- I. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF HOWARD COUNTY PLUS MSHA STANDARDS AND SPECIFICATIONS IF
- 2. THE CONTRACTOR SHALL NOTIFY THE DEPARTMENT OF PUBLIC WORKS, BUREAU OF ENGINEERING, CONSTRUCTION INSPECTION DIVISION AT (410) 313-1880 AT LEAST FIVE (5) WORKING DAYS PRIOR TO THE START OF WORK.
- 3. THE CONTRACTOR SHALL NOTIFY "MISS UTILITY" AT 1-800-257-7777 AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION WORK BEING DONE.
- 4. PROJECT BACKGROUND TAX MAP #46, GRIDS 3 &4 LOCATION: ZONING: MXD-3

ELECTION DISTRICT: RECORDING REFERENCE: PLATS 23860 THRU 23882

- 5. THE CONTRACTOR SHALL NOTIFY THE HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS. BUREAU OF UTILITIES AT (410) 313-4900 AT LEAST FIVE (5) WORKING DAYS PRIOR TO STARTING ANY EXCAVATION WORK.
- 6. PROPOSED USE: OFFICE BUILDING WITH POSSIBLE FIRST FLOOR RETAIL/RESTAURANT,
- 7. ALL PLAN DIMENSIONS ARE TO FACE OF BUILDING UNLESS OTHERWISE NOTED. DIMENSIONS ARE MEASURED PERPENDICULAR OR RADIALLY BETWEEN ITEMS UNLESS OTHERWISE NOTED.
- 8. EXISTING TOPOGRAPHY IS SHOWN PER FIELD RUN SURVEY PERFORMED BY GUTSCHICK, LITTLE & WEBER, P.A. IN APRIL 2015 AND UPDATED IN JULY 2015 AS WELL AS GRADES TAKEN FROM DESIGN PLANS FOR CONSTRUCTION.
- 9. COORDINATES AND BEARINGS ARE BASED UPON THE '83 MD STATE COORDINATE SYSTEM (NAD '83) AS PROJECTED BY HOWARD COUNTY GEODETIC CONTROL STATIONS NO. 4IEA, 4IEB, 4IGA AND NO. 46B2
- IO. PROPERTY IS ZONED MXD-3 PER THE 02/02/04 COMPREHENSIVE ZONING PLAN. COMP LITE DATED 07/28/06 AND PER ZB-995M WAS APPROVED 12/29/00 AND ZB-1039M WAS APPROVED ON 03/20/06 GRANTING APPROVAL TO PDP
- II. PREVIOUS DEPARTMENT OF PLANNING & ZONING FILE NUMBERS: S-01-17, ZB-995M, PB-353. S-06-16. ZB-1039M, WP-01-111(\*), WP-02-054(\*\*), WP-12-180, P-02-12, F-03-007, F-05-112, F-12-015, F-12-021, F-12-059, F-12-086, F-14-069, F-15-058, F-16-094, SDP-03-006, SDP-12-059, SDP-13-010, SDP-14-007, SDP 14-076, AND SDP 16-011.
- 12. WATER AND SEMER SERVICE IS PUBLIC. THE WATER METER SETTING WILL BE INSIDE THE
- 13. ALL EXISTING WATER AND SEWER IS PER CONTRACT #24-4279-D AND 44-4950-D

14. ALL EXISTING PUBLIC STORM DRAIN IS PER F-05-112 AND SDP 16-011.

FIELD LOCATION BY GUTSCHICK, LITTLE & WEBER, P.A.

- 15. STORMWATER MANAGEMENT FOR QUALITY AND QUANTITY CONTROL IS BEING PROVIDED IN EXISTING FACILITIES. THE FIRST FACILITY IS LOCATED ON BUSINESS DISTRICT - OPEN SPACE LOT 3 AND WAS CONSTRUCTED UNDER F-05-112. THE OTHER IS LOCATED ON
- WESTSIDE DISTRICT OPEN SPACE LOT 3 AND WAS CONSTRUCTED UNDER F 05-55.
  RECHARGE 13 PROVIDED IN TRENCHES ON SPP-16-011 AND SOP-14-007. 16. EXISTING UTILITIES ARE BASED ON APPROVED DESIGN PLANS FOR CONSTRUCTION AND
- 17. THERE ARE NO KNOWN CEMETERIES, GRAVE SITES OR HISTORIC STRUCTURES LOCATED ON
- 18. THERE ARE NO SCENIC ROADS WITHIN OR ADJACENT TO THE SUBJECT PROPERTY.
- 19. THERE IS NO FLOODPLAIN ON THIS SITE.
- 20. THERE ARE NO WETLANDS ON THIS SITE
- 21. THIS PROPERTY WAS BROUGHT INTO THE METROPOLITAN DISTRICT ON AUGUST 8, 2001.
- 22. BUILDING SETBACKS AND BUILDING RESTRICTIONS ARE IN ACCORDANCE WITH THE APPROVED DEVELOPMENT CRITERIA PER PB CASE NO. 353, S-QI-17, PB-378 AND S-Q6-16.
- 23. AS A CONSEQUENCE OF THE SKETCH PLAN, S-OI-17 APPROVAL PRIOR TO NOVEMBER 15. 2001, THIS PROJECT IS GRANDFATHERED TO THE FOURTH EDITION OF THE SUBDIVISION AND LAND DEVELOPMENT REGULATIONS
- 24, PHASING FOR THIS PROJECT IS IN ACCORDANCE WITH THE DECISION AND ORDER FOR ZB-995M AND THE DECISION AND ORDER FOR PB CASE NO. 353 (5-01-17).
- 25. THE TRAFFIC STUDY WAS APPROVED AS PART OF SKETCH PLAN 5-01-17.
- 26. WATER AND SEWER HOUSE CONNECTION LIMITS SHOWN ON THESE PLANS IS FROM THE ROAD R/W OR LIMIT OF PUBLIC EASEMENT TO WITHIN 5' OF THE BUILDING. REFER TO ARCHITECTURALS FOR
- 27. BECAUSE THIS PLAN SUBMISSION IS NON-RESIDENTIAL USE, A NOISE STUDY IS NOT
- 28. BUILDING WILL HAVE AN AUTOMATIC FIRE PROTECTION SPRINKLER SYSTEM W AN INSIDE
- 29. THIS OFFICE BUILDING IS LOCATED IN AN EMPLOYMENT AREA WHICH IS NOT PART OF A RETAIL 30. THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH SECTION 16.124 OF THE HOWARD

COUNTY CODE AND THE LANDSCAPE MANUAL WITH 18 SHADE TREES, AND 114 SHRUBS, A

LANDSCAPE SURETY IN THE AMOUNT OF \$8,820.00 WILL BE POSTED WITH THE GRADING

31. THE SHARED ACCESS AND PARKING REQUIREMENT FOR PARCEL "C-33" AND THE ADJACENT (FUTURE) PARCELS IS COVERED BY SECTION IO.II, ACCESS AND PARKING EASEMENT IN "AMENDED AND RESTATED DECLARATION OF COVENANTS CONDITION AND RESTRICTIONS FOR MAPLE LAWN COMMERCIAL ASSOCIATION, INC." AND RECORDED AMONG THE LAND RECORDS OF HOWARD COUNTY, MARYLAND IN LIBER 7419 AT FOLIO 230.

# APPROVED: FOR PUBLIC WATER AND SEWERAGE SYSTEMS, HOWARD COUNTY HEALTH DEPARTMENT

# APPROVED PLANNING BOARD OF HOWARD COUNTY

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING Division of Land Development

ment Engineering Division 🥼 🖠

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GENERAL NOTES (cont.)

- 32. ALL EXTERIOR LIGHT FIXTURES SHALL BE FULLY OR PARTIALLY SHIELDED TO DIRECT LIGHT INWARDS AND DOWNWARDS AWAY FROM ALL ADJOINING RESIDENTIAL USE AREAS AND PUBLIC ROADS IN ACCORDANCE WITH SECTION 134 OF THE HOWARD COUNTY ZONING REGULATIONS.
- 33. THE FOREST CONSERVATION REQUIREMENTS PER SECTION 16.1202 OF THE HOWARD COUNTY CODE AND FOREST CONSERVATION MANUAL. FOR THIS PROJECT HAS BEEN SATISFIED BY P
- 34. THE BUILDING IS REQUIRED TO MEET THE GREEN BUILDING STANDARDS AND WILL COMPLY WITH THE GREEN BUILDING REQUIREMENTS PER SECTION 3.1005(A) OF THE HOWARD COUNTY CODE,
- 35. THE INFORMATION SHOWN ON THIS PLAN SET SUPERCEDES INFORMATION SHOWN ON F-05-112. THE F-05-112 PLAN SET ACKNOWLEDGED THAT THE IMPROVEMENTS ALONG MAPLE LAWN BOULEVARD FROM THE BACK OF CURB TO THE RIGHT-OF-WAY LINE WOULD BE CONSTRUCTED

UNDER THE SITE DEVELOPMENT PLAN ALONG THAT SECTION OF THE ROADWAY.

- 36. TRAFFIC CONTROL DEVICES, MARKINGS, AND SIGNING SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD). ALL STREET AND REGULATORY SIGNS SHALL BE IN PLACE PRIOR TO THE PLACEMENT OF ANY
- 37. HEALTH DEPARTMENT APPROVAL OF THIS SITE DEVELOPMENT PLAN DOES NOT ENSURE APPROVAL OF BUILDING PERMIT APPLICATION ASSOCIATED WITH THIS PLAN. PLANS FOR CERTAIN FACILITIES TO BE CONSTRUCTED WITHIN THE LIMITS DESCRIBED BY THIS PLAN WILL REQUIRE REVIEW AND APPROVAL BY THE HEALTH DEPARTMENT. SUCH FACILITIES MAY INCLUDE, BUT ARE NOT LIMITED TO, THOSE WHICH HAVE SWIMMING POOLS, OR THAT SELL PREPARED OR PACKAGED FOODS, OR THAT MAY HAVE EQUIPMENT THAT EMITS RADIATION.
- 38. STORMWATER MANAGEMENT IS PROVIDED IN ACCORDANCE WITH THE 2000 MARYLAND STORMWATER MANAGEMENT DESIGN MANUAL, VOLUMES I AND II. IT WAS DETERMINED THAT THIS PROJECT MET THE CRITERIA OUTLINED IN THE MDE STORMWATER MANAGEMENT REGULATIONS, GUIDANCE FOR IMPLEMENTATION FOR ACCEPTANCE OF THE 2000 DESIGN CRITERIA AND THROUGH THE ADMINISTRATIVE WAIVER PROCESS, WAS GRANTED A WAIVER. THIS PLAN RECEIVED COMPREHENSIVE SKETCH PLAN APPROVAL (\$ 06-16) ON JANUARY 25, 2007. THIS PLAN IS ALSO SUBJECT TO THE EXPIRATION OF THIS WAIVER UNLESS ALL OF THE STORMWATER MANAGEMENT IS CONSTRUCTED BY MAY 4, 2017.
- 39. THE FOLLOWING ARE LEED REQUIRED ITEMS:
- I) REGISTRATION WITH THE GREEN BUILDING COUNCIL AND THAT THE APPLICABLE REGISTRATION FEE HAS BEEN PAID, AND
- II) THE APPROPRIATE DATE OF THE RECEIPT AND CHECKLIST THAT IS PREPARED, SIGNED AND DATED BY THE LEED ACCREDITED PROFESSIONAL.
- 40. THE PLANNING BOARD APPROVED THIS SITE DEVELOPMENT PLAN ON JULY 7, 2016 WITH NO
- 41. THE ROOF TOWER IS TO BE UTILIZED FOR STORAGE AND MECHANICAL EQUIPMENT ONLY. THE ROOF TOWER DOES NOT COUNT TOWARDS THE F.A.R. OR PARKING REQUIREMENTS. HOWEVER, IF ANY PORTION OF THE ROOF TOWER IS CONVERTED TO OFFICE, THEN THE F.A.R. AND PARKING TABULATIONS SHALL BE REVISED ON A FUTURE REDLINE ACCORDINGLY

### SITE INDEX

- SITE DEVELOPMENT PLAN
- HANDICAP ACCESSIBILITY and SITE DETAILS PAVING DELINEATION PLAN and SITE DETAILS
- DRAINAGE AREA MAP and DETAILS
- SEDIMENT CONTROL PLAN
- SEDIMENT CONTROL NOTES and DETAILS UTILITY PROFILES
- LANDSCAPE PLAN (by others)
- LANDSCAPE PLAN DÉTAILS (by others)

VEHICULAR INGRESS AND EGRESS TO MARYLAND ROUTE 216 AND ALONG PROPOSED MAPLE LAWN BOULEVARD EXTENSION THROUGH OF ACCESS TO BE APPROVED BY THE DEPARTMENT OF PLANNING AND ZONING UNDER THE CONDITIONS OF WP-01-111(\*), WHICH WAS GRANTED ON MAY 2, 2001, ALLOWING THE FOLLOWING:

A. ADDITIONAL POINTS ALONG MAPLE LAWN BOULEVARD OTHER THAN THOSE PERMITTED BY SECTION 16 (19(E)(I) SUBJECT TO FURTHER ANALYSIS AND APPROVALS AT LATER PLAN STAGES,

B. RESIDENTIAL LOTS FRONT ON NEIGHBORHOOD PARKS INSTEAD OF BEING LIMITED TO FRONTAGE ON PUBLIC RIGHTS OF WAY AS IN SECTION 16.120(C)(2), SUBJECT TO ADEQUATE PRIVATE ALLEY

## \*\*WP-02-54

NO GRADING REMOVAL OF VEGETATIVE COVER OR TREES OR PLACEMENT OF NEW STRUCTURES IS PERMITTED WITHIN LIMITS OF WETLANDS, STREAMS OR THEIR REQUIRED BUFFERS, AND IOO YEAR FLOOD PLAIN AREAS EXCEPT AS PERMITTED UNDER MP-02-54. MP 02-54 WAS GRANTED ON

- 2, GRADING AND REMOVAL OF VEGETATIVE COVER WITHIN A 25' WETLAND BUFFER AND A 50' STREAM BUFFER.
- THE APPROVAL IS SUBJECT TO THE FOLLOWING CONDITIONS: I. THE WAIVER PETITION APPROVAL PERTAINS TO THE LIMITS OF DISTURBANCE TO THE WETLANDS, STREAM CHANNEL, AND FLOODPLAIN AREAS IDENTIFIED WITHIN THE PROPOSED EMPLOYMENT DISTRICT LOCATED IN THE SOUTHEAST
- 2. MDE WATERWAY CONSTRUCTION APPROVAL IS REQUIRED PRIOR TO ROAD PLAN APPROVAL
- 3. ALL GRADING, CLEARING AND FILLING DISTURBANCES WITHIN THE 100 YEAR FLOODPLAIN, WETLANDS, STREAM CHANNEL AND THEIR REQUIRED BUFFERS AND PERMITS FROM THE MARYLAND DEPARTMENTS OF THE ENVIRONMENT TO COMMENCEMENT OF ANY GRADING DISTURBANCES. REFERENCE THE PLAN AND PERMIT SUBMITTALS.
- THE PHASE I STREAM CHANNEL MITIGATION AND RESTORATION PLAN SHALL BE IMPLEMENTED FOR THIS PROJECT AS PROPOSED AND SHOWN ON THE PETITIONER'S WAIVER PETITION PLAN EXHIBIT "E".

WAS APPROVED ON JUNE 19, 2007 TO WAIVE SECTION 16,146 AND TO ALLOW FOR THE RECONFIGURATION OF EXISITING COMMERCIAL PARCELS (ONE OF WHICH IS THIS PARCEL C-18) EXPANDING INTO A PORTION OF THE WESTSIDE DISTRICT (FORMERLY WESSEL PROPERTY) ON A RESUBIDIVISION PLAT PRIOR TO PRELIMINARY PLAN APPROVAL.

WAS APPROVED ON JULY 3, 2012 TO WAIVE SECTIONS 16.144(a) \$ 16.144(f) WHICH REQUIRES A SKETCH PLAN AND PRELIMINARY PLAN APPROVAL AS PART OF THE SUBDIVISION PROCESS. THE APPROVAL WAS GRANTED BASED ON THE FOLLOWING:

- I. NO PUBLIC INFRASTRUCTURE IS REQUIRED AS PART OF THE
- 2. STORMWATER MANAGEMENT FOR THIS DEVELOPMENT IS PRIVATE AND

# N 539,000 T = TRANSIT STOP/BUS SHELTER LOCATION PLAN

SITE DEVELOPMENT PLAN

MAPLE LAWN FARMS

Business District - Area 2

Parcel 'C-33' (OFFICE BUILDING No. 9)

C-32

PARCEL

C-33

PARCEL

C-34

APRIL 2, 2002, ALLOWING THE FOLLOWING:

I. DEVELOPMENT WITHIN A 100 YEAR FLOODPLAIN, AND

- PORTION OF PARCEL C-2
- ARE SUBJECT TO OBTAINING ALL NECESSARY WATER QUALITY CERTIFICATES NATURAL RESOURCES AND THE U.S. ARMY CORPS OF ENGINEERS, AND PRIOR APPROVED PERMITS, CERTIFICATES OR TRACKING NUMBERS ON ALL FUTURE

- HAS ALREADY BEEN CONSTRUCTED.

GRAPHIC SCALE

MAXIMUM BUILDING HEIGHT SHALL BE LIMITED TO 120' UNLESS APPROVED TO BE GREATER ON A SITE DEVELOPMENT PLAN BY THE COMMERCIAL BUILDINGS AT THE CORNER OF JOHNS HOPKING ROAD AND MAPLE LAWN BOULEVARD SHALL NOT EXCEED THREE

COMMERCIAL BUILDINGS EAST OF MAPLE LAWN BOULEVARD AT THE FOCAL POINT SHALL NOT EXCEED FOUR STORIES.
 COMMERCIAL BUILDINGS IN THE BUSINESS DISTRICT WITHIN 300 FEET OF MD ROUTE 216 SHALL NOT EXCEED ONE STORY.

