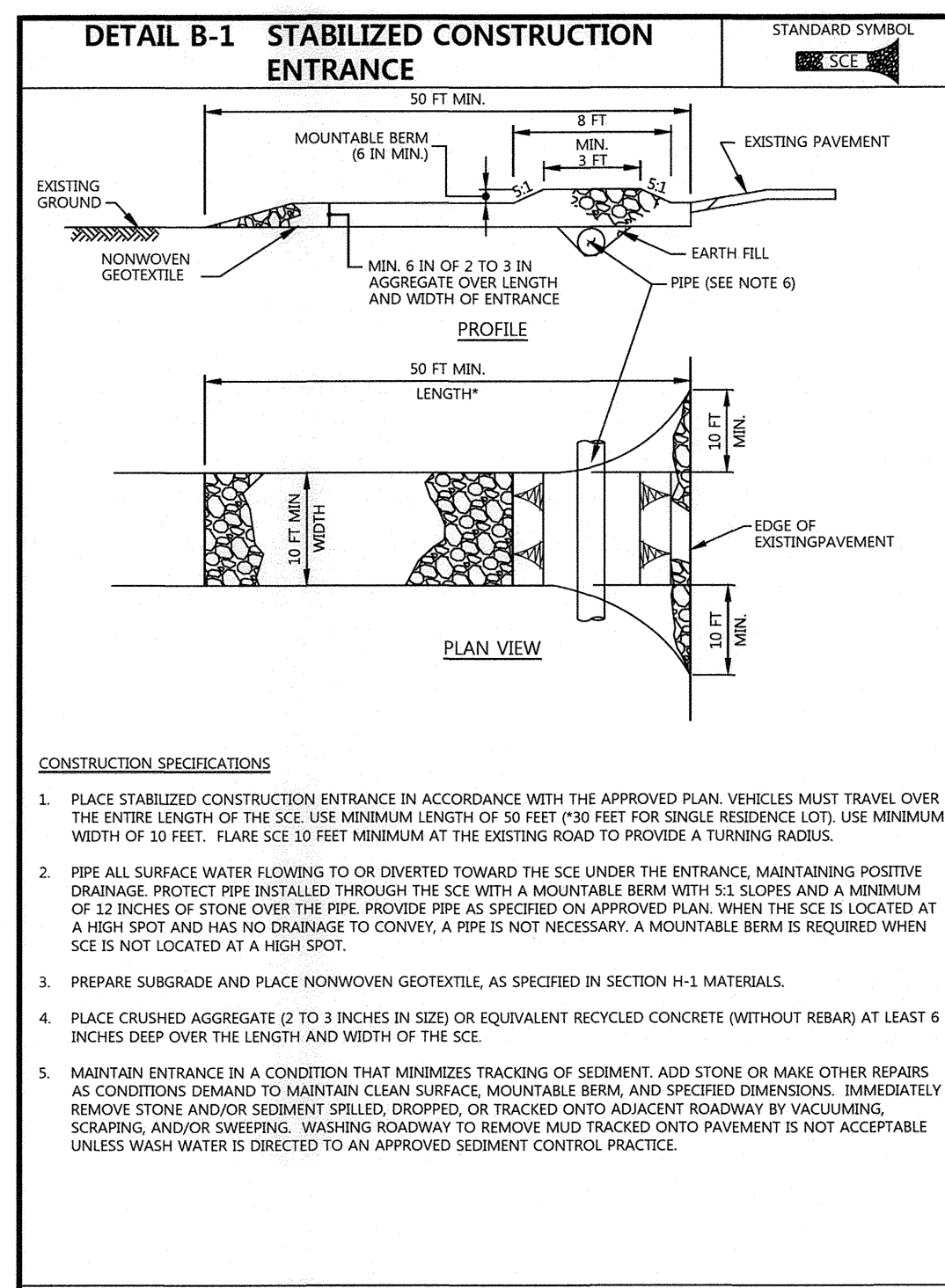
THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT  
 Alexander Bratchie 01/06/2021  
 HOWARD SOIL CONSERVATION DISTRICT DATE

10/30/20	2	UPDATE PLANS PER REVISED BLDG. 'C' LAYOUT & UTILITIES
04/19/19	1	UPDATE PLANS PER REVISED BLDG. 'C' LAYOUT & NEW BLDG. E-1 HOTEL
Date	No.	Revision Description
<b>DOWNTOWN COLUMBIA</b>		
<b>CRESCENT NEIGHBORHOOD</b>		
<b>PHASE I AREA 3, PHASE 2</b>		
PARCELS D-1, D-7, D-8, D-9, D-11, D-12 AND D-13		
MIXED USE GREEN OFFICE, RESIDENTIAL, RETAIL, RESTAURANT, & HOTEL BUILDING		
<b>OWNER / DEVELOPER:</b> THE HOWARD RESEARCH AND DEVELOPMENT CORPORATION COLUMBIA REGIONAL OFFICE 10960 GRANTCHESTER WAY SUITE 110 COLUMBIA, MD 21044 410-964-4800		
501 FAIRMOUNT AVENUE SUITE 300 TOWSON, MD 21286 P: 410 296 3333 F: 410 296 4705 WWW.DMW.COM		
SUBDIVISION NAME	SECTION AREA	NEIGHBORHOOD
DOWNTOWN COLUMBIA	CRESCENT	AREA 3
PLAT OR REF. MAP	RECORD #	ZONE
7	7	36
WATER CODE	SEWER CODE	STAGE
550	LITTLE PATUXENT	1
<b>TITLE</b> SEDIMENT AND EROSION CONTROL PROP. CONDITONS DA MAP REVISED SITE DEVELOPMENT PLAN		
Des. By	SLAJ	SCALE AS SHOWN
Drn. By	SLAJ	Date 02/15/19
Chk. By	MCB/GDT	Approved MCB
Proj. No. 04038.80		40 of 78

A:\ASAP\HOWARD\HOWARD\PLANS\SDP-18-005\SDP-18-005.DWG 11/15/2019 10:10 AM

APPROVED: HOWARD COUNTY DEPT. OF PLANNING & ZONING  
 Chief, Development Engineering Division 1/15/21  
 Chief, Division of Land Development 2/3/21  
 Director 2-3-21





MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL

U.S. DEPARTMENT OF AGRICULTURE NATURAL RESOURCES CONSERVATION SERVICE 2011

MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION

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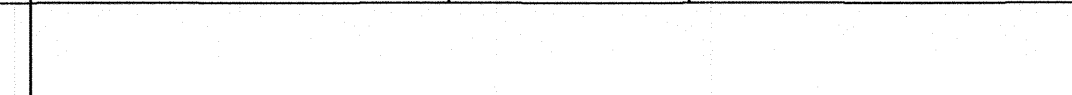
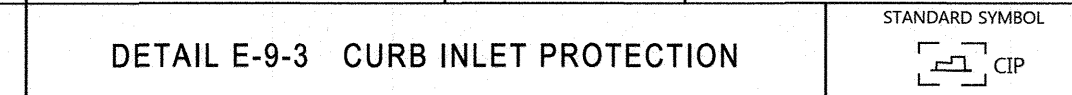
U.S. DEPARTMENT OF AGRICULTURE NATURAL RESOURCES CONSERVATION SERVICE 2011

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U.S. DEPARTMENT OF AGRICULTURE NATURAL RESOURCES CONSERVATION SERVICE MODIFIED - 2012

MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION



ERNMX-15G  
NATIVE STEEP SLOPE MIX W/ANNUAL RYEGRASS  
MIX COMPOSITION

28.7%	SORGHASTRUM NUTANS, PA ECOTYPE	INDIANGRASS, PA ECOTYPE
20.0%	LOLIUM MULTIFLORUM	ANNUAL RYEGRASS
11.0%	ANDROPOGON GERARDII, 'NIAGARA'	BIG BLUESTEM, 'NIAGARA'
10.0%	ELYMUS RIPARIUS, PA ECOTYPE	RIVERBANK WILDRYE, PA ECOTYPE
7.6%	TRIDENS FLAVUS, SOUTHEASTERN VA ECOTYPE	PURPLETOP, SOUTHEASTERN VA ECOTYPE
7.0%	ELYMUS CANADENSIS	CANADA WILDRYE
4.2%	SCCHIZACHYRIUM SCOPARIUM, FORT INDIANTOWN GAP-PA ECOTYPE	LITTLE BLUESTEM, FORT INDIANTOWN GAP-PA ECOTYPE
3.0%	ECHINACEA PURPUREA	PURPLE CONEFLOWER
3.0%	PANICUM VIRGATUM, 'SHAWNEE'	SWITCHGRASS, 'SHAWNEE'
2.0%	CHAMAECRISTA FASCICULATA, PA ECOTYPE	PARTRIDGE PEA, PA ECOTYPE
1.0%	COREOPSIS LANCEOLATA	LANCELEAF COREOPSIS
1.0%	RUDBECKIA HIRTA, COASTAL PLAIN NC ECOTYPE	BLACKEYED SUSAN, COASTAL PLAIN NC ECOTYPE
0.7%	LESPEDEZA VIRGINICA, VA ECOTYPE	SLENDER LESPEDEZA, VA ECOTYPE
0.5%	ASTER LATERIFLORUS	CALICO ASTER
0.3%	LIATRIS SPICATA	MARSH (DENSE) BLAZING STAR (SPIKED GAYFEATHER)

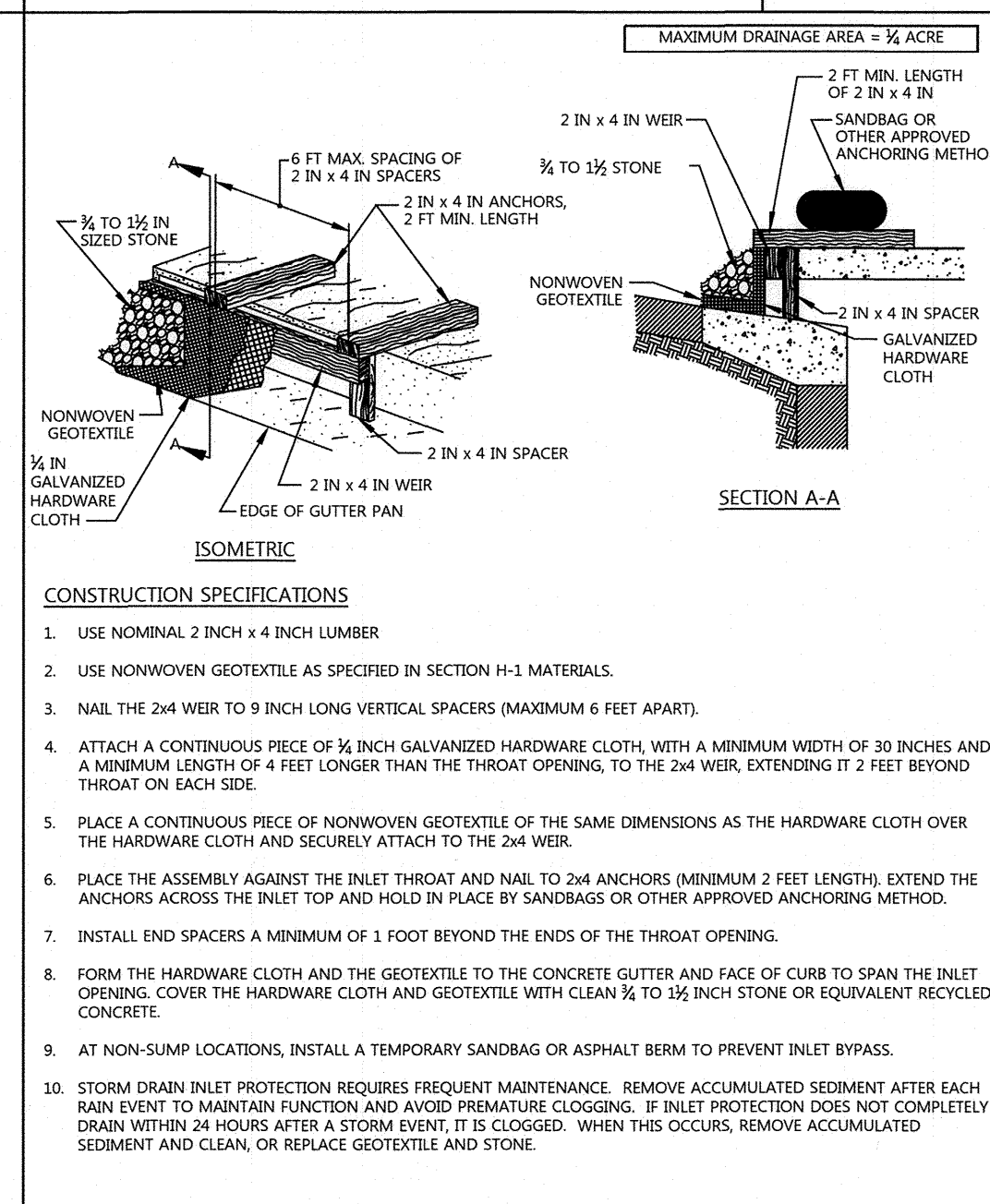
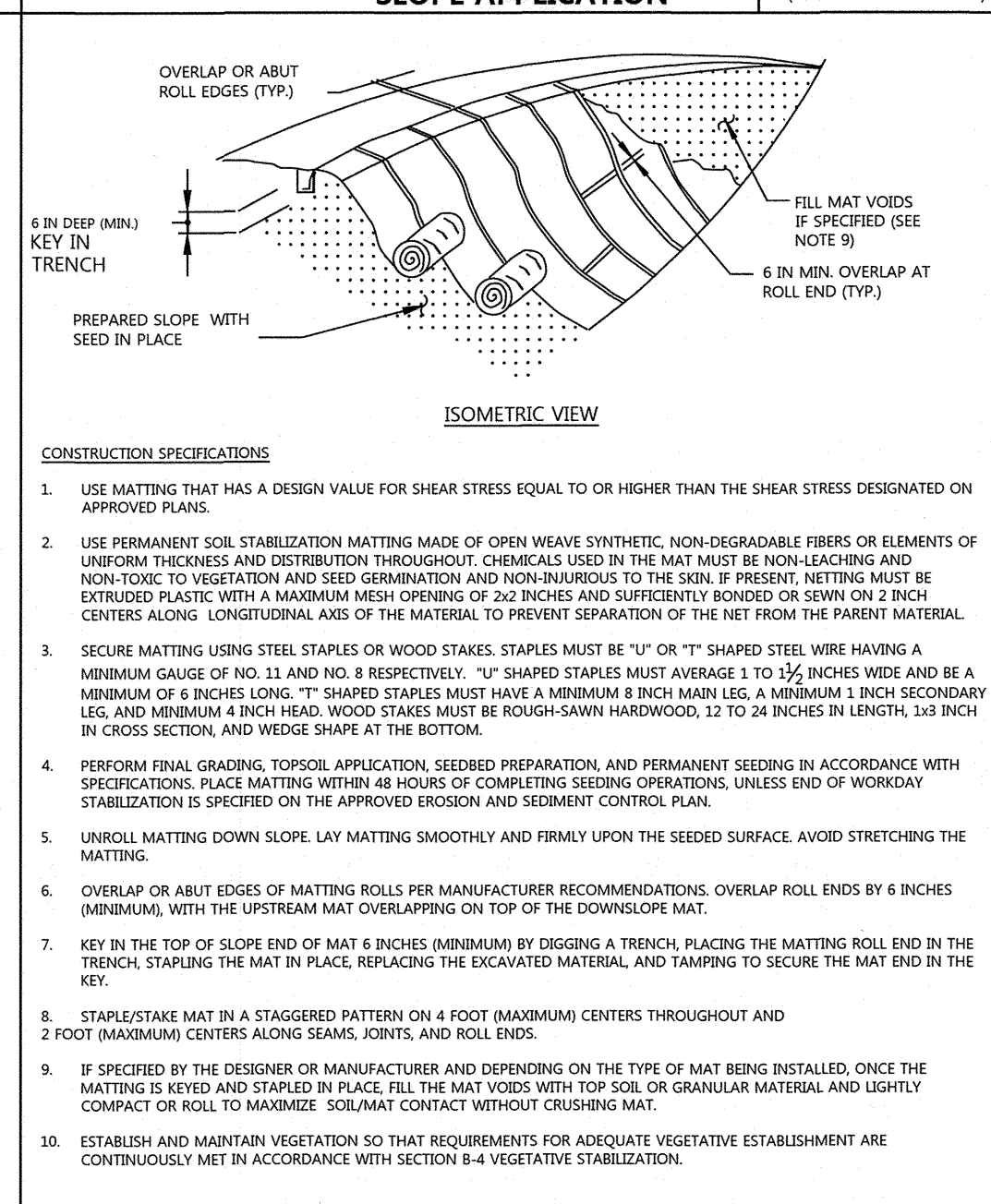
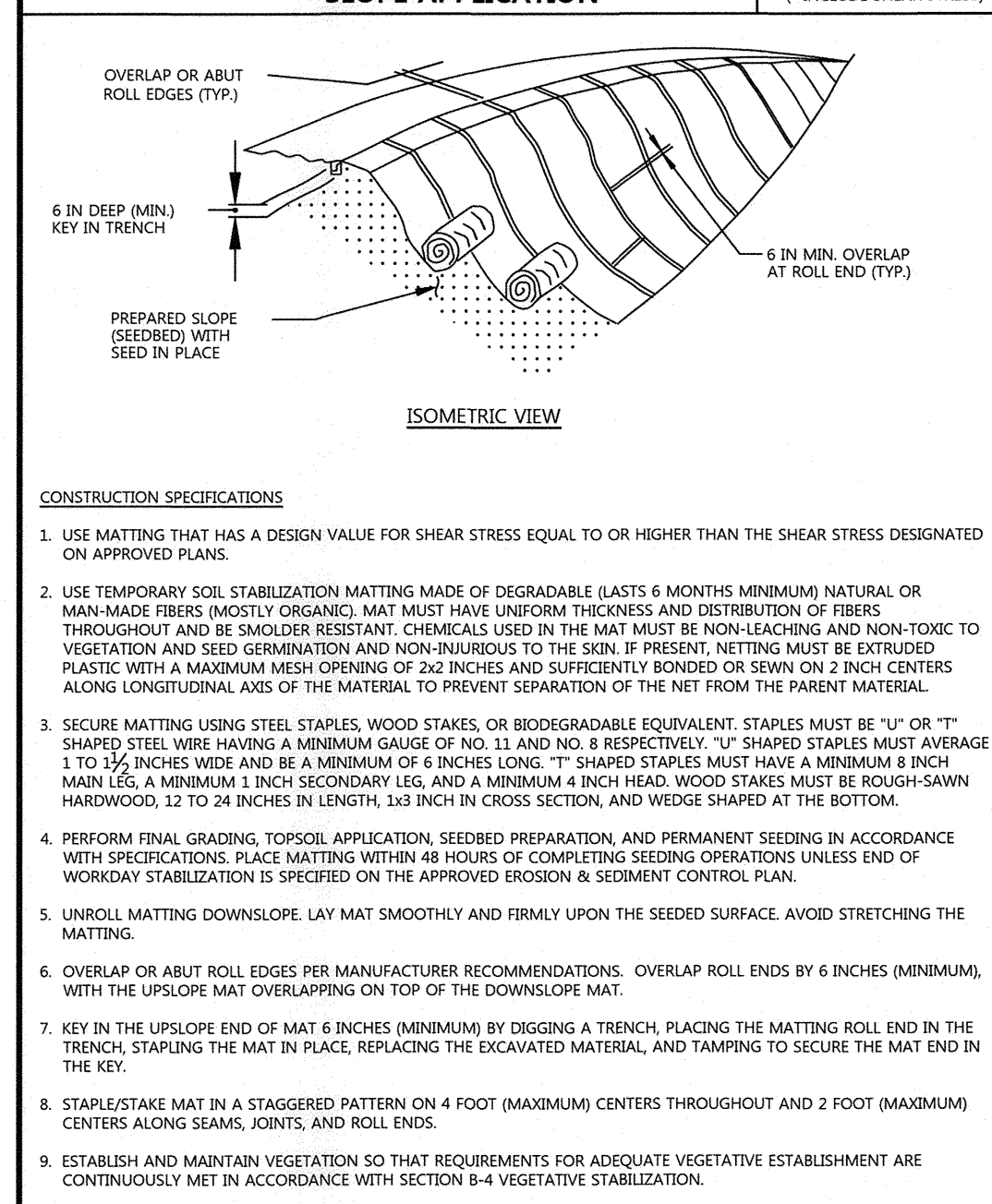
GENERAL PRODUCT INFORMATION:  
THE NATIVE GRASS AND FORB SPECIES TOLERATE POOR SOILS TYPICALLY FOUND ON STEEP SLOPES IN THE EASTERN UNITED STATES. MIX FORMULATIONS ARE SUBJECT TO CHANGE WITHOUT NOTICE DEPENDING ON THE AVAILABILITY OF EXISTING AND NEW PRODUCTS. WHILE THE FORMULA MAY CHANGE, THE GUIDING PHILOSOPHY AND FUNCTION OF THE MIX WILL NOT.

ITEM NUMBER:ERNMX-15G  
PRODUCT CATEGORIES: EROSION CONTROL & VEGETATION  
SEEDING RATE:60 LB PER ACRE, OR 1 LB PER 1,000 SQ FT

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U.S. DEPARTMENT OF AGRICULTURE NATURAL RESOURCES CONSERVATION SERVICE 2011

MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION

APPROVED: HOWARD COUNTY DEPT. OF PLANNING & ZONING

*John R. Robertson* 3-20-19  
CHIEF, DEVELOPMENT ENGINEERING DIVISION

*Kathleen D. ...* 4-24-19  
CHIEF, DIVISION OF LAND DEVELOPMENT

*William J. ...* 4-24-19  
DIRECTOR, DIVISION OF LAND DEVELOPMENT

MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL

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U.S. DEPARTMENT OF AGRICULTURE NATURAL RESOURCES CONSERVATION SERVICE 2011

MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION

Date	No.	Revision Description

## DOWNTOWN COLUMBIA

### CRESCENT NEIGHBORHOOD PHASE I AREA 3, PHASE 2



**LANDSCAPE SHEET LIST**

L-000	LANDSCAPING & HARDSCAPE KEY SHEET
L-100	HARDSCAPE MATERIALS SCHEDULE & NOTES
L-101	HARDSCAPE PLAN
L-102	HARDSCAPE PLAN
L-103	HARDSCAPE PLAN
L-104	HARDSCAPE PLAN
L-110	SECTIONS
L-201	HARDSCAPE DETAILS
L-202	HARDSCAPE DETAILS
L-211	SITE AMENITY DETAILS
L-301	HARDSCAPE GRADING + DRAINAGE PLAN
L-302	HARDSCAPE GRADING + DRAINAGE PLAN
L-303	HARDSCAPE GRADING + DRAINAGE PLAN
L-304	HARDSCAPE GRADING + DRAINAGE PLAN
L-400	LANDSCAPE PLANT SCHEDULE & NOTES
L-401	LANDSCAPE PLANTING PLAN
L-402	LANDSCAPE PLANTING PLAN
L-403	LANDSCAPE PLANTING PLAN
L-404	LANDSCAPE PLANTING PLAN
L-500	LANDSCAPE PLANTING DETAILS
L-600	IRRIGATION PLAN

**CERTIFICATION NOTE:**

1. I WE CERTIFY THAT THE LANDSCAPING SHOWN ON THIS PLAN WILL BE DONE ACCORDING TO THE PLAN, SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL FOR ALTERNATIVE COMPLIANCE AND THE CRESCENT NEIGHBORHOOD DESIGN GUIDELINES. I WE FURTHER CERTIFY THAT UPON COMPLETION A LETTER OF LANDSCAPE INSTALLATION, ACCOMPANIED BY AN EXECUTED ONE YEAR GUARANTEE OF PLANT MATERIALS, WILL BE SUBMITTED TO THE DEPARTMENT OF PLANNING AND ZONING.

*[Signature]*  
DEVELOPER'S/OWNER'S NAME  
*Wm & Rowe LTD*  
DEVELOPER'S/OWNER'S NAME

**ENVIRONMENTAL DATA SOURCES**

- FLOODPLAIN INFORMATION SHOWN HEREON REFLECTS THE RESULT OF A STUDY PERFORMED BY BIG HABITATS DATED 06/18/2015
- WETLANDS AND ASSOCIATED ENVIRONMENTAL INFORMATION SHOWN HEREON REFLECT THE RESULT OF AN INVESTIGATION PERFORMED BY DMW DATED MARCH 2015
- SOIL SURVEY INFORMATION SHOWN HEREON REFLECTS HOWARD COUNTY SOILS INFORMATION DATED 11/26/2007
- DECLARATION OF RESTRICTIVE COVENANT AREAS: ARMY CORPS OF ENGINEERS PERMIT NUMBER 2014-61063, SPECIAL CONDITION #14 REQUIRES THAT ANY WETLAND MITIGATION AREAS BE PROTECTED IN PERPETUITY BY A DECLARATION OF RESTRICTIVE COVENANTS TO BE RECORDED BY JULY 1, 2016. THIS DOCUMENT PROHIBITS ANY DISTURBANCE WITHIN THIS AREA INCLUDED BUT NOT LIMITED TO NEW DEVELOPMENT, INSTALLATION OF UTILITIES, GRADING, REMOVAL OF VEGETATION, ETC. THE MARYLAND DEPARTMENT OF THE ENVIRONMENT AND THE ARMY CORPS OF ENGINEERS HAVE PLACED THESE RESTRICTIVE COVENANTS ON THE AREA TO PROTECT WATER QUALITY, ENVIRONMENTAL RESOURCES AND THE MITIGATION AREA REQUIRED TO OFF-SET IMPACTS TO WETLANDS, STREAMS AND FLOODPLAINS PROPOSED BY THIS DEVELOPMENT.

**DATA SOURCES:**

- EXISTING TOPOGRAPHIC INFORMATION SHOWN HEREON REFLECTS THE RESULT OF A TOPOGRAPHIC SURVEY PERFORMED BY DMW INC. ON 8/27/15 & 12/3/15, AERIAL TOPOGRAPHY FLOWN BY MCKENZIE SWINER, INC. MARCH, 2007 AND FIELD SURVEY BY GLW ON AUGUST, 2011, GRADES AS SHOWN ON F-15-106 AND F-16-107 PREPARED BY GLW, AND MASS GRADING SDP-16-075 BY DMW.
- BOUNDARY AND PARCEL INFORMATION SHOWN HAS BEEN PROVIDED BY GUTSCHICK, LITTLE, AND WEBER, P.A.

**REVISD SITE DEVELOPMENT PLAN**

10/30/2024	UPDATE PLANS PER REVISED BLDG C LAYOUT & UTILITIES	
5/15/2019	HARDSCAPE AND BLDG REVISIONS	
Date	No.	Revision Description

**FILE NUMBERS:**  
F 15-106, F 16-107, F 17-059, F-18-017, SDP-16-075, SDP-17-027, WP-17-010, WP-17-049, WP-17-052, WP-17-059, WP-17-115, WP-18-020, WP-18-021, SP-16-009, WP-17-100

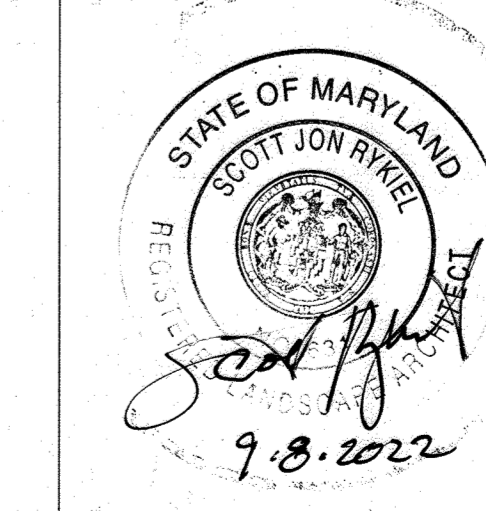
**CONTRACT NUMBERS:**  
24-4931-D, 24-4975-D, 24-4974-D

**PROFESSIONAL CERTIFICATION**  
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL LANDSCAPE ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 631, EXPIRATION DATE: 09/21/2019.

**DOWNTOWN COLUMBIA  
CRESCENT NEIGHBORHOOD  
PHASE I AREA 3, PHASE 2  
PARCELS D-1, D-7, D-8, D-9,  
D-11, D-12 AND D-13**

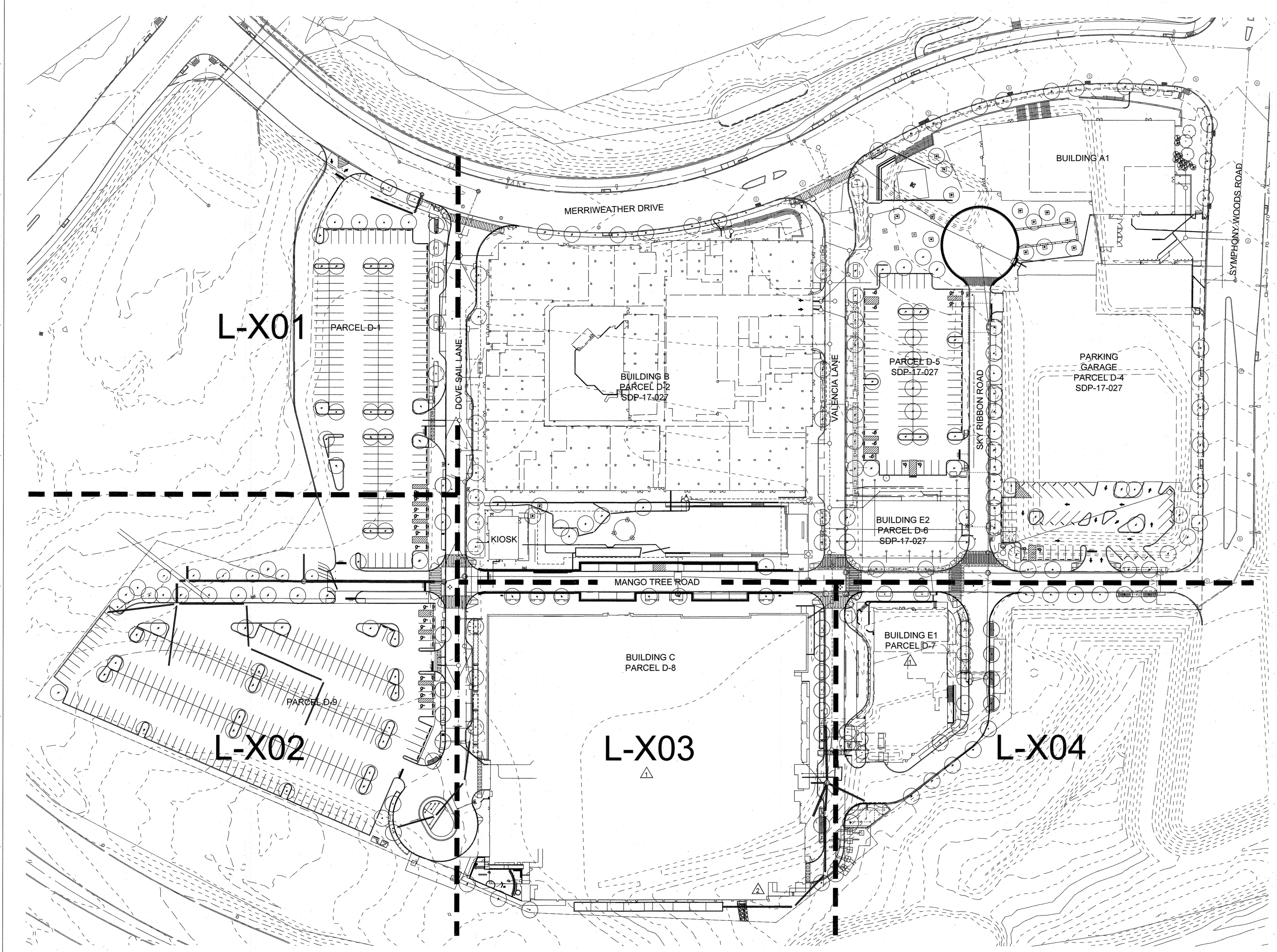
**OWNER / DEVELOPER:**  
THE HOWARD RESEARCH AND DEVELOPMENT CORPORATION  
COLUMBIA REGIONAL OFFICE  
10480 LITTLE PATUXENT PARKWAY SUITE 400  
COLUMBIA, MD 21044  
410-964-4800

**MAHAN RYKIEL  
ASSOCIATES INC**  
The Stieff Silver Building, 800 Wyman Park Drive,  
Suite 100, Baltimore, MD 21211 410.235.6001



APPROVED:  
PLANNING BOARD OF HOWARD COUNTY  
DATE: 11/8/18

7/6/2022	△	SERVICE RAMP, PLANTING AREA, SITE FURNISHING, & SITE WALL UPDATES
Date	No.	Revision Description



**1 SITE KEY PLAN**  
1"=60'-0"

HOWARD COUNTY DEPT. OF PLANNING & ZONING

*[Signature]* 11/10/22  
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

*[Signature]* 12/6/22  
CHIEF, DIVISION OF LAND DEVELOPMENT DATE

*[Signature]* 12/6/22  
DIRECTOR DATE

SCHEDULE B - PERIMETER LANDSCAPE EDGE			SCHEDULE A - PERIMETER LANDSCAPE EDGE		
LANDSCAPE TYPE	ROADWAY	PERIMETER PROPERTY	LANDSCAPE TYPE	ROADWAY	PERIMETER PROPERTY
LINEAR FEET OF ROADWAY FRONTAGE / PERIMETER	0	2253	LINEAR FEET OF ROADWAY FRONTAGE / PERIMETER	190	0
CREDIT FOR EXISTING VEGETATION	0	0	CREDIT FOR EXISTING VEGETATION	0	0
CREDIT FOR WALL FENCE OR BERM	0	0	CREDIT FOR WALL FENCE OR BERM	0	0
NUMBER OF PLANTS REQUIRED: (SHADE TREES, SHRUBS, EVERGREEN TREES)	0	38,0,0	NUMBER OF PLANTS REQUIRED: (SHADE TREES, SHRUBS, EVERGREEN TREES)	38,0,48	0
NUMBER OF PLANTS PROVIDED: (SHADE TREES, SHRUBS, EVERGREEN TREES)	0	38,0,0	NUMBER OF PLANTS PROVIDED: (SHADE TREES, SHRUBS, EVERGREEN TREES)	38,0,527	0

SCHEDULE B - PARKING LOT INTERNAL LANDSCAPE	
NUMBER OF PARKING SPACES	568
NUMBER OF TREES REQUIRED	29
NUMBER OF TREES PROVIDED (SHADE TREES, OTHER TREES (2:1 SUBSTITUTION))	38 38 0

SUBDIVISION NAME: DOWNTOWN COLUMBIA		SECTION: 7	PHASE: 2	NEIGHBORHOOD: CRESCENT	LOT/PARCEL #: 605602
PLAT OR MAP NO.: 24-131-24-001		TAX ZONING: P-1	BLK: 36	LOT: 5	PARCEL D
WATER CODE: 550		SEWER CODE: LITTLE PATUXENT	STAGE: 1		
TITLE: L-000 - LANDSCAPING & HARDSCAPE KEY SHEET					
Des. By: MP	SCALE: AS SHOWN	Proj. No. 04038.80			
Drn. By: BB	Date: 02/15/19	43 of 78			
Chk. By: MP	Approved:	SDP-18-005			

**HARDSCAPE KEY**

**PAVING**

- P1** <sup>3</sup>/<sub>1-201</sub> PEDESTRIAN CONCRETE UNIT PAVER 1A (LIGHT)  
MANUFACTURER: UNILOCK  
STYLE: UMBRIANO FINISH  
COLOR: WINTER MARVEL  
SIZE: 6"x 18"x 2 1/4"
- P1** <sup>3</sup>/<sub>1-201</sub> PEDESTRIAN CONCRETE UNIT PAVER 1B (DARK)  
MANUFACTURER: UNILOCK  
STYLE: UMBRIANO  
COLOR: FRENCH GREY  
SIZE: 6"x 18"x 2 1/4"
- P2** <sup>4</sup>/<sub>1-201</sub> VEHICULAR CONCRETE UNIT PAVER 2A (LIGHT)  
MANUFACTURER: UNILOCK  
STYLE: UMBRIANO FINISH  
COLOR: WINTER MARVEL  
SIZE: 6"x 18"x 3 1/8"
- P2** <sup>4</sup>/<sub>1-201</sub> VEHICULAR CONCRETE UNIT PAVER 2B (DARK)  
MANUFACTURER: UNILOCK  
STYLE: UMBRIANO  
COLOR: FRENCH GREY  
SIZE: 6"x 18"x 3 1/8"
- P3** <sup>1</sup>/<sub>1-201</sub> PEDESTRIAN EXPOSED AGGREGATE COLOR CONCRETE
- P3** <sup>1</sup>/<sub>1-201</sub> VEHICULAR EXPOSED AGGREGATE COLOR CONCRETE
- P4** <sup>1</sup>/<sub>1-201</sub> PEDESTRIAN CAST-IN-PLACE CONCRETE PAVING
- P4** <sup>1</sup>/<sub>1-201</sub> VEHICULAR CAST-IN-PLACE CONCRETE PAVING
- P5** <sup>3</sup>/<sub>1-201</sub> PEDESTRIAN CONCRETE UNIT PAVER 1C  
MANUFACTURER: UNILOCK  
STYLE: UMBRIANO  
COLOR: MIDNIGHT SKY  
SIZE: 12"x 12"x 3 1/8"
- P6** <sup>3</sup>/<sub>1-201</sub> DETECTABLE WARNING PAVER

**STRUCTURE**

- S1** <sup>8</sup>/<sub>1-201</sub> C.I.P. CONCRETE STAIRS

**TREE PITS & TREE ACCESSORIES**

- EE** — EXISTING ESD. SEE F-PLAN 18-017, STRUCTURAL, AND CIVIL DRAWINGS FOR ADDITIONAL INFORMATION
- E** <sup>1-3</sup>/<sub>1-201</sub> ESD. SIZE VARIES, REFER TO STRUCTURAL+CIVIL DRAWINGS FOR ADDITIONAL INFORMATION

**SITE AMENITIES**

- B1** <sup>1</sup>/<sub>1-211</sub> BENCH
- BO** <sup>4</sup>/<sub>1-211</sub> BOLLARD
- BO** <sup>4</sup>/<sub>1-211</sub> REMOVABLE BOLLARD
- BR** <sup>3</sup>/<sub>1-211</sub> BIKE RACK
- HR** <sup>2</sup>/<sub>1-203</sub> HANDRAIL
- LR** <sup>2</sup>/<sub>1-211</sub> LITTER/RECYCLING RECEPTACLE

**CERTIFICATION NOTE:**

1. I/WE CERTIFY THAT THE LANDSCAPING SHOWN ON THIS PLAN WILL BE DONE ACCORDING TO THE PLAN, SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL FOR ALTERNATIVE COMPLIANCE AND THE CRESCENT NEIGHBORHOOD DESIGN GUIDELINES. I/WE FURTHER CERTIFY THAT UPON COMPLETION A LETTER OF LANDSCAPE INSTALLATION, ACCOMPANIED BY AN EXECUTED ONE YEAR GUARANTEE OF PLANT MATERIALS, WILL BE SUBMITTED TO THE DEPARTMENT OF PLANNING AND ZONING.

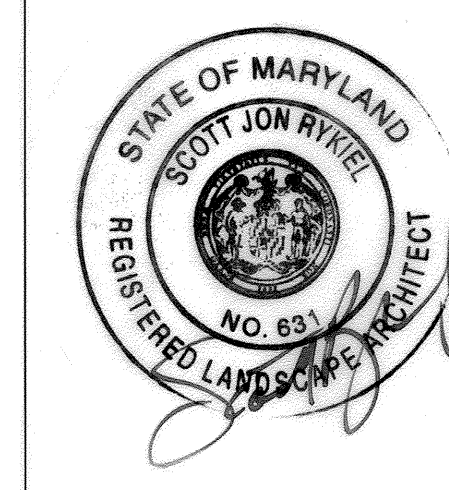
*Wm T Rowe* 2.18.19  
DEVELOPER'S/OWNER'S NAME  
*Wm T Rowe SVP*  
DEVELOPER'S/OWNER'S NAME

- ENVIRONMENTAL DATA SOURCES**
- FLOODPLAIN INFORMATION SHOWN HEREON REFLECTS THE RESULT OF A STUDY PERFORMED BY BIO-HABITATS DATED 06/18/2015.
  - WETLANDS AND ASSOCIATED ENVIRONMENTAL INFORMATION SHOWN HEREON REFLECT THE RESULT OF AN INVESTIGATION PERFORMED BY DMW DATED MARCH 2015.
  - SOIL SURVEY INFORMATION SHOWN HEREON REFLECTS HOWARD COUNTY SOILS INFORMATION DATED 11/26/2007.
  - DECLARATION OF RESTRICTIVE COVENANT AREAS: ARMY CORPS OF ENGINEERS PERMIT NUMBER 2014-61063, SPECIAL CONDITION #14 REQUIRES THAT ANY WETLAND MITIGATION AREAS BE PROTECTED IN PERPETUITY BY A DECLARATION OF RESTRICTIVE COVENANTS TO BE RECORDED BY JULY 1, 2016. THIS DOCUMENT PROHIBITS ANY DISTURBANCE WITHIN THIS AREA INCLUDED BUT NOT LIMITED TO NEW DEVELOPMENT, INSTALLATION OF UTILITIES, GRADING, REMOVAL OF VEGETATION, ETC. THE MARYLAND DEPARTMENT OF THE ENVIRONMENT AND THE ARMY CORPS OF ENGINEERS HAVE PLACED THESE RESTRICTIVE COVENANTS ON THE AREA TO PROTECT WATER QUALITY, ENVIRONMENTAL RESOURCES AND THE MITIGATION AREA REQUIRED TO OFF-SET IMPACTS TO WETLANDS, STREAMS AND FLOODPLAINS PROPOSED BY THIS DEVELOPMENT.

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  - BOUNDARY AND PARCEL INFORMATION SHOWN HAS BEEN PROVIDED BY GUTSCHICK, LITTLE, AND WEBER, P.A.

**FILE NUMBERS:**  
F 15-106, F 16-107, F 17-059, F 18-017, SDP-16-075, SDP-18-005, WP-17-010, WP-17-049, WP-17-052, WP-17-115, WP-18-020, WP-18-021, SP-16-009, WP-16-100, FDP-DC-CRESCENT-1, FDP-DC-CRESCENT-1A, SDP 17-027, F 17-057, F18-017, WP-18-089, WP-18-105.  
**CONTRACT NUMBERS:**  
24-4931-D, 24-4975-D, 24-4974-D.

**PROFESSIONAL CERTIFICATION**  
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 631, EXPIRATION DATE: 09/21/19.



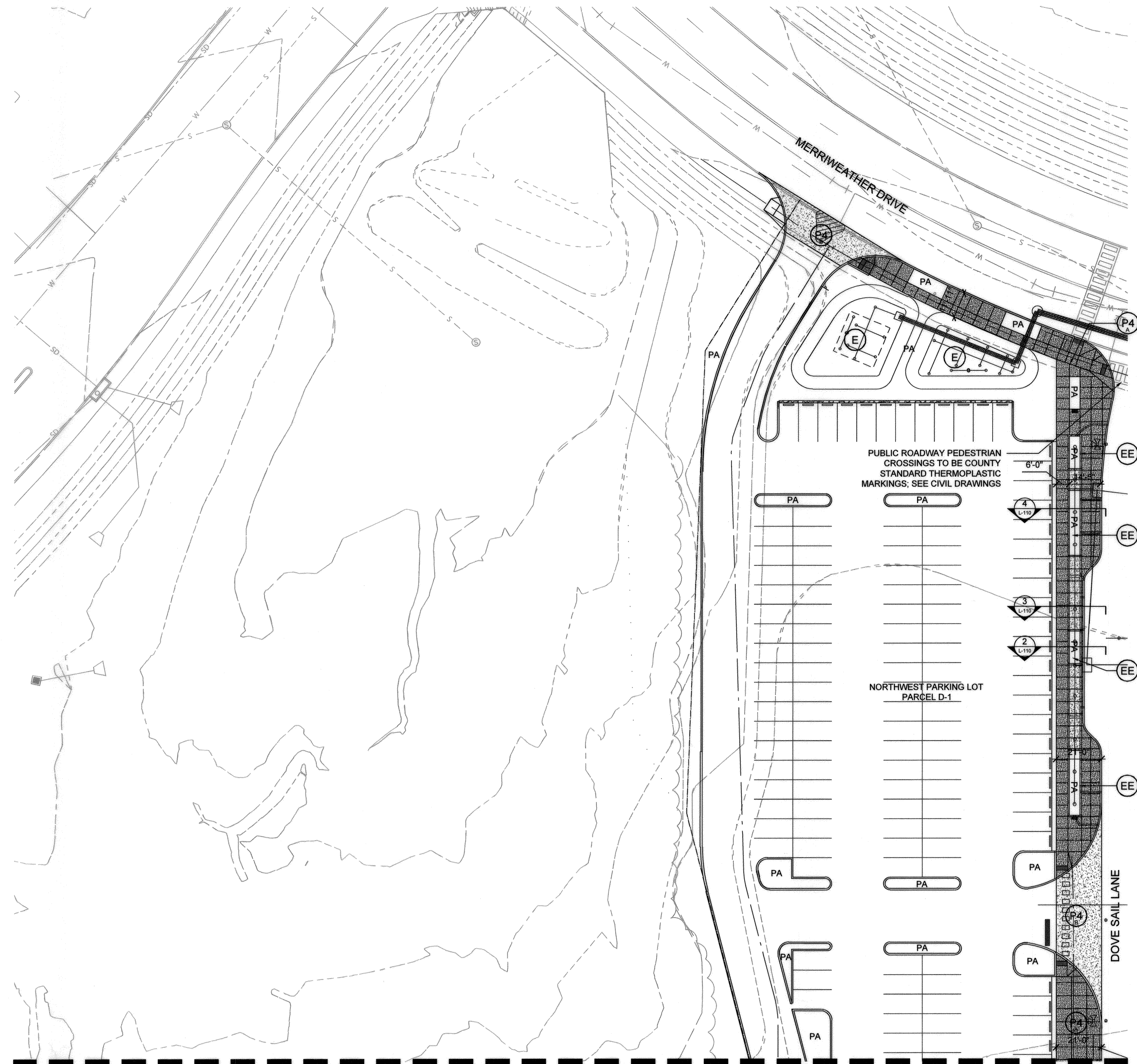
APPROVED:  
PLANNING BOARD OF HOWARD COUNTY  
DATE: 11/8/18

Date	No.	Revision Description																												
		<b>DOWNTOWN COLUMBIA CRESCENT NEIGHBORHOOD PHASE I AREA 3, PHASE 2 PARCELS D-1, D-7, D-8, D-9, D-11, D-12 AND D-13 MIXED USE GREEN OFFICE, RESIDENTIAL, RETAIL, RESTAURANT BUILDING</b>																												
		<b>OWNER / DEVELOPER:</b> THE HOWARD RESEARCH AND DEVELOPMENT CORPORATION COLUMBIA REGIONAL OFFICE 10480 LITTLE PATUXENT PARKWAY SUITE 400 COLUMBIA, MD 21044 410-964-1800																												
		<b>MAHAN RYKIEL ASSOCIATES INC</b> The Stieff Silver Building, 800 Wyman Park Drive, Suite 100, Baltimore, MD 21211 410.235.8001																												
		<table border="1"> <tr> <td>SUBMISSION NAME</td> <td>SECTION AREA</td> <td>LOT/PARCEL #</td> <td>PARCEL D</td> </tr> <tr> <td>DOWNTOWN COLUMBIA</td> <td>CRESCENT NEIGHBORHOOD</td> <td></td> <td></td> </tr> <tr> <td>PLAT OR L.P.</td> <td>BLOCK #</td> <td>TAX ZONE/MAP</td> <td>RELECT. DISTRICT</td> </tr> <tr> <td>7</td> <td>1</td> <td>36</td> <td>5</td> </tr> <tr> <td>WATER CODE</td> <td>SEWER CODE</td> <td>CENSUS TRACT</td> <td></td> </tr> <tr> <td>550</td> <td>LITTLE PATUXENT</td> <td>605602</td> <td></td> </tr> <tr> <td></td> <td></td> <td>STAGE</td> <td>1</td> </tr> </table>	SUBMISSION NAME	SECTION AREA	LOT/PARCEL #	PARCEL D	DOWNTOWN COLUMBIA	CRESCENT NEIGHBORHOOD			PLAT OR L.P.	BLOCK #	TAX ZONE/MAP	RELECT. DISTRICT	7	1	36	5	WATER CODE	SEWER CODE	CENSUS TRACT		550	LITTLE PATUXENT	605602				STAGE	1
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		<b>TITLE</b> L-100 - HARDSCAPE MATERIALS SCHEDULE & NOTES																												
Des. By	MP	SCALE AS SHOWN	Proj. No. 04038.80																											
Drn. By	BB	Date 02/15/19																												
Chk. By	MP	Approved --	44 of 78																											

APPROVED: HOWARD COUNTY DEPT. OF PLANNING & ZONING  
*Chad Chisholm* 3-20-19  
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

*Wm T Rowe* 4-24-19  
CHIEF, DIVISION OF LAND DEVELOPMENT DATE

*Wm T Rowe* 4-24-19  
DIRECTOR, DIVISION OF LAND DEVELOPMENT DATE



**HARDSCAPE KEY**

**PAVING**

- (P1) (3) PEDESTRIAN CONCRETE UNIT PAVER 1A (DARK)  
MANUFACTURER: UNILOCK  
STYLE: UMBRIANO FINISH  
COLOR: MIDNIGHT SKY  
SIZE: 6"x 12"x 2 1/4"
- (P1) (3) PEDESTRIAN CONCRETE UNIT PAVER 1B (DARK)  
MANUFACTURER: UNILOCK  
STYLE: UMBRIANO  
COLOR: FRENCH GREY  
SIZE: 6"x 12"x 2 1/4"
- (P1) (3) PEDESTRIAN CONCRETE UNIT PAVER 1C (LIGHT)  
MANUFACTURER: UNILOCK  
STYLE: UMBRIANO  
COLOR: WINTER MARVEL  
SIZE: 6"x 12"x 2 1/4"
- (P1) (3) PEDESTRIAN CONCRETE UNIT PAVER 1D (LIGHT)  
MANUFACTURER: UNILOCK  
STYLE: UMBRIANO  
COLOR: GRENADA WHITE  
SIZE: 6"x 12"x 2 1/4"
- (P2) (4) VEHICULAR CONCRETE UNIT PAVER 2A (LIGHT)  
MANUFACTURER: UNILOCK  
STYLE: UMBRIANO FINISH  
COLOR: WINTER MARVEL  
SIZE: 6"x 18"x 3 1/2"
- (P2) (4) VEHICULAR CONCRETE UNIT PAVER 2B (DARK)  
MANUFACTURER: UNILOCK  
STYLE: UMBRIANO  
COLOR: FRENCH GREY  
SIZE: 6"x 18"x 3 1/2"
- (P3) (1) PEDESTRIAN EXPOSED AGGREGATE COLOR CONCRETE
- (P3) (1) VEHICULAR EXPOSED AGGREGATE COLOR CONCRETE
- (P4) (1) PEDESTRIAN CAST-IN-PLACE CONCRETE PAVING
- (P4) (1) VEHICULAR CAST-IN-PLACE CONCRETE PAVING
- (P5) (3) PEDESTRIAN CONCRETE UNIT PAVER 1C  
MANUFACTURER: UNILOCK  
STYLE: UMBRIANO  
COLOR: MIDNIGHT SKY  
SIZE: 12"x 12"x 3 1/4"
- (P6) (5) DETECTABLE WARNING PAVER

**STRUCTURE**

- (S1) (6) C.I.P. CONCRETE STAIRS

**TREE PITS & TREE ACCESSORIES**

- (EE) EXISTING ESD, SEE F-PLAN 18-017, STRUCTURAL AND CIVIL DRAWINGS FOR ADDITIONAL INFORMATION
- (E) (1-3) ESD, SIZE VARIES, REFER TO STRUCTURAL+CIVIL DRAWINGS FOR ADDITIONAL INFORMATION

**SITE AMENITIES**

- (B1) (1) BENCH
- (BO) (4) BOLLARD
- (BO) (4) REMOVABLE BOLLARD
- (BR) (3) BIKE RACK
- (HR) (2) HANDRAIL
- (LR) (2) LITTER/RECYCLING RECEPTACLE

**GENERAL HARDSCAPE NOTES:**

- BUILDING ENTRANCES ARE SHOWN FOR REFERENCE ONLY. BUILDING ENTRANCE LOCATIONS MAY BE ADJUSTED BASED ON TENANT NEEDS WITH FINAL REVIEW AT TIME OF PERMIT.
- REFER TO SHEETS L-300 TO L-310 FOR PROPOSED PLANTINGS.
- SITE LIGHTING SHOWN ON PLANS FOR COORDINATION ONLY. REFER TO LIGHTING PLANS FOR FINAL LOCATION, FIXTURE SELECTION, MEP REQUIREMENTS, ETC.
- REFER TO CIVIL DRAWINGS FOR ALL UTILITY AND STORM WATER MANAGEMENT INFORMATION.
- REFER TO CIVIL DRAWINGS FOR ROADWAY AND CURB ALIGNMENT.
- SITE SIGNS SHOWN ON PLANS FOR COORDINATION ONLY. REFER TO SIGNAGE PLANS FOR FINAL LOCATIONS & SIGNAGE DESIGN.
- REFER TO SITE PLANS FOR ALL SITE DIMENSIONS.

**CERTIFICATION NOTE:**

- I/WE CERTIFY THAT THE LANDSCAPING SHOWN ON THIS PLAN WILL BE DONE ACCORDING TO THE PLAN, SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL FOR ALTERNATIVE COMPLIANCE AND THE CRESCENT NEIGHBORHOOD DESIGN GUIDELINES. I/WE FURTHER CERTIFY THAT UPON COMPLETION A LETTER OF LANDSCAPE INSTALLATION, ACCOMPANIED BY AN EXECUTED ONE YEAR GUARANTEE OF PLANT MATERIALS, WILL BE SUBMITTED TO THE DEPARTMENT OF PLANNING AND ZONING.

DEVELOPER'S/OWNER'S NAME  
*HRD Corporation*

DEVELOPER'S/OWNER'S NAME  
*RUTH HOANG*

**ENVIRONMENTAL DATA SOURCES**

- FLOODPLAIN INFORMATION SHOWN HEREON REFLECTS THE RESULT OF A STUDY PERFORMED BY BIO-HABITATS DATED 06/19/2015.
- WETLANDS AND ASSOCIATED ENVIRONMENTAL INFORMATION SHOWN HEREON REFLECT THE RESULT OF AN INVESTIGATION PERFORMED BY DMW DATED MARCH 2015.
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**DATA SOURCES:**

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- BOUNDARY AND PARCEL INFORMATION SHOWN HAS BEEN PROVIDED BY GUTSCHICK, LITTLE, AND WEBER, P.A.

**SHEET NOTES:**

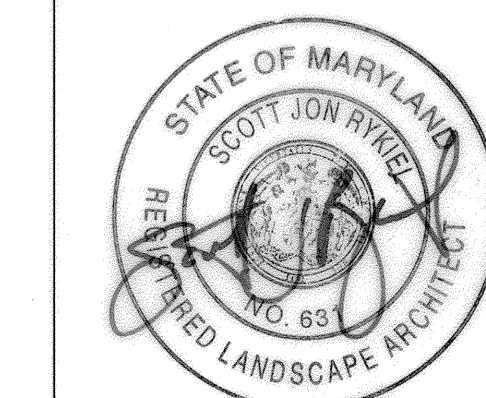
- LIGHTING ALONG MERRIWEATHER DRIVE AND SYMPHONY WOODS ROAD HAVE BEEN INSTALLED IN ACCORDANCE WITH F-15-106 AND F-16-107

**REVISED SITE DEVELOPMENT PLAN**

**FILE NUMBERS:**  
F 15-106, F 16-107, F 17-059, F 18-017, SDP-16-075, SDP-17-027, WP-17-010, WP-17-049, WP-17-052, WP-17-059, WP-17-115, WP-18-020, WP-18-021, SP-16-009, WP-17-100

**CONTRACT NUMBERS:**  
24-4931-D, 24-4975-D, 24-4974-D

**PROFESSIONAL CERTIFICATION**  
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL LANDSCAPE ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 631, EXPIRATION DATE: 09/21/2019.



APPROVED:  
PLANNING BOARD OF HOWARD COUNTY  
DATE: *October 17, 2017*

Date	No.	Revision Description
5/15/2016	1	HARDSCAPE AND BUS STOP REVISION

**DOWNTOWN COLUMBIA  
CRESCENT NEIGHBORHOOD  
PHASE I AREA 3, PHASE 2  
PARCELS D-1, D-7, D-8, D-9,  
D-11, D-12 AND D-13**

OWNER / DEVELOPER:  
THE HOWARD RESEARCH AND DEVELOPMENT CORPORATION  
COLUMBIA REGIONAL OFFICE  
10480 LITTLE PATUXENT PARKWAY SUITE 400  
COLUMBIA, MD 21044  
410-964-4800

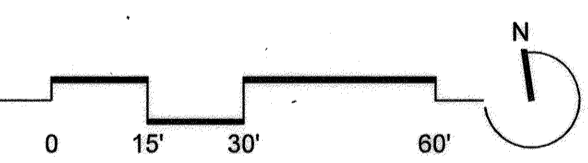
**MAHAN RYKIEL  
ASSOCIATES INC**  
The Stieff Silver Building, 800 Wyman Park Drive,  
Suite 100, Baltimore, MD 21211 410.235.6001

SUBDIVISION NAME	SECTION	NEIGHBORHOOD	LOT/PARCEL #
DOWNTOWN COLUMBIA	7	36	5
PLAT OR L.P. #	BLOCK #	TAX ZONE/MAP	ELECT. DISTRICT
24-4931-D	7	36	5
WATER CODE	SEWER CODE	LITTLE PATUXENT	STAGE
550			1

**L-101 - MATERIALS PLAN**

Des. By	MP	SCALE	AS SHOWN	Proj. No.	04038.80
Drn. By	BB	Date	02/15/19		
Chk. By	MP	Approved			45 of 78

**1 HARDSCAPE PLAN**  
1"=30'

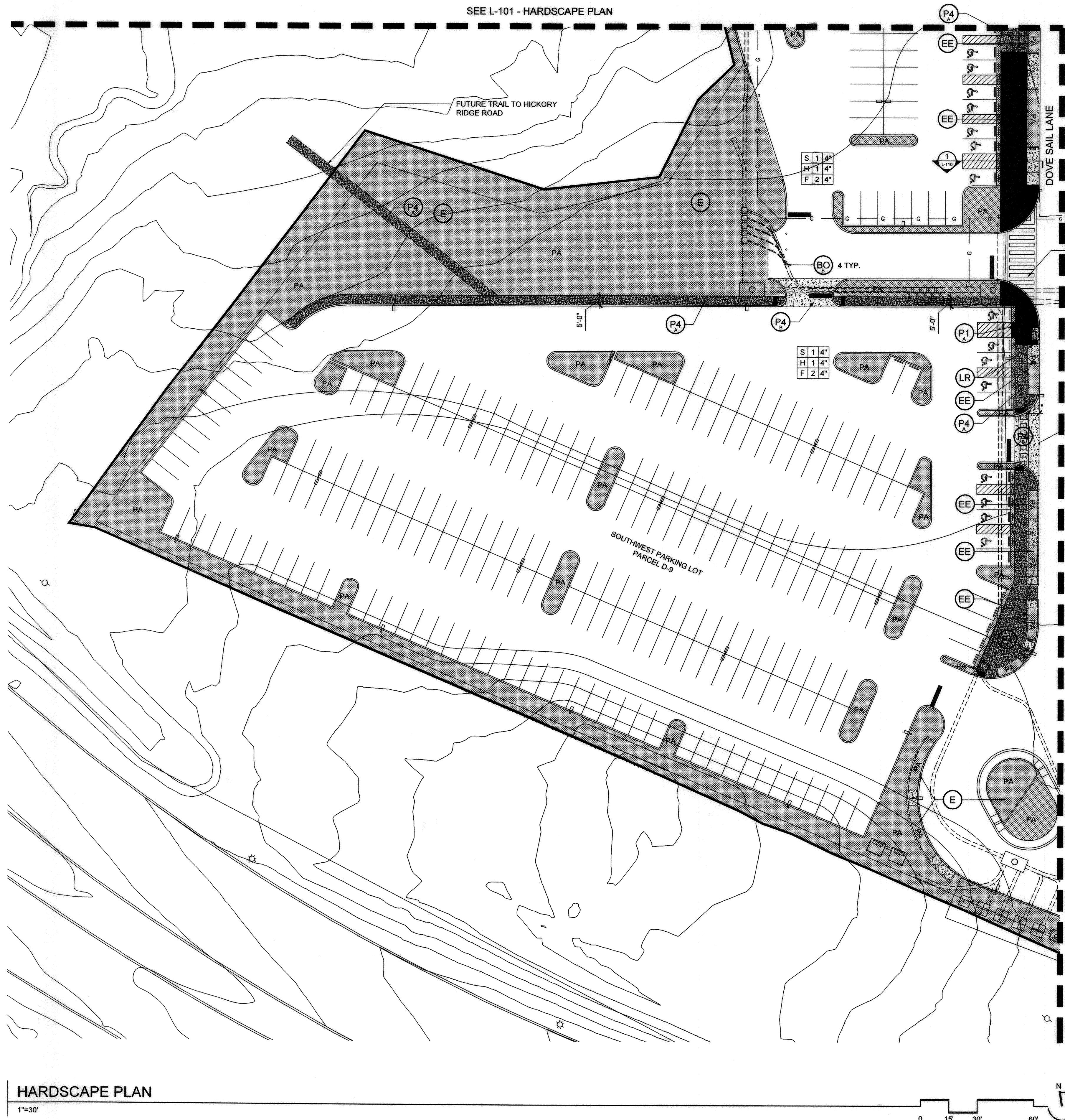


HOWARD COUNTY DEPT. OF PLANNING & ZONING

*[Signature]* 12-4-19  
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

*[Signature]* 12-11-19  
CHIEF, DIVISION OF LAND DEVELOPMENT DATE

*[Signature]* 12-12-19  
DIRECTOR DATE



- HARDSCAPE KEY**
- PAVING**
- (P1) 3/201 PEDESTRIAN CONCRETE UNIT PAVEMENT 1A (LIGHT)  
MANUFACTURER: UNILOCK  
STYLE: UMBRIANO FINISH  
COLOR: WINTER MARVEL  
SIZE: 6"x 18"x 2 1/2"
  - (P1) 3/201 PEDESTRIAN CONCRETE UNIT PAVEMENT 1B (DARK)  
MANUFACTURER: UNILOCK  
STYLE: UMBRIANO  
COLOR: FRENCH GREY  
SIZE: 6"x 18"x 2 1/2"
  - (P2) 4/201 VEHICULAR CONCRETE UNIT PAVEMENT 2A (LIGHT)  
MANUFACTURER: UNILOCK  
STYLE: UMBRIANO FINISH  
COLOR: WINTER MARVEL  
SIZE: 6"x 18"x 3 1/2"
  - (P2) 4/201 VEHICULAR CONCRETE UNIT PAVEMENT 2B (DARK)  
MANUFACTURER: UNILOCK  
STYLE: UMBRIANO  
COLOR: FRENCH GREY  
SIZE: 6"x 18"x 3 1/2"
  - (P3) 1/201 PEDESTRIAN EXPOSED AGGREGATE COLOR CONCRETE
  - (P3) 1/201 VEHICULAR EXPOSED AGGREGATE COLOR CONCRETE
  - (P4) 1/201 PEDESTRIAN CAST-IN-PLACE CONCRETE PAVING
  - (P4) 1/201 VEHICULAR CAST-IN-PLACE CONCRETE PAVING
  - (P5) 3/201 PEDESTRIAN CONCRETE UNIT PAVEMENT 1C  
MANUFACTURER: UNILOCK  
STYLE: UMBRIANO  
COLOR: MIDNIGHT SKY  
SIZE: 12"x 12"x 3 1/2"
  - (P6) 5/201 DETECTABLE WARNING PAVEMENT
- STRUCTURE**
- (S1) 6/201 C.I.P. CONCRETE STAIRS
- TREE PITS & TREE ACCESSORIES**
- (EE) EXISTING ESD, SEE F-PLAN 18-017, STRUCTURAL, AND CIVIL DRAWINGS FOR ADDITIONAL INFORMATION
  - (E) 1-3/201 ESD, SIZE VARIES, REFER TO STRUCTURAL-CIVIL DRAWINGS FOR ADDITIONAL INFORMATION
- SITE AMENITIES**
- (B1) 1/201 BENCH
  - (BO) 4/201 BOLLARD
  - (BO) 4/201 REMOVABLE BOLLARD
  - (BR) 3/201 BIKE RACK
  - (HR) 2/201 HANDRAIL
  - (LR) 2/201 LITTER/RECYCLING RECEPTACLE

**GENERAL HARDSCAPE NOTES:**

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- REFER TO CIVIL DRAWINGS FOR ROADWAY AND CURB ALIGNMENT.
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- REFER TO SITE PLANS FOR ALL SITE DIMENSIONS.

**CERTIFICATION NOTE:**

- I, WME, CERTIFY THAT THE LANDSCAPING SHOWN ON THIS PLAN WILL BE DONE ACCORDING TO THE PLAN, SECTION 18.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL FOR ALTERNATIVE COMPLIANCE AND THE CRESCENT NEIGHBORHOOD DESIGN GUIDELINES. I, WME, FURTHER CERTIFY THAT UPON COMPLETION A LETTER OF LANDSCAPE INSTALLATION, ACCOMPANIED BY AN EXECUTED ONE YEAR GUARANTEE OF PLANT MATERIALS, WILL BE SUBMITTED TO THE DEPARTMENT OF PLANNING AND ZONING.

