

SHEET INDEX CHART	
SHEET	DESCRIPTION
1	TITLE SHEET
2	GENERIC BOXES, HOUSE TYPES AND NOTES
3	SITE DEVELOPMENT PLAN
4	SITE DEVELOPMENT PLAN, SEDIMENT AND EROSION CONTROL AND LANDSCAPE PLAN
5	SEDIMENT AND EROSION CONTROL PLAN
6	SEDIMENT AND EROSION CONTROL NOTES AND DETAILS
7	STORMWATER MANAGEMENT NOTES AND DETAILS
8	BORING LOGS

SITE DEVELOPMENT PLAN HONEYSUCKLE RIDGE

LOTS 1 - 19, 23 & 25 - 28 AND OPEN SPACE LOTS 30 AND 32

ZONING: R-SC (RESIDENTIAL: SINGLE CLUSTER) DISTRICT

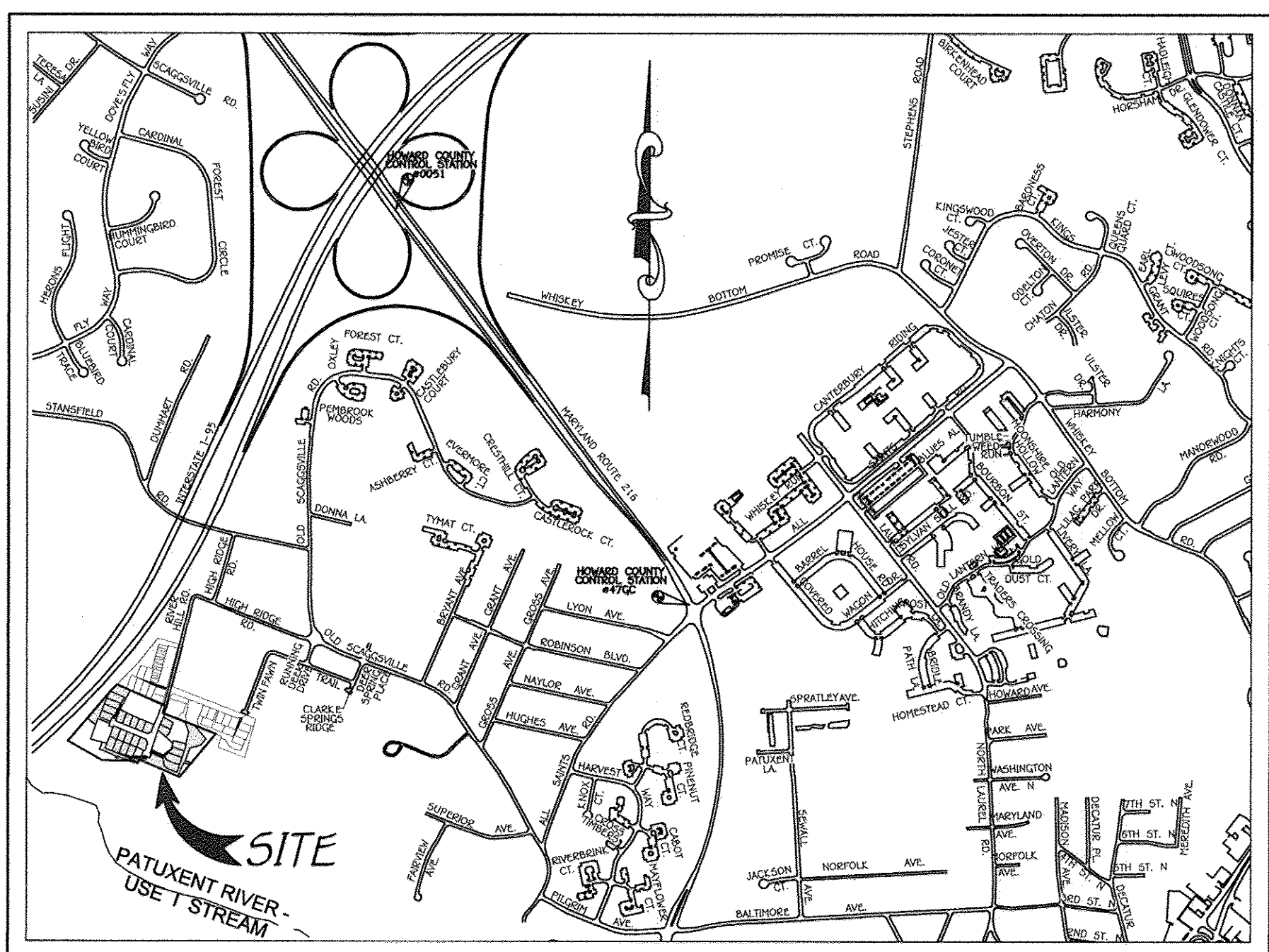
TAX MAP No. 50 GRID No. 1 PARCEL Nos. 361, 362 & 474

SITE ANALYSIS DATA CHART

- TOTAL AREA OF SITE = 6.12 AC.*
- TOTAL AREA OF THIS SUBMISSION = 6.12 AC.*
- LIMIT OF DISTURBED AREA = 4.20 AC.*
- PRESENT ZONING DESIGNATION = R-SC
- PROPOSED USE: RESIDENTIAL
- EXISTING UNIT + 24 PROPOSED UNITS (SINGLE FAMILY DETACHED) = 25 UNITS
- FLOOR SPACE ON EACH LEVEL OF BUILDING: N/A
- TOTAL NUMBER OF UNITS: 25 UNIT (FOR ENTIRE HONEYSUCKLE RIDGE PROJECT)
- MODERATE INCOME HOUSING UNIT REQUIRED = 2.5
- MODERATE INCOME HOUSING UNIT PROVIDED = 3 (SEE GENERAL NOTE 19)
- TOTAL NUMBER OF PARKING SPACES REQUIRED = 63 SPACES
- 25 UNITS (SFD) X 2.5 SPACES/UNITS = 63 SPACES
- TOTAL NUMBER OF PARKING SPACES PROVIDED = 96 SPACES
- 24 UNITS (SFD) X 4 TWO CAR GARAGE, AND TWO SPACES ON DRIVEWAY = 96 SPACES
- OPEN SPACE ON SITE: 4.0 AC. (F-16-041)
- RECREATIONAL OPEN SPACE AREA REQUIRED = 0.700 SF* (F-16-041)
- RECREATIONAL OPEN SPACE AREA PROVIDED = 12,831 SF* (F-16-041)
- BUILDING COVERAGE OF SITE: 0.4%
- PREVIOUS HOWARD COUNTY FILES: SP-15-005, WP-15-095, ECP-14-013, F-93-04, W&S CONT. #24-4849-D, #24-4805-D, F-16-041, SDP-18-013
- TOTAL AREA OF FLOODPLAIN: 0.00 AC.*
- N. TOTAL AREA OF SLOPES IN EXCESS OF 25% = 0.12 AC.*
- O. AREA OF WETLANDS = 0.011 AC.*
- P. AREA OF FOREST
- TOTAL FOREST EXISTING (F-16-041) = 2.06 AC.*
- TOTAL FOREST CLEARED (F-16-041) = 0.71 AC.*
- TOTAL FOREST RETAINED AND OTHER PLANTINGS HEREWITH LISTED AND APPROVED FOR THIS SITE
- TOTAL AREA OF FOREST CONSERVATION EASEMENT ESTABLISHED UNDER F-16-041 AND SHOWN ON THIS PLAN = 1.77 AC.*
- (INCLUDES RETENTION AND PLANTING)
- THE FOREST CONSERVATION REQUIREMENTS FOR THIS SUBDIVISION HAS BEEN FULFILLED BY ON-SITE RETENTION OF 1.35 ACRES; ON-SITE REFORESTATION OF 0.42 ACRES AND OFF-SITE PLANTING OF 1.00 ACRE ON FAIRLAINE FARM, PHASE 1 FOREST BANK, F-15-054.
- IMPERVIOUS AREA = 1.88 AC.* (THIS SUBMISSION)

LANDSCAPE NOTES

- THE PERIMETER LANDSCAPE OBLIGATION IS PROVIDED IN ACCORDANCE WITH SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL. A LANDSCAPE SURETY IN THE AMOUNT OF \$1,000.00 BASED ON FOUR (4) SHADE TREES @ \$300/SHADE TREE, FOUR (4) EVERGREEN TREES @ \$150/EVERGREEN TREE, AND NO SHRUBS @ \$30/SHRUB SHALL BE BONDED AS PART OF THE DPW GRADING PERMIT SURETY BOND.
- AT THE TIME OF INSTALLMENT, ALL SHRUBS AND OTHER PLANTINGS HEREWITH LISTED AND APPROVED FOR THIS SITE, SHALL BE OF THE PROPER HEIGHT REQUIREMENTS IN ACCORDANCE WITH THE HOWARD COUNTY LANDSCAPE MANUAL. IN ADDITION, NO SUBSTITUTIONS OR RELOCATION OF REQUIRED PLANTINGS MAY BE MADE WITHOUT PRIOR REVIEW AND APPROVAL FROM THE DEPARTMENT OF PLANNING AND ZONING. ANY DEVIATION FROM THIS APPROVED LANDSCAPE PLAN MAY RESULT IN DENIAL OR DELAY IN THE RELEASE OF LANDSCAPE SURETY UNTIL SUCH TIME AS ALL REQUIRED MATERIALS ARE PLANTED AND/OR REVISIONS ARE MADE TO APPLICABLE PLANS AND CERTIFICATES.
- THE OWNER, TENANT, AND/OR THEIR AGENTS SHALL BE RESPONSIBLE FOR MAINTENANCE OF THE REQUIRED LANDSCAPING, INCLUDING BOTH PLANT MATERIALS AND BEDS, FENCES AND WALLS. ALL PLANT MATERIALS SHALL BE MAINTAINED IN GOOD GROWING CONDITION, AND WHEN NECESSARY, REPLACED WITH NEW MATERIALS TO ENSURE CONTINUED COMPLIANCE WITH APPLICABLE REGULATIONS. ALL OTHER REQUIRED LANDSCAPING SHALL BE PERMANENTLY MAINTAINED IN GOOD CONDITION, AND WHEN NECESSARY, REPAIRED OR REPLACED.
- FOR ANY TREE DESIGNATED FOR PRESERVATION, FOR WHICH CREDIT IS GIVEN, BE REMOVED OR DIE PRIOR TO RELEASE OF BONDS. THE OWNER WILL BE REQUIRED TO REPLACE THE TREE WITH THE EQUIVALENT SPECIES OR IF THE TREE IS LISTED AS A PROHIBITED OR INVASIVE SPECIES ON THE OPZ TREE LIST IT SHOULD BE REPLACED WITH A RECOMMENDED TREE SPECIES WHICH WILL OBTAIN THE SAME HEIGHT, SPREAD AND GROWTH CHARACTERISTICS. THE REPLACEMENT TREE MUST BE A MINIMUM OF 3 INCHES IN CALIPER AND INSTALLED AS REQUIRED IN THE LANDSCAPE MANUAL.

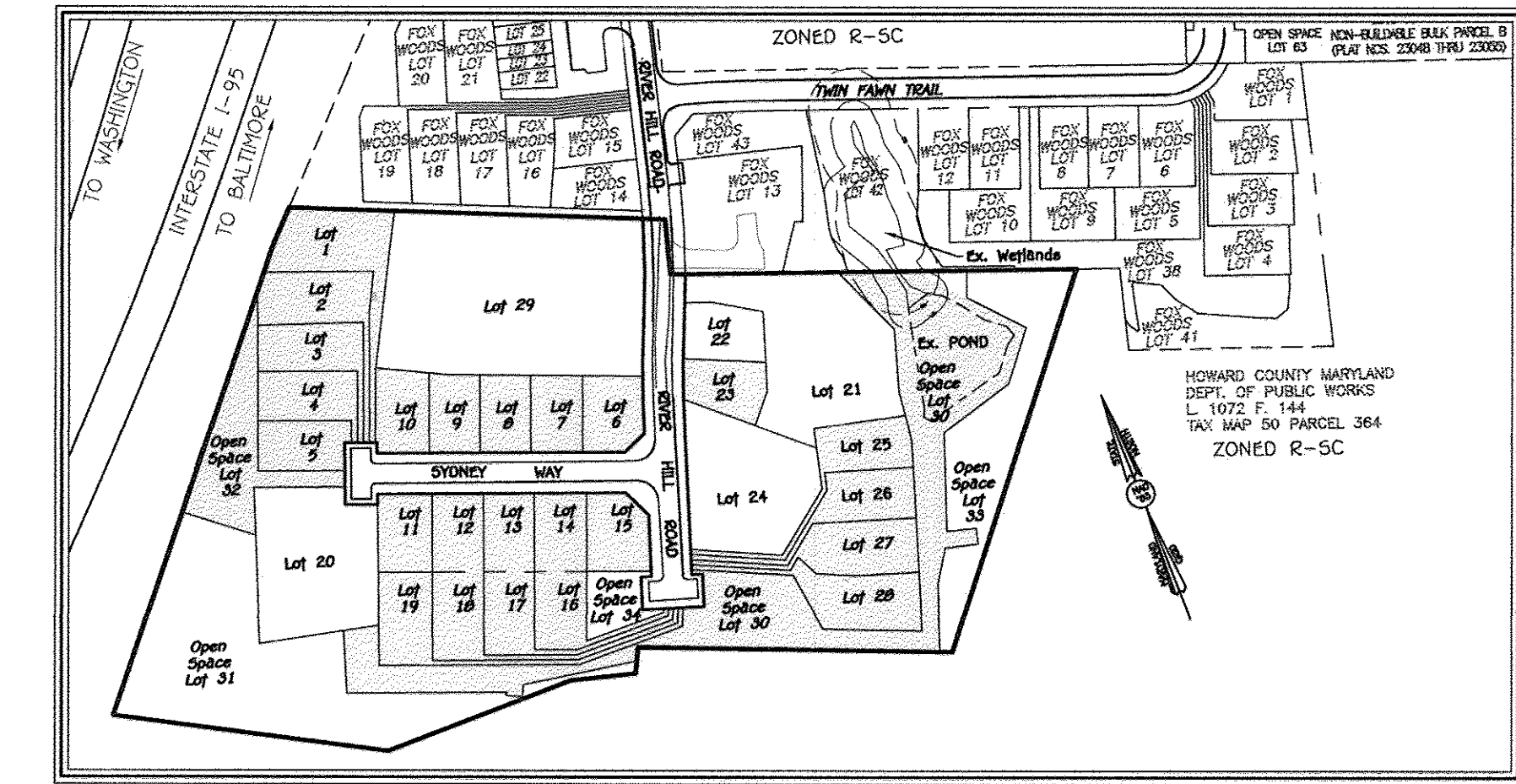


SYMBOL	DESCRIPTION
[Symbol]	EXISTING CONTOUR 2' INTERVAL
[Symbol]	EXISTING CONTOUR 10' INTERVAL
[Symbol]	EXISTING STORM DRAIN LINE
[Symbol]	EXISTING SEWER LINE
[Symbol]	EXISTING WATER LINE
[Symbol]	WETLAND AREA
[Symbol]	25' WETLAND BUFFER
[Symbol]	50' STREAM BUFFER
[Symbol]	PROPOSED CONTOUR 2' INTERVAL
[Symbol]	PROPOSED CONTOUR 10' INTERVAL
[Symbol]	SPOT ELEVATION
[Symbol]	LIMIT OF DISTURBANCE
[Symbol]	SUPER SILT FENCE
[Symbol]	TREE PROTECTION FENCE
[Symbol]	SUPER SILT FENCE/TREE PROTECTION FENCE
[Symbol]	SILT FENCE
[Symbol]	EXISTING SUPER SILT FENCE UNDER F-16-041
[Symbol]	EXISTING SILT FENCE UNDER F-16-041
[Symbol]	15-24% SLOPES
[Symbol]	25% AND GREATER
[Symbol]	FOREST CONSERVATION EASEMENT
[Symbol]	PERMITS SEWER DEAN AND UTILITY EASEMENT
[Symbol]	STABILIZED CONSTRUCTION ENTRANCE
[Symbol]	TREE AS PROVIDED PER F-16-041
[Symbol]	EXISTING TREE
[Symbol]	EXISTING SPECIMEN TREE
[Symbol]	CRITICAL ROOT ZONE
[Symbol]	PERMANENT SOIL STABILIZATION MATING
[Symbol]	SOIL VEGETATION
[Symbol]	EXISTING EXPOSURE SOILS
[Symbol]	EXISTING TIELINE
[Symbol]	PROPOSED TIELINE
[Symbol]	WALKOUT BASEMENT

