#### GENERAL NOTES . ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF HOWARD COUNTY STANDARDS AND SPECIFICATIONS. ALL WORK AND MATERIALS SHALL COMPLY WITH O.S.H.A. STANDARDS. THE CONTRACTOR SHALL NOTIFY "MISS UTILITY" AT 1-800-257-7777 AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION WORK. THE CONTRACTOR IS TO NOTIFY THE FOLLOWING UTILITIES OR AGENCIES AT LEAST FIVE DAYS BEFORE STARTING WORK ON THESE DRAWINGS: MISS UTILITY: VERIZON: BUREAU OF UTILITIES: B.G.&E. (CONSTRUCTION SERVICES): B.G.&E. (EMERGENCY): STATE HIGHWAY ADMINISTRATION: COLONIAL PIPELINE CO.: SITE ANALYSIS TOTAL PROJECT AREA: 0.61 AC, PARCEL 95 (PARCEL 8-2) PRESENT ZONING: CE-CLI-CR USE OF STRUCTURE: N/A (NO STRUCTURES PROPOSED); 44 PROPOSED PARKING SPACES TOTAL BUILDING COVERAGE: 0.00 SF (0.00 AC. OR 0% OF GROSS AREA) PAVED PARKING LOT/AREA ON SITE: 18,115 SF (0.42 AC. OR 68.85% OF GROSS AREA) AREA OF LANDSCAPE ISLAND: 1,328 SF (0.03 AC. OR 4.92% OF GROSS AREA) STREAMS AND THEIR BUFFERS ON SITE: 0.00 AC. AREA OF ON-SITE 100 YEAR FLOODPLAIN: 0.00 AC. AREA OF EXISTING FOREST ON SITE: 0.61 AC. AREA OF STEEP SLOPES (15% OR GREATER): 0.00 AC AREA OF ERODIBLE SOILS: 0.66 AC. (WITHIN LOD) ARFA MANAGED BY ESDY (\*THIS PLAN): 0.50 AC. \*IMPERVIOUS AREA: 0.42 AC. \*GREEN AREA: 0.08 AC. LIMIT OF DISTURBED AREA: 1.12 AC ,715 CY FILL: 328 CY PROJECT BACKGROUND: LOCATION: LAUREL, MD.; TAX MAP 48, BLOCK 12, PARCEL 95, PARCEL B-2 ZONING : CE-CU-CR SUBDIVISION: N/A SECTION/AREA: N/A DEED/PLAT REFERENCES: 8A-95-38E, F-83-41, SDP-96-098 & ZB-963R, PLAT 5342, PLAT 21417, F-09-112, F-15-015 (PLAT 23546), F-14-130 (PLAT 23547), SDP-15-023, ECP-15-048. . THE CONTRACTOR SHALL NOTIFY THE DEPARTMENT OF PUBLIC WORKS/BUREAU OF ENGINEERING/ CONSTRUCTION INSPECTION DIVISION AT (410) 313-1880 AT LEAST FIVE (5) WORKING DAYS PRIOR TO START OF WORK. ANY DAMAGE TO PUBLIC RIGHT-OF-WAY, PAVING, OR EXISTING UTILITIES WILL BE CORRECTED AT THE CONTRACTOR'S EXPENSE. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF HOWARD COUNTY, PLUS MSHA STANDARDS AND SPECIFICATIONS, IF APPLICABLE EXISTING UTILITIÉS LOCATED FROM ROAD CONSTRUCTION PLANS, FIELD SURVEYS, PUBLIC WATER AND SEWER EXTENSION PLANS AND AVAILABLE RECORD DRAWINGS. APPROXIMATE LOCATION OF EXISTING UTILITIES ARE SHOWN FOR THE CONTRACTORS INFORMATION. CONTRACTOR SHALL LOCATE EXISTING UTILITIES WELL IN ADVANCE OF CONSTRUCTION ACTIVITIES AND TAKE ALL NECESSARY PRECAUTIONS TO PROTECT THE EXISTING UTILITIES AND TO MAINTAIN UNINTERRUPTED SERVICE. ANY DAMAGE INCURRED DUE TO CONTRACTOR'S OPERATION SHALL BE REPAIRED IMMEDIATELY AT THE CONTRACTOR'S EXPENSE. ALL REINFORCED CONCRETE FOR STORM DRAIN STRUCTURES SHALL HAVE A MINIMUM OF 28 DAYS STRENGTH OF 3,500 P.S.I. ALL STORMDRAIN PIPE BEDDING IS TO BE CLASS 'C', AS REQUIRED BY AASHTO-180. TRAFFIC CONTROL DEVICES: A. THE R1-1 SIGN AND THE STREET NAME SIGN (SNS) ASSEMBLY FOR THIS DEVELOPMENT MUST BE INSTALLED BEFORE THE BASE B. THE TRAFFIC CONTROL DEVICE LOCATIONS SHOWN ON THE PLANS ARE APPROXIMATE AND MUST BE FIELD APPROVED BY HOWARD COUNTY TRAFFIC DIVISION (410-313-2430) PRIOR TO THE INSTALLATION OF ANY OF THE TRAFFIC CONTROL DEVICES. C. ALL TRAFFIC CONTROL DEVICES AND THEIR LOCATIONS SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MARYLAND MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MIMUTCD). D. ALL SIGN POSTS USED FOR TRAFFIC CONTROL SIGNS INSTALLED IN THE COUNTY RIGHT OF WAY SHALL BE MOUNTED ON A 2" GALVANIZED STEEL, PERFORATED, SQUARE TUBE POST (14 GAUGE) INSERTED IN TO A 2-1/2" GALVANIZED STEEL, PERFORATED, SQUARE TUBE SLEEVE (12 GAUGE)-3' LONG, THE ANCHOR SHALL NOT EXTEND MORE THAN TWO QUICK PUNCH HOLES ABOVE GROUND LEVEL, A GALVANIZED STEEL POLE CAP SHALL BE MOUNTED ON TOP OF EACH POST. . THIS PROJECT IS SUBJECT TO COMPLIANCE WITH THE AMENDED FIFTH EDITION OF THE SUBDIVISION AND LAND DEVELOPMENT REGULATIONS. DEVELOPMENT OR CONSTRUCTION ON THIS PROPERTY MUST COMPLY WITH SETBACK AND BUFFER REGULATIONS IN EFFECT AT THE TIME OF SUBMISSION OF THE SITE DEVELOPMENT PLAN, WAIVER PETITION APPLICATION OR BUILDING/GRADING PERMIT APPLICATIONS. I. ESTIMATES OF EARTHWORK QUANTITIES ARE PROVIDED SOLELY FOR THE PURPOSE OF CALCULATING FEES. SOIL COMPACTION SPECIFICATIONS, REQUIREMENTS, METHODS AND MATERIALS ARE TO BE IN ACCORDANCE WITH THE RECOMMENDATIONS OF THE PROJECT GEOTECHNICAL ENGINEER. GEOTECHNICAL ENGINEER TO CONFIRM ACCEPTABILITY OF PROPOSED PAVING SECTION, BASED ON SOIL TEST PRIOR TO CONSTRUCTION. COORDINATES AND ELEVATIONS ARE BASED ON MARYLAND COORDINATE SYSTEM - NAD83(1991), AS PROJECTED BY HOWARD COUNTY GEODETIC CONTROL STATIONS 47F5 AND 48AB. THE PROPERTY LINES SHOWN HEREON IS BASED ON A FIELD-RUN BOUNDARY SURVEY PERFORMED BY ROBERT H. VOGEL THE EXISTING TOPOGRAPHY SHOWN HEREON IS BASED ON FIELD RUN TOPOGRAPHICAL SURVEY PERFORMED BY ROBERT H. VOGEL, ENGINEERING, INC. ON AUGUST 8, 2007, AND UPDATED ON OCTOBER 2, 2014. ENVIRONMENTAL ANALYSIS PREPARED BY ECO-SCIENCE PROFESSIONALS, INC.; DATED 02/26/15 AND UPDATED 01/27/17. GEOTECHNICAL BORINGS PREPARED BY HILLIS-CARNES ENGINEERING ASSOCIATES, INC PERFORMED ON DECEMBER 16, 2016 THE GEOTECHNICAL ENGINEER TO CONFIRM PAVING SECTION PRIOR TO CONSTRUCTION, ALL PAVING TO BE MINIMUM HOWARD COUNTY STANDARD DETAIL P-2 PAVING UNLESS OTHERWISE NOTED. (SEE PAVING PLAN ON SHEET 2, AND SECTIONS ON SHEET 3.) . ALL CURB AND GUTTER TO BE HOWARD COUNTY STANDARD DETAIL 3.01 UNLESS OTHERWISE NOTED (SEE DETAIL ON SHEET 3). • WHERE DRAINAGE FLOWS AWAY FROM CURB, CONTRACTOR TO REVERSE THE GUTTER PAN. ALL ELEVATIONS ARE TO FLOWLINE/BOTTOM OF CURB UNLESS OTHERWISE NOTED. ALL DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED. THE CONTRACTOR IS RESPONSIBLE FOR CONSTRUCTING ALL HANDICAP RAMPS AND HANDICAP ACCESS IN ACCORDANCE WITH CURRENT ADA REQUIREMENTS. PUBLIC WATER AVAILABLE THROUGH CONTRACT 652-W. PUBLIC SEWER AVAILABLE THROUGH CONTRACT 24-3533-D. TRAFFIC STUDY NOT REQUIRED FOR THIS PROJECT AS THERE IS NOT A SPECIFIC USE FOR THIS PARKING LOT. A FORMAL TRAFFIC STUDY SHALL BE PROVIDED CONCURRENT WITH THE FUTURE SDP AND DEVELOPMENT OF ADJACENT PARCEL B, WHICH WILL ULTIMATELY USE THIS PARKING LOT TO SERVE AS ENTRANCE TO THE FUTURE DEVELOPMENT. THE SUBJECT PROPERTY IS ZONED CE-CLI-CR PER THE OCTOBER 6, 2013 COMPREHENSIVE ZONING PLAN. A NOISE STUDY IS NOT REQUIRED FOR THIS PROJECT. THERE ARE NO STEEP SLOPES, WETLANDS, STREAMS, AND THERE BUFFERS, FLOODPLAINS, SPECIMEN OR CHAMPION TREES LOCATED THERE ARE NO BURIAL GROUNDS, CEMETERIES, OR HISTORIC STRUCTURES LOCATED ON THIS PROPERTY. HE FOREST CONSERVATION OBLIGATION FOR THIS PROJECT HAS BEEN PREVIOUSLY SATISFIED UNDER SDP-96-098 WITH THE RETENTION OF 1.98 ACRES WHICH MEETS OR EXCEEDS THE BREAK-EVEN POINT OBLICATION OF 0.99 ACRES FOR THIS SITE. PLAT 23546 (F-15-015) ABANDONED 0.61 ACRES OF THE EXISTING FOREST CONSERVATION RETENTION EASEMENT, OF WHICH 0.24 ACRES IS BEING RETAINED WITHIN A FOREST CONSERVATION EASEMENT ON THE DAY RESOURCE CENTER SUBDIVISION, PARCEL A (PLAT 23547; F-14-130). THE REMAINING 0.37 ACRES IS SATISFIED BY RETENTION OF 0.74 ACRES (2:1) IN THE FOREST BANK ESTABLISHED IN CONJUNCTION WITH THE GLENS AT GUILFORD (F-09-112). THE RETENTION EASEMENT IS PROVIDED ON TAX MAP 12. PARCEL 136, LOTS 8 & 9 (PLAT 21417). 42, PARCEL 136, LUIS 8 & 9 (PLAT 21417). 1. THERE ARE NO SPECIMEN TREES LOCATED ON THE SUBJECT PROPERTY. 3. ANY EXISTING STREET TREES DAMAGED OR DESTROYED DURING CONSTRUCTION WILL BE REPLACED BY THE CONTRACTOR. 3. THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE PROVISIONS OF SECTION 16,124 OF THE HOWARD COUNTY CODE, THE LANDSCAPE MANUAL, AND AND THE NEW TOWN ALTERNATIVE COMPLIANCE PROVISIONS OF THE LANDSCAPE MANUAL. FINANCIAL SURETY FOR THE REQUIRED LANDSCAPING HAS BEEN POSTED AS PART OF THE DEVELOPER'S AGREEMENT FOR THIS SITE DEVELOPMENT PLAN IN THE AMOUNT OF \$3,390 FOR THE REQUIRED 10 SHADE TREES AND 13 SHRUBS. GUILFORD ROAD IS CLASSIFIED AS A MAJOR COLLECTOR. FIRE LANES SHOULD BE PROVIDED IN THIS SITE TO ALLOW EMERGENCY VEHICLE ACCESS. EITHER FIRE LANE SIGNAGE SHOULD BE INSTALLED, OR THE CURBS SHOULD BE PAINTED IN RED AND STENCILED TO IDENTIFY THE ROAD AS A FIRE LANE. 40. ALL SIGN POSTS USED FOR TRAFFIC CONTROL SIGNS INSTALLED IN THE COUNTY RIGHT-OF-WAY SHALL BE MOUNTED ON A 2" GALVANIZED STEEL, PERFORATED, SQUARE TUBE POST (14 GAUGE) INSERTED INTO A 2-1/2" GALVANIZED STEEL, PERFORATED, SQUARE TUBE SLEEVE (12 GAUGE) - 3' LONG, A GALVANIZED STEEL POLE CAP SHALL BE MOUNTED ON TOP OF EACH POST. STREET LIGHT PLACEMENT AND THE TYPE OF FIXTURE AND POLE SHALL BE IN ACCORDANCE WITH THE HOWARD COUNTY DESIGN MANUAL. VOLUME III (2006), SECTION 5.5.A. A MINIMUM OF 20' SHALL BE MAINTAINED BETWEEN ANY STREET LIGHT AND ANY TREE. 2. ALL EXTERIOR LIGHTING TO COMPLY WITH THE REQUIREMENTS FOUND IN ZONING SECTION 134 OF THE HOWARD COUNTY ZONING 43. THIS PROPERTY IS WITHIN THE METROPOLITAN DISTRICT. 44. STORMWATER MANAGEMENT FOR THIS PROJECT IS BEING PROVIDED BY ENVIRONMENTAL SITE DESIGN UTILIZING TWO MICRO-BIORETENTION FACILITIES (M-6) TO ACCOMMODATE THE TOTAL ESD VOLUME REQUIRED, SWM FACILITIES TO BE PRIVATELY OWNED AND MAINTAINED, A FEE-IN-LIEU PAYMENT FOR THE STORMWATER MANAGEMENT QUANTITY REQUIREMENTS SHALL BE PAID TO CAPITAL PROJECT #J4181 FOR THE FRONTAGE IMPROVEMENTS ALONG GUILFORD ROAD. FIBER OPTIC FACILITIES ARE LOCATED ON THE WEST SIDE AND PARALLEL TO GUILFORD ROAD. THE OWNER, DEVELOPER, OR CONTRACTOR TO PROVIDE VERTICAL AND HORIZONTAL LOCATION OF THE CONDUIT PRIOR TO INITIATION OF CONSTRUCTION. FIBER OPTIC RELOCATION MAY BE NECESSARY.

1-800-743-0033

410-313-4900 1-800-252-1133

410-637-8713

410-685-0123 410-531-5533

410-795-1390

# HOWARD COUNTY - PUBLIC PARKING LOT HOWARD COUNTY HOUSING COMMISSION SITE DEVELOPMENT PLAN PLAN

HOWARD COUNTY BENCHMARK - 47F5 (CONC. MONUMENT N 535985,0412 E 1365653,4555 ELEV. 234,996 HOWARD COUNTY BENCHMARK - 4848 (CONC, MONUMENT) N 538384.4474 E 1366415,7904 ELEV. 225.653

VICINITY MAP

SCALE: 1'' = 2000'

ADC MAP COORDINATE: 20/E6

SHEET INDEX DESCRIPTION SHEET NO. 1 OF OVER SHEE 2 OF 8 ME LAYOUT 3 OF 8 SITE DETAILS 4 OF 8 GRADING, SEDIMENT AND EROSION CONTROL PLAN 5 OF 8 SEDIMENT AND EROSION CONTROL NOTES AND DETAILS 6 OF 8 STORM DRAIN DRAINAGE AREA MAP; UTILITY PROFILES 7 OF 8 TORMWATER MANAGEMENT DRAINAGE AREA MAP, NOTES AND DETAILS, SOILS MAP 8 OF 8 LANDSCAPE PLAN

> OWNER/DEVELOPER HOWARD COUNTY, MD DEPARTMENT OF PUBLIC WORKS

> > ELLICOTT CITY, MD 21043 (410) 313-4401

3430 COURT HOUSE DR.

REVISION SITE DEVELOPMENT PLAN

COVER SHEET

**HOWARD COUNTY - PUBLIC PARKING LOT** 

HOWARD COUNTY HOUSING COMMISSION AVATI HASLUP PROPERTY, PARCEL B-2 L 16570/F 66, PLAT 23546 ZONED: CE-CLI-CR HOWARD COUNTY, MARYLAND

6TH ELECTION DISTRICT

TAX MAP 48 GRID 12

ROBERT H. VOGEL Engineering, inc. ENGINEERS . SURVEYORS . PLANNERS

8407 MAIN STREET TEL: 410.461.7666 ELLICOTT CITY, MD 21043 FAX: 410.461.8961

DESIGN BY: RHV/DZE DRAWN BY: DZE/KG CHECKED BY: RMV DATE: FEBRUARY 2018 SCALE: AS SHOWN W.O. NO.: 06-72.03

ROFESSIONAL CERTIFICATE I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 16193 EXPIRATION DATE: 09-27-2018

SHEET

SI AND AND HOWARD COUNTY, MD DEPARTMENT OF PUBLIC WORKS HOWARD COUNTY MARYLAND TAX MAP: 47 PARCEL: 59, PARCEL EX 9990 MARKS PLAT 23547 ZONED: CE-CLI-CR USE: EXEMPT COMMERCIAL THE SALVATION ARMY C/O MAJOR WILLIAM MADISON AVATI HASLUP PROPERTY TAX MAP: 48 PARCEL: 95 HOCK/BAVAR STAYTON PARCEL 8-1 JOINT VENTURE LLC PLAT 23546 TAX MAP: 48 PARCEL: 164 USE: EXEMPT COMMERCIAL PARCEL F-1 ZONED: CE-CLI-CR PLAT 13763 USE: NDUSTRIAL ZONED: CE-CLI STAYTON DRIVE PUBLIC COUNTY ROAD 60' RIGHT-OF-WAY \_\_\_\_\_\_ DEPARTMENT OF PUBLIC WORKS HOWARD COUNTY MARYLAND TAX MAP: 47 PARCEL: 59, PARCEL B THE SALVATION ARMY C/O MAJOR WILLIAM MADISON PLAT 23547 ZONED: CE-CLI-CR AVATI HASLUP PROPERTY USE: EXEMPT COMMERCIAL TAX MAP: 48 PARCEL: 95 PARCEL 8-3 PLAT 23547 USE: EXEMPT COMMERCIAL ZONED: CE-CLI-CR EX. SWM POND EX. SWM POND DI PRID PRIBLI EFC WAREHOUSE LLC TAX MAP: 48 PARCEL: 166 PARCEL P-1 PLAT 8791 USE: INDUSTRIAL ZONED: M-2 DEPARTMENT OF PUBLIC WORKS HOWARD COUNTY MARYLAND TAX MAP: 47 PARCEL: 59, PARCEL A PLAT 23547 ZONED: CE-CLI-CR USE: EXEMPT COMMERCIAL SCALE 1"=40' LOCATION MAP ADDRESS CHART

