

GENERAL NOTES

- 1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF HOWARD COUNTY PLUMBING STANDARDS AND SPECIFICATIONS IF APPLICABLE.
2. THE CONTRACTOR SHALL NOTIFY THE BUREAU OF ENGINEERING/CONSTRUCTION INSPECTION DIVISION AT (410) 393-1800 AT LEAST FIVE (5) WORKING DAYS PRIOR TO THE START OF WORK.
3. THE CONTRACTOR SHALL NOTIFY "MISS UTILITY" AT 1-800-251-TITTI AT LEAST 48-HOURS PRIOR TO ANY EXCAVATION WORK.
4. PROJECT BACKGROUND:
LOCATION: SEE VICINITY MAP ON THE TOP RIGHT CORNER OF THIS SHEET
TAX MAP: 4
ELECTION DISTRICT: 5
ZONING: MXD-3 PER ZB-4954 (APPROVED ON 02-08-01), UNDERLYING ZONING IS RR-DEO AND PER THE 2/02/04 COMPREHENSIVE ZONING PLAN.
AREA OF BUILDABLE LOTS (22-14, 63-66 & 72-76) FOR THIS SITE DEVELOPMENT PLAN: 2.295 ACRES.
FOR OTHER SUBMISSIONS RELATED TO THIS SITE SEE HOWARD COUNTY DEPT. OF PLANNING & ZONING FILE NOS.: 5-01-11, ZB-4954, PB-353, MP-01-11, MP-03-02, P-03-01, F-03-40, P-04-01, F-05-02, F-04-42, S-06-16, P-01-02, F-12-09A, PB-310, F-12-30, P-11-02, P-12-00, P-12-02, F-12-02A, F-13-007, F-14-083, SDP-15-018, SDP-15-020 & SDP-15-034.
5. TRAFFIC CONTROL DEVICES, MARKINGS, AND SIGNAGE SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD). ALL STREET AND REGULATORY SIGNS SHALL BE IN PLACE PRIOR TO THE PLACEMENT OF ANY ASPHALT.
6. ALL PLAN DIMENSIONS ARE TO THE FACE OF CURB OR FACE OF BUILDING UNLESS OTHERWISE NOTED. DIMENSIONS ARE MEASURED PERPENDICULAR OR RADIIALLY BETWEEN ITEMS UNLESS OTHERWISE NOTED.
7. EXISTING TOPOGRAPHY AND FEATURES COMPILED FROM F-13-006 AND F-14-093.
8. COORDINATES ARE BASED ON NAD83 MARYLAND COORDINATE SYSTEM AS PROJECTED BY HOWARD COUNTY GEODETIC CONTROL STATION NUMBERS 41E4 & 46B2.
9. STORMWATER MANAGEMENT: FOR BOTH QUALITY AND QUANTITY, FOR THE INFRASTRUCTURE AND RESIDENTIAL LOTS WILL BE SATISFIED BY TWO REGIONAL FACILITIES CONSTRUCTED UNDER 02-08-01. THE FACILITIES WILL BE P-3 PONDS WITH EXTENDED DETENTION. THEY WILL BE PUBLICLY OWNED WITH JOINT MAINTENANCE. THE TWO P-3 PONDS WILL SERVE AS SEDIMENT BASINS FOR THE GRADINGS SHOWN BEFORE BEING CONVERTED. THE RECHARGE REQUIREMENTS FOR THIS AREA WILL BE PROVIDED IN PRIVATELY OWNED AND MAINTAINED FACILITIES TO BE LOCATED WITHIN OPEN SPACE LOTS 104 AND 105. OPEN SPACE LOTS 104 AND 105 WILL BE CONVERTED TO THE HOMEOWNER ASSOCIATION. THE FACILITIES WILL BE CONSTRUCTED UNDER F-13-006.
10. PUBLIC WATER AND SEWER SHALL BE UTILIZED (AS PROVIDED BY HIS CONTRACT #24-4795-D & 24-4786-D) AND THE WATER METERS IN OUTSIDE VAULTS.
11. THE EXISTING UTILITIES SHOWN HEREIN WERE DERIVED FROM AVAILABLE PUBLIC RECORDS. THE CONTRACTOR MUST DIG TEST PITS (BY HAND) AT ALL UTILITY CROSSINGS AND CONNECTION POINTS TO VERIFY EXACT LOCATION. IMMEDIATELY NOTIFY THE ENGINEER OF ANY CONFLICTS.
12. ALL ROADS LABELED AS "PUBLIC" ARE PUBLICLY MAINTAINED ONCE THEY ARE DEDICATED. ALL ROADS LABELED AS "PRIVATE" ARE PRIVATELY MAINTAINED BY A HOMEOWNER ASSOCIATION.
13. ANY DAMAGE TO THE ADJACENT COUNTY OWNED RIGHT-OF-WAY AND PROPERTY SHALL BE CORRECTED AT THE CONTRACTOR'S EXPENSE.
14. THERE ARE NO GRAVE SITES, CEMETERIES, WETLANDS, 100-YR FLOODPLAIN OR STREAM ON THE BUILDABLE LOTS SHOWN ON THIS SITE DEVELOPMENT PLAN. ELSEWHERE WITHIN THE HILLSIDE DISTRICT OPEN SPACE THERE ARE WETLANDS, 100-YR FLOODPLAIN AND STREAMS.
15. THIS PROJECT COMPLIES WITH THE REQUIREMENTS OF SECTION 161200 OF THE HOWARD COUNTY CODE FOR FOREST CONSERVATION. THE FOREST CONSERVATION OBLIGATIONS WERE ADDRESSED UNDER F-12-030 AND F-13-007.
16. FINANCIAL SURETY FOR THE REQUIRED LANDSCAPING (AS SHOWN ON SHEET 6 TO SATISFY 5-01-11 DEVELOPMENT CRITERIA AND SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL) SHALL BE POSTED AS PART OF THE GRADING PERMIT FOR EACH LOT (WHERE APPLICABLE). FOR ADDITIONAL INFORMATION ON THE LANDSCAPE SURETY SEE SHEET 6/41 AND THE GRADING PERMIT CHART ON SHEET 1.
17. DRIVENAILS SHALL BE PROVIDED PRIOR TO ISSUANCE OF A USE AND OCCUPANCY PERMIT FOR ANY NEW DWELLINGS TO INSURE SAFE ACCESS FOR FIRE AND EMERGENCY VEHICLES PER THE FOLLOWING MINIMUM REQUIREMENTS:
A. WIDTH - 12' (6' SERVING MORE THAN ONE RESIDENCE)
B. SURFACE - 6" OF COMPACTED CRUSHER RUN BASE WITH AN ASPHALT AND CHIP COATING (1 1/2" MIN)
C. GEOMETRY - MAX. 148 GRADE MAX. 108 GRADE CHANGE AND MIN. 45' TURNING RADII.
D. STRUCTURES (CULVERTS/BRIDGES) - CAPABLE OF SUPPORTING 25 GROSS TONS (H25 LOADING)
E. DRAINAGE ELEMENTS - CAPABLE OF SAFELY PASSING 100-YR. FLOOD WITH NO MORE THAN 1 FOOT DEPTH OVER DRIVEWAY SURFACE.
F. MAINTENANCE - SUFFICIENT TO INSURE ALL WEATHER USE.
18. PUBLIC REFUSE PICKUP IS PROVIDED AT THE CURB FOR THESE LOTS.
19. BAY WINDOWS, WINDOW WELLS, CHIMNEYS, HEATING OR AIR CONDITIONING UNITS AND EXTERIOR STAIRWAYS IF NOT MORE THAN 16 FEET IN WIDTH MAY PROJECT NO MORE THAN 4 FEET INTO ANY REQUIRED SETBACK AREA IN ACCORDANCE WITH SECTION 12B.1 OF THE ZONING REGULATIONS, EXCEPT FOR THE ITEMS LISTED UNDER 4.D OF THE LOT DEVELOPMENT DATA ON THIS SHEET.
20. AS A CONSEQUENCE OF THE SKETCH PLAN, 5-01-11 APPROVAL PRIOR TO 11-05-01, THIS PROJECT IS GRANDFATHERED TO THE FOURTH EDITION OF THE SUBDIVISION AND LAND DEVELOPMENT REGULATIONS.
21. THE GARAGES SHALL BE USED FOR PARKING PURPOSES ONLY AND ARE NOT PERMITTED TO BE CONVERTED TO OTHER USES IN ACCORDANCE WITH SECTION 133.D.2 OF THE ZONING REGULATIONS AND THE APPROVED M.L.F. DEVELOPMENT CRITERIA. UNLESS OTHERWISE PROHIBITED BY POSTED SIGNAGE OR CURB MARKINGS, ON-STREET PARALLEL PARKING ALONG THE CURB WITHIN THE PUBLIC RIGHTS-OF-WAY IS ALLOWED FOR VISITOR AND OVERFLOW PARKING. THE ON-STREET PARKING AREA WILL NOT BE STRIPED. THE ALLEYS ARE OWNED BY THE HOA AND THEY ENFORCE THE PARKING PROHIBITION IN THEIR ALLEY "RIGHT-OF-WAY" THAT'S IN THE COVENANT FOUND AT L. 2254 F. 30543.
22. NO GRADING, REMOVAL OF VEGETATIVE COVER OR TREES, PAVING AND NEW STRUCTURES SHALL BE PERMITTED WITHIN THE REQUIRED WETLANDS, STREAMS OR THEIR BUFFERS, FOREST CONSERVATION EASEMENT AREAS AND 100 YEAR FLOODPLAIN.
23. MINIMUM BUILDING SETBACK RESTRICTIONS FROM PROPERTY LINES AND THE PUBLIC ROAD RIGHTS-OF-WAY FOR ALL SFD AND SEA RESIDENTIAL LOTS WILL BE PROVIDED IN ACCORDANCE WITH THE COMPREHENSIVE ZONING REGULATIONS. APPROVED UNDER F-13-006 AND F-13-007 AND ZB-4954.
24. FININGS FOR THIS PROJECT IS IN ACCORDANCE WITH THE DECISION AND ORDER FOR ZB-4954 AND THE DECISION AND ORDER FOR PB CASE NO. 353 (5-01-11) AND PB CASE NO. 316 AND 5-06-16.
25. BECAUSE THERE MAY BE MODIFICATIONS TO LANDSCAPING A CERTIFIED LANDSCAPE PLAN APPROVED BY MAPLE LAWN FARMS SHALL BE FORWARDED TO THE COUNTY FOR APPROVAL PRIOR TO LANDSCAPE INSPECTION. PLANT SUBSTITUTIONS CANNOT INCLUDE SPECIES PROHIBITED BY THE HOWARD COUNTY LANDSCAPE MANUAL AND ADOPTED POLICY.
26. BUILDABLE LOTS SHOWN HEREIN SHALL HAVE A PUBLIC EASEMENT ADJACENT TO THE PUBLIC ROAD RIGHT OF WAY, FOR THE PURPOSES OF SIDEWALK MAINTENANCE, WATER HOSE CONNECTION AND SEWER HOSE CONNECTION.
27. LOTS WITH REDUCED DRIVEWAY LENGTHS ARE GRANDFATHERED TO THE PREVIOUS 2004 COMP ZONING REGULATIONS REGARDING SECTION 133.C.4 FOR DRIVEWAYS LENGTHS LESS THAN 4 FEET FOR AN APPROVED LOT PROJECT.

LOT DEVELOPMENT DATA

- I. GENERAL SITE ANALYSIS DATA
A. PRESENT ZONING: MXD-3 PER ZB-4954
B. PROPOSED USE OF SITE: 11 SFD RESIDENTIAL DWELLING
C. PUBLIC WATER & SEWER TO BE UTILIZED (CONTR. #24-4741-D)
D. PARKING REQUIRED PER 133.D.2: 2 SPACES/UNIT X 11 = 34 SPACES
PARKING PROVIDED: 34 GARAGE SPACES (ALL LOTS HAVE AT LEAST A 2-CAR GARAGE. SEE NOTE 21 ABOVE REGARDING PARKING).
E. RECREATION OPEN SPACE FOR THIS SDP IS ADDRESSED UNDER F-14-093 (SEE OVERALL OPEN SPACE PROVISION CHART ON THIS SHEET).
2. AREA TABULATION
A. AREA OF BUILDABLE LOTS FOR THIS SUBMISSION: 102,261 SF OR 2.351 AC.
B. AREA OF THIS PLAN SUBMISSION: 2,784 ACRES (L.O.D.)
C. AREA OF DISTURBANCE BY THIS SDP: 2,784 ACRES
3. LOT DESIGNATION
LOT TYPE LOT NUMBER MINIMUM LOT SIZE MIN. LOT WIDTH AT FRONT BRL. MAX. BUILDINGS HT.
COTTAGE 63-66 & 72-76 2,500 SQUARE FEET 32 FEET 30 FEET (MEAN HT.)
VILLA 12-14 5,400 SQUARE FEET 54 FEET 30 FEET (MEAN HT.)
4. STRUCTURE SETBACKS PER 5-06-16 AND PLAT NOS. 22945-23004
LOT TYPE FRONT SETBACK SIDE SETBACK MINIMUM REAR SETBACKS
COTTAGE 10' MIN. 4' MIN. 20' TO PRINCIPAL STRUCTURE. 3' FOR REAR (DETACH/ATTACH) GARAGE OR TO ACCESSORY STRUCTURES.
VILLA 12' MIN. 6' MIN. 20' TO PRINCIPAL STRUCTURE. 3' FOR REAR (DETACH/ATTACH) GARAGE OR TO ACCESSORY STRUCTURES.
* THERE IS A 0' SIDE SETBACK FOR A GARAGE.

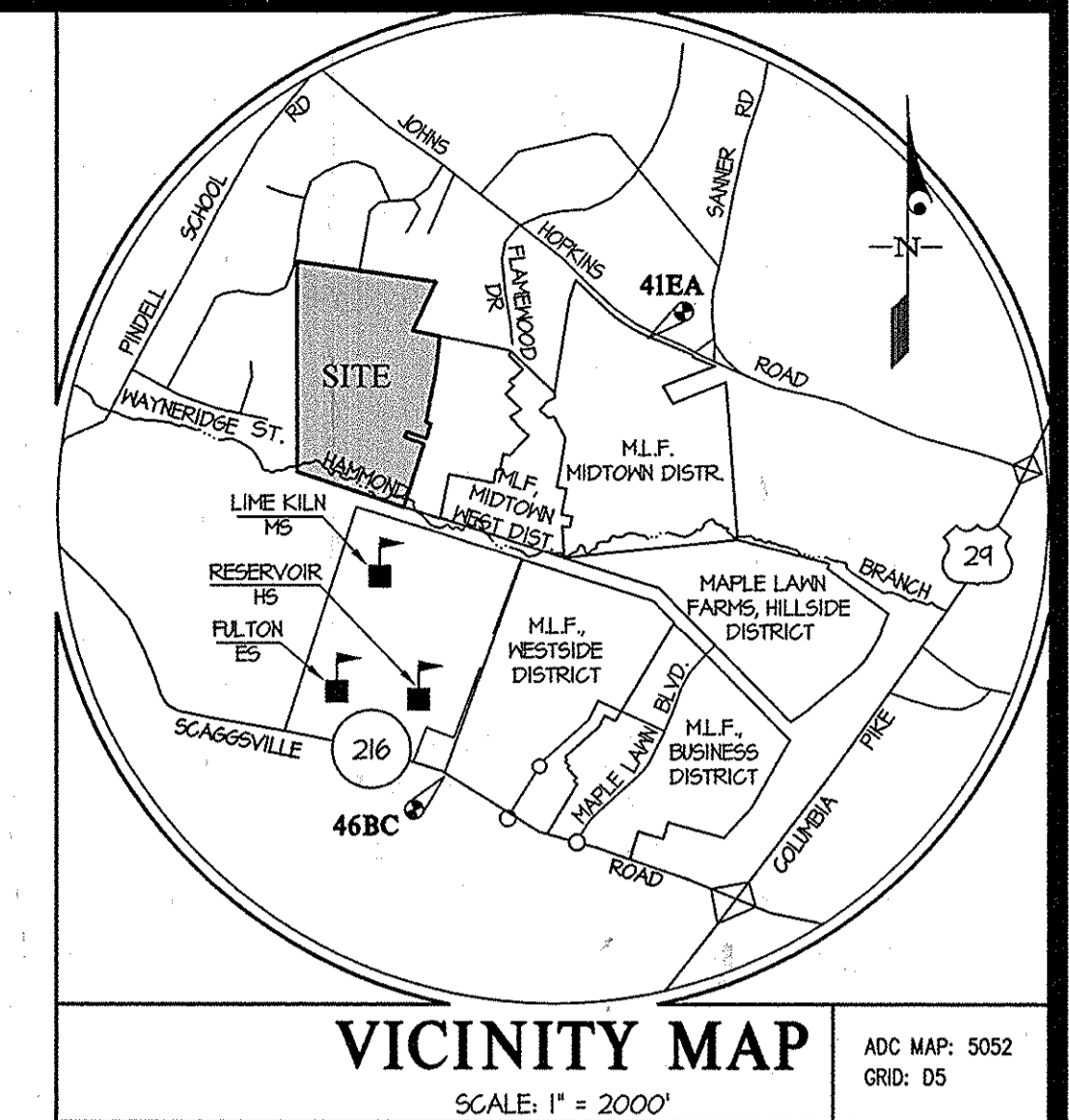
- A. A ZERO LOT LINE DWELLING UNIT MAY BE LOCATED ON ANY PROPERTY LINE WHICH IS NOT A STREET RIGHT-OF-WAY PROVIDED THAT (1) NO PART OF THE DWELLING SHALL ENCRUCH INTO THE ADJOINING LOT; (2) AN ACCESS EASEMENT FOR THE PURPOSE OF MAINTENANCE TO THE SIDE OF THE STRUCTURE SHALL BE INCLUDED IN THE DEED WHERE APPROPRIATE. SPACING BETWEEN DWELLING UNITS SHALL BE A MINIMUM OF 8'. GARAGES HOWEVER, MAY ADJOIN ALONG THE PROPERTY LINE, PROVIDED THEY COMPLY WITH ALL BUILDING AND FIRE CODE REGULATIONS.
B. OPEN DECKS MUST BE A MINIMUM OF 10' FROM REAR PROPERTY LINE, AND ARE SUBJECT TO SIDE YARD SETBACKS.
C. FACING ACCESSORY STRUCTURES AND DETACHED GARAGES (ACROSS AN ALLEY/LANE ROW) SHALL BE 30' APART.
D. EXCEPTIONS TO FRONT SETBACK REQUIREMENTS. SECTION 12B.1 APPLIES, EXCEPT FOR THE FOLLOWING:
• PORCHES MAY ENCRUCH INTO THE FRONT YARD TO WITHIN 2' FROM THE FRONT PROPERTY LINE OR RIGHT-OF-WAY FOR COTTAGES, MANORS, AND VILLAS; TO WITHIN 12' FOR ESTATES. WHERE A SIDE YARD ABUTS AN OPEN SPACE OR PASSAGE, PORCHES MAY ENCRUCH TO WITHIN 1' FROM THE SIDE PROPERTY LINE FOR COTTAGES, MANORS, AND VILLAS; TO WITHIN 12' FOR ESTATES.
• STOOPS AND STEPS MAY ENCRUCH INTO THE FRONT AND SIDE YARDS TO WITHIN 1' FROM THE FRONT PROPERTY LINE.
• GARDEN WALLS, FENCES, PIERS, GATES AND SIMILAR ORNAMENTS MAY BE BUILT IN THE FRONT AND SIDE YARDS NOT CLOSER THAN 1' FROM THE FRONT PROPERTY LINE (WALL FOOTING MUST BE OUTSIDE ANY EASEMENTS); NOT GREATER THAN 40" IN HEIGHT ALONG THE FRONT PROPERTY LINE AND NOT GREATER THAN 12" IN HEIGHT ALONG THE SIDE AND REAR PROPERTY LINES.