GENERAL NOTES

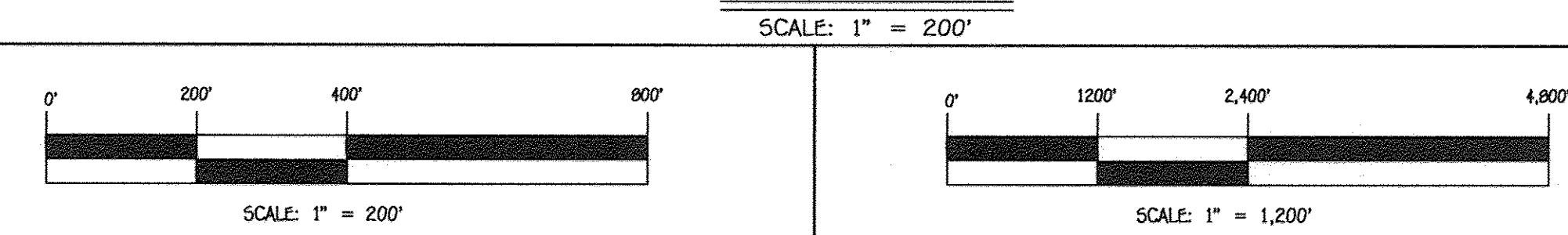
- SUBJECT PROPERTY ZONED R-SC AS GRANTED BY THE ZONING BOARD ON 10/6/13
- COMPREHENSIVE ZONING PLAN.
- THE CONTRACTOR SHALL NOTIFY THE CONSTRUCTION INSPECTION DIVISION AT (410)313-1880 AT LEAST (5) FIVE WORKING DAYS PRIOR TO THE START OF WORK.
- THE CONTRACTOR SHALL NOTIFY "MISS UTILITY" AT 1-800-257-7777 AT LEAST 40 HOURS PRIOR TO ANY EXCAVATION WORK.
- THIS PLAN IS BASED ON A FIELD RUN MONUMENTED BOUNDARY SURVEY PERFORMED ON OR ABOUT FEBRUARY, 2014 BY FISHER, COLLINS & CARTER INC.
- HORIZONTAL AND VERTICAL CONTROL DATUM IS BASED ON NAD 83, MARYLAND COORDINATE SYSTEM AS PROJECTED BY HOWARD COUNTY GEODETIC CONTROL STATIONS.
- HOWARD COUNTY MONUMENT 470C N 532839.728 E 1.354,223.554
- HOWARD COUNTY MONUMENT 0051 N 532404.156 E 1.351,627.334
- TOPOGRAPHIC CONTOURS BASED ON FIELD RUN SURVEY PERFORMED BY FISHER COLLINS AND CARTER, INC. DATED FEBRUARY 2014 AND SUPPLEMENTED BY FINAL ROAD CONSTRUCTION, GRADING AND STORMWATER MANAGEMENT PLAN, (F-16-041) APPROVED ON DECEMBER, 2016.
- ANY DAMAGE TO THE COUNTY'S RIGHT-OF-WAY SHALL BE CORRECTED AT THE BUILDER'S EXPENSE.
- THIS PLAN IS FOR HOUSE SITING AND GRADING ONLY. IMPROVEMENTS SHOWN WITHIN THE RIGHTS-OF-WAY OF THIS S.D.P. ARE NOT USED FOR CONSTRUCTION. FOR CONSTRUCTION SEE APPROVED ROAD CONSTRUCTION PLANS F-16-041. FOR APPROVED WATER CONTRACT NO. 24-4849-D AND NO. 24-4805-D. FOR APPROVED SEWER CONTRACT NO. 24-4805-D.
- CONTRACTOR WILL CHECK SEWER HOUSE CONNECTION ELEVATION AT EASEMENT LINE PRIOR TO CONSTRUCTION.
- STORMWATER MANAGEMENT WILL BE PROVIDED THE USE OF 35 DRYWELLS (M-5), ADDITIONAL SWM WILL BE PROVIDED BY TWO BIO-RETENTION (F-6), AND TWO MICRO BIO-RETENTION (M-6) FACILITIES PREVIOUSLY APPROVED ON THE ROAD CONSTRUCTION DRAWINGS FILED UNDER F-16-041 AND FINAL DESIGNED BY THIS SITE DEVELOPMENT PLAN.
- THE EXISTING SWM FACILITY, F-6 (1) PROPOSED ON F-16-041 WILL BE PUBLICLY OWNED AND MAINTAINED. ALL OTHER FACILITIES LOCATED IN H.O.A. OPEN SPACE, PROPOSED ON F-16-041 AND FINAL DESIGNED ON THIS SITE DEVELOPMENT PLAN, WILL BE OWNED AND MAINTAINED BY THE HONEYSUCKLE RIDGE HOMEOWNERS ASSOCIATION. ON LOT FACILITIES (DRYWELLS) WILL BE MAINTAINED BY THE LOT OWNER WHERE THE PARTICULAR FACILITY RESIDES.
- PERIMETER LANDSCAPING FOR THIS PROJECT HAS BEEN PROVIDED UNDER F-16-041. THE REQUIRED LOT LANDSCAPING FOR LOTS 6 AND 15, PER THE HOWARD COUNTY LANDSCAPE MANUAL WILL BE PROVIDED WITH THIS SITE DEVELOPMENT PLAN. SEE LANDSCAPE NOTES NO. 1 LOCATED ON SHEET 4 FOR THE REQUIRED SURETY.
- FOREST CONSERVATION REQUIREMENTS HAVE BEEN ADDRESSED UNDER F-16-041.
- FOR DRIVEWAY ENTRANCE DETAILS REFER TO HO. CODES MANUAL VOL. IV DETAILS R.6.03 & R.6.05.
- OPEN SPACE REQUIREMENTS FOR THESE LOTS HAVE BEEN PROVIDED UNDER F-16-041.
- THIS SDP IS SUBJECT TO THE 5TH EDITION OF THE SUBDIVISION AND LAND DEVELOPMENT REGULATIONS AND THE ZONING REGULATIONS AS AMENDED BY COUNCIL BILL 50-2001.
- IN ACCORDANCE WITH SECTION 128.0 OF THE HOWARD COUNTY ZONING REGULATIONS, BAY WINDOWS, WINDOW WELLS, ORIELS, VESTIBULES, BALCONIES AND CHIMNEYS, PROVIDED THE FEATURE HAS A MAXIMUM WIDTH OF 16 FEET AS MEASURED HORIZONTALLY ALONG THE WALL FROM WHICH THE FEATURE EXTENDS HAVE A MAXIMUM ENCROACHMENT INTO SETBACKS OF 4 FEET OR A REQUIRED DISTANCE BETWEEN BUILDINGS, EXTERIOR STAIRWAYS OR RAMPS, ABOVE OR BELOW GROUND LEVEL EXCLUDING THOSE ATTACHED TO A PORCH OR DECK MAY PROJECT A MAXIMUM OF 10 FEET INTO A FRONT SETBACK OR SETBACK FROM A PROJECT BOUNDARY OR DIFFERENT ZONING DISTRICT; 16 FEET INTO A REAR SETBACK; 4 FEET INTO A SIDE SETBACK OR A REQUIRED DISTANCE BETWEEN BUILDINGS, OPEN AND ENCLOSED PORCHES AND DECKS, AND THE STAIRWAYS OR RAMPS ATTACHED THERETO MAY PROJECT A MAXIMUM 10 FEET INTO A FRONT OR REAR SETBACK, A SETBACK FROM A PROJECT BOUNDARY, A SETBACK FROM A DIFFERENT ZONING DISTRICT, OR A REQUIRED DISTANCE BETWEEN BUILDINGS.
- DRIVEWAYS SHALL BE PROVIDED PRIOR TO ISSUANCE OF A USE AND OCCUPANCY PERMIT FOR ANY NEW DWELLINGS TO INSURE SAFE ACCESS FOR FIRE AND EMERGENCY VEHICLES PER THE FOLLOWING (MINIMUM) REQUIREMENTS:
 - WIDTH - 12' (16' IF SERVING MORE THAN ONE RESIDENCE)
 - SURFACE - 6" OF COMPACTED CRUSHER RUN BASE W/TAR AND CHIP COATING (1-1/2" MIN.)
 - GEOMETRY MAXIMUM 15% GRADE, MAXIMUM 10% GRADE CHANGE AND 45 FOOT TURNING RADIUS.
 - STRUCTURES - (BRIDGES/CULVERTS) CAPABLE OF SUPPORTING 25 GROSS TONS (H25-LOADING)
 - DRAINAGE ELEMENTS CAPABLE OF SAFELY PASSING 100 YEAR FLOOD WITH NO MORE THAN 1 FOOT DEPTH OVER DRIVEWAY SURFACE.
 - STRUCTURE CLEARANCES - MINIMUM 12 FEET
 - MAINTENANCE SUFFICIENT TO INSURE ALL WEATHER USE.
- NO GRADING, REMOVAL OF VEGETATION COVER OR TREES, PAVING AND NEW STRUCTURES SHALL BE PERMITTED WITHIN THE LIMITS WETLANDS, STREAM(S), OR OTHER REQUIRED BUFFERS, FLOODPLAIN AND FOREST CONSERVATION EASEMENT AREAS.
- MODERATE INCOME HOUSING UNIT AGREEMENT AND RESTRICTIONS WERE RECORDED IN THE LAND RECORDS OF HOWARD COUNTY, MARYLAND AT THE RECORD PLAT STAGE OF THIS PROJECT. THREE (3) M.I.H.U. WILL BE PROVIDED ON-SITE.
- THERE IS AN EXISTING NOISE WALL ALONG THE INTERSTATE I-95 RIGHT-OF-WAY REFLECTED ON F-16-041. THE 67DBA MITIGATED NOISE LINE AS PROJECTED BY MARYLAND STATE HIGHWAY ADMINISTRATION FROM NOISE STUDY REPORT "INTERSTATE ROUTE 95 AT HIGH RIDGE ROAD" DATED JUNE, 1998 PREPARED BY RUMMEL, KLEPPER & KAH. LLP AND DOES NOT IMPACT THIS PROPERTY.
- FOR FLAG OR PIPESTEM LOTS, REFUSE COLLECTION, SNOW REMOVAL AND ROAD MAINTENANCE ARE PROVIDED TO THE JUNCTION OF THE FLAG OR PIPESTEM AND THE ROAD R/W LINE AND NOT ONTO THE PIPESTEM LOT.
- THIS SITE DEVELOPMENT PLAN IS SUBJECT TO THE RECORDING OF THE FINAL PLAT F-16-041 RECORDED AS PLAT NUMBERS 24391-24395.
- PRE-SUBMISSION COMMUNITY MEETING WAS HELD ON SEPTEMBER 25, 2013. DATA RELATING TO THIS MEETING WAS SUBMITTED WITH PRELIMINARY PLAN SP-15-005.

SIXTH ELECTION DISTRICT HOWARD COUNTY, MARYLAND

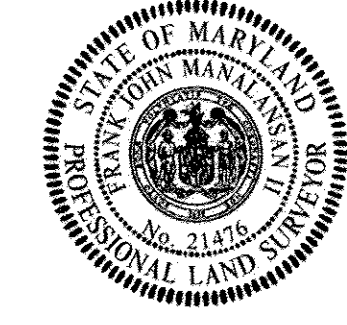


LOT NO.	STREET ADDRESS	DISCONNECTION OF ROOFTOP RUNOFF	DISCONNECTION OF NON-ROOFTOP RUNOFF	DRY WELLS	MICRO BIO-RETENTION	MICRO BIO-RETENTION
1	9322 SYDNEY WAY	N	N	Y(2)	N	N
2	9326 SYDNEY WAY	N	N	Y(2)	N	N
3	9330 SYDNEY WAY	N	N	N	N	Y F-6 (3) (F-16-041)
4	9334 SYDNEY WAY	N	N	N	N	Y F-6 (3) (F-16-041)
5	9338 SYDNEY WAY	N	N	Y(2)	N	N
6	9332 SYDNEY WAY	N	N	Y(2)	N	N
7	9306 SYDNEY WAY	N	N	Y(2)	N	N
8	9310 SYDNEY WAY	N	N	Y(2)	N	N
9	9314 SYDNEY WAY	N	N	Y(2)	N	N
10	9318 SYDNEY WAY	N	N	Y(2)	N	N
11	9319 SYDNEY WAY	N	N	Y(2)	N	N
12	9315 SYDNEY WAY	N	N	Y(2)	N	N
13	9311 SYDNEY WAY	N	N	Y(2)	N	N
14	9307 SYDNEY WAY	N	N	Y(2)	N	N
15	9303 SYDNEY WAY	N	N	Y(2)	N	N
16	9180 RIVER HILL ROAD	N	N	Y(1)	Y M-6 (4) (F-16-041)	N
17	9184 RIVER HILL ROAD	N	N	Y(1)	Y M-6 (4) (F-16-041)	N
18	9188 RIVER HILL ROAD	N	N	Y(1)	Y M-6 (2) (F-16-041)	N
19	9192 RIVER HILL ROAD	N	N	Y(1)	Y M-6 (2) (F-16-041)	N
22 (SDP-18-013)	9153 RIVER HILL ROAD	N	N	Y(2)	N	N
23	9157 RIVER HILL ROAD	N	N	Y(2)	N	N
25	9165 RIVER HILL ROAD	N	N	N	N	Y F-6 (5) (F-16-041)
26	9169 RIVER HILL ROAD	N	N	N	N	Y F-6 (5) (F-16-041)
27	9173 RIVER HILL ROAD	N	N	N	N	Y F-6 (5) (F-16-041)
28	9177 RIVER HILL ROAD	N	N	Y(3)	N	Y F-6 (5) (F-16-041)

LOCATION MAP



NO.	REVISION	DATE



PROFESSIONAL CERTIFICATION

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND THAT I AM A DULY LICENSED PROFESSIONAL LAND SURVEYOR UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 21478, EXPIRATION DATE: 7/14/19.

FRANK JOHN MAVALANGAN II 1/27/18 DATE

BUILDER

D. R. NORTON INC.
 1356 BEVERLY RD., SUITE 300
 McLean, VA 22101
 (571)-421-7738

OWNERS
 DOUBLE R VENTURES, LLC
 8318 FOREST STREET-SUITE 200
 ELLICOTT CITY, MARYLAND 21043
 (410)-707-7054

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

Chief, Division of Land Development Date: 2-14-18

Chief, Department of Planning and Zoning Date: 2-14-18

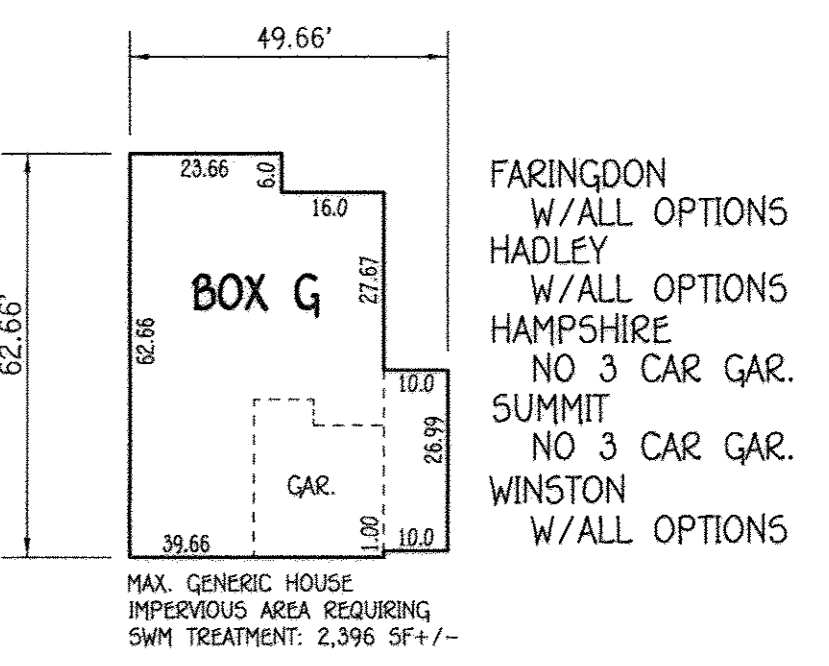
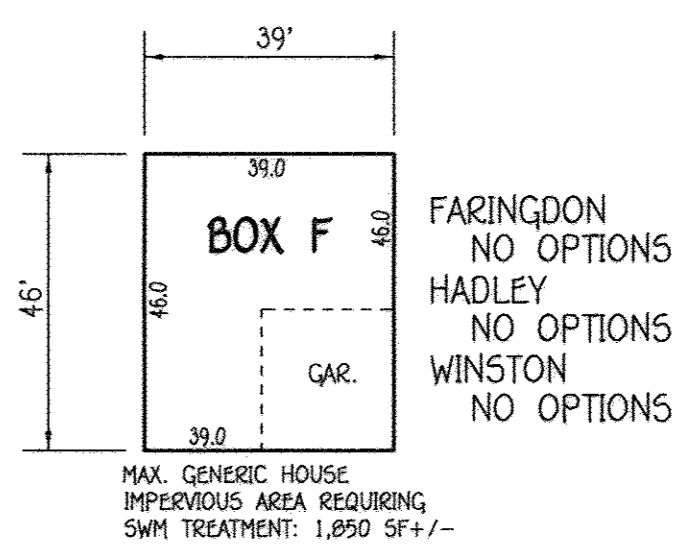
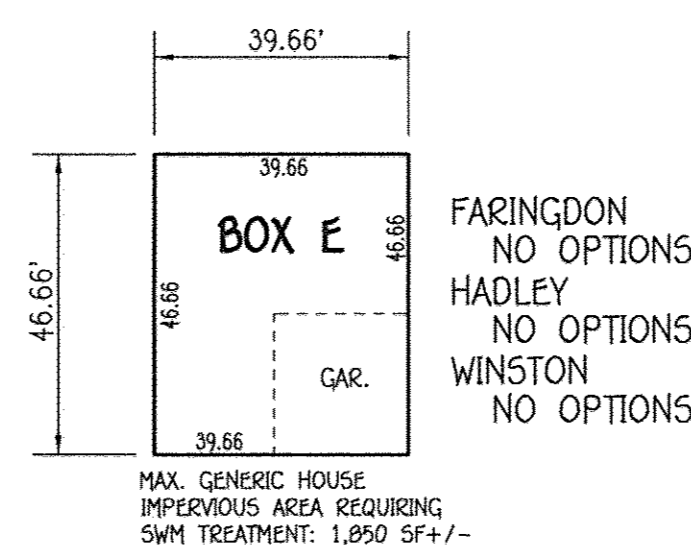
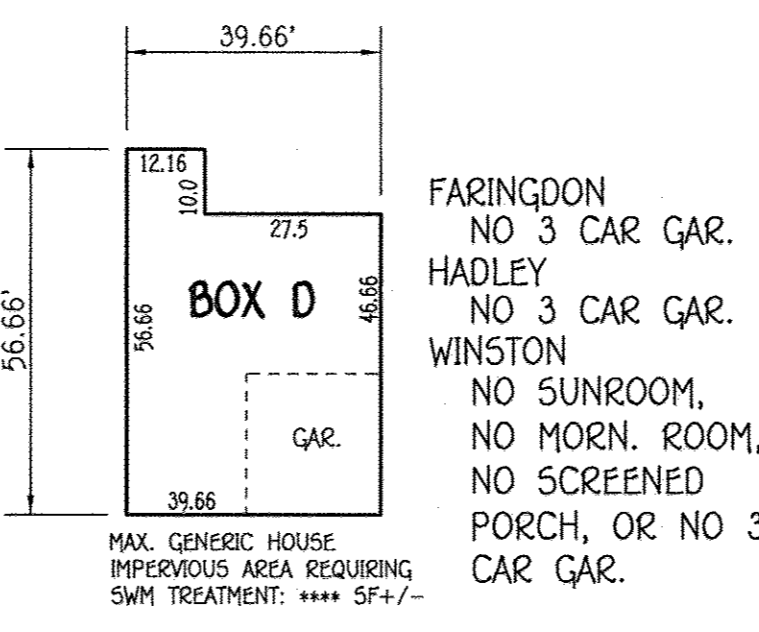
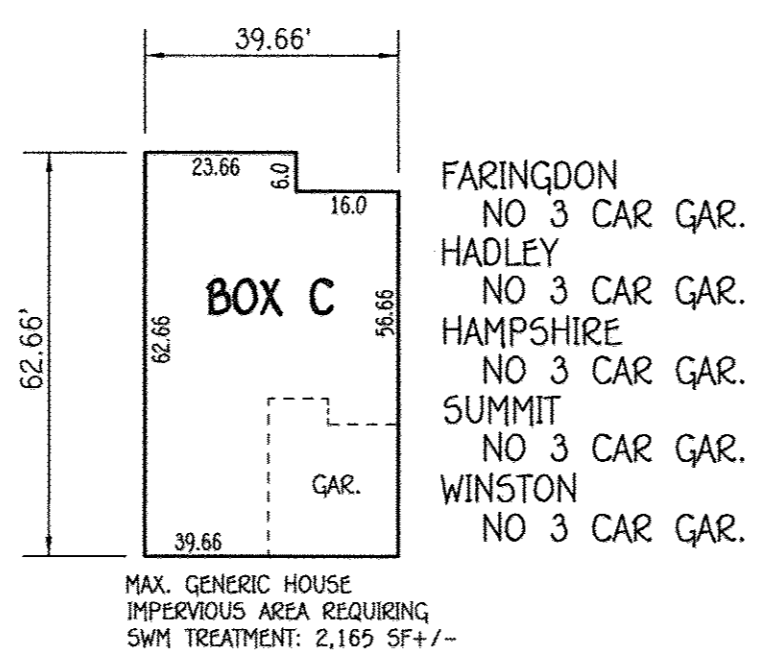
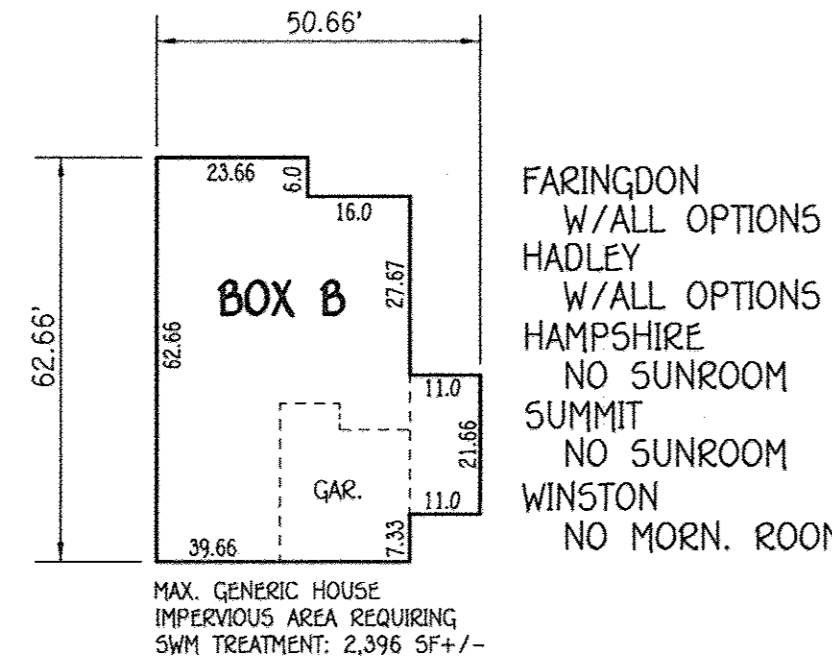
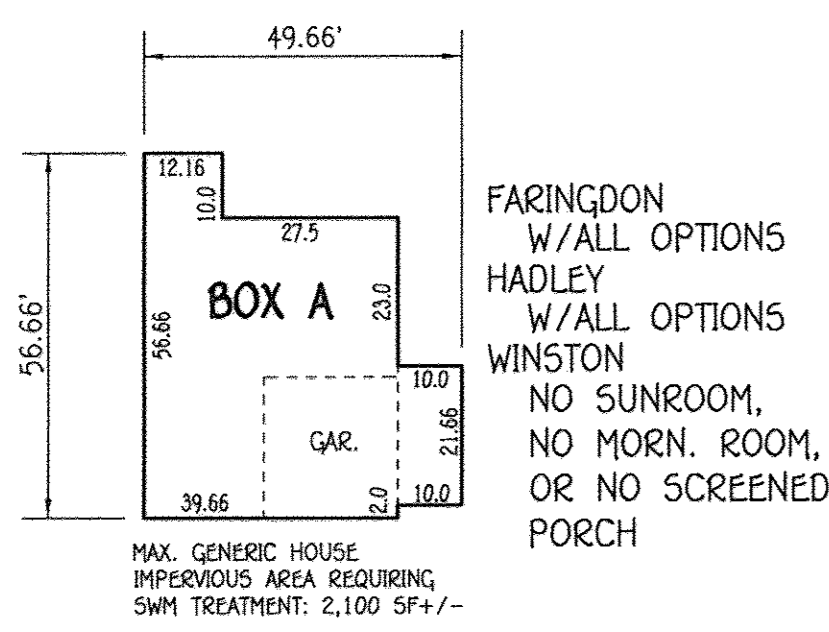
TITLE SHEET

