

GENERAL NOTES

- 1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF HOWARD COUNTY PLUS MEHA STANDARDS AND SPECIFICATIONS IF APPLICABLE.
2. THE CONTRACTOR SHALL NOTIFY THE BUREAU OF ENGINEERING/CONSTRUCTION INSPECTION DIVISION AT (410) 313-1800 AT LEAST FIVE (5) WORKING DAYS PRIOR TO THE START OF WORK.
3. THE CONTRACTOR SHALL NOTIFY "M&S UTILITY" AT 1-800-251-TITTI AT LEAST 48-HOURS PRIOR TO ANY EXCAVATION WORK.
4. PROJECT BACKGROUND: LOCATION: SEE VICINITY MAP IN THE TOP RIGHT CORNER OF THIS SHEET
TAX MAP: 4 ELECTION DISTRICT: 5
ZONING: MXD-3 PER ZB-495M (APPROVED ON 02-09-01), UNDERLYING ZONING IS RR-DEO AND PER THE 2/02/04 COMPREHENSIVE ZONING PLAN.
AREA OF BUILDABLE LOTS (20-24, 28-30, 32, 45-49) FOR THIS SITE DEVELOPMENT PLAN: 4.214 ACRES.
FOR OTHER SUBMISSIONS RELATED TO THIS SITE SEE HOWARD COUNTY DEPT. OF PLANNING & ZONING FILE Nos.: 5-01-11, ZB-495M, PB-353, W-01-11, KP-03-02, P-03-01, P-03-40, P-04-01, P-05-02, F-04-42, S-06-10, P-01-02, ZB-1039M, PB-310, F-12-30, P-11-002, P-12-001, F-12-020, F-12-021, F-13-007, F-14-033, SDP-15-010, SDP-15-020 & SDP-15-034.
5. TRAFFIC CONTROL DEVICES, MARKINGS, AND SIGNAGE SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD). ALL STREET AND REGULATORY SIGNS SHALL BE IN PLACE PRIOR TO THE PLACEMENT OF ANY ASPHALT.
6. ALL PLAN DIMENSIONS ARE TO THE FACE OF CURB OR FACE OF BUILDING UNLESS OTHERWISE NOTED. DIMENSIONS ARE MEASURED PERPENDICULAR OR RADIIALLY BETWEEN ITEMS UNLESS OTHERWISE NOTED.
7. EXISTING TOPOGRAPHY AND FEATURES COMPILED FROM F-13-008 AND F-14-033.
8. COORDINATES ARE BASED ON NAD83 MARYLAND COORDINATE SYSTEM AS PROJECTED BY HOWARD COUNTY GEODETIC CONTROL STATION NUMBERS 41EA & 46B2.
9. STORMWATER MANAGEMENT: FOR BOTH QUALITY AND QUANTITY, FOR THE INFRASTRUCTURE AND RESIDENTIAL LOTS WILL BE SATISFIED BY TWO REGIONAL FACILITIES CONSTRUCTED UNDER 02-09-01. THE FACILITIES WILL BE P-3 POND WITH EXTENDED DETENTION. THEY WILL BE PUBLICLY OWNED WITH JOINT MAINTENANCE. THE TWO P-3 POND WILL SERVE AS SEDIMENT BASINS FOR THE GRADINGS SHOWN BEFORE BEING CONVERTED. THE RECHARGE REQUIREMENTS FOR THIS AREA WILL BE PROVIDED IN PRIVATELY OWNED AND MAINTAINED FACILITIES TO BE LOCATED WITHIN OPEN SPACE LOTS 10A AND 11D. OPEN SPACE LOTS 10A AND 11D WILL BE CONVEYED TO THE HOMEOWNERS ASSOCIATION. THE FACILITIES WILL BE CONSTRUCTED WITH THESE FINAL ROAD PLANS.
10. PUBLIC WATER AND SEWER SHALL BE UTILIZED (AS PROVIDED BY M&S CONTRACT #24-4785-D & 24-4786-D) AND THE WATER METERS IN OUTSIDE VAULTS.
11. THE EXISTING UTILITIES SHOWN HEREIN WERE DERIVED FROM AVAILABLE PUBLIC RECORDS. THE CONTRACTOR MUST DIG TEST PITS (BY HAND) AT ALL UTILITY CROSSINGS AND CONNECTION POINTS TO VERIFY EXACT LOCATION. IMMEDIATELY NOTIFY THE ENGINEER OF ANY CONFLICTS.
12. ALL ROADS LABELED AS "PUBLIC" ARE PUBLICLY MAINTAINED ONCE THEY ARE DEDICATED. ALL ROADS LABELED AS "PRIVATE" ARE PRIVATELY MAINTAINED BY A HOMEOWNER ASSOCIATION.
13. ANY DAMAGE TO THE ADJACENT COUNTY OWNED RIGHT-OF-WAY AND PROPERTY SHALL BE CORRECTED AT THE CONTRACTOR'S EXPENSE.
14. THERE ARE NO GRAVE SITES, CEMETERIES, WETLANDS, 100-YR FLOODPLAIN OR STREAM ON THE BUILDABLE LOTS SHOWN ON THIS SITE DEVELOPMENT PLAN. ELSEWHERE WITHIN THE HILLSIDE DISTRICT OPEN SPACE THERE ARE WETLANDS, 100-YR FLOODPLAIN AND STREAMS.
15. THIS PROJECT COMPLIES WITH THE REQUIREMENTS OF SECTION 161200 OF THE HOWARD COUNTY CODE FOR FOREST CONSERVATION. THE FOREST CONSERVATION OBLIGATIONS WERE ADDRESSED UNDER F-13-008.
16. FINANCIAL SURETY FOR THE REQUIRED LANDSCAPING (AS SHOWN ON SHEET 8 TO SATISFY 5-01-11 DEVELOPMENT CRITERIA AND SECTION 16124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL) SHALL BE POSTED AS PART OF THE GRADING PERMIT FOR EACH LOT (WHERE APPLICABLE). FOR ADDITIONAL INFORMATION ON THE LANDSCAPE SURETY SEE SHEETS 8 & 9.
17. DRIVENWAYS SHALL BE PROVIDED PRIOR TO ISSUANCE OF A USE AND OCCUPANCY PERMIT FOR ANY NEW DWELLINGS TO INSURE SAFE ACCESS FOR FIRE AND EMERGENCY VEHICLES PER THE FOLLOWING MINIMUM REQUIREMENTS:
A. WIDTH - 12' (6' SERVING MORE THAN ONE RESIDENCE)
B. SURFACE - 6" OF COMPACTED CRUSHER RUN BASE WITH AN CHIP COATING (1-1/2" MIN)
C. GEOMETRY - MAX 148 GRADE CHANGE AND MIN 45' TURNING RADII.
D. STRUCTURES (CULVERTS/BRIDGES) - CAPABLE OF SUPPORTING 25 GROSS TONS (H25 LOADING)
E. DRAINAGE ELEMENTS - CAPABLE OF SAFELY PASSING 100-YR FLOOD WITH NO MORE THAN 1 FOOT DEPTH OVER DRIVENWAY SURFACE.
F. MAINTENANCE - SUFFICIENT TO INSURE ALL WEATHER USE.
18. PUBLIC REFUSE PICKUP IS PROVIDED AT THE CURB FOR THESE LOTS.
19. BAY WINDOWS, HINDON WELLS, CHIMNEYS, HEATING OR AIR CONDITIONING UNITS AND EXTERIOR STAIRWAYS IF NOT MORE THAN 16 FEET IN WIDTH MAY PROJECT NO MORE THAN 4 FEET INTO ANY REQUIRED SETBACK AREA IN ACCORDANCE WITH SECTION 126.2(A) OF THE ZONING REGULATIONS, EXCEPT FOR THE ITEMS LISTED UNDER 4(D) OF THE LOT DEVELOPMENT DATA ON THIS SHEET.
20. AS A CONSEQUENCE OF THE SHEET PLAN 5-01-11 APPROVAL PRIOR TO 11-15-01, THIS PROJECT IS GRANDFATHERED TO THE FOURTH EDITION OF THE SUBDIVISION AND LAND DEVELOPMENT REGULATIONS.
21. THE GARAGES SHALL BE USED FOR PARKING PURPOSES ONLY AND ARE NOT PERMITTED TO OTHER USES IN ACCORDANCE WITH SECTION 030.2.2 OF THE ZONING REGULATIONS AND THE APPROVED MLF DEVELOPMENT CRITERIA. UNLESS OTHERWISE PROHIBITED BY POSTED SIGNAGE OR CURB MARKING, ON-STREET PARALLEL PARKING ALONG THE CURB WITHIN THE PUBLIC RIGHTS-OF-WAY IS ALLOWED FOR VISITOR AND OVERLAP PARKING. THE ON-STREET PARKING AREA WILL NOT BE STRIPPED. THE ALLEYS ARE OWNED BY THE HOA AND THEY ENFORCE THE PARKING PROHIBITION IN THEIR ALLEY "RIGHT-OF-WAY" THATS IN THE COVENANT COVERED AT L. 0254 F. 30543.
22. NO GRADING, REMOVAL OF VEGETATIVE COVER OR TREES, PAVING AND NEW STRUCTURES SHALL BE PERMITTED WITHIN THE REQUIRED WETLANDS, STREAMS OR THEIR BUFFERS, FOREST CONSERVATION EASEMENT AREAS AND 100 YEAR FLOODPLAIN.
23. MINIMUM BUILDING SETBACK RESTRICTIONS FROM PROPERTY LINES AND THE PUBLIC ROAD RIGHTS OF WAY FOR ALL SFD AND SFA RESIDENTIAL LOTS WILL BE PROVIDED IN ACCORDANCE WITH THE COMPREHENSIVE DEVELOPMENT CRITERIA APPROVED FOR THIS PROJECT UNDER 5-01-11, 5-06-10, PB-353, PB 310 AND ZB-495M.
24. FININGS FOR THIS PROJECT IS IN ACCORDANCE WITH THE DESIGN AND ORDER FOR ZB-495M AND THE DESIGN AND ORDER FOR PB CASE NO. 353 (5-01-11) AND PB CASE NO. 310 AND 5-06-10.
25. BECAUSE THERE MAY BE MODIFICATIONS TO LANDSCAPING A CERTIFIED LANDSCAPE PLAN APPROVED BY MAPLE LAWN FARMS SHALL BE FORWARDED TO THE COUNTY FOR APPROVAL PRIOR TO LANDSCAPE INSPECTION. PLANT SUBSTITUTIONS CANNOT INCLUDE SPECIES PROHIBITED BY THE HOWARD COUNTY LANDSCAPE MANUAL AND ADOPTED POLICIES.
26. BUILDABLE LOTS SHOWN HEREON SHALL HAVE A PUBLIC EASEMENT ADJACENT TO THE PUBLIC ROAD RIGHT OF WAY, FOR THE PURPOSES OF SIDEWALK MAINTENANCE, WATER HOSE CONNECTION AND SEWER HOUSE CONNECTION.

LOT DEVELOPMENT DATA

- 1. GENERAL SITE ANALYSIS DATA
A. PRESENT ZONING: MXD-3 PER ZB-495M
B. PROPOSED USE OF SITE: 14 SFD RESIDENTIAL DWELLING
C. PUBLIC WATER & SEWER TO BE UTILIZED (CONTR. #24-4741-D)
D. PARKING REQUIRED PER SEC. 139.D.2.a: 2 SPACES/MIN X H = 30 SPACES
PARKING PROVIDED: 30 GARAGE SPACES (ALL LOTS HAVE AT LEAST A 2-CAR GARAGE. SEE NOTE 21 ABOVE REGARDING PARKING).
E. RECREATION OPEN SPACE FOR THIS SDP IS ADDRESSED UNDER F-14-033 (SEE OVERALL OPEN SPACE PROVISION CHART ON THIS SHEET).
2. AREA TABULATION
A. AREA OF BUILDABLE LOTS FOR THIS SUBMISSION: 106,041 SF OR 4.214 AC.
B. AREA OF THIS PLAN SUBMISSION: 4.764 ACRES (L.O.D.)
C. AREA OF DISTURBANCE BY THIS SDP: 4.164 ACRES
3. LOT DESIGNATION
LOT TYPE LOT NUMBER MINIMUM LOT SIZE MIN. LOT WIDTH AT FRONT BRL. MAX. BUILDING HT.
COTTAGE 49-49 & 32 2,500 SQUARE FEET 32 FEET 30 FEET (MEAN HT.)
VILLA 20-24, 30, 51, 81 & 42 5,400 SQUARE FEET 54 FEET 34 FEET (MEAN HT.)
ESTATE 28-30 20,000 SQUARE FEET 120 FEET 30 FEET (MEAN HT.)
4. STRUCTURE SETBACKS PER 5-06-16 AND PLAN Nos. 22995-23004
LOT TYPE FRONT SETBACK SIDE SETBACK MINIMUM REAR SETBACKS
COTTAGE 10' MIN. 4' MIN. 20' TO PRINCIPAL STRUCTURE. 3' FOR REAR (DETACHED) GARAGE OR TO ACCESSORY STRUCTURES.
VILLA 12' MIN. 8' MIN. 20' TO PRINCIPAL STRUCTURE. 3' FOR REAR (DETACHED) GARAGE OR TO ACCESSORY STRUCTURES.
ESTATE 20' MIN. 20' MIN. 20' TO PRINCIPAL STRUCTURE. 20' FOR REAR (DETACHED) GARAGE OR TO ACCESSORY STRUCTURES.
\*\* THERE IS A 0' SIDE SETBACK FOR A GARAGE.
\*\* THERE IS A 10' SIDE SETBACK FOR A GARAGE.
A. A ZERO LOT LINE DWELLING UNIT MAY BE LOCATED ON ANY PROPERTY LINE WHICH IS NOT A STREET RIGHT-OF-WAY PROVIDED THAT (1) NO PART OF THE DWELLING SHALL ENCRoACH ON TO THE ADJOINING LOT; (2) AN ACCESS EASEMENT FOR THE PURPOSE OF MAINTENANCE TO THE SIDE OF THE STRUCTURE SHALL BE INCLUDED IN THE DEED WHERE APPROPRIATE. SPACING BETWEEN DWELLING UNITS SHALL BE A MINIMUM OF 8'. GARAGES HOWEVER, MAY ADJON ALONG THE PROPERTY LINE, PROVIDED THEY COMPLY WITH ALL BUILDING AND FIRE CODE REGULATIONS.
B. OPEN DECKS MUST BE A MINIMUM OF 10' FROM REAR PROPERTY LINE, AND ARE SUBJECT TO SIDE YARD SETBACKS.
C. FACING ACCESSORY STRUCTURES AND DETACHED GARAGES (ACROSS AN ALLEY/LANE ROW) SHALL BE 30' APART.
D. EXCEPTIONS TO FRONT SETBACK REQUIREMENTS: SECTION 126.1 APPLIES, EXCEPT FOR THE FOLLOWING:
• PORCHES MAY ENCRoACH INTO THE FRONT YARD TO WITHIN 2' FROM THE FRONT PROPERTY LINE OR RIGHT-OF-WAY FOR COTTAGES, MANORS, AND VILLAS; TO WITHIN 12' FOR ESTATES. PORCHES MAY ENCRoACH INTO THE SIDE YARD OF CORNER LOTS TO WITHIN 2' FROM THE RIGHT-OF-WAY FOR COTTAGES, MANORS, AND VILLAS; TO WITHIN 12' FOR ESTATES. WHERE A SIDE YARD ADJUTS AN OPEN SPACE OR PASSAGE, PORCHES MAY ENCRoACH TO WITHIN 1' FROM THE SIDE PROPERTY LINE FOR COTTAGES, MANORS, AND VILLAS; TO WITHIN 12' FOR ESTATES.
• SToops AND STEPS MAY ENCRoACH INTO THE FRONT AND SIDE YARDS TO WITHIN 1' FROM THE FRONT PROPERTY LINE.
• GARDEN WALLS, FENCES, PIERs, GATES AND SIMILAR ORNAMENTS MAY BE BUILT IN THE FRONT AND SIDE YARDS NOT CLoSER THAN 1' FROM THE FRONT PROPERTY LINE (WALL FOOTINGs MUST BE OUTSIDE ANY EASEMENTs); NOT GREATER THAN 40' IN HEIGHT ALONG THE FRONT PROPERTY LINE AND NOT GREATER THAN 12' IN HEIGHT ALONG THE SIDE AND REAR PROPERTY LINES.

General Notes (cont.)

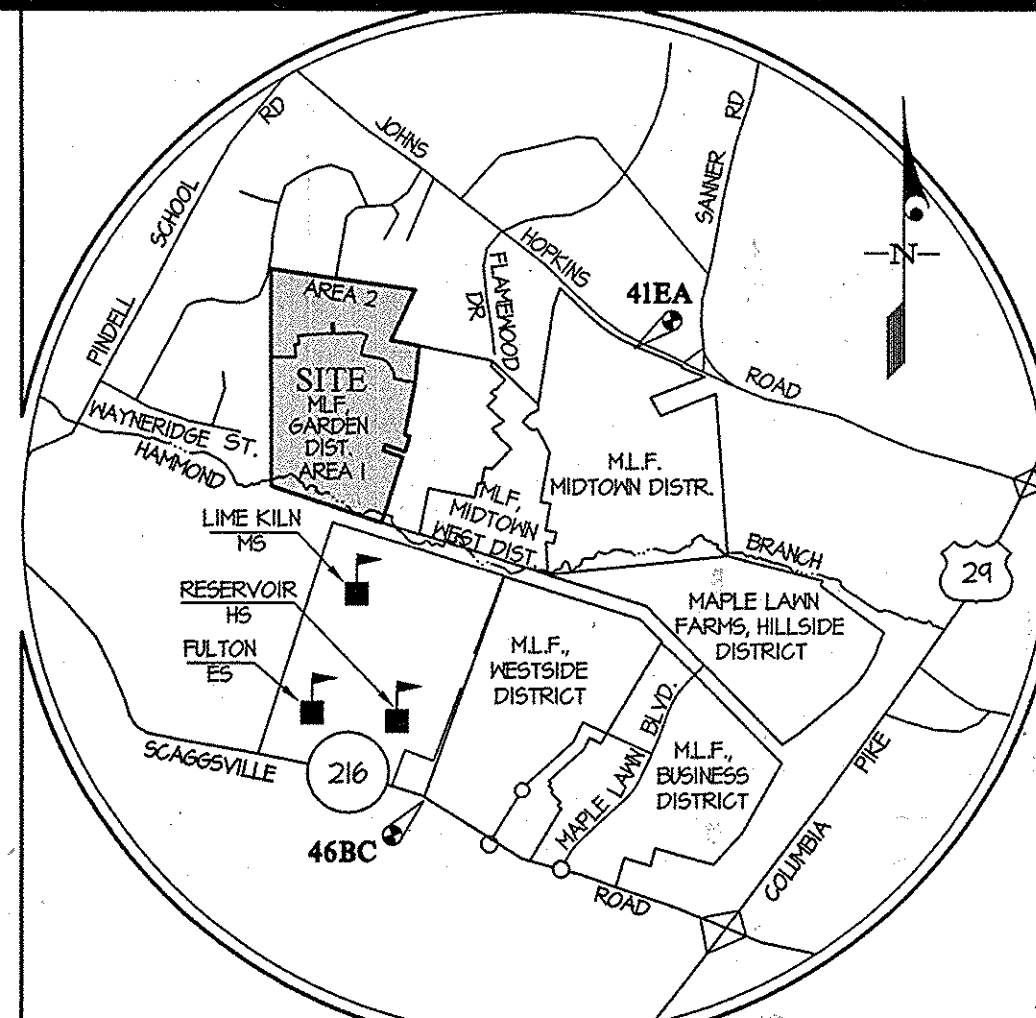
- 17. Maple Lawn Farms SDP plans regarding the reduced driveway lengths are grandfathered to the previous 2004 zoning regulations regarding Section 139.D.2.A for driveway lengths less than 4 feet for an approved TND project.

MAPLE LAWN FARMS SITE DEVELOPMENT PLAN GARDEN DISTRICT - AREA 1 LOTS No. 20-24, 28-32, 45-51, 87 and 92 FIFTH ELECTION DISTRICT HOWARD COUNTY, MARYLAND



HOWARD COUNTY CONTROL

NAD83 HORIZONTAL DATA & NVD80 VERTICAL DATA
46BC ELEV. = 412.16 N = 534425.18 E = 1391205.71 STANDARD DISC. ON CONCRETE MONUMENT
41EA ELEV. = 407.05 N = 544825.61 E = 1394217.44 STANDARD DISC. ON CONCRETE MONUMENT



OVERALL OPEN SPACE PROVISION FOR MAPLE LAWN FARMS

Table with 6 columns: PHASE NUMBER (AND NAME), APPROVED DPZ FILE NO., PHASE AREA GROSS ACRES, REQUIRED OPEN SPACE (25% OF GROSS), OPEN SPACE PROVIDED IN AC. (8), REQUIRED ACTIVE OPEN SPACE IN AC.\*\*, ACTIVE RECREATION OPEN SPACE PROVIDED IN AC. (8)\*\*.

\* THE PERCENTAGE OF OPEN SPACE PROVIDED IS BASED ON THE GROSS SITE ACRES.
\*\* 10% OF THE OPEN SPACE REQUIRED MUST BE AVAILABLE FOR ACTIVE RECREATION.
\*\*\* THE PERCENTAGE OF ACTIVE RECREATION O.S. PROVIDED IS BASED ON THE O.S. PROVIDED (CUMULATIVE TOTAL ACRES).

ADDRESS CHART

Table with 2 columns: LOT No., STREET ADDRESS. Lists addresses for lots 20 through 32.

SHEET INDEX

- 1. COVER SHEET
2. SITE DEVELOPMENT PLAN
3. SITE DEVELOPMENT PLAN
4. SITE DEVELOPMENT PLAN
5. SITE DETAILS
6. SEDIMENT CONTROL PLAN
7. SEDIMENT CONTROL NOTES and DETAILS
8. LANDSCAPE PLAN
9. LANDSCAPE PLAN
10. LANDSCAPE PLAN

PERMIT INFORMATION CHART

Table with 2 columns: WATER CODE, SEWER CODE, DEVELOPMENT NAME, DISTRICT/AREA, LOTS, CENSUS TRACT.

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
Director: Valcho Joffe 7-21-15
Chief, Division of Land Development: V. Stedman 7-15-15
Chief, Development Engineering Division: D. Chubb 7-9-15

PROFESSIONAL CERTIFICATION
I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 12475, EXPIRATION DATE: MAY 26, 2016.



