ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CATEST STANDARDS AND SPECIFICATIONS OF HOWARD COUNTY STANDARDS AND SPECIFICATIONS. ALL WORK AND MATERIALS SHALL COMPLY WITH O.S.H.A. STANDARDS. THE CONTRACTOR SHALL NOTIFY MISS UTILITY" AT 1-800-257-7777 AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION WORK. THE CONTRACTOR IS TO NOTIFY THE FOLLOWING UTILITIES OR AGENCIES AT LEAST FIVE DAYS BEFORE STARTING WORK ON THESE DRAWINGS: MISS UTILITY: 1-800-257-7777 VERIZON: 1-800-743-0033 BUREAU OF UTILITIES: 410-313-4900 AT&T: 1-800-252-1133	
MISS UTILITY: 1-800-257-7777 VERIZON: 1-800-743-0033 BUREAU OF UTILITIES: 410-313-4900 AT&T: 1-800-252-1133	TOD RESIDENTIAL DE VELOPMENT TRACKING AREA (PADDOCK POINTE PROJECT) 63.34 AC.
Al&I: 1-800-252-1133	LOOPLAIN & STEEP SLOPES 14.84 AC. PABLE ACREAGE (NET) 48.50 AC. DEVELOPABLE AREA (NOT TO EXCEED) 24.25 AC.
B.G.&E. (CONSTRUCTION SERVICES): 410–637–8713 B.G.&E. (EMERGENCY): 410–635–0123 PHASE 1 PHASE 1	PROJECT AREA RESIDENTIAL AREA (SDP-15-043) 5.59 AC.
STATE HIGHWAY ADMINISTRATION: 410–531–5555 COLONIAL PIPELINE CO.: 410–795–1390 SITE ANALYSIS: PRESENT ZONING: TOD. (TRANSIT ORIENTED DEVELOPMENT)	RESIDENTIAL AREA (SDP-15-063) 3.23 AC.
EXISTING USE: PARKING LOT PADDOCK POINTE OVERALL PROJECT DATA (ALL PHASES): CROSS AREA OF PROPERTY: 63.3435 AC (INCLUDES AREAS RETWEEN NR + SR ROUTE 1.)	8.82 AC RE THAN 50% OF THE DEVELOPABLE AREA ACREAGE, EXCL WAY AND OPEN SPACE SHALL BE DEVOTED TO RESIDENT
FLOOD PLAIN AREA: 14.8390 AC. (INCLUDES AREAS BETWEEN NB + 3B ROOTE 1) STEEP SLOPES (WITHIN FLOODPLAIN AREA): 0.3010 AC. NET AREA (PANDOCK POINTE PROJECT)· 48 5045 AC	KING.
OVERALL DEVELOPMENT PROPOSED USE: MIXED USE (RESIDENTIAL, COMMERCIAL, OFFICE) OVERALL DEVELOPMENT PROPOSED UNITS: 1,000 APARTMENTS OVERALL DEVELOPMENT PROPOSED COMMERCIAL SPACE: 127,000 S0 FT	7
OVERALLDEVELOPMENTPROPOSEDGENERALOFFICE650,000SQTOVERALLDEVELOPMENTMIHUREQUIRED–AREA2013201420152016OVERALLDEVELOPMENTMIHUREQUIRED–APARTMENTS:1,000UNITS1001OVERALLDEVELOPMENTMIHUREQUIRED–APARTMENTS:1,000UNITS1002.3SOUTHEAST252243144146	TAL 785
OVERALL DEVELOPMENT PUBLIC AMENITY AREA REQUIRED: 48.50 AC. 10% = 4.85 AC. III 0 0 4-6 ROUTE 1 - 73 66 MIHU - 73 66 MIHU - 38 38 MIHU -	139 76
PHASE 2 SITE AREA (PARCELS B-4, B-5, C-2, C-3, C-4 & K-2): 19.03 AC. PHASE 2 USE OF STRUCTURE: RENTAL APARTMENT BUILDING (278 UNITS) PHASE 2 MIHL UNITS REQUIRED: 41.7 UNITS (278415%) / MIHL UNITS PROVIDED: 42 UNITS*	
*(SEE MIHU PHASE CHART THIS SHEET) PHASE 2 BUILDING FOOTPRINT: 133,408 SF (3.06 AC. OR 4.83% OF GROSS AREA) UNDEVELOPABLE ENVIRONMENTALAREA: 2 DUINC FLOOP AREAS:	<u>33</u> 26
HTAGE 2 DOTEONS FLOOR AND/S. 1010Enet Project AREA. 411 BASEMENT FLOOR: 41,311 GSF (PARKING) TOTAL PADDOCK POINTE PROJECT IMPERVIOUS AREA: 29: 1ST FLOOR: 133,617 GSF (41,311 PARKING/78,797 RESIDENTIAL/13,509 AMENITY) TOTAL PADDOCK POINTE PROJECT ESDV REQUIRED: 87; 2ND FLOOR: 130,343 GSF (41,311 PARKING/78,797 RESIDENTIAL/13,509 AMENITY) TOTAL PADDOCK POINTE PROJECT ESDV REQUIRED: 87;	
2ND FLOOR: 130,343 GSF (41,311 PARKING/93,022 RESIDENTIAL) 3RD FLOOR: 133,322 GSF (41,311 PARKING/93,021 RESIDENTIAL) 4TH FLOOR: 133,889 GSF (41,311 PARKING/92,578 RESIDENTIAL) TARGET ESU PHASE AREA (AC) Within Total Project)	
PHASE 2 PAVED PARKING LOT/AREA ON SITE: 29,566 SF. (0.68 AC. OR 1.56% OF GROSS AREA) Phase 1 (SDP-15-043) 15.52 533,565 12.25 40.91% 35,701 35,55 PHASE 2 PAVED PARKING LOT/AREA ON SITE: 29,566 SF. (0.68 AC. OR 1.56% OF GROSS AREA) Phase 1 (SDP-15-043) 15.52 533,565 12.25 40.91% 35,701 35,55 PHASE 2 AREA OF LANDSCAPE ISLAND: 43166 SF (0.99 AC. OR 1.05% OF GROSS AREA) Phase 2 (SDP-15-063) 6.50 194,650 4.47 14.92% 13,024 13,701	
PHASE 2 LIMIT OF DISTURBED AREA: 6.75 AC PUBLIC AMENITY AREA PROVIDED UNDER PHASE 2: 1.37 AC. PHASE 2 CUT: 2,510 PHASE 2 FILL: 40,700 CY	
TOTAL PROVIDED: LOCATION. IAX MAP 50, BLOCK 10, PARCELS 384; PARCELS B-4, B-5, C-2, C-3, C-4 & K-2 INING : TOD UNEDIVISION · PADDOCK POINTE TOTAL REMAINING: 38,	
SECTION/AREA : N/A ALLOCATION PHASE : PHASE 2 DPZ REFERENCES : PLASE 2 DPZ REFERENCES : PLASE 15007 SDP-01-32 WP-01-24 WP-01-106 S-10-004 WP-10-171 P-11-004 WP-11-171 WP-11-184 WP-12-153 WP-13-078	
WP-13-099, WP-13-100, WP-14-064, WP-15-001, WP-15-092, WP-15-135, WP-16-096, PLAT 24740-24753 (F-16-013), WP-16-136; WP-18-069, WP-18-113, S-18-001, S-19-011, PLAT 25206-25217 (F-19-067); SDP-15-043; WP-19-067; PLAT 25955-68 (F-21-080);	
WP-20-021; PLAI 26362-90 (F-22-047) HE CONTRACTOR SHALL NOTIFY THE DEPARTMENT OF PUBLIC WORKS/BUREAU OF ENGINEERING/CONSTRUCTION INSPECTION DIVISION AT (410) 313-1880 AT	
NY DAMAGE TO PUBLIC RIGHT-OF-WAY, PAVING, OR EXISTING UTILITIES WILL BE CORRECTED AT THE DEVELOPER'S EXPENSE. XISTING UTILITIES LOCATED FROM ROAD CONSTRUCTION PLANS, FIELD SURVEYS, PUBLIC WATER AND AND SEWER EXTENSION PLANS AND AVAILABLE RECORD DRAWINGS. APPROXIMATE LOCATION OF EXISTING UTILITIES ARE SHOWN FOR THE CONTRACTORS INFORMATION. CONTRACTOR SHALL LOCATE EXISTING UTILITIES	/ S \
WELL IN ADVANCE OF CONSTRUCTION ACTIVITIES AND TAKE ALL NECESSARY PRECAUTIONS TO PROTECT THE EXISTING UTILITIES AND TO MAINTAIN UNINTERRUPTED SERVICE. ANY DAMAGE INCURRED DUE TO CONTRACTOR'S OPERATION SHALL BE REPAIRED IMMEDIATELY AT THE CONTRACTOR'S EXPENSE. RAFFIC CONTROL DEVICES:	r AZX
A. THE R1–1 SIGN AND THE STREET NAME SIGN (SNS) ASSEMBLY FOR THIS DEVELOPMENT MUST BE INSTALLED BEFORE THE BASE PAVING IS COMPLETED. B. THE TRAFFIC CONTROL DEVICE LOCATIONS SHOWN ON THE PLANS ARE APPROXIMATE AND MUST BE FIELD APPROVED BY HOWARD COUNTY TRAFFIC DIVISION (410–313–2430) PRIOR TO THE INSTALLATION OF ANY OF THE TRAFFIC CONTROL DEVICES.	
C. ALL TRAFFIC CONTROL DEVICES AND THEIR LOCATIONS SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MARYLAND MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MdMUTCD). D. ALL SIGN POSTS USED FOR TRAFFIC CONTROL SIGNS INSTALLED IN THE COUNTY RIGHT OF WAY SHALL BE MOUNTED ON A 2" GALVANIZED STEEL PERFORATED	
SQUARE TUBE POST (14 GAUGE) INSERTED IN TO A 2-1/2" GALVANIZED STEEL, PERFORATED, SQUARE TUBE SLEEVE (12 GAUGE)-3' LONG. THE ANCHOR SHALL NOT EXTEND MORE THAN TWO QUICK PUNCH HOLES ABOVE GROUND LEVEL. A GALVANIZED STEEL POLE CAP SHALL BE MOUNTED ON TOP OF EACH POST.	OPEN SPACE
STIMATES OF EARTHWORK QUANTITIES ARE PROVIDED SOLELY FOR THE PURPOSE OF CALCULATING FEES. DIL COMPACTION SPECIFICATIONS, REQUIREMENTS, METHODS AND MATERIALS ARE TO BE IN ACCORDANCE WITH THE RECOMMENDATIONS OF THE PROJECT EDTECHNICAL ENGINEER. GEOTECHNICAL ENGINEER TO CONFIRM ACCEPTABILITY OF PROPOSED PAVING SECTION. BASED ON SOIL TEST PRIOR TO CONSTRUCTION.	TO BE DERICATED TO BE DERICATED TO HANNARD CONTINUE TO HANNARD CON
E COORDINATES SHOWN HEREON ARE BASED UPON THE HOWARD COUNTY GEODETIC CONTROL, WHICH IS BASED UPON THE MARYLAND STATE PLANE COORDINATE YSTEM. HOWARD COUNTY MONUMENT NUMBERS 50BA AND 50B5 WERE USED FOR THIS PROJECT. HE PROPERTY LINES SHOWN HEREON IS BASED ON A BOUNDARY SURVEY PERFORMED BY ROBERT H. VOGEL ENGINEERING, INC.; DATED 04/25/12.	
HE TOPOGRAPHY SHOWN HEREON IS BASED ON AN AERIAL PHOTOGRAMETIC MAPPING PROVIDED BY POTOMAC AERIAL SURVEYS, INC., DATED 12/17/18; AND BY ELD RUN SURVEYS BY ROBERT H. VOGEL ENGINEERING, INC., AND WERE PERFORMED ON 07/20/09, 04/06/12, 08/17/12, 12/30/14, 01/14/16, 10/03/16, 3/08/17, 06-19-17, 1/23/17, 06-08-18, 10/23/18, AND 11/12/18	
EGTECHNICAL REPORTS PREPARED BY ECS-MIDATLANTIC, LLC; DATED 11/28/06 AND 02/23/12. HE GEDTECHNICAL ENGINEER TO CONFIRM PAVING SECTION PRIOR TO CONSTRUCTION. ALL PAVING TO BE MINIMUM HOWARD COUNTY STANDARD DETAIL P-4, UNLESS DIFFERMISE NOTED	
LL CURB AND GUTTER TO BE HOWARD COUNTY STANDARD DETAIL 3.01 UNLESS OTHERWISE NOTED. HERE DRAINAGE FLOWS AWAY FROM CURB, CONTRACTOR TO REVERSE THE GUTTER PAN.	
LL DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED. ONTRACTOR RESPONSIBLE FOR CONSTRUCTING ALL HANDICAP RAMPS AND HANDICAP ACCESS IN ACCORDANCE WITH CURRENT ADA REQUIREMENTS. LL REINFORCED CONCRETE FOR STORM DRAIN STRUCTURES SHALL HAVE A MINIMUM OF 28 DAYS STRENGTH OF 3,500 P.S.I.	
LL STORMDRAIN PIPE BEDDING IS TO BE CLASS 'C', AS REQUIRED BY AASHTO-180. LL BUILDINGS TO HAVE ROOF LEADERS WHICH EMPTY INTO STORM DRAIN SYSTEM. HIS PROJECT IS SUBJECT TO COMPLIANCE WITH THE AMENDED FIETH EDITION OF THE SUBDIVISION AND LAND DEVELOPMENT REGULATIONS. DEVELOPMENT OR	OPENSPACE
ONSTRUCTION ON THIS PROPERTY MUST COMPLY WITH SETBACK AND BUFFER REGULATIONS IN EFFECT AT THE TIME OF SUBMISSION OF THE SITE DEVELOPMENT LAN, ALTERNATIVE COMPLIANCE APPLICATION OR BUILDING/GRADING PERMIT APPLICATIONS. UBJIC WATER AND SEWER AVAILABLE THROUGH CONTRACT 24-4712-D.	
PFO TRAFFIC STUDY FOR THIS PROJECT PREPARED BY WELLS AND ASSOCIATES, DATED 08/21/19; APPROVED 01/09/20. THE TRAFFIC STUDY HAS BEEN PREPARED PR PHASE 2, AND ONLY ADDRESSES TRAFFIC GENERATED FROM PHASE 1 AND 2; IT IS NOT COMPREHENSIVE.	
FOR THE RESIDENTIAL PORTION OF THE PADDOCK POINTE PROJECT HAS BEEN AGREED UPON FOR THE CONSTRUCTION OF OFF-SITE IMPROVEMENTS TO THE INTERSECTION OF WHISKEY BOTTOM ROAD AND WASHINGTON BLVD. REFERENCE THE PADDOCK POINTE PHASING AND FEF-IN-UFU SCHEDULE, WITH THE APPROVAL OF PHASE 2. THE TOTAL	
FEE-IN-LIEU OF \$55,000 HAS BEEN PAID AND CREDITED TO CAPITAL PROJECT J-4220. HE NOISE STUDY FOR PADDOCK POINTE (RAILWAY) WAS PREPARED BY VOGEL ENGINEERING + TIMMONS GROUP PHASE 3 \$40,000 PHASE 3 PHASE 4 \$77,000 PHASE 4	
HE UGZED THE HOWARD COUNTY ZONING PECH ACCESSE WITHIN TOD ZONE SHALL BE DEVOTED TO RESIDENTIAL BUILDINGS AND RESIDENTIAL PARKING PER SECTION	
HERE ARE NO STEEP SLOPES, 100 YR FLOODPLAIN, OR SPECIMEN TREES LOCATED WITHIN THE PHASE 2 DEVELOPMENT AREA. HERLANDS AND STREAMS SHOWN ON THIS PLAN ARE FROM A DEPARTMENT OF THE ARMY JURISDICTIONAL DETERMINATION DATED 09/16/03. THE FIELD WORK WAS	
LOODPLAIN DATA TAKEN FROM THE CURRENT HOWARD COUNTY DIGITAL FLOOD INSURANCE RATE MAP (DFIRM). IO GRADING, REMOVAL OF VEGETATIVE COVER OR TREES, PAVING AND NEW STRUCTURES SHALL BE PERMITTED WITHIN THE REQUIRED WETLANDS, STREAM(S) OR HEIR BUFFERS, FOREST CONSERVATION AREAS AND 100 YEAR FLOODPLAIN	
NY DISTURBANCE TO THE WETLANDS, FLOODPLAIN OR THEIR BUFFERS WILL REQUIRE MDE APPROVAL AND PERMIT. APPROVALS HAVE BEEN PROVIDED, REFERENCE DE PERMIT #12-NT-0260/201261039 AND APPROVED USACA PERMIT #2013-61039-M02. THIS PERMIT HAS BEEN MODIFIED TO ALSO INCLUDE REMOVAL OF THE VISTING PATHWAY WITHIN OPEN SPACE LOT F-1	NOTES (CONTINUED): POINTE IS SUBJECT TO DESIGN MANU, CTION OF ROADWAYS WHICH DO NOT M
OREST STAND DELINEATION FOR P/O PARCEL 264 WAS PREPARED BY EXPLORATION RESEARCH, INC., DATED AUGUST 2000 AND WAS RECERTIFIED IN JUNE 2010. A SIMPLIFIED FSD FOR PARCEL 384 WAS PREPARED BY ROBERT H. VOGEL ENGINEERING, INC., DATED APRIL 2010. SPECI SPECIAL CONSERVATION OF 6.53 AC OF EXISTING FOR PARCEL 384 (1.1.3) AC HAS BEEN REFEVILUELY FOR PARCEL BY ON SITE RETENTION OF 6.53 AC OF EXISTING FOR PARCEL 384 (1.1.3) AC HAS BEEN REFEVILUELY FOR PARCEL BY ON SITE RETENTION OF 6.53 AC OF EXISTING FOR PARCEL 384 (1.1.3) AC HAS BEEN REFEVILUELY FOR PARCEL BY ON SITE RETENTION OF 6.53 AC OF EXISTING FOR PARCEL 384 (1.1.3) AC HAS BEEN REFEVILUELY FOR PARCEL BY ON SITE RETENTION OF 6.53 AC OF EXISTING FOR PARCEL 384 (1.1.3) AC HAS BEEN REFEVILUELY FOR PARCEL BY ON SITE RETENTION OF 6.53 AC OF EXISTING FOR PARCEL BY ON SITE RETENTION OF 6.53 AC OF EXISTING FOR PARCEL BY ON SITE RETENTION OF 6.53 AC OF EXISTING FOR PARCEL BY ON SITE RETENTION OF 6.53 AC OF EXISTING FOR PARCEL BY ON SITE RETENTION OF 6.53 AC OF EXISTING FOR PARCEL BY ON SITE RETENTION OF 6.53 AC OF EXISTING FOR PARCEL BY ON SITE RETENTION OF 6.53 AC OF EXISTING FOR PARCEL BY ON SITE RETENTION OF 6.55 AC OF EXISTING FOR PARCEL BY ON SITE RETENTION OF 6.55 AC OF EXISTING FOR PARCEL BY ON SITE RETENTION OF 6.55 AC OF EXISTING FOR PARCEL BY ON SITE RETENTION OF 6.55 AC OF EXISTING FOR PARCEL BY ON SITE RETENTION OF 6.55 AC OF EXISTING FOR PARCEL BY ON SITE RETENTION OF 6.55 AC OF EXISTING FOR PARCEL BY ON SITE RETENTION OF 6.55 AC OF EXISTING FOR PARCEL BY ON SITE RETENT ON SITE RETENTION OF 6.55 AC OF EXISTING FOR PARCEL BY ON SITE RETENT ON SITE RETENT ON SITE RETENTION OF 6.55 AC OF EXISTING FOR PARCEL BY ON SITE RETENT ON	JUSTIFICATION LETTER BY VOGEL ENGIN XIFIC CHARACTERISTICS, AN ALTERNATIVE JUD PROMOTE A SAFER PEDESTRIAN EN
5007) AND A FEE-IN-LIEU FOR 1.67 ACRES AS PART OF SDP-01-032. THE REMAINING NET TRACT AREA FOR PARCEL 384, PARCEL 144 AND THE PAPER STREET S 2.07 ACRES. THE FOREST CONSERVATION OBLIGATION FOR THE PADDOCK POINTE PROJECT HAS BEEN SATISFIED UNDER PADDOCK POINTE, PHASE 1 (SDP-15-043)	INTERSECTION AND TRAFFIC CIRCLES S SPECIFIC ROADWAY (OR SECTIONS OF GNS SHALL BE ANALYZED INDIVIDUALLY
F THE EXISTING 6.53 ACRE EASEMENT, NETTING 6.21 ACRES OF RETENTION. THE OBLIGATION FOR THE ABANDONMENT OF 0.32 ACRES OF FOREST CONSERVATION ASEMENT HAS BEEN MET BY A FEE-IN-LIEU PAYMENT OF \$17,424.00 (0.32x43560x1.25=\$17,424.00) UNDER SDP-15-043. HIS PLAN HAS BEEN PREPARED IN ACCORDINACE WITH THE PROVISIONS OF SECTION 16.124 OF THE HOMARD COUNTY CODE AND THE HANDSCAPE MANUAL	DARDS. IF A PROPOSED ROAD DOES N 'ROVIDED PRIOR TO APPROVAL. THE APPROVAL CONDITIONS SPECIFIED
The provisions of section 16.124 of the howard country code, and the landscape mandal. INANCIAL SURETY FOR THE REQUIRED LANDSCAPING HAS BEEN POSTED AS PART OF THE DEVELOPER'S AGREEMENT FOR THIS SITE DEVELOPMENT PLAN IN THE MOUNT OF \$41,700.00 FOR THE REQUIRED 139 SHADE TREES. MOUNT OF \$41,700.00 FOR THE REQUIRED DESTROACE DUPINE CONSTRUCTION WILL BE BERLACED BY THE CONTRACTOR	CE WP-10-171, APPROVED 07/09/10 a)(10) ALLOWING DISTURBANCE TO TH ASS STORM DRAIN SYSTEM PAVING AD
HERE ARE NO EXISTING STRUCTURES ON THE SITE.	J TREE; AND TO REDUCE 40' REQUIRED IG CONDITIONS: PLANCE WITH ALL SUBDIVISION REVIEW
HIS PROPERTI IS WILLING THE METROPOLITAN DISTRICT. HE DEVELOPMENT OF THE PADDOCK POINTE PROJECT REQUIRED COORDINATION WITH CSX REGARDING STORMWATER RUNOFF. APPROPRIATE APPROVAL FROM CSX WAS DBTAINED (CSX APPROVAL GIVEN: 01/19/17) NY ADDITIONAL DISTRICT TO THE ADJACENT CSX PROPERTY MUST BE ADDROVED DRIVE DRIVED TO ADDROVAL OF THIS PROJECT AND (OD ANY SUBSECTION DRIVED TO ADDROVED DRIVED TO ADDROVAL OF THIS PROJECT AND (OD ANY SUBSECTION DRIVED TO ADDROVED DRIVED TO ADDROVED TO AD	IFICANT LANDSCAPING MUST BE PROVID STAGE. ROVAL OF ANY STATE PERMITS REQUIRE
THE PADDITIONAL DISTURDANCE TO THE ADJACENT CSX PROPERTY MUST BE APPROVED PRIOR TO APPROVAL OF THIS PROJECT AND/OR ANY SUBSEQUENT PROJECTS F THE PADDOCK POINTE DEVELOPMENT. XISTING U.S. ROUTE 1 IS CLASSIFIED AS A PRINCIPAL ARTERIAL. UIS PROPERTY IS IN COMPUTATIVE POINTE 1 MANUAL WAIV	VN AS A GENERAL NOTE ON THE FINAL THE SKETCH PLAN AND ALL FUTURE SI ER PETITION, WP-10-171. AS A GENER
