

GENERAL NOTES

1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF HOWARD COUNTY STANDARDS AND SPECIFICATIONS. ALL WORK AND MATERIALS SHALL COMPLY WITH O.S.H.A. STANDARDS.

2. THE CONTRACTOR SHALL NOTIFY "MISS UTILITIES" AT 800-257-7777 AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION WORK.

3. THE CONTRACTOR IS NOT TO BE RESPONSIBLE FOR UTILITIES OR ACCESS AT LEAST FIVE DAYS BEFORE STARTING WORK ON THESE DRAWINGS.

4. SITE ANALYSIS:

EXISTING USE: PARKING LOT

PADDOCK POINTE OVERALL PROJECT DATA (ALL PHASES):

PHASE 1 DEVELOPMENT AREA: 63.230 AC. (PARCEL 384, INCLUDING AREAS BETWEEN N & SB ROUTE 1)

PHASE 2 DEVELOPMENT AREA: 0.2064 AC. (PARCEL 144)

PHASE 3 DEVELOPMENT AREA: 0.2064 AC. (PARCEL 144)

PHASE 4 DEVELOPMENT AREA: 0.2064 AC. (PARCEL 144)

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SITE DEVELOPMENT PLAN

PADDOCK POINTE - PHASE 1

PARCELS 384/441; PARCELS A-2, B-1, B-2, B-3, C-1, J, K-1, L, AND LOTS D, E-1, F-1, G, H, & I

BENCHMARKS

HOWARD COUNTY BENCHMARK - 508A
N 527561.68 E 1359772.60 ELEV.: 29.44

HOWARD COUNTY BENCHMARK - 5085
N 524999.37 E 1357925.75 ELEV.: 178.20

LEGEND

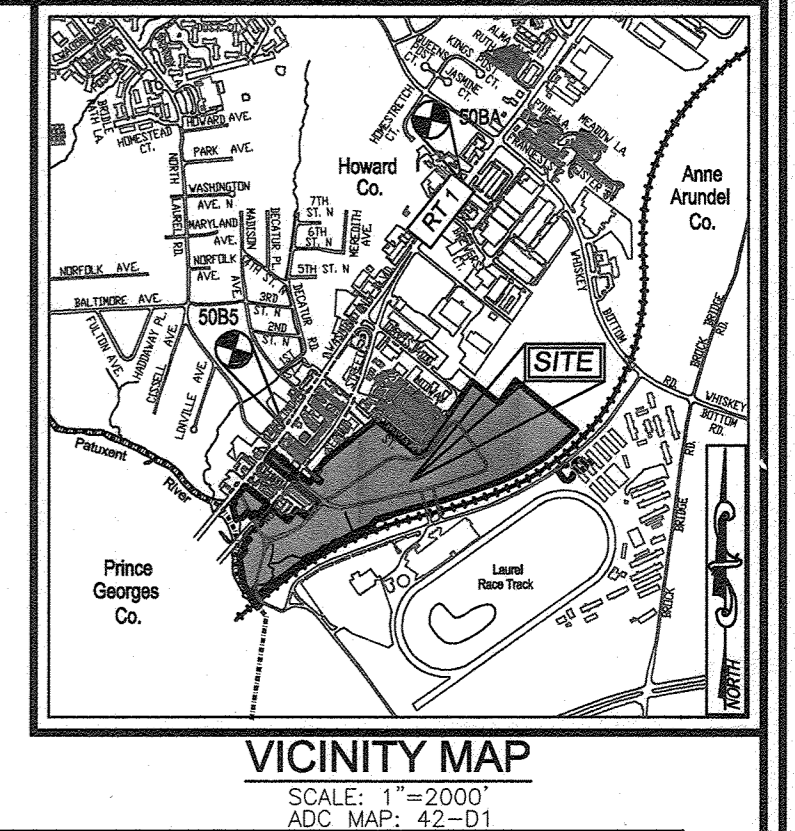
PROPERTY LINE

RIGHT-OF-WAY LINE

ADJACENT PROPERTY LINE

EXISTING CURB AND GUTTER

PHASE 1 DEVELOPMENT AREA



APPROXIMATE CONSTRUCTION IMPLEMENTATION

USE	2016	2017	2018	2019	2020	2021
RESIDENTIAL	220	280	250	250	250	250
OFFICE	143,000	150,000	150,000	67,000	140,000	140,000
RETAIL	17,000	45,000	65,000			
TOTAL	164,000	195,000	315,000	217,000	290,000	290,000

NON-RESIDENTIAL PHASING

PHASE	OFFICE	RETAIL	YEAR
I	143,000	17,000	2016
II	150,000	45,000	2017
III	150,000	65,000	2018
IV	150,000	65,000	2019
V	150,000	65,000	2020
TOTAL	600,000	127,000	

TOP RESIDENTIAL DEVELOPMENT TRACKING

PHASE	RESIDENTIAL AREA (AC)	% OF DEVELOPABLE AREA (NOT TO EXCEED)	% OF GROSS AREA
PHASE 1	59.81	94.59%	94.59%
PHASE 2	0.21	0.33%	0.33%
PHASE 3	0.21	0.33%	0.33%
PHASE 4	0.21	0.33%	0.33%
PHASE 5	0.21	0.33%	0.33%
PHASE 6	0.21	0.33%	0.33%
PHASE 7	0.21	0.33%	0.33%
PHASE 8	0.21	0.33%	0.33%
PHASE 9	0.21	0.33%	0.33%
PHASE 10	0.21	0.33%	0.33%
PHASE 11	0.21	0.33%	0.33%
PHASE 12	0.21	0.33%	0.33%
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PHASE 99	0.21	0.33%	0.33%
PHASE 100	0.21	0.33%	0.33%

GENERAL NOTES (CONTINUED...)

63. IN ACCORDANCE WITH SECTION 133.0.4 OF THE ZONING REGULATIONS, DRIVEWAYS THAT SERVICE DWELLING UNITS MUST PROVIDE SPACE FOR AT LEAST ONE VEHICLE TO PARK WITHOUT BLOCKING THE ADJACENT SIDEWALK OR STREET TO ACCOMPLISH THIS, DRIVEWAYS THAT PROVIDE ACCESS TO AN INDIVIDUAL DWELLING UNIT SHALL BE AT LEAST 18' LONG AS MEASURED FROM THE GARAGE OR END OF THE DRIVEWAY TO THE EDGE OF THE SIDEWALK; IF THERE IS NO SIDEWALK, THE DRIVEWAY SHALL BE MEASURED TO THE FLOWLINE OF THE STREET CURB.

64. TOWNHOUSE DRIVEWAY ENTRANCES SHALL BE IN ACCORDANCE WITH HOWARD COUNTY DESIGN MANUAL, VOLUME II, SECTION 6-6.05. DRIVEWAYS SHALL BE PROVIDED PRIOR TO RESIDENTIAL OCCUPANCY TO INSURE SAFE ACCESS FOR FIRE AND EMERGENCY VEHICLES FOR THE FOLLOWING MINIMUM REQUIREMENTS:

A. WIDTH - 12 FEET (18 FEET IF SERVING MORE THAN ONE RESIDENCE, MODIFIED TO 9' WIDTH FOR STACKED TOWNHOUSE UNITS).

B. SURFACE - 4" MINIMUM OF UNCOMPACTED GRANULAR FILL OVER 12" MINIMUM OF GRANULAR FILL.

C. GRADE - MAXIMUM 10% GRADE, MAXIMUM 10% GRADE CHANGE, AND MAXIMUM 45' TURNING RADIUS.

D. STRUCTURES (CULVERTS/BRIDGES) - MUST SUPPORT OVERHEAD UTILITIES AND BE CONSTRUCTED TO WITHSTAND OVERHEAD UTILITIES.

E. DRAINAGE ELEMENTS - CAPABLE OF PASSING 100 YEAR FLOOD EVENTS WITH NO MORE THAN 1 FOOT DEPTH OVER STRUCTURE CLEARANCES - MINIMUM 12 FEET G. MAINTENANCE - SUFFICIENT TO INSURE ALL WEATHER USE.

65. IN ACCORDANCE WITH SECTION 16.106(1)(2) OF THE HOWARD COUNTY SUBDIVISION AND LAND DEVELOPMENT REGULATIONS, OFF-STREET PARKING SHALL BE PROVIDED FOR EACH PHASE PROPOSED WITH A MINIMUM OF 2 SPACES PER UNIT AND TO THE PORTION OF A GROUP OF SINGLE FAMILY ATTACHED UNITS.

66. THE MINIMUM REQUIRED CONCEPT PLAN SHALL BE SUBMITTED TO THE DPZ WITHIN 30 DAYS ON OR BEFORE 06/18/15.

67. PRIOR TO THE SUBMISSION AND ACCEPTANCE OF ANY SITE DEVELOPMENT PLANS FOR PHASES 2, 3, AND 4 THE DEVELOPER SHALL SUBMIT COMPLIANCE WITH THE COMMENTS FROM THE DEVELOPMENT ENGINEERING DIVISION DATED 05/13/15.

68. THE SITE DEVELOPMENT PLAN FOR PHASE 2 MUST BE SUBMITTED ON OR BEFORE 07/30/15.

69. THE SITE DEVELOPMENT PLAN FOR PHASE 3 MUST BE SUBMITTED ON OR BEFORE 07/31/15.

70. THE SITE DEVELOPMENT PLAN FOR PHASE 4 MUST BE SUBMITTED ON OR BEFORE 07/31/15.

71. THE SITE DEVELOPMENT PLAN FOR PHASE 5 MUST BE SUBMITTED ON OR BEFORE 07/31/15.

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120. THE SITE DEVELOPMENT PLAN FOR PHASE 54 MUST BE SUBMITTED ON OR BEFORE 07/31/15.

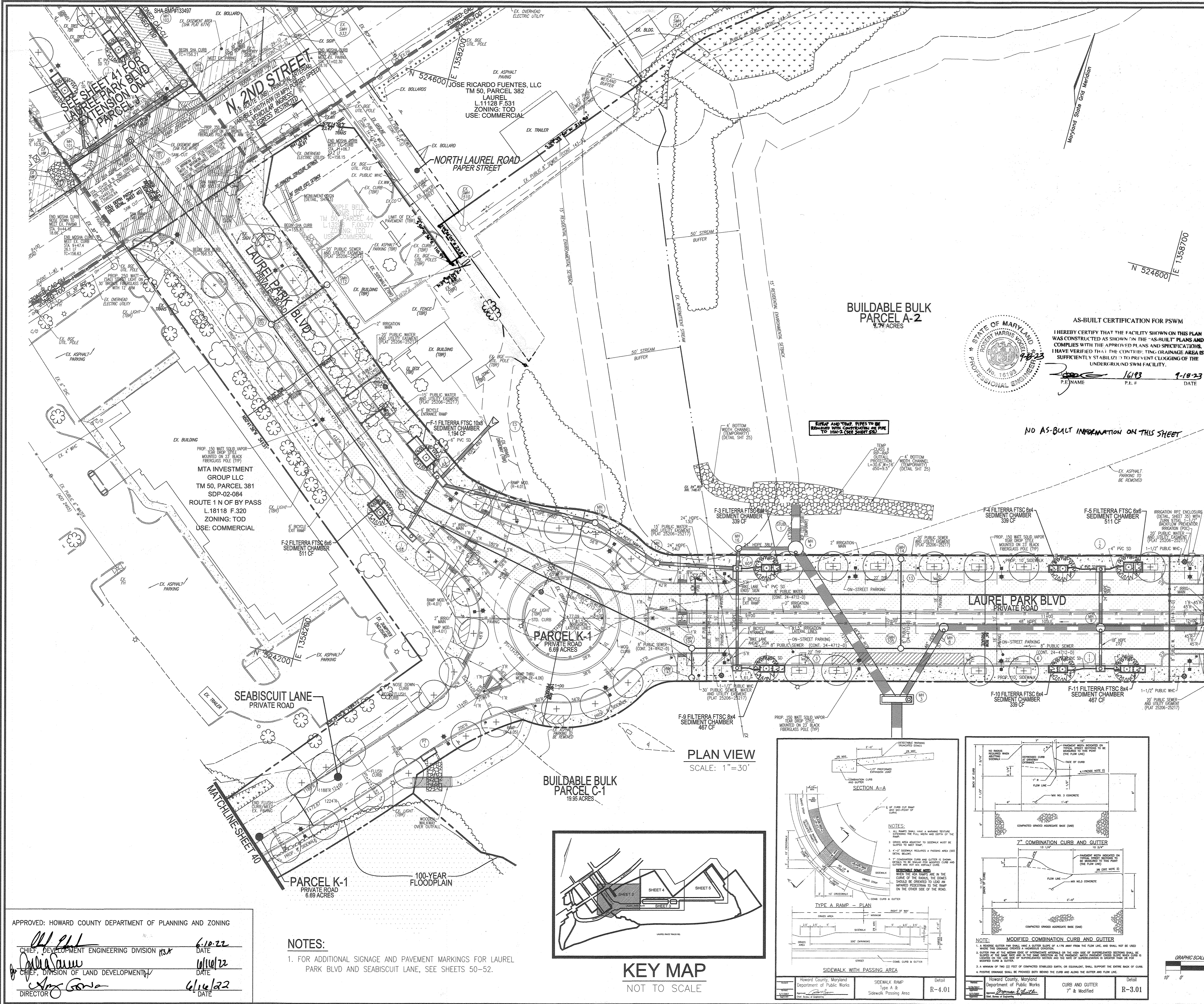
121. THE SITE DEVELOPMENT PLAN FOR PHASE 55 MUST BE SUBMITTED ON OR BEFORE 07/31/15.

122. THE SITE DEVELOPMENT PLAN FOR PHASE 56 MUST BE SUBMITTED ON OR BEFORE 07/31/15.

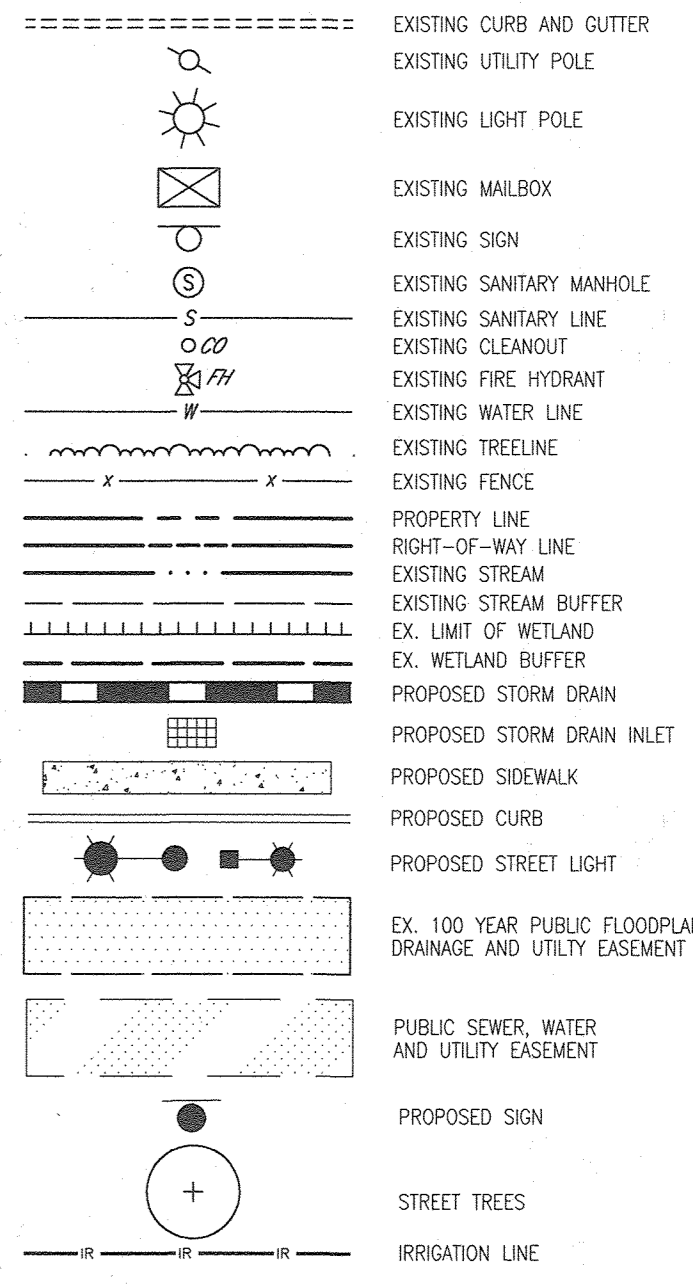
123. THE SITE DEVELOPMENT PLAN FOR PHASE 57 MUST BE SUBMITTED ON OR BEFORE 07/31/15.

124. THE SITE DEVELOPMENT PLAN FOR PHASE 58 MUST BE SUBMITTED ON OR BEFORE 07/31/15.

125. THE SITE DEVELOPMENT PLAN FOR PHASE 59 MUST BE SUBMITTED ON OR BEFORE

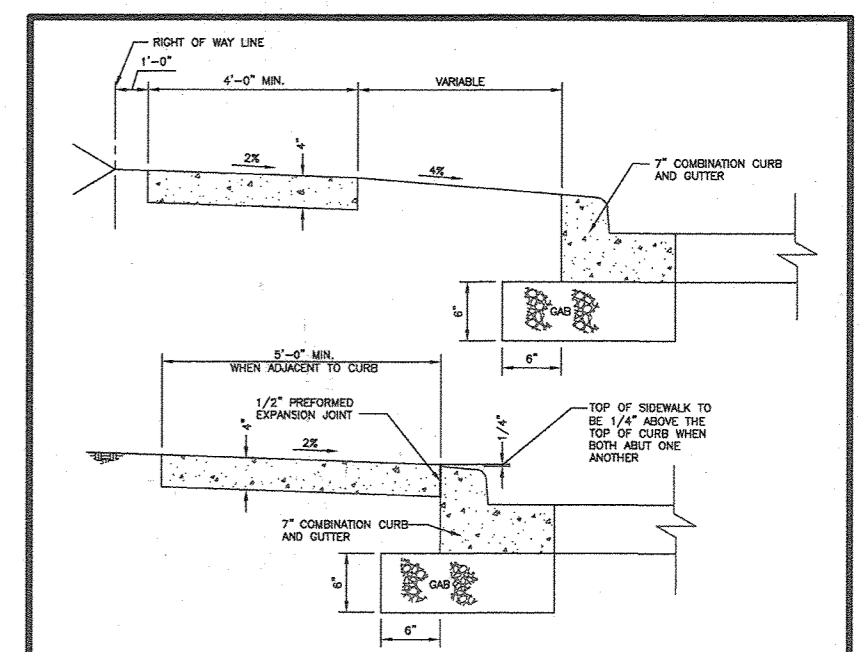


LEGEND:



AS-BUILT CERTIFICATION FOR PSWM
 I HEREBY CERTIFY THAT THE FACILITY SHOWN ON THIS PLAN WAS CONSTRUCTED AS SHOWN ON THE "AS-BUILT" PLANS AND COMPLIES WITH THE APPROVED PLANS AND SPECIFICATIONS. I HAVE VERIFIED THAT THE CONTRIBUTING DRAINAGE AREA IS SUFFICIENTLY STABILIZED TO PREVENT CLOGGING OF THE UNDERGROUND SWM FACILITY.
 P.E. NAME: Robert Harris P.E. # 16193 DATE: 9-18-23

NO AS-BUILT INFORMATION ON THIS SHEET



- NOTES:**
- SEWER TO BE SLOPED IN 5'-0" MAXIMUM SLOPES.
 - CONCRETE JOINTS ALONG THE SEWER MUST BE TO BE MADE FROM 1/2" MIN. OR 1/4" FOR 4" WIDE SEWER. CONCRETE JOINTS ALONG THE SEWER MUST BE TO BE MADE FROM 1/2" MIN. OR 1/4" FOR 4" WIDE SEWER.
 - 1/2" PRECASTED EXPANDED METAL IN EXPANSION JOINTS TO BE KEPT 1/4" CLEAR SPACES OF SEWER.
 - CONCRETE TO BE M4.8A.
 - MANHOLE SEWER ADJUST. SIDEWALK SHALL BE 1/4" ABOVE CURB WITH 1/4" PRECASTED EXPANDED METAL IN EXPANSION JOINTS AND CURB.
 - ON LONGITUDINAL SEWER, CHANGES OF SIZE OR GRADE, A CONCRETE MANHOLE AT 30" AND 48" DEEP SHALL BE INSTALLED. 4" SEWER THROUGH DRAIN IS CONSIDERED ONE (1) MANHOLE. THE TOP OF THE SEWER AT MANHOLES OR AT THE SECOND SHALL BE PLACED AT THE EXISTING JOINT LOCATION AND SHALL BE INDICATED WITH THE SEWER.
 - SEWER WITH ADJUST TO CURB SHALL BE 5'-0" MINIMUM EXCEPT SEWER ADJUST TO CURB IN CULVERTS OR UNDER 1/2" MIN. SHALL BE 4'-0" IN WITH WITH A 1/4" PAVED SECTION BEHIND THE ADJUST.
 - 4'-0" SIDEWALK REQUIRES A PAVING AREA (SEE DETAIL R-4.01).

Howard County, Maryland Department of Public Works	Detail	R-3.05
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OWNER
 TRIPLE BELL FARMS, LLC
 198 LAUREL PARK BLVD. N.W.
 LAUREL, MD 20725
 (301) 470-5494

OWNER/DEVELOPER
 2006 DELAWARE, INC.
 198 LAUREL PARK BLVD. N.W.
 LAUREL, MD 20725
 (301) 470-5494

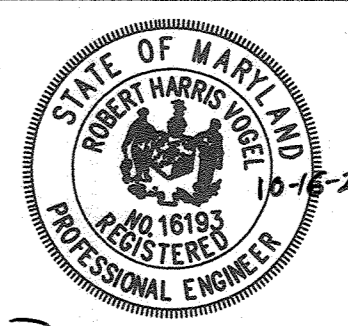
NO.	REVISION	DATE
5	FINAL PLAN TO SHOW RECONSTRUCTION OF STREAM, AND STORM DRAIN AND TRAP ON PARCEL A-2	9-1-22
3	MODIFICATION OF PHASE 1 LAYOUT, RENAME PLAN, LANDSCAPING, PRIVATE ROAD IMPROVEMENTS, UTILITY LAYOUT AND STORMWATER MANAGEMENT.	09/08/20
2	REVISE THE PLANS TO ILLUSTRATE IRRIGATION LINES WITHIN PRIVATE ROADWAY	07/28/20
1	MODIFICATION OF PHASE 1 LAYOUT, ROAD LAYOUT, UTILITY LAYOUT, STORMWATER MANAGEMENT, AND BYPASS LAYOUT	06/11/19

REVISED SITE DEVELOPMENT PLAN

SITE LAYOUT PLAN

PADDOCK POINTE - PHASE 1
 (FORMERLY KNOWN AS LAUREL PARK STATION)
 PARCELS: 384/441
 PARCELS A-2, B-1, B-2, B-3, C-1, J, K-1, L, AND
 P.384 (L10518/F.157) PARCELS A-2, B-1, B-2
 P.441 (L13296/F.377) LOTS D, E-1, F-1, G, H, & I
 ZONED: TOD
 HOWARD COUNTY, MARYLAND

VOGEL ENGINEERING
 TIMMONS GROUP
 3300 NORTH RIDGE ROAD, SUITE 110, ELLICOTT CITY, MD 21043
 P: 410.461.7666 F: 410.461.8961 www.timmons.com

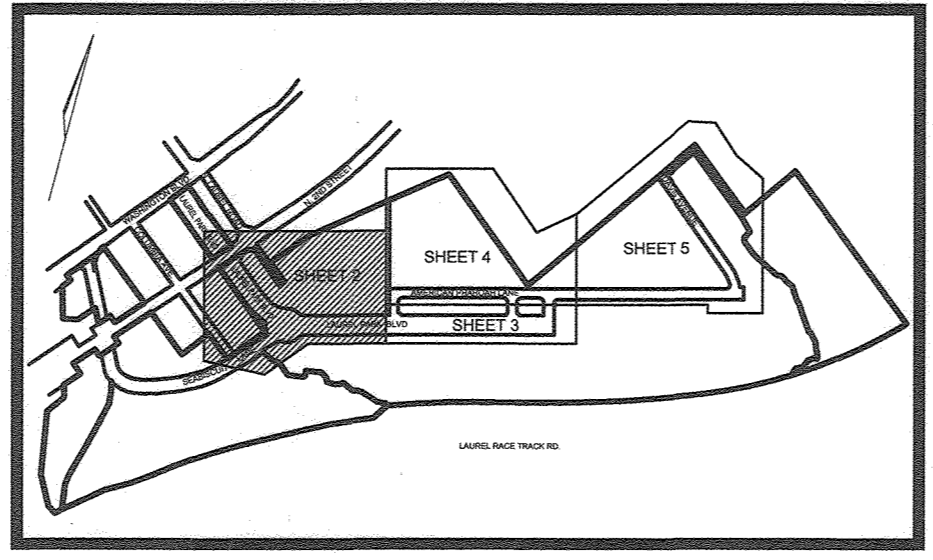


PROFESSIONAL CERTIFICATE
 DESIGN BY: RHW/DZE
 DRAWN BY: DZE
 CHECKED BY: RHV
 DATE: SEPTEMBER 2020
 SCALE: AS SHOWN
 W.O. NO.: 07-11/40111

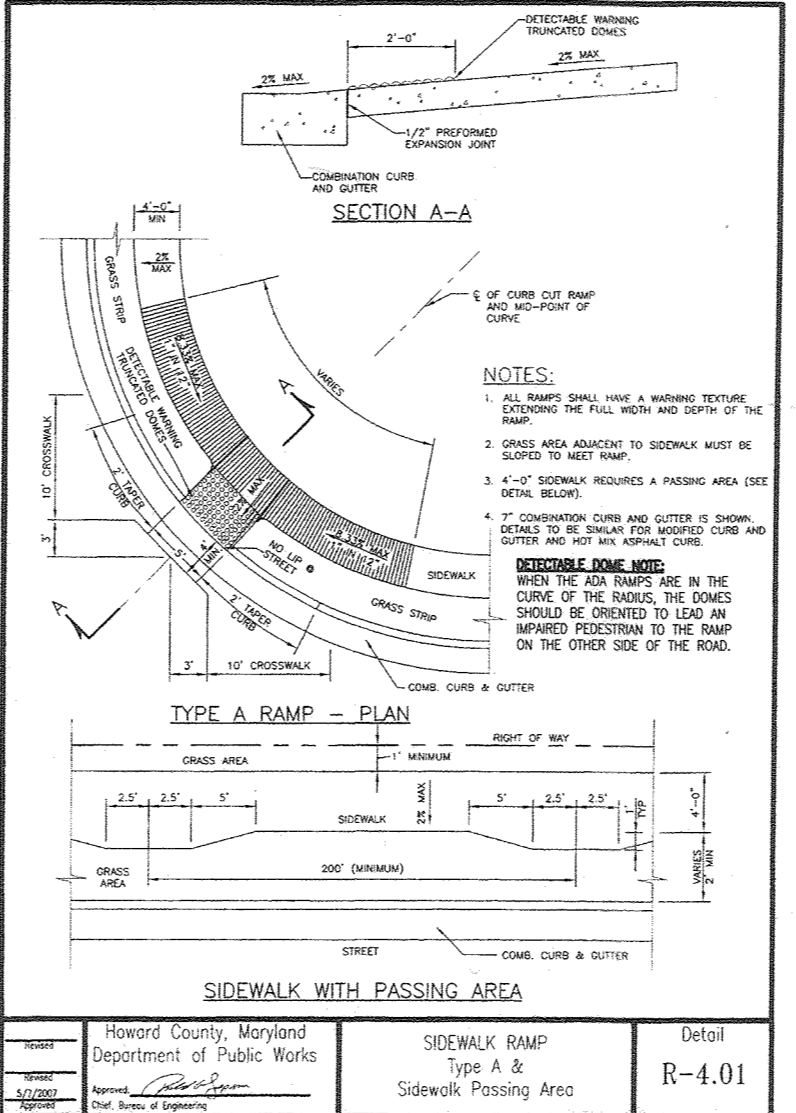
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NO. 16193 EXPIRATION DATE: 09-28-2024

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
 Chief, Development Engineering Division
 DATE: 6/10/22
 Chief, Division of Land Development
 DATE: 6/10/22
 Director
 DATE: 6/14/22

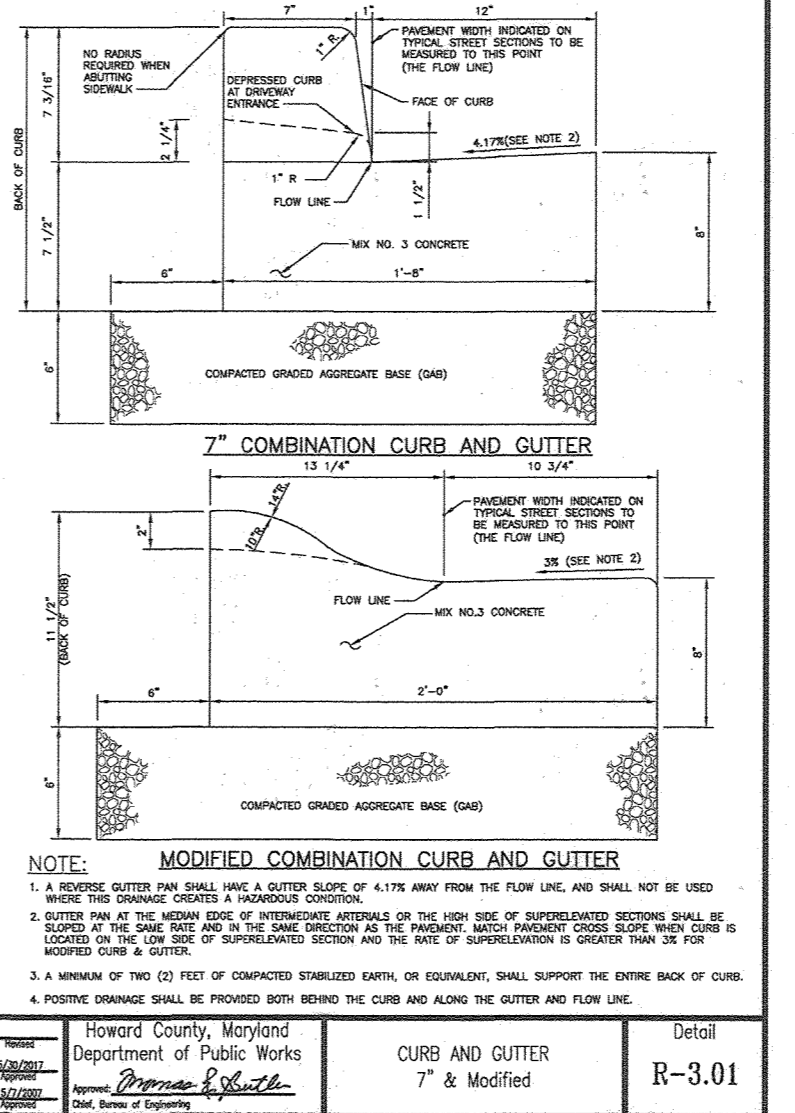
- NOTES:**
- FOR ADDITIONAL SIGNAGE AND PAVEMENT MARKINGS FOR LAUREL PARK BLVD AND SEABISCUIT LANE, SEE SHEETS 50-52.



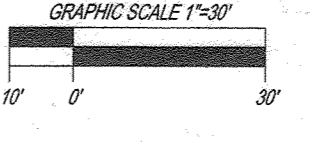
KEY MAP
 NOT TO SCALE



SECTION A-A
 SIDEWALK WITH PASSING AREA
 Detail R-4.01

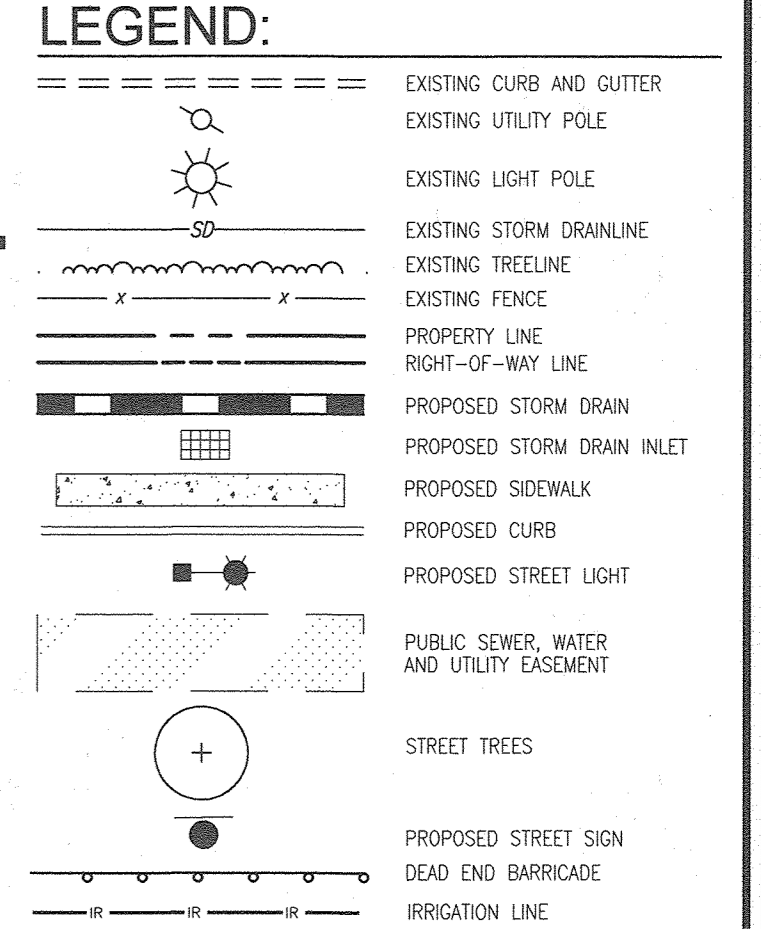
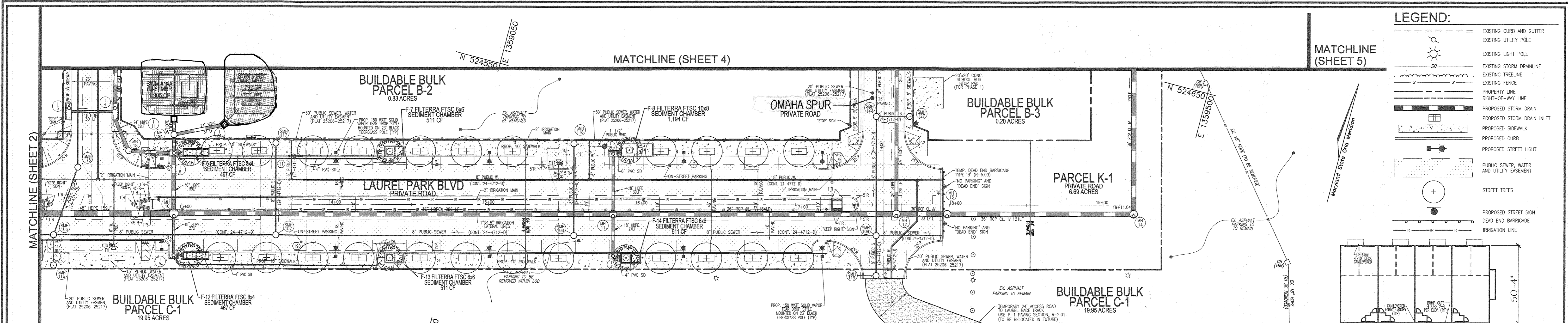


MODIFIED COMBINATION CURB AND GUTTER
 CURB AND GUTTER
 7" & Modified
 Detail R-3.01



MATCHLINE (SHEET 4)

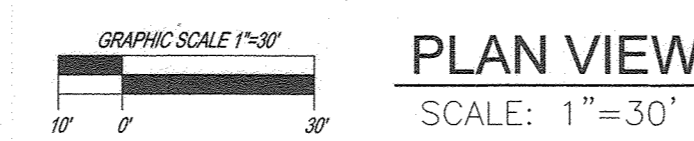
MATCHLINE (SHEET 3)



MATCHLINE (SHEET 5)

MATCHLINE (SHEET 4)

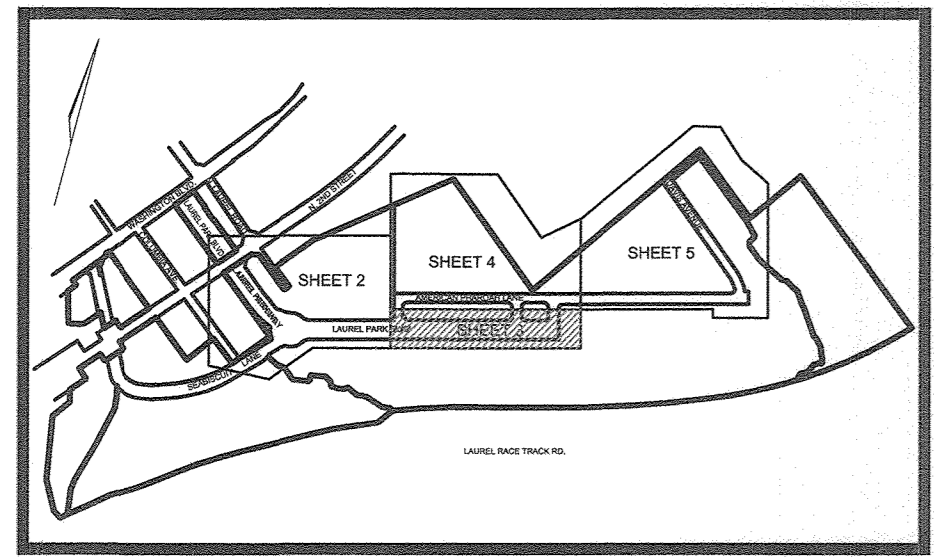
MATCHLINE (SHEET 2)



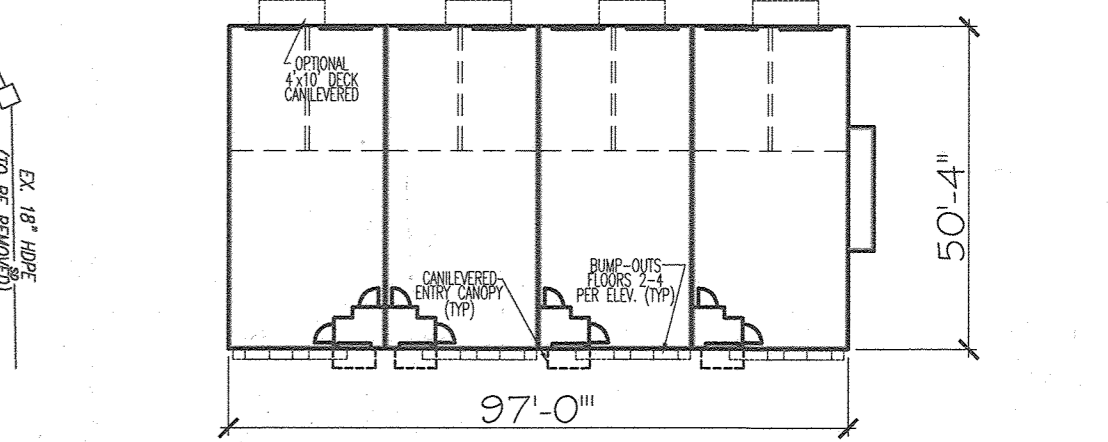
PLAN VIEW
SCALE: 1"=30'

GENERAL NOTES (CONTINUED FROM SHEET 01):
84. THIS PLAN IS SUBJECT TO WP-16-136, APPROVED 06/20/16; TO WAIVE SECTION 16.120(b)(4)(ii) WHICH PROHIBITS RESIDENTIAL CONDOMINIUM UNITS AND RENTAL APARTMENTS WITHIN 15 FEET OF THE PROTECTED ENVIRONMENTAL FEATURE BUFFER, SECTION 16.120(c)(1) WHICH REQUIRES ALL COMMERCIAL, INDUSTRIAL, OR APARTMENT PARCELS OR LOTS SHALL HAVE A MINIMUM FRONTAGE OF 60 FEET ON A PUBLIC ROAD, SECTION 16.120(b)(12) WHICH REQUIRES OFF-STREET PARKING WITHIN 200 FEET FROM THE MAIN ENTRANCE OF EACH APARTMENT BUILDING OR THE MIDPOINT OF A GROUP OF SINGLE-FAMILY ATTACHED UNITS. APPROVAL IS SUBJECT TO THE FOLLOWING CONDITIONS:
1. COMPLIANCE WITH SUBMISSION REVIEW COMMITTEE COMMENTS ISSUED FOR SITE DEVELOPMENT PLANS, SDP-15-043 AND SDP-15-043.
2. ON ALL FUTURE SUBMISSION PLANS AND SITE DEVELOPMENT PLANS, PROVIDE A BRIEF DESCRIPTION OF WALKER PETITION, WP-16-136, AS A GENERAL NOTE TO INCLUDE REQUESTS, SECTIONS OF THE REGULATIONS, ACTION AND DATE.
3. APPROVAL OF ANY STATE OF MARYLAND PERMITS REQUIRED FOR THE ENVIRONMENTAL DISTURBANCES. THE MORE TRACING PERMIT NUMBER MUST BE SHOWN AS A GENERAL NOTE ON THE FINAL PLAN AND SITE DEVELOPMENT PLANS.
4. COMPLIANCE WITH ALL DEADLINES AS ESTABLISHED IN THE MOST RECENT APPROVED APFO PHASING CHART SCHEDULE.
5. APPROVAL FOR A WALKER TO SECTION 16.120(b)(4)(ii) AUTHORIZES DISTURBANCES INTO THE 15-FOOT ENVIRONMENTAL SETBACK AS DEPICTED ON THE WALKER PETITION PLAN EXHIBIT DATED MAY 13, 2016. NO ADDITIONAL ACTIVITIES WITHIN THE 15' RESIDENTIAL ENVIRONMENTAL SETBACK ARE AUTHORIZED BY APPROVAL OF THIS WALKER, UNLESS IT CAN BE DEMONSTRATED AT THE SITE DEVELOPMENT PLAN STAGE TO BE JUSTIFIED.
6. SIGNAGE AND MARKINGS FOR GUEST AND COMMERCIAL USE PARKING SHALL BE PROVIDED BY THE DEVELOPER OR SOME OTHER ALTERNATE METHOD TO ENSURE ADEQUATE PARKING FOR THE DIFFERENT USES (2 OVER 2'S, APARTMENT UNITS AND COMMERCIAL TENANTS).
7. A MEMORANDUM OF UNDERSTANDING WILL BE PREPARED WHICH ALLOWS PUBLIC ACCESS TO THE TOD SITE, (PRIVATE ROADS, PARKING GARAGES, TRANSIT STOPS AND MARC STATION).
8. THE PROPERTY MANAGEMENT COMPANY THAT MANAGES THE PADDOCK POINTE PROPERTY WILL NEED TO MONITOR AND REGULATE THE PARKING SITUATION ON THE PROPERTY. PARKING SPACES WILL NEED TO BE ASSIGNED TO SPECIFIC RESIDENCE TYPES AND USES. SIGNAGE OR SPACE NUMBERING WILL NEED TO BE PROVIDED TO REGULATE PARKING FOR BOTH THE RESIDENTIAL AND COMMERCIAL ELEMENTS. A NOTE SHALL BE ADDED TO THE GENERAL NOTES ON THE SITE DEVELOPMENT PLANS STATING THIS ON THE UPDATED PLANS. THE OWNER OR MANAGEMENT COMPANY FOR THIS PROJECT SHALL MANAGE AND MONITOR THE ON-SITE PARKING ON A REGULAR BASIS AND RESPOND TO ANY PARKING INADEQUACIES IMMEDIATELY SHOULD ANY PARKING PROBLEMS ARISE IN THE FUTURE.

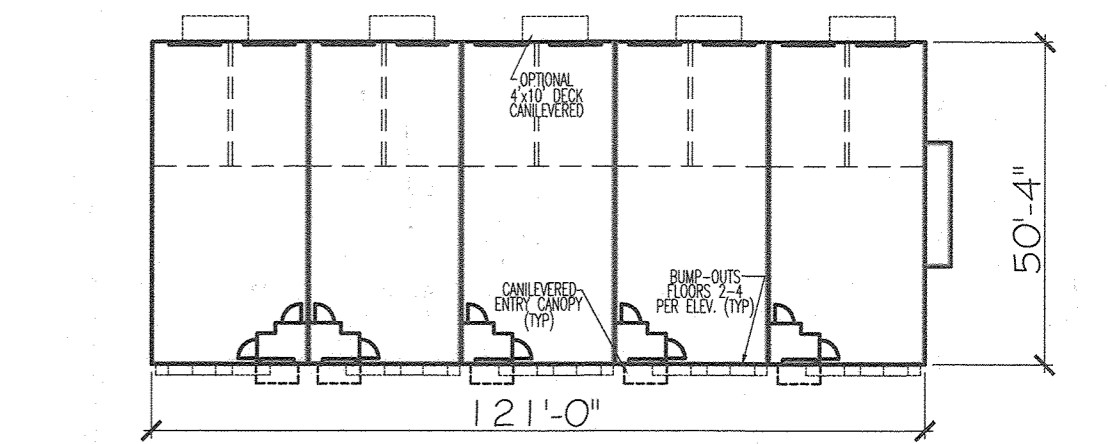
GENERAL NOTES (CONTINUED...):
87. REFERENCE WP-20-108, APPROVED 09/29/20, TO WAIVE SECTION 16.114(g) REQUIRING THE SUBMISSION OF A PRELIMINARY PLAN. APPROVAL IS SUBJECT TO THE FOLLOWING CONDITIONS:
A. THE SIGN VARIANCES SHALL APPLY ONLY TO THE TWO SIGNS DESCRIBED IN THE PETITION AND PLAN AS REVISED AND SHOWN ON PG. 3 OF THE DECISION AND ORDER.
B. LANDSCAPING FOR SIGN 2 SHALL BE IN ACCORDANCE WITH THE PLANTING EXHIBIT, DATED JULY 17, 2020, EXHIBIT 1. ALL OTHER DEVELOPMENT SHALL BE IN ACCORDANCE WITH EXHIBIT 3, ENTRANCE SIGNAGE, MAY 8, 2020.
C. THE SIGNS SHALL NOT BE LOCATED A PUBLIC RIGHT-OF-WAY.
D. THE PETITIONER SHALL OBTAIN ALL NECESSARY PERMITS.
88. THIS PLAN IS SUBJECT TO BA-20-0023; APPROVED 08-07-20; FOR VARIANCES TO ERECT TWO NEW MONUMENT BUILDING SIGNS IN A TOD TRANSIT-ORIENTED DEVELOPMENT ZONING DISTRICT. THE CASE WAS GRANTED; PROVIDED, HOWEVER, THAT:
A. THE SIGN VARIANCES SHALL APPLY ONLY TO THE TWO SIGNS DESCRIBED IN THE PETITION AND PLAN AS REVISED AND SHOWN ON PG. 3 OF THE DECISION AND ORDER.
B. LANDSCAPING FOR SIGN 2 SHALL BE IN ACCORDANCE WITH THE PLANTING EXHIBIT, DATED JULY 17, 2020, EXHIBIT 1. ALL OTHER DEVELOPMENT SHALL BE IN ACCORDANCE WITH EXHIBIT 3, ENTRANCE SIGNAGE, MAY 8, 2020.
C. THE SIGNS SHALL NOT BE LOCATED A PUBLIC RIGHT-OF-WAY.
D. THE PETITIONER SHALL OBTAIN ALL NECESSARY PERMITS.
89. IN ACCORDANCE WITH THE DPZ LETTER, DATED 01/04/2022, A TOTAL FEE-IN-LIEU IN THE AMOUNT OF \$219,000 FOR THE RESIDENTIAL PORTION OF THE PADDOCK POINTE PROJECT HAS BEEN AGREED UPON FOR THE CONSTRUCTION OF OFF-SITE IMPROVEMENTS TO THE INTERSECTION OF WISKEY BOTTOM ROAD AND WASHINGTON BLVD (US ROUTE 1). REFERENCE THE PADDOCK POINTE PHASING AND FEE-IN-LIEU SCHEDULE. THE TOTAL FEE-IN-LIEU OF \$270,000 HAS BEEN PAID WITH PHASE 3 AND CREDITED TO CAPITAL PROJECT J-4220 FOR PHASES 1 AND 3 OF PADDOCK POINTE.



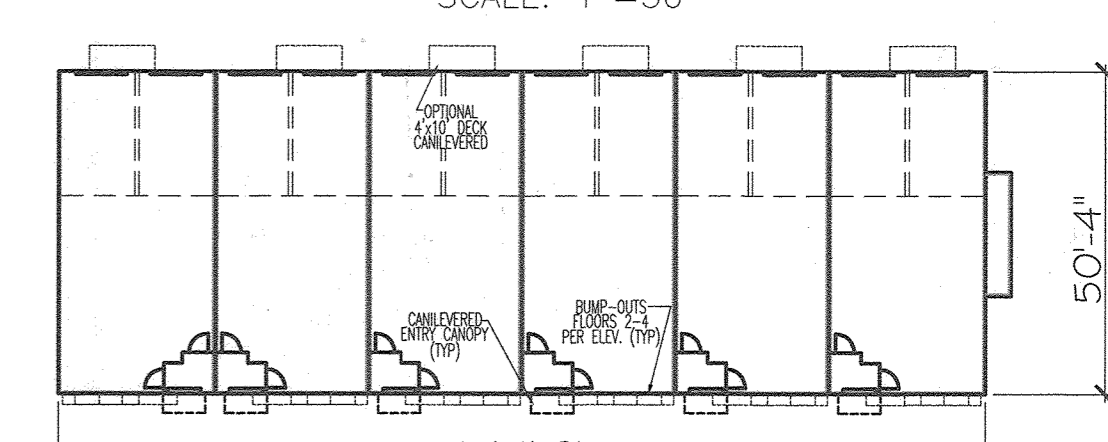
NOTES:
1. FOR ADDITIONAL SIGNAGE AND PAVEMENT MARKINGS FOR LAUREL PARK BLVD, SEE SHEETS 50-52.



8 UNIT FOOTPRINT-STACKED TOWN/CONDO
SCALE: 1"=30'



10 UNIT FOOTPRINT-STACKED TOWN/CONDO
SCALE: 1"=30'



12 UNIT FOOTPRINT-STACKED TOWN/CONDO
SCALE: 1"=30'

PHASE	AMOUNT OF FEE	PHASE PAID
PHASE 1	\$47,000	PHASE 3
PHASE 2	\$55,000	PHASE 2
PHASE 3	\$40,000	PHASE 3
PHASE 4	\$77,000	PHASE 4
TOTAL	\$219,000	

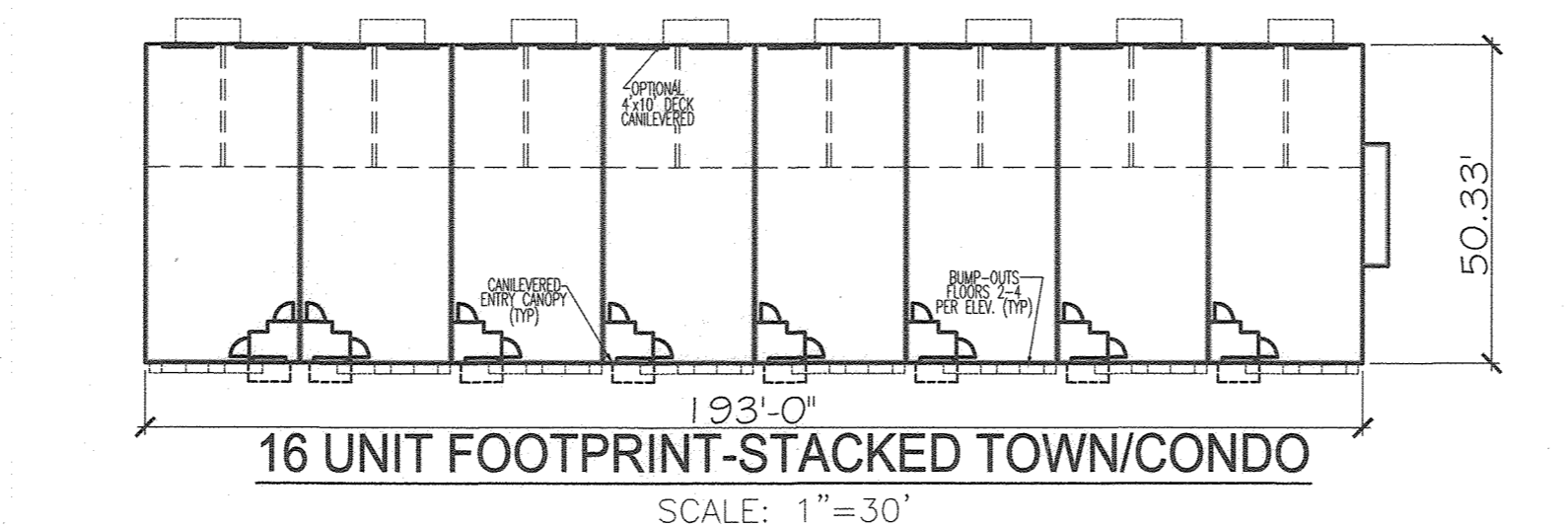
OWNER: TRIPLE TREE FARMS, LLC
180 LAUREL PARK TRAIL, RD
LAUREL, MD 20725
(301) 470-5444

OWNER/DEVELOPER: 2006 DELAWARE, INC.
180 LAUREL PARK TRAIL, RD
LAUREL, MD 20725
(301) 470-5444

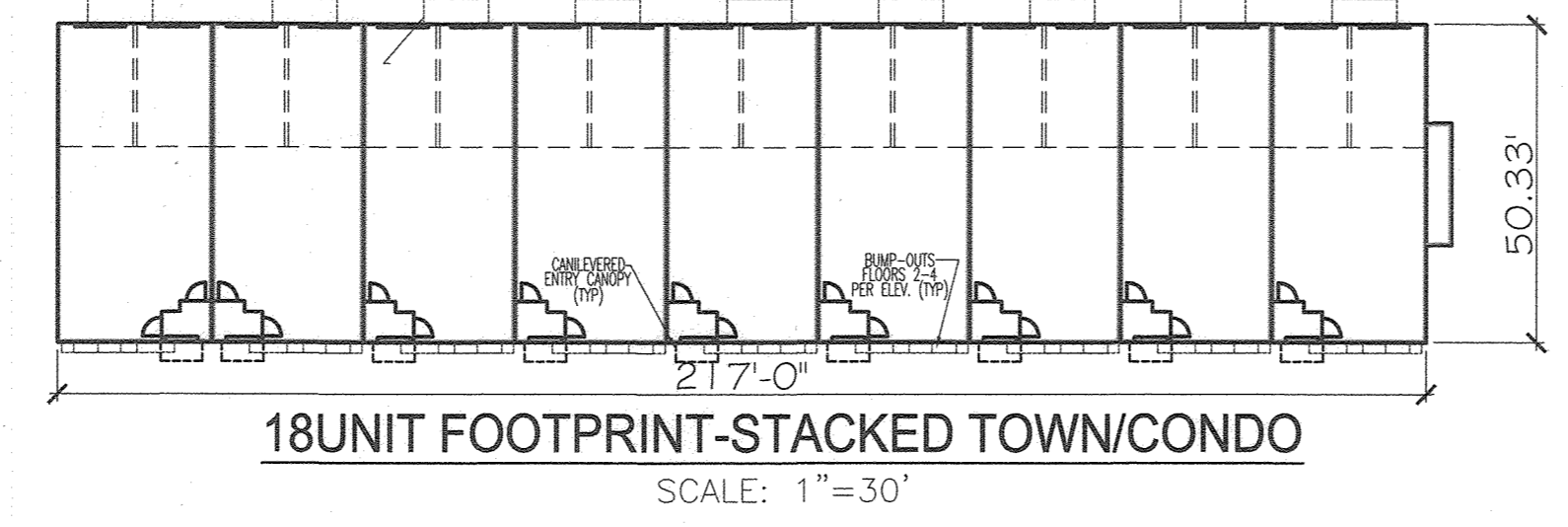
AS-BUILT CERTIFICATION FOR PSWM
I HEREBY CERTIFY THAT THE FACILITY SHOWN ON THIS PLAN WAS CONSTRUCTED AS SHOWN ON THE "AS-BUILT" PLANS AND COMPLIES WITH THE APPROVED PLANS AND SPECIFICATIONS. I HAVE VERIFIED THAT THE CONTRIBUTING DRAINAGE AREA IS SUFFICIENTLY STABILIZED TO PREVENT CLOGGING OF THE UNDERGROUND SWM FACILITY.

DATE: 9-18-23
P.E. NAME: [Signature]
P.E. NO.: 16193

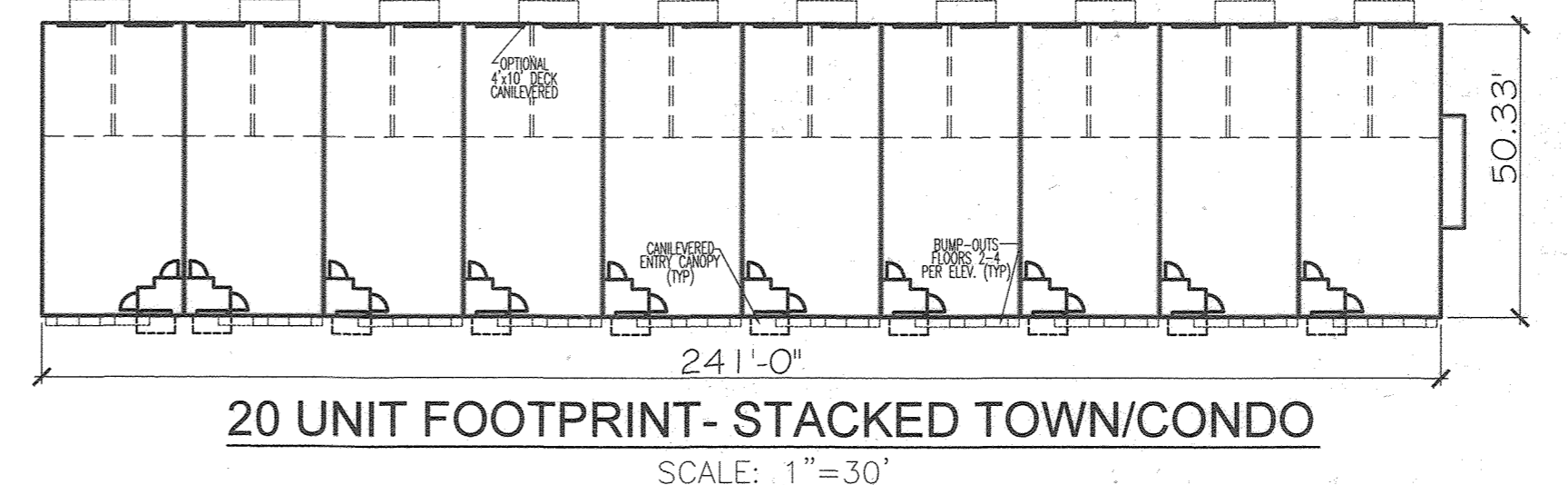
NO.	REVISION	DATE
6	REVISE THE PLAN TO SHOW AS-BUILT CONDITIONS	03/24/23



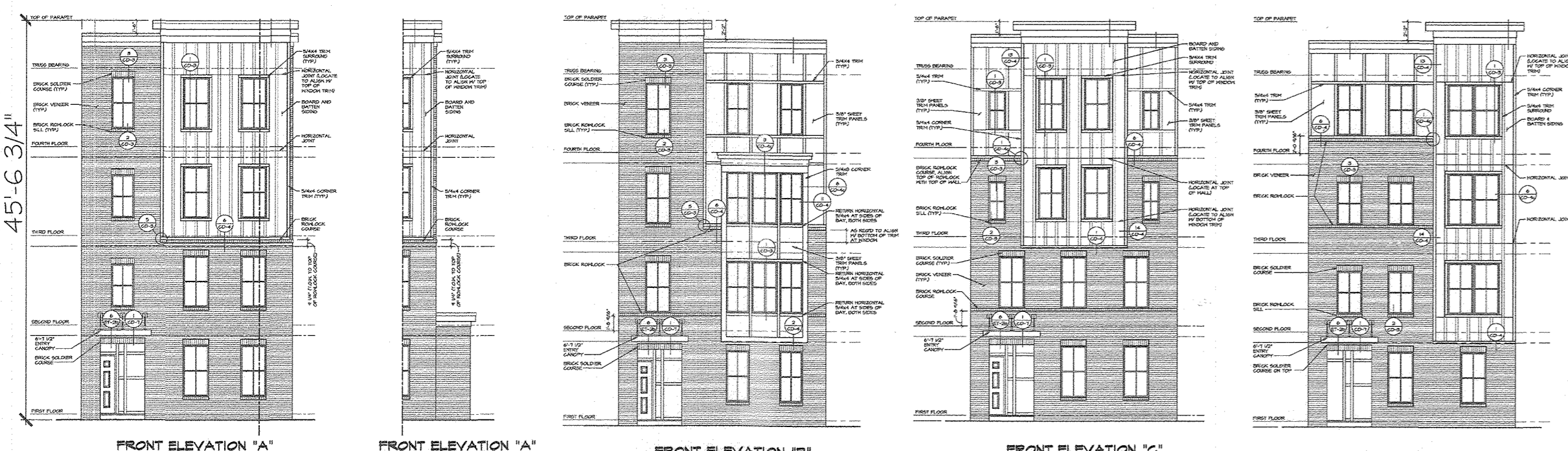
16 UNIT FOOTPRINT-STACKED TOWN/CONDO
SCALE: 1"=30'



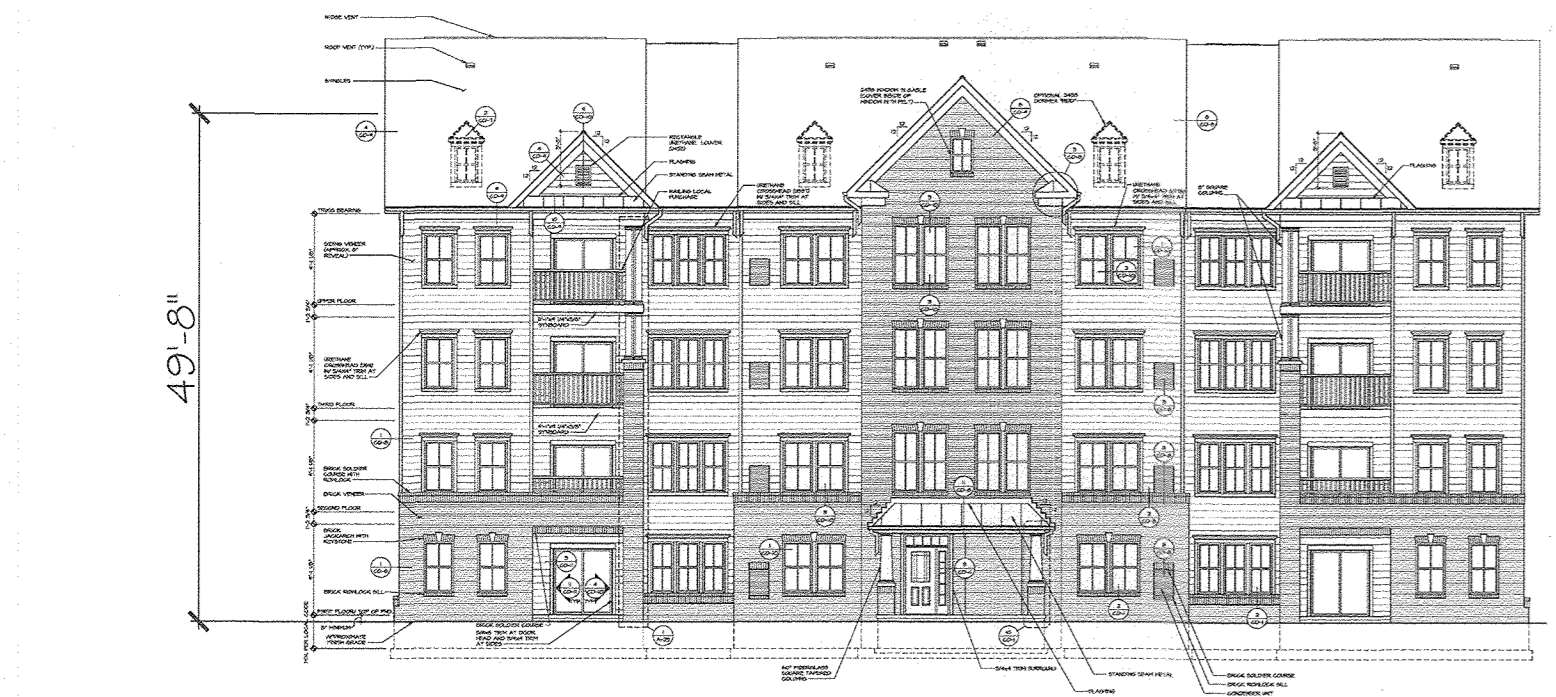
18 UNIT FOOTPRINT-STACKED TOWN/CONDO
SCALE: 1"=30'



20 UNIT FOOTPRINT-STACKED TOWN/CONDO
SCALE: 1"=30'



STACKED TOWNHOUSE ELEVATIONS
NOT TO SCALE



APARTMENT CONDO
NOT TO SCALE

BUILDING NOTE:
PRIOR TO APPLICATION FOR A BUILDING PERMIT, THE ELEVATIONS WILL BE REVIEWED AND THE DAP RECOMMENDATION CONSIDERED, AND THE ELEVATIONS THEN MODIFIED AS APPROPRIATE.

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

DATE: 6/10/22
DATE: 01/10/22
DATE: 01/10/22

CHIEF, DEVELOPMENT ENGINEERING DIVISION
CHIEF, DIVISION OF LAND DEVELOPMENT
DIRECTOR

NO.	REVISION	DATE
5	REVISE PLAN TO SHOW RECONFIGURATION OF STORMWATER DRAIN AND TAKE ON PARCEL A-2	9-1-22
3	MODIFICATION OF PHASE 1 LAYOUT, RENAME PLAN, LANDSCAPING, PRIVATE ROAD IMPROVEMENTS, UTILITY LAYOUT AND STORMWATER MANAGEMENT.	09/08/20
2	REVISE THE PLANS TO ILLUSTRATE IRRIGATION LINES WITHIN PRIVATE ROADWAY	07/28/20
1	MODIFICATION OF PHASE 1 LAYOUT, ROAD LAYOUT, UTILITY LAYOUT, STORMWATER MANAGEMENT, AND BYPASS LAYOUT	06/11/19

REVISED SITE DEVELOPMENT PLAN
SITE LAYOUT PLAN
PADDOCK POINTE - PHASE 1
FORMERLY KNOWN AS LAUREL PARK STATION
84 APARTMENT AND 180 STACKED CONDO UNITS
PARCELS: 384/441
B-3, C-1, J, K-1, L AND
P.384 (L10518/F.157)
P.441 (L13286/F.377)
ZONED: TOD
LOTS D, E-1, F-1, G, H & I
HOWARD COUNTY, MARYLAND

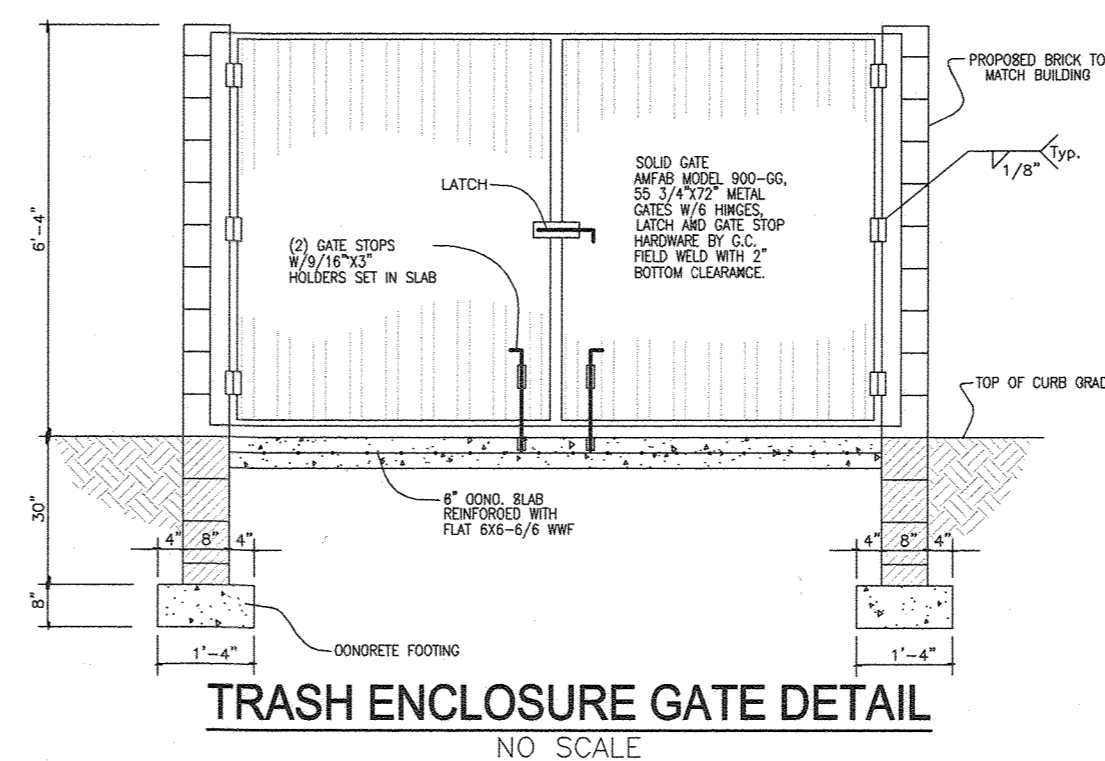
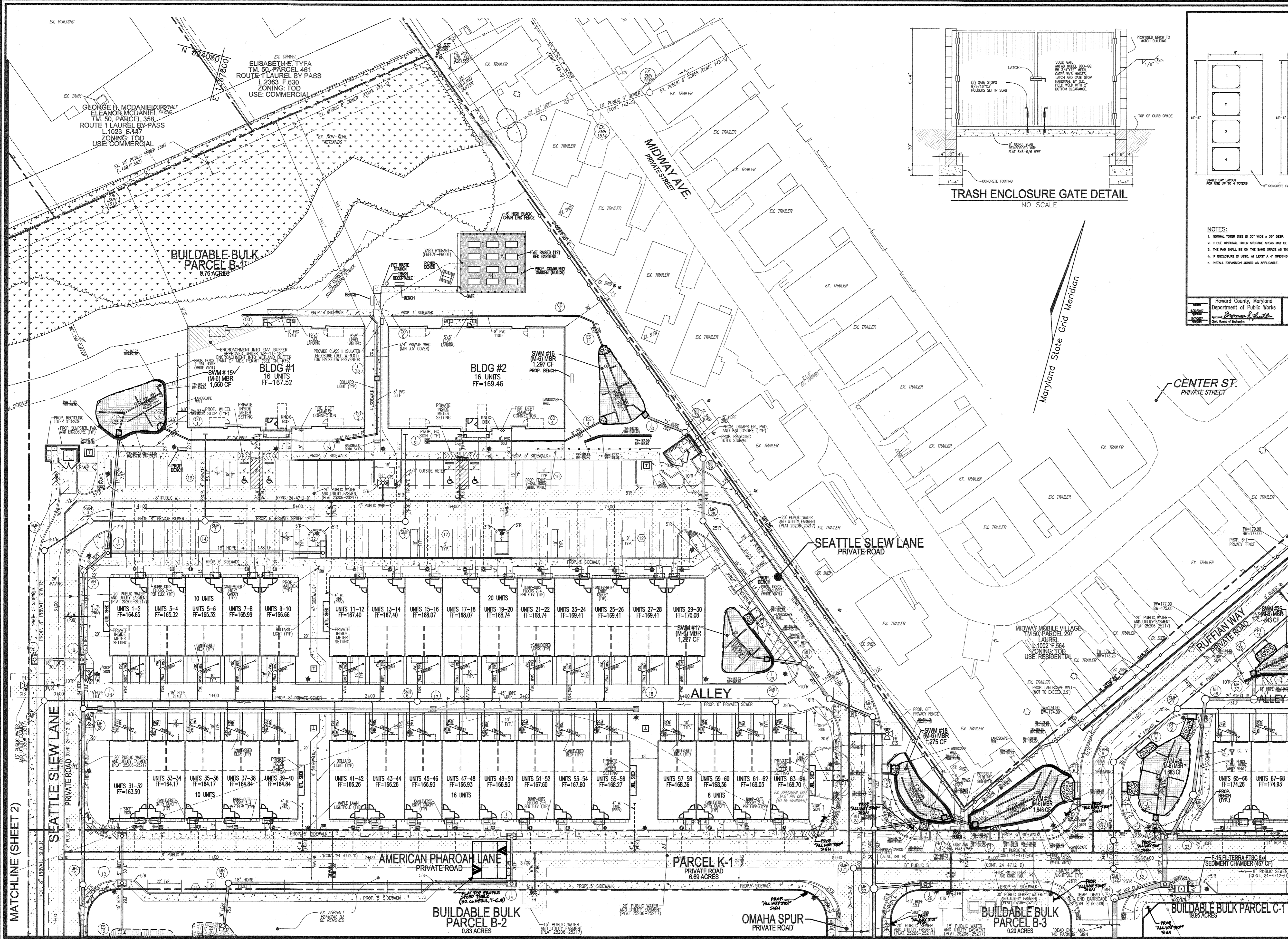
VOGEL ENGINEERING
TIMMONS GROUP
3300 NORTH RIDGE ROAD, SUITE 110, ELLICOTT CITY, MD 21043
P: 410.461.7666 F: 410.461.8961 www.timmons.com

PROFESSIONAL CERTIFICATE
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND. EXPIRATION DATE: 09-27-2023

DESIGN BY: RHV/DZE
DRAWN BY: DZE
CHECKED BY: RHV
DATE: SEPTEMBER 2020
SCALE: AS SHOWN
W.O. NO.: 07-11/40111

3 SHEET OF 55

AS-BUILT JULY 2023



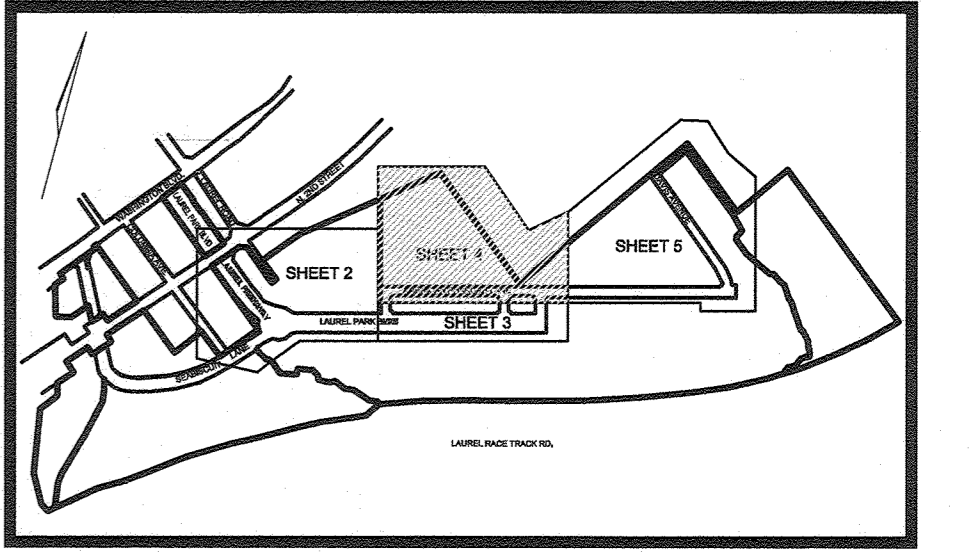
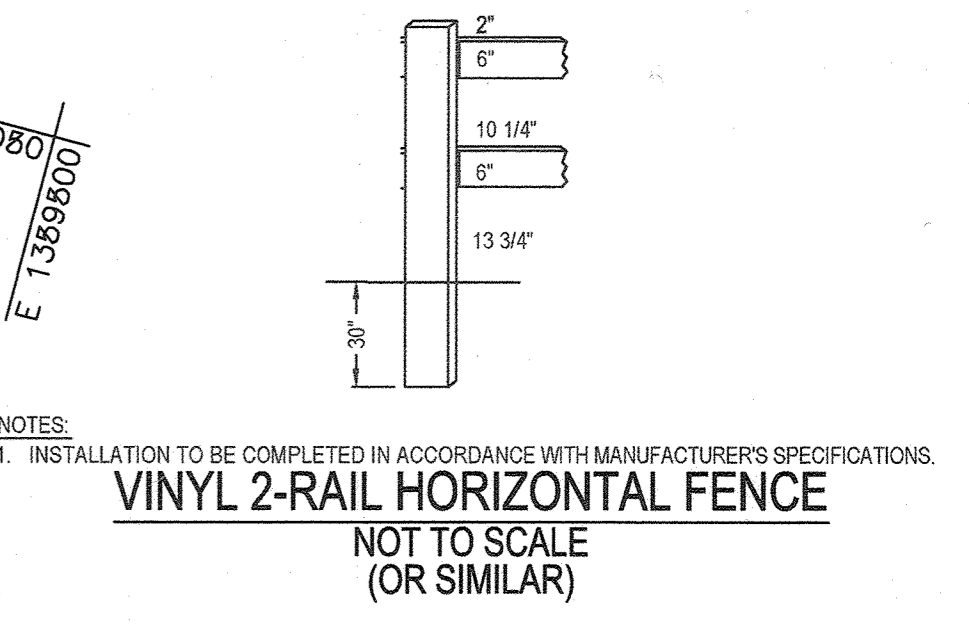
LEGEND:

- EXISTING CURB AND GUTTER
- EXISTING UTILITY POLE
- EXISTING LIGHT POLE
- EXISTING SANITARY MANHOLE
- EXISTING SANITARY LINE
- EXISTING CLEANOUT
- EXISTING FIRE HYDRANT
- EXISTING TREELINE
- EXISTING FENCE
- PROPERTY LINE
- RIGHT-OF-WAY LINE
- EX. LIMIT OF WETLAND
- PROPOSED STORM DRAIN
- PROPOSED STORM DRAIN INLET
- PROPOSED SIDEWALK
- PROPOSED CURB
- PROPOSED STREET LIGHT
- PUBLIC SEWER, WATER AND UTILITY EASEMENT
- PERVIOUS PAVING
- STREET TREES
- PROPOSED STREET SIGN
- DEAD END BARRICADE
- PROPOSED RETAINING WALL

NOTES:

- NORMAL TOLERANCE IS 3" WIDE x 3" DEEP.
- THESE OPTIONAL TOLERANCE AREAS MAY BE ATTACHED OR PLACED NEXT TO THE DAMPER AREA.
- THE FENCE SHALL BE ON THE SAME GRADE AS THE ROADWAY OR HANDICAP TRIP CURB USED.
- IF ENCLOSURE IS USED, AT LEAST 4" OF GROUND IS NECESSARY TO REMOVE AND REPLACE TOLERANCE.
- INSTALL EXPANSION JOINTS AS APPLICABLE.

Howard County, Maryland
Department of Public Works
SOLID WASTE
Recycling Toler
Storage Area Layouts
R-8.07



OWNER TRIPLE BELL FARMS, LLC
198 LAUREL RACE TRACK RD
LAUREL, MD 20725
(301) 470-5494

OWNER/DEVELOPER 20006 DELAWARE, INC.
198 LAUREL RACE TRACK RD
LAUREL, MD 20725
(301) 470-5494

NO.	REVISION	DATE
6	REVISE THE PLAN TO SHOW AS-BUILT CONDITIONS. <i>See Below</i>	03/24/23
5	REVISE PLAN TO SHOW RECONFIGURATION OF STREAM, ADD STORM DRAIN AND TRAP ON PARCEL A-2	09/01/22
4	ADD DUMPSTER FOR BUILDING #4; ADD SIDEWALK TO RIGHT SIDE OF RUFFIAN WAY	05/07/21
3	MODIFICATION OF PHASE 1 LAYOUT, RENAME PLAN, LANDSCAPING, PRIVATE ROAD IMPROVEMENTS, UTILITY LAYOUT AND STORMWATER MANAGEMENT.	09/08/20
2	REVISE THE PLANS TO ILLUSTRATE IRRIGATION LINES WITHIN PRIVATE ROADWAY	07/28/20
1	MODIFICATION OF PHASE 1 LAYOUT, ROAD LAYOUT, UTILITY LAYOUT, STORMWATER MANAGEMENT, AND BYPASS LAYOUT	06/11/19

REVISED SITE DEVELOPMENT PLAN

SITE LAYOUT PLAN

Paddock Pointe - Phase 1
(FORMERLY KNOWN AS LAUREL PARK STATION)
64 APARTMENT AND 156 STACKED CONDO UNITS
P.384 (L10518/F.157) B-3, C-1, J, K-1, L AND
P.441 (L13248/F.377) LOTS D, E-1, F-1, G, H, & I
ZONED: T00 HOWARD COUNTY, MARYLAND

VOGEL ENGINEERING

TIMMONS GROUP
3300 NORTH RIDGE ROAD, SUITE 110, ELLICOTT CITY, MD 21043
P: 410.461.7666 F: 410.461.8961 www.timmons.com

TAX MAP: 50 BLOCK: 10
6TH ELECTION DISTRICT

PARCELS: 384/441
PARCELS A-2, B-1, B-2, B-3, C-1, J, K-1, L AND LOTS D, E-1, F-1, G, H, & I

PROFESSIONAL CERTIFICATE

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A FULLY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 16193, EXPIRATION DATE: 08-27-2024

DESIGN BY: RHW/DZE
DRAWN BY: DZE
CHECKED BY: RHW
DATE: JAN 2023
SCALE: AS SHOWN
W.O. NO.: 07-11/40111

4 SHEET OF 55

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

[Signature] 5-18-23
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

[Signature] 6/15/23
CHIEF, DIVISION OF LAND DEVELOPMENT DATE
DIRECTOR

AS-BUILT CERTIFICATION FOR PSWM

NOTE:
NO DECKS PROVIDED ON THE STACKED TOWN/CONDO UNITS.