 COMMERCIAL BUILDINGS IN THE BUSINESS DISTRICT LOCATED BETWEEN 300 FEET AND 500 FEET FROM MD ROUTE 216 SHALL NOT COMMERCIAL BUILDINGS IN THE BUSINESS DISTRICT BEYOND 500 FEET FROM MD ROUTE 216 SHALL NOT EXCEED EIGHT STORIES

 COMMERCIAL BUILDINGS IN THE MESTSIDE DISTRICT WITHIN 300 FEET OF MD ROUTE 216 SHALL NOT EXCEED TWO STORIES. · COMMERCIAL BUILDINGS IN THE WESTSIDE DISTRICT BEYOND 300 FEET FROM MD ROUTE 216 SHALL NOT EXCEED FOUR STORIES ABOVE THE HIGHEST AD JOINING GRADE

N 541,600

EMPLOYMENT USES PERMITTED ONLY WITHIN M-I ZONING DISTRICT SHALL NOT BE PERMITTED. ALL USES PERMITTED AS A MATTER OF RIGHT IN THE POR B-I AND M-I DISTRICTS, AS PER PETITIONER'S PDP EXHIBIT 78, WITHOUT REGARD TO ANY LIMITATIONS OR RESTRICTIONS ON RETAIL OR PERSONAL SERVICE USES OTHERWISE PERMITTED IN SUCH DISTRICTS; FAST FOOD, CONVENIENCE (EXCLUDING STAND-ALONE COMMUNICATION TOWERS), GROUP CARE FACILITIES, HOUSING FOR THE ELDERLY AND/OR HANDICAPPED PERSONS, NURSING HOMES AND SHELTERED HOUSING. PARCEL A-2 MAY CONTAIN LIVE-WORK UNITS AS DEFINED IN THE OTHER RESIDENTIAL (OR) SECTION. ACCESSORY STRUCTURES AND ACCESSORY USES ARE ALSO PERMITTED.

THE FOLLOWING ADDITIONAL USES NOT REFERRED TO OR INCLUDED IN THE ABOVE USES, WHICH ARE ALLOWED BY SPECIAL AND ARE SPECIFICALLY APPROVED BY THE PLANNING BOARD ON THIS AMENDED COMPREHENSIVE SKETCH PLAN, PROVIDED, HOWEVER, THAT QUARRIES, TEMPORARY WRECKED VEHICLE STORAGE AND YARD WASTE SHALL NOT BE ALLOWED. PUBLIC SCHOOL BUILDINGS-TEMPORARY CONVERSION TO OTHER USES

 THEATERS, MOVIE PUBLIC UTILITY USES, LIMITED TO THE FOLLOWING: UTILITY SUBSTATIONS, ABOVE GROUND PIPELINES, PUMPING STATIONS, TELEPHONE STATIONS, AND TELEPHONE EXCHANGES, BUT NO STAND-ALONE COMMERCIAL COMMUNICATIONS TOWERS.

. NO MORE THAN 15% OF THE TOTAL EMPLOYMENT LAND USE AREA MAY BE DEVOTED TO WAREHOUSE AND LIGHT MANUFACTURING

· A MAXIMUM OF ONE GASOLINE SERVICE STATION IS PERMITTED. THE GASOLINE SERVICE STATION MAY INCLUDE A CAR WASH, CAR REPAIR EACH ITIES, AND/OR CONVENIENCE STORE FOOD. NO SINGLE RETAIL CENTER SHALL CONTAIN MORE THAN ISO,000 SQUARE FEET OF GROSS FLOOR AREA DESIGNATED FOR USE BY

RETAIL AND PERSONAL SERVICE BUSINESSES. DESIGNATED RETAIL CENTERS MAY INCLUDE RETAIL STORES, PERSONAL SERVICE ESTABLISHMENTS, AND SIMILAR USES, AS WELL AS FAST FOOD RESTAURANTS AND A GASOLINE SERVICE STATION; HOWEVER FOR ALL RETAIL CENTERS THE TOTAL SQUARE FOOT AREA WHICH MAY BE USED FOR RETAIL AND PERSONAL SERVICE BUSINESS. SHALL NOT EXCEED 181590 (300 SQUARE FEET PER GROSS ACRE). NO INDIVIDUAL RETAIL ESTABLISHMENT WITHIN THE MXD-3 OTHER ALLOWED USES, SUCH AS RESTAURANTS AND A GASOLINE SERVICE STATION MAY ALSO BE LOCATED WITHIN OTHER DESIGNATED EMPLOYMENT AREAS OUTSIDE OF A RETAIL CENTER

SECTION 128.6 SHALL APPLY TO EMPLOYMENT LAND USE AREAS.

THEATERS, LEGITIMATE AND DINNER

<u>COVERAGE</u>
NO COVERAGE REQUIREMENT IS IMPOSED IN EMPLOYMENT LAND USE AREAS.

FLOOR AREA RATIO (FAR)
OVERALL LIMIT IS 0.35 CALCULATED ON THE TOTAL ACREAGE FOR ALL EMPLOYMENT LAND USE AREAS.

- SETBACKS (ALSO SEE "PROJECT BOUNDARY SETBACKS") THE MINIMUM SETBACK FOR EMPLOYMENT/COMMERCIAL STRUCTURES SHALL BE AS FOLLOWS:
- . 10' FROM THE RIGHT-OF-WAY OF MAPLE LAWN BOULEVARD . NO SETBACK IS REQUIRED FROM THE RIGHT-OF-WAY OF ANY INTERNAL PUBLIC OR PRIVATE ROADS OTHER THAN FOR MAPLE LAWN BOULEVARD AS NOTED ABOVE

# SITE ANALYSIS DATA

- ZONING: MXD-3.
- 2. GROSS AREA OF PARCEL C-33 = 172,926 SF = 3,97 AC
- 3. LIMIT OF DISTURBED AREA = 8.0 AC, (LIMIT OF PLAN SUBMISSION)

4 PROPOSED USE: OFFICE BUILDING (OTHER USES MAY INCLUDE: FIRST FLOOR RETAIL, RESTAURANTS, PERSONAL SERVICE

5. BUILDING COVERAGE (% OF GROSS SITE AREA):

OFFICE BUILDING-9: 25.624 S.F. or 0.59 AC. = 14.8% OF PARCEL C-33 (3.97 AC.)

6. FLOOR AREA RATIO (F.A.R.) CALCULATIONS:

|                        | BLDG. #4 (C-33)         |
|------------------------|-------------------------|
| FLOOR I                | 25,624 S. F.            |
| FLOOR 2                | 25,548 S. F.            |
| FLOORS 3 AND 4         | 25,546 S. F.            |
| ROOF TOWER (3)         | NONE                    |
| TOTAL GROSS FLOOR AREA | 102,264 S. F. (2.35 ac) |
| PARCEL AREA            | 3,97 ac                 |
| FAR.                   | 0.59                    |

T PARKING CALCULATIONS

|  | RENTABLE FLOOR AREA | ASSUMED USE    | PARKING RATE      | PARKING REQUIRED |
|--|---------------------|----------------|-------------------|------------------|
| FIRST FLOOR                            | 23,062 5.F.         | NON-OFFICE (2) | 5.0 PER 1000 S.F  | 116              |
| SECOND FLOOR                           | 22,993 S.F.         | GENERAL OFFICE | 3.3 PER 1000 S.F. | 76               |
| THIRD FLOOR                            | 22,991 S.F.         | GENERAL OFFICE | 3.3 PER 1000 S.F. | 76               |
| FOURTH FLOOR                           | 22,991 S.F.         | GENERAL OFFICE | 3,3 PER 1000 S.F. | 16               |
| ROOF TOWER (3)                         | WA                  | N/A            | NA                | N/A              |
| ************************************** |                     |                | PARKING REQUIRED  | 344              |
|  |                     | <del></del>    | PARKING PROVIDED  | 346 SPACES       |

ESTABLISHMENTS, AND OTHER USES AS ALLOWED BY THE COMPREHENSIVE SKETCH PLAN)

(1) AS DEFINED BY BOMA (BUILDING OWNERS AND MANAGER'S ASSOCIATION) GUIDELINES. (2) "NON-OFFICE HAS BEEN SHOWN AS THE ASSUMED USE FOR ILLUSTRATIVE PURPOSES ONLY. THE 5 SPACES PER 1000 S.F. COVERS ALL NON-OFFICE USES WITHIN THE OFFICE BUILDING THAT ARE PERMITTED ON THE FIRST FLOOR INCLUDING RETAIL. RESTAURANTS, AND PERSONAL SERVICE ESTABLISHMENTS, AND MEDICAL OFFICES. WE HAVE PROVIDED THE PARKING

TABULATION FOR THE MOST DEMANDING USE TO DEMONSTRATE THAT THE PARKING PROVIDED WILL BE ADEQUATE FOR ANY ANTICIPATED USES, INCLUDING GENERAL OFFICE. ) THE ROOF TOWER IS NOT BEING COUNTED TOWARDS THE F.A.R. OR THE PARKING REQUIREMENTS.

(A) THE TWO GURPLUS PARKING SPACES FROM THESE PARKING CALCULATIONS ARE TO BE APPLIED TO THE PARKING REQUIREMENTS FOR OFFICE BUILDING 10 ON PARCEL C-32, SDP 16-011.

DC MAP 5052 VICINITY MAP SCALE: 1" = 2000'

ELEV. = 472.16 N = 539,925.13 E=1,337,205.77STANDARD DISC ON CONCRETE MONUMENT

ELEV. = 431.17 N = 538,656.76 E=1,339,461.55

| ONC | RETE MONUMENT S | TANDARD DISC ON CONCRETE |
|-----|-----------------|--------------------------|
|     |                 |                          |
|     | RETAIL          | and SERVICE              |
|     | TRACI           | KING CHART               |
|     | FILE No.        | AREA of RETAIL (s.f.)    |
|     | SDP-04-096      | 10,941                   |
|     | SDP-05-008      | 9,312                    |
|     | SDP-05-036      | 0                        |
|     | SDP-05-047      | 0                        |
|     | SDP-06-067      | 0                        |
|     | SDP-06-148      | 0                        |
|     | SDP-07-002      | 14,918                   |
|     | *SDP-08-056     | 49,815                   |
|     | *SDP-08-058     | 0                        |
|     | *SDP-08-114     | 37,318                   |
|     | SDP-09-060      | 0                        |
|     | SDP-10-002      | 0                        |
|     | SDP-10-067      | 25,072                   |
|     | SDP-12-059      | 0                        |
|     | SDP-14-007      | 0                        |
|     | SDP-16-011      | 0                        |
|     | SDP-16-007      | 0                        |
|     | SDP-16-048      | 0                        |
|     | TOTAL           | 147,376                  |

A TOTAL OF 1523TO S.F. OF RETAIL IS ALLOWED IN

137,933

34,895

24,088

# COMMERCIAL DEVELOPMENT DESIGN CRITERIA PER S-06-16

<u>PARCEL SIZE</u> NO MINIMUM OR MAXIMUM PARCEL SIZES APPLY IN THE EMPLOYMENT LAND USE AREAS.

HOWARD COUNTY PLANNING BOARD. ADDITIONALLY, THE FOLLOWING SHALL APPLY

<u>PERMITTED USES</u>
THE FOLLOWING USES ARE PERMITTED IN EMPLOYMENT LAND USE AREAS:

STORES, COUNTRY CLUBS AND GOLF COURSES, MOVIE THEATERS, LEGITIMATE THEATERS AND DINNER THEATERS, PUBLIC UTILITY USES

EXCEPTION IN THE POR, B-I AND M-I DISTRICTS, WILL BE PERMITTED AS A MATTER OF RIGHT IN THE EMPLOYMENT LAND USE AREAS,

THE FOLLOWING USE RESTRICTIONS ALSO APPLY:

CEMETERIES MAUSOLEUMS & CREMATORIUMS ARE NOT PERMITTED

TRICT SHALL HAVE A GROSS FLOOR AREA GREATER THAN 65,000 SQUARE FEET. RETAIL AND PERSONAL SERVICES AND

• 50' FROM THE BOUNDARY LINE ALONG JOHNS HOPKINS ROAD OR ROUTE 216

ROADWAY)

OTHER INDUSTRIAL

• 15' TO PUBLIC RIGHT-OF-WAY OF MAPLE LAWN BOULEVARD (EXCEPT FOR PARALLEL PARKING ADJACENT TO

· IO' TO ANY OTHER PROPERTY OR BOUNDARY LINE (EXCEPT FOR PARALLEL PARKING ADJACENT TO ROADWAY, OR WHERE A PARCEL LINE LIES WITHIN A USE-IN-COMMON PARKING AREA SERVING MULTIPLE

• 20' TO PROJECT BOUNDARY LINE ALONG JOHNS HOPKINS OR ROUTE 216 :XCEPTIONS TO SETBACK REQUIREMENTS STRUCTURES MAY BE LOCATED ANYWHERE WITHIN SETBACK AREAS IN ACCORDANCE WITH A SITE DEVELOPMENT PLAN APPROVED BY THE HOWARD COUNTY PLANNING BOARD.

EXCEPT FOR THE FOLLOWING, SECTION 128.A.I APPLIES: BAY WINDOWS, EAVES, FRENCH BALCONIES, PORTICOS, CORNICES, AWNINGS, SIGNS. AND SIMILAR

ARCHITECTURAL ELEMENTS MAY ENCROACH FULLY INTO ANY SETBACK. ARCADES MAY ENCROACH INTO ANY SETBACK TO WITHIN I' OF THE PROPERTY LINE WHERE SICH ARCADES ARE PROPOSED THE FRONT FACADE MAY ALIGN VERTICALLY WITH THE FRONT OF THE ARCADE THEREBY REDUCING THE REQUIRED FRONT SETBACK ACCORDINGLY, AN ARCADE IS AN ARCHED BUILDING, OR PORTION OF A BUILDING, OR GALLERY OFTEN COVERED WITH A ROOF STRUCTURE OR

MINIMUM OF FIVE PARKING SPACES SHALL BE PROVIDED FOR EACH 1,000 SQUARE FEET OF NET LEASABLE AREA DEVOTED TO COMMERCIAL RETAIL SALES USES A MINIMUM OF 3.3 PARKING SPACES SHALL BE PROVIDED FOR EACH 1,000 SQUARE FEET OF NET

BUILDING SUPPORTED BY A SERIES OF ARCHES AND/OR COLUMNS ON PIERS.

LEAGABLE AREA THAT IS DEVOTED TO OFFICE OR RESEARCH AND DEVELOPMENT USES. NO PARKING REQUIREMENT IS IMPOSED UPON ANY RESTAURANT, COFFEE SHOP OR SIMILAR FACILITY CONSTRUCTED WITHIN BUILDINGS WHICH PRIMARILY SERVES TENANTS AND EMPLOYEES OF SUCH BUILDINGS OR NEIGHBORING BUILDINGS ACCESSIBLE BY PEDESTRIANS. ONE PARKING SPACE SHALL BE PROVIDED FOR EACH BEDROOM CONTAINED WITHIN ANY HOTEL, INN OR MILAR FACILITY AND ONE PARKING SPACE SHALL BE PROVIDED FOR EACH FIVE EMPLOYEES OF SUCH

ONE PARKING SPACE SHALL BE PROVIDED FOR EACH THREE SEATS WITHIN ANY RESTAURANT, COFFEE CHOP OR SIMILAR FACILITY CONSTRUCTED WITHIN A HOTEL, INN OR SIMILAR FACILITY OR AS A FREESTANDING STRUCTURE AND ONE PARKING SPACE SHALL BE PROVIDED FOR EACH FIVE EMPLOYEES OF ANY SUCH FACILITY. ONE PARKING SPACE SHALL BE PROVIDED FOR EACH TWO BEDS IN ANY HOSPITAL OR CLINIC; ONE

PARKING SPACE SHALL BE PROVIDED FOR EACH EMPLOYEE ON A MAJOR SHIFT; AND EIGHT PARKING SPACES SHALL BE PROVIDED FOR EACH DOCTOR TREATING OUTPATIENTS ON A MAJOR SHIFT. INDUSTRIAL USES: WAREHOUSE 0.5 SPACES PER LOOD SQUARE FEET OF NET LEASABLE AREA 'FLEX' SPACE (INDUSTRIAL/OFFICE) 2.5 SPACES PER 1,000 SQUARE FEET OF NET LEASABLE AREA

RECREATIONAL USES 10.0 SPACES PER 1,000 SQUARE FEET OF NET LEASABLE AREA I.O SPACE PER SEVEN PERSONS PERMITTED IN THE POOL AT ONE TIME SWIMMING POOL, COMMUNITY BY THE DEPT, OF HEALTH TENNIS COURT 2.0 SPACES PER COURT

BUILDING STORAGE AREAS, EQUIPMENT AND MECHANICAL ROOMS/AREAS, LOCKER AND SHOWER FACILITIES, ENTRANCE FOYERS/ATRIA, AND SIMILAR AREAS. REQUIRED MINIMUM PARKING FOR ALL SUCH COMMERCIAL AND EMPLOYMENT USES SHALL BE MET OFF-STREET, ADDITIONAL PARKING MAY BE ACCOMMODATED ON-STREET, IN PARALLEL PARKING WITHIN PUBLIC ROAD RIGHTS-OF-WAY, PARALLEL SPACES LOCATED ON PAVED AREAS ADJACENT TO PUBLICLY MAINTAINED

"NET LEASEABLE AREA" IS DEFINED AS 90% OF THE GROSS FLOOR AREA (AFTER DEDUCTING ANY

FLOORS DEVOTED TO STORAGE AND COMMON USES), UNLESS A MORE PRECISE VALUE IS DETERMINED BY

REDUCING THE GROSS FLOOR AREA BY AREAS DEVOTED TO PARKING, VEHICULAR CIRCULATION, OFFICE

REDUCTIONS IN PARKING REQUIREMENTS ARE PERMITTED PURSUANT TO THE HOWARD COUNTY ZONING REGULATIONS SECTIONS 133,D.8 (PARKING STUDIES), 133.E.1 (SHARED PARKING) AND 133.E.2 (TRIP REDUCTION

ROADWAYS OR ORIENTED DIAGONALLY OR AT RIGHT ANGLES TO SUCH ROADWAYS, IN AND/OR OUT OF THE

**BENCHMARKS** 

ACCORDANCE WITH 5-01-17, OR A TOTAL OF 181,590 S.F. OF RETAIL UNDER 5-06-16.

