SHEET INDEX CHART DESCRIPTION **SHEET** TITLE SHEET 2 GENERIC BOXES, HOUSE TYPES AND NOTES 3 SITE DEVELOPMENT PLAN 4 SITE DEVELOPMENT PLAN, SEDIMENT AND EROSION CONTROL AND LANDSCAPE PLAN SEDIMENT AND EROSION CONTROL PLAN SEDIMENT AND EROSION CONTROL NOTES AND DETAILS STORMWATER MANAGEMENT NOTES AND DETAILS 8 BORING LOGS

SITE DEVELOPMENT PLAN HONEYSUCKLE RIDGE

LOTS 1 - 19, 23 & 25 - 28 AND OPEN SPACE LOTS 30 AND 32 ZONING: R-SC (RESIDENTIAL: SINGLE CLUSTER) DISTRICT TAX MAP No. 50 GRID No. 1 PARCEL Nos. 361, 362 & 474

SITE ANALYSIS DATA CHART

- . TOTAL AREA OF SITE = 6.12 AC. ±.
- TOTAL AREA OF THIS SUBMISSION = 6.12 AC.+. LIMIT OF DISTURBED AREA = 4.20 AC. ±
- PRESENT ZONING DESIGNATION = R-5C PROPOSED USE: RESIDENTIAL
- 1 EXISTING UNIT + 24 PROPOSED UNITS (SINGLE FAMILY DETACHED) = 25 UNITS
- FLOOR SPACE ON EACH LEVEL OF BUILDING: N/A G. TOTAL NUMBER OF UNITS: 25 UNIT (FOR ENTIRE HONEYSUCKLE RIDGE PROJECT)
- MODERATE INCOME HOUSING UNIT REQUIRED = 2.5 MODERATE INCOME HOUSING UNIT PROVIDED = 3 (SEE GENERAL NOTE 19)
- H. TOTAL NUMBER OF PARKING SPACES REQUIRED = 63 SPACES 25 UNITS (SFD) X 2.5 SPACES/UNITS = 63 SPACES
- TOTAL NUMBER OF PARKING SPACES PROVIDED = 96 SPACES 24 UNITS (5FD) X 4 (TWO CAR GARAGE AND TWO SPACES ON DRIVEWAY) = 96 5PACES J. OPEN SPACE ON SITE: 4.0 AC. (F-16-041)
- RECREATIONAL OPEN SPACE AREA REQUIRED = 0,700 5F* (F-16-041)
- RECREATIONAL OPEN SPACE AREA PROVIDED = 12,831 SF* (F-16-041)
- BUILDING COVERAGE OF SITE: 0.4%
- PREVIOUS HOWARD COUNTY FILES: 5P-15-005, WP-15-095. ECP-14-013, F-93-04, W&5 CONT. #24-4849-D, #24-4865-D, F-16-041,
- 50P-18-013 M. TOTAL AREA OF FLOODPLAIN: 0.00 AC+

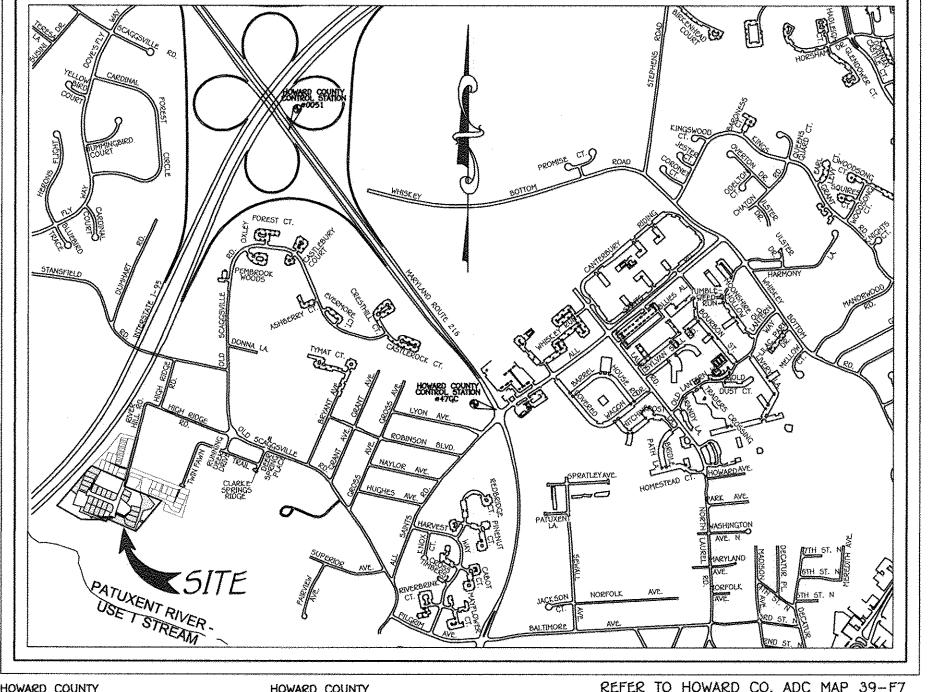
PLANTED AND/OR REVISIONS ARE MADE TO APPLICABLE PLANS AND CERTIFICATES.

- N. TOTAL AREA OF SLOPES IN EXCESS OF 25% = 0.12 AC±
- AREA OF WETLANDS = 0.011 AC. ± AREA OF FOREST
- TOTAL FOREST EXISTING $(F-16-041) = 2.06 \text{ AC.} \pm$
- TOTAL FOREST CLEARED (F-16-041) = 0.71 AC. + TOTAL FOREST RETAINED $(F-16-041) = 1.35 \text{ AC.} \star$
- TOTAL AREA OF FOREST CONSERVATION EASEMENT
- ESTABLISHED UNDER F-16-041 AND SHOWN ON THIS PLAN = 1.77 AC. \pm
- THE FOREST CONSERVATION REQUIREMENTS FOR THIS SUBDIVISION HAS BEEN FULFILLED
- BY ON-SITE RETENTION OF 1.35 ACRES; ON-SITE REFORESTATION OF 0.42 ACRES AND OFF-SITE PLANTING OF 1.00 ACRE ON FAIRLANE FARM, PHASE 1 FOREST BANK,
- Q. IMPERVIOUS AREA = 1.88 AC. + (THIS SUBMISSION)

LANDSCAPE NOTES

- THE PERIMETER LANDSCAPE OBLIGATION IS PROVIDED IN ACCORDANCE WITH SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL, A LANDSCAPE SURETY IN THE AMOUNT OF \$1,000.00 BASED ON FOUR (4) SHADE TREES @ \$300/SHADE TREE, FOUR (4) EVERGREEN TREES @ \$150/EVERGREEN TREE, AND NO SHRUBS @ \$30/SHRUB
- SHALL BE BONDED AS PART OF THE DPW GRADING PERMIT SURETY BOND. AT THE TIME OF INSTALLMENT, ALL SHRUBS AND OTHER PLANTINGS HEREWITH LISTED AND APPROVED FOR THIS SITE, SHALL BE OF THE PROPER HEIGHT REQUIREMENTS IN ACCORDANCE WITH THE HOWARD COUNTY LANDSCAPING MANUAL. IN ADDITION. NO SUBSTITUTIONS OR RELOCATION OF REQUIRED PLANTINGS MAY BE MADE WITHOUT PRIOR REVIEW AND APPROVAL FROM THE DEPARTMENT OF PLANNING AND ZONING, ANY DEVIATION FROM THIS APPROVED LANDSCAPE PLAN MAY RESULT IN DENIAL OR DELAY IN THE RELEASE OF LANDSCAPE SURETY UNTIL SUCH TIME AS ALL REQUIRED MATERIALS ARE
- THE OWNER, TENANT, AND/OR THEIR AGENTS SHALL BE RESPONSIBLE FOR MAINTENANCE OF THE REQUIRED LANDSCAPING. GOOD GROWING CONDITION, AND WHEN NECESSARY. REPLACED WITH NEW MATERIALS TO ENSURE CONTINUED COMPLIANCE. WITH APPLICABLE REGULATIONS. ALL OTHER REQUIRED LANDSCAPING SHALL BE PERMANENTLY MAINTAINED IN GOOD CONDITION, AND WHEN NECESSARY, REPAIRED OR REPLACED.
- 4. FOR ANY TREE DESIGNATED FOR PRESERVATION, FOR WHICH CREDIT IS GIVEN, BE REMOVED OR DIE PRIOR TO RELEASE OF BONDS, THE OWNER WILL BE REQUIRED TO REPLACE THE TREE WITH THE EQUIVALENT SPECIES OR IF THE TREE IS LISTED AS A PROHIBITED OR INVASIVE SPECIES ON THE DPZ TREE LIST IT SHOULD BE REPLACED WITH A RECOMMENDED TREE SPECIES WHICH WILL OBTAIN THE SAME HEIGHT, SPREAD AND GROWTH CHARACTERISTICS. THE REPLACEMENT TREE MUST BE A MINIMUM OF 3 INCHES IN CALIPER AND INSTALLED AS REQUIRED IN THE LANDSCAPE MANUAL."

| | STREET ADDRESS | & STORMY | /ATER MANAGI | EMENT | PRACTICES CHA | RT |
|-----------------|----------------------|---|---|---------------------------|-------------------------------|-------------------------------------|
| LOT NO. | STREET ADDRESS | DISCONNECTION OF ROOFTOP RUNOFF N-1 (Y/N) | DISCONNECTION OF NON-ROOFFOP RUNOFF N-2 (Y/N) | DRY WELLS M-5 (Y/N) | MICRO BIO-RETENTION M-6 (Y/N) | MICRO BIO-RETENTION F-6 (Y/N) |
| l | 9322 SYDNEY WAY | N | N | Y(2) | N | N |
| 2 | 9326 SYDNEY WAY | N | N | Y(2) | N | N |
| 3 | 9330 SYDNEY WAY | N | N | N | 2 | Y F-6 (3) (F-16-041 |
| 4 | 9334 SYDNEY WAY | N | N | N | N | Y F-6 (3) (F-16-041 |
| 55 | 9338 SYDNEY WAY | N | N | Y(2) | N | N N |
| 6 | 9302 SYDNEY WAY | N | N | Y(2) | N | N |
| 7 | 9306 SYDNEY WAY | N | N | Y(2) | N | N |
| 8 | 9310 SYONEY WAY | N | N | Y(2) | N | N |
| 9 | 9314 SYDNEY WAY | N | N | Y(2) | N | N |
| 10 | 9318 SYDNEY WAY | N | N | Y(2) | N | N N |
| 11 | 9319 SYDNEY WAY | N | N | Y(2) | N | N |
| 12 | 9315 SYDNEY WAY | N | N | Y(2) | N | N N |
| 13 | 9311 SYDNEY WAY | N | N | Y(2) | N | N N |
| [4 | 9307 SYDNEY WAY | N | N | Y(2) | N | N |
| 15 | 9303 SYDNEY WAY | N | N | Y(2) | N | N |
| 16 | 9180 RIVER HILL ROAD | N | N | Y(1) | Y M-6 (4) (F-16-041) | N |
| 17 | 9184 RIVER HILL ROAD | Ŋ | Ŋ | Y(1) | Y M-6 (4) (F-16-041) | N |
| 18 | 9100 RIVER HILL ROAD | N | N | Y(1) | Y M-6 (2) (F-16-041) | N |
| 19 | 9192 RIVER HILL ROAD | N | N | Y(1) | Y M-6 (2) (F-16-041) | N |
| 22 (50P-18-013) | 9153 RIVER HILL ROAD | Ŋ | N | Y(2) | N. | Ŋ |
| 23 | 9157 RIVER HILL ROAD | Ņ | N | Y(2) | N | N |
| 25 | 9165 RIVER HILL ROAD | N N | N | N | N N | Y F-6 (5) (F-16-041 |
| 26 | 9169 RIVER HILL ROAD | Ņ | Ņ | N | <u> </u> | Y F-6 (5) (F-16-041 |
| 27 | 9173 RIVER HILL ROAD | N N | Ņ | N | N . | Y F-6 (5) (F-16-041 |
| 28 | 9177 RIVER HILL ROAD | N | N N | Y(3) | N | Y F-6 (5) (F-16-041 |

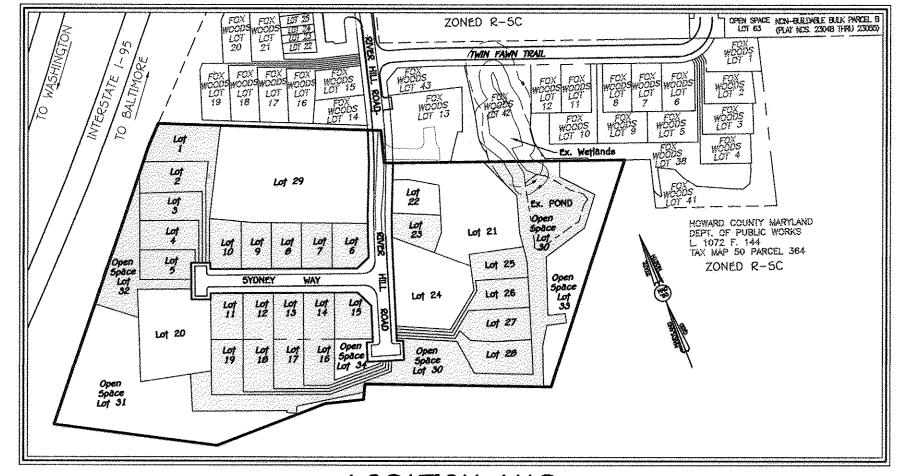


REFER TO HOWARD CO. ADC MAP 39-F7

GEODETIC SURVEY CONTROL NO. 0051

N 532404.1563 E 1351627.3343

SIXTH ELECTION DISTRICT HOWARD COUNTY, MARYLAND



LOCATION MAP 5CALE: 1" = 200"

GENERAL NOTES

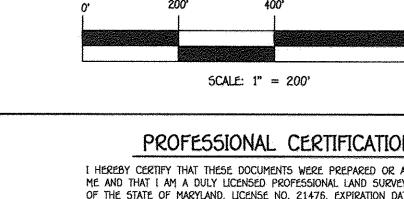
- 1. SUBJECT PROPERTY ZONED R-5C AS GRANTED BY THE ZONING BOARD ON 10/6/13
- COMPREHENSIVE ZONING PLAN. 2. THE CONTRACTOR SHALL NOTIFY THE CONSTRUCTION INSPECTION DIVISION AT (410)313-1880 AT LEAST (5) FIVE WORKING DAYS PRIOR TO THE START OF WORK.
- 3. THE CONTRACTOR SHALL NOTIFY "MISS UTILITY" AT 1-800-257-7777 AT LEAST 40 HOURS PRIOR TO ANY EXCAVATION WORK.
- 4. THIS PLAN IS BASED ON A FIELD RUN MONUMENTED BOUNDARY SURVEY PERFORMED ON OR ABOUT FEBRUARY, 2014 BY FISHER, COLLINS & CARTER INC.
- 5. HORIZONTAL AND VERTICAL CONTROL DATUM IS BASED ON NAD 83, MARYLAND COORDINATE SYSTEM AS PROJECTED BY HOWARD COUNTY GEODETIC CONTROL STATIONS.
- HOWARD COUNTY MONUMENT 47GC N 528,939.728 E 1,354,223.554 HOWARD COUNTY MONUMENT 0051 N 532,404.156 E 1,351,627.334 6. TOPOGRAPHIC CONTOURS BASED ON FIELD RUN SURVEY PERFORMED BY FISHER COLLINS AND
- GRADING AND STORMWATER MANAGEMENT PLAN, (F-16-041) APPROVED ON DECEMBER, 7, ANY DAMAGE TO THE COUNTY'S RIGHT-OF-WAY SHALL BE CORRECTED AT THE BUILDER'S

CARTER, INC. DATED FEBRUARY 2014 AND SUPPLEMENTED BY FINAL ROAD CONSTRUCTION.