I HEREBY CERTIFY THAT THE FACILITY SHOWN ON THIS PLAN WAS CONSTRUCTED AS SHOWN ON THE "AS-BUILT" PLANS AND COMPLIES WITH THE APPROVED PLANS AND SPECIFICATIONS. I HAVE VERIFIED THAT THE CONTRIBUTING DRAINAGE AREA IS SUFFICIENTLY STABILIZED TO PREVENT CLOGGING OF THE UNDERGROUND SWM FACILITY.

[Signature] 6/9/23 9-18-23
NAME P.E.# DATE

PLAN VIEW
SCALE: 1"=30'

[Signature] 6/9/23
NAME P.E.# DATE

REVISION 6 NOTE:
Show AS-BUILT MBR'S, Revise Road Names, Minor Revision TO DUMPSTER, SIDEWALK & RAMPS.

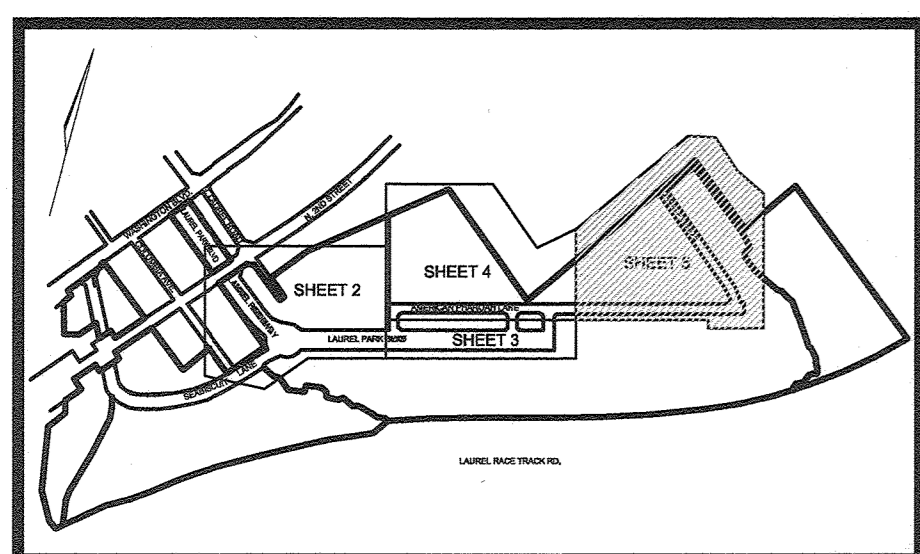
NO.	REVISION	DATE
7	REVISE THE PLANS TO SHOW SPEED TABLES AND STOP SIGNS	04/03/24

STATE OF MARYLAND
ROBERT HARRIS VOGEL
REGISTERED PROFESSIONAL ENGINEER
NO. 16193

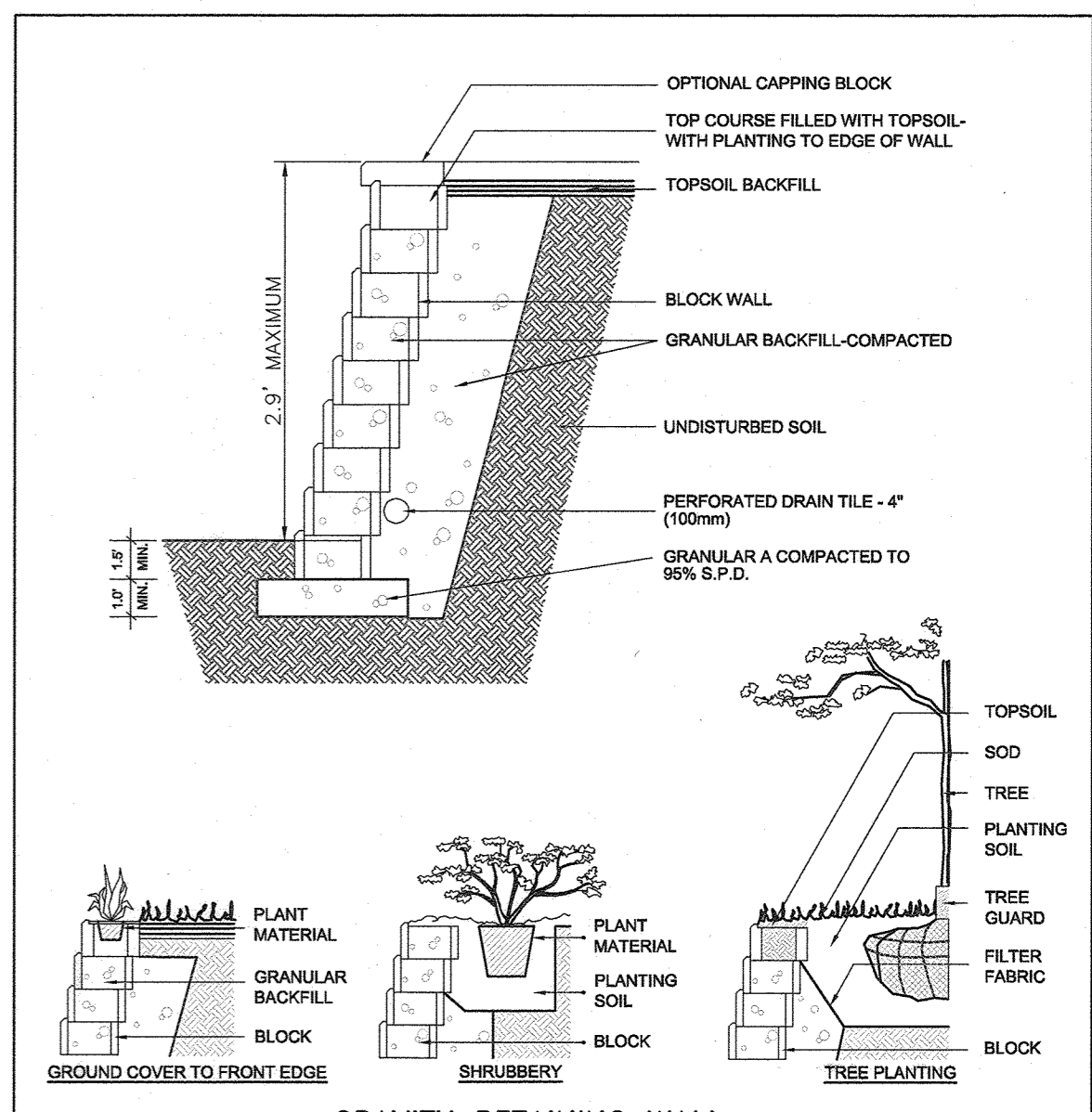
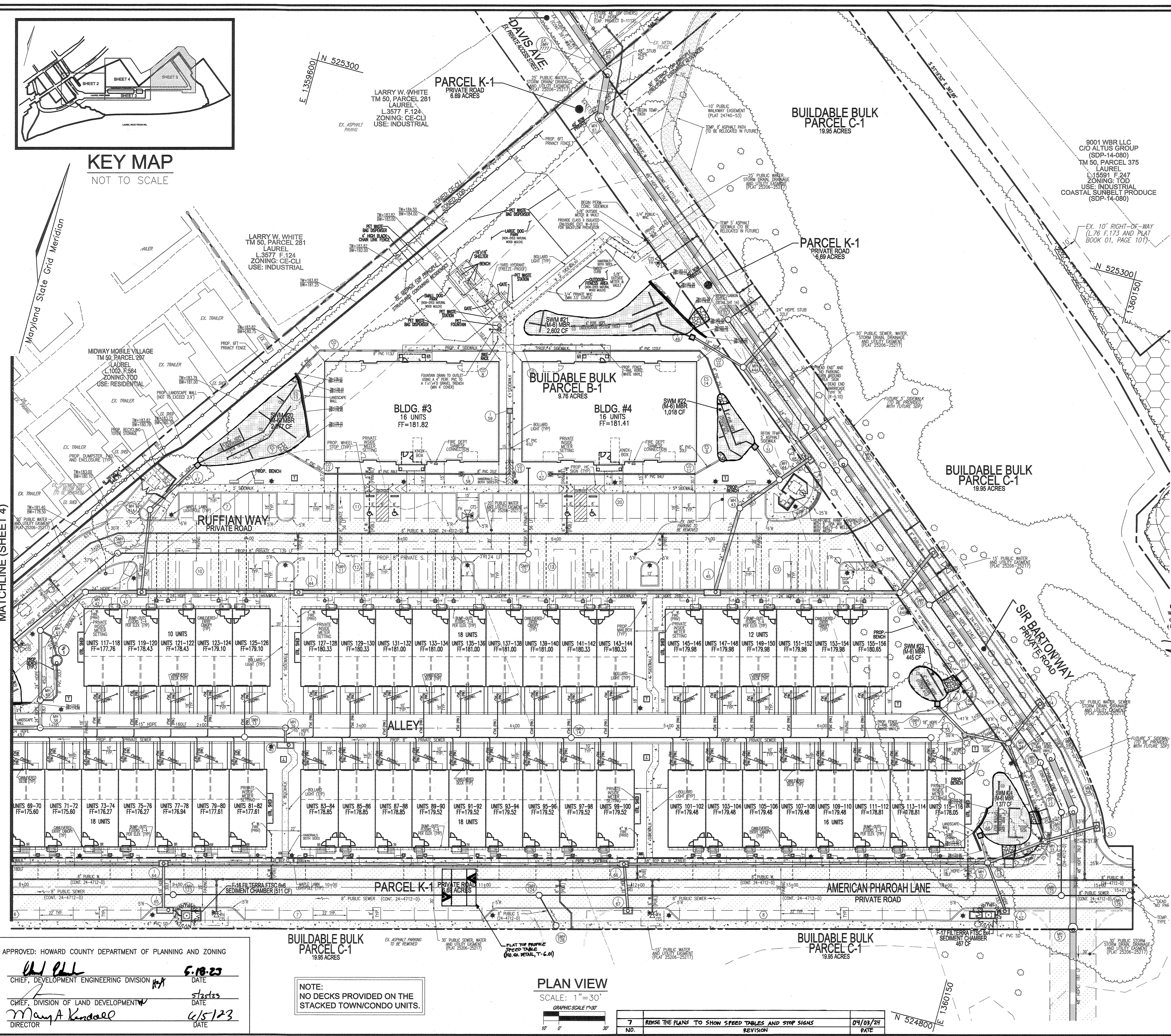
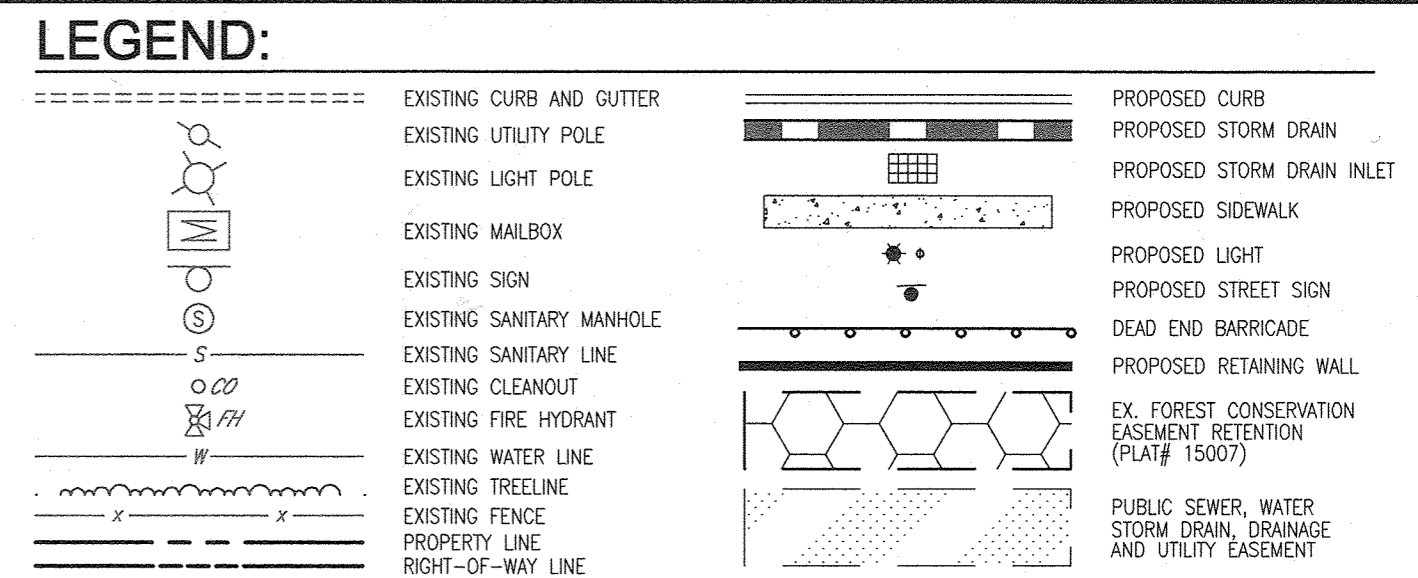
GRAPHIC SCALE 1"=30'

SDP-15-043

AS-BUILT JULY 2023



KEY MAP
NOT TO SCALE



GRAVITY RETAINING WALL

SPECIFICATIONS:

- EXCAVATE AREA TO LINE AND GRADES AS SHOWN ON CONSTRUCTION DRAWINGS
- SUBGRADE TO BE FIRM AND UNDISTURBED AND COMPACTED TO 95% S.P.D.
- BASE MATERIAL SHALL BE GRANULAR A COMPACTED TO 95% S.P.D. AND GRADED TO PROVIDE LEVEL HARD SURFACE ON WHICH TO PLACE THE FIRST COURSE OF UNITS. MIN. THICKNESS = 4" (100mm)
- PLACE FIRST COURSE A MINIMUM OF 4" (100mm) BELOW FINISHED GRADE, WITH THE RAISED UP FACING OUT AND THE FRONT EDGES TIGHT TOGETHER. FILL CAVITIES WITH SAND OR CLEAR CRUSHED STONE AND COMPACT. SWEEP CLEAN AND CHECK THE UNITS FOR LEVEL AND ALIGNMENT. BACKFILL FRONT AND BACK OF ENTIRE BASE ROW TO FIRMLY LOCK IN PLACE.
- INSTALL SUBSEQUENT COURSES IN SIMILAR FASHION PROVIDING A MIN. 3" (76mm) OVERLAP OF SEAMS AND A MIN. OF 1/2" (12.5mm) GRANULAR BACKFILL. GRANULAR BACKFILL WALLS HIGHER THAN 6' REQUIRE GEOTEXTILES OR REBAR AND MASONRY CONSTRUCTION; CONSULT MANUFACTURER AND STRUCTURAL ENGINEER FOR EQUAL MANUFACTURER FOR MORE SPECIFIC INSTALLATION INSTRUCTIONS.

AS-BUILT CERTIFICATION FOR PSWM

I HEREBY CERTIFY THAT THE FACILITY SHOWN ON THIS PLAN WAS CONSTRUCTED AS SHOWN "IN THE AS-BUILT" PLANS AND COMPLIES WITH THE APPROVED PLANS AND SPECIFICATIONS. I HAVE VERIFIED THAT THE CONTRIBUTING DRAINAGE AREA IS SUFFICIENTLY STABILIZED TO PREVENT CLOGGING OF THE UNDERGROUND SWM FACILITY.

DATE: 1-18-23

PROFESSIONAL ENGINEER: ROBERT HARRIS VOGEL, No. 16193

OWNER: TRIPLE BELL FARMS, LLC
 OWNER/DEVELOPER: 2000 DELAWARE, INC.

NO.	REVISION	DATE
6	REVISE THE PLAN TO SHOW AS-BUILT CONDITIONS.	03/24/23
5	REVISE PLAN TO SHOW RECONFIGURATION OF STORM; ADD STORM DRAIN AND TRAP ON PARCEL A-2	09/01/22
4	ADD DUMPSTER FOR BUILDING #4; ADD SIDEWALK TO RIGHT SIDE OF RUFFIAN WAY	05/07/21
3	MODIFICATION OF PHASE 1 LAYOUT, RENAME PLAN, LANDSCAPING, PRIVATE ROAD IMPROVEMENTS, UTILITY LAYOUT AND STORMWATER MANAGEMENT.	09/08/20
2	REVISE THE PLANS TO ILLUSTRATE IRRIGATION LINES WITHIN PRIVATE ROADWAY	07/28/20
1	MODIFICATION OF PHASE 1 LAYOUT, ROAD LAYOUT, UTILITY LAYOUT, STORMWATER MANAGEMENT, AND BYPASS LAYOUT	06/11/19

REVISED SITE DEVELOPMENT PLAN

SITE LAYOUT PLAN

Paddock Pointe - Phase 1
(FORMERLY KNOWN AS LAUREL PARK STATION)

PARCELS 384/441
 04 APARTMENT (STACKED CONDO) UNITS PARCELS 4, 5, 6, 7
 P-384 (L10518/F157) B-3, C-1, J, K-1, L AND
 P-441 (L13298/F377) LOTS D, E-1, F-1, G, H & I
 ZONED: TOD HOWARD COUNTY, MARYLAND

TAX MAP: 50 BLOCK: 10
 6TH ELECTION DISTRICT

VOGEL ENGINEERING

TIMMONS GROUP
 3300 NORTH RIDGE ROAD, SUITE 110, ELLICOTT CITY, MD 21043
 P: 410.461.7666 F: 410.461.8961 www.timmons.com

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

DATE: 5-18-23

DATE: 5/18/23

DATE: 6/5/23

NOTE:
NO DECKS PROVIDED ON THE STACKED TOWN/CONDO UNITS.

PLAN VIEW
SCALE: 1" = 30'
GRAPHIC SCALE 1"=30'

NO.	REVISION	DATE
7	REVISE THE PLANS TO SHOW SPEED TABLES AND STOP SIGNS	07/03/24

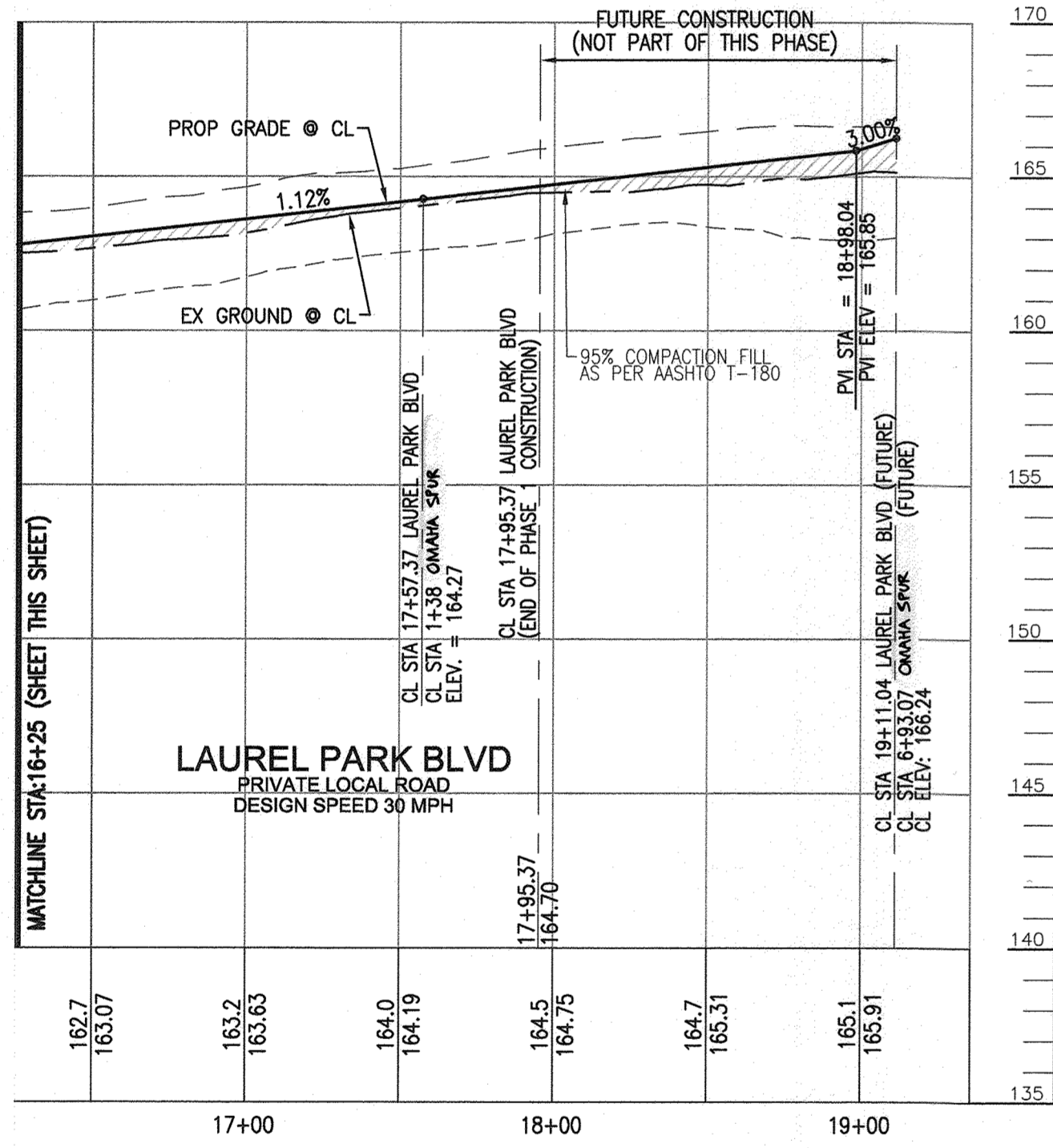
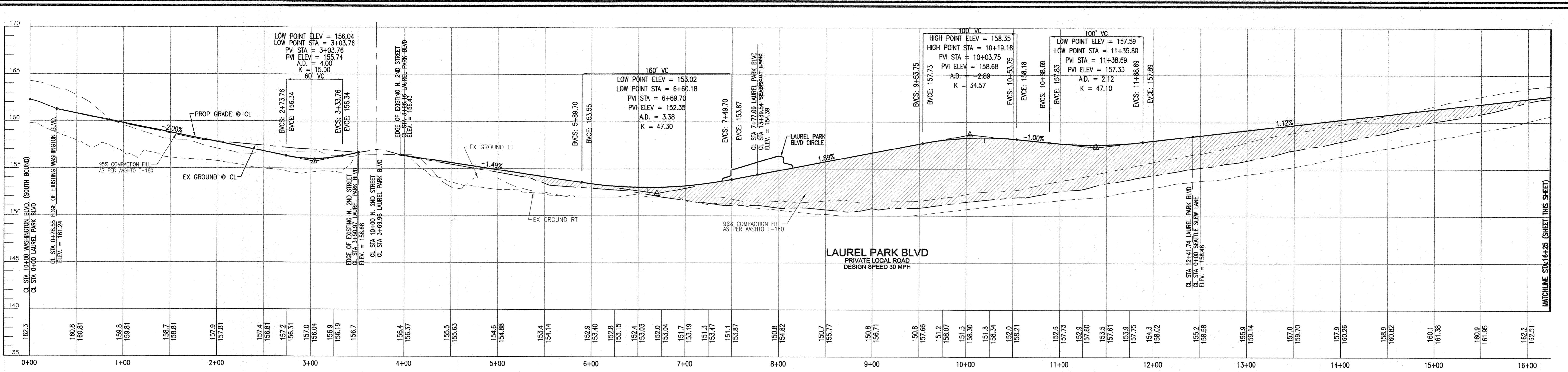
PROFESSIONAL CERTIFICATE

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND THAT I AM A duly LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 16193, EXPIRATION DATE: 08-27-2024

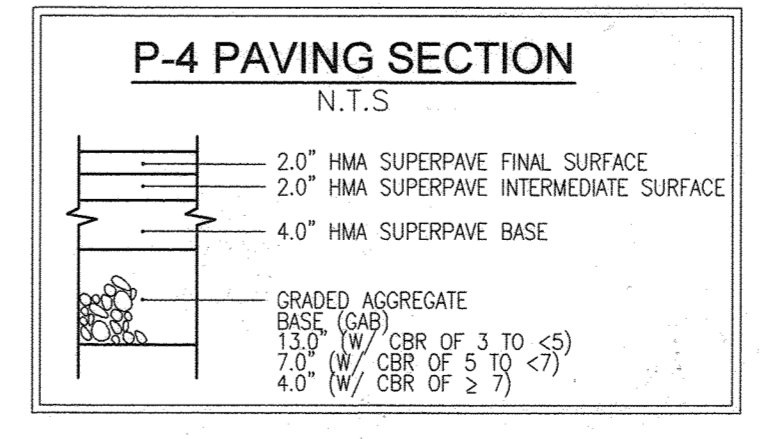
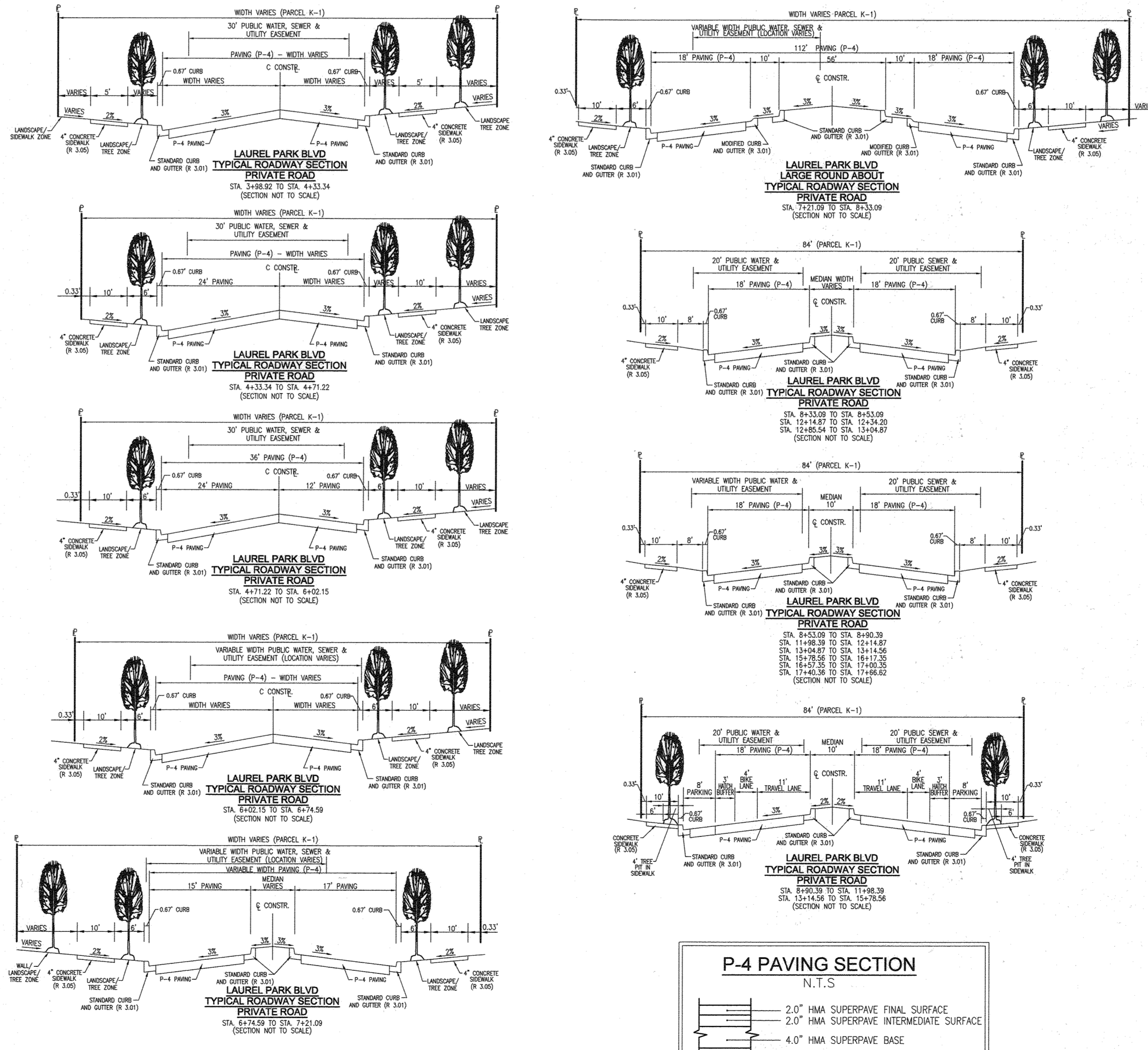
DESIGN BY: RHW/DZE
 DRAWN BY: DZE
 CHECKED BY: RHW
 DATE: JAN 2023
 SCALE: AS SHOWN
 W.O. NO.: 07-11/40111

5 SHEET OF 55

AS-BUILT JULY 2023



STREET NAME	STA.	OFFSET	FIXTURE TYP
LAUREL PARK BLVD.	0+44.33	37.78' L	250 WATT (SAG) ON 30' BRONZE FIBERGLASS POLE WITH 12' ARM
LAUREL PARK BLVD.	0+99.59	22.17' R	150 WATT HPS VAPOR MAPLE LAWN STYLE ACORN POT TOP MOUNTED ON 12' BLACK FIBERGLASS POLE WITH 12' ARM
LAUREL PARK BLVD.	2+74.59	22.17' R	250 WATT (SAG) ON 30' BRONZE FIBERGLASS POLE WITH 12' ARM
LAUREL PARK BLVD.	3+29.43	33.68' L	250 WATT (SAG) ON 30' BRONZE FIBERGLASS POLE WITH 12' ARM
LAUREL PARK BLVD.	4+15.02	23.31' R	250 WATT (SAG) ON 30' BRONZE FIBERGLASS POLE WITH 12' ARM
LAUREL PARK BLVD.	4+70.30	27.67' L	150 WATT HPS VAPOR MAPLE LAWN STYLE ACORN POT TOP MOUNTED ON 12' BLACK FIBERGLASS POLE WITH SHROUD
LAUREL PARK BLVD.	5+69.48	15.66' R	150 WATT HPS VAPOR MAPLE LAWN STYLE ACORN POT TOP MOUNTED ON 12' BLACK FIBERGLASS POLE WITH SHROUD
LAUREL PARK BLVD.	6+67.80	23.71' L	150 WATT HPS VAPOR MAPLE LAWN STYLE ACORN POT TOP MOUNTED ON 12' BLACK FIBERGLASS POLE WITH SHROUD
LAUREL PARK BLVD.	7+26.16	31.60' R	150 WATT HPS VAPOR MAPLE LAWN STYLE ACORN POT TOP MOUNTED ON 12' BLACK FIBERGLASS POLE WITH SHROUD
LAUREL PARK BLVD.	8+07.85	51.13' R	150 WATT HPS VAPOR MAPLE LAWN STYLE ACORN POT TOP MOUNTED ON 12' BLACK FIBERGLASS POLE WITH SHROUD
LAUREL PARK BLVD.	8+10.53	49.42' L	150 WATT HPS VAPOR MAPLE LAWN STYLE ACORN POT TOP MOUNTED ON 12' BLACK FIBERGLASS POLE WITH SHROUD
LAUREL PARK BLVD.	8+84.39	29.67' R	150 WATT HPS VAPOR MAPLE LAWN STYLE ACORN POT TOP MOUNTED ON 12' BLACK FIBERGLASS POLE WITH SHROUD
LAUREL PARK BLVD.	8+84.39	29.67' L	150 WATT HPS VAPOR MAPLE LAWN STYLE ACORN POT TOP MOUNTED ON 12' BLACK FIBERGLASS POLE WITH SHROUD
LAUREL PARK BLVD.	9+67.39	33.67' R	150 WATT HPS VAPOR MAPLE LAWN STYLE ACORN POT TOP MOUNTED ON 12' BLACK FIBERGLASS POLE WITH SHROUD
LAUREL PARK BLVD.	9+67.39	33.67' L	150 WATT HPS VAPOR MAPLE LAWN STYLE ACORN POT TOP MOUNTED ON 12' BLACK FIBERGLASS POLE WITH SHROUD
LAUREL PARK BLVD.	10+69.39	33.67' R	150 WATT HPS VAPOR MAPLE LAWN STYLE ACORN POT TOP MOUNTED ON 12' BLACK FIBERGLASS POLE WITH SHROUD
LAUREL PARK BLVD.	10+69.39	33.67' L	150 WATT HPS VAPOR MAPLE LAWN STYLE ACORN POT TOP MOUNTED ON 12' BLACK FIBERGLASS POLE WITH SHROUD
LAUREL PARK BLVD.	11+95.39	33.67' R	150 WATT HPS VAPOR MAPLE LAWN STYLE ACORN POT TOP MOUNTED ON 12' BLACK FIBERGLASS POLE WITH SHROUD
LAUREL PARK BLVD.	11+95.39	33.67' L	150 WATT HPS VAPOR MAPLE LAWN STYLE ACORN POT TOP MOUNTED ON 12' BLACK FIBERGLASS POLE WITH SHROUD
LAUREL PARK BLVD.	12+87.39	29.67' R	150 WATT HPS VAPOR MAPLE LAWN STYLE ACORN POT TOP MOUNTED ON 12' BLACK FIBERGLASS POLE WITH SHROUD
LAUREL PARK BLVD.	12+87.39	29.67' L	150 WATT HPS VAPOR MAPLE LAWN STYLE ACORN POT TOP MOUNTED ON 12' BLACK FIBERGLASS POLE WITH SHROUD
LAUREL PARK BLVD.	14+00.56	33.67' R	150 WATT HPS VAPOR MAPLE LAWN STYLE ACORN POT TOP MOUNTED ON 12' BLACK FIBERGLASS POLE WITH SHROUD
LAUREL PARK BLVD.	14+00.56	33.67' L	150 WATT HPS VAPOR MAPLE LAWN STYLE ACORN POT TOP MOUNTED ON 12' BLACK FIBERGLASS POLE WITH SHROUD
LAUREL PARK BLVD.	15+00.56	33.67' R	150 WATT HPS VAPOR MAPLE LAWN STYLE ACORN POT TOP MOUNTED ON 12' BLACK FIBERGLASS POLE WITH SHROUD
LAUREL PARK BLVD.	15+00.56	33.67' L	150 WATT HPS VAPOR MAPLE LAWN STYLE ACORN POT TOP MOUNTED ON 12' BLACK FIBERGLASS POLE WITH SHROUD
LAUREL PARK BLVD.	16+27.06	33.67' R	150 WATT HPS VAPOR MAPLE LAWN STYLE ACORN POT TOP MOUNTED ON 12' BLACK FIBERGLASS POLE WITH SHROUD
LAUREL PARK BLVD.	16+27.06	33.67' L	150 WATT HPS VAPOR MAPLE LAWN STYLE ACORN POT TOP MOUNTED ON 12' BLACK FIBERGLASS POLE WITH SHROUD
LAUREL PARK BLVD.	17+17.30	33.67' L	150 WATT HPS VAPOR MAPLE LAWN STYLE ACORN POT TOP MOUNTED ON 12' BLACK FIBERGLASS POLE WITH SHROUD



WHERE DRAINAGE FLOWS AWAY FROM CURB, CONTRACTOR TO REVERSE THE GUTTER PAN.

FUTURE BUILDINGS CANNOT BE CLOSER THAN 10 FEET TO THE PUBLIC EASEMENTS.

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

CHIEF, DEVELOPMENT ENGINEERING DIVISION: *[Signature]* DATE: 6/10/22

CHIEF, DIVISION OF LAND DEVELOPMENT: *[Signature]* DATE: 6/16/22

DIRECTOR: *[Signature]* DATE: 6/16/22

NO AS-BUILT INFORMATION ON THIS SHEET

AS-BUILT CERTIFICATION FOR PSWM

I HEREBY CERTIFY THAT THE FACILITY SHOWN ON THIS PLAN WAS CONSTRUCTED AS SHOWN ON THE "AS-BUILT" PLANS AND COMPLIES WITH THE APPROVED PLANS AND SPECIFICATIONS. I HAVE VERIFIED THAT THE CONTRIBUTING DRAINAGE AREA IS SUFFICIENTLY STABILIZED TO PREVENT CLOGGING OF THE UNDERGROUND SWM FACILITY.

STATE OF MARYLAND PROFESSIONAL ENGINEER: *[Signature]* NO. 16193 DATE: 9-18-23

OWNER: TRIPLE BELL FARMS, LLC
178 LAUREL PARK BLVD. RD. LAUREL, MD 20725
(301) 470-5494

OWNER/DEVELOPER: 2006 DELAWARE, INC.
178 LAUREL PARK BLVD. RD. LAUREL, MD 20725
(301) 470-5494

NO.	REVISION	DATE
5	REVISE PLAN TO SHOW RECONSTRUCTION OF STORMWATER SYSTEMS AND TREE ON PARCEL A-2	1-1-22
3	MODIFICATION OF PHASE 1 LAYOUT, RENAME PLAN, LANDSCAPING, PRIVATE ROAD	09/08/20
2	IMPROVEMENTS, UTILITY LAYOUT AND STORMWATER MANAGEMENT	
1	REVISE THE PLANS TO ILLUSTRATE IRRIGATION LINES WITHIN PRIVATE ROADWAY	07/28/20
1	MODIFICATION OF PHASE 1 LAYOUT, ROAD LAYOUT, UTILITY LAYOUT, STORMWATER MANAGEMENT, AND BYPASS LAYOUT	06/11/19

REVISED SITE DEVELOPMENT PLAN

ROAD PROFILES AND DETAILS

PADDOCK POINTE - PHASE 1
(FORMERLY KNOWN AS LAUREL PARK STATION)
84 APARTMENT AND 156 STACKED CONDO UNITS
P.384 (L10518/F.157) B-3, C-1, J, K-1, AND P.441 (L13286/F.377) LOTS D, E-1, F-1, G, H, & I
ZONED: T00 HOWARD COUNTY, MARYLAND

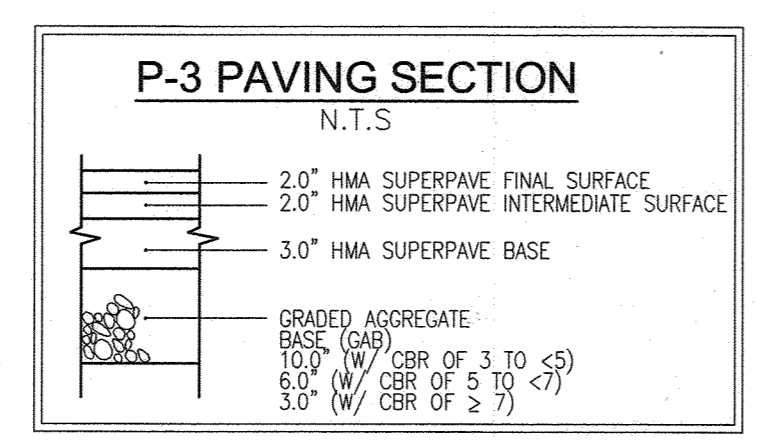
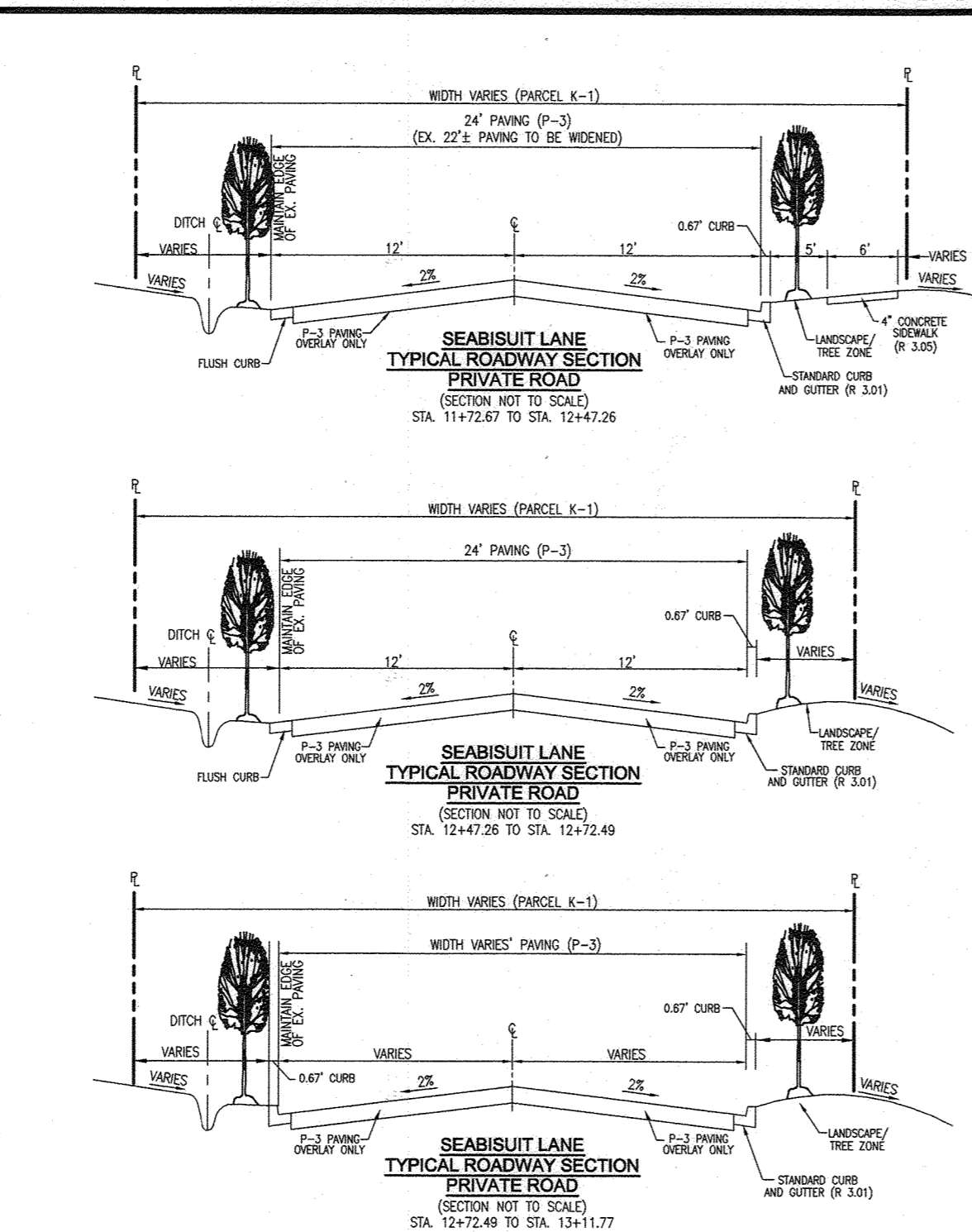
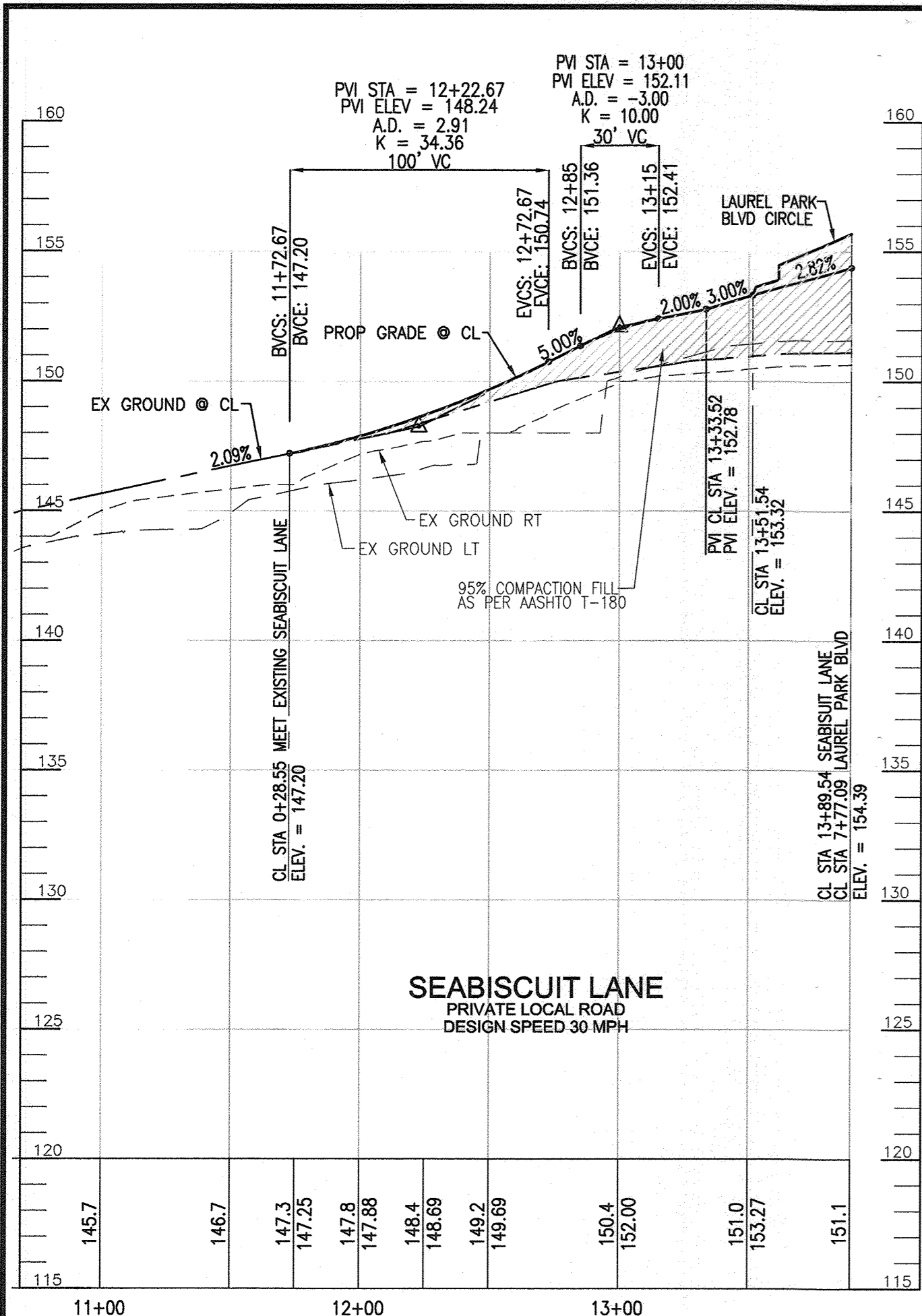
VOGEL ENGINEERING
TIMMONS GROUP
3300 NORTH RIDGE ROAD, SUITE 110, ELLICOTT CITY, MD 21043
P: 410.461.7666 F: 410.461.8961 www.timmons.com

DESIGN BY: RHV/DZE
DRAWN BY: DZE
CHECKED BY: RHV
DATE: SEPTEMBER 2020
SCALE: AS SHOWN
W.O. NO.: 07-11/40111

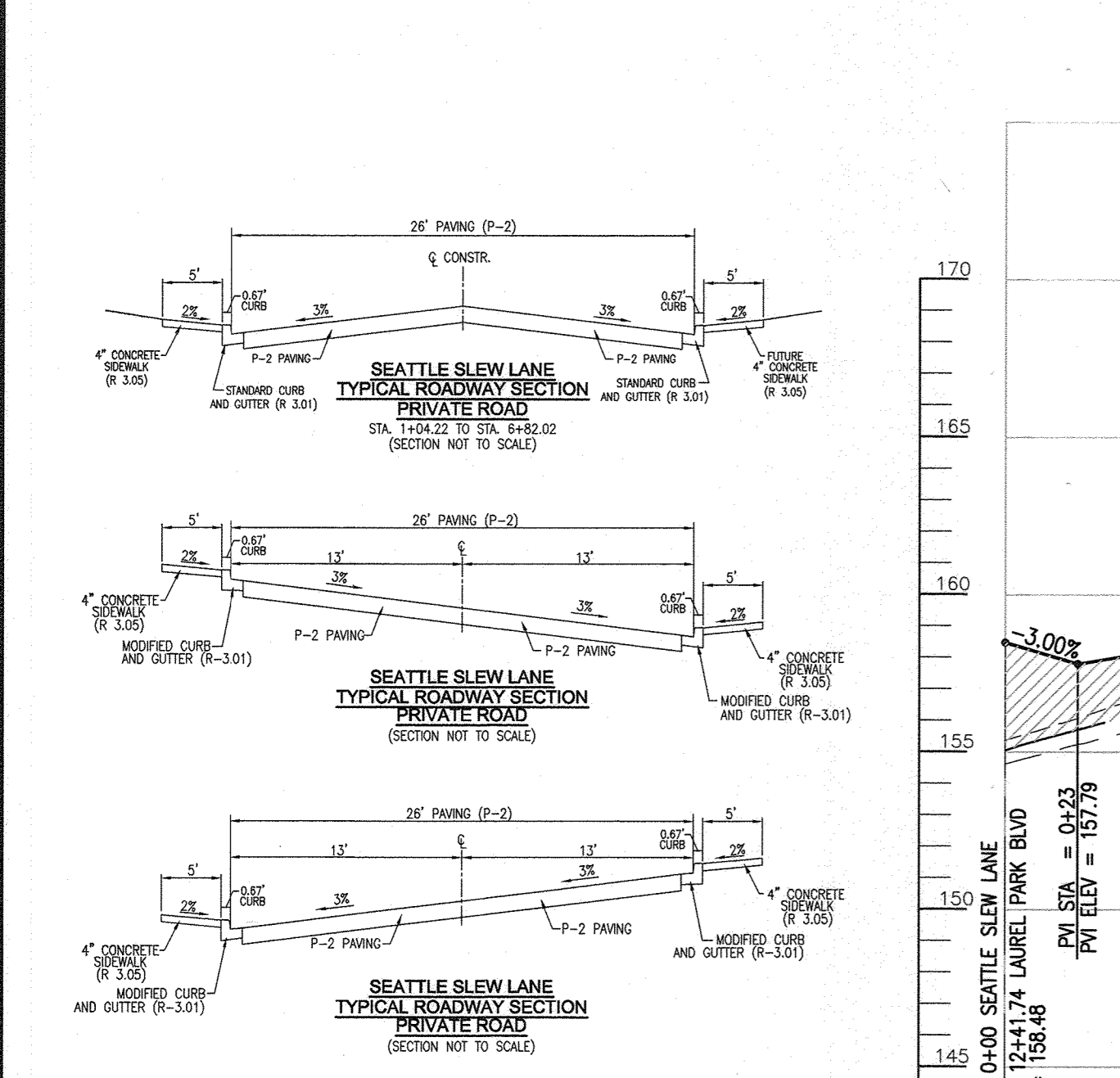
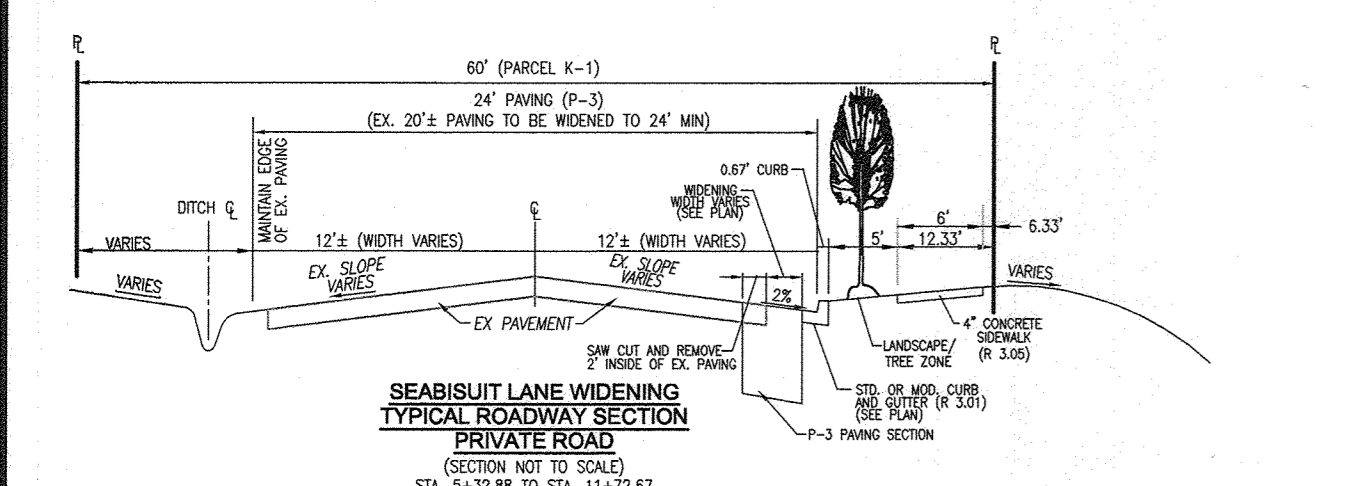
PROFESSIONAL CERTIFICATE
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A FULLY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.
EXPIRATION DATE: 09-27-2022

6 SHEET OF 55

AS-BUILT JULY 2023



STREET NAME	STA	OFFSET	FIXTURE TYPE
SEABISCUIT LANE	5+49.33	15.17' R	150 WATT SOLID VAPOR TEAR DROP STYLE MOUNTED ON 2 1/2" BLACK FIBERGLASS POLE
SEABISCUIT LANE	6+43.51	26.78' R	
SEABISCUIT LANE	7+08.65	15.17' R	
SEABISCUIT LANE	8+11.07	21.17' R	
SEABISCUIT LANE	8+99.59	15.17' R	
SEABISCUIT LANE	9+86.39	15.17' R	
SEABISCUIT LANE	10+74.67	15.17' R	
SEABISCUIT LANE	11+64.45	15.17' R	
SEABISCUIT LANE	12+77.89	14.74' R	
SEABISCUIT LANE	12+77.89	14.74' R	

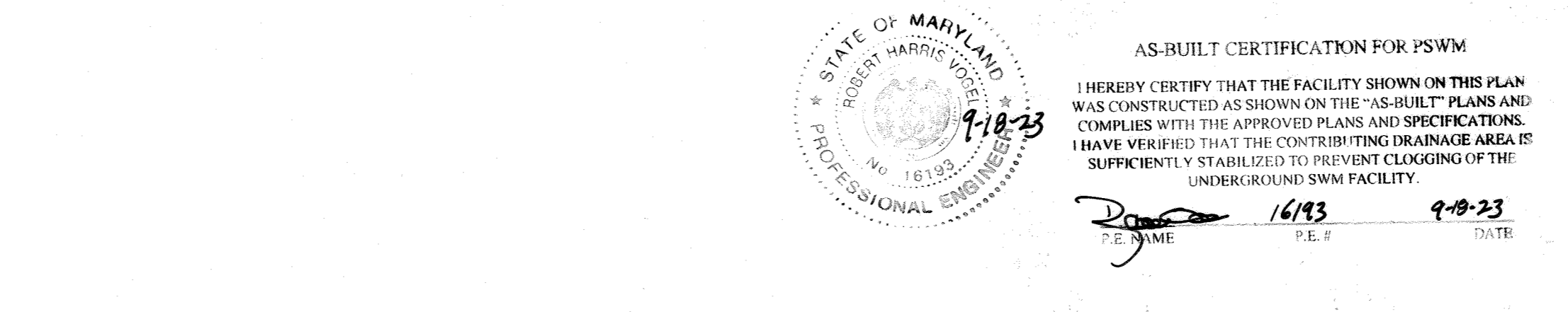
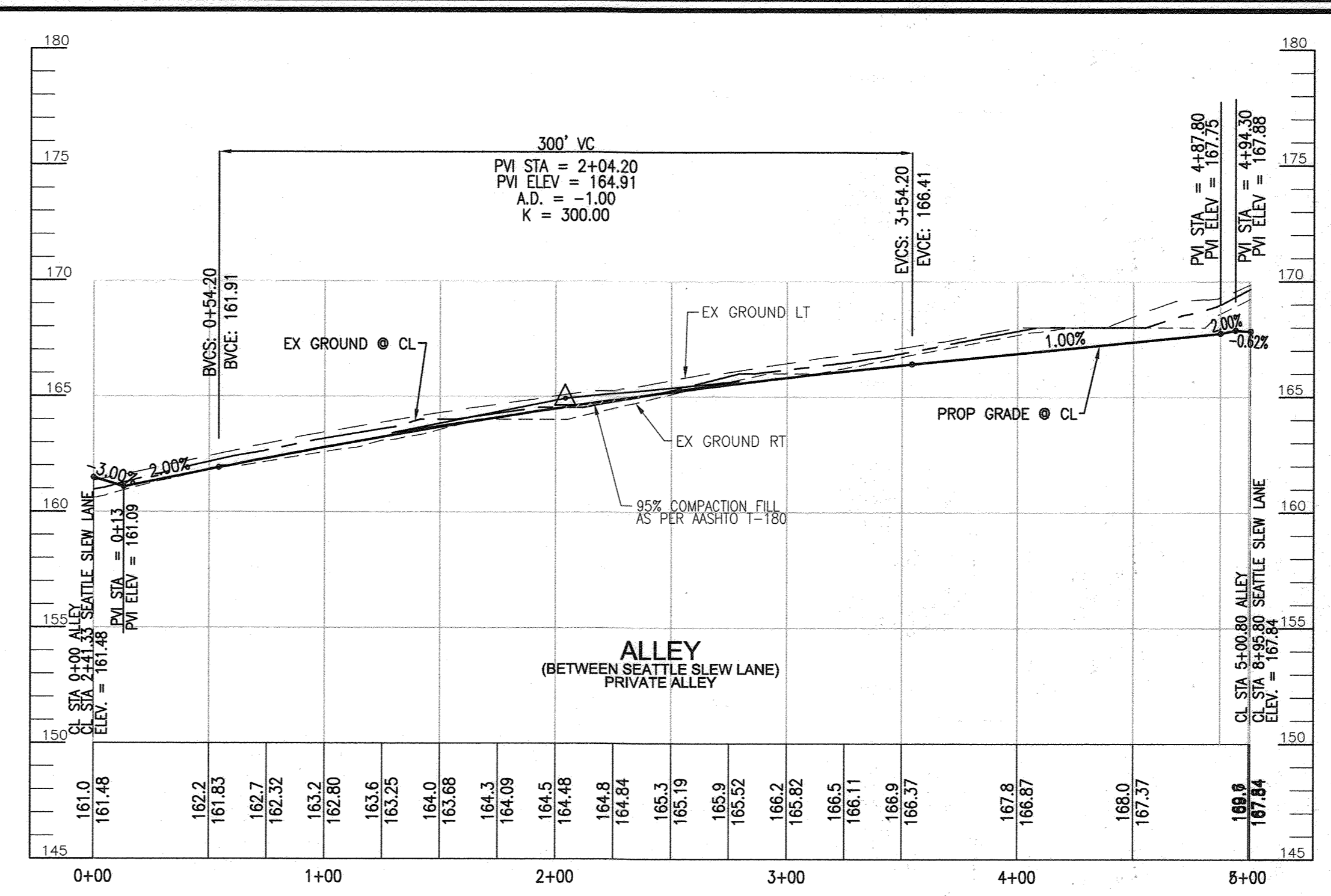


APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

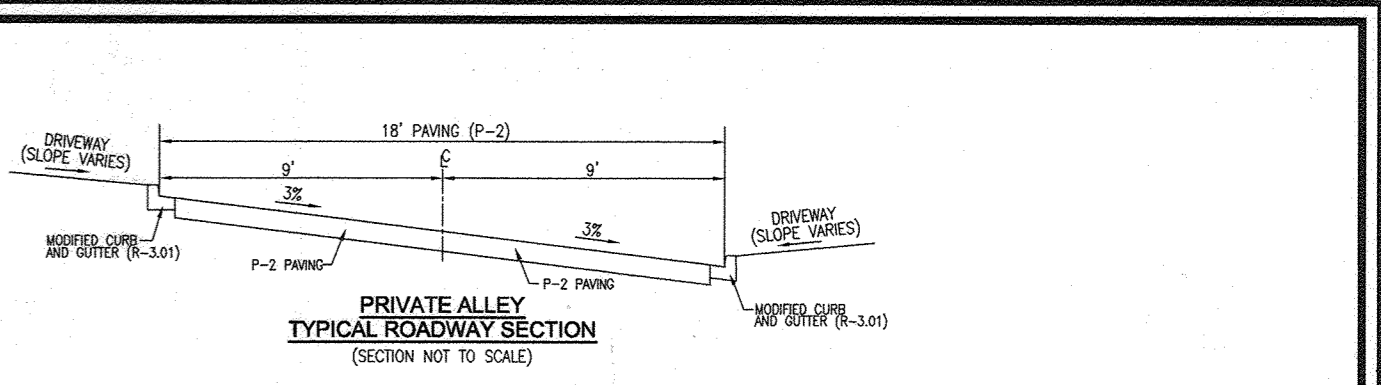
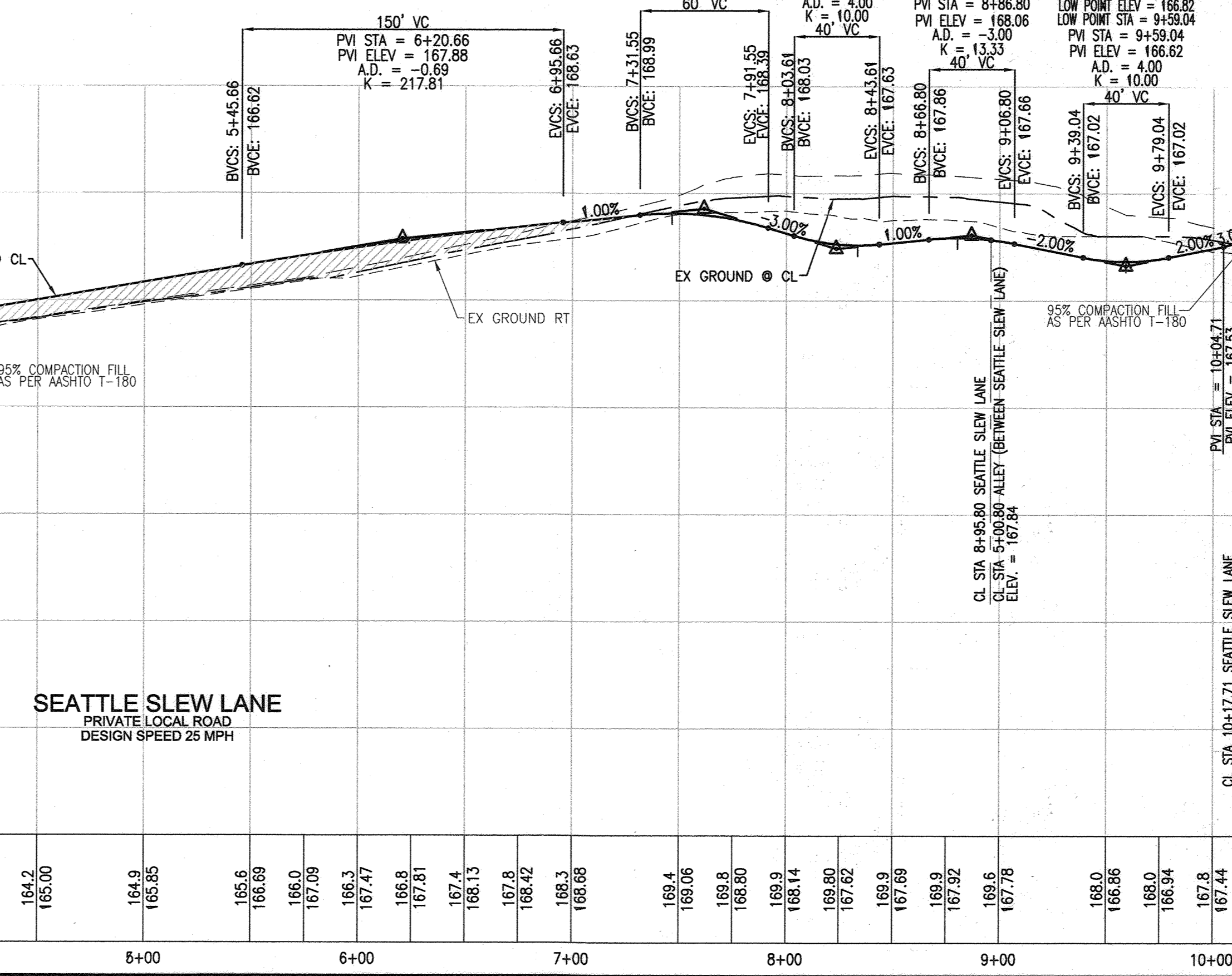
[Signature] 6/16/22
 CHIEF, DEVELOPMENT ENGINEERING DIVISION
 DATE

[Signature] 6/16/22
 CHIEF, DIVISION OF LAND DEVELOPMENT
 DATE

[Signature] 6/16/22
 DIRECTOR
 DATE



NO.	REVISION	DATE
1	REVISE THE PLAN TO SHOW AS-BUILT CONDITIONS	09/24/22



FlowLine LED unit – linear LED tunnel luminaire

FlowLine LED units are used for roadway lighting. They are designed to provide uniform lighting over the life cycle of the luminaire. The units are designed to be used in a variety of applications, including roadway lighting, tunnel lighting, and industrial lighting.

Specifications:

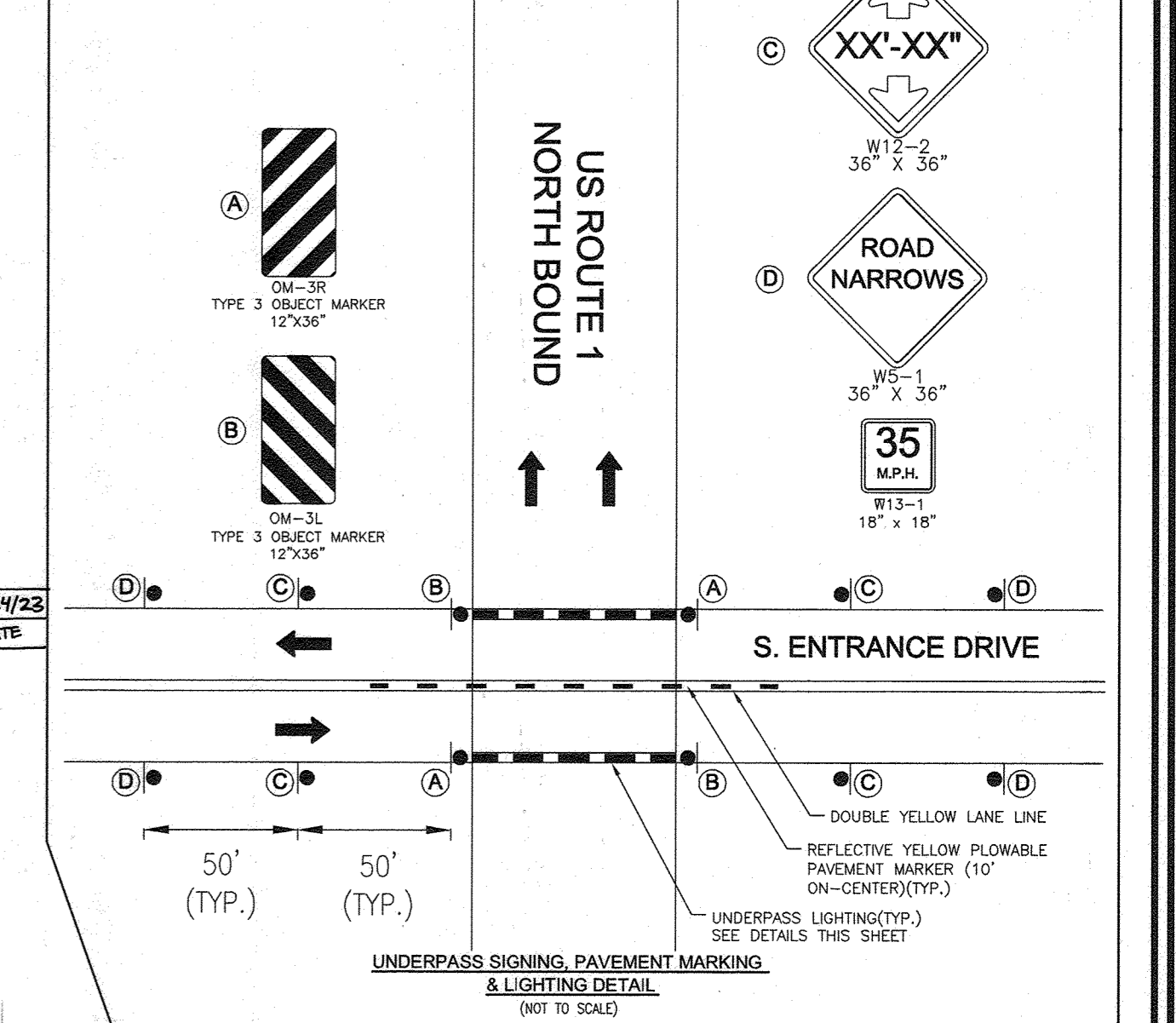
- Type: B0800
- Length: 120 inches
- Power: 30 W
- Beam Spread: 120°
- Color: White
- Material: Aluminum
- Finish: Powder Coat
- Weight: 15 lbs
- Dimensions: 120" L x 4" W x 4" H
- Operating Temperature: -40° to 140° F
- IP Rating: IP65
- Mounting: Flush Mount
- Warranty: 5 Years

Features:

- High efficacy LED chips
- High quality optics
- High quality materials
- High quality finish
- High quality construction
- High quality performance
- High quality reliability
- High quality safety
- High quality security
- High quality durability
- High quality maintenance
- High quality support
- High quality service
- High quality training
- High quality documentation
- High quality compliance
- High quality certification
- High quality accreditation
- High quality registration
- High quality membership
- High quality association
- High quality organization
- High quality institution
- High quality establishment
- High quality organization
- High quality institution
- High quality establishment

Related products:

- FlowLine LED tunnel luminaire
- FlowLine LED roadway luminaire
- FlowLine LED industrial luminaire
- FlowLine LED outdoor luminaire
- FlowLine LED indoor luminaire
- FlowLine LED specialty luminaire
- FlowLine LED custom luminaire
- FlowLine LED retrofit luminaire
- FlowLine LED replacement luminaire
- FlowLine LED repair luminaire
- FlowLine LED maintenance luminaire
- FlowLine LED support luminaire
- FlowLine LED service luminaire
- FlowLine LED training luminaire
- FlowLine LED documentation luminaire
- FlowLine LED compliance luminaire
- FlowLine LED certification luminaire
- FlowLine LED accreditation luminaire
- FlowLine LED registration luminaire
- FlowLine LED membership luminaire
- FlowLine LED association luminaire
- FlowLine LED organization luminaire
- FlowLine LED institution luminaire
- FlowLine LED establishment luminaire



OWNER
TRIPLE BELL FARMS, LLC
198 LAUREL PARK BLVD
LAUREL, MD 20715
(301) 470-5494

OWNER/DEVELOPER
20006 DELAWARE, INC.
198 LAUREL PARK BLVD
LAUREL, MD 20715
(301) 470-5494

NO.	REVISION	DATE
1	REVISE PLAN TO SHOW RECONFIGURATION OF SYSTEMS, ADD STORM DRAIN AND TREE ON PARCEL A-2	9-1-22
2	MODIFICATION OF PHASE 1 LAYOUT, RENAME PLAN, LANDSCAPING, PRIVATE ROAD IMPROVEMENTS, UTILITY LAYOUT AND STORMWATER MANAGEMENT	09/08/20
3	REVISE THE PLANS TO ILLUSTRATE IRRIGATION LINES WITHIN PRIVATE ROADWAY	07/28/20
4	MODIFICATION OF PHASE 1 LAYOUT, ROAD LAYOUT, UTILITY LAYOUT, STORMWATER MANAGEMENT, AND BYPASS LAYOUT	06/11/19

REVISED SITE DEVELOPMENT PLAN

ROAD PROFILES AND DETAILS

PADDOCK POINTE - PHASE 1
(FORMERLY KNOWN AS LAUREL PARK STATION)
64 APARTMENT AND 156 STAGION CONDO UNITS
P.384 (L.10518/F.157)
P.441 (L.13296/F.377)
ZONED: TOD

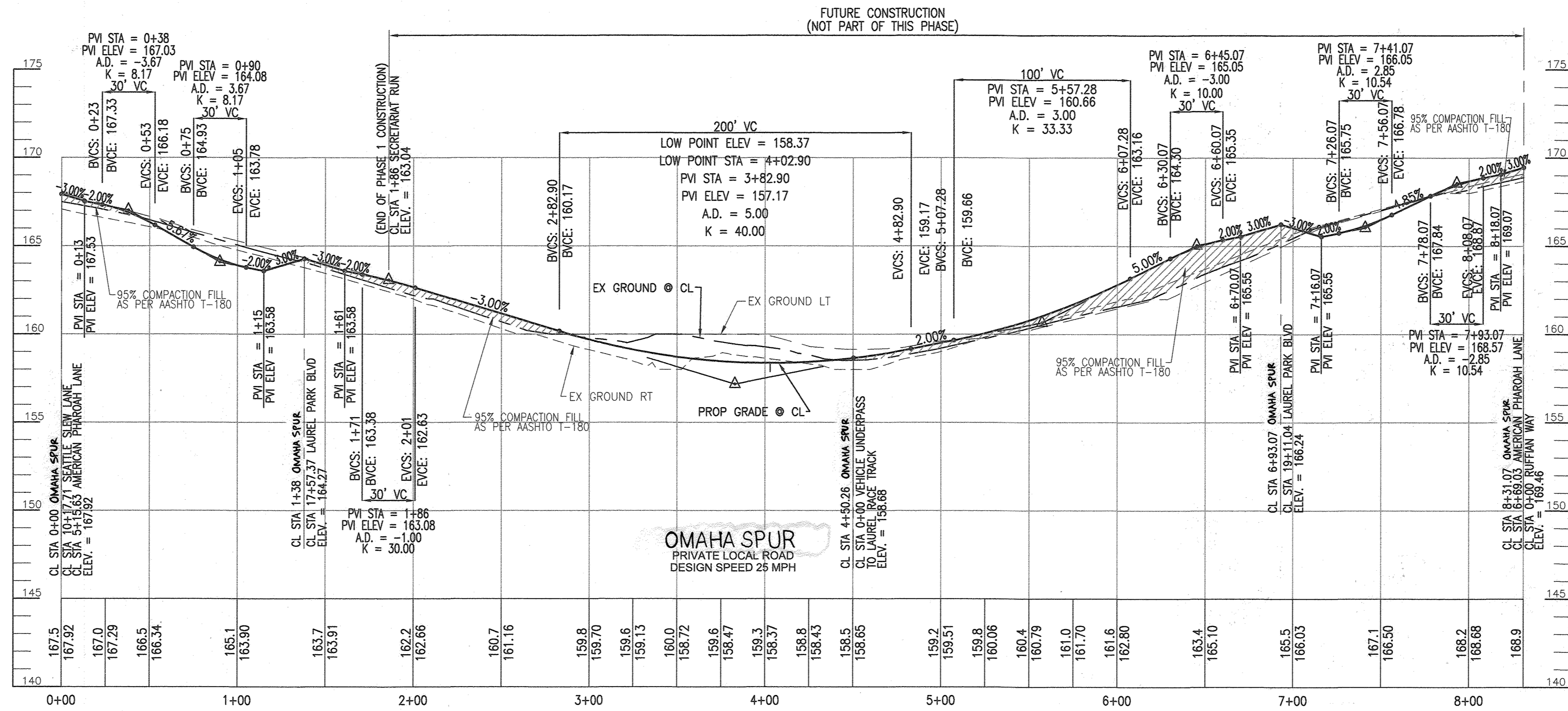
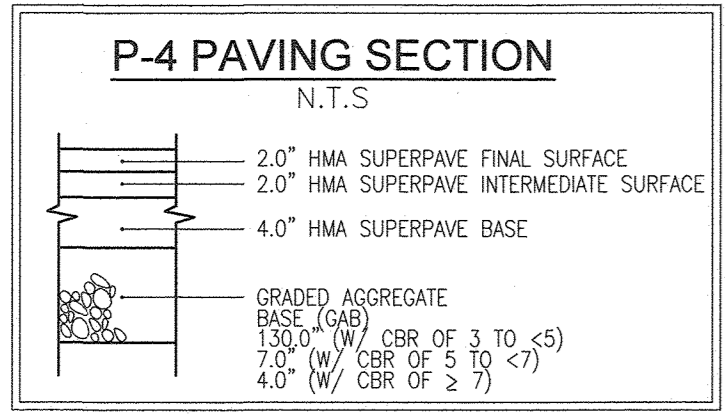
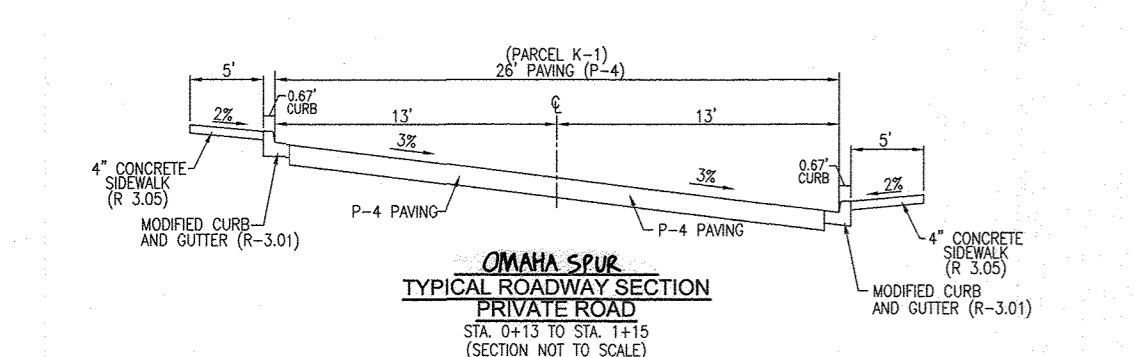
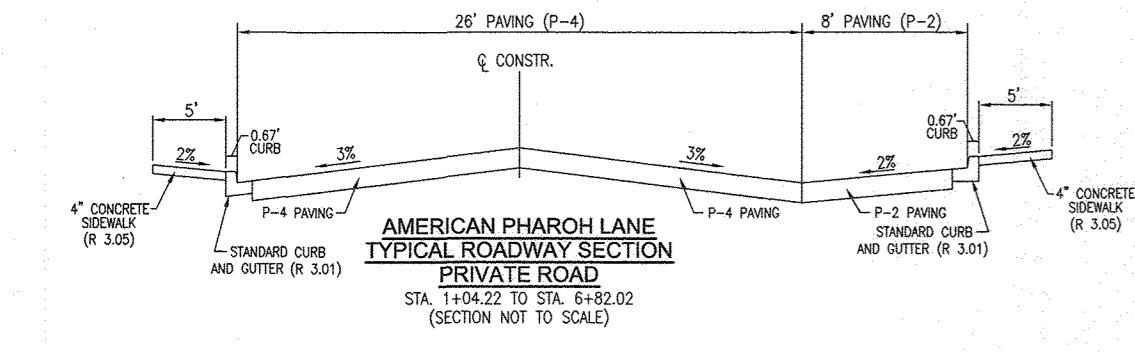
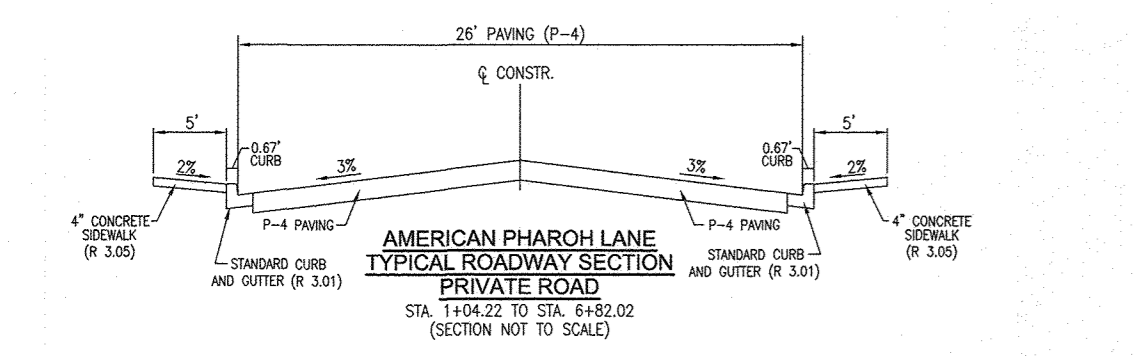
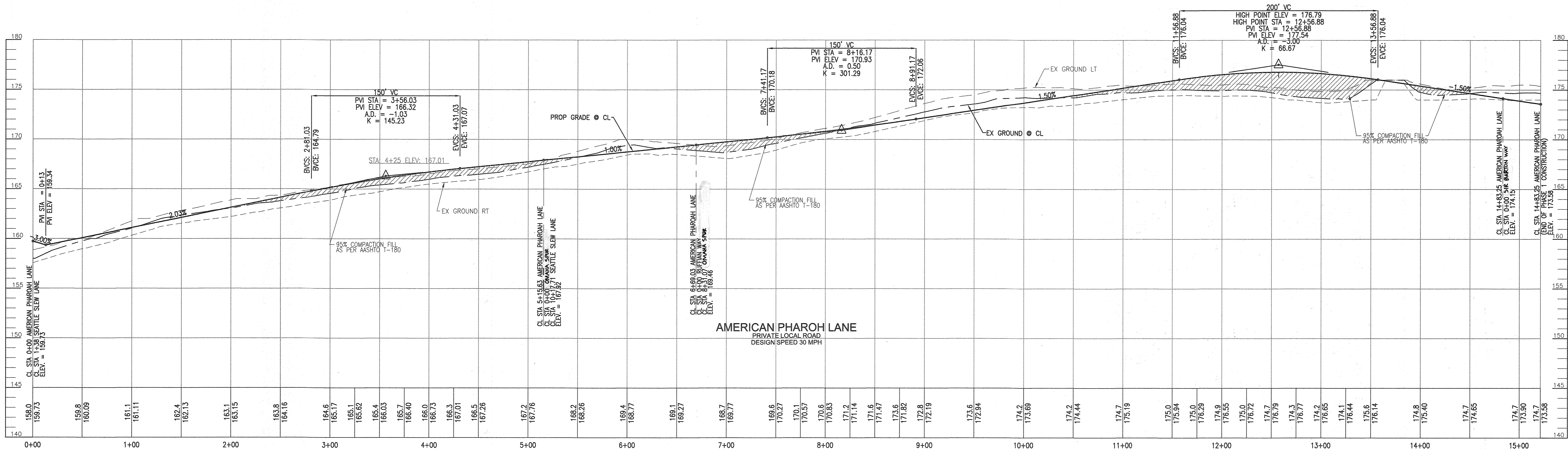
PARCELS: 384/441
A-2, B-1, B-2
B-3, C-1, K-1, L, and
LOTS D, E-1, F-1, G, H, & I
HOWARD COUNTY, MARYLAND

VOGEL ENGINEERING
TIMMONS GROUP
3300 NORTH RIDGE ROAD, SUITE 110, ELLICOTT CITY, MD 21043
P: 410.461.7665 F: 410.461.8961 www.timmons.com

PROFESSIONAL CERTIFICATE
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A duly licensed PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.
EXPIRATION DATE: 09-27-2025

DESIGN BY: RHW/DZE
DRAWN BY: DZE
CHECKED BY: RHW
DATE: SEPTEMBER 2020
SCALE: AS SHOWN
W.O. NO.: 07-11/40111

7 SHEET OF 55



AS-BUILT CERTIFICATION FOR PSWM
 I HEREBY CERTIFY THAT THE FACILITY SHOWN ON THIS PLAN WAS CONSTRUCTED AS SHOWN ON THE "AS-BUILT" PLANS AND COMPLIES WITH THE APPROVED PLANS AND SPECIFICATIONS. I HAVE VERIFIED THAT THE CONTRIBUTING DRAINAGE AREA IS SUFFICIENTLY STABILIZED TO PREVENT CLOGGING OF THE UNDERGROUND SWM FACILITY.

