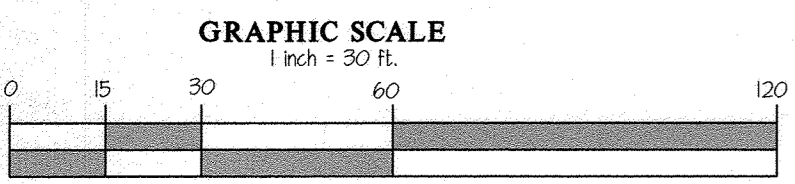




ADJACENT PROPERTY INFORMATION CHART	
F	PARCEL F DOWNTOWN COLUMBIA CRESCENT NEIGHBORHOOD (PN: 24000)
P	PARCEL P DOWNTOWN COLUMBIA CRESCENT NEIGHBORHOOD (PN: 24000)
Q	PARCEL Q DOWNTOWN COLUMBIA CRESCENT NEIGHBORHOOD (PN: 24000)
6	OPEN SPACE LOT 6 DOWNTOWN COLUMBIA CRESCENT NEIGHBORHOOD (PN: 24000-24003)
7	OPEN SPACE LOT 7 DOWNTOWN COLUMBIA CRESCENT NEIGHBORHOOD (PN: 24000)
1	OPEN SPACE LOT 1 COLUMBIA TOWN CENTER SECTION 5, AREA 4 PN: 14054

- NOTES:
- SEE PHASE I SITE PLAN FOR EXISTING EASEMENTS TO BE ABANDONED, EXISTING UTILITIES TO BE REMOVED, AND EXISTING STRUCTURES TO BE REMOVED.
  - SEE SHEET 3 FOR RAMP DETAILS NOT SHOWN AND ADDITIONAL GRADING INFORMATION.
  - SEE SHEETS 10-11 FOR ADDITIONAL INFORMATION ON SOUTH ENTRANCE ROAD IMPROVEMENTS, INCLUDING A STREET LIGHT TABLE.
  - SEE SHEET 5 FOR PROPERTY LINE INFORMATION.
  - SEE LANDSCAPE PLANS FOR LIGHTING.
  - ALL STORM DRAIN IS PRIVATE UNLESS NOTED OTHERWISE.
  - THE ENVIRONMENTAL DISTURBANCES SHOWN ON THESE PLANS ARE COVERED BY NP-17-104, MDE PERMIT NO. 201664816-NT-3234, AND FEMA CASE NUMBER 17-03-1105C. GARAGE LANES WILL HAVE SIGNAGE THAT CAN CHANGE DIRECTION AND USE BASED ON DEMAND. SEE SHEET 4 FOR STRIPING.
  - SEE SHEET 21 FOR DELINEATION OF "DOWNTOWN COMMUNITY COMMONS" AREA.
  - ALL STORM DRAIN SHOWN IN SYMPHONY WOODS ROAD IS EXISTING PER F-16-114.
  - THE SECONDARY GARAGE EXIT ON THE SERVICE DRIVE IS AN EXIT ONLY. THIS EXIT WILL BE GATE CONTROLLED AND ONLY BE IN USE AFTER EVENING PERFORMANCES.
  - SERVICE DRIVE ENTRANCE TO BE CONTROLLED BY ACCESS GATE. GATE REMAIN CLOSED AT ALL TIMES EXCEPT TO ALLOW ACCESS FOR BUSES AND DELIVERY VEHICLES. GATE TO HAVE A KNOX PADLOCK TO ALLOW FOR ACCESS BY THE FIRE DEPARTMENT. CONTACT THE OFFICE OF THE FIRE MARSHALL FOR ADDITIONAL INFORMATION ON KNOX PADLOCK REQUIREMENTS.
  - DPW TRAFFIC TO DETERMINE IF CONDUIT IS NECESSARY AT THE TIME OF SERVICE DRIVE CONSTRUCTION.
  - 4" PVC CONDUIT ALONG SOUTH ENTRANCE ROAD IS FOR STREET LIGHTING. CONTACT DPW TRAFFIC AT 410-313-5152 PRIOR TO INSTALLATION TO VERIFY LOCATION.

- APPROXIMATE GREEN ROOF LOCATIONS (SEE SHEETS 12, 25, 26, AND 34 FOR MORE INFORMATION)
- DOWNTOWN COMMUNITY COMMONS AREA. SEE SHEET 21 FOR MORE INFORMATION
- PEDESTRIAN ENTRANCE & EXIT
- PEDESTRIAN EXIT ONLY
- SERVICE ENTRANCE / EXIT



APPROVED  
PLANNING BOARD OF HOWARD COUNTY

Date: MARCH 1, 2018

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

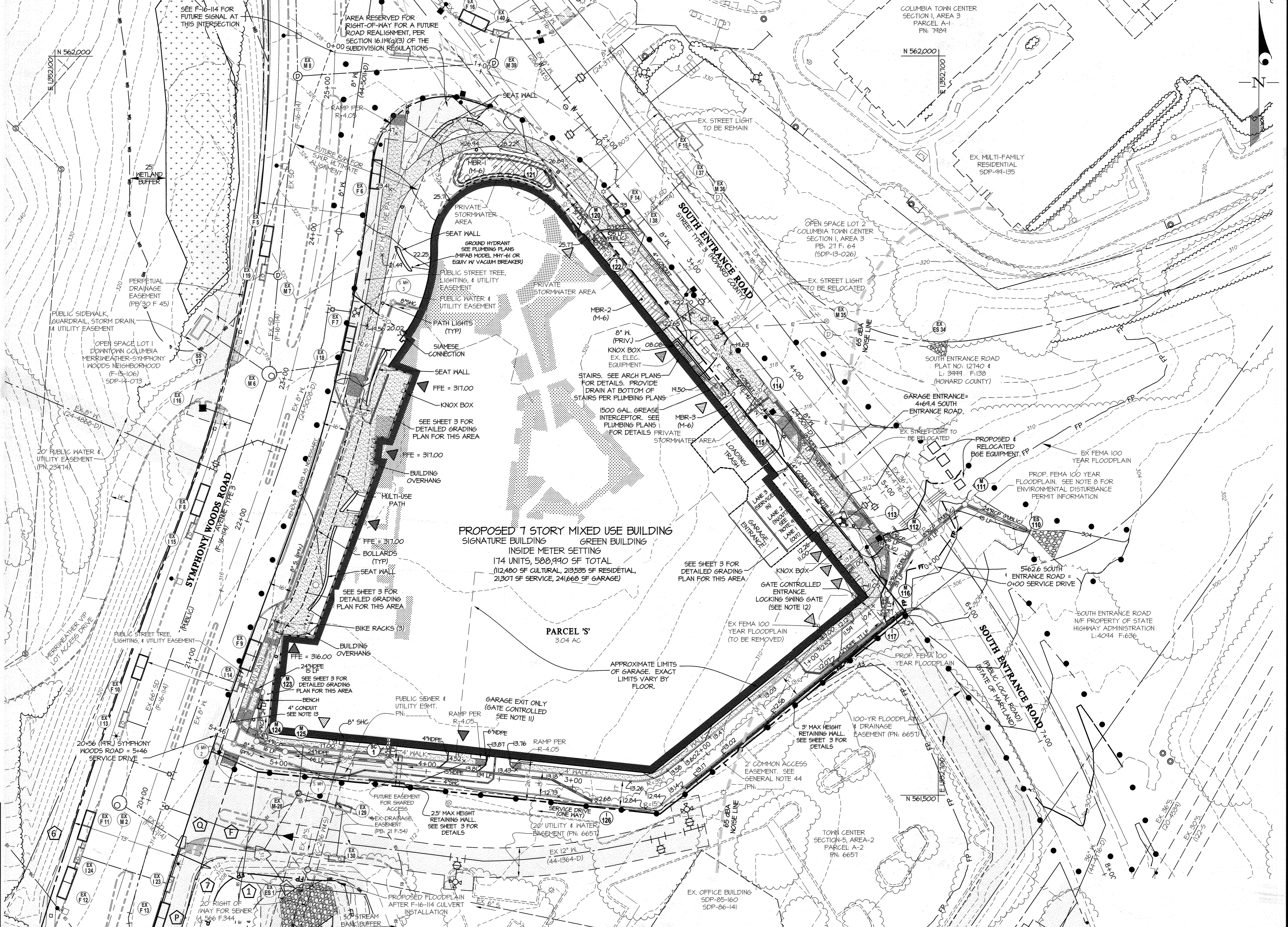
*Armeda Esbery* 4/30/23  
Director Date

*1/23/23*  
Date

*1/23/23*  
Date

Chief, Development Engineering Division

**GLWGUTSCHICK LITTLE & WEBER, P.A.**  
CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS  
3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK  
BURTONSVILLE, MARYLAND 20866  
TEL: 301-421-4024 BALT: 410-860-1820 DC/VA: 301-989-2524 FAX: 301-421-4186



DATE	REVISION	BY	APPR.

PREPARED FOR & OWNER  
TOBY'S GENERAL PARTNERSHIP  
10709 VISTA ROAD  
COLUMBIA, MARYLAND 21044-4223  
ATTN: SCOTT ARMIGER  
410-964-2334

PROFESSIONAL CERTIFICATION  
I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 12975  
EXPIRATION DATE: MAY 28, 2027

*6/26/23*

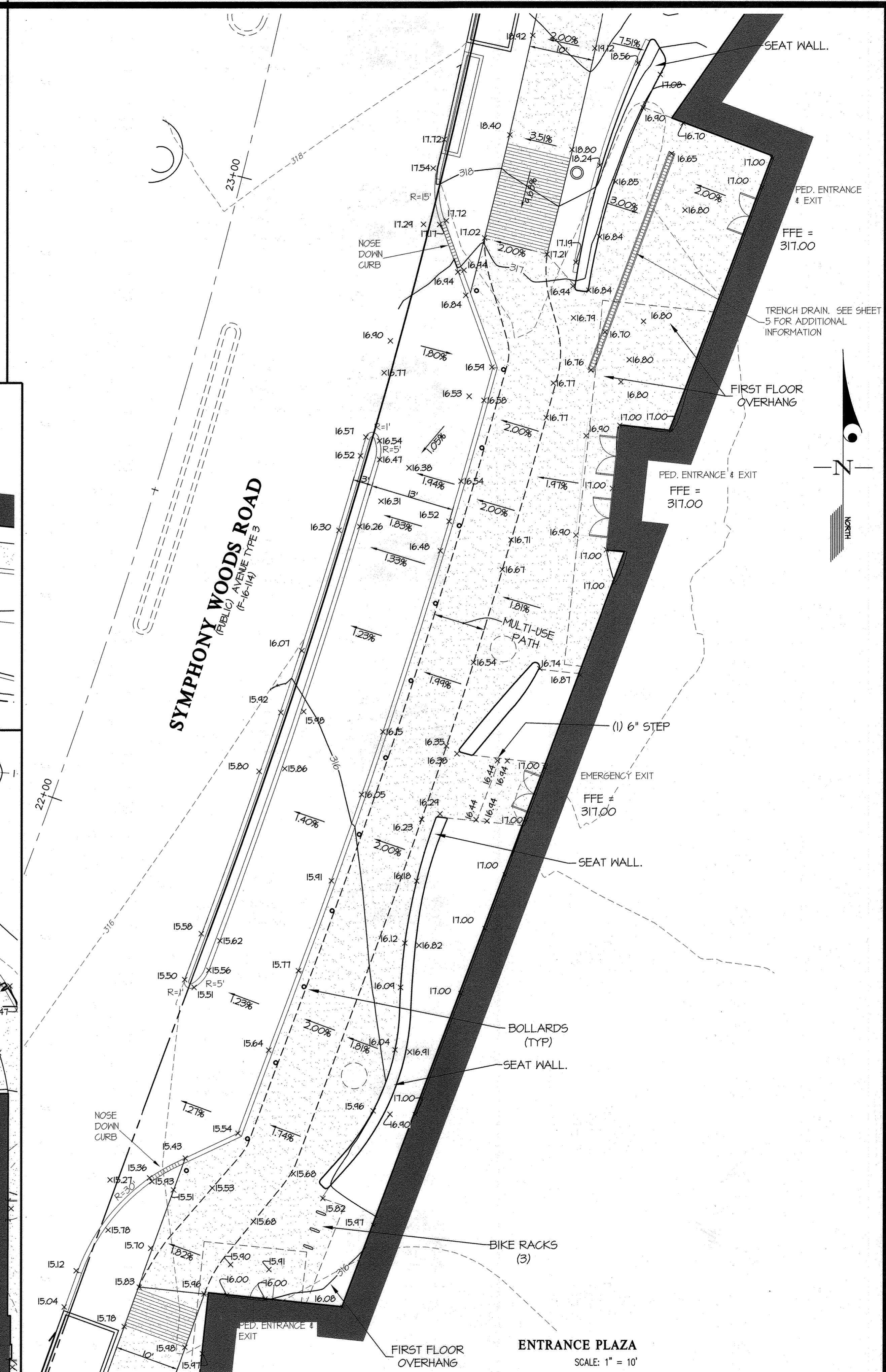
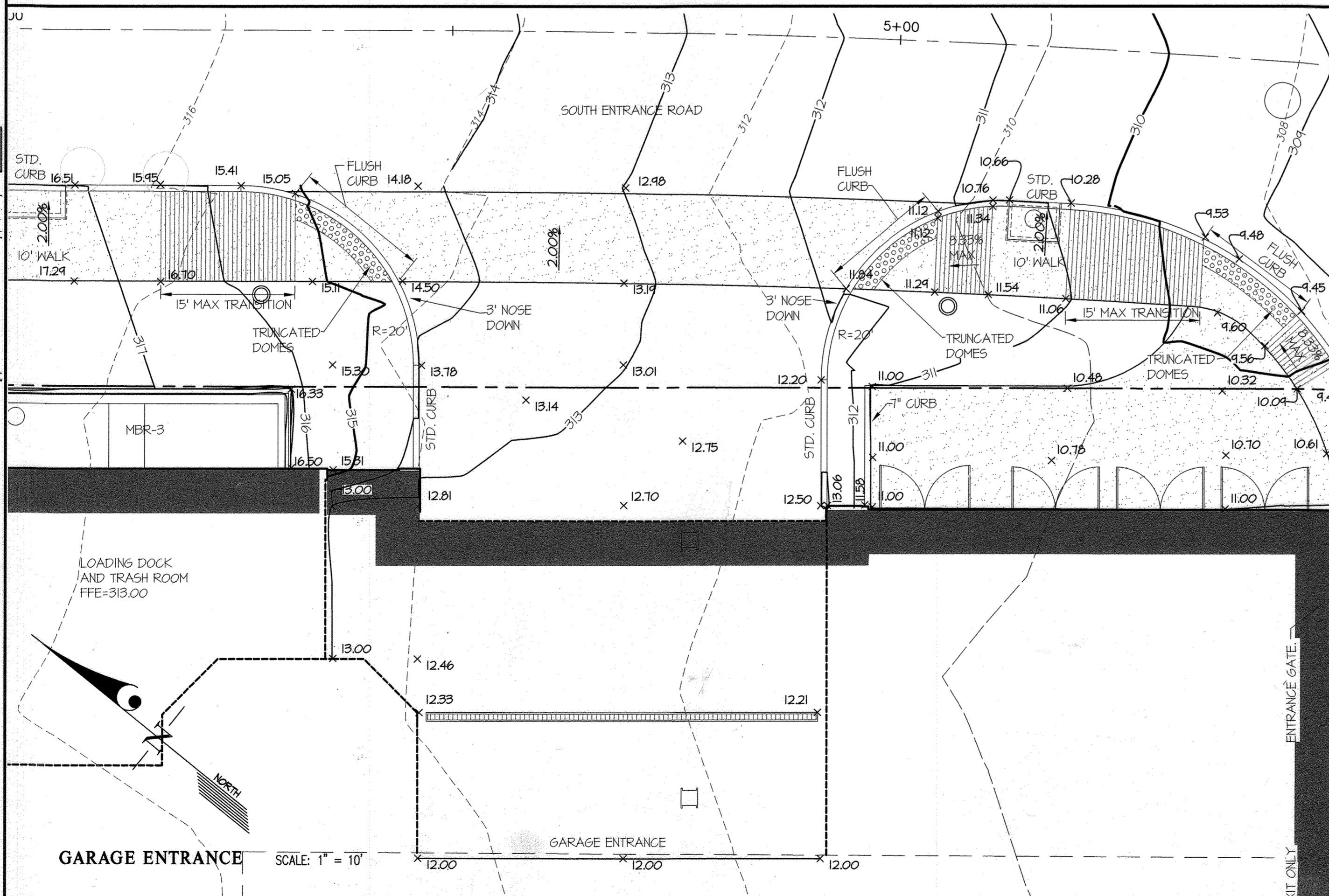
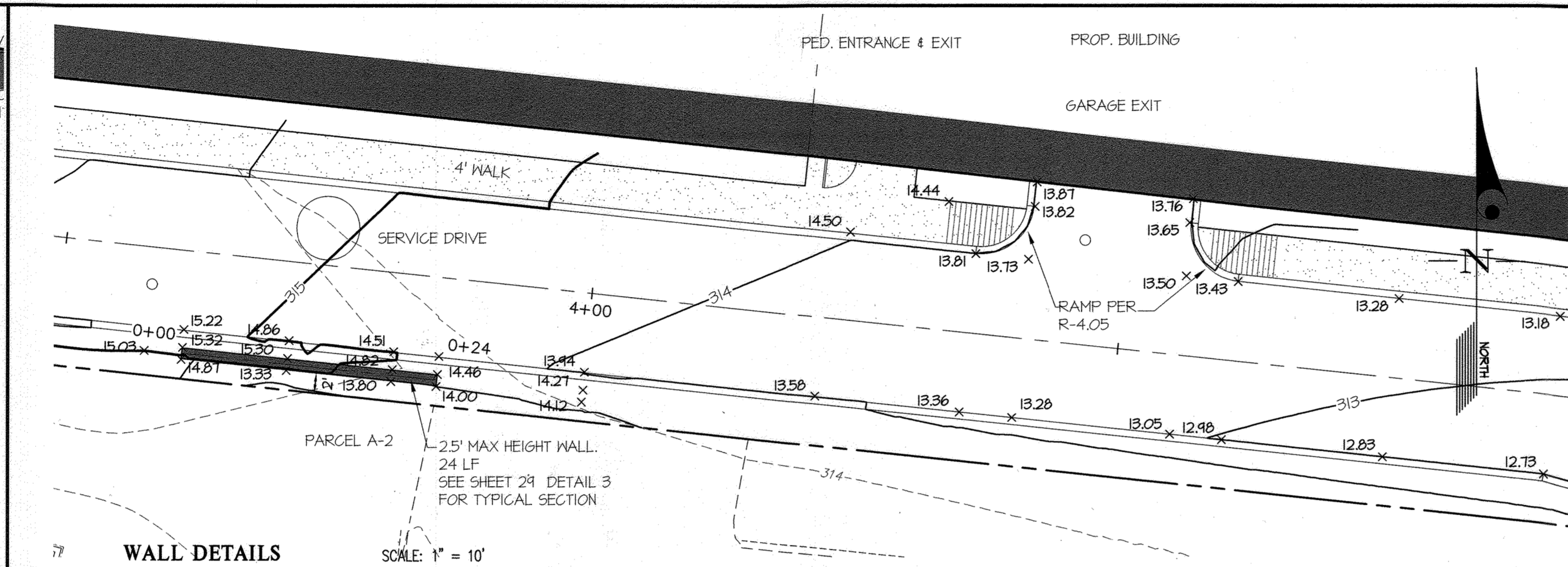
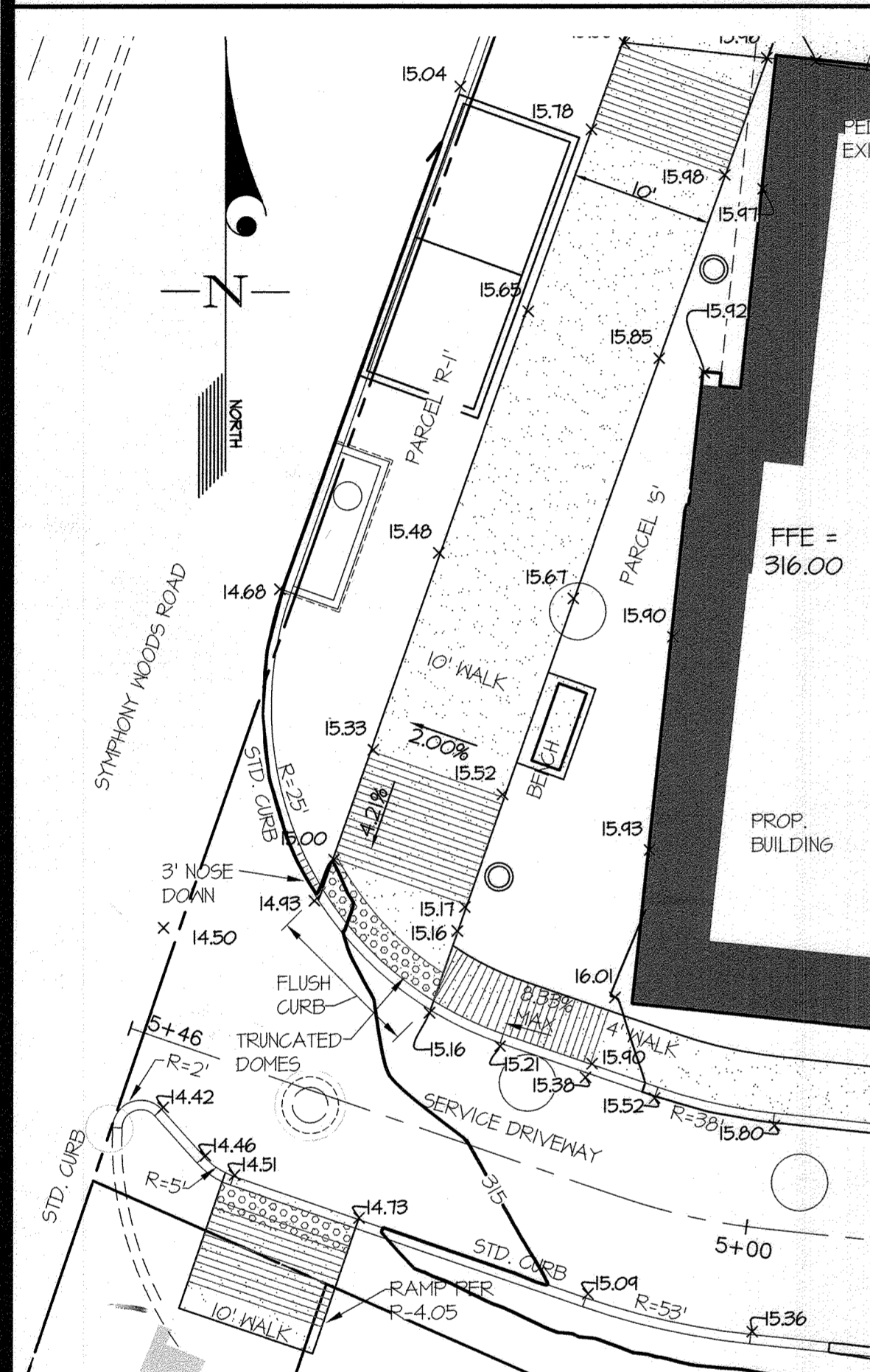
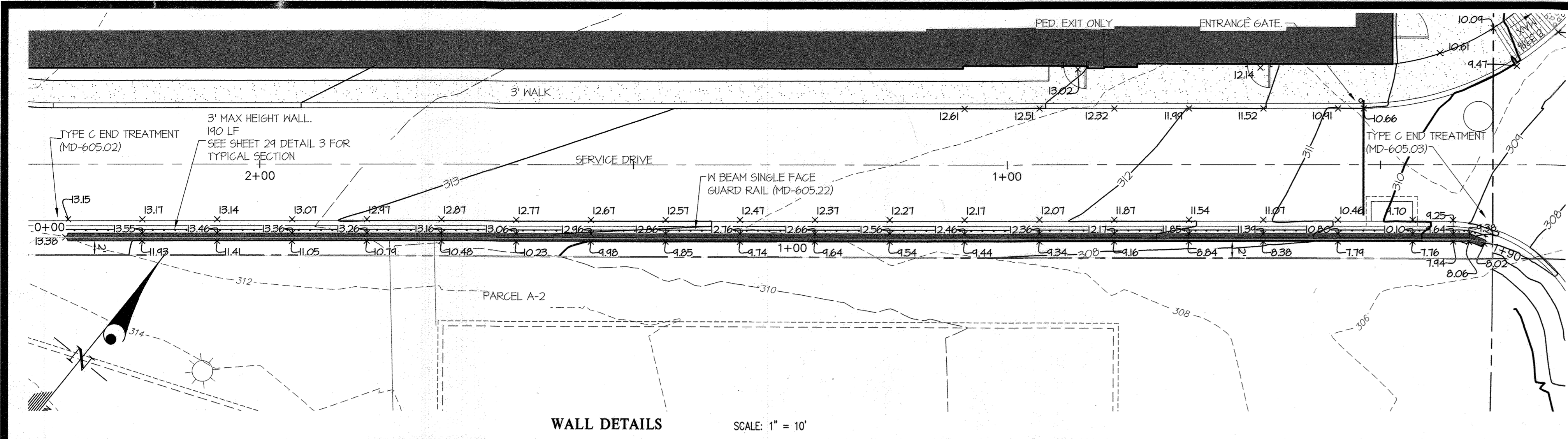


**SITE DEVELOPMENT PLAN**

**THE NEW CULTURAL CENTER**  
DOWNTOWN COLUMBIA  
CRESCENT NEIGHBORHOOD, PHASE 2, PARCELS S - GREEN BLDG.  
PN: 24002-24103

ELECTION DISTRICT No. 5 A RESUBDIVISION OF LOT 1 (PLAT No. 15 Pg. 48) AND PARCELS G, H, & R (PN: 24003) HOWARD COUNTY, MARYLAND

SCALE	ZONING	G. L. W. FILE No.
1"=30'	NT	15107
DATE	TAX MAP - GRID	SHEET
JUNE, 2023	36 - 8	2 OF 52



NOTE: ALL SPOT SHOTS SHOWN ON THIS SHEET ARE GROUND ELEVATIONS

1 inch = 10 ft.

APPROVED  
PLANNING BOARD OF HOWARD COUNTY

Date: MARCH 1, 2018

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING  
*J. E. Esposito* Director Date: 11/20/23  
 Chief, Division of Land Development Date: 12/23/23  
 Chief, Development Engineering Division Date: 8/21/23

**GLWGUTSCHICK LITTLE & WEBER, P.A.**  
 CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS  
 3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK  
 BURTONSVILLE, MARYLAND 20866  
 TEL: 301-421-4024 BALT: 410-880-1820 DC/VA: 301-989-2524 FAX: 301-421-4186

DATE	REVISION	BY	APPR.

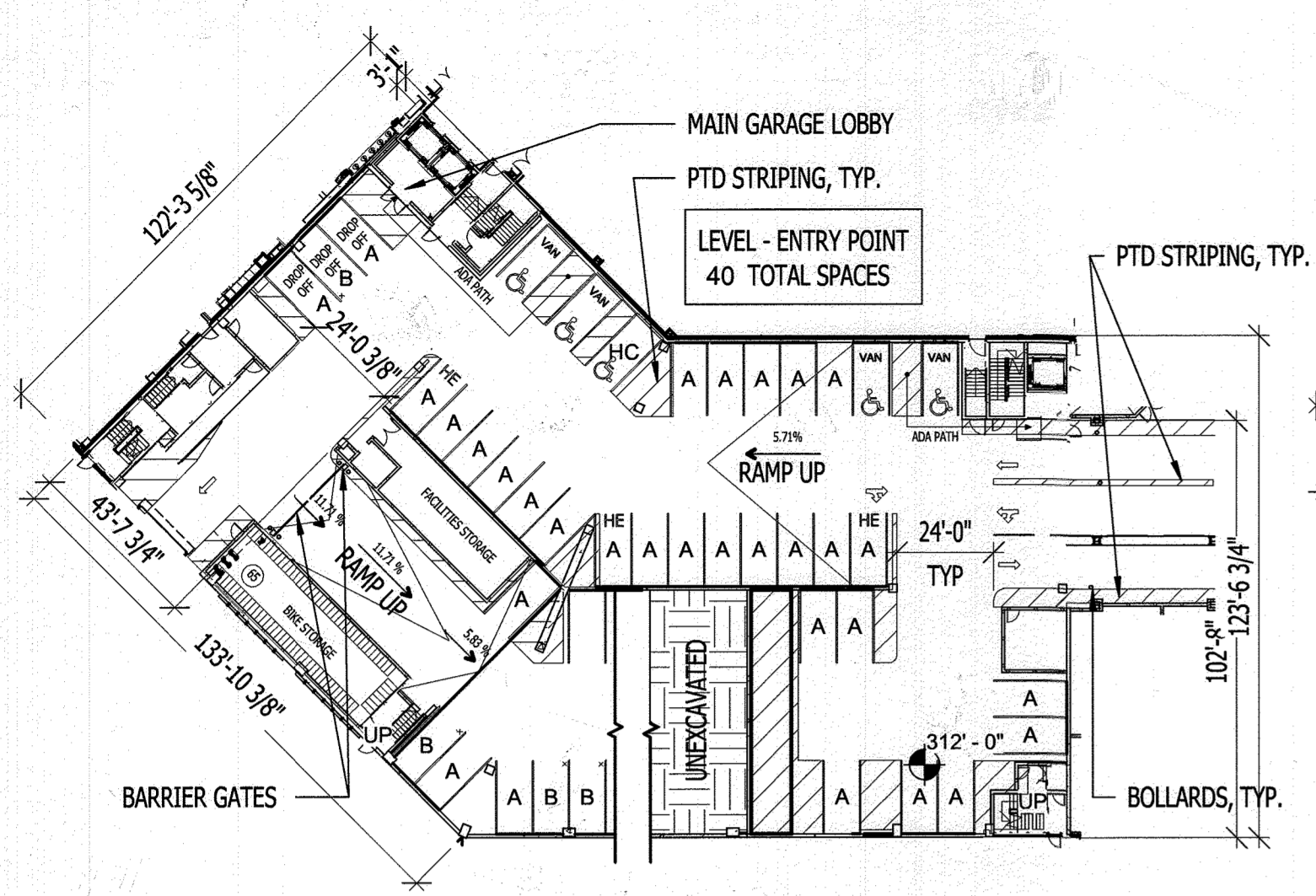
PREPARED FOR & OWNER  
 TOBY'S GENERAL PARTNERSHIP  
 10709 VISTA ROAD  
 COLUMBIA, MARYLAND 21044-4223  
 ATTN: SCOTT ARMIGER  
 410-964-2334

PROFESSIONAL CERTIFICATION  
 I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 12975  
 EXPIRATION DATE: MAY 26, 2024  
*4/26/23*

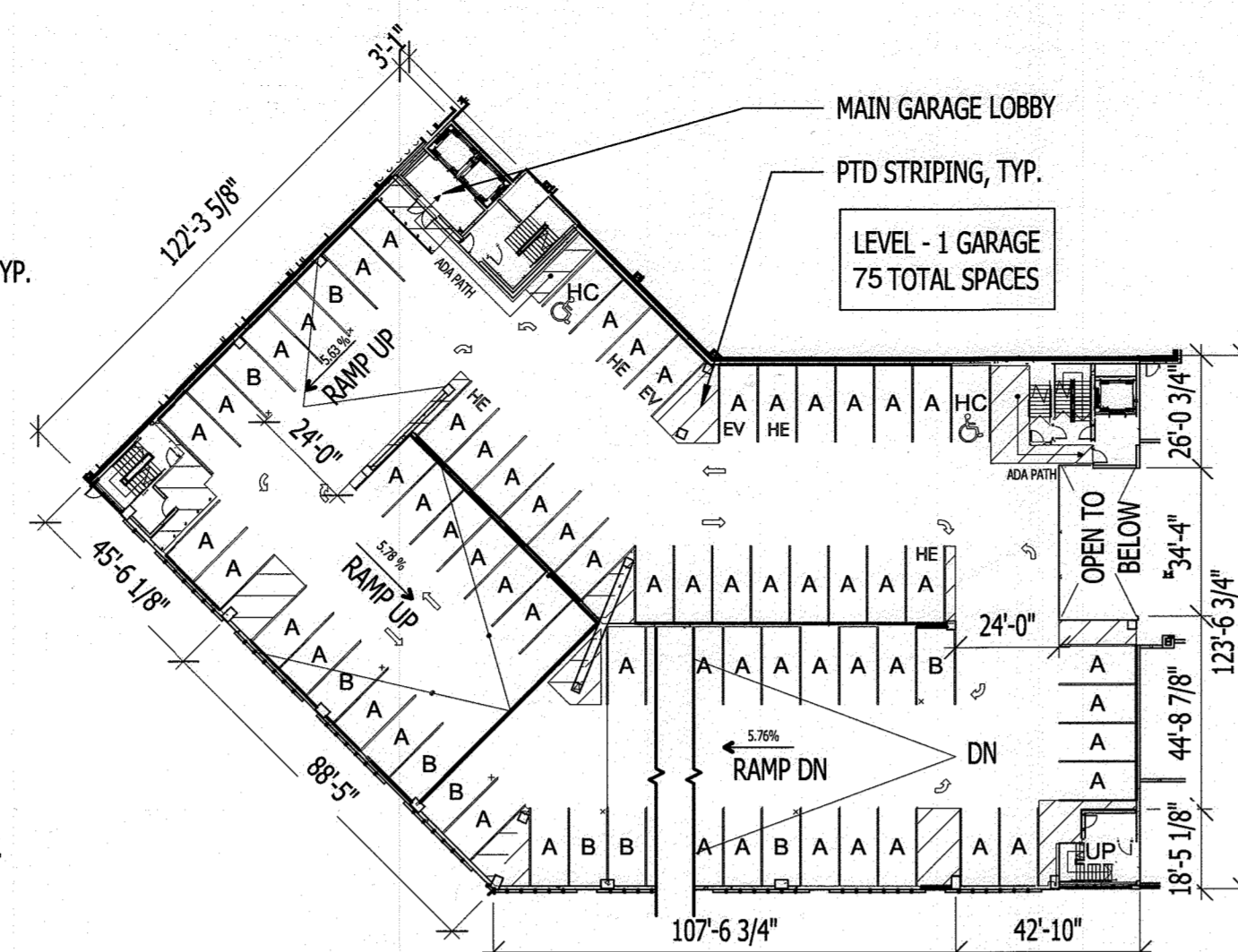
**THE NEW CULTURAL CENTER**  
 DOWNTOWN COLUMBIA  
 CRESCENT NEIGHBORHOOD, PHASE 2, PARCELS S - GREEN BLDG.  
 PN: 21400-21418  
 ELECTION DISTRICT No. 5 A RESUBDIVISION OF LOT 1 (PLAT No. 15 Pg. 48) AND PARCELS G, H, & R (PN: 24003) HOWARD COUNTY, MARYLAND

SCALE	ZONING	G. L. W. FILE No.
AS SHOWN	NT	15107
DATE	TAX MAP - GRID	SHEET
JUNE, 2023	36 - 8	3 OF 52

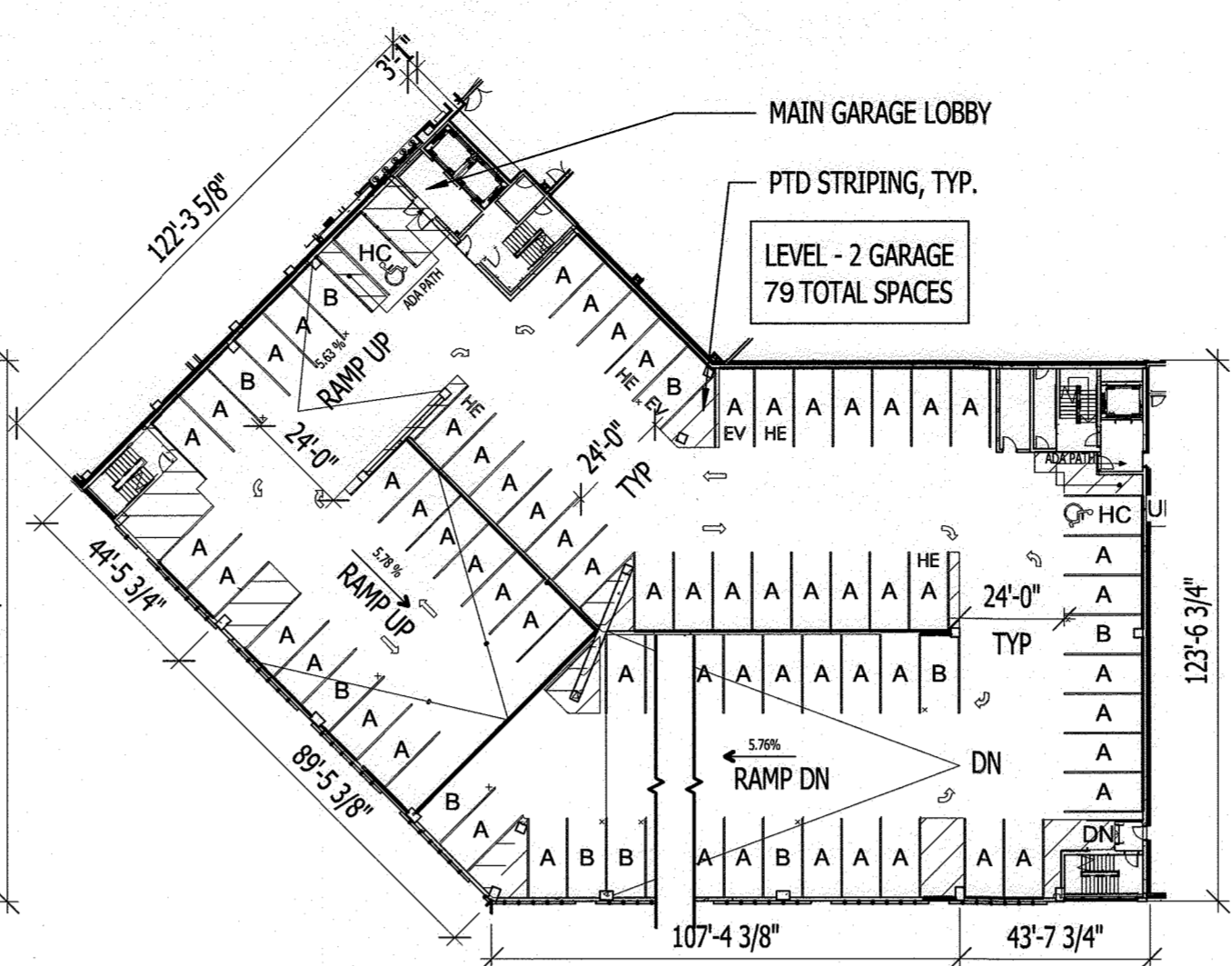
**PARKING STRUCTURE - SPACE LAYOUT**



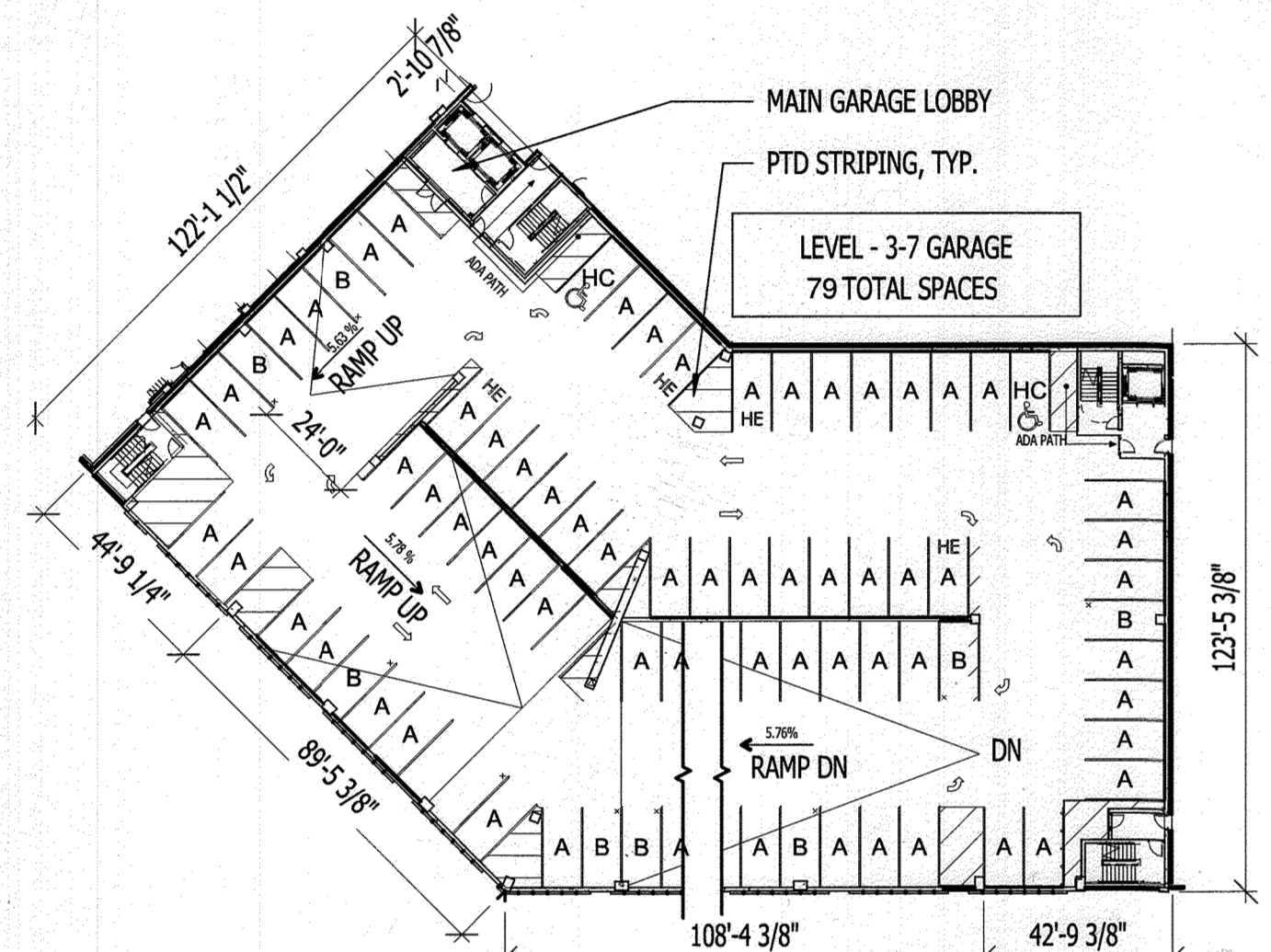
**ENTRY POINT LEVEL**  
1" = 40'-0"



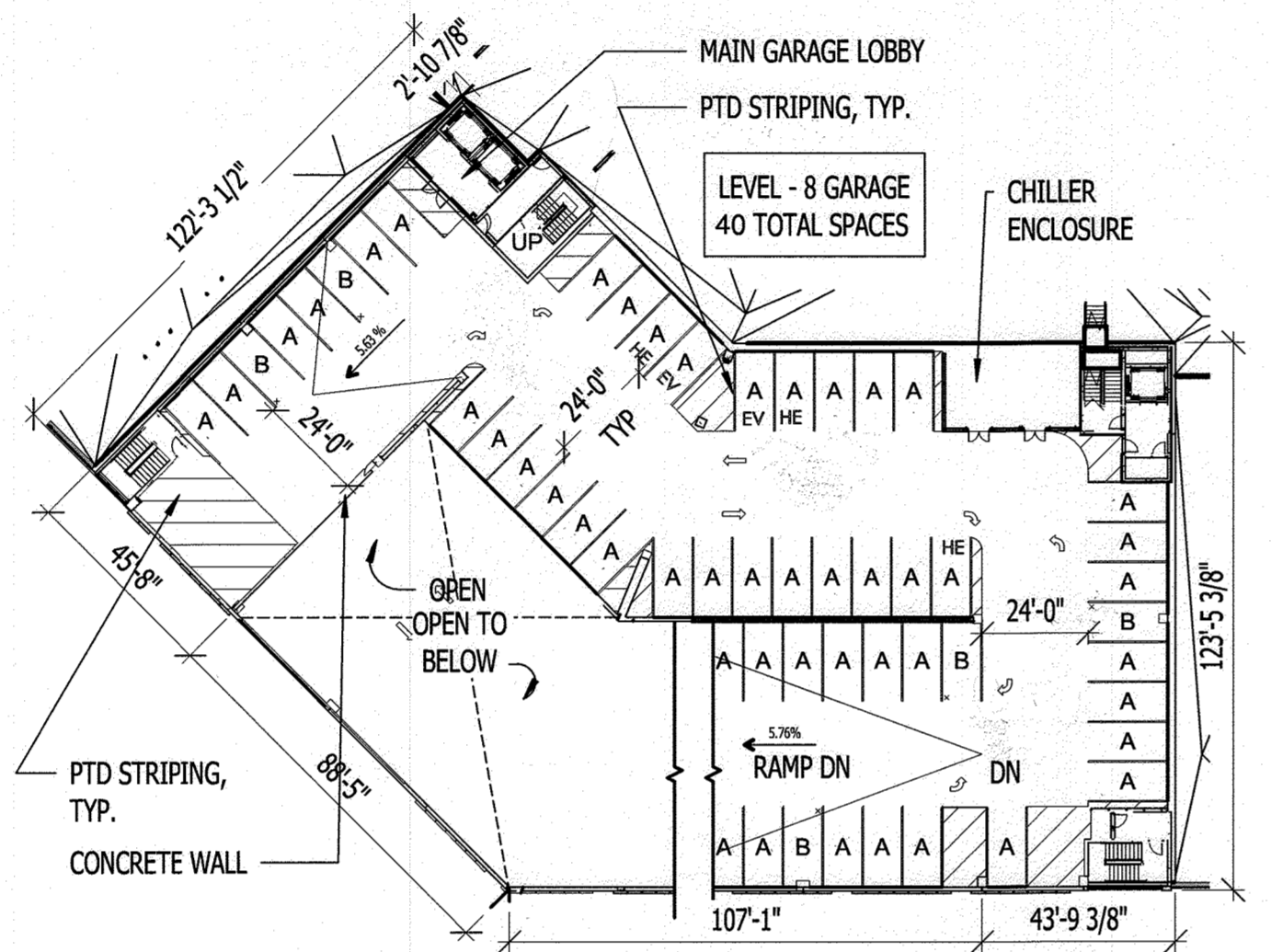
**LEVEL 1**  
1" = 40'-0"



**LEVEL 2**  
1" = 40'-0"

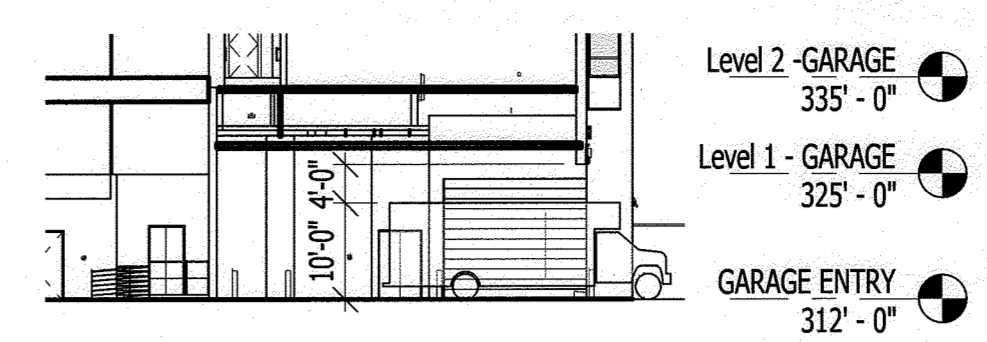


**LEVELS 3,4,5,6,7 TYP**  
1" = 40'-0"

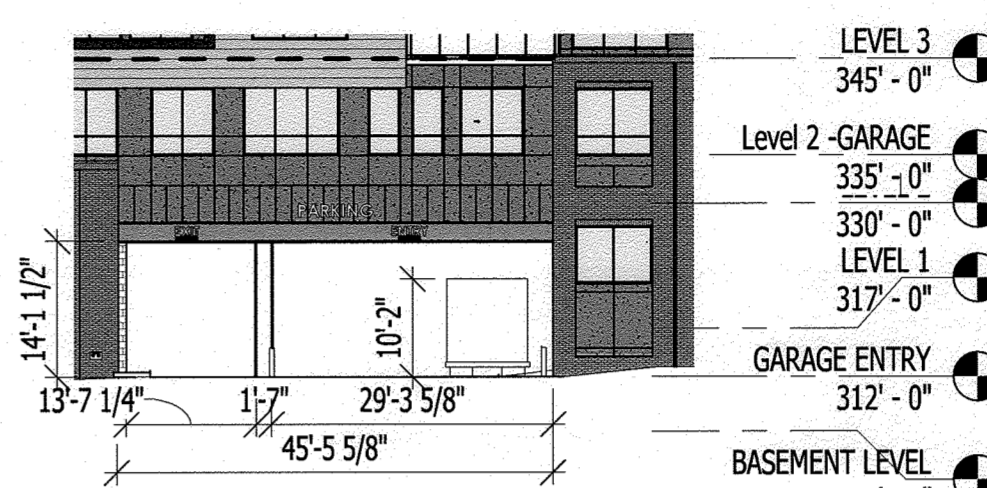


**LEVEL 8**  
1" = 40'-0"

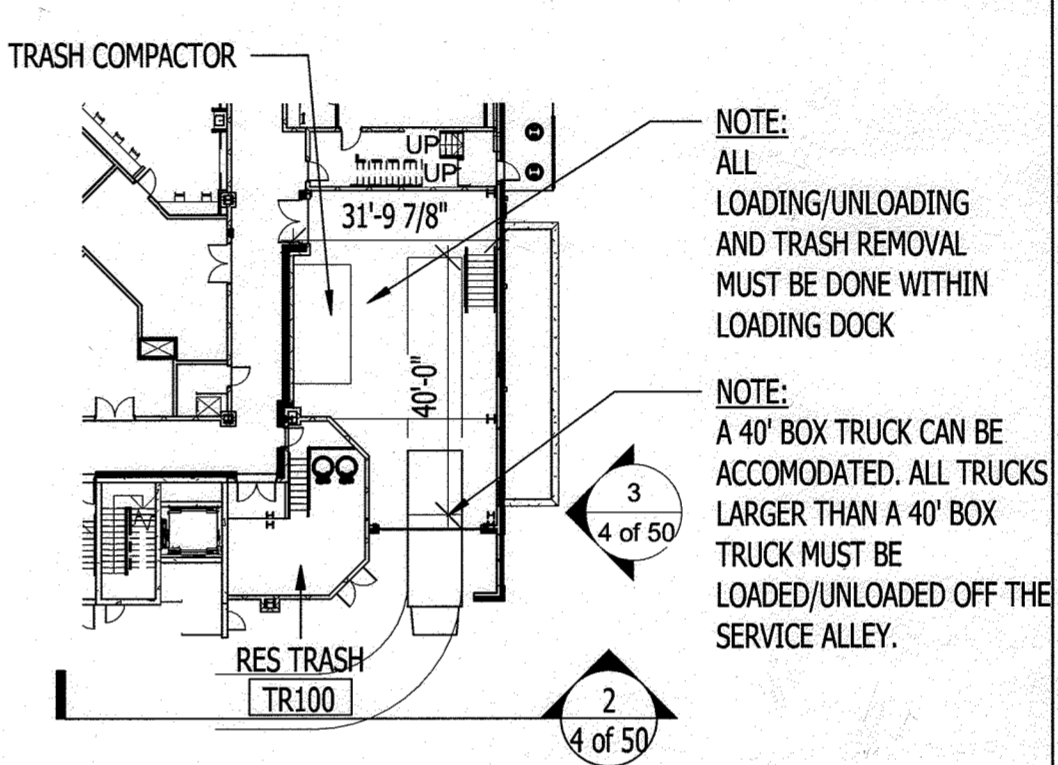
**LOADING DOCK**



**LOADING DOCK SECTION**  
1" = 20'-0"



**GARAGE AND LOADING ELEVATION**  
1" = 20'-0"



**LOADING DOCK PLAN**  
1" = 30'-0"

**PARKING TABULATIONS**

Level	Model	Type	Mark	Count
Garage Entry	STANDARD	A		33
Garage Entry	ACCESSIBLE	B		1
Garage Entry	VAN ACCESSIBLE	VC		4
				40
Level 1 - Garage	STANDARD	A		63
Level 1 - Garage	STANDARD OBSTRUCTED	B		10
Level 1 - Garage	ACCESSIBLE	HC		7
				79
Level 2 - Garage	STANDARD	A		68
Level 2 - Garage	STANDARD OBSTRUCTED	B		9
Level 2 - Garage	ACCESSIBLE	HC		7
				79
Level 3	STANDARD	A		69
Level 3	STANDARD OBSTRUCTED	B		8
Level 3	ACCESSIBLE	HC		2
				79
Level 4	STANDARD	A		69
Level 4	STANDARD OBSTRUCTED	B		8
Level 4	ACCESSIBLE	HC		2
				79
Level 5	STANDARD	A		69
Level 5	STANDARD OBSTRUCTED	B		8
Level 5	ACCESSIBLE	HC		2
				79
Level 6	STANDARD	A		69
Level 6	STANDARD OBSTRUCTED	B		8
Level 6	ACCESSIBLE	HC		2
				79
Level 7	STANDARD	A		68
Level 7	STANDARD OBSTRUCTED	B		8
Level 7	ACCESSIBLE	HC		2
				79
Roof Datum	STANDARD	A		56
Roof Datum	STANDARD OBSTRUCTED	B		5
				60
<b>Grand Total:</b>				<b>649</b>

**BIKE STORAGE TABS**

LOCATION	# OF SPACES
BIKE STORAGE RM (ENTRY LEVEL)	65
EXTERIOR BIKE STORAGE	6
<b>71</b>	

**EXT MTRL LEGEND**

- 01 STONE PANEL
- 02 FACE BRICK TYPE 1
- 03 FACE BRICK TYPE 2
- 04 CAST STONE - COPING, SILLS, BANDS
- 05 WOOD-LOOK METAL CLADDING
- 06 WOOD-LOOK ALUMINUM PROFILE EXTRUSION
- 07 METAL WALL PANEL 1
- 08 FIBER CEMENT PANEL TYPE 1 - BEIGE, 12" H X 48" L STAGGERED JOINTS
- 09 FIBER CEMENT PANEL TYPE 2 - GREY
- 10 FIBER CEMENT PANEL TYPE 3 - WOOD LOOK
- 11 ALUMINUM WINDOW
- 12 ALUMINUM STOREFRONT GLAZING
- 13 ALUMINUM CURTAIN WALL GLAZING
- 14 CUSTOM ALUMINUM CURTAIN WALL W/ LAMINATED & FRITTED GLASS FIN
- 15 LANDSCAPE TV WALL
- 16 PREFINISHED ALUMINUM COPING
- 17 RAILING TYPE 1 - GLASS GUARD RAIL W/ ALUMINUM SHOE RAIL & BIRD SAFE EXTERIOR FILM
- 18 RAILING TYPE 2 - ALUMINUM BALUSTERS W/ WIRE PANEL INFILL
- 19 RAILING TYPE 3 - PTD METAL GUARDRAIL
- 20 LANDSCAPE RAILING
- 21 PRECAST CONCRETE PANEL
- 22 TRANSFORMER SCREEN - PERF ALUM PANEL IN ALUM STOREFRONT MULLIONS, 50% OPENNESS BOD, NO LESS THAN 20% OPEN IS REQ'D FOR VENTILATION.
- 23 GARAGE SCREEN - 1/16" THICK PERFORATED BENT ALUMINUM PANEL, PTD
- 24 PATIO / BALCONY DIVIDER
- 25 LANDSCAPE ART SCREEN
- 26 BALCONY TYPE 1 - SISTERED WOOD FRAMING W/ CONCRETE TOPPING
- 27 BALCONY TYPE 2 - PREFAB METAL BALCONY W/ METAL CHANNEL PROFILE
- 28 BALCONY TYPE 3 - JULIETTE BALCONY W/ METAL CHANNEL PROFILE
- 29 CANOPY TYPE 1 - STEEL FRAMING, STEEL CHANNEL FASCIA, TPO ROOFING
- 30 CANOPY TYPE 2 - CONCRETE W/ STEEL CHANNEL FASCIA, TPO ROOFING
- 31 EXTERIOR WALL MTD LIGHT FIXTURE
- 32 EXTERIOR CEILING MTD LIGHT FIXTURE
- 33 CONCRETE STORMWATER RETENTION BASIN
- 34 SOFFIT TYPE 1 - WOOD-LOOK METAL PANEL, VENTED
- 35 SOFFIT TYPE 2 - WOOD-LOOK FIBER CEMENT PANEL, VENTED
- 36 ALUMINUM LOUVER W/ BIRD SCREEN
- 37 OVERHEAD COILING DOOR
- 38 FROSTED GLASS
- 39 SPANDREL GLASS
- 40 BENT ALUMINUM TRIM
- 41 SPANDREL GLASS
- 42 SIGNAGE - BACKLIT CHANNEL LETTER
- 43 UNIT EXHAUST VENT - 6" METAL COVER, PTD TO MATCH ADJACENT FACADE
- 44 LAMB'S TONGUE ROOF DRAIN OUTLET
- 45 TRANSLUCENT FILM ON FULL LITE OF GLASS
- 46 PREFINISHED METAL FLASHING
- 47 SUPPORT LEDGE CAST IN FOUNDATION WALL
- 48 FOUNDATION WALL EXTENTS
- 49 ROOF SCREEN - FIBER CEMENT PANEL TYPE 2 ON GALV STEEL TUBE FRAMING
- 50 ARCHITECTURAL BENT STEEL PLATE
- 51 FIRE DEPARTMENT CONNECTION
- TRAFFIC BOLLARD

**PARKING SYMBOL LEGEND**

- A 9' X 18' STANDARD (545 TOTAL)
- B 9' X 18' STANDARD W/ COLUMN (85 TOTAL)
- C 8' X 18' COMPACT (0 TOTAL)
- D 8' X 18' COMPACT W/ COLUMN (0 TOTAL)
- ACCESSIBLE (15 TOTAL)  
9' X 18' WITH 5' ACCESS AISLE
- VAN VAN ACCESSIBLE (4 TOTAL)  
9' X 18' WITH 8' ACCESS AISLE

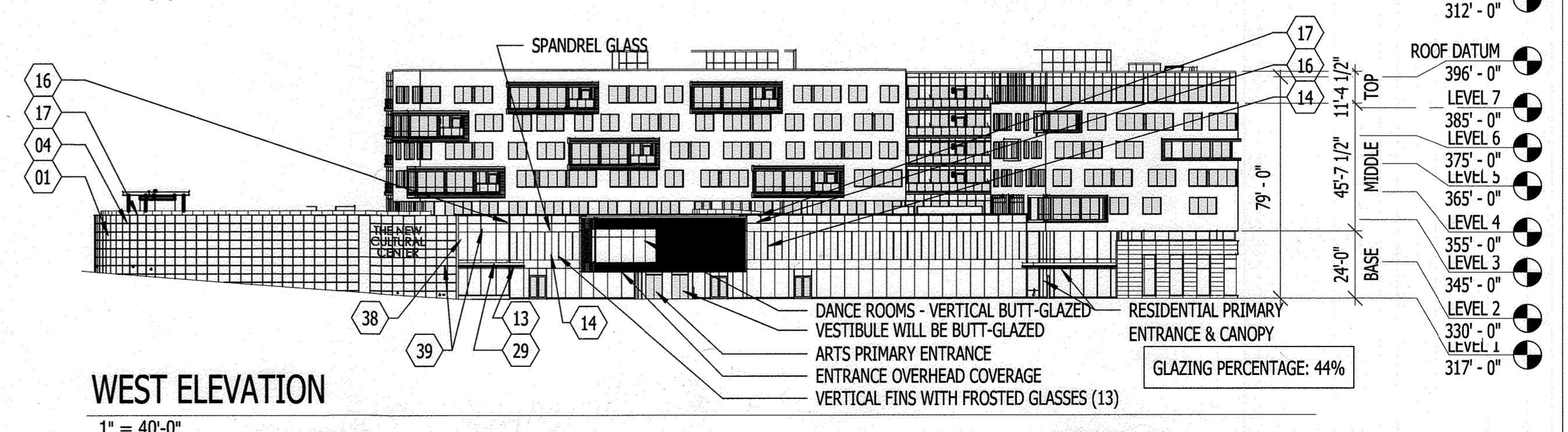
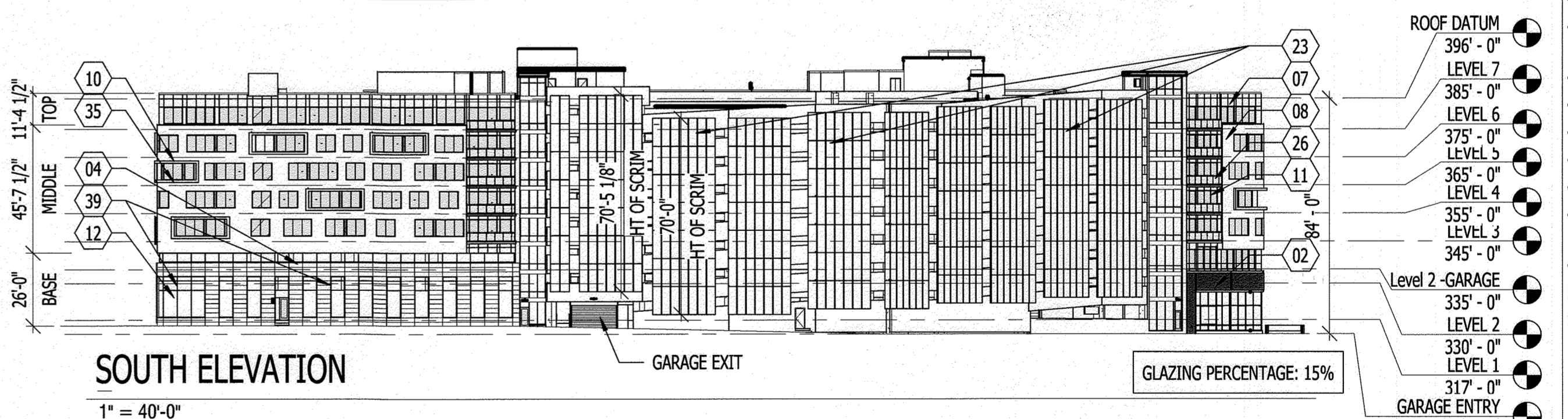
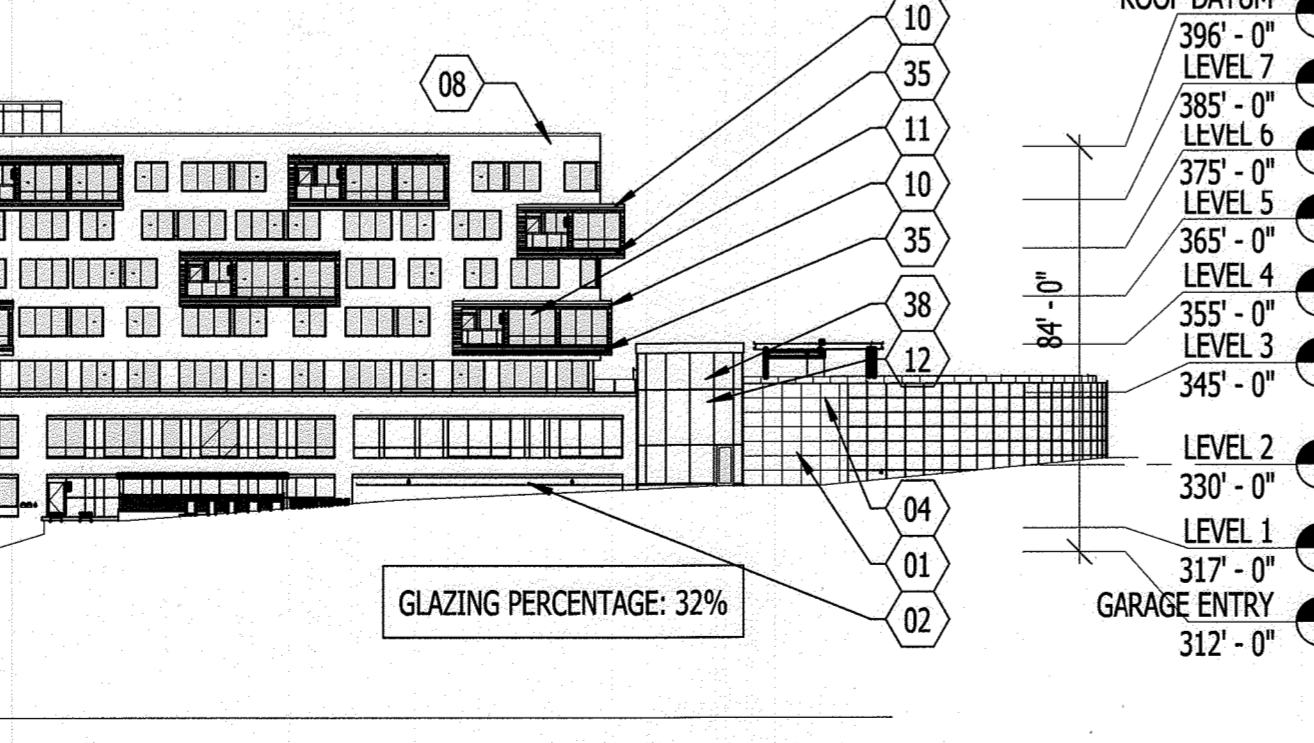
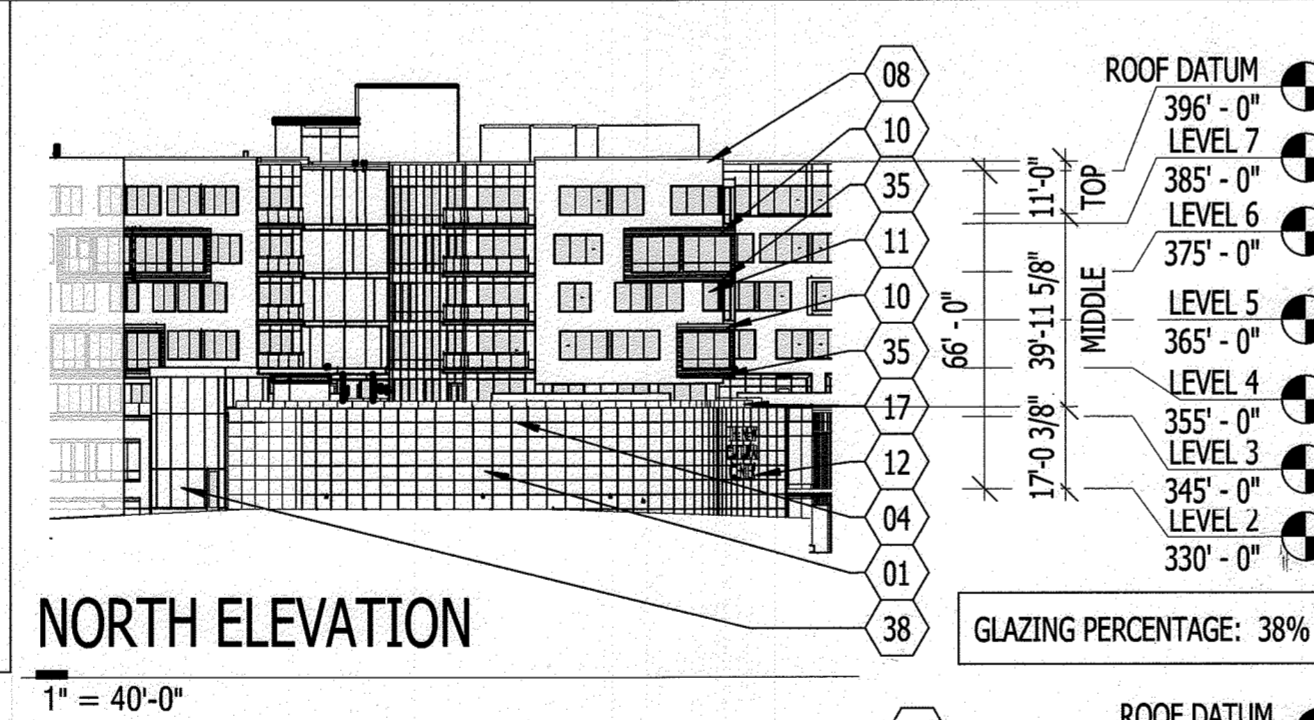
1. COMPACT SPACES TO BE MARKED BY "COMPACT ONLY SIGNS." COMPACT SPACES ARE PROVIDED BEYOND THE MINIMUM NUMBER OF SPACES REQUIRED  
2. SPACES BEHIND THE LEVEL 6 BARRIER GATES ARE RESERVED FOR RESIDENTS ONLY. ALL OTHER SPACES WILL BE SHARED. REFER TO PARKING DEMAND ANALYSIS.

APPROVED  
PLANNING BOARD OF HOWARD COUNTY  
Date: 7/1/18

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING  
Director: 11/20/23  
Chief, Development Engineering Division: 8/21/23

**ELEVATIONS**

1. SEE SHEET 5 FOR BUILDING DIMENSIONS.  
2. CLEAR LOW-E SOLARBAN 60 USED AS GLAZING BASIS OF DESIGN.
- SPANDREL GLASS
  - FROSTED GLASS
  - PERIMETER SCREEN GREEN WALL SCRIM



**Design Collective**  
ARCHITECTS PLANNING INTERIORS LANDSCAPE ARCHITECTURE GRAPHICS  
601 East Pratt Street, Suite 300  
Baltimore, Maryland 21202  
P: 410.962.9655 WWW.DESIGNCOLLECTIVE.COM

DRW. Author CHK. Checker

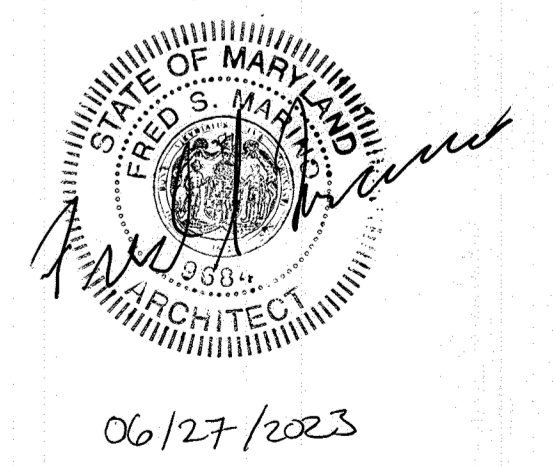
REVISION	DATE

PREPARED FOR & OWNER PARCEL S  
TOB Y'S GENERAL PARTNERSHIP  
10709 VISTA ROAD  
COLUMBIA, MARYLAND 21044-4223  
ATTN: SCOTT ARMIGER  
410-964-2334

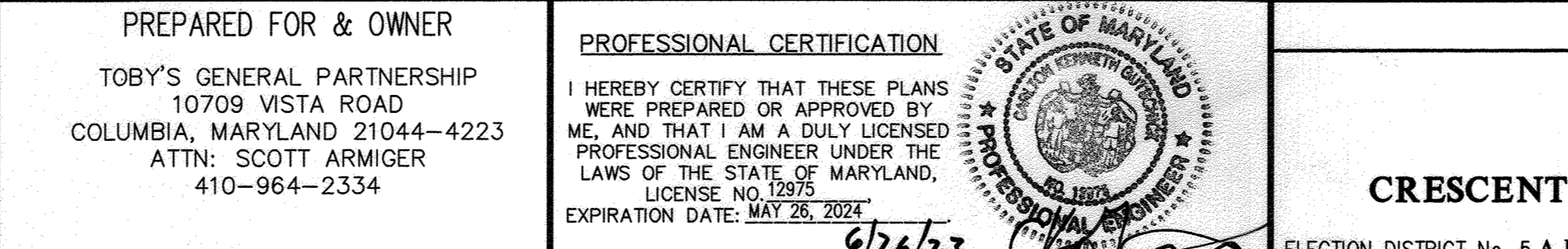
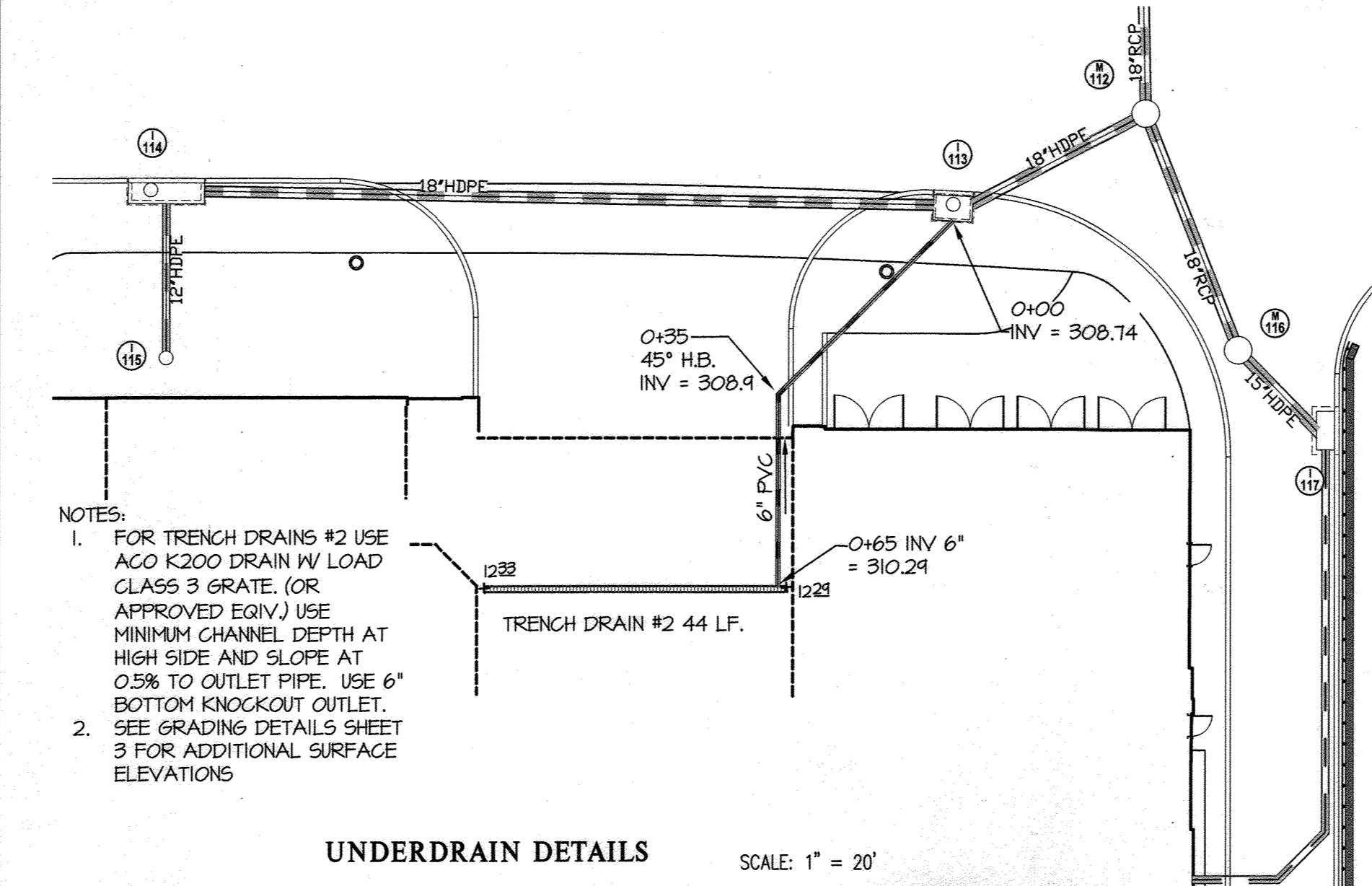
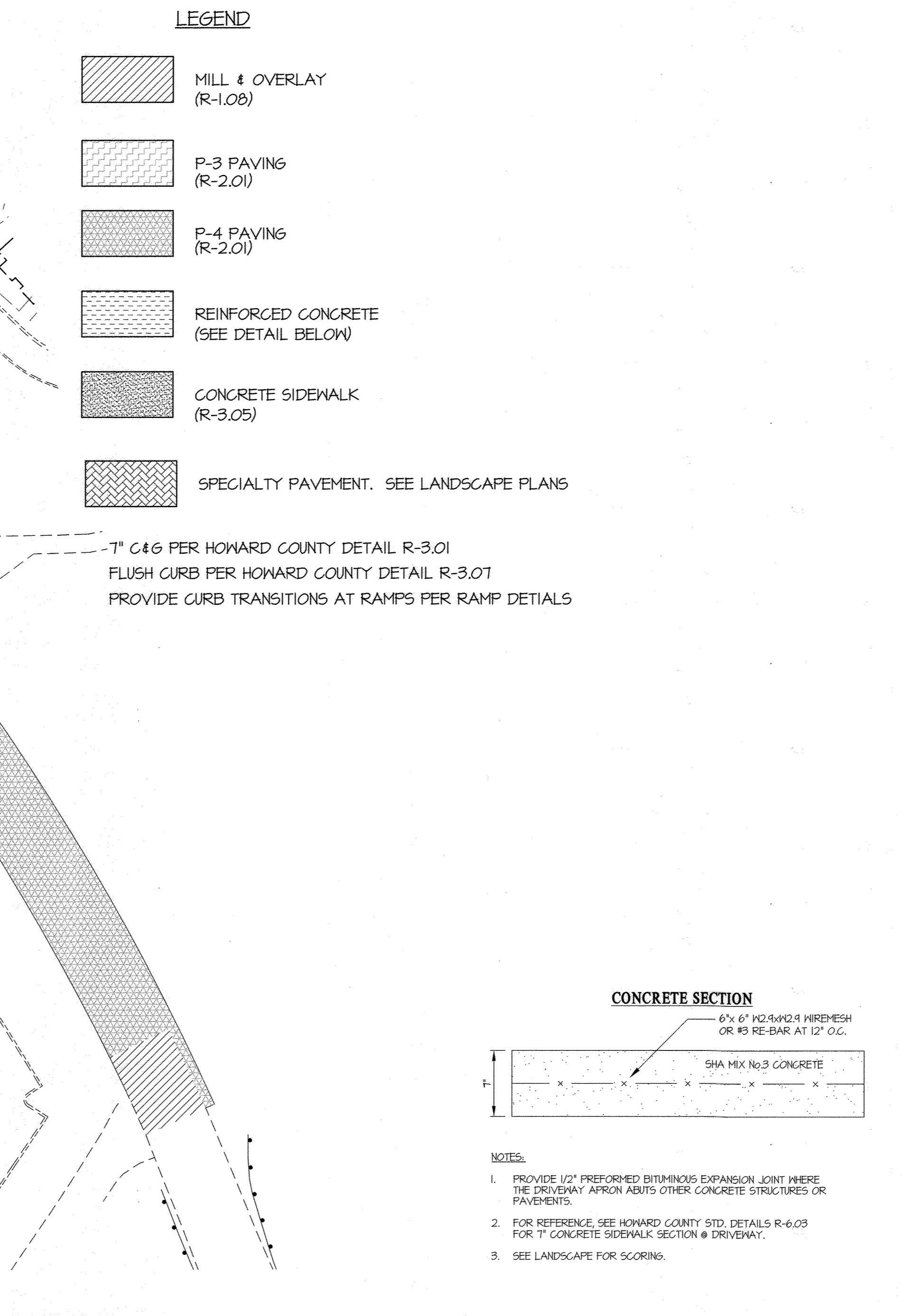
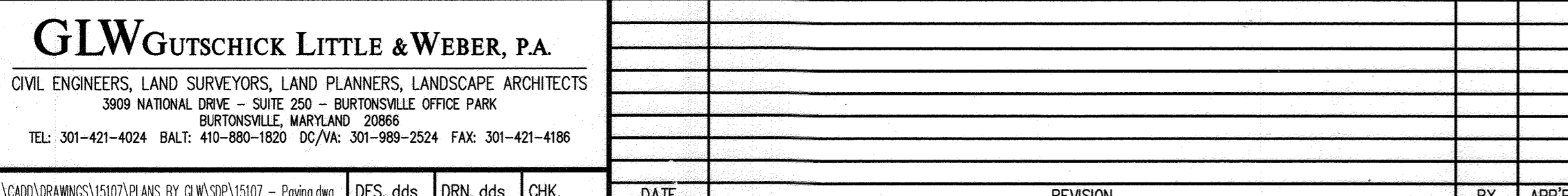
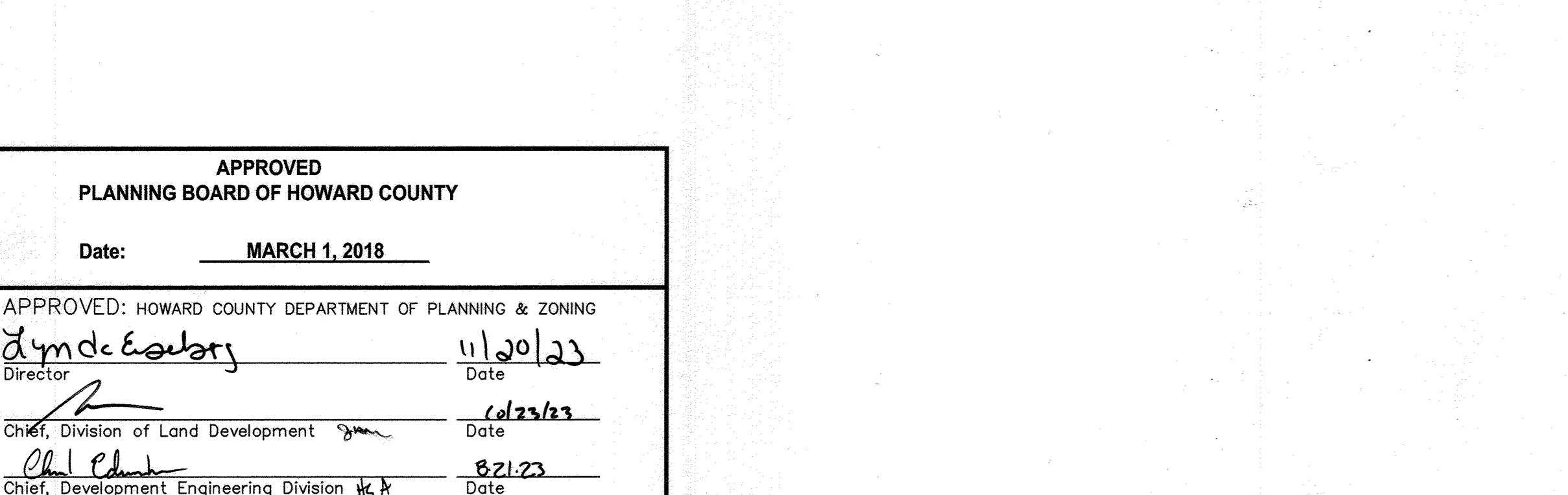
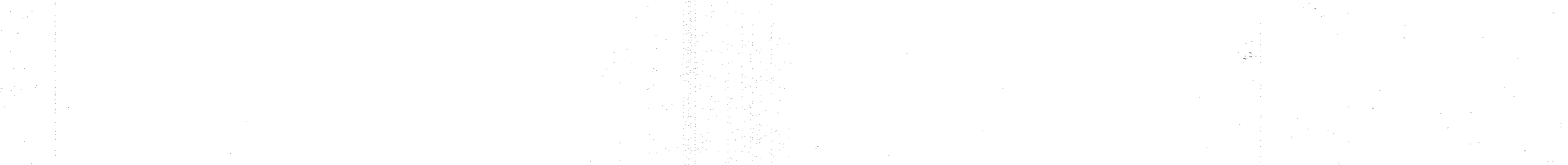
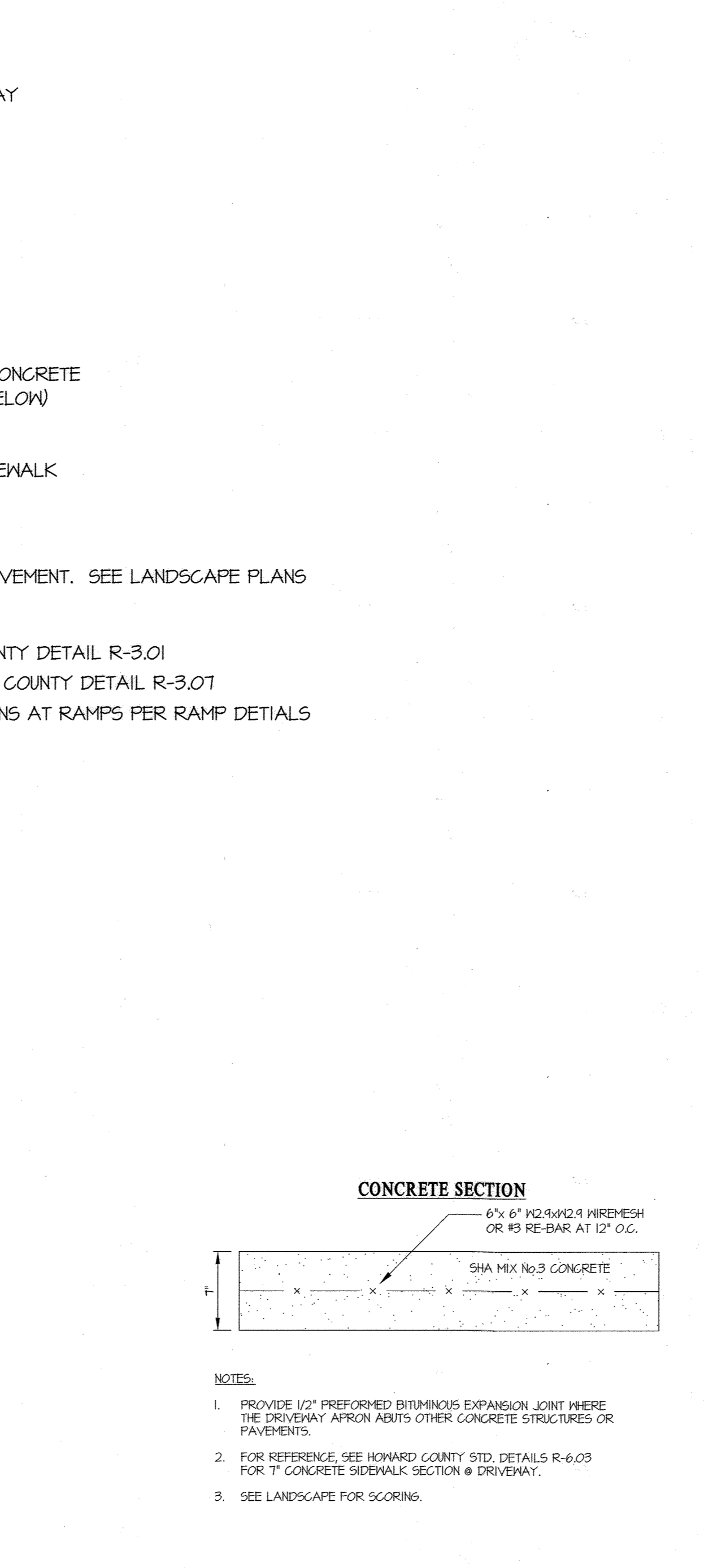
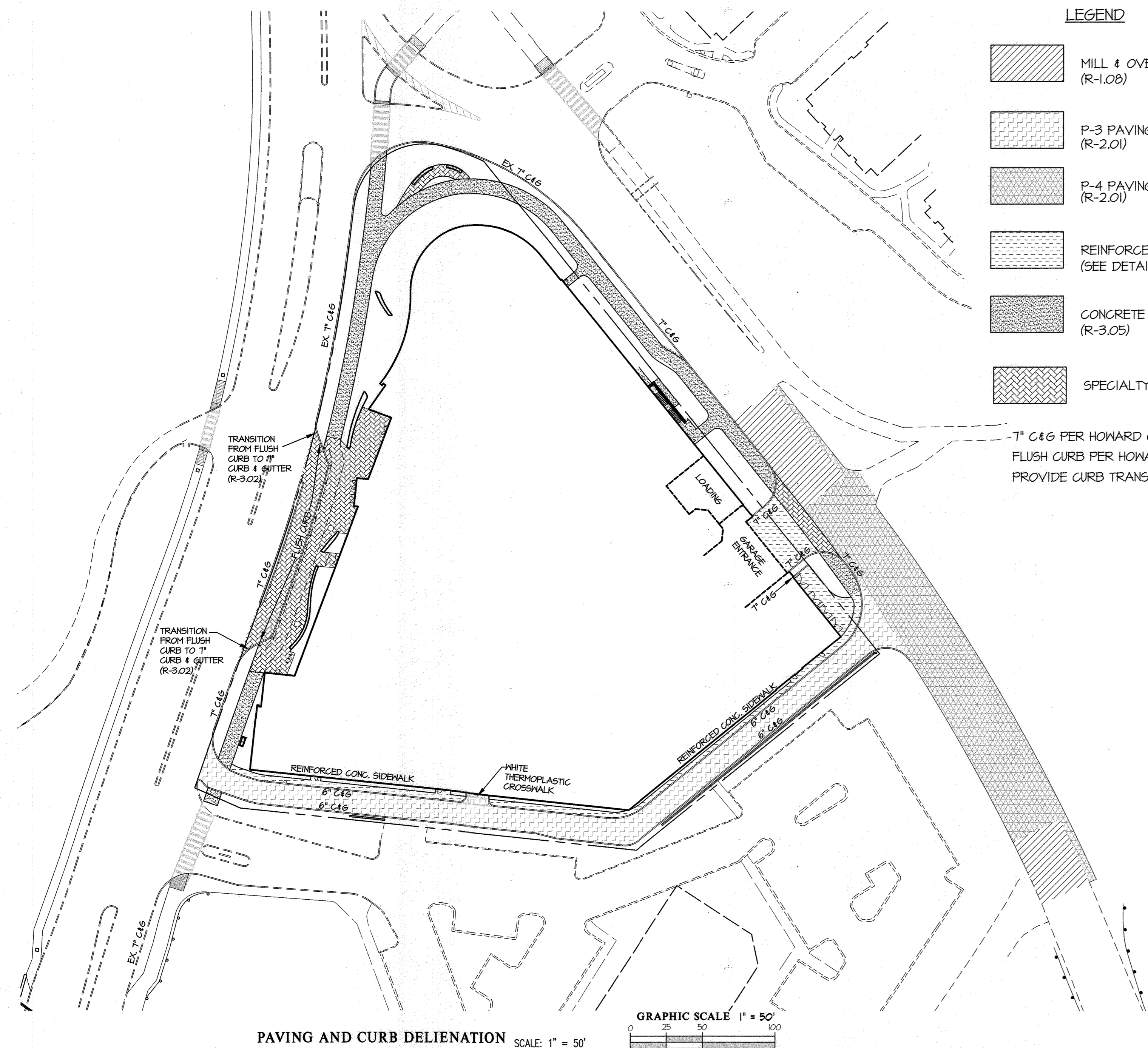
PROFESSIONAL CERTIFICATION  
"I certify that these documents were prepared or approved by me, and that I am a duly licensed architect under the laws of the State of Maryland, License No. 9684, expiration date 09/24/23"  
By: Fred S. Marino, AIA

**THE NEW CULTURAL CENTER**  
DOWNTOWN COLUMBIA  
CRESCENT NEIGHBORHOOD, PHASE 2, PARCELS S  
ELECTION DISTRICT No. 5 A RESUBDIVISION OF LOT 1 (PLAT No. 15 Pg. 48) AND PARCELS G & H (PN: 24003)  
HOWARD COUNTY, MARYLAND

SCALE	ZONING	SHEET NAME
As indicated	NT	BUILDING ELEVATIONS & GARAGE PLANS
DATE	TAX MAP - GRID	SHEET
JUNE, 2023	36 - 8	4 of 52



06/27/2023



**APPROVED**  
**PLANNING BOARD OF HOWARD COUNTY**  
 Date: MARCH 1, 2018

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING  
 Director: Lyndee Eschery 11/20/23  
 Date: 11/20/23  
 Chief, Division of Land Development: [Signature] 10/25/23  
 Date: 10/25/23  
 Chief, Development Engineering Division: [Signature] 8/21/23  
 Date: 8/21/23

**GLWGUTSCHICK LITTLE & WEBER, P.A.**  
 CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS  
 3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK  
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 TEL: 301-421-4024 BALT: 410-880-1820 DC/VA: 301-989-2524 FAX: 301-421-4186

DATE	REVISION	BY	APPR.