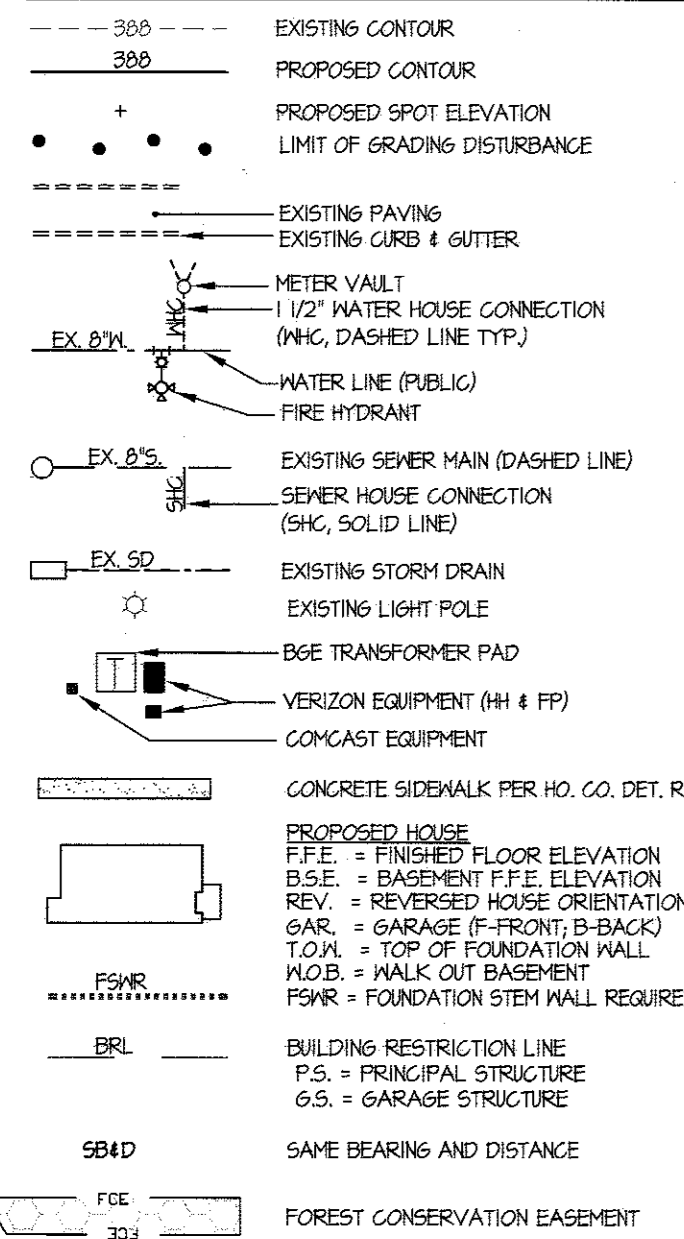
GLWGUTSCHICK LITTLE & WEBER, P.A.
CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK
BURTONSVILLE, MARYLAND 20866
TEL: 301-421-4024 FAX: 301-421-4186

PREPARED FOR:
PROPERTY OWNER (SELLER): MAPLE LAWN FARMS L.L.C.
1829 RESTERSTOWN ROAD, SUITE 300
BALTIMORE, MD 21208
PH: 410-484-8400
ATTN: MARK BENNETT
BUILDER (CONTRACT PURCHASER): MB MAPLE LAWN L.L.C.
1636 E. GUIDE DRIVE
ROCKVILLE, MARYLAND 20850
PH: 301-782-9511 X 2101
ATTN: ROBERT MITCHELL

COVER SHEET
MAPLE LAWN FARMS
GARDEN DISTRICT - AREA 1
LOT Nos. 20-24, 28-32, 45-51, 87 and 92
(SFD RESIDENTIAL USE)
PLAT Nos. 22995-23004

SCALE: AS SHOWN
ZONING: MXD-3
G. L. W. FILE No.: 14052
DATE: MAY 2015
TAX MAP - GRID: 41-15&21
SHEET: 1 OF 10

**SITE DEVELOPMENT PLAN LEGEND**



**SEWER HOUSE CONNECTIONS**  
MINIMUM CELLAR ELEVATIONS  
& INVERT ELEVATION @ P.L.

LOT	ELEVATION @ PROP. LINE	M.G.E.
20	417.44	SEE CHART TO BELOW
21	416.29	SEE CHART TO BELOW
22	414.12	SEE CHART TO BELOW
23	412.31	SEE CHART TO BELOW
24	405.02	410.20

**LOTS 20-23 SEWER HOUSE CONNECTION**

LOT No.	SHC Invert at right-of-way (R/W)	Distance in feet from Invert @ R/W to remote corner of Generic Box	Slope of SHC from R/W to Sewer stack in basement (% and in/ft.)	SHC invert remote corner of Generic Box	Proposed BSE	Delta = BSE - invert at sewer stack (must be > 1.17' or 14" allowance for the 90° Bend Turn-up at Sanitary Stack through Basement Slab)
20	417.44	142	2.0	1/4"	420.28	423.00
21	416.29	142	2.0	1/4"	419.13	420.50
22	414.12	142	2.0	1/4"	416.96	418.80
23	412.37	142	2.0	1/4"	415.21	416.80

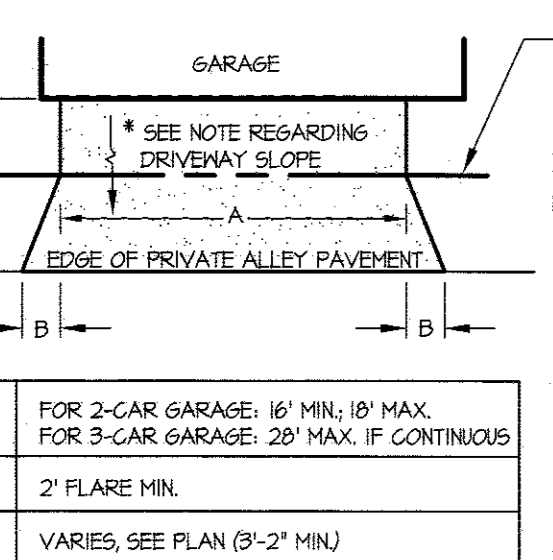
Note: The plumber and the concrete foundation contractor shall coordinate their work on Lots 20-23.

**WASTE MANAGEMENT NOTES:**

- COUNTY SERVICES WILL NOT BEGIN UNTIL ALL CONSTRUCTION IS COMPLETED IN THE AREA AND THE TRUCKS HAVE CLEAR AND UNHINDERED ACCESS. THE BUILDERS/DEVELOPERS SHALL PROVIDE FOR TRASH COLLECTION UNTIL ALL CONSTRUCTION IS COMPLETED AND THE CHIEF COLLECTIONS DIVISION APPROVES THE AREA FOR SERVICE.
- THE REFUSE COLLECTION CHARGE WILL NOT APPLY UNTIL THE AREA BEGINS COUNTY SERVICE.

**NOTES:**

- ALL FENCES, GARDEN WALLS, STOOPS AND STEPS ALONG THE R/W SHALL BE LOCATED BEHIND THE 1' PUBLIC SIDEWALK ESMT.
- BRICK POINT ALL BUILDING CONSTRUCTION UNLESS NOTED OTHERWISE.
- MHC TO THE SUBJECT LOT OF THIS SFP IS 1 1/2" PER CONTRACT NOS. 24-4785-D & 24-4786-D AND THE WATER METER VAULT IS IN THE R/W. ADJUST TOP OF METER VAULT AS NECESSARY BASED ON FINAL FIELD CONDITION.
- SEE THE CHART ON SHEET 2 & 3 FOR SHC INFORMATION. CONTRACTOR SHALL CHECK AND VERIFY THE SEWER HOUSE ELEVATIONS AT THE PROPERTY LINE PRIOR TO CONSTRUCTION.
- ALL GARDEN WALLS AND FENCES THAT STRADDLE PROPERTY LINES SHALL BE MAINTAINED IN ACCORDANCE WITH ARTICLE 15 OF THE MAPLE LAWN HOMEOWNERS ASSOCIATION COVENANTS (RECORDED AT LIBRARY T447 F010 242 THROUGH 366).
- ALL BUILDING WALLS WITHIN 1' OF A BSE TRANSFORMER SHALL BE CONSTRUCTED FOR A MINIMUM FIRE RESISTANCE RATING OF 3 HOURS.
- ANY NECESSARY YARD DRAIN INLETS ARE 12" NYLON/PLAST INLINE DRAIN MODEL NO. 212AG (8" OR EQV.). CONNECT ALL YARD DRAIN INLETS TO THE EXISTING STORM DRAIN STUBS IN THE ALLEY USING ADS N-12 (HPIPE TYPE 5) PIPES. CONTRACTOR SHALL CHECK AND VERIFY THE INVERT OF THE STUBS AT THE ALLEY PROPERTY LINE PRIOR TO CONSTRUCTION. PROVIDE POSITIVE DRAIN (3/8" MIN) FROM YARD INLET TO THE STORM DRAIN STUBS. PROVIDE 1/2" MIN. COVER OVER THE PIPE. ALL DOWN SPOUTS SHALL BE DISCHARGED ONTO SPRINKLER BLOCKS OR PIPE DIRECTLY TO THE YARD DRAIN.
- PRIVACY FENCE THAT IMPEDES SIGHT VISIBILITY FOR DRIVERS TURNING CORNERS IN THE ALLEY ARE NOT ALLOWED.



- PRIVATE DRIVEWAY NOTES:**
- DRIVEWAY SHALL BE PAVED FROM THE EDGE OF THE PRIVATE ALLEY TO THE GARAGE USING A P.I. BITUMINOUS PAVING SECTION PER H.O. CO. STD. DETAIL R-201 OR THE T. CONCRETE SECTION. THE APRON BETWEEN SHALL BE CONCRETE.
  - PROVIDE POSITIVE DRAINAGE AWAY FROM THE GARAGE TO THE ALLEY. SLOPE ON THE DRIVEWAY MAY VARY FROM 1/8" (MIN. ON HIGH SIDE OF THE DRIVEWAY) TO 1/4" (MAX. ON THE LOW SIDE).
  - THIS DETAIL IS FOR APRONS & DRIVEWAYS IN A PRIVATE ALLEY ONLY. FOR APRONS IN THE PUBLIC RIGHT OF WAY SEE DPM DET. 6.01.

**PRIVATE DRIVEWAY and APRON DETAIL NO SCALE**

**PROFESSIONAL CERTIFICATION**

I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 12475, EXPIRATION DATE: MAY 26, 2016.



APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

Director: *Valeria J. Jolly* Date: 7-21-15  
 Chief, Division of Land Development: *W. S. ...* Date: 7-15-15  
 Chief, Development Engineering Division: *Chad ...* Date: 7-8-15

**GLWGUTSCHICK LITTLE & WEBER, P.A.**

CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS  
 3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK  
 BURTONSVILLE, MARYLAND 20866  
 TEL: 301-421-4024 BAL: 410-889-1820 DC/VA: 301-889-2524 FAX: 301-421-4196

DATE: 02/10/2015 BY: klp APPR: klp

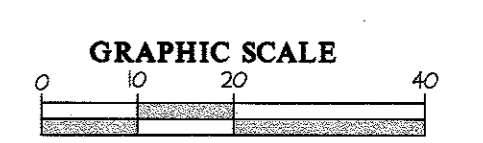
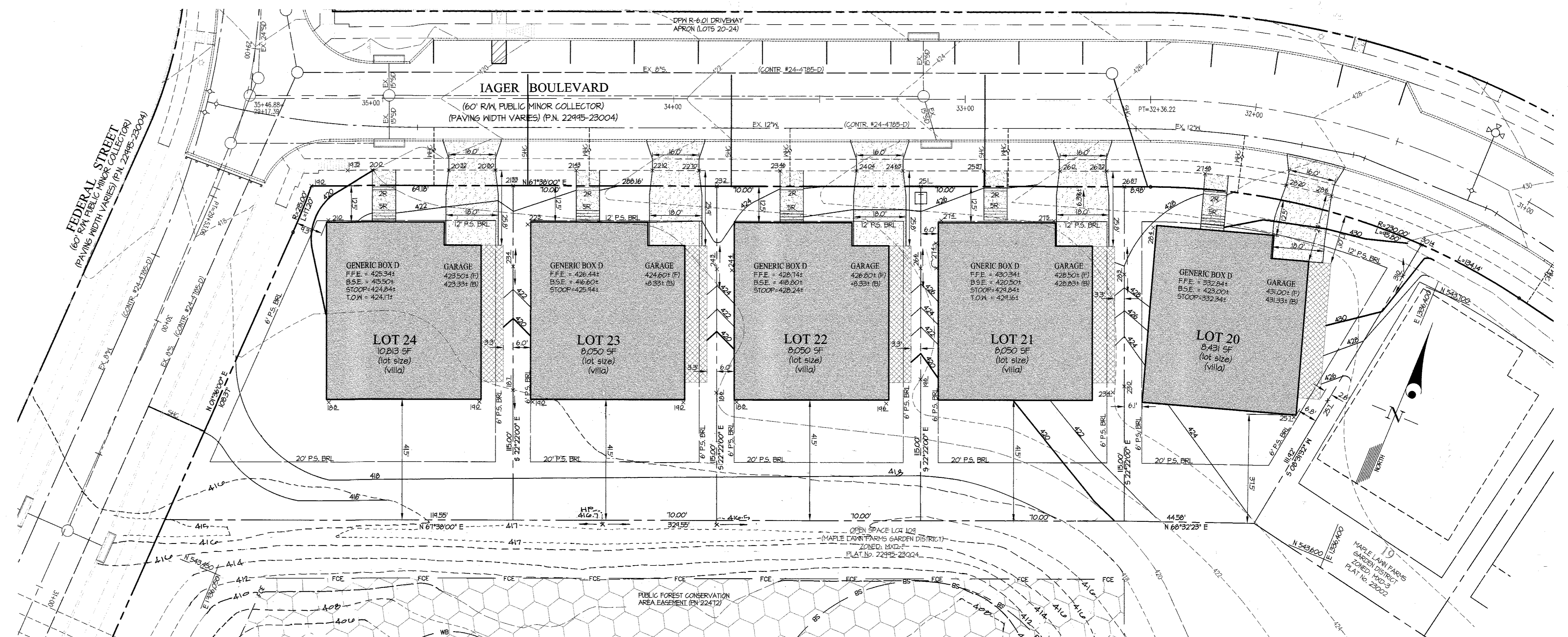
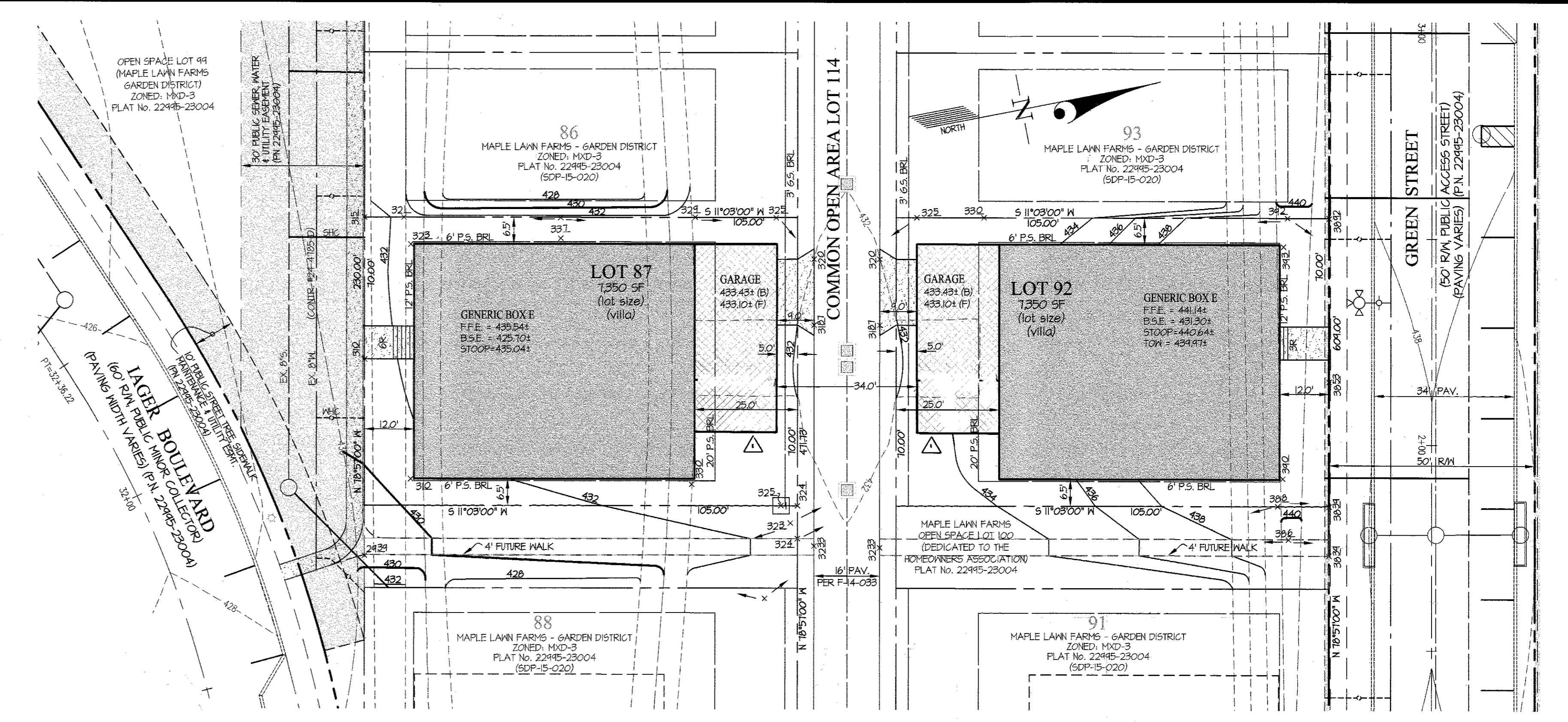
DES. MBT DRN. KLP CHK. MBT

REVISION: 02/10/2015

DATE: 02/10/2015

BY: klp APPR: klp

DATE: 02/10/2015



**PREPARED FOR:**

PROPERTY OWNER (SELLER):  
 MAPLE LAWN FARMS 1, L.L.C.  
 1829 REISTERSTOWN ROAD, SUITE 300  
 BALTIMORE, MD 21208  
 PH: 410-484-8400  
 ATTN: MARK BENNETT

BUILDER (CONTRACT PURCHASER):  
 MB MAPLE LAWN L.L.C.  
 1686 E. GUIDE DRIVE  
 ROCKVILLE, MARYLAND 20850  
 PH: 301-762-9511 x 2101  
 attn: ROBERT MITCHELL

**SITE DEVELOPMENT PLAN**

**MAPLE LAWN FARMS**  
 GARDEN DISTRICT - AREA 1  
 LOT Nos. 20-24, 28-32, 45-51, 87 and 92  
 (SFD RESIDENTIAL USE)  
 PLAT No. 22995-23004

SCALE: 1"=20'

ZONING: MXD-3

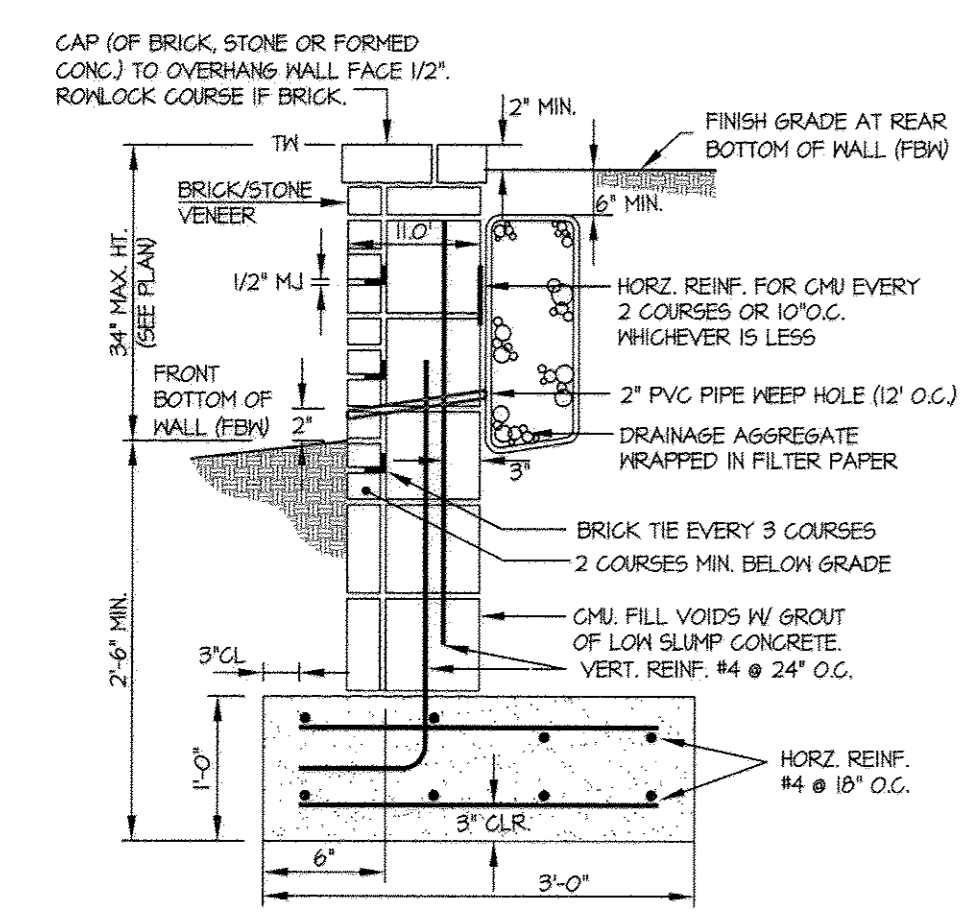
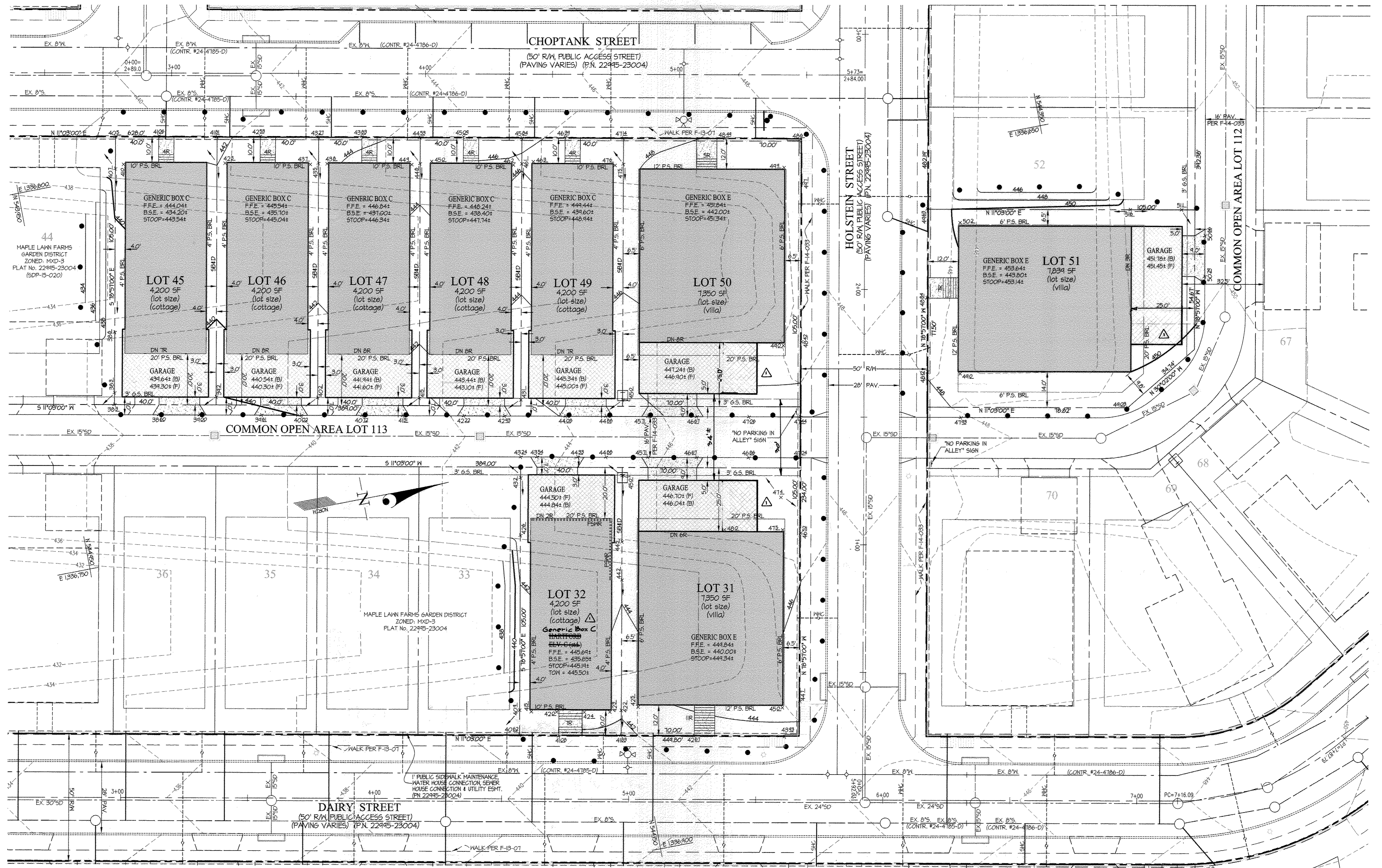
G. L. W. FILE No. 14052

DATE: MAY 2015

TAX MAP - GRID: 41-15&21

SHEET: 2 OF 10

SDP - 15 - 047



1 TYPICAL LOW GARDEN WALL NO SCALE

LOT	ELEVATION OF PROP. LINE	M.C.E.
32	421.21	431.81
45	421.28	433.50
46	430.60	434.68
47	431.40	435.48
48	432.20	436.28
49	433.00	437.08

NOTE: SEWER HOUSE CONNECTIONS IS 4".