PROFESSIONAL ENGINEER
 STATE OF MARYLAND
 ROBERT H. VOGEL, PE
 No. 16193
 9-18-23
 P.E. # 16193
 DATE 9-18-23

NO AS-BUILT INFORMATION ON THIS SHEET

NO.	REVISION	DATE
6	REVISE THE PLAN TO SHOW AS-BUILT CONDITIONS	02/24/23
5	REVISE PLAN TO SHOW RECONFIGURATION OF STREAM, ADD STREAM DRAIN AND TREAT ON PARCEL A-2	9-1-22
3	MODIFICATION OF PHASE 1 LAYOUT, REFINANCE PLAN, LANDSCAPING, PRIVATE ROAD	09/08/20
1	IMPROVEMENTS, UTILITY LAYOUT AND STORMWATER MANAGEMENT	
2	REVISE THE PLANS TO ILLUSTRATE IRRIGATION LINES WITHIN PRIVATE ROADWAY	07/28/20
1	MODIFICATION OF PHASE 1 LAYOUT, ROAD LAYOUT, UTILITY LAYOUT, STORMWATER MANAGEMENT, AND BYPASS LAYOUT	06/11/19

OWNER
 TRIPPI BELL FARMS, LLC.
 198 LAUREL RACE TRACE RD.
 LAUREL, MD 20785
 (301) 470-5494

OWNER/DEVELOPER
 20008 DELAWARE, INC.
 198 LAUREL RACE TRACE RD.
 LAUREL, MD 20785
 (301) 470-5494

REVISED SITE DEVELOPMENT PLAN
ROAD PROFILES AND DETAILS
PADDOCK POINT- PHASE I
 (FORMERLY KNOWN AS LAUREL PARK STATION)
 64 APARTMENT AND 156 STACKED TOWNHOUSE CONDO UNITS PARCELS: 384/441
 P.384 (L10518/F.157) PARCELS A-2, B-1, B-2
 P.441 (L13295/F.377) PARCELS C-1, K-1, L AND
 ZONED: TOD LOTS D, E-1, F-1, G, H, & J
 HOWARD COUNTY, MARYLAND

TAX MAP: 50 BLOCK: 10
 6TH ELECTION DISTRICT

VOGEL ENGINEERING
 TIMMONS GROUP
 3300 NORTH RIDGE ROAD, SUITE 110, ELLICOTT CITY, MD 21043
 P: 410.461.7666 F: 410.461.8961 www.timmons.com

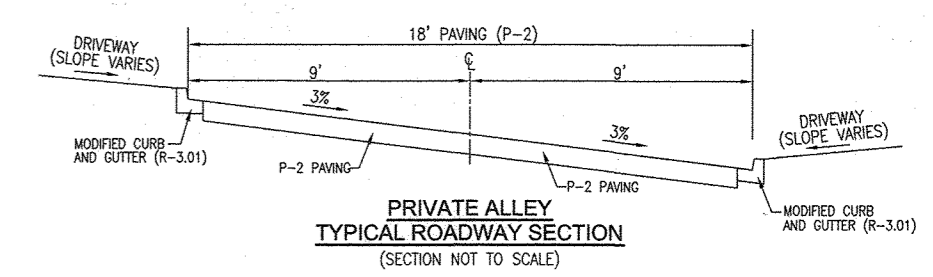
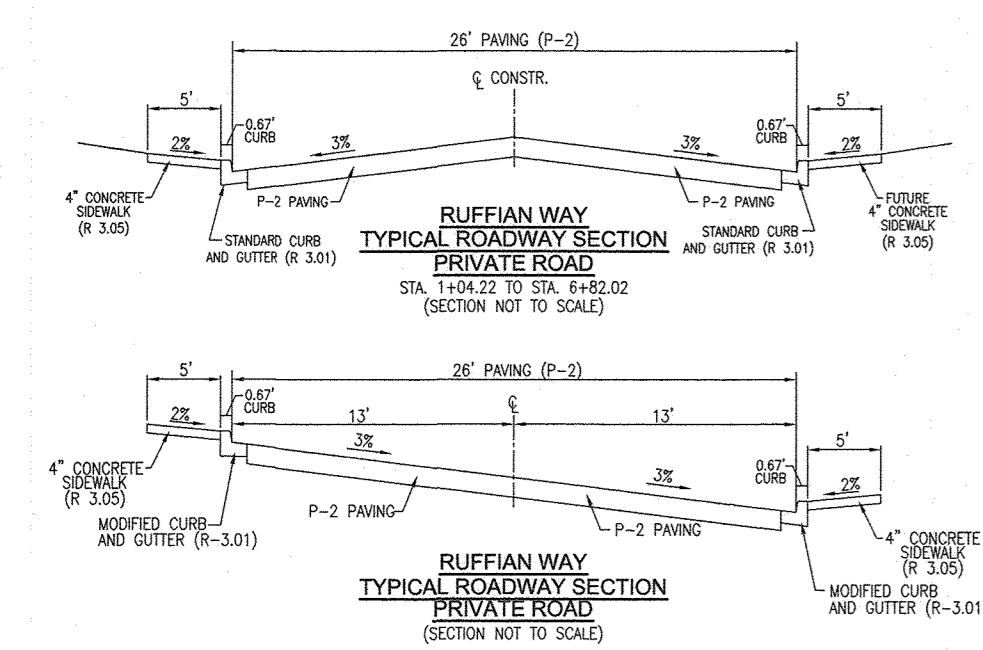
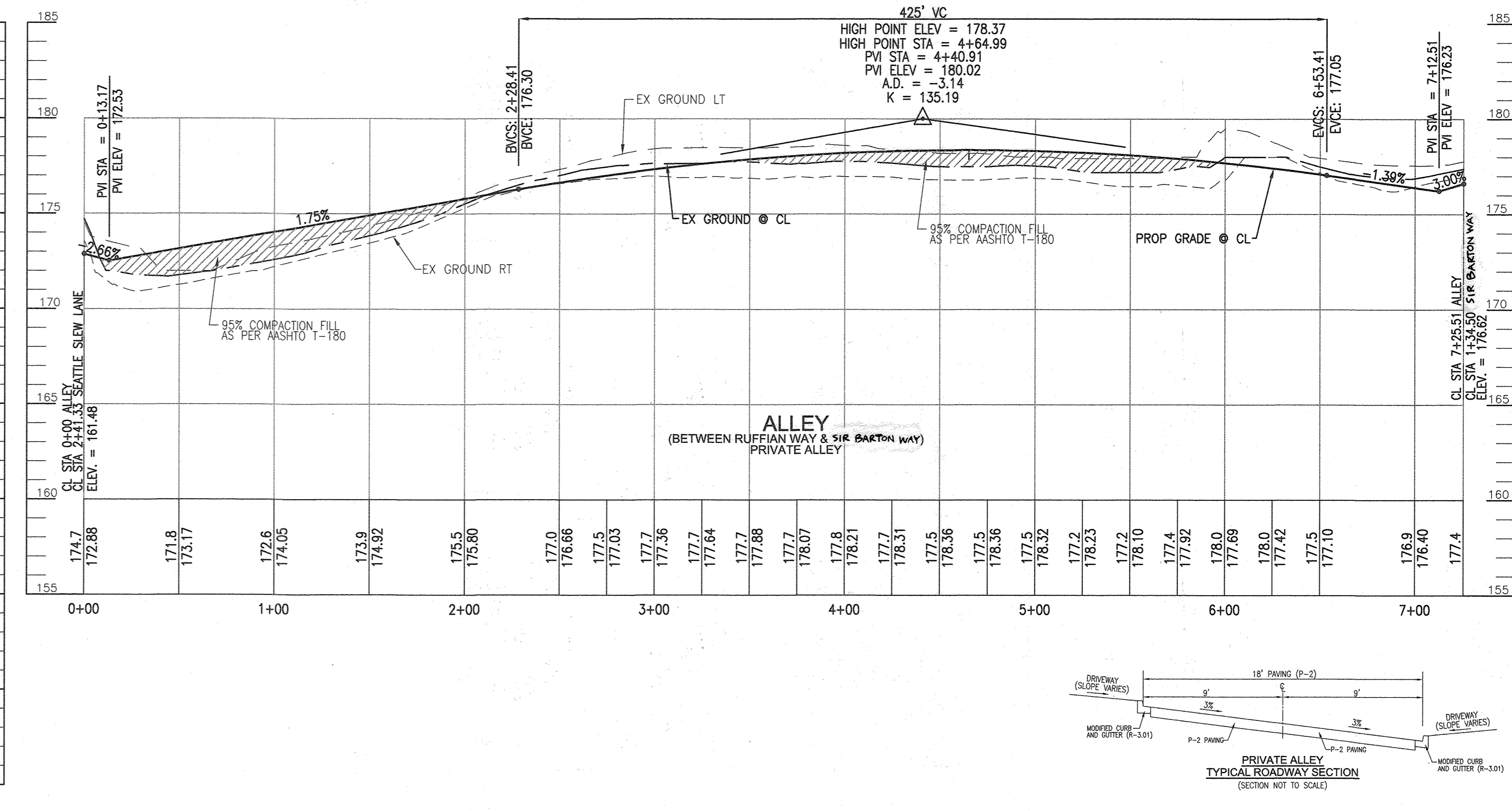
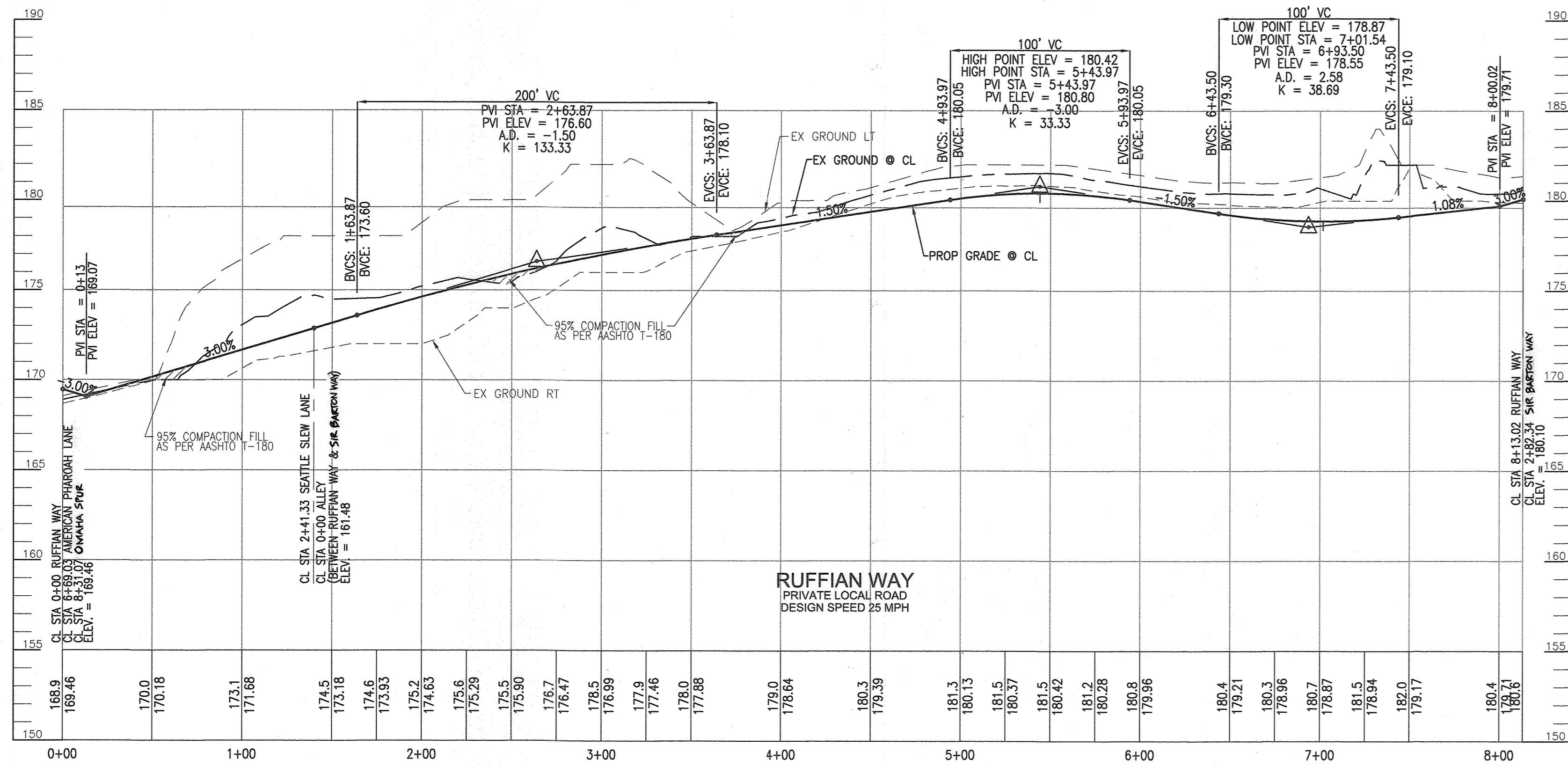
PROFESSIONAL CERTIFICATE
 I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND. MY LICENSE NO. IS 16193 AND MY EXPIRATION DATE IS 08-27-2026.

DESIGN BY: RHW/DZE/ES/SPS
 DRAWN BY: DZELNG/AS/CAH/ES
 CHECKED BY: RHW
 DATE: NOVEMBER 2019
 SCALE: AS SHOWN
 W.O. NO.: 07-11/40111

8 SHEET OF 55

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

12-3-19
 12/10/19
 12-12-19



AS-BUILT CERTIFICATION FOR PSWM

I HEREBY CERTIFY THAT THE FACILITY SHOWN ON THIS PLAN WAS CONSTRUCTED AS SHOWN ON THE "AS-BUILT" PLANS AND COMPLIES WITH THE APPROVED PLANS AND SPECIFICATIONS. I HAVE VERIFIED THAT THE CONTRIBUTING DRAINAGE AREA IS SUFFICIENTLY STABILIZED TO PREVENT CLOGGING OF THE UNDERGROUND SWM FACILITY.

ROBERT H. VOGEL
 PROFESSIONAL ENGINEER
 No. 16193
 9-18-23
 P.E. NAME P.E.# DATE

NO AS-BUILT INFORMATION ON THIS SHEET

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

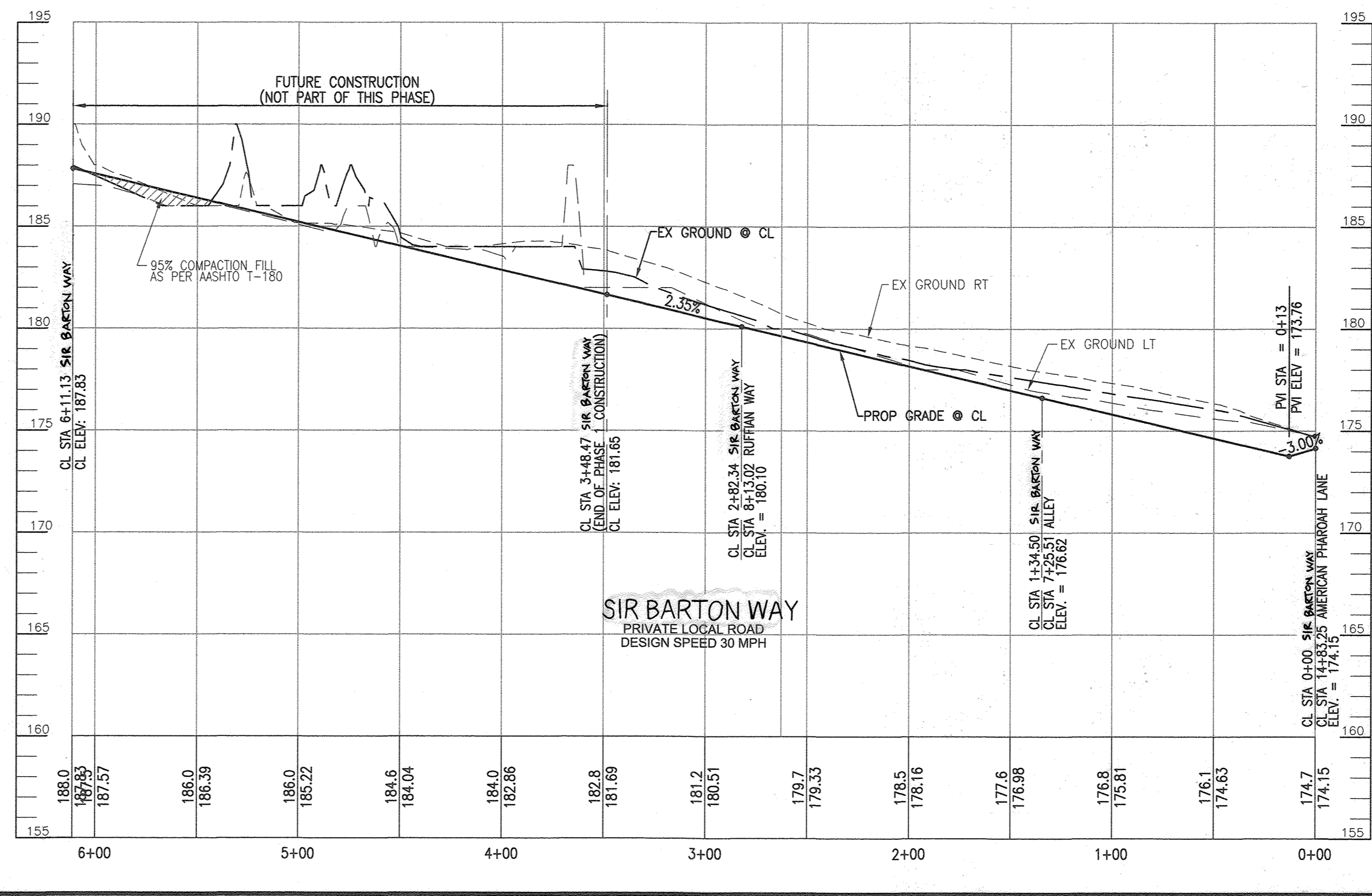
[Signature] 12-3-19 DATE
 CHIEF, DEVELOPMENT ENGINEERING DIVISION

[Signature] 12/10/19 DATE
 CHIEF, DIVISION OF LAND DEVELOPMENT

[Signature] 12-12-19 DATE
 DIRECTOR

P-4 PAVING SECTION
 N.T.S.

- 2.0" HMA SUPERPAVE FINAL SURFACE
- 2.0" HMA SUPERPAVE INTERMEDIATE SURFACE
- 4.0" HMA SUPERPAVE BASE
- GRADED AGGREGATE BASE (1.5")
- 1.5" (W/ CBR OF 3 TO <5)
- 4.0" (W/ CBR OF > 3)



NO.	REVISION	DATE
6	REVISE THE PLAN TO SHOW AS-BUILT CONDITIONS	03/24/23
5	REVISE PLAN TO SHOW RECONFIGURATION OF STREAM; ADD STORAL DRAIN AND TRAP ON TRAC 22	9-9-22
3	MODIFICATION OF PHASE I LAYOUT, RENAMING PLAN, LANDSCAPING, PRIVATE ROAD IMPROVEMENTS, UTILITY LAYOUT AND STORMWATER MANAGEMENT	09/08/20
2	REVISE THE PLANS TO ILLUSTRATE IRRIGATION LINES WITHIN PRIVATE ROADWAY	07/28/20
1	MODIFICATION OF PHASE 1 LAYOUT, ROAD LAYOUT, UTILITY LAYOUT, STORMWATER MANAGEMENT, AND BYPASS LAYOUT	06/11/19

REVISED SITE DEVELOPMENT PLAN

ROAD PROFILES AND DETAILS

Paddock Pointe-Phase I
 (FORMERLY KNOWN AS LAUREL PARK STATION)
 64 APARTMENT AND 156 STACKED TOWNHOUSE CONDO UNITS PARCELS: 384/441
 P.384 (L10518/F.157) PARCELS A-2, B-1, B-2
 P.441 (L13298/F.377) PARCELS C-1, C-1, K-1, L AND
 LAUREL, MD 20725 LAUREL, MD 20725
 (301) 470-5494 (301) 470-5494

TAX MAP: 50 BLOCK: 10 PARCELS: A-2, B-1, B-2, C-1, C-1, K-1, L AND
 6TH ELECTION DISTRICT LOTS: D, E-1, F-1, G, H, AND
 HOWARD COUNTY, MARYLAND

VOGEL ENGINEERING

TIMMONS GROUP

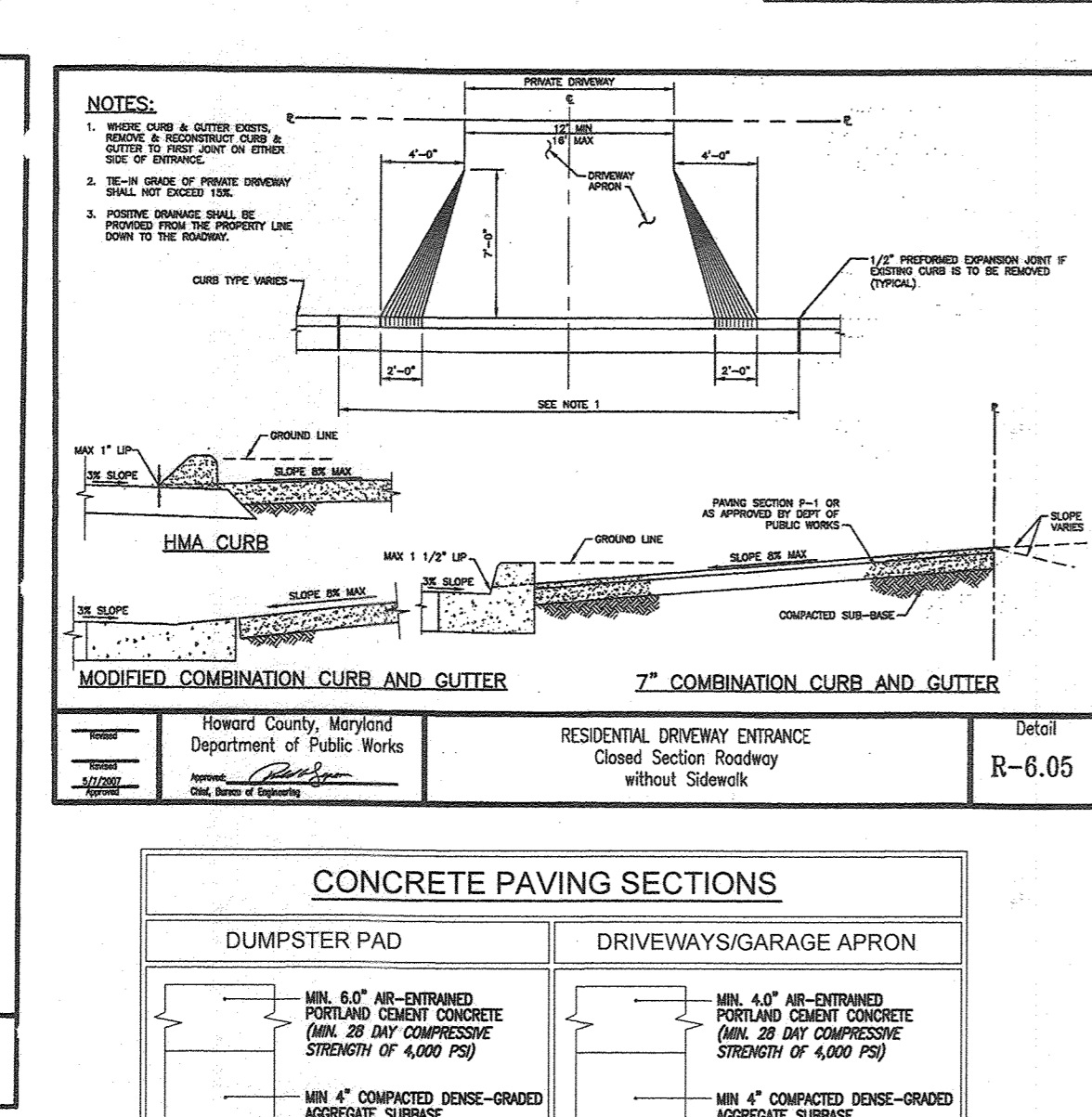
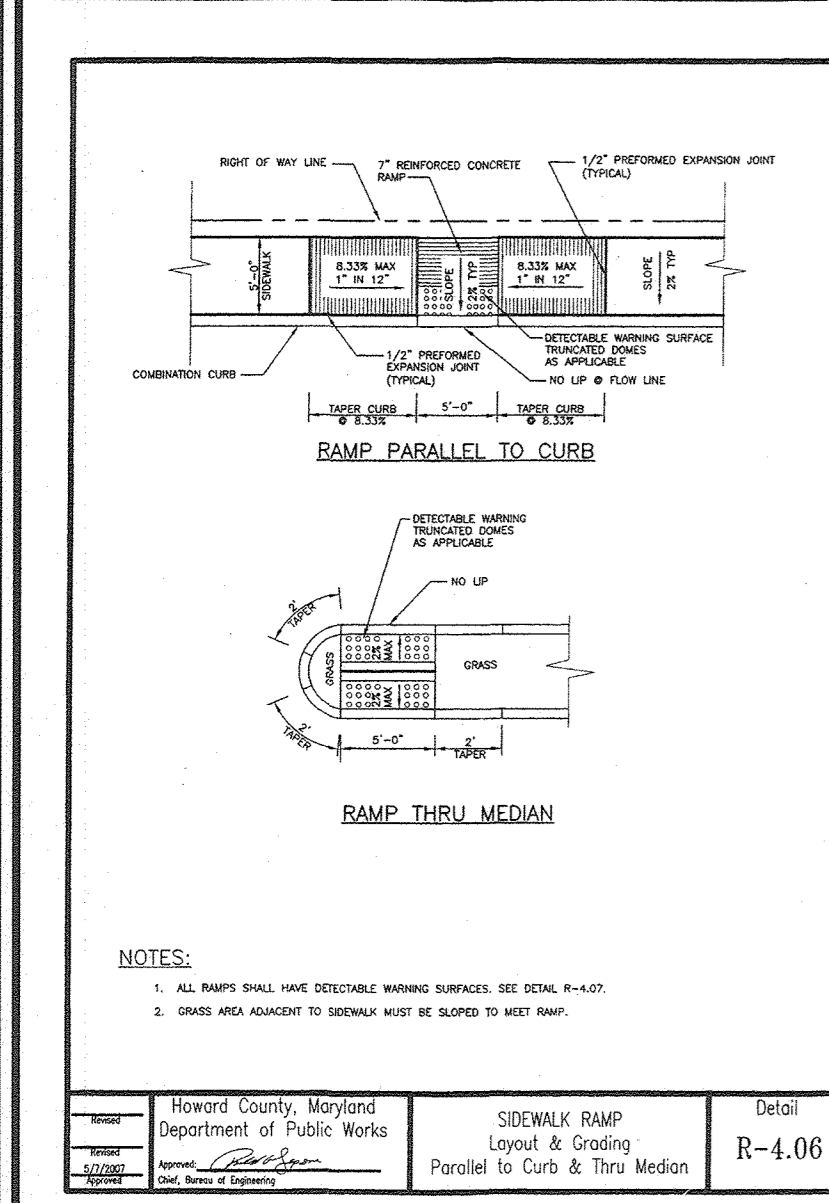
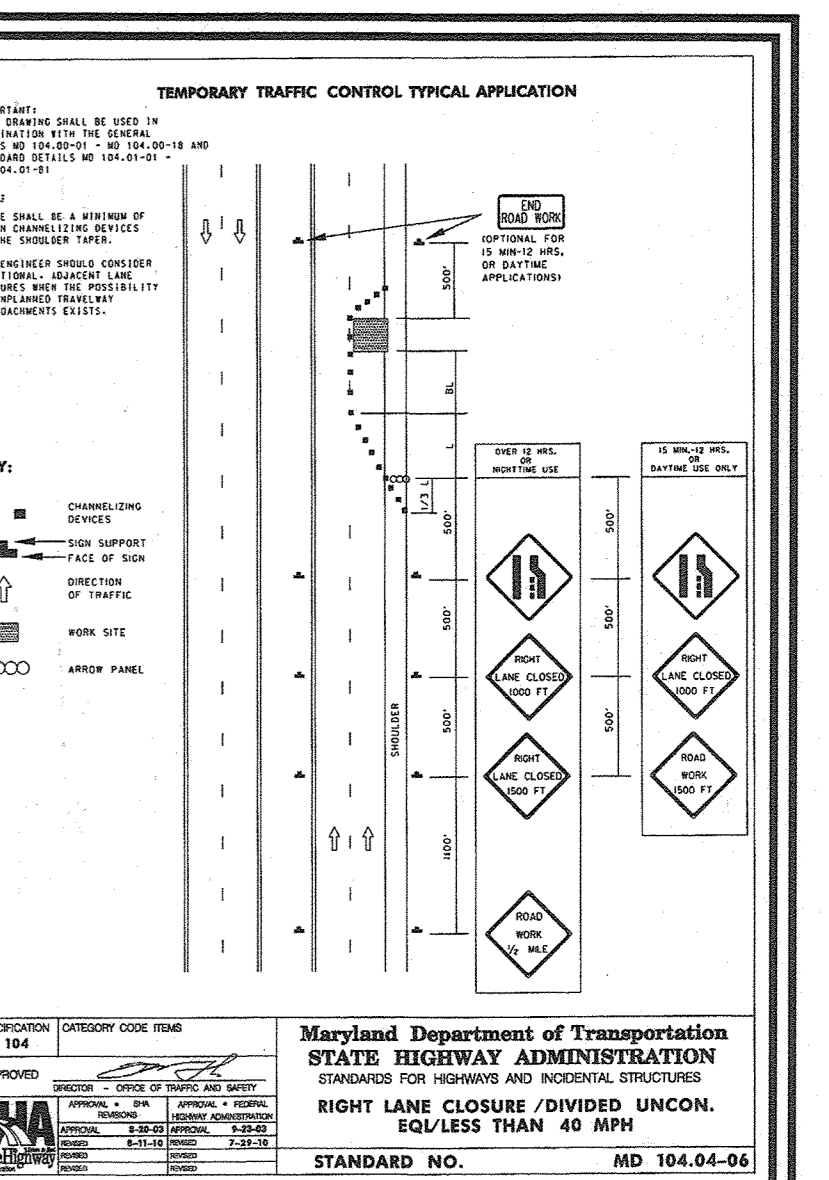
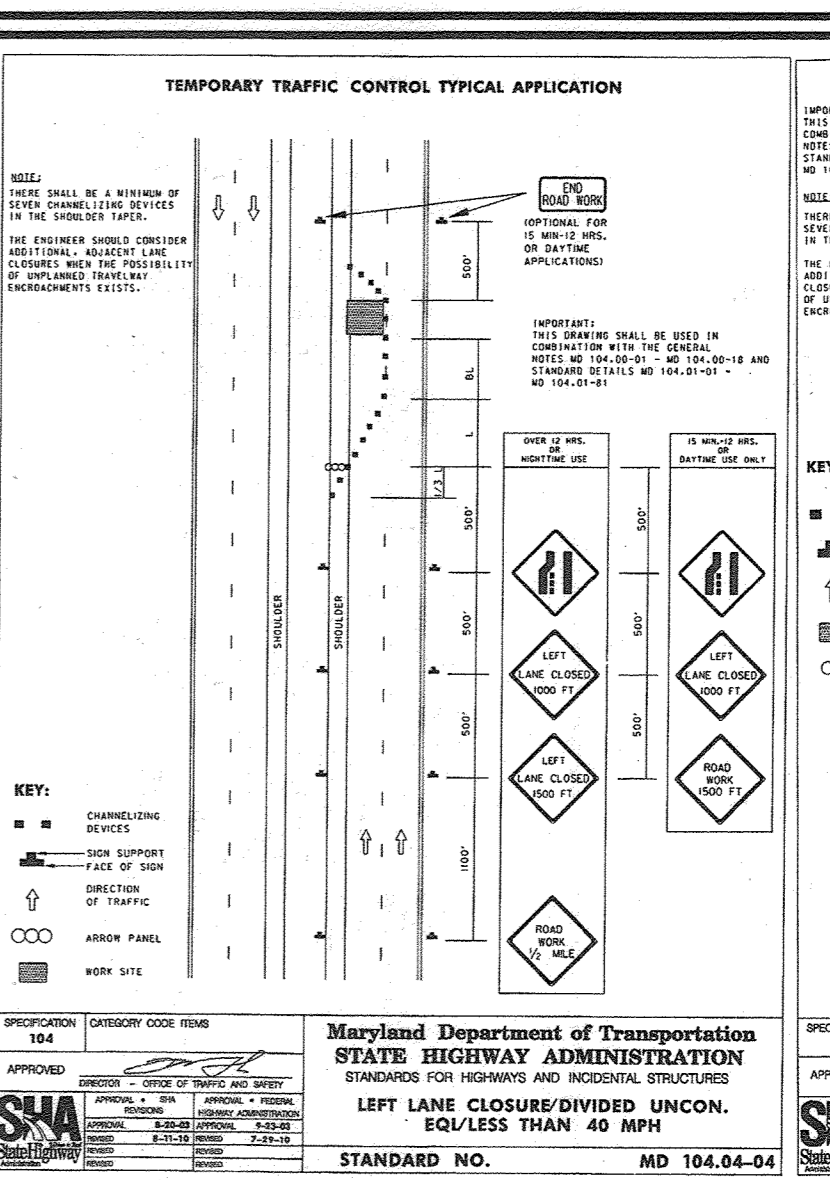
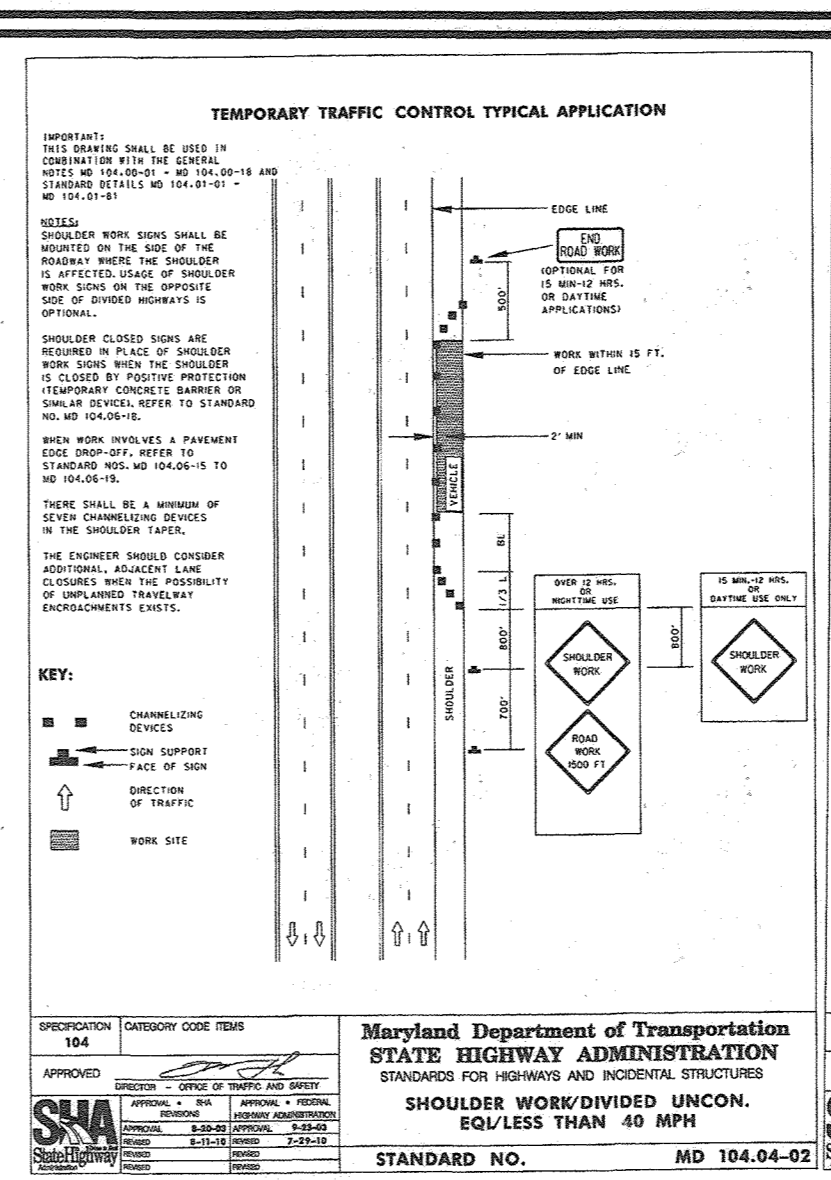
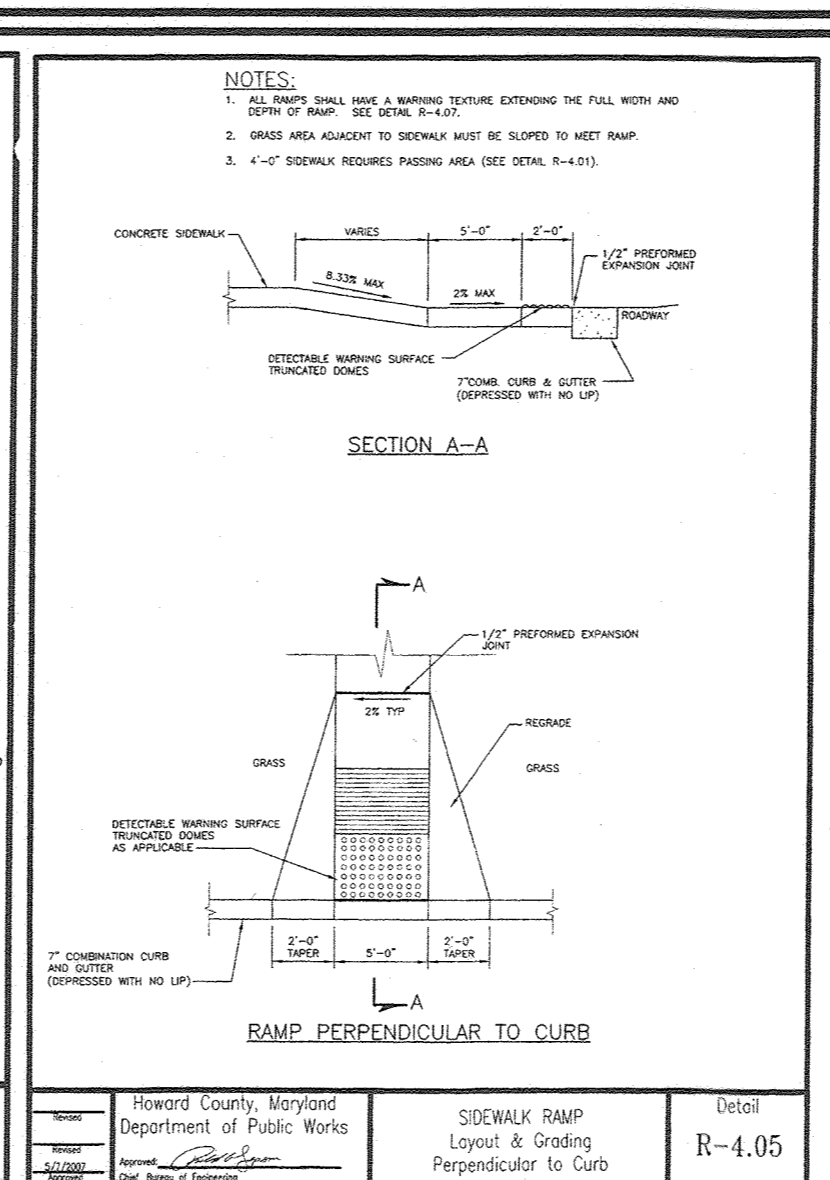
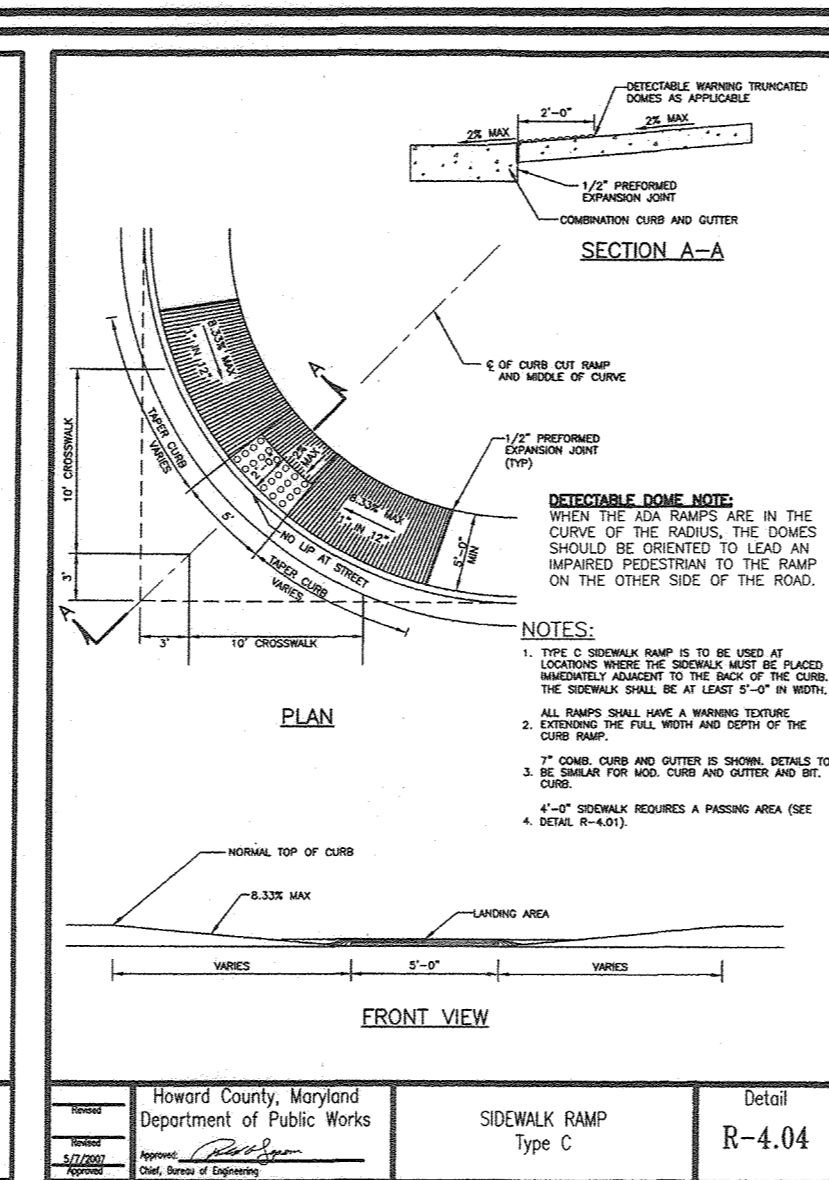
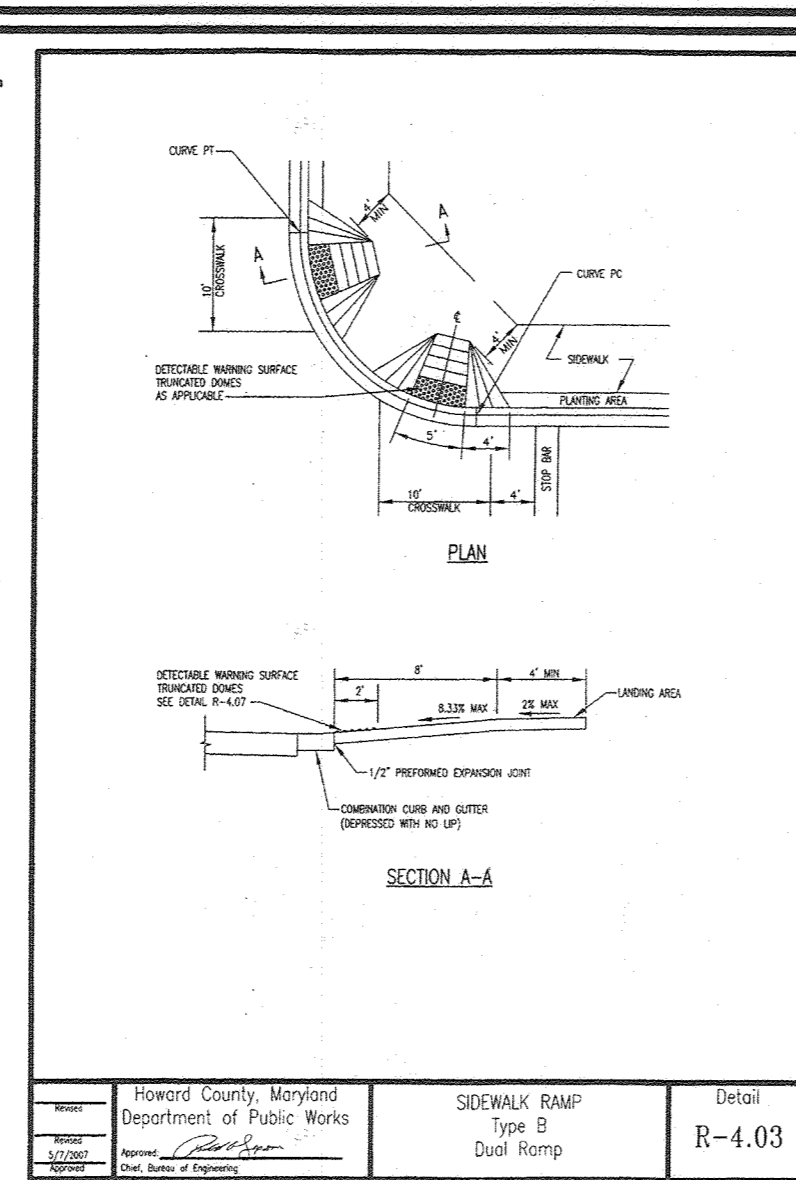
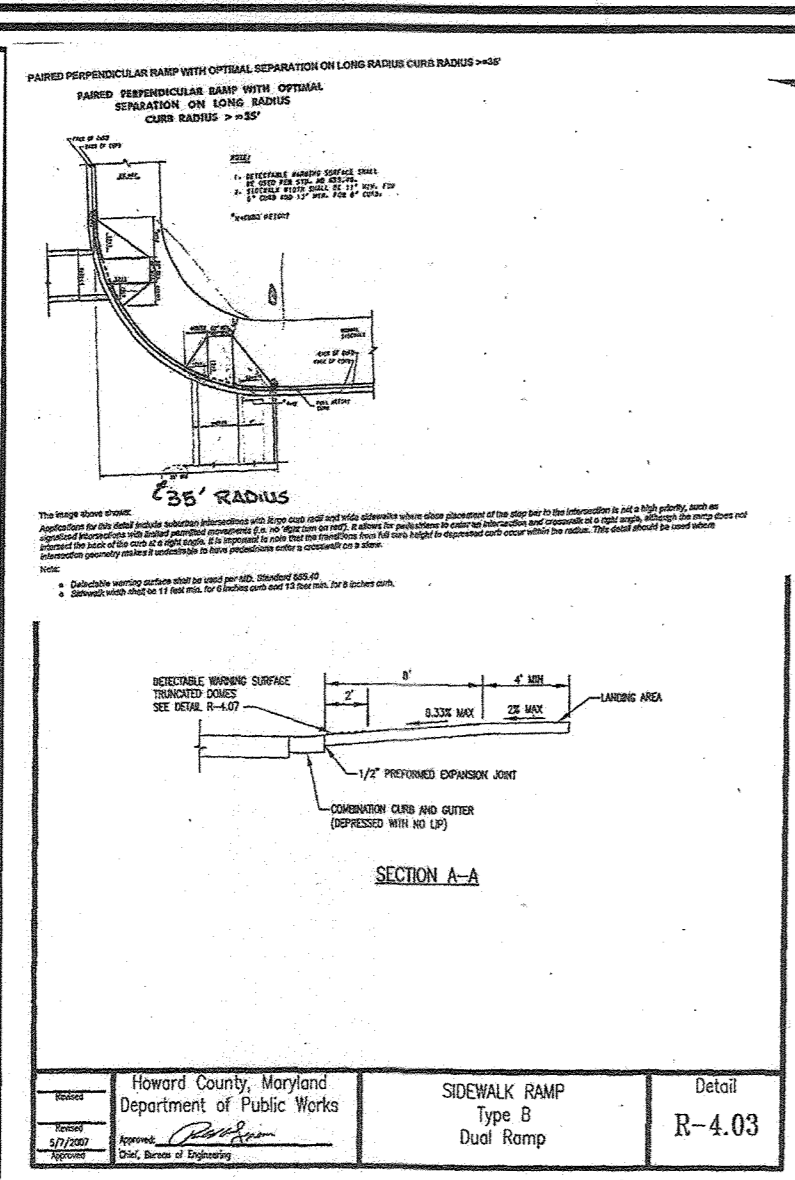
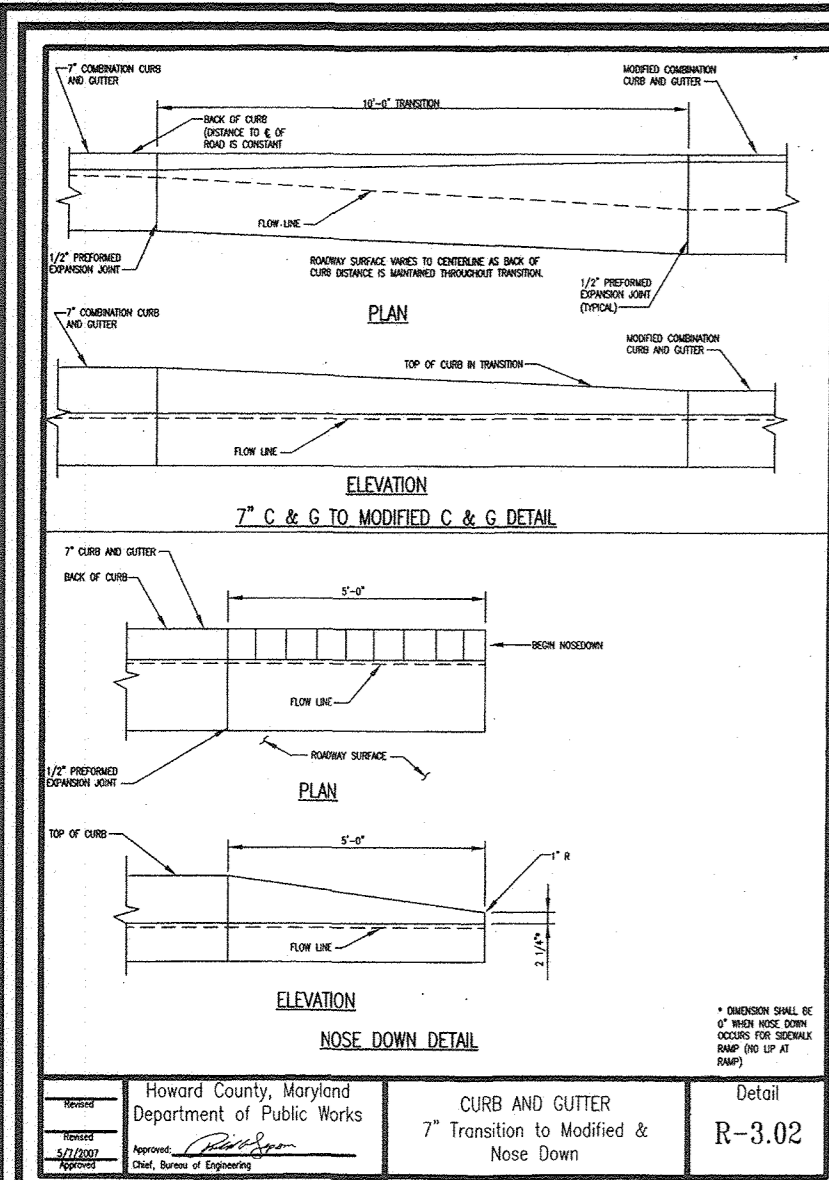
3300 NORTH RIDGE ROAD, SUITE 110, ELLICOTT CITY, MD 21043
 P: 410.461.7666 F: 410.461.8961 www.timmons.com

PROFESSIONAL CERTIFICATE

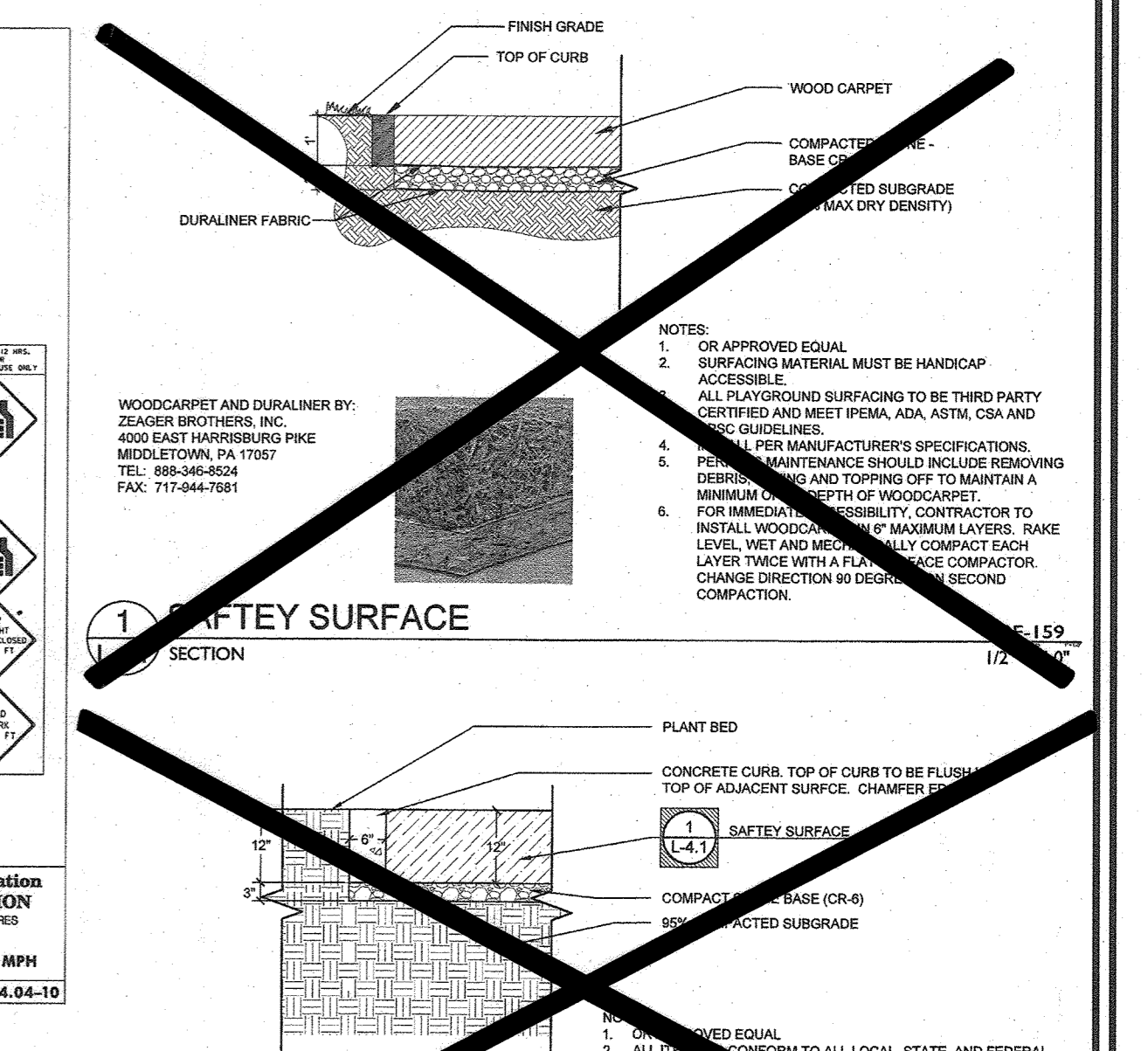
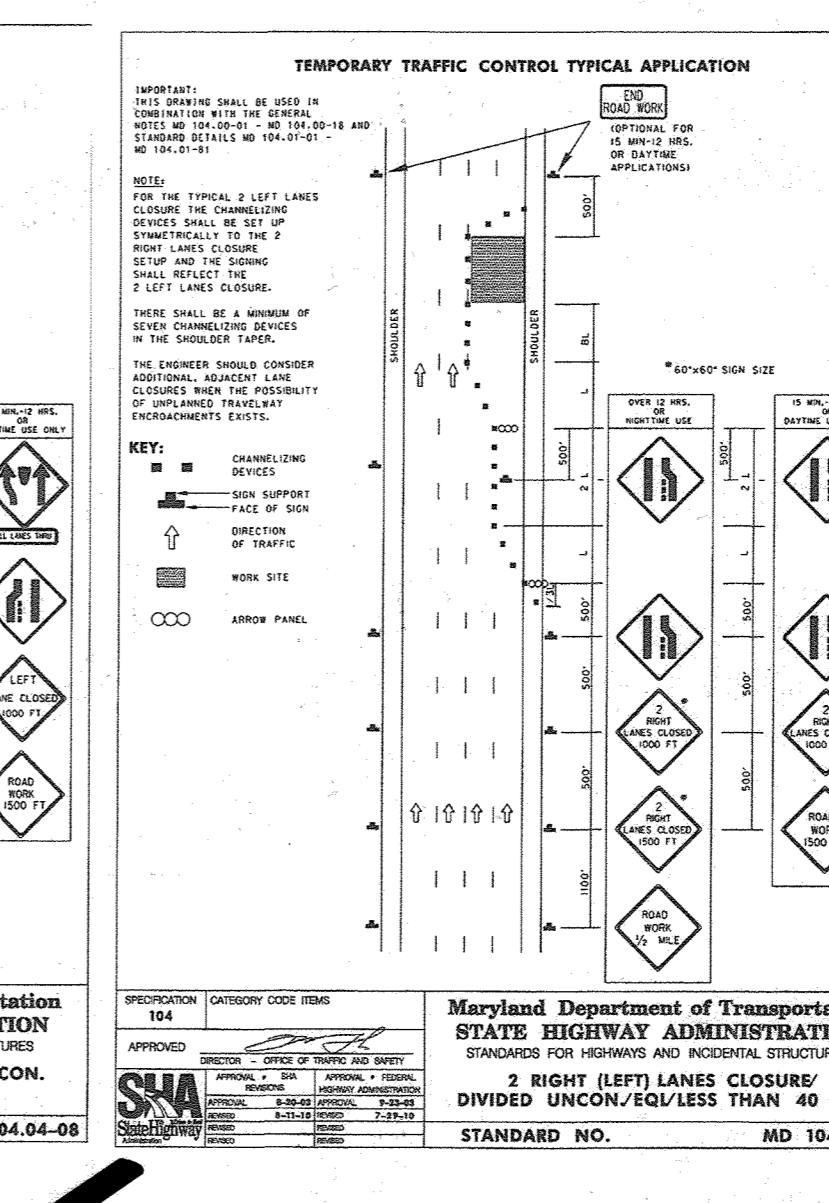
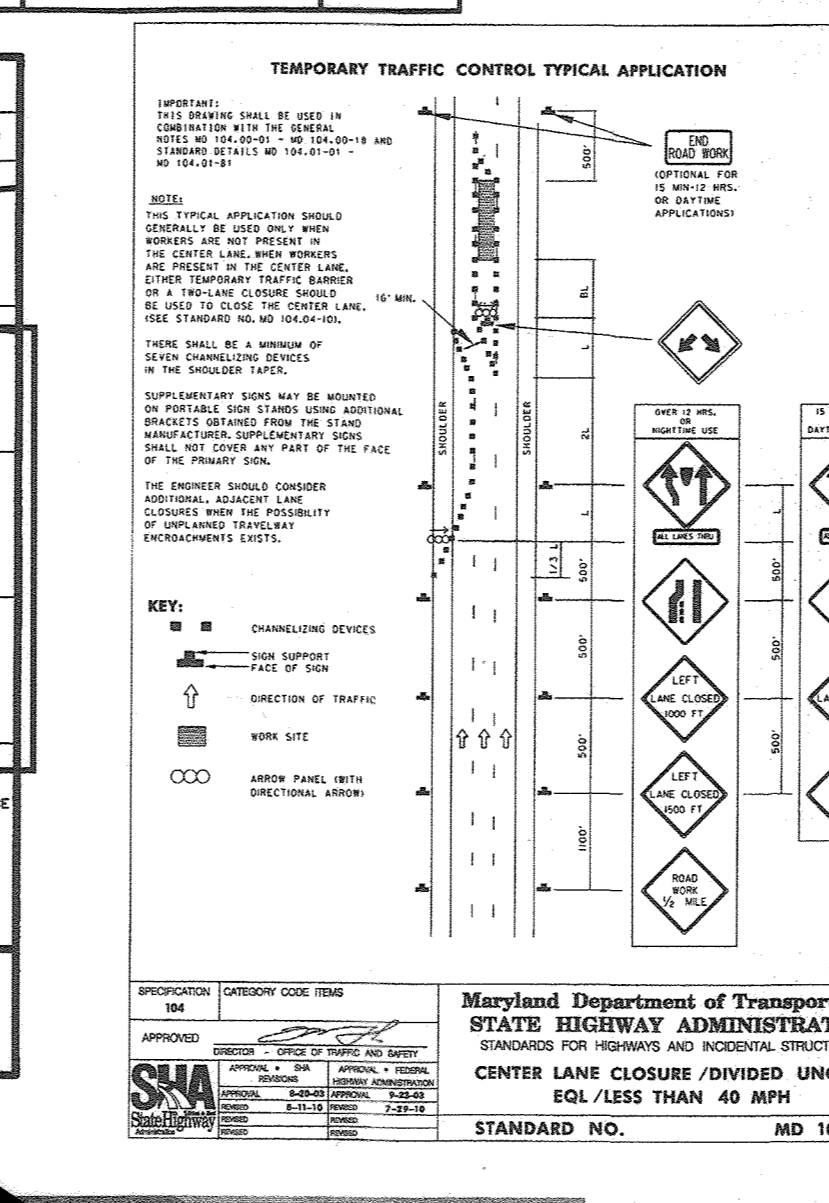
DESIGN BY: RHW/DZE/ES/SPS
 DRAWN BY: DZEL/MJG/CAH/ES
 CHECKED BY: RHW
 DATE: NOVEMBER 2019
 SCALE: AS SHOWN
 W.O. NO.: 07-11/40111

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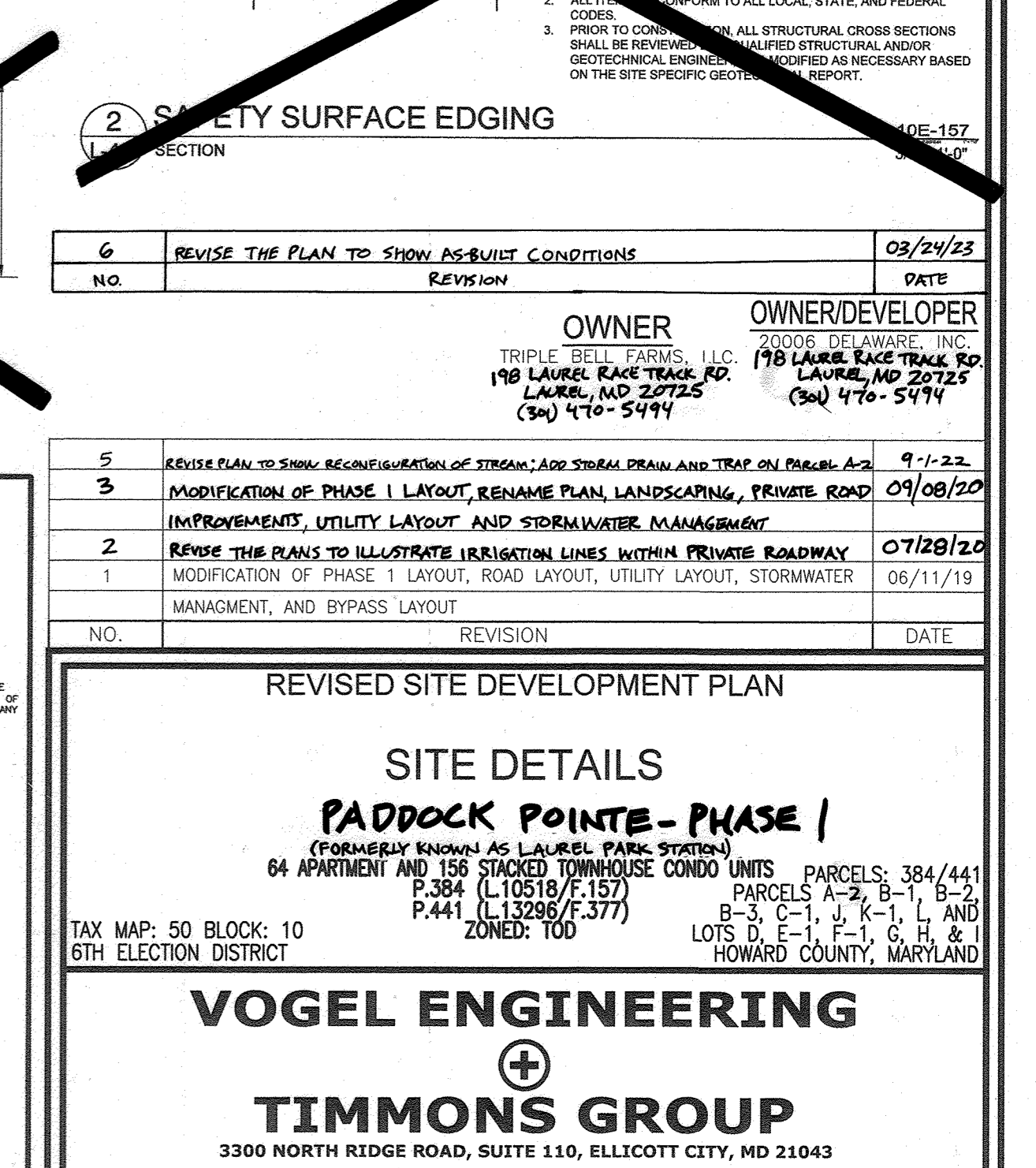
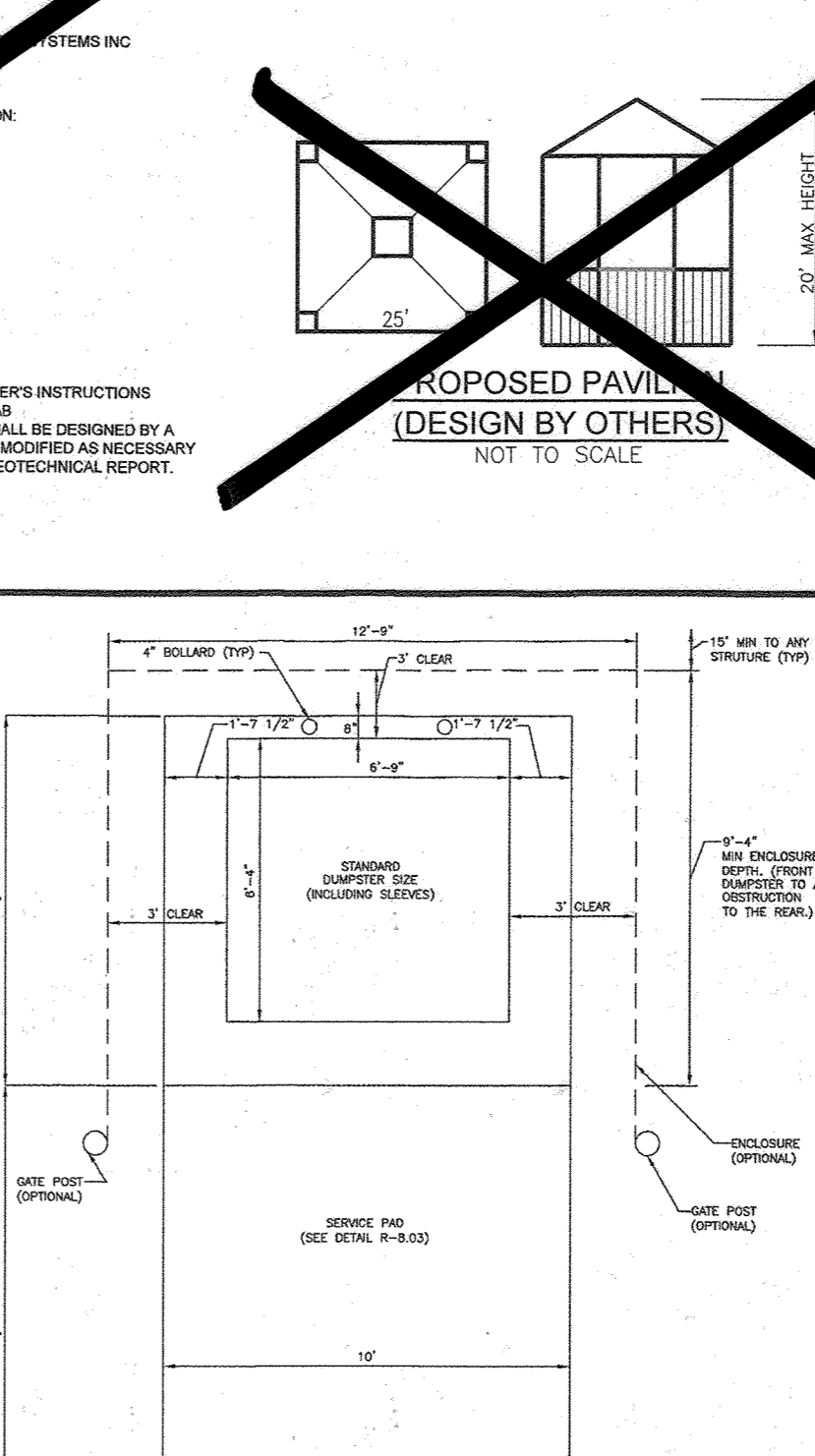
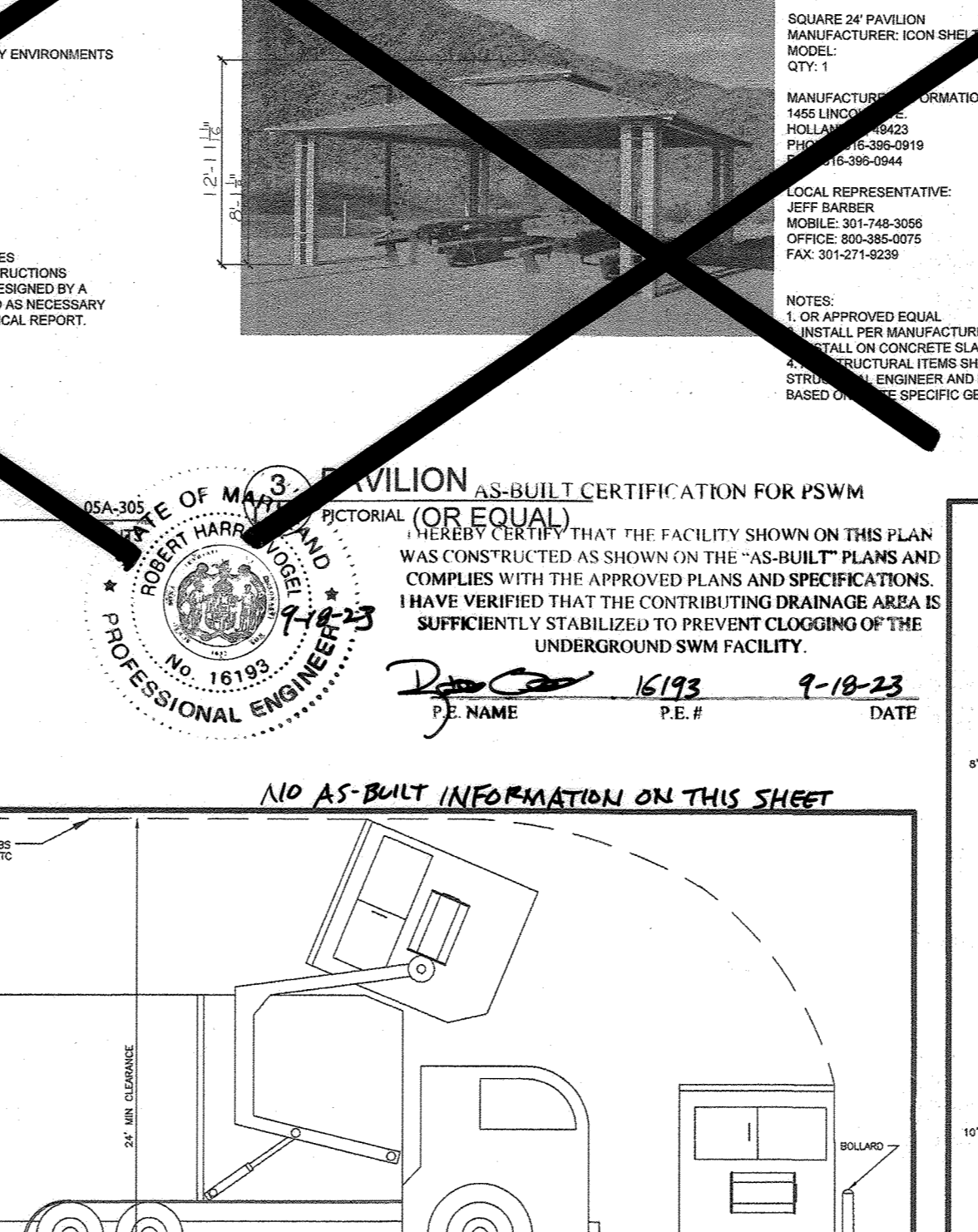
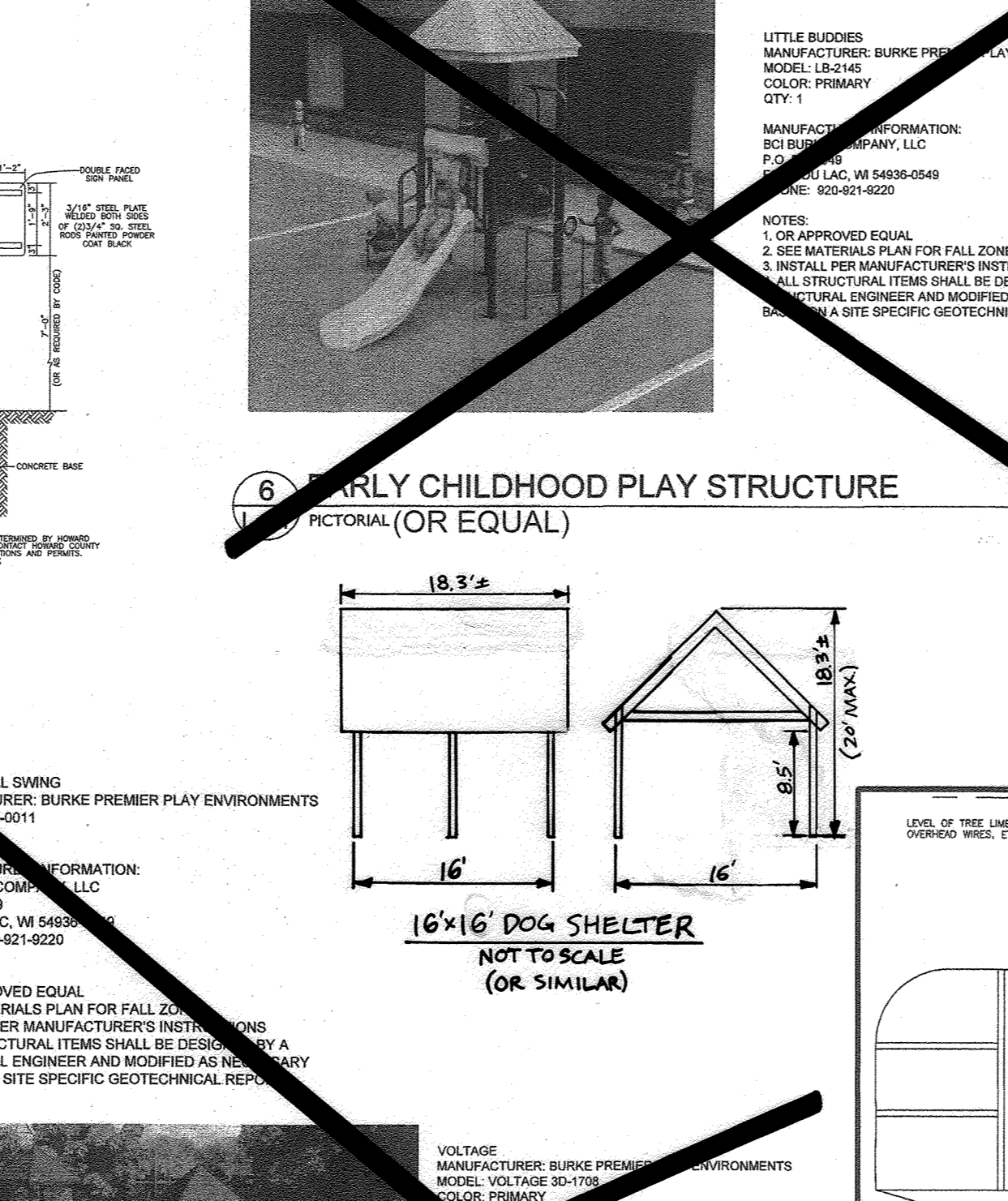
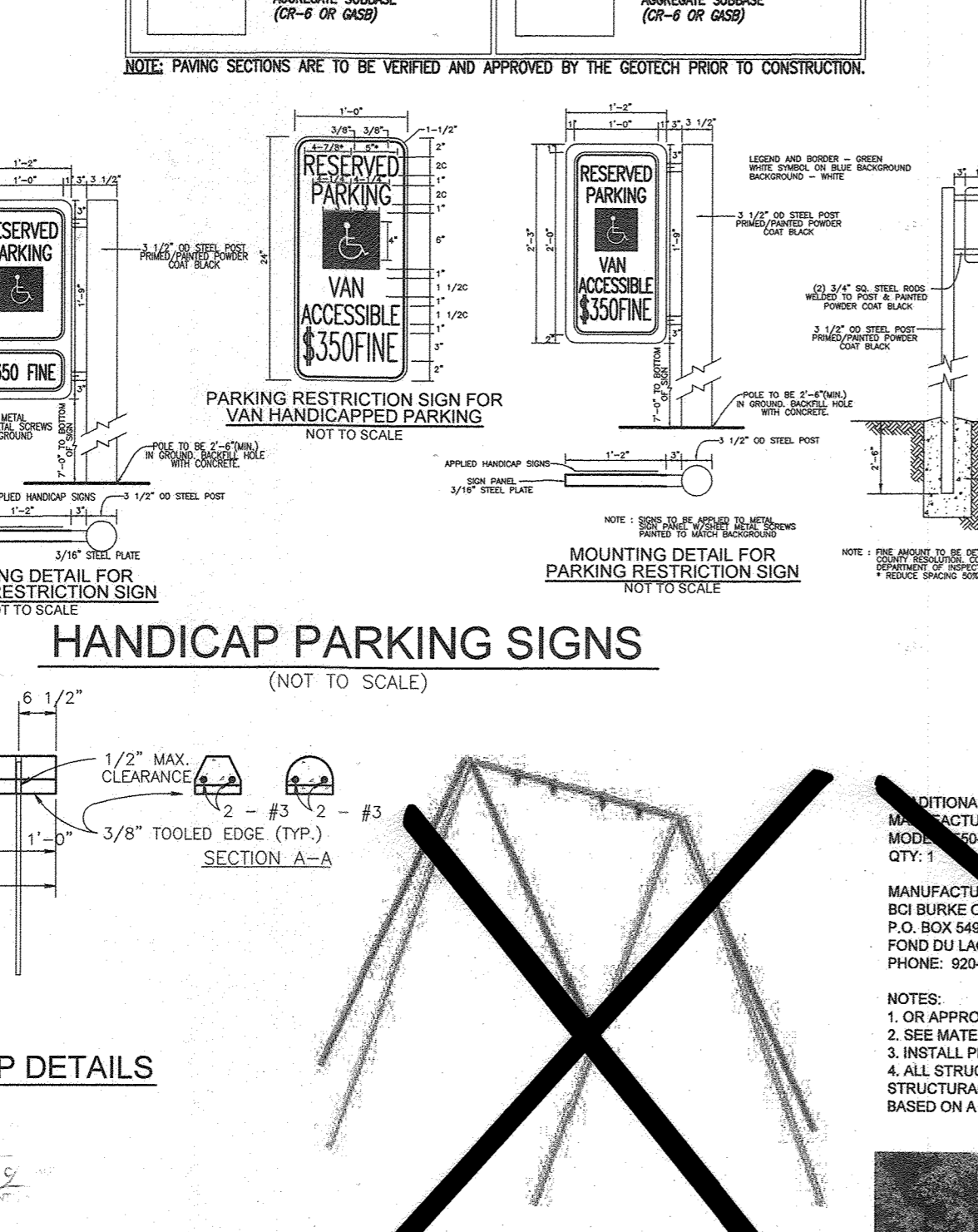
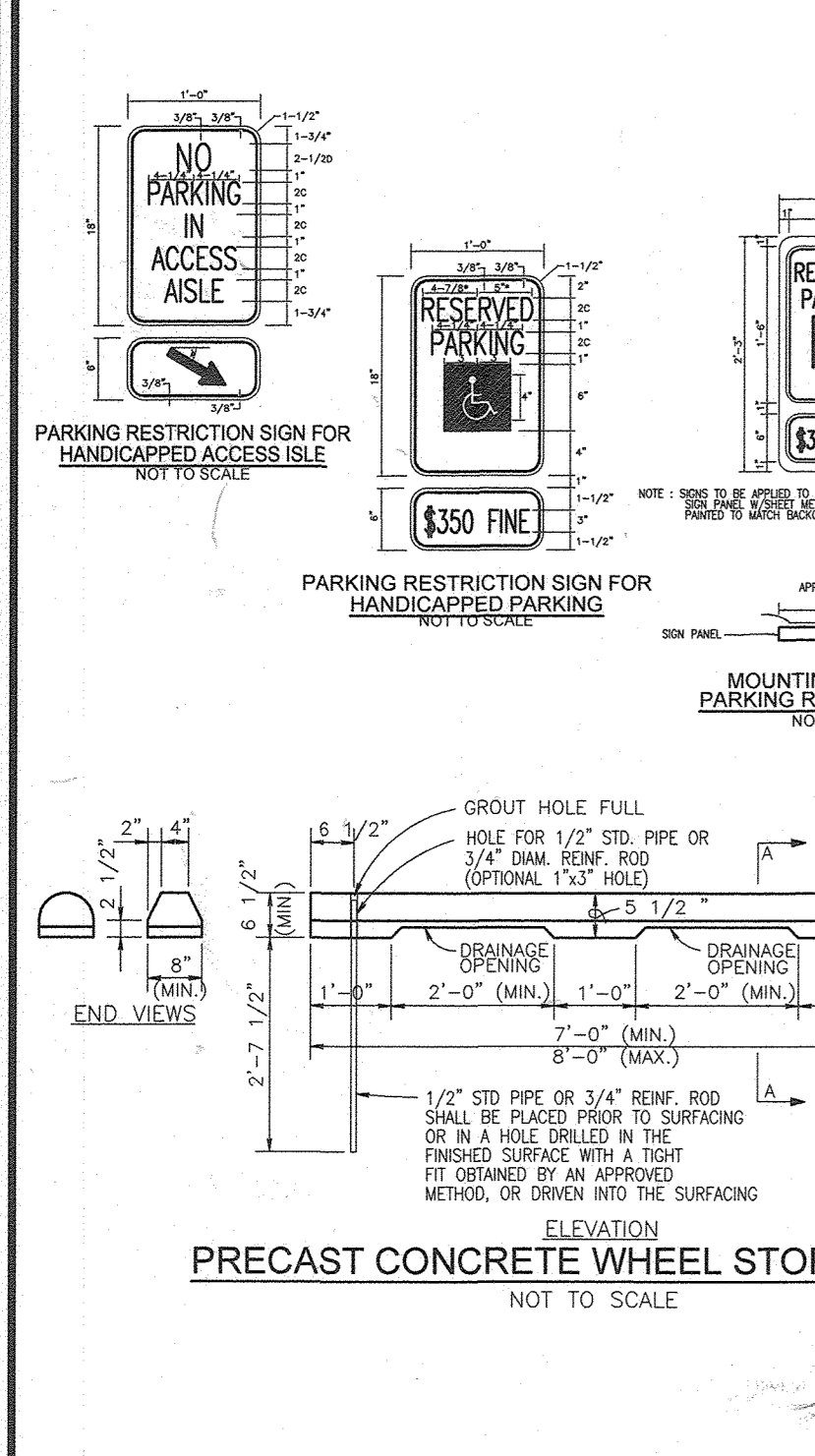
9 SHEET OF 55



