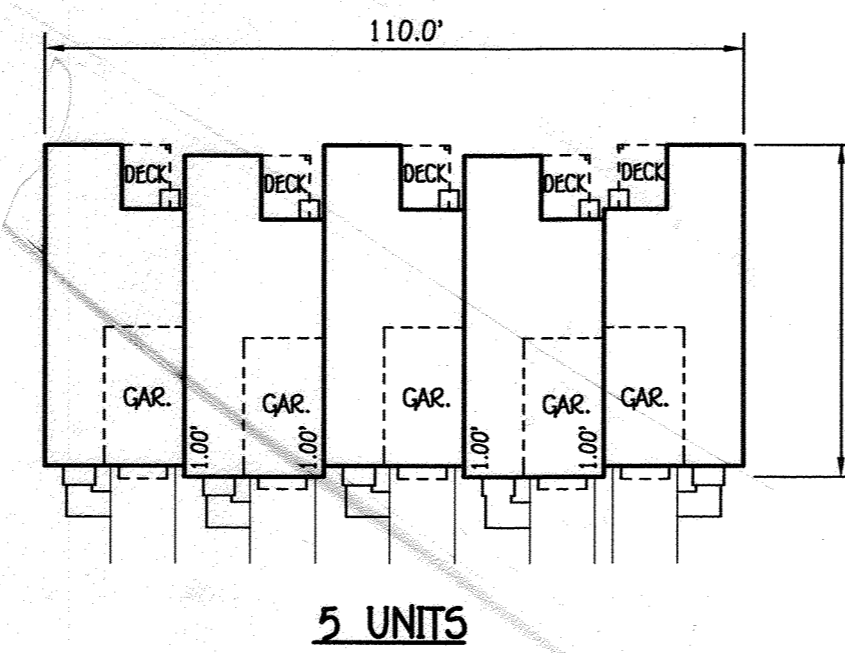
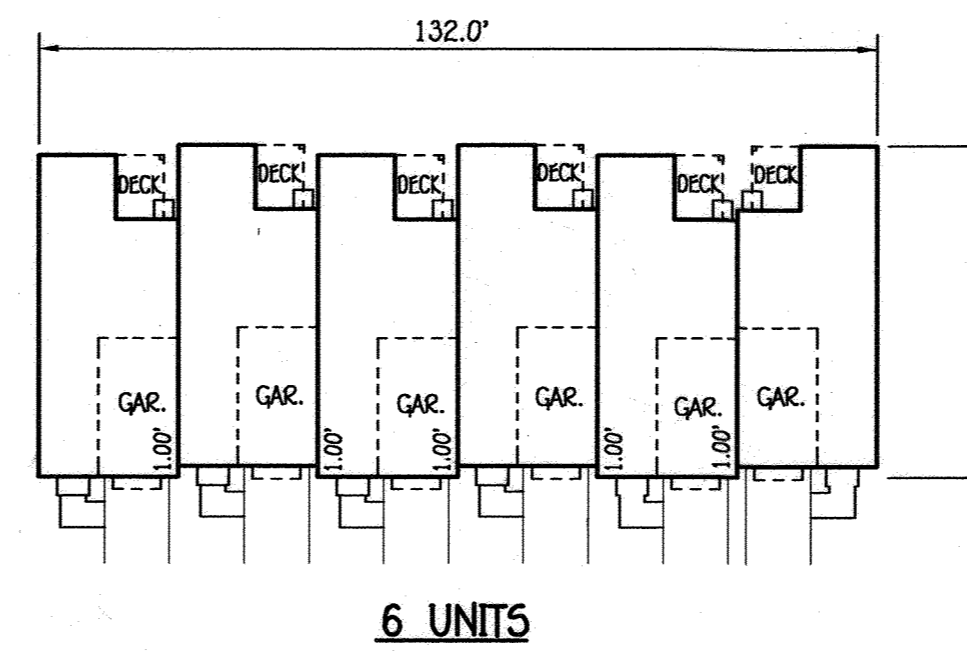


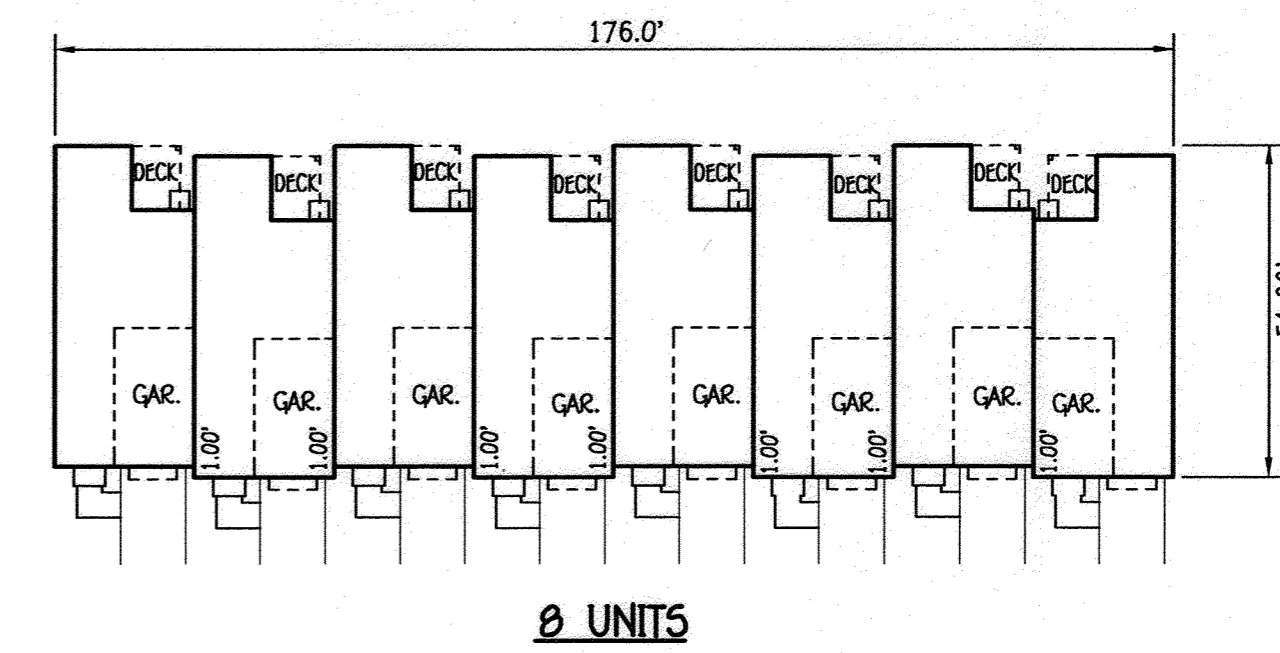
4 UNITS



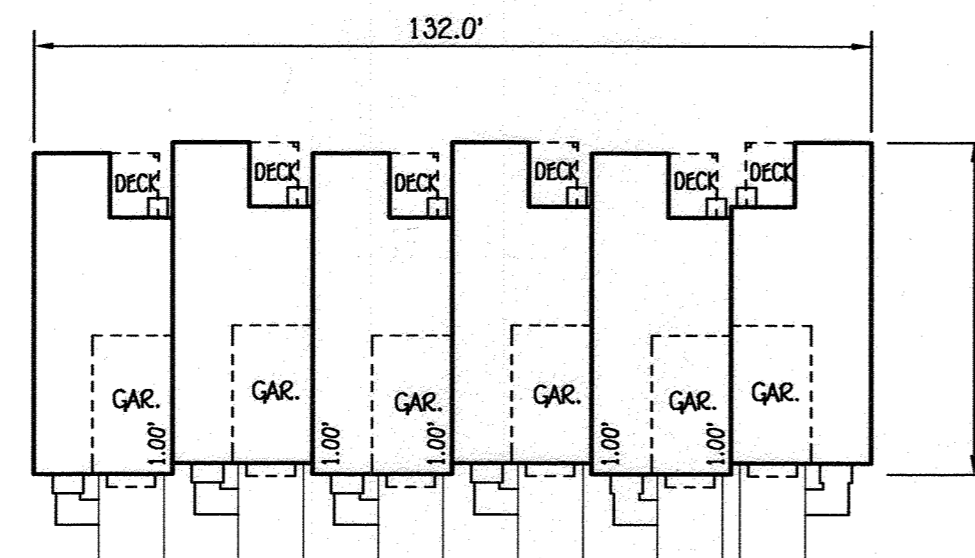
5 UNITS



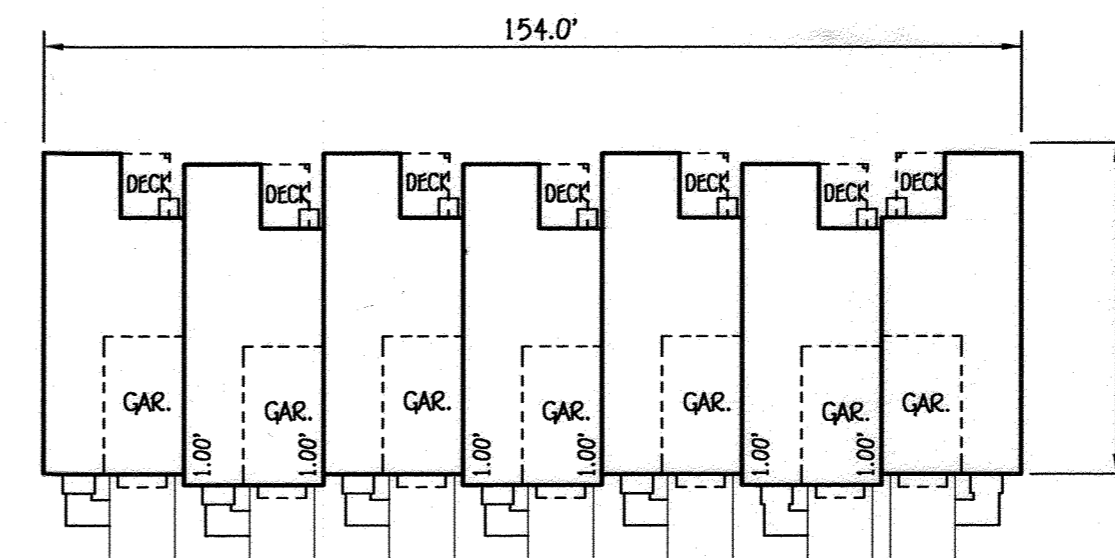
6 UNITS



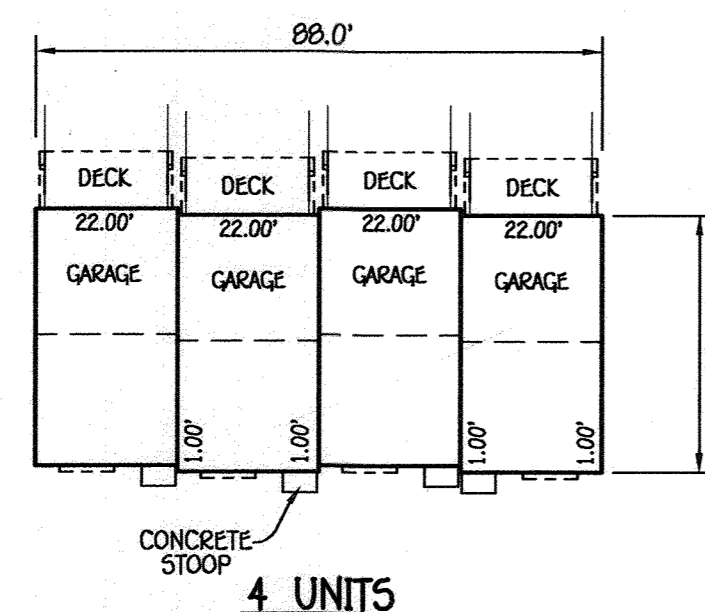
8 UNITS



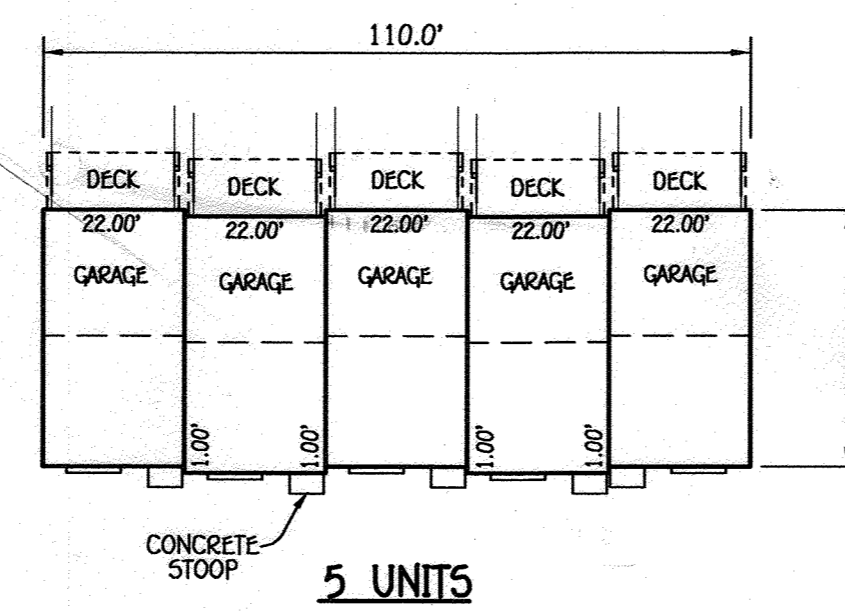
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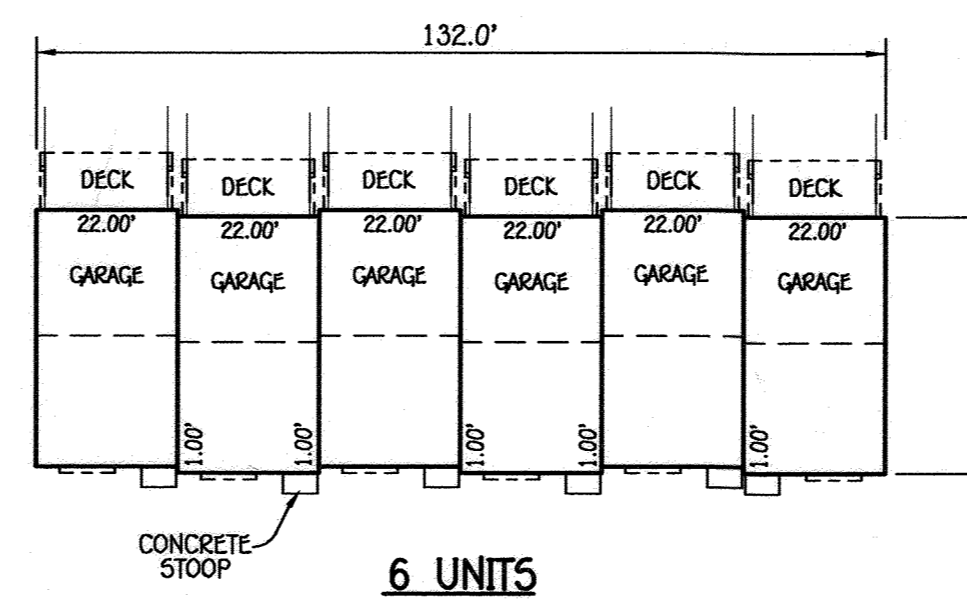
7 UNITS



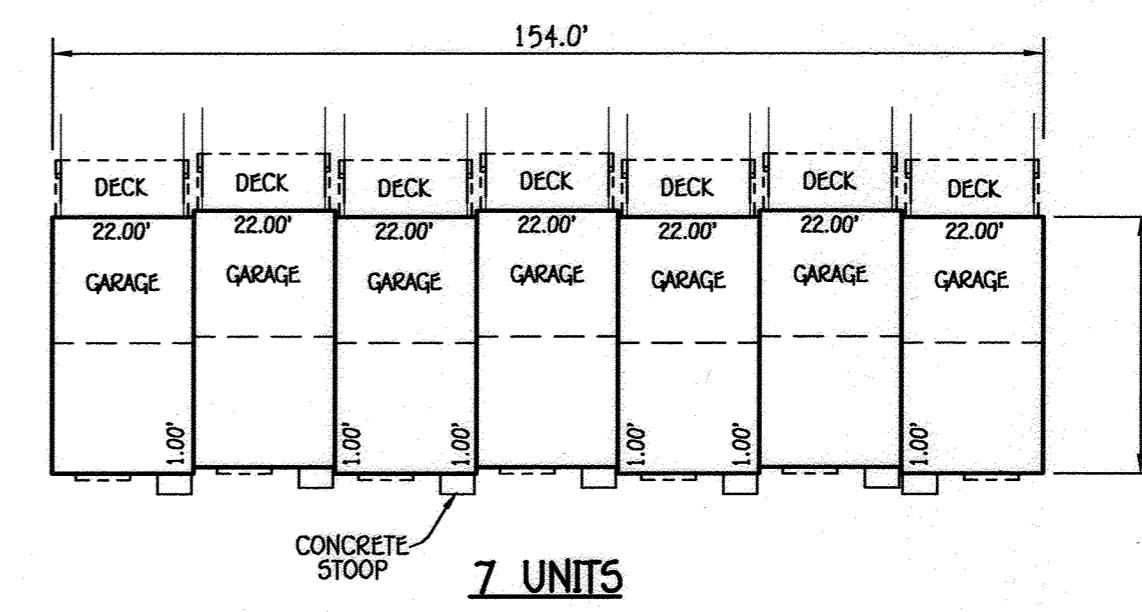
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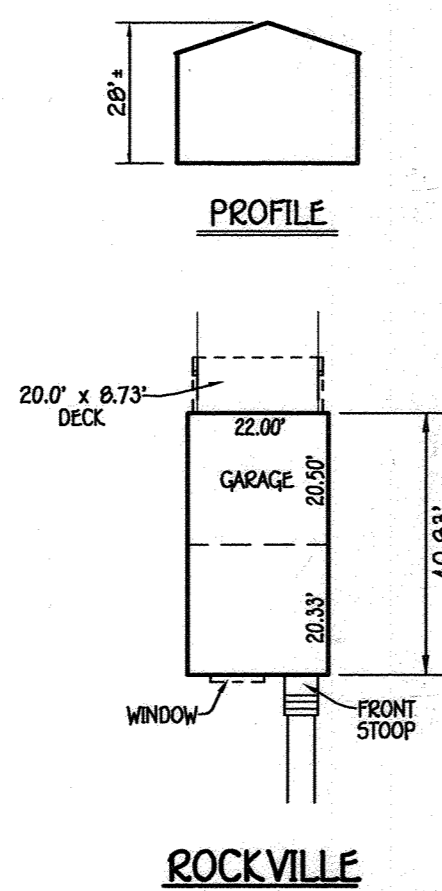
5 UNITS



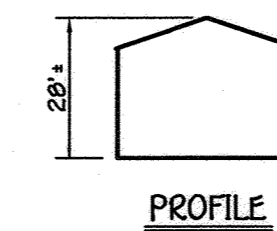
6 UNITS



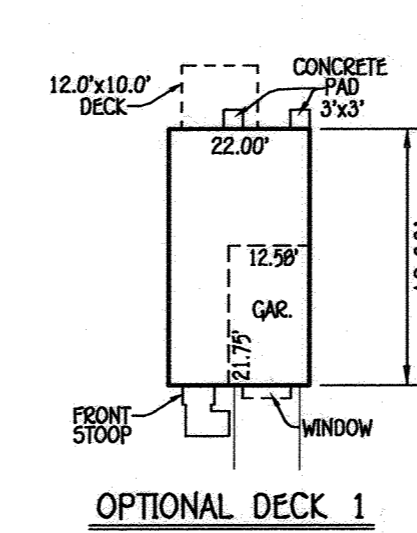
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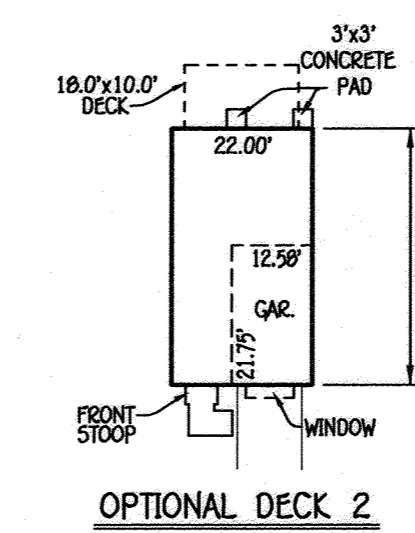
ROCKVILLE



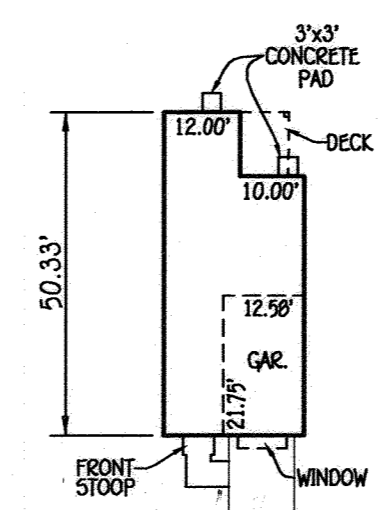
PROFILE



OPTIONAL DECK 1

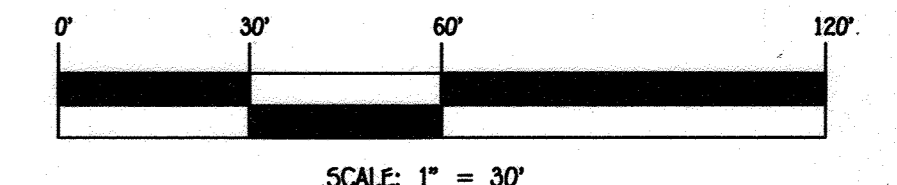


OPTIONAL DECK 2

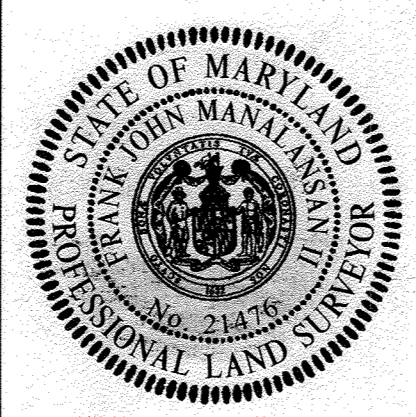


FREDERICK

AS-BUILT CERTIFICATION FOR PHASE VI  
 Note: There is no "AS BUILT" information provided on this sheet.  
 Charles Casanova P.E. 12/30/16 Date



FISHER, COLLINS & CARTER, INC.  
 CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS  
 CENTRAL SQUARE OFFICE PARK - 10272 BALTIMORE NATIONAL PIKE  
 ELKROTT CITY, MARYLAND 21042  
 (410) 461-2895



PROFESSIONAL CERTIFICATION  
 I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND THAT I AM A DULY LICENSED PROFESSIONAL SURVEYOR UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 21476, EXPIRATION DATE: 7/14/17.  
 Frank John Manulansan II 12/14/16 DATE  
 FRANK JOHN MANULANSAN II, L.S. NO. 21476

OWNER  
 C/O CDCG ASSET MANAGEMENT LLC  
 8989 E. HARTFORD DRIVE  
 SUITE 200  
 SCOTTSDALE, AZ 85255  
 ATTN: STEVEN S. BENSON  
 (480) 696-3733

DEVELOPER  
 BEAZER HOMES CORP  
 8965 GUILFORD ROAD  
 COLUMBIA, MD. 21046  
 ATTN: EDWARD GOLD  
 (410) 720-5071

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

Chief, Division of Land Development	11-4-16	Date
Chief, Development Engineering Division	11-2-16	Date
Director - Department of Planning and Zoning	12-17-16	Date

PROJECT	SECTION				
MORRIS PLACE	N/A				
PLAT	BLOCK NO.	ZONE	TAX/ZONE	ELEC. DIST.	CENSUS TR.
23909-23912	4	CAC & CLI	43	1	6069.02
WATER CODE	SEWER CODE				
C-02	7390000				