PREPARED FOR & OWNER  
 TOBY'S GENERAL PARTNERSHIP  
 10709 VISTA ROAD  
 COLUMBIA, MARYLAND 21044-4223  
 ATTN: SCOTT ARMIGER  
 410-964-2334

PROFESSIONAL CERTIFICATION  
 I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 12875  
 EXPIRATION DATE: MAY 28, 2024  
 6/26/23

**THE NEW CULTURAL CENTER**  
**DOWNTOWN COLUMBIA**  
**CRESCENT NEIGHBORHOOD, PHASE 2, PARCELS S - GREEN BLDG.**  
 ELECTION DISTRICT No. 5 A RESUBDIVISION OF LOT 1 (PLAT No. 15 Pg. 48) AND PARCELS G, H, & R (PN: 24003) HOWARD COUNTY, MARYLAND

SCALE	ZONING	G. L. W. FILE No.
AS SHOWN	NT	15107
DATE	TAX MAP - GRID	SHEET
JUNE, 2023	36 - 8	5 OF 52

LEGEND

- SSF — SUPER SILT FENCE
- STABILIZED CONSTRUCTION ENTRANCE
- LIMIT OF DISTURBANCE
- FP — 100 YEAR FLOODPLAIN
- G<sub>1</sub> — SOIL BOUNDARY  
— G<sub>2</sub> — SOIL TYPE
- PROPOSED TEMPORARY STOCKPILE AREA
- HIGHLY ERODIBLE SOIL  
Highly erodible soils are those soils with a slope greater than 15 percent or those soils with a soil erodibility factor K greater than 0.35 and with a slope greater than 5 percent

NOTES:

1. STOCKPILE MAY BE RELOCATED AS BUILDING CONSTRUCTION PROGRESSES. ANY STOCKPILING MUST BE WITHIN THE LIMITS OF THE PERIMETER SEDIMENT CONTROLS.
2. WHEN SUPER SILT FENCE IS RUNNING AT A SLOPE GREATER THAN 5% FOR A DISTANCE OVER 50', CURB FENCE UP 2' FOR EVERY 2' OF ELEVATION CHANGE ALONG SILT FENCE.
3. SEDIMENT CONTROL INSPECTOR MAY RELOCATE STABILIZED CONSTRUCTION ENTRANCES.
4. SEE DETAIL B-4-B FOR STOCKPILE BENCHING REQUIREMENTS.

STANDARD STABILIZATION NOTE:

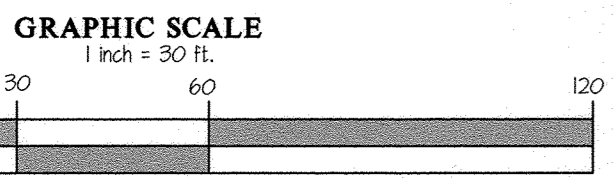
FOLLOWING INITIAL SOIL DISTURBANCE OR RE-DISTURBANCE, PERMANENT OR TEMPORARY STABILIZATION MUST BE COMPLETED WITHIN:

- A) THREE (3) CALENDAR DAYS AS TO THE SURFACE OF ALL PERIMETER DIKES, SHOALS, DITCHES, PERIMETER SLOPES, AND ALL SLOPES STEEPER THAN 3 HORIZONTAL TO 1 VERTICAL (3:1), AND
- B) SEVEN (7) CALENDAR DAYS AS TO ALL OTHER DISTURBED OR GRADED AREAS ON THE PROJECT SITE NOT UNDER ACTIVE GRADING.

SOILS (on site)

Map Unit	Map Unit Name	Type	K Factor
BoA	Baile silt loam, 0 to 3 percent slopes	D	0.32
WB	Urban land-urban/tenants complex, 0 to 8 percent slopes	D	0.28

HOWARD COUNTY SOIL MAP NUMBER: 18 - SAVAGE NN



THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

*Oliver B. Prater* DATE: 08/09/23  
 HOWARD SOIL CONSERVATION DISTRICT

DEVELOPER'S/BUILDER'S CERTIFICATE

"I/WE CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A MARYLAND DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HSCD."

*JSD* DATE: 6/27/2023  
 SIGNATURE OF DEVELOPER/BUILDER

ENGINEER'S CERTIFICATE

"I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT."

*CK* DATE: 6/26/23  
 ENGINEER'S SIGNATURE

APPROVED PLANNING BOARD OF HOWARD COUNTY

Date: MARCH 1, 2018

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

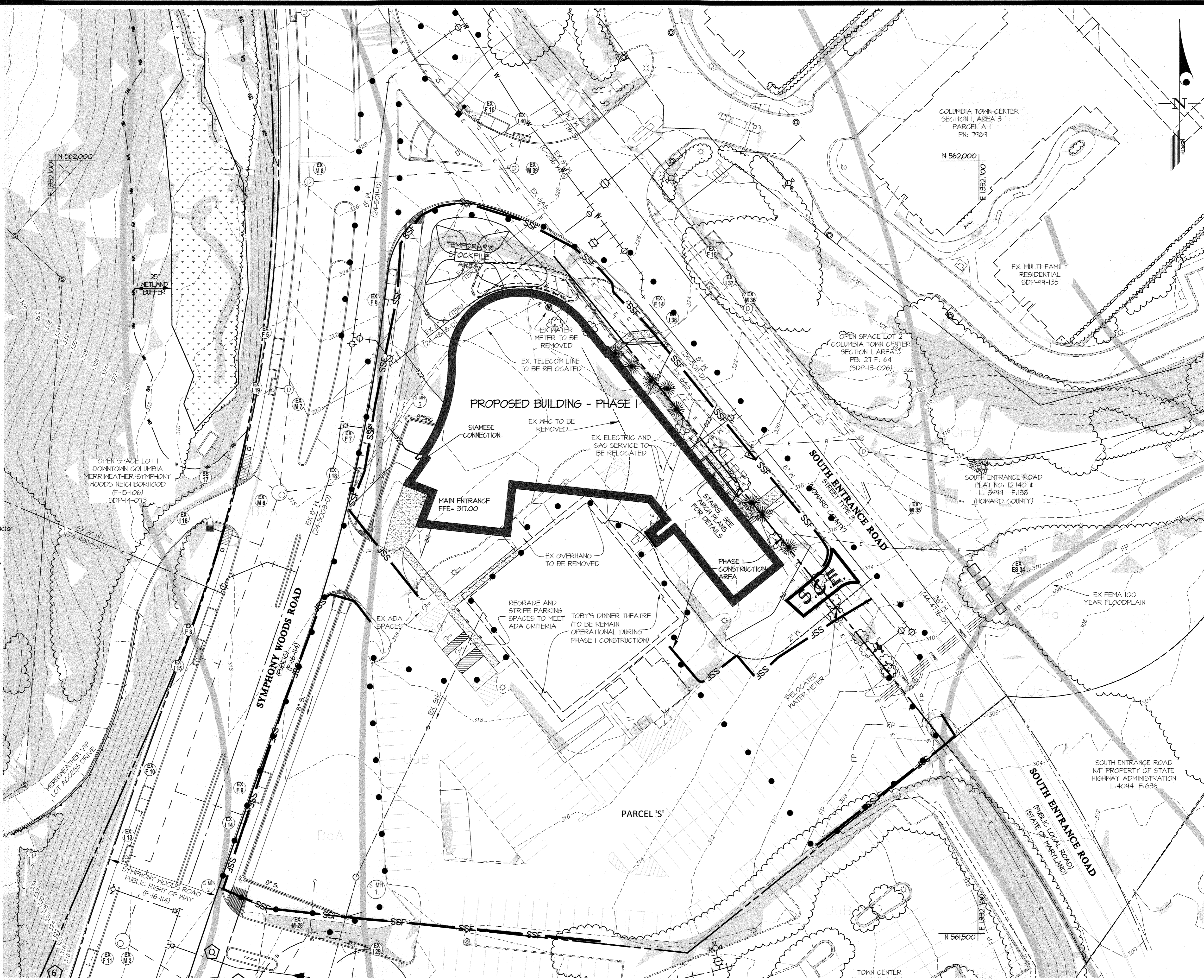
*Lynne Evans* DATE: 10/20/23  
 Director

*Chad* DATE: 10/23/23  
 Chief, Division of Land Development

*Chad* DATE: 8/21/23  
 Chief, Development Engineering Division

**GLWGUTSCHICK LITTLE & WEBER, P.A.**  
 CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS  
 3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK  
 BURTONSVILLE, MARYLAND 20866  
 TEL: 301-421-4024 BALT: 410-860-1820 DC/VA: 301-389-2524 FAX: 301-421-4186

L:\CADD\DRAWINGS\15107\PLANS BY QW\SHP\15107-SHE-PHE.dwg DES. DDS DRN. LAG CHK.



ABBREVIATED ADJACENT PROPERTY INFORMATION CHART

F	PARCEL F DOWNTOWN COLUMBIA MERRIWEATHER-SYMPHONY WOODS NEIGHBORHOOD (PN: 24000)
P	PARCEL P DOWNTOWN COLUMBIA MERRIWEATHER-SYMPHONY WOODS NEIGHBORHOOD (PN: 24000)
Q	PARCEL Q DOWNTOWN COLUMBIA MERRIWEATHER-SYMPHONY WOODS NEIGHBORHOOD (PN: 24000)
6	OPEN SPACE LOT 6 DOWNTOWN COLUMBIA MERRIWEATHER-SYMPHONY WOODS NEIGHBORHOOD (PN: 24000-24003)
7	OPEN SPACE LOT 7 DOWNTOWN COLUMBIA MERRIWEATHER-SYMPHONY WOODS NEIGHBORHOOD (PN: 24000)
1	OPEN SPACE LOT 1 COLUMBIA TOWN CENTER SECTION 1, AREA 4 PN: 14054

PHASE I SEQUENCE OF CONSTRUCTION 1

NOTE: THE TRANSITION FROM PHASE 1 TO PHASE 2 CONSTRUCTION MAY VARY AT ANY TIME PROVIDED THAT THE PHASE 2 PARKING PLAN IS PUT INTO PLACE.

SEE PHASE 1 SDP FOR THE AMOUNT OF PARKING SPACES THAT HAVE TO BE AVAILABLE FOR EVERY PERFORMANCE. PARKING AREAS MAY BE TEMPORARILY CLOSED FOR CONSTRUCTION AND STOCKPILING.

1. OBTAIN GRADING PERMIT AND ARRANGE PRE-CONSTRUCTION MEETING WITH SEDIMENT CONTROL INSPECTOR (1 DAY).
2. INSTALL STABILIZED CONSTRUCTION ENTRANCE (SCE) & SUPER SILT FENCE (SSF) (5 DAYS).
3. INSTALL NEW WATER LINE. BEGIN TO RELOCATE ANY DRY UTILITIES FROM THE PHASE 1 BUILDING AREA. ANY UTILITY CONSTRUCTION DONE WITHIN THE ROADS MUST BE DONE WITH SAME DAY STABILIZATION (20 DAYS).
4. ONCE NEW WATER LINE IS CONSTRUCTED, REMOVE EXISTING WATER LINE ADJACENT TO PHASE 1 BUILDING AND RELOCATE THE WATER METER FOR THE EXISTING BUILDING TO THE LOCATION SHOWN (4 DAYS).
5. INSTALL NEW ADA PARKING SPACES AND NEW WALKWAY TO THE EXISTING DINER THEATER (3 DAYS).
6. BEGIN PHASE 1 BUILDING CONSTRUCTION. USE FILTER BAGS TO DENATEL EXCAVATION PIT AS NECESSARY (12 MONTHS).
5. INSTALL UTILITIES TO PHASE 1 BUILDING (2 WEEKS).
6. ONCE BUILDING IS BROUGHT UP TO GRADE, GRADE AREA SURROUNDING THE PHASE 1 BUILDING (2 WEEKS).
7. MAY PROCEED TO PHASE 2

NOTE: THE GREEN ROOF FOR THE PHASE 1 BUILDING WILL BE CONSTRUCTED DURING PHASE 2. INSPECTORS WILL BE ALLOWED ON THE ROOF DURING ALL PHASES.

PREPARED FOR & OWNER  
 TOBY'S GENERAL PARTNERSHIP  
 10709 VISTA ROAD  
 COLUMBIA, MARYLAND 21044-4223  
 ATTN: SCOTT ARMIGER  
 410-964-2334

PROFESSIONAL CERTIFICATION

I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 12975  
 EXPIRATION DATE: MAY 26, 2024



SEDIMENT CONTROL PLAN - PHASE I

**THE NEW CULTURAL CENTER  
 DOWNTOWN COLUMBIA  
 CRESCENT NEIGHBORHOOD, PHASE 2, PARCELS S - GREEN BLDG.**

ELECTION DISTRICT No. 5 A RESUBDIVISION OF LOT 1 (PLAT No. 15 Pg. 48) AND PARCELS G, H, & R (PN: 24003) HOWARD COUNTY, MARYLAND

SCALE 1"=30'	ZONING NT	G. L. W. FILE No. 15107
DATE JUNE, 2023	TAX MAP - GRID 36 - 8	SHEET 6 OF 52

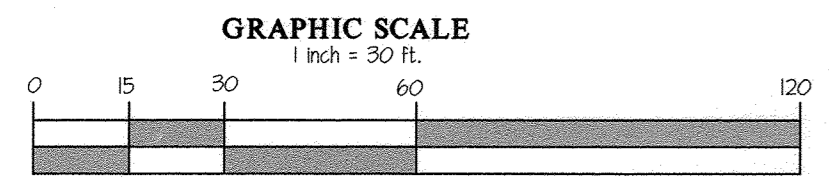
- LEGEND**
- SSF SUPER SILT FENCE
  - SCE STABILIZED CONSTRUCTION ENTRANCE
  - ..... LIMIT OF DISTURBANCE
  - FP 100 YEAR FLOODPLAIN
  - Soil Boundary SOIL TYPE
  - AGIP/PIP INLET PROTECTION
  - Proposed Temporary Stockpile Area
  - HIGHLY ERODIBLE SOIL  
Highly erodible soils are those soils with a slope greater than 15 percent or those soils with a soil erodibility factor K greater than 0.35 and with a slope greater than 5 percent

- NOTES:**
- INITIALLY STOCKPILING WILL OCCUR WITHIN THE BUILDING FOOTPRINT. STOCKPILE WILL BE RELOCATED AS BUILDING CONSTRUCTION PROGRESSES. ANY STOCKPILING MUST BE WITHIN THE LIMITS OF THE PERIMETER SEDIMENT CONTROLS.
  - WHEN SUPER SILT FENCE IS RUNNING AT A SLOPE GREATER THAN 5% FOR A DISTANCE OVER 50', CURL FENCE UP 2" FOR EVERY 2' OF ELEVATION CHANGE ALONG SILT FENCE.
  - SEDIMENT CONTROL INSPECTOR MAY RELOCATE STABILIZED CONSTRUCTION ENTRANCES.
  - SEE DETAIL B-4-B FOR STOCKPILE BENCHING REQUIREMENTS.
- STANDARD STABILIZATION NOTE:**
- FOLLOWING INITIAL SOIL DISTURBANCE OR RE-DISTURBANCE, PERMANENT OR TEMPORARY STABILIZATION MUST BE COMPLETED WITHIN:
- A) THREE (3) CALENDAR DAYS AS TO THE SURFACE OF ALL PERIMETER DIKES, SHALES, DITCHES, PERIMETER FENCES, AND ALL SLOPES STEEPER THAN 3 HORIZONTAL TO 1 VERTICAL (3:1), AND
- B) SEVEN (7) CALENDAR DAYS AS TO ALL OTHER DISTURBED OR GRADED AREAS ON THE PROJECT SITE NOT UNDER ACTIVE GRADING.

**SOILS (on site)**

Map Unit	Map Unit Name	Type	K Factor
BaA	Baile silt loam, 0 to 3 percent slopes	D	0.32
UB	Urban land-urban/therms complex, 0 to 8 percent slopes	D	0.28

HOWARD COUNTY SOIL MAP NUMBER: 18 - SAVAGE NN



THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD COUNTY SOIL CONSERVATION DISTRICT.

*Alexander Bantini* 08/09/23  
HOWARD COUNTY SOIL CONSERVATION DISTRICT DATE

**DEVELOPER'S/BUILDER'S CERTIFICATE**

"I/WE CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A MARYLAND DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HSCD."

*ASB* 6/29/2023  
SIGNATURE OF DEVELOPER/BUILDER DATE

**ENGINEER'S CERTIFICATE**

"I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD COUNTY SOIL CONSERVATION DISTRICT."

*CKY* 4/26/23  
ENGINEER'S SIGNATURE DATE

**APPROVED PLANNING BOARD OF HOWARD COUNTY**

Date: MARCH 1, 2018

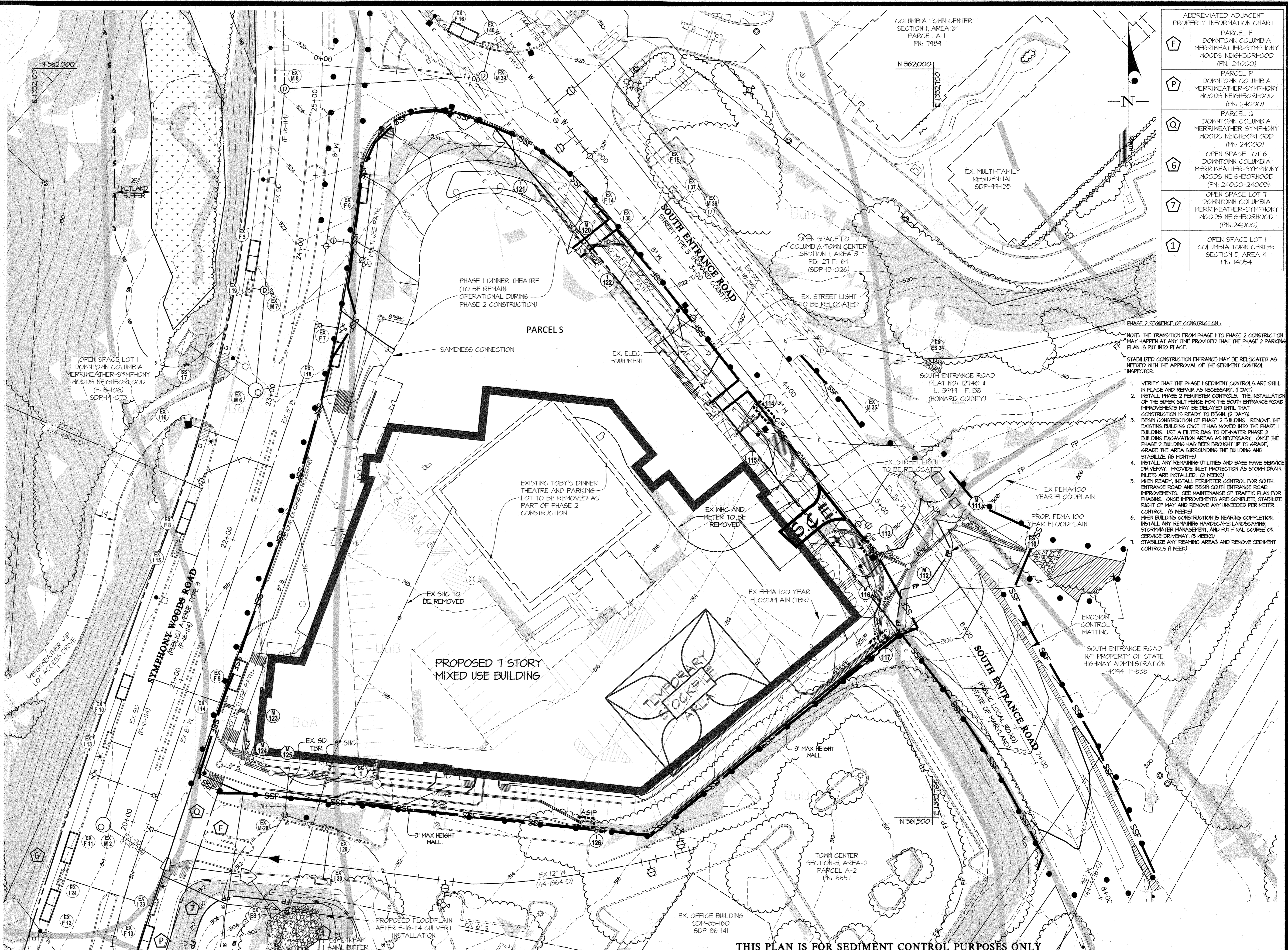
APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

*Dymdelewsby* 11/20/23  
Director Date

*Chief, Division of Land Development* 11/23/23 Date

*Chief, Development Engineering Division* 8/21/23 Date

DATE	REVISION	BY	APPR.



**ABBREVIATED ADJACENT PROPERTY INFORMATION CHART**

F	PARCEL F DOWNTOWN COLUMBIA MERRIWEATHER-SYMPHONY WOODS NEIGHBORHOOD (PN: 24000)
P	PARCEL P DOWNTOWN COLUMBIA MERRIWEATHER-SYMPHONY WOODS NEIGHBORHOOD (PN: 24000)
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1	PARCEL 1 DOWNTOWN COLUMBIA MERRIWEATHER-SYMPHONY WOODS NEIGHBORHOOD (PN: 14054)

**GLWGUTSCHICK LITTLE & WEBER, P.A.**  
CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS  
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**PREPARED FOR & OWNER**

TOBY'S GENERAL PARTNERSHIP  
10709 VISTA ROAD  
COLUMBIA, MARYLAND 21044-4223  
ATTN: SCOTT ARMIGER  
410-964-2334

**PROFESSIONAL CERTIFICATION**

I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 12975  
EXPIRATION DATE: MAY 26, 2024

*CKY* 6/26/23  
ENGINEER'S SIGNATURE DATE

**SEDIMENT CONTROL PLAN - PHASE 2**

**THE NEW CULTURAL CENTER**  
DOWNTOWN COLUMBIA  
CRESCENT NEIGHBORHOOD, PHASE 2, PARCELS S - GREEN BLDG.  
PN: 24000-24003  
ELECTION DISTRICT No. 5 A RESUBDIVISION OF LOT 1 (PLAT No. 15 Pg. 48) AND PARCELS G, H, & R (PN: 24003) HOWARD COUNTY, MARYLAND

SCALE	ZONING	G. L. W. FILE No.
1"=30'	NT	15107
DATE	TAX MAP - GRID	SHEET
JUNE, 2023	36 - 8	7 OF 52





ABBREVIATED ADJACENT PROPERTY INFORMATION CHART	
F	PARCEL F DOWNTOWN COLUMBIA MERRIMEATHER-SYMPHONY WOODS NEIGHBORHOOD (PN: 24000)
P	PARCEL P DOWNTOWN COLUMBIA MERRIMEATHER-SYMPHONY WOODS NEIGHBORHOOD (PN: 24000)
Q	PARCEL Q DOWNTOWN COLUMBIA MERRIMEATHER-SYMPHONY WOODS NEIGHBORHOOD (PN: 24000)
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7	OPEN SPACE LOT 7 DOWNTOWN COLUMBIA MERRIMEATHER-SYMPHONY WOODS NEIGHBORHOOD (PN: 24000)
1	OPEN SPACE LOT 1 COLUMBIA TOWN CENTER SECTION 5, AREA 4 PN: 14054

**PHASE I PARKING SPACE DATA**  
(PARKING REQUIRED FOR THE EXISTING BUILDING WHILE PHASE I OF THE PROPOSED BUILDING IS UNDER CONSTRUCTION)

REQUIRED PARKING (PER SDP-80-165C): 91 SPACES  
PHASE I TOTAL PARKING AVAILABLE: 136 SPACES (SEE NOTE 4)  
EXISTING ADA SPACES: 4 SPACES  
PHASE I ADA SPACES PROVIDED: 4 SPACES  
(NOTE: 14 SPACES FROM THE EXISTING LOT WILL BE REMOVED FOR PHASE I CONSTRUCTION)

**PHASE 2 PARKING SPACE DATA**  
(DURING PHASE 2 CONSTRUCTION, ONLY THE DINNER THEATRE WILL BE OPERATIONAL WITHIN THE PHASE I BUILDING. THE EXISTING DINNER THEATRE WILL BE DEMOLISHED. THE TOTAL PARKING REQUIREMENT FOR THIS PHASE, 131 SPACES, IS TAKEN FROM THE TOTAL PARKING REQUIREMENT FROM TOBY'S THEATRE (TABLE 10, PAGE 78 OF THE NEW CULTURAL CENTER SDP TRAFFIC IMPACT STUDY BY WELLS AND ASSOCIATES, DATED MARCH 10, 2017).

TOTAL REQUIRED PARKING: 131 SPACES  
REQUIRED ADA SPACES: 5 SPACES

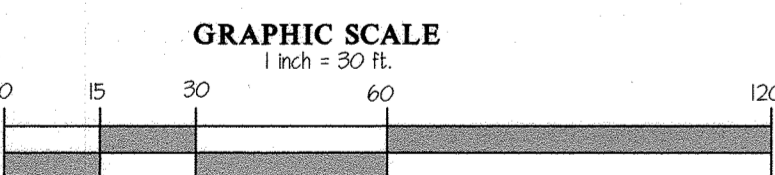
TOTAL PARKING PROVIDED: 131 SPACES  
PHASE 2 ADA SPACES PROVIDED: 5 SPACES

NOTE: ALL PHASE 2 PARKING SPACES WILL BE LOCATED OFF SITE.

**LEGEND**

- CONCRETE WALKWAY PER R-3.05
- NUMBER OF PARKING SPACES
- HANDICAPPED PARKING DESIGNATION
- PHASE I LIMIT OF DISTURBANCE
- PHASE I CONSTRUCTION AREA

- NOTES:**
- ANY WORK DONE OUTSIDE OF THE CONSTRUCTION AREA HAS TO BE COORDINATED WITH THE EXISTING DINNER THEATRE SO THAT ALL OF THE 91 REQUIRED PARKING SPACES (INCLUDING 4 ADA SPACES) AND EGRESS PATHS ARE AVAILABLE DURING PERFORMANCES.
  - AT LEAST 4 ADA SPACES SHALL BE AVAILABLE ON SITE FOR ANY PERFORMANCE.
  - THERE ARE SEVERAL EXISTING DRY UTILITIES ALONG SOUTH ENTRANCE ROAD AND SYMPHONY WOODS ROAD. ANY EXISTING UTILITY WITHIN THE PROPOSED BUILDING AND STORMWATER AREAS IS TO BE RELOCATED.
  - THE AVAILABLE PARKING MAY BE REDUCED FOR CONSTRUCTION ACTIVITIES AND STOCKPILING PROVIDED THAT PARKING IS PROVIDED IN ACCORDANCE WITH NOTE 1.



**APPROVED**  
**PLANNING BOARD OF HOWARD COUNTY**

Date: MARCH 1, 2018

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

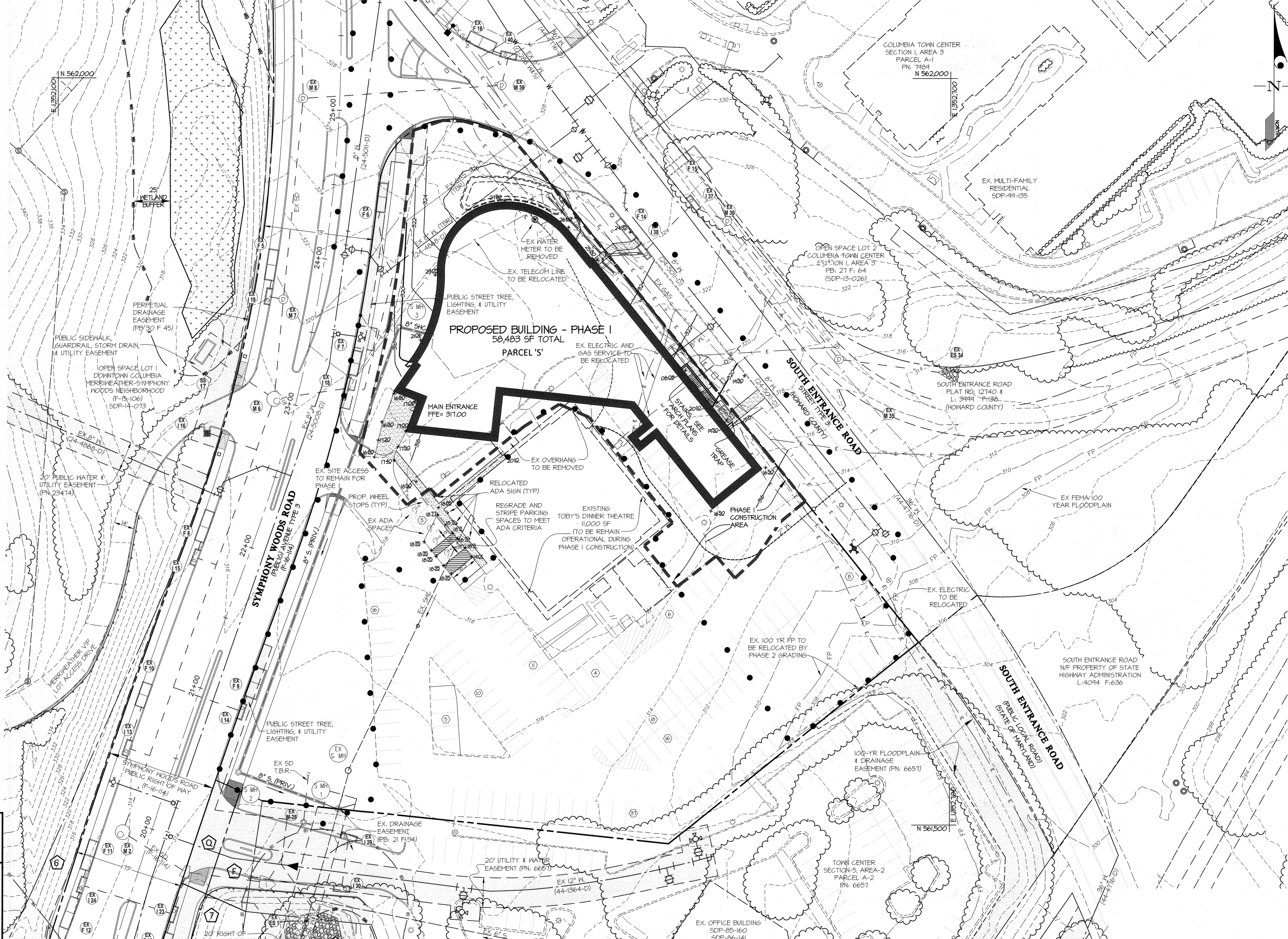
Director: Lynne E. Eschling Date: 11/20/23

Chief, Division of Land Development: [Signature] Date: 6/23/23

Chief, Development Engineering Division: [Signature] Date: 6/23/23

**GLWGUTSCHICK LITTLE & WEBER, P.A.**  
CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS  
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DATE	REVISION	BY	APP'R.



PREPARED FOR & OWNER  
TOBY'S GENERAL PARTNERSHIP  
10709 VISTA ROAD  
COLUMBIA, MARYLAND 21044-4223  
ATTN: SCOTT ARMIGER  
410-964-2334

**PROFESSIONAL CERTIFICATION**

I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 12875  
EXPIRATION DATE: MAY 26, 2027

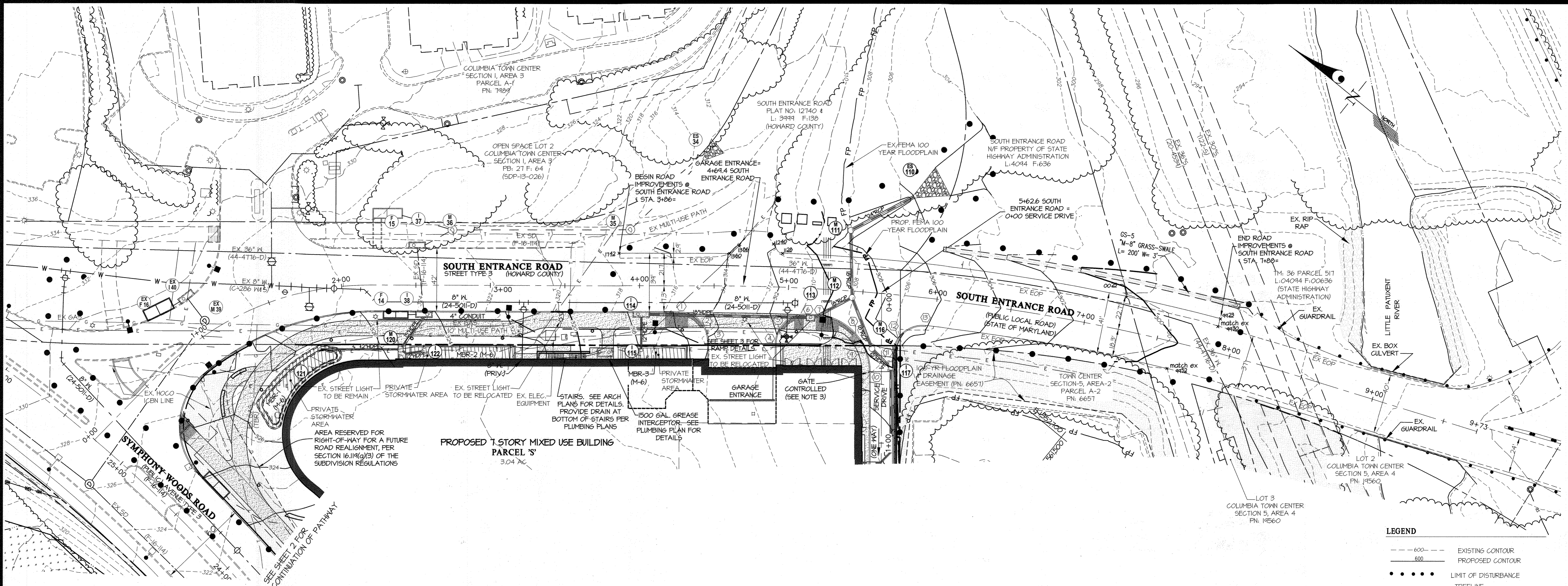


**PHASE I SITE PLAN**

**THE NEW CULTURAL CENTER**  
**DOWNTOWN COLUMBIA**  
**CRESCENT NEIGHBORHOOD, PHASE 2, PARCELS S - GREEN BLDG.**

PN: 04402-0403  
ELECTION DISTRICT No. 5 A RESUBDIVISION OF LOT 1 (PLAT No. 15 Pg. 48) AND PARCELS G, H, & R (PN: 24003) HOWARD COUNTY, MARYLAND

SCALE	ZONING	G. L. W. FILE No.
1"=30'	NT	15107
DATE	TAX MAP - GRID	SHEET
JUNE, 2023	36 - 8	9 OF 52

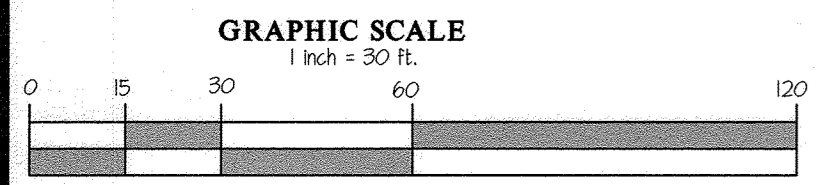


**STREET LIGHT LOCATIONS**

STREET	STATION	OFFSET	TYPE
SOUTH ENTRANCE	3+12*	2' RIGHT	MATCH EX
SOUTH ENTRANCE	4+10*	3' RIGHT	MATCH EX
SOUTH ENTRANCE	5+24	3' RIGHT	LED-150 COBRA FIXTURE MOUNTED AT 30' ON A BRONZE FIBERGLASS POLE USING A 12' ARM

STREET LIGHT NOTES:  
1. \*RELOCATED LIGHT

- NOTES:**
- ALL SOUTH ENTRANCE ROAD WIDENING A MINIMUM OF 4 FEET PER R-1.08
  - THE SOUTH ENTRANCE ROAD IMPROVEMENTS ARE PART OF THE PHASE 2 CONSTRUCTION.
  - SERVICE DRIVE ENTRANCE TO BE CONTROLLED BY ACCESS GATE. GATE REMAIN CLOSED AT ALL TIMES EXCEPT TO ALLOW ACCESS FOR BUSES, EMERGENCY VEHICLES AND DELIVERY VEHICLES.
  - ADJUST ALL EXISTING SIGN POLES TO NEW ELEVATIONS. SEE SIGNING AND STRIPING PLAN.



**CURB FLOW LINE ELEVATION TABLE**

PT. #	ROAD NAME	STATION	OFFSET	ELEV.*
(1) PC	SOUTH ENTRANCE ROAD	4+26.42	11.3' R	315.38
(2) --	SOUTH ENTRANCE ROAD	4+44.11	21.96' R	314.53
(3) PT	SOUTH ENTRANCE ROAD	4+46.42	37.25' R	313.71
(4) PC	SOUTH ENTRANCE ROAD	4+42.41	38.14' R	312.20
(5) --	SOUTH ENTRANCE ROAD	4+44.94	21.9' R	311.84
(6) PT	SOUTH ENTRANCE ROAD	5+13.04	11.3' R	310.66
(7) PC	SOUTH ENTRANCE ROAD	5+20.02	11.3' R	310.28
(8) --	SOUTH ENTRANCE ROAD	5+41.21	21.91' R	309.46
(9) --	SOUTH ENTRANCE ROAD	5+55.92	34.61' R	309.43
(10) PT	SOUTH ENTRANCE ROAD	5+54.54	52.65' R	310.64
(11) PC	SOUTH ENTRANCE ROAD	5+73.94	40.37' R	309.34
(12) --	SOUTH ENTRANCE ROAD	5+76.93	21.91' R	307.90
(13) PT	SOUTH ENTRANCE ROAD	5+44.50	18.3' R	306.08

\* SEE RAMP DETAILS SHEET 3 FOR ADDITIONAL SPOT SHOTS

**LEGEND**

- 600 --- EXISTING CONTOUR
- 800 --- PROPOSED CONTOUR
- LIMIT OF DISTURBANCE
- TREELINE
- FP --- EX 100 YEAR FLOODPLAIN
- FP --- PROP 100 YEAR FLOODPLAIN
- [ ] EXISTING BUILDING
- [ ] PROPOSED BUILDING
- [ ] PROP. STORM DRAIN
- [ ] EXISTING STORM DRAIN
- [ ] EX. 8" W. EXISTING PUBLIC WATER
- [ ] EASEMENTS
- PROPERTY LINE
- EX. CURB AND GUTTER
- EX. EDGE OF PAVEMENT
- PROPOSED CURB & GUTTER
- PROPOSED EDGE OF PAVEMENT
- [ ] STREET LIGHT. SEE TABLE THIS SHEET FOR LOCATIONS AND TYPES.
- [ ] STREET LIGHTS PER F-16-114

**APPROVED**  
**PLANNING BOARD OF HOWARD COUNTY**  
 Date: MARCH 1, 2018

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING  
 Director: [Signature] Date: 1/12/23  
 Chief, Division of Land Development: [Signature] Date: 10/23/23  
 Chief, Development Engineering Division: [Signature] Date: 8-21-23

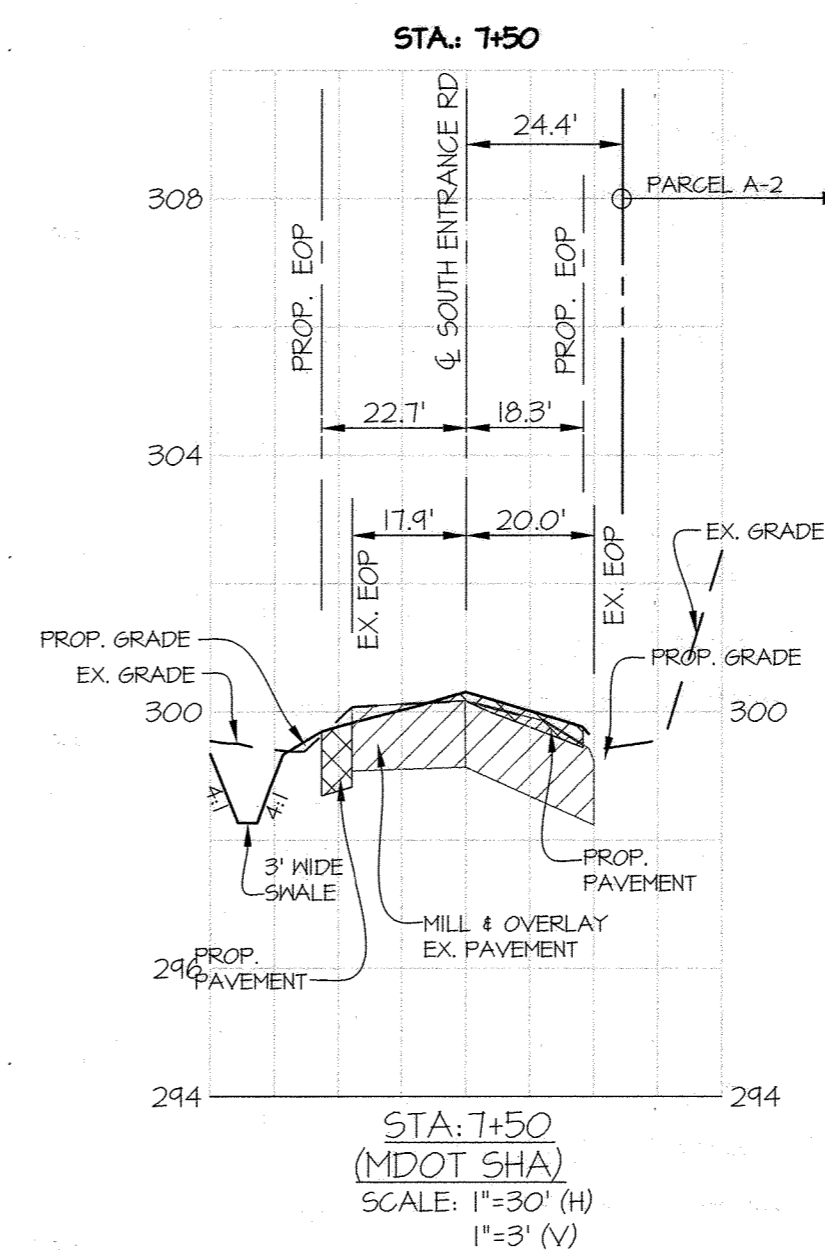
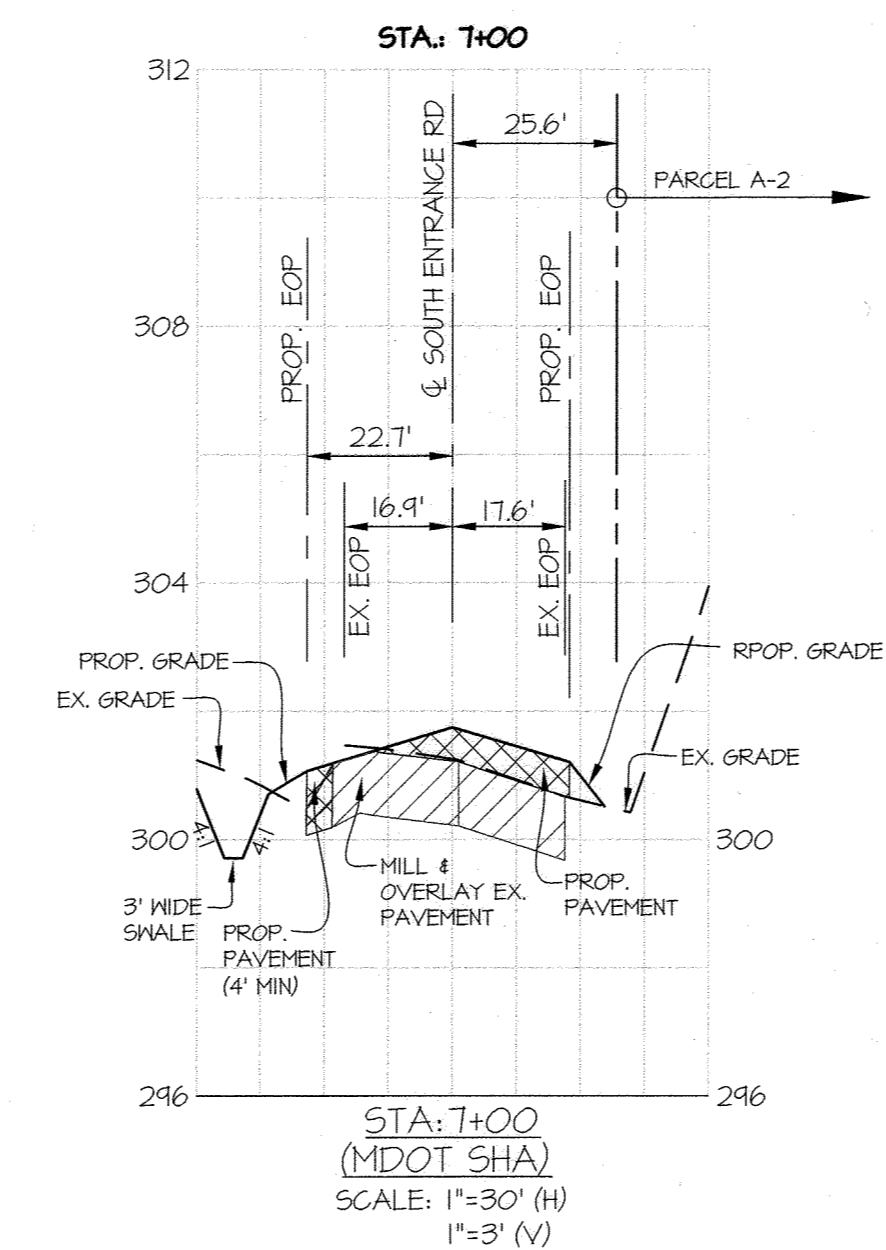
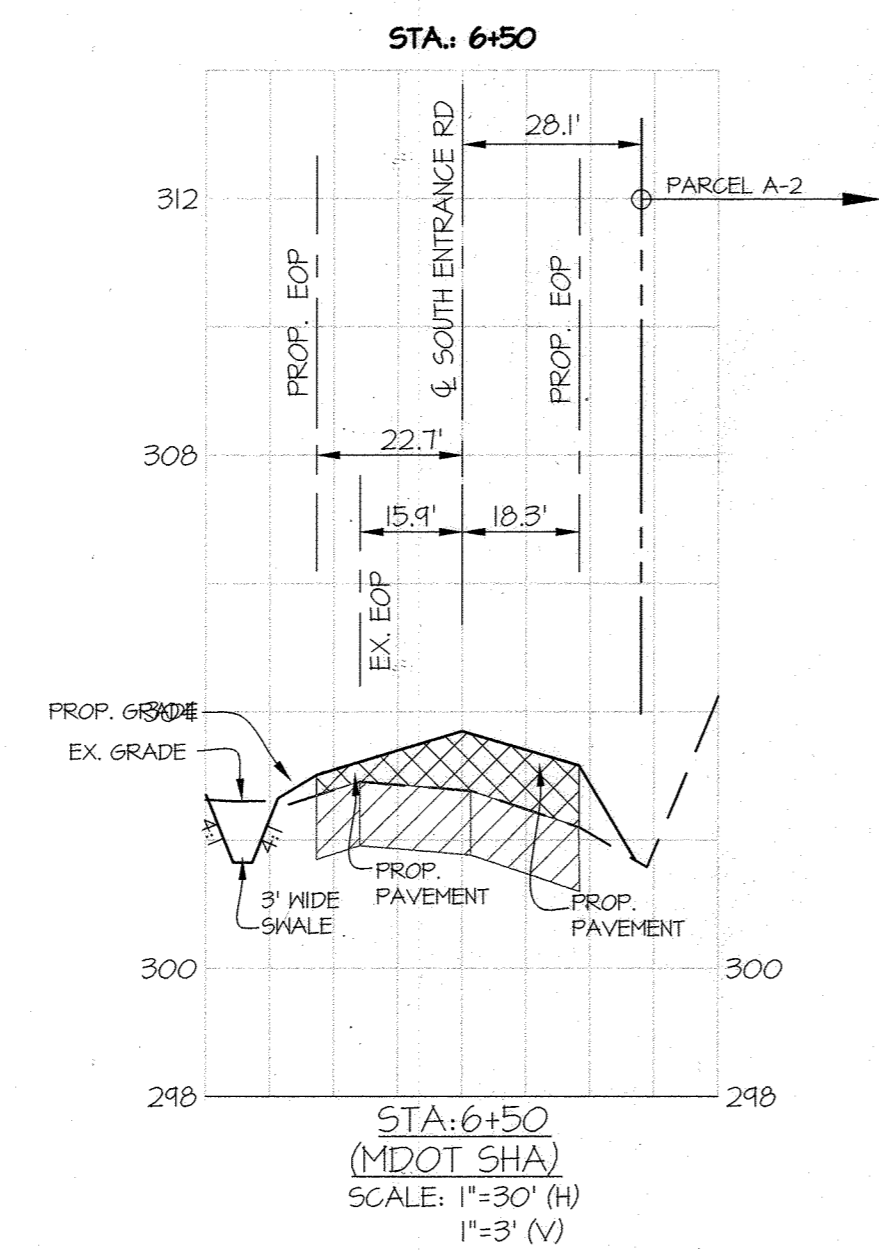
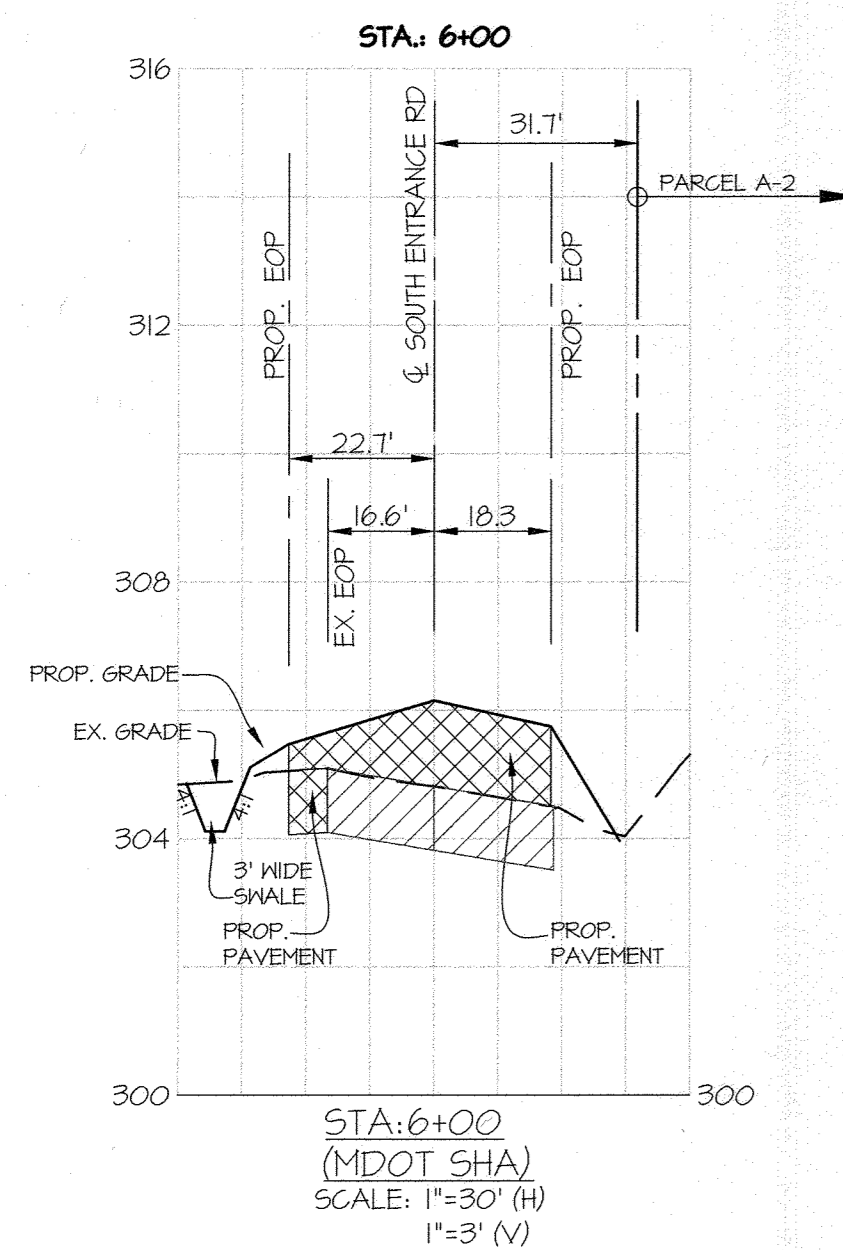
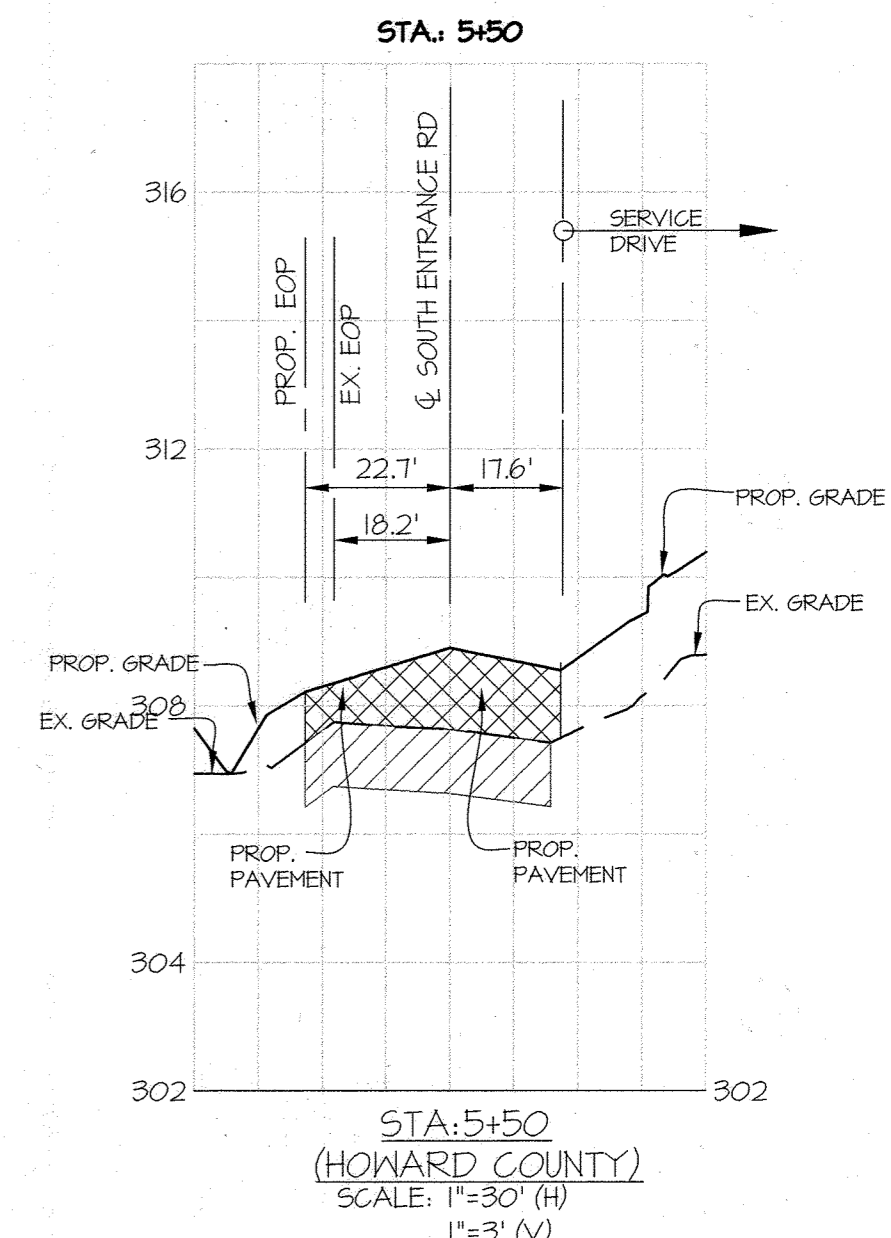
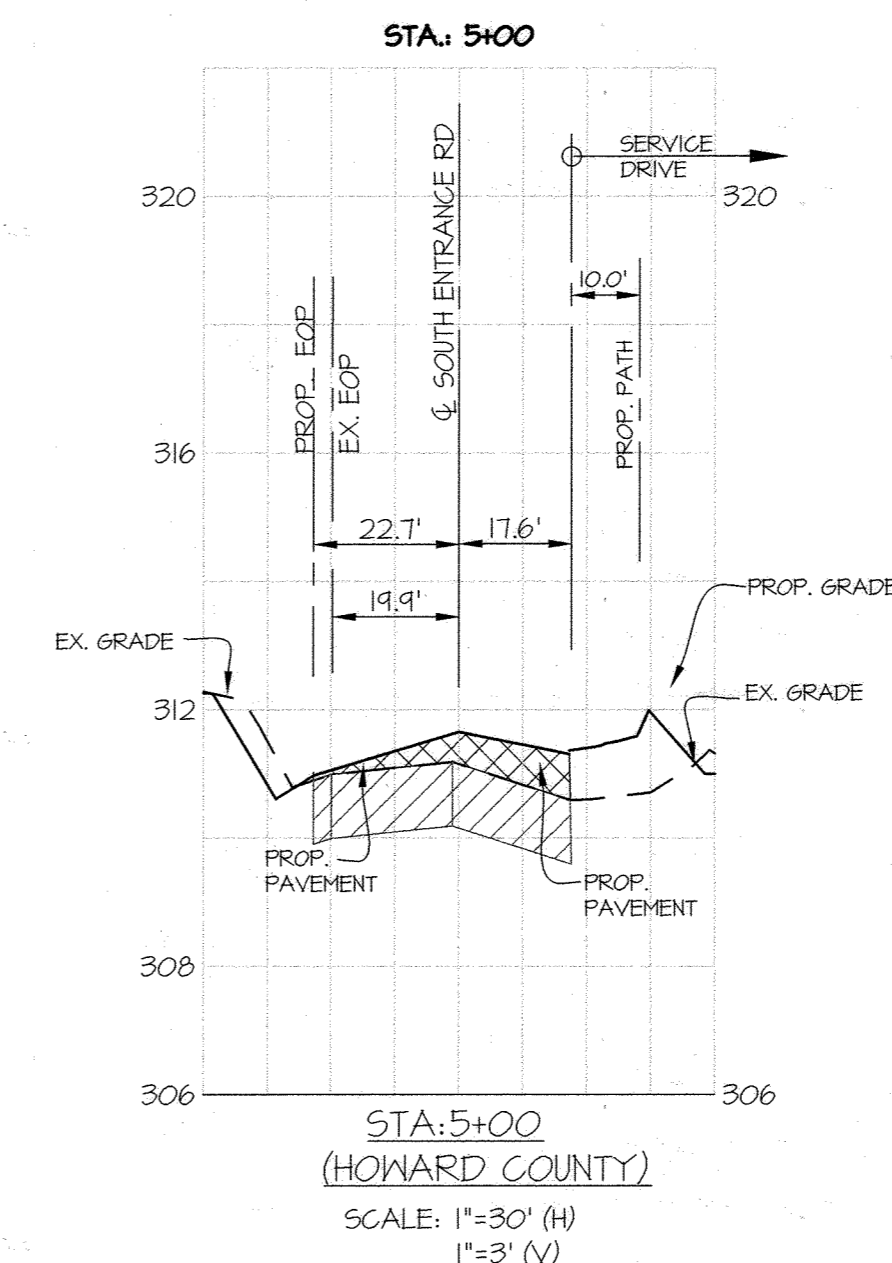
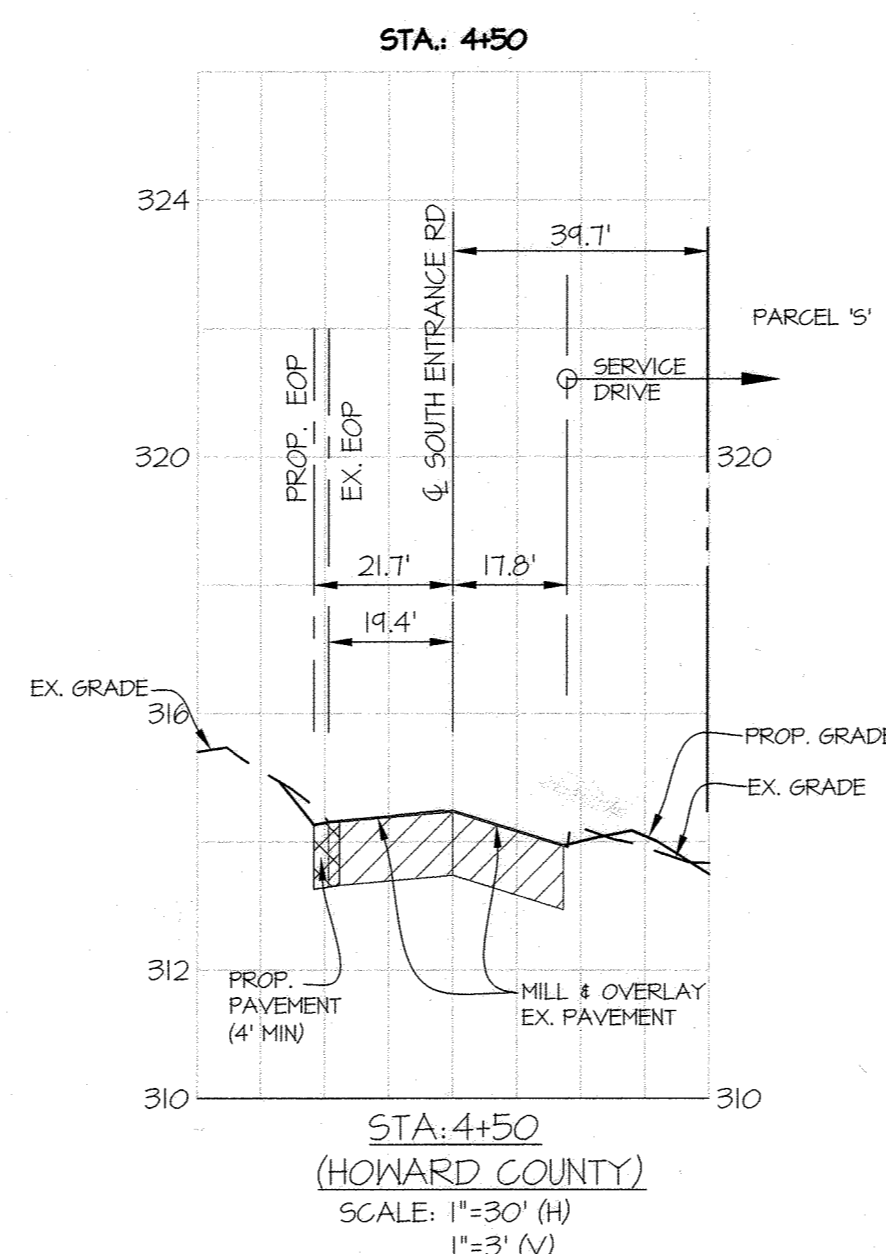
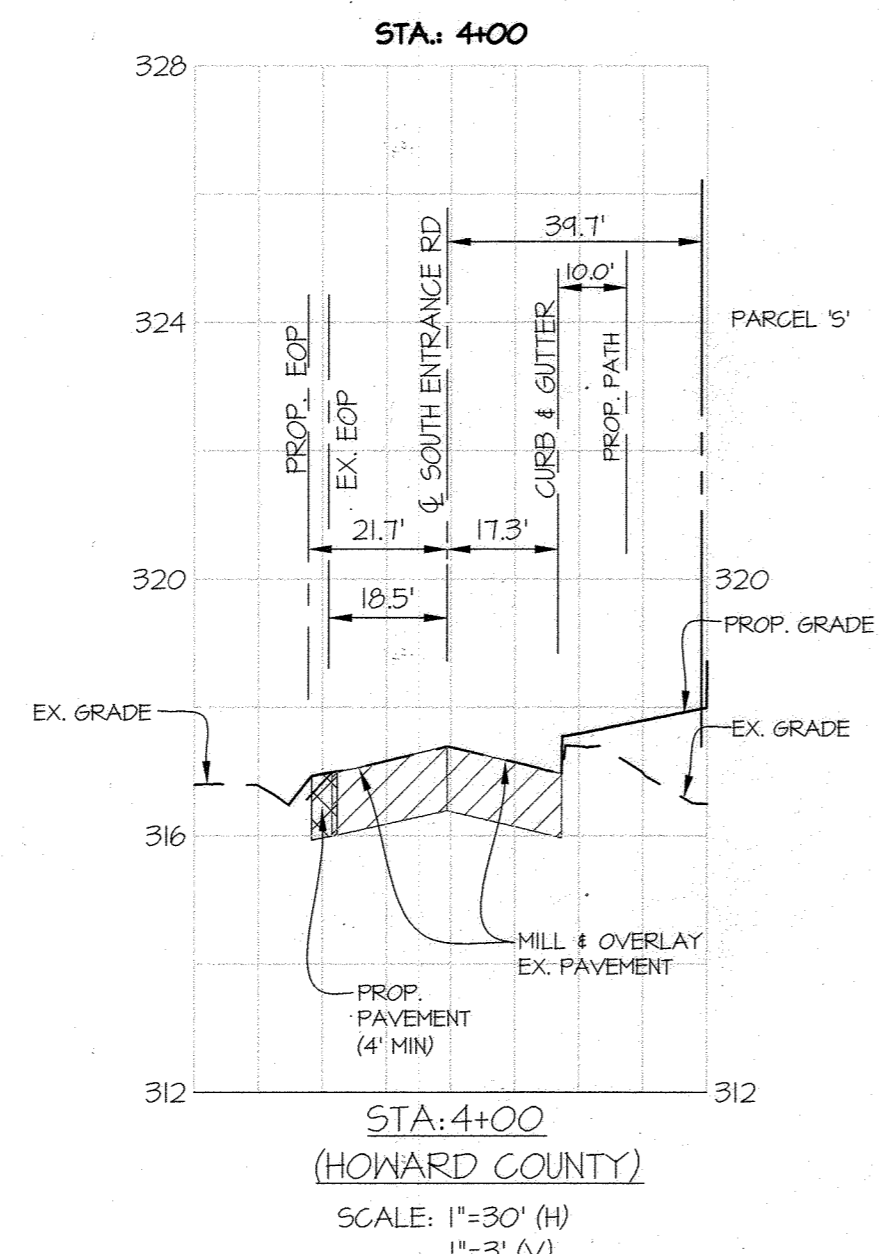
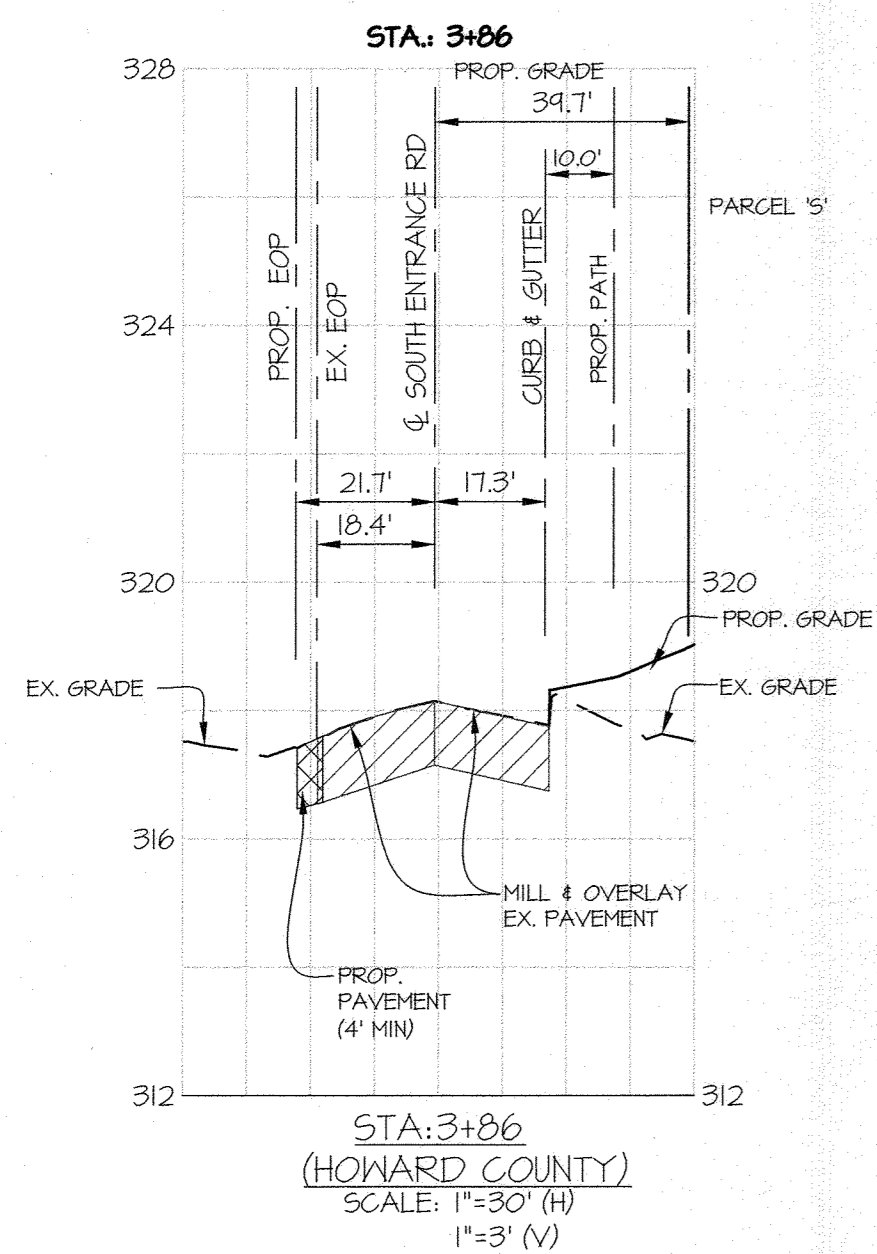
DES.	DRN.	CHK.	DATE	REVISION	BY	APP'R.

PREPARED FOR & OWNER  
 TOBY'S GENERAL PARTNERSHIP  
 10709 VISTA ROAD  
 COLUMBIA, MARYLAND 21044-4223  
 ATTN: SCOTT ARMIGER  
 410-964-2334

PROFESSIONAL CERTIFICATION  
 I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 12875  
 EXPIRATION DATE: MAY 28, 2027  
[Signature] 6/26/23

**SOUTH ENTRANCE ROAD IMPROVEMENTS PLAN**  
**THE NEW CULTURAL CENTER**  
**DOWNTOWN COLUMBIA**  
**CRESCENT NEIGHBORHOOD, PHASE 2, PARCELS S - GREEN BLDG.**  
 PN: 2018-2018  
 ELECTION DISTRICT No. 5 A RESUBDIVISION OF LOT 1 (PLAT No. 15 Pg. 48) AND PARCELS G, H, & R (PN: 24003) HOWARD COUNTY, MARYLAND

SCALE	ZONING	G. L. W. FILE No.
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APPROVED  
PLANNING BOARD OF HOWARD COUNTY

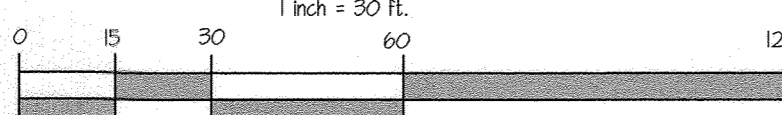
Date: MARCH 1, 2018

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

*Lynnda Eschery*  
Director Date: 11/20/23

*Chad Clark*  
Chief, Development Engineering Division Date: 8/21/23

GRAPHIC SCALE  
1 inch = 30 ft.



**GLWGUTSCHICK LITTLE & WEBER, P.A.**  
CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS  
3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK  
BURTONSVILLE, MARYLAND 20866  
TEL: 301-421-4024 BALT: 410-880-1820 DC/VA: 301-989-2524 FAX: 301-421-4186

PREPARED FOR & OWNER  
TOBY'S GENERAL PARTNERSHIP  
10709 VISTA ROAD  
COLUMBIA, MARYLAND 21044-4223  
ATTN: SCOTT ARMIGER  
410-964-2334

PROFESSIONAL CERTIFICATION

I HEREBY CERTIFY THAT THESE PLANS  
WERE PREPARED OR APPROVED BY  
ME, AND THAT I AM A DULY LICENSED  
PROFESSIONAL ENGINEER UNDER THE  
LAWS OF THE STATE OF MARYLAND,  
LICENSE NO. 12875  
EXPIRATION DATE: MAY 26, 2024



SOUTH ENTRANCE ROAD CROSS SECTIONS

**THE NEW CULTURAL CENTER**  
**DOWNTOWN COLUMBIA**  
**CRESCENT NEIGHBORHOOD, PHASE 2, PARCELS S - GREEN BLDG.**

ELECTION DISTRICT No. 5 A RESUBDIVISION OF LOT 1 (PLAT No. 15 Pg. 48) AND PARCELS G, H, & R (PN: 24003) HOWARD COUNTY, MARYLAND

SCALE	ZONING	G. L. W. FILE No.
AS SHOWN	NT	15107
DATE	TAX MAP - GRID	SHEET
JUNE, 2023	36 - 8	11 OF 52

**LEGEND**

- EX (F-16-114) 5MM DRAINAGE DIVIDE
- PROPOSED 5MM DRAINAGE DIVIDE
- GREEN ROOF (8" MEDIA)
- B-12 STORMWATER BORING

- NOTES:**
- ALL STORMWATER DEVICES WILL BE PRIVATELY OWNED AND MAINTAINED
  - SEE LANDSCAPE PLANS (SHEET 26 & 34) FOR ADDITIONAL GREEN ROOF INFORMATION

STORMWATER MANAGEMENT REQUIREMENTS	
STUDY AREA:	3.61 AC.
EX IMPERVIOUS AREA:	107,460 SF (SITE IS GREATER THAN 40% IMPERVIOUS, RE-DEVELOPMENT CRITERIA APPLIES)
PROPOSED IMPERVIOUS AREA:	131,042 SF
NET IMPERVIOUS:	429,632 SF
SITE IS 100% D SOILS. TARGET P <sub>e</sub> FOR NEW IMPERVIOUS IS 2.0'	
ESDV REQUIREMENT = 50% * 107,460 SF = 53,730 SF (1" TREATMENT) + 23,632 SF (2.0" TREATMENT) = 77,362 CF	
STORMWATER MANAGEMENT PROVIDED BY DEVICE	
MICRO-BIORETENTION (M-6):	2,207 CU-FT
GREEN ROOF (A-1):	1,164 CU-FT
GRASS SWALE (M-8):	1,123 CU-FT
STORMCEPTOR:	3,662 CU-FT (max)
<b>TOTAL:</b>	<b>8,161 CU-FT</b>

ESD SUMMARY TABLE					
AREA NO.	AREA (SF)	IMPERVIOUS	ESDV (CF)	P <sub>e</sub>	PROVIDED
DA 1	10,504	95%	1,438	1.82	
DA 2	7,875	95%	740	1.25	
DA 3	3,915	95%	407	1.38	
DA 4 - GR	5,904	100%	791	1.69	
DA 4 - SC	69,819	100%	3,662 (max)	1.00	
DA 5	24,728	55%	1,123	1.00	
<b>TOTAL</b>	<b>122,745</b>	<b>88%</b>	<b>8,161</b>	<b>---</b>	<b>---</b>

NOTE: ALL SOILS ON SITE ARE TYPE 'D'

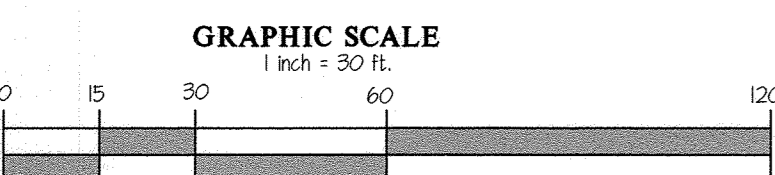
**OPERATION AND MAINTENANCE SCHEDULE FOR PRIVATELY OWNED AND MAINTAINED GREEN ROOF (A-1)**

THE OWNER SHALL IMPLEMENT THE FOLLOWING OPERATION AND MAINTENANCE SCHEDULE TO THE FUNCTION OF THE GREEN ROOF SYSTEM IN ACCORDANCE WITH THE RECOMMENDATIONS OF THE "GREEN ROOF SYSTEM DISTRIBUTOR"

- KEEP - ON AN ANNUAL BASIS REMOVE UNWANTED PLANT MATERIAL.
- REPLACE - REPLACE FAILED PLANT MATERIAL WHEN THE FAILED PLANT AREA EXCEEDS FIVE PERCENT (5%) OF THE ROOF AREA.
- IRRIGATE - A NEWLY INSTALLED ROOF SHOULD BE IRRIGATED DURING THE FIRST GROWING SEASON. SATURATE THE GREEN ROOF AT LEAST ONCE A WEEK DURING THIS FIRST GROWING SEASON. AFTER VEGETATION IS ESTABLISHED, IRRIGATION MAY BE REQUIRED PERIODICALLY DURING DRY PERIODS.
- NUTRIENT - THE APPLICATION OF A SLOW-RELEASE FERTILIZER IN THE SPRING IS RECOMMENDED ON AN ANNUAL BASIS.
- INSPECT FOR DRAINAGE - AFTER EACH SIGNIFICANT RAINFALL INSPECT DOWNGROUTS OR DRAINAGE CHANNELS/COURSES FOR CLOGS.
- INSPECT FOR LEAKS - AFTER EACH SIGNIFICANT RAINFALL INSPECT THE GREEN ROOF FOR LEAKS.

