

GENERAL NOTES

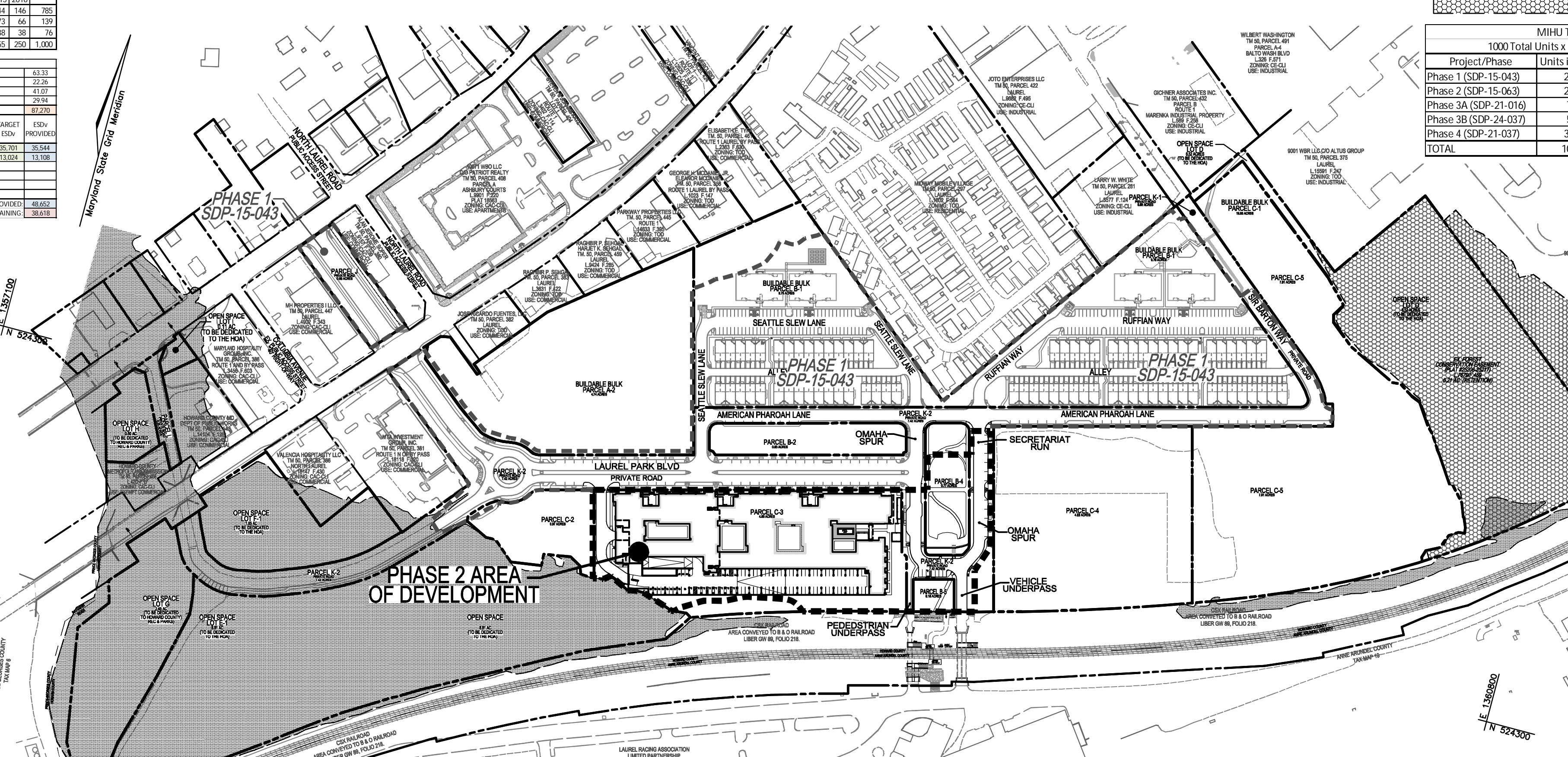
1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF HOWARD COUNTY STANDARDS AND SPECIFICATIONS. ALL WORKING MATERIALS SHALL COMPLY WITH O.S.H.A. STANDARDS. THE CONTRACTOR SHALL NOTIFY MISS UTILITY AT 1-800-257-7777 AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION WORK...

Table with 2 columns: PHASE and ALLOCATION. Rows include PHASE 1, PHASE 2, PHASE 3, PHASE 4, and TOTAL.

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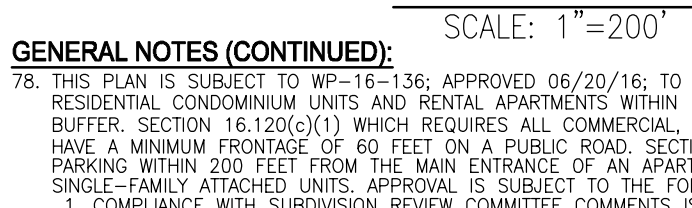
SITE DEVELOPMENT PLAN PADDOCK POINT - PHASE 2 278 APARTMENT UNITS PARCELS B-4, B-5, C-2, C-3, C-4 & K-2 PARCEL 384



GENERAL NOTES (CONTINUED...)

70. PADDOCK POINT IS SUBJECT TO DESIGN MANUAL, APPROVED BY HOWARD COUNTY DPZ ON DATE 07/14/11 WHICH ALLOW THE CONSTRUCTION OF ROADWAYS WHICH DO NOT MEET A PUBLIC ROAD STANDARDS. APPROVAL IS SUBJECT TO THE FOLLOWING CONDITIONS: A. THE JUSTIFICATION LETTER BY THE ENGINEER SHALL BE DUE TO SOME PEDESTRIAN ACCESS MOVEMENTS...

LOCATION MAP



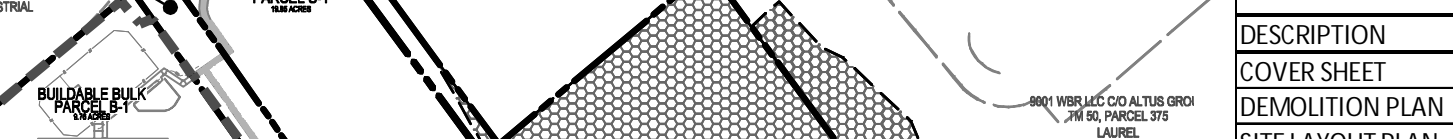
GENERAL NOTES (CONTINUED...)

78. THIS PLAN IS SUBJECT TO WP-15-136; APPROVED 08/20/16; TO WAIVE SECTION 16.120(9)(4)(D) WHICH PROHIBITS RESIDENTIAL CONDOMINIUM UNITS AND RENTAL APARTMENTS WITHIN 15 FEET OF THE PROTECTED ENVIRONMENTAL FEATURE BUFFER. SECTION 16.120(9)(1) WHICH REQUIRES ALL COMMERCIAL, INDUSTRIAL OR APARTMENT PARCELS OR LOTS SHALL BE DEMONSTRATED AT THE SITE DEVELOPMENT PLAN STAGE TO BE JUSTIFIED...

BENCHMARKS: HOWARD COUNTY BENCHMARK - 508A N 527561.68 E 1359772.60 ELEV.: 249.44. LEGEND: PROPERTY LINE, RIGHT-OF-WAY LINE, ADJACENT PROPERTY LINE, EXISTING CURB AND GUTTER, PHASE 1 DEVELOPMENT AREA, 100 YEAR FLOODPLAIN, FOREST CONSERVATION EASEMENT.

MJHU TRACKING CHART: 1000 Total Units x 15% = 150 MJHU Units Req'd. Table with columns: Project/Phase, Units in Phase, MJHU Required, MJHU Provided.

VICINITY MAP



SHEET INDEX: Table with columns: DESCRIPTION, SHEET NUMBER. Lists various plan sheets like COVER SHEET, DEMOLITION PLAN, SITE LAYOUT PLAN, etc.

PARKING TABULATION

Table with columns: PROPOSED BUILDING #, REQUIRED PER CODE, PROVIDED PER CODE. Lists parking requirements for different building types and total spaces provided.

GENERAL NOTES (CONTINUED...)

84. REFERENCE WP-20-106; APPROVED 06/29/20; TO WAIVE SECTION 16.114(G) REQUIRING THE SUBMISSION OF A PRELIMINARY PLAN, APPROVAL IS SUBJECT TO THE FOLLOWING CONDITIONS: A. PRIOR TO THE SIGNATURE OF THE SITE DEVELOPMENT PLAN FOR PHASE 2, A SHARED PARKING AGREEMENT...

SEE SHEET 7 FOR BUILDING ELEVATIONS AND GARAGE PLANS

OWNER: TRIPLE BELL FARMS, LLC. OWNER/DEVELOPER: 2000E DELAWARE, INC. 198 LAUREL RACE TRACK RD. LAUREL, MD 20783. (301) 470-5494.

SITE DEVELOPMENT PLAN COVER SHEET

PADDOCK POINTE - PHASE 2 278 APARTMENT UNITS ZONED: TOD PARCELS B-4, B-5, C-2, C-3, C-4, & K-2 HOWARD COUNTY, MARYLAND.

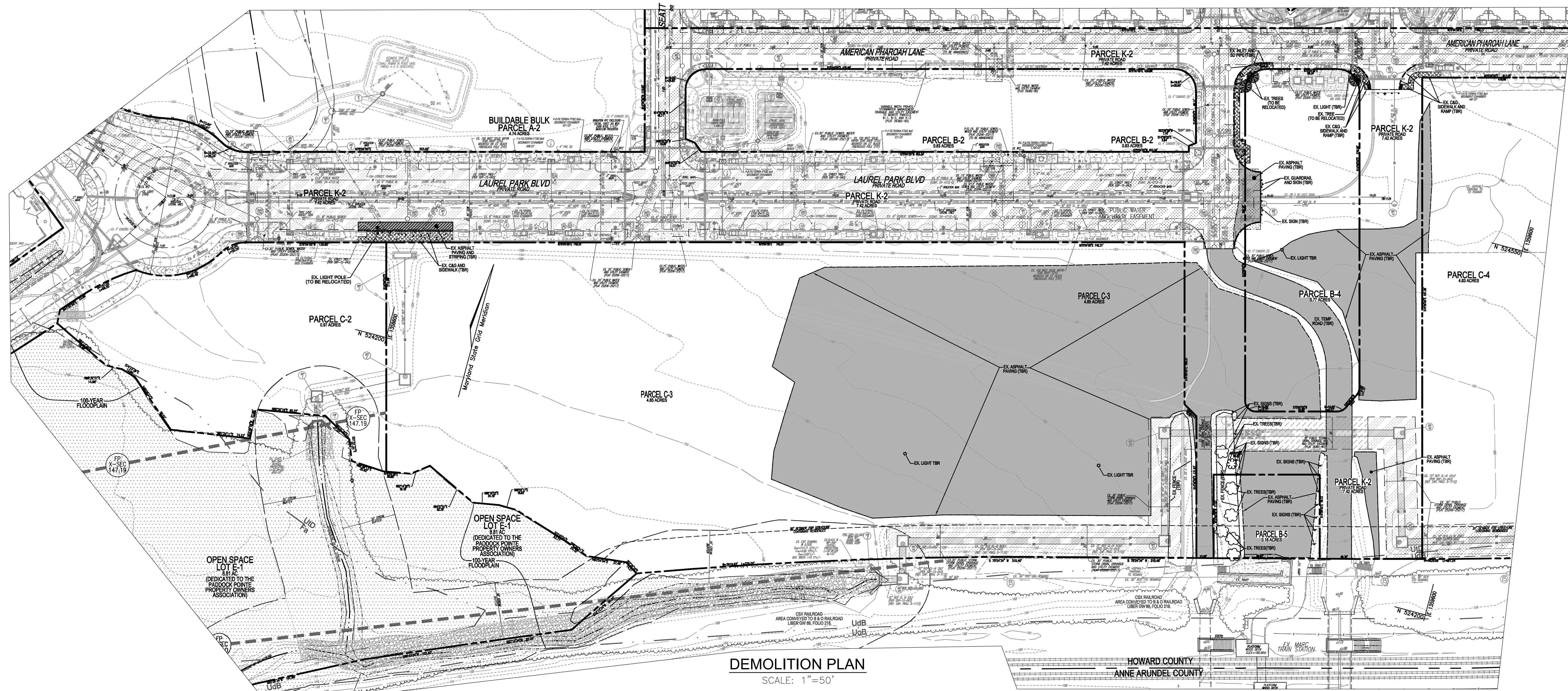
VOGEL ENGINEERING TIMMONS GROUP

Professional seal and contact information for Robert H. Vogel, Professional Engineer, License No. 16193, State of Maryland.

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING. Includes signatures and dates for the Chief of Development Engineering Division and the Chief of the Division of Land Development.

ADDRESS CHART and PERMIT INFORMATION CHART. Includes parcel details, zoning, and permit information.

Professional seal and contact information for Robert H. Vogel, Professional Engineer, License No. 16193, State of Maryland. Includes design and drawing information.



DEMOLITION PLAN
SCALE: 1"=50'

LEGEND:

- PROPERTY LINE
- RIGHT-OF-WAY LINE
- EX. CURB AND GUTTER
- EX. SIDEWALK
- EX. SANITARY LINE
- EX. SANITARY MANHOLE
- EX. CLEANOUT
- EX. FIRE HYDRANT
- EX. WATER LINE
- EX. STORM DRAIN LINE
- EX. TREELINE
- EX. FENCE
- EX. GASLINE
- EX. OVERHEAD
- EX. UTILITY POLE
- EX. LIGHT POLE
- EX. MAILBOX
- EX. SIGN
- EX. STREAM BUFFER
- EX. STREET TREE
- SDP-15-043
- EXISTING LANDSCAPING
- PER SDP-15-043
- EX. RIP RAP
- EX. 100 YEAR PUBLIC FLOODPLAIN, DRAINAGE AND UTILITY EASEMENT
- EX. 20' PUBLIC WATER, SEWER, AND UTILITY EASEMENT
- EX. SIDEWALK TO BE REMOVED
- EX. ASPHALT TO BE REMOVED

OPEN SPACE LOT E-1
881 AC (DEDICATED TO THE PADDOCK POINTE PROPERTY OWNERS ASSOCIATION)
100-YEAR FLOODPLAIN

EXISTING UTILITIES NOTE:
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OWNER
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(301) 470-5494

OWNER/DEVELOPER
20006 DELAWARE, INC.
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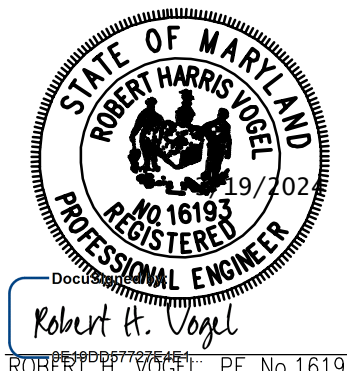
NO.	REVISION	DATE

SITE DEVELOPMENT PLAN
DEMOLITION PLAN
PADDOCK POINTE - PHASE 2
278 APARTMENT UNITS
ZONED: TOD

TAX MAP: 50 BLOCK: 10
6TH ELECTION DISTRICT

PARCEL 384
PARCELS B-4, B-5, C-2,
C-3, C-4, & K-2
HOWARD COUNTY, MARYLAND

VOGEL ENGINEERING
TIMMONS GROUP
3300 NORTH RIDGE ROAD, SUITE 110, ELLICOTT CITY, MD 21043
P: 410.461.7666 F: 410.461.8961 www.timmons.com



PROFESSIONAL CERTIFICATE
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 16193, EXPIRATION DATE: 09-27-2024

DESIGN BY: RHY/DZE
DRAWN BY: DZE/XG
CHECKED BY: RHY
DATE: MARCH 2024
SCALE: AS SHOWN
W.O. NO.: 07-11/40111

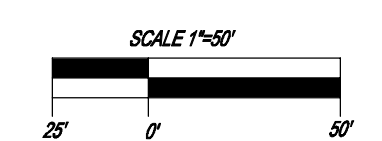
2 OF 22

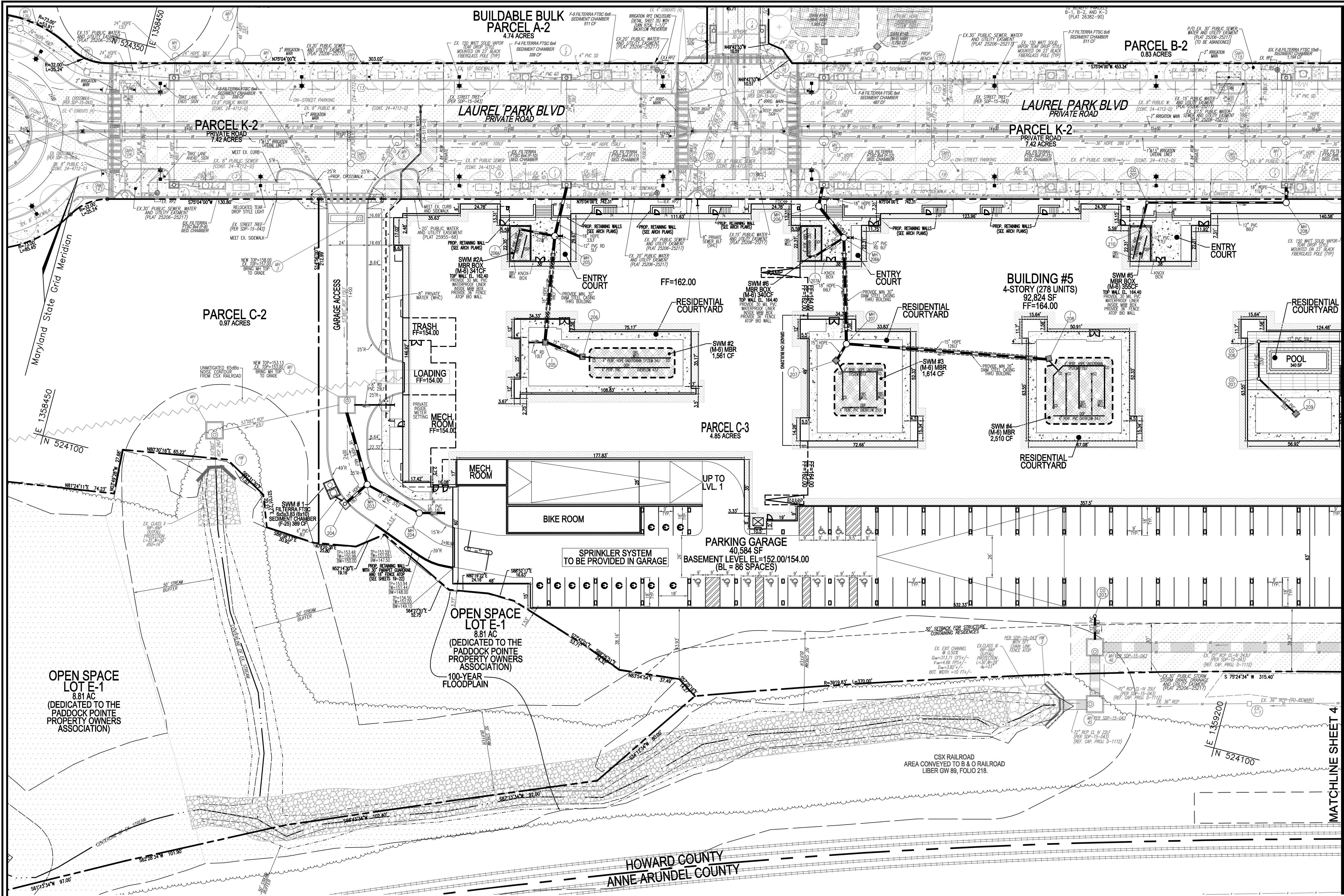
APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

DocuSigned by:
Andi Eisenberg
8/29/2024
DATE

DocuSigned by:
Andi Eisenberg
8/30/2024
DATE

DocuSigned by:
Andi Eisenberg
8/30/2024
DATE





[Symbol]	EXISTING CURB AND GUTTER
[Symbol]	EXISTING LIGHT POLE
[Symbol]	EXISTING SIGN
[Symbol]	EXISTING SANITARY MANHOLE
[Symbol]	EXISTING SANITARY LINE
[Symbol]	EXISTING CLEANOUT
[Symbol]	EXISTING FIRE HYDRANT
[Symbol]	EXISTING WATER LINE
[Symbol]	EXISTING STORM DRAIN
[Symbol]	EXISTING TREELINE
[Symbol]	PROPERTY LINE
[Symbol]	RIGHT-OF-WAY LINE
[Symbol]	EXISTING STREAM
[Symbol]	EXISTING STREAM BUFFER
[Symbol]	EX. LIMIT OF WETLAND
[Symbol]	EX. WETLAND BUFFER
[Symbol]	PROPOSED STORM DRAIN
[Symbol]	PROPOSED STORM DRAIN INLET
[Symbol]	PROPOSED SIDEWALK
[Symbol]	PROPOSED CURB
[Symbol]	PROPOSED STREET LIGHT
[Symbol]	EX. 100 YEAR PUBLIC FLOODPLAIN, DRAINAGE AND UTILITY EASEMENT
[Symbol]	EX. PUBLIC SEWER, WATER AND UTILITY EASEMENT
[Symbol]	PROPOSED STREET SIGN
[Symbol]	EX. STREET TREES SDP-15-043
[Symbol]	PUBLIC SEWER, WATER AND UTILITY EASEMENT
[Symbol]	UNMITIGATED 65dbb NOISE CONTOUR FROM CSX RAILROAD
[Symbol]	ELECTRIC VEHICLE (EV) CHARGING SPACE

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PLAN VIEW
SCALE: 1"=30'
GRAPHIC SCALE 1"=30'
10' 0' 30'

EXISTING UTILITIES NOTE:
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NOTE:
1. FOR SIGNAGE AND PAVEMENT MARKINGS, SEE SHEET 17.
2. FOR AMENITY AREAS, SEE SHEET 15.

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

DocuSigned by: **Andi Emanuelson** 8/29/2024
CHIEF OF DEVELOPMENT ENGINEERING DIVISION DATE

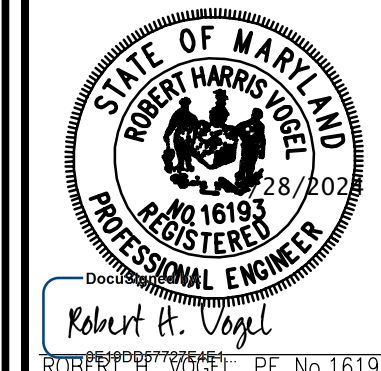
DocuSigned by: 8/30/2024
CHIEF OF DIVISION OF LAND DEVELOPMENT DATE

DocuSigned by: **Linda Eisenberg** 8/30/2024
DIRECTOR DATE

SITE DEVELOPMENT PLAN
SITE LAYOUT PLAN

PADDOCK POINTE - PHASE 2
278 APARTMENT UNITS
ZONED: TOD

VOGEL ENGINEERING
TIMMONS GROUP
3300 NORTH RIDGE ROAD, SUITE 110, ELLICOTT CITY, MD 21043
P: 410.461.7666 F: 410.461.8961 www.timmons.com



DESIGN BY:	RHV/DZE
DRAWN BY:	DZE/XG
CHECKED BY:	RHV
DATE:	MARCH 2024
SCALE:	AS SHOWN
W.O. NO.:	07-11/40111

PROFESSIONAL CERTIFICATE
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.
EXPIRATION DATE: 09-27-2024

3 OF 22

MATCHLINE SHEET 4

HOWARD COUNTY
ANNE ARUNDEL COUNTY

TAX MAP: 50 BLOCK: 10
5TH ELECTION DISTRICT

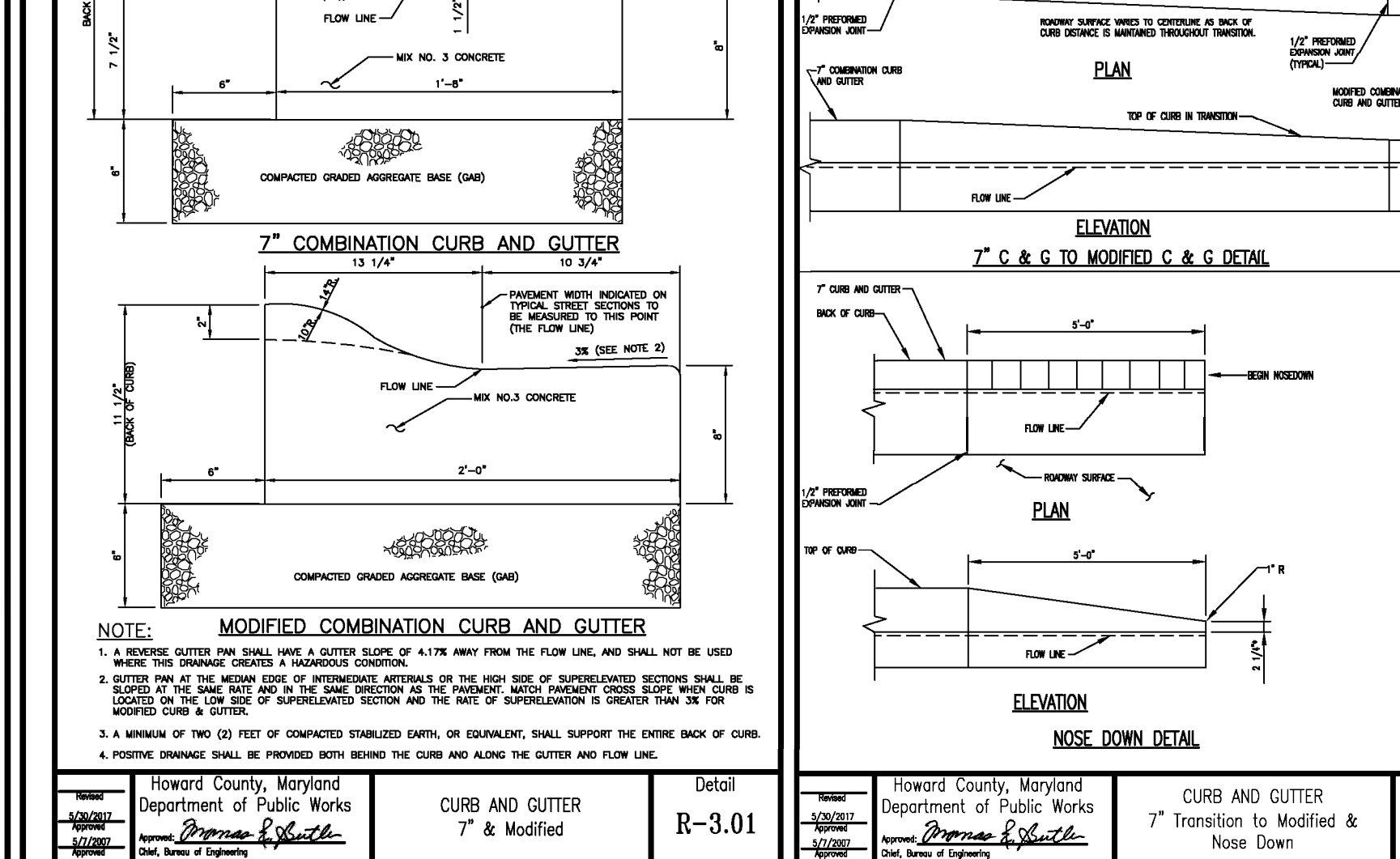
PARCEL 384
PARCELS B-4, B-5, C-2, C-3, C-4, & K-2
HOWARD COUNTY, MARYLAND

SECTION NUMBER	ROAD AND STREET CLASSIFICATION / TYPE	CALIFORNIA BEARING RATIO (CBR)	3 TO <3>	3 TO <3>	3 TO <3>	3 TO <3>	3 TO <3>	3 TO <3>	3 TO <3>
P-1	NEW STREET TYPE	PARKING BASES: RESIDENTIAL AND NON-RESIDENTIAL PARKING DRIVE AND NON-RESIDENTIAL MORE THAN 2 HEAVY TRUCKS PER DAY	PAVEMENT MATERIAL (INCHES)		MIN. SUPERPAVE ASPHALT MIX WITH GAB		SUPERPAVE ASPHALT MIX WITH CONSTANT GAB		
			SUPERPAVE ASPHALT MIX FINAL SURFACE 9.5 MM PG 64-225, LEVEL 1 (ESAL)		1.5	1.5	1.5	1.5	1.5
P-2	RETROFIT PROJECTS ONLY	PARKING DRIVE BASES: RESIDENTIAL AND NON-RESIDENTIAL WITH NO MORE THAN 10 HEAVY TRUCKS PER DAY LOCAL ROADS: RESIDENTIAL AND NON-RESIDENTIAL ACCESS STREET CUL-DE-SACS: RESIDENTIAL	PAVEMENT MATERIAL (INCHES)		MIN. SUPERPAVE ASPHALT MIX WITH GAB		SUPERPAVE ASPHALT MIX WITH CONSTANT GAB		
			SUPERPAVE ASPHALT MIX INTERMEDIATE SURFACE 9.5 MM PG 64-225, LEVEL 1 (ESAL)		1.0	1.0	1.0	1.0	1.0
P-3	PARKING DRIVE BASES: RESIDENTIAL AND NON-RESIDENTIAL WITH NO MORE THAN 10 HEAVY TRUCKS PER DAY EXCEPT SINGLE FAMILY DETACHED: RESIDENTIAL ACCESS PLACE, ACCESS STREET CUL-DE-SACS: RESIDENTIAL	PARKING DRIVE BASES: RESIDENTIAL AND NON-RESIDENTIAL WITH NO MORE THAN 10 HEAVY TRUCKS PER DAY EXCEPT SINGLE FAMILY DETACHED: RESIDENTIAL ACCESS PLACE, ACCESS STREET CUL-DE-SACS: RESIDENTIAL	PAVEMENT MATERIAL (INCHES)		MIN. SUPERPAVE ASPHALT MIX WITH GAB		SUPERPAVE ASPHALT MIX WITH CONSTANT GAB		
			SUPERPAVE ASPHALT MIX FINAL SURFACE 9.5 MM PG 64-225, LEVEL 1 (ESAL)		1.0	1.0	1.0	1.0	1.0
P-4	PARKING DRIVE BASES: RESIDENTIAL AND NON-RESIDENTIAL WITH NO MORE THAN 10 HEAVY TRUCKS PER DAY EXCEPT SINGLE FAMILY DETACHED: RESIDENTIAL ACCESS PLACE, ACCESS STREET CUL-DE-SACS: RESIDENTIAL	PARKING DRIVE BASES: RESIDENTIAL AND NON-RESIDENTIAL WITH NO MORE THAN 10 HEAVY TRUCKS PER DAY EXCEPT SINGLE FAMILY DETACHED: RESIDENTIAL ACCESS PLACE, ACCESS STREET CUL-DE-SACS: RESIDENTIAL	PAVEMENT MATERIAL (INCHES)		MIN. SUPERPAVE ASPHALT MIX WITH GAB		SUPERPAVE ASPHALT MIX WITH CONSTANT GAB		
			SUPERPAVE ASPHALT MIX FINAL SURFACE 9.5 MM PG 64-225, LEVEL 1 (ESAL)		1.0	1.0	1.0	1.0	1.0

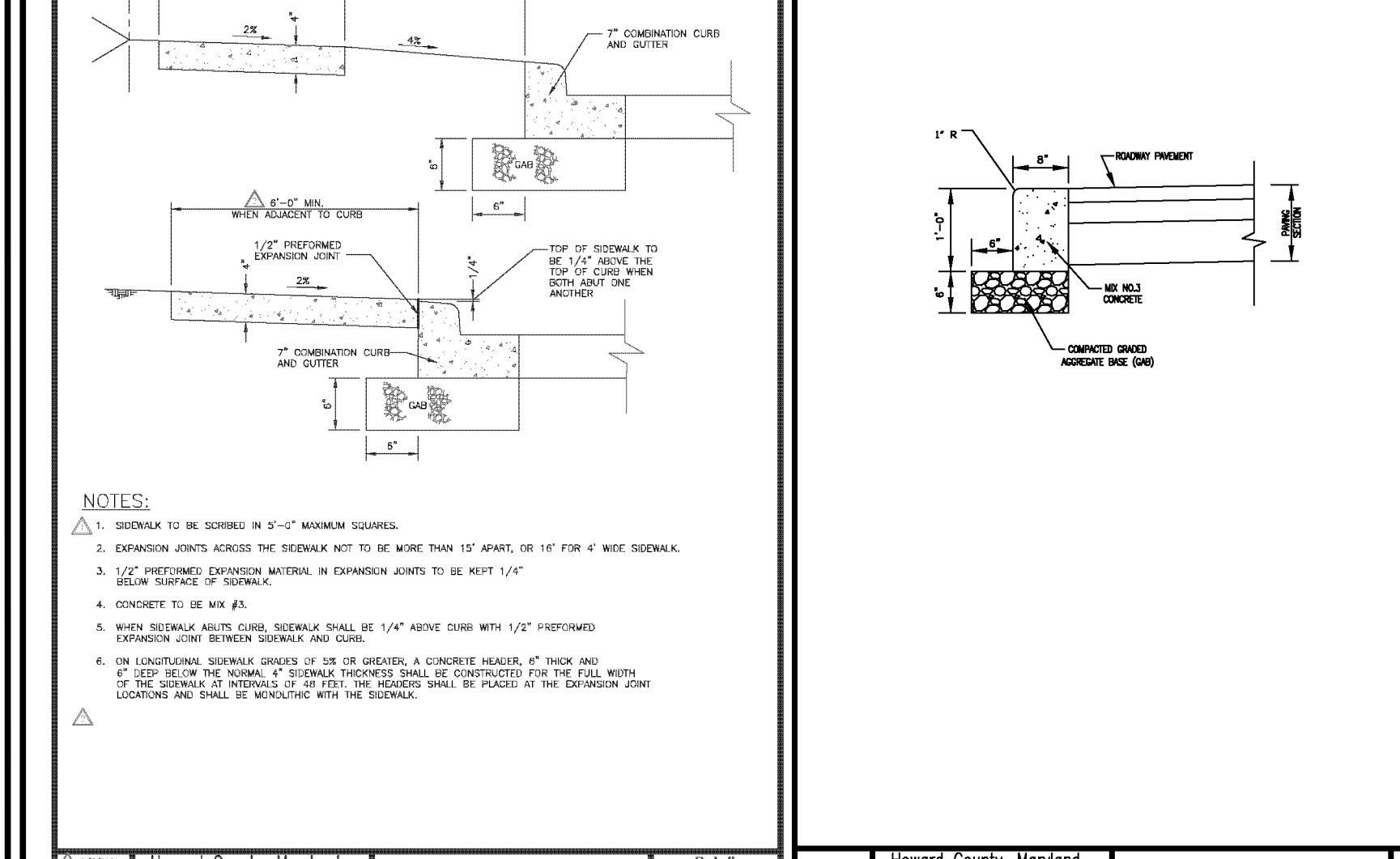
NOTES:
 1. HEAVY TRUCKS ARE DEFINED AS THOSE WITH SIX (6) WHEELS OR MORE INCLUDING GARBAGE TRUCKS.
 2. SUPERPAVE ASPHALT MIX LAYERS SHALL BE PLACED IN APPROPRIATE COMPACTED LIFT THICKNESS: 1.0 IN BASE (0.07" MIN. TO 4.07" MAX.), 12.5 MM SURFACE (1.57" MIN. TO 3.07" MAX.) AND 9.5 MM SURFACE (1.07" MIN. TO 2.07" MAX.)
 3. GRADED AGGREGATE BASE (GAB) TO BE PLACED AND COMPACTED IN 6" MAX. COMPACTED THICKNESS LAYERS.
 4. THE INTERMEDIATE SURFACE COURSE LAYER MUST BE PLACED WITHIN 2 WEEKS OF PLACEMENT OF BASE COURSE, AND IS REQUIRED PRIOR TO SUBSTANTIAL COMPLETION INSPECTION AND ROAD REDUCTION.
 5. IN LIEU OF PLACING THE INTERMEDIATE SURFACE COURSE LAYER FOR COMMERCIAL/INDUSTRIAL ENTRANCE APRONS WITHIN THE COUNTY LIMITS OF HIGHWAY RIGHTS-OF-WAY ARE NOT REQUIRED. THE THICKNESS OF THE INTERMEDIATE PAVEMENT LAYER CAN BE ADDED TO THE REQUIRED THICKNESS OF THE BASE ASPHALT LAYER.
 6. THE CONSTRUCTION DRAWINGS SHALL SHOW THE FINISH SECTION, ROAD CLASSIFICATION AND CBR VALUE FOR EACH ROADWAY.