*Wm T. Rowe 2.18.19*  
DEVELOPER'S/OWNER'S NAME  
*Wm T. Rowe 2VP*  
DEVELOPER'S/OWNER'S NAME

- ENVIRONMENTAL DATA SOURCES**
- FLOODPLAIN INFORMATION SHOWN HEREON REFLECTS THE RESULT OF A STUDY PERFORMED BY BIO-HABITATS DATED 06/18/2015.
  - WETLANDS AND ASSOCIATED ENVIRONMENTAL INFORMATION SHOWN HEREON REFLECTS THE RESULT OF AN INVESTIGATION PERFORMED BY DMW DATED MARCH 2015.
  - SOIL SURVEY INFORMATION SHOWN HEREON REFLECTS HOWARD COUNTY SOILS INFORMATION DATED 11/26/2007.
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- DATA SOURCES:**
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  - BOUNDARY AND PARCEL INFORMATION SHOWN HAS BEEN PROVIDED BY GUTSCHICK, LITTLE, AND WEBER, P.A.

**FILE NUMBERS:**  
F-15-106, F-16-107, F-17-059, F-18-017, SDP-16-075, SDP-18-005, WP-17-010, WP-17-049, WP-17-052, WP-17-115, WP-18-020, WP-18-021, SP-16-009, WP-16-100, FDP-DC-CRESCENT-1, FDP-DC-CRESCENT-1A, SDP 17-027, F-17-057, F-18-017, WP-18-089, WP-18-105.  
**CONTRACT NUMBERS:**  
24-4931-D, 24-4975-D, 24-4974-D.

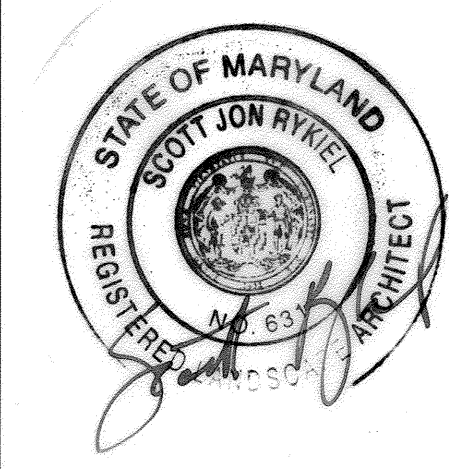
**PROFESSIONAL CERTIFICATION**  
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 631, EXPIRATION DATE: 09/21/19.

**SHEET NOTES:**

- LIGHTING ALONG MERRIWEATHER DRIVE AND SYMPHONY WOODS ROAD HAVE BEEN INSTALLED IN ACCORDANCE WITH F-15-106 AND F-16-107

Date	No.	Revision Description
		<b>DOWNTOWN COLUMBIA</b> <b>CRESCENT NEIGHBORHOOD</b> <b>PHASE I AREA 3, PHASE 2</b> <b>PARCELS D-1, D-7, D-8, D-9,</b> <b>D-11, D-12 AND D-13</b> MIXED USE GREEN OFFICE, RESIDENTIAL, RETAIL, RESTAURANT BUILDING <b>OWNER / DEVELOPER:</b> THE HOWARD RESEARCH AND DEVELOPMENT CORPORATION COLUMBIA REGIONAL OFFICE 10480 LITTLE PATUXENT PARKWAY SUITE 400 COLUMBIA, MD 21044 410-964-4800

**MAHAN RYKIEL**  
ASSOCIATES INC  
The Stieff Silver Building, 800 Wyman Park Drive,  
Suite 100, Baltimore, MD 21211 410.235.8001



APPROVED:  
PLANNING BOARD OF HOWARD COUNTY  
DATE: 11/7/18

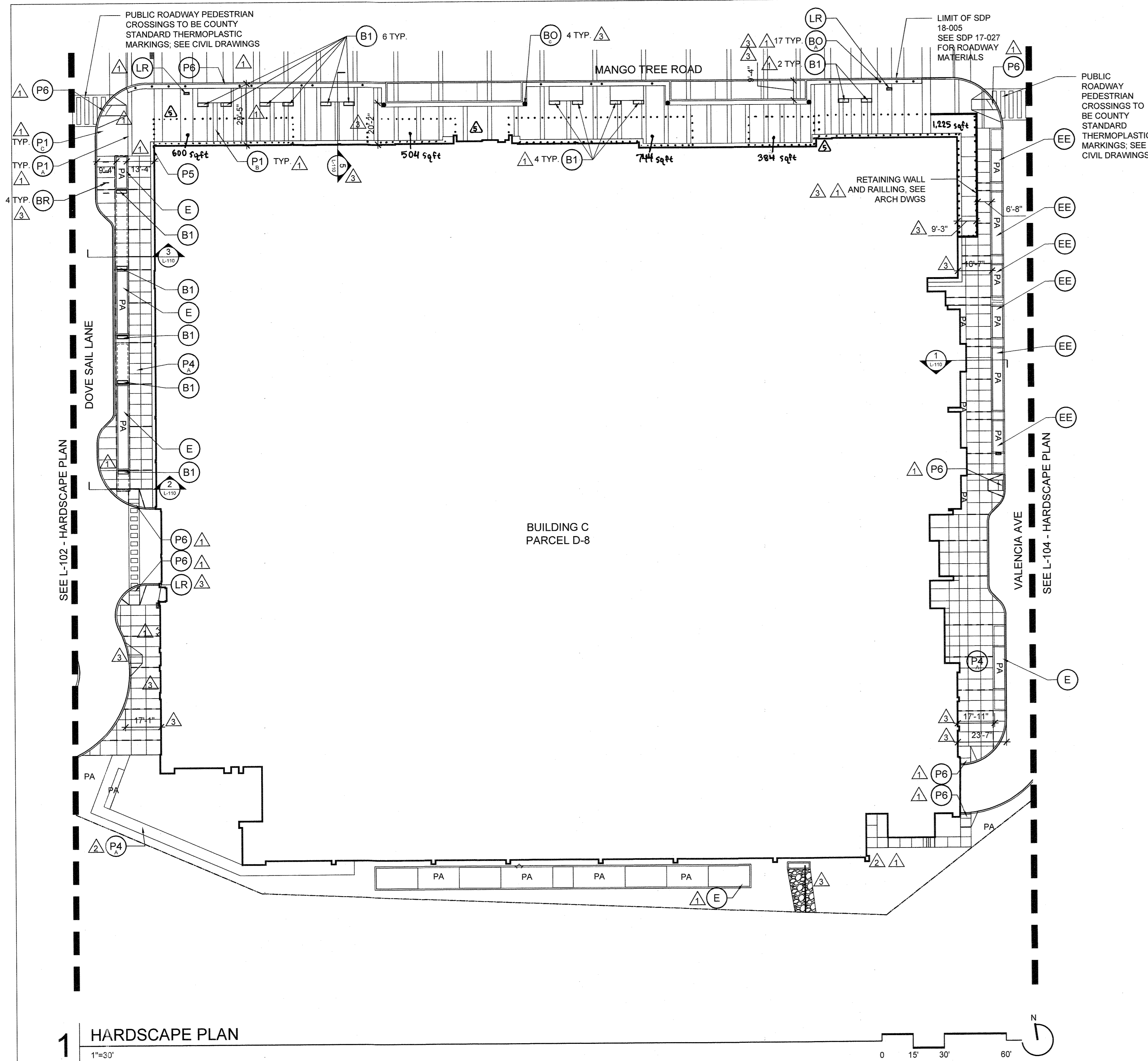
SUBDIVISION NAME	SECTION/AREA	LOT/PARCEL #	PARCEL D
DOWNTOWN COLUMBIA	CRESCENT NEIGHBORHOOD		
PLAT OR LOT	BLOCK #	TAX ZONE/MAP	CENSUS TRACT
7	1	5	605602
WATER CODE	SEWER CODE	STAGE	
550	LITTLE PATUXENT	1	

**TITLE**  
**L-102 - HARDSCAPE PLAN**

Des. By	MP	SCALE AS SHOWN	Proj. No. 04038.B0
Drn. By	BB	Date 02/15/19	46 of 78
Chk. By	MP	Approved	

**1 HARDSCAPE PLAN**  
1"=30'

APPROVED: HOWARD COUNTY DEPT. OF PLANNING & ZONING  
*Ch. Ch...* 3-20-19  
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE  
*V...* 4-24-19  
CHIEF, DIVISION OF LAND DEVELOPMENT DATE  
DIRECTOR, DIVISION OF LAND DEVELOPMENT DATE  
*N...* 4-24-19



**HARDSCAPE KEY**

**PAVING**

- P1** (3/1-201) PEDESTRIAN CONCRETE UNIT PAVER 1A (DARK)  
MANUFACTURER: UNILOCK  
STYLE: UMBRIANO FINISH  
COLOR: MIDNIGHT SKY  
SIZE: 6"x 12"x 2 3/4"
- P1** (3/3-201) PEDESTRIAN CONCRETE UNIT PAVER 1B (DARK)  
MANUFACTURER: UNILOCK  
STYLE: UMBRIANO  
COLOR: FRENCH GREY  
SIZE: 6"x 12"x 2 3/4"
- P1** (3/3-201) PEDESTRIAN CONCRETE UNIT PAVER 1C (LIGHT)  
MANUFACTURER: UNILOCK  
STYLE: UMBRIANO  
COLOR: WINTER MARVEL  
SIZE: 6"x 12"x 2 3/4"
- P1** (3/3-201) PEDESTRIAN CONCRETE UNIT PAVER 1D (LIGHT)  
MANUFACTURER: UNILOCK  
STYLE: UMBRIANO  
COLOR: GRENADA WHITE  
SIZE: 6"x 12"x 2 3/4"
- P2** (4/1-201) VEHICULAR CONCRETE UNIT PAVER 2A (LIGHT)  
MANUFACTURER: UNILOCK  
STYLE: UMBRIANO FINISH  
COLOR: WINTER MARVEL  
SIZE: 6"x 18"x 3 3/8"
- P2** (4/1-201) VEHICULAR CONCRETE UNIT PAVER 2B (DARK)  
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STYLE: UMBRIANO  
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SIZE: 6"x 18"x 3 3/8"
- P3** (1/1-201) PEDESTRIAN EXPOSED AGGREGATE  
COLOR CONCRETE
- P3** (1/1-201) VEHICULAR EXPOSED AGGREGATE  
COLOR CONCRETE
- P4** (1/1-201) PEDESTRIAN CAST-IN-PLACE CONCRETE PAVING
- P4** (1/1-201) VEHICULAR CAST-IN-PLACE CONCRETE PAVING
- P5** (3/1-201) PEDESTRIAN CONCRETE UNIT PAVER 1C  
MANUFACTURER: UNILOCK  
STYLE: UMBRIANO  
COLOR: MIDNIGHT SKY  
SIZE: 12"x 12"x 3 3/8"
- P6** (5/1-201) DETECTABLE WARNING PAVER

**STRUCTURE**

- S1** (6/1-201) C.I.P. CONCRETE STAIRS

**TREE PITS & TREE ACCESSORIES**

- EE** EXISTING ESD, SEE F-PLAN 18-017, STRUCTURAL AND CIVIL DRAWINGS FOR ADDITIONAL INFORMATION
- E** (1-3/1-201) ESD, SIZE VARIES, REFER TO STRUCTURAL-CIVIL DRAWINGS FOR ADDITIONAL INFORMATION

**SITE AMENITIES**

- B1** (1/1-211) BENCH
- BO** (4/1-211) BOLLARD
- BO** (4/1-211) BOLLARD
- BO** (4/1-211) REMOVABLE BOLLARD
- BR** (3/1-211) BIKE RACK
- HR** (2/1-203) HANDRAIL
- LR** (2/1-211) LITTER/RECYCLING RECEPTACLE
- TG** (8/1-201) TREE PAVER GRATE

**GENERAL HARDSCAPE NOTES:**

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*[Signature]*  
DEVELOPER/SOWNER'S NAME

*[Signature]*  
DEVELOPER/SOWNER'S NAME

**ENVIRONMENTAL DATA SOURCES**

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- SOIL SURVEY INFORMATION SHOWN HEREON REFLECTS HOWARD COUNTY SOILS INFORMATION DATED 11/26/2007.
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- BOUNDARY AND PARCEL INFORMATION SHOWN HAS BEEN PROVIDED BY GUTSCHICK, LITTLE, AND WEBER, P.A.

**REVISED SITE DEVELOPMENT PLAN**

**FILE NUMBERS:**  
F-15-106, F-16-107, F-17-059, F-18-017, SDP-16-075, SDP-17-027, WP-17-010, WP-17-049, WP-17-052, WP-17-059, WP-17-115, WP-18-020, WP-18-021, SP-16-009, WP-17-100

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24-4931-D, 24-4975-D, 24-4974-D

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Date	No.	Revision Description
10/30/2020	1	UPDATE PLANS PER REVISED BLDG C LAYOUT & UTILITIES
5/15/2019	1	HARDSCAPE AND BLDG REVISIONS

**DOWNTOWN COLUMBIA**  
**CRESCENT NEIGHBORHOOD**  
**PHASE I AREA 3, PHASE 2**  
PARCELS D-1, D-7, D-8, D-9, D-11, D-12 AND D-13

OWNER / DEVELOPER:  
THE HOWARD RESEARCH AND DEVELOPMENT CORPORATION  
COLUMBIA REGIONAL OFFICE  
10480 LITTLE PATUXENT PARKWAY SUITE 400  
COLUMBIA, MD 21044  
410-964-4800

**MAHAN RYKIEL ASSOCIATES INC**  
The Stieff Silver Building, 800 Wyman Park Drive, Suite 100, Baltimore, MD 21211 410.235.6001

PLANNING BOARD OF HOWARD COUNTY	DATE:
4/19/24	
7/6/2022	
Date	No.

**L-103 - HARDSCAPE PLAN**

Des. By	MP	SCALE	AS SHOWN	Proj. No.	04038.B0
Dn. By	BB	Date	02/15/19	47 of 78	
Chk. By	MP	Approved			

SDP-18-005

**1 HARDSCAPE PLAN**

1"=30'

**SHEET NOTES:**

- LIGHTING ALONG MERRIWEATHER DRIVE AND SYMPHONY WOODS ROAD HAVE BEEN INSTALLED IN ACCORDANCE WITH F-15-106 AND F-16-107
- A 2' BUILDING FRONTAGE ZONE & CLEAR PEDESTRIAN ZONE MUST BE MAINTAINED ALONG THE FRONT OF BUILDING C.

**LEGEND**

OUTDOOR SEATING AREA

HOWARD COUNTY DEPT. OF PLANNING & ZONING

*[Signature]* 11-10-22  
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

*[Signature]* 12/6/22  
CHIEF, DIVISION OF LAND DEVELOPMENT DATE

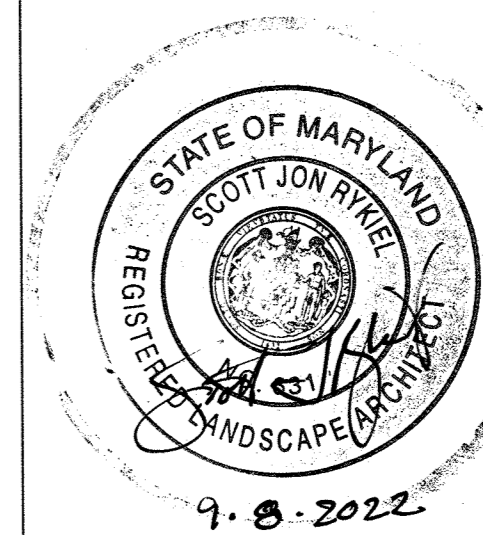
*[Signature]* 12/6/22  
DIRECTOR DATE

**PROFESSIONAL CERTIFICATION**  
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL LANDSCAPE ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 712; EXPIRATION DATE 1/10/2025

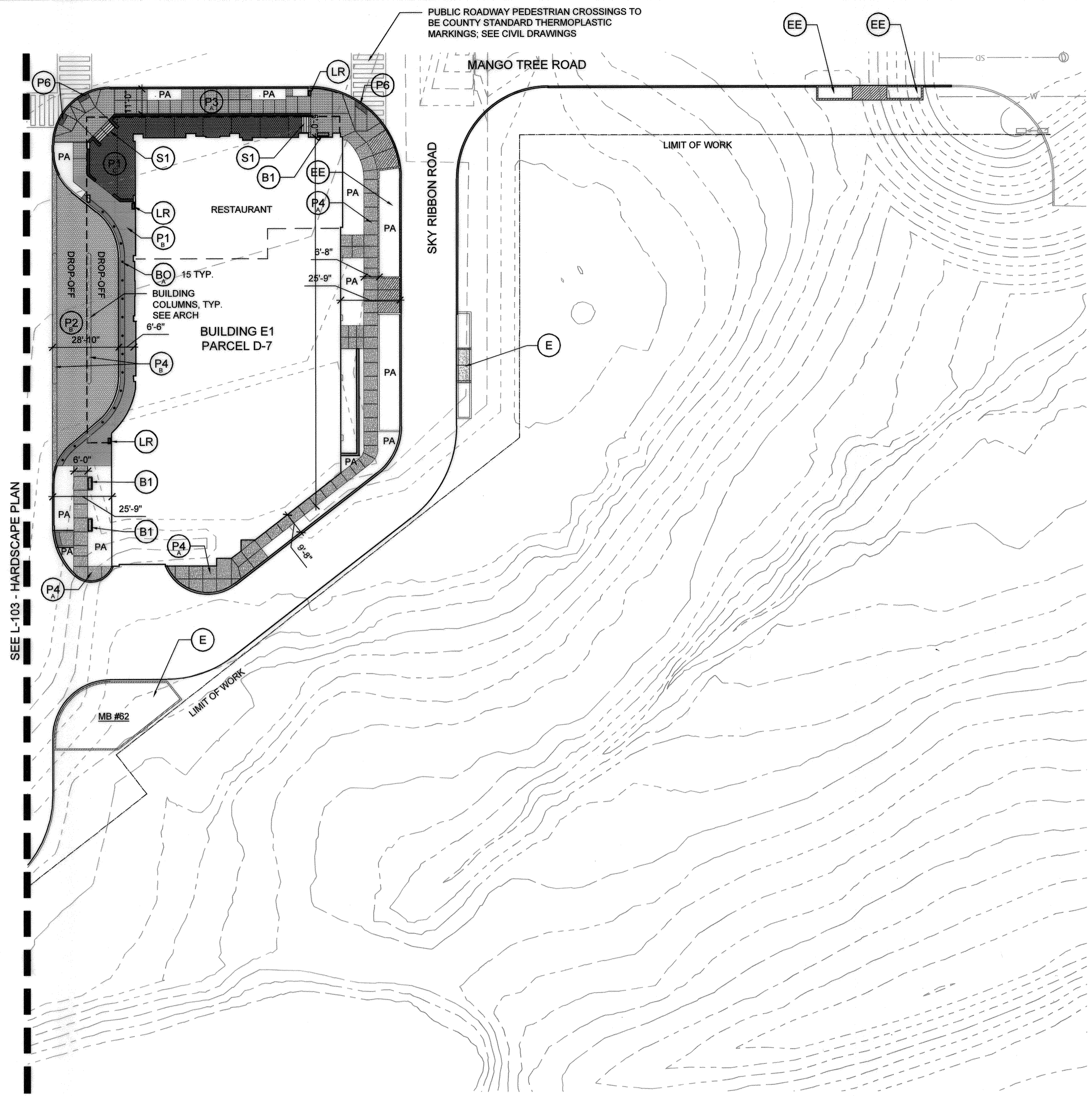
FOR REDLINE REVISION NO. 5 ONLY

*[Signature]*  
5/17/2024

PROFESSIONAL ARCH. NO. 712



Date	No.	Revision Description
4/19/24	1	ADD OUTDOOR DINING PATIO AREAS
7/6/2022	1	SERVICE RAMP, PLANTING AREA, SITE FURNISHING, & SITE WALL UPDATES



**1 HARDSCAPE PLAN**  
1"=30'

**SHEET NOTES:**

- LIGHTING ALONG MERRIWEATHER DRIVE AND SYMPHONY WOODS ROAD HAVE BEEN INSTALLED IN ACCORDANCE WITH F-15-106 AND F-16-107

HOWARD COUNTY DEPT. OF PLANNING & ZONING

*[Signature]* 12-4-19  
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

*[Signature]* 12-11-19  
CHIEF, DIVISION OF LAND DEVELOPMENT DATE

*[Signature]* 12-12-19  
DIRECTOR DATE

**HARDSCAPE KEY**

**PAVING**

- P1** (3/201) PEDESTRIAN CONCRETE UNIT PAVER 1A (DARK)  
MANUFACTURER: UNILOCK  
STYLE: UMBRIANO FINISH  
COLOR: MIDNIGHT SKY  
SIZE: 6"x 12"x 2 3/4"
- P1** (3/201) PEDESTRIAN CONCRETE UNIT PAVER 1B (DARK)  
MANUFACTURER: UNILOCK  
STYLE: UMBRIANO  
COLOR: FRENCH GREY  
SIZE: 6"x 12"x 2 3/4"
- P1** (3/201) PEDESTRIAN CONCRETE UNIT PAVER 1C (LIGHT)  
MANUFACTURER: UNILOCK  
STYLE: UMBRIANO  
COLOR: WINTER MARVEL  
SIZE: 6"x 12"x 2 3/4"
- P1** (3/201) PEDESTRIAN CONCRETE UNIT PAVER 1D (LIGHT)  
MANUFACTURER: UNILOCK  
STYLE: UMBRIANO  
COLOR: GRENADE WHITE  
SIZE: 6"x 12"x 2 3/4"
- P2** (4/201) VEHICULAR CONCRETE UNIT PAVER 2A (LIGHT)  
MANUFACTURER: UNILOCK  
STYLE: UMBRIANO FINISH  
COLOR: WINTER MARVEL  
SIZE: 6"x 18"x 3 3/4"
- P2** (4/201) VEHICULAR CONCRETE UNIT PAVER 2B (DARK)  
MANUFACTURER: UNILOCK  
STYLE: UMBRIANO  
COLOR: FRENCH GREY  
SIZE: 6"x 18"x 3 3/4"
- P3** (1/201) PEDESTRIAN EXPOSED AGGREGATE COLOR CONCRETE
- P3** (1/201) VEHICULAR EXPOSED AGGREGATE COLOR CONCRETE
- P4** (1/201) PEDESTRIAN CAST-IN-PLACE CONCRETE PAVING
- P4** (1/201) VEHICULAR CAST-IN-PLACE CONCRETE PAVING
- P5** (3/201) PEDESTRIAN CONCRETE UNIT PAVER 1C  
MANUFACTURER: UNILOCK  
STYLE: UMBRIANO  
COLOR: MIDNIGHT SKY  
SIZE: 12"x 12"x 3 3/4"
- P6** (5/201) DETECTABLE WARNING PAVER

**STRUCTURE**

- S1** (6/201) C.I.P. CONCRETE STAIRS

**TREE PITS & TREE ACCESSORIES**

- EE** EXISTING ESD, SEE F-PLAN 18-017, STRUCTURAL, AND CIVIL DRAWINGS FOR ADDITIONAL INFORMATION
- E** (1-3/201) ESD, SIZE VARIES, REFER TO STRUCTURAL+CIVIL DRAWINGS FOR ADDITIONAL INFORMATION

**SITE AMENITIES**

- B1** (1/211) BENCH
- B2** (4/211) BOLLARD
- B3** (4/211) REMOVABLE BOLLARD
- BR** (3/201) BIKE RACK
- HR** (2/201) HANDRAIL
- LR** (2/211) LITTER/RECYCLING RECEPTACLE

**GENERAL HARDSCAPE NOTES:**

- BUILDING ENTRANCES ARE SHOWN FOR REFERENCE ONLY. BUILDING ENTRANCE LOCATIONS MAY BE ADJUSTED BASED ON TENANT NEEDS WITH FINAL REVIEW AT TIME OF PERMIT.
- REFER TO SHEETS L-300 TO L-310 FOR PROPOSED PLANTINGS.
- SITE LIGHTING SHOWN ON PLANS FOR COORDINATION ONLY. REFER TO LIGHTING PLANS FOR FINAL LOCATION, FIXTURE SELECTION, MEP REQUIREMENTS, ETC.
- REFER TO CIVIL DRAWINGS FOR ALL UTILITY AND STORM WATER MANAGEMENT INFORMATION.
- REFER TO CIVIL DRAWINGS FOR ROADWAY AND CURB ALIGNMENT.
- SITE SIGNS SHOWN ON PLANS FOR COORDINATION ONLY. REFER TO SIGNAGE PLANS FOR FINAL LOCATIONS & SIGNAGE DESIGN.
- REFER TO SITE PLANS FOR ALL SITE DIMENSIONS.

**CERTIFICATION NOTE:**

- I, THE DEVELOPER, CERTIFY THAT THE LANDSCAPING SHOWN ON THIS PLAN WILL BE DONE ACCORDING TO THE PLAN, SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL FOR ALTERNATIVE COMPLIANCE AND THE CRESCENT NEIGHBORHOOD DESIGN GUIDELINES. I WILL FURTHER CERTIFY THAT UPON COMPLETION A LETTER OF LANDSCAPE INSTALLATION, ACCOMPANIED BY AN EXECUTED ONE YEAR GUARANTEE OF PLANT MATERIALS, WILL BE SUBMITTED TO THE DEPARTMENT OF PLANNING AND ZONING.

DEVELOPER'S/OWNER'S NAME  
**HED Corporation**

DEVELOPER'S/OWNER'S NAME  
**RUTH HOANG**

**ENVIRONMENTAL DATA SOURCES**

- FLOODPLAIN INFORMATION SHOWN HEREON REFLECTS THE RESULT OF A STUDY PERFORMED BY BIO-HABITATS DATED 06/18/2015.
- WETLANDS AND ASSOCIATED ENVIRONMENTAL INFORMATION SHOWN HEREON REFLECT THE RESULT OF AN INVESTIGATION PERFORMED BY DMW DATED MARCH 2015.
- SOIL SURVEY INFORMATION SHOWN HEREON REFLECTS HOWARD COUNTY SOILS INFORMATION DATED 11/26/2007.
- DECLARATION OF RESTRICTIVE COVENANT AREAS: ARMY CORPS OF ENGINEERS PERMIT NUMBER 2014-61063, SPECIAL CONDITION #14 REQUIRES THAT ANY WETLAND MITIGATION AREAS BE PROTECTED IN PERPETUITY BY A DECLARATION OF RESTRICTIVE COVENANTS TO BE RECORDED BY JULY 1, 2016. THIS DOCUMENT PROHIBITS ANY DISTURBANCE WITHIN THIS AREA INCLUDED BUT NOT LIMITED TO NEW DEVELOPMENT, INSTALLATION OF UTILITIES, GRADING, REMOVAL OF VEGETATION, ETC. THE MARYLAND DEPARTMENT OF THE ENVIRONMENT AND THE ARMY CORPS OF ENGINEERS HAVE PLACED THESE RESTRICTIVE COVENANTS ON THE AREA TO PROTECT WATER QUALITY, ENVIRONMENTAL RESOURCES AND THE MITIGATION AREA REQUIRED TO OFF-SET IMPACTS TO WETLANDS, STREAMS AND FLOODPLAINS PROPOSED BY THIS DEVELOPMENT.

**DATA SOURCES:**

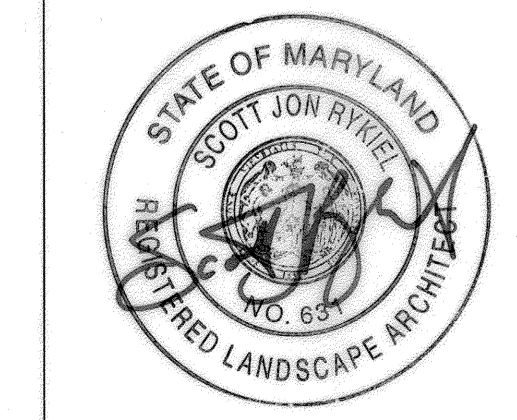
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- BOUNDARY AND PARCEL INFORMATION SHOWN HAS BEEN PROVIDED BY GUTSCHICK, LITTLE, AND WEBER, P.A.

**REVISD SITE DEVELOPMENT PLAN**

**FILE NUMBERS:**  
F-15-106, F-16-107, F-17-059, F-18-017, SDP-16-075, SDP-17-027, WP-17-010, WP-17-049, WP-17-052, WP-17-059, WP-17-115, WP-18-020, WP-18-021, SP-16-009, WP-17-100

**CONTRACT NUMBERS:**  
24-4931-D, 24-4975-D, 24-4974-D

**PROFESSIONAL CERTIFICATION**  
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL LANDSCAPE ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 631, EXPIRATION DATE: 09/21/2019.



APPROVED:  
PLANNING BOARD OF HOWARD COUNTY  
DATE: October 17, 2019

Date	No.	Revision Description
5/15/2018	1	HARDSCAPE AND BLDG REVISIONS

**DOWNTOWN COLUMBIA**  
CRESCENT NEIGHBORHOOD  
PHASE I AREA 3, PHASE 2  
PARCELS D-1, D-7, D-8, D-9,  
D-11, D-12 AND D-13

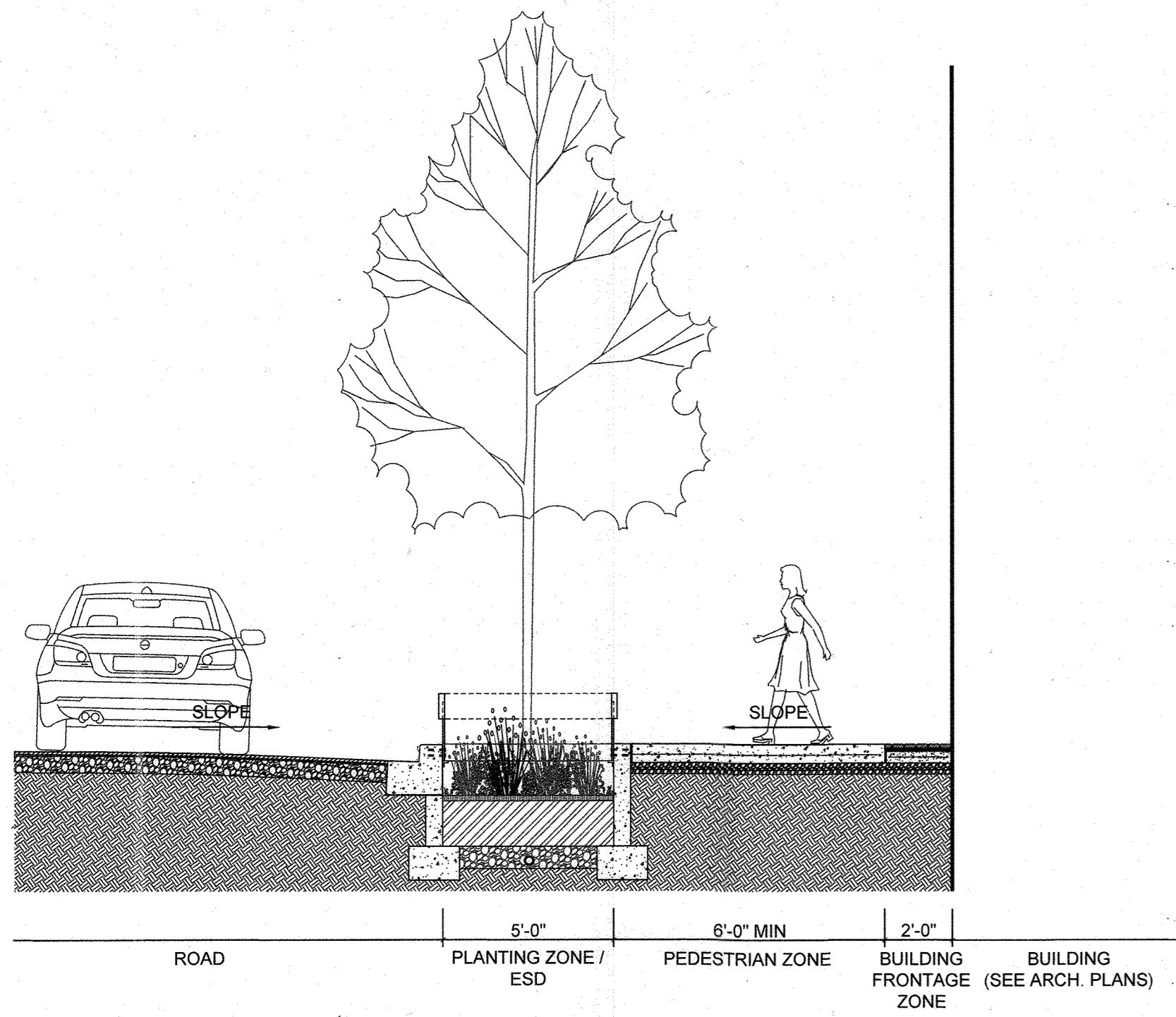
OWNER / DEVELOPER:  
THE HOWARD RESEARCH AND DEVELOPMENT CORPORATION  
COLUMBIA REGIONAL OFFICE  
10480 LITTLE PATUXENT PARKWAY SUITE 400  
COLUMBIA, MD 21044  
410-961-4800

**MAHAN RYKIEL ASSOCIATES INC**  
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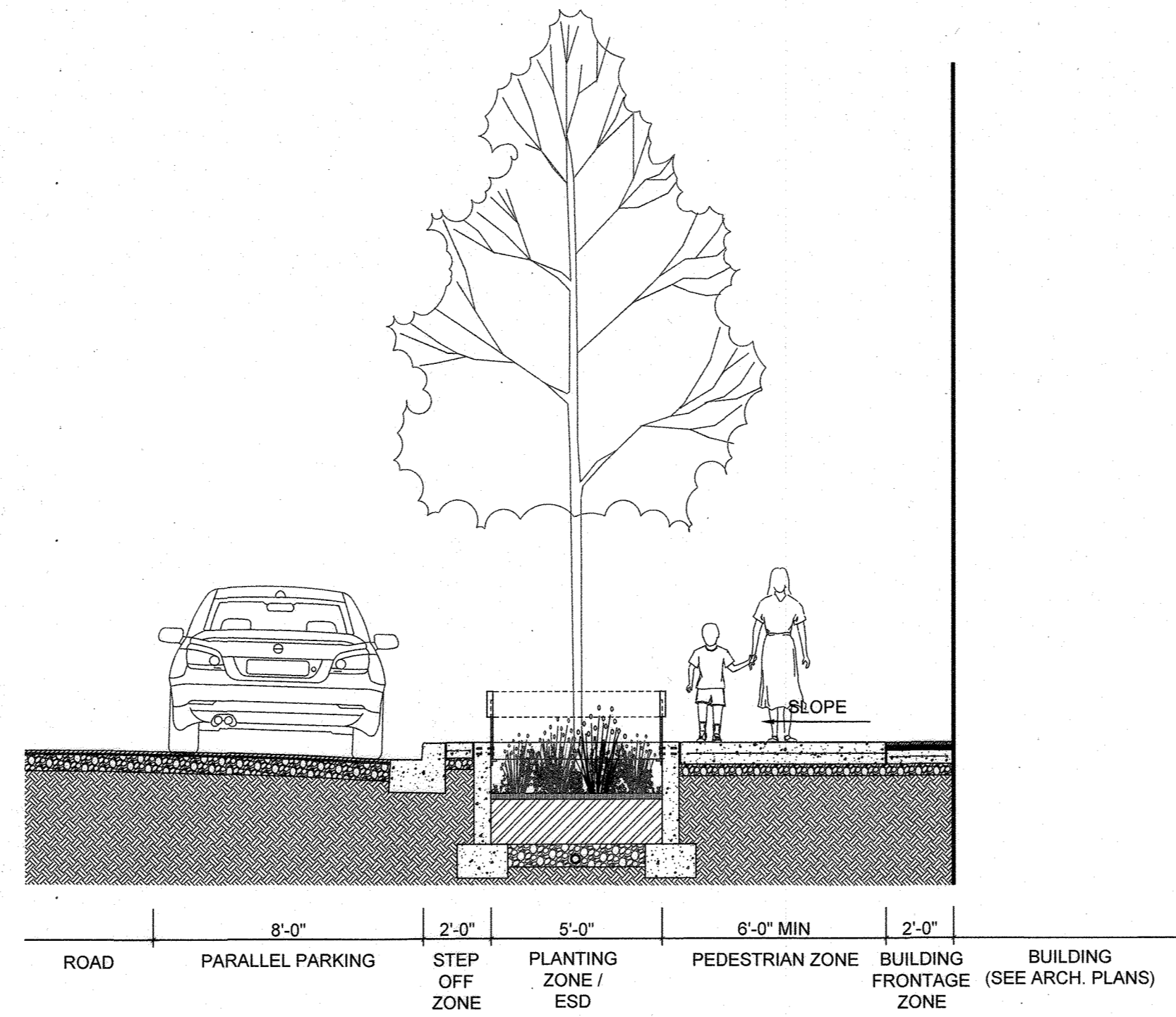
SECTION NAME	SECTION AREA	LOT/PARCEL #	PARCEL D
DOWNTOWN COLUMBIA	CRESCENT NEIGHBORHOOD		
PLAT # OR L.P. #	BLOCK # ZONE	TAX ZONE/MAP	ELECT. DISTRICT
7	DMAM	36	5
WATER CODE	SEWER CODE	STAGE	CENSUS TRACT
550	LITTLE PATUXENT	1	605602

TITLE <b>L-104 - HARDSCAPE PLAN</b>			
Des. By	MP	SCALE AS SHOWN	Proj. No. 04038.80
Drn. By	BB	Date 02/15/19	48 of 78
Chk. By	MP	Approved	

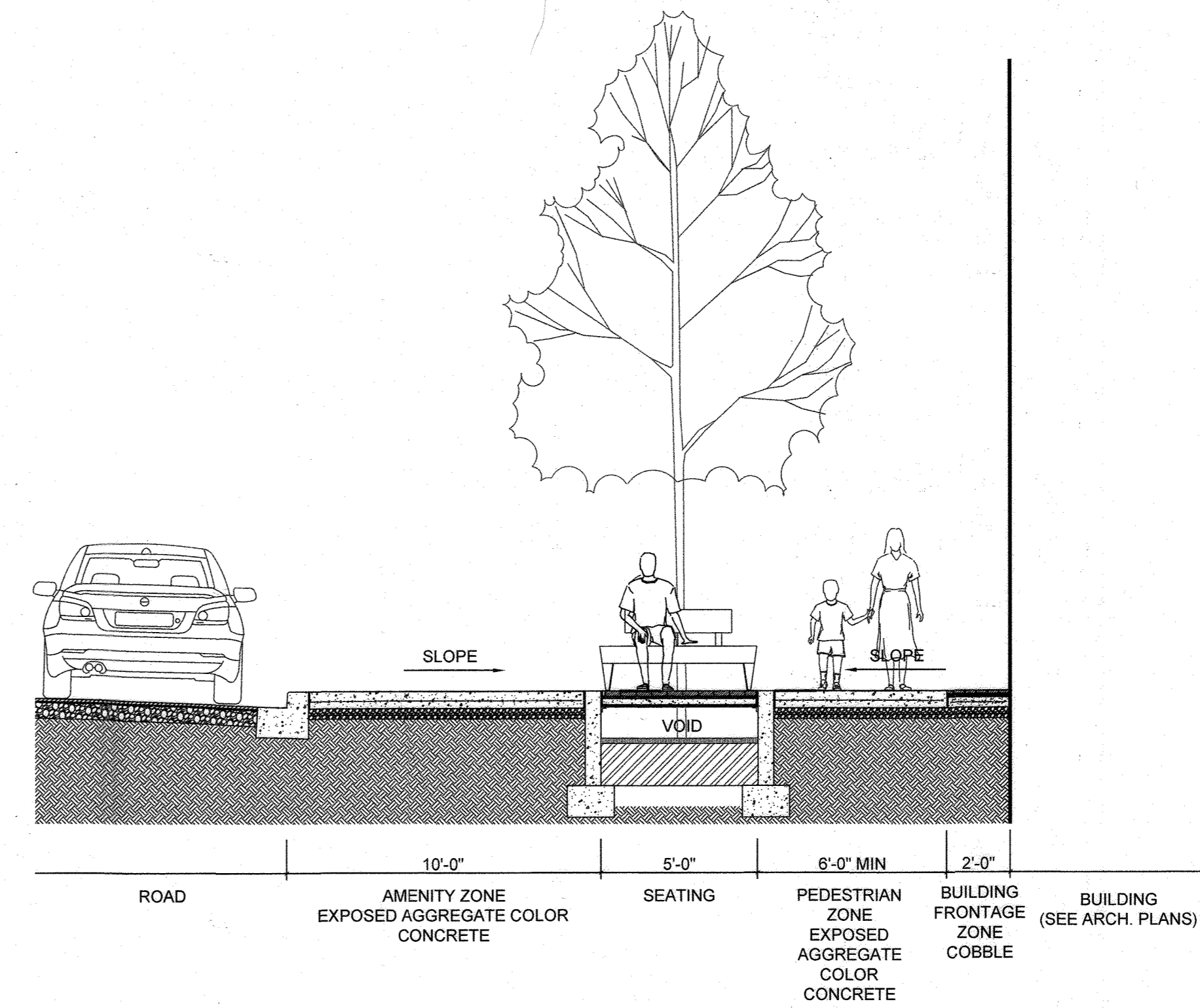




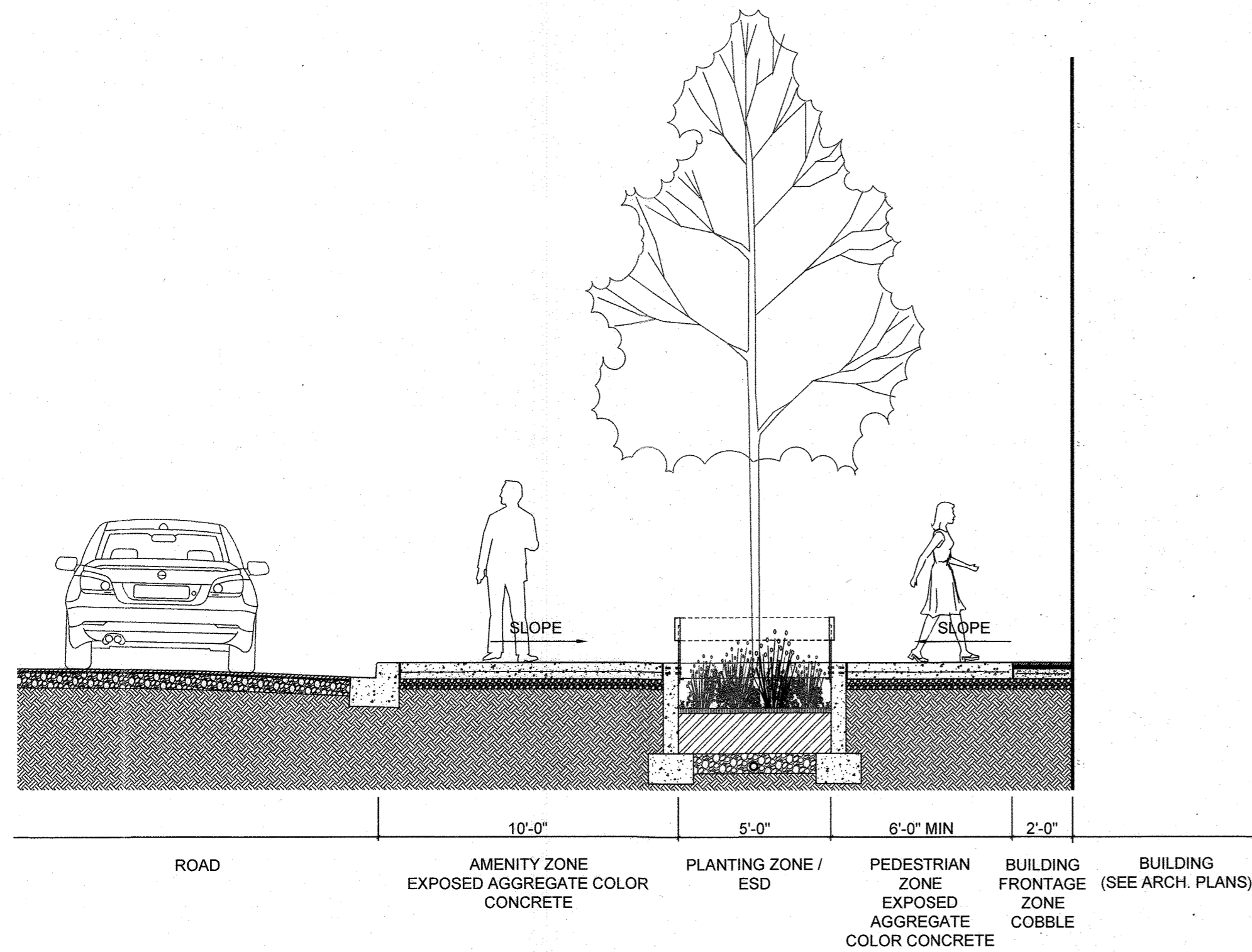
**1 SECTION - TYPICAL STREETSCAPE**  
1/4"=1'-0"



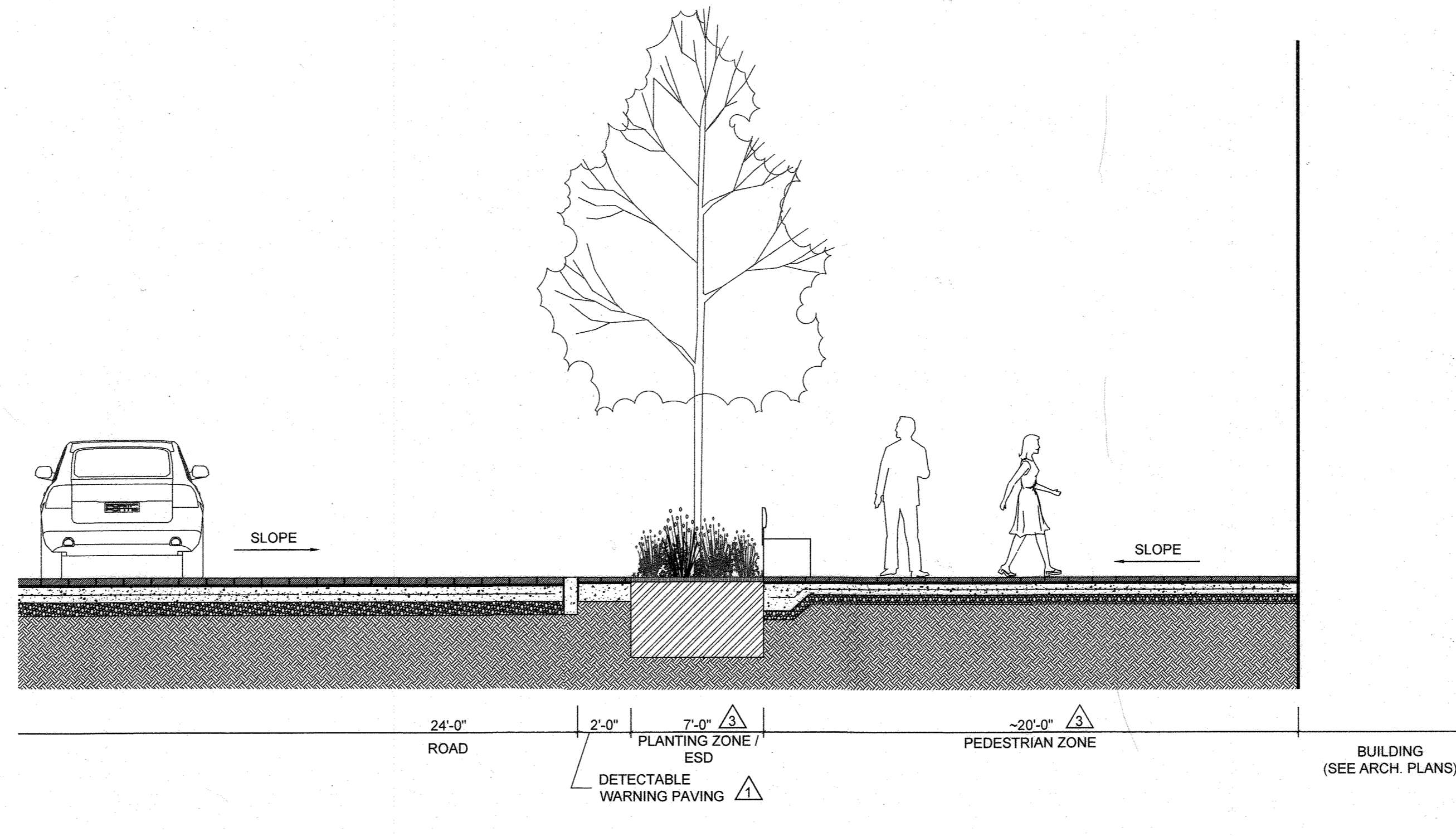
**2 SECTION - TYPICAL STREETSCAPE WITH PARKING**  
1/4"=1'-0"



**3 SECTION - TYPICAL STREETSCAPE THROUGH COVERED ESD**  
1/4"=1'-0"



**4 SECTION - TYPICAL STREETSCAPE THROUGH OPEN ESD**  
1/4"=1'-0"



**5 SECTION - MANGO STREET STREETSCAPE**  
1/4"=1'-0"

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*Wm J. Rowe*  
DEVELOPER'S/OWNER'S NAME  
*Wm J. Rowe JVP*  
DEVELOPER'S/OWNER'S NAME

- ENVIRONMENTAL DATA SOURCES**
- FLOODPLAIN INFORMATION SHOWN HEREON REFLECTS THE RESULT OF A STUDY PERFORMED BY BIO-HABITATS DATED 06/18/2015.
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**REVISD SITE DEVELOPMENT PLAN**

**FILE NUMBERS:**  
F 15-106, F 16-107, F 17-059, F-18-017, SDP-16-075, SDP-17-027, WP-17-010, WP-17-049, WP-17-052, WP-17-059, WP-17-115, WP-18-020, WP-18-021, SP-16-009, WP-17-100

**CONTRACT NUMBERS:**  
24-4931-D, 24-4935-D, 24-4974-D

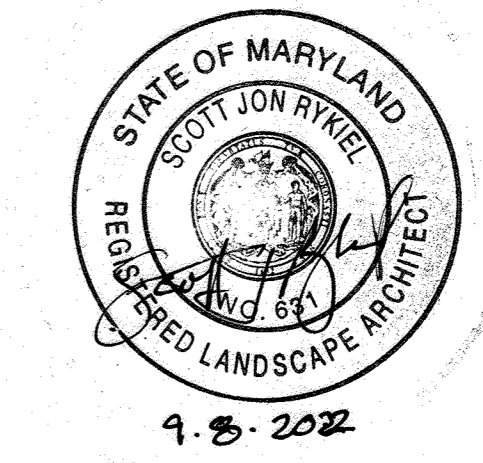
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Date	No.	Revision Description
10/30/2018	1	UPDATE PLANS PER REVISED BLDG C LAYOUT & UTILITIES
5/15/2019	2	HARDSCAPE REVISIONS

**DOWNTOWN COLUMBIA**  
CRESCENT NEIGHBORHOOD  
PHASE I AREA 3, PHASE 2  
PARCELS D-1, D-7, D-8, D-9, D-11, D-12 AND D-13

**OWNER / DEVELOPER:**  
THE HOWARD RESEARCH AND DEVELOPMENT CORPORATION  
COLUMBIA REGIONAL OFFICE  
10480 LITTLE PATUXENT PARKWAY SUITE 400  
COLUMBIA, MD 21044  
410-964-4800

**MAHAN RYKIEL ASSOCIATES INC**  
The Stieff Silver Building, 800 Wyman Park Drive, Suite 100, Baltimore, MD 21211 410.235.6001



HOWARD COUNTY DEPT. OF PLANNING & ZONING

*Chad Clark*  
CHIEF, DEVELOPMENT ENGINEERING DIVISION  
DATE: 11/02/22

*Greg*  
CHIEF, DIVISION OF LAND DEVELOPMENT  
DATE: 12/02/22

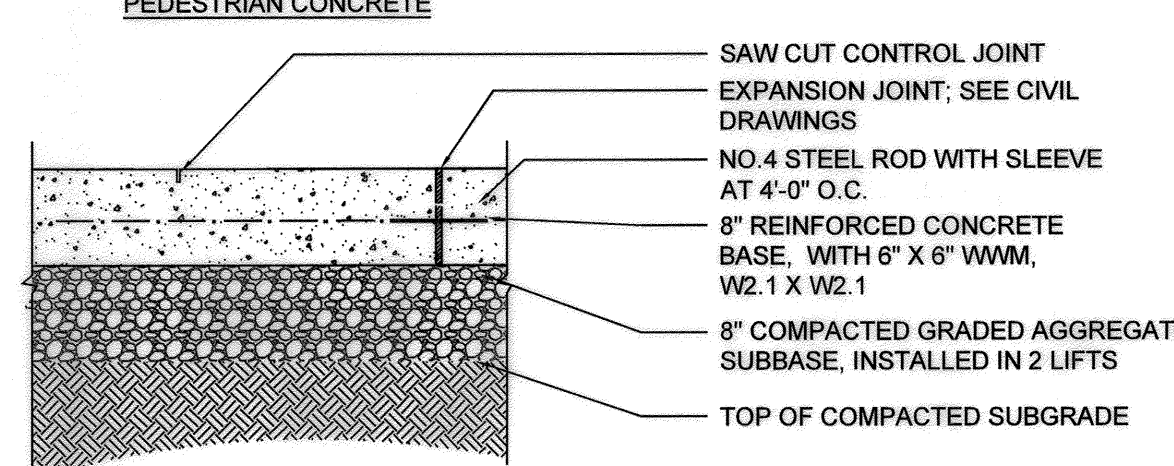
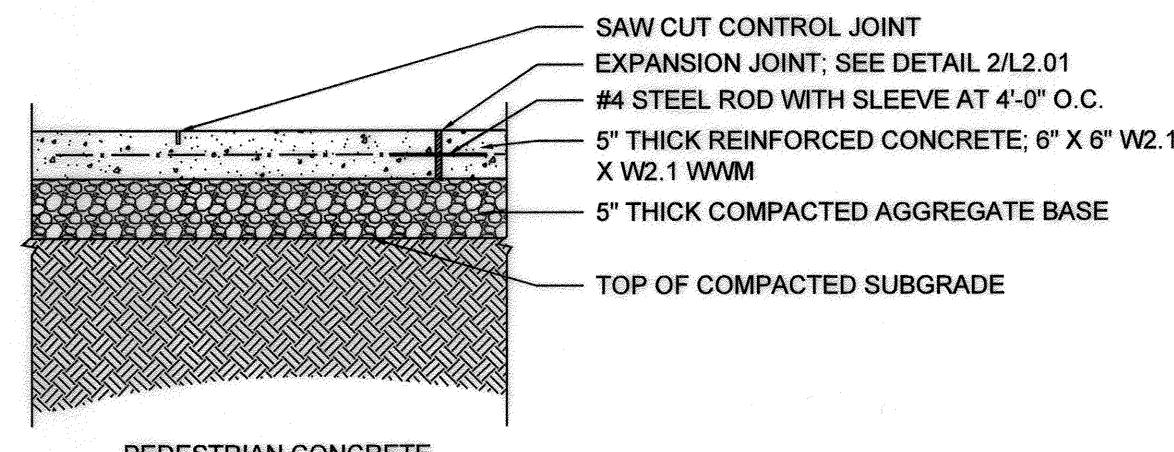
*Andy Carson*  
DIRECTOR  
DATE: 12/02/22

APPROVED:  
PLANNING BOARD OF HOWARD COUNTY  
DATE: 11/8/18

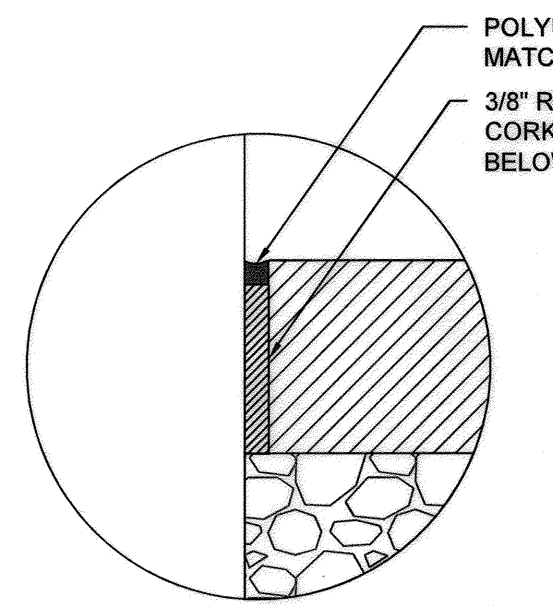
Date	No.	Revision Description
7/6/2022	1	MANGO STREET SECTION UPDATE

**L-110 - SECTIONS**

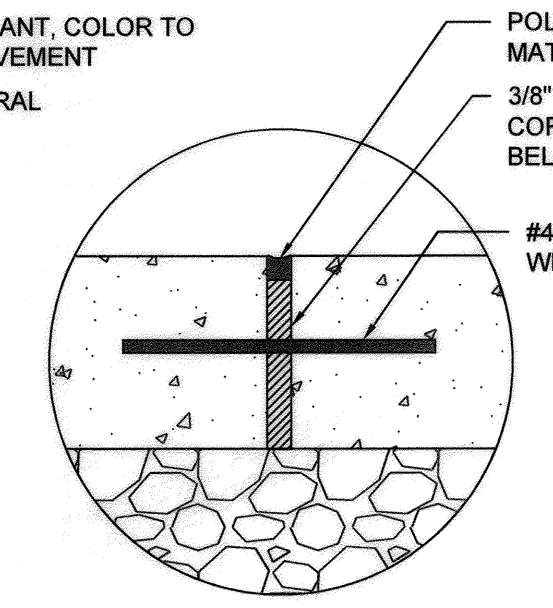
Des. By	MP	SCALE AS SHOWN	Proj. No. 04038.80
Drn. By	BB	Date 02/15/19	49 of 78
Chk. By	MP	Approved	



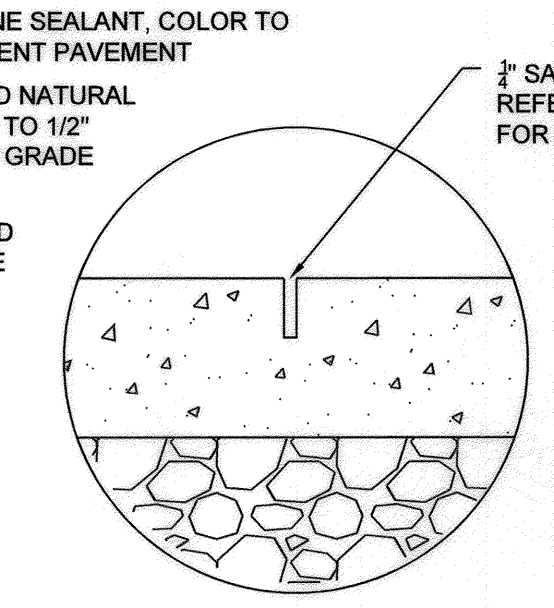
- NOTES:
- 1/2" EXPANSION JOINTS AT 15' O.C. AND WHEN CONCRETE ABUTS A RIGID SURFACE SUCH AS BUILDINGS, WALLS, OR CHANGES IN MATERIAL OR CONCRETE DEPTH.
  - SEE CIVIL ENGINEER'S SPECIFICATIONS FOR CONCRETE
  - SEE CIVIL DRAWINGS FOR ALL VEHICULAR CONCRETE DESIGN AND SPECIFICATIONS



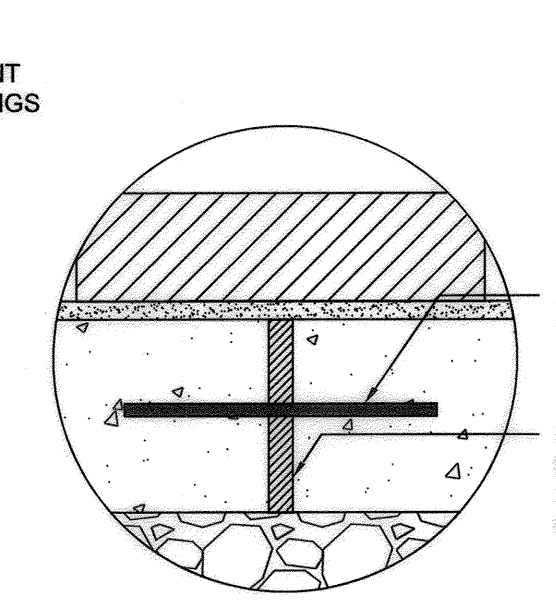
EXPANSION JOINT @ VERTICAL FACE (WALLS, CURBS, BUILDINGS & STRUCTURES)



EXPANSION JOINT @ CONCRETE

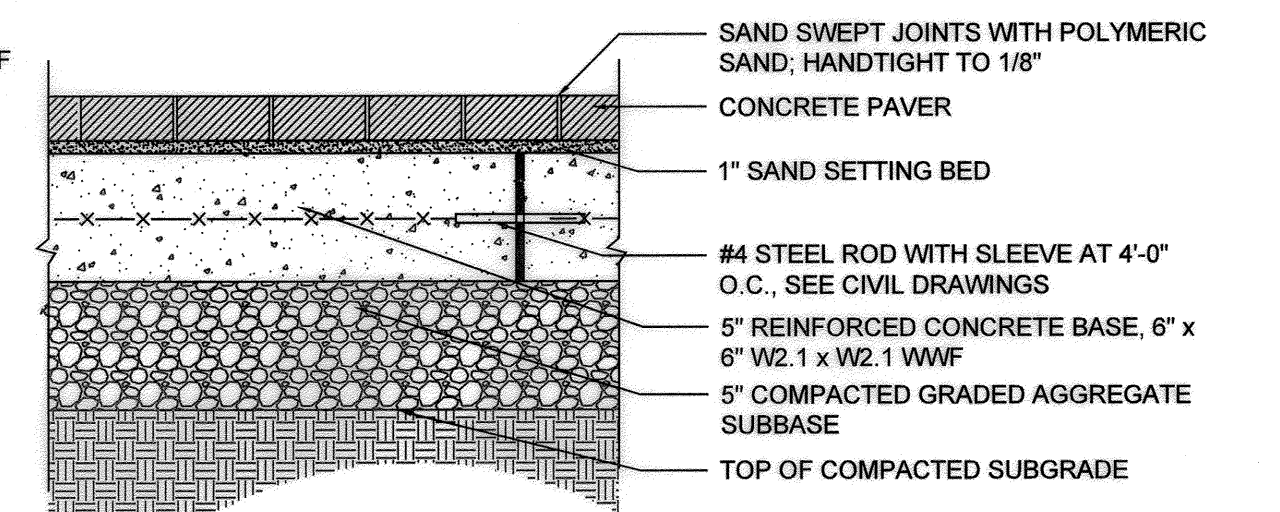


CONTRACTION JOINT @ CONCRETE

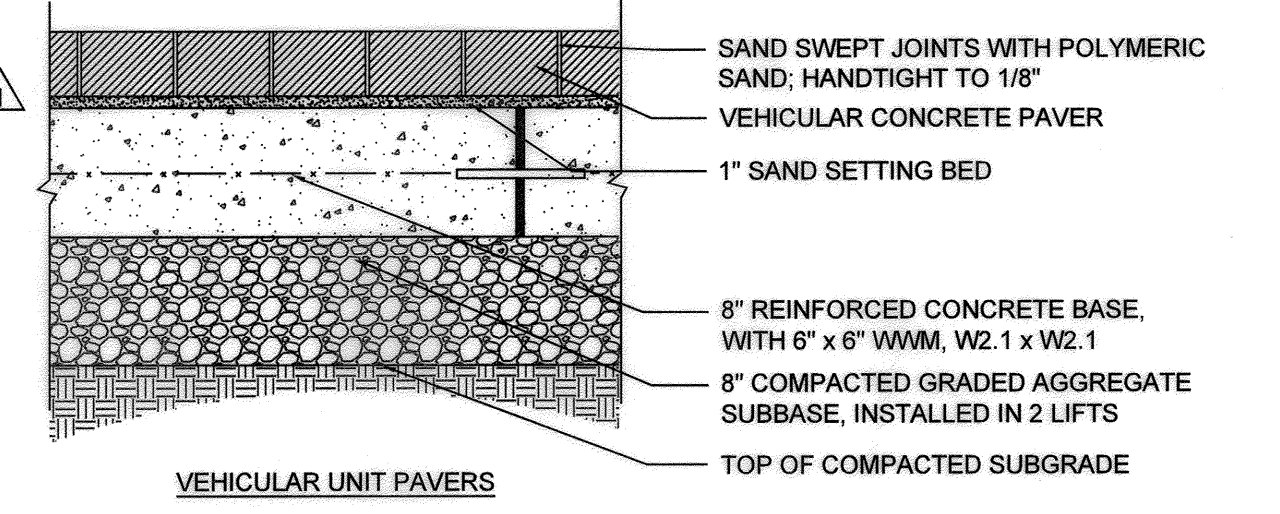


EXPANSION JOINT @ CONCRETE PAVES

- NOTES:
- PROVIDE EXPANSION JOINT IN CONCRETE BASE OF THE UNIT PAVES @ 20' O.C. MAX.
  - EXPANSION JOINT TO GO THROUGH CONCRETE BASE ONLY.
  - GEOTECH ENGINEER TO DETERMINE REINFORCEMENT AND THICKNESS OF CONCRETE BASE IN VEHICULAR CONDITIONS.