3.17

Westside | 0.80

# FLOOR AREA RATIO (F.A.R.) TRACKING CHART

Area (s.f.) District SDP-04-44 (Office Bldg-1) 4.40 191,550 93,945

SDP-05-08 (Retail Bldg-2 and Gas Station) 3.20 22,218 139,520 SDP-05-36 (Office Bldg-2, Par. C-24) 3.99 173,818 93,945 Business 123,740 SDP-05-47 (Office Bidg-3, Par. C-21 and Bank, Par. C-22) 5.58 243,230 Business SDP-06-67 (Office Bldg-4, Par. C-23) 3.49 152,117 100,288 Business SDP-06-148 (Medical and 3 Office Buildings) 8.54 121,620 7.36 320,659 iDP-07-02 (Bank, School, Retail & Restaurant) Midtown SDP-08-56 (Harris Teeter Grocery Store, Par. B6) Westside | 4.24 184,615 49,815

SDP--04-96 (Retail Bldg-1 and Bank)

DP-08-058 (Bank, Parcel B-11)

5DP-08-114 (Parcels B-7 thru B-10 and B-22 & B-26) Westside 6.51 283,685 58,574 5DP-09-060 (Parcels B-12 thru B-17) 836,286 Westside | 19.20 210,100 SDP-10-002 (Office Bldg-2A, Par. C-25) 1.54 66,954 34,375 Business SDP-10-067 (Parcels 8-18 thru 8-21) Westside 5.40 235.402 52,531 SDP-12-059 (Office-6, Parcel C-28) 139,421 6.00 261,261 Business DP-14-007 (Office-8, Parcel C-29) 130,629 5.73 249,400 Business DP-16-011 (Building 10, Parcel C-32) 4.35 189 537 104,412 Business

DP-16-048 (Building 9, Parcel C-33) - THIS SDP 102.263 SUB-TOTAL 97.47 4,245,738 1,512,861 0.3 13.60 592,416 ad R/W (Employment) 111.07 4,838,154 1,512,861 6.3 SUB-TOTAL TOTAL REMAINING EMPLOYMENT AREA (acres) OTAL AREA TO BE RECORDED AS EMPLOYMENT (acres) 122.00 5.314.320 1.860.012 0.35

| A 2                           |               | *** * ********            | AA ' A ' V A ' A ' A ' A ' A ' A ' A ' A | ATION CHART   |         |
|-------------------------------|---------------|---------------------------|--|---|---------|
| BUILDING ADDRESS:             | 8120 MAP      | LE LAWN BOULE             | EVARD (Buildin                           | g No. 9)  |         |
| SUBDIVISION NAME:             |               | SECTION/                  | AREA                                     | makayari kayani iku badi anangan bilah anang bamining kabaning kapaning pinangan pinangan angan bilang di | PARCELS |
| MAPLE LAWN FARMS              |               | BUSINESS D                | ISTRICT-area                             | 2   | C-33    |
| PLAT Nos.<br>23990 TRU 23882. | ZONE<br>MXD-3 | TAX MAP BLOCK ELEC. DIST. |  | CENSUS TRAC   |         |
| WATER CODE:                   |               | SEWER CO                  | DDE:                                     |   |         |
| E2I                           |               | 7695000                   | 1  |   |         |

GLWGUTSCHICK LITTLE &WEBER, P.A

8.19.16

CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS 3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK BURTONSVILLE MARYLAND 20866 TEL: 301-421-4024 BALT: 410-880-1820 DC/VA: 301-989-2524 FAX: 301-421-4186 \CADD\DRAWNGS\96079\15119\PLANS BY Q.W\SDP\15119 SHEET OI\_CS.dwg | DES. LAG | DRN. LAG

-12-18 Added Parking Note 9+ LAG REVISION

STREET LIGHT NOTES

MANAGER SHALL CONTACT HOWARD

COORDINATE THE INSTALLATION OF

TRAFFIC TO DISCUSS THE HAND BOX

INSTALLATION AND THE INSTALLATION

OF THE PAVERS/CONCRETE SIDEWALK

AROUND THE EXISTING STREET LIGHTS.

DONE TO THE EXISTING STREET LIGHTS

3. A BGE "C-ORDER" WILL BE REQUIRED

RESPONSIBLE FOR ANY DAMAGE

HOWARD COUNTY TRAFFIC TO

DURING CONSTRUCTION, CONTACT

MAKING THE DEVELOPER

ARRANGE

TO BE SIGNED BY THE DEVELOPER,

STREET LIGHT HAND BOXES/CONDUITS

COUNTY TRAFFIC (410-313-5752) TO

FOR THE EXISTING STREET LIGHTS

2. A FIELD MEETING WILL BE NEEDED

WITH BGE AND HOWARD COUNTY

. THE DEVELOPER/CONSTRUCTION

PREPARED FOR:

C.C. STATUTORY TRUST 1829 REISTERSTOWN ROAD | BALTIMORE, MD 21244 BALTIMORE, MD-21208 PH. 410-484-8400 ATTN .: MARK BENNETT

IO' FROM ANY OTHER PROPERTY LINE

ST. JOHN PROPERTIES 2560 LORD BALTIMORE DR. PH. 410-788-0100 ATTN.: KAREN WATSIC

HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 12979 EXPIRATION DATE: May 14

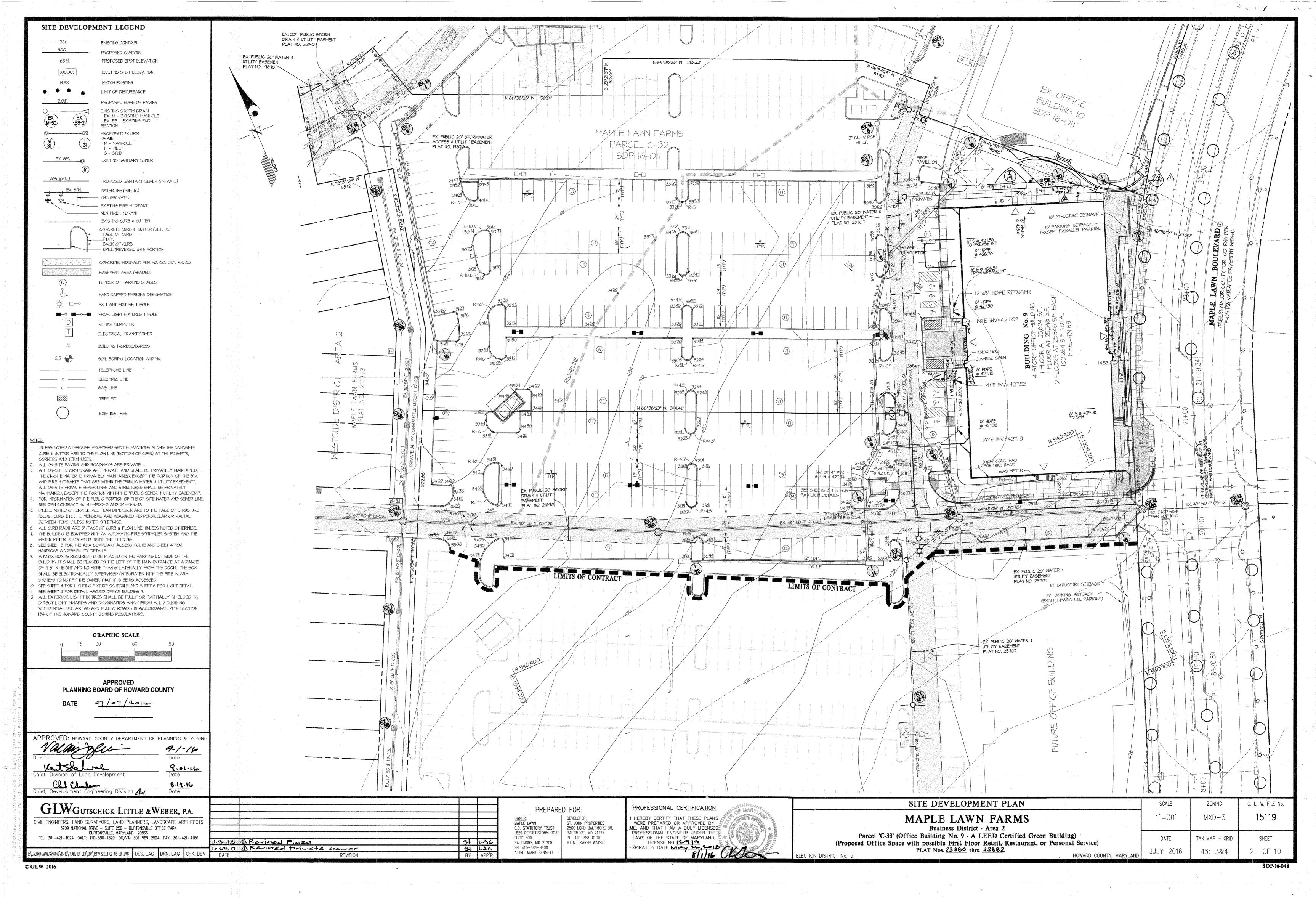
PROFESSIONAL CERTIFICATION

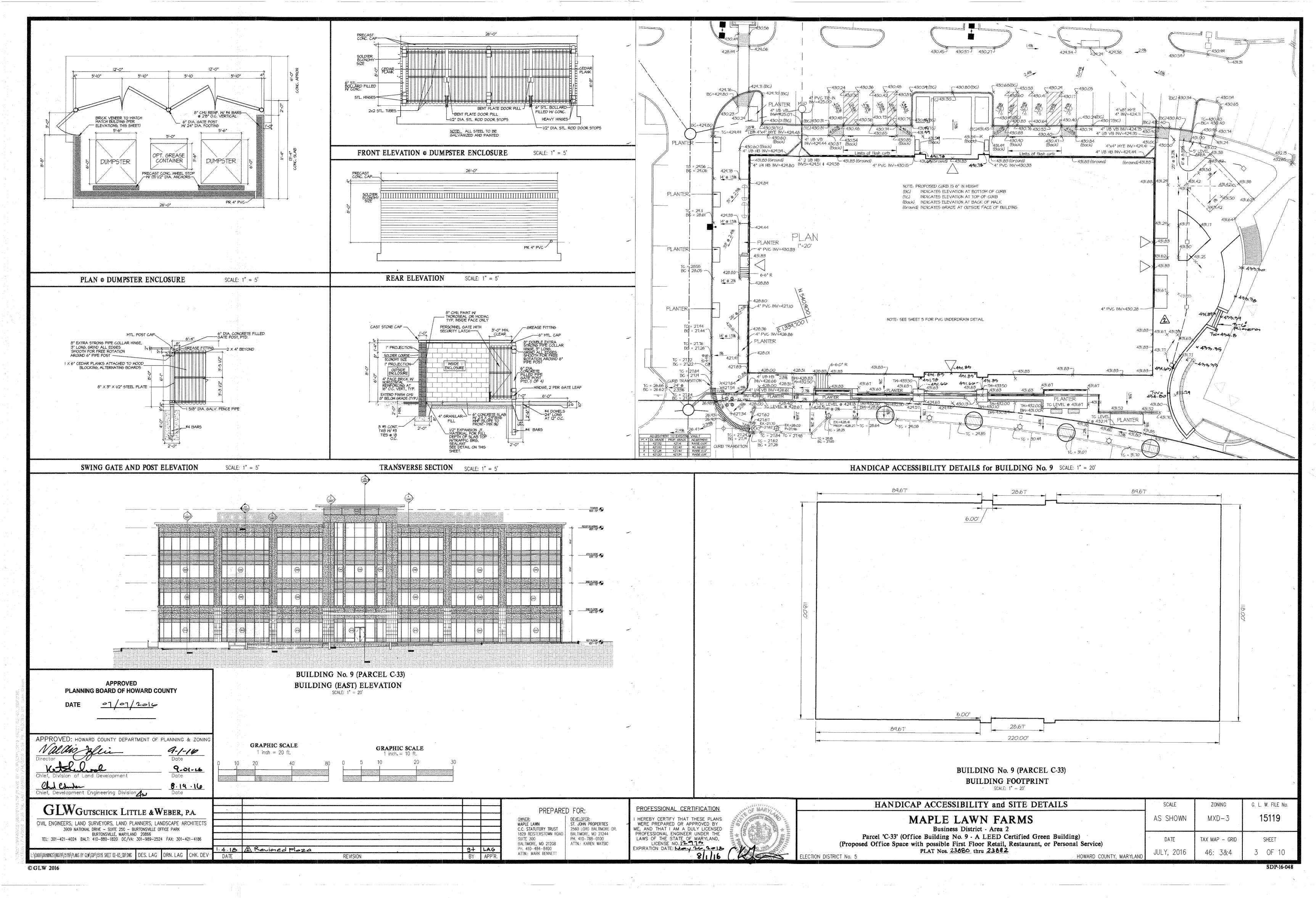
# **COVER SHEET** MAPLE LAWN FARMS

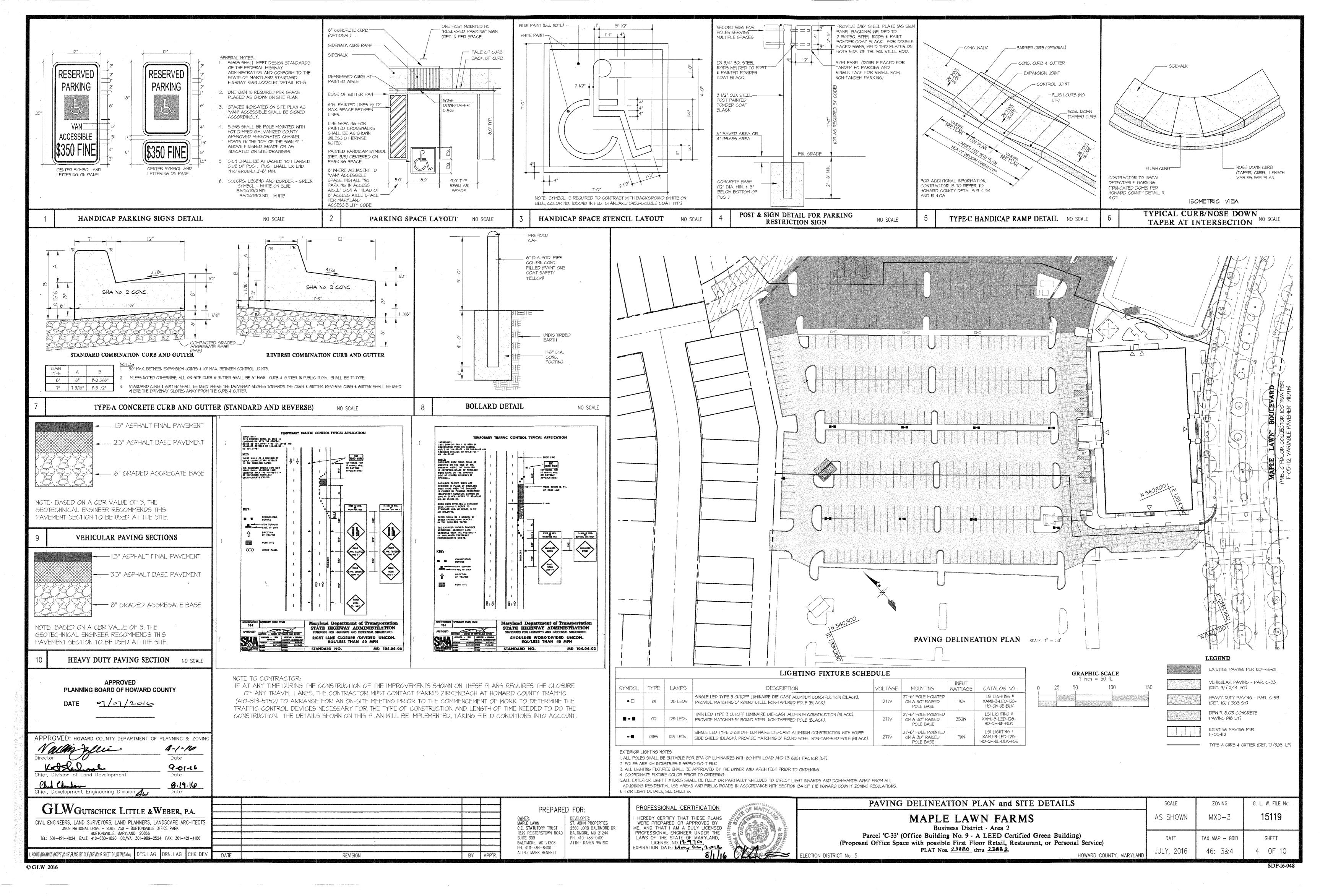
2.0 SPACES PER 1,000 SQUARE FEET OF NET LEASABLE AREA