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

PARKING TABULATION TOTAL SPACES REQUIRED: 43 SPACES TOTAL SPACES PROVIDED: INCLUDES 2 HC SPACES

SECTION/AREA LOTS/PARCEL # N/A PARCEL 95. PARCEL B-PLAT # OR L/F | BLOCK NO. | ZONE | TAX MAP | ELECT. DIST. | CENSUS TR. 6069.01 H. VOGEL, PE No.1619

STREET ADDRESS

10352 GUILFORD ROAD

6TH

SEWER CODE: 4250000

LOT/PARCEL#

PERMIT INFORMATION CHART

PARCEL 95, PARCEL B-2

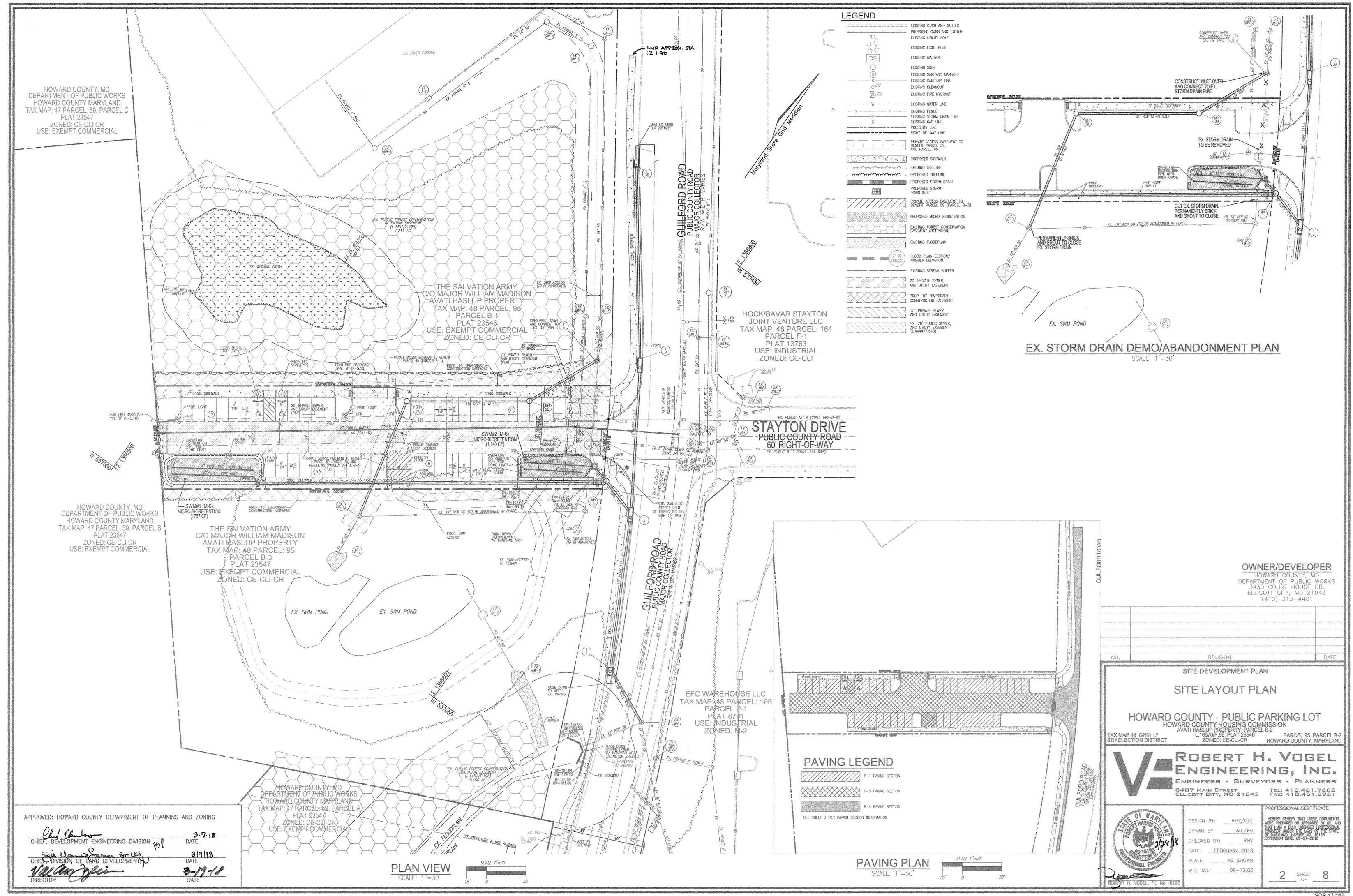
SUBDIVISION NAME

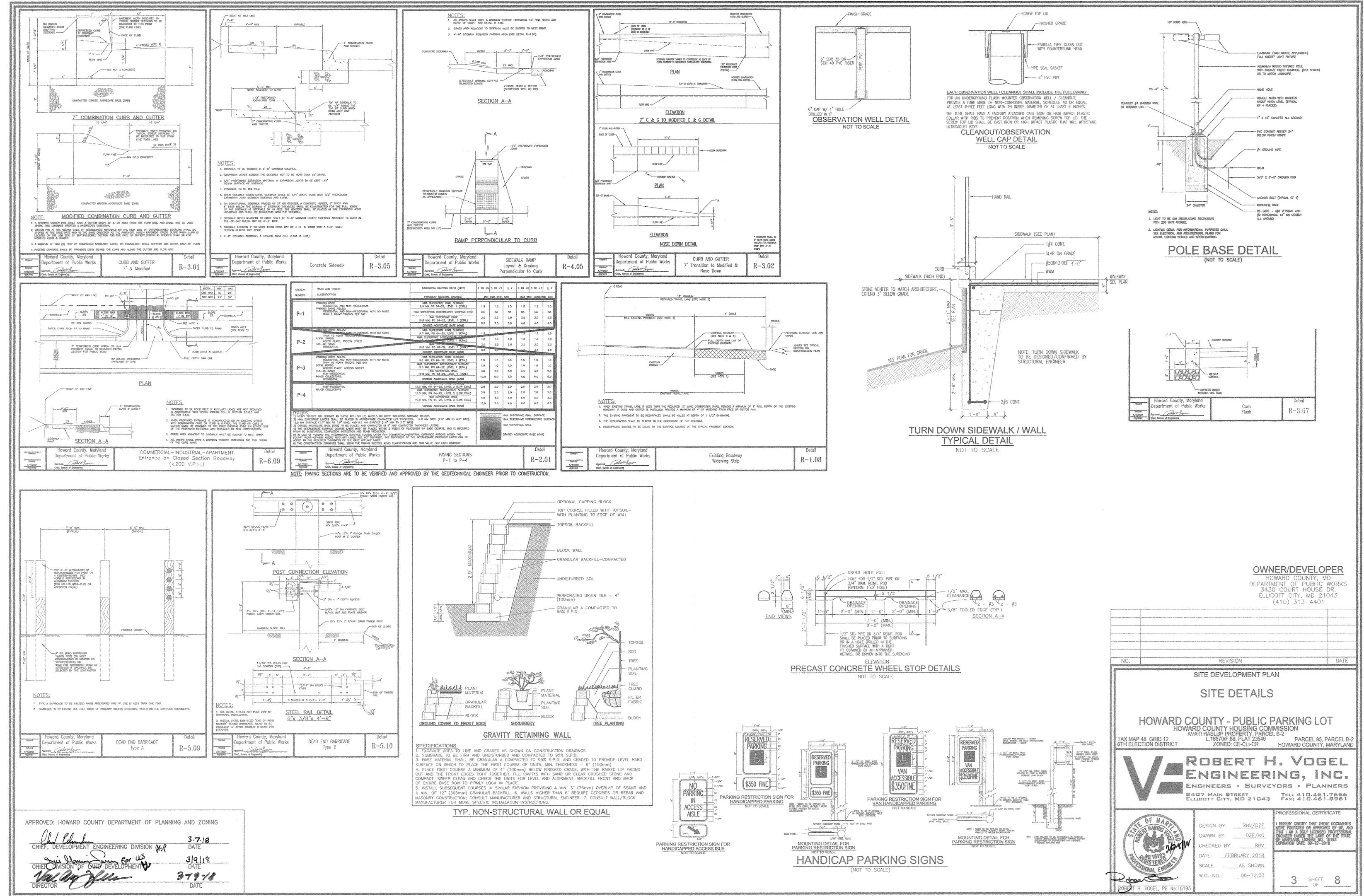
AVATI HASLUP PROPERTY

LAT 24587-24588

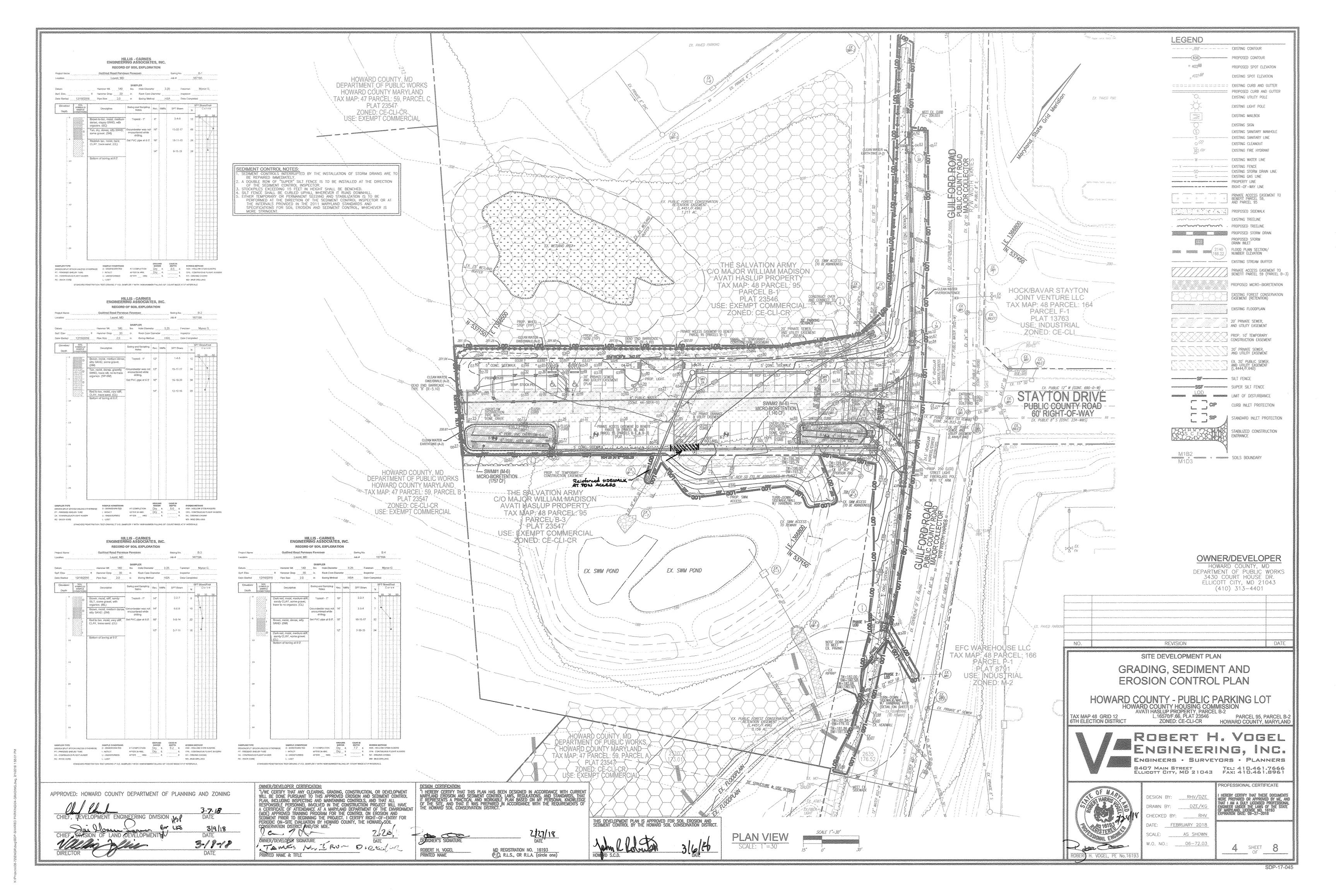
WATER CODE: B-02

DATE





SDP**-17-**045



PLITPOSE TO PROVIDE A SUITABLE SOIL MEDIUM FOR VEGETATIVE ORGANIH. CONTITIONS WHERE PRACTICE APPLIES
WHERE VISITABLE STABLEATION IS TO BE ESTABLISHED.

TEMPORARY STABILIZATION

A SEEDBED PREPARATION CONSISTS OF LOOSENING SOIL TO A DEPTH OF 3 TO 5 INCHES BY MEANS OF SUTABLE ACRECULTURAL OR CONSTRUCTION EQUIPMENT, SUCH AS DISCHARBOWS OR CHESEL PLOWS OR REPERS MOUNTED ON CONSTRUCTION EQUIPMENT, AFTER THE SOIL IS LOOSENING, IN MUST NOT BE ROLLED OR DRANGED SMOOTH BUT LEFT IN THE ROUGHEND CONDITION, SLOPES 3.1 OR FLATTER ARE TO BE TRACKED WITH REDGES RUNNING PARALLEL TO THE CONTOUR OF THE SLOPE.

B. APPLY FERTILIZER AND LINE AS PRESCRIBED ON THE PLANS. INCORPORATE LINE AND FERTILIZER INTO THE TOP 3 TO 5 INCHES OF SOIL BY DISKING OR OTHER C. MICHORARIE DATE ARM FERTILIZED RATE OF THE DIT OF THE OF THE MINISTER SERVICE OF STACKES OR MORE. THE MINISTER SCH. CONDITIONS REGISTED FOR ANY EARTH DISTURBANCE OF STACKES OR MORE. THE MINISTER CONDITIONS REGISTED FOR PERMANENT VEGETATIVE ESTABLISHMENT ARE:

1. SOR, PH. BETWEEN 6.0 AND 7.0.

1. SOR, PH. BETWEEN 6.0 AND 7.0.

1. SOR THE STATE LEGGE DATE FOR DATES DEPORTED MILLION (DRAIL)

R. SOLURIE SALTS LESS THAN 500 PARTS PER MILLON (PPM).
B. SOIL CONTAINS LESS THAN 40 PERCENT CLAY BUT ENDUCH FINE GRAINED MATERIAL (GREATER THAN 30 PERCENT SRT PLUS CLAY) TO PROVIDE THE CAPACITY TO HOLD A MODERATE AMOUNT OF MOISTURE. AN EXCEPTION: IF LONEGRASS WILL BE PLANTED, THEN A SANDY SOIL (LESS THAN 30

PERCENT SLT PLUS CLAY) WOULD BE ACCEPTABLE.

V. SOIL CONTAINS 1.5 PERCENT MEMBRIAL CREATIVE MATTER BY WEICHT.

V. SOIL CONTAINS SUFFICIENT PORE SPACE TO PERMIT ADEQUATE ROOT PENETRATION.

B. APPLICATION OF AMENIUMENTS OR TOPSOIL IS REQUIRED IF ON-SITE SOILS DO NOT MEET THE ABOVE C. GRAPEO AREAS HIST BE MAINTAINED IN A TRUE AND EVEN GRADE AS SPECIFIED ON THE APPROVED PLAN. THEN SCARFED OR OTHERWISE LOOSENED TO A DEPTH OF 3 TO 5 INCHES.

D. APPLY SCIE AMENDMENTS AS SPECIFIED ON THE APPROVED PLAN OR AS INDICATED BY THE RESULTS OF

A SOIL TEST.

MIX SOIL MEMBMENTS INTO THE TOP 3 TO 5 INCHES OF SOIL BY DISKING OR OTHER SUITABLE MEANS.

RAKE LAWN AREAS TO SMOOTH THE SUIFACE, REMOVE LARGE OBJECTS LIKE STONES AND BRANCHES,

MID READY THE AREA FOR SEED APPLICATION, LOOSEN SUIFACE SOIL BY DRAGGING WITH A HEAVY CHAIN

OR OTHER ENLIPHENT TO ROUGHEN THE SUIFACE WHERE SITE CONDITIONS WILL NOT FERMIT NORMAL

SEEDBED PREPARATION. TRACK SLOPES S. 1 OR FLATTER WITH TRACKED COUPMENT LEAVING THE SOIL IN

AN IRREGULAR CONDITION WITH ROUGES RUNNING PARALLEL TO THE CONTOUR OF THE SLOPE, LEAVE THE

TOP 1 TO 3 INCHES OF SOIL LOOSE AND FRIABLE, SEEDBED LOOSENING MAY BE UNINECESSARY ON

NEWLY POSTURBED AREAS. PSCLING
TOPSOL IS PLACED OVER PREPARED SUBSON PRIOR TO ESTABLISHMENT OF PERMANENT VEGETATION, THE
PURPOSE IS TO PROVIDE A SUITABLE SOIL MEDIUM FOR VEGETATIVE GROWTH, SOILS OF CONCEM HAVE LOW

SOIL CRADATION.
TOPSOIL SALVAGED FROM AN EXISTING SITE MAY BE USED PROVIDED IT MEETS THE STANDARDS AS SET FORTH IN THESE SPECIFICATIONS. TYPICALLY, THE DEPTH OF TOPSOIL TO BE SALVAGED FOR A GAEN SOIL TYPE CAN BE FOUND IN THE REPRESENTATIVE SOIL PROFILE SECTION IN THE SOIL SURVEY PUBLISHED BY . TOPSOLING IS LIMITED TO AREAS HAVING 2:1 OR FLATTER SLOPES WHERE: A THE TEXTURE OF THE EXPOSED SUBSOIL/PARENT MATERIAL IS NOT ADEQUATE TO PRODUCE VEGETATIVE

GROWTH.

B. THE SOR. MATERIAL IS SO SHALLOW THAT THE ROOTING ZONE IS NOT DEEP ENOUGH TO SUPPORT PLANTS OR FLERISH CONTINUES SUPPLIES OF MOSTURE AND PLANT RETRENTS.

C. THE CRUCHAL SOR TO BE VEGETATED CONTAINS MATERIAL TOXIC TO PLANT GROWTH.

D. THE SOR IS SO ACCRUCATION TREATMENT WITH LIMESTONE IS NOT FEASIBLE.

4. AREAS NAMES SLOPES STEEPER THAN 21 REQUIRE SPECIAL CONSIDERATION AND DESIGN.

S. TOPSOR MASTER SOR TO BE USED AS TOPSOR MAST MEET THE FOLLOWING CRITERIA:

A TOPSOR MIST BE A LOAM, SANDY LOAM, CLAY LOAM, SET LOAM, SANDY CLAY LOAM, OR LOAMY SAND,
OTHER SORS MAY BE USED AF RECOMMENDED BY AN ACROMOMIST OR SOR SCENIST AND APPROVED BY
THE APPROPRIATE APPROVAL AUTHORITY, TOPSOR, MUST NOT BE A MIXTURE OF CONTRASTING TEXTURED
SUBSORS AND MUST CONTAIN LESS THAN 5 PERCENT BY VOLUME OF CANCERS, SLAG, COARSE
EXACUSING CARRIES SORVER SORVER DEVICES TOWNS AND AMEDICAL DESCRIPTION OF MASTER AND AMEDICAL DESCRIPTIONS.