- B. THIS PLAN IS FOR HOUSE SITING AND GRADING ONLY. IMPROVEMENTS SHOWN WITHIN THE RIGHTS-OF-WAY OF THIS S.D.P. ARE NOT USED FOR CONSTRUCTION. FOR CONSTRUCTION SEE APPROVED ROAD CONSTRUCTION PLANS F-16-041. FOR APPROVED WATER CONTRACT
- NO. 24-4649-D AND NO. 24-4665-D. FOR APPROVED SEWER CONTRACT NO. 24-4665-D. 9. CONTRACTOR WILL CHECK SEWER HOUSE CONNECTION ELEVATION AT EASEMENT LINE PRIOR
- 10. STORMWATER MANAGEMENT WILL BE PROVIDED THE USE OF 35 DRYWELLS (M-5). ADDITIONAL SWM WILL BE PROVIDED BY TWO BIO-RETENTION (F-6). AND TWO MICRO BIO-RETENTION (M-6) FACILITIES PREVIOUSLY APPROVED ON THE ROAD CONSTRUCTION DRAWINGS FILED UNDER F-16-041 AND FINAL DESIGNED BY THIS SITE DEVELOPMENT PLAN.
- 11. THE EXISTING SWM FACILITY, F-6 (1) PROPOSED ON F-16-041 WILL BE PUBLICLY OWNED AND MAINTAINED. ALL OTHER FACILITIES LOCATED IN H.O.A. OPEN SPACE, PROPOSED ON F-16-041 AND FINAL DESIGNED ON THIS SITE DEVELOPMENT PLAN, WILL BE OWNED AND MAINTAINED BY THE HONEYSUCKLE RIDGE HOMEOWNERS ASSOCIATION. ON LOT FACILITIES (DRYWELLS) WILL BE MAINTAINED BY THE LOT OWNER WHERE THE PARTICULAR FACILITY
- 12. PERIMETER LANDSCAPING FOR THIS PROJECT HAS BEEN PROVIDED UNDER F-16-041. THE REQUIRED LOT LANDSCAPING FOR LOTS 6 AND 15, PER THE HOWARD COUNTY LANDSCAPE MANUAL WILL BE PROVIDED WITH THIS SITE DEVELOPMENT PLAN. SEE LANDSCAPE NOTES NO. 1 LOCATED ON SHEET 4 FOR
- 13. FOREST CONSERVATION REQUIREMENTS HAVE BEEN ADDRESSED UNDER F-16-041. 14. FOR DRIVEWAY ENTRANCE DETAILS REFER TO HO. CODES MANUAL VOL. IV DETAILS R.6.03
- 15. OPEN SPACE REQUIREMENTS FOR THESE LOTS HAVE BEEN PROVIDED UNDER F-16-041.
- REGULATIONS AND THE ZONING REGULATIONS AS AMENDED BY COUNCIL BILL 50-2001 17. IN ACCORDANCE WITH SECTION 120.0 OF THE HOWARD COUNTY ZONING REGULATIONS, BAY WINDOWS, WINDOW WELLS, ORIELS, VESTIBULES, BALCONIES AND CHIMNEYS, PROVIDED THE FEATURE HAS A MAXIMUM WIDTH OF 16 FEET AS MEASURED HORIZONTALLY ALONG THE WALL FROM WHICH THE FEATURE EXTENDS HAVE A MAXIMUM ENCROACHMENT INTO SECTBACK OF 4 FEET OR A REQUIRED DISTANCE BETWEEN BUILDINGS. EXTERIOR STAIRWAYS OR RAMPS, ABOVE OR BELOW GROUND LEVEL EXCLUDING THOSE ATTACHED TO A PORCH OR DECK MAY PROJECT A MAXIMUM OF 10 FEET INTO A FRONT SETBACK OR A SETBACK FROM A PROJECT BOUNDARY OR DIFFERENT ZONING DISTRICT; 16 FEET INTO A REAR SETBACK; 4 FEET INTO A SIDE SETBACK OR A REQUIRED DISTANCE BETWEEN BUILDINGS. OPEN AND ENCLOSED
- PORCHES AND DECKS, AND THE STAIRWAYS OR RAMPS ATTACHED THERETO MAY PROJECT A MAXIMUM 10 FEET INTO A FRONT OR REAR SETBACK. A SETBACK FROM A PROJECT BOUNDARY, A SETBACK FROM A DIFFERENT ZONING DISTRICT, OR A REQUIRED DISTANCE 18. DRIVEWAYS SHALL BE PROVIDED PRIOR TO ISSUANCE OF A USE AND OCCUPANCY PERMIT
- FOR ANY NEW DWELLINGS TO INSURE SAFE ACCESS FOR FIRE AND EMERGENCY VEHICLES PER THE FOLLOWING (MINIMUM) REQUIREMENTS: A.) WIDTH - 12' (16' IF SERVING MORE THAN ONE RESIDENCE)
 - B.) SURFACE 6" OF COMPACTED CRUSHER RUN BASE W/TAR AND CHIP COATING
 - (1-1/2" MIN.)C.) GEOMETRY MAXIMUM 15% GRADE, MAXIMUM 10% GRADE CHANGE AND 45 FOOT TURNING RADIUS.
- D.) STRUCTURES (BRIDGES/CULVERTS) CAPABLE OF SUPPORTING 25 GROSS TONS (H25-LOADING) E.) DRAINAGE ELEMENTS CAPABLE OF SAFETY PASSING 100 YEAR FLOOD WITH NO
- MORE THAN I FOOT DEPTH OVER DRIVEWAY SURFACE. F.) STRUCTURE CLEARANCES - MINIMUM 12 FEET
- G.) MAINTENANCE SUFFICIENT TO INSURE ALL WEATHER USE. 19. NO GRADING, REMOVAL OF VEGETATION COVER OR TREES. PAVING AND NEW STRUCTURES SHALL BE PERMITTED WITHIN THE LIMITS WETLANDS, STREAM(S), OR THEIR REQUIRED
- BUFFERS, FLOODPLAIN AND FOREST CONSERVATION EASEMENT AREAS. 20. MODERATE INCOME HOUSING UNIT AGREEMENT AND RESTRICTIONS WERE RECORDED IN THE LAND RECORDS OF HOWARD COUNTY, MARYLAND AT THE RECORD PLAT STAGE OF THIS PROJECT. THREE (3) M.I.H.U. WILL BE PROVIDED ON-SITE.
- 21. THERE IS AN EXISTING NOISE WALL ALONG THE INTERSTATE I-95 RIGHT-OF-WAY REFLECTED ON F-16-041. THE 670BA MITIGATED NOISE LINE AS PROJECTED BY MARYLAND STATE HIGHWAY ADMINISTRATION FROM NOISE STUDY REPORT "INTERSTATE ROUTE 95 AT HIGH RIDGE ROAD" DATED JUNE, 1998 PREPARED BY RUMMEL, KLEPPER & KAHL, LLP AND DOES
- NOT IMPACT THIS PROPERTY. 22. FOR FLAG OR PIPESTEM LOTS, REFUSE COLLECTION, SNOW REMOVAL AND ROAD MAINTENANCE ARE PROVIDED TO THE JUNCTION OF THE FLAG OR PIPESTEM AND THE ROAD R/W LINE AND NOT ONTO THE PIPESTEM LOT.
- 23. THIS SITE DEVELOPMENT PLAN IS SUBJECT TO THE RECORDING OF THE FINAL PLAT F-16-041 RECORDED AS PLAT NUMBERS 24391-24395.
- 24. A PRE-SUBMISSION COMMUNITY MEETING WAS HELD ON SEPTEMBER 25, 2013. DATA
- RELATING TO THIS MEETING WAS SUBMITTED WITH PRELIMINARY PLAN SP-15-005.

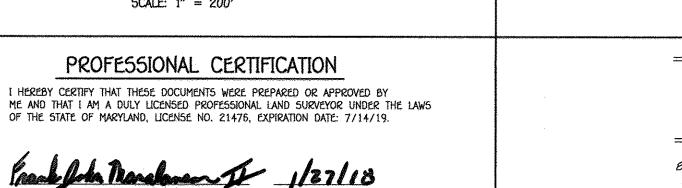
FISHER, COLLINS & CARTER, INC. 5QUARE OFFICE PARK - 10272 BALTIMORE NATIONAL PI ELLICOTT CITY, MARYLAND 21042 REVISION DATE

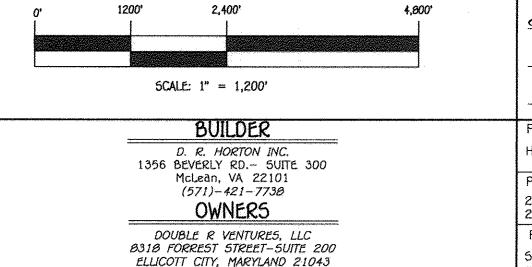




GEODETIC SURVEY CONTROL NO. 47GC

N 520939.7201 E 1354223.5536





(410)-707-7054

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING 2-14-18 2-14-18 LOTS 1-19, 23, 25-28 & OPEN HONEYSUCKLE RIDGE 5PACE LOTS 30&32 BLOCK NO. ZONE TAX/ZONE ELEC. DIST. CENSUS TR. 24391-R-50 5IXTH 6012.02 24395 PREVIOUS HOWARD COUNTY FILES: 5P-15-005, WP-15-095, ECP-14-013, F-93-04, W&5 CONT. #24-4049-D #24-4805-D, F-16-041, 50P-18-013

LEGEND

EXISTING CONTOUR 10' INTERVAL

PROPOSED CONTOUR 2' INTERVA

FOREST CONSERVATION EASEMEN

PROPOSED CONTOUR 10' INTERVAL

EXISTING SUPER SILT FENCE UNDER F-16-041

PRIVATE STORM DRAIN AND UTILITY EASEMEN

EXISTING STORM DRAIN LINE

EXISTING SEWER LINE

EXISTING WATER LINE

25' WETLAND BUFFER

50' STREAM BUFFER

LIMIT OF DISTURBANC

-SSF/TP- SUPER SILT PENCE/TREE PROTECT

5TABILIZED CONTRUCTION ENTRANCE

EXISTING TREE

TREE AS PROVIDED PER P-16-041

existing specimen tree

PERMANENT SOIL STABILIZATION MATTEN

CRITICAL ROOT ZONE

SOILS DELINEATION

EXISTING TREELINE

PROPOSED TREELINE

WALKOUT BASEMENT

XXXXX EXISTING EXODIBLE SOILS

WETLAND AREA

X279.30 SPOT ELEVATION

TREE PROTECTION FENCE

DESCRIPTION

TITLE SHEET

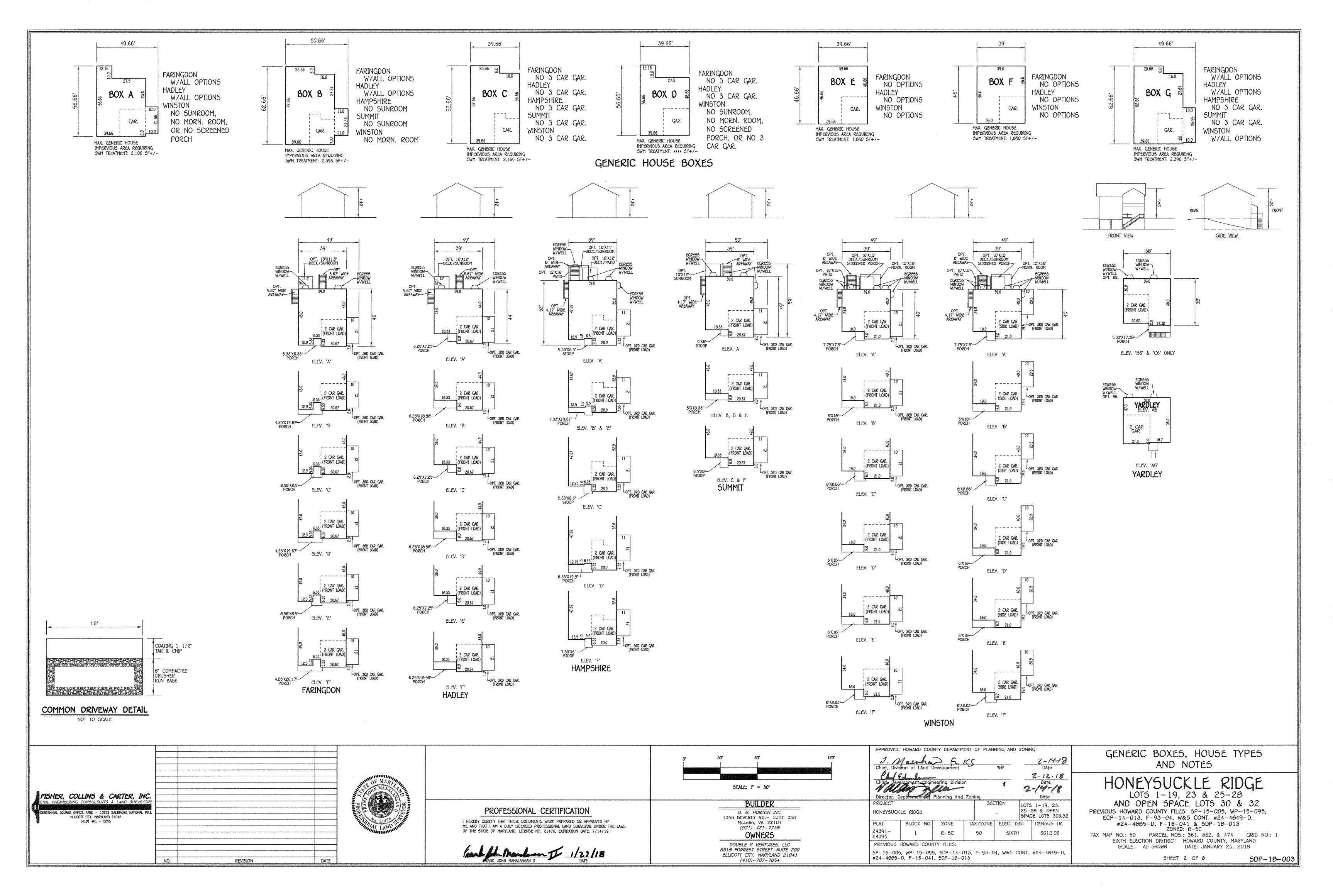
LOTS 1-19, 23 & 25-28 AND OPEN SPACE LOTS 30 & 32

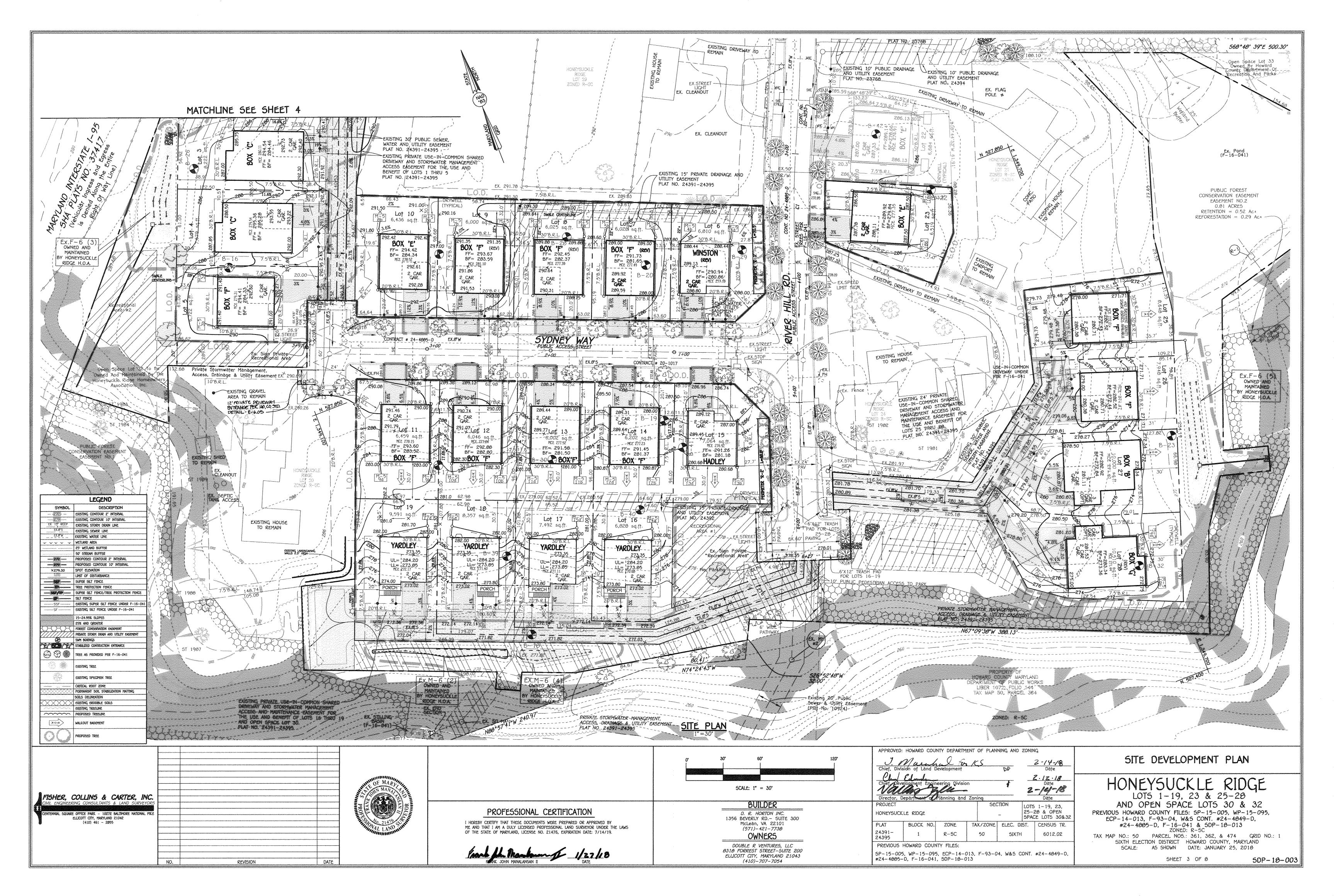
PREVIOUS HOWARD COUNTY FILES: 5P-15-005, WP-15-095, ECP-14-013, F-93-04, W&5 CONT. #24-4849-D. #24-4005-D, F-16-041 & 5DP-10-013

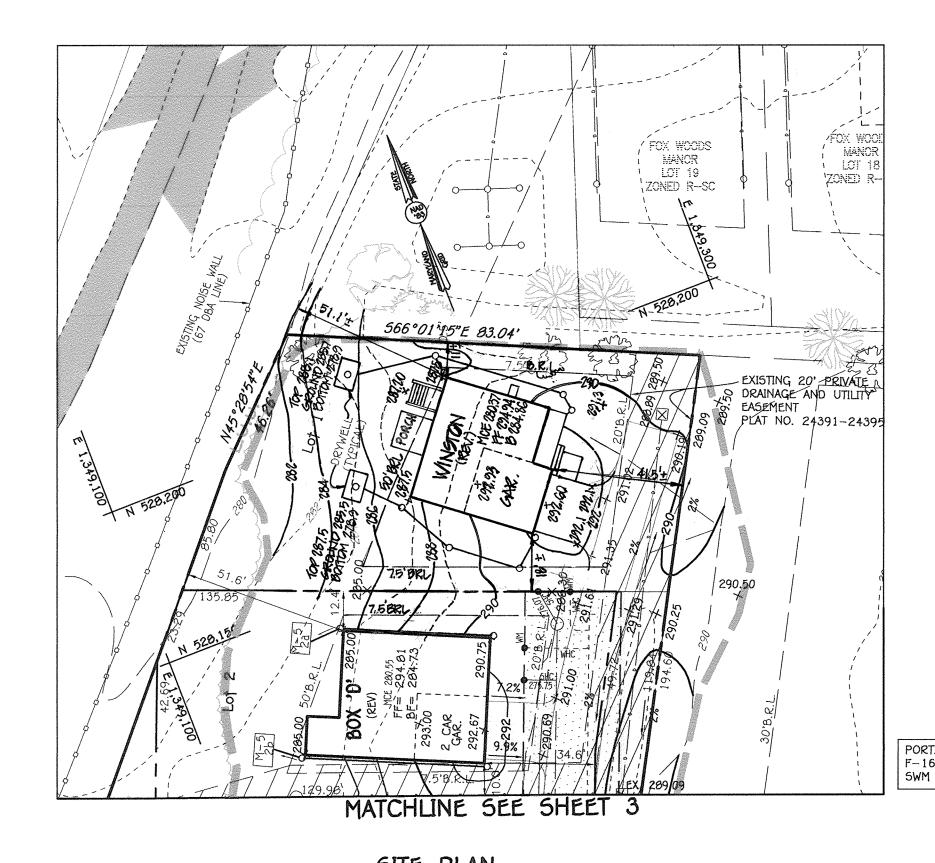
TAX MAP NO.: 50 PARCEL NOS.: 361, 362, & 474 GRID NO.: 1 SIXTH ELECTION DISTRICT HOWARD COUNTY, MARYLAND SCALE: AS SHOWN DATE: JANUARY 25, 2018