Approved: <i>[Signature]</i> Chief, Division of Engineering	Approved: <i>[Signature]</i> Chief, Division of Engineering	Approved: <i>[Signature]</i> Chief, Division of Engineering
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PAVING SECTION NOTES:
 ALL PAVING SECTIONS ARE TO BE VERIFIED AND APPROVED BY THE GEOTECH PRIOR TO CONSTRUCTION.



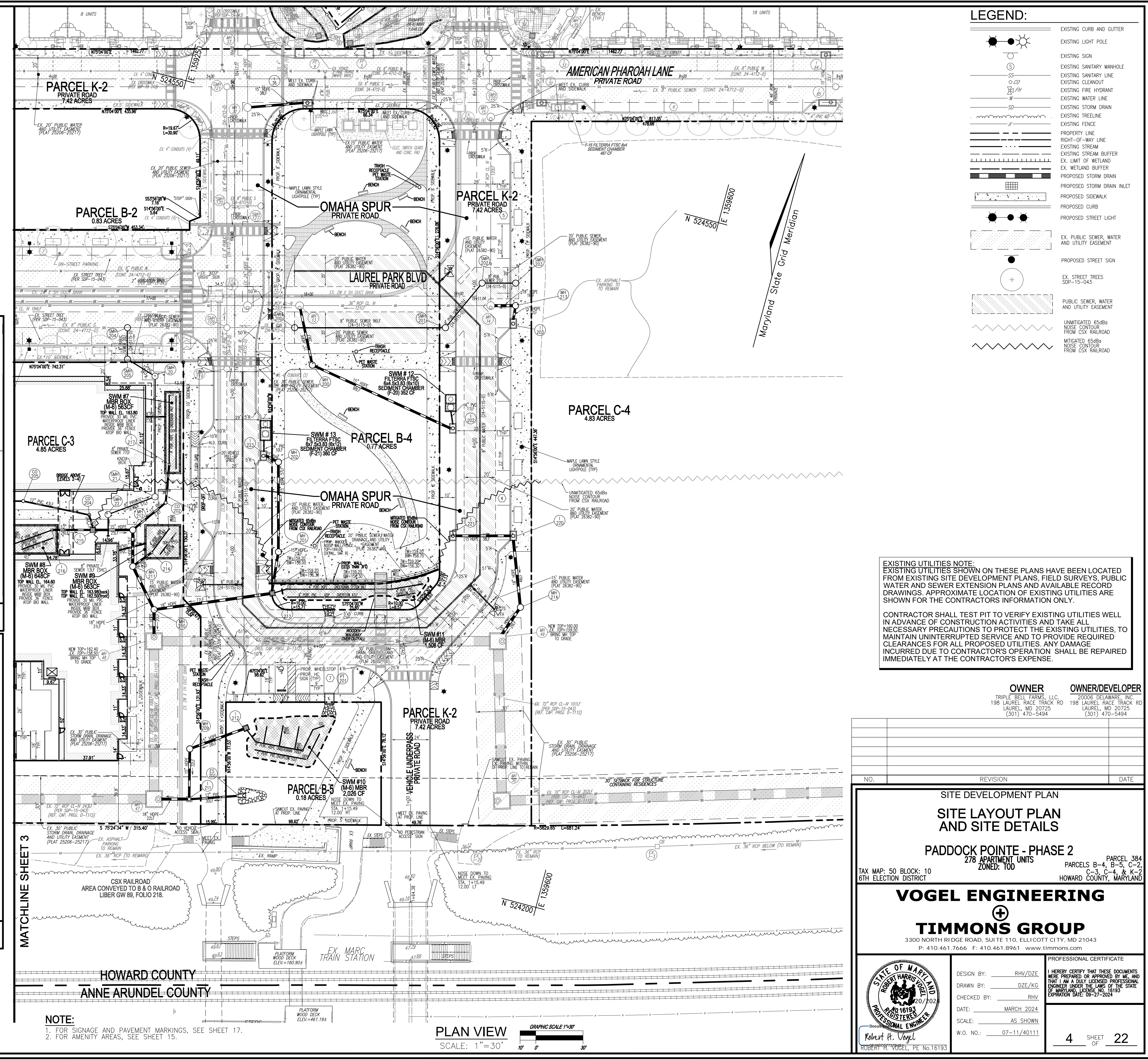
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Approved: <i>[Signature]</i> Chief, Division of Engineering	Approved: <i>[Signature]</i> Chief, Division of Engineering	Approved: <i>[Signature]</i> Chief, Division of Engineering
--	--	--

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

Designated by: *[Signature]* 8/29/2024
 Chief, Planning and Zoning Engineering Division
 Designated by: *[Signature]* 8/30/2024
 Chief, Division of Land Development
 Designated by: *[Signature]* 8/30/2024
 Director



LEGEND:

- EXISTING CURB AND GUTTER
- EXISTING LIGHT POLE
- EXISTING SIGN
- EXISTING SANITARY MANHOLE
- EXISTING SANITARY LINE
- EXISTING FIRE HYDRANT
- EXISTING WATER LINE
- EXISTING STORM DRAIN
- EXISTING FENCE LINE
- EXISTING FREELINE
- PROPERTY LINE
- RIGHT-OF-WAY LINE
- EXISTING STREAM
- EXISTING STREAM BUFFER
- EX. LIMIT OF WETLAND
- EX. WETLAND BUFFER
- PROPOSED STORM DRAIN
- PROPOSED STORM DRAIN INLET
- PROPOSED SIDEWALK
- PROPOSED CURB
- PROPOSED STREET LIGHT
- EX. PUBLIC SEWER, WATER AND UTILITY EASEMENT
- PROPOSED STREET SIGN
- EX. STREET TREES
- UNMITIGATED 65dBb NOISE CONTOUR FROM CSX RAILROAD
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 (301) 470-5494

OWNER/DEVELOPER
 20006 DELAWARE, INC.
 198 LAUREL RACE TRACK RD
 LAUREL, MD 20725
 (301) 470-5494

NO.	REVISION	DATE

SITE DEVELOPMENT PLAN
SITE LAYOUT PLAN
AND SITE DETAILS

Paddock Pointe - Phase 2
 278 APARTMENT UNITS
 ZONED: TOD

TAX MAP: 50 BLOCK: 10
 6TH ELECTION DISTRICT

PARCEL 384
 PARCELS B-4, B-5, C-2, C-3, C-4, & K-2
 HOWARD COUNTY, MARYLAND

VOGEL ENGINEERING

TIMMONS GROUP

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PROFESSIONAL CERTIFICATE

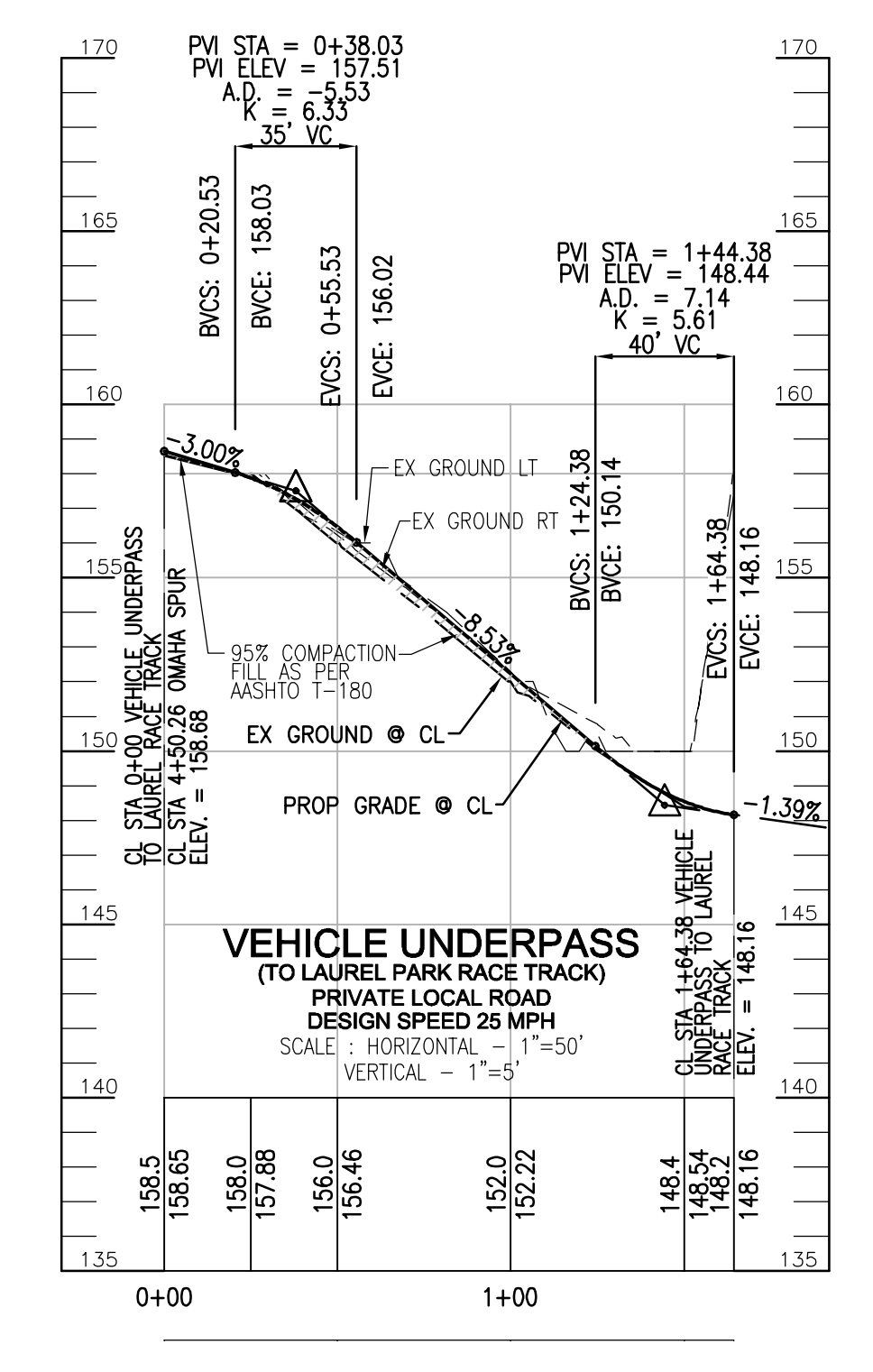
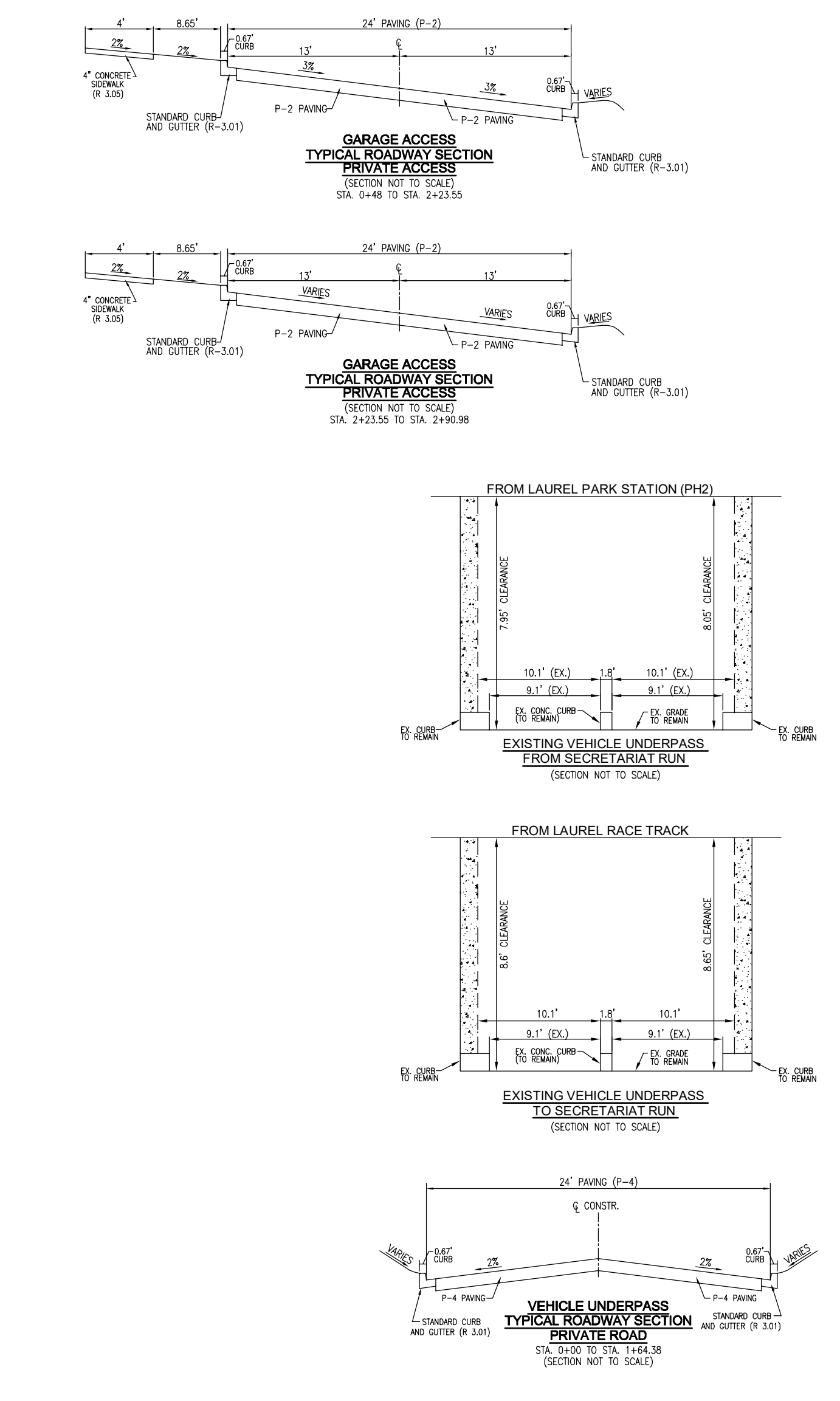
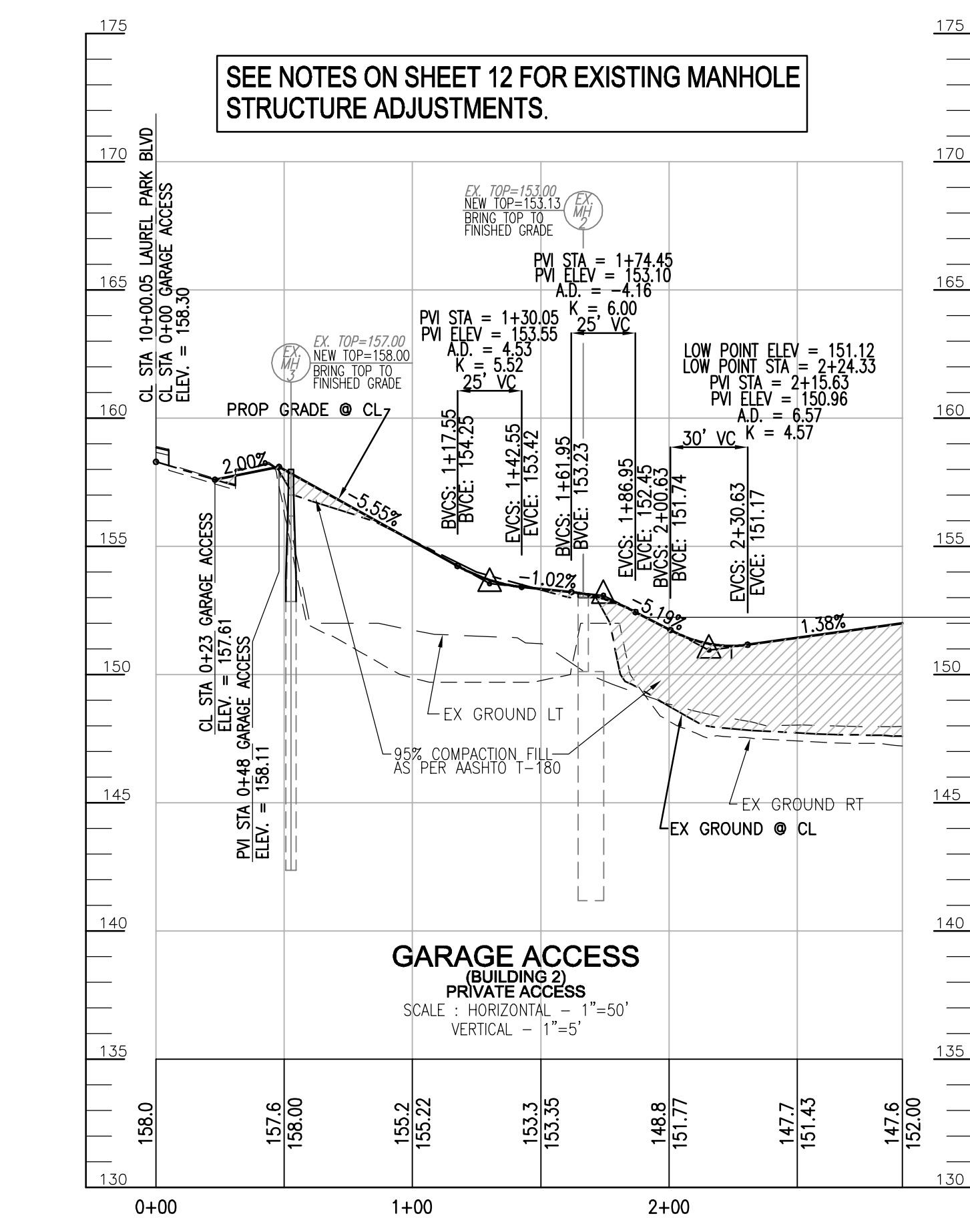
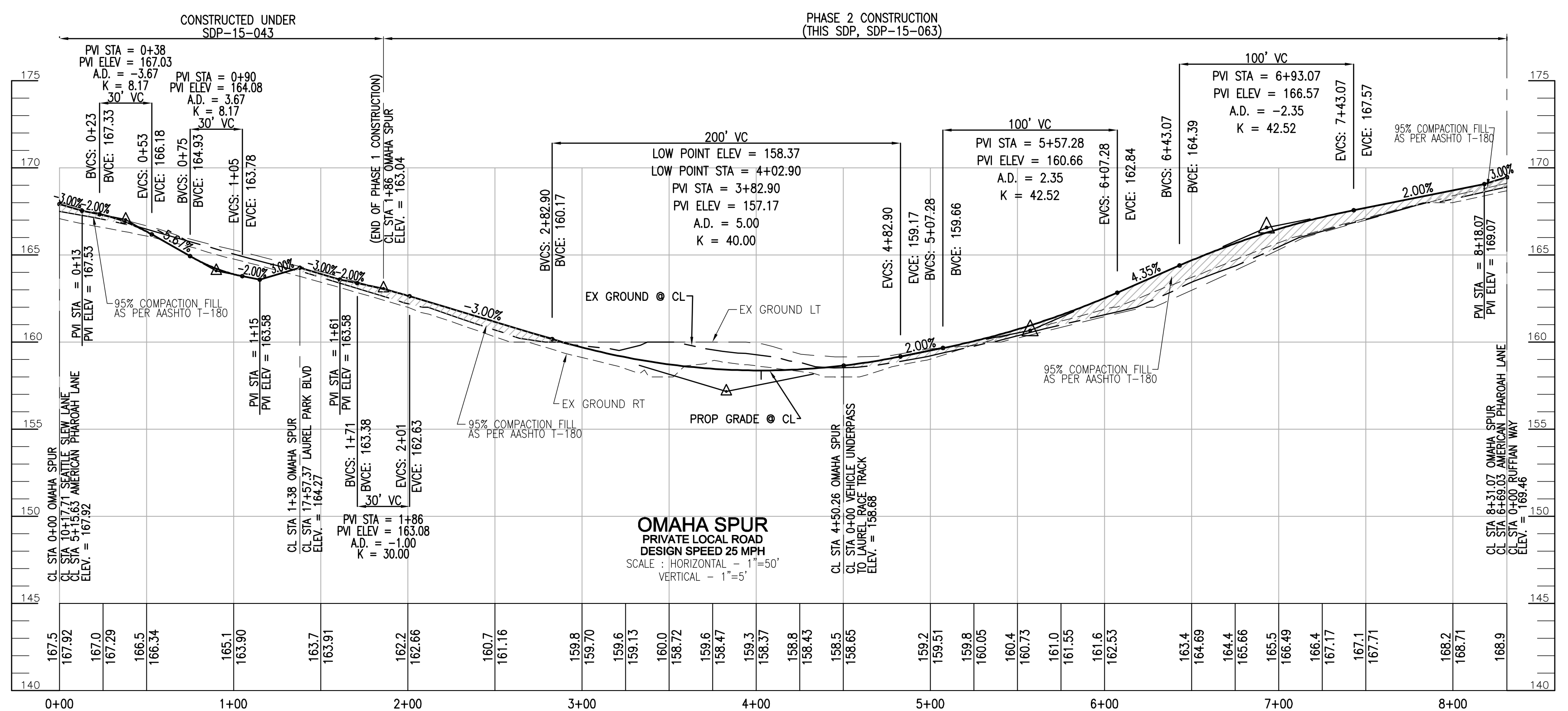
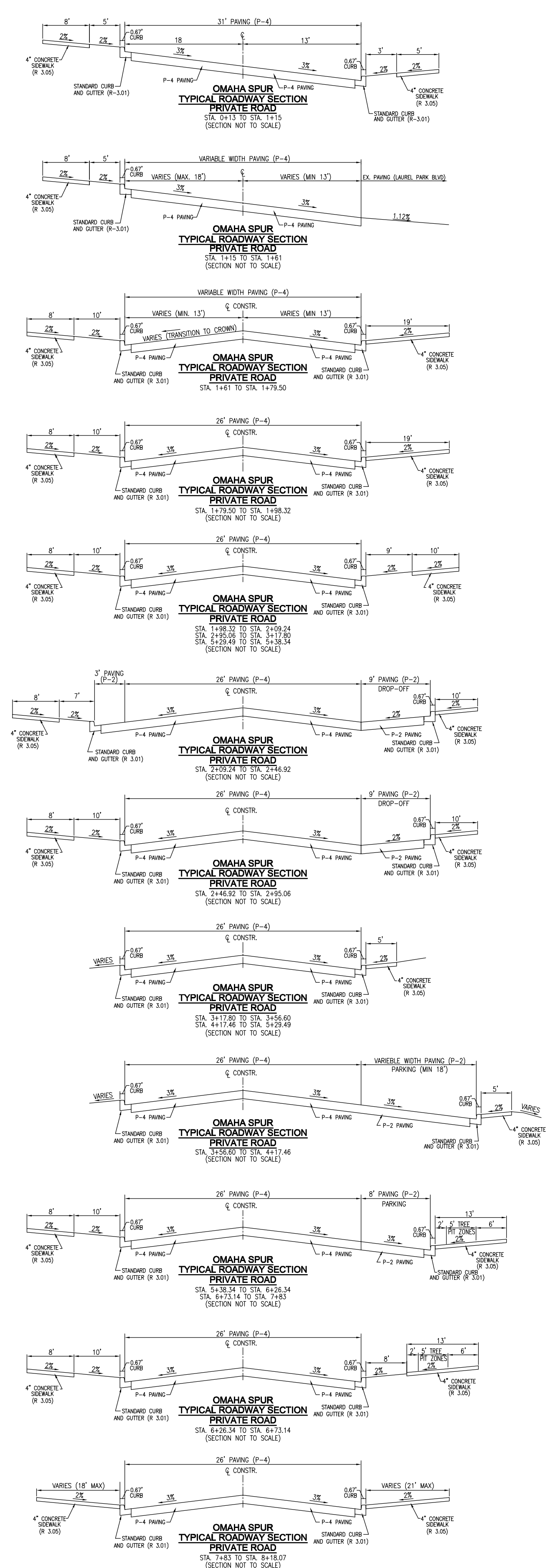
DESIGN BY: RHY/DZE
 DRAWN BY: DZE/XG
 CHECKED BY: RHY
 DATE: MARCH 2024
 SCALE: AS SHOWN
 W.O. NO.: 07-11/40111

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND THAT I AM A DAILY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND. EXPIRATION DATE: 09-27-2024

4 SHEET OF 22

NOTE:
 1. FOR SIGNAGE AND PAVEMENT MARKINGS, SEE SHEET 17.
 2. FOR AMENITY AREAS, SEE SHEET 15.

PLAN VIEW
 SCALE: 1"=30'
 GRAPHIC SCALE 1"=30'



APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

Designed by: CHAD Edmondson 8/29/2024
 Chief of Development Engineering Division DATE

Designed by: CHAD Edmondson 8/30/2024
 Chief of Division of Land Development DATE

Designed by: Linda Ewing 8/30/2024
 Director DATE

WHERE DRAINAGE FLOWS AWAY FROM CURB, CONTRACTOR TO REVERSE THE GUTTER PAN.

FUTURE BUILDINGS CANNOT BE CLOSER THAN 10 FEET TO THE PUBLIC EASEMENTS.

NO.	REVISION	DATE

SITE DEVELOPMENT PLAN

ROAD PROFILES AND DETAILS

Paddock Pointe - Phase 2
 278 APARTMENT UNITS
 ZONED: T0D

OWNER: TRIPLE BELL FARMS, LLC
 198 LAUREL RACE TRACK RD
 LAUREL, MD 20725
 (301) 470-5494

OWNER/DEVELOPER: 20006 DELAWARE, INC.
 198 LAUREL RACE TRACK RD
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TAX MAP: 50 BLOCK: 10
 6TH ELECTION DISTRICT

PARCEL 384
 PARCELS B-4, B-5, C-2,
 C-3, C-4, & K-2
 HOWARD COUNTY, MARYLAND

VOGEL ENGINEERING

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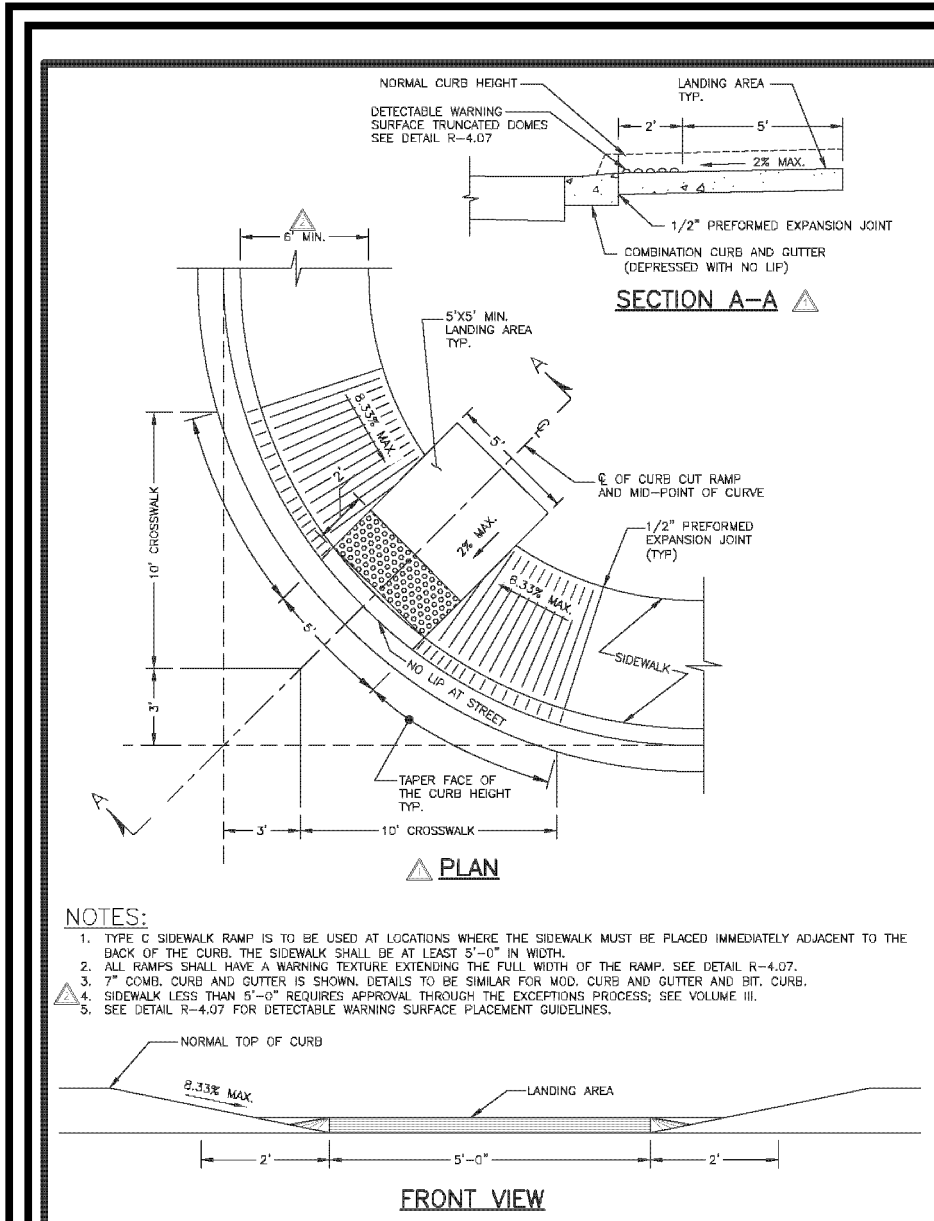
PROFESSIONAL CERTIFICATE

DESIGN BY: RHV/DZE
 DRAWN BY: DZE/KG
 CHECKED BY: RHV
 DATE: MARCH 2024
 SCALE: AS SHOWN
 W.O. NO.: 07-11/40111

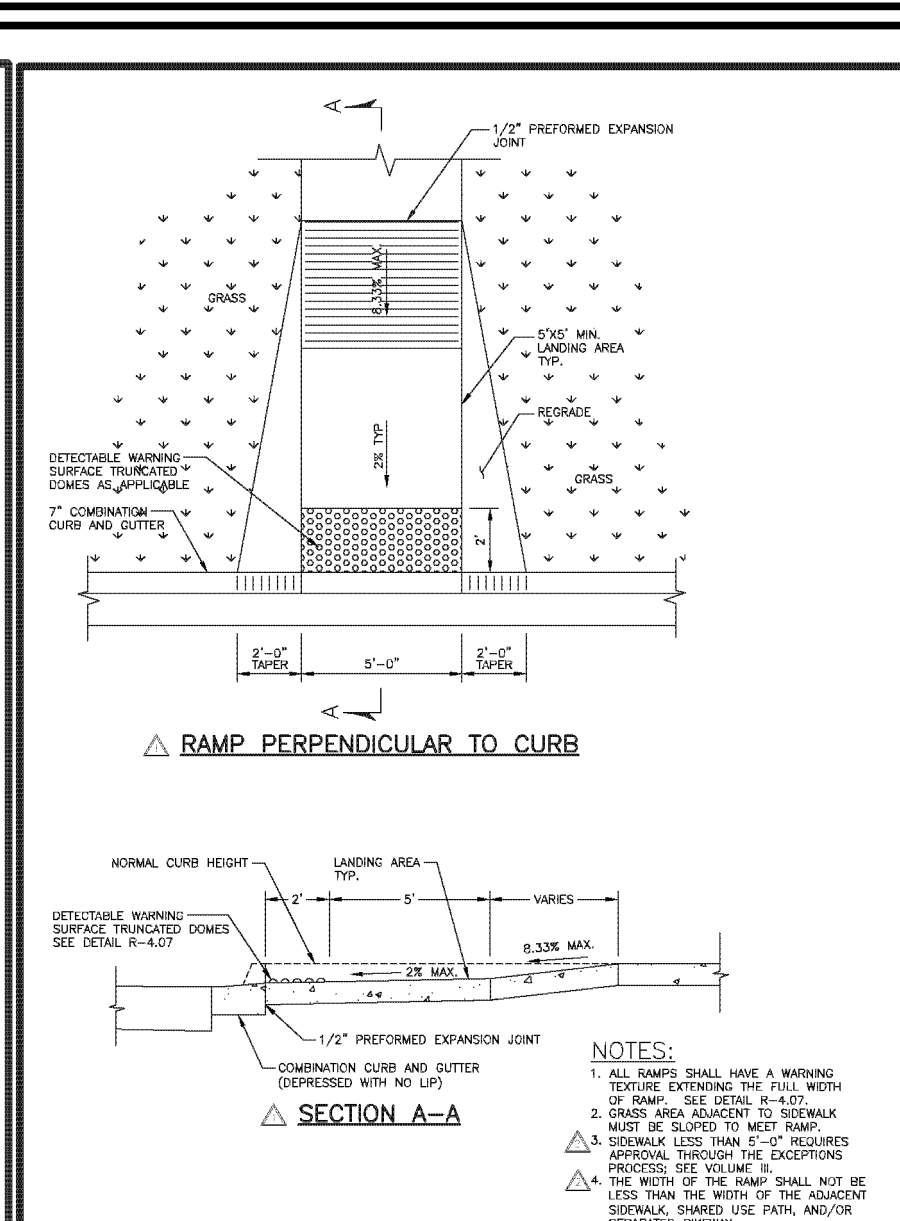
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A duly LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 11943 EXPIRATION DATE: 09-27-2024