MAPLE LAWN FARMS
SITE DEVELOPMENT PLAN
GARDEN DISTRICT - AREA 1
LOTS No. 12-19, 63-66 and 72-76
FIFTH ELECTION DISTRICT
HOWARD COUNTY, MARYLAND



HOWARD COUNTY CONTROL

NAD83 HORIZONTAL DATA & NVD80 VERTICAL DATA
46BC ELEV. = 412.16 N = 534425.19 E = 1337,205.11 STANDARD DISC. ON CONCRETE MONUMENT
41EA ELEV. = 401.05 N = 544825.61 E = 1394217.44 STANDARD DISC. ON CONCRETE MONUMENT



OVERALL OPEN SPACE PROVISION FOR MAPLE LAWN FARMS

Table with 7 columns: PHASE NUMBER (AND NAME), APPROVED DPZ FILE NO., PHASE AREA (GROSS SQ. FT. / ACRES), REQUIRED OPEN SPACE (25% OF GROSS AC.), OPEN SPACE PROVIDED IN AC. (8) *, REQUIRED ACTIVE OPEN SPACE IN AC.**, ACTIVE RECREATION O.S. PROVIDED IN AC. (8)***. Lists various lots and their corresponding open space requirements and provisions.

- * THE PERCENTAGE OF OPEN SPACE PROVIDED IS BASED ON THE GROSS SITE ACRES.
** 10% OF THE OPEN SPACE REQUIRED MUST BE AVAILABLE FOR ACTIVE RECREATION.
*** THE PERCENTAGE OF ACTIVE RECREATION O.S. PROVIDED IS BASED ON THE O.S. PROVIDED (CUMULATIVE TOTAL ACRES).
① 152 AC. = COMMUNITY CENTER (0.5, 125 - 5.01 AC.), 0.5, 126 (0.55 AC.) AND 0.5, 123 (1.16 AC.)
② 0.24 AC. = PATHWAYS
③ 1.61 AC. = 0.5, LOT 218 (1.00 AC.) AND 0.5, LOT 214 (0.61 AC.)
④ 4.76 AC. = 0.5, LOT 4 (4.76 AC.)
⑤ 0.61 ACRES = 0.5, LOT 68 (0.61 AC.)
⑥ 1.21 ACRES = 0.5, LOT 85 (0.63 AC.) AND 0.5, LOT 84 (0.58 AC.)
⑦ 0.64 ACRES = 0.5, 115 (0.64 AC.)
⑧ 5.05 AREAS = 0.5, 174 (0.73 AC.), 0.5, 180 (0.74 AC.), 0.5, 182 (0.73 AC.)
⑨ 4.55 AREAS = 0.5, 94 (0.40 AC.), 0.5, 101 (1.75 AC.), 0.5, 104 (2.85 AC.) AND 0.5, 107 (2.44 AC.)
OPEN SPACE LOTS 126 AND 129 ARE CONSIDERED RECREATIONAL SINCE RESIDENTS WILL BE ABLE TO GATHER AND CHILDREN WILL BE ABLE TO PLAY IN THESE AREAS.

BUILDING PERMIT CHART

Table with 4 columns: LOTS, DISTURBED AREA (AC.), LANDSCAPE SURETY AMOUNT, LANDSCAPE INSPECTION FEES PAID. Shows costs for lots 12-14, 63-66, and 72-76, with a total of 2,784 AC. disturbed area, \$20,300.00 surety, and \$341.30 fees.

ADDRESS CHART

Table with 4 columns: LOT No., STREET ADDRESS, LOT No., STREET ADDRESS. Lists addresses for lots 12, 13, 14, 15, 16, 17, 18, 19, 63, 64, 65, 66, 72, 73, 74, 75, 76.

WITHIN 1 YEAR OF SIGNATURE APPROVAL OF THIS SDP BY THE DIRECTOR OF DPZ, THE BUILDER SHALL APPLY TO THE DEPT. OF INSPECTIONS, LICENSES AND PERMITS FOR BUILDING PERMITS TO INITIATE THE CONSTRUCTION ON THIS SDP. THE BUILDER SHALL APPLY FOR BUILDING PERMITS FOR ALL CONSTRUCTION AUTHORIZED ON THIS SDP WITHIN 5 YEARS OF ITS APPROVAL.

SHEET INDEX

- 1. COVER SHEET
2. SITE DEVELOPMENT PLAN
3. SITE DEVELOPMENT PLAN
4. SEDIMENT CONTROL PLAN
5. SEDIMENT CONTROL NOTES AND DETAILS
6. LANDSCAPE PLAN
7. LANDSCAPE PLAN

PERMIT INFORMATION CHART

Table with 2 columns: WATER CODE: E21, SEWER CODE: 7645000. Development Name: MAPLE LAWN FARMS. District/Area: GARDEN DISTRICT AREA 1. Plat No.: 22945-23004. Zone: MXD-3. Tax Map: 41. Grid: 15 & 21. Elec. Dist.: 5.

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
Director: [Signature] 7-21-15
Chief, Division of Land Development: [Signature] 7-16-15
Chief, Development Engineering Division: [Signature] 7-9-15

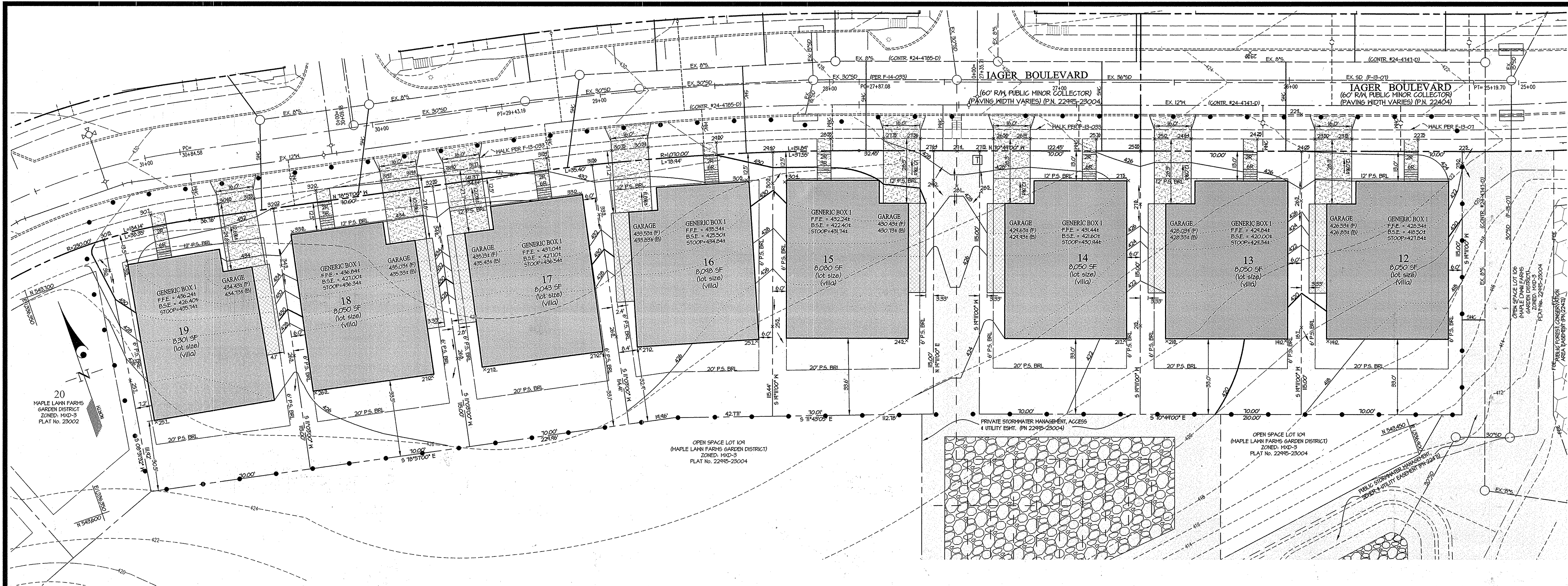
PROFESSIONAL CERTIFICATION
I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 12475. EXPIRATION DATE: MAY 26, 2016.
6/15/15

GLWGUTSCHICK LITTLE & WEBER, P.A.
CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK
BURTONSVILLE, MARYLAND 20886
TEL: 301-421-4024 BAL: 410-880-1820 DC/VA: 301-890-2524 FAX: 301-421-4186

PREPARED FOR:
PROPERTY OWNER (SELLER): MAPLE LAWN FARMS 1, LLC
1829 REGISTERSTOWN ROAD, SUITE 300
BALTIMORE, MD 21208
PH: 410-484-8400
ATTN: MARK BENNETT
BUILDER (CONTRACT PURCHASER): c/o Streetscope Partners, LLC
1420 SPRING HILL ROAD, SUITE 550
MCLEAN, VIRGINIA 22102
PH: 703-848-1600
ATTN: HOWARD KATZ

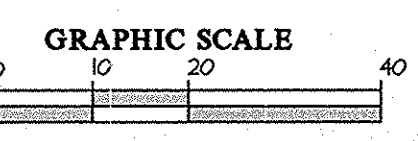
COVER SHEET
MAPLE LAWN FARMS
GARDEN DISTRICT - AREA 1
LOTS No. 12-19, 63-66 and 72-76
(SFD RESIDENTIAL USE)
PLAT Nos. 22995-23004

SCALE: AS SHOWN
ZONING: MXD-3
G. L. W. FILE No.: 14054
DATE: JUNE/2015
TAX MAP - GRID: 41-15&21
SHEET: 1 OF 7
HOWARD COUNTY, MARYLAND



LOT	ELEVATION @ PROP. LINE	M.C.E.
12	401.52	404.60
13	410.43	415.25
14	411.26	416.12
15	418.58	423.12
16	411.12	422.34
17	418.45	423.21
18	418.64	424.50
19	420.18	425.04

NOTE: SEWER HOUSE CONNECTIONS IS 4".

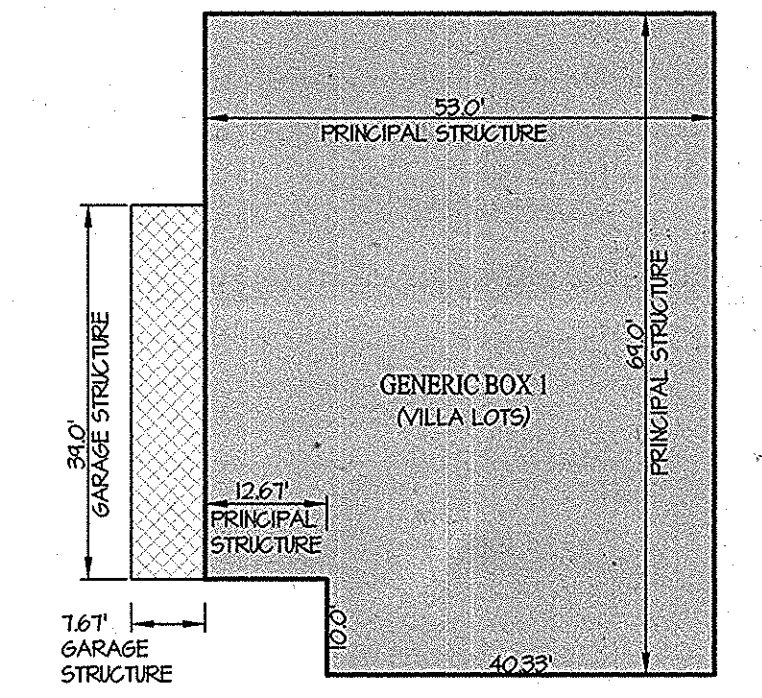


SITE DEVELOPMENT PLAN LEGEND

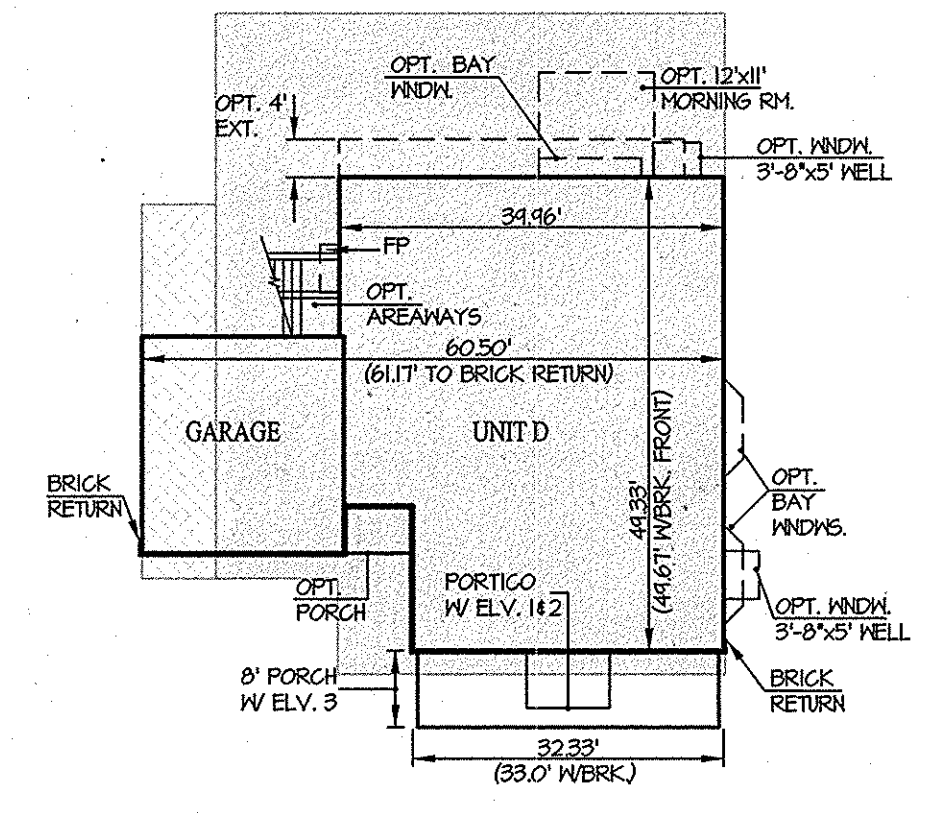
- 388 --- EXISTING CONTOUR
- 388 --- PROPOSED CONTOUR
- 388 --- PROPOSED SPOT ELEVATION
- 388 --- LIMIT OF GRADING DISTURBANCE
- --- EXISTING PAVING
- --- EXISTING CURB & GUTTER
- --- METER VAULT
- --- 1/2" WATER HOUSE CONNECTION (MHC, DASHED LINE TYPE)
- --- WATER LINE (PUBLIC)
- --- FIRE HYDRANT
- EX 8" --- EXISTING SEWER MAIN (DASHED LINE)
- EX 8" --- SEWER HOUSE CONNECTION (SHC, SOLID LINE)
- EX 5" --- EXISTING STORM DRAIN
- EX 5" --- EXISTING LIGHT POLE
- --- BGE TRANSFORMER PAD
- --- VERIZON EQUIPMENT (H & FP)
- --- COMCAST EQUIPMENT
- --- CONCRETE SIDEWALK PER HO. CO. DET. R-3.05
- --- PROPOSED HOUSE
- --- F.F.E. = FINISHED FLOOR ELEVATION
- --- B.S.E. = BASEMENT F.F.E. ELEVATION
- --- REV. = REVERSED HOUSE ORIENTATION
- --- GAR. = GARAGE (F=FRONT, B=BACK)
- --- T.O.M. = TOP OF FOUNDATION WALL
- --- M.O.S. = WALK OUT BASEMENT
- --- BUILDING RESTRICTION LINE
- --- P.S. = PRINCIPAL STRUCTURE
- --- G.S. = GARAGE STRUCTURE
- --- F.C.E. --- FOREST CONSERVATION EASEMENT
- --- F.S.W. --- Foundation Stem Wall Required

NOTES:

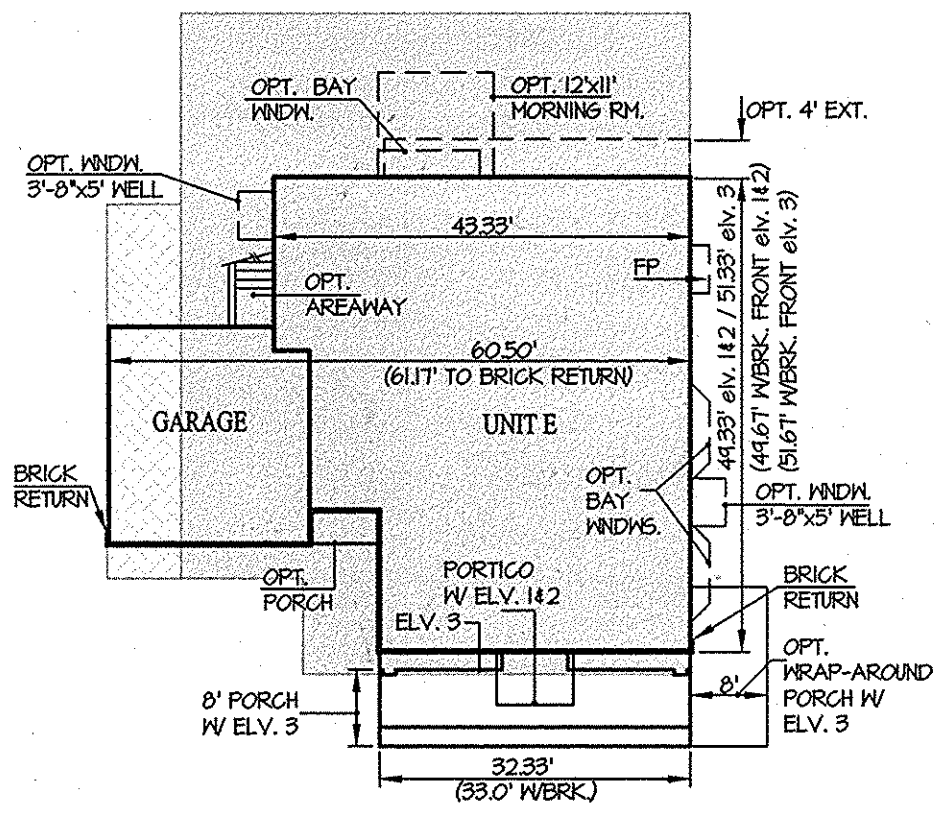
- ALL FENCES, GARDEN WALLS, STOOPS AND STEPS ALONG THE R/W SHALL BE LOCATED BEHIND THE 1' PUBLIC SIDEWALK ESMT.
 - BRICK POINT ALL BUILDING CONSTRUCTION UNLESS NOTED OTHERWISE.
 - MHC TO THE SUBJECT LOT OF THIS SDP IS 1/2" PER CONTRACT Nos. 24-4741-D, 24-4785-D & 24-4786-D AND THE WATER METER VAULT IS IN THE R.O.M. ADJUST TOP OF METER VAULT AS NECESSARY BASED ON FINAL FIELD CONDITION.
 - SEE THE CHART ON SHEET 2 & 3 FOR SHC INFORMATION. CONTRACTOR SHALL CHECK AND VERIFY THE SEWER HOUSE ELEVATIONS AT THE PROPERTY LINE PRIOR TO CONSTRUCTION.
 - ALL GARDEN WALLS AND FENCES THAT STRADDLE PROPERTY LINES SHALL BE MAINTAINED IN ACCORDANCE WITH ARTICLE 15 OF THE MAPLE LAWN HOMEOWNERS ASSOCIATION COVENANTS (RECORDED AT LIBER 1419 FOLIO 242 THROUGH 366).
 - ALL BUILDING WALLS WITHIN 10' OF A BGE TRANSFORMER SHALL BE CONSTRUCTED FOR A MINIMUM FIRE RESISTANCE RATINGS OF 3 HOURS.
 - ANY NECESSARY YARD DRAIN INLETS ARE 12" (NYLOPLAST INLINE DRAIN MODEL NO. 212AG (N OR EQV.) CONNECT ALL YARD DRAIN INLETS TO THE EXISTING STORM DRAIN STUBS IN THE ALLEY USING ADS IN-2 (HOPE, TYPE 'S') PIPES. CONTRACTOR SHALL CHECK AND VERIFY THE INVERT OF THE STUBS AT THE ALLEY PROPERTY LINE PRIOR TO CONSTRUCTION. PROVIDE POSITIVE DRAIN (8" MIN) FROM YARD INLET TO THE STORM DRAIN STUBS. PROVIDE 10' MIN. COVER OVER THE HOPE PIPES. ALL DOWN SPOUTS SHALL BE DISCHARGED ONTO SPLASH BLOCKS OR PIPE DIRECTLY TO THE YARD DRAIN.
 - PRIVACY FENCE THAT IMPEDES SIGHT VISIBILITY FOR DRIVERS TURNING CORNERS IN THE ALLEY ARE NOT ALLOWED.
 - DRIVEWAY APRONS IN PUBLIC R.O.M. PER DPM R-6.01.
- WASTE MANAGEMENT NOTES:**
- COUNTY SERVICES WILL NOT BEGIN UNTIL ALL CONSTRUCTION IS COMPLETED IN THE AREA AND THE TRUCKS HAVE CLEAR AND UNHINDERED ACCESS. THE BUILDER/DEVELOPER SHALL PROVIDE FOR TRASH COLLECTION UNTIL ALL CONSTRUCTION IS COMPLETED AND THE CHIEF, COLLECTIONS DIVISION APPROVES THE AREA FOR SERVICE.
 - THE REFUSE COLLECTION CHARGE WILL NOT APPLY UNTIL THE AREA BEGINS COUNTY SERVICE.



GENERIC BOX 1 (Villa Lots) SCALE: 1"=20'



VILLA HOUSE FOOTPRINTS & ELEVATIONS SCALE: 1"=20'



VILLA HOUSE FOOTPRINTS & ELEVATIONS SCALE: 1"=20'

PROFESSIONAL CERTIFICATION
 I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DAILY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 12475, EXPIRATION DATE, MAY 26, 2016.
 6/15/15

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
 Director: *Mark J. Griffin* 7-21-15
 Chief, Division of Land Development: *Kathleen* 7-16-15
 Chief, Development Engineering Division: *Phil* 7-8-15

GLWGUTSCHICK LITTLE & WEBER, P.A.
 CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
 3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK
 BURTONSVILLE, MARYLAND 20866
 TEL: 301-421-4024 BAL: 410-880-1820 DC/VA: 301-989-2524 FAX: 301-421-4186

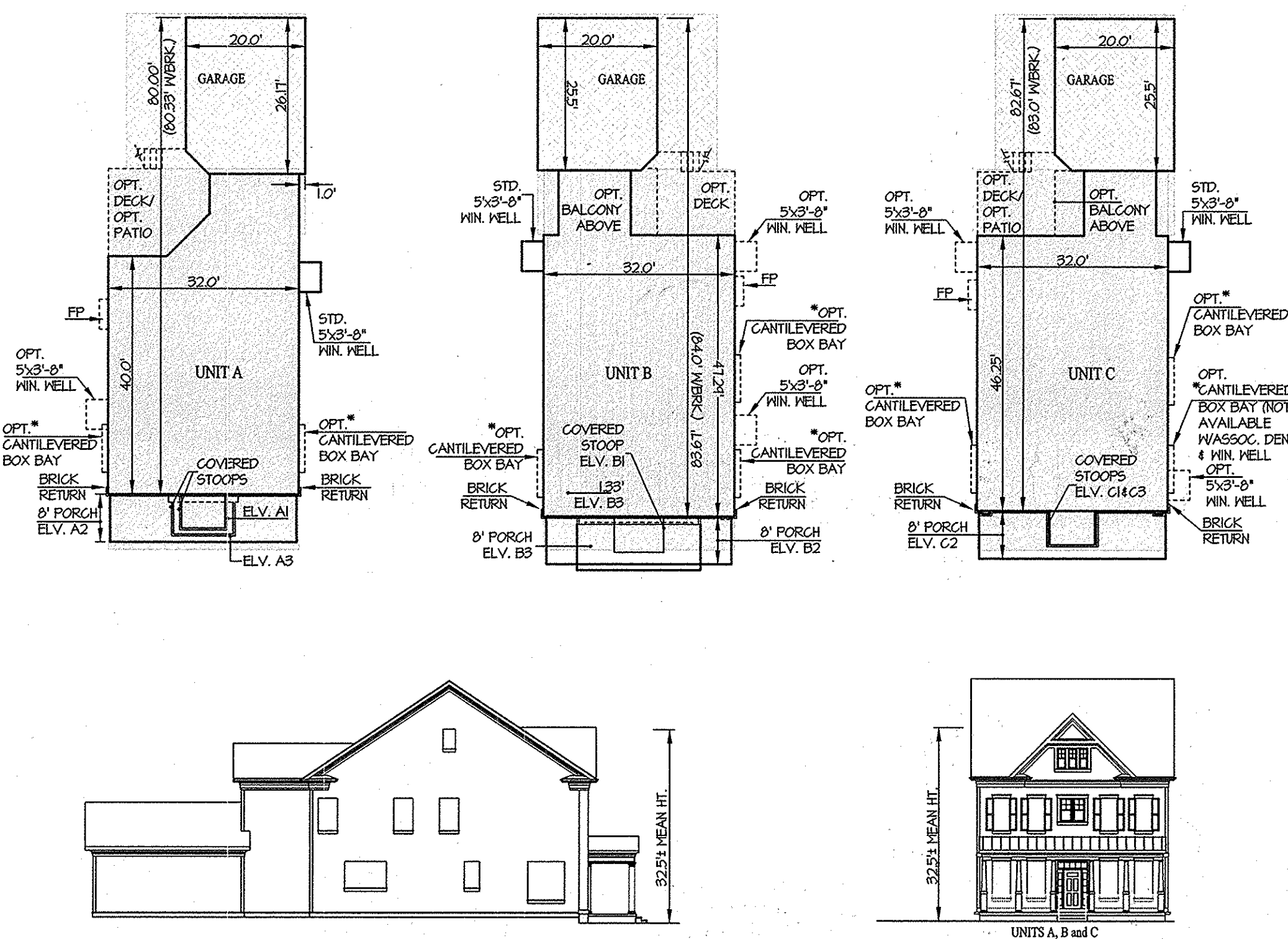
PREPARED FOR:
 PROPERTY OWNER (SELLER):
 MAPLE LAWN FARMS 1, LLC
 1829 REISTERSTOWN ROAD, SUITE 300
 BALTIMORE, MD 21208
 PH: 410-484-8000
 ATTN: MARK BENNETT

BUILDER (CONTRACT PURCHASER):
 MICHAEL HARRIS HOMES INC.
 c/o Streetscape Partners, LLC
 1420 SPRING HILL ROAD, SUITE 550
 MCLEAN, VIRGINIA 22102
 PH: 703-848-1800
 ATTN: HOWARD KATZ

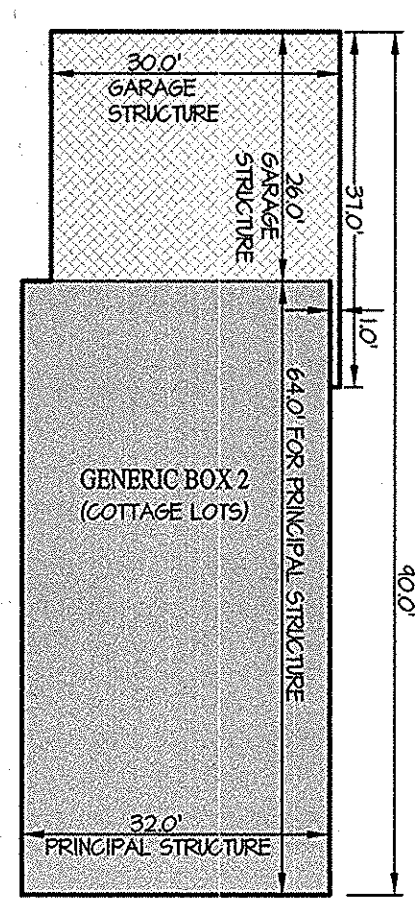
SITE DEVELOPMENT PLAN
MAPLE LAWN FARMS
 GARDEN DISTRICT - AREA 1
 LOT Nos. 12-19, 63-66 and 72-76
 (SFD RESIDENTIAL USE)
 PLAT Nos. 22995-23004

SCALE: 1"=20'
 ZONING: MXD-3
 G. L. W. FILE NO.: 14054
 DATE: JUNE/2015
 TAX MAP - GRID: 41-15&21
 SHEET: 2 OF 7

HOWARD COUNTY, MARYLAND
 ELECTION DISTRICT No. 5



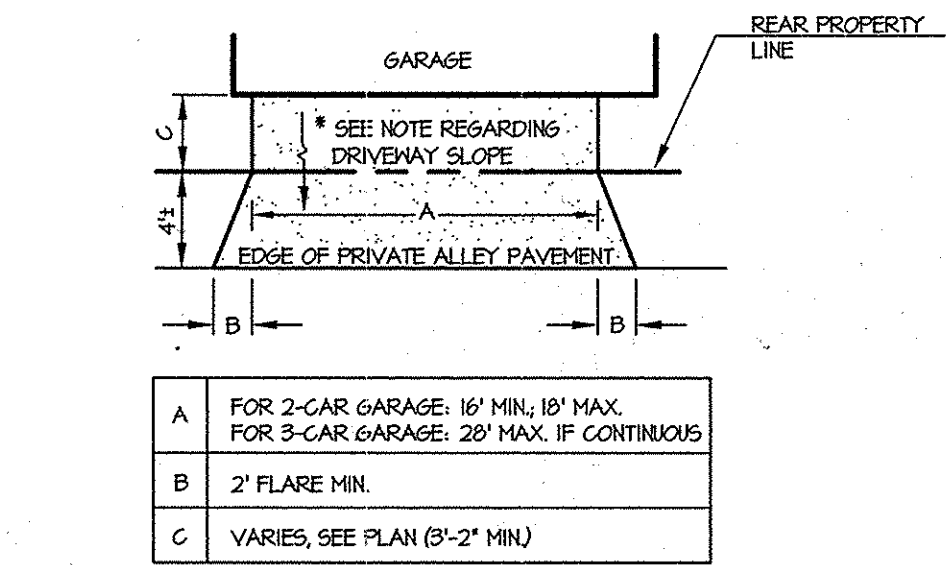
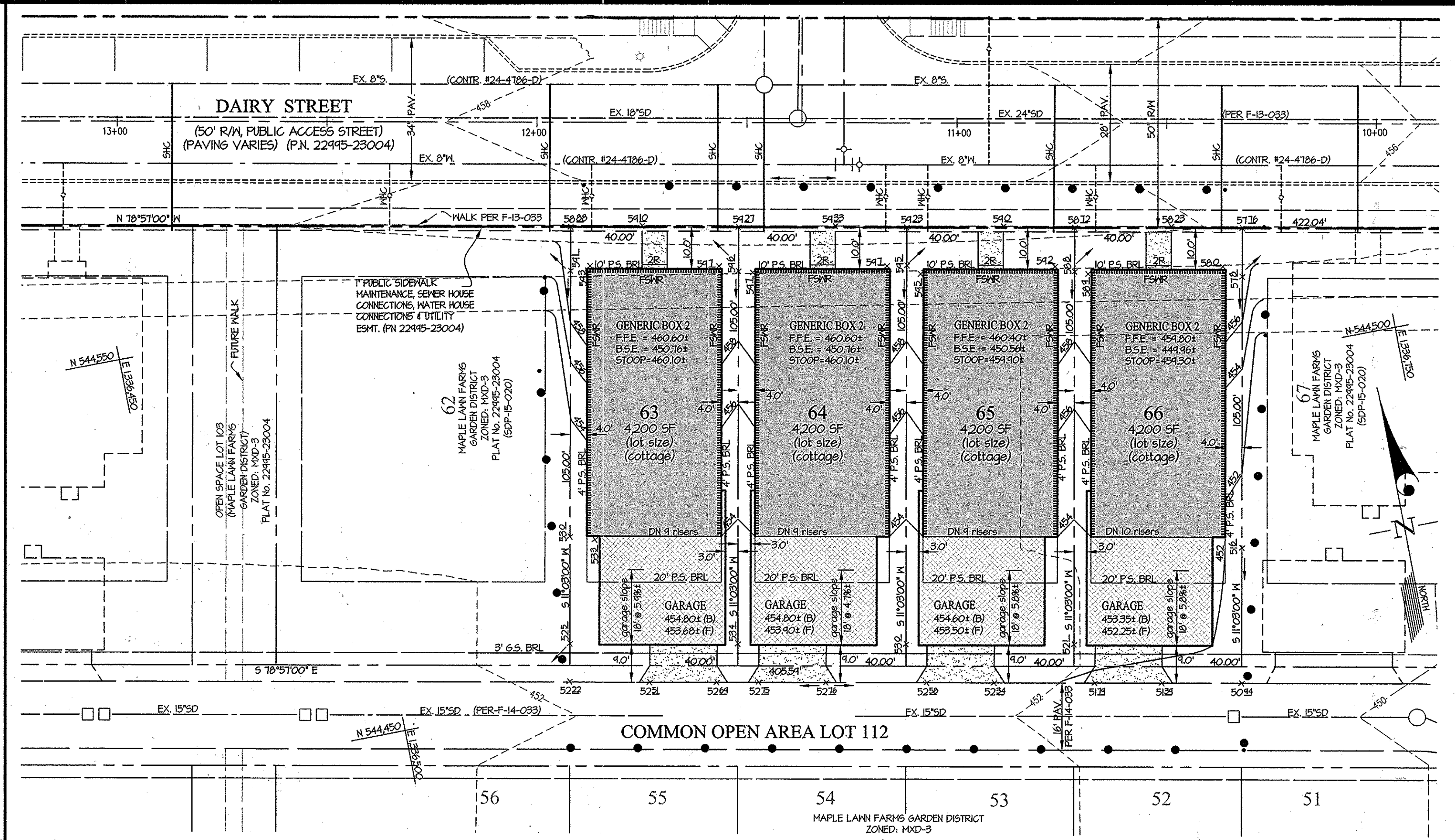
COTTAGE HOUSE FOOTPRINTS & ELEVATIONS (STANDARD ORIENTATION) SCALE: 1"=20'



GENERIC BOX 2 (Cottage Lots) SCALE: 1"=20'

GENERIC BOX NOTES (FOR COTTAGE LOTS):

- BUILDING FEATURES THAT CAN PROJECT INTO YARD SETBACKS IN ACCORDANCE WITH SECTION 120A) OF THE HOWARD COUNTY ZONING REGULATIONS (SEE SHEET 1 LOT DEVELOPMENT DATA 4. FOR EXCEPTIONS) CAN ALSO PROJECT BEYOND THE GENERIC BOX, BUT SAID FEATURES CANNOT PROJECT INTO ANY EASEMENTS.
- FOR BUILDING PERMIT APPLICATION, A PLOT PLAN SHOWING THE ACTUAL HOUSE TYPE TO BE CONSTRUCTED ON A PARTICULAR LOT SHALL BE SUBMITTED ALONG WITH COPIES OF THE APPROVED SDP.