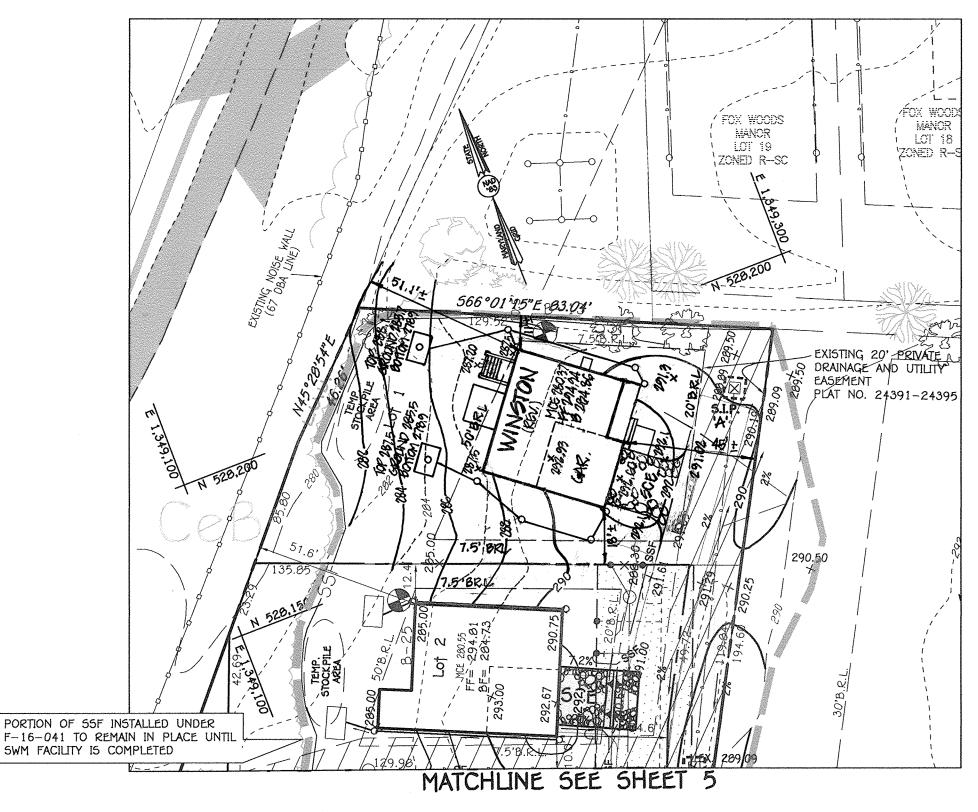
SHEET 1 OF 0

5DP-18-003









| SEDIMENT | AND | EROSION | CONTROL | PLAN |
|----------|-----|---------|---------|------|
| | | 1"=30' | | |

| SCHEDULE A I LANDSCAPE | • | | |
|--|-------------|-------------|--------|
| PERIMETER | R-1 | R-2 | TOTAL |
| LANDSCAPE TYPE | B | В | |
| LINEAR FEET OR ROADWAY FRONTAGE/PERIMETER | 70.5 | 69.90 | 139.30 |
| CREDIT FOR EXISTING VEGETATION (YES, NO LINEAR FEET) (DESCRIBE BELOW IF NEEDED) | NO | NO | NO |
| CREDIT FOR WALL, FENCE OR BERM (YE5, NO LINEAR FEET) (DESCRIBE BELOW IF NEEDED) | NO | NO | NO |
| NUMBER OF PLANTS REQUIRED SHADE TREES: 1 PER 50 LINEAR FEET EVERGREEN TREES: 1 PER 40 LINEAR FEET SHRUBS: N/A | 2 2 - | 2 2 - | 4 4 |
| NUMBER OF PLANTS PROVIDED SHADE TREES EVERGREEN TREES SHOUNG | 2 2 | 2 2 | 4 |

| | PERIMETE | R LANDSCAPE | PLANT LIST |
|------|----------|-------------------------------|-------------------------------------|
| QTY. | KEY | NAME | SIZE |
| 4 | Q | ACER GINNALA (AMUR MAPLE) | 2.0°-2.5° CAL FULL CROWN, B&B |
| 4 | 13 | PINUS STROBUS (WHITE PINE) | 10' HT, 8&B |

LANDSCAPE NOTES

- 1. THE PERIMETER LANDSCAPE OBLIGATION IS PROVIDED IN ACCORDANCE WITH SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL. A LANDSCAPE SURETY IN THE AMOUNT OF \$1,800.00 BASED ON FOUR (4) SHADE TREES @ \$300/SHADE TREE AND FOUR (4) EVERGREEN TREES @ \$150/EVERGREEN TREE SHALL BE BONDED AS PART OF THE DPW GRADING PERMIT SURETY BOND.
- 2. AT THE TIME OF INSTALLMENT, ALL SHRUBS AND OTHER PLANTINGS HEREWITH LISTED AND APPROVED FOR THIS SITE SHALL BE OF THE PROPER HEIGHT REQUIREMENTS IN ACCORDANCE WITH THE HOWARD COUNTY LANDSCAPING MANUAL. IN ADDITION, NO SUBSTITUTIONS OR RELOCATION OF REQUIRED PLANTINGS MAY BE MADE WITHOUT PRIOR REVIEW AND APPROVAL FROM THE DEPARTMENT OF PLANNING AND ZONING. ANY DEVIATION FROM THIS APPROVED LANDSCAPE PLAN MAY RESULT IN DENIAL OR DELAY IN THE RELEASE OF LANDSCAPE SURETY UNTIL SUCH TIME AS ALL REQUIRED MATERIALS ARE PLANTED AND/OR REVISIONS ARE MADE TO APPLICABLE PLANS AND CERTIFICATES.
- 3. THE OWNER, TENANT, AND/OR THEIR AGENTS SHALL BE RESPONSIBLE FOR MAINTENANCE OF THE REQUIRED LANDSCAPING, INCLUDING BOTH PLANT MATERIALS AND BERMS, FENCES AND WALLS. ALL PLANT MATERIALS SHALL BE MAINTAINED IN GOOD GROWING CONDITION, AND WHEN NECESSARY, REPLACED WITH NEW MATERIALS TO ENSURE CONTINUED COMPLIANCE WITH APPLICABLE REGULATIONS. ALL OTHER REQUIRED LANDSCAPING SHALL BE PERMANENTLY MAINTAINED IN GOOD CONDITION, AND WHEN NECESSARY, REPAIRED OR REPLACED.
- 4. IF ANY TREE DESIGNATED FOR PRESERVATION, FOR WHICH CREDIT IS GIVEN, DIES OR IS REMOVED PRIOR TO RELEASE OF BONDS, THE OWNER WILL BE REQUIRED TO REPLACE THE TREE WITH THE EQUIVALENT SPECIES OR IF THE TREE IS LISTED AS A PROHIBITED OR INVASIVE SPECIES ON THE DPZ TREE LIST IT SHOULD BE REPLACED WITH A RECOMMENDED TREE SPECIES WHICH WILL OBTAIN THE SAME HEIGHT, SPREAD AND GROWTH CHARACTERISTICS. THE REPLACEMENT TREE MUST BE A MINIMUM OF 3 INCHES IN CALIPER AND INSTALLED AS REQUIRED IN THE LANDSCAPE MANUAL."

PLANTING SPECIFICATIONS

plants, related material, and operations shall meet the detailed description as given on the plans and as described herein.

ALL PLANT MATERIAL, UNLESS OTHERWISE SPECIFIED, SHALL BE NURSERY GROWN, UNIFORMLY BRANCHED, HAVE A VIGOROUS ROOT SYSTEM, AND SHALL CONFORM TO THE SPECIES, SIZE, ROOT AND SHAPE SHOWN ON THE PLANT LIST AND THE AMERICAN ASSOCIATION OF NURSERYMEN (AAN) STANDARDS. PLANT MATERIAL SHALL BE HEALTHY, VIGOROUS, FREE FROM DEPECTS, DECAY, DISTIGUERING ROOTS, SUN SCALD INJURIES, ABRASIONS OF THE BARK, PLANT DISEASE, INSECT PEST EGGS, BORRES AND ALL FORMS OF INSECT INFESTATIONS OR OBJECTIONABLE DISFIGUERIMENTS. PLANT MATERIAL THAT IS WEAK OR WHICH HAS BEEN CLU BACK FROM LARGER GRADES TO MEET SPECIFIED REQUIREMENTS. WILL BE REJECTED. TREES WITH FORKED LEADERS WILL NOT BE ACCEPTED. ALL PLANTS SHALL BE FRESHLY DUG; NO HEALED—IN PLANTS FROM COLD STORAGE WILL BE ACCEPTED

UNLESS OTHERWISE SPECIFIED, ALL GENERAL CONDITIONS, PLANTING OPERATIONS, DETAILS AND PLANTING SPECIFICATION SHALL CONFORM TO "LANDSCAPE SPECIFICATION GUIDELINES" FOR BALTIMORE—WASHINGTON METROPOLITAN AREAS", (HEREINAFTER "LANDSCAPE GUIDELINES") APPROVED BY THE LANDSCAPE CONTRACTORS ASSOCIATION OF METROPOLITAN WASHINGTON AND THE POTOMAC CHAPTER OF THE AMERICAN SOCIETY OF LANDSCAPE ARCHITECT, LATEST EDITION, INCLUDING ALL AGENDA.

CONTRACTOR SHALL BE REQUIRED TO GUARANTEE ALL PLANT MATERIAL FOR A PERIOD OF ONE YEAR AFTER DATE OF ACCEPTANCE IN ACCORDANCE WITH THE APPROPRIATE SECTION OF THE LANDSCAPE GUIDELINES CONTRACTOR'S ATTENTION IS DIRECTED TO THE MAINTENANCE REQUIREMENTS FOUND WITHIN THE ONE YEAR SPECIFICATIONS INCLUDING

CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING UTILITY COMPANIES, UTILITY CONTRACTORS AND "MISS UTILITY" A MINIMUM OF 40 HOURS PRIOR TO BEGINNING ANY WORK.

CONTRACTOR MAY MAKE MINOR ADJUSTMENTS IN SPACING AND LOCATION OF PLANT MATERIAL TO AVOID CONFLICTS WITH UTILITIES.

DAMAGE TO EXISTING STRUCTURE AND UTILITIES SHALL BE REPAIRED AT THE EXPENSE OF THE CONTRACTOR.

PROTECTION OF EXISTING VEGETATION TO REMAIN SHALL BE ACCOMPLISHED BY THE TEMPORARY INSTALLATION OF 4 FOOT HIGH SNOW FENCE OR BLAZE ORANGE SAFETY FENCE AT

CONTRACTOR IS RESPONSIBLE FOR INSTALLING ALL MATERIAL IN THE PROPER PLANTING SEASON FOR EACH PLANT TYPE. ALL PLANTING IS TO BE COMPLETED WITHIN THE GROWING SEASON OF COMPLETION OF SITE CONSTRUCTION. BID SHALL BE BASE ON ACTUAL SITE CONDITIONS. NO EXTRA PAYMENT SHALL BE MADE FOR WORK ARISING FROM SITE CONDITIONS DIFFERING FROM THOSE INDICATED ON DRAWINGS AND SPECIFICATIONS

PLANT QUANTITIES ARE PROVIDED FOR THE CONVENIENCE OF THE CONTRACTOR ONLY. IF DISCREPANCIES EXIST BETWEEN QUANTITIES SHOWN ON PLAN AND THOSE SHOWN ON THE PLANT LIST, THE GREATER OF THE QUANTITIES TAKE PRECEDENCE

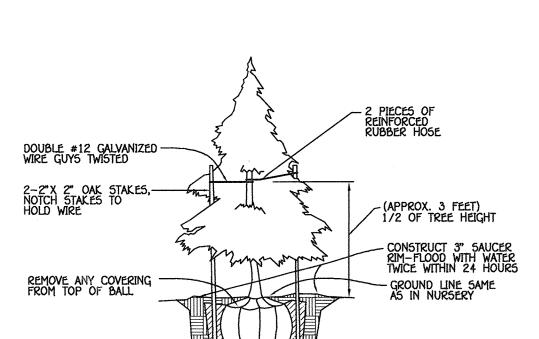
ALL SHRUBS SHALL BE PLANTED IN CONTINUOUS TRENCHES OR PREPARED PLANTING BEDS AND MULCHED WITH COMPOSTED HARDWOOD MULCH AS DETAILS AND SPECIFIED EXCEPT WHERE NOTED ON PLANS. Positive drainage shall be maintained in planting beds 2 percent slope).

PLANTING MIX SHALL BE AS FOLLOWS: DECIDUOUS PLANTS — TWO PARTS TOPSOIL, ONE PART WELL—ROTTED COW OR HORSE MANURE. ADD 3 LBS. OF STANDARD FERTILIZER PER CUBIC YARD OF PLANTING MIX. EVERGREEN PLANTS — TWO PARTS TOPSOIL, ONE PART HUMUS OR OTHER APPROVED ORGANIC MATERIAL. ADD 3 LBS. OF EVERGREEN (ACIDIC) FERTILIZER PER CUBIC YARD OF PLANTING MIX. TOPSOIL SHALL CONFORM TO THE LANDSCAPE GUIDELINES.

WEED CONTROL: INCORPORATE A PRE-EMERGENT HERBICIDE INTO THE PLANTING BED FOLLOWING RECOMMENDED RATES ON THE LABEL. CAUTION: BE SURE TO CAREFULLY CHECK THE CHEMICAL USED TO ASSURE ITS ADAPTABILITY TO THE SPECIFIC GROUND COVER TO BE TREATED. ALL AREAS WITHIN CONTRACT LIMITS DISTURBED DURING OR PRIOR TO CONSTRUCTION NOT DESIGNATED TO RECEIVE PLANTS AND MULCH SHALL BE FINE GRADED AND SEEDED.

LANDSCAPE DEVELOPER'S CERTIFICATE

I/We certify that the landscaping shown on this plan will be done according to the plan, Section 16.124 of the Howard County Code and the Howard County Landscape Manual. I/We further certify that upon completion a letter of landscape installation accompanied by an executed one year guarantee of plant materials will be submitted to the Department of Planning and Zoning.