Robert H. Vogel
 PROFESSIONAL ENGINEER

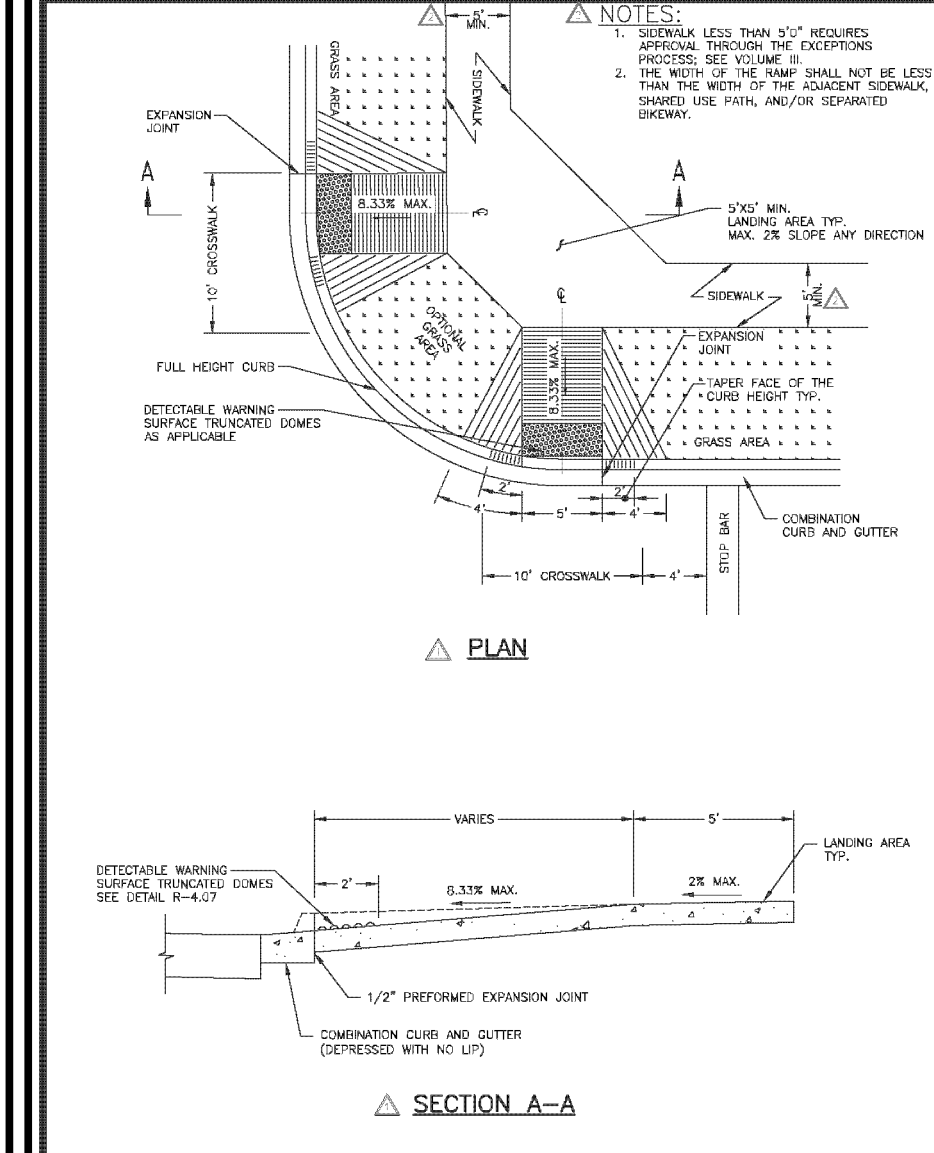
5 SHEET OF 22



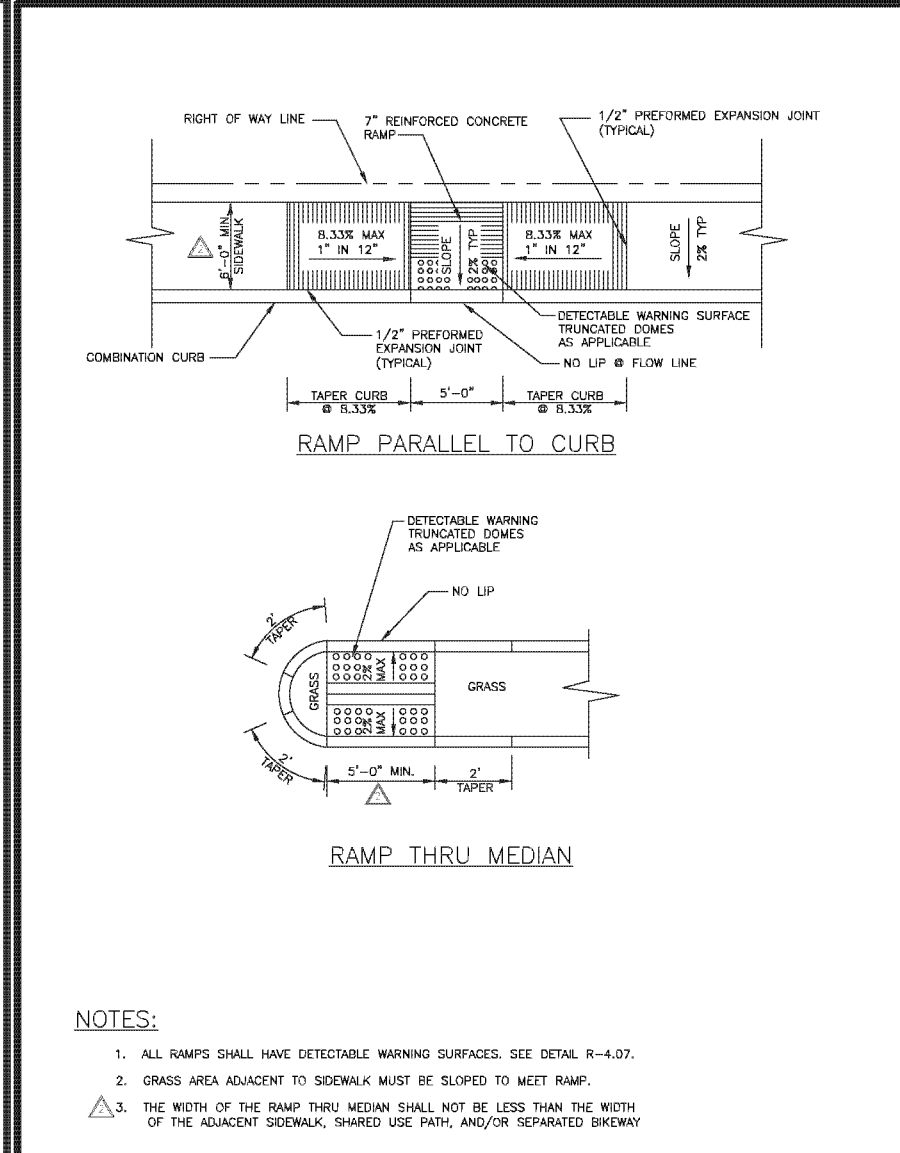
Howard County, Maryland
Department of Public Works
Name: *Priscilla E. Smith*
Date: 8/29/2024
Type C
R-4.04



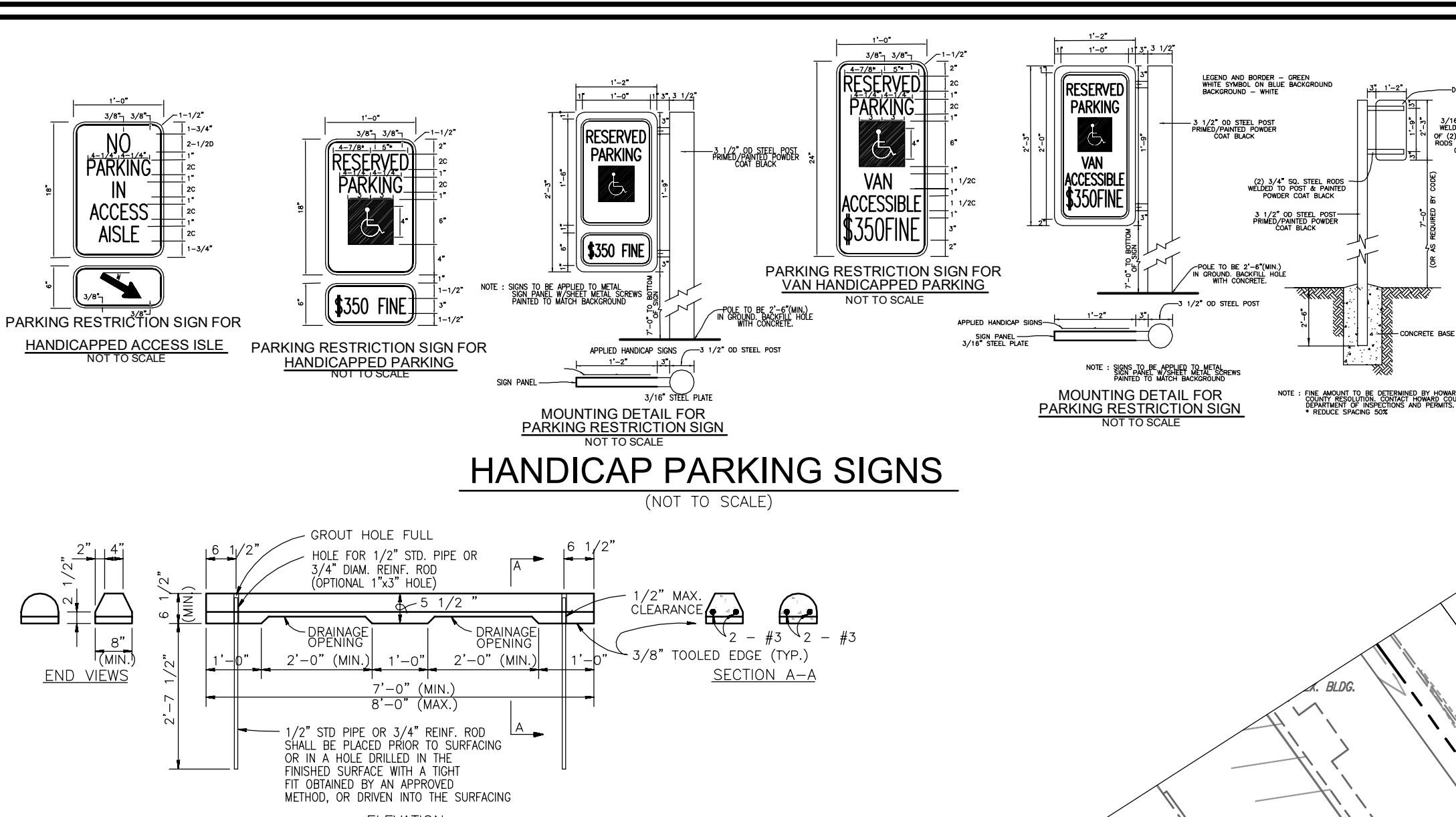
Howard County, Maryland
Department of Public Works
Name: *Priscilla E. Smith*
Date: 8/29/2024
Type C
R-4.05



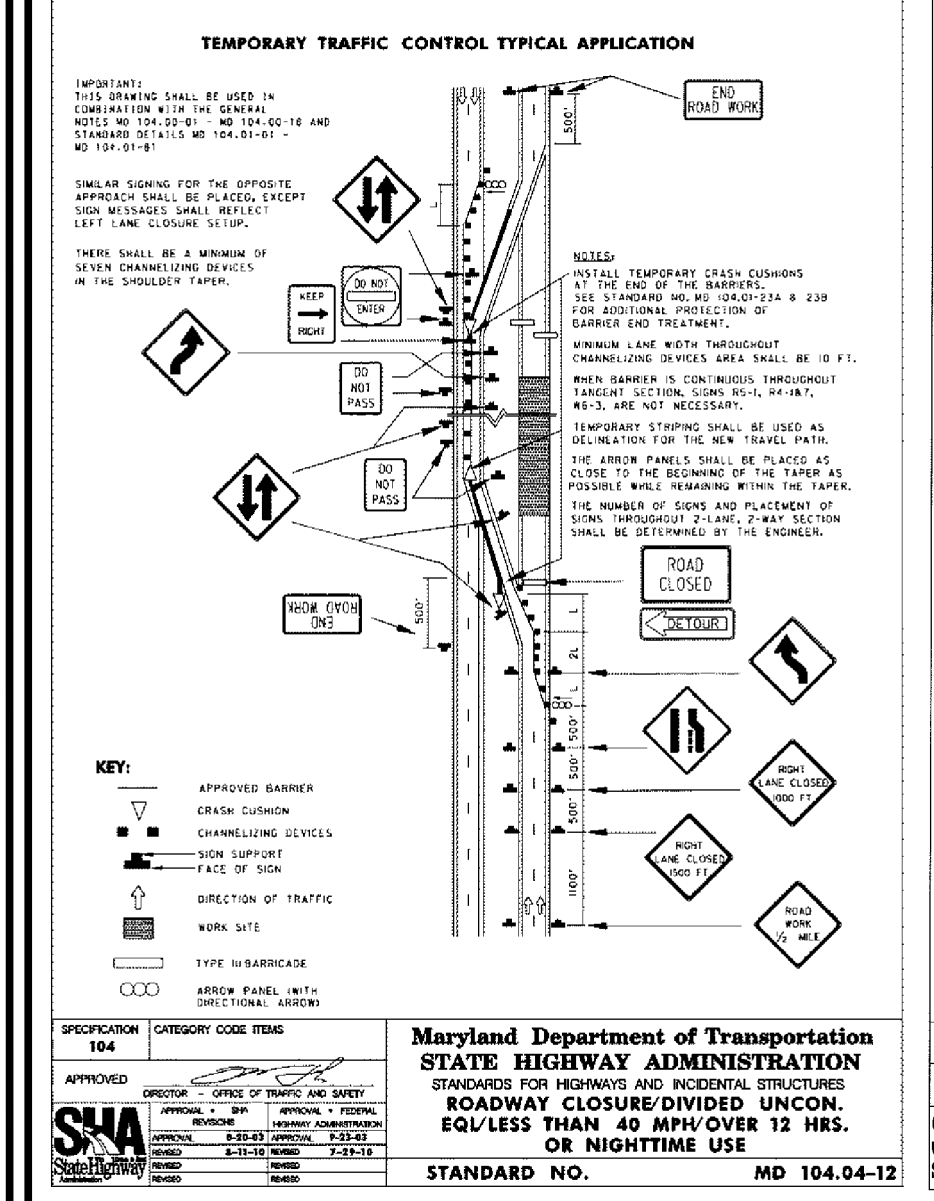
Howard County, Maryland
Department of Public Works
Name: *Priscilla E. Smith*
Date: 8/29/2024
Type B
Dual Ramp
R-4.03



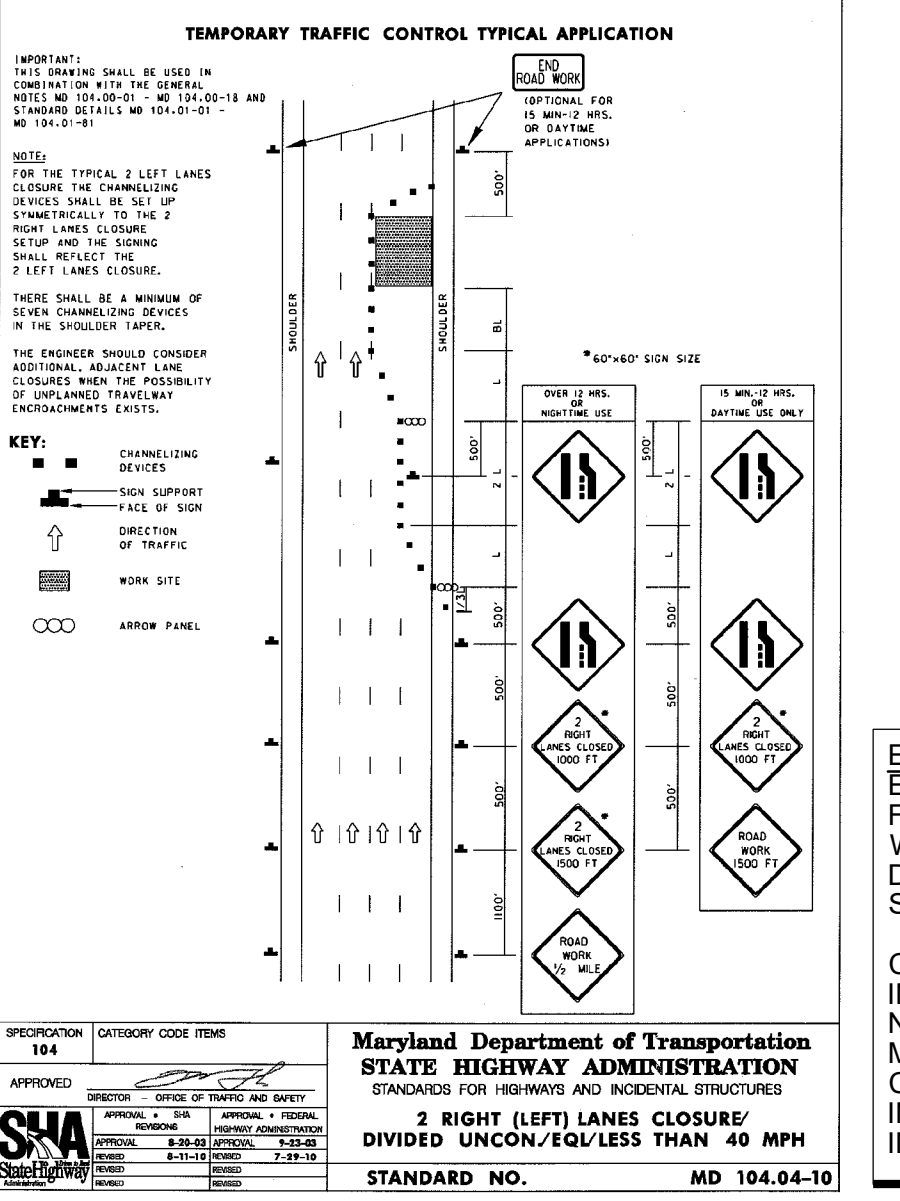
Howard County, Maryland
Department of Public Works
Name: *Priscilla E. Smith*
Date: 8/29/2024
Type C
Parallel to Curb & Thru Median
R-4.06



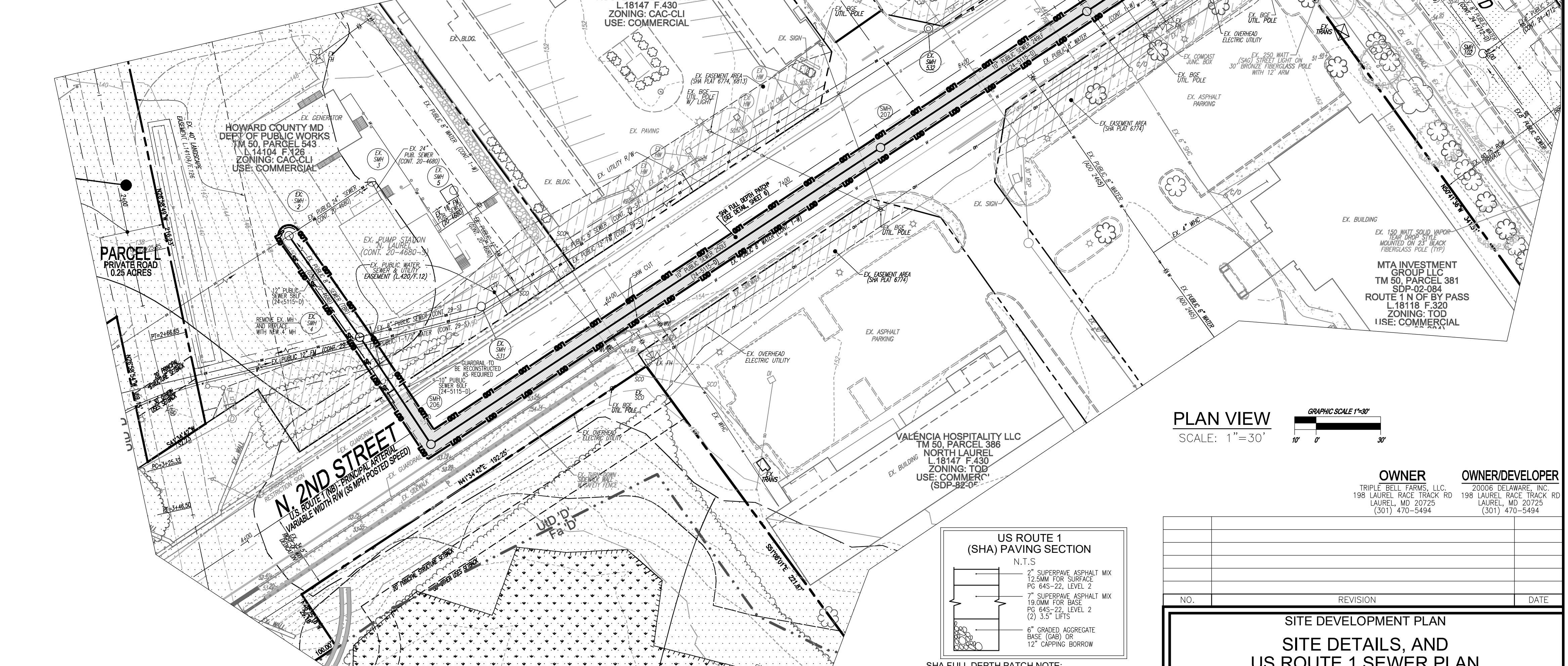
PRECAST CONCRETE WHEEL STOP DETAILS (NOT TO SCALE)



APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
CHIEF OF DEVELOPMENT ENGINEERING DIVISION
CHIEF OF DIVISION OF LAND DEVELOPMENT
DIRECTOR



APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
CHIEF OF DEVELOPMENT ENGINEERING DIVISION
CHIEF OF DIVISION OF LAND DEVELOPMENT
DIRECTOR



EXISTING UTILITIES NOTE:
EXISTING UTILITIES SHOWN ON THESE PLANS HAVE BEEN LOCATED FROM EXISTING SITE DEVELOPMENT PLANS, FIELD SURVEYS, PUBLIC WATER AND SEWER EXTENSION PLANS AND AVAILABLE RECORD DRAWINGS. APPROXIMATE LOCATION OF EXISTING UTILITIES ARE SHOWN FOR THE CONTRACTORS INFORMATION ONLY.

CONTRACTOR SHALL TEST PIT TO VERIFY EXISTING UTILITIES WELL IN ADVANCE OF CONSTRUCTION ACTIVITIES AND TAKE ALL NECESSARY PRECAUTIONS TO PROTECT THE EXISTING UTILITIES, TO MAINTAIN UNINTERRUPTED SERVICE AND TO PROVIDE REQUIRED CLEARANCES FOR ALL PROPOSED UTILITIES. ANY DAMAGE INCURRED DUE TO CONTRACTORS OPERATION SHALL BE REPAIRED IMMEDIATELY AT THE CONTRACTOR'S EXPENSE.

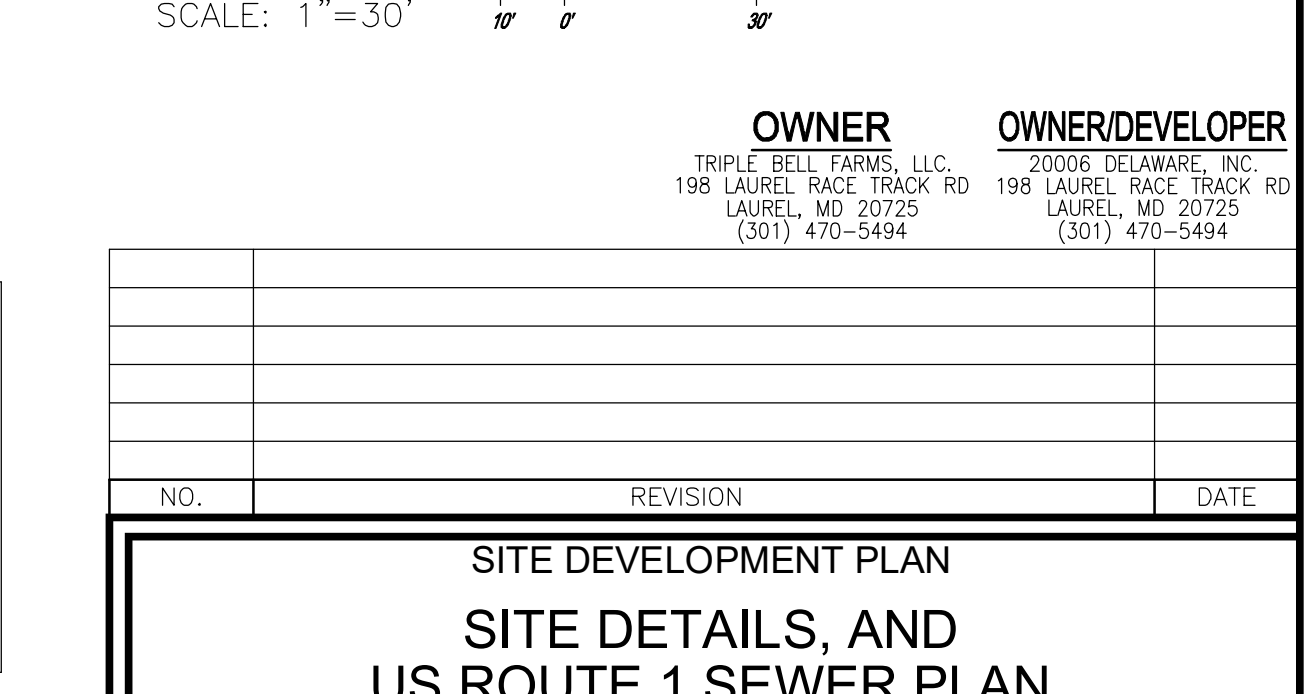
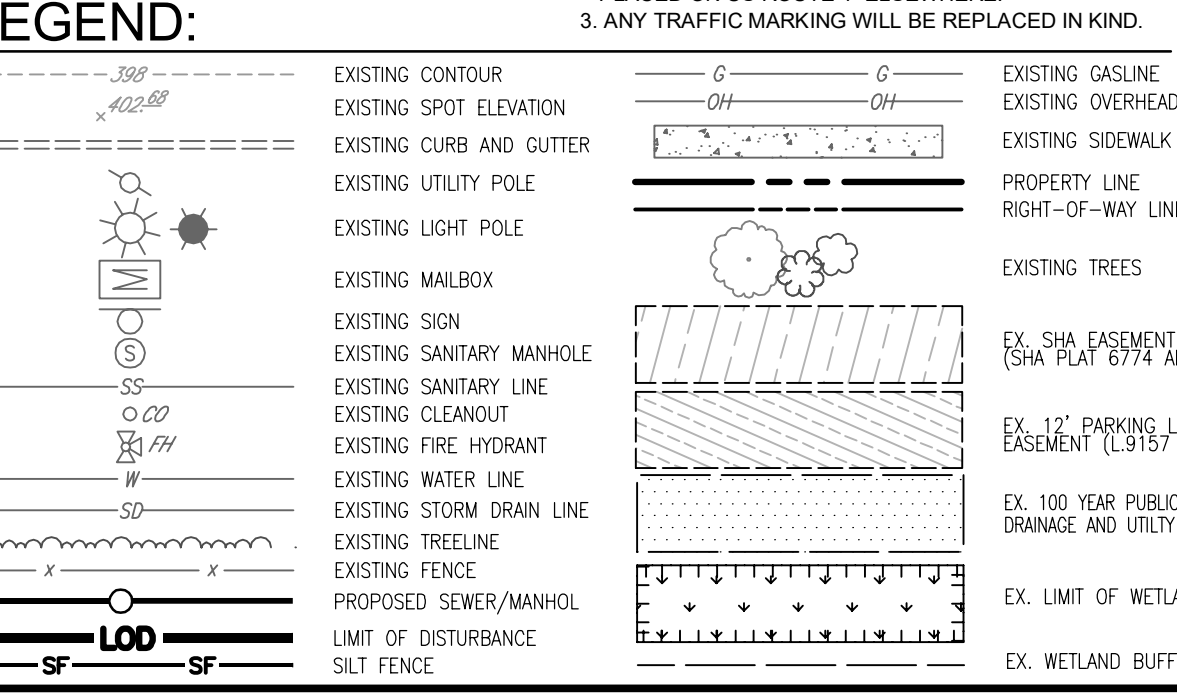
DESIGN CERTIFICATION:
I HEREBY CERTIFY THAT THIS PLAN HAS BEEN DESIGNED IN ACCORDANCE WITH CURRENT MARYLAND EROSION AND SEDIMENT CONTROL LAWS, REGULATIONS, AND STANDARDS THAT REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT AND/OR MDE.

DESIGNER'S SIGNATURE: *Robert H. Vogel*
DATE: 3/19/2024

OWNER/DEVELOPER SIGNATURE: *Julian Olin*
DATE: 8/29/2024

NOTE:
THIS PLAN VIEW & MAINTENANCE OF TRAFFIC (MOT) DETAILS ARE FOR INFORMATIONAL PURPOSES ONLY. REFERENCE CONTRACT 24-5115-D FOR THE CONSTRUCTION OF THE PUBLIC SEWER AND THE MOT PLANS.

DESIGNED BY: *Alexander Brathie*
DATE: 8/29/2024



SHA FULL DEPTH PATCH NOTE:
1. FULL DEPTH SHA PAVING SECTION REQUIRED FOR UTILITY CONNECTIONS. US ROUTE 1 WILL BE GROUND AND RESURFACED OVER THE FULL LANE AFFECTED BY THE UTILITY CONNECTIONS (AS SHOWN); AND THE SURFACE COURSE SHALL BE CUT BACK 1'.
2. THE HOT MIX ASPHALT FOR US ROUTE 1 UTILITY PATCH WILL BE A 76-22 MIX TO BE CONSISTENT WITH THE HMA BEING PLACED ON US ROUTE 1 ELSEWHERE.
3. ANY TRAFFIC MARKING WILL BE REPLACED IN KIND.

OWNER: TRIPLE BELL FARMS, LLC
OWNER/DEVELOPER: 20006 DELAWARE, INC.

VOLUNTARILY DEDICATED TO THE LAUREL PARK STATION PROPERTY OWNERS ASSOCIATION

OPEN SPACE LOT F-1
1.85 AC
(DEDICATED TO THE LAUREL PARK STATION PROPERTY OWNERS ASSOCIATION)

VOGEL ENGINEERING
TIMMONS GROUP

3300 NORTH RIDGE ROAD, SUITE 110, ELLICOTT CITY, MD 21043
P: 410.461.7666 F: 410.461.8961 www.timmons.com

DESIGN BY: RHY/DZE
DRAWN BY: DZE/XG
CHECKED BY: RHY
DATE: MARCH 2024
SCALE: AS SHOWN
W.O. NO.: 07-11/40111

PROFESSIONAL CERTIFICATE
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND THAT I AM A DAILY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 16193, EXPIRATION DATE 09-27-2024

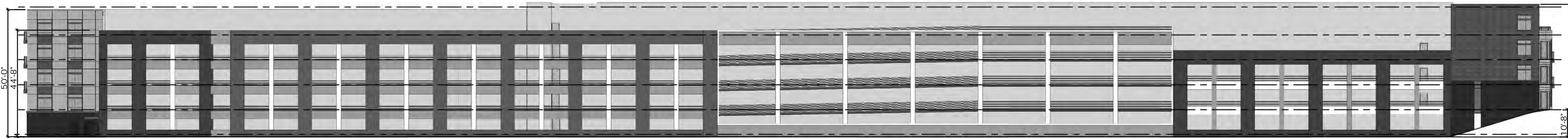
6 SHEET OF 22



ELEVATION (NORTH)
NOT TO SCALE



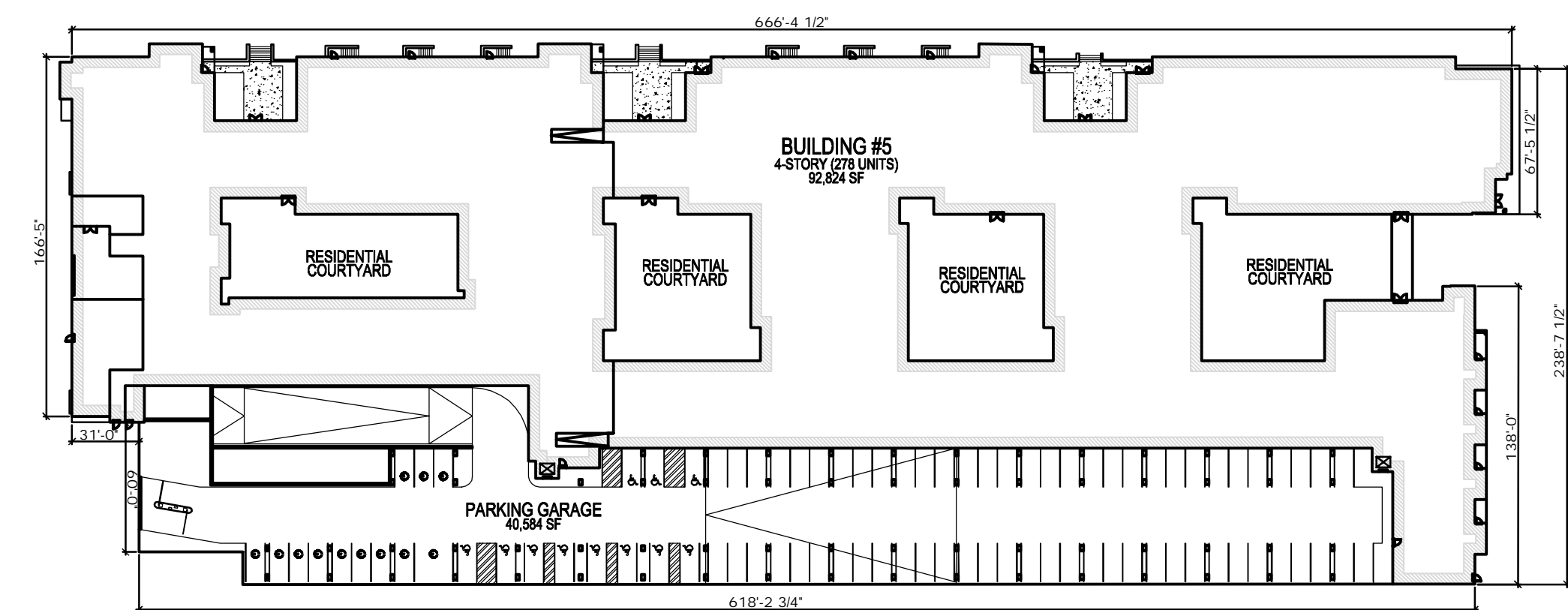
ELEVATION (EAST)
NOT TO SCALE



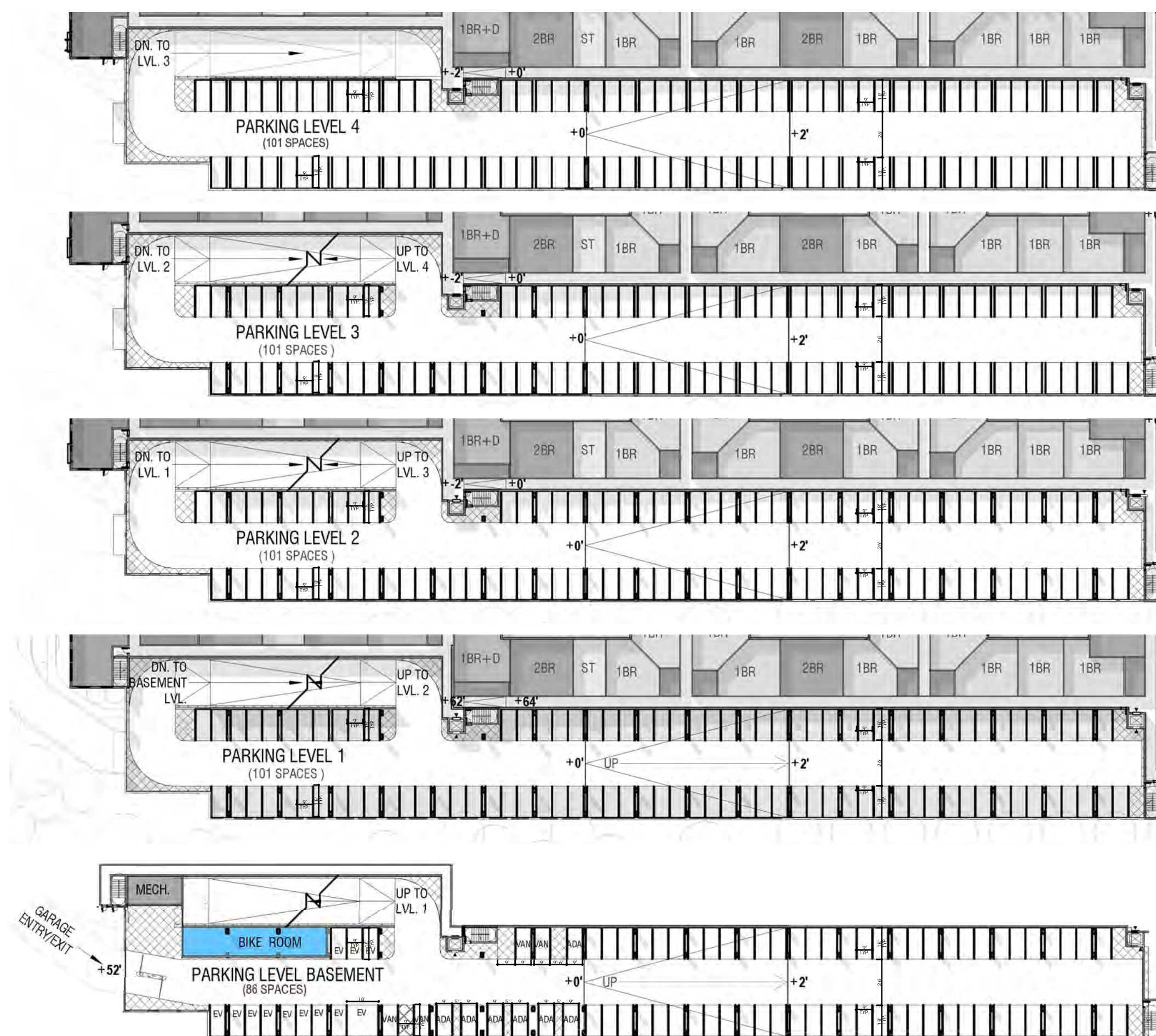
ELEVATION (SOUTH)
NOT TO SCALE



ELEVATION (WEST)
NOT TO SCALE



BUILDING FOOTPRINT
NOT TO SCALE



GARAGE PLANS
NOT TO SCALE

OWNER	OWNER/DEVELOPER
TRIPLE BELL FARMS, LLC 198 LAUREL RACE TRACK RD LAUREL, MD 20725 (301) 470-5494	2000E DELAWARE, INC. 198 LAUREL RACE TRACK RD LAUREL, MD 20725 (301) 470-5494