HONEYSUCKLE RIDGE

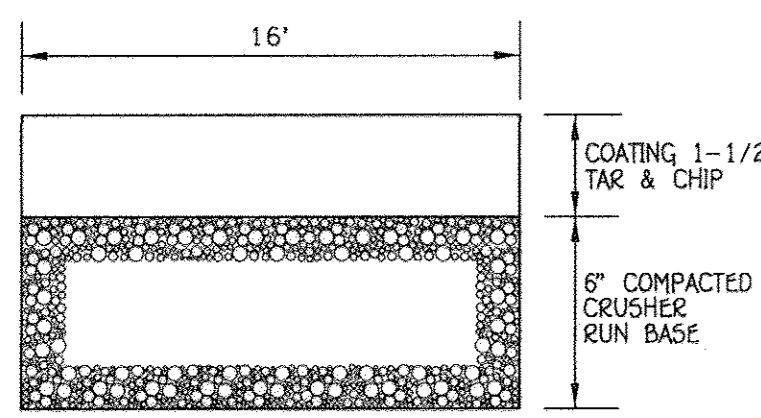
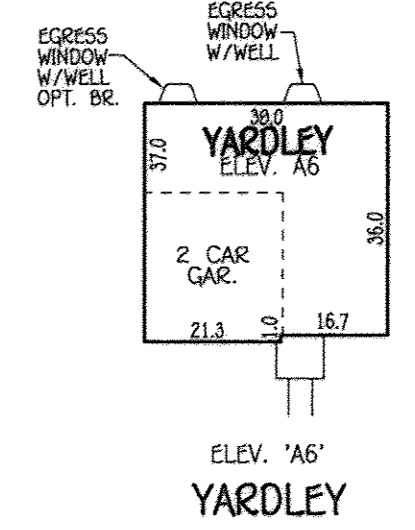
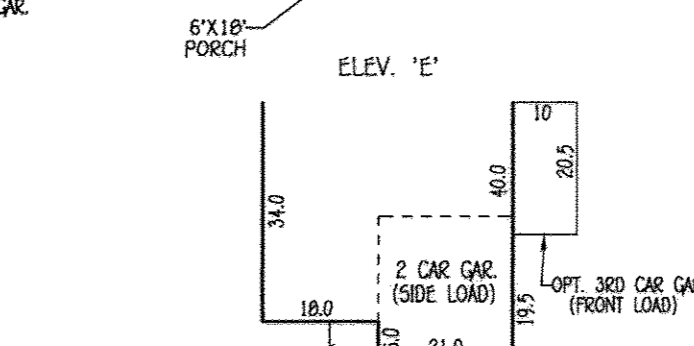
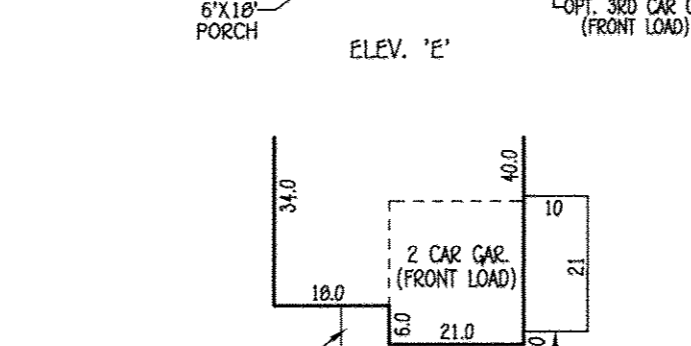
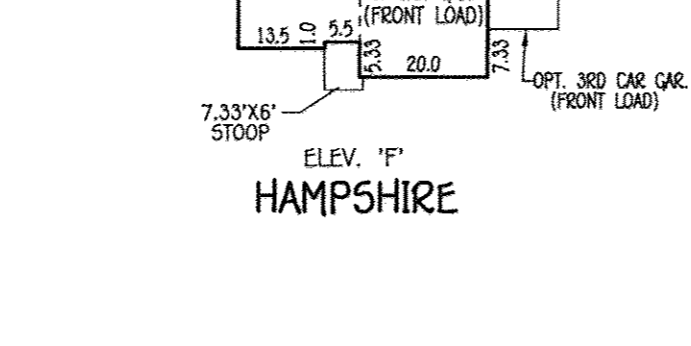
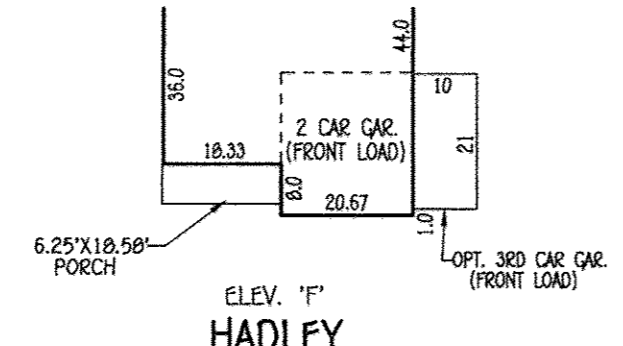
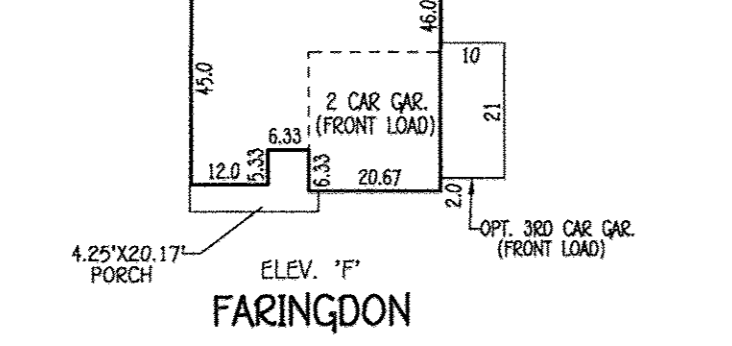
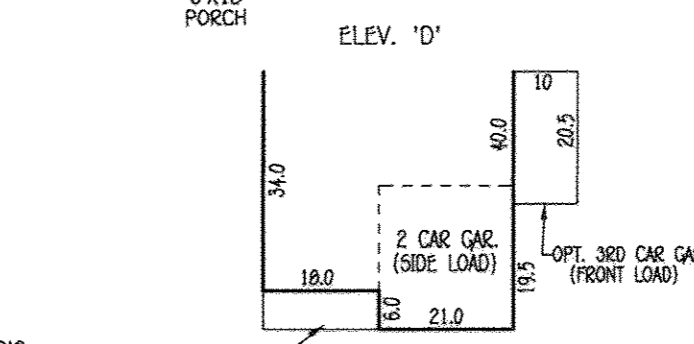
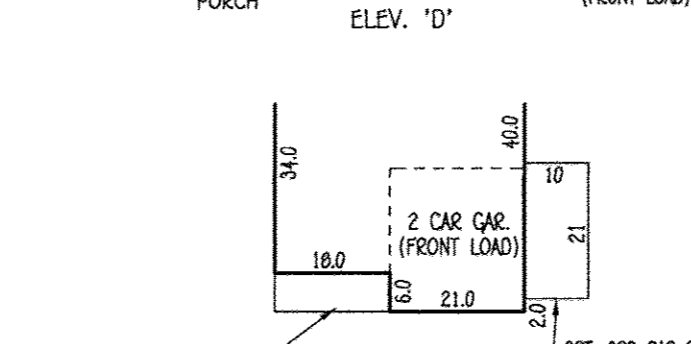
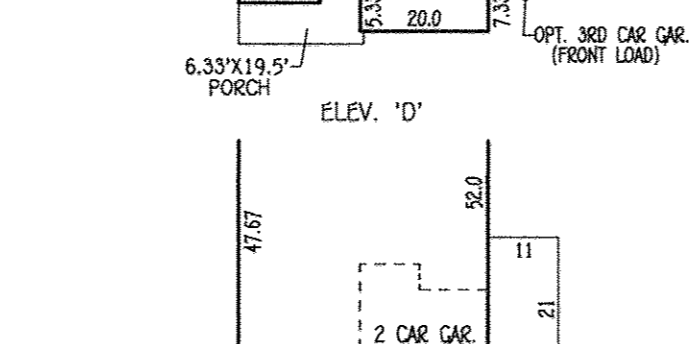
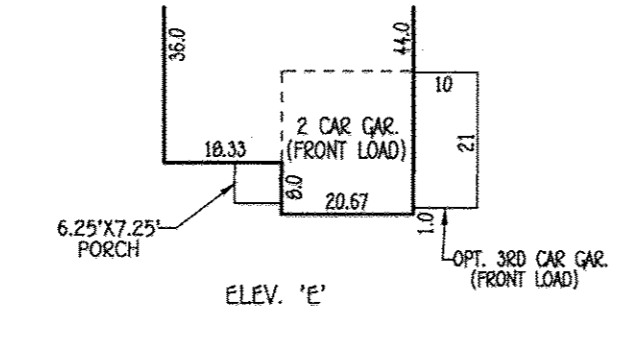
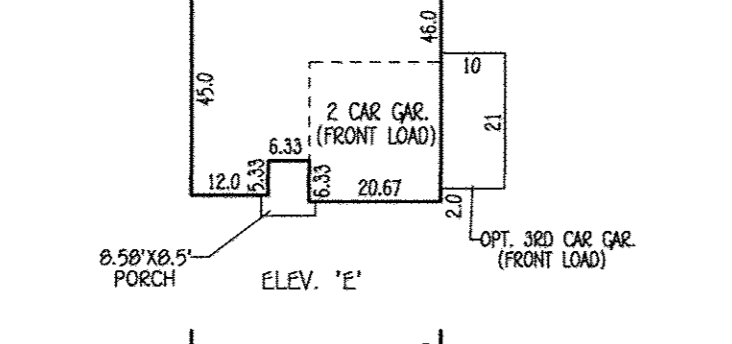
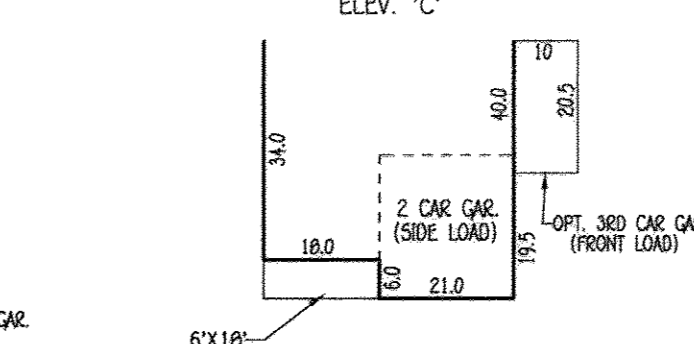
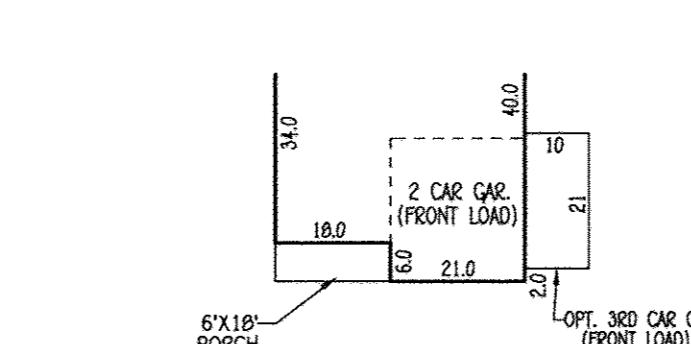
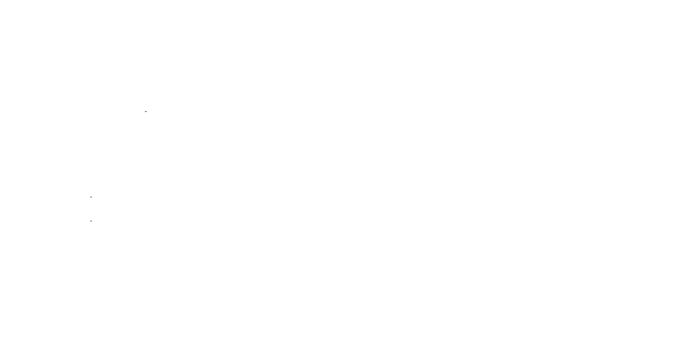
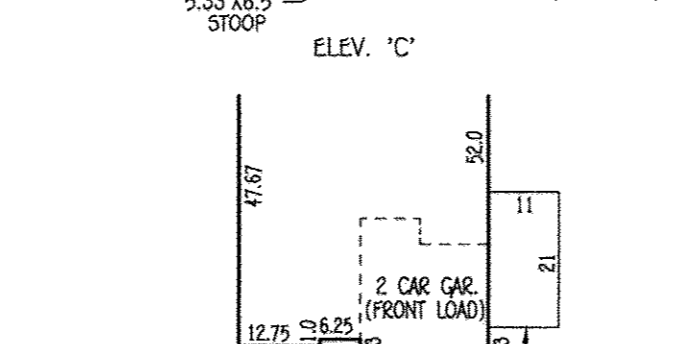
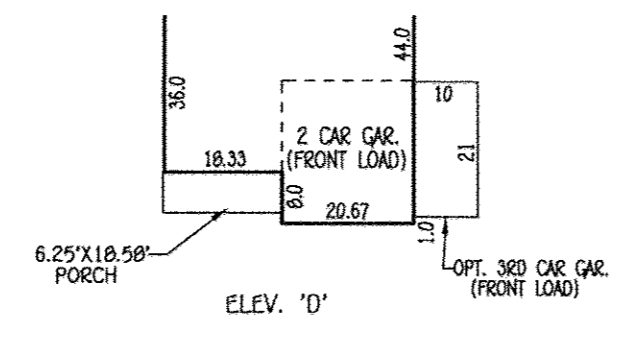
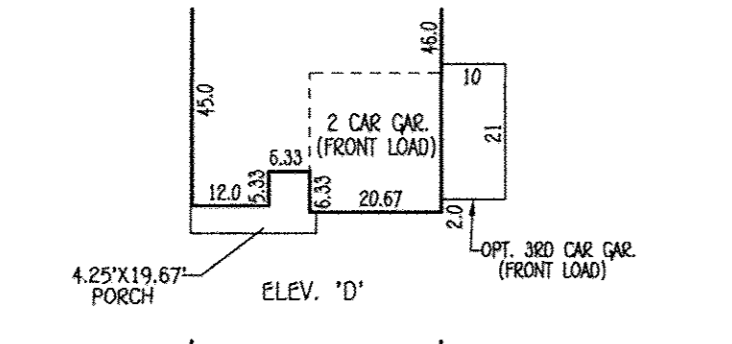
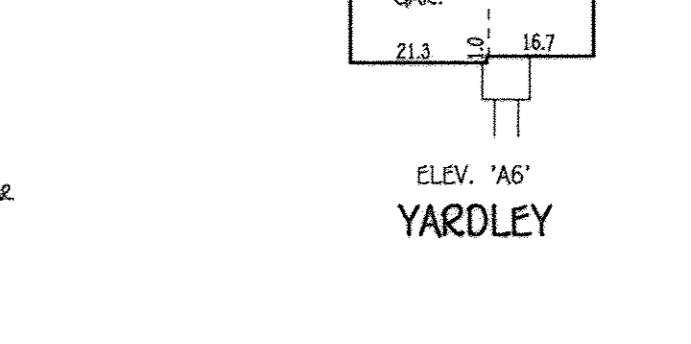
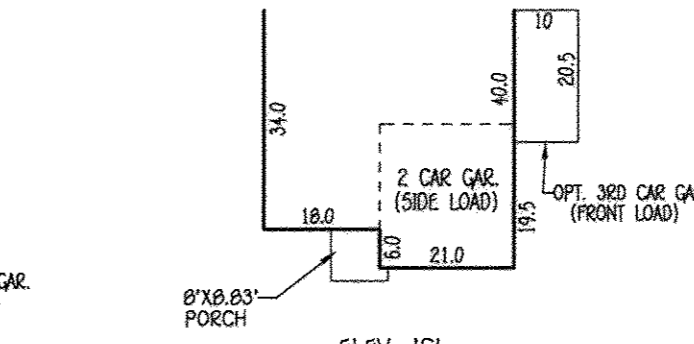
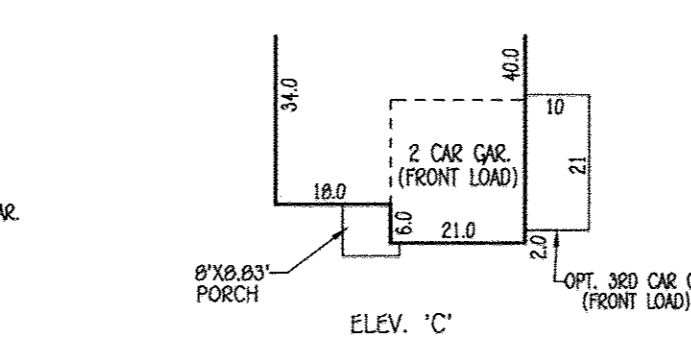