PRIVATE DRIVEWAY NOTES:

- DRIVEWAY SHALL BE PAVED FROM THE EDGE OF THE PRIVATE ALLEY TO THE GARAGE USING A P-1 BITUMINOUS PAVING SECTION PER CO. STD. DETAIL R-2.0) OR THE T CONCRETE SECTION. THE 4" APRON BETWEEN SHALL BE CONCRETE.
- PROVIDE POSITIVE DRAINAGE AWAY FROM THE GARAGE TO THE ALLEY. SLOPE ON THE DRIVEWAY MAY VARY FROM 1/8" PER LIN. ON HIGH SIDE OF THE DRIVEWAY TO 1/4" (MAX. ON LOW SIDE)
- THIS DETAIL IS FOR APRONS & DRIVEWAYS IN A PRIVATE ALLEY ONLY. FOR APRONS IN THE PUBLIC RIGHT OF WAY SEE DPM DETAIL 6.01.

PRIVATE DRIVEWAY and APRON DETAIL NO SCALE

PROFESSIONAL CERTIFICATION

I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DAILY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 10475, EXPIRATION DATE: MAY 26, 2016.

Mark Bennett
7/15/15

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

Valerie Jaffe 7-21-15
Director Date

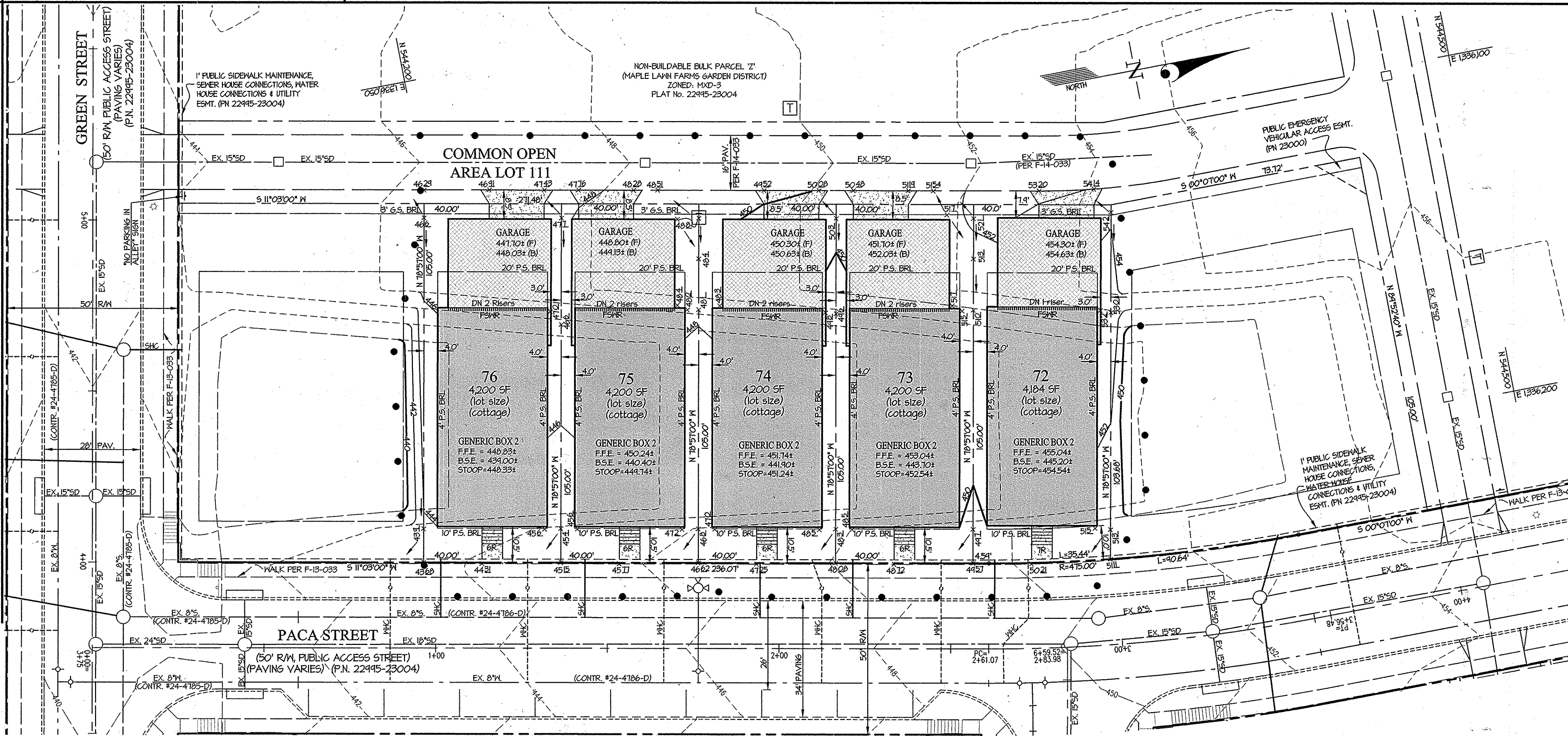
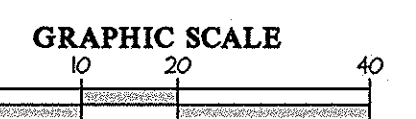
Kate L. Lane 7-16-15
Chief, Division of Land Development Date

Chad P. Pugh 7-9-15
Chief, Development Engineering Division Date

SEWER HOUSE CONNECTIONS MINIMUM CELLAR ELEVATIONS & INVERT ELEVATION @ P.I.

LOT	PROP. ELEVATION	M.C.E.
63	443.74	449.01
64	443.65	447.91
65	442.74	446.81
66	441.84	446.41
72	491.21	441.34
73	495.45	440.13
74	495.68	434.86
75	493.61	437.74
76	492.29	436.55

NOTE: SEWER HOUSE CONNECTIONS IS 4".



GLWGUTSCHICK LITTLE & WEBER, P.A.
CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK
BURTONSVILLE, MARYLAND 20866
TEL: 301-421-4024 FAX: 301-421-4186

PREPARED FOR:
PROPERTY OWNER (SELLER): MAPLE LAWN FARMS 1, LLC
1829 REISTERSTOWN ROAD, SUITE 300
SALISBURY, MD 21208
PH: 410-484-8400
ATTN: MARK BENNETT

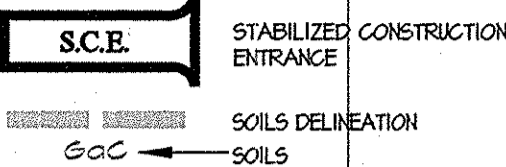
BUILDER (CONTRACT PURCHASER):
MICHAEL HARRIS HOMES INC.
c/o Streetscape Partners, LLC
1420 SPRING HILL ROAD, SUITE 550
MCLEAN, VIRGINIA 22102
PH: 703-848-1600
ATTN: HOWARD KATZ

SITE DEVELOPMENT PLAN
MAPLE LAWN FARMS
GARDEN DISTRICT - AREA 1
LOT Nos. 12-19, 63-66 and 72-76
(SFD RESIDENTIAL USE)
PLAT Nos. 22995-23004

SCALE	ZONING	G. L. W. FILE No.
1"=20'	MXD-3	14054
DATE	TAX MAP - GRID	SHEET
JUNE/2015	41-15&21	3 OF 7

SEDIMENT CONTROL LEGEND

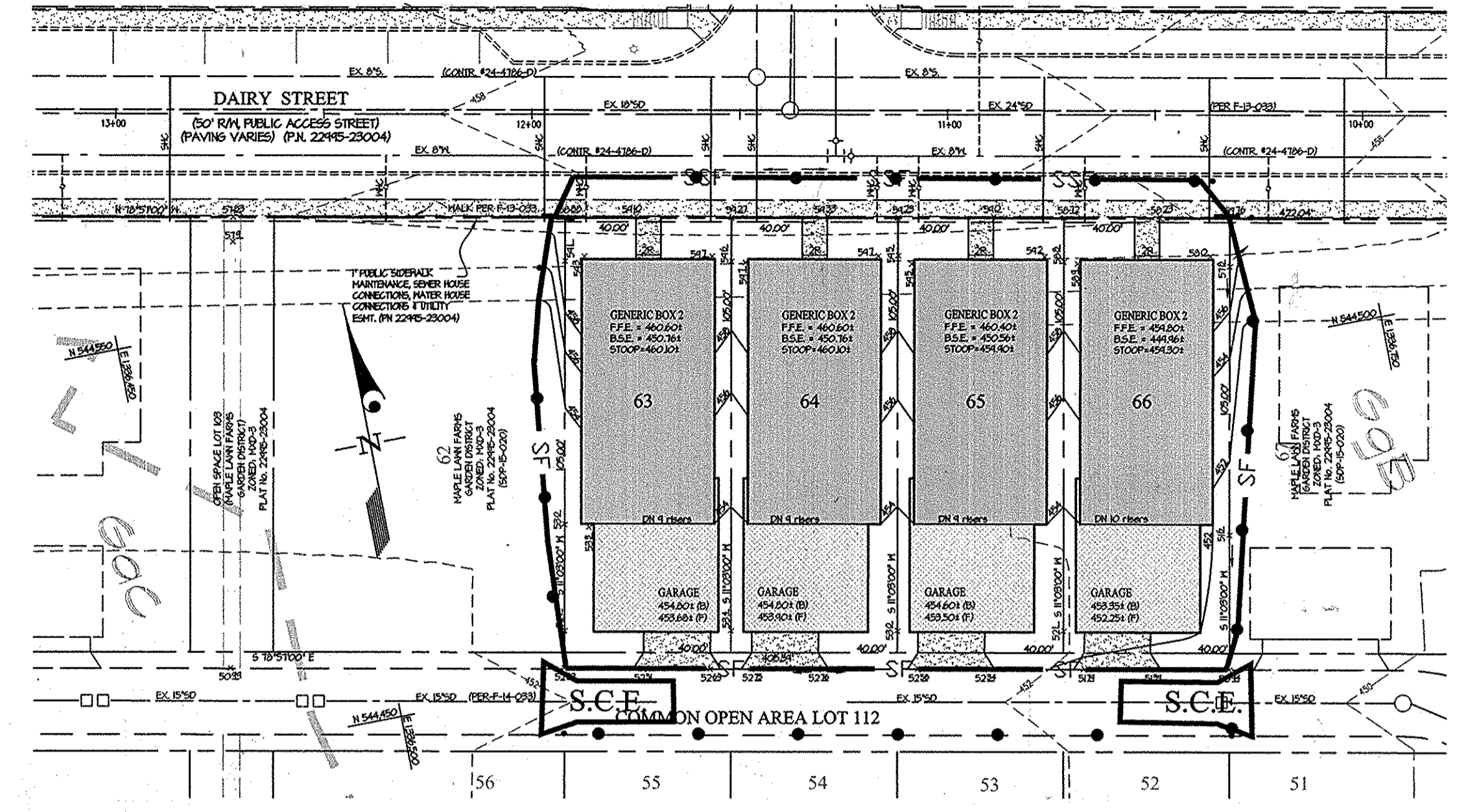
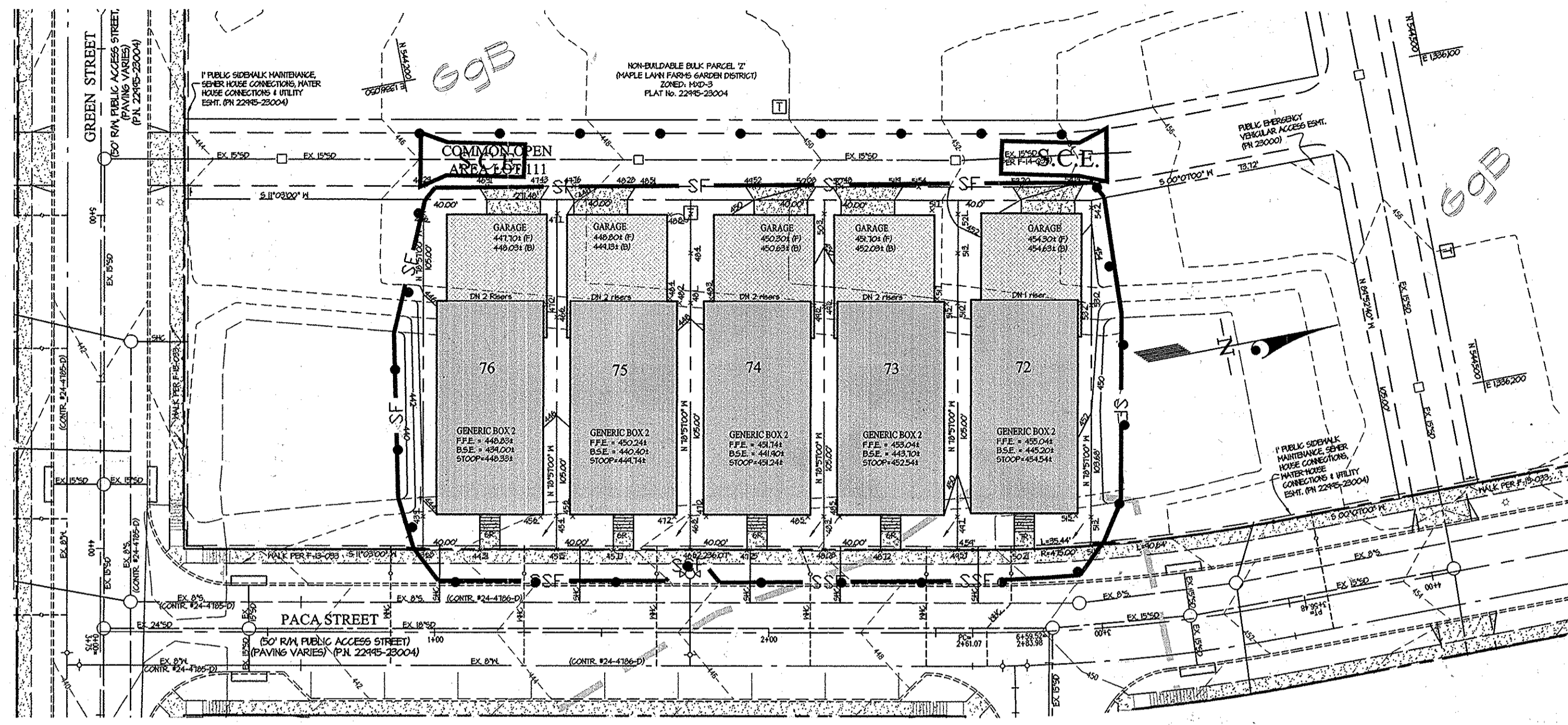
- 600--- EXISTING CONTOUR
- 600— PROPOSED CONTOUR
- LIMIT OF GRADING DISTURBANCE
- SF — SILT FENCE
- SF — SUPER SILT FENCE



SEQUENCE OF CONSTRUCTION

1. APPLY FOR GRADING PERMIT AND SCHEDULE A PRE-CONSTRUCTION MEETING WITH THE COUNTY SEDIMENT CONTROL INSPECTOR (CSCI) OBTAIN GRADING PERMIT FROM THE CSCI AT THE MEETING. Duration: 1/2 day.
2. INSTALL STABILIZED CONSTRUCTION ENTRANCES (S.C.E.), SILT FENCES (SF), SUPER SILT FENCES (SSF) AND ANY ADDITIONAL SEDIMENT CONTROL MEASURES AS DIRECTED BY THE CSCI. (CLEARING AND GRUBBING IS NOT NECESSARY AS SITE WAS MASS GRADED TO INSTALL A REGIONAL SWM FACILITY). Duration: 1-day.
3. GRADE SITE FOR HOUSE CONSTRUCTION. PROVIDE DUST CONTROL AS NECESSARY. Duration: 2 days.
4. CONSTRUCT HOUSES, UTILITY CONNECTIONS, GARAGES, DRIVEWAYS AND SIDEWALKS. Duration: 3-4 months.
5. AS EACH HOUSE/GARAGE IS COMPLETED, FINAL GRADE THE LOT, INSTALL FENCES AND PLANT MATERIAL AND STABILIZE ALL BARE DIRT AREA WITH PERMANENT SEEDING OR WITH SOD. Duration: 2-days.
6. ONCE AREA DRAINING TO SEDIMENT CONTROL MEASURES HAVE BEEN STABILIZED, OBTAIN PERMISSION FROM THE CSCI TO REMOVE THE SEDIMENT CONTROL ITEMS. Duration: 1/2 day.
7. OBTAIN INSPECTION FOR RELEASE OF SURETY (FOR GRADING AND LANDSCAPING). Duration: 1/2 day.
8. OBTAIN USE AND OCCUPANCY PERMIT THEN FINALIZE SETTLEMENT.