SECTION	ROAD AND STREET CLASSIFICATION	CALIFORNIA BEARING RATIO (CBR)	3 TO <5	5 TO 7	7 TO 9	9 TO 12	12 TO 15	15 TO 20	20 TO 25	25 TO 30	30 TO 35	35 TO 40	40 TO 45	45 TO 50
P-1	PARKING LANE, RESIDENTIAL AND NON-RESIDENTIAL WITH NO MORE THAN 2 HEAVY TRUCKS PER DAY	HMA SUPERFINE FINISH SURFACE	1.5	1.5	1.5	1.5	1.5	1.5	1.5	1.5	1.5	1.5	1.5	1.5
		HMA SUPERFINE INTERMEDIATE SURFACE (MA)	2.0	2.0	2.0	2.0	2.0	2.0	2.0	2.0	2.0	2.0	2.0	2.0
P-2	LOCAL ROAD, ACCESS STREET, CUL-DE-SAC	HMA SUPERFINE FINISH SURFACE	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0
		HMA SUPERFINE INTERMEDIATE SURFACE (MA)	1.5	1.5	1.5	1.5	1.5	1.5	1.5	1.5	1.5	1.5	1.5	1.5
P-3	LOCAL ROAD, ACCESS STREET, CUL-DE-SAC	HMA SUPERFINE FINISH SURFACE	1.5	1.5	1.5	1.5	1.5	1.5	1.5	1.5	1.5	1.5	1.5	1.5
		HMA SUPERFINE INTERMEDIATE SURFACE (MA)	2.0	2.0	2.0	2.0	2.0	2.0	2.0	2.0	2.0	2.0	2.0	2.0
P-4	MINOR COLLECTORS, NON-RESIDENTIAL, MAJOR COLLECTORS	HMA SUPERFINE FINISH SURFACE	2.0	2.0	2.0	2.0	2.0	2.0	2.0	2.0	2.0	2.0	2.0	2.0
		HMA SUPERFINE INTERMEDIATE SURFACE (MA)	3.0	3.0	3.0	3.0	3.0	3.0	3.0	3.0	3.0	3.0	3.0	3.0



CONCRETE PAVING SECTIONS	
DUMPSTER PAD	DRIVEWAYS/GARAGE APRON
MIN. 6" 4000 PSI PORTLAND CEMENT CONCRETE (MIN. 28 DAY COMPRESSIVE STRENGTH OF 4000 PSI)	MIN. 4" 4000 PSI PORTLAND CEMENT CONCRETE (MIN. 28 DAY COMPRESSIVE STRENGTH OF 4000 PSI)
MIN. 4" COMPACTED DENSE-GRADED AGGREGATE SUBBASE (CR-2 OR GCS)	MIN. 4" COMPACTED DENSE-GRADED AGGREGATE SUBBASE (CR-2 OR GCS)



APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

12-3-19 DATE

12-10-19 DATE

12-12-19 DATE

CHIEF, DEVELOPMENT ENGINEERING DIVISION

CHIEF, DIVISION OF LAND DEVELOPMENT

DIRECTOR

MANUFACTURER: BURKE PREMIER PLAY ENVIRONMENTS

MODEL: VOLTAGE 301-1700

QTY: 1

MANUFACTURER: BURKE PREMIER PLAY ENVIRONMENTS

MODEL: VOLTAGE 301-1700

QTY: 1

MANUFACTURER: BURKE PREMIER PLAY ENVIRONMENTS

MODEL: VOLTAGE 301-1700

QTY: 1

MANUFACTURER: BURKE PREMIER PLAY ENVIRONMENTS

MODEL: VOLTAGE 301-1700

QTY: 1

NO.	REVISION	DATE
6	REVISE THE PLAN TO SHOW AS-BUILT CONDITIONS	03/24/23
5	REVISE PLAN TO SHOW RECONFIGURATION OF STREAM, ADD STORM DRAIN AND TRAP ON PARCEL A-2	9-1-22
3	MODIFICATION OF PHASE 1 LAYOUT, RENAME PLAN, LANDSCAPING, PRIVATE ROAD	09/08/20
2	REVISE THE PLANS TO ILLUSTRATE IRRIGATION LINES WITHIN PRIVATE ROADWAY	07/29/20
1	MODIFICATION OF PHASE 1 LAYOUT, ROAD LAYOUT, UTILITY LAYOUT, STORMWATER MANAGEMENT, AND BYPASS LAYOUT	06/11/19

REVISED SITE DEVELOPMENT PLAN

SITE DETAILS

Paddock Pointe - Phase I

(FORMERLY KNOWN AS LAUREL PARK STATION)

64 APARTMENT AND 156 STACKED TOWNHOUSE CONDO UNITS

PARCELS: 384/441

P.384 (L10518/F.157) PARCELS A-2, B-1, B-2

P.441 (L10518/F.377) PARCELS C-1, D, K-1, L, AND

ZONED: TOD

TAX MAP: 50 BLOCK: 10

6TH ELECTION DISTRICT

VOGEL ENGINEERING

TIMMONS GROUP

3300 NORTH RIDGE ROAD, SUITE 110, ELLICOTT CITY, MD 21043

P: 410.461.7666 F: 410.461.8961 www.timmons.com

PROFESSIONAL CERTIFICATE

DESIGN BY: RHW/DES/APS

DRAWN BY: DTE/MG/CAN/HS

CHECKED BY: RHW

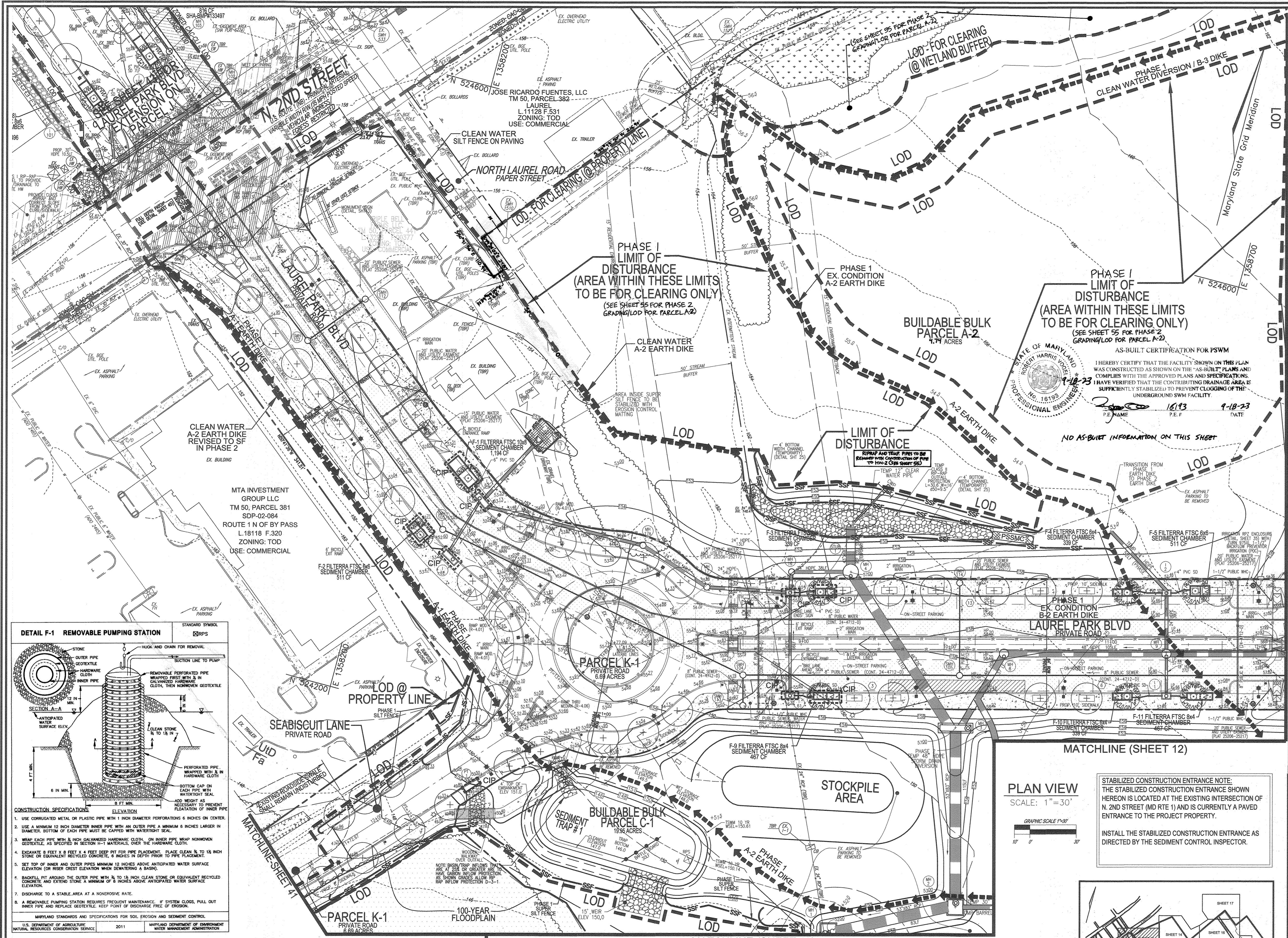
DATE: NOVEMBER 2019

SCALE: AS SHOWN

W.O. NO.: 07-11/40111

10 SHEET OF 55

AS-BUILT JULY 2023



LEGEND:

EXISTING CONTOUR	PROPOSED CONTOUR	PROPOSED SPOT ELEVATION	EXISTING SPOT ELEVATION	EXISTING CURB AND GUTTER	PROPOSED CURB AND GUTTER	EXISTING UTILITY POLE	PROPOSED UTILITY POLE	EXISTING LIGHT POLE	PROPOSED LIGHT POLE	EXISTING MAILBOX	PROPOSED MAILBOX	EXISTING SIGN	PROPOSED SIGN	EXISTING SANITARY MANHOLE	PROPOSED SANITARY MANHOLE	EXISTING CLEANOUT	PROPOSED CLEANOUT	EXISTING FIRE HYDRANT	PROPOSED FIRE HYDRANT	EXISTING WATER LINE	PROPOSED WATER LINE	EXISTING STORM DRAIN	PROPOSED STORM DRAIN	PROPOSED STORM DRAIN INLET	EXISTING TREE LINE	PROPOSED TREE LINE	EXISTING FENCE	PROPOSED FENCE	PROPERTY LINE	RIGHT-OF-WAY LINE	SOILS BOUNDARY	EXISTING STREAM	PROPOSED STREAM	EXISTING STREAM BUFFER	PROPOSED STREAM BUFFER	EX. WETLAND BUFFER	PROPOSED WETLAND BUFFER	EX. LIMIT OF WETLAND	PROPOSED LIMIT OF WETLAND	PROPOSED STREET LIGHT	PROPOSED SIDEWALK	PROPOSED STREET SIGN	DEAD END BARRICADE	IRRIGATION LINE	STREET TREES	EROSION CONTROL MATTING (1:500/11")	CLEAR WATER PIPE THROUGH SUPER SILT FENCE	PROPOSED STORM DRAIN	PROPOSED UTILITY	PROPOSED SIDEWALK	PROPOSED STREET SIGN	DEAD END BARRICADE	IRRIGATION LINE	STREET TREES	EROSION CONTROL MATTING (1:500/11")	CLEAR WATER PIPE THROUGH SUPER SILT FENCE	PROPOSED STORM DRAIN	PROPOSED UTILITY	PROPOSED SIDEWALK	PROPOSED STREET SIGN	DEAD END BARRICADE	IRRIGATION LINE	STREET TREES	EROSION CONTROL MATTING (1:500/11")	CLEAR WATER PIPE THROUGH SUPER SILT FENCE
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NOTES:

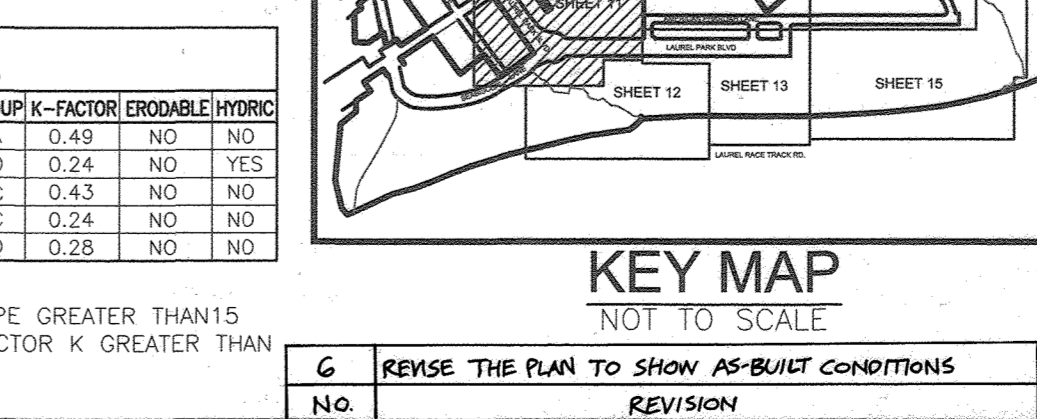
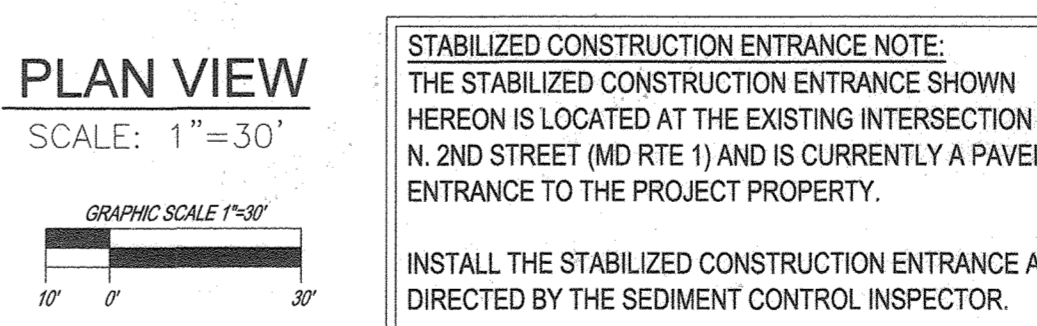
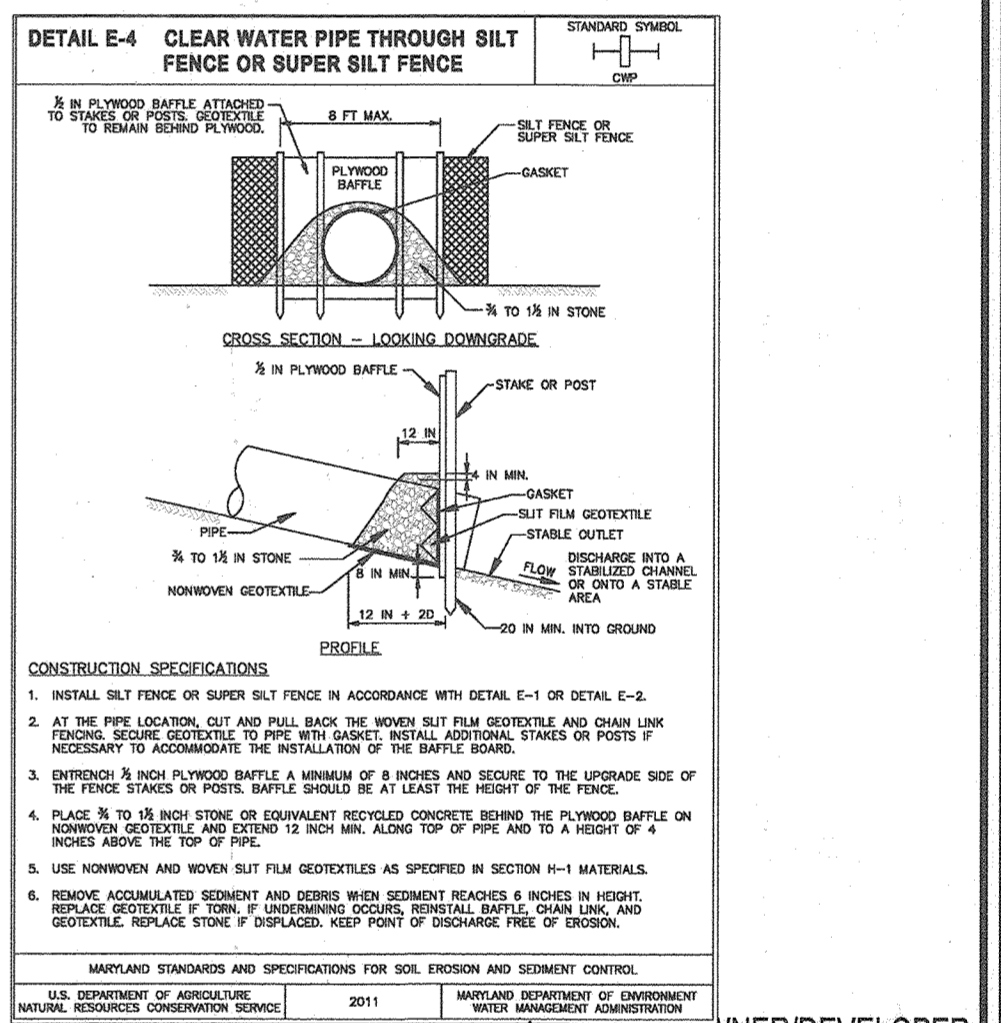
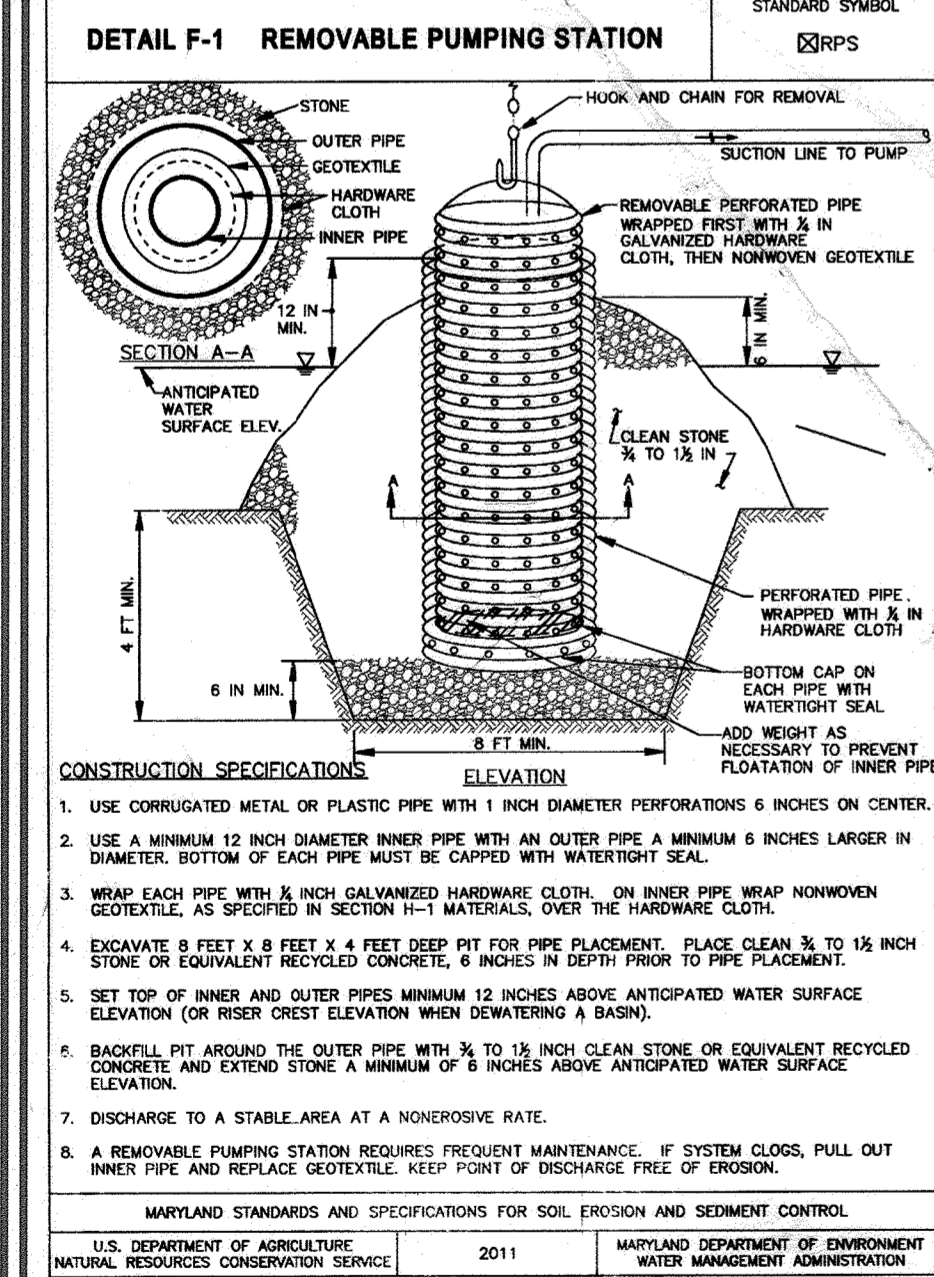
1. MANHOLE COVERS NOT TO BE LOCATED IN CURB OR GUTTER PAN.
2. SILT FENCE IS TO BE REPLACED WITH SUPER SILT FENCE AT THE DIRECTION OF THE SEDIMENT CONTROL INSPECTOR.
3. SILT FENCE RUNNING DOWNHILL SHALL BE CURLED UPHILL NO MORE THAN 25 FEET APART.
4. DOUBLE ROWS OF SUPER SILT FENCE SHALL BE INSTALLED AT THE DIRECTION OF THE SEDIMENT CONTROL INSPECTOR.
5. SEDIMENT CONTROLS INTERRUPTED BY INSTALLATION OF UTILITY LINES ARE TO BE REPAIRED IMMEDIATELY.
6. LOCATE STOCKPILE AS SHOWN HEREON OR AS DIRECTED BY THE SEDIMENT CONTROL INSPECTOR. STOCKPILES EXCEEDING 15 FEET IN HEIGHT SHALL BE BENCHED. SEE STABILIZATION SPEC. SHEET 18.
7. EARTH BERMS ARE TO BE CONVERTED TO MACADAM BERMS AS NEEDED OR DIRECTED BY THE CID INSPECTOR.

AS-BUILT CERTIFICATION FOR PSWM

I HEREBY CERTIFY THAT THE FACILITY SHOWN ON THIS PLAN WAS CONSTRUCTED AS SHOWN ON THE "AS-BUILT" PLANS AND COMPLIES WITH THE APPROVED PLANS AND SPECIFICATIONS. I HAVE VERIFIED THAT THE CONTRIBUTING DRAINAGE AREA IS SUFFICIENTLY STABILIZED TO PREVENT CLOGGING OF THE UNDERGROUND SWM FACILITY.

1-18-23
 STATE OF MARYLAND
 ROBERT H. VOSEL, P.E.
 PROFESSIONAL ENGINEER
 No. 16193

16193
 P.E. NAME
 9-18-23
 DATE



SOILS LEGEND

HOWARD COUNTY SOILS MAP #28

SYMBOL	NAME / DESCRIPTION	GROUP	K-FACTOR	ERODIBILITY	HYDRO
ES	EVESBORO LOAMY SAND, 2 TO 10 PERCENT SLOPES	A	0.49	NO	NO
Fo	FALLSINGTON SANDY LOAM, 0 TO 2 PERCENT SLOPES	D	0.24	NO	YES
RUB	RUSSETT AND BELTSVILLE SOILS, 2 TO 5 PERCENT SLOPES	C	0.43	NO	NO
UBS	UBERTHURTS LOAMY, 0 TO 5 PERCENT SLOPES	C	0.24	NO	NO
LD	LEESDALE LOAM, 0 TO 15 PERCENT SLOPES	D	0.28	NO	NO

SOILS NOTE:
 HIGHLY ERODIBLE SOILS ARE THOSE SOILS WITH A SLOPE GREATER THAN 15 PERCENT OR THOSE SOILS WITH A SOIL ERODIBILITY FACTOR K GREATER THAN 0.35 AND WITH A SLOPE GREATER THAN 5 PERCENT.

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

DATE: 6/10/22

DATE: 6/10/22

DATE: 6/14/22

OWNER/DEVELOPER CERTIFICATION:
 I/WE CERTIFY THAT ANY CLEARING, GRADING, CONSTRUCTION, OR DEVELOPMENT WILL BE DONE PURSUANT TO THIS APPROVED EROSION AND SEDIMENT CONTROL PLAN, INCLUDING INSPECTING AND MAINTAINING CONTROLS, AND THAT ALL RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A MARYLAND DEPARTMENT OF THE ENVIRONMENT (MDE) APPROVED TRAINING PROGRAM FOR THE CONTROL ON EROSION AND SEDIMENT PRIOR TO BEGINNING THE PROJECT. I CERTIFY RIGHT-OF-ENTRY FOR PERIODIC ON-SITE EVALUATION BY HOWARD COUNTY, THE HOWARD SOIL CONSERVATION DISTRICT, AND/OR MARYLAND.

DATE: 10/21/20

DATE: 10/21/20

DESIGN CERTIFICATION:
 I HEREBY CERTIFY THAT THIS PLAN HAS BEEN DESIGNED IN ACCORDANCE WITH CURRENT MARYLAND EROSION AND SEDIMENT CONTROL LAWS, REGULATIONS, AND STANDARDS, THAT IT REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE, AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

DATE: 05/23/22

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

DATE: 05/23/22

NO.	REVISION	DATE
5	REVISE PLAN TO SHOW RECONSTRUCTION OF STREAM; ADD STREAM DRAIN AND TRAP ON PARCEL A-2	9-1-22
3	MODIFICATION OF PHASE 1 LAYOUT, RENAME PLAN, LANDSCAPING, PRIVATE ROAD IMPROVEMENTS, UTILITY LAYOUT AND STORMWATER MANAGEMENT.	09/08/20
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1	MODIFICATION OF PHASE 1 LAYOUT, ROAD LAYOUT, UTILITY LAYOUT, STORMWATER MANAGEMENT, AND BYPASS LAYOUT	06/11/19

REVISED SITE DEVELOPMENT PLAN

GRADING AND SOIL EROSION AND SEDIMENT CONTROL PLAN

PADDOCK POINTE - PHASE 1

FORMERLY KNOWN AS LAUREL PARK STATION

PARCELS: 384/441
 64 PARCELS AND 180 STACKED CONDO UNITS
 PARCELS A-2, B-1, B-2, B-3, C-1, J, K-1, L, AND P.441 (L13286/F.377)
 ZONED: TOD

TAX MAP: 50 BLOCK: 10
 6TH ELECTION DISTRICT

LOT 5, LOTS 6, 7, 8, 9, 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100

OWNER/DEVELOPER: 20006 DELAWARE, INC.
 TRIPLE TREE TRAKS, LLC
 198 LAUREL RACE TRACK RD.
 LAUREL, MD 20725
 (410) 470-5494

OWNER/DEVELOPER: 20006 DELAWARE, INC.
 TRIPLE TREE TRAKS, LLC
 198 LAUREL RACE TRACK RD.
 LAUREL, MD 20725
 (410) 470-5494

VOGEL ENGINEERING

TIMMONS GROUP

3300 NORTH RIDGE ROAD, SUITE 110, ELLICOTT CITY, MD 21043
 P: 410.461.7666 F: 410.461.8961 www.timmons.com

PROFESSIONAL CERTIFICATE

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.

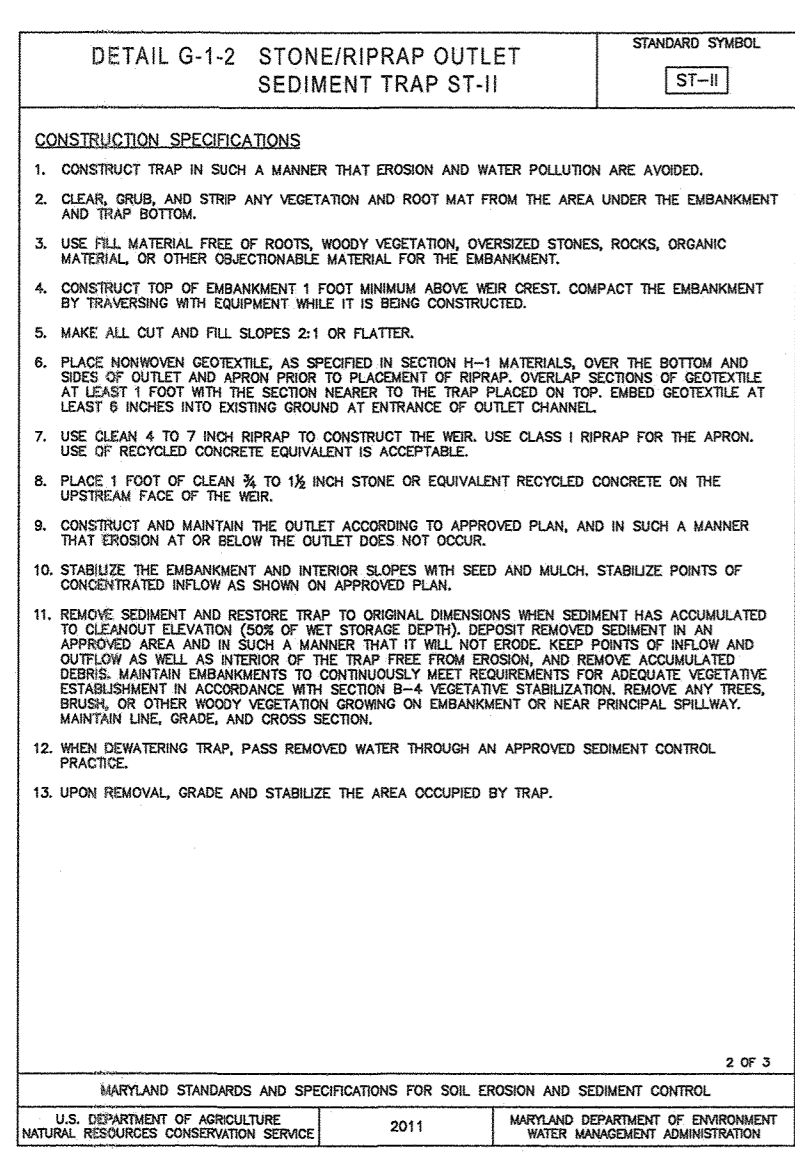
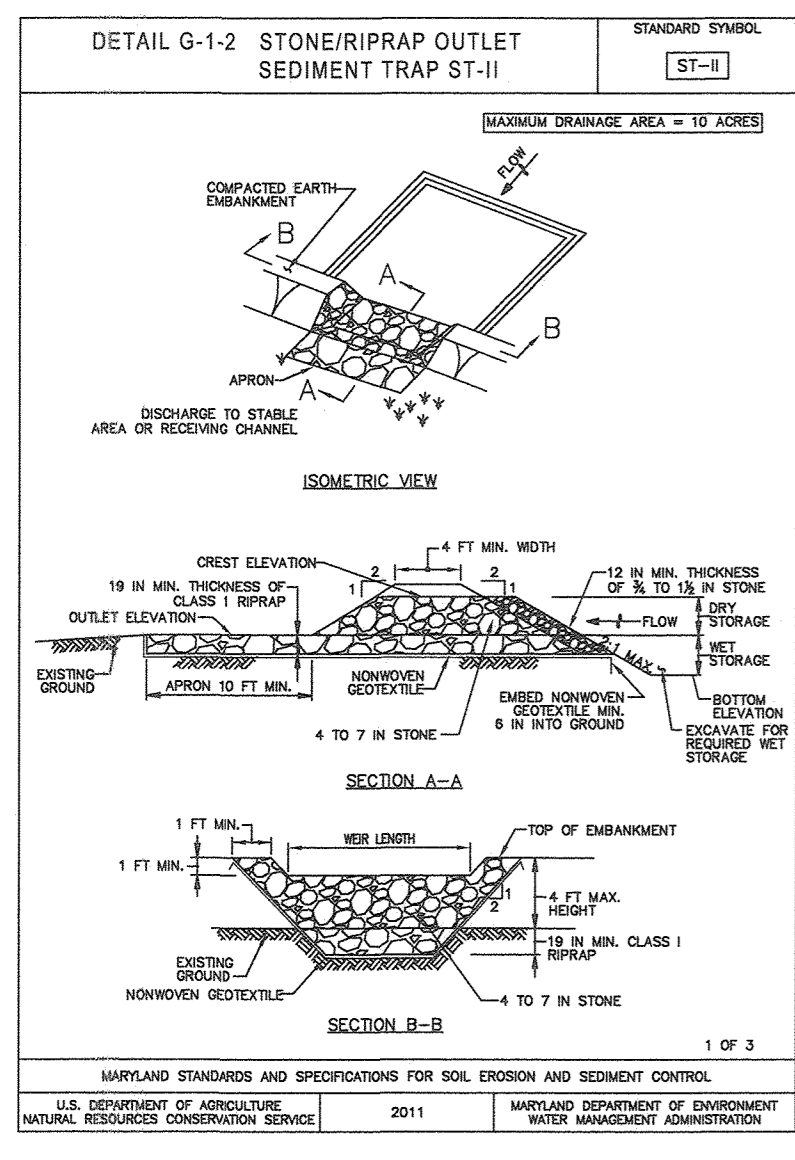
DATE: 07-11-2022

EXPIRATION DATE: 07-27-2022

DATE: 09/24/23

DATE: 09/24/23

DATE: 09/24/23



STONE/RIPRAP OUTLET SEDIMENT TRAP ST-II, TRAP NO. 1	
DRAINAGE AREA - TOTAL	2.5 ACRES
DRAINAGE AREA - INTERIM	2.5 ACRES
DRAINAGE AREA - FINAL	3.6 ACRES
TOTAL STORAGE REQUIRED	12,980 CF
TOTAL STORAGE PROVIDED	16,218 CF
WET STORAGE REQUIRED	6,480 CF
WET STORAGE PROVIDED	7,057 CF
DRY STORAGE REQUIRED	6,480 CF
DRY STORAGE PROVIDED	8,161 CF
EXISTING GROUND ELEVATION AT OUTLET (WET STORAGE ELEVATION)	148.0 FT
TRAP BOTTOM ELEVATION	146.0 FT
TRAP BOTTOM DIMENSIONS APPROX. 33 X 97	SEE PLAN
WEIR LENGTH	3.8 X 4
WEIR CREST (DRY STORAGE) ELEVATION	150.0 FT
CLEANOUT ELEVATION	147.0 FT
TOP OF EMBANKMENT ELEVATION	151.0 FT
SIDE SLOPE	2:1 H:V RATIO
EMBANKMENT TOP WIDTH	4 FT
OUTLET PROTECTION - LENGTH	10' FT
OUTLET PROTECTION - WIDTH	10' FT
BAFFLE DESIGN - SEE SHEET 19	

BASIN #1

FACILITY TYPE: TEMPORARY BASIN

EX. DRAINAGE AREA: 20.00 AC.

PROP. DRAINAGE AREA: 20.00 AC.

TOTAL WET STORAGE REQD: 36,000 CF

TOTAL DRY STORAGE REQD: 36,000 CF

TOTAL STORAGE REQUIRED: 72,000 CF

TOTAL WET STORAGE PRVD: 37,593 CF

TOTAL DRY STORAGE PRVD: 39,273 CF

TOTAL STORAGE PROVIDED: 76,756 CF

BOTTOM ELEV.: 144.00

RISER CREST ELEVATION: 148.00

PROVIDE 4 (12") NOTCHES IN RISER SPACED EQUAL DISTANCE APART @ ELEV 147.30

WET STORAGE ELEVATION: 144.00-145.70

DRY STORAGE ELEVATION: 145.70-147.30

TOTAL STORAGE DEPTH: 3.3' (144.00-147.30)

TOP OF EMBANKMENT: 152.0 (SETTLED)

CLEANOUT ELEVATION: 144.85

SIDE SLOPES: 2:1 INSIDE, 3:1 OUTSIDE

EMERGENCY SPILLWAY: N/A

STORM DRAIN OUTFALL

Q1 (EX.): 28 CFS

Q10 (EX.): 63 CFS

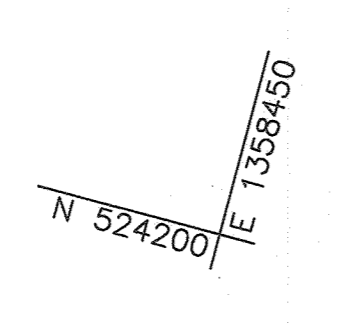
Q1 (BASIN): 22 CFS

Q10 (BASIN): 49 CFS

1 YR TSM WSEL = 148.41

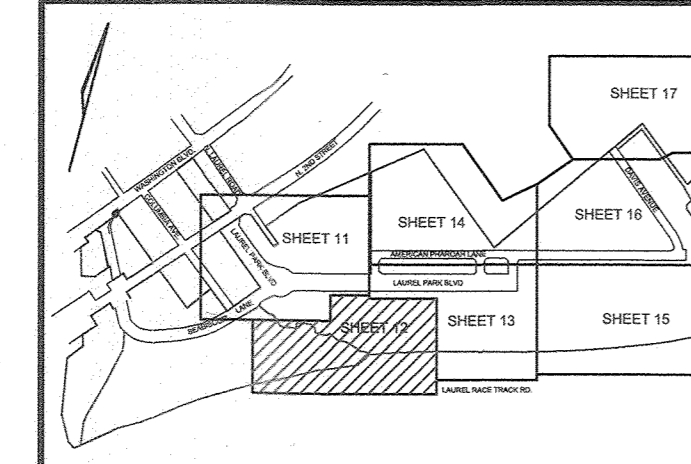
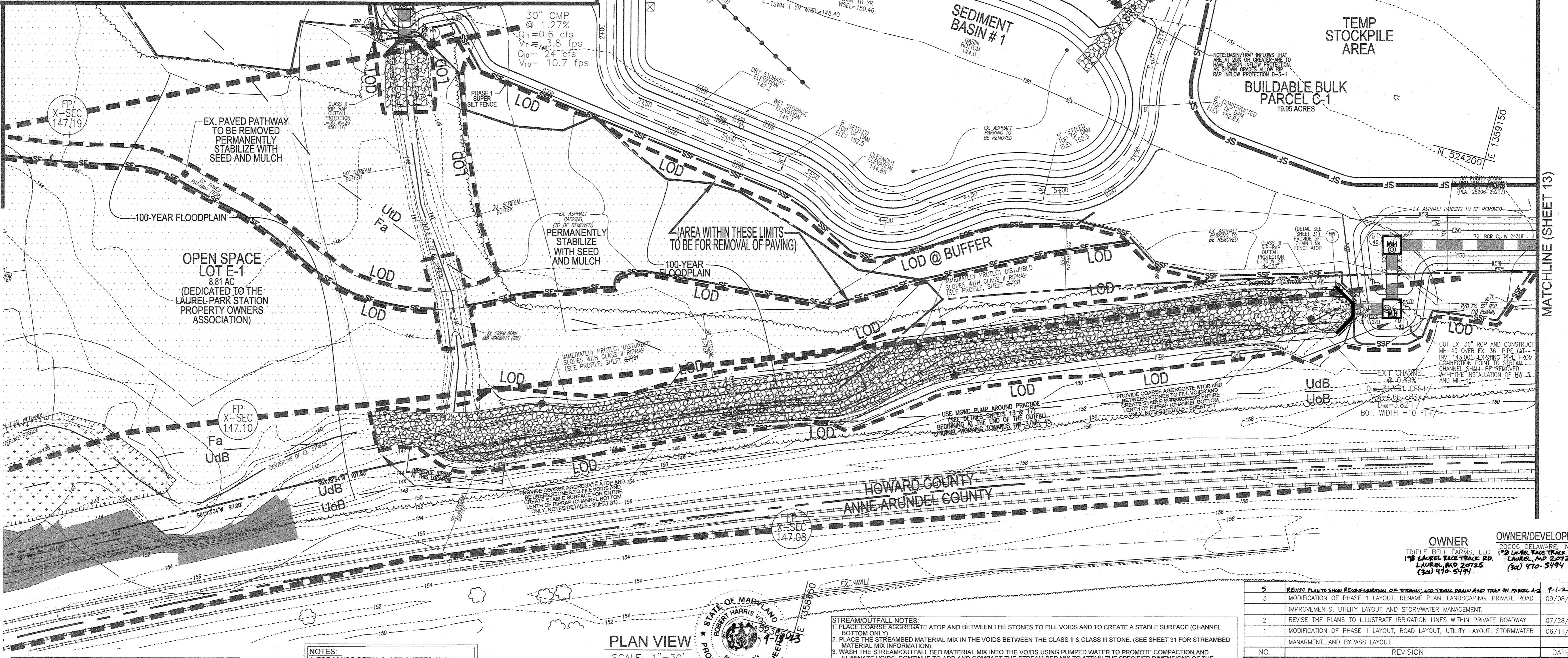
10 YR TSM WSEL = 150.33

BAFFLE DESIGN: SEE SHEET 19



NOTE

NO "SITE" GRADING OR CLEARING IS ALLOWED UNTIL THE MATERIALS NECESSARY TO CONSTRUCT THE SEDIMENT BASIN ARE ONSITE.



- NOTES:**
- FOR MWVC DETAILS, SEE SHEETS 13 AND 17.
 - SILT FENCE IS TO BE REPLACED WITH SUPER SILT FENCE AT THE DIRECTION OF THE SEDIMENT CONTROL INSPECTOR.
 - SILT FENCE RUNNING DOWNHILL SHALL BE CURLED UPHILL NO MORE THAN 35 FEET APART.
 - DOUBLE ROWS OF SUPER SILT FENCE SHALL BE INSTALLED AT THE DIRECTION OF THE SEDIMENT CONTROL INSPECTOR.
 - SEEDING CONTROLS INTERRUPTED BY INSTALLATION OF UTILITY LINES ARE TO BE REPAIRED IMMEDIATELY.
 - LOCATE STOCKPILE AS SHOWN HEREON OR AS DIRECTED BY THE SEDIMENT CONTROL INSPECTOR. STOCKPILES EXCEEDING 15 FEET IN HEIGHT SHALL BE BENCHED. SEE STABILIZATION SPECS SHEET 18.
 - EARTH BERMS ARE TO BE CONVERTED TO MACADAM BERMS AS NEEDED OR DIRECTED BY THE CID INSPECTOR.

AS-BUILT CERTIFICATION FOR PSWM

I HEREBY CERTIFY THAT THE FACILITY SHOWN ON THIS PLAN WAS CONSTRUCTED AS SHOWN ON THE "AS-BUILT" PLANS AND COMPLIES WITH THE APPROVED PLANS AND SPECIFICATIONS. I HAVE VERIFIED THAT THE CONTRIBUTING DRAINAGE AREA IS SUBSTANTIALLY STABILIZED TO PREVENT CLOGGING OF THE UNDERGROUND SWM FACILITY.

DATE: 7-18-23

SOILS LEGEND

HOWARD COUNTY SOILS MAP #28

SYMBOL	NAME / DESCRIPTION	GROUP	K-FACTOR	ERODIBLE	HYDRO
EB	EYEBROW LOAMY SAND, 2 TO 10 PERCENT SLOPES	A	0.49	NO	NO
Fo	FALLSINGTON SANDY LOAM, 0 TO 2 PERCENT SLOPES	D	0.24	NO	YES
RUB	RUSSETT AND BELTSVILLE SOILS, 2 TO 5 PERCENT SLOPES	C	0.43	NO	NO
UdB	UDORHENTS, LOAMY, 0 TO 5 PERCENT SLOPES	C	0.24	NO	NO
UD	URBAN LAND-UDORHENTS COMPLEX, 0 TO 15 PERCENT SLOPES	D	0.28	NO	NO

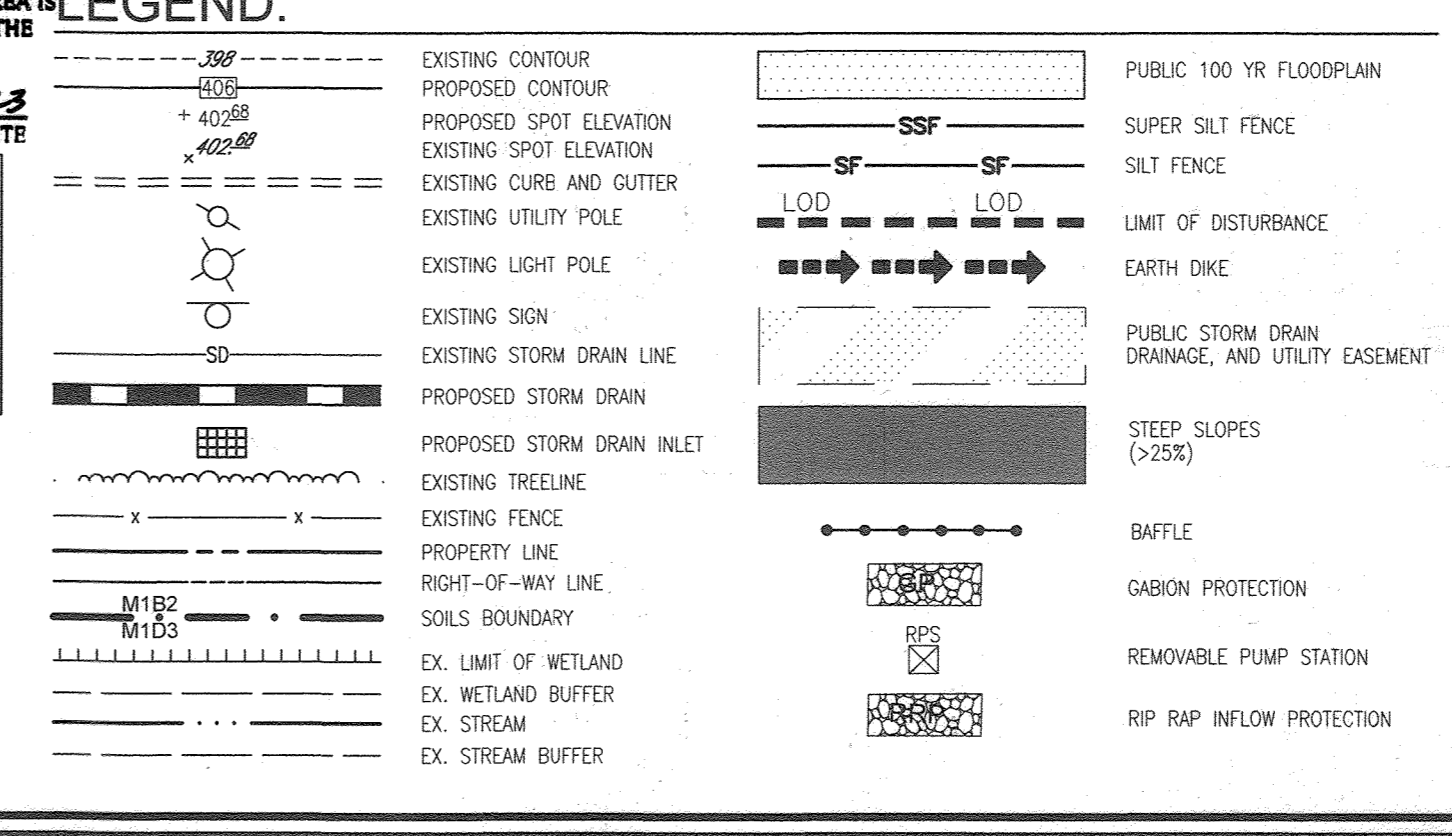
SOILS NOTE:

HIGHLY ERODIBLE SOILS ARE THOSE SOILS WITH A SLOPE GREATER THAN 15 PERCENT OR THOSE SOILS WITH A SOIL ERODIBILITY FACTOR K GREATER THAN 0.35 AND WITH A SLOPE GREATER THAN 5 PERCENT.

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

DATE: 05/23/22

- STREAMOUTFALL NOTES:**
- PLACE COARSE AGGREGATE ATOP AND BETWEEN THE STONES TO FILL VOIDS AND TO CREATE A STABLE SURFACE (CHANNEL BOTTOM ONLY).
 - PLACE THE STREAMBED MATERIAL MIX IN THE VOIDS BETWEEN THE CLASS II & CLASS III STONE. (SEE SHEET 31 FOR STREAMBED MATERIAL MIX INFORMATION).
 - WASH THE STREAMOUTFALL BED MATERIAL MIX INTO THE VOIDS USING PUMPED WATER TO PROMOTE COMPACTION AND ELIMINATE VOIDS. CONTINUE TO ADD AND COMPACT THE STREAM BED MIX TO ATTAIN THE SPECIFIED DIMENSIONS OF THE STRUCTURE. PLACE MIX EVEN WITH THE FINISHED GRADE OF STRUCTURE.
 - WHEN FINAL SHAPE OF THE STRUCTURE IS ATTAINED, PLACE A LAYER OF SAND ATOP THE STRUCTURE AND WASH THE MATERIAL INTO THE VOIDS USING STREAM OF WATER.
 - THE CONTRACTOR SHALL OBSERVE THE COMPLETED STRUCTURE WHEN STORM FLOW IS RETURNED TO THE STREAM TO ASSURE THAT BASEFLOW REMAINS ON TOP OF THE STRUCTURE AND DOES NOT GO SUBSURFACE. IF FLOWS ARE SUBSURFACE, THE CONTRACTOR SHALL RE-WORK THE STRUCTURE TO ACHIEVE THE SURFACE FLOWS.
 - THE STREAM CLOSURE PERIOD RUNS THROUGH JUNE 15, 2020. WORK CAN COMMENCE ANYTIME THEREAFTER.
 - THIS WORK SHALL BE PERFORMED IN THE "DRY". CONTRACTOR TO INSTALL A BY-PASS PUMP-AROUND OF THE BASE FLOW BY SAND-BAGGING THE OUTFALL, INSTALLING A PUMP, AND CARRYING THE BASE FLOW VIA PIPING, DISCHARGING IT JUST BELOW THE END OF THE RIP RAP. THIS WATER SHALL ALSO BE USED AS WATER TO USED TO WASH THE RIVER SUBSTRATE MIX INTO THE STREAM BED. USE MWVC SAND BAGS AND PUMP AROUND PRACTICE (SEE DETAILS, SHEETS 13 & 17).



APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

DATE: 6/10/22

DATE: 6/10/22

DATE: 6/10/22

OWNER/DEVELOPER CERTIFICATION:

I HEREBY CERTIFY THAT ANY CLEARING, GRADING, CONSTRUCTION, OR DEVELOPMENT HAS BEEN DONE PURSUANT TO THIS APPROVED EROSION AND SEDIMENT CONTROL PLAN, INCLUDING INSPECTING AND MAINTAINING CONTROLS, AND THAT ALL RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A MARYLAND DEPARTMENT OF THE ENVIRONMENT (MDE) APPROVED TRAINING PROGRAM FOR THE CONTROL ON EROSION AND SEDIMENT PRIOR TO BEGINNING THE PROJECT. I CERTIFY RIGHT-OF-ENTRY FOR PERIODIC ON-SITE EVALUATION BY HOWARD COUNTY, THE HOWARD SOIL CONSERVATION DISTRICT AND/OR MDE.

DATE: 10/21/20

DATE: 10/16/22

DESIGNER CERTIFICATION:

I HEREBY CERTIFY THAT THIS PLAN HAS BEEN DESIGNED IN ACCORDANCE WITH CURRENT MARYLAND EROSION AND SEDIMENT CONTROL LAWS, REGULATIONS, AND STANDARDS, THAT REPRESENTING A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE, AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

DATE: 10/16/22

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

DATE: 05/23/22

NO.	REVISION	DATE
5	REVISE PLANS TO SHOW RECONSTRUCTION OF STREAM AND STORM DRAIN AND TRAP IN PARCEL C-1	9-1-22
3	MODIFICATION OF PHASE 1 LAYOUT, RENAME PLAN, LANDSCAPING, PRIVATE ROAD IMPROVEMENTS, UTILITY LAYOUT AND STORMWATER MANAGEMENT	09/08/20
2	REVISE THE PLANS TO ILLUSTRATE IRRIGATION LINES WITHIN PRIVATE ROADWAY	07/28/20
1	MODIFICATION OF PHASE 1 LAYOUT, ROAD LAYOUT, UTILITY LAYOUT, STORMWATER MANAGEMENT, AND BYPASS LAYOUT	06/11/19

REVISED SITE DEVELOPMENT PLAN

GRADING AND SOIL EROSION AND SEDIMENT CONTROL PLAN

Paddock Pointe - Phase 1

FORMERLY KNOWN AS LAUREL PARK STATION

PARCELS: 384/441

APARTMENT AND 150 STACKED CONDO UNITS

PARCELS A-2, B-1, B-2, B-3, C-1, J, K-1, L, N

P.384 (L10518/F.157)

P.441 (L13296/F.377)

ZONED: TOD

LOTS D, E-1, F-1, G, H, & I

HOWARD COUNTY, MARYLAND

TAX MAP: 50 BLOCK: 10

6TH ELECTION DISTRICT

VOGEL ENGINEERING

TIMMONS GROUP

3300 NORTH RIDGE ROAD, SUITE 110, ELLICOTT CITY, MD 21043

P. 410.461.7666 F. 410.461.8961 www.timmons.com

PROFESSIONAL CERTIFICATE

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NO. 19133

EXPIRATION DATE: 09-27-2023

DESIGN BY: RHN/DZE

CHECKED BY: DZE

DRAWN BY: RHN

DATE: SEPTEMBER 2020

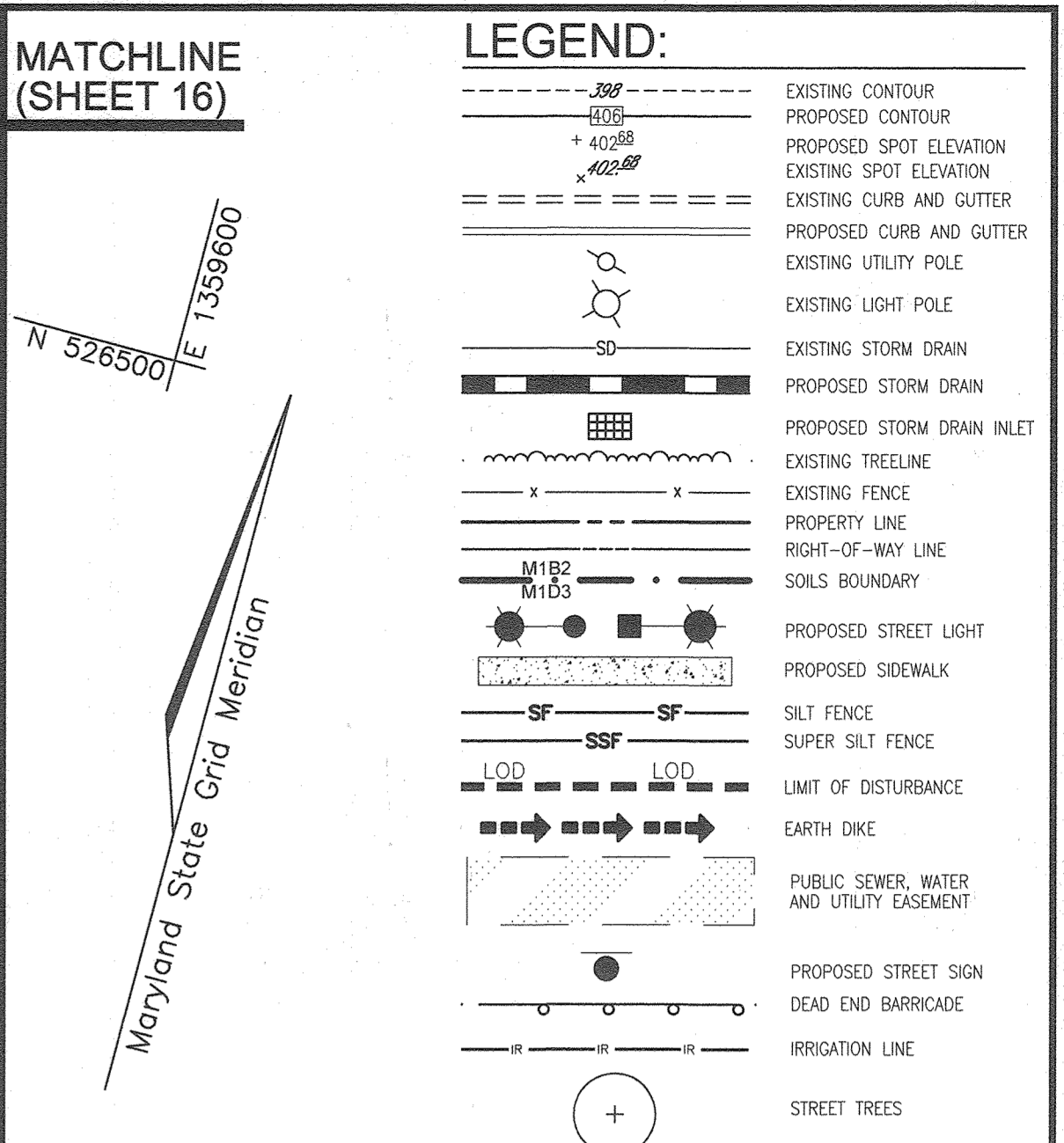
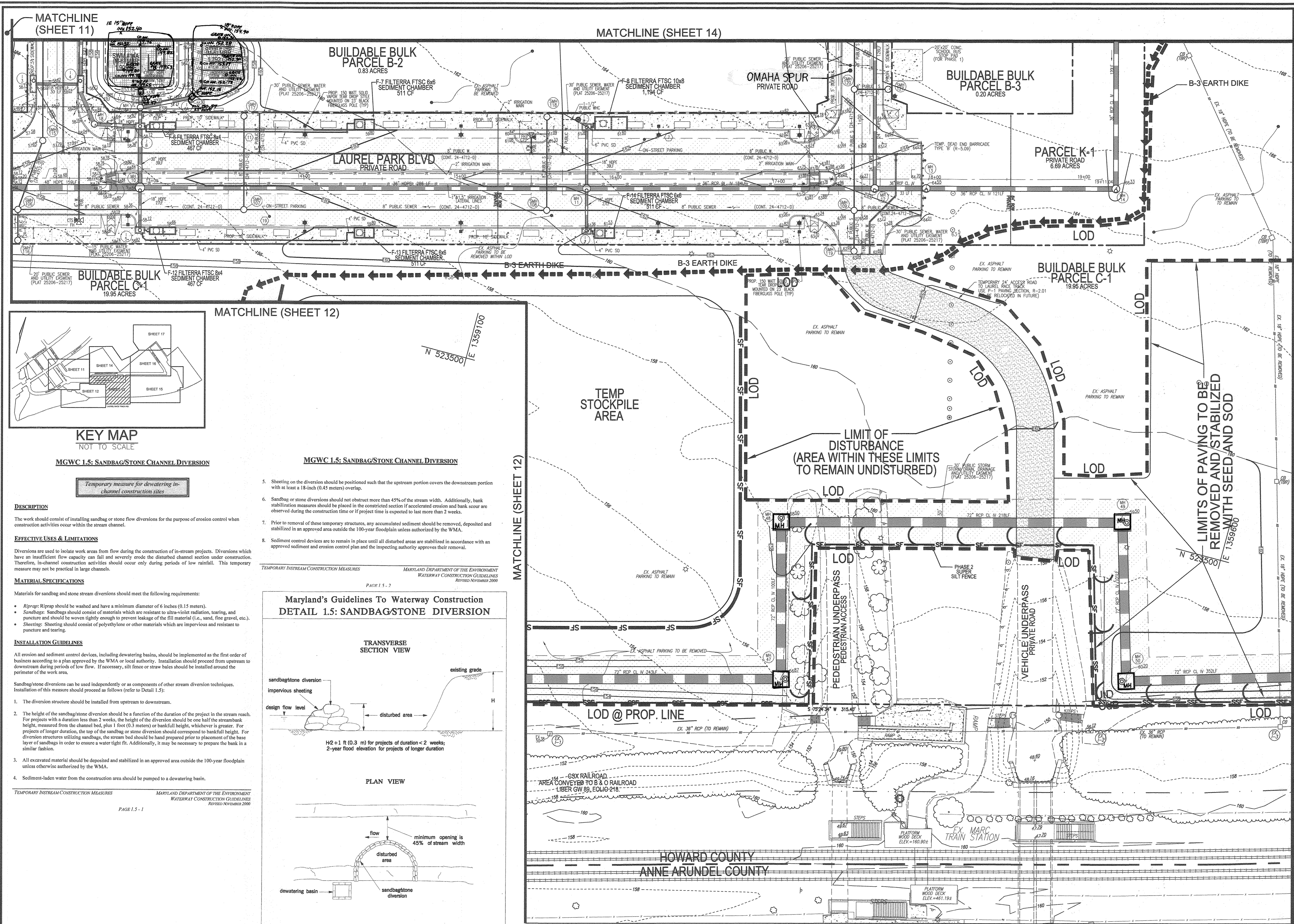
SCALE: AS SHOWN

W.O. NO.: 07-11/40111

12 SHEET OF 55

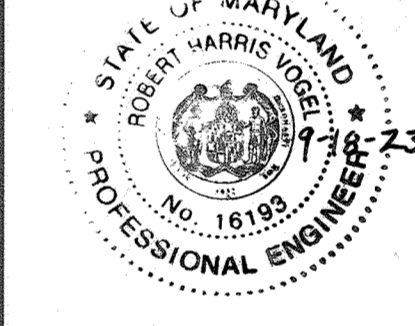
AS-BUILT JULY 2023

SDP-15-043



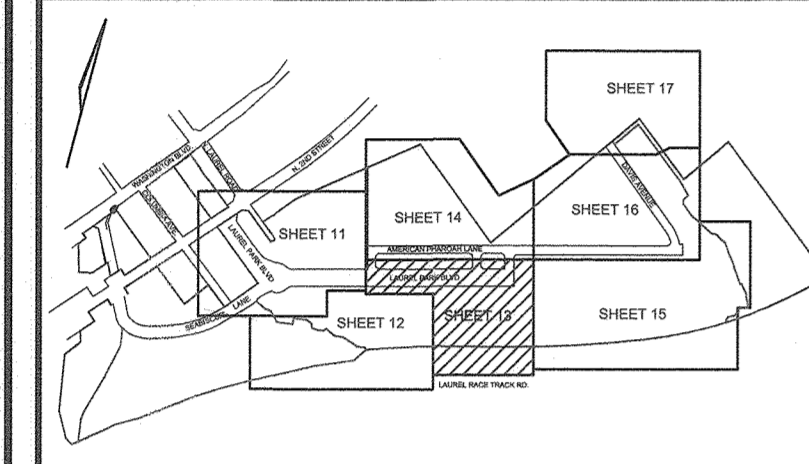
NOTES:

- MANHOLE COVERS NOT TO BE LOCATED IN CURB OR GUTTER PAN.
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AS-BUILT CERTIFICATION FOR PSWM
 I HEREBY CERTIFY THAT THE FACILITY SHOWN ON THIS PLAN WAS CONSTRUCTED AS SHOWN ON THE "AS-BUILT" PLANS AND COMPLIES WITH THE APPROVED PLANS AND SPECIFICATIONS. I HAVE VERIFIED THAT THE CONTRIBUTING DRAINAGE AREA IS SUFFICIENTLY STABILIZED TO PREVENT CLOGGING OF THE UNDERGROUND SWM FACILITY.

DATE: 9-18-23
 NAME: Robert H. Vogel
 P.E. # 16193



MGWC 1.5: SANDBAG/STONE CHANNEL DIVERSION

Temporary measure for dewatering in-channel construction sites

DESCRIPTION
 The work should consist of installing sandbag or stone flow diversions for the purpose of erosion control within the stream channel.

EFFECTIVE USES & LIMITATIONS
 Diversions are used to isolate work areas from flow during the construction of in-stream projects. Diversions which have an insufficient flow capacity can fail and severely erode the disturbed channel section under construction. Therefore, in-channel construction activities should occur only during periods of low rainfall. This temporary measure may not be practical in large channels.

MATERIAL SPECIFICATIONS
 Materials for sandbag and stone stream diversions should meet the following requirements:

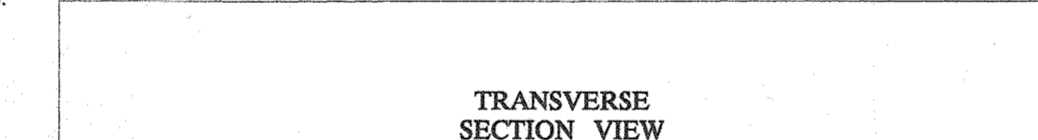
- Riprap: Riprap should be washed and have a minimum diameter of 6 inches (0.15 meters).
- Sandbags: Sandbags should consist of materials which are resistant to ultra-violet radiation, tearing, and puncture and should be woven tightly enough to prevent leakage of the fill material (i.e., sand, fine gravel, etc.).
- Sheeting: Sheeting should consist of polyethylene or other materials which are impervious and resistant to puncture and tearing.

INSTALLATION GUIDELINES
 All erosion and sediment control devices, including dewatering basins, should be implemented as the first order of business according to a plan approved by the WMA or local authority. Installation should proceed from upstream to downstream during periods of low flow. If necessary, silt fence or straw bales should be installed around the perimeter of the work area.

Sandbag/stone diversions can be used independently or as components of other stream diversion techniques. Installation of this measure should proceed as follows (refer to Detail 1.5):

- The diversion structure should be installed from upstream to downstream.
- The height of the sandbag/stone diversion should be a function of the duration of the project in the stream reach. For projects with a duration less than 2 weeks, the height of the diversion should be one half the streambank height, measured from the channel bed, plus 1 foot (0.3 meters) or bankfull height, whichever is greater. For projects of longer duration, the top of the sandbag or stone diversion should correspond to bankfull height. For diversion structures utilizing sandbags, the stream bed should be hand prepared prior to placement of the base layer of sandbags in order to ensure a water tight fit. Additionally, it may be necessary to prepare the bank in a similar fashion.
- All excavated material should be deposited and stabilized in an approved area outside the 100-year floodplain unless otherwise authorized by the WMA.
- Sediment-laden water from the construction area should be pumped to a dewatering basin.

**Maryland's Guidelines To Waterway Construction
 DETAIL 1.5: SANDBAGSTONE DIVERSION**



H2+1 ft (0.3 m) for projects of duration < 2 weeks
 2-year flood elevation for projects of longer duration

MINIMUM OPENING IS 45% OF STREAM WIDTH

DESIGNED NOVEMBER 2009
 MARYLAND DEPARTMENT OF THE ENVIRONMENT
 WATERWAY CONSTRUCTION GUIDELINES
 REVISED NOVEMBER 2009

DESIGNED NOVEMBER 2009
 MARYLAND DEPARTMENT OF THE ENVIRONMENT
 WATERWAY CONSTRUCTION GUIDELINES
 REVISED NOVEMBER 2009

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

6/10/22
 DATE
 6/10/22
 DATE
 6/16/22
 DATE

OWNER/DEVELOPER CERTIFICATION
 I/WE CERTIFY THAT ANY CLEARING, GRADING, CONSTRUCTION OR DEVELOPMENT WILL BE DONE PURSUANT TO THIS APPROVED EROSION AND SEDIMENT CONTROL PLAN, INCLUDING INSPECTING AND MAINTAINING CONTROLS, AND THAT ALL RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A MARYLAND DEPARTMENT OF THE ENVIRONMENT (MDE) APPROVED TRAINING PROGRAM FOR THE CONTROL OF EROSION AND SEDIMENT PRIOR TO BEGINNING THE PROJECT. I CERTIFY RIGHT-OF-ENTRY FOR PERIODIC SITE EVALUATION BY HOWARD COUNTY, THE HOWARD SOIL CONSERVATION DISTRICT AND THE WMA.

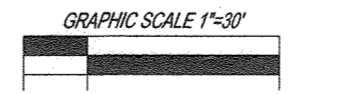
10/21/20
 DATE
 MARY G. THOMPSON
 PRINTED NAME & TITLE

DESIGN CERTIFICATION
 I HEREBY CERTIFY THAT THIS PLAN HAS BEEN DESIGNED IN ACCORDANCE WITH CURRENT MARYLAND EROSION AND SEDIMENT CONTROL LAWS, REGULATIONS, AND STANDARDS, THAT IT REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE, AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

10-6-20
 DATE
 ROBERT H. VOGEL
 PRINTED NAME
 M.D. REGISTRATION NO. 16193
 (S), R.L.S., OR P.L.A. (circle one)

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

05/23/22
 DATE
 HOWARD S.C.D.



PLAN VIEW
 SCALE: 1"=30'

SOILS LEGEND
 HOWARD COUNTY SOILS MAP #28

SYMBOL	NAME / DESCRIPTION	GROUP	K-FACTOR	ERODIBLE	HYDRIC
ESC	EVESBORO LOAMY SAND, 2 TO 10 PERCENT SLOPES	A	0.49	NO	NO
Fg	FALLSINGTON SANDY LOAM, 0 TO 2 PERCENT SLOPES	D	0.24	NO	YES
RUB	RUSSETT AND BELTSVILLE SOILS, 2 TO 5 PERCENT SLOPES	C	0.43	NO	NO
UOB	UDORHENTS, LOAMY, 0 TO 5 PERCENT SLOPES	C	0.24	NO	NO
UD	UDRAN LAND-UDORHENTS COMPLEX, 0 TO 15 PERCENT SLOPES	D	0.28	NO	NO

SOILS NOTE:
 HIGHLY ERODIBLE SOILS ARE THOSE SOILS WITH A SLOPE GREATER THAN 15 PERCENT OR THOSE SOILS WITH A SOIL ERODIBILITY FACTOR K GREATER THAN 0.35 AND WITH A SLOPE GREATER THAN 5 PERCENT.

NO.	REVISION	DATE
6	REVISE THE PLAN TO SHOW AS-BUILT CONDITIONS	03/21/23
5	REVISE PLAN TO SHOW RECONSTRUCTION OF STABILIZED STORM DRAIN AND TRAP ON PARCELS 384-441	9-1-22
3	MODIFICATION OF PHASE 1 LAYOUT, RENAME-PLAN, LANDSCAPING, PRIVATE ROAD IMPROVEMENTS, UTILITY LAYOUT AND STORMWATER MANAGEMENT.	09/08/20
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REVISED SITE DEVELOPMENT PLAN
 GRADING AND SOIL EROSION
 AND SEDIMENT CONTROL PLAN

Paddock Pointe - Phase 1
 FORMERLY KNOWN AS LAUREL PARK STATION
 64 APARTMENT AND 150 STABILIZED CONDO UNITS
 P.384 (L10518/F.157)
 P.441 (L13298/F.377)
 ZONED: TOD

PARCELS: 384/441
 A-2, B-1, B-2
 B-3, C-1, J, K-1, L AND
 LOTS D, E-1, F-1, G, H & I
 HOWARD COUNTY, MARYLAND

TAX MAP: 50 BLOCK: 10
 6TH ELECTION DISTRICT

VOGEL ENGINEERING
 TIMMONS GROUP

3300 NORTH RIDGE ROAD, SUITE 110, ELLICOTT CITY, MD 21043
 P: 410.461.7666 F: 410.461.8961 www.timmons.com

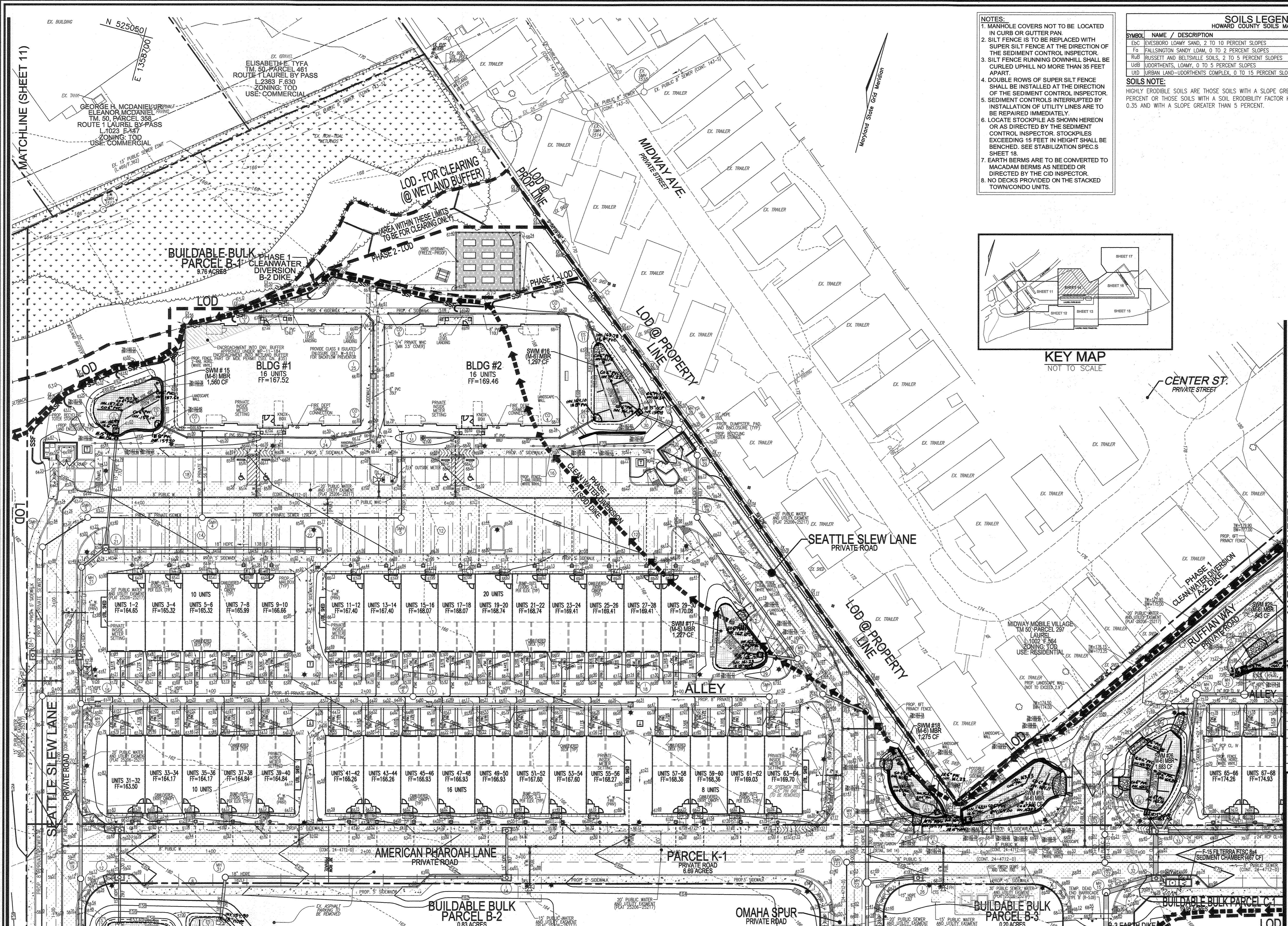
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 EXPIRATION DATE: 09-27-2023

DESIGNED BY: RHW/DZE
 DRAWN BY: DZE
 CHECKED BY: RHW
 DATE: SEPTEMBER 2020
 SCALE: AS SHOWN
 W.D. NO.: 07-11/40111

13 SHEET OF 55

AS-BUILT JULY 2023



- NOTES:**
1. MANHOLE COVERS NOT TO BE LOCATED IN CURB OR GUTTER PAN.
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 7. EARTH BERMS ARE TO BE CONVERTED TO MACADAM BERMS AS NEEDED OR DIRECTED BY THE CID INSPECTOR.
 8. NO DECKS PROVIDED ON THE STACKED TOWN/CONDO UNITS.