PEDESTRIAN UNIT PAVES



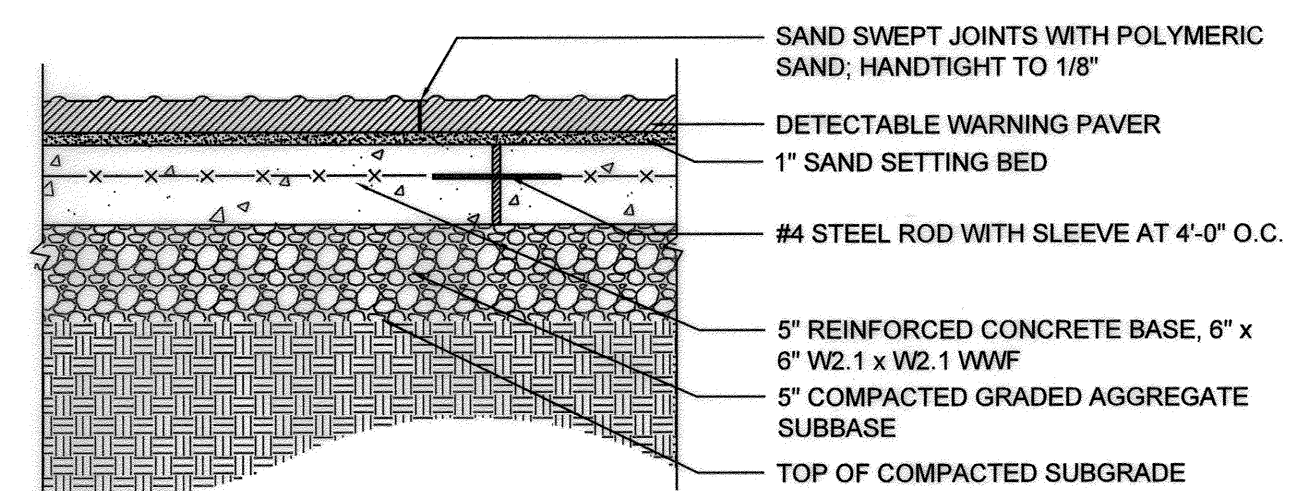
VEHICULAR UNIT PAVES

**1 CONCRETE PAVEMENT**  
1"=1'-0"

**2 EXPANSION JOINT**  
1"=1'-0"

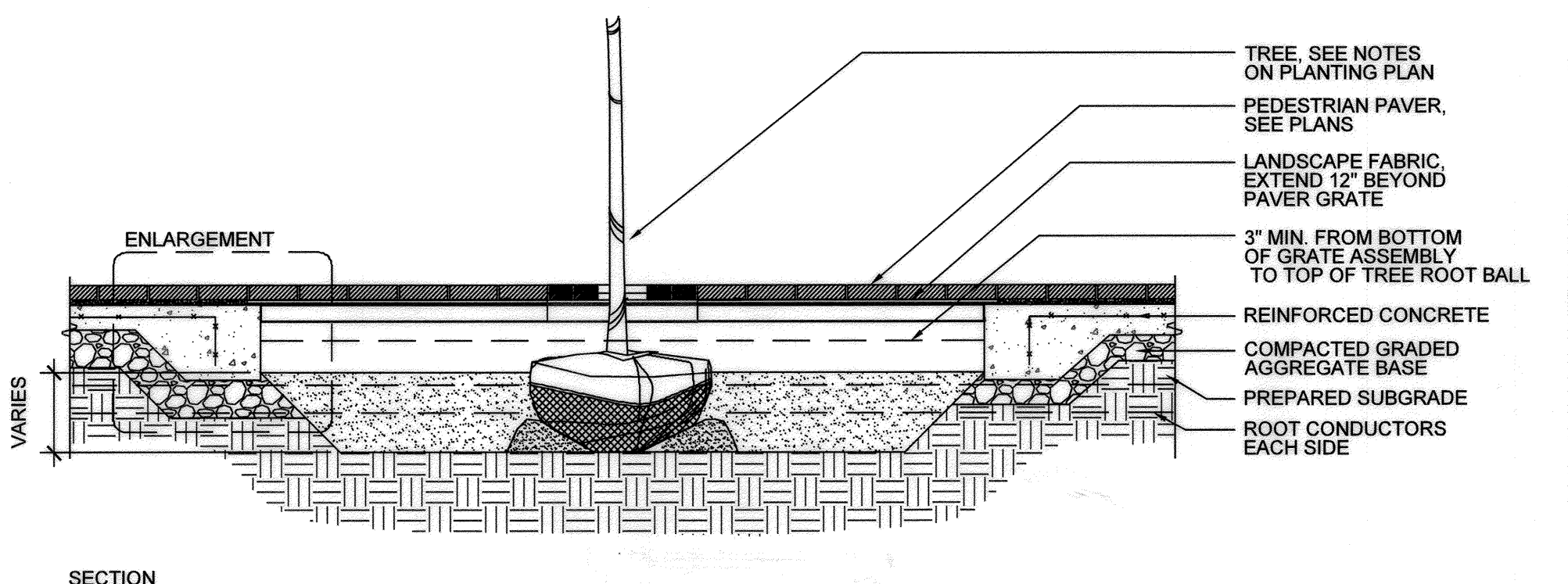
NOT USED

**4 COBBLE STONE PAVES (PEDESTRIAN)**  
1"=1'-0"



- NOTES:
- PROVIDE EXPANSION JOINT IN CONCRETE BASE @ 10' O.C. MAX.
  - EXPANSION JOINT TO GO THROUGH CONCRETE BASE ONLY.

**5 DETECTABLE WARNING PAVES**  
1"=1'-0"



SECTION

ENLARGEMENT  
SCALE 1'-0" = 1"

- NOTES:
- PAVER-GRATE TREE GRATE IS DESIGNED TO SUPPORT PAVES ABOVE THE TREE WELL.
  - SUBFRAME IS FULLY WELDED FROM STEEL ANGLE.
  - GRATING NUMBER IS 3 EXPANDED STEEL STRUCTURAL GRATING.
  - OPENING SIZES SPECIFIED 12" X 12"
  - GRATES ARE DESIGNED FOR HEAVY PEDESTRIAN TRAFFIC STANDARD FINISH GALVANIZED HOT SPRAY ZINC.

**8 TREE PAVES GRATE**  
1/2"=1'-0"

**CERTIFICATION NOTE:**

- I WE CERTIFY THAT THE LANDSCAPING SHOWN ON THIS PLAN WILL BE DONE ACCORDING TO THE PLAN, SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL FOR ALTERNATIVE COMPLIANCE AND THE CRESCENT NEIGHBORHOOD DESIGN GUIDELINES. I WE FURTHER CERTIFY THAT UPON COMPLETION A LETTER OF LANDSCAPE INSTALLATION, ACCOMPANIED BY AN EXECUTED ONE YEAR GUARANTEE OF PLANT MATERIALS, WILL BE SUBMITTED TO THE DEPARTMENT OF PLANNING AND ZONING.

DEVELOPER'S/OWNER'S NAME  
*HRD Corporation*

DEVELOPER'S/OWNER'S NAME  
*RUTH HANCOCK*

**ENVIRONMENTAL DATA SOURCES**

- FLOODPLAIN INFORMATION SHOWN HEREON REFLECTS THE RESULT OF A STUDY PERFORMED BY BIO-HABITATS DATED 06/18/2015.
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**DATA SOURCES:**

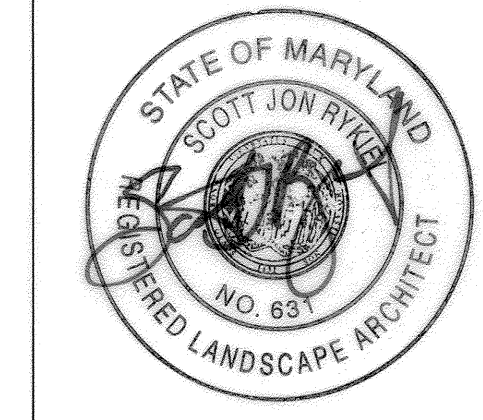
- EXISTING TOPOGRAPHIC INFORMATION SHOWN HEREON REFLECTS THE RESULT OF A TOPOGRAPHIC SURVEY PERFORMED BY DMW INC. ON 8/27/15 & 12/3/15, AERIAL TOPOGRAPHY FLOWN BY MCKENZIE SMYDER, INC. MARCH, 2007 AND FIELD SURVEY BY GLW ON AUGUST, 2011. GRADES AS SHOWN ON F-15-106 AND F-16-107 PREPARED BY GLW, AND MASS GRADING SDR-16-075 BY DMW.
- BOUNDARY AND PARCEL INFORMATION SHOWN HAS BEEN PROVIDED BY GUTSCHICK, LITTLE, AND WEBER, P.A.

**REVISED SITE DEVELOPMENT PLAN**

FILE NUMBERS:  
F-15-106, F-16-107, F-17-059, F-18-017, SDR-16-075, SDR-17-027, WP-17-010, WP-17-049, WP-17-052, WP-17-059, WP-17-115, WP-18-020, WP-18-021, SP-16-009, WP-17-100

CONTRACT NUMBERS:  
24-4931-D, 24-4975-D, 24-4974-D.

**PROFESSIONAL CERTIFICATION**  
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL LANDSCAPE ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 631, EXPIRATION DATE: 09/21/2019.



APPROVED:  
PLANNING BOARD OF HOWARD COUNTY  
DATE: October 17, 2019

Date	No.	Revision Description
5/15/2019	1	TREE PAVES GRATE DETAIL

**DOWNTOWN COLUMBIA  
CRESCENT NEIGHBORHOOD  
PHASE I AREA 3, PHASE 2  
PARCELS D-1, D-7, D-8, D-9,  
D-11, D-12 AND D-13**

OWNER / DEVELOPER:  
THE HOWARD RESEARCH AND DEVELOPMENT CORPORATION  
COLUMBIA REGIONAL OFFICE  
10480 LITTLE PATUXENT PARKWAY SUITE 400  
COLUMBIA, MD 21044  
410-964-8800

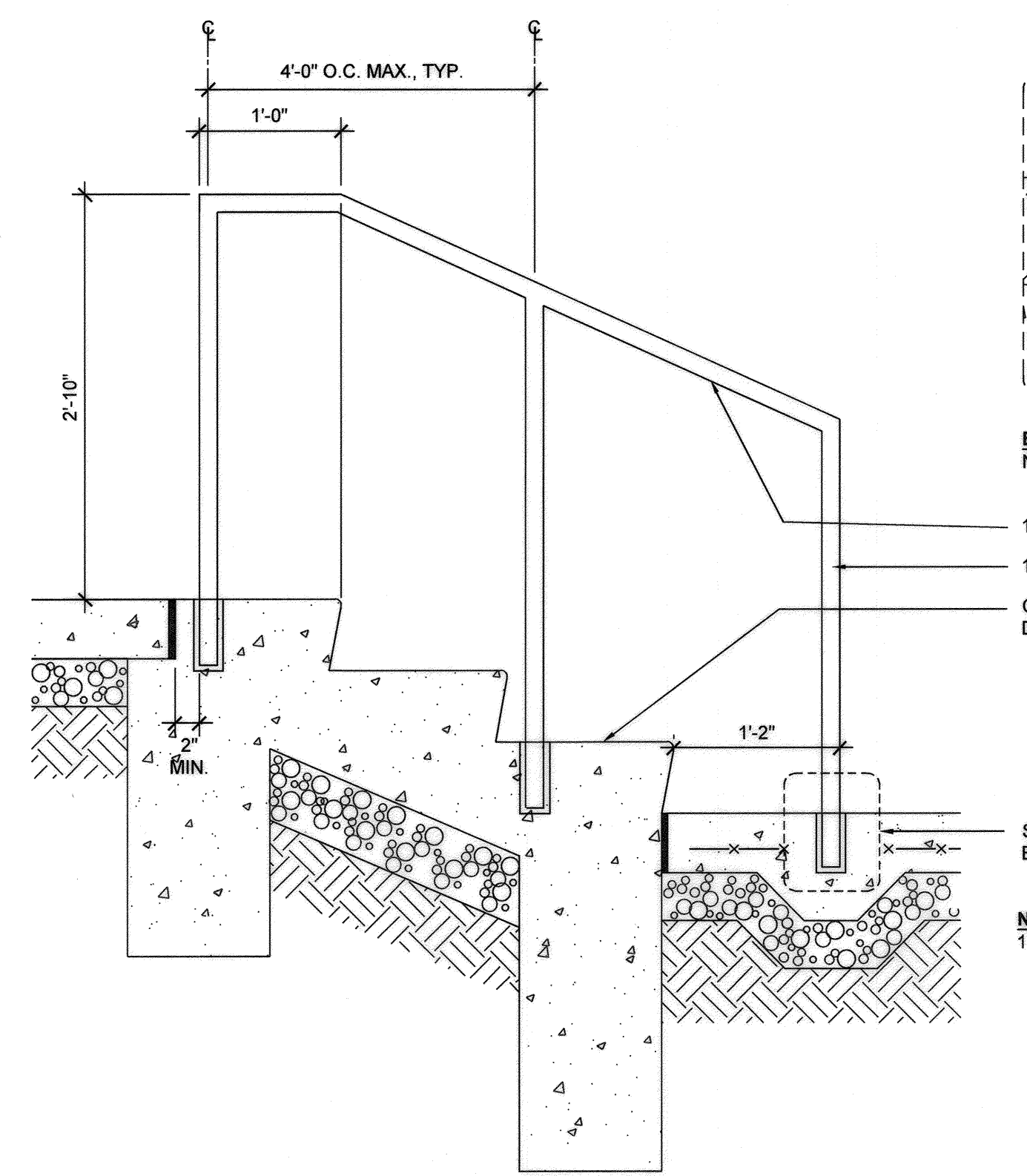
**MAHAN RYKIEL  
ASSOCIATES INC**  
The Steiff Silver Building, 800 Wyman Park Drive,  
Suite 100, Baltimore, MD 21211 410.235.6001

PLAT OR L.P.	BLOCK #	ZONE	TAX ZONE/MAP	ELECT. DISTRICT	CENSUS TRACT	PARCEL #
DOWNTOWN COLUMBIA	7	DMAU	36	5	605602	PARCEL D

TITLE	Des. By	MP	SCALE	AS SHOWN	Proj. No.
L-201 - HARDSCAPE DETAILS	MP	MP	AS SHOWN	AS SHOWN	04038.B0

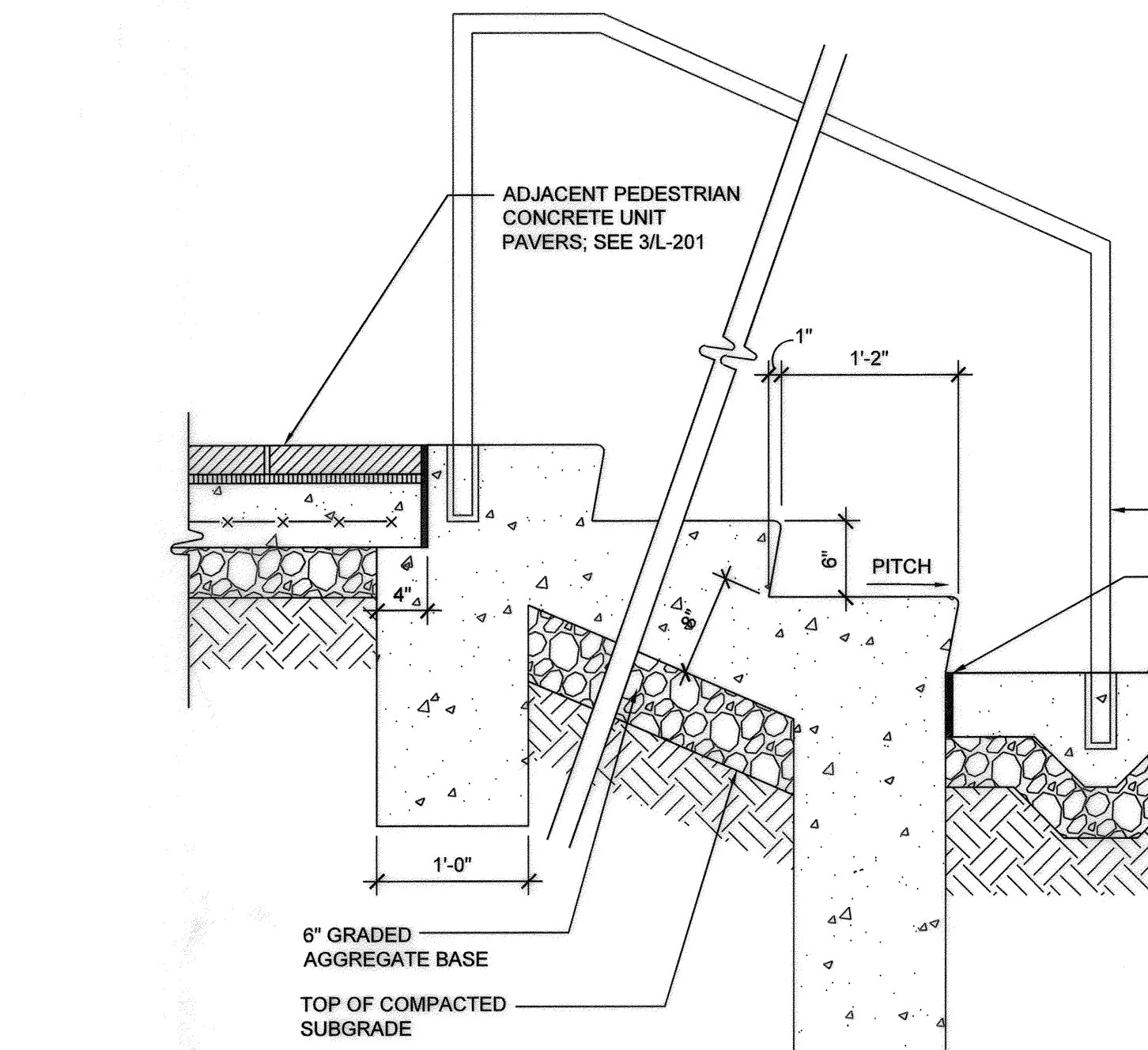
DRN.	By	BB	Date	02/15/19
50	of 78	MP	MP	Approved

SDP-18-005



ENLARGEMENT  
NTS

- NOTE:
- MIDDLE POST REQUIRED ON STAIRS WITH FOUR OR MORE RISERS.



**6 C.I.P. CONCRETE STAIRS**  
1"=1'-0"

- NOTES:
- REFER TO PLANS FOR NUMBER OF RISERS/TREADS.
  - SEE PLANS FOR LOCATION OF HANDRAIL.
  - CONTRACTOR TO PROVIDE SHOP DRAWINGS FOR EACH TYPE OF STAIR PRIOR TO CONSTRUCTION.
  - REFER TO STRUCTURAL DWGS. FOR REINFORCING.

S.S. HANDRAIL SEE DETAIL 2, THIS SHEET  
1/2" EXPANSION JOINT, TYP.  
ADJACENT PAVING, CONDITION VARIES, SEE PLAN

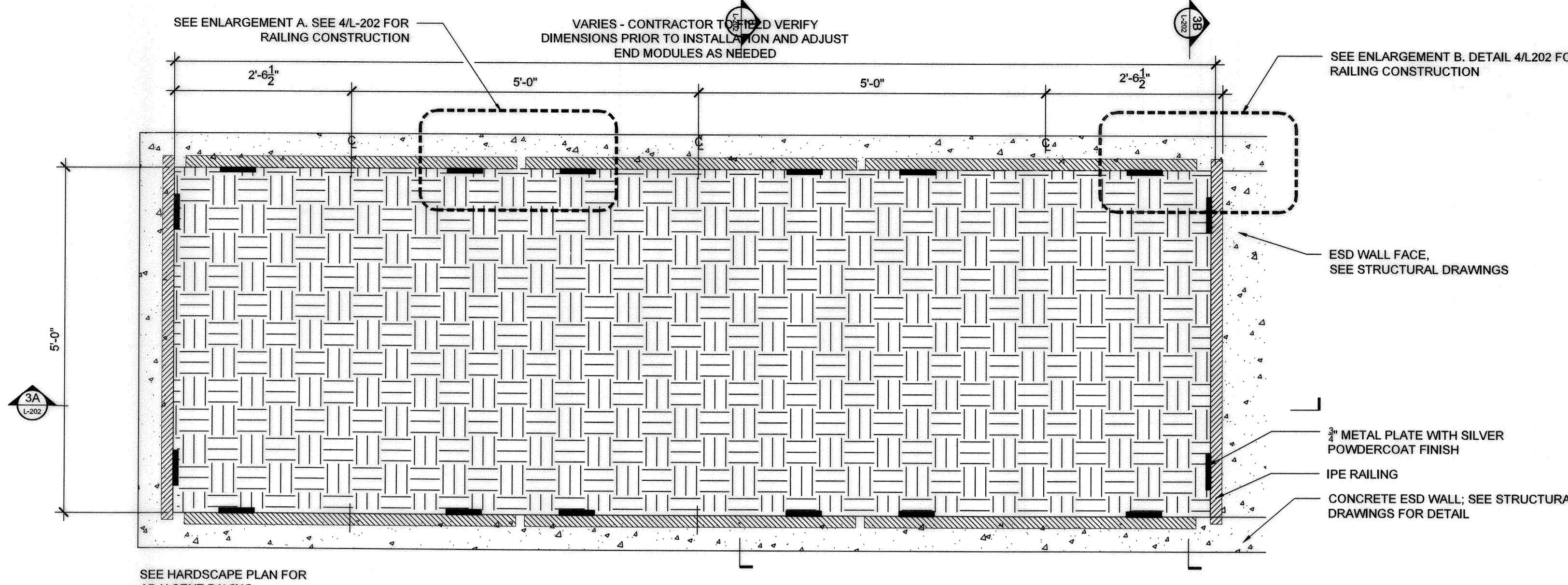
**7 HANDRAIL**  
1"=1'-0"

HOWARD COUNTY DEPT. OF PLANNING & ZONING

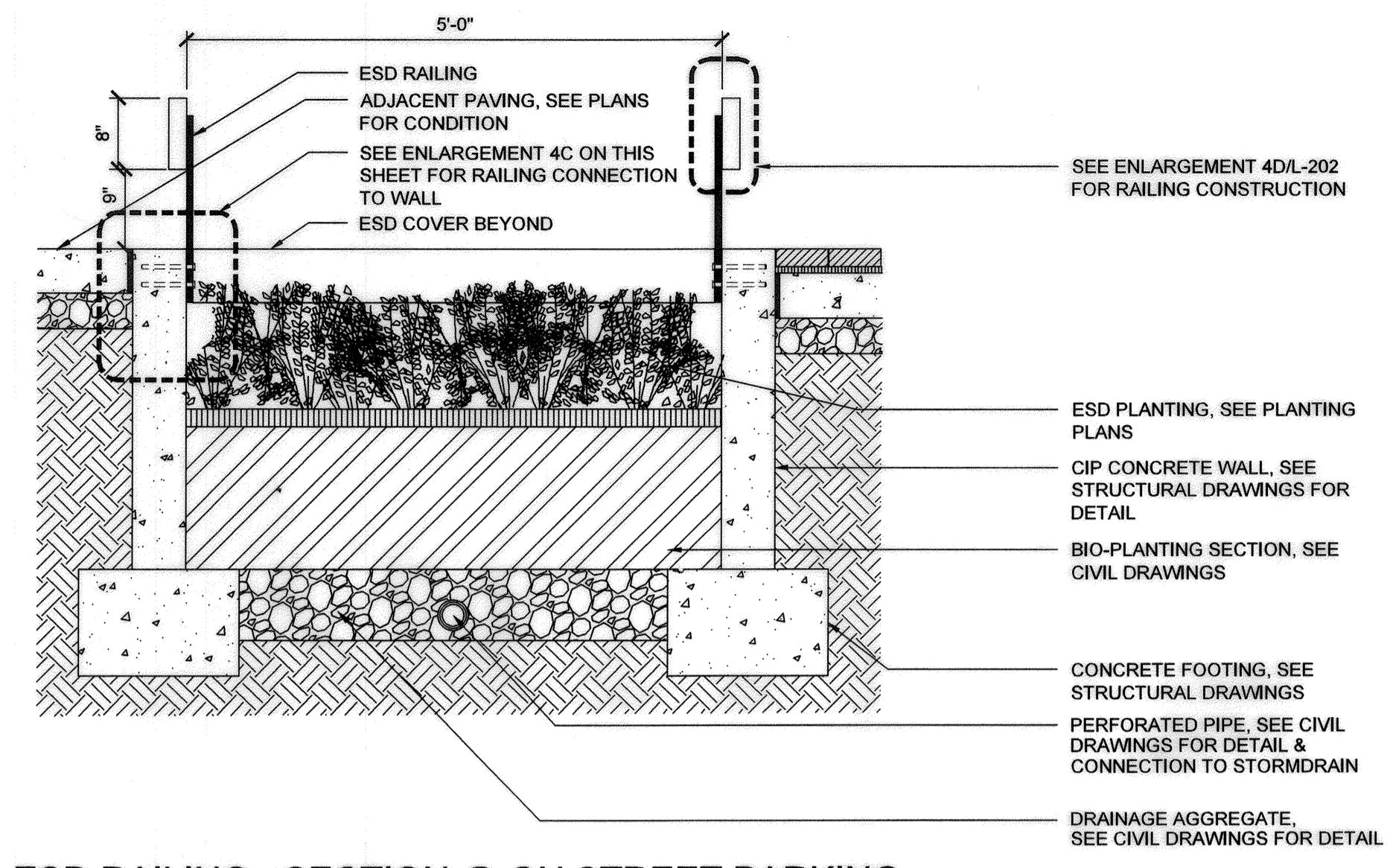
*[Signature]*  
CHIEF, DEVELOPMENT ENGINEERING DIVISION  
DATE: 12-4-19

*[Signature]*  
CHIEF, DIVISION OF LAND DEVELOPMENT  
DATE: 12-11-19

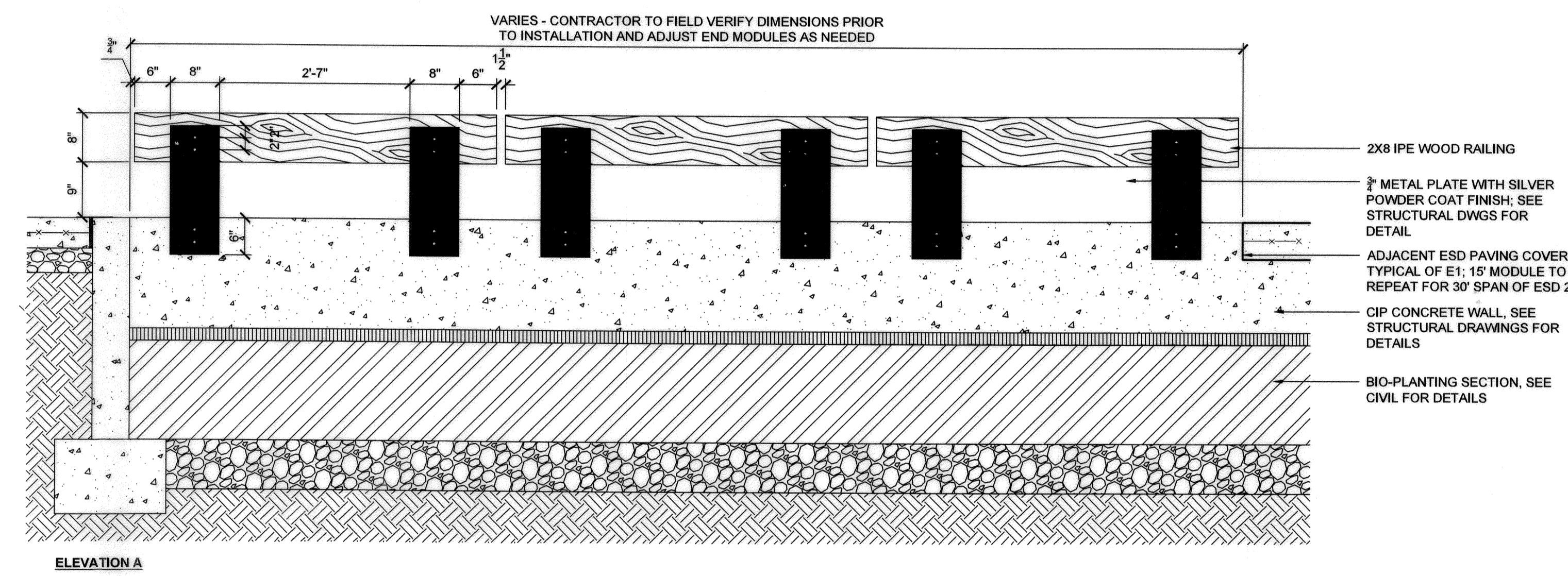
*[Signature]*  
DIRECTOR  
DATE: 12-12-19



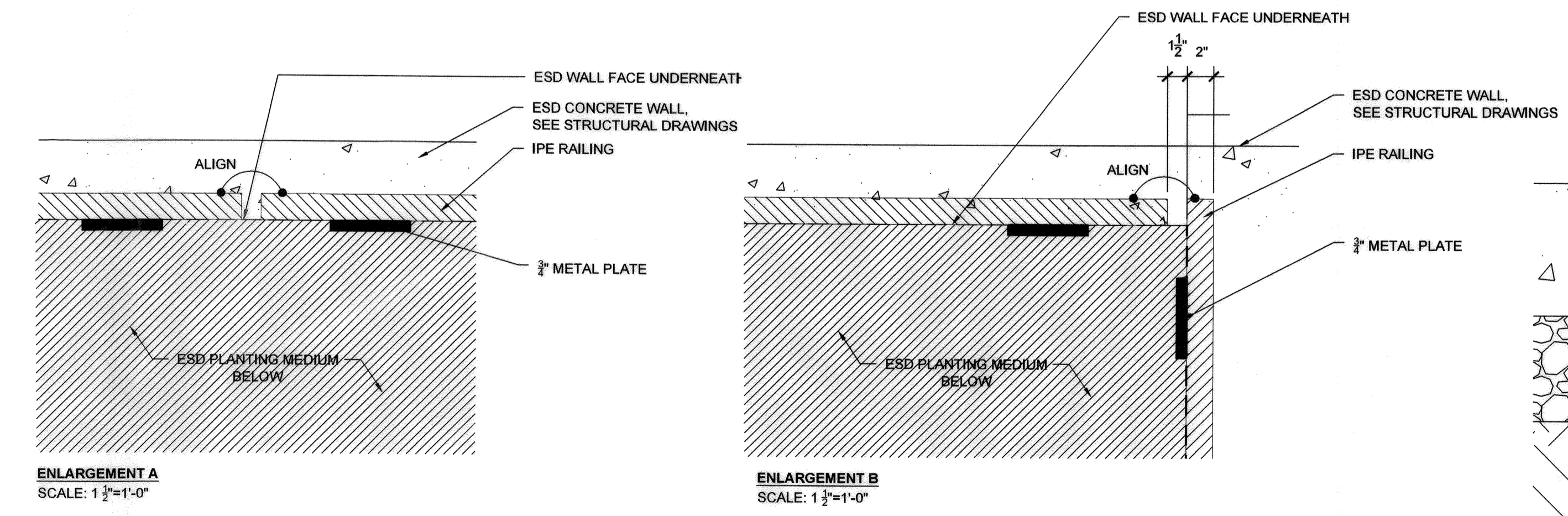
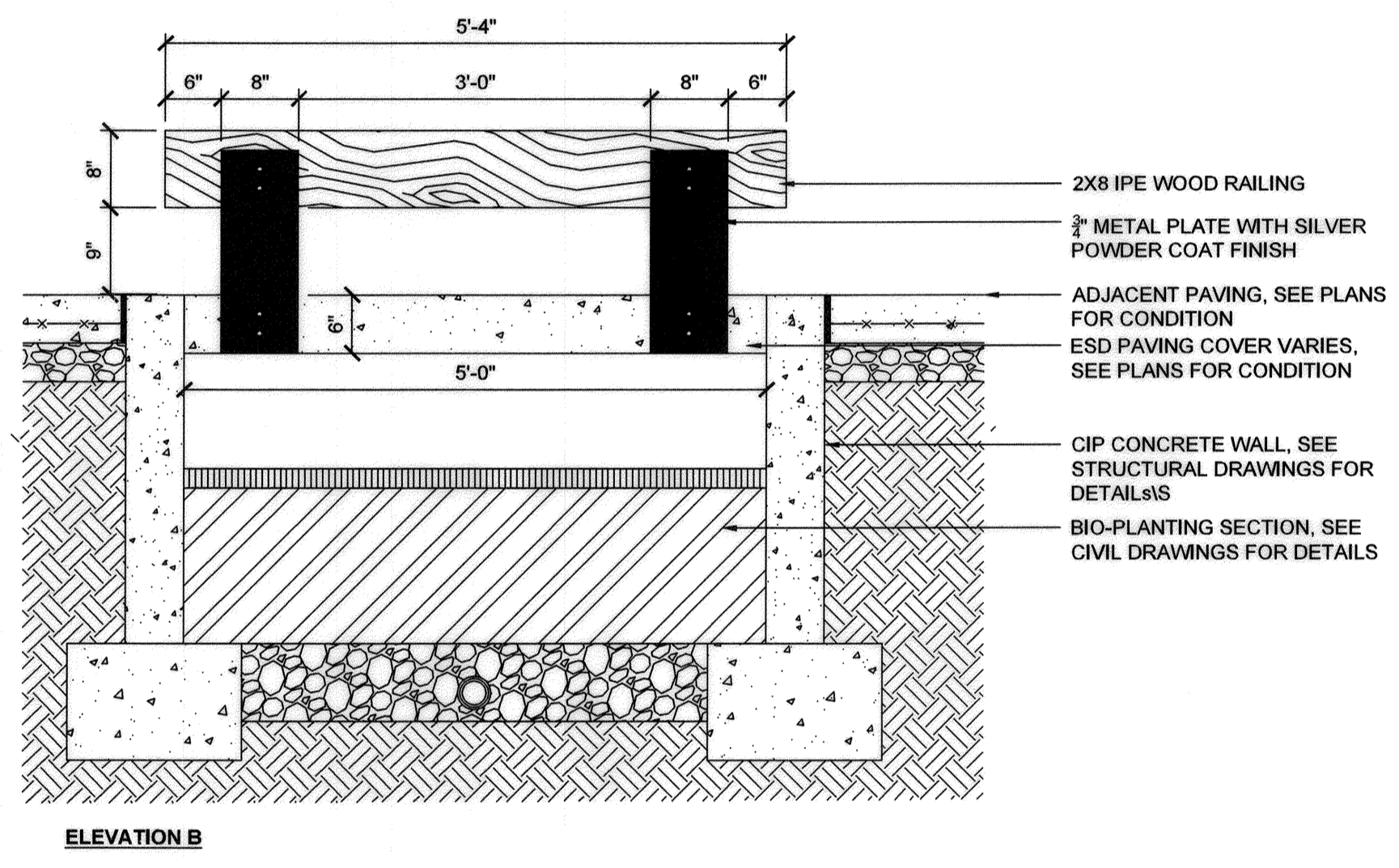
**1 ESD - RAILING LAYOUT PLAN**  
3/4"=1'-0"



**2 ESD RAILING - SECTION @ ON STREET PARKING**  
3/4"=1'-0"



**3 ESD RAILING - ELEVATIONS**  
3/4"=1'-0"



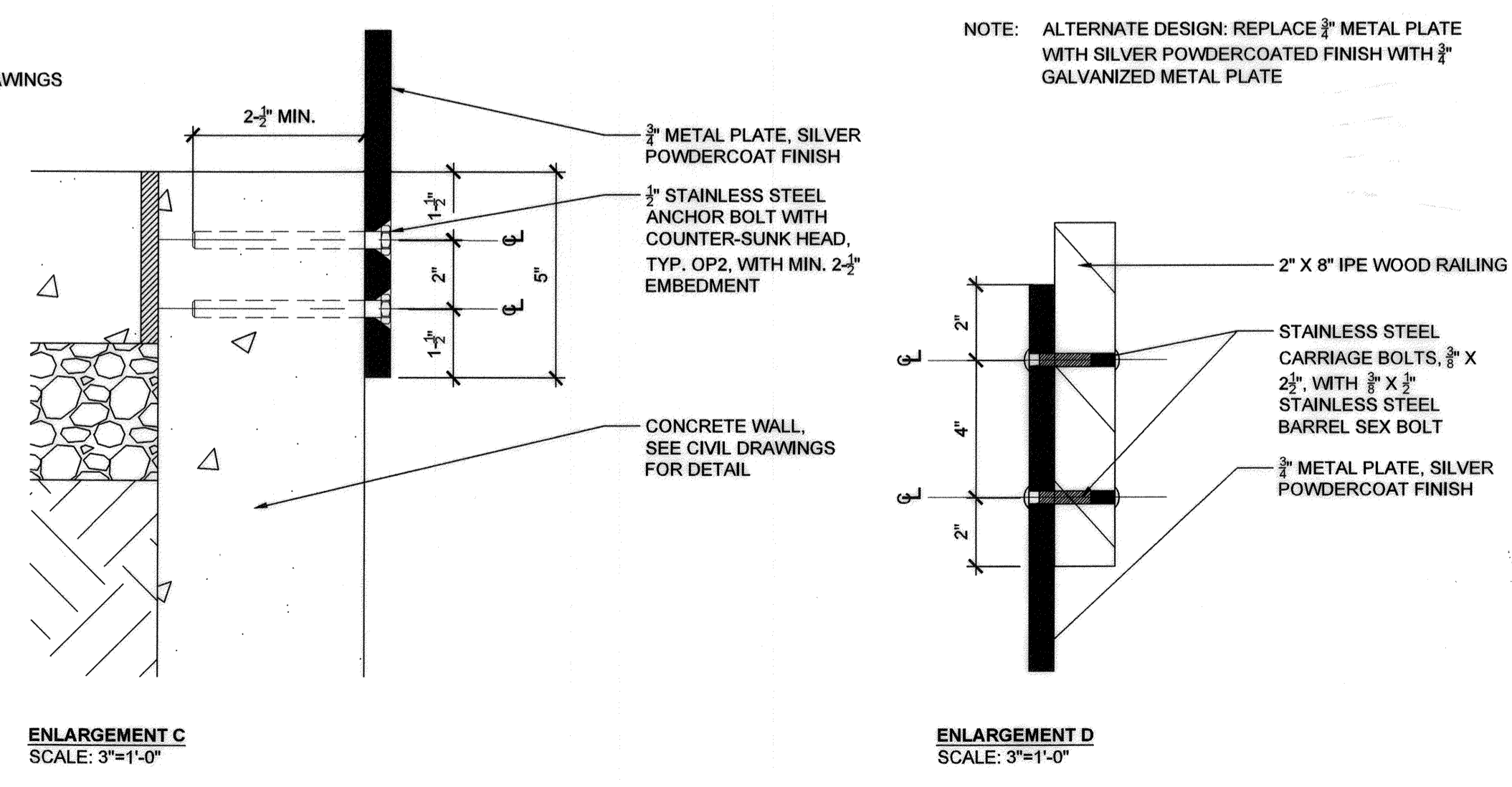
APPROVED: HOWARD COUNTY DEPT. OF PLANNING & ZONING

*[Signature]* 3-20-19  
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

*[Signature]* 4-24-19  
CHIEF, DIVISION OF LAND DEVELOPMENT DATE

*[Signature]* 4-24-19  
DIRECTOR, DIVISION OF LAND DEVELOPMENT DATE

**4 ESD - RAILING ENLARGEMENTS**  
SCALE: AS SHOWN



**FILE NUMBERS:**  
F 15-106, F 16-107, F 17-059, F 18-017, SDP-16-075, SDP-18-005, WP-17-010, WP-17-049, WP-17-052, WP-17-115, WP-18-020, WP-18-021, SP-16-009, WP-16-000/FDP-DC-CRESCENT-1, FDP-DC-CRESCENT-1A, SDP 17-027, F 17-057, F18-017, WP-18-089, WP-18-105.

**CONTRACT NUMBERS:**  
24-4931-D, 24-4975-D, 24-4974-D.

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APPROVED:  
PLANNING BOARD OF HOWARD COUNTY  
DATE: 11/9/18

**CERTIFICATION NOTE:**

1. I/WE CERTIFY THAT THE LANDSCAPING SHOWN ON THIS PLAN WILL BE DONE ACCORDING TO THE PLAN, SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL FOR ALTERNATIVE COMPLIANCE AND THE CRESCENT NEIGHBORHOOD DESIGN GUIDELINES. I/WE FURTHER CERTIFY THAT UPON COMPLETION A LETTER OF LANDSCAPE INSTALLATION, ACCOMPANIED BY AN EXECUTED ONE YEAR GUARANTEE OF PLANT MATERIALS, WILL BE SUBMITTED TO THE DEPARTMENT OF PLANNING AND ZONING.

*[Signature]* 2-18-19  
DEVELOPER'S/OWNER'S NAME

*[Signature]* NP  
DEVELOPER'S/OWNER'S NAME

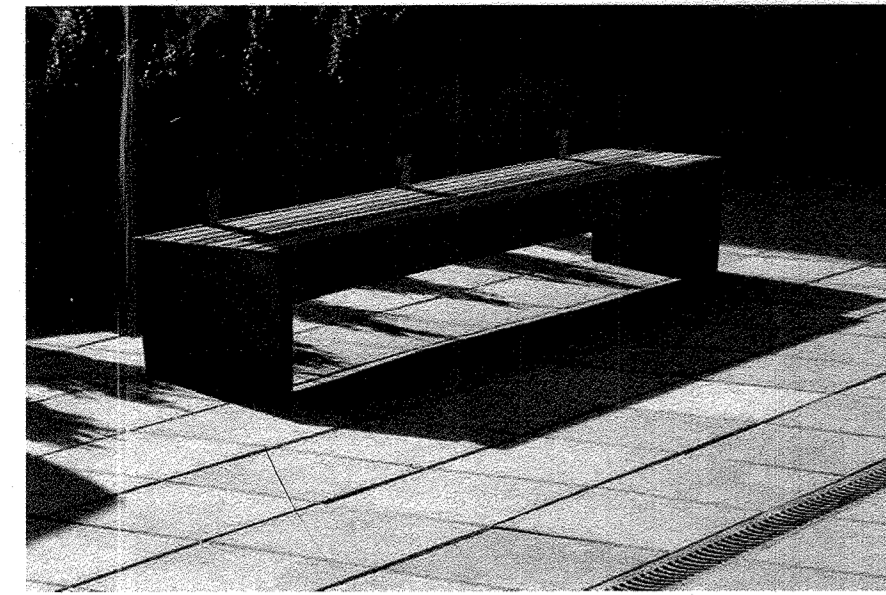
**ENVIRONMENTAL DATA SOURCES**

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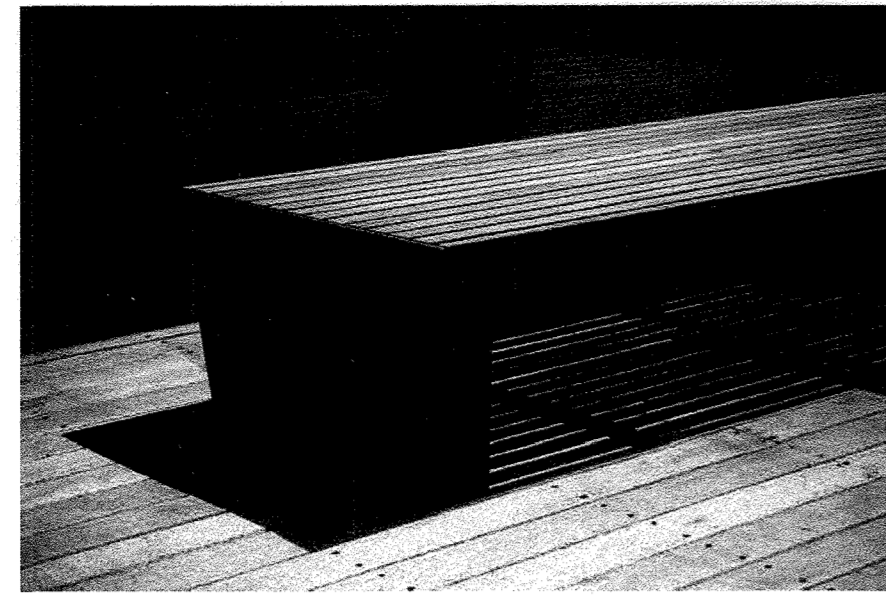
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- BOUNDARY AND PARCEL INFORMATION SHOWN HAS BEEN PROVIDED BY GUTSCHICK, LITTLE, AND WEBER, P.A.

Date	No.	Revision Description
		<b>DOWNTOWN COLUMBIA</b>
		<b>CRESCENT NEIGHBORHOOD</b>
		<b>PHASE I AREA 3, PHASE 2</b>
		PARCELS D-1, D-7, D-8, D-9, D-11, D-12 AND D-13
		MIXED USE GREEN OFFICE, RESIDENTIAL, RETAIL, RESTAURANT BUILDING
		OWNER / DEVELOPER:
		COLUMBIA REGIONAL OFFICE
		10480 LITTLE PATUXENT PARKWAY SUITE 400
		COLUMBIA, MD 21044
		410-964-4800
		<b>MAHAN RYKIEL</b>
		<b>ASSOCIATES INC</b>
		The Stieff Silver Building, 800 Wyman Park Drive,
		Suite 100, Baltimore, MD 21211 410.235.6001
		<b>L-202 - HARDSCAPE DETAILS</b>
Des. By	MP	SCALE AS SHOWN
Drn. By	BB	Date 02/15/19
Proj. No.		04038.B0
Chk. By	MP	Approved --
		51 of 78



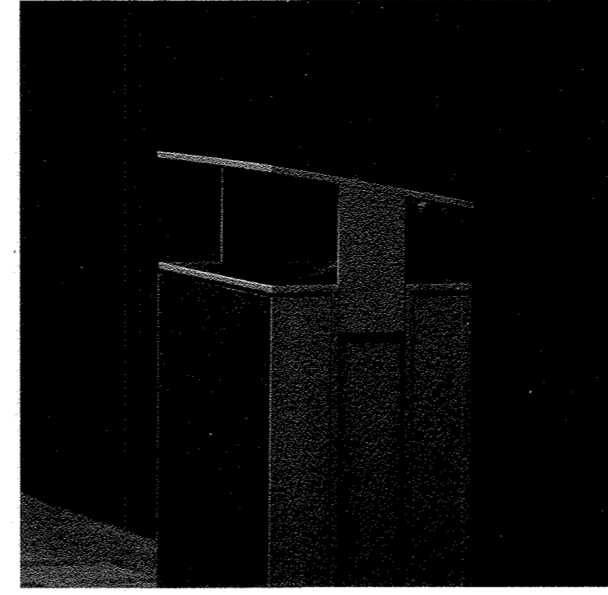
BENCH WITH BACK



BENCH WITHOUT BACK

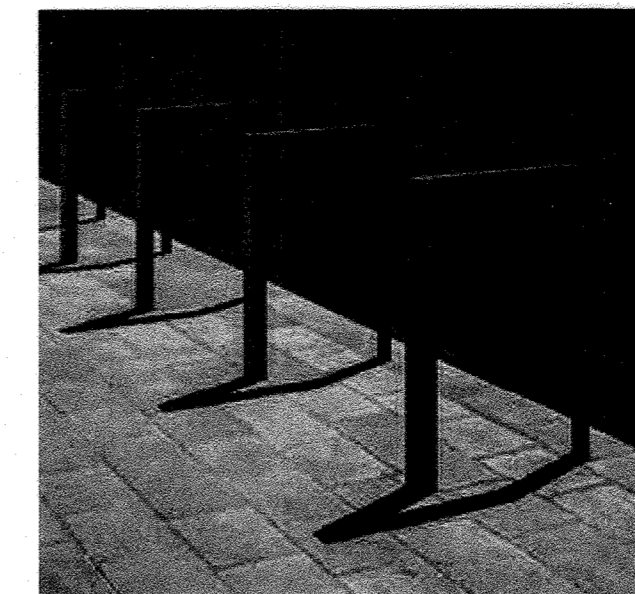
**MMCITÉ**  
 BÍLOVICE 519, 687 12 BÍLOVICE  
 CZECH REPUBLIC  
 PHONE: +420.572.434.292  
 WEB: www.mmcite.com

- MODEL: BLOCC
- COLOR: SILVER
- POWDERCOAT FINISH
- SURFACE MOUNT PER MANUFACTURER SPECIFICATIONS



**FORMS + SURFACES**  
 30 PINE STREET  
 PITTSBURGH, PA 15223  
 PHONE: 800.451.0410  
 FAX: 412.781.7840  
 WEB: www.forms-surfaces.com

- MODEL: APEX
- COLOR: SILVER; FSC
- RECYCLED RECLAIMED TEAK
- POWDERCOAT FINISH
- SURFACE MOUNT PER MANUFACTURER SPECIFICATIONS



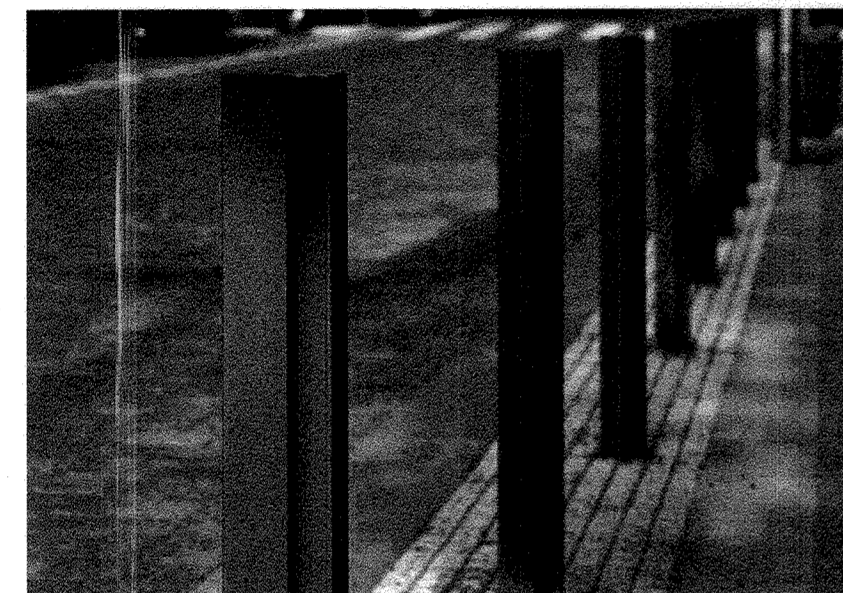
**MMCITÉ**  
 BÍLOVICE 519, 687 12 BÍLOVICE  
 CZECH REPUBLIC  
 PHONE: +420.572.434.292  
 WEB: www.mmcite.com

- MODEL: LOTLIMIT
- COLOR: SILVER
- POWDERCOAT FINISH
- SURFACE MOUNT PER MANUFACTURER SPECIFICATIONS

**1 BENCH**  
 N.T.S.

**2 LITTER/RECYCLING RECEPTACLE**  
 N.T.S.

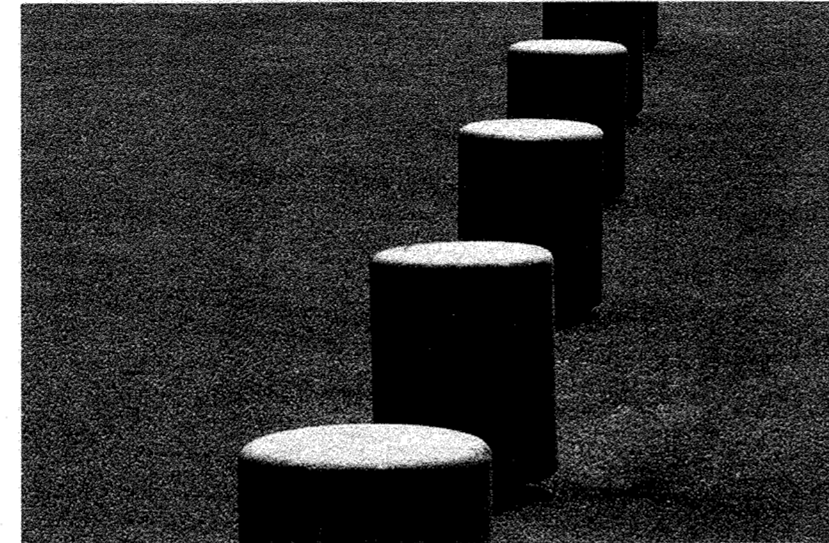
**3 BIKE RACK**  
 N.T.S.



**MMCITÉ**  
 BÍLOVICE 519, 687 12 BÍLOVICE  
 CZECH REPUBLIC  
 PHONE: +420.572.434.292  
 WEB: www.mmcite.com

- BO**
- MODEL: ELIAS SE101
  - COLOR: SILVER
  - POWDERCOAT FINISH
  - INSTALLATION: SURFACE MOUNT PER MANUFACTURER SPECIFICATIONS

- BO**
- MODEL: ELIAS SE150
  - COLOR: SILVER
  - POWDERCOAT FINISH
  - INSTALLATION: REMOVABLE INSTALL PER MANUFACTURER SPECIFICATIONS



**ESCOFET**  
 POLIGNO INDUSTRIAL LA TORRE  
 MONTERRAT 162  
 E 08760 MARTORELL  
 BARCELONA SPAIN  
 PHONE: +00 34 93 773 71 50  
 WEB: https://www.escofet.com/en

- BO**
- MODEL: PUSH
  - COLOR: CA GREY
  - INSTALLATION: PER MANUFACTURER SPECIFICATIONS

**4 BOLLARDS**  
 N.T.S.

**5 BOLLARD**   
 N.T.S.

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*Wm Rowe*  
 DEVELOPER/SOWNER'S NAME

*Wm Rowe JVP*  
 DEVELOPER/SOWNER'S NAME

- ENVIRONMENTAL DATA SOURCES**
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  2. BOUNDARY AND PARCEL INFORMATION SHOWN HAS BEEN PROVIDED BY GUTSCHICK, LITTLE AND WEBER, PA.

**REVISD SITE DEVELOPMENT PLAN**

**FILE NUMBERS:**  
 F 15-106, F 16-107, F 17-059, F-18-017, SDP-16-075, SDP-17-027, WP-17-010, WP-17-049, WP-17-052, WP-17-059, WP-17-115, WP-18-020, WP-18-021, SP-16-009, WP-17-100

**CONTRACT NUMBERS:**  
 24-4937-D, 24-4935-D, 24-4914-D.

**PROFESSIONAL CERTIFICATION**  
 I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL LANDSCAPE ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 631, EXPIRATION DATE: 09/21/2019.

Date	No.	Revision Description
10/30/2020	1	UPDATE PLANS PER REVISED BLDG C LAYOUT & UTILITIES
5/15/2019	1	PLANTING COUNT REVISIONS

**DOWNTOWN COLUMBIA**  
**CRESCENT NEIGHBORHOOD**  
**PHASE I AREA 3, PHASE 2**  
 PARCELS D-1, D-7, D-8, D-9, D-11, D-12 AND D-13

OWNER / DEVELOPER:  
 THE HOWARD RESEARCH AND DEVELOPMENT CORPORATION  
 COLUMBIA REGIONAL OFFICE  
 10480 LITTLE PATUXENT PARKWAY SUITE 400  
 COLUMBIA, MD 21044  
 410-964-4800

**MAHAN RYKIEL ASSOCIATES INC**  
 The Stieff Silver Building, 800 Wyman Park Drive, Suite 100, Baltimore, MD 21211 410.235.6001



APPROVED:  
 PLANNING BOARD OF HOWARD COUNTY  
 DATE: 11/8/18

HOWARD COUNTY DEPT. OF PLANNING & ZONING

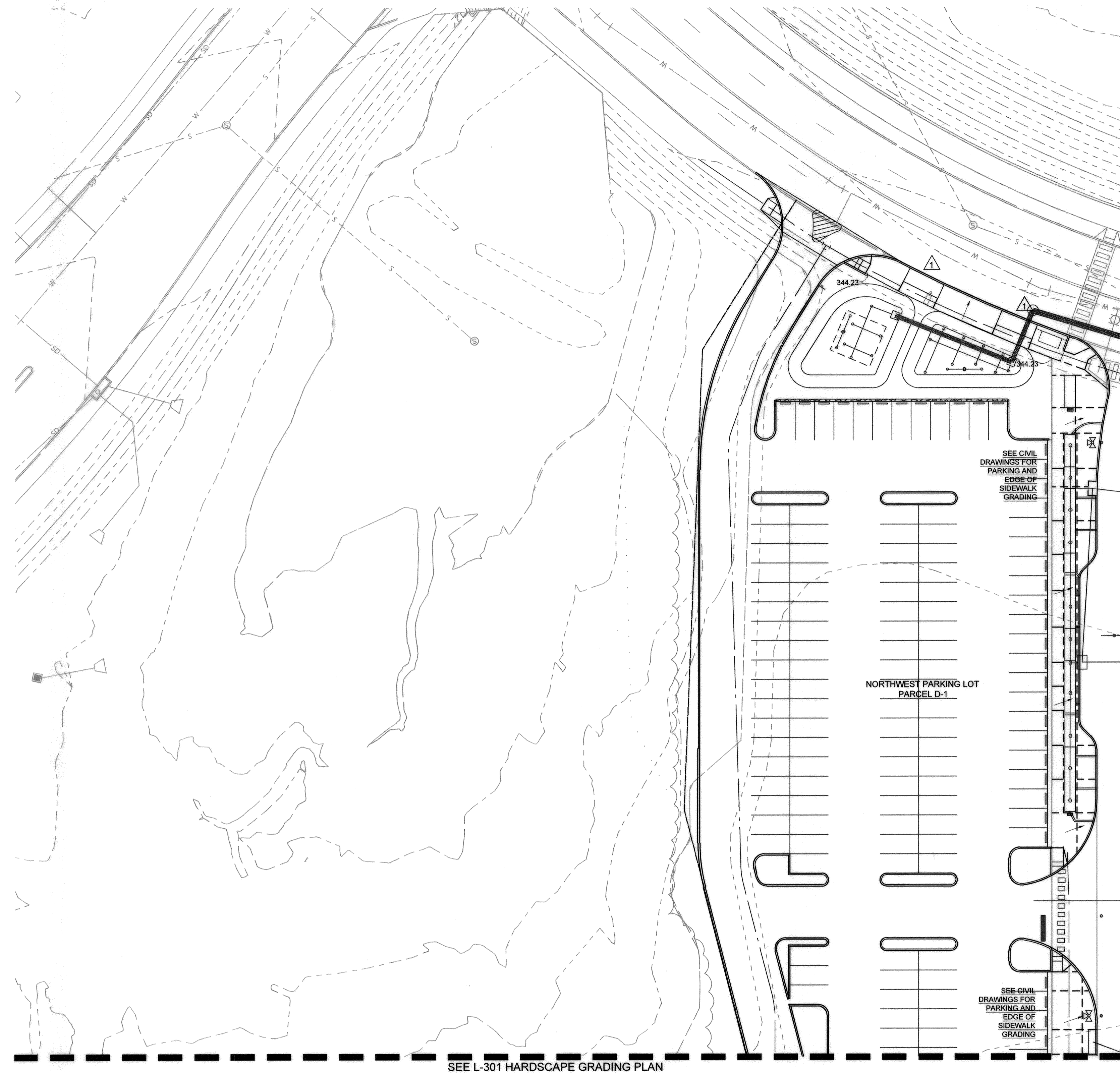
*John E. ...* 11/10/22  
 CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

*...* 12/6/22  
 CHIEF, DIVISION OF LAND DEVELOPMENT DATE

*...* 12/6/22  
 DIRECTOR DATE

Date	No.	Revision Description
7/6/2022	1	SERVICE RAMP, PLANTING AREA, SITE FURNISHING, & SITE WALL UPDATES

Des. By	MP	SCALE	AS SHOWN	Proj. No.	04038.B0
Drn. By	BB	Date	02/15/19	52 of 78	
Chk. By	MP	Approved			



**SHEET NOTES:**

1. SEE CIVIL DRAWINGS FOR ALL GRADING IN VEHICULAR AREAS
2. GRADING ALONG MERRIWEATHER DRIVE AND SYMPHONY WOODS ROAD ARE PER F-15-106 AND F-16-107.

**GENERAL LANDSCAPE NOTES:**

1. BUILDING ENTRANCES ARE SHOWN FOR REFERENCE ONLY. BUILDING ENTRANCE LOCATIONS MAY BE ADJUSTED BASED ON TENANT NEEDS WITH FINAL REVIEW AT TIME OF PERMIT.
2. REFER TO SHEETS L-400 TO L-410 FOR PROPOSED PLANTINGS.
3. UTILITY EASEMENTS ARE SHOWN ON PLANTING PLANS FOR REFERENCE ONLY. REFER TO CIVIL SHEETS FOR ADDITIONAL INFORMATION REGARDING UTILITY EASEMENT SIZES & LOCATIONS.

**CERTIFICATION NOTE:**

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DEVELOPER'S/OWNER'S NAME  
*HRD Development Corporation*

DEVELOPER'S/OWNER'S NAME  
*RUTH HDANEK*

**ENVIRONMENTAL DATA SOURCES**

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**REVISD SITE DEVELOPMENT PLAN**

**FILE NUMBERS:**  
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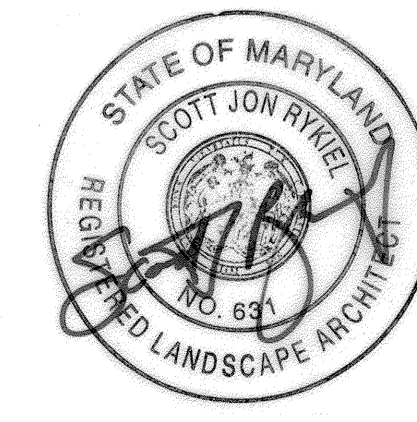
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Date	No.	Revision Description
5/15/2019	1	HARDSCAPE REVISIONS

**DOWNTOWN COLUMBIA**  
**CRESCENT NEIGHBORHOOD**  
**PHASE I AREA 3, PHASE 2**  
 PARCELS D-1, D-7, D-8, D-9, D-11, D-12 AND D-13

**OWNER / DEVELOPER:**  
 THE HOWARD RESEARCH AND DEVELOPMENT CORPORATION  
 COLUMBIA REGIONAL OFFICE  
 10480 LITTLE PATUXENT PARKWAY SUITE 400  
 COLUMBIA, MD 21044  
 410-964-8800

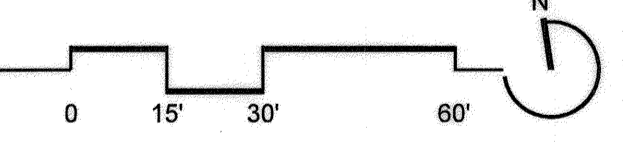
**MAHAN RYKIEL ASSOCIATES INC**  
 The Stieff Silver Building, 800 Wyman Park Drive, Suite 100, Baltimore, MD 21211 410.235.8001



APPROVED:  
 PLANNING BOARD OF HOWARD COUNTY  
 DATE: *October 17, 2019*

SECTION NAME	SECTION AREA	LOT/PARCEL #
DOWNTOWN COLUMBIA	CRESCENT NEIGHBORHOOD	PARCEL D
PLAT OR LTR	BLOCK #	TAX ZONE/MAP
7	96	5
WATER CODE	SEWER CODE	CENSUS TRACT
550	LITTLE PATUXENT	605602
TITLE		
L-301 - HARDSCAPE GRADING PLAN		
Des. By	MP	SCALE AS SHOWN
Drn. By	BB	Date 02/15/19
Chk. By	MP	Approved
		Proj. No. 04038.B0
		53 of 78

**1 HARDSCAPE GRADING PLAN**  
 1"=30'



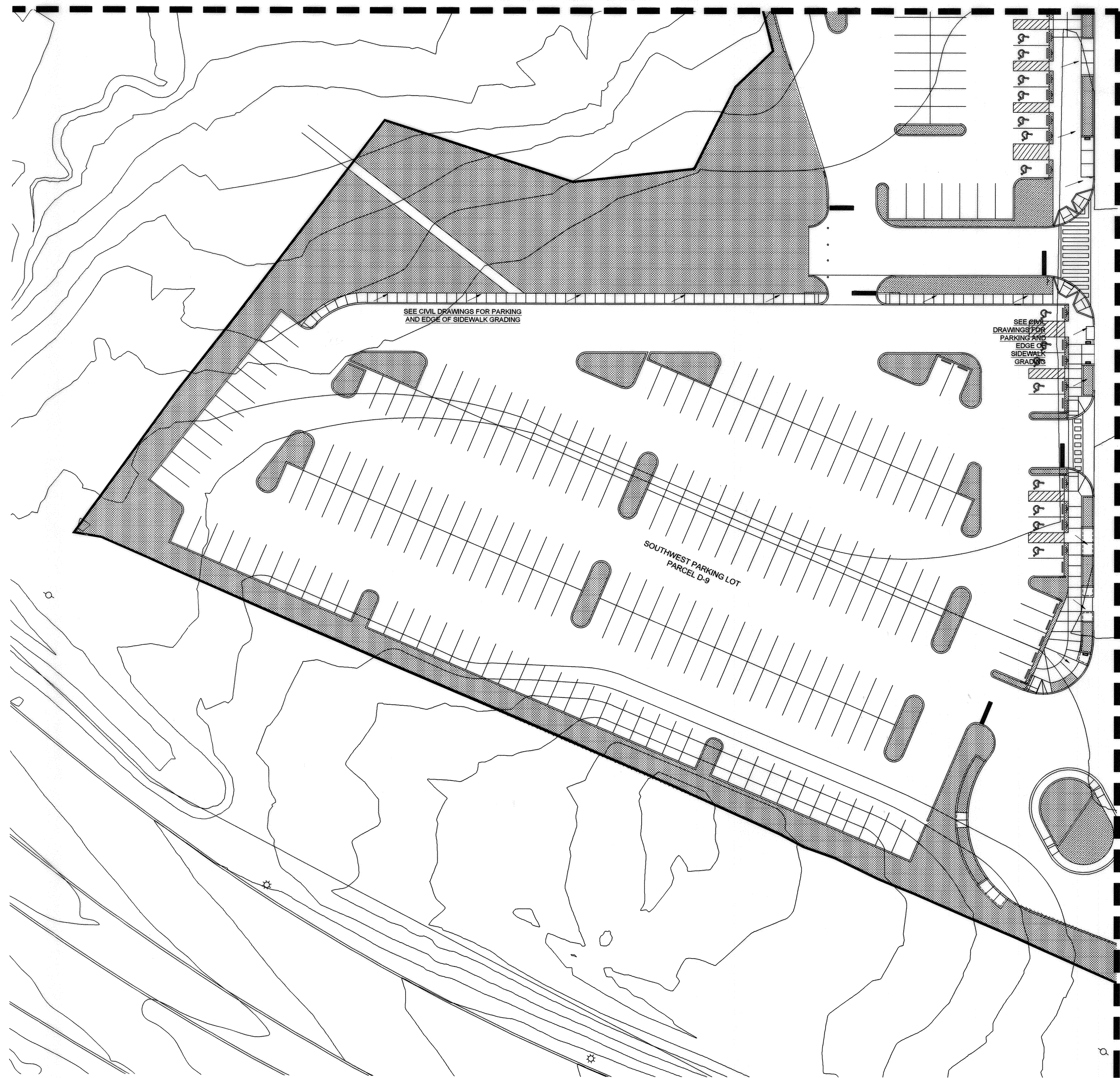
HOWARD COUNTY DEPT. OF PLANNING & ZONING

*Al Chander* 12-4-19  
 CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

*L. Man* 12-11-19  
 CHIEF, DIVISION OF LAND DEVELOPMENT DATE

*efr Br* 12-12-19  
 DIRECTOR DATE

SEE L-301 - HARDSCAPE GRADING PLAN



SEE L-303 - HARDSCAPE GRADING PLAN

**GENERAL LANDSCAPE NOTES:**

- BUILDING ENTRANCES ARE SHOWN FOR REFERENCE ONLY. BUILDING ENTRANCE LOCATIONS MAY BE ADJUSTED BASED ON TENANT NEEDS WITH FINAL REVIEW AT TIME OF PERMIT.
- REFER TO SHEETS L-400 TO L-410 FOR PROPOSED PLANTINGS.
- UTILITY EASEMENTS ARE SHOWN ON PLANTING PLANS FOR REFERENCE ONLY. REFER TO CIVIL SHEETS FOR ADDITIONAL INFORMATION REGARDING UTILITY EASEMENT SIZES & LOCATIONS.

