GENERAL NOTES

- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF HOWARD COUNTY PLUS
- 2. THE CONTRACTOR SHALL NOTIFY THE BUREAU OF ENGINEERING/CONSTRUCTION INSPECTION DIVISION AT (410) 313-1880 AT LEAST FIVE (5) WORKING DAYS PRIOR TO THE START OF WORK.
- 3. THE CONTRACTOR SHALL NOTIFY "MISS UTILITY" AT 1-800-257-T777 AT LEAST 48-HOURS PRIOR TO ANY, EXCAVATION WORK

TAX MAP: ELECTION DISTRICT: 5

ZONING: MXD-3 PER ZB-945M (APPROVED ON 02-08-01), UNDERLYING ZONING IS RR-DEO AND PER THE 2/02/04 COMPREHENSIVE ZONING PLAN. AREA OF BUILDABLE LOTS (20-24, 28-30, 32 & 45-44) FOR THIS SITE DEVELOPMENT PLAN: 4.27± ACRES, FOR OTHER SUBMISSIONS RELATED TO THIS SITE, SEE HOWARD COUNTY DEPT. OF PLANNING & ZONING FILE Nos.: 5-01-17, ZB-995M, PB-353, WP-01-111, WP-03-02, P-03-01, F-03-90, P-04-01, P-05-02, F-04-92, S-06-16, P-07-02, ZB-1039M, PB-370, F-12-30, P-11-002, P-12-001, F-12-020, F-12-029, F-13-007,

- TRAFFIC CONTROL DEVICES, MARKINGS, AND SIGNAGE SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTC). ALL STREET AND REGULATORY SIGNS SHALL BE IN PLACE PRIOR TO THE PLACEMENT OF ANY ASPHALT.
- ALL PLAN DIMENSIONS ARE TO THE FACE OF CURB OR FACE OF BUILDING UNLESS OTHERWISE NOTED. DIMENSIONS ARE MEASURED
- PERPENDICULAR OR RADIALLY BETWEEN ITEMS UNLESS OTHERWISE NOTED.
- EXISTING TOPOGRAPHY AND FEATURES COMPILED FROM F-13-008 AND F-14-033.
- STORMWATER MANAGEMENT, FOR BOTH QUALITY AND QUANTITY, FOR THE INFRASTRUCTURE AND RESIDENTIAL LOTS WILL BE SATISFIED BY TWO REGIONAL FACILITIES CONSTRUCTED UNDER F-I3-008. THE FACILITIES WILL BE P-3 PONDS WITH EXTENDED DETENTION. THEY WILL BE PUBLICLY OWNED WITH JOINT MAINTENANCE. THE TWO P-3 PONDS WILL SERVE AS SEDIMENT BASINS FOR THE GRADING SHOWN BEFORE BEING CONVERTED. THE RECHARGE REQUIREMENTS FOR THIS AREA WILL BE PROVIDED IN PRIVATELY OWNED AND MAINTAINED FACILITIES TO BE LOCATED WITHIN OPEN SPACE LOTS 109 AND 110. OPEN SPACE LOTS 110
- AND III WILL BE CONVEYED TO THE HOMEOWNER'S ASSOCIATION. THE REV FACILITIES WILL BE CONSTRUCTED WITH THESE FINAL ROAD PLANS 10. PUBLIC WATER AND SEWER SHALL BE UTILIZED (AS PROVIDED BY W&S CONTRACT #24-4785-D & 24-4786-D) AND THE WATER METERS IN OUTSIDE VAULTS
- THE EXISTING UTILITIES SHOWN HEREIN WERE DERIVED FROM AVAILABLE PUBLIC RECORDS. THE CONTRACTOR MUST DIG TEST PITS (BY HAND) AT ALL UTILIT CROSSINGS AND CONNECTION POINTS TO VERIFY EXACT LOCATION. IMMEDIATELY NOTIFY THE ENGINEER OF ANY CONFLICTS.

- THIS PROJECT COMPLIES WITH THE REQUIREMENTS OF SECTION 16.1200 OF THE HOWARD COUNTY CODE FOR FOREST CONSERVATION THE FOREST CONSERVATION OBLIGATIONS WERE ADDRESSED UNDER F-13-008.
- FINANCIAL SURETY FOR THE REQUIRED LANDSCAPING (AS SHOWN ON SHEET 8 TO SATISFY S-OI-IT DEVELOPMENT CRITERIA AND SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL) SHALL BE POSTED AS PART OF THE GRADING PERMIT FOR EACH LOT (WHERE APPLICABLE). FOR ADDITIONAL INFORMATION ON THE LANDSCAPE SURETY SEE SHEETS 8-10.
- DRIVEWAYS SHALL BE PROVIDED PRIOR TO ISSUANCE OF A USE AND OCCUPANCY PERMIT FOR ANY NEW DWELLINGS TO INSURE SAFE
- ACCESS FOR FIRE AND EMERGENCY VEHICLES PER THE FOLLOWING MINIMUM REQUIREMENTS:
 - B. SURFACE 6" OF COMPACTED CRUSHER RUN BASE WITAR AND CHIP COATING (I-I/2"MIN.)
- C. GEOMETRY MAX. 14% GRADE, MAX. 10% GRADE CHANGE AND MIN. 45' TURNING RADIUS. D. STRUCTURES (CULVERTS/BRIDGES) - CAPABLE OF SUPPORTING 25 GROSS TONS (H25 LOADING)
- E. DRAINAGE ELEMENTS CAPABLE OF SAFELY PASSING 100-YR. FLOOD WITH NO MORE THAN I FOOT DEPTH OVER DRIVEWAY SURFACE. F. MAINTENANCE - SUFFICIENT TO INSURE ALL WEATHER USE.

"RIGHT-OF-WAY" THAT'S IN THE COVENANT FOUND AT L. 8259 F. 30543

- BAY MINDOWS, MINDOW WELLS, CHIMNEYS, HEATING OR AIR CONDITIONING UNITS AND EXTERIOR STAIRWAYS IF NOT MORE THAN 16 FEET IN WIDTH MAY PROJECT NO MORE THAN 4 FEET INTO ANY REQUIRED SETBACK AREA IN ACCORDANCE WITH SECTION 128.A.I OF THE ZONING REGULATIONS, EXCEPT FOR THE ITEMS
- 20. AS A CONSEQUENCE OF THE SKETCH PLAN, S-OI-17 APPROVAL PRIOR TO II-15-OI, THIS PROJECT IS GRANDFATHERED TO THE FOURTH EDITION OF TH
- 133.D.2.a OF THE ZONING REGULATIONS AND THE APPROVED MLF DEVELOPMENT CRITERIA. UNLESS OTHERWISE PROHIBITED BY POSTED SIGNAGE OR CURB MARKING, ON-STREET PARALLEL PARKING ALONG THE CURB WITHIN THE PUBLIC RIGHTS-OF-WAY IS ALLOWED FOR VISITOR AND OVERFLOW PARKING. THE ON-STREET PARKING AREA WILL NOT BE STRIPED. THE ALLEYS ARE OWNED BY THE HOA AND THEY ENFORCE THE PARKING PROHIBITION IN THEIR ALLEY
- 22. NO GRADING, REMOVAL OF VEGETATIVE COVER OR TREES, PAVING AND NEW STRUCTURES SHALL BE PERMITTED WITHIN THE REQUIRED WETLANDS. STREAMS. OR THEIR BUFFERS, FOREST CONSERVATION EASEMENT AREAS AND IOO YEAR FLOODPLAIN.
- 24. PHASING FOR THIS PROJECT IS IN ACCORDANCE WITH THE DECISION AND ORDER FOR ZB-995M AND THE DECISION AND ORDER FOR PB CASE NO. 353 (5-01-17) AND PE CASE NO. 378 AND 5-06-16.

LOT DEVELOPMENT DATA

- . PRESENT ZONING: MXD-3 PER ZB-995M B. PROPOSED USE OF SITE: 14 SFD RESIDENTIAL DWELLING
- C. PUBLIC WATER & SEVER TO BE UTILIZED (CONTR. #24-4747-D)
- D. PARKING REQUIRED PER Sec.133.D.2.a.: 2 SPACES/UNIT x 19 = 38 SPACES PARKING PROVIDED: 38 GARAGE SPACES (ALL LOTS HAVE AT LEAST A 2-CAR GARAGE. SEE NOTE 21 ABOVE REGARDING PARKING). E. RECREATION OPEN SPACE FOR THIS SDP IS ADDRESSED UNDER F-14-033 (SEE OVERALL OPEN SPACE PROVISION CHART ON THIS SHEET).
- A. AREA OF BUILDABLE LOTS FOR THIS SUBMISSION: 186,091± SF OR 4.27± AC. B. AREA OF THIS PLAN SUBMISSION: 4.76± ACRES (L.O.D.)
- C. AREA OF DISTURBANCE BY THIS SDP: 4.76± ACRES

3. LOT DESIGNATION:

•	LOT TYPE	LOT NUMBER	MINIMUM LOT SIZE	MIN. LOT WIDTH AT FRONT BRL	MAX. BUILDING HT.
	COTTAGE	45-49 \$ 32	2,500 SQUARE FEET	32 FEET	38 FEET (MEAN HT.)
	VILLA	20-24, 31, 50, 51, 87 \$ 92	5,400 SQUARE FEET	54 FEET	38 FEET (MEAN HT.)
	ESTATE	28-30	20,000 SQUARE FEET	I20 FEET	30 FEET (MEAN HT.)

4. STRUCTURE SETBACKS PER 5-06-16 AND PLAT Nos. 22995-23004

٠	LOT TYPE	FRONT SETBACK	SIDE SETBACK	MINIMUM REAR SETBACKS
-	COTTAGE	IO' MIN.	4' MIN.*	20' TO PRINCIPAL STRUCTURE. 3' FOR REAR (DETACH/ATTACH) GARAGE OR TO ACCESSORY STRUCTURES.
	VILLA	12' MIN.	6' MIN.*	20' TO PRINCIPAL STRICTURE. 3' FOR REAR (DETACH/ATTACH) GARAGE OR TO ACCESSORY STRICTURES.
	ESTATE	20' MIN.	20' MIN.**	20' TO PRINCIPAL STRUCTURE. 20' FOR REAR (DETACH/ATTACH) GARAGE OR TO ACCESSORY STRUCTURES.

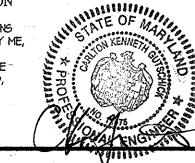
- * THERE IS A O' SIDE SETBACK FOR A GARAGE. ** THERE IS A IO' SIDE SETBACK FOR A GARAGE.
- A. A ZERO LOT LINE DWELLING UNIT MAY BE LOCATED ON ANY PROPERTY LINE WHICH IS NOT A STREET RIGHT-OF-WAY PROVIDED THAT (I) NO PART OF THE DWELLING SHALL ENCROACH ONTO THE ADJOINING LOT: (2) AN ACCESS EASEMENT FOR THE PURPOSE OF MAINTENANCE TO THE SIDE OF THE STRUCTURE SHALL BE INCLUDED IN THE DEED WHERE APPROPRIATE. SPACING BETWEEN DWELLING UNITS SHALL BE A MINIMUM OF 8'. GARAGES HOWEVER, MAY ADJOIN ALONG THE PROPERTY LINE, PROVIDED THEY COMPLY WITH ALL BUILDING AND FIRE CODE REGULATIONS.
- B. OPEN DECKS MUST BE A MINIMUM OF 10' FROM REAR PROPERTY LINE, AND ARE SUBJECT TO SIDE YARD SETBACKS.
- C. FACING ACCESSORY STRUCTURES AND DETACHED GARAGES (ACROSS AN ALLEY/LANE R.O.M.) SHALL BE 30' APART.
- D. EXCEPTIONS TO FRONT SETBACK REQUIREMENTS. SECTION 128.A.I APPLIES, EXCEPT FOR THE FOLLOWING:
 - PORCHES MAY ENCROACH INTO THE FRONT YARD TO WITHIN 2' FROM THE FRONT PROPERTY LINE OR RIGHT-OF-WAY FOR COTTAGES, MANORS, AND VILLAS; TO MITHIN 12' FOR ESTATES. PORCHES MAY ENCROACH INTO THE SIDE YARD OF CORNER LOTS TO MITHIN 2' FROM THE RIGHT-OF-WAY FOR COTTAGES, MANORS, AND VILLAG, TO WITHIN 12' FOR ESTATES. WHERE A SIDE YARD ABUTS AN OPEN SPACE OR PASSAGE, PORCHES MAY ENCROACH TO WITHIN I' FROM THE SIDE PROPERTY LINE FOR COTTAGES, MANORS, AND VILLAS; TO WITHIN 12' FOR ESTATES.
 - . STOOPS AND STEPS MAY ENCROACH INTO THE FRONT AND SIDE YARDS TO WITHIN I' FROM THE FRONT PROPERTY LINE.
 - GARDEN WALLS, FENCES, PIERS, GATES AND SIMILAR ORNAMENTS MAY BE BUILT IN THE FRONT AND SIDE YARDS NOT CLOSER THAN I' FROM THE FRONT PROPERTY LINE (WALL FOOTING MUST BE OUTSIDE ANY EASMENTS); NOT GREATER THAN 48" IN HEIGHT ALONG THE FRONT PROPERTY LINE AND NOT GREATER THAN 72" IN HEIGHT ALONG THE SIDE AND REAR PROPERTY LINES.