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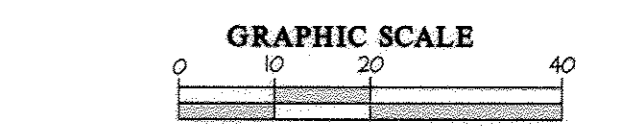
APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING  
 Director: *Valerie Joffe* 7-2-15  
 Chief, Division of Land Development: *Kathleen...* 7-15-15  
 Chief, Development Engineering Division: *...* 7-8-15

**GLWGUTSCHICK LITTLE & WEBER, P.A.**  
 CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS  
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 BURTNSVILLE, MARYLAND 20896  
 TEL: 301-421-4024 BALT: 410-880-1820 DC/VA: 301-989-2524 FAX: 301-421-4188

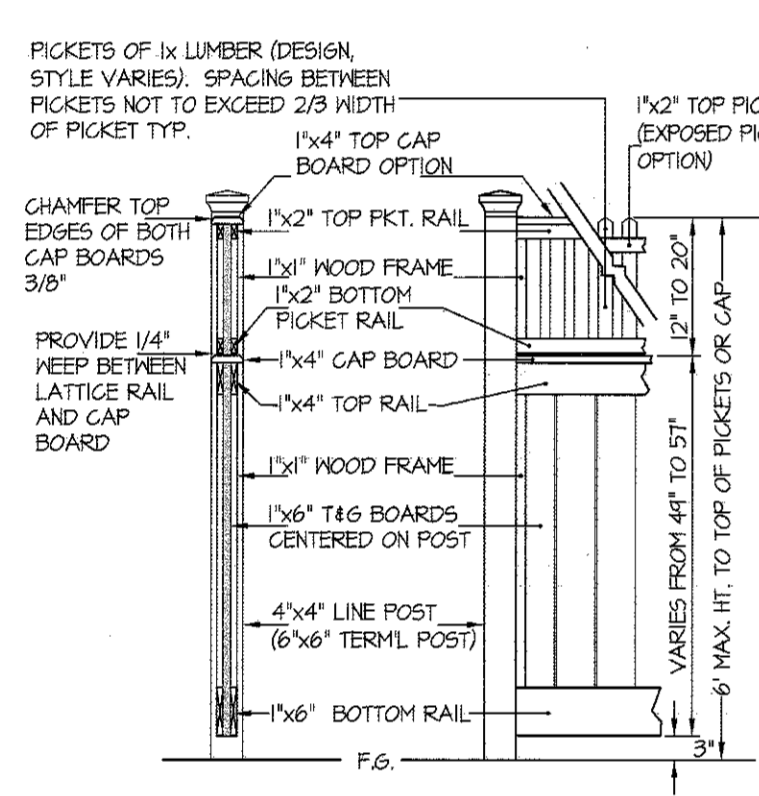
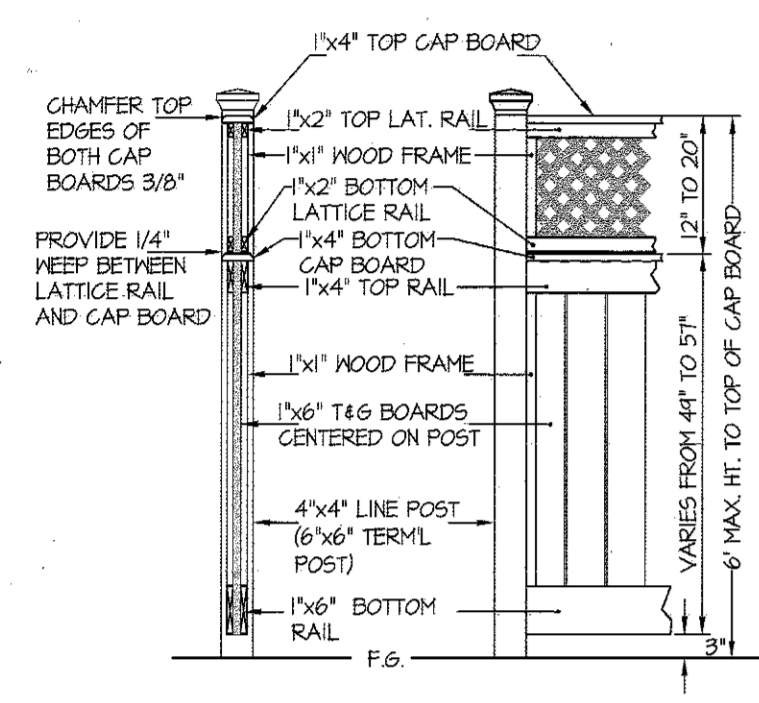
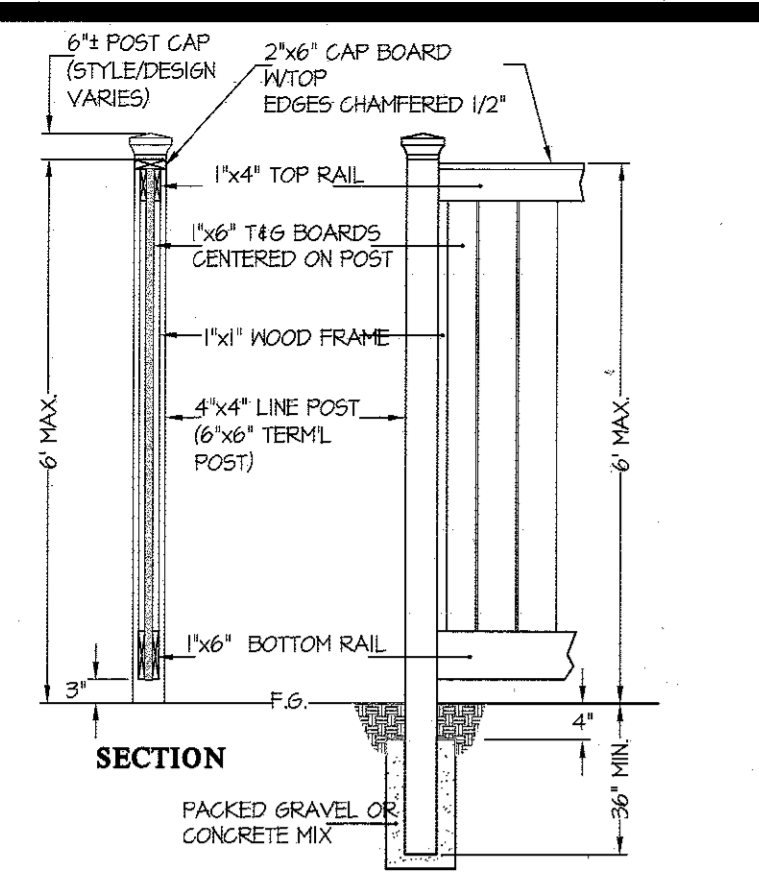
PREPARED FOR:  
 PROPERTY OWNER (SELLER): MAPLE LAWN FARMS 1, LLC  
 1829 REISTERSTOWN ROAD, SUITE 300  
 BALTIMORE, MD 21208  
 PH: 410-484-8400  
 ATTN: MARK BENNETT

BUILDER (CONTRACT PURCHASER): MB MAPLE LAWN LLC  
 1666 E. GUDE DRIVE  
 ROCKVILLE, MARYLAND 20850  
 PH: 301-762-9511 x 2101  
 attn: ROBERT MITCHELL

SITE DEVELOPMENT PLAN  
**MAPLE LAWN FARMS**  
 GARDEN DISTRICT - AREA 1  
 LOT Nos. 20-24, 28-32, 45-51, 87 and 92  
 (SFD RESIDENTIAL USE)  
 PLAT Nos. 22995-23004



SCALE	ZONING	G. L. W. FILE No.
1"=20'	MXD-3	14052
DATE	TAX MAP - GRID	SHEET
MAY 2015	41-15&21	3 OF 10



- FENCE NOTES**
- ALL FENCE/GARDEN WALLS ALONG THE R/W SHALL BE LOCATED BEHIND THE SIDEWALK ESMT.
  - ALL FENCES (AND GARDEN WALLS) THAT STRADDLE PROPERTY LINES SHALL BE PRIVATELY MAINTAINED IN ACCORDANCE WITH ARTICLE 15 OF THE MAPLE LAWN HOMEOWNERS ASSOCIATION COVENANTS (RECORDED AS LIBER 1418 FOLIO 292 THROUGH 366).
  - SEE LOT DEVELOPMENT DATA ITEM 4.D. ON SHEET 1 REGARDING HEIGHT LIMITATIONS FOR FENCES, GARDEN WALLS AND SIMILAR FEATURES.
  - THE PICKET FENCE STYLE SHOWN ON THESE DETAILS IS A SAMPLE REPRESENTATIVE ONLY. REFER TO THE MAPLE LAWN DESIGN GUIDELINES (SECTION 4, PAGES 16-19) FOR OTHER FENCE AND PICKET STYLES FOR V.E.P.
  - FENCES SHALL BE MADE OF CEDAR, REDWOOD, PRESSURE TREATED LUMBER OR SOLID PVC. ALL STEEL HARDWARE AND FASTENERS SHALL BE GALVANIZED. ALL FENCE FINISHES SHALL BE APPROVED AND ACCEPTED BY THE MAPLE LAWN FARMS DESIGN REVIEW COMMITTEE (DRCC).
  - FENCE POSTS SHALL BE SPACED EVENLY WITH A 6' SPACING BETWEEN POSTS. TERMINAL POSTS (AT CORNER ENDS, ETC.) SHALL BE WIDER AND TALLER IN PROPORTION THAN LINE POSTS.
  - THE HEIGHT OF A PICKET FENCE REFERS TO THE HEIGHT OF PICKETS AND NOT THE POSTS.
  - FENCES ON NEIGHBORING LOTS SHALL BE OF DIFFERENT DESIGN/STYLE.
  - MANUFACTURED VINYL FENCES MEETING THE HEIGHT LIMITATIONS SHOWN MAY BE USED IF THEY ARE APPROVED BY THE DRCC.

**OPTIONAL PRIVACY FENCE DETAILS** SCALE: 1"=20'

**PROFESSIONAL CERTIFICATION**

I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 12475, EXPIRATION DATE: MAY 26, 2016.



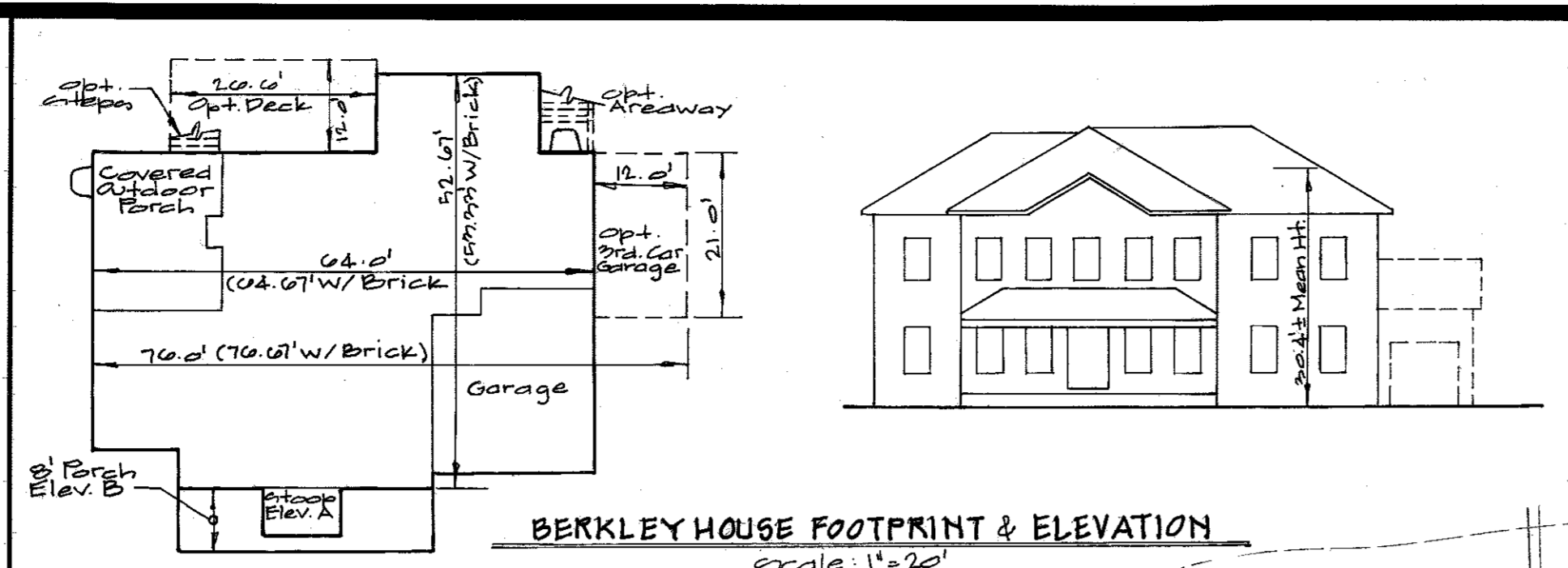
APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

*Valerie Joffe* 7-21-15  
Director Date

*Kate Schlander* 7-15-15  
Chief, Division of Land Development Date

*Bob Bell* 7-8-15  
Chief, Development Engineering Division Date

**GLWGUTSCHICK LITTLE & WEBER, P.A.**  
CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS  
3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK  
BURTONSVILLE, MARYLAND 20986  
TEL: 301-421-4024 FAX: 301-421-1600 D/W/A: 301-389-2524 OFFICE 301-421-4186



NO.	DATE	REVISION	BY	APP'R.
1	8-26-16	Add the Berkley Houseprint and Elevation	JL	KL
2	8-19-16	Rev Ex Top in the rear of Estate lot to reflect ambient noise	JL	KL

**PREPARED FOR:**

PROPERTY OWNER (SELLER):  
MAPLE LAWN FARMS 1, LLC  
1829 REISTERSTOWN ROAD, SUITE 300  
BALTIMORE, MD 21208  
PH: 410-484-8400  
ATRN: MARK BENNETT

BUILDER (CONTRACT PURCHASER):  
MB MAPLE LAWN L.L.C.  
1686 E. GUIDE DRIVE  
ROCKVILLE, MARYLAND 20850  
PH: 301-762-9511 x 2101  
attn: ROBERT MITCHELL

**SITE DEVELOPMENT PLAN**

**MAPLE LAWN FARMS**  
GARDEN DISTRICT - AREA 1  
LOT Nos. 28-24, 28-32, 45-51, 87 and 92  
(SFD RESIDENTIAL USE)  
PLAT Nos. 22995-23004