NO.	REVISION	DATE

SITE DEVELOPMENT PLAN
BUILDING ELEVATIONS
AND GARAGE LAYOUT

PADDOCK POINTE - PHASE 2
278 APARTMENT UNITS
ZONED: TOD

TAX MAP: 50 BLOCK: 10
6TH ELECTION DISTRICT

PARCEL 384
PARCELS B-4, B-5, C-2,
C-3, C-4, & K-2
HOWARD COUNTY, MARYLAND

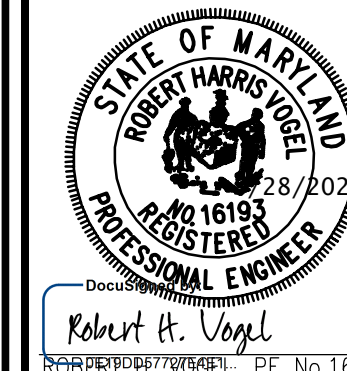
VOGEL ENGINEERING

TIMMONS GROUP

3300 NORTH RIDGE ROAD, SUITE 110, ELLICOTT CITY, MD 21043
P: 410.461.7666 F: 410.461.8961 www.timmons.com

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

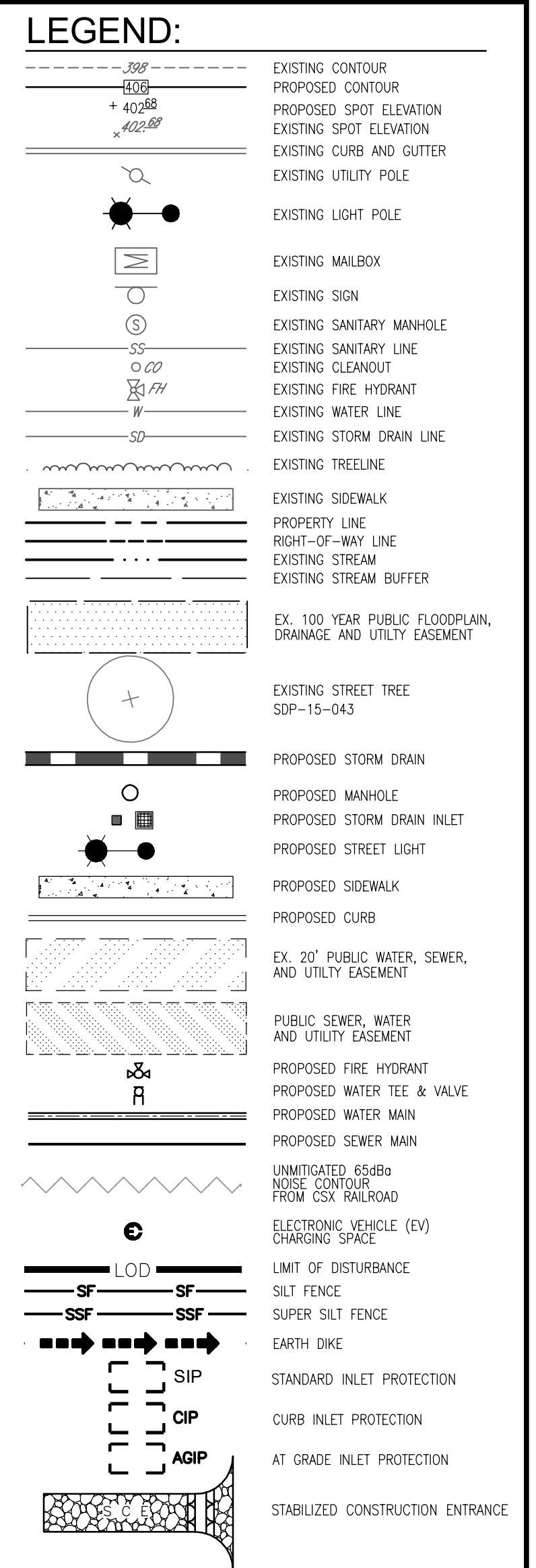
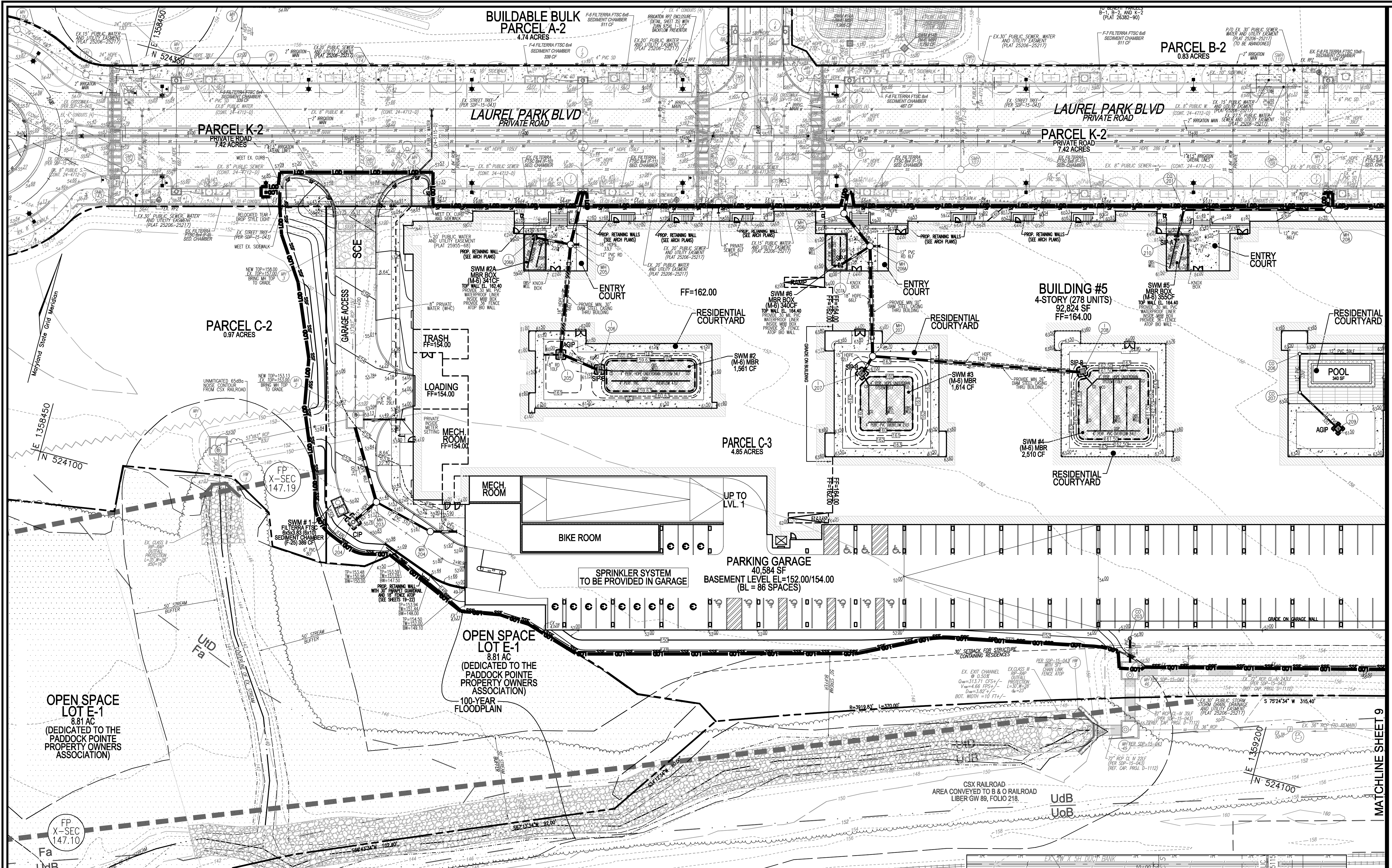
DocuSigned by: <i>Andriana E. Johnson</i>	8/29/2024
CHIEF DEVELOPMENT ENGINEERING DIVISION	DATE
DocuSigned by: <i>Andriana E. Johnson</i>	8/30/2024
CHIEF DIVISION OF LAND DEVELOPMENT	DATE
DocuSigned by: <i>Andriana E. Johnson</i>	8/30/2024
DIRECTOR	DATE



DESIGN BY: RHY/DZE
DRAWN BY: DZE/XGS
CHECKED BY: RHY
DATE: MARCH 2024
SCALE: AS SHOWN
W.O. NO.: 07-11/40111

PROFESSIONAL CERTIFICATE
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NO. 16193 EXPIRATION DATE: 09-27-2024

7 OF 22



SOILS LEGEND HOWARD COUNTY SOILS MAP #28. Table with columns: SYMBOL, NAME / DESCRIPTION, GROUP I-K-FACTOR, ERODIBLE, HYDRC.

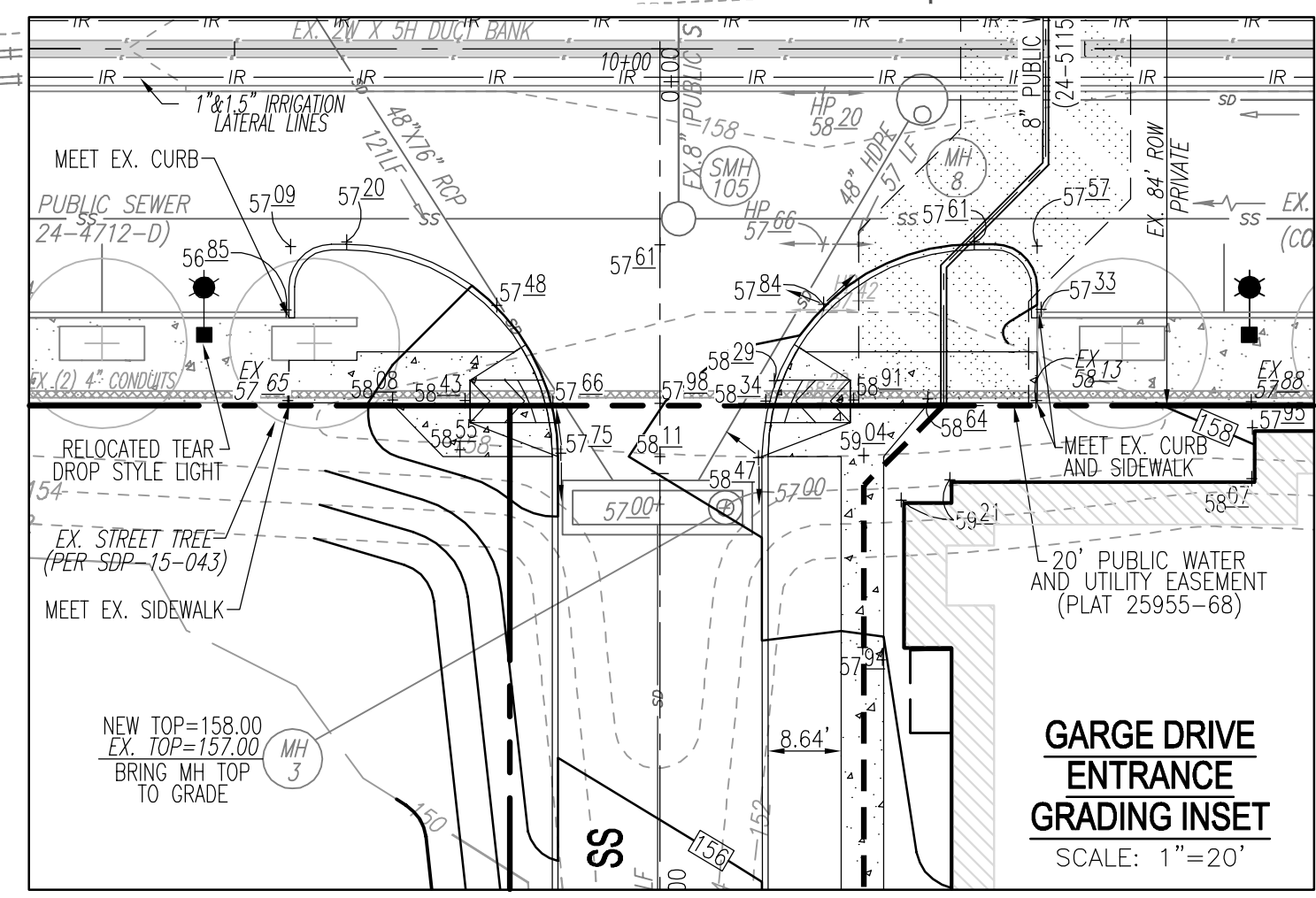
OWNER: TRIPLE BELL FARMS, LLC. OWNER/DEVELOPER: 20006 DELAWARE, INC. 198 LAUREL RACE TRACK RD. LAUREL, MD 20725. (301) 470-5494.

SEDIMENT CONTROL NOTES: 1. SEDIMENT CONTROLS INTERRUPTED BY THE INSTALLATION OF STORM DRAINS ARE TO BE REPAIRED IMMEDIATELY. 2. A DOUBLE ROW OF "SUPER" SILT FENCE IS TO BE INSTALLED AT THE DIRECTION OF THE SEDIMENT CONTROL INSPECTOR.

EXISTING UTILITIES NOTE: EXISTING UTILITIES SHOWN ON THESE PLANS HAVE BEEN LOCATED FROM EXISTING SITE DEVELOPMENT PLANS, FIELD SURVEYS, PUBLIC WATER AND SEWER EXTENSION PLANS AND AVAILABLE RECORD DRAWINGS. APPROXIMATE LOCATION OF EXISTING UTILITIES ARE SHOWN FOR THE CONTRACTORS INFORMATION ONLY.

PLAN VIEW SCALE: 1" = 30'

NOTES: 1. FOR SIGNAGE AND PAVEMENT MARKINGS, SEE SHEET 17. 2. FOR AMENITY AREAS, SEE SHEET 15. 3. APPROVAL OF THIS PLAN DOES NOT ALL FOR UNAUTHORIZED OFFSITE GRADING OR IMPACTS OF ANY MANNER THAT WILL EFFECT ADJOINING PROPERTY OWNERS/TENANTS.



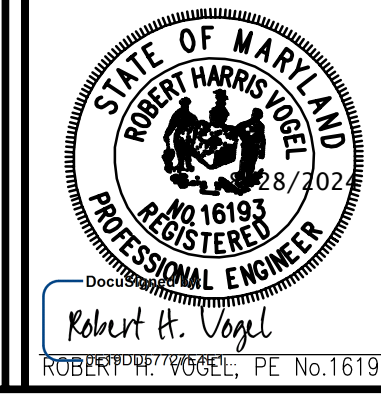
APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING. Chief of Development Engineering Division: 8/29/2024. Chief of Division of Land Development: 8/30/2024.

OWNER/DEVELOPER CERTIFICATION: I HEREBY CERTIFY THAT ANY CLEARING, GRADING, CONSTRUCTION, OR DEVELOPMENT WILL BE DONE PURSUANT TO THIS APPROVED EROSION AND SEDIMENT CONTROL PLAN, INCLUDING INSPECTING AND MAINTAINING CONTROLS, AND THAT ALL RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF TRAINING AT A MARYLAND DEPARTMENT OF THE ENVIRONMENT (MDE) APPROVED TRAINING PROGRAM FOR THE CONTROL ON EROSION AND SEDIMENT PRIOR TO BEGINNING THE PROJECT.

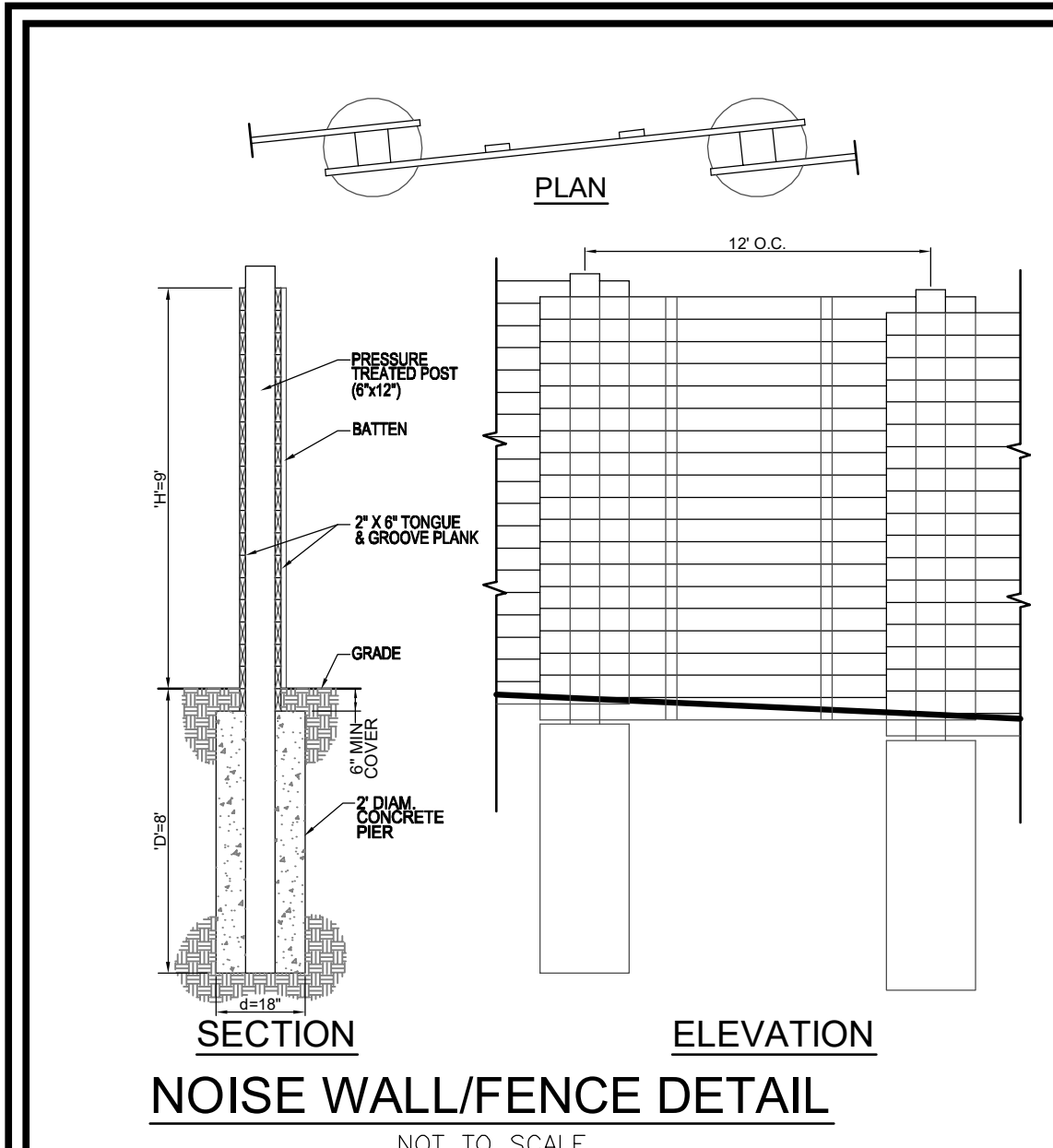
DESIGN CERTIFICATION: I HEREBY CERTIFY THAT THIS PLAN HAS BEEN DESIGNED IN ACCORDANCE WITH CURRENT MARYLAND EROSION AND SEDIMENT CONTROL LAWS, REGULATIONS, AND STANDARDS THAT IT REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

THIS PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT. Designer: Alexander Bratchie, 8/29/2024.

SITE DEVELOPMENT PLAN GRADING, SEDIMENT AND EROSION CONTROL PLAN PADDOCK POINTE - PHASE 2 278 APARTMENT UNITS PARCELS B-4, B-5, C-2, C-3, C-4, & K-2. VOGEL ENGINEERING TIMMONS GROUP. 3300 NORTH RIDGE ROAD, SUITE 110, ELLICOTT CITY, MD 21043. P: 410.461.7666 F: 410.461.8961 www.timmons.com



DESIGN BY: RHY/DZE. DRAWN BY: DZE/XG. CHECKED BY: RHY. DATE: MARCH 2024. SCALE: AS SHOWN. W.O. NO.: 07-11/40111. SHEET 8 OF 22.



NOTES:

- GENERAL:
 - HEIGHT OF WALL SHALL BE BASED ON ACOUSTIC REQUIREMENTS.
 - NOISE WALL SHALL BE INSTALLED AT THE PROPOSED LOCATION. THE WALL SHALL BE CONSTRUCTED AS SHOWN IN THE NOISE WALL DETAIL.
- FOUNDATION:
 - WOOD POST SHALL BE UTILIZED AT THE SPACING SHOWN ON THE SCHEDULE. THE POST SHALL BE SET IN AN ALUMINUM BUSHING WITH A MINIMUM OF 1" CLEARANCE FROM THE WALL. THE POST SHALL BE SET IN A 2" DIA. CONCRETE PIER. THE PIER SHALL BE SET IN A 12" DIA. CONCRETE PAD. THE PAD SHALL BE SET IN A 6" DIA. CONCRETE PAD. THE PAD SHALL BE SET IN A 12" DIA. CONCRETE PAD.
 - CONCRETE SHALL BE PLACED IN LAYERS NOT EXCEEDING 4" COMPRESSIVE STRENGTH OF 3000 PSI PER 5" OF THICKNESS.
 - CONCRETE SHALL BE PLACED IN LAYERS NOT EXCEEDING THE LIMITS AS FOLLOWS:
 - CONCRETE SHALL BE PLACED IN LAYERS NOT EXCEEDING 4" COMPRESSIVE STRENGTH OF 3000 PSI PER 5" OF THICKNESS.
 - CONCRETE SHALL BE PLACED IN LAYERS NOT EXCEEDING THE LIMITS AS FOLLOWS:
- FINISHES:
 - WOOD POST SHALL BE FINISHED WITH A FINISH GRADE.
 - WOOD POST SHALL BE FINISHED WITH A FINISH GRADE.
- ACCESS:
 - CONCRETE SHALL BE PLACED IN LAYERS NOT EXCEEDING 4" COMPRESSIVE STRENGTH OF 3000 PSI PER 5" OF THICKNESS.
 - CONCRETE SHALL BE PLACED IN LAYERS NOT EXCEEDING THE LIMITS AS FOLLOWS:
- CONCRETE SHALL BE PLACED IN LAYERS NOT EXCEEDING 4" COMPRESSIVE STRENGTH OF 3000 PSI PER 5" OF THICKNESS.
- CONCRETE SHALL BE PLACED IN LAYERS NOT EXCEEDING THE LIMITS AS FOLLOWS:

NOTES:

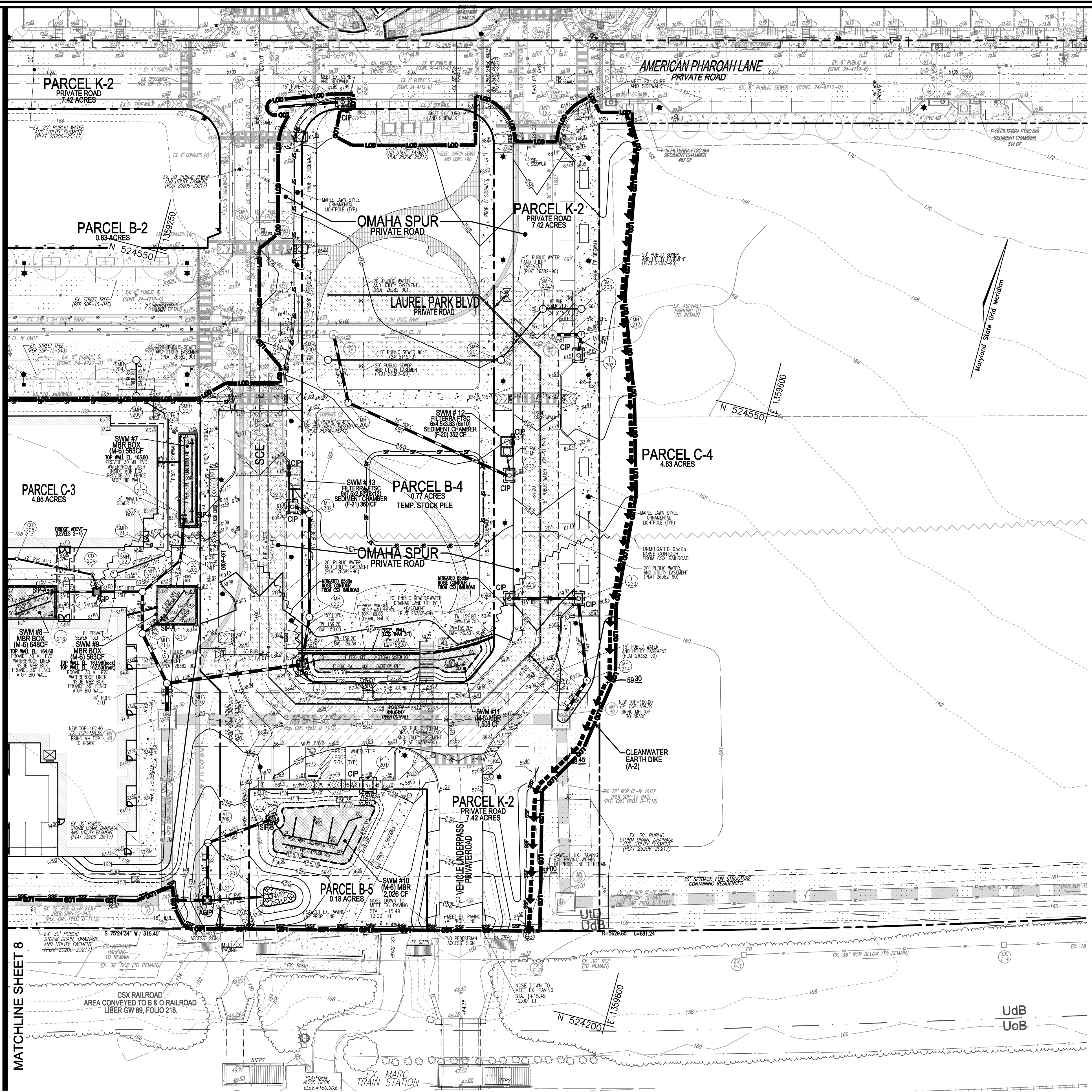
- FOR SIGNAGE AND PAVEMENT MARKINGS, SEE SHEET 17.
- FOR AMENITY AREAS, SEE SHEET 15.
- APPROVAL OF THIS PLAN DOES NOT ALL FOR UNAUTHORIZED OFFSITE GRADING OR IMPACTS OF ANY MANNER THAT WILL EFFECT ADJOINING PROPERTY OWNERS/TENANTS. IT IS THE DEVELOPER'S OBLIGATION TO ENSURE ADJACENT PROPERTIES ARE APPROPRIATELY NOTIFIED PRIOR TO ANY OFFSITE DISTURBANCES THAT MAY AFFECT THE USE OF, AND/OR ACCESS TO, THEIR PROPERTY.

SEDIMENT CONTROL NOTES:

- SEDIMENT CONTROLS INTERRUPTED BY THE INSTALLATION OF STORM DRAINS ARE TO BE REPAIRED IMMEDIATELY.
- A DOUBLE ROW OF "SUPER" SILT FENCE IS TO BE INSTALLED AT THE DIRECTION OF THE SEDIMENT CONTROL INSPECTOR.
- STOCKPILES EXCEEDING 15 FEET IN HEIGHT SHALL BE BENCHED.
- SILT FENCE SHALL BE CURLED UPHILL AT 35 FT. INTERVALS WHEREVER IT RUNS DOWNHILL.
- EITHER TEMPORARY OR PERMANENT SEEDING AND STABILIZATION IS TO BE PERFORMED AT THE DIRECTION OF THE SEDIMENT CONTROL INSPECTOR OR AT THE INTERVALS PROVIDED IN THE 2011 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL, WHICHEVER IS MORE STRINGENT.

EXISTING UTILITIES NOTE:
EXISTING UTILITIES SHOWN ON THESE PLANS HAVE BEEN LOCATED FROM EXISTING SITE DEVELOPMENT PLANS, FIELD SURVEYS, PUBLIC WATER AND SEWER EXTENSION PLANS AND AVAILABLE RECORD DRAWINGS. APPROXIMATE LOCATION OF EXISTING UTILITIES ARE SHOWN FOR THE CONTRACTOR'S INFORMATION ONLY.

CONTRACTOR SHALL TEST PIT TO VERIFY EXISTING UTILITIES WELL IN ADVANCE OF CONSTRUCTION ACTIVITIES AND TAKE ALL NECESSARY PRECAUTIONS TO PROTECT THE EXISTING UTILITIES. TO MAINTAIN UNINTERRUPTED SERVICE AND TO PROVIDE REQUIRED CLEARANCES FOR ALL PROPOSED UTILITIES, ANY DAMAGE INCURRED DUE TO CONTRACTOR'S OPERATION SHALL BE REPAIRED IMMEDIATELY AT THE CONTRACTOR'S EXPENSE.



MATCHLINE SHEET 8

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

DocuSigned by:
Chad E. Johnson
8/29/2024

DocuSigned by:
Juliana Olin
8/30/2024

DocuSigned by:
Juliana Olin
8/30/2024

DocuSigned by:
Juliana Olin
8/30/2024

OWNER/DEVELOPER CERTIFICATION:
I HEREBY CERTIFY THAT ANY CLEARING, GRADING, CONSTRUCTION, OR DEVELOPMENT WILL BE DONE PURSUANT TO THIS APPROVED EROSION AND SEDIMENT CONTROL PLAN, INCLUDING INSPECTING AND MAINTAINING CONTROLS, AND THAT RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF TRAINING AT A MARYLAND DEPARTMENT OF THE ENVIRONMENT (MDE) APPROVED TRAINING PROGRAM FOR THE CONTROL OF EROSION AND SEDIMENT PRIOR TO BEGINNING THE PROJECT. I CERTIFY RIGHT-OF-ENTRY FOR PERIODIC ON-SITE EVALUATION BY HOWARD COUNTY, THE HOWARD SOIL CONSERVATION DISTRICT AND/OR MDE.

DocuSigned by:
Juliana Olin
8/30/2024

DocuSigned by:
Juliana Olin
8/30/2024

DocuSigned by:
Juliana Olin
8/30/2024

DESIGN CERTIFICATION:
I HEREBY CERTIFY THAT THIS PLAN HAS BEEN DESIGNED IN ACCORDANCE WITH CURRENT MARYLAND EROSION AND SEDIMENT CONTROL LAWS, REGULATIONS, AND STANDARDS THAT REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

DocuSigned by:
Robert H. Vogel
8/29/2024

DocuSigned by:
Alexander Eretschik
8/29/2024

GRAPHIC SCALE 1"=30'

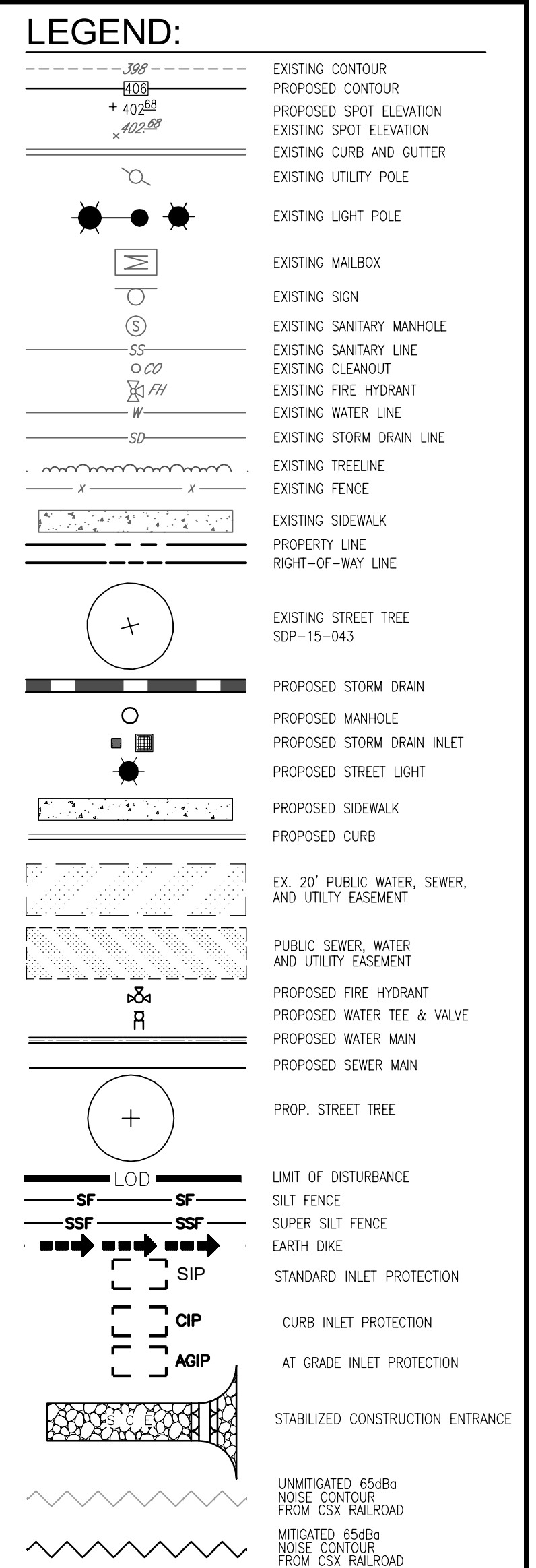
PLAN VIEW
SCALE: 1" = 30'

DocuSigned by:
Alexander Eretschik
8/29/2024

SOILS LEGEND
HOWARD COUNTY SOILS MAP #28

SYMBOL	NAME / DESCRIPTION	GROUP	K-FACTOR	ERODIBLE	HYDRO
ESC	EYEBROOK LOAMY SAND, 2 TO 10 PERCENT SLOPES	A	0.49	NO	NO
Fo	FALLSINGTON SANDY LOAM, 0 TO 2 PERCENT SLOPES	D	0.24	NO	YES
RuB	RUSSETT AND BELTSVILLE SOILS, 2 TO 5 PERCENT SLOPES	C	0.43	NO	NO
UdB	UDORHTHENTS, LOAMY, 0 TO 5 PERCENT SLOPES	C	0.24	NO	NO
Ud	URBAN LAND-UDORHTHENTS COMPLEX, 0 TO 15 PERCENT SLOPES	D	0.28	NO	NO

SOILS NOTE:
HIGHLY ERODIBLE SOILS ARE THOSE SOILS WITH A SLOPE GREATER THAN 15 PERCENT OR THOSE SOILS WITH A SOIL ERODIBILITY FACTOR K GREATER THAN 0.35 AND WITH A SLOPE GREATER THAN 5 PERCENT.