**CERTIFICATION NOTE:**

- I, WME CERTIFY THAT THE LANDSCAPING SHOWN ON THIS PLAN WILL BE DONE ACCORDING TO THE PLAN, SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL FOR ALTERNATIVE COMPLIANCE AND THE CRESCENT NEIGHBORHOOD DESIGN GUIDELINES. I, WME FURTHER CERTIFY THAT UPON COMPLETION A LETTER OF LANDSCAPE INSTALLATION, ACCOMPANIED BY AN EXECUTED ONE YEAR GUARANTEE OF PLANT MATERIALS, WILL BE SUBMITTED TO THE DEPARTMENT OF PLANNING AND ZONING.

*Wm T. Rowe* 2.12.19  
 DEVELOPER'S/OWNER'S NAME  
*Wm T. Rowe* 2/19  
 DEVELOPER'S/OWNER'S NAME

**ENVIRONMENTAL DATA SOURCES**

- FLOODPLAIN INFORMATION SHOWN HEREON REFLECTS THE RESULT OF A STUDY PERFORMED BY BIO-HABITATS DATED 06/18/2015.
- WETLANDS AND ASSOCIATED ENVIRONMENTAL INFORMATION SHOWN HEREON REFLECT THE RESULT OF AN INVESTIGATION PERFORMED BY DMW DATED MARCH 2015.
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- DECLARATION OF RESTRICTIVE COVENANT AREAS: ARMY CORPS OF ENGINEERS PERMIT NUMBER 2014-61065, SPECIAL CONDITION #14 REQUIRES THAT ANY WETLAND MITIGATION AREAS BE PROTECTED IN PERPETUITY BY A DECLARATION OF RESTRICTIVE COVENANTS TO BE RECORDED BY JULY 1, 2016. THIS DOCUMENT PROHIBITS ANY DISTURBANCE WITHIN THIS AREA INCLUDED BUT NOT LIMITED TO NEW DEVELOPMENT, INSTALLATION OF UTILITIES, GRADING, REMOVAL OF VEGETATION, ETC. THE MARYLAND DEPARTMENT OF THE ENVIRONMENT AND THE ARMY CORPS OF ENGINEERS HAVE PLACED THESE RESTRICTIVE COVENANTS ON THE AREA TO PROTECT WATER QUALITY, ENVIRONMENTAL RESOURCES AND THE MITIGATION AREA REQUIRED TO OFF-SET IMPACTS TO WETLANDS, STREAMS AND FLOODPLAINS PROPOSED BY THIS DEVELOPMENT.

**DATA SOURCES:**

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- BOUNDARY AND PARCEL INFORMATION SHOWN HAS BEEN PROVIDED BY GUTSCHICK, LITTLE, AND WEBER, P.A.

**FILE NUMBERS:**  
 F-15-106, F-16-107, F-17-059, F-18-017, SDP-16-075, SDP-18-005, WP-17-010, WP-17-049, WP-17-052, WP-17-115, WP-18-020, WP-18-021, SP-16-009, WP-16-100, FDP-DC-CRESCENT-1, FDP-DC-CRESCENT-1A, SDP-17-027, F-17-057, F18-017, WP-18-089, WP-18-105.  
**CONTRACT NUMBERS:**  
 24-4951-D, 24-4975-D, 24-4974-D.

**PROFESSIONAL CERTIFICATION**  
 I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 631, EXPIRATION DATE: 09/21/19.



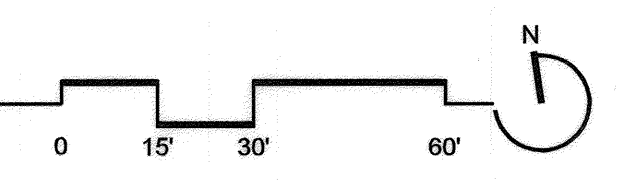
APPROVED:  
 PLANNING BOARD OF HOWARD COUNTY  
 DATE: 11/8/19

Date	No.	Revision Description
		<b>DOWNTOWN COLUMBIA</b> <b>CRESCENT NEIGHBORHOOD</b> <b>PHASE I AREA 3, PHASE 2</b> <b>PARCELS D-1, D-7, D-8, D-9,</b> <b>D-11, D-12 AND D-13</b> MIXED USE GREEN OFFICE, RESIDENTIAL, RETAIL, RESTAURANT BUILDING OWNER / DEVELOPER: THE HOWARD RESEARCH AND DEVELOPMENT CORPORATION COLUMBIA REGIONAL OFFICE 10480 LITTLE PATUXENT PARKWAY SUITE 400 COLUMBIA, MD 21044 410-964-1800

**MAHAN RYKIEL ASSOCIATES INC**  
 The Stieff Silver Building, 800 Wyman Park Drive, Suite 100, Baltimore, MD 21211 410.235.6001

SUBDIVISION NAME	DOWNTOWN COLUMBIA	SECTION/AREA	CRESCENT NEIGHBORHOOD	LOT/PARCEL #	PARCEL D
PLAT OR LOT	7	TAX ZONE/MAP	36	CENSUS TRACT	605602
WATER CODE	550	SEWER CODE	LITTLE PATUXENT	STAGE	1
TITLE <b>L-302 - HARDSCAPE GRADING PLAN</b>					
Des. By	MP	SCALE	AS SHOWN	Proj. No.	04038.B0
Drn. By	BB	Date	02/15/19		
Chk. By	MP	Approved			54 of 78

**1 HARDSCAPE GRADING PLAN**  
 1"=30'



APPROVED: HOWARD COUNTY DEPT. OF PLANNING & ZONING  
*[Signature]* 3-20-19  
 CHIEF, DEVELOPMENT ENGINEERING DIVISION  
*[Signature]* 4-24-19  
 CHIEF, DIVISION OF LAND DEVELOPMENT  
*[Signature]* 4-24-19  
 DIRECTOR, DIVISION OF LAND DEVELOPMENT

**SHEET NOTES:**

- SEE CIVIL DRAWINGS FOR ALL GRADING IN VEHICULAR AREAS
- GRADING ALONG MERRIWEATHER DRIVE AND SYMPHONY WOODS ROAD ARE PER F-15-106 AND F-16-107.



PLANT SCHEDULE

KEY	BOTANICAL/COMMON NAME				
TREES					
6	AR Acer rubrum 'October Glory' October Glory Red Maple	3.5" Cal.	B&B	North American Native Central Leader, Full Canopy	
8	GB Ginkgo biloba 'Princeton Sentry' Princeton Sentry Ginkgo	3.5" Cal.	B&B	Central Leader, Full Canopy	
20	QP Quercus phellos 'Hightower' Hightower Willow Oak	3.5" Cal.	B&B	North American Native Central Leader, Full Canopy	
38	TT Tilia tomentosa 'Sterling' Silver Linden	3.5" Cal.	B&B	Central Leader Full Canopy, Matched	
3	UA Ulmus americana 'Jefferson' 'Bosque' Jefferson American Elm	3.5" Cal.	B&B	Central Leader, Full Canopy	
3	UP Ulmus parviflora 'Bosque' Bosque Elm	3.5" Cal.	B&B	Central Leader, Full Canopy	
ORNAMENTAL TREES					
9	CK Cladrastis kentuckea 'Perkins Pink' Perkins Pink Yellowwood	3" Cal.	B&B	North American Native Specimen, Full Canopy	
3	IN Ilex x 'Nellie R. Stevens' Nellie Stevens Holly	8' Ht.	B&B	Full, Heavy Matched, (1) Male	
8	MV Magnolia virginiana Sweetbay Magnolia	10' Ht.	B&B	North American Native Multi-stem, 3-5 canes, Matched	
SHRUBS					
41	AZ Azalea 'Delaware Valley White' Delaware Valley White Azalea	#5	Cont.	21" Spd. Full, Matched	
64	CA Ceanothus americanus New Jersey Tea	#3	Cont.	North American Native 24" Spd.	
88	IC Ilex crenata 'Chesapeake' Chesapeake Japanese Holly	4' Ht.	Cont.	Full, Matched	
155	IG Ilex glabra 'Chamzin' Nordic Inkberry	#5	Cont.	North American Native	
199	IV Ilex verticillata 'Red Sprite' / Red Sprite Winterberry	#3	Cont.	North American Native 24" HT.	
79	JC Juniperus conferta 'Blue Pacific' Blue Pacific Juniper	#3	Cont.	12" Spd. 18" O.C.	
210	JH Juniperus horizontalis 'Plumosa Compacta' Andorra Juniper	#5	Cont.	18" Spd. 24" O.C.	
14	MC Myrica cerifera 'Don's Dwarf' Dwarf Wax Myrtle	#7	Cont.	North American Native 30" Spd., Full, Matched	
67	PL Prunus laurocerasus 'Otto Luyken' Cherry Laurel	30" Spd.	B&B	Full, Matched	
169	RA Rhus aromatica 'Gro Low' Gro Low Fragrant Sumac	#3	Cont.	North American Native	
202	TD Taxus x media 'Densiflora' Densiflora Yew	24" Spd.	B&B	Full, Matched	
72	VD Viburnum dentatum 'Blue Muffin' Arrowwood Viburnum	36" Spd.	B&B	North American Native Full, Matched	
SEASONAL ROTATION (SPRING / FALL)					
38	AMS Amsonia hubrichtii Threadleaf Bluestar	#1	Cont.	North American Native 24" O.C.	
165	ASC Asclepias tuberosa Butterfly Weed	SP#4	Cont.	North American Native 18" O.C.	
169	DES Deschampsia flexuosa Wavy Hair Grass	#1	Cont.	North American Native	
273	ECH Echinacea purpurea Purple Coneflower	#1	Cont.	North American Native 18" O.C.	
245	EUP Eutrochium dubium 'Little Joe' Joe Fye Weed	#1	Cont.	North American Native 18" O.C.	
40	EUR Euphorbia amygdaloides var. robbiae Wood Spurge	#1	Cont.	18" O.C.	
70	HEA Heuchera villosa 'Autumn Bride' Coral Bells	#1	Cont.	North American Native 18" O.C.	
408	HEM Hemerocallis 'Hyperion' Daylily	#1	Cont.	24" O.C.	
100	HEU Heuchera 'Palace Purple' Coral Bells	#1	Cont.	North American Native 18" O.C.	
264	HYP Hypericum calycinum St. John's Wort	#1	Cont.	12" O.C.	
529	IRI Iris versicolor Blue Flag Iris	#1	Cont.	North American Native 18" O.C.	
746	LIR Liriope muscari Lilyturf	#1	Cont.	12" O.C.	
217	MON Monarda didyma Bee Balm	#1	Cont.	North American Native 18" O.C.	
183	NEP Nepeta x faassenii 'Walker's Low' Catmint	#1	Cont.	18" O.C.	
494	PAN Panicum virgatum Switchgrass	#1	Cont.	North American Native 36" O.C.	
32	RUD Rudbeckia fulgida var. fulgida Black Eyed Susan	#1	Cont.	North American Native 18" O.C.	
448	SPO Sporobolus heterolepis Prairie Dropseed	#1	Cont.	North American Native 24" O.C.	
140	SYM Symphoricarpos albus New York Aster	#1	Cont.	North American Native 18" O.C.	
30	VER Veronicastrum virginiana 'Fascination' Culver's Root	#1	Cont.	North American Native 24" O.C.	

LANDSCAPE SURETY QUANTITIES

SHADE TREES	78
ORNAMENTAL TREES	17
EVERGREEN TREES	3
SHRUBS	2135

ONLY TREES IN THIS SDP HAVE BEEN INCLUDED IN THE SURETY CALCULATIONS AND MASTER PLAN LIST. TREES NOTED ON THE PLAN AS BEING ON F-17-059, F-18-017, OR SDP-17-027 HAVE NOT BEEN INCLUDED IN THIS SURETY CALCULATION. \$90,600

FINANCIAL SURETY FOR REQUIRED PLANTING HAS BEEN POSTED IN THE AMOUNT OF \$90,600 FOR THE 78 SHADE TREES (\$300 EA.), 21 ORNAMENTAL AND EVERGREEN TREES (\$150 EA.), AND 2135 SHRUBS (\$30).

SURETY FOR PUBLIC MICROBIORETENTION PLANTING WILL BE ASSESSED AS A PART OF THE DEPARTMENT OF PUBLIC WORKS MICROBIORETENTION SURETY.

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DEVELOPER'S/OWNER'S NAME

HRD Corporation

DEVELOPER'S/OWNER'S NAME

RUTH HOANG

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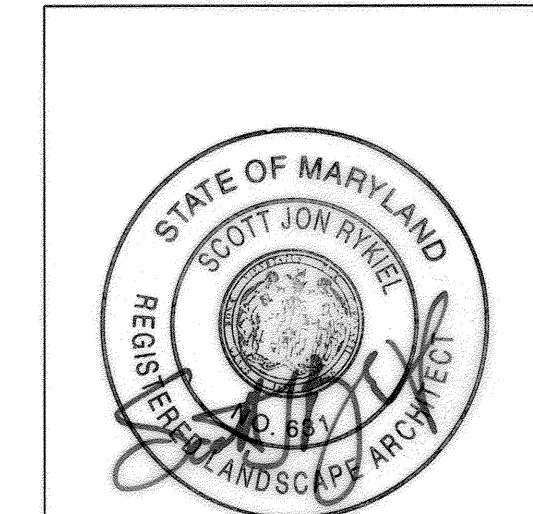
REVISED SITE DEVELOPMENT PLAN

FILE NUMBERS:  
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CONTRACT NUMBERS:  
24-4931-D, 24-4975-D, 24-4974-D

PROFESSIONAL CERTIFICATION

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5/15/2019		PLANTING COUNT REVISIONS	
Date	No.	Revision	Description
<b>DOWNTOWN COLUMBIA</b>			
<b>CRESCENT NEIGHBORHOOD</b>			
<b>PHASE I AREA 3, PHASE 2</b>			
PARCELS D-1, D-7, D-8, D-9, D-11, D-12 AND D-13			
OWNER / DEVELOPER: THE HOWARD RESEARCH AND DEVELOPMENT CORPORATION COLUMBIA REGIONAL OFFICE 10480 LITTLE PATUXENT PARKWAY SUITE 400 COLUMBIA, MD 21044 410-964-4800			
<b>MAHAN RYKIEL</b>			
<b>ASSOCIATES INC</b>			
The Steiff Silver Building, 800 Wyman Park Drive, Suite 100, Baltimore, MD 21211 410.235.8001			
SUBDIVISION NAME	COLUMBIA	SECTION/AREA	CRESCENT NEIGHBORHOOD
PLAT OR LOT	7	TAX ZONING MAP	36
PARCEL #	5	ELECT DISTRICT	5
WATER CODE	550	SEWER CODE	LITTLE PATUXENT
STAGE	1		
TITLE <b>L-400 - LANDSCAPE PLANT SCHEDULE &amp; NOTES</b>			
Des. By	MP	SCALE	AS SHOWN
Drn. By	BB	Date	02/15/19
Chk. By	MP	Approved	
APPROVED: PLANNING BOARD OF HOWARD COUNTY DATE: <u>October 17, 2019</u>		Proj. No.	04038.80
		<b>57 of 78</b>	

HOWARD COUNTY DEPT. OF PLANNING & ZONING

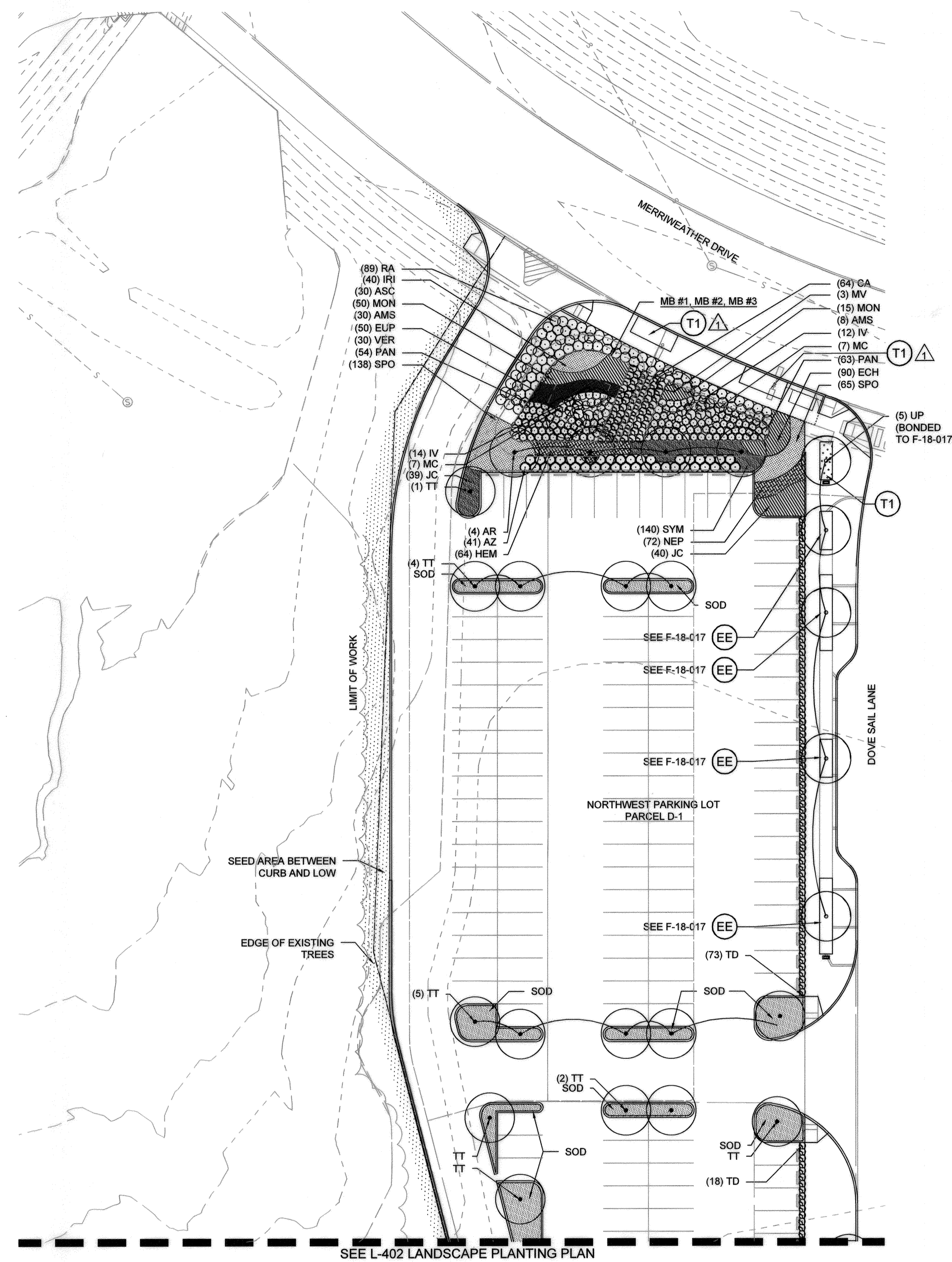
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CHIEF, DEVELOPMENT ENGINEERING DIVISION

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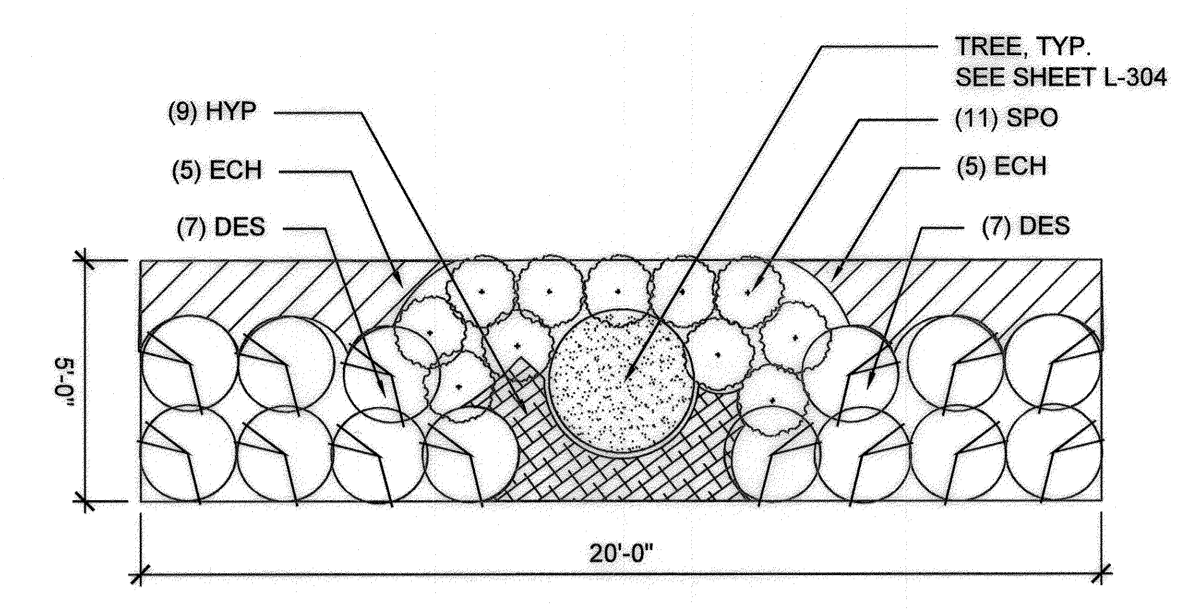
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DIRECTOR

1 PLANTING SCHEDULE

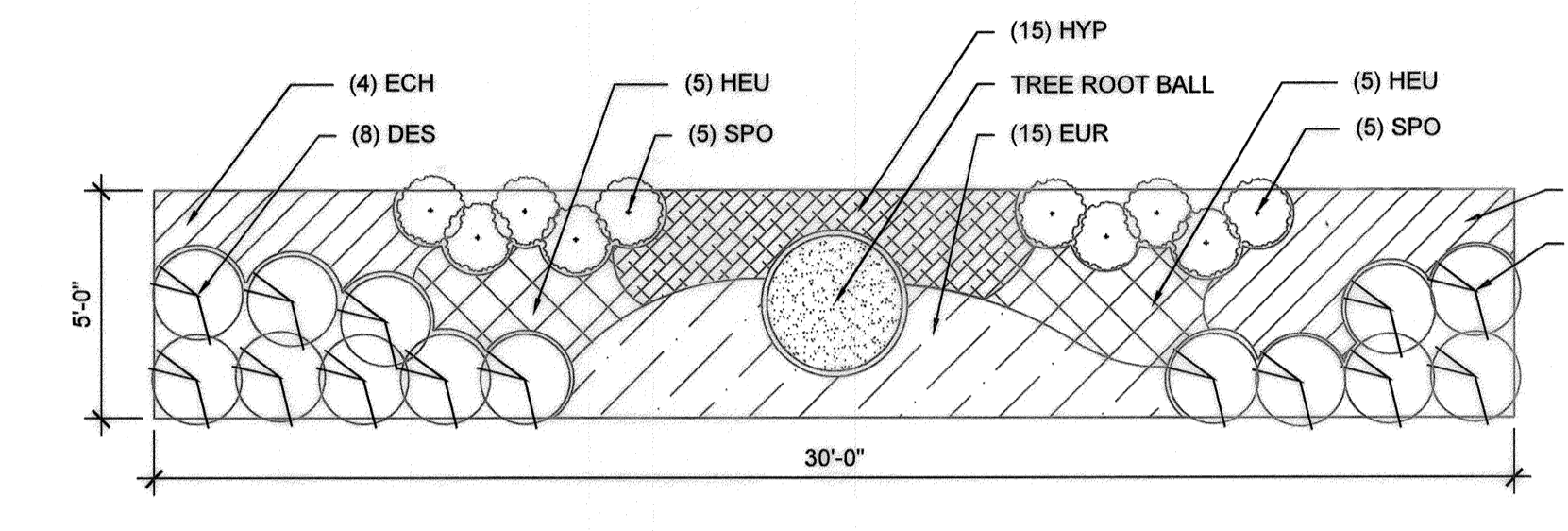




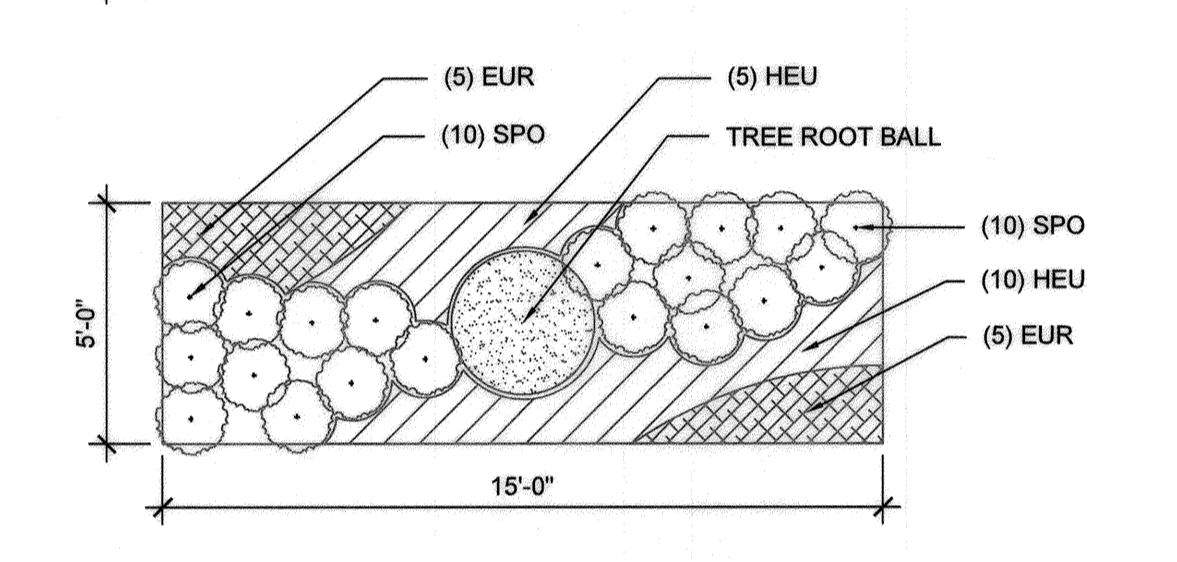
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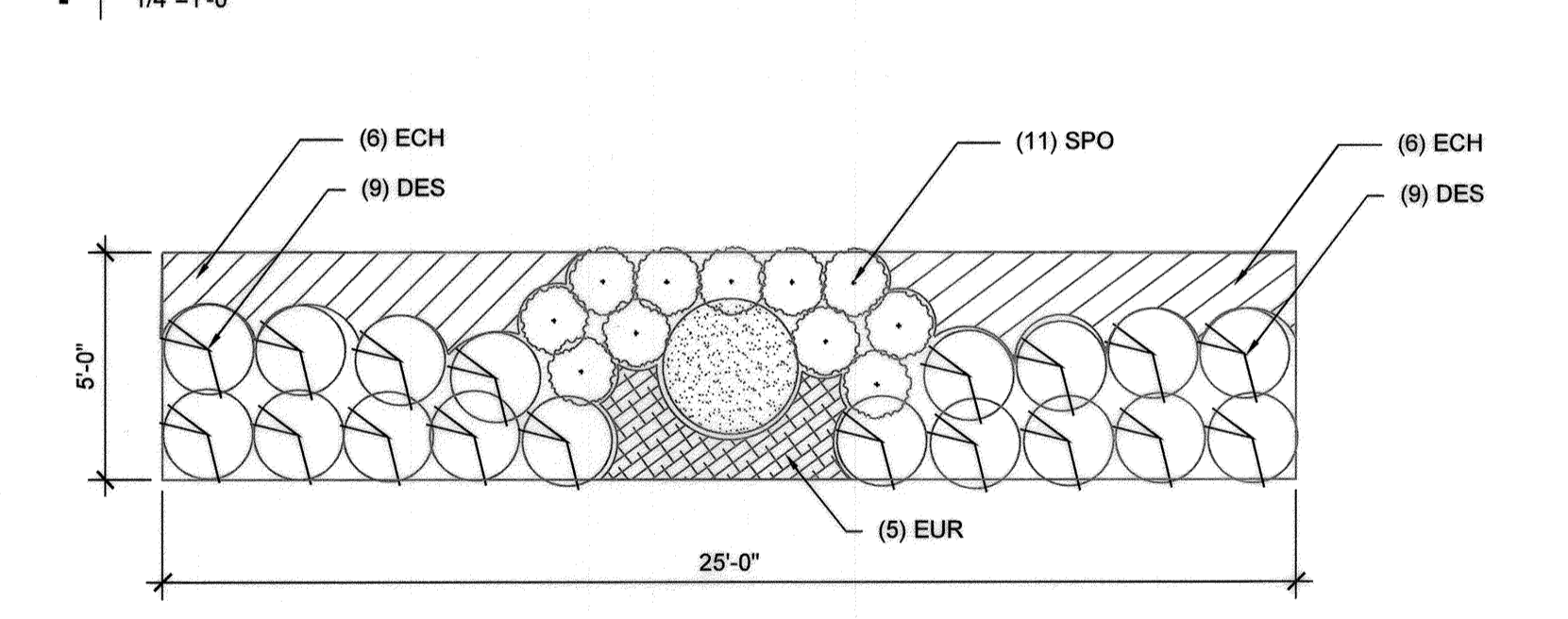
**2 E2: ESD PLANTING (5' x 20')**  
1/4"=1'



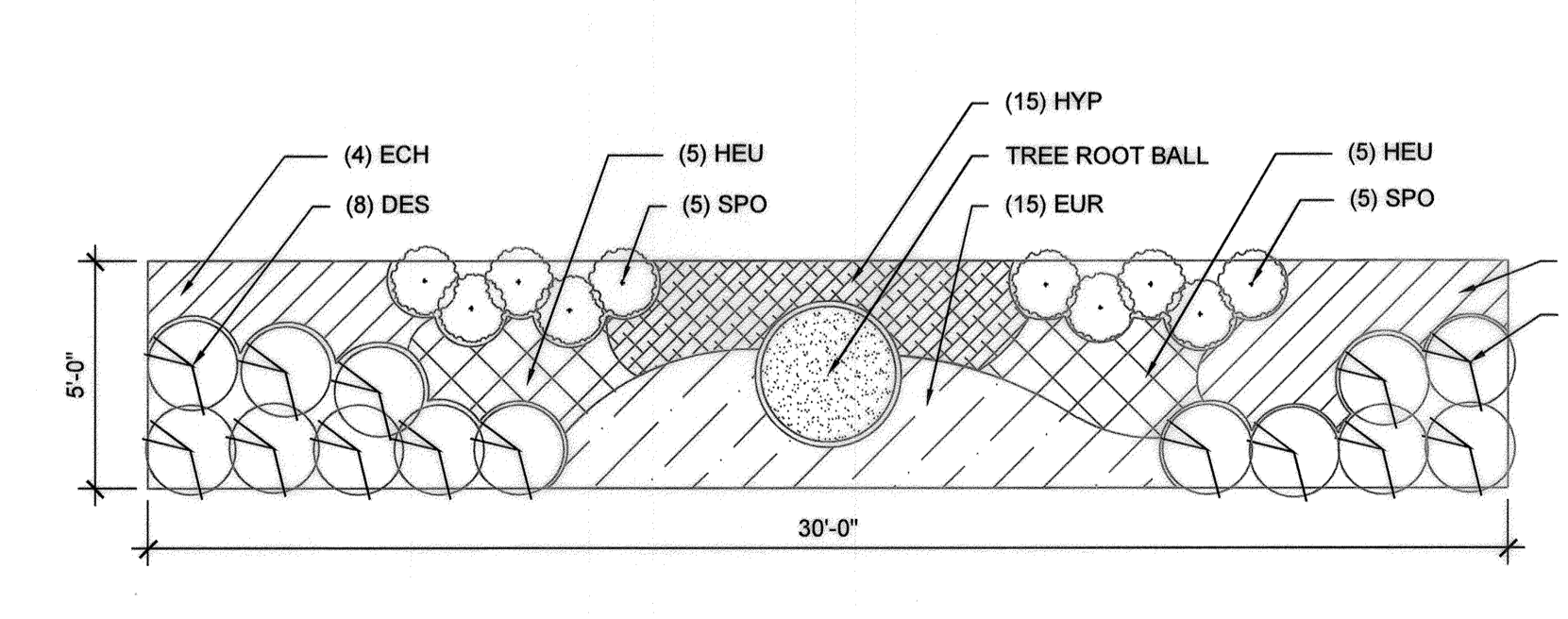
**3 E4: ESD PLANTING (5' x 30')**  
1/4"=1'



**4 T1: TREE PIT PLANTING (5' x 15')**  
1/4"=1'-0"



**5 T2: TREE PIT PLANTING (5' x 25') - NOT USED**  
1/4"=1'-0"



**6 T3: TREE PIT PLANTING (5' x 30') - NOT USED**  
1/4"=1'-0"

**LANDSCAPE KEY**

T1	4	TREE PIT PLANTING 2: 5'x15', TYP.
T2	5	TREE PIT PLANTING 2: 5'x25', TYP.
T3	6	TREE PIT PLANTING 3: 5'x30', TYP.
E1		NOT USED
E2	2	ESD PLANTING 2: 5'x20', TYP.
E3		NOT USED
E4	3	ESD PLANTING 4: 5'x30', TYP.
E5		NOT USED
EE		EXISTING ESD OR TREE PLANTING; SEE CIVIL F-18-017, F-17-059, OR SDP-17-027 PLAN FOR UNDERSTORY PLANTING AS NOTED
Ex		ESD PLANTING; IRREGULAR LAYOUT PLAN

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DEVELOPER'S/OWNER'S NAME  
**HRD Corporation**  
DEVELOPER'S/OWNER'S NAME  
**RUTH HOANG**

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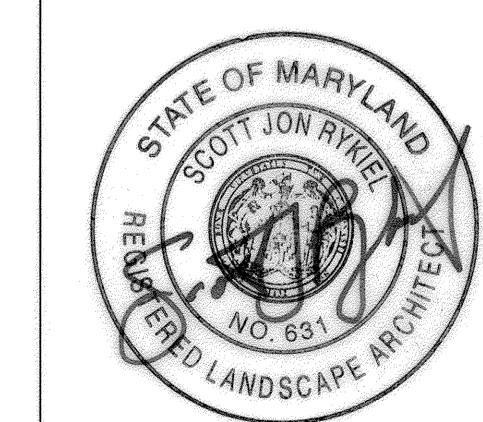
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**REVISIED SITE DEVELOPMENT PLAN**

**FILE NUMBERS:**  
F-15-106, F-16-107, F-17-059, F-18-017, SDP-16-075, SDP-17-027, WP-17-010, WP-17-049, WP-17-052, WP-17-059, WP-17-115, WP-18-020, WP-18-021, SP-16-009, WP-17-100

**CONTRACT NUMBERS:**  
24-4931-D, 24-4975-D, 24-4974-D.

**PROFESSIONAL CERTIFICATION**  
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL LANDSCAPE ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 631, EXPIRATION DATE: 09/21/2019.



APPROVED:  
PLANNING BOARD OF HOWARD COUNTY  
DATE: **October 17, 2019**

Date	No.	Revision Description
5/15/2018	1	PLANTING AREA REVISION

**DOWNTOWN COLUMBIA**  
**CRESCENT NEIGHBORHOOD**  
**PHASE I AREA 3, PHASE 2**  
PARCELS D-1, D-7, D-8, D-9, D-11, D-12 AND D-13  
OWNER / DEVELOPER:  
THE HOWARD RESEARCH AND DEVELOPMENT CORPORATION  
COLUMBIA REGIONAL OFFICE  
10480 LITTLE PATUXENT PARKWAY SUITE 400  
COLUMBIA, MD 21044  
410-964-4800

**MAHAN RYKIEL ASSOCIATES INC**  
The Steff Silver Building, 800 Wyman Park Drive, Suite 100, Baltimore, MD 21211 410.235.8001

SUBDIVISION NAME	SECTION	NEIGHBORHOOD	LOT/PARCEL #	PARCEL D
DOWNTOWN COLUMBIA	PHASE 1 AREA 3	PHASE 2		
PORT OF BALTIMORE	TAX ZONING	SECTION	CENSUS TRACT	605602
7	36	5		
WATER CODE	SEWER CODE	STAGE		
550	LITTLE PATUXENT	1		

**TITLE**  
**L-401 - LANDSCAPE PLANTING PLAN**

Des. By	MP	SCALE	AS SHOWN	Proj. No.	04038.B0
Drn. By	BB	Date	02/15/19		
Chk. By	MP	Approved			58 of 78

HOWARD COUNTY DEPT. OF PLANNING & ZONING

**12-4-19**  
DATE  
CHIEF, DEVELOPMENT ENGINEERING DIVISION

**12-11-19**  
DATE  
CHIEF, DIVISION OF LAND DEVELOPMENT

**12-13-19**  
DATE  
DIRECTOR

SEE L-401 - LANDSCAPE PLANTING PLAN

LANDSCAPE KEY

- (T1) 4 TREE PIT PLANTING 2: 5'x15', TYP.
- (T2) 5 TREE PIT PLANTING 2: 5'x25', TYP.
- (T3) 6 TREE PIT PLANTING 3: 5'x30', TYP.
- (E1) - NOT USED
- (E2) 2 ESD PLANTING 2: 5'x20', TYP.
- (E3) - NOT USED
- (E4) 3 ESD PLANTING 4: 5'x30', TYP.
- (E5) - NOT USED
- (EE) EXISTING ESD OR TREE PLANTING. SEE CIVIL F-18-017, F-17-059, OR SDP-17-027 PLAN FOR UNDERSTORY PLANTING AS NOTED
- (EX) ESD PLANTING; IRREGULAR SIZE. SEE PLANTING LAYOUT PLAN

GENERAL LANDSCAPE NOTES:

- BUILDING ENTRANCES ARE SHOWN FOR REFERENCE ONLY. BUILDING ENTRANCE LOCATIONS MAY BE ADJUSTED BASED ON TENANT NEEDS WITH FINAL REVIEW AT TIME OF PERMIT.
- REFER TO SHEETS L-400 TO L-410 FOR PROPOSED PLANTINGS.
- UTILITY EASEMENTS ARE SHOWN ON PLANTING PLANS FOR REFERENCE ONLY. REFER TO CIVIL SHEETS FOR ADDITIONAL INFORMATION REGARDING UTILITY EASEMENT SIZES & LOCATIONS.

CERTIFICATION NOTE:

- I/WE CERTIFY THAT THE LANDSCAPING SHOWN ON THIS PLAN WILL BE DONE ACCORDING TO THE PLAN, SECTION 18.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL FOR ALTERNATIVE COMPLIANCE AND THE CRESCENT NEIGHBORHOOD DESIGN GUIDELINES. I/WE FURTHER CERTIFY THAT UPON COMPLETION A LETTER OF LANDSCAPE INSTALLATION, ACCOMPANIED BY AN EXECUTED ONE YEAR GUARANTEE OF PLANT MATERIALS, WILL BE SUBMITTED TO THE DEPARTMENT OF PLANNING AND ZONING.

*[Signature]* 2.18.19  
 DEVELOPER'S/OWNER'S NAME  
*Wm. T. Rowe* EVP  
 DEVELOPER'S/OWNER'S NAME

ENVIRONMENTAL DATA SOURCES

- FLOODPLAIN INFORMATION SHOWN HEREON REFLECTS THE RESULT OF A STUDY PERFORMED BY BHO-HABITATS DATED 06/18/2015.
- WETLANDS AND ASSOCIATED ENVIRONMENTAL INFORMATION SHOWN HEREON REFLECT THE RESULT OF AN INVESTIGATION PERFORMED BY DMW DATED MARCH 2015.
- SOIL SURVEY INFORMATION SHOWN HEREON REFLECTS HOWARD COUNTY SOILS INFORMATION DATED 11/26/2007.
- DECLARATION OF RESTRICTIVE COVENANT AREAS: ARMY CORPS OF ENGINEERS PERMIT NUMBER 2014-61063, SPECIAL CONDITION #14 REQUIRES THAT ANY WETLAND MITIGATION AREAS BE PROTECTED IN PERPETUITY BY A DECLARATION OF RESTRICTIVE COVENANTS TO BE RECORDED BY JULY 1, 2016. THIS DOCUMENT PROHIBITS ANY DISTURBANCE WITHIN THIS AREA INCLUDED BUT NOT LIMITED TO NEW DEVELOPMENT, INSTALLATION OF UTILITIES, GRADING, REMOVAL OF VEGETATION, ETC. THE MARYLAND DEPARTMENT OF THE ENVIRONMENT AND THE ARMY CORPS OF ENGINEERS HAVE PLACED THESE RESTRICTIVE COVENANTS ON THE AREA TO PROTECT WATER QUALITY, ENVIRONMENTAL RESOURCES AND THE MITIGATION AREA REQUIRED TO OFF-SET IMPACTS TO WETLANDS, STREAMS AND FLOODPLAINS PROPOSED BY THIS DEVELOPMENT.

DATA SOURCES:

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- BOUNDARY AND PARCEL INFORMATION SHOWN HAS BEEN PROVIDED BY GUTSCHICK, LITTLE, AND WEBER, P.A.

FILE NUMBERS:

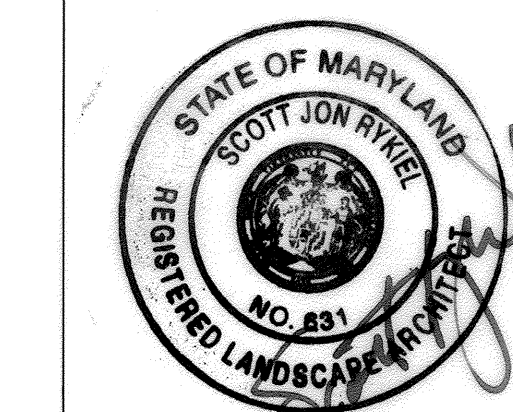
F-15-106, F-16-107, F-17-059, F-18-017, SDP-16-075, SDP-18-005, WP-17-010, WP-17-049, WP-17-052, WP-17-115, WP-18-020, WP-18-021, SP-16-009, WP-16-100, FDP-DC-CRESCENT-1, FDP-DC-CRESCENT-1A, SDP-17-027, F-17-057, F18-017, WP-18-089, WP-18-105.

CONTRACT NUMBERS:

24-4991-D, 24-4975-D, 24-4974-D.

PROFESSIONAL CERTIFICATION

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NO. 631, EXPIRATION DATE: 09/21/19.



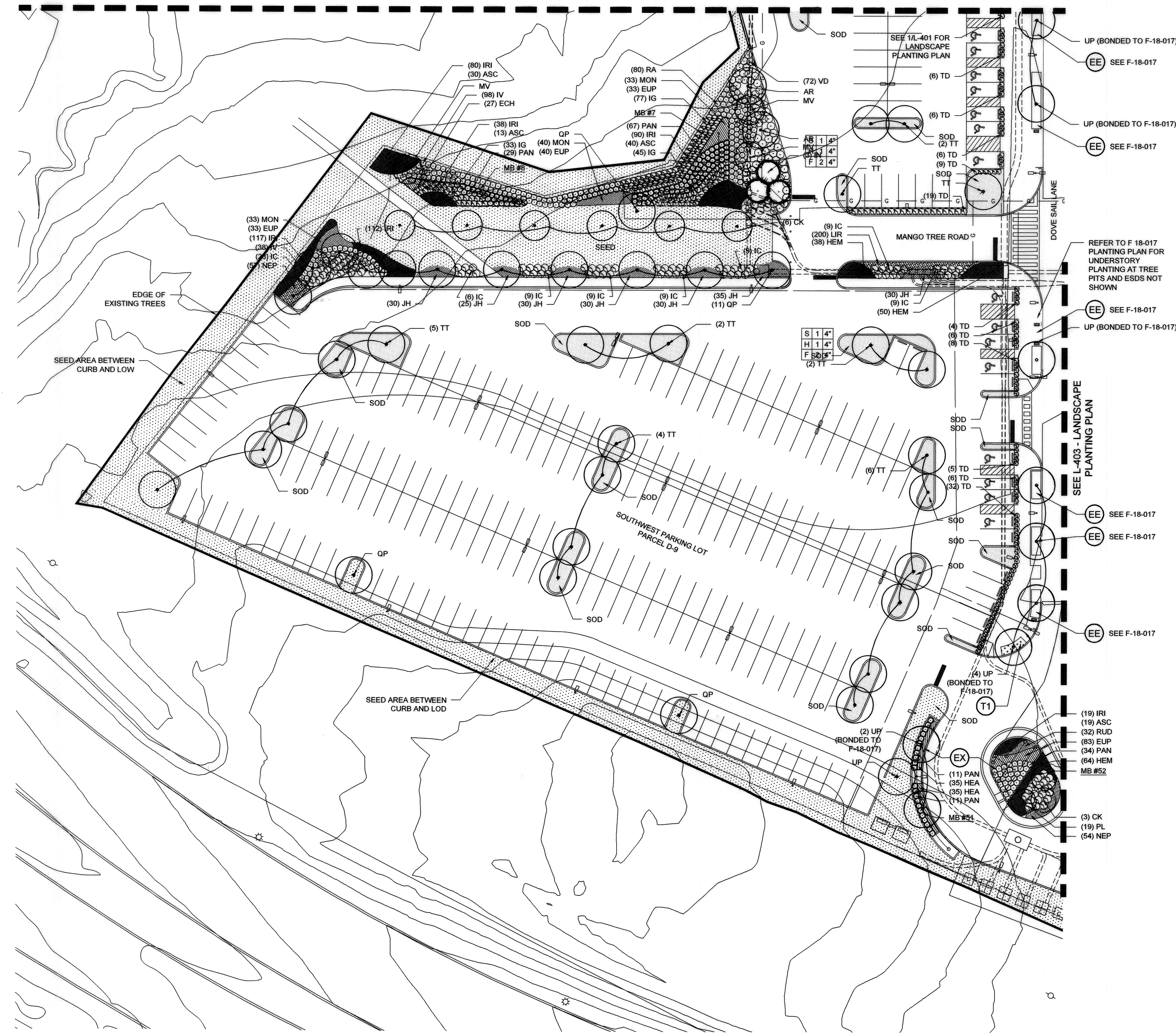
APPROVED:  
 PLANNING BOARD OF HOWARD COUNTY  
 DATE: 11/8/18

Date	No.	Revision Description
		<b>DOWNTOWN COLUMBIA</b> <b>CRESCENT NEIGHBORHOOD</b> <b>PHASE I AREA 3, PHASE 2</b> <b>PARCELS D-1, D-7, D-8, D-9,</b> <b>D-11, D-12 AND D-13</b> MIXED USE GREEN OFFICE, RESIDENTIAL, RETAIL, RESTAURANT BUILDING OWNER / DEVELOPER: THE HOWARD RESEARCH AND DEVELOPMENT CORPORATION COLUMBIA REGIONAL OFFICE 10480 LITTLE PATUXENT PARKWAY SUITE 400 COLUMBIA, MD 21044 410-964-4800

**MAHAN RYKIEL**  
 ASSOCIATES INC  
 The Stieff Silver Building, 800 Wyman Park Drive,  
 Suite 100, Baltimore, MD 21211 410.235.6001

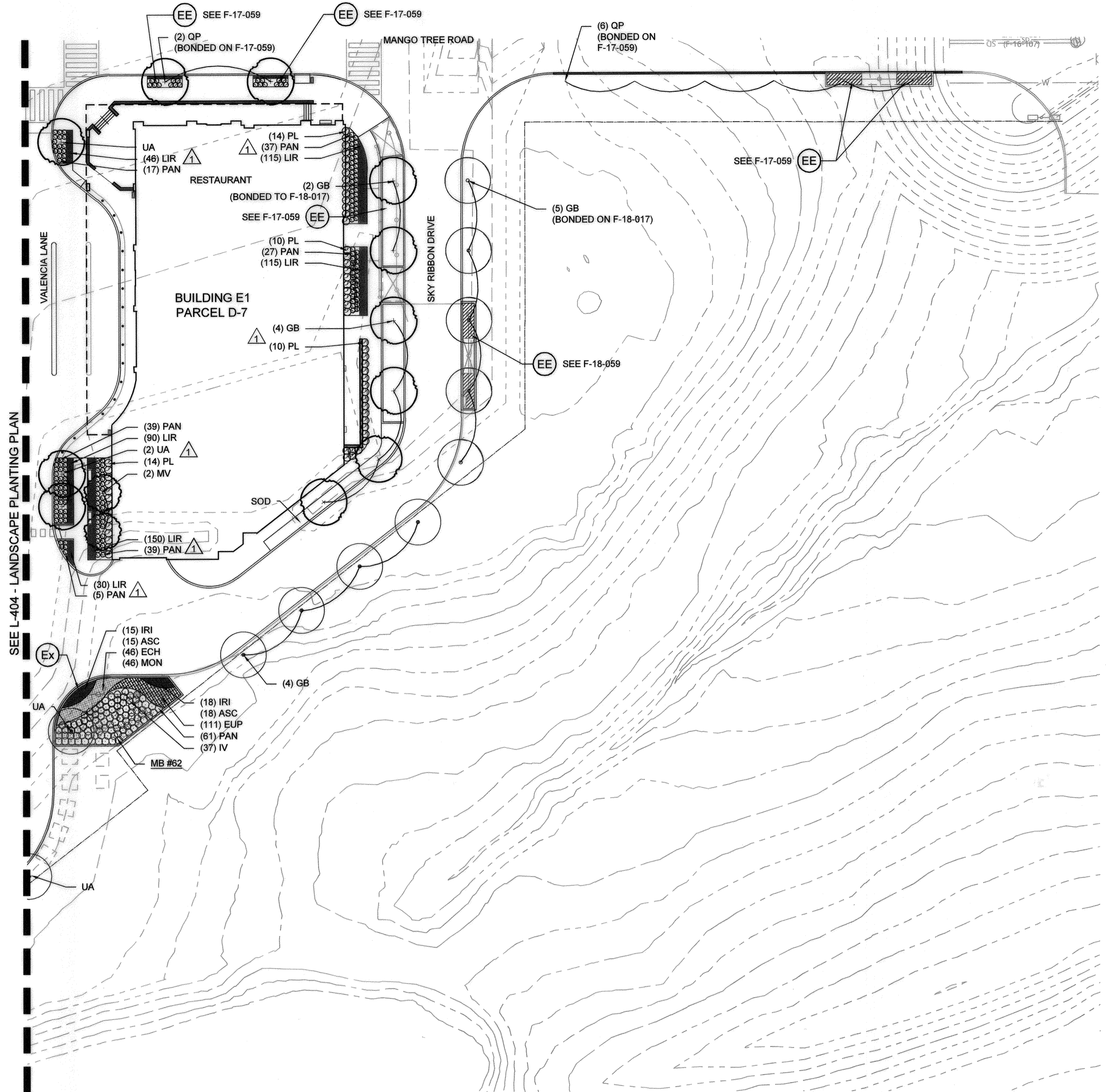
PROJECT NAME	CRESCENT NEIGHBORHOOD	LOT/PARCEL #	PARCEL D
DOWNTOWN COLUMBIA	PHASE 3		
PLAT OR L.P.	BLOCK 7	LOT	36
PLAT OR L.P.	ZONE	RELET DISTRICT	5
WATER CODE	SEWER CODE	CENSUS TRACT	605602
550	LITTLE PATUXENT	STAGE	1
TITLE <b>L-402 - LANDSCAPE PLANTING PLAN</b>			
Des. By	MP	SCALE	AS SHOWN
Drn. By	BB	Date	02/15/19
Chk. By	MP	Approved	--
		Proj. No.	04038.30
		59 of 78	

SDP-18-005



1 LANDSCAPE PLANTING PLAN  
 1"=30'

APPROVED: HOWARD COUNTY DEPT. OF PLANNING & ZONING  
*[Signature]* 3-20-19  
 CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE  
*[Signature]* 4-24-19  
 CHIEF, DIVISION OF LAND DEVELOPMENT DATE  
*[Signature]* 4-24-19  
 DIRECTOR, DIVISION OF LAND DEVELOPMENT DATE



**LANDSCAPE KEY**

- T1 TREE PIT PLANTING 2: 5'x15', TYP.
- T2 TREE PIT PLANTING 2: 5'x25', TYP.
- T3 TREE PIT PLANTING 3: 5'x30', TYP.
- E1 — NOT USED
- E2 ESD PLANTING 2: 5'x20', TYP.
- E3 — NOT USED
- E4 ESD PLANTING 4: 5'x30', TYP.
- E5 — NOT USED
- EE EXISTING ESD OR TREE PLANTING. SEE CIVIL F-18-017, F-17-059, OR SDP-17-027 PLAN FOR UNDERSTORY PLANTING AS NOTED
- EX ESD PLANTING; IRREGULAR SIZE, SEE PLANTING LAYOUT PLAN

**GENERAL LANDSCAPE NOTES:**

- BUILDING ENTRANCES ARE SHOWN FOR REFERENCE ONLY. BUILDING ENTRANCE LOCATIONS MAY BE ADJUSTED BASED ON TENANT NEEDS WITH FINAL REVIEW AT TIME OF PERMIT.
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**CERTIFICATION NOTE:**

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DEVELOPER/SOWNER'S NAME  
**HRD Corporation**

DEVELOPER/SOWNER'S NAME  
**RUTH HODAKA Proj**

**ENVIRONMENTAL DATA SOURCES**

- FLOODPLAIN INFORMATION SHOWN HEREON REFLECTS THE RESULT OF A STUDY PERFORMED BY BIO-HABITATS DATED 06/18/2015.
- WETLANDS AND ASSOCIATED ENVIRONMENTAL INFORMATION SHOWN HEREON REFLECT THE RESULT OF AN INVESTIGATION PERFORMED BY DMW DATED MARCH 2015.
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**DATA SOURCES:**

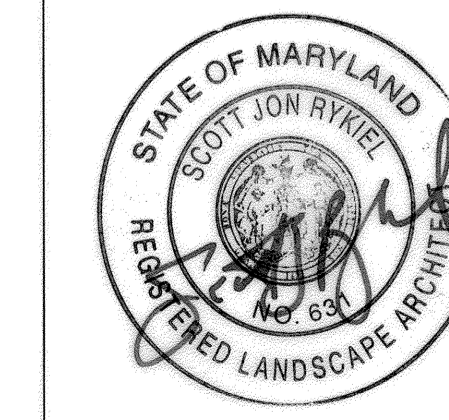
- EXISTING TOPOGRAPHIC INFORMATION SHOWN HEREON REFLECTS THE RESULT OF A TOPOGRAPHIC SURVEY PERFORMED BY DMW INC. ON 8/27/15 & 12/25/15. AERIAL TOPOGRAPHY FLOWN BY MCKENZIE SVNGER, INC. MARCH 2007 AND FIELD SURVEY BY GLW ON AUGUST, 2011, GRADES AS SHOWN ON F-15-106 AND F-16-107 PREPARED BY GLW, AND MASS GRADING SDP-16-075 BY DMW.
- BOUNDARY AND PARCEL INFORMATION SHOWN HAS BEEN PROVIDED BY GUTSCHICK, LITTLE, AND WEBER, P.A.

**REVISD SITE DEVELOPMENT PLAN**

**FILE NUMBERS:**  
 F-15-106, F-16-107, F-17-059, F-18-017, SDP-16-075, SDP-17-027, WP-17-010, WP-17-049, WP-17-052, WP-17-059, WP-17-115, WP-18-020, WP-18-021, SP-16-009, WP-17-100

**CONTRACT NUMBERS:**  
 24-4931-D, 24-4975-D, 24-4974-D

**PROFESSIONAL CERTIFICATION**  
 I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL LANDSCAPE ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 631, EXPIRATION DATE: 09/21/2019.



APPROVED:  
 PLANNING BOARD OF HOWARD COUNTY  
 DATE: October 17, 2019

Date	No.	Revision Description
5/15/2018	1	PLANTING AREA REVISION

**DOWNTOWN COLUMBIA  
 CRESCENT NEIGHBORHOOD  
 PHASE I AREA 3, PHASE 2  
 PARCELS D-1, D-7, D-8, D-9,  
 D-11, D-12 AND D-13**

**OWNER / DEVELOPER:**  
 THE HOWARD RESEARCH AND DEVELOPMENT CORPORATION  
 COLUMBIA REGIONAL OFFICE  
 10480 LITTLE PATUXENT PARKWAY SUITE 400  
 COLUMBIA, MD 21044  
 410-964-4800

**MAHAN RYKIEL  
 ASSOCIATES INC**  
 The Stieff Silver Building, 800 Wyman Park Drive,  
 Suite 100, Baltimore, MD 21211 410.235.8001

SECTION	7	NEIGHBORHOOD	36	LOT/PARCEL #	5	PARCEL D	605602
PLANT OR LIR	7	TAX ZONING	36	CENSUS TRACT	5		
WATER CODE	550	SEWER CODE	LITTLE PATUXENT	STAGE	1		

Des. By	MP	SCALE	AS SHOWN	Proj. No.	04038.80
Drn. By	BB	Date	02/15/19		
Chk. By	MP	Approved			61 of 78

**1 LANDSCAPE PLANTING PLAN**

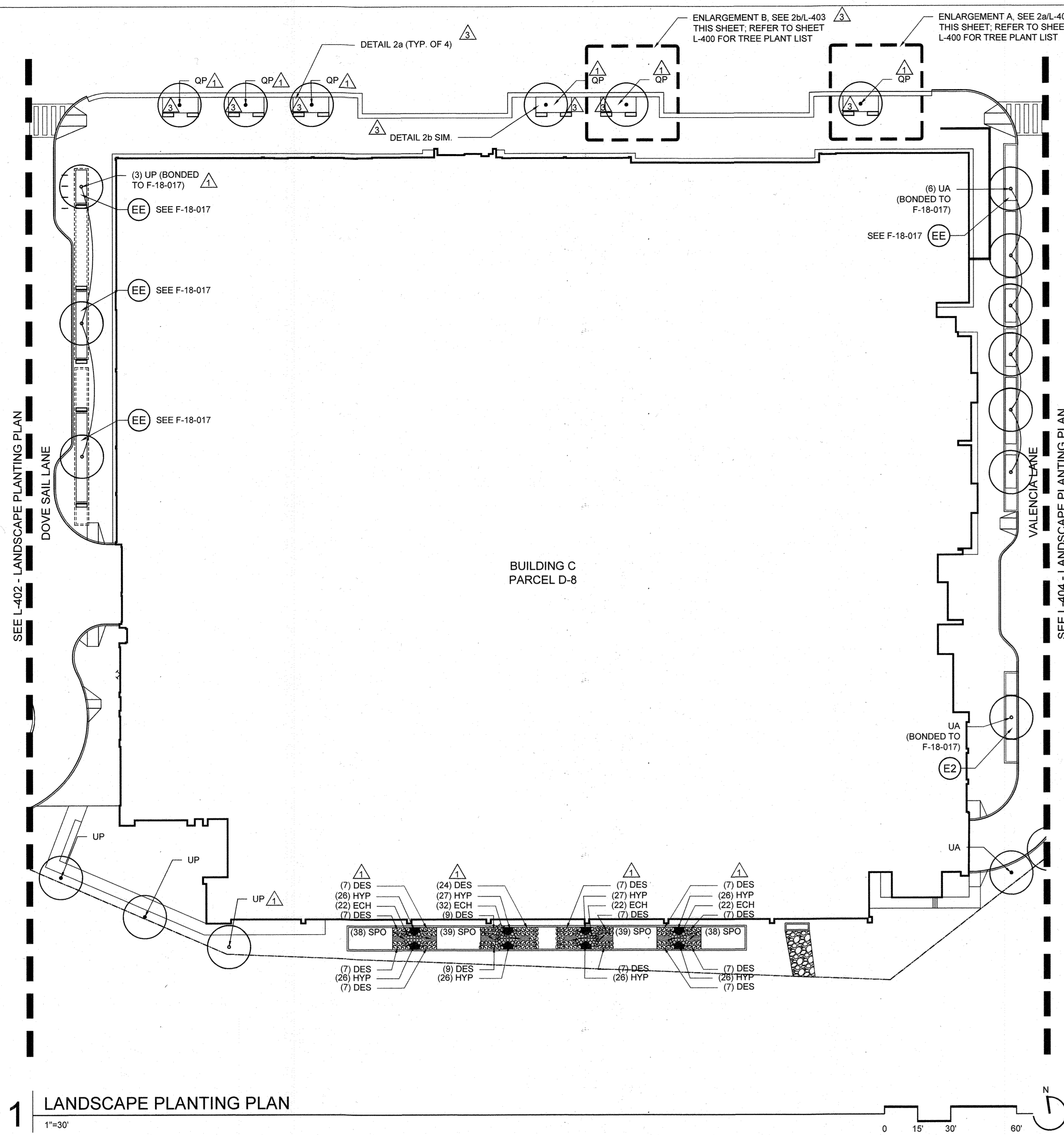
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HOWARD COUNTY DEPT. OF PLANNING & ZONING

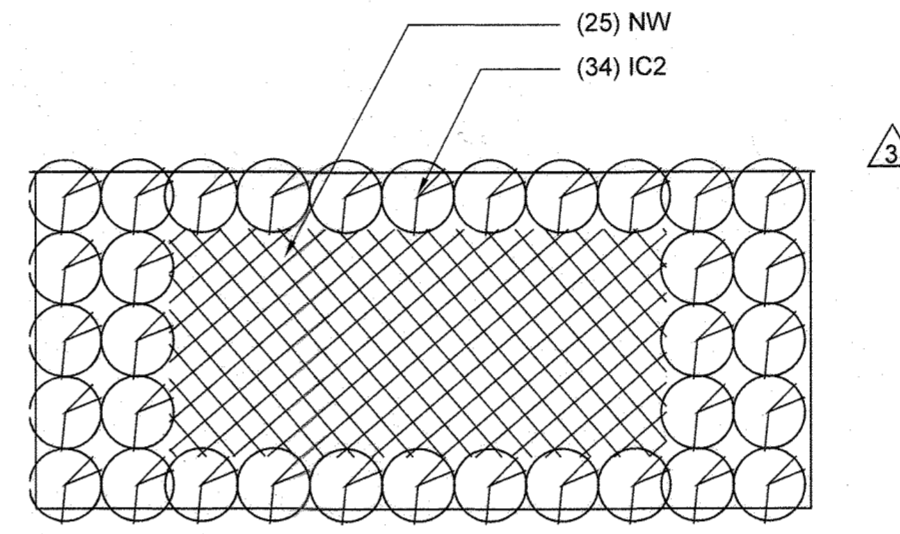
*Phil Plummer* 12-4-19  
 CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

*Z. Maul* 12-11-19  
 CHIEF, DIVISION OF LAND DEVELOPMENT DATE

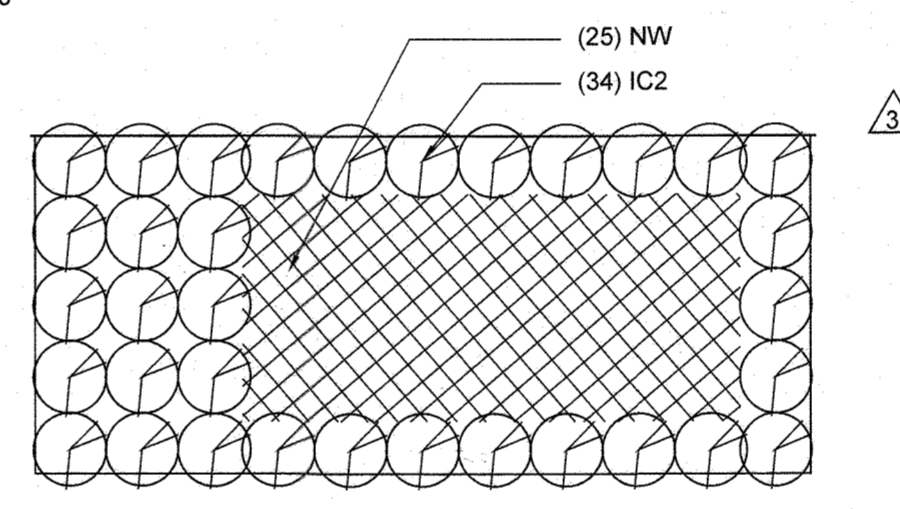
*A. Gr* 12-12-19  
 DIRECTOR DATE



- LANDSCAPE KEY**
- T1 (4 L-401) TREE PIT PLANTING 2: 5'x15', TYP.
  - T2 (5 L-401) TREE PIT PLANTING 2: 5'x25', TYP.
  - T3 (6 L-401) TREE PIT PLANTING 3: 5'x30', TYP.
  - E1 - NOT USED
  - E2 (2 L-401) ESD PLANTING 2: 5'x20', TYP.
  - E3 - NOT USED
  - E4 (3 L-401) ESD PLANTING 4: 5'x30', TYP.
  - E5 - NOT USED
  - EE EXISTING ESD OR TREE PLANTING, SEE CIVIL F-18-017, F-17-059, OR SDP-17-027 PLAN FOR UNDERSTORY PLANTING AS NOTED
  - Ex ESD PLANTING: IRREGULAR SIZE, SEE PLANTING LAYOUT PLAN



**2a** TYPICAL MANGO UNDERSTORY PLANTING PIT - ENLARGEMENT A  
1/4"=1'-0"



**2b** MANGO UNDERSTORY PLANTING PIT - ENLARGEMENT B  
1/4"=1'-0"

**PLANT LIST - CRESCENT MANGO**

QTY.	KEY	BOTANICAL/Common Name	SIZE	ROOT	COMMENTS
<b>EVERGREEN SHRUBS</b>					
204	IC2	Ilex crenata 'Soft Touch' Soft Touch Japanese Holly	#3	B&B/Cont.	18" Spd. Full, Matched
<b>PERENNIALS/ GROUNDCOVERS / GRASSES</b>					
150	NW	Nepeta x faassenii 'Walker's Low' Walker's Low Catmint	#1	Cont.	18" O.C.

