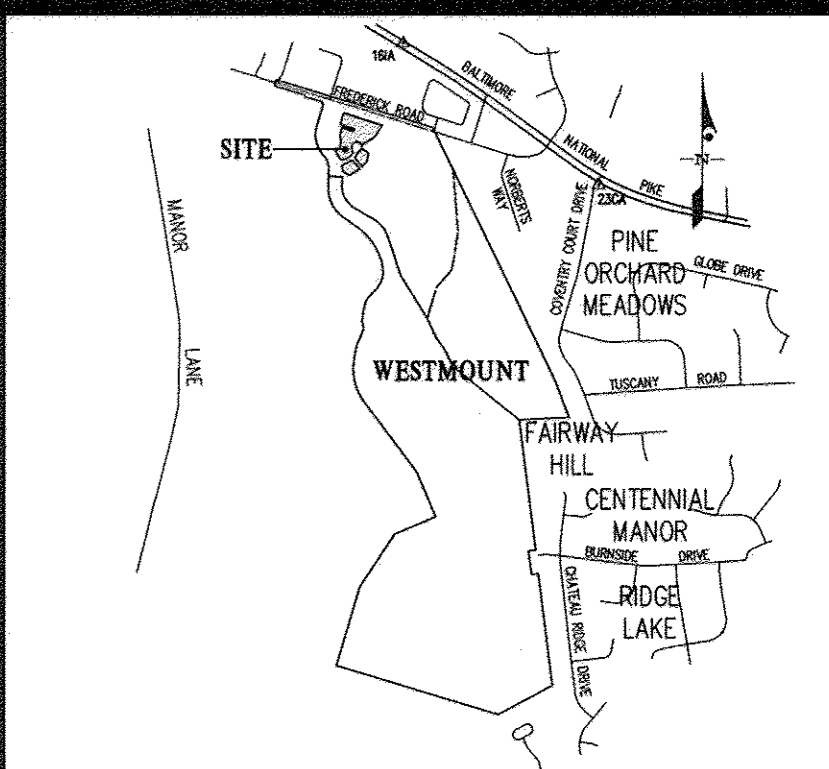


**GENERAL NOTES**

- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF HOWARD COUNTY PLUS MSHA STANDARDS AND SPECIFICATIONS IF APPLICABLE.
- THE CONTRACTOR SHALL NOTIFY THE BUREAU OF ENGINEERING/CONSTRUCTION INSPECTION DIVISION AT (410) 313-1800 AT LEAST FIVE (5) WORKING DAYS PRIOR TO THE START OF WORK.
- THE CONTRACTOR SHALL NOTIFY "MISS UTILITY" AT 1-800-251-7777 AT LEAST 48-HOURS PRIOR TO ANY EXCAVATION WORK.
- PROJECT BACKGROUND:  
LOCATION: SEE VICINITY MAP IN THE TOP RIGHT CORNER OF THIS SHEET  
TAX MAP: 23  
ELECTION DISTRICT: 6, 10 & 12  
ZONING: R-ED PER 2-2-04 COMPREHENSIVE ZONING PLAN AND THE COMP LITE ZONING AMENDMENTS EFFECTIVE 7-20-06.  
AREA OF BUILDABLE LOTS (Nos. 172, 173, 49-52 & 72-80) FOR THIS SITE DEVELOPMENT PLAN: 3.36+ ACRES.  
FOR OTHER SUBMISSIONS RELATED TO THIS SITE: HOWARD COUNTY DEPT. OF PLANNING & ZONING FILE NOS. F-11-050, 7B-108TM, NP-11-032, NP-15-030, NP-16-091, ECP-14-050, SP-14-008, F-15-081 AND THE D.R.R.A. IS RECORDED AT L: 12322 F. 240
- THIS PROJECT IS IN CONFORMANCE WITH THE LATEST HOWARD COUNTY STANDARDS UNLESS WAIVERS HAVE BEEN PROCESSED.
- THE SCENIC ROADS MAP DOES INDICATE THAT MD ROUTE 144A (FREDERICK ROAD) IS A SCENIC ROAD.
- THE COORDINATES SHOWN HEREON ARE BASED UPON THE HOWARD COUNTY GEODETIC CONTROL WHICH IS BASED UPON THE MARYLAND STATE PLANE COORDINATE SYSTEM. HOWARD COUNTY BENCHMARKS 16A AND 23CA WERE USED FOR THIS PROJECT.
- ALL PLAN DIMENSIONS ARE TO THE FACE OF CURB OR FACE OF BUILDING UNLESS OTHERWISE NOTED. DIMENSIONS ARE MEASURED PERPENDICULAR OR RADIALLY BETWEEN POINTS UNLESS OTHERWISE NOTED.
- EXISTING TOPOGRAPHY AND FEATURES COMPILED FROM F-15-081 AND AERIAL TOPOGRAPHY PREPARED BY MCKENZIE-SNYDER DURING DECEMBER, 2006.
- PUBLIC WATER AND SEWER SHALL BE UTILIZED (AS PROVIDED BY M&S CONTRACT Nos. 24-4876-D) AND THE WATER METER VAULTS IN OUTSIDE VAULTS.
- STORMWATER MANAGEMENT FOR THIS SITE IS PROVIDED IN ACCORDANCE WITH CHAPTER 5 OF THE M&S STORMWATER MANAGEMENT DESIGN MANUAL, VOLUMES 1 AND 2, THROUGHOUT THE SITE. MICRO-BIORETENTION DRY WELLS (M&S) AND ROOFTOP DISCONNECT (N) ARE UTILIZED DEVICES ON INDIVIDUAL LOTS WILL BE OWNED AND MAINTAINED BY THE HOMEOWNER. DEVICES WITHIN COUNTY RIGHT OF WAY THAT TREAT ONLY RUNOFF FROM A COUNTY ROAD WILL BE OWNED BY HOWARD COUNTY AND JOINTLY MAINTAINED WITH THE HOA. HOWARD COUNTY WILL ONLY MAINTAIN THE INLET AND ASSOCIATED PIPING; THE HOA WILL BE REQUIRED TO MAINTAIN THE PLANTS, SOIL, MULCH, ETC. THE DEVICES ON OPEN SPACE LOTS 64 AND 67 WILL BE OWNED AND MAINTAINED BY THE HOA. THE DRAINAGE SPILLS WITHIN THE PRIVATE EASEMENT ALONG THE REAR PROPERTY LINE OF LOTS 41 THROUGH 43, 44, AND 45 WILL BE THE RESPONSIBILITY OF THE HOA. ALL OF THE OTHER DEVICES WITHIN THE OPEN SPACE LOTS WILL BE OWNED BY HOWARD COUNTY AND MAINTAINED JOINTLY WITH THE HOA.
- FINAL DIMENSIONS AND LOCATION OF STORMWATER DEVICES TO BE SHOWN ON BUILDING PERMIT PLOT PLAN WHEN ACTUAL HOUSE TO BE BUILT IS DETERMINED.
- NO CLEARING, GRADING OR CONSTRUCTION IS PERMITTED WITHIN THE FOREST CONSERVATION EASEMENT; HOWEVER, FOREST MANAGEMENT PRACTICES AS DEFINED IN THE DEED OF FOREST CONSERVATION EASEMENT ALLOWED. REMOVAL OF PESTICIDES COVER OR PLACEMENT OF NEW STRUCTURES IS NOT PERMITTED WITHIN LIMITS OF WETLANDS, STREAMS OR THEIR REQUIRED BUFFERS, AND 100 YEAR FLOODPLAIN AREAS, UNLESS PERMITTED UNDER AN APPROVED MAIVER PETITION OR DETERMINED TO BE ESSENTIAL OR NECESSARY BY DPZ.
- THIS PROJECT COMPLIES WITH THE REQUIREMENTS OF SECTION 16.200 OF THE HOWARD COUNTY CODE FOR FOREST CONSERVATION. THE FOREST CONSERVATION REGULATIONS WERE ADDRESSED UNDER F-15-081.
- MINIMUM BUILDING SETBACK RESTRICTIONS FROM PUBLIC ROADS AND PROPERTY LINES WILL BE PROVIDED IN ACCORDANCE WITH THE ZONING REGULATIONS ADOPTED JULY, 2006.
- FINANCIAL SURETY FOR THE REQUIRED LANDSCAPING (10,000.00 AS SHOWN ON SHEET 6 TO SATISFY SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL) SHALL BE POSTED AS PART OF THE GRADING PERMITS FOR THE LOTS SHOWN ON THIS SDP (WHERE APPLICABLE).
- WETLAND DELINEATION BY ECOTONE INC. IN A REPORT DATED FEBRUARY 10, 2014. THE WETLAND AND STREAM DELINEATION WAS APPROVED BY THE HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING ON NOVEMBER 4, 2014.
- THE 100-YEAR FLOODPLAIN LIMITS FOR THE THREE STREAMS THAT RUN THROUGH THE SITE WERE DETERMINED IN A FLOODPLAIN STUDY PREPARED BY GITSCHICK LITTLE & WEBER, P.A. AS PART OF THE APPROVAL OF 90-14-009.
- A NOISE STUDY WAS PREPARED BY ROBERT H. VOGEL ENGINEERING, INC. ON OR ABOUT APRIL, 2014 AND WAS APPROVED BY DEVELOPMENT ENGINEERING DIVISION ON NOVEMBER 4, 2014.
- A TRAFFIC STUDY WAS PREPARED BY THE TRAFFIC GROUPS IN A REPORT DATED APRIL 4, 2014 AND WAS APPROVED BY DEVELOPMENT ENGINEERING DIVISION ON NOVEMBER 4, 2014.
- THE CEMETERY INVENTORY MAP DOES NOT SHOW ANY CEMETERIES WITHIN THE PROJECT LIMITS.
- DRIVEWAYS SHALL BE PROVIDED PRIOR TO ISSUANCE OF A USE AND OCCUPANCY PERMIT FOR ANY NEW DWELLINGS TO INSURE SAFE ACCESS FOR FIRE AND EMERGENCY VEHICLES PER THE FOLLOWING MINIMUM REQUIREMENTS:  
A. WIDTH - 12' (6" SERVING MORE THAN ONE RESIDENCE)  
B. SURFACE - 4" OF COMPACTED CRUISER RUN BASE W/ TAR AND CHIP COATING (1-1/2" MIN)  
C. GEOMETRY - MAX. 15% GRADE, MAX. 10% GRADE CHANGE AND MIN. 45' TURNING RADIUS  
D. STRUCTURES (CULVERTS/BRIDGES) - CAPABLE OF SUPPORTING 20 GROSS TONS (105 LOADINGS)  
E. DRAINAGE ELEMENTS - CAPABLE OF SAFELY PASSING 100-YR. FLOOD WITH NO MORE THAN 1 FOOT DEPTH OVER DRIVEWAY SURFACE  
F. MAINTENANCE - SUFFICIENT TO INSURE ALL WEATHER USE
- FOR FLAG AND PIPESTEM LOTS, REFUSE COLLECTION, SNOW REMOVAL, AND ROAD MAINTENANCE ARE PROVIDED TO THE JUNCTION OF THE FLAG OR PIPESTEM AND ROAD RIGHT-OF-WAY LINE AND NOT ONTO THE PIPESTEM LOT DRIVEWAY.
- ANY DAMAGE TO THE ADJACENT COUNTY OWNED RIGHT-OF-WAY AND PROPERTY SHALL BE CORRECTED AT THE CONTRACTOR'S EXPENSE.
- BUILDABLE LOTS SHOWN HEREON SHALL HAVE A PUBLIC EASEMENT ADJACENT TO THE PUBLIC ROAD RIGHT OF WAY, FOR THE PURPOSES OF SIDEWALK MAINTENANCE, WATER HOUSE CONNECTION AND SEWER HOUSE CONNECTION.
- IN ACCORDANCE WITH SECTION 120 OF THE HOWARD COUNTY ZONING REGULATIONS, BAY WINDOWS, CHIMNEYS OR EXTERIOR STAIRWAYS NOT MORE THAN 16 FEET IN WIDTH MAY PROJECT NOT MORE THAN 4 FEET INTO ANY SETBACKS, PORCHES, OR DECKS, OPEN OR ENCLOSED MAY PROJECT NOT MORE THAN 10 FEET INTO THE FRONT OR REAR YARD SETBACKS.
- PER SECTION 120.D.12.A(1)(A) OF THE ZONING REGULATIONS, DETACHED GARAGES MAY NOT EXCEED 600 SQUARE FEET IN SIZE.

# SITE DEVELOPMENT PLAN WESTMOUNT

## Phase 1 - LOTS 172 & 173, 49-52 and Phase 2A - LOTS 72-80

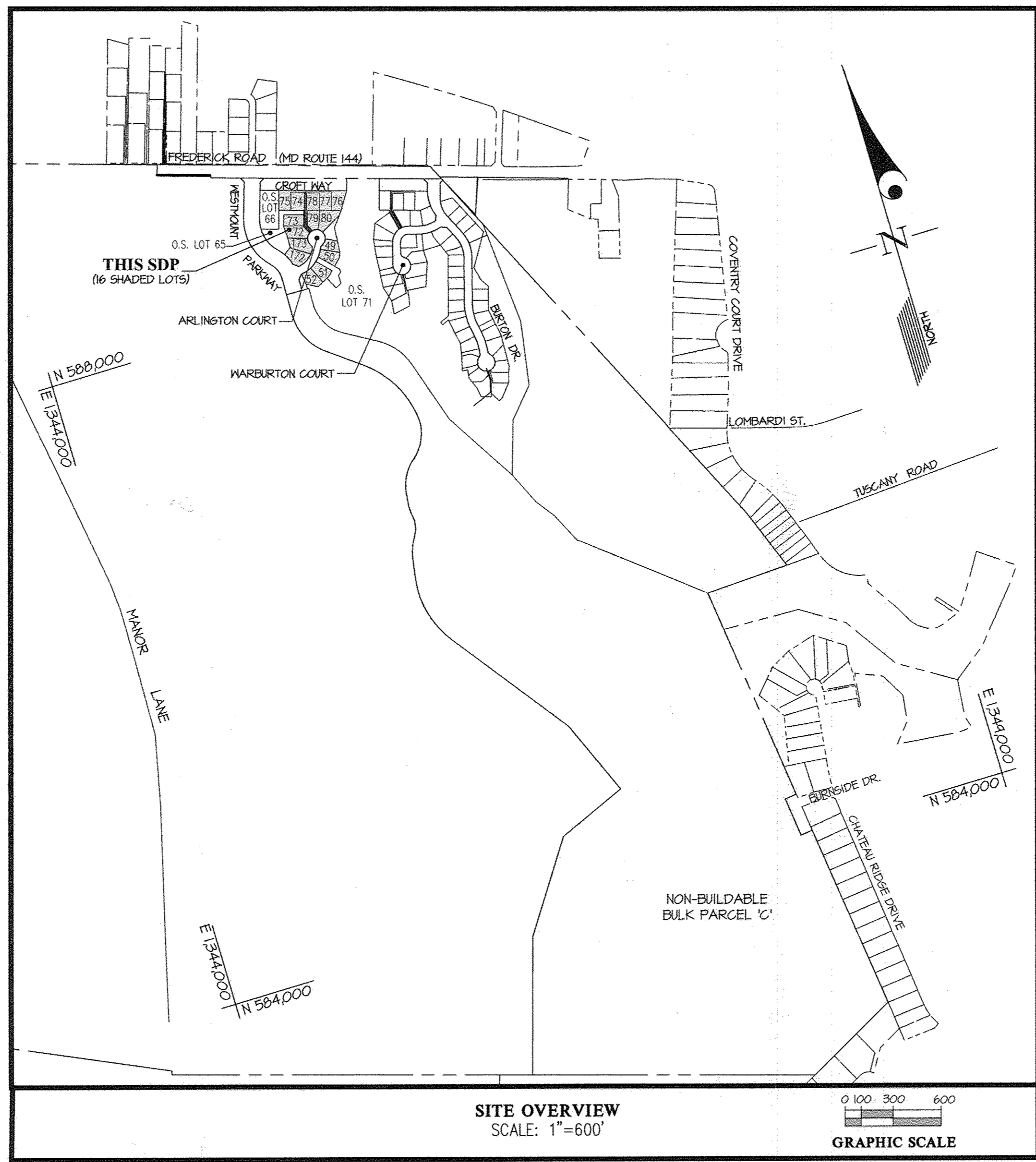


**VICINITY MAP**  
SCALE: 1" = 2,000'

**BENCHMARKS**

161A: NORTHING: 594,504.413	23CA: NORTHING: 560,095.663
EASTING: 1346,343.626	EASTING: 1348,385.546
ELEVATION: 462.42	ELEVATION: 482.20

\* THERE ARE NO N-1 DISCONNECTS ON PHASE 1.