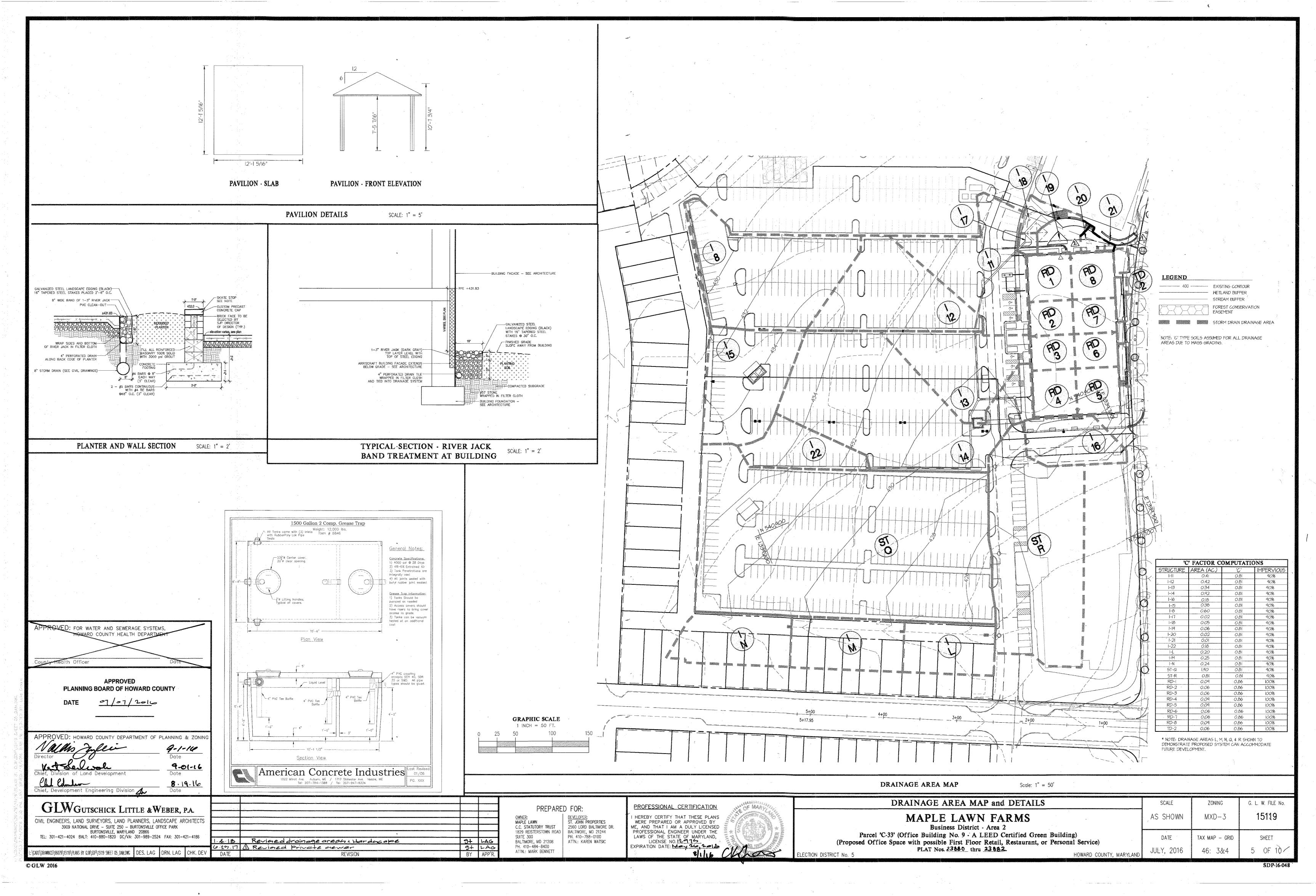
Business District - Area 2 Parcel 'C-33' (Office Building No. 9 - A LEED Certified Green Building) (Proposed Office Space with possible First Floor Retail, Restaurant, or Personal Service) PLAT Nos. 23880 thru 23882 ELECTION DISTRICT No. 5 HOWARD COUNTY, MARYLAND

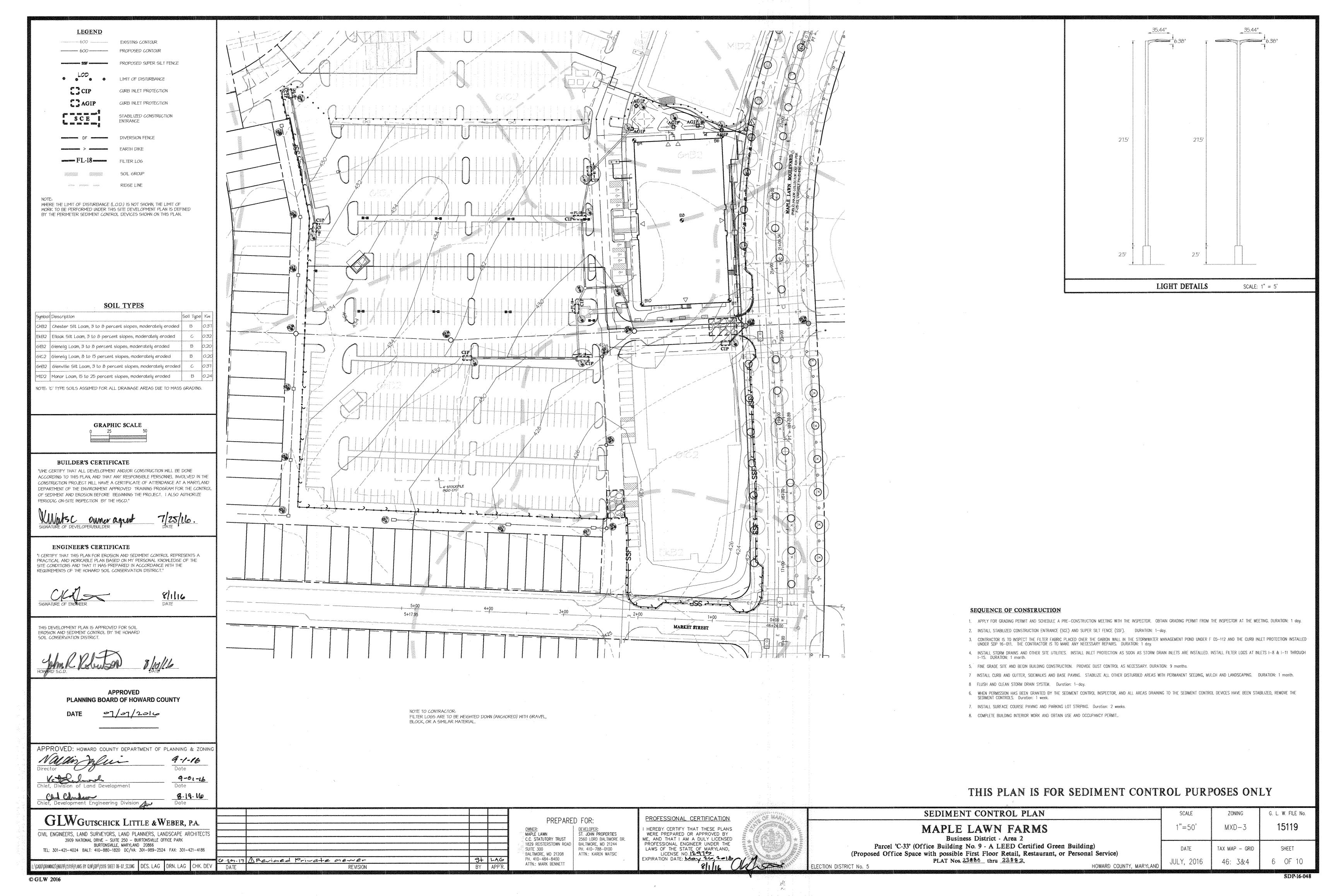
SCALE G. L. W. FILE No. ZONING AS SHOWN MXD-3SHEET TAX MAP - GRID OF 10 46: 3&4











B-4-2 STANDARD AND SPECIFICATIONS FOR SOIL PREPARATION, TOPSOILING, AND SOIL AMENDMENTS <u>DEFINITION</u>

THE PROCESS OF PREPARING THE SOILS TO SUSTAIN ADEQUATE VEGETATIVE STABILIZATION.

TO PROVIDE A SUITABLE SOIL MEDIUM FOR VEGETATIVE GROWTH. CONDITIONS WHERE PRACTICE APPLIES WHERE VEGETATIVE STABILIZATION IS TO BE ESTABLISHED.

## A. SOIL PREPARATION

1. TEMPORARY STABILIZATION

. SEEDBED PREPARATION CONSISTS OF LOOSENING SOIL TO A DEPTH OF 3 TO 5 INCHES BY MEANS OF SÜITABLE AGRICULTURAL OR CONSTRUCTION EQUIPMENTS SUCH AS DISC HARROWS OR CHISEL PLOWS O RIPPERS MOUNTED ON CONSTRUCTION EQUIPMENT. AFTER THE SOIL IS LOOSENED, IT MUST NOT BE ROLLED OR DRAGGED SMOOTH BUT LEFT IN THE ROUGHENED CONDITION. SLOPES 3:1 OR FLATTER ARE O BE TRACKED WITH RIDGES RUNNING PARALLEL TO THE CONTOUR OF THE SLOPE.

. APPLY FERTILIZER AND LIME AS PRESCRIBED ON THE PLANS. INCORPORATE LIME AND FERTILIZER INTO THE TOP 3 TO 5 INCHES OF SOIL BY DISKING OR OTHER

### 2. PERMANENT STABILIZATION

a. A SOIL TEST IS REQUIRED FOR ANY EARTH DISTURBANCE OF 5 ACRES OR MORE. THE MINIMUM SOIL CONDITIONS REQUIRED FOR PERMANENT VEGETATIVE ESTABLISHMENT ARE: I. SOIL PH BETWEEN 6.0 AND 7.0.

### II. SOLUBLE SALTS LESS THAN 500 PARTS PER MILLION (PPM).

III.: SOIL CONTAINS LESS THAN 40 PERCENT CLAY BUT ENOUGH FINE GRAINED MATERIAL (GREATER THAN 30 PERCENT SILT PLUS CLAY) TO PROVIDE THE CAPACITY TO HOLD A MODERATE AMOUNT OF MOISTURE. AN EXCEPTION: IF LOVEGRASS WILL BE PLANTED, THEN A SANDY SOIL (LESS THAN 30 PERCENT SILT PLUS CLAY) WOULD BE ACCEPTABLE.

### IV. SOIL CONTAINS 1.5 PERCENT MINIMUM ORGANIC MATTER BY WEIGHT.

V. SOIL CONTAINS SUFFICIENT PORE SPACE TO PERMIT ADEQUATE ROOT PENETRATION.

. APPLICATION OF AMENDMENTS OR TOPSOIL IS REQUIRED IF ON-SITE SOILS DO NOT MEET THE ABOVE

: GRADED AREAS MUST BE MAINTAINED IN A TRUE AND EVEN GRADE AS SPECIFIED ON THE APPROVED PLAN, THEN SCARIFIED OR OTHERWISE LOOSENED TO A DEPTH OF 3 TO 5 INCHES. APPLY SOIL AMENDMENTS AS SPECIFIED ON THE APPROVED PLAN OR AS INDICATED BY THE RESULTS

MIX SOIL AMENDMENTS INTO THE TOP 3 TO 5 INCHES OF SOIL BY DISKING OR OTHER SHITARLE MEANS. RAKÉ LAWN AREAS TO SMOOTH THE SURFACE. REMOVE LARGE OBJECTS LIKE STONES AND BRANCHES. AND READY THE AREA FOR SEED APPLICATION, LOOSEN SURFACE SOIL BY DRAGGING WITH A HEAVY CHAIN OR OTHER EQUIPMENT TO ROUGHEN THE SURFACE WHERE SITE CONDITIONS WILL NOT PERMIT NORMAL SEEDBED PREPARATION. TRACK SLOPES 3:1 OR FLATTER WITH TRACKED EQUIPMENT LEAVING THE SOIL IN AN IRREGULAR CONDITION WITH RIDGES RUNNING PARALLEL TO THE CONTOUR OF SLOPE, LEAVE THE TOP 1 TO 3 INCHES OF SOIL LOOSE AND FRIABLE, SEEDBED LOOSENING MAY BI UNNECESSARY ON NEWLY DISTURBED AREAS.

TOPSOIL IS PLACED OVER PREPARED SUBSOIL PRIOR TO ESTABLISHMENT OF PERMANENT VEGETATION. THE PURPOSE IS TO PROVIDE A SUITABLE SOIL MEDIUM FOR VEGETATIVE GROWTH. SOILS OF CONCERN HAVE LOW MOISTURE CONTENT, LOW NUTRIENT LEVELS, LOW PH, MATERIALS TOXIC TO PLANTS, AND/OR

TOPSOIL SALVAGED FROM AN EXISTING SITE MAY BE USED PROVIDED IT MEETS THE STANDARDS AS SET FORTH IN THESE SPECIFICATIONS. TYPICALLY, THE DEPTH OF TOPSOIL TO BE SALVAGED FOR A GIVEN TYPE CAN BE FOUND IN THE REPRESENTATIVE SOIL PROFILE SECTION IN THE SOIL SURVEY

3. TOPSOILING IS LIMITED TO AREAS HAVING 2:1 OR FLATTER SLOPES WHERE:

o. THE TEXTURE OF THE EXPOSED SUBSOIL/PARENT MATERIAL IS NOT ADEQUATE TO PRODUCE VEGETATIVE . THE SOIL MATERIAL IS SO SHALLOW THAT THE ROOTING ZONE IS NOT DEEP ENOUGH TO SUPPORT PLANTS OR FURNISH CONTINUING SUPPLIES OF MOISTURE AND PLANT NUTRIENTS.

THE ORIGINAL SOIL TO BE VEGETATED CONTAINS MATERIAL TOXIC 1 THE SOIL IS SO ACIDIC THAT TREATMENT WITH LIMESTONE IS NOT FEASIBLE.

4. AREAS HAVING SLOPES STEEPER THAN 2:1 REQUIRE SPECIAL CONSIDERATION AND DESIGN. TOPSOIL SPECIFICATIONS: SOIL TO BE USED AS TOPSOIL MUST MEET THE FOLLOWING CRITERIA:

. TOPSOIL MUST BE A LOAM, SANDY LOAM, CLAY LOAM, SILT LOAM, SANDY CLAY LOAM, OR LOAMY SAN OTHER SOILS MAY BE USED IF RECOMMENDED BY AN AGRONOMIST OR SOIL SCIENTIST AND APPROVED BY THE APPROPRIATE APPROVAL AUTHORITY. TOPSOIL MUST NOT BE A MIXTURE OF CONTRASTING TEXTURED SUBSOILS AND MUST CONTAIN LESS THAN 5 PERCENT BY VOLUME OF CINDERS, STONES, COARSE FRAGMENTS, GRAVEL, STICKS, ROOTS, TRASH, OR OTHER MATERIALS LARGER THAN 1.5

b. TOPSOIL MUST BE FREE OF NOXIOUS PLANTS OR PLANT PARTS SUCH AS BERMUDA GRASS, QUACK GRASS, JOHNSON GRASS, NUT SEDGE, POISON IVY, THISTLE, OR OTHERS AS SPECIFIED.

TOPSOIL SUBSTITUTES OR AMENDMENTS, AS RECOMMENDED BY A QUALIFIED AGRONOMIST OR SOIL SCIENTIST AND APPROVED BY THE APPROPRIATE APPROVAL AUTHORITY, MAY BE USED IN LIEU OF

# 5. TOPSOIL APPLICATION

. EROSION AND SEDIMENT CONTROL PRACTICES MUST BE MAINTAINED WHEN APPLYING TOPSOIL. UNIFORMLY DISTRIBUTE TOPSOIL IN A 5 TO 8 INCH LAYER AND LIGHTLY COMPACT TO A MINIMUM THICKNESS OF 4 INCHES. SPREADING IS TO BE PERFORMED IN SUCH A MANNER THAT SODDING OR SEEDING CAN PROCEED WITH A MINIMUM OF ADDITIONAL SOIL PREPARATION AND TILLAGE. ANY IRREGULARITIES IN THE SURFACE RESULTING FROM TOPSOILING OR OTHER OPERATIONS MUST BE CORRECTED IN ORDER TO PREVENT THE FORMATION OF DEPRESSIONS OR WATER POCKETS. TOPSOIL MUST NOT BE PLACED IF THE TOPSOIL OR SUBSOIL IS IN A FROZEN OR MUDDY CONDITION WHEN THE SUBSOIL IS EXCESSIVELY WET OR IN A CONDITION THAT MAY OTHERWISE BE DETRIMENTAL TO PROPER GRADING AND SEEDBED PREPARATION.

## SOIL AMENDMENTS (FERTILIZER AND LIME SPECIFICATIONS)

SOIL TESTS MUST BE PERFORMED TO DETERMINE THE EXACT RATIOS AND APPLICATION RATES FOR BOTH TIME AND FERTILIZER ON SITES HAVING DISTURBED AREAS OF 5 ACRES OR MORE. SOIL ANALYSIS MAY BE PERFORMED BY A RECOGNIZED PRIVATE OR COMMERCIAL LABORATORY, SOIL SAMPLES TAKEN FOR ENGINEERING PURPOSES MAY ALSO BE USED FOR CHEMICAL ANALYSES. FERTILIZERS MUST BE UNIFORM IN COMPOSITION, FREE FLOWING AND SUITABLE FOR ACCURATE APPLICATION BY APPROPRIATE EQUIPMENT. MANURE MAY BE SUBSTITUTED FOR FERTILIZER WITH PRIOR APPROVAL FROM THE APPROPRIATE APPROVAL AUTHORITY. FERTILIZERS MUST ALL BE DELIVERED TO SITE FULLY LABELED ACCORDING TO THE APPLICABLE LAWS AND MUST BEAR THE NAME, TRADE

NAME OR TRADEMARK AND WARRANTY OF THE PRODUCER LIME MATERIALS MUST BE GROUND LIMESTONE (HYDRATED OR BURNT LIME MAY BE SUBSTITUTED EXCEPT WHEN HYDROSEEDING) WHICH CONTAINS AT LEAST 50 PERCENT TOTAL OXIDES (CALCIUM OXIDE PLUS MAGNESIUM OXIDE). LIMESTONE MUST BE GROUND TO SUCH FINENESS THAT AT LEAST 50 PERCENT WILL PASS THROUGH A #100 MESH SIEVE AND 98 TO 100 PERCENT WILL PASS THROUGH A

LIME AND FERTILIZER ARE TO BE EVENLY DISTRIBUTED AND INCORPORATED INTO THE TOP 3 TO 5 INCHES OF SOIL BY DISKING OR OTHER SUITABLE MEANS. WHERE THE SUBSOIL IS EITHER HIGHLY ACIDIC OR COMPOSED OF HEAVY CLAYS, SPREAD GROUND LIMESTONE AT THE AT THE RATE OF 4 TO 8 TONS/ACRE (200-400 POUNDS PER 1,000 SQUARE FEET) PRIOR TO THE PLACEMENT OF TOPSOIL.

### APPROVED PLANNING BOARD OF HOWARD COUNTY

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING 9-1-16

9-01-16

chief, Development Engineering Division GLWGUTSCHICK LITTLE & WEBER, P.A.

CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS

3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK BURTONSVILLE, MARYLAND 20866

TEL: 301-421-4024 BALT: 410-880-1820 DC/VA: 301-989-2524 FAX: 301-421-4186

L'\CADD\DRAWNES\96079\15119\PLANS BY QLW\SDP\15119 SHEET 06-07\_SC.DWG | DES. LAG | DRN. LAG | CHK. DEV

### DEFINITION STANDARD SEDIMENT CONTROL NOTES THE APPLICATION OF SEED AND MULCH TO ESTABLISH VEGETATIVE COVER.

ANOTHER GRADING UNIT

TO PROTECT DISTURBED SOILS FROM EROSION DURING AND AT THE END OF CONSTRUCTION.