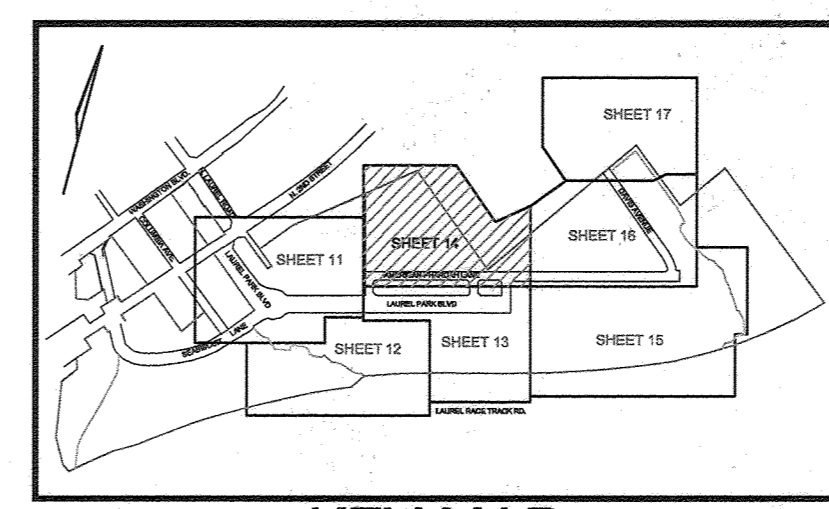
SOILS LEGEND
HOWARD COUNTY SOILS MAP #28

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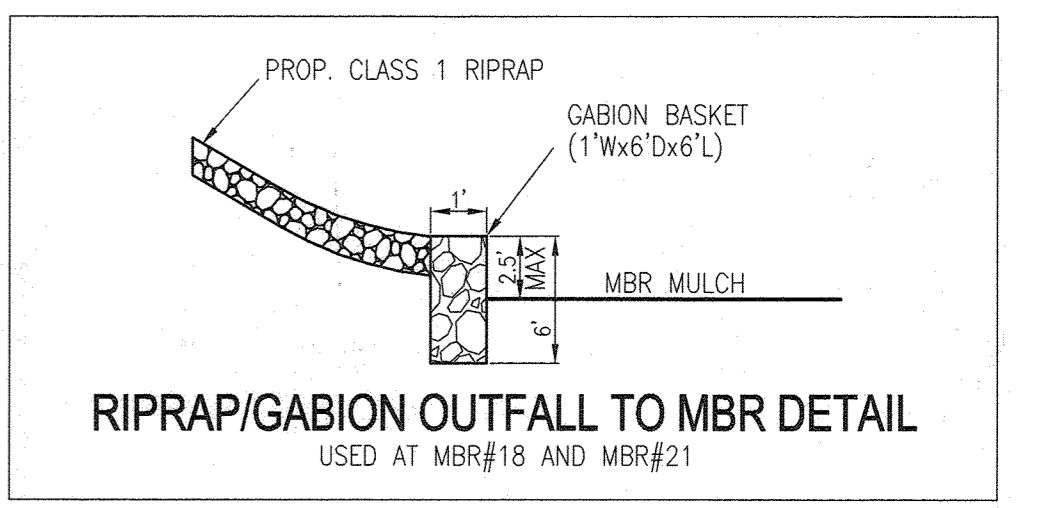
LEGEND:

	EXISTING CONTOUR
	PROPOSED CONTOUR
	EXISTING SPOT ELEVATION
	EXISTING CURB AND GUTTER
	PROPOSED CURB AND GUTTER
	EXISTING UTILITY POLE
	EXISTING LIGHT POLE
	EXISTING MAILBOX
	EXISTING SIGN
	EXISTING SANITARY MANHOLE
	EXISTING SANITARY LINE
	EXISTING CLEANOUT
	PROPOSED STORM DRAIN
	PROPOSED STORM DRAIN INLET
	EXISTING TREE LINE
	EXISTING FENCE
	PROPERTY LINE
	RIGHT-OF-WAY LINE
	SOILS BOUNDARY
	EX. LIMIT OF WETLAND
	PROPOSED STREET LIGHT
	PROPOSED SIDEWALK
	SILT FENCE
	SUPER SILT FENCE
	LIMIT OF DISTURBANCE
	PROPOSED STREET SIGN
	DEAD END BARRICADE
	STREET TREES
	EARTH DIKE / CLEAN WATER DIVERSION DIKE
	PUBLIC SEWER, WATER AND UTILITY EASEMENT



AS-BUILT CERTIFICATION FOR PSMW
I HEREBY CERTIFY THAT THE FACILITY SHOWN ON THIS PLAN WAS CONSTRUCTED AS SHOWN ON THE "AS-BUILT" PLANS AND COMPLIES WITH THE APPROVED PLANS AND SPECIFICATIONS. I HAVE VERIFIED THAT THE CONTRIBUTING DRAINAGE AREA IS SUFFICIENTLY STABILIZED TO PREVENT CLOGGING OF THE UNDERGROUND SWM FACILITY.

16193 9-10-23
P.E. # DATE



OWNER
TRIPLE BELL FARMS, LLC.
198 LAUREL RACE TRACK RD
LAUREL, MD 20725
(301) 470-5494

OWNER/DEVELOPER
20008 DEJAWANE INC.
198 LAUREL RACE TRACK RD
LAUREL, MD 20725
(301) 470-5494

NO.	REVISION	DATE
6	REVISE THE PLAN TO SHOW AS-BUILT CONDITIONS.	03/24/23
5	REVISE PLAN TO SHOW RECONFIGURATION OF STREAM; ADD STORM DRAIN AND TRAP ON PARCEL A-2	09/01/22
4	ADD DUMPSTER FOR BUILDING #4; ADD SIDEWALK TO RIGHT SIDE OF RUFFIAN WAY	05/07/21
3	MODIFICATION OF PHASE 1 LAYOUT, RENAME PLAN, LANDSCAPING, PRIVATE ROAD IMPROVEMENTS; UTILITY LAYOUT AND STORMWATER MANAGEMENT.	09/08/20
2	REVISE THE PLANS TO ILLUSTRATE IRRIGATION LINES WITHIN PRIVATE ROADWAY	07/28/20
1	MODIFICATION OF PHASE 1 LAYOUT, ROAD LAYOUT, UTILITY LAYOUT, STORMWATER MANAGEMENT, AND BYPASS LAYOUT	06/11/19

REVISED SITE DEVELOPMENT PLAN
GRADING AND SOIL EROSION AND SEDIMENT CONTROL PLAN
PADDOCK POINTE - PHASE 1
(FORMERLY KNOWN AS LAUREL PARK STATION)
64 APARTMENT AND STACKED CONDO UNITS
P.384 (L.10518/F.157) B-3, C-1, J, K-1, L, AND
P.441 (L.13286/F.377) LOTS D, E-1, F-1, G, H, & I
ZONED: T00 HOWARD COUNTY, MARYLAND

VOGEL ENGINEERING
TIMMONS GROUP
3300 NORTH RIDGE ROAD, SUITE 110, ELLICOTT CITY, MD 21043
P: 410.461.7656 F: 410.461.8961 www.timmons.com

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

Chad Chan 5-18-23
CHIEF, DEVELOPMENT ENGINEERING DIVISION
DATE

Mary A. Kendall 6/15/23
CHIEF, DIVISION OF LAND DEVELOPMENT
DATE

OWNER/DEVELOPER CERTIFICATION:
I/WE CERTIFY THAT ANY CLEARING, GRADING, CONSTRUCTION OR DEVELOPMENT WILL BE DONE PURSUANT TO THIS APPROVED EROSION AND SEDIMENT CONTROL PLAN, INCLUDING INSPECTING AND MAINTAINING CONTROLS, AND THAT ALL RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A MARYLAND DEPARTMENT OF THE ENVIRONMENT (MDE) APPROVED TRAINING PROGRAM FOR THE CONTROL OF EROSION AND SEDIMENT PRIOR TO BEGINNING THE PROJECT. I CERTIFY RIGHT-OF-ENTRY FOR PERIODIC ON-SITE EVALUATION BY HOWARD COUNTY, THE HOWARD SOIL CONSERVATION DISTRICT AND/OR MDE.

Julian Olin 05/02/2023
OWNER/DEVELOPER SIGNATURE
DATE

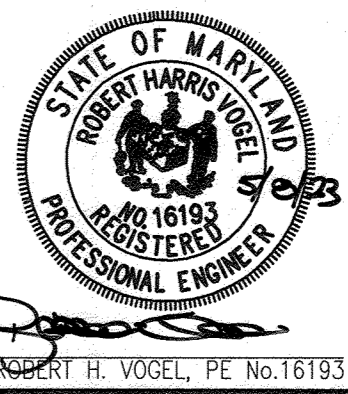
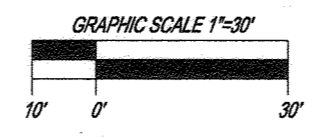
DESIGNER CERTIFICATION:
I HEREBY CERTIFY THAT THIS PLAN HAS BEEN DESIGNED IN ACCORDANCE WITH CURRENT MARYLAND EROSION AND SEDIMENT CONTROL LAWS, REGULATIONS AND STANDARDS; THAT IT REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE; AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

Robert H. Vogel 5/16/23
DESIGNER'S SIGNATURE
DATE

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

Almond Bratcher 05/15/23
HOWARD S.C.D. DATE

PLAN VIEW
SCALE: 1"=30'



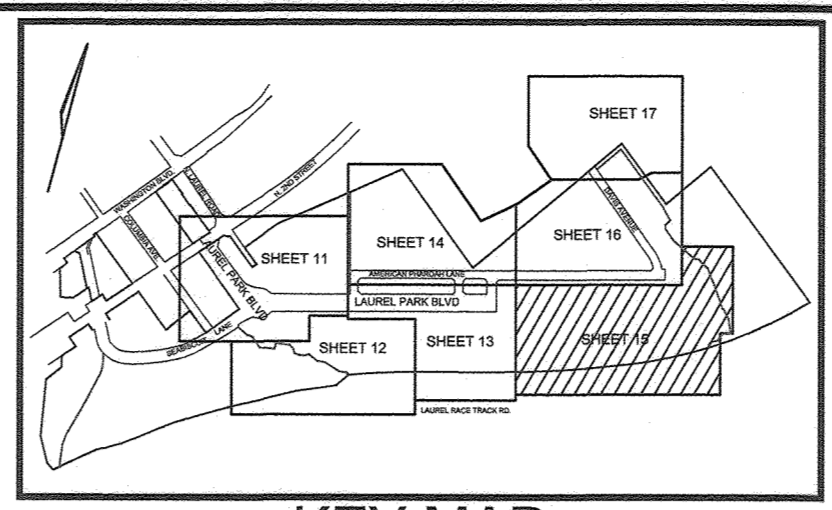
PROFESSIONAL CERTIFICATE
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A duly LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 16193, EXPIRATION DATE: 09-27-2024

DESIGN BY: RHW/DZE
DRAWN BY: DZE
CHECKED BY: RHW
DATE: JAN 2023
SCALE: AS SHOWN
W.O. NO.: 07-11/40111

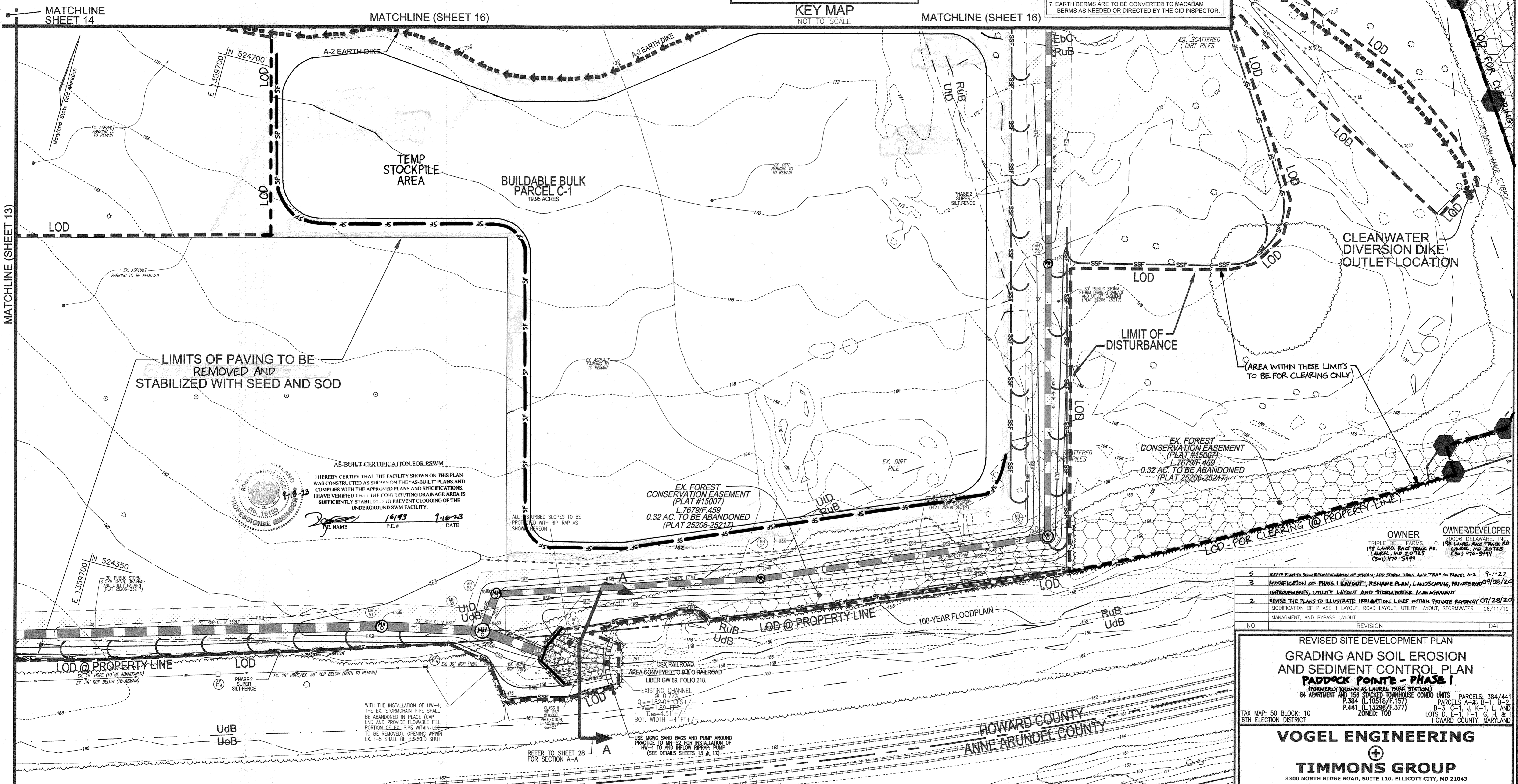
14 SHEET OF 55

LEGEND:

- EXISTING CONTOUR
- PROPOSED CONTOUR
- EXISTING SPOT ELEVATION
- PROPOSED SPOT ELEVATION
- EXISTING CURB AND GUTTER
- PROPOSED CURB AND GUTTER
- EXISTING TREE LINE
- EXISTING UTILITY POLE
- EXISTING LIGHT POLE
- EXISTING STORM DRAIN
- PROPOSED STORM DRAIN
- PROPOSED STORM DRAIN INLET
- EXISTING FENCE
- PROPERTY LINE
- RIGHT-OF-WAY LINE
- SOILS BOUNDARY
- SILT FENCE
- SUPER SILT FENCE
- LIMIT OF DISTURBANCE
- PUBLIC SEWER, WATER AND UTILITY EASEMENT
- EARTH DIKE / CLEANWATER DIVERSION DIKE
- EX. FOREST CONSERVATION EASEMENT PLAT #15007



- NOTES:**
- FOR MWCG DETAILS, SEE SHEETS 13 AND 17.
 - SILT FENCE IS TO BE REPLACED WITH SUPER SILT FENCE AT THE DIRECTION OF THE SEDIMENT CONTROL INSPECTOR.
 - SILT FENCE RUNNING DOWNHILL SHALL BE CURLED UPHILL NO MORE THAN 35 FEET APART.
 - DOUBLE ROWS OF SUPER SILT FENCE SHALL BE INSTALLED AT THE DIRECTION OF THE SEDIMENT CONTROL INSPECTOR.
 - SEDIMENT CONTROLS INTERRUPTED BY INSTALLATION OF UTILITY LINES ARE TO BE REPAIRED IMMEDIATELY.
 - LOCATE STOCKPILE AS SHOWN HEREON OR AS DIRECTED BY THE SEDIMENT CONTROL INSPECTOR. STOCKPILES EXCEEDING 15 FEET IN HEIGHT SHALL BE BENCHED. SEE STABILIZATION SPEC'S SHEET 18.
 - EARTH BERMS ARE TO BE CONVERTED TO MACADAM BERMS AS NEEDED OR DIRECTED BY THE CID INSPECTOR.



LIMITS OF PAVING TO BE REMOVED AND STABILIZED WITH SEED AND SOD

AS-BUILT CERTIFICATION FOR PSWM
 I HEREBY CERTIFY THAT THE FACILITY SHOWN ON THIS PLAN WAS CONSTRUCTED AS SHOWN ON THE "AS-BUILT" PLANS AND COMPLIES WITH THE APPROVED PLANS AND SPECIFICATIONS. I HAVE VERIFIED THAT THE CONTRIBUTING DRAINAGE AREA IS SUFFICIENTLY STABILIZED TO PREVENT CLOGGING OF THE UNDERGROUND SWM FACILITY.
 P.E. NAME: [Signature] P.E. # 16193 DATE 7-10-23

EX. FOREST CONSERVATION EASEMENT (PLAT #15007)
 L.7679/F.459
 0.32 AC. TO BE ABANDONED (PLAT 25206-25217)

OWNER/DEVELOPER
 TRIPLE BELL FARMS, LLC
 198 LAUREL PARK TRAIL RD.
 LAUREL, MD 20725
 (301) 470-5494

NO.	REVISION	DATE
5	REVISE PLAN TO SHOW RECONFIGURATION OF STREAM, ADD STORM DRAIN AND TRAP ON PARCEL A-2	9-1-22
3	MODIFICATION OF PHASE 1 LAYOUT, RENAME PLAN, LANDSCAPING, PRIVATE ROAD IMPROVEMENTS, UTILITY LAYOUT AND STORMWATER MANAGEMENT	09/08/22
2	REVISE THE PLANS TO ILLUSTRATE IRRIGATION LINES WITHIN PRIVATE ROADWAY	01/28/20
1	MODIFICATION OF PHASE 1 LAYOUT, ROAD LAYOUT, UTILITY LAYOUT, STORMWATER MANAGEMENT, AND BYPASS LAYOUT	06/11/19

REVISED SITE DEVELOPMENT PLAN
GRADING AND SOIL EROSION AND SEDIMENT CONTROL PLAN
PADDOCK POINT - PHASE I
 (FORMERLY KNOWN AS LAUREL PARK STATION)
 64 APARTMENT AND 156 STACKED TOWNHOUSE CONDO UNITS PARCELS: 384/441
 P.384 (L10518/F.157) PARCELS A-2, B-1, B-2
 P.441 (L13288/F.377) PARCELS C-1, K-1, L, AND
 ZONED: T00 LOTS D, E-1, F-1, G, H, AND
 HOWARD COUNTY, MARYLAND

VOGEL ENGINEERING
TIMMONS GROUP
 3300 NORTH RIDGE ROAD, SUITE 110, ELLICOTT CITY, MD 21043
 P: 410.461.7666 F: 410.461.8961 www.timmons.com

PROFESSIONAL CERTIFICATE
 DESIGN BY: RHW/DJE/ES/SPS
 DRAWN BY: DJE/NG/LG/SAM/ES
 CHECKED BY: RHW
 DATE: NOVEMBER 2019
 SCALE: AS SHOWN
 W.O. NO.: 07-11/40111
 I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A FULLY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 16193 EXPIRATION DATE: 07-07-2026
 15 SHEET OF 55

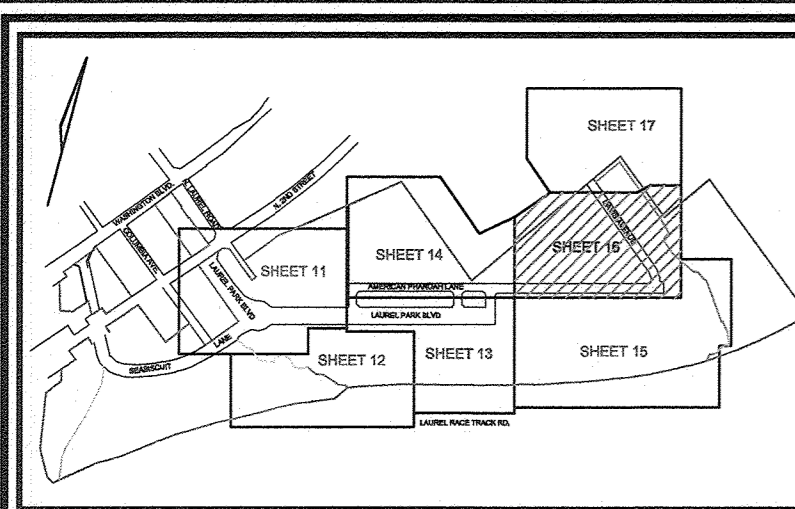
APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
 CHIEF, DEVELOPMENT ENGINEERING DIVISION
 CHIEF, DIVISION OF LAND DEVELOPMENT
 DIRECTOR
 DATE: 12-3-19
 DATE: 12/10/19
 DATE: 12-10-19

OWNER/DEVELOPER CERTIFICATION
 I HEREBY CERTIFY THAT ANY CLEARING, GRADING, CONSTRUCTION OR DEVELOPMENT WILL BE DONE PURSUANT TO THIS APPROVED EROSION AND SEDIMENT CONTROL PLAN, INCLUDING INSPECTING AND MAINTAINING CONTROLS, AND THAT ALL RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A MARYLAND DEPARTMENT OF THE ENVIRONMENT (MDE) APPROVED TRAINING PROGRAM FOR THE CONTROL OF EROSION AND SEDIMENT PRIOR TO BEGINNING THE PROJECT. I CERTIFY RIGHT-OF-ENTRY FOR PERIODIC ON-SITE EVALUATION BY HOWARD COUNTY, THE HOWARD SOIL CONSERVATION DISTRICT AND/OR MDE.
 OWNER/DEVELOPER SIGNATURE: [Signature]
 DATE: 11/12/19
 PRINTED NAME & TITLE: MARY G. THOMPSON

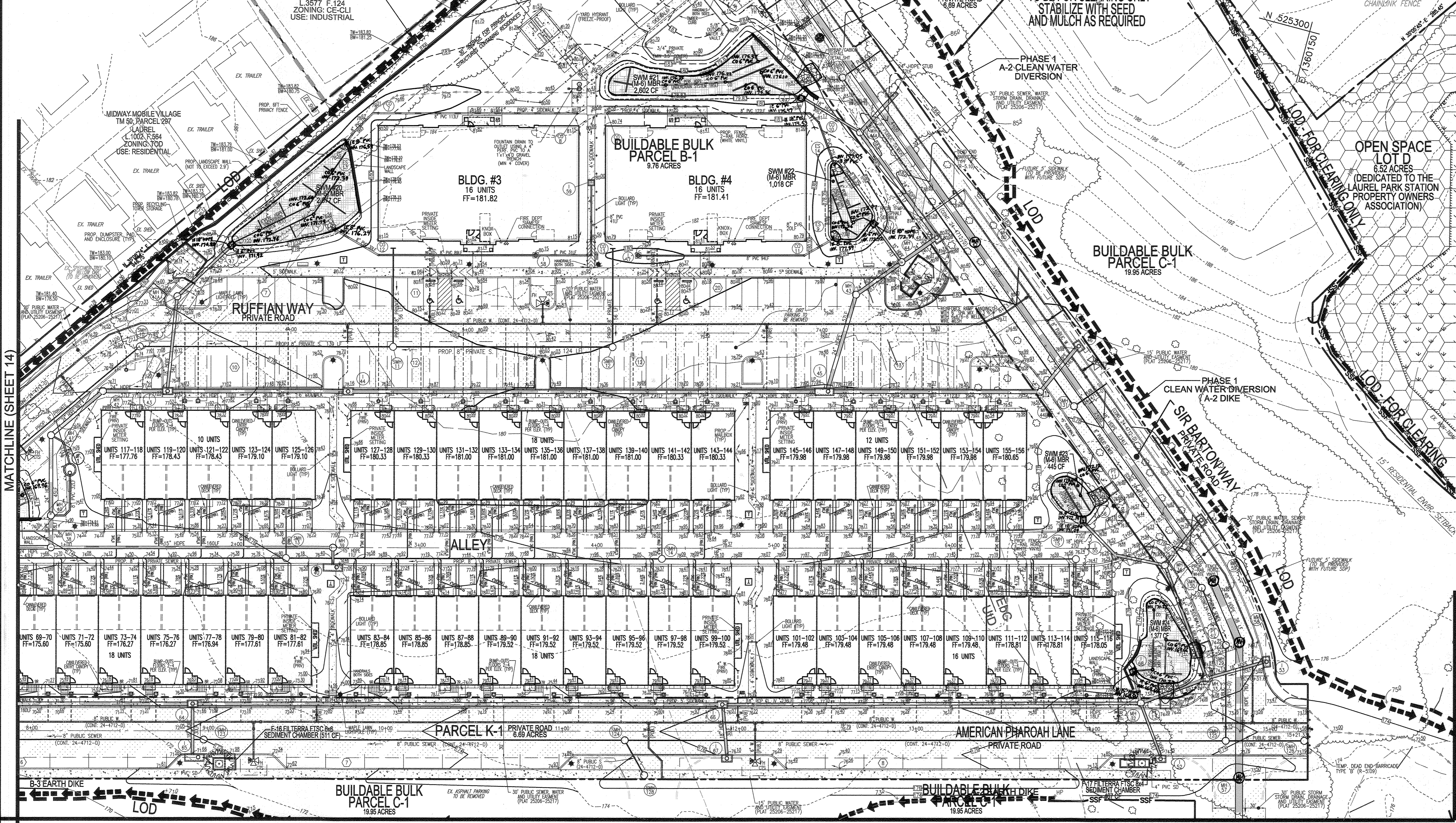
DESIGN CERTIFICATION
 I HEREBY CERTIFY THAT THIS PLAN HAS BEEN DESIGNED IN ACCORDANCE WITH CURRENT MARYLAND EROSION AND SEDIMENT CONTROL LAWS, REGULATIONS, AND STANDARDS, THAT IT REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE, AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.
 DESIGNER'S SIGNATURE: [Signature]
 DATE: 11/12/19
 PRINTED NAME: ROBERT H. VOGEL
 M.D. REGISTRATION NO. 16193
 P.E. R.L.S. OR R.L.A. (circle one)

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.
 [Signature]
 DATE: 11/23/19
 HOWARD S.C.D.

PLAN VIEW
 SCALE: 1" = 30'
 GRAPHIC SCALE 1"=30'



KEY MAP
NOT TO SCALE



LEGEND:

	EXISTING CONTOUR
	PROPOSED CONTOUR
	EXISTING SPOT ELEVATION
	PROPOSED SPOT ELEVATION
	EXISTING CURB AND GUTTER
	PROPOSED CURB AND GUTTER
	EXISTING UTILITY POLE
	PROPOSED UTILITY POLE
	EXISTING SIGN
	PROPOSED SIGN
	PROPOSED STORM DRAIN
	PROPOSED STORM DRAIN INLET
	EXISTING TREELINE
	PROPERTY LINE
	RIGHT-OF-WAY LINE
	SOILS BOUNDARY
	EX. LIMIT OF WETLAND
	PROPOSED STREET LIGHT
	PROPOSED SIDEWALK
	PROPOSED RETAINING WALL
	SILT FENCE
	SUPER SILT FENCE
	LIMIT OF DISTURBANCE
	EARTH DIKE / CLEANWATER DIVERSION DIKE
	PUBLIC SEWER, WATER AND UTILITY EASEMENT
	PROPOSED STREET SIGN
	DEAD END BARRICADE
	STREET TREES
	FOREST CONSERVATION EASEMENT (RETENTION) PLAT # 15007

- NOTES:**
1. MANHOLE COVERS NOT TO BE LOCATED IN CURB OR GUTTER PAN.
 2. SILT FENCE IS TO BE REPLACED WITH SUPER SILT FENCE IN THE DIRECTION OF THE SEDIMENT CONTROL INSPECTOR.
 3. SILT FENCE RUNNING DOWNHILL SHALL BE CURLED UP HILL NO MORE THAN 35 FEET APART.
 4. DOUBLE ROWS OF SUPER SILT FENCE SHALL BE INSTALLED AT THE DIRECTION OF THE SEDIMENT CONTROL INSPECTOR.
 5. SEDIMENT CONTROLS INTERRUPTED BY INSTALLATION OF UTILITY LINES ARE TO BE REPAIRED IMMEDIATELY.
 6. LOCATE STOCKPILE AS SHOWN HEREON OR AS DIRECTED BY THE SEDIMENT CONTROL INSPECTOR. STOCKPILES EXCEEDING 15 FEET IN HEIGHT SHALL BE BENCHED. SEE STABILIZATION SPECS SHEET 18.
 7. EARTH BERMS ARE TO BE CONVERTED TO MACADAM BERMS AS NEEDED OR DIRECTED BY THE CID INSPECTOR.
 8. NO DECKS PROVIDED ON THE STACKED TOWNCONDO UNITS.

NO.	REVISION	DATE
6	REVISE THE PLAN TO SHOW AS-BUILT CONDITIONS.	03/24/23
5	REVISE PLAN TO SHOW RECONFIGURATION OF STREAM, ADD STORM DRAIN AND TRAP ON PARCEL A-2	09/01/22
4	ADD DUMPSTER FOR BUILDING #4; ADD SIDEWALK TO RIGHT SIDE OF RUFFIAN WAY	05/07/21
3	MODIFICATION OF PHASE 1 LAYOUT, REWAVE PLAN, LANDSCAPING, PRIVATE ROAD IMPROVEMENTS, UTILITY LAYOUT AND STORMWATER MANAGEMENT.	09/08/20
2	REVISE THE PLANS TO ILLUSTRATE IRRIGATION LINES WITHIN PRIVATE ROADWAY	07/28/20
1	MODIFICATION OF PHASE 1 LAYOUT, ROAD LAYOUT, UTILITY LAYOUT, STORMWATER MANAGEMENT, AND BYPASS LAYOUT	06/11/19

OWNER
TRIPLE BELL FARMS, LLC
198 LAUREL RACE TRACK RD
LAUREL, MD 20725
(301) 470-5494

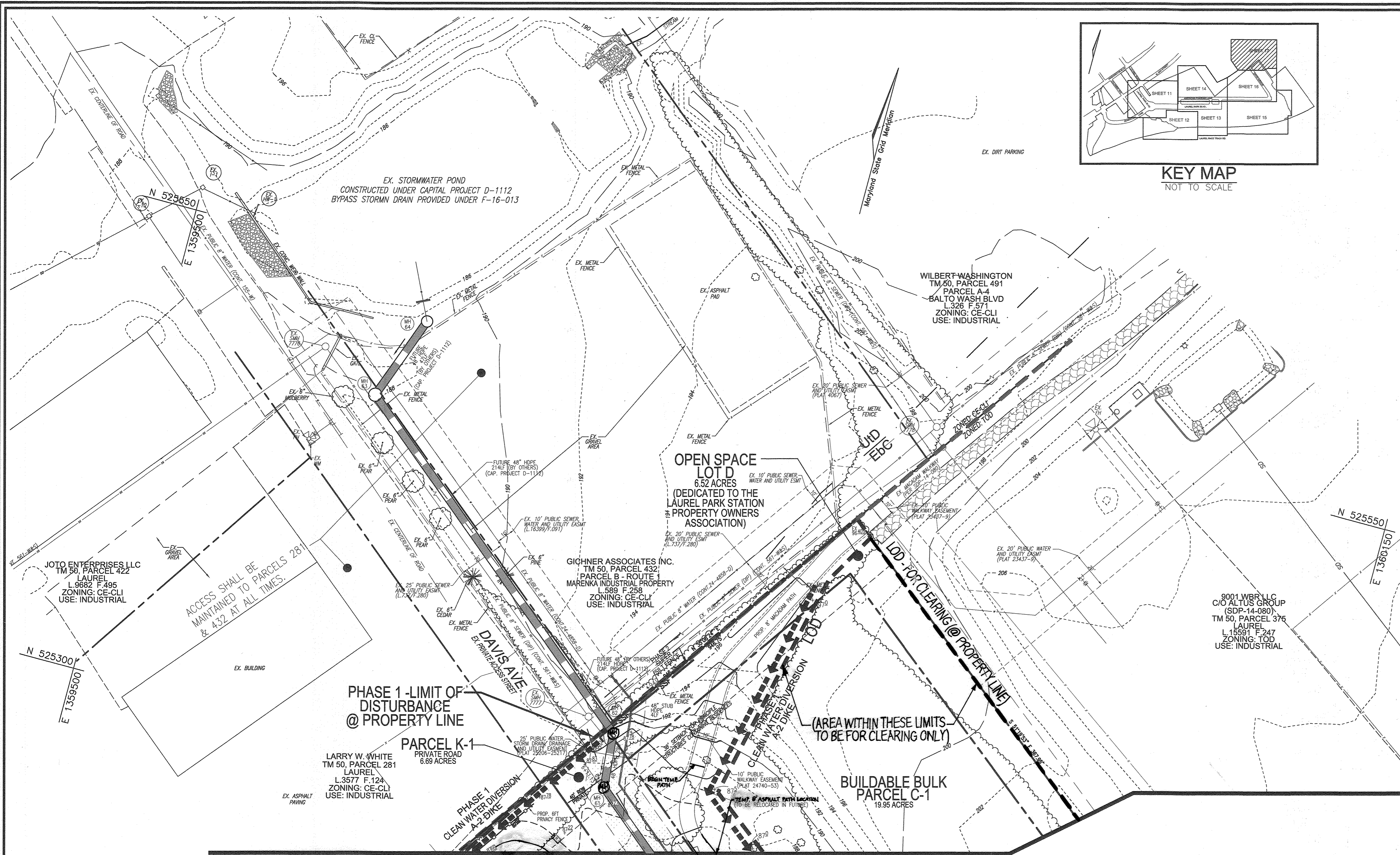
OWNER/DEVELOPER
20006 DELAWARE, INC
198 LAUREL RACE TRACK RD
LAUREL, MD 20725
(301) 470-5494

**REVISED SITE DEVELOPMENT PLAN
GRADING AND SOIL EROSION
AND SEDIMENT CONTROL PLAN**

Paddock Pointe - Phase 1
FORMERLY KNOWN AS LAUREL PARK STATION
64 APARTMENT AND 180 STACKED CONDO UNITS
P.384 (L10518/F.157)
P.441 (L13296/F.377)
ZONED: T00

TAX MAP: 50 BLOCK: 10
6TH ELECTION DISTRICT

PARCELS: 384/441
B-1, B-2, B-3, B-4, B-5, B-6, B-7, B-8, B-9, B-10, B-11, B-12, B-13, B-14, B-15, B-16, B-17, B-18, B-19, B-20, B-21, B-22, B-23, B-24, B-25, B-26, B-27, B-28, B-29, B-30, B-31, B-32, B-33, B-34, B-35, B-36, B-37, B-38, B-39, B-40, B-41, B-42, B-43, B-44, B-45, B-46, B-47, B-48, B-49, B-50, B-51, B-52, B-53, B-54, B-55, B-56, B-57, B-58, B-59, B-60, B-61, B-62, B-63, B-64, B-65, B-66, B-67, B-68, B-69, B-70, B-71, B-72, B-73, B-74, B-75, B-76, B-77, B-78, B-79, B-80, B-81, B-82, B-83, B-84, B-85, B-86, B-87, B-88, B-89, B-90, B-91, B-92, B-93, B-94, B-95, B-96, B-97, B-98, B-99, B-100, B-101, B-102, B-103, B-104, B-105, B-106, B-107, B-108, B-109, B-110, B-111, B-112, B-113, B-114, B-115, B-116, B-117, B-118, B-119, B-120, B-121, B-122, B-123, B-124, B-125, B-126, B-127, B-128, B-129, B-130, B-131, B-132, B-133, B-134, B-135, B-136, B-137, B-138, B-139, B-140, B-141, B-142, B-143, B-144, B-145, B-146, B-147, B-148, B-149, B-150, B-151, B-152, B-153, B-154, B-155, B-156, B-157, B-158, 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MGWC 1.2: PUMP-AROUND PRACTICE

DESCRIPTION

The work shall consist of installing a temporary pump around and supporting measures to divert flow around in-stream construction sites.

IMPLEMENTATION REQUIREMENTS

1. Construction activities including the installation of erosion and sediment control measures should not begin until all necessary measures and/or right-of-way have been acquired. All existing utilities should be marked in the field prior to construction. The contractor is responsible for any damage to existing utilities that may result from construction and should repair the damage at his/her own expense to the county's or utility company's satisfaction.

2. The contractor should notify the Maryland Department of the Environment or WMA sediment control inspector at least 5 days before beginning construction. Additionally, the contractor should inform the local environmental protection and resource management inspection and enforcement division and the provider of local utilities a minimum of 48 hours before starting construction.

3. The contractor should conduct a pre-construction meeting on site with the WMA sediment control inspector, the county project manager, and the regional water utility division. The contractor should discuss the project requirements, and the location of construction. The contractor should stake out all limits of disturbance prior to the pre-construction meeting so they may be reviewed. The participants will also designate the contractor's staging area and that all work within the limit of disturbance shall be reviewed for construction access. Trees should not be removed within the limit of disturbance without approval from the WMA or local authority.

4. Construction should not begin until all sediment and erosion control measures have been installed and approved by the engineer and the sediment control inspector. The contractor should stay within the limits of the disturbance as shown on the plans and minimize disturbance within the work area whenever possible.

5. Upon installation of all sediment control measures and approval by the sediment control inspector and the local environmental protection and resource management inspection and enforcement division, the contractor should begin work at the upstream section and proceed downstream beginning with the establishment of stabilized construction entrances. The contractor should begin work at the downstream section with the installation of stabilized construction exits. The contractor should only begin work on an area which will be completed by the end of the day including grading adjacent to the channel. At the end of each work day, the work area must be stabilized and the pump around removed from the channel. Work should not be conducted in the channel during rain events.

6. Staging areas should be situated at the upstream and downstream ends of the work area as shown on the plans, and stream flow should be pumped around the work area. The pump should discharge onto a stable velocity dissipater made of riprap or sandbags.

MGWC 1.2: PUMP-AROUND PRACTICE

7. Water from the work area should be pumped to a sediment filtering measure such as a dewatering basin, sediment bag, or other approved device. The measure should be located such that the water drains back into the channel below the downstream sandbag dike.

8. Traversing a channel reach with equipment within the work area where no work is proposed should be avoided. If equipment has to traverse such a reach for access to another area, then timber mats or similar measures should be used to minimize disturbance to the channel. Temporary stream crossings should be used only when necessary and only where noted on the plans as specified. (See Section 4, Stream Crossings, Maryland Guidelines to Waterway Construction.)

9. All stream restoration measures should be installed as indicated by the plans and all banks graded in accordance with the grading plans and typical cross-sections. All grading must be stabilized at the end of each day with seed and mulch or seed and matting as specified on the plans.

10. After an area is completed and stabilized, the clean water dikes should be removed. After the first sediment bank, a new clean water dike should be established upstream from the old sediment dike. Finally, upon establishment of a new sediment dike below the old one, the old sediment dike should be removed.

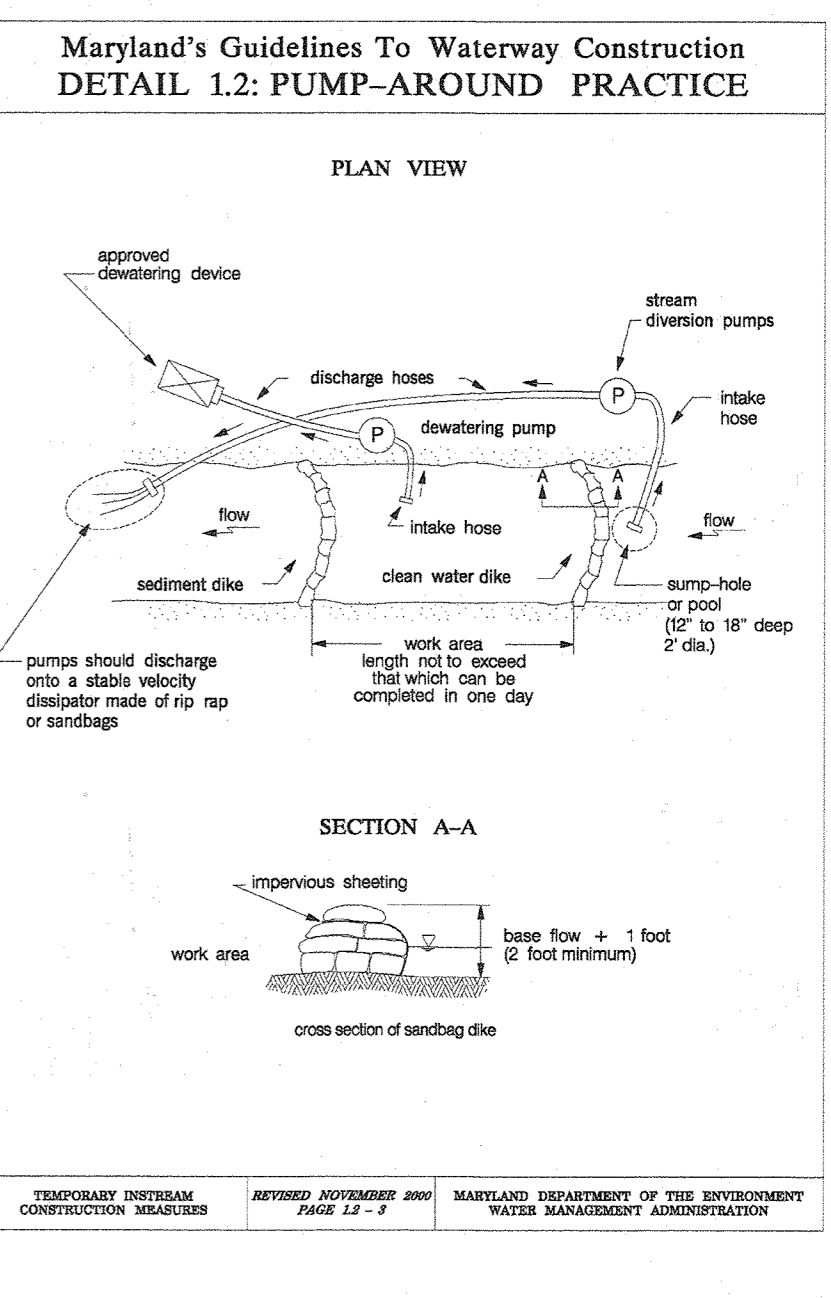
11. A pump around must be installed on any tributary or storm drain outfall which contributes baseflow to the work area. This should be accomplished by locating a sandbag dike at the downstream end of the tributary or storm drain outfall and pumping the stream flow around the work area. This water should discharge onto the same velocity dissipater used for the main stem pump around.

12. If a tributary is to be restored, construction should take place on the tributary before work on the main stem reaches the tributary confluence. Construction in the tributary, including pump around practices, should follow the same sequence as for the main stem of the river or stream. Work construction on the tributary is completed, work on the main stem should resume. Water from the tributary should continue to be pumped around the work area in the main stem.

13. The contractor is responsible for providing access to and maintaining all erosion and sediment control devices until the sediment control inspector approves their removal.

14. After construction, all disturbed areas should be regraded and revegetated as per the planting plan.

- BEST MANAGEMENT PRACTICES FOR WORKING IN NONTIDAL WETLANDS, WETLAND BUFFERS, WATERWAYS, AND 100-YEAR FLOODPLAINS**
- NO EXCESS FILL, CONSTRUCTION MATERIAL, OR DEBRIS SHALL BE STOCKPILED OR STORED IN NONTIDAL WETLANDS, WETLAND BUFFERS, WATERWAYS, OR THE 100-YEAR FLOODPLAIN.
 - PLACE MATERIALS IN A LOCATION AND MANNER WHICH DOES NOT ADVERSELY IMPACT SURFACE OR SUBSURFACE WATER FLOW INTO OR OUT OF NONTIDAL WETLANDS, NONTIDAL WETLAND BUFFERS, WATERWAYS, OR THE 100-YEAR FLOODPLAIN.
 - DO NOT USE THE EXCAVATED MATERIAL AS BACKFILL IF IT CONTAINS WASTE METAL PRODUCTS, UNSIGHTLY DEBRIS, TOXIC MATERIAL, OR ANY OTHER DEleterious SUBSTANCE.
 - PLACE HEAVY EQUIPMENT ON MATS OR SUITABLY OPERATE THE EQUIPMENT TO PREVENT DAMAGE TO NONTIDAL WETLANDS, NONTIDAL WETLAND BUFFERS, WATERWAYS, OR THE 100-YEAR FLOODPLAIN.
 - REPAIR AND MAINTAIN ANY SERVICEABLE STRUCTURE OR FILL SO THERE IS NO PERMANENT LOSS OF NONTIDAL WETLANDS, NONTIDAL WETLAND BUFFERS, OR WATERWAYS, OR PERMANENT MODIFICATION OF THE 100 YEAR FLOODPLAIN IMPACTED BY ANY CONSTRUCTION.
 - ALL STABILIZATION IN THE NONTIDAL WETLAND AND NONTIDAL WETLAND BUFFER SHALL CONSIST OF THE FOLLOWING SPECIES: ANNUAL RYEGRASS (Lolium multiflorum), MALET (Setaria italica), BARLEY (Hordeum sp.), OATS (Avena sp.), AND/OR RYE (Secale cereale). THESE SPECIES WILL ALLOW FOR THE STABILIZATION OF THE SITE WHILE ALSO ALLOWING FOR THE VOLUNTARY REVEGETATION OF NATURAL WETLAND SPECIES. OTHER NON-PERSISTENT VEGETATION MAY BE ACCEPTABLE, BUT MUST BE APPROVED BY THE NONTIDAL WETLANDS AND WATERWAYS DIVISION. KENTUCKY 31 FESCUE SHALL NOT BE UTILIZED IN WETLAND OR BUFFER AREAS. THE AREA SHOULD BE SEEDED AND MULCHED TO REDUCE EROSION AFTER CONSTRUCTION ACTIVITIES HAVE BEEN COMPLETED.
 - AFTER INSTALLATION HAS BEEN COMPLETED, MAKE POST-CONSTRUCTION GRADES AND ELEVATIONS THE SAME AS THE ORIGINAL GRADES AND ELEVATIONS IN TEMPORARILY IMPACTED AREAS.
 - TO PROTECT AQUATIC SPECIES, IN-STREAM WORK IS PROHIBITED AS DETERMINED BY THE CLASSIFICATION OF THE STREAM.
 - USE I WATERS: IN-STREAM WORK SHALL NOT BE CONDUCTED DURING THE PERIOD MARCH 1 THROUGH JUNE 15, INCLUSIVE, DURING ANY YEAR.
 - USE III WATERS: IN-STREAM WORK SHALL NOT BE CONDUCTED DURING THE PERIOD OCTOBER 1 THROUGH APRIL 30, INCLUSIVE, DURING ANY YEAR.
 - USE IV WATERS: IN-STREAM WORK SHALL NOT BE CONDUCTED DURING THE PERIOD MARCH THROUGH MAY 31, INCLUSIVE, DURING ANY YEAR.
 - STORMWATER RUNOFF FROM IMPEVIOUS SURFACES SHALL BE CONTROLLED TO PREVENT THE WASHING OF DEBRIS INTO THE WATERWAY.
 - CULVERTS SHALL BE CONSTRUCTED AND ANY RIPRAP PLACED SO AS NOT TO OBSTRUCT THE MOVEMENT OF AQUATIC SPECIES, UNLESS THE PURPOSE OF THE ACTIVITY IS TO IMPOUND WATER.

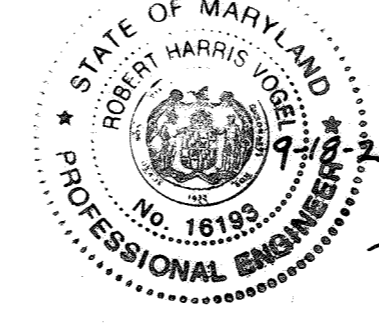
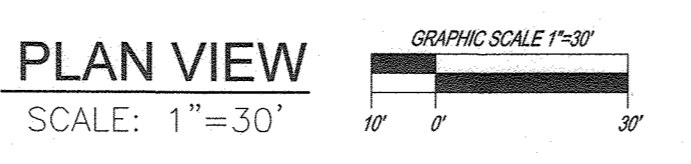


SOILS LEGEND
HOWARD COUNTY SOILS MAP #28

SYMBOL	NAME / DESCRIPTION	GROUP	K-FACTOR	ERODIBLE	HYDROIC
Ebc	Evesboro Loamy Sand, 2 to 10 Percent Slopes	A	0.49	NO	NO
Fo	Fallsington Sandy Loam, 0 to 2 Percent Slopes	D	0.24	NO	YES
Rub	Russsett and Belleville Soils, 2 to 5 Percent Slopes	C	0.43	NO	NO
Udb	Woodmonts, Loamy, 0 to 5 Percent Slopes	C	0.24	NO	NO
Lhd	Lurban Land-Urthoments Complex, 0 to 15 Percent Slopes	D	0.28	NO	NO

SOILS NOTE:
HIGHLY ERODIBLE SOILS ARE THOSE SOILS WITH A SLOPE GREATER THAN 15 PERCENT OR THOSE SOILS WITH A SOIL ERODIBILITY FACTOR K GREATER THAN 0.35 AND WITH A SLOPE GREATER THAN 5 PERCENT.

- NOTES:**
- SILT FENCE IS TO BE REPLACED WITH SUPER SILT FENCE AT THE DIRECTION OF THE SEDIMENT CONTROL INSPECTOR.
 - SILT FENCE RUNNING DOWNHILL SHALL BE CURLED UPHILL NO MORE THAN 35 FEET APART.
 - DOUBLE ROWS OF SUPER SILT FENCE SHALL BE INSTALLED AT THE DIRECTION OF THE SEDIMENT CONTROL INSPECTOR.
 - SEDIMENT CONTROLS INTERRUPTED BY INSTALLATION OF UTILITY LINES ARE TO BE REPAIRED IMMEDIATELY.
 - LOCATE STOCKPILE AS SHOWN HEREON OR AS DIRECTED BY THE SEDIMENT CONTROL INSPECTOR. STOCKPILES EXCEEDING 15 FEET IN HEIGHT SHALL BE BENCHES. SEE STABILIZATION SPEC S SHEET 18.
 - EARTH BERMS ARE TO BE CONVERTED TO MACADAM BERMS AS NEEDED OR DIRECTED BY THE CID INSPECTOR.



AS-BUILT CERTIFICATION FOR PSWM

I HEREBY CERTIFY THAT THE FACILITY SHOWN ON THIS PLAN WAS CONSTRUCTED AS SHOWN ON THE "AS-BUILT" PLANS AND COMPLIES WITH THE APPROVED PLANS AND SPECIFICATIONS. I HAVE VERIFIED THAT THE CONTRIBUTING DRAINAGE AREA IS SUFFICIENTLY STABILIZED TO PREVENT CLOGGING OF THE UNDERGROUND SWM FACILITY.

DATE: 7-18-23
P.E. # 16193

LEGEND:

---	EXISTING CONTOUR
---	PROPOSED CONTOUR
---	PROPOSED SPOT ELEVATION
---	EXISTING SPOT ELEVATION
---	EXISTING CURB AND GUTTER
---	PROPOSED CURB AND GUTTER
---	EXISTING UTILITY POLE
---	PROPOSED UTILITY POLE
---	EXISTING MAILBOX
---	EXISTING SIGN
---	EXISTING SANITARY MANHOLE
---	EXISTING SANITARY LINE
---	EXISTING CLEANOUT
---	EXISTING FIRE HYDRANT
---	EXISTING WATER LINE
---	PROPOSED STORM DRAIN
---	EXISTING TREELINE
---	EXISTING FENCE
---	PROPERTY LINE
---	RIGHT-OF-WAY LINE
---	SOILS BOUNDARY
---	PROPOSED STREET LIGHT
---	PROPOSED SIDEWALK
---	SUPER SILT FENCE
---	LIMIT OF DISTURBANCE
---	CLEANWATER DIVERSION DIKE
---	PUBLIC STORM DRAIN DRAINAGE, AND UTILITY EASEMENT
---	PROPOSED STREET SIGN
---	DEAD END BARRICADE

NO.	REVISION	DATE
5	REVISE PLAN TO SHOW RECONFIGURATION OF STREAM, ADD STORM DRAIN AND TRAP ON PARCEL A-2	7-1-22
3	MODIFICATION OF PHASE I LAYOUT, RENAME PLAN, LANDSCAPING, PRIVATE ROAD IMPROVEMENTS, UTILITY LAYOUT AND STREAMWATER MANAGEMENT	09/08/20
2	REVISE THE PLANS TO ILLUSTRATE IRRIGATION LINES WITHIN PRIVATE ROADS	07/28/22
1	MODIFICATION OF PHASE I LAYOUT, ROAD LAYOUT, UTILITY LAYOUT, STORMWATER MANAGEMENT, AND BYPASS LAYOUT	06/11/19

REVISED SITE DEVELOPMENT PLAN
GRADING AND SOIL EROSION AND SEDIMENT CONTROL PLAN
PADDOCK POINTE - PHASE I
(FORMERLY KNOWN AS LAUREL PARK STATION)
64 APARTMENT AND 156 STACKED TOWNHOUSE CONDO UNITS
PARCELS: 384/441
P-384 (L10518/F-157)
P-441 (L13295/F-377)
LAUREL, MD 20725
ZONED: TOD
TAX MAP: 50 BLOCK: 10
6TH ELECTION DISTRICT

VOGEL ENGINEERING
TIMMONS GROUP
3300 NORTH RIDGE ROAD, SUITE 110, ELLICOTT CITY, MD 21043
P: 410.461.7666 F: 410.461.8961 www.timmons.com

PROFESSIONAL CERTIFICATE

DESIGN BY: RHW/DES/SPS
DRAWN BY: DZK/ALG/CAH/ES
CHECKED BY: RHW
DATE: NOVEMBER 2019
SCALE: AS SHOWN
W.O. NO.: 07-11/40111

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A FULLY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND. MY LICENSE NO. IS 16193. EXPIRATION DATE: 08-31-2020

17 SHEET OF 55

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

12-3-19
DATE

12/10/19
DATE

12-12-19
DATE

OWNER/DEVELOPER CERTIFICATION:
I/WE CERTIFY THAT ANY CLEARING, GRADING, CONSTRUCTION, OR DEVELOPMENT WILL BE DONE PURSUANT TO THIS APPROVED EROSION AND SEDIMENT CONTROL PLAN, INCLUDING INSPECTING AND MAINTAINING CONTROLS, AND THAT ALL RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A MARYLAND DEPARTMENT OF THE ENVIRONMENT (MDE) APPROVED TRAINING PROGRAM FOR THE CONTROL ON EROSION AND SEDIMENT PRIOR TO BEGINNING THE PROJECT. I CERTIFY THAT I AM THE OWNER FOR PERIODIC ON-SITE EVALUATION BY HOWARD COUNTY, THE HOWARD SOIL CONSERVATION DISTRICT AND/OR MDE.

MARK G. THOMPSON
DATE: 11/12/19

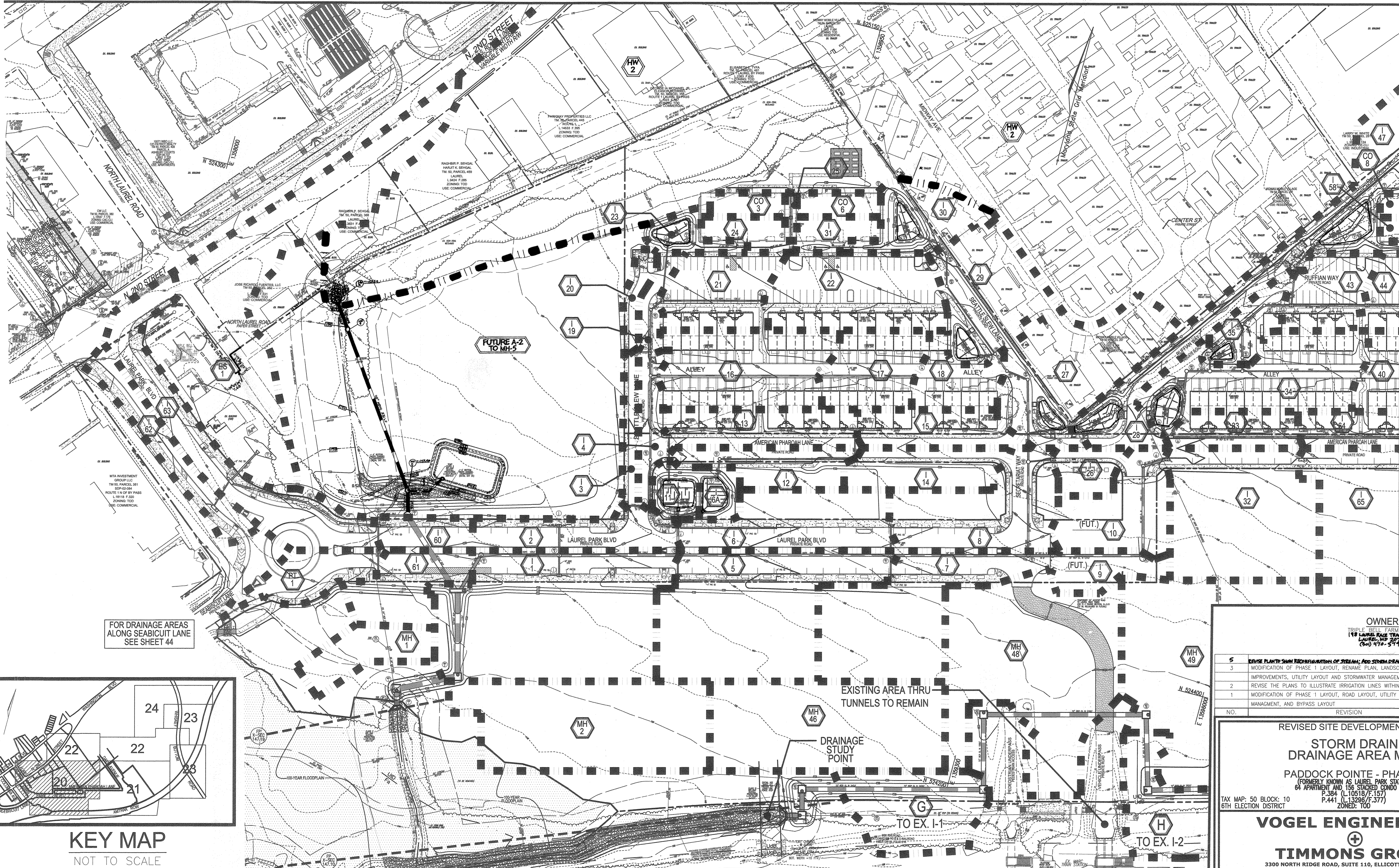
DESIGN CERTIFICATION:
I HEREBY CERTIFY THAT THIS PLAN HAS BEEN DESIGNED IN ACCORDANCE WITH CURRENT MARYLAND EROSION AND SEDIMENT CONTROL LAWS, REGULATIONS, AND STANDARDS, THAT IT REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE, AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

ROBERT H. VOGEL
DATE: 11/12/19

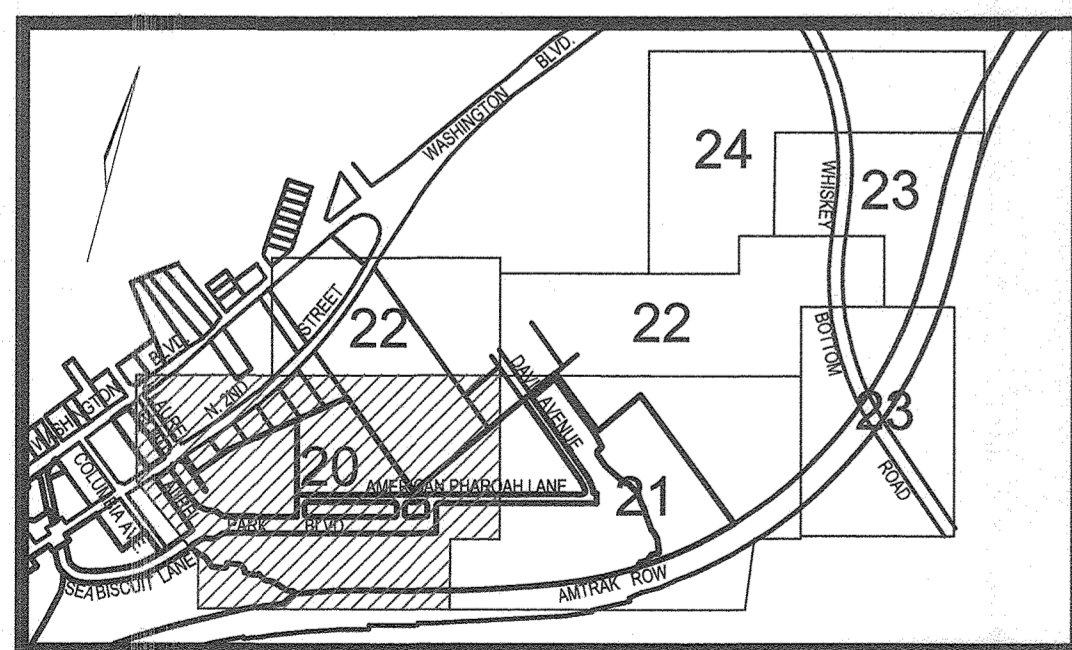
THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

11/23/19
DATE

NO.	REVISION	DATE
6	REVISE THE PLAN TO SHOW AS-BUILT CONDITIONS	09/24/23



FOR DRAINAGE AREAS ALONG SEABICUIT LANE SEE SHEET 44



KEY MAP
NOT TO SCALE

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

[Signature]
CHIEF, DEVELOPMENT ENGINEERING DIVISION 1/3/23
DATE 6/14/22

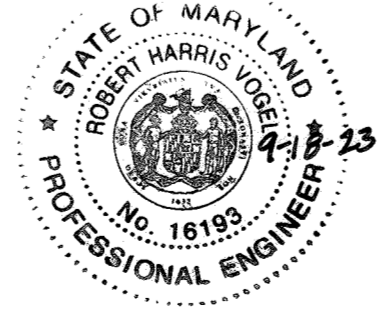
[Signature]
CHIEF, DIVISION OF LAND DEVELOPMENT/1/3/23
DATE 6/14/22

[Signature]
DIRECTOR 1/3/23
DATE 6/14/22

NOTES:

1. PERCENT IMPERVIOUS SHOWN, IGNORES STORMWATER MANAGEMENT "CREDITS", I.E. MICRO-RETENTION, FILTERING AND JELLYFISH SYSTEMS.
2. DESIGN ASSUMES COMPLETE FAILURE OF PROPOSED MICRO-SCALE PRACTICES
3. DELINEATED FUTURE AREAS (FUT) ARE BASED UPON BEST AVAILABLE INFORMATION USED FOR PIPE SIZE/DESIGN TO BE CONSTRUCTED UNDER THIS SDP.

PLAN VIEW
SCALE: 1"=60'
SCALE 1"=60'



AS-BUILT CERTIFICATION FOR PSWM

I HEREBY CERTIFY THAT THE FACILITY SHOWN ON THIS PLAN WAS CONSTRUCTED AS SHOWN ON THE "AS-BUILT" PLANS AND COMPLIES WITH THE APPROVED PLANS AND SPECIFICATIONS. I HAVE VERIFIED THAT THE EXISTING DRAINAGE AREA IS SUFFICIENTLY STABLE TO PREVENT CLOGGING OF THE UNDERGROUND SWM FACILITY.

DATE: 9-18-23
P.E. NAME: [Signature]

LEGEND:

EXISTING CURB AND GUTTER	PROPOSED STORM DRAIN INLET
EXISTING CONTOUR	PROPOSED STORM DRAIN
PROPOSED 10' CONTOUR	PROPOSED SIDEWALK
PROPOSED 2' CONTOUR	PROPOSED CURB
SOILS	EX. FOREST CONSERVATION EASEMENT RETENTION PLANT 15007
EXISTING TREE LINE	DRAINAGE AREA LABEL
PROPERTY LINE	
RIGHT-OF-WAY LINE	
EX. LIMIT OF WETLAND	
EX. WETLAND BUFFER	
DRAINAGE AREA DIVIDE	

NO.	REVISION	DATE
5	REVISE PLANTS SHOWN RECONFIGURATION OF STREAMS AND STORM DRAIN AND TRAP ON PARCELS 9-1-22	
3	MODIFICATION OF PHASE 1 LAYOUT, RENAMING PLAN, LANDSCAPING, PRIVATE ROAD IMPROVEMENTS, UTILITY LAYOUT AND STORMWATER MANAGEMENT.	09/08/20
2	REVISE THE PLANS TO ILLUSTRATE IRRIGATION LINES WITHIN PRIVATE ROADWAY	07/28/20
1	MODIFICATION OF PHASE 1 LAYOUT, ROAD LAYOUT, UTILITY LAYOUT, STORMWATER MANAGEMENT, AND BYPASS LAYOUT	06/11/19

REVISED SITE DEVELOPMENT PLAN

STORM DRAIN DRAINAGE AREA MAP

PADDOCK POINTE - PHASE 1
FORMERLY KNOWN AS LAUREL PARK STATION

PARCELS: 384/441
64 APARTMENT AND 156 STACKED CONDO UNITS
P.384 (L.10518/F.157) PARCELS A-2, B-1, B-3
P.441 (L.13298/F.377) ZONED: TOD LOTS D, E-1, F-1, G, H & I
HOWARD COUNTY, MARYLAND

TAX MAP: 50 BLOCK: 10
6TH ELECTION DISTRICT

VOGEL ENGINEERING

TIMMONS GROUP

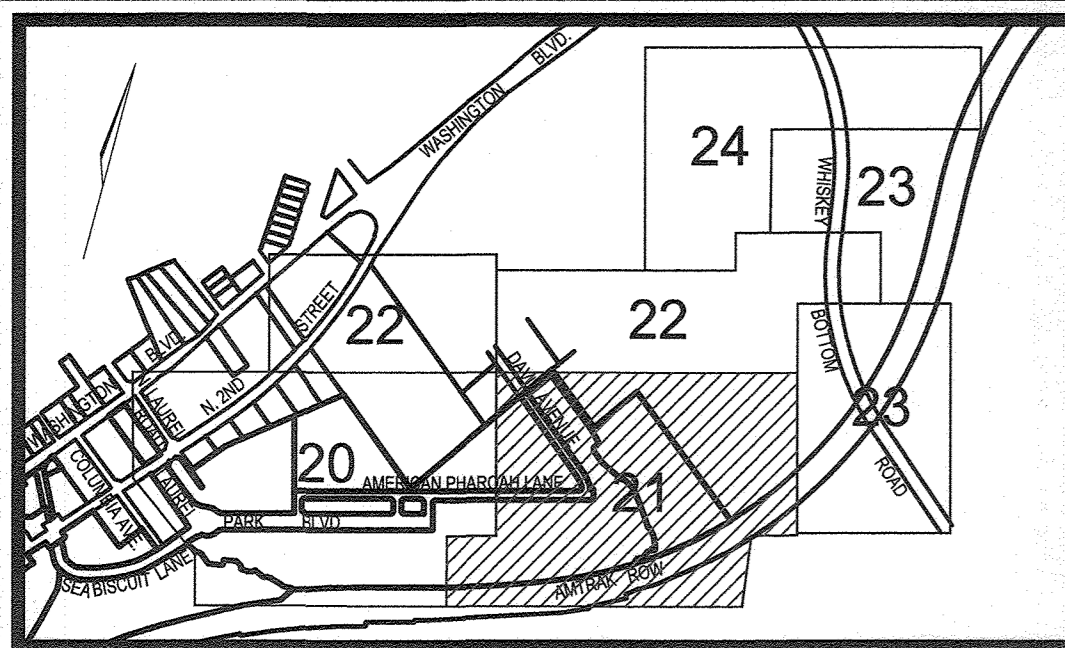
3300 NORTH RIDGE ROAD, SUITE 110, ELLICOTT CITY, MD 21043
P: 410.461.7666 F: 410.461.8961 www.timmons.com

PROFESSIONAL CERTIFICATE

DESIGN BY: RHW/DZE
DRAWN BY: DZE
CHECKED BY: RHW
DATE: SEPTEMBER 2020
SCALE: AS SHOWN
W.D. NO.: 07-11/40111

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND. EXPIRES: 09-27-2022

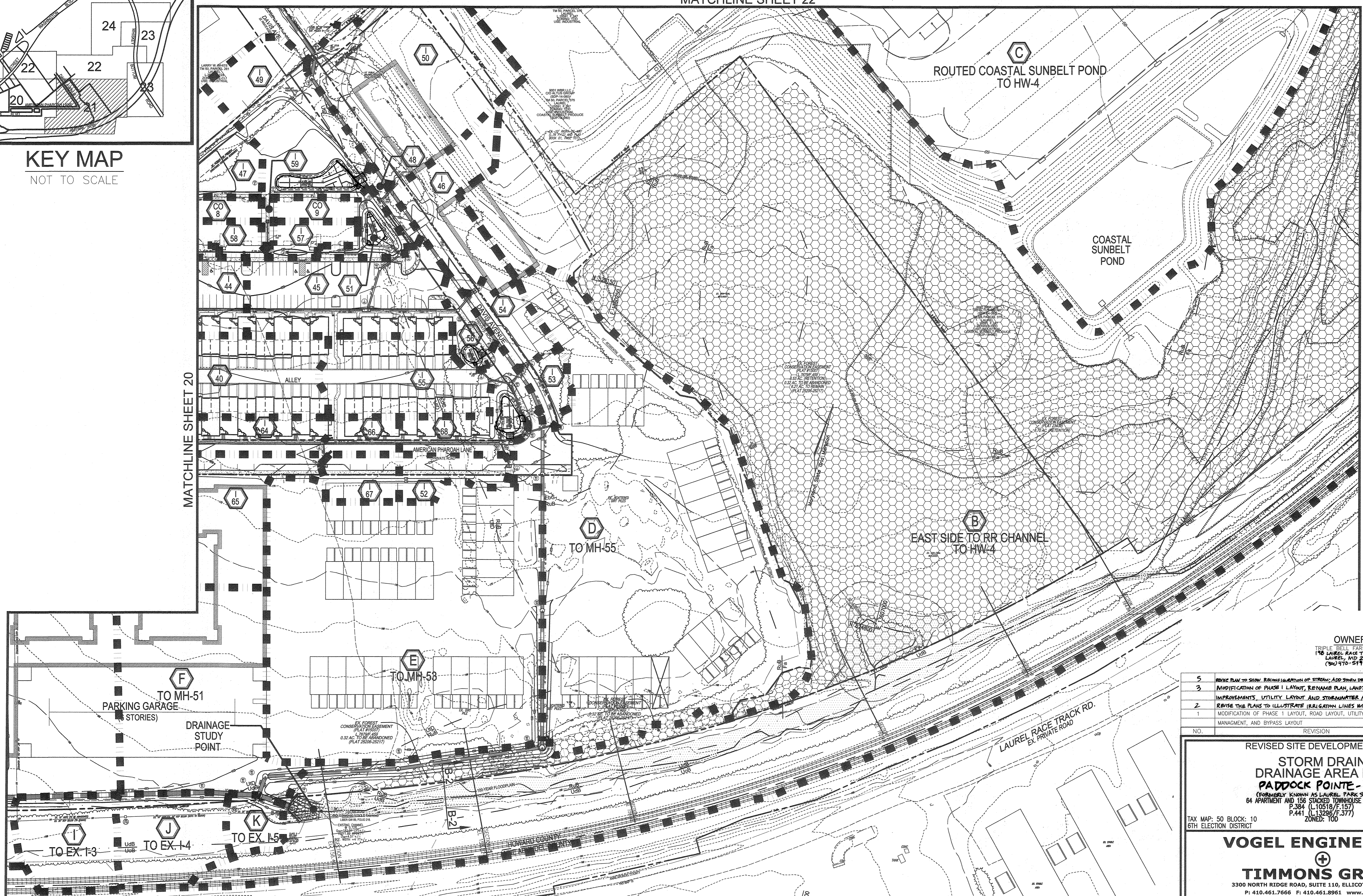
20 SHEET OF 55



KEY MAP
NOT TO SCALE

MATCHLINE SHEET 20

MATCHLINE SHEET 23



OWNER
TRIPLE BELL FARMS, LLC
198 LAUREL RACE TRACK RD.
LAUREL, MD 20725
(301) 470-5194

OWNER/DEVELOPER
202008 DELAWARE, INC.
198 LAUREL RACE TRACK RD.
LAUREL, MD 20725
(301) 470-5194

NO.	REVISION	DATE
5	REVISE PLAN TO SHOW RECONFIGURATION OF STREAM; ADD STORM DRAIN AND TRAP ON PARCEL A-2	9-1-22
3	MODIFICATION OF PHASE I LAYOUT, RENAME PLAN, LANDSCAPING, PRIVATE ROAD IMPROVEMENTS, UTILITY LAYOUT AND STORMWATER MANAGEMENT	09/08/20
2	REVISE THE PLANS TO ILLUSTRATE IRRIGATION LINES WITHIN PRIVATE ROADWAY	07/28/20
1	MODIFICATION OF PHASE I LAYOUT, ROAD LAYOUT, UTILITY LAYOUT, STORMWATER MANAGEMENT, AND BYPASS LAYOUT	06/11/19

REVISED SITE DEVELOPMENT PLAN
STORM DRAIN DRAINAGE AREA MAP
PADDOCK POINTE - PHASE I
(FORMERLY KNOWN AS LAUREL PARK STATION)
64 APARTMENT AND 156 STACKED TOWNHOUSE CONDO UNITS PARCELS: 384/441
P.384 (L10518/F.157) PARCELS A-2, B-1, B-2
P.441 (L13285/F.377) PARCELS B-3, C-1, K-1, L AND
ZONED: T00 LOTS D, E-1, E-1, G, H, & J
HOWARD COUNTY, MARYLAND

TAX MAP: 50 BLOCK: 10
6TH ELECTION DISTRICT

VOGEL ENGINEERING
TIMMONS GROUP
3300 NORTH RIDGE ROAD, SUITE 110, ELLICOTT CITY, MD 21043
P: 410.461.7666 F: 410.461.8961 www.timmons.com

PROFESSIONAL CERTIFICATE

STATE OF MARYLAND
ROBERT HARRIS VOGEL
NO. 16193
REGISTERED
PROFESSIONAL ENGINEER

DESIGN BY: RHW/DJE/ES/SPS
DRAWN BY: GDE/KAG/GAH/ES
CHECKED BY: RHW
DATE: NOVEMBER 2019
SCALE: AS SHOWN
W.O. NO.: 07-11/40111

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NO. 16193 EXPIRATION DATE: 08-27-2023

21 SHEET OF 55

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

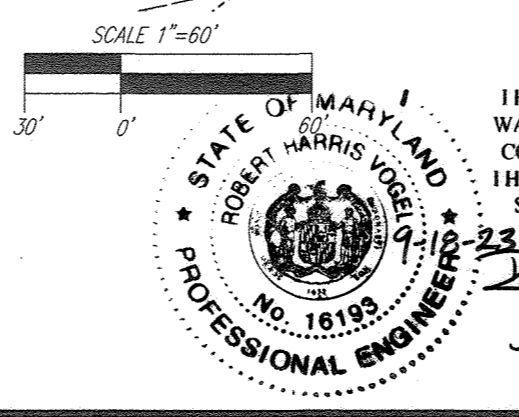
[Signature] 12.3.19 DATE
CHIEF, DEVELOPMENT ENGINEERING DIVISION

[Signature] 12/10/19 DATE
CHIEF, DIVISION OF LAND DEVELOPMENT

[Signature] 12-12-19 DATE
DIRECTOR

NOTES:
1. PERCENT IMPERVIOUS SHOWN, IGNORES STORMWATER MANAGEMENT "CREDITS", I.E. MICRO-BIORETENTION, FILTERRA AND JELLYFISH SYSTEMS.
2. DESIGN ASSUMES COMPLETE FAILURE OF PROPOSED MICRO-SCALE PRACTICES.
3. DELINEATED FUTURE AREAS (FUT) ARE BASED UPON BEST AVAILABLE INFORMATION USED FOR PIPE SIZE/DESIGN TO BE CONSTRUCTED UNDER THIS SDP.
4. DRAINAGE DIVIDES AND HYDROLOGY NORTH AND EAST OF THE PROJECT BOUNDARY ARE TAKEN FROM CAPITAL PROJECT D-1112 & SDP 14-080.

PLAN VIEW
SCALE: 1"=60'



AS-BUILT CERTIFICATION FOR PPSWM

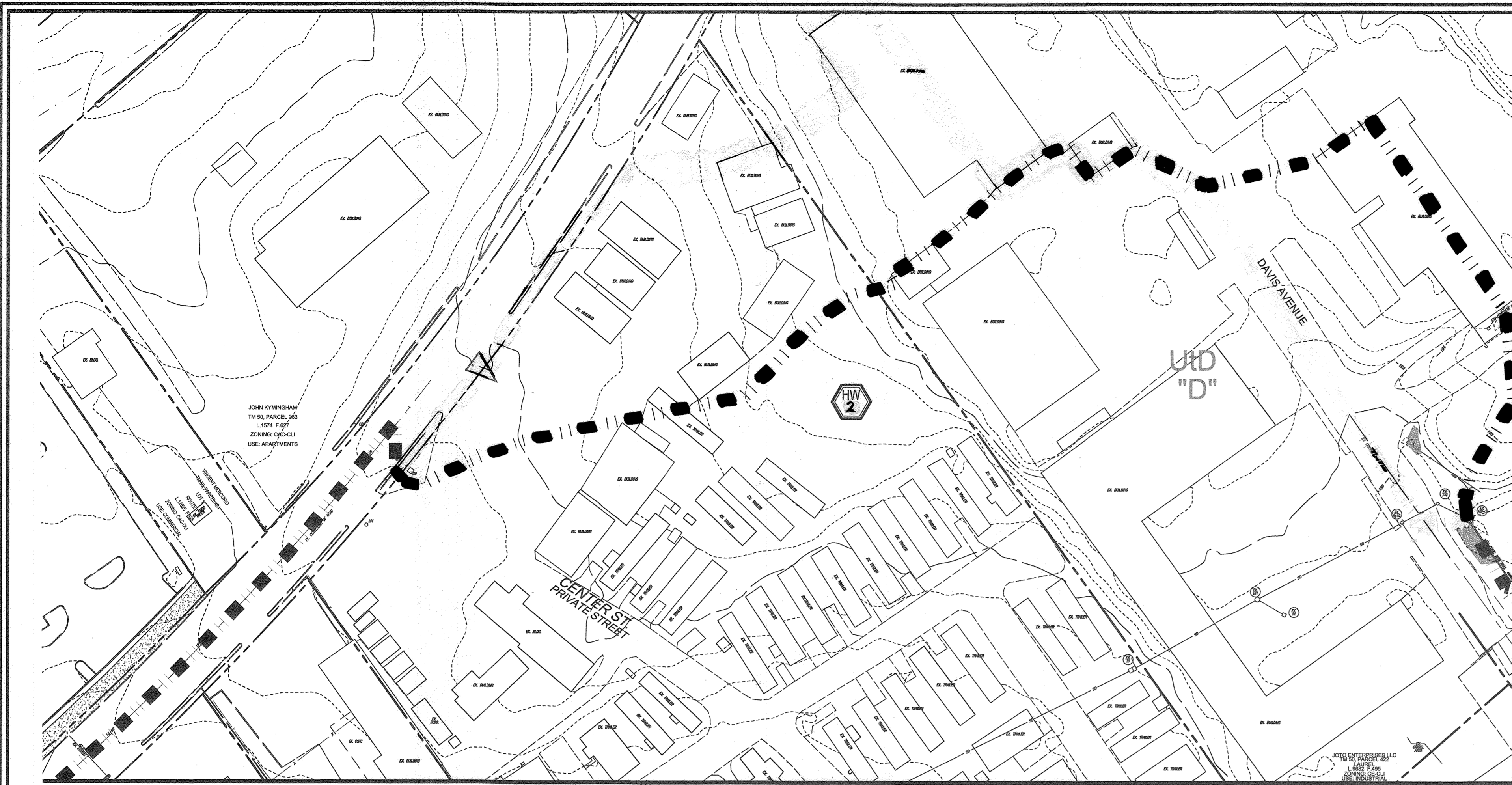
I HEREBY CERTIFY THAT THE FACILITY SHOWN ON THIS PLAN WAS CONSTRUCTED AS SHOWN ON THE "AS-BUILT" PLANS AND COMPLES WITH THE APPROVED PLANS AND SPECIFICATIONS. I HAVE VERIFIED THAT THE CONTRIBUTING DRAINAGE AREA IS SUFFICIENTLY STABILIZED TO PREVENT CLOGGING OF THE UNDERGROUND SWM FACILITY.