- NOTES:**
1. TEMPORARY SWM IS PROVIDED BY THE EXISTING BASIN ON OPEN SPACE LOT 109 & 110 PER F-13-008 (SEE SHEET #1).
 2. IF HOUSE CONSTRUCTION IS CONCURRENT WITH ROAD CONSTRUCTION, COORDINATE THE WORK ON THESE PLANS WITH F-14-333.
 3. SOILS SHOWN ARE PRE-DEVELOPMENT CONDITION. THE SITE IS MASS GRADED UNDER F-12-023 AND ALL SOILS WILL BE CONSIDERED "MAN-MADE".
 4. SEEDING AND STABILIZATION IS TO BE PERFORMED AT THE DIRECTION OF THE SEDIMENT CONTROL INSPECTOR OR IN COMPLIANCE WITH THE STANDARD SEEDING AND STABILIZATION NOTES WHICHEVER IS MORE RESTRICTIVE.
 5. STANDARD SILT FENCE CAN BE CHANGED TO SUPER SILT FENCE AT THE DIRECTION OF THE SEDIMENT CONTROL INSPECTOR.
 6. WHEN SUPER SILT FENCE IS RUNNING AT A SLOPE GREATER THEN 5% FOR A DISTANCE OVER 50', CURL FENCE UP 2' FOR EVERY 2' OF ELEVATION CHANGE ALONG SILT FENCE.
 7. STOCKPILING WILL BE PERMITTED ON REAR OF LOT FOR VILLAS AND ON ADJACENT (MICHAEL HARRIS) LOT FOR COTTAGES.



THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

John R. Blanton 6/23/15
 HOWARD S.C.D. DATE

BUILDER'S CERTIFICATE

"I/WE CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A MARYLAND DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE USEP."

[Signature] 6/12/15
 SIGNATURE OF DEVELOPER/BUILDER DATE

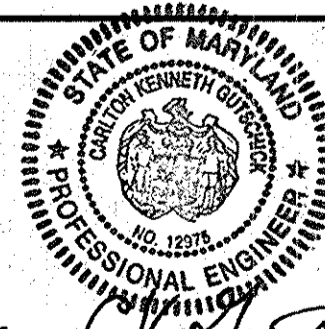
ENGINEER'S CERTIFICATE

"I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT."

[Signature] 6/15/15
 DATE

PROFESSIONAL CERTIFICATION

I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 12375, EXPIRATION DATE: MAY 26, 2016.

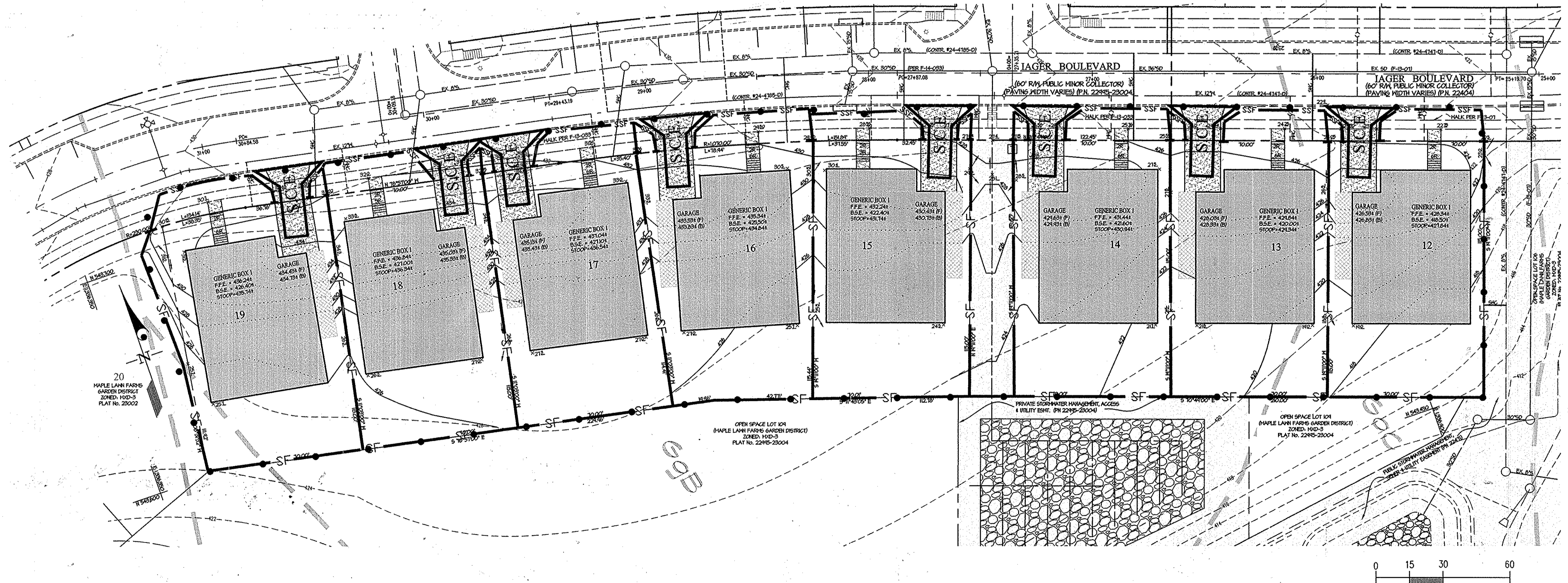


APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

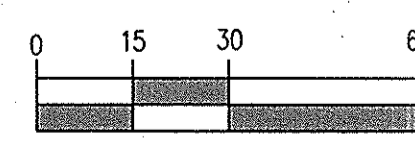
[Signature] 7-21-15
 Director Date

[Signature] 7-16-15
 Chief, Division of Land Development Date

[Signature] 7-8-15
 Chief, Development Engineering Division Date



THIS PLAN IS FOR SEDIMENT CONTROL PURPOSES ONLY



GLW GUTSCHICK LITTLE & WEBER, P.A.
 CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
 3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK
 BURTONSVILLE, MARYLAND 20866
 TEL: 301-421-4024 BAL: 410-880-1820 DC/VA: 301-989-2524 FAX: 301-421-4186

DATE	REVISION	BY	APPR.

PREPARED FOR:
 PROPERTY OWNER (SELLER):
 MAPLE LAWN FARMS 1, LLC
 1829 REISTERSTOWN ROAD, SUITE 300
 BALTIMORE, MD 21208
 PH: 410-484-8400
 ATTN: MARK BENNETT

BUILDER (CONTRACT PURCHASER):
 MICHAEL HARRIS HOMES INC.
 c/o Streetscope Partners, LLC
 1420 SPRING HILL ROAD, SUITE 550
 MCLEAN, VIRGINIA 22102
 PH: 703-848-1600
 ATTN: HOWARD KATZ

SEDIMENT CONTROL PLAN
MAPLE LAWN FARMS
GARDEN DISTRICT - AREA 1
 LOT Nos. 12-19, 63-66 and 72-76
 (SFD RESIDENTIAL USE)
 PLAT Nos. 22995-23004

ELECTION DISTRICT No. 5

SCALE	ZONING	G. L. W. FILE No.
1"=30'	MXD-3	14054
DATE	TAX MAP - GRID	SHEET
JUNE/2015	41-15&21	4 OF 7

B-4-2 STANDARD AND SPECIFICATIONS FOR SOIL PREPARATION, TOPSOILING, AND SOIL AMENDMENTS

DEFINITION: THE PROCESS OF PREPARING THE SOILS TO SUSTAIN ADEQUATE VEGETATIVE STABILIZATION. PURPOSE: TO PROVIDE A SUITABLE SOIL MEDIUM FOR VEGETATIVE GROWTH.

CRITERIA: WHERE VEGETATIVE STABILIZATION IS TO BE ESTABLISHED.

- A. SOIL PREPARATION
1. TEMPORARY STABILIZATION
a. SEEDING PREPARATION CONSISTS OF LOOSENING SOIL TO A DEPTH OF 3 TO 5 INCHES BY MEANS OF SUITABLE AGRICULTURAL OR CONSTRUCTION EQUIPMENT...
2. PERMANENT STABILIZATION
a. A SOIL TEST IS REQUIRED FOR ANY EARTH DISTURBANCE OF 5 ACRES OR MORE...

- B. TOPSOILING
1. TOPSOIL IS PLACED OVER PREPARED SUBSOIL PRIOR TO ESTABLISHMENT OF PERMANENT VEGETATION...
2. TOPSOIL SALVAGED FROM AN EXISTING SITE IS USED PROVIDED IT MEETS THE STANDARDS AS SET FORTH IN THESE SPECIFICATIONS...
3. TOPSOILING IS LIMITED TO AREAS HAVING 2:1 OR FLATTER SLOPES WHERE:
a. THE TEXTURE OF THE EXPOSED SUBSOIL/PARENT MATERIAL IS NOT ADEQUATE TO PRODUCE VEGETATIVE GROWTH...
4. AREAS HAVING SLOPES STEEPER THAN 2:1 REQUIRE SPECIAL CONSIDERATION AND DESIGN.

- C. SOIL AMENDMENTS (FERTILIZER AND LIME SPECIFICATIONS)
1. SOIL TESTS MUST BE PERFORMED TO DETERMINE THE EXACT RATIOS AND APPLICATION RATES FOR BOTH LIME AND FERTILIZER ON SITES HAVING DISTURBED AREAS OF 5 ACRES OR MORE...

B-4-3 STANDARDS AND SPECIFICATIONS FOR SEEDING AND MULCHING

DEFINITION: THE APPLICATION OF SEED AND MULCH TO ESTABLISH VEGETATIVE COVER. PURPOSE: TO PROTECT DISTURBED SOILS FROM EROSION DURING AND AT THE END OF CONSTRUCTION.

CRITERIA: TO THE SURFACE OF ALL PERIMETER CONTROLS, SLOPES, AND ANY DISTURBED AREA NOT UNDER ACTIVE GRADING.

- A. SEEDING
1. SPECIFICATIONS
a. ALL SEED MUST MEET THE REQUIREMENTS OF THE MARYLAND STATE SEED LAW...
2. APPLICATION
a. DRY SEEDING: THIS INCLUDES USE OF CONVENTIONAL DROP OR BROADCAST SPREADERS...
b. MULCHING
1. MULCH MATERIALS (IN ORDER OF PREFERENCE)
a. STRAW CONSISTING OF THOROUGHLY THRESHED WHEAT, RYE, OAT, OR BARLEY AND REASONABLY BRIGHT IN COLOR...

- 2. APPLICATION
a. APPLY MULCH TO ALL SEEDED AREAS IMMEDIATELY AFTER SEEDING...
3. ANCHORING
a. PERFORM MULCH ANCHORING IMMEDIATELY FOLLOWING APPLICATION OF MULCH TO MINIMIZE LOSS BY WIND OR WATER...
b. MULCH ANCHORING TOOL IS A TRACTOR DRAWN IMPLEMENT DESIGNED TO PUNCH AND ANCHOR MULCH INTO THE SOIL SURFACE...

B-4-4 STANDARDS AND SPECIFICATIONS FOR TEMPORARY STABILIZATION

DEFINITION: TO STABILIZE DISTURBED SOILS WITH VEGETATION FOR UP TO 6 MONTHS. PURPOSE: TO USE FAST GROWING VEGETATION THAT PROVIDES COVER ON DISTURBED SOILS.

CRITERIA: TO STABILIZE DISTURBED SOILS WITH VEGETATION FOR UP TO 6 MONTHS.

TEMPORARY SEEDING SUMMARY table with columns: HARDNESS ZONE, SEED MIXTURE, SPECIES, APPLICATION RATE, SEEDING DATES, SEEDING DEPTHS, FERTILIZER RATE, LIME RATE.

SEDIMENT CONTROL NOTES

- 1. A MINIMUM OF 48 HOURS NOTICE MUST BE GIVEN TO THE HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS...
2. ALL VEGETATION AND STRUCTURAL PRACTICES ARE TO BE INSTALLED ACCORDING TO THE PROVISIONS OF THIS PLAN AND ARE TO BE IN CONFORMANCE WITH THE MOST CURRENT CULTIVARS/CERTIFIED KENTUCKY BLUEGRASS SEEDING RATES...
3. FOLLOWING INITIAL SOIL DISTURBANCE OR RE-DISTURBANCE, PERMANENT OR TEMPORARY STABILIZATION SHALL BE COMPLETED WITHIN...
4. ALL DISTURBED AREAS MUST BE STABILIZED WITHIN THE TIME PERIOD SPECIFIED ABOVE...

STANDARDS AND SPECIFICATIONS FOR DUST CONTROL

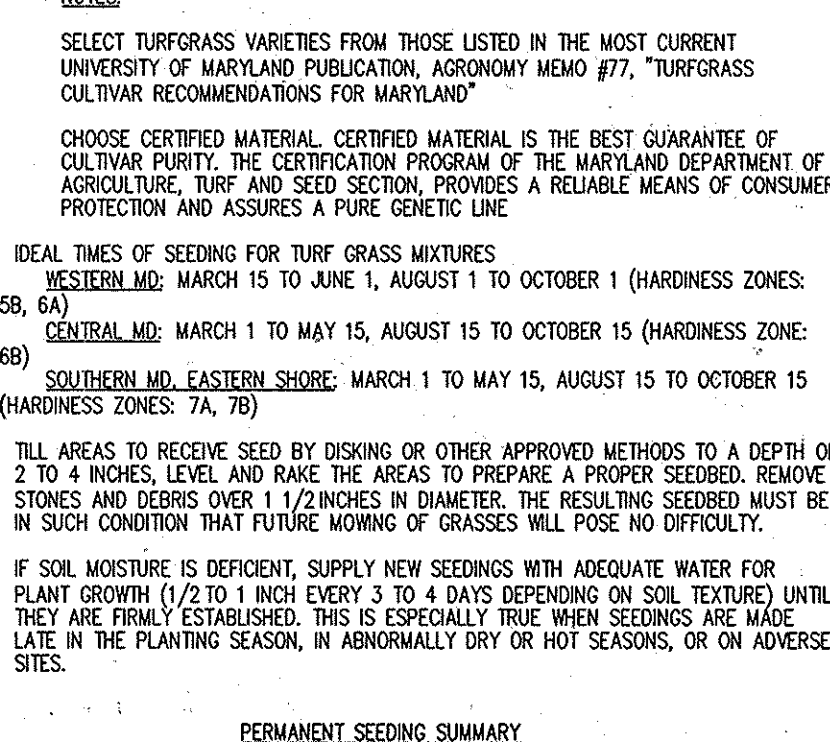
- 1. MULCHES: SEE SECTION B-4-2 SOIL PREPARATION, TOPSOILING, AND SOIL AMENDMENTS...
2. VEGETATIVE COVER: SEE SECTION B-4-3 SEEDING AND MULCHING...
3. IRRIGATION: SPRINKLE SITE WITH WATER UNTIL THE SURFACE IS MOST, REPEAT AS NEEDED...
4. BARRIERS: SOLID BOARD FENCES, SILT FENCES, SNOW FENCES, STRAW BALES, AND SIMILAR MATERIAL CAN BE USED TO CONTROL AIR CURRENTS AND SOIL BLOWING...

B-4-5 STANDARDS AND SPECIFICATIONS FOR PERMANENT STABILIZATION

DEFINITION: TO STABILIZE DISTURBED SOILS WITH PERMANENT VEGETATION. PURPOSE: TO USE LONG-LIVED PERENNIAL GRASSES AND LEGUMES TO ESTABLISH PERMANENT GROUND COVER ON DISTURBED SOILS.

CRITERIA: TO STABILIZE DISTURBED SOILS WITH PERMANENT VEGETATION.

- A. SEED MIXTURES
1. GENERAL USE
a. SELECT ONE OR MORE OF THE SPECIES OR MIXTURES LISTED IN TABLE B.5 FOR THE APPROPRIATE PLANT HARDNESS ZONE...
2. TURFGRASS MIXTURES
a. AREAS WHERE TURFGRASS MAY BE DESIRED INCLUDE LAWNS, PARKS, PLAYGROUNDS, AND COMMERCIAL SITES WHICH WILL RECEIVE A MEDIUM TO HIGH LEVEL OF MAINTENANCE...
3. PERMANENT SEEDING SUMMARY
a. *Certified Tall Fescue Blend (55% by weight) Fescue #1 Penn 1901 & Rebel Exotic and Certified Kentucky Bluegrass Blend (5% by weight) Courtyard, Raven & Yankee



PERMANENT SEEDING SUMMARY table with columns: HARDNESS ZONE, SEED MIXTURE, SPECIES, APPLICATION RATE, SEEDING DATES, SEEDING DEPTHS, FERTILIZER RATE, LIME RATE.