©GLW 2015

17 Maple Lawn Forms SDP plans regarding the reduced driveway lengths are grandfathered to the previous 2004 comp zoning regulations regarding Section 133.0.c.4 for driveway lengths less than a feet for an approved TND project.

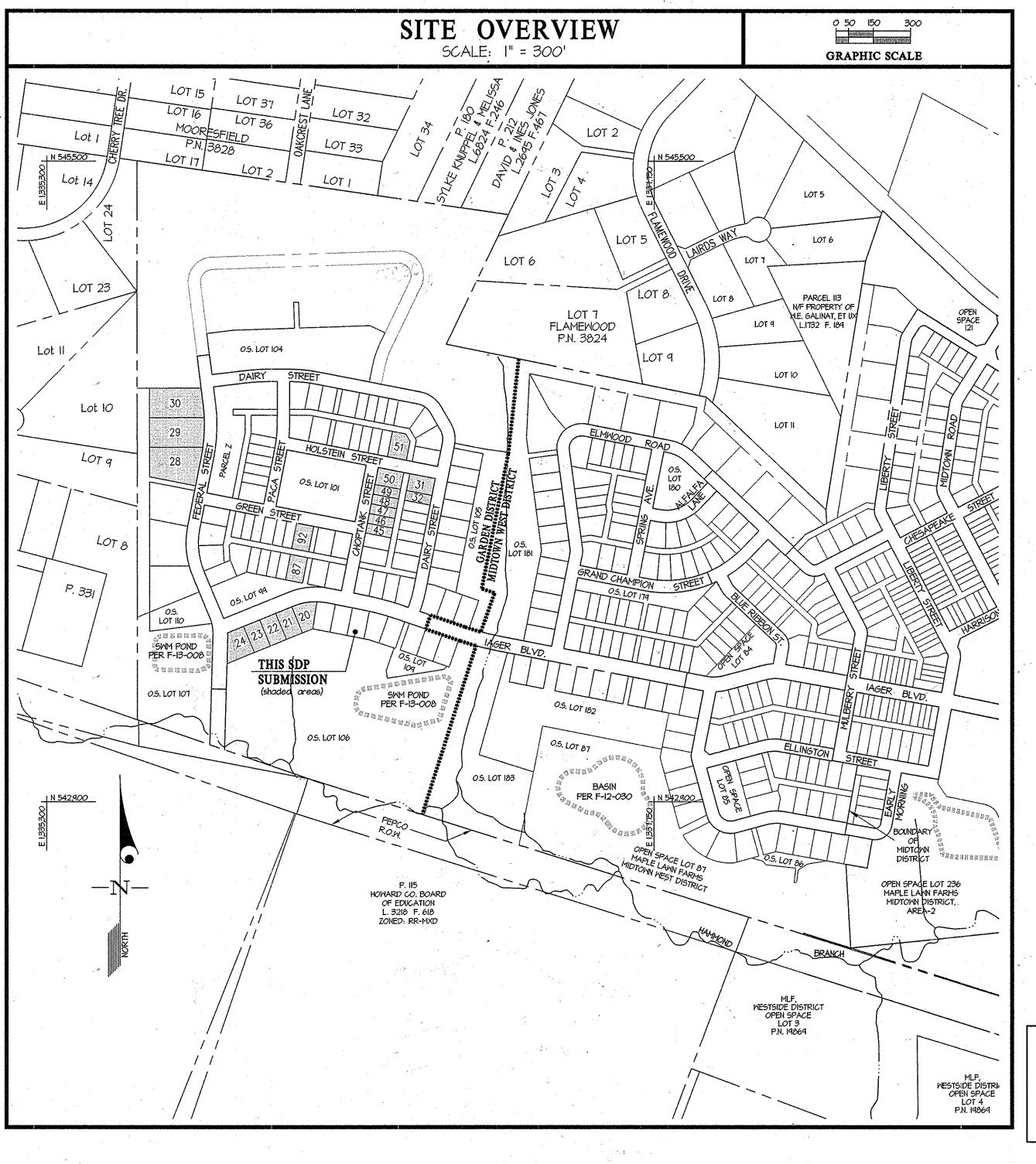
APPROVED: HOWARD COUNTY DEPARTMENT OF PLA	ANNING & ZONING
Vallio Julia	7-21-15
Director	Date
Ket Shelwohn	7-15-15
Chief, Division of Land Development 🚜	Date
Chil Column	7-8-15
Chief, Development Engineering Division	Date

PROFESSIONAL CERTIFICATION I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NO. 12975, EXPIRATION DATE: MAY 26, 2016



MAPLE LAWN FARMS SITE DEVELOPMENT PLAN

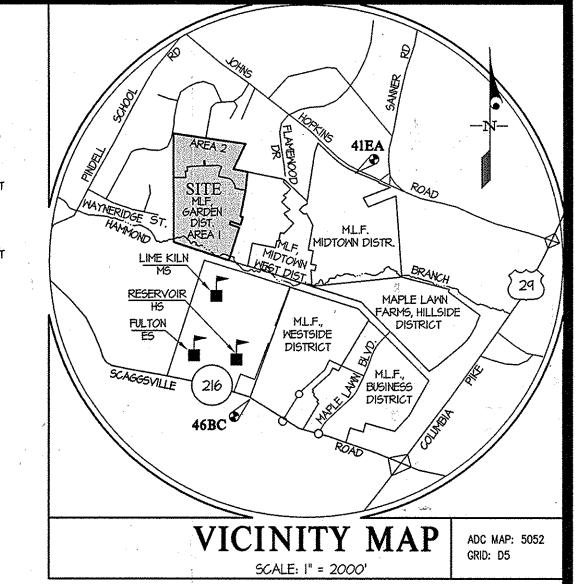
GARDEN DISTRICT - AREA 1 LOTS No. 20-24, 28-32, 45-51, 87 and 92 FIFTH ELECTION DISTRICT HOWARD COUNTY, MARYLAND



NAD83 HORIZONTAL DATA & NVD88 VERTICAL DATA

46BC ELEV. = 472.16 N = 539.925.13 E=1,337,205.77 STANDARD DISC ON CONCRETE MONUMENT

N = 544,825,81 E= 1,334,217.44 STANDARD DISC ON CONCRETE MONUMENT



OVERAL	L OPEN SP	ACE PROV	ISION FOR	MAPLE L	AWN FARMS	
PHASE NUMBER (AND NAME)	APPROVED DPZ FILE No.	PHASE AREA GROSS ACREAGE	REQUIRED OPEN SPACE (35% OF GROSS AC.)	OPEN SPACE PROVIDED IN AC. (%) *	REQUIRED ACTIVE OPEN SPACE IN AC.**	ACTIVE RECREATION O.S. PROVIDED IN AC. (%) ***
I (BUSINESS DISTRICT, AREA-I)	F-03-07	51.48	18.19	21.15 (40.7)	1.82	
2 (MIDTOWN DISTRICT, AREA-I)	F-03-90	37.43	13.10	15.75 (42.1)	1.31	7.52 (47.7)①
3 (MIDTOWN DISTRICT, AREA-2)	F-04-92	58.80	20.58	22.85 (38.4)	2.06	·
4a (HILLSIDE DISTRICT, AREA-I)	F-05-81	15.47	5.41	6.70 (43.3)	0.54	0.29 (4.3) ②
4b (MIDTOWN DISTRICT, AREA-3)	F-05-134	3.12	1.09	1.23 (39.4)	0.11	
4c (BUSINESS DISTRICT, AREA-2/ HILLSIDE DISTRICT, AREA-2)	F-05-II2/II3	3.00	/ 1.05	0.00	O.II	***************************************
5a (HILLSIDE DISTRICT, AREA-I)	F-06-43	0.00	0.00	0.00	0.00	
56 (HILLSIDE DISTRICT, AREA-3)	F-06-161	33.26	11.64	18.50 (55.6)	1.16	1.61 (8.7) ③
6a (HILLSIDE DISTRICT, AREA-4)	F-08-012	15.05	5.27	550 (36.5)	0.53	
NA	F-07-183	3.05	1.07	0.00	0.10	- 000
6b (WESTSIDE DISTRICT)	F-08-54/F-08-55	90.60	31.71	26.65 (29.4)	3.17	4.76 (17.9) ④
7 (HILLSIDE DISTRICT, AREA-5)	F-10-61	16.60	5.81	0.94 (5.7)	0.58	
6a (HILLSIDE DISTRICT, AREA-5)	F-II-27	0.00	0.00	0.20 (0.0)	0.00	
86 (WESTSIDE DISTRICT, AREA-2)	F-I2-2I	0.00	0.00	0.67 (0.0)	0.00	0.67 (100) (5)
8c (MIDTOWN WEST DISTRICT)	F-12-20	1.65	0.58	0.04 (5.5)	0.06	
8c (MIDTOWN WEST DISTRICT)	F-12-29	30.22	10.58	13.59 (45.0)	1.06	1.29 (9.5) 6
N/A	F-I2-I5	9.37	3.28	0.00 (0.0)	0.33	0.00 (0.0)
9b (WESTSIDE DISTRICT, AREA-3)	F-13-03	0.00	0.00	0.69 (0.0)	0.00	0.69 (100) 🗇
9c (MIDTOWN WEST DISTRICT, AREA-2)	F-13-07	34.08	11.43	13.59 (39.9)	1.19	5.05 (37.2) 🔞
9c (GARDEN DISTRICT, PARCEL W)	F-13-08	75.79	26.53	0.00 (0.0)	2.65	0.00 (0.0)
n/a (BUSINESS DISTRICT, AREA 2)	F-12-86	15.46	5.41	3.74 (24.2)	0.54	0.00 (0.0)
IOb (WESTSIDE DISTRICT, AREA 4)	F-14-15	0.00	0.00	0.00 (0.0)	0.00	0.00 (0.0)
OC (GARDEN DISTRICT, AREA I)	F-14-33	0.00	0.00	23.86 (0.0)	0.00	9.55 (40.0) (1)
IIC (GARDEN DISTRICT, AREA 2)	P-14-01	0.00	0.00	5.02 (0.0)	0.00	0.00 (0.0)
IIb (WESTSIDE DISTRICT, AREA 5)	F-14-69	0.00	0.00	0.00 (0.0)	0.00	0.00 (0.0)
TOTAL.		494.93	173.23	180.72 (36.5)	17.32	31.43 (17.4)

* THE PERCENTAGE OF OPEN SPACE PROVIDED IS BASED ON THE GROSS SITE ACREAGE. ** 10% OF THE OPEN SPACE REQUIRED MUST BE AVAILABLE FOR ACTIVE RECREATION.

*** THE PERCENTAGE OF ACTIVE RECREATION O.S. PROVIDED IS BASED ON THE O.S. PROVIDED (CUMULATIVE TOTAL ACREAGE)

1.52 AC. = COMMUNITY CENTER (O.S. 125 - 5.01 AC.), O.S. 126 (O.55 AC.) AND O.S. 123 (1.96 AC.)

(3) 1.61 AC. = 0.5. LOT 213 (1.00 Ac.) and 0.5. LOT 214 (0.61 Ac.)

(4) 4.76 AC. = 0.5. LOT 4 (4.76 Ac.)

5) 0.67 ACRES = 0.5. Lot 68 (0.67 Ac.)

3) 1.29 ACRES = 0.5. Lot 85 (0.63 Ac.) and 0.5. Lot 84 (0.66 Ac.) (7) 0.69 ACRES = 0.5. 115 (0.69 Ac.)

8) 5.05 AREAS = 0.5. 179 (0.73 Ac.), 0.5. 180 (0.74 ac.), 0.5. 182 (3.58)

(9) 9.55 AREAS = 0.5. 99 (0.90 Ac.), 0.5. 101 (1.75 ac.), 0.5. 104 (2.85) and 0.5. 107 (2.44 Ac.) OPEN SPACE LOTS 126 AND 123 ARE CONSIDERED RECREATIONAL SINCE RESIDENTS WILL BE ABLE TO GATHER AND CHILDREN WILL BE ABLE TO PLAY IN THESE AREAS.

	ADDRESS	CHAR	T S
LOT No.	STREET ADDRESS	LOT No.	STREET ADDRESS
20 '	11535 IAGER BOULEVARD	45	11414 CHOPTANK STREET
21	11539 IAGER BOULEVARD	46	11416 CHOPTANK STREET
22	11543 IAGER BOULEVARD	47	11418 CHOPTANK STREET
23	11547 IAGER BOULEVARD	48	11420 CHOPTANK STREET
24	11551 IAGER BOULEVARD	49	11422 CHOPTANK STREET
		50	11426 CHOPTANK STREET
28	11640 FEDERAL STREET		
29	II650 FEDERAL STREET	51	II523 HOLSTEIN STREET
30	11660 FEDERAL STREET		
· · -		. 87	11538 IAGER BOULEVARD
31	II424 DAIRY STREET		
32	II420 DAIRY STREET	92	II5II GREEN STREET
I		1	

SHEET INDEX SITE DEVELOPMENT PLAN SITE DEVELOPMENT PLAN SITE DETAILS SEDIMENT CONTROL PLAN SEDIMENT CONTROL NOTES and DETAILS LANDSCAPE PLAN

	PERMI	T INFO	RMA	\TIO	N CHA	ŔŢ		
WATER CODE: E2I			·		/ER CODE: 95000	- 		
DEVELOPMENT NAME: MAPLE LAWN FARMS				GARE	RICT/AREA DEN DISTRICT AREA I	20-2	.OTS 24, 28-32, 1, 87 4 92	CENSUS TRACT 6051.02
PLAT Nos. 22995-23004	ZONE MXD-3	TAX MAP 41	GRID 15 &	- 1	ELEC. DIS	Γ.	****	
		SCA	NLE		ZONING		G. L.	W. FILE No.