**SETBACK REQUIREMENTS**

SETBACK TYPE	SETBACK SINGLE FAMILY DETACHED
PROJECT BOUNDARY	30'
EXTERNAL PUBLIC R/W	75'
FRONT/SIDE ON INTERNAL PUBLIC R/W	20'
FRONT (PRINCIPAL STRUCTURE)	20'
SIDE (PRINCIPAL STRUCTURE)	15'
REAR (PRINCIPAL STRUCTURE)	25'
FACE TO FACE	N/A
FACE TO SIDE / REAR TO SIDE	N/A
SIDE TO SIDE	N/A
REAR TO REAR	N/A
REAR TO FACE	N/A

**ON LOT STORMWATER MANAGEMENT PRACTICES**

LOT NUMBER	ADDRESS	DISCONNECTION OF ROOFTOP RUNOFF		SHEETFLOW TO CONSERVATION AREAS N-3 (Y/N)	RAINWATER HARVESTING		DRY WELLS	
		N-1 (NUMBER)	N-2 (NUMBER)		M-1 (NUMBER)	M-1 (NUMBER)		
172 (old 47)	ARLINGTON COURT	0	0	N	1	2		
173 (old 48)	ARLINGTON COURT	0	0	N	1	2		
41	ARLINGTON COURT	0	0	Y	1	1		
50	ARLINGTON COURT	0	0	N	1	2		
51	ARLINGTON COURT	0	0	Y	1	2		
52	ARLINGTON COURT	0	0	Y	1	2		
72	ARLINGTON COURT	0	0	N	1	2		
73	GROFT COURT	0	0	N	1	2		
74	GROFT COURT	0	0	N	4	0		
75	GROFT COURT	0	0	N	2	0		
76	GROFT COURT	0	0	Y	1	2		
77	ARLINGTON COURT	0	0	N	1	2		
78	ARLINGTON COURT	0	0	N	4	0		
79	ARLINGTON COURT	0	0	N	1	2		
80	ARLINGTON COURT	0	0	Y	1	1		

NOTE:  
1. ALL ON LOT STORMWATER MANAGEMENT DEVICES WILL BE PRIVATE AND OWNED/MAINTAINED BY THE HOMEOWNER.

**LOT DEVELOPMENT DATA**

- GENERAL SITE ANALYSIS DATA
  - PRESENT ZONING: R-ED PER 2-2-04 COMPREHENSIVE ZONING PLAN AND THE COMP LITE ZONING AMENDMENTS EFFECTIVE 7-20-06.
  - PROPOSED USE OF SITE: 15 SFD RESIDENTIAL DWELLINGS
  - PUBLIC WATER & SEWER: TO BE UTILIZED (CONTR. Nos. 24-4876-D)
  - PARKING REQUIRED AND PROVIDED: SEE CHART BELOW
  - RECREATION OPEN SPACE FOR THIS SDP IS ADDRESSED UNDER F-15-081 (SEE OVERALL OPEN SPACE PROVISION CHART ON THIS SHEET).
- AREA TABULATION
  - AREA OF BUILDABLE LOTS FOR THIS SUBMISSION: 146,391 SF OR 3.36+ AC.
  - AREA OF THIS PLAN SUBMISSION: 3.5+ ACRES (L.O.D.)
  - AREA OF DISTURBANCE BY THIS SDP: 3.5+ ACRES

**SINGLE FAMILY ATTACHED PARKING ANALYSIS**

NUMBER OF SINGLE-FAMILY DETACHED LOTS FOR THIS SDP = 15

REQUIRED PARKING (2 SPACES PER UNIT) = 30 SPACES

REQUIRED OVERFLOW PARKING (0.05 SPACES/UNIT PER DMV 3, TABLE 2.11) = 0 SPACES

TOTAL REQUIRED SPACES = 30 SPACES

PARKING PROVIDED:

4 SPACES/UNIT (2 GARAGE & 2 DRIVEWAY) = 60 SPACES

**LOT INFORMATION**

LOT TYPE	LOTS	MINIMUM LOT SIZE	MIN. LOT WIDTH AT FRONT BRL.
SINGLE FAMILY DETACHED	172, 173, 49-52 AND 72-80	6,000 SQUARE FEET	50'

**SHEET INDEX**

- COVER SHEET
- SITE DEVELOPMENT PLAN
- SITE DETAILS
- SEDIMENT CONTROL PLAN
- SEDIMENT CONTROL NOTES and DETAILS
- LANDSCAPE PLAN

**ADDRESS CHART**

LOT No.	STREET ADDRESS	LOT No.	STREET ADDRESS
172	3305 ARLINGTON COURT	75	3005 GROFT WAY
173	3307	74	3011
41	3316	75	3015
50	3312	76	3018
51	3308	77	3014
52	3304	78	3010
72	3311		
		79	3324 ARLINGTON COURT
		80	3320 ARLINGTON COURT

**PERMIT INFORMATION CHART**

WATER CODE: E21	SEWER CODE: 7645000
DEVELOPMENT NAME: WESTMOUNT	DISTRICT/AREA: N/A
PLAT: 24123/28, 24139/41 & 24384	LOT: 172, 173, 49-52 & 72-80
ZONE: R-ED	CENSUS TRACT: 6068.06

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

*Valerie J. J. [Signature]* 12-4-17  
Director Date

*Neil S. [Signature]* 12-4-17  
Chief, Division of Land Development Date

*Chad E. [Signature]* 12-1-17  
Chief, Development Engineering Division Date

**GLWGUTSCHICK LITTLE & WEBER, P.A.**  
CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS  
3809 NATIONAL DRIVE - SUITE 250 - BURLINGAME OFFICE PARK  
BURTON, MARYLAND 20886  
TEL: 301-421-4024 BALT: 410-880-1820 DC/VA: 301-989-2524 FAX: 301-421-4186

**PREPARED FOR:**

PROPERTY OWNER (SELLER): MANOR INVESTMENTS, LLC 100 WEST PENNSYLVANIA AVE. SUITE 301 TOWSON, MD 21284 PH: 443-367-0422 ATN: Robert Gooder	BUILDER (CONTRACT PURCHASER): NVR INC. 9720 PATUXENT WOODS DR. COLUMBIA, MD 21046 PH: 410-379-5956 ATN: Robert Grohmann
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**PROFESSIONAL CERTIFICATION**

I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 12025.

EXPIRATION DATE: MAY 28, 2018

11/9/17 *[Signature]*

**COVER SHEET**

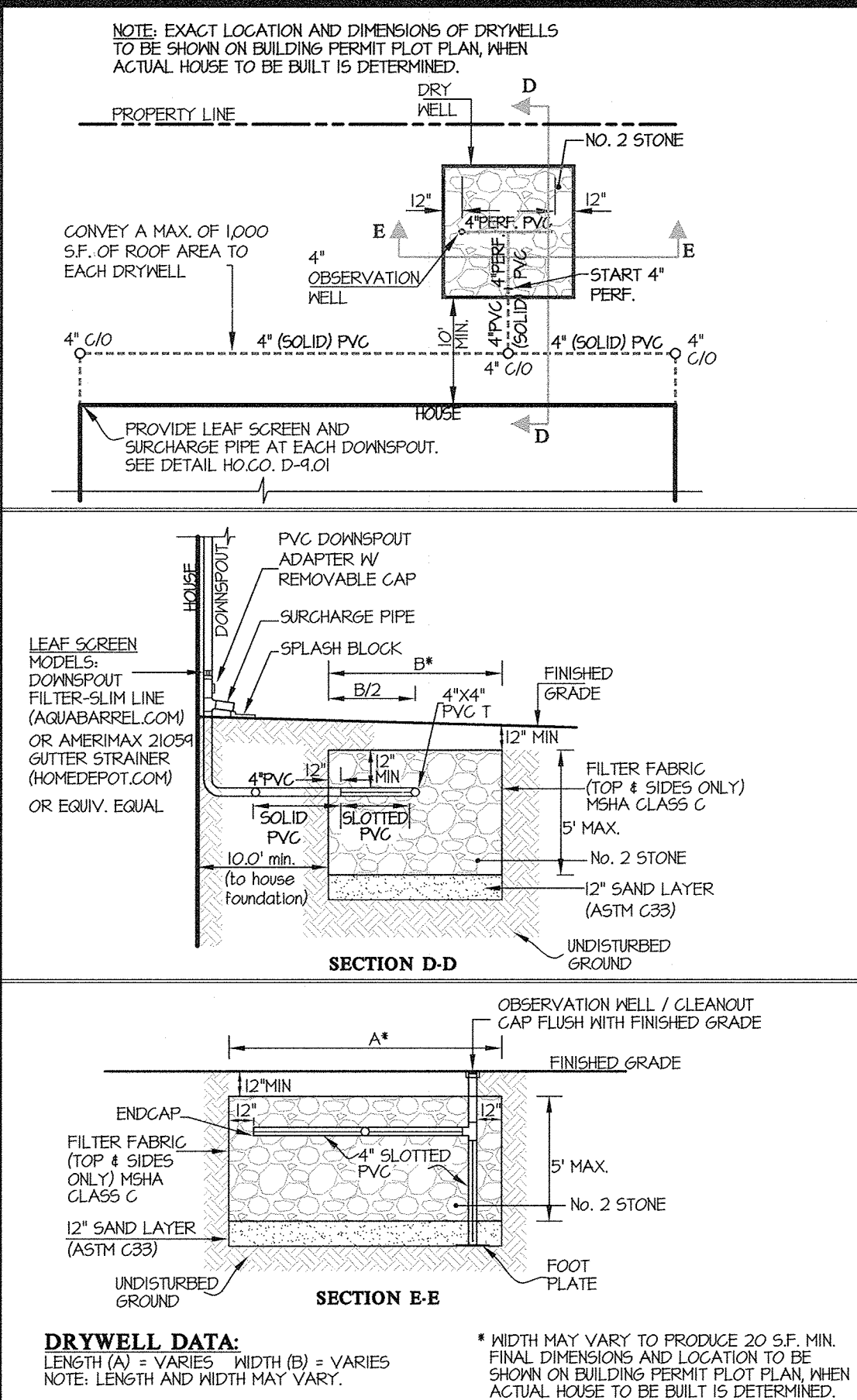
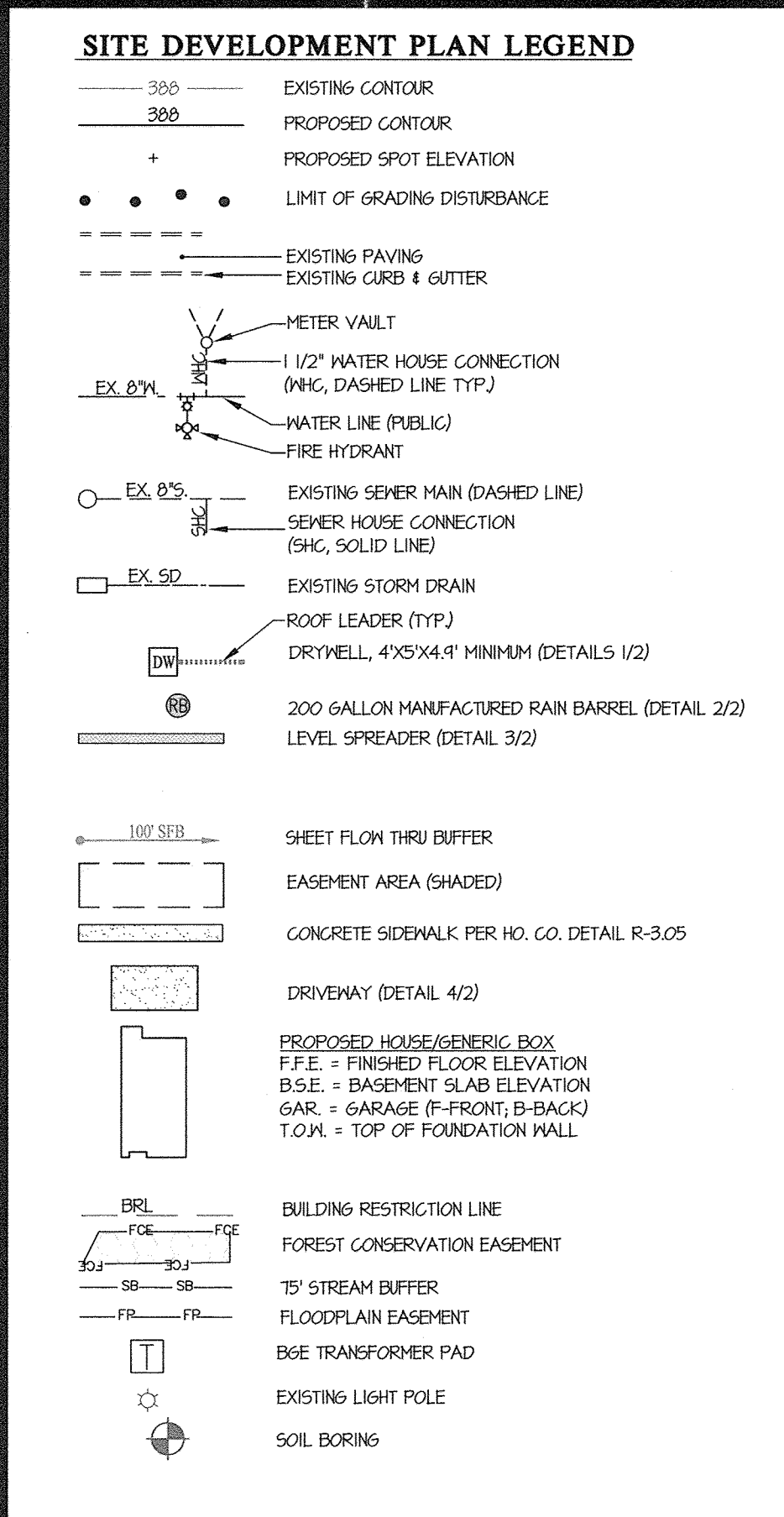
**WESTMOUNT**

PHASE 1 - LOTS 172 & 173, 49-52 and PHASE 2A LOTS 72-80  
(SFD RESIDENTIAL USE)

PLAT Nos. 24123-24138, 24139-24141 and 24389

ELECTION DISTRICT No. 2

SCALE: AS SHOWN	ZONING: R-ED	G. L. W. FILE No.: 15121
DATE: NOV. 2017	TAX MAP - GRID: 23-6,10&12	SHEET: 1 OF 6



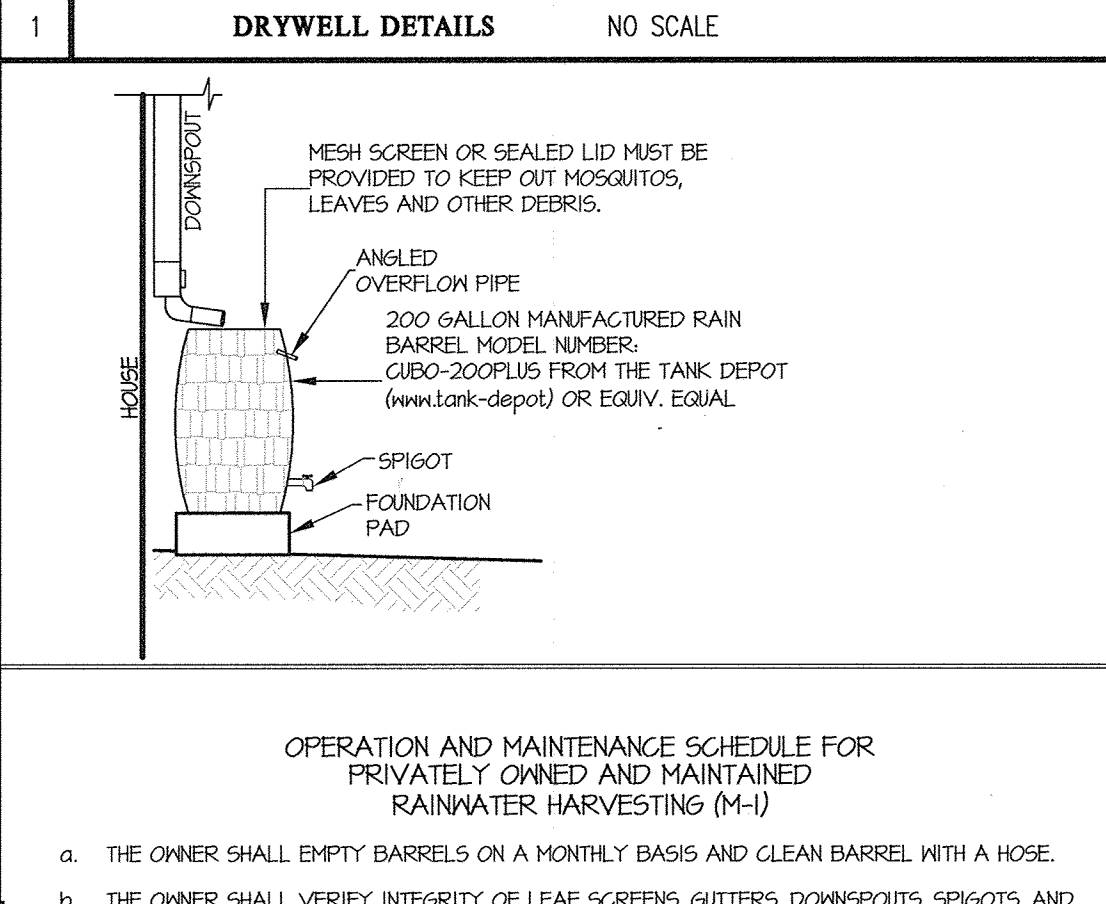
- NOTES:**
- ALL FENCES, GARDEN WALLS, STOOPS AND STEPS ALONG THE R.M. SHALL BE LOCATED BEHIND THE PUBLIC SIDEWALK EASEMENT.
  - BRICK POINT ALL BUILDING CONSTRUCTION UNLESS NOTED OTHERWISE.
  - ALL M.V.C.'S TO THE SUBJECT LOTS OF THIS S.D.P. ARE 1/2" PER CONTRACT NO. 24-4876-D AND THE WATER METER VAULTS ARE IN THE R.O.M.
  - SEE THE CHART THIS SHEET FOR SHC INFORMATION. CONTRACTOR SHALL CHECK AND VERIFY THE SEWER HOUSE ELEVATIONS AT THE PROPERTY LINE PRIOR TO CONSTRUCTION.
  - ALL BUILDING WALLS WITHIN 10' OF A B&E TRANSFORMER SHALL BE CONSTRUCTED FOR A MINIMUM FIRE RESISTANCE RATING OF 3 HOURS.
  - FOR DRIVEWAY APRONS IN THE PUBLIC RIGHT-OF-WAY SEE DPM R-6-01 AND R-6-03.
  - ON-LOT ESD STORMWATER DEVICES (DRYWELL, RAIN BARRELS, ROOF TOP DISCONNECT, ETC.) SHOWN ON THIS S.D.P. ARE CONCEPTUAL IN NATURE BECAUSE "GENERIC BOXES" ARE SHOWN INSTEAD OF ACTUAL HOUSES. THEREFORE, THE APPLICABLE ON-LOT ESD DEVICES SHALL BE FINALIZED AND SUBMITTED ALONG WITH ANY NECESSARY COMPUTATIONS AS PART OF THE BUILDING PERMIT FLOT PLAN PACKAGE FOR AN ACTUAL HOUSE TO BE PERMITTED FOR CONSTRUCTION. FINAL ESD INFORMATION TO BE INCLUDED, AS APPLICABLE, WITH THE BUILD PERMIT FLOT PLAN PACKAGE ARE AS FOLLOWS:
    - ROOF TOP DISCONNECT (N.D.): DISCONNECT LENGTH FROM DOWN SPOUTS
    - RAIN BARRELS (M-1): LOCATION OF THE 200-GALLON BARREL AT BOTTOM OF A DOWN SPOUT.
    - DRYWELLS (M-2): FINAL SIZE (L/W/D) AND LOCATION DIMENSIONS OF EACH DRYWELL, GERMANE ELEVATIONS, INVERT VALUES AND PIPE SYSTEM CONNECTING DOWNSPOUTS TO DRYWELL. THE TOTAL ROOF AREA DRAINING TO AN INDIVIDUAL DRYWELL CANNOT EXCEED 1000 SF.