IGENESS AND EGRESS TO ROUTE 1 OUTSIDE OF THE PROPOSED PRIVATE ROAD IS RESTRICTED. ACCESS WILL BE PROVIDED BY LAUREL PARK BLVD. 16 REQUIRED PUBLIC AMENITY AREA FOR THE PADDOCK POINTE DEVELOPMENT IS 4.85 ACRES. AMENITY AREAS PROVIDE SAFE, COMFORTABLE PLACES WHERE 16 REQUIRED PUBLIC AMENITY AREA FOR THE PADDOCK POINTE DEVELOPMENT IS 4.85 ACRES. AMENITY AREAS PROVIDE SAFE, COMFORTABLE PLACES WHERE 17 THE PADDOCK POINTE DEVELOPMENT IS 4.85 ACRES. AMENITY AREAS PROVIDE SAFE, COMFORTABLE PLACES WHERE 18 THE PADDOCK POINTE DEVELOPMENT IS 4.85 ACRES. AMENITY AREAS PROVIDE SAFE, COMFORTABLE PLACES WHERE 19 THE PADDOCK POINTE DEVELOPMENT IS 4.85 ACRES. AMENITY AREAS PROVIDE SAFE, COMFORTABLE PLACES WHERE 19 THE PADDOCK POINTE DEVELOPMENT IS 4.85 ACRES. AMENITY AREAS PROVIDE SAFE, COMFORTABLE PLACES WHERE 19 THE PADDOCK POINTE DEVELOPMENT IS 4.85 ACRES. AMENITY AREAS PROVIDE SAFE, COMFORTABLE PLACES WHERE 19 THE PADDOCK POINTE DEVELOPMENT IS 4.85 ACRES. AMENITY AREAS PROVIDE SAFE, COMFORTABLE PLACES WHERE 19 THE PADDOCK POINTE DEVELOPMENT IS 4.85 ACRES. AMENITY AREAS PROVIDE SAFE, COMFORTABLE PLACES WHERE 19 THE PADDOCK POINTE DEVELOPMENT IS 4.85 ACRES. AMENITY AREAS PROVIDE SAFE, COMFORTABLE PLACES WHERE 19 THE PADDOCK POINTE DEVELOPMENT IS 4.85 ACRES. AMENITY AREAS PROVIDE SAFE, COMFORTABLE PLACES WHERE 19 THE PADDOCK POINTE DEVELOPMENT IS 4.85 ACRES. AMENITY AREAS PROVIDE SAFE, COMFORTABLE PLACES WHERE 19 THE PADDOCK POINTE DEVELOPMENT IS 4.85 ACRES. AMENITY AREAS PROVIDE SAFE, COMFORTABLE PLACES WHERE 19 THE PLACE PLACE PLACE PLACES PLACE	MINIMUM FRONTAGE FOR OPEN SPACE APPROVAL OF SECTION 16.116(a)(2)(i) STORM DRAINAGE PROBLEM AS CITED
PADDOCK POINTE OVERALL PUBLIC AMENITY AREA CHART	CE WP-11-184, APPROVED 06/23/11) - STREAM AND WETLANDS; SECTION
4.85 AC. REQUIRED AMENITY AREAS SUBJECT ALCOM	TO THE FOLLOWING CONDITIONS: PLIANCE WITH ALL SUBDIVISION REVIEW PLIANCE WITH THE AMENDED DEVELOPM
LAUREL PARK SDP-15-043 PHASE 1 (220 UNITS) TOTAL 2.64 AC. 2.21 AC. SHEET 15. C. ON. LAUREL PARK SDP-15-063 PHASE 2 (260 UNITS) TOTAL 1.37 AC. *0.84 AC. D. APP'	ALL FUTURE SUBDIVISION PLANS AND S GENERAL NOTE TO INCLUDE REQUES ROVAL OF ANY STATE PERMITS REQUIRE
* TO BE PROVIDED IN FUTURE PHASES. IE PUBLIC AMENITY AREAS, INCLUDING PLAY EQUIPMENT, SHALL COMPLY WITH THE 2010 ADA STANDARDS. RE LANES SHOULD BE PROVIDED IN THIS SITE TO ALLOW EMERGENCY VEHICLE ACCESS. EITHER FIRE LANE SIGNAGE SHOULD BE INSTALLED, OR THE CURBS F. PRIC	VN AS A GENERAL NOTE ON THE FINAL PLIANCE WITH ALL DEADLINES ESTABLIS R TO THE SIGNATURE OF ANY SITE DE
HOULD BE PAINTED IN RED AND STENCILED TO IDENTIFY THE ROAD AS A FIRE LANE. RE DEPARTMENT SIAMESE CONNECTION SHOULD BE PROVIDED ON THE FRONT OF THE BUILDING. NFPA-1 13.1.3.1, AMENDED ON TITLE 17. NDSCAPING NOT PERMITTED WITHIN 7-1/2' OF EACH SIDE OF THE FIRE DEPARTMENT CONNECTION. PROVIDE A CLEAR UNOBSTRUCTED ACCESS PATH TO THE FIRE	EMENT MUST BE RECORDED IN THE I OINTLY MAINTAINED BY THE PADDOCK I ROVAL FOR A WAIVER TO SECTIONS 16
PARTMENT CONNECTION. NFPA-1 13.1.4 RE HYDRANT SHOULD BE PROVIDED WITHIN 100' OF EACH FIRE DEPARTMENT CONNECTION. NFPA-1 13.1.3.1, AMENDED TITLE 17. KNOX BOX IS REQUIRED TO BE PLACED ON THE FRONT OF THE BUILDING. IT SHALL BE PLACED TO THE RIGHT OF THE MAIN ENTRANCE AT A RANGE OF 4-5'	ER, STREAM BUFFER, ENVIRONMENTAL ER PETITION PLAN EXHIBIT DATED JUNE
HEIGHT AND NO MORE THAN 6' LATERALLY FROM THE DOOR. IT'S LOCATION IS SHOWN ON THESE PLANS. THE BOX SHALL BE ELECTRONICALLY SUPERVISED TO DIFY THE OWNER THAT IT IS BEING ACCESSED (INTEGRATED WITH THE FIRE ALARM SYSTEM). IF PROPOSED BUILDING WILL HAVE AN INSIDE METER SETTING THE APARTMENT BUILDING AND GARAGE WILL ALSO HAVE AN AUTOMATIC FIRE PROTECTION TO BE ADDRESS OF A DECEMPTION	AM BOFFER, 15 RESIDENTIAL ENVIRON ER, UNLESS IT CAN BE DEMONSTRATED CE WP-13-078, APPROVED 12/03/12
REFINE SYSTEM. IREET LIGHT PLACEMENT AND THE TYPE OF FIXTURE AND POLE SHALL BE IN ACCORDANCE WITH THE HOWARD COUNTY DESIGN MANUAL, VOLUME III (2006), ECTION A. COM B. ON B. ON B. ON B. ON	16.1106(e) — MILESTONES (TIMING F PLIANCE WITH ALL SUBDIVISION REVIEW ALL FUTURE SUBDIVISION PLANS AND S NECESTRAL NOTE TO INNULLING PEOLE
LL EXTERIOR LIGHTING TO COMPLY WITH THE REQUIREMENTS FOUND IN ZONING SECTION 134 OF THE HOWARD COUNTY ZONING REGULATIONS. RIVATE ROAD STREET NAME SIGN ASSEMBLIES SHALL BE FABRICATED AND INSTALLED BY HOWARD COUNTY BUREAU OF HIGHWAYS AT THE DEVELOPERS/OWNERS REFERENCE CONTACT HOWARD COUNTY TRAFFIC DIVISION AT 410-313-5752 FOR DETAILS AND COST FSTIMATES	PRELIMINARY PLAN OR SITE DEVELOPM CE WP-14-064, APPROVED 01/06/14
MILESION RASH AND RECYCLING COLLECTION TO BE PRIVATE. APARTMENT BUILDING RESIDENTS SHALL USE THE TRASH ROOM AS SHOWN. ECTION 127.4.E.4. OF THE ZONING REGULATIONS REQUIRES MINIMUM DISTANCES BETWEEN RESIDENTIAL BUILDINGS (EVEN IF THE BUILDINGS INCLUDE OTHER USES). BUILDINGS APE AS FOLLOWS SIDE TO SIDE TO FEEL ALL OTHER FACADE RELATIONSHIPS TO FEEL AS FOLLOWS (EVEN IF THE BUILDINGS INCLUDE OTHER USES).	L IS SUBJECT TO THE FOLLOWING CON D ON OR BEFORE APRIL 06, 2014. B
I ACCORDANCE WITH SECTION 16.120(b)(12) OF THE HOWARD COUNTY SUBDIVISION AND LAND DEVELOPMENT REGULATIONS, OFF-STREET PARKING SHALL BE MET ITHIN 200 FEET OR LESS FROM THE MAIN ENTRANCE TO AN APARTMENT BUILDING OR TO THE MIDPOINT OF A GROUP OF SINGLE FAMILY ATTACHED UNITS. TO AN APARTMENT BUILDING UNIT ADDREVENT FOR A A DIVISION AND LAND OF A GROUP OF SINGLE FAMILY ATTACHED UNITS. 5. REFEREN	CE WP-15-001, APPROVED 07/30/14
TORMWATER MANAGEMENT TO BE DESIGNED IN ACCORDANCE WITH THE 2007 MDE STORMWATER DESIGN MANUAL, CHAPTER 5, ENVIRONMENTAL SITE DESIGN A. THE A. THE A. THE A. THE A. THE ANAGEMENT TO BE DESIGNED IN ACCORDANCE WITH THE 2007 MDE STORMWATER DESIGN MANUAL, CHAPTER 5, ENVIRONMENTAL SITE DESIGN A. THE A. THE ANAGEMENT TO BE DESIGNED IN ACCORDANCE WITH THE 2007 MDE STORMWATER DESIGN MANUAL, CHAPTER 5, ENVIRONMENTAL SITE DESIGN A. THE	ES (TIMING FOR RESIDENTIAL PROJEC L IS SUBJECT TO THE FOLLOWING CON PRELIMINARY PLAN OR SITE DEVELOPM
RECUPIEUR MANAGEMENT IS BEING PROVIDED FOR A LARGE MAJORITY OF THE IMPERVIOUS SURFACES, ACTHOUGH THIS PROJECT IS CONSIDERED RECU REDEVELOPMENT. THE PRACTICES USED FOR STORMWATER MANAGEMENT FOR PHASE 2 OF THIS DEVELOPMENT INCLUDE MICRO-BIORETENTION FACILITIES, AND B. THE ONTECH FILTERRA STRUCTURES. ALL SWM FACILITIES TO BE PRIVATELY OWNED AND MAINTAINED.	MILESTONE DATE FOR SUBMISSION OF
MENIOUS INDUM OF ONDERSTANDING WILL DE EACOULD ENSURING TRANSIT ACCESS ALONG LAUREL PARK BLVD AND CONNECTION TO THE MARC STATION. THIS C. ON EMORANDUM MUST BE EXECUTED AS PART OF THE DEVELOPER'S AGREEMENT PROCESS.	ALL FUTURE SUBDIVISION PLANS AND S GENERAL NOTE TO INCLUDE REQUES CE WP-15-092, APPROVED 01/27/15
E OFFICIAL PRE-SUBMISSION COMMUNITY MEETING FOR THIS PROJECT WAS HELD ON OCTOBER 7, 2009 AT THE SAVAGE BRANCH LIBRARY PUBLIC 76. REFEREN	LS (TIMING FOR RESIDENTIAL PRÓJEC L IS SUBJECT TO THE FOLLOWING CON SITE DEVELOPMENT PLAN FOR PHASE
HE OFFICIAL PRE-SUBMISSION COMMUNITY MEETING FOR THIS PROJECT WAS HELD ON OCTOBER 7, 2009 AT THE SAVAGE BRANCH LIBRARY PUBLIC 76. REFERENCE HE DAP MEETINGS FOR PHASE 2 OF PADDOCK POINTE WERE HELD 04–24–19 AND 08–28–19. DAP RESPONSES HAVE BEEN PROVIDED, REFERENCE LETTER DATED 0–30–19 FROM VOGEL ENGINEERING + TIMMONS GROUP. HE CONTRACTOR AND DEVELOPER OR A REPRESENTATIVE SHALL HAVE, ON THE JOB SITE, THE LATEST EDITION OF ALL APPLICABLE STANDARDS AND SPECIFICATIONS A. THE	SITE DEVELOPMENT PLAN FOR PHASE SITE DEVELOPMENT PLAN FOR PHASE SITE DEVELOPMENT PLAN FOR PHASE
HE OFFICIAL PRE-SUBMISSION COMMUNITY MEETING FOR THIS PROJECT WAS HELD ON OCTOBER 7, 2009 AT THE SAVAGE BRANCH LIBRARY PUBLIC HE DAP MEETINGS FOR PHASE 2 OF PADDOCK POINTE WERE HELD 04–24–19 AND 08–28–19. DAP RESPONSES HAVE BEEN PROVIDED, REFERENCE LETTER DATED 0–30–19 FROM VOGEL ENGINEERING + TIMMONS GROUP. HE CONTRACTOR AND DEVELOPER OR A REPRESENTATIVE SHALL HAVE, ON THE JOB SITE, THE LATEST EDITION OF ALL APPLICABLE STANDARDS AND SPECIFICATIONS ACLUDING BUT NOT LIMITED TO HOWARD COUNTY DESIGN MANUAL, VOLUME IV, S.H.A. SPECIFICATION BOOK, AND LATEST MARYLAND STANDARDS AND SPECIFICATION OR SOIL EROSION AND SEDIMENT CONTROL.	THASE SEVERAL MENT I LAN I VA MASE
HE OFFICIAL PRE-SUBMISSION COMMUNITY MEETING FOR THIS PROJECT WAS HELD ON OCTOBER 7, 2009 AT THE SAVAGE BRANCH LIBRARY PUBLIC HE DAP MEETINGS FOR PHASE 2 OF PADDOCK POINTE WERE HELD 04-24-19 AND 08-28-19. DAP RESPONSES HAVE BEEN PROVIDED, REFERENCE LETTER DATED 0-30-19 FROM VOGEL ENGINEERING + TIMMONS GROUP. HE CONTRACTOR AND DEVELOPER OR A REPRESENTATIVE SHALL HAVE, ON THE JOB SITE, THE LATEST EDITION OF ALL APPLICABLE STANDARDS AND SPECIFICATIONS VOLUDING BUT NOT LIMITED TO HOWARD COUNTY DESIGN MANUAL, VOLUME IV, S.H.A. SPECIFICATION BOOK, AND LATEST MARYLAND STANDARDS AND SPECIFICATION OR SOIL EROSION AND SEDIMENT CONTROL. 77. THIS PRO 77. THIS PRO 70. SUBM	DJECT IS SUBJECT TO ALTERNATIVE CON IT THE FINAL PLAN WITHIN 4 MONTHS
HE OFFICIAL PRE-SUBMISSION COMMUNITY MEETING FOR THIS PROJECT WAS HELD ON OCTOBER 7, 2009 AT THE SAVAGE BRANCH LIBRARY PUBLIC HE DAP MEETINGS FOR PHASE 2 OF PADDOCK POINTE WERE HELD 04-24-19 AND 08-28-19. DAP RESPONSES HAVE BEEN PROVIDED, REFERENCE LETTER DATED 0-30-19 FROM VOGEL ENGINEERING + TIMMONS GROUP. HE CONTRACTOR AND DEVELOPER OR A REPRESENTATIVE SHALL HAVE, ON THE JOB SITE, THE LATEST EDITION OF ALL APPLICABLE STANDARDS AND SPECIFICATION OCTUDING BUT NOT LIMITED TO HOWARD COUNTY DESIGN MANUAL, VOLUME IV, S.H.A. SPECIFICATION BOOK, AND LATEST MARYLAND STANDARDS AND SPECIFICATION OR SOIL EROSION AND SEDIMENT CONTROL. PROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING PROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING	DJECT IS SUBJECT TO ALTERNATIVE CON IIT THE FINAL PLAN WITHIN 4 MONTHS IAL PROJECTS, AND TO WAIVE SECTION WING CONDITION: REQUIRED CONCEPT PLAN MUST BE SU
HE OFFICIAL PRE-SUBMISSION COMMUNITY MEETING FOR THIS PROJECT WAS HELD ON OCTOBER 7, 2009 AT THE SAVAGE BRANCH LIBRARY PUBLIC HE DAP MEETINGS FOR PHASE 2 OF PADDOCK POINTE WERE HELD 04-24-19 AND 08-28-19. DAP RESPONSES HAVE BEEN PROVIDED, REFERENCE LETTER DATED 0-30-19 FROM VOGEL ENGINEERING + TIMMONS GROUP. HE CONTRACTOR AND DEVELOPER OR A REPRESENTATIVE SHALL HAVE, ON THE JOB SITE, THE LATEST EDITION OF ALL APPLICABLE STANDARDS AND SPECIFICATION NULUDING BUT NOT LIMITED TO HOWARD COUNTY DESIGN MANUAL, VOLUME IV, S.H.A. SPECIFICATION BOOK, AND LATEST MARYLAND STANDARDS AND SPECIFICATION OR SOIL EROSION AND SEDIMENT CONTROL. PPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING NOT Signed by: (HAD) Chur here 8/29/2024 8/29/2024	DJECT IS SUBJECT TO ALTERNATIVE CON 11T THE FINAL PLAN WITHIN 4 MONTHS 1AL PROJECTS, AND TO WAIVE SECTION WING CONDITION: REQUIRED CONCEPT PLAN MUST BE SI R TO THE SUBMISSION AND ACCEPTANC AIT THE PROJECT PLANS FOR DESIGN A PLIANCE WITH THE COMMENTS FROM TH
HE OFFICIAL PRE-SUBMISSION COMMUNITY MEETING FOR THIS PROJECT WAS HELD ON OCTOBER 7, 2009 AT THE SAVAGE BRANCH LIBRARY PUBLIC 76. HE DAP MEETINGS FOR PHASE 2 OF PADDOCK POINTE WERE HELD 04-24-19 AND 08-28-19. DAP RESPONSES HAVE BEEN PROVIDED, REFERENCE LETTER DATED 76. O-30-19 FROM VOGEL ENGINEERING + TIMMONS GROUP. 76. REFERENCE 76. HE CONTRACTOR AND DEVELOPER OR A REPRESENTATIVE SHALL HAVE, ON THE JOB SITE, THE LATEST EDITION OF ALL APPLICABLE STANDARDS AND SPECIFICATION APPROVA 76. REFERENCE VCLUDING BUT NOT LIMITED TO HOWARD COUNTY DESIGN MANUAL, VOLUME IV, S.H.A. SPECIFICATION BOOK, AND LATEST MARYLAND STANDARDS AND SPECIFICATION 76. REFERENCE OR SOIL EROSION AND SEDIMENT CONTROL. 0. 11. 76. REFERENCE 8. PROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING 8/29/2024 70. 17. 17. 17. Or Submet Forst Functional Division 8/29/2024 0. 0. 0. 1. OFFICIAL PRESENT FUNCTION DIVISION DATE 0. 0. 1. </td <td>DJECT IS SUBJECT TO ALTERNATIVE CON IIT THE FINAL PLAN WITHIN 4 MONTHS IAL PROJECTS, AND TO WAIVE SECTION DWING CONDITION: REQUIRED CONCEPT PLAN MUST BE SI IR TO THE SUBMISSION AND ACCEPTANC AIT THE PROJECT PLANS FOR DESIGN A PLIANCE WITH THE COMMENTS FROM TH SITE DEVELOPMENT PLAN AND/OR ASS SITE DEVELOPMENT PLAN AND/OR ASS</td>	DJECT IS SUBJECT TO ALTERNATIVE CON IIT THE FINAL PLAN WITHIN 4 MONTHS IAL PROJECTS, AND TO WAIVE SECTION DWING CONDITION: REQUIRED CONCEPT PLAN MUST BE SI IR TO THE SUBMISSION AND ACCEPTANC AIT THE PROJECT PLANS FOR DESIGN A PLIANCE WITH THE COMMENTS FROM TH SITE DEVELOPMENT PLAN AND/OR ASS SITE DEVELOPMENT PLAN AND/OR ASS
HE OFFICIAL PRE-SUBMISSION COMMUNITY MEETING FOR THIS PROJECT WAS HELD ON OCTOBER 7, 2009 AT THE SAVAGE BRANCH LIBRARY PUBLIC 76. HE DAP MEETINGS FOR PHASE 2 OF PADDOCK POINTE WERE HELD 04-24-19 AND 08-28-19. DAP RESPONSES HAVE BEEN PROVIDED, REFERENCE LETTER DATED 76. O-30-19 FROM VOGEL ENGINEERING + TIMMONS GROUP. 8. 76. HE CONTRACTOR AND DEVELOPER OR A REPRESENTATIVE SHALL HAVE, ON THE JOB SITE, THE LATEST EDITION OF ALL APPLICABLE STANDARDS AND SPECIFICATIONS 8. NGLUDING BUT NOT LIMITED TO HOWARD COUNTY DESIGN MANUAL, VOLUME IV, S.H.A. SPECIFICATION BOOK, AND LATEST MARYLAND STANDARDS AND SPECIFICATION 8. PPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING 8. 77. THIS PROMUME by: 8/29/2024 8. CHIE BASING by: 8/29/2024 0. CHIE BASING by: 8/30/2024 0. OF UNITY DEPARTMENT OF PLANNING DATE 8/30/2024	DJECT IS SUBJECT TO ALTERNATIVE CON IIT THE FINAL PLAN WITHIN 4 MONTHS IAL PROJECTS, AND TO WAIVE SECTION WING CONDITION: REQUIRED CONCEPT PLAN MUST BE SI R TO THE SUBMISSION AND ACCEPTANK ATT THE PROJECT PLANS FOR DESIGN / PLIANCE WITH THE COMMENTS FROM TH SITE DEVELOPMENT PLAN AND/OR ASS SITE DEVELOPMENT PLAN AND/OR ASS SITE DEVELOPMENT PLAN AND/OR ASS REQUEST TO TRANSFER 32 HOUSING L OCATIONS FOR PHASE 1 WHICH WERE APLIANCE PROCESS. PLEASE CONTACT
HE OFFICIAL PRE-SUBMISSION COMMUNITY MEETING FOR THIS PROJECT WAS HELD ON OCTOBER 7, 2009 AT THE SAVAGE BRANCH LIBRARY PUBLIC 76. HE DAP MEETINGS FOR PHADE 2 OF PADDOCK POINTE WERE HELD 04-24-19 AND 08-28-19. DAP RESPONSES HAVE BEEN PROVIDED, REFERENCE LETTER DATED 76. MED JOINT CONTROL AT THE SAVAGE BRANCH LIBRARY PUBLIC 76. HE CANTRACTOR AND DEVELOPER OR A REPRESENTATIVE SHALL HAVE, ON THE JOB SITE, THE LATEST EDITION OF ALL APPLICABLE STANDARDS AND SPECIFICATIONS ON OCTOBER 7. 76. OR SOIL EROSION AND SEDIMENT CONTROL. A. THE 8. OR SOIL EROSION AND SEDIMENT CONTROL. 8. 8. PPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING 8/29/2024 0. CHIE Forst DAY LOOP MENT ENGINEERING DIVISION DATE 9. B. THE 8/30/2024 0. 0. CHIE Forst DAY LOOP MENT ENGINEERING DIVISION DATE 0. B. THE 8/30/2024 0. 1. CHIE Forst DAY LOOP MENT DATE 0. 1.	DJECT IS SUBJECT TO ALTERNATIVE CON IIT THE FINAL PLAN WITHIN 4 MONTHS IAL PROJECTS, AND TO WAIVE SECTION WING CONDITION: REQUIRED CONCEPT PLAN MUST BE SI IR TO THE SUBMISSION AND ACCEPTANK AIT THE PROJECT PLANS FOR DESIGN A PLIANCE WITH THE COMMENTS FROM TH SITE DEVELOPMENT PLAN AND/OR ASSI SITE DEVELOPMENT PLAN AND/OR ASSI OCATIONS FOR PHASE 1 WHICH WERE MPLIANCE PROCESS. PLEASE CONTACT C APFO REGULATIONS PER SECTION 16.