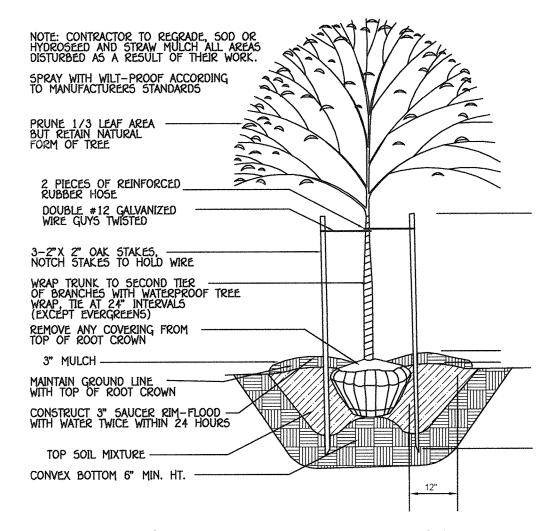




NO SCALE

TOPSOIL MIXTURE

. 26.18



SHADE TREE PLANTING DETAIL

NO SCALE

FISHER, COLLINS & CARTER, INC. ELLICOTT CITY, MARYLAND 21042

LEGEND

EXISTING CONTOUR 2' INTERVAL EXISTING CONTOUR 10' INTERVAL

PROPOSED CONTOUR 2' INTERVAL

EX. 15° RCCP EXISTING STORM DRAIN LINE

EXISTING WATER LINE

- 25' WETLAND BUFFER 50' STREAM BUFFER

-270 PROPOSED CONTOUR 10' INTERVAL

LIMIT OF DISTURBANCE

-SSF/TP SUPER SILT FENCE/TREE PROTECTION FENCE

25% AND GREATER FOREST CONSERVATION EASEMEN PRIVATE STORM DRAIN AND UTILITY EASEMENT

5WM BORINGS

EXISTING TREE

EXISTING SPECIMEN TREE

PERMANENT SOIL STABILIZATION MATTING

CRITICAL ROOT ZONE

50ILS DELINEATION EXISTING ERODIBLE SOILS

EXISTING TREELINE

PROPOSED TREELINE

WALKOUT BASEMENT

300

STABILIZED CONTRUCTION ENTRANCE TREE AS PROVIDED PER F-16-041

EXISTING SILT FENCE UNDER F-16-041

EX.8"5 EXISTING SEWER LINE

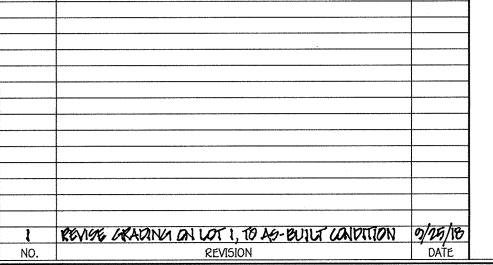
www.w wetland area

×279.30 SPOT ELEVATION

_____SSF ____ | SUPER SILT FENCE TP TREE PROTECTION FENCE

5YMBOL

DESCRIPTION



5CALE: 1" = 30'



PROFESSIONAL CERTIFICATE "I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT." 1/27/18

BUILDER/DEVELOPER'S CERTIFICATE

SIGNATURE OF BUILDER

YI/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN. FOR SEDIMENT AND EROSION CONTROL AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT." 1.26.18

PATRICK J. WILLIAMS

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

BUILDER D. R. HORTON INC. 1356 BEVERLY RD. - SUITE 300 McLean, VA 22101 (571)-421-7738 OWNERS DOUBLE R VENTURES, LLC 8318 FORREST STREET-SUITE 200 ELLICOTT CITY, MARYLAND 21043

(410)-707-7054

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING 2.12.18 2-14-18 **PROJECT** LOTS 1-19, 23, 25-28 & OPEN HONEYSUCKLE RIDGE SPACE LOTS 30&32 BLOCK NO. ZONE TAX/ZONE ELEC. DIST. | CENSUS TR. 24391-R-5C 50 6012.02 SIXTH 24395 PREVIOUS HOWARD COUNTY FILES: 5P-15-005, WP-15-095, ECP-14-013, F-93-04, W&5 CONT. #24-4849-D, #24-4885-D, F-16-041, 5DP-18-013

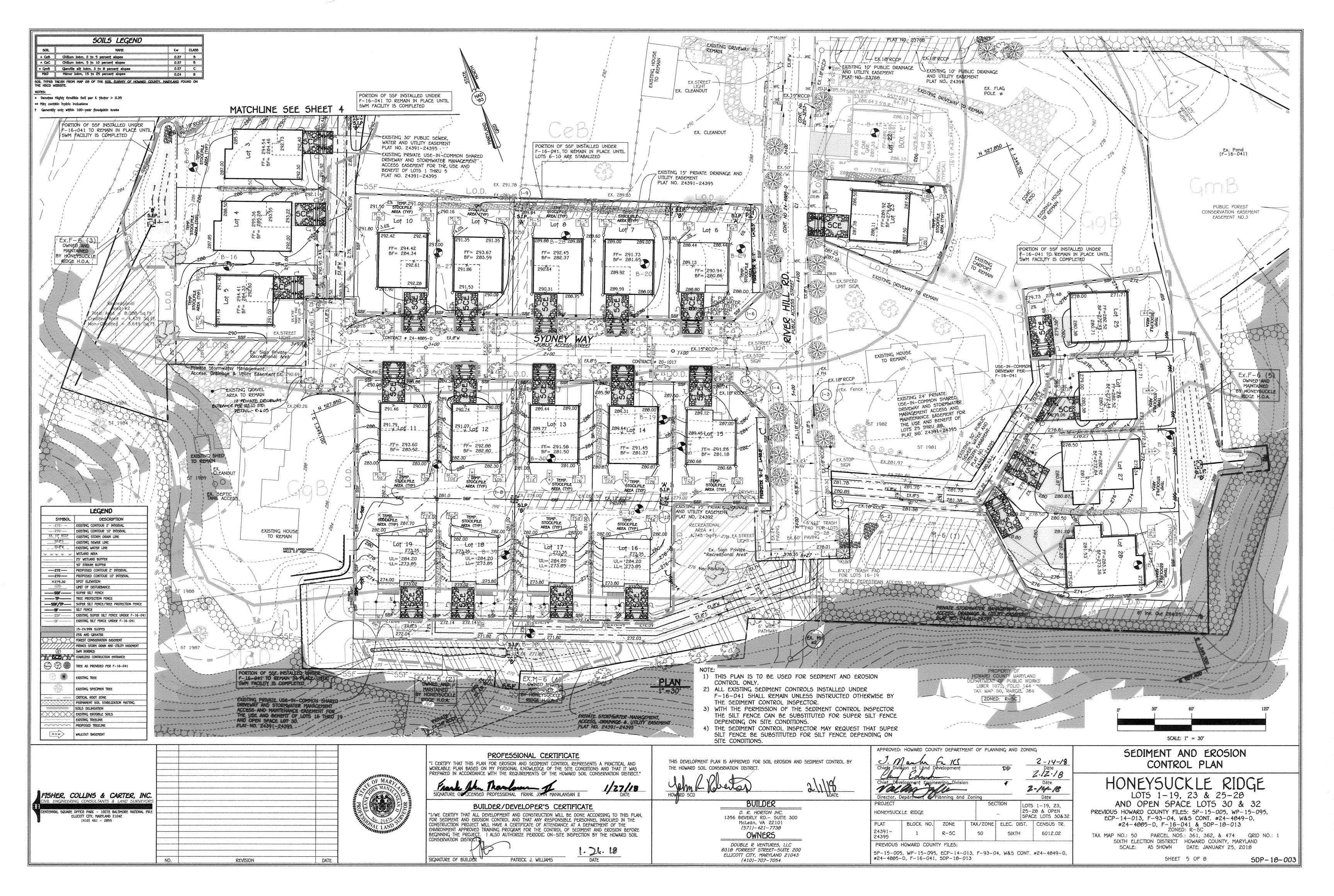
SITE DEVELOPMENT PLAN, SEDIMENT AND EROSION CONTROL AND LANDSCAPE PLAN

LOTS 1-19, 23 & 25-28 AND OPEN SPACE LOTS 30 & 32 PREVIOUS HOWARD COUNTY FILES: 5P-15-005, WP-15-095, ECP-14-013, F-93-04, W&5 CONT. #24-4849-D, #24-4885-D, F-16-041 & 5DP-18-013 ZONED: R-5C

TAX MAP NO.: 50 PARCEL NOS.: 361, 362, & 474 GRID NO.: 1 SIXTH ELECTION DISTRICT HOWARD COUNTY, MARYLAND SCALE: AS SHOWN DATE: JANUARY 25, 2018

SHEET 4 OF 8

5DP-18-003



SOIL PREPARATION, TOPSOILING AND SOIL AMENDMENTS (B-4-2)

A. SOIL PREPARATION 1 TEMPORARY STABILIZATION

- A SEEDBED PREPARATION CONSISTS OF LOOSENING SOIL TO A DEPTH OF 3 TO 5 INCHES BY MEANS OF SUITABLE AGRICULTURAL OR CONSTRUCTION FOUIPMENT, SUCH AS DISC HARROWS OR CHISEL PLOWS OR RIPPERS MOUNTED ON CONSTRUCTION POLIFMENT, AFTER THE SOIL IS LOOSENED, IT MUST NOT BE ROLLED OR DRAGGED SMOOTH BUT LEFT IN THE ROUGHENED CONDITION. SLOPES 3:1 OR FLATTER ARE TO BE TRACKED WITH RIDGES RUNNING PARALLEL
- B. APPLY FERTILIZER AND LIME AS PRESCRIBED ON THE PLANS. ; incorporate lime and pertilizer into the top 3 to 5 inches of soil by disking or other suitable means. PERMANENT STABILIZATION A. A SOIL TEST IS REQUIRED FOR ANY EARTH DISTURBANCE OF 5 ACRES OR MORE. THE MINIMUM SOIL CONDITIONS
- REQUIRED FOR PERMANENT VEGETATIVE ESTABLISHMENT ARE: I SOIL PH BETWEEN 6.0 AND 7.0.
- IL SOLUBLE SALTS LESS THAN 500 PARTS PER MILLION (PPM). III. SOIL CONTAINS LESS THAN 40 PERCENT CLAY BUT ENOUGH FINE GRAINED MATERIAL (GREATER THAN 30 PERCENT SILT PLUS CLAY) TO PROVIDE THE CAPACITY TO HOLD A MODERATE AMOUNT OF MOISTURE. AN EXCEPTION: IF LOVEGRASS WILL BE PLANTED, THEN A SANDY SOIL (LESS THAN 30 PERCENT SILT PLUS CLAY) WOULD BE
- IV. SOIL CONTAINS 1.5 PERCENT MINIMUM ORGANIC MATTER BY WEIGHT. V. SOIL CONTAINS SUFFICIENT PORE SPACE TO PERMIT ADEQUATE ROOT PENETRATION.
- 8. APPLICATION OF AMENOMENTS OR TOPSOIL IS REQUIRED IF ON-SITE SOILS DO NOT MEET THE ABOVE CONDITIONS. GRADED AREAS MUST BE MAINTAINED IN A TRUE AND EVEN GRADE AS SPECIFIED ON THE APPROVED PLAN THEN SCARIFIED OR OTHERWISE LOOSENED TO A DEPTH OF 3 TO 5 INCHES.
- d, apply soil amendments as specified on the approved plan or as indicated by the results of a soil test e. Mix soil amendments into the top 3 to 5 inches of soil by disking or other suitable means. Rake lawn AREAS TO SMOOTH THE SURFACE, REMOVE LARGE OBJECTS LIKE STONES AND BRANCHES, AND READY THE AREA FOR seed application. Loosen surface soil by dragging with a heavy chain or other equipment to roughen the SURFACE WHERE SITE CONDITIONS WILL NOT PERMIT NORMAL SEEDBED PREPARATION, TRACK SLOPES 3:1 OR FLATTER WITH TRACKED EQUIPMENT LEAVING THE SOIL IN AN IRREGULAR CONDITION WITH RIDGES RUNNING PARALLEL TO THE CONTOUR OF THE SLOPE LEAVE THE TOP I TO 3 INCHES OF SOIL LOOSE AND FRIABLE. SEEDBED LOOSENING MAY BE UNNECESSARY ON NEWLY DISTURBED AREAS.
- **B. TOPSOILING**
- I. TOPSOIL IS PLACED OVER PREPARED SUBSOIL PRIOR TO ESTABLISHMENT OF PERMANENT VEGETATION. THE PURPOSE IS TO PROVIDE A SUITABLE SOIL MEDIUM FOR VEGETATIVE GROWTH. SOILS OF CONCERN HAVE LOW MOISTURE CONTENT, LOW NUMBERS LOW DI MATERIALS TOYIC TO DIANTS AND //OR UNACCEPTABLE SOIL CRADATION 2. TOPSOIL SALVAGED FROM AN EXISTING SITE MAY BE USED PROVIDED IT MEETS THE STANDARDS AS SET FORTH IN THESE SPECIFICATIONS, TYPICALLY, THE DEPTH OF TOPSOR, TO BE SALVACED FOR A CIVEN SOIL TYPE CAN BE FOUND
- IN THE REPRESENTATIVE SOIL PROFILE SECTION IN THE SOIL SURVEY PUBLISHED BY USDA-NRCS. 3. TOPSOILING IS LIMITED TO AREAS HAVING 2:1 OR FLATTER SLOPES WHERE: A THE TEXTURE OF THE EXPOSED SUBSOIL/PARENT MATERIAL IS NOT ADEQUATE TO PRODUCE VEGETATIVE GROWTH.
- 8. THE SOIL MATERIAL IS SO SHALLOW THAT THE ROOTING ZONE IS NOT DEEP ENOUGH TO SUPPORT PLANTS OR FURNISH CONTINUING SUPPLIES OF MOISTURE AND PLANT NUTRIENTS. : THE ORIGINAL SOIL TO BE VEGETATED CONTAINS MATERIAL TOXIC TO PLANT GROWTH.
- D. THE SOIL IS SO ACIDIC THAT TREATMENT WITH LIMESTONE IS NOT FEASIBLE. 4. AREAS HAVING SLOPES STEEPER THAN 2:1 REQUIRE SPECIAL CONSIDERATION AND DESIGN.
- 5. TOPSOIL SPECIFICATIONS: SOIL TO BE USED AS TOPSOIL MUST MEET THE FOLLOWING CRITERIA A TOPSOIL MUST BE A LOAM, SANDY LOAM, CLAY LOAM, SILT LOAM, SANDY CLAY LOAM, OR LOAMY SAND. OTHER SOILS MAY BE USED IF RECOMMENDED BY AN AGRONOMIST OR SOIL SCIENTIST AND APPROVED BY THE APPROPRIATE approval authority. Topsoil must not be a mixture of contrasting textured subsoils and must contain less than 5 percent by volume of cinders, stones, slag, coarse fragments, gravel, sticks, roots, trash, or other materials larger than 1 1/2 inches in diameter.
- B. TOPSOIL MUST BE FREE OF NOXIOUS PLANTS OR PLANT PARTS SUCH AS BERMUDA GRASS, QUACK GRASS, JOHNSON GRASS, NUT SEDGE, POISON MY, THISTLE, OR OTHERS AS SPECIFIED. C. TOPSOIL SUBSTITUTES OR AMENDMENTS, AS RECOMMENDED BY A QUALIFIED AGRONOMIST OR SOIL SCIENTIST AND APPROVED BY THE APPROPRIATE APPROVAL AUTHORITY, MAY BE USED IN LIEU OF NATURAL TOPSOIL.
- 6. TOPSOIL APPLICATION A EROSION AND SEDIMENT CONTROL PRACTICES MUST BE MAINTAINED WHEN APPLYING TOPSOIL B. UNIFORMLY DISTRIBUTE TOPSOIL IN A 5 TO 8 INCH LAYER AND LIGHTLY COMPACT TO A MINIMUM THICKNESS OF 4 INCHES. SPREADING IS TO BE PERFORMED IN SUCH A MANNER THAT SODDING OR SEEDING CAN PROCEED WITH A MINIMUM OF ADDITIONAL SOIL PREPARATION AND TILLAGE, ANY IRREGULARITIES IN THE SURFACE RESULTING FROM TOPSOILING OR OTHER OPERATIONS MUST BE CORRECTED IN ORDER TO PREVENT THE FORMATION OF DEPRESSIONS OR WATER POCKETS.). Topsoil must not be placed if the topsoil or subsoil is in a frozen or muddy condition, when the subsoil
- C. SOIL AMENDMENTS (FERTILIZER & LIME SPECIFICATIONS) 1. SOIL TESTS MUST BE PERFORMED TO DETERMINE THE EXACT RATIOS AND APPLICATION RATES FOR BOTH LIME AND FERTILIZER ON SITES HAVING DISTURBED AREAS OF 5 ACRES OR MORE. SOIL ANALYSIS MAY BE PERFORMED BY A RECOGNIZED PRIVATE OR COMMERCIAL LABORATORY. SOIL SAMPLES TAKEN FOR ENGINEERING PURPOSES MAY ALSO BE USED FOR CHEMICAL ANALYSES.
- 2. FERTILIZERS MUST BE UNIFORM IN COMPOSITION, FREE FLOWING AND SUITABLE FOR ACCURATE APPLICATION BY APPROPRIATE EQUIPMENT. MANURE MAY BE SUBSTITUTED FOR FERTILIZER WITH PRIOR APPROVAL FROM THE APPROPRIATE APPROVAL AUTHORITY. FERTILIZERS MUST ALL BE DELIVERED TO THE SITE FULLY LABELED ACCORDING TO THE APPLICABLE LAWS AND MUST BEAR THE NAME, TRADE NAME OF
- TRADEMARK AND WARRANTY OF THE PRODUCER. 3. LIME MATERIALS MUST BE GROUND LIMESTONE (HYDRATED OR BURNT LIME MAY BE SUBSTITUTED EXCEPT WHEN HYDROSEEDING) WHICH CONTAINS AT LEAST 50 PERCENT TOTAL OXIDES (CALCIUM OXIDE PLUS MAGNESIUM OXIDE). LIMESTONE MUST BE GROUND TO SUCH PINENESS THAT AT LEAST 50 PERCENT WILL PASS THROUGH A #100 MESH SIEVE AND 98 TO 100 PERCENT WILL PASS THROUGH A #20 MESH SHOVE 4. LIME AND FERTILIZER ARE TO BE EVENLY DISTRIBUTED AND INCORPORATED INTO THE TOP 3 TO 5 INCHES OF SOIL BY
- 5. WHERE THE SUBSOIL IS EITHER HIGHLY ACIDIC OR COMPOSED OF HEAVY CLAYS, SPREAD GROUND LIMESTONE AT THE RATE OF 4 TO 8 TONS/ACRE (200-400 POUNDS PER 1,000 SQUARE FEET) PRIOR TO THE PLACEMENT OF TOPSOIL

DUST CONTROL

- CONTROLLING DUST BLOWING AND MOVEMENT ON CONSTRUCTION SITES AND ROADS.
- TO PREVENT BLOWING AND MOVEMENT OF DUST FROM EXPOSED SOIL SURFACES, REDUCE ON AND OFF-SITE DAMAGE, HEALTH HAZARDS AND IMPROVE TRAFFIC SAFETY.
- CONDITIONS WHERE PRACTICE APPLIES THIS PRACTICE IS APPLICABLE TO AREAS SUBJECT TO DUST BLOWING AND MOVEMENT WHERE ON AND OFF-SITE DAMAGE IS LIKELY WITHOUT TREATMENT.