PAGMENTS, CRAVEL, STICKS, ROOTS, TRASH, OR OTHER MATERIALS LARGER THAN 1% INCHES IN UAMELIER:

B. TOPSOR, MUST BE FREE OF MOXIOUS PLANTS OR PLANT PARTS SUCH AS BERMUDA GRASS, QUACK
GRASS, JOHNSON GRASS, NUT SEDEE, POISON MY, THISTLE, OR OTHERS AS SPECIFIED.

C. TOPSOR SUBSTRUTES OR AMENDMENTS, AS RECOMMENDED BY A QUALIFIED ACRONOMIST OR SOR
SCIENTIST AND APPROVED BY THE APPROPRIATE APPROVAL AUTHORITY, MAY BE USED IN LIEU OF

NATURAL TOPSON.

6. TOPSON APPLICATION

A. ERGSON AND SEDMENT CONTROL PRACTICES NUST BE MANTANED WHEN APPLYING TOPSON.

B. UNFORMAY DISTRIBUTE TOPSON IN A 5 TO 8 INCH LAYER AND LICHTLY COMPACT TO A MINIMUM THRORNESS OF A INCHES. SPREADING IS TO BE PERFORMED IN SUCH A MANNER THAT SOCIENC OR SETUNG CAN PROCEED WITH A MINIMUM OF ADDITIONAL SON PREPARATION AND TILLAGE. MAY INFEGULARIDES IN THE SURFACE RESULTING FROM TOPSONING OR OTHER OPERATIONS MUST BE CORRECTED IN ORDER TO PREVAIN THE FORMATION OF DEPRESSIONS ON WATER POCKETS.

C. TOPSON MUST NOT BE PLACED IF THE TOPSON OR SUBSONL IS IN A FROZEN OR MUDDLY CONDITION, WHEN THE SUBSONIC AND SELECTED PREPARATION.

SON AMENOMENTS OFFERDIZER AND LIMIT SPECIFICATIONS?

HTELPEN GRAUNG AND SELENED PREPARATION.

C. SOIL AMENDMENTS (FERBILIZER AND LIME SPECIFICATIONS)

1. SOIL TESTS MUST BE PERFORMED TO DETERMINE THE EXACT RATIOS AND APPLICATION RATES FOR BOTH LIME AND FERTILIZER ON SITES HAVING DISTORDED AREAS OF S ACRES OR MORE, SOIL ANALYSIS MAY BE PERFORMED BY A RECOGNIZED PROVIDE OR COMMERCIAL LABORATORY. SOIL SAMPLES TAKEN FOR ENGBERRING PURPOSES MAY ALSO BE USED FOR CHEMICAL ANALYSES.

2. FERTILIZERS MUST BE LIMFORM IN COMPOSITION, FREE FLOWING AND SUITABLE FOR ACCURATE APPLICATION BY APPROPRIATE EXPONENT. MARGINE MAY BE SUBSTITUTED FOR FERTILIZER WITH PRIOR APPROVAL FROM THE APPROPRIATE APPROVAL, MITHOSTY, FERTILIZERS MUST ALL BE DELIVERED TO THE SITE FULLY LABELED ACCORDING TO THE APPLICABLE LAWS AND MUST BEAR THE NAME, TRADE MAME OR TRADEMARK AND WARRANTY OF DIE PRODUCER. . LIME MATERIALS MUST BE CROUND LIMESTONE (HYDRATED OR BURNT LIME MAY BE SUBSTITUTED EXCEPT WE'N HYDROSEDING) WHICH CONTAINS AT LEAST 50 PERCENT TOTAL OXIDES (CALCIUM OXIDE PLUS MAGNESIUM OXIDE), LIMESTONE MUST BE GROUND TO SUCH FINENESS THAT AT LEAST 50 PERCENT WILL PASS THROUGH A \$100 MESH SIEVE AND 98 TO 100 PERCENT WILL PASS THROUGH A \$20 MESH SIEVE 4.

LIME AND FEHTRIZER ARE TO BE EVENLY DISTRIBUTED AND INCORPORATED INTO THE TOP 3 TO 5 INCHES OF SOIL BY DISKING OR OTHER SUITABLE MEANS.

S. WHERE THE SUBSOIL IS EITHER HIGHLY ACIDIC OR COMPOSED OF HEAVY CLAYS, SPREAD CROWNO LIMESTONE AT THE RATE OF 4 TO 8 TONS/ACRE (200-400 POUNDS PER 1,000 SQUARE FEET) PRIOR TO THE PLACEMENT OF TOPSOIL.

HOWARD SOIL CONSERVATION DISTRICT (HSCD) STANDARD SEDIMENT CONTROL NOTES

A PRE-CONSTRUCTION MEETING MUST OCCUR WITH THE HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS CONSTRUCTION INSPECTION DAISION (CID), 410–313–1855 AFTER THE FUTURE LOD AND PROTECTED AREAS ARE MARKED CLEARLY IN THE FIELD. A MANMAUM OF 48 HOUR NOTICE TO CID MUST BE GIVEN AT THE

ARE MARKED CLEARLY IN DIE FELD. A MINIMUM OF 48 HOUR NOTICE TO CID MUST BE GIVEN AT THE FOLLOWING STAKES:

A. PEIGR TO THE START OF EARTH DISTURBANCE,

B. UPON COMPLETION OF THE INSTALLATION OF PERMETER EROSION AND SEDMENT CONTROLS, BUT BEFORE PROCEEDING WITH ANY OTHER EARTH DISTURBANCE OR GRADING,

C. PRIOR TO THE START OF ANOTHER PHASE OF CONSTRUCTION OF DEPANDE OF ANOTHER GRADING UNIT,

C. PRIOR TO THE REMOVAL OR MODEPONTER OF SEDMENT CONTROL PRACTICES.

OTHER BUILDING OR GRADING INSPECTION APPROVALS MAY NOT BE AUTHORIZED UNITE. THIS INITIAL APPROVAL BY THE INSPECTION AGENCY IS MADE. OTHER RELATED STATE AND FEDERAL PERMITS SHALL BE REFERENCED, TO ENSURE COORDENATION AND TO AVOID CONFICITS WITH THIS FLAN.

ALL VECETATIVE AND STRUCTURAL PRACTICES ARE TO BE INSTALLED ACCORDING TO THE PROVISIONS OF THIS PLAN AND ARE TO BE IN CONFORMANCE WITH THE 2011 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL PROSION AND SEDMENT CONTROL. AND REVISIONS THERETO. PLAN AND ARE TO BE IN CONFORMANCE WITH THE 2011 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL FROSION AND SIDMENT CONTROL. AND REVISIONS THERE TO.

TOLLOWING INTIAL SOIL DESURBANCE OF RE-DISTURBANCE, PERMANENT OR TEMPORARY STABILIZATION IS REQUIRED WITHIN THREE (3) CALENDAR DAYS AS TO THE SURFACE OF ALL PERMATER CONTROLS, DIKES, SWALES, DITCHES, PERMATER SLOPES, AND ALL SLOPES STEEPER THAN 3 HORIZONTAL TO 1 VERTICAL (3:1): AND SEVEN (7) CALENDAR DAYS AS TO ALL OTHER DISTURBED AREAS ON THE PROJECT SITE EXCEPT FOR THOSE AREAS LINGER ACTIVE GRADBIG.

ALL DISTURBED AREAS MUST BE STABILIZED WITHIN THE TIME PERIOD SPECIFIED ABOVE IN ACCORDANCE WITH THE 2011 MARCHAD STABILIZED WITHIN THE TIME PERIOD SPECIFICATION FOR TOPSOR (SEC. 8-4-2), PERIAMENT SEEDING (SEC. 8-4-5), TEMPORARY SEEDING (SEC. 8-4-4) AND MILICIPING (SEC. 8-4-3). TEMPORARY STABILIZATION WITH MILICH ALCORDANCE ONLY BE APPLIED BETWEEN THE SELF AND SEPTIME AND SERVICE OF THE COURT OF THE SELF AND SECRETARY SEEDING (SEC. 8-4-3). THE FALL AND SPRING SEEDING DATES IF THE GROUND IS FROZEN, INCREMENTAL STABILIZATION (SEC. B-4-1) SPECIFICATIONS SHALL BE ENFORCED IN AREAS WITH >15' OF CUT AND/OR FILL. STOCKPILES (SEC 8-4-8) IN EXCESS OF 20 FT. MAST BE BENCHED WITH STABLE OUTLET, ALL CONCENTRATED FLOW, STEEP ROPE, AND HIGHLY ERODRILE AREAS SHALL RECEIVE SOR STABLIZATION MATTOR (SEC. B-4-6).

AL SEDIMENT CONTROL STRUCTURES ARE TO REMAIN IN PLACE, AND ARE TO BE MAINTAINED IN OPERATIVE CONDITION LATTE, PERMISSION FOR THEIR REMOVAL HAS BEEN OBTAINED FROM THE CID.

A DISTURBED: A TO BE ROOFED OR PAVED: A TO BE VESTATIVELY STABILIZED:

OFFSTE WASTE/BORROW AREA LOCATION:

ANY SEBMENT CONTROL PRACTICE WHICH IS DISTURBED BY GRADING ACTIVITY FOR PLACEMENT OF UTILITIES MUST BE REPAIRED ON THE SAME DAY OF DISTURBANCE.

ADDITIONAL SEBMENT CONTROL MUST BE PROJECT, IF DEEMED NECESSARY BY THE CID. THE SITE AND ALL CONTROLS SHALL BE INSPECTED BY THE CONTRACTOR WEEKLY, AND THE NEXT DAY AFTER EACH RAIN EVENT. A WENTEN REPORT BY THE CONTRACTOR, MADE AVAILABLE UPON REQUEST, IS PART OF EVERY INSPECTION. AND SHOULD INCLUDE:

\* INSPECTION DATE \* INSPECTION TYPE (ROUTINE, PRE-STORM EVENT, DURING RAIN EVENT)

\* NAME AND TITLE OF INSPECTOR

\*WEATHER INFORMATION (CURRENT CONDITIONS AS WELL AS TIME AND AMOUNT OF LAST RECORDED BREE DESCRIPTION OF PROJECT'S STATUS (E.G., PERCENT COMPLETE) AND/OR CURRENT ACTIVITIES

EVIDENCE OF SEDIMENT DISCHARGES

DENTIFICATION OF PLAN DEFICIENCES

DENTIFICATION OF SEDIMENT CONTROLS THAT REQUIRE MAINTENANCE

DENTIFICATION OF MISSING OR IMPROPERLY INSTALLED SEDIMENT CONTROLS

COMPLIANCE STATUS RECARDING THE SEQUENCE OF CONSTRUCTION AND STABILIZATION REQUIREMENTS

· MONITORING/SAMPLING

 MAINTENANCE AND/OR CORRECTIVE ACTION PERFORMED
 OTHER INSPECTION ITEMS AS REQUIRED BY THE GENERAL PERMIT FOR STORMWATER ASSOCIATED WITH \*OTHER INSPECTION TERMS AS REQUIRED BY THE GENERAL PERMIT FOR STORMWATER ASSOCIATED WITH

CONSTRUCTION ACTIVITIES (NPDES, MOE).

TRENCHES FOR THE CONSTRUCTION OF UTILITIES IS LIMITED TO THREE PIPE LENGTHS OR THAT WHICH CAN
AND SHALL BE BACK-FILLED AND STABILIZED BY THE END OF EACH WORKDAY, WHICHEVER IS SHORTER.

APPROVED BY THE HIGD PRORT TO PROCEEDING WITH CONSTRUCTION, MINOR REVISIONS MAY ALLOWED BY
THE CID PER THE LIST OF HISCO-APPROVED FELD CHANGES.

BUSTURBANCE SHALL NOT OCCUR OUTSIDE THE LLOD. A PROJECT IS TO BE SEQUENCED SO THAT GRADING
ACTIVITIES RECALD NO ONE CARDING LIMIT (MAYWHIT ACCEANCE OF 20 AC DEEP CRADING LIMIT) AT A TIME

13. ADJUST LIMITS OF DISTURBANCE F

14. ADJUST LIMITS OF DISTURBANCE F

15. COMPLETE SIDEWALK/WALL CONST

16. INSTALL SIDEWALK, (2 WEEKS)

17. WITH INSPECTOR'S APPROVAL, FINIT

18. ADJUST LIMITS OF DISTURBANCE F

19. ADJUST LIMITS OF DISTURBANCE F

19. ADJUST LIMITS OF DISTURBANCE F

10. ADJUST LIMITS OF DISTURBANCE F

11. ADJUST LIMITS OF DISTURBANCE F

12. ADJUST LIMITS OF DISTURBANCE F

13. ADJUST LIMITS OF DISTURBANCE F

14. ADJUST LIMITS OF DISTURBANCE F

15. COMPLETE SIDEWALK/WALL CONST

16. INSTALL SIDEWALK (WITH INSPECTOR'S APPROVAL, FINIT AT THE CONSTRUCTION APPROVED F

17. WITH INSPECTOR'S APPROVAL F

18. ADJUST LIMITS OF DISTURBANCE F

19. ADJUST LIMITS OF DIS

ACTIVITIES BEGIN ON ONE GRADING UNIT (MAXIMUM ACTEAGE OF 20 AC. PER GRADING UNIT) AT A TIME.
WORK MAY PROCEED TO A SUBSEQUENT GRADING UNIT WHEN AT LEAST 50 PERCENT OF THE DISTURBED
AREA IN THE PRECEDING GRADING UNIT MAS BEEN STABILIZED AND APPROVED BY THE CID. UNLESS
OTHERWISE SPECIFIED AND APPROVED BY THE HSCD, NO MORE THAN 30 ACRES CUMULATIVELY MAY BE
DISTURBED AT A GIVEN TIME.
WASH WHATEN FROM TIME. DISTURBED AT A GREET THRE.

WASH WATER FROM ANY EQUIPMENT, VEHICLES, WHEELS, PAVEMENT, AND OTHER SOURCES MUST BE TREATED IN A SEDIMENT BASIN OR OTHER APPROVED WASHOUT STRUCTURE.

TOPSOE SHALL BE STOCKPLED AND PRESERVED ON—SITE FOR REDISTRIBUTION ONTO FINAL GRADE. ALL SILT FENCE AND SUPER SILT FENCE SHALL BE PLACED ON-THE-CONTOUR, AND BE IMBRICATED AT 25" MINIMUM INTERVALS, WITH LOWER ENDS CURLED UPHILL BY 2' IN ELEVATION.

STREAM CHANNELS MUST NOT BE DISTURBED DURING THE FOLLOWING RESTRICTED TIME PERIODS (INCLUSIVE):

\* USE I AND UP MARCH 1 - JUNE 15

\* USE BE AND UP OCTOBER 1 - APRIL 30

\* USE IN MARCH 1 - MAY 31

A COPY OF THIS PLAN, THE 2011 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL, AND ASSOCIATED PERMITS SHALL BE ON-SITE AND AVAILABLE WHEN THE SITE IS ACTIVE.

\*\* TO BE DETERMINED BY CONTRACTOR, WITH PRE-APPROVAL OF THE SEDIMENT CONTROL INSPECTOR, WITH AN APPROVED AND ACTIVE GRADING PERMIT. EDIMENT CONTROLS INTERRUPTED BY THE INSTALLATION OF STORM DRAINS ARE TO

DEVELOPMENT ENGINEERING DIVISION NO

DIVISION OF LAND DEVELOPMENT W

BE REPAIRED IMMEDIATELY.

A DOUBLE ROW OF "SUPER" SILT FENCE IS TO BE INSTALLED AT THE DIRECTION OF THE SEDIMENT CONTROL INSPECTOR.

STOCKPILES EXCEEDING 15 FEET IN HEIGHT SHALL BE BENCHED,
SILT FENCE SHALL BE CURLED UPHILL WHEREVER IT RUNS DOWNHILL.

ETHER TEMPORARY OR PERMANENT SEEDING AND STABILIZATION IS TO BE PERFORMED AT THE DIRECTION OF THE SEDIMENT CONTROL INSPECTOR OR AT THE INTERVALS PROVIDED IN THE 2011 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL, WHICHEVER IS MADE STRINGENT APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

B-4-3 STANDARDS AND SPECIFICATIONS FOR SEEDING AND MULCHING

DEFINITION
THE APPLICATION OF SEED AND MULCH TO ESTABLISH VECETATIVE COVER.

TO PROTECT DISTURBED SOILS FROM EROSION DURING AND AT THE END OF CONSTRUCTION. CONDITIONS WHERE PRACTICE APPLIES TO THE SURFACE OF ALL PERMETER CONTROLS, SLOPES, AND ANY DISTURBED AREA NOT UNDER ACTIVE GRADING.

SPELTRAHOUNG.
A ALL SEED MUST MEET THE REQUIREMENTS OF THE MARYLAND STATE SEED LAW, ALL SEED MUST BE SUBJECT TO RE-TESTING BY A RECOGNIZED SEED LABORATORY, ALL SEED USED MUST HAVE BEEN TESTED WITHIN THE 6 MONTHS IMMEDIATELY PRECEDING THE DATE OF SOWING SUCH MATERIAL ON ANY PROJECT, REFER TO TABLE BY RECARDING THE QUALITY OF SEED, SEED ASS MUST BE AVAILABLE UPON REQUEST TO THE INSPECTOR TO VERIFY TYPE OF SEED AND SEEDING RATE. REQUEST TO THE INSPECTOR TO VERIEV TYPE OF SEED AND SEEDING RATE.

8. MAICH ALONE MAY BE APPLIED BETWEEN THE FALL AND SPRING SEEDING DATES ONLY IF THE GROUND IS FROZEN. THE APPROPRIATE SEEDING INSTURE MUST BE APPLIED WHEN THE GROUND THANS.

C. HOCULANTS: THE INDICILANT FOR TREATING LEGIME SEED IN THE SEED MIXTURES MUST BE A PURE CULTURE OF INTROCEN FROM BACTERIA PREPARED SPECIFICALLY FOR THE SPECIES. INCULANTS MUST NOT BE USED LATER THAN THE DATE MIGRATED ON THE CONTAINER. ADD FRED INCULANTS AS DIRECTED ON THE PACKAGE. USE FOUR TIMES THE RECOMMENDED RATE WHEN HOROSEEDING, NOTE: IT IS VERY IMPORTANT TO KEEP INOCULANT AS COOL AS POSSIBLE UNTIL USED, TEMPERATURES ABOVE 75 TO 80 DESDEES FAHERINET CAN WEAKEN BACTERIA AND MAIKE THE INOCULANT LESS EFFECTIVE.

D. SOO OR SEED MUST NOT BE PLACED ON SOIL WHICH HAS BEEN TREATED WITH SOIL STERILANTS OR CHEMICALS USED FOR WED CONTROL UNTIL SUFFICIENT THAY HAS PLAYSHOT 14 DAYS MIN.) TO PERMIT CHEMICALS USED FOR WEED CONTROL UNTIL SUFFICIENT TIME HAS ELAPSED (14 DAYS MIN.) TO PERMIT DISSIPATION OF PHYTO-TOXIC MATERIALS.