PARCEL #	BUILDING
C-3	BUILDING
0)	SUBDIVISIO PADDOCK
PLAT ; P.384 (L. PLAT 24740-53	# OR L/F 10518/F.157) 3; PLAT 25206 [,]
PLAT 25955-6	8, PLAT 26382
WATER COD) E: E



APPROVED: HOWARD COUNTY DEPARTMENT OF	PLANNING AND ZONING
Docusigned by: (HAD Edmoindsoin	8/29/2024
CHIEFORST DEVELOPMENT ENGINEERING DIVISION	DATE
	8/30/2024
CHIEFER DIALSION OF LAND DEVELOPMENT	DATE
[unda Eisenberg	8/30/2024
DIRECTOR B63942E	DATE

I ZA NEW SINCE ITPE		CALIFORNIA BEARING RATIO (CBR)3 TO <5	
	PARKING BAYS: RESIDENTIAL AND NON-RESIDENTIAL	SUPERPAVE ASPHALT MIX FINAL SURFACE WITH CAB WITH CONSTANT GAB 9.5 MM PG 64-22S, LEVEL 1 (ESAL) 1.5 1.5 1.5 1.5	
P-1	PARKING DRIVE AIGLES. RESIDENTIAL AND NON-RESIDENTIAL WITH MORE THAN 2 HEAVY TRUCKS PER DAY	NO SUPERPAVE ASPHALT MIX INTERMEDIATE SUPERAGE NA	
		19.0 MM, PG 64-22S, LEVEL 1 (ESAL) 2.0 2.0 2.0 3.0 3.0 2.0 GRADED AGGREGATE BASE (GAB) 8.5 7.0 5.0 4.0 4.0	₩
ALLEY NEIGHBORHOOD YIELD STREET SINGLE FAMILY DETACHE	PARKING DRIVE AISLES: RESIDENTIAL AND NON-RESIDENTIAL WITH I MORE THAN 10 HEAVY TRUCKS PER DAY	SUPERPAVE ASPHALT MIX FINAL SURFACE 9.5 MM, PG 64-22S, LEVEL 1 (ESAL) SUPERPAVE ASPHALT MIX INTERMEDIATE SURFACE	— + P/
P-2	ACESS PLACE, ACCESS STREET CUL-DE-SACS: RESIDENTIAL	9.5 MM, PG 64-22S, LEVEL 1 (ESAL) 1.0/1 1.	
	PARKING DRIVE AISLES:	GRADED ACGREGATE BASE (GAB) 8.0 4.0 3.0 4.0 4.0 SUPERPAVE ASPHALT MIX FINAL SURFACE 4.0 4.0 4.0	-FX 20' F
P-3 ADT < 2,000	MORE THAN 10 HEAVY TRUCKS PER DAY LOCAL ROADS: ACCESS PLACE, ACCESS STREET	SUPERPAVE ASPHALT MIX INTERMEDIATE SUPERACE 1.0<	AND UTIL (PLAT 25
TOWN CENTER STREET	CUL-DE-SACS: NON-RESIDENTIAL MINOR COLLECTORS: RESIDENTIAL	SUPERPAVE AST MET MIX BASE 3.0 3.0 3.0 4.5 3.0 2.0 19.0 MM, PG 64-22S, LEVEL 1 (ESAL) 10.0 6.0 6.0 6.0 6.0 6.0 GRADED AGGREGATE BASE (GAB) 10.0 6.0 3.0 6.0 6.0 6.0	
NEIGHBORHOOD STREET 1 NEIGHBORHOOD STREET 2 INDUSTRIAL STREET	MINOR COLLECTORS: NON-RESIDENTIAL MAJOR COLLECTORS	SUPERPAVE ASPHALT MIX FINAL SURFACE 12.5 MM, PG 64-22S, LEVEL 2 (LOW ESAL) 2.0 2.0 SUPERPAVE ASPHALT MIX INTERMEDIATE SURFACE	
P-4		12.5 MM, PG 64-22S, LEVEL 2 (LOW ESAL) 2.0	
NOTES		GRADED AGGREGATE BASE (GAB) 13.0 7.0 4.0 6.0 6.0 6.0	
1. HEAVY TRUCKS ARE DEFINED AS T 2. SUPERPAVE ASPHALT MIX LAYERS (2.0" MIN. TO 4.0" MAX.), 12.5 M	HOSE WITH SIX (6) WHEELS OR MORE INCLUDING SHALL BE PLACED IN APPROPRIATE COMPACTED L M SURFACE (1.5" MIN. TO 3.0" MAX.), AND 9.5 I	GARBAGE TRUCKS. JFT THICKNESS: 19.0 MM BASE MM SURFACE (1.0" MIN. TO 2.0" MAX.) SUPERPAVE ASPHALT MIX INTERMEDIATE SURFACE SUPERPAVE ASPHALT MIX INTERMEDIATE SURFACE	
 GRADED AGGREGATE BASE (GAB) 1 THE INTERMEDIATE SURFACE COUR REQUIRED PRIOR TO SUBSTANTIAL IN LIEU OF PLACING THE INTERME 	O BE PLACED AND COMPACIED IN & MAX. COMP SE LAYER MUST BE PLACED WITHIN 2 WEEKS OF COMPLETION INSPECTION AND BOND REDUCTION. DIATE SURFACE COURSE LAYER FOR COMMERCIAL/	ACTED THICKNESS DATERS. PLACEMENT OF BASE COURSE, AND IS INDUSTRIAL ENTRANCE APRONS WITHIN THE GRADED AGGREGATE BASE (GAB)	
COUNTY RIGHT-OF-WAY WHERE AN CAN BE ADDED TO THE REQUIRED 6. THE CONSTRUCTION DRAWINGS SH	IXILIARY LANES ARE NOT REQUIRED, THE THICKNE THICKNESS OF THE BASE ASPHALT LAYER. ALL SHOW THE PAVING SECTION, ROAD CLASSIFICA	TION AND CBR VALUE FOR EACH ROADWAY.	
2/7/2022 Howard Revised Departme	County, Maryland nt of Public Works	Detail Detail	
Approved Chief, Burgou of	mas & Sutle	P-1 to P-4 R-2.01	
PAVING SECTION NOT	ES:		-IR_ <u>EX. 21/</u> R X 51
ALL PAVING SECTIONS	ARE TO BE VERIFIED AND AF	PROVED BY THE GEOTECH PRIOR TO CONSTRUCTION.	P CL. IV 184LF SD 4
	PAVEMENT WORTH INDICATED ON TPICAL STREET SECTIONS TO BE MEASURED TO THIS POINT		4) \[PER SDP-15 R
BIDEWALK DEPRESSED		BUCK OF CURB (DISTINUCE TO & OF ROAD IS CONSTANT	
	4.17%(SEE NOTE 2)		. /
Х Х А В N	R	1/2" PREFORMED ROADWAY SUPPACE VARUES TO CENTERLINE AS BACK OF CURB DISTANCE IS MAINTAINED THROUGHOUT TRANSITION.	N75°04'00"E-74
► ► ►	MIX NO. 3 CONCRETE	CONSERVITION CURB	
	12862120 BM	TOP OF CURB IN TRANSITION	
COMPACTED G	ADED AGGREGATE BASE (GAB)		
		ROW LINE	
<u>/ COM</u>	13 1/4" 10 3/4"	ON 7" C & G TO MODIFIED C & G DETAIL	
	PAVEMENT WIDTH INDICATED TYPICAL STREET SECTIONS 1 BE MEASURED TO THIS POIN (THE FLOW LINE)		(CO)
ය. වැසි	FLOW LINE		205
(BACK 0 ⁻¹	MIX NO.3 CONCRETE		12" PVC 471-
~ 6 [•] - -	2'-0*		
	LE CERE,		BS. HDP
	المحليون بريمانية بريم. TED GRADED ACCREGATE BASE (GAB)		ALL & PHILAN 200 OWDER ALL ODP
NOTE: MODIFIED C	OMBINATION CURB AND GUTTER		RU \$4.76 SWM #8
WHERE THIS DRAINAGE CREATES A HAZAROC 2. GUTTER PAN AT THE MEDIAN EDGE OF INTE SLOPED AT THE SAME RATE AND IN THE SA LOCATED ON THE LOW SIDE OF SUPERELEV	us condition. Imediate arterials or the high side of superelevated si me direction as the pavement. Match pavement cross si ted section and the rate of superelevation is greater	CTIONS SHALL BE COPE WHEN CURB IS THAN 33 FOR ELEVATION	MBR BOX (M-6) 648CF TOP WALL FL 164 60
WOULTED CURE & GUTTER, 3. A MINIMUM OF TWO (2) FEET OF COMPACT 4. POSITIVE DRAINAGE SHALL BE PROVIDED BO	d stabilized earth, or equivalent, shall support the ei Th behind the curb and along the gutter and flow lin	TITRE BACK OF CURB. e. NOSE DOWN DETAIL RAMP (NO LP AT RAMP (NO LP AT RAMP)	WATERPROOF LINER INSIDE MBR BOX PROVIDE 36" FENCE
Howard County, Marylan Active County County, Marylan Department of Public Wor	t ks CURB AND GUTTER	Detail Howard County, Maryland CURB AND GUTTER Detail	ATOP BIO WALL
Approved 5/1/2007 Approved Critef, Bureu of Engineering	- 7" & Modified	R-3.01 <u>Approved</u> Approved: <u>Approved</u> <u>Ap</u>	z
RIGHT OF WAY LINE			וך
5'-0" MIN.	VARIABLE		
2%		INATION CURB TER	
			9.67
		I' R	
A et at 100			5
			<u>9</u> ' TYP.
WHEN ADJACENT TO	BE 1/4" ABOVE THE		18 ¹
WHEN ADJACENT TO	BOTH ABUT ONE ANOTHER		
WHEN ADJACENT TO 1/2" PREFORME EXPANSION JOIN TIITUP 7" COMPINY	BOTH ADUTIONE ANOTHER	COMPACTED GRADED	
WHEN ADJACENT TO 1/2" PREFORME EXPANSION JOIN 22 		Compacted graded Aggregate base (gab)	
WHEN ADJACENT TO 1/2" PREFORME EXPANSION JOIN 23 		Acgreente Base (GAB)	50
WHEN ADJACENT TO 1/2" PREFORME EXPANSION JOIN TIGHT TC COMBIN AND GUTTE NOTES:	STON CURB	AcGREEATE BASE (GAB)	50 50 50 50 50 50 50 50 50 50 50 50 50 5
NOTES: NOTES:	IN SQUARES.	VNALK.	50 50 50 EX. 7 (REF EX.
NOTES: NOTES	IN SQUARES. NOT TO BE MORE THAN 15' APART, OR 16' FOR 4' WIDE SIDE	WALK.	R S C C C C C C C C C C C C C C C C C C
NOTES: NOTES	IN SQUARES. NOT TO BE MORE THAN 15' APART, OR 16' FOR 4' WIDE SIDE EXPANSION JOINTS TO BE KEPT 1/4" HALL BE 1/4" ABOVE CURB WITH 1/2" PREFORMED CURB.	WALK.	EX. Sp ^e EX. 7 (REF EX. STOR AND (PLAT
NOTES: NOTES	IN SQUARES. NOT TO BE MORE THAN 15' APART, OR 16' FDR 4' WIDE SIDE EXPANSION JOINTS TO BE KEPT 1/4" HALL BE 1/4" ABOVE CURB WITH 1/2" PREFORMED CURB. OR GREATER, A CONCRETE HEADER, 6" THICK AND THICKNESS SHALL BE CONSTRUCTED FOR THE FULL WIDTH THICKNESS SHALL BE CONSTRUCTED FOR THE EXPANSION JOINT 1 THE SIDEWALK.	WALK.	B B B B B B B B C EX. (REF (REF AND (PLA) (PLA)
NOTES: NOTES	IN SQUARES. M SQUARES. M SQUARES. NOT TO BE MORE THAN 15' APART, OR 16' FOR 4' WIDE SIDE EXPANSION JOINTS TO BE KEPT 1/4" HALL BE 1/4" ABOVE CURB WITH 1/2" PREFORMED CURB. I OR GREATER, A CONCRETE HEADER, 6" THICK AND THICKNESS SHALL BE CONCRETE HEADER AT THE EXPANSION JOINT 1 THE SIDEWALK.	XNALK.	
NOTES: NOTES	IN SQUARES. M SQUARES. M SQUARES. NOT TO BE MORE THAN 15' APART, OR 16' FOR 4' WIDE SIDE EXPANSION JOINTS TO BE KEPT 1/4" HALL BE 1/4" ABOVE CURB WITH 1/2" PREFORMED CURB. I'V OR GREATER, A CONCRETE HEADER, 6" THICK AND THICKNESS SHALL BE CONSTRUCTED FOR THE FULL WIDTH TT THE MEADERS SHALL BE PLACED AT THE EXPANSION JOINT 1 THE SIDEWALK.	SWALK.	EX. STOR AND (PLA)
NOTES: NOTES	ANOTHER ANO	NALK.	CHLINE SHEET 3 <i>EX. Store</i> <i>CHLINE SHEET 3</i> <i>CHLINE SHEET 3</i> <i>CHLINE SHEET 3</i> <i>CHLINE SHEET 3</i>
NOTES: NOTES	IN SQUARES. NOT TO BE MORE THAN 15' APART, OR 16' FOR 4' WIDE SIDE EXPANSION JOINTS TO BE KEPT 1/4" HALL BE 1/4" ABOVE CURB WITH 1/2" PREFORMED CURB. THICKNESS SHALL BE CONSTRUCTED FOR THE FULL WIDTH THICKNESS SHALL BE PLACED AT THE EXPANSION JOINT 1 THE SIDEWALK.	Detail R-3.05 Movement of Public Works Flush R-3.07	
WHEN ADJACENT TO 1/2" PREFORME 22	ANOTHER ANO	Detail R-3.05 MALK. Detail R-3.05 Detail Support	
HEM ADJACENT TO 1/2" PREFORME EXPANSION JOIN T	CONCRETE SIDEWALK CONCRETE SIDEWALK TY DEPARTMENT OF PLANNING	Detail R-3.05 AND ZONING	
HEM ADJACENT TO 1/2" PREFORME EXPANSION JOIN 22 7" COMBIN AND GUTTE T	IN SQUARES. IN SQUARES. IN SQUARES. NOT TO BE MORE THAN 15' APART, OR 16' FOR 4' WIDE SIDE EXPANSION JOINTS TO BE KEPT 1/4" HALL BE 1/4" ABOVE CURB WITH 1/2" PREFORMED CURB. IN GREATER, A CONCRETE HEADER, 6" THICK AND THICKNESS SHALL BE PLACED AT THE EXPANSION JOINT I THE SIDEWALK. CONCRETE SIDEWALK TY DEPARTMENT OF PLANNING	Detail Howard County, Maryland R-3.05 Howard County, Maryland S AND ZONING 8/29/2024	
VHEN ADJACENT TO 1/2" PREFORME EXPANSION JON ZZ	CONCRETE SIDEWALK	Detail Nark Detail Howard County, Maryland R-3.05 Same Sand Zoning Howard County, Maryland Sand Zoning Howard County, Maryland B AND ZONING 8/29/2024 DATE	
WHEN ADJACENT TO 1/2" PREFORME 1/2" PREFORME 27	CONCRETE SIDEWALK	Detail Howard County, Maryland R-3.05 Howard County, Maryland June Howard County, Maryland Department of Public Works Curb June Howard County, Maryland Department of Public Works Curb June Howard County, Maryland Department of Public Works Curb June Howard County, Maryland June Howard County, Maryland Department of Public Works Curb June Howard County, Maryland June Howard County, Maryland June Howard County, Maryland Department of Public Works Curb Flush R-3.07 Stand Zoning Howard County, Maryland 8/29/2024 Howard County, Maryland DATE B/30/2024	MATCHLINE SHEET 3