- DRYWELL NOTES:**
- DRYWELLS SHOULD NOT BE PLANNED IN THE PROXIMITY OF THE STEEPLY SLOPING AREAS AS THE STABILITY OF THE SLOPE MAY BE IMPACTED. IF CONSTRUCTION OF THE SWM FACILITIES IN SLOPING AREAS IS UNAVOIDABLE, THE FACILITIES SHOULD BE LINED TO REDUCE THE POTENTIAL FOR INFILTRATION AND SEEPAGE TOWARD THE SLOPE.
  - IN ADDITION TO STANDARD MDE REQUIREMENTS, THE CONTRACTOR SHOULD BE PREPARED TO DEWATER EXCAVATIONS AND MAINTAIN TRAFFICABILITY OF THE SWM AREAS DURING CONSTRUCTION. ALL EXCAVATIONS SHOULD BE PROPERLY SHORED AND SUPPORTED IN ACCORDANCE WITH THE LATEST OSHA REQUIREMENTS. IF INFILTRATION FACILITY AREAS ARE EXCAVATED USING A LOADER, THE CONTRACTOR SHOULD USE MUD-TRACK OR LIGHTWEIGHT EQUIPMENT WITH TURF TIRES TO MINIMIZE COMPACTION OF THE SUBGRADE SOILS. EXCESSIVE COMPACTION WITHIN THE INFILTRATION AREA WILL RESULT IN POOR PERFORMANCE OF THE FACILITIES. THE BASE OF THE INFILTRATION FACILITIES SHOULD BE FILLED IN ORDER TO ALLEVIATE ANY COMPACTION OF THE SUBGRADE BY EXCAVATION EQUIPMENT. BACKFILL OF THE INFILTRATION FACILITIES SHOULD BE PERFORMED IN ACCORDANCE WITH MDE GUIDELINES.
- OPERATION AND MAINTENANCE SCHEDULE FOR PRIVATELY OWNED AND MAINTAINED STORMWATER INFILTRATION TRENCHES (I-1), DRY WELLS (M-5)**
- THE OWNER SHALL INSPECT THE MONITORING WELLS AND STRUCTURES ON A QUARTERLY BASIS AND AFTER EVERY HEAVY STORM EVENT.
  - THE OWNER SHALL RECORD THE WATER LEVELS AND SEDIMENT BUILD UP IN THE MONITORING WELLS OVER A PERIOD OF SEVERAL DAYS TO INSURE TRENCH DRAINAGE.
  - THE OWNER SHALL MAINTAIN A LOG BOOK TO DETERMINE THE RATE AT WHICH THE FACILITY DRAINS.
  - WHEN THE FACILITY BECOMES CLOGGED SO THAT IT DOES NOT DRAIN WITHIN A SEVENTY-TWO (72) HOUR PERIOD, CORRECTIVE ACTION SHALL BE TAKEN.
  - THE MAINTENANCE LOG BOOK SHALL BE AVAILABLE TO HOWARD COUNTY FOR INSPECTION TO INSURE COMPLIANCE WITH OPERATION AND MAINTENANCE CRITERIA.
  - ONCE THE PERFORMANCE CHARACTERISTICS OF THE INFILTRATION FACILITY HAVE BEEN VERIFIED, THE MONITORING SCHEDULE CAN BE REDUCED TO AN ANNUAL BASIS UNLESS THE PERFORMANCE DATA INDICATES THAT A MORE FREQUENT SCHEDULE IS REQUIRED.

**SEWER HOUSE CONNECTIONS MINIMUM CELLAR ELEVATIONS**  
↑ INVERT ELEVATION @ P.L.

LOT	M.C.E.	LOT	M.C.E.
172	438.78	T2	437.84
173	438.03	T3	437.45
44	432.25	T4	437.66
50	430.91	T5	434.91
51	431.82	T6	433.75
52	431.95	T7	434.22
		T8	434.41
		T9	435.51
		T0	432.80

NOTE: ALL SEWER HOUSE CONNECTIONS ARE 4".

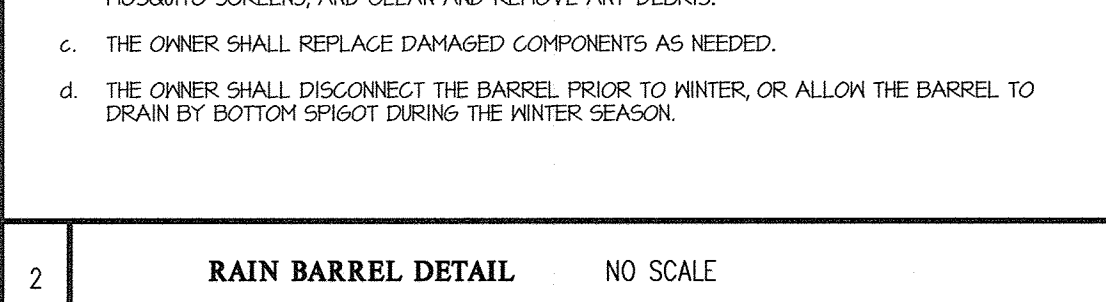


APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

Director: *Walter J. Jaffe* 12-4-17 Date

Chief, Division of Land Development: *Walter J. Jaffe* 12-4-17 Date

Chief, Development Engineering Division: *Walter J. Jaffe* 12-4-17 Date



**GLWGUTSCHICK LITTLE & WEBER, P.A.**  
CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS  
3909 NATIONAL DRIVE, SUITE 250 - BURTOWNVILLE OFFICE PARK  
BURTOWNVILLE, MARYLAND 20898  
TEL: 301-421-4024 BAL: 410-889-1820 DC/VA: 301-989-2524 FAX: 301-421-4186

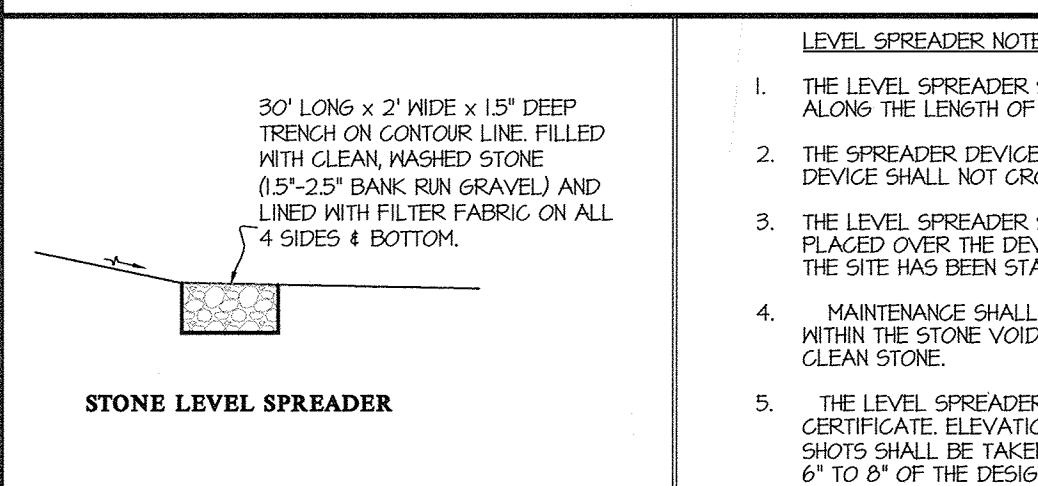
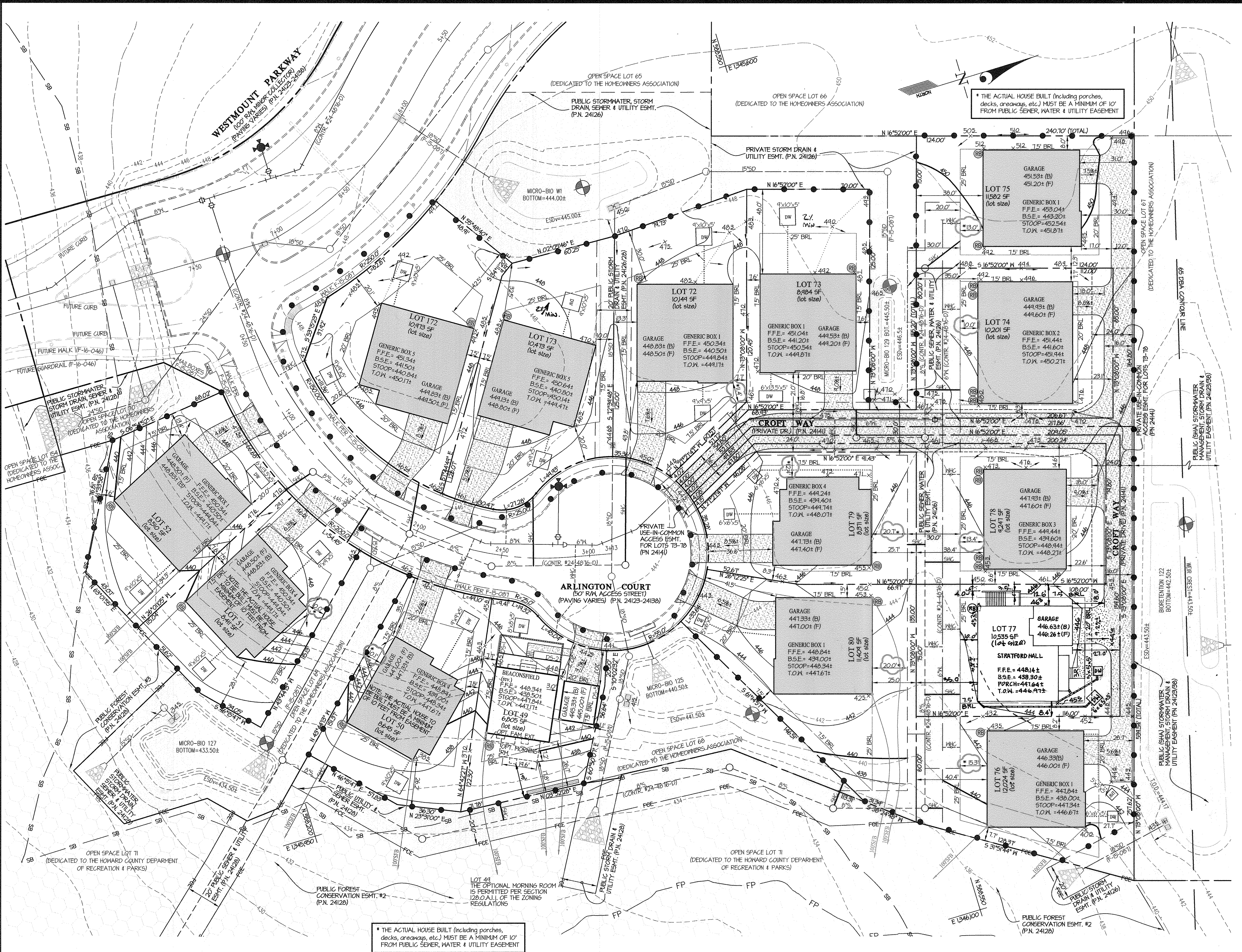
**RAIN BARREL DETAIL** NO SCALE

30" LONG x 2" WIDE x 15" DEEP TRENCH ON CONTOUR LINE FILLED WITH CLEAN WASHED STONE (1/2"-2 1/2" BANK RUN GRAVEL) AND LINED WITH FILTER FABRIC OR ALL 3 SIDES & BOTTOM.

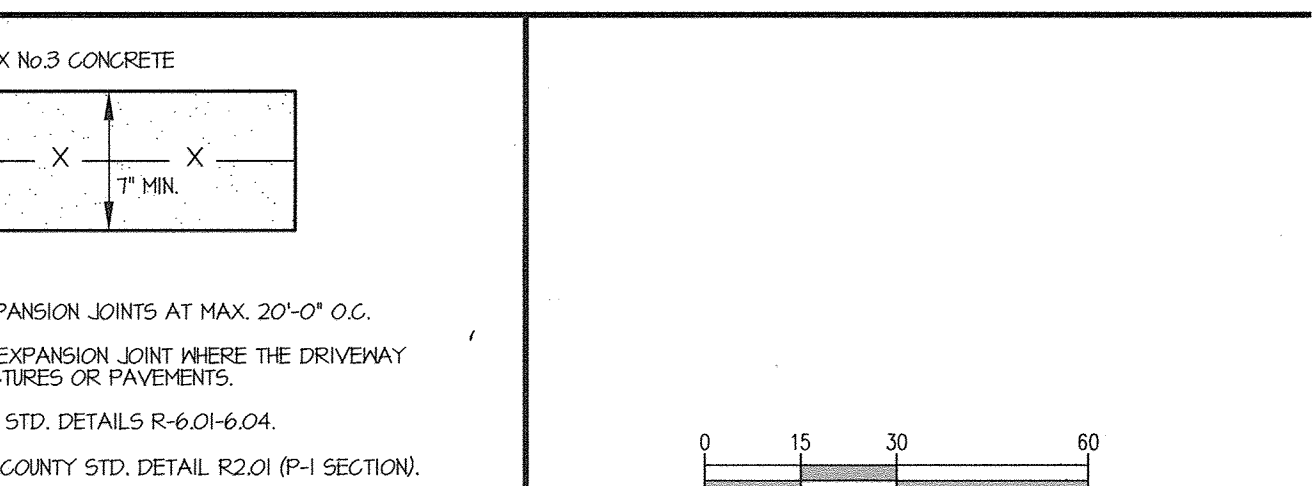
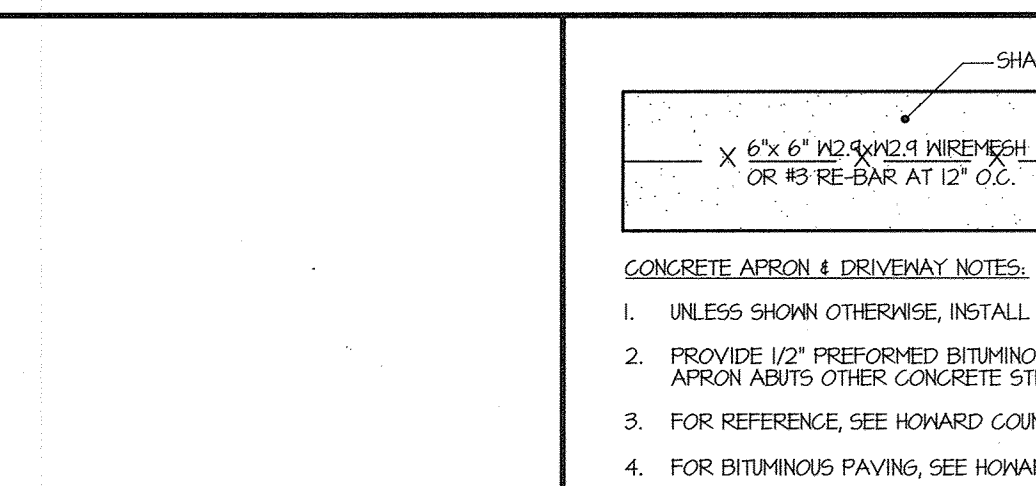
**LEVEL SPREADER DETAILS** NO SCALE

LEVEL SPREADER NOTES:

- THE LEVEL SPREADER SHALL BE CONSTRUCTED WITH THE TOP OF THE DEVICE AT AN EQUAL ELEVATION AT ALL POINTS ALONG THE LENGTH OF THE DEVICE.
- THE SPREADER DEVICE SHALL BE LOCATED ON THE RESIDENTIAL PROPERTY, OUTSIDE THE BUILDABLE LOT AREA. THE DEVICE SHALL NOT CROSS PROPERTY LINES.
- THE LEVEL SPREADER SHALL BE INSTALLED AFTER THE CONTRIBUTING SITE HAS BEEN STABILIZED UNLESS FILTER FABRIC IS PLACED OVER THE DEVICE IMMEDIATELY AFTER CONSTRUCTION TO PREVENT SEDIMENT FROM ENTERING THE DEVICE. AFTER THE SITE HAS BEEN STABILIZED AND WITH THE INSPECTOR'S APPROVAL, THE FABRIC MAY BE REMOVED.
- MAINTENANCE SHALL BE PERFORMED BY THE OWNER OF THE LEVEL SPREADER WHEN SEDIMENT IS VISUALLY APPARENT WITHIN THE STONE VOIDS. THE PORTION OF THE STONES THAT ARE AFFECTED SHALL BE REMOVED AND REPLACED WITH CLEAN STONE.
- THE LEVEL SPREADER DEVICE SHALL BE LOCATED BOTH HORIZONTALLY AND VERTICALLY ON THE AS-BUILT GRADING CERTIFICATE ELEVATIONS SHALL BE TAKEN ON THE LOW SIDE OF THE SPREADER AT THE STONE/GROUND INTERFACE. SPOT SHOTS SHALL BE TAKEN EVERY FIVE (5) FEET AND AT EACH END. THE LEVEL SPREADER SHALL BE CONSTRUCTED TO WITHIN 6" TO 8" OF THE DESIGN ELEVATION TO BE CONSIDERED AS HAVING ACCEPTABLE VERTICAL TOLERANCES.