NAME: [Signature] P.E.#: 16193 DATE: 9-18-23

LEGEND:

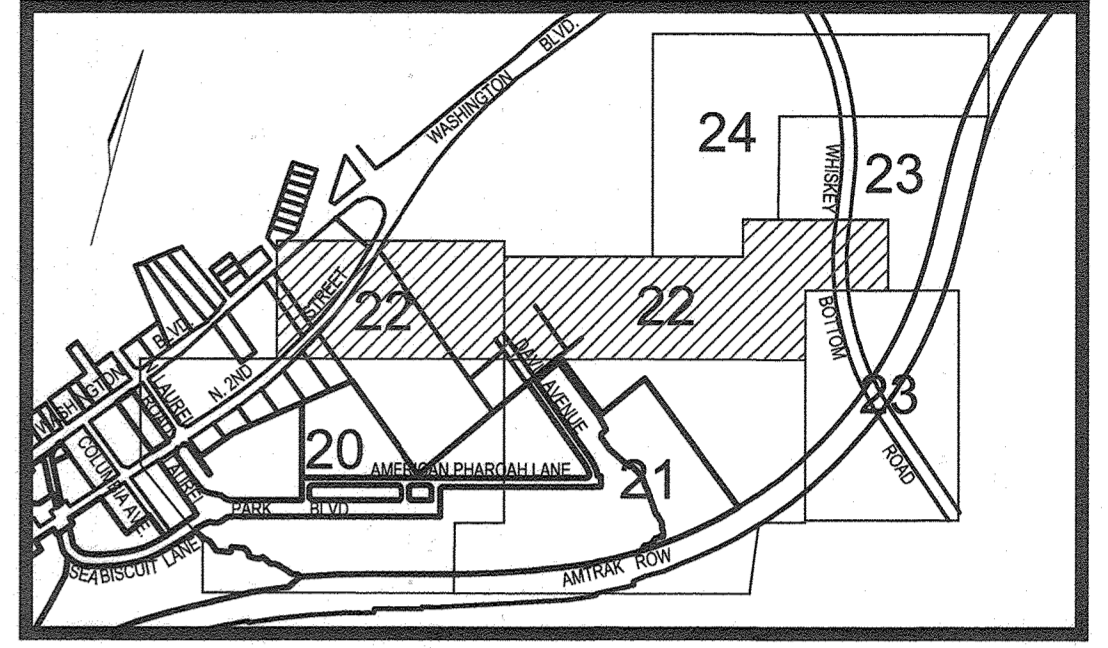
- EXISTING CURB AND GUTTER
- EXISTING CONTOUR
- PROPOSED 10' CONTOUR
- PROPOSED 2' CONTOUR
- SOILS
- EXISTING TREELINE
- PROPERTY LINE
- RIGHT-OF-WAY LINE
- EX. LIMIT OF WETLAND
- EX. WETLAND BUFFER
- DRAINAGE AREA DIVIDE
- PROPOSED STORM DRAIN
- PROPOSED STORM DRAIN INLET
- PROPOSED SIDEWALK
- PROPOSED CURB
- EX. FOREST CONSERVATION FACILITY RESTORATION PLATFORM 15007
- DRAINAGE AREA LABEL

AS-BUILT JULY 2023



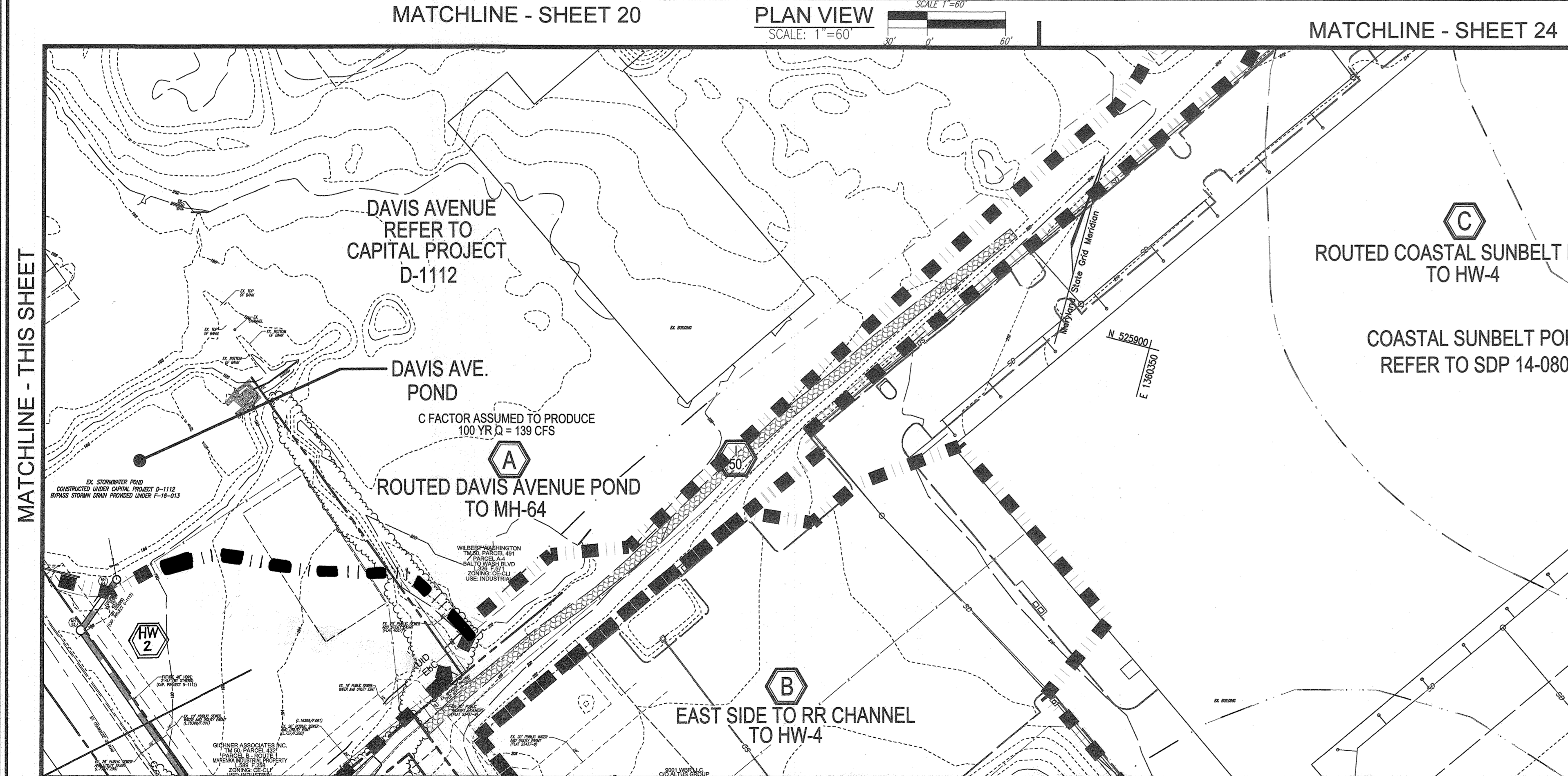
LEGEND:

EXISTING CURB AND GUTTER	PROPOSED STORM DRAIN
EXISTING CONTOUR	PROPOSED STORM DRAIN INLET
PROPOSED 1' CONTOUR	PROPOSED SIDEWALK
PROPOSED 2' CONTOUR	PROPOSED CURB
EXISTING TREE LINE	EX. FOREST CONSERVATION EROSION RETENTION PLAT# 15007
PROPERTY LINE	EX. WETLAND BUFFER
RIGHT-OF-WAY LINE	EX. WETLAND BUFFER
EX. LIMIT OF WETLAND	EX. WETLAND BUFFER
EX. WETLAND BUFFER	EX. WETLAND BUFFER
DRAINAGE AREA DIVIDE	DRAINAGE AREA LABEL



KEY MAP
NOT TO SCALE

NO AS-BUILT INFORMATION ON THIS SHEET



OWNER
TRIPLE BELL FARMS, LLC
198 LAUREL PARK TRAIL RD.
LAUREL, MD 20725
(301) 470-5194

OWNER/DEVELOPER
2006 DELAWARE, INC.
198 LAUREL PARK TRAIL RD.
LAUREL, MD 20725
(301) 470-5194

NO.	REVISION	DATE
5	REVISE PLAN TO SHOW RECONSTRUCTION OF STREAM, ADD STORM DRAIN AND TIE IN PARCEL A-2	9-1-22
3	MODIFICATION OF PHASE I LAYOUT, RENAME PLAN, LANDSCAPING, PRIVATE ROAD IMPROVEMENTS, UTILITY LAYOUT AND STORMWATER MANAGEMENT	09/08/22
2	REVISE THE PLANS TO ILLUSTRATE IRRIGATION LINES WITHIN PRIVATE ROADWAY	07/28/22
1	MODIFICATION OF PHASE I LAYOUT, ROAD LAYOUT, UTILITY LAYOUT, STORMWATER MANAGEMENT, AND BYPASS LAYOUT	06/11/19

REVISED SITE DEVELOPMENT PLAN
STORM DRAIN DRAINAGE AREA MAP
Paddock Pointe-Phase 1
(FORMERLY KNOWN AS LAUREL PARK STATION)
64 APARTMENT AND 156 STACKED TOWNHOUSE CONDO UNITS PARCELS: 384/441
P-384 (L10518/F-157) PARCELS A-2, B-1, B-2, B-3, C-1 (L13286/F-3777)
P-441 (L13286/F-3777) LOTS: K-1, L, AND M
ZONED: T00 LOTS D, E-1, F-1, G, H, & HOWARD COUNTY, MARYLAND

TAX MAP: 50 BLOCK: 10
6TH ELECTION DISTRICT

VOGEL ENGINEERING
TIMMONS GROUP
3300 NORTH RIDGE ROAD, SUITE 110, ELLICOTT CITY, MD 21043
P: 410.461.7666 F: 410.461.8961 www.timmons.com

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

[Signature] 12-3-19
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

[Signature] 12/10/19
CHIEF, DIVISION OF LAND DEVELOPMENT DATE

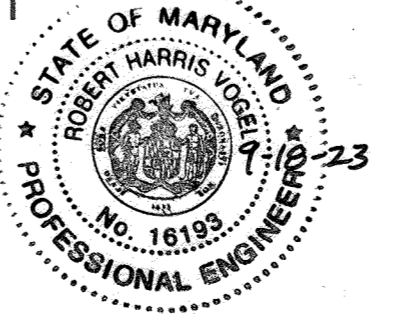
[Signature] 12-12-19
DIRECTOR DATE

PLAN VIEW
SCALE: 1"=60'

MATCHLINE - SHEET 21
AS-BUILT CERTIFICATION FOR PSWM

I HEREBY CERTIFY THAT THE FACILITY SHOWN ON THIS PLAN WAS CONSTRUCTED AS SHOWN ON THE "AS-BUILT" PLANS AND COMPLIES WITH THE APPROVED PLANS AND SPECIFICATIONS. I HAVE VERIFIED THAT THE CONTRIBUTING DRAINAGE AREA IS SUFFICIENTLY STABILIZED TO PREVENT CLOGGING OF THE UNDERGROUND SWM FACILITY.

[Signature] 16193 9-10-23
P.E. NAME P.E.# DATE



- NOTES:**
- PERCENT IMPERVIOUS SHOWN, IGNORES STORMWATER MANAGEMENT "CREDITS", I.E. MICRO-BIORETENTION, FILTERRA AND JELLYFISH SYSTEMS.
 - DESIGN ASSUMES COMPLETE FAILURE OF PROPOSED MICRO-SCALE PRACTICES
 - DELINEATED FUTURE AREAS (FUT) ARE BASED UPON BEST AVAILABLE INFORMATION USED FOR PIPE SIZE/DESIGN TO BE CONSTRUCTED UNDER THIS SDP.
 - DRAINAGE DIVIDES AND HYDROLOGY NORTH AND EAST OF THE PROJECT BOUNDARY ARE TAKEN FROM CAPITAL PROJECT D-1112 & SDP 14-080.

PROFESSIONAL CERTIFICATE

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 16193, EXPIRATION DATE: 08-27-2026.

DESIGN BY: *[Signature]*
DRAWN BY: *[Signature]*
CHECKED BY: *[Signature]*
DATE: NOVEMBER 2019
SCALE: AS SHOWN
W.O. NO.: 07-11/40111

22 SHEET OF 55

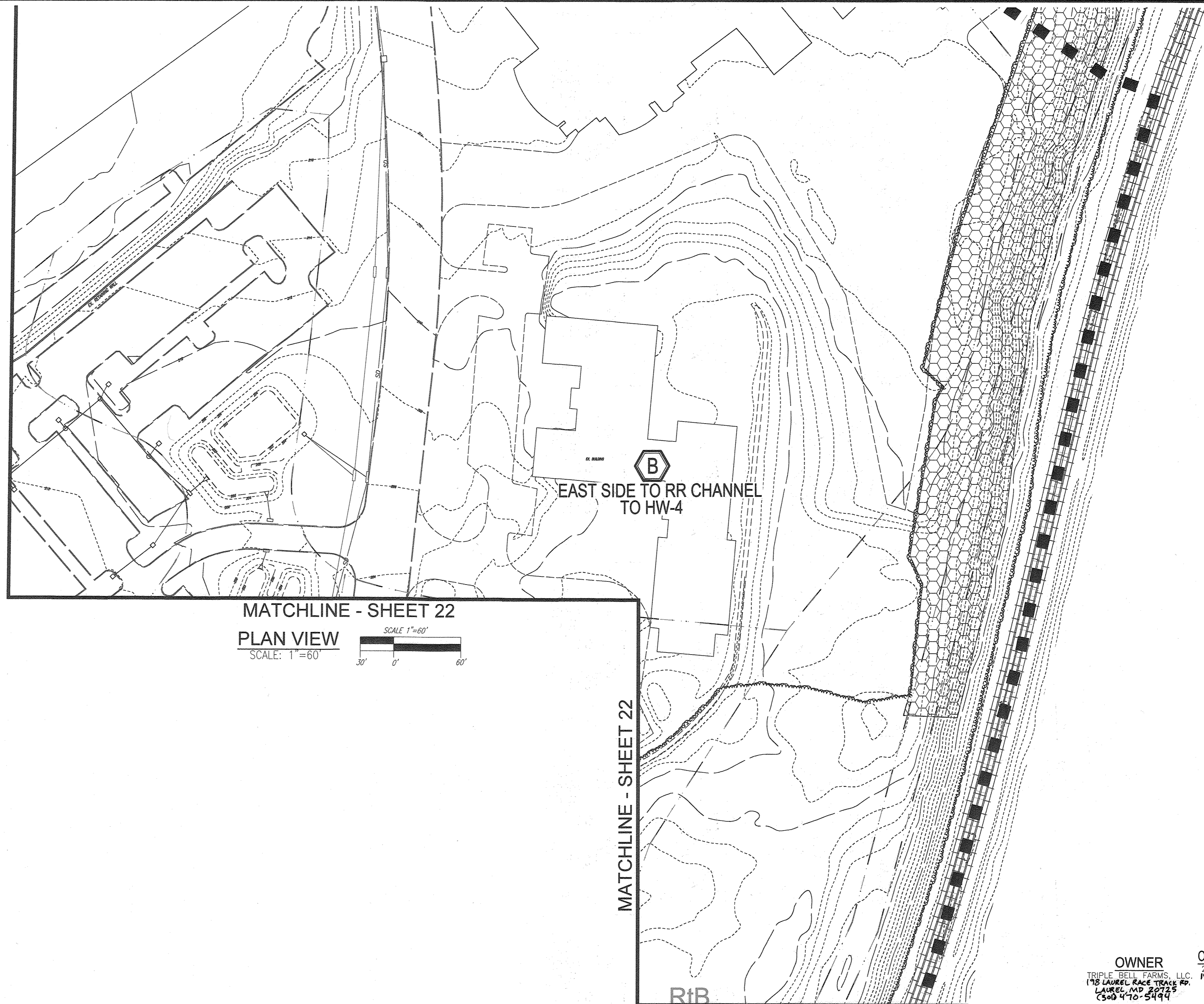
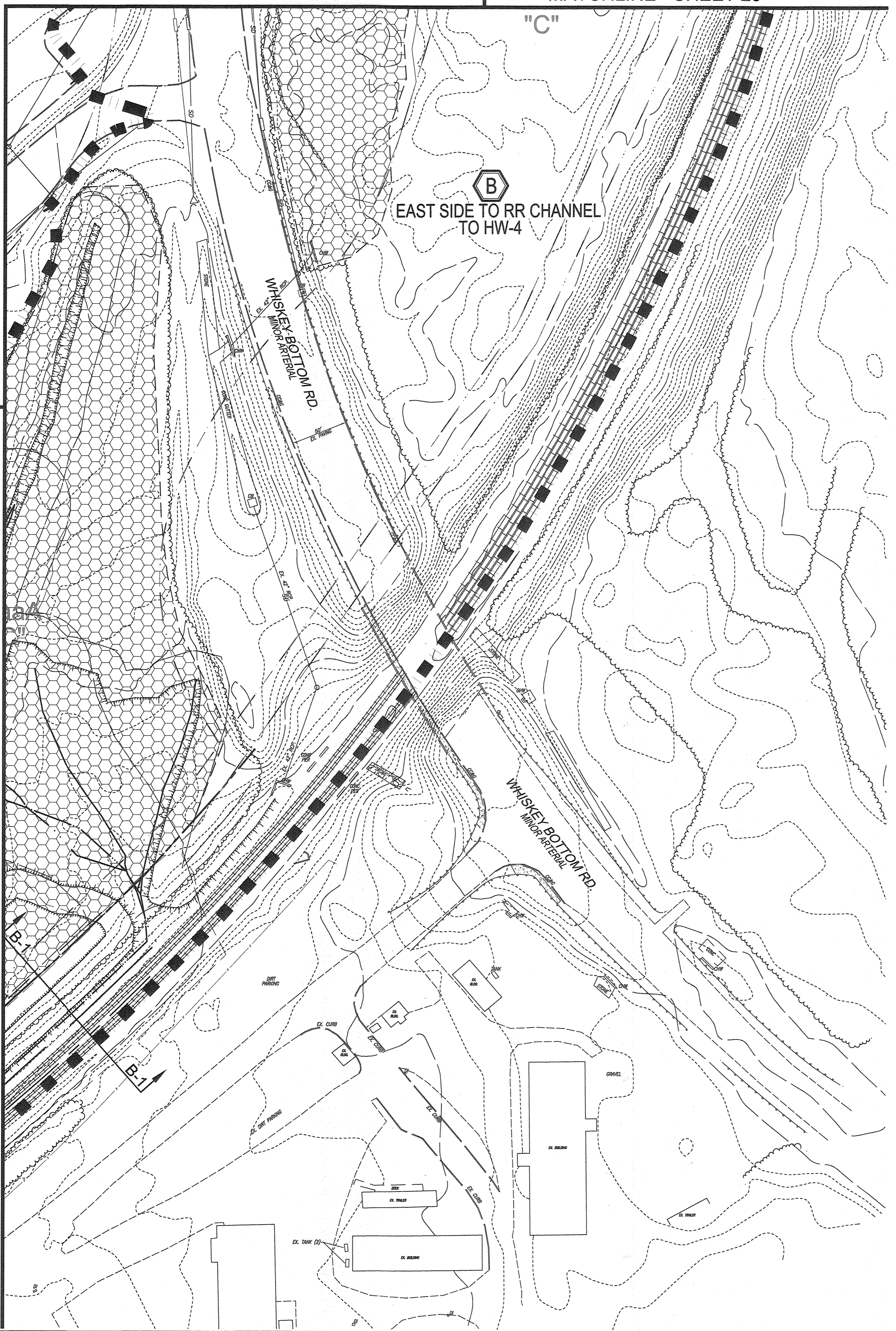
ASBUILT JULY 2023

MATCHLINE - SHEET 22

MATCHLINE - SHEET 23

MATCHLINE - SHEET 22

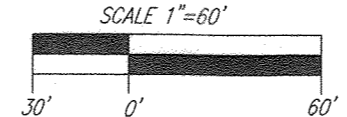
MATCHLINE - SHEET 21



MATCHLINE - SHEET 22

PLAN VIEW

SCALE: 1"=60'



MATCHLINE - SHEET 22

OWNER
TRIPLE BELL FARMS, LLC
198 LAUREL RACE TRAC RD.
LAUREL, MD 20725
(301) 470-5494

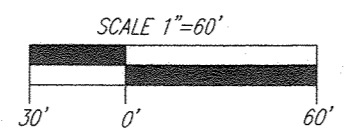
OWNER/DEVELOPER
20005 DELAWARE TRC
198 LAUREL RACE TRAC ED
LAUREL, MD 20725
(301) 470-5411

NO.	REVISION	DATE
5	REVISE PLAN TO SHOW RECONFIGURATION OF STORM, ADD STORM DRAIN AND TRAP AND PARCELS A-2	9-1-22
3	MODIFICATION OF PHASE 1 LAYOUT, RENAMING PLAN, LANDSCAPING, PRIVATE ROAD IMPROVEMENTS, UTILITY LAYOUT AND STORMWATER MANAGEMENT	04/08/20
2	REVISE THE PLANS TO ILLUSTRATE IRRIGATION LINES WITHIN PRIVATE ROADWAY	07/28/20
1	MODIFICATION OF PHASE 1 LAYOUT, ROAD LAYOUT, UTILITY LAYOUT, STORMWATER MANAGEMENT, AND BYPASS LAYOUT	06/11/19

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

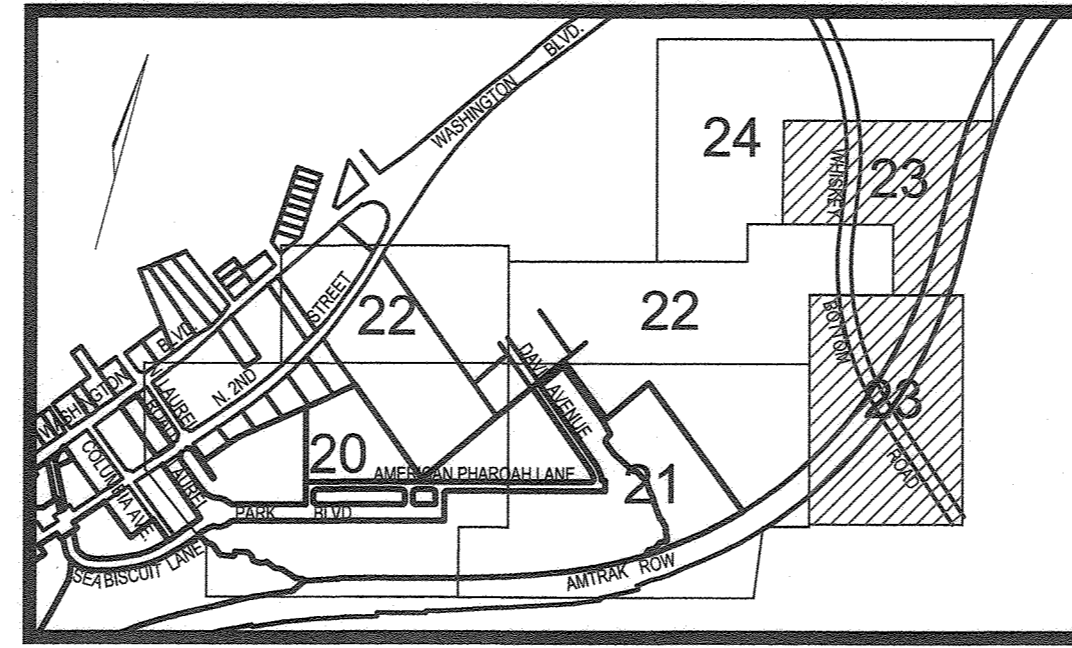
[Signature] 12-3-19
 CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE
[Signature] 12-10-19
 CHIEF, DIVISION OF LAND DEVELOPMENT DATE
[Signature] 12-12-19
 DIRECTOR DATE

PLAN VIEW
SCALE: 1"=60'

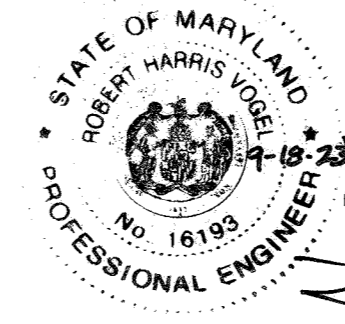


NOTES:

- PERCENT IMPERVIOUS SHOWN, IGNORES STORMWATER MANAGEMENT "CREDITS" I.E. MICRO-BIOTENTION, FILTERRA AND JELLYFISH SYSTEMS.
- DESIGN ASSUMES COMPLETE FAILURE OF PROPOSED MICRO-SCALE PRACTICES
- DELINEATED FUTURE AREAS (FUT) ARE BASED UPON BEST AVAILABLE INFORMATION USED FOR PIPE SIZE/DESIGN TO BE CONSTRUCTED UNDER THIS SDP.
- DRAINAGE DIVIDES AND HYDROLOGY NORTH AND EAST OF THE PROJECT BOUNDARY ARE TAKEN FROM CAPITAL PROJECT D-1112 & SDP-14-080.



KEY MAP
NOT TO SCALE



AS-BUILT CERTIFICATION FOR PSWM

I HEREBY CERTIFY THAT THE FACILITY SHOWN ON THIS PLAN WAS CONSTRUCTED AS SHOWN ON THE "AS-BUILT" PLANS AND COMPLIES WITH THE APPROVED PLANS AND SPECIFICATIONS. I HAVE VERIFIED THAT THE CONTRIBUTING DRAINAGE AREA IS SUFFICIENTLY STABILIZED TO PREVENT CLOGGING OF THE UNDERGROUND SWM FACILITY.

P.E. NAME: *[Signature]* 16193 DATE: 9-18-23

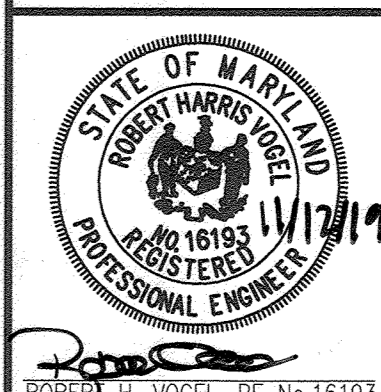
NO AS-BUILT INFORMATION ON THIS SHEET

LEGEND:

- EXISTING CURB AND GUTTER
- EXISTING CONTOUR
- PROPOSED 10' CONTOUR
- PROPOSED 2' CONTOUR
- SOILS
- EXISTING TREELINE
- PROPERTY LINE
- RIGHT-OF-WAY LINE
- EX. LIMIT OF WETLAND
- EX. WETLAND BUFFER
- DRAINAGE AREA DIVIDE
- PROPOSED STORM DRAIN INLET
- PROPOSED SIDEWALK
- PROPOSED CURB
- EX. FOREST CONSERVATION EASEMENT RETENTION PLANT 15007
- DRAINAGE AREA LABEL

REVISED SITE DEVELOPMENT PLAN
STORM DRAIN DRAINAGE AREA MAP
PADDOCK POINT- PHASE 1
 (FORMERLY KNOWN AS LAUREL PARK STATION)
 64 APARTMENT AND 156 STACKED TOWNHOUSE CONDO UNITS PARCELS: 384/441
 P.384 (L10518/F.157) PARCELS A-2, B-1, B-2
 P.441 (L13295/F.377) PARCELS B-3, C-1, F-1, G, H, AND
 ZONED: TOD LOTS D, E-1, F-1, G, H, AND
 HOWARD COUNTY, MARYLAND

VOGEL ENGINEERING
TIMMONS GROUP
 3300 NORTH RIDGE ROAD, SUITE 110, ELLICOTT CITY, MD 21043
 P: 410.461.7666 F: 410.461.8961 www.timmons.com

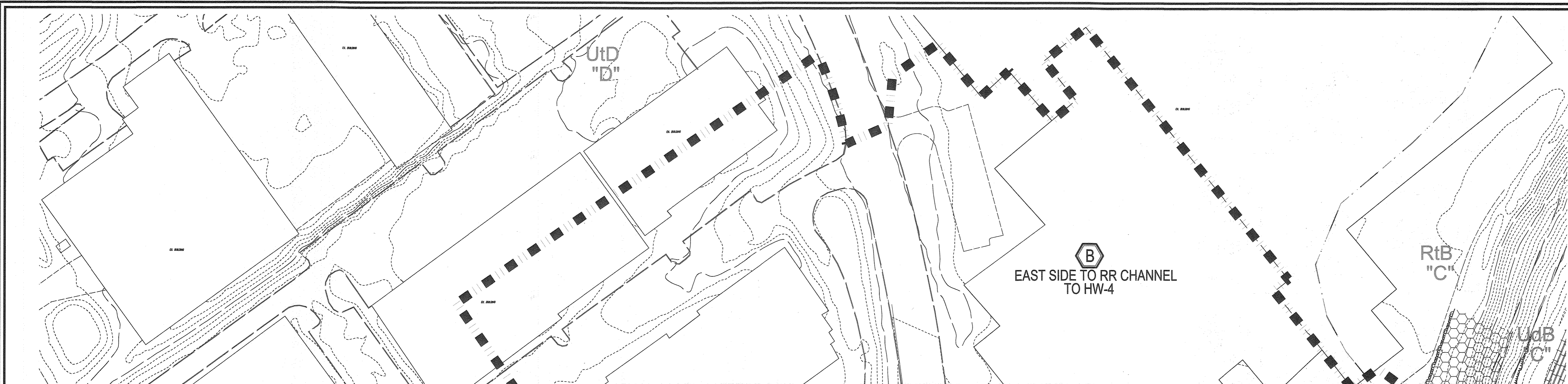


DESIGN BY: *[Signature]*
 DRAWN BY: *[Signature]*
 CHECKED BY: *[Signature]*
 DATE: NOVEMBER 2019
 SCALE: AS SHOWN
 W.O. NO.: 07-11/40111

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A FULLY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND. MY EXPIRATION DATE IS 08-27-2020.

23 SHEET OF 55

ASBUILT JULY 2023



PLAN VIEW
SCALE: 1"=60'

MATCHLINE - SHEET 23

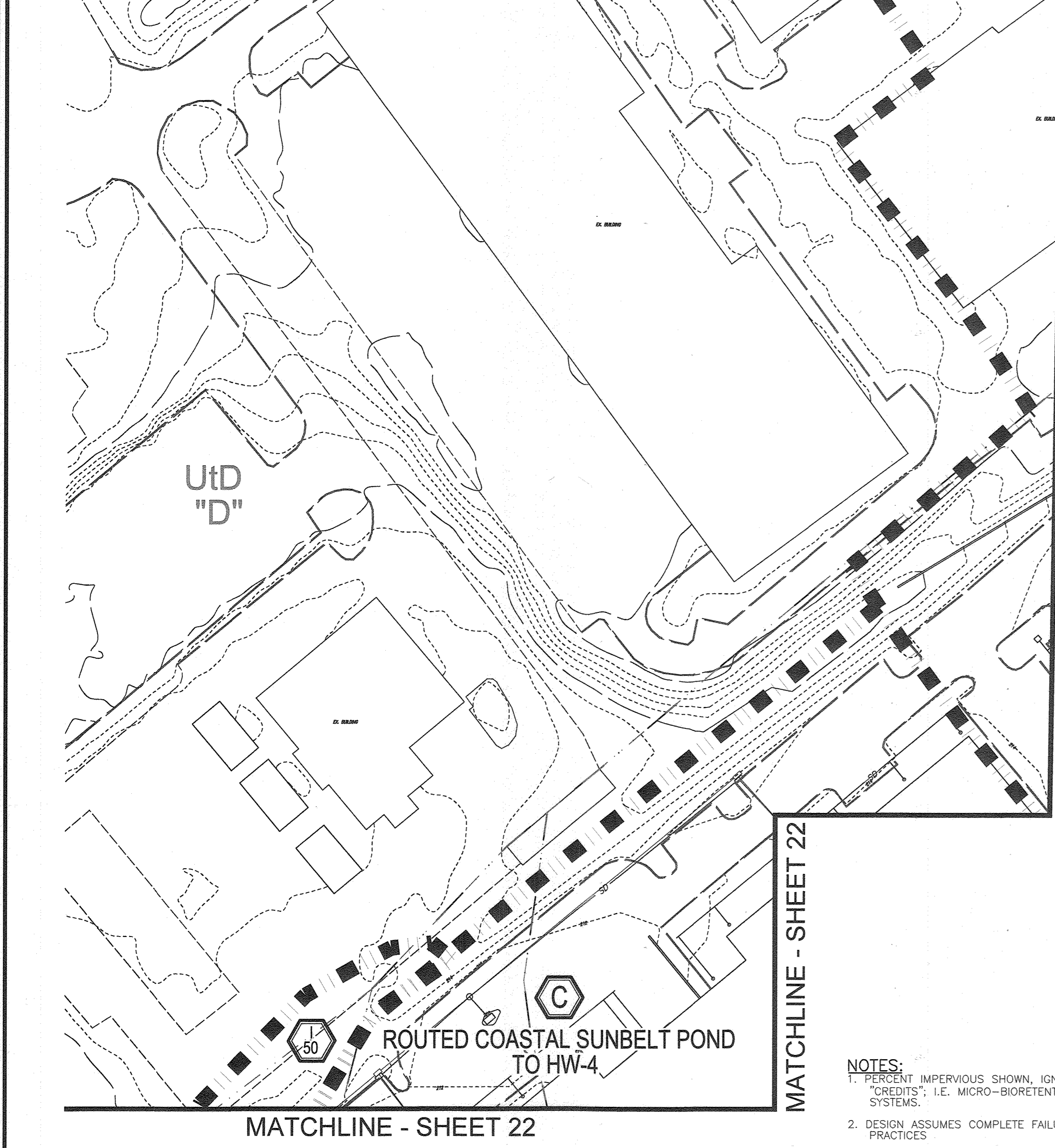
DRAINAGE AREAS FOR STORM DRAINAGE				DRAINAGE AREAS FOR STORM DRAINAGE			
AREA NO.	AREA (AC.)	C FACTOR	IMPERVIOUS %	AREA NO.	AREA (AC.)	C FACTOR	IMPERVIOUS %
I-1	0.31	0.6713	70.97	I-40	0.57	0.8030	91.23
I-2	0.29	0.7928	89.66	I-43	0.25	0.7820	88.00
I-3	0.10	0.8600	100.00	I-44	0.25	0.8340	96.00
I-4	0.15	0.6867	73.33	I-45	0.65	0.7900	89.23
I-5	0.31	0.6923	74.19	I-46	0.41	0.7332	80.49
I-6	0.46	0.7046	76.09	I-47	0.55	0.6709	70.91
I-6A	0.09	0.2100	0.00	I-48	0.05	0.8600	100.00
I-7	0.21	0.7362	80.95	I-49	0.62	0.5056	46.85
I-8	0.51	0.7071	76.47	I-50	2.06	0.6700	72.00
I-9	0.16	0.7788	87.50	I-51	0.12	0.2100	0.00
I-10	0.36	0.6794	72.22	I-52	0.16	0.6569	68.75
I-11	0.10	0.2100	0.00	I-53	0.10	0.4700	40.00
I-12	0.25	0.8600	100.00	I-54	0.17	0.7855	88.24
I-13	0.31	0.7761	87.10	I-55	0.48	0.7788	87.50
I-14	0.26	0.7100	76.92	I-56	0.11	0.5645	54.55
I-15	0.24	0.7517	83.33	I-57	0.11	0.7418	81.82
I-16	0.55	0.7891	89.09	I-58	0.11	0.7418	81.82
I-17	0.30	0.8167	93.33	I-59	0.03	0.4267	33.33
I-18	0.20	0.7625	85.00	I-60	0.13	0.8100	92.31
I-19	0.09	0.7156	77.78	I-61	0.13	0.7100	76.92
I-20	0.08	0.7788	87.50	I-62	0.24	0.6704	70.83
I-21	0.33	0.8009	90.91	I-63	0.59	0.7056	76.27
I-22	0.54	0.7998	90.74	I-64	0.36	0.7878	88.89
I-23	0.11	0.2100	0.00	I-65	0.91	0.7900	84.62
I-24	0.11	0.7220	78.77	I-66	0.11	0.7418	81.82
I-25	0.02	0.3796	25.17	I-67	0.15	0.6867	73.33
I-26	0.12	0.6433	66.67	I-68	0.29	0.6583	68.97
I-27	0.64	0.4780	62.19	MH-1	0.54	0.8600	100.00
I-28	0.48	0.7381	81.25	MH-2	4.03	0.8600	100.00
I-29	0.46	0.4285	59.13	ES-1	1.39	0.9600	100.00
I-30	0.35	0.2967	37.57	HW-2	11.34	0.6103	59.72
I-31	0.10	0.7941	80.63	CO-3	0.07	0.8600	100.00
I-32	0.79	0.7942	89.87	CO-6	0.08	0.8600	100.00
I-33	0.19	0.7916	89.47	CO-8	0.08	0.8600	100.00
I-34	0.44	0.7270	79.55	CO-9	0.08	0.8600	100.00
I-35	0.31	0.6084	61.29	PT-1	0.21	0.68	70.0
				FIGURE A-2 (MH-5)	3.43	0.8220	93.87

DRAINAGE AREAS FOR STORM DRAINAGE DAVIS ROAD BYPASS			
AREA NO.	AREA (AC.)	C FACTOR	C FACTOR
A	32.96	100 YEAR	10 YEAR
B	52.92	0.7008	0.5725
C	17.07	*	*
D	3.52	0.8900	0.7200
E	2.98	0.8900	0.7200
F	1.29	0.8900	0.7200
G	0.43	0.3448	0.2793
H	0.36	0.2570	0.2070
I	0.37	0.4330	0.3699
J	0.39	0.4266	0.3642
MH-49	1.61	0.8900	0.7200
MH-48	1.17	0.8900	0.7200
MH-46	0.87	0.8900	0.7200

OWNER
TRIPLE BELL FARMS, LLC.
198 LAUREL RACE TRACK RD.
LAUREL, MD 20712
(301) 470-5444

OWNER/DEVELOPER
28008 BELLAIR TRAIL
198 LAUREL RACE TRACK RD.
LAUREL, MD 20712
(301) 470-5444

NO.	REVISION	DATE
5	REVISE PLAN TO SHOW RECONFIGURATION OF STREAM; ADD STORM DRAIN AND TREAT ON POND	09/11/22
5	MODIFICATION OF PHASE I LAYOUT, RENAME PLAN, LANDSCAPING, PRIVATE ROAD IMPROVEMENTS, UTILITY LAYOUT AND STORMWATER MANAGEMENT	09/08/20
2	REVISE THE PLANS TO ILLUSTRATE IRRIGATION LINES WITHIN PRIVATE ROADWAY	07/28/20
1	MODIFICATION OF PHASE I LAYOUT, ROAD LAYOUT, UTILITY LAYOUT, STORMWATER MANAGEMENT, AND BYPASS LAYOUT	06/11/19



PLAN VIEW
SCALE: 1"=60'

MATCHLINE - SHEET 23

DRAINAGE AREAS FOR STORM DRAINAGE				DRAINAGE AREAS FOR STORM DRAINAGE			
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I-10	0.36	0.6794	72.22	I-52	0.16	0.6569	68.75
I-11	0.10	0.2100	0.00	I-53	0.10	0.4700	40.00
I-12	0.25	0.8600	100.00	I-54	0.17	0.7855	88.24
I-13	0.31	0.7761	87.10	I-55	0.48	0.7788	87.50
I-14	0.26	0.7100	76.92	I-56	0.11	0.5645	54.55
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NO.	REVISION	DATE
5	REVISE PLAN TO SHOW RECONFIGURATION OF STREAM; ADD STORM DRAIN AND TREAT ON POND	09/11/22
5	MODIFICATION OF PHASE I LAYOUT, RENAME PLAN, LANDSCAPING, PRIVATE ROAD IMPROVEMENTS, UTILITY LAYOUT AND STORMWATER MANAGEMENT	09/08/20
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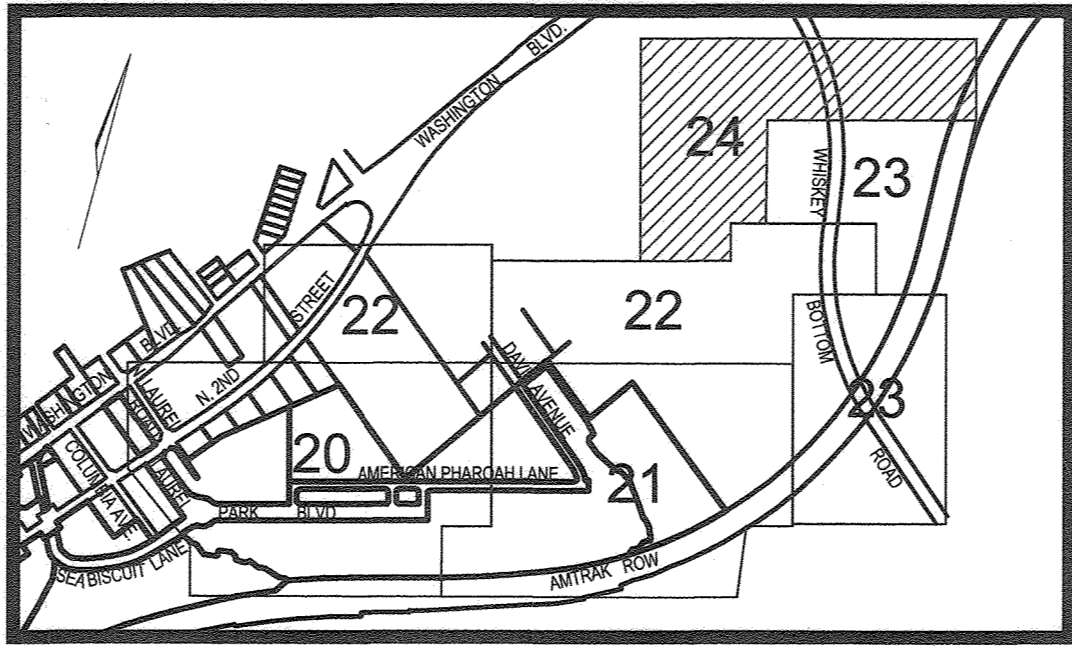
APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

[Signature] 12-3-19
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

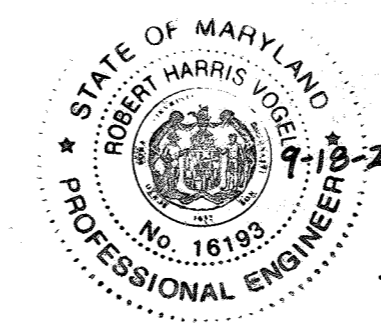
[Signature] 12-10-19
CHIEF, DIVISION OF LAND DEVELOPMENT DATE

[Signature] 12-12-19
DIRECTOR DATE

- NOTES:
- PERCENT IMPERVIOUS SHOWN, IGNORES STORMWATER MANAGEMENT "CREDITS", I.E. MICRO-BIOTENTION, FILTERRA AND JELLYFISH SYSTEMS.
 - DESIGN ASSUMES COMPLETE FAILURE OF PROPOSED MICRO-SCALE PRACTICES
 - DELINEATED FUTURE AREAS (FUT) ARE BASED UPON BEST AVAILABLE INFORMATION USED FOR PIPE SIZE/DESIGN TO BE CONSTRUCTED UNDER THIS SDP.
 - DRAINAGE DIVIDES AND HYDROLOGY NORTH AND EAST OF THE PROJECT BOUNDARY ARE TAKEN FROM CAPITAL PROJECT D-1112 & SDP 14-080.



KEY MAP
NOT TO SCALE



AS-BUILT CERTIFICATION FOR PSWM

I HEREBY CERTIFY THAT THE FACILITY SHOWN ON THIS PLAN WAS CONSTRUCTED AS SHOWN ON THE "AS-BUILT" PLANS AND COMPLIES WITH THE APPROVED PLANS AND SPECIFICATIONS. I HAVE VERIFIED THAT THE CONTRIBUTING DRAINAGE AREA IS SUFFICIENTLY STABILIZED TO PREVENT CLOGGING OF THE UNDERGROUND SWM FACILITY.

16193
P.E.#

9-10-23
DATE

No AS-BUILT INFORMATION ON THIS SHEET

LEGEND:

	EXISTING CURBS AND GUTTERS		PROPOSED STORM DRAIN
	EXISTING CONTOUR		PROPOSED STORM DRAIN INLET
	PROPOSED 10' CONTOUR		PROPOSED SIDEWALK
	PROPOSED 2' CONTOUR		PROPOSED STORM DRAIN
	SOILS		PROPOSED STORM DRAIN
	EXISTING TREE LINE		PROPOSED STORM DRAIN
	PROPERTY LINE		PROPOSED STORM DRAIN
	RIGHT-OF-WAY LINE		PROPOSED STORM DRAIN
	EX. LIMIT OF WETLAND		PROPOSED STORM DRAIN
	EX. WETLAND BUFFER		PROPOSED STORM DRAIN
	DRAINAGE AREA DIVIDE		PROPOSED STORM DRAIN
			DRAINAGE AREA LABEL

REVISED SITE DEVELOPMENT PLAN

STORM DRAIN DRAINAGE AREA MAP

PADDOCK POINT - PHASE I

(FORMERLY KNOWN AS LAUREL PARK STATION)

64 APARTMENT AND 156 STACKED TOWNHOUSE CONDO UNITS PARCELS: 384/441
P.384 (L10518/F.157) PARCELS A-2, B-1, B-2
P.441 (L13206/F.377) PARCELS C-1, C-1.1, AND
ZONED: TOD LOTS D, E-1, F-1, G, H, & J
HOWARD COUNTY, MARYLAND

TAX MAP: 50 BLOCK: 10
6TH ELECTION DISTRICT

VOGEL ENGINEERING

TIMMONS GROUP

3300 NORTH RIDGE ROAD, SUITE 110, ELLICOTT CITY, MD 21043
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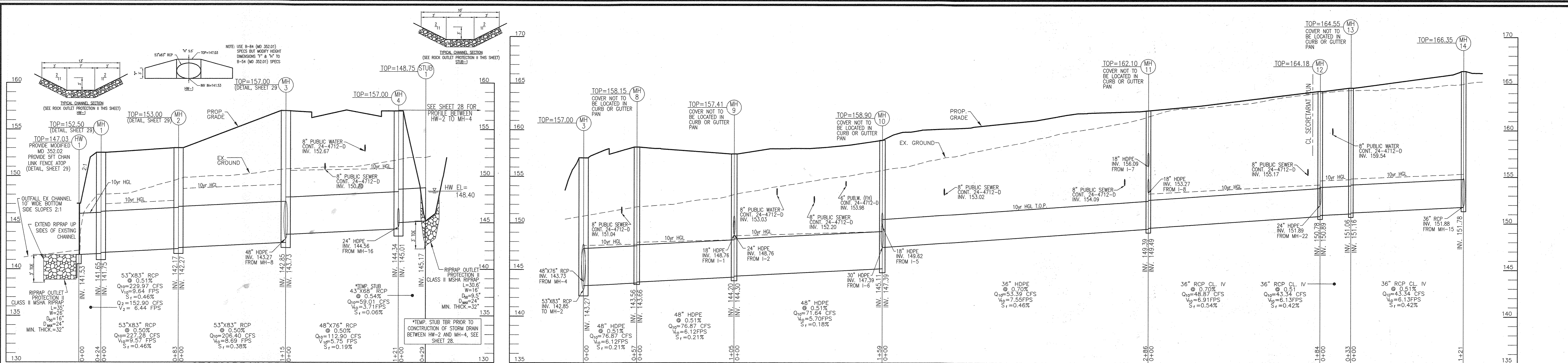
PROFESSIONAL CERTIFICATE

DESIGN BY: RHW/DE/ES/APS
DRAWN BY: STE/KJG/GAH/ES
CHECKED BY: RHW
DATE: NOVEMBER 2019
SCALE: AS SHOWN
W.O. NO.: 07-11/40111

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND. MY LICENSE NO. IS 16193 AND EXPIRES ON 08-27-2020.

24 SHEET OF 55

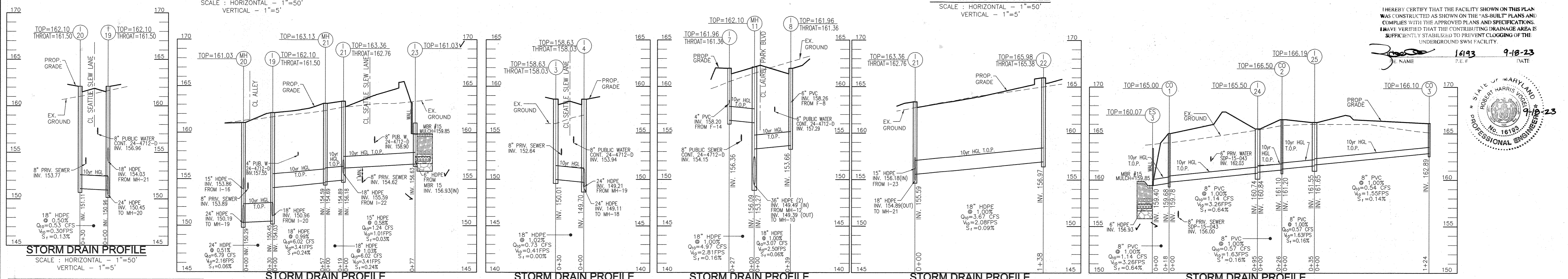
AS-BUILT JULY 2023



STORM DRAIN PROFILE
SCALE: HORIZONTAL - 1"=50'
VERTICAL - 1"=5'

STORM DRAIN PROFILE
SCALE: HORIZONTAL - 1"=50'
VERTICAL - 1"=5'

AS-BUILT CERTIFICATION FOR PWSM
HEREBY CERTIFY THAT THE FACILITY SHOWN ON THIS PLAN WAS CONSTRUCTED AS SHOWN ON THE "AS-BUILT" PLANS AND COMPLES WITH THE APPROVED PLANS AND SPECIFICATIONS. I HAVE VERIFIED THAT THE CONTRIBUTING DRAINAGE AREA IS SUFFICIENTLY STABILIZED TO PREVENT CLOGGING OF THE UNDERGROUND SWM FACILITY.



STORM DRAIN PROFILE
SCALE: HORIZONTAL - 1"=50'
VERTICAL - 1"=5'

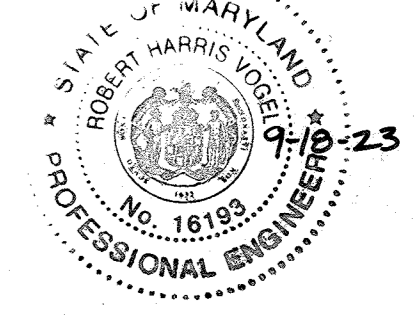
STORM DRAIN PROFILE
SCALE: HORIZONTAL - 1"=50'
VERTICAL - 1"=5'

STORM DRAIN PROFILE
SCALE: HORIZONTAL - 1"=50'
VERTICAL - 1"=5'

STORM DRAIN PROFILE
SCALE: HORIZONTAL - 1"=50'
VERTICAL - 1"=5'

STORM DRAIN PROFILE
SCALE: HORIZONTAL - 1"=50'
VERTICAL - 1"=5'

DATE: 9-18-23
SCALE: 1"=50'



DETAIL D-4-1-B ROCK OUTLET PROTECTION II

STANDARD SYMBOL: [Symbol]

DISCHARGE TO CONFINED CHANNEL SECTION

PLAN VIEW: Shows riprap outlet protection with a 1/2" slope to the outlet.

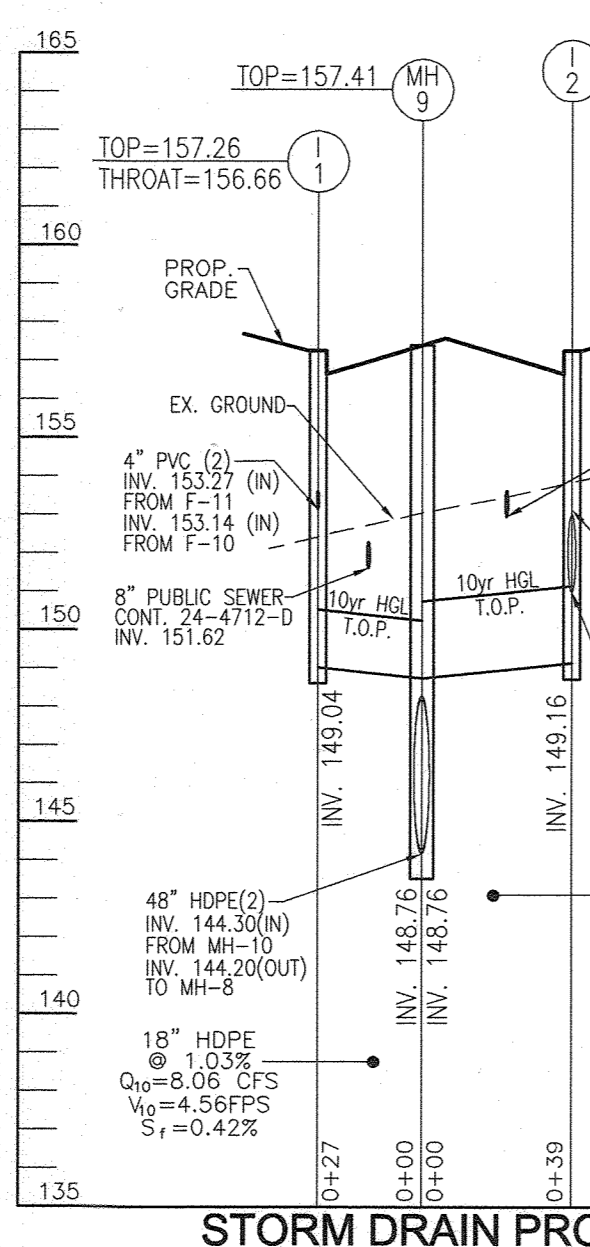
SECTION A-A: Shows the cross-section of the riprap outlet protection, including the riprap layer and the outlet pipe.

CONSTRUCTION SPECIFICATIONS:

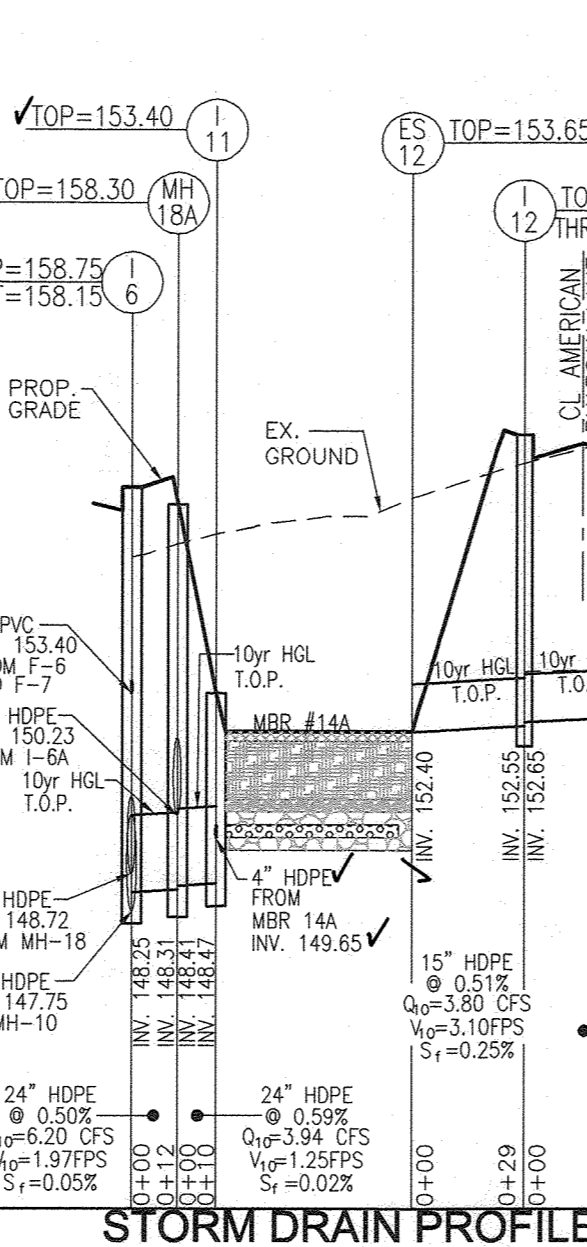
1. RIPRAP AND STONE MUST CONFORM TO THE SPECIFIED CLASS.
2. USE NONWOVEN GEOTEXTILE AS SHOWN IN SECTION A-A MATERIAL AND PROTECT FROM PUNCTURING, CUTTING OR TEARING. REPAIR ANY DAMAGE OTHER THAN AN OCCASIONAL SMALL HOLE BY PLACING ANOTHER PIECE OF GEOTEXTILE OVER THE DAMAGED PART OR BY COMBING TOGETHER THE GEOTEXTILE. PROVIDE A MINIMUM OF ONE FOOT OVERLAP FOR ALL REPAIRS AND FOR JOINING TWO PIECES OF GEOTEXTILE TOGETHER.
3. PREPARE THE SUBGRADE FOR GEOTEXTILE OR STONE FILTER (6 TO 18 INCH STONE FOR 4 INCH RIPRAP) AND RIPRAP TO THE REQUIRED THICKNESS AND GRAD. CONTACT ANY FILL REQUIRED IN THE SUBGRADE TO A DENSITY OF APPROXIMATELY 95% OF THE SURROUNDING UNDISTURBED MATERIAL.
4. EXTEND GEOTEXTILE AT LEAST 6 INCHES BEYOND DEGREE AND LINED AT LEAST 4 INCHES AT SIDE OF RIPRAP.
5. CONTRIBUTE RIPRAP THICKNESS TO FULL COURSE THICKNESS IN ONE OPERATION AND IN SUCH A MANNER THAT WILL INSURE THAT IT IS REASONABLY HOMOGENEOUS WITH THE SMALLER STONES AND SHALL BEING THE VERTICAL SURFACE OF THE OUTLET PIPE, AND BEYOND THE STONE UNDER THE OUTLET BY A MINIMUM OF 18 INCHES TO THE EXTENT NECESSARY.
6. WHERE NO ENDWALL IS USED, CONTRIBUTE THE UPSTREAM END OF THE RIPRAP SO THAT THE WIDTH IS TWO TIMES THE DIAMETER OF THE OUTLET PIPE, AND BEYOND THE STONE UNDER THE OUTLET BY A MINIMUM OF 18 INCHES TO THE EXTENT NECESSARY.
7. CONTRIBUTE RIPRAP WITH ONE SIDE ALONG ITS LENGTH AND WITHOUT OBSTRUCTIONS. PLACE STONE SO THAT IT BLENDS IN WITH EXISTING GROUND.
8. MAINTAIN LINE GRADE AND CROSS SECTION. KEEP OUTLET FREE OF OBSTRUCTION. REMOVE ACCUMULATED SEDIMENT AND RUBBISH. AT 100 FOOT LONG RIPRAP FOR SCOUR AND DELUGED RIPRAP, MAKE NECESSARY REPAIRS IMMEDIATELY.

MINIMUM STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL.

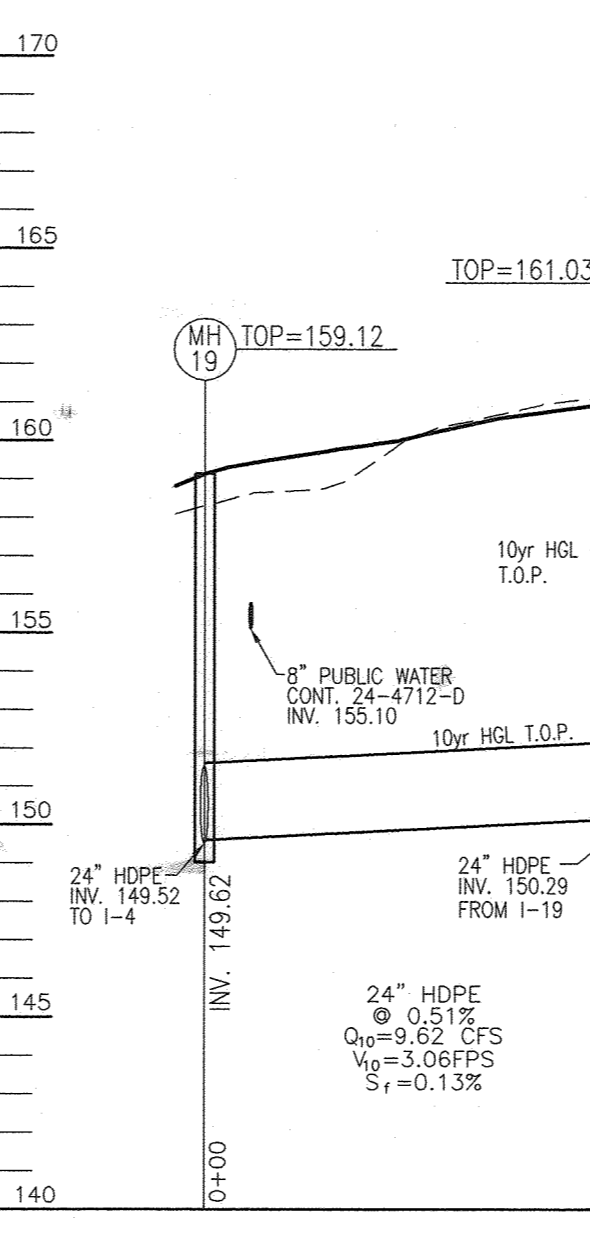
U.S. DEPARTMENT OF AGRICULTURE | NATIONAL SERVICE CENTER | 2011 | NATIONAL SYSTEM OF CONSERVATION SERVICE | WATER MANAGEMENT ADMINISTRATION



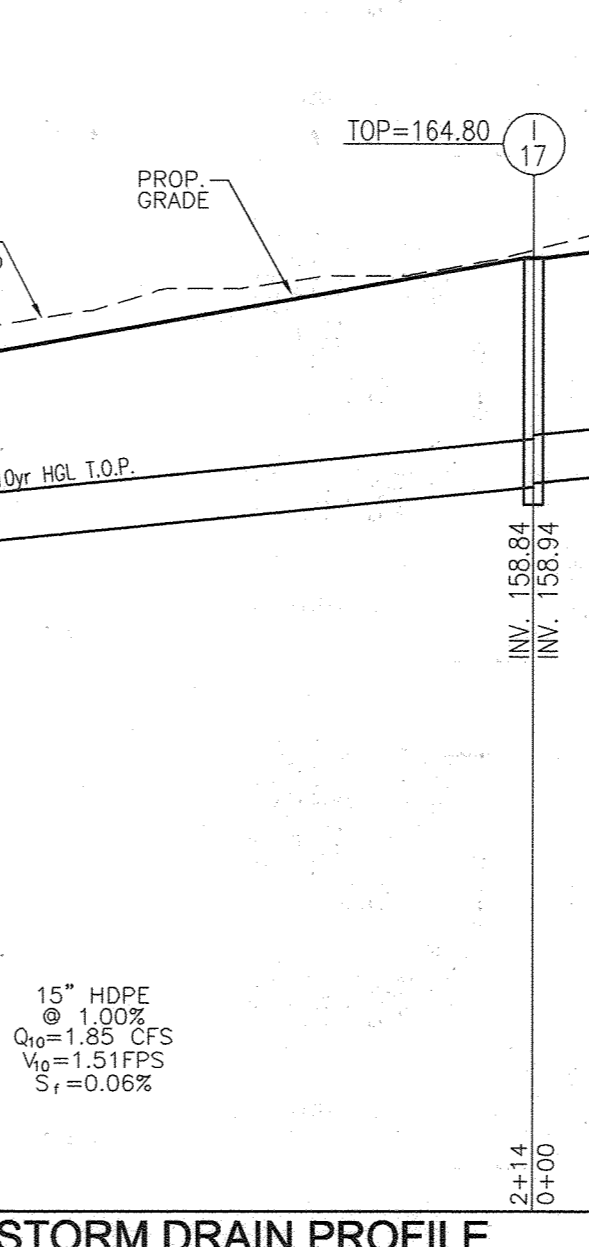
STORM DRAIN PROFILE
SCALE: HORIZONTAL - 1"=50'
VERTICAL - 1"=5'



STORM DRAIN PROFILE
SCALE: HORIZONTAL - 1"=50'
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STORM DRAIN PROFILE
SCALE: HORIZONTAL - 1"=50'
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STORM DRAIN PROFILE
SCALE: HORIZONTAL - 1"=50'
VERTICAL - 1"=5'

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

Chad Clark 5-18-23
CHIEF, DEVELOPMENT ENGINEERING DIVISION

Mary A. Kendall 9/5/23
CHIEF, DIVISION OF LAND DEVELOPMENT

NOTE:

1. FUTURE PIPE CONNECTION TO THIS SITE PLAN (SDP-15-043) STORM DRAIN SYSTEM MAY REQUIRE "DRIP STONE LANDINGS" PER MD 384.13.
2. FOR FILTERRA INVERTS, SEE SHEET 38.

NO.	REVISION	DATE
6	REVISE THE PLAN TO SHOW AS-BUILT CONDITIONS.	03/24/23
5	REVISE PLAN TO SHOW RECONFIGURATION OF STREAM; ADD STORM DRAIN AND TRAP ON PARCEL A-2	09/01/22
4	ADD DUMPSTER FOR BUILDING #4; ADD SIDEWALK TO RIGHT SIDE OF RUFFIAN WAY	05/07/21
3	MODIFICATION OF PHASE 1 LAYOUT, RENAME PLAN, LANDSCAPING, PRIVATE ROAD IMPROVEMENTS, UTILITY LAYOUT AND STORMWATER MANAGEMENT.	09/08/20
2	REVISE THE PLANS TO ILLUSTRATE IRRIGATION LINES WITHIN PRIVATE ROADWAY	07/28/20
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REVISED SITE DEVELOPMENT PLAN

STORM DRAIN PROFILES

Paddock Pointe - Phase 1
(FORMERLY KNOWN AS LAUREL PARK STATION)
44 APARTMENT AND 158 SINGLED CONDOS UNITS
P.384 (L10518/F.157) PARCELS 384/441
P.441 (L13286/F.377) PARCELS A-2, B-1, B-2, B-3, C-1, J, K-1, L, AND LOTS D, E-1, F-1, G, H, & I
6TH ELECTION DISTRICT
ZONED: TOD

VOGEL ENGINEERING

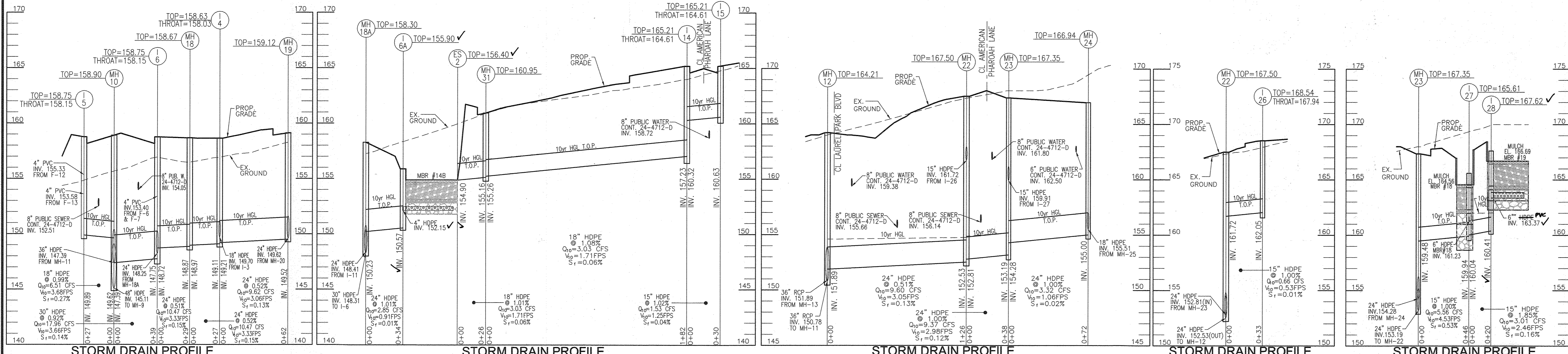
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PROFESSIONAL CERTIFICATE

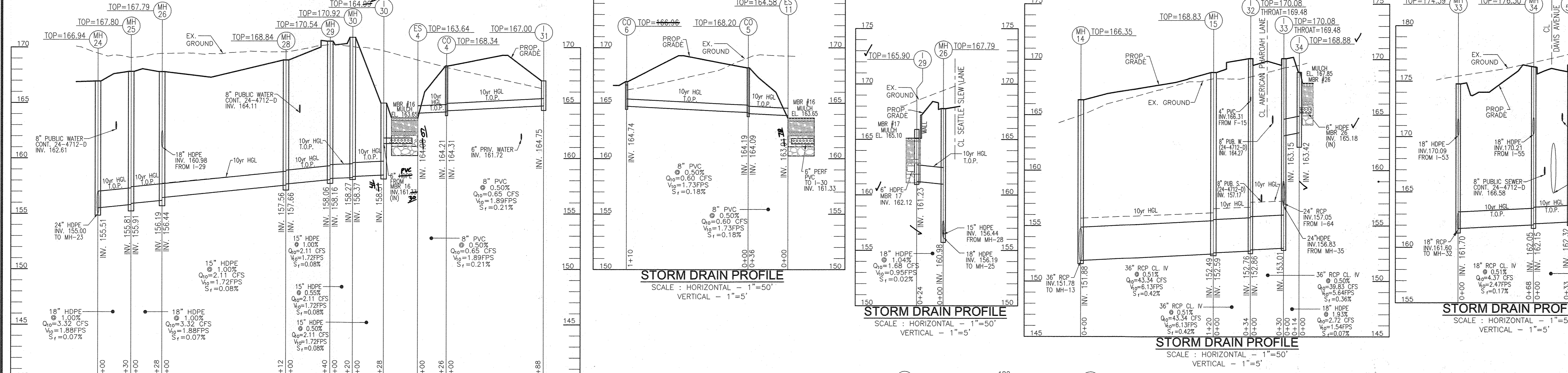
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DESIGN BY: RHW/DZE
DRAWN BY: DZE
CHECKED BY: RHW
DATE: JAN 2023
SCALE: AS SHOWN
W.O. NO.: 07-11/40111

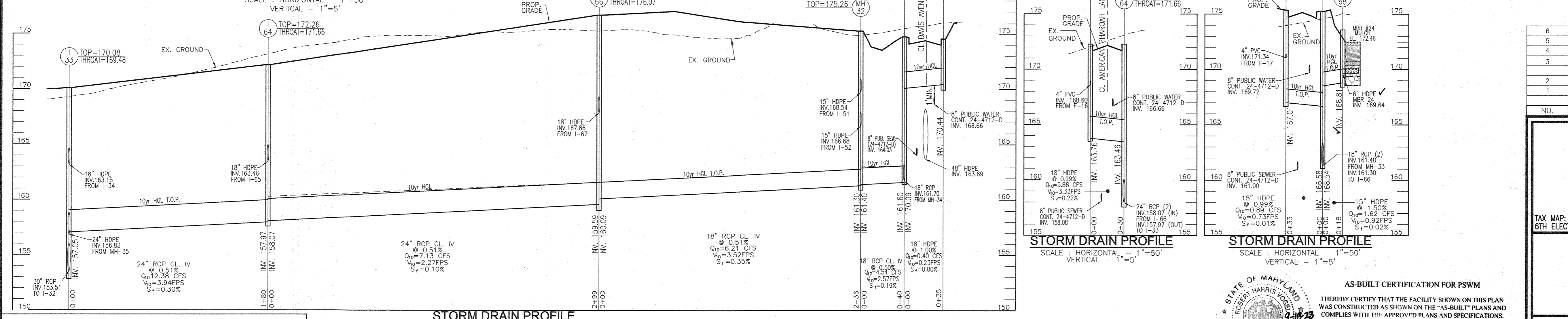
25 SHEET 55



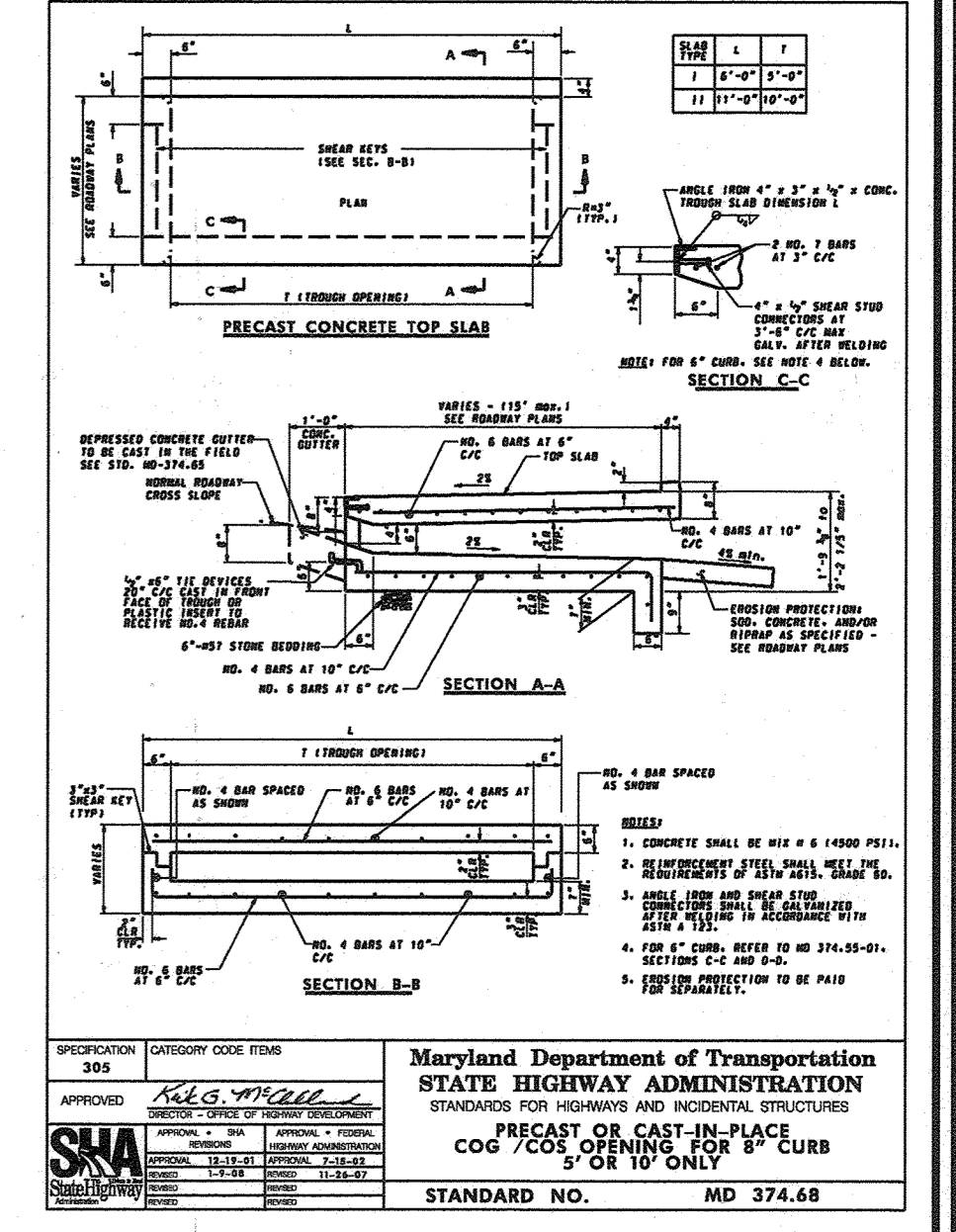
STORM DRAIN PROFILE SCALE: HORIZONTAL - 1"=50' VERTICAL - 1"=5'



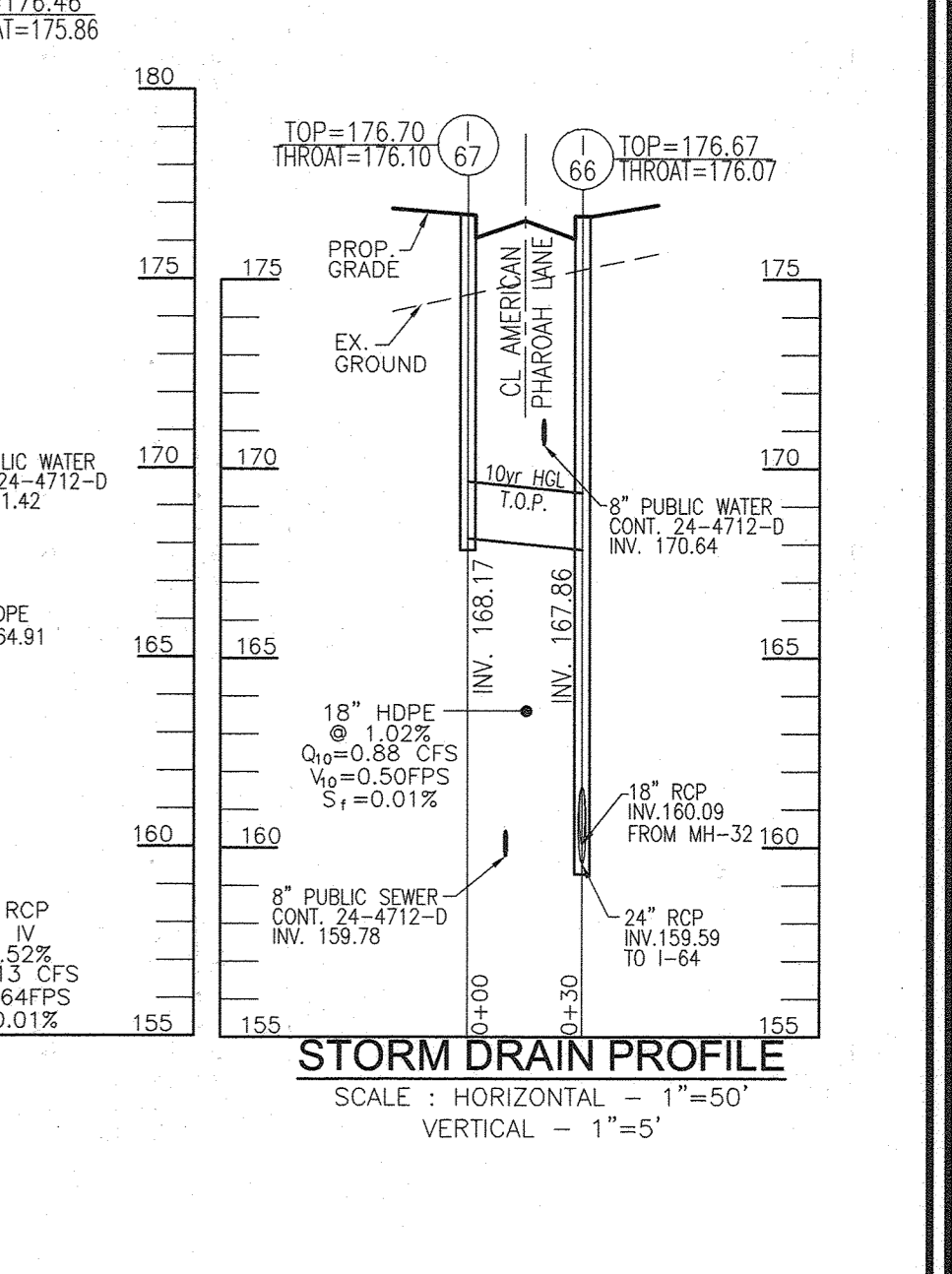
STORM DRAIN PROFILE SCALE: HORIZONTAL - 1"=50' VERTICAL - 1"=5'



STORM DRAIN PROFILE SCALE: HORIZONTAL - 1"=50' VERTICAL - 1"=5'



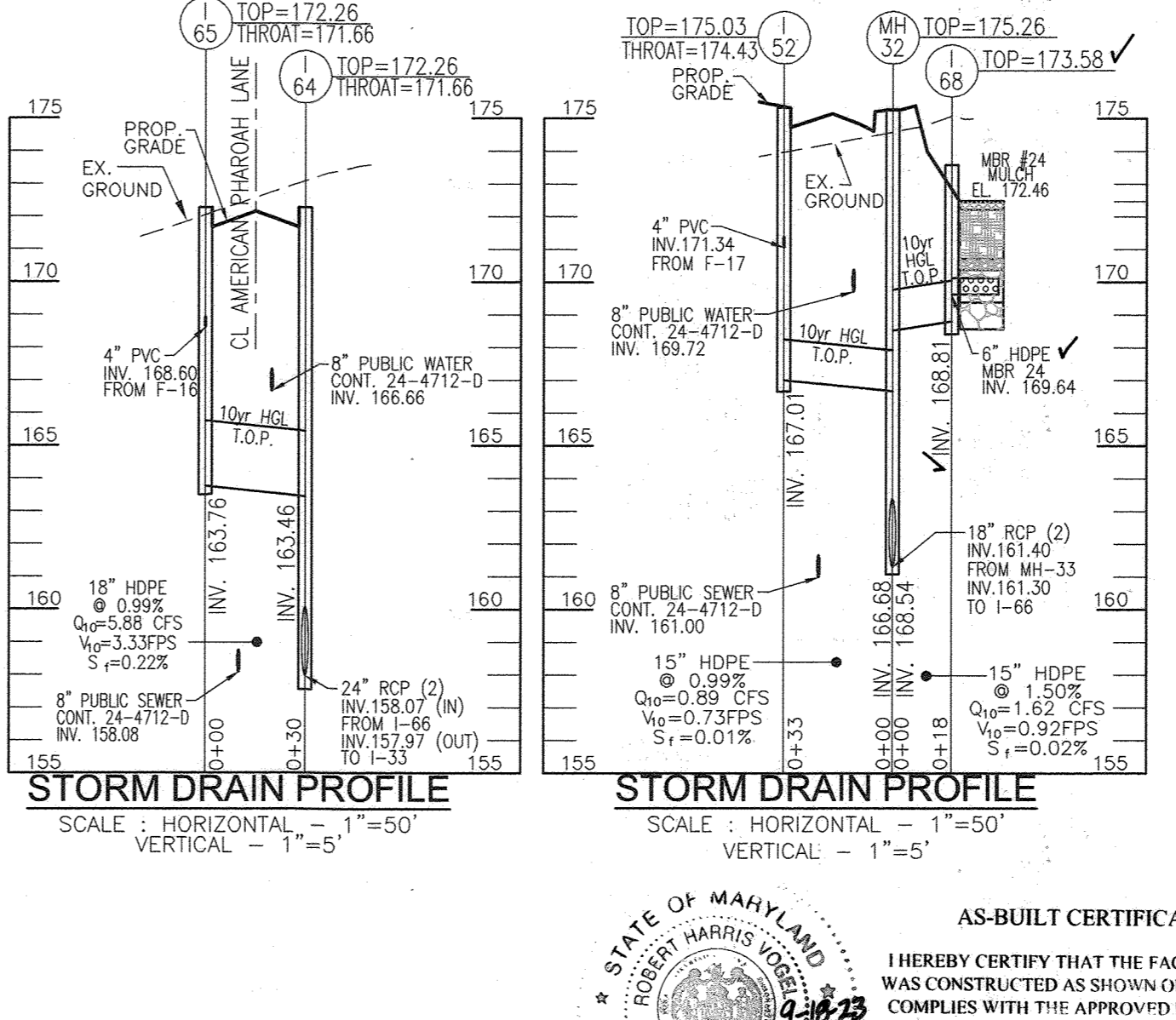
STANDARD NO. MD 374.68



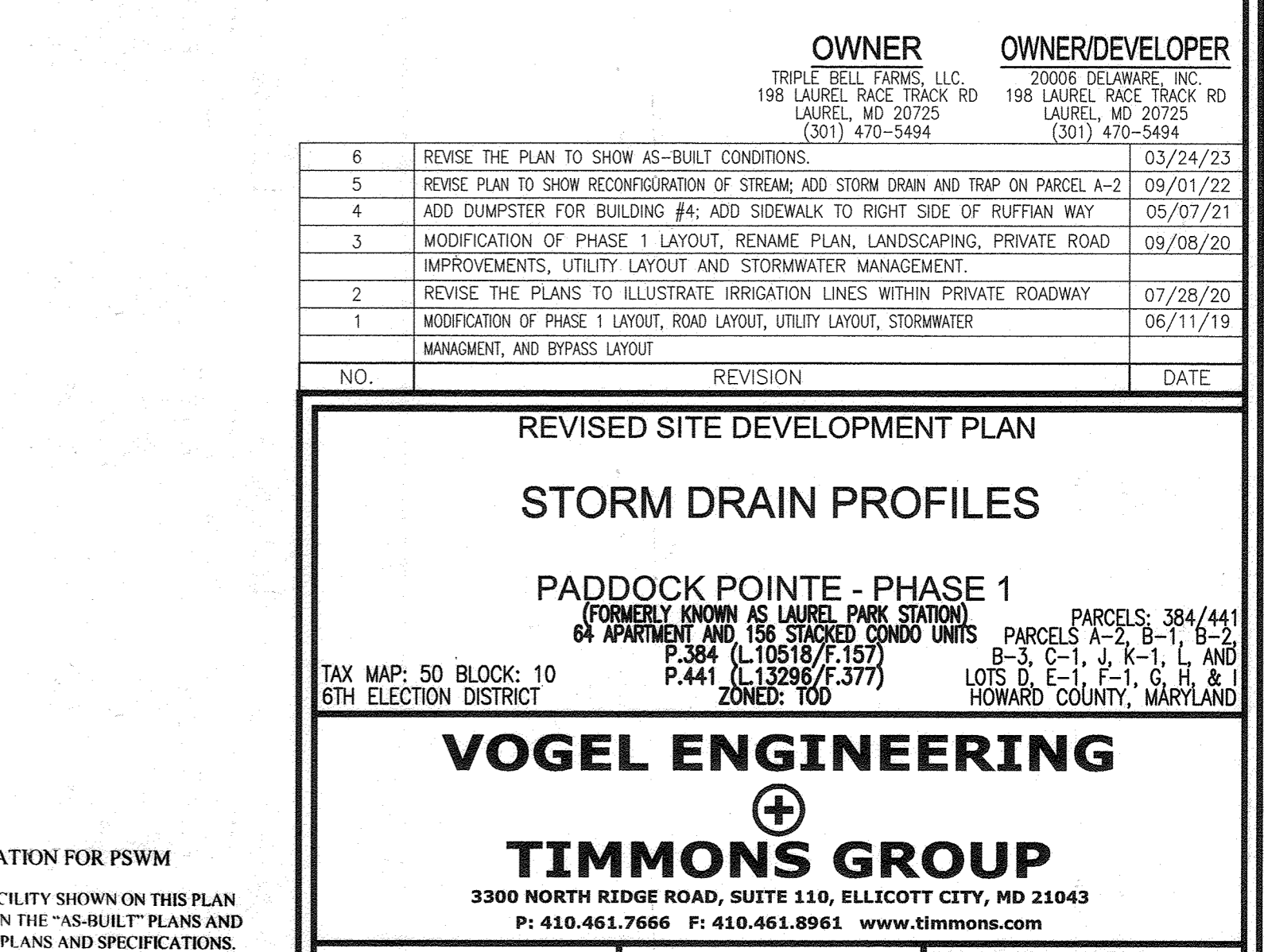
STANDARD NO. MD 374.68

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
Chris Clark 5.10.23
 CHIEF, DEVELOPMENT ENGINEERING DIVISION
Mary A. Kendall 6/5/23
 DIRECTOR

NOTE:
 1. FUTURE PIPE CONNECTION TO THIS SITE PLAN (SDP-15-043) STORM DRAIN SYSTEM MAY REQUIRE "DRIP STONE LANDINGS" PER MD 384.13.
 2. FOR FILTERRA INVERTS, SEE SHEET 38.