CONDITIONS WHERE PRACTICE APPLIES TO THE SURFACE OF ALL PERIMETER CONTROLS, SLOPES, AND ANY DISTURBED AREA NOT UNDER ACTIVE GRADING.

B-4-3 STANDARDS AND SPECIFICATIONS FOR SEEDING and

MULCHING

D MUST MEET THE REQUIREMENTS OF THE MARYLAND STATE SEED LAW. ALL SEED MUST BE SUBJECT TO RE-TESTING BY A RECOGNIZED SEED LABORATORY ALL SEED USED MUST HAVE BEEN TESTED WITHIN THE 6 MONTHS IMMEDIATELY PRECEDING THE DATE OF SOWING SUCH MATERIAL ON ANY PROJECT. REFER TO TABLE B.4 REGARDING THE QUALITY OF SEED. SEED TAGS MUST BE AVAILABLE UPON REQUEST TO THE INSPECTOR TO VERIFY TYPE OF SEED AND SEEDING RAT MULCH ALONE MAY BE APPLIED BETWEEN THE FALL AND SPRING SEEDING DATES ONLY IF THE GROUND IS FROZEN. THE APPROPRIATE SEEDING MIXTURE MUST BE

APPLIED WHEN THE GROUND THAWS INOCULANTS: THE INOCULANT FOR TREATING LEGUME SEED IN THE SEED MIXTURE MUST BE A PURE CULTURE OF NITROGEN FIXING BACTERIA PREPARED SPECIFICAL FOR THE SPECIES INOCULANTS MUST NOT BE USED LATER THAN THE DATE INDICATED ON THE CONTAINER ADD FRESH INOCULANTS AS DIRECTED ON THE PACKAGE. USE FOUR TIMES THE RECOMMENDED RATE WHEN HYDROSEEDING. NOTE IT IS VERY IMPORTANT TO KEEP INOCULANT AS COOL AS POSSIBLE UNTIL USED. EMPERATURES ABOVE 75 TO 80 DEGREES FAHRENHEIT CAN WEAKEN BACTERIA

SOD OR SEED MUST NOT BE PLACED ON SOIL WHICH HAS BEEN TREATED WITH SO STERILANTS OR CHEMICALS USED FOR WEED CONTROL UNTIL SUFFICIENT TIME HAS ELAPSED (14 DAYS MIN.) TO PERMIT DISSIPATION OF PHYTO-TOXIC MATERIALS.

a. DRY SEEDING: THIS INCLUDES USE OF CONVENTIONAL DROP OR BROADCAST INCORPORATE SEED INTO THE SUBSOIL AT THE RATES PRESCRIBED ON TEMPORARY SEEDING TABLE B.1, PERMANENT SEEDING TABLE B.3, OR

ITE-SPECIFIC SEEDING SUMMARIES

APPLY SEED IN TWO DIRECTIONS, PERPENDICULAR TO EACH OTHER. APPLY HE SEEDING RATE IN EACH DIRECTION. ROLL THE SEEDED AREA WITH WEIGHTED ROLLER TO PROVIDE GOOD SEED TO SOIL CONTACT.

DRILL OR CULTIPACKER SEEDING: MECHANIZED SEEDERS THAT APPLY AND COVER CULTIPACKING SEEDERS ARE REQUIRED TO BURY THE SEED IN SUCH A

FASHION AS TO PROVIDE AT LEAST 1/4 INCH OF SOIL COVERING. SEEDBED MUST BE FIRM AFTER PLANTING APPLY SEED IN TWO DIRECTIONS, PERPENDICULAR TO EACH OTHER. APPLY HALF THE SEEDING RATE IN EACH DIRECTION.

. HYDROSEEDING: APPLY SEED UNIFORMLY WITH HYDROSEEDER (SLURRY INCLUDES SEFD AND FERTILIZER) IF FERTILIZER IS BEING APPLIED AT THE TIME OF SEEDING, THE APPLICATION RATES SHOULD NOT EXCEED THE FOLLOWING: NITROGEN, 100 POUNDS PER ACRE TOTAL OF SOLUBLE NITROGEN; P205 (PHOSPHOROUS), 200 POUNDS PER ACRE; K20 (POTASSIUM), 200 POUNDS PER ACRE ii. LIME: USE ONLY GROUND AGRICULTURAL LIMESTONE (UP TO 3 TONS PER AC MAY BE APPLIED BY HYDROSEFDING). NORMALLY, NOT MORE THAN 2 TONS ARE

APPLIED BY HYDROSEEDING AT ANY ONE TIME. DO NOT USE BURNT OR HYDRATI

iii. MIX SEED AND FERTILIZER ON SITE AND SEED IMMEDIATELY AND WITHOUT NTERRUPTION iv. WHEN HYDROSEEDING DO NOT INCORPORATE SEED INTO THE SOIL.

### 3. MULCHING

### MULCH MATERIALS (IN ORDER OF PREFERENCE)

LIME WHEN HYDROSEEDING.

STRAW CONSISTING OF THOROUGHLY THRESHED WHEAT, RYE, OAT, OR BARLEY AN REASONABLY BRIGHT IN COLOR. STRAW IS TO BE FREE OF NOXIOUS WEED SEEDS AS SPECIFIED IN THE MARYLAND SEED LAW AND NOT MUSTY, MOLDY, CAKED, ECAYED, OR EXCESSIVELY DUSTY. NOTE: USE ONLY STERILE STRAW MULCH IN AREAS WHERE ONE SPECIES OF GRASS IS DESIRED. WOOD CELLULOSE FIBER MULCH (WCFM) CONSISTING OF SPECIALLY PREPARED WOO

CELLULOSE PROCESSED INTO A UNIFORM FIBROUS PHYSICAL STAT WCFM IS TO BE DYED GREEN OR CONTAIN A GREEN DYE IN THE PACKAGE THAT WILL PROVIDE AN APPROPRIATE COLOR TO FACILITATE VISU. INSPECTION OF THE UNIFORMLY SPREAD SLURRY

ii. WCFM, INCLUDING DYE, MUST CONTAIN NO GERMINATION OR GROWTH INHIBITIN III. WCFM MATERIALS ARE TO BE MANUFACTURED AND PROCESSED IN SUCH A MANNER THAT THE WOOD CELLILOSE FIRER MULCH WILL REMAIN IN LINEORN SPENSION IN WATER UNDER AGITATION AND WILL BLEND WITH SEED. ERTILIZER AND OTHER ADDITIVES TO FORM A HOMOGENEOUS SLURRY. THE MULCH MATERIAL MUST FORM A BLOTTER-LIKE GROUND COVER, ON APPLICATION, HAVING MOISTURE ABSORPTION AND PERCOLATION PROPERTIES

AND MUST COVER AND HOLD GRASS SEED IN CONTACT WITH THE SOIL WITHOUT INHIBITING THE GROWTH OF THE GRASS SEEDLINGS. WCFM MATERIAL MUST NOT CONTAIN ELEMENTS OR COMPOUNDS AT CONCENTRATION LEVELS THAT WILL BE PHYTO—TOXIC. v. WCFM MUST CONFORM TO THE FOLLOWING PHYSICAL REQUIREMENTS: FIBER

APPROXIMATELY 10 MILLIMETERS, DIAMETER APPROXIMATELY 1 MILLIMETER, P

RANGE OF 4.0 TO 8.5, ASH CONTENT OF 1.6 PERCENT MAXIMUM AND WATER

# HOLDING CAPACITY OF 90 PERCENT MINIMUM.

a. APPLY MULCH TO ALL SEEDED AREAS IMMEDIATELY AFTER SEEDING. OF 2 TONS PER ACRE TO A UNIFORM LOOSE DEPTH OF 1 TO 2 INCHES. APPLY MULCH TO ACHIEVE A UNIFORM DISTRIBUTION AND DEPTH SO THAT THE SOIL SURFACE IS NOT EXPOSED. WHEN USING A MULCH ANCHORING TOOL, INCREASE THE

APPLICATION RATE TO 2.5 TONS PER ACRE. WOOD CELLULOSE FIBER USED AS MULCH MUST BE APPLIED AT A NET DRY WEIGH OF 1500 POUNDS PER ACRE. MIX THE WOOD CELLULOSE FIBER WITH WATER TO ATTAIN A MIXTURE WITH A MAXIMUM OF 50 POUNDS OF WOOD CELLULOSE FIBER

# PFR 100 GALLONS OF WATER

a. PERFORM MULCH ANCHORING IMMEDIATELY FOLLOWING APPLICATION OF MULCH TO MINIMIZE LOSS BY WIND OR WATER. THIS MAY BE DONE BY ONE OF THE FOLLOWING METHODS (LISTED BY PREFERENCE), DEPENDING UPON THE SIZE OF THE AREA AND

A MULCH ANCHORING TOOL IS A TRACTOR DRAWN IMPLEMENT DESIGNED T PUNCH AND ANCHOR MULCH INTO THE SOIL SURFACE A MINIMUM OF 2 INCHES. THIS PRACTICE IS MOST EFFECTIVE ON LARGE AREAS, BUT IS LIMITED TO FLATTE SLOPES WHERE EQUIPMENT CAN OPERATE SAFELY. IF USED ON SLOPING LAND, THIS PRACTICE SHOULD FOLLOW THE CONTOUR. WOOD CELLULOSE FIBER MAY BE USED FOR ANCHORING STRAW. APPLY THE FIBER BINDER AT A NET DRY WEIGHT OF 750 POUNDS PER ACRE. MIX THE WOOI ELLULOSE FIBER WITH WATER AT A MAXIMUM OF 50 POUNDS OF WOOD

LULOSE FIBER PER 100 GALLONS OF WATER. SYNTHETIC BINDERS SUCH AS ACRYLIC DLR (AGRO-TACK), DCA-70, TROSET, TERRA TAX II, TERRA MANUFACTURER. APPLICATION OF LIQUID BINDER: NEEDS TO BE HEAVIER AT THE EDGES WHERE WIND CATCHES MULCH, SUCH AS IN VALLEYS AND ON CRESTS OF BANKS. USE OF ASPHALT BINDERS IS STRICTLY PROHIBITED. LIGHTWEIGHT PLASTIC NETTING MAY BE STAPLED OVER THE MULCH ACCORDING TO MANUFACTURER RECOMMENDATIONS. NETTING IS USUALLY AVAILABLE IN ROLLS 4 TO 15 FEET WIDE AND 300 TO 3,000 FEET LONG.

## ENGINEER'S CERTIFICATE

"I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT."

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

REVISION

EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HSCD."

# HOWARD SOIL CONSERVATION DISTRICT (HSCD)

A PRE-CONSTRUCTION MEETING MUST OCCUR WITH THE HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS, CONSTRUCTION INSPECTION DIVISION (CID), 410-313-1855 AFTER THE FUTURE LOD AND PROTECTED AREAS ARE MARKED CLEARLY IN THE FIELD. A MINIMUM OF 48 HOUR NOTICE TO CID MUST BE GIVEN AT THE FOLLOWING STAGES:

A. PRIOR TO THE START OF EARTH DISTURBANCE, B. UPON COMPLETION OF THE INSTALLATION OF PERIMETER EROSION AND SEDIMENT CONTROLS, BUT BEFORE PROCEEDING WITH ANY OTHER EARTH DISTURBANCE OR C. PRIOR TO THE START OF ANOTHER PHASE OF CONSTRUCTION OR OPENING OF

D. PRIOR TO THE REMOVAL OR MODIFICATION OF SEDIMENT CONTROL PRACTICES.

OTHER BUILDING OR GRADING INSPECTION APPROVALS MAY NOT BE THORIZED UNTIL THIS INITIAL APPROVAL BY THE INSPECTION AGAENCY IS ATED STATE AND FEDERAL PERMITS SHALL B REFERENCED, TO ENSURE ORDINATION AND TO AVOID CONFLICTS WITH THIS PLAN.

ALL VEGETATIVE AND STRUCTURAL PRACTICES ARE TO BE INSTALLED ACCORDING TO THE PROVISIONS OF THIS PLAN AND ARE TO BE IN CONFORMANCE WITH THE "2011 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL" AND

FOLLOWING INITIAL SOIL DISTURBANCE OR RE-DISTURBANCE, PERMANENT OR TEMPORARY STABILIZATION IS REQUIRED WITHIN THREE (3) CALENDAR DAYS AS TO THE SURFACE OF ALL PERIMETER CONTROLS, DIKES, SWALES, DITCHES, PERIMETER SLOPES, AND ALL SLOPES STEEPER THAN 3 HORIZONTAL TO 1 VERTICAL (3:1); AND SEVEN (7) CALENDAR DAYS AS TO ALL OTHER DISTURBED AREAS ON THE PROJECT SITE EXCEPT FOR THOSE

ALL DISTURBED AREAS MUST BE STABILIZED WITHIN THE TIME PERIOD SPECIFIED ABOVE IN ACCORDANCE WITH THE "2011 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL" FOR TOPSOII (SEC. B-4-2), PERMANENT SEEDING (SEC\_B-4-5) TEMPORARY SEEDING (SEC\_B-4-4) AND MULCHING (SEC\_B-4-3 TEMPORARY STABILIZATION WITH MULCH ALONE CAN ONLY BE APPLIED BETWEEN THE FALL AND SPRING SEEDING DATES IF THE GROUND IS FROZEN, INCREMENTAL STABILIZATION (SEC. B-4-1) SPECIFICATIONS SHALL BE ENFORCED IN AREAS WITH >15 OF CUT AND/OR FILL. STOCKPILES (SEC. B-4-8) IN EXCESS OF 20 FT. MUST BE BENCHED WITH STABLE OUTLET. ALL CONCENTRATED FLOW, STEEP SLOPE, AND HIGHLY ERODIBLE AREAS SHALL RECEIVE SOIL STABILIZATION MATTING (SEC. B-4-6).

ALL SEDIMENT CONTROL STRUCTURES ARE TO REMAIN IN PLACE. AND ARE TO BE MAINTAINED IN OPERATIVE CONDITION UNTIL PERMISSION FOR THEIR REMOVAL HAS BEEN OBTAINED FROM THE CID.

TOTAL AREA OF SITE 3.97± Acres 8.0± Acres

AREA TO BE ROOFED OR PAVED 3.4± Acres AREA TO BE VEGETATIVELY STABILIZED : 4.6± Acres 1,492 Cu. Yds. 2,934 Cu. Yds.

OFF-SITE WASTE/BORROW AREA LOCATION : Approved Sediment Control Plan within Maple Lawn Forms ANY SEDIMENT CONTROL PRACTICE WHICH IS DISTURBED BY GRADING ACTIVITY FOR

PLACEMENT OF UTILITIES MUST BE REPAIRED ON THE SAME DAY OF DISTURBANCE ADDITIONAL SEDIMENT CONTROL MUST BE PROVIDED. IE DEEMED NECESSARY BY THE CID THE SITE AND ALL CONTROLS SHALL BE INSPECTED BY THE CONTRACTOR WEEKLY; AND THE NEXT DAY AFTER EACH RAIN EVENT. A WRITTEN REPORT BY THE CONTRACTOR, MADE

AVAILABLE UPON REQUEST, IS PART OF EVERY INSPECTION AND SHOULD INCLUDE:

INSPECTION TYPE (ROUTINE, PRE-STORM EVENT, DURING RAIN EVENT) NAME AND TITLE OF INSPECTOR

WEATHER INFORMATION (CURRENT CONDITIONS AS WELL AS TIME AND AMOUNT OF LAST RECORDED PRECIPITATION BRIEF DESCRIPTION OF PROJECT'S STATUS (E.G., PERCENT COMPLETE) AND /OR CURRENT EVIDENCE OF SEDIMENT DISCHARGE

IDENTIFICATION OF PLAN DEFICIENCIES IDENTIFICATION OF SEDIMENT CONTROLS THAT REQUIRE MAINTENANCE IDENTIFICATION OF MISSING OR IMPROPERLY INSTALLED SEDIMENT CONTROLS COMPLIANCE STATUS REGARDING THE SEQUENCE OF CONSTRUCTION AND STABILIZATION REQUIREMENT

MAINTENANCE AND/OR CORRECTIVE ACTION PERFORMED OTHER INSPECTION ITEMS AS REQUIRED BY THE "GENERAL PERMIT FOR STORMWATER ASSOCIATED WITH CONSTRUCTION ACTIVITIES" (NPDES, MDE).

THAT WHICH CAN AND SHALL BE BACK-FILLED AND STABILIZED BY THE END OF EACH ANY MAJOR CHANGES OR REVISIONS TO THE PLAN OR SEQUENCE OF CONSTRUCTION MUST BE REVIEWED AND APPROVED BY THE HSCD PRIOR TO PROCEEDING WITH

CONSTRUCTION. MINOR REVISIONS MAY BE ALLOWED BY THE CID PER THE LIST OF

TRENCHES FOR THE CONSTRUCTION OF UTILITIES IS LIMITED TO THREE PIPE LENGTHS OR

HSCD-APPROVED FIELD CHANGES. DISTURBANCE SHALL NOT OCCUR OUTSIDE THE LOD A PROJECT IS TO BE SEQUENCED SO THAT GRADING ACTIVITIES BEGIN ON ONE GRADING UNIT (MAXIMUM ACREAGE OF 20 AC. PER GRADING UNIT) AT A TIME. WORK MAY PROCEED TO A SUBSEQUENT GRADING UNIT WHEN AT LEAST 50 PERCENT OF THE DISTURBED AREA IN THE PRECEDING GRADING UNIT HAS BEEN STABILIZED AND APPROVED BY THE CID. UNLESS OTHERWISE SPECIFIED AND APPROVED BY THE HSCD, NO MORE THAN 30 ACRES CUMULATIVELY MAY BE DISTURBED

WASH WATER FROM ANY EQUIPMENT, VEHICLES, WHEELS PAVEMENT, AND OTHER SOURCES MUST BE TREATED IN A SEDIMENT BASIN OR OTHER APPROVED WASHOUT STRUCTURE. TOPSOIL SHALL BE STOCKPILED AND PRESERVED ON-SITE FOR REDISTRIBUTION ONTO

ALL SILT FENCE AND SUPER SILT FENCE SHALL BE PLACED ON-THE-CONTOUR, AND BE IMBRICATED AT 25' MINIMUM INTERVALS, WITH LOWER ENDS CURLED UPHILL BY 2' IN

STREAM CHANNELS MUST NOT BE DISTURBED DURING THE FOLLOWING RESTRICTED TIME PERIODS (INCLUSIVE): USE I AND IP MARCH 1 - JUNE 15 USE III AND IIIP OCTOBER 1 - APRIL 30

USE IV MARCH 1 - MAY 31 A COPY OF THIS PLAN. THE "2011 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL," AND ASSOCIATED PERMITS SHALL BE ON-SITE AND AVAILABLE WHEN THE SITE IS ACTIVE.