PVI STA = 0+90 PVI ELEV = 164.08 A.D. = 3.67 K_= 8.17

<u>_30' VC</u>

1+05 163.7

<u>1+15</u> 163.58

PVI STA PVI ELEV

<u>165.1</u> 163.90

1+00

0+75

BVCS.

0+53 166.18

EVCS: EVCE:

└-95% COMPACTION FILL AS PER AASHTO T-180

<u>166.5</u> 166.34

WHERE DRAINAGE FLOWS AWAY FROM CURB, CONTRACTOR TO REVERSE THE GUTTER PAN.

FUTURE BUILDINGS CANNOT BE CLOSER THAN 10 FEET TO THE PUBLIC EASEMENTS.

EX. 4" CONDUITS (4)

EX. [\]20' PUBLIC SEWER AND UTILITY EASMENT (PLAT 25206–25217)

DESIGN CERTIFICATION

DocuSigned by

DESIGNER'S SIGNATURE

Robert H. Vogel Printed Name

OWNER/DEVELOPER CERTIFICATION:

Julian Olin

Julian Olin

PRINTED NAME & TITLE

DATE

OWNER/DEVELOPER SIGNATURE

WINER, DEVELOPER CERTIFICATION: "I/WE CERTIFY THAT ANY CLEARING, GRADING, CONSTRUCTION, OR DEVELOPMENT WILL BE DONE PURSUANT TO THIS APPROVED EROSION AND SEDIMENT CONTROL PLAN, INCLUDING INSPECTING AND MAINTAINING CONTROLS, AND THAT ALL RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF TRAINING AT A MARYLAND DEPARTMENT OF THE ENVIRONMENT (MDE) APPROVED TRAINING PROGRAM FOR THE CONTROL ON EROSION AND SEDIMENT PRIOR TO BEGINNING THE PROJECT. I CERTIFY RIGHT-OF-ENTRY FOR PERIODIC: ON TO BEGINNING THE PROJECT. I CERTIFY RIGHT-OF-ENTRY FOR PERIODIC: ON TO BEGINNING THE PROJECT. I CERTIFY RIGHT-OF-ENTRY FOR PERIODIC: ON TO BEGINNING THE PROJECT. I CERTIFY RIGHT-OF-ENTRY FOR PERIODIC: ON TO BEGINNING THE PROJECT. I CERTIFY RIGHT-OF-ENTRY FOR PERIODIC: ON TO BEGINNING THE PROJECT. I CERTIFY RIGHT-OF-ENTRY FOR PERIODIC: ON TO BEGINNING THE PROJECT. I CERTIFY RIGHT-OF-ENTRY FOR PERIODIC: ON TO BEGINNING THE PROJECT. I CERTIFY RIGHT-OF-ENTRY FOR PERIODIC: ON TO BEGIN ON THE CONTROL ON THE O

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING (HAD ELMON LSON CHIEFOBS DEVELOPMENT ENGINEERING DIVISION Docusigned by: 8/29/2024 DATE 8/30/2024 CHIÉFER DINISION OF LAND DEVELOPMENT DATE 8/30/2024 Ida Eisenberg

DIRECTOR 863942E...

B-4-5 STANDARDS AND SPECIFICATIONS FOR PERMANENT STABILIZATION

URPOSE OUSE LONG-LIVED PERENNIAL GRASSES AND LEGUMES TO ESTABLISH PERMANENT GROUND COVER ON DISTURBED

. GENERAL USE A.SELECT ONE OR MORE OF THE SPECIES OR MIXTURES LISTED IN TABLE 8.3 FOR THE APPROPRIATE PLANT ASELECT ONE OR MORE OF THE SPECIES OR MIXTURES LISTED IN TABLE 8.3 FOR THE APPROPRIATE PLANT HARDINESS ZONE (FROM FIGURE 8.3) AND BASED ON THE SITE CONDITION OR PURPOSE FOUND ON TABLE 8.2. ENTER SELECTED MIXTURE(S), APPLICATION RATES, AND SEEDING DATES IN THE PERMANENT SEEDING SUMMARY. THE SUMMARY IS TO BE PLACED ON THE PLAN. 8. ADDITIONAL PLANTING SPECIFICATIONS FOR EXCEPTIONAL SITES SUCH AS SHORELINES, STREAM BANKS, OR DUNES OR FOR SPECIAL PURPOSES SUCH AS WILDLIFE OR AESTHETIC TREATMENT MAY BE FOUND IN USDA-NRCS TECHNICAL FIELD OFFICE GUIDE, SECTION 342 – CRITICAL AREA PLANTING. 2. FOR SITES HAVING DISTURBED AREA OVER 5 ACRES, USE AND SHOW THE RATES RECOMMENDED BY THE SOIL TESTING AGENCY. DECR APREAS RECEIVING LOW MAINTENANCE APPLY LIREA FORM FERTILIZER (46–0–0) AT 3–1/2 POLINDS D. FOR AREAS RECEIVING LOW MAINTENANCE, APPLY UREA FORM FERTILIZER (46-0-0) AT 3-1/2 POUNDS PER 1000 SQUARE FEET (150 POUNDS PER ACRE) AT THE TIME OF SEEDING IN ADDITION TO THE SOLL AMENDMENTS SHOWN IN THE PERMANENT SEEDING SUMMARY.

URFGRASS MIXIORES A. AREAS WHERE TURFGRASS MAY BE DESIRED INCLUDE LAWNS, PARKS, PLAYGROUNDS, AND COMMERCIAL SITES WHICH WILL RECEIVE A MEDIUM TO HIGH LEVEL OF MAINTENANCE. 3. SELECT ONE OR MORE OF THE SPECIES OR MIXTURES LISTED BELOW BASED ON THE SITE CONDITIONS SELECT ONE OF MORE OF THE SPECIES OF MIXTURES LISTED BELOW BASED ON THE STIE CONDITIONS OR PURPOSE. ENTER SELECTED MIXTURE(S), APPLICATION RATES, AND SEEDING DATES IN THE PERMANENT SEEDING SUMMARY. THE SUMMARY IS TO BE PLACED ON THE PLAN. I. KENTUCKY BLUEGRASS: FULL SUN MIXTURE: FOR USE IN AREAS THAT RECEIVE INTENSIVE MANAGEMENT. IRRIGATION REQUIRED IN THE AREAS OF CENTRAL MARYLAND AND EASTERN SHORE. RECOMMENDED CERTIFIED KENTUCKY BLUEGRASS CULTIVARS SEEDING RATE: 1.5 TO 2.0 POUNDS PER 1000 SQUARE FEET. CHOOSE A MINIMUM OF THREE KENTUCKY BLUEGRASS CULTIVARS WITH EACH RANGING FROM 10 TO 35PERCENT OF THE TOTAL MIXTURE BY WEIGHT. IU SOPERCENT OF THE TOTAL MIXTURE BY WEIGHT. II. KENTUCKY BLUEGRASS/PERENNIAL RYE: FULL SUN MIXTURE: FOR USE IN FULL SUN AREAS WHERE RAPID ESTABLISHMENT IS NECESSARY AND WHEN TURF WILL RECEIVE MEDIUM TO INTENSIVE MANAGEMENT. CERTIFIED PERENNIAL RYEGRASS CULTIVARS/CERTIFIED KENTUCKY BLUEGRASS SEEDING RATE: 2 POUNDS MIXTURE PER 1000 SQUARE FEET. CHOOSE A MINIMUM OF THREE KENTUCKY BLUEGRASS CULTIVARS WITH EACH RANGING FROM 10 TO 35 PERCENT OF THE TOTAL MIXTURE BY WEIGHT

III. TALL FESCUE/KENTUCKY BLUEGRASS: FULL SUN MIXTURE: FOR USE IN DROUGHT PRONE AREAS III. TALL FESCUE/KENTUCKY BLUEGRASS: FULL SUN MIXTURE: FOR USE IN DROUGHI PRONE AREAS AND/OR FOR AREAS RECEIVING LOW TO MEDIUM MANAGEMENT IN FULL SUN TO MEDIUM SHADE. RECOMMENDED MIXTURE INCLUDES; CERTIFIED TALL FESCUE CULTIVARS 95 TO 100 PERCENT, CERTIFIED KENTUCKY BLUEGRASS CULTIVARS 0 TO 5 PERCENT. SEEDING RATE: 5 TO 8 POUNDS PER 1000 SQUARE FEET. ONE OR MORE CULTIVARS MAY BE BLENDED.
 IV. KENTUCKY BLUEGRASS/FINE FESCUE: SHADE MIXTURE: FOR USE IN AREAS WITH SHADE IN BLUEGRASS LAWNS. FOR ESTABLISHMENT IN HIGH QUALITY, INTENSIVELY MANAGED TURF AREA. MIXTURE INCLUDES; CERTIFIED KENTUCKY BLUEGRASS CULTIVARS 30 TO 40 PERCENT AND CERTIFIED FINE FESCUE AND 60

0 70 PERCENT. SEEDING RATE: 1½ TO 3 POUNDS PER 1000 SQUARE FEET. SELECT TURFGRASS VARIETIES FROM THOSE LISTED IN THE MOST CURRENT UNIVERSITY OF MARYLAND PUBLICATION, AGRONOMY MEMO #77, "TURFGRASS CULTIVAR RECOMMENDATIONS FOR MARYLAND". CHOOSE CERTIFIED MATERIAL CERTIFIED MATERIAL IS THE BEST GUARANTEE OF CULTIVAR PURITY. THE CERTIFICATION PROGRAM OF THE MARYLAND DEPARTMENT OF AGRICULTURE, TURF AND SEED SECTION, PROVIDES A RELIABLE MEANS OF CONSUMER PROTECTION AND ASSURES A PURE

GENETIC LINE.
 C. IDEAL TIMES OF SEEDING FOR TURF GRASS MIXTURES
 WESTEM MD: MARCH 15 TO JUNE 1, AUGUST 1 TO OCTOBER 1 (HARDINESS ZONES: 5B, 6A) CENTRAL MD: MARCH 1 TO MAY 15, AUGUST 15 TO OCTOBER 15 (HARDINESS ZONE: 6B) SOUTHERN MD, EASTERN SHORE: MARCH 1 TO MAY 15, AUGUST 15 TO OCTOBER 15 (HARDINESS ZONES: 70 MES: 74 78)

TILL AREAS TO RECEIVE SEED BY DISKING OR OTHER APPROVED METHODS TO A DEPTH OF 2 TO 4 INCHES, LEVEL AND RAKE THE AREAS TO PREPARE A PROPER SEEDBED. REMOVE STONES AND DEBR

OVER 1% INCHES IN DIAMETER. THE RESULTING SEEDBED MUST BE IN SUCH CONDITION THAT FUTURE MOWING OF GRASSES WILL POSE NO DIFFICULTY. E. IF SOIL MOISTURE IS DEFICIENT, SUPPLY NEW SEEDINGS WITH ADEQUATE WATER FOR PLANT GROWTH (1/2 TO 1 INCH EVERY 3 TO 4 DAYS DEPENDING ON SOIL TEXTURE) UNTIL THEY ARE FIRMLY ESTABLISHED THIS IS ESPECIALLY TRUE WHEN SEEDINGS ARE MADE LATE IN THE PLANTING SEASON, IN ABNORMALLY

R	MANENT S	SEEDING	SUMMA	RY		
JRE B.3	B.3): ZONE 3): 9	6b		FELIZER RATE (10-20-20)		LIME RATE
	SEEDING DATES	seeding Depths	N	P2 05	к ₂ 0	
AC	MAR 1 TO MAY 15	1/4-1/2 IN.	45 LB/AC (1 LB PER	90 LB/AC (2 LB PER	90 LB/AC (2 LB PER	2 TONS/A (90 LB PE

K.B. 40 LB / AC AUG 15 TO 1000 SF 10000 SF 1000 SF 100 PROVIDE QUICK COVER ON DISTURBED AREAS (2:1 GRADE OR FLATTER).