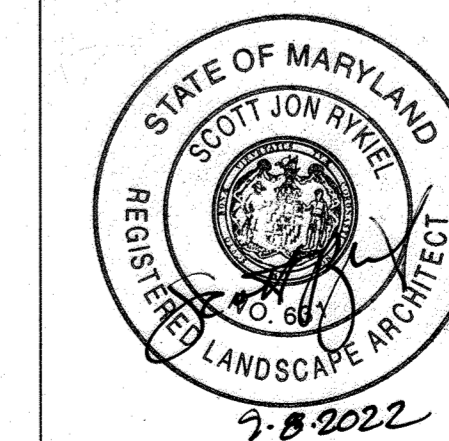
**3** PLANT LIST  
N.T.S.

**REVISED SITE DEVELOPMENT PLAN**

**FILE NUMBERS:**  
F 15-106, F 16-107, F 17-059, F 18-017, SDP-16-075, SDP-17-027, WP-17-010, WP-17-049, WP-17-052, WP-17-059, WP-17-115, WP-18-020, WP-18-021, SP-16-009, WP-17-100

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24-4931-D, 24-4975-D, 24-4974-D

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APPROVED:  
PLANNING BOARD OF HOWARD COUNTY  
DATE: 11/8/18

Date	No.	Revision Description
7/6/2022	1	SERVICE RAMP, PLANTING AREA, SITE FURNISHING, & SITE WALL UPDATES

**GENERAL LANDSCAPE NOTES:**

- BUILDING ENTRANCES ARE SHOWN FOR REFERENCE ONLY. BUILDING ENTRANCE LOCATIONS MAY BE ADJUSTED BASED ON TENANT NEEDS WITH FINAL REVIEW AT TIME OF PERMIT.
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*Wm. J. Rowe*  
DEVELOPER'S/OWNER'S NAME

*Wm. J. Rowe SVP*  
DEVELOPER'S/OWNER'S NAME

**ENVIRONMENTAL DATA SOURCES**

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- BOUNDARY AND PARCEL INFORMATION SHOWN HAS BEEN PROVIDED BY GUTSCHICK, LITTLE, AND WEBER, P.A.

Date	No.	Revision Description
10/30/2020	1	UPDATE PLANS PER REVISED BLDG C LAYOUT & UTILITIES
5/15/2018	1	PLANTING AREA REVISION

**DOWNTOWN COLUMBIA**  
CRESCENT NEIGHBORHOOD  
PHASE I AREA 3, PHASE 2  
PARCELS D-1, D-7, D-8, D-9, D-11, D-12 AND D-13

OWNER / DEVELOPER:  
THE HOWARD RESEARCH AND DEVELOPMENT CORPORATION  
COLUMBIA REGIONAL OFFICE  
10480 LITTLE PATUXENT PARKWAY SUITE 400  
COLUMBIA, MD 21044  
410-964-4800

**MAHAN RYKIEL**  
ASSOCIATES INC  
The Stieff Silver Building, 800 Wyman Park Drive,  
Suite 100, Baltimore, MD 21211 410.295.6001

SUBDIVISION NAME	SECTION/AREA	NEIGHBORHOOD	LOT/PARCEL #
DOWNTOWN COLUMBIA	PHASE 2, AREA 3	PHASE 2, AREA 3	PARCEL D
POINT OF BEGINNING	7	DNV-1	36
WATER CODE	550	SEWER CODE	LITTLE PATUXENT
		STAGE	1

**L-403 - LANDSCAPE PLANTING PLAN**

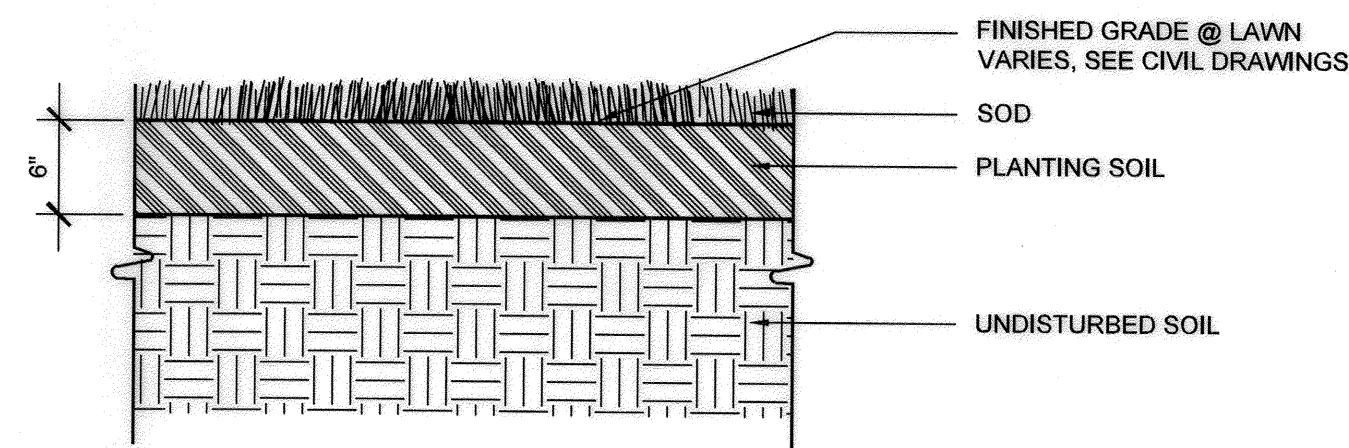
Des. By	MP	SCALE	AS SHOWN	Proj. No.	04038.B0
Drn. By	BB	Date	02/15/19	60 of 78	
Chk. By	MP	Approved			

HOWARD COUNTY DEPT. OF PLANNING & ZONING

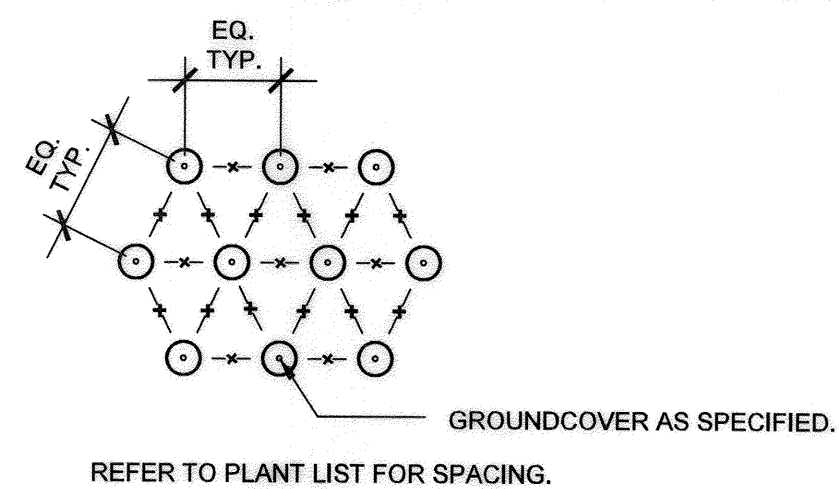
*Cheryl L. L...*  
CHIEF, DEVELOPMENT ENGINEERING DIVISION  
DATE: 11/02/22

*...*  
CHIEF, DIVISION OF LAND DEVELOPMENT  
DATE: 12/16/22

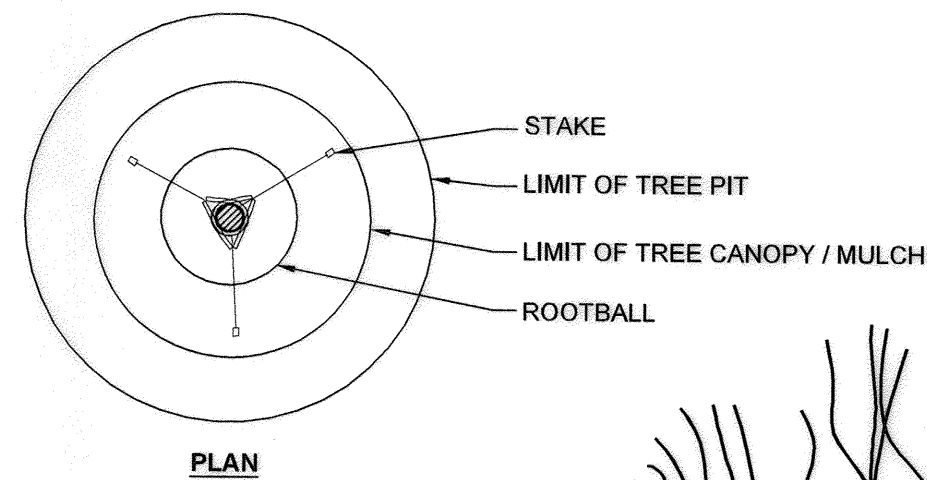
*...*  
DIRECTOR  
DATE: 12/16/22



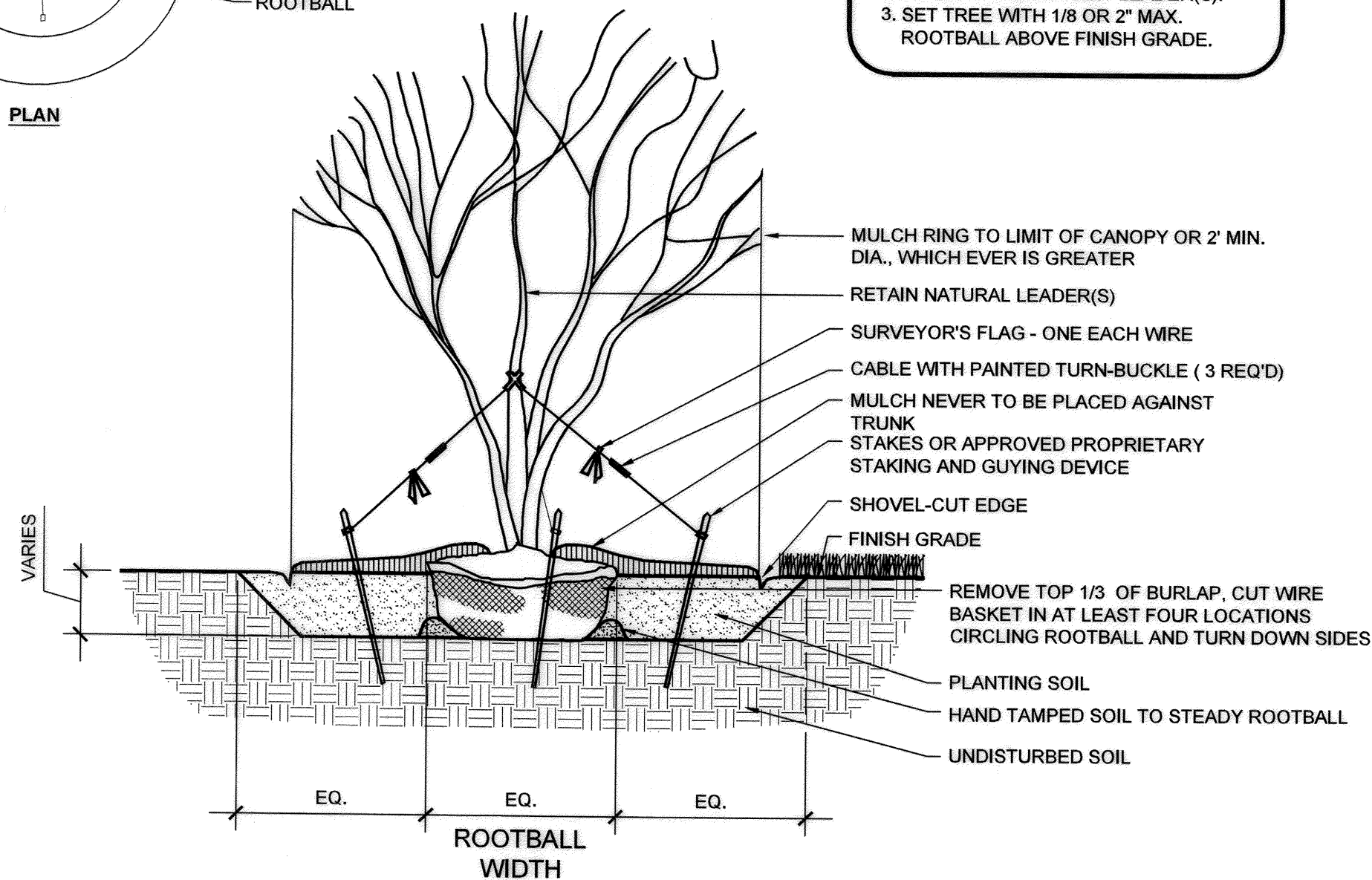
**1 TYPICAL SOD PLANTING**  
1"=1'-0"



**2 TYPICAL GROUND COVER SPACING**  
1"=1'-0"

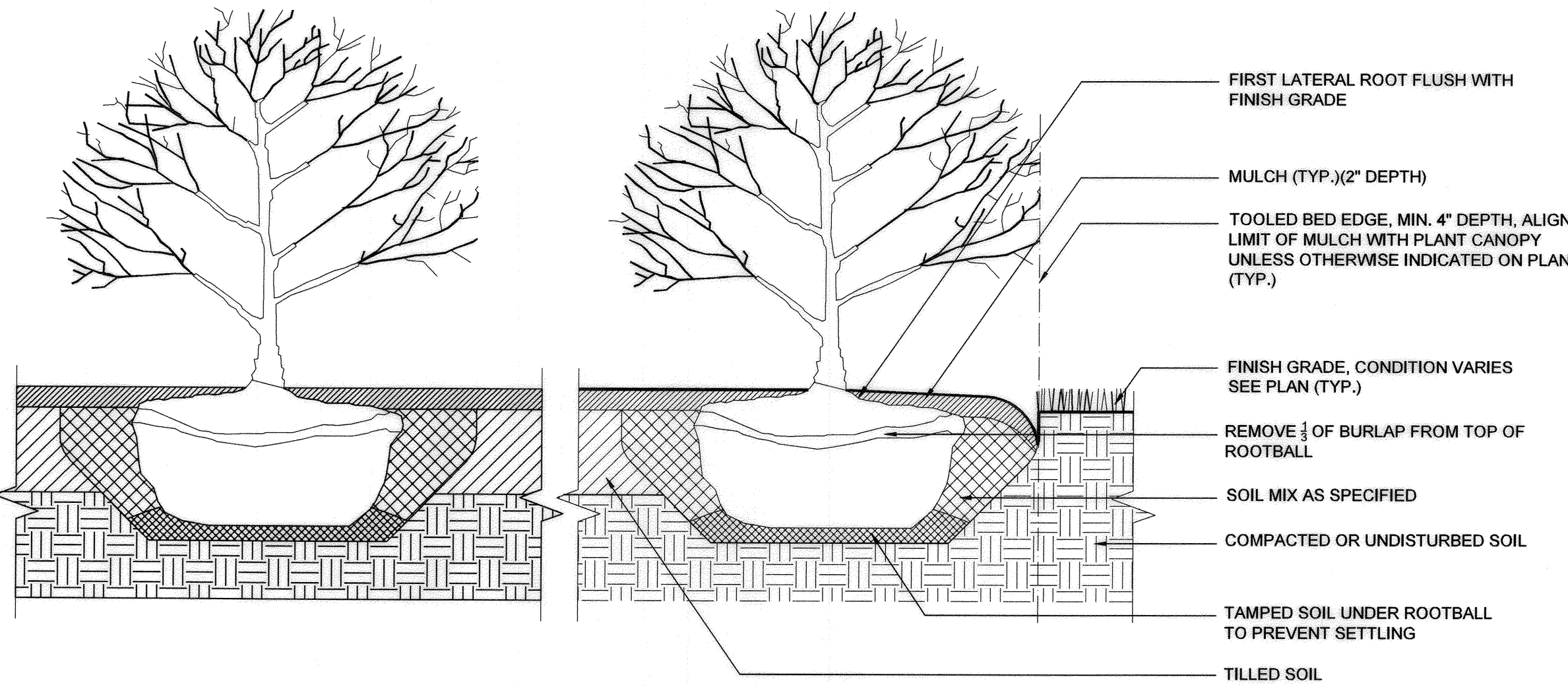


**NOTES:**  
1. REFERENCE PLAN FOR ADJACENT PLANTING CONDITIONS.  
2. NEVER CUT DOMINANT LEADER(S).  
3. SET TREE WITH 1/8 OR 2" MAX. ROOTBALL ABOVE FINISH GRADE.

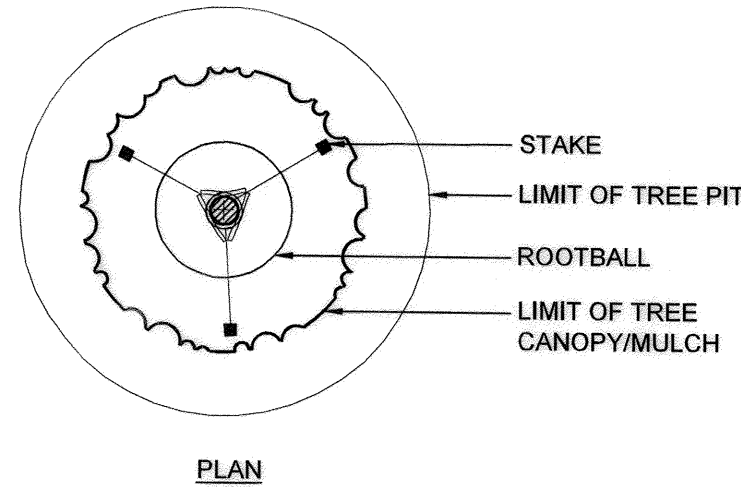


**3 TYPICAL ORNAMENTAL TREE PLANTING; STAKED**  
1/2"=1'-0"

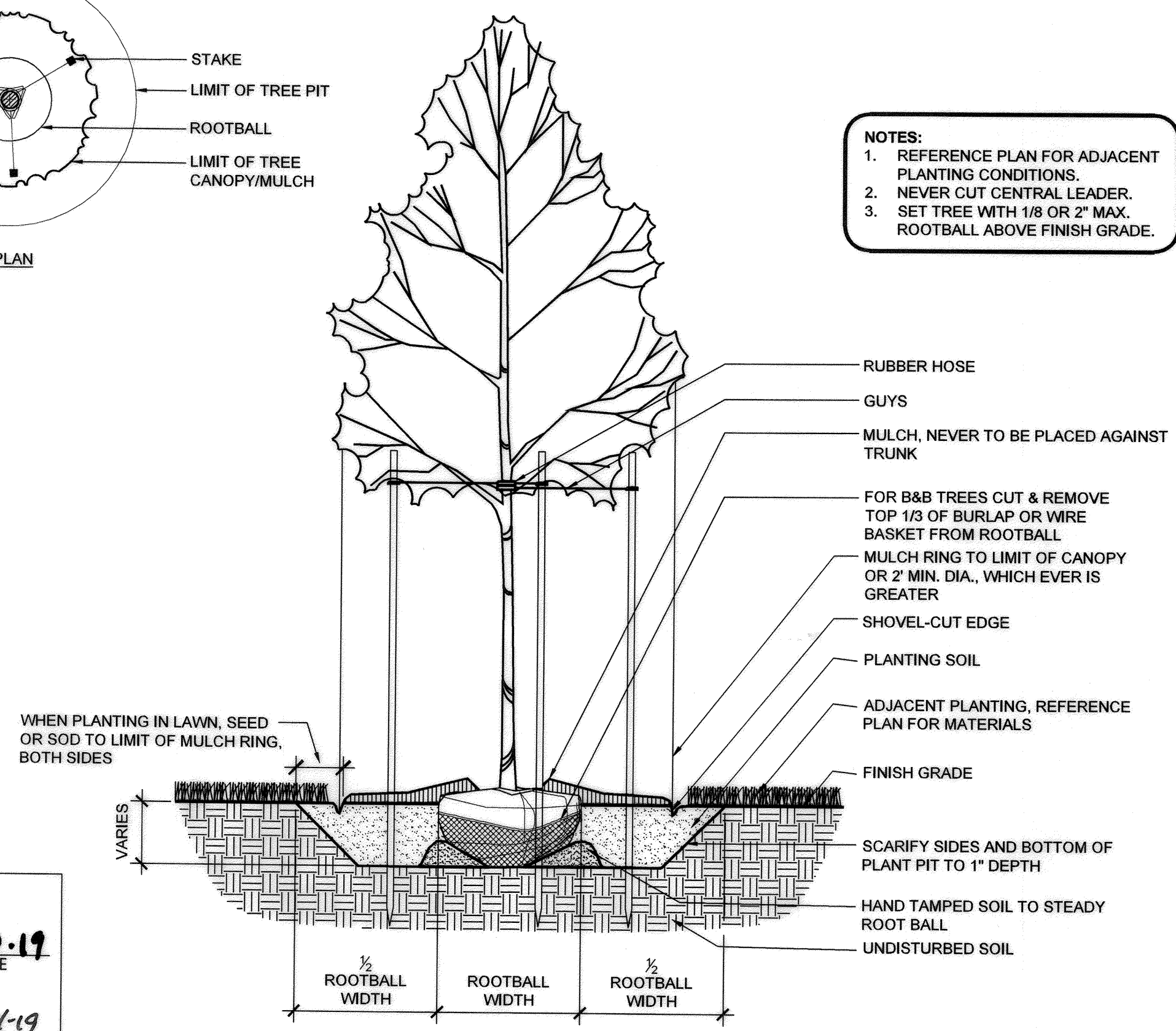
- SEQUENCE OF CONSTRUCTION (GENERAL) REFER TO SPECIFICATIONS**
1. STAKE OUT PLANT/BED LOCATIONS.
  2. CUT EDGE OF PLANT BED
  3. TILL SOIL AND APPLY AMENDMENTS TO ENTIRE PLANTING AREA.
  4. APPLY PRE-EMERGENT HERBICIDE (TWO WEEKS PRIOR TO PLANTING).
  5. INSTALL PLANTS.
  6. INSTALL FERTILIZER TABLETS IN EACH PLANT PIT.
  7. PLACE BACKFILL.
  8. WATER EACH INDIVIDUAL PLANT THOROUGHLY.
  9. PLACE MULCH OVER ENTIRE PLANT BED.
  10. WATER ENTIRE PLANT BED THOROUGHLY.



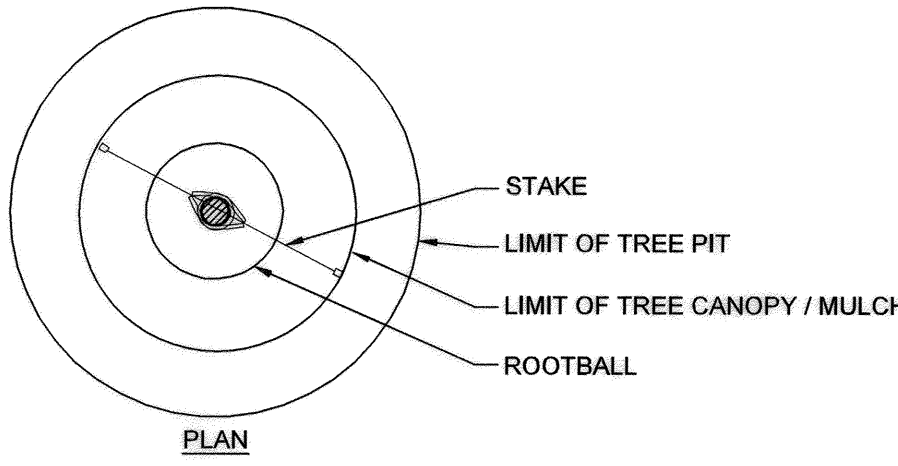
**4 TYPICAL SHRUB PLANTING**  
1"=1'-0"



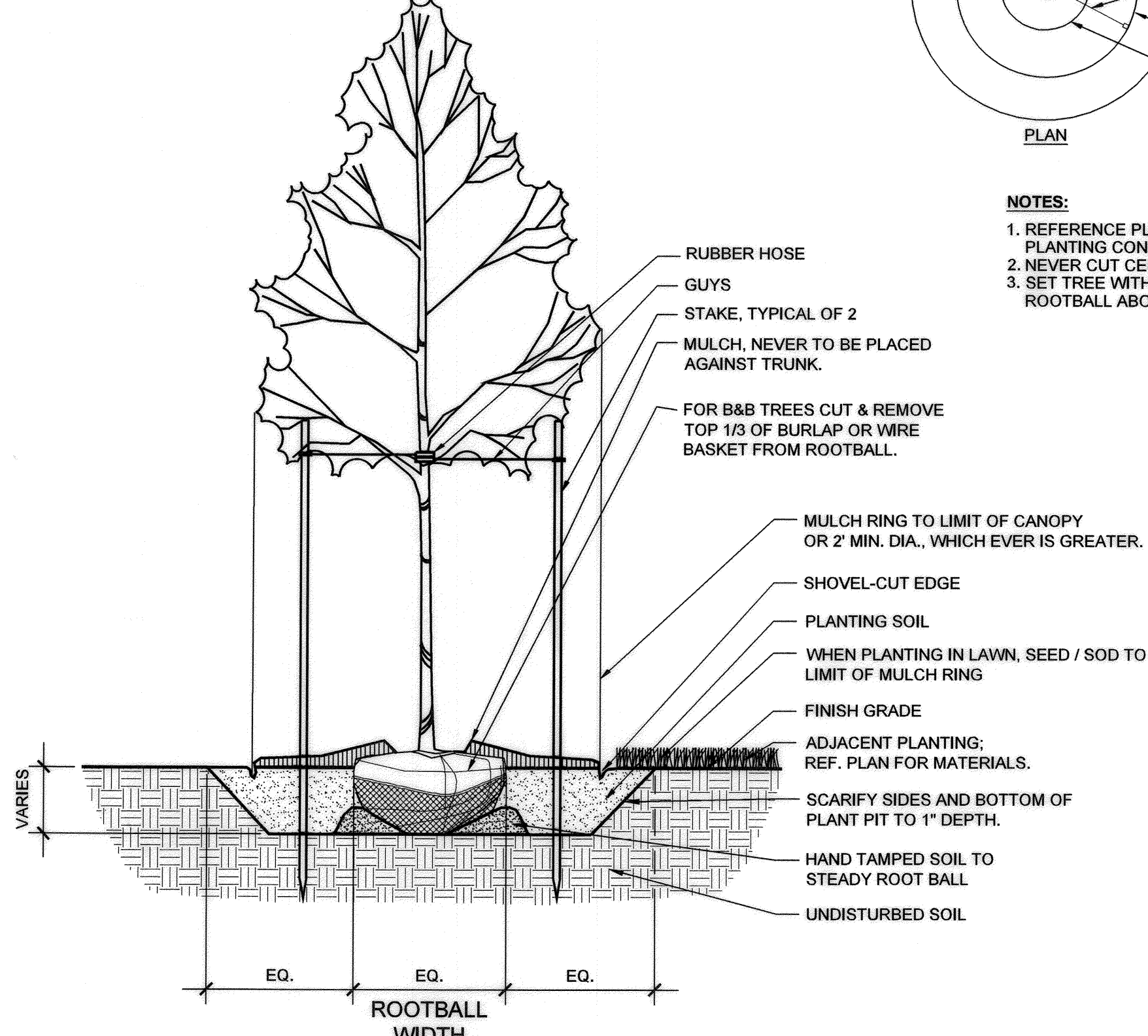
**NOTES:**  
1. REFERENCE PLAN FOR ADJACENT PLANTING CONDITIONS.  
2. NEVER CUT CENTRAL LEADER.  
3. SET TREE WITH 1/8 OR 2" MAX. ROOTBALL ABOVE FINISH GRADE.



**4 TYPICAL TREE PLANTING (2.5" - 4" CAL.; LESS THAN 14' HT.), STAKED**  
1"=1/2'-0"



**NOTES:**  
1. REFERENCE PLAN FOR ADJACENT PLANTING CONDITIONS.  
2. NEVER CUT CENTRAL LEADER.  
3. SET TREE WITH 1/8 OR 2" MAX. ROOTBALL ABOVE FINISH GRADE.



**6 TYPICAL TREE PLANTING (LESS THAN 12' HT., 2.5" CAL.); STAKED**  
1"=1'-0"

**CERTIFICATION NOTE:**

1. I/WE CERTIFY THAT THE LANDSCAPING SHOWN ON THIS PLAN WILL BE DONE ACCORDING TO THE PLAN, SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL FOR ALTERNATIVE COMPLIANCE AND THE CRESCENT NEIGHBORHOOD DESIGN GUIDELINES. I/WE FURTHER CERTIFY THAT UPON COMPLETION A LETTER OF LANDSCAPE INSTALLATION, ACCOMPANIED BY AN EXECUTED ONE YEAR GUARANTEE OF PLANT MATERIALS, WILL BE SUBMITTED TO THE DEPARTMENT OF PLANNING AND ZONING.

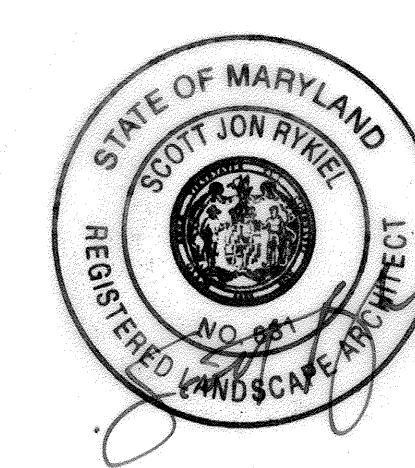
*William J. Rowe* 2.18.19  
DEVELOPER'S/OWNER'S NAME  
*Wm. J. Rowe SVP*  
DEVELOPER'S/OWNER'S NAME

- ENVIRONMENTAL DATA SOURCES**
1. FLOODPLAIN INFORMATION SHOWN HEREON REFLECTS THE RESULT OF A STUDY PERFORMED BY BIO-HABITATS DATED 06/18/2015.
  2. WETLANDS AND ASSOCIATED ENVIRONMENTAL INFORMATION SHOWN HEREON REFLECT THE RESULT OF AN INVESTIGATION PERFORMED BY DMW DATED MARCH 2015.
  3. SOIL SURVEY INFORMATION SHOWN HEREON REFLECTS HOWARD COUNTY SOILS INFORMATION DATED 11/25/2007.
  4. DECLARATION OF RESTRICTIVE COVENANT AREAS: ARMY CORPS OF ENGINEERS PERMIT NUMBER 2014-61063, SPECIAL CONDITION #14 REQUIRES THAT ANY WETLAND MITIGATION AREAS BE PROTECTED IN PERPETUITY BY A DECLARATION OF RESTRICTIVE COVENANTS TO BE RECORDED BY JULY 1, 2016. THIS DOCUMENT PROHIBITS ANY DISTURBANCE WITHIN THIS AREA INCLUDED BUT NOT LIMITED TO NEW DEVELOPMENT, INSTALLATION OF UTILITIES, GRADING, REMOVAL OF VEGETATION, ETC. THE MARYLAND DEPARTMENT OF THE ENVIRONMENT AND THE ARMY CORPS OF ENGINEERS HAVE PLACED THESE RESTRICTIVE COVENANTS ON THE AREA TO PROTECT WATER QUALITY, ENVIRONMENTAL RESOURCES AND THE MITIGATION AREA REQUIRED TO OFF-SET IMPACTS TO WETLANDS, STREAMS AND FLOODPLAINS PROPOSED BY THIS DEVELOPMENT.
- DATA SOURCES:**
1. EXISTING TOPOGRAPHIC INFORMATION SHOWN HEREON REFLECTS THE RESULT OF A TOPOGRAPHIC SURVEY PERFORMED BY DMW INC. ON 8/27/15 & 12/3/15, AERIAL TOPOGRAPHY FLOWN BY MCKENZIE SNYDER, INC. MARCH, 2007 AND FIELD SURVEY BY GLW ON AUGUST, 2011. GRADES AS SHOWN ON F-15-106 AND F-16-107 PREPARED BY GLW, AND MASS GRADING SDP-16-075 BY DMW.
  2. BOUNDARY AND PARCEL INFORMATION SHOWN HAS BEEN PROVIDED BY GUTSCHICK, LITTLE, AND WEBER, P.A.

**FILE NUMBERS:**  
F 15-106, F 16-107, F 17-059, F-18-017, SDP-16-075, SDP-17-027, WP-17-010, WP-17-049, WP-17-052, WP-17-059, WP-17-115, WP-18-020, WP-18-021, SP-16-009, WP-17-100

**CONTRACT NUMBERS:**  
24-4981-D, 24-4975-D, 24-4974-D.

**PROFESSIONAL CERTIFICATION**  
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 631, EXPIRATION DATE: 09/21/19.



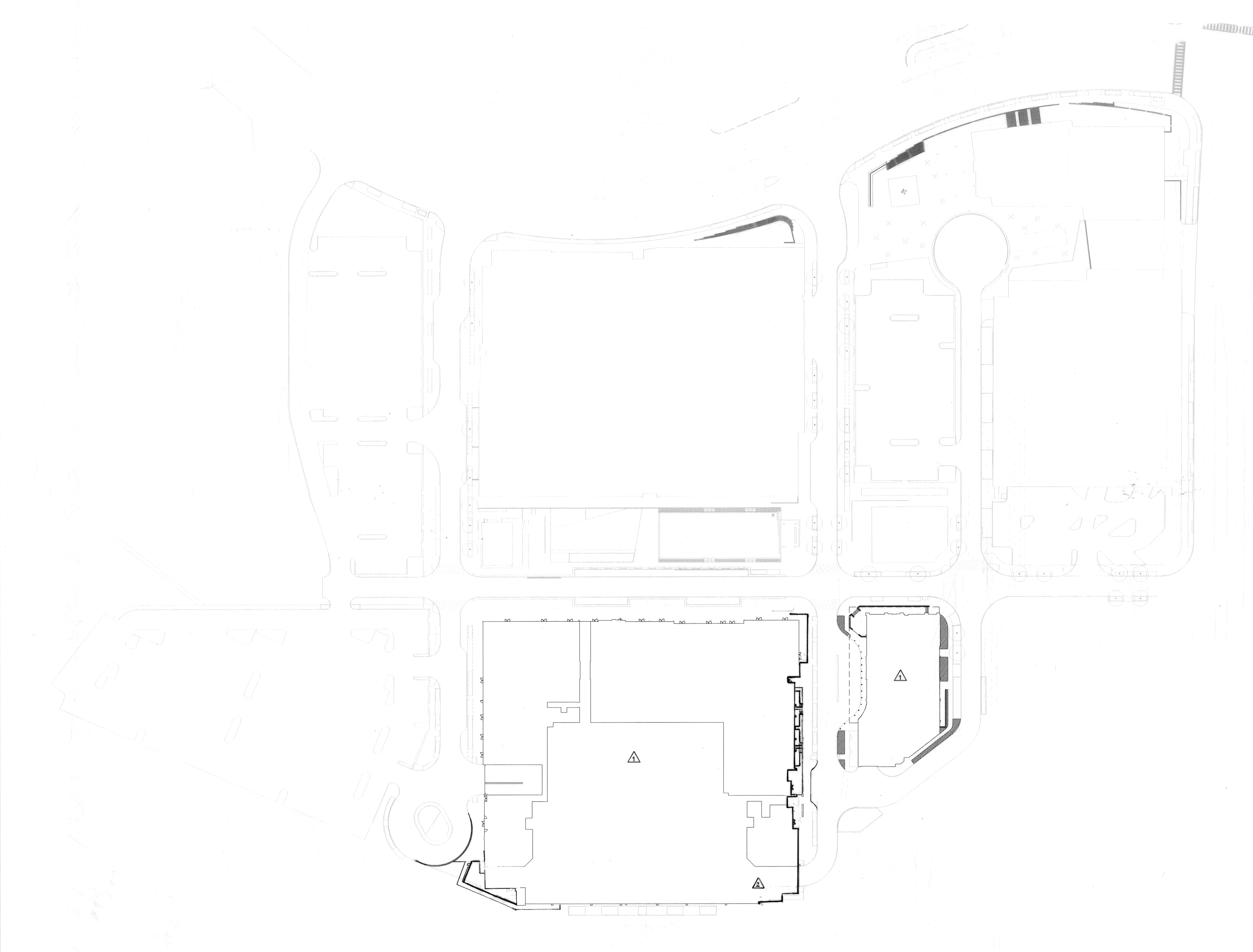
APPROVED: HOWARD COUNTY DEPT. OF PLANNING & ZONING  
*Al Edmund*  
CHIEF, DEVELOPMENT ENGINEERING DIVISION  
DATE: 3-20-19

*Kevin J. ...*  
CHIEF, DIVISION OF LAND DEVELOPMENT  
DATE: 4-24-19

*William J. Rowe*  
DIRECTOR, DIVISION OF LAND DEVELOPMENT  
DATE: 4-24-19

APPROVED: PLANNING BOARD OF HOWARD COUNTY  
DATE: 11/18/18

Date	No.	Revision Description
<b>DOWNTOWN COLUMBIA</b>		
<b>CRESCENT NEIGHBORHOOD</b>		
<b>PHASE I AREA 3, PHASE 2</b>		
PARCELS D-1, D-7, D-8, D-9, D-11, D-12 AND D-13		
OWNER / DEVELOPER: THE HOWARD RESEARCH AND DEVELOPMENT CORPORATION COLUMBIA REGIONAL OFFICE 10480 LITTLE PATUXENT PARKWAY SUITE 400 COLUMBIA, MD 21044 410-964-4800		
<b>MAHAN RYKIEL ASSOCIATES INC</b>		
The Stieff Silver Building, 800 Wyman Park Drive, Suite 100, Baltimore, MD 21211 410.235.6001		
SUBDIVISION NAME: DOWNTOWN COLUMBIA		
SECTION/AREA: AREA 3		
LOT/PARCEL #: PARCEL D		
TAX ZONING/MAP: 36		
ELECT. CIRCUTY: 5		
CENSUS TRACT: 605602		
WATER CODE: 550		
SEWER CODE: LITTLE PATUXENT		
STAGE: 1		
TITLE: L-500 - LANDSCAPE PLANTING DETAILS		
Des. By	MP	SCALE AS SHOWN
Drn. By	BB	Date 02/15/19
Chk. By	MP	Approved --
		Proj. No. 04038.80
		62 of 78



- NOTES:**
1. THIS PLAN IS SCHEMATIC ONLY. DESIGN OF IRRIGATION SYSTEM BY OTHERS.
  2. AREAS TO BE IRRIGATED USING NON-POTABLE WATER.
  3. IRRIGATED ZONES WILL BE IRRIGATED USING A HIGH-EFFICIENCY AUTOMATIC IRRIGATION SYSTEM, OPERATED BY CONTROLLER(S), LOCATED IN MECHANICAL ROOM(S) AS APPROVED BY LANDSCAPE ARCHITECT.
  4. FLOW CONTROL WILL BE ADDRESSED BY THE USE OF MOISTURE SENSOR AND MASTER VALVE.
  5. DRIP TUBING TO BE INSTALLED TO MEET MANUFACTURER'S REQUIREMENTS FOR SPACING AND FLOW BASED ON PLANT TYPE, SOIL CONDITIONS, ETC. IF NECESSARY, CONTRACTOR SHALL ADJUST SPACING TIGHTER TO ENSURE THAT ADEQUATE WETTING PATTERN OCCURS THROUGHOUT SOIL.
  6. FINAL IRRIGATION DESIGN AND EQUIPMENT LOCATION TO BE APPROVED BY LANDSCAPE ARCHITECT, INCLUDING BACKFLOW PREVENTOR, IRRIGATION CONTROLLER, VALVE BOXES, RAIN SENSORS, HOSE BIBS, ETC.
  7. ALL VALVE BOXES TO BE LOCATED IN PLANTING AREAS AS APPROVED BY LANDSCAPE ARCHITECT.
  8. CONTRACTOR TO ACCOMMODATE IRRIGATION LATERALS AND CONDUITS THROUGH SLEEVING IN PAVING, WALLS AND STAIRS. COORDINATE AS NEEDED.

**IRRIGATION KEY**

DRIP IRRIGATION

**CERTIFICATION NOTE:**

1. I/WE CERTIFY THAT THE LANDSCAPING SHOWN ON THIS PLAN WILL BE DONE ACCORDING TO THE PLAN, SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL FOR ALTERNATIVE COMPLIANCE AND THE CRESCENT NEIGHBORHOOD DESIGN GUIDELINES. I/WE FURTHER CERTIFY THAT UPON COMPLETION A LETTER OF LANDSCAPE INSTALLATION, ACCOMPANIED BY AN EXECUTED ONE YEAR GUARANTEE OF PLANT MATERIALS, WILL BE SUBMITTED TO THE DEPARTMENT OF PLANNING AND ZONING.

DEVELOPER'S/OWNER'S NAME  
**HRD Corporation**

DEVELOPER'S/OWNER'S NAME  
**RUTH HOANG**

**PROFESSIONAL CERTIFICATION**

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL LANDSCAPE ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 712, EXPIRATION DATE: 05/16/2021

**FOR REDLINE REVISION #2 ONLY**

**12-10-2020**  
DATE

PROFESSIONAL LARCH. No. 712

**REVISIED SITE DEVELOPMENT PLAN**

**FILE NUMBERS:**  
F-15-106, F-16-107, F-17-059, F-18-017, SDP-16-075, SDR-17-027, WP-17-010, WP-17-049, WP-17-052, WP-17-059, WP-17-115, WP-18-020, WP-18-021, SP-16-009, WP-17-100

**CONTRACT NUMBERS:**  
24-4931-D, 24-4975-D, 24-4974-D

**PROFESSIONAL CERTIFICATION**  
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL LANDSCAPE ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 631, EXPIRATION DATE: 09/21/2019.

**ENVIRONMENTAL DATA SOURCES**

1. FLOODPLAIN INFORMATION SHOWN HEREON REFLECTS THE RESULT OF A STUDY PERFORMED BY BIO-HABITATS DATED 06/18/2015.
2. WETLANDS AND ASSOCIATED ENVIRONMENTAL INFORMATION SHOWN HEREON REFLECT THE RESULT OF AN INVESTIGATION PERFORMED BY DMW DATED MARCH 2015.
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**DATA SOURCES:**

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2. BOUNDARY AND PARCEL INFORMATION SHOWN HAS BEEN PROVIDED BY GUTSCHICK, LITTLE, AND WEBER, P.A.

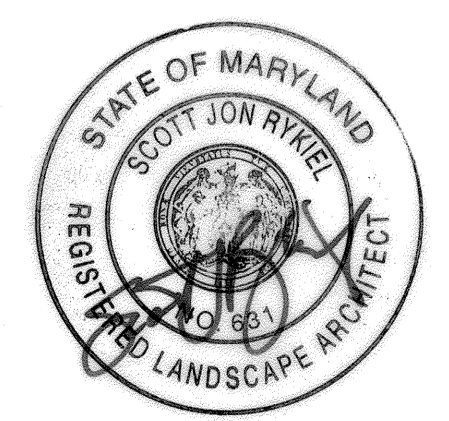
**DATE**      **NO.**      **REVISION DESCRIPTION**

10/26/2020	1	UPDATE PLANS PER REVISED BLDG C LAYOUT & UTILITIES
5/15/2019	1	HARDSCAPE AND BLDG REVISIONS

**DOWNTOWN COLUMBIA  
CRESCENT NEIGHBORHOOD  
PHASE I AREA 3, PHASE 2  
PARCELS D-1, D-7, D-8, D-9,  
D-11, D-12 AND D-13**

**OWNER / DEVELOPER:**  
THE HOWARD RESEARCH AND DEVELOPMENT CORPORATION  
COLUMBIA REGIONAL OFFICE  
10480 LITTLE PATUXENT PARKWAY SUITE 400  
COLUMBIA, MD 21044  
410-964-4800

**MAHAN RYKIEL  
ASSOCIATES INC**  
The Steiff Silver Building, 800 Wyman Park Drive,  
Suite 100, Baltimore, MD 21211 410.235.6001

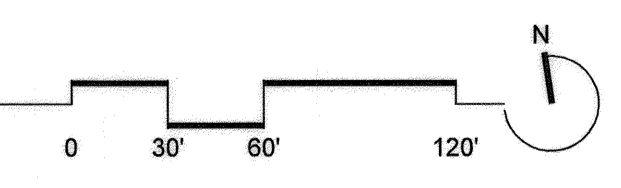


APPROVED:  
PLANNING BOARD OF HOWARD COUNTY  
DATE: October 17, 2019

SUBDIVISION NAME	COLUMBIA	SECTION/AREA	CRESCENT NEIGHBORHOOD PHASE I AREA 3	LOT/PARCEL #	PARCEL D
PLAT OR L.P.	7	BLOCK #	36	ELECT. DISTRICT	5
PLAT/ZONE	DMAU	TAX ZONE/MAP	36	CENSUS TRACT	605602
WATER CODE	550	SEWER CODE	5	STAGE	1

Des. By	MP	SCALE	AS SHOWN	Proj. No.	04038.80
Drn. By	BB	Date	02/15/19		
Chk. By	MP	Approved			63 of 78

**1 IRRIGATION PLAN**  
1"=60'-0"

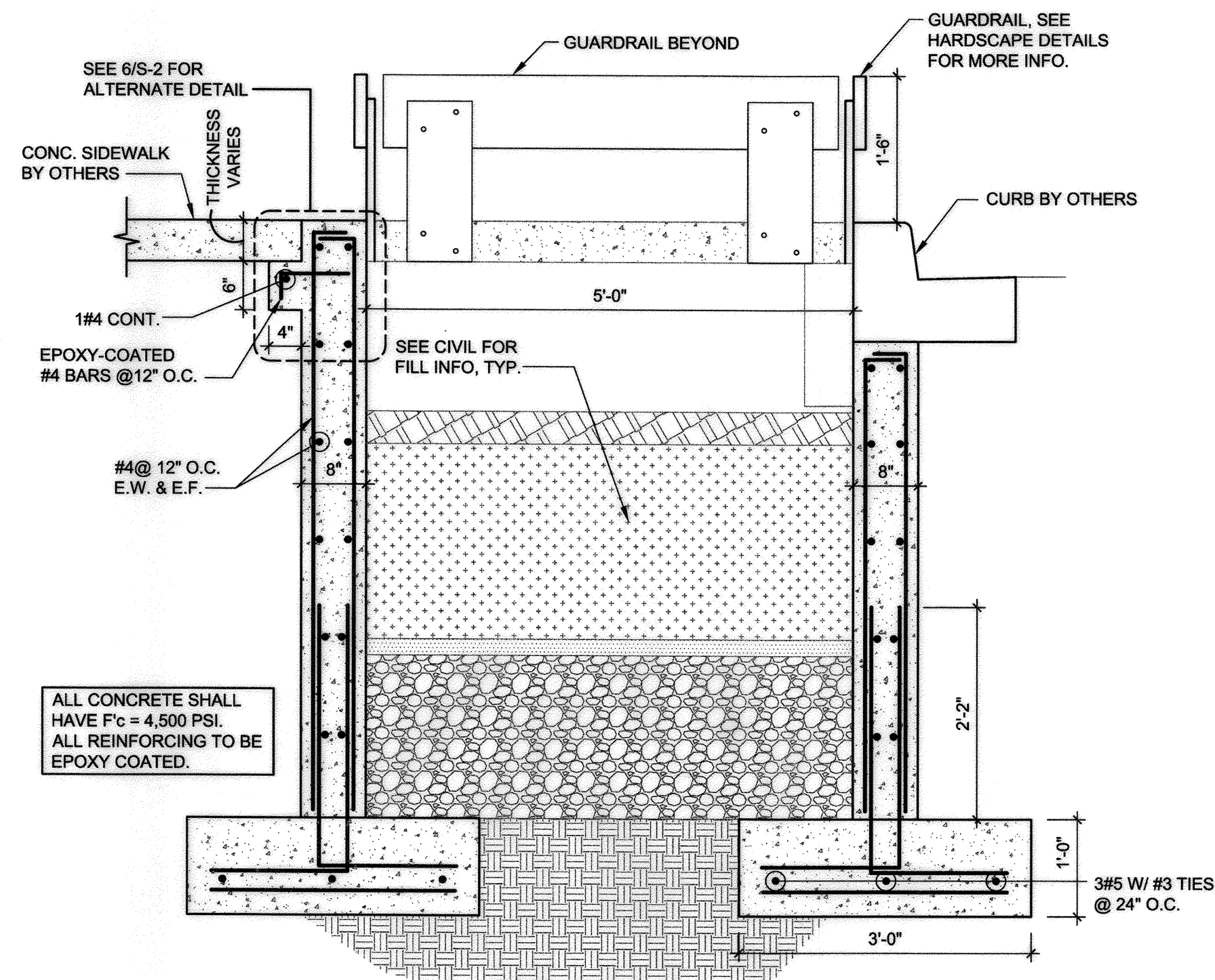


HOWARD COUNTY DEPT. OF PLANNING & ZONING

CHIEF, DEVELOPMENT ENGINEERING DIVISION      **12-4-18**      DATE

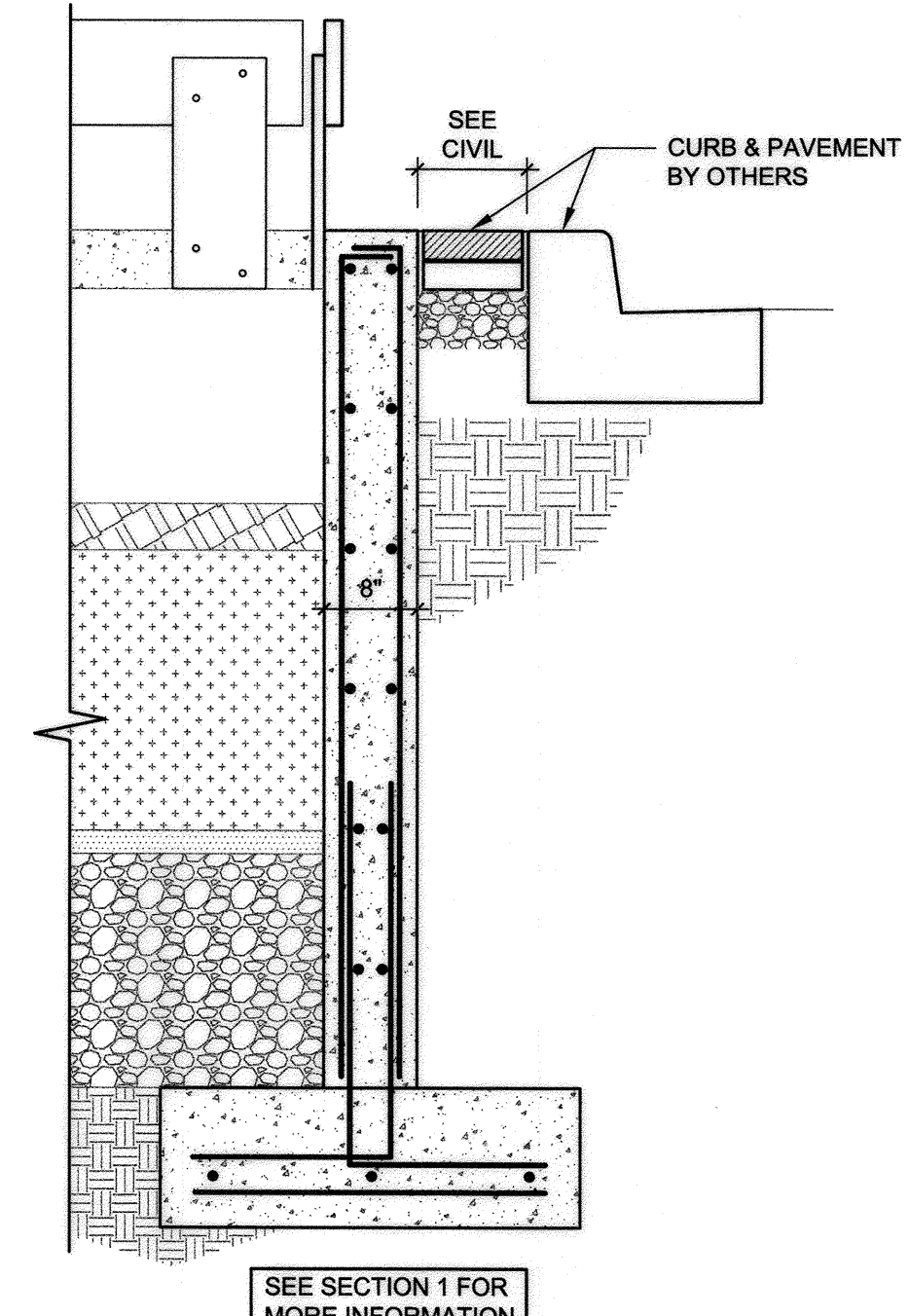
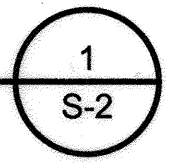
CHIEF, DIVISION OF LAND DEVELOPMENT      **12-11-19**      DATE

DIRECTOR      **12-12-19**      DATE



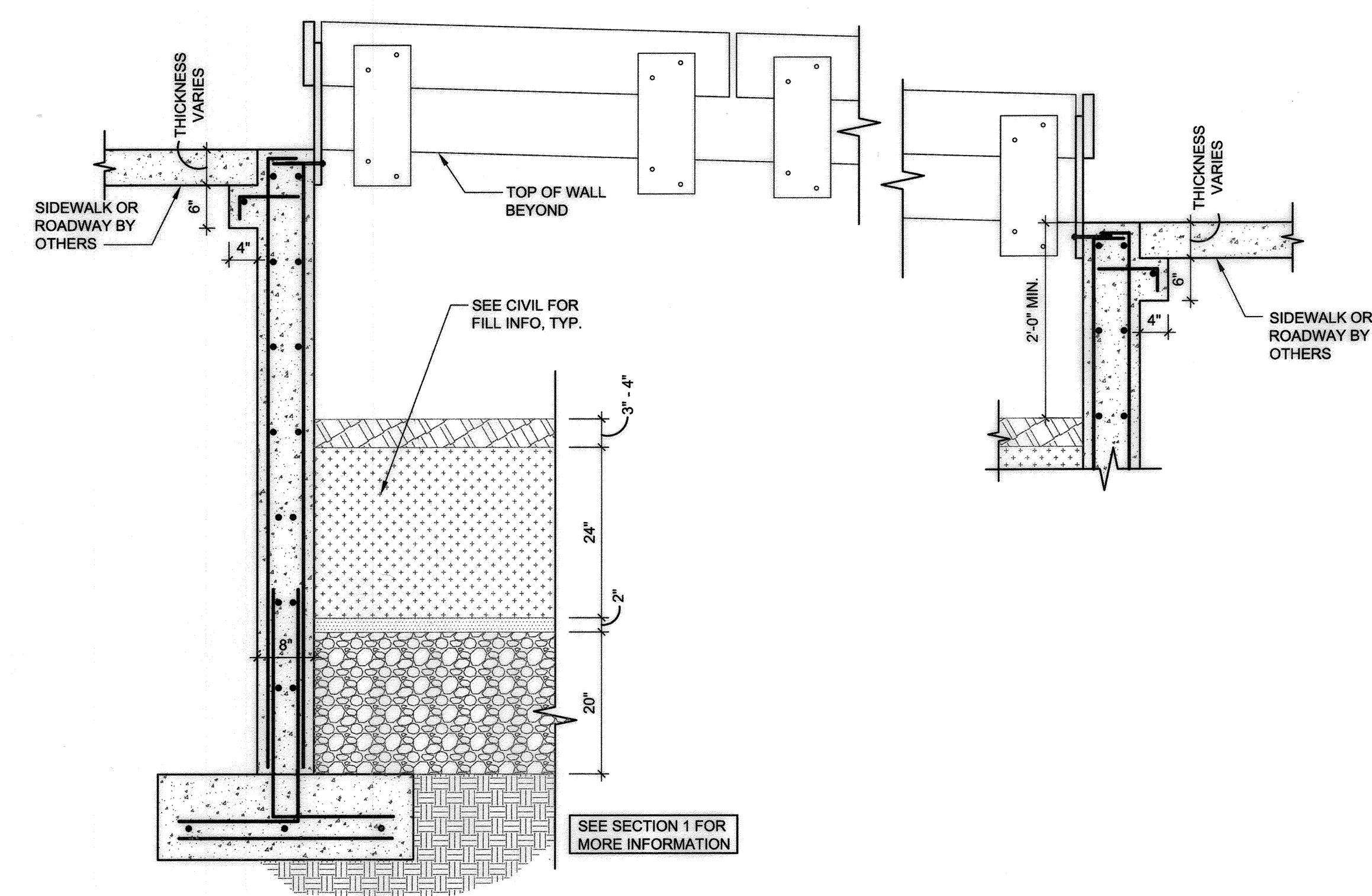
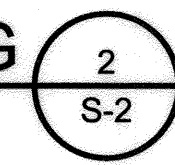
SECTION @ ESD IN OPEN SPACE

SCALE: 3/4" = 1'-0"



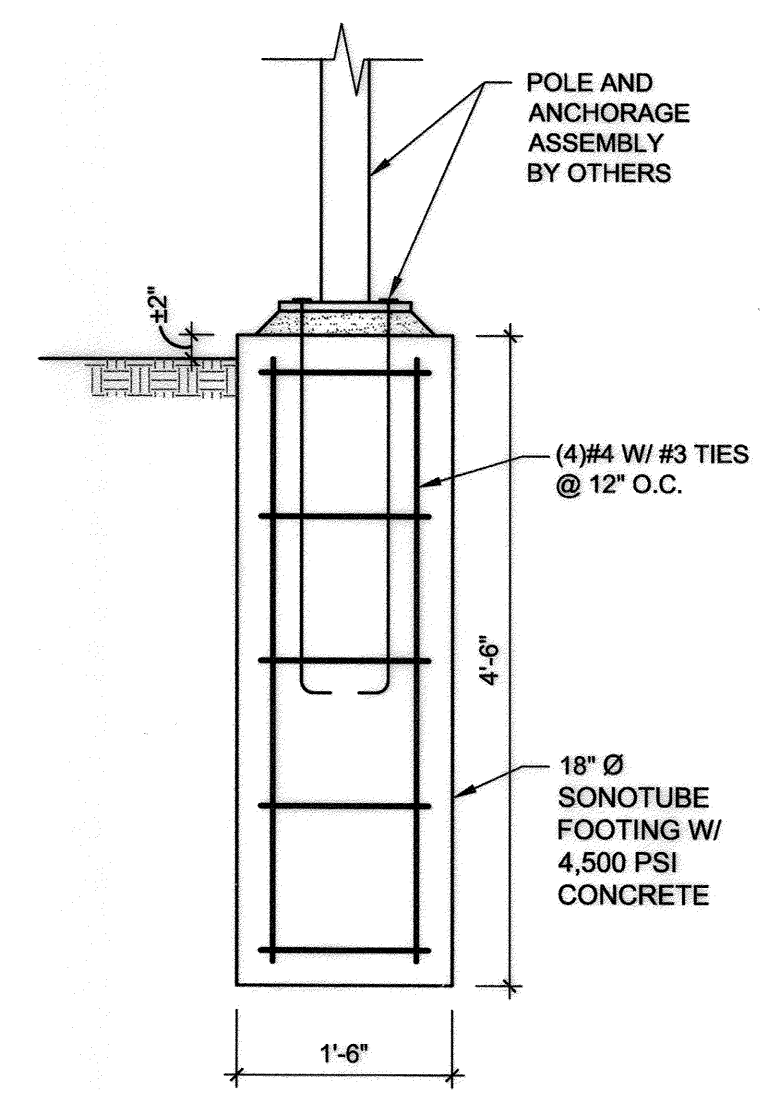
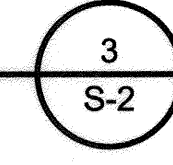
SECTION @ ESD IN CONCRETE PAVING AREA W/ STREET PARKING

SCALE: 3/4" = 1'-0"

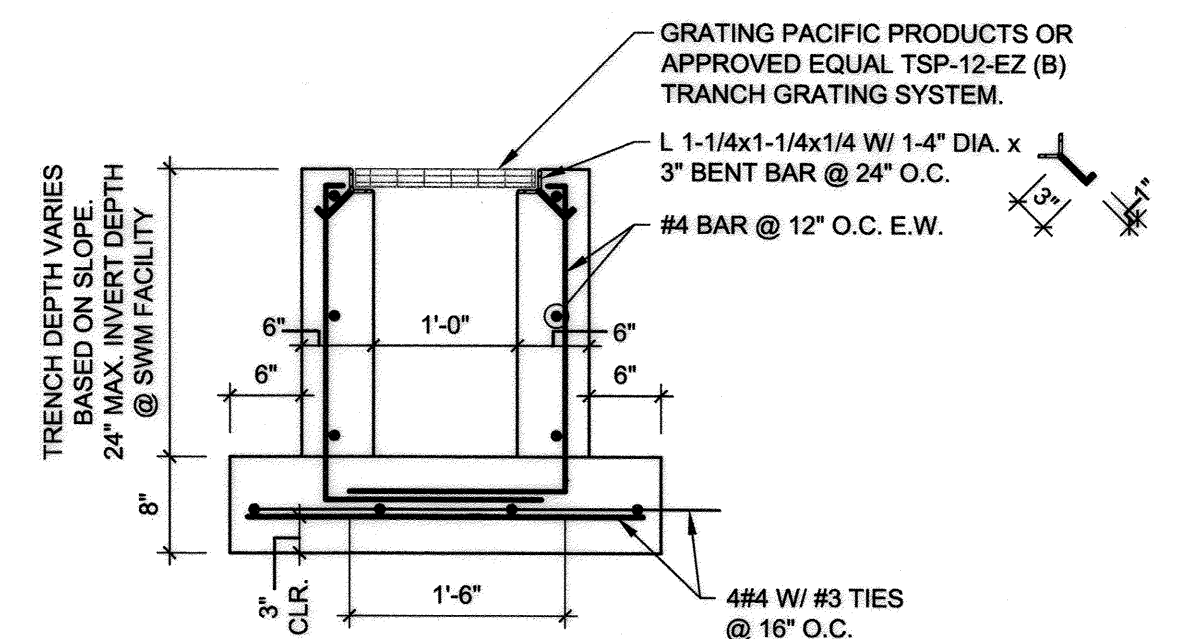
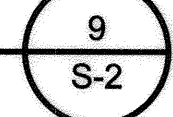


SECTION

SCALE: 3/4" = 1'-0"

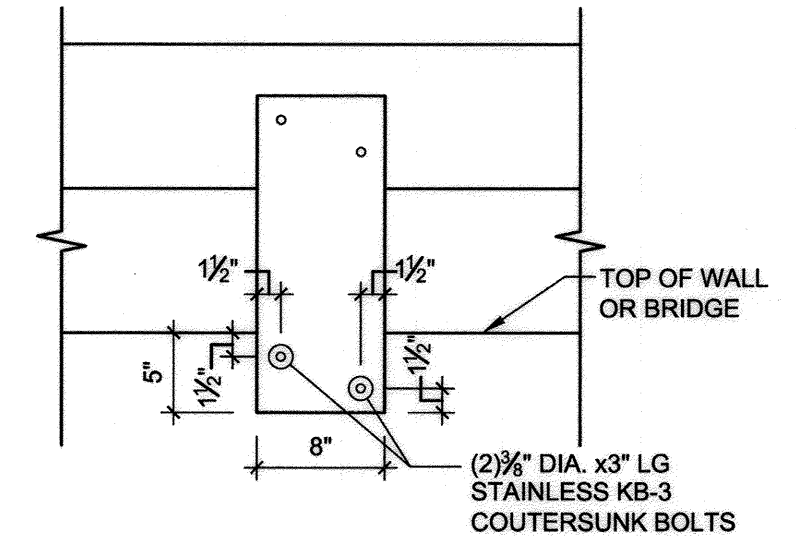
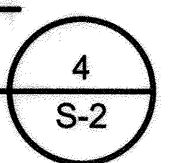


SECTION



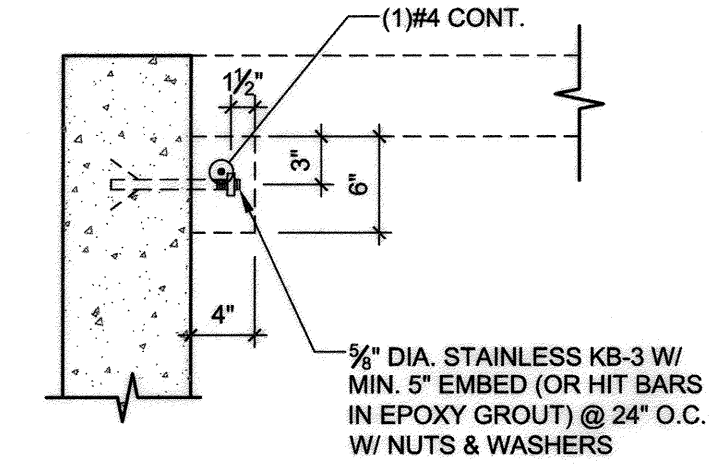
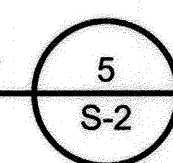
CROSS SECTION A-A ROOF DRAIN CONCRETE CONVEYANCE CHANNEL DETAIL

SCALE: 3/4" = 1'-0"



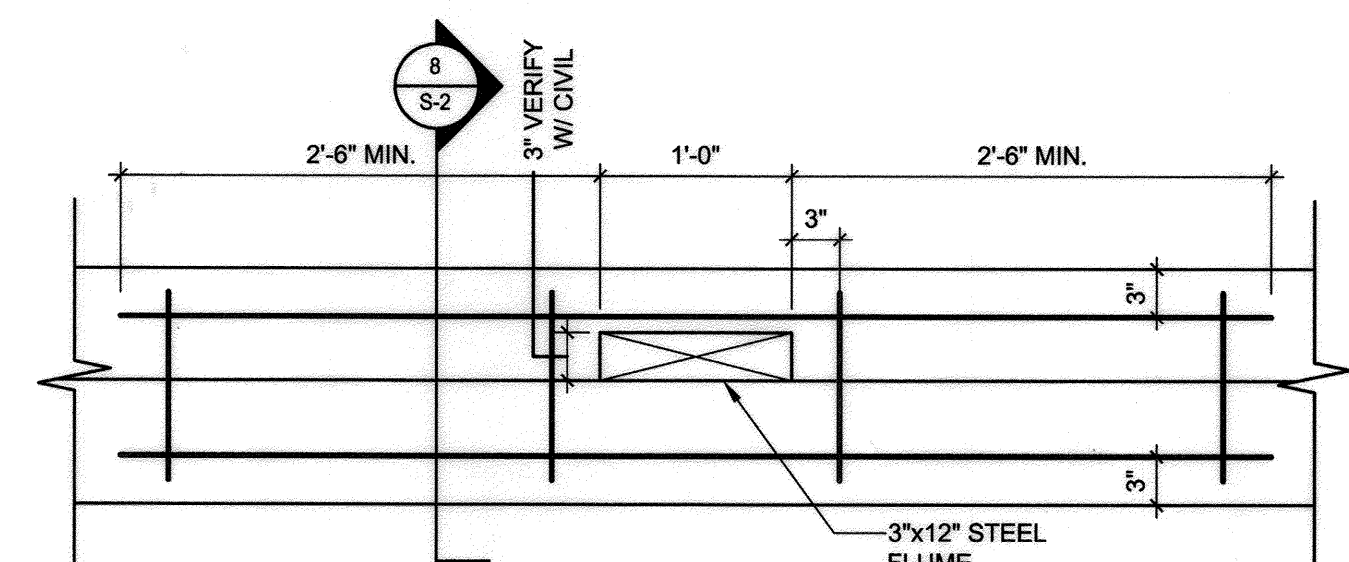
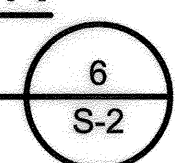
RAIL CONNECTION DETAIL

SCALE: 1" = 1'-0"



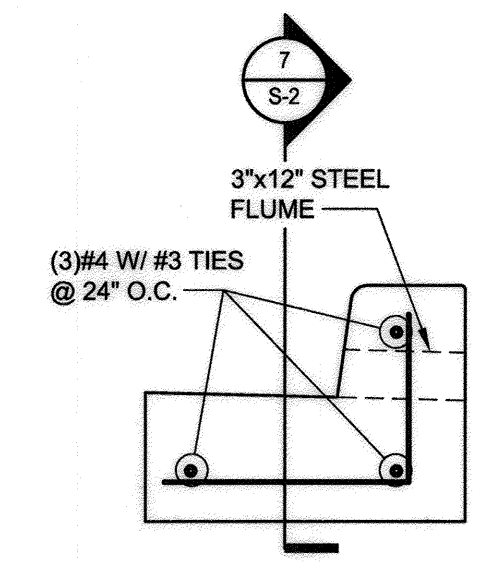
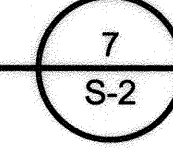
ALTERNATE HAUNCH OR CORBEL DETAIL

SCALE: 1" = 1'-0"



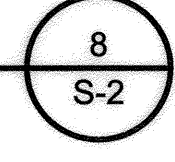
7" CURB AND GUTTER W/ STEEL FLUME OPENING

SCALE: 1" = 1'-0"



7" CURB AND GUTTER W/ STEEL FLUME OPENING

SCALE: 1" = 1'-0"



APPROVED: HOWARD COUNTY DEPT. OF PLANNING & ZONING  
 [Signature] 3-20-19  
 CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE  
 [Signature] 4-24-19  
 CHIEF, DIVISION OF LAND DEVELOPMENT DATE  
 [Signature] 4-24-19  
 DIRECTOR, DIVISION OF LAND DEVELOPMENT DATE

**ENVIRONMENTAL DATA SOURCES**  
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 2. WETLANDS AND ASSOCIATED ENVIRONMENTAL INFORMATION SHOWN HEREON REFLECT THE RESULT OF AN INVESTIGATION PERFORMED BY DMW DATED MARCH 2015.  
 3. SOIL SURVEY INFORMATION SHOWN HEREON REFLECTS HOWARD COUNTY SOILS INFORMATION DATED 11/26/2007  
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**DATA SOURCES:**  
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 2. BOUNDARY AND PARCEL INFORMATION SHOWN HAS BEEN PROVIDED BY GUTSCHICK, LITTLE AND WEBER, P.A. AS SHOWN ON PLATS F-17-059.