- TEMPORARY METHODS 1. MULCHES – SEE STANDARDS FOR VEGETATIVE STABILIZATION WITH MULCHES ONLY. MULCH SHOULD BE CRIMPED OR TACKED TO PREVENT BLOWING. 2. VEGETATIVE COVER - SEE STANDARDS FOR TEMPORARY VEGETATIVE COVER. 3. TILLAGE - TO ROUGHEN SURFACE AND BRING CLODS TO THE SURFACE. THIS IS AN EMERGENCY MEASURE WHICH
- SHOULD BE USED BEFORE SOIL BLOWING STARTS. BEGIN PLOWING ON WINDWARD SIDE OF THE SITE. CHISEL-TYPE PLOWS SPACED ABOUT 12" APART, SPRING-TOOTHED HARROWS AND SIMILAR PLOWS ARE EXAMPLES OF EQUIPMENT WHICH MAY PRODUCE THE DESIRED EFFECT 4. Irrigation — This is generally done as an emergency treatment, site is sprinkled with water until
- THE SURFACE IS MOIST. REPEAT AS NEEDED. AT NO TIME SHOULD THE SITE BE IRRIGATED TO THE POINT THAT RUNOFF BEGINS TO FLOW 5. BARRIERS - SOUD BOARD FENCES SILT FENCES, SNOW FENCES, BURLAP FENCES, STRAW BALL DIKES AND SIMILAR MATERIAL CAN BE USED TO CONTROL AIR CONTROLLING SOIL BLOWING. CURRENTS AND SOIL BLOWING. currents and soil blowing. Barriers placed at right angles to prevailing currents at intervals
- OF ABOUT 10 TIMES THEIR HEIGHT ARE EFFECTIVE IN 6. CALCIUM CHLORIDE - APPLY AT RATES THAT WILL KEEP SURFACE MOIST. MAY NEED RETREATMENT. PERMANENT METHODS 1 PERMENENT VECETATION - SEE STANDARDS FOR PERMANENT VECETATIVE COVER AND PERMANENT STABILIZATION
- WITH SOD, EXISTING TREES OR LARGE SHRUBS MAY AFFORD VALUABLE PROTECTION IF LEFT IN PLACE. 2. TOPSOILING - COVERING WITH LESS EROSIVE SOIL MATERIALS. SEE STANDARDS FOR TOPSOILING. 3. STONE - COVER SURFACE WITH CRUSHED STONE OR COARSE GRAVEL

TEMPORARY SEEDING NOTES (B-4-4)

- DEFINITION TO STABILIZE DISTURBED SOILS WITH VEGETATION FOR UP TO 6 MONTHS.
- PURPOSE TO USE FAST GROWING VEGETATION THAT PROVIDES COVER ON DISTURBED SOILS.
- CONDITIONS WHERE PRACTICE APPLIES exposed soils where ground cover is needed for a period of 6 months or less. FOR LONGER DURATION OF TIME, PERMANENT STABILIZATION PRACTICES ARE REQUIRED.
- I. SELECT ONE OR MORE OF THE SPECIES OR SEED MIXTURES LISTED IN TABLE B.I FOR THE APPROPRIATE PLANT HARDINESS ZONE (FROM FIGURE 8.3), AND ENTER THEM IN THE TEMPORARY SEPDING SUMMARY BELOW ALONG WITH APPLICATION RATES. SEEDING DATES AND SEEDING DEPTHS. f this summary is not put on the plan and completed, then table 8.1 plus fertilizer
- 2. FOR SITES HAVING SOIL TESTS PERFORMED, USE AND SHOW THE RECOMMENDED RATES BY THE TESTING AGENCY, SOIL TESTS ARE NOT REQUIRED FOR TEMPORARY SEEDING. 3. WHEN STABILIZATION IS REQUIRED OUTSIDE OF A SEEDING SEASON, APPLY SEED AND MULCH OR STRAW
- MULCH ALONE AS PRESCRIBED IN SECTION 8-4-3.A.I.B AND MAINTAIN UNTIL THE NEXT SEEDING SEASON

| | IEMF | 'UKAKY SEEUI | ng summ | IAKY | |
|-------------------------|---|-----------------------------|-------------------|--|---------------------|
| HARDINESS SEED MIXTU | ZONE (FROM FIGURE RE (FROM TABLE 8.1 | 8.3): <u>68</u>): | · | FERTILIZER RATE (10-20-20) | LIME RATE |
| 5PECIE5 | APPLICATION RATE (LB/AC) | SEEDING Dates | SEEDING DEPTHS | And the state of t | |
| BARLEY | 96 | | ľ | 436 LB/AC | 2 TONS/AC |
| OAT5 | 72 | 3/1 - 5/15, 8/15 - 10/15 | I* | (10 L8/ 1000 5F) | (90 L8/ 1000 SF) |
| RYF | 112 | | 1* | 1000 00 | 1000 017 |

PERMANENT SEEDING NOTES (B-4-5)

A. SEED MIXTURES

1. GENERAL USE A SELECT ONE OR MORE OF THE SPECIES OR MIXTURES LISTED IN TABLE 8.3 FOR THE APPROPRIATE PLANT HARDINESS ZONE (FROM FIGURE B.3) AND BASED ON THE SITE CONDITION OR PURPOSE FOUND ON TABLE B.2. ENTER SELECTED MIXTURE(5), APPLICATION RATES, AND SEEDING DATES IN THE PERMANENT SEEDING SUMMARY THE SUMMARY IS TO BE PLACED ON THE PLAN. B. ADDITIONAL PLANTING SPECIFICATIONS FOR EXCEPTIONAL SITES SUCH AS SHORELINES, STREAM BANKS,

OR DUNES OR FOR SPECIAL PURPOSES SUCH AS WILDLIFE OR AESTHETIC TREATMENT MAY BE FOUND IN USDA-NRCS TECHNICAL FIELD OFFICE GUIDE, SECTION 342 - CRITICAL AREA PLANTING. C. FOR SITES HAVING DISTURBED AREA OVER 5 ACRES, USE AND SHOW THE RATES RECOMMENDED BY THE SOIL TESTING AGENCY. D. FOR AREAS RECEIVING LOW MAINTENANCE, APPLY UREA FORM FERTILIZER (46-0-0) AT 3 1/2 POUNDS PER 1000 SQUARE FEET (150 POUNDS PER ACRE) AT THE TIME OF SEEDING IN ADDITION TO THE SOIL AMENDMENTS SHOWN IN THE PERMANENT SEEDING SUMMARY

- 2. TURFGRASS MIXTURES A AREAS WHERE TURFGRASS MAY BE DESIRED INCLUDE LAWNS, PARKS, PLAYGROUNDS, AND COMMERCIAL SITES WHICH WILL RECEIVE A MEDIUM TO HIGH LEVEL OF MAINTENANCE. B. SELECT ONE OR MORE OF THE SPECIES OR MIXTURES LISTED BELOW BASED ON THE SITE CONDITIONS OR PURPOSE. ENTER SELECTED MIXTURE(S), APPLICATION RATES, AND SEEDING DATES IN THE PERMANENT
- SEEDING SUMMARY. THE SUMMARY IS TO BE PLACED ON THE PLAN. . KENTUCKY BLUEGRASS: FULL SUN MIXTURE: FOR USE IN AREAS THAT RECEIVE INTENSIVE MANAGEMENT. IRRIGATION REQUIRED IN THE AREAS OF CENTRAL MARYLAND AND EASTERN SHORE RECOMMENDED CERTIFIED KENTUCKY BLUEGRASS CULTIVARS SEEDING RATE: 1.5 TO 2.0 POUNDS PER 1000 SQUARE FEET.
- CHOOSE A MINIMUM OF THREE KENTUCKY BLUEGRASS CULTIVARS WITH EACH RANGING FROM 10 TO 35 PERCENT OF THE TOTAL MIXTURE BY WEIGHT. II. KENTUCKY BLUEGRASS/PERENNIAL RYE: FULL SUN MIXTURE: FOR USE IN FULL SUN AREAS WHERE RAPID ESTABLISHMENT IS NECESSARY AND WHEN TURF WILL RECEIVE MEDIUM TO INTENSIVE MANAGEMENT. CERTIFIED PERENNAL RYEGRASS CULTIVARS/CERTIFIED KENTUCKY BLUEGRASS SEEDING RATE: 2 POUNDS
- MIXTURE PER 1000 SQUARE FEET, CHOOSE A MINIMUM OF THREE KENTUCKY BLUEGRASS CULTIVARS WITH EACH RANGING FROM 10 TO 35 PERCENT OF THE TOTAL MIXTURE BY WEIGHT. I. TALL FESCUE/KENTUCKY BLUEGRASS: FULL SUN MIXTURE: FOR USE IN DROUGHT PRONE AREAS AND/OR FOR AREAS RECEIVING LOW TO MEDIUM MANAGEMENT IN FULL SUN TO MEDIUM SHADE. RECOMMENDED MIXTURE INCLUDES; CERTIFIED TALL FESCUE CULTIVARS 95 TO 100 PERCENT, CERTIFIED KENTUCKY
- BLUEGRASS CULTIVARS 0 TO 5 PERCENT. SEEDING RATE: 5 TO 8 POUNDS PER 1000 SQUARE FEET. one or more cultivars may be blended. N. Kentucky bluegrass/fine fescue: Shade mixture: for use in areas with shade in bluegrass LAWNS. FOR ESTABLISHMENT IN HIGH QUALITY, INTENSIVELY MANAGED TURF AREA. MIXTURE INCLUDES; CERTIFIED KENTUCKY BLUEGRASS CULTIVARS 30 TO 40 PERCENT AND CERTIFIED FINE FESCUE AND 60

TO 70 PERCENT, SEEDING RATE: 1 1/2 TO 3 POUNDS PER 1000 SQUARE FEET,

SELECT TURFGRASS VARIETIES FROM THOSE LISTED IN THE MOST CURRENT UNIVERSITY OF MARYLAND Publication, agronomy memo #77, "Turfgrass cultivar recommendations for maryland" choose certified material certified material is the best guarantee of cultivar purity. The CERTIFICATION PROGRAM OF THE MARYLAND DEPARTMENT OF AGRICULTURE, TURF AND SEED SECTION, PROVIDES A RELIABLE MEANS OF CONSUMER PROTECTION AND ASSURES A PURE GENETIC LINE C. IDEAL TIMES OF SEEDING FOR TURF GRASS MIXTURES WESTERN MD: MARCH 15 TO JUNE 1, AUGUST 1 TO

OCTOBER 1 (HARDINESS ZONES: 58, 6A) CENTRAL MD: MARCH 1 TO MAY 15, AUGUST 15 TO OCTOBER 1

- HARDINESS ZONE: 68) SOUTHERN MD, EASTERN SHORE: MARCH 1 TO MAY 15, AUGUST 15 TO OCTOBER 1 (HARDINESS ZONES: 7A. 7B) D. TILL AREAS TO RECEIVE SEED BY DISKING OR OTHER APPROVED METHODS TO A DEPTH OF 2 TO 4 INCHES. LEVEL AND RAKE THE AREAS TO PREPARE A PROPER SEEDBED, REMOVE STONES AND DEBRIS OVER 1 1/2 INCHES IN DIAMETER THE RESULTING SEEDBED MUST BE IN SUCH CONDITION THAT FUTURE MOWING OF
- GRASSES WILL POSE NO DIFFICULTY. E. IF SOIL MOISTURE IS DEFICIENT, SUPPLY NEW SEEDINGS WITH ADEQUATE WATER FOR PLANT GROWTH (1/2 TO 1 INCH EVERY 3 TO 4 DAYS DEPENDING ON SOIL TEXTURE) UNTIL THEY ARE FIRMLY ESTABLISHED. THIS IS ESPECIALLY TRUE WHEN SEEDINGS ARE MADE LATE IN THE PLANTING SEASON, IN ABNORMALLY DRY OR HOT SEASONS, OR ON ADVERSE SITES.

DEOMANIENT CECNIAL CHIMMAON

| HARDINESS ZONE (FROM FIGURE B.3): 68 SEED MIXTURE (FROM TABLE B.3): 8 | | | | | | PERTILIZER RATE (10-20-20) | | | |
|---|----------------|-----------------------------|----------------------------------|-------------------|---|--------------------------------|--------------------------------|----------------------------------|--|
| NO. | 5PECIES | APPLICATION RATE (LB/AC) | SEEDING DATES | SEEDING DEPTHS | N | P205 | K ₂ 0 | | |
| B | Tall Fescue | 100 | MAR. 1-MAY 15 AUG. 15-OCT. 15 | 1/4-1/2 IN. | 45 LBS. PER ACRE (1.0 LB/ 1000 SF) | 90 LB/AC (2 LB/ 1000 SF) | 90 LB/AC (2 LB/ 1000 SF) | 2 TONS/AC (90 LB/ 1000 SF) | |

B. SOD: TO PROVIDE QUICK COVER ON DISTURBED AREAS (2:1 GRADE OR FLATTER).

- 1. GENERAL SPECIFICATIONS A CLASS OF TURFGRASS SOD MUST BE MARYLAND STATE CERTIFIED. SOD LABELS MUST BE MADE AVAILABLE TO THE JOB FOREMAN AND INSPECTOR.
- B. SOD MUST BE MACHINE CUT AT A UNIFORM SOIL THICKNESS TO 3/4 INCH, PLUS OR MINUS 1/4 INCH, AT THE TIME OF cutting, measurement for thickness must exclude top growth and thatch, broken pads and torn or UNEVEN ENDS WILL NOT BE ACCEPTABLE.
- C. STANDARD SIZE SECTIONS OF SOD MUST BE STRONG ENOUGH TO SUPPORT THEIR OWN WEIGHT AND RETAIN THEIR SIZE AND SHAPE WHEN SUSPENDED VERTICALLY WITH A FIRM GRASP ON THE UPPER 10 PERCENT OF THE SECTION. D. SOD MUST NOT BE HARVESTED OR TRANSPLANTED WHEN MOISTURE CONTENT (EXCESSIVELY DRY OF WET) MAY ADVERSELY AFFECT ITS SURVIVAL E. SOD MUST BE HARVESTED, DELIVERED, AND INSTALLED WITHIN A PERIOD OF 36 HOURS. SOD NOT TRANSPLANTED
- WITHIN THIS PERIOD MUST BE APPROVED BY AN AGRONOMIST OR SOIL SCIENTIST PRIOR TO ITS INSTALLATION. 2. 50D INSTALLATION A DURING PERIODS OF EXCESSIVELY HIGH TEMPERATURE OR IN AREAS HAVING DRY SUBSOIL, LIGHTLY IRRIGATE THE
- SUBSOIL IMMEDIATELY PRIOR TO LAYING THE 500. B. LAY THE FIRST ROW OF 500 IN A STRAIGHT LINE WITH SUBSEQUENT ROWS PLACED PARALLEL TO IT AND TIGHTLY WEDGED AGAINST EACH OTHER. STAGGER LATERAL JOINTS TO PROMOTE MORE UNIFORM GROWTH AND STRENGTH.
- ENSURE THAT SOD IS NOT STRETCHED OR OVERLAPPED AND THAT ALL JOINTS ARE BUTTED TIGHT IN ORDER TO PREVENT VOIDS WHICH WOULD CAUSE AIR DRYING OF THE ROOTS. C. WHEREVER POSSIBLE, LAY 500 WITH THE LONG EDGES PARALLEL TO THE CONTOUR AND WITH STAGGERING JOINTS. ROLL AND TAMP, PEG OR OTHERWISE SECURE THE SOD TO PREVENT SLIPPAGE ON SLOPES, ENSURE SOLID CONTACT exists between 500 roots and the underlying soil surface. D. WATER THE SOD IMMEDIATELY FOLLOWING ROLLING AND TAMPING UNTIL THE UNDERSIDE OF THE NEW SOD PAD AND
- SOIL SURFACE BELOW THE SOO ARE THOROUGHLY WET. COMPLETE THE OPERATIONS OF LAYING, TAMPING, AND IRRIGATING FOR ANY PIECE OF 500 WITHIN EIGHT HOURS. 3 500 MAINTENANCE A. IN THE ABSENCE OF ADEQUATE RAINFALL, WATER DAILY DURING THE FIRST WEEK OR AS OFTEN AND SUFFICIENTLY
- AS NECESSARY TO MAINTAIN MOIST SOIL TO A DEPTH OF 4 INCHES. WATER SOD DURING THE HEAT OF THE DAY TO PREVENT WILTING. B, AFTER THE FIRST WEEK, SOD WATERING IS REQUIRED AS NECESSARY TO MAINTAIN ADEQUATE MOISTURE CONTENT. C. DO NOT MOW UNTIL THE SOO IS FIRMLY ROOTED, NO MORE THAN 1/3 OF THE GRASS LEAF MUST BE REMOVED BY THE INITIAL CUTTING OR SUBSEQUENT CUTTINGS. MAINTAIN A GRASS HEIGHT OF AT LEAST 3 INCHES UNLESS

STANDARD STABILIZATION NOTE

ACTIVE GRADING.

FOLLOWING INITIAL SOIL DISTURBANCE OR RE-DISTURBANCE, PERMANENT OR TEMPORARY STABILIZATION MUST BE COMPLETED WITHIN: THREE (3) CALENDAR DAYS AS TO THE SURFACE OF ALL PERIMETER DIKES, SWALES, DITCHES, PERIMETER SLOPES, AND ALL SLOPES STEEPER THAN 3 HORIZONTAL TO 1 VERTICAL (3:1). B.) SEVEN (7) CALENDAR DAYS AS TO ALL OTHER DISTURBED OR GRADED AREAS ON THE PROJECT SITE NOT UNDER

B-4-8 STANDARDS AND SPECIFICATIONS FOR STOCKPILE AREA

A mound or pile of soil protected by appropriately designed erosion and sediment control measures.

To provide a designated location for the temporary storage of soil that controls the potential for erosion, sedimentation, and changes to drainage patterns.

Conditions Where Practice Applies Stockpile areas are utilized when it is necessary to salvage and store soil for later use.

1. The stockpile location and all related sediment control practices must be clearly indicated on the erosion and sediment control plan. 2. The footprint of the stockpile must be sized to accommodate the anticipated volume of material and based on a side slope ratio no steeper than 2:1. Benching must be provided in accordance with Section B-3 Land Gradina.

3. Runoff from the stockpile area must drain to a suitable sediment control practice. 4. Access the stockpile area from the upgrade side. 5. Clear water runoff into the stockpile area must be minimized by use of a diversion device such as an earth dike, temporary swale or diversion fence. Provisions must be made for discharging concentrated flow in a non-erosive manner.