- LEVEL SPREADER NOTES:**
- THE LEVEL SPREADER SHALL BE CONSTRUCTED WITH THE TOP OF THE DEVICE AT AN EQUAL ELEVATION AT ALL POINTS ALONG THE LENGTH OF THE DEVICE.
  - THE SPREADER DEVICE SHALL BE LOCATED ON THE RESIDENTIAL PROPERTY, OUTSIDE THE BUILDABLE LOT AREA. THE DEVICE SHALL NOT CROSS PROPERTY LINES.
  - THE LEVEL SPREADER SHALL BE INSTALLED AFTER THE CONTRIBUTING SITE HAS BEEN STABILIZED UNLESS FILTER FABRIC IS PLACED OVER THE DEVICE IMMEDIATELY AFTER CONSTRUCTION TO PREVENT SEDIMENT FROM ENTERING THE DEVICE. AFTER THE SITE HAS BEEN STABILIZED AND WITH THE INSPECTOR'S APPROVAL, THE FABRIC MAY BE REMOVED.
  - MAINTENANCE SHALL BE PERFORMED BY THE OWNER OF THE LEVEL SPREADER WHEN SEDIMENT IS VISUALLY APPARENT WITHIN THE STONE VOIDS. THE PORTION OF THE STONES THAT ARE AFFECTED SHALL BE REMOVED AND REPLACED WITH CLEAN STONE.
  - THE LEVEL SPREADER DEVICE SHALL BE LOCATED BOTH HORIZONTALLY AND VERTICALLY ON THE AS-BUILT GRADING CERTIFICATE ELEVATIONS SHALL BE TAKEN ON THE LOW SIDE OF THE SPREADER AT THE STONE/GROUND INTERFACE. SPOT SHOTS SHALL BE TAKEN EVERY FIVE (5) FEET AND AT EACH END. THE LEVEL SPREADER SHALL BE CONSTRUCTED TO WITHIN 6" TO 8" OF THE DESIGN ELEVATION TO BE CONSIDERED AS HAVING ACCEPTABLE VERTICAL TOLERANCES.



PREPARED FOR:

PROPERTY OWNER (SELLER): MANOR INVESTMENTS, LLC  
100 WEST PENNSYLVANIA AVE.  
SUITE 301  
TOWSON, MD 21284  
PH: 443-367-0422  
ATTN: Robert Goodier

BLAUNDER (CONTRACT PURCHASER): NW INC.  
9720 PATUENT WOODS DR.  
COLUMBIA, MD 21046  
PH: 410-379-5956  
ATTN: Robert Grothmann

PROFESSIONAL CERTIFICATION

I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 12872, EXPIRATION DATE: MAY 28, 2018.

11/9/17 *Cliff*

**SITE DEVELOPMENT PLAN**

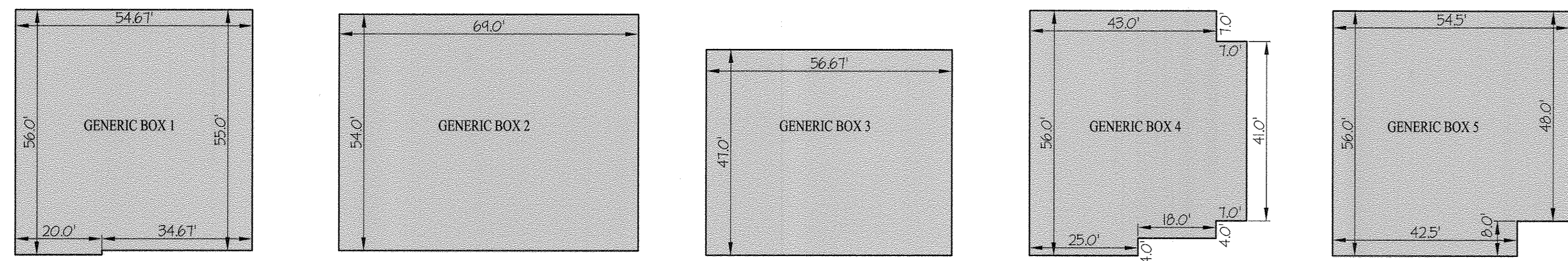
**WESTMOUNT**  
PHASE 1 - LOTS 172 & 173, 49-52 AND PHASE 2A LOTS 72-80  
(SFD RESIDENTIAL USE)  
PLAT Nos. 24123-24138, 24139-24141 and 24389

ELECTION DISTRICT No. 2

HOWARD COUNTY, MARYLAND



TYPICAL HOUSE FOOTPRINTS AND ELEVATIONS  
(STANDARD (STD) ORIENTATION SHOWN) SCALE: 1" = 20'



GENERIC BOX HOUSE FIT CHART

HOUSE TYPE	GENERIC BOX 1			GENERIC BOX 2			GENERIC BOX 3			GENERIC BOX 4			GENERIC BOX 5		
	HOUSE FIT (comments)	Opt. Morning Room	Opt. 1-Car Side Attached Garage	HOUSE FIT (comments)	Opt. Morning Room	Opt. 1-Car Side Attached Garage	HOUSE FIT (comments)	Opt. Morning Room	Opt. 1-Car Side Attached Garage	HOUSE FIT (comments)	Opt. Morning Room	Opt. 1-Car Side Attached Garage	HOUSE FIT (comments)	Opt. Morning Room	Opt. 1-Car Side Attached Garage
BALDWIN	YES			YES			NO			YES			YES		
DANVILLE	YES			NO			NO			YES			YES		
TYLER	YES			YES (a.)			NO			YES			YES		
BRIDGEWATER	YES		NO	YES		YES	YES		NO	YES		NO	YES		NO
MARYMOUNT	YES		YES	YES		YES	YES		NO	NO		NO	YES		NO
STRATFORD HALL	YES		NO	YES		YES	NO		NO	NO		NO	YES		NO
LONGWOOD	YES		NO	YES		YES	YES		NO	YES		NO	YES		NO
RADFORD	YES			NO			NO			NO			YES		NO
BEACONSFIELD w/Side Attached Garage	NO			YES		YES	NO			NO			NO		NO
BEACONSFIELD w/ Detached Garage	NO			NO			NO			NO			NO		NO

NOTES:  
 1.) CALCULATIONS MAY BE REQUIRED TO CONFIRM OPTIONAL ROOMS and PORCHES FIT LOT per Section 128.A.1.d and 128.1.j. ZONING REGULATIONS, PER SECTION 128.0.a.1.i. OF THE ZONING REGULATIONS, ROOM EXTENSIONS and BUILDING ADDITIONS MAY EXTEND 10 FEET INTO A REAR SETBACK, ALONG NOT MORE THAN 60% OF THE REAR FACE OF A DWELLING ON A LOT WHICH ADJOINS OPEN SPACE ALONG A MAJORITY OF THE REAR LOT LINE. THIS REGULATION ONLY APPLIES TO LOTS 49-52, 72-73, 75 & 172-173.  
 2.) BUILDING FEATURES THAT CAN PROJECT INTO YARD SETBACKS IN ACCORDANCE WITH SECTION 128.A.1 OF THE HOWARD COUNTY ZONING REGULATIONS CAN ALSO PROJECT BEYOND THE GENERIC BOX, BUT SAID FEATURES CANNOT PROJECT INTO ANY EASEMENTS.  
 3.) AREAWAYS and/or STAIRWAYS ATTACHED TO A PORCH/DECK MUST MEET Section 128.A.1.e ZONING REGULATIONS.  
 4.) PER SECTION 128.0.12.a(1)(a) OF THE ZONING REGULATIONS, DETACHED GARAGES MAY NOT EXCEED 600 SQUARE FEET IN SIZE.  
 5.) FOR BUILDING PERMIT APPLICATION, A PLOT PLAN SHOWING THE ACTUAL HOUSE TYPE TO BE CONSTRUCTED WITHIN THE GENERIC BOX ON A PARTICULAR LOT SHALL BE SUBMITTED ALONG WITH COPIES OF THE APPROVED SDP.

GENERIC BOXES SCALE: 1" = 20'

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING  
 Director: *[Signature]* 12-4-17  
 Chief, Division of Land Development: *[Signature]* 12-4-17  
 Chief, Development Engineering Division: *[Signature]* 12-1-17

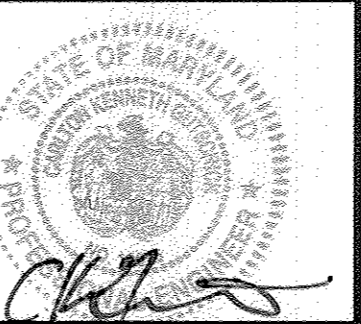
**GLWGUTSCHICK LITTLE & WEBER, P.A.**  
 CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS  
 3909 NATIONAL DRIVE - SUITE 250 - BURTONGVILLE OFFICE PARK  
 BURTONGVILLE, MARYLAND 20866  
 TEL: 301-421-4024 BALT: 410-880-1820 DC/VA: 301-989-2524 FAX: 301-421-4186

DES. KLP DRN. KLP CHK. CKG

DATE	REVISION	BY	APP'R.

PREPARED FOR:  
 PROPERTY OWNER (SELLER): MAJOR INVESTMENTS, LLC  
 100 WEST PENNSYLVANIA AVE. SUITE 301  
 TOWSON, MD 21284  
 PH: 443-367-0422  
 ATN: Robert Goodier

PROFESSIONAL CERTIFICATION  
 I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 12875  
 EXPIRATION DATE: MAY 28, 2018  
*[Signature]*



SITE DETAILS  
**WESTMOUNT**  
 PHASE 1 - LOTS 172 & 173, 49-52 and PHASE 2A LOTS 72-80  
 (SFD RESIDENTIAL USE)  
 PLAT Nos. 24123-24138, 24139-24141 and 24389  
 HOWARD COUNTY, MARYLAND

SCALE	ZONING	G. L. W. FILE No.
1" = 20'	R-ED	15121
DATE	TAX MAP - GRID	SHEET
NOV. 2017	23-6,10&12	3 OF 6

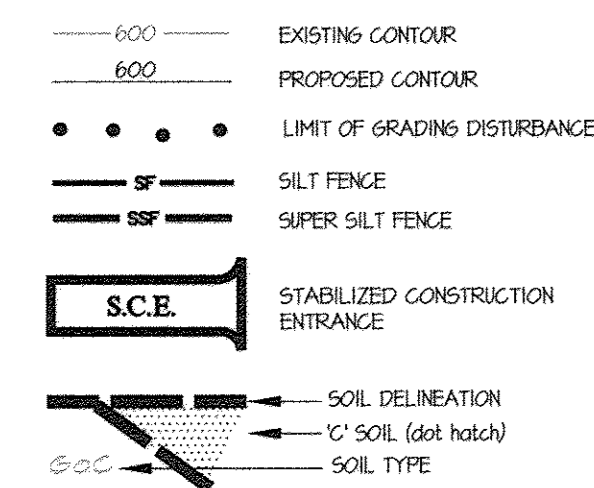
**SEQUENCE OF CONSTRUCTION**

1. APPLY FOR A GRADING PERMIT AND SCHEDULE A PRE-CONSTRUCTION MEETING WITH THE COUNTY SEDIMENT CONTROL INSPECTOR (CSCI). OBTAIN GRADING PERMIT FROM THE CSCI AT THE MEETING. Duration: 1/2 day.
2. FOR EACH LOT UNDER GOING CONSTRUCTION, INSTALL THE STABILIZED CONSTRUCTION ENTRANCES (SCE), SILT FENCES (-SF-) AND SUPER SILT FENCES (-SSF-). UPGRADE OR INSTALL ADDITIONAL SEDIMENT CONTROL MEASURES AS DIRECTED BY THE CSCI. Duration: 1-day.
3. EXCAVATE AND GRADE THE SITE FOR HOUSE CONSTRUCTION. GRADING FOR HOUSES ON LOTS 49 & 76-80 MUST BE LAST. AFTER THE EXISTING SEDIMENT TRAP CONSTRUCTED UNDER F-15-087 HAS BEEN BACKFILLED & MICRO-BIO 125 HAS BEEN INSTALLED. PROVIDE DUST CONTROL AS NECESSARY. Duration: 2 days.
4. CONSTRUCT THE FOUNDATION, INSTALL UTILITY CONNECTIONS, BUILD THE HOUSE AND INSTALL THE DRYWELLS. Duration: 3-4 months.  
NOTE: ONCE THE ROOF GUTTER AND DOWN SPOUTS ARE INSTALLED, PIPE THEM TO THE DRYWELLS. A REGULAR IMPERVIOUS, (NON-POROUS) DRIVEWAY MAY BE INSTALLED AT ANY TIME DURING HOUSE CONSTRUCTION.
5. AS EACH HOUSE NEARS COMPLETION, FINE GRADE THE LOT, INSTALL PLANT MATERIALS AND STABILIZE ALL BARE DIRT AREA WITH PERMANENT SEEDING OR WITH SOD (SEE SDC #6). Duration: 2-days.
6. ONCE THE AREA DRAINING TO THE SEDIMENT CONTROL MEASURES HAVE BEEN STABILIZED, OBTAIN PERMISSION FROM THE CSCI TO REMOVE THE SEDIMENT CONTROL ITEMS. Duration: 1/2 day.
7. OBTAIN USE AND OCCUPANCY PERMIT FOR SETTLEMENT.

**NOTES:**

1. TEMPORARY SWM IS PROVIDED BY THE EXISTING SEDIMENT TRAP PER F-15-087.
2. IF HOUSE CONSTRUCTION IS CONCURRENT WITH ROAD CONSTRUCTION, COORDINATE THE WORK ON THESE PLANS WITH F-15-087.
3. SOILS SHOWN ARE PRE-DEVELOPMENT CONDITION. THE SITE IS MASS GRADED UNDER F-15-087 AND ALL SOILS WILL BE CONSIDERED "MAN-MADE".
4. SEEDING AND STABILIZATION IS TO BE PERFORMED AT THE DIRECTION OF THE SEDIMENT CONTROL INSPECTOR OR IN COMPLIANCE WITH THE STANDARD SEEDING AND STABILIZATION NOTES WHICHEVER IS MORE RESTRICTIVE.
5. STANDARD SILT FENCE CAN BE CHANGED TO SUPER SILT FENCE AT THE DIRECTION OF THE SEDIMENT CONTROL INSPECTOR.
6. WHEN SUPER SILT FENCE IS RUNNING AT A SLOPE GREATER THEN 5% FOR A DISTANCE OVER 50' CURB SUPER SILT FENCE UP 2' FOR EVERY 2' OF ELEVATION CHANGE ALONG THE SUPER SILT FENCE.

**SEDIMENT CONTROL LEGEND**



**ENGINEER'S CERTIFICATE**

I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

*CK* DATE: 11/9/17

**BUILDER'S CERTIFICATE**

I/CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A MARYLAND DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HSDC.

*Paul Thomas* DATE: 11/9/17

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

*John R. Robertson* DATE: 11/21/17  
HOWARD S.C.D.