SOILS (on site)				
Map Unit	Map Unit Name	Type	K Factor	
BaA	Baile silt loam, 0 to 3 percent slopes	D	0.32	
WB	Urban land-urban/therms complex, 0 to 8 percent slopes	D	0.28	

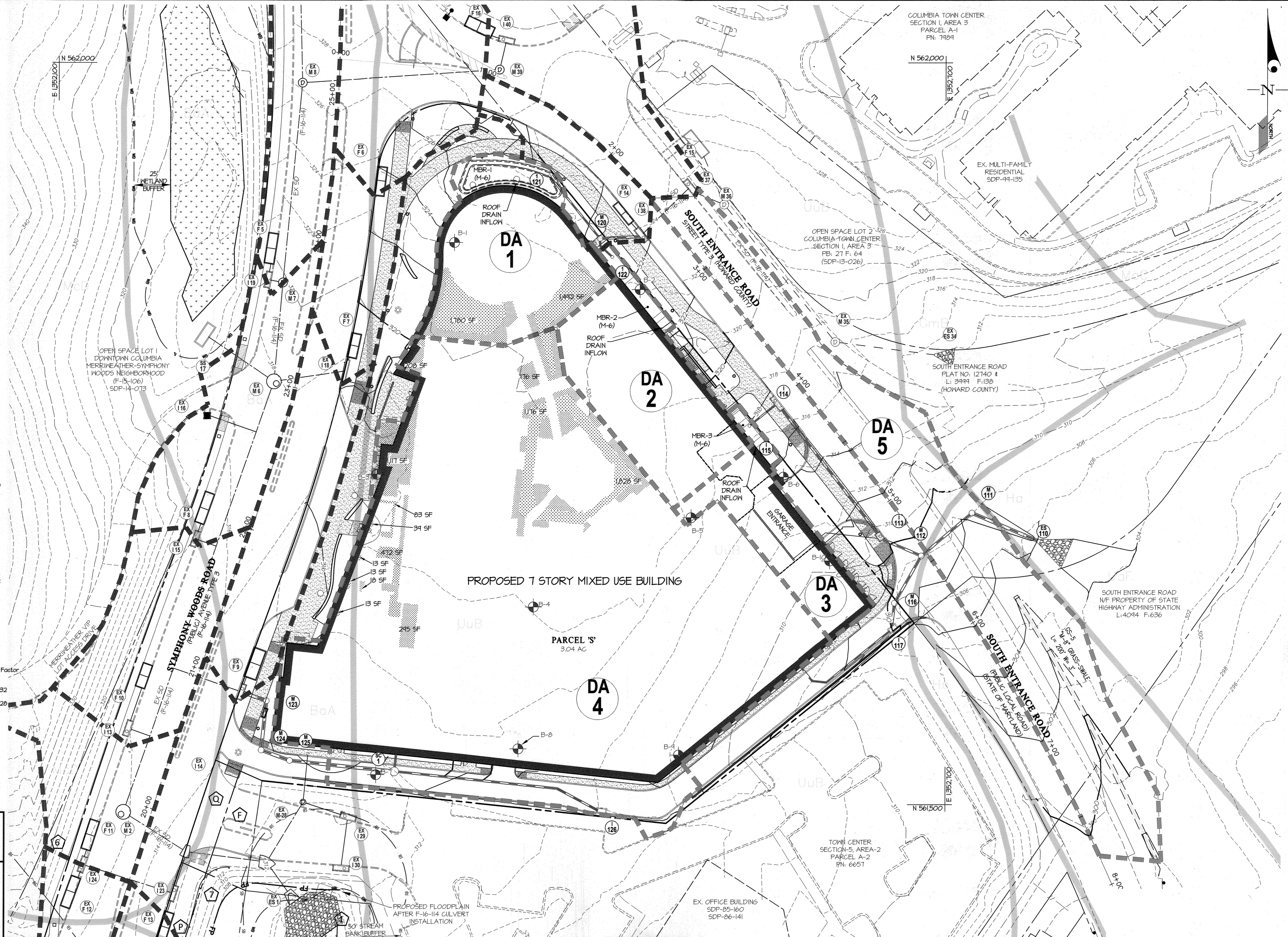
HOWARD COUNTY SOIL MAP NUMBER: 10 - SAVAGE NW



**APPROVED**  
**PLANNING BOARD OF HOWARD COUNTY**  
 Date: MARCH 1, 2018

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING  
 Director: Andre Ewary Date: 3/1/2018  
 Chief, Division of Land Development: GM Date: 3/23/18  
 Chief, Development Engineering Division: WJ Date: 3/21/18

**GLWGUTSCHICK LITTLE & WEBER, P.A.**  
 CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS  
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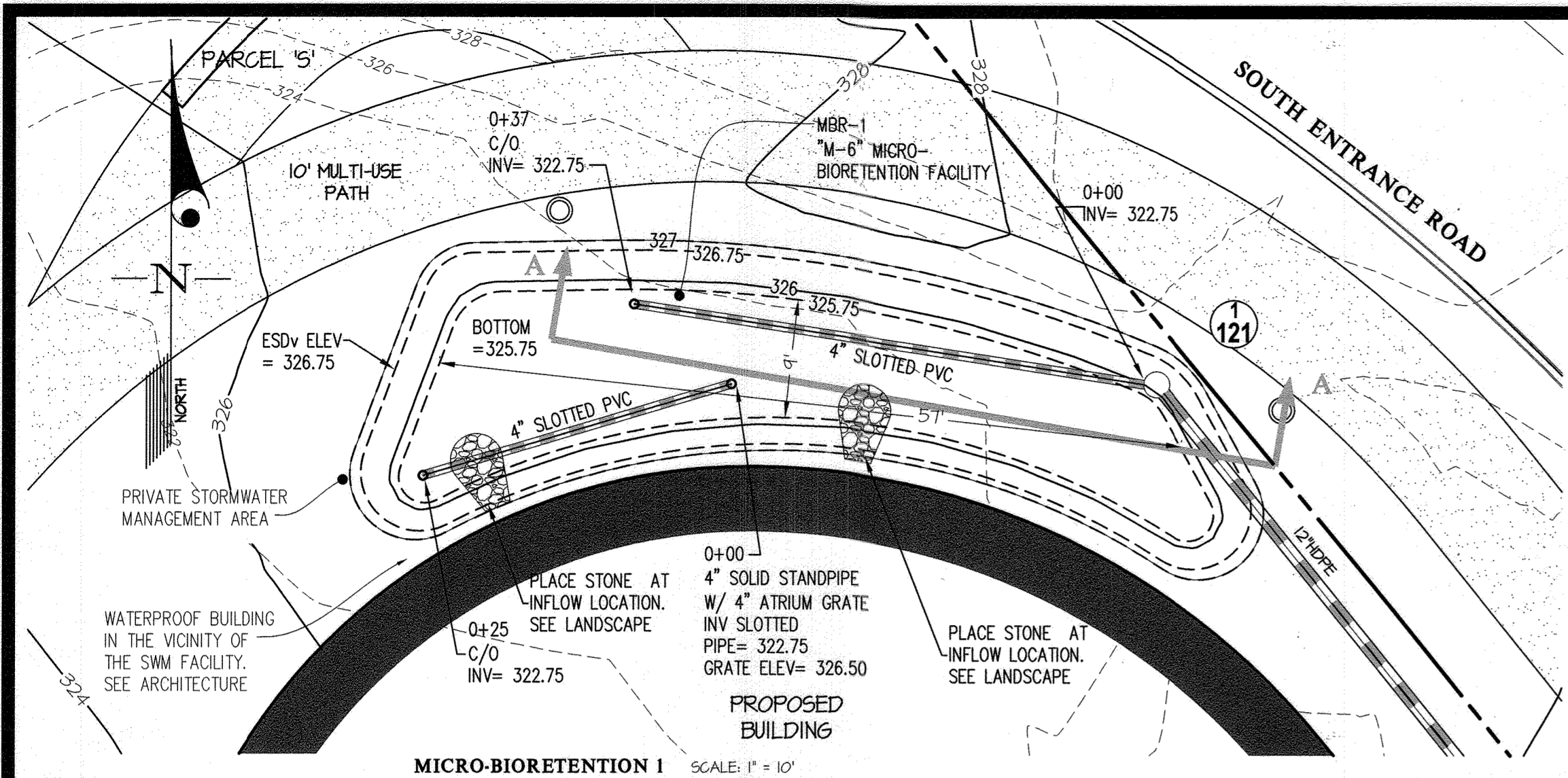
DATE	REVISION	BY	APPR.

PREPARED FOR & OWNER  
 TOBY'S GENERAL PARTNERSHIP  
 10709 VISTA ROAD  
 COLUMBIA, MARYLAND 21044-4223  
 ATTN: SCOTT ARMIGER  
 410-964-2334

PROFESSIONAL CERTIFICATION  
 I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 12975  
 EXPIRATION DATE: MAY 26, 2024  
6/20/23

**STORMWATER MANAGEMENT DRAINAGE AREA MAP**  
**THE NEW CULTURAL CENTER**  
**DOWNTOWN COLUMBIA**  
**CRESCENT NEIGHBORHOOD, PHASE 2, PARCELS S - GREEN BLDG.**  
 PN: 2018-24703  
 ELECTION DISTRICT No. 5 A RESUBDIVISION OF LOT 1 (PLAT No. 15 Pg. 48) AND PARCELS G, H, & R (PN: 24003) HOWARD COUNTY, MARYLAND

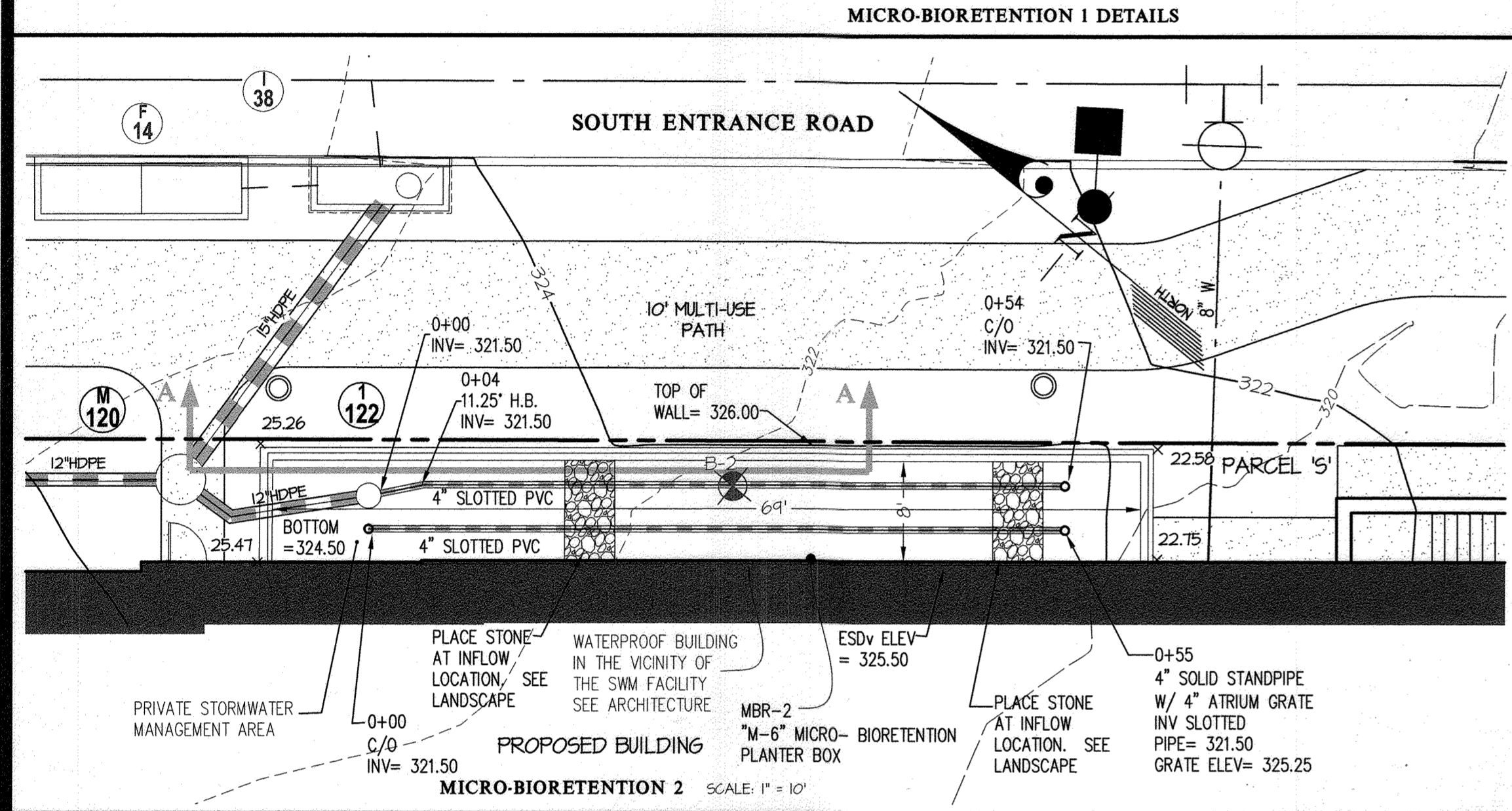
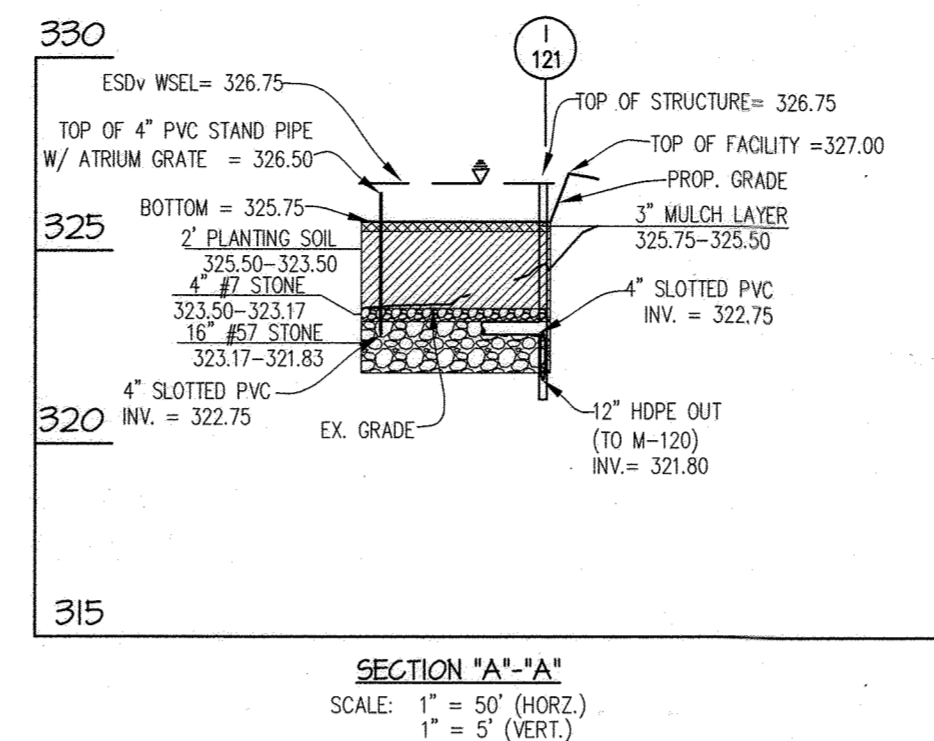
SCALE	ZONING	G. L. W. FILE NO.
1"=30'	NT	15107
DATE	TAX MAP - GRID	SHEET
JUNE, 2023	36 - 8	12 OF 52



**MBR-1**  
TYPE (PER MDE): MICRO BIORETENTION SYSTEM (M6)  
NON - MDE 310 FACILITY  
TOTAL DRAINAGE AREA TO FACILITY = 10,504 SF  
STORAGE PROVIDED = 745 CU-FT (8326.75)  
ESDV PROVIDED = 1060 CU-FT

LOW-FLOW OUTFALL: PERFORATED 4" UNDERDRAIN SYSTEM  
BOTTOM OF FACILITY = 325.75  
HIGH-FLOW OUTFALL: 1-121 (8" INLET, TOP = 326.75)

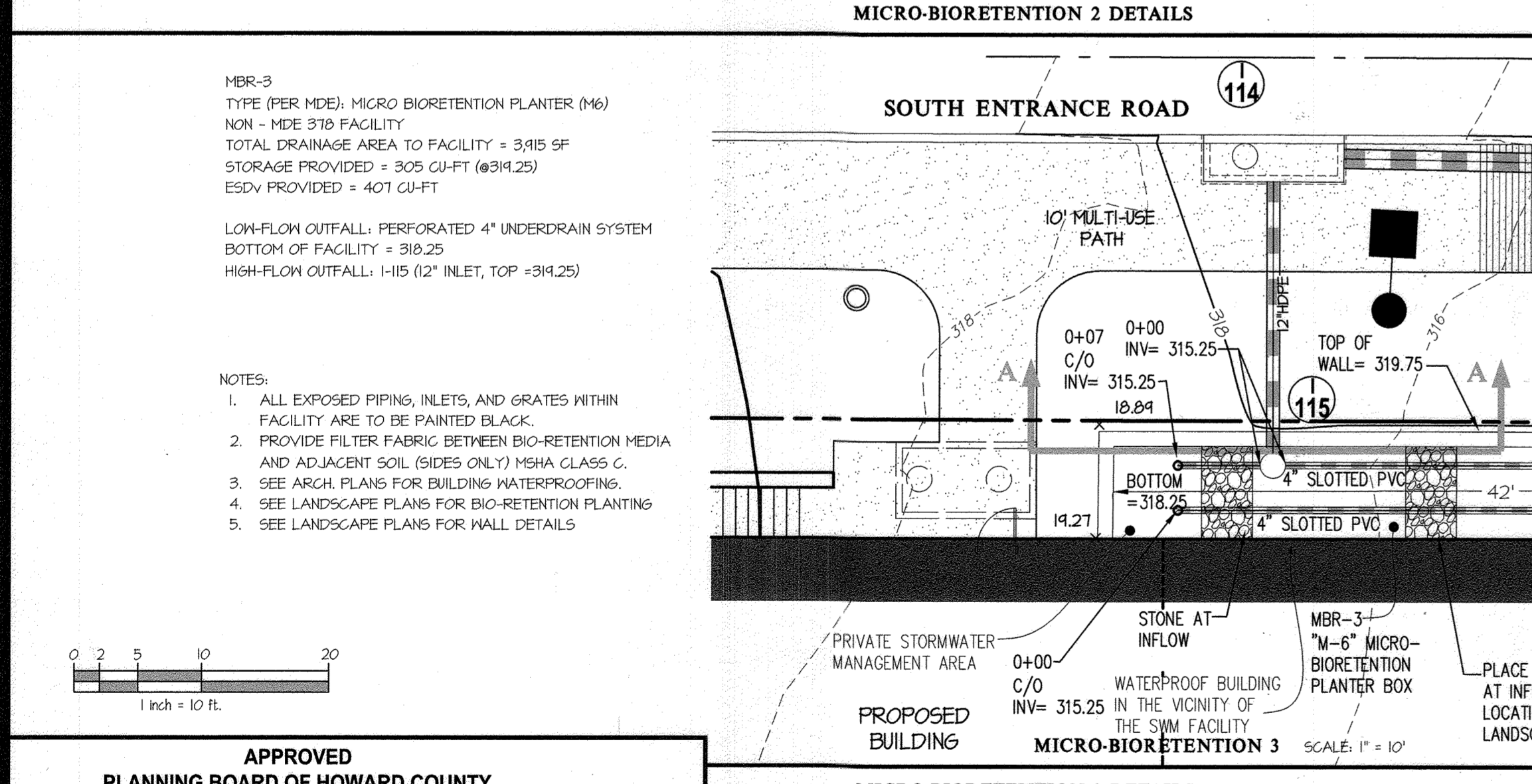
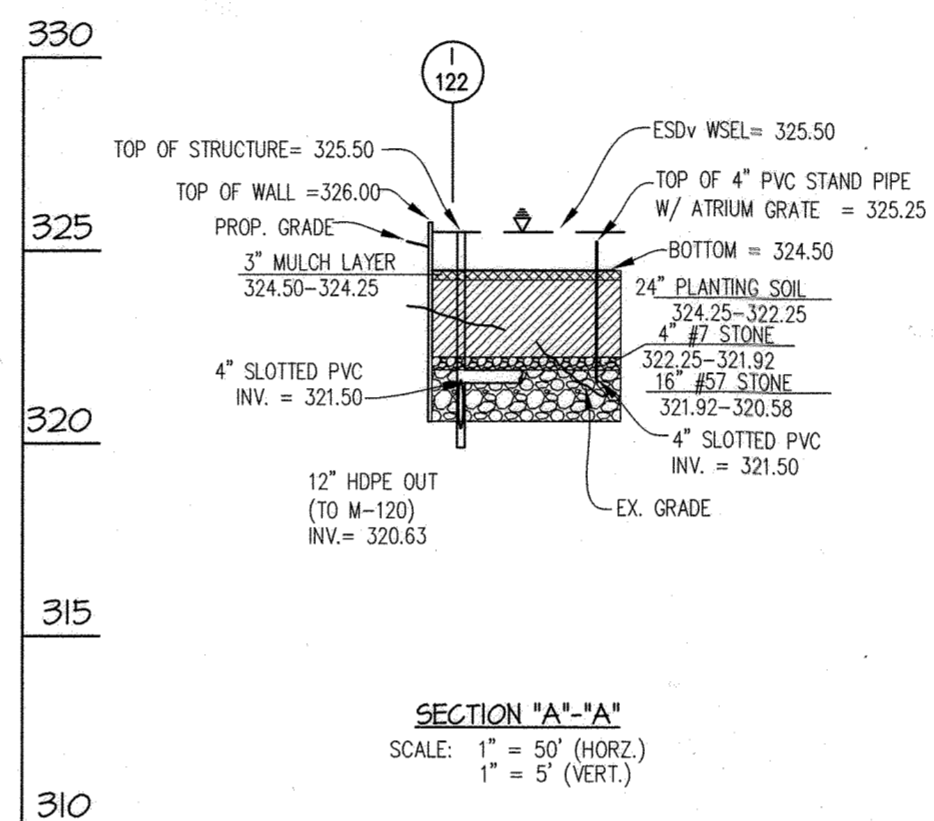
**NOTES:**  
1. ALL EXPOSED PIPING, INLETS, AND GRATES WITHIN FACILITY ARE TO BE PAINTED BLACK.  
2. PROVIDE FILTER FABRIC BETWEEN BIO-RETENTION MEDIA AND ADJACENT SOIL (SIDES ONLY) MSHA CLASS C.  
3. SEE ARCH. PLANS FOR BUILDING WATERPROOFING.  
4. SEE LANDSCAPE PLANS FOR BIO-RETENTION PLANTING



**MBR-2**  
TYPE (PER MDE): MICRO BIORETENTION PLANTER (M6)  
NON - MDE 310 FACILITY  
TOTAL DRAINAGE AREA TO FACILITY = 10,715 SF  
STORAGE PROVIDED = 555 CU-FT (8325.50)  
ESDV PROVIDED = 140 CU-FT

LOW-FLOW OUTFALL: PERFORATED 4" UNDERDRAIN SYSTEM  
BOTTOM OF FACILITY = 324.50  
HIGH-FLOW OUTFALL: 1-122 (8" INLET, TOP = 325.50)

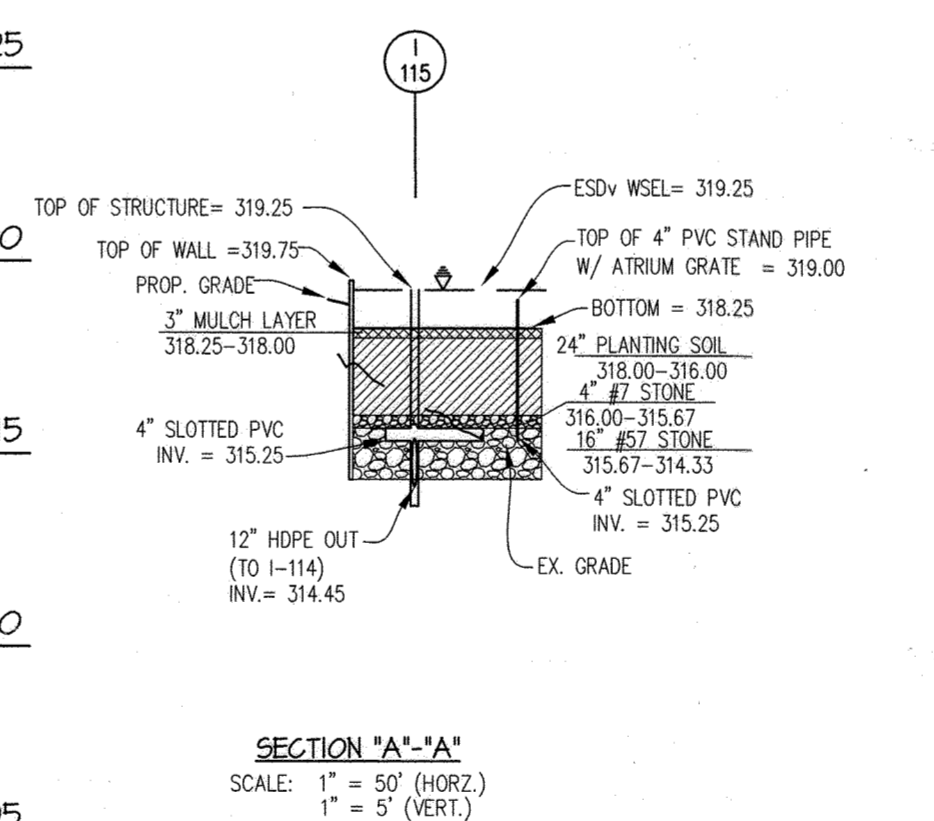
**NOTES:**  
1. ALL EXPOSED PIPING, INLETS, AND GRATES WITHIN FACILITY ARE TO BE PAINTED BLACK.  
2. PROVIDE FILTER FABRIC BETWEEN BIO-RETENTION MEDIA AND ADJACENT SOIL (SIDES ONLY) MSHA CLASS C.  
3. SEE ARCH. PLANS FOR BUILDING WATERPROOFING.  
4. SEE LANDSCAPE PLANS FOR BIO-RETENTION PLANTING  
5. SEE LANDSCAPE PLANS FOR WALL DETAILS



**MBR-3**  
TYPE (PER MDE): MICRO BIORETENTION PLANTER (M6)  
NON - MDE 310 FACILITY  
TOTAL DRAINAGE AREA TO FACILITY = 3,915 SF  
STORAGE PROVIDED = 309 CU-FT (8394.25)  
ESDV PROVIDED = 407 CU-FT

LOW-FLOW OUTFALL: PERFORATED 4" UNDERDRAIN SYSTEM  
BOTTOM OF FACILITY = 319.25  
HIGH-FLOW OUTFALL: 1-115 (12" INLET, TOP = 319.25)

**NOTES:**  
1. ALL EXPOSED PIPING, INLETS, AND GRATES WITHIN FACILITY ARE TO BE PAINTED BLACK.  
2. PROVIDE FILTER FABRIC BETWEEN BIO-RETENTION MEDIA AND ADJACENT SOIL (SIDES ONLY) MSHA CLASS C.  
3. SEE ARCH. PLANS FOR BUILDING WATERPROOFING.  
4. SEE LANDSCAPE PLANS FOR BIO-RETENTION PLANTING  
5. SEE LANDSCAPE PLANS FOR WALL DETAILS



**APPROVED**  
PLANNING BOARD OF HOWARD COUNTY

Date: **MARCH 1, 2018**

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING  
*Dynda Escobar* Director Date: **11/20/23**  
*Chad Clark* Chief, Division of Land Development Date: **6/21/23**  
*Chad Clark* Chief, Development Engineering Division Date: **8/21/23**

**OPERATION AND MAINTENANCE SCHEDULE FOR MICRO-BIORETENTION (M-6)**

- THE OWNER SHALL MAINTAIN THE PLANT MATERIAL, MULCH LAYER AND SOIL LAYER ANNUALLY. MAINTENANCE OF MULCH AND SOIL IS LIMITED TO CORRECTING AREAS OF EROSION OR WASH OUT. ANY MULCH REPLACEMENT SHALL BE DONE IN THE SPRING. PLANT MATERIAL SHALL BE CHECKED FOR DISEASE AND INSECT INFESTATION AND MAINTENANCE WILL ADDRESS DEAD MATERIAL AND PRUNING. ACCEPTABLE REPLACEMENT PLANT MATERIAL IS LIMITED TO THE FOLLOWING: 2000 MARYLAND STORMWATER DESIGN MANUAL VOLUME II, TABLE A.4.1 AND 2.
- THE OWNER SHALL PERFORM A PLANT INSPECTION IN THE SPRING AND IN THE FALL OF EACH YEAR. DURING THE INSPECTION, THE OWNER SHALL REMOVE DEAD AND DISEASED VEGETATION CONSIDERED BEYOND TREATMENT, REPLACE DEAD PLANT MATERIAL WITH ACCEPTABLE REPLACEMENT PLANT MATERIAL, TREAT DISEASED TREES AND SHRUBS, AND REPLACE ALL DEFICIENT STAKES AND NIPERS.
- THE OWNER SHALL INSPECT THE MULCH EACH SPRING. THE MULCH SHALL BE REPLACED EVERY TWO TO THREE YEARS. THE PREVIOUS MULCH LAYER SHALL BE REMOVED BEFORE THE NEW LAYER IS APPLIED.
- THE OWNER SHALL CORRECT SOIL EROSION ON AN AS NEEDED BASIS, WITH A MINIMUM OF ONCE PER MONTH AND AFTER EACH HEAVY STORM.
- THE OWNER SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF THE UNDERDRAINS WITHIN THE BIO-RETENTION LAYERS.
- THE OWNER SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL STORM DRAIN PIPES AND STRUCTURES.

**OPERATION AND MAINTENANCE SCHEDULE FOR PRIVATELY OWNED AND MAINTAINED STORMCEPTOR WATER QUALITY DEVICE**

- THE OWNER SHALL INSPECT THE STORMCEPTOR WATER QUALITY STRUCTURE PERIODICALLY AND CLEAN IT TO MAINTAIN PROPER OPERATION AND FUNCTION. THE OWNER SHALL INSPECT THE STORMCEPTOR UNIT YEARLY AT A MINIMUM, UTILIZING THE STORMCEPTOR INSPECTION/MONITORING FORM. INSPECTIONS SHALL BE DONE BY USING A CLEAR PLEXIGLASS TUBE ("SLUDGE JUDGE") TO EXTRACT A WATER COLUMN SAMPLE. WHEN THE SEDIMENT DEPTHS EXCEED THE LEVEL SPECIFIED IN TABLE 6 OF THE STORMCEPTOR TECHNICAL MANUAL, THE STORMCEPTOR UNIT MUST BE CLEANED.
- THE OWNER SHALL CHECK AND CLEAN IMMEDIATELY THE STORMCEPTOR WATER QUALITY STRUCTURE AFTER PETROLEUM SPILLS. THE OWNER SHALL CONTACT THE APPROPRIATE REGULATORY AGENCIES AND CLEAN THE PETROLEUM SPILLS IN ACCORDANCE WITH ALL APPLICABLE LAWS AND REGULATIONS.
- THE MAINTENANCE OF THE STORMCEPTOR UNIT SHALL BE DONE USING A VACUUM TRUCK WHICH WILL REMOVE THE WATER, SEDIMENT, DEBRIS, FLOATING HYDROCARBONS AND OTHER MATERIALS IN THE STORMCEPTOR UNIT. THE OWNER SHALL FOLLOW ALL REQUIREMENTS FOR THE PROPER CLEANING AND DISPOSAL OF THE REMOVED MATERIALS AND LIQUID.
- THE OWNER SHALL CHECK THE INLET AND OUTLET PIPES AT LEAST ONCE EVERY SIX (6) MONTHS. IF OBSTRUCTIONS ARE FOUND, THE OWNER SHALL HAVE THEM REMOVED. THE OWNER SHALL REPAIR THE STRUCTURAL PARTS OF THE STORMCEPTOR UNIT AS NEEDED.
- THE OWNER SHALL RETAIN AND MAKE THE STORMCEPTOR INSPECTION/MONITORING FORMS AVAILABLE TO THE HOWARD COUNTY OFFICIALS UPON THEIR REQUEST.

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TEL: 301-421-4024 BALT: 410-880-1820 DC/VA: 301-989-2524 FAX: 301-421-4186

DATE REVISION BY APPR.

PREPARED FOR & OWNER

TOBY'S GENERAL PARTNERSHIP  
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PROFESSIONAL CERTIFICATION

I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 22975

EXPIRATION DATE: MAY 28, 2024

*Chad Clark* 11/20/23

**STORMWATER MANAGEMENT DETAILS**

**THE NEW CULTURAL CENTER**  
DOWNTOWN COLUMBIA  
CRESCENT NEIGHBORHOOD, PHASE 2, PARCELS S - GREEN BLDG.

ELECTION DISTRICT No. 5 A RESUBDIVISION OF LOT 1 (PLAT No. 15 Pg. 48) AND PARCELS G, H, & R (PN: 24003) HOWARD COUNTY, MARYLAND

SCALE AS SHOWN ZONING NT G. L. W. FILE No. 15107

DATE TAX MAP - GRID SHEET  
JUNE, 2023 36 - 8 13 OF 52

**GENERAL NOTES:**

- MATERIAL SPECIFICATIONS: THE ALLOWABLE MATERIALS TO BE USED IN THESE PRACTICES ARE DETAILED IN TABLE B.4.1.
- PLANTING SOIL: THE SOIL SHALL BE A UNIFORM MIX, FREE OF STONES, STUMPS, ROOTS OR OTHER SIMILAR OBJECTS LARGER THAN TWO INCHES. NO OTHER MATERIALS OR SUBSTANCES SHALL BE MIXED OR DAMPED WITHIN THE MICRO-BIORETENTION PRACTICE THAT MAY BE HARMFUL TO PLANT GROWTH, OR PROVIDE A HINDRANCE TO THE PLANTING OR MAINTENANCE OPERATIONS. THE PLANTING SOIL SHALL BE FREE OF BERBERIS GRASS, QUACKGRASS, JOHNSON GRASS, OR OTHER NOXIOUS WEEDS AS SPECIFIED UNDER COMAR 15.08.01.05.
- PLANTING SOIL SHALL BE TESTED AND SHALL MEET THE FOLLOWING CRITERIA:
  - SOIL COMPONENT - LOAMY SAND OR SANDY LOAM (USDA SOIL TEXTURAL CLASSIFICATION)
  - ORGANIC CONTENT - MINIMUM 10% BY DRY WEIGHT (ASTM D 2974). IN GENERAL, THIS CAN BE MET WITH A MIXTURE OF LOAMY SAND (60%-85%) AND COMPOST (35% TO 40% OR SANDY LOAM (30%), COARSE SAND (30%), AND COMPOST (40%).
  - CLAY CONTENT - MEDIA SHALL HAVE A CLAY CONTENT OF LESS THAN 5%.
  - PH RANGE - SHOULD BE BETWEEN 5.5 - 7.0. AMENDMENTS (E.G., LIME, IRON SULFATE PLUS SULFUR) MAY BE MIXED INTO THE SOIL TO INCREASE OR DECREASE PH.
- IT IS VERY IMPORTANT TO MINIMIZE COMPACTION OF BOTH THE BASE OF BIORETENTION PRACTICES AND THE REQUIRED BACKFILL. WHEN POSSIBLE, USE EXCAVATION TOOLS TO REMOVE ORIGINAL SOIL. IF PRACTICES ARE EXCAVATED USING A LOADER, THE CONTRACTOR SHOULD USE WIDE TRACK OR MARSH TRACK EQUIPMENT, OR LIGHT EQUIPMENT WITH TURF TIRE TYRES. USE OF EQUIPMENT WITH NARROW TRACKS OR RUBBER TIRES WITH LARGE LUGS, OR HIGH-PRESSURE TYRES WILL CAUSE EXCESSIVE COMPACTION RESULTING IN REDUCED INFILTRATION RATES AND IS NOT ACCEPTABLE. COMPACTION WILL SIGNIFICANTLY CONTRIBUTE TO DESIGN FAILURE.
- COMPACTION: IT IS VERY IMPORTANT TO MINIMIZE COMPACTION OF BOTH THE BASE OF BIORETENTION PRACTICES AND THE REQUIRED BACKFILL. WHEN POSSIBLE, USE EXCAVATION TOOLS TO REMOVE ORIGINAL SOIL. IF PRACTICES ARE EXCAVATED USING A LOADER, THE CONTRACTOR SHOULD USE WIDE TRACK OR MARSH TRACK EQUIPMENT, OR LIGHT EQUIPMENT WITH TURF TIRE TYRES. USE OF EQUIPMENT WITH NARROW TRACKS OR RUBBER TIRES WITH LARGE LUGS, OR HIGH-PRESSURE TYRES WILL CAUSE EXCESSIVE COMPACTION RESULTING IN REDUCED INFILTRATION RATES AND IS NOT ACCEPTABLE. COMPACTION WILL SIGNIFICANTLY CONTRIBUTE TO DESIGN FAILURE.
- ROTITILL TO 2 TO 3 INCHES OF SAND INTO THE BASE OF THE BIORETENTION FACILITY BEFORE BACKFILLING THE OPTIONAL SAND LAYER. PUMP ANY POUNDED WATER BEFORE PREPARING (ROTITILLING) BASE.
- WHEN BACKFILLING THE TOPSOIL OVER THE SAND LAYER, FIRST PLACE 3 TO 4 INCHES OF TOPSOIL OVER THE SAND, THEN ROTITILL THE SAND/TOPSOIL TO CREATE A GRADATION ZONE. BACKFILL THE REMAINDER OF THE TOPSOIL TO FINAL GRADE. WHEN BACKFILLING THE BIORETENTION FACILITY, PLACE SOIL IN LIFTS 12" TO 18". DO NOT USE HEAVY EQUIPMENT WITHIN THE BIORETENTION BASIN. HEAVY EQUIPMENT CAN BE USED AROUND THE PERIMETER OF THE BASIN TO SUPPLY SOILS AND SAND. GRADE BIORETENTION MATERIALS WITH LIGHT EQUIPMENT SUCH AS A COMPACT LOADER OR A DOZER/LOADER WITH MARSH TRACKS.
- PLANT MATERIAL: RECOMMENDED PLANT MATERIAL FOR MICRO-BIORETENTION PRACTICES CAN BE FOUND IN APPENDIX A, SECTION 2.3.
- PLANT INSTALLATION: COMPOST IS A BETTER ORGANIC MATERIAL SOURCE, IS LESS LIKELY TO FLOAT, AND SHOULD BE PLACED IN THE INVERT AND OTHER LOW AREAS. MULCH SHOULD BE PLACED IN SURROUNDING TO A UNIFORM THICKNESS OF 2" TO 3". SHREDED OR CHIPPED HARDWOOD MULCH IS THE ONLY ACCEPTED MULCH. PINE MULCH AND WOOD CHIPS WILL FLOAT AND MOVE TO THE PERIMETER OF THE BIORETENTION AREA DURING A STORM EVENT AND ARE NOT ACCEPTABLE. SHREDED MULCH MUST BE WELL AGED (6 TO 12 MONTHS) FOR ACCEPTANCE.
- ROOTSTOCK OF THE PLANT MATERIAL SHALL BE KEPT MOIST DURING TRANSPORT AND ON-SITE STORAGE. THE PLANT ROOT BALL SHOULD BE PLANTED SO 1/3RD OF THE BALL IS ABOVE FINAL GRADE SURFACE. THE DIAMETER OF THE PLANTING PIT SHALL BE AT LEAST SIX INCHES LARGER THAN THE DIAMETER OF THE PLANTING BALL. SET AND MAINTAIN THE PLANT STRAIGHT DURING THE ENTIRE PLANTING PROCESS. THOROUGHLY WATER GROUND BED COVER AFTER INSTALLATION.
- TREES SHALL BE BRACED USING 2" BY 2" STAKES ONLY AS NECESSARY AND FOR THE FIRST GROWING SEASON ONLY. STAKES ARE TO BE EQUALLY SPACED ON THE OUTSIDE OF THE TREE BALL.
- GRASSES AND LEGUME SEED SHOULD BE DRILLED INTO THE SOIL TO A DEPTH OF AT LEAST ONE INCH. GRASS AND LEGUME PLUGS SHALL BE PLANTED FOLLOWING THE NON-GRASS GROUND COVER PLANTING SPECIFICATIONS.
- THE TOPSOIL SPECIFICATIONS PROVIDE ENOUGH ORGANIC MATERIAL TO ADEQUATELY SUPPLY NUTRIENTS FROM NATURAL CYCLING. THE PRIMARY FUNCTION OF THE BIORETENTION STRUCTURE IS TO IMPROVE WATER QUALITY. ADDING FERTILIZERS DETRATS, OR AT A MINIMUM, IMPEDES THIS GOAL. ONLY ADD FERTILIZER IF WOOD CHIPS OR MULCH ARE USED TO AMEND THE SOIL. ROTITILL UREA FERTILIZER AT A RATE OF 2 POUNDS PER 1000 SQUARE FEET.
- UNDERDRAINS: UNDERDRAINS SHOULD MEET THE FOLLOWING CRITERIA:
  - PIPE - SHOULD BE 4" TO 6" DIAMETER, SLOTTED OR PERFORATED RIGID PLASTIC PIPE (ASTM F58, TYPE PS 28, OR AASHTO-M-278)
  - IN A GRAVEL LAYER, THE PREFERRED MATERIAL IS SLOTTED, 4" RIGID PIPE (E.G., PVC OR HDPE).
  - PERFORATIONS - IF PERFORATED PIPE IS USED, PERFORATIONS SHOULD BE 3/8" DIAMETER LOCATED 6" ON CENTER WITH A MINIMUM OF FOUR HOLES PER ROW. PIPE SHALL BE WRAPPED WITH A 3/4" (NO. 4 OR 4X4) GALVANIZED HARDWARE CLOTH.
  - GRAVEL - THE GRAVEL LAYER (NO. 57 STONE PREFERRED) SHALL BE AT LEAST 30 THICK ABOVE AND BELOW THE UNDERDRAIN.
  - THE MAIN COLLECTOR PIPE SHALL BE AT A MINIMUM 0.5% SLOPE.
  - A RIGID, NON-PERFORATED OBSERVATION WELL MUST BE PROVIDED (ONE PER EVERY 1,000 SQUARE FEET) TO PROVIDE A CLEAN-OUT POINT AND MONITOR PERFORMANCE OF THE FILTER.
  - A 40 LAYER OF PEA GRAVEL (1/8 TO 3/80 STONE) SHALL BE LOCATED BETWEEN THE FILTER MEDIA AND UNDERDRAIN TO PREVENT MIGRATION OF FINES INTO THE UNDERDRAIN. THIS LAYER MAY BE CONSIDERED PART OF THE FILTER BED WHEN BED THICKNESS EXCEEDS 240
- MISCELLANEOUS: THESE PRACTICES MAY NOT BE CONSTRUCTED UNTIL ALL CONTRIBUTING DRAINAGE AREA HAS BEEN STABILIZED.

**APPENDIX B.1.1 - SUPPLEMENTAL POND SPECIFICATIONS (NON-378)**  
SUPPLEMENTAL STORMWATER PONDS AND WELAND SPECIFICATIONS (NON-378)

THESE NOTES AND SPECIFICATIONS ARE IN ADDITION TO THE MD-378 SPECIFICATIONS. IF THERE IS ANY QUESTION AS TO THE APPLICABILITY, THE MD-378 SPECIFICATIONS SUPERCEDE.

- IT IS PREFERRED TO USE THE SAME MATERIAL IN THE EMBANKMENT AS IS BEING INSTALLED FOR THE CORE TRENCH. IF THIS IS NOT POSSIBLE BECAUSE THE APPROPRIATE MATERIAL IS NOT AVAILABLE, A DAM CORE WITH A SHALL MAY BE USED. THE CROSS-SECTION OF THE STORMWATER FACILITY SHOULD SHOW THE LIMITS OF THE DAM CORE (UP TO 10-YEAR WATER SURFACE ELEVATION) AS WELL AS THE ACCEPTABLE MATERIALS FOR THE SHELL. THE SHAPE OF THE DAM CORE AND THE MATERIAL TO BE USED IN THE SHELL SHOULD BE PROVIDED BY THE GEOTECHNICAL ENGINEER.
- IF THE COMPACTION TESTS FOR THE SITE IMPROVEMENTS IS USING MODIFIED PROCTOR (ASTM D 1557), THEN TO MAINTAIN ON-SITE CONSISTENCY, THE MODIFIED PROCTOR MAY BE USED IN LIEU OF A STANDARD PROCTOR (ASTM D 1557). THE MINIMUM DENSITY USING THE MODIFIED PROCTOR TEST METHOD SHALL BE AT LEAST 92% OF THE MAXIMUM DRY DENSITY WITH A MOISTURE CONTENT OF 4.2% OF THE OPTIMUM. THE MINIMUM REQUIRED DENSITY USING THE STANDARD PROCTOR TEST METHOD SHALL BE AT LEAST 95% OF THE MAXIMUM DRY DENSITY WITH A MOISTURE CONTENT OF 12% OF THE OPTIMUM.
- FOR ALL STORMWATER MANAGEMENT FACILITIES, A GEOTECHNICAL ENGINEER OR THEIR REPRESENTATIVE MUST BE PRESENT TO VERIFY COMPACTION IN ACCORDANCE WITH THE SELECTED TEST METHOD. THIS INFORMATION NEEDS TO BE PROVIDED IN A REPORT TO THE DESIGN ENGINEER, SO THAT VERIFICATION OF THE CONSTRUCTION OF THE FACILITY, IN ACCORDANCE WITH MD-378 SPECIFICATIONS, CAN BE MADE.
- A 4-INCH LAYER OF TOPSOIL SHALL BE PLACED ON ALL DISTURBED AREAS OF THE DAM EMBANKMENT. SEEDING, LIMING, FERTILIZING, MULCHING, ETC. SHALL BE IN ACCORDANCE WITH MARYLAND SOIL CONSERVATION SERVICE MD-342 OR THE 1994 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL. PERMANENT SEEDING, SECTION IN CHAPTER 20. THE PURPOSE OF THE TOPSOIL IS TO ESTABLISH A GOOD GROWTH OF GRASS, WHICH IS NOT ALWAYS POSSIBLE WITH SOME OF THE MATERIALS THAT MAY BE PLACED FOR THE EMBANKMENT FILL.
- GEOTEXTILE PLACED BENEATH RIP-RAP SHALL BE CLASS "C" GEOTEXTILE OR BETTER (SEE SECTION 24.0, MATERIAL SPECIFICATIONS, 1994 STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL (MDE, 1994)). SOME ACCEPTABLE GEOTEXTILES THAT MEET THE CLASS "C" CRITERIA INCLUDE:
  - AMOCO 4552
  - CELCON UV
  - GEOTEX 700
  - MIRAFI 180-N
  - WETEC 907

THIS IS ONLY A PARTIAL LISTING OF AVAILABLE GEOTEXTILES BASED ON INFORMATION PROVIDED BY THE MANUFACTURERS OF THE 1997 SPECIFIER'S GUIDE DATED DECEMBER 1996. IT IS THE RESPONSIBILITY OF THE ENGINEER TO VERIFY THE ADEQUACY OF THE MATERIAL, AS THERE ARE CHANGES IN THE MANUFACTURING PROCESS AND THE TYPE OF FABRIC USED WHICH MAY AFFECT THE CONTINUED ACCEPTANCE.

A RULE OF THUMB TO DETERMINE WHEN AN EXCAVATED POND MAY NEED TO BE CONSIDERED AN EMBANKMENT POND IS AS FOLLOWS:  
PROVIDE CALCULATION OF 10' + 4' = 14'. WHERE H = HEIGHT FROM POND BOTTOM TO TOP OF DAM. IF THE PROJECTION OF L DOWNSTREAM IS A HORIZONTAL LINE FROM THE UPSTREAM TOE OF SLOPE IS BELOW EXISTING GROUND, THE POND CAN BE CONSIDERED AN EXCAVATED POND. IN ADDITION, THE EXISTING GROUND SLOPE, DOWNSTREAM OF THE TOE, MUST BE LESS THAN 10%.

THE DESIGN ENGINEER AND GEOTECHNICAL ENGINEER SHOULD MAKE THE DETERMINATION THAT THE SETTLEMENT OF THE POND WILL NOT CAUSE EXCESSIVE JOINT EXTENSION. FOR FURTHER INFORMATION ON JOINT ANALYSIS, SEE NRCC PUBLICATION TR-18.

FILL PLACEMENT SHALL NOT EXCEED A MAXIMUM 8-INCH. EACH LIFT SHALL BE CONTINUOUS FOR THE ENTIRE LENGTH OF THE EMBANKMENT.

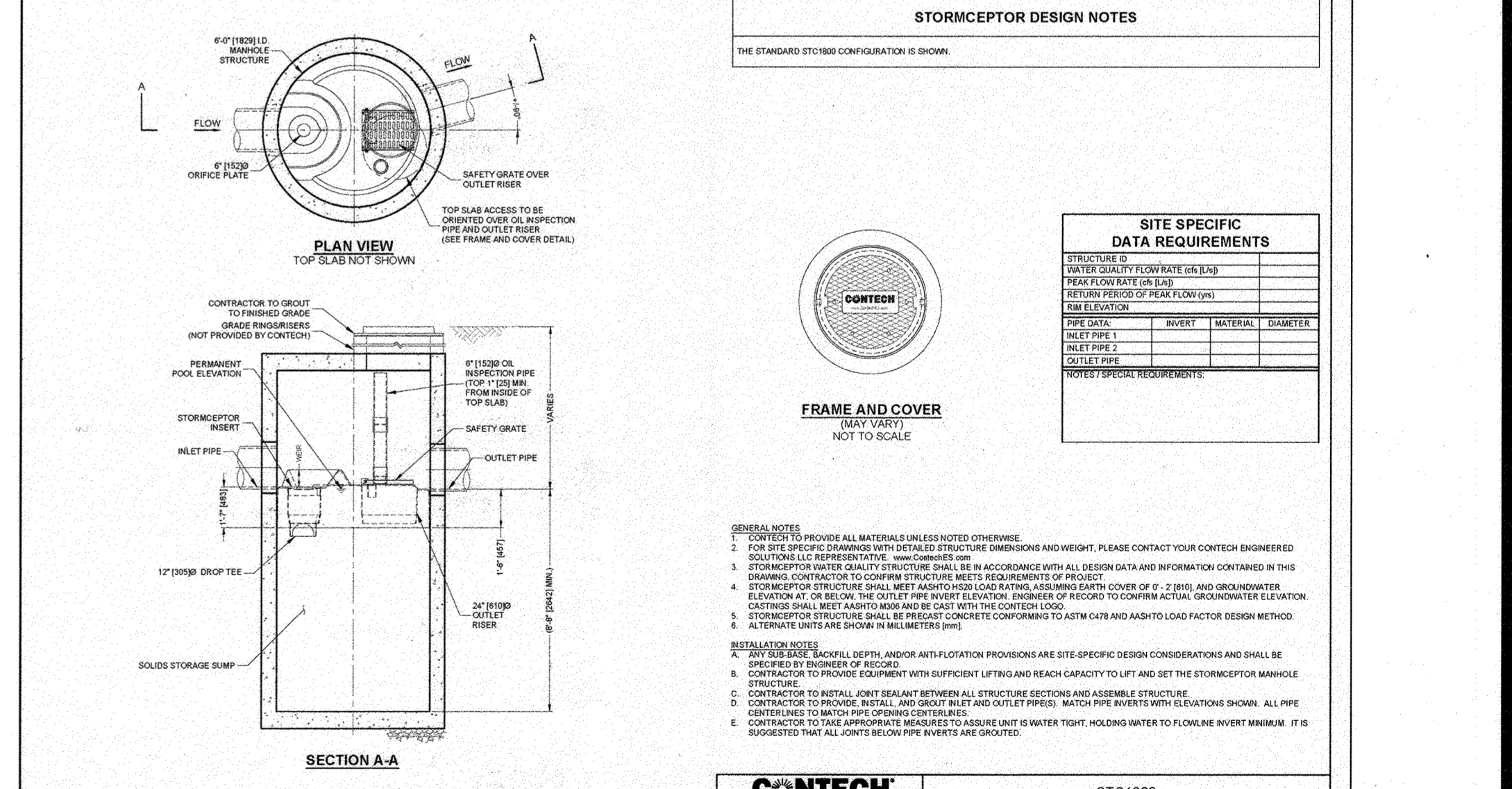
THE EMBANKMENT FILL SHALL NOT BE PLACED HIGHER THAN THE CENTERLINE OF THE PRINCIPAL SPILLWAY UNTIL AFTER THE PRINCIPAL SPILLWAY HAS BEEN INSTALLED. IF THE EMBANKMENT NEEDS TO BE EXCAVATED TO INSTALL THE PRINCIPAL SPILLWAY, THE SIDE SLOPE SHALL BE NO LESS THAN 2:1.

THE SIDE SLOPES OF A CUT TO REPAIR A DAM, INSTALL A PRINCIPAL SPILLWAY FOR AN EXCAVATED POND, OR OTHER REPAIR WORK, SHALL BE NO LESS THAN 2:1.

**OPERATION AND MAINTENANCE SCHEDULE FOR GRASS SWALES (M-8)**

- THE OWNER SHALL CORRECT SOIL EROSION ON AN AS NEEDED BASIS, WITH A MINIMUM OF ONCE PER MONTH AND AFTER EACH HEAVY STORM.

**GRASS SWALE CROSS (SECTION A-A) SCALE: NTS**



**STORMCEPTOR DESIGN NOTES**

THE STANDARD STC 1800 CONFIGURATION IS SHOWN.

**SITE SPECIFIC DATA REQUIREMENTS**

PARAMETER	UNITS	REQUIRED
INLET PIPE DIA.	INCHES	6"
OUTLET PIPE DIA.	INCHES	12"
INLET PIPE LENGTH	FEET	MIN. 10'
OUTLET PIPE LENGTH	FEET	MIN. 10'
INLET PIPE MATERIAL		4" RIGID PVC
OUTLET PIPE MATERIAL		4" RIGID PVC
INLET PIPE SLOPE	%	MIN. 0.5%
OUTLET PIPE SLOPE	%	MIN. 0.5%

**FRAME AND COVER**  
NOT TO SCALE

**GENERAL NOTES:**

- FOR THE STANDARD STC 1800 CONFIGURATION, THE INLET PIPE SHALL BE 6" DIA. RIGID PVC.
- FOR THE STANDARD STC 1800 CONFIGURATION, THE OUTLET PIPE SHALL BE 12" DIA. RIGID PVC.
- FOR THE STANDARD STC 1800 CONFIGURATION, THE INLET PIPE SHALL BE 6" DIA. RIGID PVC.
- FOR THE STANDARD STC 1800 CONFIGURATION, THE OUTLET PIPE SHALL BE 12" DIA. RIGID PVC.
- FOR THE STANDARD STC 1800 CONFIGURATION, THE INLET PIPE SHALL BE 6" DIA. RIGID PVC.
- FOR THE STANDARD STC 1800 CONFIGURATION, THE OUTLET PIPE SHALL BE 12" DIA. RIGID PVC.

**INSTALLATION NOTES:**

- CONTRACTOR TO PROVIDE EQUIPMENT WITH SUFFICIENT LIFTS AND REACH CAPACITY TO LIFT AND SET THE STORMCEPTOR MANHOLE.
- CONTRACTOR TO PROVIDE EQUIPMENT WITH SUFFICIENT LIFTS AND REACH CAPACITY TO LIFT AND SET THE STORMCEPTOR MANHOLE.
- CONTRACTOR TO PROVIDE EQUIPMENT WITH SUFFICIENT LIFTS AND REACH CAPACITY TO LIFT AND SET THE STORMCEPTOR MANHOLE.
- CONTRACTOR TO PROVIDE EQUIPMENT WITH SUFFICIENT LIFTS AND REACH CAPACITY TO LIFT AND SET THE STORMCEPTOR MANHOLE.
- CONTRACTOR TO PROVIDE EQUIPMENT WITH SUFFICIENT LIFTS AND REACH CAPACITY TO LIFT AND SET THE STORMCEPTOR MANHOLE.
- CONTRACTOR TO PROVIDE EQUIPMENT WITH SUFFICIENT LIFTS AND REACH CAPACITY TO LIFT AND SET THE STORMCEPTOR MANHOLE.

**CONTECH ENGINEERS SOLUTIONS LLC**  
STC1800 STORMCEPTOR STANDARD DETAIL

LEGEND

--- PROPOSED STORM DRAIN DRAINAGE DIVIDE

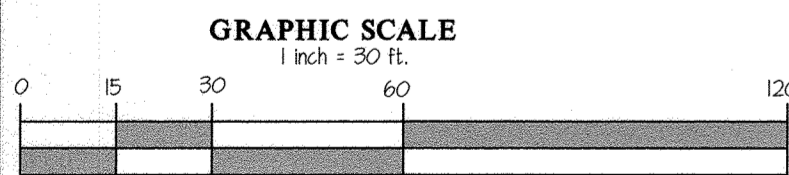
'C' FACTOR COMPUTATIONS			
STRUCTURE	AREA (AC)	'C'	IMPERVIOUS
I-113	0.11	0.86	100%
I-114	0.14	0.86	100%
I-115	0.09	0.86	100%
I-117	0.08	0.86	100%
I-121	0.24	0.86	100%
I-122	0.26	0.86	100%
I-126	0.15	0.86	100%
T-1	0.08	0.86	100%
T-2	0.02	0.86	100%
RD-1	1.55	0.86	100%
RD-3	0.31	0.86	100%

NOTE: ALL SOILS ON SITE ARE TYPE 'D'

SEE SHEET 5 FOR TRENCH DRAIN INFORMATION

SOILS (on site)	Map Unit	Map Unit Name	Type	K Factor
BaA	BaA	BaA silt loam, 0 to 3 percent slopes	D	0.32
WB	WB	Urban land-udorthents complex, 0 to 8 percent slopes	D	0.28

HOWARD COUNTY SOIL MAP NUMBER: 10 - SAVAGE N#1

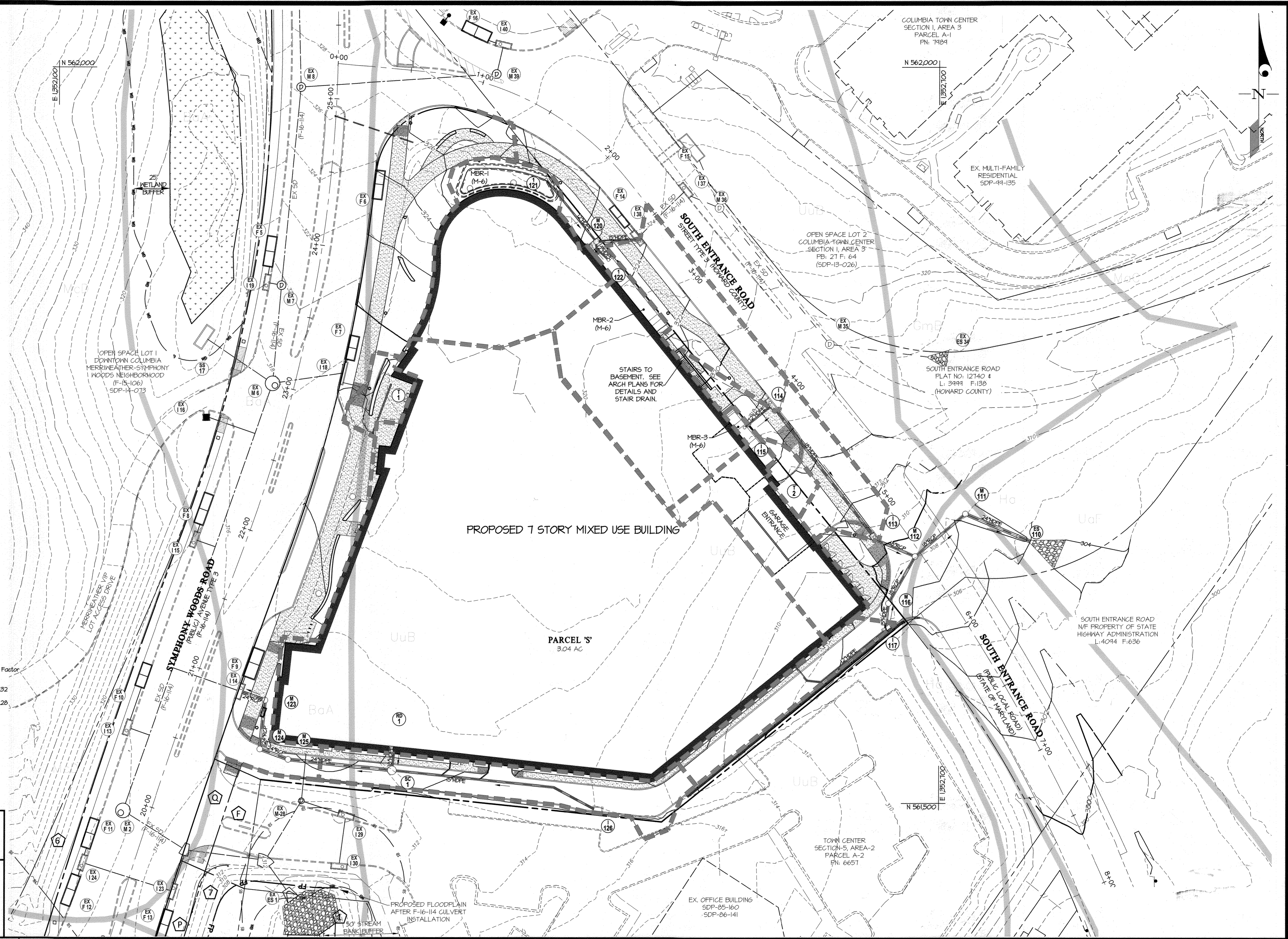


APPROVED  
PLANNING BOARD OF HOWARD COUNTY  
Date: MARCH 1, 2018

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING  
Director: [Signature] Date: 4/20/23  
Chief, Division of Land Development: [Signature] Date: 4/25/23  
Chief, Development Engineering Division: [Signature] Date: 5/2/23

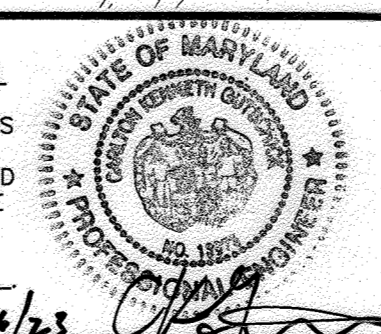
DATE	REVISION	BY	APPR.

GLWGUTSCHICK LITTLE & WEBER, P.A.  
CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS  
3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK  
BURTONSVILLE, MARYLAND 20866  
TEL: 301-421-4024 BALT: 410-680-1820 DC/VA: 301-988-2524 FAX: 301-421-4186



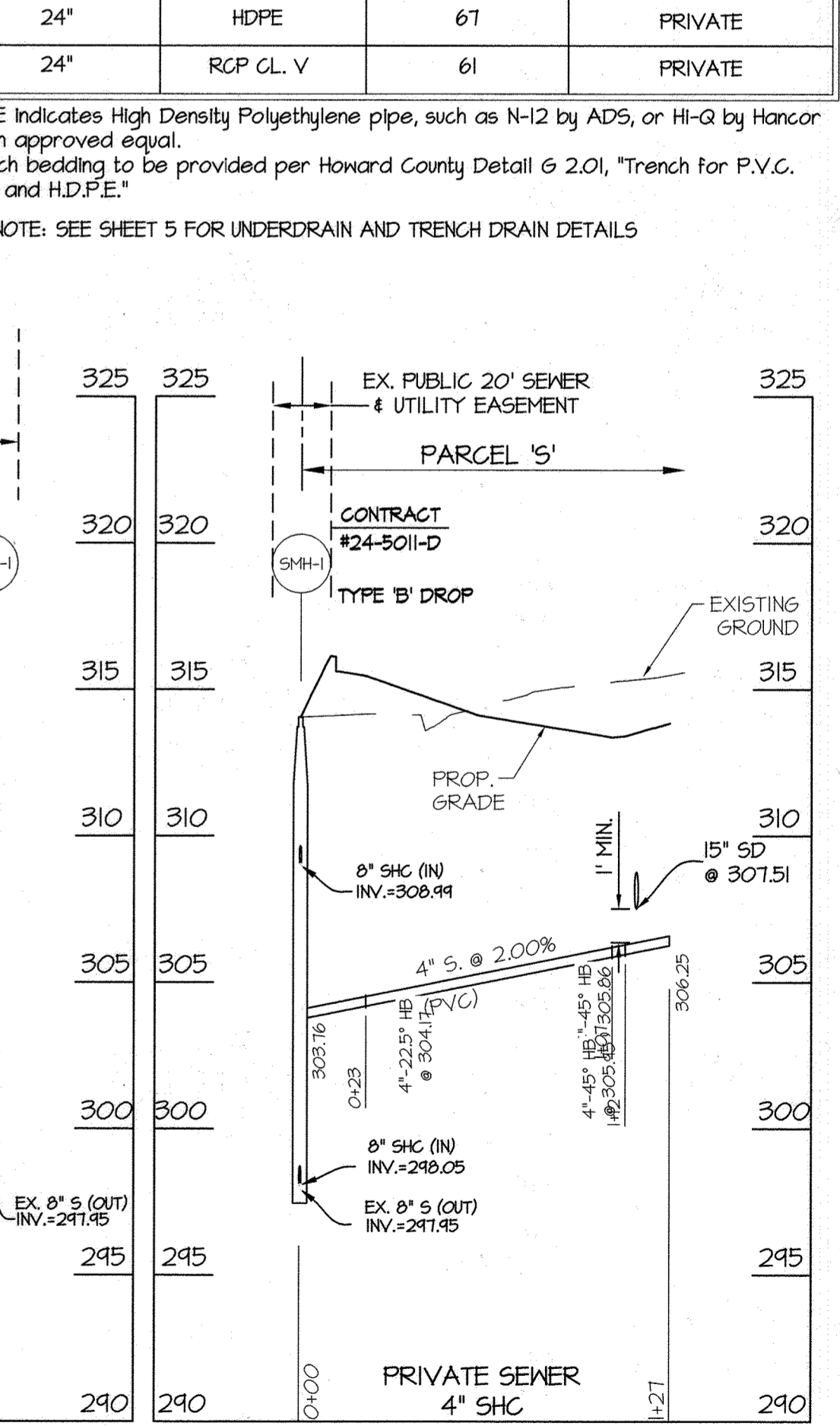
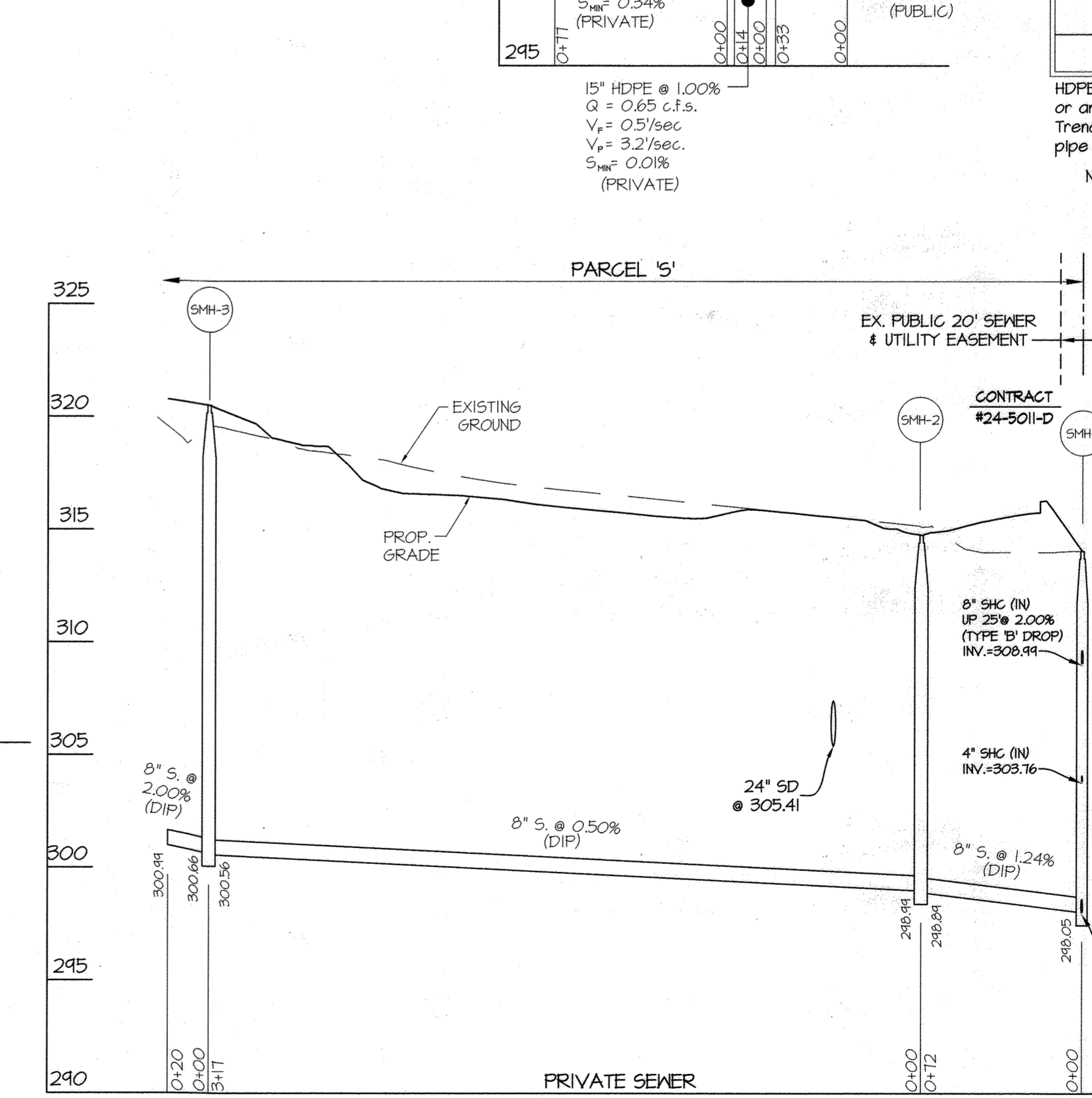
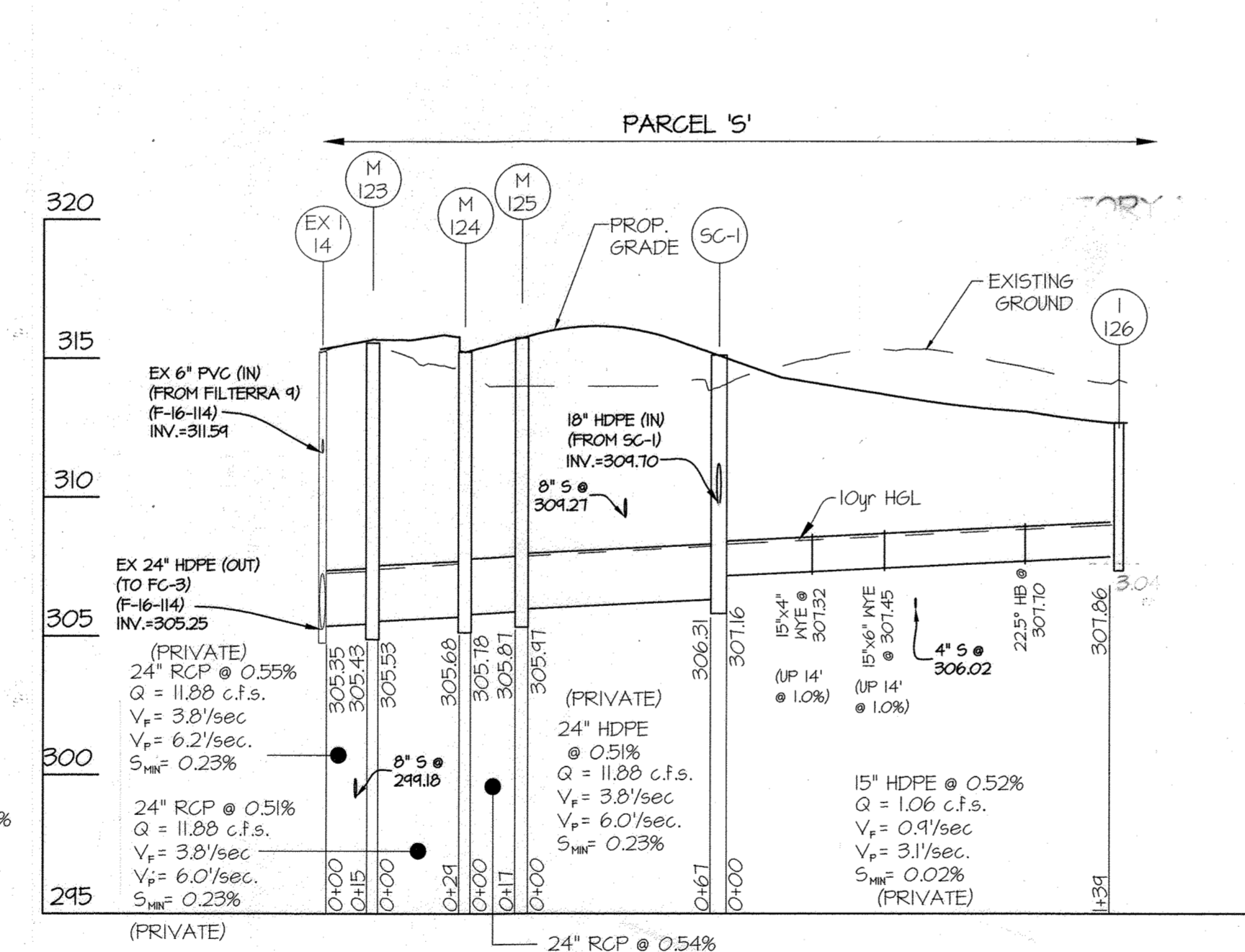
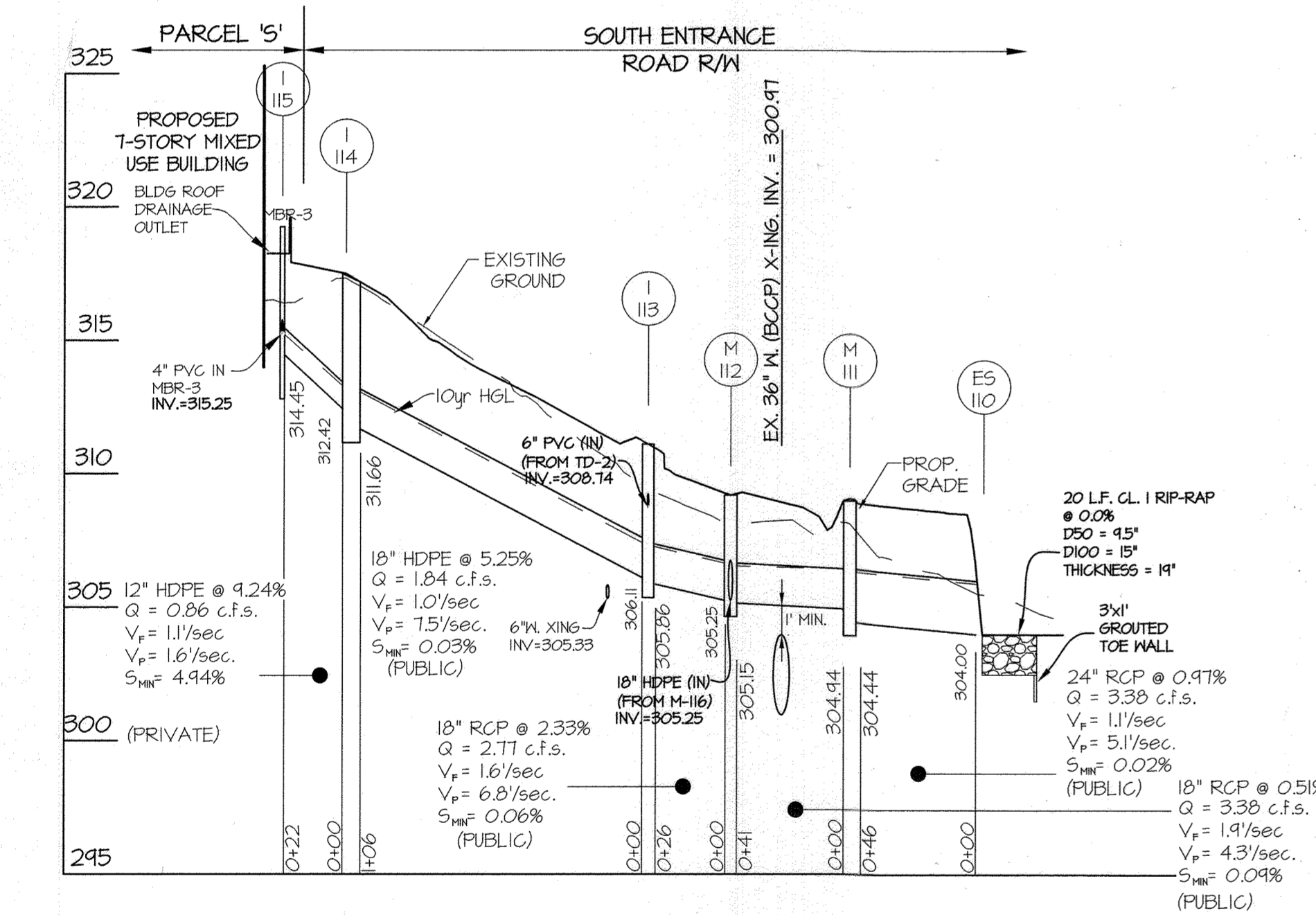
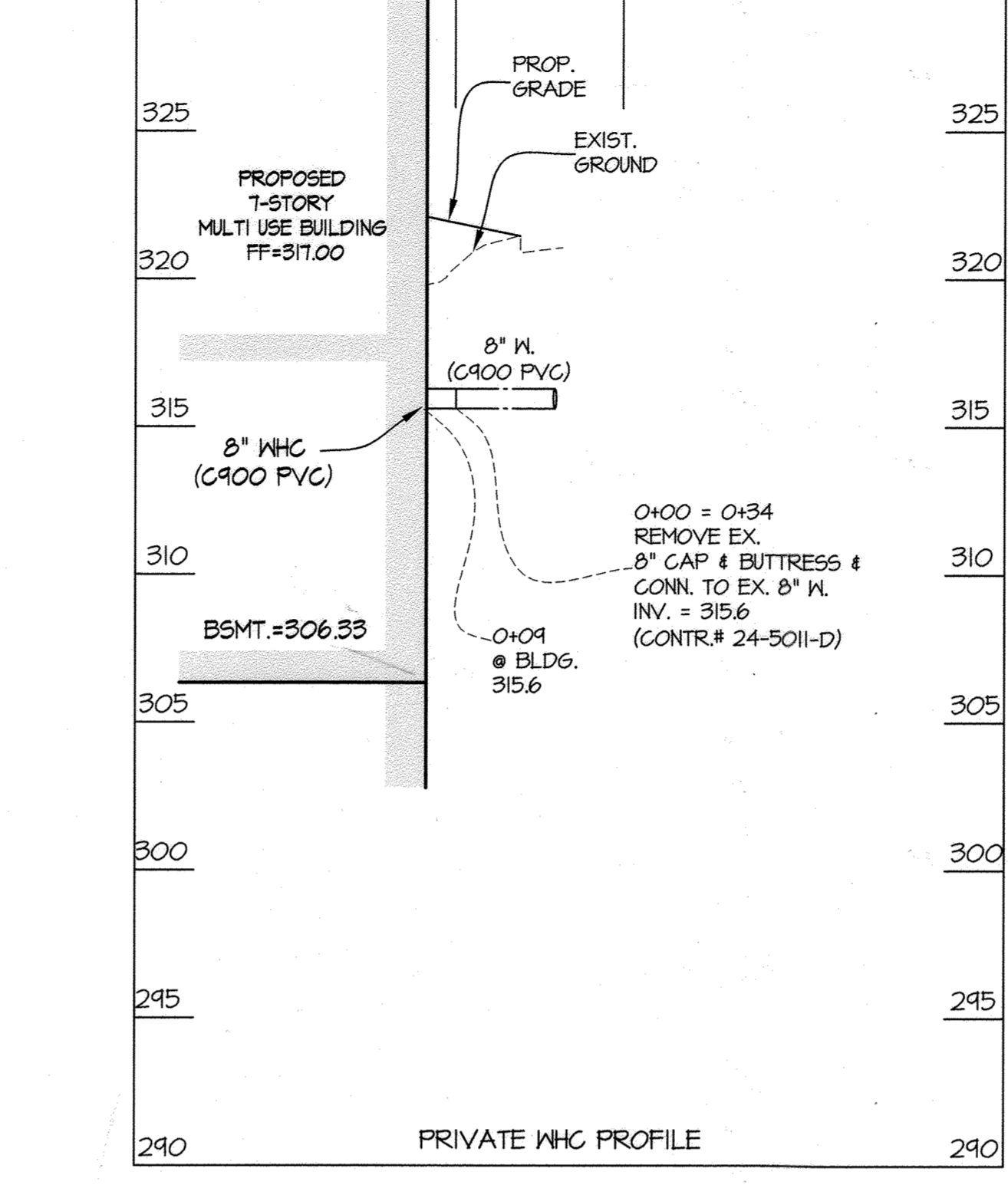
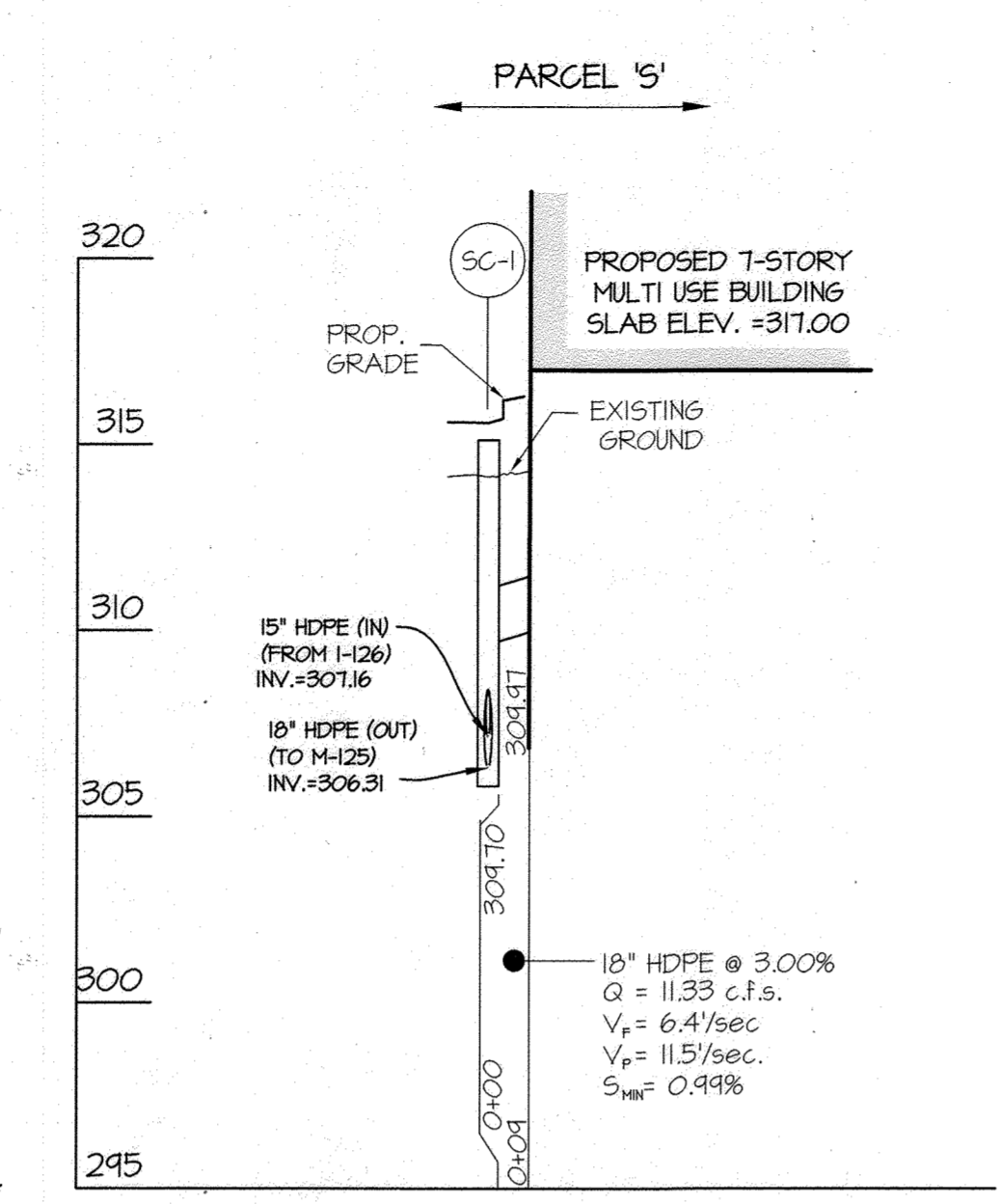
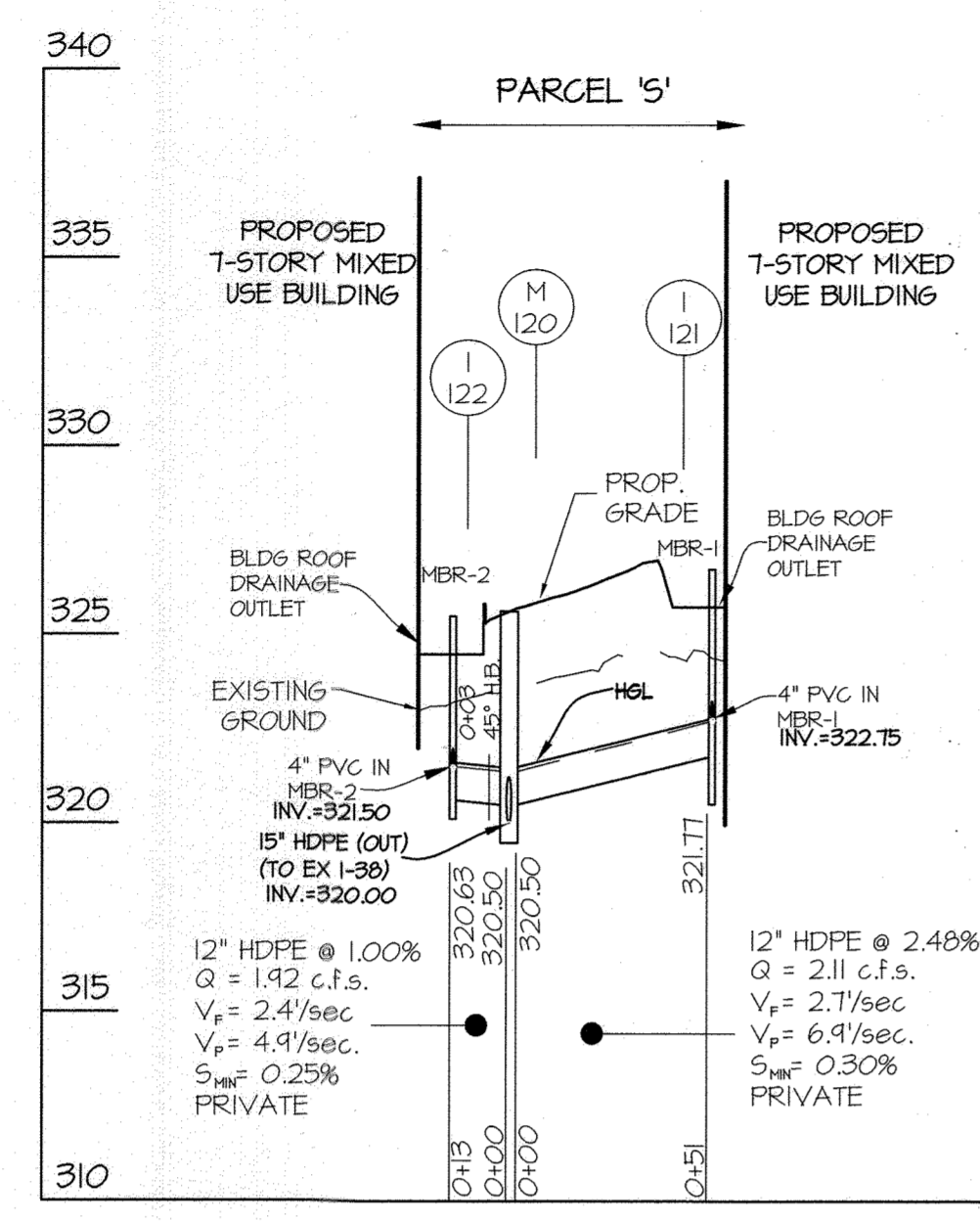
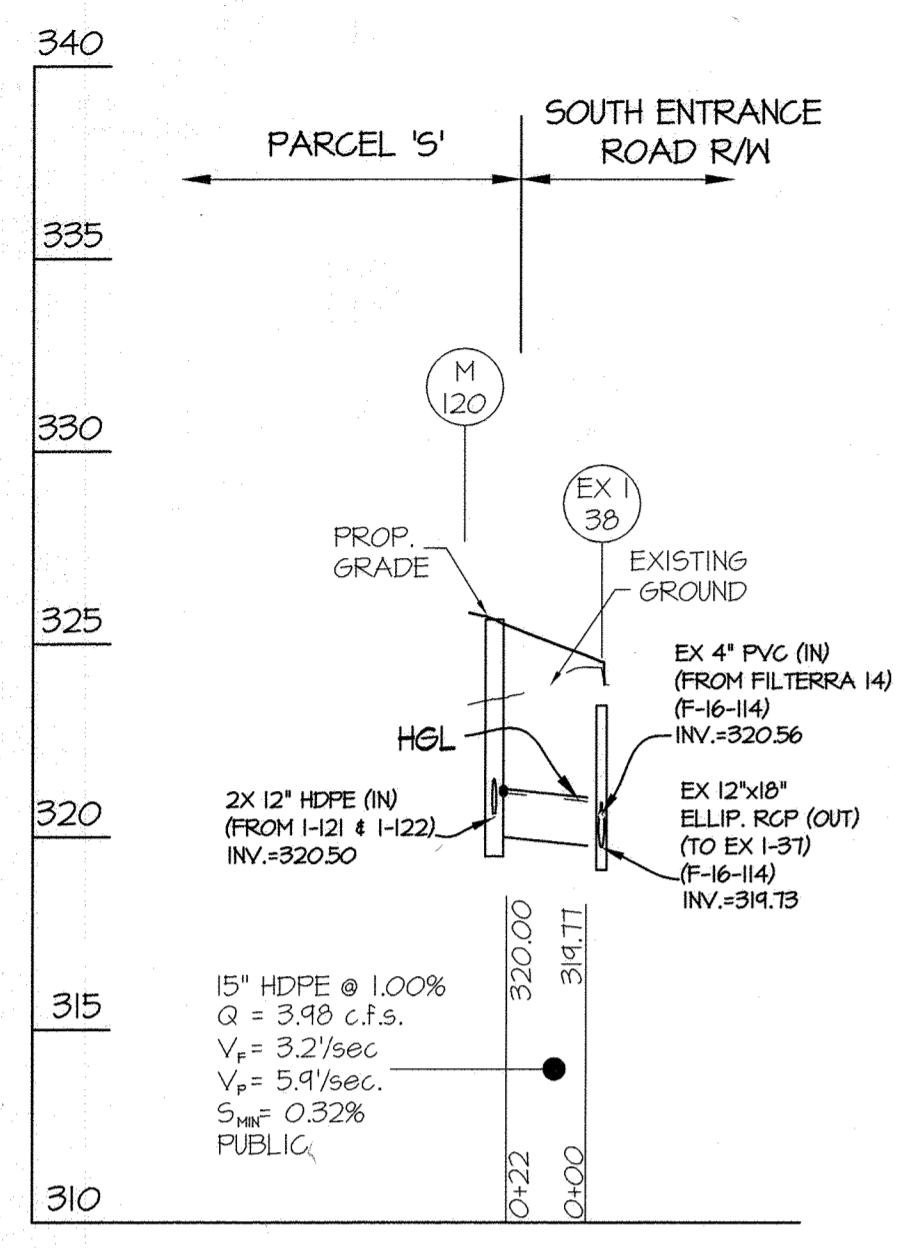
PREPARED FOR & OWNER  
TOBY'S GENERAL PARTNERSHIP  
10709 VISTA ROAD  
COLUMBIA, MARYLAND 21044-4223  
ATTN: SCOTT ARMIGER  
410-964-2334