ELECTION DISTRICT No. 5

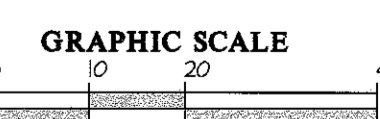
HOWARD COUNTY, MARYLAND

SCALE	ZONING	G. L. W. FILE No.
1"=20'	MXD-3	14052
DATE	TAX MAP - GRID	SHEET
MAY 2015	41-15&21	4 OF 10

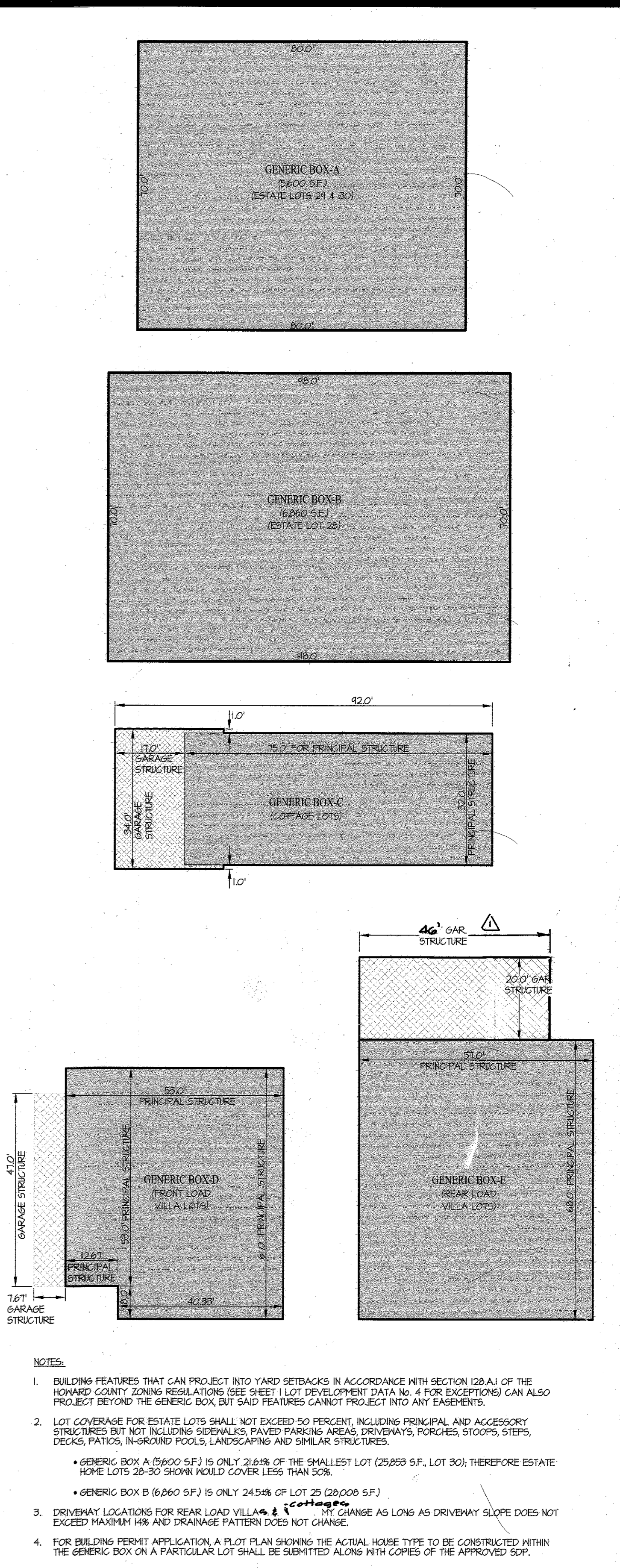
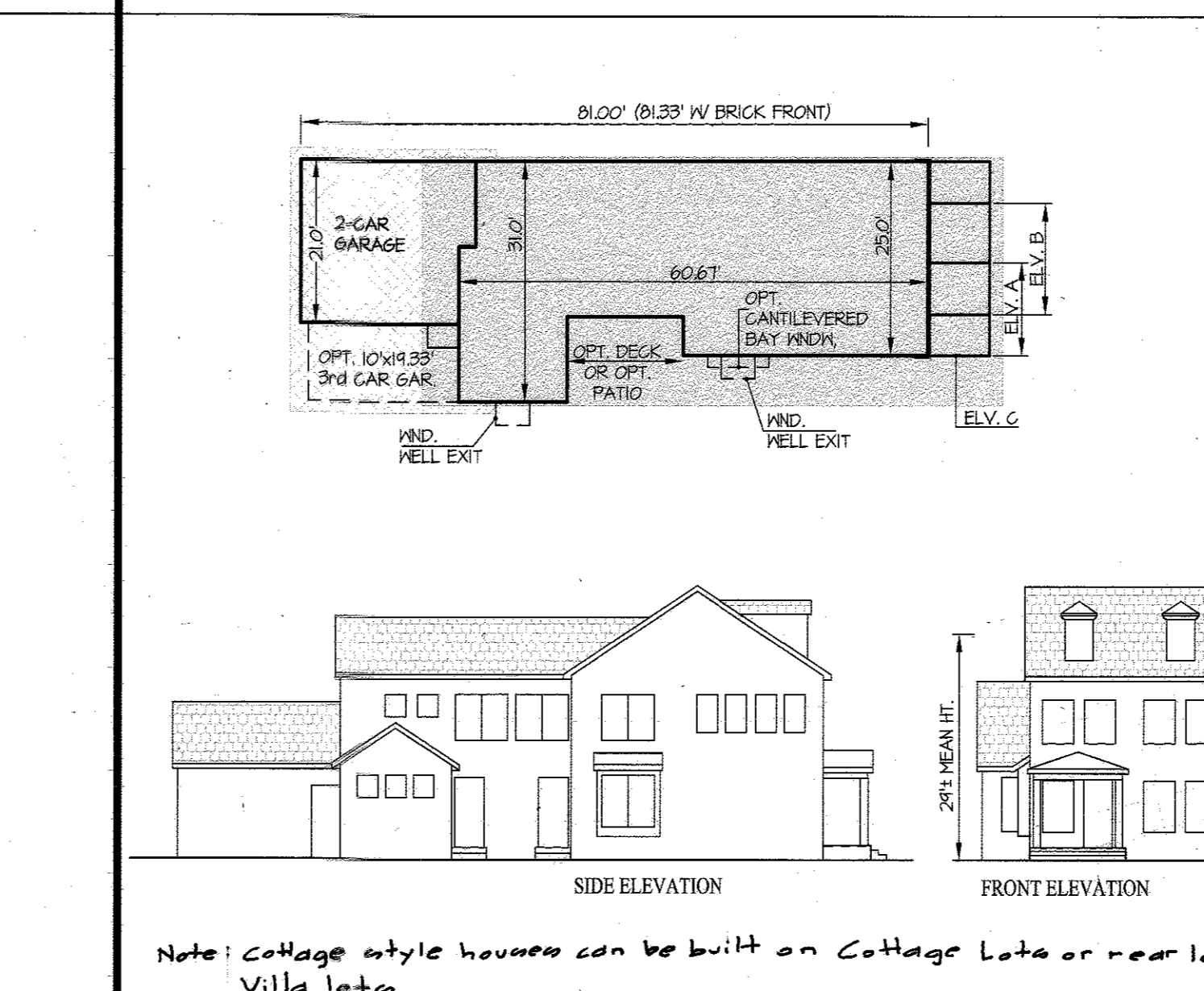
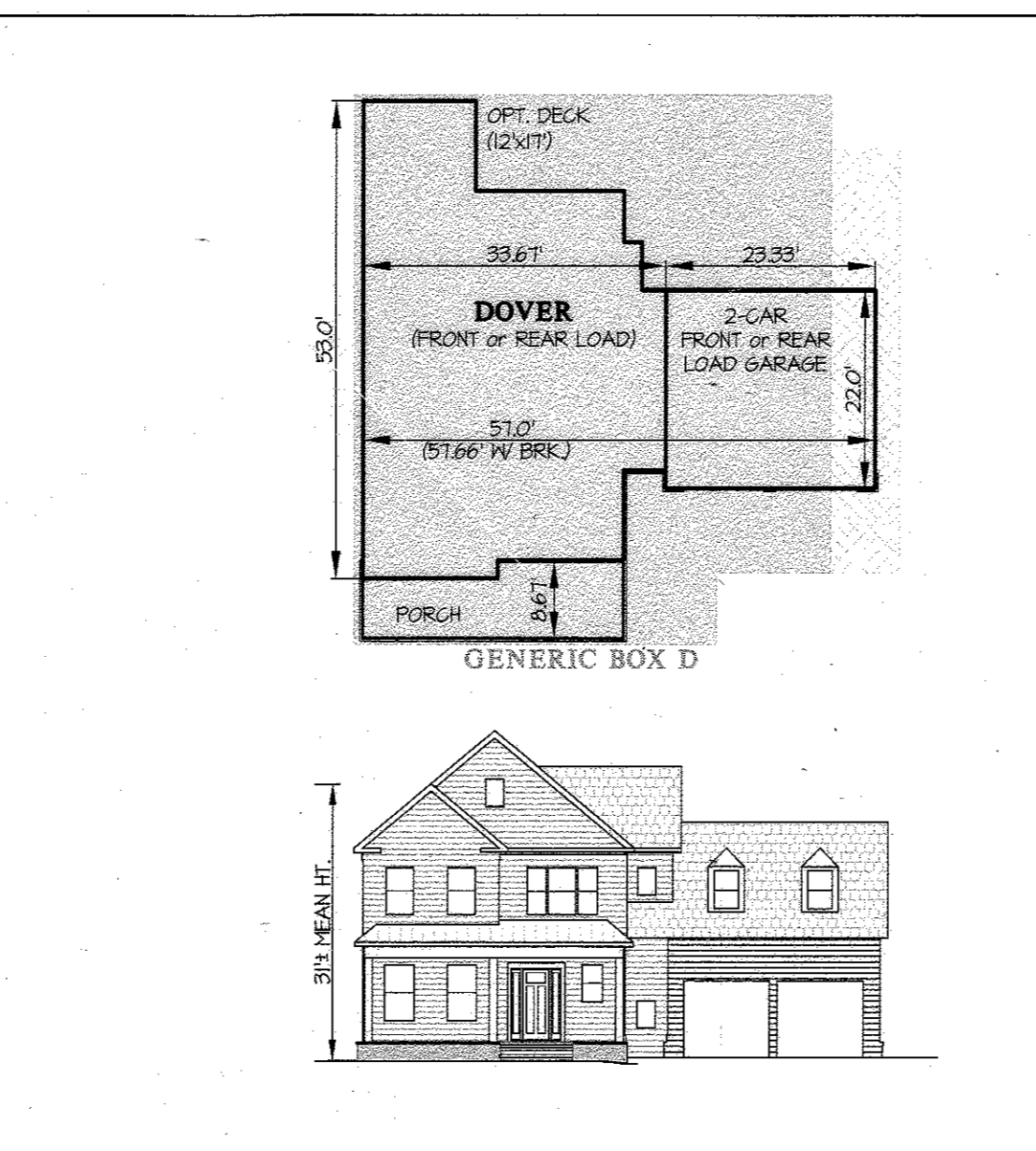
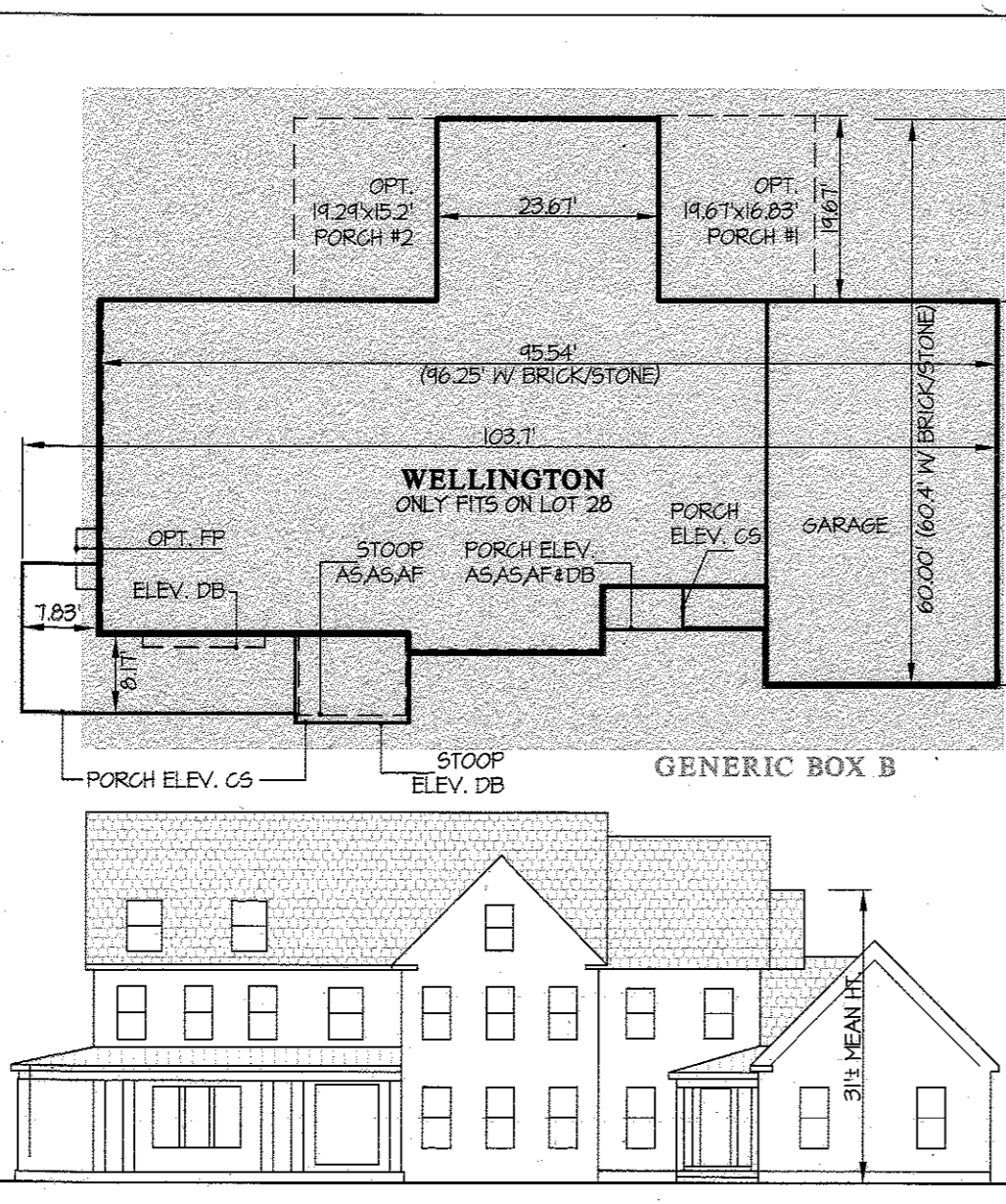
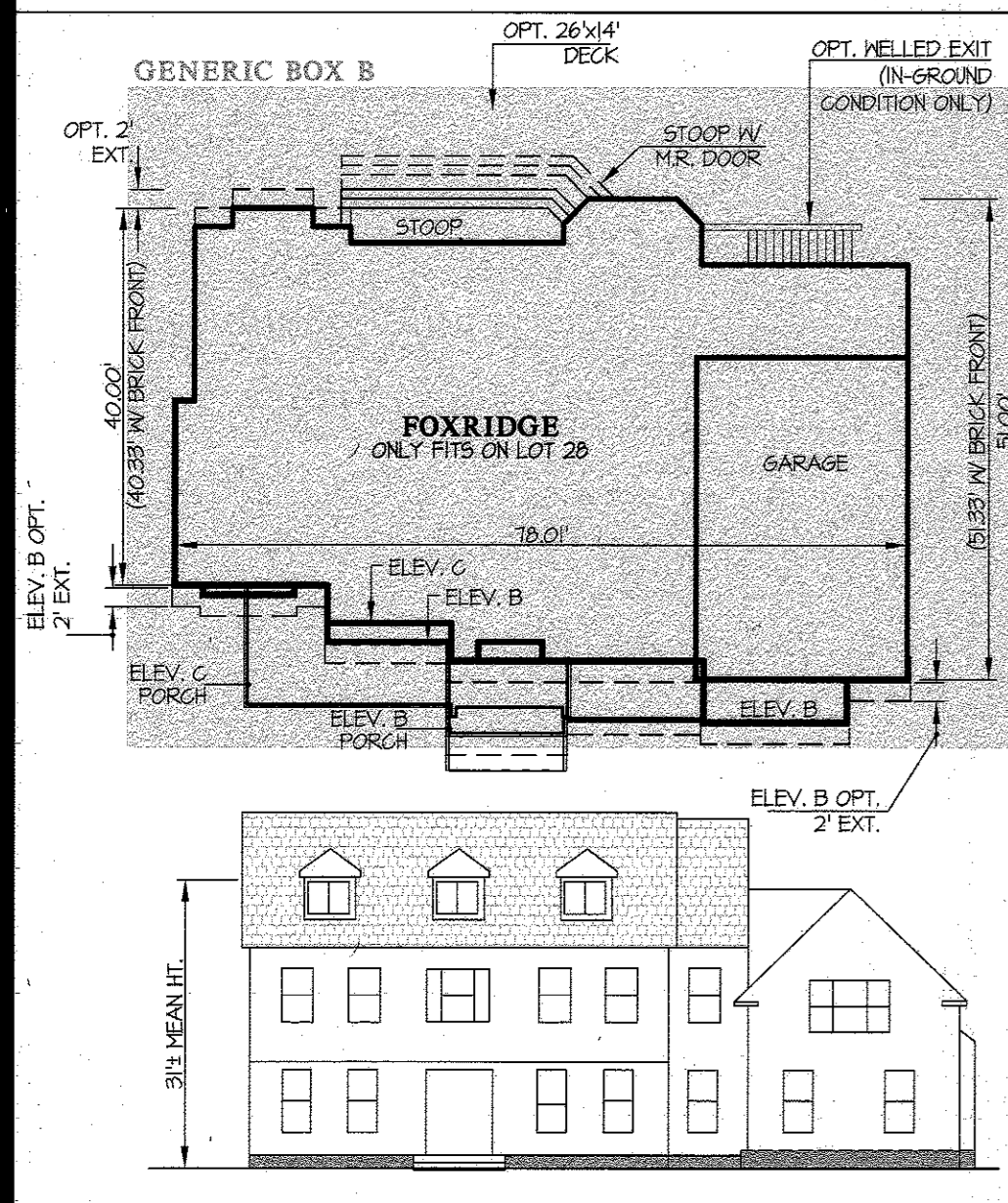
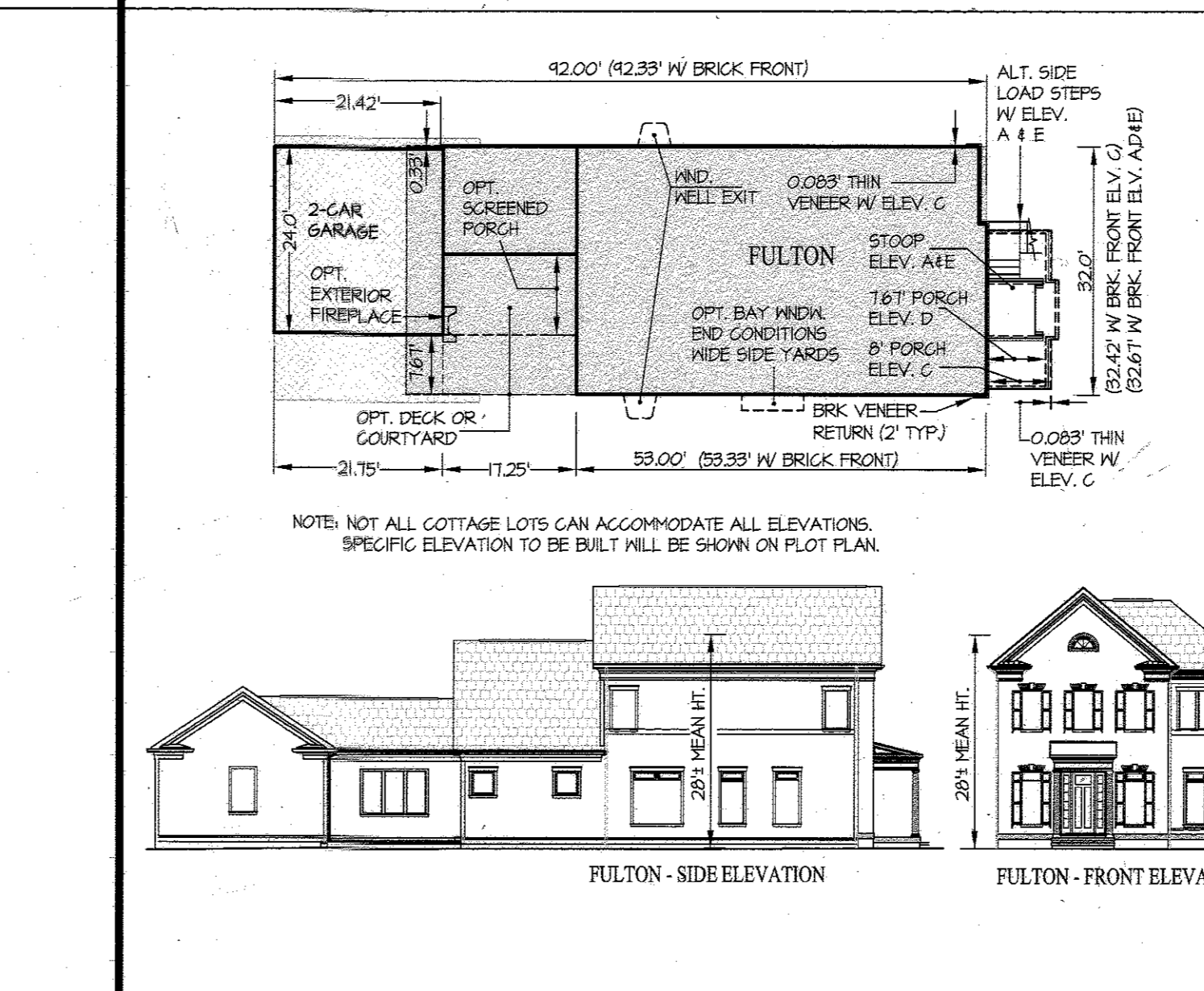
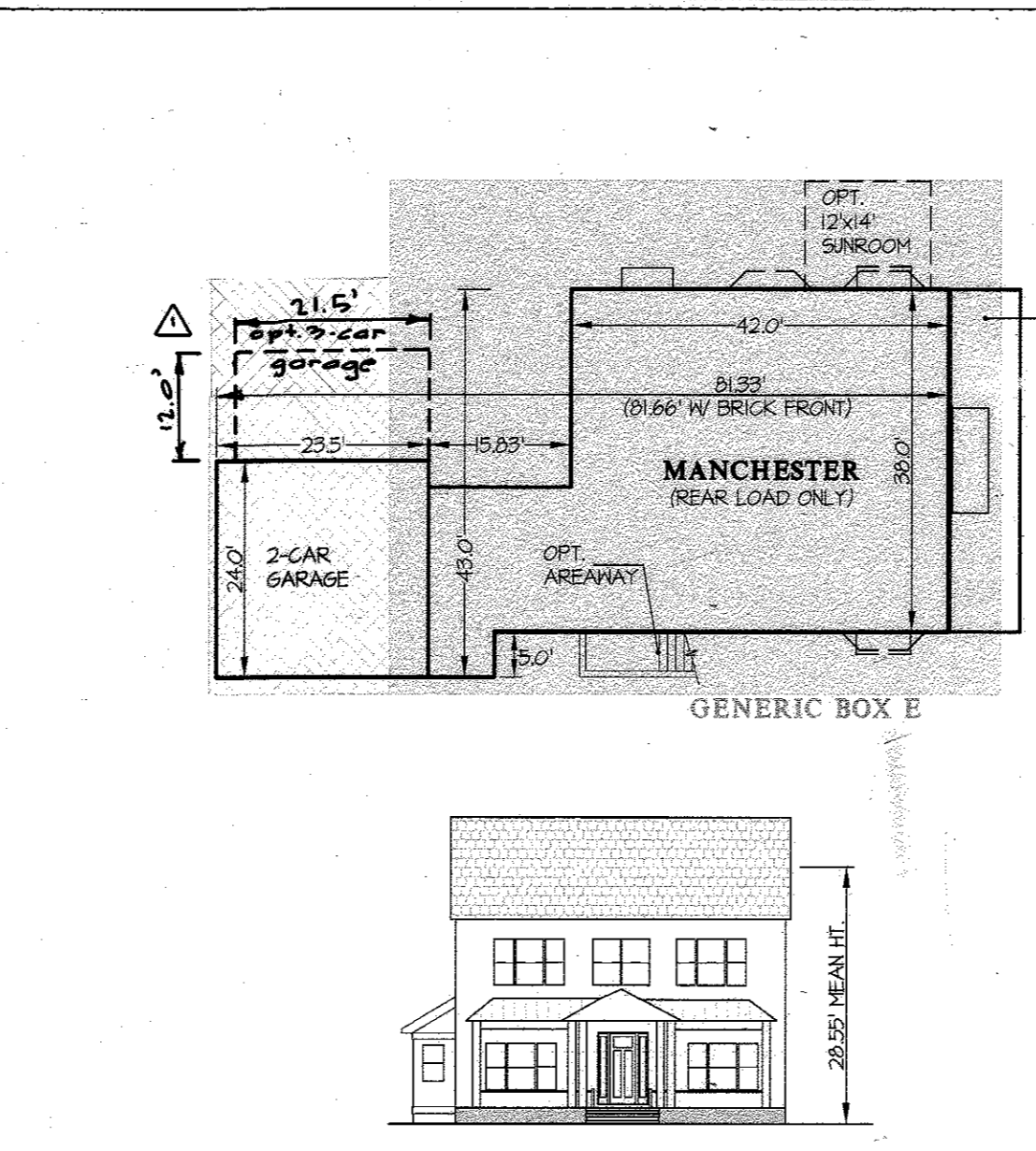
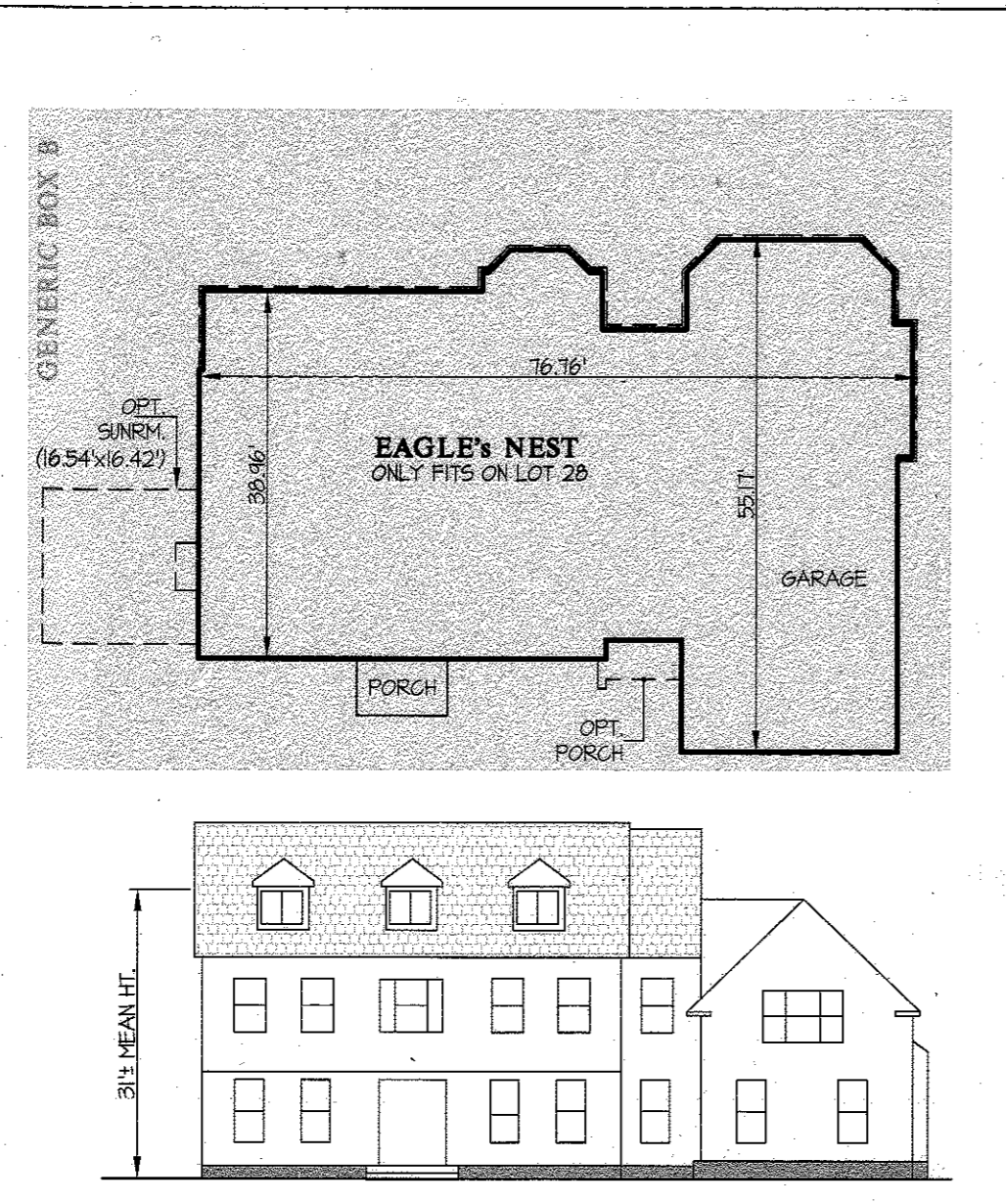
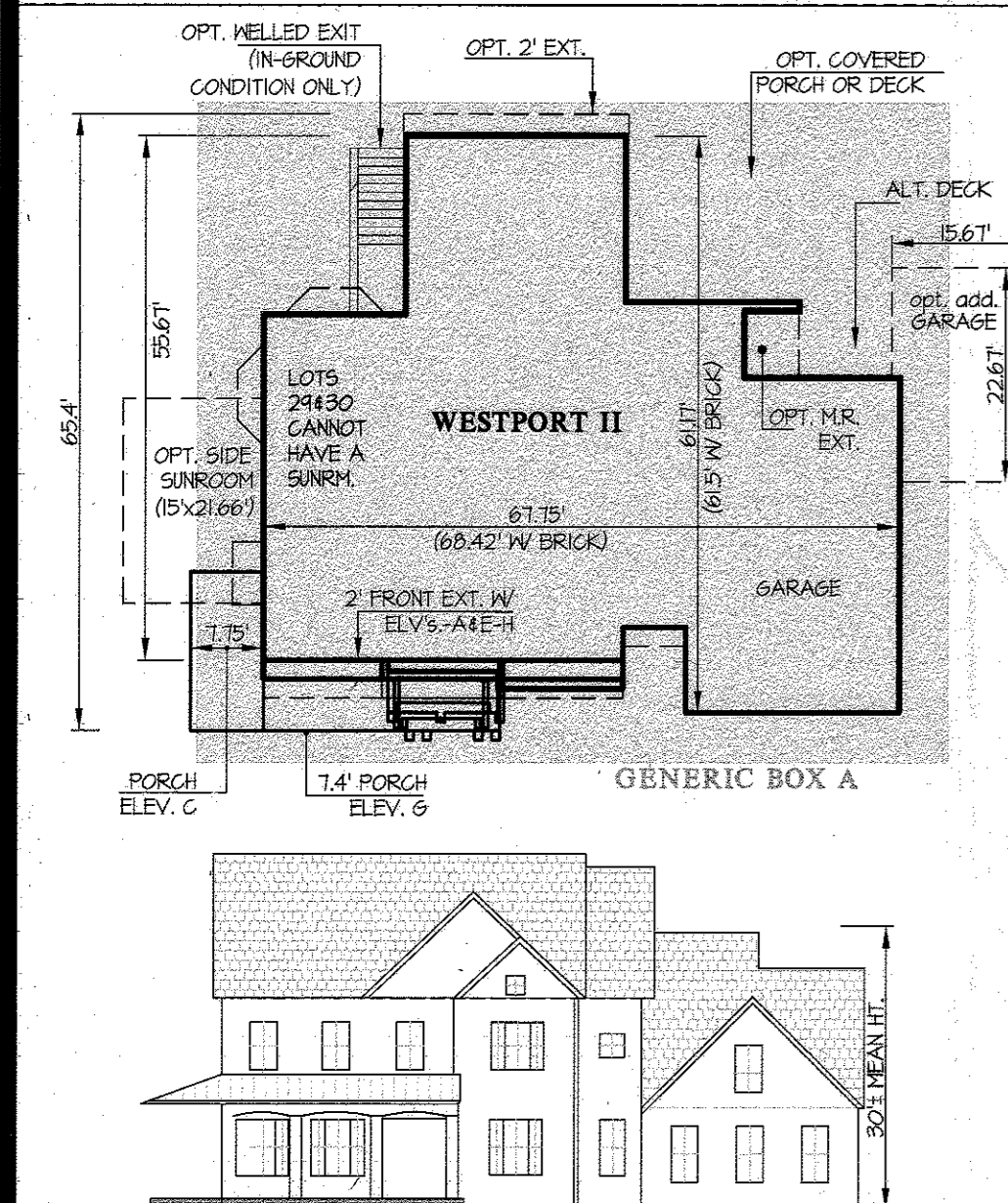
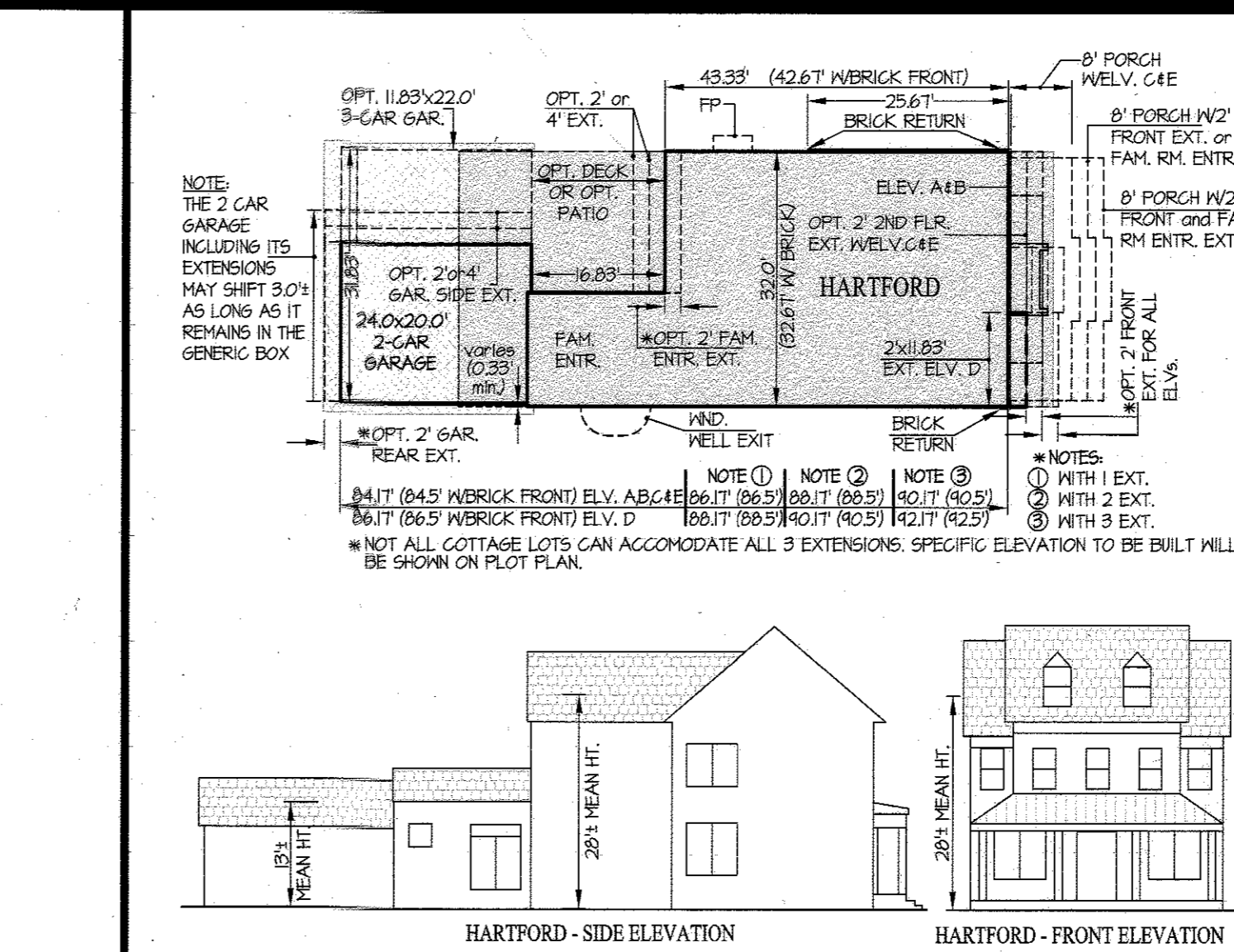
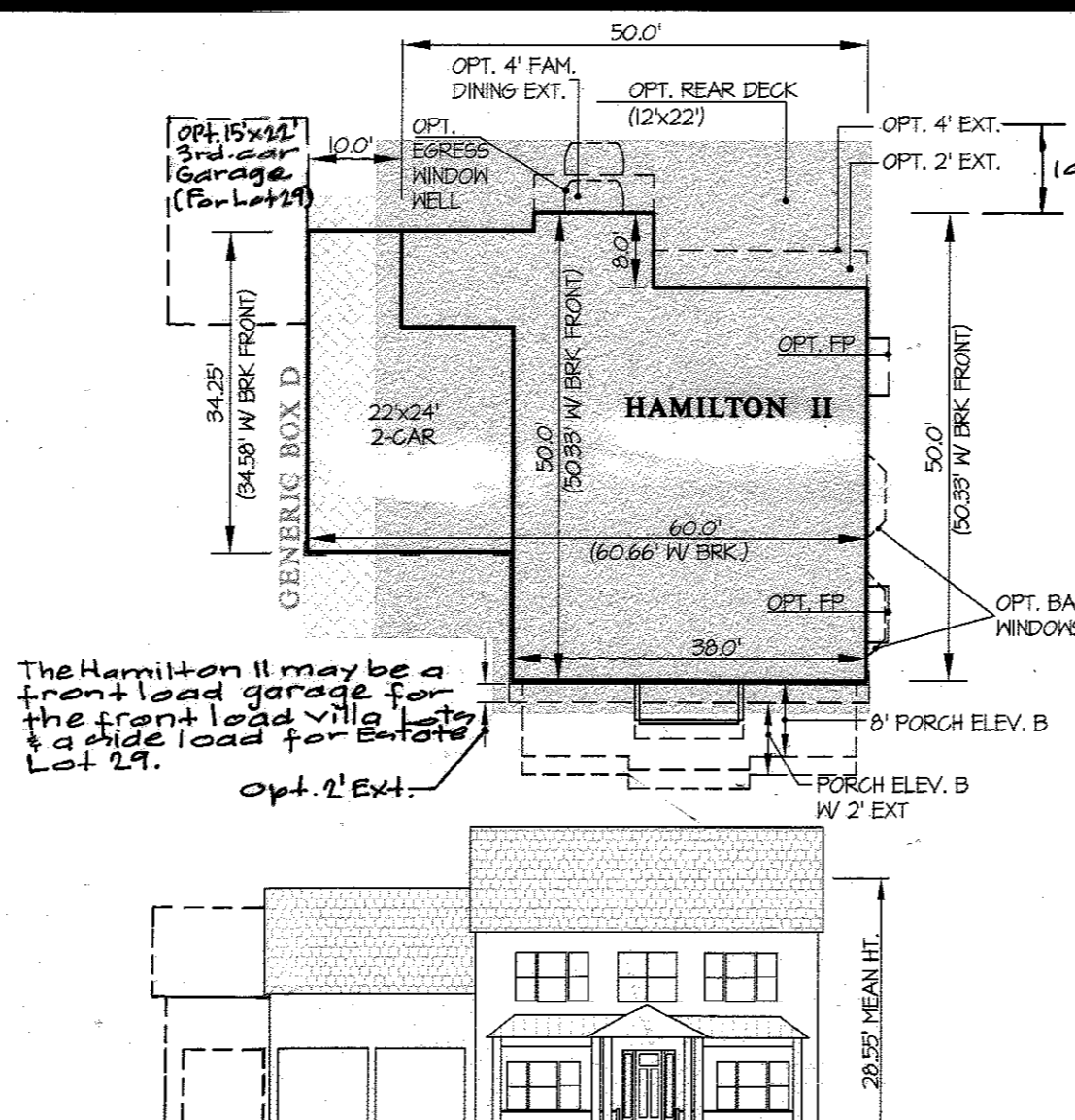
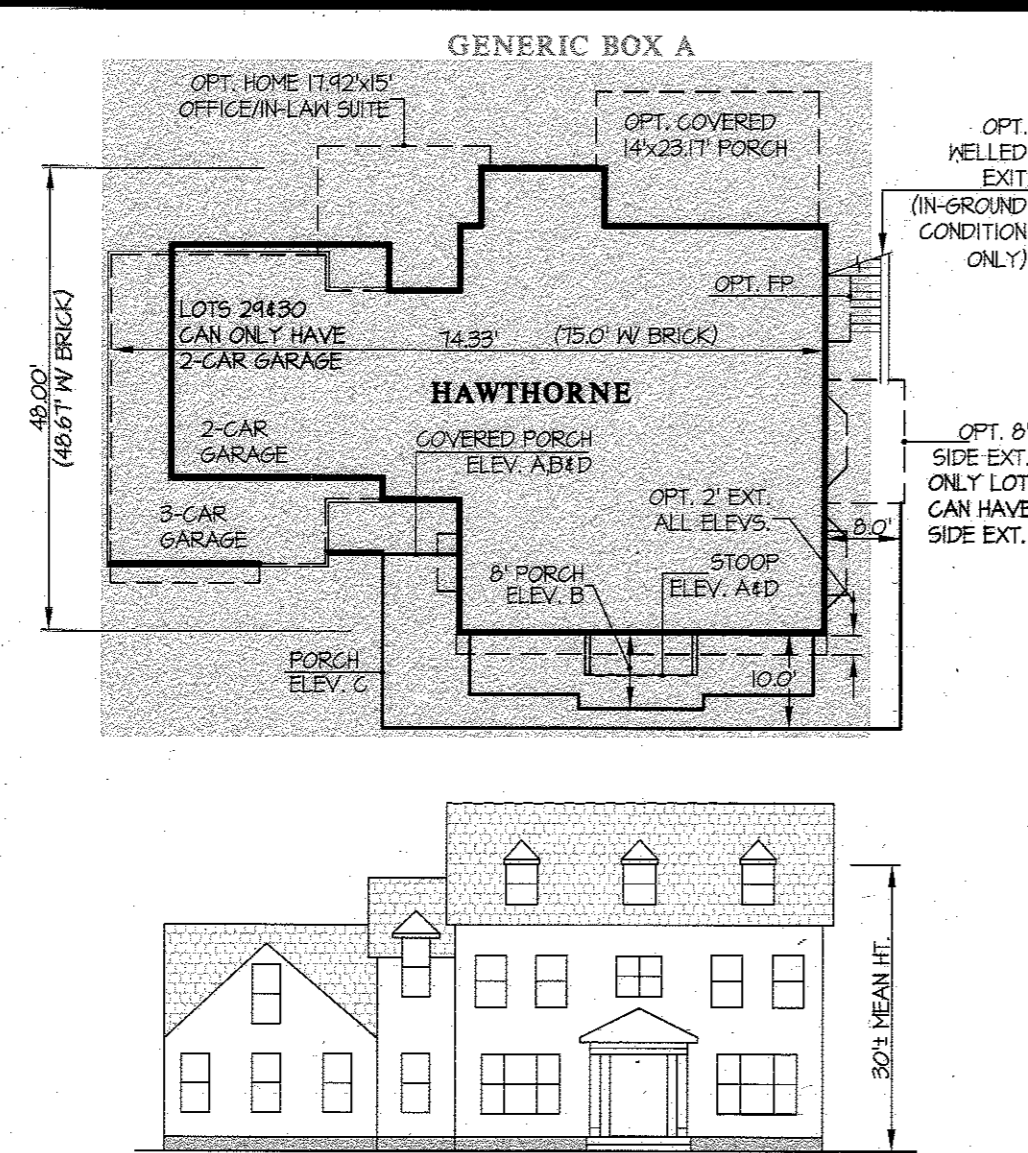
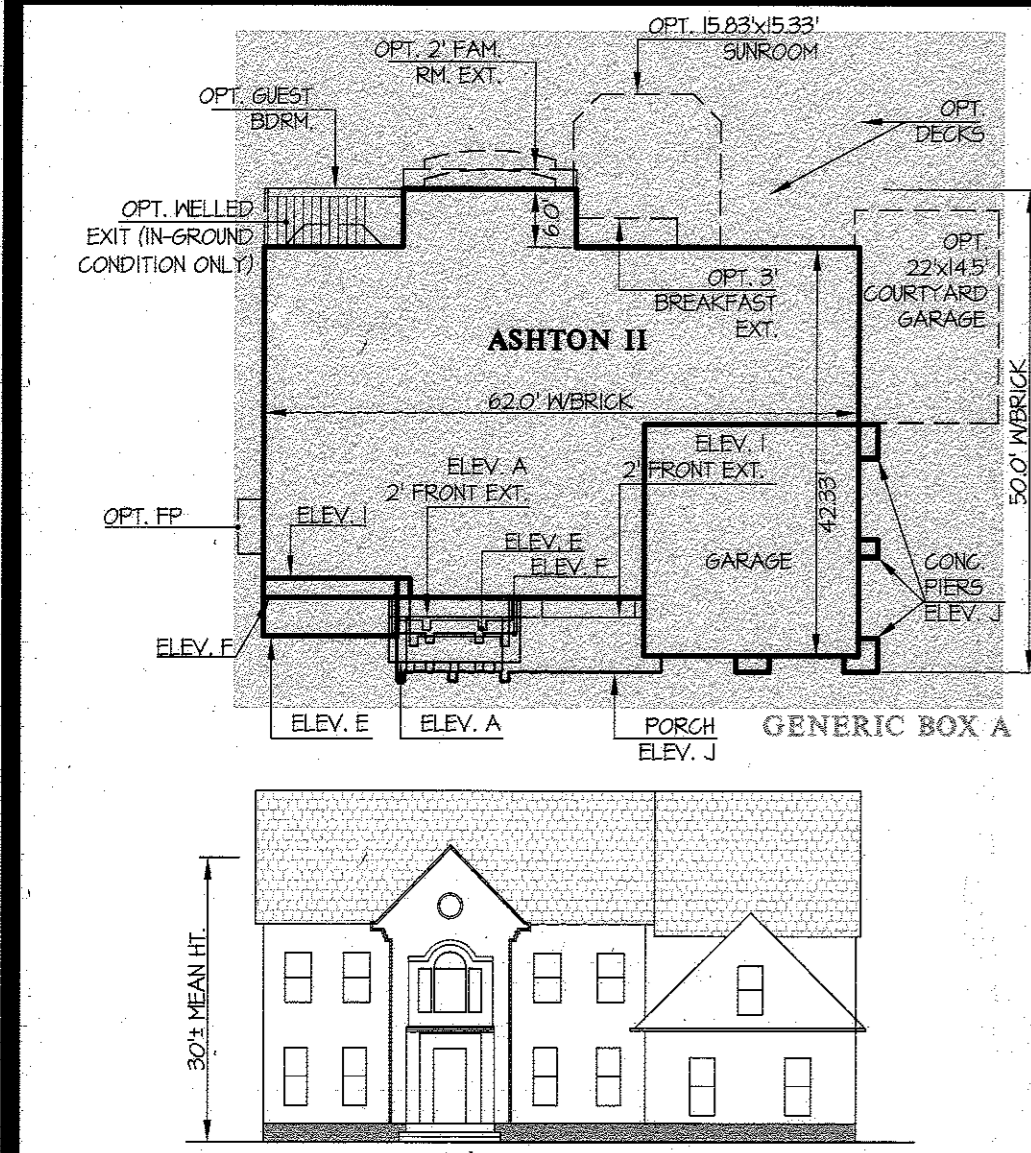
**SEWER HOUSE CONNECTIONS**  
MINIMUM GELLAR ELEVATIONS & INVERT ELEVATION @ P.I.