STORM DRAIN PROFILE SCALE: HORIZONTAL - 1"=50' VERTICAL - 1"=5'



STORM DRAIN PROFILE SCALE: HORIZONTAL - 1"=50' VERTICAL - 1"=5'

NO.	REVISION	DATE
6	REVISE THE PLAN TO SHOW AS-BUILT CONDITIONS.	03/24/23
5	REVISE PLAN TO SHOW RECONFIGURATION OF STREAM; ADD STORM DRAIN AND TRAP ON PARCEL A-2	09/01/22
4	ADD DUMPSTER FOR BUILDING #4; ADD SIDEWALK TO RIGHT SIDE OF RUFFIAN WAY	05/07/21
3	MODIFICATION OF PHASE 1 LAYOUT, RENAME PLAN, LANDSCAPING, PRIVATE ROAD IMPROVEMENTS, UTILITY LAYOUT AND STORMWATER MANAGEMENT.	09/08/20
2	REVISE THE PLANS TO ILLUSTRATE IRRIGATION LINES WITHIN PRIVATE ROADWAY	07/28/20
1	MODIFICATION OF PHASE 1 LAYOUT, ROAD LAYOUT, UTILITY LAYOUT, STORMWATER MANAGEMENT, AND BYPASS LAYOUT	06/11/19

OWNER: TRIPLE BELL FARMS, LLC
 198 LAUREL RACE TRACK RD
 LAUREL, MD 20725
 (301) 470-5494

OWNER/DEVELOPER: 20006 DELAWARE, INC.
 198 LAUREL RACE TRACK RD
 LAUREL, MD 20725
 (301) 470-5494

REVISED SITE DEVELOPMENT PLAN
STORM DRAIN PROFILES
 PADDOCK POINTE - PHASE 1
 (FORMERLY KNOWN AS LAUREL PARK STATION)
 64 APARTMENT AND 158 STACKED CONDOS UNITS
 P.384 (L10518/F.157)
 P.441 (L13298/F.377)
 ZONED: T00

TAX MAP: 50 BLOCK: 10
 6TH ELECTION DISTRICT

VOGEL ENGINEERING
 TIMMONS GROUP
 3300 NORTH RIDGE ROAD, SUITE 110, ELLICOTT CITY, MD 21043
 P: 410.461.7666 F: 410.461.8961 www.timmons.com

AS-BUILT CERTIFICATION FOR PSWM
 I HEREBY CERTIFY THAT THE FACILITY SHOWN ON THIS PLAN WAS CONSTRUCTED AS SHOWN ON THE "AS-BUILT" PLANS AND COMPLIES WITH THE APPROVED PLANS AND SPECIFICATIONS. I HAVE VERIFIED THAT THE CONTRIBUTING DRAINAGE AREA IS SUFFICIENTLY STABILIZED TO PREVENT CLOGGING OF THE UNDERGROUND SWM FACILITY.

PROFESSIONAL CERTIFICATE
 I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NO. 16193 EXPIRATION DATE: 09-27-2024

DESIGN BY: RHW/DZE
 DRAWN BY: DZE
 CHECKED BY: RHW
 DATE: JAN 2023
 SCALE: AS SHOWN
 W.O. NO.: 07-11/40111

26 SHEET OF 55

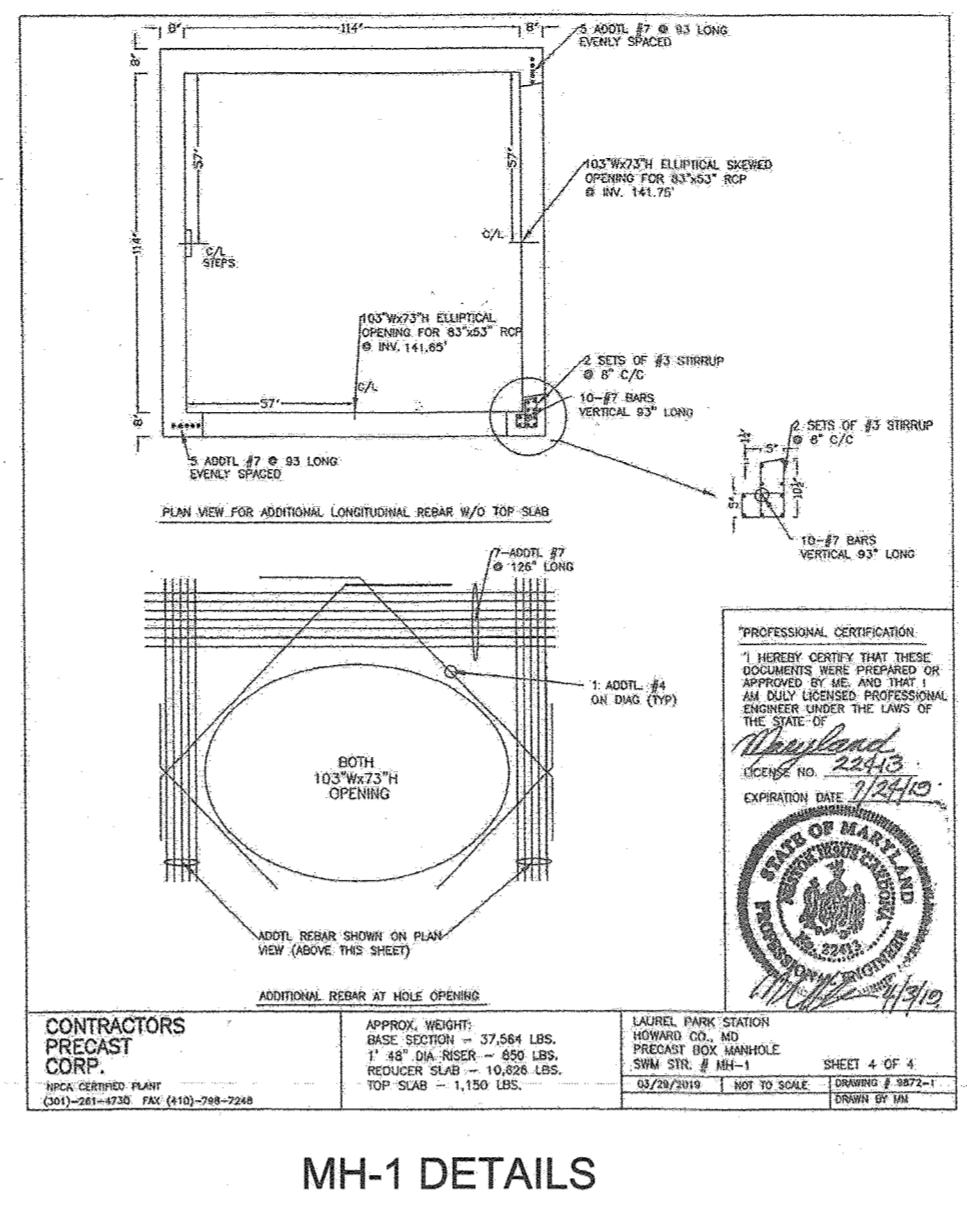
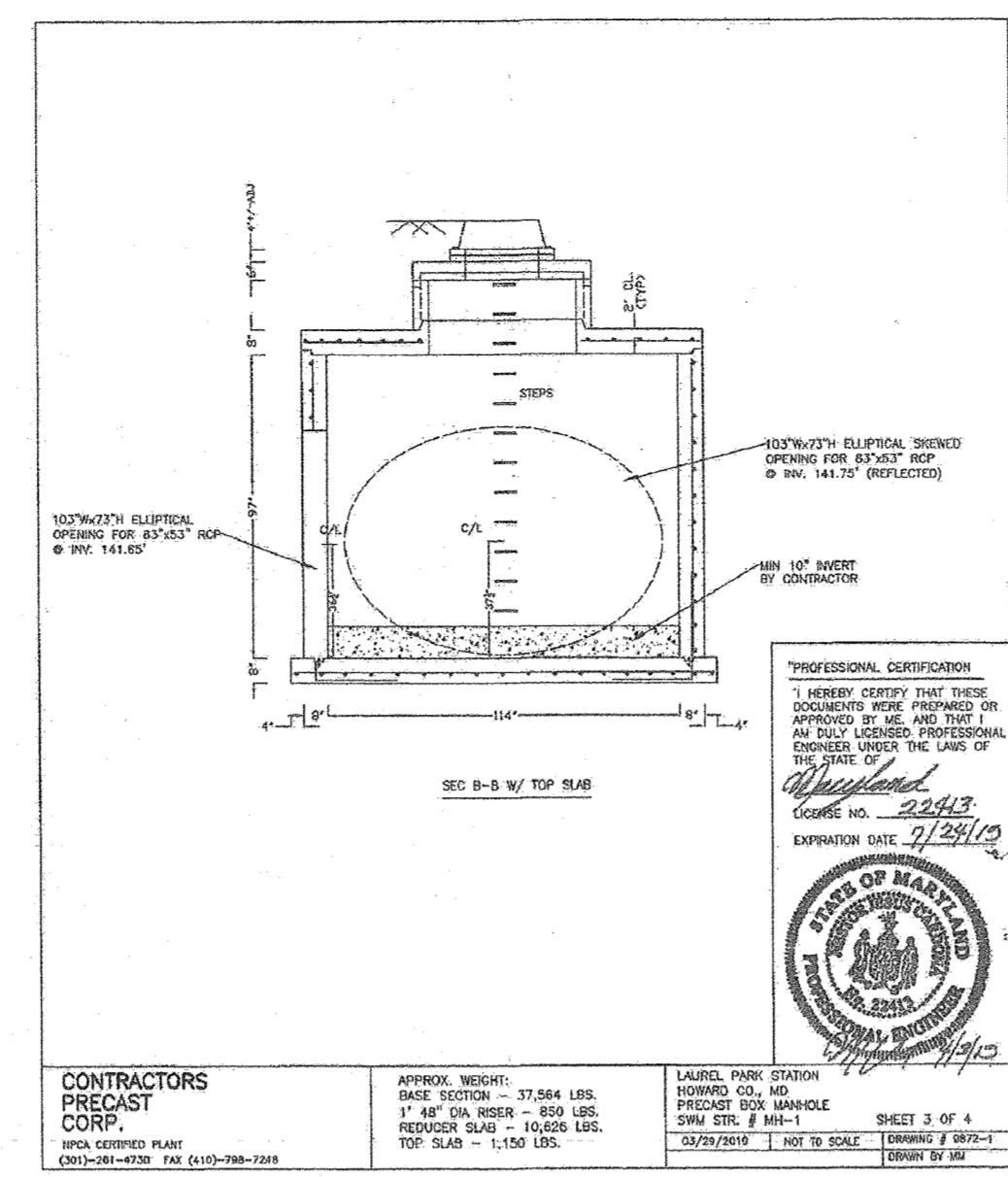
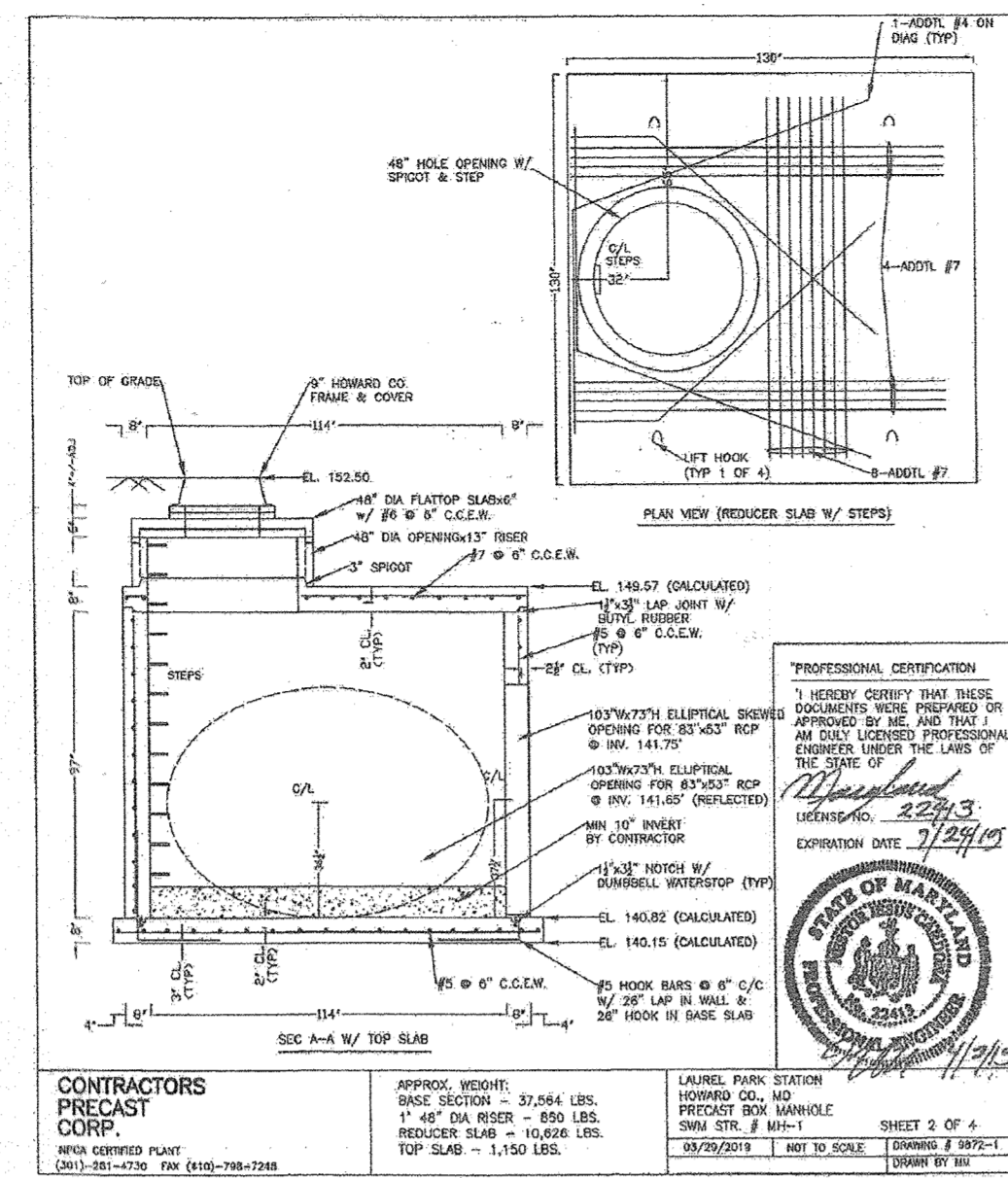
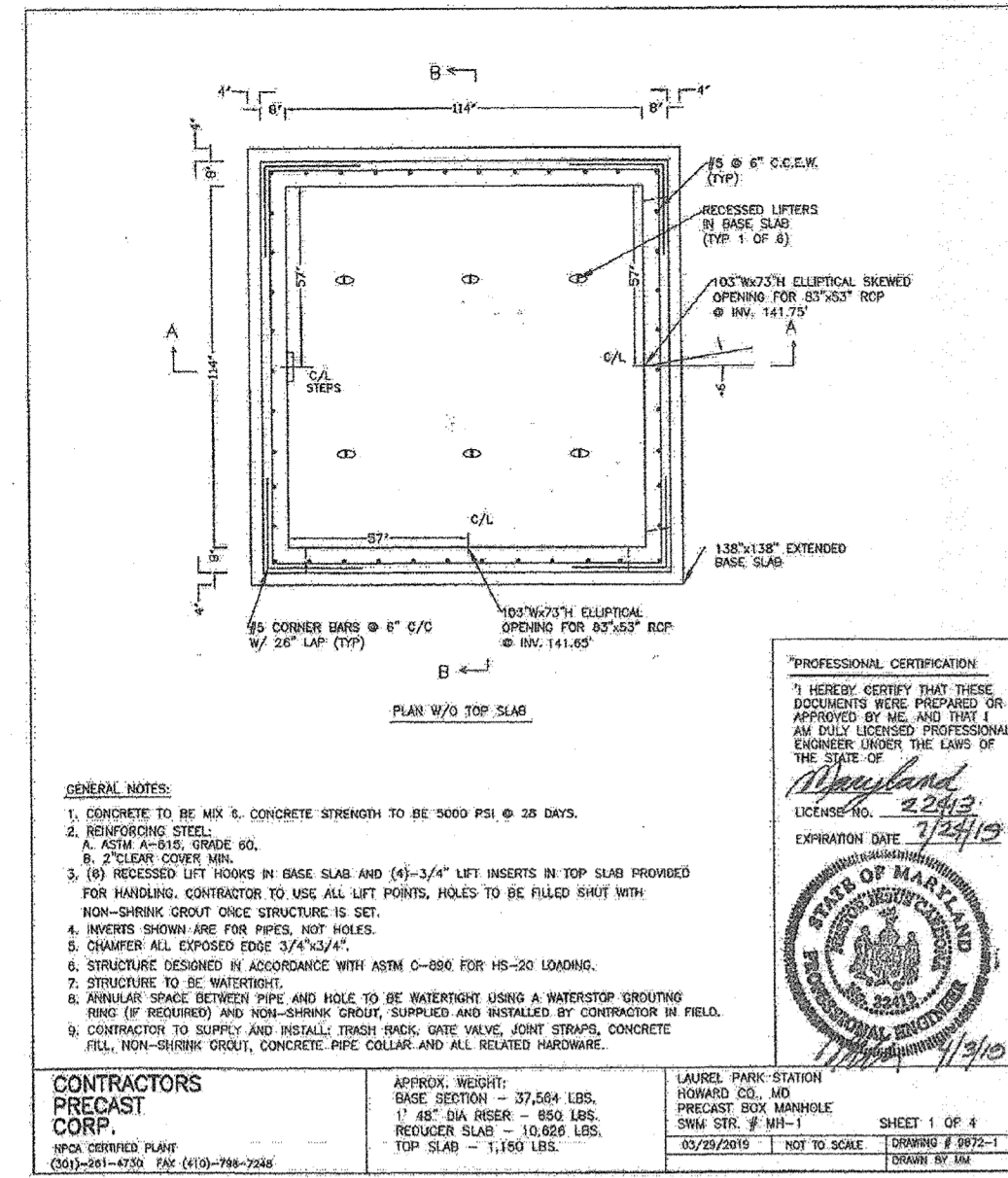
APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
Chris Clark 5.10.23
 CHIEF, DEVELOPMENT ENGINEERING DIVISION
Mary A. Kendall 6/5/23
 DIRECTOR

NOTE:
 1. FUTURE PIPE CONNECTION TO THIS SITE PLAN (SDP-15-043) STORM DRAIN SYSTEM MAY REQUIRE "DRIP STONE LANDINGS" PER MD 384.13.
 2. FOR FILTERRA INVERTS, SEE SHEET 38.

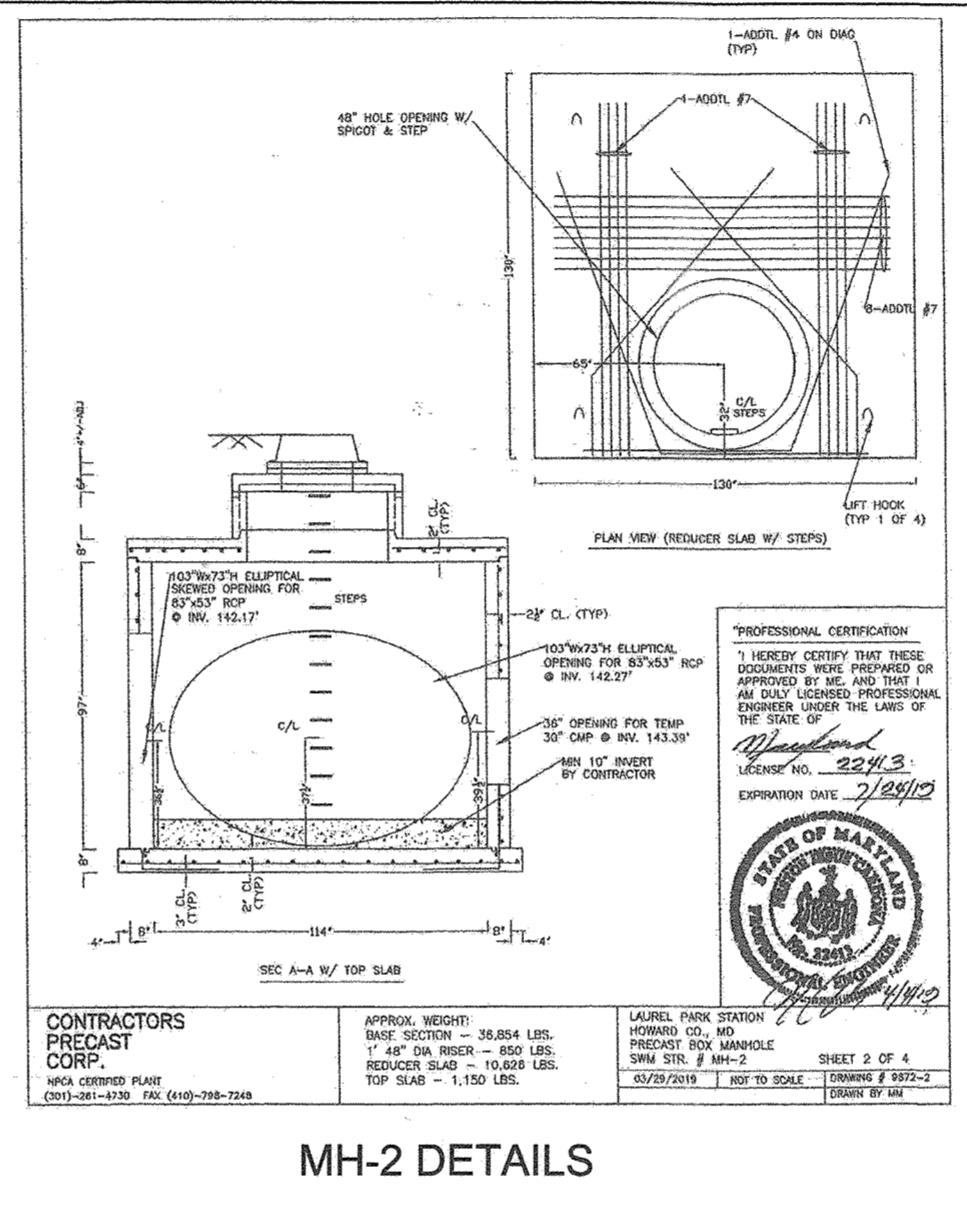
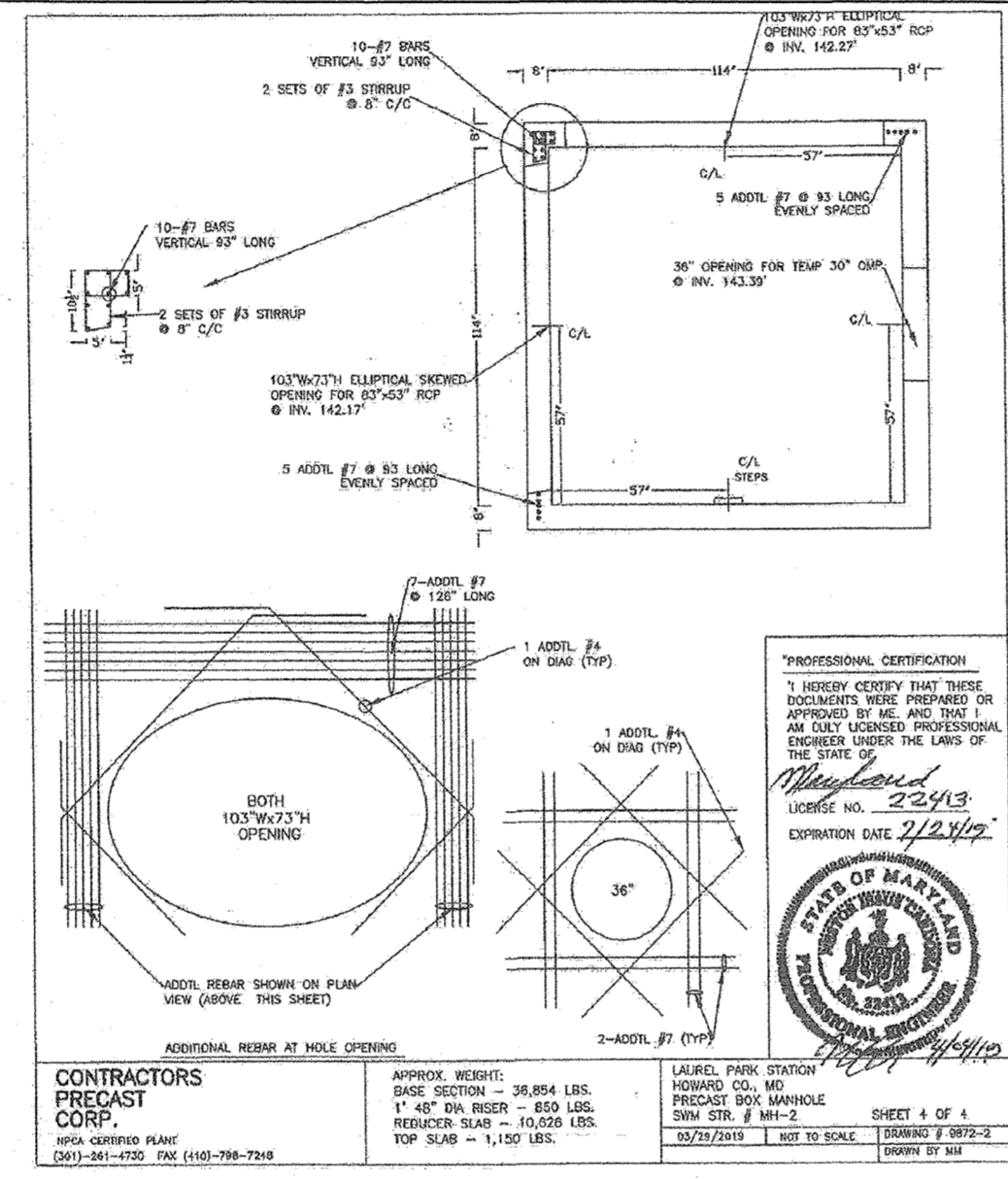
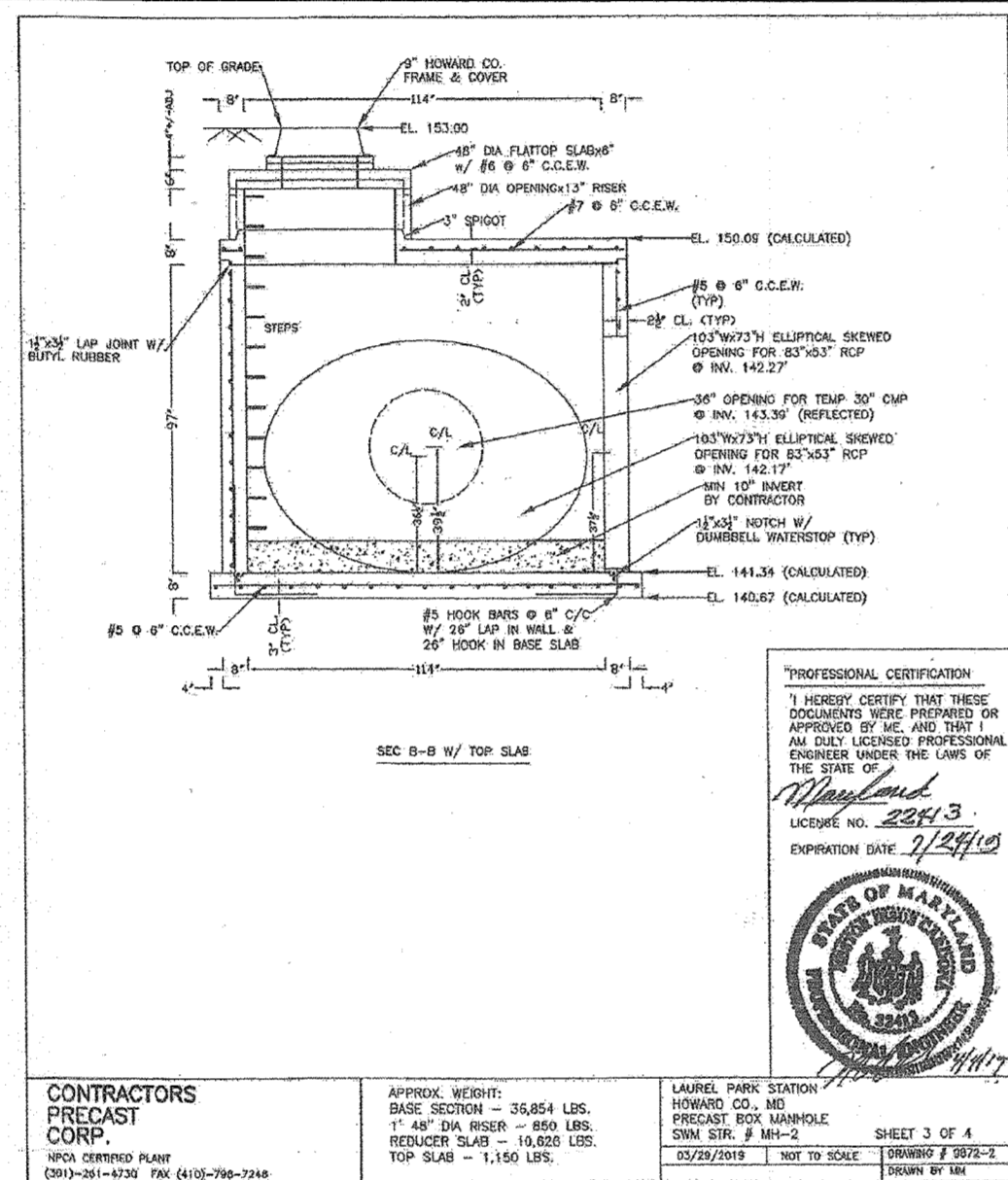
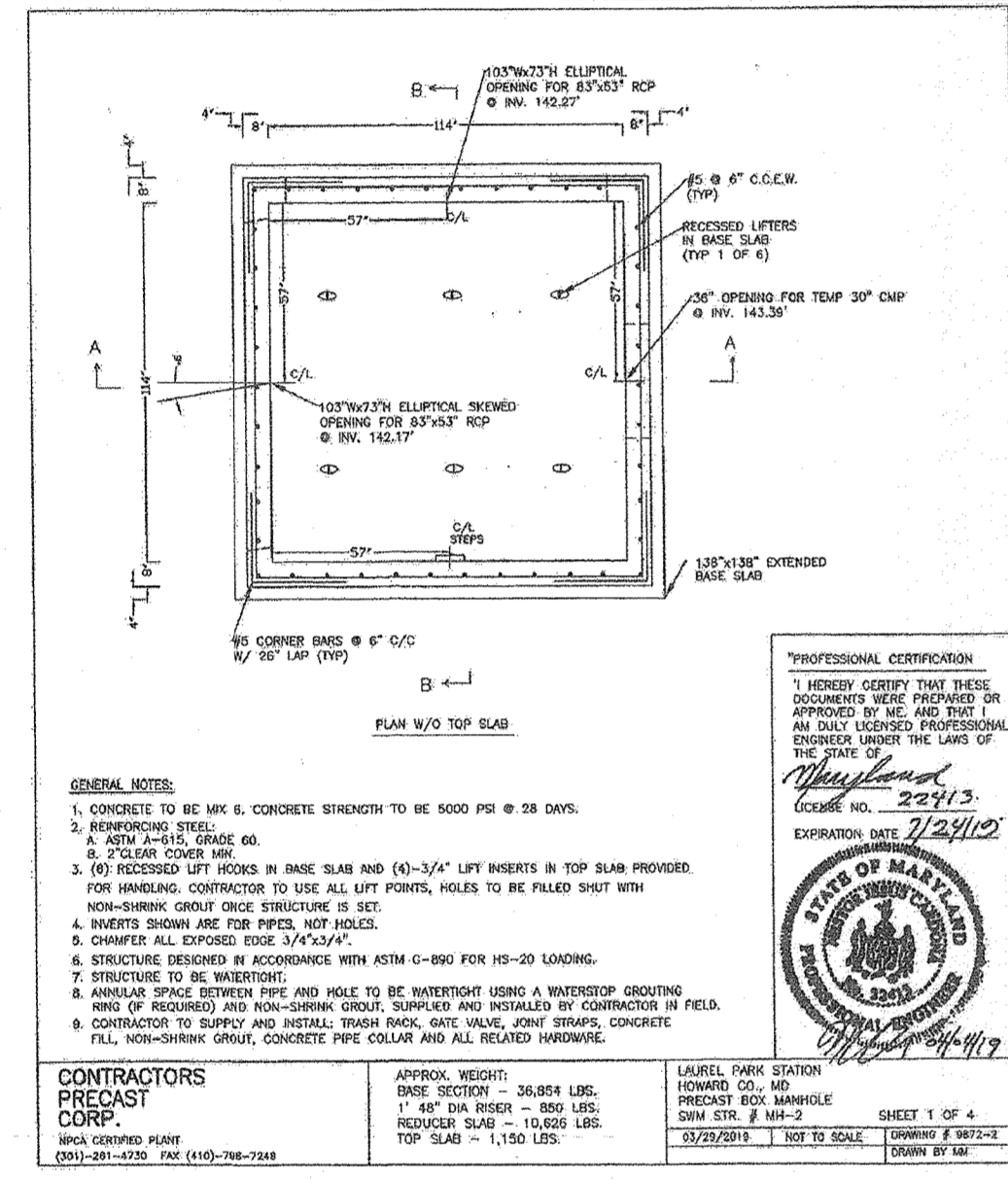
STRUCTURE SCHEDULE										
STR #	TYPE	INV. IN	INV. OUT	TOP ELEV.	DETAIL	LOCATION	REMARKS			
L-1	A-5	153.27	153.14	149.04	D-4.02	E=1358723.16 N=524333.57				
L-2	A-6	153.23	153.14	149.16	D-4.02	E=1358706.07 N=524397.67				
L-3	A-10	-	-	150.01	D-4.03	E=1358786.83 N=524447.10				
L-4	A-10	149.70	149.21	149.11	D-4.03	E=1358816.14 N=524454.92				
L-5	A-5	156.33	153.88	149.89	D-4.02	E=1358775.15 N=524374.61				
L-6	A-5	148.72	148.25	153.40	D-4.02	E=1358859.95 N=524388.71				
L-7	A-5	152.16	150.57	155.90	D-4.02	E=1358886.85 N=524655.72				
L-8	A-5	158.20	156.36	161.96	D-4.02	E=1359153.38 N=524448.31				
L-9	A-5	158.28	153.66	161.96	D-4.02	E=1359153.38 N=524448.31				
L-10	A-5	149.65	148.47	153.40	D-4.02	E=1358854.46 N=524460.13				
L-11	A-5	152.65	152.56	160.12	D-4.02	E=1358825.11 N=524522.21				
L-12	A-5	152.65	152.61	160.12	D-4.02	E=1358825.11 N=524522.21				
L-13	A-5	152.65	152.61	160.12	D-4.02	E=1358825.11 N=524522.21				
L-14	A-5	160.32	157.23	165.21	D-4.02	E=1359096.84 N=524686.84				
L-15	A-5	160.63	165.21	164.02	D-4.02	E=1359096.84 N=524686.84				
L-16	S	156.70	153.97	161.10	D-4.24	E=1358782.50 N=524626.57				
L-17	S	158.94	158.94	164.80	D-4.24	E=1358881.72 N=524681.72				
L-18	S	160.24	166.31	166.11	D-4.24	E=1359114.88 N=524715.22				
L-19	A-5	154.03	150.96	160.45	D-4.02	E=1358763.09 N=524653.85				
L-20	A-5	151.11	162.10	162.10	D-4.02	E=1358763.09 N=524653.85				
L-21	A-5	158.16	155.59	163.36	D-4.02	E=1358763.09 N=524653.85				
L-22	A-10	156.97	165.98	165.98	D-4.03	E=1358854.73 N=524759.94				
L-23	S	156.93	161.03	161.03	D-4.24	E=1358748.43 N=524759.94				
L-24	YARD	160.79	160.69	165.50	D-4.12	E=1358885.07 N=524831.64				
L-25	S	161.65	161.65	168.54	D-4.24	E=1359096.84 N=524686.84				
L-26	A-5	162.05	168.54	168.54	D-4.02	E=1359096.84 N=524686.84				
L-27	S	161.23	160.04	165.61	D-4.24	E=1359233.32 N=524655.09				
L-28	S	163.31	167.00	167.00	D-4.24	E=1359233.32 N=524655.09				
L-29	S	162.12	167.00	167.00	D-4.24	E=1359233.32 N=524655.09				
L-30	S	161.95	168.44	168.44	D-4.24	E=1359071.63 N=524898.73				
L-31	YARD	163.53	167.00	167.00	D-4.12	E=1358940.92 N=524846.53				
L-32	A-5	168.31	152.88	162.76	D-4.02	E=1359233.32 N=524655.09				
L-33	A-10	163.15	157.05	156.83	D-4.03	E=1359468.40 N=524724.65				
L-34	S	168.18	168.42	170.08	D-4.24	E=1359468.40 N=524724.65				
L-35	S	168.25	168.18	172.39	D-4.24	E=1359468.40 N=524724.65				
L-36	A-10	168.40	168.40	177.00	D-4.02	E=1359468.40 N=524724.65				
L-37	A-5	170.08	166.44	166.34	D-4.24	E=1359578.95 N=524937.15				
L-38	A-5	167.66	167.56	178.76	D-4.02	E=1359677.50 N=524983.44				
L-39	A-10	171.84	170.45	170.25	D-4.03	E=1359677.50 N=524983.44				
L-40	A-5	162.12	173.09	178.29	D-4.02	E=1360098.94 N=525094.94				
L-41	S	171.92	170.88	177.55	D-4.24	E=1359622.77 N=525026.24				
L-42	A-5	173.36	173.26	181.55	D-4.02	E=1359677.50 N=524983.44				
L-43	S	173.41	173.41	179.89	D-4.24	E=1359677.50 N=524983.44				
L-44	S	172.42	172.34	178.49	D-4.24	E=1359639.99 N=525131.44				
L-45	A-5	171.34	167.01	175.03	D-4.02	E=1360174.82 N=524882.18				
L-46	A-5	170.44	174.55	174.55	D-4.02	E=1360218.47 N=524969.50				
L-47	A-5	162.32	178.46	178.46	D-4.02	E=1360162.13 N=525018.09				
L-48	S	170.50	176.26	176.26	D-4.24	E=1360120.13 N=524985.93				
L-49	S	172.14	171.09	175.94	D-4.24	E=1360097.82 N=525000.92				
L-50	YARD	178.06	179.59	179.59	D-4.12	E=1359816.04 N=525079.93				
L-51	YARD	177.36	177.36	180.15	D-4.12	E=1359816.04 N=525079.93				
L-52	A-5	152.63	145.27	145.67	D-4.02	E=1358741.37 N=524335.08				
L-53	A-5	163.68	146.33	156.20	D-4.02	E=1359468.40 N=524724.65				
L-54	A-10	148.13	146.84	153.15	D-4.03	E=1358253.38 N=524300.25				
L-55	A-10	149.07	146.63	148.63	D-4.03	E=1358253.38 N=524300.25				
L-56	A-5	163.46	158.07	157.97	D-4.02	E=1358636.36 N=524770.51				
L-57	A-10	168.60	163.70	172.26	D-4.03	E=1359647.21 N=524741.17				
L-58	A-5	187.86	180.09	159.59	D-4.02	E=1359927.68 N=524847.67				
L-59	A-5	168.17	168.17	176.70	D-4.02	E=1359938.01 N=524819.03				
L-60	S	168.64	168.81	173.59	D-4.24	E=1360146.94 N=524925.57				

STRUCTURE SCHEDULE										
STR #	TYPE	INV. IN	INV. OUT	TOP ELEV.	DETAIL	LOCATION	REMARKS			
MH-1	SQUARE MANHOLE	141.75	141.85	152.90		E=1358551.80 N=524130.65	SEE DETAIL SHEET 29			
MH-2	SQUARE MANHOLE	142.27	142.17	153.00		E=1358597.05 N=524166.90	SEE DETAIL SHEET 29			
MH-3	SQUARE MANHOLE	143.73	143.27	142.85		E=1358597.05 N=524166.90	SEE DETAIL SHEET 29			
MH-4	10" MANHOLE	145.01	144.56	144.54		E=1358595.63 N=524338.10				
MH-5	6" MANHOLE	143.65	143.56	158.15		E=1358914.70 N=524337.70				
MH-6	6" MANHOLE	146.76	148.76	144.20		E=1358716.16 N=524359.82	(1)			
MH-7	6" MANHOLE	149.62	147.29	147.39		E=1358970.04 N=524409.87	(1)			
MH-8	6" MANHOLE	156.09	153.27	149.49		E=1359146.38 N=524474.55	(1)			
MH-9	5" MANHOLE	151.89	150.89	150.78		E=1359324.61 N=524522.09	(1)			
MH-10	5" MANHOLE	151.16	155.67	151.06		E=1358936.51 N=524530.67	(1)			
MH-11	5" MANHOLE	151.73	151.88	151.73		E=1359473.77 N=524561.88				
MH-12	5" MANHOLE	152.59	152.49	168.83		E=1359442.89 N=524570.67				
MH-13	4" MANHOLE	145.04	144.94	156.20		E=1358468.77 N=524348.26				
MH-14	4" MANHOLE	145.64	145.54	155.59		E=1358418.30 N=524348.62				
MH-15	4" MANHOLE	145.99	144.99	154.52		E=1358371.51 N=524339.97				
MH-16	4" MANHOLE	148.97	148.87	158.67		E=1358831.25 N=524432.52				
MH-16A	4" MANHOLE	150.23	148.41	148.31		E=1358958.97 N=524493.32				
MH-19	4" MANHOLE	161.12	159.41	162.53		E=1359292.18 N=524643.68				
MH-20	4" MANHOLE	153.86	150.29	150.19		E=1358772.15 N=524623.81				
MH-21	4" MANHOLE	154.69	154.59	163.13		E=1358749.68 N=524708.91				
MH-22	4" MANHOLE	155.91	155.81	167.63		E=1359233.10 N=524753.62				
MH-23	4" MANHOLE	159.48	154.28	153.19		E=1359282.34 N=524680.56				
MH-24	4" MANHOLE	155.51	155.00	166.94		E=1359282.34 N=524680.56				
MH-25	4" MANHOLE	158.16	158.06	170.54		E=1359114.77 N=524681.33				
MH-26	4" MANHOLE	160.98	156.44	156.19		E=1359211.49 N=524771.44				
MH-28	4" MANHOLE	167.66	167.56	168.84		E=1359125.08 N=524842.88				
MH-29	4" MANHOLE	168.16	168.06	170.54		E=1359114.77 N=524681.33				
MH-30	4" MANHOLE	168.37	168.27	170.92		E=1359099.21 N=524694.40				
MH-31	4" MANHOLE	165.26	165.16	160.95		E=1358991.03 N=524539.80				
MH-32	5" MANHOLE	168.64	166.66	161.40		E=1360155.92 N=524939.58				
MH-33	4" MANHOLE	170.69	161.70	161.60		E=1360186.17 N=524932.86				
MH-34	4" MANHOLE	170.21	162.15	162.05		E=1360148.85 N=524988.27				
MH-35	5" MANHOLE	167.55	167.45	170.92		E=1359474.48 N=524754.55				
MH-36	5" MANHOLE	168.60	168.50	172.50		E=1359468.40 N=524724.65				
MH-37	5" MANHOLE	167.85	169.17	159.07		E=1359486.16 N=524833.83				
MH-38	4" MANHOLE	167.80	161.10	161.00		E=1359538.61 N=524834.99				
MH-39	4" MANHOLE	169.19	169.19	176.68		E=1359592.12 N=524876.11				
MH-40	4" MANHOLE	162.10	162.81	161.28		E=1359533.37 N=524852.38				
MH-41	4" MANHOLE	165.10	165.00	164.47		E=1359621.71 N=524896.08	DIVERSION STRUCTURE, DETAIL SHEET 30			
MH-42	4" MANHOLE	170.45	170.35	178.64		E=1359670.41 N=524901.98				
MH-43	4" MANHOLE	171.18	171.08	179.55		E=1359640.80 N=525000.92				
MH-44	4" MANHOLE	173.13	172.20	171.50		E=1359980.91 N=525114.60				
MH-44A	4" MANHOLE	174.48	174.23	173.73		E=1359919.27 N=525179.26				
MH-44B	4" MANHOLE	172.90	172.85	179.18		E=1360055.51 N=525064.26				
JF-1	JELLYFISH	162.34	162.37	173.48	JF-1 (54")	E=1360055.51 N=525064.26				

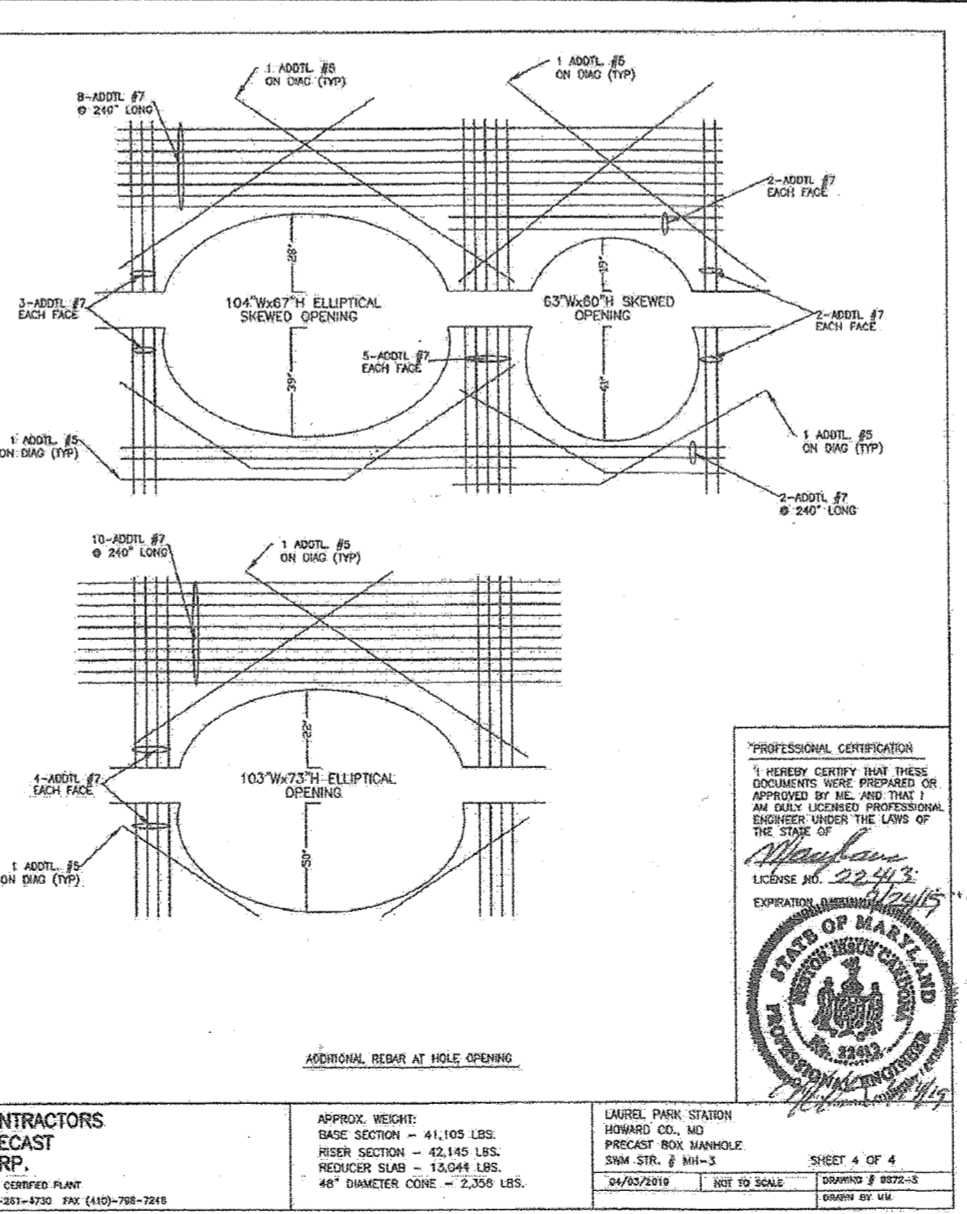
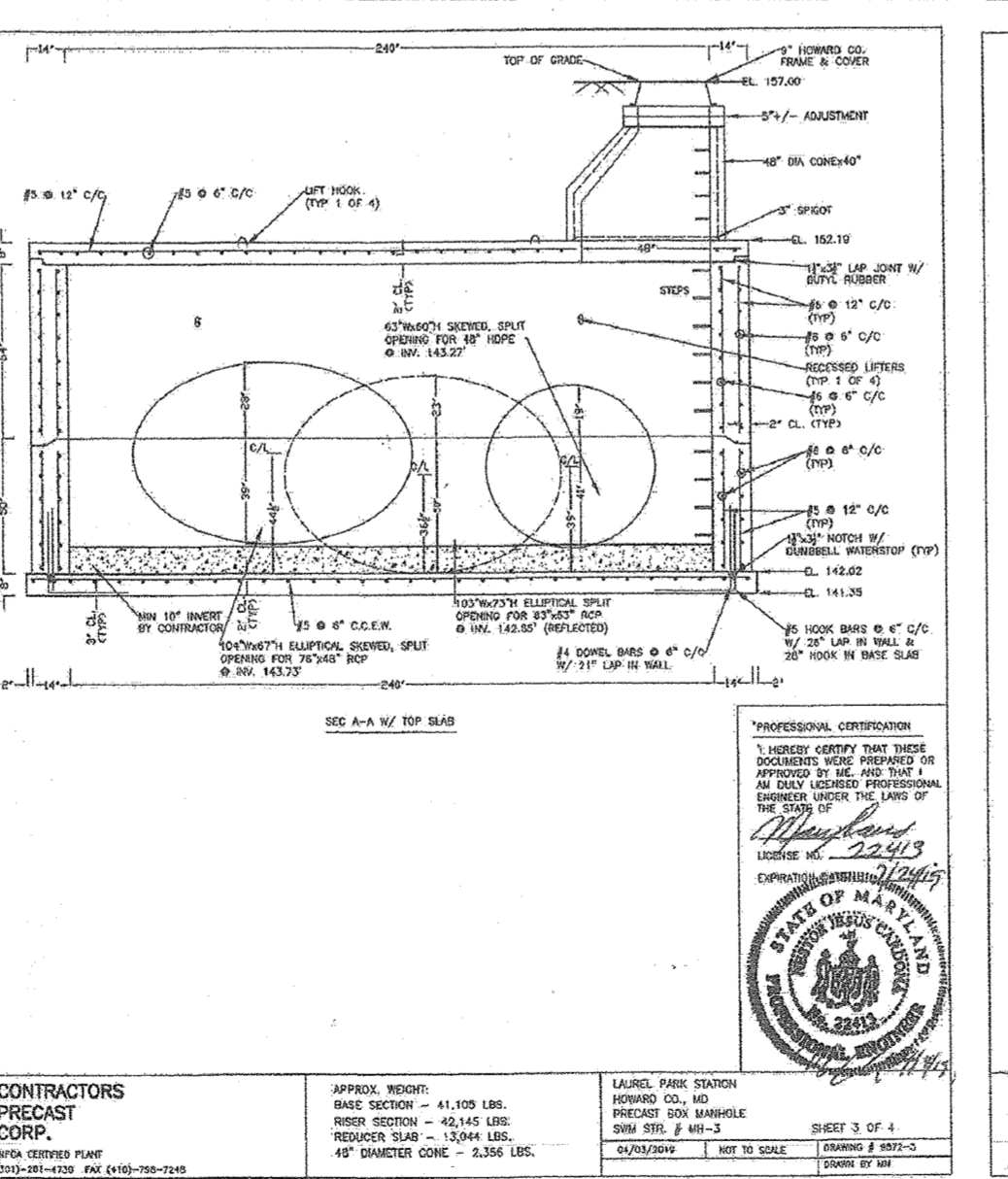
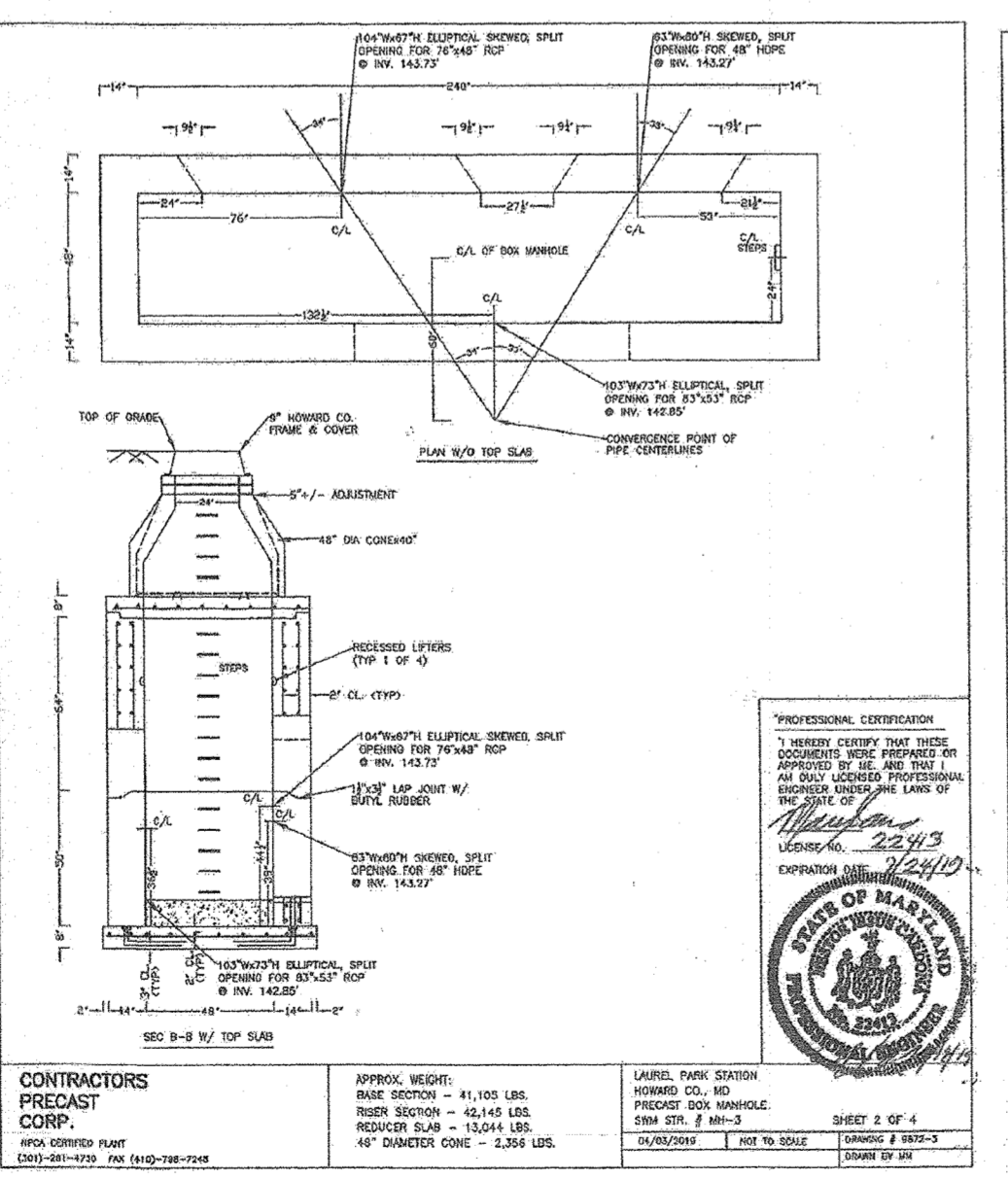
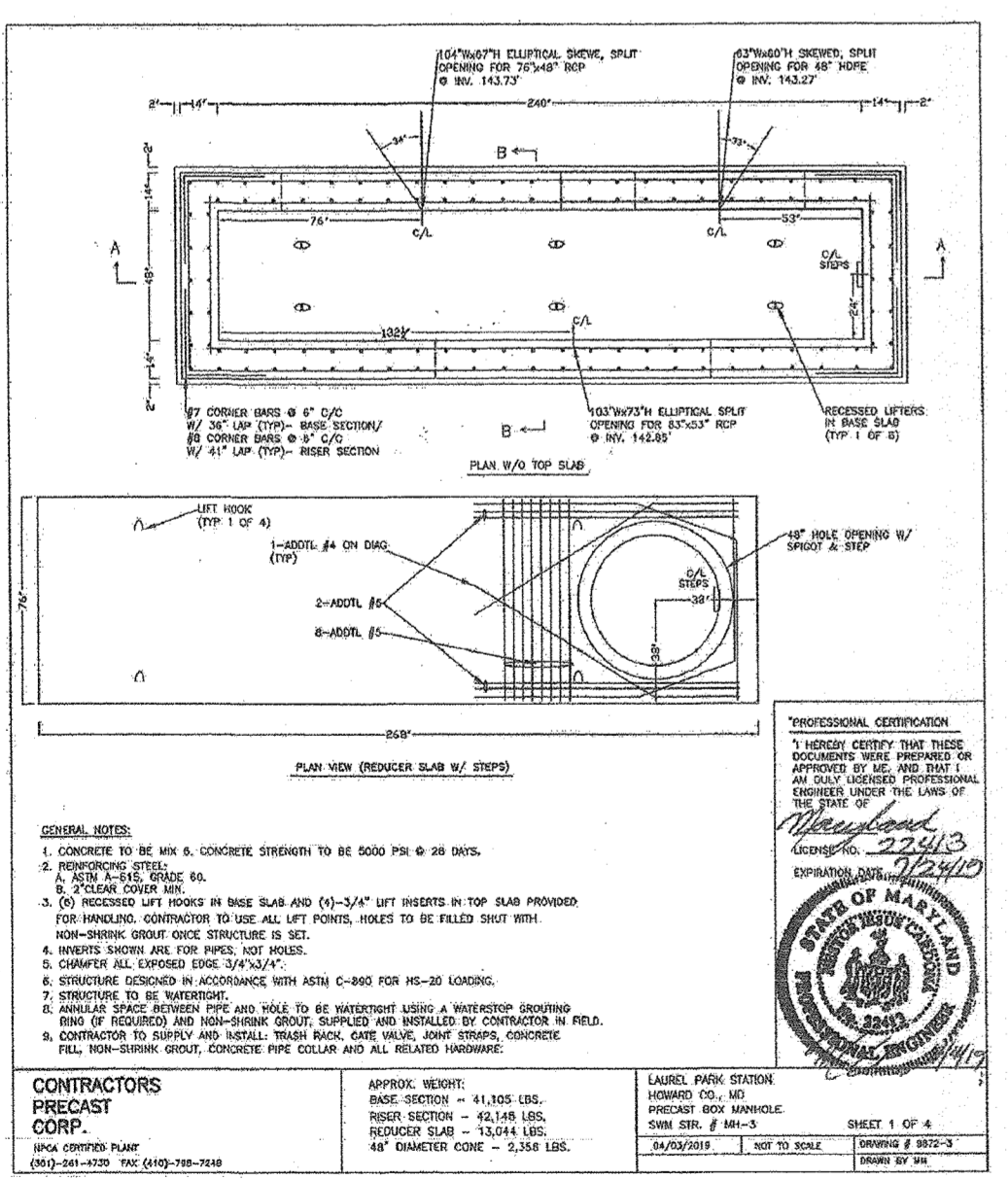
STRUCTURE SCHEDULE										
STR #	TYPE	INV. IN	INV. OUT	TOP ELEV.	DETAIL	LOCATION	REMARKS			
CO-1	CLEANOUT	159.78	159.88	165.00	S-2.22	N=524807.25 E=1359793.62				
CO-2	CLEANOUT	161.20	161.10	166.50	S-2.22	N=524842.47 E=1358908.63				
CO-3	CLEANOUT	162.69	162.59	166.10	S-2.22	N=524933.23 E=1358605.26				
CO-4	CLEANOUT	164.31	164.21	168.34	S-2.22	N=524970.71 E=1359031.69				
CO-5	CLEANOUT	164.19	164.09	168.20	S-2.22	N=524946.32 E=1359004.61				
CO-6	CLEANOUT	164.74	164.64	166.96	S-2.22	N=524917.97 E=1358986.32				
CO-7	CLEANOUT	176.82	176.72	179.69	S-2.22	N=525119.53 E=1359663.29				
CO-8	CLEANOUT	176.00	176.00	180.70	S-2.22	N=525148.32 E=1359781.99				
CO-9	CLEANOUT									



MH-1 DETAILS



MH-2 DETAILS



MH-3 DETAILS

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

[Signature] 12/3/19 DATE
 CHIEF, DEVELOPMENT ENGINEERING DIVISION

[Signature] 12/10/19 DATE
 CHIEF, DIVISION OF LAND DEVELOPMENT

[Signature] 12-13-19 DATE
 DIRECTOR

AS-BUILT CERTIFICATION FOR PSWM

I HEREBY CERTIFY THAT THE FACILITY SHOWN ON THIS PLAN WAS CONSTRUCTED AS SHOWN ON THE "AS-BUILT" PLANS AND COMPLIES WITH THE APPROVED PLANS AND SPECIFICATIONS. I HAVE VERIFIED THAT THE CONTRIBUTING DRAINAGE AREA IS SUFFICIENTLY STABILIZED TO PREVENT CLOGGING OF THE UNDERGROUND SWM FACILITY.

[Signature] 16193 9-18-23 DATE
 P.E. NAME

NO AS-BUILT INFORMATION ON THIS SHEET

OWNER: TRIPLE BELL FARMS, LLC. 28006 DELAWARE, INC. 198 LAUREL RACE TRACK RD. LAUREL, MD 20728 (301) 470-5949

OWNER/DEVELOPER: LAUREL RACE TRACK 198 LAUREL RACE TRACK RD. LAUREL, MD 20728 (301) 470-5949

NO.	REVISION	DATE
5	REVISE PLAN TO SHOW RECONFIGURATION OF STORM DRAIN AND TRAP ON PARCEL A-2	9-1-22
3	MODIFICATION OF PHASE 1 LAYOUT, REPAIR PLAN, LANDSCAPING, PRIVATE ROAD IMPROVEMENTS, UTILITY LAYOUT AND STORMWATER MANAGEMENT	09/08/20
2	REVISE THE PLANS TO ILLUSTRATE IRRIGATION LINES WITHIN PRIVATE ROADWAY	07/28/20
1	MODIFICATION OF PHASE 1 LAYOUT, ROAD LAYOUT, UTILITY LAYOUT, STORMWATER MANAGEMENT, AND BYPASS LAYOUT	06/11/19

REVISED SITE DEVELOPMENT PLAN

STORM DRAIN DETAILS
Paddock Pointe-Phase I
 (FORMERLY KNOWN AS LAUREL PARK STATION)
 64 APARTMENT AND 156 STACKED TOWNHOUSE CONDO UNITS PARCELS: 384/441
 P.384 (L10518/F.157) PARCELS A-2, B-1, B-2
 P.441 (L10465/F.377) PARCELS C-1, P-1, K-1, L-1
 ZONED: TOD LOTS D, E-1, G, H, AND I
 HOWARD COUNTY, MARYLAND

TAX MAP: 50 BLOCK: 10
 6TH ELECTION DISTRICT

VOGEL ENGINEERING

TIMMONS GROUP

3300 NORTH RIDGE ROAD, SUITE 110, ELLICOTT CITY, MD 21043
 P: 410.461.7666 F: 410.461.8961 www.timmons.com

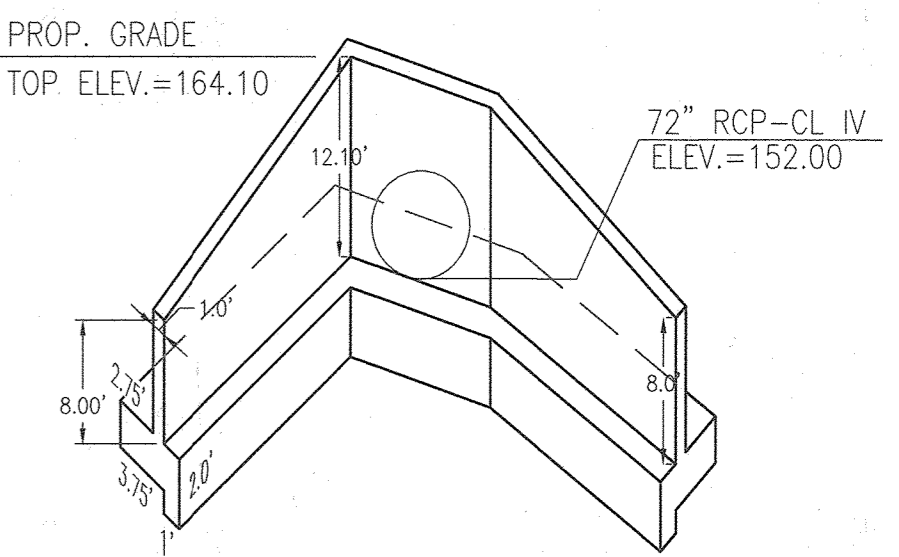
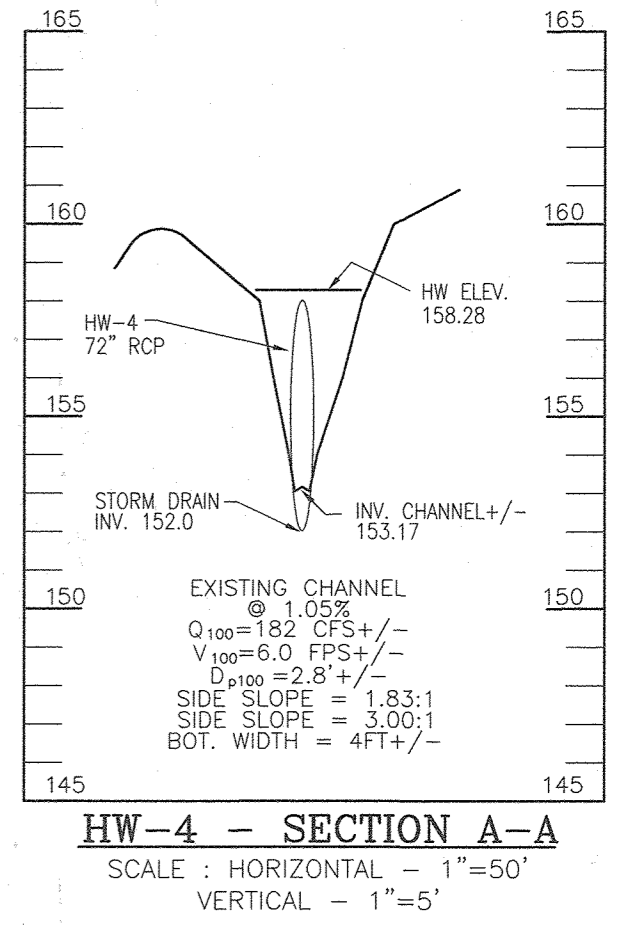
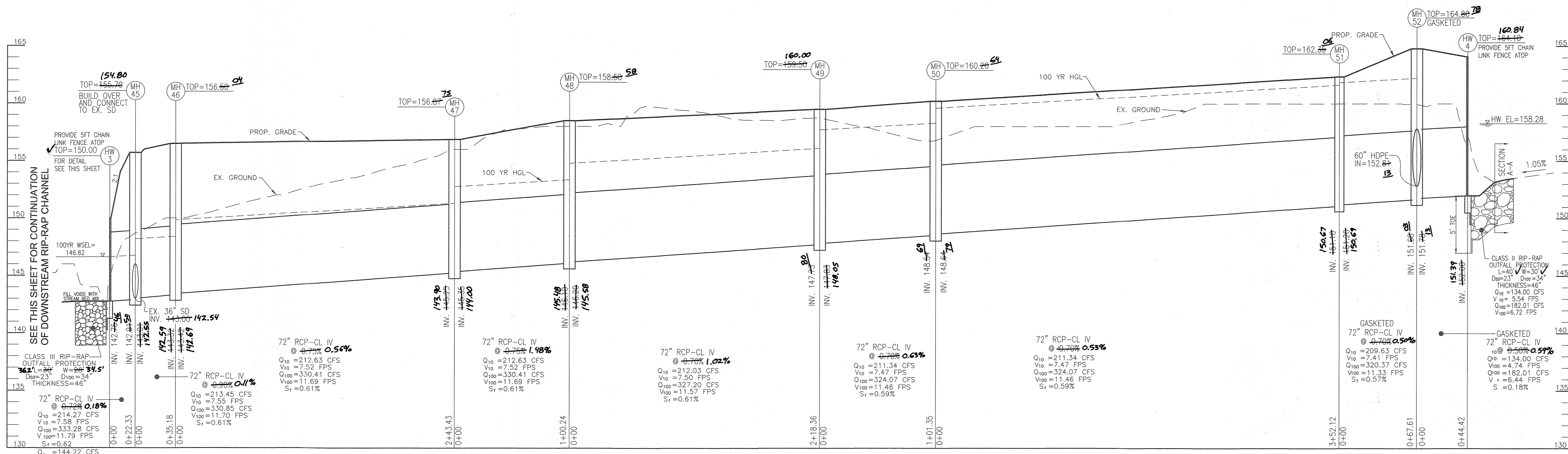
PROFESSIONAL CERTIFICATE

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND. MY LICENSE NO. IS 16193 AND MY EXPIRATION DATE IS 09-27-2020.

DESIGN BY: RHW/DES/SPS
 DRAWN BY: DZK/AG/CAH/ES
 CHECKED BY: RHW
 DATE: NOVEMBER 2019
 SCALE: AS SHOWN
 W.O. NO.: 07-11/40111

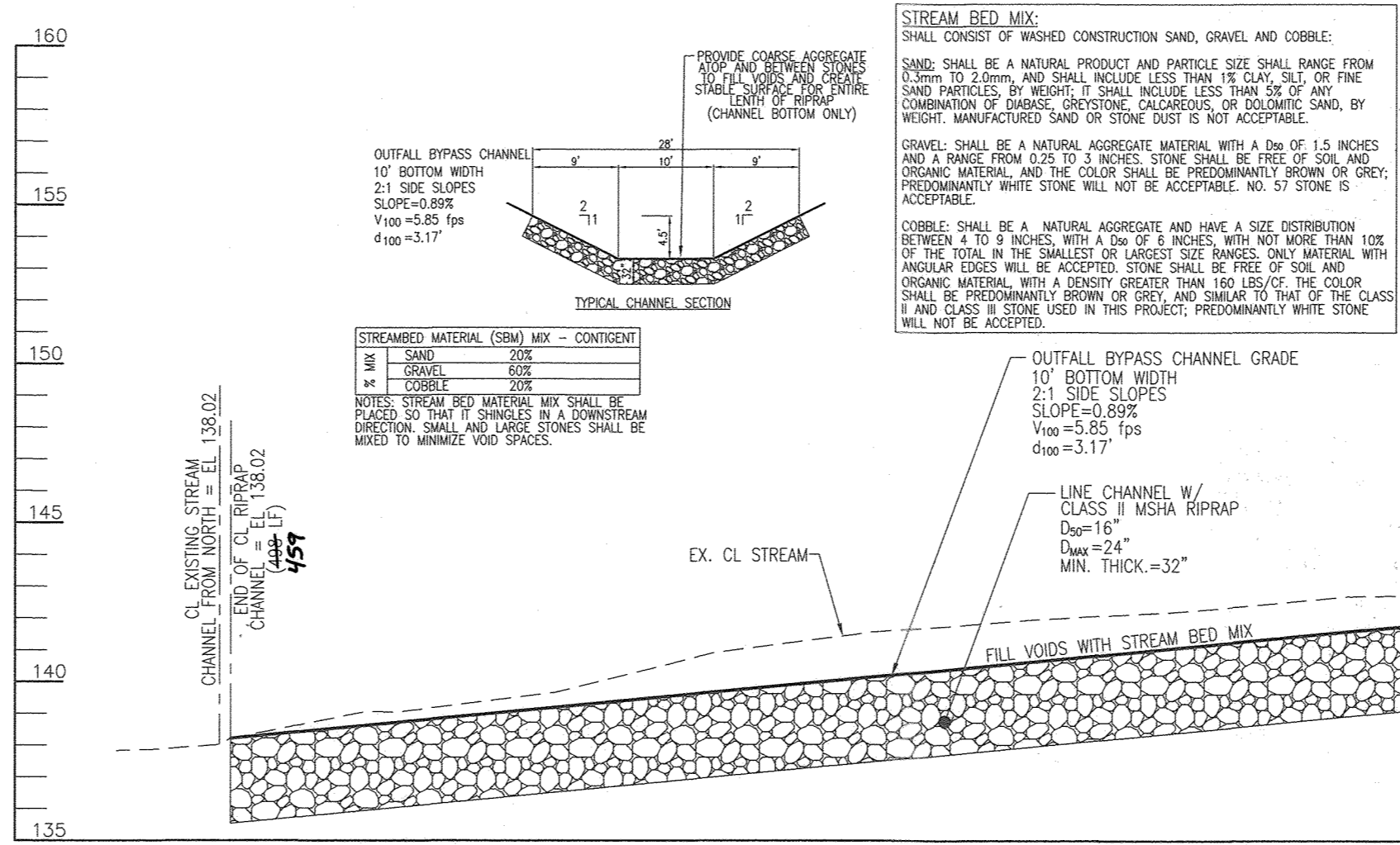
29 SHEET OF 55

AS-BUILT JULY 2023



STRUCTURE SCHEDULE - BYPASS

STR #	TYPE	INV. IN	INV. OUT	TOP ELEV	DETAIL	LOCATION	REMARKS
HW-3	HEADWALL B-72 (STANDARD)	142.75	150.00	150.00	MD 352.02	E= 1359100.33 N= 524101.05	(1) SEE DETAIL THIS SHEET
HW-4	HEADWALL B-72 (MODIFIED)	142.54	152.00	152.00	MD 352.02 (MODIFIED)	E= 1360009.83 N= 524369.53	(1) SEE DETAIL THIS SHEET
MH-45	SQUARE MANHOLE	143.00	143.01	142.94	MD 352.02	E= 1359121.83 N= 524107.23	
MH-46	SQUARE MANHOLE	143.42	143.69	143.32	MD 352.02	E= 1359112.76 N= 524141.22	
MH-47	SQUARE MANHOLE	145.36	145.00	145.25	MD 352.02	E= 1359347.97 N= 524203.95	
MH-48	SQUARE MANHOLE	146.20	145.58	146.10	MD 352.02	E= 1359322.14 N= 524300.83	
MH-49	SQUARE MANHOLE	147.03	147.00	146.90	MD 352.02	E= 1359533.12 N= 524357.08	
MH-50	SQUARE MANHOLE	148.54	148.51	148.44	MD 352.02	E= 1359561.72 N= 524259.89	
MH-51	MSHA 96" MANHOLE	151.20	151.00	150.90	MD-384.09	E= 1359899.52 N= 524359.22	SEE DETAIL THIS SHEET
MH-52	MSHA 120" MANHOLE	152.00	151.70	151.60	MD-384.11	E= 1359965.59 N= 524373.56	SEE DETAIL THIS SHEET
MH-53	MSHA 84" MANHOLE	154.11	153.94	153.80	MD-384.07	E= 1359967.93 N= 524399.80	SEE DETAIL THIS SHEET
MH-54	MSHA 72" MANHOLE	155.44	155.42	155.30	MD-384.05	E= 1360136.22 N= 524455.30	SEE DETAIL THIS SHEET
MH-55	MSHA 84" MANHOLE	156.66	156.55	156.40	MD-384.07	E= 1360314.07 N= 524532.47	SEE DETAIL THIS SHEET
MH-56	MSHA 72" MANHOLE	160.66	160.30	160.10	MD-384.05	E= 1360267.23 N= 524708.09	SEE DETAIL THIS SHEET
MH-57	MSHA 72" MANHOLE	162.00	161.80	161.60	MD-384.05	E= 1360220.54 N= 524883.14	SEE DETAIL THIS SHEET
MH-58	MSHA 72" MANHOLE	163.00	162.80	162.60	MD-384.05	E= 1360200.84 N= 524957.02	SEE DETAIL THIS SHEET
MH-59	MSHA 72" MANHOLE	164.66	164.45	164.20	MD-384.05	E= 1360177.74 N= 524986.60	SEE DETAIL THIS SHEET
MH-60	MSHA 72" MANHOLE	167.47	167.40	167.20	MD-384.05	E= 1359998.04 N= 525136.15	SEE DETAIL THIS SHEET
MH-61	MSHA 72" MANHOLE	172.46	172.40	172.20	MD-384.05	E= 1359787.01 N= 525311.77	SEE DETAIL THIS SHEET
MH-62	MSHA 72" MANHOLE	172.00	172.00	172.00	MD-384.05	E= 1359784.35 N= 525340.77	SEE DETAIL THIS SHEET
MH-63	MSHA 84" MANHOLE	175.75	175.65	175.50	MD-384.07	E= 1359616.50 N= 525480.45	(FUTURE - BY OTHERS)
MH-64	MSHA 72" MANHOLE	178.70	178.34	178.20	MD-384.05	E= 1359632.89 N= 525524.90	(FUTURE - BY OTHERS)



STORM DRAIN PROFILE

SCALE: HORIZONTAL - 1"=50'
VERTICAL - 1"=5'

AS-BUILT CERTIFICATION FOR PSWM
I HEREBY CERTIFY THAT THE FACILITY SHOWN ON THIS PLAN WAS CONSTRUCTED AS SHOWN ON THE "AS-BUILT" PLANS AND COMPLIES WITH THE APPROVED PLANS AND SPECIFICATIONS. I HAVE VERIFIED THAT THE CONTRIBUTING DRAINAGE AREA IS SUFFICIENTLY STABILIZED TO PREVENT CLOGGING OF THE UNDERGROUND SWM FACILITY.