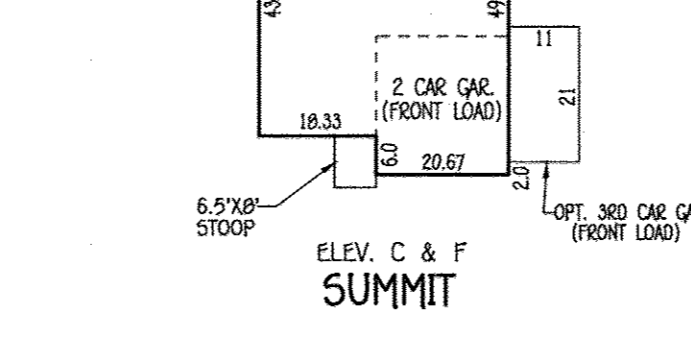
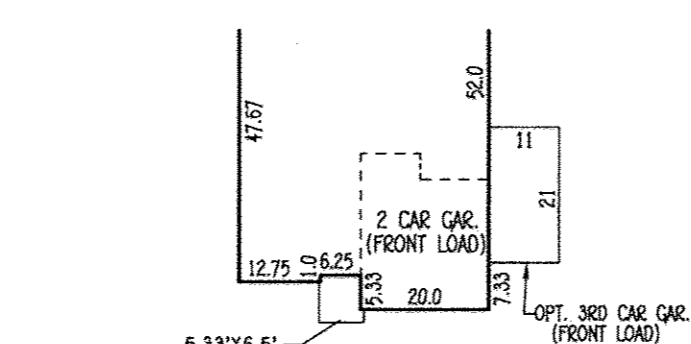
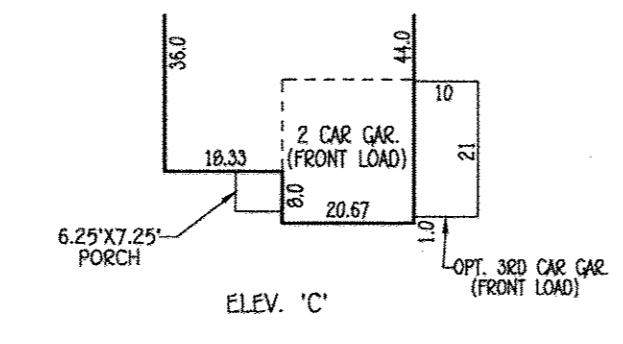
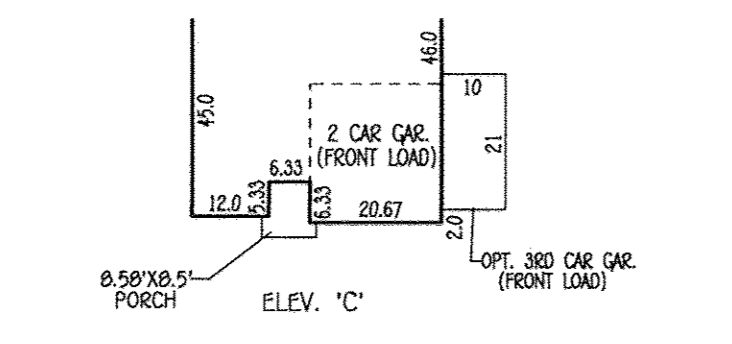
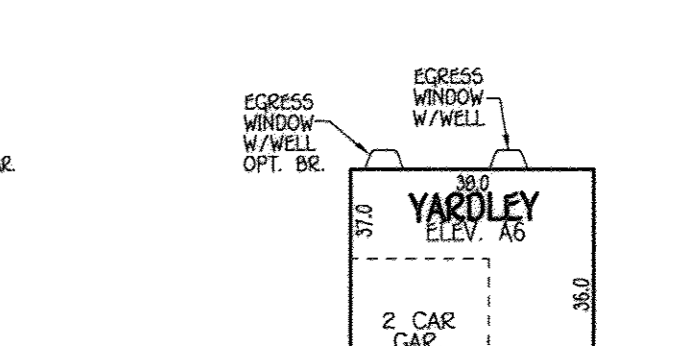
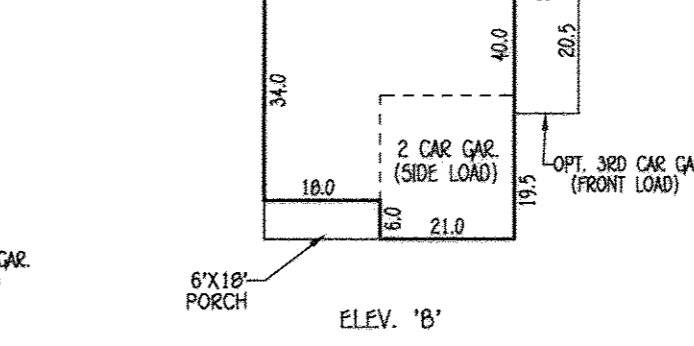
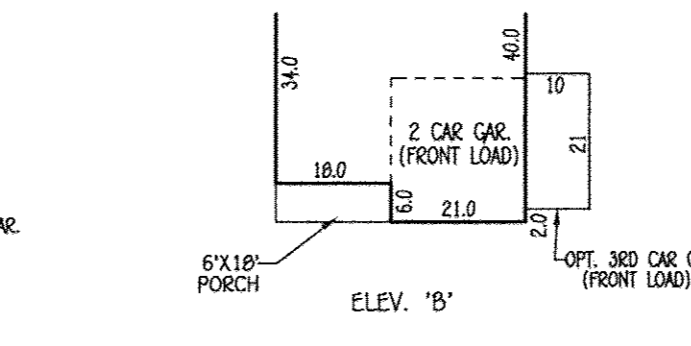
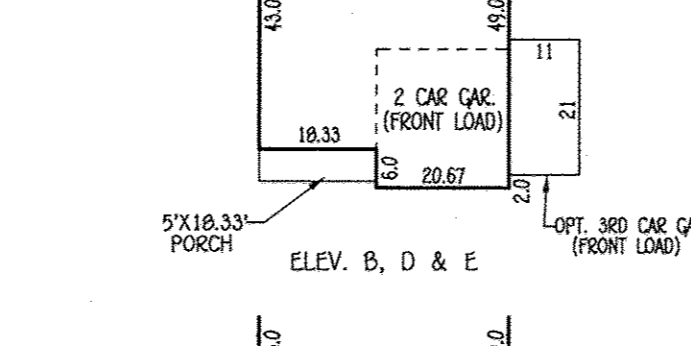
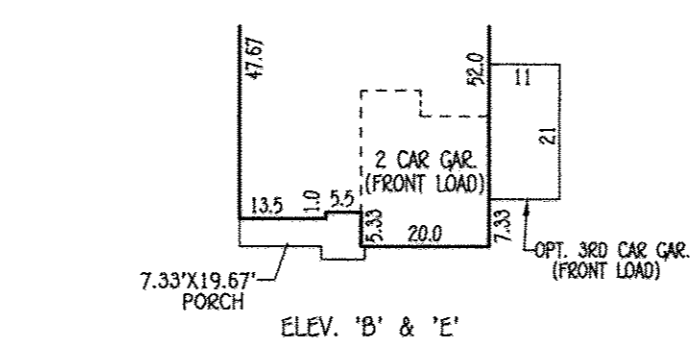
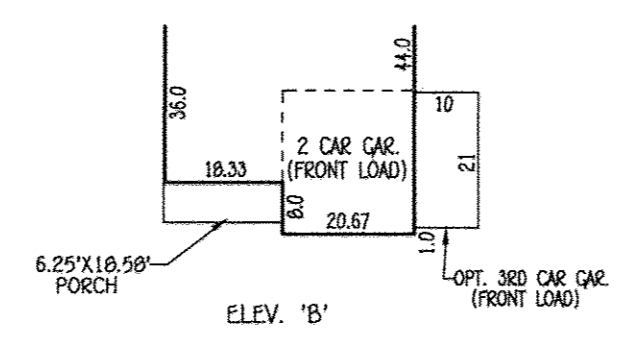
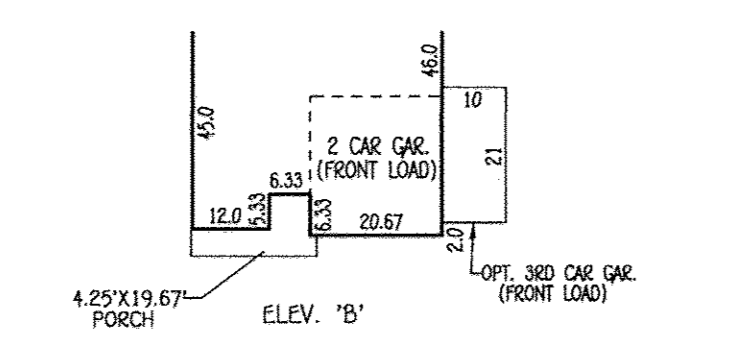
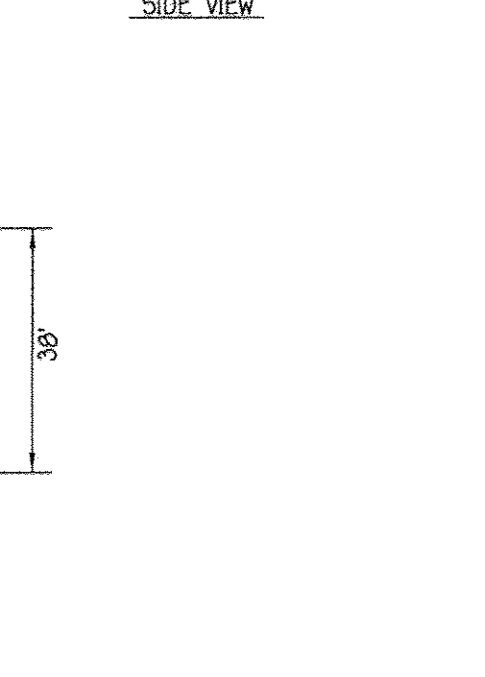
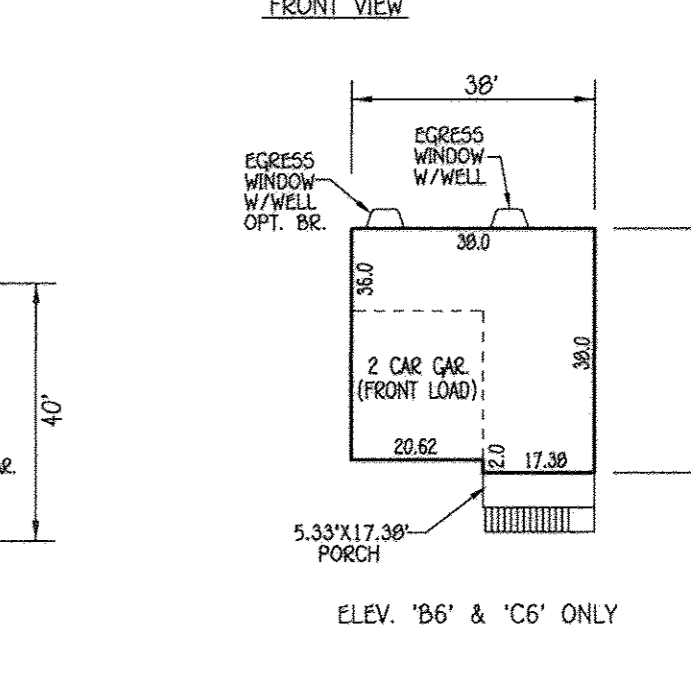
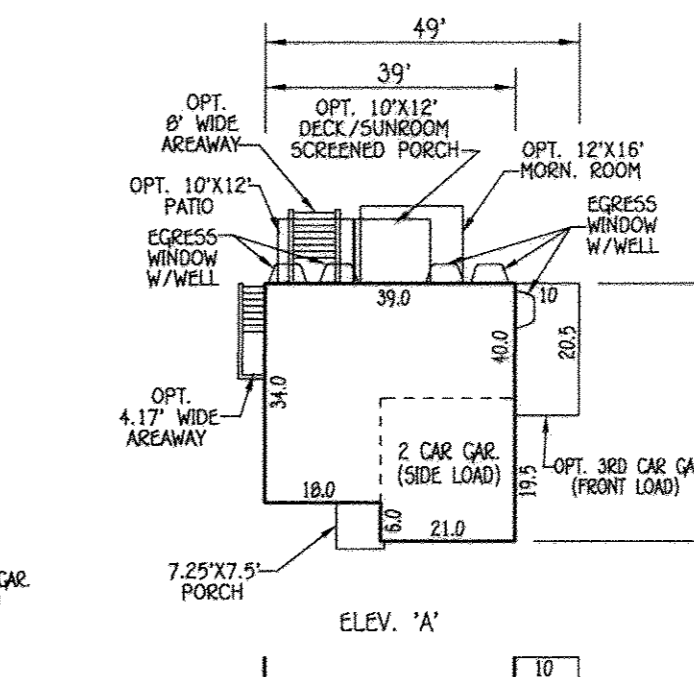
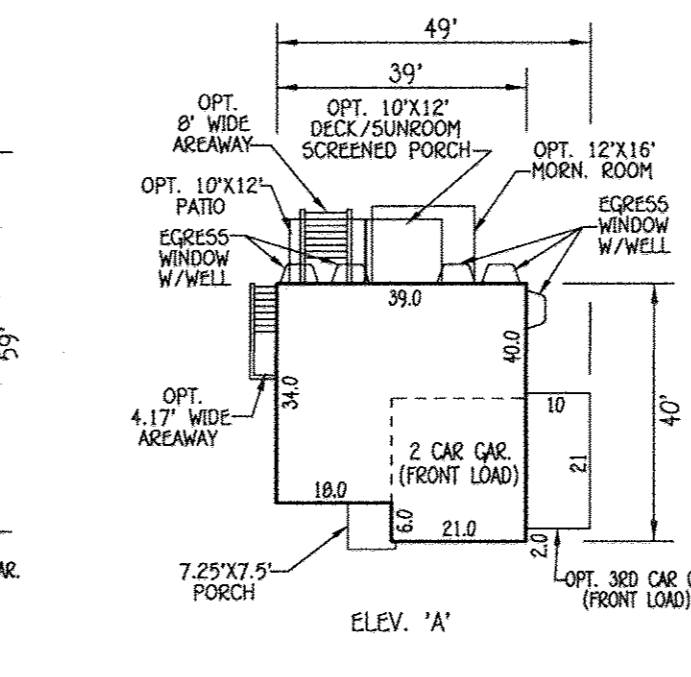
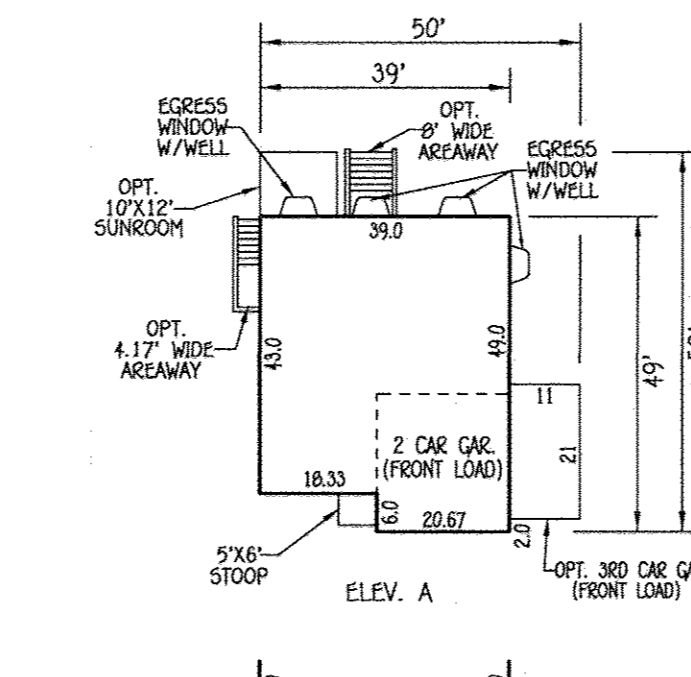
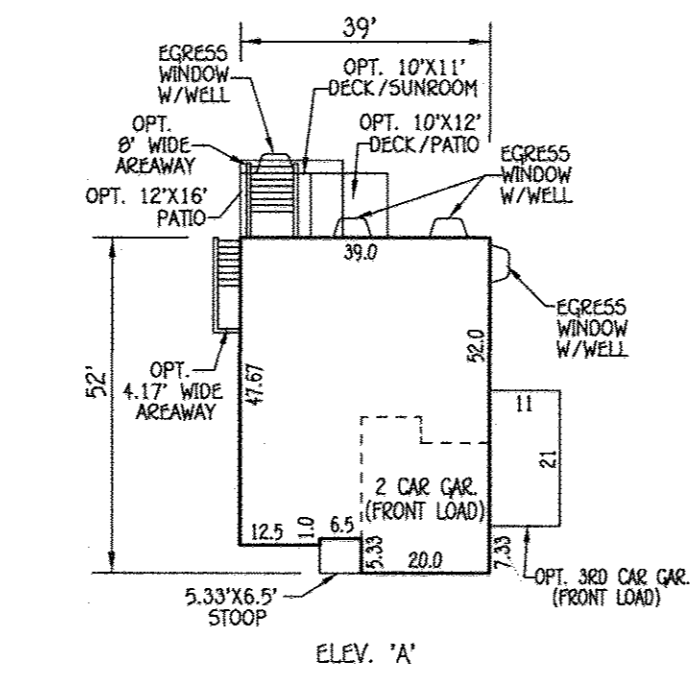
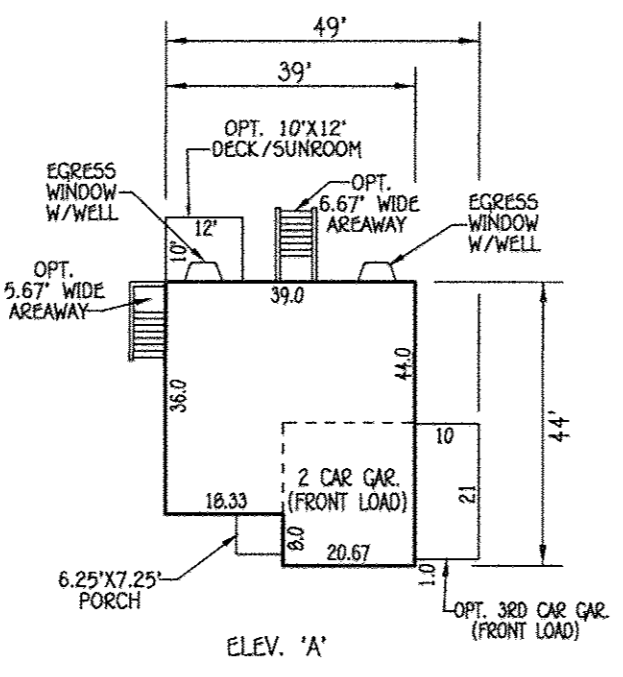
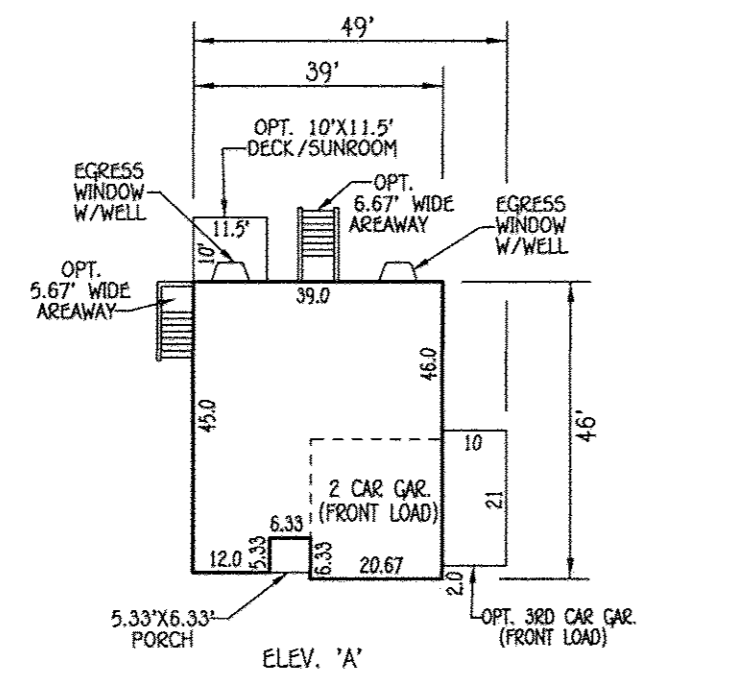
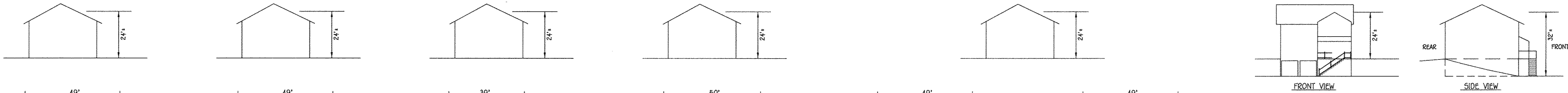
LOTS 1-19, 23, AND OPEN SPACE LOTS 30 & 32

