GENERAL NOTES

- ALL CONSTRUCTION SHALL. BE IN ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF HOWARD COUNTY PLUS
- THE CONTRACTOR SHALL NOTIFY THE BUREAU OF ENGINEERING/CONSTRUCTION INSPECTION DIVISION AT (410) 313-1880 AT LEAST
- . THE CONTRACTOR SHALL NOTIFY "MISS UTILITY" AT I-800-257-TTTT AT LEAST 48-HOURS PRIOR TO ANY EXCAVATION WORK.

PROJECT BACKGROUND:

LOCATION: SEE VICINITY MAP IN THE TOP RIGHT CORNER OF THIS SHEET

TAX MAP. ELECTION DISTRICT: 5

ZONING: MXD-3 PER ZB-995M (APPROVED ON 02-08-01), UNDERLYING ZONING IS RR-DEO AND PER THE 2/02/04 COMPREHENSIVE ZONING PLAN. AREA OF BUILDABLE LOTS (12-19, 63-66 \$ 72-76) FOR THIS SITE DEVELOPMENT PLAN: 235± ACRES. FOR OTHER SUBMISSIONS RELATED TO THIS SITE, SEE HOWARD COUNTY DEPT. OF PLANNING & ZONING FILE Nos.: 5-01-17, ZB-995M, PB-353, WP-01-111, WP-03-02, P-03-01, F-03-90, P-04-01, P-05-02, F-04-92, S-06-16, P-07-02, ZB-1039M, PB-378, F-12-30, P-11-002, P-12-001, F-12-020, F-12-024, F-13-001, F-14-033, SDP-15-018, SDP-15-020 & SDP-15-034.

- TRAFFIC CONTROL DEVICES, MARKINGS, AND SIGNAGE SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTC). ALL STREET AND REGULATORY SIGNS SHALL BE IN PLACE PRIOR TO THE PLACEMENT OF ANY ASPHALT.
- ALL PLAN DIMENSIONS ARE TO THE FACE OF CURB OR FACE OF BUILDING UNLESS OTHERWISE NOTED. DIMENSIONS ARE MEASURED
- PERPENDICULAR OR RADIALLY BETWEEN ITEMS UNLESS OTHERWISE NOTED. EXISTING TOPOGRAPHY AND FEATURES COMPILED FROM F-13-008 AND F-14-033.
- 8. COORDINATES ARE BASED ON NAD83 MARYLAND COORDINATE SYSTEM AS PROJECTED BY HOWARD COUNTY GEODETIC CONTROL STATION NUMBERS 4IEA & 46B2
- STORMWATER MANAGEMENT, FOR BOTH QUALITY AND QUANTITY, FOR THE INFRASTRUCTURE AND RESIDENTIAL LOTS WILL BE SATISFIED BY TWO REGIONAL FACILITIES CONSTRUCTED UNDER F-13-008. THE FACILITIES WILL BE P-3 PONDS WITH EXTENDED DETENTION. THEY WILL BE PUBLICLY OWNED WITH JOINT MAINTENANCE. THE TWO P-3 PONDS WILL SERVE AS SEDIMENT BASINS FOR THE GRADING SHOWN BEFORE BEING CONVERTED. THE RECHARGE REQUIREMENTS FOR THIS AREA WILL BE PROVIDED IN PRIVATELY OWNED AND MAINTAINED FACILITIES TO BE LOCATED WITHIN OPEN SPACE LOTS 109 AND 110. OPEN SPACE LOTS 110 AND III WILL BE CONVEYED TO THE HOMEOWNER'S ASSOCIATION. THE REV FACILITIES WILL BE CONSTRUCTED UNDER F-13-008
- PUBLIC WATER AND SEWER SHALL BE UTILIZED (AS PROVIDED BY W&S CONTRACT #24-4785-D & 24-4786-D) AND THE WATER METERS IN OUTSIDE VAULTS.
- CROSSINGS AND CONNECTION POINTS TO VERIFY EXACT LOCATION, IMMEDIATELY NOTIFY THE ENGINEER OF ANY CONFLICTS.
- THERE ARE NO GRAVE SITES, CEMETERIES, WETLANDS, 100-YR FLOODPLAIN OR STREAM ON THE BUILDABLE LOTS SHOWN ON THIS SITE DEVELOPMENT PLAN. ELSEWHERE WITHIN THE HILLSIDE DISTRICT OPEN SPACE THERE ARE WETLANDS, 100-YR FLOODPLAIN AND STREAMS.
- THIS PROJECT COMPLIES WITH THE REQUIREMENTS OF SECTION 16,1200 OF THE HOWARD COUNTY CODE FOR FOREST CONSERVATION.
- FINANCIAL SURETY FOR THE REQUIRED LANDSCAPING (AS SHOWN ON SHEET 6 TO SATISFY S-01-17 DEVELOPMENT CRITERIA AND SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL) SHALL BE POSTED AS PART OF THE GRADING PERMIT FOR EACH LOT (WHERE APPLICABLE).
- ACCESS FOR FIRE AND EMERGENCY VEHICLES PER THE FOLLOWING MINIMUM REQUIREMENTS:
- A. WIDTH 12' (16' SERVING MORE THAN ONE RESIDENCE)
- B. SURFACE 6" OF COMPACTED CRUSHER RUN BASE WITAR AND CHIP COATING (I-I/2"MIN.)
- C. GEOMETRY MAX. 14% GRADE, MAX. 10% GRADE CHANGE AND MIN. 45' TURNING RADIUS. D. STRUCTURES (CULVERTS/BRIDGES) - CAPABLE OF SUPPORTING 25 GROSS TONS (H25 LOADING)
- E. DRAINAGE ELEMENTS CAPABLE OF SAFELY PASSING 100-YR. FLOOD WITH NO MORE THAN I FOOT DEPTH OVER DRIVEWAY SURFACE.

- BAY WINDOWS, WINDOW WELLS, CHIMNEYS, HEATING OR AIR CONDITIONING UNITS AND EXTERIOR STAIRWAYS IF NOT MORE THAN 16 FEET IN WIDTH MAY PROJECT NO MORE THAN 4 FEET INTO ANY REQUIRED SETBACK AREA IN ACCORDANCE WITH SECTION 126.A.I OF THE ZONING REGULATIONS, EXCEPT FOR THE ITEMS
- SUBDIVISION AND LAND DEVELOPMENT REGULATIONS.
- MARKING, ON-STREET PARALLEL PARKING ALONG THE CURB WITHIN THE PUBLIC RIGHTS-OF-WAY IS ALLOWED FOR VISITOR AND OVERFLOW PARKING. THE ON-STREET PARKING AREA WILL NOT BE STRIPED. THE ALLEYS ARE OWNED BY THE HOA AND THEY ENFORCE THE PARKING PROHIBITION IN THEIR ALLEY "RIGHT-OF-WAY" THAT'S IN THE COVENANT FOUND AT L. 8259 F. 305&3
- 22. NO GRADING, REMOVAL OF VEGETATIVE COVER OR TREES, PAVING AND NEW STRUCTURES SHALL BE PERMITTED WITHIN THE REQUIRED WETLANDS. STREAM(S) OR THEIR BUFFERS, FOREST CONSERVATION EASEMENT AREAS AND 100 YEAR FLOODPLAIN.
- 23. MINIMUM BUILDING SETBACK RESTRICTIONS FROM PROPERTY LINES AND THE PUBLIC ROAD RIGHTS OF WAY FOR ALL SFD AND SFA RESIDENTIAL LOTS WILL BE PROVIDED IN ACCORDANCE WITH THE COMPREHENSIVE DEVELOPMENT CRITERIA APPROVED FOR THIS PROJECT UNDER S-01-17, S-06-16, PB-353, PB 376 AND ZB-995M.
- 24. PHASING FOR THIS PROJECT IS IN ACCORDANCE WITH THE DECISION AND ORDER FOR ZB-995M AND THE DECISION AND ORDER FOR PB CASE NO. 353 (S-01-17) AND PB CASE NO. 378 AND S-06-16.
- 27. LOTS WITH REDUCED DRIVEWAY LENGTHS ARE GRANDFATHERED TO THE PREVIOUS 2004 COMP ZONING REGULATIONS REGARDING SECTION 133.0.C.4 FOR DRIVEWAYS LENGTHS LESS THAN 9 FEET FOR AN APPROVED TND PROJECT.

LOT DEVELOPMENT DATA

- . GENERAL SITE ANALYSIS DATA
- A. PRESENT ZONING: MXD-3 PER ZB-995M B. PROPOSED USE OF SITE: IT SFD RESIDENTIAL DWELLING
- C. PUBLIC WATER & SEWER TO BE UTILIZED (CONTR. #24-4747-D) D. PARKING REQUIRED PER Sec. 133.D.2.a.: 2 SPACES/UNIT x 17 = 34 SPACES
- PARKING PROVIDED: 34 GARAGE SPACES (ALL LOTS HAVE AT LEAST A 2-CAR GARAGE. SEE NOTE 21 ABOVE REGARDING PARKING). E. RECREATION OPEN SPACE FOR THIS SDP IS ADDRESSED UNDER F-14-033 (SEE OVERALL OPEN SPACE PROVISION CHART ON THIS SHEET).
- A. AREA OF BUILDABLE LOTS FOR THIS SUBMISSION: 102,516± SF OR 2.35± AC.
- B. AREA OF THIS PLAN SUBMISSION: 2.78± ACRES (L.O.D.) C. AREA OF DISTURBANCE BY THIS SDP: 2.78± ACRES

3. LOT DESIGNATION:

LOT TYPE	LOT NUMBER	MINIMUM LOT SIZE	MIN. LOT WIDTH AT FRONT BRL	MAX. BUILDING HT.
COTTAGE VILLA	63-66 \$ 72-76 12-19	2,500 SQUARE FEET 5,400 SQUARE FEET	32 FEET 54 FEET	38 FEET (MEAN HT.) 38 FEET (MEAN HT.)
				10 Company

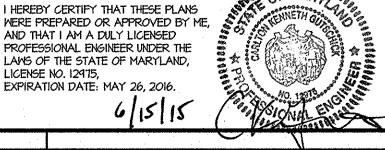
4. STRUCTURE SETBACKS PER 5-06-16 AND PLAT Nos. 22995-23004

LOT TYPE	FRONT SETBACK	SIDE SETBACK	MINIMUM REAR SETBACKS
COTTAGE	IO' MIN.	4' MIN.*	20' TO PRINCIPAL STRUCTURE. 3' FOR REAR (DETACH/ATTACH) GARAGE OR TO ACCESSORY STRUCTURES.
VILLA	12' MIN.	6' MIN.*	20' TO PRINCIPAL STRUCTURE. 3' FOR REAR (DETACH/ATTACH) GARAGE OR TO ACCESSORY STRUCTURES.
* THERE IS	A O' SIDE SETBACK	FOR A GARAGE.	

- A. A ZERO LOT LINE DWELLING UNIT MAY BE LOCATED ON ANY PROPERTY LINE WHICH IS NOT A STREET RIGHT-OF-WAY PROVIDED THAT (I) NO PART OF THE DWELLING SHALL ENCROACH ONTO THE ADJOINING LOT: (2) AN ACCESS EASEMENT FOR THE PURPOSE OF MAINTENANCE TO THE SIDE OF THE STRUCTURE SHALL BE INCLUDED IN THE DEED WHERE APPROPRIATE. SPACING BETWEEN DWELLING UNITS SHALL BE A MINIMUM OF 8'. GARAGES HOWEVER, MAY ADJOIN ALONG THE PROPERTY LINE, PROVIDED THEY COMPLY WITH ALL BUILDING AND FIRE CODE REGULATIONS.
- B. OPEN DECKS MUST BE A MINIMUM OF IO' FROM REAR PROPERTY LINE, AND ARE SUBJECT TO SIDE YARD SETBACKS.
- C. FACING ACCESSORY STRUCTURES AND DETACHED GARAGES (ACROSS AN ALLEY/LANE R.O.H.) SHALL BE 30' APART.
- D. EXCEPTIONS TO FRONT SETBACK REQUIREMENTS. SECTION 128.A.I APPLIES, EXCEPT FOR THE FOLLOWING:
 - PORCHES MAY ENCROACH INTO THE FRONT YARD TO WITHIN 2' FROM THE FRONT PROPERTY LINE OR RIGHT-OF-WAY FOR COTTAGES, MANORS, AND VILLAS, TO MITHIN 12' FOR ESTATES. PORCHES MAY ENCROACH INTO THE SIDE YARD OF CORNER LOTS TO MITHIN 2' FROM THE RIGHT-OF-WAY FOR COTTAGES, MANORS, AND VILLAS; TO WITHIN 12' FOR ESTATES. WHERE A SIDE YARD ABUTS AN OPEN SPACE OR PASSAGE, PORCHES MAY ENCROACH TO WITHIN I' FROM THE SIDE PROPERTY LINE FOR COTTAGES, MANORS, AND VILLAS, TO WITHIN 12' FOR ESTATES.
 - . STOOPS AND STEPS MAY ENCROACH INTO THE FRONT AND SIDE YARDS TO WITHIN I' FROM THE FRONT PROPERTY LINE.
 - GARDEN WALLS, FENCES, PIERS, GATES AND SIMILAR ORNAMENTS MAY BE BUILT IN THE FRONT AND SIDE YARDS NOT CLOSER THAN I'FROM THE FRONT PROPERTY LINE (WALL FOOTING MUST BE OUTSIDE ANY EASMENTS); NOT GREATER THAN 48" IN HEIGHT ALONG THE FRONT PROPERTY LINE AND NOT GREATER THAN 72" IN HEIGHT ALONG THE SIDE AND REAR PROPERTY LINES.