SOD: TO PROVIDE QUICK COVER ON DISTURBED AREAS (2:1 GRADE OR FLATTER).
GENERAL SPECIFICATIONS
A. CLASS OF TURFGRASS SOD MUST BE MARYLAND STATE CERTIFIED. SOD LABELS MUST BE MADE AVAILABLE TO THE JOB FOREMAN AND INSPECTOR.
B. SOD MUST BE MACHINE CUT AT A UNIFORM SOIL THICKNESS OF 3/4 INCH, PLUS OR MINUS ¼ INCH, AT THE TIME OF CUTTING. MEASUREMENT FOR THICKNESS MUST EXCLUDE TOP GROWTH AND THATCH. BROKEN PADS AND TOM OR UNEVEN ENDS WILL NOT BE ACCEPTABLE.
C. STANDARD SIZE SECTIONS OF SOD MUST BE STRONG ENOUGH TO SUPPORT THEIR OWN WEIGHT AND RETAIN THEIR SIZE AND SHAPE WHEN SUSPENDED VERTICALLY WITH A FIRM GRASP ON THE UPPER 10 PERCENT OF THE SECTION.
SOD MUST DE LADVIESTION OF TRANSPIANTED. WHEN MOISTURE CONTENT (EXCESSIVELY, DRY, OR, WET) D. SOD MUST NOT BE HARVESTED OR TRANSPLANTED WHEN MOISTURE CONTENT (EXCESSIVELY DRY OR WET) MAY ADVERSELY AFFECT ITS SURVIVAL. E. SOD MUST BE HARVESTED, DELIVERED, AND INSTALLED WITHIN A PERIOD OF 36 HOURS. SOD NOT SPLANTED WITHIN THIS PERIOD MUST BE APPROVED BY AN AGRONOMIST OR SOIL SCIENTIST PRIOR

TRANSPLANTED WITHIN THIS PERIOD MUST BE APPROVED BY AN AGRONOMIST OR SOIL SCIENTIST PRIOR TO ITS INSTALLATION.
SOD INSTALLATION.
SOD INSTALLATION.
A DURING PERIODS OF EXCESSIVELY HIGH TEMPERATURE OR IN AREAS HAVING DRY SUBSOIL, LIGHTLY IRRIGATE THE SUBSOIL IMMEDIATELY PRIOR TO LAYING THE SOD.
B. LAY THE FIRST ROW OF SOD IN A STRAIGHT LINE WITH SUBSEQUENT ROWS PLACED PARALLEL TO IT AND TIGHTLY WEDGED AGAINST EACH OTHER. STAGGER LATERAL JOINTS TO PROMOTE MORE UNIFORM GROWTH AND STRENGTH. ENSURE THAT SOD IS NOT STRETCHED OR OVERLAPPED AND THAT ALL JOINTS ARE BUTTED TIGHT IN ORDER TO PREVENT VOIDS WHICH WOULD CAUSE AIR DRYING OF THE ROOTS.
C. WHEREVER POSSIBLE, LAY SOD WITH THE LONG EDGES PARALLEL TO THE CONTOUR AND WITH STAGGERING JOINTS. ROLL AND TAMP, PEG OR OTHERWISE SECURE THE SOD TO PREVENT SLIPPAGE ON SLOPES. ENSURE SOLID CONTACT EXISTS BETWEEN SOD ROOTS AND THE UNDERLYING SOIL SURFACE.
D. WATER THE SOD IMMEDIATELY FOLLOWING ROLLING AND TAMPING UNTIL THE UNDERSIDE OF THE NEW SOD PAD AND SOIL SURFACE BELOW THE SOD ARE THOROUGHLY WET. COMPLETE THE OPERATIONS OF LAYING, TAMPING AND JRIGATING FOR ANY PIECE OF SOD WITHIN EIGHT HOURS.
SOD MAINTENANCE SOD MAINTENANCE A. IN THE ABSENCE OF ADEQUATE RAINFALL, WATER DAILY DURING THE FIRST WEEK OR AS OFTEN AND

SUFFICIENTLY AS NECESSARY TO MAINTAIN MOIST SOIL TO A DEPTH OF 4 INCHES. WATER SOD DURINI AFTER THE FIRST WEEK, SOD WATERING IS REQUIRED AS NECESSARY TO MAINTAIN ADEQUATE MOISTURE DO NOT MOW UNTIL THE SOD IS FIRMLY ROOTED. NO MORE THAN 1/3 OF THE GRASS LEAF MUST BE REMOVED BY THE INITIAL CUTTING OR SUBSEQUENT CUTTINGS. MAINTAIN A GRASS HEIGHT OF AT LEAST 3 INCHES UNLESS OTHERWISE SPECIFIED.

SEDIMENT CONTROLS INTERRUPTED BY THE INSTALLATION OF STORM DRAINS ARE TO BE REPAIRED IMMEDIATELY. . A DOUBLE ROW OF "SUPER" SILT FENCE IS TO BE INSTALLED AT THE DIRECTION OF THE SEDIMENT CONTROL INSPECTOR. . STOCKPILES EXCEEDING 15 FEET IN HEIGHT SHALL BE BENCHED. SILT FENCE SHALL BE CURLED UPHILL AT 35 FT. INTERVALS WHEREVER IT RUNS DOWNHILL

EITHER TEMPORARY OR PERMANENT SEEDING AND STABILIZATION IS TO BE PERFORMED AT THE DIRECTION OF THE SEDIMENT CONTROL INSPECTOR OR AT THE INTERVALS PROVIDED IN THE 2011 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL, WHICHEVER IS MORE

7a and 7b Feb 15 to Apr 30; Au Aar 1 to May 15; Au 15 to Nov 30 FFRTII I7FR RATE (10-20-20) LIME RATE Feb 15 to Apr 30; Au 15 to Nov 30 Feb 15 to Apr 30; Au 436 LB/AC 2 TONS/AC 15 to Nov 30 10 LB PER (90 LB PER Feb 15 to Apr 30; Au 1000 SF) 1000 SF) 5 to Nov 30 Feb 15 to Apr 30; Aug Mar 1 to May 15: Au 15 to Dec 15 ay 1 to Aug 14 ay 1 to Aug 14

DESIGN CERTIFICATION:

DocuSigned by:

DESIGNER'S SIGNATURE

Robert H. Vogel Printed Name

Robert H. Vogel

DISTRICT

3/19/2024

DATE

"I HEREBY CERTIFY THAT THIS PLAN HAS BEEN DESIGNED IN ACCORDANCE WITH CURRENT MARYLAND EROSION AND SEDIMENT CONTROL LAWS, REGULATIONS, AND STANDARDS, THAT IT REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE, AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION 3/19/2024

DATE MD REGISTRATION NO. 16193 (P.E), R.L.S., OR R.L.A. (circle one)

B-4-8 STANDARDS AND SPECIFICATIONS FOR STOCKPILE AREA

MOUND OR PILE OF SOIL PROTECTION BY APPROPRIATELY DESIGNED EROSION AND SEDIMENT CONTROL MEASURES

FOR EROSION, SEDIMENTATION, AND CHANGES TO DRAINAGE PATTERNS.

- CRITERIA 1. THE STOCKPILE LOCATION AND ALL RELATED SEDIMENT CONTROL PRACTICES MUST BE CLEARLY INDICATED ON THE EROSION AND SEDIMENT CONTROL PLAN.
- ACCORDANCE WITH SECTION B-3 LAND GRADING. RUNOFF FROM THE STOCKPILE AREA MUST DRAIN TO A SUITABLE SEDIMENT CONTROL PRACTICE. . ACCESS THE STOCKPILE AREA FROM THE UPGRADE SIDE.
- 5. CLEAR WATER RUNOFF INTO THE STOCKPILE AREA MUST BE MINIMIZED BY USE OF A DIVERSION DEVICE SUCH AS AN EARTH DIKE, TEMPORARY SWALE OR DIVERSION FENCE. PROVISIONS MUST BE MADE FOR DISCHARGING CONCENTRATED FLOW IN A NON-EROSIVE MANNER.
- 6. WHERE RUNOFF CONCENTRATES ALONG THE TOE OF THE STOCKPILE FILL, AN APPROPRIATE EROSION/SEDIMENT CONTROL PRACTICE MUST BE USED TO INTERCEPT THE DISCHARGE.
- WELL AS STANDARD B-4-1 INCREMENTAL STABILIZATION AND STANDARD B-4-4 TEMPORARY STABILIZATION.
- IF THE STOCKPILE IS LOCATED ON AN IMPERVIOUS SURFACE, A LINER SHOULD BE PROVIDED BELOW THE STOCKPILE TO FACILITATE CLEANUP. STOCKPILES CONTAINING CONTAMINATED MATERIAL MUST BE COVERED WITH IMPERMEABLE SHEETING.

STABLISHMENT IN ACCORDANCE WITH SECTION B-4 VEGETATIVE STABILIZATION. SIDE SLOPES MUST BE MAINTAINED AT NO STEEPER THAN A 2:1 RATIO. THE STOCKPILE AREA MUST BE KEPT FREE OF EROSION. IF THE VERTICAL HEIGHT OF A STOCKPILE EXCEEDS 20 FEET FOR 2:1 SLOPES, 30 FEET FOR 3:1 SLOPES, OR 40 FEET FOR 4:1 SLOPES, BENCHING MUST BE PROVIDED IN ACCORDANCE WITH SECTION B-3 LAND GRADING

STANDARDS AND SPECIFICATIONS FOR DUST CONTROL

ONTROLLING THE SUSPENSION OF DUST PARTICLES FROM CONSTRUCTION ACTIVITIES.

SEQUENCE OF CONSTRUCTION

- DEVELOPER/CONTRACTOR SHALL CONDUCT A PRE-CONSTRUCTION MEETING WITH THE SEDIMÉNT CONTROL INSPECTOR PRIOR TO ANY LAND DISTURBANCE. (1 DAY) NOTIFY HOWARD COUNTY BUREAU OF ENGINEERING, CONSTRUCTION INSPECTION
- DIVISION (410-313-1880) AT LEAST 24 HRS BEFORE STARTING WORK. (1 DAY) STAKEOUT LIMITS OF DISTURBANCE (2 DAYS)
- CLEAR AND GRUB FOR THE INSTALLATION OF ALL PERIMETER CONTROLS. (2 DAYS) INSTALL PERIMETER CONTROLS INCLUDING EARTH DIKES, SILT FENCE ON PAVING,
- SILT FENCE AND SUPER SILT FENCE. (3 DAYS) WITH APPROVAL OF SEDIMENT CONTROL INSPECTOR, CLEAR AND GRUB REMAINDER OF SITE TO LOD. (1 WEEK)
- BEGIN SITE GRADING AND UTILITY CONSTRUCTION. (8 WEEKS) AFTER ROAD IS BROUGHT TO PROPOSED GRADE, AND WITH INSPECTOR'S APPROVAL, BEGIN INSTALLATION OF ROAD BASE PAVING AND CURB. COMPLETE STORM DRAIN INSTALLATION. FINE GRADE AS REQUIRED TO DIRECT RUNOFF TO INLETS AND PROVIDE
- INLET PROTECTION AS SHOWN (4 WEEKS) A. MICROBIORETENTION CONSTRUCTION: CONSTRUCT STORM DRAIN SYSTEM INCLUDING MICROBIORETENTION UNDERDRAINS AND ₿57 STONE. COVER STONE WITH POLY SHEET PLASTIC TO PREVENT CONTAMINATION,
- AND TEMPORARILY BACKFILL. 11. COMPLETE ALL BASE COURSE PAVING AND CURB AND GUTTER CONSTRUCTION. (1 WFFK)
- BEGIN CONSTRUCTION OF BUILDING. (6 MONTHS) UPON COMPLETION OF BUILDING, INSTALL PAVING SURFACE COURSE. (1 WEEK)
- INSTALL SIDEWALKS. (2 WEEKS) WITH INSPECTOR'S APPROVAL. FINE GRADE AND STABILIZE ALL AREAS OF PARCEL
- INCLUDING ANY EXPOSED EARTH AREAS OUTSIDE THE LOD. REMOVE ALL TRASH JUNK AND DEBRIS FROM THE LIMIT OF DISTURBANCE. (3 WEEKS)
- COMPLETE INSTALLATION OF MICRO-BIORETENTION FACILITIÉS. (1 MONTH
- FACILITES AND CAREFULLY REMOVE POLY SHEET PLASTIC AND INSTALL FILTER FABRIC (SIDES ONLY), PEA GRAVEL AND PLANTING SOIL. CONTRACTOR TO PROVIDE PLANTING L CERTIFICATION. IMMEDIATELY PROTECT FACILITY WITH SILT FENCE. 17. REMOVE SEDIMENT CONTROLS AFTER RECIEVING APPROVAL FROM THE SEDIMENT
- CONTROL INSPECTOR. INSTALL STREET TREES. (1 WEEK) FLUSH STORM DRAIN SYSTEM AND REMOVE SEDIMENT CONTROLS AFTER RECIEVING APPROVAL
- FROM THE SEDIMENT CONTROL INSPECTOR. 20. AFTER PERMISSION FROM THE SEDIMENT CONTROL INSPECTOR REMOVE ANY REMAINING CONTROLS AND STABILIZE ALL REMAININIG DISTURBED AREAS WITH PERMANENT SEEDING MIXTURE AND STRAW AND MULCH (1 WEEK.)
- DURING GRADING AND AFTER EACH RAINFALL, CONTRACTOR WILL INSPECT AND PROVIDE NECESSARY MAINTENANCE TO THE SEDIMENT CONTROL MEASURES ON THIS PLAN. 2. FOLLOWING INITIAL SOIL DISTURBANCES OR REDISTURBANCE, PERMANENT OR TEMPORARY STABILIZATION SHALL BE COMPLETED WITHIN:
- A. THREE (3) CALENDAR DAYS AS TO THE SURFACE OF ALL PERIMETER DIKES, SWALES, DITCHES, PERIMETER SLOPES, AND ALL SLOPES STEEPER THAN 3 HORIZONTAL TO VERTICAL (3:1): AND
- B. SEVEN (7) CALENDAR DAYS TO ALL OTHER DISTURBED OR GRADED AREAS ON THE PROJECT SITE NOT UNDER ACTIVE GRADING.
 3. ANY CHANGES OR REVISIONS TO THE SEQUENCE OF CONSTRUCTION MUST BE REVIEWED AND APPROVED BY THE PLAN APPROVAL AUTHORITY PRIOR TO PROCEEDING WITH CONSTRUCTION.

s plan is approved for soil eros Ntrol by the howard soil conserv	ION AND SEDIMENT VATION DISTRICT.
Alexander Bratchie	8/29/2024