LOT	PROP. LINE ELEVATION	M.G.E.
28	438.20	445.02
29	441.41	448.27
30	443.31	441.15

NOTE: SEWER HOUSE CONNECTIONS IS 4'.



" See sheet 5 for Lot Coverage chart and additional house type details."



TYPICAL (estate) HOUSE FOOTPRINTS and ELEVATIONS (STANDARD (STD) ORIENTATION SHOWN) SCALE: 1"=20'

TYPICAL (front and rear load villa) HOUSE FOOTPRINTS and ELEVATIONS (STANDARD (STD) ORIENTATION SHOWN) SCALE: 1"=20'

TYPICAL (cottage) HOUSE FOOTPRINTS and ELEVATIONS (STANDARD (STD) ORIENTATION SHOWN) SCALE: 1"=20'

TYPICAL GENERIC BOX FOR ESTATE, COTTAGE, VILLAS (front and rear load) LOTS SCALE: 1"=20'

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING  
 Director: [Signature] 7-21-15  
 Chief, Division of Land Development: [Signature] 7-15-15  
 Chief, Development Engineering Division: [Signature] 7-8-15

PROFESSIONAL CERTIFICATION  
 I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 12475, EXPIRATION DATE: MAY 26, 2016.  
 [Signature] 6-1-15  
 [Professional Seal]

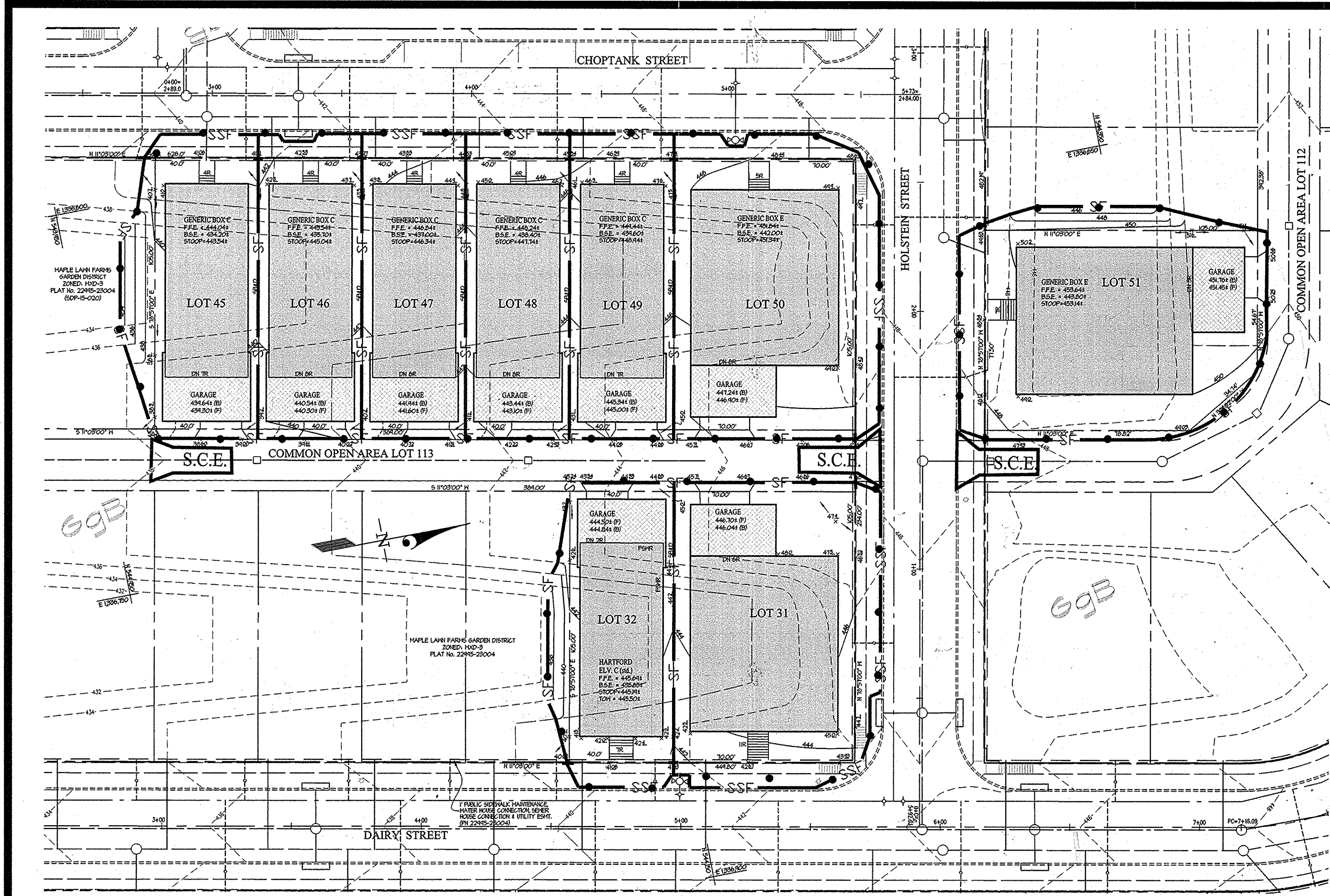
**GLWGUTSCHICK LITTLE & WEBER, P.A.**  
 CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS  
 3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK  
 BURTONSVILLE, MARYLAND 20866  
 TEL: 301-421-4024 BALT: 410-880-1820 DC/VA: 301-989-2524 FAX: 301-421-4186

DATE	REVISION	BY	APP'R.
11-23-2014	add a courtyard garage for the Hamilton II house	gt	kjp
12-14-2014	add note that cottage style homes can also be built on rear load villa lots	kjp	
10-16-2015	add opt. 3-car garage to Manchester & rev. generic box E	kjp	

PREPARED FOR:  
 PROPERTY OWNER (SELLER): MAPLE LAWN FARMS I, LLC  
 1829 REISTERSTOWN ROAD, SUITE 300  
 BALTIMORE, MD 21208  
 PH: 410-684-9400  
 ATTN: MARK BENNETT  
 BUILDER (CONTRACT PURCHASER): MB MAPLE LAWN LLC  
 1686 E. GUIDE DRIVE  
 ROCKVILLE, MARYLAND 20850  
 PH: 301-782-8511 x 2101  
 ATTN: ROBERT MITCHELL

SITE DETAILS  
**MAPLE LAWN FARMS**  
 GARDEN DISTRICT - AREA 1  
 LOT Nos. 20-24, 28-32, 45-51, 87 and 92  
 (SFD RESIDENTIAL USE)  
 PLAT Nos. 22995-23004  
 ELECTION DISTRICT No. 5

SCALE	ZONING	G. L. W. FILE No.
1"=20'	MXD-3	14052
DATE	TAX MAP - GRID	SHEET
MAY 2015	41-15&21	5 OF 10



THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

*John P. Roberts* 6/16/15  
HOWARD S.C.D. DATE

**BUILDER'S CERTIFICATE**  
I/WE CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A MARYLAND DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HSCD.

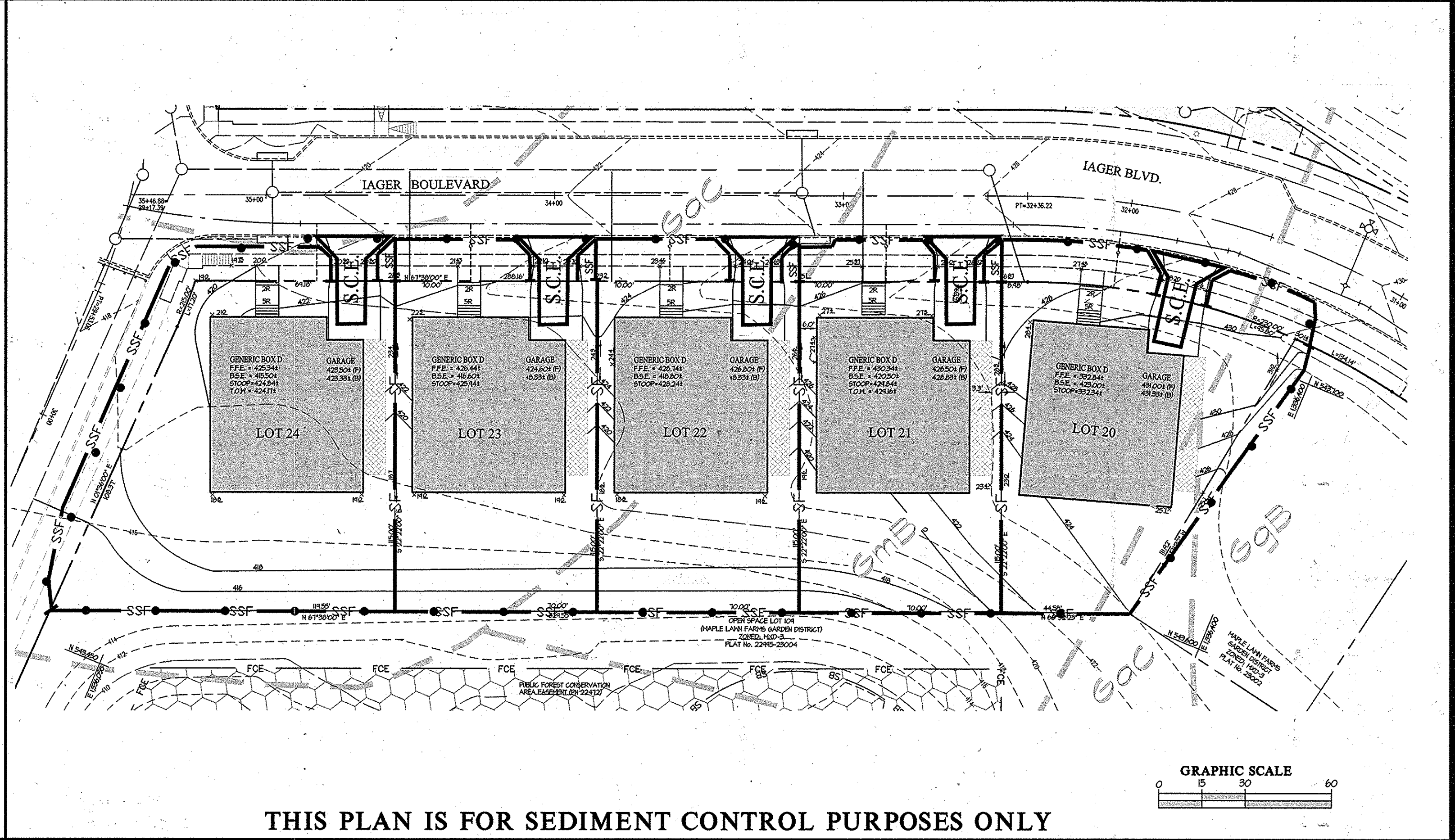
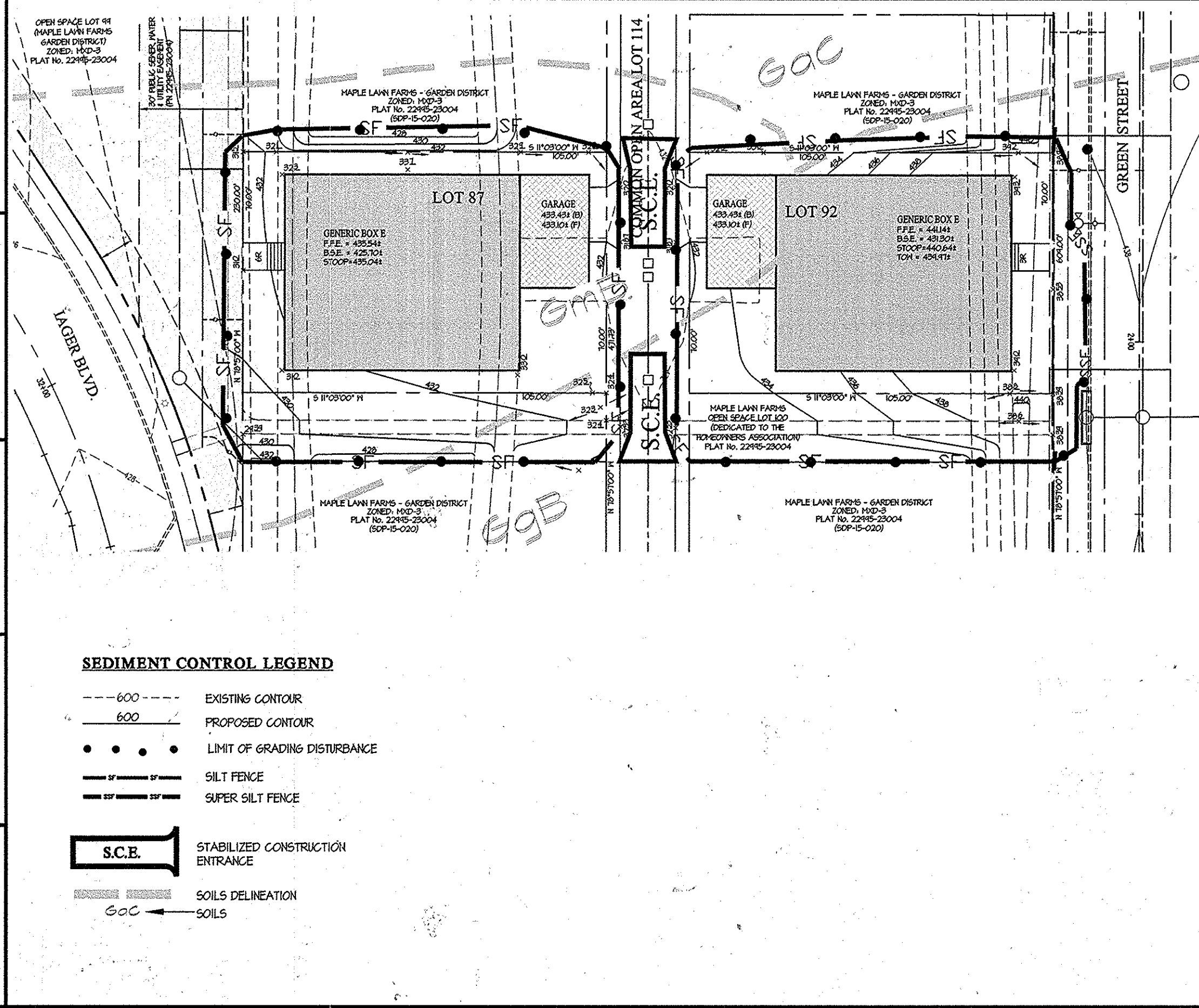
*WDS* 5/29/15  
SIGNATURE OF DEVELOPER/BUILDER DATE

**ENGINEER'S CERTIFICATE**  
I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

*Ch...* 6/11/15  
DATE

**PROFESSIONAL CERTIFICATION**  
I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 12975, EXPIRATION DATE: MAY 25, 2016.