6. Where runoff concentrates along the toe of the stockpile fill, an appropriate erosion/sediment control practice must be used to intercept the discharge. 7. Stockpiles must be stabilized in accordance with the 3/7 day stabilization requirement as well as Standard B-4-1 Incremental Stabilization and Standard B-4-4 Temporary Stabilization. 8. If the stockpile is located on an impervious surface, a liner should be provided below the stockpile to facilitate cleanup. Stockpiles containing contaminated material must be covered with impermeable sheeting.

Maintenance The stockpile area must continuously meet the requirements for Adequate Vegetative Establishment in accordance with Section 8-4 Vegetative Stabilization. Side slopes must be maintained at no steeper than a 2:1 ratio. The stockpile area must be kept free of erosion. If the vertical height of a stockpile exceeds 20 feet for 2:1 slopes, 30 feet for 3:1 slopes, or 40 feet for 4:1 slopes, benching must be provided in accordance with Section 8-3

B-4-3 STANDARDS AND SPECIFICATIONS FOR SEEDING & MULCHING

DEFINITION THE APPLICATION OF SEED AND MULCH TO ESTABLISH VEGETATIVE COVER.

PURPOSE

TO PROTECT DISTURBED SOILS FROM EROSION DURING AND AT THE END OF CONSTRUCTION.

CONDITIONS WHERE PRACTICE APPLIES TO THE SURFACE OF ALL PERIMETER CONTROLS, SLOPES, AND ANY DISTURBED AREA NOT UNDER ACTIVE GRADING,

A. SEEDING

AVAILABLE UPON REQUEST TO THE INSPECTOR TO VERIFY TYPE OF SEED AND SEEDING RATE.

- CRITERIA 1. SPECIFICATIONS A. ALL SEED MUST MEET THE REQUIREMENT OF THE MARYLAND STATE SEED LAW. ALL SEED MUST BE SUBJECT TO RE-TESTING BY A RECOGNIZED SEED LABORATORY, ALL SEED USED MUST HAVE BEEN TESTED WITHIN THE 6 MONTHS IMMEDIATELY PRECEDING THE DATE OF SOWING SUCH MATERIAL ON ANY PROJECT. REFER TO TABLE B.4 REGARDING THE QUALITY OF SEED, SEED TAGS MUST BE
- 8. MULCH ALONE MAY BE APPLIED BETWEEN THE FALL AND SPRING SEEDING DATES ONLY IF THE GROUND IS FROZEN. THE APPROPRIATE SEEDING MIXTURE MUST BE APPLIED WHEN THE GROUND THAWS. C. INOCULANTS: THE INOCULANT FOR TREATING LEGUME SEED IN THE SEED MIXTURES MUST BE A PURE CULTURE OF NITROGEN FIXING BACTERIA PREPARED SPECIFICALLY FOR THE SPECIES. INOCUIANTS MUST NOT BE USED LATER THAN THE DATE INDICATED ON THE CONTAINER. ADD FRESH INOCULANTS AS DIRECTED ON THE PACKAGE. USE FOUR TIMES THE RECOMMENDED RATE WHEN

HYDROSEEDING, NOTE: IT IS VERY IMPORTANT TO KEEP INOCULANT AS COOL AS POSSIBLE UNTIL USED, TEMPERATURES ABOVE 75

- TO 80 DEGREES FAHRENHEIT CAN WEAKEN BACTERIA AND MAKE THE INOCULANT LESS EFFECTIVE D. 50D OR SEED MUST NOT BE PLACED ON SOIL WHICH HAS BEEN TREATED WITH SOIL STERILANTS OR CHEMICALS USED FOR WEEDCONTROL UNTIL SUFFICIENT TIME HAS ELAPSED (14 DAYS MIN.) TO PERMIT DISSIPATION OF PHYTO-TOXIC MATERIALS.
- 2. APPLICATION A. DRY SEEDING: THIS INCLUDES USE OF CONVENTIONAL DROP OR BROADCAST SPREADERS.
 - I. INCORPORATE SEED INTO THE SUBSOIL AT THE RATES PRESCRIBED ON TEMPORARY SEEDING TABLE B.I. PERMANENT SEEDING TABLE B.3, OR SITE-SPECIFIC SEEDING SUMMARIES. II. APPLY SEED IN TWO DIRECTIONS, PERPENDICULAR TO EACH OTHER, APPLY HALF THE SEEDING RATE IN EACH
 - B. DRILL OR CULTIPACKER SEEDING: MECHANIZED SEEDERS THAT APPLY AND COVER SEED WITH SOIL. 1. CUITIPACKING SPEDERS ARE REQUIRED TO BURY THE SEED IN SUCH A FASHION AS TO PROMINE AT least 1/4 inch of soil covering, seedbed must be firm after planting.

DIRECTION. ROLL THE SEEDED AREA WITH WEIGHTED ROLLER TO PROVIDE GOOD SEED TO SOIL CONTACT.

C HYDROGERDING APPLY SEED UNIFORMLY WITH HYDROGERDER (SLURRY INCLUDES SEED AND FERTILIZED) 1. IF FEXTILIZER IS BEING APPLIED AT THE TIME OF SEEDING, THE APPLICATION RATES SHOULD NOT EXCEED THE FOLLOWING: NITROGEN, 100 POUNDS PER ACRE TOTAL OF SOLUBLE NITROGEN; P.O (PHOSPHORUS),

II. APPLY SEED IN TWO DIRECTIONS, PERPENDICULAR TO EACH OTHER. APPLY HALF THE SEEDING RATE IN

- 200 POUNDS PER ACRE; K20 (POTASSIUM), 200 POUNDS PER ACRE. II. LIME: USE ONLY GROUND AGRICULTURAL LIMESTONE (UP TO 3 TONS PER ACRE MAY BE APPLIED BY HYDROSEEDING). NORMALLY, NOT MORE THAN 2 TONS ARE APPLIED BY HYDROSEEDING AT ANY ONE TIME DO NOT USE BURNT OR HYDRATED LIME WHEN HYDROSEEDING.
- III. MIX SEED AND FERTILIZER ON SITE AND SEED IMMEDIATELY AND WITHOUT INTERRUPTION. IV. WHEN HYDROSEEDING DO NOT INCORPORATE SEED INTO THE SOIL.

B. MULCHING 1. MULCH MATERIALS (IN ORDER OF PREFERENCE)

- A STRAW CONSISTING OF THOROUGHLY THRESHED WHEAT, RYE, DAT, OR BARLEY AND REASONABLY BRIGHT IN COLOR. STRAW IS TO BE FREE OF NOXIOUS WEED SEEDS AS SPECIFIED IN THE MARYLAND SEED LAW AND NOT MUSTY, MOLDY, CAKED, DECAYED, OR EXCESSIVELY DUSTY. NOTE: USE ONLY STERILE STRAW MULCH IN AREAS WHERE ONE SPECIES OF GRASS IS DESIRED. B. WOOD CELLULOSE FIBER MULCH (WCFM) CONSISTING OF SPECIALLY PREPARED WOOD CELLULOSE PROCESSED
- INTO UNIFORM FIBROUS PHYSICAL STATE. I. WOPM IS TO BE DYED GREEN OR CONTAIN A GREEN DYE IN THE PACKAGE THAT WILL PROVIDE AN
- APPROPRIATE COLOT TO FACILITATE VISUAL INSPECTION OF THE UNIFORMLY SPREAD SLURRY II. WCFM, INCLUDING DYE, MUST CONTAIN NO GERMINATION OR GROWTH INHIBITING FACTORS. III. WCFM MATERIALS ARE TO BE MANUFACTURED AND PROCESSED IN SUCH A MANNER THAT THE WOOD CELLULOSE FIBER MULCH WILL REMAIN IN UNIFORM SUSPENSION IN WATER LINDER ACITATION AND WILL BLEND WITH SEED. FRETLUTER AND OTHER ADDITIVES TO FORM A HOMOGENEOUS SLURRY. THE MULCH MATERIAL MUST FORM A BLOTTER-LIKE GROUND COVER, ON APPLICATION. HAVING MOISTURE ABSORPTION AND PERCOLATION PROPERTIES AND MUST COVER AND HOLD GRASS SEED
- IN CONTACT WITH THE SOIL WITHOUT INHIBITING THE GROWTH OF THE GRASS SEEDLINGS. IV. WCFM MATERIAL MUST NOT CONTAIN ELEMENTS OR COMPOUNDS AT CONCENTRATION LEVELS THAT WILL BY PHYTO-TOXIC. V. WCFM MUST CONFORM TO THE FOLLOWING PHYSICAL REQUIREMENTS: FIBER LENGTH OF APPROXIMATELY 10 MILLIMETERS, DIAMETER APPROXIMATELY 1 MILLIMETER, PH RANGE OF 4.0 TO 8.5, ASH CONTENT OF 1.6 PERCENT MAXIMUM AND WATER HOLDING CAPACITY OF 90 PERCENT MINIMUM.
- A. APPLY MULCH TO ALL SEEDED AREAS IMMEDIATELY AFTER SEEDING.
- B. WHEN STRAW MULCH IS USED, SPREAD IT OVER ALL SEEDED AREAS AT THE RATE OF 2 TONS PER ACRE TO A UNIFORM LOOSE DEPTH OF 1 TO 2 INCHES. APPLY MULCH TO ACHIEVE A UNIFORM DISTRIBUTION AND DEPTH SO THAT THE SOIL SURFACE IS NOT EXPOSED, WHEN USING A MULCH ANCHORING TOOL, INCREASE THE APPLICATION RATE TO 2.5 TONS PER ACRE. .. Wood cellulose fiber used as mulch must be applied to a net dry weight of 1500 pounds per acre, mix the wood
- CELLULOSE FIBER WITH WATER TO ATTAIN A MIXTURE WITH A MAXIMUM OF 50 POUNDS OF WOOD CELLULOSE FIBER PER 100 GALLONS OF WATER.
- A. PERFORM MULCH ANCHORING IMMEDIATELY FOLLOWING APPLICATION OF MULCH TO MINIMIZE LOSS BY WIND OR WATER. THIS MAY BE DONE BY ONE OF THE FOLLOWING METHODS (LISTED BY PREFERENCE), DEPENDING UPON THE SIZE OF THE AREA AND EROSION HAZARD: I. A MULCH ANCHORING TOOL IS A TRACTOR DRAWN IMPLEMENT DESIGNED TO PUNCH AND ANCHOR MULCH INTO THE SOIL SURFACE A MINIMUM OF 2 INCHES. THIS PRACTICE IS MOST EFFECTIVE ON LARGE AREAS, BUT IS LIMITED TO FLATTER SLOPES WHERE
- EQUIPMENT CAN OPERATE SAFELY. IF USED ON SLOPING LAND, THIS PRACTICE SHOULD FOLLOW THE CONTOUR. WOOD CELLULOSE FIBER MAY BE USED FOR ANCHORING STRAW. APPLY THE FIBER BINDER AT A NET DRY WEIGHT OF 750 POUNDS PER ACRE. MIX THE WOOD CELLULOSE FIBER WITH WATER AT A MAXIMUM OF 50 POUNDS OF WOOD CELLULOSE FIBER PER 100 GALLONS OF WATER. III. 5YNTHETIC BINDERS SUCH AS ACRYLIC DLR (AGRO-TACK), DCA-70, PETROSET, TERRA TAX II, TERRA TACK AR, OR OTHER
- approved equal may be used, follow application rates as specified by the manufacturer, application of liquid BINDERS NEEDS TO BE HEAVIER AT THE EDGES WHERE WIND CATCHES MULCH, SUCH AS IN VALLEYS AND ON CRESTS OF BANKS, USE OF ASPHALT BINDERS IS STRICTLY PROHIBITED. IV. LIGHTWEIGHT PLASTIC NETTING MAY BE STAPLED OVER THE MULCH ACCORDING TO MANUFACTURER RECOMMENDATIONS.

NETTING IS USUALLY AVAILABLE IN ROLLS 4-15 FEET WIDE AND 300 TO 3,000 FEET LONG.

HOWARD SOIL CONSERVATION DISTRICT (HSCD) STANDARD SEDIMENT CONTROL NOTES

- 1. A pre-construction meeting must occur with the Howard County Department of Public Works, Construction Inspection Division (CID), 410-313-1855 after the future LOD and protected areas are marked clearly in the field. A minimum of 48 hour notice to CID must be given at the following stages: a. Prior to the start of earth
- b. Upon completion of the installation of perimeter erosion and sediment controls, but before proceeding with any other earth disturbance or grading,
- c. Prior to the start of another phase of construction or opening of another grading unit, d. Prior to the removal or modification of sediment control practices.
- Other building or grading inspection approvals may not be authorized until this initial approval by the inspection agency is made. Other related state and federal permits shall be referenced, to ensure coordination and to
- 2. All vegetative and structural practices are to be installed according to the provisions of this plan and are to be in conformance with the 2011 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL, and revisions thereto.
- 3. Following initial soil disturbance or re-disturbance, permanent or temporary stabilization is required within three (3) calendar days as to the surface of all perimeter controls, dikes, swales, ditches, perimeter slopes, and all slopes steeper than 3 horizontal to 1 vertical (3:1); and seven (7) calendar days as to all other disturbed areas on the project site except for those areas under active grading.
- 4. All disturbed areas must be stabilized within the time period specified above in accordance with the 2011 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL for topsoil (Sec. B-4-2), permanent seeding (Sec. B-4-5), temporary seeding (Sec. B-4-4) and mulching (Sec. B-4-3). Temporary stabilization with mulch alone can only be applied between the fall and spring seeding dates if the ground is frozen. Incremental stabilization (Sec. B-4-1) specifications shall be enforced in areas with >15' of cut and/or fill. Stockpiles (Sec. B-4-8) in excess of 20 ft. must be benched with stable outlet. All concentrated flow, steep slope, and highly erodible areas shall receive soil stabilization matting (Sec. 8-4-6).
- 5. All sediment control structures are to remain in place, and are to be maintained in operative condition until permission for their removal has been obtained from the CID.
- 6. Site Analysis For Total Site Area: Total Area of Site: 6.12+/- Acres LOD Total Area Disturbed: 4.20+/- Acres Area to be roofed or paved: 1.88+/- Acres Area to be vegetatively stabilized: 2.32+/- Acres
- Total Cut: 9,158 Cu. Yds. Total Fill: 8,168 Cu. Yds. Offsite waste/borrow area location: ____
- 7. Any sediment control practice which is disturbed by grading activity for placement of utilities must be repaired on the same day of disturbance.
- 8. Additional sediment control must be provided, if deemed necessary by the CID. The site and all controls shall be inspected by the contractor weekly; and the next day after each rain event. A written report by the contractor, made available upon request, is part of every inspection and should include:
 - Inspection date • Inspection type (routine, pre-storm event, during rain event)
 - · Name and title of inspector · Weather information (current conditions as well as time and amount of last recorded precipitation) · Brief description of project's status (e.g., percent complete) and/or current activities · Evidence of sediment discharges
 - · Identification of plan deficiencies · Identification of sediment controls that require maintenance
 - · Identification of missing or improperly installed sediment controls · Compliance status regarding the sequence of construction and stabilization requirements
- Photographs Monitorina/samplina
- Maintenance and/or corrective action performed · Other inspection items as required by the General Permit for Stormwater Associated with Construction Activities (NPDES, MDE).
- 9. Trenches for the construction of utilities is limited to three pipe lengths or that which can and shall be back-filled and stabilized by the end of each workday, whichever is shorter. 10. Any major changes or revisions to the plan or sequence of construction must be reviewed and approved by the HSCD prior to proceeding with construction. Minor revisions may allowed by the CID per the list of
- H5CD-approved field changes. 11. Disturbance shall not occur outside the L.O.D. A project is to be sequenced so that grading activities begin on one grading unit (maximum acreage of 20 ac. per grading unit) at a time. Work may proceed to a subsequent grading unit when at least 50 percent of the disturbed area in the preceding grading unit has been stabilized and approved by the H5CD. Unless otherwise specified and approved by the H5CD, no more than 30 acres cumulatively may be disturbed at a given time.
- 12. Wash water from any equipment, vehicles, wheels, pavement, and other sources must be treated in a sediment basin or other approved washout structure.
- 13. Topsoil shall be stockpiled and preserved on-site for redistribution onto final grade. 14. All Silt Fence and Super Silt Fence shall be placed on-the-contour, and be imbricated at 25' minimum
- 15. Stream channels must not be disturbed during the following restricted time periods
 - Use I and IP March 1 June 15 • Use III and IIIP October 1 - April 30
- Use IV March 1 May 31 16. A copy of this plan, the 2011 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL, and associated permits shall be on-site and available when the site is active.