APPROVED: HOWARD COUNTY DEPARTMENT OF F	LANNING & ZONING
Valle Jafier	7-21-15
Director 00	Date
Chief, Division of Land Development	7-16-15
Chief, Division of Land Development	Date
- Chil Column	7.8.15
Chief, Development Engineering Division	Date

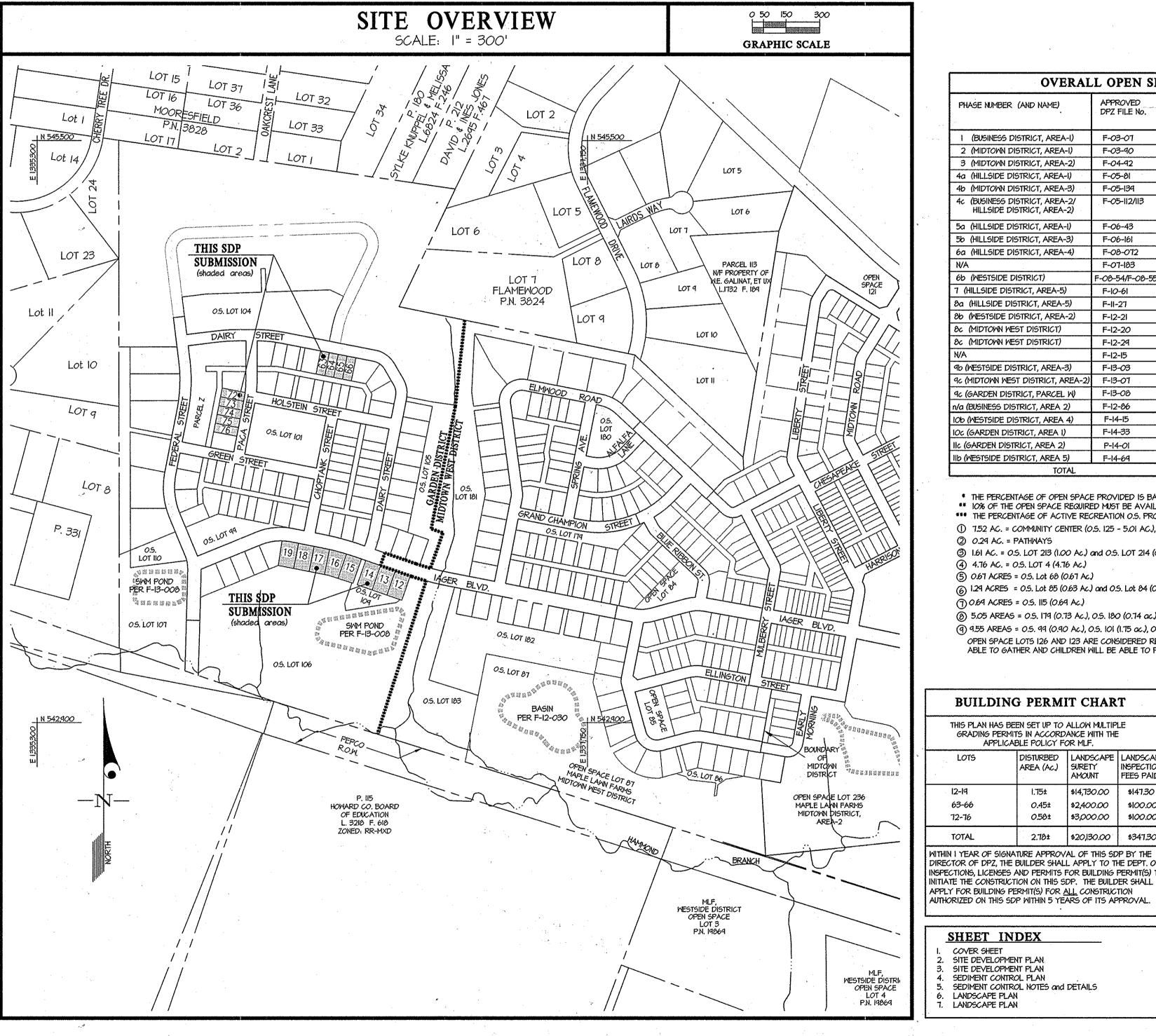
PROFESSIONAL CERTIFICATION I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 12975.



revision

MAPLE LAWN FARMS SITE DEVELOPMENT PLAN

GARDEN DISTRICT - AREA 1 LOTS No. 12-19, 63-66 and 72-76 FIFTH ELECTION DISTRICT HOWARD COUNTY, MARYLAND

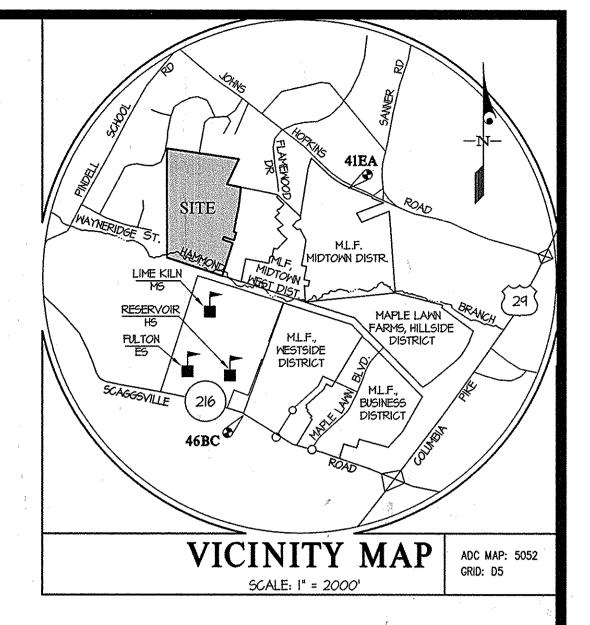


NAD83 HORIZONTAL DATA & NVD88 VERTICAL DATA

ELEV. = 472.16 N = 539,925.13 E=1,337,205.77

> ELEV. = 407.05 N = 544,825.81 E= 1,339,217.44 STANDARD DISC ON CONCRETE MONUMENT

STANDARD DISC ON CONCRETE MONUMENT



OVERAL	T OPEN SP	ACE PROV	1910N FOR	MAPLEL	AWN FARMS	
PHASE NUMBER (AND NAME)	APPROVED DPZ FILE No.	PHASE AREA GROSS ACREAGE	REQUIRED OPEN SPACE (35% OF GROSS AC.)	OPEN SPACE PROVIDED IN AC. (%) *	REQUIRED ACTIVE OPEN SPACE IN AC.**	ACTIVE RECREATION O.S. PROVIDED IN AC. (%) ***
I (BUSINESS DISTRICT, AREA-I)	F-03-07	51.48	18.19	21.15 (40.7)	1.82	· · ·
2 (MIDTOWN DISTRICT, AREA-I)	F-03-90	37,43	13.10	15.75 (42.I)	1.31	7.52 (47.7)①
3 (MIDTOWN DISTRICT, AREA-2)	F-04-92	58.80	20.58	22.85 (38.4)	2.06	
4a (HILLSIDE DISTRICT, AREA-I)	F-05-81	15.47	5.41	6.70 (43.3)	0.54	0.29 (4.3) ②
4b (MIDTOWN DISTRICT, AREA-3)	F-05-139	3.12	1.09	1.23 (39.4)	0.11	
4c (BUSINESS DISTRICT, AREA-2/ HILLSIDE DISTRICT, AREA-2)	F-05-112/113	3.00	1.05	0.00	O.II	
5a (HILLSIDE DISTRICT, AREA-I)	F-06-43	0.00	0.00	0.00	0.00	
5b (HILLSIDE DISTRICT, AREA-3)	F-06-161	33.26	11.64	18.50 (55.6)	1.16	1.61 (8.7) ③
6a (HILLSIDE DISTRICT, AREA-4)	F-08-072	15.05	5.27	5.50 (36.5) **	0.53	
NA	F-07-183	3 <i>.0</i> 5	1.07	0.00	0.10	
6b (MESTSIDE DISTRICT)	F-08-54/F-08-55	90.60	31.71	26.65 (29.4)	3.17	4.76 (17.9) ④
7 (HILLSIDE DISTRICT, AREA-5)	F-10-61	16.60	5.81	0.94 (5.7)	0.58	
8a (HILLSIDE DISTRICT, AREA-5)	F-II-27	0.00	0.00	0.20 (0.0)	0.00	
86 (WESTSIDE DISTRICT, AREA-2)	F-12-21	0.00	0.00	0.67 (0.0)	0.00	0.67 (100) (5)
8c (MIDTOWN WEST DISTRICT)	F-12-20	1.65	0.58	0.09 (5.5)	0.06	
8c (MIDTOWN WEST DISTRICT)	F-12-29	30.22	10.58	13.59 (45.0)	1.06	1.29 (9.5) 6
WA	F-I2-I5	9.37	/ 3.28	0.00 (0.0)	0.33	0.00 (0.0)
96 (WESTSIDE DISTRICT, AREA-3)	F-13-03	0.00	0.00	0.69 (0.0)	0.00	0.69 (100) ①
9c (MIDTOWN WEST DISTRICT, AREA-2)	F-13-07	34.08	11.43	13.59 (39.9)	1.19	5.05 (37.2) (8)
9c (GARDEN DISTRICT, PARCEL W)	F-13-08	75.79	26.53	0.00 (0.0)	2.65	0.00 (0.0)
n/a (BUSINESS DISTRICT, AREA 2)	F-12-86	15.46	5.41	3.74 (24.2)	0.54	0.00 (0.0)
Ob (WESTSIDE DISTRICT, AREA 4)	F-14-15	0.00	0.00	0.00 (0.0)	0.00	0.00 (0.0)
Oc (GARDEN DISTRICT, AREA I)	F-14-33	0.00	0.00	23.86 (0.0)	0.00	9.55 (40.0) (9)
IIC (GARDEN DISTRICT, AREA 2)	P-14-01	0.00	0.00	5.02 (0.0)	0.00	0.00 (0.0)
Ib (WESTSIDE DISTRICT, AREA 5)	F-14-69	0.00	0.00	0.00 (0.0)	0.00	0.00 (0.0)
TOTAL		494.93	173.23	180.72 (36.5)	17.32	31.43 (17.4)

- * THE PERCENTAGE OF OPEN SPACE PROVIDED IS BASED ON THE GROSS SITE ACREAGE.
- ** 10% OF THE OPEN SPACE REQUIRED MUST BE AVAILABLE FOR ACTIVE RECREATION. *** THE PERCENTAGE OF ACTIVE RECREATION O.S. PROVIDED IS BASED ON THE O.S. PROVIDED (CUMULATIVE TOTAL ACREAGE).
- 1.52 AC. = COMMUNITY CENTER (0.5. 125 5.01 AC.), 0.5. 126 (0.55 AC.) AND 0.5. 123 (1.96 AC.)
- ② 0.29 AC. = PATHWAYS (3) 1.61 AC. = 0.5, LOT 213 (1.00 Ac.) and 0.5, LOT 214 (0.61 Ac.)
- 4) 4.76 AC. = 0.5. LOT 4 (4.76 Ac.)
- (5) 0.67 ACRES = 0.5, Lot 68 (0.67 Ac.)
- (6) 1.29 ACRES = 0.5. Lot 85 (0.63 Ac.) and 0.5. Lot 84 (0.66 Ac.)
- 7) 0.69 ACRES = 0.5. 115 (0.69 Ac.)
- (8) 5.05 AREAS = 0.5. 179 (0.73 Ac.), 0.5. 180 (0.74 ac.), 0.5. 182 (3.58)
- (9) 9.55 AREAS = 0.5. 99 (0.90 Ac.), 0.5. 101 (1.75 ac.), 0.5. 104 (2.85) and 0.5. 107 (2.44 Ac.) OPEN SPACE LOTS 126 AND 123 ARE CONSIDERED RECREATIONAL SINCE RESIDENTS WILL BE ABLE TO GATHER AND CHILDREN WILL BE ABLE TO PLAY IN THESE AREAS.

	BUILDING	PERMI	T CHAR	T .					
،	THIS PLAN HAS BEEN SET UP TO ALLOW MULTIPLE GRADING PERMITS IN ACCORDANCE WITH THE APPLICABLE POLICY FOR MLF.								
*	LOTS	DISTURBED AREA (Ac.)	LANDSCAPE SURETY AMOUNT	LANDSCAPE INSPECTION FEES PAID					
	12-19	1.75±	\$14,730.00	\$147,30					
	63-66	0.45±	\$2,400.00	\$100.00					
	72-76	0.58±	\$3,000.00	\$100.00					
	TOTAL	2.78±	\$20,130.00	\$347.30					
	WITHIN I YEAR OF SIGNATURE APPROVAL OF THIS SDP BY THE DIRECTOR OF DPZ, THE BUILDER SHALL APPLY TO THE DEPT. OF INSPECTIONS, LICENSES AND PERMITS FOR BUILDING PERMIT(S) TO								

SHEET INDEX

- COVER SHEET SITE DEVELOPMENT PLAN SITE DEVELOPMENT PLAN
- SEDIMENT CONTROL PLAN SEDIMENT CONTROL NOTES and DETAILS
- LANDSCAPE PLAN LANDSCAPE PLAN

LOT No.	STREET ADDRESS	LOT No.	STREET ADDRESS
12	11501 IAGER BOULEVARD	63	11450 DAIRY STREET
13	11505 IAGER BOULEVARD	64	11448 DAIRY STREET
. 14	11509 IAGER BOULEVARD	65	11446 DAIRY STREET
15	11515 IAGER BOULEVARD	66	11444 DAIRY STREET
16	11519 IAGER BOULEVARD		
17	11523 IAGER BOULEVARD		
18	11527 IAGER BOULEVARD		
19	11531 IAGER BOULEVARD	72	II605 PACA STREET
	·	73	11607 PACA STREET
		74	11609 PACA STREET
	. :	75	II6II PACA STREET
,		76	II6I3 PACA STREET
	N. C.		

ADDRESS CHART

- 1	1								
	WATER CODE: E2I				SEWER CODE: 7695000				
	DEVELOPMENT NAME: MAPLE LAWN FARMS					ISTRICT/AREA RDEN DISTRICT AREA I		0TS <i>63-66</i> 76	CENSUS TRACT 6051.02
	PLAT Nos. ZONE 22995-23004 MXD		TAX MAP 41	GRID 15. ¢					
			SCA	LE	·	, ZONING		G. L	. W. FILE No.
			AS SH	NWOF		MXD-3		1	4054

PERMIT INFORMATION CHART

GLWGUTSCHICK LITTLE & WEBER, P.A.

CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS 3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK BURTONSVILLE, MARYLAND 20866 TEL: 301-421-4024 BALT: 410-880-1820 DC/VA: 301-989-2524 FAX: 301-421-4186 \CADD\DRAHMGS\12001\14054 (MHH)\SDP (Area 1)\14054_01 CS (Area 1).dwg | DES. mbt | DRN. klp

PROPERTY OWNER (SELLER): MAPLE LAWN FARMS 1, LLC BALTIMORE, MD 21208 PH: 410-484-8400 ATTN.: MARK BENNET

PREPARED FOR: BUILDER (CONTRACT PURCHASER): MICHAEL HARRIS HOMES INC. 1829 REISTERSTOWN ROAD, SUITE 300 c/o Streetscape Partners, LLC 1420 SPRING HILL ROAD, SUITE 550 McLEAN, VIRGINIA 22102 PH: 703-848-1600 ATTN.: HOWARD KATZ

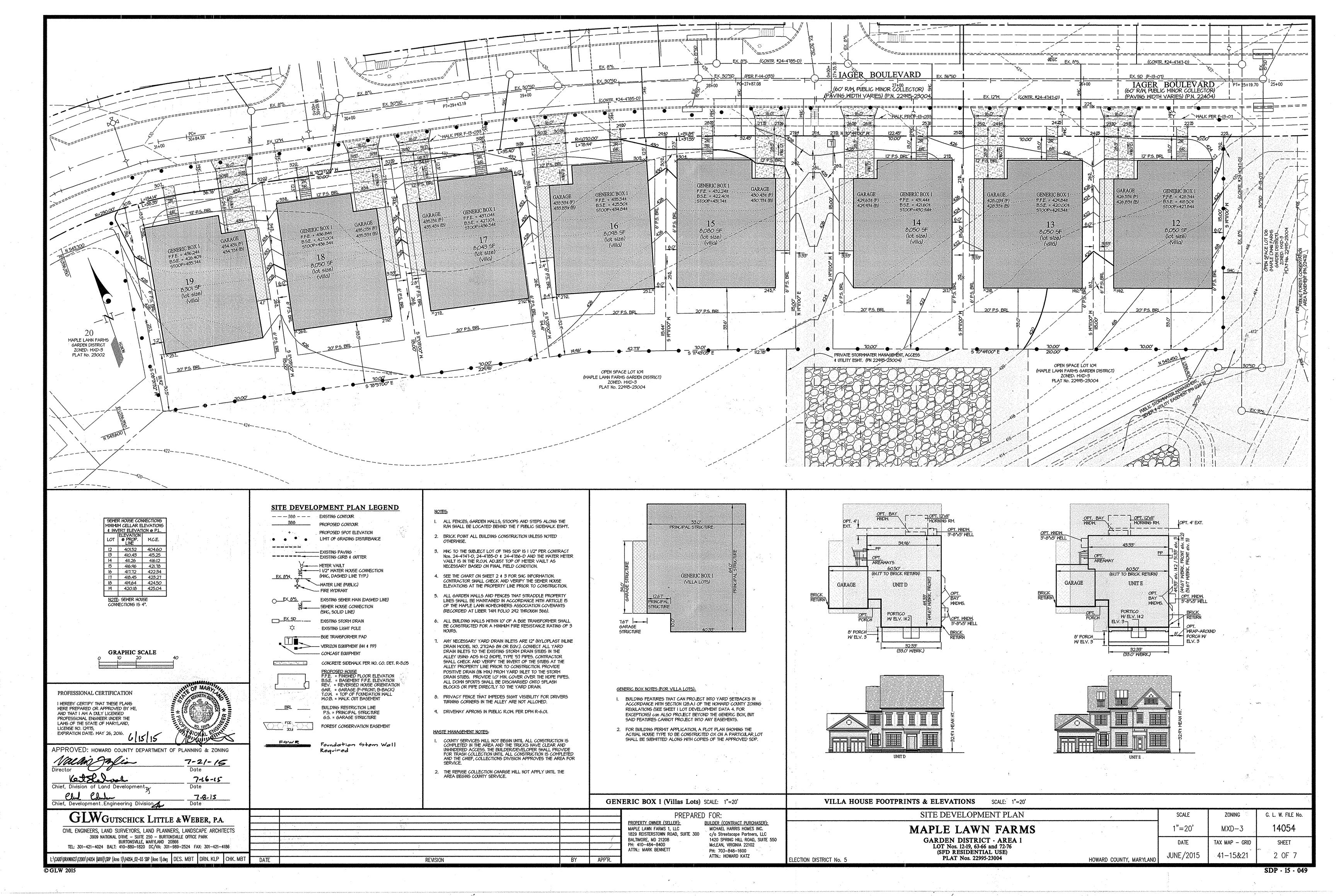
LECTION DISTRICT No. 5

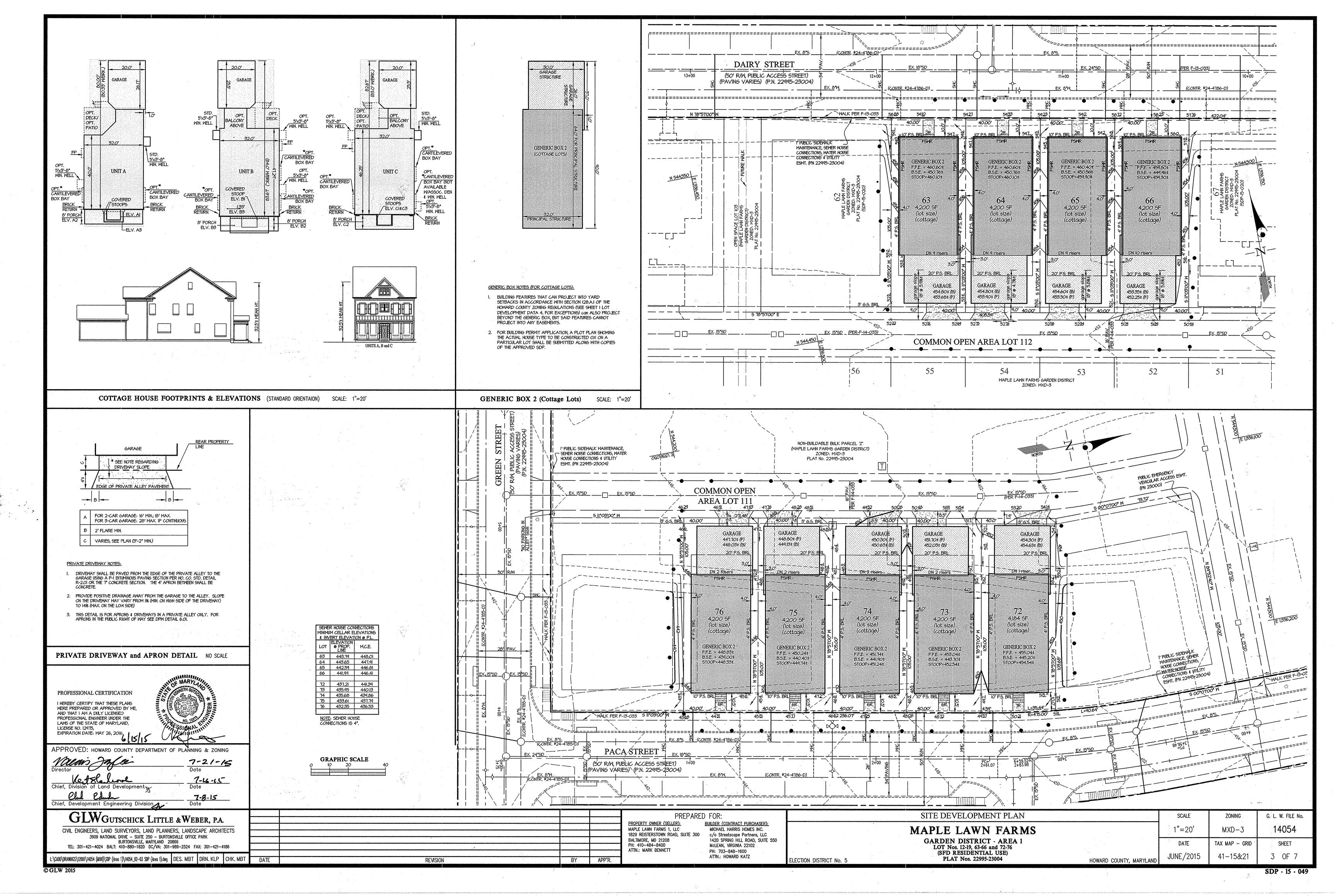
MAPLE LAWN FARMS **GARDEN DISTRICT - AREA 1** LOT Nos. 12-19, 63-66 and 72-76 (SFD RESIDENTIAL USE)