HOWARD 645 CB BA9B64C

Total Paddock Po Target ESDv for To Total ESDv Provid Limit of Disturbar	inte Weigh otal Paddoc ed with Pha nce (Phase 2	ted Pe : k Pointe St ase 1 (unde 2):	ation: er SDP-15-04	13):				2.07 87,270 35,544 6.75	c.f. Ac.	(All of Laurel Park (Provided under Si (Phase 2)) DP-15-043)							
Phase 2 Developr Post-Developmen	nent Area: nt Impervic) ous Area (Pl	nase 2):					6.50 4.47	Ac. Ac.	(Phase 2) (Phase 2)								
Percent Impervio Target ESDv Regu	us (Phase 2 ired for Pha	2): ase 2 (Phase	(within Tot e 2 % Imp x	al Paddoc ESDv of To	<i>k Pointe)</i> otal Padd	ock Point	e):	14.92% 13,024	c.f.	(Phase 2) (Prorata based on	Phase 2 Imperv	vious Percentage,)					
Total ESDv Provid Remaining ESDv f	ed with Ph or Total Pa	ase 2 (this p ddock Poin	project, SDP	-15-063):				13,080	c.f.	(CURRENT PLAN, S	SDP-15-063) future phases)							
ESDv=(PexRvxA)/	12									(
Vmin 1yr rainfall	= 1" - 2.6"		(1.0x0.95x)	A)/12														
PRACTICE	PRACTICE	PRACTICE	IMPERV	IMPERV	PERV	PERV		PRACTICE	PRACTICE 1"		PRACTICE 2.6"		Rev	Rev		REMARKS	donth	norositu
SWM#1	6,336	0.15	4,835	(AC) 0.111	(SF) 1,501	0.03	76	RV 0.74	389	805	1,011	389	n/a	n/a	CF SF CONTECH FILTERRA	A FTSC 6'x5'x3.83' (6'x10')		porosity
FILTERRA F-25												P _E Provided: <i>1.00</i>			446 I 389 V	Max WQv Treatment Equiva WQv Treatment Equivalent	lent (cf) Credit Use	:d
SWM#2 MBR (M-6)	13,117	0.30	11,124	0.26	1,993	0.05	85	0.81	889	1,840	2,311	1,561	319	319	MICROSCALE MICF	RO-BIORETENTION (M-6) Surface Area of MBR @ 1.0 p	onding (7!	5% above)
												P _E Provided:			319 956 Recharge Vol	Rev Recharge	0.83 x	0.4
C) N/N A // O A	4 107	0.10	2 021	0.00	25(0.01	04	0.00	21.2		012	241	05	05	287 956	ADDITIONAL STONE	1.00 x	0.3
MBR BOX (M-6)	4, 187	0.10	3,931	0.09	256	0.01	94	0.90	312	646	812	341	85	85	341 256	Surface Area of MBR @ 1.0 p	») onding (7!	5% above)
												P _E Provided: 1.09			85 256 I (Recharge Vol	Rev Recharge I Req. = 25% of total volume	0.83 x provided	below)
SWM#3	21,128	0.49	18,091	0.42	3,037	0.07	86	0.82	1,445	2,991	3,757	1,614	329	329	0 256 MICROSCALE MICF	ADDITIONAL STONE RO-BIORETENTION (M-6)	<u>0.00 x</u>	0.3
MBR (M-6)												Pr Provided			1,317 988 9	Surface Area of MBR @ 1.0 p	onding (75	5% above)
												1.12			(Recharge Vol	I Req. = 25% of total volume	provided	below)
SWM#4	15,085	0.35	12,063	0.28	3,022	0.07	80	0.77	968	2,003	2,516	2,510	555	555	296 988 MICROSCALE MICF	RO-BIORETENTION (M-6)	1.00 X	0.3
MBR (M-6)												P _E Provided:			2,220 1,665 555 1,665 F	Surface Area of MBR @ 1.0 p Rev Recharge	onding (75 0.83 x	5% above) (0.4
												2.59			(Recharge Vol 290 1,665	I Req. = 25% of total volume ADDITIONAL STONE	provided 0.58 x	below) 0.3
SWM#5 MBR BOX (M-6)	3,143	0.07	2,877	0.07	266	0.01	92	0.87	229	474	595	355	89	89	MICROSCALE MICE	RO-BIORETENTION BOX (M-) Surface Area of MBR @ 1.0 r	») ondina (7!	5% above)
												P _E Provided:			89 266 I	Rev Recharge	0.83 x	0.4
C)A/D A #/	2 522	0.0/	2.2/7	0.05	255	0.01	00	0.0/	101	274	4/0	1.00	05	05			0.00 x	0.3
MBR BOX (M-6)	2,522	0.06	2,207	0.05	200	0.01	90	0.80	181	374	409	340	65	60	340 255 S	Surface Area of MBR @ 1.0 p	୬ onding (7ዩ	5% above)
												P _E Provided: 1.88			Recharge Vol	Rev Recharge I Req. = 25% of total volume	0.83 x	0.4 below)
SWM#7	4,373	0.10	3,703	0.08	670	0.02	85	0.81	296	613	769	563	141	141	0 255 MICROSCALE MICF	ADDITIONAL STONE RO-BIORETENTION BOX (M-(<u>0.00 x</u> 5)	0.3
MBR BOX (M-6)												P _E Provided:			563 422 5 141 422 1	Surface Area of MBR @ 1.0 p Rev Recharge	onding (75 0.83 x	5% above) 0.4
												1.90			(Recharge Vol 0 422	I Req. = 25% of total volume ADDITIONAL STONE	provided 0.00 x	below) 0.3
SWM#8 MBR BOX (M-6)	3,692	0.08	3,206	0.07	486	0.01	87	0.83	256	530	665	648	162	162	MICROSCALE MICF 648 486	RO-BIORETENTION BOX (M- Surface Area of MBR @ 1.0 p	») onding (7!	5% above)
												P _E Provided:			162 486 I	Rev Recharge	0.83 x	0.4
\$14/14/0	4 554	0.15	E 790	0.12	767	0.02	00	0.94	441	OFF	1 200	E12	100	100			0.00 x	0.3
MBR BOX (M-6)	0,000	0.15	5,769	0.13	707	0.02	00	0.04	401	700	1,200	515	120	120	513 <u>385</u>	Surface Area of MBR @ 1.0 p	יי onding (זי	5% above)
												P _E Provided: 1.11			(Recharge Vol	Rev Recharge I Req. = 25% of total volume	provided	0.4 below)
SWM#10	15,958	0.37	11,070	0.25	4,888	0.11	69	0.67	897	1,856	2,331	2,026	455	455	0 385 MICROSCALE MICF	ADDITIONAL STONE RO-BIO RETENTION (M-6)	<u>0.00 x</u>	0.3
MBR (M-6)												P _E Provided:			1,821 1,366 5 455 1,366 F	Surface Area of MBR @ 1.0 p Rev Recharge	onding (75 0.83 x	5% above) 0.4
												2.26			(Recharge Vol 205 1,366	I Req. = 25% of total volume ADDITIONAL STONE	provided 0.50 x	below) 0.3
SWM#11 MBR (M-6)	24,763	0.57	10,389	0.24	14,374	0.33	42	0.43	882	1,826	2,294	1,508	308	308	MICROSCALE MICK	RO-BIO RETENTION (M-6) Surface Area of MBR @ 1.0 r	onding (7!	5% above)
												P _E Provided:			308 923 F	Rev Recharge	0.83 x	0.4
S\A/\\ 4#1.2	E 070	0.12	4.2/0	0.10	1 501	0.02	74	0.70	25.2	700	015	252			277 923	ADDITIONAL STONE	1.00 x	0.3
FILTERRA	0,070	0.13	4, 307	0.10	1,001	0.03	/4	0.72	JC∠	129	CIA	P _E Provided:	n/a	11/d	425	Max WQv Treatment Equiva	lent (cf)	
F-20 SWM#13	9,786	0.22	4,254	0.10	5,533	0.13	43	0.44	360	745	935	1.00 360	n/a	n/a	352 CONTECH FILTERR/	WQv Treatment Equivalent A FTSC 6'x7.5'x3.83' (6'x12')	Credit Use	d
FILTERRA F-21												P _E Provided: 1.00			452 I 360 V	Max WQv Treatment Equiva WQv Treatment Equivalent	lent (cf) Credit Use	:d
TOTALS 50	136,516 % Phase 2 li	3.13 mpervious	97,967 to Manage:	2.25	38,549 sf.	0.88				R	TOTALS emaining FSDv:	13,080	2,486	2,486		·		
		Remaining	to Manage:	-642 50.33%	sf.	eds miniu	m 50%										+	
L	1	TEICEII	. тыапауси:	50.3370		sus minitu		X 									9 The	-
								Ľ					╧┋╬╺╻╠╢ ╱╞╅╲				5753	
											2° masjini 15	572	/VN	/ #	BLVD	W	158-/-	
								ж.		RCAD	IR 10+00 IR		1R	IR Mire 10817				
								1. A. A.	SS	57,09 67,20 56,85	57 <u>61</u>			S	<u>\/\/</u> #	t7Δ	-/56.	1S
										900 - 100 -	57 <u>48</u> 57 <u>66</u> 57 <u>66</u> 57 <u>58</u> 29		5 - <u>55,00</u>					H Z 1
								187 197 26	ER WATER			5		5785-78	57 <u>57</u>	5784	40 F 1029 - 10 - 1	22 - WH 200 WH

PARCEL C-2

NEW TOP=153.1. EX. TOP=153.00 BRING MH TOP TO GRADE

BUFFER

PLAN VIEW SCALE: 1"=50'

SCALE 1"=50'

DA #	DRAINAGE AREA (AC)	PERCENT IMPERVIOUS	ESDv PROVIDED (cf)
SWM#1	0.15	76%	389
SWM#2	0.30	85%	1,561
SWM#2A	0.10	94%	341
SWM#3	0.49	86%	1,614
SWM#4	0.35	80%	2,510
SWM#5	0.07	92%	355
SWM#6	0.06	90%	340
SWM#7	0.10	85%	563
SWM#8	0.08	87%	648
SWM#9	0.15	88%	513
SWM#10	0.37	69%	2,026
SWM#11	0.57	42%	1,508
SWM#12	0.13	74%	352
SWM#13	0.22	43%	360

STORMWATER MANAGEMENT DRAINAGE AREA CHART

			LEGEN	D:	
				7	EXISTING CONTOUR
			+ 402	68 68	PROPOSED CONTOCK PROPOSED SPOT ELEVATION EXISTING SPOT ELEVATION
			X		EXISTING CURB AND GUTTER
			,o` • ●	、 ₩	EXISTING UTILITY POLE
					EXISTING LIGHT FOLL EXISTING MAILBOX EXISTING SIGN
			©)	EXISTING SANITARY MANHOLE
			0	CO FH	EXISTING CLEANOUT EXISTING FIRE HYDRANT
			W		EXISTING WATER LINE
				X	EXISTING FENCE EXISTING TREELINE
					EXISTING SIDEWALK PROPOSED SIDEWALK
					PROPOSED SIDEWALK RAMP PROPERTY LINE
					RIGHT-OF-WAY LINE EXISTING STREAM
			M1B2 M1D3	— · —	EXISTING STREAM BUFFER SOILS BOUNDARY
			· · · · · · · · · · · · · · · · · · ·	· · · · · · · · · · · · · · · · · · ·	EX. 100 YEAR PUBLIC FLOODPLAIN, DRAINAGE AND UTILTY EASEMENT
					AND UTILITY EASEMENT
					PUBLIC SEWER, WATER AND UTILITY EASEMENT
					DRAINAGE DIVIDE
					PROPOSED STORM DRAIN
					PROPOSED CLEANOUT PROPOSED DIVERSION MANHOLE
				E	PROPOSED MANHOLE
					EXISTING STREET TREE
			(+		SDP-15-043
19					
IZ AMERICAN PHAR					
AND COLL MICH CALL AND COLL AN					
SPUR PRIVATE ROAD					
			<u>0</u>	WNER	OWNER/DEVELOPER
			TRIPLE E 198 LAURE LAURE	BELL FARMS, LLC. EL RACE TRACK F EL, MD 20725	20006 DELAWARE, INC. RD 198 LAUREL RACE TRACK RD LĄURĘL, MD 20725
			(301) 470-5494	(301) 470–5494
PARCEL C-4	NO.		REVISION		DATE
ALBIACRES		SI		ENT PLAN	UNIL
		STODM			
		DR/		REA MA	
		FAUL	278 APARTMENT	L - L UNITS	⊢
	TAX MAP: 6TH ELEC	50 BLOCK: 10 TION DISTRICT			C-3, Ċ-4, & K-Ź HOWARD COUNTY, MARYLAND
		VOGE	L ENGI	NEE	RING
			+		
		TIM	MONŠ	GRO	UP
512 572 572		3300 NORTH RI P: 410.461	DGE ROAD, SUI TE 110 7666 F: 410.461.896	, ELLICOTT CIT 1 www.timme	Y, MD 21043
PARCEIK-2 PRVATE PAP	JULIU	OF MADE			FESSIONAL CERTIFICATE
	IN SO	RTHARPORT	DESIGN BY:F	KHV/UZE WERE DZE/KG ENGIN	PREPARED OR APPROVED BY ME, AND I AM A DULY LICENSED PROFESSIONAL LICENSED PROFESSIONAL LICENSED PROFESSIONAL
			CHECKED BY:		ATION DATE: 09-27-2024
	A CALL	CISTERED CENT	DATE:AS	SHOWN	
	Robert	H. VOAU	W.O. NO.:07-1	1/40111	13 SHEET 22
	ROBERTIPPE	77000000 PT No.16193		-	OF

			-	. MI	CKO-BIO	REIENI	ON DATA	CHARI			•	1		
MBR			Ponding	Top of	Bottom of		Bottom of	Bottom of	Depth of		Depth of	Bottom	Depth of	Bottom of
Facility	MBR	Ponding	Elevation	Mulch	Mulch	Depth of	Plant Mix	Pea Gravel	Stone	Invert of	Additional	of Stone	REV	REV Stone
Number	Facility Type	Depth (ft)	ELEV. A	ELEV. B	ELEV. C	Plant Mix	ELEV. D	ELEV. E	(ft.)	Underdrain	Stone (ft.)	ELEV. F	Stone (ft.)	ELEV. G
SWM#2A	Micro-Bioretention Box (M-6)	1.00	160.50	159.50	159.25	2.00	157.25	156.92	1.00	156.59	0.00	155.92	0.83	155.09
SWM#2	Micro-Bioretention (M-6)	1.00	160.63	159.63	159.38	2.00	157.38	157.05	1.00	156.72	1.00	155.05	0.83	154.22
SWM#3	Micro-Bioretention (M-6)	1.00	161.00	160.00	159.75	2.00	157.75	157.42	1.00	157.09	1.00	155.42	0.83	154.59
SWM#4	Micro-Bioretention (M-6)	1.00	162.50	161.50	161.25	2.00	159.25	158.92	1.00	158.59	0.58	157.34	0.83	156.51
SWM#5	Micro-Bioretention Box (M-6)	1.00	162.50	161.50	161.25	2.00	159.25	158.92	1.00	158.59	0.00	157.92	0.83	157.09
SWM#6	Micro-Bioretention Box (M-6)	1.00	162.50	161.50	161.25	1.50	159.75	159.42	1.00	159.09	0.00	158.42	0.83	157.59
SWM#7	Micro-Bioretention Box (M-6)	1.00	161.70	160.70	160.45	2.00	158.45	158.12	1.00	157.79	0.00	157.12	0.83	156.29
SWM#8	Micro-Bioretention Box (M-6)	1.00	162.50	161.50	161.25	2.00	159.25	158.92	1.00	158.59	0.00	157.92	0.83	157.09
SWM#9	Micro-Bioretention Box (M-6)	1.00	161.60	160.60	160.35	2.00	158.35	158.02	1.00	157.69	0.00	157.02	0.83	156.19
SWM#10	Micro-Bioretention (M-6)	1.00	156.35	155.35	155.10	2.00	153.10	152.77	1.00	152.44	0.50	151.27	0.83	150.44
SWM#11	Micro-Bioretention (M-6)	1.00	157.30	156.30	156.05	2.00	154.05	153.72	1.00	153.39	1.00	151.72	0.83	150.89

Table B.4.1 Materials Spe	ecifications for Micro-Bioret	ention, Rain Gardens &	Landscape Infiltration-
Material	Specification	Size	Notes
Plantings	see Appendix A, Table A.4	n/a	plantings are site-specific
Planting soil [2' to 4' deep]	loamy sand (60 - 65%) & compost (35 - 40%) or sandy loam (30%), coarse sand (30%) & compost (40%)	n/a	USDA soil types loamy sand or sandy loam; clay content < 5%
Organic content	Min. 10% by dry weight (ASTM D 2974)		
Mulch	shredded hardwood		aged 6 months, minimum; no pine or wood chips
Pea gravel diaphragm	pea gravel: ASTM-D-448	NO. 8 OR NO. 9 (1/8" TO 3/8")	
Curtain drain	ornamental stone: washed cobbles	stone: 2" to 5"	
Geotextile		n/a	PE Type 1 nonwoven
Gravel (underdrains and infiltration berms)	AASHTO M-43	NO. 57 OR NO. 6 AGGREGATE (3/8" to 3/4")	
Underdrain piping	F 758, Type PS 28 or AASHTO M-278	4" to 6" rigid schedule 40 PVC or SDR35	Slotted or perforated pipe; 3/8" perf. @ 6" on center, 4 holes per row; minimum of 3" of gravel over pipes; not necessary underneath pipes. Perforated pipe shall be wrapped with ¹ / ₄ -inch galvanized hardware cloth
Poured in place concrete (if required)	MSHA Mix No. 3; $f_c = 3500$ psi @ 28 days, normal weight, air-entrained; reinforcing to meet ASTM-615-60	n/a	on-site testing of poured-in-place concrete required: 28 day strength and slump test; all concrete design (cast-in-place or pre-cast) not using previously approved State or local standards requires design drawings sealed and approved by a professional structural engineer licensed in the State of Maryland - design to include meeting ACI Code 350.R/89; vertical loading [H-10 or H-20]; allowable horizontal loading (based on soil pressures); and analysis of potential cracking
Sand	AASHTO-M-6 or ASTM-C-33	0.02" to 0.04"	Sand substitutions such as Diabase and Graystone (AASHTO) #10 are not acceptable. No calcium carbonated or dolomitic sand substitutions are acceptable. No "rock dust" can be used for sand.