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING  
*William J. J...* 7-21-15  
Director Date  
*K...* 7-15-15  
Chief, Division of Land Development Date  
*Ch...* 7-8-15  
Chief, Development Engineering Division Date



**GLWGUTSCHICK LITTLE & WEBER, P.A.**  
CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS  
3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK  
BURTONSVILLE, MARYLAND 20866  
TEL: 301-421-4024 BAL: 410-880-1820 DC/VA: 301-989-2524 FAX: 301-421-4186

L:\CD\00\00\00\12001\1452\1452\SP (rev 1)\1452\_06-07\_S (rev 1).dwg DES. MBT DRN. KLP CHK. MBT  
4.19.16 DATE Rev. ex. top at the rear of Estate lots for an- wilt avals REVISION  
BY: g.H. KLP APPR.

**SEDIMENT CONTROL LEGEND**

- 600 --- EXISTING CONTOUR
- 600 --- PROPOSED CONTOUR
- --- LIMIT OF GRADING DISTURBANCE
- --- SILT FENCE
- --- SUPER SILT FENCE
- S.C.E. STABILIZED CONSTRUCTION ENTRANCE
- --- SOILS DELINEATION
- G9C SOILS

**THIS PLAN IS FOR SEDIMENT CONTROL PURPOSES ONLY**

GRAPHIC SCALE  
0 15 30 60

PREPARED FOR:  
PROPERTY OWNER (SELLER): MAPLE LAWN FARMS, LLC, 1829 REISTERSTOWN ROAD, SUITE 300 BALTIMORE, MD 21208 PH: 410-484-8400 ATTN: MARK BENNETT

BUILDER (CONTRACT PURCHASER): MB MAPLE LAWN LLC, 1686 E. GUDE DRIVE ROCKVILLE, MARYLAND 20850 PH: 301-762-9511 x 2101 attn.: ROBERT MITCHELL

**SEDIMENT CONTROL PLAN**  
**MAPLE LAWN FARMS**  
GARDEN DISTRICT - AREA 1  
LOT Nos. 20-24, 28-32, 45-51, 87 and 92  
(STD RESIDENTIAL USE)  
PLAT No. 22995-23004

SCALE 1"=30'	ZONING MXD-3	G. L. W. FILE No. 14052
DATE MAY 2015	TAX MAP - GRID 41-15&21	SHEET 6 OF 10

ELECTION DISTRICT No. 5  
HOWARD COUNTY, MARYLAND  
SDP - 15 - 047

B-4-2 STANDARD AND SPECIFICATIONS FOR SOIL PREPARATION, TOPSOILING, AND SOIL AMENDMENTS

DEFINITION: THE PROCESS OF PREPARING THE SOILS TO SUSTAIN ADEQUATE VEGETATIVE STABILIZATION. PURPOSE: TO PROVIDE A SUITABLE SOIL MEDIUM FOR VEGETATIVE GROWTH.

- 1. SOIL PREPARATION
1.1. SEEDING
1.2. PERMANENT STABILIZATION
1.3. APPLICATION

- 2. TOPSOILING
2.1. SOIL AMENDMENTS
2.2. SOIL AMENDMENTS (FERTILIZER AND LIME SPECIFICATIONS)

- 3. SOIL AMENDMENTS (FERTILIZER AND LIME SPECIFICATIONS)
3.1. SOIL TESTS
3.2. FERTILIZERS
3.3. LIME

- 4. PROFESSIONAL CERTIFICATION
4.1. ENGINEER'S CERTIFICATE
4.2. BUILDER'S CERTIFICATE

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
Director: [Signature] 7-21-15
Chief, Division of Land Development: [Signature] 7-15-15
Chief, Development Engineering Division: [Signature] 7-8-15

GLWGUTSCHICK LITTLE & WEBER, P.A.
CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
3909 NATIONAL DRIVE - SUITE 250 - BURTINSVILLE OFFICE PARK
BURTINSVILLE, MARYLAND 20866
TEL: 301-421-4024 FAX: 301-421-4186

Table with columns: DATE, REVISION, BY, APPR. Includes project details like PROPERTY OWNER, BUILDER, and ADDRESS.

B-4-3 STANDARDS AND SPECIFICATIONS FOR SEEDING AND MULCHING

DEFINITION: THE APPLICATION OF SEED AND MULCH TO ESTABLISH VEGETATIVE COVER. PURPOSE: TO PROTECT DISTURBED SOILS FROM EROSION DURING AND AT THE END OF CONSTRUCTION.

- 1. SEEDING
1.1. ALL SEED MUST MEET THE REQUIREMENTS OF THE MARYLAND STATE SEED LAW
1.2. MULCH ALONE MAY BE APPLIED BETWEEN THE FALL AND SPRING SEEDING DATES

- 2. MULCHING
2.1. MULCH MATERIALS (IN ORDER OF PREFERENCE)
2.2. APPLICATION

- 3. PROFESSIONAL CERTIFICATION
3.1. ENGINEER'S CERTIFICATE
3.2. BUILDER'S CERTIFICATE

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
Director: [Signature] 7-21-15
Chief, Division of Land Development: [Signature] 7-15-15
Chief, Development Engineering Division: [Signature] 7-8-15

GLWGUTSCHICK LITTLE & WEBER, P.A.
CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
3909 NATIONAL DRIVE - SUITE 250 - BURTINSVILLE OFFICE PARK
BURTINSVILLE, MARYLAND 20866
TEL: 301-421-4024 FAX: 301-421-4186

Table with columns: DATE, REVISION, BY, APPR. Includes project details like PROPERTY OWNER, BUILDER, and ADDRESS.

B-4-4 STANDARDS AND SPECIFICATIONS FOR TEMPORARY STABILIZATION

DEFINITION: TO STABILIZE DISTURBED SOILS WITH VEGETATION FOR UP TO 6 MONTHS. PURPOSE: TO USE FAST GROWING VEGETATION THAT PROVIDES COVER ON DISTURBED SOILS.

- 1. SELECT ONE OR MORE OF THE SPECIES OR SEED MIXTURES LISTED IN TABLE B.1 FOR THE APPROPRIATE PLANT HARDNESS ZONE
1.1. SEED MIXTURES
1.2. SEEDING DATES

Table: SEED MIXTURES. Columns: No., SPECIES, APPLICATION RATE, SEEDING DATES, SEEDING DEPTHS, FERTILIZER RATE, LIME RATE.

- 2. SEDIMENT CONTROL NOTES
2.1. A MINIMUM OF 48 HOURS NOTICE MUST BE GIVEN TO THE HOWARD COUNTY DEPARTMENT OF INSPECTION, LICENSES AND PERMITS, SEDIMENT CONTROL DIVISION

- 3. STANDARDS AND SPECIFICATIONS FOR DUST CONTROL
3.1. CONTROLLING THE SUSPENSION OF DUST PARTICLES FROM CONSTRUCTION ACTIVITIES
3.2. PREVENT BLOWING AND MOVEMENT OF DUST FROM EXPOSED SOIL SURFACES

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
Director: [Signature] 7-21-15
Chief, Division of Land Development: [Signature] 7-15-15
Chief, Development Engineering Division: [Signature] 7-8-15

GLWGUTSCHICK LITTLE & WEBER, P.A.
CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
3909 NATIONAL DRIVE - SUITE 250 - BURTINSVILLE OFFICE PARK
BURTINSVILLE, MARYLAND 20866
TEL: 301-421-4024 FAX: 301-421-4186

Table with columns: DATE, REVISION, BY, APPR. Includes project details like PROPERTY OWNER, BUILDER, and ADDRESS.

B-4-5 STANDARDS AND SPECIFICATIONS FOR PERMANENT STABILIZATION

DEFINITION: TO STABILIZE DISTURBED SOILS WITH PERMANENT VEGETATION. PURPOSE: TO USE LONG-LIVED PERENNIAL GRASSES AND LEGUMES TO ESTABLISH PERMANENT GROUND COVER.

- 1. SEED MIXTURES
1.1. GENERAL USE
1.2. TURFGRASS MIXTURES

- 2. PERMANENT STABILIZATION
2.1. SEED MIXTURES
2.2. SEEDING DATES

- 3. STANDARDS AND SPECIFICATIONS FOR DUST CONTROL
3.1. CONTROLLING THE SUSPENSION OF DUST PARTICLES FROM CONSTRUCTION ACTIVITIES
3.2. PREVENT BLOWING AND MOVEMENT OF DUST FROM EXPOSED SOIL SURFACES

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
Director: [Signature] 7-21-15
Chief, Division of Land Development: [Signature] 7-15-15
Chief, Development Engineering Division: [Signature] 7-8-15

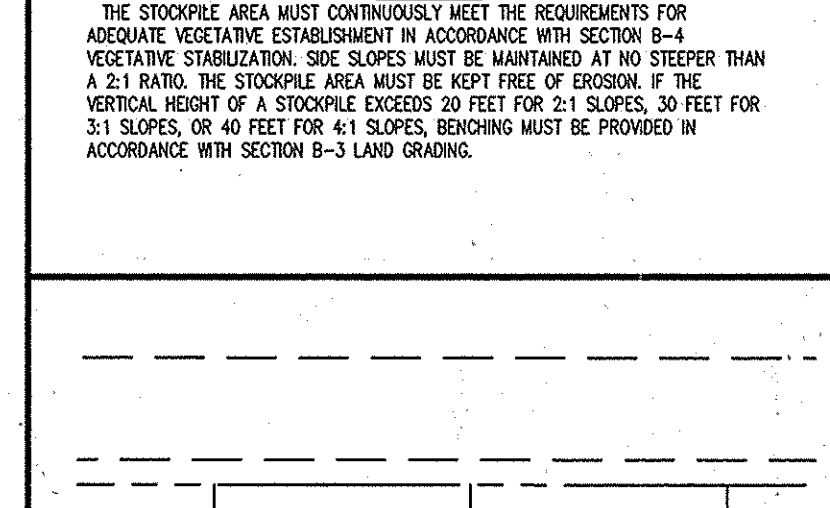
GLWGUTSCHICK LITTLE & WEBER, P.A.
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3909 NATIONAL DRIVE - SUITE 250 - BURTINSVILLE OFFICE PARK
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TEL: 301-421-4024 FAX: 301-421-4186

Table with columns: DATE, REVISION, BY, APPR. Includes project details like PROPERTY OWNER, BUILDER, and ADDRESS.

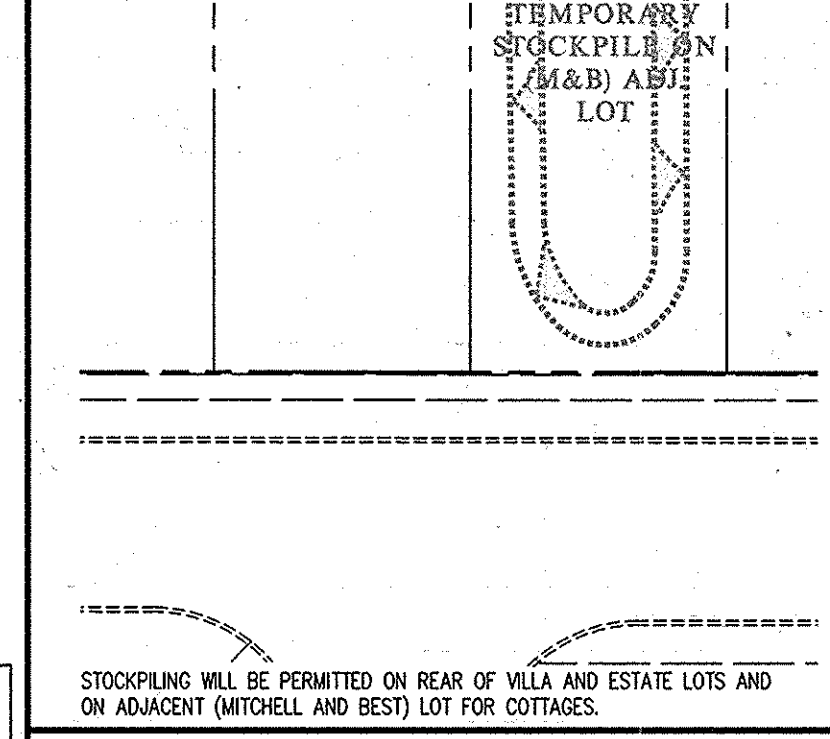
B-4-8 STANDARDS AND SPECIFICATIONS FOR STOCKPILE AREA

DEFINITION: A MOUND OR PILE OF SOIL PROTECTED BY APPROPRIATELY DESIGNED EROSION AND SEDIMENT CONTROL MEASURES. PURPOSE: TO PROVIDE A DESIGNATED LOCATION FOR THE TEMPORARY STORAGE OF SOIL THAT CONTROLS THE POTENTIAL FOR EROSION, STABILIZATION, AND CHANGES TO DRAINAGE PATTERNS.

- 1. STOCKPILE LOCATION AND ALL RELATED SEDIMENT CONTROL PRACTICES MUST BE CLEARLY INDICATED ON THE EROSION AND SEDIMENT CONTROL PLAN
1.1. STOCKPILE LOCATION
1.2. STOCKPILE AREA



- 2. STOCKPILE AREA
2.1. STOCKPILE AREA
2.2. STOCKPILE AREA

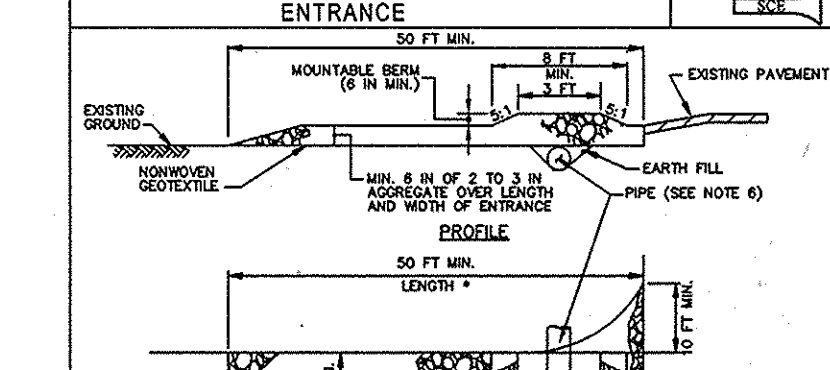


APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
Director: [Signature] 7-21-15
Chief, Division of Land Development: [Signature] 7-15-15
Chief, Development Engineering Division: [Signature] 7-8-15

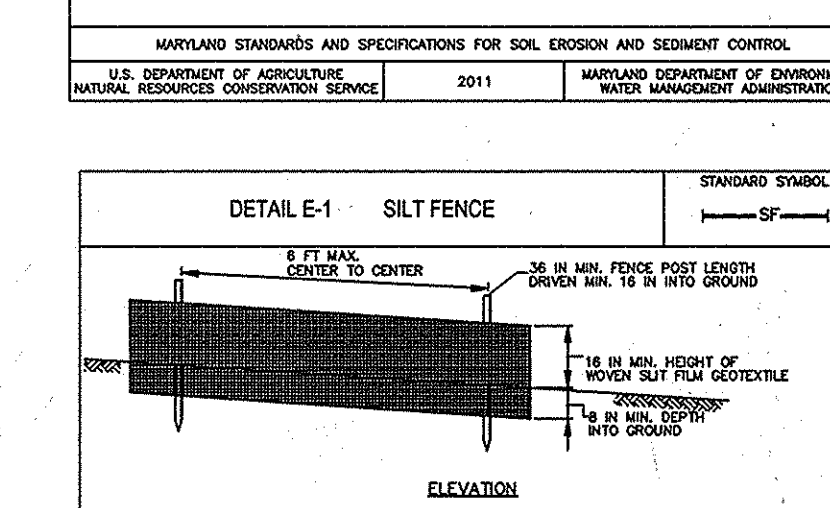
GLWGUTSCHICK LITTLE & WEBER, P.A.
CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
3909 NATIONAL DRIVE - SUITE 250 - BURTINSVILLE OFFICE PARK
BURTINSVILLE, MARYLAND 20866
TEL: 301-421-4024 FAX: 301-421-4186

Table with columns: DATE, REVISION, BY, APPR. Includes project details like PROPERTY OWNER, BUILDER, and ADDRESS.

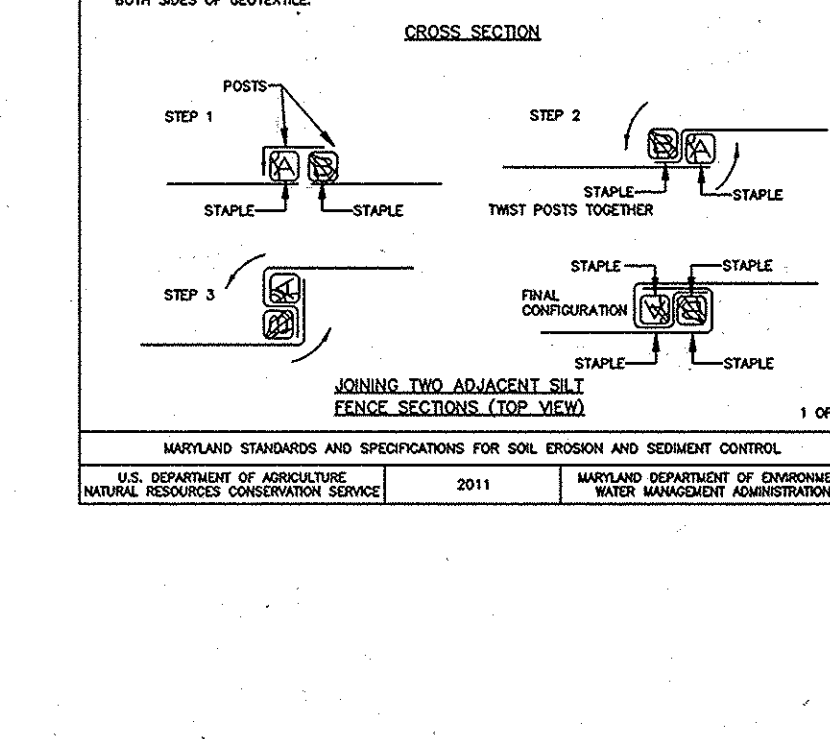
DETAIL B-1 STABILIZED CONSTRUCTION ENTRANCE



- 1. STABILIZED CONSTRUCTION ENTRANCE
1.1. STABILIZED CONSTRUCTION ENTRANCE
1.2. STABILIZED CONSTRUCTION ENTRANCE



- 2. SILT FENCE
2.1. SILT FENCE
2.2. SILT FENCE

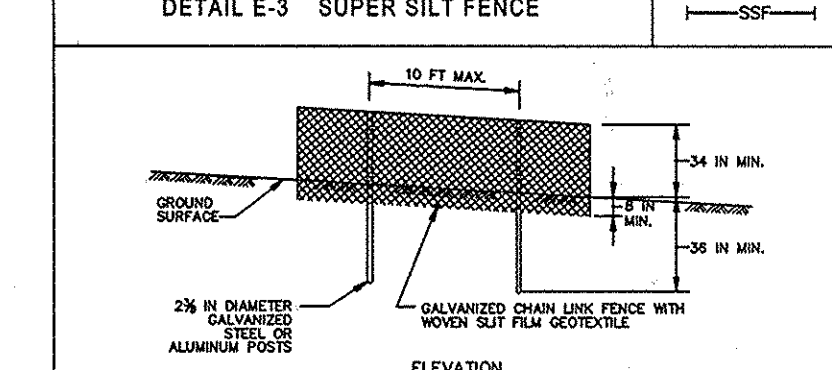


APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
Director: [Signature] 7-21-15
Chief, Division of Land Development: [Signature] 7-15-15
Chief, Development Engineering Division: [Signature] 7-8-15

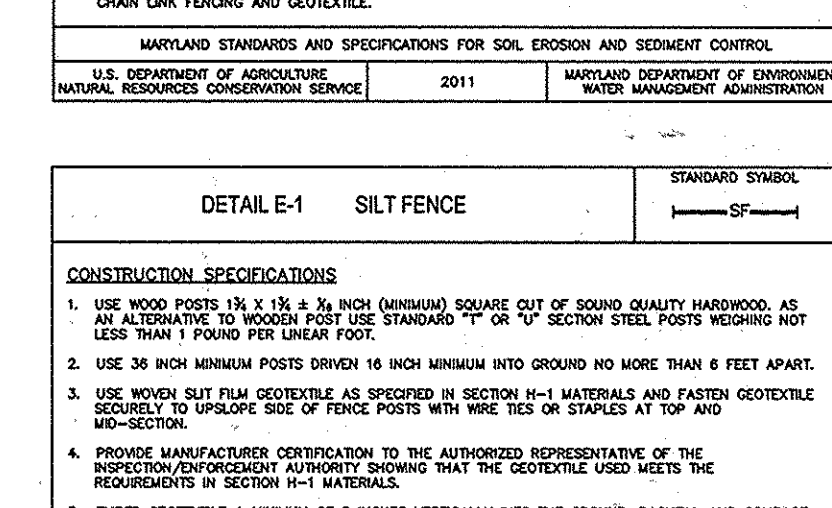
GLWGUTSCHICK LITTLE & WEBER, P.A.
CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
3909 NATIONAL DRIVE - SUITE 250 - BURTINSVILLE OFFICE PARK
BURTINSVILLE, MARYLAND 20866
TEL: 301-421-4024 FAX: 301-421-4186

Table with columns: DATE, REVISION, BY, APPR. Includes project details like PROPERTY OWNER, BUILDER, and ADDRESS.

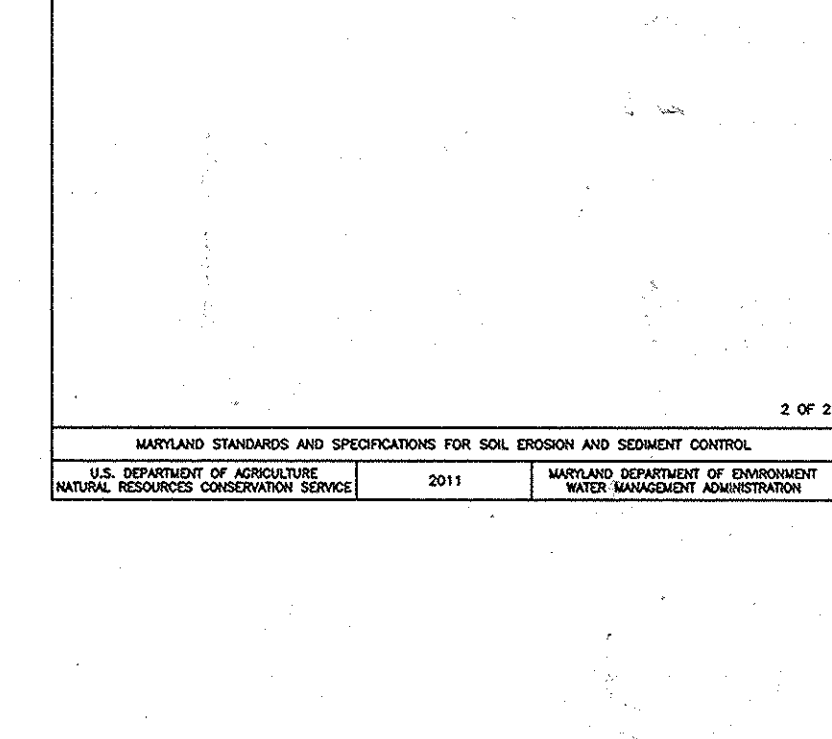
DETAIL E-3 SUPER SILT FENCE



- 1. SUPER SILT FENCE
1.1. SUPER SILT FENCE
1.2. SUPER SILT FENCE



- 2. SILT FENCE
2.1. SILT FENCE
2.2. SILT FENCE



APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
Director: [Signature] 7-21-15
Chief, Division of Land Development: [Signature] 7-15-15
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GLWGUTSCHICK LITTLE & WEBER, P.A.
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Table with columns: DATE, REVISION, BY, APPR. Includes project details like PROPERTY OWNER, BUILDER, and ADDRESS.