GLWGUTSCHICK LITTLE &WEBER, P.A. CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS

3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK BURTONSVILLE, MARYLAND 20866 TEL: 301-421-4024 BALT: 410-880-1820 DC/VA: 301-989-2524 FAX: 301-421-4186 \CADD\DRAHHNGS\12001\14052 (M&B)\SDP (Area 1)\14052 01 CS (Area 1).dwg DES, mbt DRN, klp

REVISION

PREPARED FOR: PROPERTY OWNER (SELLER): MAPLE LAWN FARMS 1, LLC 1829 REISTERSTOWN ROAD, SUITE 300 BALTIMORE, MD 21208 PH: 410-484-8400 ATTN.: MARK BENNETT

BUILDER (CONTRACT PURCHASER): MB MAPLE LAWN L.L.C. 1686 E. GUDE DRIVE ROCKVILLE, MARYLAND 20850 PH: 301-762-9511 x 2101 attn.: ROBERT MITCHELL

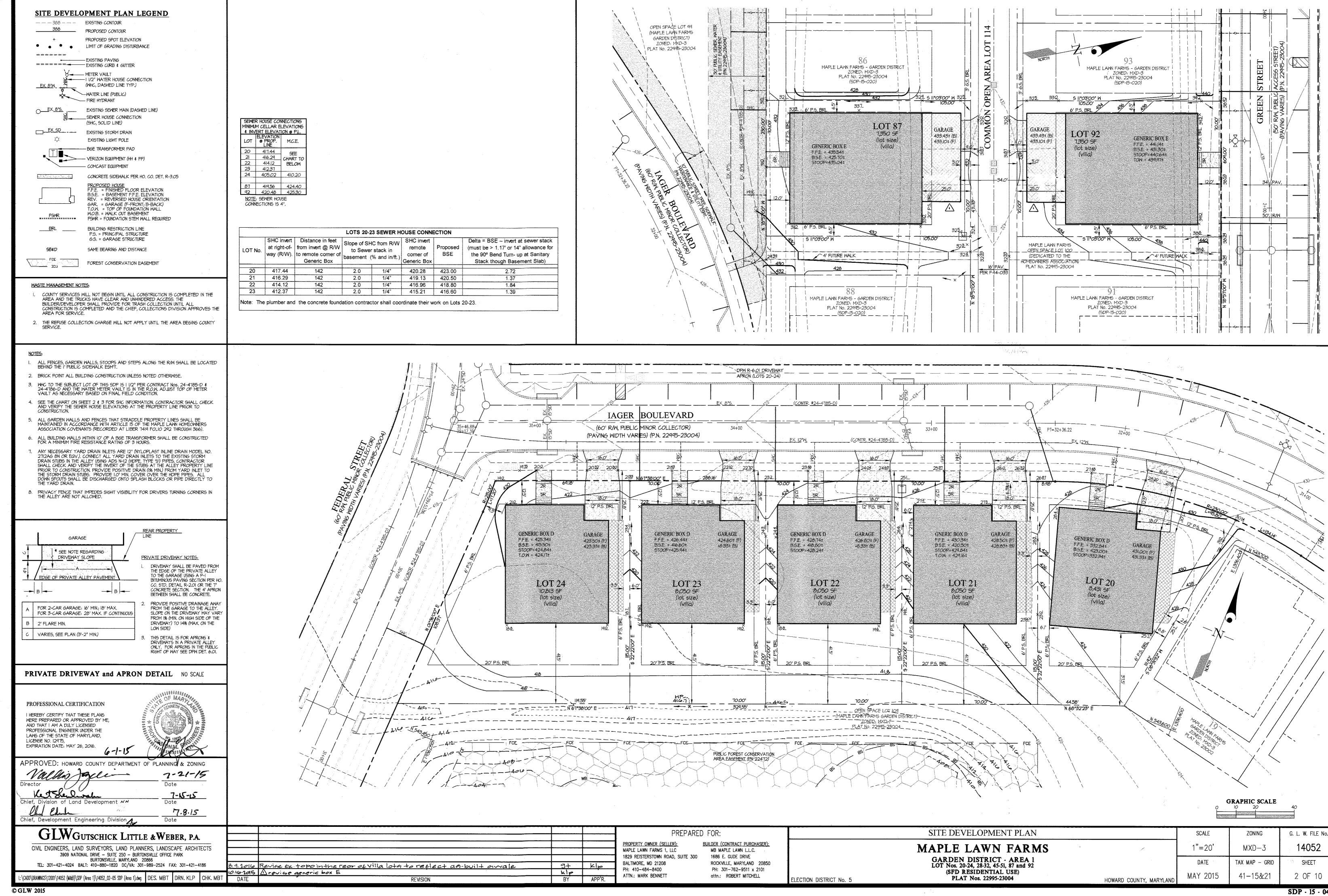
LECTION DISTRICT No. 5

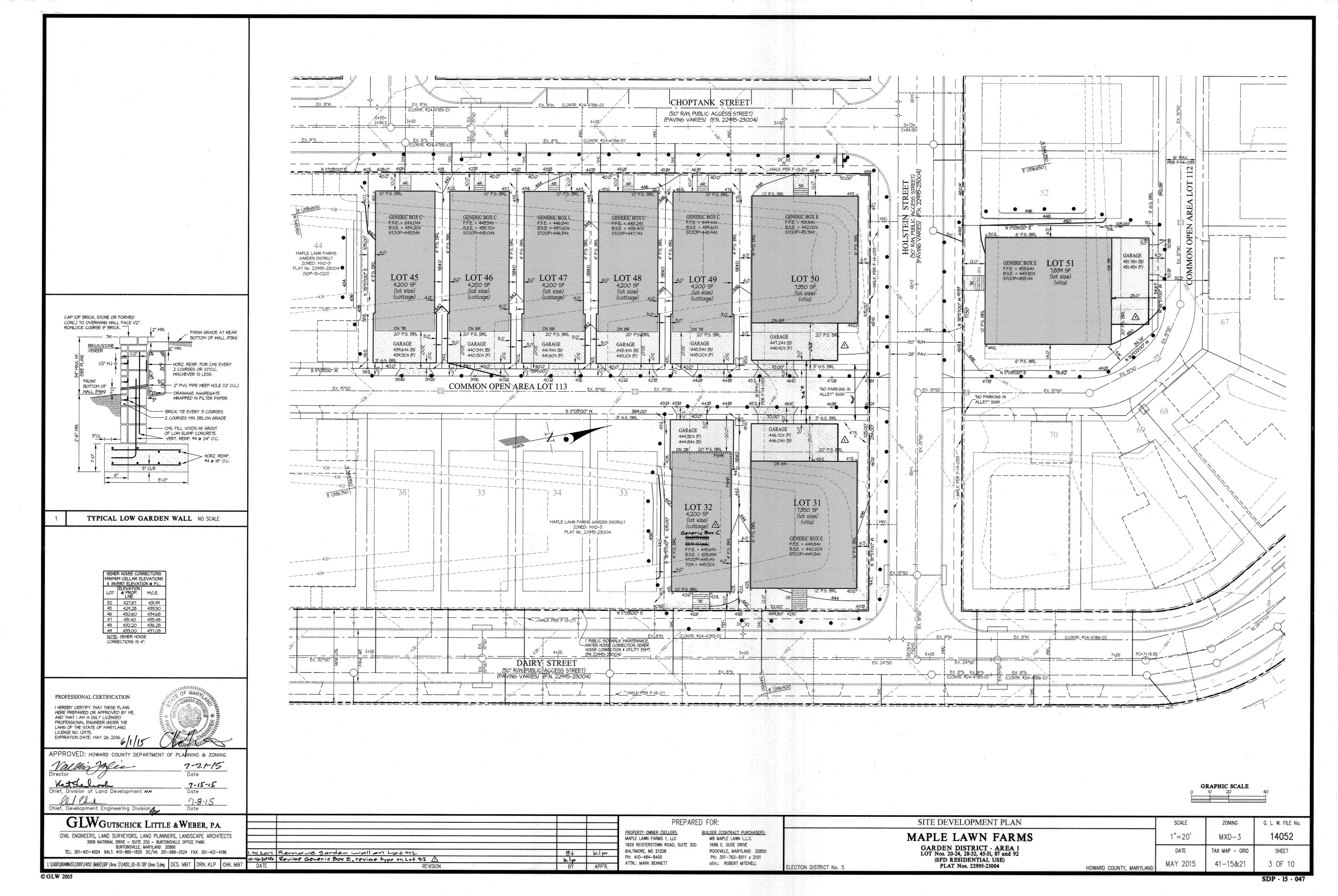
MAPLE LAWN FARMS GARDEN DISTRICT - AREA 1 LOT Nos. 20-24, 28-32, 45-51, 87 and 92 (SFD RESIDENTIAL USE) PLAT Nos. 22995-23004