OWNER
TRIPLE BELL FARMS, LLC
198 LAUREL RACE TRACK RD
LAUREL, MD 20725
(301) 470-5494

OWNER/DEVELOPER
20006 DELAWARE, INC.
198 LAUREL RACE TRACK RD
LAUREL, MD 20725
(301) 470-5494

NO. REVISION DATE

SITE DEVELOPMENT PLAN
GRADING, SEDIMENT AND EROSION CONTROL PLAN
PADDOCK POINTE - PHASE 2
278 APARTMENT UNITS
ZONED: TOD

TAX MAP: 50 BLOCK: 10
5TH ELECTION DISTRICT

PARCEL 384
PARCELS B-4, B-5, C-2, C-3, C-4, & K-2
HOWARD COUNTY, MARYLAND

VOGEL ENGINEERING
TIMMONS GROUP
3300 NORTH RIDGE ROAD, SUITE 110, ELLICOTT CITY, MD 21043
P: 410.461.7666 F: 410.461.8961 www.timmons.com

DESIGN BY: RHY/DZE
DRAWN BY: DZE/XG
CHECKED BY: RHY
DATE: MARCH 2024
SCALE: AS SHOWN
W.O. NO.: 07-11/40111

PROFESSIONAL CERTIFICATE
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DocuSigned by:
Robert H. Vogel
8/29/2024

9 OF 22

SDP-15-063

B-2 STANDARDS AND SPECIFICATIONS FOR SOIL PREPARATION, TOWNSHIP AND SOIL AMENDMENTS. DEFINITION: THE PROCESS OF PREPARING THE SOILS TO SUSTAIN ADEQUATE VEGETATIVE STABILIZATION. PURPOSE: TO PREPARE AND MAINTAIN THE SOILS TO SUSTAIN ADEQUATE VEGETATIVE STABILIZATION...

B-3 STANDARDS AND SPECIFICATIONS FOR SEEDING AND MULCHING. PURPOSE: TO PREPARE AND MAINTAIN THE SOILS TO SUSTAIN ADEQUATE VEGETATIVE STABILIZATION. DEFINITION: THE APPLICATION OF SEED AND MULCH TO ESTABLISH VEGETATIVE COVER...

B-4 STANDARDS AND SPECIFICATIONS FOR PERMANENT STABILIZATION. PURPOSE: TO PREPARE AND MAINTAIN THE SOILS TO SUSTAIN ADEQUATE VEGETATIVE STABILIZATION. DEFINITION: TO STABILIZE DISTURBED SOILS WITH PERMANENT VEGETATION...

DETAIL B-1 STABILIZED CONSTRUCTION ENTRANCE. STANDARD SYMBOL: ST-1. CONSTRUCTION SPECIFICATIONS: 1. PLACE STABILIZED CONSTRUCTION ENTRANCE IN ACCORDANCE WITH THE APPROVED PLAN. VEHICLES MUST TRAVEL OVER THE ENTIRE LENGTH OF THE SEE...

DETAIL E-1 SILT FENCE. STANDARD SYMBOL: SF-1. CONSTRUCTION SPECIFICATIONS: 1. PLACE STABILIZED CONSTRUCTION ENTRANCE IN ACCORDANCE WITH THE APPROVED PLAN. VEHICLES MUST TRAVEL OVER THE ENTIRE LENGTH OF THE SEE...

DETAIL E-3 SUPER SILT FENCE. STANDARD SYMBOL: SF-2. CONSTRUCTION SPECIFICATIONS: 1. INSTALL 2x4 INCH DIAMETER GALVANIZED STEEL POSTS OF 600 IN MINIMUM THICKNESS AND SIX FOOT LENGTH SPACED NO FURTHER THAN 10 FEET APART. DRIVE THE POSTS A MINIMUM OF 36 INCHES INTO THE GROUND...

DETAIL E-4 EARTH DIKE. STANDARD SYMBOL: SD-1. CONSTRUCTION SPECIFICATIONS: 1. REMOVE AND STORE ALL TREES, BRUSH, STAMPS, OBSTRUCTIONS AND OTHER OBSTRUCTIONS FROM THE WORK AREA. EXCAVATE AND REGRADE TO ESTABLISH PROPER DRAINAGE...

HOWARD SOIL CONSERVATION DISTRICT (HSCD) STANDARD SEDIMENT CONTROL NOTES. 1. A PRE-CONSTRUCTION MEETING MUST OCCUR WITH THE HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS. 2. A WRITTEN REPORT BY THE DESIGNER MUST BE PROVIDED TO THE DISTRICT AND THE STATE...

B-4.4 STANDARDS AND SPECIFICATIONS FOR TEMPORARY STABILIZATION. PURPOSE: TO PREPARE AND MAINTAIN THE SOILS TO SUSTAIN ADEQUATE VEGETATIVE STABILIZATION. DEFINITION: TO STABILIZE DISTURBED SOILS WITH VEGETATION FOR 10 TO 60 MONTHS...

PERMANENT SEEDING SUMMARY. HARDNESS ZONE (FROM FIGURE B.3): Zone 6B. FERTILIZER RATE (10-20-20): 45 LB/AC. SEED MIXTURE (FROM TABLE B.3): 1.00 LB/AC. SEEDING DEPTH: 1/4-1/2 IN.

B-4.8 STANDARDS AND SPECIFICATIONS FOR STOCKPILE AREA. PURPOSE: TO PREPARE AND MAINTAIN THE SOILS TO SUSTAIN ADEQUATE VEGETATIVE STABILIZATION. DEFINITION: A MOUND OR PILE OF SOIL PROTECTED BY APPROPRIATELY DESIGNED EROSION AND SEDIMENT CONTROL MEASURES...

DETAIL E-1 SILT FENCE. STANDARD SYMBOL: SF-1. CONSTRUCTION SPECIFICATIONS: 1. PLACE STABILIZED CONSTRUCTION ENTRANCE IN ACCORDANCE WITH THE APPROVED PLAN. VEHICLES MUST TRAVEL OVER THE ENTIRE LENGTH OF THE SEE...

DETAIL E-2 AT-GRADE INLET PROTECTION. STANDARD SYMBOL: AIP-1. CONSTRUCTION SPECIFICATIONS: 1. USE 12x12 INCH DIAMETER GALVANIZED STEEL POSTS OF 600 INCH MINIMUM THICKNESS AND SIX FOOT LENGTH SPACED NO FURTHER THAN 10 FEET APART...

DETAIL E-3 CURB INLET PROTECTION. STANDARD SYMBOL: CIP-1. CONSTRUCTION SPECIFICATIONS: 1. USE NONWOVEN GEOTEXTILE AS SPECIFIED IN SECTION H-1 MATERIALS. INSTALL THE 2x4 WITH 2 TO 3 INCH LONG VERTICAL SPACERS (MAXIMUM 6 FEET APART)...

Table B.1: Temporary Seeding for Site Stabilization. Plant Species: Annual Ryegrass (Lolium perenne), Barley (Hordeum vulgare), Oats (Avena sativa), Wheat (Triticum aestivum), Corn (Zea mays), Pearl Millet (Setaria italica).

SEEDING CONTROL NOTES. 1. SEDIMENT CONTROLS INTERRUPTED BY THE INSTALLATION OF STORM DRAINS ARE TO BE REPAIRED IMMEDIATELY. 2. A DOUBLE ROW OF "SUPER" SILT FENCE IS TO BE INSTALLED AT THE END OF THE DISTURBED AREA...

SEQUENCE OF CONSTRUCTION. 1. OBTAIN GRADING PERMIT (1 DAY). 2. DEVELOPER/CONTRACTOR SHALL CONDUCT A PRE-CONSTRUCTION MEETING WITH THE SEDIMENT CONTROL INSPECTOR PRIOR TO ANY LAND DISTURBANCE (1 DAY). 3. NOTIFY HOWARD COUNTY BUREAU OF ENVIRONMENTAL CONSTRUCTION INSPECTION...

DETAIL E-1 SILT FENCE. STANDARD SYMBOL: SF-1. CONSTRUCTION SPECIFICATIONS: 1. PLACE STABILIZED CONSTRUCTION ENTRANCE IN ACCORDANCE WITH THE APPROVED PLAN. VEHICLES MUST TRAVEL OVER THE ENTIRE LENGTH OF THE SEE...

DETAIL E-2 AT-GRADE INLET PROTECTION. STANDARD SYMBOL: AIP-1. CONSTRUCTION SPECIFICATIONS: 1. USE 12x12 INCH DIAMETER GALVANIZED STEEL POSTS OF 600 INCH MINIMUM THICKNESS AND SIX FOOT LENGTH SPACED NO FURTHER THAN 10 FEET APART...

DETAIL E-3 CURB INLET PROTECTION. STANDARD SYMBOL: CIP-1. CONSTRUCTION SPECIFICATIONS: 1. USE NONWOVEN GEOTEXTILE AS SPECIFIED IN SECTION H-1 MATERIALS. INSTALL THE 2x4 WITH 2 TO 3 INCH LONG VERTICAL SPACERS (MAXIMUM 6 FEET APART)...

SITE DEVELOPMENT PLAN. SEDIMENT AND EROSION CONTROL NOTES & DETAILS. PADDOCK POINTE - PHASE 2. 278 APARTMENT UNITS. ZONED: TOD. TAX MAP: 50 BLOCK: 10, 8TH ELECTION DISTRICT.

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING. Chief of Development Engineering Division, Chief of Division of Land Development.

OWNER/DEVELOPER CERTIFICATION. I HEREBY CERTIFY THAT ANY CLEARING, CONSTRUCTION, OR DEVELOPMENT WILL BE DONE PURSUANT TO THIS APPROVED EROSION AND SEDIMENT CONTROL PLAN...

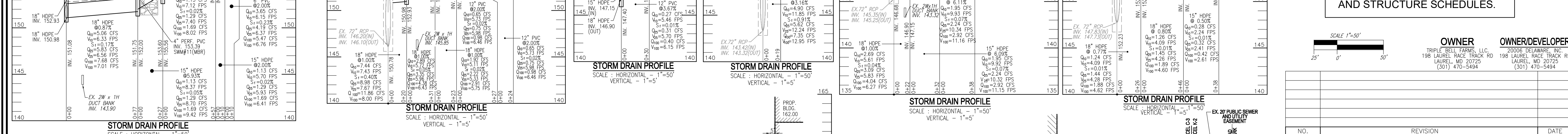
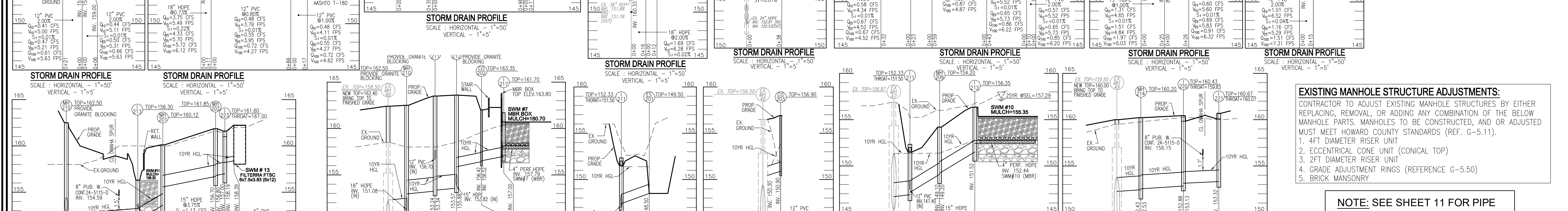
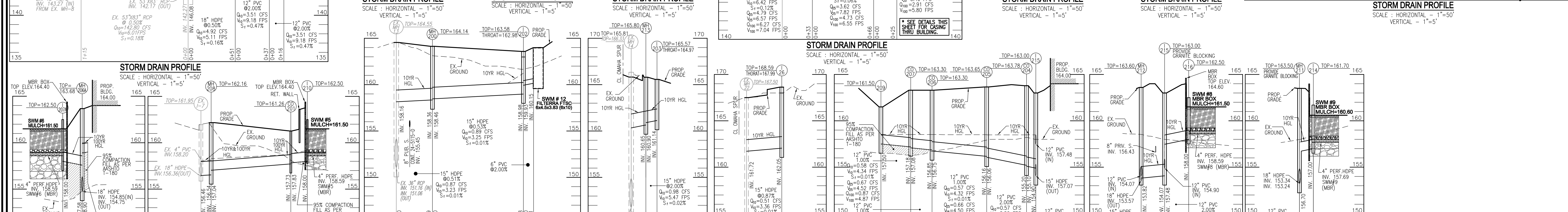
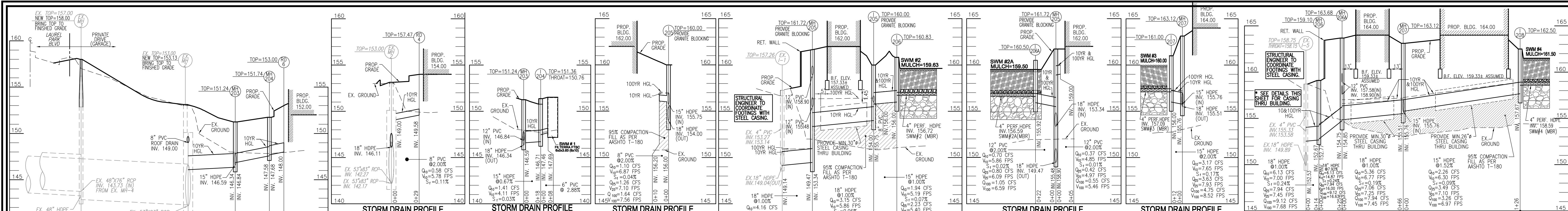
DESIGN CERTIFICATION. I HEREBY CERTIFY THAT THIS PLAN HAS BEEN DESIGNED IN ACCORDANCE WITH CURRENT MARYLAND EROSION AND SEDIMENT CONTROL LAWS, REGULATIONS, AND STANDARDS...

SEAL AND SIGNATURE OF DESIGNER: ROBERT H. VOGEL, REGISTERED PROFESSIONAL ENGINEER, NO. 16193.

SEAL AND SIGNATURE OF OWNER/DEVELOPER: Julian Olin, PRINTED NAME & TITLE.

STATE OF MARYLAND PROFESSIONAL ENGINEER SEAL AND SIGNATURE OF ROBERT H. VOGEL, NO. 16193.

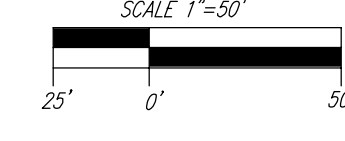
PROFESSIONAL CERTIFICATE. I HEREBY CERTIFY THAT THESE DOCUMENTS HAVE BEEN PREPARED BY ME OR UNDER MY CLOSE PERSONAL SUPERVISION AND APPROVED BY ME AS A DAILY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND...



EXISTING MANHOLE STRUCTURE ADJUSTMENTS:
CONTRACTOR TO ADJUST EXISTING MANHOLE STRUCTURES BY EITHER REPLACING, REMOVING, OR ADDING ANY COMBINATION OF THE BELOW MANHOLE PARTS. MANHOLES TO BE CONSTRUCTED, AND OR ADJUSTED MUST MEET HOWARD COUNTY STANDARDS (REF. G-5.11).

1. 4FT DIAMETER RISE UNIT
2. ECCENTRIC CONE UNIT (CONICAL TOP)
3. 2FT ADAPTER RISE UNIT
4. GRADE ADJUSTMENT RINGS (REFERENCE G-5.50)
5. BRICK MANSONRY

NOTE: SEE SHEET 11 FOR PIPE AND STRUCTURE SCHEDULES.

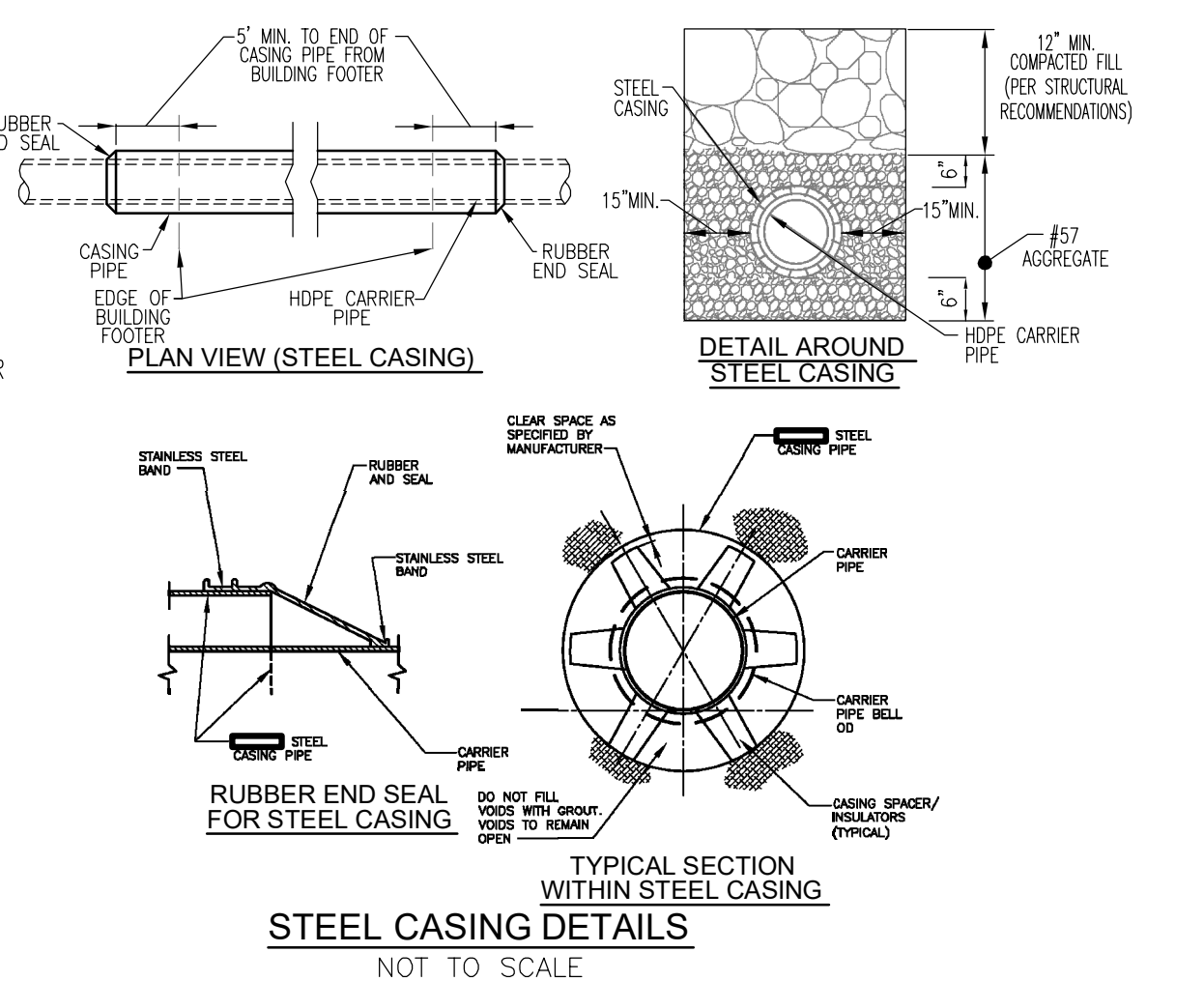


OWNER
TRIPLE BELL FARMS, LLC
198 LAUREL RACE TRACK RD
LAUREL, MD 20725
(301) 470-5494

OWNER/DEVELOPER
20006 DELAWARE, INC.
198 LAUREL RACE TRACK RD
LAUREL, MD 20725
(301) 470-5494

STEEL CASING NOTES:

1. MATERIAL AND INSTALLATION REQUIREMENTS SHALL BE IN ACCORDANCE WITH SPECIFICATION SECTIONS 963 AND 1012.
2. FOR STORM DRAIN THE MINIMUM STEEL CASING DIAMETER SHALL BE A MINIMUM OF 30" WITH A MINIMUM WALL THICKNESS OF 1/2". JOINTS SHALL BE WELDED FULL CIRCUMFERENCE.
3. CASING SPACER/INSULATORS SHALL BE AS SPECIFIED, OR AS APPROVED BY THE COUNTY FOR INSERTING, SUPPORTING, SPACING AND INSULATING THE CARRIER PIPE.
4. A MINIMUM OF 3 SPACER/INSULATORS PER PIPE LENGTH SHALL BE SPACED PER MANUFACTURER'S RECOMMENDATIONS FOR THE CASING AND CARRIER PIPES SPECIFIED.
5. A JOINT IN THE CARRIER PIPE SHALL BE PROVIDED WITHIN 2 FEET OF EACH OUTSIDE END OF CASING.
6. CLEARANCE FROM FOOTER TO CASING PIPE SHALL NOT BE LESS THAN 1', OR FOOTING SHALL BE DESIGNED AROUND CASING.
7. PROVIDE RUBBER END SEAL TRANSITION BETWEEN CARRIER AND CASING PIPES OUTSIDE OF BUILDING FOOTPRINT/FOOTERS.
8. CASING IS SUBJECT TO PROJECT'S STRUCTURAL ENGINEER REVIEW AND APPROVAL.

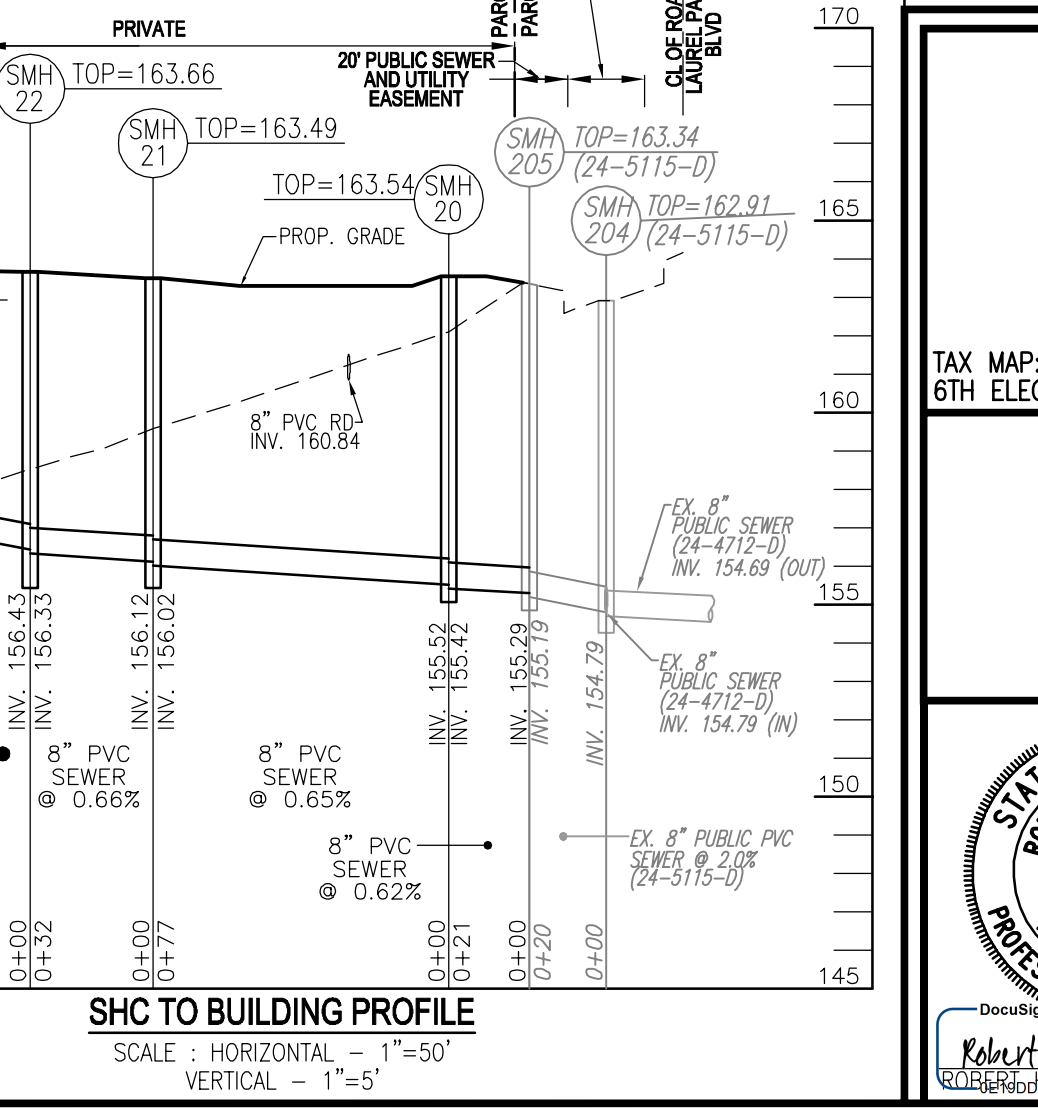
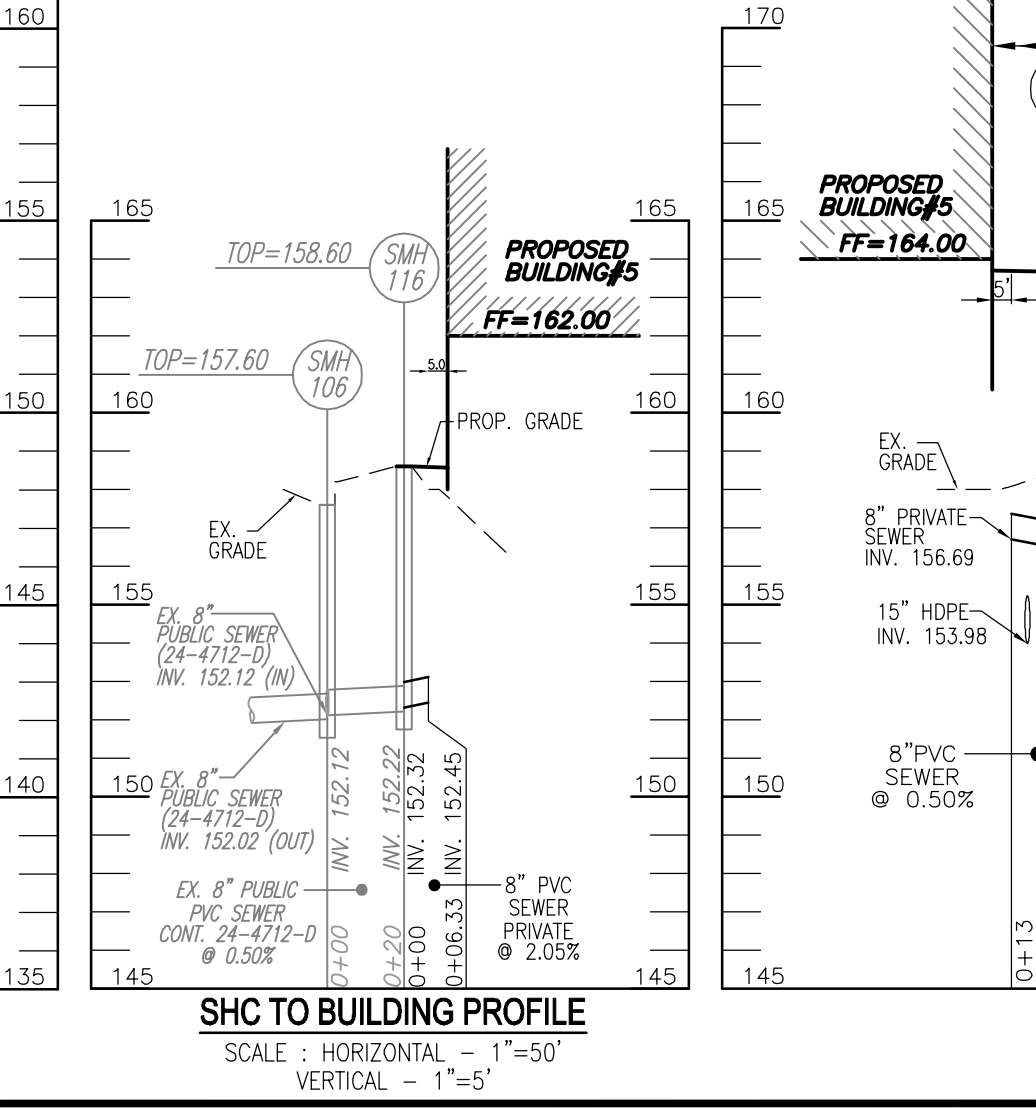
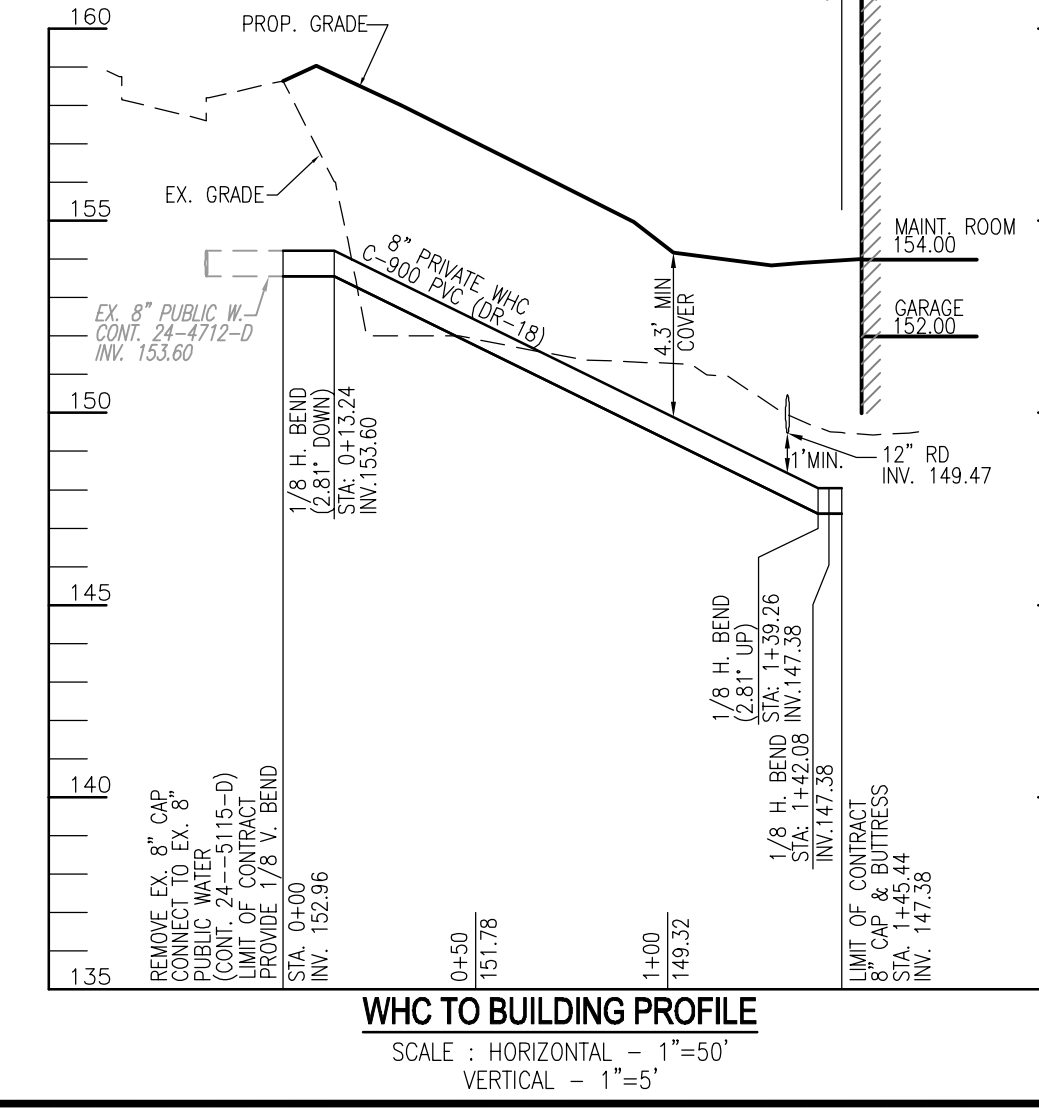


APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

Designated by: *Chad E. Johnson* 8/29/2024
CHIEF DEVELOPMENT ENGINEERING DIVISION DATE

Designated by: *Chad E. Johnson* 8/30/2024
CHIEF DIVISION OF LAND DEVELOPMENT DATE

Designated by: *Lynda E. Finley* 8/30/2024
DIRECTOR DATE



SITE DEVELOPMENT PLAN

UTILITY PROFILES

PADDOCK POINTE - PHASE 2
278 APARTMENT UNITS
ZONED: TOD

TAX MAP: 50 BLOCK: 10
5TH ELECTION DISTRICT

VOGEL ENGINEERING

TIMMONS GROUP
3300 NORTH RIDGE ROAD, SUITE 110, ELLICOTT CITY, MD 21043
P: 410.461.7666 F: 410.461.8961 www.timmons.com

PARCEL 384
PARCELS B-4, B-5, C-2, C-3, C-4, & K-2
HOWARD COUNTY, MARYLAND

PROFESSIONAL CERTIFICATE

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND. MY LICENSE NO. IS 19193. EXPIRATION DATE: 09-27-2024

DESIGN BY: RHY/DZE
DRAWN BY: DZE/XG
CHECKED BY: RHY
DATE: MARCH 2024
SCALE: AS SHOWN
W.O. NO.: 07-11/40111

12 SHEET OF 22

Total Paddock Pointe Weighted Pe:	2.07	(All of Laurel Park)
Target ESDv for Total Paddock Pointe Station:	87,270 c.f.	(Provided under SDP-15-043)
Total ESDv Provided with Phase 1 (under SDP-15-043):	35,544	(Phase 2)
Limit of Disturbance (Phase 2):	6.75 Ac.	(Phase 2)
Phase 2 Development Area:	6.50 Ac.	(Phase 2)
Post-Development Impervious Area (Phase 2):	4.47 Ac.	(Phase 2)
Percent Impervious (Phase 2):	14.92%	(Phase 2)
Target ESDv Required for Phase 2 (Phase 2 % Imp x ESDv of Total Paddock Pointe):	13,024 c.f.	(Prorata based on Phase 2 Impervious Percentage)
Total ESDv Provided with Phase 2 (this project, SDP-15-063):	13,080 c.f.	(CURRENT PLAN, SDP-15-063)
Remaining ESDv for Total Paddock Pointe Project:	38,646 c.f.	(to be provided in future phases)
ESDv-(PexRoA)/12		
Rv=0.05-0.009xI		
Vmin 1yr rainfall = 1"	(1.0x0.95xI)/12	
Vmax 1yr rainfall = 2.6"	(2.6x0.95xI)/12	