DETAIL SHEET

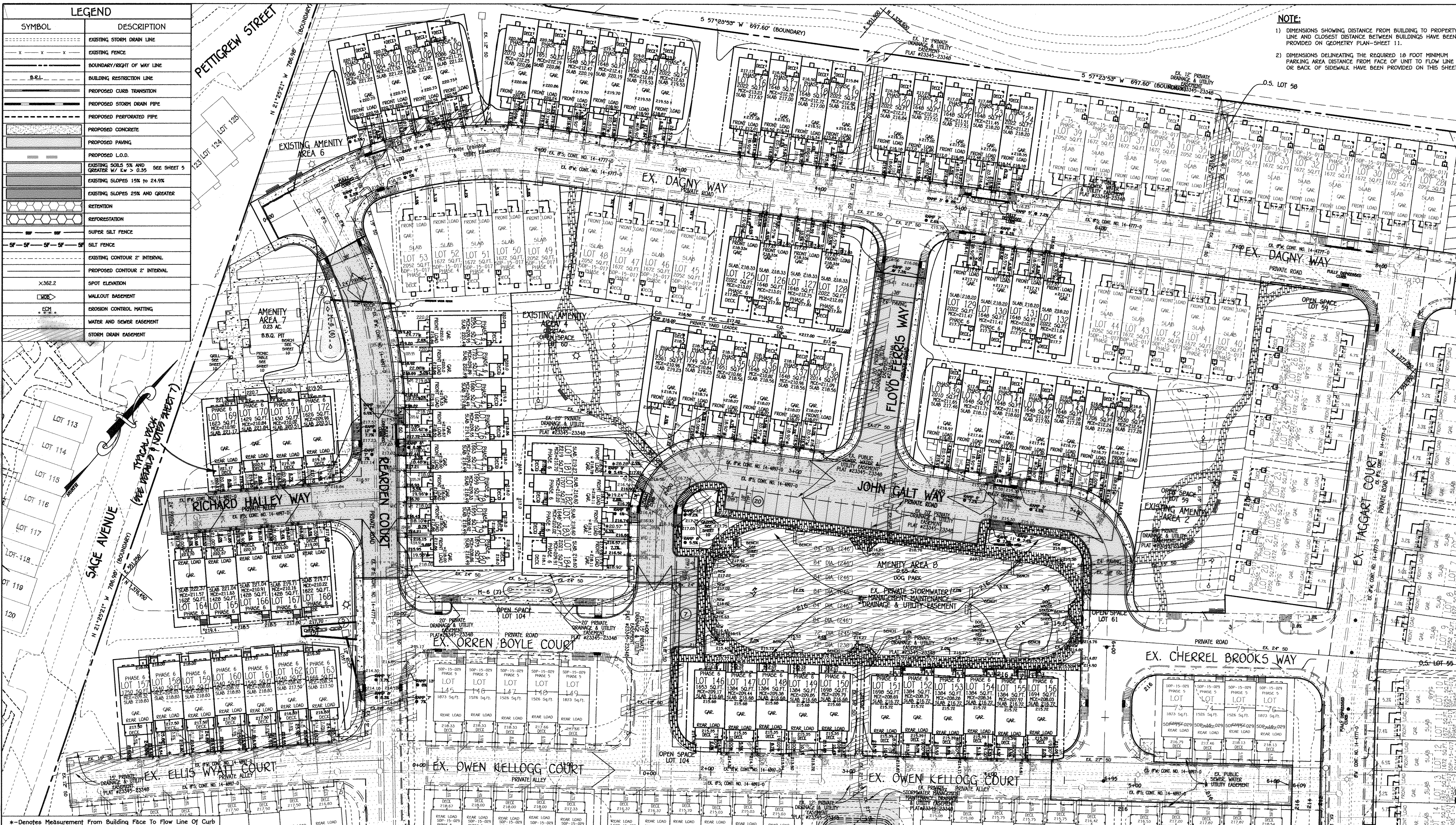
SINGLE FAMILY TOWNHOUSE  
 MORRIS PLACE  
 LOTS 106 THRU 184  
 AND OPEN SPACE LOTS 185 THRU 193  
 PHASE VI  
 ZONED: CAC & CLI

PREVIOUS HOWARD COUNTY FILES: ECP-13-035, S0P-02-148, S0P-91-50, S-10-02, P-13-001, WP-12-173, WP-14-068, F-14-028, F-15-047, F-16-017, S0P-15-017, S0P-15-029, W & S CONTR. NO. 14-4777-D AND CONTR. NO. 14-4897-D  
 TAX MAP NO.: 43 PARCEL NO.: 599 GRID NO.: 4  
 FIRST ELECTION DISTRICT HOWARD COUNTY, MARYLAND  
 SCALE: AS SHOWN DATE: SEPTEMBER, 2016  
 SHEET 2 OF 11

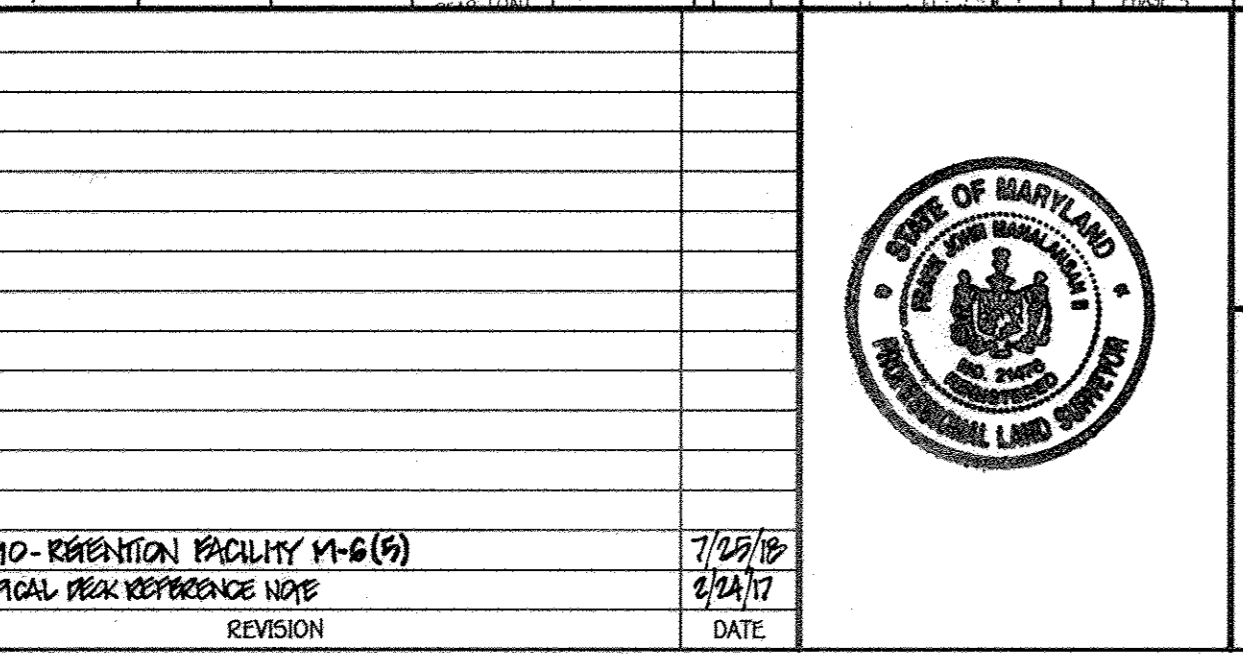
THERE IS NO "AS-BUILT" INFORMATION PROVIDED ON THIS SHEET

LEGEND	
SYMBOL	DESCRIPTION
	EXISTING STORM DRAIN LINE
	EXISTING FENCE
	BOUNDARY/RIGHT OF WAY LINE
	BUILDING RESTRICTION LINE
	PROPOSED CURB TRANSITION
	PROPOSED STORM DRAIN PIPE
	PROPOSED PERFORATED PIPE
	PROPOSED CONCRETE
	PROPOSED PAVING
	PROPOSED L.O.D.
	EXISTING SOILS 5% AND GREATER W/ KW > 0.35 SEE SHEET 5
	EXISTING SLOPES 15% TO 24.9%
	EXISTING SLOPES 25% AND GREATER
	RETENTION
	REFORESTATION
	SUPER SILT FENCE
	SILT FENCE
	EXISTING CONTOUR 2' INTERVAL
	PROPOSED CONTOUR 2' INTERVAL
	SPOT ELEVATION
	WALKOUT BASEMENT
	EROSION CONTROL MATTING
	WATER AND SEWER EASEMENT
	STORM DRAIN EASEMENT

**NOTE:**  
 1) DIMENSIONS SHOWING DISTANCE FROM BUILDING TO PROPERTY LINE AND CLOSEST DISTANCE BETWEEN BUILDINGS HAVE BEEN PROVIDED ON GEOMETRY PLAN-SHEET 11.  
 2) DIMENSIONS DELINEATING THE REQUIRED 18 FOOT MINIMUM PARKING AREA DISTANCE FROM FACE OF UNIT TO FLOW LINE OR BACK OF SIDEWALK HAVE BEEN PROVIDED ON THIS SHEET.



NO.	REVISION	DATE
1	REVISE 110-RETENTION FACILITY M-6(5)	7/25/16
2	ADD TYPICAL DECK REFERENCE NOTE	8/24/17



OWNER	DEVELOPER
C/O CDCG ASSET MANAGEMENT LLC 8959 E. HARTFORD DRIVE SUITE 200 SCOTTSDALE, AZ 85255 ATTN: STEVEN S. BANSON (480) 696-3733	BEAZER HOMES CORP 8965 GUILDFORD ROAD COLUMBIA, MD 21046 ATTN: EDWARD GOLD (410) 720-5071

PROJECT	SECTION	LOTS NO.
MORRIS PLACE	N/A	LOTS 106 THRU 184 AND OPEN SPACE
23909-23912	4	43

PLAT	BLOCK NO.	ZONE	TAX/ZONE	ELEC. DIST.	CENSUS TR.
23909-23912	4	CAC & CU	43	1	6069.02

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING	
Chief, Division of Land Development	11/4/16
Chief, Development Engineering Division	11-2-16
Director - Department of Planning and Zoning	12-17-16

**SITE DEVELOPMENT PLAN**  
**SINGLE FAMILY TOWNHOUSE**  
**MORRIS PLACE**  
 LOTS 106 THRU 184  
 AND OPEN SPACE LOTS 185 THRU 193  
 PHASE VI

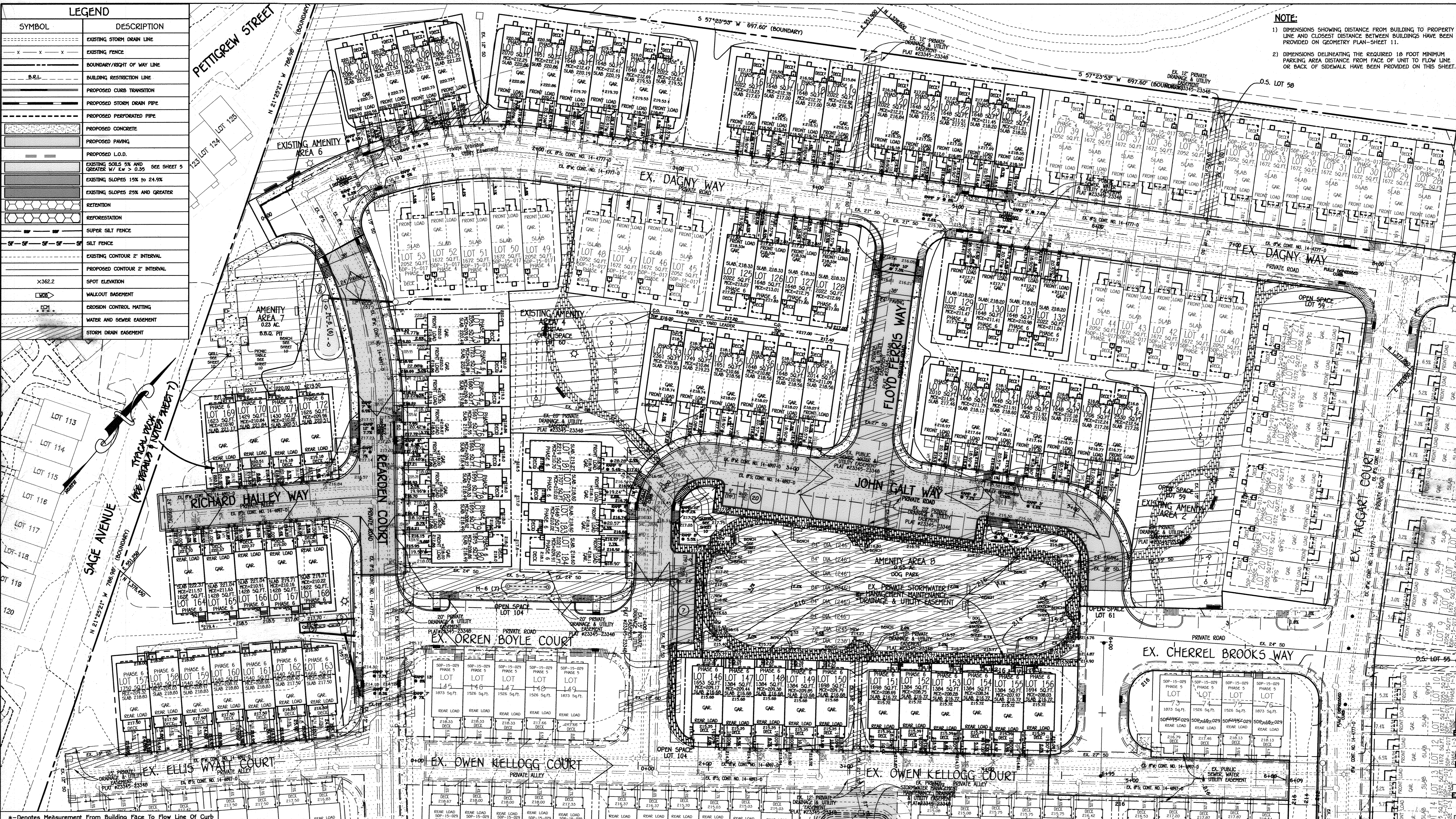
ZONED: CAC & CU  
 PREVIOUS HOWARD COUNTY FILES: SCP-13-035, SOP-02-149, SOP-01-50, 5-10-02, P-13-001, WP-12-173, WP-14-068, F-14-028, F-15-047, F-16-017, SOP-15-017, SOP-15-029, W & CONTR. NO. 14-4777-0 AND CONTR. NO. 14-4897-0  
 TAX MAP NO.: 43 PARCEL NO.: 599 GRID NO.: 4  
 FIRST ELECTION DISTRICT HOWARD COUNTY, MARYLAND  
 SCALE: 1" = 30' DATE: SEPTEMBER, 2016  
 SHEET 3 OF 11 **SOP 16-001**

**FISHER, COLLINS & CARTER, INC.**  
 CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS  
 CENTENNIAL SQUARE OFFICE PARK - 10072 BALTIMORE NATIONAL PIKE  
 ELICOTT CITY, MARYLAND 21042  
 (410) 481-0299



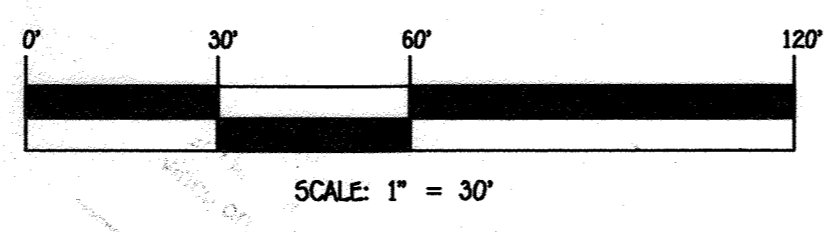
LEGEND	
SYMBOL	DESCRIPTION
	EXISTING STORM DRAIN LINE
	EXISTING FENCE
	BOUNDARY/RIGHT OF WAY LINE
	BUILDING RESTRICTION LINE
	PROPOSED CURB TRANSITION
	PROPOSED STORM DRAIN PIPE
	PROPOSED PERFORATED PIPE
	PROPOSED CONCRETE
	PROPOSED PAVING
	PROPOSED L.O.D.
	EXISTING SOILS 5% AND GREATER W/ Kw > 0.35 SEE SHEET 5
	EXISTING SLOPES 15% TO 24.9%
	EXISTING SLOPES 25% AND GREATER
	RETENTION
	REFORESTATION
	SUPER SILT FENCE
	SILT FENCE
	EXISTING CONTOUR 2' INTERVAL
	PROPOSED CONTOUR 2' INTERVAL
	SPOT ELEVATION
	WALKOUT BASEMENT
	EROSION CONTROL MATTING
	WATER AND SEWER EASEMENT
	STORM DRAIN EASEMENT

- NOTE:**
- 1) DIMENSIONS SHOWING DISTANCE FROM BUILDING TO PROPERTY LINE AND CLOSEST DISTANCE BETWEEN BUILDINGS HAVE BEEN PROVIDED ON GEOMETRY PLAN-SHEET 11.
  - 2) DIMENSIONS DELINEATING THE REQUIRED 10 FOOT MINIMUM PARKING AREA DISTANCE FROM FACE OF UNIT TO FLOW LINE OR BACK OF SIDEWALK HAVE BEEN PROVIDED ON THIS SHEET.



NO.	REVISION	DATE
1	REVISE PRO-RETENTION FACILITY M-6(6)	7/29/18
2	REVISE TRAILER TRUCK RESPONSE NOTE	8/24/17

NO.	REVISION	DATE
1	REVISE PRO-RETENTION FACILITY M-6(6)	7/29/18
2	REVISE TRAILER TRUCK RESPONSE NOTE	8/24/17



**AS-BUILT CERTIFICATION FOR SDP-01**

Note: There is no "AS-BUILT" information provided on this sheet.

*Charles J. Connor* Date: 12/12/18  
 CHASE J. CONNOR, P.E. Date: 12/12/18

**PROFESSIONAL CERTIFICATION**

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND THAT I AM A DULY LICENSED PROFESSIONAL SURVEYOR UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 21476, EXPIRATION DATE: 7/14/17.

*Frank John Manklavian II* 10/18/16  
 FRANK JOHN MANKLAVIAN II, L.S. NO. 21476

**OWNER**  
 C/O CDCX ASSET MANAGEMENT LLC  
 8509 E. HARTFORD DRIVE  
 SUITE 200  
 SCOTTSDALE, AZ 85255  
 ATTN: STEVEN S. BENSON  
 (480) 696-3733

**DEVELOPER**  
 BEAZER HOMES CORP  
 9905 GUILFORD ROAD  
 COLUMBIA, MD 21046  
 ATTN: EDWARD GOLD  
 (410) 720-5071

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

*Kent S. Law* 11-4-16  
 Chief, Division of Land Development Date

*John Galt* 11-2-16  
 Chief, Development Engineering Division Date

*W. J. King* 12-17-16  
 Director - Department of Planning and Zoning Date

PROJECT	SECTION	LOTS NO.
MORRIS PLACE	N/A	LOTS 106 THRU 184 AND OPEN SPACE LOTS 105 THRU 193
PLAT	BLOCK NO.	ZONE
2349-23912	4	CAC & CLI
TAX/ZONE	TAX-ZONE	ELEC. DIST.
43	43	6069.02
WATER CODE	SEWER CODE	
C-02	7390000	

**SITE DEVELOPMENT PLAN**

**SINGLE FAMILY TOWNHOUSE MORRIS PLACE**  
 LOTS 106 THRU 184  
 AND OPEN SPACE LOTS 105 THRU 193  
 PHASE VI  
 ZONED: CAC & CLI

PREVIOUS HOWARD COUNTY FILES: ECP-13-035, S0P-02-140, S0P-91-50, S-10-02, P-13-001, WP-12-173, WP-14-060, F-14-020, F-15-047, F-16-017, S0P-15-017, S0P-15-029, W & S CONTR. NO. 14-4777-D AND CONTR. NO. 14-4897-D

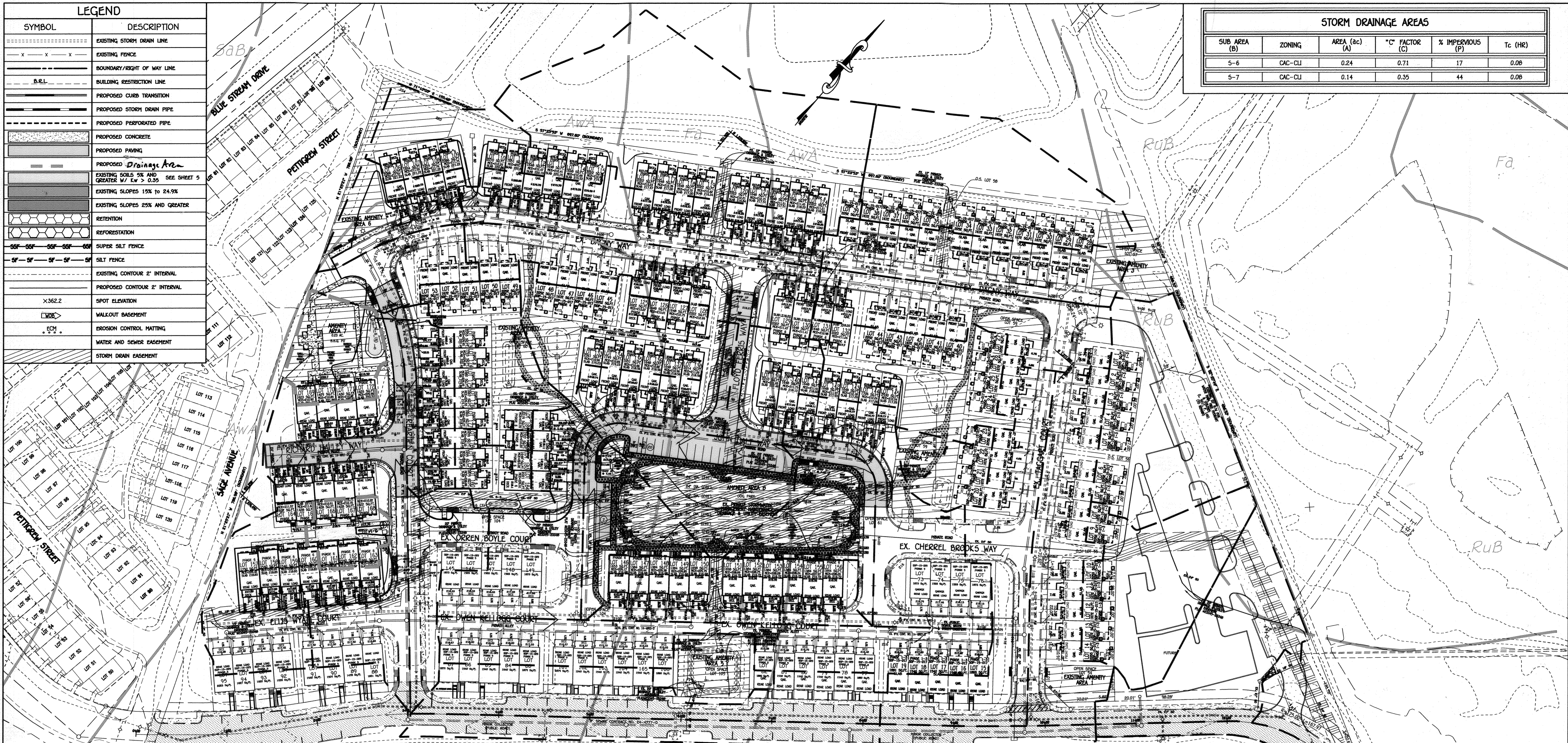
TAX MAP NO. 43 PARCEL NO. 599 GRID NO. 4  
 FIRST ELECTION DISTRICT HOWARD COUNTY, MARYLAND  
 SCALE: 1" = 30' DATE: SEPTEMBER, 2016  
 SHEET 3 OF 11 SDP 16-001

THERE IS NO "AS-BUILT" INFORMATION PROVIDED ON THIS SHEET



LEGEND	
SYMBOL	DESCRIPTION
-----	EXISTING STORM DRAIN LINE
-x-x-x-	EXISTING FENCE
-----	BOUNDARY/RIGHT OF WAY LINE
B.R.L.	BUILDING RESTRICTION LINE
-----	PROPOSED CURB TRANSITION
-----	PROPOSED STORM DRAIN PIPE
-----	PROPOSED PERFORATED PIPE
-----	PROPOSED CONCRETE
-----	PROPOSED PAVING
-----	PROPOSED Drainage Area
-----	EXISTING SOILS 2% AND GREATER W/ $K_w > 0.35$
-----	EXISTING SLOPES 15% TO 24.9%
-----	EXISTING SLOPES 25% AND GREATER
-----	RETENTION
-----	REFORESTATION
-----	SUPER SILT FENCE
-----	SILT FENCE
-----	EXISTING CONTOUR 2' INTERVAL
-----	PROPOSED CONTOUR 2' INTERVAL
x.362.2	SPOT ELEVATION
-----	WALKOUT BASEMENT
-----	EROSION CONTROL MATING
-----	WATER AND SEWER EASEMENT
-----	STORM DRAIN EASEMENT

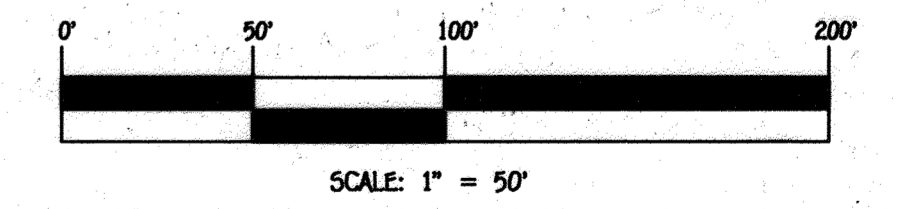
STORM DRAINAGE AREAS					
SUB AREA (B)	ZONING	AREA (ac) (A)	"C" FACTOR (C)	% IMPERVIOUS (P)	Tc (HR)
5-6	CAC-CLU	0.24	0.71	17	0.08
5-7	CAC-CLU	0.14	0.35	44	0.08



SOILS LEGEND		
SOIL	NAME	CLASS
AWB	ALLOWAY SILT LOAM, 2 TO 5 PERCENT SLOPES	B
GFC	GLADSTONE-URBAN LAND COMPLEX, 0 TO 15 PERCENT SLOPES	B
UFA	URBAN LAND-FALLSINGTON COMPLEX, 0 TO 2 PERCENT SLOPES	B/D
UTD	URBAN LAND-UOORNTMENTS COMPLEX, 0 TO 15 PERCENT SLOPES	A

NOTES:  
 \* HYDRIC SOILS AND/OR CONTAINS HYDRIC INCLUSIONS  
 \*\* MAY CONTAIN HYDRIC INCLUSIONS  
 † GENERALLY ONLY WITHIN 100-YEAR FLOODPLAIN AREAS

Note: There is no "AS-BUILT" information provided on this sheet.  
 CHARLES J. GAVOS, P.E. 12/18/20  
 Date



**FISHER, COLLINS & CARTER, INC.**  
 CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS  
 CENTENNIAL SQUARE OFFICE PARK - 10272 BALTIMORE NATIONAL PIKE  
 ELICOTT CITY, MARYLAND 21042  
 (410) 461-2299

NO.	REVISION	DATE
1	REMOVE BIO-RETENTION FACILITY M.E.(S)	7/25/18

STATE OF MARYLAND  
 PROFESSIONAL ENGINEER  
 LICENSE NO. 21476

**PROFESSIONAL CERTIFICATION**  
 I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND THAT I AM A DULY LICENSED PROFESSIONAL SURVEYOR UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 21476, EXPIRATION DATE: 7/14/17.