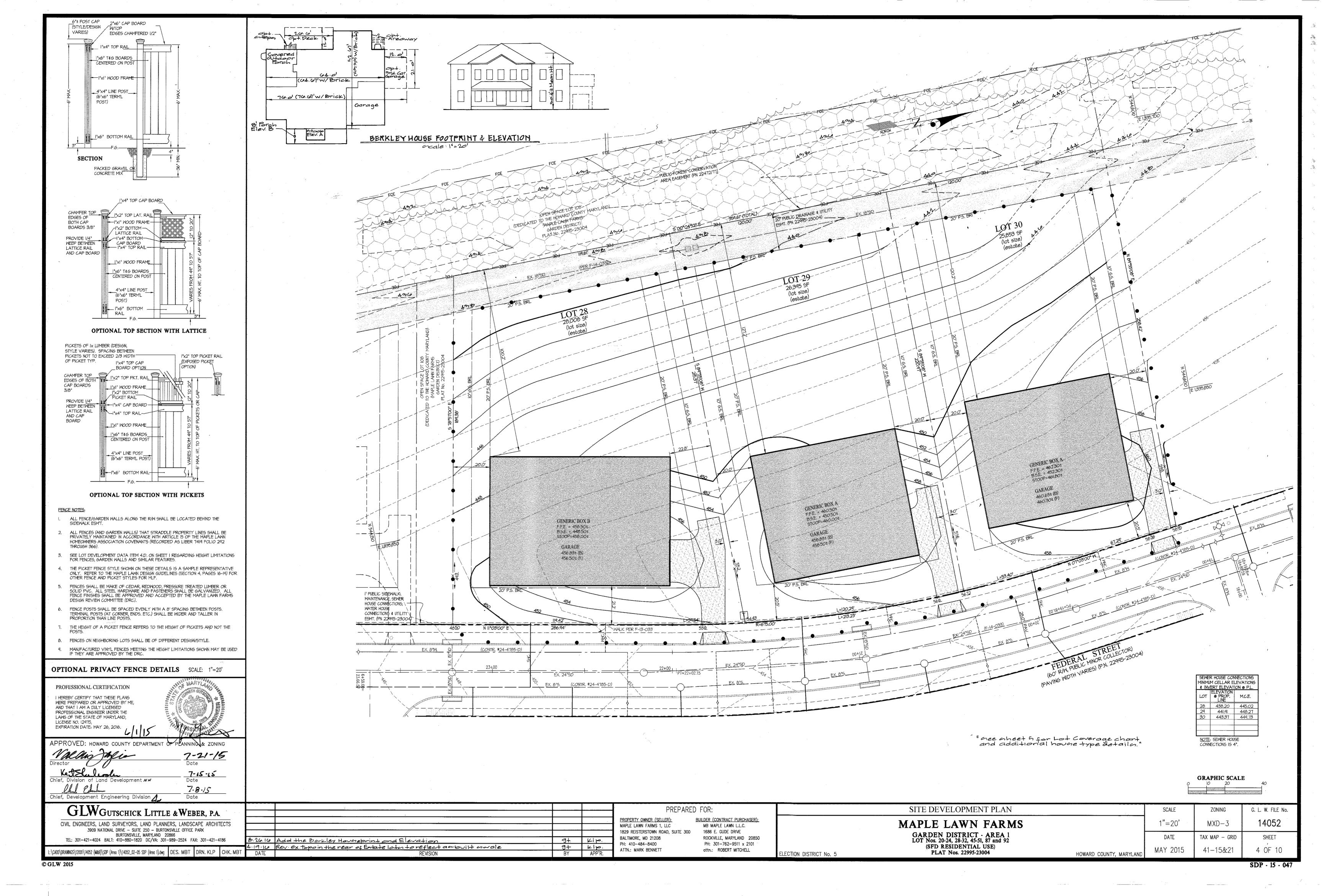
LANDSCAPE PLAN

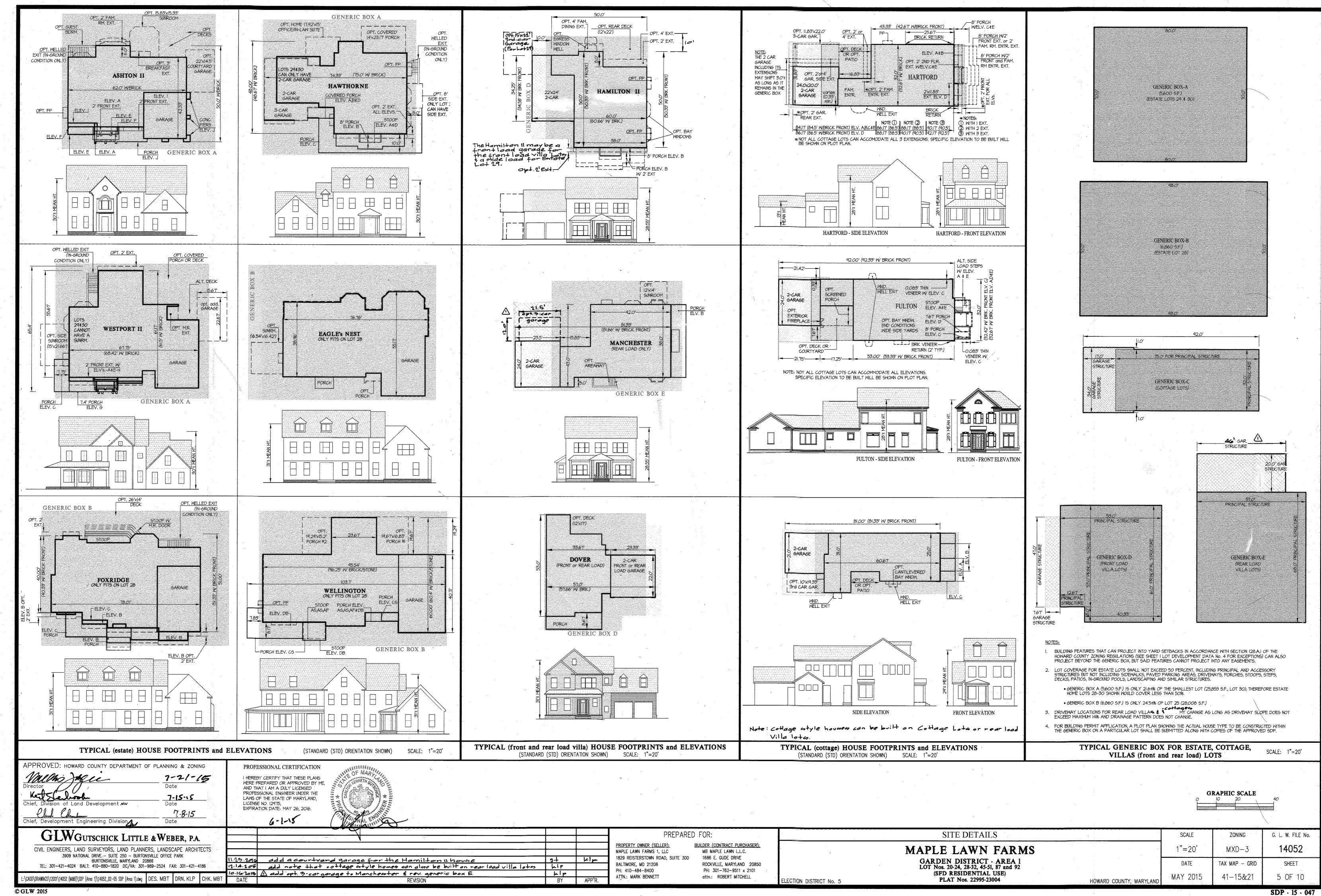
COVER SHEET

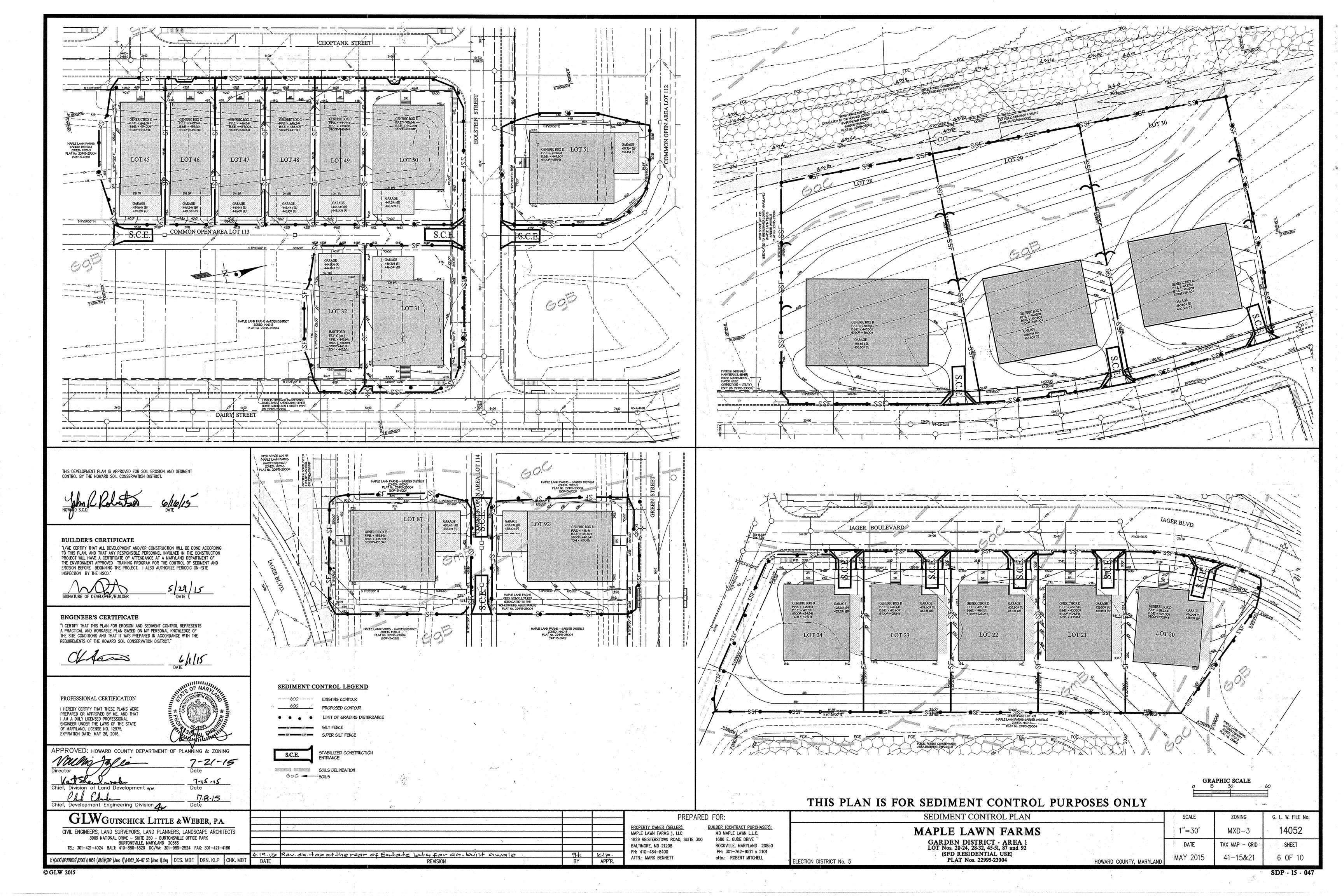
AS SHOWN SHEET TAX MAP - GRID HOWARD COUNTY, MARYLAND











	B-4-2 STANDARD AND SPECIFICATIONS FOR SOIL PREPARATION, TOPSOILING, AND SOIL AMENDMENTS
	<u>DEFINITION</u> THE PROCESS OF PREPARING THE SOILS TO SUSTAIN ADEQUATE VEGETATIVE STABILIZATION.
	PURPOSE
	TO PROVIDE A SUITABLE SOIL MEDIUM FOR VEGETATIVE GROWTH. CONDITIONS VIHERE PRACTICE APPLIES
	WHERE VEGETATIVE STABILIZATION IS TO BE ESTABLISHED.
	<u>CRITERIA</u>
<u>A.</u>	SOIL PREPARATION
	EMPORARY STABILIZATION SEEDBED PREPARATION CONSISTS OF LOOSENING SOIL TO A DEPTH OF 3 TO 5 INCHES BY MEANS.
b.	SUITABLE AGRICULTURAL OR CONSTRUCTION EQUIPMENT, SUCH AS DISC HARROWS OR CHISEL PLOW RIPPERS MOUNTED ON CONSTRUCTION EQUIPMENT. AFTER THE SOIL IS LOOSENED, IT MUST NOT BE ROLLED OR DRAGGED SMOOTH BUT LEFT IN THE ROUGHENED CONDITION, SLOPES 3:1 OR FLATTER TO BE TRACKED WITH RIDGES RUNNING PARALLEL TO THE CONTOUR OF THE SLOPE. APPLY FERTILIZER AND LIME AS PRESCRIBED ON THE PLANS. INCORPORATE LIME AND FERTILIZER INTO THE TOP 3 TO 5 INCHES OF SOIL BY DISKING OR OTHER SUITABLE MEANS.
2. P	ERMANENT STABILIZATION
ą.	A SOIL TEST IS REQUIRED FOR ANY EARTH DISTURBANCE OF 5 ACRES OR MORE. THE MINIMUM SOIL CONDITIONS REQUIRED FOR PERMANENT VEGETATIVE ESTABLISHMENT ARE:
	1. SOIL PH BETWEEN 6.0 AND 7.0.
	II. SOLUBLE SALTS LESS THAN 500 PARTS PER MILLION (PPM). III. SOIL CONTAINS LESS THAN 40 PERCENT CLAY BUT ENOUGH FINE GRAINED MATERIAL (GREATER
	30 PERCENT SILT PLUS CLAY) TO PROVIDE THE CAPACITY TO HOLD A MODERATE AMOUNT OF MOISTURE. AN EXCEPTION: IF LOVEGRASS WILL BE PLANTED, THEN A SANDY SOIL (LESS THAN 3C PERCENT SILT PLUS CLAY) WOULD BE ACCEPTABLE.
	IV. SOIL CONTAINS 1.5 PERCENT MINIMUM ORGANIC MATTER BY WEIGHT.
b.	V. SOIL CONTAINS SUFFICIENT PORE SPACE TO PERMIT ADEQUATE ROOT PENETRATION. APPLICATION OF AMENDMENTS OR TOPSOIL IS REQUIRED IF ON-SITE SOILS DO NOT MEET THE ABO'
	CONDITIONS.
	GRADED AREAS MUST BE MAINTAINED IN A TRUE AND EVEN GRADE AS SPECIFIED ON THE APPROVE PLAN, THEN SCARIFIED OR OTHERWISE LOOSENED TO A DEPTH OF 3 TO 5 INCHES. APPLY SOIL AMENDMENTS AS SPECIFIED ON THE APPROVED PLAN OR AS INDICATED BY THE RESUL OF A SOIL TEST.
e.	MIX SOIL AMENDMENTS INTO THE TOP 3 TO 5 INCHES OF SOIL BY DISKING OR OTHER SUITABLE ME RAKE LAWN AREAS TO SMOOTH THE SURFACE, REMOVE LARGE OBJECTS LIKE STONES AND BRANCH AND READY THE AREA FOR SEED APPLICATION. LOOSEN SURFACE SOIL BY DRAGGING WITH A HEAV CHAIN OR OTHER EQUIPMENT TO ROUGHEN THE SURFACE WHERE SITE CONDITIONS WILL NOT PERMI NORMAL SEEDBED PREPARATION. TRACK SLOPES 3:1 OR FLATTER WITH TRACKED EQUIPMENT LEAVII THE SOIL IN AN IRREGULAR CONDITION WITH RIDGES RUNNING PARALLEL TO THE CONTOUR OF THE SLOPE. LEAVE THE TOP 1 TO 3 INCHES OF SOIL LOOSE AND FRIABLE. SEEDBED LOOSENING MAY BE UNNECESSARY ON NEWLY DISTURBED AREAS.
p	TOPSOILING
1,	TOPSOIL IS PLACED OVER PREPARED SUBSOIL PRIOR TO ESTABLISHMENT OF PERMANENT VEGETATION THE PURPOSE IS TO PROVIDE A SUITABLE SOIL MEDIUM FOR VEGETATIVE GROWTH. SOILS OF CONCESTAVE LOW MOISTURE CONTENT, LOW NUTRIENT LEVELS, LOW PH, MATERIALS TOXIC TO PLANTS, AND
2.	UNACCEPTABLE SOIL GRADATION. TOPSOIL SALVAGED FROM AN EXISTING SITE MAY BE USED PROVIDED IT MEETS THE STANDARDS AS FORTH IN THESE SPECIFICATIONS. TYPICALLY, THE DEPTH OF TOPSOIL TO BE SALVAGED FOR A GIVE
3.	SOIL TYPE CAN BE FOUND IN THE REPRESENTATIVE SOIL PROFILE SECTION IN THE SOIL SURVEY PUBLISHED BY USDA-NRCS. TOPSOILING IS LIMITED TO AREAS HAVING 2:1 OR FLATTER SLOPES WHERE:
G.	THE TEXTURE OF THE EXPOSED SUBSOIL/PARENT MATERIAL IS NOT ADEQUATE TO PRODUCE VEGET. GROWTH.
	THE SOIL MATERIAL IS SO SHALLOW THAT THE ROOTING ZONE IS NOT DEEP ENOUGH TO SUPPORT PLANTS OR FURNISH CONTINUING SUPPLIES OF MOISTURE AND PLANT NUTRIENTS. THE ORIGINAL SOIL TO BE VEGETATED CONTAINS MATERIAL TOXIC TO PLANT GROWTH.
đ.	THE SOIL IS SO ACIDIC THAT TREATMENT WITH LIMESTONE IS NOT FEASIBLE.
4. 5.	AREAS HAVING SLOPES STEEPER THAN 2:1 REQUIRE SPECIAL CONSIDERATION AND DESIGN. TOPSOIL SPECIFICATIONS: SOIL TO BE USED AS TOPSOIL MUST MEET THE FOLLOWING CRITERIA:
	TOPSOIL MUST BE A LOAM, SANDY LOAM, CLAY LOAM, SILT LOAM, SANDY CLAY LOAM, OR LOAMY OTHER SOILS MAY BE USED IF RECOMMENDED BY AN AGRONOMIST OR SOIL SCIENTST AND APPROV BY THE APPROPRIATE APPROVAL AUTHORITY. TOPSOIL MUST NOT BE A MIXTURE OF CONTRASTING TEXTURED SUBSOILS AND MUST CONTAIN LESS THAN 5 PERCENT BY VOLUME OF CINDERS, STONES, SLAG, COARSE FRAGMENTS, GRAVEL, STICKS, ROOTS, TRASH, OR OTHER MATERIALS LARGER THAN INCHES IN DIAMETER.
b.	TOPSOIL MUST BE FREE OF NOXIOUS PLANTS OR PLANT PARTS SUCH AS BERMUDA GRASS, QUACK GRASS, JOHNSON GRASS, NUT SEDGE, POISON IVY, THISTLE, OR OTHERS AS SPECIFIED.
c.	TOPSOIL SUBSTITUTES OR AMENDMENTS, AS RECOMMENDED BY A QUALIFIED AGRONOMIST OR SOIL SCIENTIST AND APPROVED BY THE APPROPRIATE APPROVAL AUTHORITY, MAY BE USED IN LIEU OF NATURAL TOPSOIL.
6.	TOPSOIL APPLICATION
b.	EROSION AND SEDIMENT CONTROL PRACTICES MUST BE MAINTAINED WHEN APPLYING TOPSOIL UNIFORMLY DISTRIBUTE TOPSOIL IN A 5 TO 8 INCH LAYER AND LIGHTLY COMPACT TO A MINIMUM THICKNESS OF 4 INCHES. SPREADING IS TO BE PERFORMED IN SUCH A MANNER THAT SODDING OR SEEDING CAN PROCEED WITH A MINIMUM OF ADDITIONAL SOIL PREPARATION AND TILLAGE, ANY IRREGULARITIES IN THE SURFACE RESULTING FROM TOPSOILING OR OTHER OPERATIONS MUST BE CORRECTED IN ORDER TO PREVENT THE FORMATION OF DEPRESSIONS OR WATER POCKETS. TOPSOIL MUST NOT BE PLACED IF THE TOPSOIL OR SUBSOIL IS IN A FROZEN OR MUDDY CONDITION WHEN THE SUBSOIL IS EXCESSIVELY WET OR IN A CONDITION THAT MAY OTHERWISE BE DETRIMENTATIONER OF GRADING AND SEEDBED PREPARATION.
<u>c.</u>	SOIL AMENDMENTS (FERTILIZER AND LIME SPECIFICATIONS)
1.	SOIL TESTS MUST BE PERFORMED TO DETERMINE THE EXACT RATIOS AND APPLICATION RATES FOR LIME AND FERTILIZER ON SITES HAVING DISTURBED AREAS OF 5 ACRES OR MORE. SOIL ANALYSIS IS BE PERFORMED BY A RECOGNIZED PRIVATE OR COMMERCIAL LABORATORY. SOIL SAMPLES TAKEN FIEDGINEERING PURPOSES MAY ALSO BE USED FOR CHEMICAL ANALYSES. FERTILIZERS MUST BE UNIFORM IN COMPOSITION, FREE FLOWING AND SUITABLE FOR ACCURATE APPLICATION BY APPROPRIATE EQUIPMENT. MANURE MAY BE SUBSTITUTED FOR FERTILIZER WITH PR
3.	APPROVAL FROM THE APPROPRIATE APPROVAL AUTHORITY. FERTILIZERS MUST ALL BE DELIVERED THE SITE FULLY LABELED ACCORDING TO THE APPLICABLE LAWS AND MUST BEAR THE NAME, TRAENAME OR TRADEMARK AND WARRANTY OF THE PRODUCER. LIME MATERIALS MUST BE GROUND LIMESTONE (HYDRATED OR BURNT LIME MAY BE SUBSTITUTED
	EXCEPT WHEN HYDROSEEDING) WHICH CONTAINS AT LEAST 50 PERCENT TOTAL OXIDES (CALCIUM OF PLUS MAGNESIUM OXIDE). LIMESTONE MUST BE GROUND TO SUCH FINENESS THAT AT LEAST 50 PERCENT WILL PASS THROUGH A \$100 MESH SIEVE AND 98 TO 100 PERCENT WILL PASS THROUGH
4.	#20 MESH SIEVE. LIME AND FERTILIZER ARE TO BE EVENLY DISTRIBUTED AND INCORPORATED INTO THE TOP 3 TO 5 INCHES OF SOIL BY DISKING OR OTHER SUITABLE MEANS. WHERE THE SUBSOIL IS EITHER HIGHLY A OR COMPOSED OF HEAVY CLAYS, SPREAD GROUND LIMESTONE AT THE AT THE RATE OF 4 TO 8 TONS/ACRE (200-400 POUNDS PER 1,000 SQUARE FEET) PRIOR TO THE PLACEMENT OF TOPSOIL.
ΑP	PROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
1	allio Meli- 7-21-15
Dire	ector Date
	ef, Division of Land Development NH Date
Chi	
	ef, Development Engineering Division Date