PROFESSIONAL CERTIFICATION  
I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 12975  
EXPIRATION DATE: MAY 28, 2024  
4/26/23 [Signature]

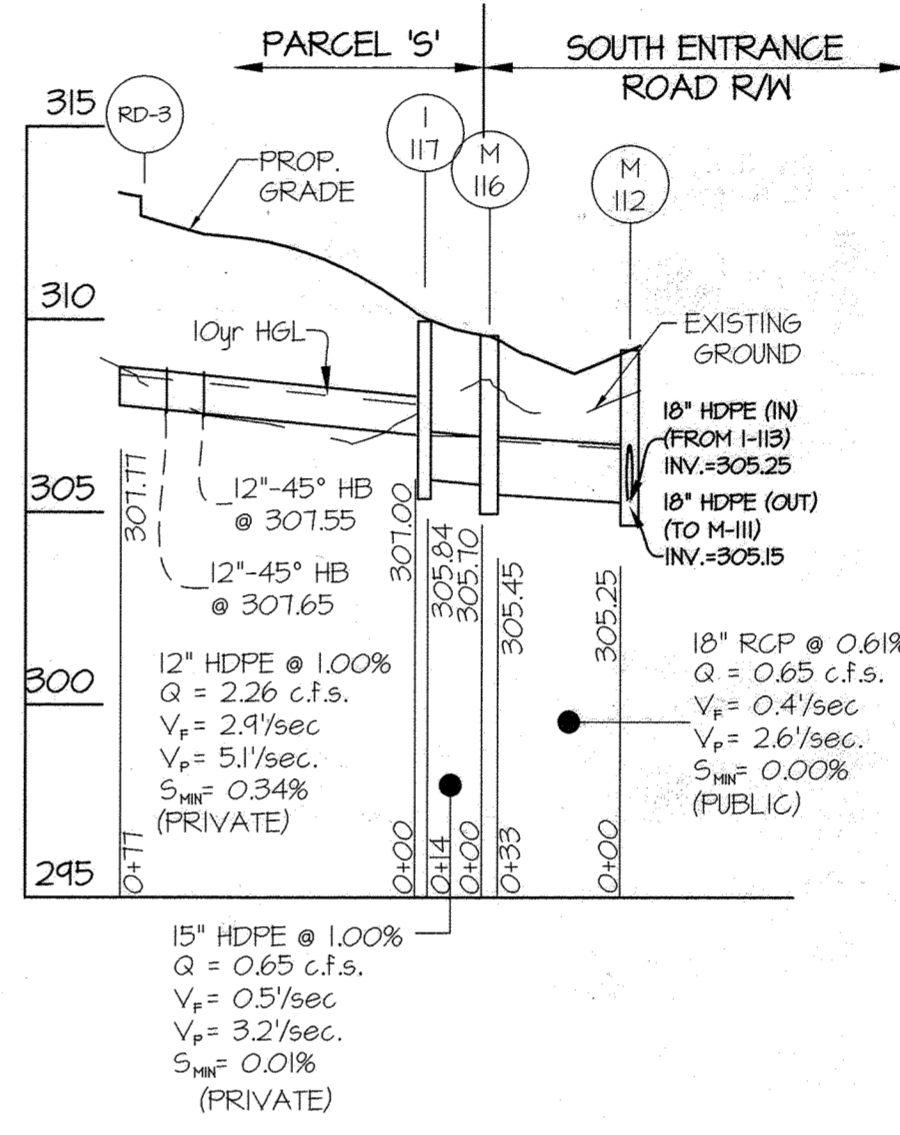


STORM DRAIN DRAINAGE AREA MAP  
**THE NEW CULTURAL CENTER**  
DOWNTOWN COLUMBIA  
CRESCENT NEIGHBORHOOD, PHASE 2, PARCELS S - GREEN BLDG.  
PN: 2442  
ELECTION DISTRICT No. 5 A RESUBDIVISION OF LOT 1 (PLAT No. 15 Pg. 48) AND PARCELS G, H, & R (PN: 24003) HOWARD COUNTY, MARYLAND

SCALE	ZONING	G. L. W. FILE NO.
1" = 30'	NT	15107
DATE	TAX MAP - GRID	SHEET
JUNE, 2023	36 - 8	14 OF 52



STRUCTURE SCHEDULE (STORM DRAIN)									
NO	TYPE	WIDTH (INSIDE)	TOP ELEVATION		INVERT		STD. DETAIL	LOCATIONS	REMARKS
			UPPER	LOWER	UPPER	LOWER			
ES-110	END SECTION	2'-0"	306.00	---	304.00	---	HO. CO. D-4.23		
I-113	A-5 INLET	4'-0"	311.24	310.42	308.74	305.86	HO. CO. D-4.01		
I-114	A-10 INLET	3'-6"	311.80	311.14	312.42	311.66	HO. CO. D-4.03		
I-115	18" NYLOPLAST	18"	314.25	---	315.25	314.45	NYLOPLAST DRAIN BASIN OR EQUIVALENT		18" DOME GRATE
I-117	DOUBLE NR INLET	3'-0"	310.64	304.20	307.00	305.84	HO. CO. D-4.31		
I-121	18" NYLOPLAST	18"	326.75	---	322.75	321.80	NYLOPLAST DRAIN BASIN OR EQUIVALENT		18" DOME GRATE
I-122	18" NYLOPLAST	18"	325.50	---	321.50	320.63	NYLOPLAST DRAIN BASIN OR EQUIVALENT		18" DOME GRATE
I-126	DOUBLE NR INLET	3'-0"	313.10	313.10	---	307.86	HO. CO. D-4.31		
SC-1	STORMCEPTOR	6'-0"	315.10	---	304.41	306.31	SEE DETAIL SHEET I3		
M-111	STANDARD MANHOLE	4'-0"	304.10	---	304.44	304.44	HO. CO. G-5.12		
M-112	STANDARD MANHOLE	4'-0"	304.20	---	305.25	305.15	HO. CO. G-5.12		
M-116	STANDARD MANHOLE	4'-0"	304.55	---	305.70	305.45	HO. CO. G-5.12		
M-120	STANDARD MANHOLE	4'-0"	325.63	---	320.50	320.00	HO. CO. G-5.12		
M-123	STANDARD MANHOLE	4'-0"	315.64	---	305.43	305.53	HO. CO. G-5.12		
M-124	STANDARD MANHOLE	4'-0"	315.25	---	305.78	305.68	HO. CO. G-5.12		
M-125	STANDARD MANHOLE	4'-0"	315.75	---	305.41	305.81	HO. CO. G-5.12		

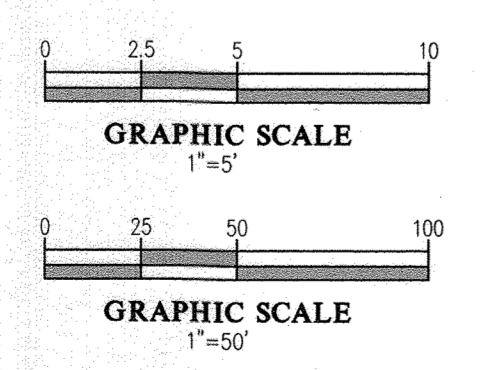


PIPE SCHEDULE (STORM DRAIN)			
SIZE	TYPE	QUANTITY (L.F.)	REMARKS
18"	HDPE	106	PUBLIC
18"	RCP CL. IV	100	PUBLIC
24"	RCP CL. IV	46	PUBLIC

PIPE SCHEDULE (STORM DRAIN)			
SIZE	TYPE	QUANTITY (L.F.)	REMARKS
12"	HDPE	163	PRIVATE
15"	HDPE	175	PRIVATE
18"	HDPE	9	PRIVATE
24"	HDPE	67	PRIVATE
24"	RCP CL. V	61	PRIVATE

HDPE indicates High Density Polyethylene pipe, such as N-12 by ADS, or HI-G by Hancor or an approved equal.  
Trench bedding to be provided per Howard County Detail G 2.01, "Trench for P.V.C. pipe and H.D.P.E."  
NOTE: SEE SHEET 5 FOR UNDERDRAIN AND TRENCH DRAIN DETAILS

APPROVED  
PLANNING BOARD OF HOWARD COUNTY  
Date: MARCH 1, 2018  
APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING  
Director: [Signature] Date: 11/20/23  
Chief, Division of Land Development: [Signature] Date: 11/23/23  
Chief, Development Engineering Division: [Signature] Date: 8/21/23



GLWGUTSCHICK LITTLE & WEBER, P.A.  
CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS  
3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK  
BURTONSVILLE, MARYLAND 20866  
TEL: 301-421-4024 BALT: 410-580-1820 DC/VA: 301-589-2524 FAX: 301-421-4186

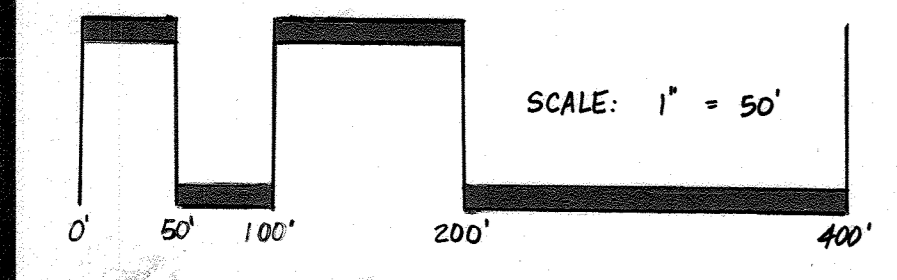
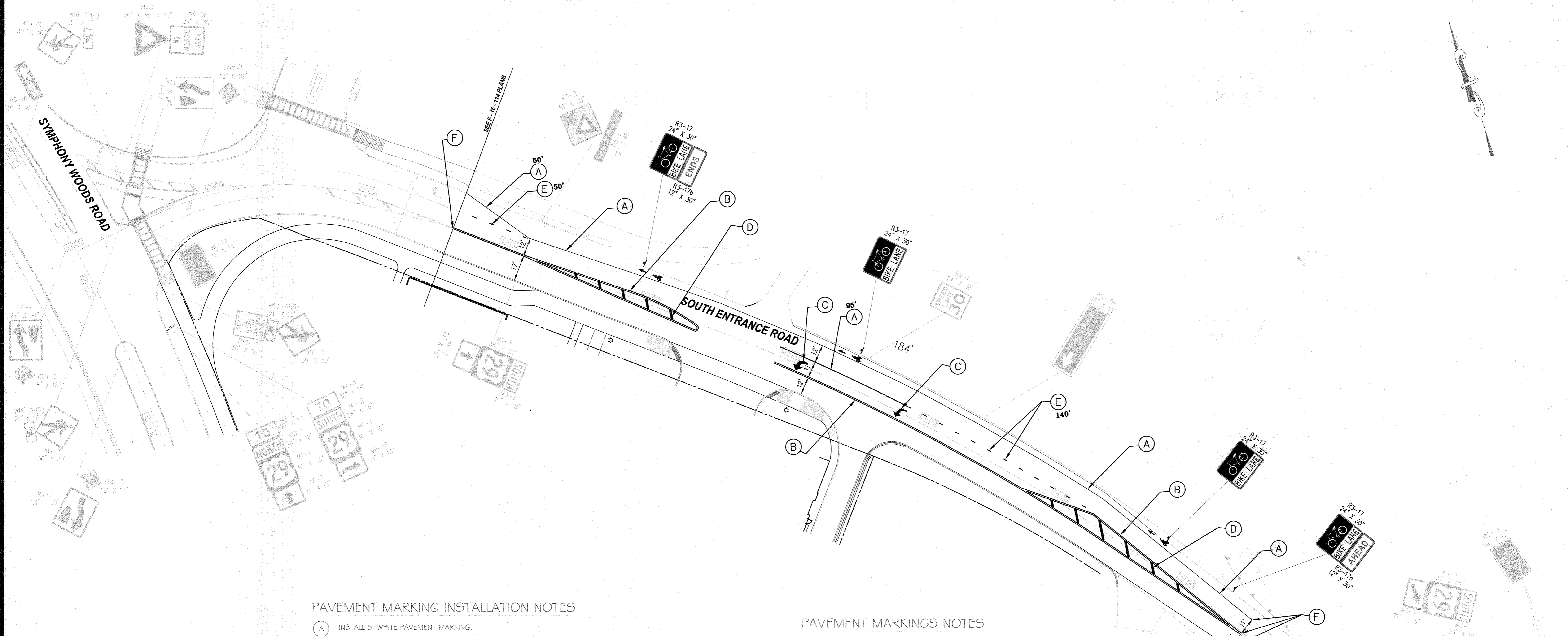
DATE	REVISION	BY	APPR.

PREPARED FOR & OWNER  
TOBY'S GENERAL PARTNERSHIP  
10709 VISTA ROAD  
COLUMBIA, MARYLAND 21044-4223  
ATTN: SCOTT ARMIGER  
410-964-2334

PROFESSIONAL CERTIFICATION  
I HEREBY CERTIFY THAT THESE PLANS  
WERE PREPARED OR APPROVED BY  
ME, AND THAT I AM A DULY LICENSED  
PROFESSIONAL ENGINEER UNDER THE  
LAWS OF THE STATE OF MARYLAND,  
LICENSE NO. 12975  
EXPIRATION DATE: MAY 26, 2024  
6/26/23

UTILITY PROFILES  
THE NEW CULTURAL CENTER  
DOWNTOWN COLUMBIA  
CRESCENT NEIGHBORHOOD, PHASE 2, PARCELS S - GREEN BLDG.  
PN: 24-501-D  
ELECTION DISTRICT No. 5 A RESUBDIVISION OF LOT 1 (PLAT No. 15 Pg. 48) AND PARCELS G, H, & R (PN: 24003) HOWARD COUNTY, MARYLAND

SCALE	ZONING	G. L. W. FILE No.
HORZ. 1"=50' VERT. 1"=5'	NT	15107
DATE	TAX MAP - GRID	SHEET
JUNE, 2023	36 - 8	15 OF 52



**PAVEMENT MARKING INSTALLATION NOTES**

- (A) INSTALL 5" WHITE PAVEMENT MARKING.
- (B) INSTALL 5" DOUBLE YELLOW PAVEMENT MARKING.
- (C) INSTALL WHITE PAVEMENT LEGEND AS SHOWN.
- (D) INSTALL 12" YELLOW PAVEMENT MARKING (45°, 20' SPACING).
- (E) INSTALL 5" WHITE PAVEMENT MARKING (3' SKIP, 9' SPACING).
- (F) TIE INTO EXISTING PAVEMENT MARKINGS.
- (G) INSTALL 12" WHITE PAVEMENT MARKING (45°, 20' SPACING).

**PAVEMENT MARKINGS NOTES**

1. ALL LONG LINES MARKINGS TO BE APPLIED USING THERMOPLASTIC MATERIAL.
2. THE CROSSWALK AND ARROWS TO BE INSTALLED USING PREFORMED HEAT APPLIED TAPE OR THERMOPLASTIC.
3. ALL PAVEMENT MARKINGS ARE TO BE LOCATED OR APPROVED BY THE TRAFFIC DIVISION PRIOR TO THE PLACEMENT OF ANY MARKINGS.
4. ALL EXISTING PAVEMENT MARKING IN CONFLICT WITH THE PROPOSED PAVEMENT MARKINGS ARE TO BE REMOVED BY GRINDING ONLY. HOWARD COUNTY TRAFFIC (410-313-5752) WILL DETERMINE WHICH EXISTING MARKINGS SHALL BE REMOVED.

**SIGNING NOTES**

1. ALL SIGN POSTS USED FOR TRAFFIC CONTROL SIGNS INSTALLED IN THE COUNTY RIGHT-OF-WAY SHALL BE MOUNTED ON A 2" GALVANIZED STEEL, PERFORATED, SQUARE TUBE POST (1 1/4 GAUGE) INSERTED INTO A 2-1/2" GALVANIZED STEEL, PERFORATED, SQUARE TUBE SLEEVE (1 1/2 GAUGE) - 3' LONG. A GALVANIZED STEEL POLE SHALL BE MOUNTED ON TOP OF EACH POST. THE ANCHOR SHALL NOT EXTEND MORE THAN TWO QUICK PUNCH HOLES ABOVE THE GROUND.
2. ALL SIGNS LOCATIONS WITHIN THE PUBLIC RIGHT OF WAY SHALL BE APPROVED BY THE HOWARD COUNTY TRAFFIC DIVISION (410-313-5752) PRIOR TO INSTALLATION.

All final MOT Plan sheets shall be updated with next Redline. Please contact Mark Kouach prior to submission to coordinate final MOT plans.

APPROVED: HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS

*[Signature]* 11/17/2023  
 Chief, Bureau of Highways MK Date

APPROVED  
 PLANNING BOARD OF HOWARD COUNTY

Date: MARCH 1, 2018

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

*[Signature]* 11/20/23  
 Director Date

*[Signature]* 10/23/23  
 Chief, Division of Land Development Date

*[Signature]* 8/21/23  
 Chief, Development Engineering Division Date

**WELLS + ASSOCIATES, INC**

1420 Spring Hill Road, Suite 610, Tysons, Virginia 22102  
 Phone: 703/917-6620 Fax: 703/917-0739

DES. LES	DRN. SAZ	CHK. SAL	DATE	REVISION	BY	APP'R.

PREPARED FOR & OWNER  
 TOBY'S GENERAL PARTNERSHIP  
 10709 VISTA ROAD  
 COLUMBIA, MARYLAND 21044-4223  
 ATTN: SCOTT ARMIGER  
 410-964-2334

**PROFESSIONAL CERTIFICATION**

I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NO. 52720 EXPIRATION DATE: 11/14/2024



SIGNING AND STRIPING PLAN

THE NEW CULTURAL CENTER  
 DOWNTOWN COLUMBIA  
 CRESCENT NEIGHBORHOOD, PHASE 2, PARCELS S

PN: 26160

ELECTION DISTRICT No. 4 RESUBDIVISION OF LOT 1 (PLAT No. 15 Pg. 48) AND PARCELS G & H (PN: 24003) HOWARD COUNTY, MARYLAND

SCALE 1"=30'	ZONING NT	G. L. W. FILE NO. 15107
DATE JUNE, 2023	TAX MAP - GRID 36 - 8	SHEET 16 OF 52

C:\Projects\7001 - 7500\7145A South Entrance Road MOT and S+S Revised Drawings\23.0826 South Entrance Road S+S.dwg

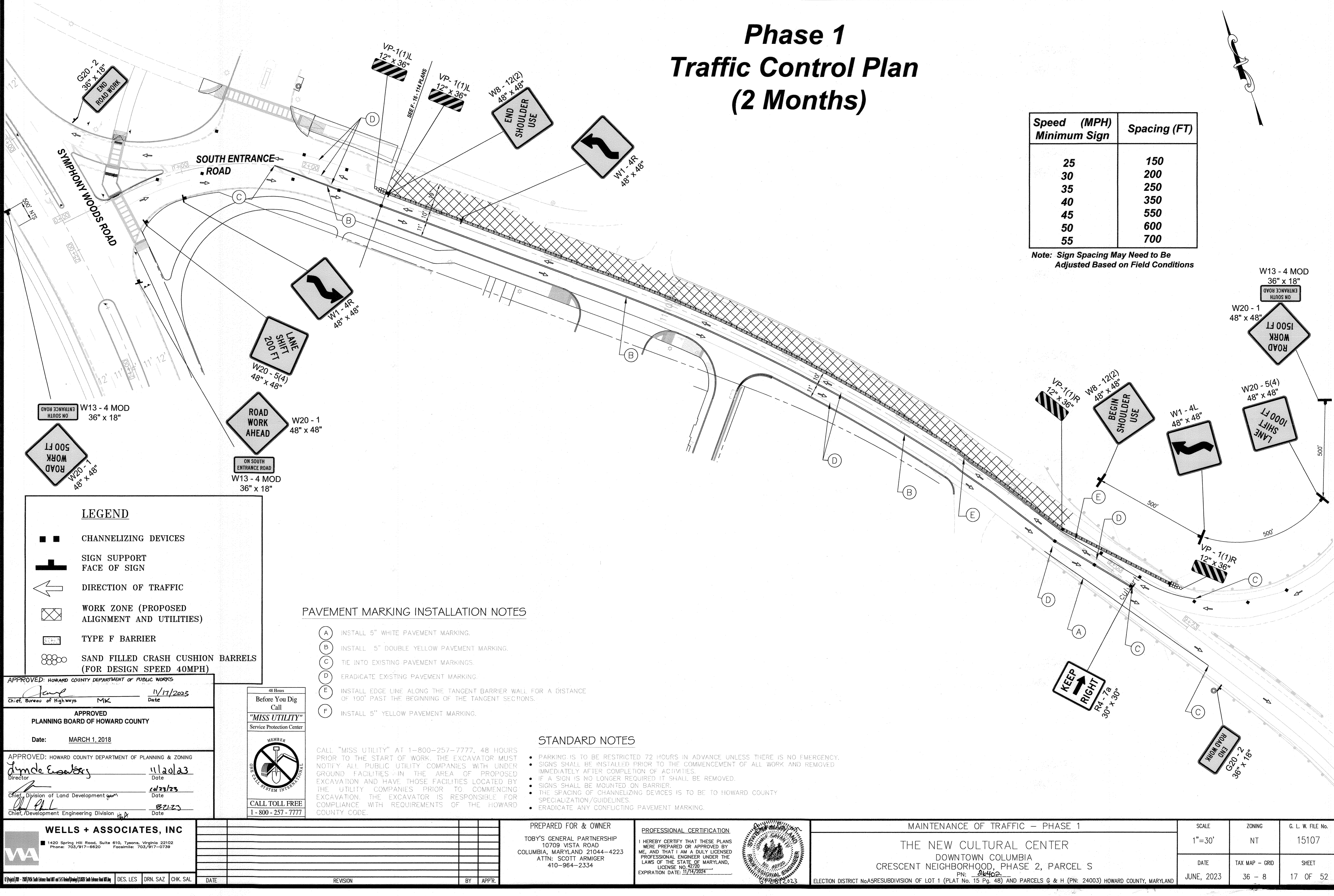
C:\Projects\7001 - 7500\7145A South Entrance Road MOT and S+S Revised Drawings\23.0826 South Entrance Road S+S.dwg



# Phase 1 Traffic Control Plan (2 Months)

Speed (MPH)	Spacing (FT)
25	150
30	200
35	250
40	350
45	550
50	600
55	700

Note: Sign Spacing May Need to Be Adjusted Based on Field Conditions



### LEGEND

- CHANNELIZING DEVICES
- SIGN SUPPORT FACE OF SIGN
- DIRECTION OF TRAFFIC
- WORK ZONE (PROPOSED ALIGNMENT AND UTILITIES)
- TYPE F BARRIER
- SAND FILLED CRASH CUSHION BARRELS (FOR DESIGN SPEED 40MPH)

- ### PAVEMENT MARKING INSTALLATION NOTES
- (A) INSTALL 5" WHITE PAVEMENT MARKING.
  - (B) INSTALL 5" DOUBLE YELLOW PAVEMENT MARKING.
  - (C) TIE INTO EXISTING PAVEMENT MARKINGS.
  - (D) ERADICATE EXISTING PAVEMENT MARKING.
  - (E) INSTALL EDGE LINE ALONG THE TANGENT BARRIER WALL FOR A DISTANCE OF 100' PAST THE BEGINNING OF THE TANGENT SECTIONS.
  - (F) INSTALL 5" YELLOW PAVEMENT MARKING.

- ### STANDARD NOTES
- PARKING IS TO BE RESTRICTED 72 HOURS IN ADVANCE UNLESS THERE IS NO EMERGENCY.
  - SIGNS SHALL BE INSTALLED PRIOR TO THE COMMENCEMENT OF ALL WORK AND REMOVED IMMEDIATELY AFTER COMPLETION OF ACTIVITIES.
  - IF A SIGN IS NO LONGER REQUIRED IT SHALL BE REMOVED.
  - SIGNS SHALL BE MOUNTED ON BARRIER.
  - THE SPACING OF CHANNELIZING DEVICES IS TO BE TO HOWARD COUNTY SPECIALIZATION/GUIDELINES.
  - ERADICATE ANY CONFLICTING PAVEMENT MARKING.

APPROVED: HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS  
 Chief, Bureau of Highways MK 11/17/2023  
 Date

APPROVED  
 PLANNING BOARD OF HOWARD COUNTY  
 Date: MARCH 1, 2018

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING  
 Director 4/12/2023  
 Date

Chief, Division of Land Development 4/23/23  
 Date

Chief, Development Engineering Division 8/21/23  
 Date

48 Hours  
 Before You Dig  
 Call  
 "MISS UTILITY"  
 Service Protection Center

MEMBER  
 MISS UTILITY  
 SERVICE PROTECTION CENTER

CALL TOLL FREE  
 1-800-257-7777

**WELLS + ASSOCIATES, INC**  
 1420 Spring Hill Road, Suite 610, Tysons, Virginia 22102  
 Phone: 703/917-8920 Fax: 703/917-0728

REVISION	DATE	BY	APPR.

PREPARED FOR & OWNER  
 TOBY'S GENERAL PARTNERSHIP  
 10709 VISTA ROAD  
 COLUMBIA, MARYLAND 21044-4223  
 ATTN: SCOTT ARMIGER  
 410-964-2334

PROFESSIONAL CERTIFICATION  
 I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 92720  
 EXPIRATION DATE: 11/14/2024

MAINTENANCE OF TRAFFIC -- PHASE 1  
 THE NEW CULTURAL CENTER  
 DOWNTOWN COLUMBIA  
 CRESCENT NEIGHBORHOOD, PHASE 2, PARCEL S  
 ELECTION DISTRICT No. 45 RESUBDIVISION OF LOT 1 (PLAT No. 15 Pg. 48) AND PARCELS G & H (PN: 24003) HOWARD COUNTY, MARYLAND

SCALE	ZONING	G. L. W. FILE No.
1"=30'	NT	15107
DATE	TAX MAP - GRID	SHEET
JUNE, 2023	36 - 8	17 OF 52

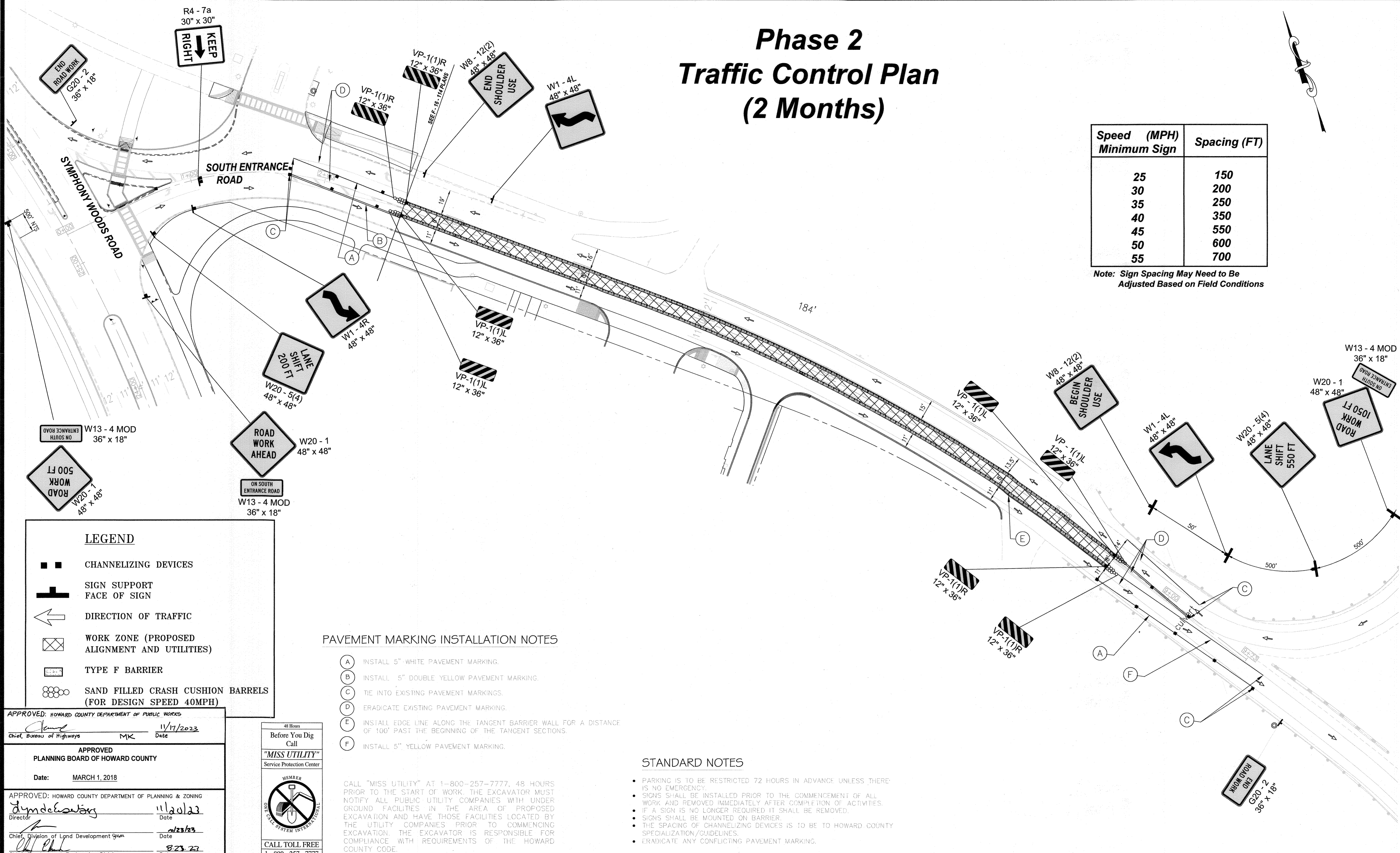
G:\Projects\7001 - 7500\7145A South Entrance Road MOT and S+S Revised\Drawings\23-0626 South Entrance Road MOT.dwg  
 PLOTTED: 6/28/2023 12:20 PM, LAST SAVED: 6/28/2023 12:19 PM, PLOTTED BY: Hanna M. Prosser

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# Phase 2 Traffic Control Plan (2 Months)

Speed (MPH)	Spacing (FT)
25	150
30	200
35	250
40	350
45	550
50	600
55	700

Note: Sign Spacing May Need to Be Adjusted Based on Field Conditions



### LEGEND

- CHANNELIZING DEVICES
- SIGN SUPPORT
- FACE OF SIGN
- DIRECTION OF TRAFFIC
- WORK ZONE (PROPOSED ALIGNMENT AND UTILITIES)
- TYPE F BARRIER
- SAND FILLED CRASH CUSHION BARRELS (FOR DESIGN SPEED 40MPH)

### PAVEMENT MARKING INSTALLATION NOTES

- (A) INSTALL 5" WHITE PAVEMENT MARKING.
- (B) INSTALL 5" DOUBLE YELLOW PAVEMENT MARKING.
- (C) TIE INTO EXISTING PAVEMENT MARKINGS.
- (D) ERADICATE EXISTING PAVEMENT MARKING.
- (E) INSTALL EDGE LINE ALONG THE TANGENT BARRIER WALL FOR A DISTANCE OF 100' PAST THE BEGINNING OF THE TANGENT SECTIONS.
- (F) INSTALL 5" YELLOW PAVEMENT MARKING.

### STANDARD NOTES

- PARKING IS TO BE RESTRICTED 72 HOURS IN ADVANCE UNLESS THERE IS NO EMERGENCY.
- SIGNS SHALL BE INSTALLED PRIOR TO THE COMMENCEMENT OF ALL WORK AND REMOVED IMMEDIATELY AFTER COMPLETION OF ACTIVITIES.
- IF A SIGN IS NO LONGER REQUIRED IT SHALL BE REMOVED.
- SIGNS SHALL BE MOUNTED ON BARRIER.
- THE SPACING OF CHANNELIZING DEVICES IS TO BE TO HOWARD COUNTY SPECIALIZATION/GUIDELINES.
- ERADICATE ANY CONFLICTING PAVEMENT MARKING.

APPROVED: HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS

*[Signature]* 11/17/2023  
Chief, Bureau of Highways MK Date

APPROVED  
PLANNING BOARD OF HOWARD COUNTY

Date: MARCH 1, 2018

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

*[Signature]* 11/20/23  
Director Date

*[Signature]* 11/23/23  
Chief, Division of Land Development Date

*[Signature]* 8/23/23  
Chief, Development Engineering Division Date

48 Hours  
Before You Dig  
Call  
"MISS UTILITY"  
Service Protection Center

MEMBER  
ONE CALL SYSTEM INTERNATIONAL

CALL TOLL FREE  
1-800-257-7777

**WELLS + ASSOCIATES, INC**

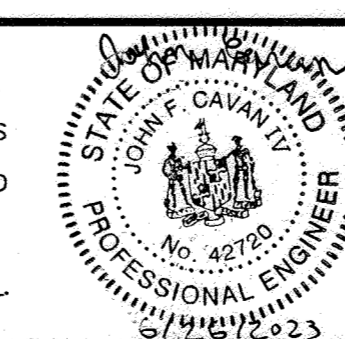
1420 Spring Hill Road, Suite 610, Tysons, Virginia 22102  
Phone: 703/917-8820 Fax: 703/917-0738

PREPARED FOR & OWNER

TOBY'S GENERAL PARTNERSHIP  
10709 VISTA ROAD  
COLUMBIA, MARYLAND 21044-4223  
ATTN: SCOTT ARMIGER  
410-964-2334

PROFESSIONAL CERTIFICATION

I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 42720  
EXPIRATION DATE: 11/14/2024



MAINTENANCE OF TRAFFIC - PHASE 2

THE NEW CULTURAL CENTER  
DOWNTOWN COLUMBIA  
CRESCENT NEIGHBORHOOD, PHASE 2, PARCEL S

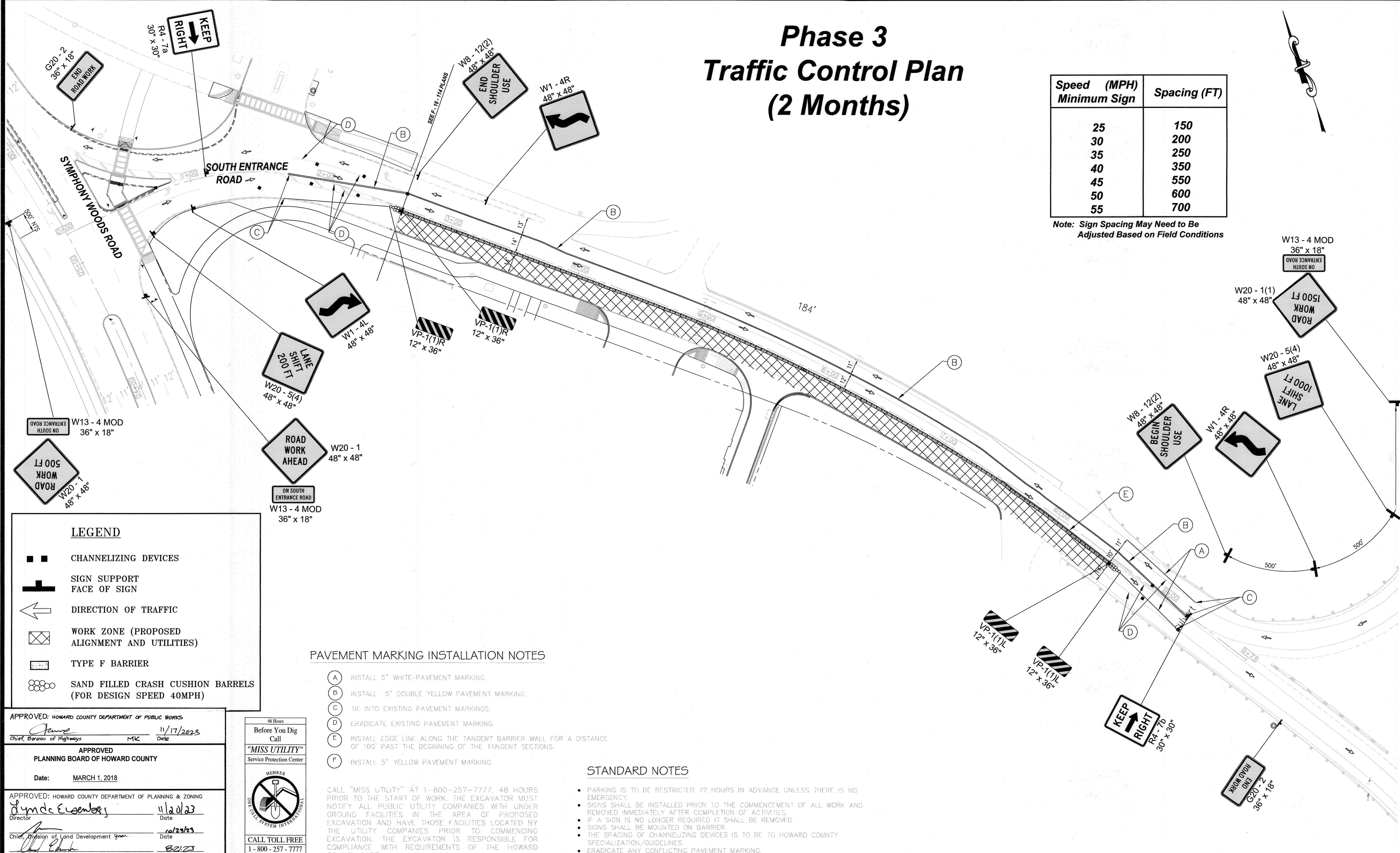
ELECTION DISTRICT No. 45 RESUBDIVISION OF LOT 1 (PLAT No. 15 Pg. 48) AND PARCELS G & H (PN: 24003) HOWARD COUNTY, MARYLAND

SCALE	ZONING	G. L. W. FILE No.
1"=30'	NT	15107
DATE	TAX MAP - GRID	SHEET
JUNE, 2023	36 - 8	18 OF 52

# Phase 3 Traffic Control Plan (2 Months)

Speed (MPH)	Spacing (FT)
25	150
30	200
35	250
40	350
45	550
50	600
55	700

Note: Sign Spacing May Need to Be Adjusted Based on Field Conditions



### LEGEND

- CHANNELIZING DEVICES
- ⊥ SIGN SUPPORT FACE OF SIGN
- ← DIRECTION OF TRAFFIC
- ⊗ WORK ZONE (PROPOSED ALIGNMENT AND UTILITIES)
- ▬ TYPE F BARRIER
- SAND FILLED CRASH CUSHION BARRELS (FOR DESIGN SPEED 40MPH)

APPROVED: HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS  
 Chief, Bureau of Highways: *MK* Date: 11/17/2023

APPROVED: PLANNING BOARD OF HOWARD COUNTY  
 Date: MARCH 1, 2018

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING  
 Director: *Lyndee Eusebery* Date: 11/20/23

Chief, Division of Land Development: *Heck* Date: 11/23/23

Chief, Development Engineering Division: *Heck* Date: 11/23/23

48 Hours  
 Before You Dig  
 Call  
 "MISS UTILITY"  
 Service Protection Center

MEMBER  
 800-CALL-911-8888

CALL TOLL FREE  
 1-800-257-7777

- ### PAVEMENT MARKING INSTALLATION NOTES
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  - (B) INSTALL 5" DOUBLE YELLOW PAVEMENT MARKING.
  - (C) TIE INTO EXISTING PAVEMENT MARKINGS.
  - (D) ERADICATE EXISTING PAVEMENT MARKING.
  - (E) INSTALL EDGE LINE ALONG THE TANGENT BARRIER WALL FOR A DISTANCE OF 100' PAST THE BEGINNING OF THE TANGENT SECTIONS.
  - (F) INSTALL 5" YELLOW PAVEMENT MARKING.

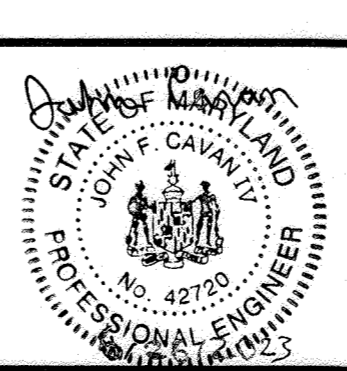
- ### STANDARD NOTES
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  - ERADICATE ANY CONFLICTING PAVEMENT MARKING.

**WELLS + ASSOCIATES, INC**  
 1420 Spring Hill Road, Suite 610, Tysons, Virginia 22102  
 Phone: 703/917-8820 Fax: 703/917-0739

DES. LES	DRN. SAZ	CHK. SAL	DATE	REVISION	BY	APPR.

PREPARED FOR & OWNER  
 TOBY'S GENERAL PARTNERSHIP  
 10709 VISTA ROAD  
 COLUMBIA, MARYLAND 21044-4223  
 ATTN: SCOTT ARMIGER  
 410-964-2334

PROFESSIONAL CERTIFICATION  
 I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 42720  
 EXPIRATION DATE: 11/14/2024



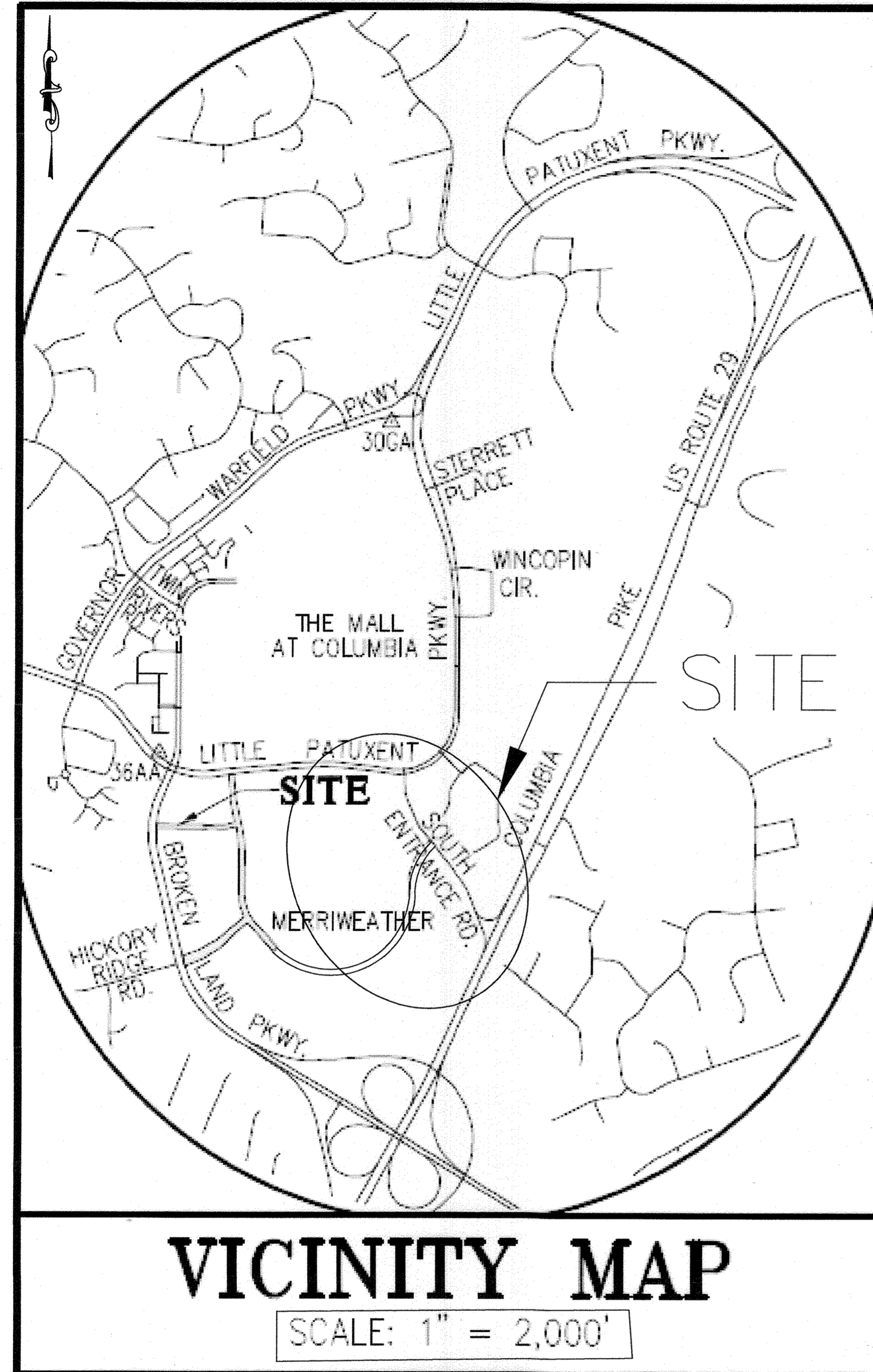
MAINTENANCE OF TRAFFIC - PHASE 3  
 THE NEW CULTURAL CENTER  
 DOWNTOWN COLUMBIA  
 CRESCENT NEIGHBORHOOD, PHASE 2, PARCEL S  
 ELECTION DISTRICT No. 45 RESUBDIVISION OF LOT 1 (PLAT No. 15 Pg. 48) AND PARCELS G & H (P.N.: 24003) HOWARD COUNTY, MARYLAND

SCALE	ZONING	G. L. W. FILE No.
1"=30'	NT	15107
DATE	TAX MAP - GRID	SHEET
JUNE, 2023	36 - 8	19 OF 52

C:\Projects\7001 - 7500\7145A South Entrance Road MOT and S+S Revised\Drawings\23-0626 South Entrance Road MOT.dwg, PLOTTED: 06/26/2023 12:20 PM, LAST SAVED: 6/26/2023 12:19 PM, PLOTTED BY: Hanna M. Pogrepu

C:\Projects\7001 - 7500\7145A South Entrance Road MOT and S+S Revised\Drawings\23-0626 South Entrance Road MOT.dwg

# TRAFFIC CONTROL NOTES



1. ALL TEMPORARY TRAFFIC SIGNS, BARRICADES AND OTHER TRAFFIC CONTROL DEVICES USED FOR MAINTENANCE OF TRAFFIC SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MARYLAND MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, AND THE MARYLAND STATE HIGHWAY ADMINISTRATION (MDSHA) BOOK OF STANDARDS AND SPECIFICATIONS.
2. ALL TEMPORARY TRAFFIC SIGNS SHALL BE INSTALLED IN ACCORDANCE TO MARYLAND DEPARTMENT OF TRANSPORTATION STATE HIGHWAY ADMINISTRATION STANDARD SPECIFICATIONS FOR CONSTRUCTION ON MATERIALS, SECTION 104.08
3. WARNING SIGNS SHALL BE PLACED SO THAT THEY DO NOT OBSTRUCT EXISTING TRAFFIC CONTROL DEVICES.
4. ANY CORRECTIONS, MODIFICATIONS, OR ADDITIONS TO THE PLAN SHALL BE APPROVED BY HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS, TRAFFIC DIVISION.
5. MISS UTILITY SHALL BE NOTIFIED PRIOR TO PLACEMENT OF SIGNING, IF MOUNTING ON POSTS.
6. HOWARD COUNTY BUREAU OF ENGINEERING/TRANSPORTATION PROJECTS DIVISION (410-313-2014) SHALL BE NOTIFIED 24 HOURS PRIOR TO ANY WORK.
7. THE HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS TRAFFIC DIVISION RESERVES THE RIGHT TO MODIFY OR ADJUST THE PLAN TO FIT SITE CONDITIONS AT ANY TIME.
8. SIGN INSTALLATION SHALL NOT LAST ANY LONGER THAN 15 MINUTES PER LOCATION. IF LONGER THAN 15 MINUTES APPROPRIATE TRAFFIC CONTROL AND PERMITS SHALL BE USED.
9. ALL SIGNS SHALL CONFORM TO CURRENT MDSHA MATERIAL AND REFLECTIVITY REQUIREMENTS.
10. ACCESS SHALL BE MAINTAINED TO ALL DRIVEWAYS UNLESS PERMISSION FOR CLOSURE IS GRANTED BY THE PROPERTY OWNER/MANAGER. HOWEVER, ACCESSIBILITY FOR EMERGENCY VEHICLES SHALL BE MAINTAINED AT ALL TIMES.
11. ALL TRAFFIC CONTROL DEVICES SHALL BE REMOVED FROM VIEW TO ONCOMING TRAFFIC WHEN NOT IN USE.
12. NO HAZARDOUS MATERIALS SHALL BE STORED WITHIN THE PUBLIC RIGHT-OF-WAY.
13. ANY TEMPORARY TRAFFIC SIGNING AND MARKINGS THAT MAY CONFLICT WITH NORMAL TRAFFIC FLOW SHALL BE REMOVED OR COVERED AT THE END OF EACH DAY DURING CONSTRUCTION ON THIS PROJECT.
14. ALL EXISTING TRAFFIC CONTROL DEVICES THAT MUST BE REMOVED SHALL BE REPLACED IN THEIR PROPER LOCATION PRIOR TO THE COMPLETION OF THE PROJECT. COST FOR THE REPLACEMENT AND/OR REPAIR OF DEVICES DAMAGED AS A RESULT OF THE PROJECT SHALL BE ASSESSED TO THE CONTRACTOR.
15. AT THE COMPLETION OF THE PERMITTED WORK ACTIVITY, CONDITIONS WITHIN THE PUBLIC SPACE SHALL BE FULLY RESTORED TO THOSE WHICH EXISTED PRIOR TO THE WORK ACTIVITY.
16. WHEN PAVEMENT MARKINGS HAVE BEEN OBLITERATED BY THE WORK ACTIVITY, THE CONTRACTOR SHALL INSTALL ANY CRITICAL INTERIM PAVEMENT MARKING PRIOR TO THE END OF THE WORK DAY.
17. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ALL TRAFFIC CONTROL DEVICES. AT ANYTIME THE CONTRACTOR DOES NOT MAKE NECESSARY REPAIRS WITHIN 24 HOURS OF NOTIFICATION, APPROXIMATE WORK TIME REDUCTION AND/OR FINES MAY APPLY.
18. ALL WORK WITHIN PUBLIC RIGHT OF WAY AND/OR LANE CLOSURE MUST ONLY BE PERFORMED DURING THE HOURS OF 9AM TO 3PM.
19. NO LANE CLOSURES PERMITTED DURING SPECIAL MERRIWEATHER EVENTS AND CONCERTS AND MAJOR HOLIDAYS.
20. THE CONTRACTOR AND/OR THE DEVELOPER MUST COORDINATE WITH MERRIWEATHER POST PAVILION DURING SPECIAL EVENTS AND CONCERTS. WORK MUST BE RESTRICTED TO AVOID CONFLICTS DURING THESE TIMES, AS DETERMINED BY HOWARD COUNTY TRAFFIC DIVISION.
21. FOR THE SAND FILLED CRASH CUSHION SELECTION AND BARRIER FLARE SECTION SEE MD 104.01-23B AND MD 104.01-71.

APPROVED: HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS  
*Champe* 11/17/2023  
 Chief, Bureau of Highways MK Date

APPROVED  
 PLANNING BOARD OF HOWARD COUNTY  
 Date: MARCH 1, 2018

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING  
*Lynne de Esobry* 11/20/23  
 Director Date

*[Signature]* 11/23/23  
 Chief, Division of Land Development Date

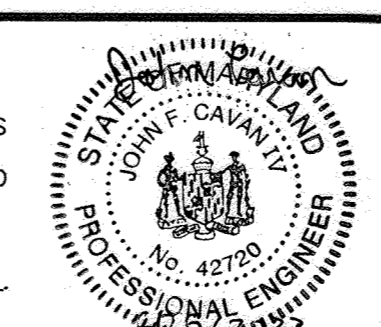
*[Signature]* 8/21/23  
 Chief, Development Engineering Division Date

**WELLS + ASSOCIATES, INC**  
 1420 Spring Hill Road, Suite 610, Tysons, Virginia 22102  
 Phone: 703/917-6620 Facsimile: 703/917-0739

REVISION	DATE	BY	APPR.

PREPARED FOR & OWNER  
 TOBY'S GENERAL PARTNERSHIP  
 10709 VISTA ROAD  
 COLUMBIA, MARYLAND 21044-4223  
 ATTN: SCOTT ARMIGER  
 410-964-2334

PROFESSIONAL CERTIFICATION  
 I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 42720  
 EXPIRATION DATE: 11/14/2024



MAINTENANCE OF TRAFFIC  
 THE NEW CULTURAL CENTER  
 DOWNTOWN COLUMBIA  
 CRESCENT NEIGHBORHOOD, PHASE 2, PARCEL S,  
 PN: *Slutka*  
 ELECTION DISTRICT No. 4 SUBDIVISION OF LOT 1 (PLAT No. 15 Pg. 48) AND PARCELS G & H (PN: 24003) HOWARD COUNTY, MARYLAND

SCALE	ZONING	G. L. W. FILE No.
1"=XX'	NT	15107
DATE	TAX MAP - GRID	SHEET
JUNE, 2023	36 - 8	20 OF 52

**LANDSCAPE NOTES**

1. THIS PLAN WAS PREPARED ACCORDING TO THE ALTERNATIVE COMPLIANCE SECTION OF THE LANDSCAPE MANUAL. THE LANDSCAPE PLANS HAVE BEEN PREPARED BY A REGISTERED LANDSCAPE ARCHITECT AND ARE CERTIFIED TO MEET THE DESIGN INTENT OF THE CRESCENT NEIGHBORHOOD DESIGN GUIDELINES.


2. FINANCIAL SURETY FOR REQUIRED PLANTING HAS BEEN POSTED IN THE AMOUNT OF \$17,400 FOR THE 12 SHADE TREES (\$300 ea.), 20 ORNAMENTAL/EVERGREEN TREES (\$150 ea.), AND 360 SHRUBS (\$30 ea.) (PLEASE NOTE THAT SURETY WOULD BE FOR ALL TREES AND SHRUBS OUTSIDE OF THE BIORETENTION.)

3. FINANCIAL SURETY FOR TREES TO BE PLANTED IN THE SYMPHONY WOODS ROAD RIGHT-OF-WAY WILL BE POSTED WITH THE COST ESTIMATE WITH THE DPW DEVELOPER'S AGREEMENT (6 STREET TREES @ \$300 EACH).




4. AT THE TIME OF PLANT INSTALLATION, ALL SHRUBS AND TREES LISTED AND APPROVED ON THE LANDSCAPE PLAN SHALL COMPLY WITH THE PROPER HEIGHT REQUIREMENT IN ACCORDANCE WITH THE HOWARD COUNTY LANDSCAPE MANUAL. IN ADDITION, NO SUBSTITUTIONS OR RELOCATIONS OF THE REQUIRED PLANTINGS MAY BE MADE WITHOUT PRIOR REVIEW AND APPROVAL FROM THE DEPARTMENT OF PLANNING AND ZONING. ANY DEVIATION FROM THE APPROVED LANDSCAPE PLAN MAY RESULT IN DENIAL OR DELAY IN THE RELEASE OF THE LANDSCAPE SURETY UNTIL SUCH TIME AS ALL REQUIRED MATERIALS ARE PLANTED AND/OR REVISIONS ARE MADE TO THE APPLICABLE PLANS.

5. THE OWNER, TENANTS AND/OR THEIR AGENTS SHALL BE RESPONSIBLE FOR MAINTENANCE OF THE REQUIRED LANDSCAPING INCLUDING PLANT MATERIALS AND BERMS, FENCES AND WALLS. ALL PLANT MATERIALS SHALL BE MAINTAINED IN GOOD GROWING CONDITION, AND WHEN NECESSARY, REPLACED WITH NEW MATERIALS TO ENSURE CONTINUED COMPLIANCE WITH APPLICABLE REGULATIONS. ALL OTHER REQUIRED LANDSCAPING SHALL BE PERMANENTLY MAINTAINED IN GOOD CONDITION, AND WHEN NECESSARY REPAIRED OR REPLACED.

**DOWNTOWN COMMUNITY COMMONS**

 TOTAL DOWNTOWN COMMUNITY COMMONS: 8,082 SF  
(2) AREAS: 5,205 SF + 2,877 SF

**SIGNAGE LEGEND** PER PAGE 129 OF CNDG

-  PEDESTRIAN DIRECTIONAL SIGNAGE
-  VEHICULAR DIRECTIONAL SIGNAGE
-  MULTI-USE PATH SIGNAGE

REF. PLANS L101A, L101B, L101C & DETAILS ON L205

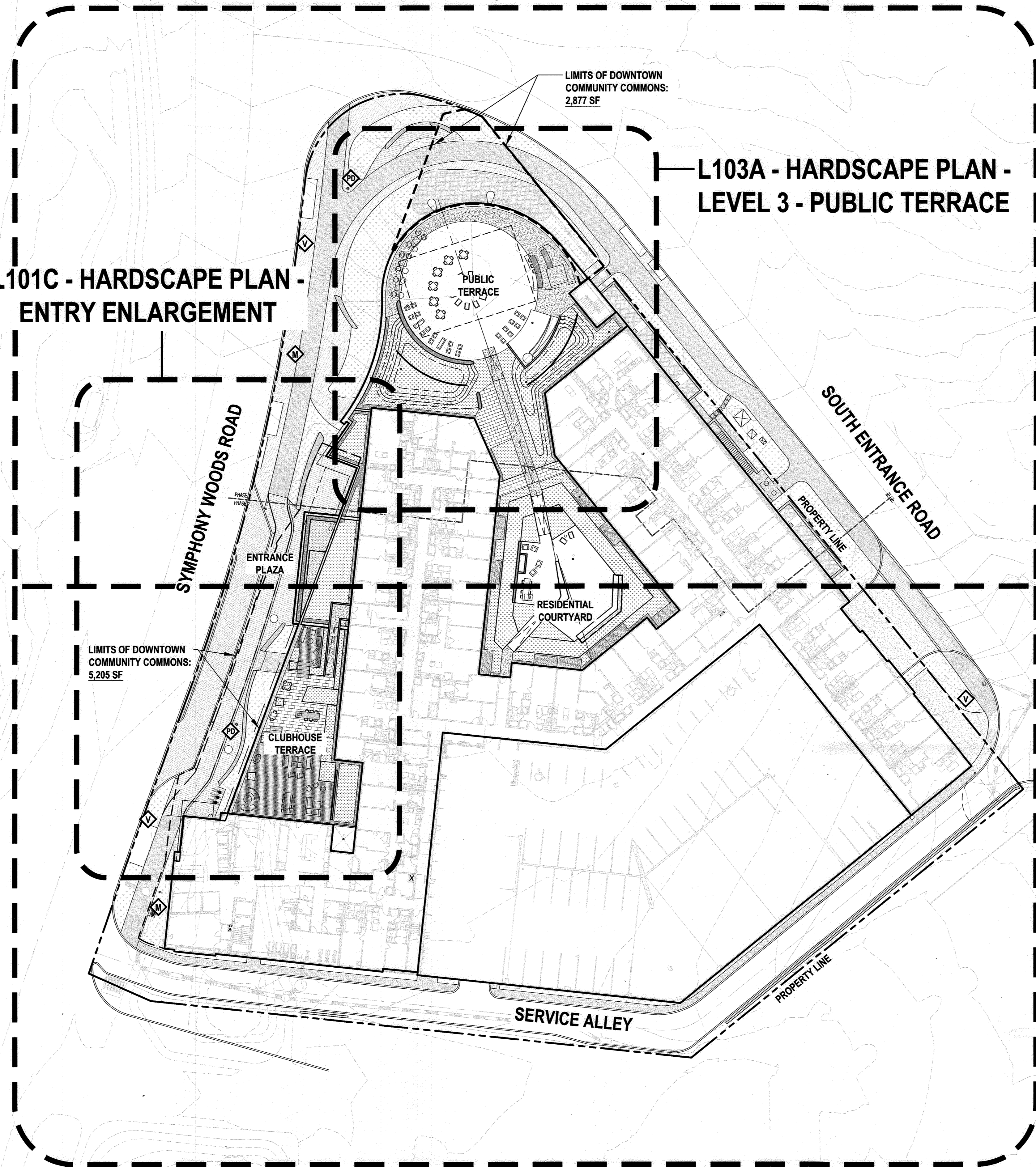
REF. ROAD PLANS F-16-114 FOR SUPPLEMENTARY INFORMATION

**L101C - HARDSCAPE PLAN - ENTRY ENLARGEMENT**

**L101A - HARDSCAPE PLAN - GROUND LEVEL A**

**L103A - HARDSCAPE PLAN - LEVEL 3 - PUBLIC TERRACE**

**L101B - HARDSCAPE PLAN - GROUND LEVEL B**



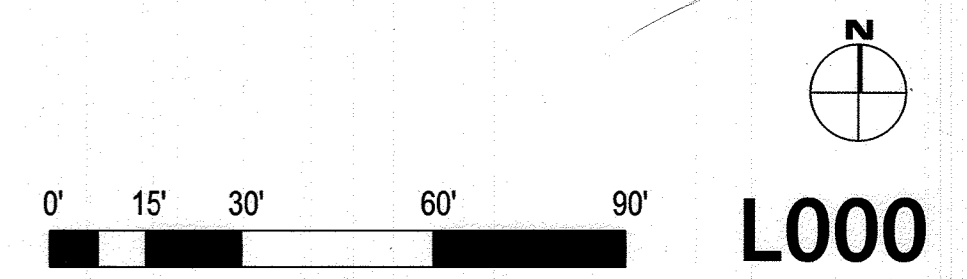
LIMITS OF DOWNTOWN COMMUNITY COMMONS: 2,877 SF

LIMITS OF DOWNTOWN COMMUNITY COMMONS: 5,205 SF



**CERTIFICATION NOTE:**  
I/WE CERTIFY THAT THE LANDSCAPING SHOWN ON THIS PLAN WILL BE DONE ACCORDING TO THE PLAN, SECTION 16.124 OF THE HOWARD COUNTY CODE, THE LANDSCAPE MANUAL FOR NEW TOWN ALTERNATIVE COMPLIANCE, AND THE CRESCENT PHASE 2 NEIGHBORHOOD DESIGN GUIDELINES, RECORDED AS BOOK 17559, PAGE 202 ADOPTED FOR THE SUBJECT PROPERTY. I/WE FURTHER CERTIFY THAT UPON COMPLETION A LETTER OF LANDSCAPE INSTALLATION, ACCOMPANIED BY AN EXECUTED ONE YEAR GUARANTEE OF PLANT MATERIALS, WILL BE SUBMITTED TO THE DEPARTMENT OF PLANNING AND ZONING.

DEVELOPER'S/OWNER'S NAME  
*L. Scott Armiger*  
DEVELOPER'S/OWNER'S NAME  
L. SCOTT ARMIGER



<b>APPROVED</b>	
PLANNING BOARD OF HOWARD COUNTY	
Date:	3/1/18
APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING	
<i>Amde Eisenberg</i> Director	4/20/23 Date
<i>[Signature]</i> Chief, Division of Land Development	4/23/23 Date
<i>[Signature]</i> Chief, Development Engineering Division	8/21/23 Date

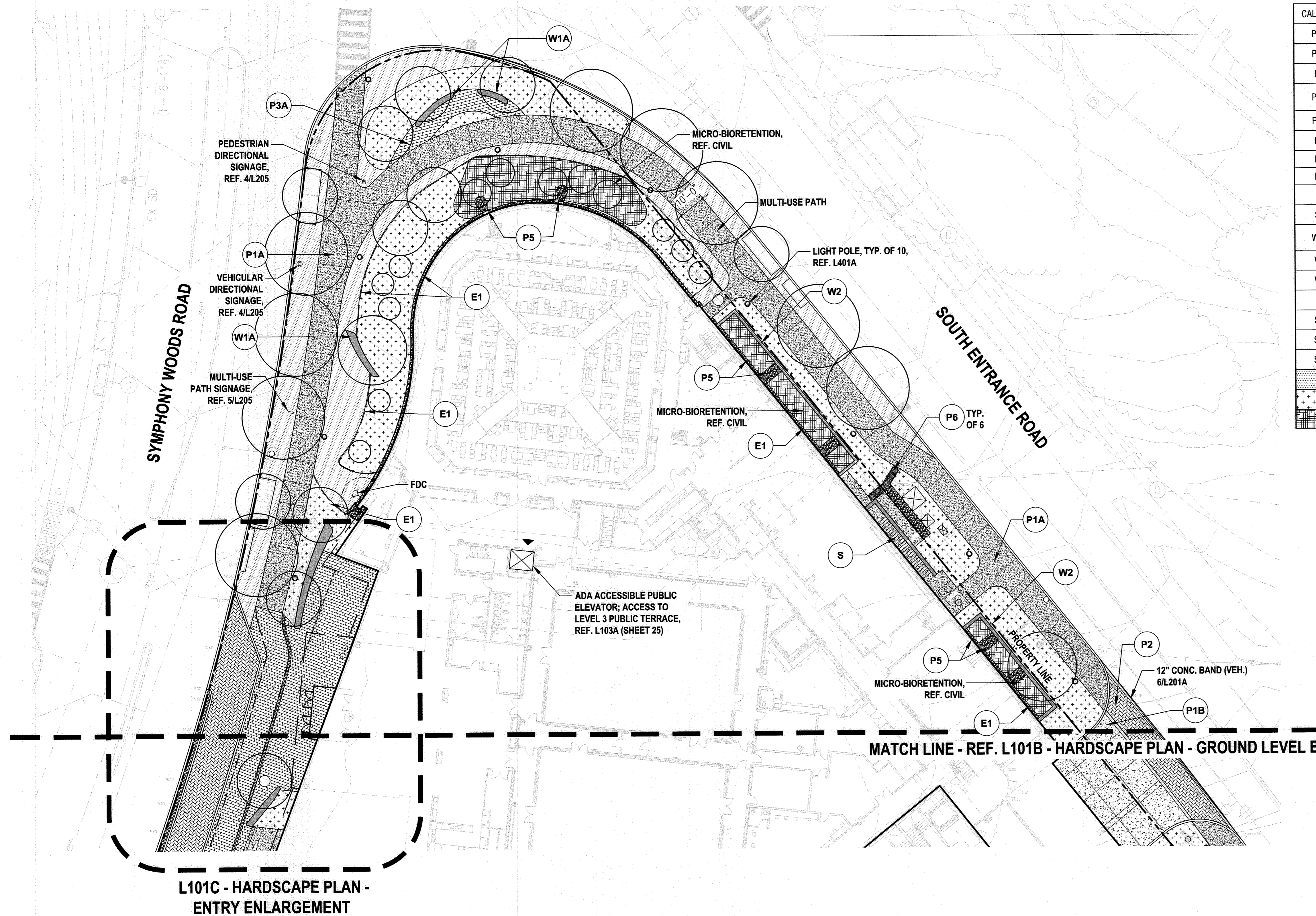
<b>DESIGN COLLECTIVE</b>	
ARCHITECTURE, PLANNING, INTERIORS WWW.DESIGNCOLLECTIVE.COM	601 EAST PRATT STREET, SUITE 300 BALTIMORE, MARYLAND 21202 T: 410.685.6655 F: 410.539.6242
DES. BR.	DRN. MM
CHK. AD.	DATE
REVISION	BY
APPR.	

PREPARED FOR & OWNER PARCEL S  
TOBY'S GENERAL PARTNERSHIP  
10709 VISTA ROAD  
COLUMBIA, MARYLAND 21044-4223  
ATTN: SCOTT ARMIGER  
410-964-2334

LANDSCAPE KEY PLAN		
<b>THE NEW CULTURAL CENTER</b>		
DOWNTOWN COLUMBIA		
CRESCENT NEIGHBORHOOD, PHASE 2, PARCEL S - GREEN BLDG.		
PN: 2403		
ELECTION DISTRICT No. 5	A RESUBDIVISION OF LOT 1 (PLAT No. 15 Pg. 48) AND PARCELS G & H (PN: 24003)	HOWARD COUNTY, MARYLAND

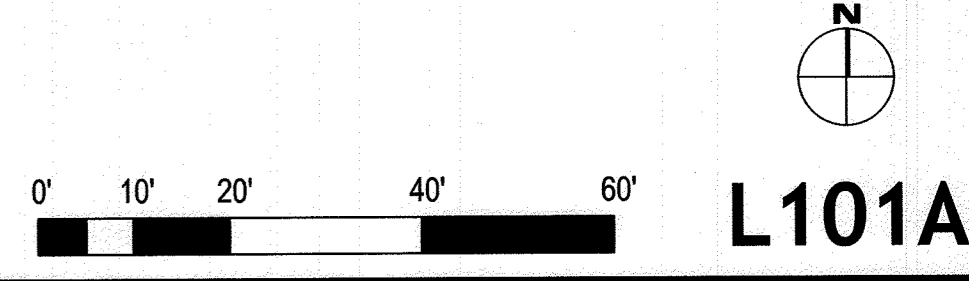
SCALE	ZONING	FILE No.
1" = 30'	NT	
DATE	TAX MAP - GRID	SHEET
JUNE, 2023	36 - 8	21 OF 52

CALLOUT	DETAIL	DESCRIPTION
P1A	1/L201A	CONCRETE - PEDESTRIAN
P1B	2/L201A	CONCRETE - VEHICULAR
P2	4/L201A	CONCRETE UNIT PAVER - VEHICULAR
P3A	5/L201A	PORCELAIN TILE - MATRIX
P3B	5/L201A	PORCELAIN TILE - BAND
P4	8/L201A	GRANITE COBBLE
P5	3/L204	DECORATIVE RIVER STONE
P6	9/L201A	CONCRETE STEPPERS
E1		EDGING TYPE 1
S0		SOIL CELL
W1A	2/L206	SEATWALL - STONE
W2	2/L204	WALL - BIOPLANTER
W3	3/L203	WALL - RETAINING
S	1/L202	STAIR
SF1	2/L205	WASTE + RECYCLING RECEPTACLE
SF2	3/L205	BICYCLE RACK
SF4	6/L205	WOOD BENCH
		PLANTING - LAWN
		PLANTING - UNDERSTORY
		PLANTING - SWM



**CERTIFICATION NOTE:**  
 I/WE CERTIFY THAT THE LANDSCAPING SHOWN ON THIS PLAN WILL BE DONE ACCORDING TO THE PLAN, SECTION 16.124 OF THE HOWARD COUNTY CODE, THE LANDSCAPE MANUAL FOR NEW TOWN ALTERNATIVE COMPLIANCE, AND THE CRESCENT PHASE 2 NEIGHBORHOOD DESIGN GUIDELINES, RECORDED AS BOOK 17559, PAGE 202 ADOPTED FOR THE SUBJECT PROPERTY. I/WE FURTHER CERTIFY THAT UPON COMPLETION A LETTER OF LANDSCAPE INSTALLATION, ACCOMPANIED BY AN EXECUTED ONE YEAR GUARANTEE OF PLANT MATERIALS, WILL BE SUBMITTED TO THE DEPARTMENT OF PLANNING AND ZONING.

DEVELOPER'S/OWNER'S NAME  
*L. Scott Armiger*  
 DEVELOPER'S/OWNER'S NAME  
 L. SCOTT ARMIGER



**APPROVED**  
 PLANNING BOARD OF HOWARD COUNTY  
 Date: 3/1/18

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING  
*D. M. de Eugenio* 11/20/23  
 Director Date

*[Signature]* 11/23/23  
 Chief, Division of Land Development Date

*[Signature]* 8/21/23  
 Chief, Development Engineering Division Date

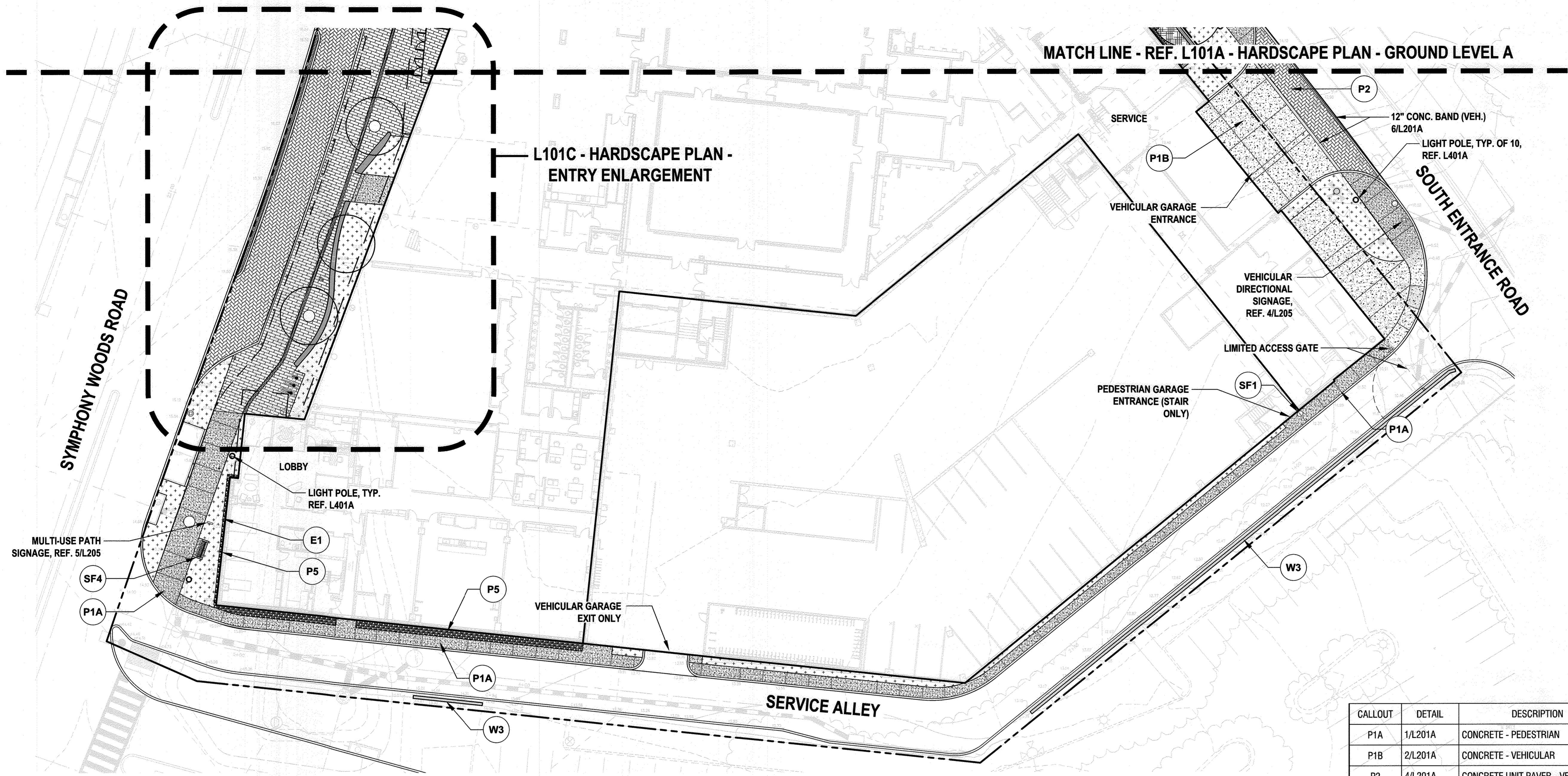
**DESIGN COLLECTIVE**  
 ARCHITECTURE, PLANNING, INTERIORS  
 WWW.DESIGNCOLLECTIVE.COM  
 601 EAST PRATT STREET, SUITE 300  
 BALTIMORE, MARYLAND 21202  
 T: 410.685.6655 F: 410.539.6242

DES. BR	DRN. MM	CHK. AD	DATE	REVISION	BY	APP'R.