FRANK JOHN MANUJANSKI II, L.S. NO. 21476

**OWNER**  
 CDCG38ZHP  
 C/O CDCG ASSET MANAGEMENT LLC  
 8985 E. HARTFORD DRIVE  
 SUITE 200  
 SCOTTSDALE, AZ. 85255  
 ATTN: STEVEN S. BENSON  
 (480) 696-3733

**DEVELOPER**  
 BEAZER HOMES CORP  
 8965 GUILFORD ROAD  
 COLUMBIA, MD. 21046  
 ATTN: EDWARD GOLD  
 (410) 720-5071

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

Chief, Division of Land Development: *Kat Seaton* 11-4-16 Date

Chief, Development Engineering Division: *Michael* 11-2-16 Date

Director - Department of Planning and Zoning: *Valerie* 12-7-16 Date

PROJECT: MORRIS PLACE SECTION: N/A LOTS NO. AND OPEN SPACE: LOTS 106 THRU 184 AND LOTS 189 THRU 193 CENSUS TR.: 6069.02

PLAT: 23909-23912 BLOCK NO.: 4 ZONE: CAC & CLU TAX/ZONE: 43 ELEC. DIST.: 1 CENSUS TR.: 6069.02

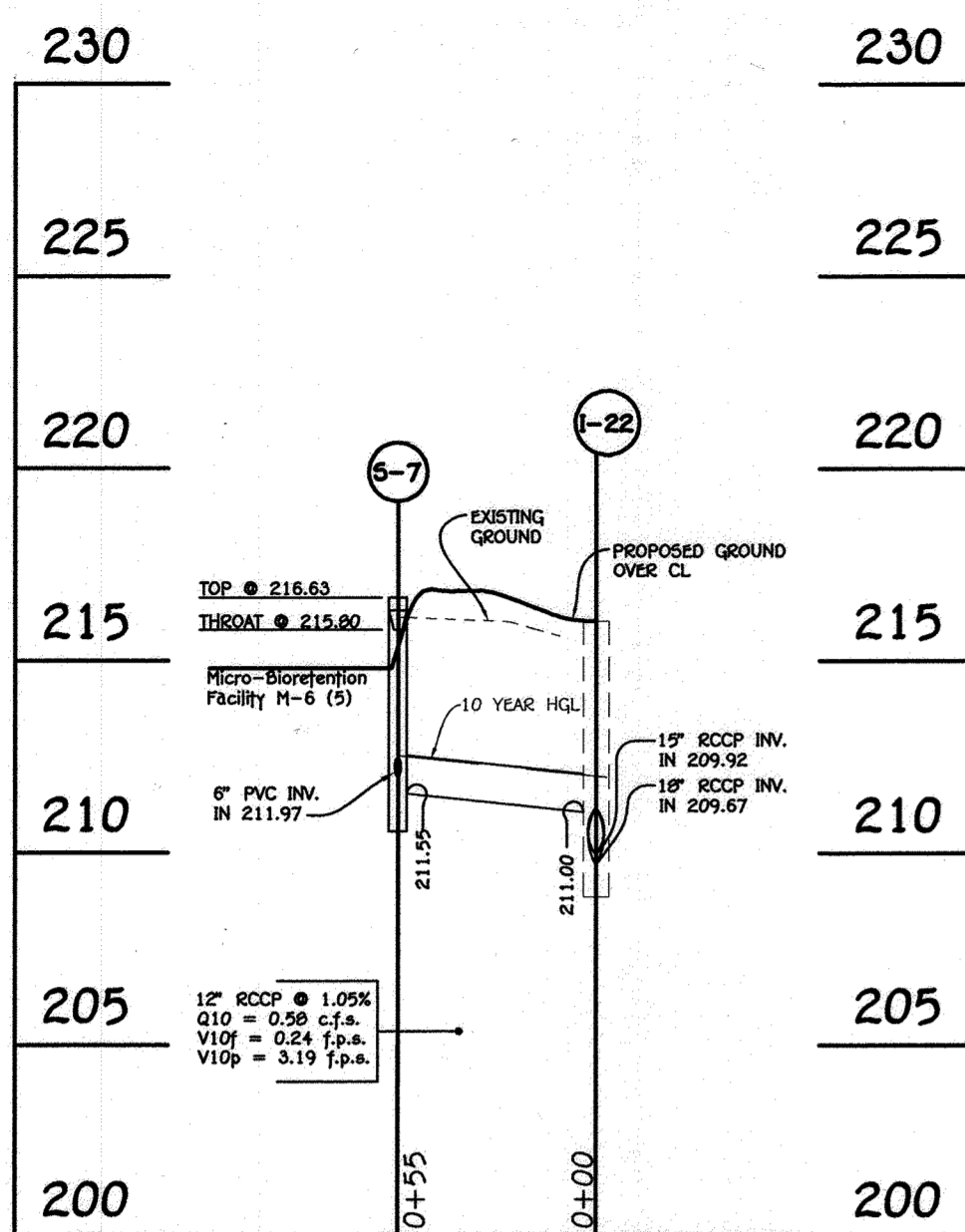
WATER CODE: C-02 SEWER CODE: 7390000

**STORM DRAIN DRAINAGE AREA MAP & SOILS MAP**

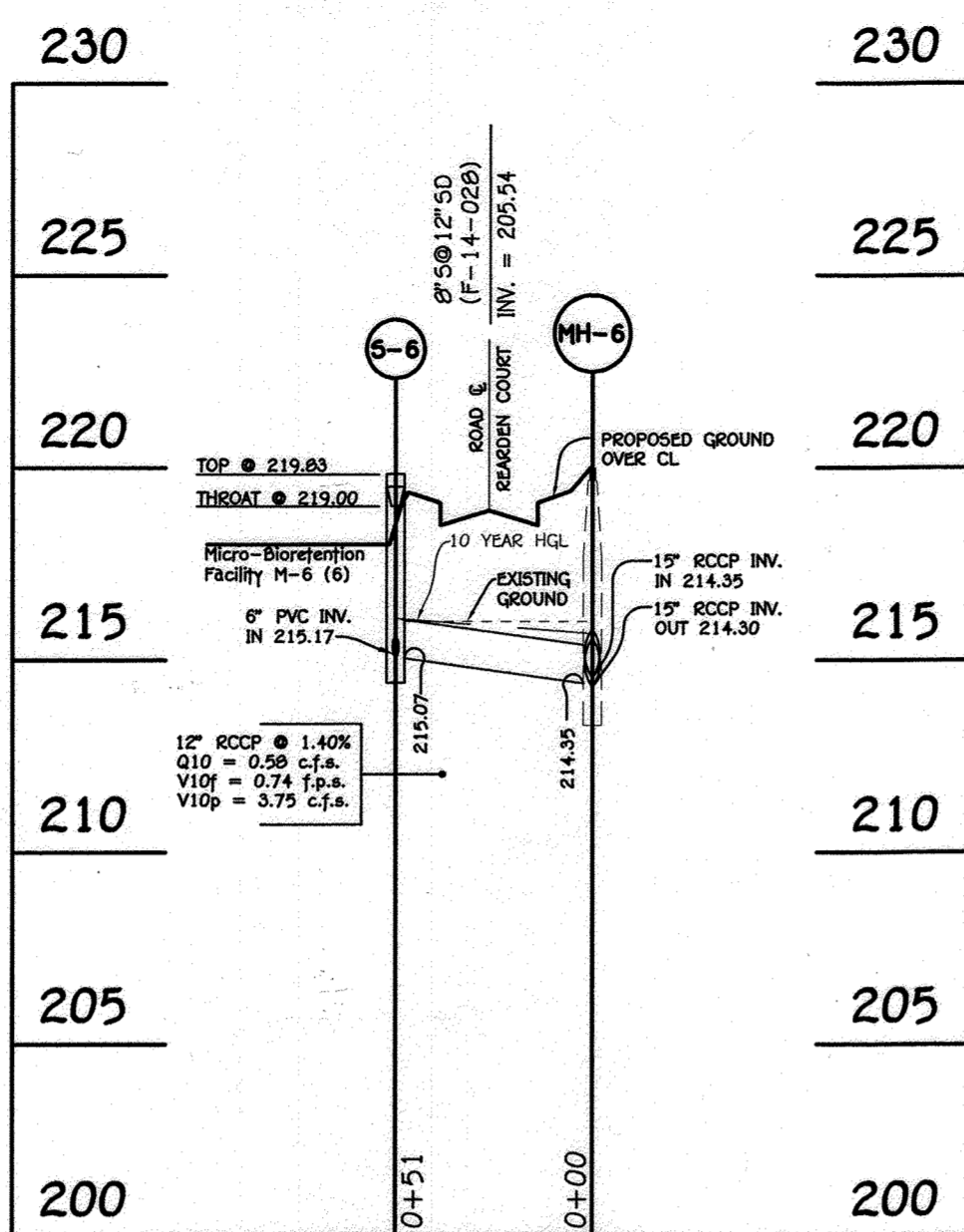
**SINGLE FAMILY TOWNHOUSE MORRIS PLACE**  
 LOTS 106 THRU 184  
 AND OPEN SPACE LOTS 185 THRU 193  
 PHASE VI  
 ZONED: CAC & CLU

PREVIOUS HOWARD COUNTY FILES: ECP-13-035, SDP-82-148, SDP-91-50, 5-10-02, P-13-001, WP-12-173, WP-14-068, F-14-026, F-15-047, F-16-017, SDP-15-017, SDP-15-029, W & S CONTR. NO. 14-4777-D AND CONTR. NO. 14-4897-D  
 TAX MAP NO.: 43 PARCEL NO.: 599 GRID NO.: 4  
 FIRST ELECTION DISTRICT: HOWARD COUNTY, MARYLAND  
 SCALE: 1" = 50' DATE: SEPTEMBER, 2016  
 SHEET 6 OF 11 SDP 16-001

THERE IS NO "AS-BUILT" INFORMATION PROVIDED ON THIS SHEET

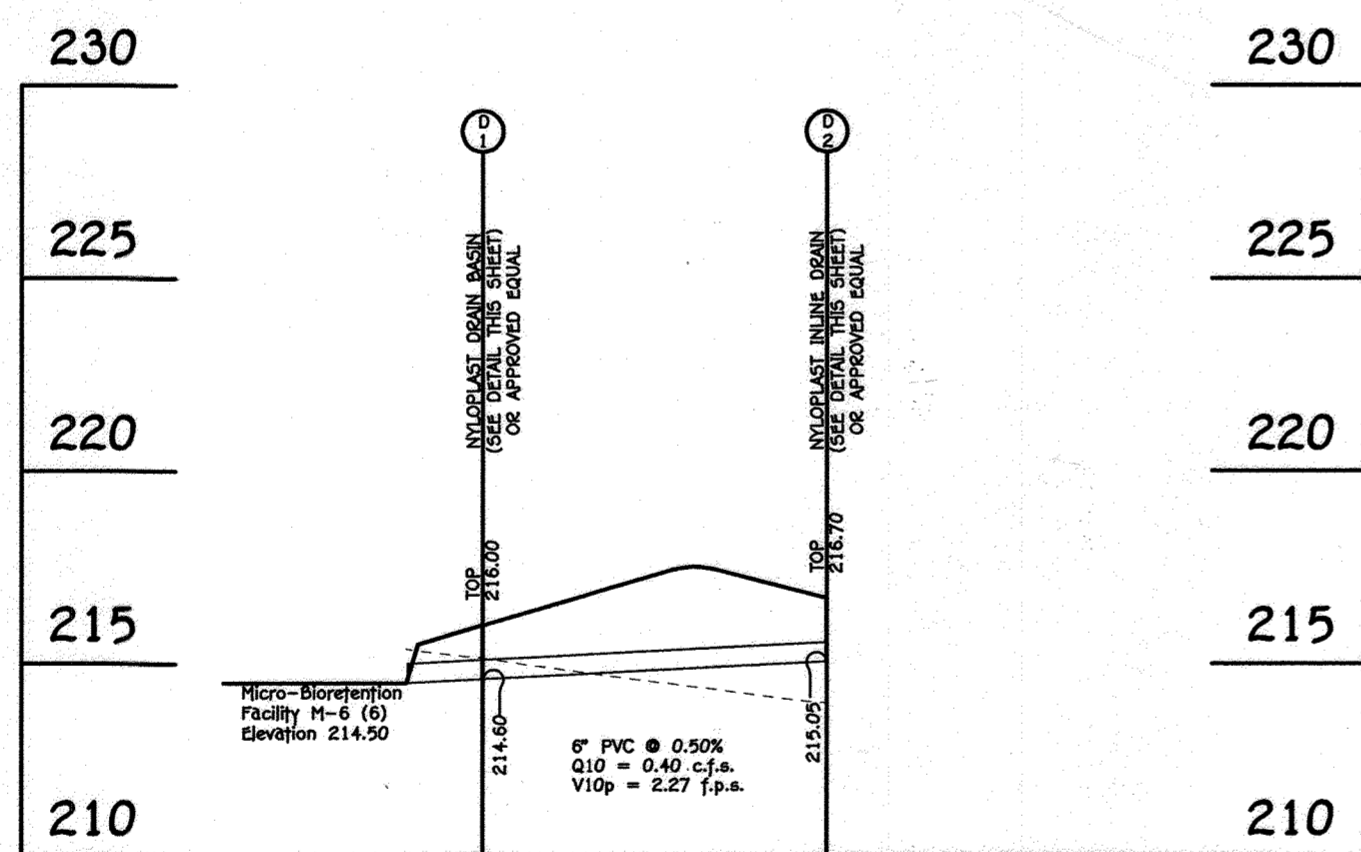


PROFILE  
SCALE: HORIZ. 1"=50'  
VERT. 1"=5'



PROFILE  
SCALE: HORIZ. 1"=50'  
VERT. 1"=5'

LEGEND	
SYMBOL	DESCRIPTION
-----	EXISTING STORM DRAIN LINE
-x-x-x-	EXISTING FENCE
----	BOUNDARY/RIGHT OF WAY LINE
-----	B.R.L.
-----	PROPOSED CURB TRANSITION
-----	PROPOSED STORM DRAIN PIPE
-----	PROPOSED PERFORATED PIPE
-----	PROPOSED CONCRETE
-----	PROPOSED PAVING
-----	PROPOSED L.O.D.
-----	EXISTING SOILS 5% AND GREATER W/ K <sub>v</sub> > 0.35 SEE SHEET 5
-----	EXISTING SLOPES 15% TO 24.9%
-----	EXISTING SLOPES 25% AND GREATER
-----	RETENTION
-----	REFORESTATION
-----	SUPER SILT FENCE
SF-SF-SF-SF-SF	SILT FENCE
-----	EXISTING CONTOUR 2' INTERVAL
-----	PROPOSED CONTOUR 2' INTERVAL
x362.2	SPOT ELEVATION
WOB	WALKOUT BASEMENT
ECM	EROSION CONTROL MATTING
-----	WATER AND SEWER EASEMENT
-----	STORM DRAIN EASEMENT



PROFILE  
SCALE: HORIZ. 1"=50'  
VERT. 1"=5'

SIZE	CLASS	LENGTH
12"	RCCP	106'
6"	Schedule 40 PVC	117'
6"	Perforated Schedule 40 PVC	94'

NOTE: HDPE MAY BE SUBSTITUTED WITH RCCP, CL. IV PIPE MATERIAL.

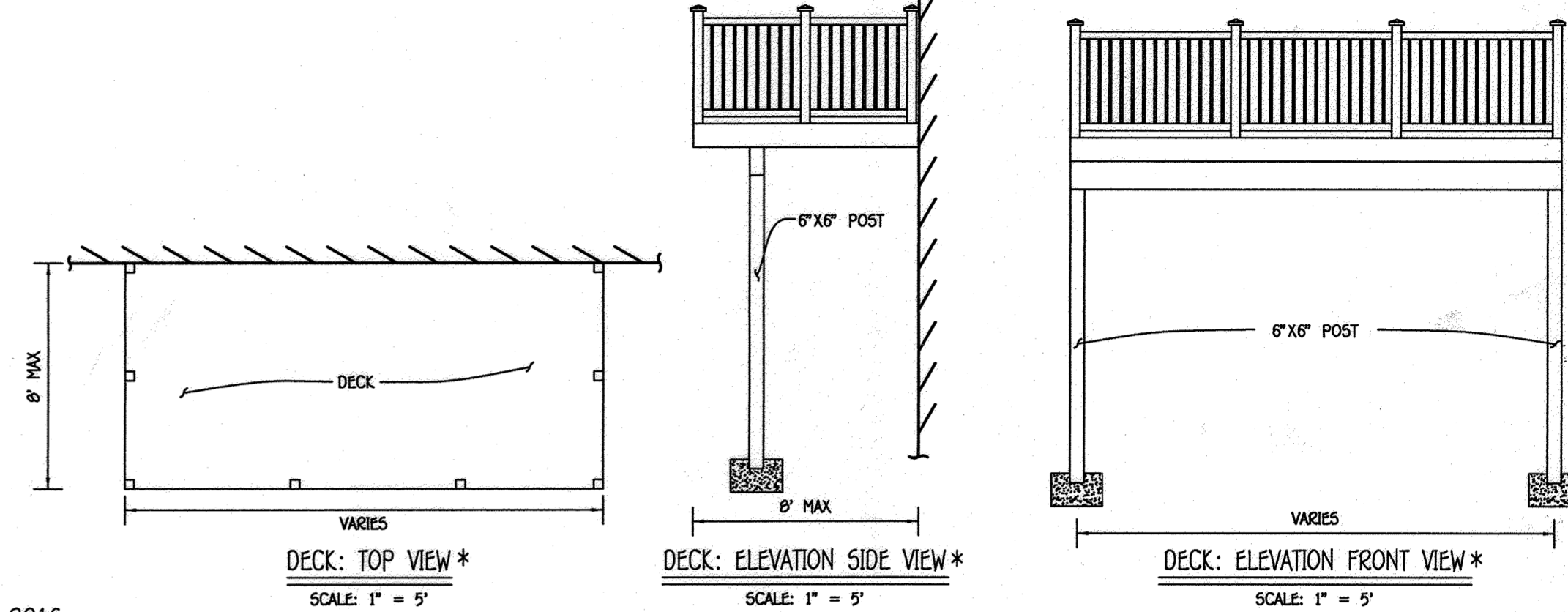
**DECK WAIVER REFERENCE NOTE**

BY LETTER DATED DECEMBER 13, 2016, MR. THOMAS BUTLER, DEPUTY DIRECTOR, DEPARTMENT OF PUBLIC WORKS, APPROVED A WAIVER ALLOWING THE CONSTRUCTION OF A DECK, 8' DEEP MAXIMUM, ON LOTS 68 THRU 95, LOTS 146 THRU 155 & LOTS 164 THRU 172, WHICH PROTRUDES A MAXIMUM OF 5' INTO THE 10' STRUCTURE SETBACK FROM THE PUBLIC SEWER, WATER & UTILITY EASEMENT AND WHICH PROTRUDES A MAXIMUM OF 7' INTO THE STRUCTURE SETBACK FOR LOTS 157 THRU 163.

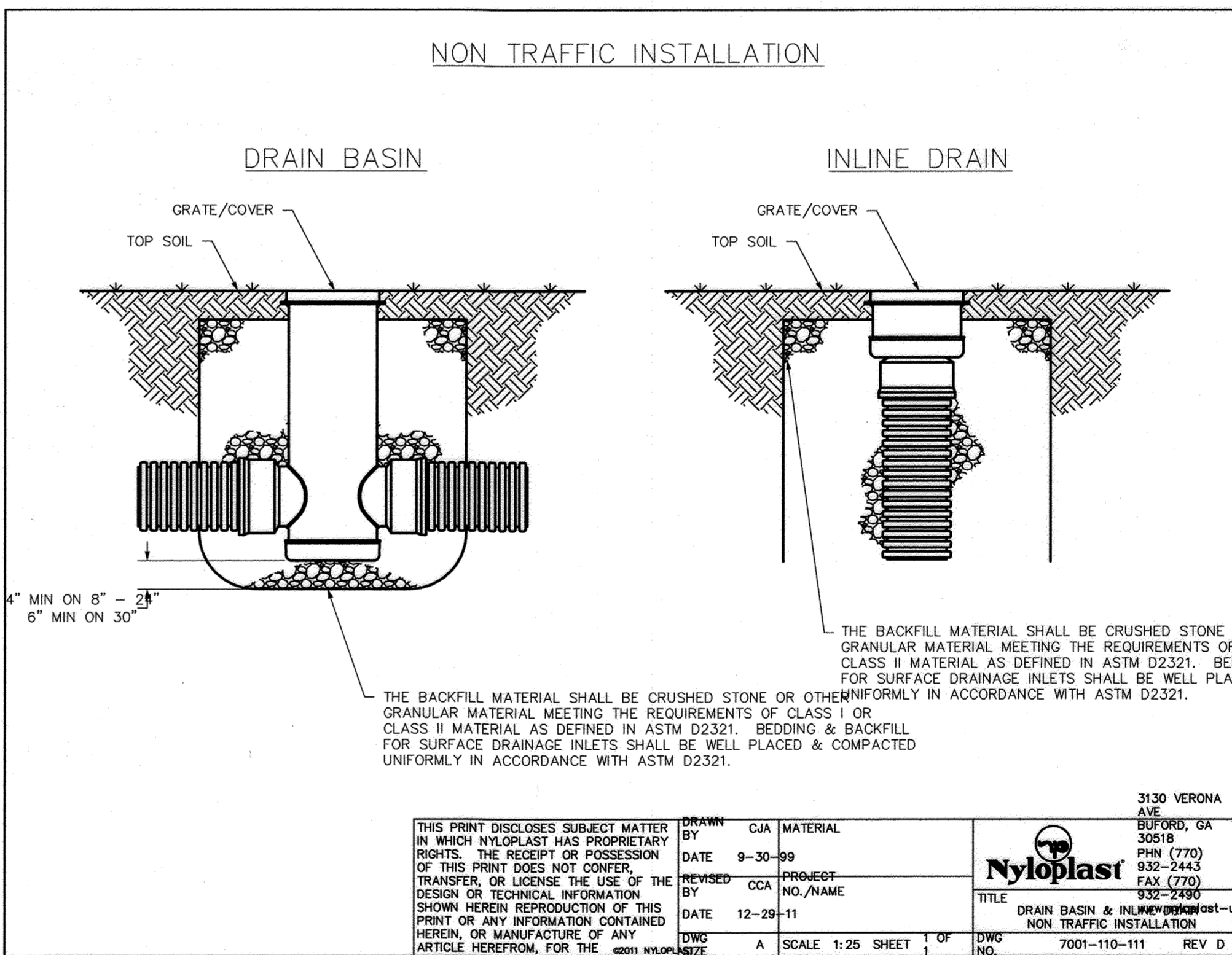
**DECK CONDITIONS / LIMITATIONS:**

1. PROPOSED DECK SHALL BE A MAXIMUM SIZE OF 8 FEET DEEP.
2. THE FOUNDATION FOR EACH DECK POST SHALL BE A MINIMUM OF 5 FEET FROM ANY WATER METER OR SEWER CLEANOUT, OR PUBLIC WATER/SEWER APPURTENANCE.
3. THE CONSTRUCTION OF ACCESS STEPS, FROM/TO EXTERIOR GRADE, FOR THE DECK SHALL NOT BE PERMITTED.
4. REFERENCE WAIVER APPROVAL LETTER DATED DECEMBER 13, 2016.
5. THE WAIVER APPROVAL FOR CONT. NO. 14-4897-D (LETTER OF DECEMBER 13, 2016) IS LIMITED ONLY TO LOTS 68 THRU 95, LOTS 146 THRU 155, LOTS 157 THRU 163, LOTS 164 THRU 172 AND A SEPARATE WAIVER SHALL BE REQUIRED FOR PROPOSED DECKS ON TOWNHOME GROUPINGS ELSEWHERE WITHIN THE DEVELOPMENT, SHOULD THE PROPOSED DECKS NOT MEET HOWARD COUNTY WATER AND SEWER DESIGN MANUAL, VOLUME II REQUIREMENTS.