A. DRY SEEDING: THES INCLUDES USE OF CONVENTIONAL DROP OR BROADCAST SPREADERS.

I. INCORPORATE SEED INTO THE SUBSOR AT THE RATES PRESCRIBED ON TEMPORARY SEEDING TABLE

8.1, PERMANENT SEEDING TABLE 8.3, OR SITE-SPECIFIC SEEDING SUMMARES.

8. APPLY SEED IN TWO DIRECTIONS, PERPENDICULAR TO EACH OTHER. APPLY HALF THE SEEDING RATE
IN EACH DIRECTION. ROLL THE SEEDED AREA WITH A WEIGHTED ROLLER TO PROVIDE GOOD SEED TO SOIL CONTACT.

B. DRUL OR CLATIPACKER SEEDING: MECHANIZED SEEDERS THAT APPLY AND COVER SEED WITH SOIL.

I, CULTPACKING SEEDERS ARE REQUIRED TO BURY THE SEED IN SUCH A FASHION AS TO PROVIDE AT
LEAST 1/4 INCH OF SOIL COVERING, SEEDIBED MUST BE FIRM AFTER PLANTING.

II. APPLY SEED IN TWO DIRECTIONS, PERPENDICULAR TO EACH OTHER, APPLY HALF THE SEEDING RATE

C. HYDROSEEDING: APPLY SEED UNIFORMLY WITH HYDROSEEDER (SLURRY INCLUDES SEED AND FERTILIZER).

I. IF FERTILIZER IS BEING APPLIED AT THE TIME OF SEEDING, THE APPLICATION RATES SHOULD NOT EXCEED THE FOLLOWING: INTROGEN, 100 POUNDS PER ACRE TOTAL OF SOLUBLE INTROGEN, P205 (PHOSPHOROUS), 200 POUNDS PER ACRE; K20 (POTASSRIM), 200 POUNDS PER ACRE. IL LIME. USE ONLY OROUND AGRICULTURAL LIMESTONE (UP TO 3 TONS PER ACRE MAY BE APPLIED BY HYDROSEEDING). NORMALLY, NOT MORE THAN 2 TONS ARE APPLIED BY HYDROSEEDING ONE TIME. BO NOT USE BURNT OR HYDRATED LIME WHEN HYDROSEEDING.

BL MIX SEED AND FERTILIZER ON SITE AND SEED IMMEDIATELY AND WITHOUT INTERRUPTION, IV. WHEN HYDROSEEDING DO NOT INCORPORATE SEED INTO THE SOIL.

A. STRAW CONSISTING OF THOROUGHLY THRESHED WHEAT, LYE, OAT, OR BARLEY AND REASONABLY BRIGHT IN COLOR, STRAW IS TO BE FREE OF NOXIOUS WEED SEEDS AS SPECIFIED IN THE MARYLAND SEED LAW AND NOT MUSTY, MOLDY, CANED, DECAYED, OR EXCESSIVELY BUSTY, NOTE: USE ONLY STERILE STRAW MAILCH IN AREAS WHERE ONE SPECIES OF GRASS IS DESIRED.

NOTE: USE ONLY STERILE STRAW MULCH IN AREAS WHERE ONE SPECIES OF GRASS IS DESIRED.

B. WOOD CELLULOSE FIBER MULCH (WOFM) CONSISTING OF SPECIALLY PREPARED WOOD CELLULOSE PROCESSED INTO A UNIFORM FIBRIUS PHYSICAL STATE.

I. WCFM IS TO BE DYED GREEN OR CONTAIN A GREEN DYE IN THE PACKAGE THAT WILL PROVIDE AN APPROPRIATE COLOR TO FACILITATE VISUAL INSPECTION OF THE UNFORMLY SPEAD SLURRY.

II. WCFM INCLUDING DYE, MUST CONTAIN NO GERINANDED OR GROWTH INHEBITING FACTORS.

III. WCFM MATERIALS ARE TO BE MANUFACTURED AND PROCESSED IN SUCH A MANNER THAT THE WOOD CELLILOSE FIBER MULCH WILL REMAIN IN UNFORM SUSPENSION IN WATER UNDER AGITATION AND WILL BEEN WITH SEMPLY FIBER ADMITTAGES TO FORM A HOMOGENEOUS SLURRY. THE MULCH MATERIAL MUST FORM A BLOTTER-LIKE GROUND COVER, ON APPLICATION, HAVING MOBSIURE ABSORPTION AND PERCOLATION PROPERTIES AND MUST COVER AND HOLD GRASS SEED IN CONTACT WITH THE SOL, WITHOUT INHIBITING THE GROWTH OF THE GRASS SEEDIANGS.

IV. WCFM MATERIAL, MUST NOT CONTAIN ELEMENTS OR COMPOUNDS AT CONCENTRATION LEVELS THAT WILL BE PHYTO—TOXIC.

V. WCFM MUST CONFORM TO THE FOLLOWING PHYSICAL REQUIREMENTS: FIRET FRICTH OF WHIL BE FITH OF TABLE.

WERM MUST CONFORM TO THE FOLLOWING PHYSICAL REQUIREMENTS: FIBER LENGTH OF APPROXIMATELY TO MILLIMETERS, DIAMETER APPROXIMATELY TO MILLIMETER, PIN RANGE OF 4.0 TO 8.5, ASH CONTENT OF 1.6 PERCENT MAXIMUM AND WATER HOLDING CAPACITY OF 90 PERCENT

A APPLICATION

A APPLICATION

A APPLICATION

B WHEN STRAW MULCH TO ALL SEEDED AREAS IMMEDIATELY AFTER SEEDING.

B WHEN STRAW MULCH IS USED, SPREAD IT OVER ALL SEEDED AREAS AT THE RATE OF 2 TONS PER ACRE. TO A UNIFORM LOOSE DEPTH OF 1 TO 2 INCHES. APPLY MULCH TO ACHIEVE A UNIFORM DISTRIBUTION AND DEPTH SO THAT THE SOR, SURFACE IS NOT EXPOSED, WHEN USING A MULCH ANCHORING TOOL, INCREASE THE APPLICATION RATE TO 25 TONS PER ACRE.

C WOOD CELLULOSE FIBER USED AS MULCH MUST BE APPLIED AT A NET DRY WEIGHT OF 1500 POUNDS PER ACRE. MIX THE WOOD CELLULOSE FIBER WITH WATER TO ATTAIN A MIXTURE WITH A MAXIMUM OF 50 POUNDS OF WOOD CELLULOSE FIBER PER 100 GALLONS OF WATER.

ANCHOMING A. PERFORM MULCH ANCHORNG HIMEDIATELY FOLLOWING APPLICATION OF MULCH TO MINIMIZE LOSS BY WIND PERFORM MULCH ANCHORING IMMEDIATELY FOLLOWING APPLICATION OF MULCH TO MINIMIZE LOSS BY WIND OR WATER. THIS MAY BE DONE BY ONE OF THE FOLLOWING METHODS (LISTED BY PREFERENCE). DEPENDING UPON THE SIZE OF THE AREA AND EROSION HAZARD:

I. A MULCH ANCHORING TOOL IS A TRACTOR DRAWN IMPLEMENT DESIGNED TO PUNCH AND ANCHOR MULCH INTO THE SOIL SURFACE A MINIMUM OF 2 INCHES, THIS PRACTICE IS MOST EFFECTIVE ON LARGE AREAS, BUT IS UMITED TO FLATTER SLOPES WHERE EQUIPMENT CAN OPERATE SAFELY. IF USED ON SLOPING LAND, THIS PRACTICE SHOULD FOLLOW THE CONTOUR.

II. WOOD CELLULOSE FIBER MAY BE USED FOR ANCHORING STRAW, APPLY THE FIBER BINDER AT A MET DRY WEIGHT OF 750 POLINDS PER ACRE. MIX THE WOOD CELLULOSE FIBER WITH WATER AT A MAXIMUM OF SO POUNDS OF WOOD CELLULOSE FIBER PER TOO GALLONS OF WATER.

III. SYNTHETIC BRIDERS SLICH AS ACRYLIC BLR (AGRO-TICK), DOA-70, PETROSET.

MAXIMUM OF SO POUNDS OF WOOD CELLULOSE FIBER PER 100 GALLONS OF WATER.

BI SYNTHETIC BINDERS SUCH AS ACRYLIC DLR (AGRO-TACK), DCA-70, PETROSET,
TERRA TAX II, TERRA TACK AR OR OTHER APPROVED EQUAL MAY BE USED, FOLLOW APPLICATION
RATES AS SPECIFED BY THE MANUFACTURER. APPLICATION OF LOQUED BINDERS NEEDS TO BE
HEAVIER AT THE EDGES WHERE WIND CATCHES MULCH, SUCH AS IN VALLEYS AND ON CRESTS OF
BANKS, USE OF ASPHALT BINDERS IS STRICTLY PROHBITED,

IV. LICHTURECHT PLASTIC NETTING MAY BE STAPFLED OVER THE MULCH ACCORDING TO MANUFACTURER
RECOMMENDATIONS. NETTING IS USUALLY AVAILABLE IN ROLLS 4 TO 15 FEET WIDE AND 300 TO
3,000 FEET LONG.

STANDARDS AND SPECIFICATIONS FOR DUST CONTROL DEFINITION CONTROLLING THE SUSPENSION OF DUST PARTICLES FROM CONSTRUCTION ACTIVITIES.

MARTUSE.
TO PREVENT BLOWING AND MOVEMENT OF DUST FROM EXPOSED SOIL SURFACES TO REDUCE ON AND OFF-SITE.
DAMAGE INCLUDING HEALTH AND TRAFFIC HAZARDS. CONDITIONS WHERE PRACTICE APPLIES SUBJECT TO DUST BLOWING AND MOVEMENT WHERE ON AND OFF-SITE DAMAGE IS LIKELY WITHOUT TREATMENT.

SPECIFICATIONS

1. MILCORES: SEE SECTION B-4-2 SOIL PREPARATION, TOPSOILING, AND SOIL AMENDMENTS, SECTION B-4-3 SEEDING AND MULCHING, AND SECTION B-4-4 TEMPORARY STABILIZATION, MULCH MUST BE ANCHORED TO PREVENT BLOWING.

SEEDING AND MILCHING, AND SECTION B-4-4 TEMPORARY STABILIZATION. MULCH MUST BE ANCHORED TO PREVENT BLOWING.

2. VEGETATIVE COVER: SEE SECTION B-4-4 TEMPORARY STABILIZATION.

3. TILLAGE: TILL TO ROUGHEN SURFACE AND BRING CLODS TO THE SURFACE, BEGIN PLOWING ON WINDWARD SIDE OF SITE, CHISEL-TYPE PLOWS SPACED ABOUT 12 INCHES APART, SPRING-TOOTHED HARROWS, AND SIMILAR PLOWS ARE EXAMPLES OF EQUIPMENT THAT MAY PRODUCE THE DESIRED EFFECT.

4. IRRIGATION: SPRINKLE SITE WITH WATER UNTIL THE SURFACE IS MOIST. REPEAT AS NEEDED, THE SITE MUST NOT BE IRRIGATED TO THE POINT THAT RUNOFF OCCURS.

5. BARREERS: SOLID BOARD FENCES, SIT FENCES, SNOW FENCES, BURLAP FENCES, STRAW BALES, AND SIMILAR MATERIAL CAN BE USED TO CONTROL AIR CURRENTS AND SOIL BLOWING.

6. CHEMICAL TREATMENT: USE OF CHEMICAL TREATMENT REQUIRES APPROVAL BY THE APPROPRIATE PLAN REVIEW MATERIALY.

SEQUENCE OF CONSTRUCTION

2. DEVELOPER/CONTRACTOR SHALL CONDUCT A PRE-CONSTRUCTION MEETING WITH THE SEDIMENT CONTROL INSPECTOR PRIOR TO ANY LAND DISTURBANCE, (1 DAY) 3. NOTIFY HOWARD COUNTY BUREAU OF ENGINEERING, CONSTRUCTION INSPECTION DIVISION (410-313-1880) AT LEAST 24 HRS BEFORE STARTING WORK. (1 DAY) 4. STAKEOUT LIMITS OF PHASE 1 DISTURBANCE (2 DAYS) 5. INSTALL STABILIZED CONSTRUCTION ENTRANCE WITH MOUNTABLE BERM (1 DAY)

CLEAR AND GRUB FOR THE INSTALLATION OF ALL PERIMETER CONTROLS. (2 DAYS) INSTALL PERIMETER CONTROLS INCLUDING EARTH DIKES, PERIMETER DIKE/SWALES, SILT FENCE, SUPER SILT FENCE AND DIVERSION FENCING. 3. WITH APPROVAL OF SEDIMENT CONTROL INSPECTOR, CLEAR AND GRUB REMAINDER OF SITE TO LOD. (1 WFFK)

9 REGIN MASS GRADING (1 WEEK) 10. BEGIN INSTALLATION OF SITE UTILITIES (STORM DRAIN, WATER, AND MICROBIORETENTION FACILITIES). REMOVAL AND/OR ABANDON EXISTING STORM DRAIN AS INDICATED. PROVIDE INLET PROTECTION AS SHOWN ON THIS PLAN (3 WEEKS)

A. MICROBIORETENTION CONSTRUCTION: CONSTRUCT STORM DRAIN SYSTEM INCLUDING MICROBIORETENTION UNDERDRAINS AND \$57 STONE. COVER STONE WITH POLY SHEET PLASTIC TO PREVENT CONTAMINATION, AND TEMPORARILY BACKFILL. PROVIDE SILT FENCE AROUND MICROBIORETENTION FACILITY. 11. AFTER UTILITIES HAVE BEEN INSTALLED AND SITE IS BROUGHT TO GRADE, AND WITH INSPECTOR'S APPROVAL, BEGIN INSTALLATION OF ROAD BASE PAVING AND CURB. (3 WEEKS) 2. INSTALL PAVING SURFACE COURSE. (1 WEEK)

13. ADJUST LIMITS OF DISTURBANCE FOR PHASE 2. (1 DAYS)
14. ADJUST PERIMETER CONTROLS AS NEEDED (REMOVE DIVERSION FENCING). (3 DAYS) 15. COMPLETE SIDEWALK/WALL CONSTRUCTION AND GRADING OPERATION. (1 WEEK)

7. WITH INSPECTOR'S APPROVAL, FINE GRADE AND STABILIZE ALL AREAS OF PARCEL INCLUDING ANY EXPOSED EARTH AREAS OUTSIDE THE LOD. REMOVE ALL TRASH JUNK AND DEBRIS FROM THE LIMIT OF DISTURBANCE, (3 WEEKS) 18. FLUSH STORM DRAIN SYSTEM AND REMOVE SEDIMENT CONTROLS AFTER RECIEVING APPROVAL FROM THE SEDIMENT CONTROL INSPECTOR

19. COMPLETE INSTALLATION OF MICRO-BIORETENTION FACILITIES. (2 WEEKS) A. MICROBIORETENTION CONSTRUCTION:
WHEN ALL CONSTRUCTION IS COMPLETE AND ALL AREAS ARE STABILIZED, REMOVE SILT FENCE AROUND MICROBIORETENTION FACILITY. REMOVE TEMPORARY FILL IN MICROBIORETENTION FACILITES AND CAREFULLY REMOVE POLY SHEET PLASTIC AND INSTALL FILTER FABRIC (SIDES ONLY), PEA GRAVEL AND PLANTING SOIL. CONTRACTOR TO PROVIDE PLANTING SOIL CERTIFICATION, PLACE MULCH AND INSTALL PLANTINGS.

20. INSTALL SITE LANDSCAPING. (1 WEEK)
21. AFTER PERMISSION FROM THE SEDIMENT CONTROL INSPECTOR REMOVE ANY REMAINING CONTROLS AND STABILIZE ALL REMAINING DISTURBED AREAS WITH PERMANENT SEEDING MIXTURE AND STRAW AND MULCH (1 WEEK.) NOTES:
1. DURING GRADING AND AFTER EACH RAINFALL, CONTRACTOR WILL INSPECT AND PROVIDE NECESSARY

MAINTENANCE TO THE SEDIMENT CONTROL MEASURES ON THIS PLAN. FOLLOWING INITIAL SOIL DISTURBANCES OR REDISTURBANCE, PERMANENT OR TEMPORARY STABILIZATION SHALL BE COMPLETED WITHIN: A. THREE (7) CALENDAR DAYS AS TO THE SURFACE OF ALL PERIMETER DIKES, SWALES, DITCHES, PERIMETER SLOPES, AND ALL SLOPES STEEPER THAN 3 HORIZONTAL TO 1

APPROVED BY THE PLAN APPROVAL AUTHORITY PRIOR TO PROCEEDING WITH CONSTRUCTION

Tames H. Ievon Dieseron

DWNER/DEVELOPER CERTIFICATION:

VERTICAL (3:1): AND 8. SEVEN (14) CALENDAR DAYS TO ALL OTHER DISTURBED OR GRADED AREAS ON THE PROJECT SITE NOT UNDER ACTIVE GRADING. 5. ANY CHANGES OR REVISIONS TO THE SEQUENCE OF CONSTRUCTION MUST BE REVIEWED AND

"I/WE CERTIFY THAT ANY CLEARING, GRADING, CONSTRUCTION, OR DEVELOPMENT WILL BE DONE PURSUANT TO THIS APPROVED EROSION AND SEDIMENT CONTROL

PLAN, INCLUDING INSPECTING AND MAINTAINING CONTROLS, AND THAT ALL RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE

A CERTIFICATE OF ATTENDANCE AT A MARYLAND DEPARTMENT OF THE ENVIRONMENT (MDE) APPROVED TRAINING PROGRAM FOR THE CONTROL ON EROSION AND SEDIMENT PRIOR TO BEGINNING THE PROJECT. I CERTIFY RIGHT-OF-ENTRY FOR PERIODIC ON-SITE EVALUATION BY HOWARD COUNTY, THE HOWARD SOIL CONSERVATION DISTRICT AND/OR MDE."

B-4-5 STANDARDS AND SPECIFICATIONS FOR PERMANENT STABILIZATION DEFINITION
TO STABILIZE DISTURBED SOILS WITH PERMANENT VEGETATION.

CONDITIONS WHERE PRACTICE APPLIES EXPOSED SOILS WHERE GROUND COVER IS NEEDED FOR 6 MONTHS OR MORE.

TRIPUSE CONG-LIVED PERENNIAL GRASSES AND LEGUMES TO ESTABLISH PERMANENT GROUND COVER ON DISTURBED

GENERAL USE
A SELECT ONE OR MORE OF THE SPECIES OR MIXTURES LISTED IN TABLE 8.3 FOR THE APPROPRIATE PLANT
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OF COMPANY OF THE APPROPRIATE PLANT OF THE PLANT OF THE APPROPRIATE PLANT OF THE PLA ASSELECT ONE UR MURL OF THE SPECIES ON MIXTURES USTED IN TABLE 8.3 FOR THE APPROPRIATE PLANT HARDINESS ZONE (FROM FIGURE 8.3) AND BASED ON THE SITE CONDITION OR PURPOSE FOUND ON TABLE 8.2. ENTER SELECTED MIXTURE(S), APPLICATION RATES, AND SEEDING DATES IN THE PERMANENT SEEDING SUMMARY. THE SUMMARY IS TO BE PLACED ON THE PLAN.