PREPARED FOR & OWNER PARCEL S  
 TOBY'S GENERAL PARTNERSHIP  
 10709 VISTA ROAD  
 COLUMBIA, MARYLAND 21044-4223  
 ATTN: SCOTT ARMIGER  
 410-964-2334

**HARDSCAPE PLAN - GROUND LEVEL A**  
 THE NEW CULTURAL CENTER  
 DOWNTOWN COLUMBIA  
 CRESCENT NEIGHBORHOOD, PHASE 2, PARCEL S - GREEN BLDG.  
 PN: *2018*  
 ELECTION DISTRICT No. 5 A RESUBDIVISION OF LOT 1 (PLAT No. 15 Pg. 48) AND PARCELS G & H (PN: 24003) HOWARD COUNTY, MARYLAND

SCALE: 1" = 20'  
 ZONING: NT  
 DATE: JUNE, 2023  
 TAX MAP - GRID: 36 - 8  
 SHEET: 22 OF 52



MATCH LINE - REF. L101A - HARDSCAPE PLAN - GROUND LEVEL A

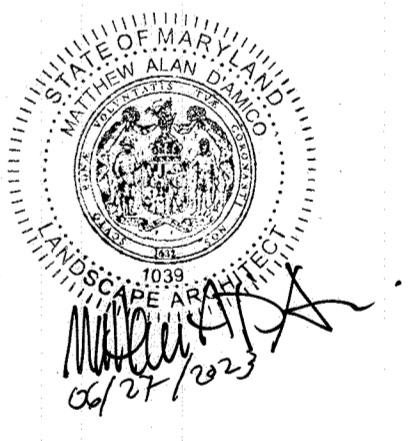
L101C - HARDSCAPE PLAN - ENTRY ENLARGEMENT

SYMPHONY WOODS ROAD

SOUTH ENTRANCE ROAD

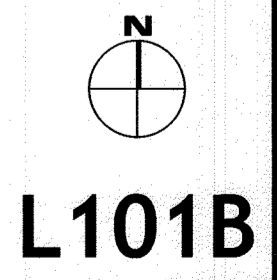
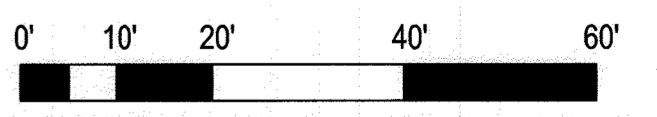
SERVICE ALLEY

CALLOUT	DETAIL	DESCRIPTION
P1A	1/L201A	CONCRETE - PEDESTRIAN
P1B	2/L201A	CONCRETE - VEHICULAR
P2	4/L201A	CONCRETE UNIT PAVER - VEHICULAR
P3A	5/L201A	PORCELAIN TILE - MATRIX
P3B	5/L201A	PORCELAIN TILE - BAND
P4	8/L201A	GRANITE COBBLE
P5	3/L204	DECORATIVE RIVER STONE
P6	9/L201A	CONCRETE STEPPERS
E1		EDGING TYPE 1
S0		SOIL CELL
W1A	2/L206	SEATWALL - STONE
W2	2/L204	WALL - BIOPLANTER
W3	3/L203	WALL - RETAINING
S	1/L202	STAIR
SF1	2/L205	WASTE + RECYCLING RECEPTACLE
SF2	3/L205	BICYCLE RACK
SF4	6/L205	WOOD BENCH
		PLANTING - LAWN
		PLANTING - UNDERSTORY
		PLANTING - SWM



**CERTIFICATION NOTE:**  
 I/WE CERTIFY THAT THE LANDSCAPING SHOWN ON THIS PLAN WILL BE DONE ACCORDING TO THE PLAN, SECTION 16.124 OF THE HOWARD COUNTY CODE, THE LANDSCAPE MANUAL FOR NEW TOWN ALTERNATIVE COMPLIANCE, AND THE CRESCENT PHASE 2 NEIGHBORHOOD DESIGN GUIDELINES, RECORDED AS BOOK 17559, PAGE 202 ADOPTED FOR THE SUBJECT PROPERTY. I/WE FURTHER CERTIFY THAT UPON COMPLETION A LETTER OF LANDSCAPE INSTALLATION, ACCOMPANIED BY AN EXECUTED ONE YEAR GUARANTEE OF PLANT MATERIALS, WILL BE SUBMITTED TO THE DEPARTMENT OF PLANNING AND ZONING.

DEVELOPER'S/OWNER'S NAME  
*L. Scott Armiger*  
 DEVELOPER'S/OWNER'S NAME  
 L. SCOTT ARMIGER



**APPROVED**  
 PLANNING BOARD OF HOWARD COUNTY

Date: 3/1/18

---

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

*Lynne Eisenberg* 4/20/23  
 Director Date

*[Signature]* 10/23/23  
 Chief, Division of Land Development Date

*[Signature]* 8/21/23  
 Chief, Development Engineering Division Date

---

**DESIGN COLLECTIVE**  
 ARCHITECTURE, PLANNING, INTERIORS  
 WWW.DESIGNCOLLECTIVE.COM

601 EAST PRATT STREET, SUITE 300  
 BALTIMORE, MARYLAND 21202  
 T: 410.685.4655 F: 410.539.6242

DES. BR	DRN. MM	CHK. AD	DATE	REVISION	BY	APP'R.

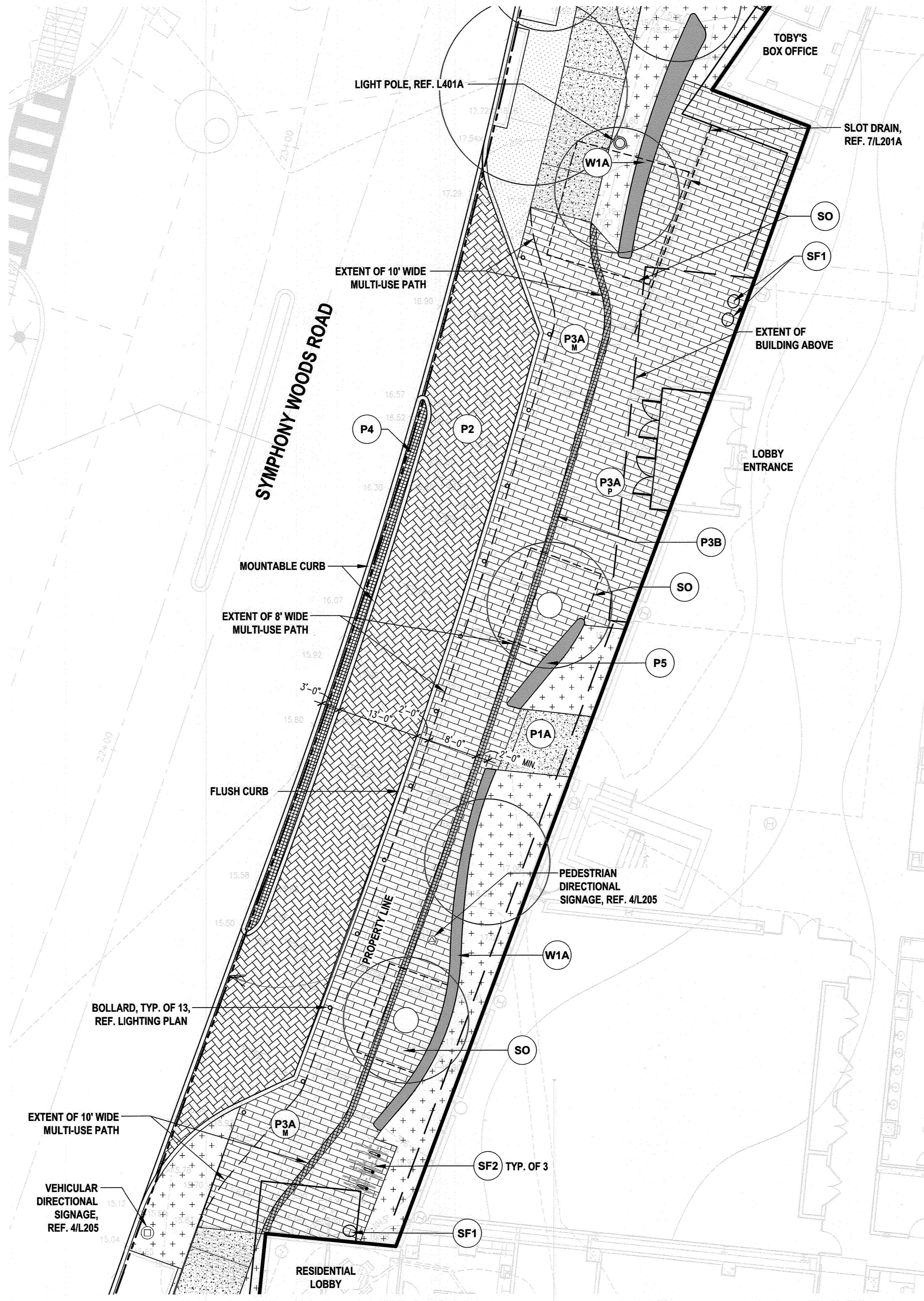
PREPARED FOR & OWNER PARCEL S  
 TOBY'S GENERAL PARTNERSHIP  
 10709 VISTA ROAD  
 COLUMBIA, MARYLAND 21044-4223  
 ATTN: SCOTT ARMIGER  
 410-964-2334

HARDSCAPE PLAN - GROUND LEVEL B

**THE NEW CULTURAL CENTER**  
 DOWNTOWN COLUMBIA  
 CRESCENT NEIGHBORHOOD, PHASE 2, PARCEL S - GREEN BLDG.

ELECTION DISTRICT No. 5 A RESUBDIVISION OF LOT 1 (PLAT No. 15 Pg. 48) AND PARCELS G & H (PN: 24003) HOWARD COUNTY, MARYLAND

SCALE	ZONING	FILE No.
1" = 20'	NT	
DATE	TAX MAP - GRID	SHEET
JUNE, 2023	36 - 8	23 OF 52

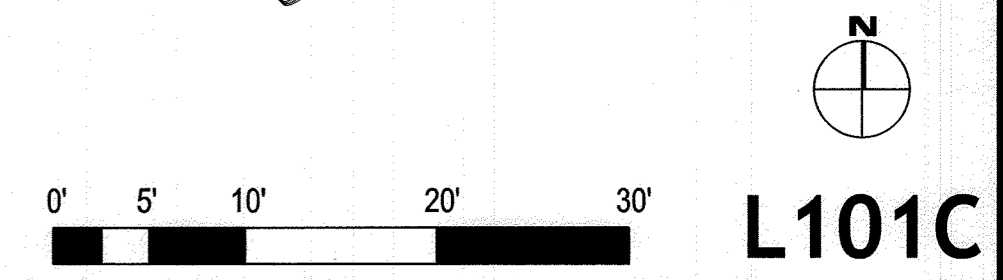


CALLOUT	DETAIL	DESCRIPTION
P1A	1/L201A	CONCRETE - PEDESTRIAN
P1B	2/L201A	CONCRETE - VEHICULAR
P2	4/L201A	CONCRETE UNIT PAVER - VEHICULAR
P3A	5/L201A	PORCELAIN TILE - MATRIX
P3B	5/L201A	PORCELAIN TILE - BAND
P4	8/L201A	GRANITE COBBLE
P5	3/L204	DECORATIVE RIVER STONE
P6	9/L201A	CONCRETE STEPPERS
E1		EDGING TYPE 1
SO		SOIL CELL
W1A	2/L206	SEATWALL - STONE
W2	2/L204	WALL - BIOPLANTER
W3	3/L203	WALL - RETAINING
S	1/L202	STAIR
SF1	2/L205	WASTE + RECYCLING RECEPTACLE
SF2	3/L205	BICYCLE RACK
SF4	6/L205	WOOD BENCH
		PLANTING - LAWN
		PLANTING - UNDERSTORY
		PLANTING - SWM



**CERTIFICATION NOTE:**  
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DEVELOPER'S/OWNER'S NAME  
*L. Scott Armiger*  
 DEVELOPER'S/OWNER'S NAME  
 L. SCOTT ARMIGER



APPROVED  
 PLANNING BOARD OF HOWARD COUNTY  
 Date: 3/1/18

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING  
 Director: *David E. Esberg* Date: 1/12/18  
 Chief, Division of Land Development: *Sam* Date: 1/25/18  
 Chief, Development Engineering Division: *DA* Date: 8/2/23

DESIGN COLLECTIVE			
ARCHITECTURE, PLANNING, INTERIORS WWW.DESIGNCOLLECTIVE.COM		601 EAST PRATT STREET, SUITE 300 BALTIMORE, MARYLAND 21202 T: 410.685.6655 F: 410.539.6242	
DES. BR	DRN. MM	CHK. AD	DATE

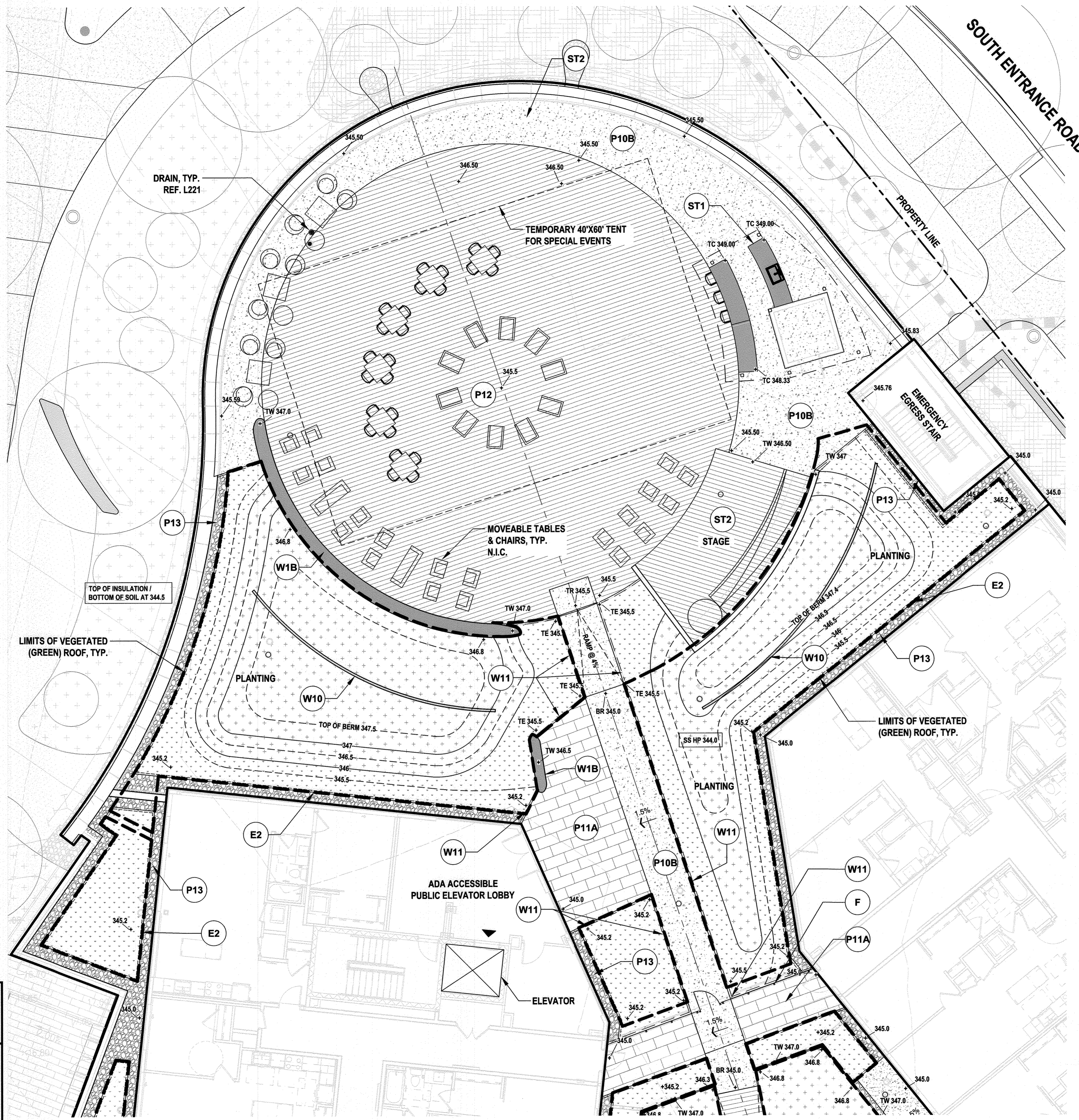
REVISION	DATE	BY	APP'R.

PREPARED FOR & OWNER PARCEL S  
 TOBY'S GENERAL PARTNERSHIP  
 10709 VISTA ROAD  
 COLUMBIA, MARYLAND 21044-4223  
 ATTN: SCOTT ARMIGER  
 410-964-2334

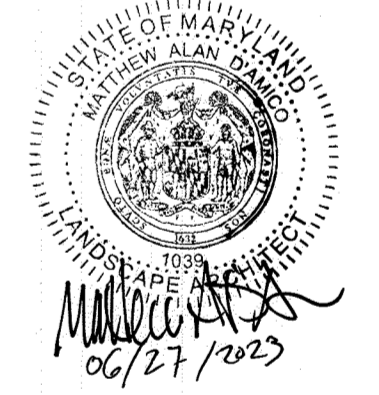
HARDSCAPE PLAN - ENTRY ENLARGEMENT  
**THE NEW CULTURAL CENTER**  
 DOWNTOWN COLUMBIA  
 CRESCENT NEIGHBORHOOD, PHASE 2, PARCEL S - GREEN BLDG.  
 ELECTION DISTRICT No. 5 A RESUBDIVISION OF LOT 1 (PLAT No. 15 Pg. 48) AND PARCELS G & H (PN: 24003) HOWARD COUNTY, MARYLAND

SCALE	ZONING	FILE No.
1" = 10'	NT	
DATE	TAX MAP - GRID	SHEET
JUNE, 2023	36 - 8	24 OF 52



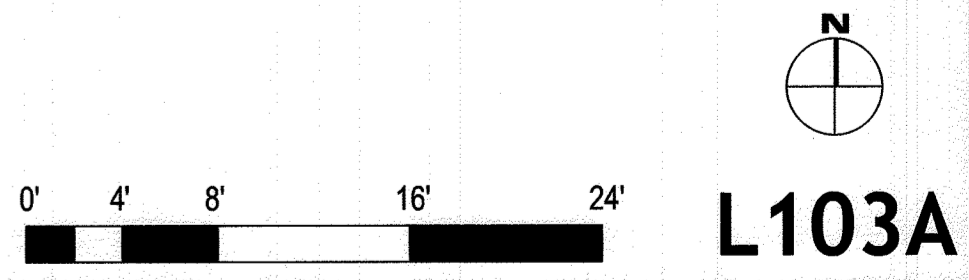


CALLOUT	DETAIL	DESCRIPTION
P10A	2/L220	LIGHTWEIGHT CONCRETE
P10B	2/L220	LIGHTWEIGHT CONCRETE - COLORED
P11A	1/L220	PORCELAIN TILE A
P12	3/L220	WOOD DECK
P13	4/L220	DECORATIVE RIVERSTONE
E2	4/L220	EDGING TYPE 2
W1B	1/L223	SEATWALL - STONE
W10	1/L226	DECORATIVE SCREEN WALL*
W11	1/L225	PLANTER WALL
ST1		BAR + STORAGE
ST2	1/L227	STAGE
F	1/L224	FENCE
		PLANTING - LAWN
		PLANTING - UNDERSTORY
		PLANTING - SWM
		PLANTING - SEDUM



**CERTIFICATION NOTE:**  
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DEVELOPER'S/OWNER'S NAME  
*L. Scott Armiger*  
 DEVELOPER'S/OWNER'S NAME  
 L. SCOTT ARMIGER



**APPROVED**  
 PLANNING BOARD OF HOWARD COUNTY  
 Date: 3/1/18

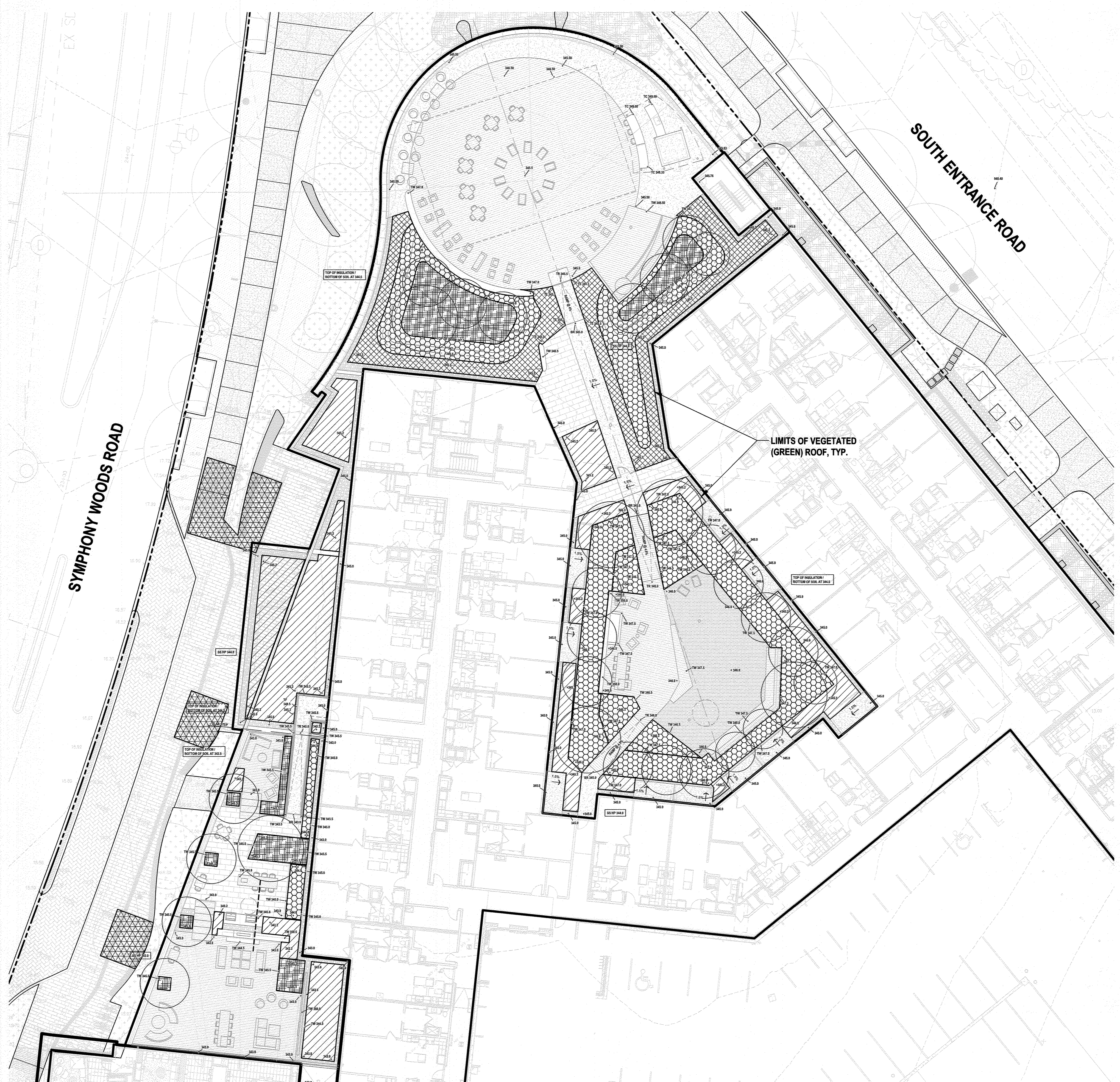
APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING  
 Director: *John de Groot* Date: 11/20/23  
 Chief, Division of Land Development: *Sam* Date: 10/23/23  
 Chief, Development Engineering Division: *thx* Date: 8/21/23

DES. BR	DRN. MM	CHK. AD	DATE	REVISION	BY	APPR.

PREPARED FOR & OWNER PARCEL S  
 TOBY'S GENERAL PARTNERSHIP  
 10709 VISTA ROAD  
 COLUMBIA, MARYLAND 21044-4223  
 ATTN: SCOTT ARMIGER  
 410-964-2334

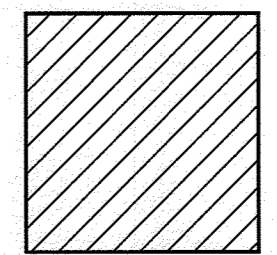
**HARDSCAPE PLAN - LEVEL 3 - PUBLIC TERRACE**  
**THE NEW CULTURAL CENTER**  
 DOWNTOWN COLUMBIA  
 CRESCENT NEIGHBORHOOD, PHASE 2, PARCEL S - GREEN BLDG.  
 PN: 24102  
 ELECTION DISTRICT No. 5 A RESUBDIVISION OF LOT 1 (PLAT No. 13 Pg. 48) AND PARCELS G & H (PN: 24003) HOWARD COUNTY, MARYLAND

SCALE	ZONING	FILE No.
1/8" = 1'-0"	NT	
DATE	TAX MAP - GRID	SHEET
JUNE, 2023	36 - 8	25 OF 52

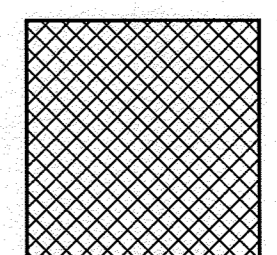


**SOIL LEGEND**

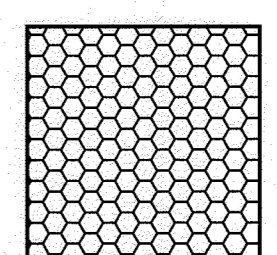
**ON STRUCTURE**



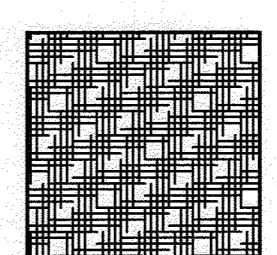
PROFILE 1:  
8" INTENSIVE PLANTING MEDIA



PROFILE 2:  
8" - 18" INTENSIVE PLANTING MEDIA

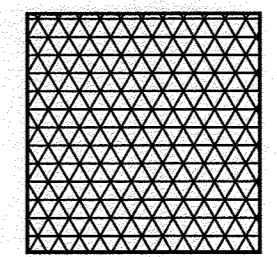


PROFILE 3:  
18" - 36" INTENSIVE PLANTING MEDIA

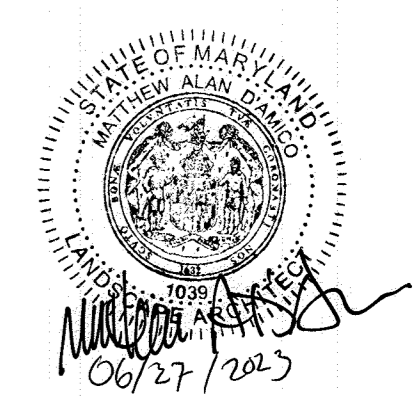


PROFILE 4:  
36" INTENSIVE PLANTING MEDIA

**GROUND LEVEL**

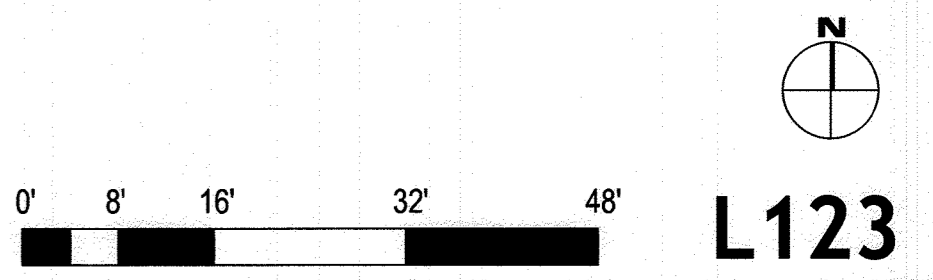


PROFILE 5:  
STRUCTURAL SOIL



**CERTIFICATION NOTE:**  
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DEVELOPER'S/OWNER'S NAME  
*JS Cox*  
DEVELOPER'S/OWNER'S NAME  
L. SCOTT ARMIGER



**L123**

**APPROVED**  
PLANNING BOARD OF HOWARD COUNTY  
Date: 3/1/18

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING  
Director *Lynde E. Eberly* Date 11/20/23  
Chief, Division of Land Development *Garr* Date 12/29/23  
Chief, Development Engineering Division *Wax* Date 8/2/23

<b>DESIGN COLLECTIVE</b>	
ARCHITECTURE, PLANNING, INTERIORS WWW.DESIGNCOLLECTIVE.COM	601 EAST PRATT STREET, SUITE 300 BALTIMORE, MARYLAND 21202 T: 410.685.6655 F: 410.539.6242
DES. BR	DRN. MM
CHK. AD	DATE
REVISION	BY APP'R.

DES. BR	DRN. MM	CHK. AD	DATE	REVISION	BY	APP'R.

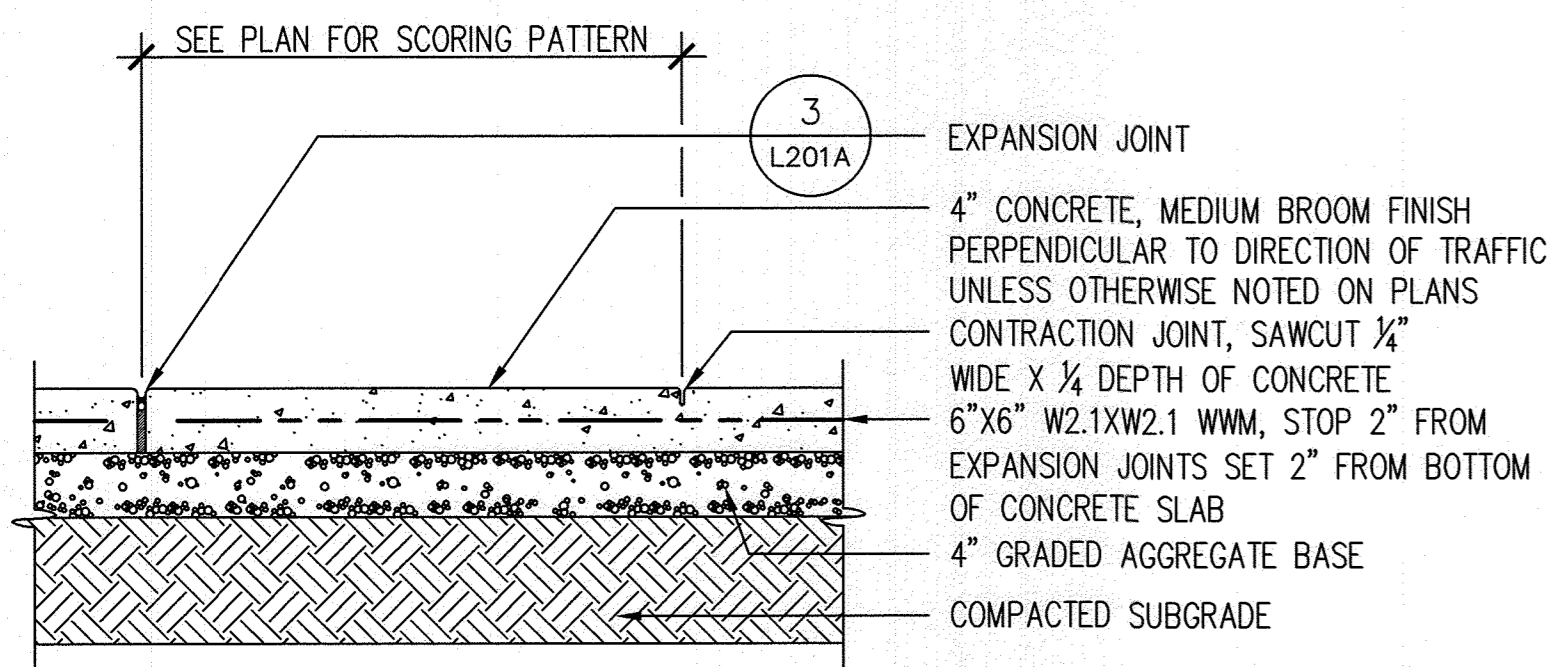
PREPARED FOR & OWNER PARCEL S  
TOBY'S GENERAL PARTNERSHIP  
10709 VISTA ROAD  
COLUMBIA, MARYLAND 21044-4223  
ATTN: SCOTT ARMIGER  
410-964-2334


**SOILS PLAN**

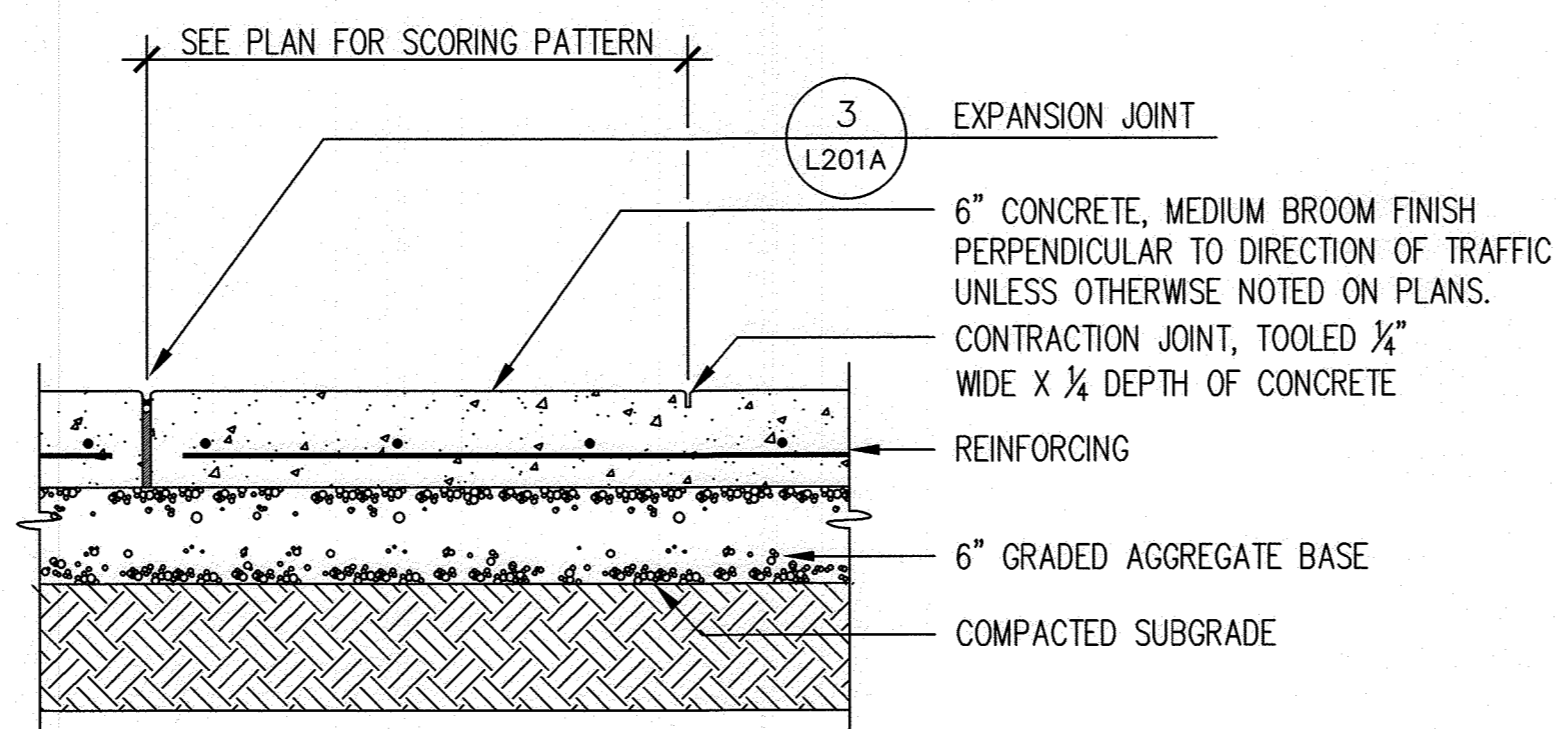
**THE NEW CULTURAL CENTER**  
DOWNTOWN COLUMBIA  
CRESCENT NEIGHBORHOOD, PHASE 2, PARCEL S - GREEN BLDG.

ELECTION DISTRICT No. 5 A RESUBDIVISION OF LOT 1 (PLAT No. 15 Pg. 48) AND PARCELS G & H (PN: 24003) HOWARD COUNTY, MARYLAND

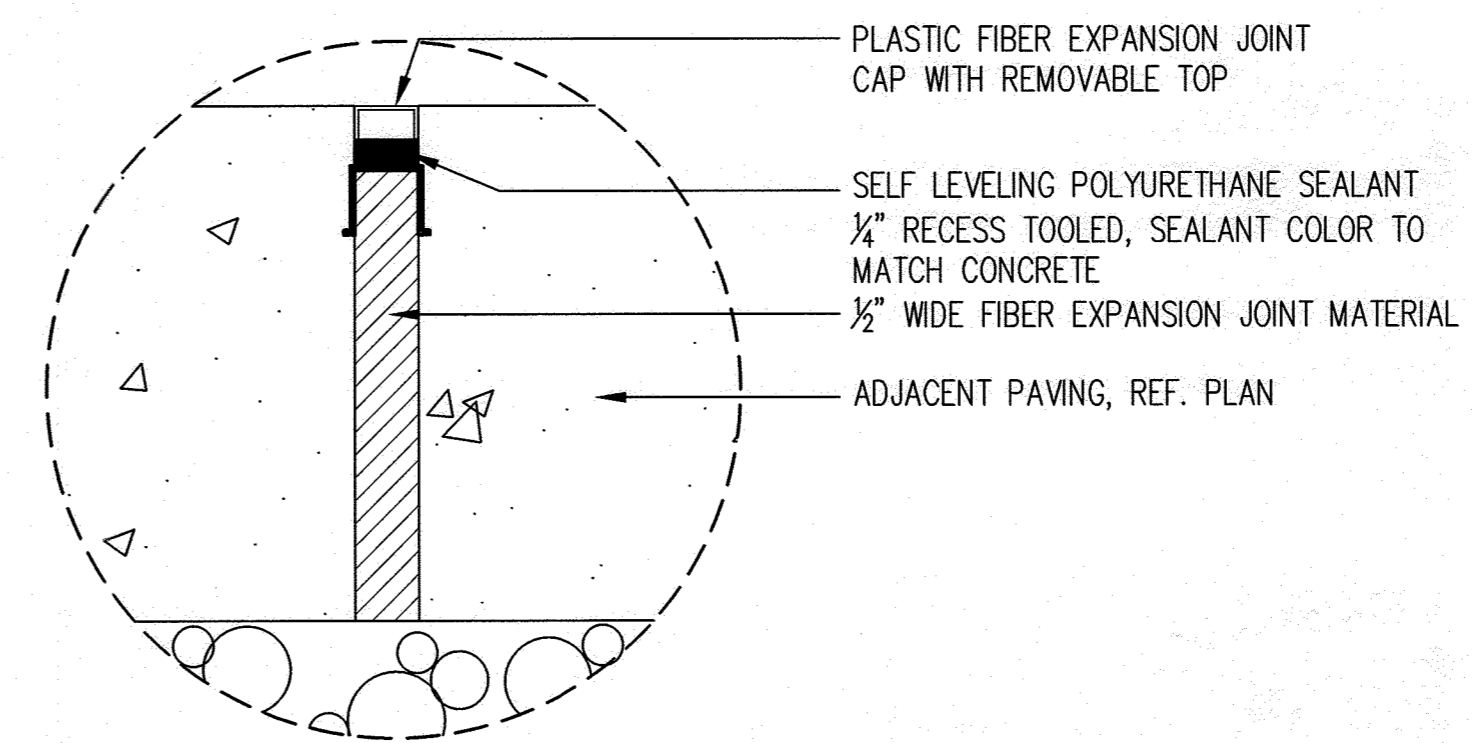
SCALE	ZONING	FILE No.
1/16" = 1'-0"	NT	
DATE	TAX MAP - GRID	SHEET
JUNE, 2023	36 - 8	26 OF 52



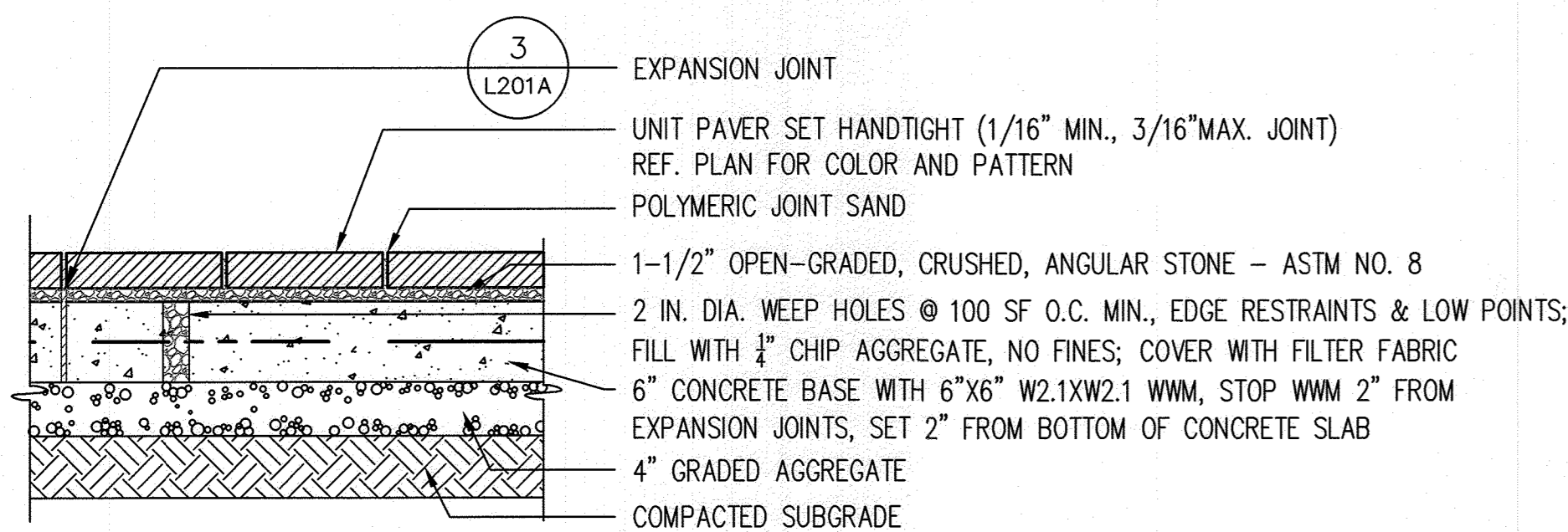
**1 CONCRETE PAVING - PED. SECTION**  
1" = 1'-0"



**2 CONCRETE PAVING - VEH. SECTION**  
1" = 1'-0"

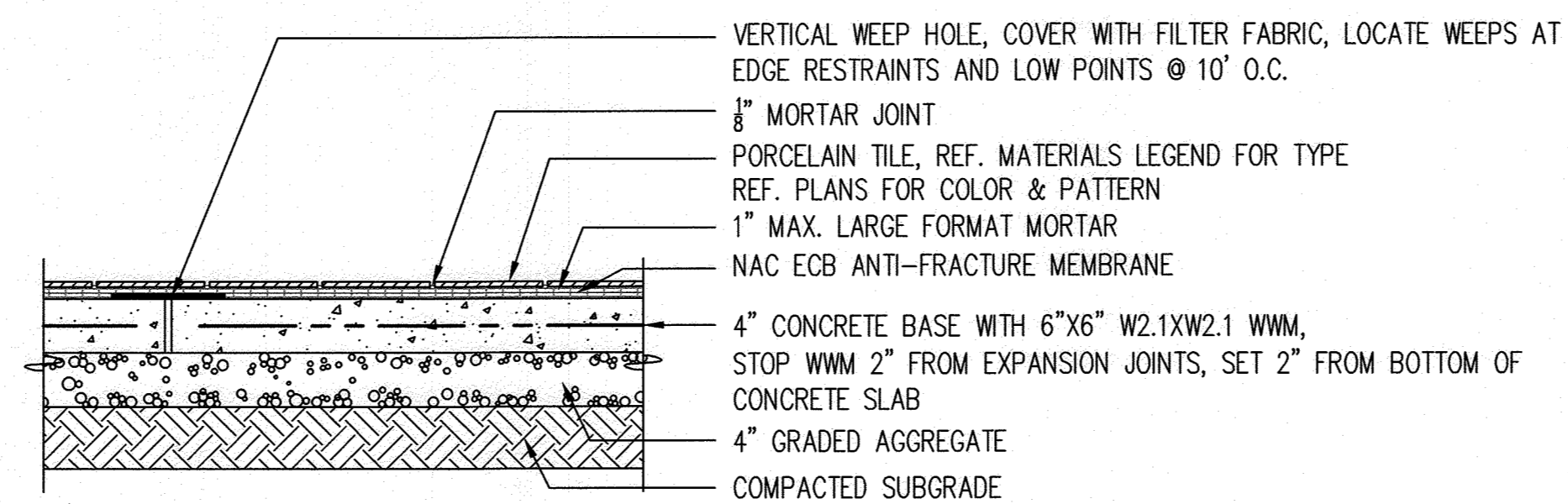


**3 EXPANSION JOINT - ENLARGEMENT**  
1" = 1'-0"



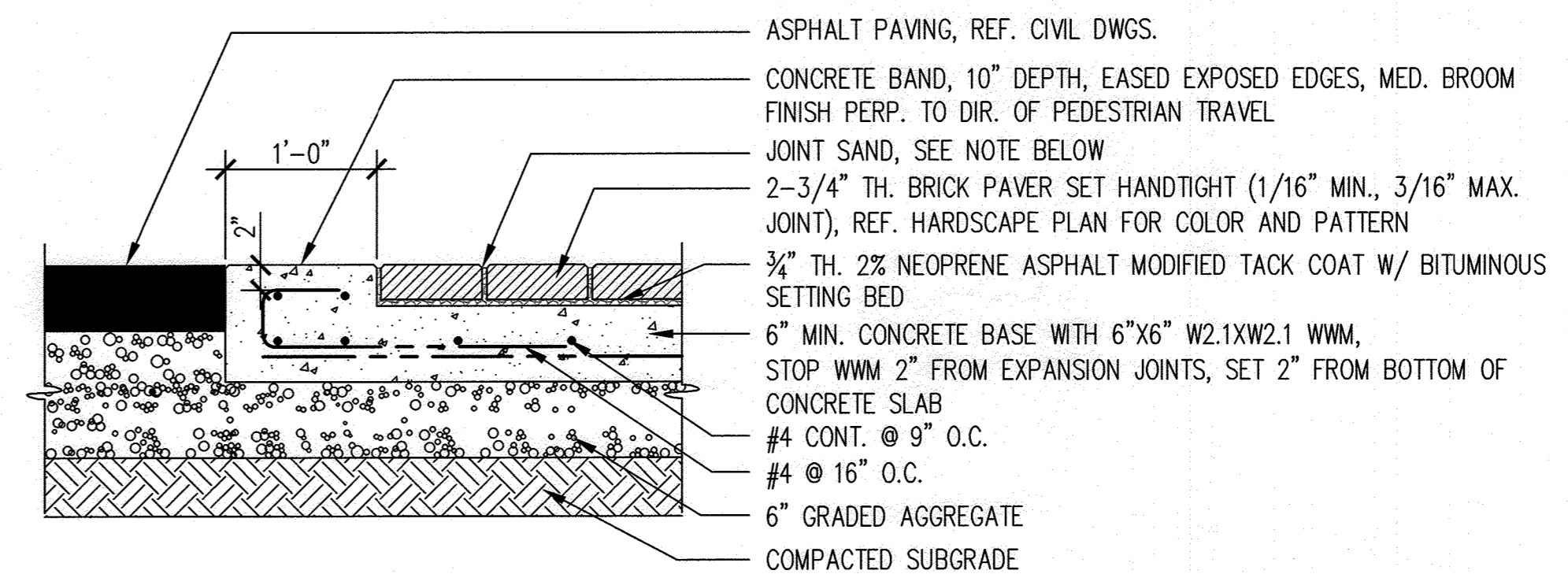
**4 CONCRETE UNIT PAVER - VEH. SECTION**  
1" = 1'-0"

NOTE:  
\* SLOPE PAVERS 1/4" PER FOOT MIN. FOR DRAINAGE  
\* EXTEND BASE 4" BEYOND LIMITS OF PAVERS  
\* JOINT SAND: APPLY SAND, SWEEP JOINTS, REMOVE LARGE SAND PARTICLES FROM SURFACE, REPEAT PROCESS 3 TIMES MIN.



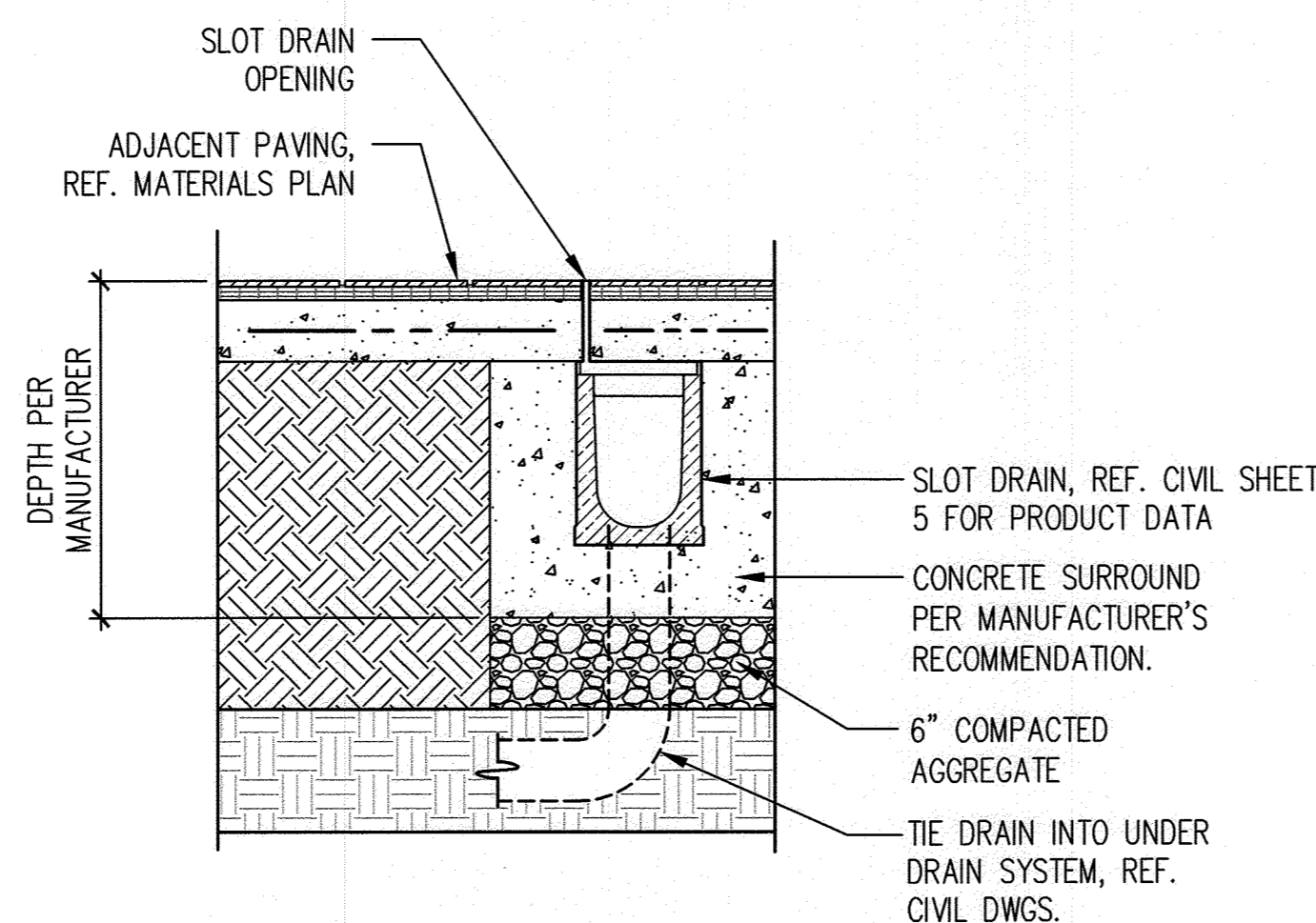
**5 PORCELAIN TILE - PED. SECTION (ON GRADE)**  
1" = 1'-0"

NOTE:  
\* SLOPE PAVERS 1/4" PER FOOT MIN. FOR DRAINAGE  
\* EXTEND BASE 4" BEYOND LIMITS OF PAVERS

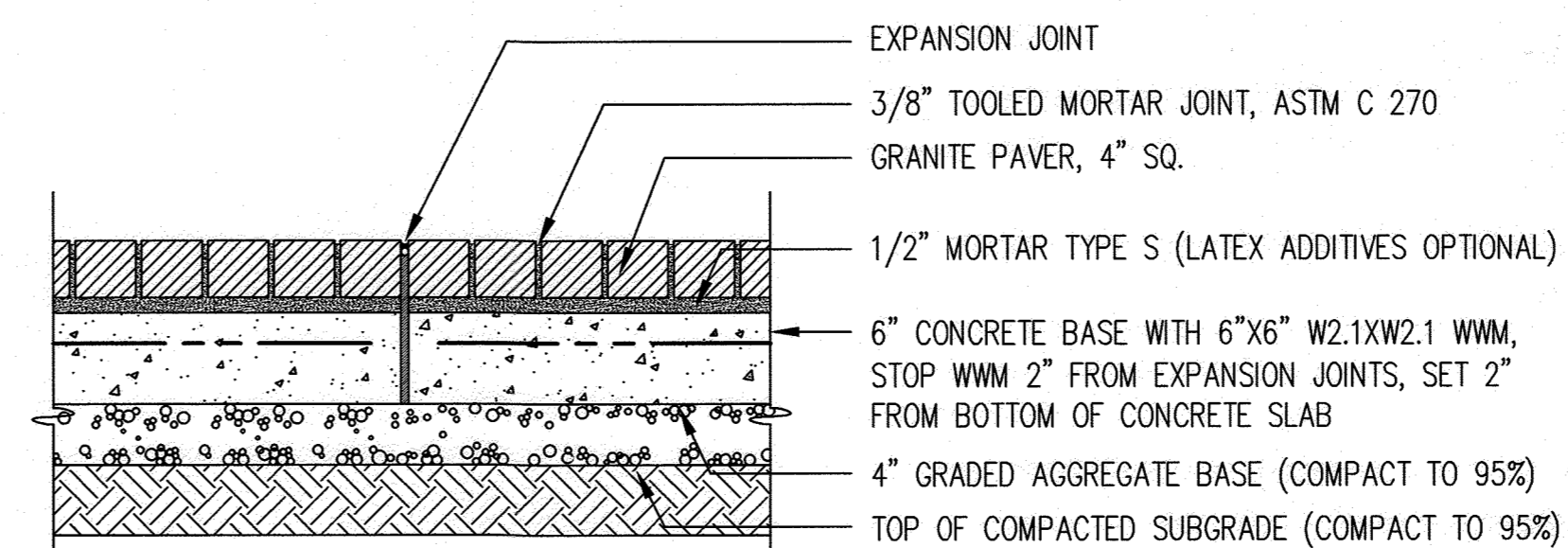


**6 CONCRETE UNIT PAVER WITH CONC. BAND - VEH. SECTION**  
1" = 1'-0"

NOTE:  
\* SLOPE PAVERS 1/4" PER FOOT MIN. FOR DRAINAGE - REF. CIVIL DWGS.  
\* JOINT SAND: APPLY SAND, SWEEP JOINTS, REMOVE LARGE SAND PARTICLES FROM SURFACE, REPEAT PROCESS 3 TIMES MIN.

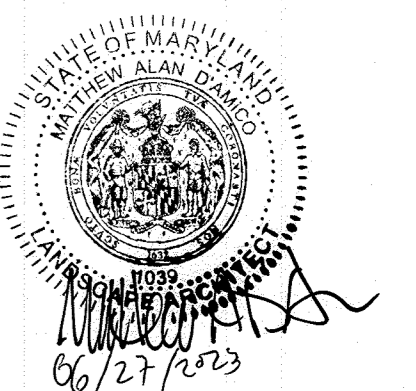


**7 SLOT DRAIN**  
1" = 1'-0"



**8 GRANITE PAVER**  
1" = 1'-0"

NOTE:  
\* SLOPE PAVERS 1/4" PER FOOT MIN. FOR DRAINAGE



**CERTIFICATION NOTE:**  
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DEVELOPER'S/OWNER'S NAME  
*JG*  
DEVELOPER'S/OWNER'S NAME  
L. SCOTT ARMIGER

APPROVED  
PLANNING BOARD OF HOWARD COUNTY

Date: 3/1/18

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING  
*Lynne Ewens* Director Date: 11/20/23  
*[Signature]* Chief, Division of Land Development Date: 10/23/23  
*[Signature]* Chief, Development Engineering Division Date: 8/21/23

DES. BR.	DRN. MM	CHK. AD	DATE	REVISION	BY	APP'R.

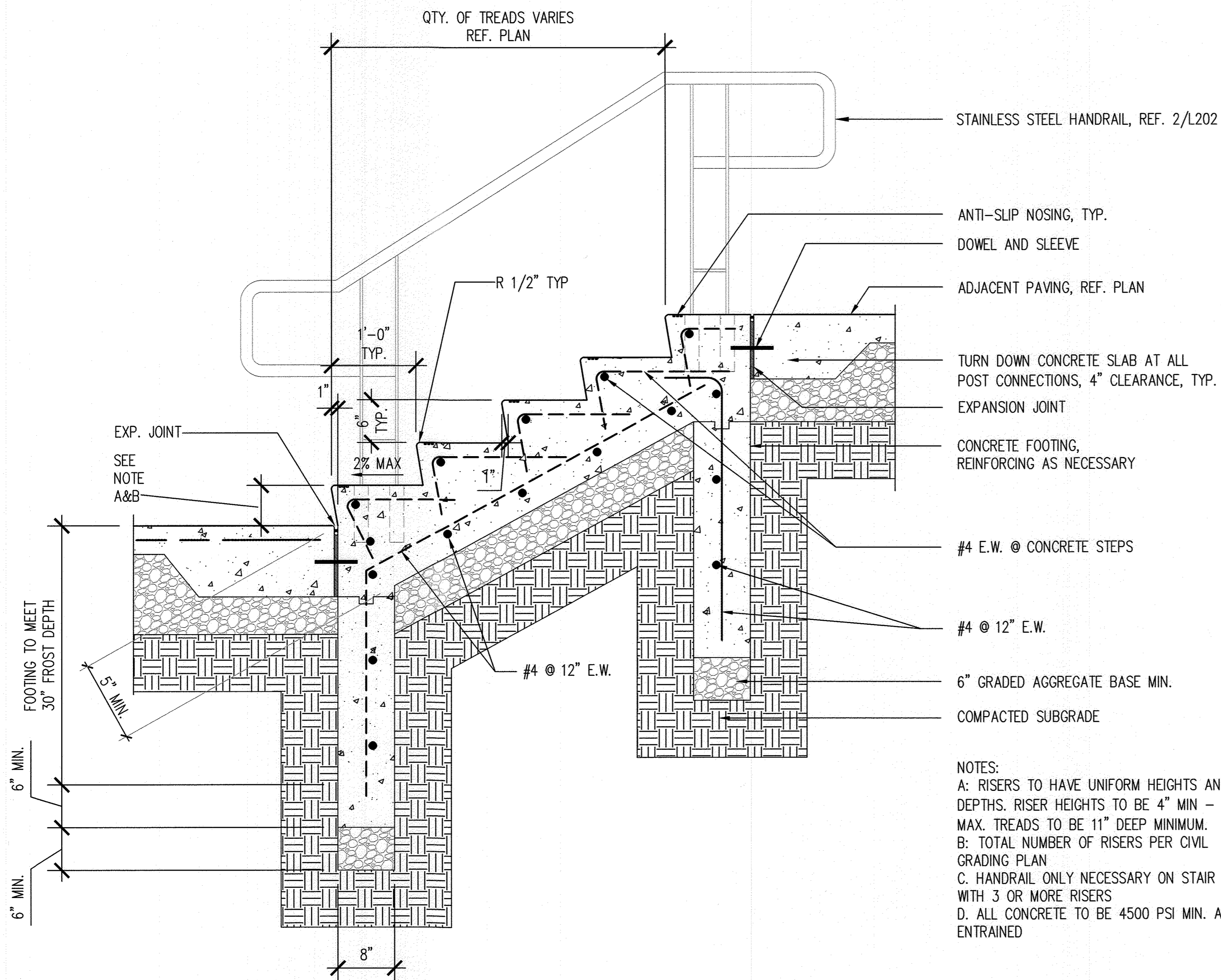
DES. BR.	DRN. MM	CHK. AD	DATE	REVISION	BY	APP'R.

PREPARED FOR & OWNER PARCEL S  
TOBY'S GENERAL PARTNERSHIP  
10709 VISTA ROAD  
COLUMBIA, MARYLAND 21044-4223  
ATTN: SCOTT ARMIGER  
410-964-2334

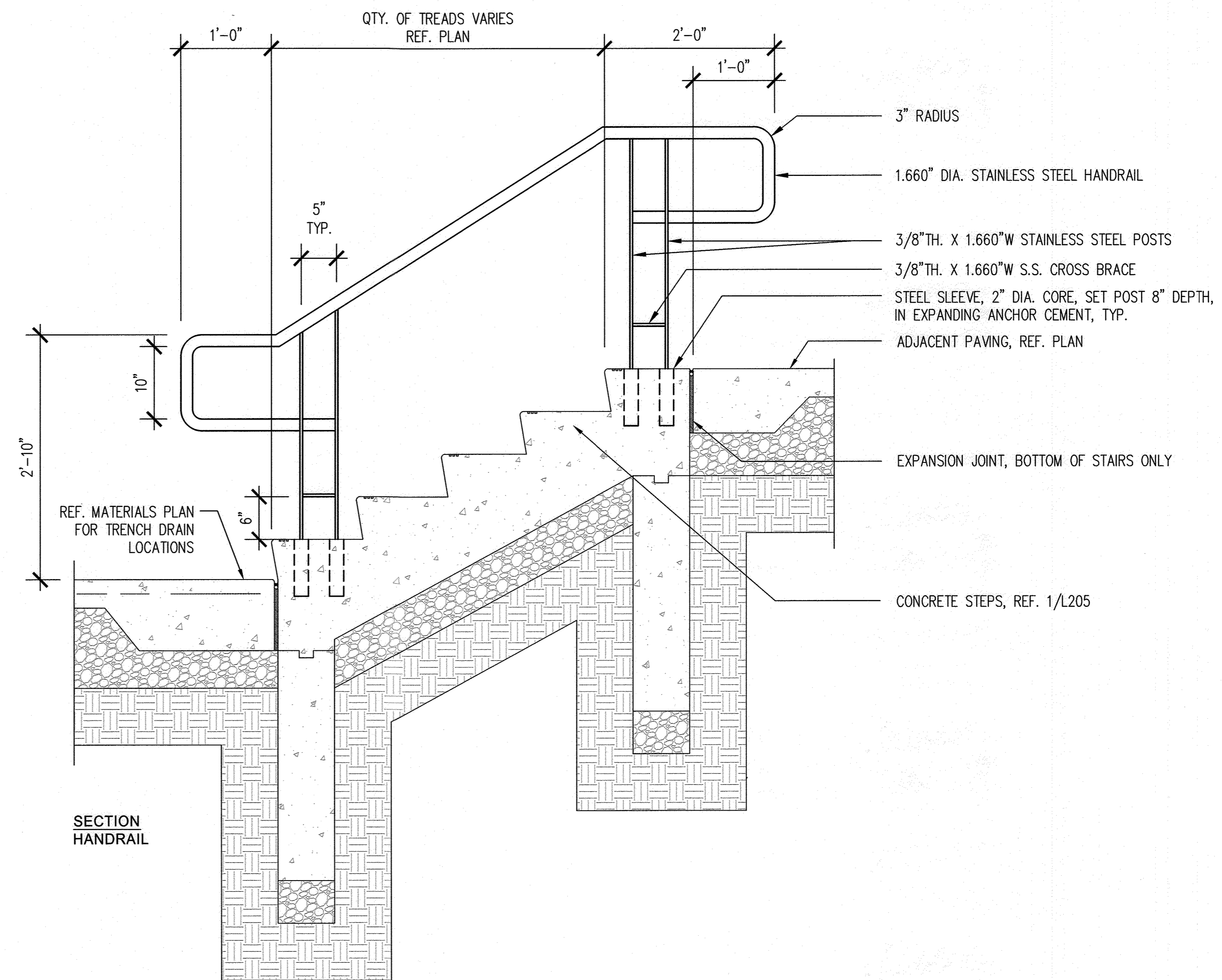
THE NEW CULTURAL CENTER  
DOWNTOWN COLUMBIA  
CRESCENT NEIGHBORHOOD, PHASE 2, PARCEL S - GREEN BLDG.  
ELECTION DISTRICT No. 5 A RESUBDIVISION OF LOT 1 (PLAT No. 15 Pg. 48) AND PARCELS G & H (PN: 24003) HOWARD COUNTY, MARYLAND

SCALE	ZONING	FILE No.
AS SHOWN	NT	
DATE	TAX MAP - GRID	SHEET
JUNE, 2023	36 - 8	27 OF 52

L201A

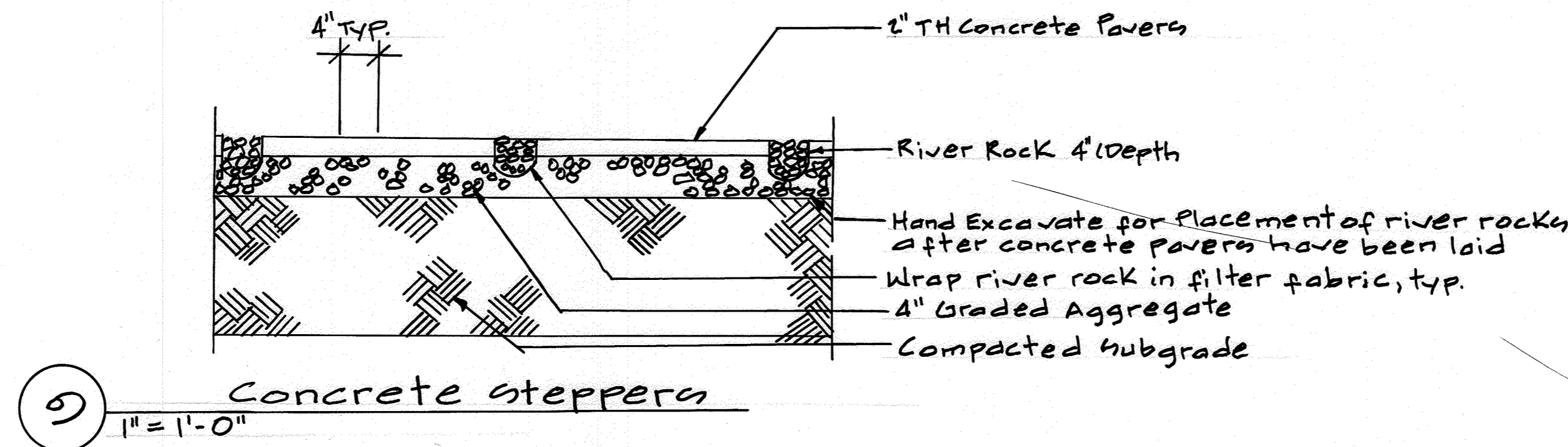


**1 STAIR A**  
1" = 1'-0"



**2 HANDRAIL**  
1" = 1'-0"

NOTES:  
 A: RISERS TO HAVE UNIFORM HEIGHTS AND DEPTHS. RISER HEIGHTS TO BE 4" MIN - 7" MAX. TREADS TO BE 11" DEEP MINIMUM.  
 B: TOTAL NUMBER OF RISERS PER CIVIL GRADING PLAN  
 C: HANDRAIL ONLY NECESSARY ON STAIR WITH 3 OR MORE RISERS  
 D: ALL CONCRETE TO BE 4500 PSI MIN. AIR ENTRAINING



**3 Concrete Steppers**  
1" = 1'-0"



**CERTIFICATION NOTE:**  
 I/WE CERTIFY THAT THE LANDSCAPING SHOWN ON THIS PLAN WILL BE DONE ACCORDING TO THE PLAN, SECTION 16.124 OF THE HOWARD COUNTY CODE, THE LANDSCAPE MANUAL FOR NEW TOWN ALTERNATIVE COMPLIANCE, AND THE CRESCENT PHASE 2 NEIGHBORHOOD DESIGN GUIDELINES, RECORDED AS BOOK 17559, PAGE 202 ADOPTED FOR THE SUBJECT PROPERTY. I/WE FURTHER CERTIFY THAT UPON COMPLETION A LETTER OF LANDSCAPE INSTALLATION, ACCOMPANIED BY AN EXECUTED ONE YEAR GUARANTEE OF PLANT MATERIALS, WILL BE SUBMITTED TO THE DEPARTMENT OF PLANNING AND ZONING.

DEVELOPER'S/OWNER'S NAME  
*L. Scott Armiger*  
 DEVELOPER'S/OWNER'S NAME  
 L. SCOTT ARMIGER

**APPROVED**  
 PLANNING BOARD OF HOWARD COUNTY  
 Date: 3/1/18

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING  
*Tom de Goober*  
 Director Date 11/20/22

*gam*  
 Chief, Division of Land Development Date 12/23/23

*Chad Anderson*  
 Chief, Development Engineering Division Date 8/21/23

**DESIGN COLLECTIVE**  
 ARCHITECTURE, PLANNING, INTERIORS  
 WWW.DESIGNCOLLECTIVE.COM

601 EAST PRATT STREET, SUITE 300  
 BALTIMORE, MARYLAND 21202  
 T: 410.683.6655 F: 410.539.6242

DES. BR	DRN. MM	CHK. AD	DATE	REVISION	BY	APP'R.

PREPARED FOR & OWNER PARCEL S  
 TOBY'S GENERAL PARTNERSHIP  
 10709 VISTA ROAD  
 COLUMBIA, MARYLAND 21044-4223  
 ATTN: SCOTT ARMIGER  
 410-964-2334

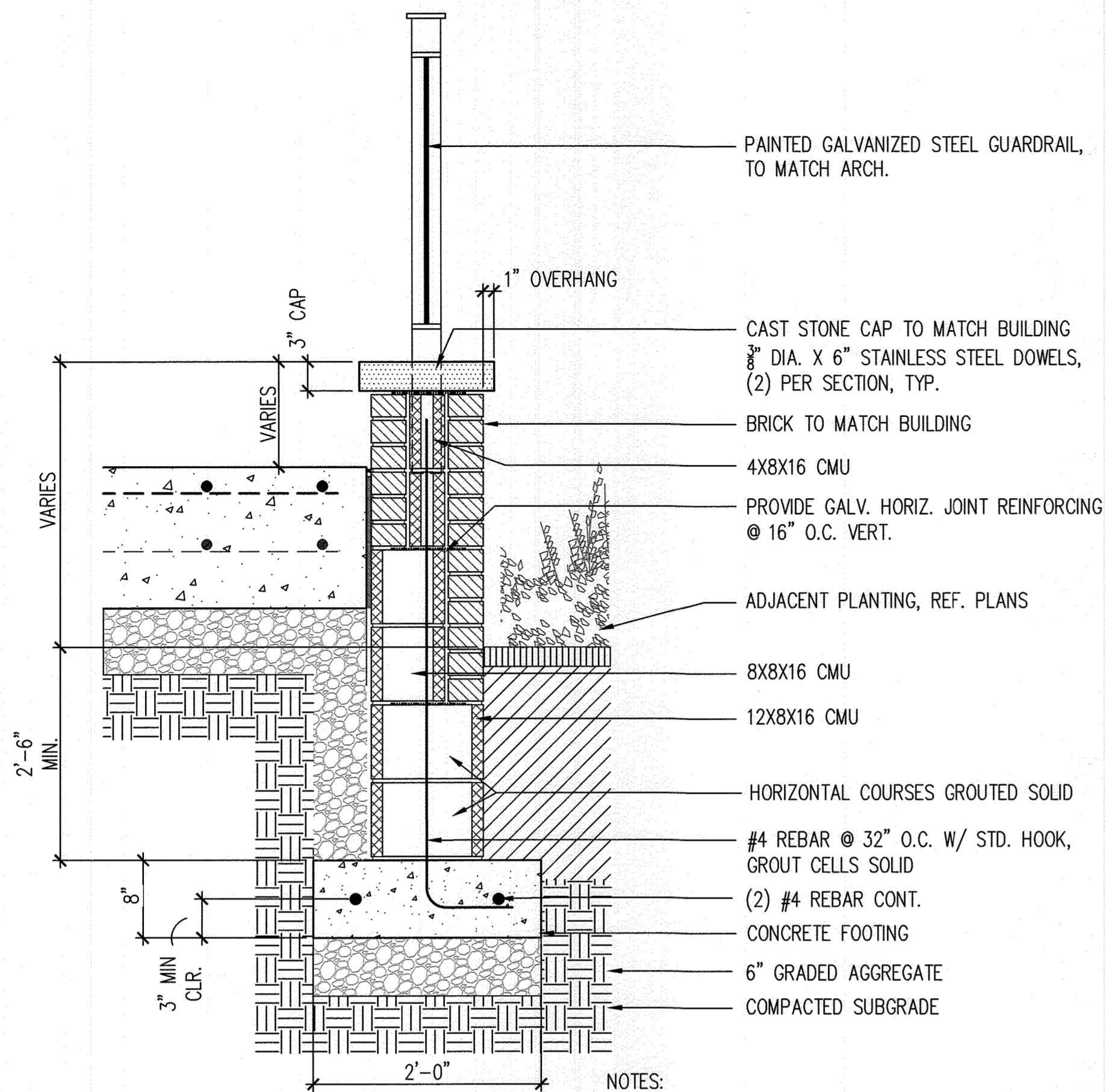
**DETAILS - STAIRS**

**THE NEW CULTURAL CENTER**  
 DOWNTOWN COLUMBIA  
 CRESCENT NEIGHBORHOOD, PHASE 2, PARCEL S - GREEN BLDG.

ELECTION DISTRICT No. 5 A RESUBDIVISION OF LOT 1 (PLAT No. 15 Pg. 48) AND PARCELS G & H (PN: 34003) HOWARD COUNTY, MARYLAND

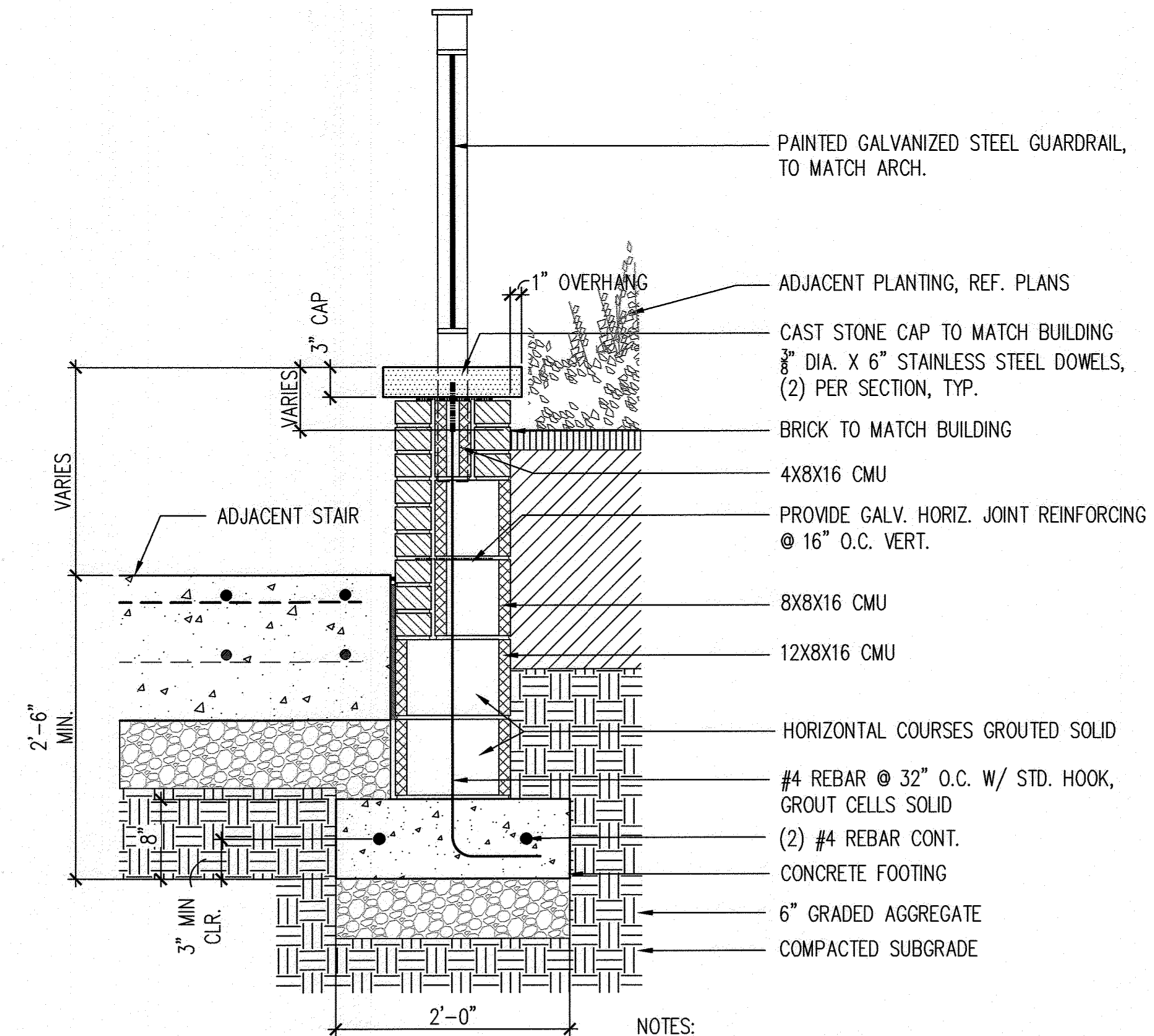
SCALE	ZONING	FILE No.
AS SHOWN	NT	
DATE	TAX MAP - GRID	SHEET
JUNE, 2023	36 - 8	28 OF 52

**L202**



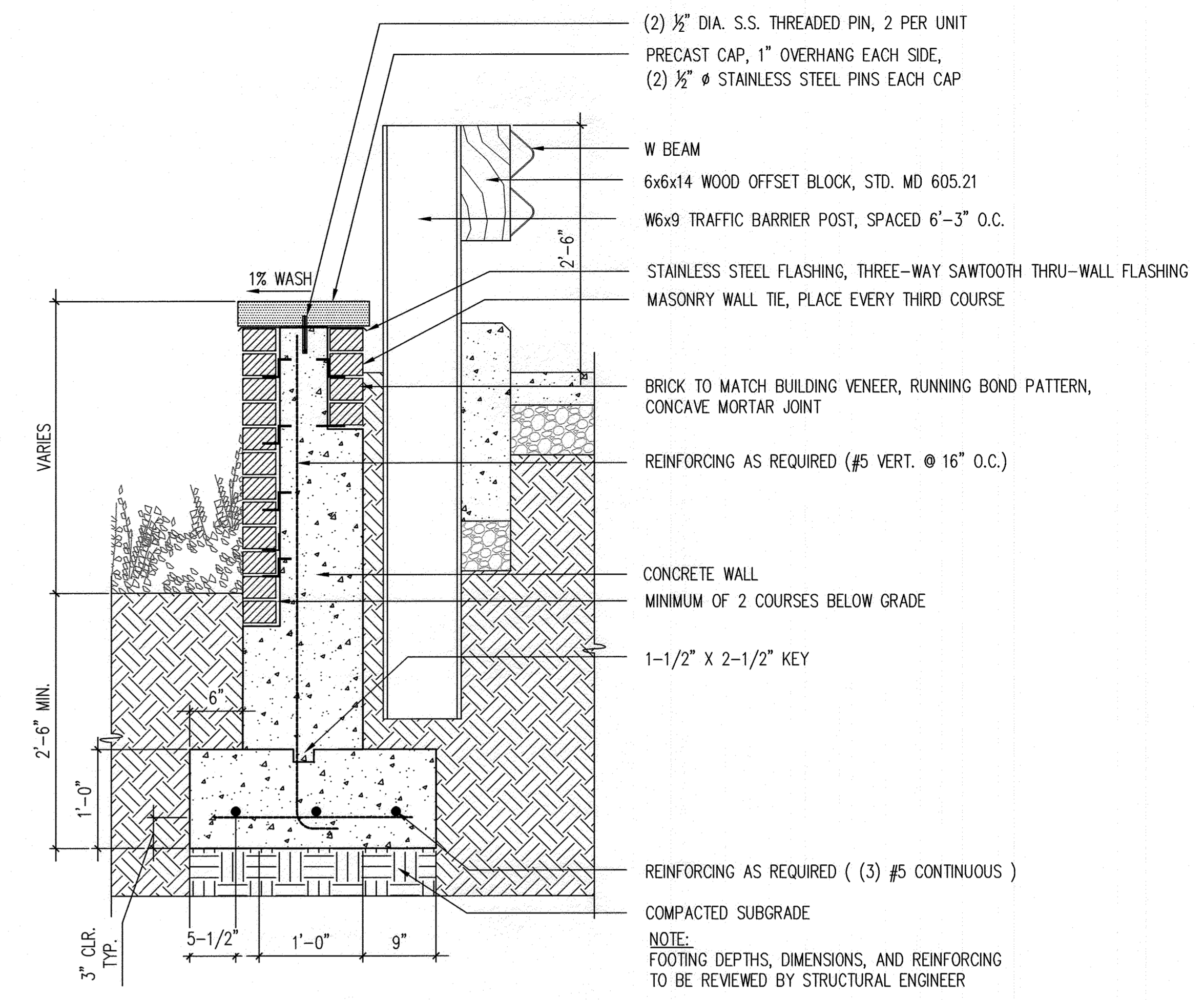
- NOTES:
1. SET BRICK 2 COURSES MIN. BELOW ADJACENT FINISHED GRADE.
  2. BACKFILL OF WALLS SHOULD BE ON BOTH WALLS EQUAL AT THE SAME TIME. DO NOT LOAD WALLS ON ONE SIDE.
  3. STRUCTURAL CONSIDERATIONS FOR 2'-6" MAX. HT

**1 WALL AT EXIT STAIR**  
1" = 1'-0"



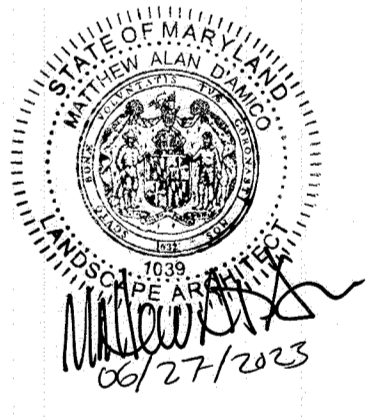
- NOTES:
1. SET BRICK 2 COURSES MIN. BELOW ADJACENT FINISHED GRADE.
  2. BACKFILL OF WALLS SHOULD BE ON BOTH WALLS EQUAL AT THE SAME TIME. DO NOT LOAD WALLS ON ONE SIDE.
  3. STRUCTURAL CONSIDERATIONS FOR 2'-6" MAX. HT

**2 WALL AT FIRE PUMP ROOM STAIR**  
1" = 1'-0"



- NOTE:  
FOOTING DEPTHS, DIMENSIONS, AND REINFORCING TO BE REVIEWED BY STRUCTURAL ENGINEER

**3 WALL @ SERVICE DRIVE**  
1" = 1'-0"



**CERTIFICATION NOTE:**  
I/WE CERTIFY THAT THE LANDSCAPING SHOWN ON THIS PLAN WILL BE DONE ACCORDING TO THE PLAN, SECTION 16.124 OF THE HOWARD COUNTY CODE, THE LANDSCAPE MANUAL FOR NEW TOWN ALTERNATIVE COMPLIANCE, AND THE CRESCENT PHASE 2 NEIGHBORHOOD DESIGN GUIDELINES, RECORDED AS BOOK 17559, PAGE 202 ADOPTED FOR THE SUBJECT PROPERTY. I/WE FURTHER CERTIFY THAT UPON COMPLETION A LETTER OF LANDSCAPE INSTALLATION, ACCOMPANIED BY AN EXECUTED ONE YEAR GUARANTEE OF PLANT MATERIALS, WILL BE SUBMITTED TO THE DEPARTMENT OF PLANNING AND ZONING.