STRUCTURE SCHEDULE								
STRUCTURE NO.	OWNERSHIP AND MAINTENANCE	TOP ELEVATION	INV IN	INV OUT	COORDINATES	TYPE	REMARKS	
Ex. I-22	PUBLIC	216.01	209.92 (MH-8) 15" 211.00 (5-7) 12"	209.67 18"	N 551290.83 E 1376636.54	A-5 INLET	D-4.01	
Ex. MH-6	PRIVATE	220.00	214.35 (I-18) 15" 214.35 (5-6) 12"	214.30 15"	N 551513.51 E 1376478.58	STANDARD MANHOLE	G-5.12	
S-6	PRIVATE	219.83	215.17 6"	215.07 12"	N 551490.58 E 1376432.60	D INLET	D-4.10	
S-7	PRIVATE	216.63	211.97 6"	211.55 12"	N 551321.01 E 1376594.51	D INLET	D-4.10	



TYPICAL DECK: DETAILS & NOTES \*

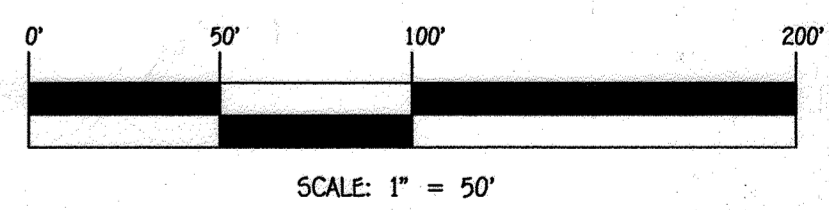


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DRAWN BY: CJA MATERIAL  
DATE: 9-30-99  
REVIEWED BY: CCA PROJECT NO./NAME  
DATE: 12-29-11  
DWG. NO.: A SCALE: 1:25 SHEET 1 OF 1

3130 VERONA AVE  
BIPFORD, GA 30518  
PHN (770) 932-2443  
FAX (770) 932-2490  
NYLOPLAST  
TITLE: DRAIN BASIN & INLINE DRAIN NON TRAFFIC INSTALLATION  
DWG. NO.: 7001-110-111 REV. D

AS-BUILT CERTIFICATION FOR AS-BUILT INFORMATION  
Note: There is no "AS BUILT" information provided on this sheet.  
Date: 12/16/16  
Signature: CHARLES S. CARROLL



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CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS  
CENTRAL SQUARE OFFICE: PARC - 10276 BALTIMORE NATIONAL PIKE  
ELICOTT CITY, MARYLAND 21114  
(410) 461-2995



**PROFESSIONAL CERTIFICATION**  
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND THAT I AM A DULY LICENSED PROFESSIONAL SURVEYOR UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 21476, EXPIRATION DATE: 7/14/17.  
Signature: Frank John Manlusan II  
DATE: 10/10/16

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

Chief, Division of Land Development: 11-4-16  
Chief, Development Engineering Division: 11-2-16  
Director - Department of Planning and Zoning: 12-17-16

PLAT	BLOCK NO.	ZONE	TAX/ZONE	ELEC. DIST.	CENSUS TR.
23909-23912	4	CAC & CLI	43	43	6069.02

WATER CODE: C-02  
SEWER CODE: 7390000

**STORM DRAIN PROFILES**

**SINGLE FAMILY TOWNHOUSE MORRIS PLACE**  
LOTS 106 THRU 184  
AND OPEN SPACE LOTS 185 THRU 193  
PHASE VI  
ZONED: CAC & CLI

PREVIOUS HOWARD COUNTY FILES: ECP-13-035, S0P-82-148, S0P-91-50, 5-10-02, P-13-001, WP-12-173, WP-14-068, F-14-028, F-15-047, F-16-017, S0P-15-017, S0P-15-029, W & S CONTR. NO. 14-4777-D AND CONTR. NO. 14-4897-D  
TAX MAP NO.: 43 PARCEL NO.: 599 GRID NO.: 4  
FIRST ELECTION DISTRICT HOWARD COUNTY, MARYLAND  
SCALE: 1" = 50' DATE: SEPTEMBER, 2016  
SHEET 7 OF 11 S0P 16-001

NO.	REVISION	DATE
1	Added Deck Details & Notes	12/16/16

THERE IS NO "AS-BUILT" INFORMATION PROVIDED ON THIS SHEET

**INFILTRATION AND FILTER SYSTEM CONSTRUCTION SPECIFICATIONS**

INFILTRATION AND FILTER SYSTEMS EITHER TAKE ADVANTAGE OF EXISTING PERMEABLE SOILS OR CREATE A PERMEABLE MEDIUM SUCH AS SAND FOR WCI, AND RE V. IN SOME INSTANCES WHERE PERMEABILITY IS GREAT, THESE FACILITIES MAY BE USED FOR GP AS WELL AS FOR THE MOST COMMON SYSTEMS INCLUDE INFILTRATION TRENCHES, INFILTRATION BASINS, SAND FILTERS, AND ORGANIC FILTERS.

WHEN PROPERLY PLANTED, VEGETATION WILL THWART AND ENHANCE THE FUNCTIONING OF THESE SYSTEMS. FOR EXAMPLE, PRE-TREATMENT BUFFERS WILL TRAP SEDIMENTS THAT OFTEN ARE BOUND WITH PHOSPHOROUS AND METALS. VEGETATION PLANTED IN THE FACILITY WILL ADD IN NUTRIENT UPTAKE AND WATER STORAGE. ADDITIONALLY, PLANT ROOTS WILL PROVIDE A NETWORK FOR STORMWATER TO PERMEATE SOIL FOR GROUNDWATER RECHARGE. FINALLY, SUCCESSFUL PLANTINGS PROVIDE AESTHETIC VALUE AND WILDLIFE HABITAT MAKING THESE FACILITIES MORE DESIRABLE TO THE PUBLIC.

**DESIGN CONSTRAINTS:**

- > PLANTING BUFFER STRIPS OF AT LEAST 20 FEET WILL CAUSE SEDIMENTS TO SETTLE OUT BEFORE REACHING THE FACILITY, THEREBY REDUCING THE POSSIBILITY OF CLOGGING.
- > DETERMINE AREAS THAT WILL BE SATURATED WITH WATER AND WATER TABLE DEPTH SO THAT APPROPRIATE PLANTS MAY BE SELECTED (HYDROLOGY WILL BE SIMILAR TO BIORETENTION FACILITIES. SEE FIGURE A.5 AND TABLE A.4 FOR PLANTING GUIDANCE).
- > PLANTS KNOWN TO SEND DOWN DEEP TAPROOTS SHOULD BE AVOIDED IN SYSTEMS WHERE FILTER FABRIC IS USED AS PART OF FACILITY DESIGN.
- > TEST SOIL CONDITIONS TO DETERMINE IF SOIL AMENDMENTS ARE NECESSARY.
- > PLANTS SHALL BE LOCATED SO THAT ACCESS IS POSSIBLE FOR STRUCTURE MAINTENANCE.
- > STABILIZE HEAVY FLOW AREAS WITH EROSION CONTROL MATS OR SOD.
- > TEMPORARILY DIVERT FLOWS FROM SEEDER AREAS UNTIL VEGETATION IS ESTABLISHED.
- > SEE TABLE A.5 FOR ADDITIONAL DESIGN CONSIDERATIONS.

**BIO-RETENTION SOIL BED CHARACTERISTICS**

THE CHARACTERISTICS OF THE SOIL FOR THE BIORETENTION FACILITY ARE PERHAPS AS IMPORTANT AS THE FACILITY LOCATION, SIZE, AND TREATMENT VOLUME. THE SOIL MUST BE PERMEABLE ENOUGH TO ALLOW RUNOFF TO FILTER THROUGH THE MEDIA, WHILE HAVING CHARACTERISTICS SUITABLE TO PROMOTE AND SUSTAIN A ROBUST VEGETATIVE COVER CROP. IN ADDITION, MUCH OF THE NUTRIENT POLLUTANT UPTAKE (NITROGEN AND PHOSPHORUS) IS ACCOMPLISHED THROUGH ABSORPTION AND MICROBIAL ACTIVITY WITHIN THE SOIL PROFILE. THEREFORE, SOILS MUST BALANCE THEIR CHEMICAL AND PHYSICAL PROPERTIES TO SUPPORT BIOTIC COMMUNITIES ABOVE AND BELOW GROUND.

THE PLANTING SOIL SHOULD BE A SANDY LOAM, LOAMY SAND, LOAM (USDA), OR A LOAM/SAND MIX (SHOULD CONTAIN A MINIMUM 35 TO 60% SAND, BY VOLUME). THE CLAY CONTENT FOR THESE SOILS SHOULD BE LESS THAN 5% BY VOLUME (ENVIRONMENTAL QUALITY RESOURCES (EQR), 1996; ENGINEERING TECHNOLOGY INC. AND BIOPHASTIS, INC. (ETAB), 1993). SOILS SHOULD FALL WITHIN THE SM, ML, SC CLASSIFICATIONS OR THE UNIFIED SOIL CLASSIFICATION SYSTEM (USCS), A PERMEABILITY OF AT LEAST 1.0 FEET PER DAY (0.5"/HR) IS REQUIRED (A CONSERVATIVE VALUE OF 0.5 FEET PER DAY IS USED FOR DESIGN). THE SOIL SHOULD BE FREE OF STONES, STUMPS, ROOTS, OR OTHER WOODY MATERIAL OVER 1" IN DIAMETER. BRUSH OR SEEDS FROM NOXIOUS WEEDS (E.G., JOHNSON GRASS, HUGWORT, NUTSEGE, AND CANADA THISTLE) OR OTHER NOXIOUS WEEDS AS SPECIFIED UNDER COMPAR. 15.08.01.05) SHOULD NOT BE PRESENT IN THE SOILS. PLACEMENT OF THE PLANTING SOIL SHOULD BE IN 12 TO 18 LIFTS THAT ARE LOOSELY COMPACTED (TAMPED LIGHTLY WITH A BACKHOE BUCKET OR TRAVERSED BY DOZER TRACKS). THE SPECIFIC CHARACTERISTICS ARE PRESENTED IN TABLE A.3.

TABLE A.3 PLANTING SOIL CHARACTERISTICS

PARAMETER	VALUE
PH RANGE	5.2 TO 7.00
ORGANIC MATTER	1.5 TO 4.0% (BY WEIGHT)
MAGNESIUM	35 LBS. PER ACRE, MINIMUM
PHOSPHORUS (PHOSPHATE - P2O5)	75 LBS. PER ACRE, MINIMUM
POTASSIUM (POTASH - K2O)	85 LBS. PER ACRE, MINIMUM
SOLUBLE SALTS	500 PPM
CLAY	0 TO 5 %
SILT	30 TO 55 %
SAND	35 TO 60%

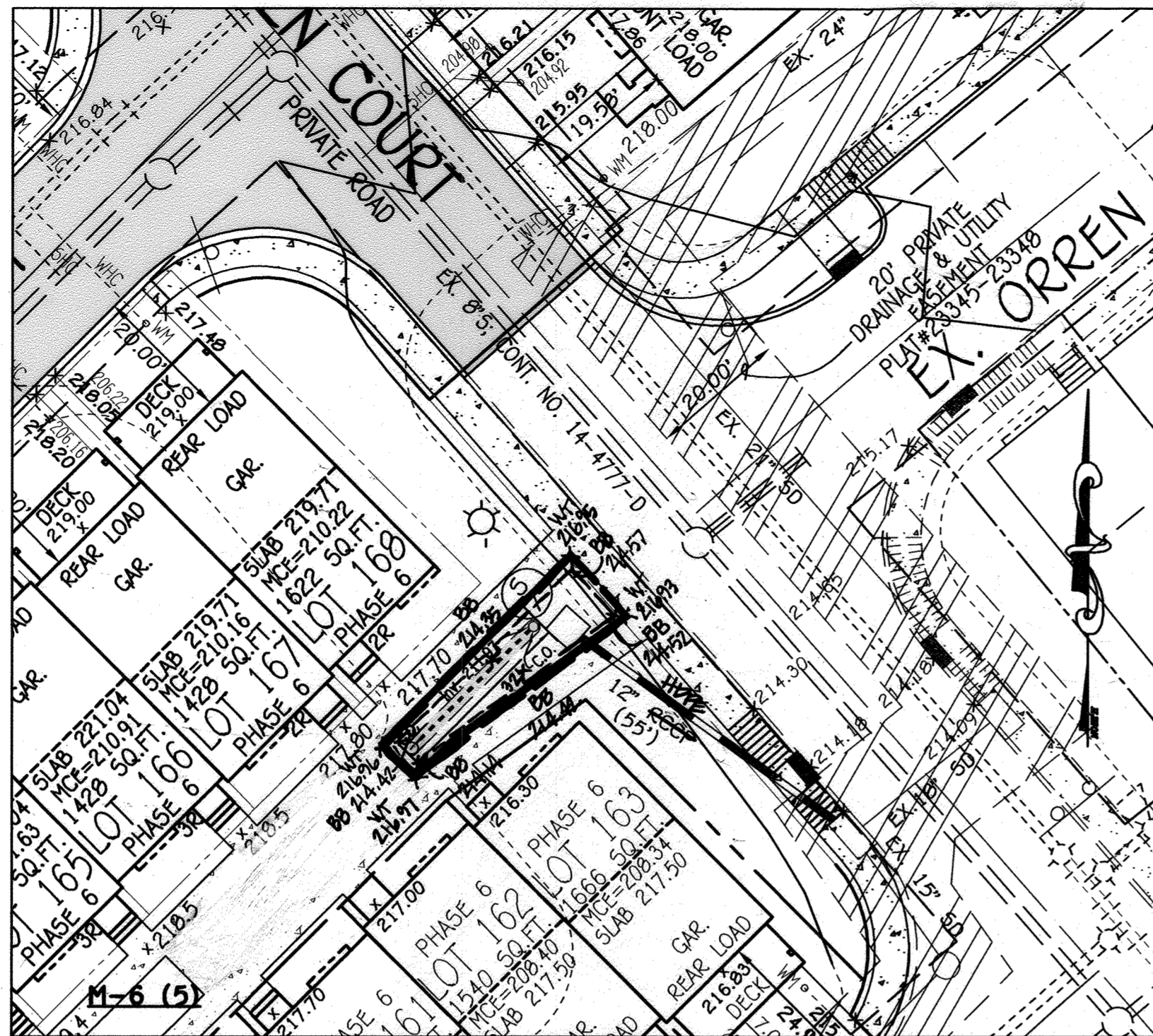
**MULCH LAYER**

THE MULCH LAYER PLAYS AN IMPORTANT ROLE IN THE PERFORMANCE OF THE BIORETENTION SYSTEM. THE MULCH LAYER HELPS MAINTAIN SOIL MOISTURE AND AVOIDS SURFACE SEALING, WHICH REDUCES PERMEABILITY. MULCH HELPS PREVENT EROSION, AND PROVIDES A MICROENVIRONMENT SUITABLE FOR SOIL BIOTA AT THE MULCH/SOIL INTERFACE. IT ALSO SERVES AS A PRETREATMENT LAYER, TRAPPING THE FINER SEDIMENTS, WHICH REMAIN SUSPENDED AFTER THE PRIMARY PRETREATMENT.

THE MULCH LAYER SHOULD BE STANDARD LANDSCAPE STYLE, SINGLE OR DOUBLE SHREDDED HARDWOOD MULCH OR CHIPS. THE MULCH LAYER SHOULD BE WELL AGED (STOCKED OR STORED FOR AT LEAST 12 MONTHS), UNIFORM IN COLOR, AND FREE OF OTHER MATERIALS, SUCH AS WEED SEEDS, SOIL, ROOTS, ETC. THE MULCH SHOULD BE APPLIED TO A MAXIMUM DEPTH OF THREE INCHES. GRASS CLIPPINGS SHOULD NOT BE USED AS A MULCH MATERIAL.

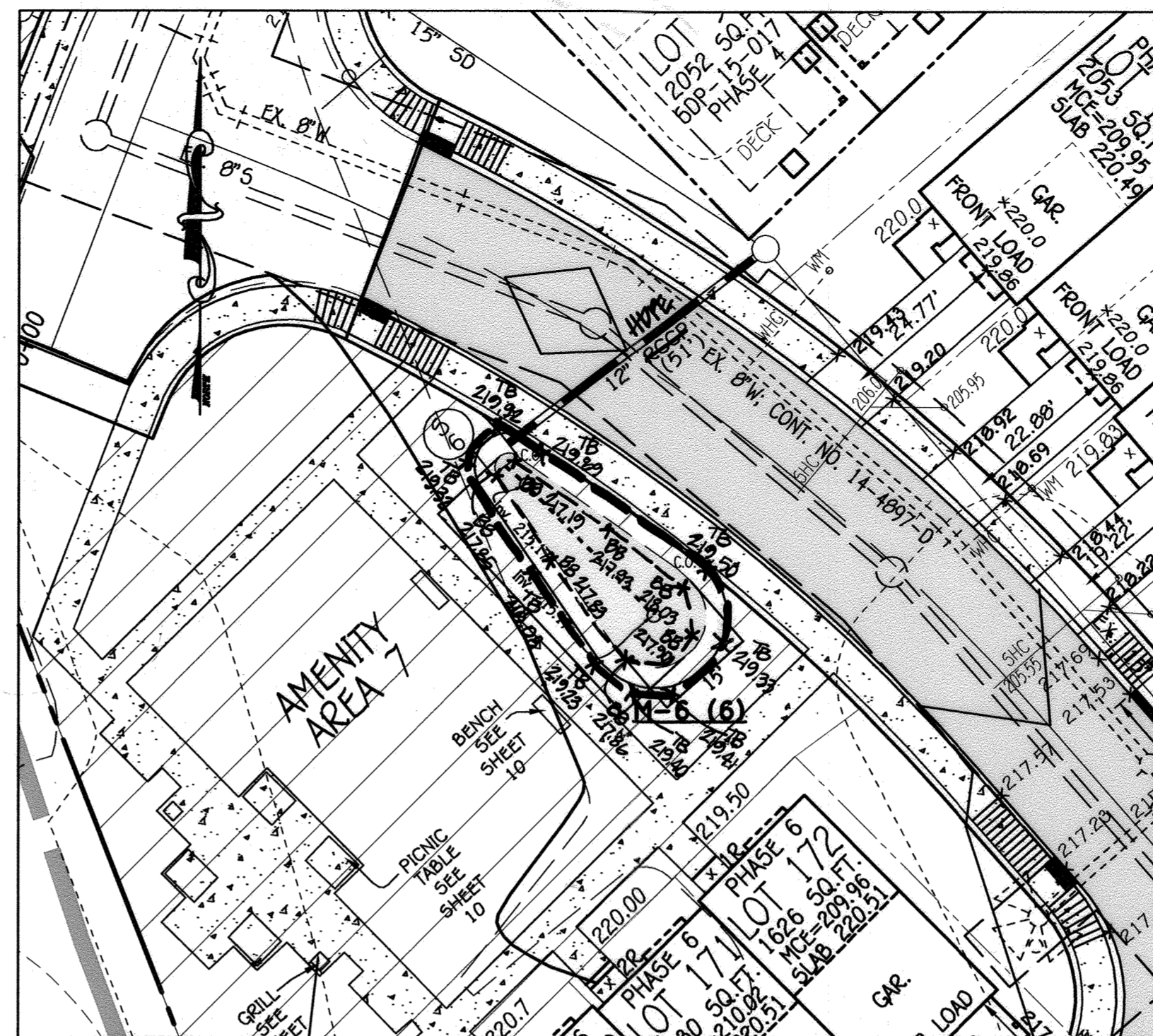
**PLANTING GUIDANCE**

PLANT MATERIAL SELECTION SHOULD BE BASED ON THE GOAL OF SIMULATING A TERRESTRIAL FORESTED COMMUNITY OF NATIVE SPECIES. BIORETENTION SIMULATES AN UPLAND-SPECIES ECOSYSTEM. THE COMMUNITY SHOULD BE DOMINATED BY TREES, BUT HAVE A DISTINCT COMMUNITY OF UNDERSTORY TREES, SHRUBS AND HERBACEOUS MATERIALS. BY CREATING A DIVERSE, DENSE PLANT COVER, A BIORETENTION FACILITY WILL BE ABLE TO TREAT STORMWATER RUNOFF AND WITHSTAND URBAN STRESSES FROM INSECTS, DISEASE, DROUGHT, TEMPERATURE, WIND, AND EXPOSURE. THE PROPER SELECTION AND INSTALLATION OF PLANT MATERIALS IS KEY TO A SUCCESSFUL SYSTEM. THERE ARE ESSENTIALLY THREE ZONES WITHIN A BIORETENTION FACILITY (FIGURE A.5). THE LOWEST ELEVATION SUPPORTS PLANT SPECIES ADAPTED TO STANDING AND FLUCTUATING WATER LEVELS. THE MIDDLE ELEVATION SUPPORTS PLANTS THAT LIKE DRIER SOIL CONDITIONS, BUT CAN STILL TOLERATE OCCASIONAL INUNDATION BY WATER. THE OUTER EDGE IS THE HIGHEST ELEVATION AND GENERALLY SUPPORTS PLANTS ADAPTED TO DRIER CONDITIONS. A SAMPLE OF APPROPRIATE PLANT MATERIALS FOR BIORETENTION FACILITIES ARE INCLUDED IN TABLE A.4. THE LAYOUT OF PLANT MATERIAL SHOULD BE FLEXIBLE, BUT SHOULD FOLLOW THE GENERAL PRINCIPALS DESCRIBED IN TABLE A.4. THE OBJECTIVE IS TO HAVE A SYSTEM WHICH RESEMBLES A RANDOM, AND NATURAL, PLANT LAYOUT, WHILE MAINTAINING OPTIMAL CONDITIONS FOR PLANT ESTABLISHMENT AND GROWTH. FOR A MORE EXTENSIVE BIORETENTION PLAN, CONSULT ETAB, 1993 OR CLAYTON AND SCHUELER, 1997.