**FILE NUMBERS:**  
 F 15-106, F 16-107, F 17-059, F 18-017, SDP-16-075, SDP-18-005, WP-17-010, WP-17-049, WP-17-052, WP-17-115, WP-18-020, WP-18-021, SP-16-009, WP-16-100, FDP-DC-CRESCENT-1, FDP-DC-CRESCENT-1A SDP 17-027, F 17-057, F18-017, WP-18-089, WP-18-105.  
**CONTRACT NUMBERS:**  
 24-4931-D, 24-4975-D, 24-4974-D.

**PROFESSIONAL CERTIFICATION**  
 I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 39426, EXPIRATION DATE: 8/15/2020.

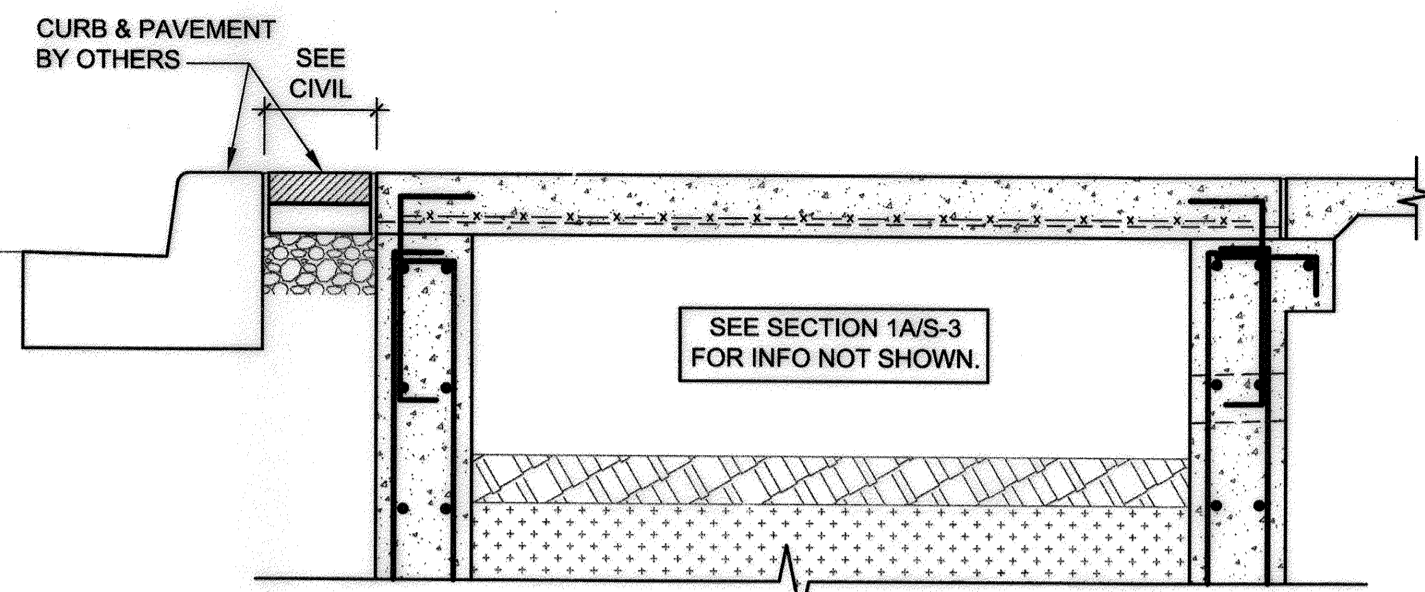
02/15/2019  
 Date  
 [Signature]  
 39426  
 Professional Engr. No.

APPROVED:  
 PLANNING BOARD OF HOWARD COUNTY  
 DATE: 1/15/19

Date	No.	Revision Description
		<b>DOWNTOWN COLUMBIA</b> <b>CRESCENT NEIGHBORHOOD</b> <b>PHASE I AREA 3, PHASE 2</b> PARCELS D-1, D-7, D-8, D-9, D-11, D-12 AND D-13 MIXED USE GREEN OFFICE, RESIDENTIAL, RETAIL, RESTAURANT BUILDING OWNER / DEVELOPER: THE HOWARD RESEARCH AND DEVELOPMENT CORPORATION COLUMBIA REGIONAL OFFICE 10480 LITTLE PATUXENT PARKWAY SUITE 400 COLUMBIA, MD 21044 410-961-1800
<b>SK&amp;A MD</b> Smislova, Kehnemui & Associates, PA 12435 Park Potomac Avenue, Suite 300 • Potomac, MD 20854 P 301.881.1441 F 301.881.8664 W skaengineers.com		
SUBDIVISION NAME: DOWNTOWN COLUMBIA SECTION: PHASE I AREA 3 NEIGHBORHOOD: CRESCENT LOT/PARCEL #: 5-15 WATER CODE: 550 SEWER CODE: LITTLE PATUXENT STAGE: 1 TITLE: S-2 ESD STRUCTURES		
Des. By	SCALE AS SHOWN	Proj. No. 04038.B0
Drn. By	Date 02/15/19	64 of 78
Chk. By	Approved	

NOT USED

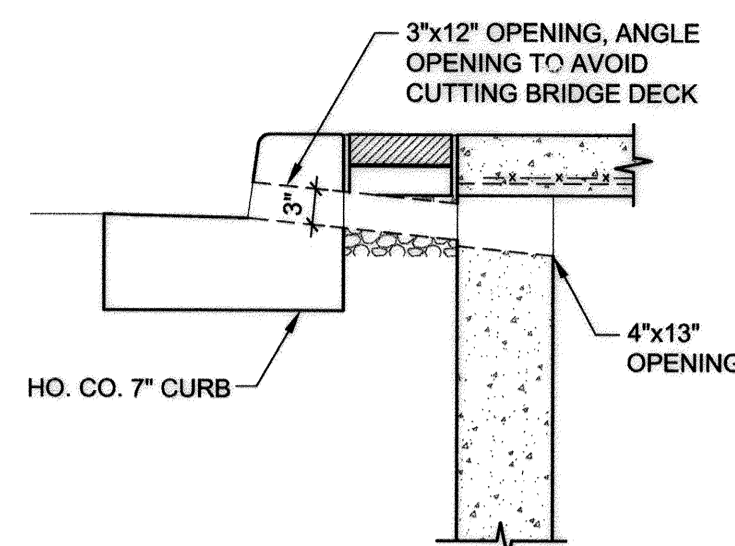
1  
S-3



SECTION @ BRIDGE

SCALE: 3/4" = 1'-0"

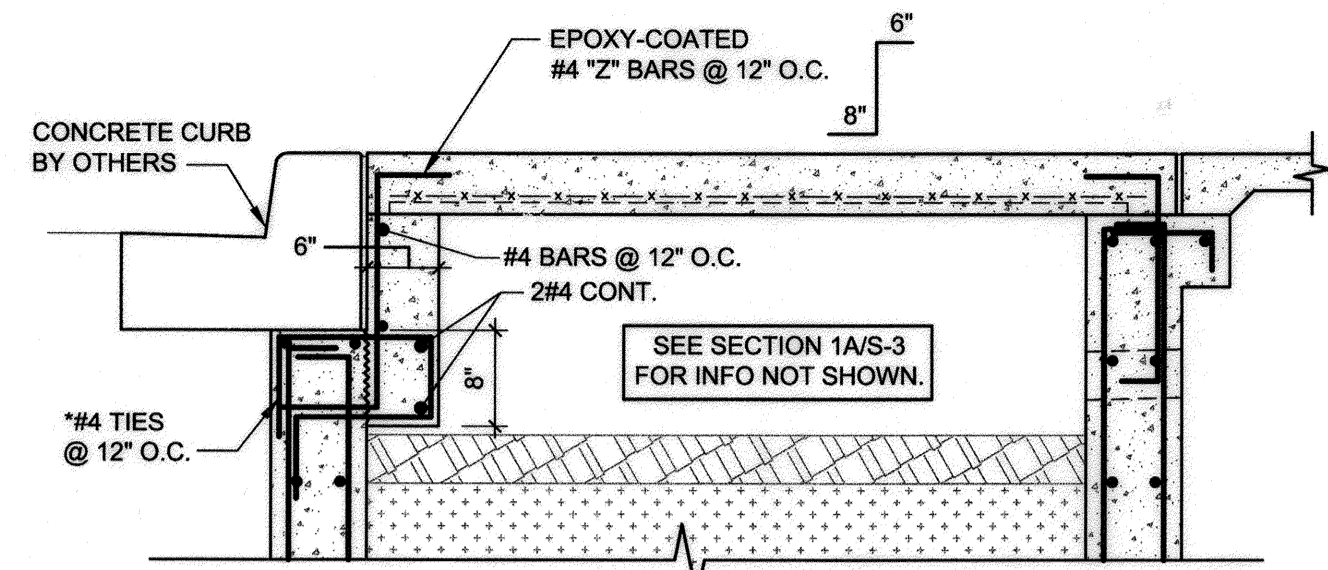
2A  
S-3



SECTION @ 2A W/ STEEL FLUME

SCALE: 3/4" = 1'-0"

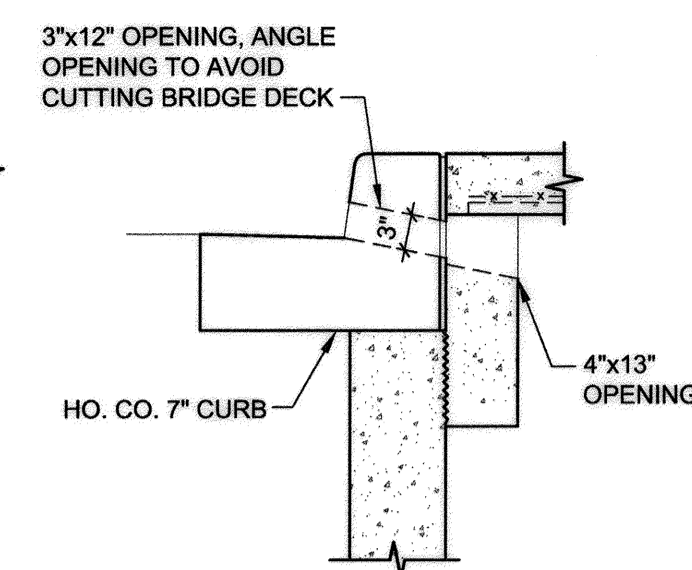
2C  
S-3



SECTION @ BRIDGE

SCALE: 3/4" = 1'-0"

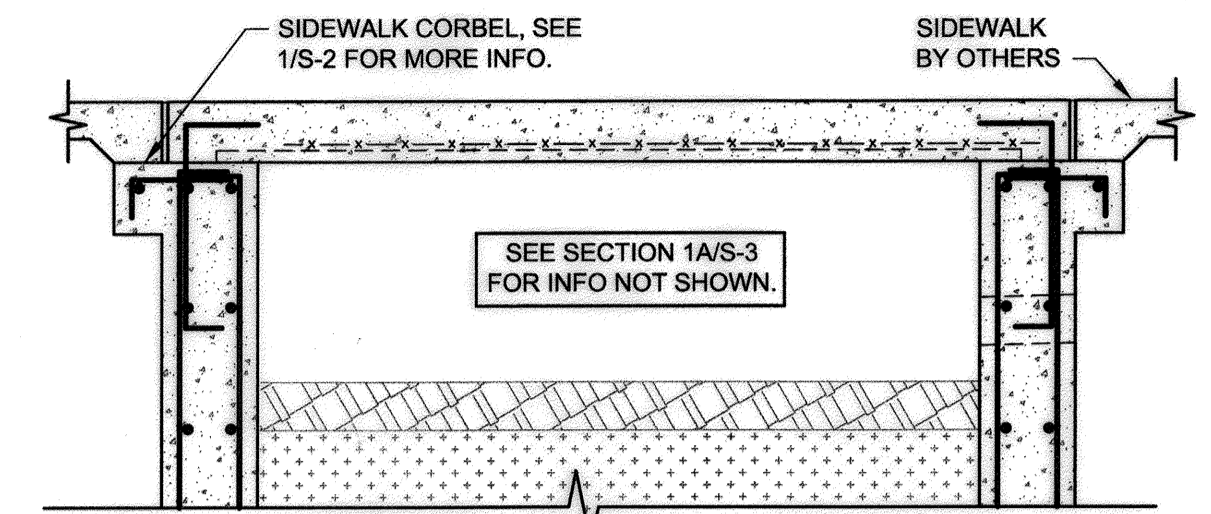
3A  
S-3



SECTION @ 3A W/ STEEL FLUME

SCALE: 3/4" = 1'-0"

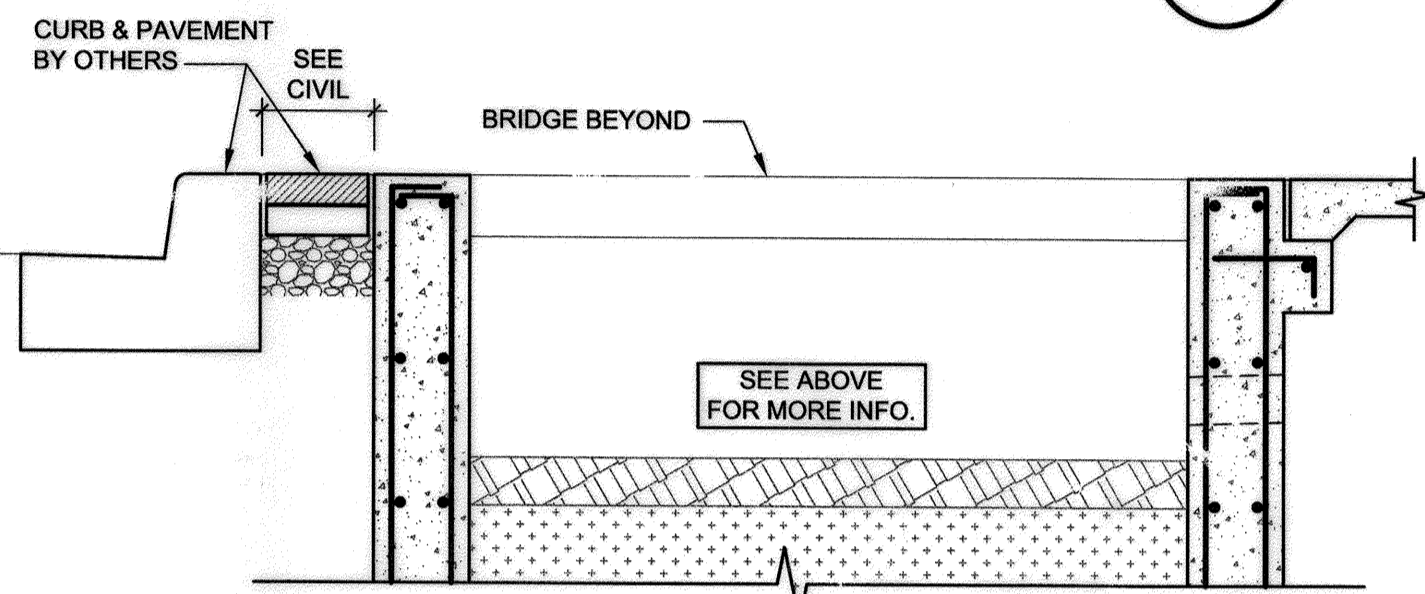
3C  
S-3



SECTION @ BRIDGE

SCALE: 3/4" = 1'-0"

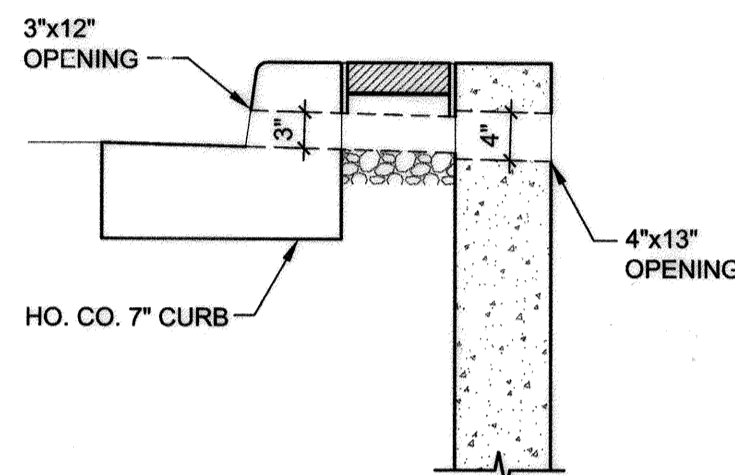
4A  
S-3



SECTION @ OPEN AREA

SCALE: 3/4" = 1'-0"

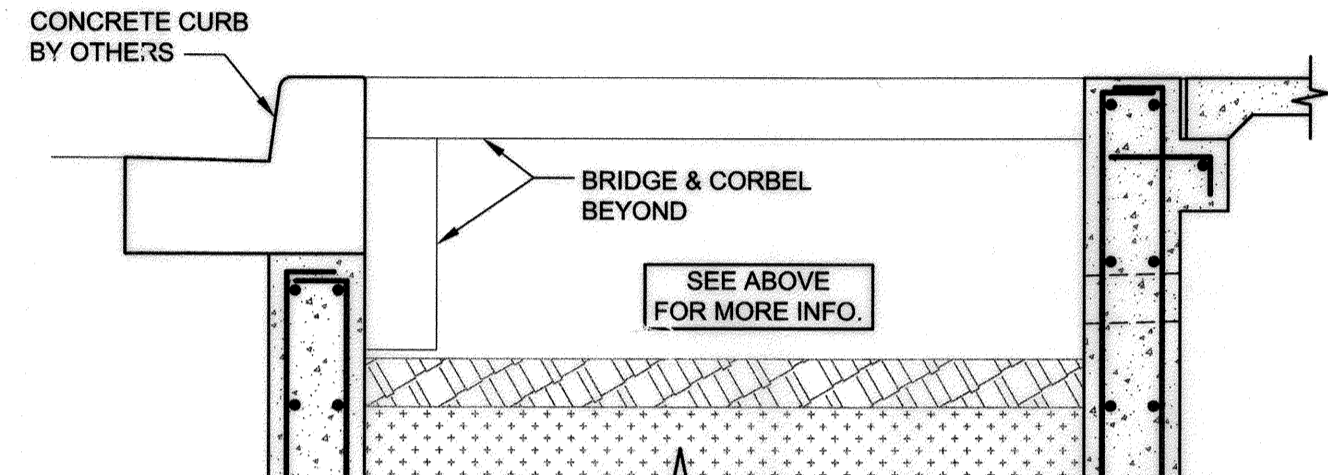
2B  
S-3



SECTION @ 2B W/ STEEL FLUME

SCALE: 3/4" = 1'-0"

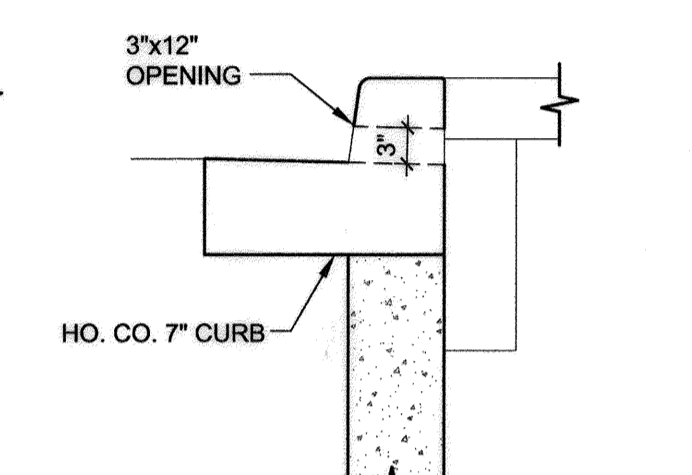
2D  
S-3



SECTION @ OPEN AREA

SCALE: 3/4" = 1'-0"

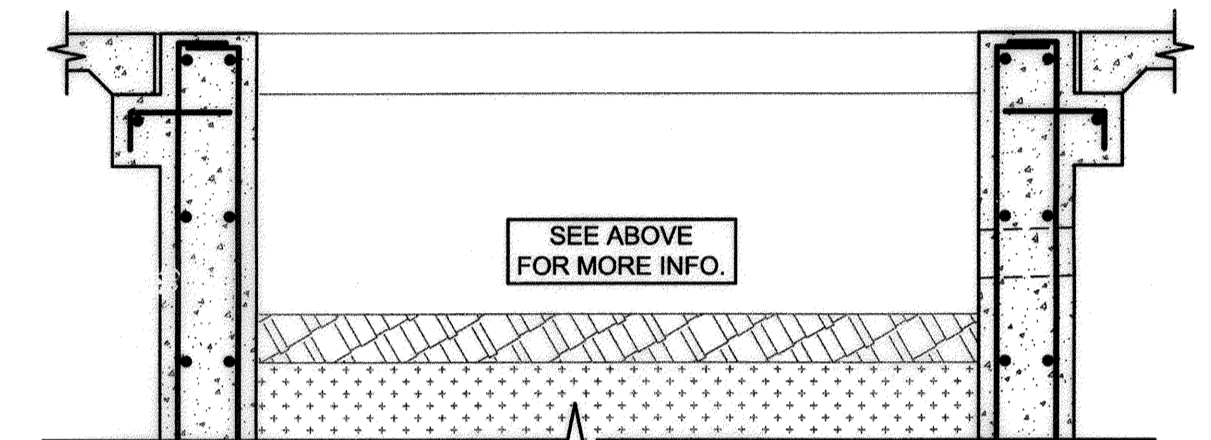
3B  
S-3



SECTION @ 3B W/ STEEL FLUME

SCALE: 3/4" = 1'-0"

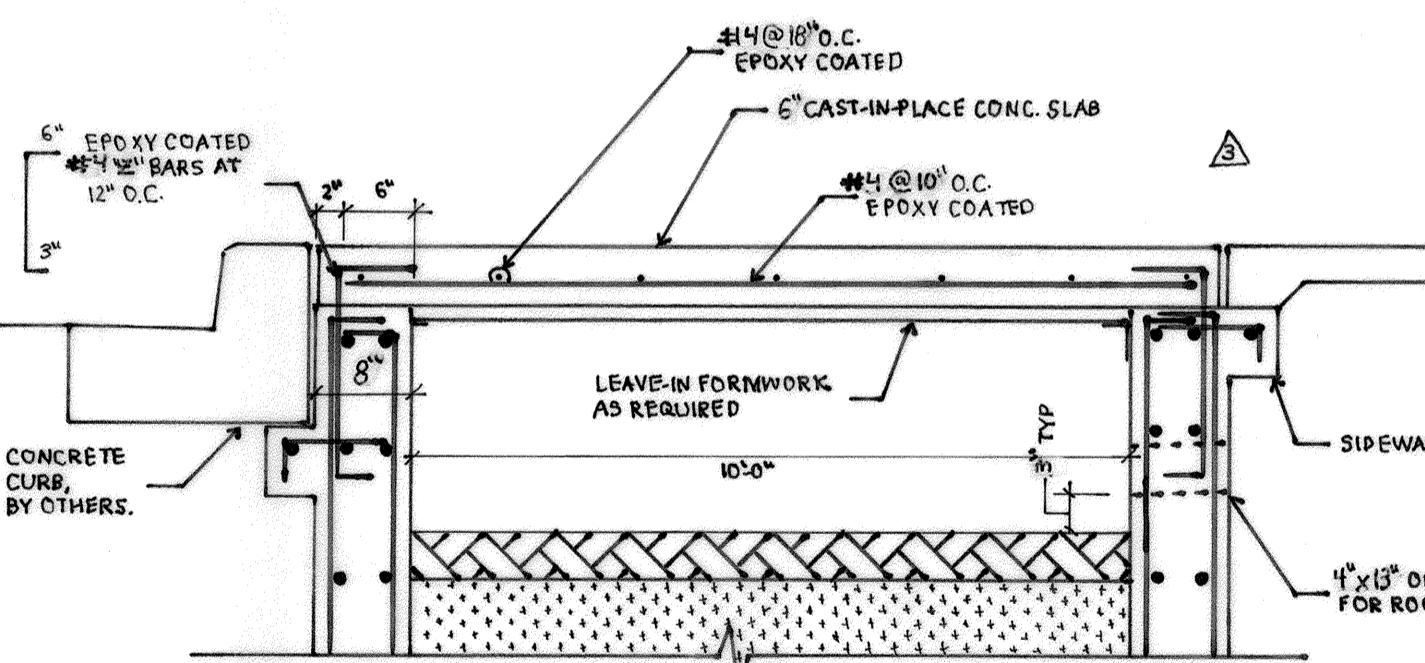
3D  
S-3



SECTION @ OPEN AREA

SCALE: 3/4" = 1'-0"

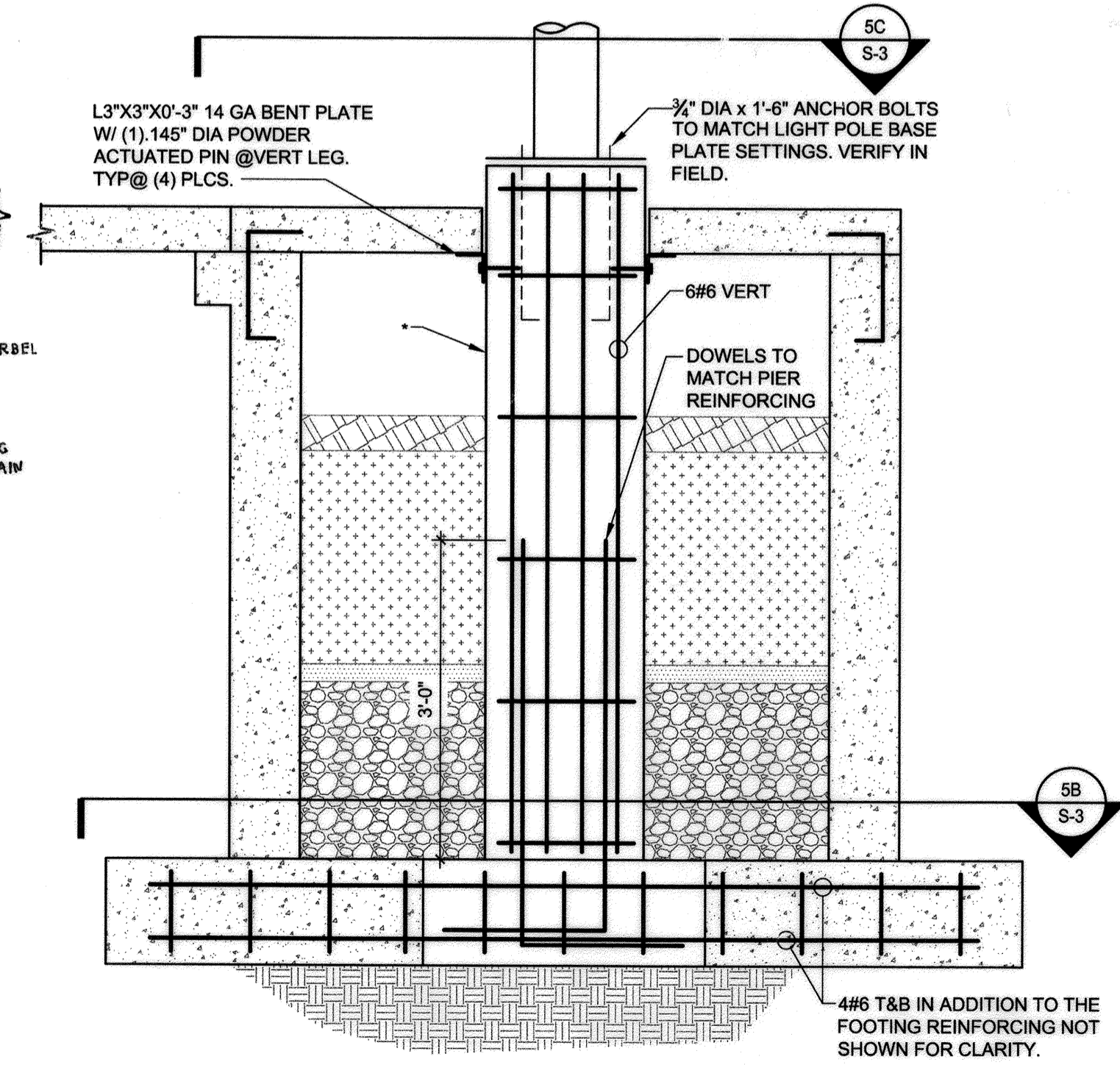
4B  
S-3



SECTION AT MB56 & MB57

SCALE: 3/4" = 1'-0"

6  
S-2

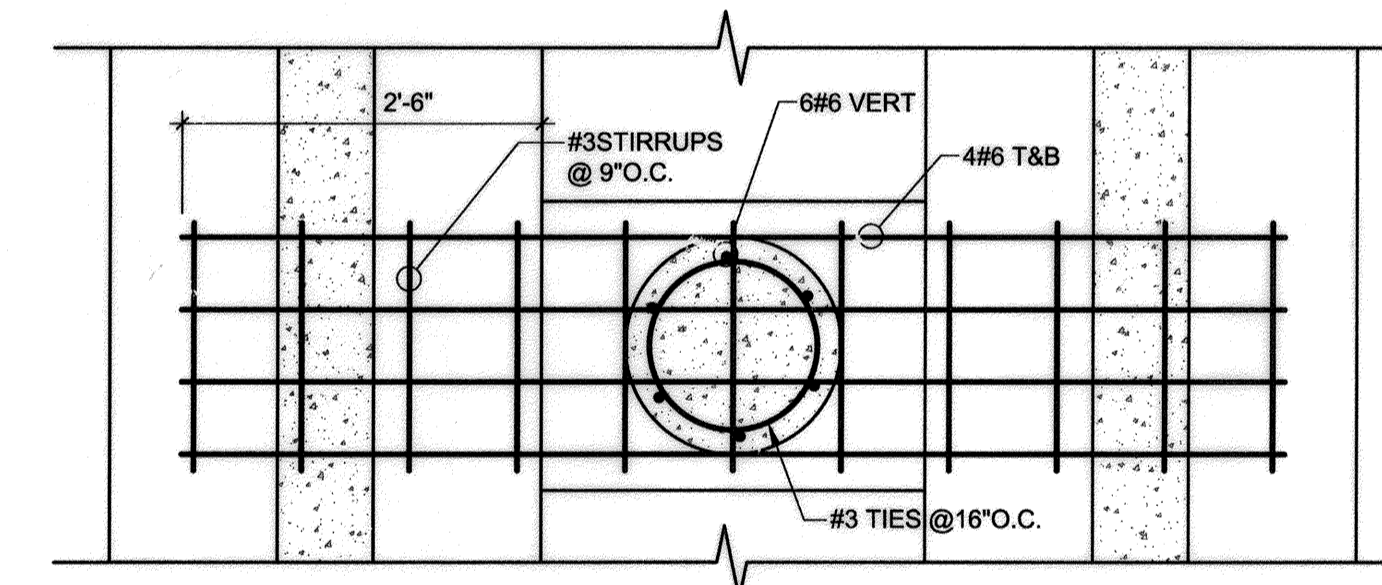


SECTION @ LIGHT POLE IN BRIDGE

SCALE: 3/4" = 1'-0"

5A  
S-2

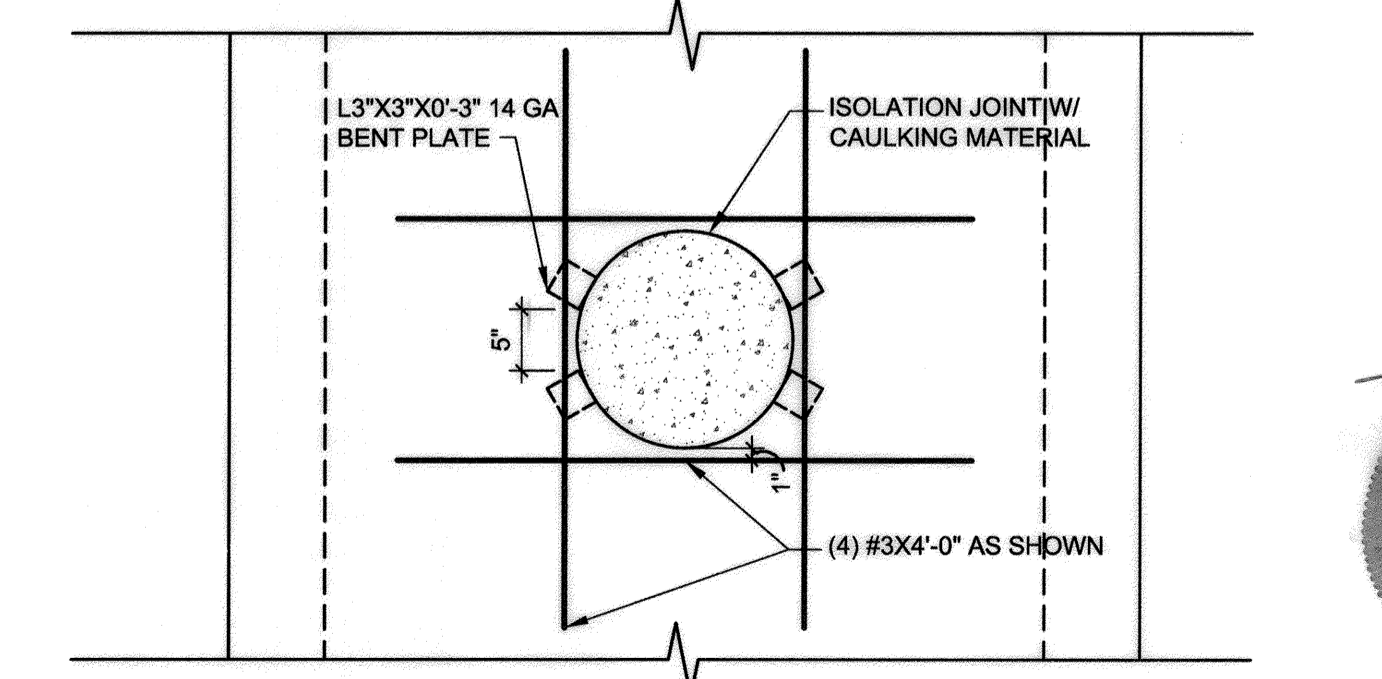
\*18" CONCRETE PIER. CIVIL/LANDSCAPING ARCHITECT TO CONFIRM LIGHTING POLE BASE DIMENSIONS TO FIT THE PIER DIAMETER WITH MIN 4" ANCHOR BOLT EDGE DISTANCE. THIS PIER IS DESIGNED FOR A MAXIMUM POLE HEIGHT OF 22'-0". NOTIFY STRUCTURAL ENGINEER OF RECORD IF CONDITION IS CHANGED.



LIGHT POLE FOOTER PLAN

SCALE: 3/4" = 1'-0"

5B  
S-2



PLAN @ LIGHT POLE IN BRIDGE

SCALE: 3/4" = 1'-0"

5C  
S-2

- ENVIRONMENTAL DATA SOURCES**
- FLOODPLAIN INFORMATION SHOWN HEREON REFLECTS THE RESULT OF A STUDY PERFORMED BY BIO-HABITATS DATED 06/18/2015.
  - WETLANDS AND ASSOCIATED ENVIRONMENTAL INFORMATION SHOWN HEREON REFLECT THE RESULT OF AN INVESTIGATION PERFORMED BY DMW DATED MARCH 2015.
  - SOIL SURVEY INFORMATION SHOWN HEREON REFLECTS HOWARD COUNTY SOILS INFORMATION DATED 11/26/2007.
  - DECLARATION OF RESTRICTIVE COVENANT AREAS: ARMY CORPS OF ENGINEERS PERMIT NUMBER 2014-61063, SPECIAL CONDITION #14 REQUIRES THAT ANY WETLAND MITIGATION AREAS BE PROTECTED IN PERPETUITY BY A DECLARATION OF RESTRICTIVE COVENANTS TO BE RECORDED BY JULY 1, 2016. THIS DOCUMENT PROHIBITS ANY DISTURBANCE WITHIN THIS AREA INCLUDED BUT NOT LIMITED TO NEW DEVELOPMENT, INSTALLATION OF UTILITIES, GRADING, REMOVAL OF VEGETATION, ETC. THE MARYLAND DEPARTMENT OF THE ENVIRONMENT AND THE ARMY CORPS OF ENGINEERS HAVE PLACED THESE RESTRICTIVE COVENANTS ON THE AREA TO PROTECT WATER QUALITY, ENVIRONMENTAL RESOURCES AND THE MITIGATION AREA REQUIRED TO OFF-SET IMPACTS TO WETLANDS, STREAMS AND FLOODPLAINS PROPOSED BY THIS DEVELOPMENT.

- DATA SOURCES:**
- EXISTING TOPOGRAPHIC INFORMATION SHOWN HEREON REFLECTS THE RESULT OF A TOPOGRAPHIC SURVEY PERFORMED BY DMW INC. ON 8/27/15 & 12/3/15. AERIAL TOPOGRAPHY FLOWN BY MCKENZIE SNYDER, INC. MARCH, 2007 AND FIELD SURVEY BY GLW ON AUGUST, 2011. GRADES AS SHOWN ON F-15-106 AND F-16-107 PREPARED BY GLW, AND MASS GRADING SDP-16-075 BY DMW.
  - BOUNDARY AND PARCEL INFORMATION SHOWN HAS BEEN PROVIDED BY GUTSCHICK, LITTLE, AND WEBER, P.A. AS SHOWN ON PLATS F-17-059.

7/6/22 PROVIDE PANEL DETAIL FOR MB 56 & MB 57

Date	No.	Revision Description
		<b>DOWNTOWN COLUMBIA</b>
		<b>CRESCENT NEIGHBORHOOD</b>
		<b>PHASE I AREA 3, PHASE 2</b>
		<b>PARCELS D-1, D-7, D-8, D-9,</b>
		<b>D-11, D-12 AND D-13</b>
		<b>MIXED USE GREEN OFFICE, RESIDENTIAL, RETAIL, RESTAURANT BUILDING</b>
		<b>OWNER / DEVELOPER:</b>
		<b>THE HOWARD RESEARCH AND DEVELOPMENT CORPORATION</b>
		<b>COLUMBIA REGIONAL OFFICE</b>
		<b>10480 LITTLE PATUXENT PARKWAY SUITE 400</b>
		<b>COLUMBIA, MD 21044</b>
		<b>410-961-1800</b>

**SK&A MD**  
Smislova, Kehnemui & Associates, PA  
12435 Park Potomac Avenue, Suite 300 • Potomac, MD 20854  
P 301.881.1441 F 301.881.8664 W skaengineers.com

SUBDIVISION NAME	SECTION/AREA	PHASE/AREA	LOT/PARCEL #
DOWNTOWN COLUMBIA	CRESCENT NEIGHBORHOOD	PHASE I AREA 3	PARCEL D
BLOCK #	TAX ZONING MAP	ELECT DISTRICT	CENSUS TRACT
7	36	S-15	605602
WATER CODE	SEWER CODE	LITTLE PATUXENT	STAGE
550			1

TITLE: S-3 ESD STRUCTURES

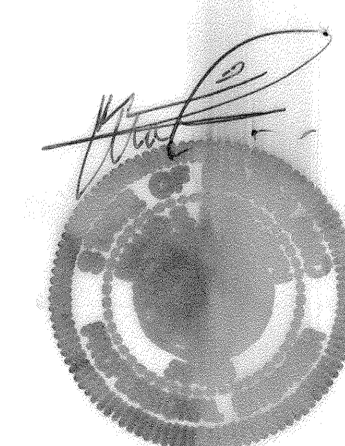
**FILE NUMBERS:**  
F 15-106, F 16-107, F 17-059, F 18-017, SDP-16-075, SDP-18-005, WP-17-010, WP-17-049, WP-17-052, WP-17-115, WP-18-020, WP-18-021, SP-16-009, WP-16-100, FDP-DC-CRESCENT-1, FDP-DC-CRESCENT-1A, SDP 17-027, F 17-057, F 18-017, WP-18-089, WP-18-105.

**CONTRACT NUMBERS:**  
24-4931-D, 24-4975-D, 24-4974-D.

**PROFESSIONAL CERTIFICATION**  
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 39426, EXPIRATION DATE: 8/15/2020.

02/15/2019  
Date  
Professional Engr. No. 39426

APPROVED:  
PLANNING BOARD OF HOWARD COUNTY  
DATE: 11/8/18



9/14/22 DATE PROVIDED FOR RR3 ONLY

PROJECT: 12435 PARK POTOMAC AVENUE, SUITE 300, POTOMAC, MD 20854  
DATE: 2/15/2019 10:47 AM

APPROVED: HOWARD COUNTY DEPT. OF PLANNING & ZONING

*[Signature]* 3-20-19  
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

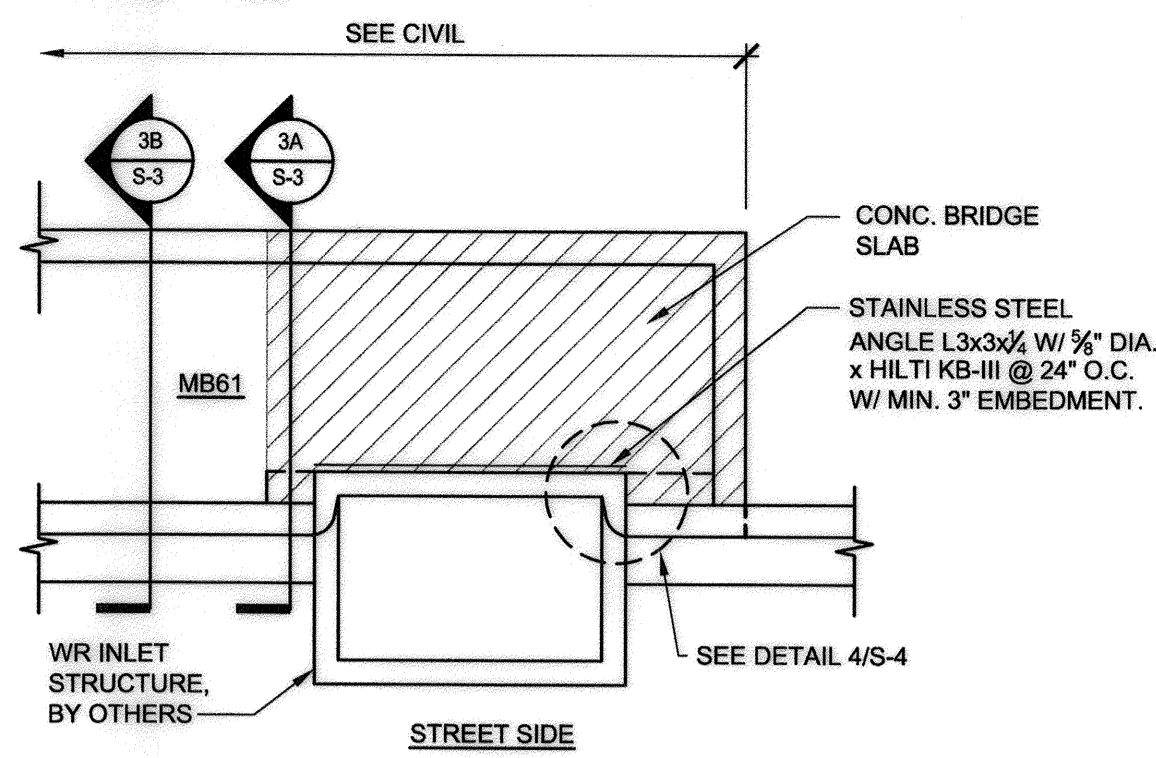
*[Signature]* 4-24-19  
CHIEF, DIVISION OF LAND DEVELOPMENT DATE

*[Signature]* 4-24-19  
DIRECTOR, DIVISION OF LAND DEVELOPMENT DATE

Des. By	SCALE AS SHOWN	Proj. No. 04038_B0
Drn. By	Date 02/15/19	65 of 78
Chk. By	Approved	

SDP-18-1005

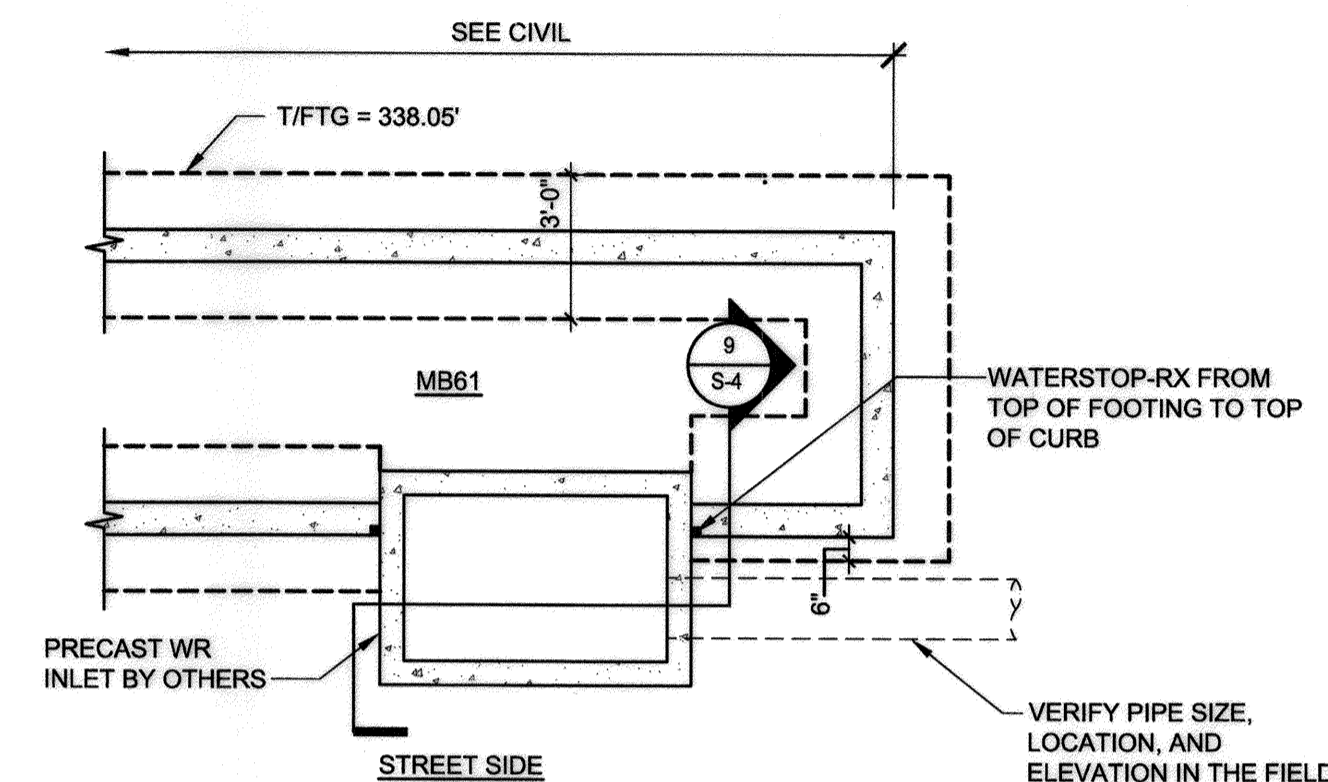




**PARTIAL PLAN TOP OF SWM - MB61**

SCALE: 1/4" = 1'-0"

1  
S-4

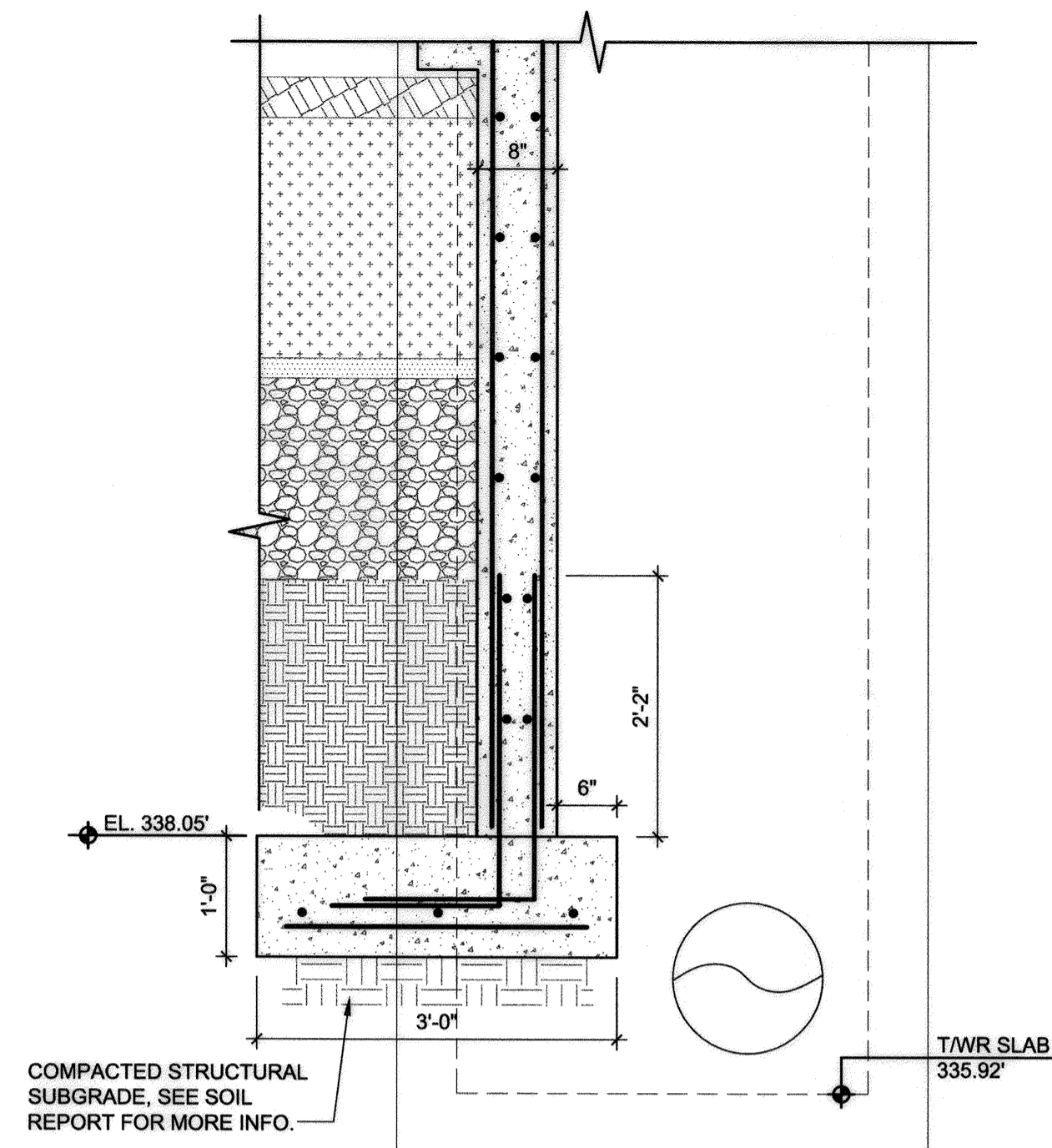


**PARTIAL FOUNDATION PLAN - MB61**

SCALE: 1/4" = 1'-0"

2  
S-4

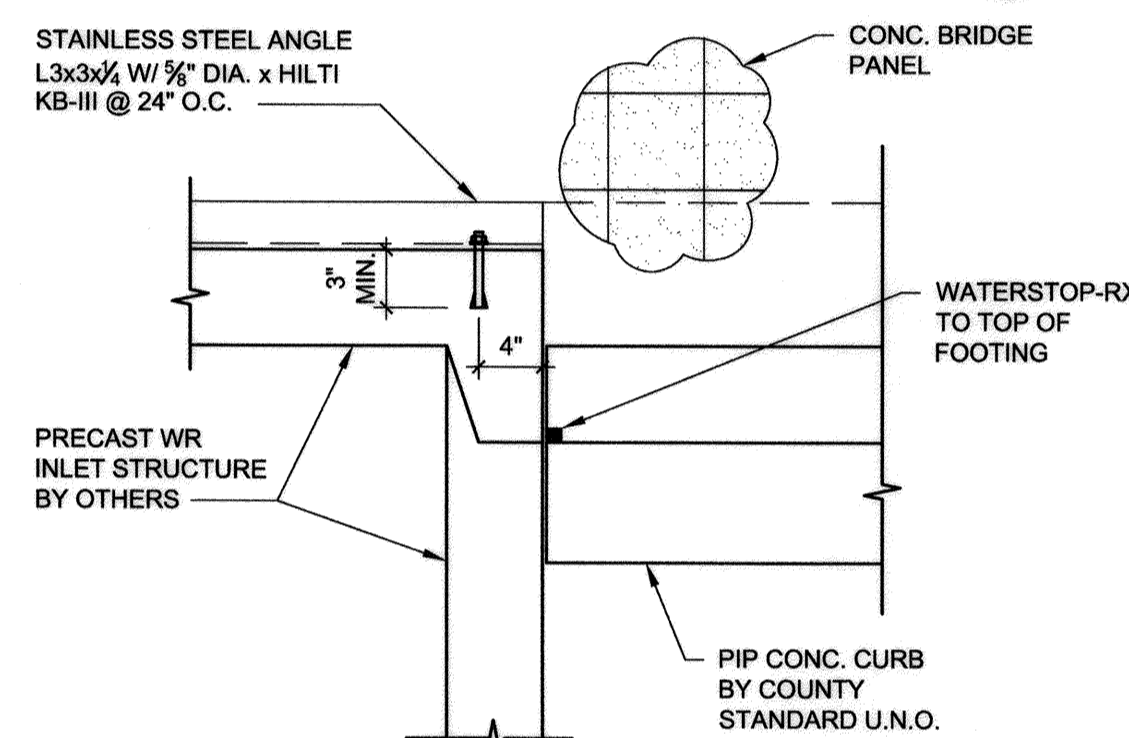
- NOTES:
1. ALL DIMENSIONS SHALL BE VERIFIED W/ CIVIL DRAWINGS AND IN THE FIELD.
  2. WR INLET STRUCTURE AND PIPES SHALL BE BUILT PRIOR TO CONSTRUCTION OF ESD STRUCTURE.
  3. USE COMPACTED STRUCTURAL SUBGRADE FOR MORE INFORMATION.



**SECTION @ MB61**

SCALE: 3/4" = 1'-0"

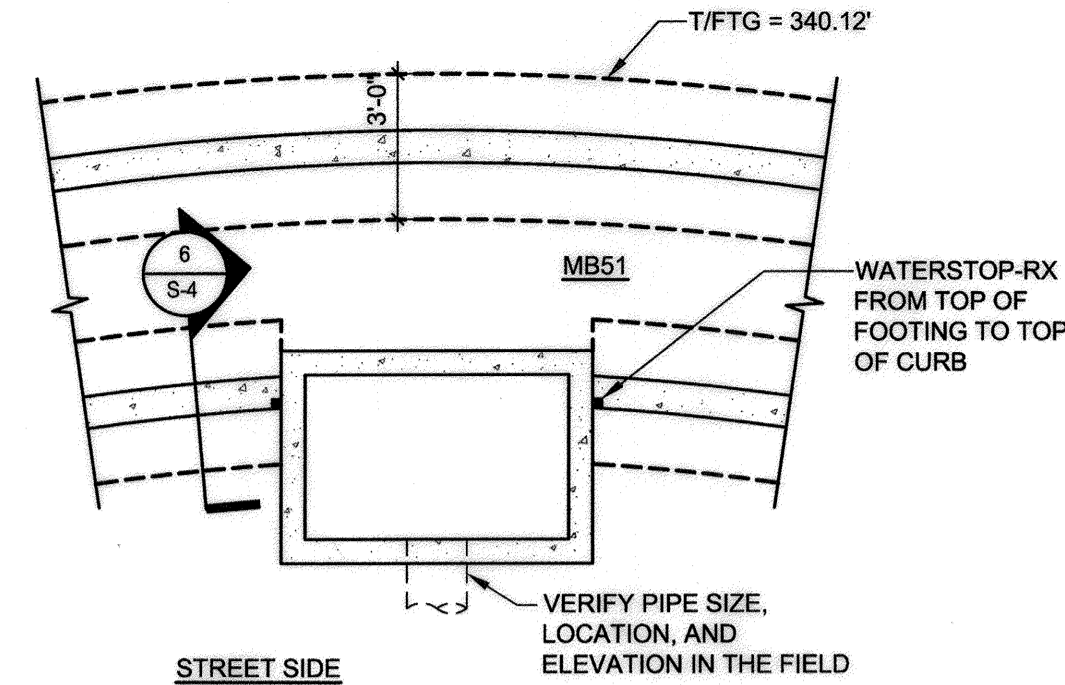
3  
S-4



**PLAN DETAIL**

SCALE: 1" = 1'-0"

4  
S-4

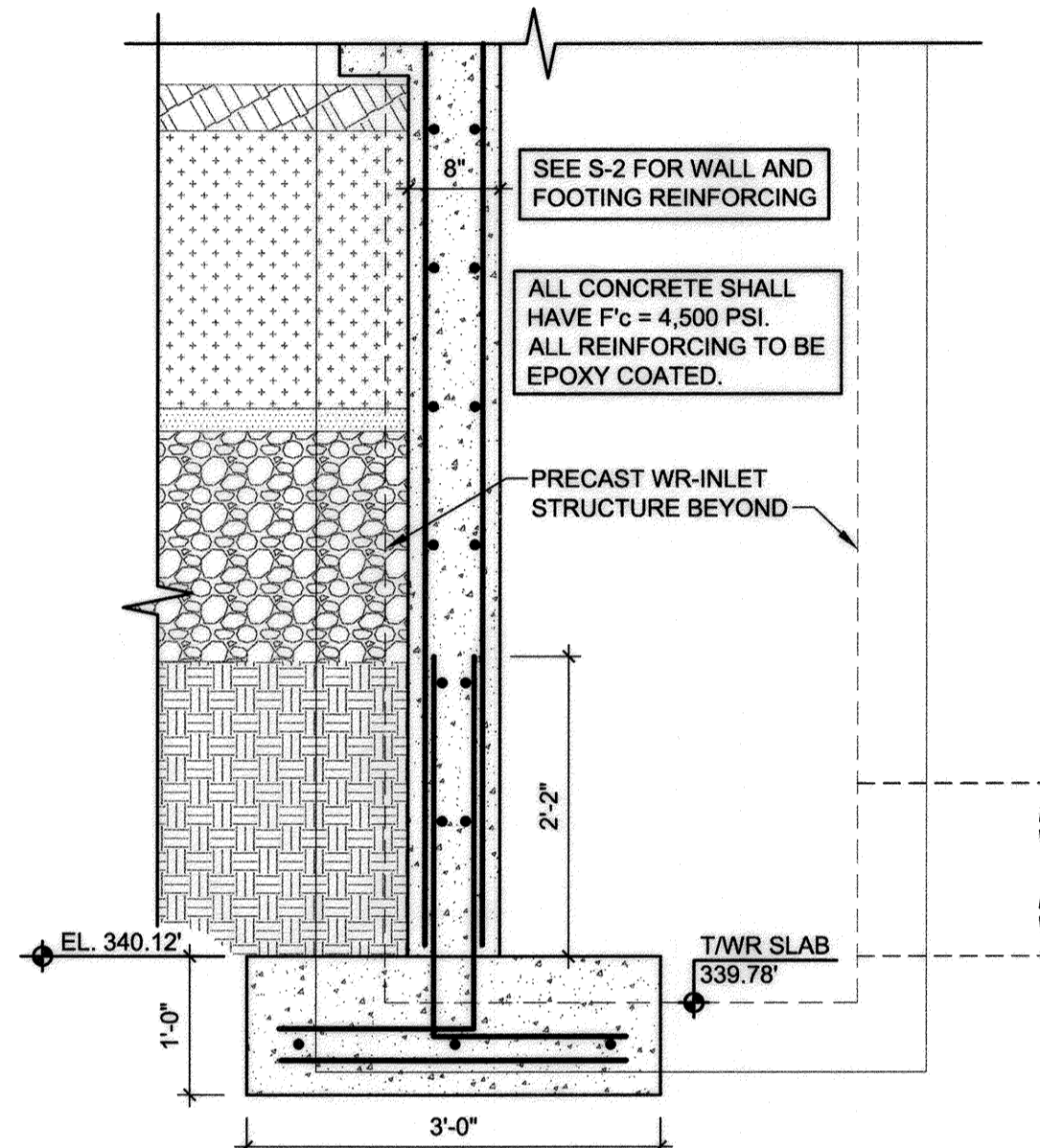


**PARTIAL FOUNDATION PLAN - MB51**

SCALE: 1/4" = 1'-0"

5  
S-4

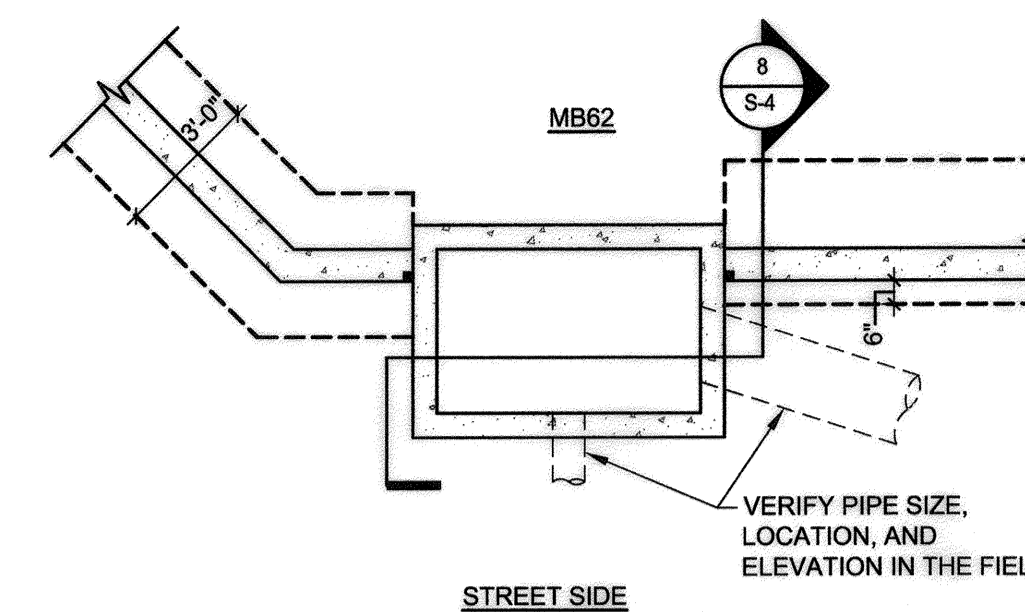
- NOTES:
1. ALL DIMENSIONS SHALL BE VERIFIED W/ CIVIL DRAWINGS AND IN THE FIELD.
  2. WR INLET STRUCTURE AND PIPES SHALL BE BUILT PRIOR TO CONSTRUCTION OF ESD STRUCTURE.
  3. USE COMPACTED STRUCTURAL SUBGRADE TYPICAL. SEE SOIL REPORT FOR MORE INFORMATION.