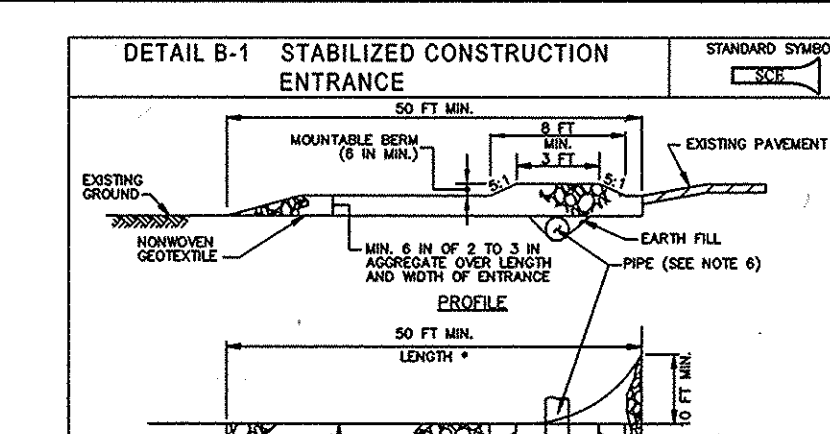
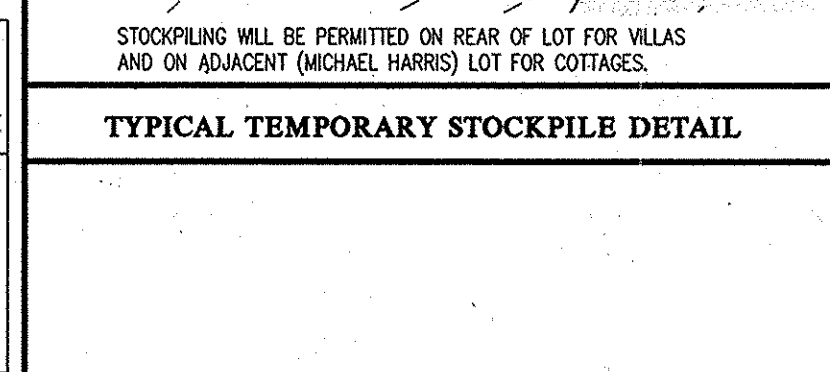
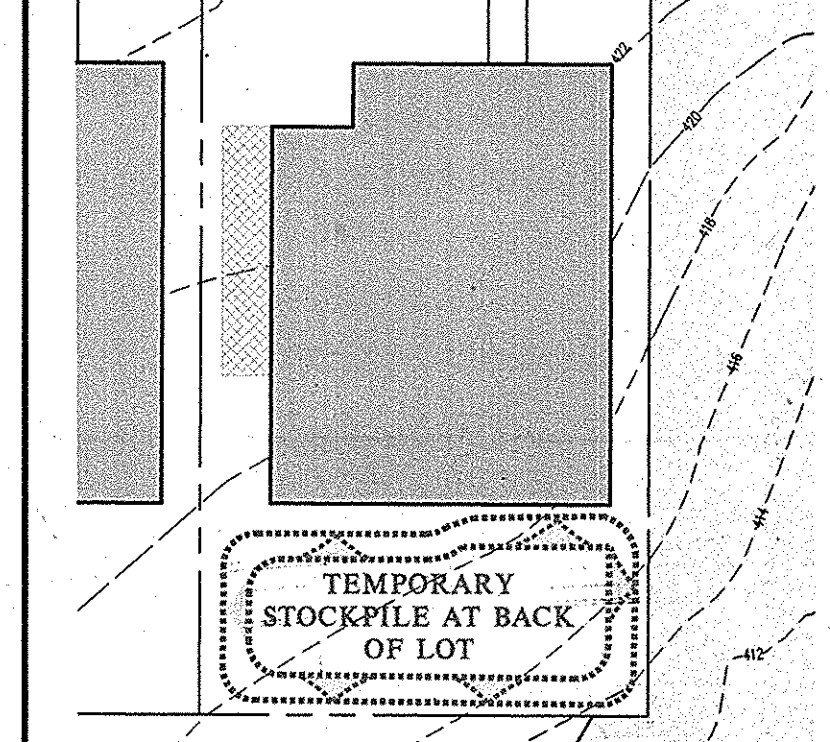
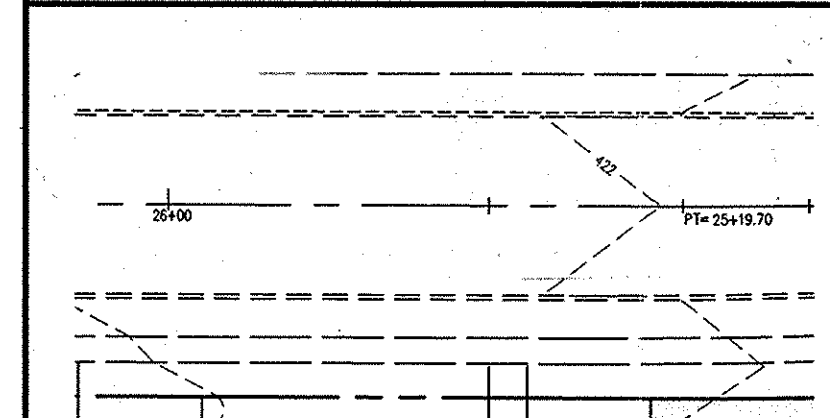
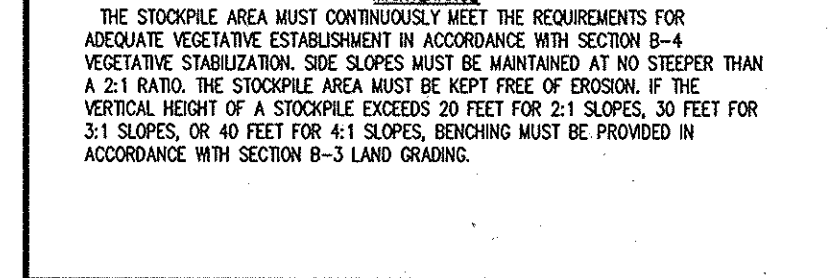
- B. SOOD: TO PROVIDE QUICK COVER ON DISTURBED AREAS (2:1 GRADE OR FLATTER).
1. GENERAL SPECIFICATIONS
a. CLASS OF TURFGRASS SOOD MUST BE MARYLAND STATE CERTIFIED...
2. SOOD INSTALLATION
a. DURING PERIODS OF EXCESSIVELY HIGH TEMPERATURE OR IN AREAS HAVING DRY SUBSOIL, LIGHTLY IRRIGATE THE SUBSOIL IMMEDIATELY PRIOR TO LAYING THE SOOD...

B-4-8 STANDARDS AND SPECIFICATIONS FOR STOCKPILE AREA

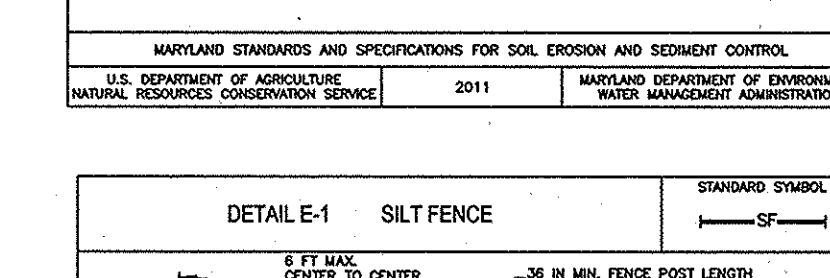
DEFINITION: A MOUND OR PILE OF SOIL PROTECTED BY APPROPRIATELY DESIGNED EROSION AND SEDIMENT CONTROL MEASURES. PURPOSE: TO PROVIDE A DESIGNATED LOCATION FOR THE TEMPORARY STORAGE OF SOIL THAT CONTROLS THE POTENTIAL FOR EROSION, SEDIMENTATION, AND CHANGES TO DRAINAGE PATTERNS.

CRITERIA: STOCKPILE AREAS ARE UTILIZED WHEN IT IS NECESSARY TO SALVAGE AND STORE SOIL FOR LATER USE.

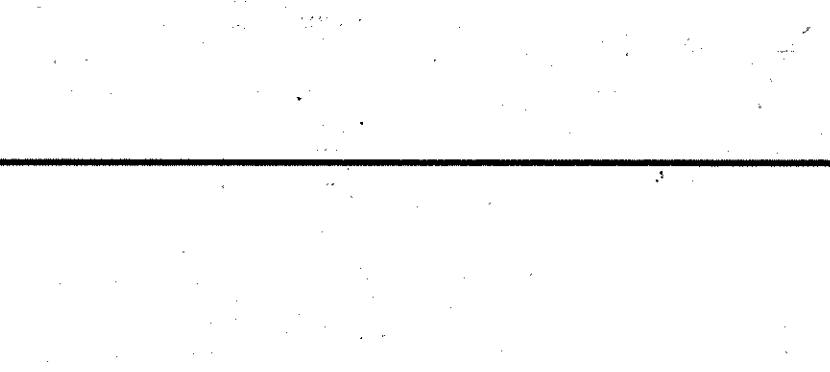
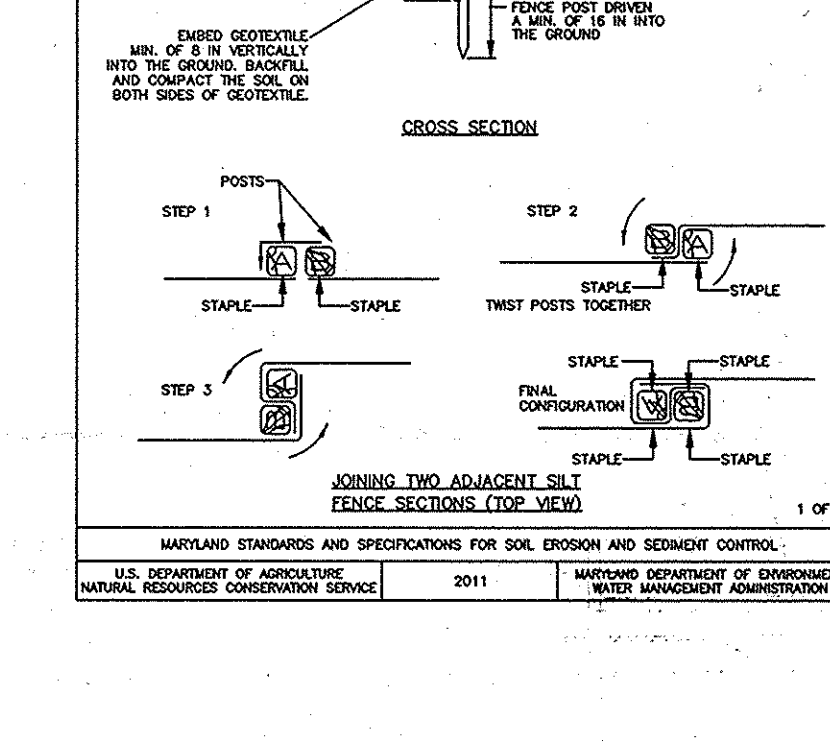
- 1. THE STOCKPILE LOCATION AND ALL RELATED SEDIMENT CONTROL PRACTICES MUST BE CLEARLY INDICATED ON THE EROSION AND SEDIMENT CONTROL PLAN...
2. THE FOOTPRINT OF THE STOCKPILE MUST BE SLOPED TO ACCOMMODATE THE ANTICIPATED RELEASE OF MATERIAL...
3. RUNOFF FROM THE STOCKPILE AREA MUST DRAIN TO A SATURABLE SEDIMENT CONTROL PRACTICE...
4. ACCESS TO THE STOCKPILE AREA FROM THE UPGRADE SIDE...
5. CLEAR WATER RUNOFF INTO THE STOCKPILE AREA MUST BE MINIMIZED BY USE OF A DIVERSION DITCH...
6. WHERE RUNOFF CONCENTRATES ALONG THE TOE OF THE STOCKPILE, AN APPROPRIATE EROSION/SEDIMENT CONTROL PRACTICE MUST BE USED TO INTERCEPT THE DISCHARGE...
7. STOCKPILES MUST BE STABILIZED IN ACCORDANCE WITH THE 3/4 DAY STABILIZATION REQUIREMENT AS WELL AS STANDARD B-4-1 INCIDENTAL STABILIZATION AND STANDARD B-4-4 TEMPORARY STABILIZATION...
8. IF THE STOCKPILE IS LOCATED ON AN IMPERVIOUS SURFACE, A LINER SHOULD BE PROVIDED BEHIND THE STOCKPILE TO FACILITATE CLEANER STOCKPILES CONTAINING CONTAMINATED MATERIAL MUST BE COVERED WITH IMPERMEABLE SHEETING...



- CONSTRUCTION SPECIFICATIONS
1. PLACE STABILIZED CONSTRUCTION ENTRANCE IN ACCORDANCE WITH THE APPROVED PLAN...
2. PLACE STABILIZED CONSTRUCTION ENTRANCE IN ACCORDANCE WITH THE APPROVED PLAN...
3. PLACE STABILIZED CONSTRUCTION ENTRANCE IN ACCORDANCE WITH THE APPROVED PLAN...
4. PLACE STABILIZED CONSTRUCTION ENTRANCE IN ACCORDANCE WITH THE APPROVED PLAN...
5. PLACE STABILIZED CONSTRUCTION ENTRANCE IN ACCORDANCE WITH THE APPROVED PLAN...
6. PLACE STABILIZED CONSTRUCTION ENTRANCE IN ACCORDANCE WITH THE APPROVED PLAN...
7. PLACE STABILIZED CONSTRUCTION ENTRANCE IN ACCORDANCE WITH THE APPROVED PLAN...
8. PLACE STABILIZED CONSTRUCTION ENTRANCE IN ACCORDANCE WITH THE APPROVED PLAN...



- CONSTRUCTION SPECIFICATIONS
1. INSTALL 36 IN DIAMETER GALVANIZED STEEL POSTS OF 6000 BUSH WALL THICKNESS AND 60 FOOT LENGTH SPACED NO FURTHER THAN 10 FEET APART...
2. FASTEN 8 GAUGE OR HEAVIER GALVANIZED CHAIN LINK FENCE (24 IN MAXIMUM OPENING) 42 INCHES IN HEIGHT SECURELY TO THE GALVANIZED POSTS WITH WIRE TIES OR 1/2 INCH RODS...
3. FASTEN 2 INCHES OF HEAVY GALVANIZED CHAIN LINK FENCE (24 IN MAXIMUM OPENING) 42 INCHES IN HEIGHT SECURELY TO THE GALVANIZED POSTS WITH WIRE TIES OR 1/2 INCH RODS...
4. WHERE ENDS OF THE GEOTEXTILE COME TOGETHER, THE ENDS SHALL BE OVERLAPPED BY 6 INCHES, FOLDED, AND STAPLED TO PREVENT SEPARATION BY PAGES...
5. EXTEND BOTH ENDS OF THE SILT FENCE A MINIMUM OF 10 HORIZONTAL FEET UPSTREAM AT AN ANGLE TO THE MAIN FENCE ALIGNMENT TO PREVENT RUNOFF FROM GOING AROUND THE ENDS OF THE SILT FENCE...
6. PROVIDE MANUFACTURER CERTIFICATION TO THE INSPECTION/ENFORCEMENT AUTHORITY SHOWING THAT GEOTEXTILE MEETS THE REQUIREMENTS IN SECTION H-1 MATERIALS...
7. REMOVE EXCESSIVE SEDIMENT AND DEBRIS WHICH BUILDS UP ON THE FENCE OR WHICH SEDIMENT REACHES SIZE OF FENCE HEIGHT. REPLACE GEOTEXTILE IF TORN, IF UNDESIRABLE OCCURS, REINSTALL CHAIN LINK FENCE OVER GEOTEXTILE PRACTICE.



APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING. Signature: [Name], Date: 7-21-15.

PROFESSIONAL CERTIFICATION. I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 12976. EXPIRATION DATE: MAY 26, 2016.

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD COUNTY CONSERVATION DISTRICT. Signature: [Name], Date: 6/23/15.

ENGINEER'S CERTIFICATE. I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD COUNTY CONSERVATION DISTRICT. Signature: [Name], Date: 6/15/15.

BUILDER'S CERTIFICATE. I/WE CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A MARYLAND DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD COUNTY CONSERVATION DISTRICT. Signature: [Name], Date: 6/12/15.

GLWGUTSCHICK LITTLE & WEBER, P.A. CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS. 3009 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK, BURTONSVILLE, MARYLAND 20866. TEL: 301-421-4024 FAX: 301-421-4188.

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING. Signature: [Name], Date: 7-21-15.

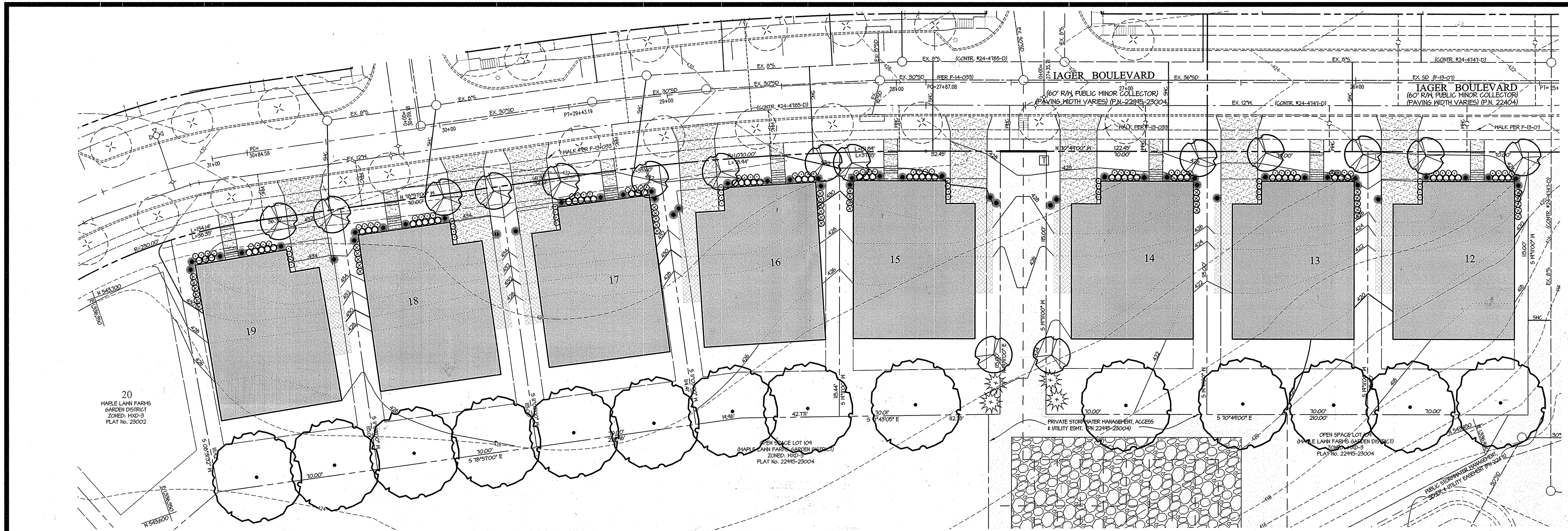
PREPARED FOR: PROPERTY OWNER (SELLER): MAPLE LAWN FARMS I, LLC. 1829 REISTERSTOWN ROAD, SUITE 300, BAITINGHOUSE, MD 21028. PH: 410-484-8400. ATTN: MARK BENNETT.