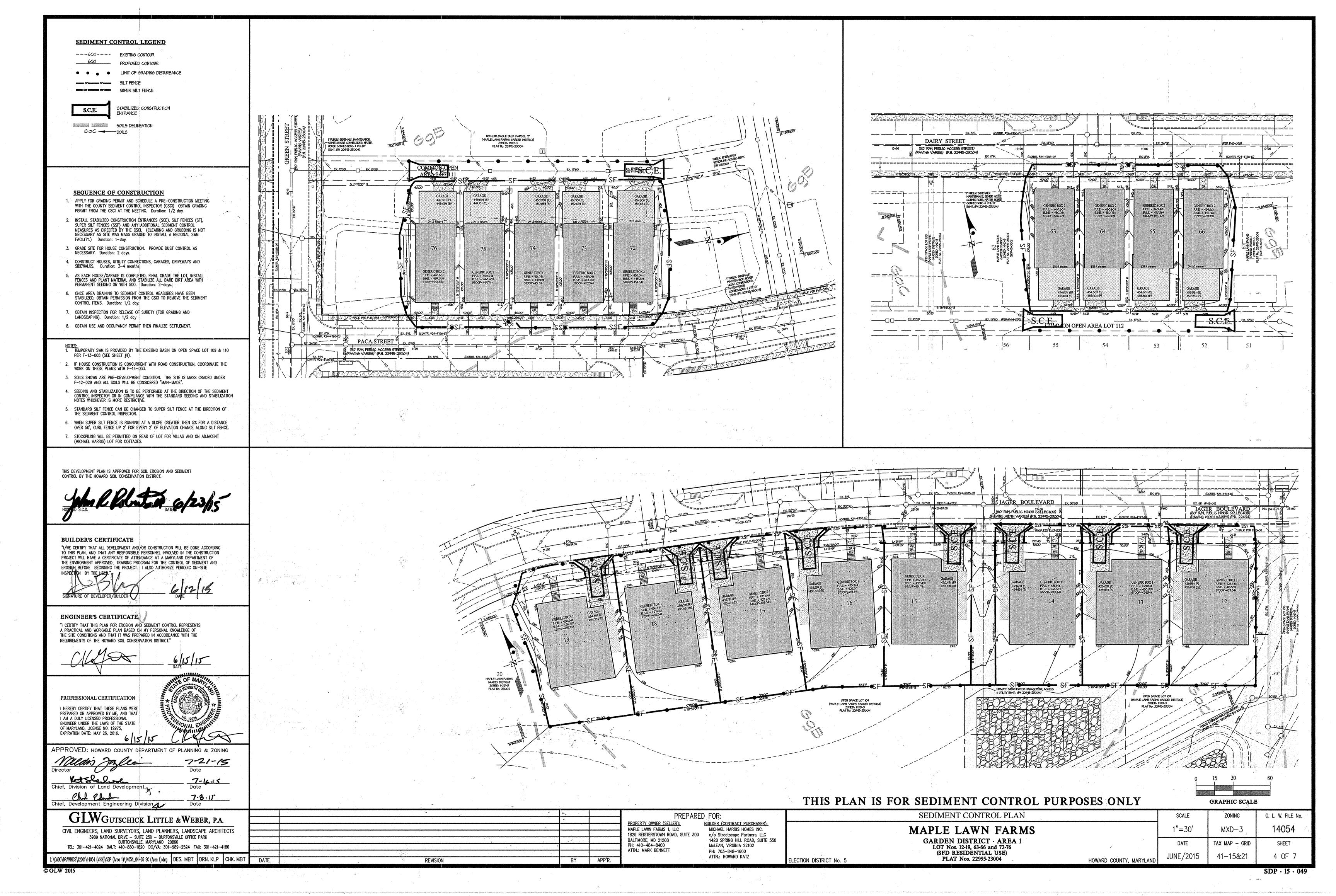
PLAT Nos. 22995-23004

COVER SHEET

HOWARD COUNTY, MARYLAND







B-4-2 STANDARD AND SPECIFICATIONS FOR SOIL PREPARATION, TOPSOILING, AND SOIL AMENDMENTS THE PROCESS OF PREPARING THE SOILS TO SUSTAIN ADEQUATE VEGETATIVE STABILIZATION. TO PROVIDE A SUITABLE SOIL MEDIUM FOR VEGETATIVE GROWTH. CONDITIONS WHERE PRACTICE APPLIES WHERE VEGETATIVE STABILIZATION IS TO BE ESTABLISHED. A. SOIL PREPARATION 1. TEMPORARY STABILIZATION SEEDBED PREPARATION CONSISTS OF LOOSENING SOIL TO A DEPTH OF 3 TO 5 INCHES BY MEANS OF SUITABLE AGRICULTURAL OR CONSTRUCTION EQUIPMENT, SUCH AS DISC HARROWS OR CHISEL PLOWS OF RIPPERS MOUNTED ON CONSTRUCTION EQUIPMENT. AFTER THE SOIL IS LOOSENED, IT MUST NOT BE ROLLED OR DRAGGED SMOOTH BUT LEFT IN THE ROUGHENED CONDITION. SLOPES 3:1 OR FLATTER ARE TO BE TRACKED WITH RIDGES RUNNING PARALLEL TO THE CONTOUR OF THE SLOPE. APPLY FERTILIZER AND LIME AS PRESCRIBED ON THE PLANS. :. INCORPORATE LIME AND FERTILIZER INTO THE TOP 3 TO 5 INCHES OF SOIL BY DISKING OR OTHER 2. PERMANENT STABILIZATION a. A SOIL TEST IS REQUIRED FOR ANY EARTH DISTURBANCE OF 5 ACRES OR MORE. THE MINIMUM SOIL CONDITIONS REQUIRED FOR PERMANENT VEGETATIVE ESTABLISHMENT ARE: 1. SOIL PH BETWEEN 6.0 AND 7.0. II. SOLUBLE SALTS LESS THAN 500 PARTS PER MILLION (PPM). III. SOIL CONTAINS LESS THAN 40 PERCENT CLAY BUT ENOUGH FINE GRAINED MATERIAL (GREATER THAN 30 PERCENT SILT PLUS CLAY) TO PROVIDE THE CAPACITY TO HOLD A MODERATE AMOUNT OF MOISTURE. AN EXCEPTION: IF LOVEGRASS WILL BE PLANTED, THEN A SANDY SOIL (LESS THAN 30 PERCENT SILT PLUS CLAY) WOULD BE ACCEPTABLE. IV. SOIL CONTAINS 1.5 PERCENT MINIMUM ORGANIC MATTER BY WEIGHT. V. SOIL CONTAINS SUFFICIENT PORE SPACE TO PERMIT ADEQUATE ROOT PENETRATION. . APPLICATION OF AMENDMENTS OR TOPSOIL IS REQUIRED IF ON-SITE SOILS DO NOT MEET THE ABOVE . GRADED AREAS MUST BE MAINTAINED IN A TRUE AND EVEN GRADE AS SPECIFIED ON THE APPROVED PLAN, THEN SCARIFIED OR OTHERWISE LOOSENED TO A DEPTH OF 3 TO 5 INCHES. APPLY SOIL AMENDMENTS AS SPECIFIED ON THE APPROVED PLAN OR AS INDICATED BY THE RESULTS E. MIX SOIL AMENDMENTS INTO THE TOP 3 TO 5 INCHES OF SOIL BY DISKING OR OTHER SUITABLE MEANS. RAKE LAWN AREAS TO SMOOTH THE SURFACE, REMOVE LARGE OBJECTS LIKE STONES AND BRANCHES, AND READY THE AREA FOR SEED APPLICATION. LOOSEN SURFACE SOIL BY DRAGGING WITH A HEAVY CHAIN OR OTHER EQUIPMENT TO ROUGHEN THE SURFACE WHERE SITE CONDITIONS WILL NOT PERMIT NORMAL SEEDBED PREPARATION. TRACK SLOPES 3:1 OR FLATTER WITH TRACKED EQUIPMENT LEAVING THE SOIL IN AN IRREGULAR CONDITION WITH RIDGES RUNNING PARALLEL TO THE CONTOUR OF TH slope. Leave the top 1 to 3 inches of soil loose and friable. Seedbed loosening may b UNNECESSARY ON NEWLY DISTURBED AREAS. 3. TOPSOILING THE PURPOSE IS TO PROVIDE A SUITABLE SOIL MEDIUM FOR VEGETATIVE GROWTH. SOILS OF CONCERN HAVE LOW MOISTURE CONTENT, LOW NUTRIENT LEVELS, LOW PH, MATERIALS TOXIC TO PLANTS, AND/OR topsoil salvaged from an existing site may be used provided it meets the standards as set FORTH IN THESE SPECIFICATIONS. TYPICALLY, THE DEPTH OF TOPSOIL TO BE SALVAGED FOR A GIVEN soil type can be found in the representative soil profile section in the soil survey TOPSOILING IS LIMITED TO AREAS HAVING 2:1 OR FLATTER SLOPES WHERE: PLANTS OR FURNISH CONTINUING SUPPLIES OF MOISTURE AND PLANT NUTRIENTS. THE ORIGINAL SOIL TO BE VEGETATED CONTAINS MATERIAL TOXIC TO PLANT GROWTH THE SOIL IS SO ACIDIC THAT TREATMENT WITH LIMESTONE IS NOT FEASIBLE. AREAS HAVING SLOPES STEEPER THAN 2:1 REQUIRE SPECIAL CONSIDERATION AND DESIGN. TOPSOIL SPECIFICATIONS: SOIL TO BE USED AS TOPSOIL MUST MEET THE FOLLOWING CRITERIA: GRASS, JOHNSON GRASS, NUT SEDGE, POISON IVY, THISTLE, OR OTHERS AS SPECIFIED.

THE TEXTURE OF THE EXPOSED SUBSOIL/PARENT MATERIAL IS NOT ADEQUATE TO PRODUCE VEGETATIVE . THE SOIL MATERIAL IS SO SHALLOW THAT THE ROOTING ZONE IS NOT DEEP ENOUGH TO SUPPORT

OTHER SOILS MAY BE USED IF RECOMMENDED BY AN AGRONOMIST OR SOIL SCIENTIST AND APPROVED BY THE APPROPRIATE APPROVAL AUTHORITY, TOPSOIL MUST NOT BE A MIXTURE OF CONTRASTING TEXTURED SUBSOILS AND MUST CONTAIN LESS THAN 5 PERCENT BY VOLUME OF CINDERS, STONES SLAG, COARSE FRAGMENTS, GRAVEL, STICKS, ROOTS, TRASH, OR OTHER MATERIALS LARGER THAN 1.5 TOPSOIL MUST BE FREE OF NOXIOUS PLANTS OR PLANT PARTS SUCH AS BERMUDA GRASS, QUACK

TOPSOIL SUBSTITUTES OR AMENDMENTS, AS RECOMMENDED BY A QUALIFIED AGRONOMIST OR SOIL SCIENTIST AND APPROVED BY THE APPROPRIATE APPROVAL AUTHORITY, MAY BE USED IN LIEU OF

TOPSOIL APPLICATION EROSION AND SEDIMENT CONTROL PRACTICES MUST BE MAINTAINED WHEN APPLYING TOPSOI UNIFORMLY DISTRIBUTE TOPSOIL IN A 5 TO 8 INCH LAYER AND LIGHTLY COMPACT TO A MINIMUM THICKNESS OF 4 INCHES. SPREADING IS TO BE PERFORMED IN SUCH A MANNER THAT SODDING OR FEDING CAN PROCEED WITH A WINIMUM OF ADDITIONAL SOIL PREPARATION AND THEACH ANY IRREGULARITIES IN THE SURFACE RESULTING FROM TOPSOILING OR OTHER OPERATIONS MUST BE CORRECTED IN ORDER TO PREVENT THE FORMATION OF DEPRESSIONS OR WATER POCKETS. TOPSOIL MUST NOT BE PLACED IF THE TOPSOIL OR SUBSOIL IS IN A FROZEN OR MUDDY CONDITION.

WHEN THE SUBSOIL IS EXCESSIVELY WET OR IN A CONDITION THAT MAY OTHERWISE BE DETRIMENTAL TO PROPER GRADING AND SEEDBED PREPARATION. . SOIL AMENDMENTS (FERTILIZER AND LIME SPECIFICATIONS) SOIL TESTS MUST BE PERFORMED TO DETERMINE THE EXACT RATIOS AND APPLICATION RATES FOR BOTH LIME AND FERTILIZER ON SITES HAVING DISTURBED AREAS OF 5 ACRES OR MORE. SOIL ANALYSIS MAY BE PERFORMED BY A RECOGNIZED PRIVATE OR COMMERCIAL LABORATORY. SOIL SAMPLES TAKEN FOR ENGINEERING PURPOSES MAY ALSO BE USED FOR CHEMICAL ANALYSES.

TONS/ACRE (200-400 POUNDS PER 1,000 SQUARE FEET) PRIOR TO THE PLACEMENT OF TOPSOIL.

FERTILIZERS MUST BE UNIFORM IN COMPOSITION, FREE FLOWING AND SUITABLE FOR ACCURATE APPLICATION BY APPROPRIATE EQUIPMENT. MANURE MAY BE SUBSTITUTED FOR FERTILIZER WITH PRIOR APPROVAL FROM THE APPROPRIATE APPROVAL AUTHORITY. FERTILIZERS MUST ALL BE DELIVERED TO THE SITE FULLY LABELED ACCORDING TO THE APPLICABLE LAWS AND MUST BEAR THE NAME, TRADE . PERFORM MULCH ANCHORING IMMEDIATELY FOLLOWING APPLICATION OF MULCH TO MINIMIZE LOSS BY WIND OR WATER. THIS MAY BE DONE BY ONE OF THE FOLLOWING METHODS (LISTED BY PREFERENCE), DEPENDING UPON THE SIZE OF THE AREA AND IAME OR TRADEMARK AND WARRANTY OF THE PRODUCER I. A MULCH ANCHORING TOOL IS A TRACTOR DRAWN IMPLEMENT DESIGNED TO PUNCH AND ANCHOR MULCH INTO THE SOIL SURFACE A MINIMUM OF 2 INCHES. THIS PRACTICE IS MOST EFFECTIVE ON LARGE AREAS, BUT IS LIMITED TO FLATTER SLOPES WHERE EQUIPMENT CAN OPERATE SAFELY. IF USED ON SLOPING LAND, THIS PRACTICE SHOULD FOLLOW THE CONTOUR. LIME MATERIALS MUST BE GROUND LIMESTONE (HYDRATED OR BURNT LIME MAY BE SUBSTITUTED EXCEPT WHEN HYDROSEEDING) WHICH CONTAINS AT LEAST 50 PERCENT TOTAL OXIDES (CALCIUM OXIDE PLUS MAGNESIUM OXIDE). LIMESTONE MUST BE GROUND TO SUCH FINENESS THAT AT LEAST 50 PERCENT WILL PASS THROUGH A \$1100 MESH SIEVE AND 98 TO 100 PERCENT WILL PASS THROUGH A II. WOOD CELLULOSE FIBER MAY BE USED FOR ANCHORING STRAW, APPLY THE FIBER BINDER AT A NET DRY WEIGHT OF 750 POUNDS PER ACRE. MIX THE WOOD IME AND FERTILIZER ARE TO BE EVENLY DISTRIBUTED AND INCORPORATED INTO THE TOP 3 TO 5 INCHES OF SOIL BY DISKING OR OTHER SUITABLE MEANS. WHERE THE SUBSOIL IS EITHER HIGHLY ACIDIC OR COMPOSED OF HEAVY CLAYS, SPREAD GROUND LIMESTONE AT THE AT THE RATE OF 4 TO 8 LULOSE FIBER WITH WATER AT A MAXIMUM OF 50 POUNDS OF WOOD

B-4-3 STANDARDS AND SPECIFICATIONS FOR B-4-4 STANDARDS AND SPECIFICATIONS SEEDING and MULCHING FOR TEMPORARY STABILIZATION THE APPLICATION OF SEED AND MULCH TO ESTABLISH VEGETATIVE COVER. TO STABILIZE DISTURBED SOILS WITH VEGETATION FOR UP TO 6 MONTHS.

DEFINITION

TO PROTECT DISTURBED SOILS FROM EROSION DURING AND AT THE END OF

CONSTRUCTION.

<u>CONDITIONS WHERE PRACTICE APPLIES</u>

TO THE SURFACE OF ALL PERIMETER CONTROLS, SLOPES, AND ANY DISTURBED AREA

NOT UNDER ACTIVE GRADING.

CRITERIA

ALL SEED MUST BE SUBJECT TO RE-TESTING BY A RECOGNIZED SEED LABORATORY.

ALL SEED USED MUST HAVE BEEN TESTED WITHIN THE 6 MONTHS IMMEDIATELY

PRECEDING THE DATE OF SOWING SUCH MATERIAL ON ANY PROJECT, REFER TO

TABLE B.4 REGARDING THE QUALITY OF SEED. SEED TAGS MUST BE AVAILABLE UPON REQUEST TO THE INSPECTOR TO VERIFY TYPE OF SEED AND SEEDING RATE.

MULCH ALONE MAY BE APPLIED BETWEEN THE FALL AND SPRING SEEDING DATES ONLY IF THE GROUND IS FROZEN. THE APPROPRIATE SEEDING MIXTURE MUST BE

INOCULANTS: THE INOCULANT FOR TREATING LEGUME SEED IN THE SEED MIXTURES

THE SPECIES. INOCULANTS MUST NOT BE USED LATER THAN THE DAT

PACKAGE. USE FOUR TIMES THE RECOMMENDED RATE WHEN HYDROSEEDING. NOTE

T IS VERY IMPORTANT TO KEEP INOCULANT AS COOL AS POSSIBLE UNTIL USED.

TEMPERATURES ABOVE 75 TO 80 DEGREES FAHRENHEIT CAN WEAKEN BACTERIA AND MAKE THE INOCULANT LESS EFFECTIVE.

SOD OR SEED MUST NOT BE PLACED ON SOIL WHICH HAS BEEN TREATED WITH SOIL

STERILANTS OR CHEMICALS USED FOR WEED CONTROL UNTIL SUFFICIENT TIME HAS

ELAPSED (14 DAYS MIN.) TO PERMIT DISSIPATION OF PHYTO-TOXIC MATERIALS.