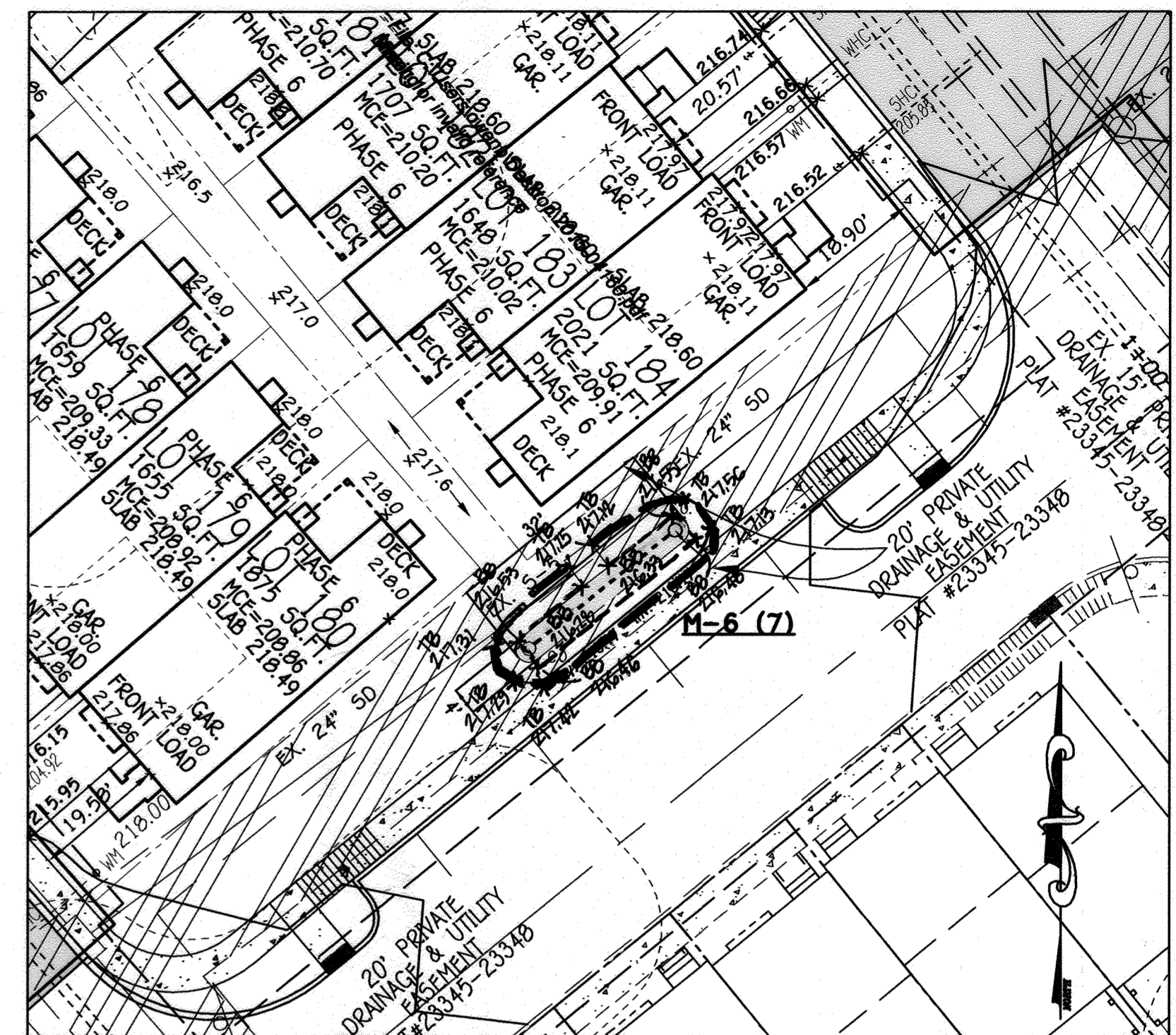
**M-6 (5)**  
 (MICRO BIO-RETENTION FACILITY)  
 SCALE: 1" = 20'  
 DRAINAGE AREA: 5,960 SqFt.  
 FILTER AREA: 540 SqFt.  
 ELEVATION 214.80  
 PERIMETER 181'  
 WEIR ELEVATION 215.80

9-7  
 1/2" INV. OUT 211.92  
 6" INV. IN 211.97  
 INVERT IN TRENCH 215.92  
 TOP 216.90



**M-6 (6)**  
 (MICRO BIO-RETENTION FACILITY)  
 SCALE: 1" = 20'  
 DRAINAGE AREA: 9,938 SqFt.  
 FILTER AREA: 393 SqFt.  
 ELEVATION 218  
 PERIMETER 111'  
 WEIR ELEVATION 219

9-6  
 1/2" INV. OUT 214.47  
 6" INV. IN 215.12  
 INVERT IN TRENCH 218.97  
 TOP 219.91



**M-6 (7)**  
 (MICRO BIO-RETENTION FACILITY)  
 SCALE: 1" = 20'  
 DRAINAGE AREA: 6,449 SqFt.  
 FILTER AREA: 123 SqFt.  
 ELEVATION 216  
 PERIMETER 68'  
 WEIR ELEVATION 217

FACILITY NO.	A	B
M-6 (5)	216.98	214.97
M-6 (6)	219.21	215.17
M-6 (7)	217.05	216.44

**NOTES:**

UNDERDRAIN PIPE SHALL BE 4" TO 6" DIAMETER, SLOTTED OR PERFORATED RIGID PLASTIC PIPE (ASTM F798, TYPE PS 28 OR AASHTO-M-278) IN A GRAVEL LAYER. THE PREFERRED MATERIAL IS SLOTTED 4" RIGID PIPE (E.G., PVC OR HDPE).

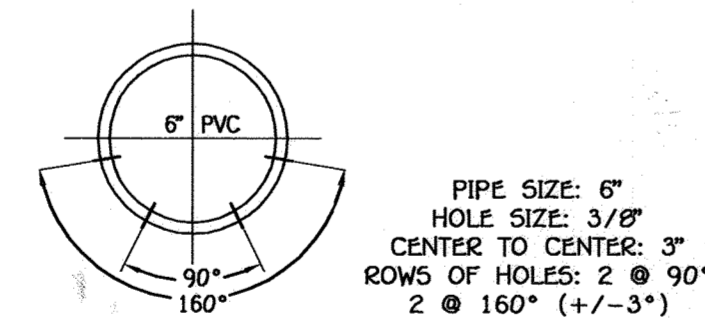
PERFORATIONS SHALL BE 3/8" DIAMETER LOCATED 6" ON CENTER WITH A MINIMUM OF FOUR HOLES PER ROW. PIPE SHALL BE WRAPPED WITH A 1/4" (NO. 4 OR 4 x 4) GALVANIZED HARDWARE CLOTH.

GRAVEL LAYER SHALL BE (NO. 57 STONE PREFERRED) AT LEAST 3" THICK ABOVE AND BELOW THE UNDERDRAIN.

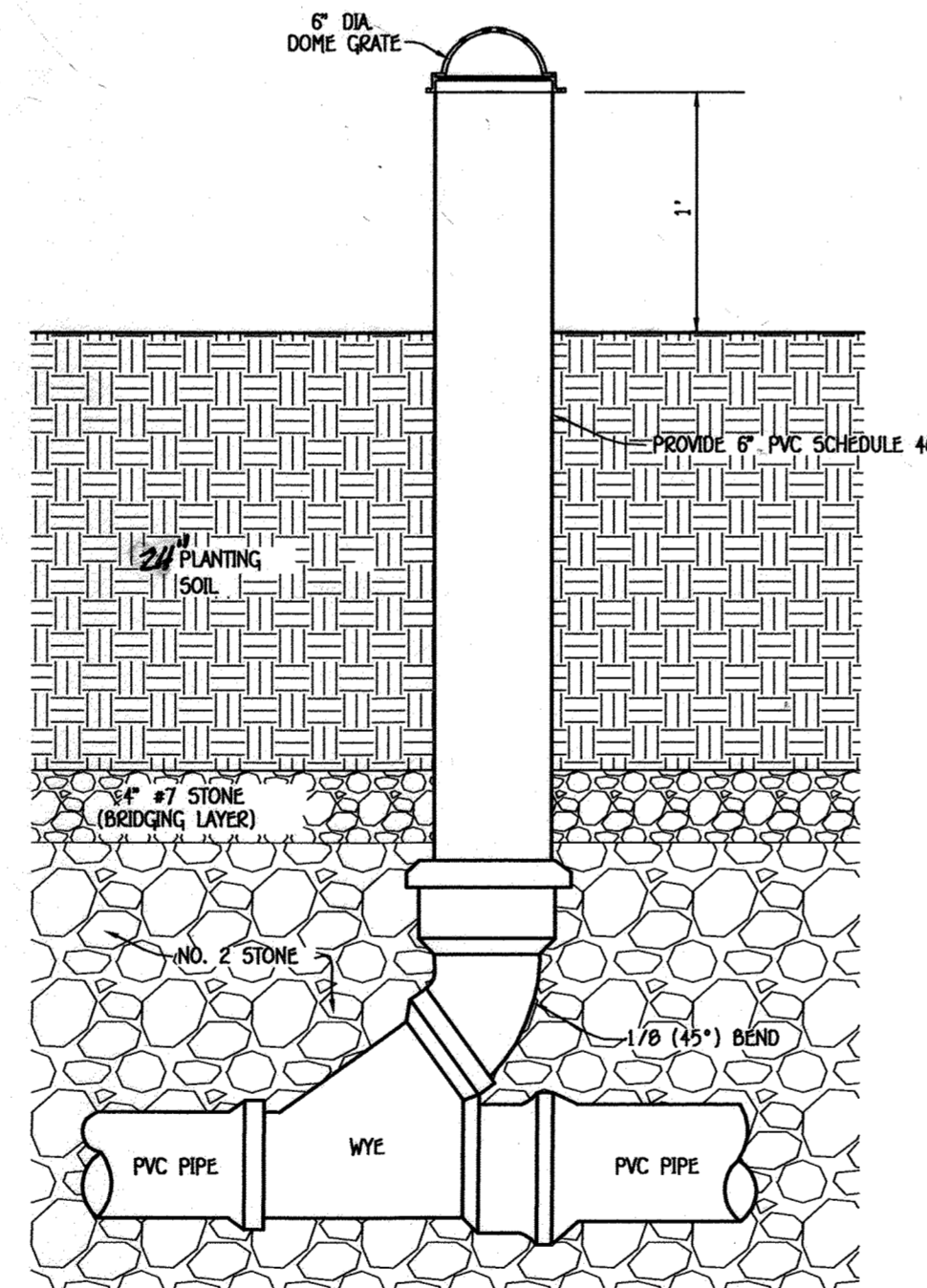
THE MAIN COLLECTOR PIPE SHALL BE AT A MINIMUM 0.5% SLOPE.

A RIGID, NON PERFORATED OBSERVATION WELL MUST BE PROVIDED (ONE PER EVERY 1,000 SQ.FT.) TO PROVIDE A CLEANOUT POINT AND MONITOR PERFORMANCE OF THE FILTER.

A 4" LAYER OF PEA GRAVEL (1/8" TO 3/8" STONE) SHALL BE LOCATED BETWEEN THE FILTER MEDIA AND UNDERDRAIN TO PREVENT MIGRATION OF FINES INTO THE UNDERDRAIN. THIS LAYER MAY BE CONSIDERED PART OF THE FILTER BED WHEN BED THICKNESS EXCEEDS 24".



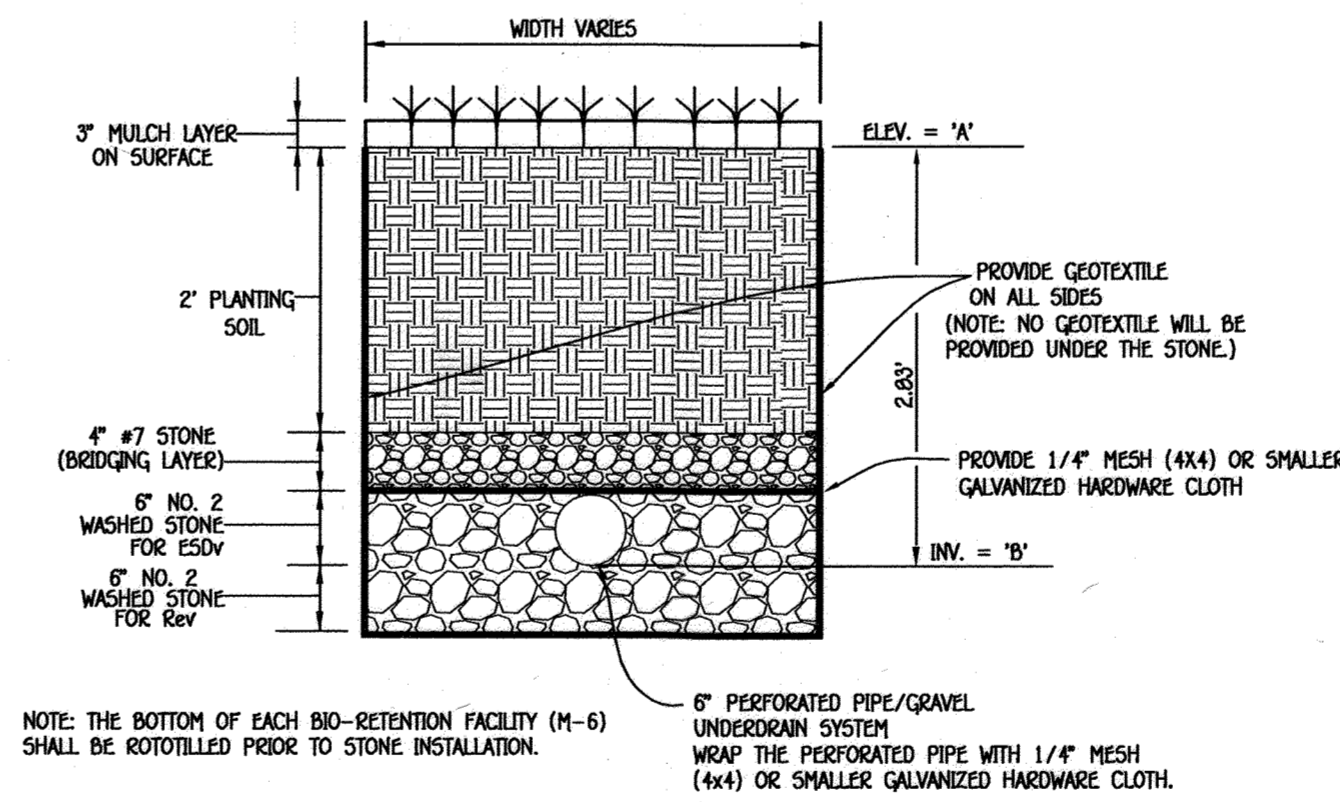
**SCH40 PVC PERFORATED UNDERDRAIN PIPE DETAIL FOR HORIZONTAL DRAIN PIPE**  
 NO SCALE



**TYPICAL CLEAN-OUT DETAIL**  
 NO SCALE

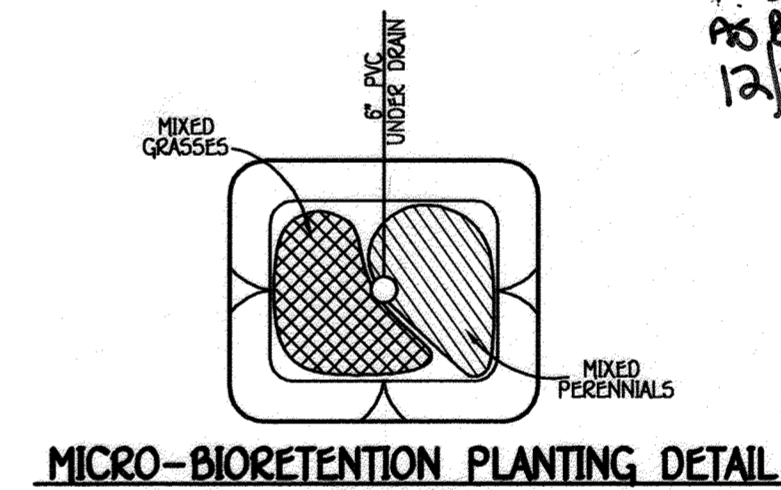
**OPERATION AND MAINTENANCE SCHEDULE FOR BIO-RETENTION AREAS (M-6)**

1. ANNUAL MAINTENANCE OF PLANT MATERIAL, MULCH LAYER AND SOIL LAYER IS REQUIRED. MAINTENANCE OF MULCH AND SOIL IS LIMITED TO CORRECTING AREAS OF EROSION OR WASH OUT. ANY MULCH REPLACEMENT SHALL BE DONE IN THE SPRING. PLANT MATERIAL SHALL BE CHECKED FOR DISEASE AND INSECT INFESTATION AND MAINTENANCE WILL ADDRESS DEAD MATERIAL AND PRUNING.
2. SCHEDULE OF PLANT INSPECTION WILL BE TWICE A YEAR IN SPRING AND FALL. THIS INSPECTION WILL INCLUDE REMOVAL OF DEAD AND DISEASED VEGETATION CONSIDERED BEYOND TREATMENT, TREATMENT OF ALL DISEASED TREES AND SHRUBS AND REPLACEMENT OF ALL DEFICIENT STAKES AND WIRES.
3. MULCH SHALL BE INSPECTED EACH SPRING. REMOVE PREVIOUS MULCH LAYER BEFORE APPLYING NEW LAYER EVERY 2 TO 3 YEARS.
4. SOIL EROSION TO BE ADDRESSED ON AN AS NEEDED BASIS, WITH A MINIMUM OF ONCE PER MONTH AND AFTER HEAVY STORM EVENTS.



NOTE: THE BOTTOM OF EACH BIO-RETENTION FACILITY (M-6) SHALL BE ROTOTILLED PRIOR TO STONE INSTALLATION.

**BIO-RETENTION FACILITY (M-6) TYPICAL SECTION**  
 NO SCALE

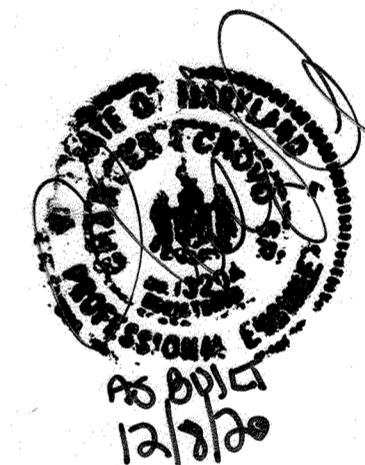


**MICRO-BIORETENTION PLANTING DETAIL**  
 NOT TO SCALE

- MIXED PERENNIALS \*  
 CUT-LEAF CONEFLOWER  
 CARDINAL FLOWER  
 TRANSDUCANT ASTER
- SHRUBS \*  
 INK BERRY  
 ARROWWOOD  
 SATYRIBERRY
- MIXED GRASSES \*  
 VIRGINIA SWITCHGRASS  
 PENNOLDUS SEAGE  
 LITTLE BLUEGRASS

\*SEE PLANT MATERIAL CHARTS FOR QUANTITIES AND SPACING

NOTE: PLANT MATERIAL MUST COVER AT LEAST 50% OF THE SURFACE AREA OF THE MICRO-BIORETENTION



AS-BUILT CERTIFICATION  
 I hereby certify, by my seal, that the facilities shown on this plan were constructed as shown on this "AS BUILT" plan meet the approved plans and specifications.  
 Date: 12/18/20

**DRAINAGE AREA M-6 (5) MICRO-BIORETENTION PLANT MATERIAL**

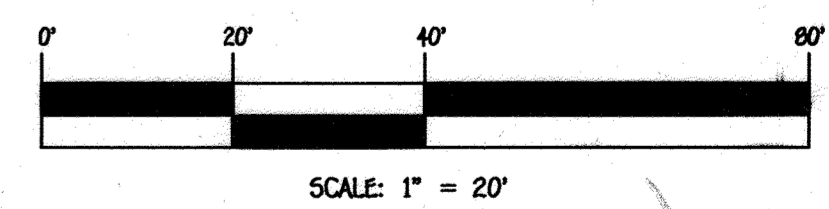
QUANTITY	NAME	MAXIMUM SPACING (FT.)
6	MIXED PERENNIALS	1 FT.
3	SHRUBS	2 FT.

**DRAINAGE AREA M-6 (6) MICRO-BIORETENTION PLANT MATERIAL**

QUANTITY	NAME	MAXIMUM SPACING (FT.)
44	MIXED PERENNIALS	1 FT.
22	SHRUBS	2 FT.

**DRAINAGE AREA M-6 (7) MICRO-BIORETENTION PLANT MATERIAL**

QUANTITY	NAME	MAXIMUM SPACING (FT.)
22	MIXED PERENNIALS	1 FT.
11	SHRUBS	2 FT.



**FISHER, COLLINS & CARTER, INC.**  
 CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS  
 CENTRAL OFFICE: 10722 MILITARY NATIONAL PIKE  
 ELICOTT CITY, MARYLAND 21042  
 (410) 461-2899



**PROFESSIONAL CERTIFICATION**  
 I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND THAT I AM A DULY LICENSED PROFESSIONAL SURVEYOR UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 21476, EXPIRATION DATE: 7/14/17.  
 Frank John Manalansan II, L.S. No. 21476  
 DATE: 10/10/16

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING  
 Chief, Division of Land Development: 11-4-16  
 Chief, Development Engineering Division: 11-2-16  
 Director - Department of Planning and Zoning: 12-17-16

PROJECT: MORRIS PLACE  
 SECTION: N/A  
 LOTS NO.: LOTS 106 THRU 184 AND OPEN SPACE LOTS 185 THRU 193  
 CENSUS TR.: 6089.02

PLAT: 23909-23912  
 BLOCK NO.: 4  
 ZONE: CAC & CLI  
 TAX/ZONE: 43  
 ELEC. DIST.: 1  
 SEWER CODE: 7390000

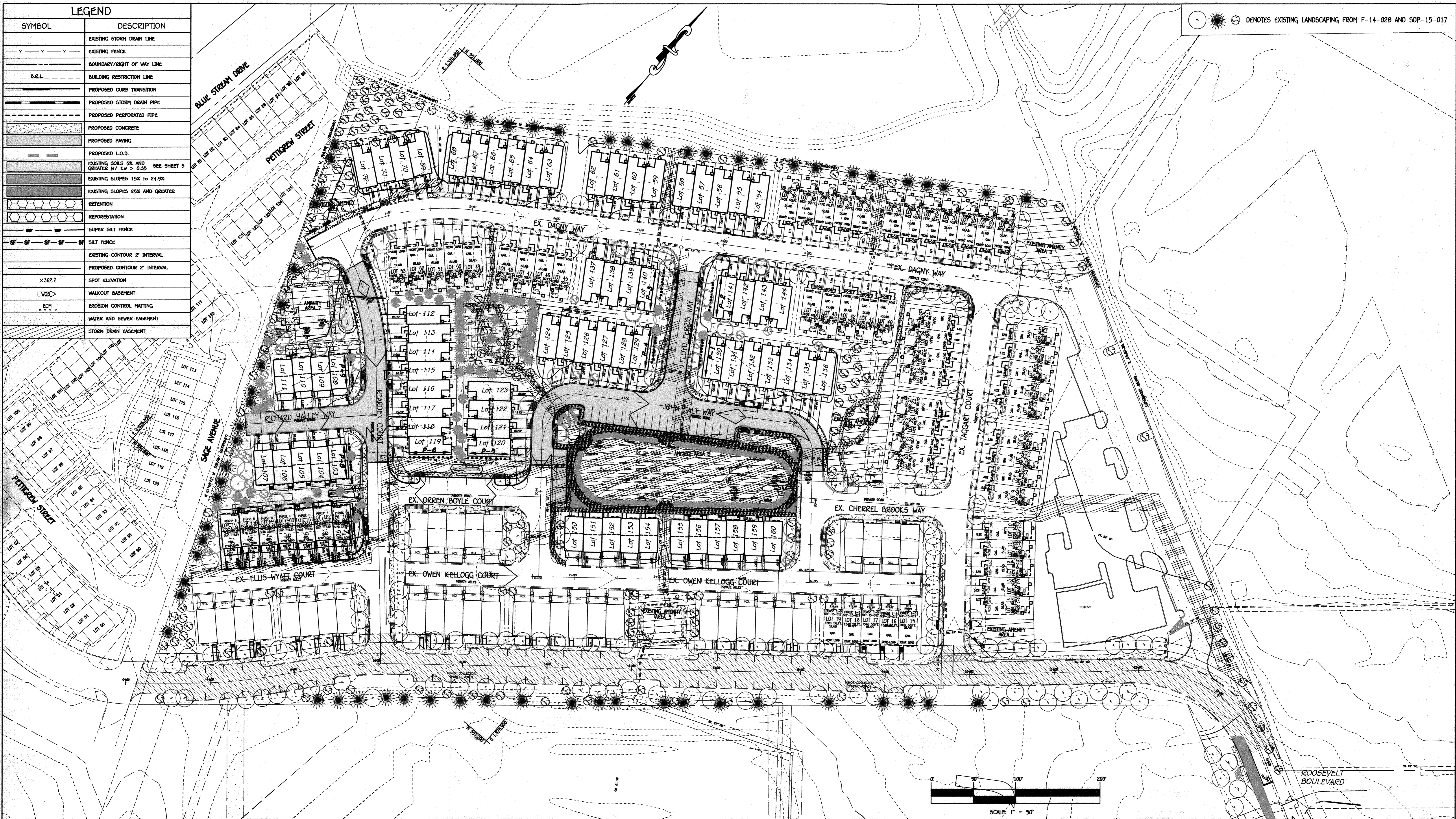
**STORM WATER MANAGEMENT DETAILS**

**SINGLE FAMILY TOWNHOUSE MORRIS PLACE LOTS 106 THRU 184 AND OPEN SPACE LOTS 185 THRU 193 PHASE VI**  
 ZONED: CAC & CLI  
 PREVIOUS HOWARD COUNTY FILES: ECP-13-035, S0P-82-148, S0P-91-50, 5-10-02, P-13-001, WP-12-173, WP-14-068, F-14-028, F-15-047, F-16-017, S0P-15-017, S0P-15-029, W & 5 CONTR. NO. 14-4777-D AND CONTR. NO. 14-4897-D  
 TAX MAP NO.: 43 PARCEL NO.: 599 GRID NO.: 4  
 FIRST ELECTION DISTRICT: HOWARD COUNTY, MARYLAND  
 SCALE: AS SHOWN DATE: SEPTEMBER, 2016  
 SHEET 8 OF 11