ONS FOR SOIL **B-4-3 STANDARDS AND SPECIFICATIONS FOR AMENDMENTS** SEEDING and MULCHING DEFINITION VEGETATIVE STABILIZATION. THE APPLICATION OF SEED AND MULCH TO ESTABLISH VEGETATIVE COVER. TO PROTECT DISTURBED SOILS FROM EROSION DURING AND AT THE END OF ATIVE GROWTH. CONSTRUCTION. CONDITIONS WHERE PRACTICE APPLIES TABUSHED. TO THE SURFACE OF ALL PERIMETER CONTROLS, SLOPES, AND ANY DISTURBED AREA NOT UNDER ACTIVE GRADING. CRITERIA A. SEEDING OF 3 TO 5 INCHES BY MEANS OF SPECIFICATIONS SC HARROWS OR CHISEL PLOWS OR S LOOSENED, IT MUST NOT BE ON, SLOPES 3:1 OR FLATTER ARE O. ALL SEED MUST MEET THE REQUIREMENTS OF THE MARYLAND STATE SEED LAW. ALL SEED MUST BE SUBJECT TO RE-TESTING BY A RECOGNIZED SEED LABORATORY. ALL SEED USED MUST HAVE BEEN TESTED WITHIN THE 6 MONTHS IMMEDIATELY PRECEDING THE DATE OF SOWING SUCH MATERIAL ON ANY PROJECT. REFER TO TABLE 8.4 REGARDING THE QUALITY OF SEED. SEED TAGS MUST BE AVAILABLE UPON REQUEST TO THE INSPECTOR TO VERIFY TYPE OF SEED AND SEEDING RATE. b. MULCH ALONE MAY BE APPLIED BETWEEN THE FALL AND SPRING SEEDING DATES OF SOIL BY DISKING OR OTHER ONLY IF THE GROUND IS FROZEN. THE APPROPRIATE SEEDING MIXTURE MUST B APPLIED WHEN THE GROUND THAWS. INCOLLANTS: THE INCOLLANT FOR TREATING LEGUME SEED IN THE SEED MIXTURES MUST BE A PURE CULTURE OF NITROGEN FIXING BACTERIA PREPARED SPECIFICALLY FOR THE SPECIES. INOCULANTS MUST NOT BE USED LATER THAN THE DATE ES OR MORE. THE MINIMUM SOIL INDICATED ON THE CONTAINER. ADD FRESH INOCULANTS AS DIRECTED ON THE PACKAGE. USE FOUR TIMES THE RECOMMENDED RATE WHEN HYDROSEEDING. NOTI IT IS VERY IMPORTANT TO KEEP INOCULANT AS COOL AS POSSIBLE UNTIL USED. TEMPERATURES ABOVE 75 TO 80 DEGREES FAHRENHEIT CAN WEAKEN BACTERIA AND MAKE THE INOCULANT LESS EFFECTIVE. SOD OR SEED MUST NOT BE PLACED ON SOIL WHICH HAS BEEN TREATED WITH SOIL GRAINED MATERIAL (GREATER THAN OLD A MODERATE AMOUNT OF STERILANTS OR CHEMICALS USED FOR WEED CONTROL UNTIL SUFFICIENT TIME HAS A SANDY SOIL (LESS THAN 30 ELAPSED (14 DAYS MIN.) TO PERMIT DISSIPATION OF PHYTO-TOXIC MATERIALS. . APPLICATION a. DRY SEEDING: THIS INCLUDES USE OF CONVENTIONAL DROP OR BROADCAST OOT PENETRATION. INCORPORATE SEED INTO THE SUBSOIL AT THE RATES PRESCRIBED ON TEMPORARY SEEDING TABLE B.1, PERMANENT SEEDING TABLE B.3, OR SOILS DO NOT MEET THE ABOVE SITE—SPECIFIC SEEDING SUMMARIES. APPLY SEED IN TWO DIRECTIONS, PERPENDICULAR TO EACH OTHER. APPLY AS SPECIFIED ON THE APPROVED 3 TO 5 INCHES. HALF THE SEEDING RATE IN EACH DIRECTION. ROLL THE SEEDED AREA WITH A WEIGHTED ROLLER TO PROVIDE GOOD SEED TO SOIL CONTACT. OR AS INDICATED BY THE RESULTS D. DRILL OR CULTIPACKER SEEDING: MECHANIZED SEEDERS THAT APPLY AND COVER i. CULTIPACKING SEEDERS ARE REQUIRED TO BURY THE SEED IN SUCH A DISKING OR OTHER SUITABLE MEANS TOTS LIKE STONES AND BRANCHES, OIL BY DRAGGING WITH A HEAVY FASHION AS TO PROVIDE AT LEAST 1/4 INCH OF SOIL COVERING. SEEDBED MUST BE FIRM AFTER PLANTING. ii. APPLY SEED IN TWO DIRECTIONS, PERPENDICULAR TO EACH OTHER, APPLY CONDITIONS WILL NOT PERMIT HALF THE SEEDING RATE IN EACH DIRECTION. H TRACKED EQUIPMENT LEAVING EL TO THE CONTOUR OF TH . HYDROSEEDING: APPLY SEED UNIFORMLY WITH HYDROSEEDER (SLURRY INCLUDES SEEDBED LOOSENING MAY BE SEED AND FERTILIZER). IF FERTILIZER IS BEING APPLIED AT THE TIME OF SEEDING, THE APPLICATION RATES SHOULD NOT EXCEED THE FOLLOWING: NITROGEN, 100 POUNDS PER ACRE TOTAL OF SOLUBLE NITROGEN; P205 (PHOSPHOROUS), 200 POUNDS PER ACRE K20 (POTASSIUM), 200 POUNDS PER ACRE. ENT OF PERMANENT VEGETATION ii. LINE: USE ONLY GROUND AGRICULTURAL LIMESTONE (UP TO 3 TONS PER AC TIVE GROWTH, SOILS OF CONCERN MAY BE APPLIED BY HYDROSEEDING). NORMALLY, NOT MORE THAN 2 TONS ARE APPLIED BY HYDROSEEDING AT ANY ONE TIME. DO NOT USE BURNT OR HYDRAT Terials toxic to plants, and/or LIME WHEN HYDROSEEDIN ii. MIX SEED AND FERTILIZER ON SITE AND SEED IMMEDIATELY AND WITHOUT IT MEETS THE STANDARDS AS SE INTERRUPTION. TO BE SALVAGED FOR A GIVEN iv. WHEN HYDROSEEDING DO NOT INCORPORATE SEED INTO THE SOIL. CTION IN THE SOIL SURVEY B. MULCHING MULCH MATERIALS (IN ORDER OF PREFERENCE) ADEQUATE TO PRODUCE VEGETATIVE a. STRAW CONSISTING OF THOROUGHLY THRESHED WHEAT, RYE, OAT, OR BARLEY AN ot deep enough to support REASONABLY BRIGHT IN COLOR. STRAW IS TO BE FREE OF NOXIOUS WEED SEEDS t nutrients. AS SPECIFIED IN THE MARYLAND SEED LAW AND NOT MUSTY, MOLDY, CAKED, PLANT GROWTH. DECAYED. OR EXCESSIVELY DUSTY. NOTE: USE ONLY STERILE STRAW MULCH IN AREAS WHERE ONE SPECIES OF GRASS IS DESIRED. WOOD CELLULOSE FIBER MULCH (WCFM) CONSISTING OF SPECIALLY PREPARED WO DERATION AND DESIGN. CELLULOSE PROCESSED INTO A UNIFORM FIBROUS PHYSICAL STATE. WCFM IS TO BE DYED GREEN OR CONTAIN A GREEN DYE IN THE PACKAGE THE FOLLOWING CRITERIA: THAT MILL PROVIDE AN APPROPRIATE INSPECTION OF THE UNIFORMLY SPREAD SLURRY. APPROPRIATE COLOR TO FACILITATE VISUA ANDY CLAY LOAM, OR LOAMY SAND WCFM, INCLUDING DYE, MUST CONTAIN NO GERMINATION OR GROWTH INHIBITI OR SOIL SCIENTIST AND APPROVED A MIXTURE OF CONTRASTING VOLUME OF CINDERS, STONES, III. WOFM MATERIALS ARE TO BE MANUFACTURED AND PROCESSED IN SUCH A MANNER THAT THE WOOD CELLULOSE FIBER MULCH WILL REMAIN IN UNIFORM IER MATERIALS LARGER THAN 1.5 SUSPENSION IN WATER UNDER AGITATION AND WILL BLEND WITH SEED. FERTILIZER AND OTHER ADDITIVES TO FORM A HOMOGENEOUS SLURRY THE MULCH MATERIAL MUST FORM A BLOTTER-LIKE GROUND COVER, ON H AS BERMUDA GRASS, QUACK APPLICATION, HAVING MOISTURE ABSORPTION AND PERCOLATION PROPERTIES ers as specified, AND MUST COVER AND HOLD GRASS SEED IN CONTACT WITH THE SOIL WITHOUT INHIBITING THE GROWTH OF THE GRASS SEEDLINGS. ALIFIED AGRONOMIST OR SOIL iv. WCFM MATERIAL MUST NOT CONTAIN ELEMENTS OR COMPOUNDS AT ITY, MAY BE USED IN LIEU OF CONCENTRATION LEVELS THAT WILL BE PHYTO-TOXIC. v. WCFM MUST CONFORM TO THE FOLLOWING PHYSICAL REQUIREMENTS: FIBER APPROXIMATELY 10 MILLIMETERS, DIAMETER APPROXIMATELY 1 MILLIMETER, RANGE OF 4.0 TO 8.5, ASH CONTENT OF 1.6 PERCENT MAXIMUM AND WATHOLDING CAPACITY OF 90 PERCENT MINIMUM. WHEN APPLYING TOPSOIL TLY COMPACT TO A MINIMUM A MANNER THAT SODDING O . APPLICATION RATION AND TILLAGE, ANY THER OPERATIONS MUST BE O. APPLY MULCH TO ALL SEEDED AREAS IMMEDIATELY AFTER SEEDING. OR WATER POCKETS. b. WHEN STRAW MULCH IS USED, SPREAD IT OVER ALL SEEDED AREAS AT THE RA FROZEN OR MUDDY CONDITION OF 2 TONS PER ACRE TO A UNIFORM LOOSE DEPTH OF 1 TO 2 INCHES. APPLY