PREVIOUS HOWARD COUNTY FILES: SP-15-005, WP-15-095, ECP-14-013 F-93-04, W&S CONT. #24-4849-D, #24-4805-D, F-16-041 & SDP-18-013
 ZONED: R-SC
 TAX MAP NO.: 50 PARCEL NOS.: 361, 362, & 474 GRID NO.: 1
 SIXTH ELECTION DISTRICT HOWARD COUNTY, MARYLAND
 SCALE: AS SHOWN DATE: JANUARY 25, 2018

PLAT	BLOCK NO.	ZONE	TAX/ZONE	ELEC. DIST.	CENSUS TR.
24391-24395	1	R-SC	50	SIXTH	6012.02



GENERIC HOUSE BOXES

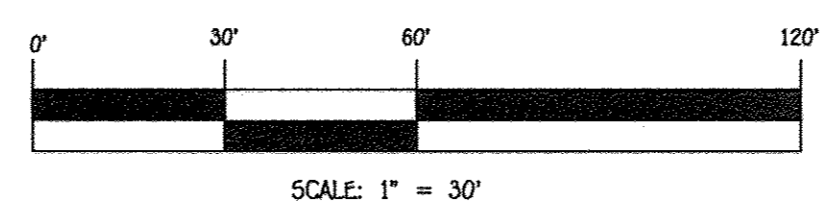


COMMON DRIVEWAY DETAIL NOT TO SCALE

FISHER, COLLINS & CARTER, INC. CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS



PROFESSIONAL CERTIFICATION I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND THAT I AM A DULY LICENSED PROFESSIONAL LAND SURVEYOR UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 21476, EXPIRATION DATE: 7/14/19.

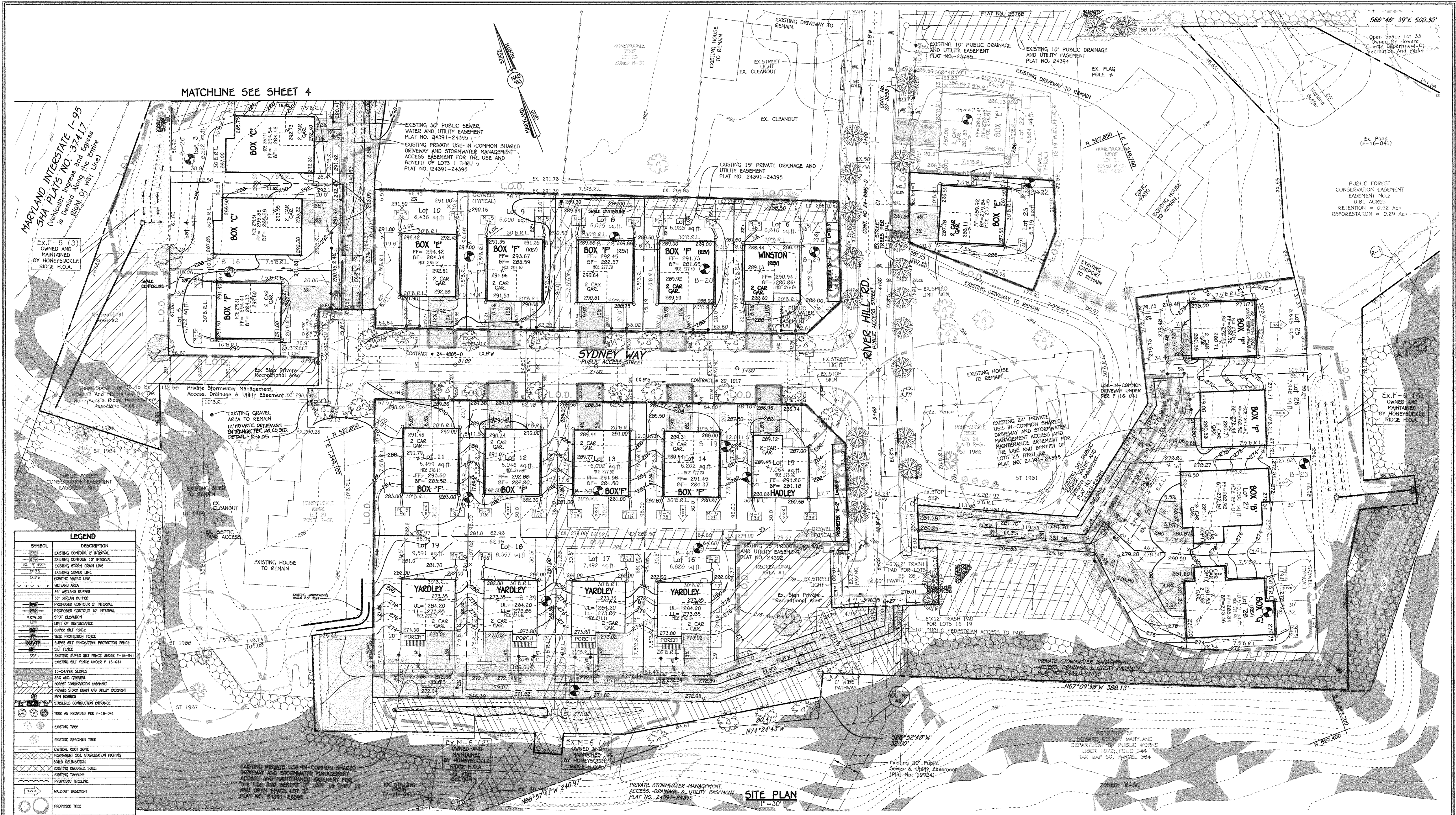


BUILDER D. R. HORTON, INC. 1356 BEVERLY RD., SUITE 300 McLean, VA 22101 (571)-421-7738 OWNERS DOUBLE R VENTURES, LLC 8318 FORREST STREET-SUITE 200 ELLICOTT CITY, MARYLAND 21043 (410)-707-7054

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING J. Marshall Fikes 2-14-18 Chief, Division of Land Development Date 2-12-18 Date 2-14-18 Date

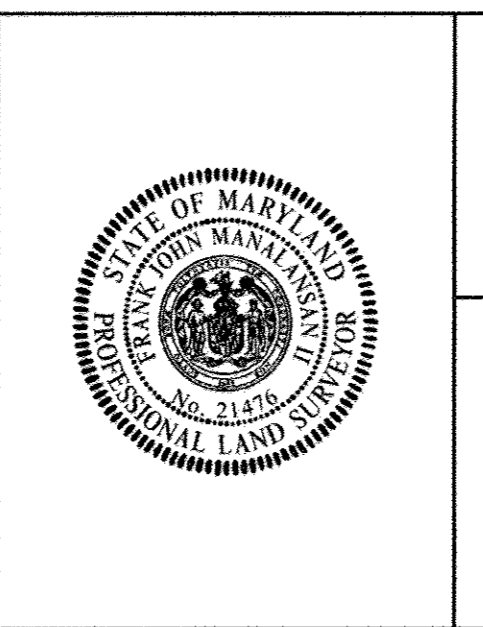
PROJECT	HONEYSUCKLE RIDGE		SECTION	LOTS 1-19, 23, 25-28 & OPEN SPACE LOTS 30&32
PLAT	BLOCK NO.	ZONE	TAX/ZONE	ELEC. DIST.
24391-24395	1	R-5C	50	SIXTH
PREVIOUS HOWARD COUNTY FILES: SP-15-005, WP-15-095, ECP-14-013, F-93-04, W&S CONT. #24-4849-D, #24-4885-D, F-16-041, SDP-18-013				

GENERIC BOXES, HOUSE TYPES AND NOTES HONEYSUCKLE RIDGE LOTS 1-19, 23 & 25-28 AND OPEN SPACE LOTS 30 & 32 PREVIOUS HOWARD COUNTY FILES: SP-15-005, WP-15-095, ECP-14-013, F-93-04, W&S CONT. #24-4849-D, #24-4885-D, F-16-041 & SDP-18-013 TAX MAP NO.: 50 PARCEL NOS.: 361, 362, & 474 GRID NO.: 1 SIXTH ELECTION DISTRICT HOWARD COUNTY, MARYLAND SCALE: AS SHOWN DATE: JANUARY 25, 2018 SHEET 2 OF 8 50P-18-003



FISHER, COLLINS & CARTER, INC.
 CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
 CENTRAL SQUARE OFFICE PARK - 10672 BALDORNE NATIONAL PIKE
 ELICOTT CITY, MARYLAND 21042
 (410) 461-2895

NO.	REVISION	DATE



PROFESSIONAL CERTIFICATION
 I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND THAT I AM A DULY LICENSED PROFESSIONAL LAND SURVEYOR UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 21476, EXPIRATION DATE: 7/14/19.

Frank John Mahanwan II 1/27/10
 DATE

BUILDER
 D. R. HORTON INC.
 1356 BEVERLY RD - SUITE 300
 McLean, VA 22101
 (571) 421-7738

OWNERS
 DOUBLE R VENTURES, LLC
 8310 FORREST STREET-SUITE 200
 ELICOTT CITY, MARYLAND 21043
 (410) 707-7094

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

J. Marshall for KS 2-14-18
 Chief, Division of Land Development Date

Ch. Elms 2-12-18
 Chief, Development Engineering Division Date

Valerie Zyle 2-14-18
 Director, Department of Planning and Zoning Date

PROJECT	SECTION
HONEYSUCKLE RIDGE	LOTS 1-19, 23, 25-28 & OPEN SPACE LOTS 30&32

PLAT	BLOCK NO.	ZONE	TAX/ZONE	ELEC. DIST.	CENSUS TR.
24391-24395	1	R-5C	50	SIXTH	6012.02

PREVIOUS HOWARD COUNTY FILES:
 SP-15-005, WP-15-095, ECP-14-013, F-93-04, W&S CONT. #24-4849-D, #24-4805-D, F-16-041, SDP-18-013

SP-15-005, WP-15-095, ECP-14-013, F-93-04, W&S CONT. #24-4849-D, #24-4805-D, F-16-041, SDP-18-013

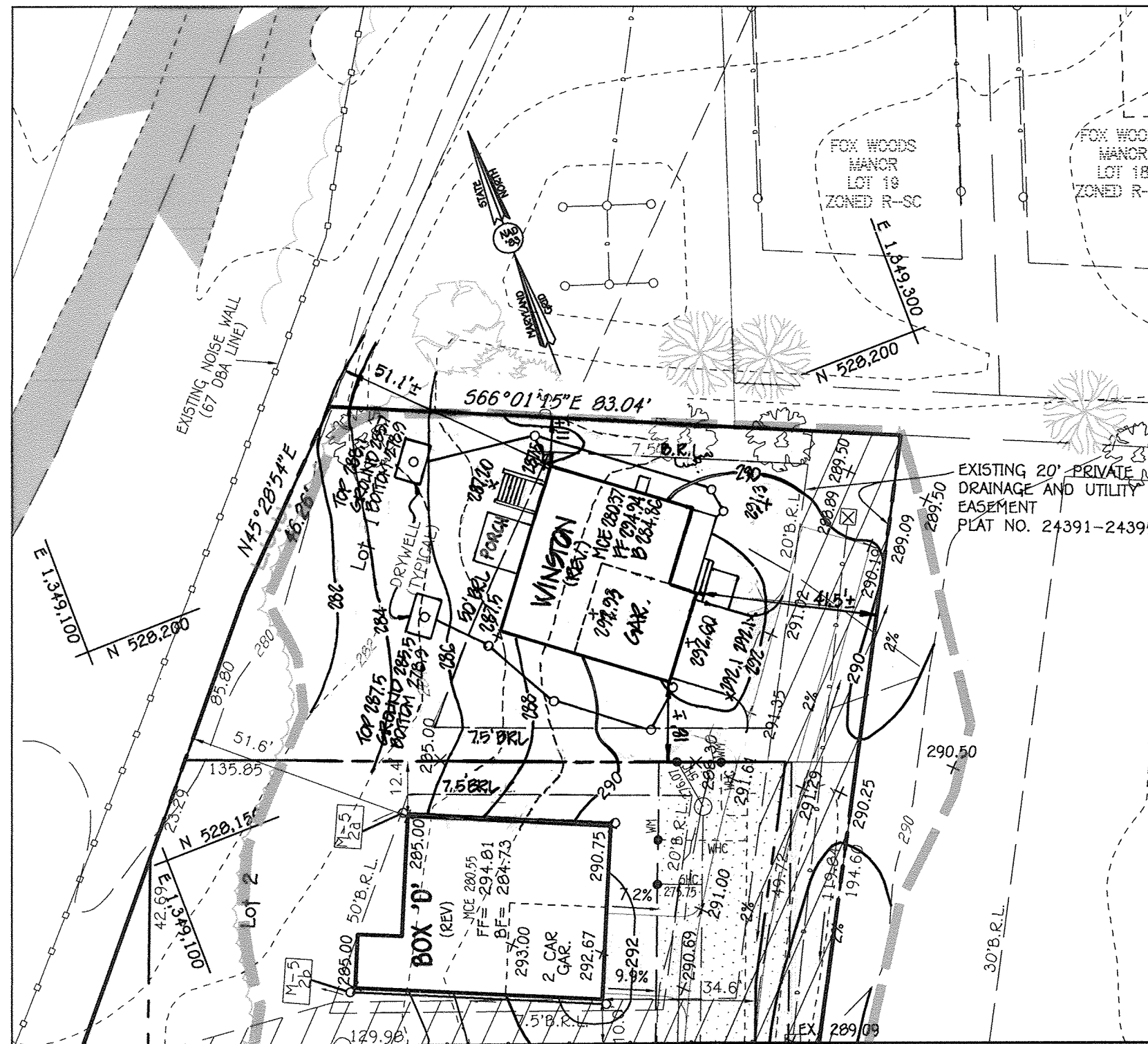
SITE DEVELOPMENT PLAN

HONEYSUCKLE RIDGE
 LOTS 1-19, 23 & 25-28
 AND OPEN SPACE LOTS 30 & 32

PREVIOUS HOWARD COUNTY FILES: SP-15-005, WP-15-095, ECP-14-013, F-93-04, W&S CONT. #24-4849-D, #24-4805-D, F-16-041 & SDP-18-013