# **BUILDER'S CERTIFICATE**

"I/WE CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE ACCORDING TÓ THIS PLAN, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A MARYLAND DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND

### B-4-5 STANDARDS AND SPECIFICATIONS FOR PERMANENT STABILIZATION

DEFINITION TO STABILIZE DISTURBED SOILS WITH PERMANENT VEGETATION.

TO USE LONG-LIVED PERENNIAL GRASSES AND LEGUMES TO ESTABLISH PERMANENT GROUND COVER

ON DISTURBED SOILS. CONDITIONS WHERE PRACTICE APPLIES

EXPOSED SOILS WHERE GROUND COVER IS NEEDED FOR 6 MONTHS OR MORE. CRITERIA

### SEED MIXTURES

a. SELECT ONE OR MORE OF THE SPECIES OR MIXTURES LISTED IN TABLE B.3 FOR THE APPROPRIATE PLANT HARDINESS ZONE (FROM FIGURE B.3) AND BASED ON THE SITE CONDITION OR PURPOSE FOUND ON TABLE B.2. ENTER SELECTED MIXTURE(S), APPLICATION RATES, AND SEEDING DATES IN THE PERMANENT SEEDING SUMMARY. THE SUMMARY IS TO

ADDITIONAL PLANTING SPECIFICATIONS FOR EXCEPTIONAL SITES SUCH AS SHORELINES, STREAM BANKS, OR DUNES OR FOR SPECIAL PURPOSES SUCH AS WILDLIFE OR AESTHETIC TREATMENT MAY BE FOUND IN USDA-NRCS TECHNICAL FIELD OFFICE GUIDE, SECTION 342 - CRITICAL ARFA PLANTING

FOR SITES HAVING DISTURBED AREA OVER 5 ACRES, USE AND SHOW THE RATES RECOMMENDED BY THE SOIL TESTING AGENCY. d. FOR AREAS RECEIVING LOW MAINTENANCE, APPLY UREA FORM FERTILIZER (46-0-0) AT 3 1/2 POUNDS PER 1000 SQUARE FEET (150 POUNDS PER ACRE) AT THE TIME OF SEEDING IN ADDITION TO THE SOIL AMENDMENTS SHOWN IN THE PERMANENT SEEDING SUMMARY.

a. AREAS WHERE TURFGRASS MAY BE DESIRED INCLUDE LAWNS, PARKS, PLAYGROUNDS, AND COMMERCIAL SITES WHICH WILL RECEIVE A MEDIUM TO HIGH LEVEL OF MAINTENANCE. b. SELECT ONE OR MORE OF THE SPECIES OR MIXTURES LISTED BELOW BASED ON THE SITE CONDITIONS OR PURPOSE. ENTER SELECTED MIXTURE(S), APPLICATION RATES, AND SEEDING

> KENTUCKY BLUEGRASS: FULL SUN MIXTURE: FOR USE IN AREAS THAT RECEIVE INTENSIVE MANAGEMENT IRRIGATION REQUIRED IN THE AREAS OF CENTRAL MARYLAND. AND FASTERN SHORE, RECOMMENDED CERTIFIED KENTUCKY BLUEGRASS CULTIVARS SEEDING RATE: 1.5 TO 2.0 POUNDS PER 1000 SQUARE FEET. CHOOSE A MINIMUM OF HREE KENTUCKY BLUEGRASS CULTIVARS WITH EACH RANGING FROM 10 TO 35

DATES IN THE PERMANENT SEEDING SUMMARY. THE SUMMARY IS TO BE PLACED ON THE

ii. KENTUCKY BLUEGRASS/PERENNIAL RYE: FULL SUN MIXTURE: FOR USE IN FULL SUN AREAS WHERE RAPID ESTABLISHMENT IS NECESSARY AND WHEN TURF WILL RECEIVE MEDIUM TO INTENSIVE MANAGEMENT. CERTIFIED PERENNIAL RYEGRASS CULTIVARS/CERTIFIED KENTUCKY BLUEGRASS SEEDING RATE: 2 POUNDS MIXTURE PER 000 SQUARE FEET. CHOOSE A MINIMUM OF THREE KENTUCKY BLUEGRASS CULTIVARS WITH EACH RANGING FROM 10 TO 35 PERCENT OF THE TOTAL MIXTURE BY WEIGHT.

iii. TALL FESCUE/KENTUCKY BLUEGRASS: FULL SUN MIXTURE: FOR USE IN DROUGHT PRONE AREAS AND/OR FOR AREAS RECEIVING LOW TO MEDIUM MANAGEMENT IN FULL SUN TO MEDIUM SHADE ECOMMENDED MIXTURE INCLUDES; CERTIFIED TALL FESCUE CULTIVARS 95 TO 100 PERCENT, CERTIFIED KENTUCKY BLUEGRASS CULTIVARS 0 TO 5 PERCENT. SEEDING RATE: 5 TO 8 POUNDS PER 1000 SQUARE FEET. ONE OR MORE CULTIVARS MAY BE

KENTUCKY BLUEGRASS/FINE FESCUE: SHADE MIXTURE: FOR USE IN AREAS WITH SHADE IN BLUEGRASS LAWNS. FOR ESTABLISHMENT IN HIGH QUALITY, INTENSIVELY MANAGED TURF AREA, MIXTURE INCLUDES: CERTIFIED KENTUCKY BLUEGRASS CULTIVARS 30 TO 40 PERCENT AND CERTIFIED FINE FESCUE AND 60 TO 70 PERCENT. SEEDING RATE: 1 1/2 TO 3 POUNDS PER 1000 SQUARE FEET.

SELECT TURFGRASS VARIETIES FROM THOSE LISTED IN THE MOST CURRENT UNIVERSITY OF MARYLAND PUBLICATION, AGRONOMY MEMO #77, "TURFGRASS CULTIVAR RECOMMENDATIONS FOR MARYLAND"

CHOOSE CERTIFIED MATERIAL CERTIFIED MATERIAL IS THE BEST GUARANTEE OF CULTIVAR PURITY. THE CERTIFICATION PROGRAM OF THE MARYLAND DEPARTMENT OF AGRICULTURE, TURF AND SEED SECTION, PROVIDES A RELIABLE MEANS OF CONSUMER PROTECTION AND ASSURES A PURE GENETIC LINE

IDEAL TIMES OF SEEDING FOR TURF GRASS MIXTURES WESTERN MD: MARCH 15 TO JUNE 1, AUGUST 1 TO OCTOBER 1 (HARDINESS ZONES: 5B,

CENTRAL MD: MARCH 1 TO MAY 15, AUGUST 15 TO OCTOBER 15 (HARDINESS ZONE: SOUTHERN MD. EASTERN SHORE: MARCH 1 TO MAY 15, AUGUST 15 TO OCTOBER 15

TILL AREAS TO RECEIVE SEED BY DISKING OR OTHER APPROVED METHODS TO A DEPTH OF 2 TO 4 INCHES, LEVEL AND RAKE THE AREAS TO PREPARE A PROPER SEEDBED. REMOVE STONES AND DEBRIS OVER 1 1/2 INCHES IN DIAMETER. THE RESULTING SEEDBED MUST BE IN SUCH CONDITION THAT FUTURE MOWING OF GRASSES WILL POSE NO DIFFICULTY.

k. IF SOIL MOISTURE IS DEFICIENT, SUPPLY NEW SEEDINGS WITH ADEQUATE WATER FOR PLANT GROWTH (1/2 TO 1 INCH EVERY 3 TO 4 DAYS DEPENDING ON SOIL TEXTURE) UNTIL THEY ARE FIRMLY ESTABLISHED. THIS IS ESPECIALLY TRUE WHEN SEEDINGS ARE MADE LATE IN THE PLANTING SEASON, IN ABNORMALLY DRY OR HOT SEASONS, OR ON ADVERSE SITES.

## PERMANENT SEEDING SUMMARY

| SEED MIXTURE: #9 (Tall Fescue/ Kentucky Bluegrass) |   |                       |   |                   | FERTILIZER                           |                     |    |
|--|---|-----------------------|---|-------------------|--------------------------------------|---------------------|----|
| No.  | SPECIES   | APPLICATION<br>- RATE | SEEDING<br>DATES                        | SEEDING<br>DEPTHS | RATE<br>(10-20-20)                   | LIME RATE           | 2. |
| 9  | *Certified Tall Fescue blend<br>(95% by weight): Faicon IV,<br>Penn 1901 & Rebel Exeda<br>and<br>Certified Kentucky Bluegrass<br>blend (5% by weight):<br>Courtyard, Raven & Yankee | 6-8 lb/<br>1000 s.f.  | Mar. 1 to May 15,<br>Aug. 15 to Oct. 15 |                   | 1.0 lb/ 1000<br>s.f.<br>(45 lb/acre) | 90 lb/<br>1000 s.f. |    |

\* Other cultivars listed as "proven" in the most current UMD TT-77 may also be used . SOD: TO PROVIDE QUICK COVER ON DISTURBED AREAS (2:1 GRADE OR FLATTER).

a. CLASS OF TURFGRASS SOD MUST BE MARYLAND STATE CERTIFIED, SOD LABELS MUST BE MADE AVAILABLE TO THE JOB FOREMAN AND INSPECTOR. . SOD MUST BE MACHINE CUT AT A UNIFORM SOIL THICKNESS OF 3/4 INCH, PLUS OR MINUS 1/4 INCH, AT THE TIME OF CUTTING. MEASUREMENT FOR THICKNESS MUST EXCLUDE TOP

STANDARD SIZE SECTIONS OF SOD MUST BE STRONG ENOUGH TO SUPPORT THEIR OWN WEIGHT AND RETAIN THEIR SIZE AND SHAPE WHEN SUSPENDED VERTICALLY WITH A FIRM GRASP ON THE UPPER 10 PERCENT OF THE SECTION.

GROWTH AND THATCH. BROKEN PADS AND TORN OR UNEVEN ENDS WILL NOT BE

. SOD MUST NOT BE HARVESTED OR TRANSPLANTED WHEN MOISTURE CONTENT (EXCESSIVELY DRY OR WET) MAY ADVERSELY AFFECT ITS SURVIVAL.

e. SOD MUST BE HARVESTED, DELIVERED, AND INSTALLED WITHIN A PERIOD OF 36 HOURS.
SOD NOT TRANSPLANTED WITHIN THIS PERIOD MUST BE APPROVED BY AN AGRONOMIST OR SOIL SCIENTIST PRIOR TO ITS INSTALLATION.

### 2. SOD INSTALLATION a. DURING PERIODS OF EXCESSIVELY HIGH TEMPERATURE OR IN AREAS HAVING DRY SUBSOIL,

LIGHTLY IRRIGATE THE SUBSOIL IMMEDIATELY PRIOR TO LAYING THE SOD. LAY THE FIRST ROW OF SOD IN A STRAIGHT LINE WITH SUBSEQUENT ROWS PLACED TO IT AND TIGHTLY WEDGED AGAINST EACH OTHER. STAGGER LATERAL JOINTS TO PROMOTE MORE UNIFORM GROWTH AND STRENGTH. ENSURE THAT SOD IS NOT STRETCHED OR OVERLAPPED AND THAT ALL JOINTS ARE BUTTED TIGHT IN ORDER TO PREVENT VOIDS WHICH WOULD CAUSE AIR DRYING OF THE ROOTS WHEREVER POSSIBLE, LAY SOD WITH THE LONG EDGES PARALLEL TO THE CONTOUR AND

WITH STAGGERING JOINTS. ROLL AND TAMP, PEG OR OTHERWISE SECURE THE SOD TO PREVENT SLIPPAGE ON SLOPES. ENSURE SOLID CONTACT EXISTS BETWEEN SOD ROOTS AND THE UNDERLYING SOIL SURFACE WATER THE SOD IMMEDIATELY FOLLOWING ROLLING AND TAMPING UNTIL THE UNDERSIDE OF THE NEW SOD PAD AND SOIL SURFACE BELOW THE SOD ARE THOROUGHLY WET. COMPLETE THE OPERATIONS OF LAYING, TAMPING AND IRRIGATING FOR ANY PIECE OF SOD WITHIN

# SOD MAINTENANCE

DEVELOPER: ST. JOHN PROPERTIES

H. 410-788-0100

ATTN.: KAREN WATSIC

2560 LORD BALTIMORE DR.

PREPARED FOR:

1829 REISTERSTOWN ROAD | BALTIMORE, MD 21244

MAPLE LAWN

C.C. STATUTORY TRUST

BALTIMORE, MD 21208

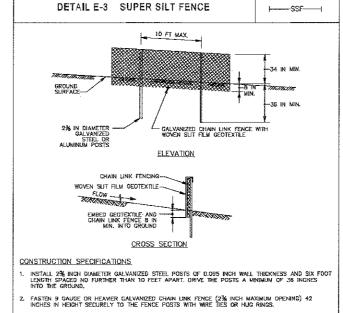
PH. 410-484-8400

ATTN.: MARK BENNETT

g. IN THE ABSENCE OF ADEQUATE RAINFALL, WATER DAILY DURING THE FIRST WEEK OR AS OFTEN AND SUFFICIENTLY AS NECESSARY TO MAINTAIN MOIST SOIL TO A DEPTH OF 4 INCHES. WATER SOD DURING THE HEAT OF THE DAY TO PREVENT WILTING. AFTER THE FIRST WEEK, SOD WATERING IS REQUIRED AS NECESSARY TO MAINTAIN

ADEQUATE MOISTURE CONTENT. DO NOT MOW UNTIL THE SOD IS FIRMLY ROOTED. NO MORE THAN 1/3 OF THE GRASS LEAF MUST BE REMOVED BY THE INITIAL CUTTING OR SUBSEQUENT CUTTINGS. MAINTAIN A GRASS HEIGHT OF AT LEAST 3 INCHES UNLESS OTHERWISE SPECIFIED.

> PROFESSIONAL CERTIFICATION HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME. AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 12-915, EXPIRATION DATE: May 24, 2-18



FASTEN WOVEN SLIT FILM GEOTESTILE AS SPECIFIED IN SECTION H-1 MATERIALS, SECURELY TO THE UPSLOPE SIDE OF CHAIN LINK PENCE WITH THE SPACED EVERY 24 NOVES AT THE TOP AND MID SECTION. DEBED GEOTESTILE AND CHAIN LINK FENCE A MININUM OF 8 INCHES NITO THE GROWND. . WHERE ENDS OF THE GEOTEXTILE COME TOGETHER, THE ENDS SHALL BE OVERLAPPED BY 6 INCHES, FOLDED, AND STAPLED TO PREVENT SEDIMENT BY PASS. EXTEND BOTH ENDS OF THE SUPER SILT FENCE A MINIMUM OF FIVE HORIZONTAL FEET UPSLOPE AT 45 DEGREES TO THE MAIN FENCE ALIGNMENT TO PREVENT RUNDFF FROM GOING AROUND THE ENDS OF THE SUPER SILT FENCE. PROVIDE MANUFACTURER CERTIFICATION TO THE INSPECTION/ENFORCEMENT AUTHORITY SHOWING THAT GEDTEXTILE USED MEETS THE REQUIREMENTS IN SECTION H-1 MATERIALS.

REMOVE ACCUMULATED SEDIMENT AND DEBRIS WHEN BULGES DEVELOP IN FENCE OR WHEN SEDIMENT REACHES 25% OF FENCE HEIGHT. REPLACE SECTEXTILE IF TORM, IF UNDERMINING OCCURS, REINSTALL CHAIN LINK FENCING AND GETTEXTILE MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTRO U.S. DEPARTMENT OF AGRICULTURE
NATURAL RESOURCES CONSERVATION SERVICE

2011

MARYLAND DEPARTMENT OF ENVIRONMENT
WATER MANAGEMENT ADMINISTRATION

8-4-8 STANDARDS AND SPECIFICATION

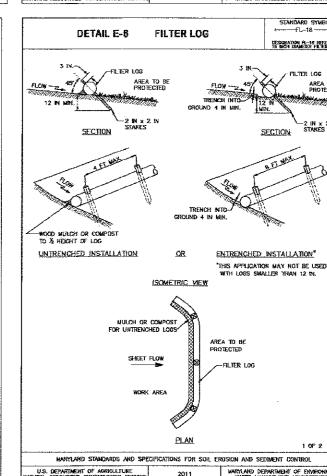
location for the temporary storage of soil that controls the potential for erosion, edimentation, and changes to drainage pattern

tockpile areas ere utilized when it is necessary to salvage and store soil for later use. The stockpile location and all related sediment control practices must be clearly indicated on the The footprint of the stockpile must be sized to accommodate the anticipated volume of material and based on a side slope ratio to steeper than 2:1. Benching must be provided in accordance with Section B-3 Land Gending.

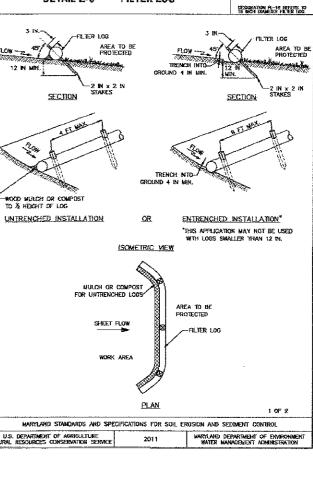
4. Access the stockpile area from the upgrade side. Clear water runoff into the stockpile area must be minimized by use of a diversion device such as an earth dike, temporary swale or diversion fence. Provisions must be made for discharging Where tucoff concentrates along the toc of the stockpile full, an appropriate erosion/sedimes control practice must be used to intercept the discharge. Stockpiles must be stabilized in accordance with the 3/7 day stabilization requirement as well as Standard B-4-1 Incremental Stabilization and Standard B-4-4 Temporary Stabilization.