**SECTION @ MB51**

SCALE: 3/4" = 1'-0"

6  
S-4

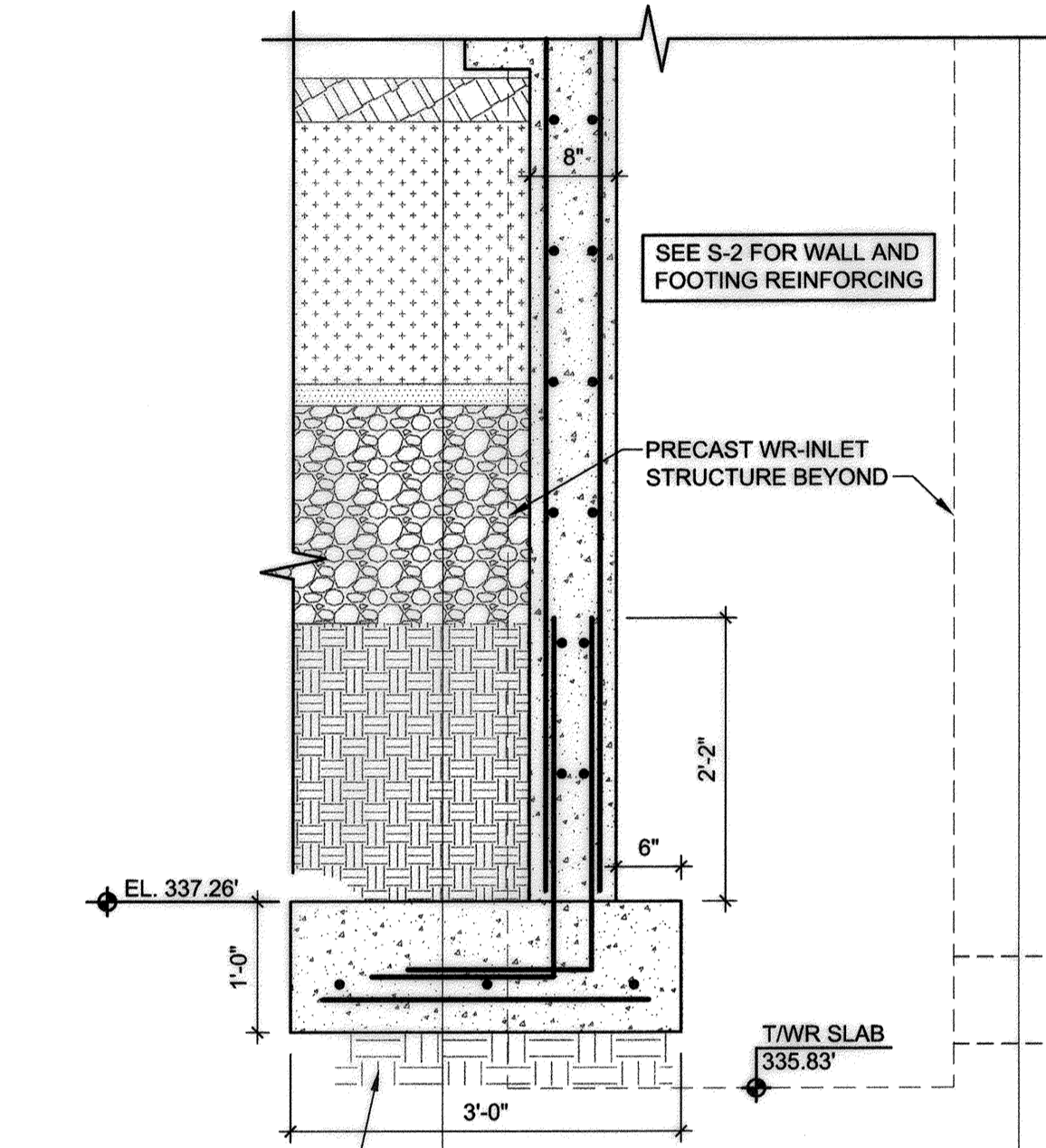


**PARTIAL FOUNDATION PLAN - MB62**

SCALE: 1/4" = 1'-0"

7  
S-4

- NOTES:
1. ALL DIMENSIONS SHALL BE VERIFIED W/ CIVIL DRAWINGS AND IN THE FIELD.
  2. WR INLET STRUCTURE AND PIPES SHALL BE BUILT PRIOR TO CONSTRUCTION OF ESD STRUCTURE.
  3. USE COMPACTED STRUCTURAL SUBGRADE TYPICAL. SEE SOIL REPORT FOR MORE INFORMATION.



**SECTION @ MB62**

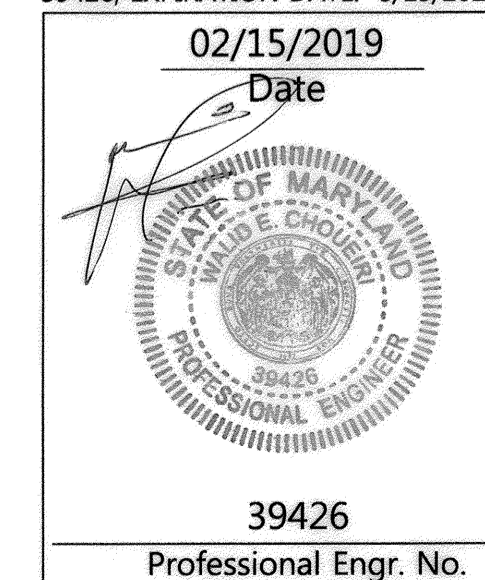
SCALE: 3/4" = 1'-0"

8  
S-4

- ENVIRONMENTAL DATA SOURCES**
1. FLOODPLAIN INFORMATION SHOWN HEREON REFLECTS THE RESULT OF A STUDY PERFORMED BY 810-HABITATS DATED 05/19/2015.
  2. WETLANDS AND ASSOCIATED ENVIRONMENTAL INFORMATION SHOWN HEREON REFLECT THE RESULT OF AN INVESTIGATION PERFORMED BY DMW DATED MARCH 2015.
  3. SOIL SURVEY INFORMATION SHOWN HEREON REFLECTS HOWARD COUNTY SOILS INFORMATION DATED 11/26/2007.
  4. DECLARATION OF RESTRICTIVE COVENANT AREAS: ARMY CORPS OF ENGINEERS PERMIT NUMBER 2014-61063, SPECIAL CONDITION #14 REQUIRES THAT ANY WETLAND MITIGATION AREAS BE PROTECTED IN PERPETUITY BY A DECLARATION OF RESTRICTIVE COVENANTS TO BE RECORDED BY JULY 1, 2016. THIS DOCUMENT PROHIBITS ANY DISTURBANCE WITHIN THIS AREA INCLUDED BUT NOT LIMITED TO NEW DEVELOPMENT, INSTALLATION OF UTILITIES, GRADING, REMOVAL OF VEGETATION, ETC. THE MARYLAND DEPARTMENT OF THE ENVIRONMENT AND THE ARMY CORPS OF ENGINEERS HAVE PLACED THESE RESTRICTIVE COVENANTS ON THE AREA TO PROTECT WATER QUALITY, ENVIRONMENTAL RESOURCES AND THE MITIGATION AREA REQUIRED TO OFF-SET IMPACTS TO WETLANDS, STREAMS AND FLOODPLAINS PROPOSED BY THIS DEVELOPMENT.
- DATA SOURCES:**
1. EXISTING TOPOGRAPHIC INFORMATION SHOWN HEREON REFLECTS THE RESULT OF A TOPOGRAPHIC SURVEY PERFORMED BY DMW INC. ON 8/27/15 & 12/3/15. AERIAL TOPOGRAPHY FLOWN BY MCKENZIE SWIDER, INC. MARCH, 2007 AND FIELD SURVEY BY GLW ON AUGUST, 2011. GRADES AS SHOWN ON F-15-106 AND F-16-107 PREPARED BY GLW, AND MASS GRADING SDP-16-075 BY DMW.
  2. BOUNDARY AND PARCEL INFORMATION SHOWN HAS BEEN PROVIDED BY GUTSCHICK, LITTLE, AND WEBER, P.A. AS SHOWN ON PLATS F-17-059.

**FILE NUMBERS:**  
F-15-106, F-16-107, F-17-059, F-18-017, SDP-16-075, SDP-18-005, WP-17-010, WP-17-049, WP-17-052, WP-17-115, WP-18-020, WP-18-021, SP-16-009, WP-16-100, FDP-DC-CRESCENT-1, FDP-DC-CRESCENT-1A, SDP-17-027, F-17-057, F18-017, WP-18-089, WP-18-105.  
**CONTRACT NUMBERS:**  
24-4931-D, 24-4975-D, 24-4974-D.

**PROFESSIONAL CERTIFICATION**  
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 39426, EXPIRATION DATE: 8/15/2020.



APPROVED: PLANNING BOARD OF HOWARD COUNTY  
DATE: 1/8/18

Date	No.	Revision Description
		<b>DOWNTOWN COLUMBIA CRESCENT NEIGHBORHOOD PHASE I AREA 3, PHASE 2 PARCELS D-1, D-7, D-8, D-9, D-11, D-12 AND D-13</b> MIXED USE GREEN OFFICE, RESIDENTIAL, RETAIL, RESTAURANT BUILDING OWNER / DEVELOPER: THE HOWARD RESEARCH AND DEVELOPMENT CORPORATION COLUMBIA REGIONAL OFFICE 10480 LITTLE PATUXENT PARKWAY SUITE 400 COLUMBIA, MD 21044 410-964-8800

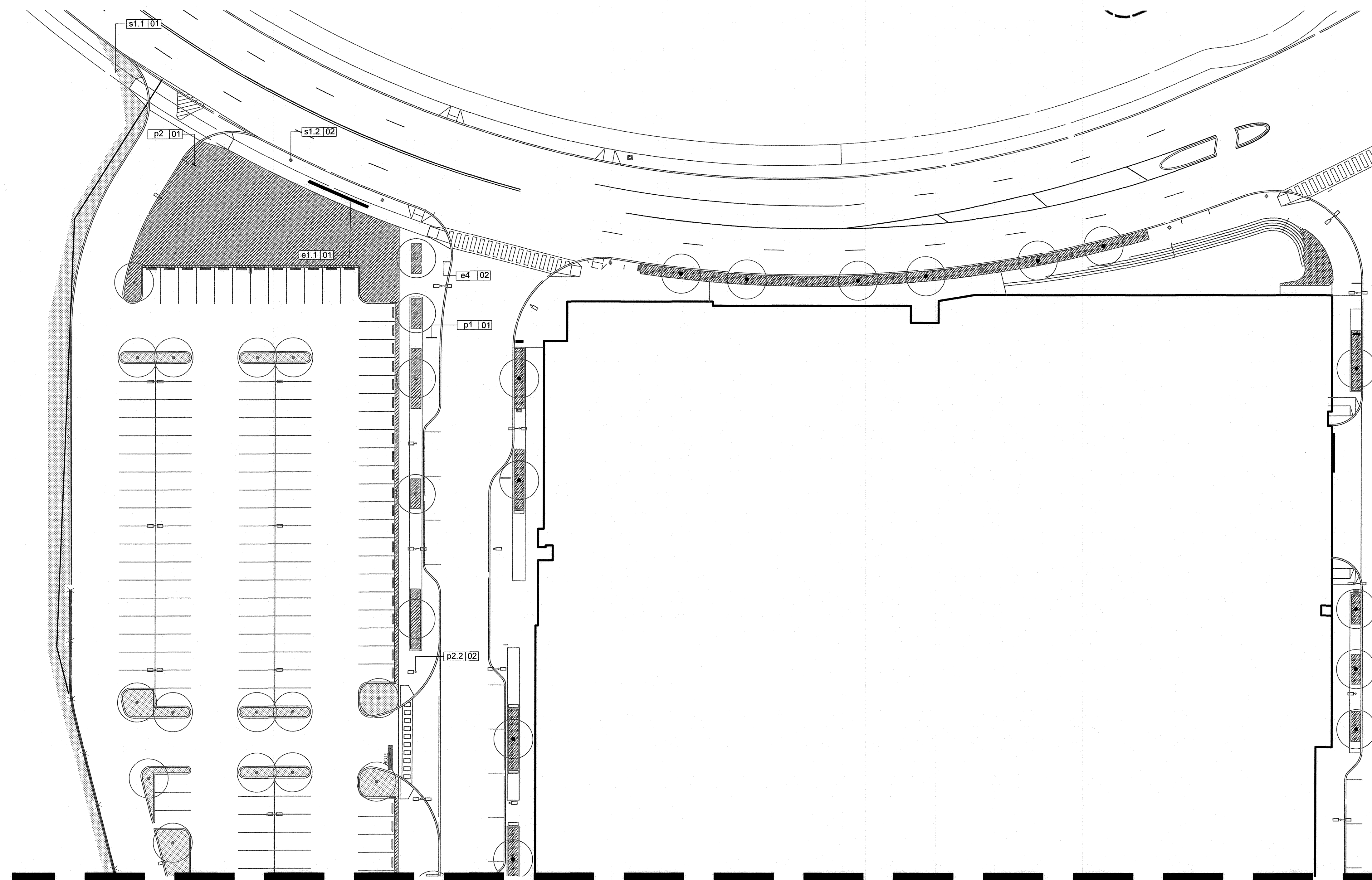
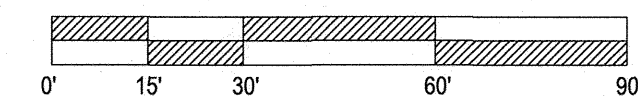
**SK&A MD**  
Smislova, Kehnemui & Associates, PA  
12435 Park Potomac Avenue, Suite 300 • Potomac, MD 20854  
P 301.881.1441 F 301.881.8664 W sikaengineers.com

SUBDIVISION NAME	SECTION	NEIGHBORHOOD	LOT/PARCEL #
DOWNTOWN COLUMBIA	CRESCENT NEIGHBORHOOD		
PLAT #	TAX ZONE	ELECT DISTRICT	CENSUS TRACT
F-17-057	36	5-15	605602
WATER CODE	SEWER CODE	STAGE	
550	LITTLE PATUXENT	1	

Des. By	SCALE	AS SHOWN	Proj. No.
			04038.80
Drn. By	Date	02/15/19	
Chk. By	Approved		66 of 78

P:\PROJECTS\18-005\SDP\STRUCTURE\SDP-18-005-4.DWG 2/15/2019 12:44 PM

APPROVED: HOWARD COUNTY DEPT. OF PLANNING & ZONING  
  
 CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE: 3-20-19  
  
 CHIEF, DIVISION OF LAND DEVELOPMENT DATE: 4-24-19  
  
 DIRECTOR, DIVISION OF LAND DEVELOPMENT DATE: 4-24-19



- Sign Legend**
- e1.1 Landscape Letterforms
  - e4 Pedestrian Directional
  - e5 Project Directory
  - p1 Vehicular Directional
  - p2/p2.1/p2.2 Pole Mounted Parking Directional
  - p3 Building Mounted Parking Directional
  - s1.1/s1.2 District Banners

SIGNAGE DESIGN SHALL COMPLY WITH THE CRESCENT NEIGHBORHOOD DESIGN GUIDELINES AND THE HOWARD COUNTY MARYLAND SIGN CODE FOR DOWNTOWN COLUMBIA.

MATCH SP-001C/SP-001D

**1 PARTIAL SIGNAGE PLAN**  
SCALE: 1" = 30'-0"

**FILE NUMBERS:**  
F 15-106, F 16-107, F 17-059, F 18-017, SDP-16-075, SDP-17-027, WP-17-010, WP-17-049, WP-17-052, WP-17-059, WP-17-115, WP-18-020, WP-18-021, SP-16-009, WP-17-100

**CONTRACT NUMBERS:**  
24-4931-D, 24-4975-D, 24-4974-D.

**PROFESSIONAL CERTIFICATION**  
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 7318-A, EXPIRATION DATE: 10/21/20.

02/15/19  
DATE

PROFESSIONAL ARCH. NO. 7318-A

Date	No.	Revision Description
DOWNTOWN COLUMBIA CRESCENT NEIGHBORHOOD PHASE I AREA 3, PHASE 2 PARCELS D-1, D-7, D-8, D-9, D-11, D-12 AND D-13		
OWNER / DEVELOPER: THE HOWARD RESEARCH AND DEVELOPMENT CORPORATION COLUMBIA REGIONAL OFFICE 10480 LITTLE PATUXENT PARKWAY SUITE 400 COLUMBIA, MD 21044 410-964-4800		

**ashton**

SUBDIVISION NAME	SECTION/AREA	NEIGHBORHOOD	LOT/PARCEL #	PARCEL D
DOWNTOWN COLUMBIA	PHASE I, AREA 3			
PLAT #/BLK #	BLK #	TAX ZONE/MAP	ELECT. DISTRICT	CENSUS TRACT
2482-2483	7	36	5	605602
WATER CODE	SEWER CODE	LITTLE PATUXENT	STAGE	
550			1	

TITLE: SITE SIGNAGE SHEET A

APPROVED:  
PLANNING BOARD OF HOWARD COUNTY  
DATE: 11/8/18

Des. By	JGB/RJP	SCALE	AS SHOWN	Proj. No.	04038.80
Dwn. By	JGB	Date	02/15/19	67 of 78	
Chk. By	RJP	Approved	MCB		

SDP-18-005

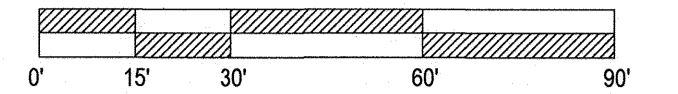
APPROVED: HOWARD COUNTY DEPT. OF PLANNING & ZONING

*[Signature]* 3-20-19  
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

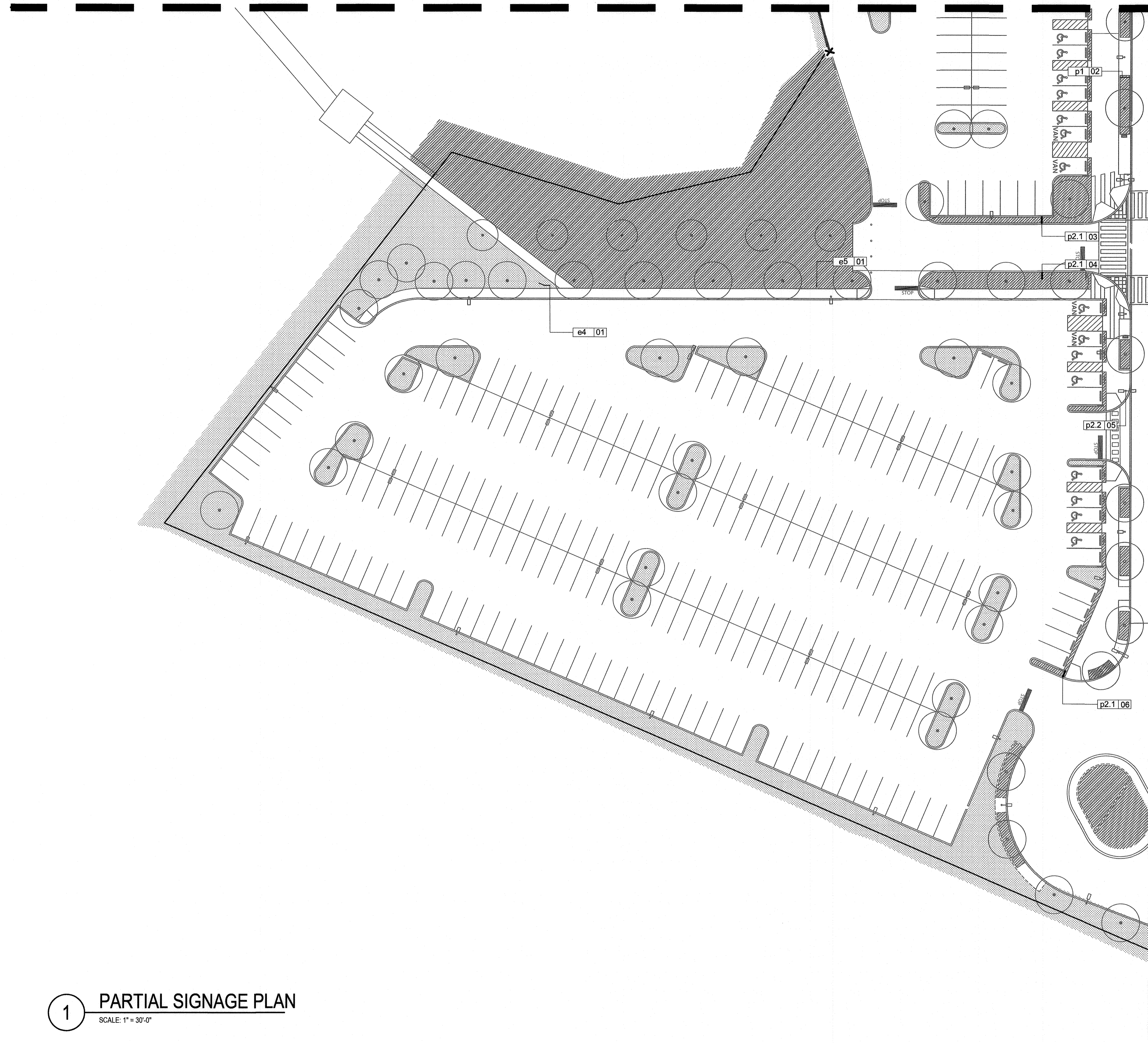
*[Signature]* 4-24-19  
CHIEF, DIVISION OF LAND DEVELOPMENT DATE

*[Signature]* 4-24-19  
DIRECTOR, DIVISION OF LAND DEVELOPMENT DATE

3/20/19 10:35 AM CRESCENT/COLUMBIA CONSULTANTS/ISSUANCE SHEET SP-001 SIGNAGE SHEET FILED IN 3/20/2019 10:35 AM



MATCH SP-001A



**Sign Legend**

- e1.1 Landscape Letterforms
- e4 Pedestrian Directional
- e5 Project Directory
- p1 Vehicular Directional
- p2/p2.1/p2.2 Pole Mounted Parking Directional
- p3 Building Mounted Parking Directional
- s1.1/s1.2 District Banners

SIGNAGE DESIGN SHALL COMPLY WITH THE CRESCENT NEIGHBORHOOD DESIGN GUIDELINES AND THE HOWARD COUNTY MARYLAND SIGN CODE FOR DOWNTOWN COLUMBIA.

MATCH SP-001D

**1 PARTIAL SIGNAGE PLAN**  
SCALE: 1" = 30'-0"

APPROVED: HOWARD COUNTY DEPT. OF PLANNING & ZONING

*Chris Johnson* 3-20-19  
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

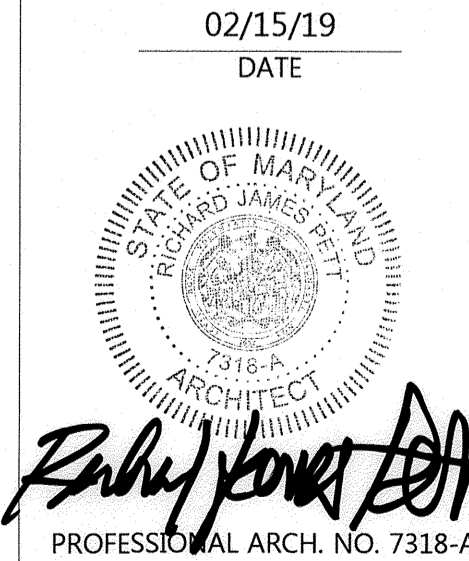
*Neil Stadelman* 4-24-19  
CHIEF, DIVISION OF LAND DEVELOPMENT DATE

*N. Alan Jellin* 4-24-19  
DIRECTOR, DIVISION OF LAND DEVELOPMENT DATE

**FILE NUMBERS:**  
F 15-106, F 16-107, F 17-059, F 18-017, SDP-16-075, SDP-17-027, WP-17-010, WP-17-049, WP-17-052, WP-17-059, WP-17-115, WP-18-020, WP-18-021, SP-16-009, WP-17-100

**CONTRACT NUMBERS:**  
24-4931-D, 24-4935-D, 24-4934-D

**PROFESSIONAL CERTIFICATION**  
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 7318-A, EXPIRATION DATE: 10/21/20.



APPROVED:  
PLANNING BOARD OF HOWARD COUNTY  
DATE: 11/8/18

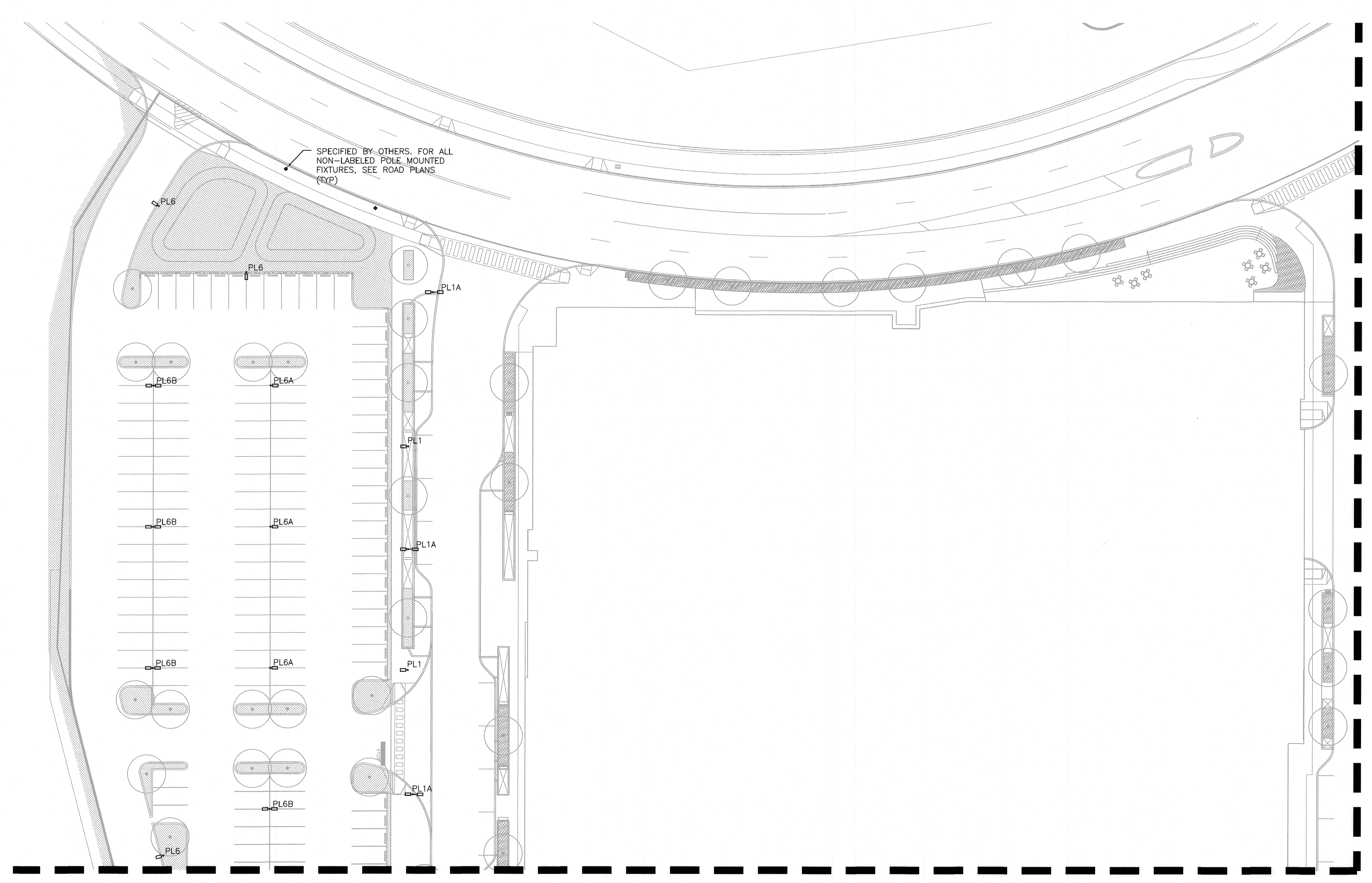
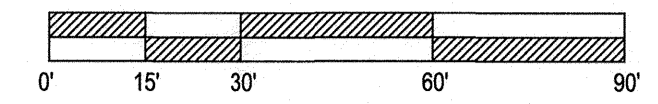
Date	No.	Revision Description
		DOWNTOWN COLUMBIA CRESCENT NEIGHBORHOOD PHASE I AREA 3, PHASE 2 PARCELS D-1, D-7, D-8, D-9, D-11, D-12 AND D-13
		OWNER / DEVELOPER: THE HOWARD RESEARCH AND DEVELOPMENT CORPORATION COLUMBIA REGIONAL OFFICE 10480 LITTLE PATUXENT PARKWAY SUITE 400 COLUMBIA, MD 21044 410-964-4800
		<b>ashton</b>
		TITLE
		SITE SIGNAGE SHEET C
Des. By	JGB/RJP	SCALE AS SHOWN
Drn. By	JGB	Date 02/15/19
Chk. By	RJP	Approved MCB
		Proj. No. 04038.B0
		68 of 78

SDP-18-005









SPECIFIED BY OTHERS. FOR ALL NON-LABELED POLE MOUNTED FIXTURES, SEE ROAD PLANS (RYP)

MATCH LP-001B

MATCH LP-001C/LP-001D

**1 PARTIAL LIGHTING PLAN**  
SCALE: 1" = 30'-0"

J:\04\HMC\_CRESIDENTIAL\CONSULTANTS\SIGNAGE\SHEETS\PH2\BP-001 SIGNAGE SHEET FILED.VXD 2/10/2019 10:38 AM

APPROVED: HOWARD COUNTY DEPT. OF PLANNING & ZONING

*Chad Plumb* 3-20-19  
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

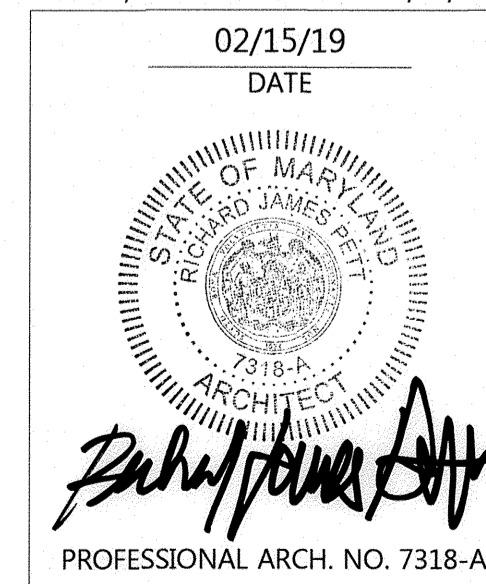
*Kent Schelke* 4-24-19  
CHIEF, DIVISION OF LAND DEVELOPMENT DATE

*N. M. McMillin* 4-24-19  
DIRECTOR, DIVISION OF LAND DEVELOPMENT DATE

**FILE NUMBERS:**  
F 15-106, F 16-107, F 17-059, F 18-017, SDP-16-075, SDP-17-027, WP-17-010, WP-17-049, WP-17-052, WP-17-059, WP-17-115, WP-18-020, WP-18-021, SP-16-009, WP-17-100

**CONTRACT NUMBERS:**  
24-4931-D, 24-4975-D, 24-4974-D.

**PROFESSIONAL CERTIFICATION**  
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 7318-A, EXPIRATION DATE: 10/21/20.



APPROVED:  
PLANNING BOARD OF HOWARD COUNTY  
DATE: 4/8/18

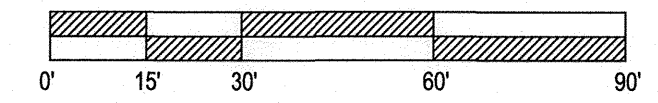
Date	No.	Revision Description
		DOWNTOWN COLUMBIA CRESCENT NEIGHBORHOOD PHASE 1 AREA 3, PHASE 2 PARCELS D-1, D-7, D-8, D-9, D-11, D-12 AND D-13
		OWNER / DEVELOPER: THE HOWARD RESEARCH AND DEVELOPMENT CORPORATION COLUMBIA REGIONAL OFFICE 10480 LITTLE PATUXENT PARKWAY SUITE 400 COLUMBIA, MD 21044 410-964-4800



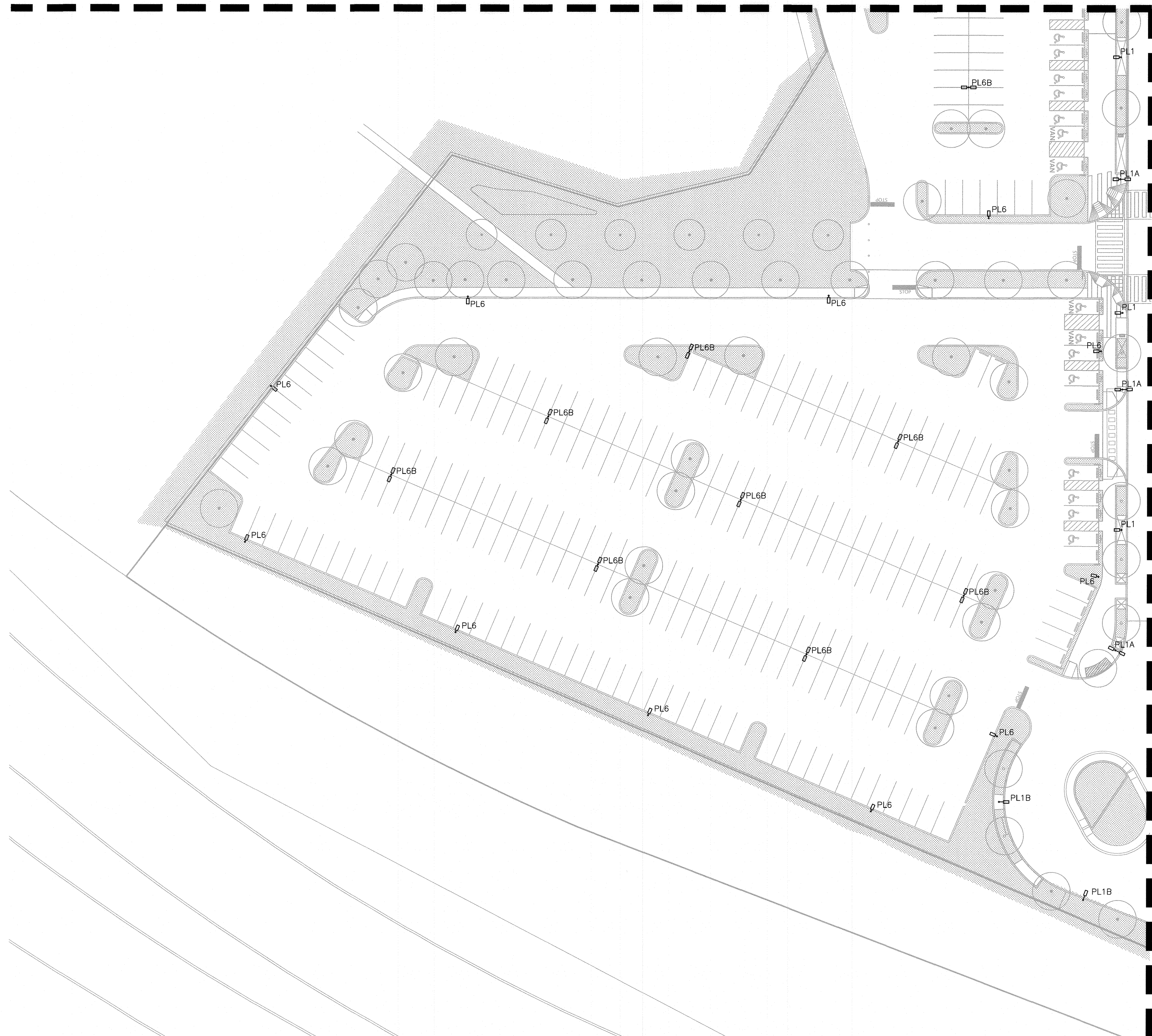
SUBDIVISION NAME DOWNTOWN COLUMBIA	SECTION/AREA CRESCENT NEIGHBORHOOD	LOT/PARCEL # PARCEL D
PLAT OR L.P. 24812-24830	TAX ZONE/MAP 7 DWAU	CENSUS TRACT 605602
WATER CODE 550	SEWER CODE LITTLE PATUXENT	STAGE 1

TITLE LP-001A SITE LIGHTING SHEET A		
Des. By JEW/JDC	SCALE AS SHOWN	Proj. No. 04038.B0
Drn. By JDC	Date 02/15/19	72 of 78
Chk. By JEW	Approved MCB	

SDP-18-005



MATCH LP-001A



MATCH LP-001D

**FILE NUMBERS:**  
F 15-106, F 16-107, F 17-059, F 18-017,  
SDP-16-075, SDP-17-027, WP-17-010,  
WP-17-049, WP-17-052, WP-17-059,  
WP-17-115, WP-18-020, WP-18-021,  
SP-16-009, WP-17-100

**CONTRACT NUMBERS:**  
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STATE OF MARYLAND, LICENSE NO.  
7318-A, EXPIRATION DATE: 10/21/20.

02/15/19  
DATE

Richard James Part  
PROFESSIONAL ARCH. NO. 7318-A

Date	No.	Revision Description
<b>DOWNTOWN COLUMBIA</b> <b>CRESCENT NEIGHBORHOOD</b> <b>PHASE 1 AREA 3, PHASE 2</b> <b>PARCELS D-1, D-7, D-8, D-9,</b> <b>D-11, D-12 AND D-13</b>		
OWNER / DEVELOPER: THE HOWARD RESEARCH AND DEVELOPMENT CORPORATION COLUMBIA REGIONAL OFFICE 10480 LITTLE PATUXENT PARKWAY SUITE 400 COLUMBIA, MD 21044 410-964-4800		



SUBDIVISION NAME DOWNTOWN COLUMBIA	SECTION/AREA PHASE 2 AREA 3	NEIGHBORHOOD CRESCENT	LOT/PARCEL # PARCEL D
PLAT OR L.P. 22812-2480	BLOCK # ZONE 7 DWAU	TAX ZONING MAP 36	RELECT. DISTRICT 5
WATER CODE 550	SEWER CODE LITTLE PATUXENT	CENSUS TRACT 605602	STAGE 1

TITLE  
LP-001C SITE LIGHTING SHEET C

APPROVED:  
PLANNING BOARD OF HOWARD COUNTY  
DATE: 11/8/18

Des. By	JEW/JDC	SCALE	AS SHOWN	Proj. No.	04038.B0
Drn. By	JDC	Date	02/15/19		
Chk. By	JEW	Approved	MCB		73 of 78

SDP-18-005

APPROVED: HOWARD COUNTY DEPT. OF PLANNING & ZONING

*Chad Clark* 3-20-19  
CHIEF, DEVELOPMENT ENGINEERING DIVISION HOP DATE

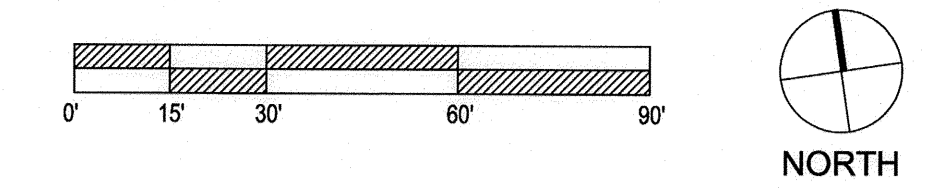
*Kent Lawrence* 4-24-19  
CHIEF, DIVISION OF LAND DEVELOPMENT DATE

*Nancy Zappala* 4-24-19  
DIRECTOR, DIVISION OF LAND DEVELOPMENT DATE

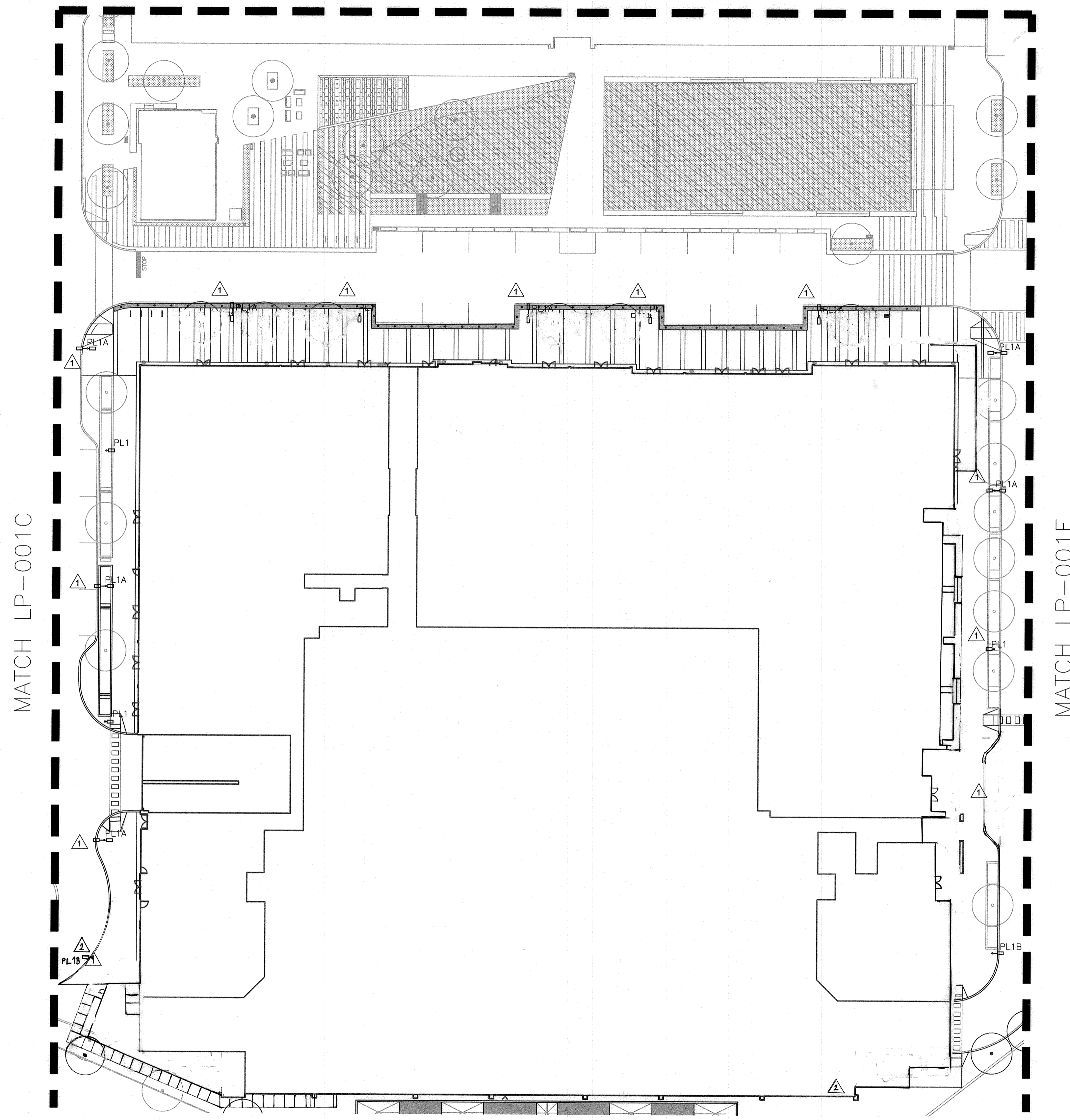
1 PARTIAL LIGHTING PLAN  
SCALE: 1" = 30'-0"

J:\2018\HMC\_CRESCENT\CONSULTANTS\SIGNAGE\SHEETS\PH2\_B\001\_SIGNAGE\_SHEET\_FILE.DWG 2/15/2019 10:38 AM





MATCH LP-001A



1 PARTIAL LIGHTING PLAN  
SCALE: 1" = 30'-0"

HOWARD COUNTY DEPT. OF PLANNING & ZONING

*[Signature]* 12-4-19  
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

*[Signature]* 12-11-19  
CHIEF, DIVISION OF LAND DEVELOPMENT DATE

*[Signature]* 12-10-19  
DIRECTOR DATE

**PROFESSIONAL CERTIFICATION**  
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL LANDSCAPE ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 712, EXPIRATION DATE: 05/14/2021

**FOR REDLINE REVISION #2 ONLY**  
12-10-2020  
DATE

PROFESSIONAL L.A.R.C.H. NO. 712

**FILE NUMBERS:**  
F 15-106, F 16-107, F 17-059, F 18-017, SDP-16-075, SDP-17-027, WP-17-010, WP-17-049, WP-17-052, WP-17-059, WP-17-115, WP-18-020, WP-18-021, SP-16-009, WP-17-100

**CONTRACT NUMBERS:**  
24-4931-D, 24-4975-D, 24-4974-D

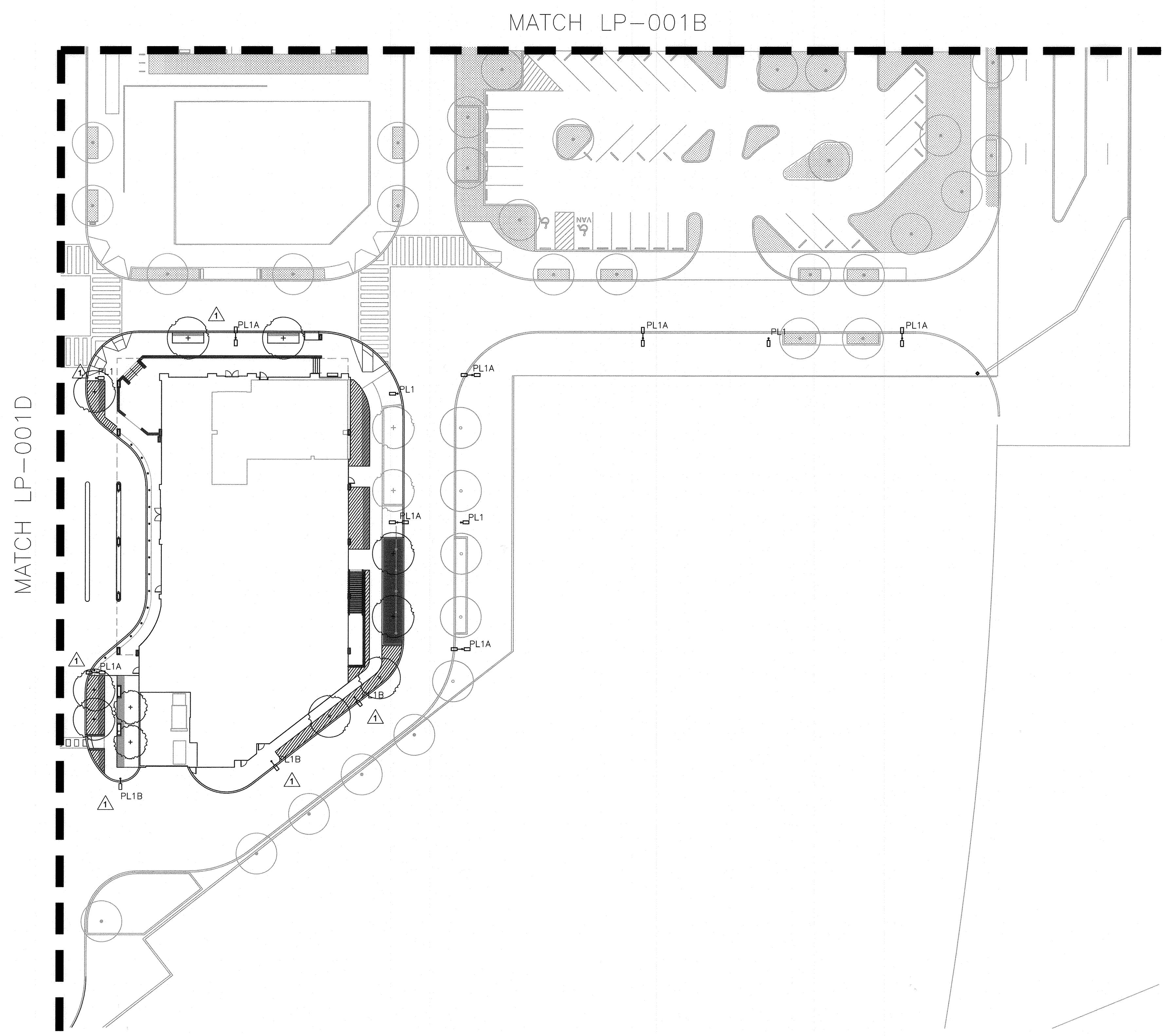
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02-22-2019  
DATE

PROFESSIONAL ARCH. NO. 7318-A

APPROVED:  
PLANNING BOARD OF HOWARD COUNTY  
DATE: October 17, 2019

07/29/19	1	UPDATE PLANS PER REVISED BLDG. 'C' LAYOUT AND NEW BLDG. E-1 HOTEL
10/30/2010	2	UPDATE PLANS PER REVISED BLDG. LAYOUT & UTILITIES
Date	No.	Revision Description
<b>DOWNTOWN COLUMBIA</b>		
<b>CRESCENT NEIGHBORHOOD</b>		
<b>PHASE I AREA 3, PHASE 2</b>		
PARCELS D-1, D-7, D-8, D-9, D-11, D-12 AND D-13		
OWNER / DEVELOPER: THE HOWARD RESEARCH AND DEVELOPMENT CORPORATION COLUMBIA REGIONAL OFFICE 10480 LITTLE PATUXENT PARKWAY SUITE 400 COLUMBIA, MD 21044 410-964-4800		
SUBDIVISION NAME	SECTION/AREA	LOT/PARCEL #
DOWNTOWN COLUMBIA	CRESCENT NEIGHBORHOOD	
PLAT OR LOT	BLOCK #	PHASE #
7	7	3
TAX ZONING	ELECT. DISTRICT	CENSUS TRACT
36	S	605602
WATER CODE	SEWER CODE	STAGE
550	LITTLE PATUXENT	1
TITLE		
LP-001D SITE LIGHTING SHEET D		
REVISED SITE DEVELOPMENT PLAN		
Des. By	JEW/JDC	SCALE AS SHOWN
Drn. By	JDC	Date 02/15/19
Proj. No.	04038.80	
Chk. By	JEW	Approved MCB
		74 of 78



1 PARTIAL LIGHTING PLAN  
SCALE: 1" = 30'-0"

HOWARD COUNTY DEPT. OF PLANNING & ZONING

*[Signature]* 12-4-19  
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

*[Signature]* 12-11-19  
CHIEF, DIVISION OF LAND DEVELOPMENT DATE

*[Signature]* 12-12-19  
DIRECTOR DATE

**FILE NUMBERS:**  
F 15-106, F 16-107, F 17-059, F 18-017,  
SDP-16-075, SDP-17-027, WP-17-010,  
WP-17-049, WP-17-052, WP-17-059,  
WP-17-115, WP-18-020, WP-18-021,  
SP-16-009, WP-17-100

**CONTRACT NUMBERS:**  
24-4931-D, 24-4975-D, 24-4974-D

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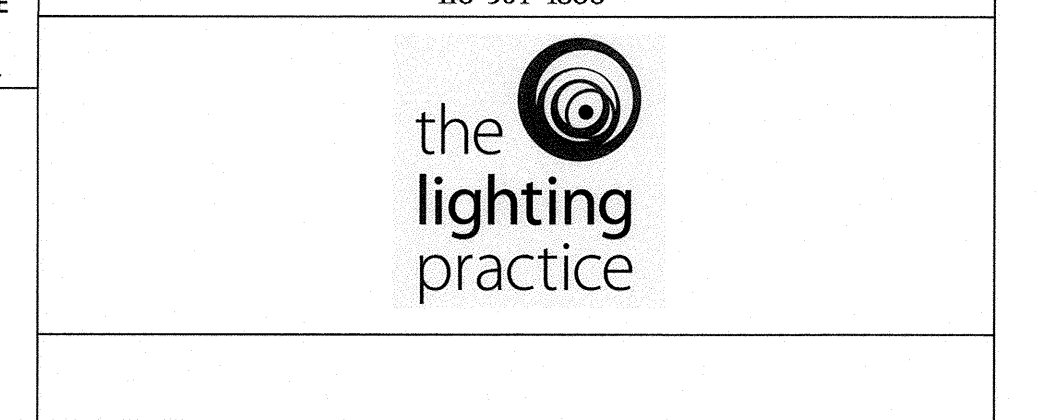
DATE: Oct. 22, 2019

PROFESSIONAL ARCH. NO. 7318-A

APPROVED:  
PLANNING BOARD OF HOWARD COUNTY  
DATE: October 17, 2019

07/29/19	△	UPDATE PLANS PER REVISED BLDG. 'C' LAYOUT AND NEW BLDG. E-1 HOTEL
----------	---	-------------------------------------------------------------------

Date	No.	Revision Description
<b>DOWNTOWN COLUMBIA</b>		
<b>CRESCENT NEIGHBORHOOD</b>		
<b>PHASE I AREA 3, PHASE 2</b>		
PARCELS D-1, D-7, D-8, D-9, D-11, D-12 AND D-13		
<b>OWNER / DEVELOPER:</b> THE HOWARD RESEARCH AND DEVELOPMENT CORPORATION COLUMBIA REGIONAL OFFICE 10480 LITTLE PATUXENT PARKWAY SUITE 400 COLUMBIA, MD 21044 410-964-4800		



SUBDIVISION NAME DOWNTOWN COLUMBIA	SECTION/AREA CRESCENT NEIGHBORHOOD PHASE I AREA 3	LOT/PARCEL # PARCEL D
PLAT OF L.P. 2018-0288	BLOCK # / ZONE 7 / DMU	TAX ZONE/MAP SECT. DISTRICT 36 / 5
WATER CODE 550	SEWER CODE LITTLE PATUXENT	CENSUS TRACT 605602
TITLE LP-001E SITE LIGHTING SHEET E REVISED SITE DEVELOPMENT PLAN		STAGE 1

Des. By	JEW/JDC	SCALE	AS SHOWN	Proj. No.	04038.80
Drn. By	JDC	Date	02/15/19		
Chk. By	JEW	Approved	MCB		75 of 78

MERRIWEATHER DISTRICT: AREA 3 PUBLIC REALM				TLP PROJECT NUMBER: 16099.00		TLP ISSUE DATE: 06/22/18					
LIGHTING FIXTURE SCHEDULE											
SYMBOL	FIXTURE IMAGES	TYPE	MTG.	DESCRIPTION	FINISH	LAMPING		LOAD (W)	VOLTS	MANUFACTURER	CATALOG NUMBER
						QTY.	LAMP DESIGNATION				
⊙		LL5	SURF	SURFACE MOUNTED LED CYLINDER, NOMINAL 3-1/2 INCH DIAMETER X 6 INCH TALL ALUMINUM HOUSING, HOUSING FINISH TO BE SELECTED BY DESIGN PROFESSIONAL. DEEP CANOPY FOR LED DRIVER NOMINAL 5 INCH DIAMETER X 2-1/2 INCH TALL, 0-10V DIMMING FROM 100% TO 10% LIGHT OUTPUT, 40° BEAM DISTRIBUTION, U.L. WET LOCATION RATED.  LED REQUIREMENTS: NOMINAL 1300 INITIAL LUMINAIRE LUMENS, 3000K CCT, 80+ CRI, L70 RATED LIFE OF 50,000 HOURS, AND 5-YEAR WARRANTY.	-	-	LEDS BY MANUFACTURER	11.7	-	V2 LIGHTING	C25M-D-V-W-13-83-35-40-[COLOR]
○		LL8	SURF	COLOR CHANGING DECORATIVE LED DOME FIXTURE NOMINAL 4-7/8 INCH DIAMETER X 2-1/2 INCH ALUMINUM HOUSING WITH 1-7/8 INCH DIAMETER X 1-1/8 INCH TALL DOME LENS, DMX CONTROLLABLE COLOR CHANGING AND DIMMING, IP66 WET LOCATION RATED.  LED REQUIREMENTS: RGB LED; 80+ CRI, L70 RATED LIFE OF 50,000 HOURS, AND 5-YEAR WARRANTY.	-	-	LEDS BY MANUFACTURER	-	-	LUMENPULSE	LUMINAIRE: LMDN-[VOLT]-RGB-[FINISH]-DMX/RDM-CN  POWER/DATA SUPPLY: CBX-100-277-48V-DMX/RDB-[FINISH]  DMX CONTROLLER: LT02
⌞		ML1	GRND	GROUND-MOUNTED LED LANDSCAPE ACCENT LIGHT, NOMINAL 8 INCH TALL X 3 INCH DIAMETER SPUN ALUMINUM HOUSING WITH REGRESSED CLEAR TEMPERED GLASS LENS, PROVIDE SOFT FOCUS LENS ACCESSORY, NOMINAL 35° FLOOD BEAM DISTRIBUTION, FINISH TO BE SATIN BRONZE.  LED REQUIREMENTS: NOMINAL 1300 INITIAL LUMINAIRE LUMENS, 3000K CCT, 80+ CRI, L70 RATED LIFE OF 50,000 HOURS, AND 5-YEAR WARRANTY.	BRZ	-	LEDS BY MANUFACTURER	12	-	B-K LIGHTING	DE-LED-X59-FL-B2P-12-B  DRIVER: PPI-J12-D12INC-B-MT-SF
▬		ML2	REC	LED STEPLIGHT, NOMINAL 11-3/4 INCH WIDE X 2-1/2 INCH TALL FACEPLATE WITH 4-1/4 INCH DEEP ALUMINUM HOUSING AND CLEAR GLASS LENS WITH TRANSLUCENT WHITE CERAMIC COATING, INTEGRAL LED DRIVER, FIXTURE MOUNTED NOMINAL 18 INCHES ABOVE FINISHED GRADE, OVERALL FINISH SHALL BE SELECTED BY DESIGN PROFESSIONAL, U.L. WET LOCATION RATED.  LED REQUIREMENTS: NOMINAL 100 INITIAL DELIVERED LUMENS, 3000K CCT, 80+ CRI, L70 RATED LIFE OF 50,000 HOURS, AND 5-YEAR WARRANTY.	-	-	LEDS BY MANUFACTURER	9	-	BEGA	22 192-[VOLT]-[FINISH]
▮		ML5	IN-GRADE	LINEAR LED IN-GRADE FIXTURE, NOMINAL 4-1/2 INCH WIDE X 5-1/2 INCH DEEP X 24 INCHES LONG EXTRUDED ALUMINUM HOUSING, FROSTED DIFFUSE GLASS LENS WITH WALKOVER RATING, IP67 WET LOCATION RATED.  LED REQUIREMENTS: NOMINAL 400 INITIAL DELIVERED LUMENS, 3000K CCT, 80+ CRI, L70 RATED LIFE OF 50,000 HOURS, AND 5-YEAR WARRANTY.	-	-	LEDS BY MANUFACTURER	10	-	LUMENPULSE	LUMINAIRE: LOID-100/277-24-30K-NO-ASL
▮		ML5A	IN-GRADE	SAME AS ML5 EXCEPT 36 INCHES LONG AND 600 INITIAL DELIVERED LUMENS.	-	-	LEDS BY MANUFACTURER	15	-	LUMENPULSE	LUMINAIRE: LOID-100/277-36-30K-NO-ASL
▮		ML5B	IN-GRADE	SAME AS ML5 EXCEPT 48 INCHES LONG AND 800 INITIAL DELIVERED LUMENS.	-	-	LEDS BY MANUFACTURER	20	-	LUMENPULSE	LUMINAIRE: LOID-100/277-48-30K-NO-ASL
○		ML12	IN-GRADE	INGRADE LED ACCENT LIGHT WITH REMOTE LED ILLUMINATOR, LUMINAIRE IS NOMINAL 1 INCH DIAMETER X 1 INCH DEEP CAST STAINLESS STEEL HOUSING WITH OPAL GLASS LENS, CHAMFERED FACEPLATE, LUMINAIRE SHALL BE SEATED FLUSH WITHIN LANDSCAPE PAVER.  LED REQUIREMENTS: 3000K CCT, 80+ CRI, L70 RATED LIFE OF 50,000 HOURS, AND 5-YEAR WARRANTY.	-	-	LEDS BY MANUFACTURER	24 PER ILLUMINATOR	-	VISUAL LIGHTING TECHNOLOGIES	HEADS: SR-00-S-25-0P-SS  FIBER: F-MF-EL-PM-6-14 TAILS  ILLUMINATOR: FL-1000-XT-B-US-28mm + FL1000-B-2-US
		ML13		DELETED							

MERRIWEATHER DISTRICT: AREA 3 PUBLIC REALM				TLP PROJECT NUMBER: 16099.00		TLP ISSUE DATE: 06/22/18					
LIGHTING FIXTURE SCHEDULE											
SYMBOL	FIXTURE IMAGES	TYPE	MTG.	DESCRIPTION	FINISH	LAMPING		LOAD (W)	VOLTS	MANUFACTURER	CATALOG NUMBER
						QTY.	LAMP DESIGNATION				
⊙		ML18	IN-GRADE	INGRADE LED ACCENT LIGHT NOMINAL 8 INCH DIAMETER X 10-5/8 INCH DEPTH STAINLESS STEEL HOUSING, TEMPERED CLEAR GLASS LENS, INTEGRAL 0-10V LED DIMMING DRIVER, IP67 WET LOCATION RATED.  LED REQUIREMENTS: NOMINAL 940 INITIAL LUMINAIRE LUMENS, 3000K CCT, 80+ CRI, L70 RATED LIFE OF 50,000 HOURS, AND 5-YEAR WARRANTY.	-	-	LEDS BY MANUFACTURER	10.5	-	BEGA	77006-K3
○		ML20	IN-GRADE	COLOR CHANGING IN-GRADE FOUNTAIN LED ACCENT LIGHT NOMINAL 7-1/2 INCH DIAMETER X 5-7/8 INCH DEPTH BRONZE HOUSING WITH 7-1/2 INCH WIDE X 7 INCH ATTACHED ENCLOSED POWER SUPPLY, TEMPERED CLEAR GLASS LENS, MEDIUM FLOOD BEAM DISTRIBUTION, DMX CONTROLLABLE LED DIMMING DRIVER DIMMING FROM 100% TO 0% LIGHT OUTPUT, IP68 WET LOCATION RATED.  LED REQUIREMENTS: 3000K CCT, 80+ CRI, L70 RATED LIFE OF 50,000 HOURS, AND 5-YEAR WARRANTY.	BRZ	-	LEDS BY MANUFACTURER	47	-	HYDREL	LUMINAIRE: 4426-B-18LED-RGB-120-MFL-FLC-BM-R DM-CSL  DMX CONTROLLER: EZTOUCH-BK-120/277
⌞		PL1	POLE 14 FT	LED POLE MOUNTED LUMINAIRE, NOMINAL 41 INCH LONG X 3-1/2 INCH TALL ALUMINUM HOUSING MOUNTED AT 14 FEET A.F.F. ON 14 FOOT 4-1/2 INCH DIAMETER STRAIGHT ROUND POLE, CLEAR GLASS LENS, LEADS PROVIDE A TYPE-II IES DISTRIBUTION, DARK SKY COMPLIANT, INTEGRAL LED DRIVER, OVERALL FINISH SHALL BE BLACK, U.L. WET LOCATION RATED.  LED REQUIREMENTS: NOMINAL 3000 INITIAL DELIVERED LUMENS, 3000K CCT, 80+ CRI, L70 RATED LIFE OF 50,000 HOURS, AND 5-YEAR WARRANTY.	BLACK	-	LEDS BY MANUFACTURER	55	-	LIGMAN LIGHTING	DE-20001-T2-W30-120/277V-14'-HGT-01
⌞		PL1A	POLE 22 FT	LED POLE MOUNTED DOUBLE HEAD LUMINAIRE, NOMINAL 41 INCH LONG X 3-1/2 INCH TALL ALUMINUM HOUSING MOUNTED AT 14 FEET A.F.F. ON SIDEWALK SIDE AND AT 22 FEET A.F.F. ON STREET SIDE, 22 FOOT 4-1/2 INCH DIAMETER STRAIGHT ROUND POLE, CLEAR GLASS LENS, LEADS PROVIDE A TYPE-II IES DISTRIBUTION FOR SIDEWALK SIDE AND TYPE-III DISTRIBUTION FOR STREET SIDE, DARK SKY COMPLIANT, INTEGRAL LED DRIVER, OVERALL FINISH SHALL BE BLACK, U.L. WET LOCATION RATED.  LED REQUIREMENTS: NOMINAL 3000 INITIAL DELIVERED LUMENS ON SIDEWALK SIDE AND 7500 INITIAL DELIVERED LUMENS ON STREET SIDE, 3000K CCT, 80+ CRI, L70 RATED LIFE OF 50,000 HOURS, AND 5-YEAR WARRANTY.	BLACK	-	LEDS BY MANUFACTURER	165	-	LIGMAN LIGHTING	DE-2002# (1) 55W-T2-W30-120/277V-14'-HGT-01 + (1) 110W-T3-W30-120/277V-22'HGT-01
⌞		PL1B	POLE 22 FT	LED POLE MOUNTED LUMINAIRE, NOMINAL 41 INCH LONG X 3-1/2 INCH TALL ALUMINUM HOUSING MOUNTED AT 22 FEET A.F.F. ON 22 FOOT 4-1/2 INCH DIAMETER STRAIGHT ROUND POLE, CLEAR GLASS LENS, LEADS PROVIDE A TYPE-III IES DISTRIBUTION, DARK SKY COMPLIANT, INTEGRAL LED DRIVER, OVERALL FINISH SHALL BE BLACK, U.L. WET LOCATION RATED.  LED REQUIREMENTS: NOMINAL 7500 INITIAL DELIVERED LUMENS, 3000K CCT, 80+ CRI, L70 RATED LIFE OF 50,000 HOURS, AND 5-YEAR WARRANTY.	BLACK	-	LEDS BY MANUFACTURER	110	-	LIGMAN LIGHTING	DE-20003-T3-W30-120/277V-22'HGT-01