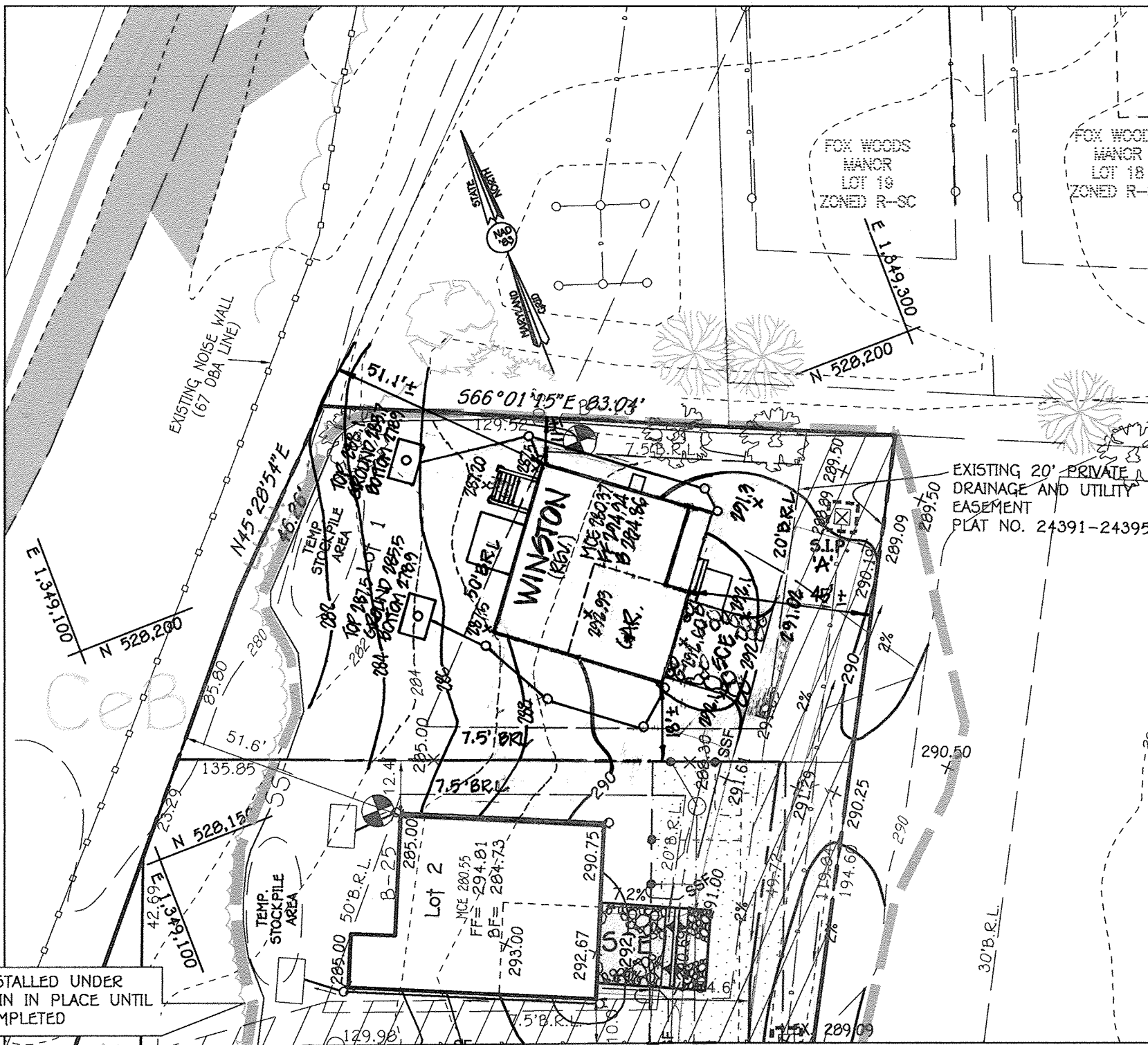
TAX MAP NO.: 50 PARCEL NOS.: 361, 362, & 474 GRID NO.: 1
 SIXTH ELECTION DISTRICT HOWARD COUNTY, MARYLAND
 SCALE: AS SHOWN DATE: JANUARY 25, 2018

SHEET 3 OF 8 SDP-18-003



MATCHLINE SEE SHEET 3

SITE PLAN
1" = 30'



MATCHLINE SEE SHEET 5

SEDIMENT AND EROSION CONTROL PLAN
1" = 30'

SCHEDULE A PERIMETER LANDSCAPE EDGE			
PERIMETER	R-1	R-2	TOTAL
LANDSCAPE TYPE	8	8	
LINEAR FEET OF ROADWAY FRONTAGE/PERIMETER	70.5	68.00	139.30
CREDIT FOR EXISTING VEGETATION (YES, NO LINEAR FEET) (DESCRIBE BELOW IF NEEDED)	NO	NO	NO
CREDIT FOR WALL, FENCE OR BERM (YES, NO LINEAR FEET) (DESCRIBE BELOW IF NEEDED)	NO	NO	NO
NUMBER OF PLANTS REQUIRED			
SHADE TREES: 1 PER 30 LINEAR FEET	2	2	4
EVERGREEN TREES: 1 PER 40 LINEAR FEET	2	2	4
SHRUBS: N/A	-	-	-
NUMBER OF PLANTS PROVIDED			
SHADE TREES	2	2	4
EVERGREEN TREES	2	2	4
SHRUBS	-	-	-

PERIMETER LANDSCAPE PLANT LIST			
QTY.	KEY	NAME	SIZE
4	(Symbol)	ACER GINNALA (AMUR MAPLE)	2.0' - 2.5' CAL. FULL CROWN, B&B
4	(Symbol)	PINUS STROBUS (WHITE PINE)	10' HT. B&B

LANDSCAPE NOTES

- THE PERIMETER LANDSCAPE OBLIGATION IS PROVIDED IN ACCORDANCE WITH SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL. A LANDSCAPE SURETY IN THE AMOUNT OF \$1,000.00 BASED ON FOUR (4) SHADE TREES @ \$300/SHADE TREE AND FOUR (4) EVERGREEN TREES @ \$150/EVERGREEN TREE SHALL BE BONDED AS PART OF THE DPM GRADING PERMIT SURETY BOND.
- AT THE TIME OF INSTALLMENT, ALL SHRUBS AND OTHER PLANTINGS HEREIN LISTED AND APPROVED FOR THIS SITE, SHALL BE OF THE PROPER HEIGHT REQUIREMENTS IN ACCORDANCE WITH THE HOWARD COUNTY LANDSCAPE MANUAL. IN ADDITION, NO SUBSTITUTIONS OR RELOCATION OF REQUIRED PLANTINGS MAY BE MADE WITHOUT PRIOR REVIEW AND APPROVAL FROM THE DEPARTMENT OF PLANNING AND ZONING. ANY DEVIATION FROM THIS APPROVED LANDSCAPE PLAN MAY RESULT IN DENIAL OR DELAY IN THE RELEASE OF LANDSCAPE SURETY UNTIL SUCH TIME AS ALL REQUIRED MATERIALS ARE PLANTED AND/OR REVISIONS ARE MADE TO APPLICABLE PLANS AND CERTIFICATES.
- THE OWNER, TENANT, AND/OR THEIR AGENTS SHALL BE RESPONSIBLE FOR MAINTENANCE OF THE REQUIRED LANDSCAPING, INCLUDING BOTH PLANT MATERIALS AND MULCH. ALL PLANT MATERIALS SHALL BE MAINTAINED IN GOOD GROWING CONDITION, AND WHEN NECESSARY, REPLACED WITH NEW MATERIALS TO ENSURE CONTINUED COMPLIANCE WITH APPLICABLE REGULATIONS. ALL OTHER REQUIRED LANDSCAPING SHALL BE PERMANENTLY MAINTAINED IN GOOD CONDITION, AND WHEN NECESSARY, REPAIRED OR REPLACED.
- IF ANY TREE DESIGNATED FOR PRESERVATION, FOR WHICH CREDIT IS GIVEN, DIES OR IS REMOVED PRIOR TO RELEASE OF BONDS, THE OWNER WILL BE REQUIRED TO REPLACE THE TREE WITH THE EQUIVALENT SPECIES OR IF THE TREE IS LISTED AS A PROHIBITED OR INVASIVE SPECIES ON THE DPZ TREE LIST IT SHOULD BE REPLACED WITH A RECOMMENDED TREE SPECIES WHICH WILL OBTAIN THE SAME HEIGHT, SPREAD AND GROWTH CHARACTERISTICS. THE REPLACEMENT TREE MUST BE A MINIMUM OF 3 INCHES IN CALIPER AND INSTALLED AS RECOMMENDED IN THE LANDSCAPE MANUAL.

PLANTING SPECIFICATIONS

PLANTS, RELATED MATERIAL, AND OPERATIONS SHALL MEET THE DETAILED DESCRIPTION AS GIVEN ON THE PLANS AND AS DESCRIBED HEREIN.

ALL PLANT MATERIAL, UNLESS OTHERWISE SPECIFIED, SHALL BE NURSERY GROWN, UNIFORMLY BRANCHED, HAVE A VIGOROUS ROOT SYSTEM, AND SHALL CONFORM TO THE SPECIES, SIZE, ROOT AND SHAPE SHOWN ON THE PLANS AND THE HOWARD COUNTY LANDSCAPE MANUAL. PLANT MATERIALS SHALL BE MAINTAINED FROM DROUGHT, DISEASE, INSECT PESTS, SUN SCALD, BARK BORERS, AND ALL FORMS OF INSECT INFESTATIONS OR DISEASES. PLANT MATERIAL THAT IS WEAKE OR WHICH HAS BEEN CUT BACK FROM LARGER GUAARDS TO MEET SPECIFIED REQUIREMENTS WILL BE REJECTED. TREES WITH FROZEN LANSERS WILL NOT BE ACCEPTED. ALL PLANTS SHALL BE FREELY DRAINING AND PLANTS FROM OLD STORAGE WILL BE ACCEPTED.

UNLESS OTHERWISE SPECIFIED, ALL GENERAL CONDITIONS, PLANTING OPERATIONS, DECAYS AND PLANTING SPECIFICATIONS SHALL CONFORM TO "LANDSCAPE SPECIFICATION GUIDELINES FOR BALTIMORE-WASHINGTON METROPOLITAN AREAS" (HEREINAFTER "LANDSCAPE GUIDELINES") APPROVED BY THE LANDSCAPE CONTRACTORS ASSOCIATION OF METROPOLITAN WASHINGTON AND THE POTOMAC CHAPTER OF THE AMERICAN SOCIETY OF LANDSCAPE ARCHITECTS, LATEST EDITION, INCLUDING ALL AMENDMENTS.

CONTRACTOR SHALL BE REQUIRED TO GUARANTEE ALL PLANT MATERIAL FOR A PERIOD OF ONE YEAR AFTER DATE OF ACCEPTANCE IN ACCORDANCE WITH THE APPROPRIATE SECTION OF THE LANDSCAPE GUIDELINES. CONTRACTOR'S ATTENTION IS DIRECTED TO THE MAINTENANCE REQUIREMENTS FOUND WITHIN THE ONE-YEAR SPECIFICATIONS INCLUDING WATERING AND REPLACEMENT OF SPECIFIED PLANT MATERIAL.

CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING UTILITY COMPANIES, UTILITY CONTRACTORS AND "311" UTILITY A MINIMUM OF 48 HOURS PRIOR TO BEGINNING ANY WORK. CONTRACTOR MAY MAKE MINOR ADJUSTMENTS IN SPACING AND LOCATION OF PLANT MATERIAL TO AVOID CONFLICTS WITH UTILITIES. DAMAGE TO EXISTING STRUCTURE AND UTILITIES SHALL BE REPAIRED AT THE EXPENSE OF THE CONTRACTOR.

PROTECTION OF EXISTING VEGETATION TO REMAIN SHALL BE ACCOMPLISHED BY THE TEMPORARY INSTALLATION OF A 4 FOOT HIGH SNOW FENCE OR BLAZE ORANGE SAFETY FENCE AT THE DPM LINE.

CONTRACTOR IS RESPONSIBLE FOR INSTALLING ALL MATERIAL IN THE PROPER PLANTING SEASON FOR EACH PLANT TYPE. ALL PLANTING IS TO BE COMPLETED WITHIN THE GROWING SEASON OF COMPLETION OF SITE CONSTRUCTION.

NO SHALL BE BASE ON ACTUAL SITE CONDITIONS. NO EXTRA PAYMENT SHALL BE MADE FOR WORK ARISING FROM SITE CONDITIONS DIFFERING FROM THOSE INDICATED ON DRAWINGS AND SPECIFICATIONS.

PLANT QUANTITIES ARE PROVIDED FOR THE CONFORMANCE OF THE CONTRACTOR ONLY. IF DISCREPANCIES EXIST BETWEEN QUANTITIES SHOWN ON PLAN AND THOSE SHOWN ON THE PLANT LIST, THE GREATER OF THE QUANTITIES SHALL PRECEDE.

ALL SHRUBS SHALL BE PLANTED IN CONTINUOUS TRENCHES OR PREPARED PLANTING BEDS AND MULCHED WITH COMPOSTED HAYWOOD MULCH AS DETAILS AND SPECIFIED EXCEPT WHERE NOTED ON PLANS.

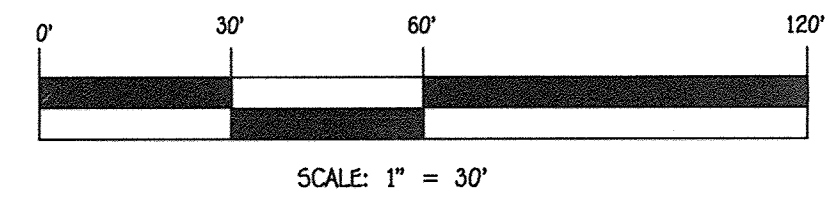
POSTIVE DRAINAGE SHALL BE MAINTAINED IN PLANTING BEDS 2 PERCENT SLOPE.

PLANTING FOR SHALL BE AS FOLLOWS: DECIDUOUS PLANTS - TWO PARTS TOPSOIL, ONE PART WELL-SORTED COM OR HOUSE MANURE. ADD 3 LBS. OF STANDARD FERTILIZER PER CUBIC YARD OF PLANTING MIX. EVERGREEN PLANTS - TWO PARTS TOPSOIL, ONE PART HUMUS OR OTHER APPROVED ORGANIC MATERIAL. ADD 3 LBS. OF EVERGREEN (NICKED) FERTILIZER PER CUBIC YARD OF PLANTING MIX. TOPSOIL SHALL CONFORM TO THE LANDSCAPE GUIDELINES.

WEED CONTROL: INCORPORATE A PRE-EMERGENT HERBICIDE INTO THE PLANTING BED FOLLOWING RECOMMENDED RATES ON THE LABEL. CAUTION: BE SURE TO CAREFULLY CHECK THE CHEMICAL USED TO ASSURE ITS ADAPTABLE TO THE SPECIFIC GROUND COVER TO BE TREATED.

ALL AREAS WITHIN CONTRACT LINES DISTURBED DURING OR PRIOR TO CONSTRUCTION NOT DESIGNATED TO RECEIVE PLANTS AND MULCH SHALL BE FINE GRADED AND SEEDED.

LEGEND	
(Symbol)	EXISTING CONTOUR 2' INTERVAL
(Symbol)	EXISTING CONTOUR 10' INTERVAL
(Symbol)	EXISTING STORM DRAIN LINE
(Symbol)	EXISTING SEWER LINE
(Symbol)	EXISTING WATER LINE
(Symbol)	METLAND AREA
(Symbol)	25' METLAND BUFFER
(Symbol)	50' STREAM BUFFER
(Symbol)	PROPOSED CONTOUR 2' INTERVAL
(Symbol)	PROPOSED CONTOUR 10' INTERVAL
(Symbol)	SPOT ELEVATION
(Symbol)	LIMIT OF DISTURBANCE
(Symbol)	SUPER SILT FENCE
(Symbol)	TREE PROTECTION FENCE
(Symbol)	SUPER SILT FENCE/TREE PROTECTION FENCE
(Symbol)	SILT FENCE
(Symbol)	EXISTING SUPER SILT FENCE UNDER F-16-041
(Symbol)	EXISTING SILT FENCE UNDER F-16-041
(Symbol)	15-24.90% SLOPES
(Symbol)	25% AND GREATER
(Symbol)	FOREST CONSERVATION EASEMENT
(Symbol)	PRIVATE STORM DRAIN AND UTILITY EASEMENT
(Symbol)	SAF BONDING
(Symbol)	STABILIZED CONSTRUCTION ENTRANCE
(Symbol)	TREE AS PROVIDED PER F-16-041
(Symbol)	EXISTING TREE
(Symbol)	EXISTING SPECIMEN TREE
(Symbol)	CRITICAL ROOT ZONE
(Symbol)	PERMANENT SOIL STABILIZATION MATTING
(Symbol)	SOILS DELINEATION
(Symbol)	EXISTING EXPOSED SOILS
(Symbol)	EXISTING TREELINE
(Symbol)	PROPOSED TREELINE
(Symbol)	WALKOUT BASEMENT

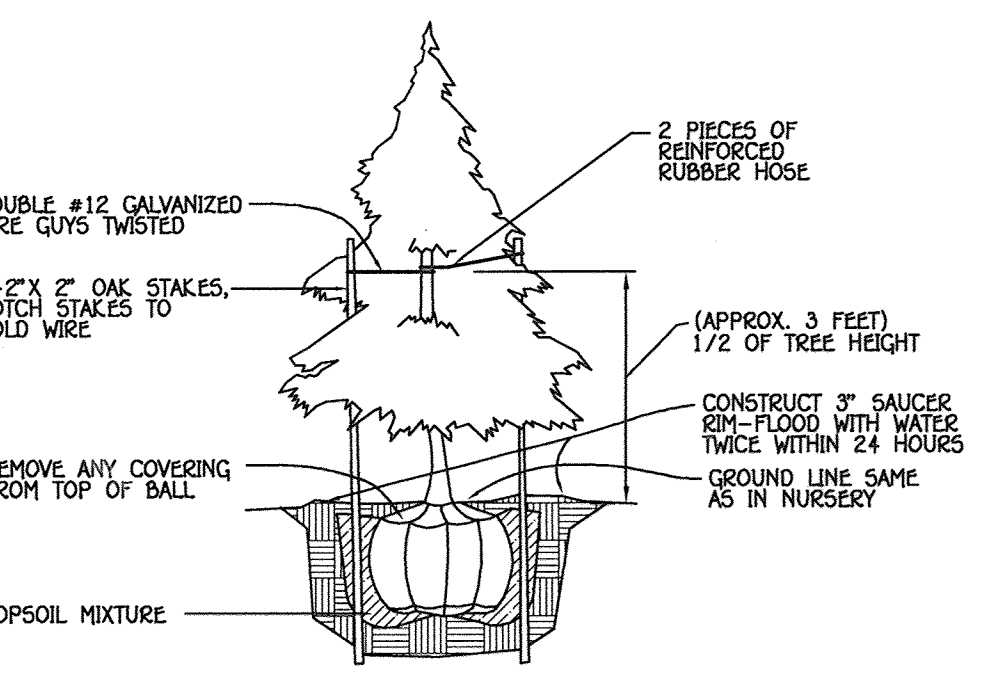


SCALE: 1" = 30'

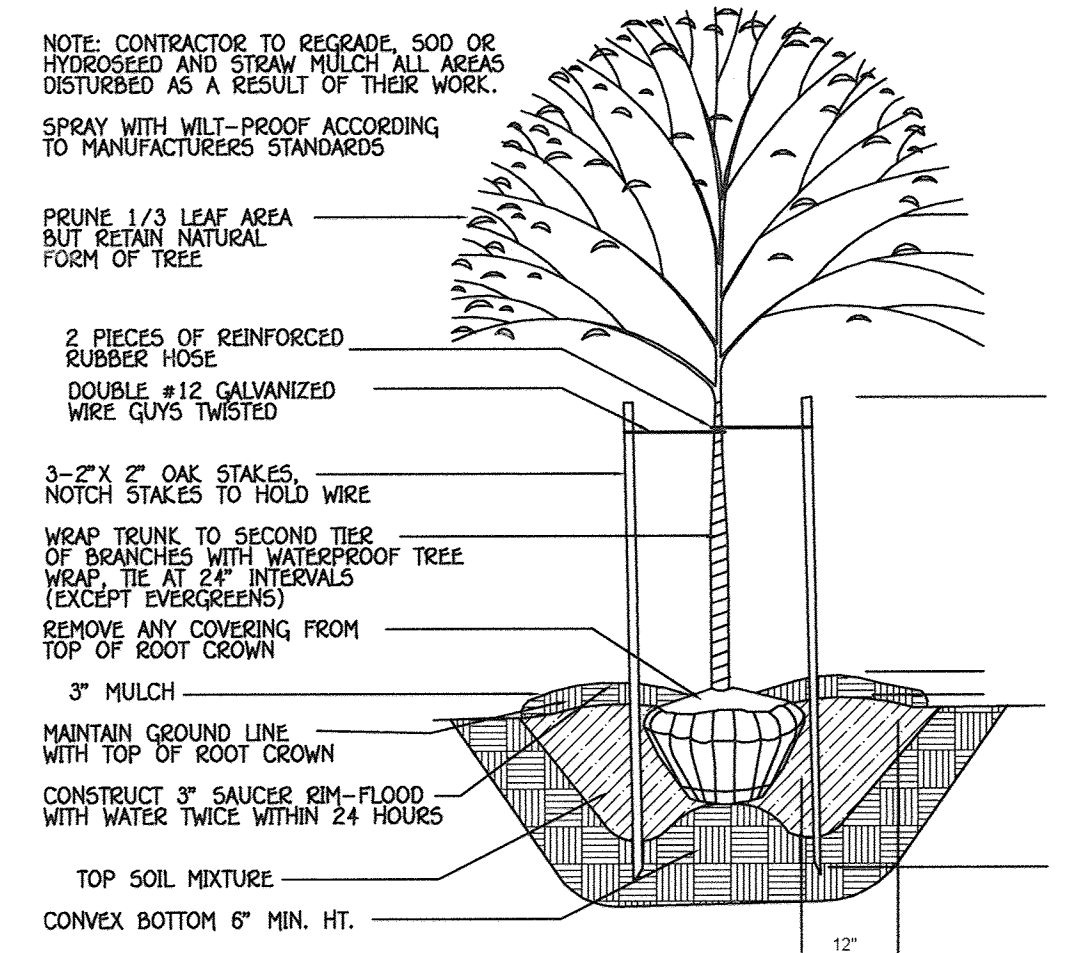
LANDSCAPE DEVELOPER'S CERTIFICATE

I/We certify that the landscaping shown on this plan will be done according to the plan, Section 16.124 of the Howard County Code and the Howard County Landscape Manual. I/We further certify that upon completion a letter of landscape installation accompanied by an executed one year guarantee of plant materials will be submitted to the Department of Planning and Zoning.