ATTAIN A MIXTURE WITH A MAXIMUM OF 50 POUNDS OF WOOD CELLULOSE FIBER

Q. PERFORM MULCH ANCHORING IMMEDIATELY FOLLOWING APPLICATION OF MULCH TO MINIMIZE LOSS BY WIND OR WATER. THIS MAY BE DONE BY ONE OF THE FOLLOWING

METHODS (LISTED BY PREFERENCE), DEPENDING UPON THE SIZE OF THE AREA AND

A MULCH ANCHORING TOOL IS A TRACTOR DRAWN IMPLEMENT DESIGNED TO

PUNCH AND ANCHOR MULCH INTO THE SOIL SURFACE A MINIMUM OF 2 INCHES.

THIS PRACTICE IS MOST EFFECTIVE ON LARGE AREAS, BUT IS LIMITED TO FLATTER

SLOPES WHERE EQUIPMENT CAN OPERATE SAFELY. IF USED ON SLOPING LAND,

ii. WOOD CELLULOSE FIBER MAY BE USED FOR ANCHORING STRAW. APPLY THE FIBER BINDER AT A NET DRY WEIGHT OF 750 POUNDS PER ACRE. MIX THE WOOD

PETROSET, TERRA TAX II, TERRA MANUFACTURER. APPLICATION OF LIQUID BINDERS

NEEDS TO BE HEAMER AT THE EDGES WHERE WIND CATCHES MULCH, SUCH AS IN VALLEYS AND ON CRESTS OF BANKS. USE O ASPHALT BINDERS IS STRICTLY PROHIBITED.

LIGHTWEIGHT PLASTIC NETTING MAY BE STAPLED OVER THE MULCH

ACCORDING TO MANUFACTURER RECOMMENDATIONS. NETTING IS USUALLY AVAILABLE IN ROLLS 4 TO 15 FEET WIDE AND 300 TO 3,000 FEET LONG.

CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS

A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF

THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE

REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT."

CELLULOSE FIBER WITH WATER AT A MAXIMUM OF 50 POUNDS OF WOOD

SYNTHETIC BINDERS SUCH AS ACRYLIC DLR (AGRO-TACK), DCA-

THIS PRACTICE SHOULD FOLLOW THE CONTOUR.

CELLULOSE FIBER PER 100 GALLONS OF WATER.

PER 100 GALLONS OF WATER.

PROFESSIONAL CERTIFICATION

HEREBY CERTIFY THAT THESE PLANS WERE

PREPARED OR APPROVED BY ME, AND THAT

ENGINEER UNDER THE LAWS OF THE STATE

ENGINEER'S CERTIFICATE

I AM A DULY LICENSED PROFESSIONAL

OF MARYLAND, LICENSE NO. 12975,

EXPIRATION DATE: MAY 26, 2016.

:\CADD\DRAHINGS\12001\14052 (M&B)\SDP (Area 1)\14052_06-07 SC (Area 1).dwg | DES. MBT | DRN. KLP | CHK. MBT

N RE RE; CRE		IN ACCORDANCE WITH THE "2011 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL" FOR PERMANENT SEEDING (Sec. B-4-5), TEMPORARY SEEDING (Sec. B-4-4) AND MULCHING (Sec. B-4-3). TEMPORARY STABILIZATION WITH MULCH ALONE CAN ONLY BE DONE WHEN RECOMMENDED SEEDING DATES DO NOT ALLOW FOR PROPER GERMINATION AND ESTABLISHMENT OF GRASSES.	
E TED	5.	ALL SEDIMENT CONTROL STRUCTURES ARE TO REMAIN IN PLACE AND ARE TO BE MAINTAINED IN OPERATIVE CONDITION UNTIL PERMISSION FOR THEIR REMOVAL HAS BEEN OBTAINED FROM THE HOWARD COUNTY SEDIMENT CONTROL INSPECTOR.	
	6.	SITE ANALYSIS:	
		TOTAL AREA OF SITE : 4.27± AC.	
		AREA DISTURBED : 4.76± AC. AREA TO BE ROOFED OR PAVED : 1.45± AC.	
		AREA TO BE ROOFED OR PAVED : 1.45± AC.	
	2 1	AREA TO BE VEGETATIVELY STABILIZED : 3.31± AC.	
ND.		TOTAL CUT : 5,280± CY	
		TOTAL FILL : 5,280± CY	
		OFF-SITE WASTE/BORROW AREA LOCATION: NONE	
000	7.	ANY SEDIMENT CONTROL PRACTICE WHICH IS DISTURBED BY GRADING ACTIVITY FOR PLACEMENT OF UTILITIES MUST BE REPAIRED ON THE SAME DAY OF DISTURBANCE	
UAL	8.	ADDITIONAL SEDIMENT CONTROL MUST BE PROVIDED, IF DEEMED NECESSARY BY THE	
ING		HOWARD COUNTY SEDIMENT CONTROL INSPECTOR.	
М	9.	ON ALL SITES WITH DISTURBED AREAS IN EXCESS OF 2 ACRES, APPROVAL OF THE INSPECTION AGENCY SHALL BE REQUESTED UPON COMPLETION OF INSTALLATION OF PERIMETER EROSION AND SEDIMENT CONTROLS, BUT BEFORE PROCEEDING WITH ANY OTHER EARTH DISTURBANCE OR GRADING. OTHER BUILDING OR GRADING INSPECTION APPROVALS MAY NOT BE AUTHORIZED UNTIL THIS INITIAL APPROVAL BY THE INSPECTION ACKNOY IS MAY	

B-4-4 STANDARDS AND SPECIFICATIONS

FOR TEMPORARY STABILIZATION

TO STABILIZE DISTURBED SOILS WITH VEGETATION FOR UP TO 6 MONTHS.

TO USE FAST GROWING VEGETATION THAT PROVIDES COVER ON DISTURBED SOILS.

CONDITIONS WHERE PRACTICE APPLIES EXPOSED SOILS WHERE GROUND COVER IS NEEDED FOR

PRACTICES ARE REQUIRED.

CRITERIA

TEMPORARY SEEDING SUMMARY BELOW ALONG WITH APPLICATION RATES, SEEDING DATES

FOR SITES HAVING SOIL TESTS PERFORMED, USE AND SHOW THE RECOMMENDED RATES BY

MULCH OR STRAW MULCH ALONE AS PRESCRIBED IN SECTION 8-4-3.A.1.B AND MAINTAIN

AND SEEDING DEPTHS. IF THIS SUMMARY IS NOT PUT ON THE PLAN AND COMPLETED,

WHEN STABILIZATION IS REQUIRED OUTSIDE OF A SEEDING SEASON, APPLY SEED AND

TEMPORARY SEEDING SUMMARY

SEEDING

DATES

SEDIMENT CONTROL NOTES

ALL VEGETATIVE AND STRUCTURAL PRACTICES ARE TO BE INSTALLED ACCORDING TO THE PROVISIONS OF THIS PLAN AND ARE TO BE IN CONFORMANCE WITH THE MOST CURRENT

FOLLOWING INITIAL SOIL DISTURBANCE OR RE-DISTURBANCE, PERMANENT OR TEMPORARY

A. 3 CALENDAR DAYS FOR ALL PERIMETER SEDIMENT CONTROL STRUCTURES, DIKES,

B. 7 DAYS AS TO ALL OTHER DISTURBED OR GRADED AREAS ON THE PROJECT SITE.

ALL DISTURBED AREAS MUST BE STABILIZED WITHIN THE TIME PERIOD SPECIFIED ABOVE

OF INSPECTION, LICENSES AND PERMITS, SEDIMENT CONTROL DIVISION PRIOR TO THE

*MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT

A MINIMUM OF 48 HOURS NOTICE MUST BE GIVEN TO THE HOWARD COUNTY DEPARTMENT

PEARL MILLET 20 lb/ac May 16 to July 31 0.5 INCHES

PERIMETER SLOPES AND ALL SLOPES GREATER THAN 3:1,

START OF ANY CONSTRUCTION. (410-313-1855).

STABILIZATION SHALL BE COMPLETED WITHIN:

CONTROL" AND REVISIONS THERETO.

AGENCY IS MADE.

REVISION

THEN TABLE BY PLUS FERTILIZER AND LIME RATES MUST BE PUT ON THE PLAN

THE TESTING AGENCY SOIL TESTS ARE NOT REQUIRED FOR TEMPORARY SEEDING.

UNTIL THE NEXT SEEDING SEASON.

HARDINESS ZONE: 6b

SEED MIXTURE:

SPECIES

RYEGRASS

A PERIOD OF 6 MONTHS OR LESS. FOR LONGER DURATION OF TIME, PERMANENT STABILIZATION

 TRENCHES FOR THE CONSTRUCTION OF UTILITIES IS LIMITED TO 3 PIPE LENGTHS OR THAT WHICH SHALL BE BACKFILLED AND STABILIZED BY THE END OF EACH WORK DAY, WHICHEVER IS SHORTER. ANY CHANGES OR REVISIONS TO THE SEQUENCE OF CONSTRUCTION MUST BE REVIEWED AND APPROVED BY THE PLAN APPROVAL AUTHORITY PRIOR TO PROCEEDING WITH CONSTRUCTION. A PROJECT IS TO BE SEQUENCED SO THAT THE GRADING ACTIVITIES BEGIN ON ONE GRADING UNIT (MAXIMUM ACREAGE OF 20 AC. PER GRADING UNIT) AT A TIME. WORK MAY PROCEED TO A SUBSEQUENT GRADING UNIT WHEN AT LEAST 50 PERCENT OF THE DISTURBED AREA IN THE PRECEDING GRADING UNIT HAS BEEN STABILIZED AND APPROVED BY THE APPROVAL AUTHORITY. UNLESS OTHERWISE SPECIFIED AND APPROVED BY THE APPROVAL AUTHORITY, NO MORE THAN 30 ACRES CUMULATIVELY MAY BE DISTURBED AT A GIVEN TIME.
STANDARDS AND SPECIFICATIONS FOR DUST CONTROL

DEFINITION
CONTROLLING THE SUSPENSION OF DUST PARTICLES FROM CONSTRUCTION ACTIVITIES.
PURPOSE
TO PREVENT BLOWING AND MOVEMENT OF DUST FROM EXPOSED SOIL SURFACES TO REDUCE ON
OFF—SITE DAMAGE INCLUDING HEALTH AND TRAFFIC HAZARDS.
COMPLETONS WHERE DRACTICE APPLIES

AREAS SUBJECT TO DUST BLOWING AND MOVEMENT WHERE ON AND OFF-SITE DAMAGE IS LIKELY WITHOUT TREATMENT. **SPECIFICATIONS** MULCHES: SEE SECTION 8-4-2 SOIL PREPARATION, TOPSOILING, AND SOIL AMENDMENTS, SECTION B-4-3 SEEDING AND MULCHING, AND SECTION B-4-4 TEMPORARY STABILIZATION. MULCH MUST BE ANCHORED TO PREVENT BLOWING.