TEMPORARY SEEDING FOR SITE STABILIZATION

| | SFF | ING RATE 1/ | | RECOMMENDED SEEDING DATES BY PLANT HARDINESS ZONE 3/ | | | | |
|---|---------|---------------------------|---------------------|--|-------------------------------------|--|--|--|
| PLANT SPECS | JELU | and Mic | SEEDING DEPTH 2/ | KECOI (I JENDED | SEEDING DATES DI FDATI TA | NDINESS ZONE | | |
| I DAM SI LOS | LB./AC. | LB./1000 FT. ² | (** ! ** ! * * *) | 5b AND 6a | 6Ь | 7a AND 7b | | |
| COOL-SEASON GRASSES | - | I | . | | | . | | |
| ANNUAL RYEGRASS (LOLIUM PERENNE 55P. MUTIFLORUM) | 40 | 1.0 | 0.5 | MAR. 15 TO MAY 31; AUG. 1 TO SEPT. 30 | MAR. 1 TO MAY 15; AUG. 1 TO OCT. 15 | FEB. 15 TO APR. 30; AUG. 15 TO NOV. 3 | | |
| BARLEY (HORDEUM VULGARE) | 96 | 2.2 | 1.0 | MAR. 15 TO MAY 31; AUG. 1 TO SEPT. 30 | MAR. 1 TO MAY 15; AUG. 1 TO OCT. 15 | FEB. 15 TO APR. 30; AUG. 15 TO NOV. 3 | | |
| OATS (AVENA SATIVA) | 72 | 1.7 | 1.0 | MAR. 15 TO MAY 31; AUG. 1 TO 5EPT. 30 | MAR. 1 TO MAY 15; AUG. 1 TO OCT. 15 | FEB. 15 TO APR. 30; AUG. 15 TO NOV. 3 | | |
| WHEAT (TRITICUM AESTIVUM) | 120 | 2,8 | 1.0 | MAR. 15 TO MAY 31; AUG. 1 TO SEPT. 30 | MAR. 1 TO MAY 15; AUG. 1 TO OCT. 15 | FEB. 15 TO APR. 30; AUG. 15 TO NOV. 3 | | |
| CEREAL RYE (SECALE CEREALE) | 112 | 2.0 | 1.0 | MAR. 15 TO MAY 31; AUG. 31 TO OCT. 31 | MAR. 1 TO MAY 15; AUG. 1 TO NOV. 15 | FEB. 15 TO APR. 30; AUG. 15 TO DEC. 1 | | |
| WARM-SEASON GRASSES | | | | | | den er | | |
| FOXTAIL MILLET (SETARIA ITALICA) | 30 | 0.7 | 0.5 | JUNE 1 TO JULY 31 | MAY 16 TO JULY 31 | MAY I TO AUGUST 14 | | |
| PEARL MILLET (PENNISETUM GLAUCUM) | 20 | 0.5 | 0.5 | JUNE 1 TO JULY 31 | MAY 16 TO JULY 31 | MAY 1 TO AUGUST 14 | | |

1. SEEDING RATES FOR THE WARM-SEASON GRASSES ARE IN POUNDS OF PURE LIVE SEED (PLS). ACTUAL PLANTING RATES SHALL BE ADJUSTED TO REFLECT PERCENT SEED GERMINATION AND PURITY, AS TESTED. ADJUSTMENTS ARE USUALLY NOT NEEDED FOR THE COOL-SEASON GRASSES.

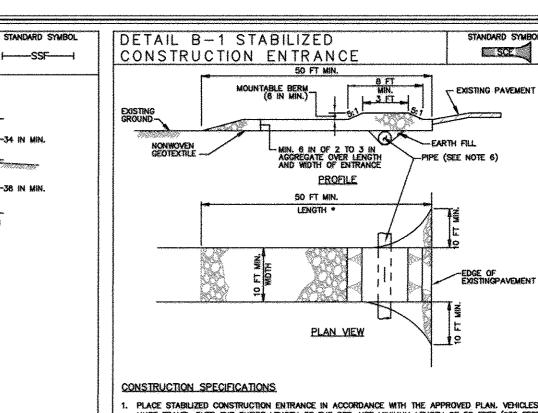
SEEDING RATES LISTED ABOVE ARE FOR TEMPORARY SEEDINGS, WHEN PLANTED ALONE. WHEN PLANTED AS A NURSE CROP WITH PERMANENT SEED MIXES, USE 1/3 OF THE SEEDING RATE LISTED ABOVE FOR BARLEY, DATS AND WHEAT. FOR SMALLER-SEEDED GRASSES (ANNUAL RYEGRASS, PEARL MILLET, FOXTAIL MILLET). DO NOT EXCEED MORE THAN 5% (BY WEIGHT) OF THE OVERALL PERMANENT SEEDING MIX. CEREAL RYE GENERALLY SHOULD NOT BE USED AS A NÜRSE CROP, UNLESS PLANTING WILL OCCUR IN VERY LATE FALL BEYOND THE SEEDING DATES FOR OTHER TEMPORARY SEEDINGS. CEREAL RYE HAS ALLELOPATHIC PROPERTIES THAT INHIBIT THE GERMINATION AND GROWTH OF OTHER PLANTS. IF IT MUST BE USED AS A NURSE CROP, SEED AT 1/3 OF THE RATE LISTED ABOVE. OATS ARE THE RECOMMENDED NURSE CROP FOR WARM-SEASON GRASSES.

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT

BUILDER D. R. HORTON INC. 1356 BEVERLY RD. - SUITE 300 McLean, VA 22101 (571)-421-7738

OWNERS DOUBLE R VENTURES, LLC 0310 FORREST STREET-SUITE 200 ELLICOTT CITY, MARYLAND 21043 (410)-707-7054

2-14-18 6.12.18 2-18-18 LOTS 1-19, 23, 25-28 & OPEN HONEYSUCKLE RIDGE **5PACE LOTS 30&32** BLOCK NO. ZONE TAX/ZONE ELEC. DIST. CENSUS TR. 24391-R-5C 50 **SIXTH** 6012.02 24395 PREVIOUS HOWARD COUNTY FILES: 5P-15-005, WP-15-095, ECP-14-013, F-93-04, W&5 CONT. #24-4849-D, #24-4885-D, F-16-041, 5DP-18-013



MUST TRAVEL OVER THE ENTIRE LENGTH OF THE SCE. USE MINIMUM LENGTH OF 50 FEET (*30 FEET FOR SINGLE RESIDENCE LOT). USE MINIMUM WIDTH OF 10 FEET. FLARE SCE 10 FEET MINIMUM AT THE EXISTING ROAD TO PROVIDE A TURNING RADIUS. 2. PIPE ALL SURFACE WATER FLOWING TO OR DIVERTED TOWARD THE SCE UNDER THE ENTRANCE, MAINTAINING POSITIVE DRAINAGE. PROTECT PIPE INSTALLED THROUGH THE SCE WITH A MOUNTABLE BERN WITH 5:1 SLOPES AND A MINIMUM OF 12 INCHES OF STONE OVER THE PIPE. PROVIDE PIPE AS SPECIFIED ON APPROVED PLAN. WHEN THE SCE IS LOCATED AT A HIGH SPOT AND HAS NO DRAINAGE TO CONVEY, A PIPE IS NOT NECESSARY. A MOUNTABLE BERM IS REQUIRED WHEN SCE IS NOT LOCATED AT A HIGH SPOT.

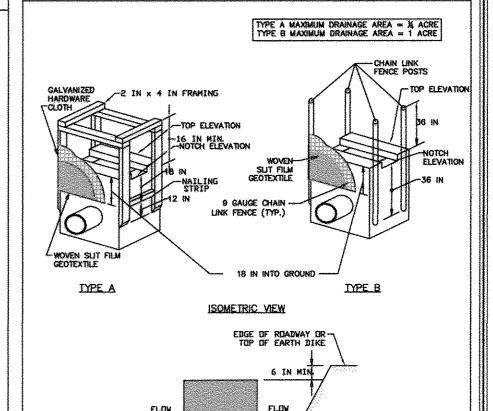
E_SCE_

- EXISTING PAVEMENT

-PIPE (SEE NOTE 6)

PREPARE SUBGRADE AND PLACE NONWOVEN GEOTEXTILE, AS SPECIFIED IN SECTION H-1 MATERIALS. PLACE CRUSHED AGGREGATE (2 TO 3 INCHES IN SIZE) OR EQUIVALENT RECYCLED CONCRETE (WITHOUT REBAR) AT LEAST 6 INCHES DEEP OVER THE LENGTH AND WIDTH OF THE SCE. MAINTAIN ENTRANCE IN A CONDITION THAT MINIMIZES TRACKING OF SEDIMENT. ADD STONE OR MAKE OTHER REPAIRS AS CONDITIONS DEMAND TO MAINTAIN CLEAN SURFACE, MOUNTABLE BERM, AND SPECIFIED DIMENSIONS. IMMEDIATELY REMOVE STONE AND/OR SEDIMENT SPILLED, DROPPED, OR TRACKED ONTO ADJACENT ROADWAY BY VACUUMING, SCRAPING, AND/OR SWEEPING. WASHING ROADWAY TO REMOVE MUD TRACKED ONTO PAVEMENT IS NOT ACCEPTABLE UNLESS WASH WATER IS DIRECTED TO AN APPROVED SEDIMENT CONTROL PRACTICE.

MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL FROSION AND SEDIMENT CONTROL DETAIL E-9-1 STANDARD INLET III SIP PROTECTION



CONSTRUCTION SPECIFICATIONS

USE WOVEN SLIT FILM GEOTEXTILE AS SPECIFIED IN SECTION H-1 MATERIALS. EXCAVATE COMPLETELY AROUND THE INLET TO A DEPTH OF 18 INCHES BELOW THE NOTCH ELEVATION.

SECTION FOR TYPE A AND B

FOR TYPE A, USE NOMINAL 2 INCH X 4 INCH CONSTRUCTION GRADE LUMBER POSTS, DRIVEN 1 FOOT INTO THE GROUND AT EACH CORNER OF THE INLET. PLACE NAIL STRIPS BETHEEN THE POSTS ON THE ENDS OF THE INLET. ASSEMBLE THE TOP PORTION OF THE 2X4 FRAME AS SHOWN. STRETCH & INCH GALVANIZED HARDWARE CLOTH TIPTLY ARRUND THE FRAME AND FASTEN SECURELY. FASTEN GEOTEXTILE SECURELY TO THE HARDWARE CLOTH WITH TIES SPACED EVERY 24 INCHES AT THE TOP AND MID SECTION. EMBED GEOTEXTILE AND HARDWARE CLOTH A MINIMUM OF 18 INCHES BELOW THE VEIR CREST. THE ENDS OF THE GEOTEXTILE MUST MEET AT A POST, BE OVERLAPPED AND FOLDED, THEN FASTENED TO THE POST.

FOR TYPE B, USE 2% INCH DIAMETER GALVANIZED STEEL POSTS OF 0.095 INCH WALL THICKNESS AND 6 FOOT LENGTH, BRIVEN A MINIMUM OF 36 INCHES BELOW THE WEIR CREST AT EACH CORNER OF THE STRUCTURE. FASTEN 9 GAUGE OR HEAVIER CHAIN LINK FENCE, 42 INCHES IN HEIGHT, SECURELY TO THE FENCE POSTS WITH VIRE TIES. FASTEN GEOTEXTILE SECURELY TO THE CHAIN LINK FENCE WITH TIES SPACED EVERY 24 INCHES AT THE TOP AND MID SECTION. EMBED GEOTEXTILE AND CHAIN LINK FENCE A MINIMUM OF 18 INCHES BELOW THE WEIR CREST.

BACKFILL AROUND THE INLET IN LODGE 4 INCH LIFTS AND COMPACT UNTIL SOIL IS LEVEL WITH THE NOTCH ELEVATION ON THE ENDS AND TOP ELEVATION ON THE SIDES. STORM DRAIN INLET PROTECTION REQUIRES FREQUENT MAINTENANCE. REMOVE ACCUMULATED SEDIMENT AFTER EACH RAIN EVENT ID MAINTAIN FUNCTION AND AVOID PREMATURE CLOGGING. IF INLET PROTECTION DOES NOT COMPLETELY DRAIN VITHIN 24 HOURS AFTER A STORM EVENT, IT IS CLOGGED. WHEN THIS DOCURS, REMOVE ACCUMULATED SEDIMENT AND CLEAN, OR REPLACE GEDIEXTILE AND STONE.

SEQUENCE OF CONSTRUCTION

obtain a grading permit and hold pre-construction meeting with county inspector. (2 weeks) NOTIFY "MISS UTILITY" AT LEAST 40 HOURS BEFORE BEGINNING ANY WORK AT 1-800-257-7777. NOTIFY THE HOWARD COUNTY OFFICE OF CONSTRUCTION/ INSPECTION AT 410-313-1330 AT LEAST 24 HOURS BEFORE STARTING WORK. (7 DAYS)

DETAIL E-3 SUPER

CHAIN LINK FENCING-

CROSS SECTION

FASTEN 9 GAUGE OR HEAVER GALVANIZED CHAIN LINK FENCE (2% INCH MAXIMUM OPENING) 42 INCHES IN HEIGHT SECURELY TO THE FENCE POSTS WITH WIRE TIES OR HUG RINGS.

WHERE ENDS OF THE GEOTEXTILE COME TOGETHER, THE ENDS SHALL BE OVERLAPPED BY 8 INCHES, FOLDED, AND STAPLED TO PREVENT SEPMENT BY PASS.

PROVIDE MANUFACTURER CERTIFICATION TO THE INSPECTION/ENFORCEMENT AUTHORITY SHOWING THAT GEOTEXTILE USED MEETS THE REQUIREMENTS IN SECTION H-1 MATERIALS.

REMOVE ACCUMULATED SEDIMENT AND DEBRIS WHEN BULGES DEVELOP IN FENCE OR WHEN SEDIMENT REACHES 25% OF FENCE HEIGHT. REPLACE GEOTEXTILE IF TORN, IF UNDERWINING OCCURS, REINSTALL CHAIN LINK FENCING AND GEOTEXTILE.

MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL FROSION AND SEDIMENT CONTROL

2011

ELEVATION

CROSS SECTION

IOINING TWO ADJACENT SILT

FENCE SECTIONS (TOP VIEW)

. USE WOOD POSTS 1½ X 1½ ± ¾, INCH (MINIMUM) SQUARE CUT OF SQUAD QUALITY HARDWOOD, AS AN ALTERNATIVE TO WOODEN POST USE STANDARD "I" OR "U" SECTION STEEL POSTS WEIGHING NO LESS THAN 1 POUND PER LINEAR FOOT.

2. USE 36 INCH MINIMUM POSTS DRIVEN 16 INCH MINIMUM INTO GROUND NO MORE THAN 6 FEET APART. USE WOVEN SLIT FILM GEOTEXTILE AS SPECIFIED IN SECTION H-1 MATERIALS AND FASTEN GEOTEXTILE SECURELY TO UPSLOPE SIDE OF FENCE POSTS WITH WIRE TIES OR STAPLES AT TOP AND MID-SECTION.

EMBED GEOTEXTILE A MINIMUM OF 8 INCHES VERTICALLY INTO THE GROUND. BACKFILL AND COMPACT THE SOIL ON BOTH SIDES OF FABRIC.

EXTEND BOTH ENDS OF THE SILT FENCE A MINIMUM OF FIVE HORIZONTAL FEET UPSLOPE AT 45 DEGREES TO THE MAIN PENCE ALIGNMENT TO PREVENT RUNOFF FROM GOING AROUND THE ENDS OF THE SILT FENCE.

MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL

. WHERE TWO SECTIONS OF GEOTEXTILE ADJOIN: OVERLAP, TWIST, AND STAPLE TO POST IN ACCORDANCE WITH THIS DETAIL.

FENCE

DETAIL E-1 SILT

6 FT MAX. CENTER TO CENTER

STANDARD SYMBOL

|----SF-----|

36 IN MIN. FENCE POST LENGTH DRIVEN MIN. 16 IN INTO GROUND

48 IN MIN. DEPTH

TIE IN MIN. HEIGHT OF WOVEN SLIT FILM GEOTEXTILE

BIA

STAPLE

STAPLE-

STAPLE-

TWIST POSTS TOGETHER

MOVEN SLIT FILM GEOTEXTILE-

CONSTRUCTION SPECIFICATIONS

EMBED GEOTEXTILE-MIN. OF 8 IN VERTICALLY INTO THE GROUND. BACKFILL. AND COMPACT THE SOIL ON BOTH SIDES OF GEOTEXTILE.

STEP 1

STEP 3

CONSTRUCTION SPECIFICATIONS

SILT FENCE

10 FT MAX.

ELEVATION

GALVANIZED CHAIN LINK FENCE WITH

- 3. VERIFY THAT THE EXISTING PERIMETER CONTROLS TO REMAIN AS DESIGNED PER F-16-041 ARE IN GOOD WORKING ORDER OR REPAIR AS NECESSARY. (2 DAYS) 4. INSTALL STABILIZED CONSTRUCTION ENTRANCE, SILT FENCE, SUPER SILT FENCE AND INLET PROTECTION,
- AS REQUIRED, (1 WEEK) ROUGH GRADE AROUND HOUSE SITES AND INSTALL TEMPORARY SEEDING, WHERE REQUIRED. (3 DAYS)
- 6. COMMENCE BUILDING CONSTRUCTION ON SINGLE FAMILY DETACHED HOUSES AND ASSOCIATED DRYWELLS. 7. PERMENANTLY STABILIZE ANY REMAINING DISTURBED AREAS. (1 WEEK)
- 9. STABILIZE ALL REMAINING DISTURBED AREAS WITH TEMPORARY SEEDING. (2 DAYS) COMMENCE INSTALLATION OF SWM FACILITIES. (1 MONTH) 12. REMOVE INLET PROTECTION (1 DAY) 13. STABILIZE ALL AREAS OF DISTURBANCE WITH PERMANENT SEEDING. (1 WEEK)

14. OBTAIN PERMISSION OF SEDIMENT CONTROL INSPECTOR, PRIOR TO REMAINING SEDIMENT CONTROL DEVICE. (1 DAY) 15. REMOVE ANY REMAINING SEDIMENT DEVICES. (3 DAYS) 16. STABILIZE ANY DISTURBED AREAS WITH PERMANENT SEEDING, (1 WEEK) NOTE:

CONTRACTOR SHALL INSPECT AND PROVIDE NECESSARY MAINTENANCE AFTER EACH RAINFALL AND ON A DAILY

CONTROL NOTES AND DETAILS

SEDIMENT AND EROSION

AND OPEN SPACE LOTS 30 & 32 PREVIOUS HOWARD COUNTY FILES: 5P-15-005, WP-15-095, ECP-14-013, F-93-04, W&5 CONT. #24-4849-0,

ZONED: R-5C TAX MAP NO.: 50 PARCEL NOS.: 361, 362, & 474 GRID NO.: 1 SIXTH ELECTION DISTRICT HOWARD COUNTY, MARYLAND SCALE: AS SHOWN DATE: JANUARY 25, 2018

SHEET 6 OF 0

PLUCOTT CITY MARYLAND 21042 (410) 461 - 2855

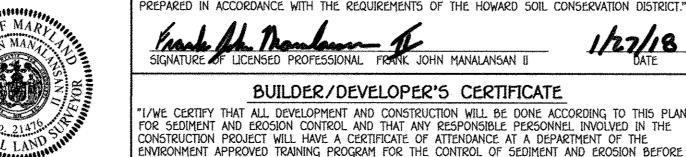
FISHER, COLLINS & CARTER, INC















SIGNATURE OF LICENSED PROFESSIONAL FRANK JOHN MANALANSAN II BUILDER/DEVELOPER'S CERTIFICATE I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN, FOR SEDIMENT AND EROSION CONTROL AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE

BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT." SIGNATURE OF BUILDER PATRICK J WILLIAMS

PROFESSIONAL CERTIFICATE

I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND

WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

HONEYSUCKLE RIDGE LOTS 1-19, 23 & 25-28

#24-4885-D, F-16-041 & 5DP-18-013

50P-18-003

CONSTRUCTION CRITERIA:

THE FOLLOWING ITEMS SHOULD BE ADDRESSED DURING CONSTRUCTION OF PROJECTS WITH DRY WELLS:

EROSION AND SEDIMENT CONTROL: FINAL GRADING FOR PROPOSED DRY WELLS SHOULD NOT TAKE PLACE UNTIL THE SURROUNDING SITE IS COMPLETELY STABILIZED. IF THIS CANNOT BE ACCOMPLISHED, RUNOFF FROM DISTURBED AREAS SHALL BE DIVERTED.