SEDIMENT CONTROL NOTES and DETAILS. SCALE: 1"=20'. ZONING: MXD-3. G. L. W. FILE NO.: 14054. DATE: JUNE/2015. TAX MAP - GRID: 41-15&21. SHEET: 5 OF 7.

MAPLE LAWN FARMS GARDEN DISTRICT - AREA 1. LOT No. 12-19, 63-66 and 72-76 (SFD RESIDENTIAL USE). PLAT Nos. 22995-23004. HOWARD COUNTY, MARYLAND.

SEDIMENT CONTROL NOTES and DETAILS. SCALE: 1"=20'. ZONING: MXD-3. G. L. W. FILE NO.: 14054. DATE: JUNE/2015. TAX MAP - GRID: 41-15&21. SHEET: 5 OF 7.

SEDIMENT CONTROL NOTES and DETAILS. SCALE: 1"=20'. ZONING: MXD-3. G. L. W. FILE NO.: 14054. DATE: JUNE/2015. TAX MAP - GRID: 41-15&21. SHEET: 5 OF 7.



LANDSCAPE NOTES

- THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH SECTION 16.124 OF THE HOWARD COUNTY CODE & CHAPTER VI OF THE HOWARD COUNTY LANDSCAPE MANUAL (ALTERNATIVE COMPLIANCE) PLUS THE LANDSCAPE DESIGN CRITERIA OF 5-06-16 AND PB CASE No. 978.
- CONTRACTOR SHALL NOTIFY ALL UTILITIES AT LEAST (5) FIVE DAYS BEFORE STARTING WORK. ALL GENERAL NOTES, ESPECIALLY THOSE REGARDING UTILITIES, ON SHEET No.1 SHALL APPLY.
- FIELD VERIFY UNDERGROUND UTILITY LOCATIONS AND EXISTING CONDITIONS BEFORE STARTING PLANTING WORK. CONTACT CONSTRUCTION MANAGER OR OWNER IF ANY RELOCATIONS ARE REQUIRED.
- PLANT QUANTITIES SHOWN ON THE PLANT LIST ARE PROVIDED FOR THE CONVENIENCE OF THE CONTRACTOR ONLY. IF DISCREPANCIES EXIST BETWEEN QUANTITIES SHOWN ON THE PLAN AND THOSE SHOWN ON THE PLANT LIST, THE QUANTITIES ON THE PLAN SHALL TAKE PRECEDENCE.
- ALL PLANT MATERIAL SHALL BE FULL, HEAVY, WELL FORMED, SYMMETRICAL, AND CONFORM TO THE A.A.N. SPECIFICATIONS. ALL PLANT MATERIAL SHALL BE INSTALLED IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS AND THIS PLAN.
- NO SUBSTITUTION SHALL BE MADE WITHOUT PRIOR APPROVAL FROM HOWARD COUNTY DPZ AND THE OWNER OR HIS REPRESENTATIVE.
- ALL AREAS DISTURBED BY CONSTRUCTION ACTIVITIES BUT NOT OTHERWISE PLANTED, PAVED, OR MULCHED SHALL BE SODDERED OR SEEDED IN ACCORDANCE WITH THE PERMANENT SEEDING SPECIFICATION. A MINIMUM OF 4" OF TOPSOIL SHALL BE PROVIDED TO ALL PLANTING AREAS (FOR TOPSOIL SPEC. SEE SHEET 5).
- THE CONTRACTOR SHALL NOTIFY THE OWNER IN WRITING IF HE/SHE ENCOUNTERS SOIL DRAINAGE CONDITIONS THAT MAY BE DETRIMENTAL TO THE GROWTH OF THE PLANTS.
- ALL EXPOSED EARTH WITHIN THE LIMITS OF PLANTING BEDS SHALL BE MULCHED WITH SHREDDED HARDWOOD MULCH PER THE PLANTING DETAILS.
- DO NOT PLANT WITHIN THE PUBLIC WATER, SEWER AND UTILITY EASEMENT.
- "SCHEDULE-C" IS PROVIDED FOR LANDSCAPE SURETY CALCULATION PURPOSES. FINANCIAL SURETY FOR THE REQUIRED LANDSCAPING SHALL BE POSTED WITH THE GRADING PERMIT FOR HOUSE CONSTRUCTION IN THE AMOUNT OF \$ 200,000 FOR THE LOTS PER THIS SDP AS FOLLOWS:
 431 SHRUBS AT \$300/SHRUB = \$ 129,300.00
 25 TREES AT \$6000/TREE = \$ 150,000.00

FOR LANDSCAPE INSPECTION TO OBTAIN THE RELEASE OF THE SURETY, CONTACT HOWARD COUNTY DEPT. OF PLANNING & ZONING AT 410-315-2350. SEE THE CHART BELOW THIS SHEET FOR THE BREAK DOWN OF THE SURETY ON A PER LOT BASIS.

NOTES:
 1. AT THE TIME OF PLANT INSTALLATION, ALL SHRUBS AND TREES LISTED AND APPROVED ON THE LANDSCAPE PLAN SHALL COMPLY WITH THE PROPER HEIGHT REQUIREMENT IN ACCORDANCE WITH THE HOWARD COUNTY LANDSCAPE MANUAL. IN ADDITION, NO SUBSTITUTIONS OR RELOCATIONS OF THE REQUIRED PLANTINGS MAY BE MADE WITHOUT PRIOR REVIEW AND APPROVAL FROM THE DEPARTMENT OF PLANNING AND ZONING. ANY DEVIATION FROM THE APPROVED LANDSCAPE PLAN MAY RESULT IN DENIAL IN THE RELEASE OF LANDSCAPE SURETY UNTIL SUCH TIME AS ALL REQUIRED MATERIALS ARE PLANTED AND/OR REVISIONS ARE MADE TO THE APPLICABLE PLANS.

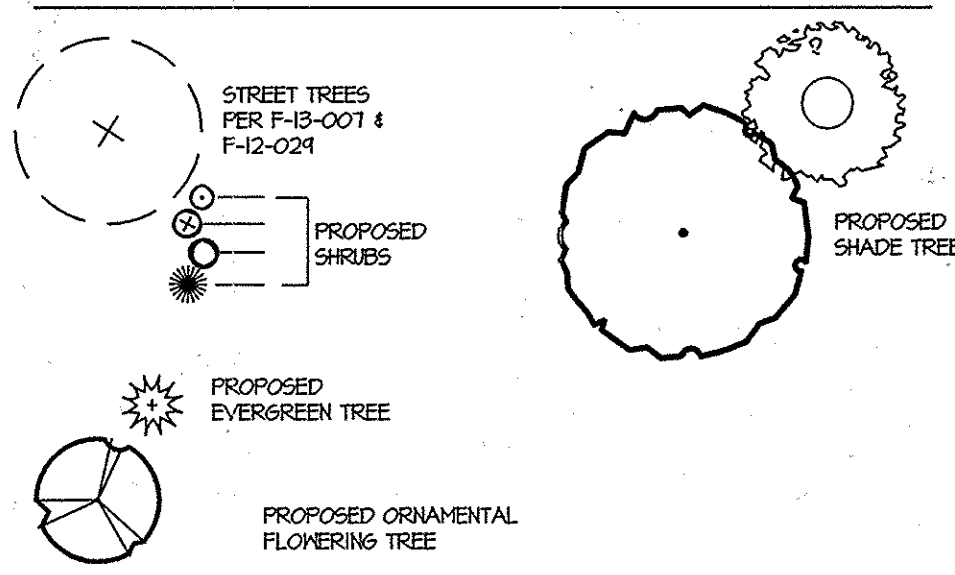
- THE OWNER, TENANTS AND/OR THEIR AGENTS SHALL BE RESPONSIBLE FOR MAINTENANCE OF THE REQUIRED LANDSCAPING INCLUDING BOTH PLANT MATERIALS AND BERRYS, FENCES AND WALLS. ALL PLANT MATERIALS SHALL BE MAINTAINED IN GOOD GROWING CONDITION AND WHEN NECESSARY, REPLACED WITH NEW MATERIAL TO ENSURE CONTINUED COMPLIANCE WITH APPLICABLE REGULATIONS. ALL OTHER REQUIRED LANDSCAPING SHALL BE PERMANENTLY MAINTAINED IN GOOD CONDITION, AND WHEN NECESSARY, REPAIRED OR REPLACED.

RESIDENTIAL LOT INTERNAL LANDSCAPING REQUIREMENTS (SCHEDULE-C)

LOT	REQUIRED FRONT YARD PLANTINGS: SHRUBS AT 1/4 OF LOT WIDTH AT B/L			REQUIRED SIDE & REAR YARD PLANTINGS: VILLA LOTS: 2 SHADE TREES PER LOT PLUS SHRUBS AT 1/4 OF SIDE & REAR BLDG. LENGTHS COTTAGE LOTS: 1 SHADE TREE PER LOT, NO SHRUBS REQUIRED			PLANTINGS PROVIDED		
	TYPE	NO.	LOT WIDTH	BLDG. LENGTH(S)	SHD. TREES REQUIRED	SHRUBS REQUIRED	SHD. TREE	SHRUBS	OTHERS (AS SUBSTITUTIONS)
VILLAS	12	10.0'	18	(91.96/63.33) 43.24'	2	25	2	31	2 ORNAMENTALS FOR 10 SHRUBS
	13	10.0'	18	(91.96/63.33) 43.24'	2	25	2	31	2 ORNAMENTALS FOR 10 SHRUBS
	14	10.0'	18	(91.96/63.33) 43.24'	2	25	1	31	2 ORNAMENTALS FOR 10 SHRUBS; 2 EVERGREENS FOR 1 SHADE TREE
	15	10.0'	18	(91.96/63.33) 43.24'	2	25	1	31	2 ORNAMENTALS FOR 10 SHRUBS; 2 EVERGREENS FOR 1 SHADE TREE
	16	18.44'	20	(91.96/63.33) 43.24'	2	25	2	33	2 ORNAMENTALS FOR 10 SHRUBS
	17	10.01'	18	(91.96/63.33) 43.24'	2	25	2	31	2 ORNAMENTALS FOR 10 SHRUBS
COTTAGE	18	10.0'	18	(91.96/63.33) 43.24'	2	25	2	31	2 ORNAMENTALS FOR 10 SHRUBS
	19	10.0'	18	(91.96/63.33) 43.24'	2	25	2	31	2 ORNAMENTALS FOR 10 SHRUBS
	20	10.0'	18	(91.96/63.33) 43.24'	2	25	2	31	2 ORNAMENTALS FOR 10 SHRUBS
	21	10.0'	18	(91.96/63.33) 43.24'	2	25	2	31	2 ORNAMENTALS FOR 10 SHRUBS
	22	40.0'	10	N/A	1	N/A	1	10	
	23	40.0'	10	N/A	1	N/A	1	10	
	24	40.0'	10	N/A	1	N/A	1	10	
	25	40.0'	10	N/A	1	N/A	1	10	

- COMMENTS:
 A. SUBSTITUTION FOR DIFFERENT TYPE OF PLANT MATERIALS ARE AS FOLLOWS:
 1 SHADE TREE = 2 ORNAMENTALS OR EVERGREEN TREES = 10 SHRUBS; 5 SHRUBS = 1 ORNAMENTAL OR EVERGREEN TREE
 B. PLANT MATERIALS HAVE BEEN RELOCATED TO A DIFFERENT YARD WITHIN THE SAME LOT FOR SPATIAL DESIGN PURPOSES.
 C. PLANT QUANTITIES FROM SCHEDULE-A ARE INCLUDED AND ACCOUNTED WITH SCHEDULE-C PROPOSED PLANT QUANTITIES TO SIMPLIFY SUBSTITUTIONS.

LEGEND



LANDSCAPE SURETY PER LOT

BUILDER	LOT No.	PLANT QUANTITY		SURETY AMOUNT
		SHADE TREE	SHRUBS	
MICHAEL HARRIS	12	2	41	\$1,830.00
	13	2	41	\$1,830.00
	14	2	41	\$1,830.00
	15	2	41	\$1,830.00
	16	2	43	\$1,840.00
	17	2	41	\$1,830.00
	18	2	41	\$1,830.00
	19	2	42	\$1,860.00
	20	1	10	\$ 600.00
	21	1	10	\$ 600.00
	22	1	10	\$ 600.00
	23	1	10	\$ 600.00
	24	1	10	\$ 600.00
	25	1	10	\$ 600.00
	26	1	10	\$ 600.00
	TOTAL		25	421

STATE OF MARYLAND
 MICHAEL HARRIS
 933 LA LANDSCAPE ARCHITECT
 6/15/15

DEVELOPER'S/BUILDER'S CERTIFICATE
 I/WE CERTIFY THAT THE LANDSCAPING SHOWN ON THIS PLAN WILL BE DONE ACCORDING TO THE PLAN, SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE HOWARD COUNTY LANDSCAPE MANUAL AND THE HLF LANDSCAPE DESIGN CRITERIA. I/WE FURTHER CERTIFY THAT UPON COMPLETION A LETTER OF LANDSCAPE INSTALLATION, ACCOMPANIED BY AN EXECUTED ONE YEAR GUARANTEE OF PLANT MATERIALS, WILL BE SUBMITTED TO THE DEPARTMENT OF PLANNING AND ZONING.

SIGNATURE OF DEVELOPER/BUILDER: *[Signature]* DATE: 6/12/15

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
 Director: *[Signature]* 7-21-15
 Chief, Division of Land Development: *[Signature]* 7-16-15
 Chief, Development Engineering Division: *[Signature]* 7-9-15

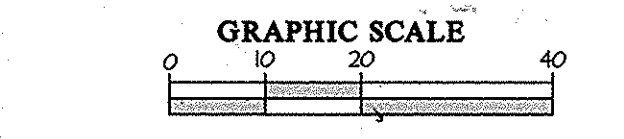
GLWGUTSCHICK LITTLE & WEBER, P.A.
 CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
 3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK
 BURTONSVILLE, MARYLAND 20866
 TEL: 301-421-4024 BALT: 410-880-1820 DC/VA: 301-988-2524 FAX: 301-421-4188

PREPARED FOR:
 PROPERTY OWNER (SELLER):
 MAPLE LAWN FARMS 1, LLC
 1829 REISTERSTOWN ROAD, SUITE 300
 BALTIMORE, MD 21208
 PH: 410-484-8400
 ATTN: MARK BENNETT