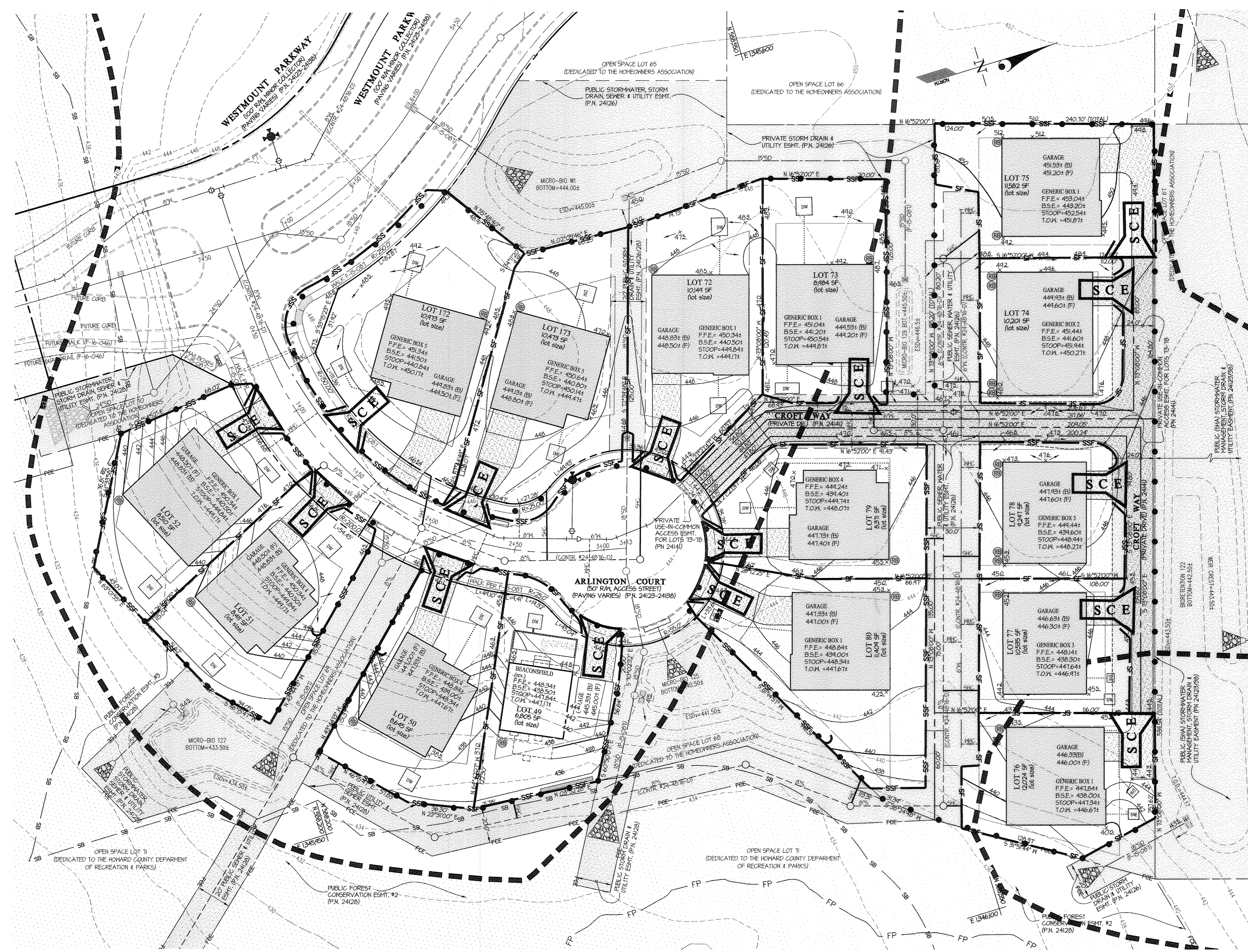
APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

*William J. ...* DATE: 12-4-17  
Director

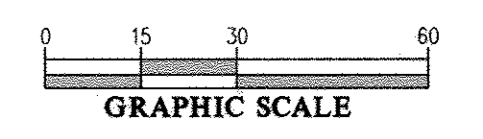
*...* DATE: 12-4-17  
Chief, Division of Land Development

*...* DATE: 12-1-17  
Chief, Development Engineering Division

**GLWGUTSCHICK LITTLE & WEBER, P.A.**  
CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS  
3909 NATIONAL DRIVE - SUITE 250 - BURTNSVILLE OFFICE PARK  
BURTNSVILLE, MARYLAND 20866  
TEL: 301-421-4024 BALT: 410-880-1820 DC/VA: 301-989-2524 FAX: 301-421-4186



THIS PLAN IS FOR SEDIMENT CONTROL PURPOSES ONLY



**SEDIMENT CONTROL PLAN**

**WESTMOUNT**  
PHASE 1 - LOTS 172 & 173, 49-52 and PHASE 2A LOTS 72-80  
(SFD RESIDENTIAL USE)  
PLAT Nos. 24123-24138, 24139-24141 and 24389

SCALE	ZONING	G. L. W. FILE No.
1" = 30'	R-ED	15121
DATE	TAX MAP - GRD	SHEET
NOV. 2017	23-6,10&12	4 OF 6

PROFESSIONAL CERTIFICATION  
I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 12279, EXPIRATION DATE: MAY 26, 2018  
11/9/17 *CK*

PREPARED FOR:  
PROPERTY OWNER (SELLER): MANOR INVESTMENTS, LLC, 100 WEST PENNSYLVANIA AVE., SUITE 301, TOWSON, MD 21284, PH: 410-379-5956, ATTN: Robert Goodier  
BUYER (CONTRACT PURCHASER): NVR INC, 9720 PATUXENT WOODS DR., COLUMBIA, MD 21046, PH: 410-379-5956, ATTN: Robert Grothmann

**B-4-2 STANDARD AND SPECIFICATIONS FOR SOIL PREPARATION, TOPSOILING, AND SOIL AMENDMENTS**

**DEFINITION:** THE PROCESS OF PREPARING THE SOILS TO PERMIT ADEQUATE VEGETATIVE STABILIZATION.

**PURPOSE:** TO PROVIDE A SUITABLE SOIL MEDIUM FOR VEGETATIVE GROWTH WHERE VEGETATIVE STABILIZATION IS TO BE ESTABLISHED.

**CONDITIONS WHERE PRACTICE APPLIES:** CRITERIA

**A. SOIL PREPARATION**

**1. TEMPORARY STABILIZATION**

- SEEDING PREPARATION CONSISTS OF LOOSENING SOIL TO A DEPTH OF 3 TO 5 INCHES BY MEANS OF SUITABLE AGRICULTURAL OR CONSTRUCTION EQUIPMENT, SUCH AS DISC HARROWS OR CHISEL PLOWES OR ROLLERS MOUNTED ON CONSTRUCTION EQUIPMENT. AFTER THE SOIL IS LOOSENED, IT MUST NOT BE ROLLED OR DRAGGED SMOOTH BUT LEFT IN THE ROUGHENED CONDITION. ROLLS 3.1 OR FLATTER ARE TO BE TRACKED WITH DISKS RUNNING PARALLEL TO THE CENTER OF THE ROLL.
- APPLY FERTILIZER AND LIME AS PRESCRIBED ON THE PLANS.
- APPLY TOPSOIL TO FERTILIZER INTO THE TOP 3 TO 5 INCHES OF SOIL BY DISKING OR OTHER SUITABLE MEANS.

**2. PERMANENT STABILIZATION**

- A SOIL TEST IS REQUIRED FOR ANY EARTH DISTURBANCE OF 5 ACRES OR MORE. THE MINIMUM SOIL CONDITIONS REQUIRED FOR PERMANENT VEGETATIVE ESTABLISHMENT ARE:  
I. SLOPE: PH BETWEEN 6.0 AND 7.0.  
II. SOLUBLE SALTS: LESS THAN 500 PARTS PER MILLION (PPM).  
III. SOIL CONTAINS LESS THAN 40 PERCENT CLAY BUT ENOUGH FINE GRAINED MATERIAL (GREATER THAN 30 PERCENT SILT PLUS CLAY) TO PROVIDE THE CAPACITY TO HOLD A LIQUID (GREATER THAN 10 PERCENT) WITHOUT EXCESSIVE LOSS OF WATER. IN SANDY SOILS, THAT A SANDY SOIL (LESS THAN 30 PERCENT SILT PLUS CLAY) WOULD BE ACCEPTABLE.
- SOIL CONTAINS 1.5 PERCENT MINIMUM ORGANIC MATTER BY WEIGHT.
- VOL. SOIL CONTAINS SUFFICIENT PORE SPACE TO PERMIT ADEQUATE ROOT PENETRATION.
- APPLICATION OF AMENDMENTS OR TOPSOIL IS REQUIRED IF ON-SITE SOILS DO NOT MEET THE ABOVE CONDITIONS.
- GRADED AREAS MUST BE DELIVERED IN A TRUE AND EVEN GRADE AS SPECIFIED ON THE APPROVED PLAN, THEN SCARIFIED OR OTHERWISE LOOSENED TO A DEPTH OF 3 TO 5 INCHES.
- APPLY SOIL AMENDMENTS AS SPECIFIED ON THE APPROVED PLAN OR AS INDICATED BY THE RESULTS OF A SOIL TEST.
- MIX SOIL AMENDMENTS INTO THE TOP 3 TO 5 INCHES OF SOIL BY DISKING OR OTHER SUITABLE MEANS. RAKE LAWN AREAS TO SMOOTH THE SURFACE. REMOVE LARGE ROCKS, LIMB STUMPS AND BRANCHES, AND RAKE THE AREA FOR SEED APPLICATION. LOOSEN SURFACE SOIL BY DRAGGING WITH A HEAVY CHAIN OR OTHER EQUIPMENT TO ROUGHEN THE SURFACE. THE SURFACE SHOULD BE SMOOTHED AND SMOOTHED PREPARATION. TRACK SLOPES 3:1 OR FLATTER WITH TRACKED EQUIPMENT LEAVING THE SOIL IN AN IRREGULAR CONDITION WITH HIGHS RUNNING PARALLEL TO THE CENTER OF THE SLOPE. LEAVE THE TOP 1 TO 3 INCHES OF SOIL LOOSE AND FRAGILE. SEEDING LOOSENESS MAY BE UNNECESSARY ON NEARLY DISTURBED AREAS.

**B. TOPSOILING**

- TOPSOIL IS PLACED OVER PREPARED SUBSOIL PRIOR TO ESTABLISHMENT OF PERMANENT VEGETATION. THE PURPOSE IS TO PROVIDE A SUITABLE SOIL MEDIUM FOR VEGETATIVE GROWTH. SOILS OF CONCERN HAVE LOW MOISTURE CONTENT, LOW NUTRIENT LEVELS, LOW PH, MATERIALS TOXIC TO PLANTS, AND/OR ARE IN THE SOIL SURVEY AREA. TOPSOILING IS TO BE SALVAGED FROM A GIVEN SOIL TYPE CAN BE FOUND IN THE REPRESENTATIVE SOIL PROFILES LISTED IN THE SOIL SURVEY REPORT BY USDA-NRCS.
- TOPSOILING IS LIMITED TO AREAS HAVING 2:1 OR FLATTER SLOPES WHERE:  
a. THE TEXTURE OF THE EXPOSED SUBSOIL/PARENT MATERIAL IS NOT ADEQUATE TO PROVIDE VEGETATIVE STABILIZATION.  
b. THE SOIL MATERIAL IS SO SHALLOW THAT THE ROOTING ZONE IS NOT DEEP ENOUGH TO OBTAIN PLANTS OR FURNISH CONTINUING SUPPLIES OF MOISTURE AND PLANT NUTRIENTS.  
c. THE ORIGINAL SOIL TO BE VEGETATED CONTAINS MATERIAL TOXIC TO PLANT GROWTH.  
d. THE SOIL IS SO ACIDIC THAT VEGETATION IS NOT SUITABLE.
- AREAS HAVING SLOPES STEEPER THAN 2:1 REQUIRE SPECIAL CONSIDERATION AND DESIGN.
- TOPSOILING SPECIFICATIONS: SOIL TO BE USED AS TOPSOIL MUST MEET THE FOLLOWING CRITERIA:  
a. TOPSOIL MUST BE A LOAM, SANDY LOAM, CLAY LOAM, SILT LOAM, SANDY CLAY LOAM, OR LOAMY SAND. OTHER SOILS MAY BE USED IF RECOMMENDED BY AN AGRONOMIST OR SOIL SCIENTIST AND APPROVED BY THE APPROPRIATE AUTHORITY. TOPSOIL MUST NOT BE A MIXTURE OF CONTRASTING TEXTURED SUBSOILS AND MUST CONTAIN LESS THAN 5 PERCENT BY WEIGHT OF COARSE STONES, SLAG, COARSE FRAGMENTS, GRAVEL, STICKS, ROOTS, TRASH, OR OTHER MATERIALS LARGER THAN 1.5 INCHES IN DIAMETER.  
b. TOPSOIL MUST BE FREE OF NOXIOUS PLANTS OR PLANT PARTS SUCH AS BERBERIS, GRASS, QUACK GRASS, JOHNSON GRASS, OR SEED, FRUIT, WOOD, TWIG, OR OTHERS AS SPECIFIED.  
c. TOPSOIL SUBSTITUTES OR AMENDMENTS, AS RECOMMENDED BY A QUALIFIED AGRONOMIST OR SOIL SCIENTIST AND APPROVED BY THE APPROPRIATE AUTHORITY, MAY BE USED IN PLACE OF NATURAL TOPSOIL.
- TOPSOIL APPLICATION  
a. EROSION AND SEDIMENT CONTROL PRACTICES MUST BE MAINTAINED WHEN APPLYING TOPSOIL.  
b. UNIFORMLY DISTRIBUTE TOPSOIL IN A 5 TO 8 INCH LAYER AND LIGHTLY COMPACT TO A MINIMUM THICKNESS OF 4 INCHES. SPREADING IS TO BE PERFORMED IN SUCH A MANNER THAT SOODING OR SEEDING CAN PROCEED WITH A MINIMUM OF ADDITIONAL SOIL PREPARATION AND TILLAGE. ANY IRREGULARITIES IN THE SURFACE RESULTING FROM TOPSOILING OR OTHER OPERATIONS MUST BE CORRECTED IN ORDER TO PREVENT THE FORMATION OF DEPRESSIONS OR WATER POOLS.  
c. TOPSOIL MUST NOT BE PLACED IN A FROZEN OR WET SUBSOIL OR IN A CONDITION THAT WOULD OTHERWISE BE DETRIMENTAL TO PROPER GRADING AND SEEDBED PREPARATION.  
d. SOIL AMENDMENTS (FERTILIZER AND LIME SPECIFICATIONS)

**ENGINEER'S CERTIFICATE**

I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD COUNTY CONSERVATION DISTRICT.

*[Signature]* 11/9/17  
DATE

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD COUNTY CONSERVATION DISTRICT.

*[Signature]* 4/12/17  
DATE

**APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING**

*[Signature]* 12-4-17  
Date

*[Signature]* 12-1-17  
Date

**BUILDER'S CERTIFICATE**

I/WE CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A MARILAND DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HCD.

*[Signature]* 4/19/17  
DATE

**GLWGUTSCHICK LITTLE & WEBER, P.A.**

CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS  
3909 NATIONAL DRIVE - SUITE 250 - BURTNSVILLE OFFICE PARK  
BURTNSVILLE, MARYLAND 20868  
TEL: 301-421-4024 BAL: 410-889-1820 DC/VA: 301-291-2524 FAX: 301-421-4026

**B-4-3 STANDARDS AND SPECIFICATIONS FOR SEEDING AND MULCHING**

**DEFINITION:** THE APPLICATION OF SEED AND MULCH TO ESTABLISH VEGETATIVE COVER.

**PURPOSE:** TO PROTECT DISTURBED SOILS FROM EROSION DURING AND AT THE END OF CONSTRUCTION.

**CONDITIONS WHERE PRACTICE APPLIES:** CRITERIA

**A. SEEDING SPECIFICATIONS**

- ALL SEED MUST MEET THE REQUIREMENTS OF THE MARYLAND STATE SEED LAW. ALL SEED MUST BE SUBJECT TO RE-TESTING BY A RECOGNIZED SEED LABORATORY. ALL SEED USED MUST HAVE BEEN TESTED WITHIN THE 6 MONTHS IMMEDIATELY PRECEDING THE DATE OF SEEDING SUCH MATERIAL ON ANY PROJECT REFER TO TABLE B.4 REGARDING THE QUALITY OF SEED. SEED TAGS MUST BE AVAILABLE UPON REQUEST TO THE INSPECTOR TO VERIFY TYPE OF SEED AND SEEDING RATE.
- MIXED ALGAE MAY BE APPLIED BETWEEN THE FALL AND SPRING SEEDING DATES ONLY IF THE GROUND IS FROZEN. THE APPROPRIATE SEEDING MIXTURE MUST BE APPLIED WITHIN THE 6 MONTHS IMMEDIATELY PRECEDING THE SEEDING DATE.
- INOCULANTS: THE INOCULANT FOR TREATING LEGUME SEED IN THE SEED MIXTURES MUST BE A PURE CULTURE OF NITROGEN FIXING BACTERIA PREPARED SPECIFICALLY FOR THE SPECIES. INOCULANTS MUST NOT BE USED LATER THAN THE DATE INDICATED ON THE CONTAINER. ADD FRESH INOCULANTS AS DIRECTED ON THE PACKAGE. USE FOUR TIMES THE RECOMMENDED RATE WHEN HYDROSEEDING. NOTE: IT IS VERY IMPORTANT TO KEEP INOCULANT AS CLOSE AS POSSIBLE UNTIL USED. TEMPERATURES ABOVE 75 TO 80 DEGREES FAHRENHEIT CAN KILL BACTERIA AND MAKE THE INOCULANT LESS EFFECTIVE.
- SEED OR SEED MIXTURE MUST BE PLACED ON SOIL WHICH HAS BEEN TREATED WITH SOIL STERILANTS OR CHEMICALS FOR WEED CONTROL UNTIL SURFACANT HAS ELAPSED (14 DAYS MIN.) TO PERMIT DISSIPATION OF PHYTO-TOXIC MATERIALS.