DEVELOPER'S/OWNER'S NAME  
*L. Scott Armiger*  
DEVELOPER'S/OWNER'S NAME  
L. SCOTT ARMIGER

APPROVED  
PLANNING BOARD OF HOWARD COUNTY  
Date: 3/1/18

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING  
*Dirk de Gooijer* Director Date: 11/20/22  
*John Gorman* Chief, Division of Land Development Date: 10/25/23  
*Chad Edwards* Chief, Development Engineering Division Date: 8/21/23

DES. BR	DRN. MM	CHK. AD	DATE	REVISION	BY	APPR.

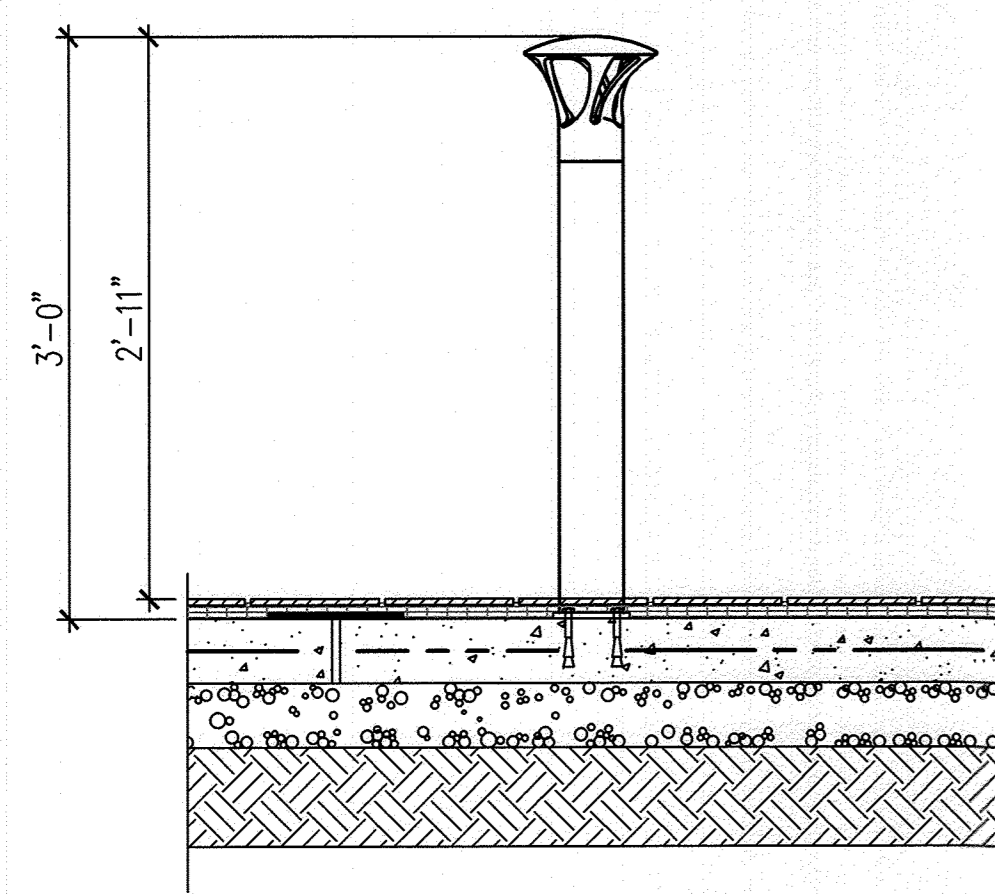
DESIGN COLLECTIVE ARCHITECTURE, PLANNING, INTERIORS WWW.DESIGNCOLLECTIVE.COM 601 EAST PRATT STREET, SUITE 300 BALTIMORE, MARYLAND 21202 T: 410.685.6655 F: 410.539.6242	PREPARED FOR & OWNER PARCEL S TOBY'S GENERAL PARTNERSHIP 10709 VISTA ROAD COLUMBIA, MARYLAND 21044-4223 ATTN: SCOTT ARMIGER 410-964-2334
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DETAILS - WALLS	
THE NEW CULTURAL CENTER DOWNTOWN COLUMBIA CRESCENT NEIGHBORHOOD, PHASE 2, PARCEL S - GREEN BLDG. PN: <u>26402</u>	
ELECTION DISTRICT No. 5	A RESUBDIVISION OF LOT 1 (PLAT No. 15 Pg. 48) AND PARCELS G & H (PN: 24003) HOWARD COUNTY, MARYLAND

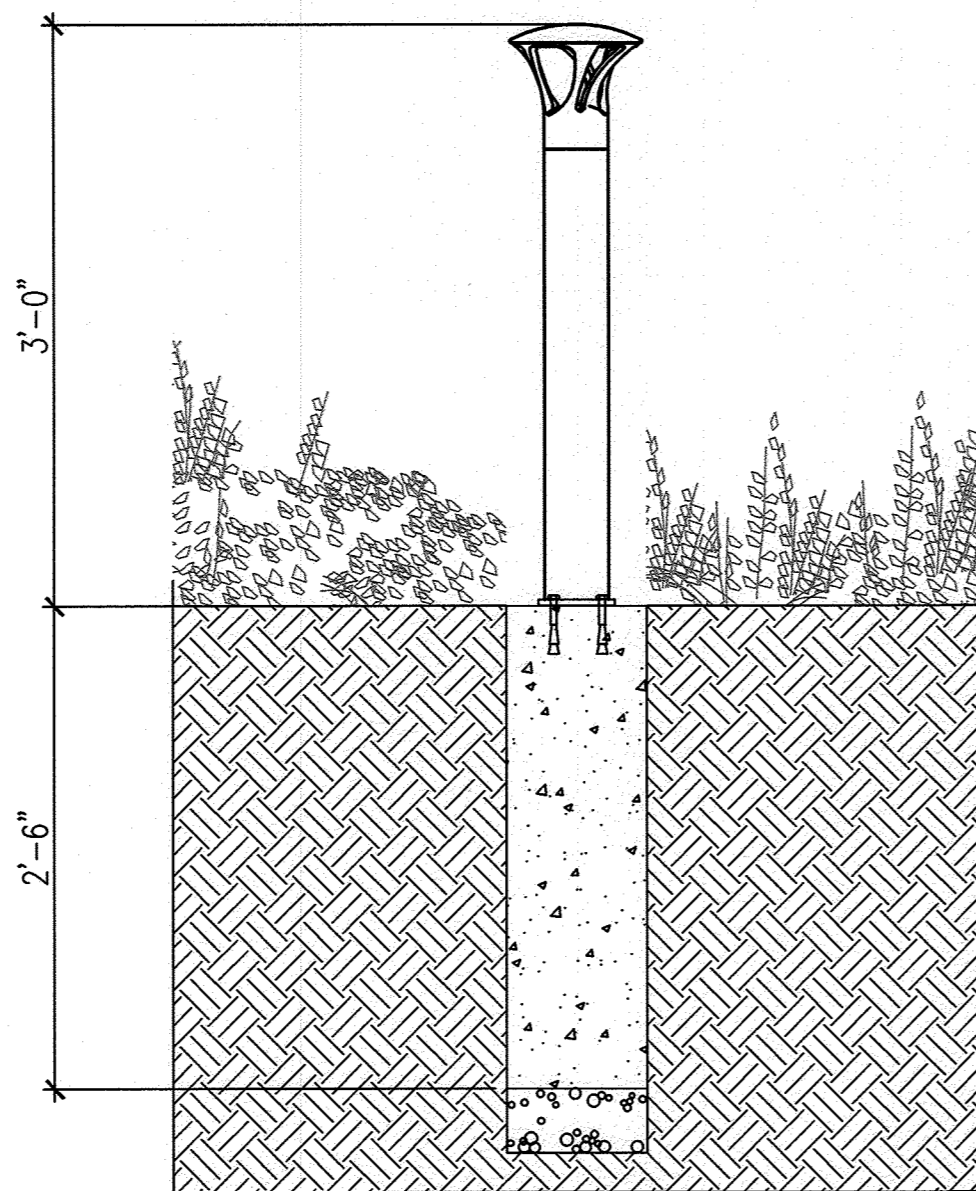
SCALE AS SHOWN	ZONING NT	FILE No.
DATE JUNE, 2023	TAX MAP - GRID 36 - 8	SHEET 29 OF 52

**L203**





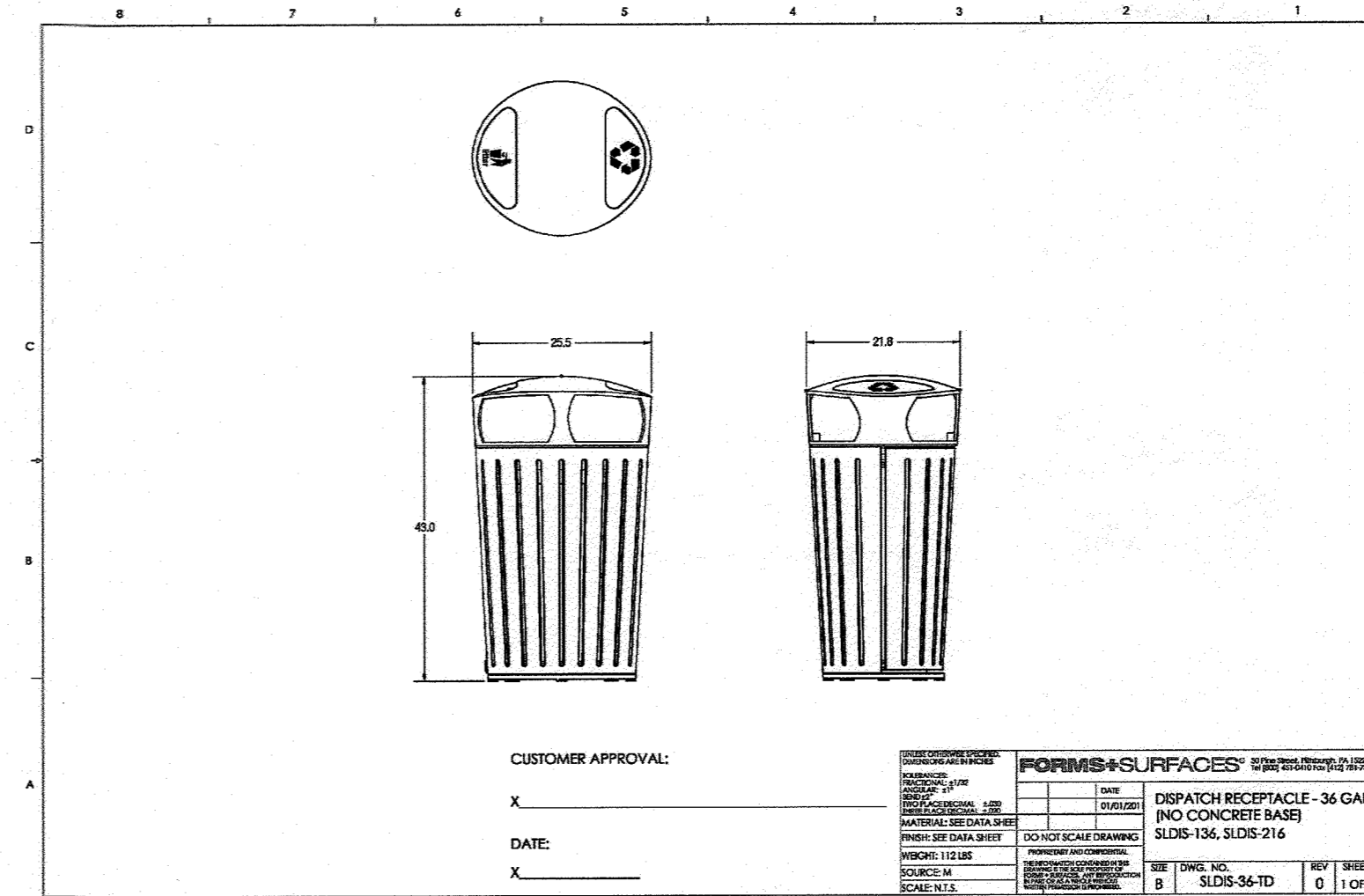
SECTION @ PAVING



SECTION @ PLANTING

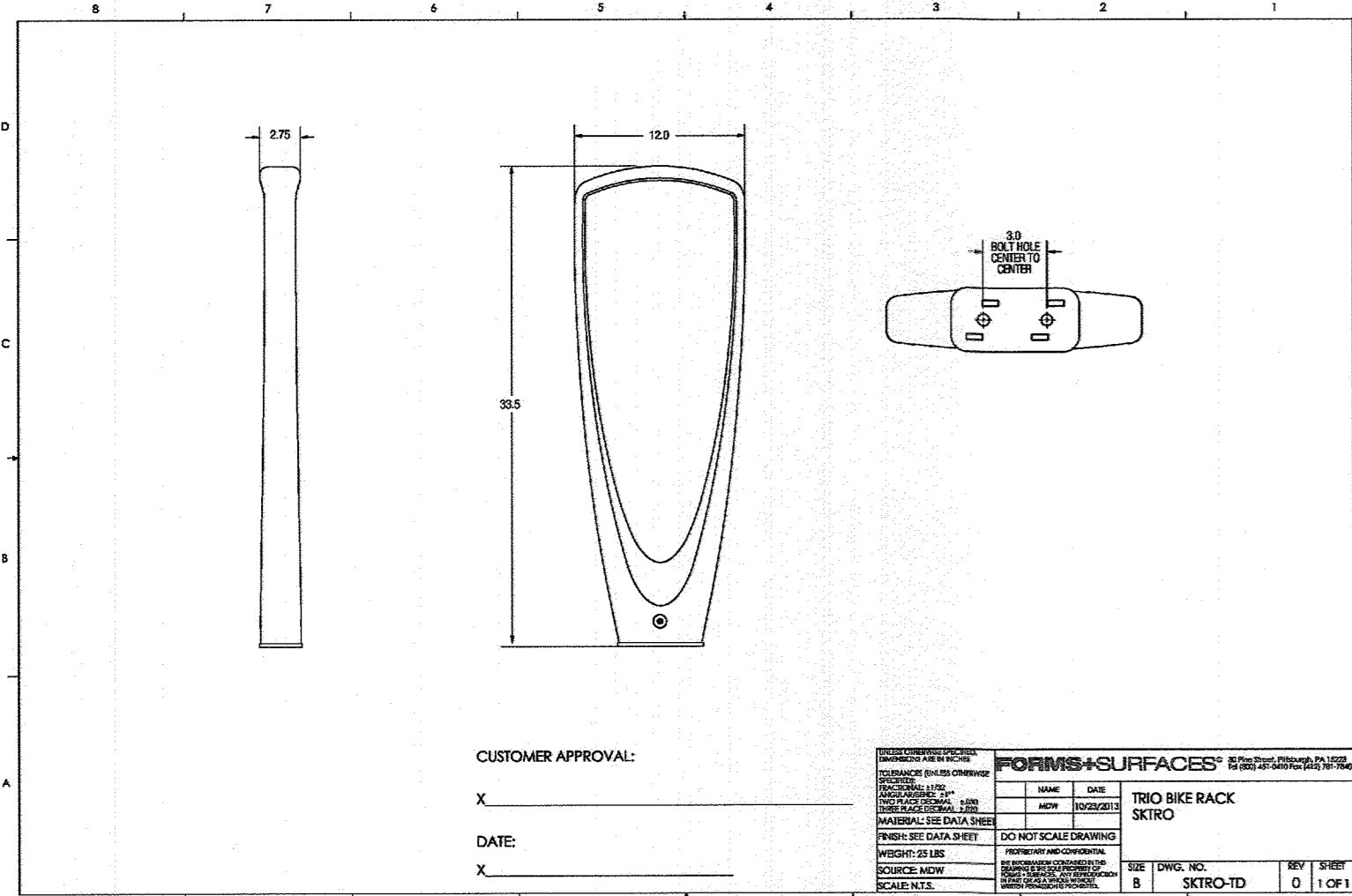
NOTES:  
 MANUFACTURER: EATON  
 CLEVELAND, OHIO 44122  
 800.386.1911  
 WWW.COOPERINDUSTRIES.COM

MODEL SPECIFICATIONS  
 SERIES: INVUE ABB ARBOR BOLLARD  
 HEIGHT: 36"  
 MOUNTING: SURFACE MOUNT  
 COLOR: TBD

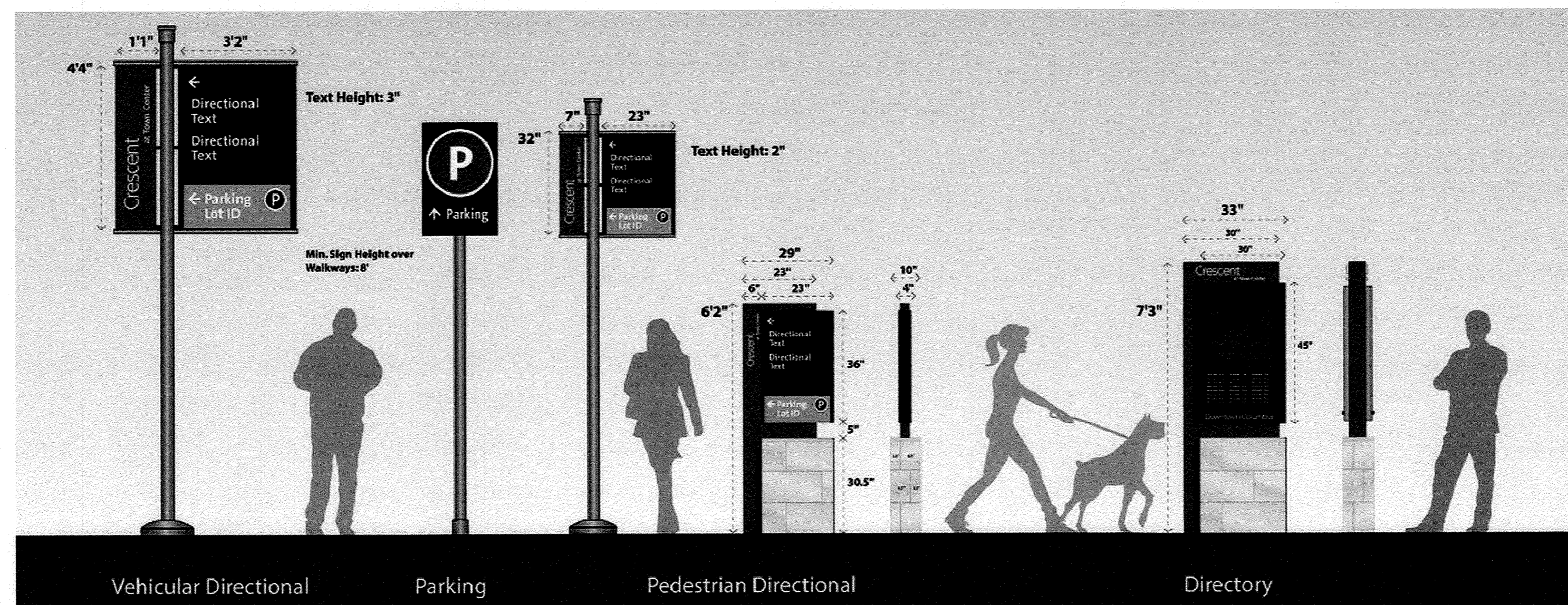


2 WASTE-RECYCLING RECEPTACLE  
 1/2" = 1'-0"

1 BOLLARD  
 1" = 1'-0"



3 BIKE RACK  
 1/2" = 1'-0"



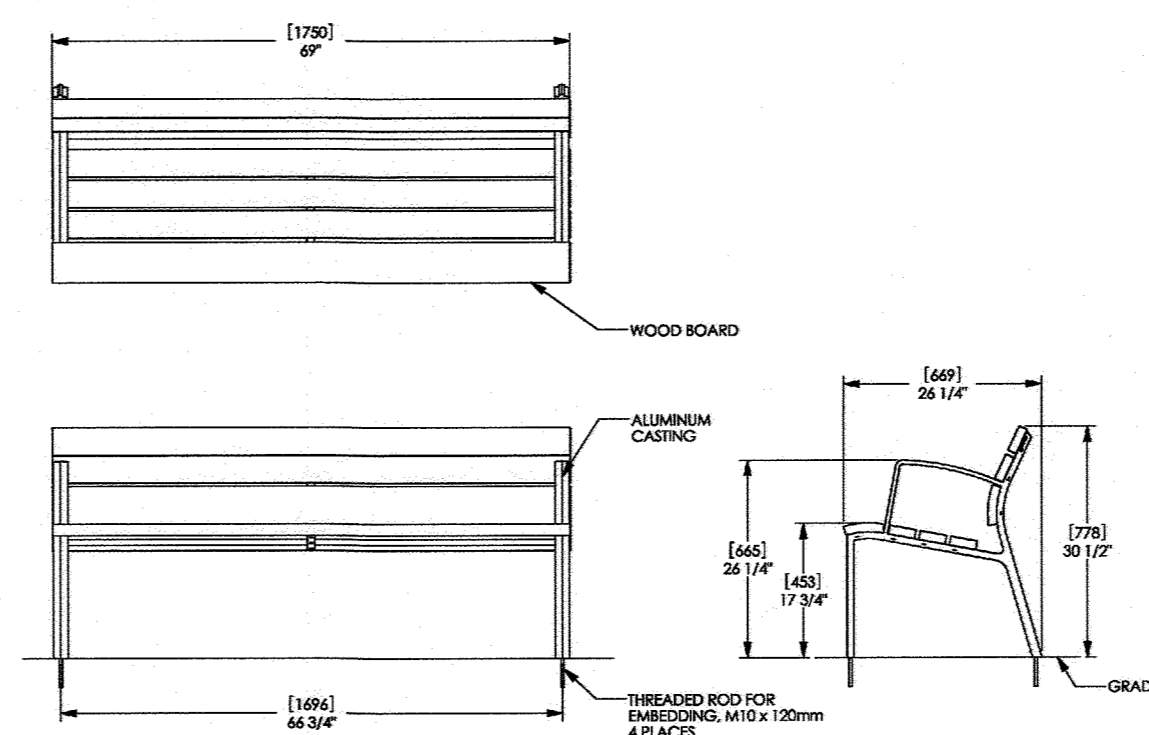
4 SIGNAGE  
 3/8" = 1'-0"



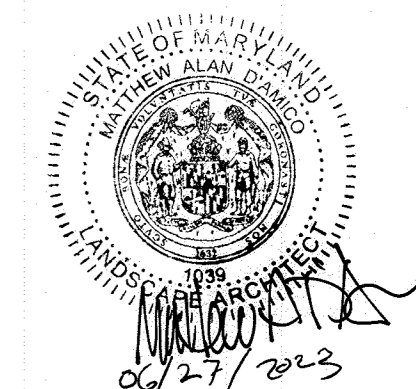
5 MULTI-USE PATH SIGNAGE  
 NTS

NOTE: IMAGE PROVIDED FOR PRECEDENT - ULTIMATE DESIGN OF MULTI-USE PATH SIGNAGE TO INDICATE THAT CYCLISTS ARE ENTERING A CONGESTED AREA AND SHOULD YIELD TO PEDESTRIANS.

Neoliviano Backed Bench, 60in, Embossed, Wood  
 Product Drawing  
 Date: 6/10/2013  
 www.landscapforms.com Ph: 800.521.2546



6 WOOD BENCH  
 NTS



CERTIFICATION NOTE:  
 I/WE CERTIFY THAT THE LANDSCAPING SHOWN ON THIS PLAN WILL BE DONE ACCORDING TO THE PLAN, SECTION 16.124 OF THE HOWARD COUNTY CODE, THE LANDSCAPE MANUAL FOR NEW TOWN ALTERNATIVE COMPLIANCE, AND THE CRESCENT PHASE 2 NEIGHBORHOOD DESIGN GUIDELINES, RECORDED AS BOOK 17559, PAGE 202 ADOPTED FOR THE SUBJECT PROPERTY. I/WE FURTHER CERTIFY THAT UPON COMPLETION A LETTER OF LANDSCAPE INSTALLATION, ACCOMPANIED BY AN EXECUTED ONE YEAR GUARANTEE OF PLANT MATERIALS, WILL BE SUBMITTED TO THE DEPARTMENT OF PLANNING AND ZONING.

DEVELOPER'S/OWNER'S NAME  
 DEVELOPER'S/OWNER'S NAME  
 L. SCOTT ARMIGER

APPROVED  
 PLANNING BOARD OF HOWARD COUNTY  
 Date: 3/1/18

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING  
 Director: [Signature] Date: 11/20/23  
 Chief, Division of Land Development: [Signature] Date: 6/23/23  
 Chief, Development Engineering Division: [Signature] Date: 8-21-23

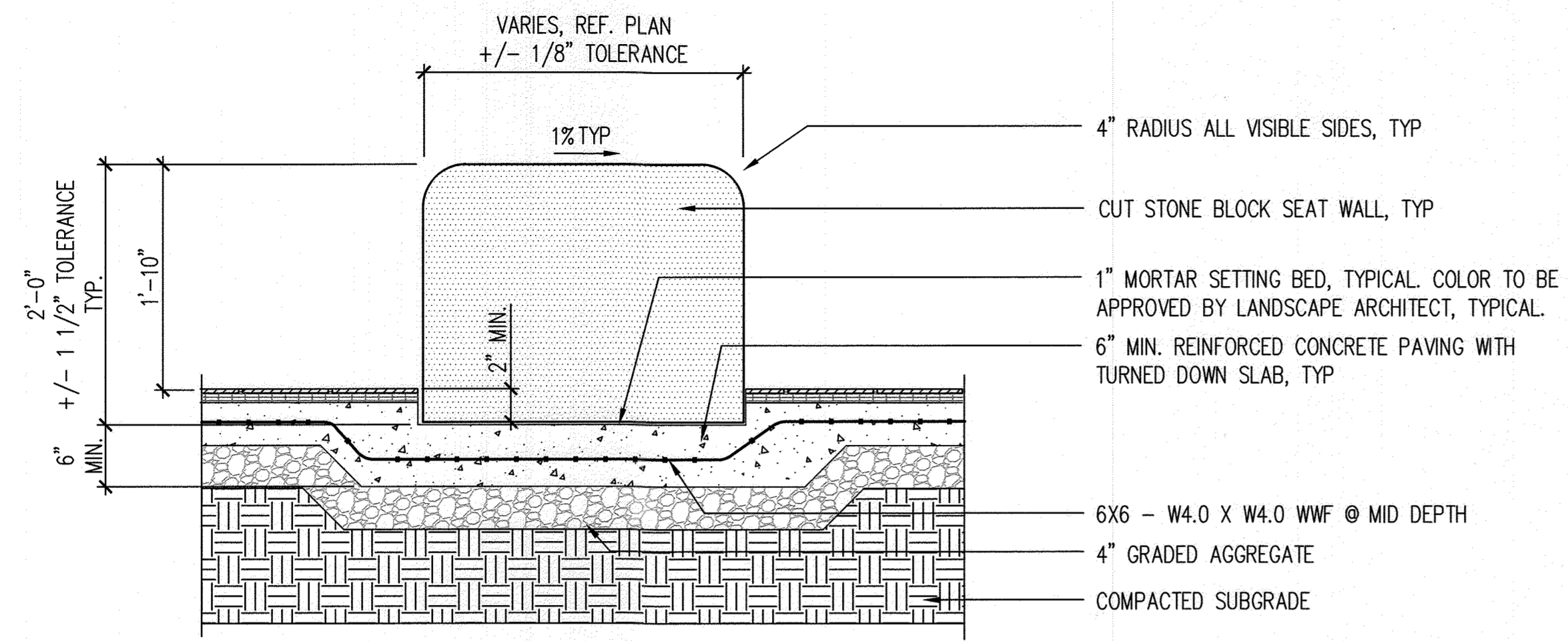
DES. BR	DRN. MM	CHK. AD	DATE	REVISION	BY	APP'R.

PREPARED FOR & OWNER PARCEL S  
 TOBY'S GENERAL PARTNERSHIP  
 10709 VISTA ROAD  
 COLUMBIA, MARYLAND 21044-4223  
 ATTN: SCOTT ARMIGER  
 410-964-2334

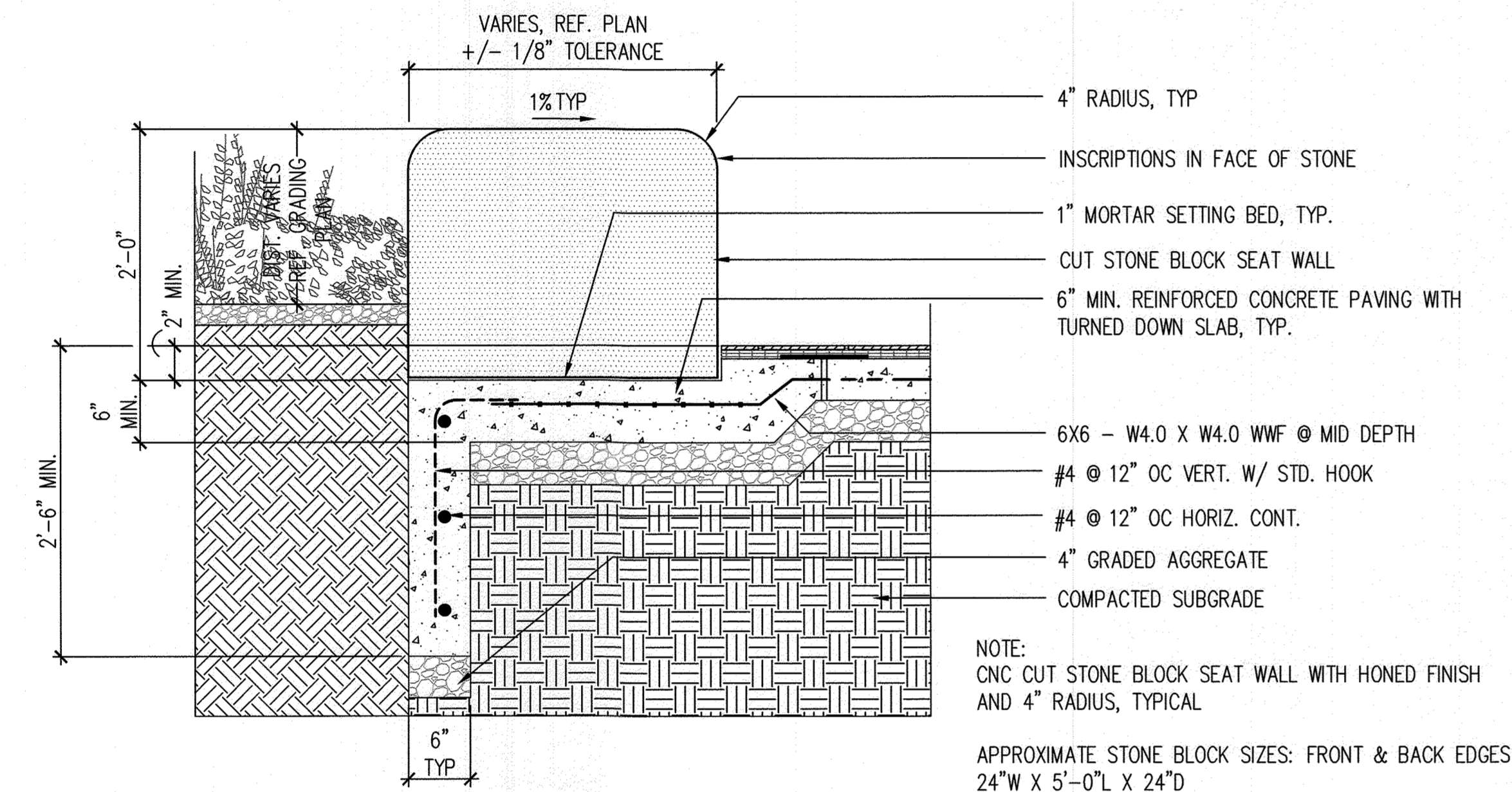
DETAILS - STREETSCAPE FURNISHINGS  
 THE NEW CULTURAL CENTER  
 DOWNTOWN COLUMBIA  
 CRESCENT NEIGHBORHOOD, PHASE 2, PARCEL S - GREEN BLDG.  
 ELECTION DISTRICT No. 5 A RESUBDIVISION OF LOT 1 (PLAT No. 15 Pg. 48) AND PARCELS G & H (PN: 24003) HOWARD COUNTY, MARYLAND

SCALE	ZONING	FILE No.
AS SHOWN	NT	
DATE	TAX MAP - GRID	SHEET
JUNE, 2023	36 - 8	31 OF 52

L205



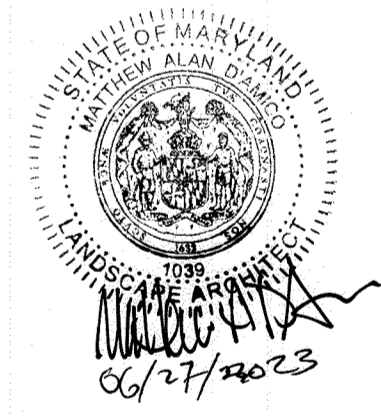
SECTION @ PAVING



SECTION @ PLANTING

NOTE:  
CNC CUT STONE BLOCK SEAT WALL WITH HONED FINISH AND 4" RADIUS, TYPICAL  
APPROXIMATE STONE BLOCK SIZES: FRONT & BACK EDGES 24"W X 5'-0"L X 24"D  
REF. MATERIALS LEGEND L101A FOR STONE TYPE

**1 SEATWALLS**  
1" = 1'-0"



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DEVELOPER'S/OWNER'S NAME  
*[Signature]*  
DEVELOPER'S/OWNER'S NAME  
L. SCOTT ARMIGER

**APPROVED**  
PLANNING BOARD OF HOWARD COUNTY  
Date: 3/1/18

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING  
*[Signature]* Director Date: 11/20/23  
*[Signature]* Chief, Division of Land Development Date: 10/23/23  
*[Signature]* Chief, Development Engineering Division Date: 8/21/23

<b>DESIGN COLLECTIVE</b> ARCHITECTURE, PLANNING, INTERIORS WWW.DESIGNCOLLECTIVE.COM	601 EAST PRATT STREET, SUITE 300 BALTIMORE, MARYLAND 21202 T: 410.685.6655 F: 410.539.6242
	DES. BR. DRN. MM. CHK. AD. DATE REVISION BY APPR.

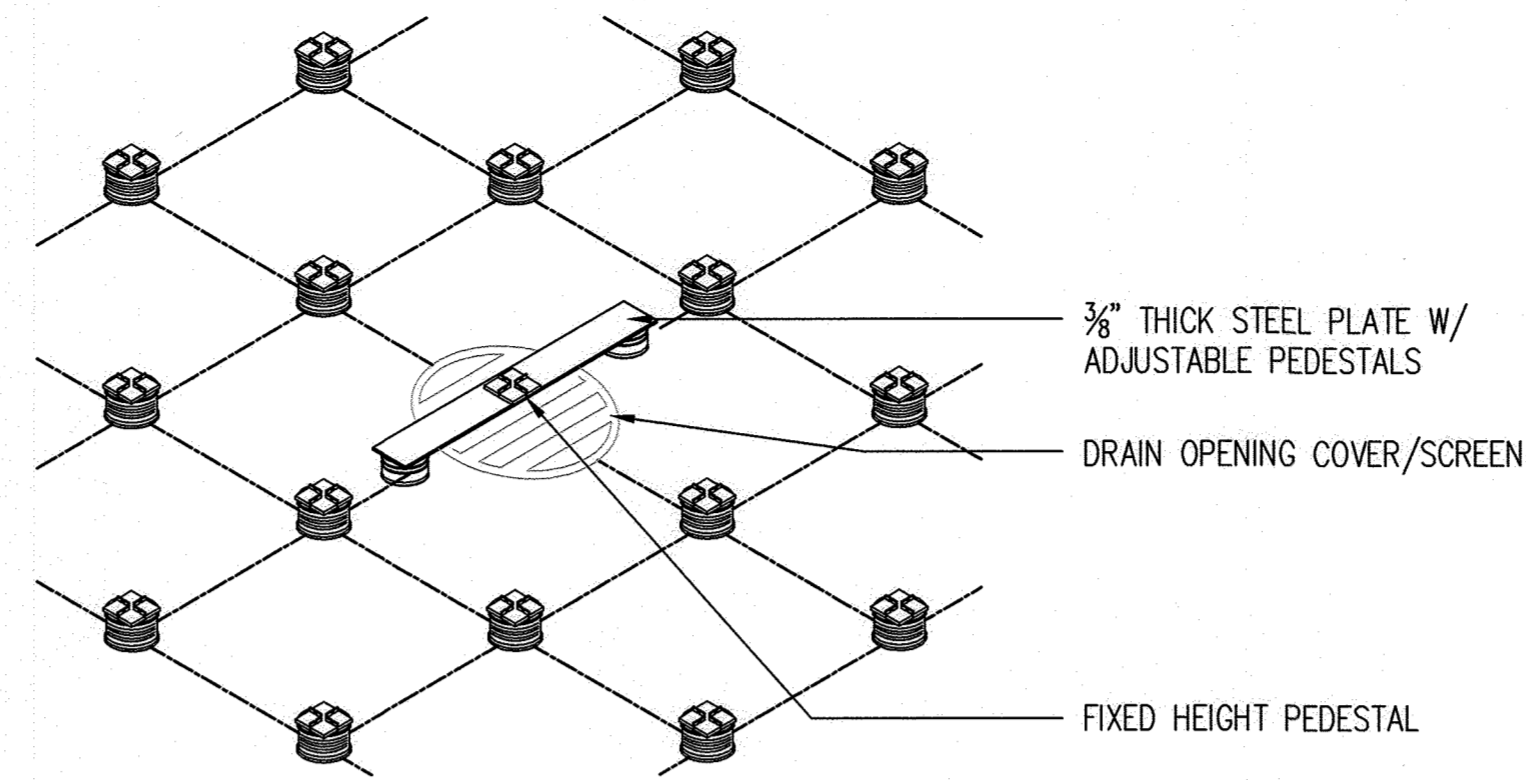
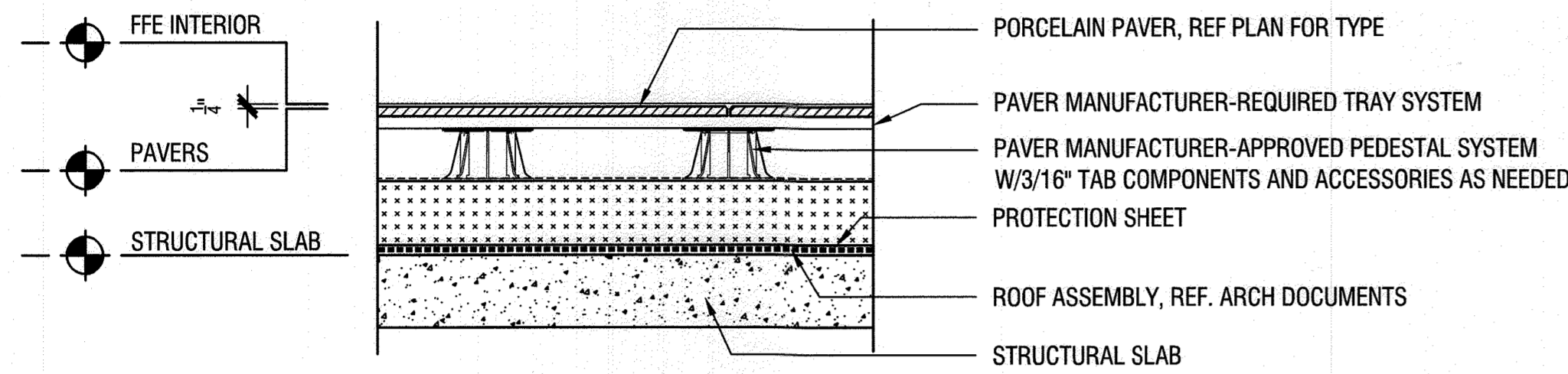
PREPARED FOR & OWNER PARCEL S  
TOBY'S GENERAL PARTNERSHIP  
10709 VISTA ROAD  
COLUMBIA, MARYLAND 21044-4223  
ATTN: SCOTT ARMIGER  
410-964-2334

DETAILS - SEATWALLS (ON GRADE)			SCALE	ZONING	FILE No.
THE NEW CULTURAL CENTER DOWNTOWN COLUMBIA CRESCENT NEIGHBORHOOD, PHASE 2, PARCEL S - GREEN BLDG. PN: <u>24100</u>			AS SHOWN	NT	
			DATE	TAX MAP - GRID	SHEET
ELECTION DISTRICT No. 5 A RESUBDIVISION OF LOT 1 (PLAT No. 15 Pg. 48) AND PARCELS G & H (PN: 24003) HOWARD COUNTY, MARYLAND			JUNE, 2023	36 - 8	32 OF 52

**L206**

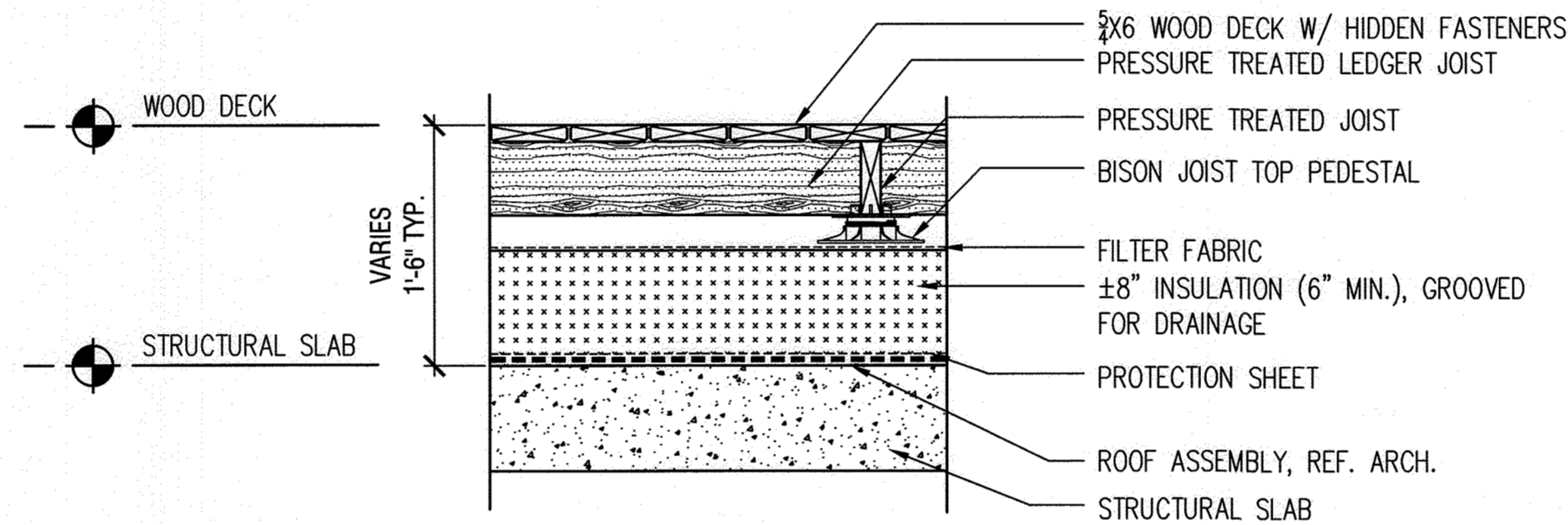
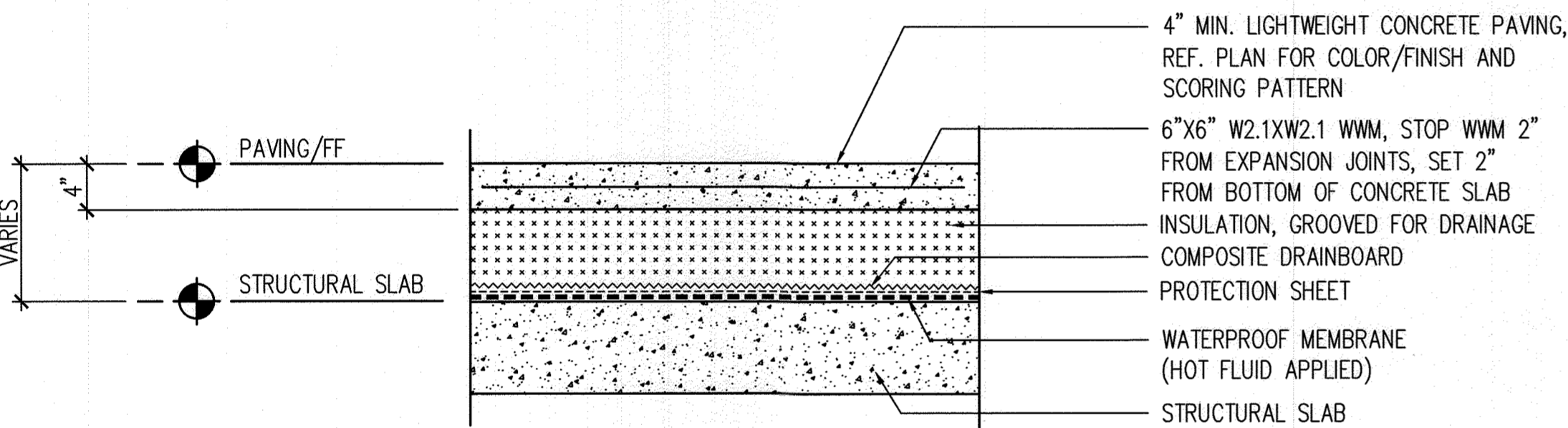


- NOTES:
1. PAVERS TO MEET WIND UPLIFT REQUIREMENTS AT REQUIRED LOCATIONS.
  2. PROVIDE PEDESTALS AT MANUFACTURER'S RECOMMENDED SPACING & AT RECOMMENDED EDGE CONDITIONS.
  3. PEDESTAL SYSTEM SELECTION TO BE COMPATIBLE WITH SELECTED PAVER AND WATERPROOFING SYSTEM.



- NOTES:
1. PROVIDE STEEL PLATE ON PEDESTALS AT INSULATION GAPS. REFERENCE PLAN FOR PAVER LAYOUT.
  2. THE ADJUSTABLE PEDESTALS THAT ARE PLACED TO SUPPORT THE STEEL PLATE MUST BE SET TO THE HEIGHT OF THE SURROUNDING PEDESTALS, MINUS THE THICKNESS OF THE STEEL PLATE.
  3. PROVIDE PEDESTALS AT MANUFACTURER'S RECOMMENDED SPACING & AT RECOMMENDED EDGE CONDITIONS.

**1 PAVER ON PEDESTAL**  
1" = 1'-0"



**2 PAVING - CONCRETE (ON STRUCTURE)**  
1" = 1'-0"

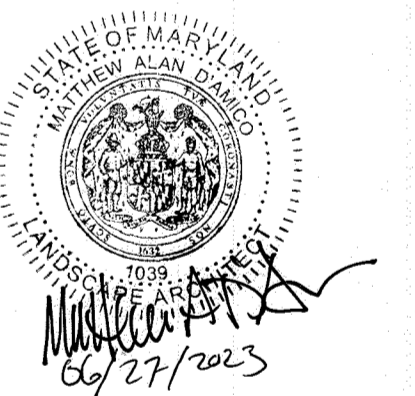
**3 WOOD DECKING (ON STRUCTURE)**  
1" = 1'-0"

**WOOD NOTES**

- FRAMING: PRESSURE TREATED
- HARDWOOD DECK: 5/4" X 6" BLACK LOCUST GROOVED BOARD TO ACCEPT HIDDEN FASTENERS ALL EXPOSED EDGES TO BE EASED
- PEDESTAL SYSTEM MANUFACTURER: BISON OR APPROVED EQUAL ADJUSTABLE PEDESTAL W/ JOIST TOP INSTALL PER MANUFACTURERS RECOMMENDATIONS
- DECK FASTENERS MANUFACTURER: IPE CLIP EXTREME4 (HIDDEN FASTENER) OR APPROVED EQUAL FOLLOW MANUFACTURER'S INSTRUCTIONS FOR TYPICAL INSTALL OVER DRAIN LOCATED BENEATH DECK, INSTALL FASTENER AT 90 DEGREES TO DECKING FOR FULL LENGTH OF DECK BOARD TO ALLOW FUTURE ACCESS TO DRAIN BELOW.
- GENERAL NOTES: DECKING AND JOIST SPANNING CAPABILITIES VARY. DECK PLAN IS CONCEPTUAL AND NEEDS TO BE VERIFIED FOR LOCAL CODES AND FINAL MATERIAL SELECTION.

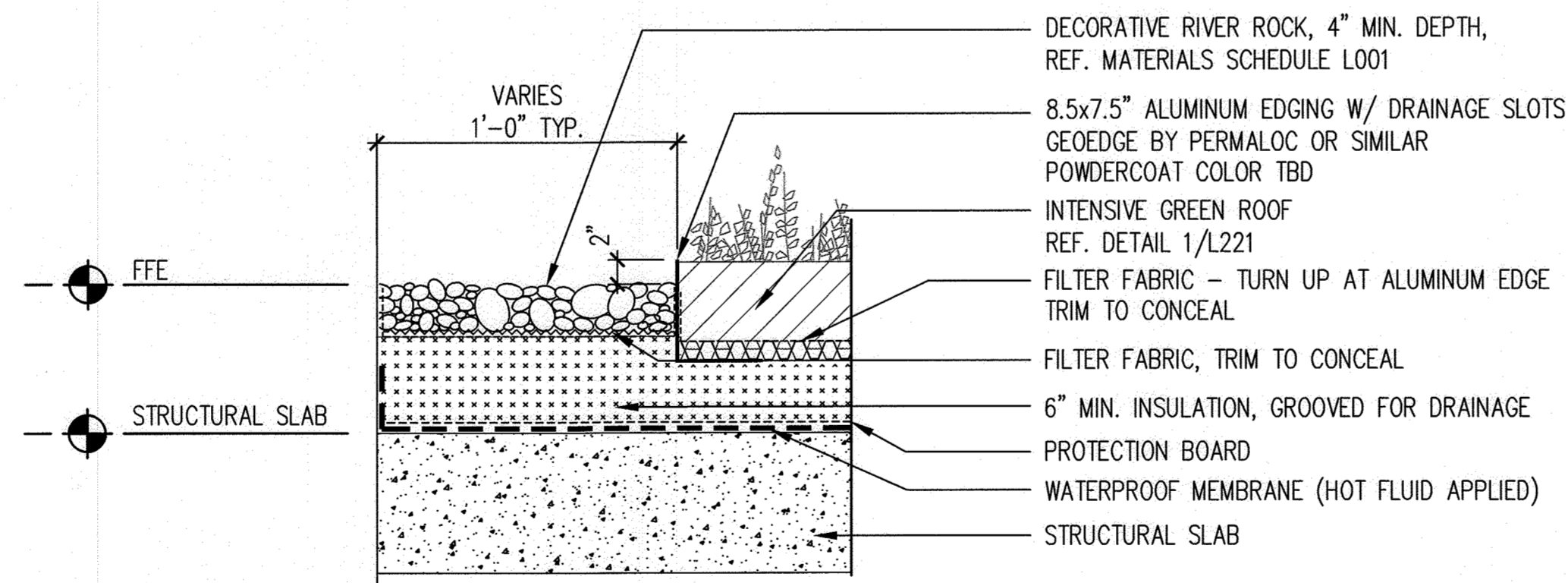
**SHOP DRAWINGS**

LANDSCAPE ARCHITECT TO APPROVE WOOD SHOP DRAWINGS. CONTRACTOR TO PROVIDE LANDSCAPE ARCHITECT WITH CUT SHEET OF ALL FINAL PRODUCT SELECTIONS FOR APPROVAL.



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DEVELOPER'S/OWNER'S NAME  
*L. Scott Armiger*  
DEVELOPER'S/OWNER'S NAME  
L. SCOTT ARMIGER



**4 PAVING - RIVER ROCK (ON STRUCTURE)**  
1" = 1'-0"

APPROVED  
PLANNING BOARD OF HOWARD COUNTY  
Date: 3/1/18

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING  
Director: *Lynn de Eschberg* 11/20/23  
Chief, Division of Land Development: *John* 10/23/23  
Chief, Development Engineering Division: *Chad Edmondson* 8/21/23

**DESIGN COLLECTIVE**  
ARCHITECTURE, PLANNING, INTERIORS  
WWW.DESIGNCOLLECTIVE.COM  
601 EAST PRATT STREET, SUITE 300  
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T: 410.685.6655 F: 410.539.6242

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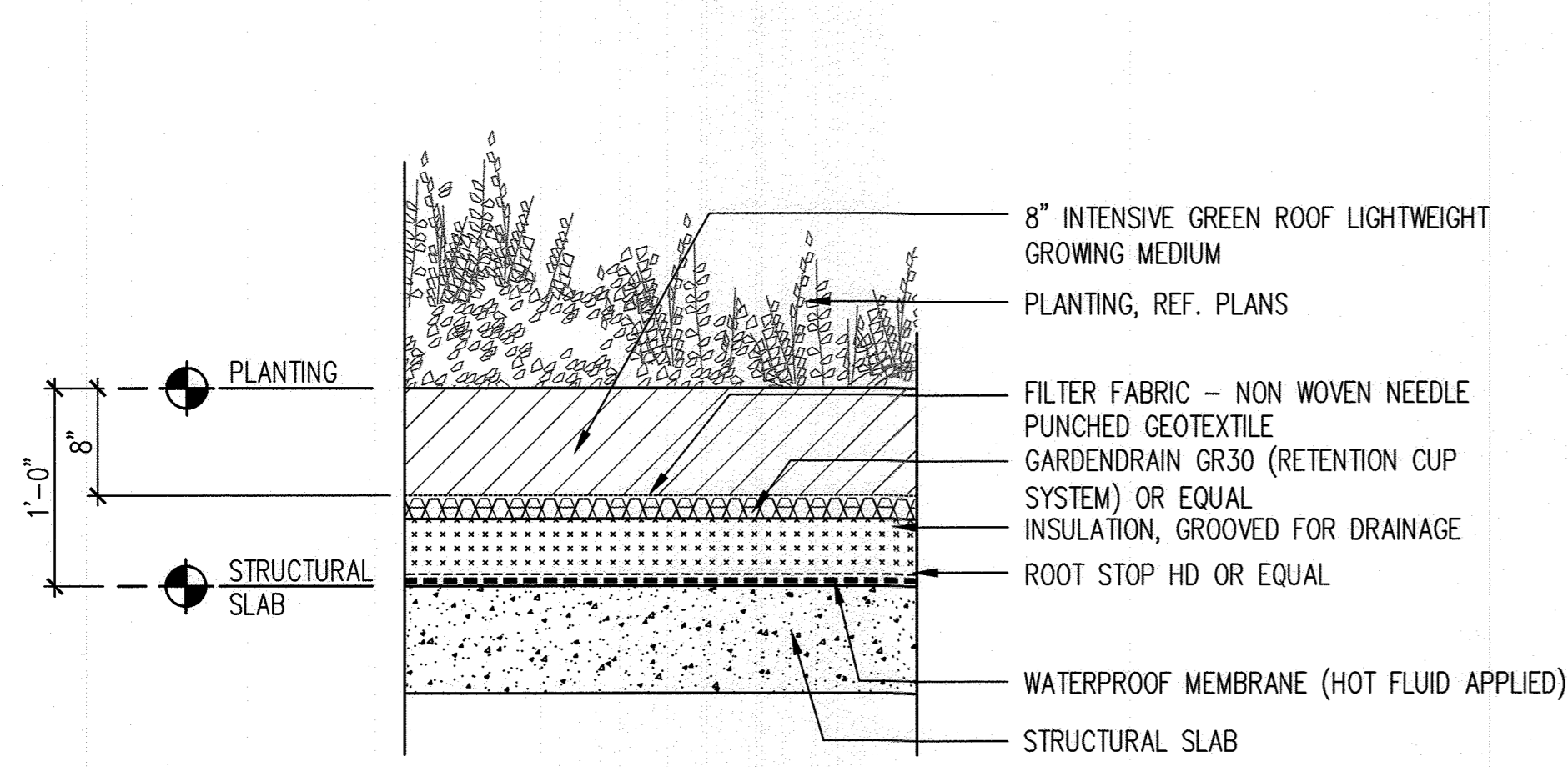
PREPARED FOR & OWNER PARCEL S  
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COLUMBIA, MARYLAND 21044-4223  
ATTN: SCOTT ARMIGER  
410-964-2334

THE NEW CULTURAL CENTER  
DOWNTOWN COLUMBIA  
CRESCENT NEIGHBORHOOD, PHASE 2, PARCEL S - GREEN BLDG.  
PN: 26405

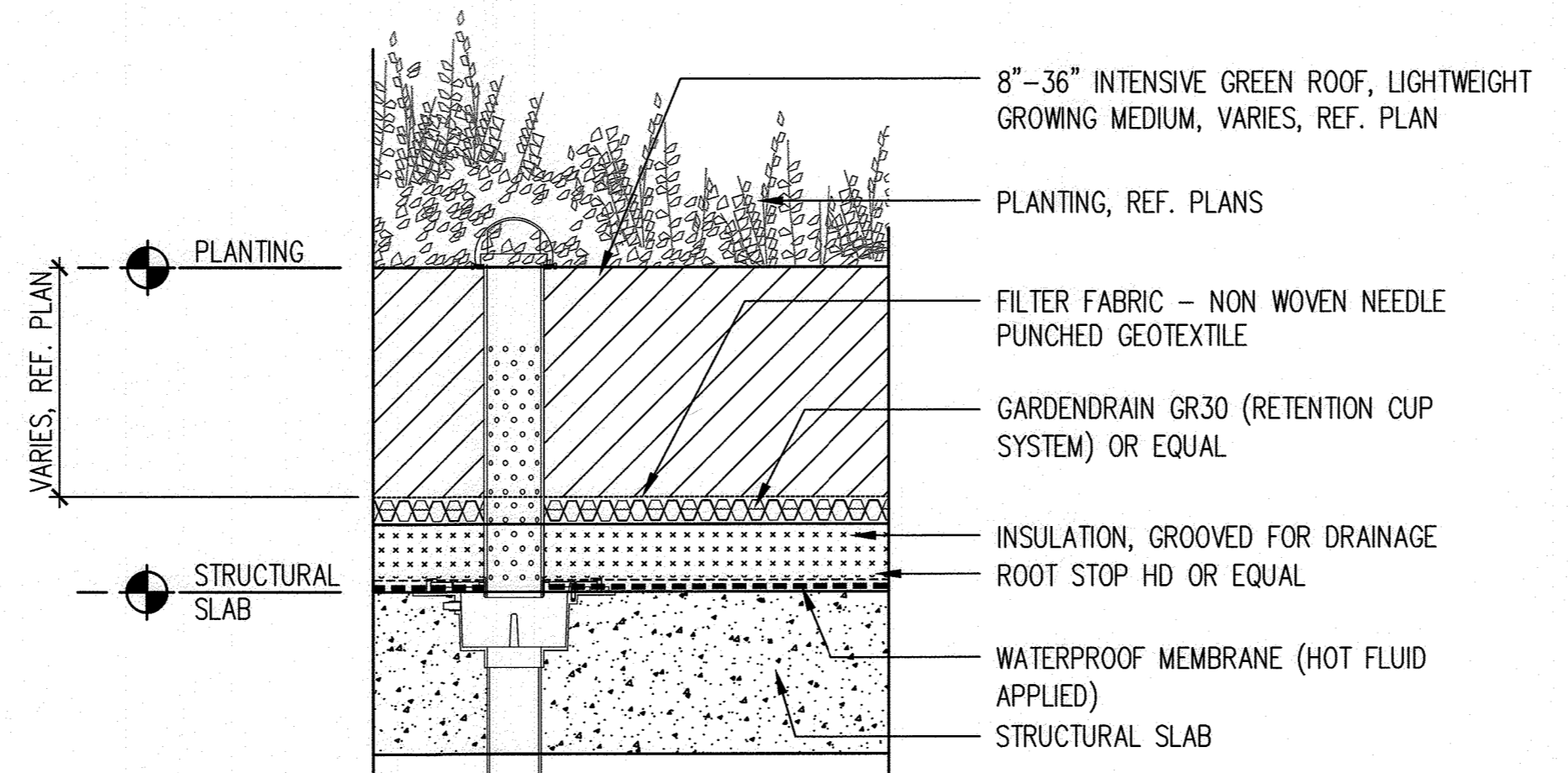
DETAILS - PAVING (ON STRUCTURE)  
ELECTION DISTRICT No. 5 A RESUBDIVISION OF LOT 1 (PLAT No. 15 Pg. 48) AND PARCELS G & H (PN: 24003) HOWARD COUNTY, MARYLAND

SCALE	ZONING	FILE No.
AS SHOWN	NT	
DATE	TAX MAP - GRID	SHEET
JUNE, 2023	36 - 8	33 OF 52

**L220**



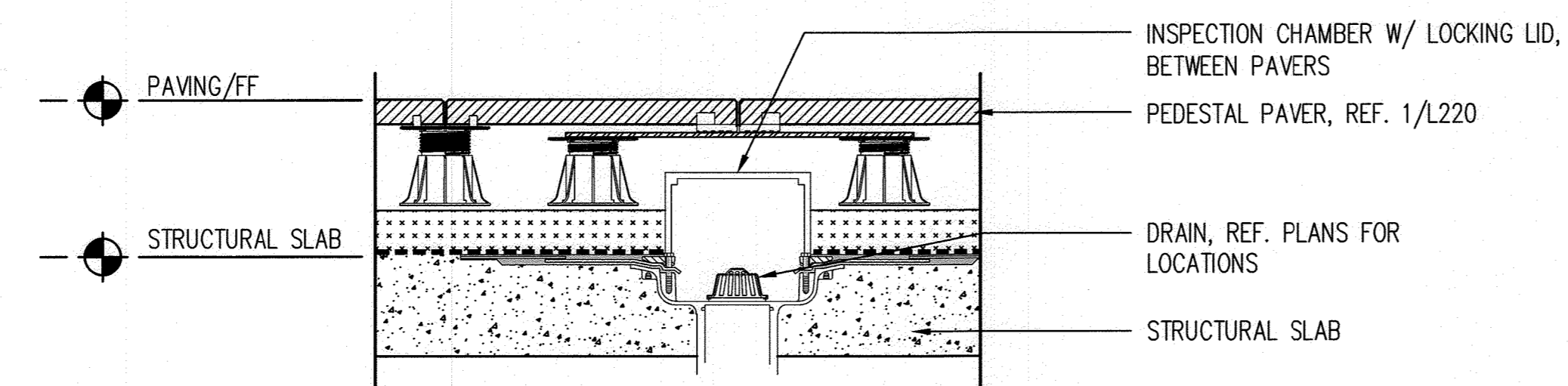
NOTE: FILL DRAINAGE/WATER RETENTION COMPONENT W/ LT. WT. AGGREGATE IF SOIL MASS ABOVE EQUALS OR EXCEEDS 8"



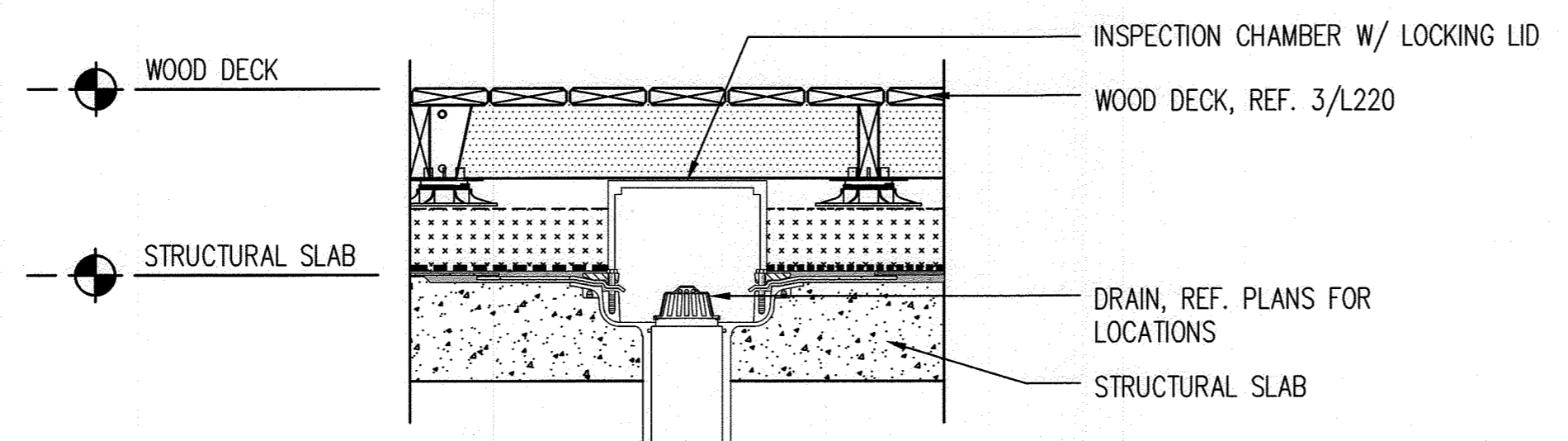
NOTE: FILL DRAINAGE/WATER RETENTION COMPONENT W/ LT. WT. AGGREGATE IF SOIL MASS ABOVE EQUALS OR EXCEEDS 8"

**1 GREEN ROOF - INTENSIVE (8 INCHES)**  
1" = 1'-0"

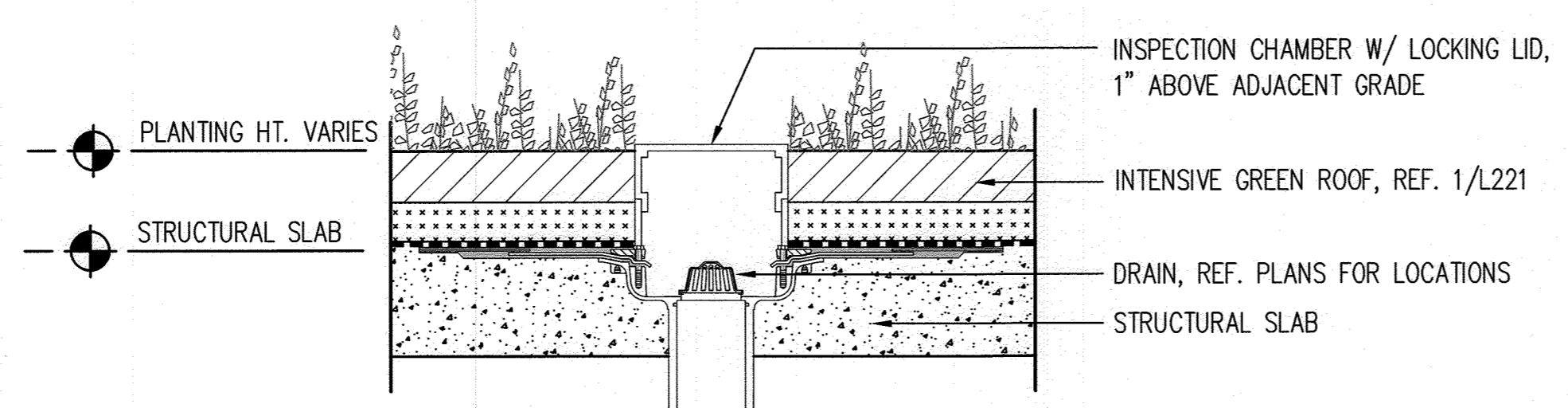
**2 GREEN ROOF - INTENSIVE (8-36 INCHES)**  
1" = 1'-0"



**3 DRAIN - PAVER ON PEDESTAL**  
1" = 1'-0"



**4 DRAIN - WOOD DECKING**  
1" = 1'-0"



**5 DRAIN - PLANTING**  
1" = 1'-0"

**GREEN ROOF MAINTENANCE NOTES & SPECIFICATIONS:**

**OPERATION AND MAINTENANCE SCHEDULE FOR PRIVATELY OWNED AND MAINTAINED GREEN ROOF (A-1)**

THE FOLLOWING OPERATION AND MAINTENANCE SCHEDULE SHALL BE IMPLEMENTED TO THE FUNCTION OF THE GREEN ROOF SYSTEM IN ACCORDANCE WITH THE RECOMMENDATIONS OF THE "GREEN ROOF SYSTEM DISTRIBUTOR":

- WEED - ON AN ANNUAL BASIS REMOVE UNWANTED PLANT MATERIAL.
- REPLACE - REPLACE FAILED PLANT MATERIAL WHEN THE FAILED PLANT AREA EXCEEDS FIVE PERCENT (5%) OF THE ROOF AREA.
- IRRIGATE - A NEWLY INSTALLED ROOF SHOULD BE IRRIGATED DURING THE FIRST GROWING SEASON. SATURATE THE GREEN ROOF AT LEAST ONCE A WEEK DURING THIS FIRST GROWING SEASON. AFTER VEGETATION IS ESTABLISHED, IRRIGATION MAY BE REQUIRED PERIODICALLY DURING DRY PERIODS.
- NUTRIENT - THE APPLICATION OF A SLOW-RELEASE FERTILIZER IN THE SPRING IS RECOMMENDED ON AN ANNUAL BASIS.
- INSPECT FOR DRAINAGE - AFTER EACH SIGNIFICANT RAINFALL INSPECT DOWNSPOUTS OR DRAINAGE CHANNELS/COURSES FOR CLOGS.
- INSPECT FOR LEAKS - AFTER EACH SIGNIFICANT RAINFALL INSPECT THE GREEN ROOF FOR LEAKS.

**B.4.A GREEN ROOF SPECIFICATIONS**

1. MATERIAL SPECIFICATIONS  
BECAUSE THERE IS SIGNIFICANT VARIATION IN GREEN ROOF ASSEMBLIES AND METHODS, PROVIDING COMPREHENSIVE SPECIFICATIONS IS NOT FEASIBLE. MATERIAL SPECIFICATIONS FOR GREEN ROOFS WILL VARY BASED ON EACH ROOFING SYSTEM AND SPECIFIC INFORMATION SHOULD BE OBTAINED FROM THE APPROPRIATE MANUFACTURER OR RETAILER. THE FOLLOWING INFORMATION AND SPECIFICATIONS, WHICH INCLUDE ACCEPTABLE MATERIALS FOR GENERIC APPLICATIONS, IS NOT EXCLUSIVE OR LIMITING.

2. PLANTING MEDIA  
PLANTING MEDIA SHOULD BE A SOIL-LIKE MIXTURE WITH AN ORGANIC CONTENT OF 15% OR LESS. THE GRAIN SIZE DISTRIBUTION IS NECESSARY FOR TO ATTAIN PROPER MOISTURE CONTENT, PERMEABILITY, NUTRIENT MANAGEMENT AND NON-CAPILLARY POROSITY, AND SOIL STRUCTURE. GRAIN SIZE GUIDELINES VARY FOR SINGLE AND DUAL MEDIA GREEN ROOF ASSEMBLIES.

THE PLANTING MEDIA SHALL BE TESTED AND MEET THE FOLLOWING CRITERIA:

- NON-CAPILLARY PORE SPACE AT FIELD CAPACITY, 0.333 BAR  $\geq 15\%$  (VOLUME) (TMECC 03.01, A)
- MOISTURE CONTENT AT FIELD CAPACITY  $\geq 12\%$  (VOLUME) (TMECC 03.01, A)
- MAXIMUM MEDIA WATER RETENTION (FLL)  $\geq 30\%$  (VOLUME)
- ALKALINITY, CaCO3 EQUIVALENTS (MSA)  $\leq 2.5\%$
- TOTAL ORGANIC MATTER BY WET COMBUSTION (MSA)  $\leq 3-15\%$  (dry wt.)
- PH (RCSTP) 6.5 - 8.0
- SOLUBLE SALTS (DTPA SATURATED MEDIA EXTRACTION - RCSTP)  $\leq 6$  mmhos/cm
- CATION EXCHANGE CAPACITY (MSA)  $\leq 10$  meq/100 g
- SATURATED HYDRAULIC CONDUCTIVITY (FLL):
  - SINGLE MEDIA ASSEMBLIES  $\leq 0.05$  in/min
  - DUAL MEDIA ASSEMBLIES  $\leq 0.30$  in/min

• MINERAL FRACTION GRAIN SIZE DISTRIBUTION (ASTM D422):

	SINGLE MEDIA	DUAL MEDIA
• CLAY FRACTION (2 MICRON)	0	0
• % PASSING #200 SIEVE	$\leq 5\%$	5 - 15%
• % PASSING #60 SIEVE	$\leq 10\%$	10 - 25%
• % PASSING #18 SIEVE	5 - 50%	20 - 50%
• % PASSING 1/8 INCH SIEVE	20 - 70%	55 - 90%
• % PASSING 3/8 INCH SIEVE	75 - 100%	90 - 100%

3. GREEN ROOF LAYERS  
ROOT BARRIERS - SHOULD BE THERMOPLASTIC MEMBRANES WITH MINIMUM THICKNESS OF 30 MILS. MEMBRANES CERTIFIED FOR USE AS ROOT BARRIERS ARE RECOMMENDED. HOWEVER, ONLY FLL CURRENTLY OFFERS A RECOGNIZED CERTIFICATION TEST. MANY FLL-CERTIFIED MATERIALS ARE LOCALLY AVAILABLE.

GRANULAR DRAINAGE MEDIA - SHOULD BE A NON-CARBONATE MINERAL AGGREGATE MEETING THE FOLLOWING SPECIFICATIONS:

- SATURATED HYDRAULIC CONDUCTIVITY  $\geq 25$  INCHES/MINUTE
- TOTAL ORGANIC MATTER (BY WET COMBUSTION)  $\leq 1\%$
- ABRASION RESISTANCE (ASTM C131-96)  $\leq 25\%$  LOSS
- SOUNDNESS (ASTM C88 OR T103 OR T103-91)  $\leq 5\%$  LOSS
- POROSITY (ASTM C29)  $\geq 25\%$
- ALKALINITY, CaCO3 EQUIVALENTS (MSA)  $\leq 1\%$
- GRAIN SIZE DISTRIBUTION (ASTM C136)
  - PERCENT PASSING #18 SIEVE  $\leq 1\%$
  - PERCENT PASSING 1/4 INCH SIEVE  $\leq 30\%$
  - PERCENT PASSING 3/8 INCH SIEVE  $\leq 80\%$

SEPARATION FABRIC - SHOULD BE A LIGHTWEIGHT, NON-WOVEN GEOTEXTILE THAT IS EASILY PENETRATED BY ROOTS WHILE PROVIDING A DURABLE SEPARATION BETWEEN DRAINAGE AND GROWTH MEDIA LAYERS. SEPARATION FABRICS SHOULD MEET THE FOLLOWING:

- UNIT WEIGHT (ASTM D3776)  $\leq 4.25$  OUNCES PER SQUARE YARD
- GRAB TENSILE STRENGTH (ASTM D4632)  $\leq 90$  LBS.
- MULLEN BURST STRENGTH (ASTM D4632)  $\geq 135$  LBS/INCH
- PERMITTIVITY (ASTM D4491)  $\geq 2$  SEC-1

NOTE: REF. CIVIL SHEET 13 FOR GROUND LEVEL STORMWATER MANAGEMENT DETAILS



**CERTIFICATION NOTE:**  
I/WE CERTIFY THAT THE LANDSCAPING SHOWN ON THIS PLAN WILL BE DONE ACCORDING TO THE PLAN, SECTION 16.124 OF THE HOWARD COUNTY CODE, THE LANDSCAPE MANUAL FOR NEW TOWN ALTERNATIVE COMPLIANCE, AND THE CRESCENT PHASE 2 NEIGHBORHOOD DESIGN GUIDELINES, RECORDED AS BOOK 17559, PAGE 202 ADOPTED FOR THE SUBJECT PROPERTY. I/WE FURTHER CERTIFY THAT UPON COMPLETION A LETTER OF LANDSCAPE INSTALLATION, ACCOMPANIED BY AN EXECUTED ONE YEAR GUARANTEE OF PLANT MATERIALS, WILL BE SUBMITTED TO THE DEPARTMENT OF PLANNING AND ZONING.

DEVELOPER'S/OWNER'S NAME  
*L. Scott Armiger*  
DEVELOPER'S/OWNER'S NAME  
L. SCOTT ARMIGER

APPROVED  
PLANNING BOARD OF HOWARD COUNTY  
Date: 3/1/18

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING  
Director: *Dymphna Esposito* Date: 11/20/23  
Chief, Division of Land Development: *[Signature]* Date: 10/29/23  
Chief, Development Engineering Division: *[Signature]* Date: 8/2/20

<b>DESIGN COLLECTIVE</b>	601 EAST PRATT STREET, SUITE 300 BALTIMORE, MARYLAND 21202 T: 410.685.6655 F: 410.539.6242					
DES. BR	DRN. MM	CHK. AD	DATE	REVISION	BY	APPR.

PREPARED FOR & OWNER PARCEL S  
TOBY'S GENERAL PARTNERSHIP  
10709 VISTA ROAD  
COLUMBIA, MARYLAND 21044-4223  
ATTN: SCOTT ARMIGER  
410-964-2334

DETAILS - GREEN ROOF  
**THE NEW CULTURAL CENTER**  
DOWNTOWN COLUMBIA  
CRESCENT NEIGHBORHOOD, PHASE 2, PARCEL S - GREEN BLDG.  
PN: 24102  
ELECTION DISTRICT No. 5 A RESUBDIVISION OF LOT 1 (PLAT No. 15 Pg. 48) AND PARCELS G & H (PN: 24003) HOWARD COUNTY, MARYLAND

SCALE	ZONING	FILE No.
AS SHOWN	NT	
DATE	TAX MAP - GRID	SHEET
JUNE, 2023	36 - 8	34 OF 52

**L221**

SYMPHONY WOODS ROAD

SOUTH ENTRANCE ROAD

MATCH LINE - REF. L101B - HARDSCAPE PLAN - GROUND LEVEL B

**TREE SCHEDULE**

EVERGREEN TREES	QTY	BOTANICAL / COMMON NAME	CONT	CAL	SIZE	REMARKS
IR	8	Ilex x rutzan 'Red Beauty' Red Beauty Holly	B & B		10' HT.	Specimens; matched; full
DECIDUOUS TREES	QTY	BOTANICAL / COMMON NAME	CONT	CAL	SIZE	REMARKS
AR2	3	Acer rubrum 'Brandywine' Brandywine Red Maple	B & B	4" Cal		Specimen; matched; full canopy
MG	2	Metasequoia glyptostroboides Dawn Redwood	B & B		10' HT.	Specimens; matched; full
NS	4	Nyssa sylvatica 'Green Gable' 'Green Gable' Tupelo	B & B	3" Cal		Specimen; matched; full canopy
QR	9	Quercus rubra Northern Red Oak	B & B	4" Cal		Specimens; matched; full canopy
FLOWERING TREES	QTY	BOTANICAL / COMMON NAME	CONT	CAL	SIZE	REMARKS
CC	4	Cercis canadensis 'Oklahoma' Oklahoma Redbud	B & B	2.5" Cal.	8'-9' HT.	Specimens; matched; full canopy
CF	3	Cornus florida 'Cherokee Brave' Cherokee Brave Dogwood	B & B	2.5" Cal.	8'-9' HT.	Specimens; matched; full canopy

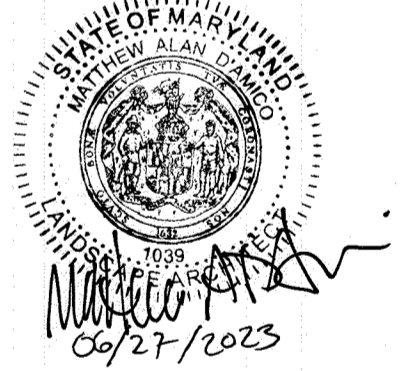
**LANDSCAPE SURETY QUANTITIES**

SHADE TREES	12
ORNAMENTAL TREES	8
EVERGREEN TREES	12
MICRO-BIORETENTION TREES	5
SHRUBS	360

**SURETY NOTES:**

1. SURETY FOR MICRO-BIORETENTION PLANTING WILL BE CALCULATED AS PART OF STORMWATER MANAGEMENT COST ESTIMATE.
2. SURETY FOR (6) STREET TREES ON PUBLIC ROADS IS INCLUDED IN THE F-16-114 DPW COST ESTIMATE \*
3. SURETY FOR STREET TREES ON PRIVATE ROADS SHOULD BE CALCULATED AS PART OF THE DPZ COST ESTIMATE.

\* DENOTES STREET TREE, SEE NOTE 2 IN SURETY NOTES



**CERTIFICATION NOTE:**  
I/WE CERTIFY THAT THE LANDSCAPING SHOWN ON THIS PLAN WILL BE DONE ACCORDING TO THE PLAN, SECTION 16.124 OF THE HOWARD COUNTY CODE, THE LANDSCAPE MANUAL FOR NEW TOWN ALTERNATIVE COMPLIANCE, AND THE CRESCENT PHASE 2 NEIGHBORHOOD DESIGN GUIDELINES, RECORDED AS BOOK 17559, PAGE 202 ADOPTED FOR THE SUBJECT PROPERTY. I/WE FURTHER CERTIFY THAT UPON COMPLETION A LETTER OF LANDSCAPE INSTALLATION, ACCOMPANIED BY AN EXECUTED ONE YEAR GUARANTEE OF PLANT MATERIALS, WILL BE SUBMITTED TO THE DEPARTMENT OF PLANNING AND ZONING.

DEVELOPER'S/OWNER'S NAME  
*LSA*  
DEVELOPER'S/OWNER'S NAME  
L. SCOTT ARMIGER

0' 10' 20' 40' 60' **L301A**

**APPROVED**  
PLANNING BOARD OF HOWARD COUNTY

Date: 3/1/18

---

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

*Alma de Esobry* 11/20/23  
Director Date

*Robles*  
Date

*W. Clark* 8/2/23  
Chief, Development Engineering Division Date

**DESIGN COLLECTIVE**

ARCHITECTURE, PLANNING, INTERIORS  
WWW.DESIGNCOLLECTIVE.COM

601 EAST PRATT STREET, SUITE 300  
BALTIMORE, MARYLAND 21202  
T: 410.685.6655 F: 410.539.6242

DES. BR	DRN. MM	CHK. AD	DATE	REVISION	BY	APP'R.