SIREE NAME LINEAR FEEL NU. REQUIRED NO. PROVIDED	PL	ANT LIST - SCHEDUL	E B (PARKING	LOT)	047		
	KEY QUAN.	EDITSIA TRIACANTHOS INERN	MIS 'IMPERIAL' 2.5"-	-3" CAL B	& B		
PRIVATE STREET TREE PLANT LIST (ST) KEY QUAN. BOTANICAL NAME SIZE	GT ™	PERIAL HUNET LUCUST					
(+) AR 34 ACER RUBRUM 'RED SUNSET' 2 1/2"-3" CAL. B & B							
			P	LANT LIS	Γ - SCHEDULE C (RESI	DENTIAL)]
PERIMETER LANDSCAPE EDGE PARKING	LOT INTERNAL L	ANDSCAPING	KEY QUAN	. BC		SIZE	CAT
CAILGORY PERIMETER IOIAL PERIMETER/FRONTAGE DESIGNATION 1 NUMBER OF T	TREES REQUIRED (1/ TREES PROVIDED	/10) 2	• •) 26	RIVER BIRC	IGRA 'BNMTF' DURA—HEAT H	10'-12' HGT	В&В
LANDSCAPE TYPE A SHADE TRE LINEAR FEET OF ROADWAY 908 OTHER TRE FRONTAGE/PERIMETER 908 OTHER TRE	EES EES (2:1 SUBSTITUTIO	2 DN) –	(+) 15	ACER RUBE	UM 'ARMSTRONG' COLUMNAR RED MAPLE	2.5"-3" CAL	В&В
CREDIT FOR EXISTING VEGETATION (YES, NO, LINEAR FEET NO DESCRIBE BELOW IF NEEDED)		DULE C	AA 10 () GP 15	QUERCUS F	PALUSTRIS 'GREEN PILLAR' PIN OAK	2.5"-3" CAL	В&В
CREDIT FOR WALL, FENCE OR BERM (YES, NO, LINEAR FEET No DESCRIBE BELOW JE NEFDED) NO (1:3 DU A)	EES REQUIRED PT)	87 APT		ACER BUEF	GERIANUM	2 5"-3" CAI	B & B
NUMBER OF PLANTS REQUIRED NUMBER OF TRE SHADE TREES 1:60 16 16	EES PROVIDED EES	58	AB	CERCIS CAI	NDADENSIS	1.5°-2° CAL	B & B
EVERGREEN TREES - - OTHER TRE SHRUBS - - - NUMBER OF PLANTS PROVIDED - -	EES (2:1 SUBSTITUTION) 70	Z ₂₀₀ MS 3	EASTERN R		6'-8' HGT.	B & B
SHADE IREES 16 16 EVERGREEN TREES OTHER TREES (2:1 SUBSTITUTION)			{·}}CF 9	CORNUS FL	GNOLIA ORIDA VERING DOGWOOD	8'-10' HGT.	в & в
SHRUBS (10:1 SUBSTITUTION) – – DESCRIBE PLANT SUBSTITUTION CREDITS PELOW JE NEEDED)			PS 12	PINUS STRO EASTERN W	DBUS HITE PINE	6'-8' HT.	В&В
PLANT LIST - SCHEDULE A (PERIMETER)			* TO 35	THUJA OCC WHITE CED	IDENTALIS 'GREEN EMERALD' AR	6'-8' HT.	В&В
SYMB. KEY QUANTITY BOTANICAL NAME SIZE C			GB 4	GINKO BILC 'FASTIGIATA'	BOA 'FASTIGIATA' MAIDENHAIR TREE (MALE ONLY)	2.5"-3" CAL	В&В
ZS 16 ZELKOVA SERRATA VILLAGE GREEN Z.5 – 3 CAL B VILLAGE GREEN JAPANESE ZELKOVA	3 & B	、 、	101AL 58 70	OTHER TRE			2962~62962~627
			F-5 FILTERRA FTSC 6x6- SEDIMENT CHAMBER 511 CF	IRRIGATION RPZ I (DETAIL, SHEET ZURN 975XL BACKFLOW PR	NCLOSURE 35) MIT VENTOR		WW #141
2" HEREADON AND AND AND AND AND AND AND AND AND AN	EX.	150 WATT SOUD VAPOR TEAR DROP SYLE NITED ON 231 ELACK SEDIMENT CHAMB	 2 6x4 NER	EX.20' PUBLIC WAT AND UTILITY EASIE (PLAT 25206-2521	\$7/ \ \$		
	FIB	ERGLASS POLE (TYP) 339 CF			POC		
CHINE LANE ENDS SIGN W C 2' REGION C 2' REGION C 2' REGION	(PER SD	AUR <u>EL PARK</u> BL	VD	2" _N	RRW THEEP RIGHT	2" IRRIG.	<u>5%. 4" davours (4</u>) _y
		IR			12+12		1R _{EX. 2W}
THE WAS ANS A				SD X. FILTERRA ISC B/4 (F-11)	158	<i>\$0</i>	
		C C C C C C C C C C C C C C C C C C C	SS STORY	D. CHAMBER		ss	
EK.30' PUBLIC SEVER, WATER - 156	* + **						
150 EX SIREET THEE SED. CHAINBER (PER SDP-15-043) TO FIL OF A STREET THEE PER SDP-15-043) TO FIL OF A STREET THEE PER SDP-15-043)	20' RUBLIC WATER AND UTNITY EASEMENT (PLAT 25955-68)	2TO(C)		$\left \left \frac{1G}{D_{h}} \right \right $	B(C) <i>EX.15[°] PUB</i> <i>T. PUBLIC, SEMER</i>		
		<u>A(C)</u>		AND (PLA) EX. 20' PUBLA AND UTILITY	UNLIT DOMENT (* 1997 2022) 25206–25217) NATER SMENT 25201)		
			-ENTRY	1101 23200-	FF=162.00		
	5TO(C)	į	COURT	``.	RESIDENTIAL	FF=162.1	
					COURTYARD		s الكار
						N BUILDING	
2BN(C)	LOADING FF=154.00						
	2TO(C)						
	MECH. ROOM		/				
	3TO(C)			~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~			
		MECH,					<u>ן 2GP(C</u>
					UP TO LVL.1	87.00	8
2ZS(A				F		FIAMS"	
	<u>1AA(C)</u> /			C			6 6
	2+90.90	de en al a a a a a a a a a a a a a a a a a a			PARKING 40,58 BASEMENT LEVEL	GARAGE 4 SF EL = 152 00/154 00	
				гн	(BL = 86 S	PACES)	10 I I 100
		•	E EEEE	E E E			\$ _ \$
SOL STREAM				150		<u>2PS(C</u>	;)
	· · · · · · · · · · · · · · / · · · · ·			~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~	A CONTRACT OF CONTRACT		ATTONN TO THE
	· · · · · · · · · · · · · · · · · · ·	· · · · · · · · · · · · · · · · · · ·					^```
		47	70/41/**	~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~			alt i
	FL00	YEAR	<u>ZS(A)</u> /		2PS(C)	2ZS(A)	R=3919.83
	FLOO	YEAR DPLAIN	<u>ZS(A)</u> /		2PS(C)	2ZS(A)	- <u>R-3919.83</u>
	FLOO	YEAR DPLAIN			2PS(C)	2ZS(A)	
	FLOO	YEAR DPLAIN	<u>zs(A)</u> /		2PS(C)	2ZS(A)	2258 1985
	FLOO	YEAR DPLAIN	<u>zs(A)</u> /	Sector Sector	2PS(C)	2ZS(A)	2258 ⁸
	FLOO	YEAR DPLAIN	<u>zs(A)</u> /	Sector Sector	2PS(C)	2ZS(A)	es 58 (
	FLOO	YEAR DPLAIN			2PS(C)	2ZS(A)	
	FLOO	YEAR DPLAIN			2PS(C)	2ZS(A)	-152 -156
	FLOO	YEAR DPLAIN SSCUDARS S200			2PS(C)	2ZS(A)	еляна <u>еляна</u> <u>еляна</u> <u>елена</u> <u>елена</u> <u>елена</u> <u>елена</u> <u>елена</u> <u>елена</u> <u>елена</u> <u>елена</u> <u>елена</u> <u>елена</u> <u>елена</u> <u>елена</u> <u>елена</u> <u>елена</u> <u>елена</u> <u>елена</u> <u>елена</u> <u>елена</u> <u>елена</u> <u>елена</u> <u>елена</u> <u>елена</u> <u>елена</u> <u>елена</u> <u>елена</u> <u>елена</u> <u>елена</u> <u>елена</u> <u>елена</u> <u>елена</u> <u>елена</u> <u>елена</u> <u>елена</u> <u>елена</u> <u>елена</u> <u>елена</u> <u>елена</u> <u>елена</u> <u>елена</u> <u>елена</u> <u>елена</u> <u>елена</u> <u>елена</u> <u>елена</u> <u>елена</u> <u>елена</u> <u>елена</u> <u>елена</u> <u>елена</u> <u>елена</u> <u>елена</u> <u>елена</u> <u>елена</u> <u>елена</u> <u>елена</u> <u>елена</u> <u>елена</u> <u>елена</u> <u>елена</u> <u>елена</u> <u>елена</u> <u>елена</u> <u>елена</u> <u>елена</u> <u>елена</u> <u>елена</u> <u>елена</u> <u>елена</u> <u>елена</u> <u>елена</u> <u>елена</u> <u>елена</u> <u>елена</u> <u>елена</u> <u>елена</u> <u>елена</u> <u>елена</u> <u>елена</u> <u>елена</u> <u>елена</u> <u>елена</u> <u>елена</u> <u>елена</u> <u>елена</u> <u>елена</u> <u>елена</u> <u>елена</u> <u>елена</u> <u>елена</u> <u>елена</u> <u>елена</u> <u>елена</u> <u>елена</u> <u>елена</u> <u>елена</u> <u>елена</u> <u>елена</u> <u>елена</u> <u>елена</u> <u>елена</u> <u>елена</u> <u>елена</u> <u>елена</u> <u>елена</u> <u>елена</u> <u>елена</u> <u>елена</u> <u>елена</u> <u>елена</u> <u>елена</u> <u>елена</u> <u>елена</u> <u>елена</u> <u>елена</u> <u>елена</u> <u>елена</u> <u>елена</u> <u>елена</u> <u>елена</u> <u>елена</u> <u>елена</u> <u>елена</u> <u>елена</u> <u>елена</u> <u>елена</u> <u>елена</u> <u>елена</u> <u>елена</u> <u>елена</u> <u>елена</u> <u>елена</u> <u>елена</u> <u>елена</u> <u>елена</u> <u>елена</u> <u>елена</u> <u>елена</u> <u>елена</u> <u>елена</u> <u>елена</u> <u>елена</u> <u>елена</u> <u>елена</u> <u>елена</u> <u>елена</u> <u>елена</u> <u>елена</u> <u>елена</u> <u>елена</u> <u>елена</u> <u>елена</u> <u>елена</u> <u>елена</u> <u>елена</u> <u>елена</u> <u>елена</u> <u>елена</u> <u>елена</u> <u>елена</u> <u>елена</u> <u>елена</u> <u>елена</u> <u>елена</u> <u>елена</u> <u>елена</u> <u>елена</u> <u>елена</u> <u>елена</u> <u>елена</u> <u>елена</u> <u>елена</u> <u>елена</u> <u>елена</u> <u>елена</u> <u>елена</u> <u>елена</u> <u>елена</u> <u>елена</u> <u>елена</u> <u>елена</u> <u>елена</u> <u>елена</u> <u>елена</u> <u>елена</u> <u>елена</u> <u>елена</u> <u>елена</u> <u>елена</u> <u>елена</u> <u>елена</u> <u>елена</u> <u>елена</u> <u>елена</u> <u>елена</u> <u>елена</u> <u>елена</u> <u>елена</u>
	FLOO	YEAR DPLAIN SST 1534W 92.00	ZS(A)		2PS(C)	2ZS(A)	- R-391945
	FLOO				2PS(C)	2ZS(A)	-152 -156
	FLOO	YEAR DPLAIN	SCALE 1"=40'		2PS(C)	2ZS(A)	-152 -155
		YEAR DPLAIN SECURITY 2010	SCALE 1"=40'	Log Fr	2PS(C)	PERIN	- R-391945
	FLOO	YEAR DPLAIN SECTORE 2000	SCALE 1"=40'		DER'S CERTIFIC	2ZS(A) DERIN	- R-391943
APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING A	AND ZONING		SCALE 1"=40'		LDER'S CERTIFIC	ATE	
APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING A	AND ZONING (29/2024	YEAR DPLAIN SSC USAN S200 SSC	SCALE 1"=40'	40'	LDER'S CERTIFIC	ATE BE DONE ACCOP THE HOWARD COUL A CEDTIFICATION	RDING
APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING A DocuSigned by: CHILE Figs DEPARTMENT ENGINEERING DIVISION 8/	AND ZONING /29/2024 DATE /30/2024	YEAR DPLAIN SECURATE SECURATION SECURATE SECURATION SECURATE SECURATION SECUR	SCALE 1"=40'	40'	LDER'S CERTIFIC	ATE BE DONE ACCOP THE HOWARD COL V, A CERTIFICATIO EAR GUARANTEE COL VING AND ZOMING	RDING INTY N OF DF
APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING A DocuSigned by: CHIEFER DEPARTMENT OF PLANNING A CHIEFER DEPARTMENT ENGINEERING DIVISION ACCHIEFER OF LAND DEVELOPMENT 8/ CHIEFER OF LAND DEVELOPMENT	FLOO FLOO MINE 2024 DATE /29/2024 DATE	YEAR DPLAIN SETUDATE 22.00 SETUDATE	SCALE 1"=40'	40'	LDER'S CERTIFIC HOWN ON THIS PLAN WILL ARD COUNTY CODE AND Y THAT UPON COMPLETION AN EXECUTED ONE (1) YE HE DEPARTMENT OF PLANK	ATE BE DONE ACCOP THE HOWARD COU A CERTIFICATIO EAR GUARANTEE COU NING AND ZONING	RDING INTY N OF F
APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING A Docusigned by: CHIE For DEPARTMENT OF PLANNING A CHIE For DEPARTMENT OF LAND DEVELOPMENT Docusigned by: CHIE For DEPARTMENT OF LAND DEVELOPMENT Docusigned by: CHIE For DIMESION. OF LAND DEVELOPMENT CHIE FOR DIMESION	AND ZONING /29/2024 DATE /30/2024	YEAR DPLAIN SECIENCE 2000 SECIENCE 2000 SECIENCE 2000 I/WE CERTINE TO THE PLAN, LANDSCAPE MAI LANDSCAPE INS PLANT MATERIAL Docusigne Julian SIGNATURE	SCALE 1"=40'	40'	LDER'S CERTIFIC HOWN ON THIS PLAN WILL ARD COUNTY CODE AND Y THAT UPON COMPLETION AN EXECUTED ONE (1) YE HE DEPARTMENT OF PLANN HE DEPARTMENT OF PLANN	ATE BE DONE ACCOP THE HOWARD COL N, A CERTIFICATIO AR GUARANTEE C NING AND ZONING /27/2024 DATE	RDING INTY N OF F

LEGEND	QTY	BOTANICAL NAME/COMMON NAME	SIZE	REMARKS
	274	BAPTISIA AUSTRALIS FALSE INDIGO	4"POT	12"15" O.C. FOR SIDES AND BOTTOM OF MBR, MIX ALL VARIETIES IN A NATURALIZED RANDOM
	274	ACORUS GRAMINEUS 'OGON' GOLDEN VARIEGATED SWEET FLAG	1 QT.	PATTERN THROUGHOUT, PLANT IN GROUPS OF NO LESS THAN 9 PLANTS PER CLUMP
BIORETE	ENTION	I PLANTING SCHEDULE (SHRU	B/ORNIN	IENTAL GRASSES)
LEGEND/KEY	QTY	BOTANICAL NAME/COMMON NAME	SIZE	SPACING
IG	46	ILEX GLABRA 'SHAMROCK' INKBERRY HOLLEY	1 GALL	ON 18" O.C.
IV 💞	37	ITEA VIRGINICA 'HENRY'S GARNETT' VIRGINIA SWEETSPIRE	1 GALL	ON 18" O.C.
НQ	37	HYDRANGEA QUERCIFOLIA OAKLEAF HYDRANGEA	1 GALL	ON 30" O.C.
LR	37	LEUCOTHEO RACEMOSA FETTERBUSH	1 GALL	ON 30" O.C.
PV	45	PANICUM VIRGATUM SWITCHGRASS	1 GALL	ON 36" O.C.

PERENNIALS/GROUNDCOVER PLANTING SCHEDULE

MICRO-BIORETENTION PLANTING REQUIREMENTS			PLANTINGS PROVIDED			PERRENIALS/GROUND COVER						
MBR #	LF	AREA	STEMS REQUIRE D (0.0229)	STEMS PROVIDE D	IG	IV	HQ	LR	PV	BA	AG	TOTAL
2A	66	256	6	10	2	2	2	2	2	8	8	16
2	137	956	22	22	5	4	4	4	5	33	33	66
3	121	988	23	22	5	4	4	4	5	34	34	68
4	158	1665	39	39	9	7	7	7	9	58	58	116
5	68	266	7	10	2	2	2	2	2	9	9	18
6	66	255	6	10	2	2	2	2	2	8	8	16
7	118	422	10	11	3	2	2	2	2	14	14	28
8	91	486	12	12	3	2	2	2	3	17	17	34
9	82	420	10	12	3	2	2	2	3	14	14	28
10	154	1366	32	32	7	6	6	6	7	47	47	94
11	206	923	22	22	5	4	4	4	5	32	32	64
TOTALS :	1267	8003	189	202	46	37	37	37	45	274	274	548
BIORETEN ON A MIN	BIORETENTION AREAS ARE TO BE PLANTED BASED ON A MINIMUM DENSITY OF 1000 STEMS PER											
PLANTED /	PLANTED ACRE (0.0229 STEMS PER SQUARE FOOT).											

APPROVED: HOWARD COUNTY DEPARTMENT OF	PLANNING AND ZONING
(HAD Edmoindson	8/29/2024
CHIEFORS DEVELOPMENT ENGINEERING DIVISION	DATE
	8/30/2024
CHIEFER DINSION OF LAND DEVELOPMENT	DATE
Inda Eisenberg	8/30/2024
DIRECTOR: 863942E	DATE

16 SHEET 22

W.O. NO.: ____07-11/40111

DBERE19PP57/206491

LEGEND

LE				OWN TRIPLE BELL F	ER ARMS, LLC. OWNER/D 20006 DEL	EVELOPER AWARE, INC.
FIXTURE TYP				198 LAUREL RAC LAUREL, MD (301) 470	CE TRACK RD 198 LAUREL F 20725 LAUREL, 5494 (301) 4	ACE TRACK RD MD 20725 70 5404
		NO.		REVISION		DATE
MAPLE LAWN STYLE RNAMENTAL LIGHT ON			SI	TE DEVELOPMENT	PLAN	
12' BLACK POLE			PAVEME AND L	NT MARKING	6, SIGNAGE ON PLAN	
		TAX MAP: 6TH ELEC	50 BLOCK: 10 TION DISTRICT	DOCK POINTE - F 278 APARTMENT UNITS ZONED: TOD	PHASE 2 S PARCELS B-4 C-3, HOWARD COUNT	PARCEL 384 , B-5, C-2, C-4, & K-2 Y, MARYLAND
			VOGE TIM 3300 NORTH RI P: 410.461	LENGIN HONS G DGE ROAD, SUITE 110, ELLI .7666 F: 410.461.8961 WY	EERING ROUP COTT CITY, MD 21043 ww.timmons.com	
OUNTY TRAFFIC)r to any sign	DIVISION SHALL IS BEING	PR PR	OF MAPLE HI HARPIS EN SEI 20 20202	DESIGN BY: <u>RHV/D</u> DRAWN BY: <u>DZE/</u> CHECKED BY: <u>R</u> DATE: MARCH 20	ZE I HEREBY CERTIFY THAT THI WERE PREPARED OR APPRO THAT I AM A DULY LICENSE ENGINEER UNDER THE LAWS OF MARYLAND, LICENSE NO, HV 24	FICATE ESE DOCUMENTS VED BY ME, AND D PROFESSIONAL OF THE STATE 16193 024
	SCALE 1"=30' 15' 0' 30'	ROBER TODE	H. Vogu H. Nogu H. Nogu	SCALE: <u>AS SHOU</u> W.O. NO.: <u>07-11/401</u>	<u>WN</u> 111 17 SHEET OF	22

TOD RESIDENTIAL DEVELOPMENT	FRACKI	NG		
GROSS AREA (PADDOCK POINTE PROJECT)	63.34	AC.		
VINUS FLOOPLAIN & STEEP SLOPES	14.84	AC.		
DEVELOPABLE ACREAGE (NET)	48.50	AC.		
50% OF DEVELOPABLE AREA (NOT TO EXCEED)	24.25	AC.		
PHASE/PROJECT	AR	REA	% OF NET	
PHASE 1 RESIDENTIAL AREA (SDP-15-043)	5.59	AC.	11.52%	LECEN
PHASE 2 RESIDENTIAL AREA (SDP-15-063)	3.23	AC.	6.67%	
TOTAL	8.82	AC.	18.19%	
* NO MORE THAN 50% OF THE DEVELOPABLE AREA AC RIGHT OF WAY AND OPEN SPACE SHALL BE DEVOTED T AND PARKING.	REAGE, O RESIL	EXCLUI DENTIAL	DING ROAD BUILDINGS	

GENERAL NOTES

CONTRACTOR RESPONSIBILITIES: THE STRUCTURE IS DESIGNED TO BE SELF-SUPPORTING AND STABLE AFTER THE STRUCTURE IS FULLY COMPLETED. IT IS SOLELY THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE ERECTION PROCEDURES AND SEQUENCE, AND TO ENSURE THE STABILITY OF THE STRUCTURE AND ITS COMPONENT PARTS, AND THE ADEQUACY OF TEMPORARY OR INCOMPLETE CONNECTIONS, DURING ERECTING. THIS INCLUDES THE ADDITION OF ANY SHORING, SHEETING, TEMPORARY GUYS, BRACING OR TIEDOWNS THAT MIGHT BE NECESSARY. SUCH MATERIAL IS NOT SHOWN ON THE DRAWINGS. IF APPLIED, THEY SHALL BE REMOVED AS CONDITIONS PERMIT AND SHALL REMAIN THE CONTRACTOR'S PROPERTY. THE ENGINEER HAS NO EXPERTISE IN. AND TAKES NO RESPONSIBILITY FOR. CONSTRUCTION MEANS AND METHODS OR JOBSITE SAFETY DURING CONSTRUCTION. PROCESSING AND/OR APPROVED SUBMITTALS MADE BY THE CONTRACTOR WHICH MAY CONTAIN INFORMATION RELATED TO CONSTRUCTION METHODS OF SAFETY ISSUES, OR PARTICIPATION IN MEETINGS WHERE SUCH ISSUES MIGHT BE DISCUSSED. SHALL NOT BE CONSTRUED AS VOLUNTARY ASSUMPTION BY THE ENGINEER OF ANY RESPONSIBILITY OF EACH CONTRACTOR TO FOLLOW ALL APPLICABLE SAFETY CODES AND REGULATIONS DURING ALL PHASES OF CONSTRUCTION. THE ENGINEER IS NOT ENGAGED IN, AND DOES NOT SUPERVISE CONSTRUCTION.