RACTICE DA #	RACTICE DA (SF)	RACTICE DA (AC)	IMPERV (SF)	IMPERV (AC)	PERV (SF)	PERV AREA	RACTICE % IMPERV	RACTICE Rv	RACTICE TARGET P _i VOLUME	RACTICE 2.6 MAX VOLUME	TOTAL VOLUME PROVIDED	Rev REQUIRED	Rev PROVIDED	CF	SF	REMARKS
SWM#1 FILTERRA F-25	6,336	0.15	4,835	0.111	1,501	0.03	76	0.74	389	805	389	n/a	n/a			CONTECH FILTERRA FTSC 6x4.5x3.83' (6'x10') Max WQv Treatment Equivalent (cf) WQv Treatment Equivalent Credit Used
SWM#2 MBR (M-6)	13,117	0.30	11,124	0.26	1,993	0.05	85	0.81	889	1,840	2,311	1,561	319	319		MICROSCALE MICRO-BIORETENTION (M-6) 1,275 956 Surface Area of MBR @ 1.0 ponding (75% above) 319 956 Rev Recharge 0.83 x 0.4 (Recharge Vol Req. = 25% of total volume provided below) 287 956 ADDITIONAL STONE 1.00 x 0.3
SWM#2A MBR BOX (M-6)	4,187	0.10	3,931	0.09	256	0.01	94	0.90	312	646	812	341	85	85		MICROSCALE MICRO-BIORETENTION BOX (M-6) 341 256 Surface Area of MBR @ 1.0 ponding (75% above) 85 256 Rev Recharge 0.83 x 0.4 (Recharge Vol Req. = 25% of total volume provided below) 0 256 ADDITIONAL STONE 0.00 x 0.3
SWM#3 MBR (M-6)	21,128	0.49	18,091	0.42	3,037	0.07	86	0.82	1,445	2,991	3,757	1,614	329	329		MICROSCALE MICRO-BIORETENTION (M-6) 1,317 988 Surface Area of MBR @ 1.0 ponding (75% above) 329 988 Rev Recharge 0.83 x 0.4 (Recharge Vol Req. = 25% of total volume provided below) 296 988 ADDITIONAL STONE 1.00 x 0.3
SWM#4 MBR (M-6)	15,086	0.35	12,063	0.28	3,022	0.07	80	0.77	968	2,003	2,516	2,510	555	555		MICROSCALE MICRO-BIORETENTION (M-6) 2,220 1,665 Surface Area of MBR @ 1.0 ponding (75% above) 555 1,665 Rev Recharge 0.83 x 0.4 (Recharge Vol Req. = 25% of total volume provided below) 290 1,665 ADDITIONAL STONE 0.58 x 0.3
SWM#5 MBR BOX (M-6)	3,143	0.07	2,877	0.07	266	0.01	92	0.87	229	474	595	355	89	89		MICROSCALE MICRO-BIORETENTION BOX (M-6) 355 266 Surface Area of MBR @ 1.0 ponding (75% above) 89 266 Rev Recharge 0.83 x 0.4 (Recharge Vol Req. = 25% of total volume provided below) 0 266 ADDITIONAL STONE 0.00 x 0.3
SWM#6 MBR BOX (M-6)	2,522	0.06	2,267	0.05	255	0.01	90	0.86	181	374	469	340	85	85		MICROSCALE MICRO-BIORETENTION BOX (M-6) 340 255 Surface Area of MBR @ 1.0 ponding (75% above) 85 255 Rev Recharge 0.83 x 0.4 (Recharge Vol Req. = 25% of total volume provided below) 0 255 ADDITIONAL STONE 0.00 x 0.3
SWM#7 MBR BOX (M-6)	4,373	0.10	3,703	0.08	670	0.02	85	0.81	296	613	769	563	141	141		MICROSCALE MICRO-BIORETENTION BOX (M-6) 563 422 Surface Area of MBR @ 1.0 ponding (75% above) 141 422 Rev Recharge 0.83 x 0.4 (Recharge Vol Req. = 25% of total volume provided below) 0 422 ADDITIONAL STONE 0.00 x 0.3
SWM#8 MBR BOX (M-6)	3,692	0.08	3,206	0.07	486	0.01	87	0.83	256	530	665	648	162	162		MICROSCALE MICRO-BIORETENTION BOX (M-6) 648 486 Surface Area of MBR @ 1.0 ponding (75% above) 162 486 Rev Recharge 0.83 x 0.4 (Recharge Vol Req. = 25% of total volume provided below) 0 486 ADDITIONAL STONE 0.00 x 0.3
SWM#9 MBR BOX (M-6)	6,556	0.15	5,789	0.13	767	0.02	88	0.84	461	955	1,200	513	128	128		MICROSCALE MICRO-BIORETENTION BOX (M-6) 513 385 Surface Area of MBR @ 1.0 ponding (75% above) 128 385 Rev Recharge 0.83 x 0.4 (Recharge Vol Req. = 25% of total volume provided below) 0 385 ADDITIONAL STONE 0.00 x 0.3
SWM#10 MBR (M-6)	15,958	0.37	11,070	0.25	4,888	0.11	69	0.67	897	1,856	2,331	2,026	455	455		MICROSCALE MICRO-BIO RETENTION (M-6) 1,821 1,366 Surface Area of MBR @ 1.0 ponding (75% above) 455 1,366 Rev Recharge 0.83 x 0.4 (Recharge Vol Req. = 25% of total volume provided below) 255 1,366 ADDITIONAL STONE 0.50 x 0.3
SWM#11 MBR (M-6)	24,763	0.57	10,389	0.24	14,374	0.33	42	0.43	882	1,826	2,294	1,508	308	308		MICROSCALE MICRO-BIO RETENTION (M-6) 1,231 923 Surface Area of MBR @ 1.0 ponding (75% above) 308 923 Rev Recharge 0.83 x 0.4 (Recharge Vol Req. = 25% of total volume provided below) 277 923 ADDITIONAL STONE 1.00 x 0.3
SWM#12 FILTERRA F-20	5,870	0.13	4,369	0.10	1,501	0.03	74	0.72	352	729	915	352	n/a	n/a		CONTECH FILTERRA FTSC 6x4.5x3.83' (6'x10') Max WQv Treatment Equivalent (cf) WQv Treatment Equivalent Credit Used
SWM#13 FILTERRA F-21	9,786	0.22	4,254	0.10	5,533	0.13	43	0.44	360	745	935	360	n/a	n/a		CONTECH FILTERRA FTSC 6x4.5x3.83' (6'x12') Max WQv Treatment Equivalent (cf) WQv Treatment Equivalent Credit Used
TOTALS	136,516	3.13	97,967	2.25	38,549	0.88						13,080	2,486	2,486		

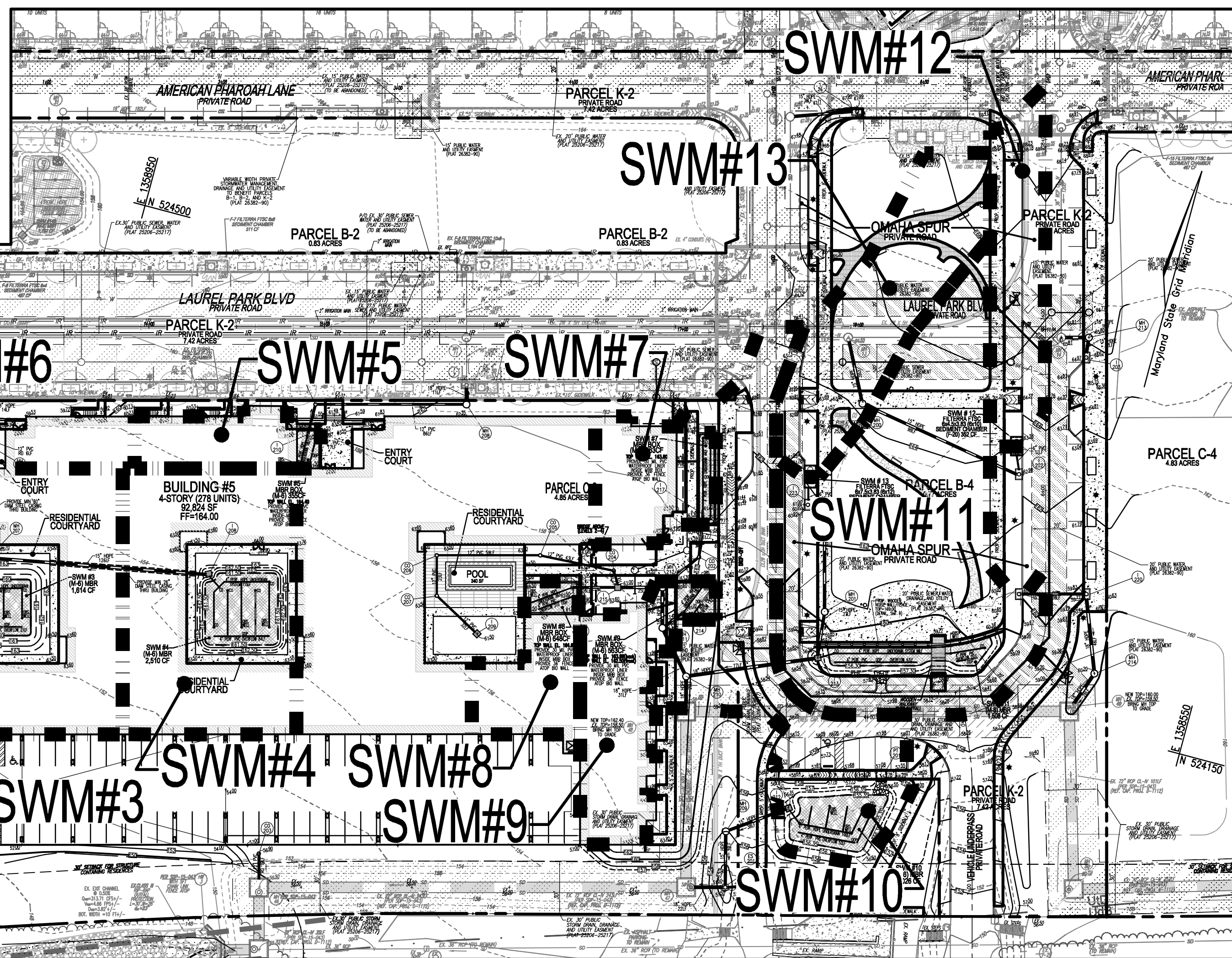
50% Phase 2 Impervious to Manage: 97,325 sf.
 Remaining to Manage: -642 sf.
 Percent Managed: 50.32% <= exceeds minimum 50%

STORMWATER MANAGEMENT DRAINAGE AREA CHART

DA #	DRAINAGE AREA (AC)	PERCENT IMPERVIOUS	ESDv PROVIDED (cf)
SWM#1	0.15	76%	389
SWM#2	0.30	85%	1,561
SWM#2A	0.10	94%	341
SWM#3	0.49	86%	1,614
SWM#4	0.35	80%	2,510
SWM#5	0.07	92%	355
SWM#6	0.06	90%	340
SWM#7	0.10	85%	563
SWM#8	0.08	87%	648
SWM#9	0.15	88%	513
SWM#10	0.37	69%	2,026
SWM#11	0.57	42%	1,508
SWM#12	0.13	74%	352
SWM#13	0.22	43%	360

LEGEND:

- EXISTING CONTOUR
- PROPOSED CONTOUR
- EXISTING SPOT ELEVATION
- PROPOSED SPOT ELEVATION
- EXISTING CURB AND GUTTER
- PROPOSED CURB AND GUTTER
- EXISTING LIGHT POLE
- PROPOSED LIGHT POLE
- EXISTING UTILITY POLE
- EXISTING SANITARY LINE
- EXISTING SANITARY MANHOLE
- EXISTING SIDEWALK
- EXISTING CLEANOUT
- EXISTING FIRE HYDRANT
- EXISTING WATER LINE
- EXISTING FENCE
- EXISTING TREELINE
- EXISTING SIDEWALK
- PROPOSED SIDEWALK
- PROPOSED SIDEWALK RAMP
- PROPERTY LINE
- RIGHT-OF-WAY LINE
- EXISTING STREAM
- EXISTING STREAM BUFFER
- SOILS BOUNDARY
- EX. 100 YEAR PUBLIC FLOODPLAIN, DRAINAGE AND UTILITY EASEMENT
- EX. PUBLIC SEWER, WATER AND UTILITY EASEMENT
- PUBLIC SEWER, WATER AND UTILITY EASEMENT
- DRAINAGE DIVIDE
- PROPOSED STORM DRAIN
- PROPOSED CLEANOUT
- PROPOSED DIVERSION MANHOLE
- PROPOSED MANHOLE
- PROPOSED STORM DRAIN INLET
- EXISTING STREET TREE
- SDP-15-043



PLAN VIEW
 SCALE: 1"=50'
 SCALE: 1"=50'

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

DocuSigned by: *Chad E. Johnson* 8/29/2024
 CHIEF DEVELOPMENT ENGINEERING DIVISION DATE

DocuSigned by: *Linda Eisenberg* 8/30/2024
 CHIEF DIVISION OF LAND DEVELOPMENT DATE
 DIRECTOR 8/30/2024 DATE

OWNER: TRIPLE BELL FARMS, LLC
 198 LAUREL RACE TRACK RD
 LAUREL, MD 20725
 (301) 470-5494

OWNER/DEVELOPER: 2000E DELAWARE, INC.
 198 LAUREL RACE TRACK RD
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SITE DEVELOPMENT PLAN
 STORMWATER MANAGEMENT DRAINAGE AREA MAP
 PADDOCK POINTE - PHASE 2
 278 APARTMENT UNITS
 ZONED: TOD

TAX MAP: 50 BLOCK: 10
 6TH ELECTION DISTRICT

PARCEL 384
 PARCELS B-4, B-5, C-2,
 C-3, C-4, & K-2
 HOWARD COUNTY, MARYLAND

VOGEL ENGINEERING
 TIMMONS GROUP

3300 NORTH RIDGE ROAD, SUITE 110, ELLICOTT CITY, MD 21043
 P: 410.461.7666 F: 410.461.8961 www.timmons.com

DESIGN BY: RHY/DZE
 DRAWN BY: DZE/XG
 CHECKED BY: RHY
 DATE: MARCH 2024
 SCALE: AS SHOWN
 W.O. NO.: 07-11/40111

PROFESSIONAL CERTIFICATE
 I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.
 EXPIRATION DATE: 09-27-2024

STATE OF MARYLAND
 ROBERT H. VOGEL
 REGISTERED PROFESSIONAL ENGINEER
 No. 16193

13 SHEET OF 22
 SDP-15-063

PRIVATE STREET TREE CALCULATIONS

STREET NAME	LINEAR FEET	NO. REQUIRED	NO. PROVIDED
OMAHA SPUR (R442) + 11W (1 SR)	1,346/40	34	34

PLANT LIST - SCHEDULE B (PARKING LOT)

KEY	QUAN.	BOTANICAL NAME	SIZE	CAT
GT	2	GLEDITSIA TRICANTHOS 'INERMIS' IMPERIAL IMPERIAL HONEY LOCUST	2.5"-3" CAL	B & B

PRIVATE STREET TREE PLANT LIST (ST)

KEY	QUAN.	BOTANICAL NAME	SIZE	REM.
AR	34	ACER RUBRUM 'RED SUNSET' RED SUNSET RED MAPLE	2 1/2"-3" CAL	B & B

SCHEDULE A PERIMETER LANDSCAPE EDGE

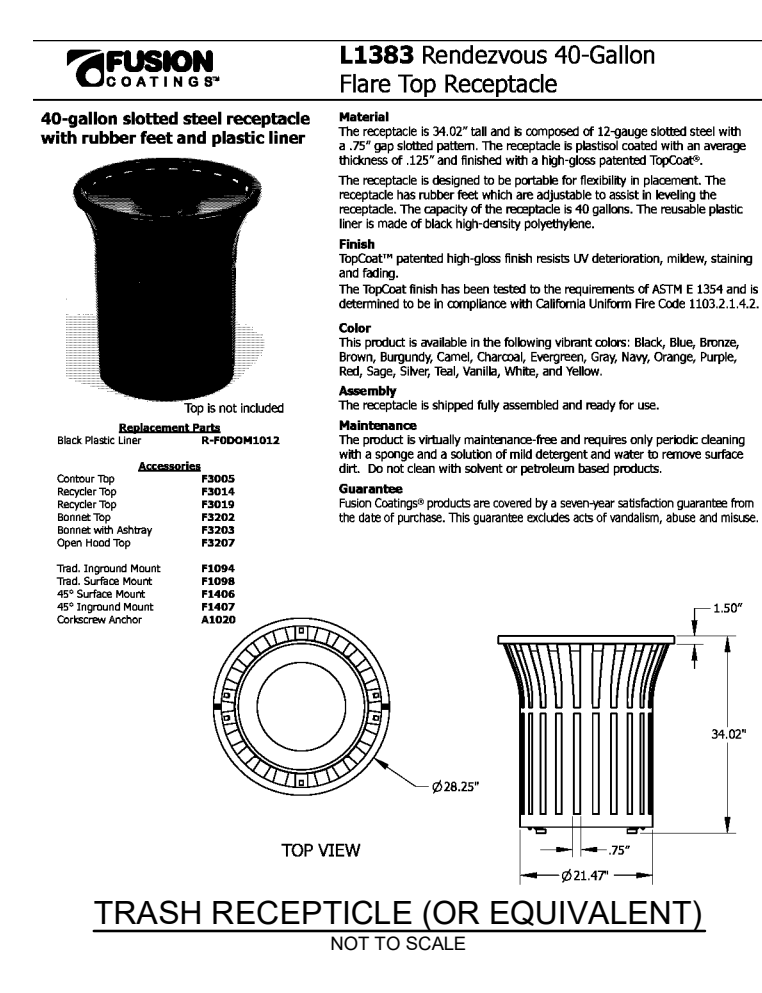
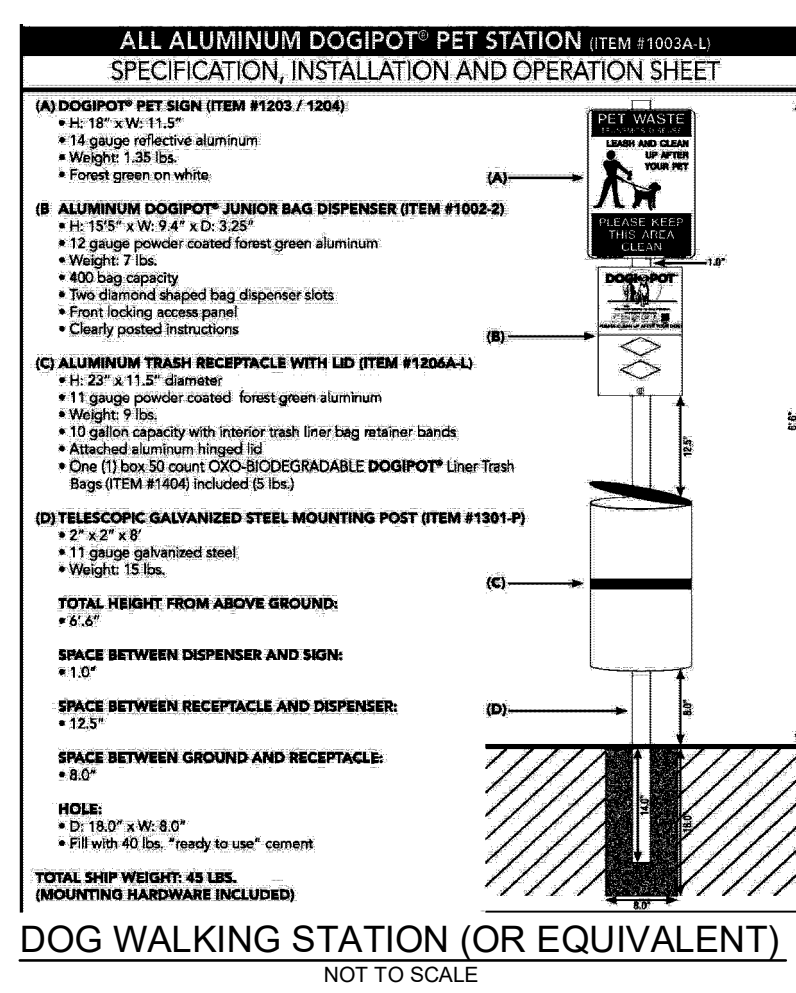
CATEGORY	ADJACENT TO PERIMETER	TOTAL
PERIMETER/FRONTAGE DESIGNATION	A	908
LANDSCAPE TYPE		
CREDIT FOR EXISTING VEGETATION (YES, NO, LINEAR FEET)	No	
CREDIT FOR WALL, FENCE OR BERM (YES, NO, LINEAR FEET)	No	
NUMBER OF PLANTS REQUIRED		87 APT
SHADE TREES	1:60	16
EVERGREEN TREES	1:16	16
NUMBER OF PLANTS PROVIDED	16	16
SHADE TREES		
EVERGREEN TREES		
OTHER TREES (2:1 SUBSTITUTION)		
SHRUBS (10:1 SUBSTITUTION)		
DESCRIBE PLANT SUBSTITUTION CREDITS BELOW IF NEEDED		

PLANT LIST - SCHEDULE C (RESIDENTIAL)

KEY	QUAN.	BOTANICAL NAME	SIZE	CAT
BN	26	BETULA NIAGARA 'NITVIT' DURA-HEAT RIVER BIRCH	10'-12" HGT	B & B
AA	15	ACER RUBRUM 'ARMSTRONG' ARMSTRONG COLUMNAR RED MAPLE	2.5"-3" CAL	B & B
GP	15	QUERCUS PALUSTRIS 'GREEN PILLAR' FASTIGIATE PIN OAK	2.5"-3" CAL	B & B
AB	2	ACER BUERGERIANUM TRIDENT MAPLE	2.5"-3" CAL	B & B
CC	3	CERCIS CANADENSIS EASTERN REDBUD	1.5"-2" CAL	B & B
MS	7	MAGNOLIA X SOULANGIANA SAUCEUR MAGNOLIA	6"-8" HGT.	B & B
CF	9	CORNUS FLORIDA WHITE FLOWERING DOGWOOD	8"-10" HGT.	B & B
PS	12	PINUS STROBUS EASTERN WHITE PINE	6"-8" HT.	B & B
TO	35	THUJA OCCIDENTALIS 'GREEN EMERALD' WHITE CEDAR	6"-8" HT.	B & B
GB	4	GINKGO BILOBATA 'FASTIGIATA' FASTIGIATED MAENHOLM TREE (MALE ONLY)	2.5"-3" CAL	B & B
TOTAL	58	LARGE SHADE OTHER TREES		

PLANT LIST - SCHEDULE A (PERIMETER)

SYMB.	KEY	QUANTITY	BOTANICAL NAME	SIZE	CAT
ZS	16	ZELKOVA SERRATA 'VILLAGE GREEN' VILLAGE GREEN JAPANESE ZELKOVA	2.5"-3" CAL	B & B	

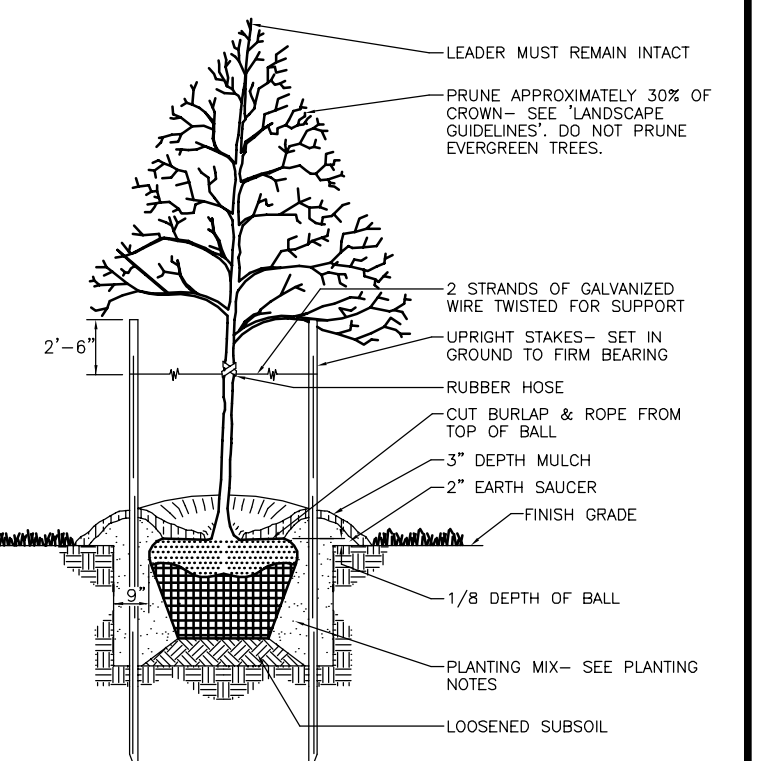
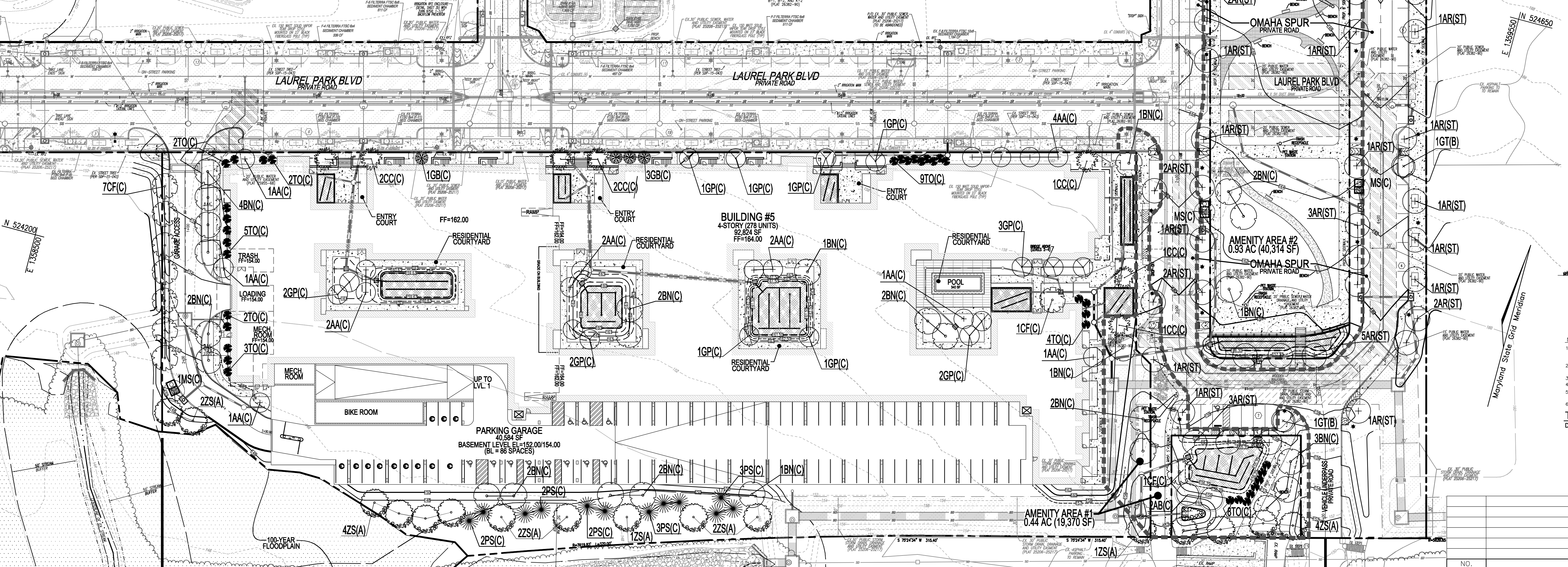
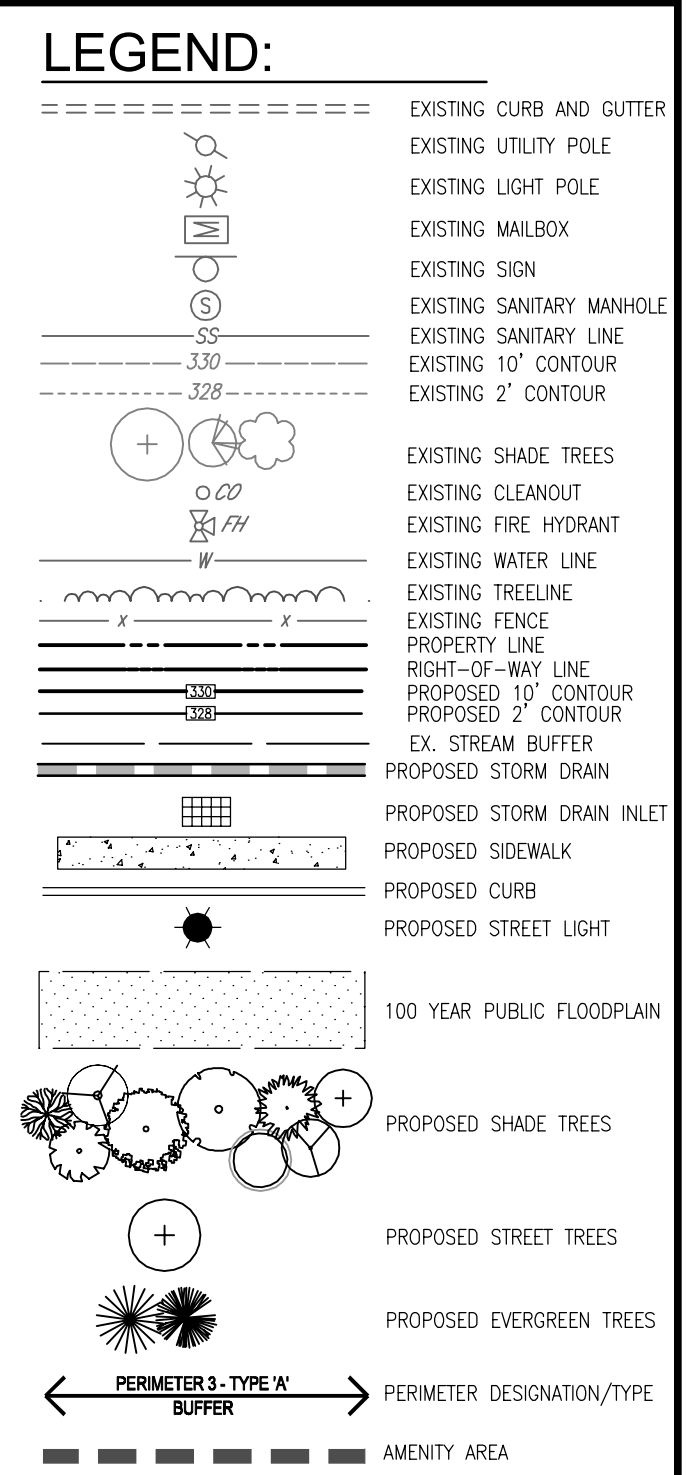


PADDOCK POINTE OVERALL PUBLIC AMENITY AREA CHART
4.85 AC. REQUIRED

PLAN	AMENITY AREA (SF)	AMENITY AREA (AC)	PROVIDED	REMAINING
LAUREL PARK SDP-15-043 PHASE 1 (220 UNITS) TOTAL	2,644	0.44	2.21	0.44
LAUREL PARK SDP-15-063 PHASE 2 (260 UNITS) TOTAL	1,374	0.20	1.17	0.44
TOTALS	4,018	0.64	3.38	0.44

Paddock Pointe - Phase 2 PUBLIC AMENITY AREA CHART

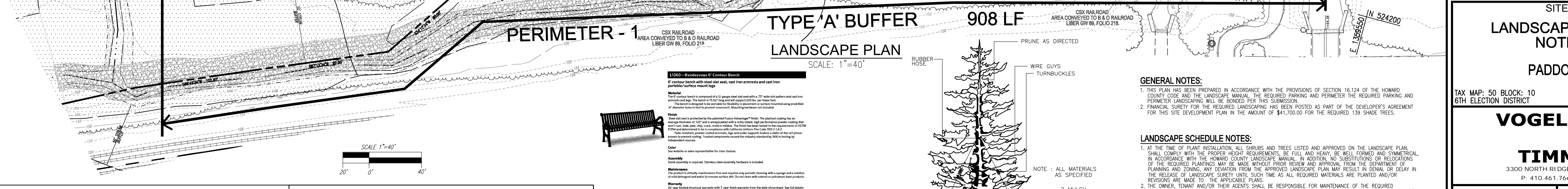
AMENITY #	AMENITY AREA (SF)	AMENITY AREA (AC)
1	19,370	0.44
2	40,314	0.93
TOTALS	59,684	1.37



- NOTES**
- SEE "LANDSCAPE SPECIFICATION GUIDELINES FOR BALTIMORE - WASHINGTON METROPOLITAN AREAS" FOR ALL MATERIAL, PRODUCT, AND PROCEDURE SPECIFICATIONS.
 - SEE "LANDSCAPE GUIDELINES" FOR SUPPORTING TREES LARGER THAN 2-1/2" CALIPER.
 - PLACE UPRIGHT STAKES PARALLEL TO WALKS & BUILDINGS.
 - KEEP MULCH 1" FROM TRUNK.
 - SEE ARCHITECTURAL PLANS FOR ADDITIONAL PLANTINGS WHICH EXCEED HOWARD COUNTY MINIMUM REQUIREMENTS.
 - TREES ARE NOT TO BE PLANTED OVER PRIVATE SEWAGE EXISTENT.
- TREE PLANTING AND STAKING**
DECIDUOUS TREES UP TO 2-1/2" CALIPER NOT TO SCALE

OWNER
TRIPLE BELL FARMS, LLC
198 LAUREL RACE TRACK RD
LAUREL, MD 20725
(301) 470-5494

OWNER/DEVELOPER
20006 DELAWARE, INC.
198 LAUREL RACE TRACK RD
LAUREL, MD 20725
(301) 470-5494



APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

DocuSigned by:
Julian Plin
8/29/2024

DocuSigned by:
Julian Plin
8/30/2024

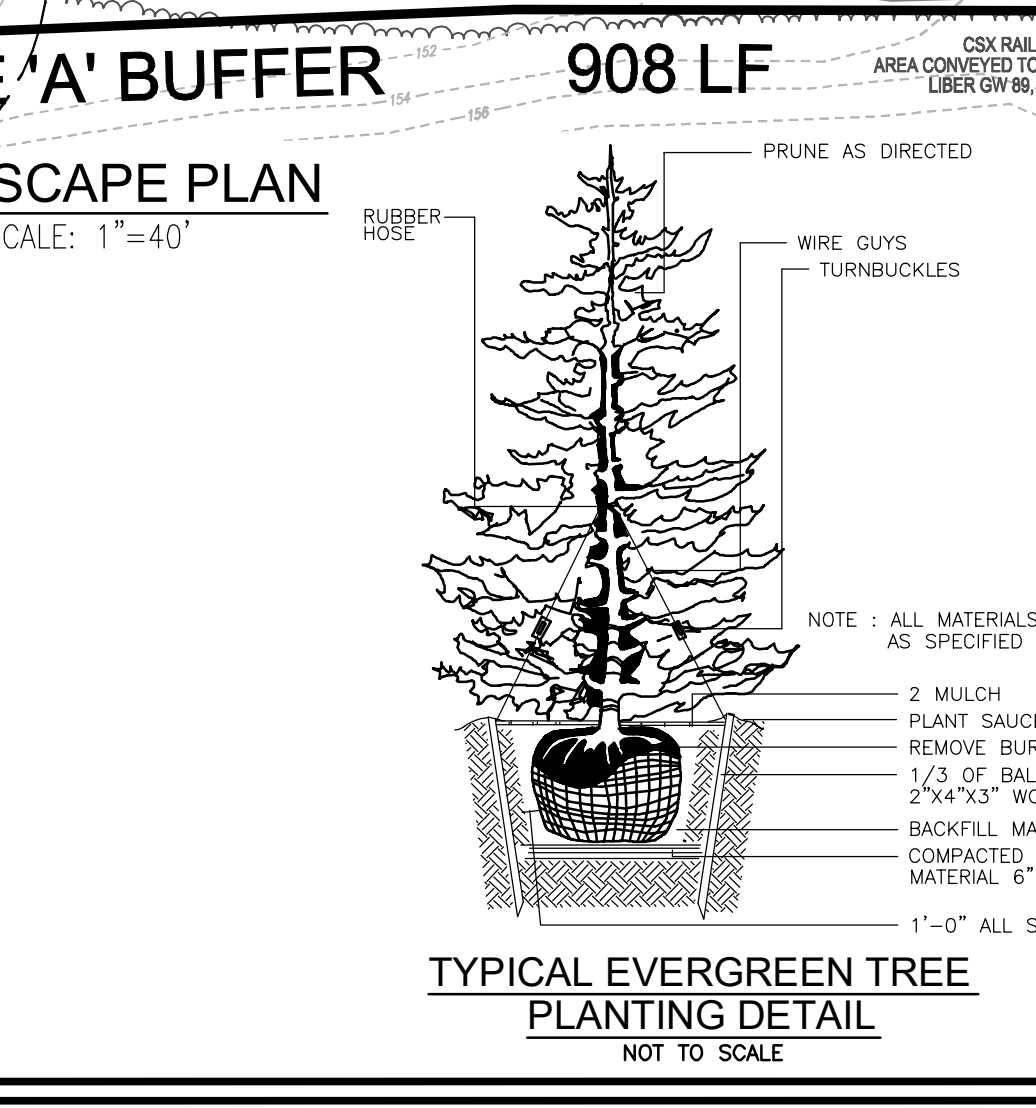
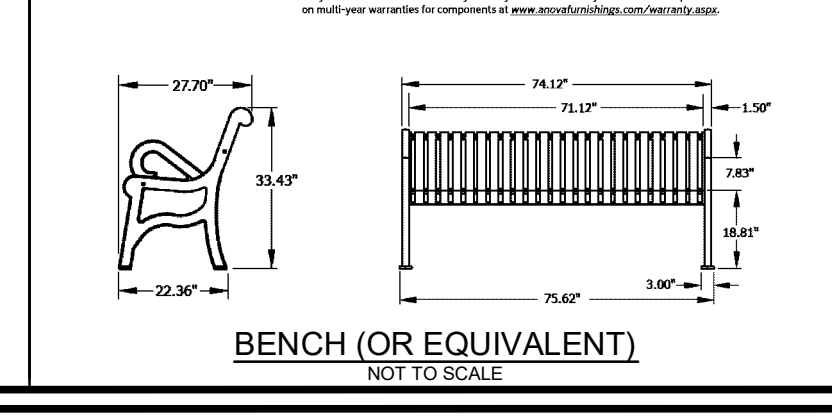
DocuSigned by:
Julian Plin
8/30/2024

DocuSigned by:
Julian Plin
8/30/2024

DEVELOPER'S/BUILDER'S CERTIFICATE

I/WE CERTIFY THAT THE LANDSCAPING SHOWN ON THIS PLAN WILL BE DONE ACCORDING TO THE PLAN, SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE HOWARD COUNTY LANDSCAPE MANUAL. I/WE FURTHER CERTIFY THAT UPON COMPLETION, A CERTIFICATION OF LANDSCAPE INSTALLATION, ACCOMPANIED BY AN EXECUTED ONE (1) YEAR GUARANTEE OF PLANT MATERIALS, WILL BE SUBMITTED TO THE DEPARTMENT OF PLANNING AND ZONING.