VEGETATIVE COVER: SEE SECTION B-4-4 TEMPORARY STABILIZATION. TILLAGE: TILL TO ROUGHEN SURFACE AND BRING CLODS TO THE SURFACE, BEGIN PLOWING ON WINDWARD SIDE OF SITE. CHISEL-TYPE PLOWS SPACED ABOUT 12 INCHES APART, SPRING-TOOTHED HARROWS, AND SIMILAR PLOWS ARE EXAMPLES OF EQUIPMENT THAT MAY PRODUCE THE DESIRED IRRIGATION: SPRINKLE SITE WITH WATER UNTIL THE SURFACE IS MOIST, REPEAT AS NEEDED. THE SITE MUST NOT BE IRRIGATED TO THE POINT THAT RUNOFF OCCURS. BARRIERS: SOUD BOARD FENCES, SILT FENCES, SNOW FENCES, BURLAP FENCES, STRAW BALES, AND SIMILAR MATERIAL CAN BE USED TO CONTROL AIR CURRENTS AND SOIL BLOWING. CHEMICAL TREATMENT: USE OF CHEMICAL TREATMENT REQUIRES APPROVAL BY THE APPROPRIATE PLAN REVIEW AUTHORITY.

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT. BUILDER'S CERTIFICATE

"I/WE CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A MARYLAND DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE inspection by the HSCD." (MC).

B-4-5 STANDARDS AND SPECIFICATIONS FOR PERMANENT STABILIZATION

TO STABILIZE DISTURBED SOILS WITH PERMANENT VEGETATION.

O USE LONG-LIVED PERENNIAL GRASSES AND LEGUMES TO ESTABLISH PERMANENT GROUND COVER ON DISTURBED SOILS.

CONDITIONS WHERE PRACTICE APPLIES

EXPOSED SOILS WHERE GROUND COVER IS NEEDED FOR 6 MONTHS OR MORE.

SELECT ONE OR MORE OF THE SPECIES OR SEED MIXTURES LISTED IN TABLE B.1 FOR THE APPROPRIATE PLANT HARDINESS ZONE (FROM FIGURE B.3). AND ENTER THEM IN THE

FERTILIZER

(10-10-10)

(10 lb./

SEEDING

Aug. 1 to Oct. 15 | 0.5 INCHES | 436 lb./ac. 2 tons/ac

RATE LIME RATE

1,000 sf) 1,000 sf)

SELECT ONE OR MORE OF THE SPECIES OR MIXTURES LISTED IN TABLE B.3 FOR THE APPROPRIATE PLANT HARDINESS ZONE (FROM FIGURE B.3) AND BASED ON THE SITE CONDITION OR PURPOSE FOUND ON TABLE B.2. ENTER SELECTED MIXTURE(S). APPLICATION RATES, AND SEEDING DATES IN THE PERMANENT SEEDING SUMMARY. THE SUMMARY IS TO BE PLACED ON THE PLAN.

ADDITIONAL PLANTING SPECIFICATIONS FOR EXCEPTIONAL SITES SUCH AS SHORELINES STREAM BANKS, OR DUNES OR FOR SPECIAL PURPOSES SUCH AS WILDLIFE OR AESTHETIC TREATMENT MAY BE FOUND IN USDA-NRCS TECHNICAL FIELD OFFICE GUIDE, SECTION 342 - CRITICAL AREA PLANTING.

FOR SITES HAVING DISTURBED AREA OVER 5 ACRES, USE AND SHOW THE RATES RECOMMENDED BY THE SOIL TESTING AGENCY. FOR AREAS RECEIVING LOW MAINTENANCE, APPLY UREA FORM FERTILIZER (46-0-0) AT 3 1/2 POUNDS PER 1000 SQUARE FEET (150 POUNDS PER ACRE) AT THE TIME OF SEEDING IN ADDITION TO THE SOIL AMENDMENTS SHOWN IN THE PERMANENT SEEDING SUMMARY.

AREAS WHERE TURFGRASS MAY BE DESIRED INCLUDE LAWNS, PARKS, PLAYGROUNDS, AND COMMERCIAL SITES WHICH WILL RECEIVE A MEDIUM TO HIGH LEVEL OF MAINTENANCE.

SELECT ONE OR MORE OF THE SPECIES OR MIXTURES LISTED BELOW BASED ON THE SITE CONDITIONS OR PURPOSE. ENTER SELECTED MIXTURE(S), APPLICATION RATES, AND SEEDING DATES IN THE PERMANENT SEEDING SUMMARY. THE SUMMARY IS TO BE PLACED

KENTUCKY BLUEGRASS: FULL SUN MIXTURE: FOR USE IN AREAS THAT RECEIVE INTENSIVE MANAGEMENT. IRRIGATION REQUIRED IN THE AREAS OF CENTRAL MARYLAND AND EASTERN SHORE. RECOMMENDED CERTIFIED KENTUCKY BLUEGRASS CULTIVARS SEEDING RATE: 1.5 TO 2.0 POUNDS PER 1000 SQUARE FEET. CHOOSE A MINIMUM OF THREE KENTUCKY BLUEGRASS CULTIVARS WITH EACH RANGING FROM 10 TO 35 PERCENT OF THE TOTAL MIXTURE BY WEIGHT.

KENTUCKY BLUEGRASS/PERENNIAL RYE: FULL SUN MIXTURE: FOR USE IN FULL SUN AREAS WHERE RAPID ESTABLISHMENT IS NECESSARY AND WHEN TURF WILL RECEIVE MEDIUM TO INTENSIVE MANAGEMENT, CERTIFIED PERENNIAL RYEGRASS CHI TIVARS / CERTIFIED KENTIICKY RILLECRASS SEEDING RATE: 2 POLINDS MIXTURE PER 1000 SQUARE FEET. CHOOSE A MINIMUM OF THREE KENTUCKY BLUEGRASS CULTIVARS WITH EACH RANGING FROM 10 TO 35 PERCENT OF THE TOTAL MIXTURE BY WEIGHT. TALL FESCUE/KENTUCKY BLUEGRASS: FULL SUN MIXTURE: FOR USE IN DROUGHT

PRONE AREAS AND/OR FOR AREAS RECEIVING LOW TO MEDIUM MANAGEMENT IN FULL SUN TO MEDIUM SHADE. RECOMMENDED MIXTURE INCLUDES; CERTIFIED TALL FESCUE CULTIVARS 95 TO 100 PERCENT, CERTIFIED KENTUCKY BLUEGRASS CULTIVARS 0 TO 5 PERCENT. SEEDING RATE: 5 TO 8 POUNDS PER 1000 SQUARE FEET. ONE OR MORE CULTIVARS MAY BE

KENTUCKY BLUEGRASS/FINE FESCUE: SHADE MIXTURE: FOR USE IN AREAS WITH SHADE IN BLUEGRASS LAWNS. FOR ESTABLISHMENT IN HIGH QUALITY, INTENSIVELY MANAGED TURF AREA. MIXTURE INCLUDES; CERTIFIED KENTUCKY BLUEGRASS CULTIVARS 30 TO 40 PERCENT AND CERTIFIED FINE FESCUE AND 60 TO 70 PERCENT SEEDING RATE: 11/2 TO 3 POUNDS PER 1000 SQUARE FEET.

SELECT TURFGRASS VARIETIES FROM THOSE LISTED IN THE MOST CURRENT UNIVERSITY OF MARYLAND PUBLICATION, AGRONOMY MEMO #77, "TURFGRASS CULTIVAR RECOMMENDATIONS FOR MARYLAND"

CHOOSE CERTIFIED MATERIAL. CERTIFIED MATERIAL IS THE BEST GUARANTEE OF CULTIVAR PURITY. THE CERTIFICATION PROGRAM OF THE MARYLAND DEPARTMENT OF AGRICULTURE, TURF AND SEED SECTION, PROVIDES A RELIABLE MEANS OF CONSUMER PROTECTION AND ASSURES A PURE GENETIC LINE IDEAL TIMES OF SEEDING FOR TURE CRASS MIXTURES

WESTERN MD: MARCH 15 TO JUNE 1, AUGUST 1 TO OCTOBER 1 (HARDINESS ZONES: CENTRAL MD: MARCH 1 TO MAY 15, AUGUST 15 TO OCTOBER 15 (HARDINESS ZONE: SOUTHERN MD. EASTERN SHORE: MARCH 1 TO MAY 15, AUGUST 15 TO OCTOBER 15 HARDINESS ZONES: 7A, 7B)

TILL AREAS TO RECEIVE SEED BY DISKING OR OTHER APPROVED METHODS TO A DEPTH OF 2 TO 4 INCHES, LEVEL AND RAKE THE AREAS TO PREPARE A PROPER SEEDBED. REMOVE STONES AND DEBRIS OVER 1 1/2 INCHES IN DIAMETER. THE RESULTING SEEDBED MUST BE IF SOIL MOISTURE IS DEFICIENT, SUPPLY NEW SEEDINGS WITH ADEQUATE WATER FOR

PLANT GROWTH (1/2 TO 1 INCH EVERY 3 TO 4 DAYS DEPENDING ON SOIL TEXTURE) UNTIL THEY ARE FIRMLY ESTABLISHED. THIS IS ESPECIALLY TRUE WHEN SEEDINGS ARE MADE LATE IN THE PLANTING SEASON, IN ABNORMALLY DRY OR HOT SEASONS, OR ON ADVERSE

PERMANENT SEEDING SUMMARY SEED MIXTURE: #9 (Tall Fescue/ Kentucky Bluegrass) FERTILIZER SEEDING | DEPTHS | (10-20-20) | LIME | SPECIES DATES *Certified Tall Fescue blend (95% by weight): Falcon IV, Penn 1901 & Rebel Exeda | 6-8 lb/ | Mar. 1 to May 15, 1/4 -Aug. 15 to Oct. 15 1/2 IN. | s.f. 1000 | 90 lb/ 1000 s.f. (45 lb/acre) Certified Kentucky Bluegrass blend (5% by weight): Courtyard, Raven & Yankee

* Other cultivars listed as "proven" in the most current UMD TT-77 may also be used . SOD: TO PROVIDE QUICK COVER ON DISTURBED AREAS (2:1 GRADE OR FLATTER).

GENERAL SPECIFICATIONS CLASS OF TURFGRASS SOD MUST BE MARYLAND STATE CERTIFIED. SOD LABELS MUST BE MADE AVAILABLE TO THE JOB FOREMAN AND INSPECTOR. b. SOD MUST BE MACHINE CUT AT A UNIFORM SOIL THICKNESS OF 3/4 INCH, PLUS OR MINUS 1/4 INCH, AT THE TIME OF CUTTING. MEASUREMENT FOR THICKNESS MUST EXCLUDE TOP GROWTH AND THATCH. BROKEN PADS AND TORN OR UNEVEN ENDS WILL NOT BE

STANDARD SIZE SECTIONS OF SOD MUST BE STRONG ENOUGH TO SUPPORT THEIR OWN WEIGHT AND RETAIN THEIR SIZE AND SHAPE WHEN SUSPENDED VERTICALLY WITH A FIRM GRASP ON THE UPPER 10 PERCENT OF THE SECTION. SOD MUST NOT BE HARVESTED OR TRANSPLANTED WHEN MOISTURE CONTENT (EXCESSIVELY DRY OR WET) MAY ADVERSELY AFFECT ITS SURVIVAL.

SOD MUST BE HARVESTED, DELIVERED, AND INSTALLED WITHIN A PERIOD OF 36 HOURS. SOD NOT TRANSPLANTED WITHIN THIS PERIOD MUST BE APPROVED BY AN AGRONOMIST OR SOIL SCIENTIST PRIOR TO ITS INSTALLATION. SOD INSTALLATION

DURING PERIODS OF EXCESSIVELY HIGH TEMPERATURE OR IN AREAS HAVING DRY SUBSOIL, LIGHTLY IRRIGATE THE SUBSOIL IMMEDIATELY PRIOR TO LAYING THE SOD. LAY THE FIRST ROW OF SOD IN A STRAIGHT LINE WITH SUBSEQUENT ROWS PLACED PARALLEL TO IT AND TIGHTLY WEDGED AGAINST EACH OTHER. STAGGER LATERAL JOINTS TO PROMOTE MORE UNIFORM GROWTH AND STRENGTH. ENSURE THAT SOD IS NOT STRETCHED OR OVERLAPPED AND THAT ALL JOINTS ARE BUTTED TIGHT IN ORDER TO PREVENT VOIDS WHICH WOULD CAUSE AIR DRYING OF THE ROOTS.
WHEREVER POSSIBLE, LAY SOD WITH THE LONG EDGES PARALLEL TO THE CONTOUR AND WITH STAGGERING JOINTS. ROLL AND TAMP, PEG OR OTHERWISE SECURE THE SOD TO PREVENT SLIPPAGE ON SLOPES. ENSURE SOLID CONTACT EXISTS BETWEEN SOD ROOTS

THE UNDERLYING SOIL SURFACE. WATER THE SOD IMMEDIATELY FOLLOWING ROLLING AND TAMPING UNTIL THE UNDERSIDE OF THE NEW SOD PAD AND SOIL SURFACE BELOW THE SOD ARE THOROUGHLY WET. COMPLETE THE OPERATIONS OF LAYING, TAMPING AND IRRIGATING FOR ANY PIECE OF SOD WITHIN SOD MAINTENANCE

IN THE ABSENCE OF ADEQUATE RAINFALL, WATER DAILY DURING THE FIRST WEEK OR AS OFTEN AND SUFFICIENTLY AS NECESSARY TO MAINTAIN MOIST SOIL TO A DEPTH OF 4 INCHES. WATER SOD DURING THE HEAT OF THE DAY TO PREVENT WILTING.
AFTER THE FIRST WEEK, SOD WATERING IS REQUIRED AS NECESSARY TO MAINTAIN

ADEQUATE MOISTURE CONTENT. DO NOT MOW UNTIL THE SOD IS FIRMLY ROOTED. NO MORE THAN 1/3 OF THE GRASS LEAF MUST BE REMOVED BY THE INITIAL CUTTING OR SUBSEQUENT CUTTINGS. MAINTAIN A GRASS HEIGHT OF AT LEAST 3 INCHES UNLESS OTHERWISE SPECIFIED.