**2. APPLICATION**

**a. DRY SEEDING: THIS INCLUDES USE OF CONVENTIONAL DROP OR BROADCAST SEEDING.**

- INCORPORATE SEED INTO THE SUBSOIL AT THE RATES PRESCRIBED ON THE TEMPORARY SEEDING TABLE CONTAINING SEEDING TABLE B.3, OR SITE-SPECIFIC SEEDING SUMMARIES.
- APPLY SEED IN TWO DIRECTIONS, PERPENDICULAR TO EACH OTHER. APPLY SEED AT THE SEEDING RATE IN EACH DIRECTION. ROLL THE SEED AREA WITH A WEIGHTED ROLLER TO PROVIDE GOOD SEED TO SOIL CONTACT.

**b. DRILL OR OUTPACKER SEEDING: MECHANIZED SEEDERS THAT APPLY AND COVER SEED WITH SOIL.**

- CULTIPACKER SEEDERS ARE REQUIRED TO BURY THE SEED IN SUCH A FASHION AS TO PROVIDE AT LEAST 1/4 INCH OF SOIL COVERING SEEDED SEEDS.
- APPLY SEED IN TWO DIRECTIONS, PERPENDICULAR TO EACH OTHER. APPLY HALF THE SEEDING RATE IN EACH DIRECTION.

**c. HYDROSEEDING: APPLY SEED UNIFORMLY WITH HYDROSEEDER (SLURRY INCLUDES SEEDS AND FERTILIZER).**

- FERTILIZER IS BEING APPLIED AT THE TIME OF SEEDING, THE APPLICATION RATES SHOULD NOT EXCEED THE FOLLOWING: NITROGEN, 100 POUNDS PER ACRE. TOTAL OF SOLUBLE NITROGEN, 200S (PHOSPHORUS), 200 POUNDS PER ACRE. POTASSIUM, 200 POUNDS PER ACRE.
- LIME: USE ONLY GOOD AGRICULTURAL LIMESTONE (UP TO 3 TONS PER ACRE) MAY BE APPLIED BY HYDROSEEDING. NORMALLY, NOT MORE THAN 2 TONS ARE APPLIED BY HYDROSEEDING AT ANY ONE TIME. DO NOT USE BURNT OR HYDRATED LIME WHEN APPLYING TO PLANTS. DO NOT APPLY MORE THAN 1/2 TON PER ACRE.
- MIX SEED AND FERTILIZER ON SITE AND SEED IMMEDIATELY AND WITHOUT INTERRUPTION.
- WHEN HYDROSEEDING DO NOT INCORPORATE SEED INTO THE SOIL.

**B. MULCHING**

**1. MULCH MATERIALS (IN ORDER OF PREFERENCE)**

- STRAW CONSISTING OF THOROUGHLY THRESHED WHEAT, RYE, OAT, OR BARLEY AND REASONABLY BRIGHT IN COLOR. STRAW IS TO BE FREE OF NOXIOUS WEED SEEDS AS SPECIFIED IN THE MARYLAND SEED LAW AND NOT MOSTLY MOULDY, CANCERED, DECAYED, OR EXCESSIVELY DUSTY. NOTE: USE ONLY STERILE STRAW MULCH IN AREAS WHERE ONE SPECIES OF GRASS IS DESIRED.
- WOOD CELLULOSE FIBER MULCH: CONSISTING OF SPECIALLY PREPARED WOOD CELLULOSE PROCESSED INTO A UNIFORM FIBROUS PHYSICAL STATE.  
i. WORK IS TO BE GREEN OR CONTAIN A GREEN DYE IN THE PACKAGE THAT WILL PROVIDE AN APPROPRIATE COLOR TO FACILITATE VISUAL INSPECTION OF THE UNIFORM SEED SLURRY.  
ii. WORK IS TO BE OPEN OR CONTAIN A GREEN DYE IN THE PACKAGE THAT WILL PROVIDE AN APPROPRIATE COLOR TO FACILITATE VISUAL INSPECTION OF THE UNIFORM SEED SLURRY.
- WOOD MATERIALS ARE TO BE MANUFACTURED AND PROCESSED IN SUCH A MANNER THAT THE WOOD CELLULOSE FIBER MULCH WILL REMAIN IN UNIFORM SUSPENSION IN WATER UNDER AGITATION AND WILL BLEND WITH SEED, FERTILIZER AND OTHER ADDITIVES TO FORM A HOMOGENEOUS SLURRY. THE MULCH MATERIAL MUST FORM A BUTTER-LIKE GROUND COVER ON THE SURFACE OF THE SOIL. IT MUST BE FREE OF NOXIOUS PLANTS OR PLANT PARTS AND MUST BE FREE OF COARSE FRAGMENTS, GRAVEL, STICKS, ROOTS, TRASH, OR OTHER MATERIALS LARGER THAN 1.5 INCHES IN DIAMETER.
- MULCH ANCHORING TOOLS: A TROPIC DRAWN IMPLEMENT DESIGNED TO PUNCH AND ANCHOR MULCH INTO THE SOIL SURFACE. A MINIMUM OF 2 PUNCHES THIS PRACTICE IS MOST EFFECTIVE ON LARGE AREAS BUT IS LIMITED TO FLATTER AREAS WHERE EQUIPMENT CAN OPERATE SAFELY. IT IS USED ON SLOPING LANES. THIS PRACTICE SHOULD FOLLOW THE CONTAINER.  
i. WOOD CELLULOSE FIBER MAY BE USED FOR ANCHORING STRAW. APPLY THE FIBER BANDS AT A MAXIMUM OF 750 POUNDS PER ACRE. MIX THE WOOD CELLULOSE FIBER WITH WATER AT A MAXIMUM OF 50 POUNDS OF WOOD CELLULOSE FIBER PER 100 GALLONS OF WATER.  
ii. SYNTHETIC BANDERS SUCH AS ACRYLIC OR AGRO-70, DCA-70, PETROSET, TERRAVIX & TERRA MANAGER. APPLICATION OF LIQUID BINDERS NEEDS TO BE KEPT AWAY FROM THE AREAS WHERE WIND CATCHES MULCH, SUCH AS IN VALLEYS AND ON CRESTS OF BANKS. USE OF ASPHALT BINDERS IS PROHIBITED.  
iii. LIGHTWEIGHT PLASTIC NETTING MAY BE STAPLED OVER THE MULCH. ADDITIONAL MANUFACTURER RECOMMENDATIONS: NETTING IS USUALLY AVAILABLE IN ROLLS TO 15 FEET WIDE AND TO 2000 FEET LONG.

**2. SOIL INSTALLATION**

- DURING PERIODS OF EXCESSIVELY HIGH TEMPERATURE OR IN AREAS HAVING DRY SUBSOIL, LIGHTLY IRRIGATE THE SUBSOIL IMMEDIATELY PRIOR TO LAYING THE MULCH.
- LAY THE FIRST ROW OF SOIL IN A STRAIGHT LINE WITH SUBSEQUENT ROWS PLACED PARALLEL TO IT AND 4 INCHES WIDE AGAINST EACH OTHER. STAGGER LATERAL JOINTS TO PROMOTE UNIFORM GROWTH AND STRENGTH. ENSURE THAT SOIL IS NOT STRETTED OR OVERLAPPED AND THAT ALL JOINTS ARE BUTTED TIGHT IN ORDER TO PREVENT VOIDS WHICH WOULD CAUSE AIR DRYING OF THE ROOTS.
- WHEREVER POSSIBLE, LAY SOIL WITH THE LONG EDGES PARALLEL TO THE CONTOUR AND WITH STAGGERING JOINTS. ROLL AND TAMP PRECISELY TO PREVENT THE UNDERLYING SOIL SURFACE FROM INADEQUATELY FOLLOWS ROLLING AND TAMPING UNTIL THE UNDERSIDE OF THE NEW SOIL PAD AND SOIL SURFACE BELOW ARE THOROUGHLY WET. COMPLETE THE OPERATIONS OF LAYING, TAMPING AND IRRIGATING FOR ANY PIECE OF SOIL WITHIN EIGHT HOURS.

**3. SOIL MAINTENANCE**

- IN THE ABSENCE OF ADEQUATE RAINFALL WATER DAILY DURING THE FIRST WEEK OR AS OFTEN AND SUFFICIENTLY AS NECESSARY TO MAINTAIN TO A DEPTH OF 4 INCHES. WATER SOIL DURING THE HEAT OF THE DAY TO PREVENT WILTING.
- AFTER THE FIRST WEEK, SOIL WATERING IS REQUIRED AS NECESSARY TO MAINTAIN ADEQUATE MOISTURE CONTENT.
- DO NOT MOW UNTIL THE SOIL IS FIRMLY ROOTED, NO MORE THAN 1/3 OF THE GRASS LEAF MUST BE REMOVED BY THE INITIAL CUTTING OR SUBSEQUENT CUTTINGS. MAINTAIN A GRASS HEIGHT OF AT LEAST 3 INCHES UNLESS OTHERWISE SPECIFIED.

**PERMANENT SEEDING SUMMARY**

No.	SPECIES	APPLICATION RATE	SEEDING DATES	SEEDING DEPTHS	FERTILIZER RATE (10-20-20)	LIME RATE
9	*Certified Tall Fescue blend (95% by weight), Fescue blvd. Penn 1901 & Rebel Exotic and Certified Kentucky Bluegrass blend (5% by weight), Courtney, Raven & Yankee	6-8 lb/1000 s.f.	Mar. 1 to May 15, 1/4 in. Aug. 15 to Oct. 15, 1/2 in.	1/4 - 1/2 in.	1.0 lb/1000 s.f. (45 lb/acre)	90 lb/1000 s.f.

\* Other cultivars listed as "proven" in the most current UMD 11-77 may also be used

**GENERAL SPECIFICATIONS**

- CLASS OF TURFGRASS SOIL MUST BE MARYLAND STATE CERTIFIED. SOIL LABELS MUST BE MADE AVAILABLE TO THE JOB FOREMAN AND INSPECTOR.
- SOIL MUST BE MACHINE CUT AT A UNIFORM SOIL THICKNESS OF 3/4 INCH, PLUS OR MINUS 1/4 INCH, AT THE TIME OF CUTTING. MEASUREMENT FOR THICKNESS MUST EXCLUDE TOP GRASS AND TRASH. BROKEN PADS AND TOPS OR UNWEEN EDGES WILL NOT BE ACCEPTABLE.
- STANDARD SIZE SECTIONS OF SOIL MUST BE STRONG ENOUGH TO SUPPORT THEIR OWN WEIGHT AND RETAIN THEIR SIZE AND SHAPE WHEN SUSPENDED VERTICALLY WITH A FIRM GRASP OF THE UPPER 10 PERCENT OF THE SECTION.
- SOIL MUST NOT BE HARVESTED OR TRANSPORTED WHEN MOISTURE CONTENT (EXCESSIVELY DRY OR WET) MAY ADVERSELY AFFECT ITS SURVIVAL.
- SOIL MUST BE HARVESTED, DELIVERED, AND INSTALLED WITHIN A PERIOD OF 36 HOURS. SOIL NOT TRANSPORTED WITHIN THIS PERIOD MUST BE APPROVED BY AN AGRONOMIST OR SOIL SCIENTIST PRIOR TO ITS INSTALLATION.

**ENGINEER'S CERTIFICATE**

I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD COUNTY CONSERVATION DISTRICT.

*[Signature]* 11/9/17  
DATE

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD COUNTY CONSERVATION DISTRICT.

*[Signature]* 4/12/17  
DATE

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**B-4-4 STANDARDS AND SPECIFICATIONS FOR PERMANENT STABILIZATION**

**DEFINITION:** TO STABILIZE DISTURBED SOILS WITH PERMANENT VEGETATION.

**PURPOSE:** TO USE LONG-LIVED PERENNIAL GRASSES AND LEGUMES TO ESTABLISH PERMANENT GROUND COVER ON DISTURBED SOILS.

**CONDITIONS WHERE PRACTICE APPLIES:** CRITERIA

**A. SEED MIXTURES**

- GENERAL USE  
a. SELECT ONE OR MORE OF THE SPECIES OR MIXTURES LISTED IN TABLE B.3 FOR THE APPROPRIATE PLANT HARDNESS ZONE (FROM FIGURE B.3) AND BASED ON THE SITE CONDITION OR PURPOSE FOUND ON TABLE B.2. ENTER SELECTED MIXTURE(S), APPLICATION RATES, AND SEEDING DATES IN THE PERMANENT SEEDING SUMMARY. THE SUMMARY IS TO BE PLACED ON THE PLAN.  
b. ADDITIONAL PLANTING SPECIFICATIONS FOR EXCEPTIONAL SITES SUCH AS SHORELINES, STREAM BANKS, OR DUNES OR FOR SPECIAL PURPOSES SUCH AS WILDLIFE OR AESTHETIC TREATMENT MAY BE FOUND IN US-9000 TECHNICAL FIELD OFFICE CODES UNDER THE "CRITICAL AREA PLANTING".  
c. AREAS HAVING DISTURBED AREA OVER 5 ACRES, USE AND SHOW THE RATES RECOMMENDED BY THE SOIL TESTING AGENCY.  
d. FOR AREAS RECEIVING LOW MAINTENANCE, APPLY UREA FORM FERTILIZER (46-0-0) AT 3 1/2 POUNDS PER 1000 SQUARE FEET (150 POUNDS PER ACRE) AT THE TIME OF SEEDING IN ADDITION TO THE SOIL AMENDMENTS SHOWN IN THE PERMANENT SEEDING SUMMARY.
- TURFGRASS MIXTURES  
a. AREAS WHERE TURFGRASS MAY BE DESIRED INCLUDE LAWNS, PARKS, PLAYGROUNDS AND COMMERCIAL SITES WHICH WILL RECEIVE A MEDIUM TO HIGH LEVEL OF MAINTENANCE.  
b. SELECT ONE OR MORE OF THE SPECIES OR MIXTURES LISTED BELOW BASED ON THE SITE CONDITIONS OR PURPOSE. ENTER SELECTED MIXTURE(S), APPLICATION RATES, AND SEEDING DATES IN THE PERMANENT SEEDING SUMMARY. THE SUMMARY IS TO BE PLACED ON THE PLAN.  
i. KENTUCKY BLUEGRASS: FULL SUN MIXTURE: FOR USE IN AREAS THAT RECEIVE INTENSIVE MANAGEMENT. IRRIGATION REQUIRED IN THE AREAS OF CENTRAL MARYLAND AND EASTERN MARYLAND. RECOMMENDED PERMANENT BLUEGRASS CULTIVARS SEEDING RATE: 1.5 TO 2.0 POUNDS PER 1000 SQUARE FEET (150 POUNDS PER ACRE). A MINIMUM OF THREE KENTUCKY BLUEGRASS CULTIVARS WITH EACH RANGING FROM 10 TO 35 PERCENT OF THE TOTAL MIXTURE BY WEIGHT.  
ii. KENTUCKY BLUEGRASS/PERENNIAL RYE: FULL SUN MIXTURE: FOR USE IN FULL SUN AREAS WHERE RAPID ESTABLISHMENT IS NECESSARY AND WHEN TURF WILL RECEIVE MEDIUM TO INTENSIVE MANAGEMENT. CERTIFIED PERENNIAL RYEGRASS CULTIVARS/CERTIFIED KENTUCKY BLUEGRASS SEEDING RATE: 2 POUNDS MIXTURE PER 1000 SQUARE FEET. CHOOSE A MINIMUM OF THREE KENTUCKY BLUEGRASS CULTIVARS WITH EACH RANGING FROM 10 TO 35 PERCENT OF THE TOTAL MIXTURE BY WEIGHT.  
iii. TALL FESCUE: FULL SUN MIXTURE: FOR USE IN DROUGHT PRONE AREAS AND/OR AREAS REQUIRING LOW TO MEDIUM MANAGEMENT. FULL SUN TO MEDIUM SHADE. RECOMMENDED MIXTURE INCLUDES CERTIFIED TALL FESCUE CULTIVARS 95 TO 100 PERCENT, GRASS SEED MIXTURES 5 TO 10 PERCENT, AND A MINIMUM OF THREE KENTUCKY BLUEGRASS CULTIVARS 0 TO 40 PERCENT. RECOMMENDED PERMANENT BLUEGRASS CULTIVARS 0 TO 5 PERCENT. SEEDING RATE: 2 TO 3 POUNDS PER 1000 SQUARE FEET. ONE OR MORE CULTIVARS MAY BE BLENDED.  
iv. BLUEGRASS/LIMBERG FESCUE: SHADE MIXTURE: FOR USE IN AREAS WITH SHADE IN BLUEGRASS MIXTURES. FOR ESTABLISHMENT IN HIGH QUALITY INTENSIVELY MANAGED TURF AREAS. MIXTURE INCLUDES: CERTIFIED KENTUCKY BLUEGRASS CULTIVARS 30 TO 40 PERCENT AND CERTIFIED FINE FESCUE AND GO TO 70 PERCENT. SEEDING RATE: 11/2 TO 3 POUNDS PER 1000 SQUARE FEET.