B. ADDITIONAL PLANTING SPECIFICATIONS FOR EXCEPTIONAL SITES SUCH AS SHORELINES, STREAM BANKS, OR DUNES OR FOR SPECIAL PURPOSES SUCH AS WILDLIFE OR AESTHETIC TREATMENT MAY BE FOUND IN USDA-NRCS TECHNICAL FIELD OFFICE GUIDE, SECTION 342 — CRITICAL AREA PLANTING.

C. FOR SITES HAVING DISTURBED AREA OVER 5 ACRES, USE AND SHOW THE RATES RECOMMENDED BY THE SON TESTING ACFORDS.

D. FOR AREAS RECEIVING LOW MAINTENANCE, APPLY UREA FORM FERTILIZER (46-0-0) AT 3-1/2 POUNOS FER 1000 SCHARE FEET (150 POUNDS PER ACRE) AT THE TIME OF SEEDING IN ADDITION TO THE COLL AMENDMENTS SHOWN IN THE PERMANENT SEEDING SLAMARY.

TURFORASS MIXTURES

A AREAS WHERE TURFORASS MAY BE DESIRED INCLUDE LAWNS, PARKS, PLAYGROUNDS, AND COMMERCIAL
STIES WHICH WILL RECEIVE A MEDIUM TO HIGH LEVEL OF MAINTENANCE.

B. SELECT ONE OR MORE OF THE SPECIES OR MIXTURES LISTED BELOW BASED ON THE SITE CONDITIONS

AND STREET TOWN OF THE PERMANE. OR PURPOSE ENTER SELECTED MAXIJITE(S), APPLICATION RATES, AND SEEDING DATES IN THE PERMANENT SEEDING SUMMARY, THE SUMMARY IS TO BE PLACED ON THE PLAN.

I. KENTUCKY BLUEGRASS: FULL SUN MIXTURE: FOR USE IN AREAS THAT RECEIVE INTENSIVE MANAGEMENT. IRRIGATION REQUIRED IN THE AREAS OF CENTRAL MARYLAND AND EASTERN SHORE, RECOMMENDED CERTIFIED KENTUCKY BLUEGRASS CULTIVARS SEEDING RATE: 1.5 TO 2.0 POUNDS PER 1000 SQUARE FEET. CHOOSE A MINIMUM OF THREE KENTUCKY BLUEGRASS CULTIVARS WITH EACH RANGING FROM 10 TO JSPERCENT OF THE TOTAL MIXTURE BY WEIGHT. II. KENTUCKY BLUEGRASS/PERENNAL RYE: FULL SUN MIXTURE: FOR USE IN FULL SUN AREAS WHERE RAPID ESTABLISHMENT IS NECESSARY AND WHEN TURF WILL RECEIVE MEDIUM TO INTENSIVE

MANAGEMENT, CERTIFED PERENNAL RYEGRASS CILITWATS/CERTIFED KENTUCKY BLUEGRASS SEEDING RATE: 2 POUNOS MIXTURE PER 1000 SQUARE FEET, CHOOSE A MINIMUM OF THREE KENTUCKY BLUEGRASS CULTIVARS WITH EACH RANGING FROM 10 TO 35 PERCENT OF THE TOTAL MIXTURE BY IN TALL FESCHE/XENTH/XXY DELECTASS: FIRE SON MIXTURE: FOR HISE IN DROUGHT PROME AREAS . INCL. FESCUE/ARMIDICAT BEUTEMASS. FOLL. SON MATIGNET FOR USE IN LAUGHBLE PROBE AND/OR FOR AREAS RECEIVENS LOW TO MEDIUM MANAGEMENT IN FULL SUN TO MEDIUM SHADE.
RECOMMENDED MIXTURE INCLUDES; CERTIFIED TALL FESCUE CULTIWARS 95 TO 100 PERCENT, CERTIFIED KENTUCKY BLUEGRASS CULTIVARS 0 TO 5 PERCENT. SEEDING RATE: 5 TO 8 POUNDS PER 1000
SOUBLE FEET, ONE OR MORE CULTIVARS MAY BE BLEEDED.

N. KENTUCKY BLUEGRASS/FINE FESCUE: SHADE MIXTURE FOR USE IN AREAS WITH SHADE IN BLUEGRASS LAWRS. FOR ESTABLISHMENT IN HICH QUALITY, INTENSAFLY MANAGED TURF AREA. MIXTURE INCLUDES; CERTIFIED KENTUCKY BLUEGRASS CULTWARS 30 TO 40 PERCENT AND CERTIFIED FINE FESCUE AND 60 TO 70 PERCENT. SEEDING RATE: 1½ TO 3 POUNDS PER 1000 SQUARE FEET. radies: Select turfgrass varieties from those usted in the most current university of MARYLAND PUBLICATION, AGRONOMY MEMO \$77, "TURFGRASS CULTIVAR RECOMMENDATIONS FOR MARILAND."

CHOOSE CERTIFIED MATERIAL CERTIFIED MATERIAL IS THE BEST GUARANTEE OF CULTIVAR PURITY.

THE CERTIFICATION PROGRAM OF THE MARYLAND DEPARTMENT OF AGRICULTURE, TURE AND SEED

SECTION, PROVIDES A RELIABLE MEANS OF CONSUMER PROTECTION AND ASSURES A PURE C. IDEAL TIMES OF SEEDING FOR TURE GRASS MIXTURES

WESTEM NO: MARCH 15 TO JUNE 1, AUGUST 1 TO OCTOBER 1 (HARDINESS ZONES; 58, 6A)
CENTRAL NO: MARCH 1 TO MAY 15, AUGUST 15 TO OCTOBER 15 (HARDINESS ZONE; 6B) <u>FRN MD, EASTERN SHOPE: MARCH 1 TO MAY 15, AUGUST 15 TO OCTOBER 15 (HARDINESS</u> ZONES: 7A, 7B)

D. TILL AREAS TO RECEIVE SEED BY DISKING OR OTHER APPROVED METHODS TO A DEPTH OF 2 TO 4 INCHES, LEVEL AND RAKE THE AREAS TO PREPARE A PROPER SEEDBED, REMOVE STONES AND DEBRIS OVER 1% INCHES IN DIAMETER. THE RESULTING SEEDBED MUST BE IN SUCH CONDITION THAT FUTURE MOWING OF GRASSES WILL POSE NO DIFFICULTY. MUMBER OF GRASSES WELL PLOSE, NO DEFICIENT, SUPPLY NEW SEEDINGS WITH ADEQUATE WATER FOR PLANT GROWTH (1/2 TO 1 INCH EVERY 3 TO 4 DAYS DEPENDING ON SOIL TEXTURE) LINTEL THEY ARE FRAMEY ESTABLISHED. THIS IS ESPECIALLY TRUE WHEN SEEDINGS ARE MADE LATE IN THE PLANTING SEASON, IN ABNORMALLY DRY OR HOT SEASONS, OR ON ADVERSE SITES. PERMANENT SEEDING SUMMARY

	HARDINESS ZONE (FROM FIGURE B.3): ZONE 66 FELIZER SEED MOTURE (FROM TABLE B.3): 9 (10-20-20)								
NO.	SPECIES	APPLICATION RATE (LB/AC)	SEEDING DATES	SEEDING DEPTHS	N	P <sub>2</sub> 0 <sub>5</sub>	K <sub>2</sub> 0	i produce de la companya de la compa	
e/au	COCIL SEASON TALL FESCUE & KENTLICKY SELECTRASS OR EQUAL	T.F. 60 LB / AC K.B. 40 LB / AC		1/4-1/2 Rt.	(ILB PER	(2 LB PER	(2 LB PER	2 TONS/AC (90 LB PER 1000 SF )	
	500: TO PROVIDE QUICK COVER ON DISTURBED AREAS (2:1 GRADE OR FLATTER).								

A. CLASS OF TURFORMSS SOD MUST BE MARYLAND STATE CERTIFIED. SOD LABELS MUST BE MADE AVAILABLE TO THE JOB FOREMAN AND INSPECTOR. B. SOD MUST BE MACHINE CUT AT A UNFORM SOIL THICKNESS OF 3/4 INCH, PLUS OR MINUS IN INCH, AT THE TIME OF CUTTING, MEASUREMENT FOR THICKNESS MUST EXCLUDE TOP GROWTH AND THATCH, SROKEN PADS AND TOM OR UNEVEN ENDS WILL NOT BE ACCEPTABLE.

C. STANDARD SIZE SECTIONS OF SOD MUST BE STRONG ENOUGH TO SUPPORT THEIR OWN WEIGHT AND RETAIN THEIR SIZE AND SHAPE WHEN SUSPENDED VERTICALLY WITH A FIRM GRASP ON THE UPPER TO PERCENT OF THE SECTION. D. SOD MUST NOT BE HARVESTED OR TRANSPLANTED WHEN MOSTURE CONTENT (EXCESSIVELY DRY OR WET)
MAY ADVERSELY AFFECT ITS SURVIVAL.
E. SOD MUST BE HARVESTED, DELIVERED, AND INSTALLED WITHIN A PERIOD OF 36 HOURS, SOD NOT
TRANSPLANTED WITHIN THIS PERIOD MUST BE APPROVED BY AN AGRONOMIST OR SOIL SCIENTIST PRIOR
TO JUST HISTORIZED.

TO ITS INSTALLATION.

2. SOD INSTALLATION.

A DURING PERIODS OF EXCESSIVELY HIGH TEMPERATURE OR IN AREAS HAVING DRY SUBSOIL, LIGHTLY IRRIGATE THE SUBSOIL IMMEDIATELY PRIOR TO LAYING THE SOD.

B. LAY THE FIRST ROW OF SOD IN A STRAIGHT LINE WITH SUBSEQUENT ROWS PLACED PARALLEL TO IT AND TROFFLY WEDGED AGAINT EACH OTHER. STRAGER LATERAL JOINTS TO PROMOTE MORE UNFORM GROWTH AND STRENGTH. ENSURE THAT SOD IS NOT STRETCHED OR OVERLAPPED AND THAT ALL JOINTS ARE BUTTED TIGHT IN ORDER TO PREVENT VOIDS WHICH WOULD CAUSE AIR DRIVING OF THE ROOTS.

C. WHEREVER POSSIBLE, LAY SOD WITH THE LONG EDDES PARALLEL TO THE CONTOUR AND WITH STAGGERING JOINTS. ROLL AND TAMP, PEG OR OTHERWISE SECURE THE SOD TO PREVENT SLIPPAGE ON SLOPES. ENSURE SOLID CONTACT EXISTS BETWEEN SOD ROOTS AND THE UNDERLYMAN SOIL SURFACE.

D. WATER THE SOD IMMEDIATELY FOLLOWING ROLLING AND TAMPING UNTIL THE UNDERSIDE OF THE NEW SOD PAD AND SOIL SURFACE BELOW THE SOD ARE THOROUGHLY WET. COMPLETE THE OPERATIONS OF LAYING, TAMPING AND BRIGATING FOR ANY PIECE OF SOD WITHIN EIGHT, HOURS,

3. SOO MAINTENANCE

3. SOU MANTENANCE A. IN THE ABSENCE OF ADEQUATE RAINFALL, WATER DAILY DURING THE FIRST WEEK OR AS OFTEN AND SUFFICIENTLY AS NECESSARY TO MAINTAIN MOIST SOIL TO A DEPTH OF 4 INCHES, WATER SOO DURING THE HEAT OF THE DAY TO PREVENT WILTING. B. ATTER THE FIRST WEEK, SOD WATERING IS REQUIRED AS NECESSARY TO MAINTAIN ADEQUATE MOISTURE CONTENT. DO NOT NOW UNTIL THE SOD IS FIRMLY ROOTED. NO MORE THAN 1/3 OF THE GRASS LEAF MUST BE REMOVED BY THE INITIAL CUITING OR SUBSEQUENT CUITINGS. MAINTAIN A GRASS HEIGHT OF AT LEAST 3 INCHES UNLESS OTHERWISE SPECIFIED.

**B-4-8 STANDARDS AND SPECIFICATIONS FOR STOCKPILE AREA** <u>FFINITION</u>
MOUND OR PILE OF SOIL PROTECTION BY APPROPRIATELY DESIGNED EROSION AND SEDIMENT CONTROL MEASURES. PURPOSE
TO PROVIDE A DESIGNATED LOCATION FOR THE TEMPORARY STORAGE OF SOIL THAT CONTROLS THE POTENTIAL FOR EROSION, SEDIMENTATION, AND CHANGES TO DRAINAGE PATTERNS.

XNIDITIONS WHERE PRACTICE APPLIES TOCKPILE AREAS ARE UTILIZED WHEN IT IS NECESSARY TO SALVAGE AND STORE SOIL FOR LATER USE. CTERIA THE STOCKPILE LOCATION AND ALL RELATED SEDIMENT CONTROL PRACTICES MUST BE CLEARLY INDICATED ON THE EROSION AND SEDIMENT

THE STOCKPILE COLATION AND ALE RELATED SEDMENT CONTINUE PROCINCES MIGHT PROCINCED ON THE ENDSOW AND SEDMENT CONTINUE.
 THE FOOTPRINT OF THE STOCKPILE MUST BE SIZED TO ACCOMMODATE THE ANTICIPATED VOLUME OF MATERIAL AND BASED ON A SIDE SLOPE RATIO NO STEEPER THAN 2:1. BENCHING MUST BE PROVIDED IN ACCORDANCE WITH SECTION B-3 LAND GRADING.
 RUNOFF FROM THE STOCKPILE AREA MUST DRAIN TO A SUITABLE SEDIMENT CONTROL PRACTICE.
 A ACCESS THE STOCKPILE AREA FROM THE UPGRADE SIDE.
 CLEAR WATER RUNOFF INTO THE STOCKPILE AREA MUST BE MINIMIZED BY USE OF A DIVERSION DEVICE SUCH AS AN EARTH DIKE, TEMPORARY SWALE OR DIVERSION FENCE. PROVISIONS MUST BE MADE FOR DISCHARGING CONCENTRATED FLOW IN A NON-EROSIVE MANNER.

8. WHERE RUNOFF CONCENTRATES ALONG THE TOE OF THE STOCKPILE FILL, AN APPROPRIATE EROSION/SEDIMENT CONTROL PRACTICE MUST BE USED TO INTERCEPT THE DISCHARGE.

TO STOCKPILES MUST BE STABILIZED IN ACCORDANCE WITH THE 3/7 DAY STABILIZATION REQUIREMENT AS WELL AS STANDARD B-4-1 INCREMENTAL STABILIZATION AND STANDARD B-4-4 TEMPORARY STABILIZATION.

8. IF THE STOCKPILE IS LOCATED ON AN IMPERVIOUS SURFACE, A LINER SHOULD BE PROVIDED BELOW THE STOCKPILE TO FACILITATE CLEANUP, STOCKPILES CONTAINING CONTAININATED MATERIAL MUST BE COVERED WITH IMPERMEASEE SHEETING.

MAINTENANCE
THE STOCKPILE AREA MUST CONTINUOUSLY MEET THE REQUIREMENTS FOR ADEQUATE VEGETATIVE ESTABLISHMENT IN ACCORDANCE WITH
SECTION B-4 VEGETATIVE STABLIZATION. SIDE SLOPES MUST BE MAINTAINED AT NO STEEPER THAN A 2:1 RATIO, THE STOCKPILE AREA MUST
BE KEPT FREE OF EROSION. IF THE VERTICAL HEIGHT OF A STOCKPILE EXCEEDS 20 FEET FOR 2:1 SLOPES, OR 40 FEET FOR 4:1 SLOPES, BENCHING MUST BE PROVIDED IN ACCORDANCE WITH SECTION B-3 LAND GRADING. Table B.1: Temporary Seeding for Site Stabilization

Phont Saccion	Scedi	ng Rate 1/	Seeding Depth	Recommended Sceding	g Dates by Plant Hardin	ess Zone <sup>9</sup>	Waterstown	
Plant Species	lb/ac	1b/1900 ft <sup>2</sup>	(inches)	5h and 6a	6h	7a and 7b		
Cool-Scient Crisics								
Annual Ryegrass (Lolium perenne ssp. multiflorum)	40	1.0	0.5	Mar 15 to May 31; Aug 1 to Sep 30	Mar I to May 15; Aug I to Oct 15	Feb 15 to Apr 30; Aug 15 to Nov 30	FERTILIZER	105 55
Badey (Hordeum vulgare)	96	2.2	1.0	Mar 15 to May 31; Aug 1 to Sep 30	Mar 1 to May 15; Aug 1 to Oct 15	Feb 15 to Apr 30; Aug 15 to Nov 30	RATE (10-20-20)	LIME PATE
Oats (Avena sativa)	72	1.7	1.0	Mar 15 to May 31; Aug 1 to Scp 30	Mar I to May 15; Aug I to Oct 15	Feb 15 to Apr 30; Aug 15 to Nov 30	436 LB/AC	2 TONS/AC
Wheat (Triticum aestivum)	120	2.8	1,0	Mar 15 to May 31; Aug 1 to Sep 30	Mar I to May 15; Aug I to Oct 15	Feb 15 to Apr 30; Aug 15 to Nov 30	(10 LB PER 1000 SF)	(90 LB PER 1000 SF)
Coreal Ryc (Secale cereale)	112	2.8	1,0	Mar 15 to May 31; Aug 1 to Oct 31	Mar I to May 15; Aug I to Nov 15	Feb 15 to Apr 30; Aug 15 to Dec 15		
A water-street Carrier								
Foxtail Millet (Setaria Italica)	30	0,7	0,5	Jun 1 to Jul 31	May 16 to Jul 31	May 1 to Aug 14		
Pearl Millet (Pennisetum glaucum)	20	0.5	0,5	Jun 1 to Jul 31	May 16 to Jul 31	May 1 to Aug 14		

1/ Seeding rates for the warm-season grasses are in pounds of Pure Live Seed (PLS). Actual planting rates shall be adjusted to reflect percent seed germination and purity, as tested. Adjustments are usually not needed for the cool-season grasses.

for barley, oats, and wheat. For smaller-seeded grasses (annual ryegrass, pearl millet, foxtail millet), do not exceed more than 5% (by weight) of the overall permanent seeding mix. Cereal rve generally should not be used as a nurse cron, unless planting will occur in very late full beyond the seeding dates for other temporary seedings. Cereal tye has allelopathic properties that inhibit the germination and growth of other plants. If it must be used as a nurse crop, seed at 1/3 of the rate listed above.

2/ For sandy soils, plant scods at twice the depth listed above 67 The planting dates listed are averages for each Zone and may require adjustment to reflect local conditions, especially near the boundaries of the zone.

DESIGN CERTIFICATION: CERTIFY THAT THIS PLAN HAS BEEN DESIGNED IN ACCORDANCE WITH CURRENT EROSION AND SEDIMENT CONTROL LAWS, REGULATIONS, AND STANDARDS, THAT ENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE IE, AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF

ZIZ7/1X DESIGNER'S SIGNATURE ROBERT H. VOGEL PRINTED NAME MQ REGISTRATION NO. 16193 P.E., R.L.S., OR R.L.A. (circle one)

1. SELECT ONE OR MORE OF THE SPECIES OR SEED MIXTURES LISTED IN TABLE 8.1 FOR THE APPROPRIATE PLANT HARDINESS ZONE (FROM FIGURE B.3), AND ENTER THEM IN THE TEMPORARY SEEDING SUMMARY BELOW ALONG WITH APPLICATION RATES, SEEDING DATES AND SEEDING DEPTHS. IF THES SUMMARY IS NOT PUT ON THE PLAN AND COMPLETED, THEN TABLE 8.1 PLUS FERTILIZER AND LIME RATES BUST BE PUT ON THE PLAN.