INCORPORATE SEED INTO THE SUBSOIL AT THE RATES PRESCRIBED ON

TEMPORARY SEEDING TABLE B.1, PERMANENT SEEDING TABLE B.3, OR

WEIGHTED ROLLER TO PROVIDE GOOD SEED TO SOIL CONTACT.

b. DRILL OR CULTIPACKER SEEDING: MECHANIZED SEEDERS THAT APPLY AND COVER

CULTIPACKING SEEDERS ARE REQUIRED TO BURY THE SEED IN SUCH A

. HYDROSEEDING: APPLY SEED UNIFORMLY WITH HYDROSEEDER (SLURRY INCLUDES

FASHION AS TO PROVIDE AT LEAST 1/4 INCH OF SOIL COVERING. SEEDBED

APPLY SEED IN TWO DIRECTIONS, PERPENDICULAR TO EACH OTHER. APPLY

IF FERTILIZER IS BEING APPLIED AT THE TIME OF SEEDING, THE APPLICATION

RATES SHOULD NOT EXCEED THE FOLLOWING: NITROGEN, 100 POUNDS PER ACRE

TOTAL OF SOLUBLE NITROGEN; P205 (PHOSPHOROUS), 200 POUNDS PER ACRE;

ii. LIME: USE ONLY GROUND AGRICULTURAL LIMESTONE (UP TO 3 TONS PER ACRE

APPLIED BY HYDROSEEDING AT ANY ONE TIME. DO NOT USE BURNT OR HYDRATED

MAY BE APPLIED BY HYDROSEEDING). NORMALLY, NOT MORE THAN 2 TONS ARE

iii. MIX SEED AND FERTILIZER ON SITE AND SEED IMMEDIATELY AND WITHOUT

STRAW CONSISTING OF THOROUGHLY THRESHED WHEAT, RYE, OAT, OR BARLEY AND REASONABLY BRIGHT IN COLOR. STRAW IS TO BE FREE OF NOXIOUS WEED SEEDS AS SPECIFIED IN THE MARYLAND SEED LAW AND NOT MUSTY, MOLDY, CAKED, DECAYED, OR EXCESSIVELY DUSTY. NOTE: USE ONLY STERILE STRAW MULCH IN

WOOD CELLULOSE FIBER MULCH (WCFM) CONSISTING OF SPECIALLY PREPARED WOOT

III. WOFM MATERIALS ARE TO BE MANUFACTURED AND PROCESSED IN SUCH A

MULCH MATERIAL MUST FORM A BLOTTER-LIKE GROUND COVER, ON

AND MUST COVER AND HOLD GRASS SEED IN CONTACT WITH THE SOIL

WCFM MUST CONFORM TO THE FOLLOWING PHYSICAL REQUIREMENTS: FIBER

APPROXIMATELY 10 MILLIMETERS, DIAMETER APPROXIMATELY 1 MILLIMETER, PH RANGE OF 4.0 TO 8.5, ASH CONTENT OF 1.6 PERCENT MAXIMUM AND WATER

MTHOUT INHIBITING THE GROWTH OF THE GRASS SEEDLINGS.

iv. WCFM MATERIAL MUST NOT CONTAIN ELEMENTS OR COMPOUNDS AT CONCENTRATION LEVELS THAT WILL BE PHYTO-TOXIC.

WCFM IS TO BE DYED GREEN OR CONTAIN A GREEN DYE IN THE PACKAGE

WCFM, INCLUDING DYE, MUST CONTAIN NO GERMINATION OR GROWTH INHIBITIN

MANNER THAT THE WOOD CELLULOSE FIBER MULCH WILL REMAIN IN UNIFORM SUSPENSION IN WATER LINDER ACITATION AND WILL REFUN WITH SEED.

FERTILIZER AND OTHER ADDITIVES TO FORM A HOMOGENEOUS SLURRY. THE

APPLICATION, HAVING MOISTURE ABSORPTION AND PERCOLATION PROPERTIES

APPROPRIATE COLOR TO FACILITATE VISUAL

CELLULOSE PROCESSED INTO A UNIFORM FIBROUS PHYSICAL STATE.

THAT WILL PROVIDE AN APPROPRIATE INSPECTION OF THE UNIFORMLY SPREAD SLURRY.

HOLDING CAPACITY OF 90 PERCENT MINIMUM.

APPLICATION RATE TO 2.5 TONS PER ACRE.

ELLULOSE FIBER PER 100 GALLONS OF WATER.

NEEDS TO BE HEAVIER AT THE EDGES WHERE WIND

PER 100 GALLONS OF WATER.

PROFESSIONAL CERTIFICATION

I HEREBY CERTIFY THAT THESE PLANS WERE

PREPARED OR APPROVED BY ME, AND THAT

ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 12975,

ENGINEER'S CERTIFICATE

I AM A DULY LICENSED PROFESSIONAL

EXPIRATION DATE: MAY 26, 2016.

o. APPLY MULCH TO ALL SEEDED AREAS IMMEDIATELY AFTER SEEDING

b. WHEN STRAW MULCH IS USED, SPREAD IT OVER ALL SEEDED AREAS AT THE RATE OF 2 TONS PER ACRE TO A UNIFORM LOOSE DEPTH OF 1 TO 2 INCHES. APPLY

MULCH TO ACHIEVE A UNIFORM DISTRIBUTION AND DEPTH SO THAT THE SOIL

SURFACE IS NOT EXPOSED. WHEN USING A MULCH ANCHORING TOOL, INCREASE TH

WOOD CELLULOSE FIBER USED AS MULCH MUST BE APPLIED AT A NET DRY WEIGH

ATTAIN A MIXTURE WITH A MAXIMUM OF 50 POUNDS OF WOOD CELLULOSE FIBER

OF 1500 POUNDS PER ACRE. MIX THE WOOD CELLULOSE FIBER WITH WATER TO

SYNTHETIC BINDERS SUCH AS ACRYLIC DLR (AGRO-TACK), DCA-70,

IV. LIGHTWEIGHT PLASTIC NETTING MAY BE STAPLED OVER THE MULCH ACCORDING TO MANUFACTURER RECOMMENDATIONS. NETTING IS USUALLY AVAILABLE IN ROLLS 4 TO 15 FEET WIDE AND 300 TO 3,000 FEET LONG.

CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS

A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF

THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE

REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT."

CATCHES MULCH, SUCH AS IN VALLEYS AND ON CRESTS OF BANKS. USE OF ASPHALT BINDERS IS STRICTLY PROHIBITED.

, Terra tax II, terra manufacturer. Application of Liquid Binder:

iv. WHEN HYDROSEEDING DO NOT INCORPORATE SEED INTO THE SOIL.

APPLY SEED IN TWO DIRECTIONS, PERPENDICULAR TO EACH OTHER, APPLY

HALF THE SEEDING RATE IN EACH DIRECTION. ROLL THE SEEDED AREA WITH A

1. DRY SEEDING: THIS INCLUDES USE OF CONVENTIONAL DROP OR BROADCAST

INDICATED ON THE CONTAINER. ADD FRESH INOCULANTS AS DIRECTED ON THE

T BE A PURE CULTURE OF NITROGEN FIXING BACTERIA PREPARED SPECIFICALLY

THE REQUIREMENTS OF THE MARYLAND STATE SEED LAW

. SEEDING

SPECIFICATIONS

APPLICATION `

SEED WITH SOIL.

SEED AND FERTILIZER).

LIME WHEN HYDROSEEDING.

MULCH MATERIALS (IN ORDER OF PREFERENCE)

AREAS WHERE ONE SPECIES OF GRASS IS DESIRED.

INTERRUPTION.

. MULCHING

APPLIED WHEN THE GROUND THAWS.

SITE-SPECIFIC SEEDING SUMMARIES

MUST BE FIRM AFTER PLANTING

K20 (POTASSIUM), 200 POUNDS PER ACRE.

HALF THE SEEDING RATE IN EACH DIRECTION.

TO USE FAST GROWING VEGETATION THAT PROVIDES COVER ON DISTURBED SOILS. CONDITIONS WHERE PRACTICE APPLIES EXPOSED SOILS WHERE GROUND COVER IS NEEDED FOR A PERIOD OF 6 MONTHS OR LESS. FOR LONGER DURATION OF TIME, PERMANENT STABILIZATION PRACTICES ARE REQUIRED.

SELECT ONE OR MORE OF THE SPECIES OR SEED MIXTURES LISTED IN TABLE B.1 FOR THE APPROPRIATE PLANT HARDINESS ZONE (FROM FIGURE B.3). AND ENTER THEM IN THE TEMPORARY SEEDING SUMMARY BELOW ALONG WITH APPLICATION RATES, SEEDING DATES AND SEEDING DEPTHS. IF THIS SUMMARY IS NOT PUT ON THE PLAN AND COMPLETED, THEN TABLE B.1 PLUS FERTILIZER AND LIME RATES MUST BE PUT ON THE PLAN. FOR SITES HAVING SOIL TESTS PERFORMED, USE AND SHOW THE RECOMMENDED RATES BY THE TESTING AGENCY SOIL TESTS ARE NOT REQUIRED FOR TEMPORARY SEEDING. WHEN STABILIZATION IS REQUIRED OUTSIDE OF A SEEDING SEASON, APPLY SEED AND

MULCH OR STRAW MULCH ALONE AS PRESCRIBED IN SECTION B-4-3.A.1.B AND MAINTAIN

UNTIL THE NEXT SEEDING SEASON. TEMPORARY SEEDING SUMMARY

	HARDINESS 2				FERTILIZER	
	SEED MIXTUR		RATE	LIME RATE		
No.	SPECIES	APPLICATION RATE (lb/ac.)	SEEDING DATES	SEEDING SEEDING (10-10-10		UMC KAIC
1	ANNUAL RYEGRASS	40 lb/ac	Mar. 1 to May 15, Aug. 1 to Oct. 15	0.5 INCHES	436 lb./ac. (10 lb./	2 tons/ac (90 lb./
2 PEARL MILLET		20 lb/ac	May 16 to July 31	0.5 INCHES	1,000 sf)	1,000 sf)

SEDIMENT CONTROL NOTES A MINIMUM OF 48 HOURS NOTICE MUST BE GIVEN TO THE HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS, CONSTRUCTION INSPECTION DIVISION (CID) PRIOR TO THE START OF ANY CONSTRUCTION. (410-313-1855)

ALL VEGETATIVE AND STRUCTURAL PRACTICES ARE TO BE INSTALLED ACCORDING TO THE PROVISIONS OF THIS PLAN AND ARE TO BE IN CONFORMANCE WITH THE MOST CURRENT *MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL" AND REVISIONS THERETO. FOLLOWING INITIAL SOIL DISTURBANCE OR RE-DISTURBANCE, PERMANENT OR TEMPORARY STABILIZATION SHALL BE COMPLETED WITHIN:

A. 3 CALENDAR DAYS FOR ALL PERIMETER SEDIMENT CONTROL STRUCTURES, DIKES, PERIMETER SLOPES AND ALL SLOPES GREATER THAN 3:1, ALL DISTURBED AREAS MUST BE STABILIZED WITHIN THE TIME PERIOD SPECIFIED ABOVE IN ACCORDANCE WITH THE "2011 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL" FOR PERMANENT SEEDING (Sec. B-4-5), TEMPORARY SEEDING (Sec. B-4-4) AND MULCHING (Sec. B-4-3). TEMPORARY STABILIZATION WITH MULCH ALONE CAN ONLY BE DONE WHEN RECOMMENDED SEEDING DATES DO NOT ALLOW

FOR PROPER GERMINATION AND ESTABLISHMENT OF GRASSES.

ALL SEDIMENT CONTROL STRUCTURES ARE TO REMAIN IN PLACE AND ARE TO BE MAINTAINED IN OPERATIVE CONDITION UNTIL PERMISSION FOR THEIR REMOVAL HAS BEEN OBTAINED FROM THE HOWARD COUNTY SEDIMENT CONTROL INSPECTOR. LOTS 63-66 | LOTS 72-7 SITE ANALYSIS: 0.38± AC. | 0.48± AC. TOTAL AREA OF SITE 1.49± AC. AREA DISTURBED : 1.75± AC. | 0.45± AC. | 0.58± AC. AREA TO BE ROOFED OR PAVED : 0.56± AC. 0.23± AC. | 0.29± AC 1.19± AC. 0.22± AC. | 0.29± AC. : 2,100± CY | 720± CY | 900± CY TOTAL FILL : 2,100± CY | 720± CY 900± CY OFF-SITE WASTE/BORROW AREA LOCATION : NONE NONE I NONE

ANY SEDIMENT CONTROL PRACTICE WHICH IS DISTURBED BY GRADING ACTIVITY FOR PLACEMENT OF UTILITIES MUST BE REPAIRED ON THE SAME DAY OF DISTURBANCE ADDITIONAL SEDIMENT CONTROL MUST BE PROVIDED, IF DEEMED NECESSARY BY THE HOWARD COUNTY SEDIMENT CONTROL INSPECTOR.

ON ALL SITES WITH DISTURBED AREAS IN EXCESS OF 2 ACRES, APPROVAL OF THE INSPECTION AGENCY SHALL BE REQUESTED UPON COMPLETION OF INSTALLATION OF PERIMETER EROSION AND SEDIMENT CONTROLS, BUT BEFORE PROCEEDING WITH ANY OTHER EARTH DISTURBANCE OR GRADING. OTHER BUILDING OR GRADING INSPECTION APPROVALS MAY NOT BE AUTHORIZED UNTIL THIS INITIAL APPROVAL BY THE INSPECTION ACENCY IS MADE.

TRENCHES FOR THE CONSTRUCTION OF UTILITIES IS LIMITED TO 3 PIPE LENGTHS OR THAT WHICH SHALL BE BACKFILLED AND STABILIZED BY THE END OF EACH WORK DAY, WHICHEVER IS SHORTER.

ANY CHANGES OR REVISIONS TO THE SEQUENCE OF CONSTRUCTION MUST BE REVIEWED AND APPROVED BY THE PLAN APPROVAL AUTHORITY PRIOR TO PROCEEDING WITH 2. A PROJECT IS TO BE SEQUENCED SO THAT THE GRADING ACTIVITIES BEGIN ON ONE

GRADING UNIT (MAXIMUM ACREAGE OF 20 AC. PER GRADING UNIT) AT A TIME. WORK MAY PROCEED TO A SUBSEQUENT GRADING UNIT WHEN AT LEAST 50 PERCENT OF THE DISTURBED AREA IN THE PRECEDING GRADING UNIT HAS BEEN STABILIZED AND APPROVED BY THE ENFORCEMENT AUTHORITY. UNLESS OTHERWISE SPECIFIED AND APPROVED BY THE APPROVAL AUTHORITY, NO MORE THAN 30 ACRES CUMULATIVELY

MAY BE DISTURBED AT A GIVEN TIME. STANDARDS AND SPECIFICATIONS FOR DUST CONTROL

OFFINITION

CONTROLLING THE SUSPENSION OF DUST PARTICLES FROM CONSTRUCTION ACTIVITIES. TO PREVENT BLOWING AND MOVEMENT OF DUST FROM EXPOSED SOIL SURFACES TO REDUCE ON AND OFF-SITE DAMAGE INCLUDING HEALTH AND TRAFFIC HAZARDS.