50IL COMPACTION: EXCAVATION SHOULD BE CONDUCTED IN DRY CONDITIONS WITH EQUIPMENT LOCATED OUTSIDE OF THE PRACTICE TO MINIMIZE BOTTOM AND SIDEWALL COMPACTION. CONSTRUCTION OF A DRY WELL SHALL BE PERFORMED WITH LIGHTWEIGHT, WIDE-TRACKED EQUIPMENT TO MINIMIZE DISTURBANCE AND COMPACTION. EXCAVATED MATERIALS SHALL BE PLACED IN A CONTAINED AREA.

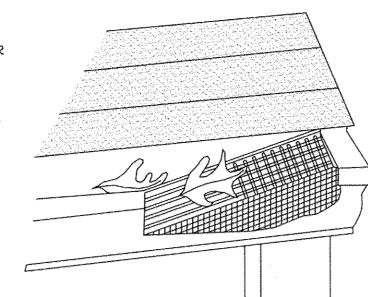
UNDERGROUND CHAMBER: A SUBSURFACE PREFABRICATED CHAMBER MAY BE USED. DRY WELL BOTTOM: THE BOTTOM SHALL BE AS LEVEL AS POSSIBLE TO MINIMIZE POOLED WATER

> IN SMALL AREAS THAT MAY REDUCE OVERALL INFILTRATION AND LONGEVITY. FILTER CLOTH SHALL NOT BE INSTALLED ON THE BOTTOM OF THE WELL NON-WOVEN FILTER CLOTH SHOULD BE USED TO LINE THE TOP AND SIDES

OF THE DRY WELL TO PREVENT THE PORE SPACE BETWEEN THE STONES

FROM BEING BLOCKED BY THE SURROUNDING NATIVE MATERIAL

GRAVEL MEDIA: THE AGGREGATE SHALL BE COMPOSED OF AN 18 TO 48-INCH LAYER OF CLEAN WASHED, OPEN GRADED MATERIAL WITH 40% POROSITY (E.G., ASTM D448 4, 5, OR 6 STONE OR EQUAL).



OPERATION & MAINTENANCE SCHEDULE FOR PRIVATELY OWNED AND MAINTAINED DRY WELLS (M-5)

- A. THE OWNER SHALL INSPECT THE MONITORING WELLS AND STRUCTURES ON A QUARTERLY BASIS
- AND AFTER EVERY HEAVY STORM EVENT. B. THE OWNER SHALL RECORD THE WATER LEVELS AND SEDIMENT BUILD UP IN THE MONITORING
- WELLS OVER A PERIOD OF SEVERAL DAYS TO ENSURE TRENCH DRAINAGE.
- C. THE OWNER SHALL MAINTAIN A LOG BOOK TO DETERMINE THE RATE AT WHICH THE FACILITY DRAINS. D. WHEN THE FACILITY BECOMES CLOGGED SO THAT IT DOES NOT DRAIN DOWN WITHIN A SEVENTY-TWO (72) HOUR TIME PERIOD, CORRECTIVE ACTION SHALL BE TAKEN.
- E. THE MAINTENANCE LOG BOOK SHALL BE AVAILABLE TO HOWARD COUNTY FOR INSPECTION TO INSURE COMPLIANCE WITH OPERATION AND MAINTENANCE CRITERIA.

-ROOF LEADER *THE EXACT NUMBER OF DRYWELLS GUTTER DRAIN FILTER DETAIL REQUIRED AND THE LENGTH AND WIOTH WILL BE DETERMINED ONCE DOWNSPOUT NOT TO SCALE DRAINAGE PATTERNS ARE DETERMINED. -SURCHARGE PIPE LEAF SCREEN-NOTES: - SPLASH BLOCK STORMWATER MANAGEMENT DEVICES LOCATED ON INDIVIDUAL LOTS WILL BE OWNED AND MAINTAINED BY THAT PARTICULAR LOT OWNER AND SUBJECT TO THE REQUIREMENTS OF A RECORDED DECLARATION OF COVENANT. THE STORMWATER MANAGEMENT DEVICE LOCATED WITHIN THE "PUBLIC PERF. P.V.C. PIPE STORMWATER MANAGEMENT, ACCESS, DRAINAGE & UTILITY W/CAP. PERF. AREA 5 TIMES EASEMENT" WILL BE PUBLICLY OWNED AND MAINTAINED. THE STOWMWATER MANAGEMENT DEVICES LOCATED ON H.O.A. OPEN PIPE AREA SPACE WILL BE PRIVATELY OWNED AND MAINTAINED BY THE HONEYSUCKLE RIDGE HOMEOWNER'S ASSOCIATION. OBSERVATION WELL 4-6 INCH PERFORATED PVC PIPE ON CONCRETE FOOTPLATE * FILTER FABRIC BUILDING — FOUNDATION TOP AND SIDES ONLY (NON- WOVEN) MSHA CL. "C" 12" SAND, ROTOTILL 1'-0" BELOW TRENCH BOTTOM CONCRETE NOTE: TRENCH MAY NOT BE

| | | | Di | RY WELL | . CHART | | | | |
|---------|-------------------|----------------------|-------------------------------|--------------------|--------------------|--------------------|----------------------|--------------------|--------------------------|
| LOT NO. | DRYWELL NUMBER | NO. OF DOWNSPOUTS | AREA OF ROOF PER DOWNSPOUT | VOLUME REQUIRED | VOLUME PROVIDED | AREA OF STORAGE | AREA OF TREATMENT | NO. OF DRYWELLS | DIMENSIONS OF DRYWELL |
| 1 | M-5 (1a) | 2 | 306 5Q.FT. | 78 CU.FT. | 108 CU.FT. | 100% | 612 5Q.FT. | 1 | 9' X 6' X 5 |
| 1 | M-5 (1b) | 3 | 280 SQ.FT. | 107 CU.FT. | 108 CU.FT. | 100% | 840 5Q.FT. | 1 | 9' X 6' X 5 |
| 2 | M-5 (2a) | 2 | 448 5Q.FT. | 114 CU.FT. | 114 CU.FT. | 100% | 895 5Q.FT. | 1 | 9.5' X 6' X |
| 2 | M-5 (2b) | 2 | 448 5Q.FT. | 114 CU.FT. | 120 CU.FT. | 100% | 895 5Q.FT. | 1 | 10' X 6' X 5 |
| 5 | M-5 (3a) | 2 | 449 5Q.FT. | 114 CU.FT. | 120 CU.FT. | 100% | 897 5Q.FT. | 1 | 10' X 6' X 5 |
| 5 | M-5 (3b) | 2 | 449 5Q.FT. | 114 CU.FT. | 120 CU.FT. | 100% | 897 5Q.FT. | 1 | 10' X 6' X 5 |
| 6 | M-5 (4a) | 2 | 306 5Q.FT. | 78 CU.FT. | 80 CU.FT. | 100% | 612 5Q.FT. | 1 | 8' X 5' X 5 |
| 6 | M-5 (4b) | 2 | 420 SQ.FT. | 107 CU.FT. | 108 CU.FT. | 100% | 840 5Q.FT. | 1 | 9' X 6' X 5 |
| 7 | M-5 (5a) | 2 | 449 5Q.FT. | 114 CU.FT. | 120 CU.FT. | 100% | 897 5Q.FT. | 1 | 10' X 6' X 5 |
| 7 | M-5 (5b) | 2 | 449 5Q.FT. | 114 CU.FT. | 120 CU.FT. | 100% | 897 5Q.FT. | 1 | 10' X 6' X 5 |
| 8 | M-5 (6a) | 2 | 449 5Q.FT. | 114 CU.FT. | 120 CU.FT. | 100% | 897 5Q.FT. | 1 | 10' X 6' X ! |
| 8 | M-5 (6b) | 2 | 449 5Q.FT. | 114 CU.FT. | 120 CU.FT. | 100% | 897 5Q.FT. | 1 | 10' X 6' X ! |
| 9 | M-5 (7a) | 2 | 449 5Q.FT. | 114 CU.FT. | 120 CU.FT. | 100% | 897 5Q.FT. | 1 | 10' X 6' X 5 |
| 9 | M-5 (7b) | 2 | 449 5Q.FT. | 114 CU.FT. | 120 CU.FT. | 100% | 897 5Q.FT. | 1 | 10' X 6' X |
| 10 | M-5 (8a) | 2 | 449 SQ.FT. | 114 CU.FT. | 120 CU.FT. | 100% | 897 5Q.FT. | 1 | 10' X 6' X ' |
| 10 | M-5 (8b) | 2 | 449 5Q.FT. | 114 CU.FT. | 120 CU.FT. | 100% | 897 5Q.FT. | 1 | 10' X 6' X ! |
| 11 | M-5 (9a) | 2 | 449 5Q.FT. | 114 CU.FT. | 120 CU.FT. | 100% | 897 5Q.FT. | 1 | 10' X 6' X ! |
| 11 | M-5 (9b) | 2 | 449 5Q.FT. | 114 CU.FT. | 120 CU.FT. | 100% | 897 5Q.FT. | 1 | 10' X 6' X ! |
| 12 | M-5 (10a) | 2 | 449 5Q.FT. | 114 CU.FT. | 120 CU.FT. | 100% | 897 5Q.FT. | 1 | 10' X 6' X ' |
| 12 | M-5 (10b) | 2. | 449 5Q.FT. | 114 CU.FT. | 120 CU.FT. | 100% | 897 5Q.FT. | 1 | 10' X 6' X 5 |
| 13 | M-5 (11a) | 2 | 449 5Q.FT. | 114 CU.FT. | 120 CU.FT. | 100% | 897 5Q.FT. | 1 | 10' X 6' X ' |
| 13 | M-5 (11b) | 2 | 449 5Q.FT. | 114 CU.FT. | 120 CU.FT. | 100% | 897 SQ.FT. | 1 | 10' X 6' X ' |
| 14 | M-5 (12a) | 2 | 449 5Q.FT. | 114 CU.FT. | 120 CU.FT. | 100% | 897 5Q.FT. | 1 | 10' X 6' X ' |
| 14 | M-5 (12b) | 2 | 449 5Q.FT. | 114 CU.FT. | 120 CU.FT. | 100% | 897 5Q.FT. | 1 | 10' X 6' X 5 |
| 15 | M-5 (13a) | 2 | 455 SQ.FT. | 116 CU.FT. | 120 CU.FT. | 100% | 909 SQ.FT. | 1 | 10' X 6' X ! |
| 15 | M-5 (13b) | 2 | 330 5Q.FT. | 84 CU.FT. | 90 CU.FT. | 100% | 660 5Q.FT. | 1 | 9' X 5' X 5 |
| 16 | M-5 (14a) | 2 | 343 5Q.FT. | 87 CU.FT. | 90 CU.FT. | 100% | 686 5Q.FT. | 1 | 9' X 5' X 5 |
| 17 | M-5 (15a) | 2 | 343 5Q.FT. | 67 CU.FT. | 90 CU.FT. | 100% | 686 SQ.FT. | 1 | 9' X 5' X 5 |
| 18 | M-5 (16a) | 2 | 343 5Q.FT. | 87 CU.FT. | 90 CU.FT. | 100% | 606 5Q.FT. | 1 | 9' X 5' X 5 |
| 19 | M-5 (17a) | 2 | 343 5Q.FT. | 67 CU.FT. | 90 CU.FT. | 100% | 606 5Q.FT. | 1 | 9' X 5' X 5 |
| 23 | M-5 (10a) | 2 | 463 5Q.FT. | 118 CU.FT. | 120 CU.FT. | 100% | 926 5Q.FT. | 1 | 10' X 6' X 5 |
| 23 | M-5 (18b) | 2 | 463 5Q.FT. | 118 CU.FT. | 120 CU.FT. | 100% | 926 5Q.FT. | 1 | 10' X 6' X |
| 28 | M-5 (19a) | 4 | 233 5Q.FT. | 118 CU.FT. | 120 CU.FT. | 100% | 930 SQ.FT. | 1 | 10' X 6' X ' |
| 28 | M-5 (19b) | 2 | 368 5Q.FT. | 94 CU.FT. | 108 CU.FT. | 100% | 735 SQ.FT. | 1 | 9' X 6' X 5 |
| 28 | M-5 (19c) | 4 | 233 SQ.FT. | 122 CU.FT. | 132 CU.FT. | 100% | 961 5Q.FT. | 1 | 11' X 6' X |

GROUND WATER V

DRY WELL DETAIL

NOT TO SCALE

1) DRYWELL DIMENSIONS SHOWN ARE BASED ON TREATMENT OF 50% OF THE AREA OF THE GENERIC BOX AREA PROPOSED FOR THE LOT ASSUMING THAT THE FRONT PORTION (50%) OF THE ROOF AREA OF THE PROPOSED HOUSE SPECIFIED WITHIN THE GENERIC BOX WILL BE CAPTURED UNDER THE SWM

PROJECT

PRACTICES PROPOSED UNDER F16-041 2) A MODIFICATION TO THE STORAGE REQUIREMENT (DRYWELL SIZE) MAY BE DETERMINE WHEN THE

ACTUAL HOUSE TYPE IS SITED ON THE INDIVIDUAL LOT.

STORMWATER MANAGEMENT

STORMWATER MANAGEMENT NOTES

1. STORMWATER MANAGEMENT IS PROVIDED IN ACCORDANCE WITH WITH CHAPTER 5, "ENVIRONMENTAL SITE DESIGN" OF THE 2007

2. MAXIMUM CONTRIBUTING ROOF TOP AREA TO EACH DOWNSPOUT

4. FINAL GRADING IS SHOWN ON THIS SITE DEVELOPMENT PLAN.

3. DRYWELLS SHALL BE PROVIDED AT LOCATIONS WHERE THE LENGTH OF DISCONNECTION IS LESS THAN 75' AT 5%. THE SIZE AND CONSTRUCTION OF THE DRYWELL SHALL BE IN ACCORDANCE WITH

MARYLAND STORMWATER MANAGEMENT DESIGN MANUAL,

EFFECTIVE MAY 4, 2010.

SHALL BE 1,000 SQ. FT. OR LESS.

THE DETAIL SHOWN ON THIS SHEET.

NOTES AND DETAILS

LOTS 1-19, 23 & 25-28 AND OPEN SPACE LOTS 30 & 32 PREVIOUS HOWARD COUNTY FILES: 5P-15-005, WP-15-095, ECP-14-013, F-93-04, W&5 CONT. #24-4849-D, #24-4885-D, F-16-041 & 5DP-18-013 ZONED: R-5C

TAX MAP NO.: 50 PARCEL NOS.: 361, 362, & 474 GRID NO.: 1 SIXTH ELECTION DISTRICT HOWARD COUNTY, MARYLAND SCALE: AS SHOWN DATE: JANUARY 25, 2018

5DP-18-003

| | A | A Description of the Party of t | |
|----|---|--|---|
| | FISHER, COLLINS & CARTER, INC. | | |
| | CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS | | |
| | CENTENNIAL SQUARE OFFICE PARK - 10272 BALTIMORE NATIONAL PIKE | | |
| | ELLICOTT CITY, MARYLAND 21042 | | |
| | (410) 461 - 2855 | | |
| | | | |
| | | | |
| | | | |
| | | *************************************** | |
| 11 | | 1 | f |

NO.

REVISION



DATE

PROFESSIONAL CERTIFICATION

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND THAT I AM A DULY LICENSED PROFESSIONAL LAND SURVEYOR UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 21476, EXPIRATION DATE: 7/14/19.

McLean, VA 22101 (571)-421-7738 OWNERS DOUBLE R VENTURES, LLC 8318 FORREST STREET-SUITE 200 ELLICOTT CITY, MARYLAND 21043

SCALE: 1" = 30'

D. R. HORTON INC.

1356 BEVERLY RD. - SUITE 300

HONEYSUCKLE RIDGE **SPACE LOTS 30&32** TAX/ZONE ELEC. DIST. CENSUS TR. BLOCK NO. ZONE 24391-R-5C 50 SIXTH 6012.02 24395 PREVIOUS HOWARD COUNTY FILES: SP-15-005, WP-15-095, ECP-14-013, F-93-04, W&S CONT. #24-4849-D,

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

2-14-18

2.12.18

2-14-18

LOTS 1-19, 23,

25-28 & OPEN

T. Marshard for KS

#24-4885-D, F-16-041, 5DP-18-013

INSTALLED IN FILL.

(410)-707-7054

SHEET 7 OF 8