CONTROLLED FILL AND BACKFILL: SAMPLES OF ALL MATERIALS THAT THE CONTRACTOR PROPOSES TO USE FOR COMPACTED FILL SHALL BE APPROVED BY THE GEOTECHNICAL ENGINEER. COMPACTED FILL SHALL CONSIST OF LOCAL MATERIAL FREE OF DELETERIOUS MATTER AND CLASSIFIED SP, SW, SM, SC, GP, GW, GM, OR GC PER ASTM D-2487. THE CONTROL OF THE MOISTURE FOR PLACING THE FILL WILL BE BASED ON THE RESULTS OF COMPACTION TESTS PER AASHTO T-180. ALL COMPACTED FILL SHALL HAVE A DENSITY OF AT LEAST 95% OF THE STANDARD PROCTOR MAXIMUM DRY DENSITY AS DETERMINED BY ASTM D-698. PRIOR TO PLACEMENT OF ANY FILLS, THE SITE SHALL BE STRIPPED OF ALL TOPSOIL, VEGETATION, ROCKS, AND ORGANIC MATERIALS AND THE EXPOSED SUBGRADE SHALL BE COMPACTED IN PLACE TO A CONFIRMED DENSITY AT LEAST 95% OF THE STANDARD PROCTOR MAXIMUM DRY DENSITY AS DETERMINED BY ASTM D-698. FILL MATERIAL SHALL BE PLACED IN LOOSE LIFTS NOT EXCEEDING 8" IN THICKNESS AND SHALL BE MIXED, SPREAD AND PLACED IN SUCH A WAY AS TO PRODUCE A UNIFORM THICKNESS OF MATERIAL AFTER PLACING. EACH LAYER OF FILL SHALL BE COMPACTED WITH A MINIMUM OF 6 COMPLETE PASSES ON ALL PORTIONS OF THE SURFACE OF EACH LIFT OF FILL BY RUBBER-TIRED ROLLERS, SHEEPS-FOOT ROLLERS OR OTHER MECHANICAL EQUIPMENT APPROVED BY THE GEOTECHNICAL ENGINEER. COMPACTED FILL PLACED WITHIN 4 FEET OF STRUCTURES AND PIPES SHOULD BE PLACED IN HORIZONTAL LIFTS NOT TO EXCEED 4 INCHES THICKNESS AND COMPACTED WITH HAND TAMPERS OR LIGHT COMPACTION EQUIPMENT TO THE SAME STANDARD. HEAVY COMPACTION EQUIPMENT SHOULD NOT BE ALLOWED WITHIN 4 FEET OF STRUCTURES UNLESS A MINIMUM 2 FEET DEPTH OF FILL COVERS THE STRUCTURES WHENEVER IN PLACE DENSITIES ARE FOUND BELOW ACCEPTABLE LIMITS, ADDITIONAL ROLLING TO PRODUCE THE SPECIFIED DENSITIES SHALL BE REQUIRED. THE CONTRACTOR SHALL TAKE ALL MEASURES REQUIRED TO PROVIDE FOR FREE DRAINAGE OF THE SITE AND TO PREVENT PONDING OF WATER. SEDIMENT CONTROL MEASURES SHALL BE MAINTAINED AT ALL TIMES. PLACING OF FILL CONTAINING ORGANIC MATTER; PLACING OF FILL WITH MOISTURE CONTENT TOO HIGH OR TOO LOW FOR PROPER COMPACTION; PLACING OF FILL WHEN FREE WATER IS STANDING ON THE EXISTING FILL SURFACE; PLACING OF FILL IN A FROZEN CONDITION OR ON TOP OF FROZEN MATTER WILL NOT BE PERMITTED. THE SOILS ENGINEER SHALL SUPERVISE THE PLACING OF THE COMPACTED FILL AND ALL THE MATERIAL AND EQUIPMENT USED FOR THIS PURPOSE AND SHALL MAKE SUCH SOILS TESTS AS MAY BE REQUIRED FOR THE COMPLETION OF THE WORK PERFORMING AT LEAST 6 IN PLACE DENSITY TESTS DURING EACH EIGHT HOUR SHIFT.

FOUNDATIONS-SPREAD FOOTINGS: BOTTOM OF ALL FOOTINGS SHALL BE A MINIMUM OF 2'-0" BELOW ORIGINAL GRADE OR PLACED IN APPROVED COMPACTED FILL. BOTTOM OF ALL EXTERIOR FOOTINGS SHALL BE A MINIMUM OF 2'-6" BELOW FINISHED GRADE. AS PER GEOTECHNICAL ENGINEERING STUDY PERFORMED BY HILLIS-CARNES ENGINEERING ASSOCIATES DATED FEBRUARY 17, 2021, FOUNDATION DESIGN WAS BASED ON AN ASSUMED BEARING CAPACITY OF 2000 PSF, AND THIS BEARING VALUE MUST BE FIELD VERIFIED BY A REGISTERED GEOTECHNICAL ENGINEER. IF SOIL OF THIS BEARING CAPACITY IS NOT ENCOUNTERED AT THE ELEVATIONS INDICATED ON THE CONTRACT DRAWINGS, FOOTINGS SHALL BE LOWERED OR INCREASED IN SIZE AS DIRECTED BY THE STRUCTURAL ENGINEER.

CONCRETE: ALL CONCRETE WORK SHALL CONFORM TO ALL THE PROVISIONS OF THE "SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDINGS" (ACI 301) AND TO THE "BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE" (ACI 318). ALL STRUCTURAL CONCRETE SHALL HAVE A MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 4500 PSI UNLESS NOTED OTHERWISE. ADDITIONALLY, THE CONCRETE SHALL CONFORM TO ALL THE PROVISIONS OF "RECOMMENDED PRACTICE FOR HOT WEATHER CONCRETING" (ACI 305) AND "RECOMMENDED PRACTICE FOR COLD WEATHER CONCRETING" (ACI 306). ALL FORMWORK SHALL BE IN ACCORDANCE WITH THE AMERICAN CONCRETE INSTITUTE "FORMWORK FOR CONCRETE" SPECIAL PUBLICATION NO. 4 AND ACI'S "STANDARD RECOMMENDED PRACTICE FOR CONCRETE FORMWORK" (ACI-347). ALL CONCRETE EXPOSED TO THE WEATHER SHALL HAVE AN AIR ENTRAINMENT OF 6% +/- 1%. THE MAXIMUM WATER CEMENT RATIO W/C SHALL NOT EXCEED 0.56 FOR ALL CONCRETE EXCEPT CONCRETE EXPOSED TO WEATHER WHICH SHALL NOT EXCEED 0.45. NO ADMIXTURES CONTAINING CALCIUM CHLORIDE SHALL BE PERMITTED. THE MAXIMUM SLUMP OF ALL CONCRETE SHALL BE 4". ALL CONCRETE SHALL BE CURED WITH LIQUID SEALING COMPOUND CONFORMING TO ASTM C-309, TYPE I AND FEDERAL SPECIFICATION TT-C-00800 OR OTHER APPROVED METHOD WHICH IS COMPATIBLE WITH FLOORING ADHESIVES AND OTHER SURFACE TREATMENTS. ALL CONCRETE LEFT EXPOSED AT THE COMPLETION OF THE PROJECT SHALL BE TREATED WITH A CLEAR, PENETRATING ACRYLIC BASE POLYMER CAPABLE OF PREVENTING INFILTRATION OF WATER BORNE CHLORIDES SUCH AS "CONSPEC CURE & SEAL WB" by DAYTON SUPERIOR CORPORATION OR APPROVED EQUAL. LOADS GREATER THAN THE DESIGN LIVE LOADS SHALL NOT BE PLACED ON THE STRUCTURE. A CONCRETE STRUCTURE MAY NOT SUPPORT ITS DESIGN LIVE LOAD FOR 28 DAYS. CONTRACTOR SHALL SUPPORT ADJACENT STRUCTURES, UTILITIES, AND EXCAVATIONS AS REQUIRED FOR COMPLETION OF WORK. ONE SET OF COMPRESSIVE TEST CYLINDERS FOR EACH 100 CUBIC YARDS POURED, BUT NOT LESS THAN ONE SET FOR EACH DAY'S POUR AND EACH CLASS OF CONCRETE, ALONG WITH SLUMP TESTS SHALL BE PERFORMED BY A TESTING LABORATORY APPROVED BY THE STRUCTURAL ENGINEER. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS FOR ALL TEMPORARY FORMWORK INCLUDING STRIPPING PROCEDURES FOR CONCRETE FLAT SLABS, SHEETING, SHORING, UNDERPINNING, ETC. SEALED BY A REGISTERED PROFESSIONAL ENGINEER AS PART OF THE CONTRACTOR'S WORK.

REINFORCING STEEL: REINFORCING STEEL SHALL BE DEFORMED BARS IN ACCORDANCE WITH ASTM A-615, GRADE 60. BENDS ARE TO BE FABRICATED AS PER DETAILS. PLACE MAIN REINFORCING STEEL SO AS TO PROVIDE 3" MINIMUM COVER FOR FOUNDATIONS POURED ON EARTH, 2" MINIMUM COVER FOR BEAMS AND COLUMNS, 3/4" MINIMUM COVER FOR SLABS AND 1 1/2" FOR ALL REBAR IN EXPOSED CONCRETE (EXCEPT AS OTHERWISE DETAILED).

INSPECTION: ALL WORK SPECIFIED HEREIN SHALL BE INSPECTED IN ACCORDANCE WITH THE BUILDING CODE AND ALL LOCAL ORDINANCES. THE OWNER OR CONTRACTOR SHALL HIRE AN EXPERIENCED QUALIFIED INSPECTOR TO PERFORM ALL REQUIRED INSPECTION WORK INSPECTION SHALL CONSIST OF VISUAL OBSERVATIONS OF MATERIALS, EQUIPMENT OR CONSTRUCTION WORK FOR THE PURPOSE OF ASCERTAINING THAT THE WORK IS IN SUBSTANTIAL CONFORMANCE WITH THE CONTRACT DOCUMENTS AND WITH THE DESIGN INTENT THE ENGINEER WILL NOT PERFORM THE REQUIRED INSPECTION AS PART OF THIS PRESENT CONTRACT WITH THE ARCHITECT/OWNER. UNDER THIS PRESENT CONTRACT, THE ENGINEER MAY VISIT THE SITE TO ASCERTAIN GENERAL CONFORMANCE TO THE CONTRACT DOCUMENTS. HOWEVER, SUCH VISITS SHALL NOT BE RELIED UPON BY OTHERS AS ACCEPTANCE OF THE WORK, NOR SHOULD IT BE CONSTRUED TO RELIEVE THE CONTRACTOR IN ANY WAY FROM HIS OBLIGATIONS AND RESPONSIBILITIES UNDER THE CONSTRUCTION CONTRACT. HOWEVER, IF DESIRED, HILLIS-CARNES ENGINEERING ASSOCIATES MAY BE HIRED UNDER A SEPARATE CONTRACT TO PERFORM THIS INSPECTION WORK.

DESIGN WITHOUT CONSTRUCTION REVIEW: IT IS AGREED THAT IF HILLIS-CARNES ENGINEERING ASSOCIATES' PROFESSIONAL SERVICES DO NOT EXTEND TO OR INCLUDE THE REVIEW OR SITE OBSERVATION OF THE CONTRACTOR'S WORK OR PERFORMANCE, THEN THE OWNER WILL DEFEND, INDEMNIFY AND HOLD HARMLESS HILLIS-CARNES ENGINEERING ASSOCIATES, FROM ANY CLAIM OR SUIT WHATSOEVER, INCLUDING BUT NOT LIMITED TO ALL PAYMENTS, EXPENSES OR COSTS INVOLVED, ARISING FROM OR ALLEGED TO HAVE ARISEN FROM THE CONTRACTOR'S PERFORMANCE OR THE FAILURE OF THE CONTRACTOR'S WORK TO CONFORM TO THE DESIGN INTENT AND THE CONTRACT DOCUMENTS. HILLIS-CARNES ENGINEERING ASSOCIATES, AGREES TO BE RESPONSIBLE FOR ITS OWN OR ITS EMPLOYEES' NEGLIGENT ACTS, ERRORS OR OMISSIONS.

OWNERSHIP OF DOCUMENTS: THE CONTRACTOR ACKNOWLEDGES THESE PLANS AND SPECIFICATIONS PREPARED BY HILLIS-CARNES ENGINEERING ASSOCIATES, AS INSTRUMENTS OF PROFESSIONAL SERVICE. NEVERTHELESS. THE PLANS AND SPECIFICATIONS PREPARED UNDER THIS AGREEMENT SHALL REMAIN THE PROPERTY OF HILLIS-CARNES ENGINEERING ASSOCIATES UPON COMPLETION OF THE WORK. THE CONTRACTOR AGREES TO HOLD HARMLESS AND INDEMNIFY HILLIS-CARNES ENGINEERING ASSOCIATES, AGAINST ALL DAMAGES, CLAIMS, AND LOSSES, INCLUDING DEFENSE COSTS, ARISING OUT OF ANY REUSE OF THE PLANS AND SPECIFICATIONS WITHOUT THE WRITTEN AUTHORIZATION OF HILLIS-CARNES ENGINEERING ASSOCIATES

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANN	ING AND ZONING
Docusigned by: (HAD Edmondson	8/29/2024
CHIEF, 70 DEVELORMENT ENGINEERING DIVISION	DATE
	8/30/2024
CHIEF, 10141540009AOF LAND DEVELOPMENT	DATE
Inda Eisenberg	8/30/2024
DIRECTOR635863942E	DATE

GENERAL NOTES

DESIGN DATA: f'c = 4500 PSI (WALL FOUNDATIONS) f'c = 4500 PSI (RETAINING WALL) fy = 60000 PSI DESIGN EARTH PRESSURES LATERAL EARTH PRESSURE METHOD SOIL FRICTION ANGLE = 30° FRICTION COEFFICIENT = 0.30 PERCENT OF FRICTION USED FOR SLIDING = 100% PERCENT OF PASSIVE USED FOR SLIDING = 0% MINIMUM FACTORS OF SAFETY: OVERTURNING = 2.0 SLIDING = 1.5 SNOW LOAD: **GROUND SNOW LOAD** SNOW LOAD IMPORTANCE FACTOR l = 1.0 SNOW EXPOSURE FACTOR Ce = 1.0 THERMAL FACTOR Ct = 1.2FLAT ROOF SNOW LOAD WIND LOAD: 115 MPH BASIC WIND SPEED BUILDING CATEGORY WIND EXPOSURE

EARTHQUAKE LOAD:	
RISK CATEGORY	II
IMPORTANCE FACTOR (Ie)	1.00
SITE CLASS	D
Ss	0.121g
S1	0.051g
SDS	0.129g
SD1	0.081g
SEISMIC DESIGN CATEGORY	В
SEISMIC FORCE RESISTING SYSTEM:	
ORDINARY REINFORCED CONCRETE SH	EAR WALLS
RESPONSE MODIFICATION FACTOR (R)	4.0
Cs (= SDS / (R * le))	0.03225
EQUIVALENT LATERAL FORCE DESIGN METH	HOD
SEISMIC WEIGHT (W):	334.4 KIPS

BASE SHEARS (V = Cs * W):

			"PED.	6" DEEP PIPE SLEEVE DRILL & GROUT PER O FENCE INSTALLER PROVIDE ADDITIONAL CONT. E.F. TO FOLLO
	 DETAIL NOTES: ALL CONCRETE FOR RE FOOTINGS SHALL HAVE COMPRESSIVE STRENG ALL CONCRETE FOR RE HAVE A MINIMUM 28 DAY STRENGTH OF 4,500 PSI AS PER GEOTECHNICAL PERFORMED BY HILLIS-4 ASSOCIATES DATED FEI FOUNDATION DESIGN W ASSUMED BEARING CAF ALLOWABLE SOIL BEAR BE CONFIRMED BY GEO PLACE FOOTING AGAINS GROUND WALL SHALL NOT BE BA CONCRETE HAS ATTAIN DESIGN STRENGTH WALL SHALL NOT BE BA GRADE HAS BEEN COMF ENGINEER'S GRADING P 	TAINING WALL A MINIMUM 28 DAY TH OF 4,500 PSI TAINING WALLS SHALL COMPRESSIVE SING PRESSIVE SING PRESSING ERING BRUARY 17, 2021, (AS BASED ON AN PACITY OF 2000 PSF ING PRESSURES SHALL TECHNICAL ENGINEER ST FLAT UNDISTURBED CKFILLED UNTIL ED 75% OF 28-DAY CKFILLED UNTIL LOW PLETED AS PER CIVIL PLAN	2'-0" DEEP VARIES 4'-0" MAXIMUM HEIGHT FROM 2'-6" VEHICLE 1'-6' FOOTING TOP GRADE TO BOTTOM GRADE BARRIER FE	SLOPE AT TOP OF WA
APPROVED: HOWARD COUNTY DEPARTMENT O Docusigned by: (HAD ELMONISON CHIEBOURD FOR MARKING DIVISIO CHIEBOURD FOR OF LAND DEVELOPMENT UMA Eisenburg DHEEDERBRON OF LAND DEVELOPMENT	F PLANNING AND ZONING 8/29/2024 N DATE 8/30/2024 DATE 8/30/2024 DATE			α Υ Υ Υ

1 CONCRETE RETAINING WALL TYPE 'A'

TRIPLE 198 LAL 198	OWNER E BELL FARMS, LLC. JREL RACE TRACK RD JREL, MD 20725 301) 470–5494
→ ↓ ↓ ↓ ↓ ↓ ↓ ↓ ↓ ↓ ↓ ↓ ↓ ↓ ↓ ↓ ↓ ↓ ↓ ↓	
• NO. F	REVISION DATE
CONCRETE RE PADDOCK 278 TAX MAP: 50 BLOCK: 10 6TH ELECTION DISTRICT VOGEL EN VOGEL EN 10 10 10 10 10 10 10 10 10 10	TAINING WALL DETAIL POINTE - PHASE 2 PARTMENT UNITS PARCEL 384 PARCEL 8 B-4, B-5, C-2, C-3, C-4, & K-2 HOWARD COUNTY, MARYLAND NGINEERING → NGINEERING JUITE 110, ELLICOTT CITY, MD 21043 10.461.8961 Www.timmons.com Y: Y: CRS Y: CRS BY: JRE MARCH 2024