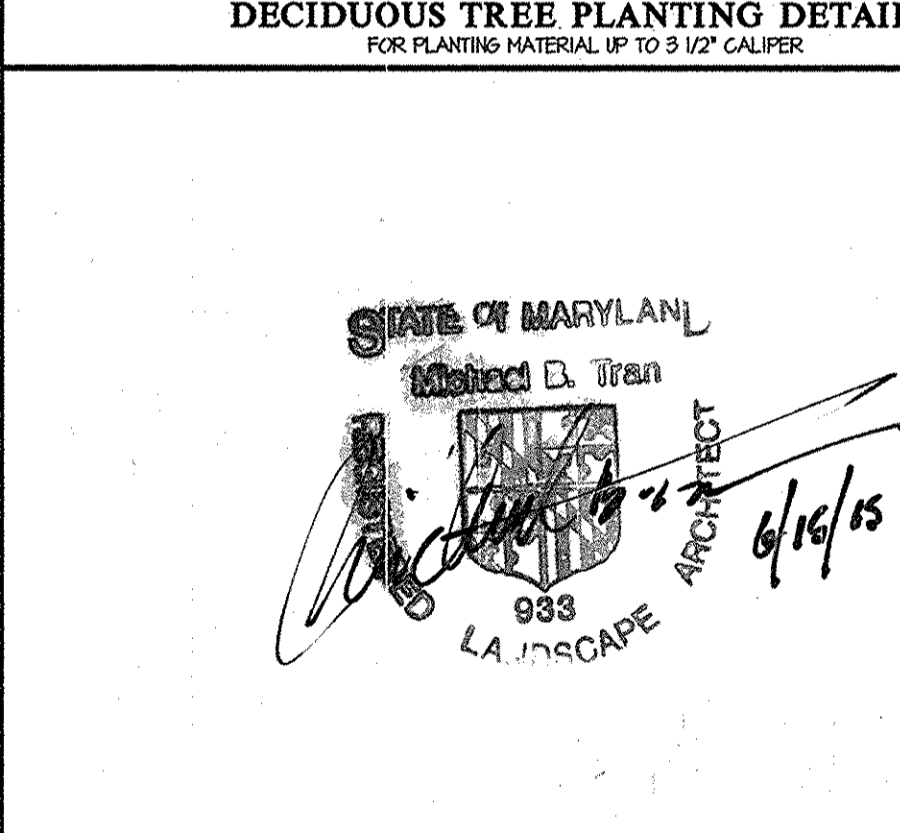
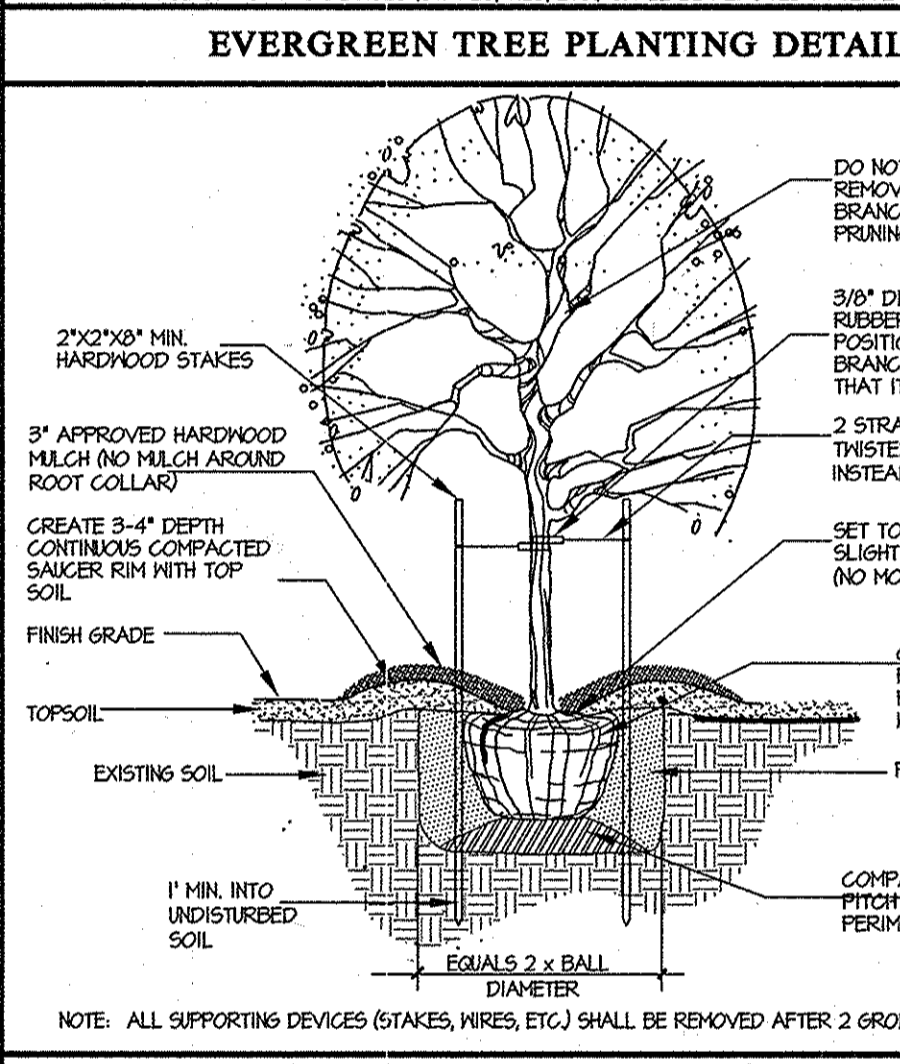
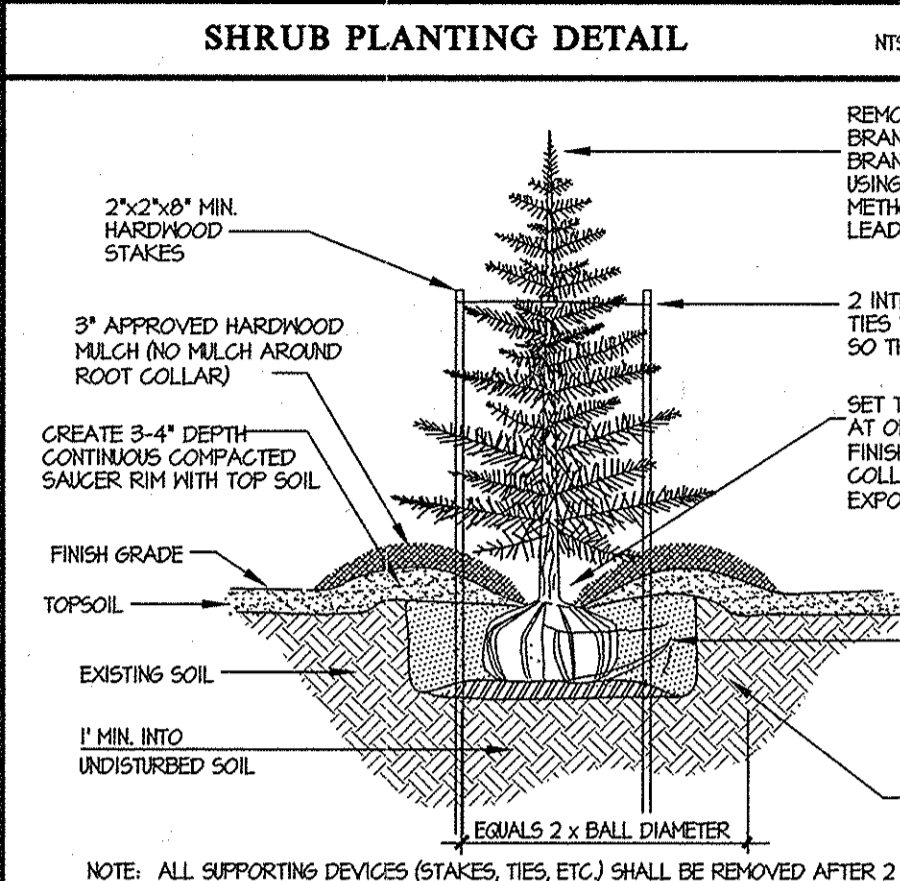
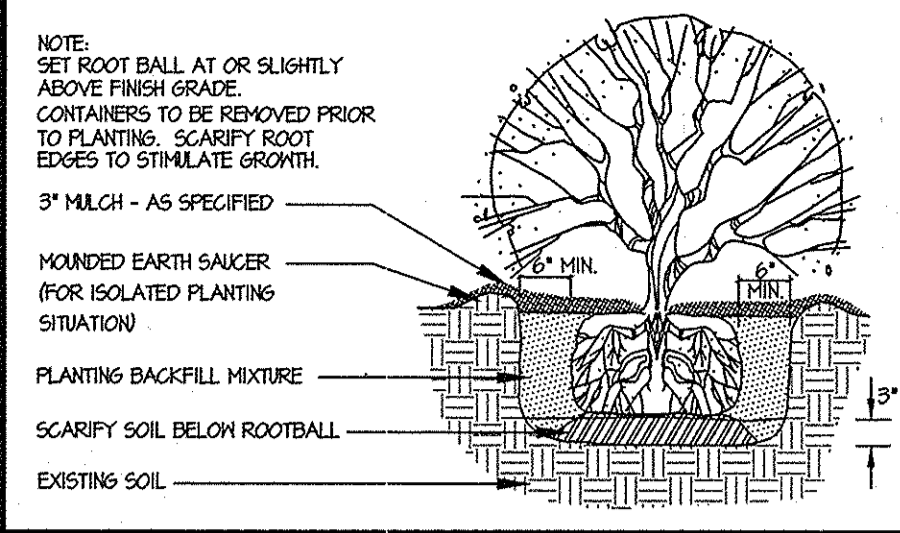
BUILDER (CONTRACT PURCHASER):
 MICHAEL HARRIS HOMES INC.
 c/o Streetscape Partners, LLC
 1420 SPRING HILL ROAD, SUITE 550
 MCLEAN, VIRGINIA 22102
 PH: 703-848-1600
 ATTN: HOWARD KATZ

THIS PLAN IS FOR PLANTING PURPOSES ONLY

LANDSCAPE PLAN
MAPLE LAWN FARMS
 GARDEN DISTRICT - AREA 1
 LOT Nos. 12-19, 63-66 and 72-76
 (SFD RESIDENTIAL USE)
 PLAT Nos. 22995-23004



SCALE	ZONING	G. L. W. FILE No.
1"=20'	MXD-3	14054
DATE	TAX MAP - GRID	SHEET
JUNE/2015	41-15&21	6 OF 7



STATE OF MARYLAND
 District 3
 LA LANDSCAPE ARCHITECT
 933
 6/16/15

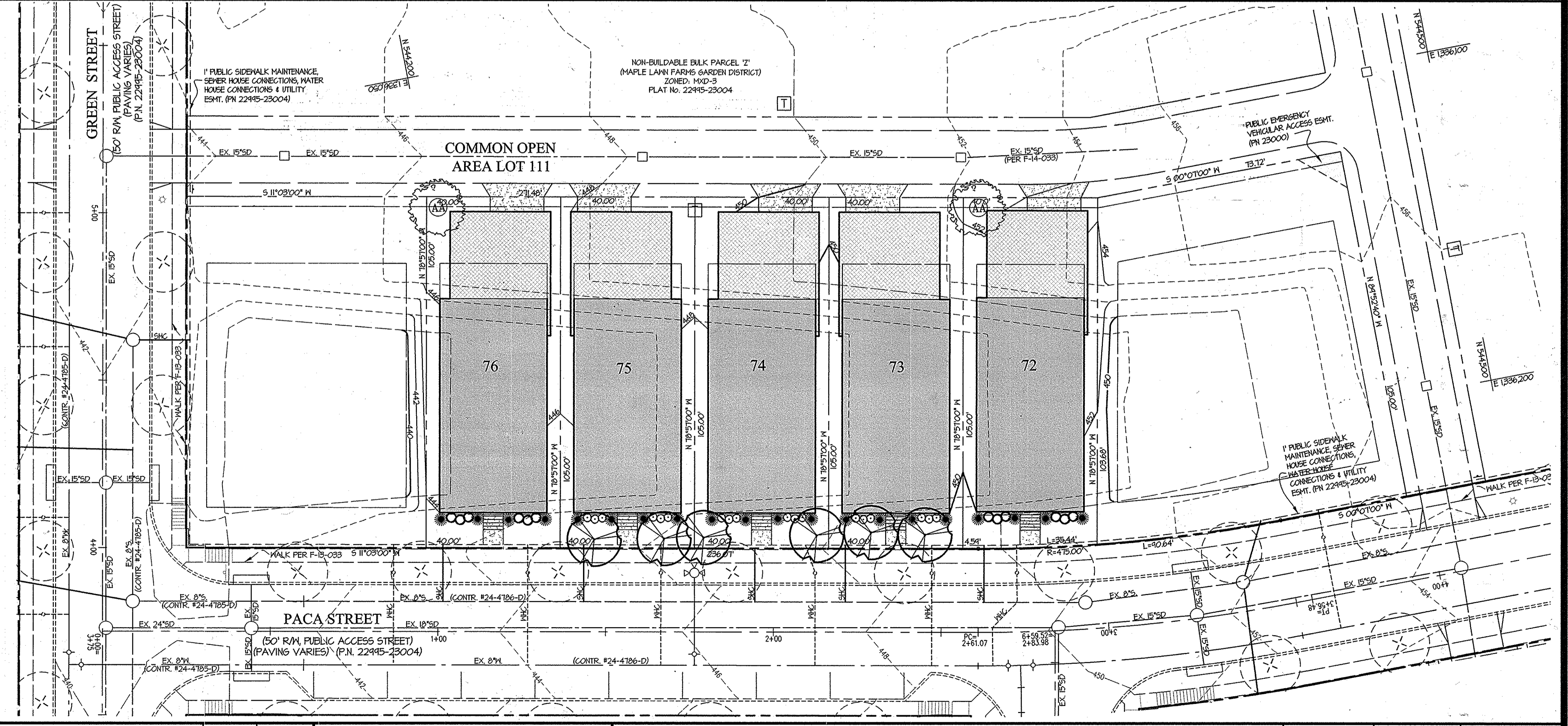
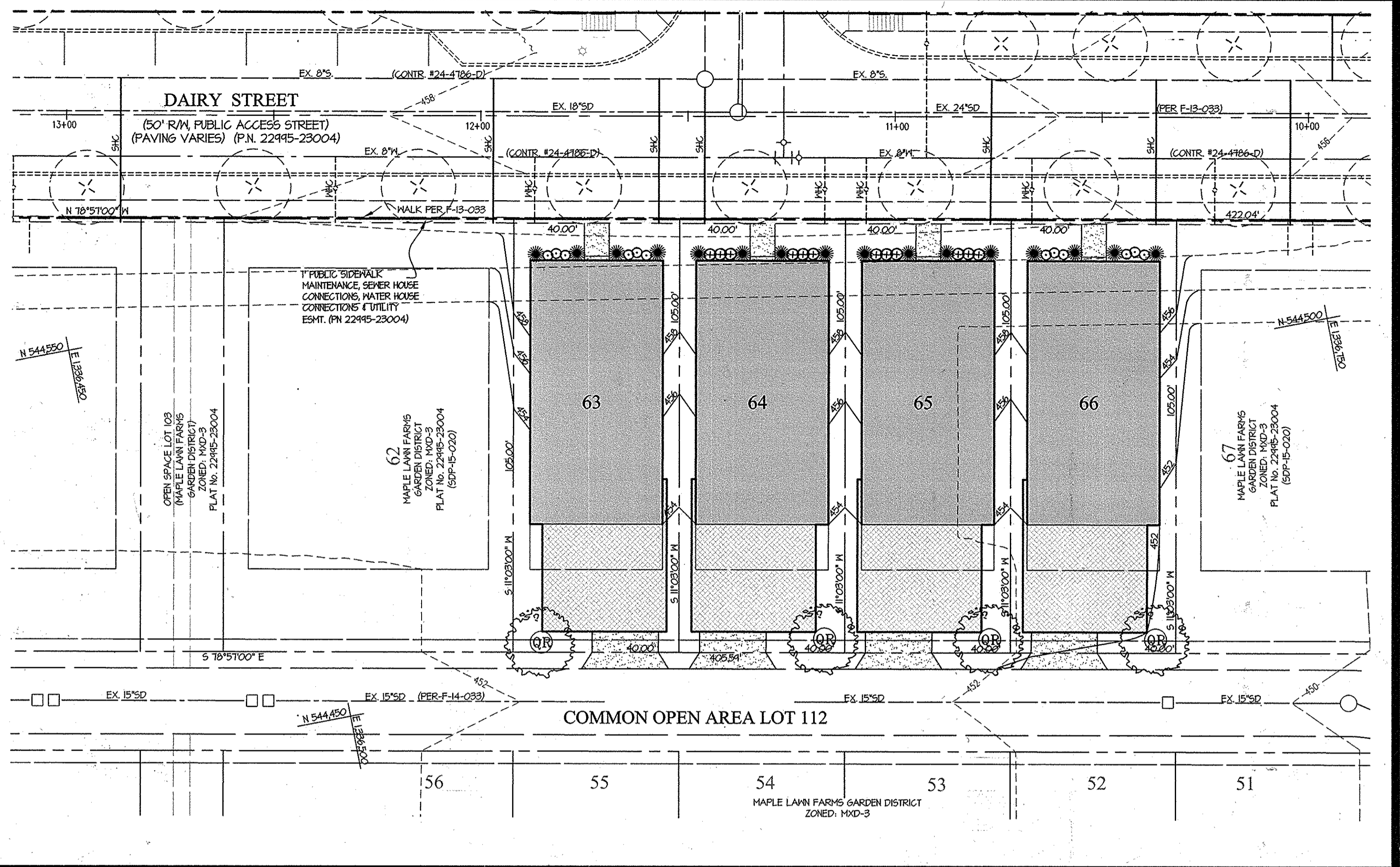
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SIGNATURE OF DEVELOPER/BUILDER: [Signature] DATE: 6/12/15

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
 Director: [Signature] 7-21-15
 Chief, Division of Land Development: [Signature] 7-16-15
 Chief, Development Engineering Division: [Signature] 7-8-15

PLANT LIST				
SYMBOL	QUANT.	SIZE	NAME (BOTANICAL/COMMON) OF PLANTS FOR SELECTION BY OWNER/BUYER	COMMENTS
14	ALL SHADE TREES SHALL BE 25'-3" CAL. AND 12' MIN. HT.		SOPHORA JAPONICA/JAPANESE PASODA TREE QUERCUS RUBRA / NORTHERN RED OAK QUERCUS PHELLOS / HILLTOP OAK TILIA CORDATA / GREENSPICE / GREENSPICE LITTLELEAF LINDEN ZELKOVA SERRATA / GREEN VASE / GREEN VASE ZELKOVA ZELKOVA SERRATA / VILLAGE GREEN / VILLAGE GREEN ZELKOVA	ALL B4B
2			ACER X FREEMANI 'ARMSTRONGS' / ARMSTRONGS MAPLE QUERCUS ROBUR X Q. ALBA 'CRIMSCHMIDT' / CRIMSON SPIRE OAK	ALL B4B
22			AMELANCHER CANADENSIS / SHADBLOW SERVICEBERRY GRATIASIA VIRIDIS / WINTER KING / WINTER KING HANDBORNE CERCIS CANADENSIS / EASTERN REDBUD MAGNOLIA SOULANGIANA / SAUCER MAGNOLIA MAGNOLIA STELLATA / STAR MAGNOLIA BETULA NIGRA / RIVER BIRCH LAGERSTROEMIA INDICA / CRAFT MYRTLE 'TONTO'	ALL B4B. SERVICEBERRY SHALL BE TREE FORM
4			ALL EVERGREEN TREES SHALL BE 6'-8" HT.	ALL B4B. INTACT LEADER
126			ALL 18" - 24" SPREAD	ALL CONTAINERIZED
52			ALL 24" - 30" SPREAD	ALL CONTAINERIZED
16			ALL 24" - 30" SPREAD & 25' - 3' HT.	ALL CONTAINERIZED
87			ALL 3' - 4" HT.	ALL CONTAINERIZED

THIS PLAN IS FOR PLANTING PURPOSES ONLY



GLWGUTSCHICK LITTLE & WEBER, P.A.
 CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
 3809 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK
 BURTONSVILLE, MARYLAND 20886
 TEL: 301-421-4024 BAL: 410-880-1820 DC/VA: 301-989-2524 FAX: 301-421-4186

DATE	REVISION	BY	APP'R.

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 1829 REISTERSTOWN ROAD, SUITE 300
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LANDSCAPE PLAN
MAPLE LAWN FARMS
 GARDEN DISTRICT - AREA 1
 LOT Nos. 12, 19, 63, 66 and 72-76
 (SFD RESIDENTIAL USE)
 PLAT Nos. 22995-23004

ELECTION DISTRICT No. 5

SCALE	ZONING	G. L. W. FILE No.
1"=20'	MXD-3	14054
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JUNE/2015	41-15&21	7 OF 7