2. FOR SITES HAVING SOIL TESTS PERFORMED, USE AND SHOW THE RECOMMENDED RATES BY THE TESTING AGENCY. SOIL TESTS ARE NOT REQUIRED FOR TEMPORARY SEEDING.

3. WHEN STABILIZATION IS REQUIRED OUTSIDE OF A SEEDING SEASON, APPLY SEED AND MULCH OR STRAW MULCH ALONE AS PRESCRIBED IN SECTION B-4-3.A.1.B AND MAINTAIN UNTIL THE NEXT SEEDING SEASON.

DETAIL B-1 STABILIZED CONSTRUCTION

PROFILE

PLAN\_VIEW

PLACE STABILIZED CONSTRUCTION ENTRANCE IN ACCORDANCE WITH THE APPROVED PLAN. VEHICLES MIST TRAVEL OVER THE ENTIRE LENGTH OF THE SCE. USE MERSHAM LENGTH OF SO FEET (\*30 FEET FOR SINGLE RESIDENCE LOT), USE MEMBHAM WITH OF 10 FEET, FLARE SCE 10 FEET MINIMUM AT THE EXISTING ROAD TO PROVIDE A TURNING RADIUS,

PIPE ALL SURFACE WATER FLOWING TO OR DIVERTED TOWARD THE SCE UNDER THE ENTRANCE.

MAINTAINING POSITIVE DRAINAGE, PROTECT PIPE INSTALLED THROUGH THE SCE WITH A MOUNTABLE
SERM WITH 5.1 SLOPES AND A MEMBRIM OF 12 MICHES OF STONE OVER THE PIPE, PROVIDE PIPE AS
PROFED ON APPROVED PLAN. WHEN THE SCE IS LOCATED AT A HIGH SPOT AND HAS NO DRAINA
TO CONNEY, A PIPE IS NOT NECESSARY, A MOUNTABLE BERM IS REQUIRED WHEN SCE IS NOT
LOCATED AT A HIGH SPOT.

PREPARE SUBGRADE AND PLACE NONMOVEN GEOTEXTILE, AS SPECIFED IN SECTION H-1 MATERIALS.

MAINTAIN ENTRANCE IN A CONDITION THAT MEMBEZES TRACKING OF SEDIMENT, ADD STONE OR MAKE OTHER REPAIRS AS CONDITIONS DEMAND TO MAINTAIN CLEAN SURFACE, MOUNTAINE BERM, AND SPECIFIED DIMENSIONS. MEMBELATELY REMOVE STONE AND/OR SEDIMENT SPILED, DROPPED, OR TRACKED ONTO ADJACENT ROADWAY BY VACULARING, SCRAPRIC, AND/OR SWEEPING. WASSING ROADWAY TO REMOVE MILD TRACKED ONTO PAVEMENT IS NOT ACCEPTABLE URLESS WASH WATER IS DIRECTED TO AN APPROVED SEDIMENT CONTROL PRACTICE.

MARYLAND STANDARDS AND SPECIFICATIONS FOR SQS FROSION AND SEDIMENT CONTROL

2011

REBAR) AT LEAST 6 INCHES DEEP OVER THE LENGTH AND WIDTH OF THE SCE.

DETAIL E-3 SUPER SILT FENCE

CHAIN LINK FENCINGnoven slit film geotextile—

CROSS SECTION

. Install 2% inch diameter galvanized steel posts of 0.085 inch wall thickness and six foo length spaced ho further than 10 feet apart. Drive the posts a bindium of 36 inches into the ground,

Fasten 9 gauge or heaver galvanized chain link fence (2% inch maximim opening) 42 inches in height securely to the fence posts with wire ties or hug rings.

I. FASTEN WOVEN SUT FILM GEOTEXTILE AS SPECIFIED IN SECTION H-1 MATERIALS, SECURILY TO THE UPSLOPE SIDE OF CHAIN LINK FENCE WITH TIES SPACED EVERY 24 NICHES AT THE TOP AND MID SECTION. EMBED GEOTEXTILE AND CHAIN LINK FENCE A MINIMUM OF 8 SICHES INTO THE GROUND.

. WHERE ENDS OF THE GEOTEXTHE COME TOGETHER, THE ENDS SHALL BE OVERLAPPED BY 6 INCHES, FOLDED, AND STAPLED TO PREVENT SEDBLENT BY PASS.

EXTEND BOTH CHOS OF THE SUPER SLT FENCE A MINIMUM OF FIVE HORIZONTAL FEET UPSLOPE AT 45 DEGREES TO THE MAIN FENCE ALIGNMENT TO PREVENT RUNOFF FROM GOING AROUND THE EXIDS OF THE SUPER SLT FENCE.

PROVIDE MANUFACTURER CERTIFICATION TO THE INSPECTION/ENFORCEMENT AUTHORITY SHOWING THAT GEOTEXTILE USED MEETS THE REGUREMENTS IN SECTION H-1 MATERIALS.

REMOVE ACCUMULATED SEDIMENT AND DEBRIS WHEN BULGES DEVELOP IN FENCE OR WHEN SEDIMENT REACHES 25% OF FENCE HEIGHT, REPLACE GEOTEXTILE IF TORM, IF UNDERHINING OCCURS, REINSTALL CHAIN LINK FENCING AND GEOTEXTILE.

MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTRO

ALUMINUM POST

CONSTRUCTION SPECIFICATIONS

50 FT MIN.

EXISTING PAVENENT

-36 N MW.

DETAIL B-4-8-A

IN MIN. OVERLAP\_

STABILIZATION

CONSTRUCTION SPECIFICATIONS ISOMETRIC VIEW

TABILIZATION MATTING

USE MATTING THAT HAS A DESIGN VALUE FOR SHEAR STRESS EQUAL TO OR HIGHER THAN THE SHEAR STRESS DESIGNATED ON APPROVED PLANS.

USE TEMPORARY SOIL STABILIZATION MATTING MADE OF DEGRADABLE (LASTS 6 MONTHS MINHMAM)
NATURAL, OR MAN-MADE FIBERS (MOSTLY CRGANIC). MAT MUST HAVE UNIFORM THOCKNESS AND
DISTRIBUTION OF FIBERS THROUGHOUT AND BE SMOLDER RESISTANT. CHEMACLS USED IN THE MAT
MUST BE NON-LEACHING AND HON-TOXIC TO VEGETATION AND SEED GERMINATION AND NON-HAURIOUS
TO THE SMIN. IF PRESENT, NETTING MUST BE EXTRUDED PLASTIC WITH A MAXIMUM MESH OPENING OF
ZNZ NICHES AND SUPPLICIENTLY BONDED OR SEWN ON 2 INCH CENTIERS ALONG LONGITUDINAL AXIS OF
THE MATERIAL TO PREVENT SEPARATION OF THE NET FROM THE PARENT MATERIAL.

SECURE MATTING USING STEEL STAPLES, WOOD STAKES, OR BIODEGRADABLE EQUIVALENT. STAPLES MUST BE "U" OR "T" SHAPED STEEL WIRE HAVING A MINNAUM GAUGE OF NO. 11 AND NO. 8 RESPECTIVELY. "U" SHAPED STAPLES MUST AYERAGE 1 TO 12 INCHES WIDE AND BE A MINNAUM OF GINCHES LONG, "T" SHAPED STAPLES MUST HAVE A MINNAUM BINCH MAIN LEG, A MINNAUM I INCH SECONDARY LEG, AND A MIRHAUM & INCH HEAD. WOOD STAKES MUST BE ROUGH-SAWN HARDWOOD, 12 TO 24 INCHES IN LENGTH, 1x1 INCH IN CROSS SECTION, AND WEDGE SHAPED AT THE BOTTOM.

PERFORM FINAL GRADING, TOPSOIL APPLICATION, SEEDBED PREPARATION, AND PERMANENT SEEDING IN ACCORDANCE WITH SPECIFICATIONS. PLACE MATTING WITHIN 48 HOURS OF COMPLETING SEEDING OPERATIONS UNLESS END OF WORKDAY STABILIZATION IS SPECIFIED ON THE APPROVED EROSION AND SEDBIENT CONTROL PLAN.

. Unroll matting in direction of water flow, centering the first roll on the channel centerline, work from center of channel outward when placing rolls. Lay mat smoothly and firmly on the seeded surface, avoid stretching the matting.

OVERLAP OR ABUT THE ROLL EDGES PER MANUFACTURER RECOMMENDATIONS. OVERLAP ROLL ENDS BY 6 INCHES (MINIMUM), WITH THE UPSTREAM MAT OVERLAPPING ON TOP OF THE NEXT DOWNSTREAM MAT.

MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL

2011

CONDITIONS WHERE PRACTICE APPLIES

EXPOSED SOILS WHERE GROUND COVER IS NEEDED FOR A PERIOD OF 6 MONTHS OR LESS. FOR LONGER DURATION OF TIME; PERMANENT STABILIZATION PRACTICES ARE REQUIRED.

CRITERIA T. SELECT ONE OR MORE OF THE SPECIES OR SEED MIXTURES LISTED IN TABLE 8.1 FOR THE

B. KEY-IN UPSTREAM END OF EACH MAT ROLL BY DIGGING A 6 INCH (MINIMUM) TRENCH AT THE UPSTREAM END OF THE MATTING, PLACING THE ROLL END IN THE TRENCH, STAPLING THE MAT IN PLACE, REPLACING THE EXCAVATED MATERIAL, AND TAMPING TO SECURE THE MAT END.

ESTABLISH AND MAINTAIN VEGETATION SO THAT REQUIREMENTS FOR ADEQUATE VEGETATIVE ESTABLISHMENT ARE CONTINUOUSLY MET IN ACCORDANCE WITH SECTION 8-4 VEGETATIVE STABBLIZATION.

B-4-4 STANDARDS AND SPECIFICATIONS FOR TEMPORARY

DEFINITION TO STABILIZE DISTURBED SOILS WITH VEGETATION FOR UP TO 6 MONTHS.

TO USE TAST GROWING VEGETATION THAT PROVIDES COVER ON DISTURBED SOILS.

CHANNEL APPLICATION

-EARTH FILL

APPE (SEE HOTE 6)

ENTRANCE

CONSTRUCTION SPECIFICATIONS

MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL ERGISION AND SEDIMENT CONTROL. 2011 STANDAGO, STRIBUL DETAIL C-3 PERIMETER DIKE/SWALE liga liga liga CROSS\_SECTION T FLOW BLOW CHANNEL STABILIZATION PDS-1 SEED AND MULCH AND TACK (DRANNING < 1 ACRE) (NOT ALLOWED FOR CLEAR WATER DIVERSION.) POS-2 SEED WITH SOIL STABILIZATION MATTERS OR LINE WITH SOO (DRAWING BETWEEN 1 AND 2 ACRES) NOTE: THE MAXIMUM DRAINAGE AREA FOR THIS PRACTICE IS 2 ACRES. CONSTRUCTION SPECIFICATIONS

DETAIL C-1 EARTH DIKE

A-2/8-2 SEED WITH SOIL STABILIZATION MATTING OR LINE WITH SOO.

. PROVIDE OUTLET PROTECTION AS RECLARED ON APPROVED PLAN.

2:1 SLOPE OR FLATTER-

CONTINUOUS CRADE 0.78 MR. TO TOX MAX. SLOPE

PLAN VIEW

FLOW CHANNEL STABILIZATION

CONSTRUCTION SPECIFICATIONS

21 9.075 OR FLATTER

STED WITH STRAW MULCH AND TACK (NOT ALLOWED FOR CLEAR WATER DIVERSION.)

A-3/8-3 4 TO 7 INCH STONE OR ECAPVALENT RECYCLED CONCRETE PRESSED INTO SOIL, A MINIMUM OF 7 INCHES AND FLUSH WITH GROUND,

Excavate or shape earth dike to line, grade, and cross section as specified, bank projections or other bregularites are not allowed.

REMOVE AND DISPOSE OF ALL TREES, BRUSH, STUMPS, CESTRUCTIONS, AND OTHER OBJECTIONABLE MATERIAL SO AS NOT TO INTERFERE WITH PROPER FUNCTION OF EARTHBRIE.

CONSTRUCT FLOW CHANNEL ON AN UNINTERRUPTED, CONTINUOUS GRADE, ADJUSTING THE LOCATION DUE TO FIELD CONDITIONS AS RECESSARY TO MAINTAIN POSITIVE DRAWAGE.

S. STABILIZE EARTH DIKE WITHIN THREE DAYS OF INSTALLATION, STABILIZE FLOW CHANNEL FOR CLEAR WATER DIVERSION WITHIN 24 HOURS OF INSTALLATION.

MAINTAIN LINE, GRADE, AND CROSS SECTION. REMOVE ACCUMULATED SEDMENT AND DEBRIS, AND MAINTAIN POSITIVE DRAINAGE. KEEP EARTH DIKE AND POINT OF DISCHARGE FREE OF EROSEON, AND CONTROLOUSLY MEET REQUIREMENTS FOR ADEQUATE VEGETABLE ESTABLISHMENT IN ACCORDANCE WITH SECTION B-4 VEGETATIVE STABILIZATION.

LUPON REMOVAL OF EARTH DIKE, GRADE AREA FLUSH WITH EXISTING GROUND. WITHIN 24 HOURS OF REMOVAL STABILIZE DISTURBED AREA WITH TOPSON. SEED, AND MILCH, OR AS SPECIFIED ON APPROVED PLAN.

CANE AFFICIATION (no A-1)

DKE\_IYPE

6 - DIKE HEIGHT 18 N 18H. 30 N 18H.

b - DXE WOTH 24 以 城, 路 岁 城水,

C - FLOW MOTH 4 FT MIN. 6 FT MIN.

d - FLOW DEPTH 12 NE JAN. 24 NE MIN.

REMOVE AND DISPOSE OF ALL TREES, BRUSH, STUAPS, OBSTRUCTIONS, AND OTHER OBJECTIONABLE MATERIAL SO AS NOT TO INTERFERE WITH PROPER FUNCTION OF DIRE/SWALE. EXCAVATE OR SHAPE DIKE/SWALE TO LINE, GRADE, AND CROSS SECTION AS SPECIFIED, BANK PROJECTIONS OR OTHER BREGULARITIES ARE NOT ALLOWED.

. PROVIDE QUILET PROTECTION AS REQUIRED ON APPROVED PLAN. STABILIZE DIKE/SWALE WITHN 3 DAYS OF INSTALLATION. STABILIZE DIKE/SWALES USED FOR CLEAR WATER DIVERSION WITHIN 24 HOURS OF INSTALLATION.

7. MAINTAIN LINE, GRADE, AND CROSS SECTION. REMOVE ACCUMULATED SEDIMENT AND DEBRIS, AND MAINTAIN POSITIVE BRAINAGE, KEEP PERMETER DIKE/SWALE AND POINT OF DISCHARGE FREE OF EROSSON AND CORTHNOUGELY MEET REQUIREMENTS FOR ADEQUATE VEGETATIVE ESTABLISHMENT IN ACCORDANCE WITH SECTION 8-4 VEGETATIVE STABILIZATION.

UPON REMOVAL OF DIKE/SWALE, GRADE AREA FLUSH WITH EXISTING GROUND. WITHIN 24 HOURS OF REMOVAL STABILIZE DISTURBED AREA WITH TOPSOL, SEED, MULCH, OR AS SPECIFIED ON APPROVED PLAN. MARYELAND STANDARDS AND SPECIFICATIONS FOR SOIL FROSION AND SEDIMENT CONTROL 2011 STANDARD SYMBOL DETAIL 8-4-6-C

TSSMC - \* 0.14 lb/ft² (\* moune shear shear)

- PREPARED SURFACE WITH SEED IN PLACE

PREPARED FLOW—— CHANNEL WITH SEED IN PLACE

CONSTRUCTION SPECIFICATIONS

ELEVATION - 1.0# <u>- 1.5</u> SECTION CONSTRUCTION SPECIFICATIONS

STABILIZATION MATTING

· ISOMETRIC YEN

USE MATTING THAT HAS A DESIGN VALUE FOR SHEAR STRESS EQUAL TO OR HIGHER THAN THE SHEAR STRESS DESIGNATED ON APPROVED PLANS.

USE PERMANENT SOIL STABILIZATION MATTING MADE OF OPEN WEAVE SYNTHETIC, NON-DEGRADABLE FIBERS OR ELEMENTS OF UNFORM THEORIESS AND DISTRIBUTION THROUGHOUT. CHEMICALS USED IN THE MAT MUST BE NON-LEACHING AND NON-TOKE TO VECETATION AND SED GENERATION AND NON-HOLIZIOUS TO THE SIGN IF PRESENT, NETTING MUST BE EXTRUDED PLASTIC WITH A MARBHIM MESH OFFINED OF 222 NICHES AND SUFFICIENTLY BONDED OR SEWN ON 2 NICH CENTERS ALONG LORGETUDINAL, ARS OF THE MATERIAL TO PREVENT SEPARATION OF THE NET FROM THE PARENT MATERIAL.

SECURE MATTING USING STEEL STAPLES OR WOOD STAMES. STAPLES MUST BE "U" OR "T" SHAPED STEEL WITE HAVING A MINIMUM GAUGE OF NO. 11 AND NO. 8 RESPECTIVELY. "U" SHAPED STAPLES MUST AVERAGE I TO I A NOISE WEE AND BE A MINIMUM OF BOOMES LONG. "T" SHAPED STAPLES MUST HAVE A MINIMUM AND HEAD, WOOD STAVES MUST HER ROUGH-SAMN HARDWOOD, 12 TO 24 NICHES IN LENGTH, IX3 NICH IN CROSS SECTION, AND WEIGHT SHAPE AT HE ROUTH.

PERFORM FINAL GRADING, TOPSOL APPLICATION, SEEDED PREPARATION, AND PERMANENT SEEDING IN ACCORDANCE WITH SPECIFICATIONS, PLACE MATTING WITHIN 48 HOURS OF COMPLETING SEEDING OPERATIONS, UNLESS END OF WORKDAY STABILIZATION IS SPECIFIED ON THE APPROVED EROSION AND SEDIMENT CONTROL PLAN.

Unroll mateng in direction of water flow, centering the first roll on the channel center line.

Work from center of changel outward when placing rolls, lay matting smoothly and firstly upon
the seeded surface, avoid stretching the matting,

OVERLAP OR ABUT EDGES OF MATTING ROLLS PER MANUFACTURER RECOMMENDATIONS, OVERLAP ROLL ENGS BY 6 INCHES (MENMAU), WITH THE UPSTREAM MAT OVERLAPPING ON TOP OF THE NEXT BORNISTREAM MAT.

KEY IN THE TOP OF SLOPE END OF MAT 6 INCHES (MINDRAM) BY DISCORD A TRENCH, PLACING THE MATERIA ROLL END IN THE TRENCH, STAPLING THE MAT IN PLACE, REPLACING THE EXCAVATED MATERIAL, AND TAMPING TO SECURE THE MAT END IN THE KEY.