**NOTES:**

- SELECT TURFGRASS VARIETIES FROM THOSE LISTED IN THE MOST CURRENT UNIVERSITY OF MARYLAND PUBLICATION, AGRONOMY MEMO #77, "TURFGRASS CULTIVAR RECOMMENDATIONS FOR MARYLAND".
- CHOOSE CERTIFIED MATERIAL. CERTIFIED MATERIAL IS THE BEST GUARANTEE OF CULTIVAR PURITY. THE CERTIFICATION PROGRAM OF THE MARYLAND DEPARTMENT OF AGRICULTURE, NATURAL RESOURCES CONSERVATION SERVICE, PROVIDES A RELIABLE MEANS OF CONSUMER PROTECTION AND ASSURES A PURE GENETIC LINE.
- IDEAL TIMES OF SEEDING FOR TURF GRASS MIXTURES  
WESTERN MD: MARCH 15 TO JUNE 1, AUGUST 1 TO OCTOBER 1 (HARDNESS ZONE: SB, 6A)  
CENTRAL MD: MARCH 1 TO MAY 15, AUGUST 15 TO OCTOBER 15 (HARDNESS ZONE: SB, 6B)  
SOUTHERN MD, EASTERN SHORE: MARCH 1 TO MAY 15, AUGUST 15 TO OCTOBER 15 (HARDNESS ZONE: 7A, 7B)
- TILL AREAS TO RECEIVE SEED BY DISKING OR OTHER APPROVED METHODS TO A DEPTH OF 2 TO 4 INCHES. LEVEL AND RAKE THE AREAS TO PREPARE A PROPER SEEDBED. REMOVE STONES AND DEBRIS OVER 1 1/2 INCHES IN DIAMETER. THE RESULTING SEEDBED MUST BE IN SUCH A CONDITION THAT FUTURE MOWING OF GRASSES WILL POSSE NO DIFFICULTY.
- IF SOIL MOISTURE IS DEFICIENT, SUPPLY NEW SEEDINGS WITH ADEQUATE WATER FOR PLANT GROWTH TO 7 TO 1 INCH EVERY 7 TO 10 DAYS UNTIL THE GRASSES ARE ESTABLISHED. THEY ARE FIRMLY ESTABLISHED, THIS IS ESPECIALLY TRUE WHEN SEEDINGS ARE MADE LATE IN THE PLANTING SEASON, IN ANOMALY DRY OR HOT SEASONS, OR ON ADVERSE SITES.

**PERMANENT SEEDING SUMMARY**

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**PERMANENT SEEDING SUMMARY**

No.	SPECIES	APPLICATION RATE	SEEDING DATES	SEEDING DEPTHS	FERTILIZER RATE (10-10-10)	LIME RATE
1	ANNUAL RYEGRASS	40 lb/oc	Mar. 1 to May 15	0.5 INCHES	436 lb/oc (10 lb/1,000 sf)	2 tons/oc (90 lb/1,000 sf)
2	PEARL MILLET	20 lb/oc	May 16 to July 31	0.5 INCHES		

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**SEDIMENT CONTROL NOTES**

A PRE-CONSTRUCTION MEETING MUST OCCUR WITH THE HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS, CONSTRUCTION INSPECTION DIVISION (CID), 410-313-1855 AFTER THE FUTURE LOTS AND PROTECTED AREAS ARE MARKED CLEARLY IN THE FIELD. A MINIMUM OF 45 HOUR NOTICE TO THE HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS MUST BE GIVEN AT THE TIME OF THE MEETING.

- CONSTRUCTION SHALL BE CONDUCTED IN ACCORDANCE WITH THE PROVISIONS OF THE PROVISIONS OF THIS PLAN AND PRACTICES ARE TO BE IN CONFORMANCE WITH THE 2011 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL, AND ANY OTHER APPLICABLE REGULATIONS. PERMANENT OR TEMPORARY STABILIZATION SHALL BE COMPLETED WITHIN 3 CALENDAR DAYS FOR ALL DISTURBED AREAS EXCEPT FOR PERIMETER STRUCTURES, Dikes, PERIMETER SLOPES AND ALL SLOPES GREATER THAN 3:1. 7 DAYS AS TO ALL OTHER DISTURBED OR GRADED AREAS ON THE PROJECT SITE.
- FOLLOWING INITIAL SOIL DISTURBANCE OR RE-DISTURBANCE, PERMANENT OR TEMPORARY STABILIZATION IS REQUIRED WITHIN THREE (3) CALENDAR DAYS AS TO THE SURFACE OF ALL PERIMETER CONTROLS, DIKES, SWALES, DITCHES, PERIMETER SLOPES, AND ALL SLOPES STEEPER THAN 3:1 HORIZONTAL TO 1 VERTICAL (3:1), AND SEVEN (7) CALENDAR DAYS AS TO ALL OTHER DISTURBED AREAS ON THE PROJECT SITE EXCEPT FOR THOSE AREAS:
- ALL DISTURBED AREAS MUST BE STABILIZED WITHIN THE TIME PERIOD SPECIFIED ABOVE IN ACCORDANCE WITH THE 2011 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL FOR PERIMETER STRUCTURES, Dikes, PERIMETER SLOPES AND ALL SLOPES GREATER THAN 3:1. TEMPORARY SEEDING (SEC. B-4-2), PERMANENT SEEDING (SEC. B-4-3), TEMPORARY SEEDING (SEC. B-4-4) AND MULCHING (SEC. B-4-5).
- PERMANENT OR TEMPORARY STABILIZATION SHALL BE COMPLETED WITHIN 3 CALENDAR DAYS FOR ALL DISTURBED AREAS EXCEPT FOR PERIMETER STRUCTURES, Dikes, PERIMETER SLOPES AND ALL SLOPES GREATER THAN 3:1. 7 DAYS AS TO ALL OTHER DISTURBED OR GRADED AREAS ON THE PROJECT SITE.
- ALL SEDIMENT CONTROL STRUCTURES ARE TO REMAIN IN PLACE, AND ARE TO BE MAINTAINED IN OPERATIVE CONDITION UNTIL PERMITS FOR THEIR REMOVAL HAS BEEN OBTAINED FROM THE CID.

**6. SITE ANALYSIS:**

TOTAL AREA OF SITE	3,386 AC.
AREA DISTURBED	3,504 AC.
AREA TO BE ROOFED OR PAVED	1,158 AC.
AREA TO BE VEGETATIVELY STABILIZED	2,326 AC.
TOTAL CUT	6,153 CY
TOTAL FILL	6,153 CY
OFF-SITE WASTE/BORROW AREA LOCATION	NONE

**7. ANY SEDIMENT CONTROL PRACTICE WHICH IS DISTURBED BY GRADING ACTIVITY FOR PLACEMENT OF UTILITIES MUST BE REPAIRED ON THE SAME DAY OF DISTURBANCE.**

**8. ADDITIONAL SEDIMENT CONTROL MUST BE PROVIDED, IF DEEMED NECESSARY BY THE CID, THE SITE AND ALL CONTROLS SHALL BE INSPECTED BY THE CONTRACTOR WEEKLY, AND THE NEXT DAY AFTER EACH INSPECTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE AVAILABLE UPON REQUEST. IS PART OF EVERY INSPECTION AND SHOULD INCLUDE:**

**INSPECTION DATA:**

- INSPECTION TYPE (ROUTINE, PRE-START EVENT, DURING RAIN EVENT)
- NAME AND TITLE OF INSPECTOR
- WEATHER INFORMATION (CURRENT CONDITIONS AS WELL AS TIME AND AMOUNT OF LATEST RECORDED PRECIPITATION)
- EVIDENCE OF SEDIMENT DISCHARGES
- IDENTIFICATION OF PLAN DEFICIENCIES
- IDENTIFICATION OF A NUMBER OF INCHES BENEATH THE SURFACE OF THE SOIL TO BE INSPECTED
- IDENTIFICATION OF MISSING OR IMPROPERLY INSTALLED SEDIMENT CONTROLS
- COMPLAINTS REGARDING THE SEQUENCE OF CONSTRUCTION AND STABILIZATION REQUIREMENTS
- PHOTOGRAPHS
- MONITORING/SAMPLING
- MAINTENANCE AND/OR CORRECTIVE ACTION PERFORMED
- OTHER INFORMATION (PERMITS, INSPECTION ITEMS, PERMITS FOR STORMWATER ASSOCIATED WITH CONSTRUCTION ACTIVITIES (NPDES, MDE).

**9. TRENCHES FOR THE CONSTRUCTION OF UTILITIES IS LIMITED TO THREE PIPE LENGTHS OR THAT WHICH CAN AND SHALL BE BACK-FILLED AND STABILIZED BY THE END OF EACH WORKING DAY. INCHES IS SHORTER.**

**10. ANY MAJOR CHANGES OR REVISIONS TO THE PLAN OR SEQUENCE OF CONSTRUCTION MUST BE REVIEWED AND APPROVED BY THE HCD PRIOR TO PROCEEDING WITH CONSTRUCTION. MINOR REVISIONS MAY NOT BE REQUIRED BY THE CID PER THE LIST OF HCD-APPROVED FIELD CHANGES.**

**11. DISTURBANCE SHALL NOT OCCUR OUTSIDE THE L.L.O. A PROJECT IS TO BE SCHEDULED SO THAT GRADING ACTIVITIES BEGIN ON ONE GRADING UNIT (MAXIMUM ACREAGE OF 20 AC. PER GRADING UNIT) AT A TIME WORK MAY PROCEED TO A SUBSEQUENT GRADING UNIT WHICH AT LEAST 50 PERCENT OF THE DISTURBED AREA IN THE PRECEDING GRADING UNIT HAS BEEN STABILIZED AND APPROVED BY THE CID, UNLESS OTHERWISE SPECIFIED AND APPROVED BY HCD, NO MORE THAN 30 ACRES CUMULATIVELY MAY BE DISTURBED AT A GIVEN TIME.**

**12. WASH WATER FROM ANY EQUIPMENT, VEHICLES, WHEELS, PAVED, AND OTHER SOURCES MUST BE TREATED IN A SEDIMENT BASIN OR OTHER TREATMENT WASHOUT STRUCTURE.**

**13. TOPSOIL SHALL BE STOCKPILED AND PRESERVED ON-SITE FOR REDISTRIBUTION ONTO FINAL GRADE.**

**14. ALL SILT FENCE AND SUPER SILT FENCE SHALL BE PLACED ON THE-CONTOUR, AND BE IRRIGATED AT 25 MINIMUM INTERVALS, WITH LOWER EDGES CURLED UPWARD BY 2" IN ELEVATION.**

**15. STREAM CHANNELS MUST NOT BE DISTURBED DURING THE FOLLOWING RESTRICTED TIME PERIODS (INCLUDES):**

- APRIL 1 - JUNE 15
- USE III AND III-P OCTOBER 1 - APRIL 30
- USE III AND III-P MARCH 1 - MAY 31

**16. A COPY OF THIS PLAN, THE 2011 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL, AND ASSOCIATED PERMITS SHALL BE ON-SITE AND AVAILABLE WHEN THE SITE IS ACTIVE.**

**B-4-4 STANDARDS AND SPECIFICATIONS FOR TEMPORARY STABILIZATION**

TO STABILIZE DISTURBED SOILS WITH VEGETATION FOR UP TO 6 MONTHS.

USE FAST GROWING VEGETATION THAT PROVIDES COVER ON DISTURBED SOILS. CONDITIONS WHERE PRACTICE APPLIES EXPOSED SOILS WHERE GROUND COVER IS NEEDED FOR A PERIOD OF 6 MONTHS OR LONGER DURING THE TIME PERIOD.

PERMANENT STABILIZATION PRACTICES ARE REQUIRED.

- SELECT ONE OR MORE OF THE SPECIES OR MIXTURES LISTED IN TABLE B.1 FOR THE APPROPRIATE PLANT HARDNESS ZONE (FROM FIGURE B.3), AND ENTER THEM IN THE TEMPORARY SEEDING SUMMARY BELOW ALONG WITH APPLICATION RATES, SEEDING DATES AND SEEDING DEPTHS. IF THIS SUMMARY IS NOT PUT ON THE PLAN AND COMPLETED, THEN TABLE B.1 PLUS FERTILIZER AND LIME RATES MUST BE PUT ON THE PLAN.
- FOR SITES HAVING SOIL TESTS PERFORMED, USE AND SHOW THE RECOMMENDED RATES OF THE TESTING AGENCY. SOIL TESTS ARE NOT REQUIRED FOR TEMPORARY SEEDING. WHEN STABILIZATION IS REQUIRED OUTSIDE OF A SEEDING SEASON, APPLY SEED AND MULCH OR TOPSOIL MULCH AS PRESCRIBED IN SECTION B-4-3.1-A.1.8 AND MAINTAIN UNTIL THE NEXT SEEDING SEASON.

**TEMPORARY SEEDING SUMMARY**

No.	SPECIES	APPLICATION RATE	SEEDING DATES	SEEDING DEPTHS	FERTILIZER RATE (10-10-10)	LIME RATE
1	ANNUAL RYEGRASS	40 lb/oc	Mar. 1 to May 15	0.5 INCHES	436 lb/oc (10 lb/1,000 sf)	2 tons/oc (90 lb/1,000 sf)
2	PEARL MILLET	20 lb/oc	May 16 to July 31	0.5 INCHES		

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**LANDSCAPE NOTES**

- THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH SECTION 16.124 OF THE HOWARD COUNTY CODE & CHAPTER VI OF THE HOWARD COUNTY LANDSCAPE MANUAL.
- CONTRACTOR SHALL NOTIFY ALL UTILITIES AT LEAST (5) FIVE DAYS BEFORE STARTING WORK. ALL GENERAL NOTES, ESPECIALLY THOSE REGARDING UTILITIES, ON SHEET NO.1 SHALL APPLY.
- FIELD VERIFY UNDERGROUND UTILITY LOCATIONS AND EXISTING CONDITIONS BEFORE STARTING PLANTING WORK. CONTACT CONSTRUCTION MANAGER OR OWNER IF ANY RELOCATIONS ARE REQUIRED.
- PLANT QUANTITIES SHOWN ON THE PLAN LIST ARE PROVIDED FOR THE CONVENIENCE OF THE CONTRACTOR ONLY. IF DISCREPANCIES EXIST BETWEEN QUANTITIES SHOWN ON THE PLAN AND THOSE SHOWN ON THE PLANT LIST, THE QUANTITIES ON THE PLAN SHALL TAKE PRECEDENCE.
- ALL PLANT MATERIAL SHALL BE FULL, HEAVY, WELL FORMED, SYMMETRICAL AND CONFORM TO THE A.A. SPECIFICATIONS. ALL PLANT MATERIAL SHALL BE INSTALLED IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS AND THIS PLAN.
- NO SUBSTITUTION SHALL BE MADE WITHOUT PRIOR APPROVAL FROM HOWARD COUNTY DPZ AND THE OWNER OR HIS REPRESENTATIVE.
- ALL AREAS DISTURBED BY CONSTRUCTION ACTIVITIES BUT NOT OTHERWISE PLANTED, PAVED, OR MULCHED SHALL BE SOEDDED OR SEEDING IN ACCORDANCE WITH THE PERMANENT SEEDING SPECIFICATION. A MINIMUM OF 4" OF TOPSOIL SHALL BE PROVIDED TO ALL PLANTING AREAS (FOR TOPSOIL SPEC. SEE SHEET 5).
- THE CONTRACTOR SHALL NOTIFY THE OWNER IN WRITING IF HE/SHE ENCOUNTERS SOIL DRAINAGE CONDITIONS THAT MAY BE DETRIMENTAL TO THE GROWTH OF THE PLANTS.
- ALL EXPOSED EARTH WITHIN THE LIMITS OF PLANTING BEDS SHALL BE MULCHED WITH SHREDDED HARDWOOD MULCH PER THE PLANTING DETAILS.
- DO NOT PLANT WITHIN THE PUBLIC WATER, SEWER AND UTILITY EASEMENT.
- "SCHEDULE - A AND SCHEDULE C" IS PROVIDED FOR LANDSCAPE SURETY CALCULATION PURPOSES. FINANCIAL SURETY FOR THE REQUIRED LANDSCAPING SHALL BE POSTED WITH THE GRADING PERMIT FOR HOUSE CONSTRUCTION IN THE AMOUNT OF \$ 1,050,000 FOR THE LOTS PER THIS SCHEDULE AS FOLLOWS:  
 2 SHADE TREES @ \$300 EACH = \$ 600.00  
 3 EVERGREEN TREES @ \$350 EACH = \$ 1,050.00
- FOR LANDSCAPE INSPECTION TO OBTAIN THE RELEASE OF THE SURETY, CONTACT HOWARD COUNTY DEPT. OF PLANNING & ZONING AT 410-313-2950.