3. Runoff from the stockpile area must drain to a suitable sediment control practice

The stockpile area must continuously meet the requirements for Adequate Vegetative Establishment coordance with Section B-4 Vegetative Stabilization. Side slopes must be maintained at no steeper than a 2: ratio. The stockpile area must be kept free of erosion. If the vertical height of a stockpile exceeds 20 fest for



DETAIL E-9-Z AT-GRADE INLET PROTECTION MAXIMUM DRAINAGE AREA - 1 ACRE —¾, TO:1½, IN STONE NONWOVEN GEOTEXTILE PLAN / CUT AWAY VIEW ¥ TO 1½ IN STONE CONSTRUCTION SPECIFICATION USE NONWOVEN GEOTEXTILE AS SPECIFIED IN SECTION H-1 MATERIALS LIFT GRATE AND WRAP WITH NONWOVEN GEOTEXTILE TO COMPLETELY COVER ALL OPENINGS. SECURE WITH WIRE THES AND SET GRATE BACK IN PLACE. PLACE CLEAR % TO 1% INCH STONE OR EQUIVALENT RECYCLED CONCRETE 6 INCHES THICK ON THE U.S. DEPARTMENT OF AGRICULTURE 2011 MARYLAND DEPARTMENT OF ENVIRONMENT NATURAL RESOURCES CONSERVATION SERVICE 2011 WATER MANAGEMENT ADMINISTRATION STANDARD SYMBOL



DETAIL E-6 FILTER LOG DESCRIPTION FL-15 REFERS PRIOR TO INSTALLATION, CLEAR ALL OBSTRUCTIONS INCLUDING ROCKS, CLODS, AND DEBRIS GREATE THAN ONE INCH THAT MAY INTERFERE WITH PROPER FUNCTION OF FILTER LOC. FILL LOG NETTING UNFORMET WITH COMPOST (IN ACCORDANCE WITH SECTION H-1 MATERIALS), OR OTHER APPROVED BIODEGRADASLE MATERIAL TO DESIRED LENGTH SUCH THAT LOGS DO NOT DEFORM INSTALL FEIER LOGS PERPENDICULAR TO THE FLOW DIRECTION AND PARALLEL TO THE SLOPE WITH THE BEGINNING AND DID OF THE INSTALLATION POINTING SUCHTLY UP THE SLOPE CREATING A "J" SHAPE AT EACH END TO PREVENT BYPASS. FOR UNTRENCHED INSTALLATION BLOW OR HAND PLACE MULCH OR COMPOST ON LPHILL SIDE OF THE SLOPE ALDRIS LOG. STAKE FILTER LOG EVERY 4 FEET OR CLOSER ALONG ENTIRE LENGTH OF LOG OR TRENCH LOG INTO CROWND A MINUMENT OF 4 MICHES AND STAKE LOG EVERY 8 FEET OR CLOSER. USE STAKES WITH A MINUMAN KOMMAN. CROSS SECTION OF 202 INCH AND OF SUFFICIENT LENGTH T ATTAIN A MINIMUM OF 12 INCHES INTO THE GROUND AND 3 INCHES PROTRUDING ABOVE LOG. WHEN MORE THAN ONE LOG IS NEEDED, OVERLAP ENDS 12 INCHES MINIMUM, AND STAKE. REMOVE SEDIMENT WHEN IT HAS ACCIMILATED TO A DEPTH OF X THE EXPOSED HEIGHT OF LOG ANY REPLACE WOLLD'S REPLACE FILTER LOG IF TORN, REINSTALL FILTER LOG IF UNDERSONING OR DISPLOCHED OCCURS, NETHAGO COLOGOD FILTER LOGS, FOR PERMANENT APPLICATIONS, ESTIBLISH AND CONTINUOUSLY HEET REQUIREMENTS FOR ADEQUATE VEGETATIVE ESTABLISHMENT IN ACCORDANCE WITH SECTIONS HEAVY VEGETARIES STABLISHMENT APPLICATION.

B-4-4 STANDARDS AND SPECIFICATIONS FOR TEMPORARY STABILIZATION

TO STABILIZE DISTURBED SOILS WITH VEGETATION FOR UP TO 6 MONTHS.

### CONDITIONS WHERE PRACTICE APPLIES EXPOSED SOILS WHERE GROUND COVER IS NEEDED FOR A PERIOD OF 6 MONTHS OR LESS. FOR LONGER DURATION OF TIME, PERMANENT STABILIZATION

TO USE FAST GROWING VEGETATION THAT PROVIDES COVER ON DISTURBED SOILS.

PRACTICES ARE REQUIRED.

DETAIL 6-9-3 CURB INLET PROTECTION

ONSTRUCTION SPECIFICATIONS

use nomhal, 🤋 inch x 4 inch eumber

U.S. DEPARTMENT OF AGRICULTURE
NATURAL RESIDENCES CONSERVATION SERVICE

HONWOVEN GEOTEXTILE

INSTRUCTION SPECIFICATIONS

USE NONWOVEN (ELOTEXTILE AS SPECIFIED IN SECTION H-1 MATERIALS.

NAIL THE 2x4 WER TO 9 INCH LONG VERTICAL SPACERS (MAXIMUM & FEET APART).

INSTALL END 深水过去 A MINIMUM OF 1 FOOT BEYOND THE ENDS OF THE THROAT OPENING.

ENTRANCE

MOUNTABLE BERM (6 IN MIN.)

2 IN x 4 IN ANCHORS, 2 FT SIN. LENGTH

ATTACH A CONTINUOUS PIECE OF X, BACH CALLYMHIZED HARDWARE CLOTH, WITH A MINIMUM WIDTH OF 30 INCHES AND A MINIMUM LENGTH OF 4 FRET LONGER THAM THE THROAT OPENING, TO THE 2x4 WEIR, EXTENDING IT 2 FEET BEYOND THROAT ON EACH SIDE

PLACE A CONTINUOUS PIECE OF NONWOVEN CECTEXTILE OF THE SAME DIMENSIONS AS THE HARDWARE CLOTH OVER THE HARDWARE CLOTH AND SECURITY ATTACH TO THE 2x4 WEIR.

PLACE THE ASSEMBLY ACAINST THE BILET THROAT AND MAIL TO 2x4 ANCHORS (MARIAM 2 FEET LENGTH). EXTEND THE ANCHORS ACROSS THE ANET TOP AND HOLD IN PLACE BY SANDRASS OR DITHER APPROVED ANCHORING METHOD.

FORM THE HARDWARE CLOTH AND THE GEOTEXTILE TO THE CONCRETE GUTTER AND FACE OF CURB TO SPAN THE INLET OPENING COVER THE HARDWARE CLOTH AND GEOTEXTILE WITH CLEAN \$1. TO 1\( \frac{1}{2}\) INCH STONE OR EQUIVALENT RECYCLED CONCRETE.

MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL

STABILIZED CONSTRUCTION

- MIN. 5 IN OF 2 TO 3 IN AGGREGATE OVER LENGTH AND WIDTH OF ENTRANCE

PROFILE

PLAN VIEW

PLACE STABILIZED CONSTRUCTION ENTRANCE IN ACCORDANCE WITH THE APPROVED PLAN. VEHICLES MUST TRAVEL OVER THE ENTIRE LENGTH OF THE SCE. USE MINIMUM LENGTH OF 50 FEET (\*30 FEET FOR SINGLE RESIDENCE LOT). USE MINIMUM WOTH OF 10 FEET. FLARE SCE 10 FEET MINIMUM AT THE EXISTING ROAD TO PROVIDE A TURNING RADIUS.

PIPE ALL SURFACE WATER FLOWING TO OR DIVERTED TOWARD THE SCE UNDER THE ENTRANCE, MAINTAINING POSTITUE DRAINAGE, PROTECT PIPE INSTALLED THROUGH THE SCE WITH A MICHAELE BERM WITH \$1 SLOPES AND A MINIMUM OF 12 INCHES OF STOME OVER THE PIPE, PROVIDE PIPE AS SPECIFIED ON APPROVED PLAN. WHEN THE SCE IS LOCATED AT A HIGH SPOT AND HAS NO DRAINAGE TO CONTEXT, A PIPE IS NOT NECESSARY, A MOUNTABLE BERM IS REQUIRED WHEN SCE IS NOT LOCATED AT A HIGH SPOT AND HAS NO DRAINAGE TO COATED AT A HIGH SPOT.

PLACE CRUSHED AGGREGATE (2 TO 3 INCHES IN SIZE) OR EQUIVALENT RECYCLED CONCRETE (WITHOUT REBAR) AT LEAST 6 INCHES DEEP OVER THE LENGTH AND WIDTH OF THE SCE.

5. MANTAIN ENTRANCE IN A CONDITION THAT MINIMIZES TRACKING OF SEDIMENT, ADD STONE OR MAKE OTHER REPAIRS AS CONDITIONS DEMAND TO MAINTAIN CLEAN SURFACE, MOUNTABLE BERNA AND SPECIFIED EMBENSIONS. MANEDIATELY REMOVE STONE AND/OR SEDIMENT SPILLED, DROPPED, OR TRACKED GNTG ADJACENT ROADMAY BY VACUUMING, SCRAPING, AND/OR SWEEPING. WASHING ROADMAY TO REMOVE MILD TRACKED ONTO PAVEMENT IS NOT AUCEPTABLE UNLESS WASH WATER IS DRECTED TO AN APPROVED SEDMENT CONTROL PRACTICE.

MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL

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2011
WARYLAND DEPARTMENT OF ENVIRONMEN
WATER MANAGEMENT ADMINISTRATION

Z SCE Z

- EXISTING PAVEMENT

-PIPE (SEE NOTE 8)

AT NON-SUMP EXCATIONS, INSTALL A TEMPORARY SANDRAG OR ASPHALT BERM TO PREVENT INSET BYPASS.

SELECT ONE OR MORE OF THE SPECIES OR SEED MIXTURES LISTED IN TABLE B.1 FOR THE APPROPRIATE PLANT HARDINESS ZONE (FROM FIGURE B.3), AND ENTER THEM IN THE TEMPORARY SEEDING SUMMARY BELOW ALONG WITH APPLICATION RATES, SEEDING DATES AND SEEDING DEPTHS. IF THIS SUMMARY IS NOT PUT ON THE PLAN AND COMPLETED, THEN TABLE B.1 PLUS FERTILIZER AND LIME RATES MUST BE PUT ON THE PLAN. FOR SITES HAVING SOIL TESTS PERFORMED, USE AND SHOW THE RECOMMENDED RATES BY THE TESTING AGENCY SOIL TESTS ARE NOT REQUIRED FOR TEMPORARY SEEDING.

# TEMPORARY SEEDING SUMMARY

|                    | HARDINESS ZONE: 6b<br>SEED MIXTURE: |  |                   |                                      |                        |
|--------------------|-------------------------------------|--|-------------------|--------------------------------------|------------------------|
| SPECIES            | APPLICATION RATE (lb/ac.)           | SEEDING<br>DATES                       | SEEDING<br>DEPTHS | RATE<br>(10-10-10)                   | LIME RATE              |
| ANNUAL<br>RYEGRASS | 40 lb/ac                            | Mar. 1 to May 15,<br>Aug. 1 to Oct. 15 | 0.5 INCHES        | 436 lb./ac.<br>(10 lb./<br>1,000 sf) | 2 tons/ac.<br>(90 lb./ |
| PEÁRL MILLET       | 20 lb/ac                            | May 16 to July 31                      | 0.5 INCHES        |                                      | 1,000 sf)              |

<u>DEFINITION</u>

CONTROLLING THE SUSPENSION OF DUST PARTICLES FROM CONSTRUCTION ACTIVITIES.

TO PREVENT BLOWING AND MOVEMENT OF DUST FROM EXPOSED SOIL SURFACES TO REDUCE ON AND OFF-SITE DAMAGE INCLUDING HEALTH AND TRAFFIC HAZARDS.

<u>SPECIFICATIONS</u> MULCHES: SEE SECTION B-4-2 SOIL PREPARATION, TOPSOILING, AND SOIL AMENDMENTS, SECTION

TILLAGE: TILL TO ROUGHEN SURFACE AND BRING CLODS TO THE SURFACE. BEGIN PLOWING ON WINDWARD SIDE OF SITE. CHISEL-TYPE PLOWS SPACED ABOUT 12 INCHES APART, SPRING-TOOTHED HARROWS, AND SIMILAR PLOWS ARE EXAMPLES OF EQUIPMENT THAT MAY PRODUCE THE DESIRED

SIMILAR MATERIAL CAN BE USED TO CONTROL AIR CURRENTS AND SOIL BLOWING. CHEMICAL TREATMENT: USE OF CHEMICAL TREATMENT REQUIRES APPROVAL BY THE APPROPRIATE PLAN REVIEW AUTHORITY.

ELECTION DISTRICT No. 5

U.S. DEPARTMENT OF ASSIGUETURE NATURAL RESOURCES CONSERVATION SERVICE

WHEN STABILIZATION IS REQUIRED OUTSIDE OF A SEEDING SEASON, APPLY SEED AND MULCH OR STRAW MULCH ALONE AS PRESCRIBED IN SECTION B-4-3.A.1.B AND MAINTAIN UNTIL THE NEXT SEEDING SEASON.

| HARDINESS ZONE: 6b<br>SEED MIXTURE: |                           |  | FERTILIZER<br>RATE | LIME RATE               |                       |
|-------------------------------------|---------------------------|--|--------------------|-------------------------|-----------------------|
| SPECIES                             | APPLICATION RATE (lb/ac.) | SEEDING<br>DATES                       | SEEDING<br>DEPTHS  | (10-10-10)              | CIME NAIL             |
| ANNUAL<br>RYEGRASS                  | 40 lb/ac                  | Mar. 1 to May 15,<br>Aug. 1 to Oct. 15 | 0.5 INCHES         | 436 lb./ac.<br>(10 lb./ | 2 tons/ac<br>(90 lb./ |
| PEÁRL MILLET                        | 20 lb/ac                  | May 16 to July 31                      | 0.5 INCHES         | 1,000 sf)               | 1,000 sf)             |

### STANDARDS AND SPECIFICATIONS FOR DUST CONTROL

CONDITIONS WHERE PRACTICE APPLIES

AREAS SUBJECT TO DUST BLOWING AND MOVEMENT WHERE ON AND OFF-SITE DAMAGE IS LIKELY WITHOUT

TREATMENT.

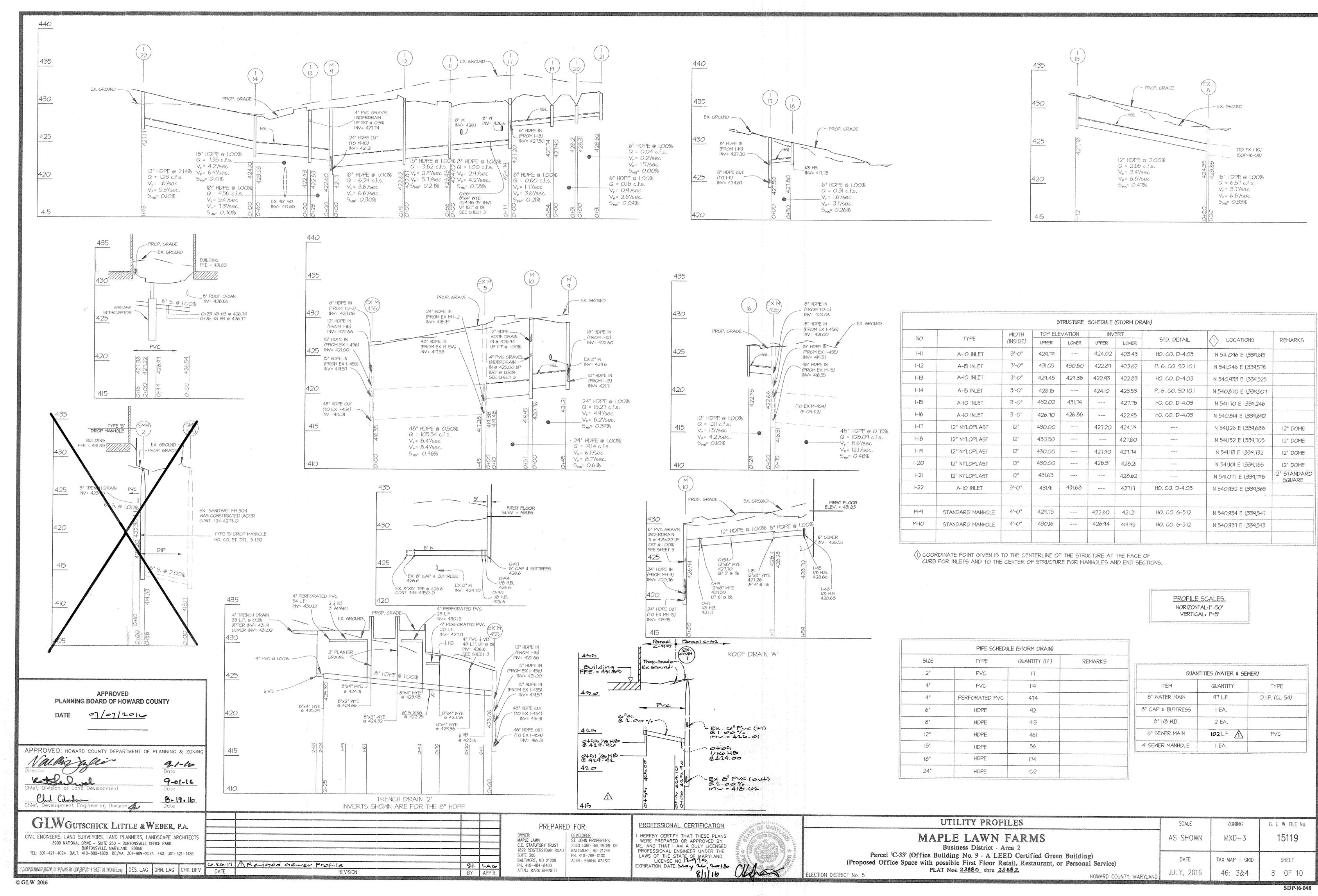
B-4-3 SEEDING AND MULCHING, AND SECTION B-4-4 TEMPORARY STABILIZATION. MULCH MUST BE ANCHORED TO PREVENT BLOWING. VEGETATIVE COVER: SEE SECTION B-4-4 TEMPORARY STABILIZATION.