NO.	REVISION	DATE
1	REVISE BIO-RETENTION FACILITY M-6 (6)	7/15/16



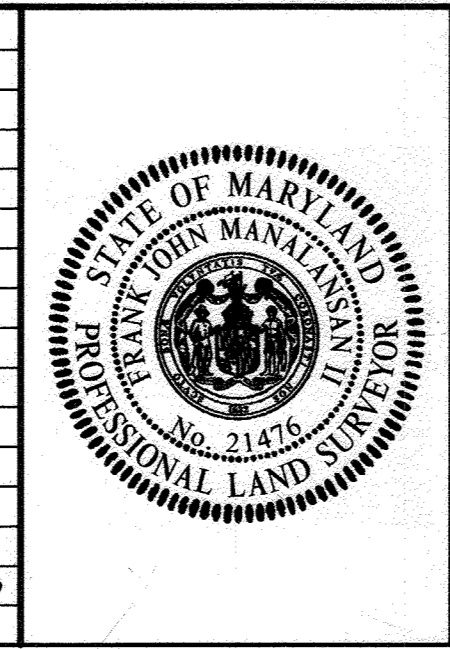
LEGEND	
SYMBOL	DESCRIPTION
	EXISTING STORM DRAIN LINE
	EXISTING FENCE
	BOUNDARY/RIGHT OF WAY LINE
	BUILDING RESTRICTION LINE
	PROPOSED CURB TRANSITION
	PROPOSED STORM DRAIN PIPE
	PROPOSED PERFORATED PIPE
	PROPOSED CONCRETE
	PROPOSED PAVING
	PROPOSED L.O.D.
	EXISTING SLOPE 5% AND GREATER 1/4" IN 4' SEE SHEET 5
	EXISTING SLOPE 15% TO 24.9%
	EXISTING SLOPE 25% AND GREATER
	RETENTION
	REFORESTATION
	SUPER SILT FENCE
	SILT FENCE
	EXISTING CONTOUR 2' INTERVAL
	PROPOSED CONTOUR 2' INTERVAL
	SPOT ELEVATION
	WALKOUT BASEMENT
	EROSION CONTROL MATTING
	WATER AND SEWER EASEMENT
	STORM DRAIN EASEMENT



☉ DENOTES EXISTING LANDSCAPING FROM F-14-028 AND S0P-15-017

**FISHER, COLLINS & CARTER, INC.**  
 CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS  
 CENTENNIAL SQUARE OFFICE PARK - 10272 BALTIMORE NATIONAL PIKE  
 ELKJOTT CITY, MARYLAND 21042  
 (410) 461-2899

NO.	REVISION	DATE
1	REVISE BID-RETENTION FACILITY M-G(6)	7/19/16



**AS-BUILT CERTIFICATION**  
 Note: There is no "AS BUILT" information provided on this sheet.  
 CHARLES J. CROSS, P.E. 13804 Date 12/18/25

**PROFESSIONAL CERTIFICATION**  
 I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND THAT I AM A DULY LICENSED PROFESSIONAL SURVEYOR UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 21476, EXPIRATION DATE: 7/14/17.  
 Frank John Malanahan II, L.S. No. 21476, 12/18/16 DATE

**OWNER**  
 C/O CDOR ASSET MANAGEMENT LLC  
 9505 E. HARTFORD DRIVE  
 SUITE 200  
 SCOTTSDALE, AZ. 85255  
 ATTN: STEVEN S. BENSON  
 (480) 696-3733

**DEVELOPER**  
 BEAZER HOMES CORP  
 9905 GUILFORD ROAD  
 COLUMBIA, MD. 21046  
 ATTN: EDWARD GOLD  
 (410) 720-5071

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

*Neil S. Lander*  
 Chief, Division of Land Development 11/2/16 Date

*Chad A. ...*  
 Chief, Development Engineering Division 12/17/16 Date

*...*  
 Director - Department of Planning and Zoning

PLAT	BLOCK NO.	ZONE	TAX/ZONE	ELEC. DIST.	CENSUS TR.
MORRIS PLACE		N/A			
2309-23912	4	CAC & CLU	43	1	6069.02

WATER CODE: C-02  
 SEWER CODE: 7390000

**STREET TREES AND LANDSCAPE PLAN**

**SINGLE FAMILY TOWNHOUSE MORRIS PLACE**  
 LOTS 106 THRU 184  
 AND OPEN SPACE LOTS 185 THRU 193  
 PHASE VI  
 ZONED: CAC & CLU

PREVIOUS HOWARD COUNTY FILES: ECP-13-035, S0P-02-148, S0P-91-50, 5-10-02, P-13-001, WP-12-173, WP-14-068, F-14-028, F-15-047, F-16-017, S0P-15-017, S0P-15-029, W & S CONTR. NO. 14-4777-D AND CONTR. NO. 14-4897-D  
 TAX MAP NO.: 43 PARCEL NO.: 599 GRID NO.: 4  
 FIRST ELECTION DISTRICT HOWARD COUNTY, MARYLAND  
 SCALE: 1" = 50' DATE: SEPTEMBER, 2016  
 SHEET 9 OF 11 S0P 16-001

THERE IS NO "AS-BUILT" INFORMATION PROVIDED ON THIS SHEET

LANDSCAPING PLANT LIST				
SYMBOL	QUANTITY	BOTANICAL AND COMMON NAME	SIZE	COMMENTS
	29	ACER RUBRUM "ARMSTRONG" RED MAPLE	2 1/2" - 3" CAL.	
	31	NYSSA SYLVATICA BLACK TUPELO	2 1/2" - 3" CAL.	
	30	QUERCUS PHELLOS WILLOW OAK	2 1/2" - 3" HGT.	
	25	ILEX OPACA AMERICAN HOLLY	5' - 6' HGT.	
	38	PINUS STROBUS EASTERN WHITE PINE	6' - 8' HGT.	
	90	AZALEA "BLAAW'S PINK"/ BLAAW'S PINK AZALEA	18" - 24" SPREAD	
	92	EUONYMUS KIAUTSCHOVICUS "MANHATTAN" MANHATTAN EUONYMUS	2 1/2" - 3" HGT.	
	56	JUNIPERUS CHINENSIS "SARGENT" SARGENT JUNIPER	18" - 24" SPREAD	
	22	CLETHRA ALNIFOLIA SUMMERSWEET CLETHRA	2 1/2" - 3" HGT.	

NOTE:  
THE LANDSCAPE MANUAL SURETY IN THE AMOUNT OF \$44,250.00 FOR 90 SHADE TREES, 63 EVERGREEN, 260 SHRUBS SHALL BE POSTED WITH THE DEVELOPER'S AGREEMENT FOR THIS PLAN (SDP-16-001).

**LANDSCAPE DEVELOPER'S CERTIFICATE**  
I HEREBY CERTIFY THAT THE LANDSCAPING SHOWN ON THIS PLAN WILL BE DONE ACCORDING TO THE PLAN, SECTION 16.104 OF THE HOWARD COUNTY CODE AND THE HOWARD COUNTY LANDSCAPE MANUAL. I HAVE FURTHER CERTIFIED THAT DUAL CONSTRUCTION, A CERTIFICATION OF LANDSCAPE INSTALLATION ACCOMPANIED BY AN AS-BUILT AND QUANTITIES OF PLANT MATERIALS WILL BE SUBMITTED TO THE DEPARTMENT OF PLANNING AND ZONING.

*Charles J. Crausa, P.E., P.L.S.*  
DATE: 10/10/16

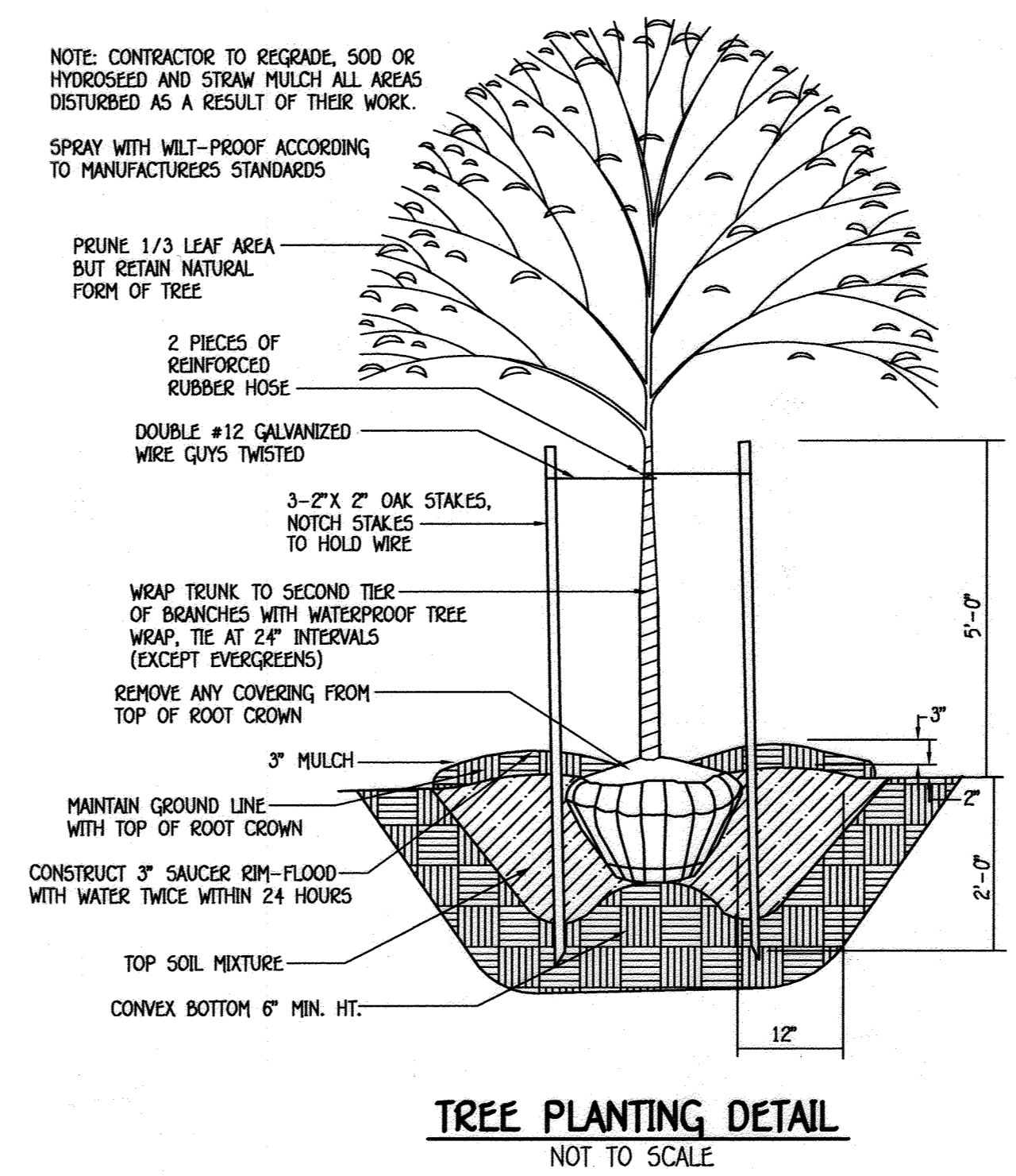
SCHEDULE A - PERIMETER LANDSCAPE EDGE										
PERIMETER	1	2	3	4	5	6	7	8	9	TOTAL
LINEAR FEET OF PERIMETER	50 L.F.	50 L.F.	50 L.F.	50 L.F.	50 L.F.	50 L.F.	50 L.F.	50 L.F.	50 L.F.	500
CREDIT FOR EXISTING VEGETATION (L.F. OF CREDIT REMAINING PERIMETER (L.F.))	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	
NUMBER OF PLANTS REQUIRED	1	1	1	1	1	1	1	1	1	9
SHADE TREES	1	1	1	1	1	1	1	1	1	9
EVERGREEN TREES	0	0	0	0	0	0	0	0	0	0
SHRUBS (10:1 SUBSTITUTION)	10	10	10	10	10	10	10	10	10	90

SCHEDULE C RESIDENTIAL DEVELOPMENT INTERNAL LANDSCAPING	
NUMBER OF DWELLING UNITS	79
NUMBER OF TREES REQUIRED (1:10 SFA)	79
NUMBER OF TREES REQUIRED (1:3 DU APTS)	-

SCHEDULE B PARKING LOT INTERNAL LANDSCAPING	
NUMBER OF PARKING SPACES	27
NUMBER OF TREES REQUIRED (1:10)	3

STREET TREE SCHEDULE PHASE VI		
QTY.	SIZE	COMMENTS
155' / 40 = 3.90 3.90 x 2 = 7.8 8 TREES	2 1/2" - 3" CAL.	40' APART (Richard Halley Way)
276' / 40 = 6.90 6.90 x 2 = 13.8 14 TREES	2 1/2" - 3" CAL.	40' APART (Part of Reardon Court) sta 0+00.00 to 2+75.60
433' / 40 = 10.83 10.83 x 2 = 21.65 22 TREES	2 1/2" - 3" CAL.	40' APART (Part of John Galt Way) sta 1+30.99 to 5+63.66
161' / 40 = 4.03 4.03 x 2 = 8.06 8 TREES	2 1/2" - 3" CAL.	40' APART (Floyd Ferris Way)

TOTAL QUANTITY = 52 STREET TREES



**PLANTING SPECIFICATIONS**

PLANTS, RELATED MATERIAL, AND OPERATIONS SHALL MEET THE DETAILED DESCRIPTION AS GIVEN ON THE PLANS AND AS DESCRIBED HEREIN.

PLANT MATERIAL, UNLESS OTHERWISE SPECIFIED, SHALL BE HEALTHY, GROWN UNIFORMLY BRANCHED, HAVE A VIGOROUS ROOT SYSTEM, AND SHALL CONFORM TO THE SPECIES, SIZE, GROWTH AND SHAPE SHOWN ON THE PLANS AND THE AMERICAN ASSOCIATION OF NURSERYMEN (AAN) STANDARDS. PLANT MATERIAL SHALL BE HEALTHY, VIGOROUS, FREE FROM DISEASE, INJURY, DEFOLIATING INSECTS, SUN SCALD INJURIES, WOUNDS OF THE BARK, PLANT DAMAGE, INJURY FROM ICE, WIND, AND ALL FORMS OF INJURY. UNLESS OTHERWISE SPECIFIED, PLANT MATERIAL THAT IS NEW OR WHICH HAS BEEN CUT BACK FROM LARGER GRASSES TO MEET SPECIFIED REQUIREMENTS WILL BE REJECTED. TREES WITH FORKED LEADERS WILL NOT BE ACCEPTED. ALL PLANTS SHALL BE PRESENTLY GROWN ON HEALTHY PLANTS FROM COLD STORAGE WILL BE ACCEPTED.

UNLESS OTHERWISE SPECIFIED, ALL GENERAL CONDITIONS, PLANTING OPERATIONS, DETAILS AND PLANTING SPECIFICATIONS SHALL CONFORM TO "LANDSCAPE SPECIFICATION GUIDELINES FOR BUILDING-INDUSTRIAL DEVELOPMENT" (PROVISIONS "LANDSCAPE GUIDELINES") APPROVED BY THE LANDSCAPE CONTRACTORS ASSOCIATION OF MARYLAND, WASHINGTON AND THE PENDING CHAPTER OF THE AMERICAN SOCIETY OF LANDSCAPE ARCHITECTS, LATEST EDITION, INCLUDING ALL AMENDMENTS.

CONTRACTOR SHALL BE RESPONSIBLE TO GUARANTEE ALL PLANT MATERIAL FOR A PERIOD OF ONE YEAR AFTER DATE OF ACCEPTANCE IN ACCORDANCE WITH THE APPROPRIATE SECTION OF THE LANDSCAPE GUIDELINES. CONTRACTOR'S ATTENTION IS DIRECTED TO THE MAINTENANCE REQUIREMENTS FOUND WITHIN THE ONE YEAR SPECIFICATIONS INCLUDING WATERING AND ESTABLISHMENT OF SPECIFIED PLANT MATERIAL.

CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING UTILITY COMPANIES, UTILITY CONTRACTORS AND "TIES" UTILITY A MINIMUM OF 48 HOURS PRIOR TO BEGINNING ANY WORK. CONTRACTOR MAY MAKE NECESSARY ADJUSTMENTS IN SPACING AND LOCATION OF PLANT MATERIAL TO AVOID CONFLICTS WITH UTILITIES. DAMAGE TO EXISTING STRUCTURE AND UTILITIES SHALL BE REPAIRED AT THE EXPENSE OF THE CONTRACTOR.

PROTECTION OF EXISTING VEGETATION TO REMAIN SHALL BE ACCOMPLISHED BY THE TEMPORARY INSTALLATION OF A FOOT HIGH SNOW FENCE OR BLAZE ORANGE SAFETY FENCE AT THE DIRT LINE.

CONTRACTOR IS RESPONSIBLE FOR INSTALLING ALL MATERIAL IN THE PROPER PLANTING SEASON FOR EACH PLANT TYPE. ALL PLANTING IS TO BE COMPLETED WITHIN THE GROWING SEASON OF COMPLETION OF SITE CONSTRUCTION.

NO SHALL BE BASE ON ACTUAL SITE CONDITIONS. NO EXTRA PAYMENT SHALL BE MADE FOR WORK ARISING FROM SITE CONDITIONS DIFFERING FROM THOSE INDICATED ON DRAWINGS AND SPECIFICATIONS.

PLANT QUANTITIES ARE PROVIDED FOR THE COMMENCEMENT OF THE CONTRACTOR ONLY. IF DISCREPANCIES EXIST BETWEEN QUANTITIES SHOWN ON PLAN AND THOSE SHOWN ON THE PLANT LIST, THE QUANTITIES ON THE PLANT LIST PRECEDE.

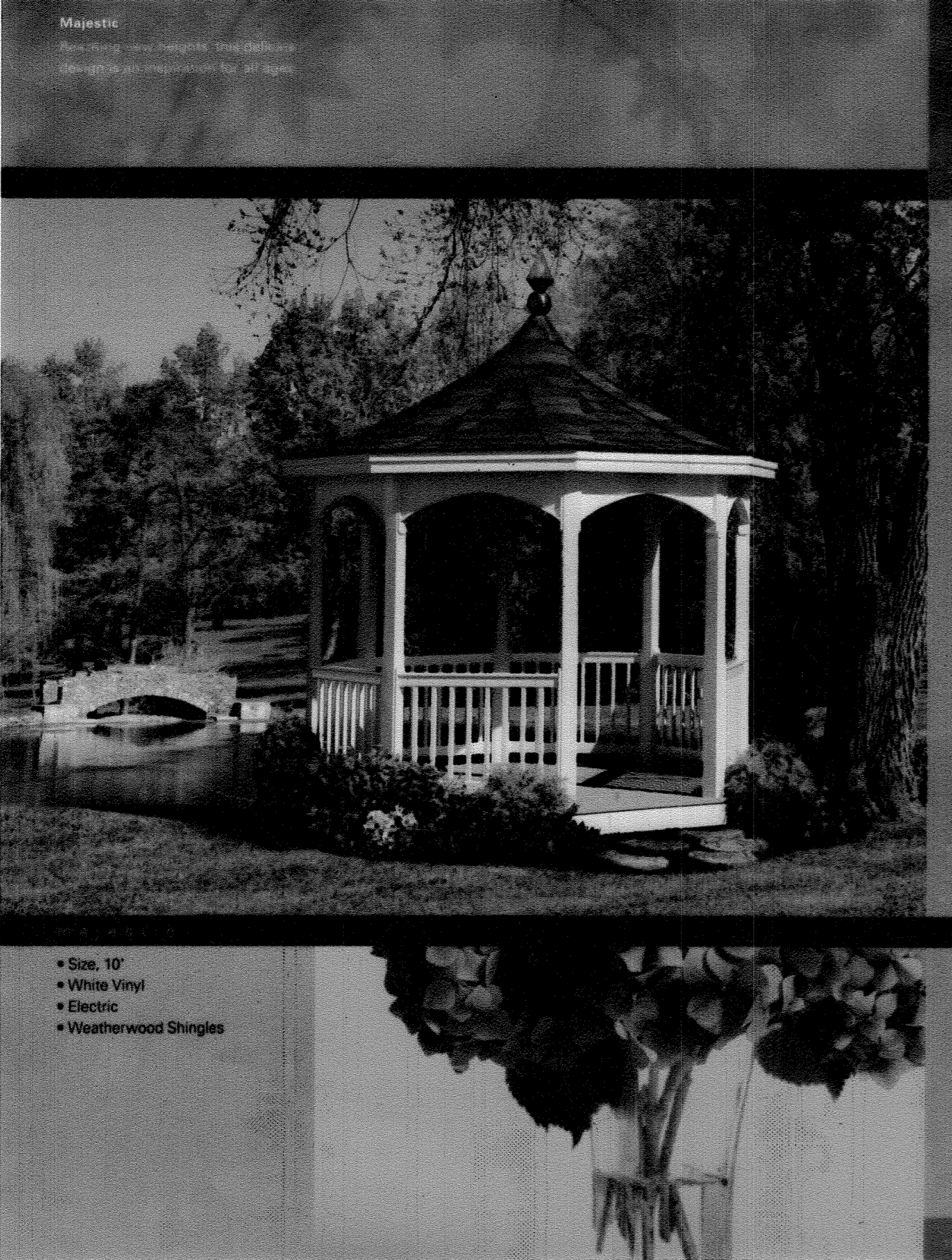
ALL SHRUBS SHALL BE PLANTED IN CONTINUOUS TRENCHES OR PREPARED PLANTING BEDS AND MULCHED WITH COMPOSTED HARDWOOD MULCH AS DETAILS AND SPECIFIED EXCEPT WHERE NOTED ON PLANS.

POSITIVE DRAINAGE SHALL BE MAINTAINED IN PLANTING BEDS 2 PERCENT SLOPE.

PLANTING MIX SHALL BE AS FOLLOWS: DECIDUOUS PLANTS - TWO PARTS TOPSOIL, ONE PART WELL-SIFTED COV OR HORSE MANURE, ADD 3 LBS. OF STANDARD FERTILIZER PER CUBIC YARD OF PLANTING MIX. EVERGREEN PLANTS - TWO PARTS TOPSOIL, ONE PART HUMUS OR OTHER APPROVED ORGANIC MATERIAL, ADD 3 LBS. OF EVERGREEN (NPK) FERTILIZER PER CUBIC YARD OF PLANTING MIX. TOPSOIL SHALL CONFORM TO THE LANDSCAPE GUIDELINES.

WEED CONTROL: INCORPORATE A PRE-EMERGENT HERBICIDE INTO THE PLANTING BED FOLLOWING RECOMMENDED RATES ON THE LABEL. CAUTION: BE SURE TO CAREFULLY CHECK THE CHEMICAL USED TO ASSURE ITS ADAPTABILITY TO THE SPECIFIC GROUND COVER TO BE TREATED.

ALL AREAS WITHIN CONTRACT LIMITS DISTURBED DURING OR PRIOR TO CONSTRUCTION NOT DESIGNATED TO RECEIVE PLANTS AND MULCH SHALL BE FINE GRADED AND SEEDED. THIS PLAN IS INTENDED FOR LANDSCAPE USE ONLY. SEE OTHER PLAN SHEETS FOR MORE INFORMATION ON GRADING, SEEDING CONTROL, LAYOUT, ETC.



**GAZEBO DETAIL**  
TYPE: MAJESTIC (OR APPROVED EQUAL)  
NOT TO SCALE

NO.	REVISION	DATE

**FISHER, COLLINS & CARTER, INC.**  
CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS  
CENTRAL SQUARE OFFICE PARK - 10272 BALTIMORE NATIONAL PIKE  
CROFTON CITY, MARYLAND 21036  
(410) 461-2855

ESSEX is designed to add dimension and weight to larger landscape and commercial settings. Constructed using dimensionally larger lumber, these benches will provide a base for any outdoor project, but are specially scaled for the grand stage.

MATERIALS	FINISH	CUSHIONS	LIFESTYLES	FINISHING TOUCHES
Shorea	Natural	N/A	Pages 20-21	Page 70

**EX48**  
4' Bench with arms  
Shorea  
width 48"  
depth 26"  
height 35"  
seat height 18"  
64 lbs. assembled

**EX72**  
6' Bench with arms  
Shorea  
width 72"  
depth 26"  
height 35"  
seat height 18"  
80 lbs. assembled

**EX83**  
Curved bench with arms  
Shorea  
width 83" inside radius 93"  
depth 27" outside radius 115"  
height 35"  
seat height 18"  
110 lbs. assembled

**EX96**  
8' Bench with arms  
Shorea  
width 96"  
depth 26"  
height 35"  
seat height 18"  
170 lbs. assembled

**BENCH DETAIL**  
TYPE: ESSEX (OR APPROVED EQUAL)  
NOT TO SCALE

**RUSTICO COMBO**  
Multi-size rectangular shapes • Slightly dimpled surface  
Chamfered edges • Square corners

width	length	thickness	pack/ct.	ct./palette	pack/pallet	net weight
3"	6"	2-3/8"	80	117	100	3,276
6"	6"	2-3/8"	40		100	
6"	9"	2-3/8"	27		160	
9"	9"	2-3/8"	18		40	

Ball and four sold separately. See opposite page.