PREPARED FOR & OWNER PARCEL S

TOBY'S GENERAL PARTNERSHIP  
10709 VISTA ROAD  
COLUMBIA, MARYLAND 21044-4223  
ATTN: SCOTT ARMIGER  
410-964-2334

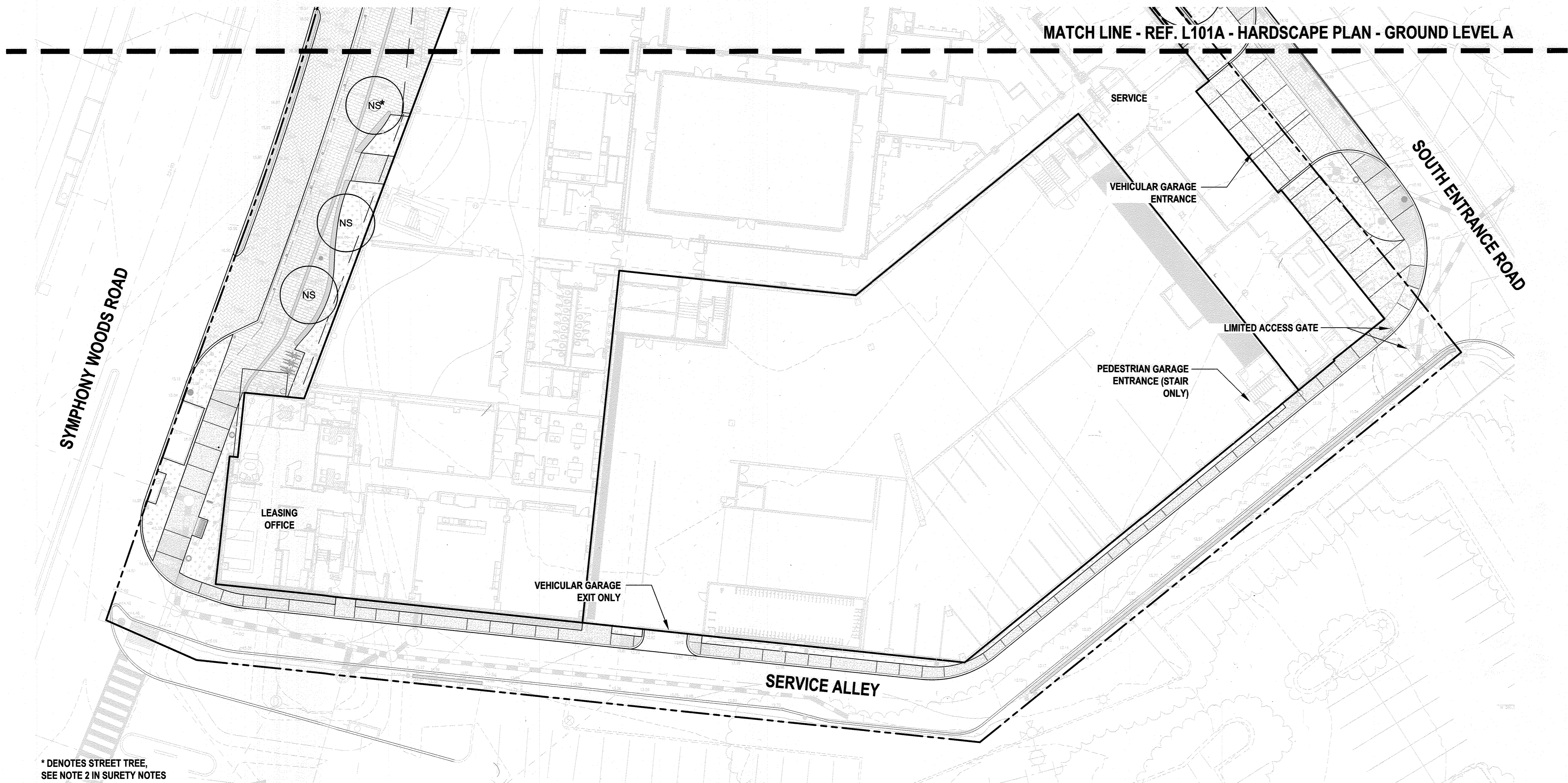
TREE PLAN - GROUND LEVEL A

**THE NEW CULTURAL CENTER**  
DOWNTOWN COLUMBIA  
CRESCENT NEIGHBORHOOD, PHASE 2, PARCEL S - GREEN BLDG.

SCALE	ZONING	FILE No.
1" = 20'	NT	
DATE	TAX MAP - GRID	SHEET
JUNE, 2023	36 - 8	35 OF 52

ELECTION DISTRICT No. 5 A RESUBDIVISION OF LOT 1 (PLAT No. 15 Pg. 48) AND PARCELS G & H (PN: 24003) HOWARD COUNTY, MARYLAND

MATCH LINE - REF. L101A - HARDSCAPE PLAN - GROUND LEVEL A



\* DENOTES STREET TREE. SEE NOTE 2 IN SURETY NOTES

**TREE SCHEDULE**

EVERGREEN TREES	QTY	BOTANICAL / COMMON NAME	CONT	CAL	SIZE	REMARKS
IR	8	Ilex x rutzan 'Red Beauty' Red Beauty Holly	B & B		10' HT.	Specimens; matched; full
DECIDUOUS TREES	QTY	BOTANICAL / COMMON NAME	CONT	CAL	SIZE	REMARKS
AR2	3	Acer rubrum 'Brandywine' Brandywine Red Maple	B & B	4" Cal		Specimen; matched; full canopy
MG	2	Metasequoia glyptostroboides Dawn Redwood	B & B		10' HT.	Specimens; matched; full
NS	4	Nyssa sylvatica 'Green Gable' 'Green Gable' Tupelo	B & B	3" Cal		Specimen; matched; full canopy
QR	9	Quercus rubra Northern Red Oak	B & B	4" Cal		Specimens; matched; full canopy
FLOWERING TREES	QTY	BOTANICAL / COMMON NAME	CONT	CAL	SIZE	REMARKS
CC	4	Cercis canadensis 'Oklahoma' Oklahoma Redbud	B & B	2.5" Cal.	8'-9' HT.	Specimens; matched; full canopy
CF	3	Cornus florida 'Cherokee Brave' Cherokee Brave Dogwood	B & B	2.5" Cal.	8'-9' HT.	Specimens; matched; full canopy

**LANDSCAPE SURETY QUANTITIES**

SHADE TREES	12
ORNAMENTAL TREES	8
EVERGREEN TREES	12
MICRO-BIORETENTION TREES	5
SHRUBS	360

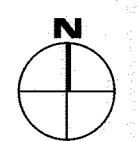
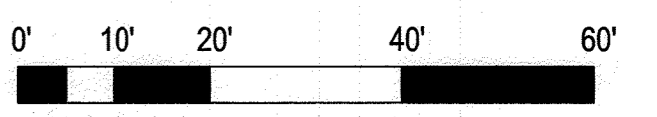
**SURETY NOTES:**

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- SURETY FOR (6) STREET TREES ON PUBLIC ROADS IS INCLUDED IN THE F-16-114 DPW COST ESTIMATE \*
- SURETY FOR STREET TREES ON PRIVATE ROADS SHOULD BE CALCULATED AS PART OF THE DPZ COST ESTIMATE.

**CERTIFICATION NOTE:**  
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DEVELOPER'S/OWNER'S NAME  
*Scott Armiger*  
DEVELOPER'S/OWNER'S NAME  
L. SCOTT ARMIGER



**L301B**

**APPROVED**  
PLANNING BOARD OF HOWARD COUNTY  
Date: 3/1/18

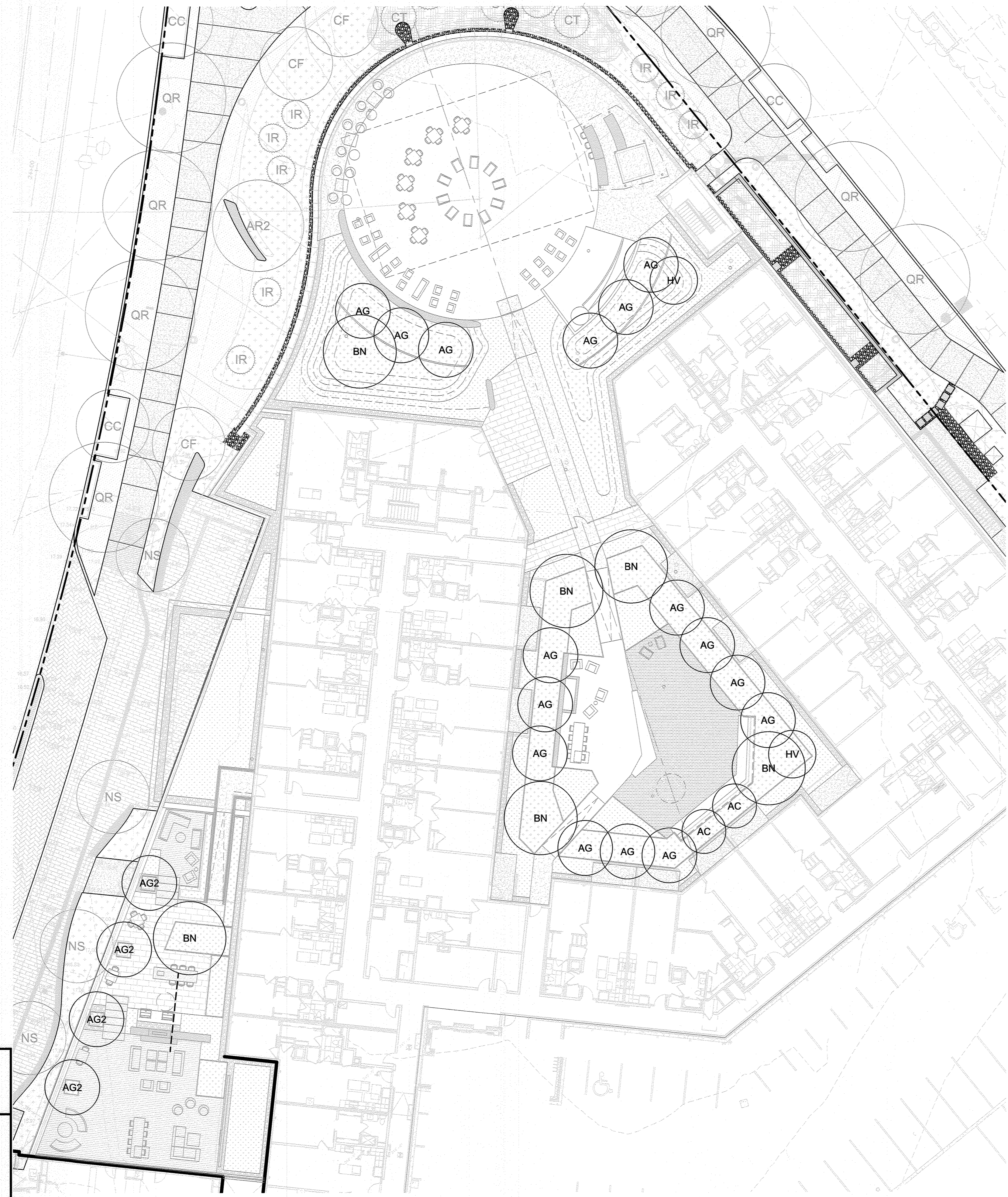
APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING  
Director: *David E. Egan* Date: 11/20/23  
Chief, Division of Land Development: *David Egan* Date: 11/23/23  
Chief, Development Engineering Division: *David Egan* Date: 8/2/23

**DESIGN COLLECTIVE**  
ARCHITECTURE, PLANNING, INTERIORS  
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DES. BR	DRN. MM	CHK. AD	DATE	REVISION	BY	APP'R.

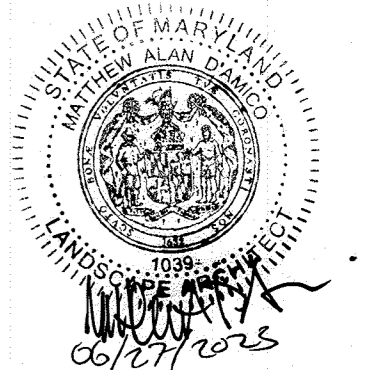
PREPARED FOR & OWNER PARCEL S  
TOBY'S GENERAL PARTNERSHIP  
10709 VISTA ROAD  
COLUMBIA, MARYLAND 21044-4223  
ATTN: SCOTT ARMIGER  
410-964-2334

TREE PLAN - GROUND LEVEL B  
**THE NEW CULTURAL CENTER**  
DOWNTOWN COLUMBIA  
CRESCENT NEIGHBORHOOD, PHASE 2, PARCEL S - GREEN BLDG.  
ELECTION DISTRICT No. 5 A RESUBDIVISION OF LOT 1 (PLAT No. 15 Pg. 48) AND PARCELS G & H (PN: 24003) HOWARD COUNTY, MARYLAND  
DATE: JUNE, 2023 TAX MAP - GRID: 36 - 8 SHEET: 36 OF 52



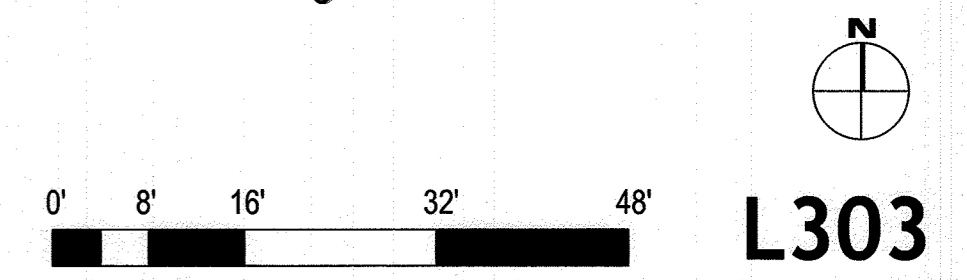
**PLANT SCHEDULE**

DECIDUOUS TREES	QTY	BOTANICAL / COMMON NAME	CONT	CAL	SIZE	REMARKS
BN	6	Betula nigra 'Dura Heat' Dura Heat River Birch	B & B	3"Cal		Single stemmed; specimen; matched
ORNAMENTAL TREES	QTY	BOTANICAL / COMMON NAME	CONT	CAL	SIZE	REMARKS
AC	2	Amelanchier canadensis Canadian Serviceberry	B & B	1.5"-2.0"	8'-9' HT.	Multi stem; specimen; cal listed is per stem
AG	16	Acer griseum Paperbark Maple	B & B	2.5"Cal		Specimen; matched
AG2	4	Amelanchier x grandiflora 'Autumn Brilliance' Autumn Brilliance Apple Serviceberry	B & B	1.5"-2" CAL.	8'-9' HT.	Specimen; multi-stem; symmetrical canopy; cal. listed is per trunk, not combined
HV	2	Hamamelis virginiana Common Witch Hazel	B & B		8'-10' HT.	Multi stem; specimens; 3-5 stems



**CERTIFICATION NOTE:**  
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DEVELOPER'S/OWNER'S NAME  
*L. Scott Armiger*  
 DEVELOPER'S/OWNER'S NAME  
 L. SCOTT ARMIGER



**APPROVED**  
 PLANNING BOARD OF HOWARD COUNTY  
 Date: 3/1/18

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING  
 Director 10/20/23  
 Chief, Division of Land Development 02/23/23  
 Chief, Development Engineering Division 02/21/23

DES. BR	DRN. MM	CHK. AD	DATE	REVISION	BY	APP'R.

DES. BR	DRN. MM	CHK. AD	DATE	REVISION	BY	APP'R.

PREPARED FOR & OWNER PARCEL S  
 TOBY'S GENERAL PARTNERSHIP  
 10709 VISTA ROAD  
 COLUMBIA, MARYLAND 21044-4223  
 ATTN: SCOTT ARMIGER  
 410-964-2334

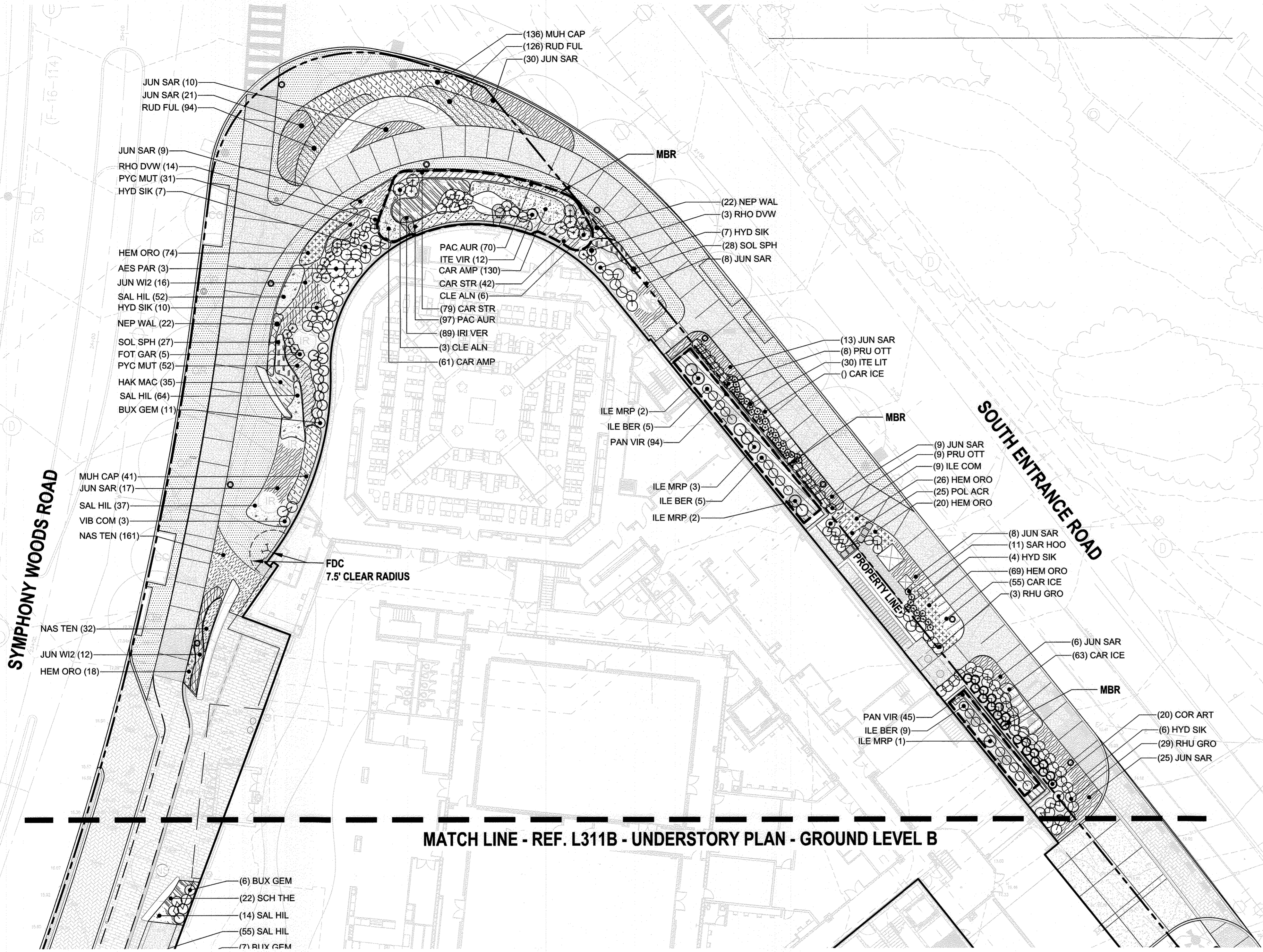
**THE NEW CULTURAL CENTER**  
 DOWNTOWN COLUMBIA  
 CRESCENT NEIGHBORHOOD, PHASE 2, PARCEL S - GREEN BLDG.  
 PN: *2/21/23*

**TREE PLAN - LEVEL 3**

SCALE: 1/16" = 1'-0"  
 ZONING: NT  
 DATE: JUNE, 2023  
 TAX MAP - GRID: 36 - 8  
 SHEET: 37 OF 52

ELECTION DISTRICT No. 5 A RESUBDIVISION OF LOT 1 (PLAT No. 15 Pg. 48) AND PARCELS G & H (PN: 24003) HOWARD COUNTY, MARYLAND

SCALE	ZONING	FILE No.
1/16" = 1'-0"	NT	
DATE	TAX MAP - GRID	SHEET
JUNE, 2023	36 - 8	37 OF 52



SHRUBS	QTY	BOTANICAL / COMMON NAME	SIZE	SPACING	REMARKS
ABE ROS	80	Abelia x 'Rose Creek'	10 gal	42" O.C.	Fully rooted; matched; full
AES PAR	3	Rose Creek Abelia	7 gal	As shown	Fully rooted; matched; full
BUX GEM	35	Bottlebrush Buckeye	B & B	42" O.C.	30"Ht x 30"Width; Specimens; matched
COR ART	20	Buxus microphylla 'Winter Gem'	7 gal	36" O.C.	Fully rooted; matched; full
DEU NIK	9	Globe Winter Gem Boxwood	5 gal	36" O.C.	Fully rooted; matched; full
FOT GAR	5	Artic Fire Dogwood	7 gal	36" O.C.	Fully rooted; matched; full
HYD SIK	40	Deutzia gracilis 'Nikko'	7 gal	42" O.C.	Fully rooted; matched; full
ILE COM	9	Slender Deutzia	30" HT.	36" O.C.	Matched specimens; full to base
ITE LIT	30	Fothergilla gardenii	5 gal	24" O.C.	Fully rooted; matched; full
PRU OTT	74	Dwarf Fothergilla	30" HT.	42" O.C.	Fully rooted; matched; full
RHO DWV	17	Hydrangea quercifolia 'Sikes Dwarf'	5 gal	36" O.C.	Fully rooted; matched; 30" Width/Height
RHU GRO	50	Oakleaf Hydrangea	7 gal	36" O.C.	Fully rooted; matched; full
SAR HOO	11	Ilex glabra 'Compacta'	5 gal	24" O.C.	Fully rooted; matched; full
VIB COM	9	Compact Inkberry	10 gal	As shown	F36" ht.; fully rooted; matched; full
VIB COM	9	Itea virginica 'Little Henry' TM	10 gal	As shown	F36" ht.; fully rooted; matched; full
VIB COM	9	Virginia Sweetspire	10 gal	As shown	F36" ht.; fully rooted; matched; full
VIB COM	9	Prunus laurocerasus 'Otto Luyken'	10 gal	As shown	F36" ht.; fully rooted; matched; full
VIB COM	9	Luykens Laurel	10 gal	As shown	F36" ht.; fully rooted; matched; full
VIB COM	9	Rhododendron x 'Delaware Valley White'	10 gal	As shown	F36" ht.; fully rooted; matched; full
VIB COM	9	Delaware Valley White Azalea	10 gal	As shown	F36" ht.; fully rooted; matched; full
VIB COM	9	Rhus aromatica 'Gro-Low'	10 gal	As shown	F36" ht.; fully rooted; matched; full
VIB COM	9	Gro-Low Fragrant Sumac	10 gal	As shown	F36" ht.; fully rooted; matched; full
VIB COM	9	Sarcococca hookeriana humilis	10 gal	As shown	F36" ht.; fully rooted; matched; full
VIB COM	9	Sweet Box	10 gal	As shown	F36" ht.; fully rooted; matched; full
VIB COM	9	Viburnum carlesii 'Compactum'	10 gal	As shown	F36" ht.; fully rooted; matched; full
VIB COM	9	Compact Koreanspice Viburnum	10 gal	As shown	F36" ht.; fully rooted; matched; full
VINE/ESPALIER	QTY	BOTANICAL / COMMON NAME	SIZE	SPACING	REMARKS
BIG CAP	12	Bignonia capreolata	2 gal	As shown	48" Ht.
CAM RAD	10	Cross Vine	2 gal	As shown	48" Ht.
PAR QUN	15	Campsis radicans 'Flamenco'	2 gal	As shown	48" Ht.
PAR QUN	15	Crimson Trumpet Vine	2 gal	As shown	48" Ht.
PAR QUN	15	Parthenocissus quinquefolia	2 gal	As shown	48" Ht.
PAR QUN	15	Virginia Creeper	2 gal	As shown	48" Ht.
GROUND COVERS	QTY	BOTANICAL / COMMON NAME	CONT	SPACING	REMARKS
JUN SAR	156	Juniperus chinensis 'Sargentii'	3 gal	36" O.C.	Fully rooted; full
JUN SAR	156	Sargent Juniper	3 gal	36" O.C.	Fully rooted; full
JUN WIZ	44	Juniperus horizontalis 'Wiltonii'	3 gal	36" O.C.	Fully rooted; full
JUN WIZ	44	Blue Rug Juniper	3 gal	36" O.C.	Fully rooted; full
FERNS	QTY	BOTANICAL / COMMON NAME	CONT	SPACING	REMARKS
POL ACR	25	Polystichum acrostichoides	1 gal	16" O.C.	Fully rooted
POL ACR	25	Christmas Fern	1 gal	16" O.C.	Fully rooted
GRASSES	QTY	BOTANICAL / COMMON NAME	CONT	SPACING	REMARKS
BOU GRA	75	Bouteloua gracilis	1 gal	12" O.C.	Fully rooted
BOU GRA	75	Blue Grama	1 gal	12" O.C.	Fully rooted
CAR ICE	118	Carex morrowii 'Ice Dance'	1 gal	15" O.C.	Fully rooted
CAR ICE	118	Ice Dance Japanese Sedge	1 gal	15" O.C.	Fully rooted
HAK MAC	35	Hakonechloa macra	1 gal	15" O.C.	Fully rooted
MUH CAP	177	Japanese Forest Grass	1 gal	21" O.C.	Fully rooted
MUH CAP	177	Muhlenbergia capillaris	1 gal	21" O.C.	Fully rooted
NAS TEN	193	Pink Muhly	1 gal	15" O.C.	Fully rooted
SCH THE	115	Nassella tenuissima	1 gal	18" O.C.	Fully rooted
SCH THE	115	Texas Needle Grass	1 gal	18" O.C.	Fully rooted
SCH THE	115	Schizachyrium scoparium 'The Blues'	1 gal	18" O.C.	Fully rooted
SCH THE	115	The Blues Little Bluestem	1 gal	18" O.C.	Fully rooted
PERENNIALS	QTY	BOTANICAL / COMMON NAME	CONT	SPACING	REMARKS
HEM ORO	207	Hemerocallis x 'Stella de Oro'	1 gal	15" O.C.	Fully rooted
HEM ORO	207	Daylily	1 gal	15" O.C.	Fully rooted
LIR BIG	389	Liriope muscari 'Big Blue'	1 gal	15" O.C.	Fully rooted
LIR BIG	389	Big Blue Lilyturf	1 gal	15" O.C.	Fully rooted
NEP WAL	44	Nepeta x faassenii 'Walkers Low'	1 gal	18" O.C.	Fully rooted
NEP WAL	44	Walkers Low Catmint	1 gal	18" O.C.	Fully rooted
PYC MUT	83	Pycnanthemum muticum	1 gal	18" O.C.	Fully rooted
PYC MUT	83	Clustered Mountainmint	1 gal	18" O.C.	Fully rooted
RUD FUL	220	Rudbeckia fulgida	1 gal	18" O.C.	Fully rooted
RUD FUL	220	Coneflower	1 gal	18" O.C.	Fully rooted
RUD VAR	17	Rudbeckia fulgida fulgida	1 gal	24" O.C.	Fully rooted
RUD VAR	17	Orange Coneflower	1 gal	24" O.C.	Fully rooted
SAL HIL	222	Salvia nemorosa 'Blue Hill'	1 gal	15" O.C.	Fully rooted
SAL HIL	222	Woodland Sage	1 gal	15" O.C.	Fully rooted
SOL SPH	55	Solidago sphacelata 'Golden Fleece'	1 gal	18" O.C.	Fully rooted
SOL SPH	55	Autumn Goldenrod	1 gal	18" O.C.	Fully rooted

SHRUBS	QTY	BOTANICAL / COMMON NAME	SIZE	SPACING	REMARKS
CLE ALN	9	Clethra alnifolia	7 gal	42" O.C.	Fully rooted; matched; full
ILE BER	19	Ilex verticillata 'Berry Poppins'	7 gal	36" O.C.	Fully rooted; matched; full
ILE BER	19	Winterberry	7 gal	36" O.C.	Fully rooted; matched; full
ILE MRP	8	Ilex verticillata 'Mr. Poppins'	7 gal	42" O.C.	Fully rooted; matched; full
ILE MRP	8	Winterberry	7 gal	42" O.C.	Fully rooted; matched; full
ITE VIR	12	Itea virginica 'Henry's Garnet'	7 gal	42" O.C.	Fully rooted; matched; full
ITE VIR	12	Henry's Garnet Sweetspire	7 gal	42" O.C.	Fully rooted; matched; full
GRASSES	QTY	BOTANICAL / COMMON NAME	CONT	SPACING	REMARKS
CAR AMP	191	Carex amphibola	1 gal	15" O.C.	Fully rooted
CAR AMP	191	Creek Sedge	1 gal	15" O.C.	Fully rooted
CAR STR	121	Carex stricta	2 gal	15" O.C.	Fully rooted
CAR STR	121	Tussock Sedge	2 gal	15" O.C.	Fully rooted
IRI VER	89	Iris versicolor	1 gal	18" O.C.	Fully rooted
IRI VER	89	Blue Flag	1 gal	18" O.C.	Fully rooted
PAN VIR	139	Panicum virgatum 'Shenandoah'	2 gal	21" O.C.	Fully rooted
PAN VIR	139	Switch Grass	2 gal	21" O.C.	Fully rooted
PERENNIALS	QTY	BOTANICAL / COMMON NAME	CONT	SPACING	REMARKS
PAC AUR	167	Packera aurea	1 gal	15" O.C.	Fully rooted
PAC AUR	167	Golden Groundsel	1 gal	15" O.C.	Fully rooted

**CERTIFICATION NOTE:**  
 I/WE CERTIFY THAT THE LANDSCAPING SHOWN ON THIS PLAN WILL BE DONE ACCORDING TO THE PLAN, SECTION 16.124 OF THE HOWARD COUNTY CODE, THE LANDSCAPE MANUAL FOR NEW TOWN ALTERNATIVE COMPLIANCE, AND THE CRESCENT PHASE 2 NEIGHBORHOOD DESIGN GUIDELINES, RECORDED AS BOOK 17559, PAGE 202 ADOPTED FOR THE SUBJECT PROPERTY. I/WE FURTHER CERTIFY THAT UPON COMPLETION A LETTER OF LANDSCAPE INSTALLATION, ACCOMPANIED BY AN EXECUTED ONE YEAR GUARANTEE OF PLANT MATERIALS, WILL BE SUBMITTED TO THE DEPARTMENT OF PLANNING AND ZONING.

DEVELOPER'S/OWNER'S NAME  
 L. SCOTT ARMIGER

**LANDSCAPE SURETY QUANTITIES**  
 \*\*MICRO-BIORETENTION SHRUBS 52  
 NON-MICRO-BIORETENTION SHRUBS 360

**SURETY NOTE:**  
 SURETY FOR MICRO-BIORETENTION PLANTING WILL BE CALCULATED AS PART OF STORMWATER MANAGEMENT COST ESTIMATE.

APPROVED  
 PLANNING BOARD OF HOWARD COUNTY  
 Date: 3/1/18

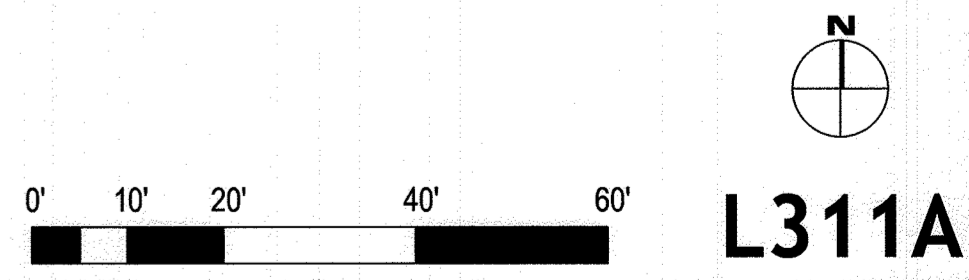
APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING  
 Director: [Signature] Date: 4/20/23  
 Chief, Division of Land Development: [Signature] Date: 4/23/23  
 Chief, Development Engineering Division: [Signature] Date: 8/21/23

DES. BR	DRN. MM	CHK. AD	DATE	REVISION	BY	APP'R.

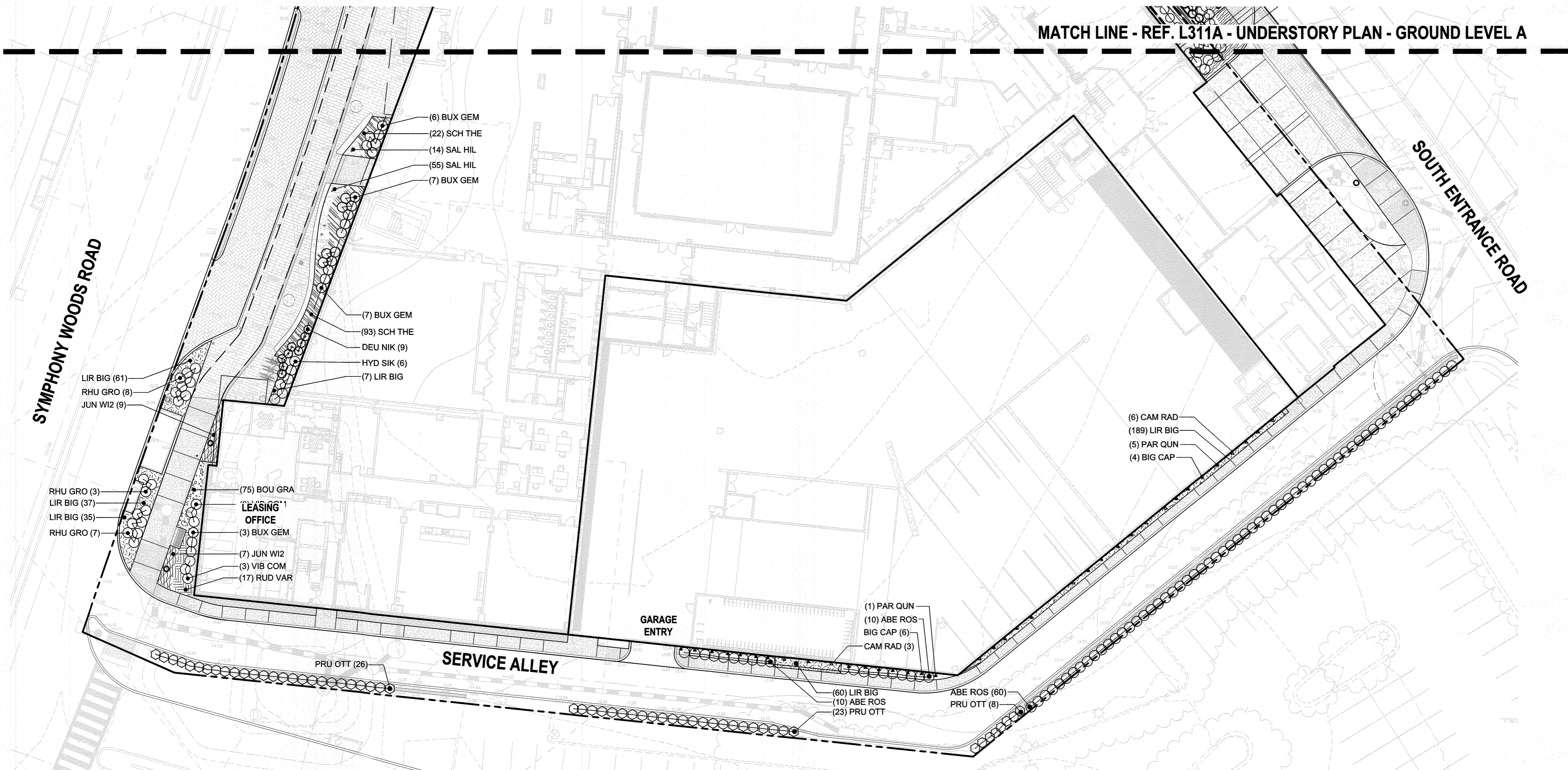
PREPARED FOR & OWNER PARCEL S  
 TOBY'S GENERAL PARTNERSHIP  
 10709 VISTA ROAD  
 COLUMBIA, MARYLAND 21044-4223  
 ATTN: SCOTT ARMIGER  
 410-964-2334

UNDERSTORY PLAN - GROUND LEVEL A  
**THE NEW CULTURAL CENTER**  
 DOWNTOWN COLUMBIA  
 CRESCENT NEIGHBORHOOD, PHASE 2, PARCEL S - GREEN BLDG.  
 PN: [Blank]  
 ELECTION DISTRICT No. 5 A RESUBDIVISION OF LOT 1 (PLAT No. 15 Pg. 48) AND PARCELS G & H (PN: 24003) HOWARD COUNTY, MARYLAND

SCALE	ZONING	FILE No.
1" = 20'	NT	
DATE	TAX MAP - GRID	SHEET
JUNE, 2023	36 - 8	38 OF 52



L311A



PLANT SCHEDULE

SHRUBS	QTY	BOTANICAL / COMMON NAME	SIZE	SPACING	REMARKS	GROUND COVERS	QTY	BOTANICAL / COMMON NAME	CONT	SPACING	REMARKS
ABE ROS	80	Abelia x 'Rose Creek'	10 gal	42" O.C.	Fully rooted; matched; full	JUN SAR	156	Juniperus chinensis 'Sargentii'	3 gal	36" O.C.	Fully rooted; full
AES PAR	3	Rose Creek Abelia	7 gal	As shown	Fully rooted; matched; full	JUN WIZ	44	Sargent Juniper	3 gal	36" O.C.	Fully rooted; full
BUX GEM	35	Buxus microphylla 'Winter Gem'	B & B	42" O.C.	30"HT x 30"Width; Specimens; matched	FERNS	25	Polystichum acrostichoides	1 gal	16" O.C.	Fully rooted
COR ART	20	Cornus sericea 'Arctic Fire'	7 gal	36" O.C.	Fully rooted; matched; full	GRASSES	75	Bouteloua gracilis	1 gal	12" O.C.	Fully rooted
DEU NIK	9	Deutzia gracilis 'Nikko'	5 gal	36" O.C.	Fully rooted; matched; full	BOU GRA	75	Bouteloua gracilis	1 gal	12" O.C.	Fully rooted
FOT GAR	5	Fothergilla gardenii	7 gal	36" O.C.	Fully rooted; matched; full	CAR ICE	118	Carex morrowii 'Ice Dance'	1 gal	15" O.C.	Fully rooted
HYD SIK	4	Hydrangea quercifolia 'Sikes Dwarf'	7 gal	42" O.C.	Fully rooted; matched; full	HAK MAC	35	Hakonechloa macra	1 gal	15" O.C.	Fully rooted
ILE COM	9	Ilex glabra 'Compacta'	30" HT.	36" O.C.	Matched specimens; full to base	MUH CAP	177	Muhlenbergia capillaris	1 gal	21" O.C.	Fully rooted
ITE LIT	30	Itea virginica 'Little Henry' TM	5 gal	24" O.C.	Fully rooted; matched; full	NAS TEN	193	Nassella tenuissima	1 gal	15" O.C.	Fully rooted
PRU OTT	74	Prunus laurocerasus 'Otto Luyken'	30" HT.	42" O.C.	Fully rooted; matched; full	SCH THE	115	Schizanthium scoparium 'The Blues'	1 gal	18" O.C.	Fully rooted
RHO DWV	17	Rhododendron x 'Delaware Valley White'	5 gal	36" O.C.	Fully rooted; matched; 30" Width/Height	PERENNIALS	207	Hemerocallis x 'Stella de Oro'	1 gal	15" O.C.	Fully rooted
RHU GRO	50	Rhus aromatica 'Gro-Low'	7 gal	36" O.C.	Fully rooted; matched; full	LIR BIG	389	Liriope muscari 'Big Blue'	1 gal	15" O.C.	Fully rooted
SAR HOO	11	Sarcococca hookeriana humilis	5 gal	24" O.C.	Fully rooted; matched; full	NEP WAL	44	Nepeta x faassenii 'Walkers Low'	1 gal	18" O.C.	Fully rooted
VIB COM	9	Viburnum carlesii 'Compactum'	10 gal	As shown	F36" ht.; fully rooted; matched; full	PYC MUT	83	Pycnanthemum muticum	1 gal	18" O.C.	Fully rooted
VINE/ESPALIER	QTY	BOTANICAL / COMMON NAME	SIZE	SPACING	REMARKS	RUD FUL	220	Rudbeckia fulgida	1 gal	18" O.C.	Fully rooted
BIG CAP	12	Bignonia capreolata	2 gal	As shown	48" HT.	RUD VAR	17	Rudbeckia fulgida	1 gal	24" O.C.	Fully rooted
CAM RAD	10	Campsis radicans 'Flamenco'	2 gal	As shown	48" HT.						
PAR QUN	15	Parthenocissus quinquefolia	2 gal	As shown	48" HT.						

LANDSCAPE SURETY QUANTITIES

\*\*MICRO-BIORETENTION SHRUBS 52  
NON-MICRO-BIORETENTION SHRUBS 360

SURETY NOTE:  
SURETY FOR MICRO-BIORETENTION PLANTING WILL BE CALCULATED AS PART OF STORMWATER MANAGEMENT COST ESTIMATE.

APPROVED  
PLANNING BOARD OF HOWARD COUNTY

Date: 3/1/18

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING  
Director: Lynne Esabery Date: 11/20/23  
Chief, Division of Land Development: gmm Date: 1/23/23  
Chief, Development Engineering Division: pk Date: 8/21/23

**DESIGN COLLECTIVE**  
ARCHITECTURE, PLANNING, INTERIORS  
601 EAST PRATT STREET, SUITE 300  
BALTIMORE, MARYLAND 21202  
T: 410.685.6653 F: 410.539.6242

PREPARED FOR & OWNER PARCEL S  
TOBY'S GENERAL PARTNERSHIP  
10709 VISTA ROAD  
COLUMBIA, MARYLAND 21044-4223  
ATTN: SCOTT ARMIGER  
410-964-2334

MICRO-BIORETENTION PLANT SCHEDULE

SHRUBS	QTY	BOTANICAL / COMMON NAME	SIZE	SPACING	REMARKS
CLE ALN	9	Clethra alnifolia	7 gal	42" O.C.	Fully rooted; matched; full
ILE BER	19	Ilex verticillata 'Berry Poppins'	7 gal	36" O.C.	Fully rooted; matched; full
ILE MRP	8	Ilex verticillata 'Mr. Poppins'	7 gal	42" O.C.	Fully rooted; matched; full
ITE VIR	12	Itea virginica 'Henry's Garnet'	7 gal	42" O.C.	Fully rooted; matched; full
CAR AMP	191	Carex amphibia	1 gal	15" O.C.	Fully rooted
CAR STR	121	Carex stricta	2 gal	15" O.C.	Fully rooted
IRI VER	89	Iris versicolor	1 gal	18" O.C.	Fully rooted
PAN VIR	139	Panicum virgatum 'Shenandoah'	2 gal	21" O.C.	Fully rooted
PAC AUR	167	Packera aurea	1 gal	15" O.C.	Fully rooted

CERTIFICATION NOTE:  
I/WE CERTIFY THAT THE LANDSCAPING SHOWN ON THIS PLAN WILL BE DONE ACCORDING TO THE PLAN, SECTION 16.124 OF THE HOWARD COUNTY CODE, THE LANDSCAPE MANUAL FOR NEW TOWN ALTERNATIVE COMPLIANCE, AND THE CRESCENT PHASE 2 NEIGHBORHOOD DESIGN GUIDELINES, RECORDED AS BOOK 17559, PAGE 202 ADOPTED FOR THE SUBJECT PROPERTY. I/WE FURTHER CERTIFY THAT UPON COMPLETION A LETTER OF LANDSCAPE INSTALLATION, ACCOMPANIED BY AN EXECUTED ONE YEAR GUARANTEE OF PLANT MATERIALS, WILL BE SUBMITTED TO THE DEPARTMENT OF PLANNING AND ZONING.

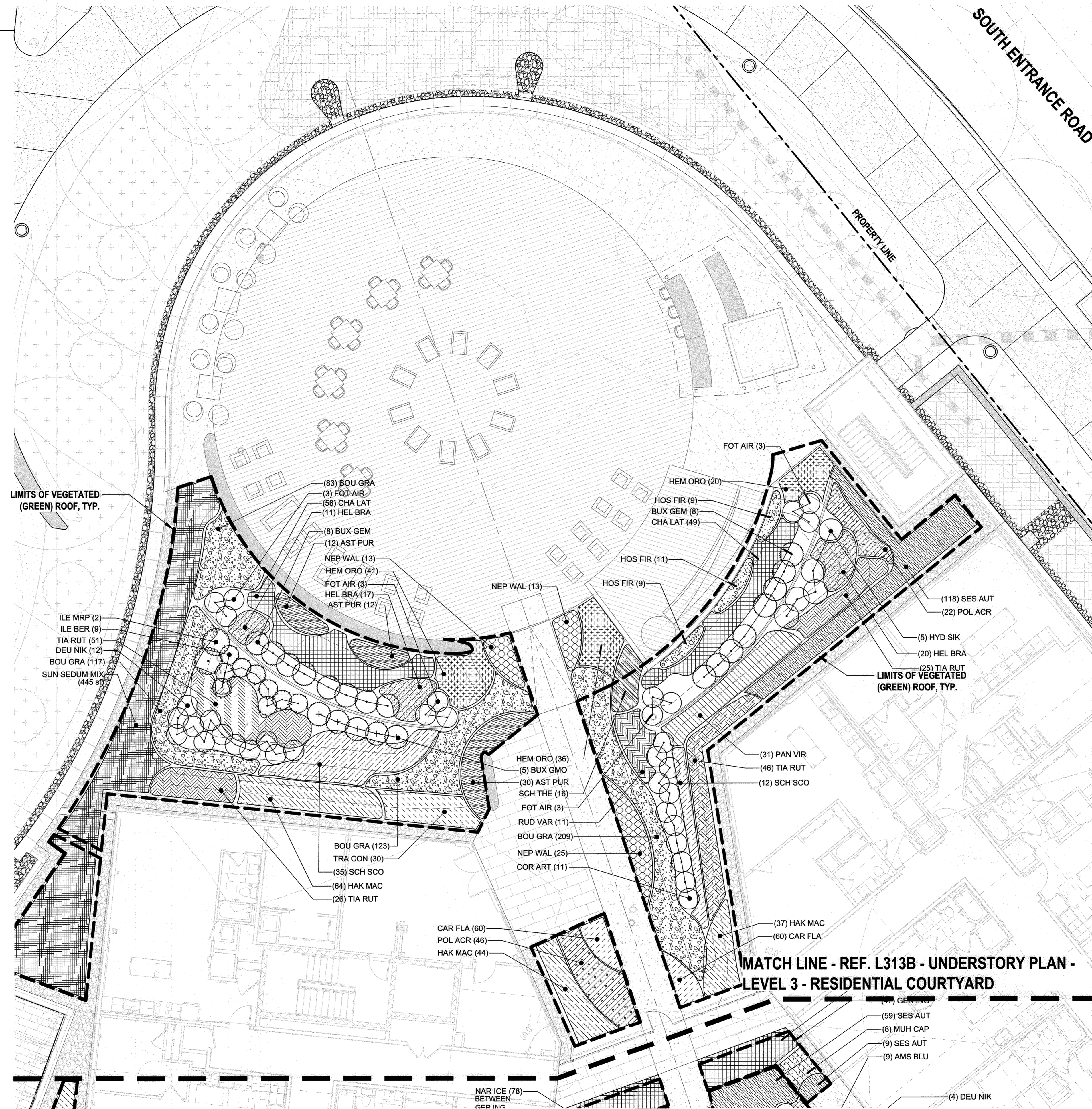
DEVELOPER'S/OWNER'S NAME  
L. SCOTT ARMIGER



L311B

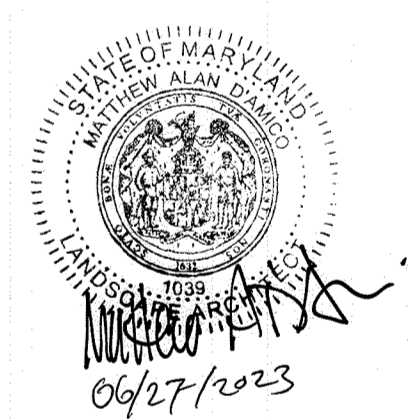
PLANT SCHEDULE PUBLIC TERRACE

SHRUBS	QTY	BOTANICAL / COMMON NAME	SIZE	SPACING	REMARKS
BUX GEM	16	Buxus microphylla 'Winter Gem'	B & B		36" Ht x 42" Width
BUX GMO	5	Globe Winter Gem Boxwood	B & B		3' Width x 4' Ht.
COR ART	11	Buxus x 'Green Mountain' Boxwood	7 gal		
DEU NIK	12	Cornus sericea 'Arctic Fire'	5 gal		
FOT AIR	12	Arctic Fire Dogwood	7 gal	36" O.C.	Fully rooted; matched; full
HYD SIK	5	Slender Deutzia	7 gal	42" O.C.	Fully rooted; matched; full
ILE BER	9	Fothergilla gardenii 'Mt. Airy'	7 gal	36" O.C.	
ILE MRP	2	Mt. Airy Dwarf Witchhazel	7 gal	42" O.C.	
GROUND COVERS	QTY	BOTANICAL / COMMON NAME	CONT	SPACING	REMARKS
PAN VIR	31	Panicum virgatum 'Shenandoah'	2 gal	21" O.C.	
SWITCH GRASS					
GRASSES	QTY	BOTANICAL / COMMON NAME	CONT	SPACING	REMARKS
BOU GRA	532	Bouteloua gracilis	1 gal	12" O.C.	Fully rooted
CAR FLA	120	Blue Grama	1 gal	8" O.C.	Fully rooted
CHA LAT	110	Carex flacca 'Blue Zinger'	1 gal	18" O.C.	Fully rooted
HAK MAC	145	Blue Sedge	1 gal	15" O.C.	Fully rooted
SCH SCO	47	Chasmanthium latifolium	2 gal	24" O.C.	Fully rooted
SCH THE	16	Northern Sea Oats	1 gal	18" O.C.	Fully rooted
SES AUT	117	Hakonechloa macra	1 gal	15" O.C.	Fully rooted
PERENNIALS	QTY	BOTANICAL / COMMON NAME	CONT	SPACING	REMARKS
AST PUR	54	Schizachyrium scoparium 'Standing Ovation'	1 gal	18" O.C.	Fully rooted
HEL BRA	48	Little Bluestem Grass	1 gal	18" O.C.	Fully rooted
HEM ORO	104	Schizachyrium scoparium 'The Blues'	1 gal	15" O.C.	Fully rooted
HOS FIR	26	The Blues Little Bluestem	1 gal	15" O.C.	Fully rooted
NEP WAL	51	Sesleria autumnalis	1 gal	18" O.C.	Fully rooted
RUD VAR	11	Autumn Moor Grass	1 gal	24" O.C.	Fully rooted
TIA RUT	148	Aster novae-angliae 'Purple Dome'	1 gal	18" O.C.	Fully rooted
TRA CON	30	Purple Dome New England Aster	1 gal	18" O.C.	Fully rooted
FERNS	QTY	BOTANICAL / COMMON NAME	CONT	SPACING	REMARKS
POL ACR	68	Helleborus orientalis 'Brandywine'	1 gal	16" O.C.	Fully rooted
CHRISTMAS FERN					



LIMITS OF VEGETATED (GREEN) ROOF, TYP.

LIMITS OF VEGETATED (GREEN) ROOF, TYP.



CERTIFICATION NOTE:  
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APPROVED  
PLANNING BOARD OF HOWARD COUNTY  
Date: 3/1/18

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING  
Director: [Signature] Date: 11/20/22  
Chief, Division of Land Development: [Signature] Date: 6/15/23  
Chief, Development Engineering Division: [Signature] Date: 8/21/23

DES. BR	DRN. MM	CHK. AD	DATE	REVISION	BY	APPR.

DESIGN COLLECTIVE  
ARCHITECTURE, PLANNING, INTERIORS  
WWW.DESIGNCOLLECTIVE.COM  
601 EAST PRATT STREET, SUITE 300  
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T: 410.685.6655 F: 410.539.6242

PREPARED FOR & OWNER PARCEL S  
TOBY'S GENERAL PARTNERSHIP  
10709 VISTA ROAD  
COLUMBIA, MARYLAND 21044-4223  
ATTN: SCOTT ARMIGER  
410-964-2334

UNDERSTORY PLAN - LEVEL 3 - PUBLIC TERRACE  
THE NEW CULTURAL CENTER  
DOWNTOWN COLUMBIA  
CRESCENT NEIGHBORHOOD, PHASE 2, PARCEL S - GREEN BLDG.  
PN: 24153  
ELECTION DISTRICT No. 5 A RESUBDIVISION OF LOT 1 (PLAT No. 15 Pg. 48) AND PARCELS G & H (PN: 24003) HOWARD COUNTY, MARYLAND

SCALE	ZONING	FILE No.
1/8" = 1'-0"	NT	
DATE	TAX MAP - GRID	SHEET
JUNE, 2023	36 - 8	40 OF 52

DEVELOPER'S/OWNER'S NAME  
[Signature]  
DEVELOPER'S/OWNER'S NAME  
L. SCOTT ARMIGER

0' 4' 8' 16' 24'

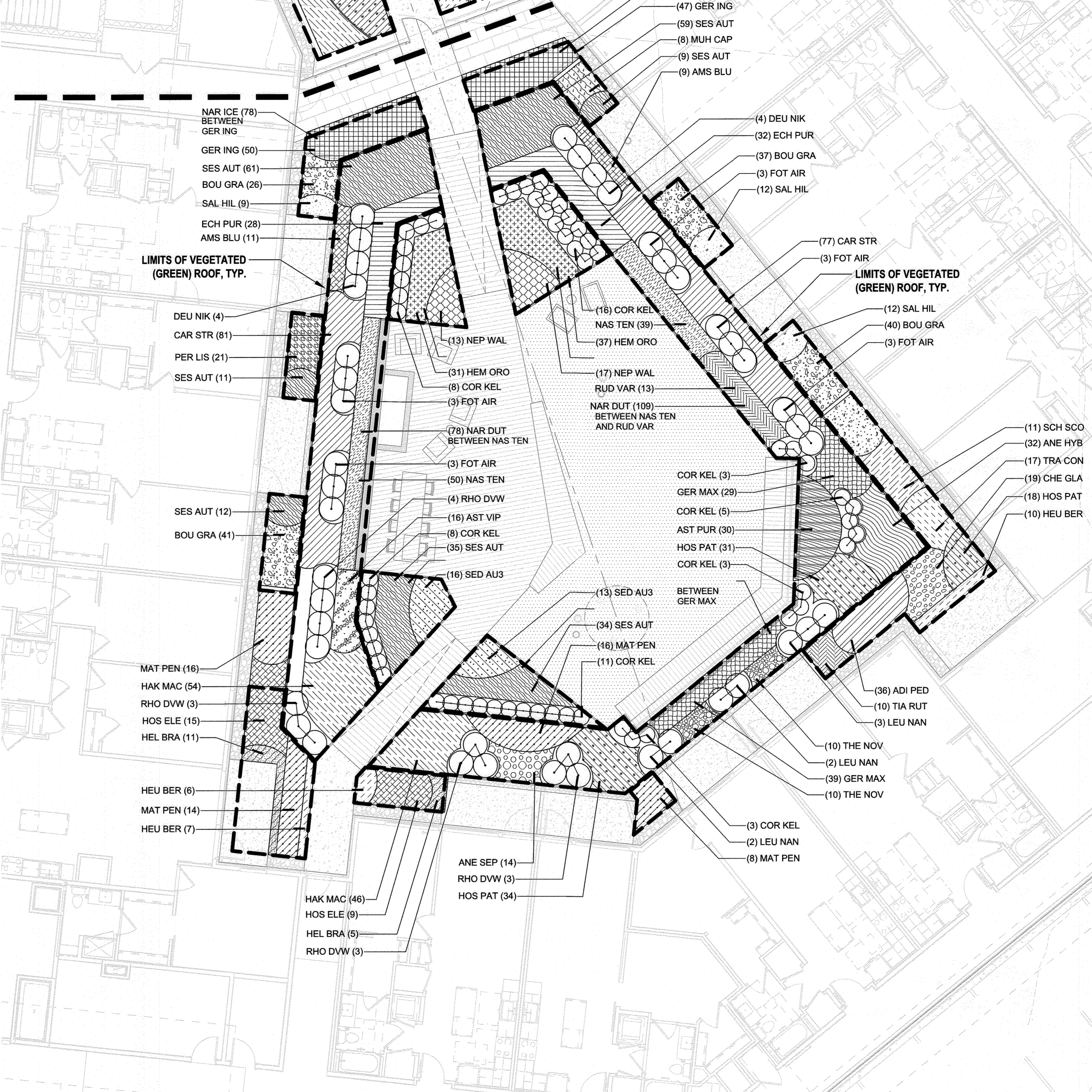
L313A



PLANT SCHEDULE RESIDENTIAL COURTYARD

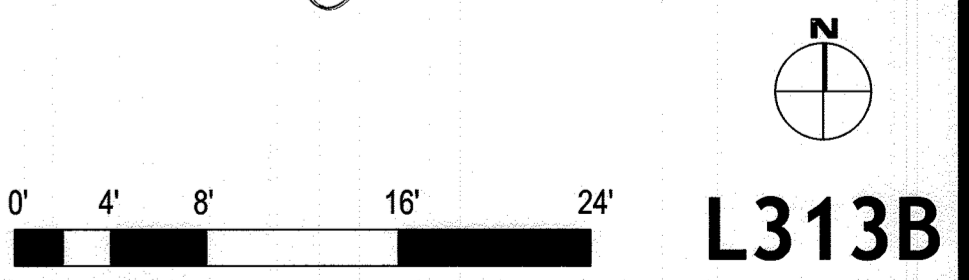
SHRUBS	QTY	BOTANICAL / COMMON NAME	SIZE	SPACING	REMARKS
COR KEL	57	Cornus sericea 'Kelsey'	5 gal	24" O.C.	Fully rooted; matched; full
DEU NIK	8	Kelsey's Dwarf Red Twig Dogwood	5 gal	36" O.C.	Fully rooted; matched; full
FOT AIR	15	Slender Deutzia	7 gal	36" O.C.	Fully rooted; matched; full
LEU NAN	7	Fothergilla gardenii 'Mt. Airy'	7 gal	36" O.C.	Fully rooted; matched; full
RHO DVW	13	Mt. Airy Dwarf Witchhazel Leucothoe fontanesiana 'Nana' Dwarf Drooping Leucothoe Rhododendron x 'Delaware Valley White' Delaware Valley White Azalea	7 gal	30" O.C.	Fully rooted; full
			5 gal	36" O.C.	Fully rooted; matched; 30" Width/Height
BULBS	QTY	BOTANICAL / COMMON NAME	CONT	SPACING	REMARKS
NAR DUT	248	Narcissus x 'Dutch Master'	Bulb	12" O.C.	Plant in a random pattern between perennials
NAR ICE	151	Dutch Master Daffodil Narcissus x 'Ice Follies' Ice Follies Daffodil	Bulb	12" O.C.	Plant in a random pattern between perennials
FERNS	QTY	BOTANICAL / COMMON NAME	CONT	SPACING	REMARKS
ADI PED	36	Adiantum pedatum	1 gal	15" O.C.	Fully rooted
MAT PEN	54	Northern Maidenhair Fern Matteuccia pennsylvanica	1 gal	21"	Fully rooted
THE NOV	20	Ostrich Fern Thelypteris noveboracensis New York Fern	1 gal	15" O.C.	Fully rooted
GRASSES	QTY	BOTANICAL / COMMON NAME	CONT	SPACING	REMARKS
BOU GRA	144	Bouteloua gracilis	1 gal	12" O.C.	Fully rooted
CAR STR	158	Blue Grama Carex stricta	2 gal	15" O.C.	Fully rooted
HAK MAC	100	Tussock Sedge Hakonechloa macra	1 gal	15" O.C.	Fully rooted
MUH CAP	8	Japanese Forest Grass Muhlenbergia capillaris	1 gal	21" O.C.	Fully rooted
NAS TEN	89	Pink Muhly Nassella tenuissima	1 gal	15" O.C.	Fully rooted
SCH SCO	11	Texas Needle Grass Schizachyrium scoparium 'Standing Ovation'	2 gal	24" O.C.	Fully rooted
SES AUT	221	Little Bluestem Grass Sesleria autumnalis Autumn Moor Grass	1 gal	15" O.C.	Fully rooted
PERENNIALS	QTY	BOTANICAL / COMMON NAME	CONT	SPACING	REMARKS
AMS BLU	20	Amsonia x 'Blue Ice' Blue Ice Bluestar	1 gal	18" O.C.	Fully rooted
ANE HYB	32	Anemone x hybrida 'Honorine Jobert'	1 gal	18" O.C.	Fully rooted
ANE SEP	14	Honorine Jobert Japanese Anemone Anemone x hybrida 'September Charm'	1 gal	18" O.C.	Fully rooted
AST PUR	30	September Charm Anemone Aster novae-angliae 'Purple Dome'	1 gal	18" O.C.	Fully rooted
AST VIP	16	Purple Dome New England Aster Astilbe chinensis 'Visions in Pink'	1 gal	18" O.C.	Fully rooted
CHE GLA	19	Chinese Astilbe Chelone glabra	1 gal	18" O.C.	Fully rooted
ECH MAG	24	White Turtlehead Echinacea purpurea 'Magnus'	1 gal	15" O.C.	Fully rooted
ECH PUR	60	Magnus Purple Coneflower Echinacea purpurea 'Magnus'	1 gal	18" O.C.	Fully rooted
GER ING	97	Magnus Purple Coneflower Geranium macrorrhizum 'Ingwersen's Variety'	1 gal	16" O.C.	Fully rooted
GER MAX	68	Ingwersen's Bigroot Geranium Geranium sanguineum 'Max Frei'	1 gal	15" O.C.	Fully rooted
HEL BRA	16	Max Frei Bloodred Geranium Helleborus orientalis 'Brandywine'	1 gal	18" O.C.	Fully rooted
HEM ORO	68	Brandywine Lenten Rose Mix Hemerocallis x 'Stella de Oro'	1 gal	15" O.C.	Fully rooted
HEU BER	23	Daylily Heuchera x 'Berry Smoothie'	1 gal	18" O.C.	Fully rooted
HOS ELE	24	Berry Smoothie Coral Bells Hosta x 'Elegans'	1 gal	24" O.C.	Fully rooted
HOS PAT	83	Plantain Lily Hosta x 'Patriot'	1 gal	15" O.C.	Fully rooted
NEP WAL	30	Patriot Hosta Nepeta x faassenii 'Walkers Low'	1 gal	18" O.C.	Fully rooted
PER LIS	21	Walkers Low Catmint Perovskia x 'Little Spire'	1 gal	15" O.C.	Fully rooted
RUD VAR	13	Russian Sage Rudbeckia fulgida fulgida	1 gal	24" O.C.	Fully rooted
SAL HIL	33	Orange Coneflower Salvia nemorosa 'Blue Hill'	1 gal	15" O.C.	Fully rooted
SED AU3	29	Woodland Sage Sedum x 'Autumn Joy'	1 gal	18" O.C.	Fully rooted
TIA RUT	10	Autumn Joy Sedum Tiarella cordifolia 'Running Tapestry'	1 gal	18" O.C.	Fully rooted
TRA CON	17	Running Tapestry Foamflower Tradescantia virginiana 'Concord Grape' Spiderwort	1 gal	18" O.C.	Fully rooted

MATCH LINE - REF. L313A - UNDERSTORY PLAN - LEVEL 3 - PUBLIC TERRACE



**CERTIFICATION NOTE:**  
 I/WE CERTIFY THAT THE LANDSCAPING SHOWN ON THIS PLAN WILL BE DONE ACCORDING TO THE PLAN, SECTION 16.124 OF THE HOWARD COUNTY CODE, THE LANDSCAPE MANUAL FOR NEW TOWN ALTERNATIVE COMPLIANCE, AND THE CRESCENT PHASE 2 NEIGHBORHOOD DESIGN GUIDELINES, RECORDED AS BOOK 17559, PAGE 202 ADOPTED FOR THE SUBJECT PROPERTY. I/WE FURTHER CERTIFY THAT UPON COMPLETION A LETTER OF LANDSCAPE INSTALLATION, ACCOMPANIED BY AN EXECUTED ONE YEAR GUARANTEE OF PLANT MATERIALS, WILL BE SUBMITTED TO THE DEPARTMENT OF PLANNING AND ZONING.

DEVELOPER'S/OWNER'S NAME  
 [Signature]  
 DEVELOPER'S/OWNER'S NAME  
 L. SCOTT ARMIGER



APPROVED  
 PLANNING BOARD OF HOWARD COUNTY  
 Date: 3/1/18

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING  
 [Signature] 1/20/23  
 Director  
 [Signature] 10/29/23  
 Chief, Division of Land Development  
 [Signature] 8/21/23  
 Chief, Development Engineering Division

DES. BR	DRN. MM	CHK. AD	DATE	REVISION	BY	APPR.

DES. BR	DRN. MM	CHK. AD	DATE	REVISION	BY	APPR.

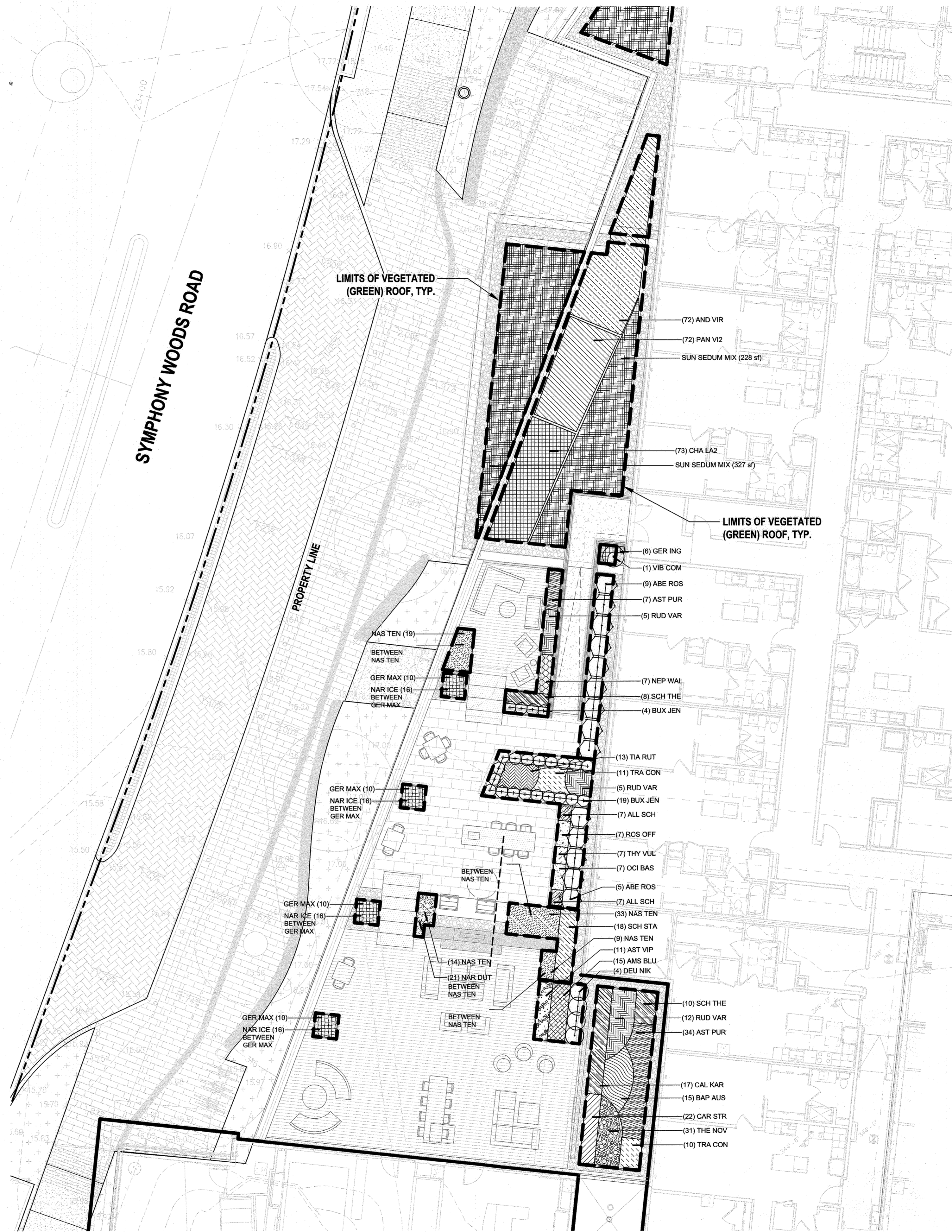
PREPARED FOR & OWNER PARCEL S  
 TOBY'S GENERAL PARTNERSHIP  
 10709 VISTA ROAD  
 COLUMBIA, MARYLAND 21044-4223  
 ATTN: SCOTT ARMIGER  
 410-964-2334

UNDERSTORY PLAN - LEVEL 3 - RESIDENTIAL COURTYARD  
 THE NEW CULTURAL CENTER  
 DOWNTOWN COLUMBIA  
 CRESCENT NEIGHBORHOOD, PHASE 2, PARCEL S - GREEN BLDG.  
 PN: [Signature]  
 ELECTION DISTRICT No. 5 A RESUBDIVISION OF LOT 1 (PLAT No. 15 Pg. 48) AND PARCELS G & H (PN: 24003) HOWARD COUNTY, MARYLAND

SCALE	ZONING	FILE No.
1/8" = 1'-0"	NT	
DATE	TAX MAP - GRID	SHEET
JUNE, 2023	36 - 8	41 OF 52

**PLANT SCHEDULE CLUBHOUSE TERRACE**

SHRUBS	QTY	BOTANICAL / COMMON NAME	SIZE	SPACING	REMARKS
ABE ROS	14	Abelia x 'Rose Creek' Rose Creek Abelia	10 gal	42" O.C.	Fully rooted; matched; full
BUX JEN	23	Buxus sempervirens 'Jensen' Jensen Boxwood	B & B	24" O.C.	18"Ht X 18" Wide; Specimen; matched
DEU NIK	4	Deutzia gracilis 'Nikko' Slender Deutzia	5 gal	36" O.C.	Fully rooted; matched; full
VIB COM	1	Viburnum carlesii 'Compactum' Compact Koreanspice Viburnum	10 gal	As shown	F36" ht.; fully rooted; matched; full
BULBS	QTY	BOTANICAL / COMMON NAME	CONT	SPACING	REMARKS
NAR DUT	116	Narcissus x 'Dutch Master' Dutch Master Daffodil	Bulb	12" O.C.	Plant in a random pattern between perennials
NAR ICE	16	Narcissus x 'Ice Follies' Ice Follies Daffodil	Bulb	12" O.C.	Plant in a random pattern between perennials
HERBS	QTY	BOTANICAL / COMMON NAME	CONT	SPACING	REMARKS
ALL SCH	14	Allium schoenoprasum Common Chives	1 qt	12" O.C.	Replant yearly
OCI BAS	7	Ocimum basilicum Sweet Basil	1 qt	15" O.C.	Replant yearly
ROS OFF	7	Rosmarinus officinalis Rosemary	1 qt	15" O.C.	Replant yearly
THY VUL	7	Thymus vulgaris Common Thyme	1 qt	12" O.C.	Replant yearly
FERNS	QTY	BOTANICAL / COMMON NAME	CONT	SPACING	REMARKS
THE NOV	31	Thelypteris noveboracensis New York Fern	1 gal	15" O.C.	Fully rooted
GRASSES AND VIR	QTY	BOTANICAL / COMMON NAME	CONT	SPACING	REMARKS
AND VIR	72	Andropogon virginicus Broomsedge Bluestem	1 gal	21" O.C.	Fully rooted
CAL KAR	17	Calamagrostis x acutiflora 'Karl Foerster' Karl Foerster Feather Reed Grass	2 gal	21" O.C.	Fully rooted
CAR STR	22	Carex stricta Tussock Sedge	2 gal	15" O.C.	Fully rooted
CHA LA2	73	Chasmanthium latifolium Northern Sea Oats	1 gal	18" O.C.	Fully rooted
NAS TEN	75	Nassella tenuissima Texas Needle Grass	1 gal	15" O.C.	Fully rooted
PAN VI2	72	Panicum virgatum 'Shenandoah' Shenandoah Switch Grass	2 gal	18" O.C.	Fully rooted
SCH STA	18	Schizachyrium scoparium 'Standing Ovation' Standing Ovation Little Bluestem	2 gal	18" O.C.	Fully rooted
SCH THE	18	Schizachyrium scoparium 'The Blues' The Blues Little Bluestem	2 gal	18" O.C.	Fully rooted
PERENNIALS	QTY	BOTANICAL / COMMON NAME	CONT	SPACING	REMARKS
AMS BLU	15	Amsonia x 'Blue Ice' Blue Ice Bluestar	1 gal	18" O.C.	Fully rooted
AST PUR	41	Aster novae-angliae 'Purple Dome' Purple Dome New England Aster	1 gal	18" O.C.	Fully rooted
AST VIP	11	Astilbe chinensis 'Visions in Pink' Chinese Astilbe	1 gal	18" O.C.	Fully rooted
BAP AUS	15	Baptisia australis Blue Wild Indigo	2 gal	21" O.C.	Fully rooted
GER ING	6	Geranium macrorrhizum 'Ingwersen's Variety' Ingwersen's Bigroot Geranium	1 gal	16" O.C.	Fully rooted
GER MAX	40	Geranium sanguineum 'Max Frei' Max Frei Bloodred Geranium	1 gal	15" O.C.	Fully rooted
NEP WAL	7	Nepeta x faassenii 'Walkers Low' Walkers Low Catmint	1 gal	18" O.C.	Fully rooted
RUD VAR	22	Rudbeckia fulgida fulgida Orange Coneflower	1 gal	24" O.C.	Fully rooted
TIA RUT	13	Tiarrella cordifolia 'Running Tapestry' Foamflower	1 gal	18" O.C.	Fully rooted
TRA CON	21	Tradescantia virginiana 'Concord Grape' Spiderwort	1 gal	18" O.C.	Fully rooted



**CERTIFICATION NOTE:**  
I/WE CERTIFY THAT THE LANDSCAPING SHOWN ON THIS PLAN WILL BE DONE ACCORDING TO THE PLAN, SECTION 16.124 OF THE HOWARD COUNTY CODE, THE LANDSCAPE MANUAL FOR NEW TOWN ALTERNATIVE COMPLIANCE, AND THE CRESCENT PHASE 2 NEIGHBORHOOD DESIGN GUIDELINES, RECORDED AS BOOK 17559, PAGE 202 ADOPTED FOR THE SUBJECT PROPERTY. I/WE FURTHER CERTIFY THAT UPON COMPLETION A LETTER OF LANDSCAPE INSTALLATION, ACCOMPANIED BY AN EXECUTED ONE YEAR GUARANTEE OF PLANT MATERIALS, WILL BE SUBMITTED TO THE DEPARTMENT OF PLANNING AND ZONING.

DEVELOPER'S/OWNER'S NAME  
*L. Scott Armiger*  
DEVELOPER'S/OWNER'S NAME  
L. SCOTT ARMIGER



**APPROVED**  
PLANNING BOARD OF HOWARD COUNTY

Date: 3/1/10

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING  
*Lynn de Eusebio*  
Director Date 11/20/23

*[Signature]*  
Chief, Division of Land Development Date 1/12/23

*[Signature]*  
Chief, Development Engineering Division Date 8/21/23

**DESIGN COLLECTIVE**  
ARCHITECTURE, PLANNING, INTERIORS  
WWW.DESIGNCOLLECTIVE.COM

601 EAST PRATT STREET, SUITE 300  
BALTIMORE, MARYLAND 21202  
T: 410.683.6655 F: 410.539.6242

DES. BR	DRN. MM	CHK. AD	DATE	REVISION	BY	APP'R.

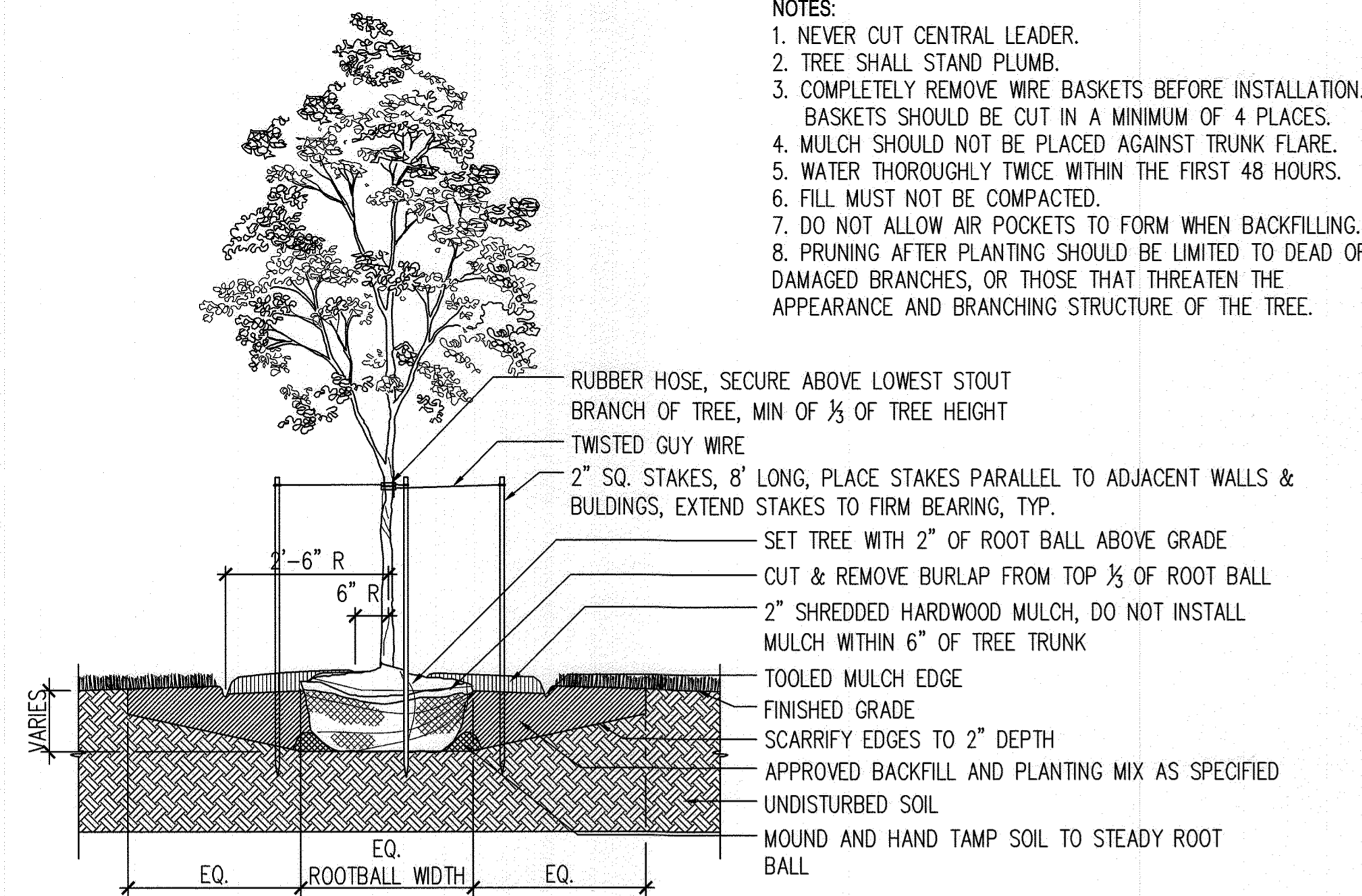
PREPARED FOR & OWNER PARCEL S  
TOBY'S GENERAL PARTNERSHIP  
10709 VISTA ROAD  
COLUMBIA, MARYLAND 21044-4223  
ATTN: SCOTT ARMIGER  
410-964-2334

UNDERSTORY PLAN - LEVEL 3 - CLUBHOUSE TERRACE

**THE NEW CULTURAL CENTER**  
DOWNTOWN COLUMBIA  
CRESCENT NEIGHBORHOOD, PHASE 2, PARCEL S - GREEN BLDG.

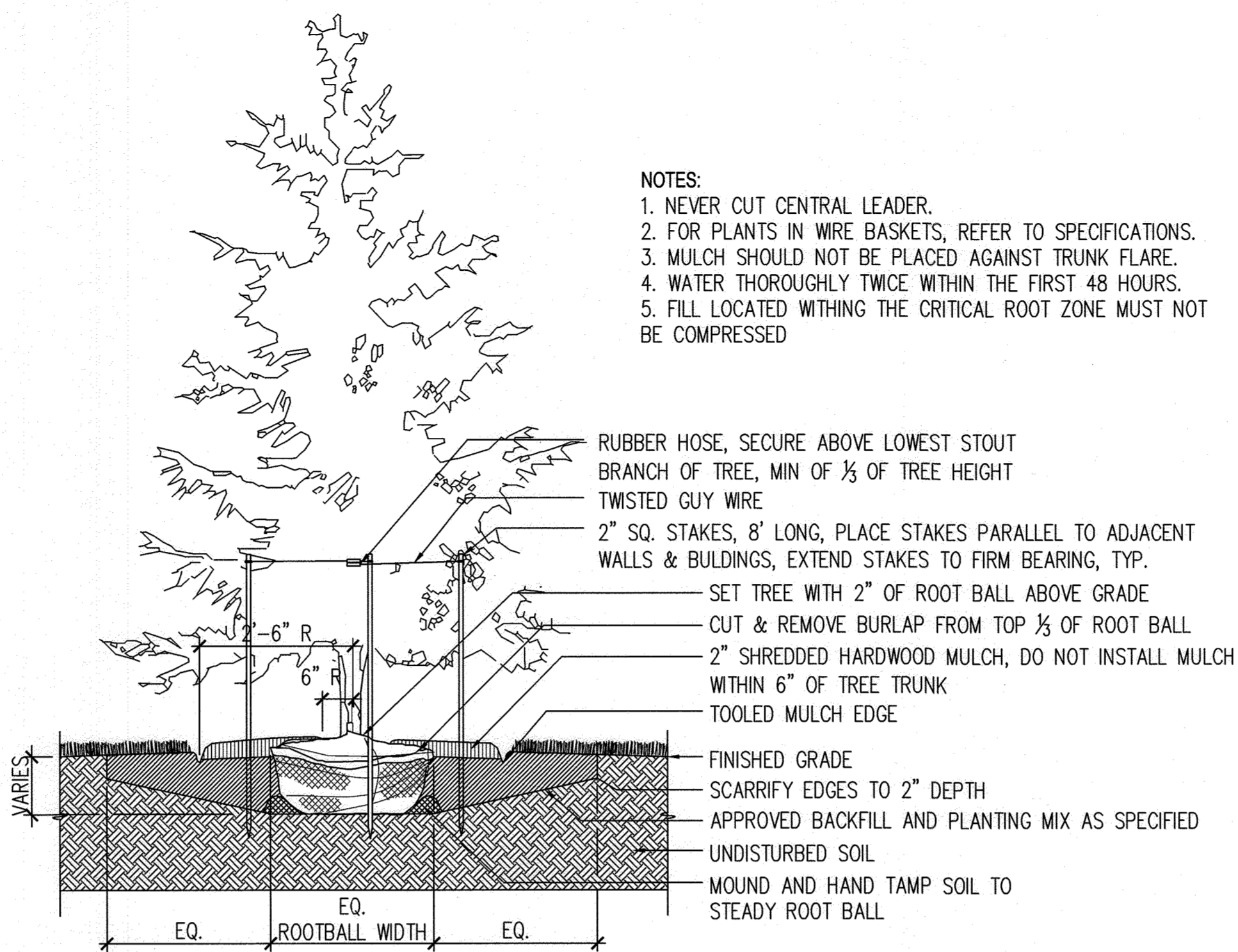
PN: 02402  
ELECTION DISTRICT No. 5 A RESUBDIVISION OF LOT 1 (PLAT No. 15 Pg. 48) AND PARCELS G & H (PN: 24003) HOWARD COUNTY, MARYLAND

SCALE	ZONING	FILE No.
1/8" = 1'-0"	NT	
DATE	TAX MAP - GRID	SHEET
JUNE, 2023	36 - 8	42 OF 52



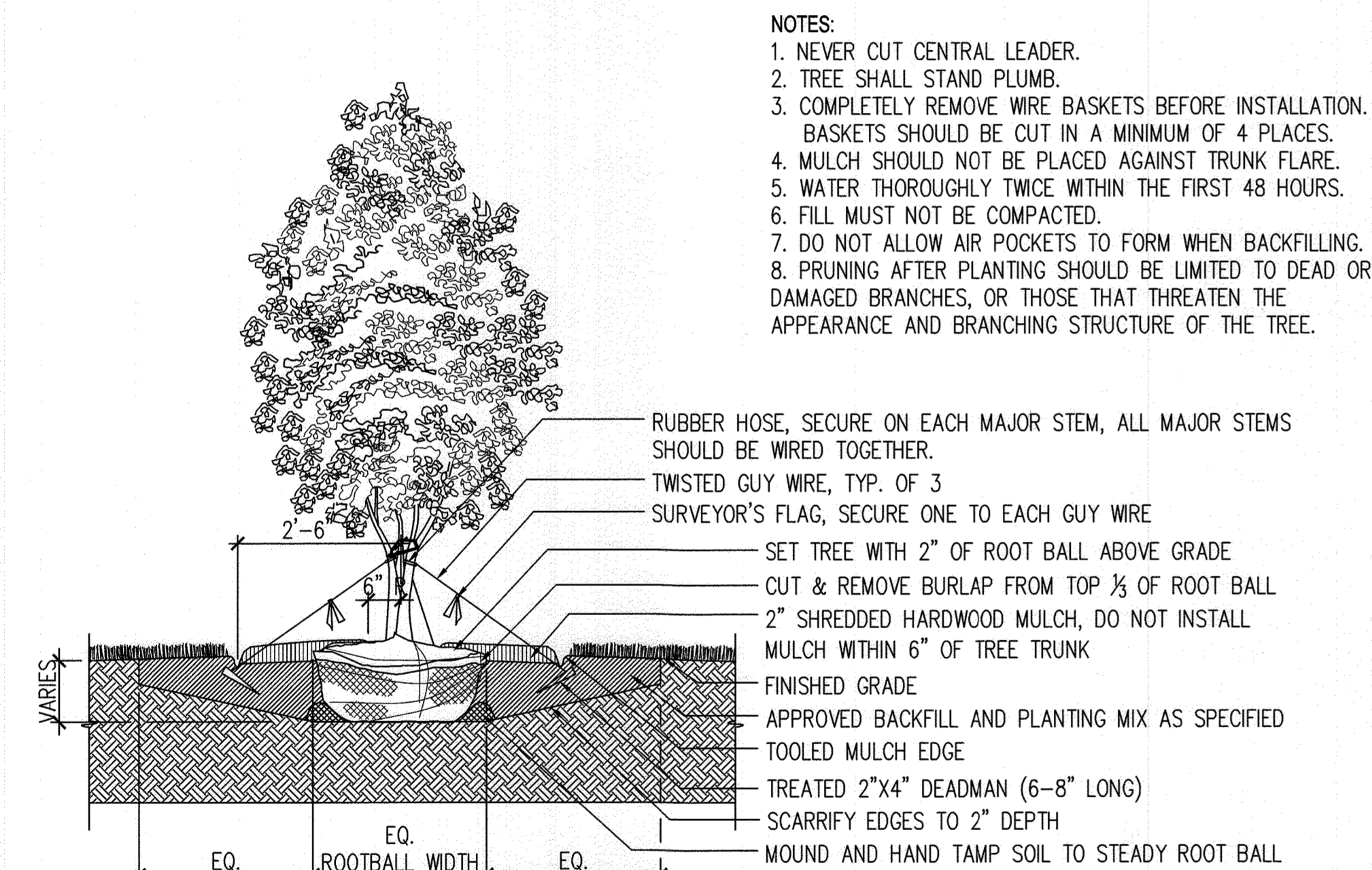
- NOTES:
1. NEVER CUT CENTRAL LEADER.
  2. TREE SHALL STAND PLUMB.
  3. COMPLETELY REMOVE WIRE BASKETS BEFORE INSTALLATION. BASKETS SHOULD BE CUT IN A MINIMUM OF 4 PLACES.
  4. MULCH SHOULD NOT BE PLACED AGAINST TRUNK FLARE.
  5. WATER THOROUGHLY TWICE WITHIN THE FIRST 48 HOURS.
  6. FILL MUST NOT BE COMPACTED.
  7. DO NOT ALLOW AIR POCKETS TO FORM WHEN BACKFILLING.
  8. PRUNING AFTER PLANTING SHOULD BE LIMITED TO DEAD OR DAMAGED BRANCHES, OR THOSE THAT THREATEN THE APPEARANCE AND BRANCHING STRUCTURE OF THE TREE.