O. ESTABLISH AND MAINTAIN VEGETATION SO THAT REQUIREMENTS FOR ADEQUATE VEGETATIVE ESTABLISHMENT ARE CONTINUOUSLY MET IN ACCORDANCE WITH SECTION 8-4 VEGETATIVE STABILIZATION.

MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL

TEMPORARY SEEDING SUMMARY

MAY 16 TO

APPLICATION SEEDING SEEDING (10-20-20)
RATE (LB/AC) DATES DEPTHS

0.5 %.

FFITTER

436 LB/AC

1000 SF)

(10 IB PER 1/90 IB PER 1

LIME RATE

2 TONS/AC

1000 SF)

HARDINESS ZONE (FROM FIGURE B.3): ZONE 66

RATE (LB/AC)

40 LB / AC

30 LB / AC

SEED MEXTURE (FROM TABLE B.1):

SPECIES

OR FOUA

FOXTAIL MILLET OR EQUAL

STAPLE/STAKE MAT IN A STAGGERED PATTERN ON 4 FOOT (MAXIMUM) CENTERS THROUGHOUT AND 2 FOOT (MAXIMUM) CENTERS ALONG SEAMS, JOINTS, AND ROLL ENDS.

CHANNEL APPLICATION

CROUND SUBSECT

DETAIL E-9-1 STANDARD INLET PROTECTION

Al-top ELEVATION -16 IN MIN. -NOTOTI E EVATION

-WALLING SIREP

9 GAUGE CHAIN — LANK FEACT (TYP.)

2011

/-2 (# x 4 (#) FRAMING

-WOVEN SLIT FALM GEOFLETINE

DE A

DETAIL E-9-1 STANDARD INLET PROTECTION ONSTRUCTION SPECIFICATIONS USE WOMEN OUT FRANCECOTEXTRE AS SPECIFED IN SECTION H-1 MATERIALS. EXCAVATE COMPLETELY ARRAND THE INLET TO A DEPTH OF 18 INCHES BELOW THE HOTCH GLEVATION. I. FOR TYPE A, USE NOMBRAL 2 NCM X 4 NCM CONSTRUCTION GRADE LUMBER POSTS, DRIVEN 1 POOT BID THE GROUND AT EACH CORNER OF THE SHEET, PLACE NAL STOPS BETWEEN THE POSTS ON THE DRUS OF THE BLET. ASSEMBLE THE TOP PORTION OF THE TAX FRAME AS SHOWN, STRETCH, IS NOW COLLANDED HARDWARE CLOTH WHITH FARCHED THE FRAME AND FASTER SCIENCELY, FASTERN GEOTEXTHE SCIENCELY TO THE HARDWARE CLOTH WITH THES SPACED EVERY 24 DICHES AT THE TOP AND MO SCITCIN. BREED SCIENCEL AND HARDWARE CLOTH A MEMBRAN OF TO MICH. SHOW THE WERE CREST. THE EARD STRENGS AND FACED FASTER AND FASTERIES TO THE POST. HOTCH ELEVATION FOR TYPE 5, USE 2% SHICH CHAMETER GREVANIZED STEEL FOSTS OF OLDS MICH WALL DREXARSS AND 6 FOOT LENGTH, CHINGH A MINIMAN OF SE NIGHES BELOW THE WER CREST AT EACH COUNTER OF THE STREET, FASTER 9 GAUGE FOR PLANEY TO THE CHAMETER FOR POSTS WITH WHE THES, FASTER GROTECTER SCURREY TO THE CHAMILIAN FENCE WITH THIS SPACED CHAMILIAN FENCE WITH THE SPACED CHAMILIAN FENCE WITH FESTIVE A MINIMAL CHAMETER SELDS THE WER CREST. 1-36 M BACKFILL ARGERO THE REET IN LOOSE 4 DICH LETS AND COMPACT UNITE, SOIL IS LEVEL WITH THE MOTCH ELEVATION ON THE DRUS AND TOP ELEVATION ON THE SEES, STORM DRAIN BLET PROTECTION REQUIRES PREQUENT MAINTENANCE, REMOVE ACCURALATED SEDIMENT AFTER EACH BAIN EVENT TO MAINTEN FUNCTION AND AVOID PREMATURE CLOSSING. IT BLET PROTECTION DIES NOT COMPLETELY DRAIN WITHIN 24 MOURS AFTER A STORM EVENT, IT IS CLOSSED. WEEN THIS OCTURE, REMOVE ACCURALATED SEDIMENT AND CLEAN, OR REPLACE GEOTEXINE. AND DETAIL E-1 SILT FENCE CONSTRUCTION SPECIFICATIONS Use wood posts 1% x 1%  $\pm$  2% inch (minimal) square cut of searc quality hardwood, as an alternative to wooden post use standard "t" or "u" section steel posts weighing not less than 1 points per linear foot,

18 ¥ ¥10 @020 -DEELE ISOMETRIC VEW EDGE OF ROADWAY OR TOP-OF EARTH DEGE . USE 36 INCH MERIKUM POSTS ORIVEN TO BICH MERIKUM INTO GROUND NO MORE THAN 6 FEET APAST USE WOWN SLIT FILM GEOFENTILE AS SPECIFED IN SECTION H-1 MATERIALS AND FASTISM GEOTEXTILE SECURELY TO UPSLOPE SIDE OF FENCE POSTS WITH WIRL TIES OR STAPLES AT TOP AND PROMOE MANUFACTURER CERTIFICATION TO THE AUTHORIZED REPRESENTATIVE OF THE REPORTER/ONFORCEMENT AUTHORITY SHOWING THAT THE GEOTEXTILE USED MEETS THE RECURREMENTS IN SECTION H-1 MATERIALS. EMBED CENTENTIES A MEMBEM OF 8 INCHES VERTICALLY INTO THE SHOUND, BACKFILL AND COMPACT THE SCIL ON BOTH SIDES OF FABRIC. WHERE TWO SECTIONS OF CEDITATES ADJUM: OVERLAP, THIST, AND STAPLE TO POST IN ACCORDANCE WITH THIS DETAIL. SECTION FOR TYPE A AND B

EXTEND BOTH ENDS OF THE SELFFENCE A MINIMAM OF FIVE HORIZONTAL FEET UPSECOPE AT 45 DESTREES TO THE MAIN FENCE ALCHARENT TO PREVENT RUNCHF FROM COSMS AROUND THE ENDS OF THE SELFFENCE. 1 05 2 WATER STANDARDS AND SPECIFICATIONS FOR SOIL EROSON AND SEGMENT CONTROL STANDARD SYMBOL

DETAIL G-9 DIVERSION FENCE |-----||F-------| MAYSEN GRABACE AREA - 2 MESS 134 W MIN FUV RESISTANT BUPTAMEAREE FREETING ON BOTH SEES OF FEMER 評 得 臟.

1. LISE 42 BIGH HIGH, B CAUGE OR THICKER CHAIN LINK FENCING (2% INCH MANIMUM OPENING). USE 2<sup>3</sup> INCH CHARGES GALVANZED STEEL POSTS OF GLOSS BICH WALL TROOBERS AND SIX FOOT LENGTH SPACED NO PURTIES THAN 10 FEET APART, THE POSTS DO NOT NEED TO SE SET IN CONCRETE. , fasten chain lank fence securely to the fence posts with new tes. SECURE 10 HEL OR TRECKER UV REDISTANT, IMPERMEABLE SHEETING TO CHAIN LIRK FENCE WITH THIS SPACED EVERY 24 INCHES AT TUP, HID. SECTION, AND BELOW GROUND SURFACE.

5. EXTEND SHEETING A MINIMAN OF 4 FEET ALONG FLOW SURFACE AND DARRED END A MINIMAN OF 8 INCHES INTO CROUND, SQR STABLIZATION MATTERS MAY BE USED IN LIEU OF IMPERIESABLE SHEETING ALONG FLOW SURFACE.

WHEN TWO SECTIONS OF SHEETING ADJOIN EACH OTHER, OVERLAP BY 6 RICHES AND FOLD WITH SEAM FACING DOWNGRADE. KEEP FLOW SURFACE ALONG CIVERSON FENCE AND PORT OF DISCHARGE FREE OF EROSCH. REMOVE ACCUMULATED SEDMENT AND DEBRIS. MAINTAIN POSITIVE DRAINAGE. REPLACE REPERMANEE SHEETING IF TORR, IF UNDERWINDING OCCUPS, RENSTALL FENCE. MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDERAL CONTROL

STANDARD SYMBOL

PSSMC - \*032 b/8

(\* BELLEY DEAR SINCE)

ELEVATION FENCE POST 18 PH WIN. CROSS\_SECTION STEP 2 TWIST POSTS POSETHER STAPLE-JOINING TWO ADJACENT SHIT FENCE SECTIONS (TOP VIEW) MARKLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL

DETAIL E-1 SILT FENCE

STANDARD STABUL

STANDARD SYMBOL

|----3F------i

JOS BY MAN, FENCE POST LENGTH CONVENTION NO. 16 BY BYTO GROUND

OWNER/DEVELOPER DEPARTMENT OF PUBLIC WORKS

2011

WATCHE DEPARTMENT OF DATE OF DATE
WATER MANAGEMENT ADMINISTRATION

3430 COURT HOUSE DR. ELLICOTT CITY, MD 21043 (410) 313-4401

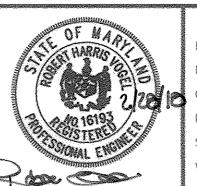
REVISION SITE DEVELOPMENT PLAN **SEDIMENT AND EROSION** 

**CONTROL NOTES AND DETAILS HOWARD COUNTY - PUBLIC PARKING LOT** HOWARD COUNTY HOUSING COMMISSION

AVATI HASLUP PROPERTY, PARCEL B-2 L.16570/F.66, PLAT 23546 6TH ELECTION DISTRICT ZONED: CE-CLI-CR HOWARD COUNTY, MARYLAND



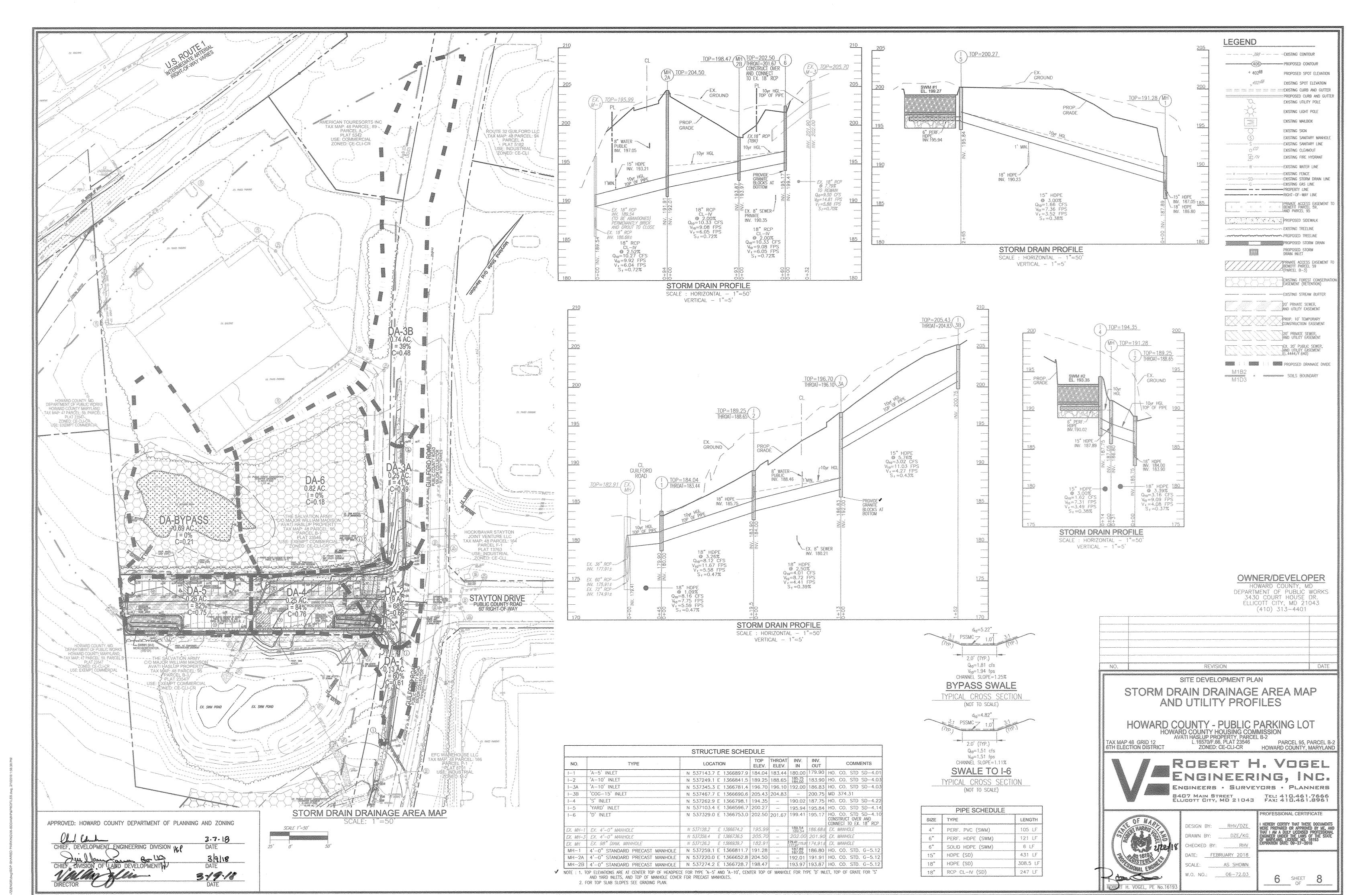
ROBERT H. VOGEL ENGINEERING, ING. ENGINEERS . SURVEYORS . PLANNERS 8407 MAIN STREET TEL: 410.461.7666 ELLICOTT CITY, MD 21043 FAX: 410.461.8961



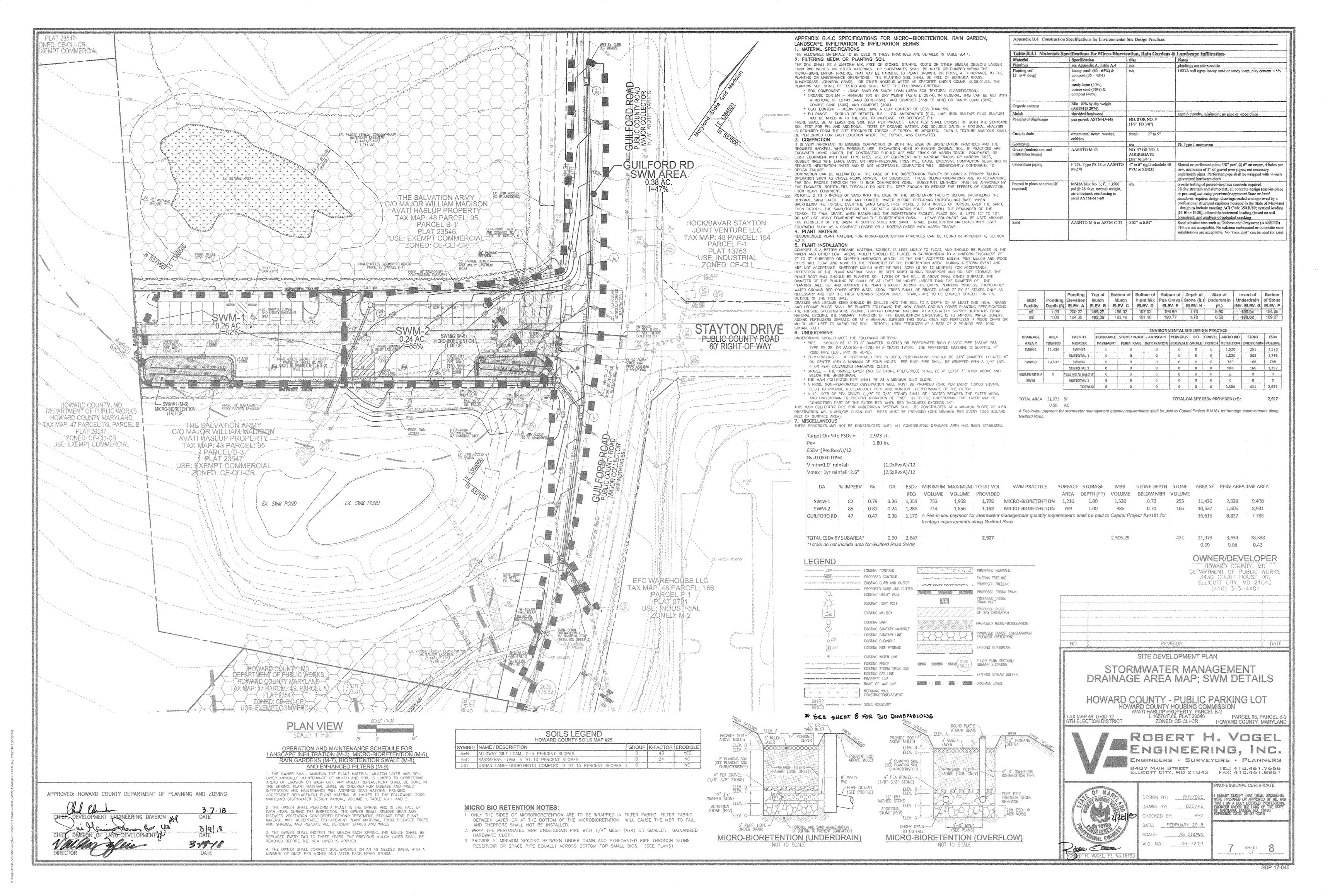
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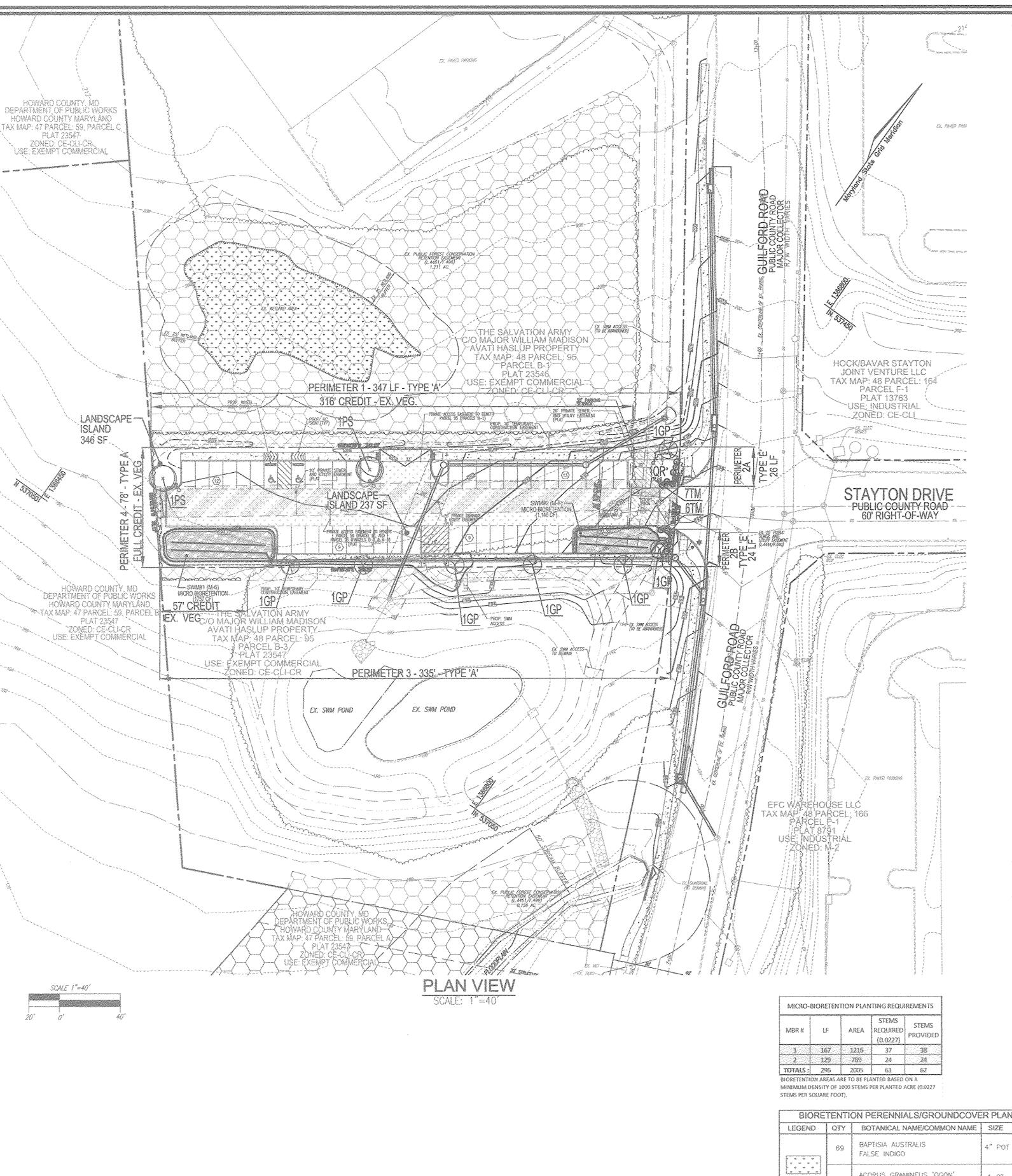
PROFESSIONAL CERTIFICATE I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY UCENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 16193 EXPIRATION DATE: 09-27-2018 DESIGN BY: RHV/DZE 0ZE/KG RHV FEBRUARY 2018 AS SHOWN W.O. NO.: <u>06-72.03</u>

SHEET 8 5



-17-045





DEVELOPER'S/BUILDER'S CERTIFICATE

TO THE PLAN, SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE HOWARD COUNTY LANDSCAPE MANUAL. I/WE FURTHER CERTIFY THAT UPON COMPLETION, A CERTIFICATION OF

LANDSCAPE INSTALLATION. ACCOMPANIED BY AN EXECUTED ONE (1) YEAR GUARANTEE OF

PLANT MATERIALS, WILL BE SUBMITTED TO THE DEPARTMENT OF PLANNING AND ZONING.