J:\MERRIWEATHER DISTRICT: AREA 3 PUBLIC REALM\DWG\2107018.DWG 2/15/2018 10:32 AM

APPROVED: HOWARD COUNTY DEPT. OF PLANNING & ZONING

*[Signature]* 3-20-19  
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

*[Signature]* 4-24-19  
CHIEF, DIVISION OF LAND DEVELOPMENT DATE

*[Signature]* 4-24-19  
DIRECTOR, DIVISION OF LAND DEVELOPMENT DATE

**FILE NUMBERS:**  
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**CONTRACT NUMBERS:**  
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02/15/19  
DATE

*[Signature]*  
PROFESSIONAL ARCH. NO. 7318-A

APPROVED:  
PLANNING BOARD OF HOWARD COUNTY  
DATE: 1/8/18

Date	No.	Revision Description
		DOWNTOWN COLUMBIA CRESCENT NEIGHBORHOOD PHASE I AREA 3, PHASE 2 PARCELS D-1, D-7, D-8, D-9, D-11, D-12 AND D-13

OWNER / DEVELOPER:  
THE HOWARD RESEARCH AND DEVELOPMENT CORPORATION  
COLUMBIA REGIONAL OFFICE  
10480 LITTLE PATUXENT PARKWAY SUITE 400  
COLUMBIA, MD 21044  
410-964-4800

**the lighting practice**

SUBDIVISION NAME DOWNTOWN COLUMBIA	SECTION/AREA PHASE 2 AREA 3	NEIGHBORHOOD CRESCENT	LOT/PARCEL # 550	PARCEL D 605602
PLAT OR LOT 22481-24830	TAX ZONE/MAP 7	ELECT. DISTRICT 36	CENSUS TRACT 5	STAGE 1
WATER CODE	SEWER CODE	TITLE LITTLE PATUXENT		PROJECT LP-700 LIGHTING FIXTURE SCHEDULE

Des. By	JEW/JDC	SCALE	AS SHOWN	Proj. No.	04038.B0
Drn. By	JDC	Date	02/15/19		
Chk. By	JEW	Approved	MCB		76 of 78

SDP-18-005

MERRIWEATHER DISTRICT: AREA 3 PUBLIC REALM				TLP PROJECT NUMBER: 16099.00	TLP ISSUE DATE: 06/22/18						
LIGHTING FIXTURE SCHEDULE											
SYMBOL	FIXTURE IMAGES	TYPE	MTG.	DESCRIPTION	FINISH	LAMPING		LOAD (W)	VOLTS	MANUFACTURER	CATALOG NUMBER
						QTY.	LAMP DESIGNATION				
		PL2	POLE 12 FT	LED POLE TOP LUMINAIRE, NOMINAL 40 INCH DIAMETER REFLECTOR DISK MOUNTED ABOVE LED SOURCE FOR A MAXIMUM HEIGHT OF 24 INCHES, 3 INCH TENON MOUNTED TO 12 FOOT TALL STRAIGHT ROUND ALUMINUM POLE WITH A DIAMETER OF 3 INCHES, 3/4 INCH CLEAR GLASS LENS WITH SILICON GASKET, INTEGRAL LED DRIVER LOCATED IN THE BASE OF THE POLE, OVERALL FINISH SHALL BE BLACK, U.L. WET LOCATION RATED.  LED REQUIREMENTS: NOMINAL 2200 INITIAL DELIVERED LUMENS, 3000K CCT, 80+ CRI, L70 RATED LIFE OF 50,000 HOURS, AND 5-YEAR WARRANTY.	BLACK	-	LEDS BY MANUFACTURER	56	-	BEGA	88 309-K3-906HR 5"-BLK
		PL3	POLE 14 FT	LED LIGHT COLUMN, NOMINAL 14 FEET 3 INCHES TALL X 8-1/2 INCH SQUARE ALUMINUM HOUSING WITH FOUR SQUARE ALUMINUM EXTRUSION POSTS AT THE FOUR CORNERS, LAMP ENCLOSURE INCLUDES TEMPERED GLASS LENS AND STAINLESS STEEL HARDWARE, LUMINAIRE SHALL MOUNT TO GRADE WITH STAINLESS STEEL HARDWARE THROUGH BASE PLATE, LUMINAIRE TO MOUNT VERTICALLY PLUMB ON GRADE, CONTRACTOR TO PROVIDE GROUT FILL AS REQUIRED, OVERALL PAINT FINISH TO BE BLACK, U.L. WET LOCATION RATED.  LED REQUIREMENTS: NOMINAL 1100 INITIAL DELIVERED LUMENS, 3000K CCT, 80+ CRI, L70 RATED LIFE OF 50,000 HOURS, AND 5-YEAR WARRANTY.	BLACK	-	LEDS BY MANUFACTURER	40	-	BEGA	77 844-K3-BLK
		PL4	POLE 24 FT	HEADS: LED POLE MOUNTED LUMINAIRE, NOMINAL 8 INCH DIAMETER X 13 INCH DEEP BULB SHAPED ALUMINUM HOUSING, CLEAR GLASS LENS, CAST ALUMINUM MOUNTING ARMS WITH TILT-SWIVEL RANGE OF 0 TO 175 DEGREES AND A 360 DEGREE ROTATION, 44 DEGREE FLOOD OPTIC, INTEGRAL LED DRIVER, OVERALL PAINT FINISH TO BE BLACK, U.L. WET LOCATION RATED.  POLE: ROUND TAPERED ALUMINUM POLE WITH FOUR HEADS MOUNTED TO NOMINAL 24 FOOT TALL POLE WITH 7 INCH DIAMETER BASE X 4 INCH DIAMETER TOP, .188 INCH WALL THICKNESS, HEADS TO BE MOUNTED 90 DEGREES APART, TOP HEAD TO BE 24 INCHES FROM TOP OF POLE AND CONSECUTIVE HEADS TO BE MOUNTED BELOW AT 18 INCH INTERVALS, OVERALL PAINT FINISH TO BE BLACK.  LED REQUIREMENTS PER HEAD: NOMINAL 2200 INITIAL DELIVERED LUMENS, 3000K CCT, 80+ CRI, L70 RATED LIFE OF 50,000 HOURS, AND 5-YEAR WARRANTY.	BLACK	-	LEDS BY MANUFACTURER		-	SELUX	HEAD: (4)JLGL-F40-SB4(0B-1P-2L-3D)-L28-30-BK-[VOLT]-[OPTIONS] POLE: 0-AT74-156-24-BK-RN4-[OPTIONS]
		PL5	POLE 24 FT	SAME AS PL4 EXCEPT 5 LUMINAIRES AT NEW MOUNTING DESIGNATIONS.	BLACK	-	LEDS BY MANUFACTURER		-	SELUX	HEAD: (5)JLGL-F40-SB5(0B-1G-2L-3D)-L28-30-BK-[VOLT]-[OPTIONS] POLE: 0-AT74-156-24-BK-RN5-[OPTIONS]
		PL6	POLE 20 FT	LED POLE MOUNTED LUMINAIRE, NOMINAL 17-1/2 INCH LONG X 17-1/2 INCH WIDE X 7 INCH TALL ALUMINUM HOUSING MOUNTED AT 20 FEET A.F.F. ON 20 FOOT 4 INCH SQUARE STRAIGHT POLE, CLEAR GLASS LENS, LED PROVIDE A TYPE-IIIES DISTRIBUTION, INTEGRAL LED DRIVER, OVERALL FINISH TO BE BLACK, U.L. WET LOCATION RATED.  LED REQUIREMENTS: NOMINAL 7800 INITIAL DELIVERED LUMENS, 3000K CCT, 80+ CRI, L70 RATED LIFE OF 50,000 HOURS, AND 5-YEAR WARRANTY.	BLACK	-	LEDS BY MANUFACTURER	69	-	LITHONIA LIGHTING	HEAD: KAD LED-30C-700-30K-R2-[VOLT]-[MOUNTING]-[OPTIONS]-DBLXD POLE: SSA-20-4G-DM19-[OPTIONS]-DBL
		PL6A	POLE 20 FT	SAME AS PL6 EXCEPT IES TYPE V DISTRIBUTION.	BLACK	-	LEDS BY MANUFACTURER	69	-	LITHONIA LIGHTING	HEAD: KAD LED-30C-700-30K-R5-[VOLT]-[MOUNTING]-[OPTIONS]-DBLXD POLE: SSA-20-4G-DM19-[OPTIONS]-DBL
		PL6B	POLE 20 FT	SAME AS PL6A EXCEPT WITH TWO HEADS MOUNTED 180 DEGREES APART.	BLACK	-	LEDS BY MANUFACTURER	138	-	LITHONIA LIGHTING	HEAD: (2)KAD LED-30C-700-30K-R5-[VOLT]-[MOUNTING]-[OPTIONS]-[FINISH] POLE: SSA-20-4G-DM28-[OPTIONS]-[FINISH]

**GENERAL NOTES:**

- THIS PROJECT COMPLIES WITH SECTION 134 OF THE ZONING REGULATIONS.
- ALL LIGHTING FIXTURES, LAMPS AND RELATED DEVICES FURNISHED UNDER THIS CONTRACT SHALL CARRY THE APPROVAL LABEL OF UL OR ETL FOR THE SPECIFIC APPLICATION IN WHICH THEY ARE USED.
- THE STATEMENT "FINISH TO BE SELECTED BY DESIGN PROFESSIONAL" SHALL BE INTERPRETED TO MEAN THAT THE FINISH OF THE LUMINAIRE SHALL MATCH THE APPEARANCE OF A PAINT CHIP, COLOR NUMBER, OR METAL SWATCH FURNISHED BY THE DESIGN PROFESSIONAL DURING THE SUBMITTAL REVIEW PROCESS.
- WHITE L.E.D.'S SHALL MEET, AT A MINIMUM, CHROMATICITY STANDARDS SET BY ANSI/NEMA/ANSI C79.377-2011. L.E.D. LUMEN MAINTENANCE SHALL BE MEASURED IN ACCORDANCE WITH IESNA LM-80 STANDARDS. PHOTOMETRIC TESTING FOR SOLID STATE LUMINAIRES SHALL BE IN ACCORDANCE WITH IESNA LM-79 STANDARDS.
- CONTRACTOR SHALL CONFIRM FIXTURE VOLTAGES, CEILING TRIMS, AND MOUNTING HARDWARE ARE COMPATIBLE WITH THEIR APPLICATION AS DETERMINED BY THE DESIGN PROFESSIONAL PRIOR TO ORDERING FIXTURES.
- CONTRACTOR SHALL SELECT, FURNISH AND INSTALL THE CORRECT SIZE OF SECONDARY WIRING FROM REMOTE TRANSFORMERS AND/OR REMOTE BALLASTS AS REQUIRED TO KEEP VOLTAGE DROP IN THE SECONDARY WIRING BELOW 3% OF RATED VOLTAGE.
- ALL DIMMABLE FLUORESCENT, CERAMIC METAL HALIDE, AND L.E.D. LAMPS SHALL BE BURNED CONTINUOUSLY FOR 100 HOURS AT FULL OUTPUT PRIOR TO FOCUSING OF FIXTURES AND COMMISSIONING OF CONTROL SYSTEMS.
- CONTRACTOR SHALL PROVIDE LABOR AND EQUIPMENT FOR FOCUSING OF ADJUSTABLE FIXTURES AND PRESETTING OF LIGHTING CONTROL SYSTEMS. FOCUSING AND PRESETTING SHALL BE DONE IN THE PRESENCE OF THE DESIGN PROFESSIONAL. CONTRACTOR SHALL FOCUS LIGHTING AFTER DARK IF DIRECTED BY THE OWNER'S REPRESENTATIVE. UNLESS OTHERWISE NOTED, CONTRACTOR SHALL PROVIDE AT LEAST ONE DAY OF A FACTORY-TRAINED AND CERTIFIED TECHNICIAN TO PROVIDE WARRANTY START UP AND PROGRAMMING FOR ALL LIGHTING CONTROL SYSTEMS AND PROGRAMMABLE LIGHTING FIXTURES.
- CONTRACTOR SHALL PROVIDE THE FOLLOWING WITH THEIR BID:
  - THE UNIT PRICE, WITHOUT LAMP, FOR EACH LIGHTING FIXTURE TYPE LISTED WITHIN THE LIGHTING FIXTURE SCHEDULE. THE UNIT PRICE SHALL BE FOR ONE OF THE LISTED MANUFACTURER'S FOR THAT PARTICULAR FIXTURE. THE MANUFACTURER SHALL BE IDENTIFIED. SUBSTITUTIONS FOR FIXTURES PROVIDED BY MANUFACTURERS NOT LISTED IN THE SCHEDULE ARE NOT ACCEPTABLE. SEE BELOW FOR REQUIREMENTS ASSOCIATED WITH SUBMITTING LIGHTING FIXTURE SUBSTITUTIONS.
  - THE TOTAL QUANTITY OF EACH FIXTURE TYPE WITH THE EXTENDED COST FOR THAT QUANTITY.
  - THE UNIT PRICE, TYPE, AND QUANTITY OF LAMPS.
- WITHIN 21 DAYS OF CONTRACT AWARD, THE CONTRACTOR SHALL FURNISH SUBMITTALS FOR ALL SPECIFIED LIGHTING FIXTURES FOR REVIEW BY THE DESIGN PROFESSIONAL. THE SUBMITTALS SHALL INCLUDE LUMINAIRE CATALOG CUTS, SUBMITTAL SHEETS, OR MANUFACTURERS SHOP DRAWINGS INDICATING THE FOLLOWING:
  - MANUFACTURER'S NAME AND COMPLETE CATALOG NUMBER
  - FIXTURE TYPE, DIMENSIONS AND FINISHES
  - FIXTURE PHOTOMETRIC TEST DATA FROM AN INDEPENDENT TEST LABORATORY
  - FIXTURE ACCESSORIES, COMPONENTS, AND HARDWARE WHEN SPECIFIED
  - LAMP TYPE, QUANTITY, WATTAGE, LUMEN OUTPUT, RATED LIFE, COLOR TEMPERATURE, COLOR RENDERING INDEX AND BEAM SPREAD AS APPLICABLE
  - BALLAST TYPE AND FIXTURE VOLTAGE

SUBMITTALS FOR LIGHTING FIXTURES MOUNTED WITHIN ARCHITECTURAL COVES OR CASEWORK, VARIABLE LENGTH FIXTURES, AND FOR NON-STANDARD, OR CUSTOM FIXTURES, SHALL ALSO INCLUDE SCALED DRAWINGS SHOWING THE LAYOUT AND DIMENSIONS OF ALL FIXTURE COMPONENTS AND ACCESSORIES, THE METHOD OF INSTALLATION, AND A COMPLETE BILL OF MATERIALS.
- LIGHTING FIXTURE SUBSTITUTION REQUESTS MUST BE SENT TO AND RECEIVED BY THE LIGHTING DESIGNER FOR REVIEW 14 DAYS PRIOR TO BID DATE. FAILURE TO SUBMIT WITHIN THIS DEADLINE SHALL CONSTITUTE A GUARANTEE THAT THE SPECIFIED FIXTURES WILL BE SUPPLIED. THE SUBMITTAL SHALL INCLUDE THE FOLLOWING:
  - SIX HARD COPIES OF THE SUBMITTALS REQUIRED ABOVE FOR BOTH THE SPECIFIED FIXTURE AND THE PROPOSED SUBSTITUTION.
  - ONE NON-RETURNABLE WORKING SAMPLE OF THE PROPOSED SUBSTITUTE FIXTURE WITH CORD & PLUG CONNECTION FOR 120 VOLT OPERATION, AND SPECIFIED LAMP(S).
  - CONTRACTOR'S STATEMENT INDICATING THE EFFECT OF THE SUBSTITUTION ON THE CONSTRUCTION SCHEDULE COMPARED TO THE SCHEDULE WITHOUT THE APPROVAL OF THE PROPOSED SUBSTITUTION.
  - CONTRACTOR'S CERTIFICATION STATING THAT THE PROPOSED SUBSTITUTION CONFORMS TO THE REQUIREMENTS OF THE CONTRACT DOCUMENTS IN EVERY RESPECT AND IS APPROPRIATE FOR THE APPLICATIONS INDICATED IN THE DOCUMENTS.
  - CONTRACTOR'S CERTIFICATION STATING THAT ANY MODIFICATIONS TO ANY BUILDING SYSTEM OR EQUIPMENT THAT MAY RESULT FROM THE PROPOSED LIGHTING FIXTURE SUBSTITUTION WILL BE DESIGNED AND CONSTRUCTED AT THE CONTRACTOR'S EXPENSE.
  - CONTRACTOR'S WAIVER OF RIGHTS TO ADDITIONAL PAYMENT OR TIME THAT MAY BECOME NECESSARY SHOULD THE PROPOSED SUBSTITUTION FAIL TO PERFORM IN A MANNER THAT MATCHES THE SPECIFIED FIXTURE.
  - CONTRACTOR-NET UNIT PRICE FOR THE SPECIFIED FIXTURE AND FOR THE PROPOSED SUBSTITUTE FIXTURE.

THE LIGHTING DESIGNER SHALL BE REIMBURSED BY THE CONTRACTOR FOR ALL OF THE DESIGNER'S TIME ASSOCIATED WITH THE REVIEW OF THE PROPOSED FIXTURE SUBSTITUTION(S). PAYMENT SHALL BE MADE IN ADVANCE OF THE REVIEW, BASED ON THE DESIGNER'S ESTIMATE OF THE REQUIRED TIME. THE PAYMENT SHALL BE BASED ON THE DESIGNER'S STANDARD HOURLY RATES FOR THE PERSONNEL INVOLVED IN THE REVIEW.

**DEFINITIONS:**

- CORRELATED COLOR TEMPERATURE (CCT): THE ABSOLUTE TEMPERATURE, MEASURED IN DEGREES KELVIN, OF A BLACKBODY RADIATOR HAVING CHROMATICITY RESEMBLING THAT OF AN ELECTRIC LIGHT SOURCE. FOR LED SOURCES CCT SHALL NOT DEVIATE FROM THE REFERENCE COLOR TEMPERATURE BY NO MORE THAN THREE MACADAM ELLIPSES, AS DEFINED BY NEMA/ANSI/ANSI C38.377-2011
- COLOR RENDERING INDEX (CRI): MEASURE OF COLOR SHIFT OBJECTS UNDERGO WHEN ILLUMINATED BY AN ELECTRIC LIGHT SOURCE AS COMPARED WITH THE COLOR OF THE SAME OBJECTS ILLUMINATED BY A REFERENCE SOURCE AT THE SAME COLOR TEMPERATURE. CRI VALUES FOR ELECTRIC LIGHT SOURCES RANGE FROM APPROXIMATELY 20 (LOW PRESSURE SODIUM) TO 99 (HALOGEN). CRI VALUES FOR LED SOURCES SHALL BE MEASURED AFTER 6000 HOURS AND SHALL NOT DEVIATE MORE THAN 3 POINTS FROM THE RATED VALUE.
- LED LIGHT ENGINE: THE COMBINED LED LIGHT SOURCE AND ITS ASSOCIATED ELECTRONIC DRIVER. THE LED LIGHT ENGINE MAY HAVE AN INTEGRAL DRIVER OR THE DRIVER MAY BE HOUSED IN A SEPARATE ENCLOSURE.
- LED DRIVER: CONTROL DEVICE THAT MAINTAINS CONSTANT AMOUNT OF CURRENT TO THE LED LIGHT SOURCE. LED DRIVERS GENERALLY OPERATE AT 12VDC OR 24VDC. SOME DRIVERS ARE DESIGNED TO ACCEPT BRANCH CIRCUIT VOLTAGE RANGING FROM 120VAC THROUGH 277VAC OR MAY REQUIRE A SEPARATE TRANSFORMER.
- TRANSFORMER: ELECTROMAGNETIC OR ELECTRONIC DEVICE THAT STEPS DOWN PRIMARY VOLTAGE TO A LOWER SECONDARY VOLTAGE. GENERALLY SECONDARY VOLTAGE WILL BE 12V OR 24V
- DIMMING: THE REDUCTION OF LIGHT INTENSITY OF A LIGHT SOURCE. ALL SOURCES SHALL HAVE A SMOOTH, FLICKER-FREE AND CONTINUOUS DIMMING CURVE FROM FULL-OFF TO 100% OUTPUT. LED SOURCES MAY BE DIMMED BY EITHER CONSTANT CURRENT REDUCTION (CCR) OR BY PULSE WIDTH MODULATION (PWM) DIMMING FOR CONSTANT CURRENT DRIVERS.
- RATED LUMEN MAINTENANCE LIFE: THE ELAPSED OPERATING TIME OVER WHICH AN LED LIGHT SOURCE WILL MAINTAIN THE PERCENTAGE OF ITS INITIAL LUMEN OUTPUT  
L70: TIME, IN HOURS, TO 70% LUMEN MAINTENANCE  
L50: TIME, IN HOURS, TO 50% LUMEN MAINTENANCE

J:\MHC\CRENSHAW\CONCRETE\INTERMEDIATE\SDP-18-005\DWG SHEET FILED IN 2/15/2019 10:51 AM

APPROVED: HOWARD COUNTY DEPT. OF PLANNING & ZONING

*Chad Cochran* 3-20-19  
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

*Keith A. ...* 4-24-19  
CHIEF, DIVISION OF LAND DEVELOPMENT DATE

*William J. ...* 4-24-19  
DIRECTOR, DIVISION OF LAND DEVELOPMENT DATE

**FILE NUMBERS:**  
F 15-106, F 16-107, F 17-059, F 18-011,  
SDP-16-075, SDP-17-027, WP-17-010,  
WP-17-049, WP-17-052, WP-17-059,  
WP-17-115, WP-18-020, WP-18-021,  
SP-16-009, WP-17-100

**CONTRACT NUMBERS:**  
24-4931-D, 24-4975-D, 24-4974-D.

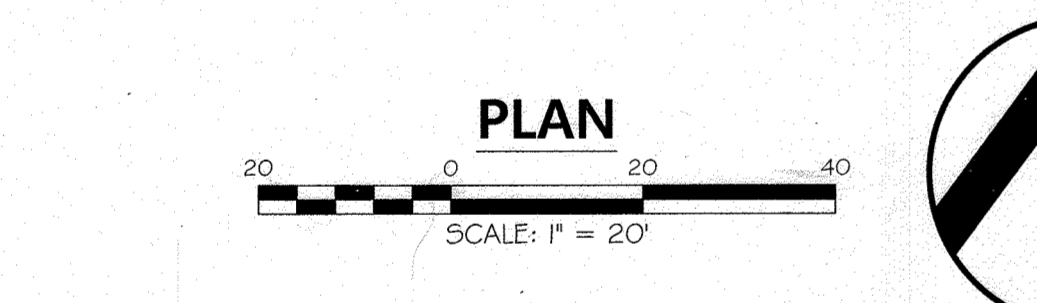
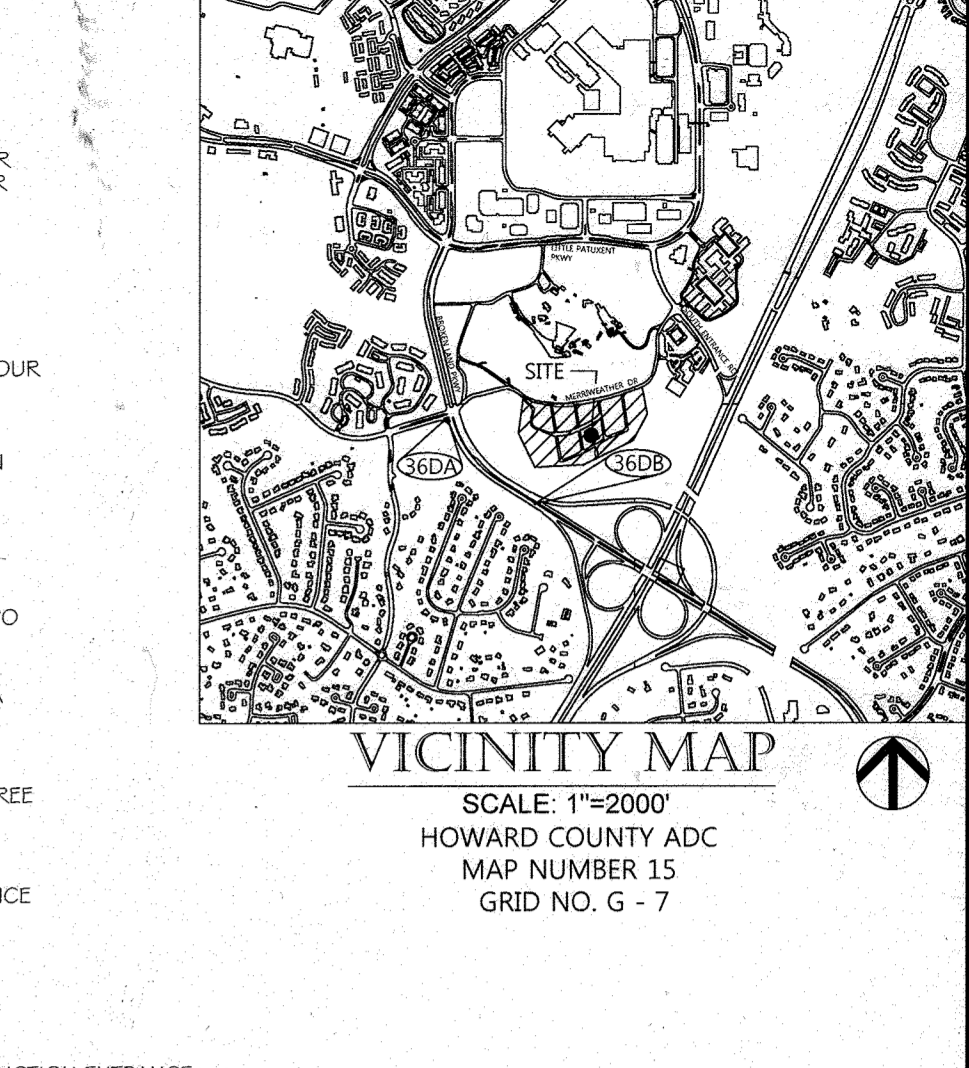
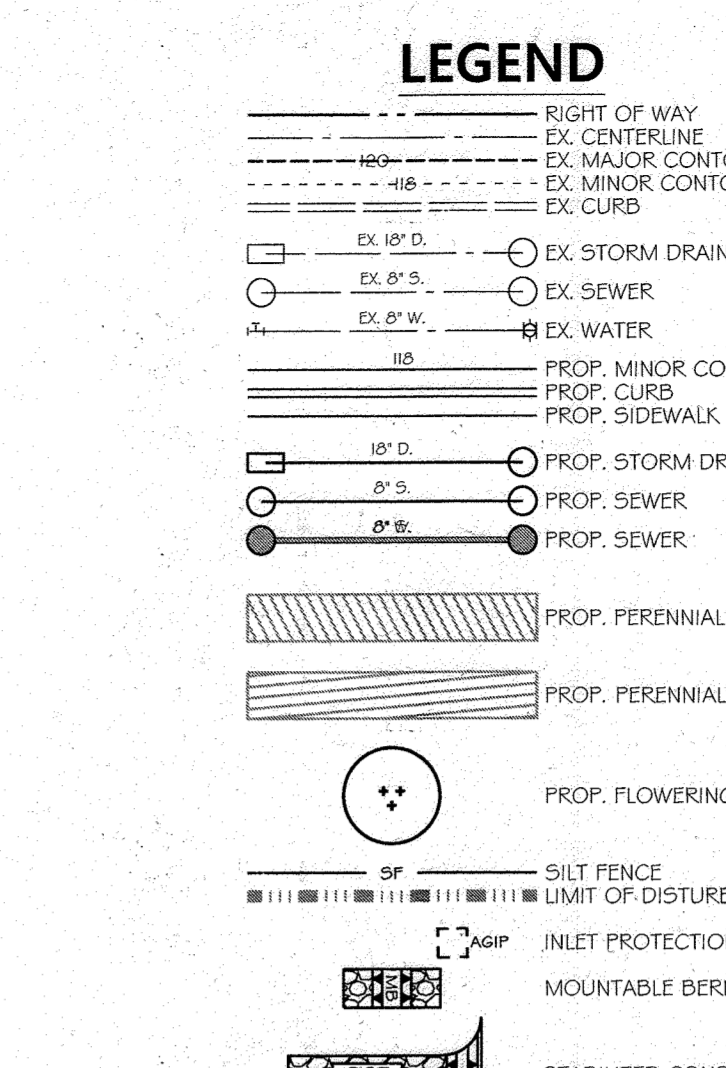
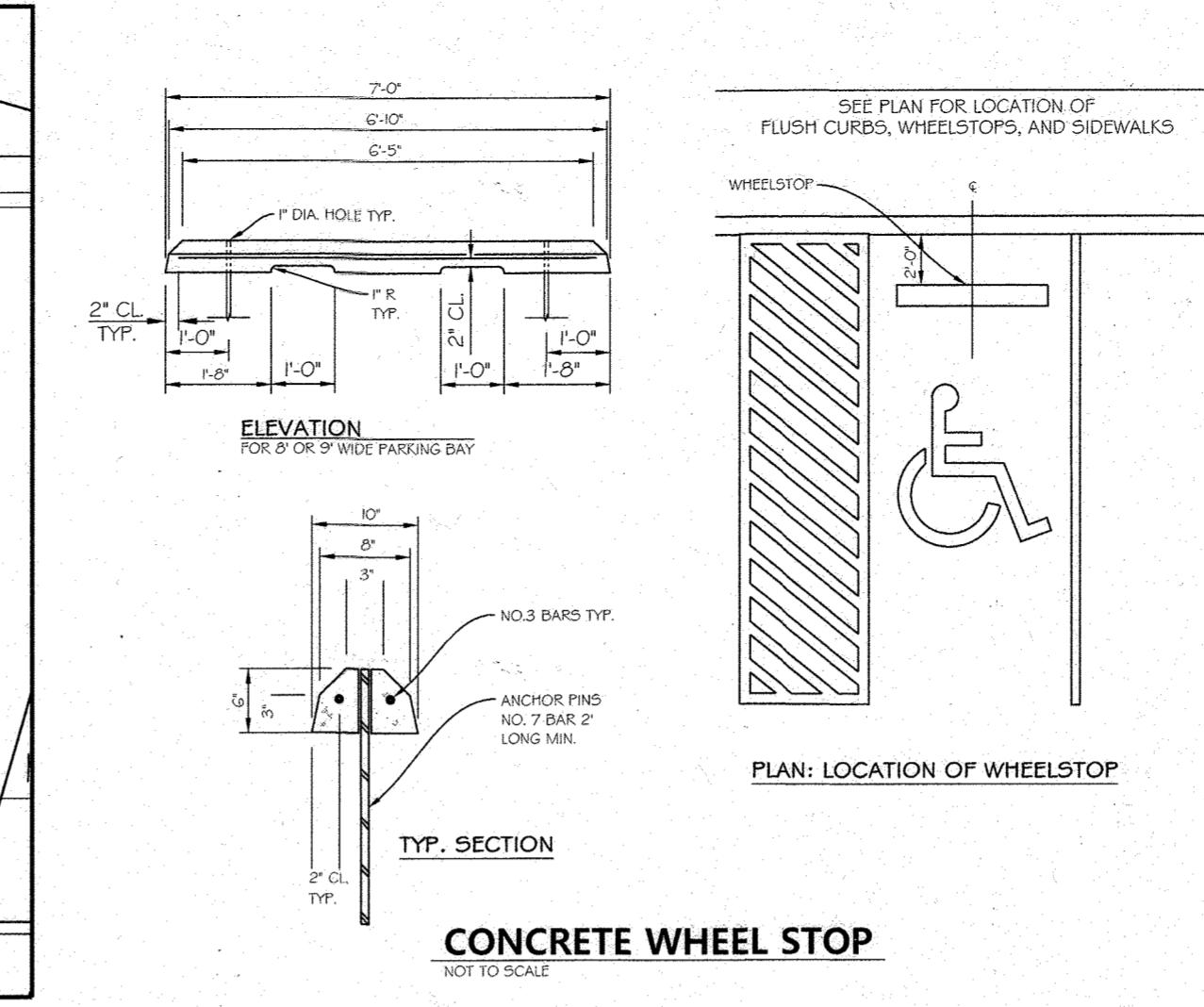
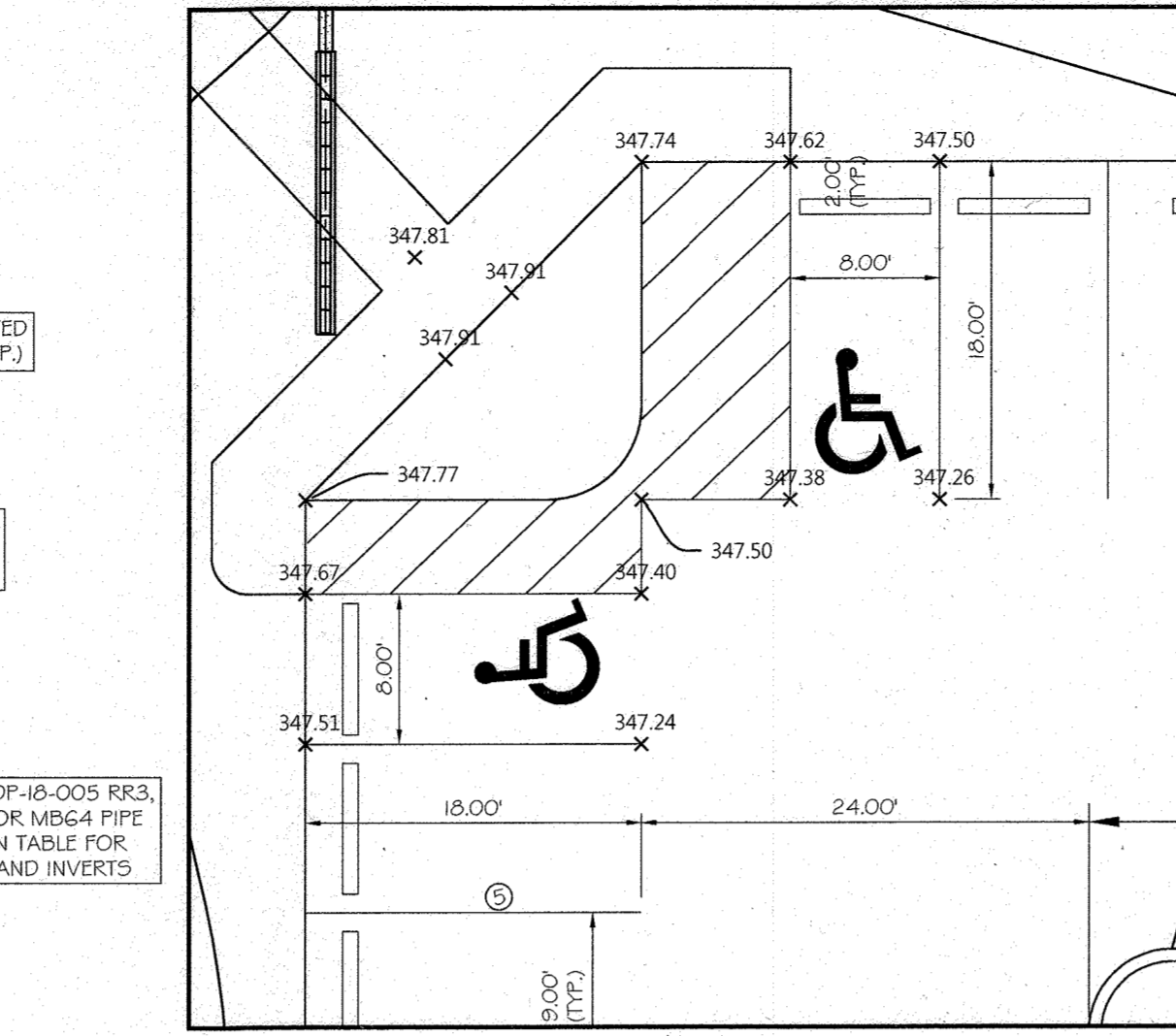
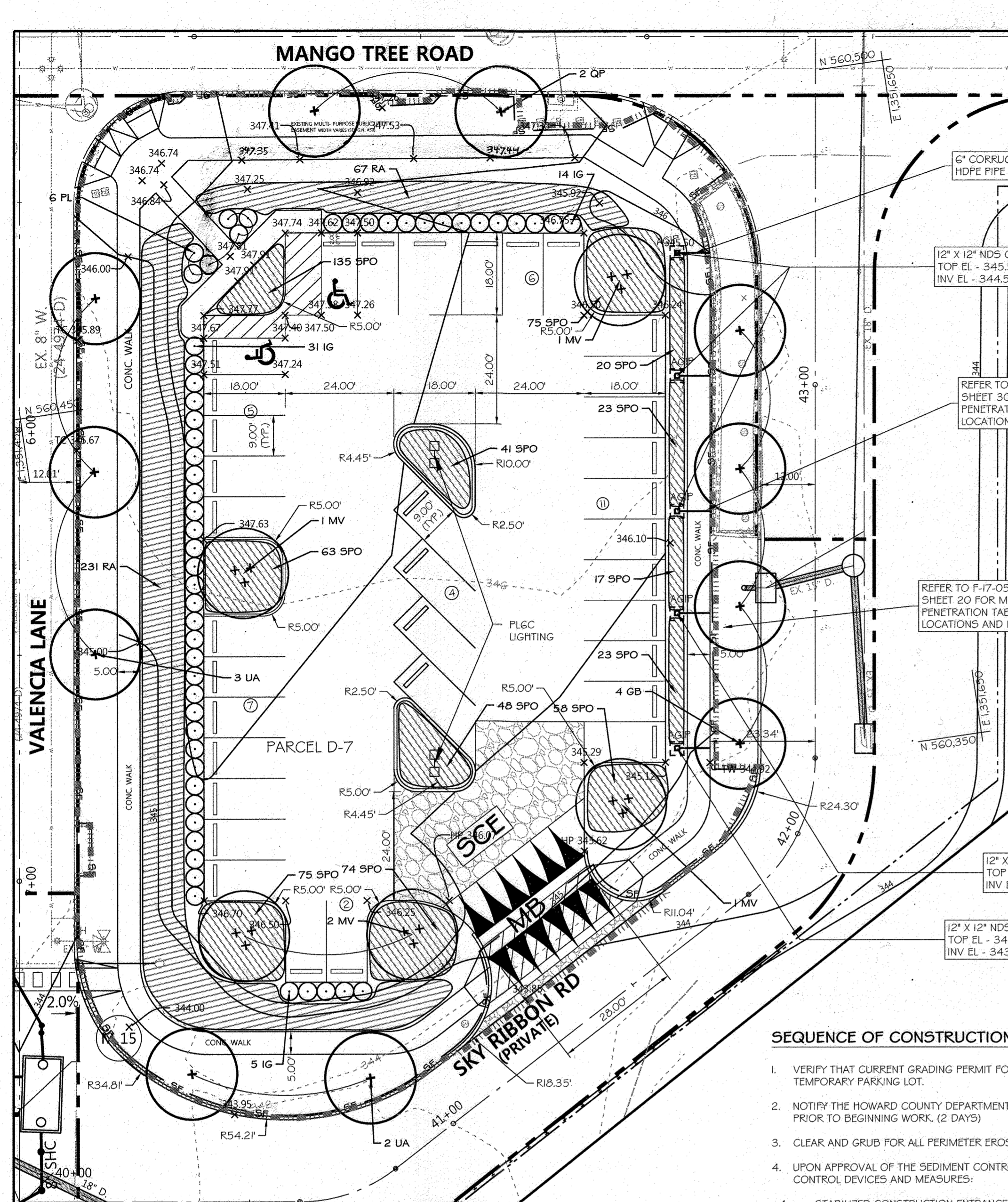
**PROFESSIONAL CERTIFICATION**  
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 7318-A, EXPIRATION DATE: 10/21/20.

02/15/19  
DATE

*Paul James ...*  
PROFESSIONAL ARCH. NO. 7318-A

APPROVED:  
PLANNING BOARD OF HOWARD COUNTY  
DATE: 11/8/18

Date	No.	Revision Description
		DOWNTOWN COLUMBIA CRESCENT NEIGHBORHOOD PHASE 1 AREA 3, PHASE 2 PARCELS D-1, D-7, D-8, D-9, D-11, D-12 AND D-13
		OWNER / DEVELOPER: THE HOWARD RESEARCH AND DEVELOPMENT CORPORATION COLUMBIA REGIONAL OFFICE 10480 LITTLE PATUXENT PARKWAY SUITE 400 COLUMBIA, MD 21044 410-964-4800
		<b>the lighting practice</b>
SUBDIVISION NAME	SECTION/AREA	NEIGHBORHOOD
DOWNTOWN COLUMBIA	PHASE 1 AREA 3	PHASE 2 AREA 2
PLAT OR LOT	BLOCK #	ZONE
2282-2283	7	DMAU
WATER CODE	SEWER CODE	ELECT. DISTRICT
550		5
		CENSUS TRACT
		605602
		STAGE
		1
TITLE		
LP-701 LIGHTING FIXTURE SCHEDULE AND GENERAL NOTES		
Des. By	JEW/JDC	SCALE AS SHOWN
Drn. By	JDC	Date 02/15/19
Chk. By	JEW	Approved MCB
		Proj. No. 04038.B0
		77 of 78



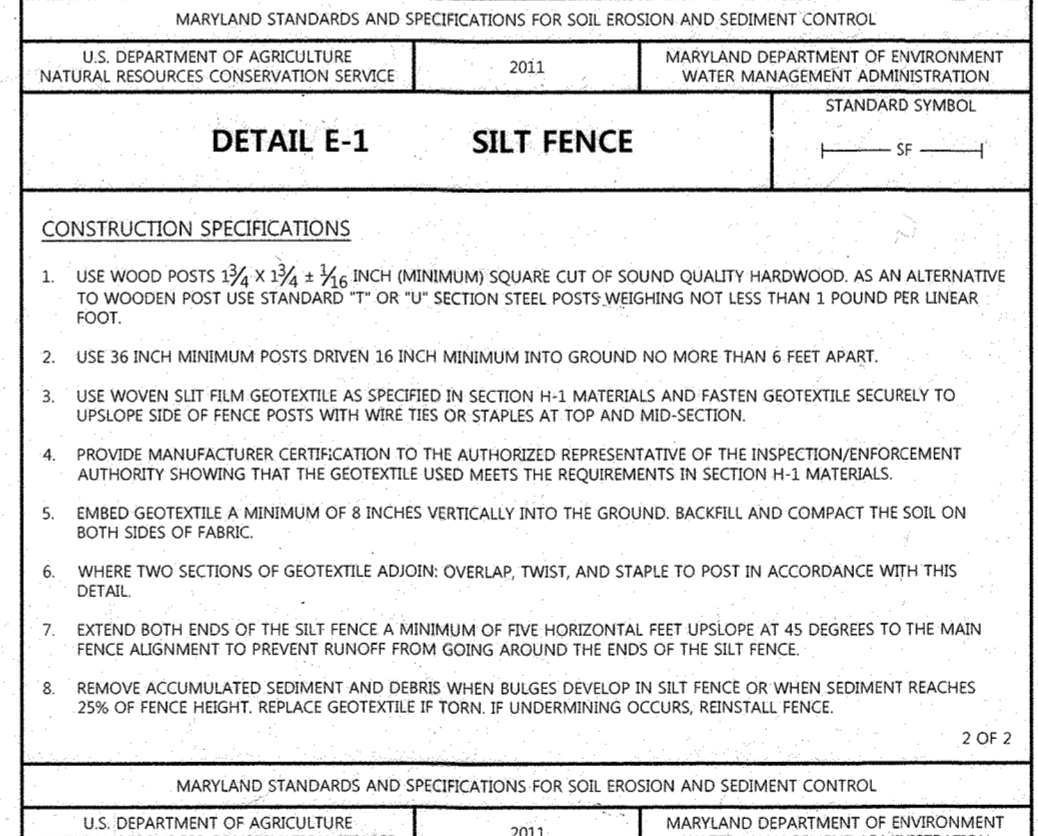
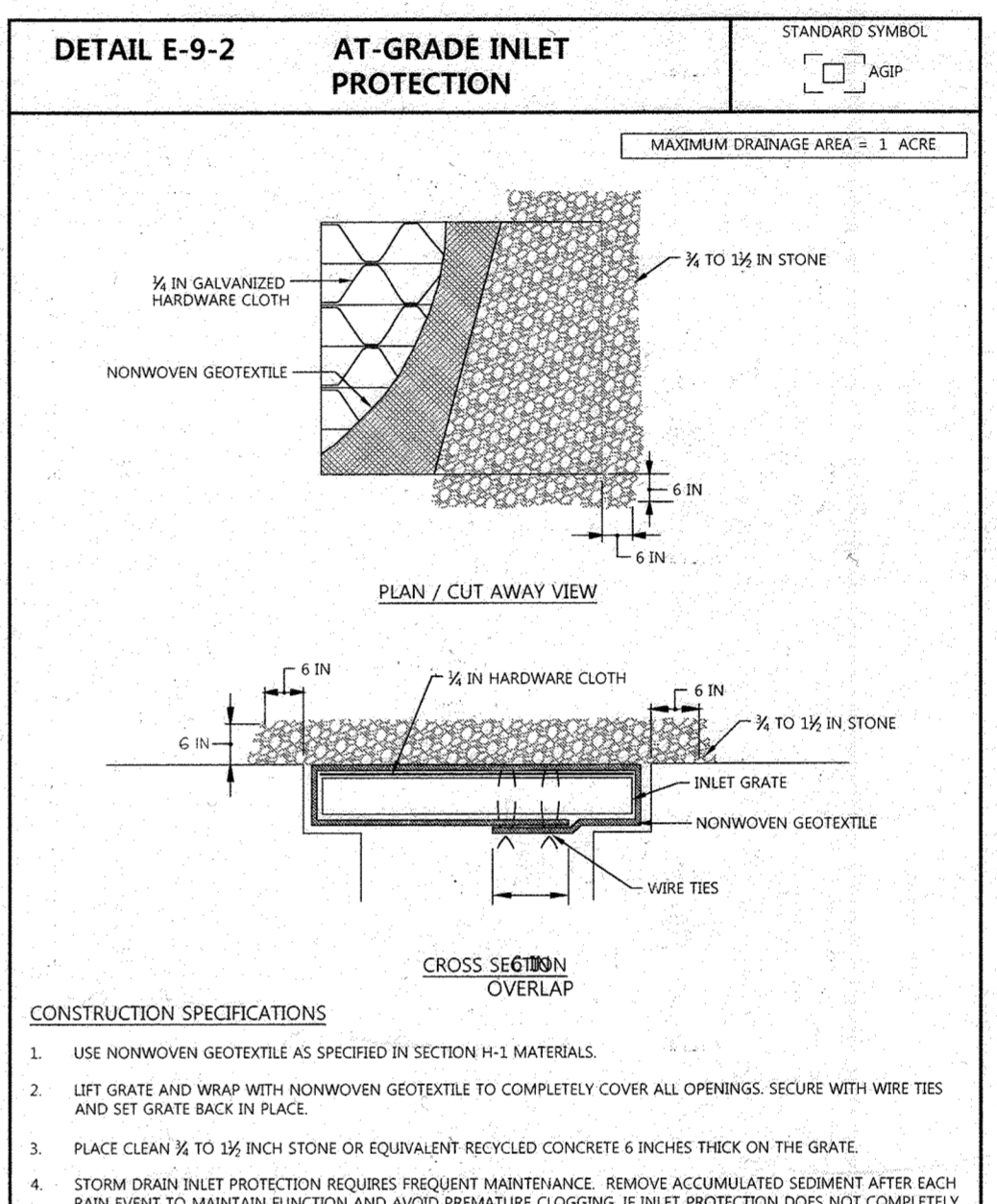
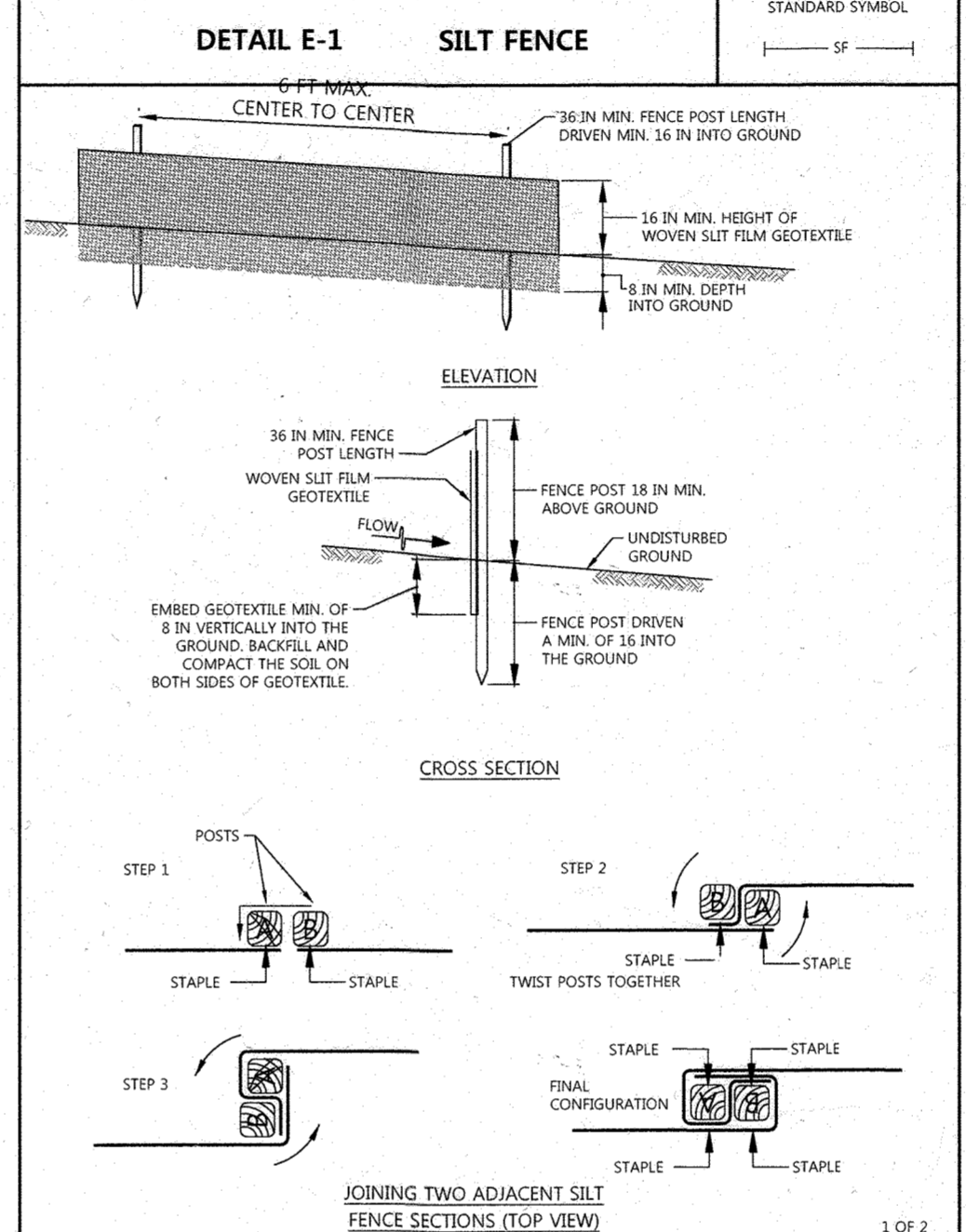
- ### SEQUENCE OF CONSTRUCTION - TEMPORARY PARKING LOT
- VERIFY THAT CURRENT GRADING PERMIT FOR SDP-16-005 HAS BEEN AMENDED TO INCLUDE INTERIM E-1 TEMPORARY PARKING LOT.
  - NOTIFY THE HOWARD COUNTY DEPARTMENT OF INSPECTIONS, LICENSES, AND PERMITS (DILP) AT LEAST 48 HOURS PRIOR TO BEGINNING WORK. (2 DAYS)
  - CLEAR AND GRUB FOR ALL PERIMETER EROSION AND SEDIMENT CONTROL DEVICES AND MEASURES ONLY. (1 WEEK)
  - UPON APPROVAL OF THE SEDIMENT CONTROL INSPECTOR, BEGIN INSTALLATION OF THE FOLLOWING SEDIMENT CONTROL DEVICES AND MEASURES:
    - STABILIZED CONSTRUCTION ENTRANCE (SCE) WITH MOUNTABLE BERM
    - SILT FENCE (SF)
  - ENSURE ALL SEDIMENT CONTROL TRANSITIONS ARE SECURELY TIED IN TO PREVENT THE ESCAPE OF SEDIMENT (1 WEEK)
  - ONCE PERIMETER CONTROLS ARE INSTALLED AND WITH THE APPROVAL OF THE SEDIMENT CONTROL INSPECTOR, MASS GRADE SITE AND BRING PARKING LOT TO SUB-GRADE. PROVIDE POSITIVE DRAINAGE TO ALL PERIMETER SEDIMENT TRAPPING DEVICES. (1 WEEK)
  - INSTALL SUBSURFACE LIGHTING UTILITIES AND LIGHT POLE BASES. (3 DAYS)
  - INSTALL PARKING LOT, CURBED ISLANDS, SIDEWALKS AND STORMDRAIN CATCH BASINS + PIPING THAT CONVEY PARKING LOT RUNOFF TO EXISTING SWM ESD MB64 + MB66 FACILITIES. REFER TO SWM PLANS FOR CATCH BASIN PIPE PENETRATIONS. (3 WEEKS)
  - INSTALL AT GRADE INLET PROTECTION (AGIP) AT ALL CATCH BASINS. (1 DAY)
  - FINE GRADE ALL DISTURBED AREAS NOT BEING PAVED, INSTALL PROPOSED LANDSCAPING AND PERMANENTLY STABILIZE THESE AREA. (1 WEEK)
  - MAKE SWM FACILITIES ACTIVE. (2 DAYS)
  - UPON STABILIZATION OF THE SITE WITH ESTABLISHED VEGETATION AND WITH THE PERMISSION OF THE SEDIMENT CONTROL INSPECTOR, REMOVE SEDIMENT CONTROL MEASURES AND STABILIZE THOSE AREAS DISTURBED BY THIS PROCESS. (1 WEEK)

- ### PLANTING NOTES:
- L-400 PLANT SCHEDULE 4 NOTES, SEE SHEET 57
  - L-404 LANDSCAPE PLANTING PLAN, SEE SHEET G1
  - L-500 LANDSCAPE PLANTING DETAILS, SEE SHEET G2

SDP SHEETS & HOWARD COUNTY DETAIL MANUAL REFERENCES:

- REFER TO SHEET 9 FOR H.C. STANDARD CONCRETE SIDEWALK DETAIL R-3.05.
- REFER TO SHEET 9 FOR H.C. STANDARD CURB & GUTTER DETAIL R-3.01.
- REFER TO SHEET 9 FOR H.C. STANDARD TYPE B DUAL RAMP DETAIL R-4.03.
- REFER TO H.C. STANDARD DETAILS FOR CONSTRUCTION FOR SIDEWALK RAMP PERPENDICULAR TO CURB R-4.05.
- REFER TO SHEET 10 FOR HANDICAP PARKING DETAIL & ASSOCIATED SIGN DETAILS.
- REFER TO SHEET 17 FOR P-I PAVING SECTION SPECIFICATION.
- REFER TO SHEET 62 FOR LANDSCAPE PLANTING DETAILS AND SPECIFICATIONS.
- REFER TO SHEET 77 FOR "PLG" LIGHTING SPECIFICATION.
- REFER TO SHEET 30 FOR STORMWATER MANAGEMENT ESD MB64 FACILITY.
- REFER TO SHEET 20 OF LATEST F-17-059 FOR STORMWATER MANAGEMENT ESD MB66 FACILITY.
- REFER TO SHEETS 41 & 42 AND GENERAL NOTES ON SHEET 34 FOR SEDIMENT CONTROL STANDARD SPECIFICATIONS AND DETAILS.

KEY	QTY	BOTANICAL / COMMON NAME	PLANT SIZE	ROOT	SPACING	REMARKS
<b>DECIDUOUS TREES (Major - Canopy)</b>						
GB	4	Ginkgo biloba 'Princeton Sentry' / Princeton Sentry Ginkgo	3.5" Cal.	B4B	Per Plan	Central Leader, Full Canopy
QP	2	Quercus phellos 'Hightower' / Hightower Willow Oak	3.5" Cal.	B4B	Per Plan	Central Leader, Full Canopy
UA	5	Ulmus americana 'Valley Forge' / Valley Forge American Elm	3.5" Cal.	B4B	Per Plan	Central Leader, Full Canopy
<b>FLOWERING TREES (Minor - Understory)</b>						
MV	5	Magnolia virginiana / Sweetbay Magnolia	1'0" Ht.	B4B	Per Plan	Multi-stem, 3-5 canes, Matched
<b>SHRUBS*</b>						
IG	50	Ilex glabra 'Shamrock' / Inkberry	#5	CONT.	3' O.C.	North American Native
PL	6	Prunus laurocerasus 'Otto Luyken' / Cherry Laurel	30" Spd.	B4B	3' O.C.	Full, Matched
<b>Perennials, Ground Covers, Annuals, Bulbs*</b>						
SPO	652	Sporobolus heterolepis / Prairie Dropseed	#1	CONT.	24" O.C.	North American Native 24" O.C.
RA	298	Rhus aromatica 'Gro Low' / Gro Low Fragrant Sumac	#3	CONT.	3' O.C.	North American Native



**CONSTRUCTION SPECIFICATIONS**

- USE NONWOVEN GEOTEXTILE AS SPECIFIED IN SECTION H-1 MATERIALS.
- SET GRATE AND WARP WITH NONWOVEN GEOTEXTILE TO COMPLETELY COVER ALL OPENINGS. SECURE WITH WIRE TIES AND SET GRATE BACK IN PLACE.
- PLACE CLEAN 1/2 TO 3/4 INCH STONE OR EQUIVALENT RECYCLED CONCRETE 6 INCHES THICK ON THE GRATE.
- STORM DRAIN INLET PROTECTION REQUIRES FREQUENT MAINTENANCE. REMOVE ACCUMULATED SEDIMENT AFTER EACH RAIN EVENT TO MAINTAIN FUNCTION AND AVOID PREMATURE CLOGGING. IF INLET PROTECTION DOES NOT COMPLETELY DRAIN WITHIN 24 HOURS AFTER A STORM EVENT, IT IS CLOGGED. WHEN THIS OCCURS, REMOVE ACCUMULATED SEDIMENT AND CLEAN OR REPLACE GEOTEXTILE AND STONE.

**NOTES:**

- DEVELOPMENT AND OCCUPANCY OF ALL USES WITHIN BUILDING G (PARCEL D-8) MAY PROCEED UNDER THIS SDP, ALTHOUGH THE HOTEL AND ALL USES WITHIN BUILDING E-1 (PARCEL D-7) REMAIN APPROVED UNDER THIS SDP. ISSUANCE OF A BUILDING PERMIT FOR CONSTRUCTION OF A BUILDING ON PARCEL D-7 IS CONDITIONED ON THE PROVISION OF ADEQUATE PARKING FACILITIES AND UPDATE THE PARKING INFORMATION ON THIS SDP TO INCLUDE THESE USES.
- A TOTAL OF 35 PARKING SPACES ARE PROVIDED ON PARCEL D-7.

APPROVED: HOWARD COUNTY DEPT. OF PLANNING & ZONING

*[Signature]* 11/10/22  
CHIEF, DEVELOPMENT ENGINEERING DIVISION

*[Signature]* 12/16/22  
CHIEF, DIVISION OF LAND DEVELOPMENT

*[Signature]* 12/16/22  
DIRECTOR

**CERTIFICATION NOTE:**

I WE CERTIFY THAT THE LANDSCAPING SHOWN ON THIS PLAN WILL BE DONE ACCORDING TO THE PLAN, SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL FOR ALTERNATIVE COMPLIANCE. I WE FURTHER CERTIFY THAT UPON COMPLETION A LETTER OF LANDSCAPE INSTALLATION, ACCOMPANIED BY AN EXECUTED ONE YEAR GUARANTEE OF PLANT MATERIALS, WILL BE SUBMITTED TO THE DEPARTMENT OF PLANNING AND ZONING.

*[Signature]* DEVELOPER/SOILS OWNER'S NAME

*[Signature]* DEVELOPER/SOILS OWNER'S NAME

PROFESSIONAL LARCH. NO. 913/22

DATE: 11/8/18

**PROFESSIONAL CERTIFICATION**

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL LANDSCAPE ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 26569, EXPIRATION DATE: 7-18-23

DATE: 9-13-2022

*[Signature]*

PROFESSIONAL LARCH. NO. 913/22

**PROFESSIONAL CERTIFICATION**

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 26569, EXPIRATION DATE: 7-18-23

DATE: 9-14-22

*[Signature]*

PROFESSIONAL ENGR. NO. 26569

**OWNERS/DEVELOPER CERTIFICATION:**

"I/WE HEREBY CERTIFY THAT ANY CLEARING, GRADING, CONSTRUCTION, OR DEVELOPMENT WILL BE DONE PURSUANT TO THIS APPROVED EROSION AND SEDIMENT CONTROL PLAN, INCLUDING INSPECTING AND MAINTAINING CONTROLS, AND THAT THE RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF TRAINING AT A MARYLAND DEPARTMENT OF THE ENVIRONMENT (MDE) APPROVED TRAINING PROGRAM FOR THE CONTROL ON EROSION AND SEDIMENT PRIOR TO BEGINNING THE PROJECT. I CERTIFY RIGHT-OF-ENTRY FOR PERIODIC ON-SITE EVALUATION BY HOWARD COUNTY, THE HOWARD SOIL CONSERVATION DISTRICT AND/OR MDE."

*[Signature]* 9-13-2022  
OWNER'S/DEVELOPER'S SIGNATURE DATE

*[Signature]* Wm B Rowe JRP  
PRINTED NAME & TITLE

**DESIGN CERTIFICATION:**

"I HEREBY CERTIFY THAT THIS PLAN HAS BEEN DESIGNED IN ACCORDANCE WITH CURRENT MARYLAND EROSION AND SEDIMENT CONTROL LAWS, REGULATIONS, AND STANDARDS, THAT IT REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT."

*[Signature]* 9-14-22  
DESIGNER'S SIGNATURE DATE

*[Signature]* Gerald D. Turnbaugh 26569  
PRINTED NAME MD REGISTRATION NO. (P.E./R.L.S., OR R.L.A. (CIRCLE ONE))

**DATA SOURCES**

- THIS SURVEY REFLECTS A FIELD-RUN TOPOGRAPHIC SURVEY PERFORMED BY DAFT-McCUNE-WALKER, INC. (DMW) IN JUNE 2022 AND REFLECTS SITE CONDITIONS AS OF THAT DATE.
- THE HORIZONTAL DATUM USED FOR THIS SURVEY IS BASED ON THE MARYLAND COORDINATE SYSTEM (MCS), NORTH AMERICAN DATUM 1983 (NAD83).
- THE VERTICAL DATUM USED FOR THIS SURVEY IS BASED ON THE NORTH AMERICAN VERTICAL DATUM (NAVD), LAST ADJUSTMENT: 2011

BOTH HORIZONTAL & VERTICAL DATUMS ARE PROJECTIONS AS REFERENCED BY THE FOLLOWING DMW TRAVEL SURVEY CONTROL STATIONS:

NAME	NORTHING	EASTING	ELEV.
WP70	560518.2300	1351403.1500	347.00
WP271	560481.0200	1351731.0600	345.470

Date	No.	Revision Description
7/6/22	1	RR3 - ADD E-1 TEMPORARY PARKING LOT

**DOWNTOWN COLUMBIA CRESCENT NEIGHBORHOOD PHASE I AREA 3, PHASE 2**

PARCELS D-1, D-7, D-8, D-9, D-11, D-12 AND D-13

OWNER / DEVELOPER:  
THE HOWARD RESEARCH AND DEVELOPMENT CORPORATION  
COLUMBIA REGIONAL OFFICE  
10480 LITTLE PATUXENT PARKWAY SUITE 400  
COLUMBIA, MD 21044  
410-964-1800

**DMW**  
DAFT MCCUNE WALKER INC

501 FAIRMOUNT AVENUE SUITE 300 TOWSON, MD 21286  
P: 410 296 3333 F: 410 296 4705 WWW.DMW.COM

SUBDIVISION NAME	SECTION	NEIGHBORHOOD	LOT/PARCEL #	PARCEL D
DOWNTOWN COLUMBIA	7	CRESCENT	5	605602

TITLE: PARCEL D-7 - TEMPORARY PARKING LOT  
REVISED SITE DEVELOPMENT PLAN

Des. By:	SCALE	Proj. No.
GDT	AS SHOWN	04038.E0

Drn. By:	Date	Page
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Approved: 11/8/18

SDP-18-005