Name: [Signature] Date: 1.26.18



EVERGREEN TREE PLANTING DETAIL
NO SCALE



SHADE TREE PLANTING DETAIL
NO SCALE

NO.	REVISION	DATE
1	REVISED DRAWING ON LOT 1, TO AS-BUILT CONDITION	9/29/16



PROFESSIONAL CERTIFICATE
I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

Frank J. Manalansan II 1/27/18
SIGNATURE LICENSED PROFESSIONAL ENGINEER JOHN MANALANSAN II DATE

BUILDER/DEVELOPER'S CERTIFICATE
I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN, FOR SEDIMENT AND EROSION CONTROL AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT.

[Signature] 1.26.18
SIGNATURE OF BUILDER PATRICK J. WILLIAMS DATE

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

John R. Williams 2/1/18
HOWARD SCD DATE

BUILDER
D. R. HORTON INC.
1356 BEVERLY RD. - SUITE 300
McLean, VA 22101
(571)-421-7738

OWNERS
DOUBLE R VENTURES, LLC
8310 FOREST STREET - SUITE 200
ELLICOTT CITY, MARYLAND 21043
(410)-707-7054

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

[Signature] 2-14-18
Chief, Division of Land Development Date

[Signature] 2-12-18
Chief, Development Engineering Division Date

[Signature] 2-14-18
Director, Department of Planning and Zoning Date

PROJECT	BLOCK NO.	ZONE	TAX/ZONE	ELEC. DIST.	CENSUS TR.
HONEYSUCKLE RIDGE	1	R-5C	50	SIXTH	6012.02

PREVIOUS HOWARD COUNTY FILES:
SP-15-005, WP-15-095, ECP-14-013, F-93-04, W&S CONT. #24-4849-D, #24-4805-D, F-16-041, SDP-18-013

SITE DEVELOPMENT PLAN, SEDIMENT AND EROSION CONTROL AND LANDSCAPE PLAN

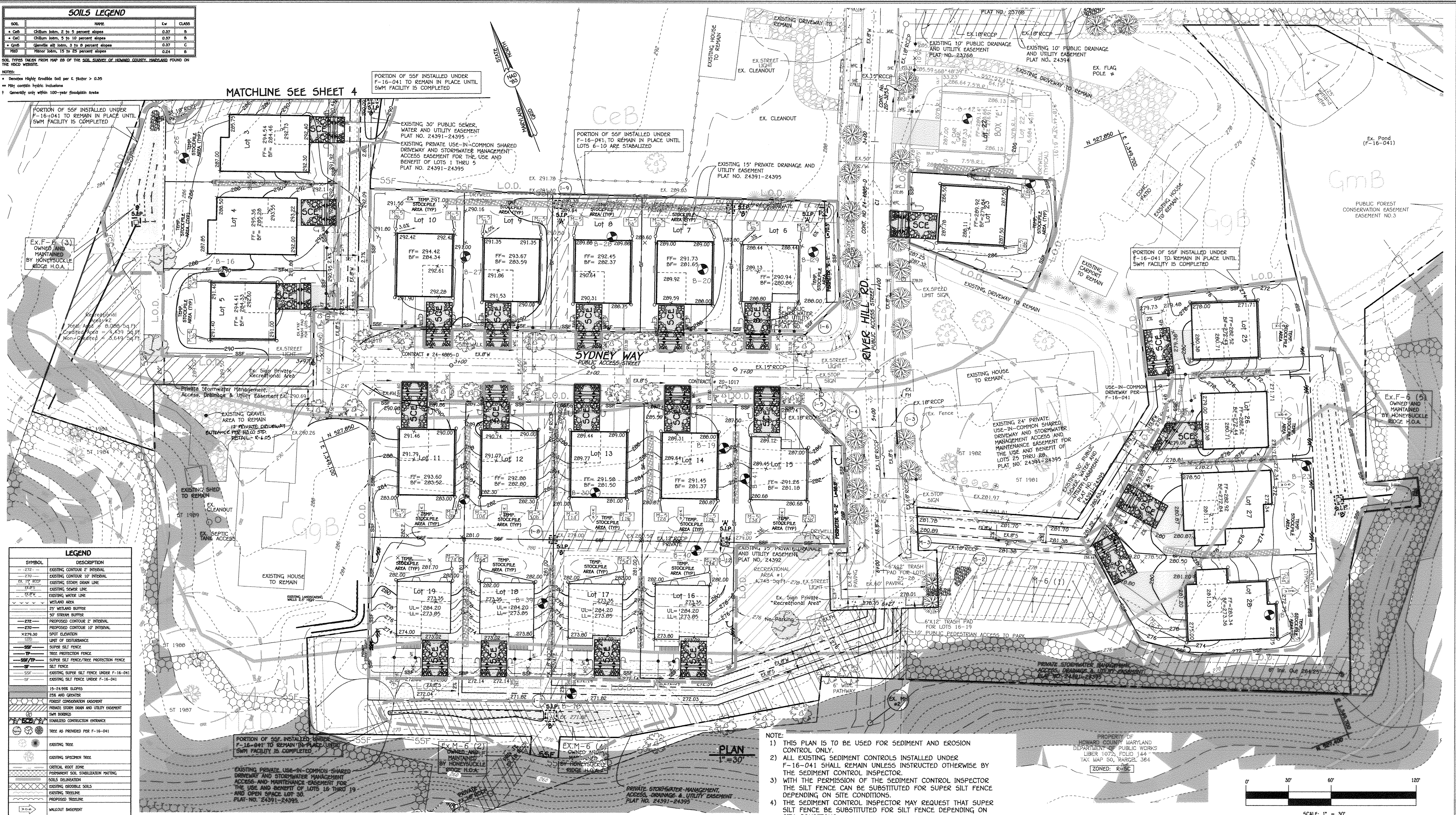
HONEYSUCKLE RIDGE
LOTS 1-19, 23 & 25-28
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PREVIOUS HOWARD COUNTY FILES: SP-15-005, WP-15-095, ECP-14-013, F-93-04, W&S CONT. #24-4849-D, #24-4805-D, F-16-041 & SDP-18-013

TAX MAP NO.: 50 PARCEL NOS.: 361, 362, & 474 GRID NO.: 1
SIXTH ELECTION DISTRICT HOWARD COUNTY, MARYLAND
SCALE: AS SHOWN DATE: JANUARY 25, 2018

SHEET 4 OF 8 5DP-18-003

FISHER, COLLINS & CARTER, INC.
CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
CENTENNIAL SQUARE OFFICE PARK - 10272 BALTIMORE NATIONAL PIKE
ELLICOTT CITY, MARYLAND 21042
(410) 461-2895



SOILS LEGEND

SOIL	NAME	CL	CLASS
CeB	Chilum loam, 2 to 5 percent slopes	0.37	B
CeC	Chilum loam, 5 to 10 percent slopes	0.37	B
GmB	Glenville silt loam, 3 to 8 percent slopes	0.37	B
HSD	Honor loam, 15 to 25 percent slopes	0.24	B

SOIL TYPES TAKEN FROM MAP 20 OF THE SOIL SURVEY OF HOWARD COUNTY, MARYLAND FOUND ON THE HSDC WEBSITE.

NOTES:
 * Exceeds Highly Erodible Soil per K factor > 0.35
 † May contain hydroic inclusions
 ‡ Generally only within 100-year floodplain areas

PORTION OF SSF INSTALLED UNDER F-16-041 TO REMAIN IN PLACE UNTIL SWM FACILITY IS COMPLETED.

EXISTING 30' PUBLIC SEWER, WATER AND UTILITY EASEMENT PLAT NO. 24391-24395

EXISTING PRIVATE USE-IN-COMMON SHARED DRIVEWAY AND STORMWATER MANAGEMENT ACCESS EASEMENT FOR THE USE AND BENEFIT OF LOTS 1 THRU 5 PLAT NO. 24391-24395

PORTION OF SSF INSTALLED UNDER F-16-041 TO REMAIN IN PLACE UNTIL SWM FACILITY IS COMPLETED.

EXISTING 15' PRIVATE DRAINAGE AND UTILITY EASEMENT PLAT NO. 24391-24395

EXISTING 10' PUBLIC DRAINAGE AND UTILITY EASEMENT PLAT NO. 23760

EXISTING 10' PUBLIC DRAINAGE AND UTILITY EASEMENT PLAT NO. 24394

RECREATIONAL AREA #1
 TOTAL AREA = 6,000 sq.ft.
 CROPPED AREA = 4,439 sq.ft.
 NON-CROPPED = 1,561 sq.ft.

EXISTING HOUSE TO REMAIN

EXISTING SHED TO REMAIN

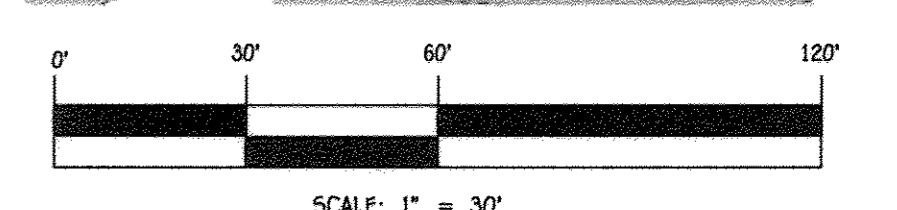
EXISTING CLEANOUT

EXISTING SEPTIC TANK ACCESS

LEGEND

SYMBOL	DESCRIPTION
-272-	EXISTING CONTOUR 2' INTERVAL
-270-	EXISTING CONTOUR 10' INTERVAL
EX 15' RCP	EXISTING STORM DRAIN LINE
EX 6" S	EXISTING SEWER LINE
EX 6" W	EXISTING WATER LINE
EX 6" M	EXISTING MISC. LINE
272	PROPOSED CONTOUR 2' INTERVAL
270	PROPOSED CONTOUR 10' INTERVAL
EX 15' RCP	EXISTING STORM DRAIN LINE
EX 6" S	EXISTING SEWER LINE
EX 6" W	EXISTING WATER LINE
EX 6" M	EXISTING MISC. LINE
SSF	SUPER SILT FENCE
TP	TREE PROTECTION FENCE
SSF/TP	SUPER SILT FENCE/TREE PROTECTION FENCE
SF	SILT FENCE
SSF/SF	EXISTING SUPER SILT FENCE UNDER F-16-041
SF	EXISTING SILT FENCE UNDER F-16-041
15-24 99% SLOPES	15-24 99% SLOPES
25% AND GREATER	25% AND GREATER
FOREST CONSERVATION EASEMENT	FOREST CONSERVATION EASEMENT
PRIVATE STORMWATER MANAGEMENT ACCESS, DRAINAGE & UTILITY EASEMENT	PRIVATE STORMWATER MANAGEMENT ACCESS, DRAINAGE & UTILITY EASEMENT
STABILIZED CONSTRUCTION ENTRANCE	STABILIZED CONSTRUCTION ENTRANCE
TREE AS PROVIDED PER F-16-041	TREE AS PROVIDED PER F-16-041
EXISTING TREE	EXISTING TREE
EXISTING SPECIMEN TREE	EXISTING SPECIMEN TREE
CENTRAL ROOT ZONE	CENTRAL ROOT ZONE
PERMANENT SOIL STABILIZATION MATING	PERMANENT SOIL STABILIZATION MATING
SOILS DELINEATION	SOILS DELINEATION
EXISTING SCOURABLE SOILS	EXISTING SCOURABLE SOILS
EXISTING TREZELLE	EXISTING TREZELLE
PROPOSED TREZELLE	PROPOSED TREZELLE
WALKOUT EASEMENT	WALKOUT EASEMENT

- NOTE:**
- 1) THIS PLAN IS TO BE USED FOR SEDIMENT AND EROSION CONTROL ONLY.
 - 2) ALL EXISTING SEDIMENT CONTROLS INSTALLED UNDER F-16-041 SHALL REMAIN UNLESS INSTRUCTED OTHERWISE BY THE SEDIMENT CONTROL INSPECTOR.
 - 3) WITH THE PERMISSION OF THE SEDIMENT CONTROL INSPECTOR THE SILT FENCE CAN BE SUBSTITUTED FOR SUPER SILT FENCE DEPENDING ON SITE CONDITIONS.
 - 4) THE SEDIMENT CONTROL INSPECTOR MAY REQUEST THAT SUPER SILT FENCE BE SUBSTITUTED FOR SILT FENCE DEPENDING ON SITE CONDITIONS.



NO.	REVISION	DATE

FISHER, COLLINS & CARTER, INC.
 CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
 CENTINALE SQUARE OFFICE PARK - 10272 BALTIMORE NATIONAL PIKE
 ELICOTT CITY, MARYLAND 21042
 (410) 461-2895



PROFESSIONAL CERTIFICATE
 "I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT."
 Frank John Manalansan II 1/27/18
 LICENSED PROFESSIONAL ENGINEER

BUILDER/DEVELOPER'S CERTIFICATE
 "I HAVE CERTIFIED THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN, FOR SEDIMENT AND EROSION CONTROL, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT."
 Patrick J. Williams 1.26.18
 SIGNATURE OF BUILDER PATRICK J. WILLIAMS DATE

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.
 John R. Roberts 2/1/18
 HOWARD SCD

BUILDER
 D. R. HORTON INC.
 1356 BEVERLY RD., SUITE 300
 McLEAN, VA 22101
 (571)-421-7738

OWNERS
 DOUBLE R VENTURES, LLC
 8310 FOREST STREET - SUITE 200
 ELICOTT CITY, MARYLAND 21043
 (410)-707-7054

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

J. Martin G. 2-14-18
 Chief, Division of Land Development DP Date
 Chief, Engineering Division 2-12-18
 Director, Department of Planning and Zoning 2-14-18 Date

PROPERTY OF HOWARD COUNTY MARYLAND
 LIBER 1072, FOLEY 144
 TAX MAP 50, PARCEL 364
 ZONED: R-5C

PLAT	BLOCK NO.	ZONE	TAX/ZONE	ELEC. DIST.	CENSUS TR.
24391-24395	1	R-5C	50	SIXTH	6012.02

PREVIOUS HOWARD COUNTY FILES:
 SP-15-005, WP-15-095, ECP-14-013, F-93-04, W&S CONT. #24-4849-D, #24-4805-D, F-16-041, SDP-10-013

SEDIMENT AND EROSION CONTROL PLAN

HONEYSUCKLE RIDGE
 LOTS 1-19, 23 & 25-28
 AND OPEN SPACE LOTS 30 & 32

PREVIOUS HOWARD COUNTY FILES: SP-15-005, WP-15-095, ECP-14-013, F-93-04, W&S CONT. #24-4849-D, #24-4805-D, F-16-041 & SDP-10-013

ZONED: R-5C
 TAX MAP NO.: 50 PARCEL NOS.: 361, 362, & 474 GRID NO.: 1
 SIXTH ELECTION DISTRICT HOWARD COUNTY, MARYLAND
 SCALE: AS SHOWN DATE: JANUARY 25, 2018

SHEET 5 OF 8 50P-18-003

CONSTRUCTION CRITERIA:

THE FOLLOWING ITEMS SHOULD BE ADDRESSED DURING CONSTRUCTION OF PROJECTS WITH DRY WELLS:

EROSION AND SEDIMENT CONTROL:
FINAL GRADING FOR PROPOSED DRY WELLS SHOULD NOT TAKE PLACE UNTIL THE SURROUNDING SITE IS COMPLETELY STABILIZED. IF THIS CANNOT BE ACCOMPLISHED, RUNOFF FROM DISTURBED AREAS SHALL BE DIVERTED.