CONDITIONS WHERE PRACTICE APPLIES AREAS SUBJECT TO DUST BLOWING AND MOVEMENT WHERE ON AND OFF-SITE DAMAGE IS LIKELY WITHOUT TREATMENT.

SIMILAR MATERIAL CAN BE USED TO CONTROL AIR CURRENTS AND SOIL BLOWING

PLAN REVIEW AUTHORITY.

MULCHES: SEE SECTION B-4-2 SOIL PREPARATION, TOPSOILING, AND SOIL AMENDMENTS, SECTION B-4-3 SEEDING AND MULCHING, AND SECTION B-4-4 TEMPORARY STABILIZATION. MULCH MUST BE anchored to prevent blowing. VEGETATIVE COVER: SEE SECTION 8-4-4 TEMPORARY STABILIZATION, TILLAGE: TILL TO ROUGHEN SURFACE AND BRING CLODS TO THE SURFACE, BEGIN PLOWING ON MINDWARD SIDE OF SITE. CHISEL-TYPE PLOWS SPACED ABOUT 12 INCHES APART, SPRING-TOOTHED HARROWS, AND SIMILAR PLOWS ARE EXAMPLES OF EQUIPMENT THAT MAY PRODUCE THE DESIRED IRRIGATION: SPRINKLE SITE WITH WATER UNTIL THE SURFACE IS MOIST, REPEAT AS NEEDED. THE SITE MUST NOT BE IRRIGATED TO THE POINT THAT RUNOFF OCCURS. BARRIERS: SOLID BOARD FENCES, SILT FENCES, SNOW FENCES, BURLAP FENCES, STRAW BALES, AN

CHEMICAL TREATMENT: USE OF CHEMICAL TREATMENT REQUIRES APPROVAL BY THE APPROPRIATE

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD-SOIL CONSERVATION DISTRICT.

BUILDER'S CERTIFICATE "I/WE CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A MARYLAND DEPARTMENT OF HE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND erosion before beginning the project. I also authorize periodic on—site INSPECTION BY THE HSCD."

B-4-8 STANDARDS AND SPECIFICATIONS FOR STOCKPILE AREA

A MOUND OR PILE OF SOIL PROTECTED BY APPROPRIATELY DESIGNED EROSION AND TO PROVIDE A DESIGNATED LOCATION FOR THE TEMPORARY STORAGE OF SOIL THAT CONTROLS THE POTENTIAL FOR EROSION, SEDIMENTATION, AND CHANGES TO DRAINAGE PATTERNS. CONDITIONS WHERE PRACTICE APPUES
STOCKPILE AREAS ARE UTILIZED WHEN IT IS NECESSARY TO SALVAGE AND STORE

THE STOCKPILE LOCATION AND ALL RELATED SEDIMENT CONTROL PRACTICES MUST BE CLEARLY INDICATED ON THE EROSION AND SEDIMENT CONTROL PLAN THE FOOTPRINT OF THE STOCKPILE MUST BE SIZED TO ACCOMMODATE THE

AND BASED ON A SIDE SLOPE RATIO NO STEEPER THAN 2:1, BENCHING MUST BE PROVIDED IN ACCORDANG WITH SECTION B-3 LAND GRADIN RUNOFF FROM THE STOCKPILE AREA MUST DRAIN TO A SUITABLE SEDIMENT CONTROL PRACTICE.

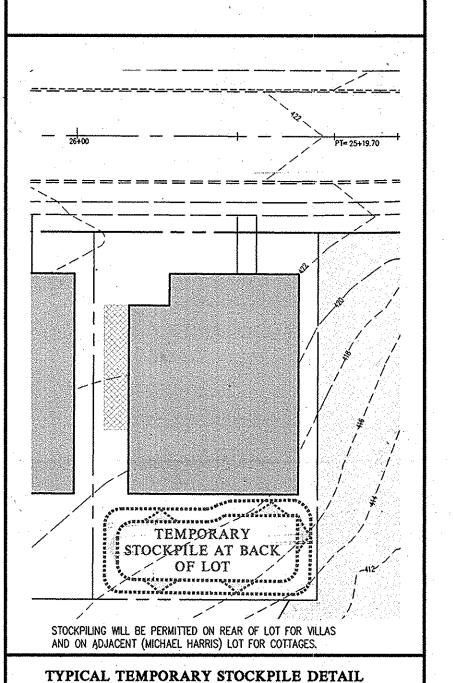
ACCESS THE STOCKPILE AREA FROM THE UPGRADE SIDE. CLEAR WATER RUNOFF INTO THE STOCKPILE AREA MUST BE MINIMIZED BY USE OF A DIVERSION DEVICE SUCH AS AN EARTH DIKE, TEMPORARY SWALE OR DIVERSION FENCE. PROVISIONS MUST BE MADE FOR DISCHARGING CONCENTRATED FLOW IN A NON-FROSIVE MANNE

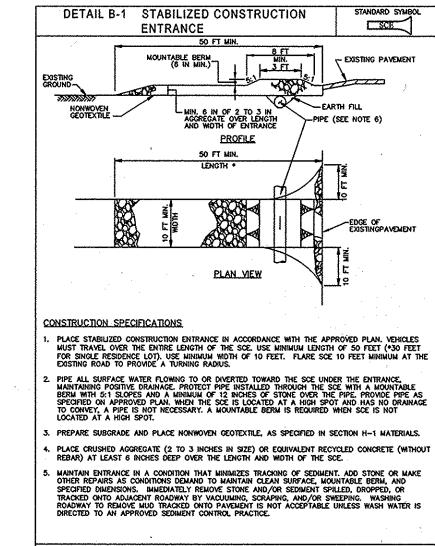
APPROPRIATE EROSION/SEDIMENT CONTROL PRACTICE MUST BE USED TO INTERCEPT THE DISCHARGE. STOCKPILES MUST BE STABILIZED IN ACCORDANCE WITH THE 3/7 DAY STABILIZATION REQUIREMENT AS WELL AS STANDARD B-4-1 INCREMENTAL STABILIZATION AND STANDARD B-4-4

WHERE RUNOFF CONCENTRATES ALONG THE TOE OF THE STOCKPILE FILL, AN

TEMPORARY STABILIZATION. 8. IF THE STOCKPILE IS LOCATED ON AN IMPERVIOUS SURFACE, A LINER SHOULD BE PROVIDED BELOW THE STOCKPILE TO FACILITATE CLEANUP. STOCKPILES CONTAINING CONTAMINATED MATERIAL MUST BE COVERED WITH IMPERMEABLE

THE STOCKPILE AREA MUST CONTINUOUSLY MEET THE REQUIREMENTS FOR ADEQUATE VEGETATIVE ESTABLISHMENT IN ACCORDANCE WITH SECTION B-4 VEGETATIVE STABILIZATION, SIDE SLOPES MUST BE MAINTAINED AT NO STEEPER THAN A 2:1 RATIO. THE STOCKPILE AREA MUST BE KEPT FREE OF EROSION. IF THE VERTICAL HEIGHT OF A STOCKPILE EXCEEDS 20 FEET FOR 2:1 SLOPES, 30 FEET FOR 3:1 SLOPES, OR 40 FEET FOR 4:1 SLOPES, BENCHING MUST BE PROVIDED IN ACCORDANCE WITH SECTION B-3 LAND GRADING.

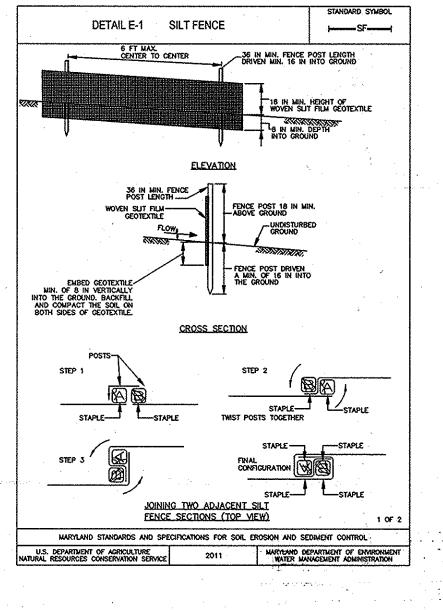


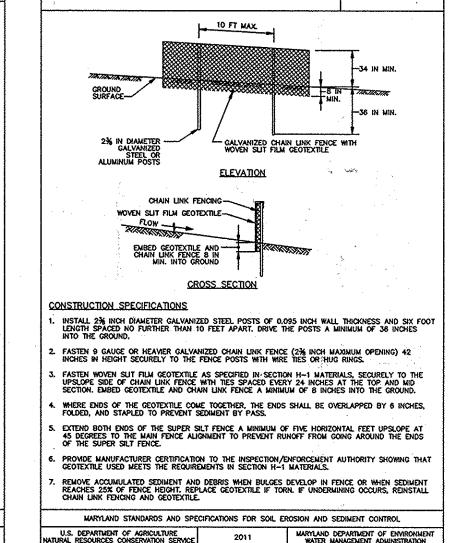


MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL

2011

MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION





DETAIL E-3 SUPER SILT FENCE

STANDARD SYMBOL

-----SSF--------

				•	
			A.		STANDARD SYMBOL
•	• .	DETAIL E-1	SILT FENCE	:	SF
co	NSTRUCTION	ON SPECIFICATION	§		
1.	USE WOOD AN ALTERNA LESS THAN	Posts 1¾ x 1¾ ± ¾ Ative to wooden pos 1 pound per linear	RICH (MINIMUM) SQUARE ST USE STANDARD "T" OR FOOT.	CUT OF SOUND ("U" SECTION STE	QUALITY HARDWOOD. AS ZEL POSTS WEIGHING NO
2			IVEN 16 INCH MINIMUM INT	TO GROUND NO M	ORE THAN 6 FEET APAI
3.	USE WOVEN SECURELY T MID-SECTIO	to upslope side of i	E AS SPECIFIED IN SECTION FENCE POSTS WITH WIRE 1	n H-1 Materials nes or staples	AND FASTEN GEOTEXT
4.	PROVIDE MA INSPECTION, REQUIREMEN	ANUFACTURER CERTIFIC /ENFORCEMENT AUTHO RTS IN SECTION H-1 A	CATION TO THE AUTHORIZE RITY SHOWING THAT THE MATERIALS.	D REPRESENTATIV GEOTEXTILE USED	VE OF THE MEETS THE
5.		TEXTILE A MINIMUM OF N BOTH SIDES OF FAS	F 8 INCHES VERTICALLY IN IRIC.	ITO THE GROUND.	BACKFILL AND COMPAC
6.	WHERE TWO ACCORDANG	SECTIONS OF GEOTES E WITH THIS DETAIL.	(TILE ADJOIN: OVERLAP, T	wist, and staple	E TO POST IN
7.	EXTEND BO 45 DEGREES OF THE SIL	TH ENDS OF THE SILT S TO THE MAIN FENCE T FENCE.	FENCE A MINIMUM OF FIV ALIGNMENT TO PREVENT	E HORIZONTAL FE RUNOFF FROM GO	ET UPSLOPE AT ** XNG AROUND THE ENDS
8.	REMOVE AC SEDIMENT R REINSTALL	EACHES 25% OF FENC	AND DEBRIS WHEN BULGE E HEIGHT, REPLACE GEOTE	es develop in si extile if torn, i	LT FENCE OR WHEN F UNDERMINING OCCURS
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	MARY	AND STANDARDS AND	SPECIFICATIONS FOR SOIL	EROSKON AND SE	DIMENT CONTROL
WIU	U.S. DEPARTI	JENT OF ACRICULTURE ES CONSERVATION SERV	1	MARYLAND DE	EPARTMENT OF ENVIRONMENT NAGEMENT ADMINISTRATION
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FOR SEDIMENT CONTROL PURP	OSES UNLI		· · · · · · · · · · · · · · · · · · ·	
SEDIMENT CONTROL NOTES and DETAILS	*	SCALE	ZONING	G. L. W. FILE No
MAPLE LAWN FARMS		1"=20'	MXD-3	14054
GARDEN DISTRICT - AREA 1 LOT Nos. 12-19, 63-66 and 72-76		DATE	TAX MAP — GRID	SHEET
(SFD RESIDENTIAL USE) PLAT Nos. 22995-23004	HOWARD COUNTY, MARYLAND	JUNE/2015	41-15&21	5 OF 7

THIS PLAN IS FOR SEDIMENT CONTROL PURPOSES ONLY

7-16-15 Chief, Division of Land Development 7-8-15 Chief, Development Engineering Division

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

GLWGUTSCHICK LITTLE & WEBER, P.A. CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS 3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK

BURTONSVILLE, MARYLAND 20866 TEL: 301-421-4024 BALT: 410-880-1820 DC/VA: 301-989-2524 FAX: 301-421-4186 L:\CADD\DRAHHKS\12001\14054 (MHH)\SDP (Areo 1)\14054_04-05 SC (Areo 1).dmg | DES. MBT | DRN. KLP | CHK. MBT |

APP'R.

PREPARED FOR: PROPERTY OWNER (SELLER): **BUILDER (CONTRACT PURCHASER):** MAPLE LAWN FARMS 1, LLC-MICHAEL HARRIS HOMES INC. 1829 REISTERSTOWN ROAD, SUITE 300 c/o Streetscape Partners, LLC 1420 SPRING HILL ROAD, SUITE 550 BALTIMORE, MD 21208 PH: 410-484-8400 McLEAN, VIRGINIA 22102

B-4-5 STANDARDS AND SPECIFICATIONS

FOR PERMANENT STABILIZATION

TO STABILIZE DISTURBED SOILS WITH PERMANENT VEGETATION.

TO USE LONG-LIVED PERENNIAL GRASSES AND LEGUMES TO ESTABLISH PERMANENT GROUND COVER

ON DISTURBED SOILS.

CONDITIONS WHERE PRACTICE APPLIES

EXPOSED SOILS WHERE GROUND COVER IS NEEDED FOR 6 MONTHS OR MORE

o. SELECT ONE OR MORE OF THE SPECIES OR MIXTURES LISTED IN TABLE B.3 FOR TH

BE PLACED ON THE PLAN.