> PREPARED FOR: PROPERTY OWNER (SELLER): BUILDER (CONTRACT PURCHASER): MAPLE LAWN FARMS 1, LLC MB MAPLE LAWN L.L.C. 1829 REISTERSTOWN ROAD, SUITE 300. 1686 E. GUDE DRIVE BALTIMORE, MD 21208 ROCKVILLE, MARYLAND 20850 PH: 301-762-9511 x 2101 PH: 410-484-8400 ATTN.: MARK BENNETT attn.: ROBERT MITCHELL

B-4-8 STANDARDS AND SPECIFICATIONS FOR STOCKPILE AREA

A MOUND OR PILE OF SOIL PROTECTED BY APPROPRIATELY DESIGNED EROSION AND SEDIMENT CONTROL MEASURES. TO PROVIDE A DESIGNATED LOCATION FOR THE TEMPORARY STORAGE OF SOIL THAT CONTROLS THE POTENTIAL FOR EROSION, SEDIMENTATION, AND CHANGES TO DRAINAGE PATTERNS. CONDITIONS WHERE PRACTICE APPUES
STOCKPILE AREAS ARE UTILIZED WHEN IT IS NECESSARY TO SALVAGE AND STORE SOIL FOR LATER USE.

THE STOCKPILE LOCATION AND ALL RELATED SEDIMENT CONTROL PRACTICES MUST BE CLEARLY INDICATED ON THE

EROSION AND SEDIMENT CONTROL PLAN. THE FOOTPRINT OF THE STOCKPILE MUST BE SIZED TO ACCOMMODATE THE ANTICIPATED VOLUME OF MATERIAL AND BASED ON A SIDE SLOPE RATIO NO STEEPER THAN 2:1, BENCHING MUST RE PROVIDED IN ACCORDANCE

WITH SECTION B-3 LAND GRADING

RUNOFF FROM THE STOCKPILE AREA MUST DRAIN TO A SUITABLE SEDIMENT CONTROL PRACTICE. ACCESS THE STOCKPILE AREA FROM THE UPGRADE SIDE.

CLEAR WATER RUNOFF INTO THE STOCKPILE AREA MUST BE MINIMIZED BY USE OF A DIVERSION DEVICE SUCH AS AN EARTH DIKE, TEMPORARY SWALE OR DIVERSION FENCE. PROVISIONS MUST BE MADE FOR DISCHARGING CONCENTRATED FLOW IN A NON-FROSIVE MANNER

WHERE RUNOFF CONCENTRATES ALONG THE TOE OF THE STOCKPILE FILL, AN APPROPRIATE EROSION/SEDIMENT CONTROL PRACTICE MUST BE USED TO INTERCEPT THE DISCHARGE. STOCKPILES MUST BE STABILIZED IN ACCORDANCE WITH THE 3/7 DAY

STABILIZATION REQUIREMENT AS WELL AS STANDARD B-4-1 INCREMENTAL STABILIZATION AND STANDARD B-4-4 TEMPORARY STABILIZATION. IF THE STOCKPILE IS LOCATED ON AN IMPERVIOUS SURFACE, A LINER SHOULD BE PROVIDED BELOW THE STOCKPILE TO FACILITATE CLEANUP. STOCKPILES

CONTAINING CONTAMINATED MATERIAL MUST BE COVERED WITH IMPERMEABLE

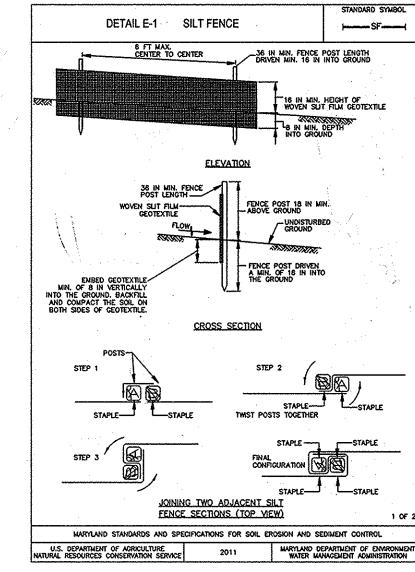
MAINTENANCE
THE STOCKPILE AREA MUST CONTINUOUSLY MEET THE REQUIREMENTS FOR ADEQUATE VEGETATIVE ESTABLISHMENT IN ACCORDANCE WITH SECTION B-4 VEGETATIVE STABILIZATION, SIDE SLOPES MUST BE MAINTAINED AT NO STEEPER THAN A 2:1 RATIO. THE STOCKPILE AREA MUST BE KEPT FREE OF EROSION. IF THE VERTICAL HEIGHT OF A STOCKPILE EXCEEDS 20 FEET FOR 2:1 SLOPES, 30 FEET FOR 3:1 SLOPES, OR 40 FEET FOR 4:1 SLOPES, BENCHING MUST BE PROVIDED IN ACCORDANCE WITH SECTION B-3 LAND GRADING.

STOCKPILING WILL BE PERMITTED ON REAR OF VILLA AND ESTATE LOTS AND

TYPICAL TEMPORARY STOCKPILE DETAIL

ON ADJACENT (MITCHELL AND BEST) LOT FOR COTTAGES.

ELECTION DISTRICT No. 5



ENTRANCE

CONSTRUCTION SPECIFICATIONS

PROFILE

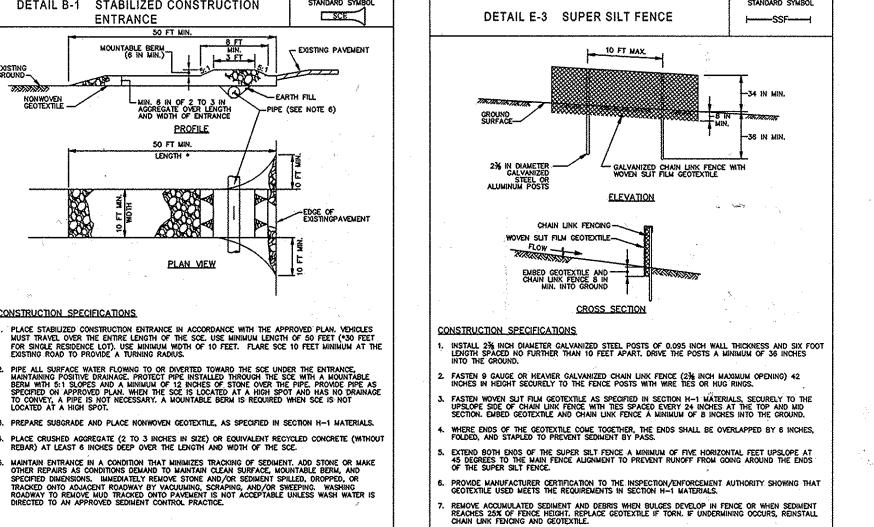
PLAN VIEW

MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL

WARYLAND DEPARTMENT OF ENVIRONMEN WATER MANAGEMENT ADMINISTRATION

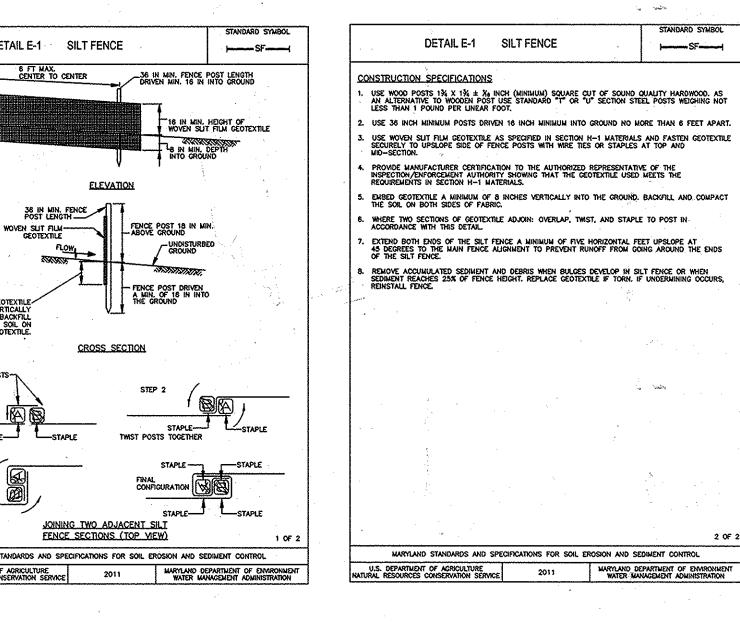
50 FT NIN.

LENGTH



MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL

WARTLAND DEPARTMENT OF ENVIRONMEN
WATER MANAGEMENT ADMINISTRATION



SEQUENCE OF CONSTRUCTION

TEMPORARY

STOCKPILE ON

(M&B) ABI

LOT

1. APPLY FOR GRADING PERMIT AND SCHEDULE A PRE-CONSTRUCTION MEETING WITH THE COUNTY SEDIMENT CONTROL INSPECTOR (CSCI) OBTAIN GRADING PERMIT FROM THE CSCI AT THE MEETING. Duration: 1/2 day.

__========

2. INSTALL STABILIZED CONSTRUCTION ENTRANCES (SCE), SILT FENCES (SF), SUPER SILT FENCES (SSF) AND ANY ADDITIONAL SEDIMENT CONTROL MEASURES AS DIRECTED BY THE CSCI. (CLEARING AND GRUBBING IS NOT NECESSARY AS SITE WAS MASS GRADED TO INSTALL A REGIONAL SWM FACILITY.) Duration: 1-day.

3. GRADE SITE FOR HOUSE CONSTRUCTION. PROVIDE DUST CONTROL AS NECESSARY.

4. CONSTRUCT HOUSES, UITILITY CONNECTIONS, GARAGES, DRIVEWAYS AND SIDEWALKS.

5. AS EACH HOUSE/GARAGE IS COMPLETED, FINAL GRADE THE LOT, INSTALL FENCES AND PLANT MATERIAL AND STABILIZE ALL BARE DIRT AREA WITH PERMANENT SEEDING OR WITH SOD. Duration: 2-days. 6. ONCE AREA DRAINING TO SEDIMENT CONTROL MEASURES HAVE BEEN STABILIZED, OBTAIN

PERMISSION FROM THE CSCI TO REMOVE THE SEDIMENT CONTROL ITEMS. Duration: 1/2

7. OBTAIN INSPECTION FOR RELEASE OF SURETY (FOR GRADING AND LANDSCAPING).

8. OBTAIN USE AND OCCUPANCY PERMIT THEN FINALIZE SETTLEMENT.

OTES: TEMPORARY SWM IS PROVIDED BY THE EXISTING BASIN ON OPEN SPACE LOT 109 & 110

PER F-13-008 (SEE SHEET #1). 2. IF HOUSE CONSTRUCTION IS CONCURRENT WITH ROAD CONSTRUCTION, COORDINATE THE WORK ON THESE PLANS WITH F-14-033.

3. SOILS SHOWN ARE PRE-DEVELOPMENT CONDITION. THE SITE IS MASS GRADED UNDER F-12-029 AND ALL SOILS WILL BE CONSIDERED "MAN-MADE".

4. SEEDING AND STABILIZATION IS TO BE PERFORMED AT THE DIRECTION OF THE SEDIMENT CONTROL INSPECTOR OR IN COMPLIANCE WITH THE STANDARD SEEDING AND STABILIZATION NOTES WHICHEVER IS MORE RESTRICTIVE

5. STANDARD SILT FENCE CAN BE CHANGED TO SUPER SILT FENCE AT THE DIRECTION OF 6. WHEN SUPER SILT FENCE IS RUNNING AT A SLOPE GREATER THEN 5% FOR A DISTANCE

OVER 50', CURL FENCE UP 2' FOR EVERY 2' OF ELEVATION CHANGE ALONG SILT FENCE. 7. STOCKPILING WILL BE PERMITTED ON REAR OF LOT FOR VILLAS AND ESTATE LOTS AND ON ADJACENT (MITCHELL AND BEST) LOT FOR COTTAGES.

THIS PLAN IS FOR SEDIMENT CONTROL PURPOSES ONLY

SEDIMENT CONTROL NOTES and DETAILS SCALE ZONING G. L. W. FILE No. MAPLE LAWN FARMS 1"=20' MXD-3GARDEN DISTRICT - AREA 1 LOT Nos. 20-24, 28-32, 45-51, 87 and 92 DATE TAX MAP - GRID SHEET (SFD RESIDENTIAL USE) 7 OF 10 41-15&21 PLAT Nos. 22995-23004 HOWARD COUNTY, MARYLAND

© GLW 2015