I/WE CERTIFY THAT THE LANDSCAPING SHOWN ON THIS PLAN WILL BE DONE ACCORDING

SCHEDULE B PARKING LOT INTERNAL LANDSCAPING NUMBER OF PROPOSED PARKING SPACES NUMBER OF TREES REQUIRED (1/20 SPACES) NUMBER OF TREES PROVIDED SHADE TREES OTHER TREES (2:1 SUBSTITUTION)

SCHEDULE 'A' PERIMETER LANDSCAPE EDGE									
CATEGORY	- And Confidence of Confidence	ADJACENT TO PERIMETER PROPERTIES							
PERIMETER/FRONTAGE DESIGNATION	5.	2A	28	3	4	and the state of t			
LANDSCAPE TYPE	A	£	Ē	Α	Α	Company (Williams)			
LINEAR FEET OF ROADWAY FRONTAGE/PERIMETER	347°	26'	24'	335'	78'	VVveninių darbų da			
CREDIT FOR EXISTING VEGETATION (YES, NO. LINEAR FEET) (DESCRIBE BELOW IF NEEDED)	Co.	NO	NO	YES 57	YES 78'	Martine de la companya de la company			
CREDIT FOR WALL, FENCE OR BERM (YES, NO, LINEAR FEET) (DESCRIBE BELOW IF NEEDED)	and a second	NO	NO	NO	NO	TOTAL			
NUMBER OF PLANTS REQUIRED	31			278'	0'				
SHADE TREES	1:60 1	1:40 1	1:40 1	1:60 5		8			
EVERGREEN TREES SHRUBS	-	1:4 7	1:4 6	~~·		13			
NUMBER OF PLANTS PROVIDED  SHADE TREES  EVERGREEN TREES  OTHER TREES (2:1 SUBSTITUTION)	and the second s	Quinty Qu	e e e e e e e e e e e e e e e e e e e	, c,n		8			
SHRUBS (10:1 SUBSTITUTION) (DESCRIBE PLANT SUBSTITUTION CREDITS BELOW IF NEEDED)	i i i i i i i i i i i i i i i i i i i	7	6	gand	-Trees	13			

	PLANT LIST - SCHEDULE A (PERIMETER)								
KEY	QUAN.	BOTANICAL NAME	SIZE	CAT					
(QR')	ţ.	QUERCUS RUBRA NORTHERN RED OAK	2.5"-3" CAL	8 & 8					
(V)GP	7	QUERCUS PALUSTRIS 'GREEN PILLAR' FASTIGIATE PIN OAK	2,5"-3" CAL	8 & 8					
@ TM	13	TAXUS MEDIA 'DENSIFORMIS' DENSIFORMIS YEW	2 1/2'-3' HT.	8 & 8					

PLANT LIST - SCHEDULE B (PARKING LOT)								
KEY	QUAN.	BOTANICAL NAME	SIZE	CAT				
(PŞ)	2	PRUNUS SARGENTII SARGENT CHERRY	2.5*~3* CAL	8 & 8				

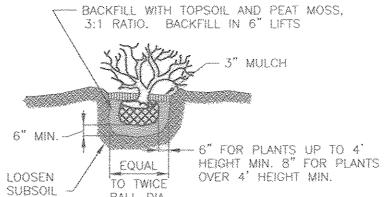
SCHEDULE 'A' PERIME	TERL	ANDS	CAPE I	EDGE		Pilato de control de c	
CATEGORY	- And Service Control of the Control		DJACEN ETER PF		S	ijai ifantayay karingayay ing dalah karingayay ing dalah karingayay ing dalah karingayay ing dalah karingayay	
PERIMETER/FRONTAGE DESIGNATION	W.	2A	28	3	4	PANAGESCHATCH.	
LANDSCAPE TYPE	A	ε	E	Α	Α	Application (Application)	
LINEAR FEET OF ROADWAY FRONTAGE/PERIMETER	347	26'	24'	335'	78'	Assessment Astronomica de la companya de la company	
CREDIT FOR EXISTING VEGETATION (YES, NO, LINEAR FEET) (DESCRIBE BELOW IF NEEDED)	Col. (Col.)	NO	NO	YES 57	YES 78'	Anna Anna Najaka Anna Anna Anna Anna Anna Anna Anna A	
CREDIT FOR WALL, FENCE OR BERM (YES, NO, LINEAR FEET) (DESCRIBE BELOW IF NEEDED)	NO.	NO	NO	NO	NO	TOTAL	
NUMBER OF PLANTS REQUIRED	31			278'	0'		- Page and Aller
SHADE TREES EVERGREEN TREES	1:60 1	1:40 1 - 1:4 7	1:40 1 - 1:4 6	1:60 5	-	8 -	
SHRUBS  NUMBER OF PLANTS PROVIDED						10	-A-A-Bergalando
SHADE TREES  EVERGREEN TREES  OTHER TREES (2:1 SUBSTITUTION)  SHRUBS (10:1 SUBSTITUTION)	Annie werden Gebruik er bereicht der Gebruik der Gebru		r-   6	1 1 50			AND THE REAL PROPERTY OF THE P
(DESCRIBE PLANT SUBSTITUTION CREDITS	Control					The state of the s	and the same of th

KEY	QUAN.	BOTANICAL NAME	SIZE	CAT
(QR)	1	QUERCUS RUBRA NORTHERN RED OAK	2.5*-3" CAL	8 & 8
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Ø TM	13	TAXUS MEDIA 'DENSIFORMIS' DENSIFORMIS YEW	2 1/2'-3' HT.	0 & 8

PLANT LIST - SCHEDULE B (PARKING LOT)								
KEY	QUAN.	BOTANICAL NAME	SIZE	CAT				
(PŞ)	2	PRUNUS SARGENTII SARGENT CHERRY	2.5*~3* CAL					

-LEADER MUST REMAIN INTACT 1. SEE "LANDSCAPE SPECIFICATION GUIDELINES FOR BALTIMORE-WASHINGTON METROPOLITAN AREAS" FOR ALL MATERIAL, PRODUCT, AND PROCEDURE SPECIFICATIONS. SEE "LANDSCAPE GUIDELINES" FOR SUPPORTING TREES LARGER THAN 2-1/2" CALIPER. -2 STRANDS OF GALVANIZED WHE DWISTED FOR SUPPORT -upright stakes- set in Ground to fram bearing PLACE UPRIGHT STAKES PARALLEL TO WALKS & BUILDINGS. -RUBBER HOSE CUT BURLAP & ROPE FROM TOP OF SALL 4. KEEP MULCH I" FROM TRUNK \_\_3" OEPTH MULCH 5. SEE ARCHITECTURAL PLANS FOR ADDITIONAL PLANTINGS WHICH EXCEED HOWARD COUNTY WHISHUM REQUIREMENTS. \_\_2" EARTH SAUCER FINISH GRADE TREES ARE NOT TO BE PLANTED OVER PRIVATE SEWAGE EASEMENT. -1/8 DEPTH OF BALL PLANTING MIX- SEE PLANTING NOTES

TREE PLANTING AND STAKING DECIDUOUS TREES UP TO 2-1/2° CALIPER NOT TO SCALE



CONTRACTOR SHALL VERIFY LOCATION OF ALL UNDERGROUND UTILITIES PRIOR TO DIGGING. 2. FINAL LOCATION OF PLANT MATERIAL MAY NEED TO VARY TO MEET FINAL FIELD CONDITIONS. TREES SHALL NOT BE PLANTED IN THE BOTTOM OF DRAINAGE SWALES.

- LANDSCAPE SCHEDULE, THE PLAN SHALL GOVERN. 4. AT THE TIME OF PLANT INSTALLATION, ALL SHRUBS AND TREES LISTED AND APPROVED ON THE LANDSCAPE PLAN, SHALL COMPLY WITH THE PROPER HEIGHT REQUIREMENT IN ACCORDANCE WITH THE HOWARD COUNTY LANDSCAPE MANUAL IN ADDITION, NO SUBSTITUTIONS OR RELOCATIONS OF THE REQUIRED PLANTINGS MAY BE MADE WITHOUT PRIOR REVIEW AND APPROVAL FROM THE DEPARTMENT OF PLANNING AND ZONING, ANY DEVIATION FROM THE APPROVED LANDSCAPE PLAN MAY RESULT IN DENIAL OR DELAY IN THE RELEASE OF LANDSCAPE SURETY UNTIL SUCH TIME AS ALL REQUIRED MATERIALS ARE PLANTED AND/OR REVISIONS ARE MADE TO THE APPLICABLE PLANS. 5. THE OWNER, TENANT AND/OR THEIR AGENTS SHALL BE RESPONSIBLE FOR MAINTENANCE OF THE
- REPLACED WITH NEW MATERIALS TO ENSURE CONTINUED COMPLIANCE WITH APPLICABLE REGULATIONS. ALL OTHER REQUIRED LANDSCAPING SHALL BE PERMANENTLY MAINTAINED IN GOOD CONDITION, AND WHEN NECESSARY, REPAIRED OR REPLACED.

PLANT MATERIALS SHALL BE MAINTAINED IN GOOD GROWING CONDITION, AND WHEN NECESSARY.

CHARACTERISTICS. THE REPLACEMENT TREE MUST BE A MINIMUM OF 3 INCHES IN CALIPER AND INSTALLED AS REQUIRED IN THE HOWARD COUNTY LANDSCAPE MANUAL.

-LOOSENED SUBSOIL

### SHRUB PLANTING DETAIL NOT TO SCALE

### LANDSCAPE NOTES

BY THE CONTRACTOR.

-PERRENIALS/

SCALE: 1"=10"

- J. CONTRACTOR SHALL VERIFY PLANT QUANTITIES PRIOR TO BIDDING. IF PLAN DIFFERS FROM
- REQUIRED LANDSCAPING INCLUDING BOTH PLANT MATERIALS AND BERMS, FENCES AND WALLS. ALL
- 6. SHOULD ANY TREE DESIGNATED FOR PRESERVATION FOR WHICH LANDSCAPING CREDIT IS GIVEN, DIE PRIOR TO RELEASE OF BONDS, THE OWNER WILL BE REQUIRED TO REPLACE THE TREE WITH THE EQUIVALENT SPECIES OR WITH A TREE WHICH WILL OBTAIN THE SAME MEIGHT, SPREAD, AND GROWTH
- , PLANTINGS SHOWN HEREON ARE THE RESPONSIBILITY OF THE DEVELOPER TO INSTALL DURING THE
- 8. NO LANDSCAPING TO BE INSTALLED WITHIN ANY PUBLIC EASEMENT FOR WATER, SEWER, OR 9. ANY EXISTING STREET TREES DAMAGED OR DESTROYED DURING CONSTRUCTION WILL BE REPLACED

## PROPOSED SIDEWALK MANAGEMENT DESIRE TREELINE PROPOSED TREELING PROPOSED STORM DRAW PROPOSED MICRO-BIORETENTION EXISTING FLOCOPIUM ----- EXISTING STREAM BUSTER TILLIA EXISTING WETLAND SXSTING WEILAND BUFFER 20' PRIVATE SEWER, E. ASSMENT DV XXXXXXXX PROP. 16' TEMPORARY CONSTRUCTION EXSEMENT EX. 20' PUBLIC SEWER, AND LITHLITY EASEMENT (L4444/F.640)

LEGEND

+ 4025

\_602.EF

---- XS---- EXSENC CONTOUR

DEDECEDED TO THE THE EXETNO CURS AND GUTTER

PROPOSED CONTOUR

PROPOSED SPOT ELEVATION

PROPOSED CURB AND GUITTER

EXISTING SPOT ELEVATION

EXISTING UTILITY POLE

EXISTING LIGHT POLE

EXISTING MAILBOX

PROPOSED STORM DRAW INLET

20° PRIVATE SEWER, AND UTILITY EASEMENT

PRIVATE ACCESS EASEMENT TO BENEFIT PARCEL 59 (PARCEL 8-3

PROPOSED STREET LIGHTS PROPOSED SHADE TREES PROPOSED SHRUB PROPOSED LANDSCAPE BUFFER

- S PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE PROVISIONS OF SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL. THE REQUIRED PARKING AND PERIMETER THE REQUIRED PARKING AND PERIMETER LANDSCAPING WILL BE BONDED PER THIS
- SUBMISSION. 2. FINANCIAL SURETY FOR THE REQUIRED LANDSCAPING HAS BEEN POSTED AS PART OF THE DEVELOPER'S AGREEMENT FOR THIS SITE DEVELOPMENT PLAN IN THE AMOUNT OF \$3,390,00
- FOR THE REQUIRED 10 SHADE TREES, AND 13 SHRUBS.

  J. THIS PLAN IS SUBJECT TO THE AMENDED FIFTH EDITION OF THE SUBDIVISION AND LAND DEVELOPMENT REGULATIONS. DEVELOPMENT OR CONSTRUCTION OF THESE LOTS MUST COMPLY
- WITH SETBACK AND BUFFER REGULATIONS IN EFFECT AT THE TIME OF SUBMISSION OF THE SITE DEVELOPMENT PLAN, WAIVER PETITION, OR BUILDING AND GRADING PERMITS. 4. THERE ARE NO BURIAL GROUNDS, CEMETERIES, OR HISTORIC STRUCTURES LOCATED ON THIS

OWNER/DEVELOPER HOWARD COUNTY, MD DEPARTMENT OF PUBLIC WORKS 3430 COURT HOUSE DR. ELLICOTT CITY, MD 21043

(410) 313-4401

# SITE DEVELOPMENT PLAN

REVISION

LANDSCAPE PLAN

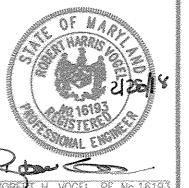
HOWARD COUNTY - PUBLIC PARKING LOT HOWARD COUNTY HOUSING COMMISSION AVATI HASLIP PROPERTY, PARCEL 8-2

ZONED: CE-CLI-CR

6TH ELECTION DISTRICT

ROBERT H. VOGEL ENGINEERING, INC. ENGINEERS . SURVEYORS . PLANNERS

8407 MAIN STREET TEL: 410.461.7666 ELLICOTT CITY, MD 21043 FAX: 410.461.8961

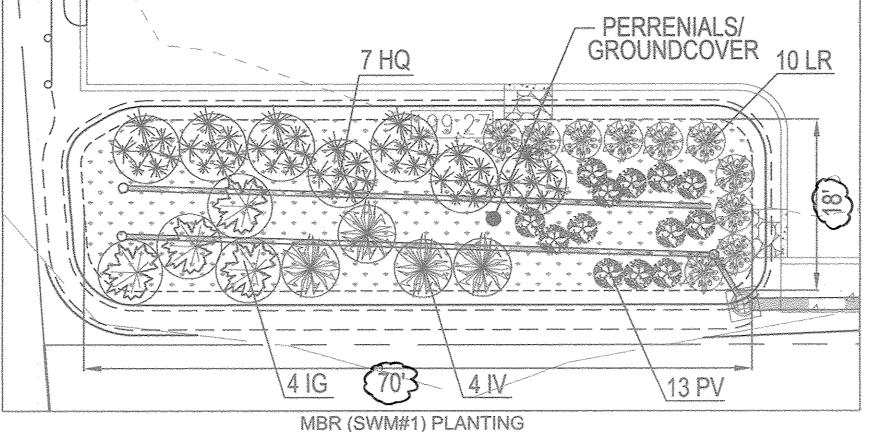


DESIGN BY: RHV/DZE DRAWN BY: DZE/KG CHECKED BY: \_\_\_\_RHV\_ DATE: <u>FEBRUARY 2018</u> AS SHOWN SCALE:

PROFESSIONAL CERTIFICATE

HOWARD COUNTY, MARYLAND

W.O. NO.: 06-72.03 SHEET 8





BIORETENTION PLANTING SCHEDULE (SHRUB/ORNIMENTAL GRASSES)								
LEGEND/KEY	QTY	BOTANICAL NAME/COMMON NAME	SIZE	REMARKS				
® iG	7	ILEX GLABRA 'SHAMROCK' INKBERRY HOLLEY	1 GALLON	-vi-				
Ø iv	7	ITEA VIRGINICA 'HENRY'S GARNETT' VIRGINIA SWEETSPIRE	1 GALLON					
(E) HQ	1 1	HYDRANGEA QUERCIFOLIA OAKLEAF HYDRANGEA	1 GALLON					
E LR	16	LEUCOTHEO RACEMOSA FETTERBUSH	1 GAL.					
₹ <sub>PV</sub>	21	PANICUM VIRGATUM SWITCHGRASS	1 GAL.					

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

3.7.18