CRITICAL AREA PLANTING.

TURFGRASS MIXTURES

RECOMMENDED BY THE SOIL TESTING AGENCY.

PERCENT OF THE TOTAL MIXTURE BY WEIGHT.

SUN TO MEDIUM SHADE

APPROPRIATE PLANT HARDINESS ZONE (FROM FIGURE B.3) AND BASED ON THE SITE

CONDITION OR PURPOSE FOUND ON TABLE B.2. ENTER SELECTED MIXTURE(S), APPLICATION

ATES, AND SEEDING DATES IN THE PERMANENT SEEDING SUMMARY. THE SUMMARY IS T

ADDITIONAL PLANTING SPECIFICATIONS FOR EXCEPTIONAL SITES SUCH AS SHORELINES, STREAM BANKS, OR DUNES OR FOR SPECIAL PURPOSES SUCH AS WILDLIFE OR AESTHETIC TREATMENT MAY BE FOUND IN USDA-NRCS TECHNICAL FIELD OFFICE GUIDE, SECTION 342

FOR AREAS RECEIVING LOW MAINTENANCE, APPLY UREA FORM FERTILIZER (46-0-0) AT 3

1/2 POUNDS PER 1000 SQUARE FEET (150 POUNDS PER ACRE) AT THE TIME OF SEEDING IN ADDITION TO THE SOIL AMENDMENTS SHOWN IN THE PERMANENT SEEDING SUMMARY.

AREAS WHERE TURFGRASS MAY BE DESIRED INCLUDE LAWNS, PARKS, PLAYGROUNDS, AND

CONDITIONS OR PURPOSE. ENTER SELECTED MIXTURE(S), APPLICATION RATES, AND SEEDING DATES IN THE PERMANENT SEEDING SUMMARY. THE SUMMARY IS TO BE PLACED

KENTUCKY BLUEGRASS: FULL SUN MIXTURE: FOR USE IN AREAS THAT RECEIVE

INTENSIVE MANAGEMENT, IRRIGATION REQUIRED IN THE AREAS OF CENTRAL MARYLAND

AND EASTERN SHORE. RECOMMENDED CERTIFIED KENTUCKY BLUEGRASS CULTIVARS

SEEDING RATE: 1.5 TO 2.0 POUNDS PER 1000 SQUARE FEET. CHOOSE A MINIMUM OF THREE KENTUCKY BLUEGRASS CULTIVARS WITH EACH RANGING FROM 10 TO 35

KENTUCKY BLUEGRASS/PERENNIAL RYE: FULL SUN MIXTURE: FOR USE IN FULL SUN AREAS WHERE RAPID ESTABLISHMENT IS NECESSARY AND WHEN TURF WILL RECEIVE

CULTIVARS/CERTIFIED KENTUCKY BLUEGRASS SEEDING RATE: 2 POUNDS MIXTURE PER 1000 SQUARE FEET. CHOOSE A MINIMUM OF THREE KENTUCKY BLUEGRASS CULTIVARS

WITH EACH RANGING FROM 10 TO 35 PERCENT OF THE TOTAL MIXTURE BY WEIGHT.

PRONE AREAS AND/OR FOR AREAS RECEIVING LOW TO MEDIUM MANAGEMENT IN FULL

RECOMMENDED MIXTURE INCLUDES; CERTIFIED TALL FESCUE CULTIVARS 95 TO 100 PERCENT, CERTIFIED KENTUCKY BLUEGRASS CULTIVARS 0 TO 5 PERCENT. SEEDING RATE: 5 TO 8 POUNDS PER 1000 SQUARE FEET. ONE OR MORE CULTIVARS MAY BE

KENTUCKY BLUEGRASS/FINE FESCUE: SHADE MIXTURE: FOR USE IN AREAS WITH

MANAGED TURF AREA. MIXTURE INCLUDES; CERTIFIED KENTUCKY BLUEGRASS

SELECT TURFGRASS VARIETIES FROM THOSE LISTED IN THE MOST CURRENT

UNIVERSITY OF MARYLAND PUBLICATION, AGRONOMY MEMO #77, "TURFGRASS

CHOOSE CERTIFIED MATERIAL. CERTIFIED MATERIAL IS THE BEST GUARANTEE OF CULTIVAR PURITY. THE CERTIFICATION PROGRAM OF THE MARYLAND DEPARTMENT OF

<u>WESTERN MD</u>: MARCH 15 TO JUNE 1, AUGUST 1 TO OCTOBER 1 (HARDINESS ZONES:

CENTRAL MD: MARCH 1 TO MAY 15, AUGUST 15 TO OCTOBER 15 (HARDINESS ZONE:

SOUTHERN MD. EASTERN SHORE: MARCH 1 TO MAY 15, AUGUST 15 TO OCTOBER 15

TILL AREAS TO RECEIVE SEED BY DISKING OR OTHER APPROVED METHODS TO A DEPTH OF

2 TO 4 INCHES, LEVEL AND RAKE THE AREAS TO PREPARE A PROPER SEEDBED. REMOVE

STONES AND DEBRIS OVER 1 1/2 INCHES IN DIAMETER. THE RESULTING SEEDBED MUST BE

PLANT GROWTH (1/2 TO 1 INCH EVERY 3 TO 4 DAYS DEPENDING ON SOIL TEXTURE) UNTIL THEY ARE FIRMLY ESTABLISHED. THIS IS ESPECIALLY TRUE WHEN SEEDINGS ARE MADE LATE IN THE PLANTING SEASON, IN ABNORMALLY DRY OR HOT SEASONS, OR ON ADVERSE

DATES

SEEDING (10-20-20) LIME RATE

(45 lb/acre)

Mar. 1 to May 15, 1/4 - 1.0 lb/ 1000 90 lb/

Aug. 15 to Oct. 15 1/2 IN. | 1.0 iu/ 1000 90 lb/ 1000 s.f.

k. IF SOIL MOISTURE IS DEFICIENT, SUPPLY NEW SEEDINGS WITH ADEQUATE WATER FOR

PERMANENT SEEDING SUMMARY

* Other cultivars listed as "proven" in the most current UMD TT-77 may also be used

o. CLASS OF TURFGRASS SOD MUST BE MARYLAND STATE CERTIFIED. SOD LABELS MUST BE

b. SOD MUST BE MACHINE CUT AT A UNIFORM SOIL THICKNESS OF 3/4 INCH, PLUS OR MINUS

1/4 INCH, AT THE TIME OF CUTTING. MEASUREMENT FOR THICKNESS MUST EXCLUDE TOP GROWTH AND THATCH. BROKEN PADS AND TORN OR UNEVEN ENDS WILL NOT BE

STANDARD SIZE SECTIONS OF SOD MUST BE STRONG ENOUGH TO SUPPORT THEIR OWN WEIGHT AND RETAIN THEIR SIZE AND SHAPE WHEN SUSPENDED VERTICALLY WITH A FIRM GRASP ON THE UPPER 10 PERCENT OF THE SECTION.

SOD MUST BE HARVESTED, DELIVERED, AND INSTALLED WITHIN A PERIOD OF 36 HOURS

DURING PERIODS OF EXCESSIVELY HIGH TEMPERATURE OR IN AREAS HAVING DRY SUBSOIL, LIGHTLY IRRIGATE THE SUBSOIL IMMEDIATELY PRIOR TO LAYING THE SOD.

PARALLEL TO IT AND TIGHTLY WEDGED AGAINST EACH OTHER. STAGGER LATERAL JOINTS

WHEREVER POSSIBLE, LAY SOD WITH THE LONG EDGES PARALLEL TO THE CONTOUR AND

WATER THE SOD IMMEDIATELY FOLLOWING ROLLING AND TAMPING UNTIL THE UNDERSIDE OF THE NEW SOD PAD AND SOIL SURFACE BELOW THE SOD ARE THOROUGHLY WET. COMPLETE

THE OPERATIONS OF LAYING, TAMPING AND IRRIGATING FOR ANY PIECE OF SOD WITHIN

a. In the absence of adequate rainfall, water daily during the first week or as often and sufficiently as necessary to maintain moist soil to a depth of 4

AFTER THE FIRST WEEK, SOD WATERING IS REQUIRED AS NECESSARY TO MAINTAIN

c. Do not mow until the sod is firmly rooted. No more than 1/3 of the grass leaf must be removed by the initial cutting or subsequent cuttings. Maintain a

INCHES. WATER SOD DURING THE HEAT OF THE DAY TO PREVENT WILTING.

GRASS HEIGHT OF AT LEAST 3 INCHES UNLESS OTHERWISE SPECIFIED.

TO PROMOTE MORE UNIFORM GROWTH AND STRENGTH. ENSURE THAT SOD IS NOT STRETCHED OR OVERLAPPED AND THAT ALL JOINTS ARE BUTTED TIGHT IN ORDER TO

WITH STAGGERING JOINTS. ROLL AND TAMP, PEG OR OTHERWISE SECURE THE SOD TO PREVENT SLIPPAGE ON SLOPES. ENSURE SOLID CONTACT EXISTS BETWEEN SOD ROOTS

LAY THE FIRST ROW OF SOD IN A STRAIGHT LINE WITH SUBSEQUENT ROWS PLACED

SOD NOT TRANSPLANTED WITHIN THIS PERIOD MUST BE APPROVED BY AN AGRONOMIST OR

SOD MUST NOT BE HARVESTED OR TRANSPLANTED WHEN MOISTURE CONTENT

(EXCESSIVELY DRY OR WET) MAY ADVERSELY AFFECT ITS SURVIVAL

PREVENT VOIDS WHICH WOULD CAUSE AIR DRYING OF THE ROOTS.

SOIL SCIENTIST PRIOR TO ITS INSTALLATION.

AND THE UNDERLYING SOIL SURFACE.

ADEQUATE MOISTURE CONTENT.

1000 s.f.

SOD: TO PROVIDE QUICK COVER ON DISTURBED AREAS (2:1 GRADE OR FLATTER).

MADE AVAILABLE TO THE JOB FOREMAN AND INSPECTOR.

AGRICULTURE, TURF AND SEED SECTION, PROVIDES A RELIABLE MEANS OF CONSUMER

SEEDING RATE: 11/2 TO 3 POUNDS PER 1000 SQUARE FEET.

CULTIVAR RECOMMENDATIONS FOR MARYLAND"

PROTECTION AND ASSURES A PURE GENETIC LINE

IDEAL TIMES OF SEEDING FOR TURF GRASS MIXTURES

(HARDINESS ZONES: 7A, 7B)

SEED MIXTURE: #9 (Tall Fescue/ Kentucky Bluegrass)

HARDINESS ZONE: 6b

*Certified Tall Fescue blend

(95% by weight): Falcon I

Penn 1901 & Rebel Exeda

Certified Kentucky Bluegrass

Courtyard, Raven & Yankee

blend (5% by weight):

GENERAL SPECIFICATIONS

SOD INSTALLATION

EIGHT HOURS.

SOD MAINTENANCE

SHADE IN BLUEGRASS LAWNS. FOR ESTABLISHMENT IN HIGH QUALITY, INTENSIVELY

CULTIVARS 30 TO 40 PERCENT AND CERTIFIED FINE FESCUE AND 60 TO 70 PERCENT.

iii. Tall Fescue/Kentucky Bluegrass: Full sun Mixture: For USE in Drought

MEDIUM TO INTENSIVE MANAGEMENT, CERTIFIED PERENNIAL RYEGRASS

COMMERCIAL SITES WHICH WILL RECEIVE A MEDIUM TO HIGH LEVEL OF MAINTENANCE

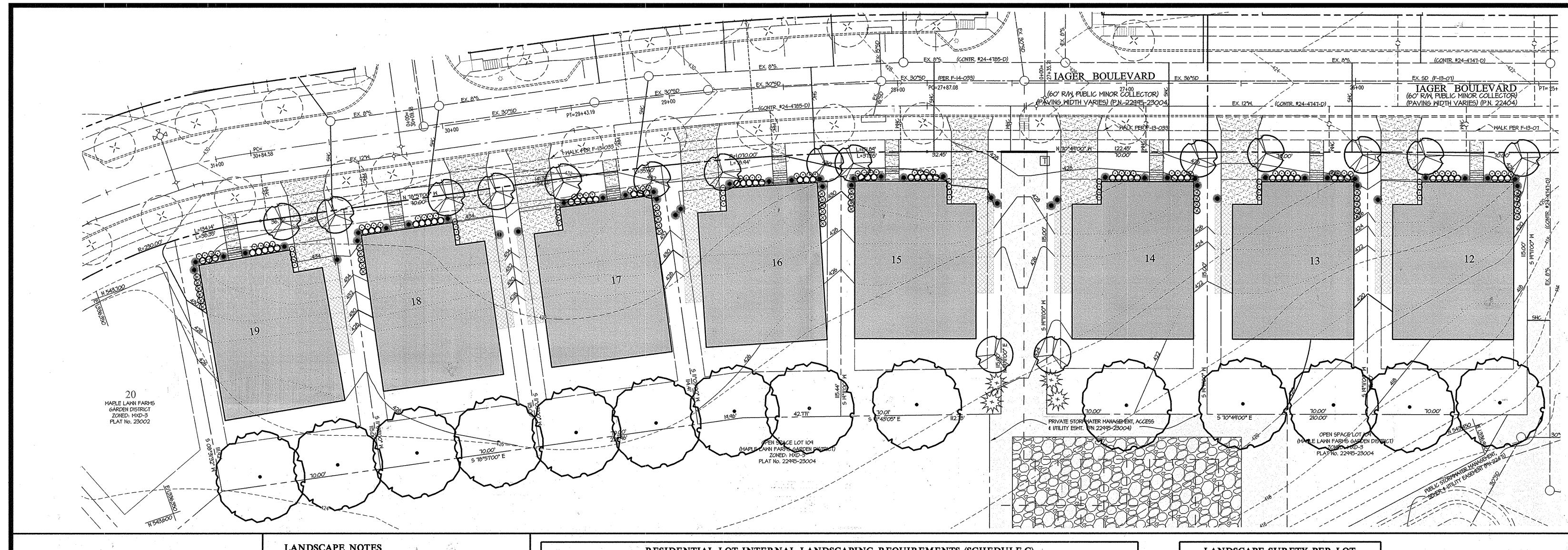
b. SELECT ONE OR MORE OF THE SPECIES OR MIXTURES LISTED BELOW BASED ON THE SITE

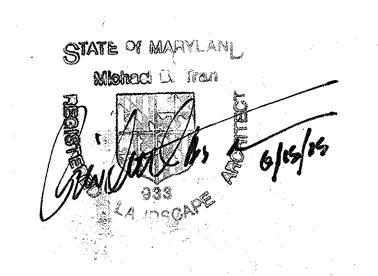
FOR SITES HAVING DISTURBED AREA OVER 5 ACRES, USE AND SHOW THE RATES

ATTN.: MARK BENNETT PH: 703-848-1600 ATTN.: HOWARD KATZ

ELECTION DISTRICT No. 5

SDP - 15 - 049





DEVELOPER'S/BULDER'S CERTIFICATE

I/WE CERTIFY THAT THE LANDSCAPING SHOWN ON THIS PLAN WILL BE DONE ACCORDING TO THE PLAN, SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE HOWARD COUNTY LANDSCAPE MANUAL AND THE MLF LANDSCAPE DESIGN CRITERIA. I/WE FURTHER CERTIFY THAT UPON COMPLETION A LETTER OF LANDSCAPE INSTALLATION, ACCOMPANIED BY AN EXECUTED ONE YEAR GUARANTEE OF PLANT MATERIALS, WILL BE SUBMITTED TO THE DEPARTMENT OF PLANNING AND ZONING.