**RESIDENTIAL LANDSCAPE PERIMETER REQUIREMENTS (SCHEDULE-A)**

USE SITUATION	SIDE OF SFD ORIENTED TO ROADWAY	
LANDSCAPE TYPE	(1:50 SHADE TREES, 1:40 EVERGREEN TREES)	
PERIMETER LOCATION	LOT 47	
SIDE LENGTH OF LOT	82.87'	
CREDIT FOR EXISTING VEGETATION	N/A	
CREDIT FOR WALL, FENCE OR BERM	N/A	
NUMBER OF PLANTS REQUIRED	SHADE TREES	2
	EVERGREEN TREES	3
	SHRUBS	N/A
NUMBER OF PLANTS PROVIDED	SHADE TREES	2
	EVERGREEN TREES	3
	OTHER TREES (@ 2:1 SUBSTITUTION)	0
	SHRUBS (@ 1:1 SUBSTITUTION)	N/A

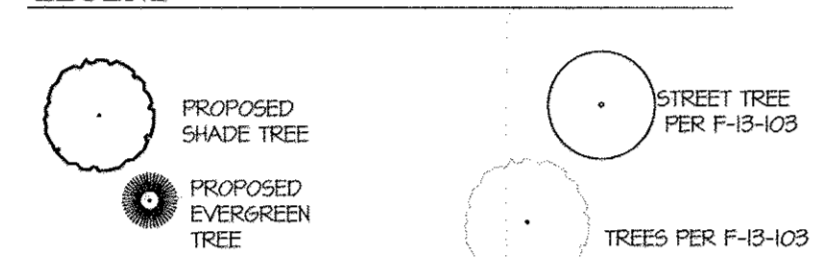
**LANDSCAPE SURETY PER LOT**

LOT No.	PLANT QUANTITY		SURETY AMOUNT
	SHADE TREES	EVERGREEN	
47	2	3	\$ 1,050.00
<b>TOTAL</b>	<b>2</b>	<b>3</b>	<b>\$ 1,050.00</b>

**PLANT LIST**

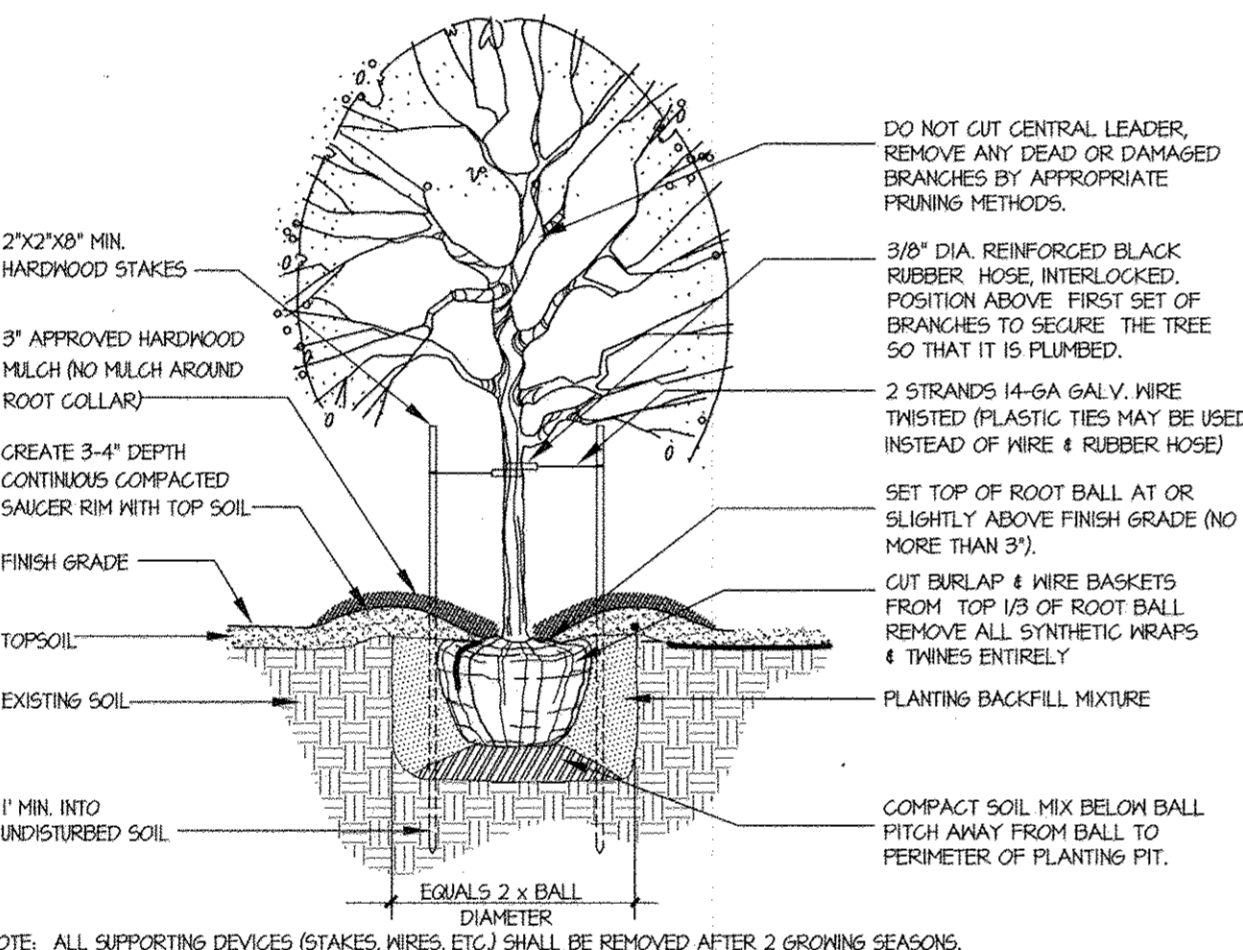
SYMBOL	QUANT.	NAME (BOTANICAL/COMMON) OF PLANTS FOR SELECTION BY OWNER/BUYER	SIZE	COMMENTS
SHADE	2	SOPHORA JAPONICA / JAPANESE PASODA TREE BETULA NIGRA HERITAGE / HERITAGE CLUMP BIRCH CERCIDIPHYLLUM JAPONICA / KATSURAIREE	2 1/2' - 3' GAL. MIN. 10' - 12' HT. MIN.	
EVERGREEN	3	PIGEA OMCORICA / SERBIAN SPRUCE ILEX OPAGA / AMERICAN HOLLY ILEX X NELLIE R. STEVENS / NELLIE R. STEVENS HOLLY CEDRUS DEODORA / DEODAR CEDAR	6-8' HT.	ALL B4B

**LEGEND**



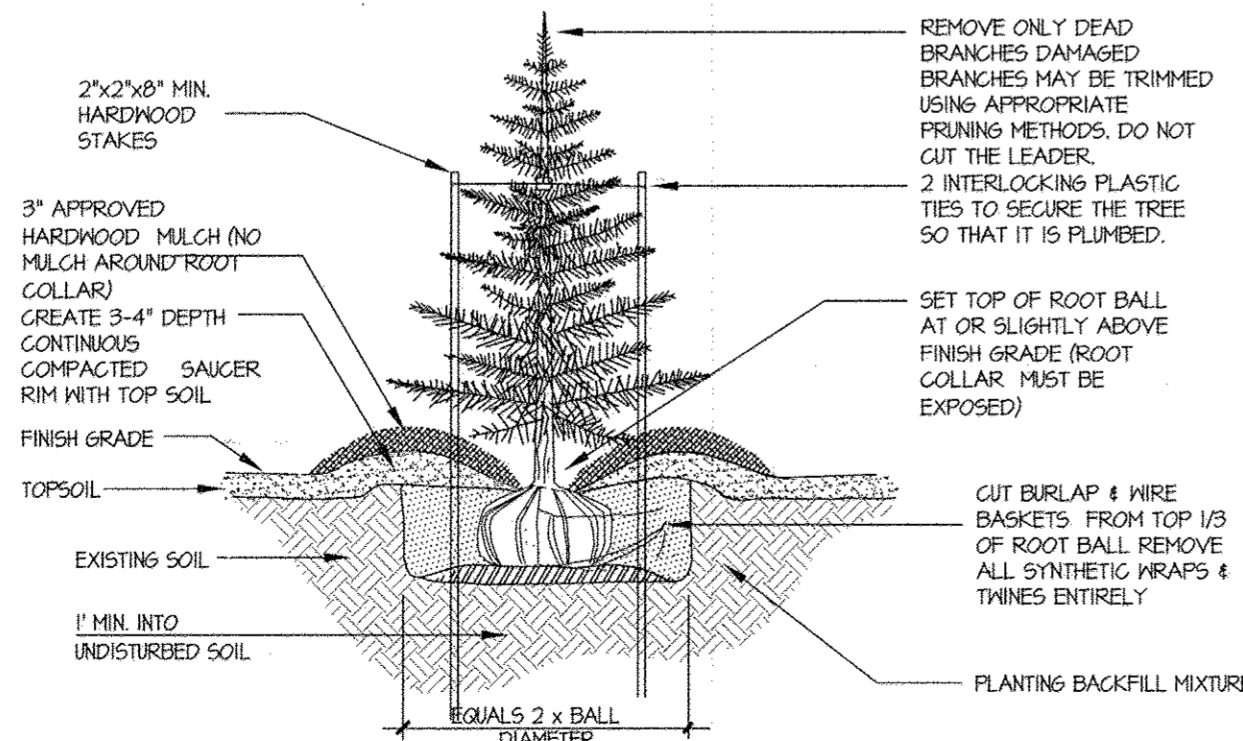
**NOTES**

- AT THE TIME OF PLANT INSTALLATION, ALL SHRUBS AND TREES LISTED AND APPROVED ON THE LANDSCAPE PLAN, SHALL COMPLY WITH THE PROPER HEIGHT REQUIREMENT IN ACCORDANCE WITH THE HOWARD COUNTY LANDSCAPE MANUAL. IN ADDITION NO SUBSTITUTIONS OR RELOCATIONS OF THE REQUIRED PLANTINGS MAY BE MADE WITHOUT PRIOR REVIEW AND APPROVAL FROM THE DEPARTMENT OF PLANNING AND ZONING. ANY DEVIATION FROM THE APPROVED LANDSCAPE PLAN MAY RESULT IN DENIAL IN THE RELEASE OF LANDSCAPE SURETY UNTIL SUCH TIME AS ALL REQUIRED MATERIALS ARE PLANTED AND/OR REVISIONS ARE MADE TO THE APPLICABLE PLANS.
- THE OWNER, TENANTS AND/OR THEIR AGENTS SHALL BE RESPONSIBLE FOR MAINTENANCE OF THE REQUIRED LANDSCAPING INCLUDING BOTH PLANT MATERIALS AND BERMS, FENCES AND WALLS. ALL PLANT MATERIALS SHALL BE MAINTAINED IN GOOD GROWING CONDITION, AND WHEN NECESSARY, REPLACED WITH NEW MATERIAL TO ENSURE CONTINUED COMPLIANCE WITH APPLICABLE REGULATIONS. ALL OTHER REQUIRED LANDSCAPING SHALL BE PERMANENTLY MAINTAINED IN GOOD CONDITION, AND WHEN NECESSARY, REPAIRED OR REPLACED.



**DECIDUOUS TREE PLANTING DETAIL**

FOR PLANTING MATERIAL UP TO 3 1/2" CALIPER NO SCALE



**EVERGREEN TREE PLANTING DETAIL**

NTS

**DEVELOPER'S/BUILDER'S CERTIFICATE**

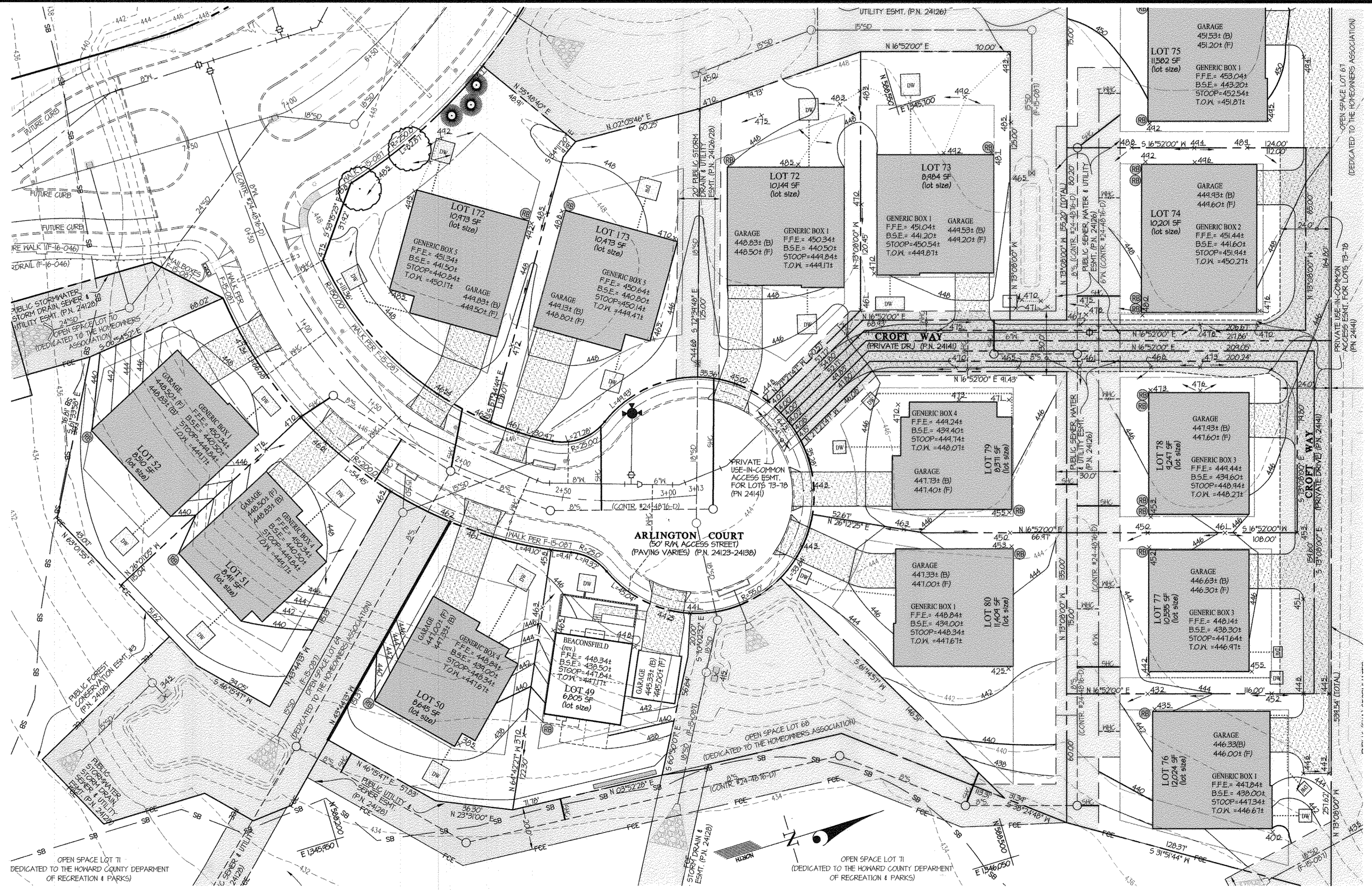
I/WE CERTIFY THAT THE LANDSCAPING SHOWN ON THIS PLAN WILL BE DONE ACCORDING TO THE PLAN, SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE HOWARD COUNTY LANDSCAPE MANUAL, AND THE MFL LANDSCAPE DESIGN CRITERIA. I/WE FURTHER CERTIFY THAT UPON COMPLETION A LETTER OF LANDSCAPE INSTALLATION ACCOMPANIED BY AN EXECUTED ONE YEAR GUARANTEE OF PLANT MATERIALS, WILL BE SUBMITTED TO THE DEPARTMENT OF PLANNING AND ZONING.

NAME: *Michael B. Tran* DATE: *11/9/17*

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

Director: *William J. ...* Date: *12-4-17*  
 Chief, Division of Land Development: *Ant ...* Date: *12-4-17*  
 Chief, Development Engineering Division: *Ch ...* Date: *12-1-17*

**GLWGUTSCHICK LITTLE & WEBER, P.A.**  
 CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS  
 3909 NATIONAL DRIVE - SUITE 250 - BURTNSVILLE OFFICE PARK  
 BURTNSVILLE, MARYLAND 20866  
 TEL: 301-421-4024 FAX: 410-880-1820 DC/WA: 301-989-2524 FAX: 301-421-4186



**THIS PLAN IS FOR PLANTING PURPOSES ONLY**

**LANDSCAPE PLAN**  
**WESTMOUNT**  
 PHASE 1 - LOTS 172 & 173, 49-52 and PHASE 2A LOTS 72-80  
 (SFD RESIDENTIAL USE)  
 PLAT Nos. 24123-24138, 24139-24141 and 24389  
 ELECTION DISTRICT No. 2

**GRAPHIC SCALE**

SCALE	ZONING	G. L. W. FILE No.
1" = 30'	R-ED	15121
DATE	TAX MAP - GRID	SHEET
NOV. 2017	23-6,10&12	6 OF 6