**PAVERS DETAIL**  
TYPE: RUSTICO (OR APPROVED EQUAL)  
NOT TO SCALE



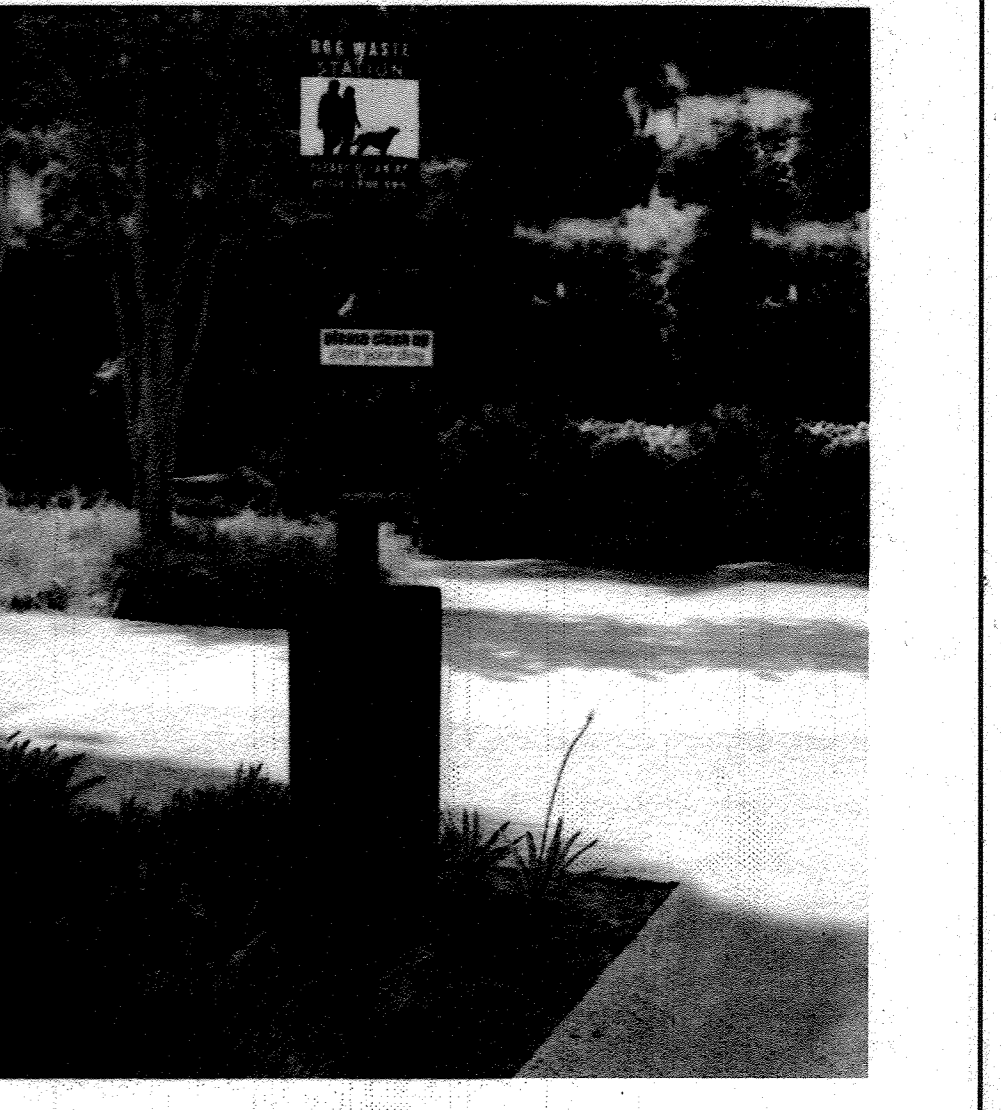
**STAINLESS STEEL GRILL**  
TYPE: STAINLESS STEEL (OR APPROVED EQUAL)  
NOT TO SCALE



**A-FRAME PICNIC TABLE**  
TYPE: BARCO BOARD (OR APPROVED EQUAL)  
NOT TO SCALE



**STEEL DESIGNER RECEPTACLES**  
TYPE: 55 GALLON SLATTED STEEL (OR APPROVED EQUAL)  
NOT TO SCALE



**DOG WASTE STATION**  
NOT TO SCALE

NO.	REVISION	DATE

AS-BUILT CERTIFICATION

Note: There is no "AS BUILT" information provided on this sheet.

*Charles J. Crausa, P.E., P.L.S.*  
DATE: 10/10/16

**PROFESSIONAL CERTIFICATION**  
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND THAT I AM A DULY LICENSED PROFESSIONAL SURVEYOR UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 21476, EXPIRATION DATE: 7/14/17.

*Frank John Manalangan II*  
FRANK JOHN MANALANGAN II, L.S. NO. 21476  
DATE: 10/10/16

OWNER	DEVELOPER
C/O CDG ASSET MANAGEMENT LLC 8985 E. HARTFORD DRIVE SUITE 200 SCOTTSDALE, AZ 85255 ATTN: STEVEN S. BENSON (480) 696-3733	BEAZER HOMES CORP 8985 GUILFORD ROAD COLUMBIA, MD. 21046 ATTN: EDWARD GOLD (410) 720-5071

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

*Neil S. Scales*  
Chief, Division of Land Development  
DATE: 11-4-16

*Neil S. Scales*  
Chief, Development Engineering Division  
DATE: 11-2-16

*Valerie J. Griffin*  
Director - Department of Planning and Zoning  
DATE: 12-17-16

PROJECT	SECTION	LOTS NO.	LOTS NO.
MORRIS PLACE	N/A	LOTS 106 THRU 184	AND OPEN SPACE LOTS 185 THRU 193

PLAT	BLOCK NO.	ZONE	TAX/ZONE	ELEC. DIST.	CENSUS TR.
23909-23912	4	CAC & CLI	43	1	6069.02

WATER CODE	SEWER CODE
C-02	7390000

**LANDSCAPE DETAILS**

**SINGLE FAMILY TOWNHOUSE  
MORRIS PLACE**  
LOTS 106 THRU 184  
AND OPEN SPACE LOTS 185 THRU 193  
PHASE VI

ZONED: CAC & CLI

PREVIOUS HOWARD COUNTY FILES: ECP-13-035, SDP-82-148, SDP-91-501, 5-10-02, P-13-001, WP-12-173, WP-14-068, F-14-028, F-15-047, F-16-017, SDP-15-017, SDP-15-029, W & S CONTR. NO. 14-4777-D AND CONTR. NO. 14-4897-D

TAX MAP NO.: 43 PARCEL NO.: 599 GRID NO.: 4

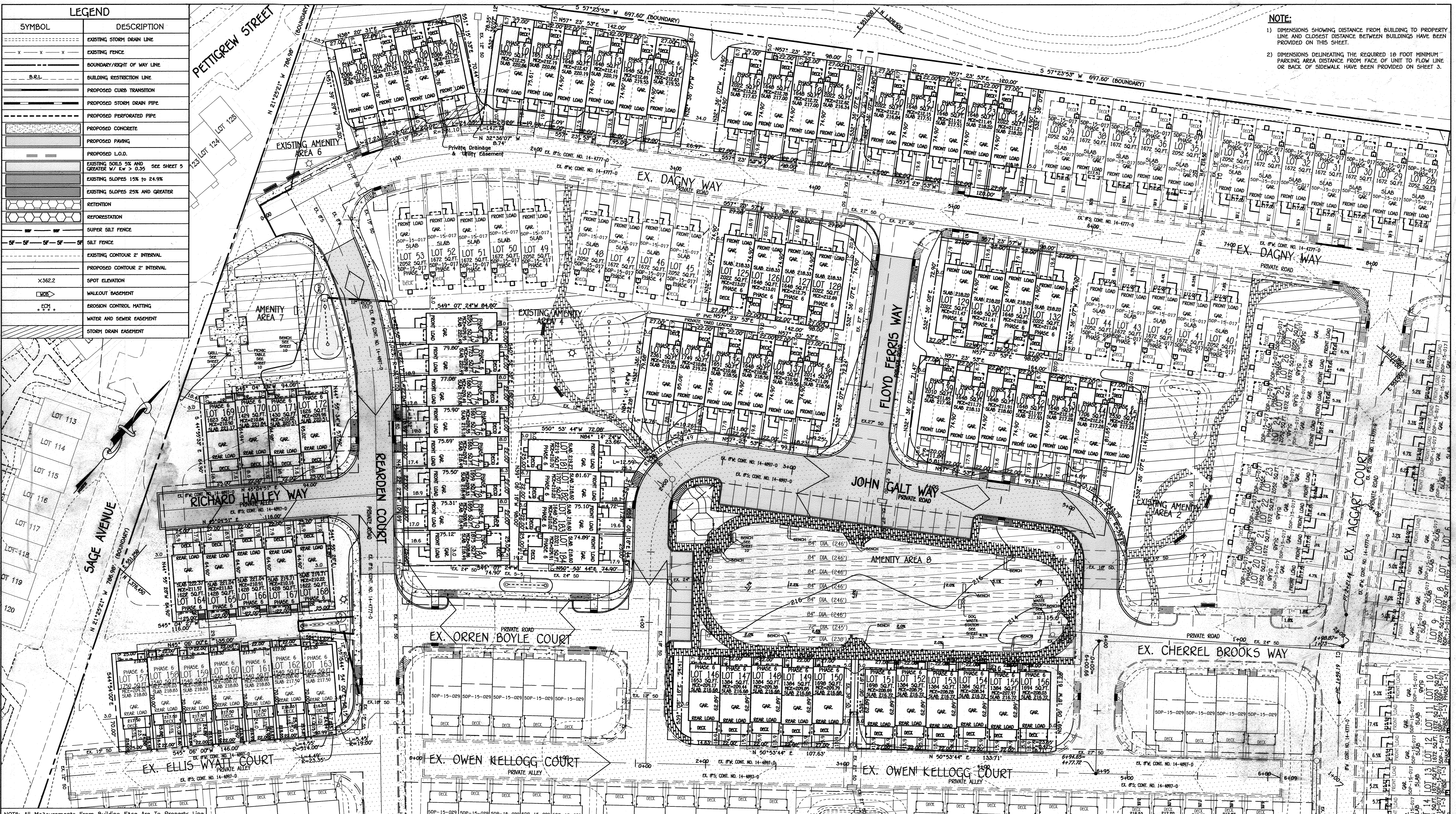
FIRST ELECTION DISTRICT HOWARD COUNTY, MARYLAND  
SCALE: AS SHOWN DATE: SEPTEMBER, 2016  
SHEET 10 OF 11

SDP 16-001

THERE IS NO "AS-BUILT" INFORMATION PROVIDED ON THIS SHEET

LEGEND	
SYMBOL	DESCRIPTION
	EXISTING STORM DRAIN LINE
	EXISTING FENCE
	BOUNDARY/RIGHT OF WAY LINE
	BUILDING RESTRICTION LINE
	PROPOSED CURB TRANSITION
	PROPOSED STORM DRAIN PIPE
	PROPOSED PERFORATED PIPE
	PROPOSED CONCRETE
	PROPOSED PAVING
	PROPOSED L.O.D.
	EXISTING SOILS 5% AND GREATER W/ Lw > 0.35 SEE SHEET 5
	EXISTING SLOPES 15% TO 24.9%
	EXISTING SLOPES 25% AND GREATER
	RETENTION
	REFORESTATION
	SUPER SILT FENCE
	SILT FENCE
	EXISTING CONTOUR 2' INTERVAL
	PROPOSED CONTOUR 2' INTERVAL
	SPOT ELEVATION
	WALKOUT BASEMENT
	EROSION CONTROL MATTING
	WATER AND SEWER EASEMENT
	STORM DRAIN EASEMENT

- NOTE:**
- 1) DIMENSIONS SHOWING DISTANCE FROM BUILDING TO PROPERTY LINE AND CLOSEST DISTANCE BETWEEN BUILDINGS HAVE BEEN PROVIDED ON THIS SHEET.
  - 2) DIMENSIONS DELINEATING THE REQUIRED 10 FOOT MINIMUM PARKING AREA DISTANCE FROM FACE OF UNIT TO FLOW LINE OR BACK OF SIDEWALK HAVE BEEN PROVIDED ON SHEET 3.



NOTE: All Measurements From Building Face Are To Property Line

NO.	REVISION	DATE
1	REMOVE BIO-RETENTION FACILITY M-6 (S)	7/2/16

0 30 60 120  
SCALE: 1" = 30'

**AS-BUILT CERTIFICATION FOR PAVING**  
Note: There is no "AS BUILT" information provided on this sheet.

Date: 7/2/16  
Signature: CHARLES J. CARROLL, P.E. #13204

**PROFESSIONAL CERTIFICATION**

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND THAT I AM A DULY LICENSED PROFESSIONAL SURVEYOR UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 21476, EXPIRATION DATE: 7/11/17.

Date: 10/10/16  
Signature: Frank John Manalansan Jr.  
FRANK JOHN MANALANSAN JR., L.S. NO. 21476

**OWNER**  
C/O CDCG ASSET MANAGEMENT LLC  
8909 E. HARTFORD DRIVE  
SUITE 200  
SCOTTSDALE, AZ 85255  
ATTN: STEVEN S. BENSON  
(480) 696-3733

**DEVELOPER**  
BEAZER HOMES COSP  
8909 E. HARTFORD ROAD  
COLUMBIA, MD. 21046  
ATTN: EDWARD GOLD  
(410) 720-5071

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

Chief, Division of Land Development: *11-4-16* Date  
Chief, Development Engineering Division: *11-2-16* Date  
Director - Department of Planning and Zoning: *12-17-16* Date

PROJECT	SECTION	LOTS NO.
MORRIS PLACE	N/A	LOTS 106 THRU 184 AND OPEN SPACE
PLAT	BLOCK NO.	ZONE
23909-23912	4	CAC & CU
WATER CODE	SEWER CODE	ELEC. DIST.
C-02	7390000	1
CENSUS TR.		6069.02

**GEOMETRY PLAN**

**SINGLE FAMILY TOWNHOUSE**  
**MORRIS PLACE**  
LOTS 106 THRU 184  
AND OPEN SPACE LOTS 185 THRU 193  
PHASE VI

ZONED: CAC & CU

PREVIOUS HOWARD COUNTY FILES: ECP-13-035, SOP-02-148, SOP-91-50, S-10-02, P-13-001, MP-12-173, W-14-069, F-14-028, F-15-047, F-16-017, SOP-15-017, SOP-15-029, W & S CONTR. NO. 14-4777-D AND CONTR. NO. 14-4997-D

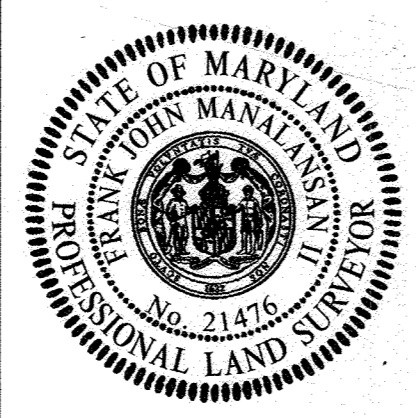
TAX MAP NO.: 43 PARCEL NO.: 599 GRID NO.: 4

FIRST ELECTION DISTRICT: HOWARD COUNTY, MARYLAND

SCALE: 1" = 30' DATE: SEPTEMBER, 2016

SHEET 11 OF 11  
SOP 16-001

THERE IS NO "AS-BUILT" INFORMATION PROVIDED ON THIS SHEET



LANDSCAPING PLANT LIST				
SYMBOL	QUANTITY	BOTANICAL AND COMMON NAME	SIZE	COMMENTS
	50	ACER RUBRUM "ARMSTRONG" RED MAPLE	2 1/2-3" CAL.	
	86	PRUNUS SARGENTII SARGENT CHERRY	2 1/2-3" CAL.	
	10	CLETHRA ALNIFOLIA SUMMERSWEET CLETHRA	2 1/2-3" CAL.	

**NOTE:**  
THE LANDSCAPE MANUAL SURETY IN THE AMOUNT OF \$41,100.00 FOR 136 SHADE TREES, 10 SHRUBS SHALL BE POSTED WITH THE DEVELOPER'S AGREEMENT FOR THIS PLAN (SDP-15-017).

**LANDSCAPE DEVELOPER'S CERTIFICATE**

I/We certify that the landscaping shown on this plan will be done according to the plan, Section 16.124 of the Howard County Code and the Howard County Landscape Manual. I/We further certify that upon completion a certification of landscape installation accompanied by an executed one year guarantee of plant materials will be submitted to the Department of Planning and Zoning.

*T. J. Carter* Date 8/21/15

This plan has been prepared in accordance with the provision of Section 16.124 of the Howard County Code and Landscape Manual. Financial surety for the required landscaping will be posted as part of the developer's agreement.

STREET TREE SCHEDULE		
QTY.	SIZE	COMMENTS
467/40 = 11.67 11.67 x 2 = 23.35 23 TREES	2 1/2-3" CAL.	40' APART (Taggart Court)
173/40 = 4.33 4.33 x 2 = 8.66 9 TREES	2 1/2-3" CAL.	40' APART (Cherrel Brooks Way)
802/40 = 22.05 22.05 x 2 = 44.10 44 TREES	2 1/2-3" CAL.	40' APART (Dagny Way)
131/40 = 3.28 3.28 x 2 = 6.56 7 TREES	2 1/2-3" CAL.	40' APART (Part of John Galt Way) Sta 5+63.74 to 5+94.65

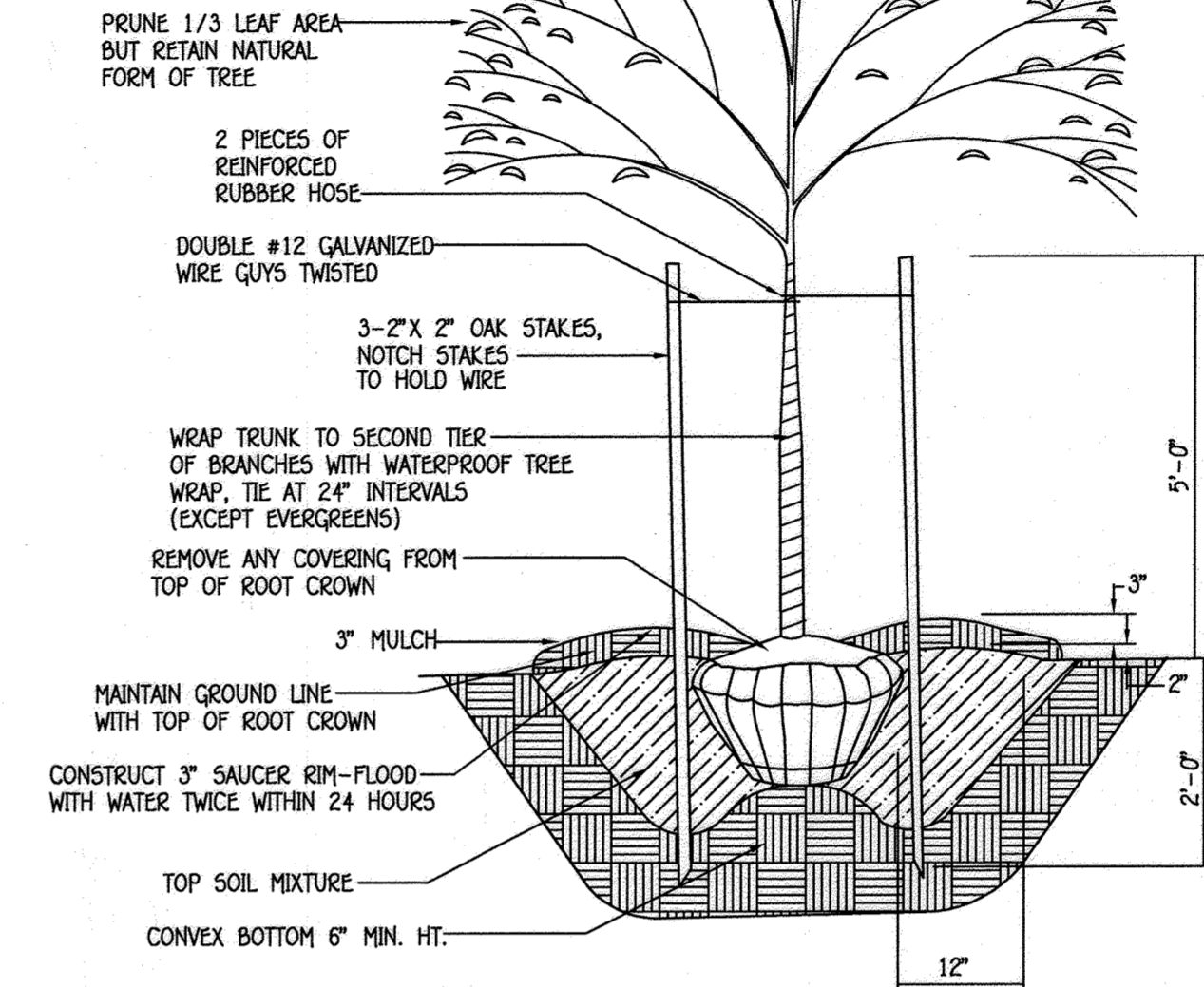
TOTAL QUANTITY = 83 STREET TREES

SCHEDULE B PARKING LOT INTERNAL LANDSCAPING	
	SINGLE FAMILY ATTACHED
NUMBER OF PARKING SPACES	4
NUMBER OF TREES REQUIRED (1:10)	1

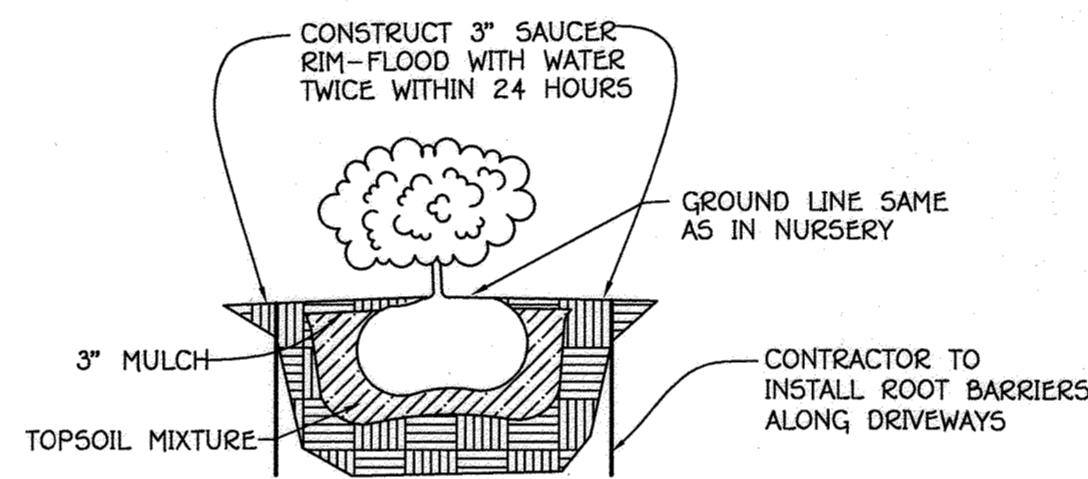
SCHEDULE C RESIDENTIAL DEVELOPMENT INTERNAL LANDSCAPING	
	SINGLE FAMILY ATTACHED
NUMBER OF DWELLING UNITS	53
NUMBER OF TREES REQUIRED (1:10) (SFA)	53
NUMBER OF TREES PROVIDED (1:3 DU APTS)	
SHADE TREES	52
SHRUBS	10

NOTE: CONTRACTOR TO REGRADE, SOO OR HYDROSEED AND STRAW MULCH ALL AREAS DISTURBED AS A RESULT OF THEIR WORK.