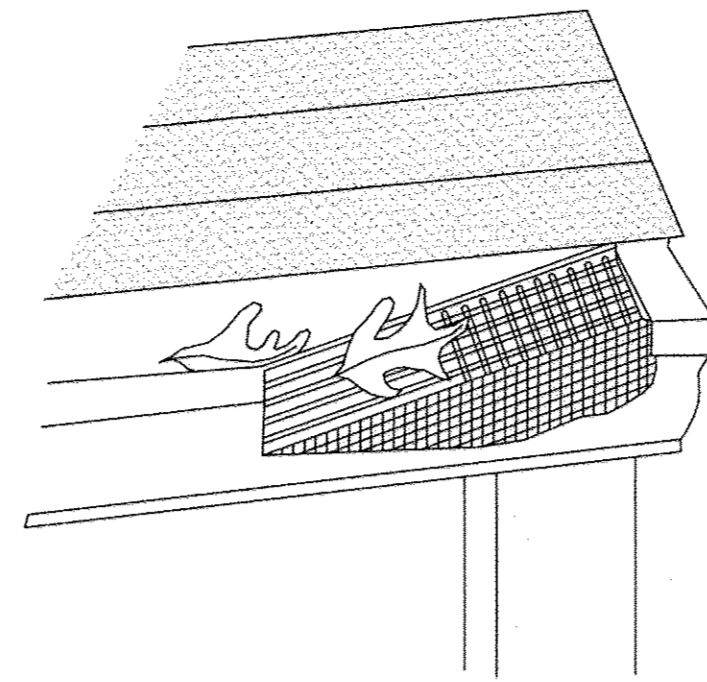
SOIL COMPACTION:
EXCAVATION SHOULD BE CONDUCTED IN DRY CONDITIONS WITH EQUIPMENT LOCATED OUTSIDE OF THE PRACTICE TO MINIMIZE BOTTOM AND SIDEWALL COMPACTION. CONSTRUCTION OF A DRY WELL SHALL BE PERFORMED WITH LIGHTWEIGHT, WIDE-TRACKED EQUIPMENT TO MINIMIZE DISTURBANCE AND COMPACTION. EXCAVATED MATERIALS SHALL BE PLACED IN A CONTAINED AREA.

UNDERGROUND CHAMBER:
A SUBSURFACE PREFABRICATED CHAMBER MAY BE USED.

DRY WELL BOTTOM:
THE BOTTOM SHALL BE AS LEVEL AS POSSIBLE TO MINIMIZE POOLED WATER IN SMALL AREAS THAT MAY REDUCE OVERALL INFILTRATION AND LONGEVITY.

FILTER CLOTH:
FILTER CLOTH SHALL NOT BE INSTALLED ON THE BOTTOM OF THE WELL. NON-WOVEN FILTER CLOTH SHOULD BE USED TO LINE THE TOP AND SIDES OF THE DRY WELL TO PREVENT THE PORE SPACE BETWEEN THE STONES FROM BEING BLOCKED BY THE SURROUNDING NATIVE MATERIAL.

GRAVEL MEDIA:
THE AGGREGATE SHALL BE COMPOSED OF AN 18 TO 48-INCH LAYER OF CLEAN WASHED, OPEN GRADED MATERIAL WITH 40% POROSITY (E.G., ASTM D448 4, 5, OR 6 STONE OR EQUAL).



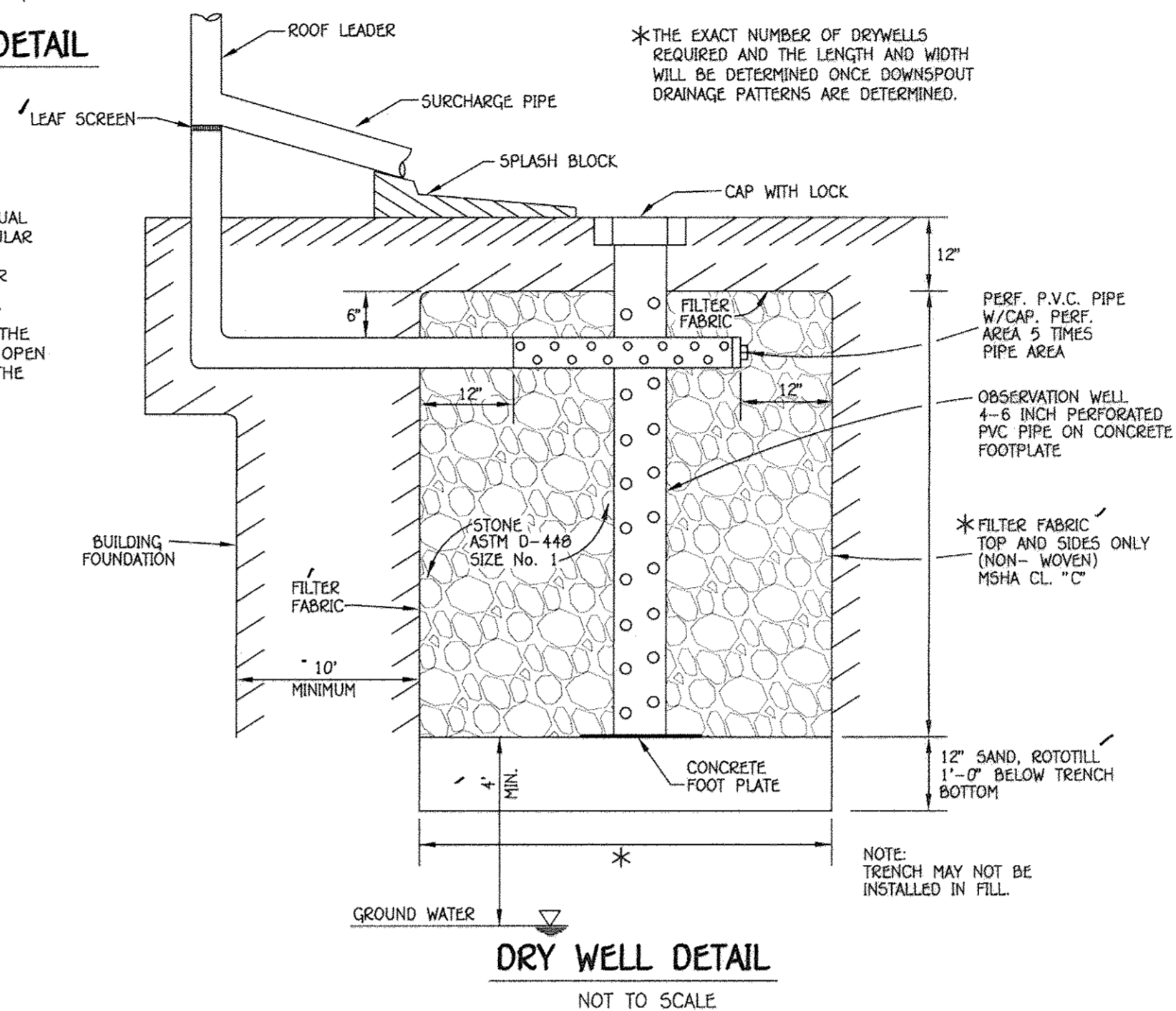
GUTTER DRAIN FILTER DETAIL
NOT TO SCALE

NOTES:

STORMWATER MANAGEMENT DEVICES LOCATED ON INDIVIDUAL LOTS WILL BE OWNED AND MAINTAINED BY THAT PARTICULAR LOT OWNER AND SUBJECT TO THE REQUIREMENTS OF A RECORDED DECLARATION OF COVENANT. THE STORMWATER MANAGEMENT DEVICE LOCATED WITHIN THE "PUBLIC STORMWATER MANAGEMENT, ACCESS, DRAINAGE & UTILITY EASEMENT" WILL BE PUBLICLY OWNED AND MAINTAINED. THE STORMWATER MANAGEMENT DEVICES LOCATED ON H.O.A. OPEN SPACE WILL BE PRIVATELY OWNED AND MAINTAINED BY THE HONEYSUCKLE RIDGE HOMEOWNER'S ASSOCIATION.

OPERATION & MAINTENANCE SCHEDULE FOR PRIVATELY OWNED AND MAINTAINED DRY WELLS (M-5)

- A. THE OWNER SHALL INSPECT THE MONITORING WELLS AND STRUCTURES ON A QUARTERLY BASIS AND AFTER EVERY HEAVY STORM EVENT.
- B. THE OWNER SHALL RECORD THE WATER LEVELS AND SEDIMENT BUILD UP IN THE MONITORING WELLS OVER A PERIOD OF SEVERAL DAYS TO ENSURE TRENCH DRAINAGE.
- C. THE OWNER SHALL MAINTAIN A LOG BOOK TO DETERMINE THE RATE AT WHICH THE FACILITY DRAINS.
- D. WHEN THE FACILITY BECOMES CLOGGED SO THAT IT DOES NOT DRAIN DOWN WITHIN A SEVENTY-TWO (72) HOUR TIME PERIOD, CORRECTIVE ACTION SHALL BE TAKEN.
- E. THE MAINTENANCE LOG BOOK SHALL BE AVAILABLE TO HOWARD COUNTY FOR INSPECTION TO INSURE COMPLIANCE WITH OPERATION AND MAINTENANCE CRITERIA.



LOT NO.	DRYWELL NUMBER	NO. OF DOWNSPOUTS	AREA OF ROOF PER DOWNSPOUT	VOLUME REQUIRED	VOLUME PROVIDED	AREA OF STORAGE	AREA OF TREATMENT	NO. OF DRYWELLS	DIMENSIONS OF DRYWELLS
1	M-5 (1a)	2	306 SQ.FT.	78 CU.FT.	108 CU.FT.	100%	612 SQ.FT.	1	9' X 6' X 5'
1	M-5 (1b)	3	280 SQ.FT.	107 CU.FT.	108 CU.FT.	100%	840 SQ.FT.	1	9' X 6' X 5'
2	M-5 (2a)	2	448 SQ.FT.	114 CU.FT.	114 CU.FT.	100%	895 SQ.FT.	1	9.5' X 6' X 5'
2	M-5 (2b)	2	448 SQ.FT.	114 CU.FT.	120 CU.FT.	100%	895 SQ.FT.	1	10' X 6' X 5'
5	M-5 (3a)	2	449 SQ.FT.	114 CU.FT.	120 CU.FT.	100%	897 SQ.FT.	1	10' X 6' X 5'
5	M-5 (3b)	2	449 SQ.FT.	114 CU.FT.	120 CU.FT.	100%	897 SQ.FT.	1	10' X 6' X 5'
6	M-5 (4a)	2	306 SQ.FT.	78 CU.FT.	80 CU.FT.	100%	612 SQ.FT.	1	8' X 5' X 5'
6	M-5 (4b)	2	420 SQ.FT.	107 CU.FT.	108 CU.FT.	100%	840 SQ.FT.	1	9' X 6' X 5'
7	M-5 (5a)	2	449 SQ.FT.	114 CU.FT.	120 CU.FT.	100%	897 SQ.FT.	1	10' X 6' X 5'
7	M-5 (5b)	2	449 SQ.FT.	114 CU.FT.	120 CU.FT.	100%	897 SQ.FT.	1	10' X 6' X 5'
8	M-5 (6a)	2	449 SQ.FT.	114 CU.FT.	120 CU.FT.	100%	897 SQ.FT.	1	10' X 6' X 5'
8	M-5 (6b)	2	449 SQ.FT.	114 CU.FT.	120 CU.FT.	100%	897 SQ.FT.	1	10' X 6' X 5'
9	M-5 (7a)	2	449 SQ.FT.	114 CU.FT.	120 CU.FT.	100%	897 SQ.FT.	1	10' X 6' X 5'
9	M-5 (7b)	2	449 SQ.FT.	114 CU.FT.	120 CU.FT.	100%	897 SQ.FT.	1	10' X 6' X 5'
10	M-5 (8a)	2	449 SQ.FT.	114 CU.FT.	120 CU.FT.	100%	897 SQ.FT.	1	10' X 6' X 5'
10	M-5 (8b)	2	449 SQ.FT.	114 CU.FT.	120 CU.FT.	100%	897 SQ.FT.	1	10' X 6' X 5'
11	M-5 (9a)	2	449 SQ.FT.	114 CU.FT.	120 CU.FT.	100%	897 SQ.FT.	1	10' X 6' X 5'
11	M-5 (9b)	2	449 SQ.FT.	114 CU.FT.	120 CU.FT.	100%	897 SQ.FT.	1	10' X 6' X 5'
12	M-5 (10a)	2	449 SQ.FT.	114 CU.FT.	120 CU.FT.	100%	897 SQ.FT.	1	10' X 6' X 5'
12	M-5 (10b)	2	449 SQ.FT.	114 CU.FT.	120 CU.FT.	100%	897 SQ.FT.	1	10' X 6' X 5'
13	M-5 (11a)	2	449 SQ.FT.	114 CU.FT.	120 CU.FT.	100%	897 SQ.FT.	1	10' X 6' X 5'
13	M-5 (11b)	2	449 SQ.FT.	114 CU.FT.	120 CU.FT.	100%	897 SQ.FT.	1	10' X 6' X 5'
14	M-5 (12a)	2	449 SQ.FT.	114 CU.FT.	120 CU.FT.	100%	897 SQ.FT.	1	10' X 6' X 5'
14	M-5 (12b)	2	449 SQ.FT.	114 CU.FT.	120 CU.FT.	100%	897 SQ.FT.	1	10' X 6' X 5'
15	M-5 (13a)	2	455 SQ.FT.	116 CU.FT.	120 CU.FT.	100%	909 SQ.FT.	1	10' X 6' X 5'
15	M-5 (13b)	2	330 SQ.FT.	84 CU.FT.	90 CU.FT.	100%	660 SQ.FT.	1	9' X 5' X 5'
16	M-5 (14a)	2	343 SQ.FT.	87 CU.FT.	90 CU.FT.	100%	686 SQ.FT.	1	9' X 5' X 5'
17	M-5 (15a)	2	343 SQ.FT.	87 CU.FT.	90 CU.FT.	100%	686 SQ.FT.	1	9' X 5' X 5'
18	M-5 (16a)	2	343 SQ.FT.	87 CU.FT.	90 CU.FT.	100%	686 SQ.FT.	1	9' X 5' X 5'
19	M-5 (17a)	2	343 SQ.FT.	87 CU.FT.	90 CU.FT.	100%	686 SQ.FT.	1	9' X 5' X 5'
23	M-5 (18a)	2	463 SQ.FT.	118 CU.FT.	120 CU.FT.	100%	926 SQ.FT.	1	10' X 6' X 5'
23	M-5 (18b)	2	463 SQ.FT.	118 CU.FT.	120 CU.FT.	100%	926 SQ.FT.	1	10' X 6' X 5'
28	M-5 (19a)	4	233 SQ.FT.	118 CU.FT.	120 CU.FT.	100%	930 SQ.FT.	1	10' X 6' X 5'
28	M-5 (19b)	2	368 SQ.FT.	94 CU.FT.	108 CU.FT.	100%	735 SQ.FT.	1	9' X 6' X 5'
28	M-5 (19c)	4	233 SQ.FT.	122 CU.FT.	132 CU.FT.	100%	961 SQ.FT.	1	11' X 6' X 5'

- NOTES:
 1) DRYWELL DIMENSIONS SHOWN ARE BASED ON TREATMENT OF 50% OF THE AREA OF THE GENERIC BOX AREA PROPOSED FOR THE LOT ASSUMING THAT THE FRONT PORTION (50%) OF THE ROOF AREA OF THE PROPOSED HOUSE SPECIFIED WITHIN THE GENERIC BOX WILL BE CAPTURED UNDER THE SWM PRACTICES PROPOSED UNDER F16-041
 2) A MODIFICATION TO THE STORAGE REQUIREMENT (DRYWELL SIZE) WILL BE DETERMINE WHEN THE ACTUAL HOUSE TYPE IS SITED ON THE INDIVIDUAL LOT.

STORMWATER MANAGEMENT NOTES

- 1. STORMWATER MANAGEMENT IS PROVIDED IN ACCORDANCE WITH CHAPTER 5, "ENVIRONMENTAL SITE DESIGN" OF THE 2007 MARYLAND STORMWATER MANAGEMENT DESIGN MANUAL, EFFECTIVE MAY 4, 2010.
- 2. MAXIMUM CONTRIBUTING ROOF TOP AREA TO EACH DOWNSPOUT SHALL BE 1,000 SQ. FT. OR LESS.
- 3. DRYWELLS SHALL BE PROVIDED AT LOCATIONS WHERE THE LENGTH OF DISCONNECTION IS LESS THAN 75' AT 5%. THE SIZE AND CONSTRUCTION OF THE DRYWELL SHALL BE IN ACCORDANCE WITH THE DETAIL SHOWN ON THIS SHEET.
- 4. FINAL GRADING IS SHOWN ON THIS SITE DEVELOPMENT PLAN.

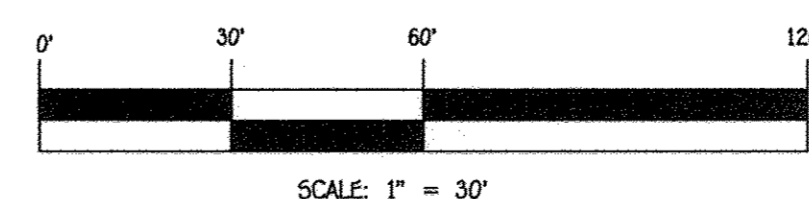
FISHER, COLLINS & CARTER, INC.
 CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
 CENTENNIAL SQUARE OFFICE PARK - 10272 BALTIMORE NATIONAL PIKE
 ELICOTT CITY, MARYLAND 21042
 (410) 461-2999



PROFESSIONAL CERTIFICATION

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND THAT I AM A DULY LICENSED PROFESSIONAL LAND SURVEYOR UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 21476, EXPIRATION DATE: 7/14/19.

Frank John Manalansan II 1/27/19
 FRANK JOHN MANALANSAN II DATE



BUILDER

D. R. HORTON INC.
 1356 BEVERLY RD. - SUITE 300
 McLEOD, VA 22101
 (571)-421-7738

OWNERS

DOUBLE R VENTURES, LLC
 8319 FOREST STREET - SUITE 200
 ELICOTT CITY, MARYLAND 21043
 (410)-707-7054

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

T. Mauchard Fikes 2-14-18
 Chief, Division of Land Development Date
John Clark 2-12-18
 Chief, Development Engineering Division Date
William J. ... 2-14-18
 Director, Department of Planning and Zoning Date

PROJECT	SECTION	LOTS 1-19, 23, 25-28 & OPEN SPACE LOTS 30&32
HONEYSUCKLE RIDGE		
PLAT	BLOCK NO.	ZONE
24391-24395	1	R-5C
		TAX/ZONE
		50
		ELEC. DIST.
		SIXTH
		CENSUS TR.
		6012.02
PREVIOUS HOWARD COUNTY FILES:		
SP-15-005, WP-15-095, ECP-14-013, F-93-04, W&S CONT. #24-4849-D, #24-4805-D, F-16-041, SDP-18-013		

STORMWATER MANAGEMENT NOTES AND DETAILS

HONEYSUCKLE RIDGE

LOTS 1-19, 23, 25-28 & OPEN SPACE LOTS 30 & 32
 PREVIOUS HOWARD COUNTY FILES: SP-15-005, WP-15-095, ECP-14-013, F-93-04, W&S CONT. #24-4849-D, #24-4805-D, F-16-041 & SDP-18-013
 ZONED: R-5C
 TAX MAP NO.: 50 PARCEL NOS.: 361, 362, & 474 GRID NO.: 1
 SIXTH ELECTION DISTRICT HOWARD COUNTY, MARYLAND
 SCALE: AS SHOWN DATE: JANUARY 25, 2018