BW	6/12/15
APPROVED: HOWARD COUNTY DEPARTMENT OF P	LANNING & ZONING

Director / Date 7.16.15 Chief, Division of Land Development $_{
abla}$ Date

7-9-15 Chief, Development Engineering Division

GLWGUTSCHICK LITTLE & WEBER, P.A. CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS 3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK BURTONSVILLE, MARYLAND 20866 TEL: 301-421-4024 BALT: 410-880-1820 DC/VA: 301-989-2524 FAX: 301-421-4186

L:\CADD\\DRAWHNGS\12001\14054 (MH)\\SDP (Area 1)\14054_06-07 LS (Area 1).dwg DES. MBT DRN. KLP CHK. MBT

LANDSCAPE NOTES

- THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH SECTION 16.124 OF THE HOWARD COUNTY CODE & CHAPTER VI OF THE HOWARD COUNTY LANDSCAPE MANUAL (ALTERNATIVE COMPLIANCE) PLUS THE LANDSCAPE DESIGN CRITERIA OF S-06-16 AND PB CASE No. 318.
- 2. CONTRACTOR SHALL NOTIFY ALL UTILITIES AT LEAST (5) FIVE DAYS BEFORE STARTING WORK. ALL GENERAL NOTES, ESPECIALLY THOSE REGARDING UTILITIES, ON SHEET NO.1 SHALL APPLY.
- 3. FIELD VERIFY UNDERGROUND UTILITY LOCATIONS AND EXISTING CONDITIONS BEFORE STARTING PLANTING WORK. CONTACT CONSTRUCTION MANAGER OR OWNER IF ANY RELOCATIONS ARE REQUIRED.
- PLANT QUANTITIES SHOWN ON THE PLANT LIST ARE PROVIDED FOR THE CONVENIENCE OF THE CONTRACTOR ONLY. IF DISCREPANCIES EXIST BETWEEN QUANTITIES SHOWN ON THE PLAN AND THOSE SHOWN ON THE PLANT LIST, THE QUANTITIES ON THE PLAN SHALL TAKE PRECEDENCE.
- ALL PLANT MATERIAL SHALL BE FULL, HEAVY, WELL FORMED, SYMMETRICAL, AND CONFORM TO THE A.A.N. SPECIFICATIONS. ALL PLANT MATERIAL SHALL BE INSTALLED IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS AND THIS PLAN.
- 6. NO SUBSTITUTION SHALL BE MADE WITHOUT PRIOR APPROVAL FROM HOWARD COUNTY DPZ AND THE OWNER OR HIS REPRESENTATIVE.
- ALL AREAS DISTURBED BY CONSTRUCTION ACTIVITIES BUT NOT OTHERWISE PLANTED, PAYED, OR MULCHED SHALL BE SODDED OR SEEDED IN ACCORDANCE WITH THE PERMANENT SEEDING SPECIFICATION. A MINIMUM OF 4" OF TOPSOIL SHALL BE PROVIDED TO ALL PLANTING AREAS (FOR TOPSOIL SPEC. SEE SHEET 5).
- THE CONTRACTOR SHALL NOTIFY THE OWNER IN WRITING IF HE/SHE ENCOUNTERS SOIL DRAINAGE CONDITIONS THAT MAY BE DETRIMENTAL TO THE GROWTH OF THE PLANTS.
- 9. ALL EXPOSED EARTH WITHIN THE LIMITS OF PLANTING BEDS SHALL BE MULCHED WITH SHREDDED HARDWOOD MULCH PER THE PLANTING DETAILS.
- 10. DO NOT PLANT WITHIN THE PUBLIC WATER, SEWER AND UTILITY EASEMENT.
- I. "SCHEDULE-C" IS PROVIDED FOR LANDSCAPE SURETY CALCULATION PURPOSES. FINANCIAL SURETY FOR THE REQUIRED LANDSCAPING SHALL BE POSTED WITH THE GRADING PERMIT FOR HOUSE CONSTRUCTION IN THE AMOUNT OF \$ 20,130.00 FOR THE LOTS PER THIS SDP AS FOLLOWS:

421 SHRUBS AT \$30/SHRUB 25 TREES AT \$300.00/TREE = \$ 12630.00 = \$ 7,500.00

REVISION

FOR LANDSCAPE INSPECTION TO OBTAIN THE RELEASE OF THE SURETY, CONTACT HOWARD COUNTY DEPT. OF PLANNING & ZONING AT 410-313-2350. SEE THE CHART BELOW THIS SHEET FOR THE BREAK DOWN OF THE SURETY ON A PER LOT BASIS.

- I. AT THE TIME OF PLANT INSTALLATION, ALL SHRUBS AND TREES LISTED AND APPROVED ON THE LANDSCAPE PLAN, SHALL COMPLY WITH THE PROPER HEIGHT REQUIREMENT IN ACCORDANCE WITH THE HOWARD COUNTY LANDSCAPE MANUAL. IN ADDITION, NO SUBSTITUTIONS OR RELOCATIONS OF THE REQUIRED PLANTINGS MAY BE MADE WITHOUT PRIOR REVIEW AND APPROVAL FROM THE DEPARTMENT OF PLANNING AND ZONING. ANY DEVIATION FROM THE APPROVED LANDSCAPE PLAN MAY RESULT IN DENIAL IN THE RELEASE OF LANDSCAPE SURETY UNTIL SUCH TIME AS ALL REQUIRED MATERIALS ARE PLANTED AND/OR REVISIONS ARE MADE TO THE APPLICABLE PLANS.
- THE OWNER, TENANTS AND/OR THEIR AGENTS SHALL BE RESPONSIBLE FOR MAINTENANCE OF THE REQUIRED LANDSCAPING INCLUDING BOTH PLANT MATERIALS AND BERMS, FENCES AND WALLS. ALL PLANT MATERIALS SHALL BE MAINTAINED IN GOOD GROWING CONDITION, AND WHEN NECESSARY, REPLACED WITH NEW MATERIAL TO ENSURE CONTINUED COMPLIANCE WITH APPLICABLE REGULATIONS. ALL OTHER REQUIRED LANDSCAPING SHALL BE PERMANENTLY MAINTAINED IN GOOD CONDITION, AND WHEN NECESSARY, REPAIRED OR REPLACED.

			RESIDE	NTIAL LOT I	INTERNAL I	LANDSCAPIN	1G REQ	UIRE	EMENTS (SCHEDULE-C)
LOT	REQUIRED FRONT YARD PLANTINGS: SHRUBS AT I:4 OF LOT WIDTH AT BR LOT			REQUIRED SIDE & REAR YARD PLANTINGS: YILLA LOTS: 2 SHADE TREES PER LOT PLUS SHRUBS AT 1:4 OF SIDE & REAR BLDG. LENGTHS COTTAGE LOTS: 1 SHADE TREE PER LOT, NO SHRUBS REQUIRED		PLANTIN		NTINGS PROVIDED	
TYPE	NO.	LOT WIDTH	SHRUBS REQUIRED	BLDG. LENGTHS (S)	SHD. TREES REQUIRED	SHRUBS REQUIRED	SHD. TREE	SHRUBS	OTHERS (AS SUBSTITUTIONS)
VILLAS	12	70.0'	. 18	(39.96'+53.33') 93.29'	2 .	23	2	31	2 ORNAMENTALS FOR 10 SHRUBS
VILLAS	13	70.0'	18	(39.96'+53.33') 93.29'	2	23	2	31	2 ORNAMENTALS FOR 10 SHRUBS
	14	70.0'	18	(39.96'+53.33') 93.29'	2	23		31	2 ORNAMENTALS FOR 10 SHRUBS; 2 EVERGREENS FOR 1 SHADE TREE
· *	15	70.0'	18	(39.96'+53.33') 93.29'	2	23	1	31	2 ORNAMENTALS FOR 10 SHRUBS; 2 EVERGREENS FOR 1 SHADE TREE
1	16	78.94'	20	(39.96'+53.33') 93.29'	2	23	2	33	2 ORNAMENTALS FOR 10 SHRUBS
	17	70.01	18	(39.96'+53.33') 93.29'	2	23	2	31	2 ORNAMENTALS FOR 10 SHRUBS
. 📗	18	70.0'	18	(39.96'+53.33') 93.29'	2	23	2	31	2 ORNAMENTALS FOR 10 SHRUBS
	19	75.11'	<u> </u>	(39.96'+53.33') 93.29'	2	23	2	32	2 ORNAMENTALS FOR 10 SHRUBS
COTTAGE	63	40.0'	lo lo	₩A		N/A		10	
	64	40.0'	10	NA		. ₩A	l	10	
1	65	40.0'	10	N/A		N/A		10	
	66	40.0'	Ю	. NA		N/A		10	
	72	40.0'	10	N/A		N/A	I	10	
	73	40.0'	10	N/A		N/A	0	10	2 ORNAMENTALS FOR I SHADE
, ,	74	40.0'	IO .	₩A		N/A	0	10	2 ORNAMENTALS FOR I SHADE
.]	75	40.0'	10	N/A	1	N/A	0	10	2 ORNAMENTALS FOR I SHADE

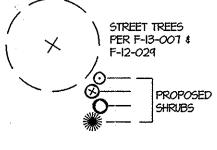
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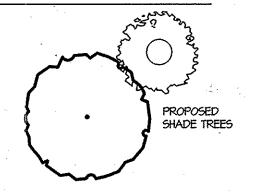
76 40.0'

- COMMENTS:

 A. SUBSTITUTION FOR DIFFERENT TYPE OF PLANT MATERIALS ARE AS FOLLOWS: I SHADE TREE = 2 ORNAMENTALS OR EVERGREEN TREES = 10 SHRUBS; 5 SHRUBS = 1 ORNAMENTAL OR EVERGREEN TREE
- B. PLANT MATERIALS HAVE BEEN RELOCATED TO A DIFFERENT YARD WITHIN THE SAME LOT FOR SPATIAL DESIGN PURPOSES.
- C. PLANT QUANTITIES FROM SCHEDULE-A ARE INCLUDED AND ACCOUNTED WITH SCHEDULE-C PROPOSED PLANT QUANTITIES TO SIMPLIFY SUBSTITUTIONS.

LEGEND





EVERGREEN TREE

PROPOSED ORNAMENTAL FLOWERING TREE

APP'R.

LANDSCAPE SURETY PER LOT						
LAND	TOME D	<u> </u>	**************************************			
		Photo di Licino	4	A COMMITTEE OF THE PARTY OF THE		
	·	PLANT QUANTITY				
BUILDER	LOT No.	SHADE TREE	SHRUBS	SURETY AMOUNT		
MICHAEL HARRIS	12	2	<u>4</u> I	\$1,830.00		
11010 000 10 10 10	13	2	41	\$1,830.00		
	14	2	41	\$1,830.00		
•	15	2	41	\$1,830.00		
	16	2	43	\$1,890.00		
	17	2	. 41	\$1,830.00		
	18	2	- 41	\$1,830.00		
v.	19	2	42	\$1,860.00		
	63	ı	10	\$ 600.00		
	64	I	10	\$ 600.00		
)·	65	ı	10	\$ 600,00		
	66	ı	10	\$ 600.00		
	72	ı	10	\$ 600.00		
N	73	ı	10	\$ 600.00		
	74	ı	10	\$ 600.00		
	75	ı	10	\$ 600.00		
•	76	ı	· 10	\$ 600.00		
PC 0 PC 1 1						

25

	THIS PLAN IS FOR PLANTING PURPOSES ONLY		
	LANDSCAPE PLAN	SCALE	
	MAPLE LAWN FARMS	1"=20'	M
550	GARDEN DISTRICT - AREA 1	DATE	TAY

PREPARED FOR: PROPERTY OWNER (SELLER): BUILDER (CONTRACT PURCHASER): MAPLE LAWN FARMS 1, LLC MICHAEL HARRIS HOMES INC. 1829 REISTERSTOWN ROAD, SUITE 300 c/o Streetscape Partners, LLC 1420 SPRING HILL ROAD, SUITE 550 BALTIMORE, MD 21208 PH: 410-484-8400 McLEAN, VIRGINIA 22102 ATTN.: MARK BENNETT PH: 703-848-1600

ATTN.: HOWARD KATZ

ELECTION DISTRICT No. 5

G. L. W. FILE No. TAX MAP — GRID SHEET LOT Nos. 12-19, 63-66 and 72-76 (SFD RESIDENTIAL USE) 6 OF 7 PLAT Nos. 22995-23004 HOWARD COUNTY, MARYLAND

421 \$20,i30.00