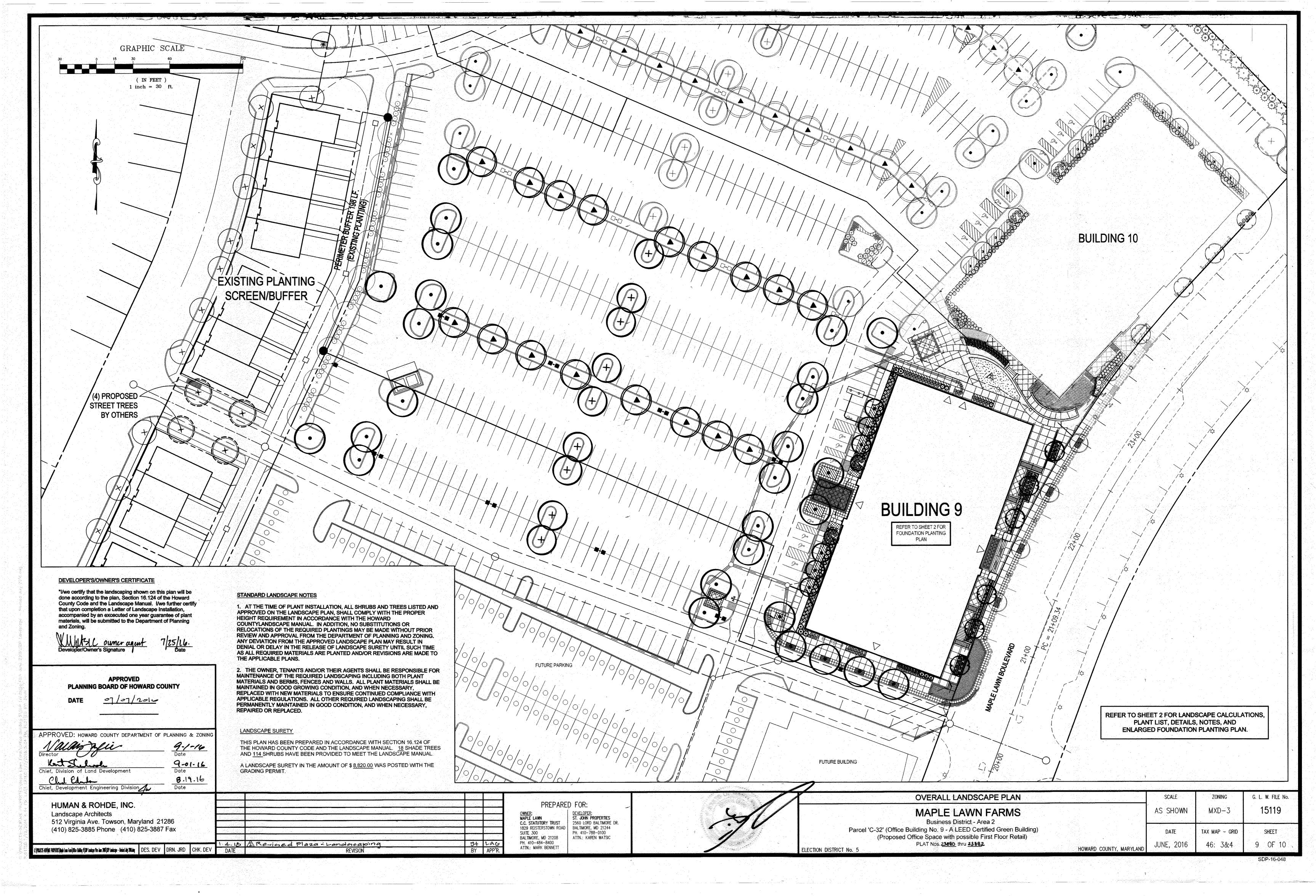
IRRIGATION: SPRINKLE SITE WITH WATER UNTIL THE SURFACE IS MOIST, REPEAT AS NEEDED. THE SIT MUST NOT BE IRRIGATED TO THE POINT THAT RUNOFF OCCURS. BARRIERS: SOLID BOARD FENCES, SILT FENCES, SNOW FENCES, BURLAP FENCES, STRAW BALES, AND

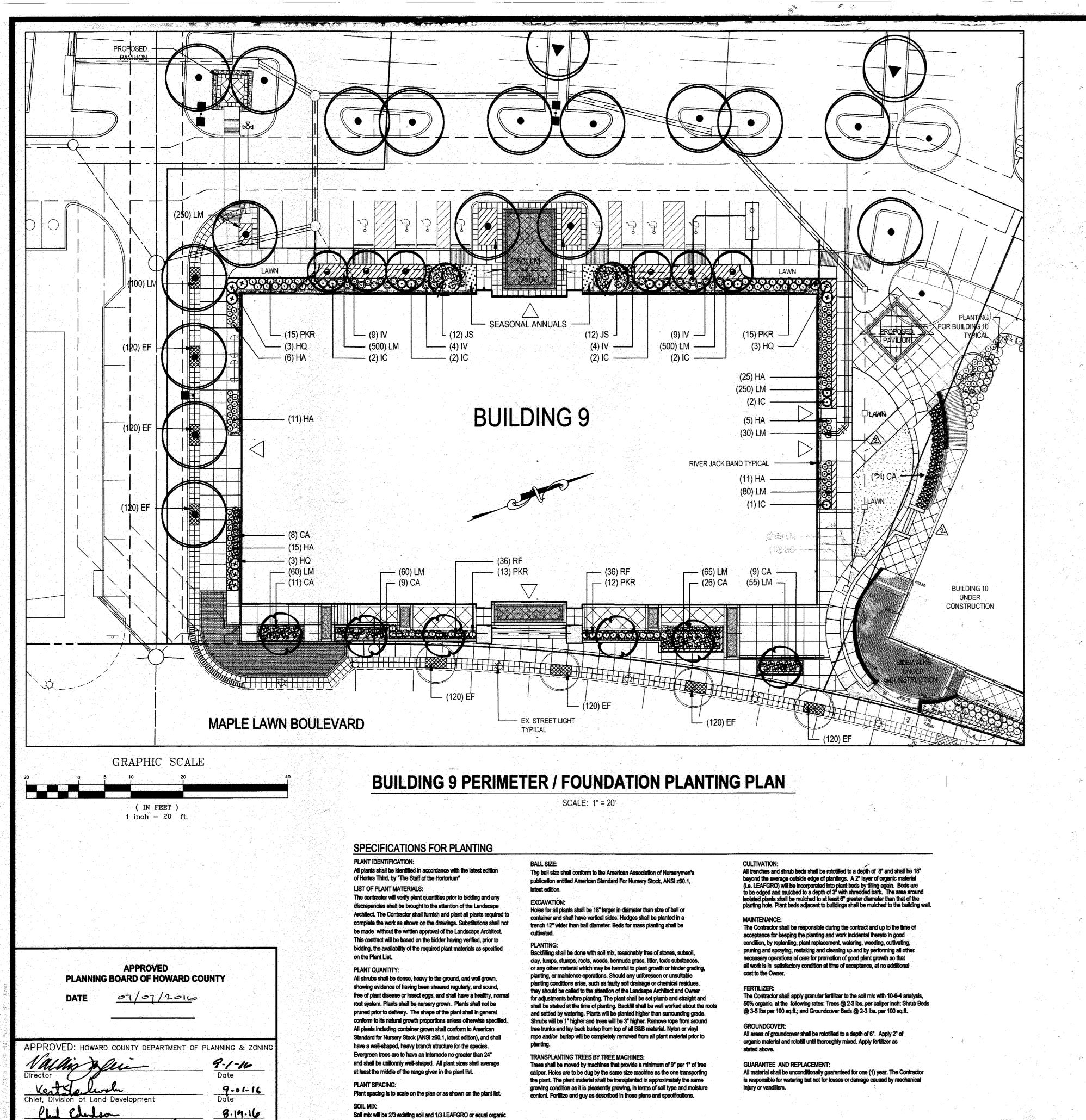
> SEDIMENT CONTROL NOTES and DETAILS SCALE MAPLE LAWN FARMS AS SHOWN Business District - Area 2

ZONING G. L. W. FILE No. 15119 MXD-3Parcel 'C-33' (Office Building No. 9 - A LEED Certified Green Building) TAX MAP - GRID SHEET (Proposed Office Space with possible First Floor Retail, Restaurant, or Personal Service) PLAT Nos. 23880 thru 23882 JULY, 2016 46: 3&4 OF 10 HOWARD COUNTY, MARYLAND

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PREPARED FOR:

C.C. STATUTORY TRUST

BALTIMORE, MD 21208

PH. 410-484-8400

ATTN.: MARK BENNETT

9+ LAG BY APP'R.

1.4.18 A Reviewed Plaza Planting Planting Lint

REVISION

DEVELOPER: ST. JOHN PROPERTIES

BALTIMORE, MD 21244

PH. 410-788-0100

ATTN.: KAREN WATSIC

2560 LORD BALTIMORE DR.

Chief, Development Engineering Division

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Landscape Architects

### **PLANT LIST** SIZE | CONDITION BOTANICAL NAME KEY COMMON NAME PARKING LOT & SWM PLANTING (SHEET L-1) ACER SACCHARUM 'GREEN MOUNTAIN' FULL HEAVY SPECIMEN, HEADED TO 7' HT. 2.5"-3" CAL GREEN MOUNTAIN SUGAR MAPLE PLATANUS X ACERIFOLIA 'BLOODGOOD' 2.5"-3" CAL FULL HEAVY SPECIMEN, HEADED TO 7' HT. BLOODGOOD LONDON PLANE TREE **ULMUS AMERICANA 'PRINCETON'** FULL HEAVY SPECIMEN, HEADED TO 7' HT. 2.5"-3" CAL PRINCETON AMERICAN ELM FOUNDATION PLANTING (THIS SHEET) LAGERSTROEMIA X FAUREII 'NATCHEZ" B&B FULL HEAVY SPECIMEN, 4 STEMS, MATCHED 18'-20' HT NATCHEZ CRAPEMYRTLE LAGERSTROEMIA X 'TUSCARORA' 12'-14' HT FULL HEAVY SPECIMEN, 4 STEMS, MATCHED TUSCARORA CRAPEMYRTLE MAGNOLIA VIRGINIANA 'MOONGLOW' FULL HEAVY SPECIMEN, CLUMP, MATCHED 12'-14' HT MOONGLOW SWEETBAY MAGNOLIA HYDRANGEA QUERCIFOLIA 'SNOW QUEEN' 2.5'-3' HT FULL, HEAVY, SPACED 4' O.C. SNOW QUEEN OAKLEAF HYDRANGEA HYPERICUM ANDROSAEMUM 'ALBURY PURPLE' FULL , HEAVY, SPACED 24" O.C. STAGGERED 18"-24" HT ALBURY PURPLE ST. JOHNSWORT ILEX CORNUTA 'DWARF BURFORD' FULL, SPACED 3-6" O.C. 2.5'-3' HT DWARF CHINESE HOLLY ITEA VIRGINICA 'LITTLE HENRY' FULL, SPACED 3"O.C. STAGGERED 2.5'-3' HT LITTLE HENRY SWEETSPIRE JUNIPERUS CONFERTA 'BLUE PACIFIC' FULL, SPACED 3' O.C. STAGGERED SPREAD BLUE PACIFIC JANPANESE SHORE JUNIPER CALAMAGROSTIS ACUTIFLORA 'KARL FOERSTERII' FULL, SPACED 30" O.C. STAGGERED KARL FOERSTER FEATHER REED GRASS PENNISETUM KARLEY ROSE FULL, SPACED 30" O.C. STAGGERED KARLEY ROSE FOUNTAIN GRASS LIRIOPE MUSCARI 'VARIEGATA' SPACED 8" O.C. (STAGGERED) VARIEGATED LILYTURF

ROOTED

**CUTTINGS** 

4" POTS

**FLATS** 

SPACED 6" O.C. (STAGGERED)

SPACED 12" O.C.

\* NOTE: NINE (9) CANOPY AND 17 ORNAMENTAL TREES ARE LOCATED ADJACENT TO PROPOSED BUILDING 9. THESE TREES
ARE NOT REQUIRED BY HOWARD COUNTY BUT ARE PROPOSED BY THE OWNER AS AN ADDITIONAL LANDSCAPE TREATMENT

### PLANTING NOTES:

- CONTRACTOR IS TO NOTIFY MISS UTILITY A MINIMUM OF 72 HOURS PRIOR TO DIGGING. TELEPHONE: 1-800-257-7777.
- THE LANDSCAPE ARCHITECT IS TO BE NOTIFIED 48 HOURS BEFORE PLANTING BEGINS. THE LOCATION OF ALL PLANT MATERIAL IS TO BE APPROVED IN THE FIELD BY THE LANDSCAPE ARCHITECT.

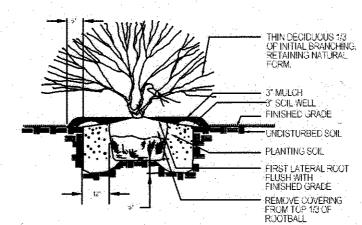
**EUONYMUS FORTUNEI 'COLORATUS'** 

PURPLELEAF WINTERCREEPER

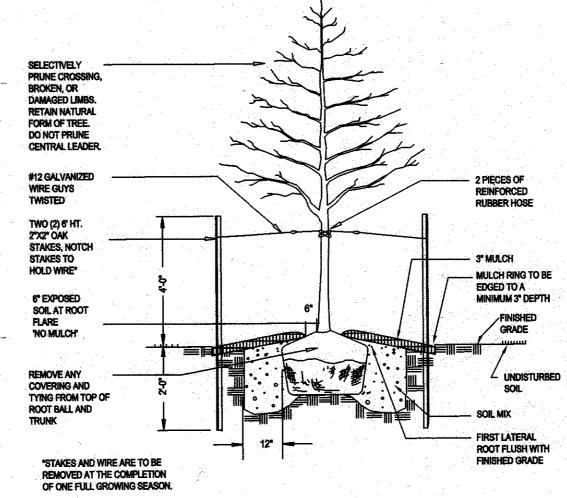
RUDBECKIA FULGIDA 'FULGIDA'

BLACK-EYED SUSAN

- THIS PLAN IS FOR PLANTING ONLY.
- 4. NO TREE OR SHRUB PLANTING PITS ARE TO BE LEFT OPEN OR UNATTENDED.
- 5. SHRUBS ARE TO BE GROUPED INTO MULCHED BEDS. BEDS ARE TO BE EDGED AND THE GRASS IS TO BE KILLED OR REMOVED PRIOR TO MULCHING.



PLANTING DETAIL FOR EVERGREEN
AND DECIDUOUS SHRUBS



PLANTING DETAIL FOR DECIDUOUS AND EVERGREEN
TREES\* - 1 - 4" CALIPER

# SCHEDULE A PERIMETER LANDSCAPE EDGE

| CATEGORY  | BUILDING LENGTH - REAR & SIDES  | PARKING ADJACENT TO RESIDENTIAL PROPERTIES  |
|---|---|---|
| LOCATION / USE SITUATION  | SIDES AND REAR OF BUILDING  | PARKING ADJACENT TO RESIDENTIAL   |
| LANDSCAPE BUFFER TYPE   | 1 SHRUB PER 4 LF OF BLDG LENGTH                                       | SHADE TREES AND LOW HEDGE REQ'D   |
| LINEAR FEET OF ROADWAY/<br>PERIMETER FRONTAGE / BUILDING  | 118' (SOUTH SIDE) + 118' (NORTH SIDE) + 220' (WEST SIDE) = 456' TOTAL | COMMERCIAL ADJACENT TO RESIDENTIAL<br>198 LF  |
| CREDIT FOR EX. VEGETATION<br>(YES, NO, LINEAR FEET)<br>(DESCRIBE BELOW IF NEEDED)                 | N/A   | YES - THE BUFFER WAS PLANTED BY<br>THE MASTER DEVELOPER WHEN THE<br>ADJACENT TOWNHOMES WERE BUILT |
| CREDIT FOR WALL, FENCE OR BERM<br>(YES, NO, LINEAR FEET)<br>(DESCRIBE BELOW IF NEEDED)            | N/A   | N/A   |
| NUMBER OF SHADE TREES REQUIRED<br>NUMBER OF EVERGREEN TREES REQUIRED<br>NUMBER OF SHRUBS REQUIRED | N/A<br>N/A<br>456' / 4 = 114 SHRUBS                                   | 1/40' = 5 REQUIRED<br>N/A<br>1/4' = 50 REQUIRED   |
| SHADE TREES PROVIDED<br>EVERGREEN TREES PROVIDED<br>SHRUBS PROVIDED                               | N/A<br>N/A<br>114+  | 7<br>N/A<br>32  |
| TOTAL SHRUBS PROVIDED   | 114+ SHRUBS   | TWO ADD'L SHADE TREES PROVIDED PLUS 32 SHRUBS   |

## SCHEDULE B PARKING LOT INTERNAL LANDSCAPING

| Number of Parking Spaces                         | 348                             |
|--|---------------------------------|
| Number of Trees Required (1/20 spaces)           | 18                              |
| Number of Trees Provided Shade Trees             | 48                              |
| Other Trees (2:1 substitution)                   | 0                               |
| Internal Islands Required (1/20 spaces @ 200 SF) | 348/20 = 18 @ 200 sf = 3,600 SF |
| Internal Islands Provided (Min. 200 Sf.)         | 44+                             |
|  |                                 |

FOUNDATION PLANTING PLAN, PLANTING LIST, DETAILS AND CALCULATIONS SCALE ZONING G. L. W. FILE No. AS SHOWN MAPLE LAWN FARMS MXD-3Business District - Area 2 Parcel 'C-32' (Office Building No. 9 - A LEED Certified Green Building) DATE TAX MAP - GRID SHEET (Proposed Office Space with possible First Floor Retail) PLAT Nos. 23880 thru 23882 46: 3&4 10 OF 10 HOWARD COUNTY, MARYLAND ELECTION DISTRICT No. 5

SDP-16-04