DocuSigned by:
Julian Plin
8/27/2024



GENERAL NOTES:

- THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE PROVISIONS OF SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL. THE REQUIRED PARKING AND PERIMETER LANDSCAPING WILL BE REVIEWED FOR THIS SUBMISSION.
- FINANCIAL SURETY FOR THE REQUIRED LANDSCAPING HAS BEEN POSTED AS PART OF THE DEVELOPER'S AGREEMENT FOR THIS SITE DEVELOPMENT PLAN IN THE AMOUNT OF \$41,700.00 FOR THE REQUIRED 139 SHADE TREES.

LANDSCAPE SCHEDULE NOTES:

- AT THE TIME OF PLANT INSTALLATION, ALL SHRUBS AND TREES LISTED AND APPROVED ON THE LANDSCAPE PLAN SHALL COMPLY WITH THE PROPER HEIGHT REQUIREMENTS, BE FULL AND HEAVY, BE WELL FORMED AND SYMMETRICAL, IN ACCORDANCE WITH THE HOWARD COUNTY LANDSCAPE MANUAL. IN ADDITION, NO SUBSTITUTIONS OR RELATIONS OF THE REQUIRED PLANTINGS MAY BE MADE WITHOUT PRIOR REVIEW AND APPROVAL FROM THE DEPARTMENT OF PLANNING AND ZONING. ANY DEVIATION FROM THE APPROVED LANDSCAPE PLAN MAY RESULT IN DENIAL OR DELAY IN THE RELEASE OF LANDSCAPE SURETY UNTIL SUCH TIME AS ALL REQUIRED MATERIALS ARE PLANTED AND/OR REMOVED ARE MADE TO THE APPLICABLE PLANS.
- THE OWNER, TENANT AND/OR THEIR AGENTS SHALL BE RESPONSIBLE FOR MAINTENANCE OF THE REQUIRED LANDSCAPING, INCLUDING BOTH PLANT MATERIALS AND BEAMS, FENCES AND WALLS. ALL PLANT MATERIALS SHALL BE MAINTAINED IN GOOD GROWING CONDITION, AND WHEN NECESSARY, REPLACED WITH NEW MATERIALS TO ENSURE CONTINUED COMPLIANCE WITH APPLICABLE REGULATIONS. ALL OTHER REQUIRED LANDSCAPING SHALL BE PERMANENTLY MAINTAINED IN GOOD CONDITION, AND WHEN NECESSARY, REPAIRED OR REPLACED.
- SHOULD ANY TREE DESIGNATED FOR PRESERVATION FOR WHICH LANDSCAPING CREDIT IS GIVEN, DIE PRIOR TO RELEASE OF BONDS, THE OWNER WILL BE REQUIRED TO REPLACE THE TREE WITH THE EQUIVALENT SPECIES OR WITH A TREE WHICH WILL OBTAIN THE SAME HEIGHT, SPREAD, AND GROWTH CHARACTERISTICS. THE REPLACEMENT TREE MUST BE A MINIMUM OF 2" CALIPER AND INSTALLED AS REQUIRED IN THE HOWARD COUNTY LANDSCAPE MANUAL.
- CONTRACTOR SHALL VERIFY LOCATION OF ALL UNDERGROUND UTILITIES PRIOR TO DIGGING.
- FINAL LOCATION OF PLANT MATERIAL MAY VARY TO MEET FINAL FIELD CONDITIONS. TREES SHALL NOT BE PLANTED IN THE BOTTOM OF DRAINAGE SWALES.
- CONTRACTOR SHALL VERIFY PLANT QUANTITIES PRIOR TO BIDDING. IF PLAN DIFFERS FROM LANDSCAPE SCHEDULE, THE PLAN SHALL GOVERN.

NOTE:
SEE SHEET 17 FOR PEDESTRIAN STREET LIGHTING DETAILS.

**SITE DEVELOPMENT PLAN
LANDSCAPE AND AMENITY PLAN;
NOTES AND DETAILS**

PADDOCK POINTE - PHASE 2
278 APARTMENT UNITS
ZONED: TOD

TAX MAP: 50 BLOCK: 10
5TH ELECTION DISTRICT

PARCEL 384
PARCELS B-4, B-5, C-2
C-3, C-4, & K-2
HOWARD COUNTY, MARYLAND

VOGEL ENGINEERING
TIMMONS GROUP

3300 NORTH RIDGE ROAD, SUITE 110, ELLICOTT CITY, MD 21043
P: 410.461.7666 F: 410.461.8961 www.timmons.com

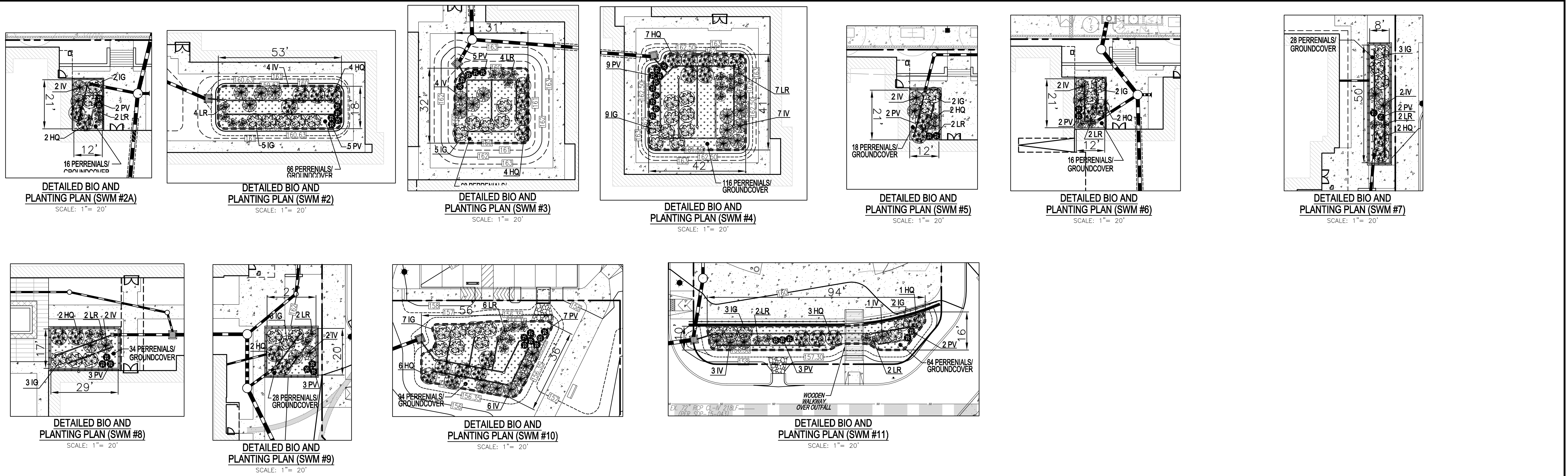
DESIGN BY: RHY/DZE
DRAWN BY: DZE/XG
CHECKED BY: RHY
DATE: MARCH 2024
SCALE: AS SHOWN
W.O. NO.: 07-11/40111

PROFESSIONAL CERTIFICATE
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.
EXPIRATION DATE: 09-27-2024

Robert H. Vogel, PE No. 16193

15 SHEET OF 22

SDP-15-063



PERENNIALS/GROUNDCOVER PLANTING SCHEDULE				
LEGEND	QTY	BOTANICAL NAME/COMMON NAME	SIZE	REMARKS
	274	BAPTISIA AUSTRALIS FALSE INDIGO	4" POT	12"-15" O.C. FOR SIDES AND BOTTOM OF MBR. MIX ALL VARIETIES IN A NATURALIZED RANDOM PATTERN THROUGHOUT. PLANT IN GROUPS OF NO LESS THAN 9 PLANTS PER CLUMP.
	274	ACORUS GRAMINEUS 'OGON' GOLDEN VARIEGATED SWEET FLAG	1 QT.	

BIORETENTION PLANTING SCHEDULE (SHRUB/ORNIMENTAL GRASSES)				
LEGEND/KEY	QTY	BOTANICAL NAME/COMMON NAME	SIZE	SPACING
	46	ILEX GLABRA "SHAMROCK" INKBERRY HOLLEY	1 GALLON	18" O.C.
	37	ITEA VIRGINICA "HENRY'S GARNETT" VIRGINIA SWEETSPICE	1 GALLON	18" O.C.
	37	HYDRANGEA QUERCIFOLIA OAKLEAF HYDRANGEA	1 GALLON	30" O.C.
	37	LEUCOCEO RACEMOSA FETTERBUSH	1 GALLON	30" O.C.
	45	PANICUM VIRGATUM SWITCHGRASS	1 GALLON	36" O.C.

MICRO-BIORETENTION PLANTING REQUIREMENTS					PLANTINGS PROVIDED					PERENNIALS/GROUND COVER		
MBR #	LF	AREA	STEMS REQUIRE D (0.0229)	STEMS PROVIDE D	IG	IV	HQ	LR	PV	BA	AG	TOTAL
2A	66	256	6	10	2	2	2	2	2	8	8	16
2	137	956	22	22	5	4	4	4	5	33	33	66
3	121	988	23	22	5	4	4	4	5	34	34	68
4	158	1665	39	39	9	7	7	7	9	58	58	116
5	68	266	7	10	2	2	2	2	2	9	9	18
6	66	255	6	10	2	2	2	2	2	8	8	16
7	118	422	10	11	3	2	2	2	2	14	14	28
8	91	486	12	12	3	2	2	2	3	17	17	34
9	82	420	10	12	3	2	2	2	3	14	14	28
10	154	1366	32	32	7	6	6	6	7	47	47	94
11	206	923	22	22	5	4	4	4	5	32	32	64
TOTALS:	1267	8003	189	202	46	37	37	37	45	274	274	548

BIORETENTION AREAS ARE TO BE PLANTED BASED ON A MINIMUM DENSITY OF 1000 STEMS PER PLANTED ACRE (0.0229 STEMS PER SQUARE FOOT).

OWNER
TRIPLE BELL FARMS, LLC
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(301) 470-5494

OWNER/DEVELOPER
20006 DELAWARE, INC.
198 LAUREL RACE TRACK RD
LAUREL, MD 20725
(301) 470-5494

NO.	REVISION	DATE

SITE DEVELOPMENT PLAN
STORMWATER MANAGEMENT
MICRO-BIORETENSION PLANTINGS

PADDOCK POINTE - PHASE 2
278 APARTMENT UNITS
ZONED: TOD

PARCEL 384
PARCELS B-4, B-5, C-2,
C-3, C-4, & K-2
HOWARD COUNTY, MARYLAND

TAX MAP: 50 BLOCK: 10
6TH ELECTION DISTRICT

VOGEL ENGINEERING
TIMMONS GROUP

3300 NORTH RIDGE ROAD, SUITE 110, ELLICOTT CITY, MD 21043
P: 410.461.7666 F: 410.461.8961 www.timmons.com

Robert H. Vogel
PE No. 16193

PROFESSIONAL CERTIFICATE

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 16193, EXPIRATION DATE: 09-27-2024.

DESIGN BY: RHV/DZE
DRAWN BY: DZE/XG
CHECKED BY: RHV
DATE: MARCH 2024
SCALE: AS SHOWN
W.O. NO.: 07-11/40111

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

DocuSigned by:
Chad E. Johnson
8/29/2024

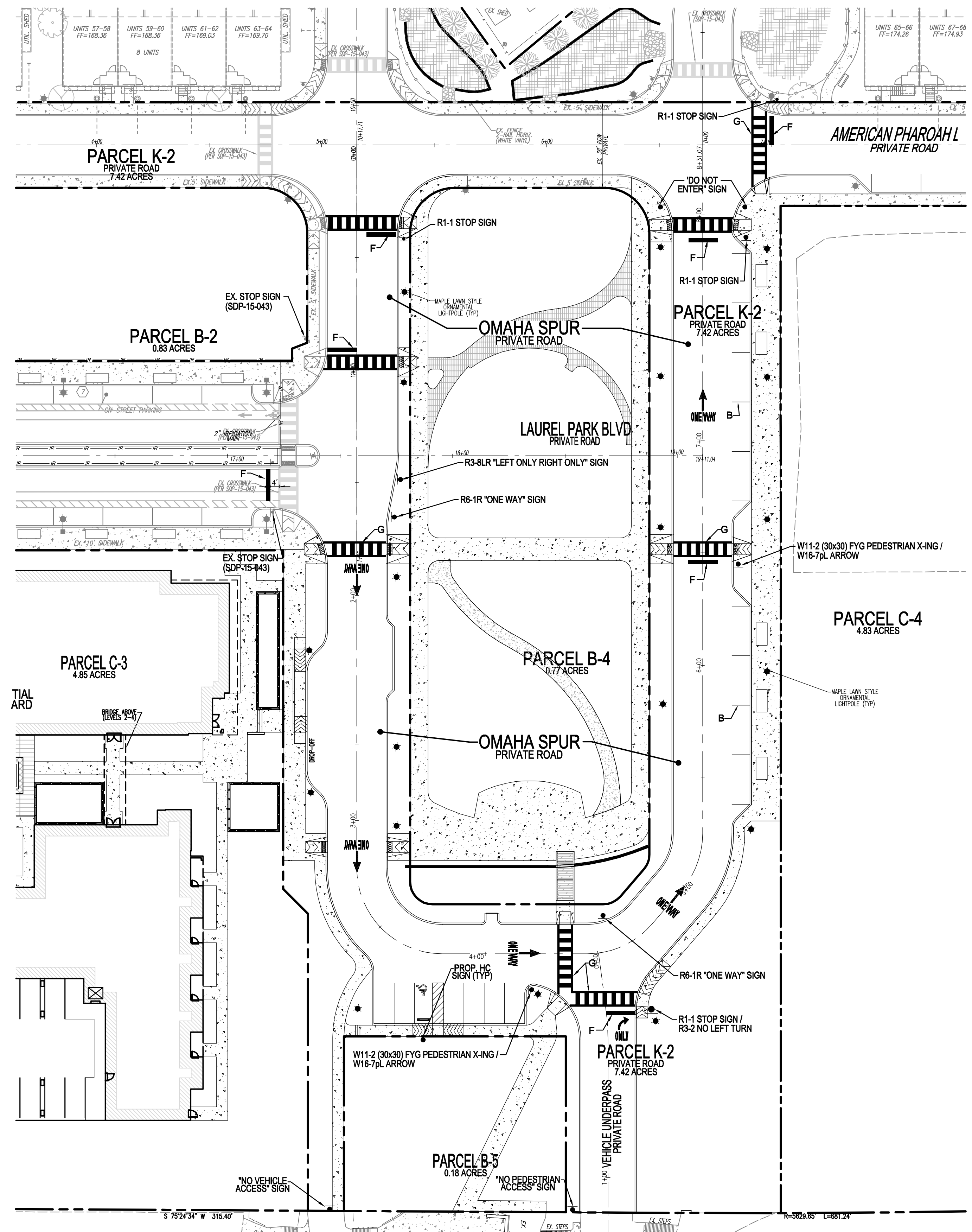
CHIEF DEVELOPMENT ENGINEERING DIVISION DATE

DocuSigned by:
Chad E. Johnson
8/30/2024

CHIEF DIVISION OF LAND DEVELOPMENT DATE

DocuSigned by:
Linda Eisenberg
8/30/2024

DIRECTOR DATE



- LEGEND**
- PROPOSED SIGN
 - EXISTING SIGN
 - EXISTING STREET LIGHT (SEE LGT/CIVIL PLANS)
 - PROPOSED STREET LIGHT (SEE LGT/CIVIL PLANS)

- PAVEMENT MARKING LEGEND**
- ① 5" SOLID WHITE PAINT LINE
 - ② ONE WAY LANE ARROW
 - ③ 24" WIDE WHITE SOLID PAVEMENT MARKING FOR STOP LINE
 - ④ HOWARD COUNTY CROSSWALK

STREET LIGHT TABLE			
STREET NAME	STA.	OFFSET	FIXTURE TYP
OMAHA SPUR	0+65.19	21.17L	MAPLE LAWN STYLE ORNAMENTAL LIGHT ON 12' BLACK POLE
OMAHA SPUR	1+05.38	21.17L	
OMAHA SPUR	1+91.81	17.67L	
OMAHA SPUR	2+24.39	21.11R	
OMAHA SPUR	2+67.22	17.67L	
OMAHA SPUR	2+87.52	20.42R	
OMAHA SPUR	3+02.31	17.67L	
OMAHA SPUR	3+60.27	34.80R	
OMAHA SPUR	4+23.36	17.87R	
OMAHA SPUR	5+27.23	21.53R	
OMAHA SPUR	5+82.80	17.67L	
OMAHA SPUR	5+97.35	28.60R	
OMAHA SPUR	6+61.31	18.67L	
OMAHA SPUR	6+64.84	28.67R	
OMAHA SPUR	7+28.07	28.67R	
OMAHA SPUR	7+28.43	18.67L	
OMAHA SPUR	7+85.06	28.67R	
OMAHA SPUR	7+85.72	18.67L	
VEHICLE UNDERPASS	0+31.86	21.46L	



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(301) 470-5494

NO.	REVISION	DATE

SITE DEVELOPMENT PLAN
PAVEMENT MARKING, SIGNAGE AND LIGHT LOCATION PLAN
PADDOCK POINTE - PHASE 2
278 APARTMENT UNITS
ZONED: TOD

TAX MAP: 50 BLOCK: 10
6TH ELECTION DISTRICT

PARCEL 384
PARCELS B-4, B-5, C-2,
C-3, C-4, & K-2
HOWARD COUNTY, MARYLAND

VOGEL ENGINEERING
TIMMONS GROUP
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DESIGN BY: RHY/DZE
DRAWN BY: DZE/XGS
CHECKED BY: RHY
DATE: MARCH 2024
SCALE: AS SHOWN
W.O. NO.: 07-11/40111

Robert H. Vogel
REGISTERED PROFESSIONAL ENGINEER
No. 16193

17 OF 22

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

DocuSigned by:
Linda Finberg
8/29/2024

DocuSigned by:
Linda Finberg
8/30/2024

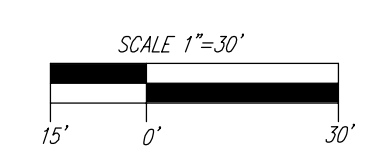
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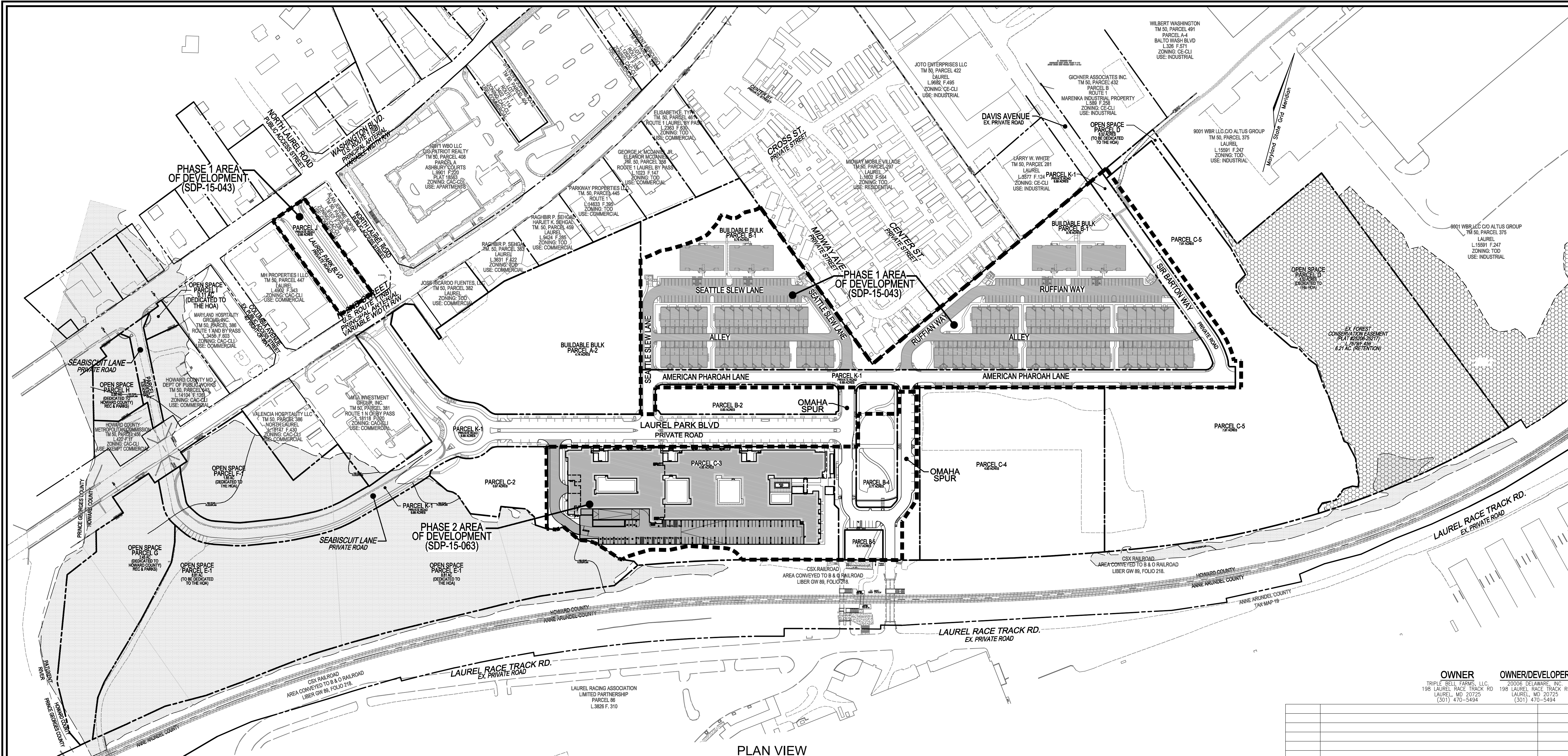
DocuSigned by:
Linda Finberg
8/30/2024

PAVEMENT MARKING AND SIGNAGE PLAN
SCALE: 1" = 30'

NOTES

1. ALL SIGN LOCATIONS ARE APPROXIMATE. HOWARD COUNTY TRAFFIC DIVISION SHALL FIELD APPROVE OR MARK ALL SIGN LOCATIONS PRIOR TO ANY SIGNS BEING INSTALLED. CALL 410-313-5752.





PLAN VIEW
SCALE: 1"=120'

TOD RESIDENTIAL DEVELOPMENT TRACKING		
GROSS AREA (PADDOCK POINTE PROJECT)	63.34 AC	
MINUS FLOODPLAIN & STEEP SLOPES	14.84 AC	
DEVELOPABLE ACREAGE (NET)	48.50 AC	
50% OF DEVELOPABLE AREA (NOT TO EXCEED)	24.25 AC	
PHASE/PROJECT	AREA	% OF NET
PHASE 1 RESIDENTIAL AREA (SDP-15-043)	5.59 AC	11.52%
PHASE 2 RESIDENTIAL AREA (SDP-15-063)	3.23 AC	6.67%
TOTAL	8.82 AC	18.19%

LEGEND

TOD RESIDENTIAL AREA

100-YR FLOODPLAIN

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

DocuSign by: *Chad E. Johnson* DATE: 8/29/2024

CHIEF OF DEVELOPMENT ENGINEERING DIVISION

DocuSign by: *Linda Eisenberg* DATE: 8/30/2024

CHIEF OF DIVISION OF LAND DEVELOPMENT

DocuSign by: *Linda Eisenberg* DATE: 8/30/2024

DIRECTOR

OWNER
TRIPLE BELL FARMS, LLC
198 LAUREL RACE TRACK RD
LAUREL, MD 20725
(301) 470-5494

OWNER/DEVELOPER
20006 DELAWARE, INC.
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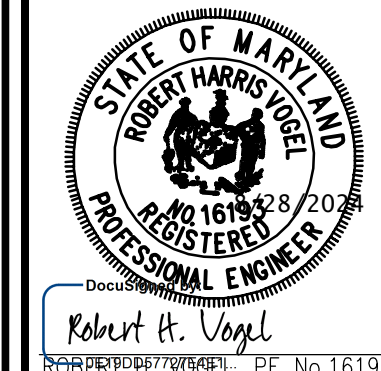
SITE DEVELOPMENT PLAN
RESIDENTIAL DEVELOPMENT
AREA EXHIBIT

PADDOCK POINTE - PHASE 2
278 APARTMENT UNITS
TAX MAP: 50 BLOCK: 10
6TH ELECTION DISTRICT

ZONED: TOD

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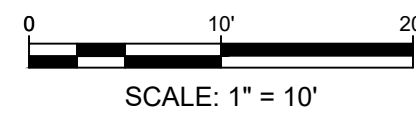
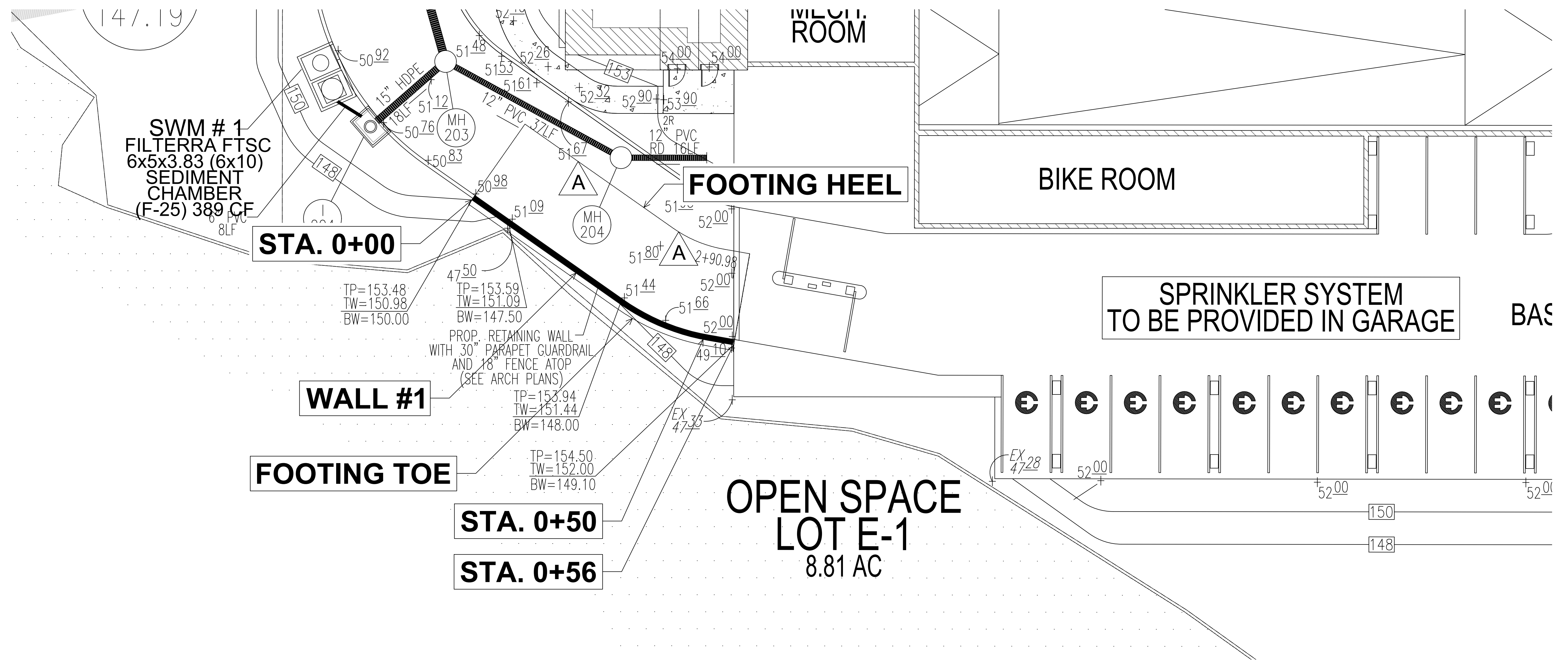
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DESIGN BY: RHY/DZE
DRAWN BY: DZE/XGS
CHECKED BY: RHY
DATE: MARCH 2024
SCALE: AS SHOWN
W.O. NO.: 07-11/40111

PROFESSIONAL CERTIFICATE
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DAILY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NO. 16193. EXPIRATION DATE: 09-27-2024

18 OF 22



WALL LOCATION PLAN

- PLAN NOTES:**
1. PLAN UNDERLAY FOR WALL STATIONING IS SITE DEVELOPMENT PLAN BY VOGEL ENGINEERING & TIMMONS GROUPS IN AN EMAIL RECEIVED ON 07.26.2022.
 2. ALL CONCRETE FOR RETAINING WALL FOOTINGS SHALL HAVE A MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 4,500 PSI
 3. ALL CONCRETE FOR RETAINING WALLS SHALL HAVE A MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 4,500 PSI
 4. ALLOWABLE BEARING PRESSURE IS BASED ON GEOTECHNICAL ENGINEERING STUDY BY HILLIS-CARNES ENGINEERING ASSOCIATES DATED FEBRUARY 17, 2021 AND HAS BEEN ASSUMED TO EQUAL 2,000 PSF NET - ALLOWABLE SOIL BEARING PRESSURES SHALL BE CONFIRMED BY GEOTECHNICAL ENGINEER
 5. PLACE FOOTING AGAINST FLAT UNDISTURBED GROUND
 6. WALL SHALL NOT BE BACKFILLED UNTIL CONCRETE HAS ATTAINED 75% OF 28-DAY DESIGN STRENGTH
 7. WALL SHALL NOT BE BACKFILLED UNTIL LOW GRADE HAS BEEN COMPLETED AS PER CIVIL ENGINEER'S GRADING PLAN

OWNER
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(301) 470-5494

OWNER/DEVELOPER
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LAUREL, MD 20725
(301) 470-5494

NO.	REVISION	DATE

WALL LOCATION PLAN

PADDOCK POINT - PHASE 2

278 APARTMENT UNITS
ZONED: TOD

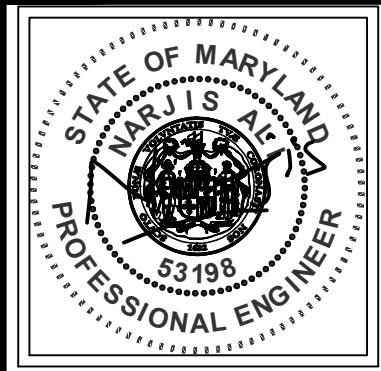
TAX MAP: 50 BLOCK: 10
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PARCELS B-4, B-5, C-2, C-3, C-4, & K-2
HOWARD COUNTY, MARYLAND

VOGEL ENGINEERING

TIMMONS GROUP

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P: 410.461.7666 F: 410.461.8961 www.timmons.com



DESIGN BY: CRS
DRAWN BY: CRS
CHECKED BY: JRE
DATE: MARCH 2024
SCALE: 1" = 10'
HCEA JOB NO.: 20631B

PROFESSIONAL CERTIFICATION
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NO. 53198. EXPIRATION DATE: 06/25.

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

DocuSigned by:
Howard County
8/29/2024

DocuSigned by:
CHIEF DEVELOPMENT ENGINEERING DIVISION
DATE 8/30/2024

DocuSigned by:
CHIEF DIVISION OF LAND DEVELOPMENT
DATE 8/30/2024

DocuSigned by:
Linda Eisenberg
DATE

HILLIS-CARNES
ENGINEERING ASSOCIATES
10975 Guilford Road, Suite A Annapolis Junction, Maryland
Phone: (410) 880-4788 www.hcea.com Fax: (410) 880-4098

GENERAL NOTES

CONTRACTOR RESPONSIBILITIES: THE STRUCTURE IS DESIGNED TO BE SELF-SUPPORTING AND STABLE AFTER THE STRUCTURE IS FULLY COMPLETED. IT IS SOLELY THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE ERECTION PROCEDURES AND SEQUENCE, AND TO ENSURE THE STABILITY OF THE STRUCTURE AND ITS COMPONENT PARTS, AND THE ADEQUACY OF TEMPORARY OR INCOMPLETE CONNECTIONS, DURING ERECTING. THIS INCLUDES THE ADDITION OF ANY SHORING, SHEETING, TEMPORARY GUYS, BRACING OR TIEDOWNS THAT MIGHT BE NECESSARY. SUCH MATERIAL IS NOT SHOWN ON THE DRAWINGS. IF APPLIED, THEY SHALL BE REMOVED AS CONDITIONS PERMIT AND SHALL REMAIN THE CONTRACTOR'S PROPERTY. THE ENGINEER HAS NO EXPERTISE IN, AND TAKES NO RESPONSIBILITY FOR, CONSTRUCTION MEANS AND METHODS OR JOBSITE SAFETY DURING CONSTRUCTION. PROCESSING AND/OR APPROVED SUBMITTALS MADE BY THE CONTRACTOR WHICH MAY CONTAIN INFORMATION RELATED TO CONSTRUCTION METHODS OF SAFETY ISSUES, OR PARTICIPATION IN MEETINGS WHERE SUCH ISSUES MIGHT BE DISCUSSED, SHALL NOT BE CONSTRUED AS VOLUNTARY ASSUMPTION BY THE ENGINEER OF ANY RESPONSIBILITY OF EACH CONTRACTOR TO FOLLOW ALL APPLICABLE SAFETY CODES AND REGULATIONS DURING ALL PHASES OF CONSTRUCTION. THE ENGINEER IS NOT ENGAGED IN, AND DOES NOT SUPERVISE CONSTRUCTION.