SPRAY WITH WILT-PROOF ACCORDING TO MANUFACTURER'S STANDARDS



**TREE PLANTING DETAIL**  
NOT TO SCALE



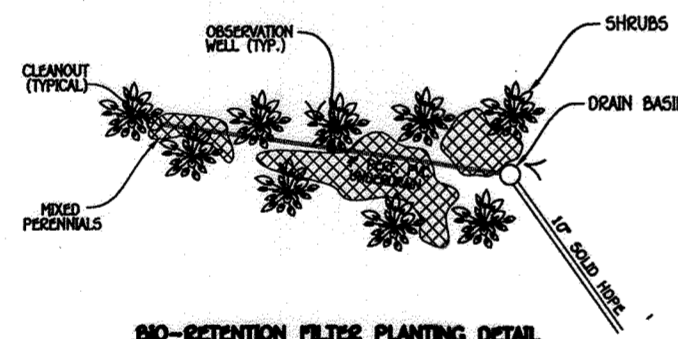
**SHRUB PLANTING DETAIL**  
NOT TO SCALE

**AMENITY AREA #5**

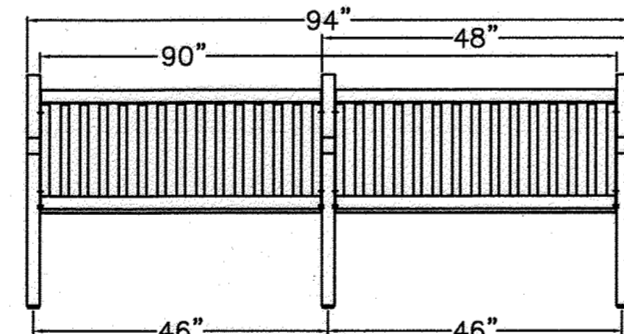
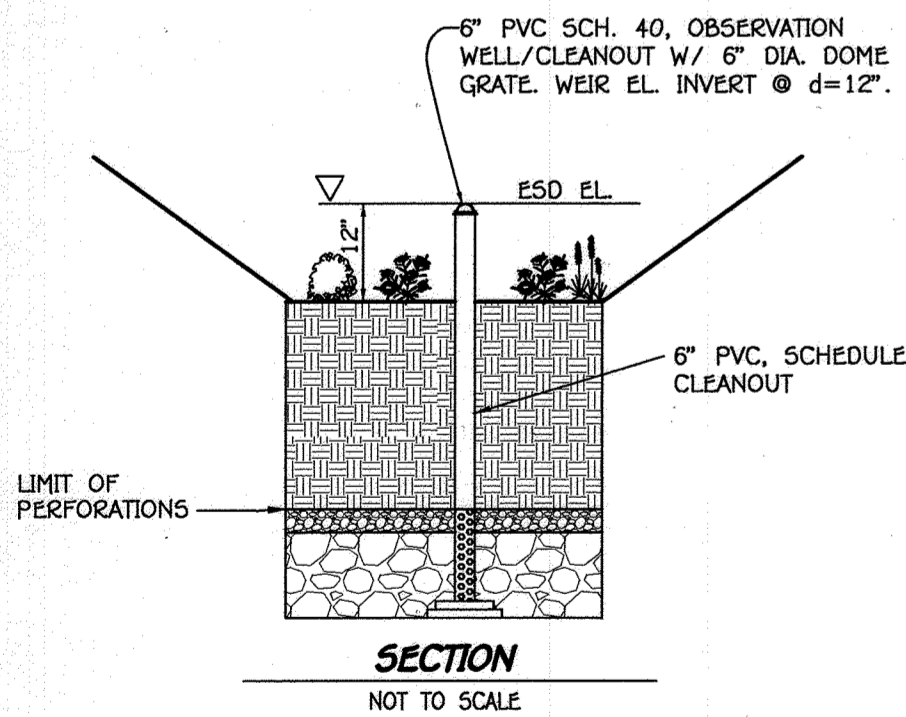
- NOTE:
- THE BIO-RETENTION FACILITY LOCATED WITHIN AMENITY AREA #5 HAS BEEN PROVIDED UNDER F-14-028. THE QUANTITY AND SPECIES FOR THE REQUIRED PLANTINGS TO SUPPORT THIS FACILITY ARE SHOWN BELOW.
  - THE TREE PLANTING SURROUNDING THIS FACILITY ARE TO SUPPORT THE LANDSCAPE OBLIGATION REQUIRED FOR SDP-15-029. THERE WILL BE 10 ACER RUBRUM "ARMSTRONG", RED MAPLES PLANTED ALONG THE PERIMETER OF THIS FACILITY.
  - BENCHES WILL BE BLACK FRAMED WITH COMPOSITE SLATES THAT RESEMBLE NATURAL WOOD.

**Bio-Retention plant and shrub species to be planted within Amenity Area#5**

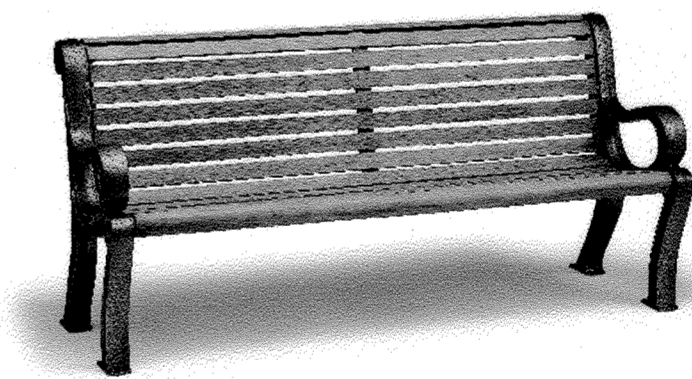
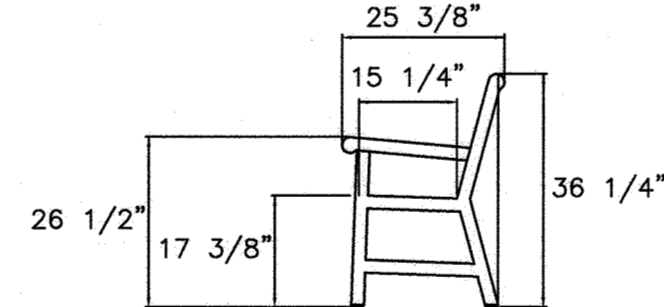
- PERENNIALS: PLEASANT WOODRIDGE, GOLDEN PLEASANT, WINDSOR WOODRIDGE
- SHRUBS: BURNING BUSH, RED TWIG DOGWOOD, RED TIGER LILY, RED TIGER LILY, RED TIGER LILY



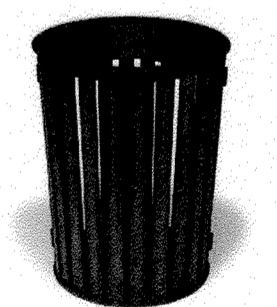
PLANT MATERIAL-BIO-RETENTION No. 1		
QTY.	NAME	MAXIMUM SPECIFIC TYPE
116	SHRUBS	1 FT.
	SHRUBS	2 FT.



**BENCH DETAILS**  
NOT TO SCALE



**Bench**  
AS MANUFACTURED BY KET OR APPROVED EQUIV.  
with Lined and Flat Top Lid - Faux Wood Surface Finish

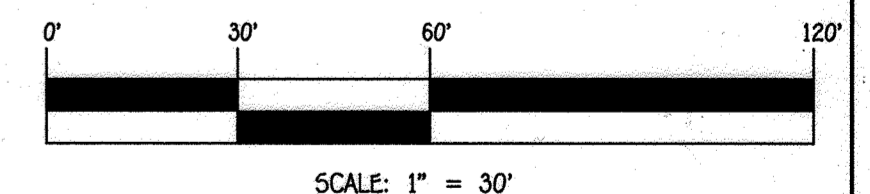


**32 Gallon Receptacle**  
AS MANUFACTURED BY KET OR APPROVED EQUIV.  
with Lined and Flat Top Lid - Faux Wood Portable

**AS-BUILT CERTIFICATION FOR BENCH**

Note: There is no "AS BUILT" information provided on this sheet.

*Handwritten signature and date*



**FISHER, COLLINS & CARTER, INC.**  
CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS  
10272 BALTIMORE NATIONAL PIKE  
ELLSWORTH CITY, MARYLAND 21042  
(410) 461-2899



**AS-BUILT CERTIFICATION FOR BENCH**

Note: There is no "AS BUILT" information provided on this sheet.

*Handwritten signature and date*

**PROFESSIONAL CERTIFICATION**

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND THAT I AM A DULY LICENSED PROFESSIONAL SURVEYOR UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 21476, EXPIRATION DATE: 7/14/17.

*Handwritten signature and date*

**OWNER**  
CDCG 3 BZH LP,  
C/O CDCG ASSET MANAGEMENT, LLC  
8989 E. HARTFORD DRIVE  
SUITE 200  
SCOTTSDALE, ARIZONA 85255  
ATTN: STEVEN S. BENSON  
(480) 896-3733

**DEVELOPER/BUILDER**  
BEAZER HOMES CORP  
8965 GUILFORD ROAD  
SUITE 290  
COLUMBIA MARYLAND 21046  
ATTN: EDWARD GOLD  
(410) 720-5071

**APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING**

*Handwritten signature and date*

PROJECT	SECTION	LOTS NO.
MORRIS PLACE PHASES I-IV	N/A	1 THRU 53

PLAT	BLOCK NO.	ZONE	TAX/ZONE	ELEC. DIST.	CENSUS TR.
23345-23348	4	CAC-CL1	43	1	6069.02

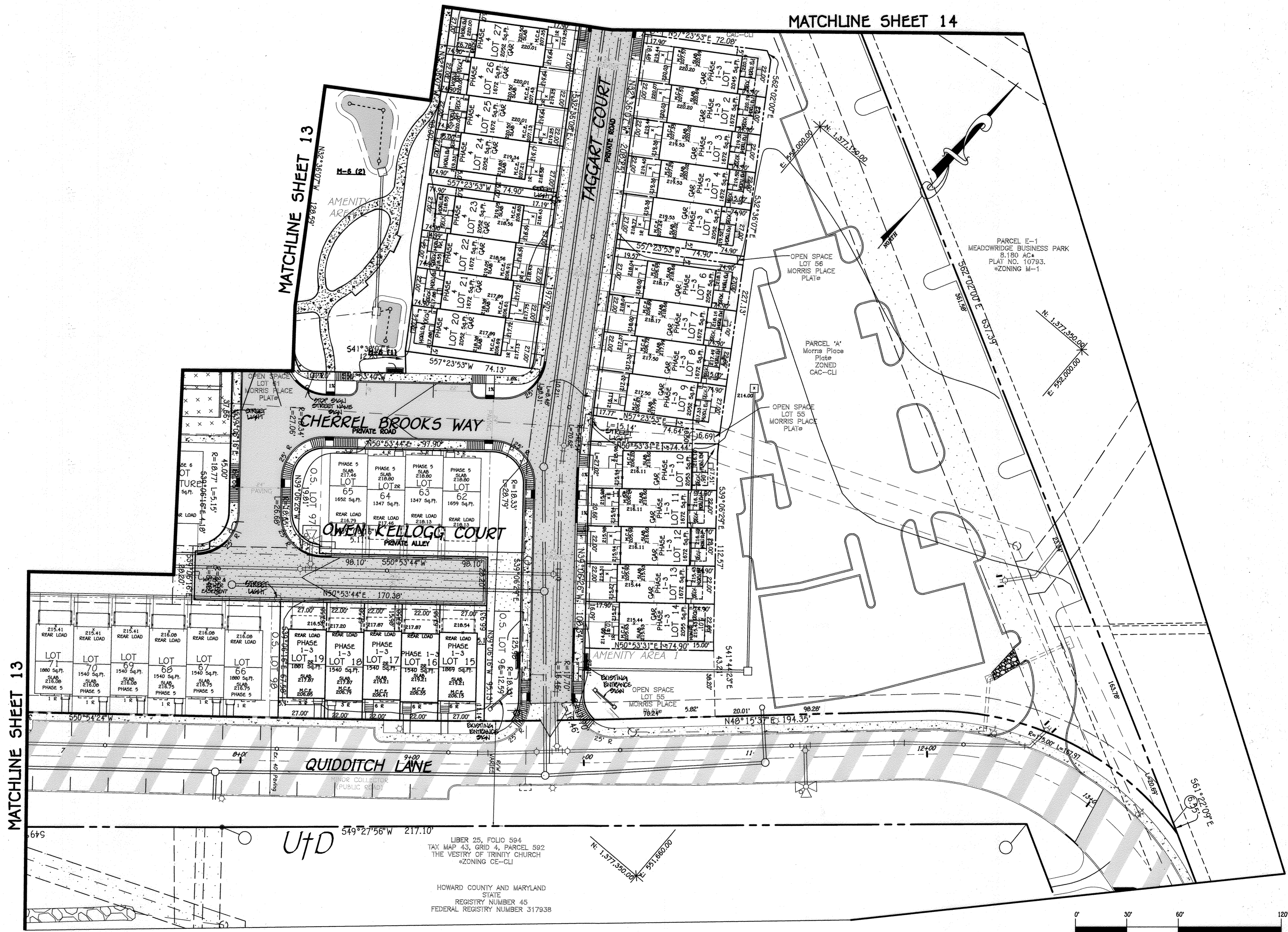
WATER CODE: C-02  
SEWER CODE: 7390000

**LANDSCAPE PLAN**

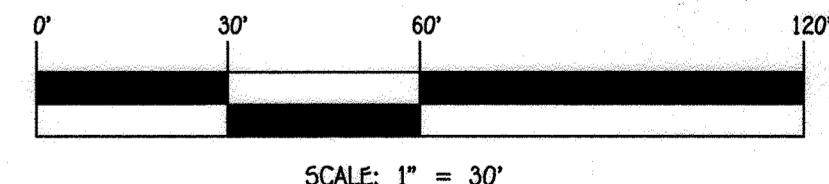
**SINGLE FAMILY TOWNHOUSE MORRIS PLACE**  
LOTS 1 THRU 53, OPEN SPACE LOTS 54 THRU 61 & NON-BUILDABLE BULK PARCELS 'A' THRU 'C'  
PHASES I-IV  
ZONED: CAC-CL1  
PREVIOUS HOWARD COUNTY FILES: ECP-13-035, SDP-82-148, SDP-91-50, 5-10-02, P-13-001, WP-12-173, WP-14-068, F-14-028, F-15-047, SDP-15-029 AND W & S CONTRACT NO. 14-4777-D.  
TAX MAP NO.: 43 PARCEL NO.: 599 GRID NO.: 4  
FIRST ELECTION DISTRICT HOWARD COUNTY, MARYLAND  
SCALE: AS SHOWN DATE: AUGUST, 2015  
SHEET 12 OF 14

THERE IS NO "AS-BUILT" INFORMATION PROVIDED ON THIS SHEET

NO.	REVISION	DATE
1	REVISED PAGES, WORK ROOM ARCHITECTURAL PLAN	8/21/15



LEGEND	
SYMBOL	DESCRIPTION
---	EXISTING CONTOUR 2' INTERVAL
- - -	PROPOSED CONTOUR 2' INTERVAL
X362.2	SPOT ELEVATION
SSFT/TP	SILT FENCE
SSF-SSF	SUPER SILT FENCE
LOD	LIMIT OF DISTURBANCE
---	WATER AND SEWER EASEMENT
---	PRIVATE DRAINAGE & UTILITY EASEMENT
---	PRIVATE STORMWATER MANAGEMENT MAINTENANCE, DRAINAGE & UTILITY EASEMENT
○	PROPOSED TREE
○	EXISTING LANDSCAPING PER F-14-02B
○	FUTURE LANDSCAPING PER SDP-15-029
○	STREETLIGHT



NO.	REVISION	DATE
1	REVISED DECKS, WORK, ROOM PER ARCHITECTURAL PLAN	5/9/16



**AS-BUILT CERTIFICATION**  
 Note: There is no "AS BUILT" information provided on this sheet.  
 CHARLES J. UCKRIDER, P.E. 11/20/14  
 Date

**PROFESSIONAL CERTIFICATION**  
 I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND THAT I AM A DULY LICENSED PROFESSIONAL SURVEYOR UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 21476, EXPIRATION DATE: 7/14/17.  
 FRANK JOHN MANALANSAN II, L.S. NO. 21476  
 DATE

**OWNER**  
 CDCG 3 BZH LP,  
 C/O CDCG ASSET MANAGEMENT, LLC  
 8985 E. HARTFORD DRIVE  
 SUITE 200  
 SCOTTSDALE, ARIZONA 85255  
 ATTN: STEVEN S. BENSON  
 (480) 956-3733

**DEVELOPER/BUILDER**  
 BEAZER HOMES CORP  
 8965 GULFORD ROAD  
 SUITE 290  
 COLUMBIA, MARYLAND 21046  
 ATTN: EDWARD GOLD  
 (410) 720-5071

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

Chief, Division of Land Development: 10-7-15  
 Date

Chief, Development Engineering Division: 10-7-15  
 Date

Director - Department of Planning and Zoning: 10-7-15  
 Date

PROJECT	SECTION	LOTS NO.
MORRIS PLACE PHASES I-IV	N/A	1 THRU 53

PLAT	BLOCK NO.	ZONE	TAX/ZONE	ELEC. DIST.	CENSUS TR.
23345-23348	4	CAC-CL1	43	1	6089.02

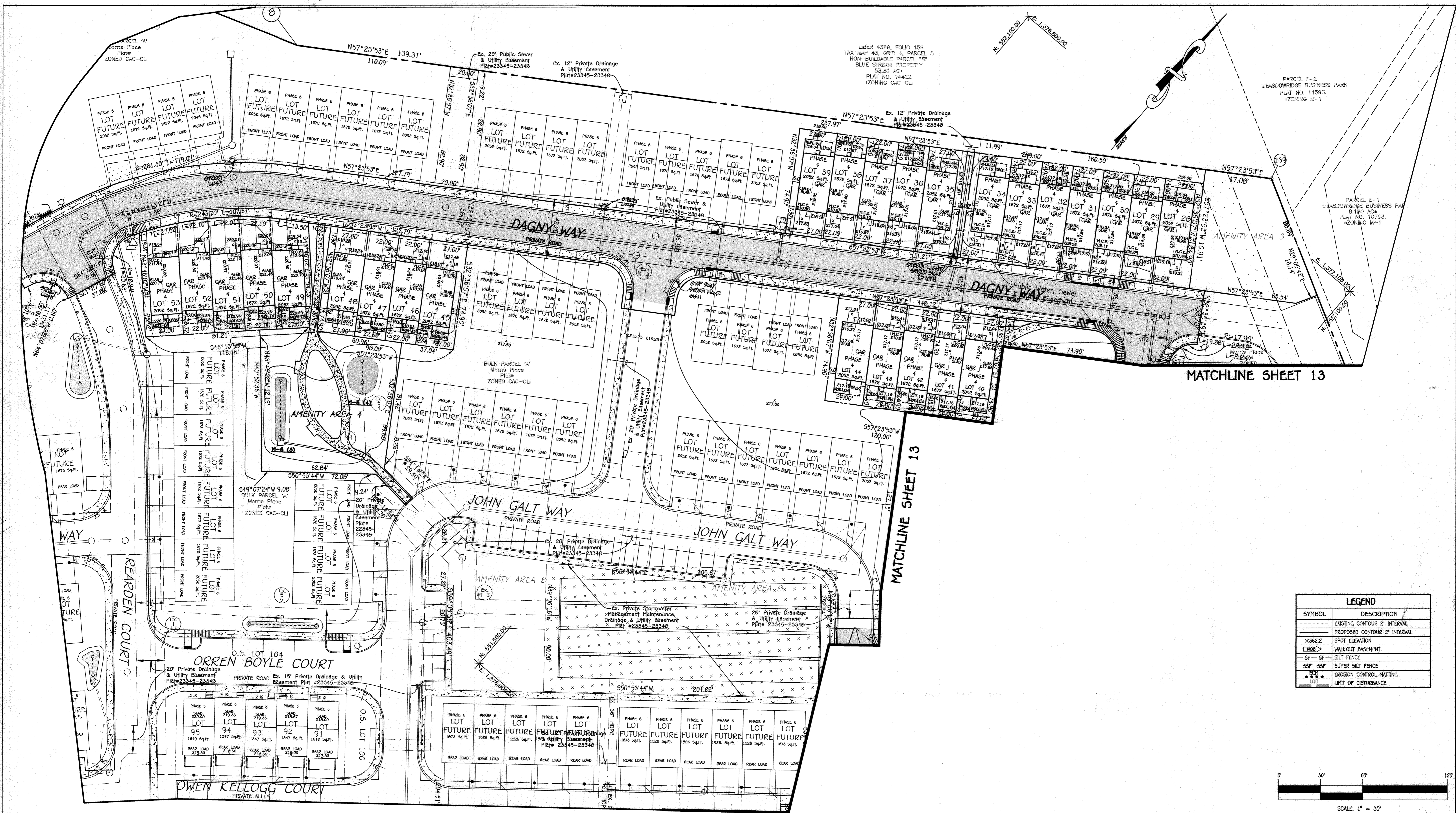
WATER CODE	SEWER CODE
C-02	7390000

**GEOMETRY PLAN**

**SINGLE FAMILY TOWNHOUSE MORRIS PLACE**  
 LOTS 1 THRU 53, OPEN SPACE LOTS 54 THRU 61 & NON-BUILDABLE BULK PARCELS 'A' THRU 'C' PHASES I-IV  
 ZONED: CAC-CL1  
 PREVIOUS HOWARD COUNTY FILES: ECP-13-035, SDP-82-148, SDP-91-50, 5-10-02, P-13-001, WP-12-173, WP-14-068, F-14-028, F-15-047, SDP-15-029 AND W & S CONTRACT NO. 14-4777-D.  
 TAX MAP NO.: 43 PARCEL NO.: 599 GRID NO.: 4  
 PREP ELECTORAL DISTRICT HOWARD COUNTY, MARYLAND  
 SCALE: AS SHOWN DATE: AUGUST, 2015  
 SHEET 13 OF 14

**FISHER, COLLINS & CARTER, INC.**  
 CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS  
 CENTENNIAL SQUARE OFFICE PARK - 10272 BALTIMORE NATIONAL PIKE  
 ELLOTT CITY, MARYLAND 21042  
 (410) 461-2899

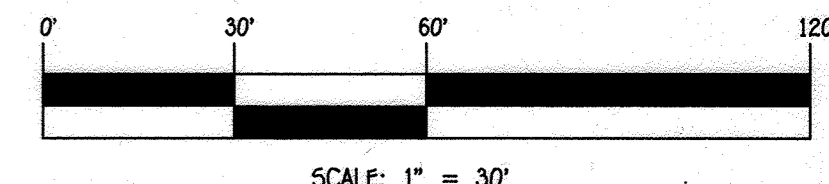
THERE IS NO "AS-BUILT" INFORMATION PROVIDED ON THIS SHEET



MATCHLINE SHEET 13

MATCHLINE SHEET 13

LEGEND	
SYMBOL	DESCRIPTION
---	EXISTING CONTOUR 2' INTERVAL
---	PROPOSED CONTOUR 2' INTERVAL
x362.2	SPOT ELEVATION
CB	WALKOUT BASEMENT
SF	SILT FENCE
SSF	SUPER SILT FENCE
SM	EROSION CONTROL MATTING
LD	LIMIT OF DISTURBANCE



NO.	REVISION	DATE
1	REVISED PER ARCH. ROOM PER ARCHITECTURAL PLAN	8/9/16

**AS-BUILT CERTIFICATION FOR PERMITS**

Note: There is no "AS BUILT" information provided on this sheet.

*Charles Cravens*  
 CHARLES CRAVENS, P.E. #13204  
 Date: 8/11/16

**PROFESSIONAL CERTIFICATION**

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND THAT I AM A DULY LICENSED PROFESSIONAL SURVEYOR UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 21476, EXPIRATION DATE: 7/14/17.

*Frank John Manalisan II*  
 FRANK JOHN MANALISAN II, L.S. NO. 21476  
 DATE: 8/11/16

**OWNER**  
 COG 3 BZH LP  
 C/O CDCG ASSET MANAGEMENT, LLC  
 8505 E. HARTFORD DRIVE  
 SUITE 200  
 SCOTTSDALE, ARIZONA 85255  
 ATTN: STEVEN S. BENSON  
 (480) 696-3753

**DEVELOPER/BUILDER**  
 BEAZER HOMES CORP  
 8965 GULFORD ROAD  
 SUITE 200  
 COLUMBIA, MARYLAND 21046  
 ATTN: EDWARD GOLD  
 (410) 720-5071

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

*John Salvo*  
 Chief, Division of Land Development  
 Date: 10-7-15

*Walter J. ...*  
 Chief, Development Engineering Division  
 Date: 10-2-15

*Walter J. ...*  
 Director of Planning and Zoning  
 Date: 10-7-15

PROJECT	SECTION	LOTS NO.
MORRIS PLACE PHASES I-IV	N/A	1 THRU 53

PLAT	BLOCK NO.	ZONE	TAX/ZONE	ELEC. DIST.	CENSUS TR.
23345-23348	4	CAC-CL1	43	1	6069.02

WATER CODE: C-02  
 SEWER CODE: 7390000

**GEOMETRY PLAN**

**SINGLE FAMILY TOWNHOUSE MORRIS PLACE**

LOTS 1 THRU 53, OPEN SPACE LOTS 54 THRU 61 & NON-BUILDABLE BULK PARCELS 'A' THRU 'C' PHASES I-IV

ZONED: CAC-CL1  
 PREVIOUS HOWARD COUNTY FILES: ECP-13-035, SDP-82-148, SDP-91-50, 5-10-02, P-13-001, WP-12-173, WP-14-068, F-14-028, F-15-047, SDP-15-029 AND W & 5 CONTRACT NO. 14-4777-D  
 TAX MAP NO.: 43 PARCEL NO.: 599 GRID NO.: 4  
 FIRST ELECTION DISTRICT HOWARD COUNTY, MARYLAND  
 SCALE: AS SHOWN DATE: AUGUST, 2015  
 SHEET 14 OF 14

SDP 15-017

**FISHER, COLLINS & CARTER, INC.**  
 CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS  
 10000 SOUTHWEST SQUARE OFFICE PARK - 10272 BALDWIN NATIONAL PIKE  
 ELICOTT CITY, MARYLAND 21042  
 (410) 461-2295



THERE IS NO "AS-BUILT" INFORMATION PROVIDED ON THIS SHEET