THIS PLAN IS FOR SEDIMENT CONTROL PURPOSES ONLY

Table with columns: SCALE, ZONING, G. L. W. FILE No., DATE, TAX MAP - GRID, SHEET. Includes project details like MAPLE LAWN FARMS and GARDEN DISTRICT - AREA 1.

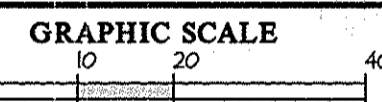
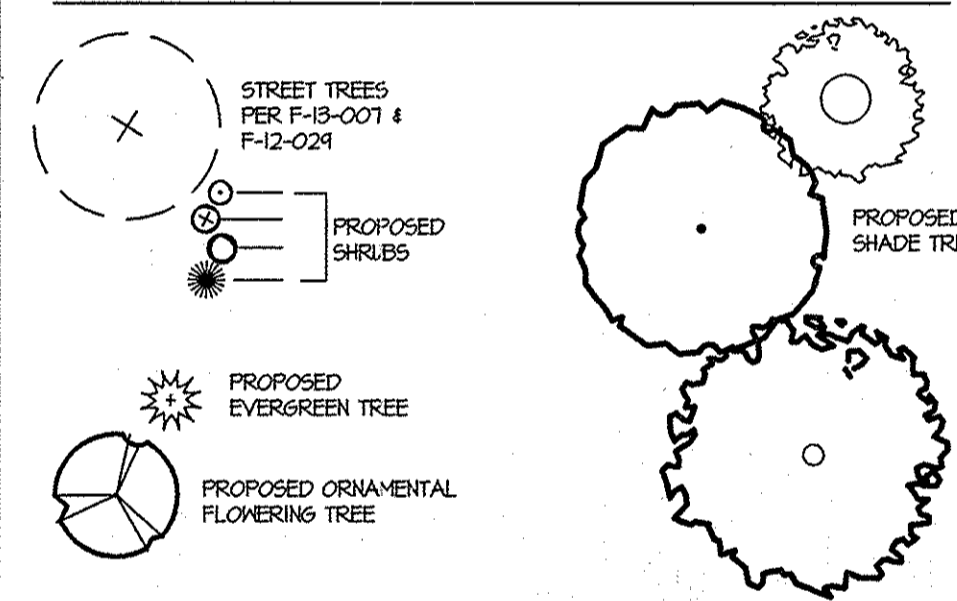
**LANDSCAPE NOTES**

- THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH SECTION 16.124 OF THE HOWARD COUNTY CODE & CHAPTER VI OF THE HOWARD COUNTY LANDSCAPE MANUAL (ALTERNATIVE COMPLIANCE) PLUS THE LANDSCAPE DESIGN CRITERIA OF 5-06-16 AND FB CASE No. 370.
- CONTRACTOR SHALL NOTIFY ALL UTILITIES AT LEAST (5) FIVE DAYS BEFORE STARTING WORK. ALL GENERAL NOTES, ESPECIALLY THOSE REGARDING UTILITIES, ON SHEET No.1 SHALL APPLY.
- FIELD VERIFY UNDERGROUND UTILITY LOCATIONS AND EXISTING CONDITIONS BEFORE STARTING PLANTING WORK. CONTACT CONSTRUCTION MANAGER OR OWNER IF ANY RELOCATIONS ARE REQUIRED.
- PLANT QUANTITIES SHOWN ON THE PLANT LIST ARE PROVIDED FOR THE CONVENIENCE OF THE CONTRACTOR ONLY. IF DISCREPANCIES EXIST BETWEEN QUANTITIES SHOWN ON THE PLAN AND THOSE SHOWN ON THE PLANT LIST, THE QUANTITIES ON THE PLAN SHALL TAKE PRECEDENCE.
- ALL PLANT MATERIAL SHALL BE FULL, HEAVY, WELL FORMED, SYMMETRICAL, AND CONFORM TO THE AASJ SPECIFICATIONS. ALL PLANT MATERIAL SHALL BE INSTALLED IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS AND THIS PLAN.
- NO SUBSTITUTION SHALL BE MADE WITHOUT PRIOR APPROVAL FROM HOWARD COUNTY DPZ AND THE OWNER OR HIS REPRESENTATIVE.
- ALL AREAS DISTURBED BY CONSTRUCTION ACTIVITIES BUT NOT OTHERWISE PLANTED, PAVED, OR MULCHED SHALL BE SOCCOED OR SEEDED IN ACCORDANCE WITH THE PERMANENT SEEDING SPECIFICATION. A MINIMUM OF 4" OF TOPSOIL SHALL BE PROVIDED TO ALL PLANTING AREAS (FOR TOPSOIL SPEC. SEE SHEET 6).
- THE CONTRACTOR SHALL NOTIFY THE OWNER IN WRITING IF HE/SHE ENCOUNTERS SOIL DRAINAGE CONDITIONS THAT MAY BE DETRIMENTAL TO THE GROWTH OF THE PLANTS.
- ALL EXPOSED EARTH WITHIN THE LIMITS OF PLANTING BEDS SHALL BE MULCHED WITH SHREDDED HARDWOOD MULCH PER THE PLANTING DETAILS.
- DO NOT PLANT WITHIN THE PUBLIC WATER, SEWER AND UTILITY EASEMENT.
- SCHEDULE-C IS PROVIDED FOR LANDSCAPE SURETY CALCULATION PURPOSES. FINANCIAL SURETY FOR THE REQUIRED LANDSCAPING SHALL BE POSTED WITH THE GRADING PERMIT FOR HOUSE CONSTRUCTION IN THE AMOUNT OF \$ 37,650.00 FOR THE LOTS PER THIS SDP AS FOLLOWS:  
 825 SHRUBS AT \$30/SHRUB = \$ 24,750.00  
 43 TREES AT \$300.00/TREE = \$ 12,900.00

FOR LANDSCAPE INSPECTION TO OBTAIN THE RELEASE OF THE SURETY, CONTACT HOWARD COUNTY DEPT. OF PLANNING & ZONING AT 410-313-2350. SEE THE CHART BELOW THIS SHEET FOR THE BREAK DOWN OF THE SURETY ON A PER LOT BASIS.

- NOTES:**
- AT THE TIME OF PLANT INSTALLATION, ALL SHRUBS AND TREES LISTED AND APPROVED ON THE LANDSCAPE PLAN SHALL COMPLY WITH THE PROPER HEIGHT REQUIREMENT IN ACCORDANCE WITH THE HOWARD COUNTY LANDSCAPE MANUAL. IN ADDITION, NO SUBSTITUTIONS OR RELOCATIONS OF THE REQUIRED PLANTINGS MAY BE MADE WITHOUT PRIOR REVIEW AND APPROVAL FROM THE DEPARTMENT OF PLANNING AND ZONING. ANY DEVIATION FROM THE APPROVED LANDSCAPE PLAN MAY RESULT IN DENIAL IN THE RELEASE OF LANDSCAPE SURETY UNTIL SUCH TIME AS ALL REQUIRED MATERIALS ARE PLANTED AND/OR REVISIONS ARE MADE TO THE APPLICABLE PLANS.
  - THE OWNER, TENANTS AND/OR THEIR AGENTS SHALL BE RESPONSIBLE FOR MAINTENANCE OF THE REQUIRED LANDSCAPING INCLUDING BOTH PLANT MATERIALS AND BERMS, FENCES AND WALLS. ALL PLANT MATERIALS SHALL BE MAINTAINED IN GOOD GROWING CONDITION, AND WHEN NECESSARY, REPLACED WITH NEW MATERIAL TO ENSURE CONTINUED COMPLIANCE WITH APPLICABLE REGULATIONS. ALL OTHER REQUIRED LANDSCAPING SHALL BE PERMANENTLY MAINTAINED IN GOOD CONDITION, AND WHEN NECESSARY, REPAIRED OR REPLACED.

**LEGEND**



STATE OF MARYLAND

Michael B. Tran

ARCHITECT

6.1.15

933 LANDSCAPE ARCHITECT

**DEVELOPER'S/BUILDER'S CERTIFICATE**

I/WE CERTIFY THAT THE LANDSCAPING SHOWN ON THIS PLAN WILL BE DONE ACCORDING TO THE PLAN, SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE HOWARD COUNTY LANDSCAPE MANUAL AND THE MFL LANDSCAPE DESIGN CRITERIA. I/WE FURTHER CERTIFY THAT UPON COMPLETION A LETTER OF LANDSCAPE INSTALLATION ACCOMPANIED BY AN ESCORTED ONE YEAR GUARANTEE OF PLANT MATERIALS, WILL BE SUBMITTED TO THE DEPARTMENT OF PLANNING AND ZONING.

SIGNATURE OF DEVELOPER/BUILDER: *[Signature]* DATE: 5/29/15

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

Director: *[Signature]* DATE: 7-22-15

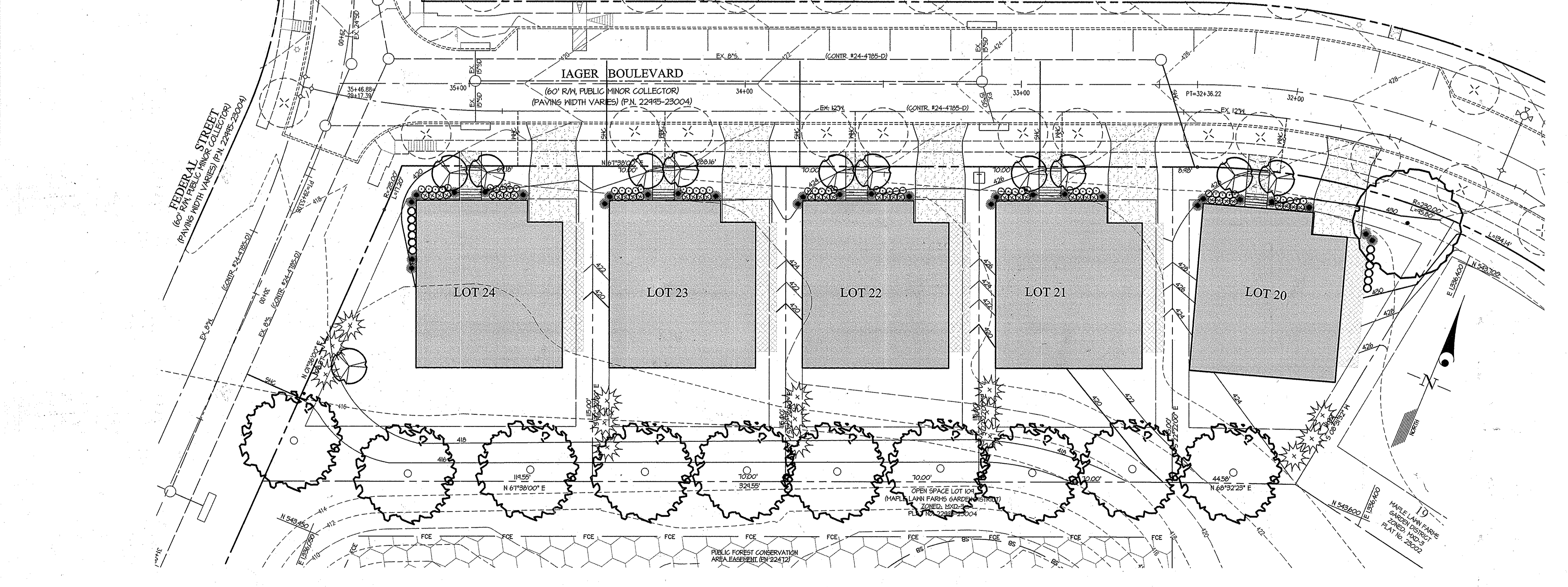
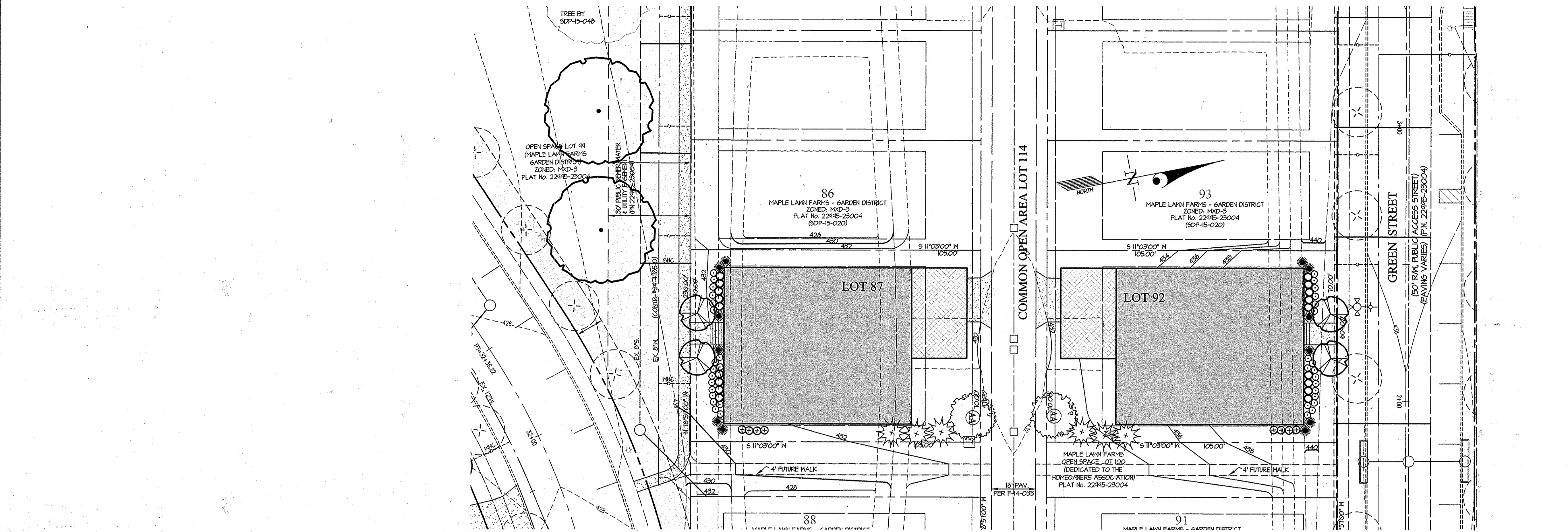
Chief, Division of Land Development: *[Signature]* DATE: 7-15-15

Chief, Development Engineering Division: *[Signature]* DATE: 7-8-15

**GLWGUTSCHICK LITTLE & WEBER, P.A.**

CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS  
 3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK  
 BURTONSVILLE, MARYLAND 20866  
 TEL: 301-421-4024 BALT: 410-880-1820 DC/VA: 301-989-2524 FAX: 301-421-4186

L:\CAD\DRAWINGS\12001\14052 (446) SDP (Area 1)\14052\_06-10 LS (Area 1).dwg DES. MBT DRN. KLP CHK. MBT



**THIS PLAN IS FOR PLANTING PURPOSES ONLY**

LANDSCAPE PLAN  
**MAPLE LAWN FARMS**  
 GARDEN DISTRICT - AREA 1  
 LOT Nos. 20-24, 28-32, 45-51, 87 and 92  
 (SFD RESIDENTIAL USE)  
 PLAT Nos. 22995-23004

SCALE	ZONING	G. L. W. FILE No.
1"=20'	MXD-3	14052
DATE	TAX MAP - GRID	SHEET
MAY 2015	41-15&21	8 OF 10

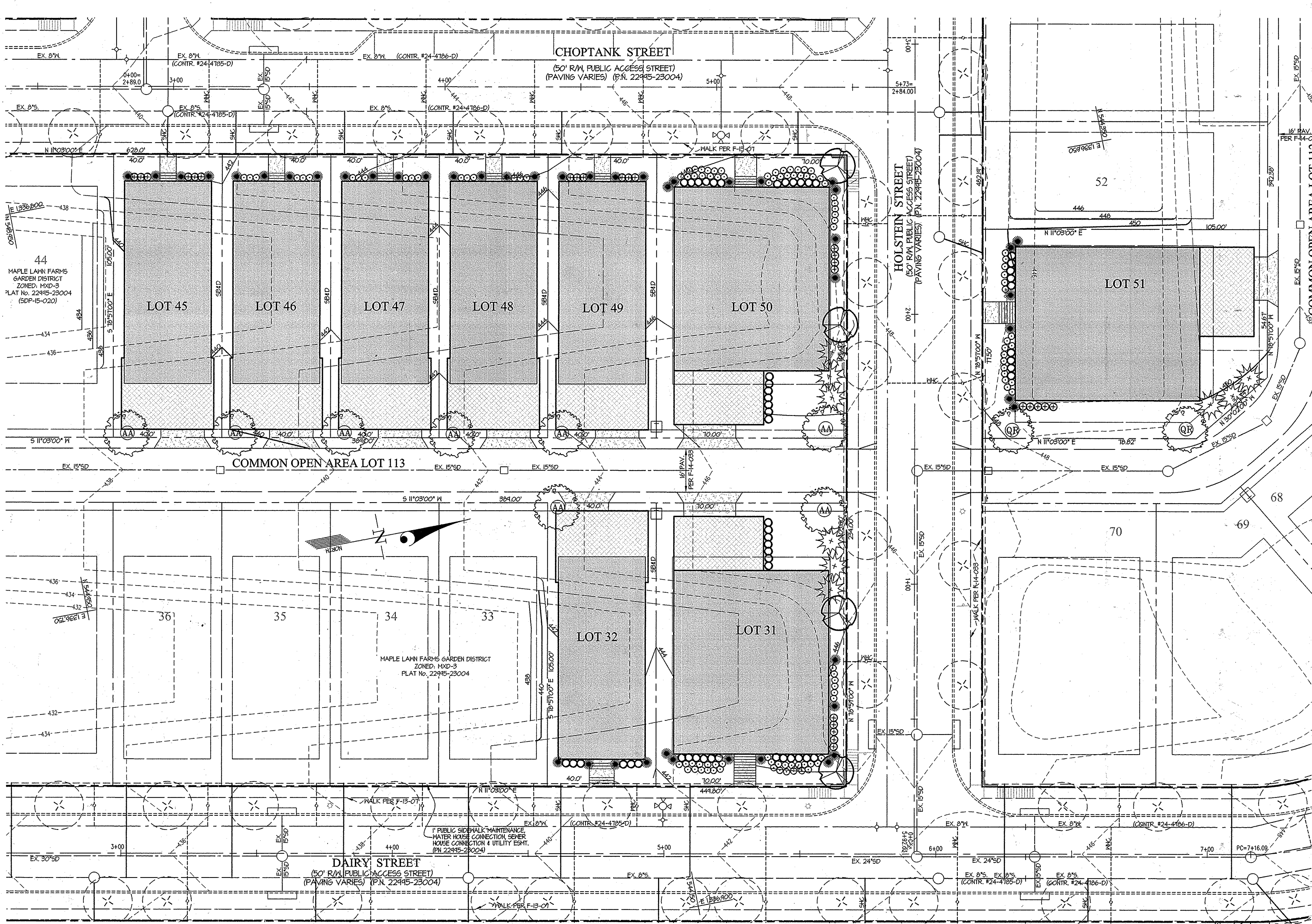
PREPARED FOR:  
 PROPERTY OWNER (SELLER): MAPLE LAWN FARMS I, L.L.C. 1829 REISTERSTOWN ROAD, SUITE 300 BALTIMORE, MD 21208 PH: 410-484-8400 ATTN: MARK BENNETT  
 BUILDER (CONTRACT PURCHASER): MB MAPLE LAWN L.L.C. 1888 E. GUIDE DRIVE ROCKVILLE, MARYLAND 20850 PH: 301-762-9511 x 2101 attn: ROBERT MITCHELL

ELECTION DISTRICT No. 5

HOWARD COUNTY, MARYLAND



PLANT LIST				
SYMBOL	QUANT.	SIZE	NAME (BOTANICAL/COMMON) OF PLANTS FOR SELECTION BY OWNER/BUYER	COMMENTS
	3	ALL SHADE TREES SHALL BE 2 1/2" CAL. AND 12' MIN. HT.	SOPHORA JAPONICA / JAPANESE PAGODA TREE OR CLADRASTIS KENTUCKEA / AMERICAN YELLOWWOOD	ALL B4B
	14	ALL SHADE TREES SHALL BE 2 1/2" CAL. AND 12' MIN. HT.	SOPHORA JAPONICA / JAPANESE PAGODA TREE QUERCUS RUBRA / NORTHERN RED OAK QUERCUS PHellos / WILLOW OAK TILIA CORDATA / GREENSPICE / GREENSPICE LITTLELEAF LINDEN ZELKOVA SERRATA / GREEN VASE / GREEN VASE ZELKOVA ZELKOVA SERRATA / VILLAGE GREEN / VILLAGE GREEN ZELKOVA	ALL B4B
	10	ALL SHADE TREES SHALL BE 2 1/2" CAL. AND 12' MIN. HT.	ACER X FREEMANNI 'ARMSTRONG' / ARMSTRONG MAPLE	ALL B4B
	2	ALL SHADE TREES SHALL BE 2 1/2" CAL. AND 12' MIN. HT.	QUERCUS ROBUR X Q. ALBA 'CRINCHMIDT' / CRIMSON SPIRE OAK	ALL B4B
	23	ALL ORNAMENTAL FLOWERING TREES SHALL BE 1 1/2" CAL. AND 8-10' HT.	AMELANCHIER CANADENSIS / SHADELOW SERVICEBERRY CRATAEGUS VIGORS WINTER KING / WINTER KING HAWTHORNE QUERCUS CANADENSIS / EASTERN REDBUD MAGNOLIA SOULANIANSA / SAUCKER MAGNOLIA MAGNOLIA STELLATA / STAR MAGNOLIA BETULA NIGRA / RIVER BIRCH LASESTROBILIA INDICA / GRAPE HYDRILE TONTO!	ALL B4B. SERVICEBERRY SHALL BE TREE FORM
	34	ALL EVERGREEN TREES SHALL BE 6-8' HT.	ILEX X NELLIE R. STEVENS / NELLIE R. STEVENS HOLLY THUJA PLICATA SPRING GROVE / SPRING GROVE ARBORVITAE	ALL B4B. INTACT LEADER
	305	ALL 18" - 24" SPREAD	AZALEA VAR. 'SUNPO PINK', 'SUNPO WHITE', 'KAEHPO' COTONEASTER DAMMERII / CORAL BEAUTY COTONEASTER COTONEASTER HORIZONTALIS TOM THUMB / TOM THUMB COTONEASTER JUNIPERUS HORIZONTALIS VAR. / JUNIPER VAR. 'BAR HARBOR', 'ANDORRA', 'WILTONI BLUE RUS' JUNIPERUS PROCEMBENS NANA / DWARF JAPANESE GARDEN JUNIPER LONICERA NITIDA BLOOM / EMBEE GOLD (TM) HONEYSAKLE P95294	ALL CONTAINERIZED
	94	ALL 24" - 30" SPREAD	AZALEA VAR. 'DELANARE VALLEY WHITE', 'HERSEY RED', 'HINO CRIMSON' DEUTZIA GRACILIS / BLENDER DEUTZIA ILEX CRATAEGAE 'NELLIE' / DWARF JAPANESE HOLLY ILEX GLABRA 'COMPACTA' / DWARF INKERRY MAGNOLIA AQUICULUM / OREGON GRAPE HOLLY SPIREA NIPPONICA 'SNOWMOON' / 'SNOWMOON SPIREA BUXIS SEMPERVIRENS 'SUFRUTICOSA' / DWARF ENGLISH BOXWOOD	ALL CONTAINERIZED
	107	ALL 24" - 30" SPREAD & 2 1/2" - 3" HT.	ELONIMIS KLUITSCHOVICUS 'MANHATTAN' / MANHATTAN ELONIMIS MAGNOLIA BEALEI / LEATHERLEAF MAGNOLIA OSMANTHUS HETEROPHYLLUS 'SILFETTES' / SHEET HOLLY RHODODENDRON HYBRID VAR. (CAT. ALBUM, CAT. GRANDIFLORA, 'ENGLISH ROSEBOM', 'ROSEBOM ELEGANS') RHODODENDRON P. J. M. / RHODODENDRON TAXUS CASPIATA NANA / DWARF JAPANESE YEW VIBURNUM CALESII / KOREAN SPICE VIBURNUM	ALL CONTAINERIZED
	112	ALL 9" - 14" HT.	ILEX VERTICILLATA VAR. / WINTERBERRY HOLLY VAR. ('CARDINAL', 'JIM DANDY', 'RED SPRITE', 'WINTER RED' OR 'SPARKLEBERRY') JUNIPERUS CAEMESIS BLUE POINT / BLUE POINT JUNIPER TAXUS MEDIA 'HICKSII' / HICKS YEW TAXUS CASPIATA 'FLUSHING' / FLUSHING YEW TAXUS MEDIA 'VIRIDIS' / VIRIDIS YEW THUJA OCCIDENTALIS 'EMERALD GREEN' / EMERALD GREEN ARBORVITAE BUXIS MICROPHYLLA / WINTERGREEN BOXWOOD	ALL CONTAINERIZED



STATE OF MARYLAND  
 Michael B. Tran  
 933 LA JARDINE AVENUE  
 6.1.15  
 LANDSCAPE ARCHITECT

**DEVELOPER'S/BUILDER'S CERTIFICATE**  
 I/WE CERTIFY THAT THE LANDSCAPING SHOWN ON THIS PLAN WILL BE DONE ACCORDING TO THE PLAN, SECTION 6124 OF THE HOWARD COUNTY CODE AND THE HOWARD COUNTY LANDSCAPE MANUAL AND THE MFL LANDSCAPE DESIGN CRITERIA. I/WE FURTHER CERTIFY THAT UPON COMPLETION A LETTER OF LANDSCAPE INSTALLATION, ACCOMPANIED BY AN EXECUTED ONE YEAR GUARANTEE OF PLANT MATERIALS, WILL BE SUBMITTED TO THE DEPARTMENT OF PLANNING AND ZONING.