CONTROLLED FILL AND BACKFILL: SAMPLES OF ALL MATERIALS THAT THE CONTRACTOR PROPOSES TO USE FOR COMPACTED FILL SHALL BE APPROVED BY THE GEOTECHNICAL ENGINEER. COMPACTED FILL SHALL CONSIST OF LOCAL MATERIAL FREE OF DELETERIOUS MATTER AND CLASSIFIED SP, SW, SM, SC, GP, GW, GM, OR GC PER ASTM D-2487. THE CONTROL OF THE MOISTURE FOR PLACING THE FILL WILL BE BASED ON THE RESULTS OF COMPACTION TESTS PER AASHTO T-180. ALL COMPACTED FILL SHALL HAVE A DENSITY OF AT LEAST 95% OF THE STANDARD PROCTOR MAXIMUM DRY DENSITY AS DETERMINED BY ASTM D-698. PRIOR TO PLACEMENT OF ANY FILLS, THE SITE SHALL BE STRIPPED OF ALL TOPSOIL, VEGETATION, ROCKS, AND ORGANIC MATERIALS AND THE EXPOSED SUBGRADE SHALL BE COMPACTED IN PLACE TO A CONFIRMED DENSITY AT LEAST 95% OF THE STANDARD PROCTOR MAXIMUM DRY DENSITY AS DETERMINED BY ASTM D-698. FILL MATERIAL SHALL BE PLACED IN LOOSE LIFTS NOT EXCEEDING 8" IN THICKNESS AND SHALL BE MIXED, SPREAD AND PLACED IN SUCH A WAY AS TO PRODUCE A UNIFORM THICKNESS OF MATERIAL AFTER PLACING. EACH LAYER OF FILL SHALL BE COMPACTED WITH A MINIMUM OF 6 COMPLETE PASSES ON ALL PORTIONS OF THE SURFACE OF EACH LIFT OF FILL BY RUBBER-TIRED ROLLERS, SHEEPS-FOOT ROLLERS OR OTHER MECHANICAL EQUIPMENT APPROVED BY THE GEOTECHNICAL ENGINEER. COMPACTED FILL PLACED WITHIN 4 FEET OF STRUCTURES AND PIPES SHOULD BE PLACED IN HORIZONTAL LIFTS NOT TO EXCEED 4 INCHES THICKNESS AND COMPACTED WITH HAND TAMPERS OR LIGHT COMPACTION EQUIPMENT TO THE SAME STANDARD. HEAVY COMPACTION EQUIPMENT SHOULD NOT BE ALLOWED WITHIN 4 FEET OF STRUCTURES UNLESS A MINIMUM 2 FEET DEPTH OF FILL COVERS THE STRUCTURES. WHENEVER IN PLACE DENSITIES ARE FOUND BELOW ACCEPTABLE LIMITS, ADDITIONAL ROLLING TO PRODUCE THE SPECIFIED DENSITIES SHALL BE REQUIRED. THE CONTRACTOR SHALL TAKE ALL MEASURES REQUIRED TO PROVIDE FOR FREE DRAINAGE OF THE SITE AND TO PREVENT PONDING OF WATER. SEDIMENT CONTROL MEASURES SHALL BE MAINTAINED AT ALL TIMES. PLACING OF FILL CONTAINING ORGANIC MATTER; PLACING OF FILL WITH MOISTURE CONTENT TOO HIGH OR TOO LOW FOR PROPER COMPACTION; PLACING OF FILL WHEN FREE WATER IS STANDING ON THE EXISTING FILL SURFACE; PLACING OF FILL IN A FROZEN CONDITION OR ON TOP OF FROZEN MATTER WILL NOT BE PERMITTED. THE SOILS ENGINEER SHALL SUPERVISE THE PLACING OF THE COMPACTED FILL AND ALL THE MATERIAL AND EQUIPMENT USED FOR THIS PURPOSE AND SHALL MAKE SUCH SOILS TESTS AS MAY BE REQUIRED FOR THE COMPLETION OF THE WORK PERFORMING AT LEAST 6 IN PLACE DENSITY TESTS DURING EACH EIGHT HOUR SHIFT.

FOUNDATIONS-SPREAD FOOTINGS: BOTTOM OF ALL FOOTINGS SHALL BE A MINIMUM OF 2'-0" BELOW ORIGINAL GRADE OR PLACED IN APPROVED COMPACTED FILL. BOTTOM OF ALL EXTERIOR FOOTINGS SHALL BE A MINIMUM OF 2'-6" BELOW FINISHED GRADE. AS PER GEOTECHNICAL ENGINEERING STUDY PERFORMED BY HILLIS-CARNES ENGINEERING ASSOCIATES DATED FEBRUARY 17, 2021, FOUNDATION DESIGN WAS BASED ON AN ASSUMED BEARING CAPACITY OF 2000 PSF, AND THIS BEARING VALUE MUST BE FIELD VERIFIED BY A REGISTERED GEOTECHNICAL ENGINEER. IF SOIL OF THIS BEARING CAPACITY IS NOT ENCOUNTERED AT THE ELEVATIONS INDICATED ON THE CONTRACT DRAWINGS, FOOTINGS SHALL BE LOWERED OR INCREASED IN SIZE AS DIRECTED BY THE STRUCTURAL ENGINEER.

GENERAL NOTES

CONCRETE: ALL CONCRETE WORK SHALL CONFORM TO ALL THE PROVISIONS OF THE "SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDINGS" (ACI 301) AND TO THE "BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE" (ACI 318). ALL STRUCTURAL CONCRETE SHALL HAVE A MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 4500 PSI UNLESS NOTED OTHERWISE. ADDITIONALLY, THE CONCRETE SHALL CONFORM TO ALL THE PROVISIONS OF "RECOMMENDED PRACTICE FOR HOT WEATHER CONCRETING" (ACI 305) AND "RECOMMENDED PRACTICE FOR COLD WEATHER CONCRETING" (ACI 306). ALL FORMWORK SHALL BE IN ACCORDANCE WITH THE AMERICAN CONCRETE INSTITUTE "FORMWORK FOR CONCRETE" SPECIAL PUBLICATION NO. 4 AND ACI'S "STANDARD RECOMMENDED PRACTICE FOR CONCRETE FORMWORK" (ACI-347). ALL CONCRETE EXPOSED TO THE WEATHER SHALL HAVE AN AIR ENTRAINMENT OF 6% +/- 1%. THE MAXIMUM WATER CEMENT RATIO W/C SHALL NOT EXCEED 0.56 FOR ALL CONCRETE EXCEPT CONCRETE EXPOSED TO WEATHER WHICH SHALL NOT EXCEED 0.45. NO ADMIXTURES CONTAINING CALCIUM CHLORIDE SHALL BE PERMITTED. THE MAXIMUM SLUMP OF ALL CONCRETE SHALL BE 4". ALL CONCRETE SHALL BE CURED WITH LIQUID SEALING COMPOUND CONFORMING TO ASTM C-309, TYPE I AND FEDERAL SPECIFICATION TT-C-00800 OR OTHER APPROVED METHOD WHICH IS COMPATIBLE WITH FLOORING ADHESIVES AND OTHER SURFACE TREATMENTS. ALL CONCRETE LEFT EXPOSED AT THE COMPLETION OF THE PROJECT SHALL BE TREATED WITH A CLEAR, PENETRATING ACRYLIC BASE POLYMER CAPABLE OF PREVENTING INFILTRATION OF WATER BORNE CHLORIDES SUCH AS "CONSPEC CURE & SEAL WB" BY DAYTON SUPERIOR CORPORATION OR APPROVED EQUAL. LOADS GREATER THAN THE DESIGN LIVE LOADS SHALL NOT BE PLACED ON THE STRUCTURE. A CONCRETE STRUCTURE MAY NOT SUPPORT ITS DESIGN LIVE LOAD FOR 28 DAYS. CONTRACTOR SHALL SUPPORT ADJACENT STRUCTURES, UTILITIES, AND EXCAVATIONS AS REQUIRED FOR COMPLETION OF WORK. ONE SET OF COMPRESSIVE TEST CYLINDERS FOR EACH 100 CUBIC YARDS POURED, BUT NOT LESS THAN ONE SET FOR EACH DAY'S POUR AND EACH CLASS OF CONCRETE, ALONG WITH SLUMP TESTS SHALL BE PERFORMED BY A TESTING LABORATORY APPROVED BY THE STRUCTURAL ENGINEER. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS FOR ALL TEMPORARY FORMWORK INCLUDING STRIPPING PROCEDURES FOR CONCRETE FLAT SLABS, SHEETING, SHORING, UNDERPINNING, ETC. SEALED BY A REGISTERED PROFESSIONAL ENGINEER AS PART OF THE CONTRACTOR'S WORK.

REINFORCING STEEL: REINFORCING STEEL SHALL BE DEFORMED BARS IN ACCORDANCE WITH ASTM A-615, GRADE 60. BENDS ARE TO BE FABRICATED AS PER DETAILS. PLACE MAIN REINFORCING STEEL SO AS TO PROVIDE 3" MINIMUM COVER FOR FOUNDATIONS POURED ON EARTH, 2" MINIMUM COVER FOR BEAMS AND COLUMNS, 3/4" MINIMUM COVER FOR SLABS AND 1 1/2" FOR ALL REBAR IN EXPOSED CONCRETE (EXCEPT AS OTHERWISE DETAILED).

INSPECTION: ALL WORK SPECIFIED HEREIN SHALL BE INSPECTED IN ACCORDANCE WITH THE BUILDING CODE AND ALL LOCAL ORDINANCES. THE OWNER OR CONTRACTOR SHALL HIRE AN EXPERIENCED QUALIFIED INSPECTOR TO PERFORM ALL REQUIRED INSPECTION WORK. INSPECTION SHALL CONSIST OF VISUAL OBSERVATIONS OF MATERIALS, EQUIPMENT OR CONSTRUCTION WORK FOR THE PURPOSE OF ASCERTAINING THAT THE WORK IS IN SUBSTANTIAL CONFORMANCE WITH THE CONTRACT DOCUMENTS AND WITH THE DESIGN INTENT. THE ENGINEER WILL NOT PERFORM THE REQUIRED INSPECTION AS PART OF THIS PRESENT CONTRACT WITH THE ARCHITECT/OWNER. UNDER THIS PRESENT CONTRACT, THE ENGINEER MAY VISIT THE SITE TO ASCERTAIN GENERAL CONFORMANCE TO THE CONTRACT DOCUMENTS. HOWEVER, SUCH VISITS SHALL NOT BE RELIED UPON BY OTHERS AS ACCEPTANCE OF THE WORK, NOR SHOULD IT BE CONSTRUED TO RELIEVE THE CONTRACTOR IN ANY WAY FROM HIS OBLIGATIONS AND RESPONSIBILITIES UNDER THE CONSTRUCTION CONTRACT. HOWEVER, IF DESIRED, HILLIS-CARNES ENGINEERING ASSOCIATES MAY BE HIRED UNDER A SEPARATE CONTRACT TO PERFORM THIS INSPECTION WORK.

DESIGN WITHOUT CONSTRUCTION REVIEW: IT IS AGREED THAT IF HILLIS-CARNES ENGINEERING ASSOCIATES' PROFESSIONAL SERVICES DO NOT EXTEND TO OR INCLUDE THE REVIEW OR SITE OBSERVATION OF THE CONTRACTOR'S WORK OR PERFORMANCE, THEN THE OWNER WILL DEFEND, INDEMNIFY AND HOLD HARMLESS HILLIS-CARNES ENGINEERING ASSOCIATES, FROM ANY CLAIM OR SUIT WHATSOEVER, INCLUDING BUT NOT LIMITED TO ALL PAYMENTS, EXPENSES OR COSTS INVOLVED, ARISING FROM OR ALLEGED TO HAVE ARISEN FROM THE CONTRACTOR'S PERFORMANCE OR THE FAILURE OF THE CONTRACTOR'S WORK TO CONFORM TO THE DESIGN INTENT AND THE CONTRACT DOCUMENTS. HILLIS-CARNES ENGINEERING ASSOCIATES, AGREES TO BE RESPONSIBLE FOR ITS OWN OR ITS EMPLOYEES' NEGLIGENT ACTS, ERRORS OR OMISSIONS.

OWNERSHIP OF DOCUMENTS: THE CONTRACTOR ACKNOWLEDGES THESE PLANS AND SPECIFICATIONS PREPARED BY HILLIS-CARNES ENGINEERING ASSOCIATES, AS INSTRUMENTS OF PROFESSIONAL SERVICE. NEVERTHELESS, THE PLANS AND SPECIFICATIONS PREPARED UNDER THIS AGREEMENT SHALL REMAIN THE PROPERTY OF HILLIS-CARNES ENGINEERING ASSOCIATES UPON COMPLETION OF THE WORK. THE CONTRACTOR AGREES TO HOLD HARMLESS AND INDEMNIFY HILLIS-CARNES ENGINEERING ASSOCIATES, AGAINST ALL DAMAGES, CLAIMS, AND LOSSES, INCLUDING DEFENSE COSTS, ARISING OUT OF ANY REUSE OF THE PLANS AND SPECIFICATIONS WITHOUT THE WRITTEN AUTHORIZATION OF HILLIS-CARNES ENGINEERING ASSOCIATES

GENERAL NOTES

DESIGN DATA:
fc = 4500 PSI (WALL FOUNDATIONS)
fc = 4500 PSI (RETAINING WALL)
fy = 60000 PSI

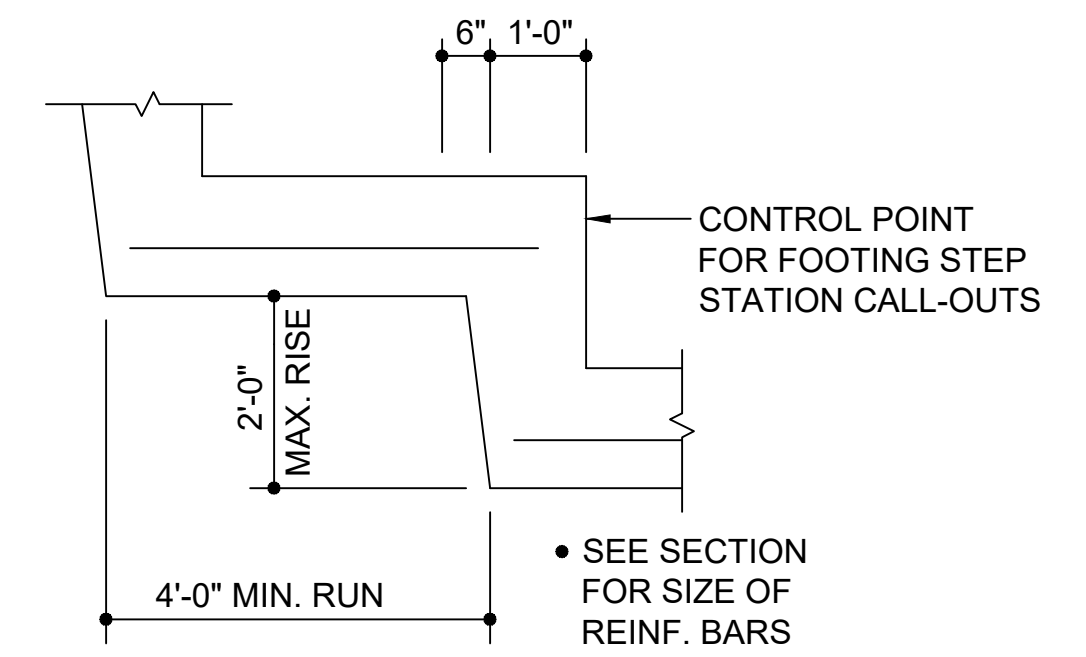
DESIGN EARTH PRESSURES:
LATERAL EARTH PRESSURE METHOD = COULOMB ANALYSIS
SOIL FRICTION ANGLE = 30°
FRICTION COEFFICIENT = 0.30
PERCENT OF FRICTION USED FOR SLIDING = 100%
PERCENT OF PASSIVE USED FOR SLIDING = 0%

MINIMUM FACTORS OF SAFETY:
OVERTURNING = 2.0
SLIDING = 1.5

SNOW LOAD:
GROUND SNOW LOAD Pg = 25 PSF
SNOW LOAD IMPORTANCE FACTOR I = 1.0
SNOW EXPOSURE FACTOR Ce = 1.0
THERMAL FACTOR Ct = 1.2
FLAT ROOF SNOW LOAD Pf = 21 PSF

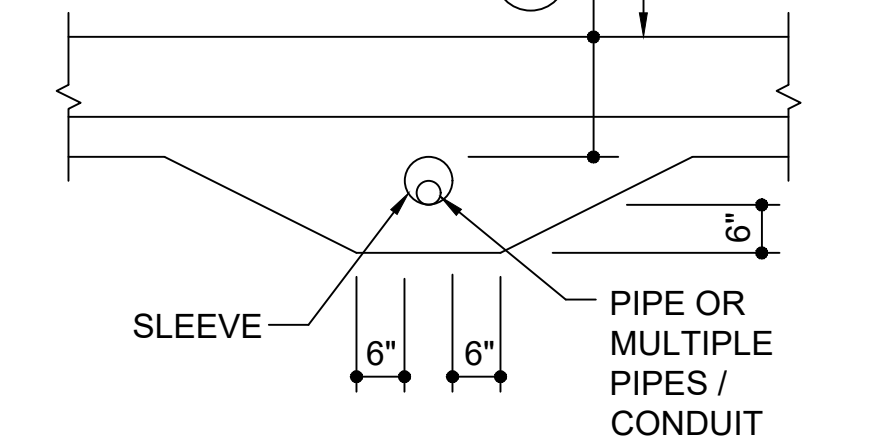
WIND LOAD:
BASIC WIND SPEED 115 MPH
BUILDING CATEGORY II
WIND EXPOSURE B

EARTHQUAKE LOAD:
RISK CATEGORY II
IMPORTANCE FACTOR (Ie) 1.00
SITE CLASS D
Ss 0.121g
S1 0.051g
SDS 0.129g
SD1 0.081g
SEISMIC DESIGN CATEGORY B
SEISMIC FORCE RESISTING SYSTEM:
ORDINARY REINFORCED CONCRETE SHEAR WALLS
RESPONSE MODIFICATION FACTOR (R) 4.0
Cs (= SDS / (R * Ie)) 0.03225
EQUIVALENT LATERAL FORCE DESIGN METHOD
SEISMIC WEIGHT (W): 334.4 KIPS
BASE SHEARS (V = Cs * W): 10.79 KIPS

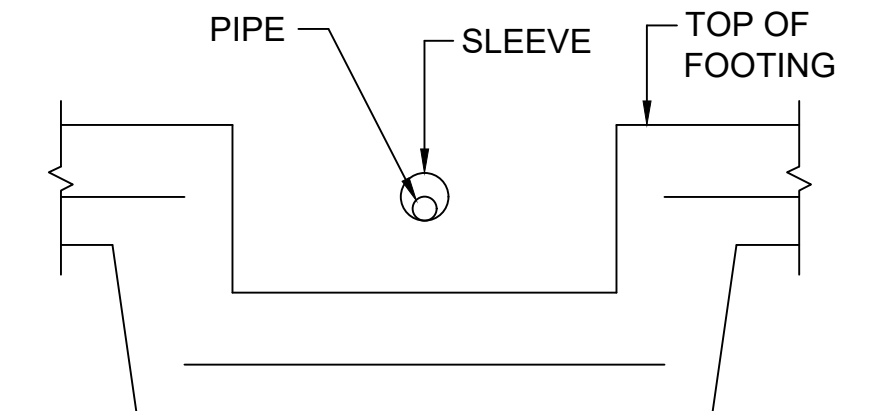


1 TYP. STEPPED FOOTING

IF THIS DIMENSION IS LESS THAN 12" - LOWER FOOTING TO PERMIT PIPE TO PASS THRU WALL ABOVE FOOTING - SEE 3

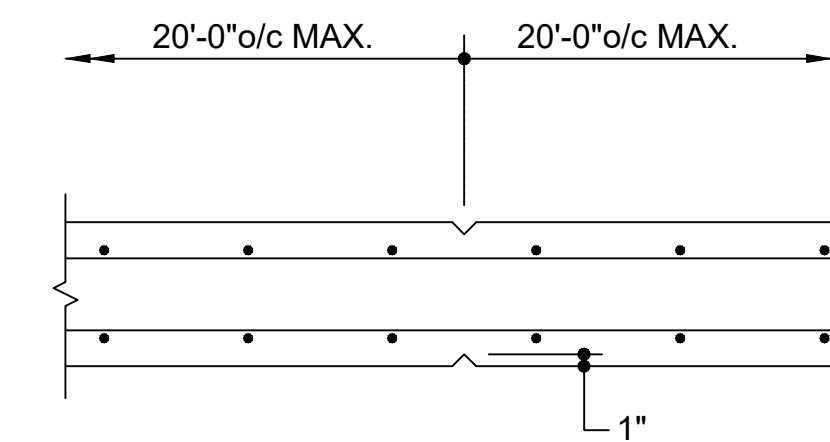


2 TYPICAL PIPE THRU FOOTING



STEP FOOTING DOWN AS REQUIRED IN ACCORDANCE WITH DETAIL 1

3 FOOTING STEPPED DOWN AT PIPE



PROVIDE 2" CLEAR TO VERTICAL REINFORCING (TYPICAL EACH FACE)

4 CONTROL JOINT IN CONCRETE WALLS

OWNER: TRIPLE BELL FARMS, LLC. 198 LAUREL RACE TRACK RD. LAUREL, MD 20725 (301) 470-5494
OWNER/DEVELOPER: 20006 DELAWARE INC. 198 LAUREL RACE TRACK RD. LAUREL, MD 20725 (301) 470-5494

Table with 3 columns: NO., REVISION, DATE

GENERAL NOTES AND TYPICAL DETAILS

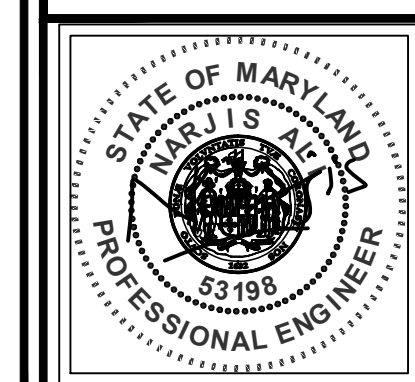
PADDOCK POINTE - PHASE 2

278 APARTMENT UNITS
ZONED: TOD
TAX MAP: 50 BLOCK: 10
6TH ELECTION DISTRICT
PARCELS B-4, B-5, C-2, C-3, C-4, & K-2
HOWARD COUNTY, MARYLAND

VOGEL ENGINEERING

TIMMONS GROUP

3300 NORTH RIDGE ROAD, SUITE 110, ELLICOTT CITY, MD 21043
P: 410.461.7666 F: 410.461.8961 www.timmons.com



DESIGN BY: CRS
DRAWN BY: CRS
CHECKED BY: JRE
DATE: MARCH 2024
SCALE: 3/4" = 1'-0"
HCEA JOB NO.: 20631B

PROFESSIONAL CERTIFICATION
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NO. 53198. EXPIRATION DATE: 06/22

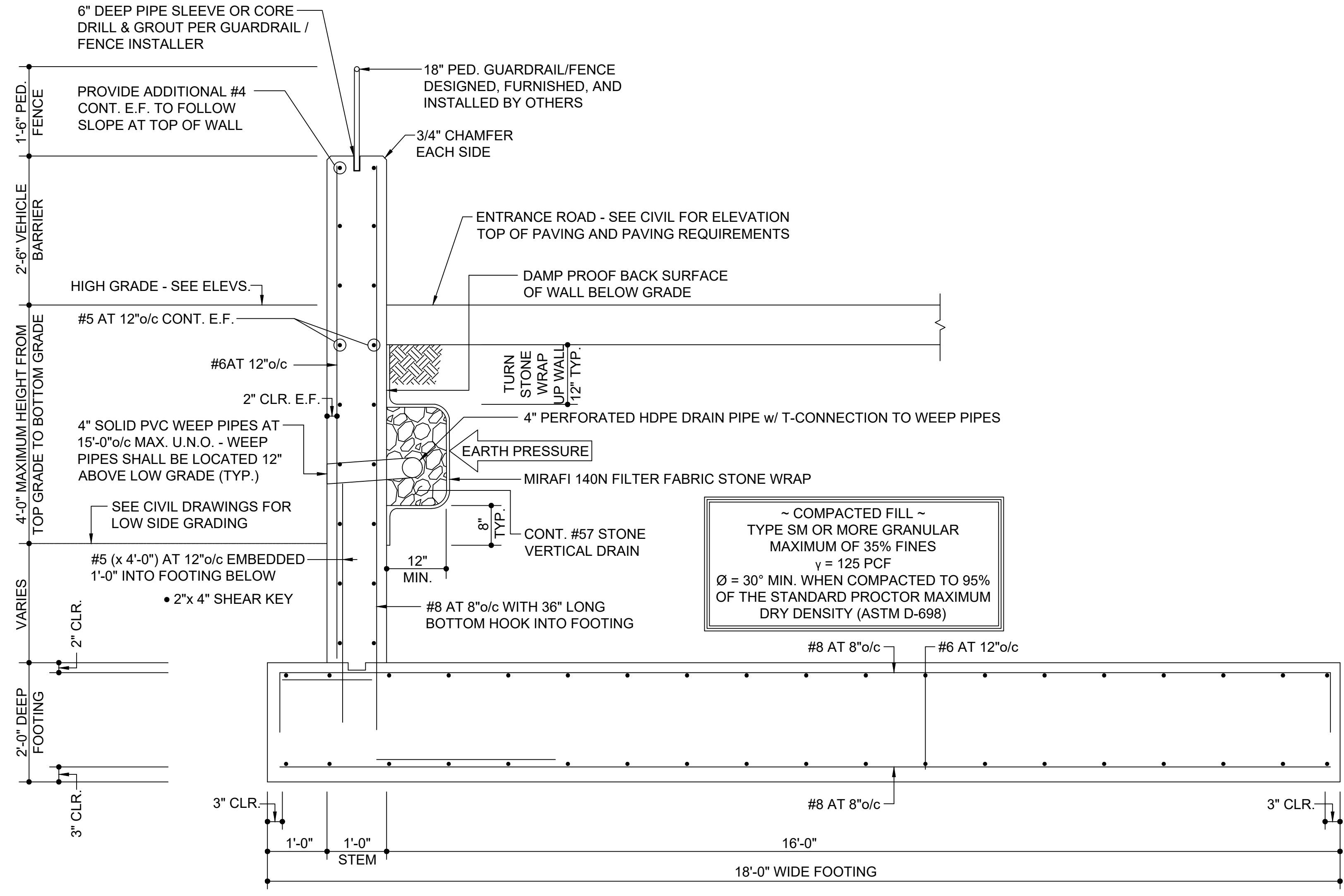
20 SHEET OF 22

HILLIS-CARNES ENGINEERING ASSOCIATES
10975 Guilford Road, Suite A Annapolis Junction, Maryland
Phone: (410) 880-4788 www.hcea.com Fax: (410) 880-4098

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

DocuSigned by: Howard E. ... 8/29/2024
CHIEF, DEVELOPMENT ENGINEERING DIVISION
DocuSigned by: ... 8/30/2024
CHIEF, DIVISION OF LAND DEVELOPMENT
DocuSigned by: ... 8/30/2024
DIRECTOR

- DETAIL NOTES:**
- ALL CONCRETE FOR RETAINING WALL FOOTINGS SHALL HAVE A MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 4,500 PSI
 - ALL CONCRETE FOR RETAINING WALLS SHALL HAVE A MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 4,500 PSI
 - AS PER GEOTECHNICAL ENGINEERING STUDY PERFORMED BY HILLIS-CARNES ENGINEERING ASSOCIATES DATED FEBRUARY 17, 2021, FOUNDATION DESIGN WAS BASED ON AN ASSUMED BEARING CAPACITY OF 2000 PSF
 - ALLOWABLE SOIL BEARING PRESSURES SHALL BE CONFIRMED BY GEOTECHNICAL ENGINEER
 - PLACE FOOTING AGAINST FLAT UNDISTURBED GROUND
 - WALL SHALL NOT BE BACKFILLED UNTIL CONCRETE HAS ATTAINED 75% OF 28-DAY DESIGN STRENGTH
 - WALL SHALL NOT BE BACKFILLED UNTIL LOW GRADE HAS BEEN COMPLETED AS PER CIVIL ENGINEER'S GRADING PLAN



1 CONCRETE RETAINING WALL TYPE 'A'

OWNER
TRIPLE BELL FARMS, LLC.
198 LAUREL RACE TRACK RD
LAUREL, MD 20725
(301) 470-5494

OWNER/DEVELOPER
20006 DELAWARE INC.
198 LAUREL RACE TRACK RD
LAUREL, MD 20725
(301) 470-5494

NO.	REVISION	DATE

CONCRETE RETAINING WALL DETAIL

PADDOCK POINTE - PHASE 2

278 APARTMENT UNITS
ZONED: TOD
TAX MAP: 50 BLOCK: 10
6TH ELECTION DISTRICT

PARCEL 384
PARCELS B-4, B-5, C-2, C-3, C-4, & K-2
HOWARD COUNTY, MARYLAND

VOGEL ENGINEERING

TIMMONS GROUP

3300 NORTH RIDGE ROAD, SUITE 110, ELLICOTT CITY, MD 21043
P: 410.461.7666 F: 410.461.8961 www.timmons.com

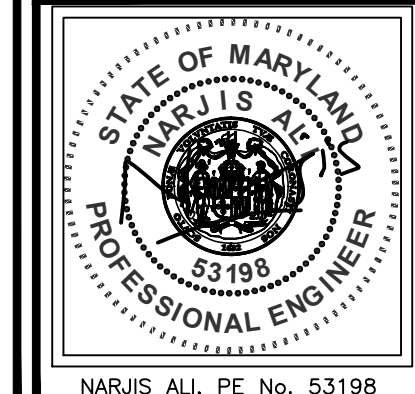
APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

DocuSigned by: *PHD Edmondson* 8/29/2024
CHIEF OF DEVELOPMENT ENGINEERING DIVISION DATE

DocuSigned by: *Linda Eisenberg* 8/30/2024
CHIEF OF DIVISION OF LAND DEVELOPMENT DATE

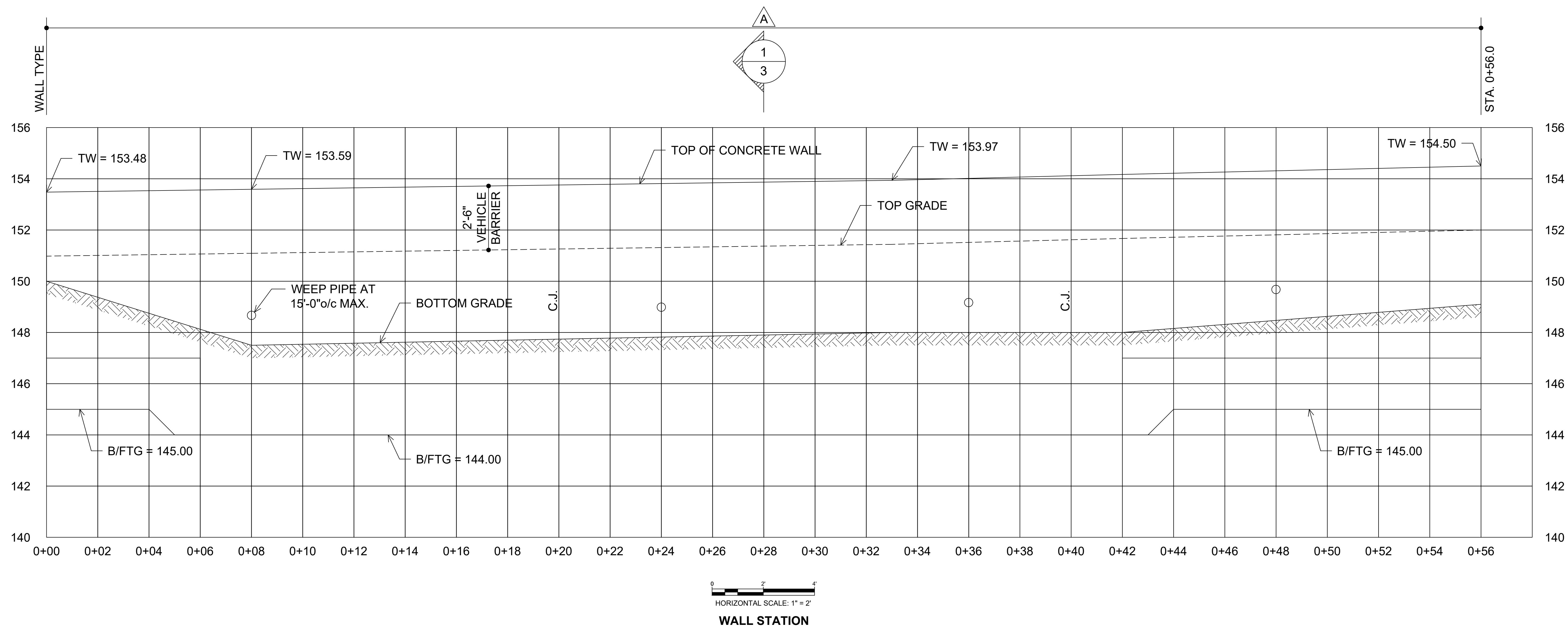
DocuSigned by: *Linda Eisenberg* 8/30/2024
DIRECTOR DATE

HILLIS-CARNES
ENGINEERING ASSOCIATES
10975 Guilford Road, Suite A Annapolis Junction, Maryland
Phone: (410) 880-4788 www.hcea.com Fax: (410) 880-4098



DESIGN BY: _____ CRS
DRAWN BY: _____ CRS
CHECKED BY: _____ JRE
DATE: _____ MARCH 2024
SCALE: 3/4" = 1'-0"
HCEA JOB NO.: 20631B

PROFESSIONAL CERTIFICATION
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NO. 53198. EXPIRATION DATE: 06/25



HORIZONTAL SCALE: 1" = 2'
WALL STATION

OWNER
TRIPLE BELL FARMS, LLC.
198 LAUREL RACE TRACK RD
LAUREL, MD 20725
(301) 470-5494

OWNER/DEVELOPER
20006 DELAWARE INC.
198 LAUREL RACE TRACK RD
LAUREL, MD 20725
(301) 470-5494

NO.	REVISION	DATE

ELEVATION - RETAINING WALL #1

PADDOCK POINTE - PHASE 2
278 APARTMENT UNITS
ZONED: TOD

TAX MAP: 50 BLOCK: 10
6TH ELECTION DISTRICT

PARCEL 384
PARCELS B-4, B-5, C-2,
C-3, C-4, & K-2
HOWARD COUNTY, MARYLAND

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	DESIGN BY: _____ CRS	<small>PROFESSIONAL CERTIFICATION</small> I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NO. 53198 EXPIRATION DATE: 06/25
	DRAWN BY: _____ CRS	
	CHECKED BY: _____ JRE	
	DATE: _____ MARCH 2024	
	SCALE: _____ 1" = 2'	
HCEA JOB NO.: _____ 20631B	22 SHEET OF 22	

HILLIS-CARNES
ENGINEERING ASSOCIATES
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Phone: (410) 880-4788 www.hcea.com Fax: (410) 880-4098

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

DocuSigned by:
PHD Edman 8/29/2024

CHIEF OF DEVELOPMENT ENGINEERING DIVISION DATE 8/30/2024

CHIEF OF DIVISION OF LAND DEVELOPMENT DATE 8/30/2024

Linda Eisenberg DIRECTOR DATE