**1 DECIDUOUS TREE PLANTING**  
1/2" = 1'-0"



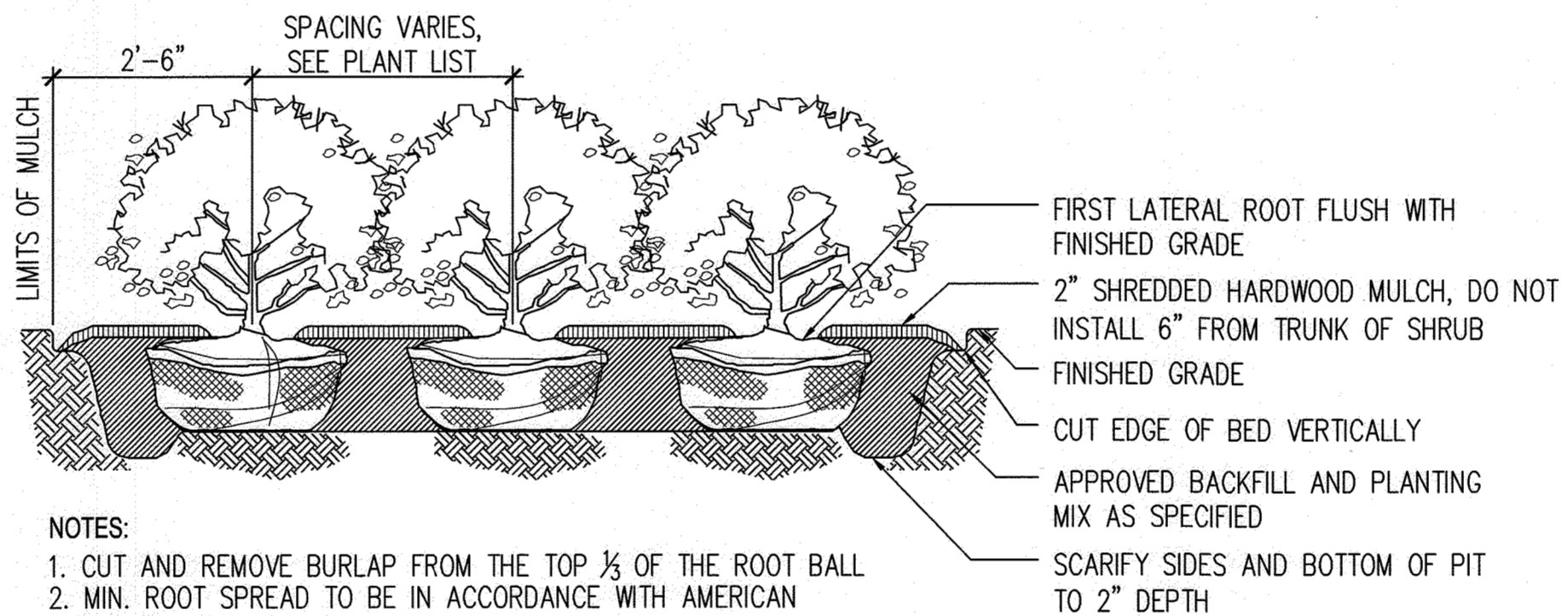
- NOTES:
1. NEVER CUT CENTRAL LEADER.
  2. FOR PLANTS IN WIRE BASKETS, REFER TO SPECIFICATIONS.
  3. MULCH SHOULD NOT BE PLACED AGAINST TRUNK FLARE.
  4. WATER THOROUGHLY TWICE WITHIN THE FIRST 48 HOURS.
  5. FILL LOCATED WITHIN THE CRITICAL ROOT ZONE MUST NOT BE COMPRESSED

**2 EVERGREEN TREE PLANTING**  
1/2" = 1'-0"



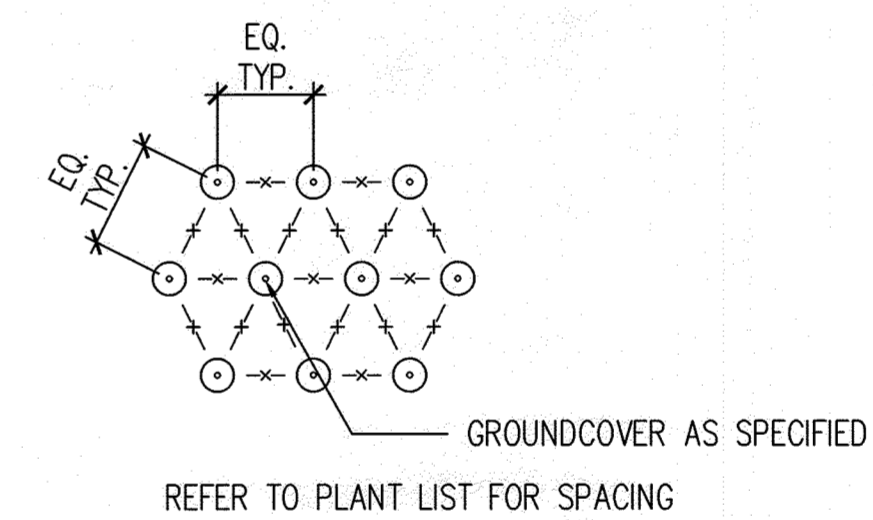
- NOTES:
1. NEVER CUT CENTRAL LEADER.
  2. TREE SHALL STAND PLUMB.
  3. COMPLETELY REMOVE WIRE BASKETS BEFORE INSTALLATION. BASKETS SHOULD BE CUT IN A MINIMUM OF 4 PLACES.
  4. MULCH SHOULD NOT BE PLACED AGAINST TRUNK FLARE.
  5. WATER THOROUGHLY TWICE WITHIN THE FIRST 48 HOURS.
  6. FILL MUST NOT BE COMPACTED.
  7. DO NOT ALLOW AIR POCKETS TO FORM WHEN BACKFILLING.
  8. PRUNING AFTER PLANTING SHOULD BE LIMITED TO DEAD OR DAMAGED BRANCHES, OR THOSE THAT THREATEN THE APPEARANCE AND BRANCHING STRUCTURE OF THE TREE.

**3 MULTI-STEM TREE PLANTING**  
1/2" = 1'-0"

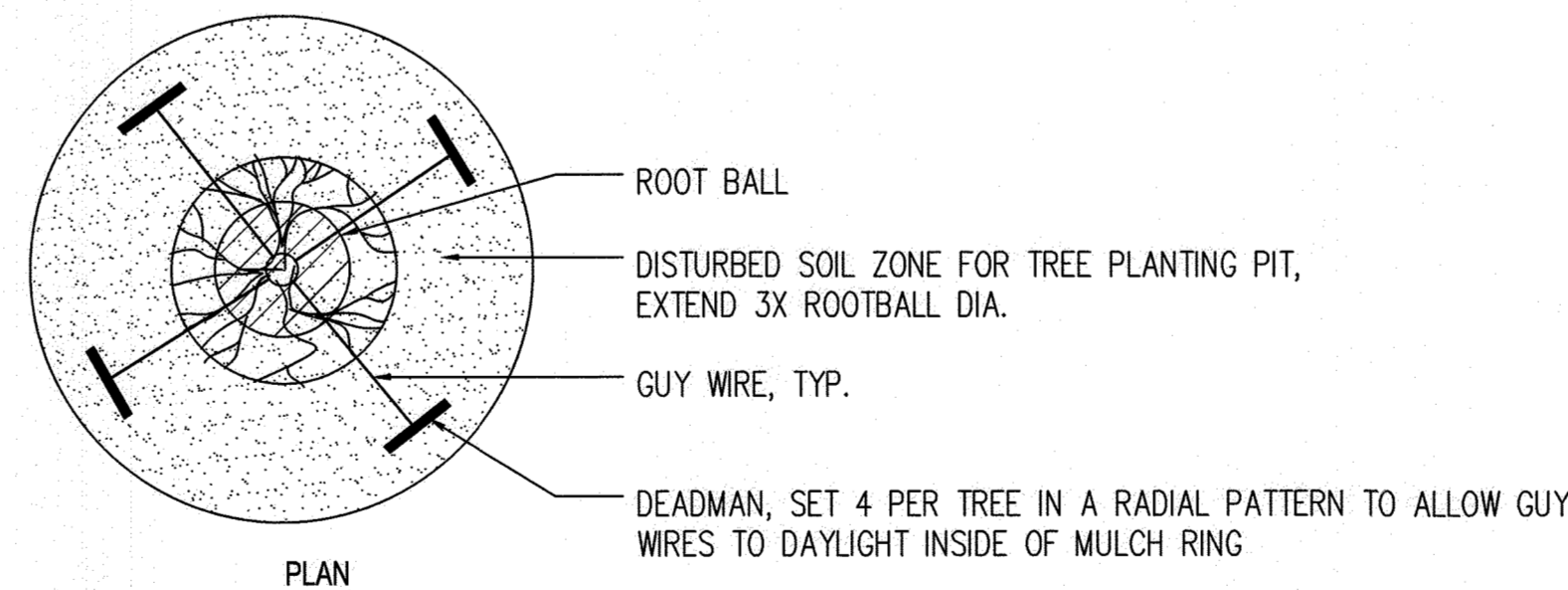


- NOTES:
1. CUT AND REMOVE BURLAP FROM THE TOP 1/3 OF THE ROOT BALL
  2. MIN. ROOT SPREAD TO BE IN ACCORDANCE WITH AMERICAN STANDARDS FOR NURSERY STOCK.
  3. PRUNE ALL DAMAGED, DISEASED, OR WEAK LIMBS AND ROOTS.
  4. CLEANLY PRUNE ALL DAMAGED ROOT ENDS.
  5. DO NOT ALLOW ROOTS TO DRY OUT DURING INSTALLATION PROCESS.
  6. SOAK ROOTS IN WATER OVERNIGHT BEFORE PLANTING.

**4 SHRUB PLANTING**  
1/2" = 1'-0"



**5 PLANT SPACING DIAGRAM**  
1/2" = 1'-0"



**6 STAKED PLAN ENLARGEMENT**  
1/2" = 1'-0"

APPROVED  
PLANNING BOARD OF HOWARD COUNTY

Date: 3/1/18

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

*Lynne Esberg* Director Date: 11/20/23

*[Signature]* Chief, Division of Land Development Date: 1/23/23

*[Signature]* Chief, Development Engineering Division Date: 8/21/23

<b>DESIGN COLLECTIVE</b>	
ARCHITECTURE, PLANNING, INTERIORS WWW.DESIGNCOLLECTIVE.COM	601 EAST PRATT STREET, SUITE 300 BALTIMORE, MARYLAND 21202 T: 410.685.6655 F: 410.539.6242
DES. BR	DRN. MM
CHK. AD	DATE
REVISION	BY
APP'R.	

PREPARED FOR & OWNER PARCEL S  
TOBY'S GENERAL PARTNERSHIP  
10709 VISTA ROAD  
COLUMBIA, MARYLAND 21044-4223  
ATTN: SCOTT ARMIGER  
410-964-2334

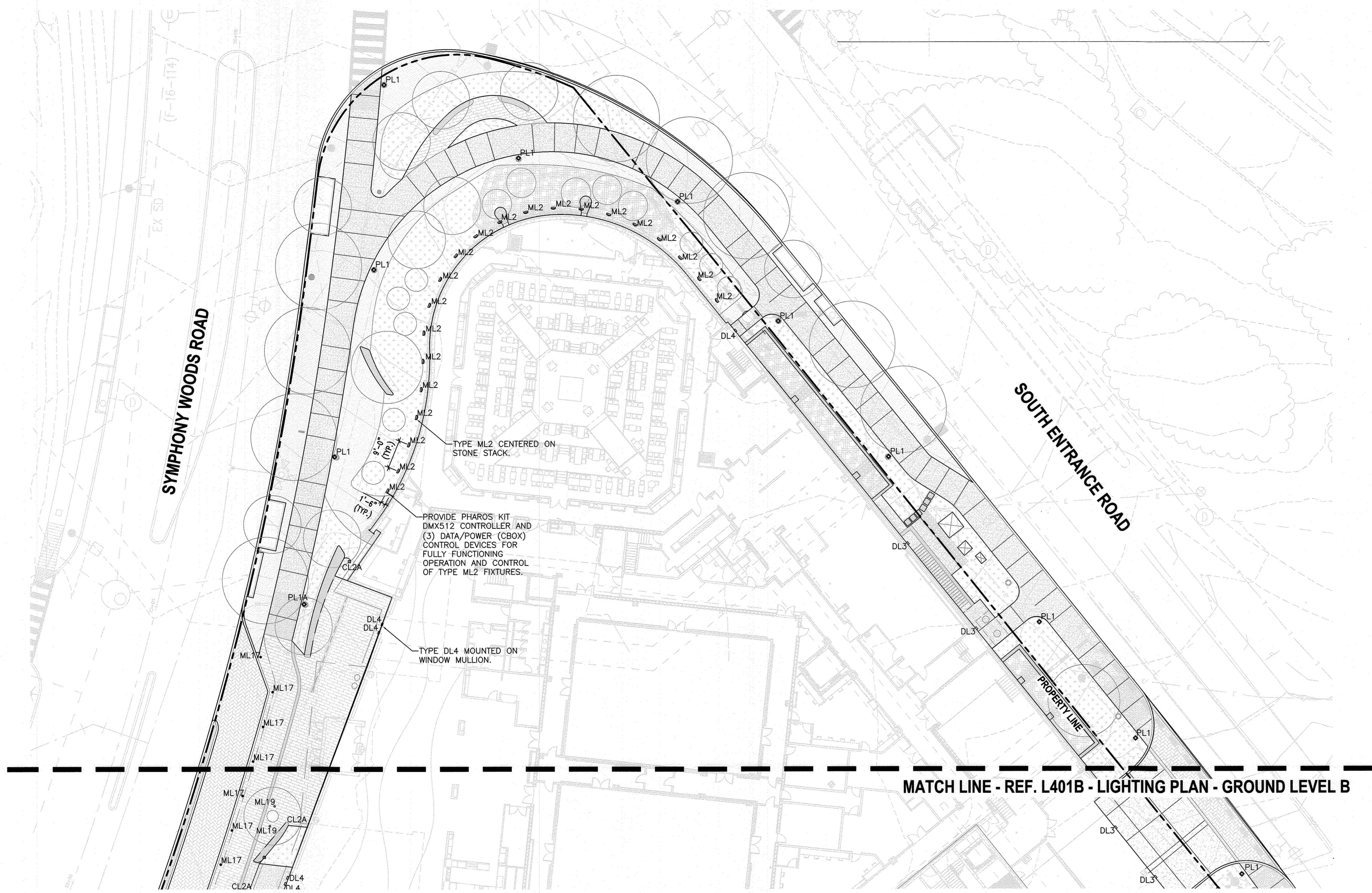
DETAILS - PLANTING		
THE NEW CULTURAL CENTER DOWNTOWN COLUMBIA CRESCENT NEIGHBORHOOD, PHASE 2, PARCEL S - GREEN BLDG.		
SCALE AS SHOWN	ZONING NT	FILE No.
DATE JUNE, 2023	TAX MAP - GRID 36 - 8	SHEET 43 OF 52
ELECTION DISTRICT No. 5 A RESUBDIVISION OF LOT 1 (PLAT No. 15 Pg. 48) AND PARCELS G & H (PN: 24003) HOWARD COUNTY, MARYLAND		

CERTIFICATION NOTE:  
I/WE CERTIFY THAT THE LANDSCAPING SHOWN ON THIS PLAN WILL BE DONE ACCORDING TO THE PLAN, SECTION 16.124 OF THE HOWARD COUNTY CODE, THE LANDSCAPE MANUAL FOR NEW TOWN ALTERNATIVE COMPLIANCE, AND THE CRESCENT PHASE 2 NEIGHBORHOOD DESIGN GUIDELINES, RECORDED AS BOOK 17559, PAGE 202 ADOPTED FOR THE SUBJECT PROPERTY. I/WE FURTHER CERTIFY THAT UPON COMPLETION A LETTER OF LANDSCAPE INSTALLATION, ACCOMPANIED BY AN EXECUTED ONE YEAR GUARANTEE OF PLANT MATERIALS, WILL BE SUBMITTED TO THE DEPARTMENT OF PLANNING AND ZONING.

DEVELOPER'S/OWNER'S NAME  
*[Signature]*  
DEVELOPER'S/OWNER'S NAME  
L. SCOTT ARMIGER



L320



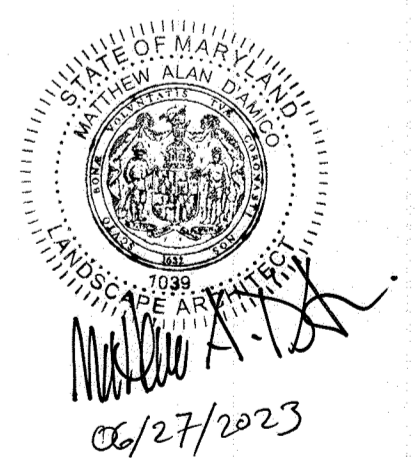
**LIGHT FIXTURE LEGEND - GROUND LEVEL**

- CL2A
- DL2
- DL3
- DL4
- ⊗ ML1
- ⊗ ML2
- ⊗ ML17 - BOLLARD
- ML19
- ⊗ PL1 - POST LIGHT
- ⊗ PL1A - POST LIGHT
- ⊗ PL1B - POST LIGHT

REF. ELECTRICAL FOR FIXTURE SCHEDULE

REFER TO F-16-114 FOR STREET LIGHTING

MATCH LINE - REF. L401B - LIGHTING PLAN - GROUND LEVEL B



APPROVED  
**PLANNING BOARD OF HOWARD COUNTY**  
 Date: 7/1/23

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING  
 Director: [Signature] Date: 11/20/22  
 Chief, Division of Land Development: [Signature] Date: 06/23/23  
 Chief, Development Engineering Division: [Signature] Date: 02/23

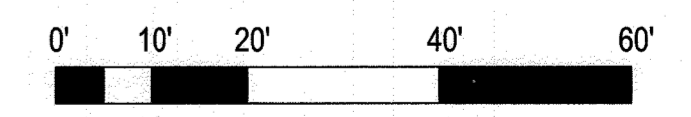
**DESIGN COLLECTIVE**  
 ARCHITECTURE, PLANNING, INTERIORS  
 WWW.DESIGNCOLLECTIVE.COM  
 601 EAST PRATT STREET, SUITE 300  
 BALTIMORE, MARYLAND 21202  
 T: 410.685.6655 F: 410.539.6242

DES. BR	DRN. MM	CHK. AD	DATE	REVISION	BY	APPR.

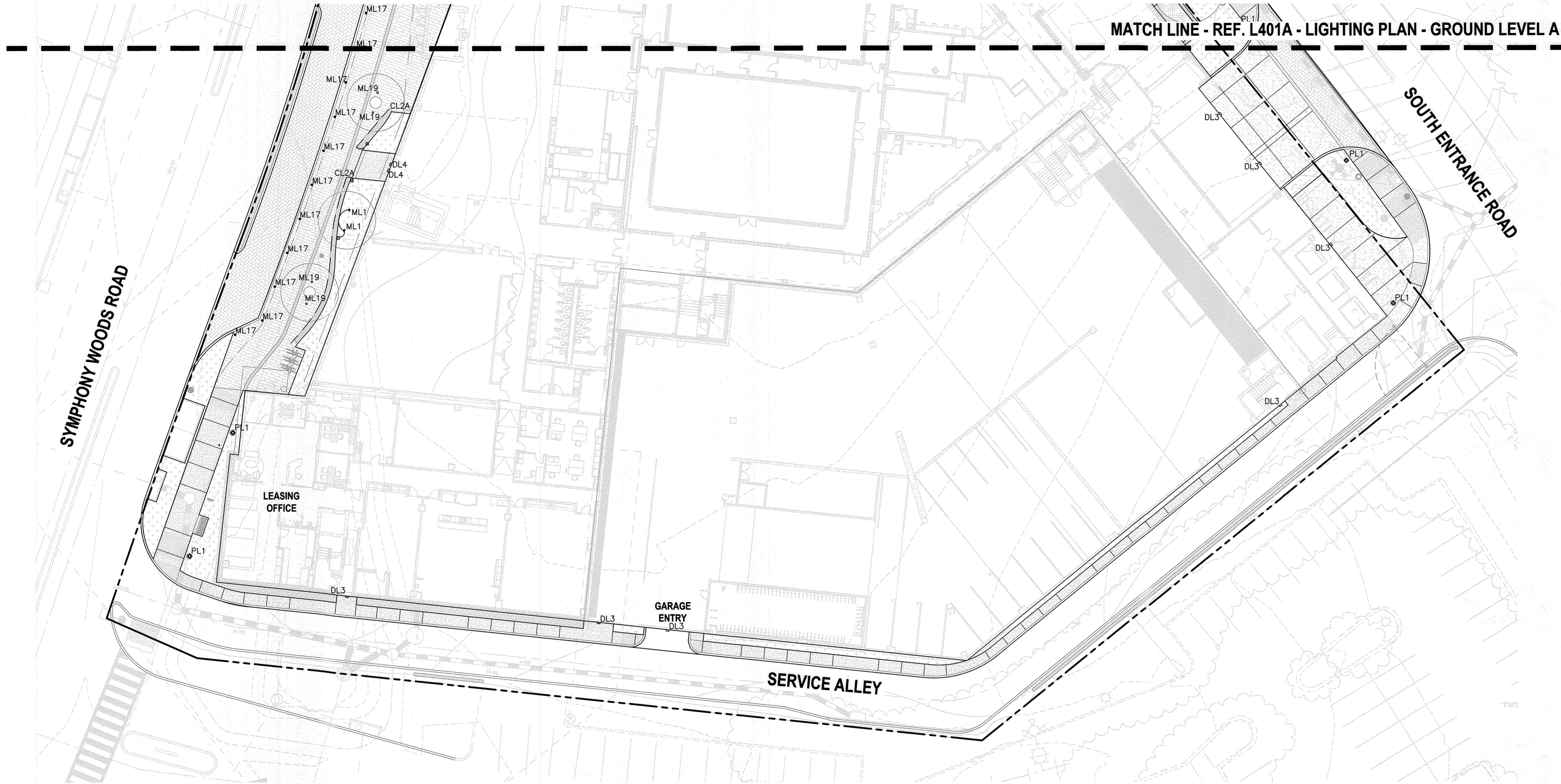
PREPARED FOR & OWNER PARCEL S  
 TOBY'S GENERAL PARTNERSHIP  
 10709 VISTA ROAD  
 COLUMBIA, MARYLAND 21044-4223  
 ATTN: SCOTT ARMIGER  
 410-964-2334

**LIGHTING PLAN - GROUND LEVEL A**  
**THE NEW CULTURAL CENTER**  
 DOWNTOWN COLUMBIA  
 CRESCENT NEIGHBORHOOD, PHASE 2, PARCEL S - GREEN BLDG.  
 PN: 20462  
 ELECTION DISTRICT No. 5 A RESUBDIVISION OF LOT 1 (PLAT No. 15 Pg. 48) AND PARCELS G & H (PN: 24003) HOWARD COUNTY, MARYLAND

SCALE	ZONING	FILE No.
1" = 20'	NT	
DATE	TAX MAP - GRID	SHEET
JUNE, 2023	36 - 8	44 OF 52



**L401A**



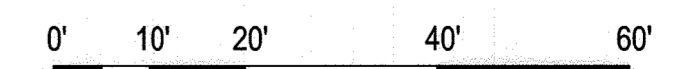
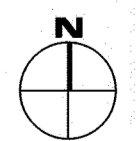
**LIGHT FIXTURE LEGEND - GROUND LEVEL**

- CL2A
- DL2
- DL3
- DL4
- ⊕ ML1
- ⊕ ML2
- ⊕ ML17 - BOLLARD
- ML19
- ⊕ PL1 - POST LIGHT
- ⊕ PL1A - POST LIGHT
- ⊕ PL1B - POST LIGHT

APPROVED  
 PLANNING BOARD OF HOWARD COUNTY  
 Date: 3/1/18

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING  
 Director: [Signature] Date: 11/20/23  
 Chief, Division of Land Development: [Signature] Date: 1/25/23  
 Chief, Development Engineering Division: [Signature] Date: 8/2/23

STATE OF MARYLAND  
 [Signature]  
 03/27/2023



**L401B**

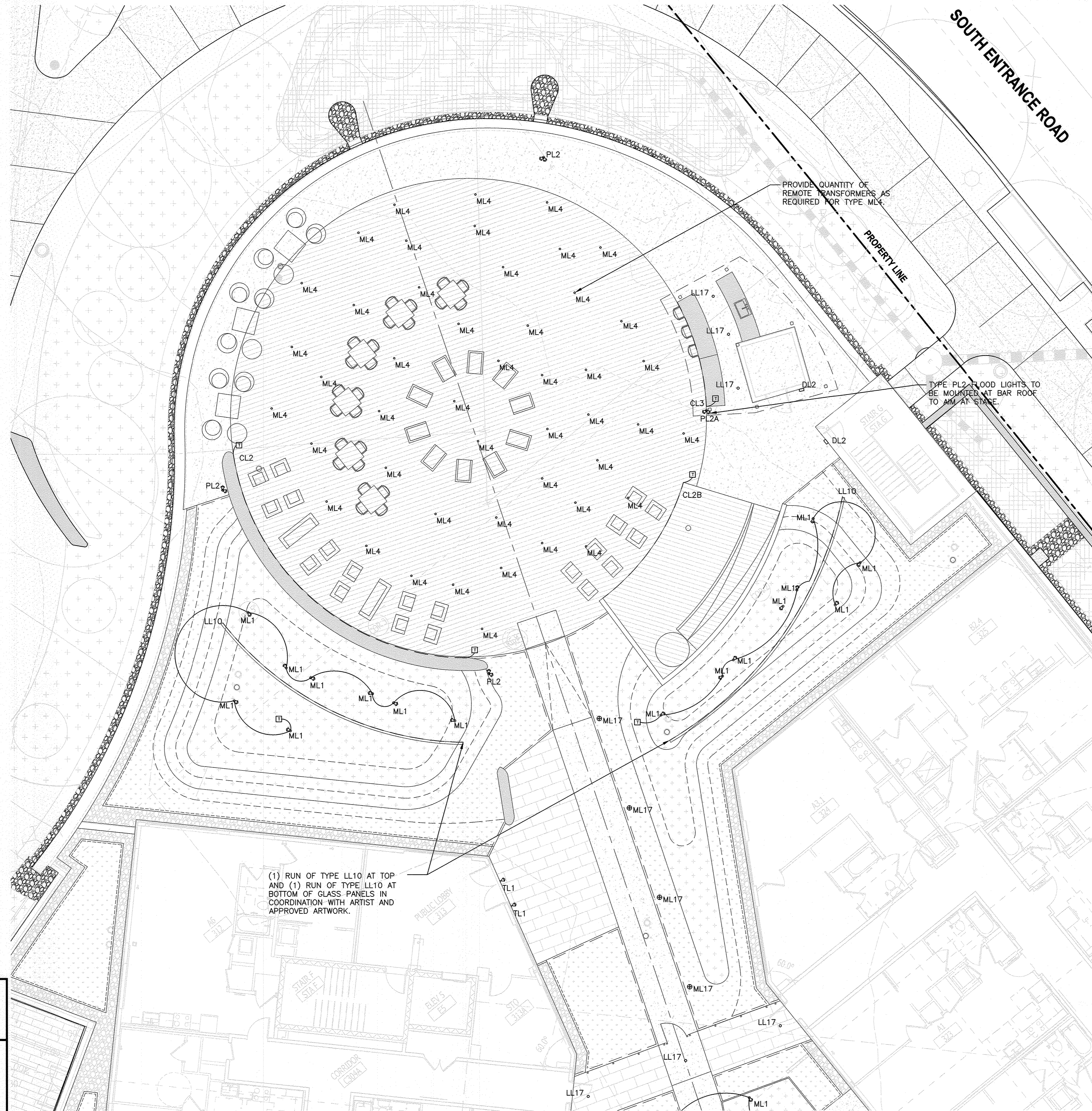
**DESIGN COLLECTIVE**  
 ARCHITECTURE, PLANNING, INTERIORS  
 WWW.DESIGNCOLLECTIVE.COM  
 601 EAST PRATT STREET, SUITE 300  
 BALTIMORE, MARYLAND 21202  
 T: 410.686.6655 F: 410.539.6242

DES. BR	DRN. MM	CHK. AD	DATE	REVISION	BY	APP'R.

PREPARED FOR & OWNER PARCEL S  
 TOBY'S GENERAL PARTNERSHIP  
 10709 VISTA ROAD  
 COLUMBIA, MARYLAND 21044-4223  
 ATTN: SCOTT ARMIGER  
 410-964-2334

LIGHTING PLAN - GROUND LEVEL B  
**THE NEW CULTURAL CENTER**  
 DOWNTOWN COLUMBIA  
 CRESCENT NEIGHBORHOOD, PHASE 2, PARCEL S - GREEN BLDG.  
 PN: 210423  
 ELECTION DISTRICT No. 5 A RESUBDIVISION OF LOT 1 (PLAT No. 15 Pg. 48) AND PARCELS G & H (PN: 24003) HOWARD COUNTY, MARYLAND

SCALE	ZONING	FILE No.
1" = 20'	NT	
DATE	TAX MAP - GRID	SHEET
JUNE, 2023	36 - 8	45 OF 52



**LIGHT FIXTURE LEGEND - PUBLIC TERRACE**

- CL2B
- CL3
- DL2
- ⊙ ML1
- ML4
- ⊕ ML17
- LL10
- LL17
- ⊙ PL2
- ⊙ PL2A
- ⊙ TL1

REF. ELECTRICAL FOR FIXTURE SCHEDULE

APPROVED  
 PLANNING BOARD OF HOWARD COUNTY  
 Date: 3/1/18  
 APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING  
 Director: Lynde Euseborg Date: 11/20/23  
 Chief, Division of Land Development: [Signature] Date: 8/21/23  
 Chief, Development Engineering Division: [Signature] Date: 8/21/23

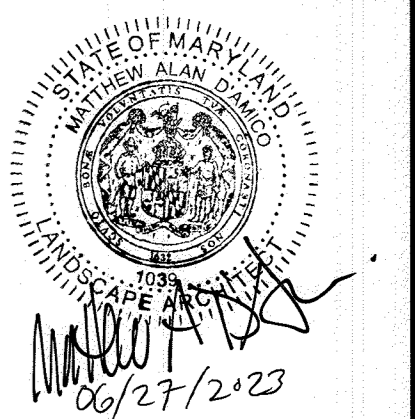
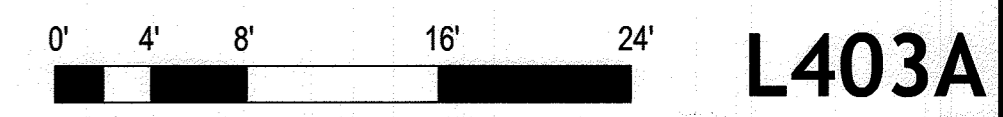
DES. BR	DRN. MM	CHK. AD	DATE	REVISION	BY	APPR.

DES. BR	DRN. MM	CHK. AD	DATE	REVISION	BY	APPR.

PREPARED FOR & OWNER PARCEL S  
 TOBY'S GENERAL PARTNERSHIP  
 10709 VISTA ROAD  
 COLUMBIA, MARYLAND 21044-4223  
 ATTN: SCOTT ARMIGER  
 410-964-2334

LIGHTING PLAN - LEVEL 3 - PUBLIC TERRACE  
**THE NEW CULTURAL CENTER**  
 DOWNTOWN COLUMBIA  
 CRESCENT NEIGHBORHOOD, PHASE 2, PARCEL S - GREEN BLDG.  
 PN: 20480  
 ELECTION DISTRICT No. 5 A RESUBDIVISION OF LOT 1 (PLAT No. 15 Pg. 48) AND PARCELS G & H (PN: 24003) HOWARD COUNTY, MARYLAND

SCALE	ZONING	FILE No.
1/8" = 1'-0"	NT	
DATE	TAX MAP - GRID	SHEET
JUNE, 2023	36 - 8	46 OF 52

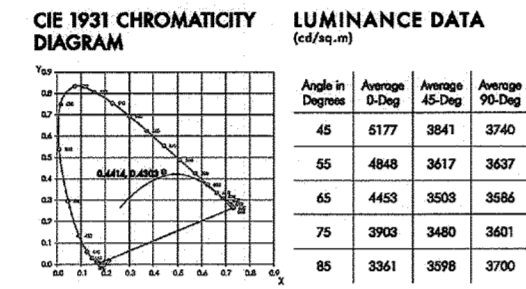


modaLIGHT SPECIFICATION

SUPER NEON X® FLAT EXTERIOR 3000K 1FT

Creates Unlimited Runs of Continuous Solid Lines of Light. Complete lighting solution that offers a low profile and easy bend against 1/4" line of light (opposite bend to Super Neon Edge).

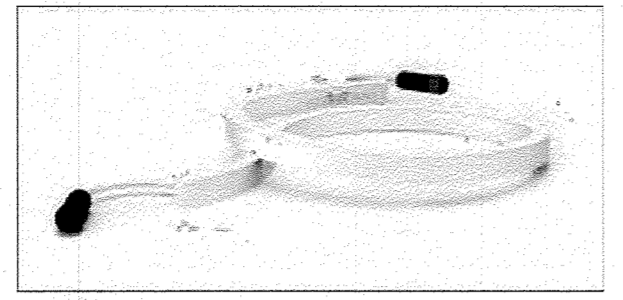
Table with columns for Output, Electrical, and Testing Data. Includes values for Delivered Lumens, CCT & SMC, Chromaticity Coordinates, Efficacy, and Life Expectancy.



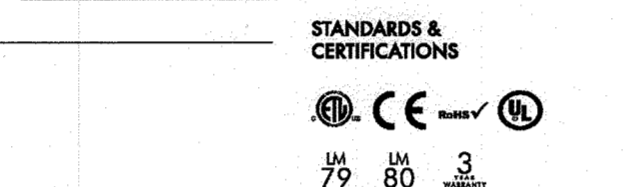
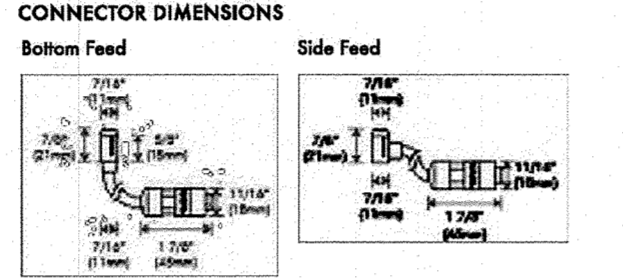
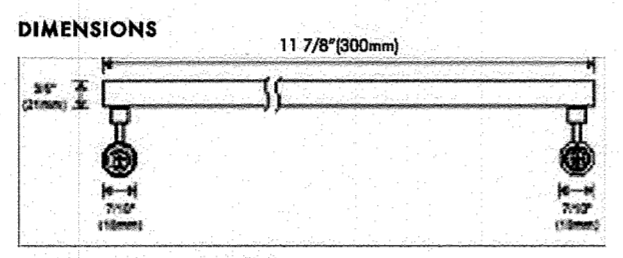
Project Name:
Notes:

Due to continuous improvements and innovations, specifications may change without notice. Please refer to our website for current technical data. These forms are provided as a guideline only and may vary with differing power supply and conditions. All rights reserved. ©2018.

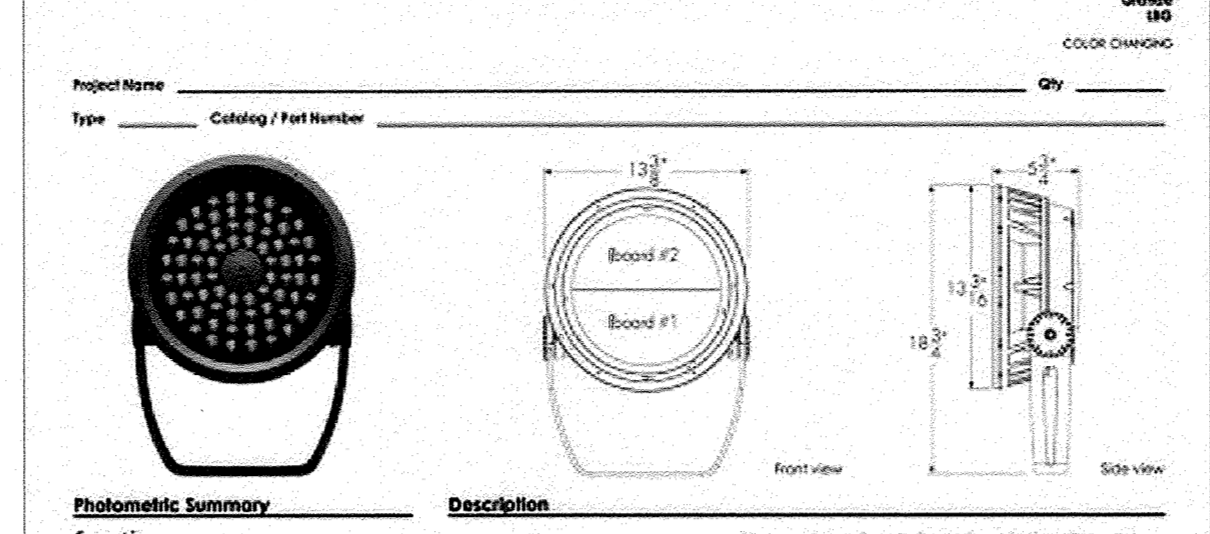
Lighting specification form for modaLIGHT fixture, including fixture information, date, and fixture type. Note: REF. SCHEDULE FOR CL2 DISTRIBUTION LEVELS.



PHYSICAL Applications: Accent Linear / Curved Surfaces, Architectural Highlights. Dimensions: Length 11 7/8" (300mm), Width 7/16" (11mm), Height 7/8" (21mm).



Specification Sheet



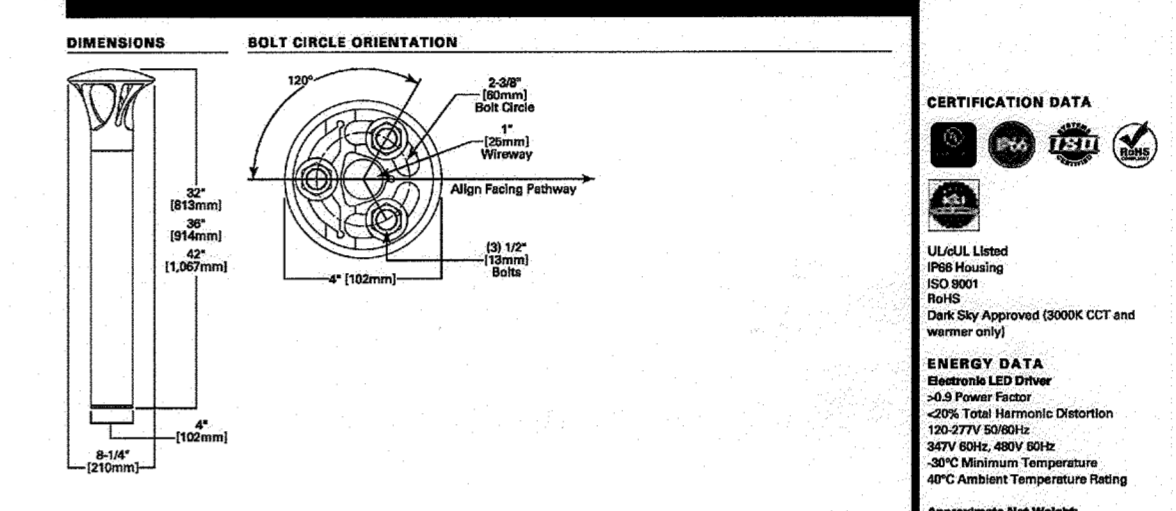
Photometric Summary table with columns for Beam Spread, Delivered Output (lm), and Delivered Intensity (cd/ft²). Includes technical specifications and notes.

Lighting specification form for lumenbeam fixture, including fixture information, date, and fixture type. Note: REF. SCHEDULE FOR CL2 DISTRIBUTION LEVELS.

DESCRIPTION

The Arbor Rollard from Invue brings architectural style to the pedestrian level. The Arbor Rollard can be used along with Arbor post top luminaires to provide a coordinated look...

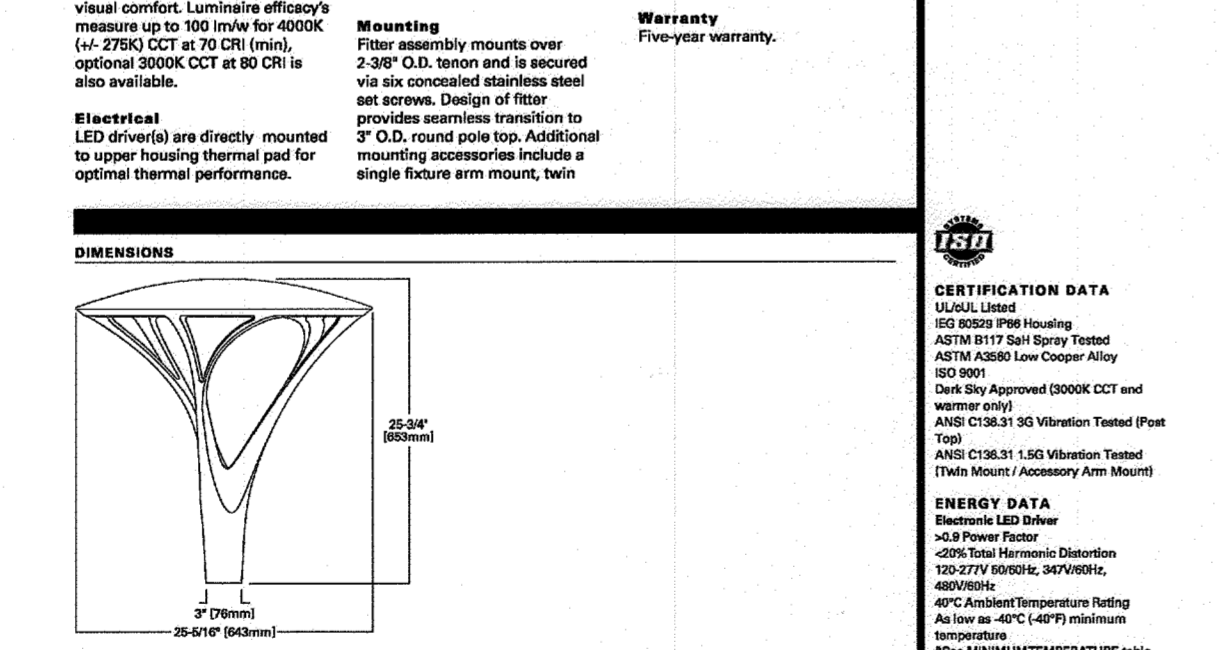
Table with columns for Construction, Electrical, and Mounting. Details material requirements, voltage, and installation instructions.



Lighting specification form for Arbor Rollard luminaire, including fixture information, date, and fixture type. Note: REF. SCHEDULE FOR CL2 DISTRIBUTION LEVELS.

DESCRIPTION: The Invue Arbor post top brings architectural style to available and pedestrian scale applications. Its dynamic appearance brings a desired organic look into the urban environment.

SPECIFICATION FEATURES table detailing construction, optics, electrical, and mounting specifications for the Arbor Rollard luminaire.



CERTIFICATION DATA table listing UL and other safety certifications for the luminaire.

Lighting specification form for Arbor Rollard luminaire, including fixture information, date, and fixture type. Note: REF. SCHEDULE FOR PL1 DISTRIBUTION LEVELS.



Specifications table for the WEDGE1 LED sconce, including depth, height, width, and weight.

WEDGE1 LED Family Overview table listing various model numbers and their corresponding lumens.

Ordering Information table for the WEDGE1 LED sconce, including package, color temperature, and shipping details.

Accessories table listing various mounting and control options for the sconce.

Lighting specification form for WEDGE1 LED sconce, including fixture information, date, and fixture type. Note: REF. SCHEDULE FOR PL1 DISTRIBUTION LEVELS.

APPROVED PLANNING BOARD OF HOWARD COUNTY. Date: 7/1/18. Signature of Director and Chief of Development Engineering Division.

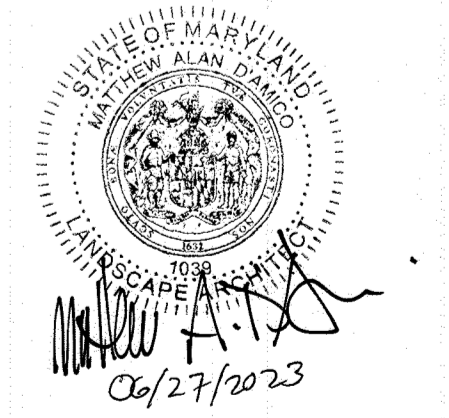
DESIGN COLLECTIVE ARCHITECTURE, PLANNING, INTERIORS. 601 EAST PRATT STREET, SUITE 300, BALTIMORE, MARYLAND 21202.

Revision table with columns for Date, Revision, and Appr. (Approved).

PREPARED FOR & OWNER PARCEL S. TOBY'S GENERAL PARTNERSHIP, 10709 VISTA ROAD, COLUMBIA, MARYLAND 21044-4223.

DETAILS - LIGHTING. THE NEW CULTURAL CENTER, DOWNTOWN COLUMBIA, CRESCENT NEIGHBORHOOD, PHASE 2, PARCEL S - GREEN BLDG.

Table with columns for SCALE, ZONING, FILE No., DATE, TAX MAP - GRID, SHEET. Shows AS SHOWN, NT, and SHEET 47 OF 52.



L410

**LED wall luminaire - light output on one side** BEGA

**Application**  
The LED wall mounted luminaire has light output on one side. Arranged individually or in groups, this is a great design element for a host of lighting applications. For downlight applications only.

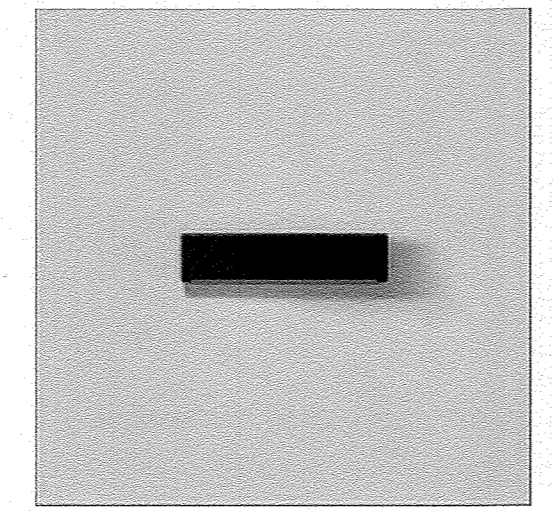
**Materials**  
Luminaire housing constructed of die-cast and extruded marine grade, copper free 60/36 copper content alloy. Anodized aluminum alloy.  
Multi safety glass  
High temperature silicone gasket  
Mechanically captive stainless steel fasteners  
NRTL listed to North American Standards, suitable for wet locations  
Production class IP66  
Weight: 10.8 lbs

**Electrical**  
Operating voltage: 120-277V AC  
Minimum start temperature: <math>32^{\circ}\text{C}</math>  
LED module wattage: 9.6W  
System wattage: 13W  
Controlability: 0-10V dimmable  
Color rendering index: Ra=90  
Luminaire lumens: 687 lumens (8000K)  
Lifetime at Ta=15°C: >50,000 h (L70)  
Lifetime at Ta=50°C: 212,000 h (L70)

**LED color temperature**  
 4000K - Product number + K4  
 3500K - Product number + K35  
 3000K - Product number + K3  
 2700K - Product number + K27

BEGA can supply you with suitable LED replacement modules for up to 20 years after the purchase of LED luminaires - see website for details

**Finish**  
All BEGA standard finishes are matte, textured polyester powder coat with minimum 3 mil thickness.  
Available colors:  Black (BLK)  White (WHI)  RAL:  
 Bronze (BRZ)  Silver (SLV)  CUS:



**LED wall luminaire - light output on one side**

Part	A	B	C	Weight
44117	9.6W	24"	4"	10.827

BEGA 1000 BEGA Way, Carpinteria, CA 95013 (805) 584-0303 info@bega-usa.com  
Due to the rapid pace of lighting technology and the associated technology, luminaires are on the order in which is subject to change at the discretion of BEGA North America. For the most current technical data, please refer to bega.us or to a representative dealer.

the lighting practice Catalog Information: 44417-K3-[FINISH] + 19537 Date: 07/27/2021  
Fixture Type: DL2 Page: 1 of 1

**NITE STAR II LED** IP66 RATED

DATE: PROJECT: TYPE:

CATALOG NUMBER LOGIC

**CATALOG NUMBER LOGIC**  
Example: B - NSI - LED - e64 - SP - A9 - SAP - 12 - 11 - 360SL

**MATERIAL**  
(Blank) - Aluminum B - Brass B - Stainless Steel

**SERIES**  
NSI - Nite Star II

**SOURCE**  
LED - with Integral Dimming Driver (20W min. load when dimmed)\*

**LED TYPE**  
e64 - 7W LED/2700K e66 - 7W LED/4000K  
e65 - 7W LED/3000K e74 - 7W LED/Amber

**OPTICS**  
NSP - Narrow Spot (30°) MFL - Medium Flood (23°)  
SP - Spot (18°) WFL - Wide Flood (31°)

**ADJUST-E-LUMINE™**  
A9 (Standard), A8, AT, A6, A5, A4, A3, A2, A1

**FINISH (see page 2 for full-color swatches)**  
Standard Finishes (E25, E26, E27, BLK, WHI, W/R, SAP, VER)  
Premium Finish (AFB, AMG, ACW, BCM, BGE, BPP, CAP, CMG, CRI, CRM, HUG, MDS, NBP, OCP, RMG, SDS, SMG, TWF, WCP, W/R)  
Also available in RAL Finishes  
Brushed Finishes (MAC, POL, M/T)  
Stainless Steel Finishes (MAC, POL)

**LENS TYPE**  
12 - Soft Focus 13 - Rectilinear

**SHIELDING**  
T1 - Honeycomb Baffle

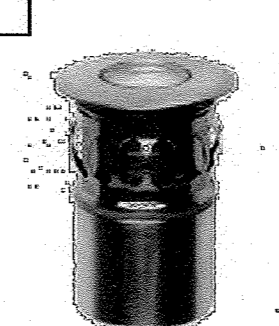
**OPTIONS**  
360SL - Knuckle Mounting System\*\*

**B-K LIGHTING** MADE IN THE USA 561.426.1300 INFO@BKLIGHTING.COM BKLIGHTING.COM

the lighting practice Catalog Information: NSIIE65-WFL-A9-[FINISH]-12-360SL + KMA-[FINISH] - REMOTE Date: 09/09/2021  
Fixture Type: ML1 Page: 1 of 7

**Beret R**

Lights: 1 x powerLED 2 W DC 630 mA | CRI 80  
83127W00



**Technical data**

Type	Frame
Installation position	Fixed
Installation environment	Outdoor
Light source	LED
Optics	General Lighting
Power	2 W
Source lumens	283 lm
Current intensity	630mA
CEC T-Base	2000 L
Color rendering index	80 Ra
C/G / C.V.	CC
Energy class	A++
Safety class	3
IP	IP67
IK	IK08
Clear view test	85%
Direct mounting on normally flammable surfaces	Yes
CE	Yes
Operating temperature	-20 / +50
Driver included	No
Dimmable article	DALI+ 1-10V
Overvoltage	No
Tilting	No
Walk-over	Yes
Shower	No
Cable included	Yes
Cable length	1 m
Heat jacket	Yes
Type of light emission	Single emission
Net weight	0.130 Kg
Electromagnetic disturbance protection	No
Range protection	No
Product technological characteristics	TVS
Ordinary temperature on the glass	40 °C

**Finishing coating**

Material	OT38 Brass
Colour	matte
Processing	Galvanic Nickel Plating + Brushing

**Finishing base**

Material	Stainless steel -
Colour	steel

**Electronics**

83108	ON/OFF Driver 180-300V AC
83118	ON/OFF Driver 180-300V AC
83420	ON/OFF Driver 180-300V AC / 200-300V DC
83102	DALI-2 Multi Power 90-264V AC / 175-270V DC

**Cable Description**

Cable connector	No
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the lighting practice Catalog Information: 83127W00-[FINISH]+89186 Date: 07/27/2021  
Fixture Type: ML4 Page: 1 of 3

**DENALI LED (REMOTE)** IP66 RATED

DATE: PROJECT: TYPE:

CATALOG NUMBER LOGIC

Example: DE - LED - x68 - SP - B2W - 9 - 11 - A

**MATERIAL**  
Aluminum

**SERIES**  
DE - Denali

**SOURCE**  
LED - Chip on Board Technology

**LED TYPE**  
x68 - 12W/2700K/80CRI x62 - 20W/3000K/80CRI x66 - 27W/4000K/80CRI  
x69 - 12W/3000K/80CRI x63 - 20W/4000K/80CRI x67 - 27W/2700K/80CRI  
x64 - 12W/4000K/80CRI x64 - 27W/2700K/80CRI x68 - 27W/3000K/80CRI  
x61 - 20W/2700K/80CRI x65 - 27W/3000K/80CRI x69 - 27W/3000K/80CRI

**OPTICS**  
SP - Spot (18°) FL - Flood (30°) WFL - Wide Flood (80°)

**FINISH (see page 2 for full-color swatches)**  
Standard Finishes (E25, E26, E27, BLK, WHI, W/R, SAP, VER)  
Premium Finish (AFB, AMG, ACW, BCM, BGE, BPP, CAP, CMG, CRI, CRM, HUG, MDS, NBP, OCP, RMG, SDS, SMG, TWF, WCP, W/R)  
Also available in RAL Finishes

**LENS TYPE**  
B - Clear (Standard)  
12 - Soft Focus 13 - Rectilinear

**SHIELDING**  
T1 - Honeycomb Baffle

**CAP STYLE**  
A - 40°  
B - 90°  
C - Flush  
D - 40° Lens Weephole (Interior use only)  
E - 90° Lens Weephole (Interior use only)

the lighting practice Catalog Information: HEAD: (2) DE-LED-X82-WFL-[FINISH]-12-A Date: 11/11/2021  
Fixture Type: PL2  
POLE: RSA-16-5C-T20-[FINISH] NOTE: REF. SCHEDULE FOR PL2 DISTRIBUTION LEVELS PL2A Page: 1 of 4

**GRIVENUSA** MEMBER OF THE NORDEON GROUP

**GOBOLED 80 D**

**PROJECT** TYPE:

**SPECIFIER** DATE:

**ORDER #** QTY:

**PRODUCT SPECIFICATIONS**

BEAM ANGLE	252° Linear @ 18 degree; 1732° Linear @ 35 degree
LUMENS	33 170lm
LUMEN MAINTENANCE	50,000 hours L70 @ 24°C
OPERATING TEMPERATURE	20°C to 40°C (4°F to 104°F)
HOLDING	Aluminum body with an adjustable mounting yoke
MOUNTING	Yoke mount with locking rings (Custom mounting available upon request)
HEIGHT	19.2 in. (57.4 cm)
CERTIFICATION	CE
ACCESS PROTECTION	Not located inside IP65 fixture body, IP53 ceiling system
ARMAT RATING	IK07
CONTROL	Auto Control DMX 512. Wireless interfaces available
ADDITIONAL FEATURES	Automatic overheating protection / Dispatches for Control Settings
GOBO SIZE	Size D: Exterior diameter 53.3mm, internal diameter 43mm Accessory gobo Size E: Exterior diameter 57.5mm, internal diameter 38mm Primary gobo not used. Accessory gobo used.

**ELECTRICAL SPECIFICATIONS**

INPUT VOLTAGE	100-240 VAC @ 50/60Hz
POWER CONSUMPTION	100W max
POWER FACTOR	> 95 @ 115VAC, > 95 @ 230VAC

IP65/55 / IK07 / CE / ENEC

the lighting practice Catalog Information: G0B0173-UNV-[FINISH]-AG +LEADS AND CABLES AS REQUIRED Date: 09/03/2021  
Fixture Type: TL1 Page: 1 of 4

APPROVED  
PLANNING BOARD OF HOWARD COUNTY

Date: 7/1/16

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

*David Easton*  
Director Date: 11/20/23

*Jam*  
Chief, Division of Land Development Date: 10/23/23

*Al Elmer*  
Chief, Development Engineering Division Date: 8-21-23

**DESIGN COLLECTIVE**

ARCHITECTURE, PLANNING, INTERIORS  
WWW.DESIGNCOLLECTIVE.COM

601 EAST PRATT STREET, SUITE 300  
BALTIMORE, MARYLAND 21202  
T: 410.683.6655 F: 410.335.6244

DES. BR	DRN. MM	CHK. AD	DATE	REVISION	BY	APPR.

PREPARED FOR & OWNER PARCEL S

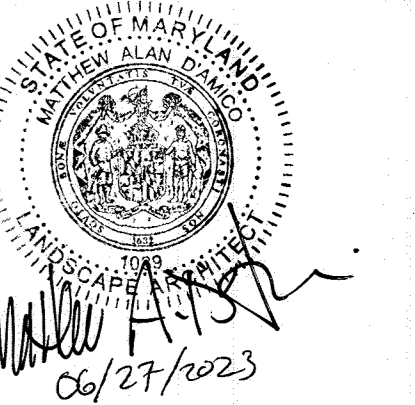
TOBY'S GENERAL PARTNERSHIP  
10709 VISTA ROAD  
COLUMBIA, MARYLAND 21044-4223  
ATTN: SCOTT ARMIGER  
410-964-2334

DETAILS - LIGHTING

THE NEW CULTURAL CENTER  
DOWNTOWN COLUMBIA  
CRESCENT NEIGHBORHOOD, PHASE 2, PARCEL S - GREEN BLDG.

ELECTION DISTRICT No. 5 A RESUBDIVISION OF LOT 1 (PLAT No. 15 Pg. 48) AND PARCELS G & H (PN: 24003) HOWARD COUNTY, MARYLAND

SCALE	ZONING	FILE No.
AS SHOWN	NT	
DATE	TAX MAP - GRID	SHEET
JUNE, 2023	36 - 8	48 OF 52



L411







**PLAN LEGEND**

- PROPERTY LINE (PROJECT BOUNDARY)
- S --- EXISTING SANITARY SEWER EXISTING
- W --- WATERLINE
- EXISTING STORM DRAIN
- SB --- STREAM BUFFER
- WB --- WETLAND BUFFER
- WETLANDS
- EXISTING EVERGREEN TREE
- EXISTING DECIDUOUS TREES (numbered tree indicates it's ≥ 24"DBH)

SDP-80-165 & F-16-114

- EX. CURB & GUTTER
- EX. IMPERVIOUS AREA (Shaded)
- EX. EDGE OF PAVING
- EX. BUILDING

THE 12 DIGIT DNR WATERSHED CODE FOR THIS PROPERTY IS 021311050954.

**NARRATIVE**

THIS PROJECT WAS PREVIOUSLY DEVELOPED UNDER SDP-80-165 AND F-16-114. NO FOREST OR WETLANDS EXIST WITHIN THE BOUNDARY OF THIS PROJECT SINCE THE IMPROVEMENTS OF THIS NEIGHBORHOOD UNDER F-16-114. A VERY SMALL FEMA 100-YR FLOODPLAIN IMPACTS THE EXISTING PARKING & DRIVEWAY TO SOUTH ENTRANCE ROAD IN THE SOUTHEAST CORNER OF THE PROJECT.

THE EXISTING LANDSCAPE TREES WITHIN THE PROJECT BOUNDARY ARE WELL UNDER 24"DBH. ALONG THIS PROJECT'S FRONTAGE ON SOUTH ENTRANCE, THERE IS ONE TREE (IDENTIFIED AS #T-1 LOCATED ON THE ROAD R/W) THAT'S GREATER 24"DBH. TREE #T-1 IS A 27"DBH LINDEN (*Tilia sp.*, measured in Oct/2022) WHICH IS IN POOR CONDITION DUE TO SEVERE BARK DAMAGE (MISSING) OF THE MAIN TREE TRUNK & LEADING TO WOOD ROT.

BECAUSE THIS PROJECT IS LOCATED WITHIN A "PRIORITY FUNDING AREA" AND THERE IS NO FOREST OR AVAILABLE HIGH PRIORITY ON-SITE FOR AFFORESTATION, THIS PLAN EXAMINES THE FOREST CONSERVATION REQUIREMENTS FOR THIS PROPERTY IN A SIMPLIFIED MANNER. THE FOREST CONSERVATION OBLIGATION (FCO) FOR THIS PROJECT WOULD BE THE AFFORESTATION THRESHOLD FOR THE AREA OF THE SITE THAT IS NOT EXEMPT FROM FOREST CONSERVATION REQUIREMENTS IN ACCORDANCE WITH SEC.16.1201.(b)(1)(xiii) OR IMPACTED BY A 100-YR FLOODPLAIN.

SINCE THE AFFORESTATION AMOUNT FOR THIS PROPERTY IS WELL UNDER 10,000 SQ. FEET A FEE-IN-LIEU PAYMENT (TO THE COUNTY) IS REQUESTED TO SATISFY THE FOREST CONSERVATION OBLIGATION.

SOILS (on site)		
Symbol	Map Unit Name	Type K Factor
BaA	Baile silt loam, 0 to 3 percent slopes	D 0.32
UuB	Urban land-Udorthents complex, 0 to 8 percent slopes	D 0.28

NO HIGHLY ERODIBLE SOILS ON-SITE (highly erodible soils are those soils with a slope > 15% or those with a soil erodibility K-factor > 0.35 and a slope > 5%).

**APPROVED PLANNING BOARD OF HOWARD COUNTY**

Date: MARCH 1, 2018

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

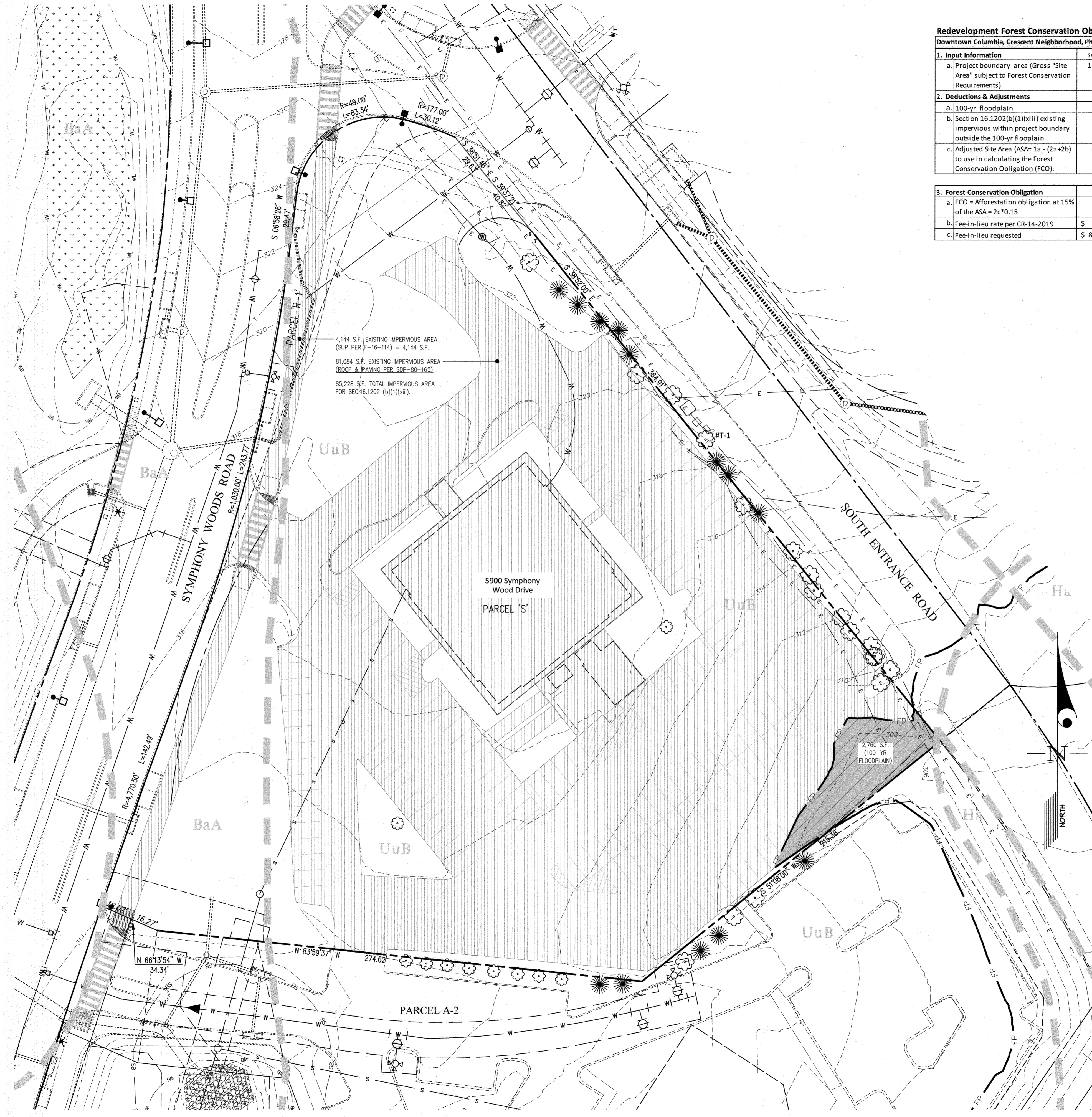
*Lynne Eubank* 1/20/23  
Director Date

*[Signature]* 1/23/23  
Chief, Division of Land Development Date

*[Signature]* 8-21-23  
Chief, Development Engineering Division Date

**GLWGUTSCHICK LITTLE & WEBER, P.A.**  
CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS  
3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK  
BURTONSVILLE, MARYLAND 20866  
TEL: 301-421-4024 BAL: 410-880-1820 DC/VA: 301-959-2524 FAX: 301-421-4186

L:\CAD\DRAWINGS\5107\PLANS BY GLW\SDP\5107 - FC\_CALC.dwg DES. dds DRN. dds CHK.



**Redevelopment Forest Conservation Obligation Analysis**

Downtown Columbia, Crescent Neighborhood, Phase 2, Par. R-1 and "S"

1. Input Information	sq. feet	Acres (if >10)
a. Project boundary area (Gross "Site Area" subject to Forest Conservation Requirements)	132,371	3.04

2. Deductions & Adjustments		
a. 100-yr floodplain	2,760	
b. Section 16.1202(b)(1)(xiii) existing impervious within project boundary outside the 100-yr floodplain	85,228	1.96
c. Adjusted Site Area (ASA= 1a - (2a+2b) to use in calculating the Forest Conservation Obligation (FCO):	44,383	1.02

3. Forest Conservation Obligation		
a. FCO = Afforestation obligation at 15% of the ASA = 2c*0.15	6,657	0.15
b. Fee-in-lieu rate per CR-14-2019	\$ 1.25	
c. Fee-in-lieu requested	\$ 8,321.81	

FOREST CONSERVATION WORKSHEET FOR DPZ file SDP-17-043

Net Tract Area				
A. Total (Gross) Tract Area of Parcels R-1 & "S"				A = 3.0
B. Area within 100-year Floodplain				B = 0.1
C. Other Deductions (Identify: Section 16.1202(b)(1)(xiii) exempt areas)				C = 2.0
D. Net Tract Area				D = 1.0

Land Use Category				
Insert the number "1" under the appropriate land use (limit to only one entry)				
Rural LD	Rural MD	Resid. Suburban	Linear	Retail/Ind. Office
0	0	0	0	1
Mixed Use/ PUD				
0				

Existing Forest Cover				
E. Afforestation Threshold (Net Tract Area x 15%)				E = 0.2
F. Reforestation Threshold (Net Tract Area x 15%)				F = 0.2

Existing Forest Cover				
G. Existing Forest Cover within the Net Tract Area				G = 0.0
H. Area of Forest above Afforestation Threshold				H = 0.0
I. Area of Forest above Reforestation Threshold				I = 0.0

Break Even Point				
J. Break Even Point				J = 0.0
K. Forest Clearing Permitted without Mitigation				K = 0.0

Proposed Forest Clearing				
L. Total Area of Forest to be Cleared (on net tract)				L = 0.0
M. Total Area of Forest to be Retained (on net tract)				M = 0.0

Planting Requirements Inside Watershed				
N. Reforestation for Clearing above the Reforestation Threshold				N = 0.0
P. Reforestation for Clearing below the Reforestation Threshold				P = 0.0
Q. Credit for Retention above the Reforestation Threshold				Q = 0.0
R. Total Reforestation Required				R = 0.0
S. Total Afforestation Required				S = 0.2
T. Total Reforestation and Afforestation Requirement				T = 0.2
U. 75% of Total Obligation (Retention + Planting)				U = 0.1
V. Planting Required Onsite to meet 75% Obligation				V = 0.1

Planting Requirements Outside Watershed				
W. Total Planting within Development Site Watershed				W = 0.0
X. Total Afforestation Required				X = 0.2
Y. Remaining Planting within Watershed for Reforestation Credit				Y = 0.0
Z. Reforestation for Clearing above the Reforestation Threshold				Z = 0.0
AA. Reforestation for Clearing below the Reforestation Threshold				AA = 0.0
BB. Credit for Retention above the Reforestation Threshold				BB = 0.0
CC. Total Reforestation Required				CC = 0.0
DD. Total Afforestation and Reforestation Requirement				DD = 0.2

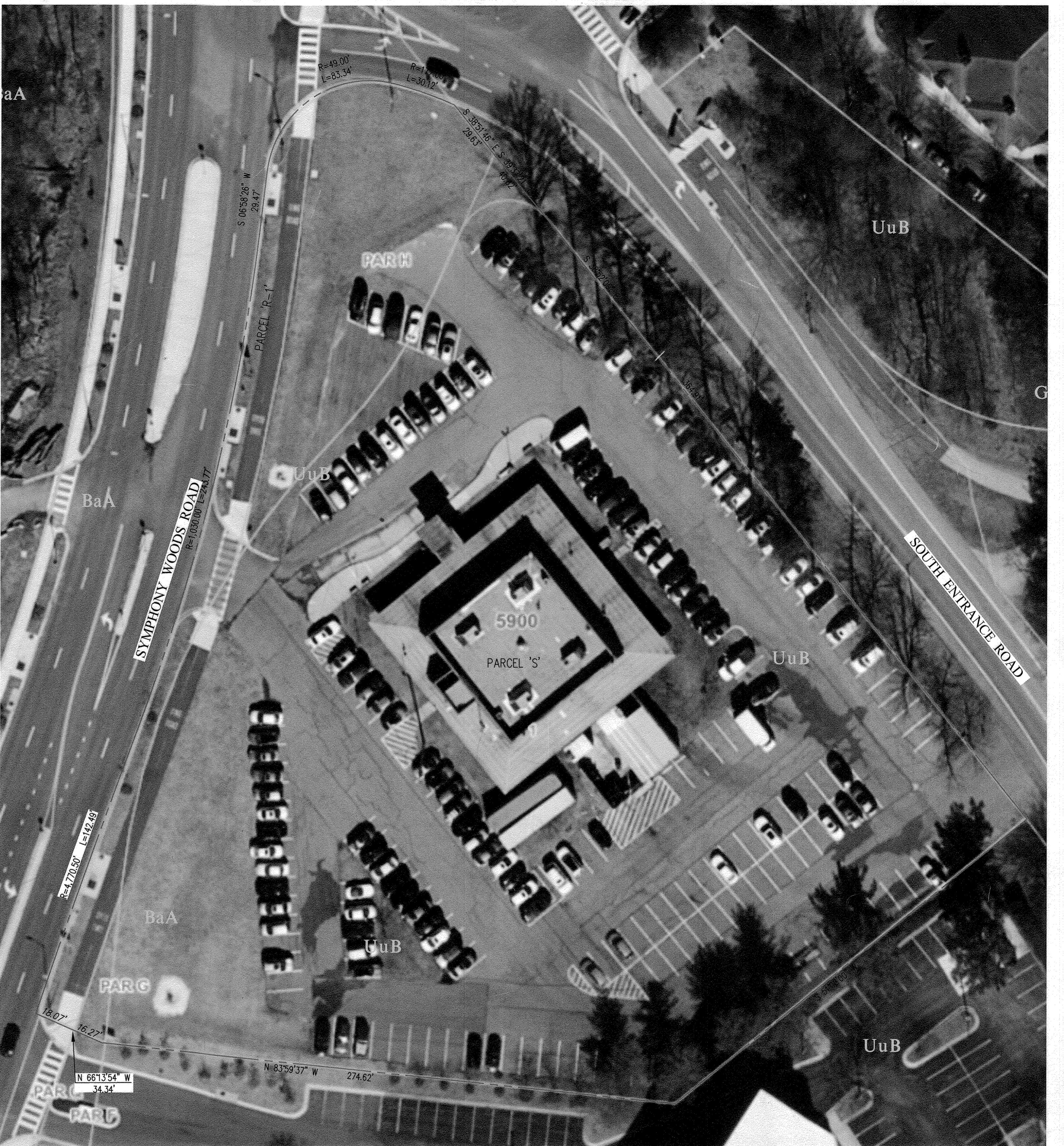
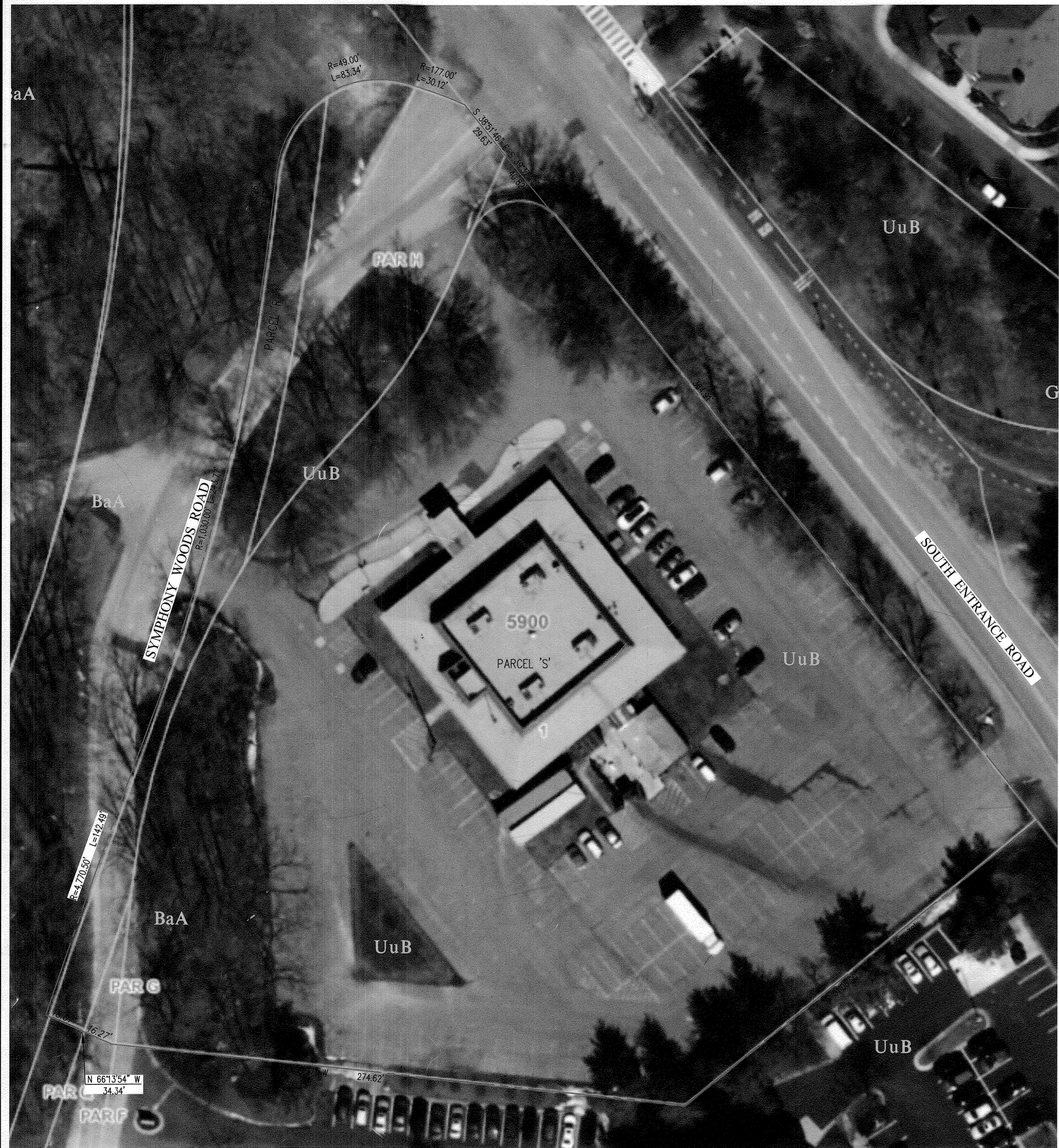
STATE OF MARYLAND  
Michael B. Tran  
L. LANDSCAPE  
6/26/23

DATE	REVISION	BY	APP'R.

PREPARED FOR & OWNER  
TOBY'S GENERAL PARTNERSHIP  
10709 VISTA ROAD  
COLUMBIA, MARYLAND 21044-4223  
ATTN: SCOTT ARMIGER  
410-964-2334

FOREST CONSERVATION CALCULATIONS  
**THE NEW CULTURAL CENTER**  
DOWNTOWN COLUMBIA  
CRESCENT NEIGHBORHOOD, PHASE 2, PARCELS S - GREEN BLDG.  
PN: 210752  
ELECTION DISTRICT No. 5 A RESUBDIVISION OF LOT 1 (PLAT No. 15 Pg. 48) AND PARCELS G, H, & R (PN: 24003) HOWARD COUNTY, MARYLAND

SCALE	ZONING	G. L. W. FILE No.
1"=30'	NT	15107
DATE	TAX MAP - GRID	SHEET
JUNE, 2023	36 - 8	51 OF 52



APPROVED  
 PLANNING BOARD OF HOWARD COUNTY  
 Date: MARCH 1, 2018

2017 -- BEFORE IMPROVEMENTS UNDER F-16-114 (as a 5-yr look-back)

2022 -- AFTER IMPROVEMENTS UNDER F-16-114 (SINCE 2020)

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING  
 Director: [Signature] Date: 11/20/23  
 Chief, Division of Land Development: [Signature] Date: 12/21/23  
 Chief, Development Engineering Division: [Signature] Date: 2-21-23

STATE OF MARYLAND  
 Michael B. Tran  
 REGISTERED PROFESSIONAL ARCHITECT  
 No. 13335  
 Date: 6/26/23

**GLWGUTSCHICK LITTLE & WEBER, P.A.**  
 CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS  
 3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK  
 BURTONSVILLE, MARYLAND 20866  
 TEL: 301-421-4024 • BALTIMORE: 410-880-1820 DC/VA: 301-869-2524 FAX: 301-421-4186

DATE	REVISION	BY	APP'R.

PREPARED FOR & OWNER  
 TOBY'S GENERAL PARTNERSHIP  
 10709 VISTA ROAD  
 COLUMBIA, MARYLAND 21044-4223  
 ATTN: SCOTT ARMIGER  
 410-964-2334

FOREST CONSERVATION CALCULTAIONS  
**THE NEW CULTURAL CENTER**  
 DOWNTOWN COLUMBIA  
**CRESCENT NEIGHBORHOOD, PHASE 2, PARCELS S - GREEN BLDG.**  
 PN: 26402 - 26403  
 ELECTION DISTRICT No. 5 A RESUBDIVISION OF LOT 1 (PLAT No. 15 Pg. 48) AND PARCELS G, H, & R (PN: 24003) HOWARD COUNTY, MARYLAND

SCALE	ZONING	G. L. W. FILE No.
1"=30'	NT	15107
DATE	TAX MAP - GRID	SHEET
JUNE, 2023	36 - 8	52 OF 52