Signature: *[Signature]*  
 DATE: 5/29/15

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

Director: *[Signature]* DATE: 7-21-15  
 Chief, Division of Land Development: *[Signature]* DATE: 7-15-15  
 Chief, Development Engineering Division: *[Signature]* DATE: 7-8-15

**GLW GUTSCHICK LITTLE & WEBER, P.A.**  
 CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS  
 3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK  
 BURTONSVILLE, MARYLAND 20866  
 TEL: 301-421-4024 BALT. 410-880-1820 DC/VA: 301-989-2524 FAX: 301-421-4186

DATE	REVISION	BY	APPR.

PREPARED FOR:  
 PROPERTY OWNER (SELLER):  
 MAPLE LAWN FARMS I, LLC  
 1829 REISTERSTOWN ROAD, SUITE 300  
 BALTIMORE, MD 21208  
 PH: 410-484-8400  
 ATTN: MARK BENNETT

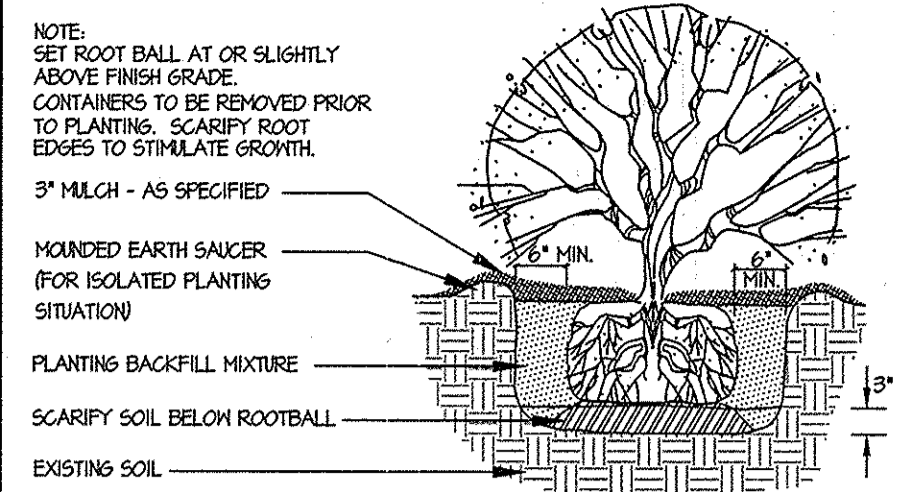
BUILDER (CONTRACT PURCHASER):  
 MB MAPLE LAWN LLC  
 1688 E. GUIDE DRIVE  
 ROCKVILLE, MARYLAND 20850  
 PH: 301-762-9511 x 2101  
 attn.: ROBERT MITCHELL

**THIS PLAN IS FOR PLANTING PURPOSES ONLY**

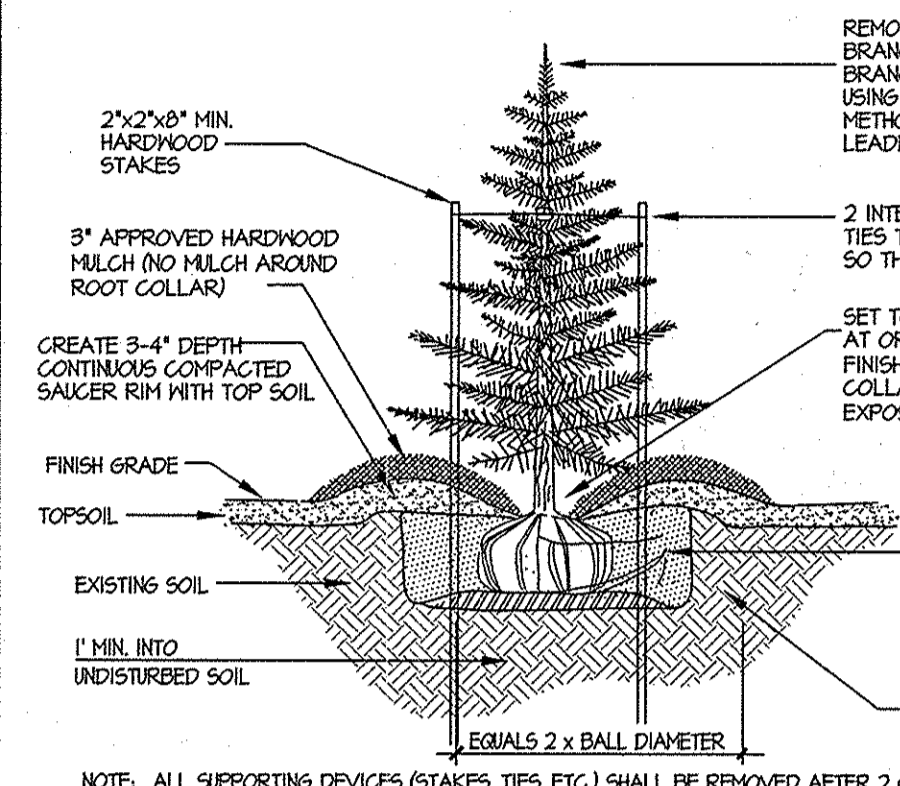
LANDSCAPE PLAN  
**MAPLE LAWN FARMS**  
 GARDEN DISTRICT - AREA 1  
 LOT Nos. 20-24, 28-32, 45-51, 87 and 92  
 (SFD RESIDENTIAL USE)  
 PLAT Nos. 22995-23004

ELECTION DISTRICT No. 5

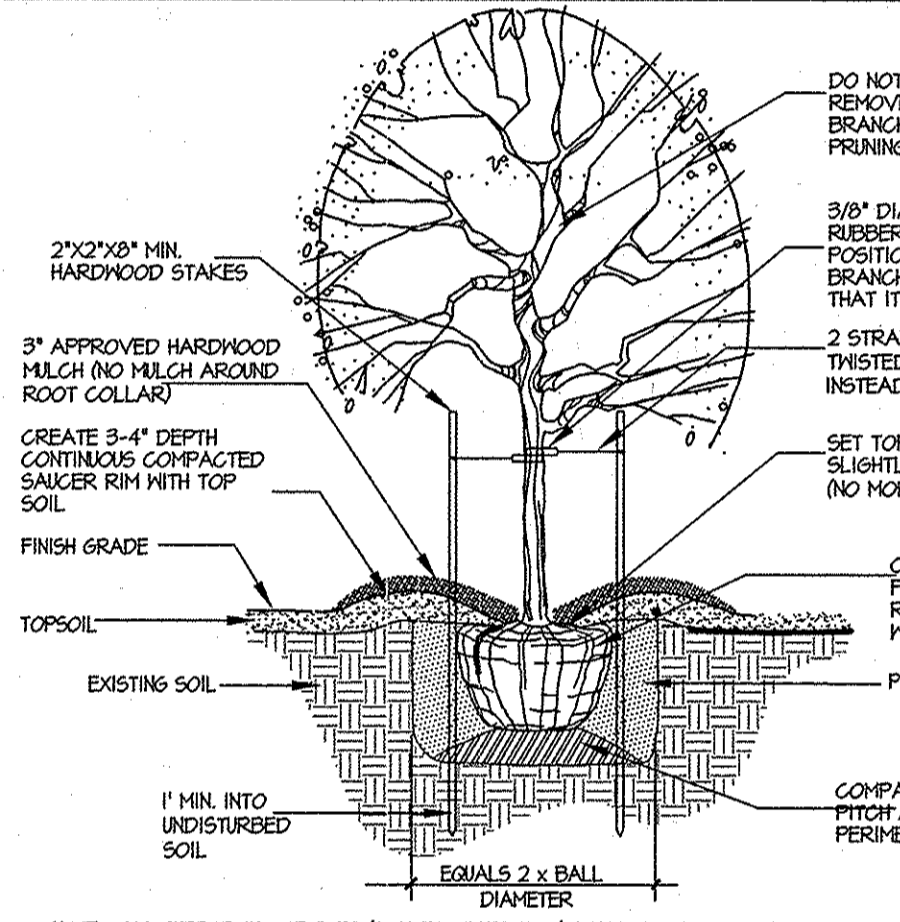
SCALE	ZONING	G. L. W. FILE No.
1"=20'	MXD-3	14052
DATE	TAX MAP - GRID	SHEET
MAY 2015	41-15&21	9 OF 10



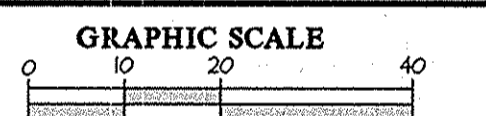
**SHRUB PLANTING DETAIL** NTS



**EVERGREEN TREE PLANTING DETAIL** NTS



**DECIDUOUS TREE PLANTING DETAIL** NTS



STATE OF MARYLAND  
 Michael B. Tran  
 933 LA JOLLA  
 ARCHITECT  
 6.1.15

**DEVELOPER'S/BUILDER'S CERTIFICATE**  
 I/WE CERTIFY THAT THE LANDSCAPING SHOWN ON THIS PLAN WILL BE DONE ACCORDING TO THE PLAN, SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE HOWARD COUNTY LANDSCAPE MANUAL AND THE MFL LANDSCAPE DESIGN CRITERIA. I/WE FURTHER CERTIFY THAT UPON COMPLETION A LETTER OF LANDSCAPE INSTALLATION, ACCOMPANIED BY AN EXECUTED ONE YEAR GUARANTEE OF PLANT MATERIALS, WILL BE SUBMITTED TO THE DEPARTMENT OF PLANNING AND ZONING.

SIGNATURE OF DEVELOPER/BUILDER: [Signature] DATE: 5/29/15

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING  
 Director: [Signature] DATE: 7-21-15  
 Chief, Division of Land Development: [Signature] DATE: 7-15-15  
 Chief, Development Engineering Division: [Signature] DATE: 7-8-15

**GLW GUTSCHICK LITTLE & WEBER, P.A.**  
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 BURTONSVILLE, MARYLAND 20866  
 TEL: 301-421-4024 FAX: 301-421-4188

RESIDENTIAL LOT INTERNAL LANDSCAPING REQUIREMENTS (SCHEDULE-C)									
LOT	TYPE	NO.	REQUIRED FRONT YARD PLANTINGS: SHRUBS AT 1/4 OF LOT WIDTH AT BRL			REQUIRED SIDE & REAR YARD PLANTINGS: ESTATE LOTS: 4 SHADE TREES PER LOT PLUS SHRUBS AT 1/4 OF SIDE & REAR BLDG. LENGTHS (LONGEST BLDG. LENGTHS ARE USED FOR CALCULATIONS) COTTAGE LOTS: 1 SHADE TREE PER LOT, NO SHRUBS REQUIRED VILLA LOTS: 2 SHADE TREES PER LOT PLUS SHRUBS AT 1/4 OF SIDE & REAR BLDG. LENGTHS			
			SHRUBS REQUIRED	BLDG. LENGTHS (S)	SHD. TREES REQUIRED	SHRUBS REQUIRED	SHD. TREE	SHRUBS	OTHERS (AS SUBSTITUTIONS)
VILLAS (front load)	20	124.78'	26	(60'x60.66') 136.66'	2	30	2	31	2 ORNAMENTALS FOR 10 SHRUBS, 9 EVERGREENS FOR 15 SHRUBS
	21	102.00'	18	(60'x60.66') 136.66'	2	30	2	23	2 ORNAMENTALS FOR 10 SHRUBS, 9 EVERGREENS FOR 15 SHRUBS
	22	102.00'	18	(60'x60.66') 136.66'	2	30	2	23	2 ORNAMENTALS FOR 10 SHRUBS, 9 EVERGREENS FOR 15 SHRUBS
	23	102.00'	18	(60'x60.66') 136.66'	2	30	2	23	2 ORNAMENTALS FOR 10 SHRUBS, 9 EVERGREENS FOR 15 SHRUBS
	24	64.18'	17	(60'x46') 106.00'	2	30	3	31	3 ORNAMENTALS FOR 10 SHRUBS, 9 EVERGREENS FOR 15 SHRUBS
ESTATE	25	150.46'	40	(60'x46') 106.00'	4	34	3	64	2 ORNAMENTALS FOR 10 SHRUBS, 9 EVERGREENS FOR 1 SHADE
	26	120.24'	30	(61'11"x61') 126.11'	4	32	3	51	1 ORNAMENTAL FOR 5 SHRUBS, 9 EVERGREENS FOR 1 SHADE
	30	120.64'	30	(61'11"x61') 126.11'	4	32	3	51	1 ORNAMENTAL FOR 5 SHRUBS, 9 EVERGREENS FOR 1 SHADE
VILLA COTTAGE	31	102.00'	18	(61.66'x55.0') 136.66'	2	34	1	61	2 EVERGREENS FOR 1 SHADE, 2 ORNS. FOR 1 SHADE, 1 EVERGREEN FOR 5 SHRUBS
	32	40.0'	10	N/A	1	N/A	1	10	
	45	40.0'	10	N/A	1	N/A	1	10	
	46	40.0'	10	N/A	1	N/A	1	10	
	47	40.0'	10	N/A	1	N/A	1	10	
	48	40.0'	10	N/A	1	N/A	1	10	
	49	40.0'	10	N/A	1	N/A	1	10	
VILLAS (rear load)	50	102.00'	18	(61.66'x55.0') 136.66'	2	34	1	61	2 EVERGREENS FOR 1 SHADE, 2 ORNS. FOR 1 SHADE, 1 EVERGREEN FOR 5 SHRUBS
	51	71.50'	11	(61.66'x55.0') 136.66'	2	34	2	30	3 EVERGREENS FOR 15 SHRUBS
	87	102.00'	18	(61.66'x55.0') 136.66'	2	34	1	31	2 EVERGREENS FOR 1 SHADE, 1 EVERGREEN FOR 5 SHRUBS, 2 ORNAMENTALS FOR 10 SHRUBS
	92	102.00'	18	(61.66'x55.0') 136.66'	2	34	1	31	2 EVERGREENS FOR 1 SHADE, 1 EVERGREEN FOR 5 SHRUBS, 2 ORNAMENTALS FOR 10 SHRUBS

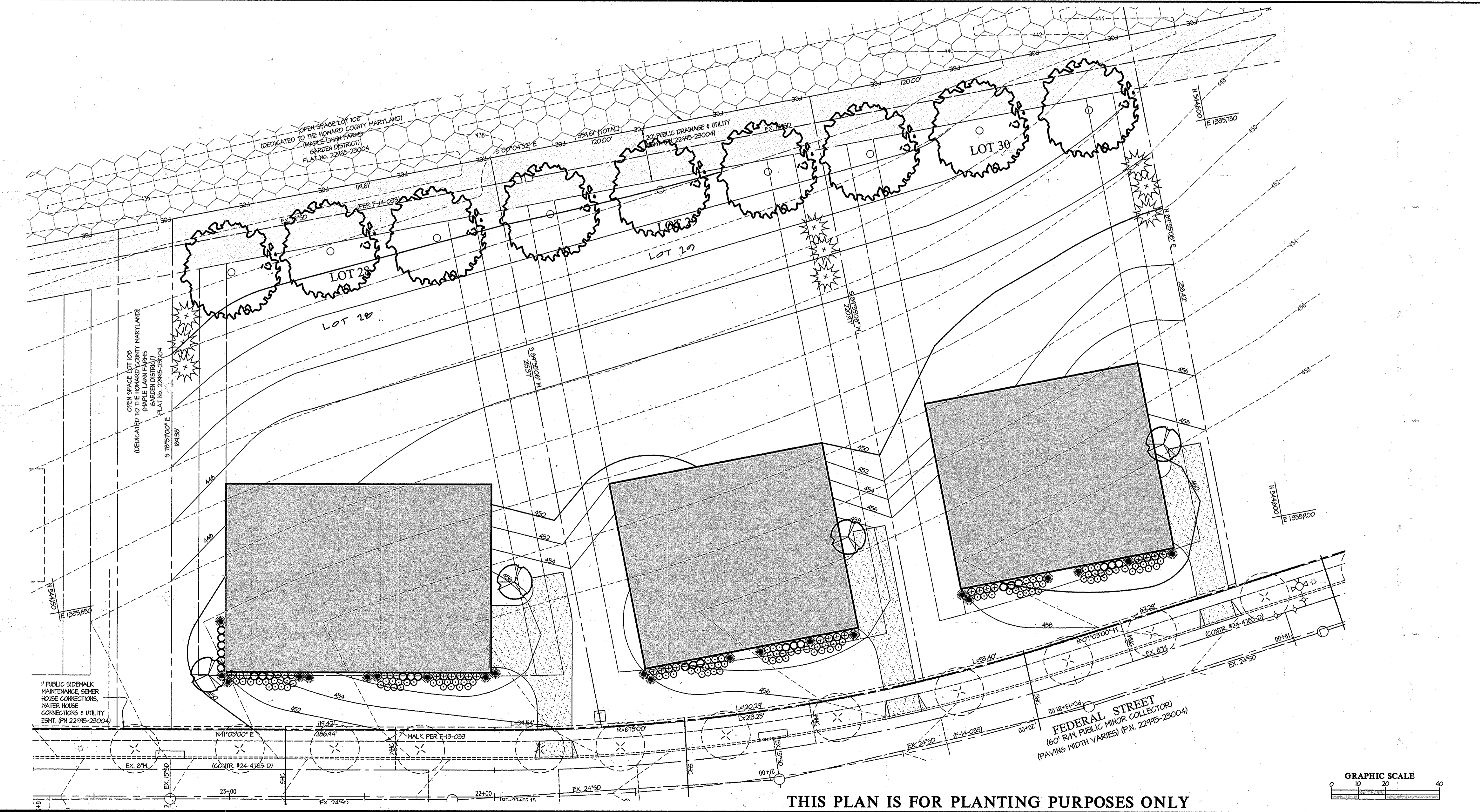
\* CORNER LOT  
 COMMENTS:  
 A. SUBSTITUTION FOR DIFFERENT TYPE OF PLANT MATERIALS ARE AS FOLLOWS:  
 1 SHADE TREE = 2 ORNAMENTALS OR EVERGREEN TREES = 10 SHRUBS, 9 SHRUBS = 1 ORNAMENTAL OR EVERGREEN TREE  
 B. PLANT MATERIALS HAVE BEEN RELOCATED TO A DIFFERENT YARD WITHIN THE SAME LOT FOR SPATIAL DESIGN PURPOSES.  
 C. PLANT QUANTITIES FROM SCHEDULE-A ARE INCLUDED AND ACCOUNTED WITH SCHEDULE-C PROPOSED PLANT QUANTITIES TO SIMPLIFY SUBSTITUTIONS.

LANDSCAPE SURETY PER LOT				
BUILDER	LOT No.	PLANT QUANTITY		SURETY AMOUNT
		SHADE TREE	SHRUBS	
MITCHELL & BEST	20	2	56	\$2,250.00
	21	2	49	\$2,040.00
	22	2	49	\$2,040.00
	23	2	49	\$2,040.00
	24	3	61	\$2,130.00
	25	4	74	\$3,150.00
	26	4	62	\$3,060.00
	30	4	62	\$3,060.00
	31	3	72	\$3,060.00
	32	1	10	\$600.00
	45	1	10	\$600.00
	46	1	10	\$600.00
	47	1	10	\$600.00
	48	1	10	\$600.00
49	1	10	\$600.00	
50	3	72	\$3,060.00	
51	2	53	\$2,190.00	
87	4	52	\$2,160.00	
92	2	52	\$2,160.00	
TOTAL		43	825	\$31,650.00

\*\* FOR RESIDENTIAL BUILDING TYPES ENFRONTING AN ATTACHED GREEN STREET TREES SHALL BE PLANTED IN FRONT OF THE STRUCTURES AND WITHIN THE PUBLIC OPEN SPACE. TREES SHALL BE SPACED TO CONFORM WITH THE SPACING OF THE ADJOINING THOROUGHFARE AND NOT LESS THAN 40' ON CENTER. THE TWO SHADE TREES ARE SHOWN ON THE OPEN SPACE LOT #1 ENFRONTING LOT #1.  
 THE 2 TREES ARE BONDED @ \$300/TREE W/ THE LOTS LISTED

RESIDENTIAL LANDSCAPE PERIMETER REQUIREMENTS (SCHEDULE-A)			
USE SITUATION	SIDE OF SPD ORIENTED TO ROADWAY		
	LOT 24	LOT 31	LOT 30
LANDSCAPE TYPE	SIDE YARD TREATMENT PER MFL DEVELOPMENT CRITERIA (ONE SHADE TREE PER LOT + SHRUBS AT 1/4 OF BLDG. SIDE LENGTH)		
PERIMETER LOCATION	LOT 24	LOT 31	LOT 30
SIDE LENGTH OF BUILDING EXPOSED TO ROADWAY	55'	81.66'	81.66'
CREDIT FOR EXISTING VEGETATION	N/A	N/A	N/A
CREDIT FOR WALL, FENCE OR BERM	N/A	N/A	N/A
NUMBER OF PLANTS REQUIRED			
SHADE TREES	1	1	1
EVERGREEN TREES	N/A	N/A	N/A
SHRUBS	14	20	20
NUMBER OF PLANTS PROVIDED			
SHADE TREES			PER SCHEDULE-C
EVERGREEN TREES	0	0	
OTHER TREES @ 2:1 SUBSTITUTION	0	0	
SHRUBS @ 1:1 SUBSTITUTION			SEE SCHEDULE-C

\* THE OPTIONAL EXTENDED BUILDING FEATURES ARE INCLUDED IN THE BUILDING LENGTH VALUE SHOWN.



**THIS PLAN IS FOR PLANTING PURPOSES ONLY**

<b>GLW GUTSCHICK LITTLE &amp; WEBER, P.A.</b> CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS 3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK BURTONSVILLE, MARYLAND 20866 TEL: 301-421-4024 FAX: 301-421-4188	PREPARED FOR: PROPERTY OWNER (SELLER): MAPLE LAWN FARMS 1, LLC 1829 REISTERSTOWN ROAD, SUITE 300 BALTIMORE, MD 21208 ATTN: MARK BENNETT	BUILDER (CONTRACT PURCHASER): MB MAPLE LAWN LLC 1686 E. GUDE DRIVE ROCKVILLE, MARYLAND 20850 PH: 301-762-9511 x 2101 attn: ROBERT MITCHELL	<b>LANDSCAPE PLAN</b> <b>MAPLE LAWN FARMS</b> GARDEN DISTRICT - AREA 1 LOT Nos. 20-24, 28-32, 45-51, 87 and 92 (SPD RESIDENTIAL USE) PLAT Nos. 22995-23004	SCALE: 1"=20' ZONING: MXD-3 G. L. W. FILE No.: 14052	DATE: MAY 2015 TAX MAP - GRID: 41-15&21 SHEET: 10 OF 10
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