OWNER: TRIPLE BELL FARMS, LLC
OWNER/DEVELOPER: 2006 DELAWARE, INC.
DATE: 9-10-23

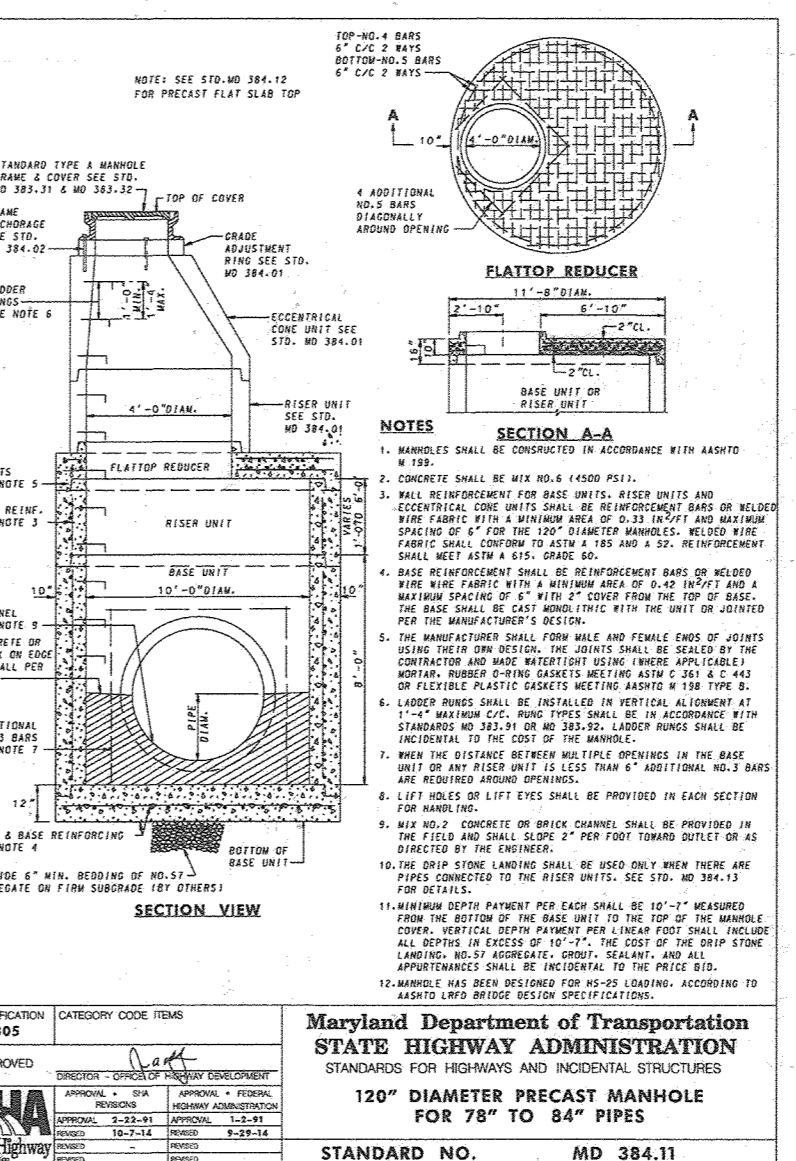
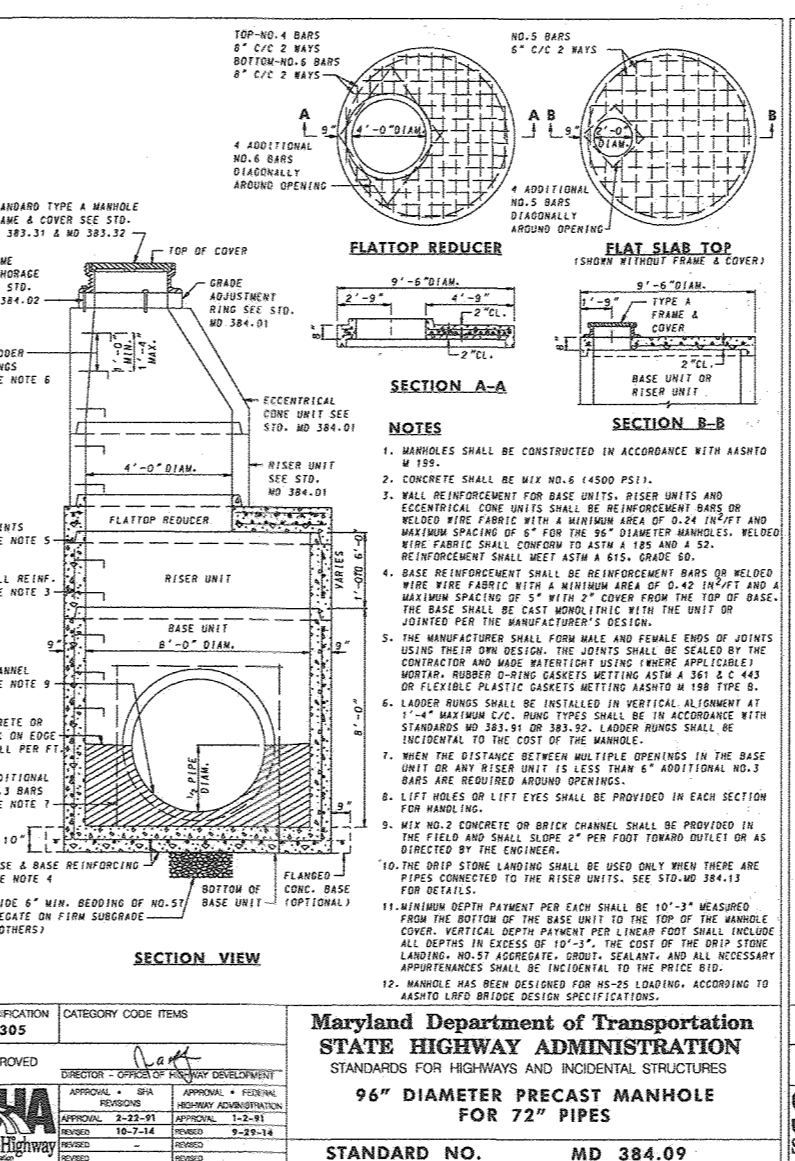
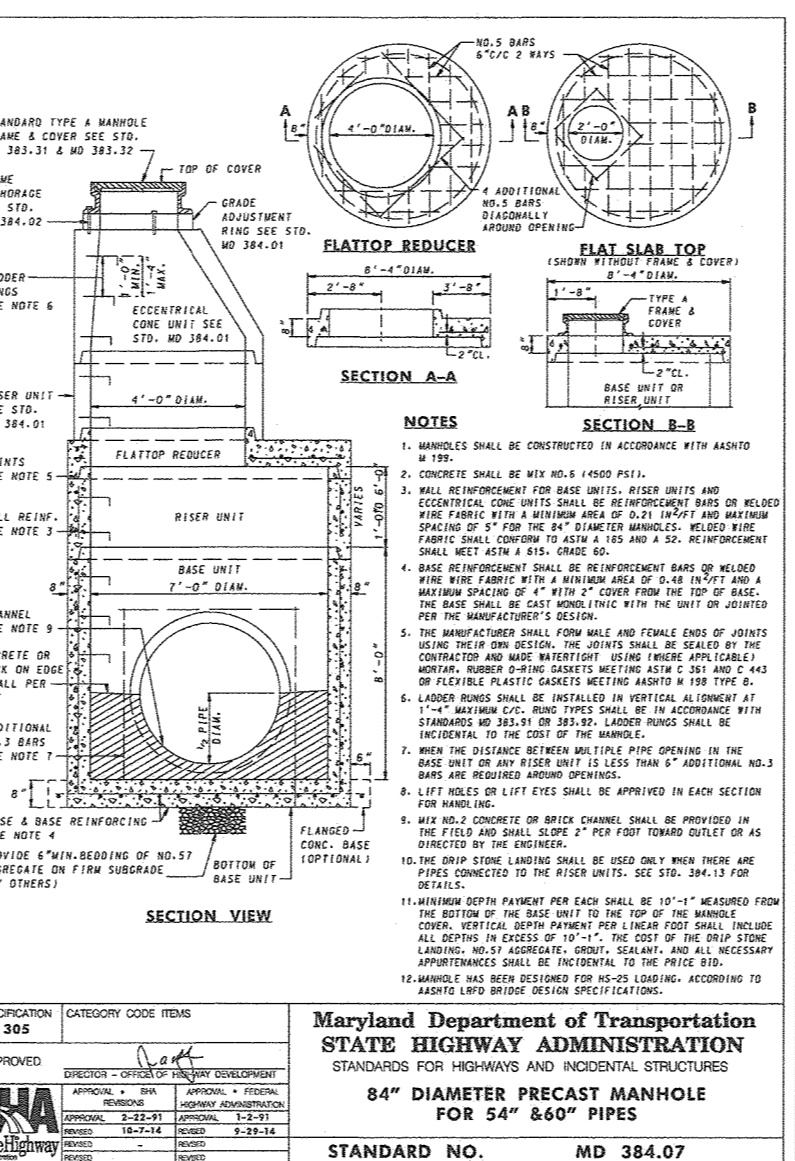
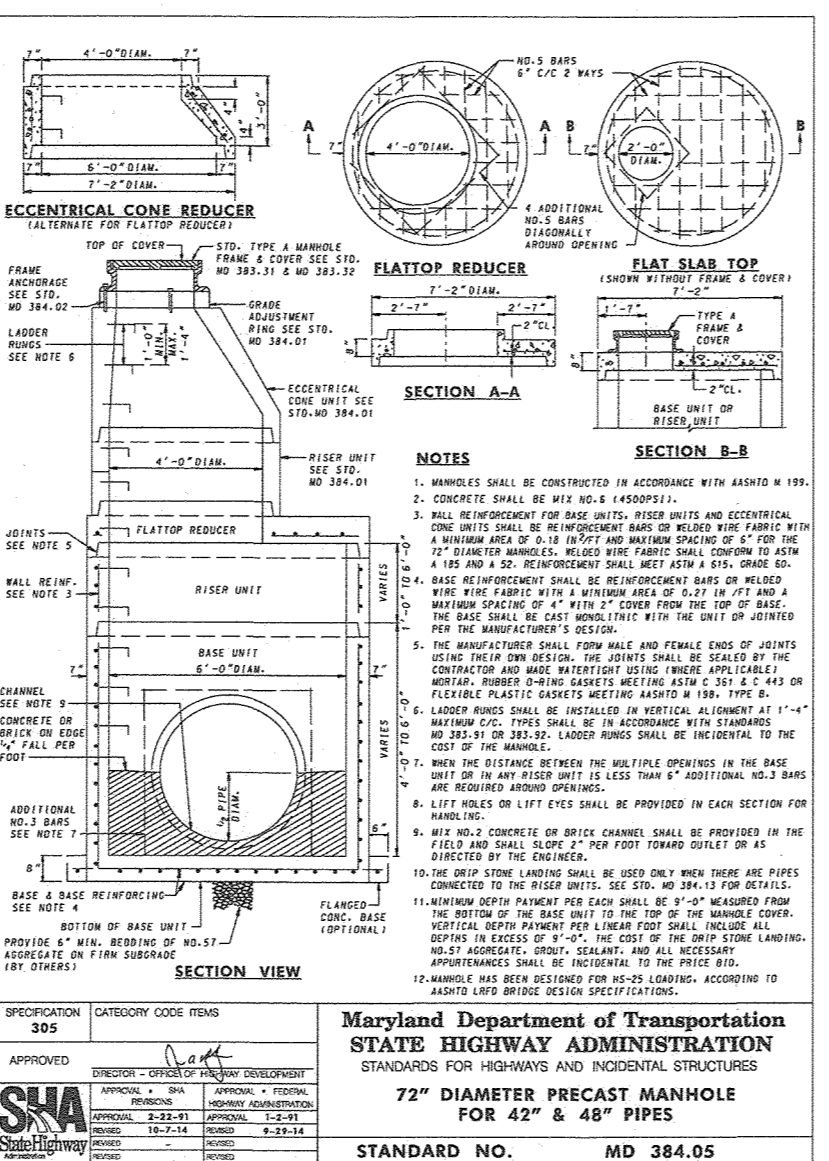
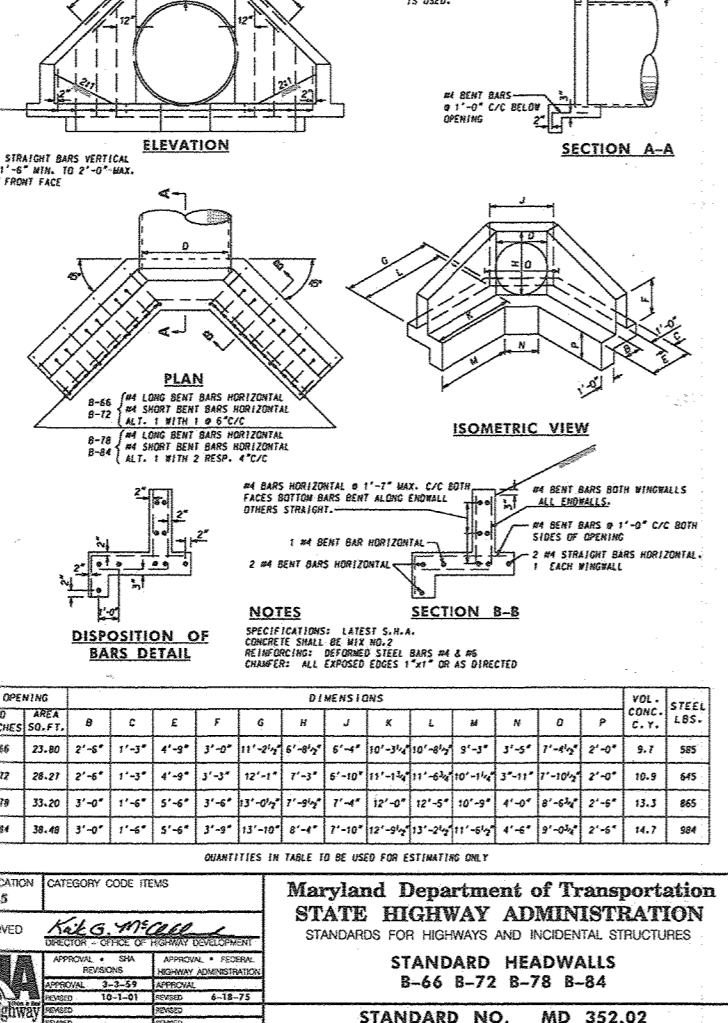
PIPE SCHEDULE - BYPASS

SIZE	TYPE / CLASS	TOTAL LENGTH
48"	HDPE	1385
60"	HDPE	26
72"	RCP CL IV	1185

THE TOTAL LENGTH OF PIPE IS LINEAR FEET ONLY. HDPE IS TO BE SMOOTH INTERIOR. CONTRACTOR SHALL INSTALL PIPE IN ACCORDANCE WITH COUNTY AND MANUFACTURER'S SPECIFICATIONS.

DETAIL FOR HW-1, HW-3 AND HW-4

NOTE: HW-1 SHALL BE MODIFIED SEE DETAIL SHEET 25.
NOTE: HW-4 SHALL BE MODIFIED SEE DETAIL THIS SHEET.



REVISED SITE DEVELOPMENT PLAN
STORM DRAIN PROFILES
BYPASS SYSTEM

PADDOCK POINTE - PHASE 1
FORMERLY KNOWN AS LAUREL PARK STATION
64 APARTMENT AND 180 STACKED CONDO UNITS
P.384 (L10518/F157)
P.441 (L13286/F377)
ZONED: TOD

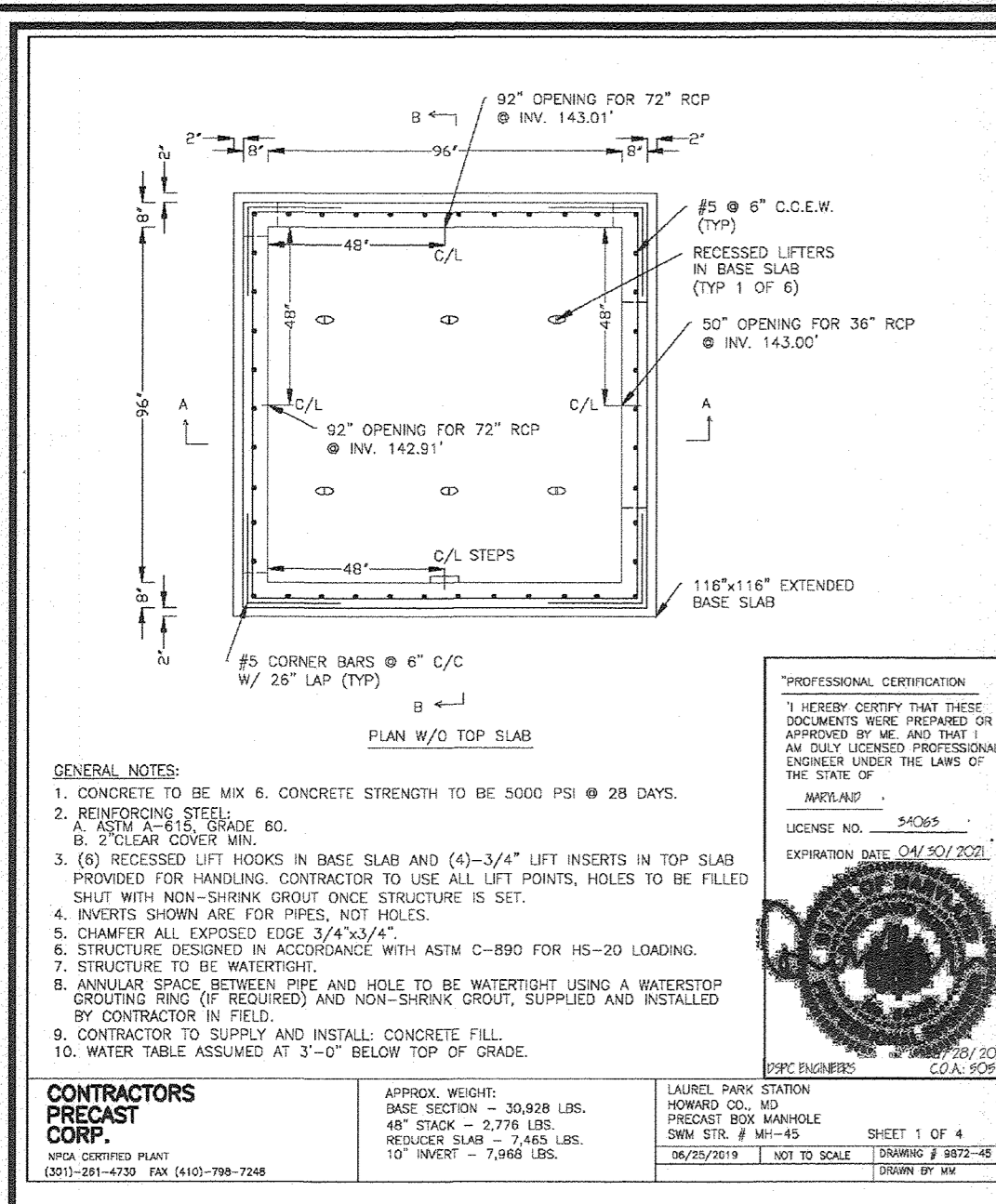
VOGEL ENGINEERING
TIMMONS GROUP
3300 NORTH RIDGE ROAD, SUITE 110, ELLICOTT CITY, MD 21043
P: 410.461.7666 F: 410.461.8961 www.timmons.com

DESIGN BY: RHY/DZE
DRAWN BY: DZE
CHECKED BY: RHY
DATE: SEPTEMBER 2020
SCALE: AS SHOWN
W.D. NO.: 07-11/40111

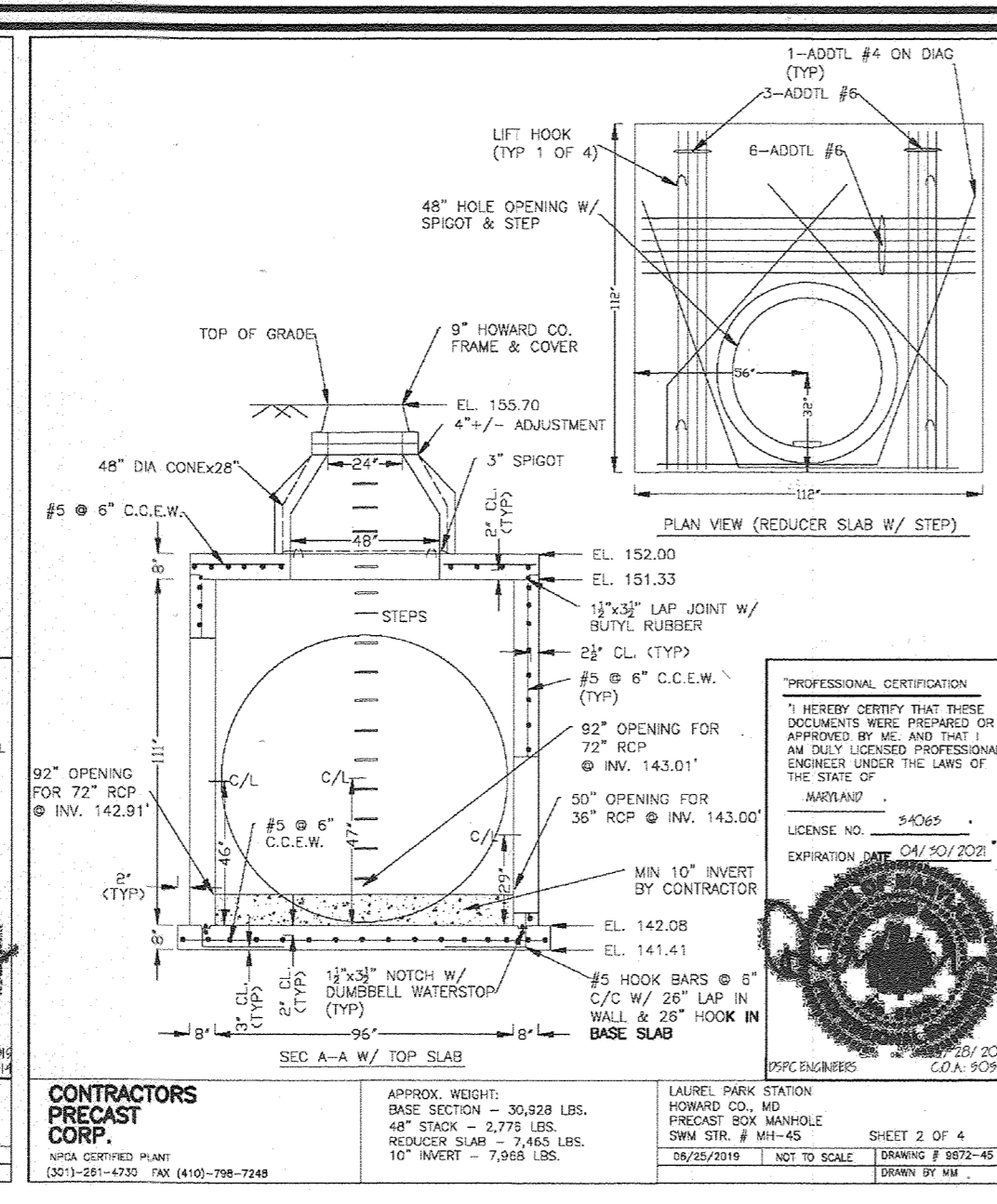
PROFESSIONAL CERTIFICATE
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE STATE OF MARYLAND, LICENSE NO. 16193, EXPIRATION DATE: 09-27-2022.

31 SHEET OF 55

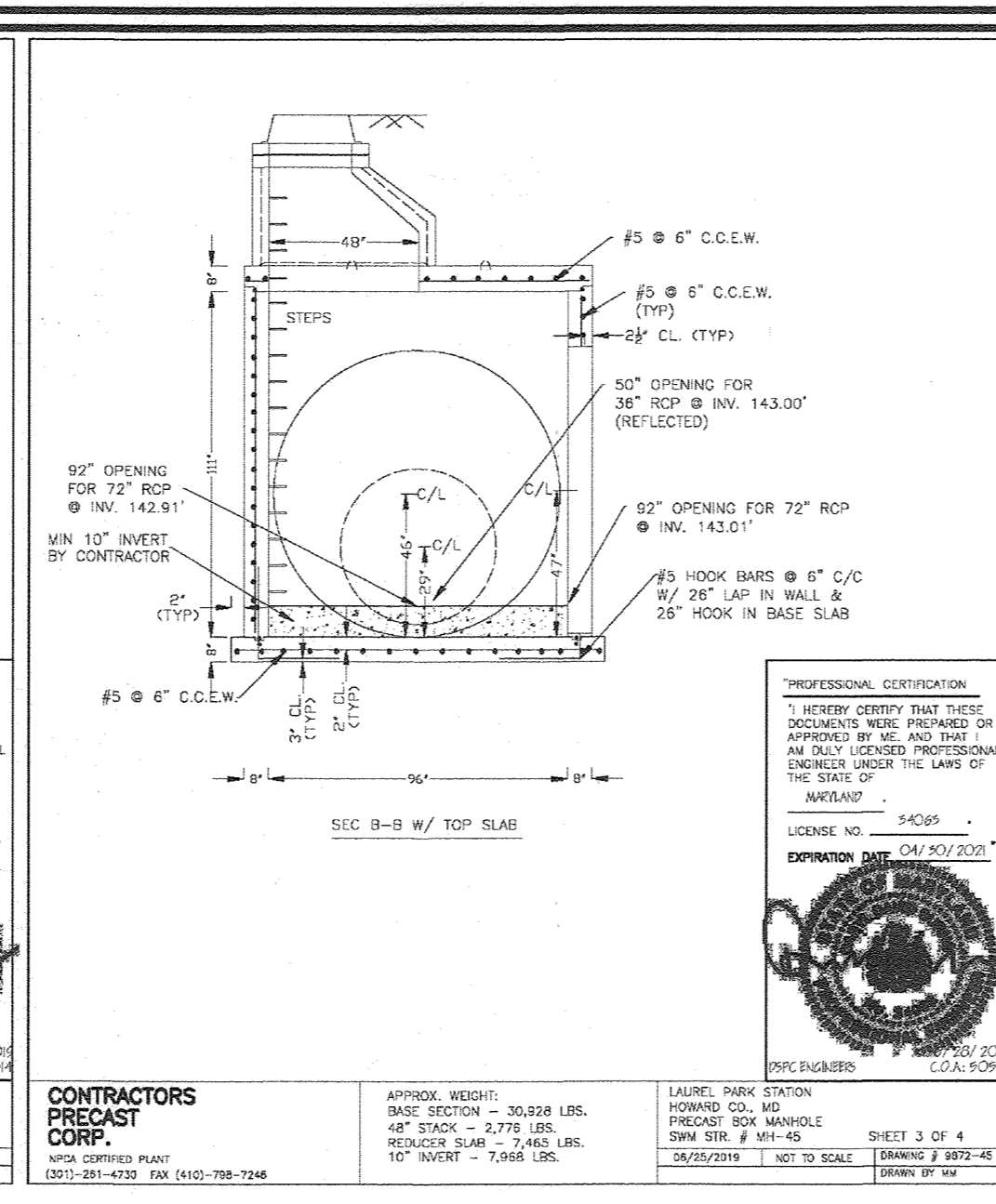
AS-BUILT JULY 2023



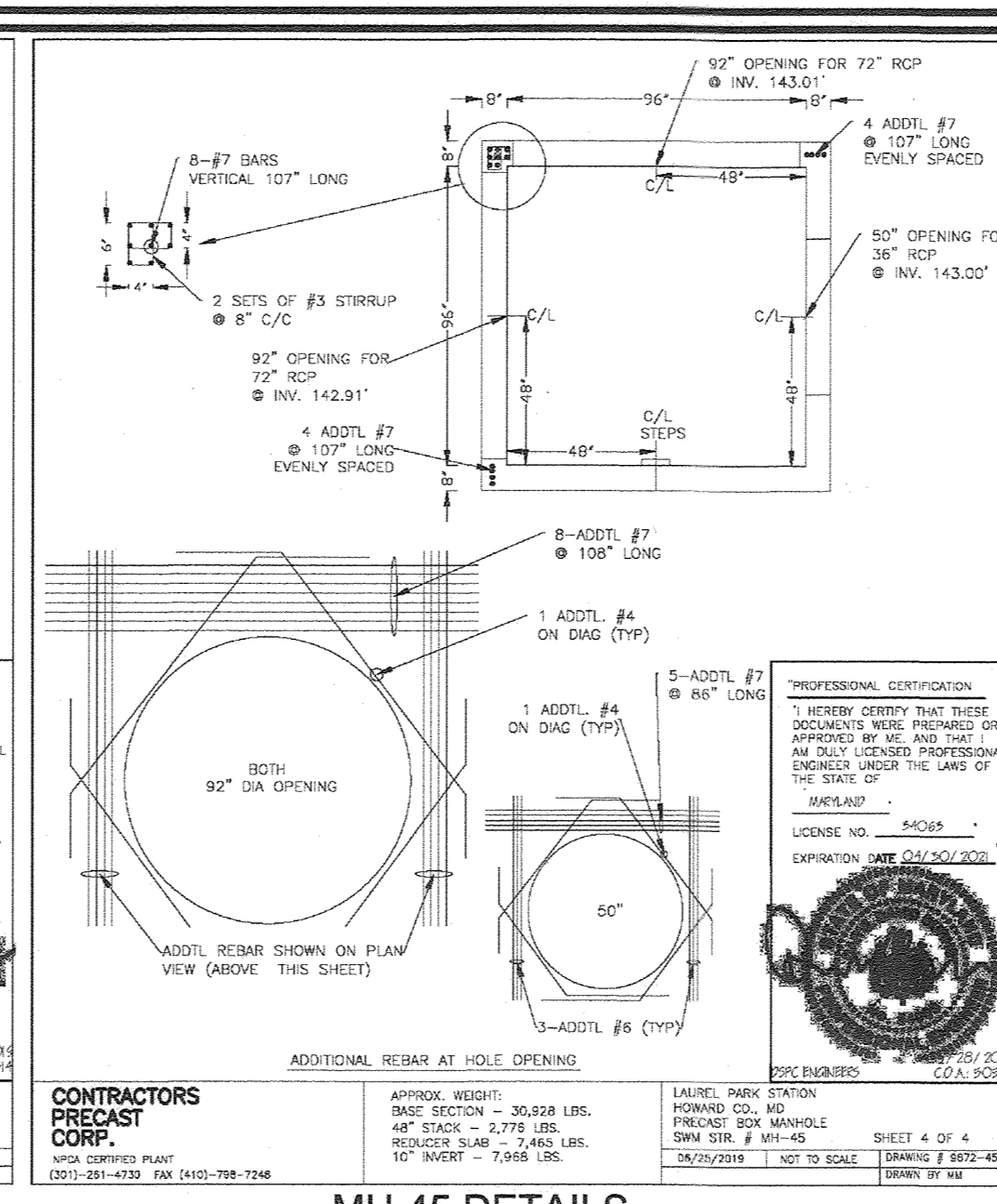
CONTRACTORS PRECAST CORP.
 APPROX. WEIGHT: BASE SECTION = 30,828 LBS.
 48" STACK = 2,776 LBS.
 REDUCER SLAB = 7,845 LBS.
 10" INVERT = 7,868 LBS.



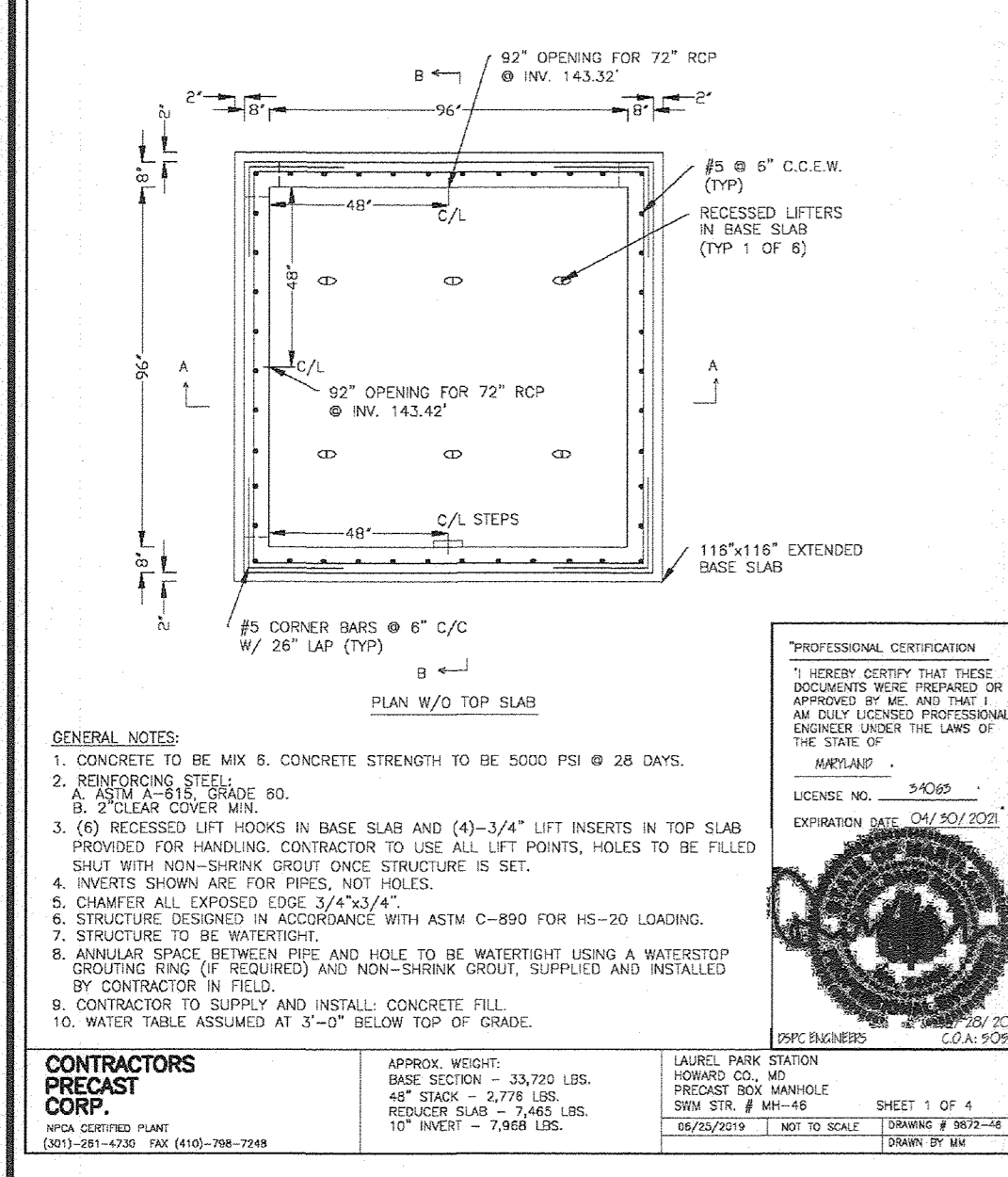
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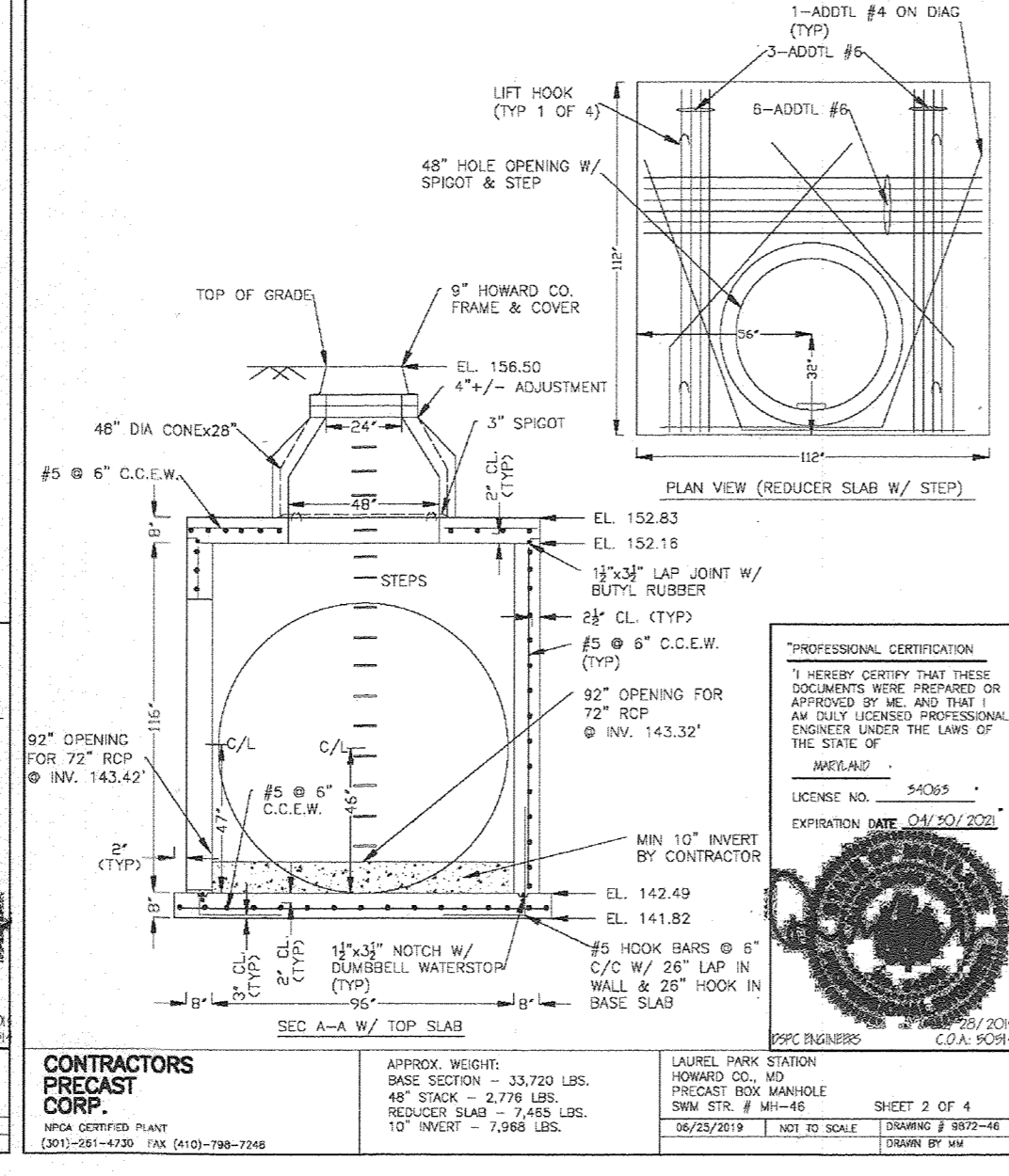
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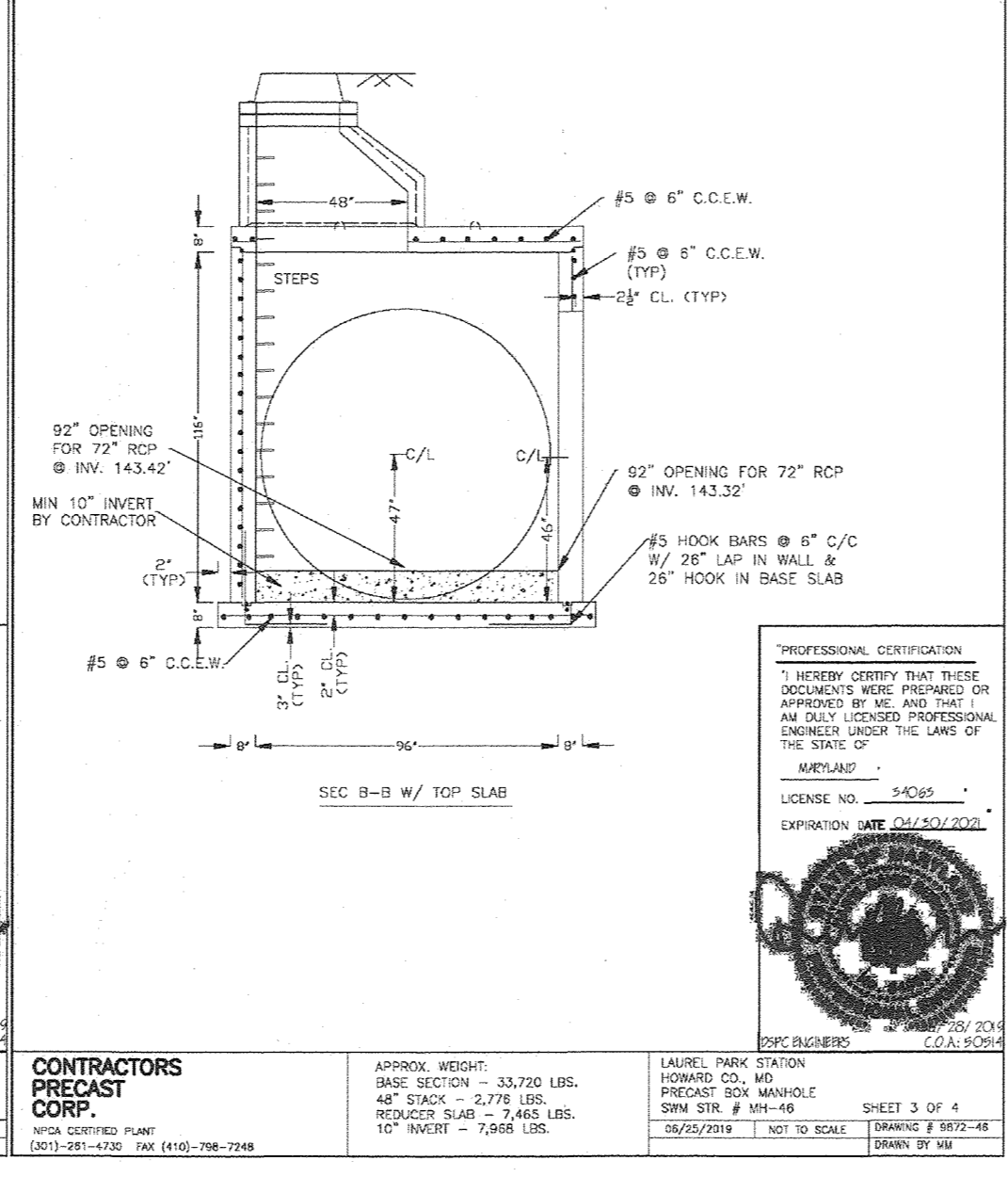
CONTRACTORS PRECAST CORP.
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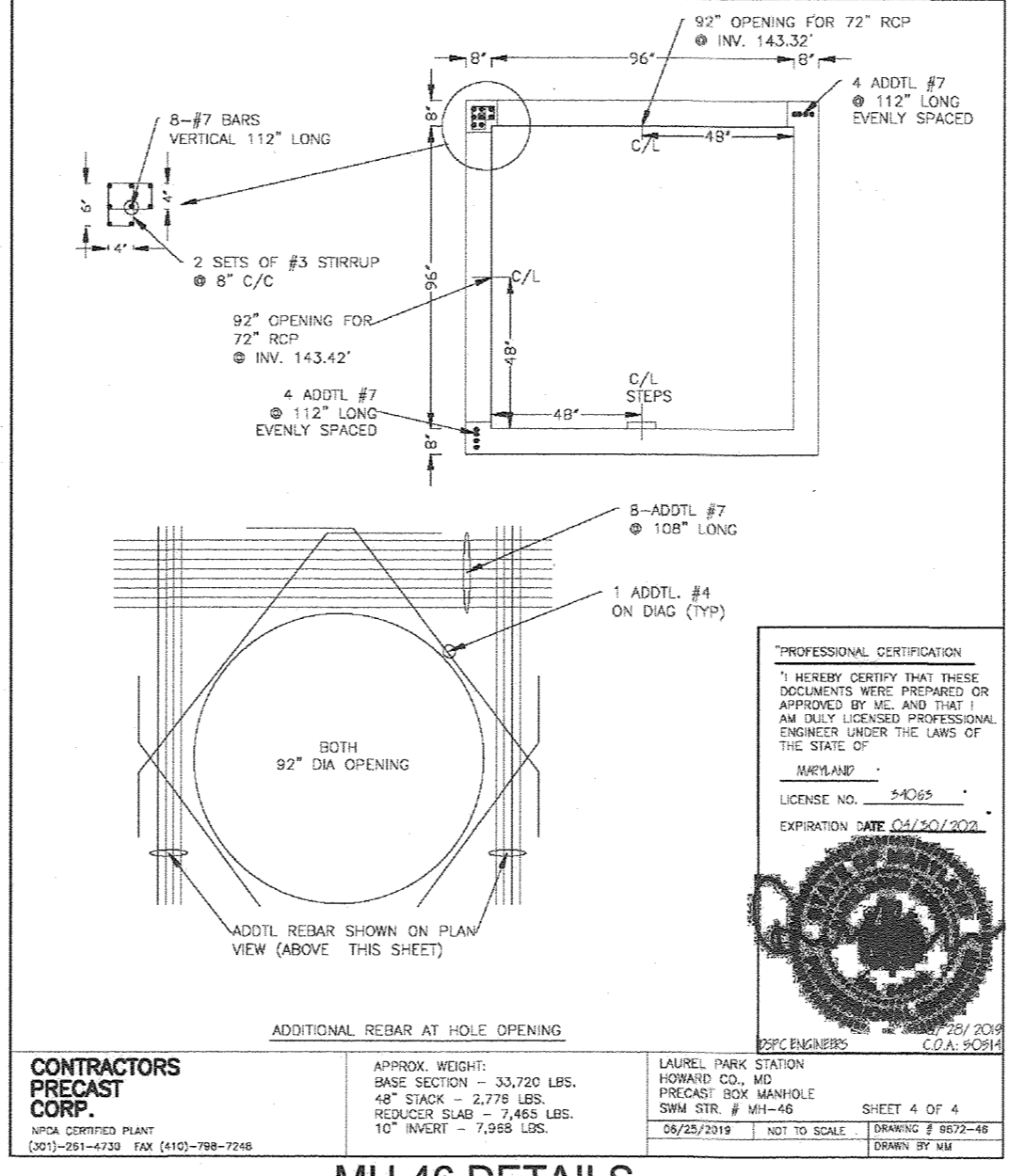
CONTRACTORS PRECAST CORP.
 APPROX. WEIGHT: BASE SECTION = 33,770 LBS.
 48" STACK = 2,776 LBS.
 REDUCER SLAB = 7,845 LBS.
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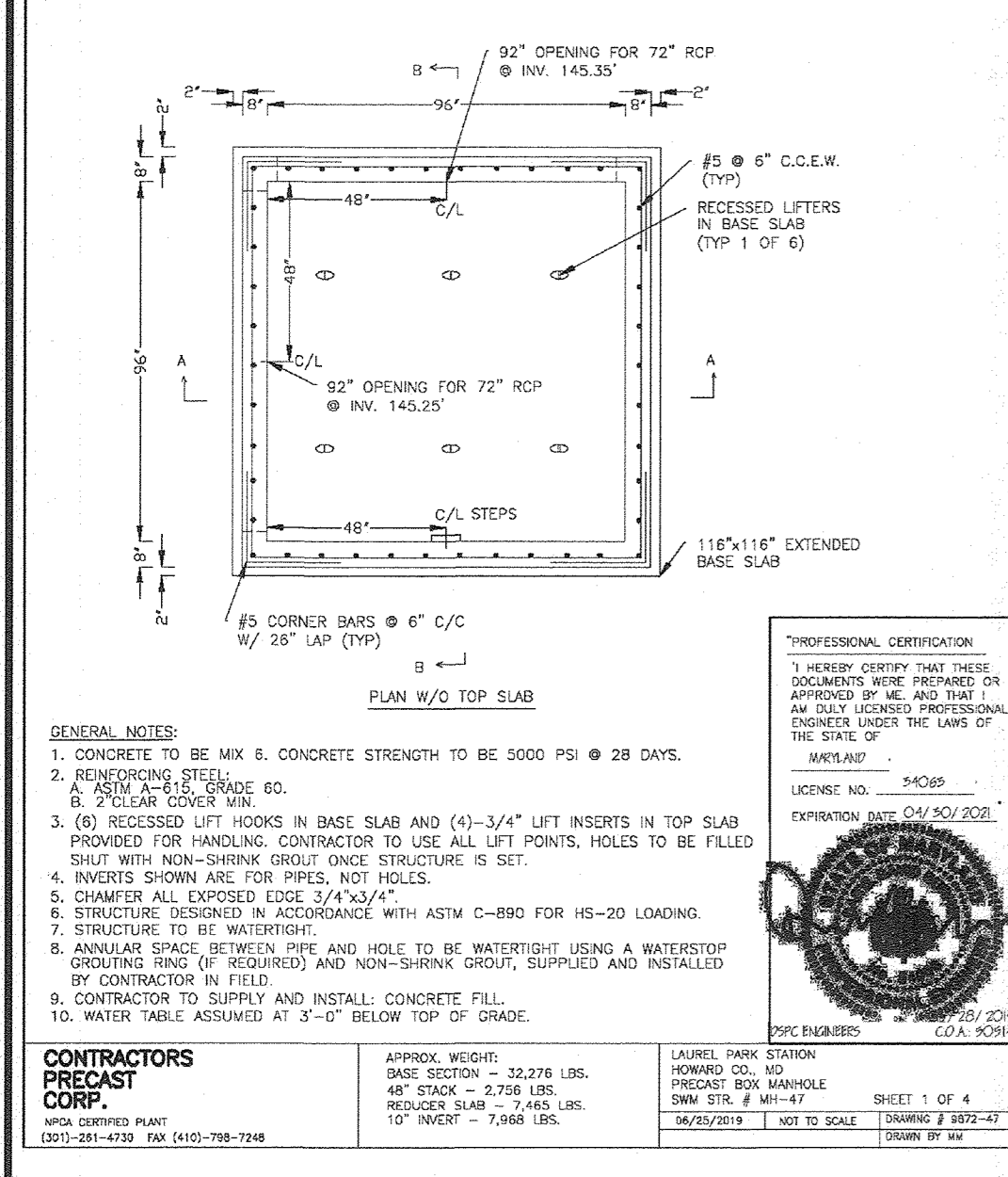
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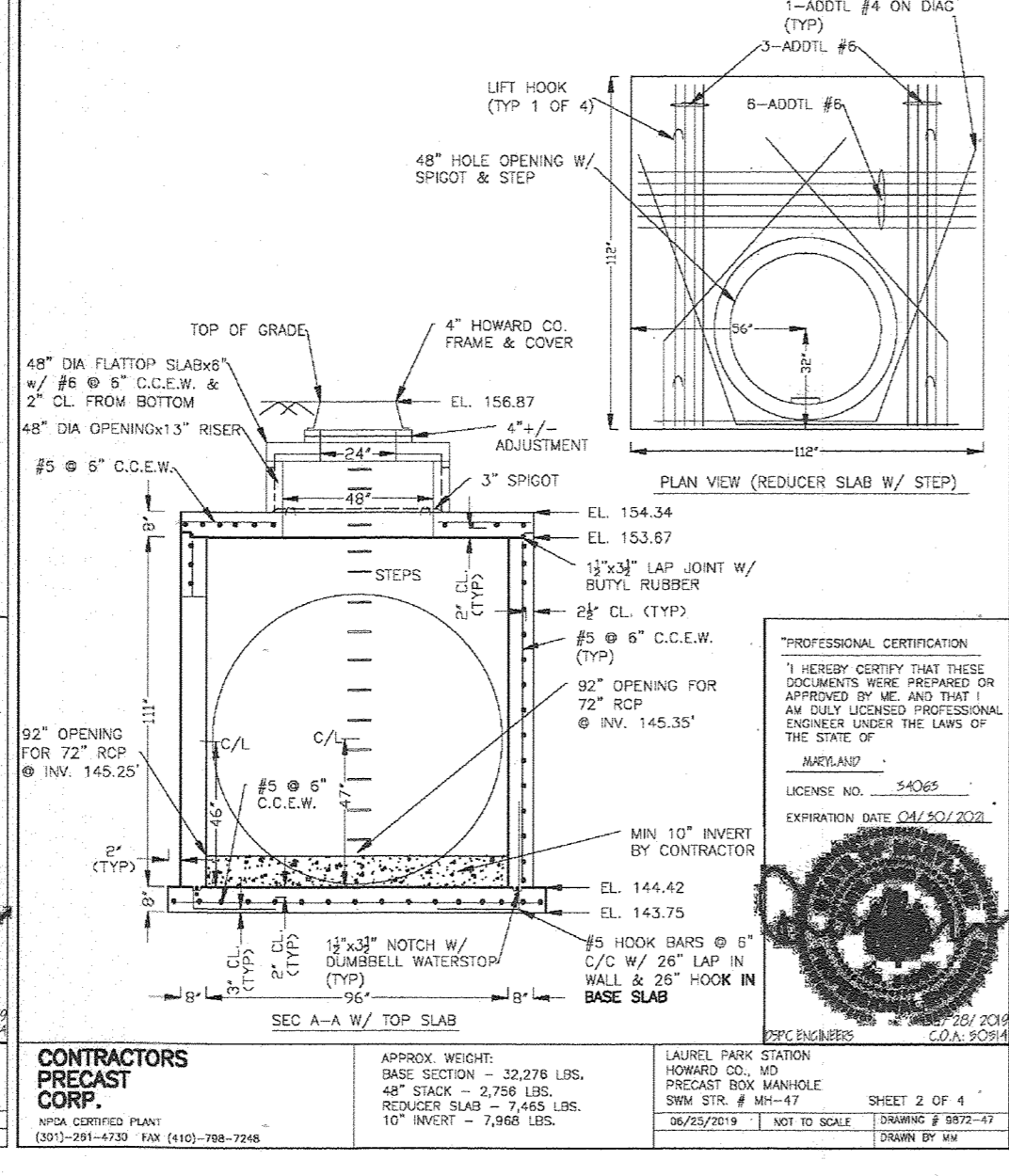
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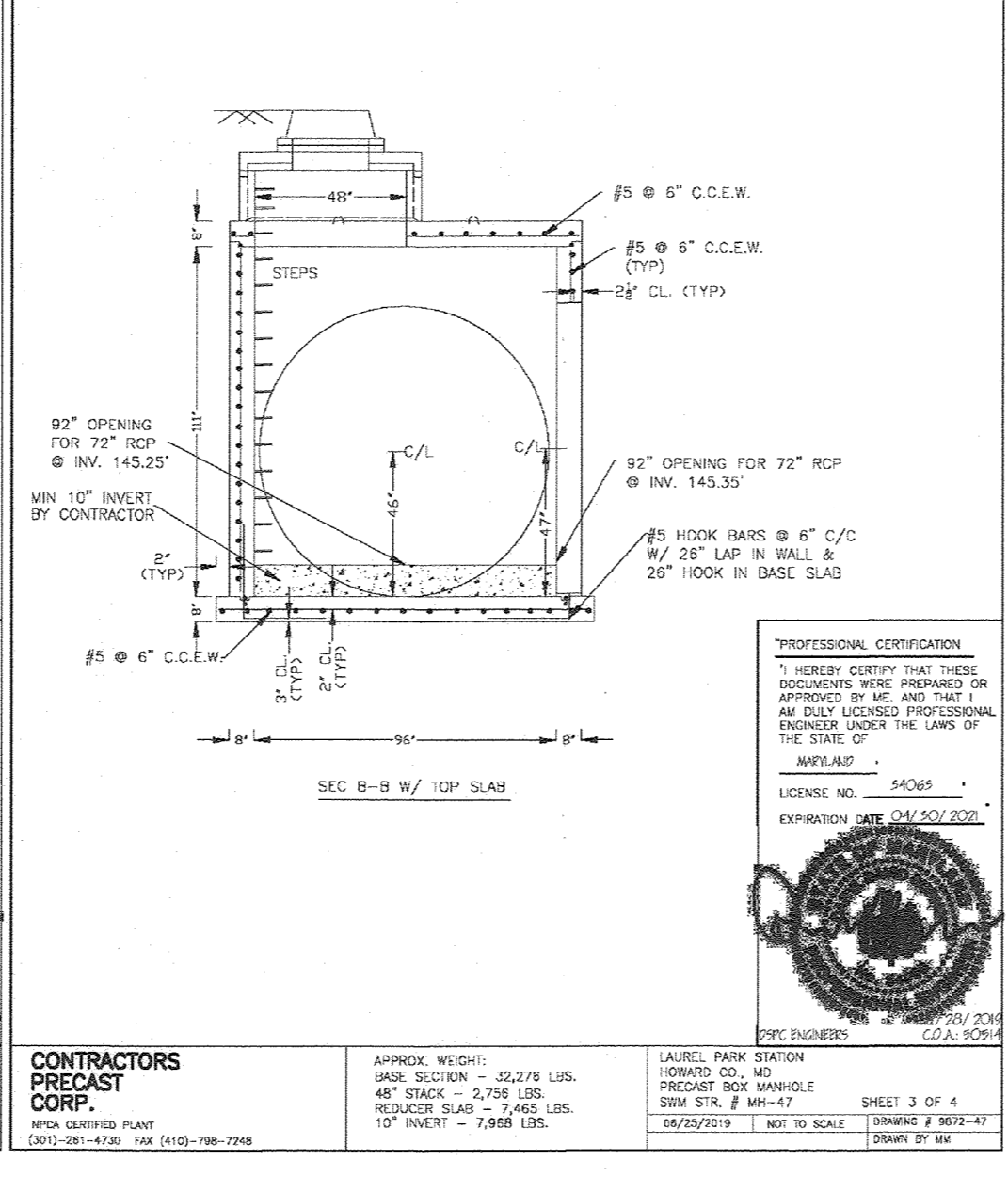
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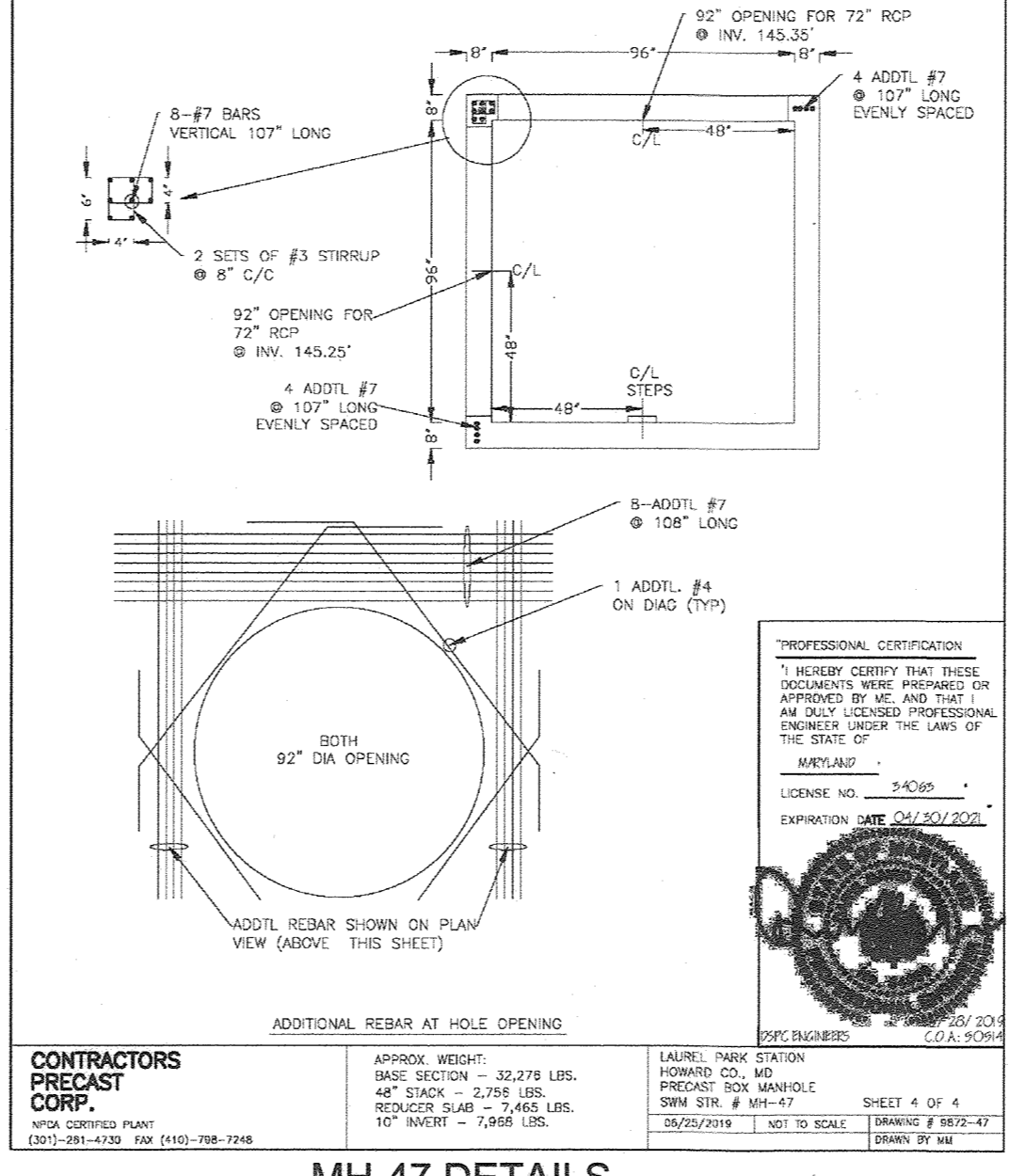
CONTRACTORS PRECAST CORP.
 APPROX. WEIGHT: BASE SECTION = 32,278 LBS.
 48" STACK = 2,776 LBS.
 REDUCER SLAB = 7,845 LBS.
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CONTRACTORS PRECAST CORP.
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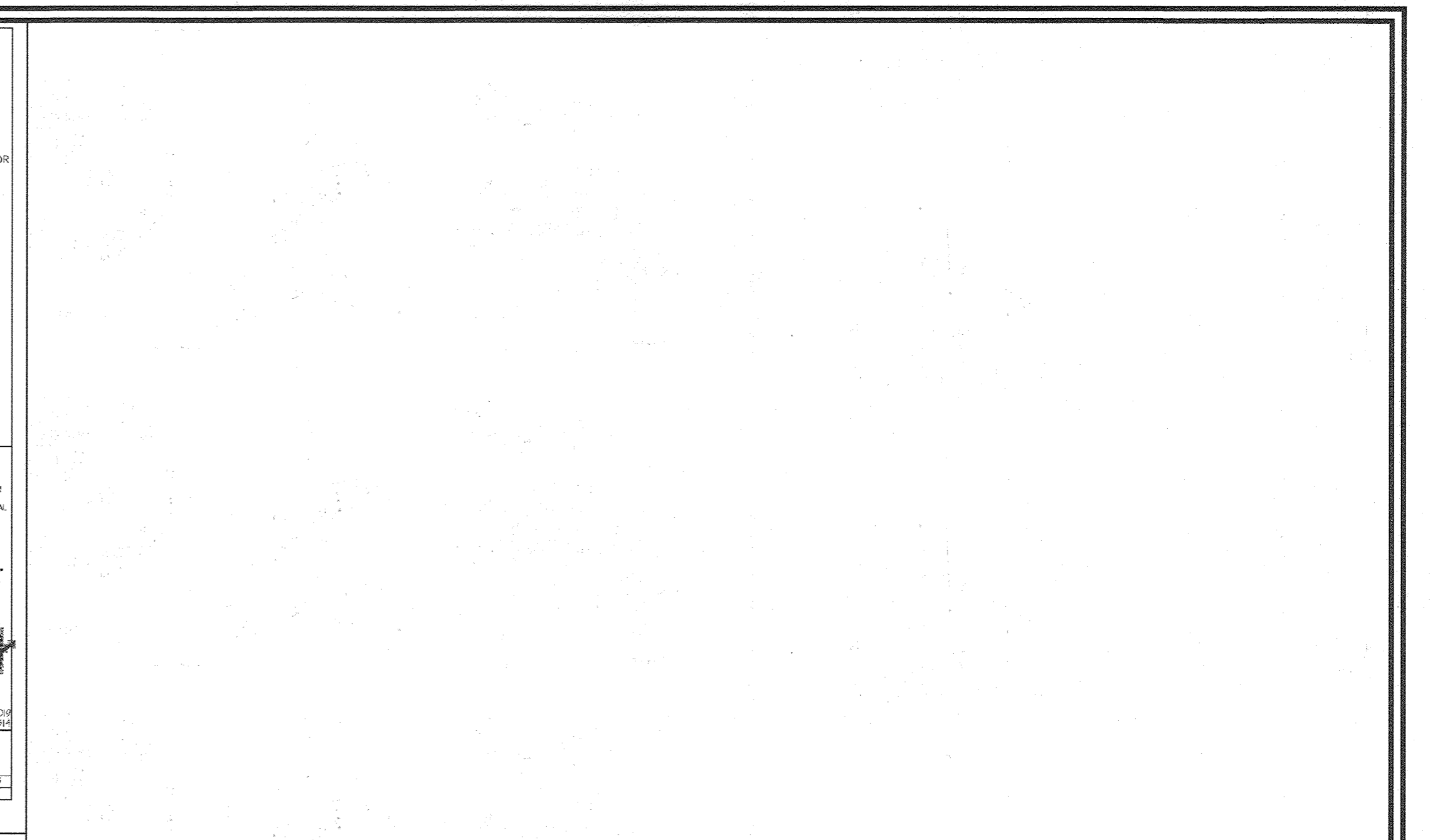
CONTRACTORS PRECAST CORP.
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 REDUCER SLAB = 7,845 LBS.
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APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
 DATE: 12/3/19
 DATE: 12/10/19
 DATE: 12/21/19

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
 DATE: 12/3/19
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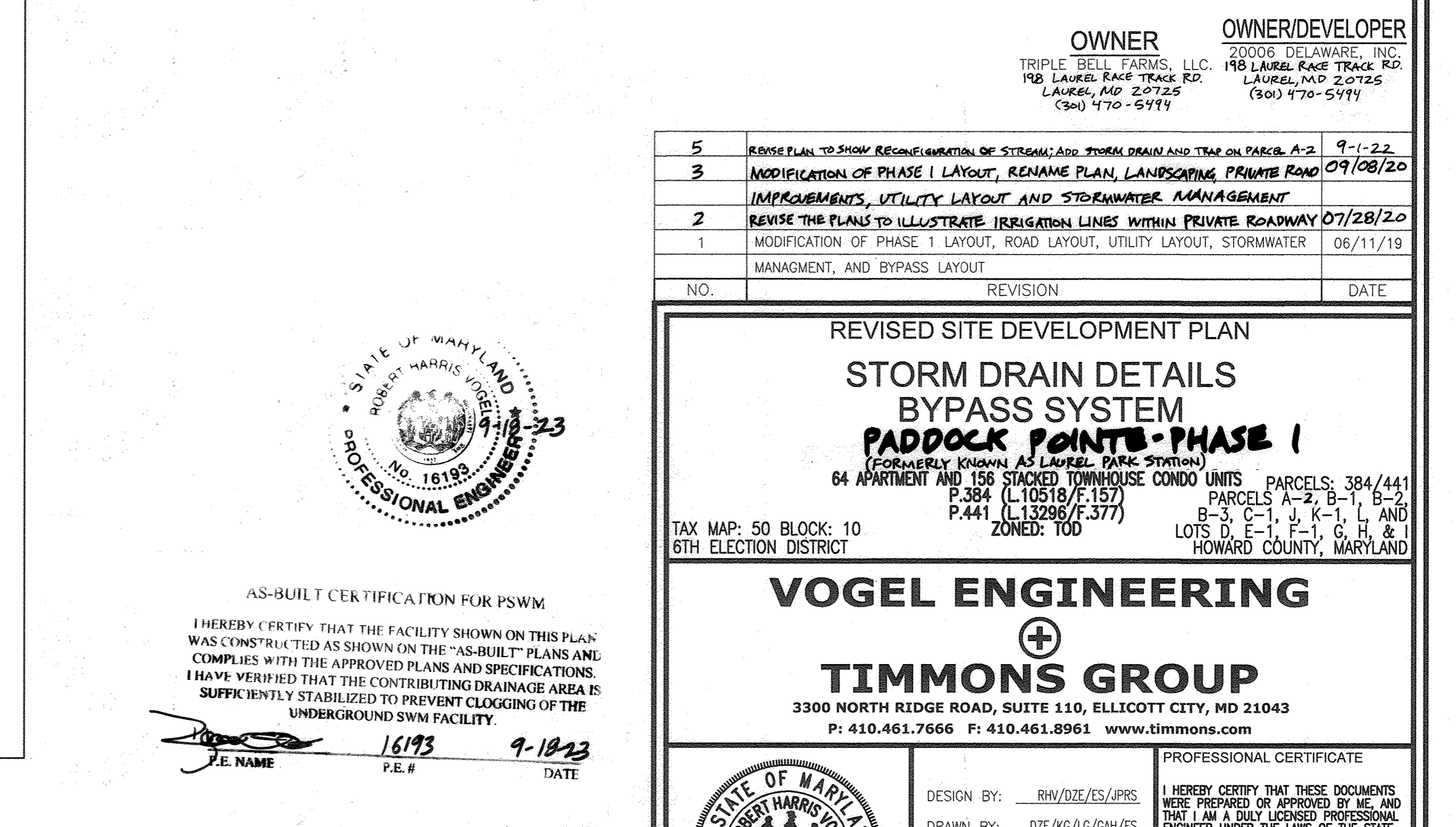
APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
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 DATE: 12/21/19



CONTRACTORS PRECAST CORP.
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APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
 DATE: 12/3/19
 DATE: 12/10/19
 DATE: 12/21/19

NO.	REVISION	DATE
5	REVISE PLAN TO SHOW RECONSTRUCTION OF STORM DRAIN AND TRAIL ON PARCELS A-2	9/1/22
3	MODIFICATION OF PHASE I LAYOUT, RENAME PLAN, LANDSCAPING PRIVATE ROAD	09/08/20
2	IMPROVEMENTS, UTILITY LAYOUT AND STORMWATER MANAGEMENT	07/28/20
1	REVISE THE PLANS TO ILLUSTRATE IRRIGATION LINES WITHIN PRIVATE ROADWAY	07/28/20
1	MODIFICATION OF PHASE I LAYOUT, ROAD LAYOUT, UTILITY LAYOUT, STORMWATER MANAGEMENT, AND BYPASS LAYOUT	06/11/19

OWNER: TRIPLE BELL FARMS, LLC. 20008 DELAWARE, INC.
 198 LAUREL RACE TRACK RD. LAUREL, MD 20725
 (301) 470-5199

OWNER/DEVELOPER: 20008 DELAWARE, INC.
 198 LAUREL RACE TRACK RD. LAUREL, MD 20725
 (301) 470-5199

REVISED SITE DEVELOPMENT PLAN
STORM DRAIN DETAILS BYPASS SYSTEM
PADDOCK POINTS-PHASE I
 (FORMERLY KNOWN AS LAUREL PARK STATION)
 64 APARTMENT AND 156 STACKED TOWNHOUSE CONDO UNITS PARCELS: 384/441
 P.384 (L10518/F.157) PARCELS A-2, B-1, B-2
 P.441 (L1328/F.377) PARCELS C-1, C-1, L AND
 ZONED: T00 LOTS D, E-1, F-1, G, H, & J
 HOWARD COUNTY, MARYLAND

TAX MAP: 50 BLOCK: 10
 6TH ELECTION DISTRICT

VOGEL ENGINEERING
 3300 NORTH RIDGE ROAD, SUITE 110, ELLICOTT CITY, MD 21043
 P: 410.461.7666 F: 410.461.8961 www.timmons.com

TIMMONS GROUP

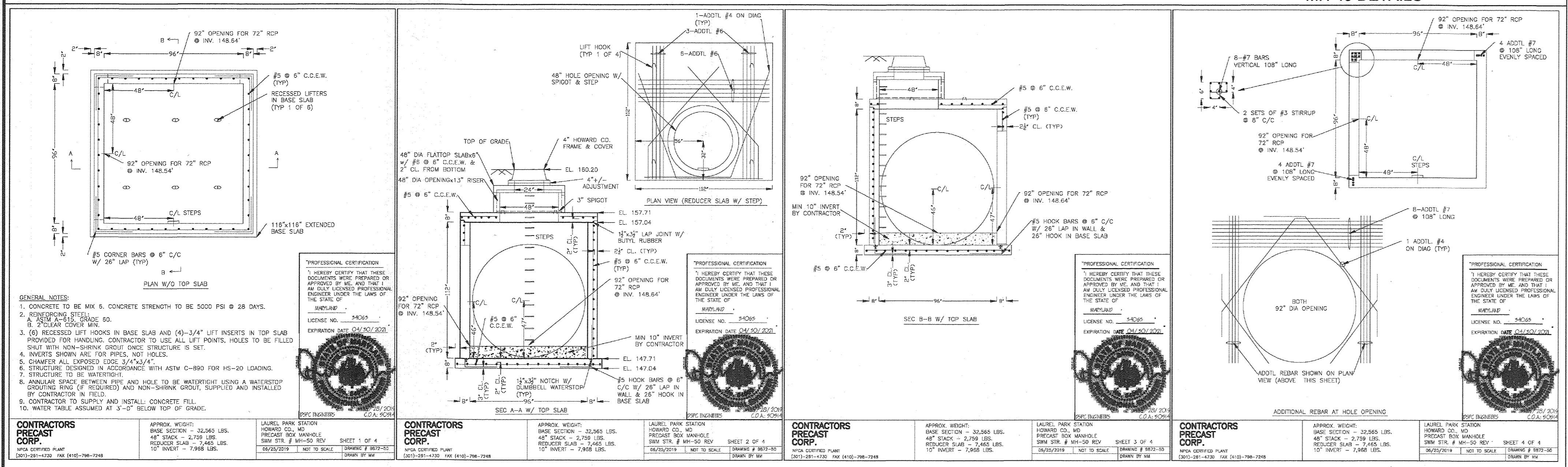
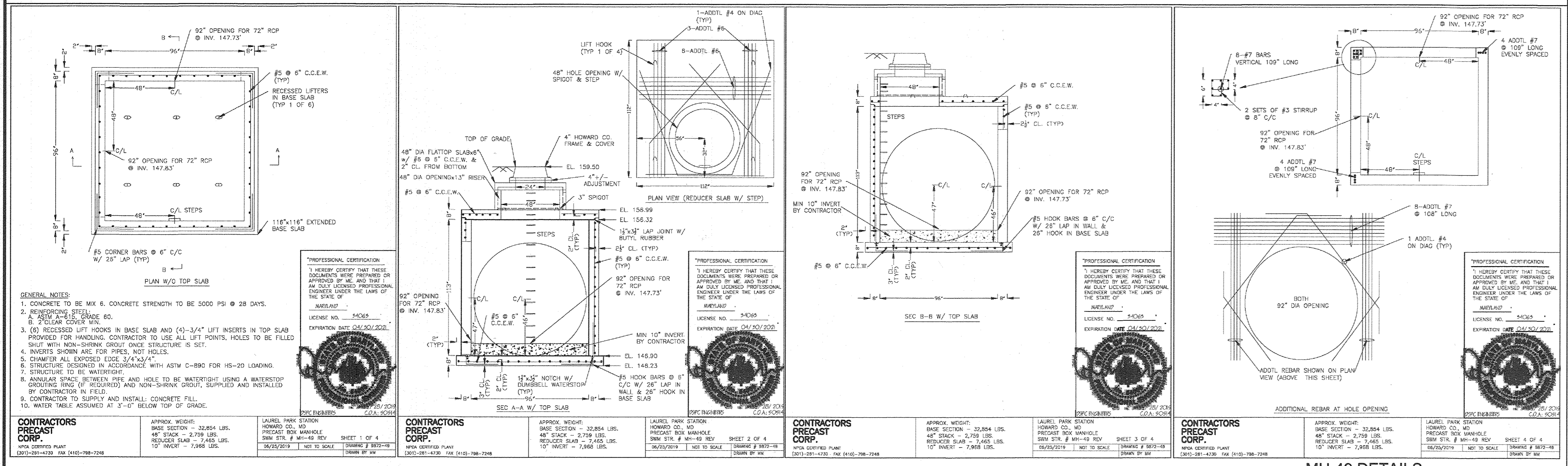
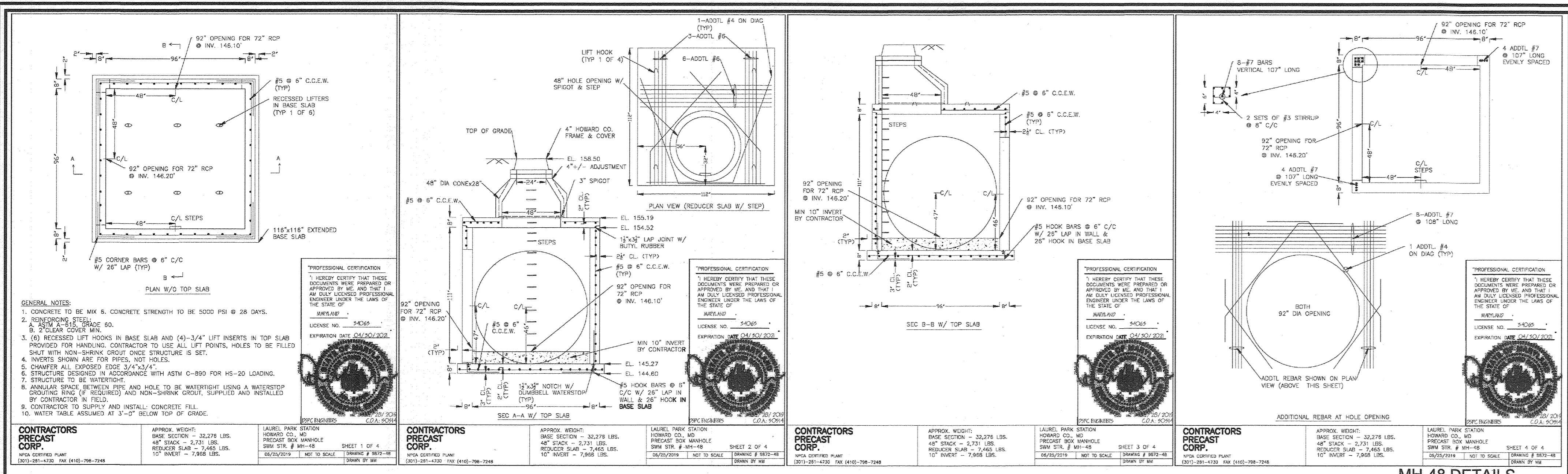
PROFESSIONAL CERTIFICATE
 I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.
 EXPIRATION DATE: 08-27-2020

DESIGN BY: RHW/DZE/ES/PRS
 DRAWN BY: DZE/KG/AG/SAH/ES
 CHECKED BY: RHW
 DATE: NOVEMBER 2019
 SCALE: AS SHOWN
 W.O. NO.: 07-11/40111

32 SHEET OF 55

NO AS-BUILT INFORMATION ON THIS SHEET

AS-BUILT JULY 2023

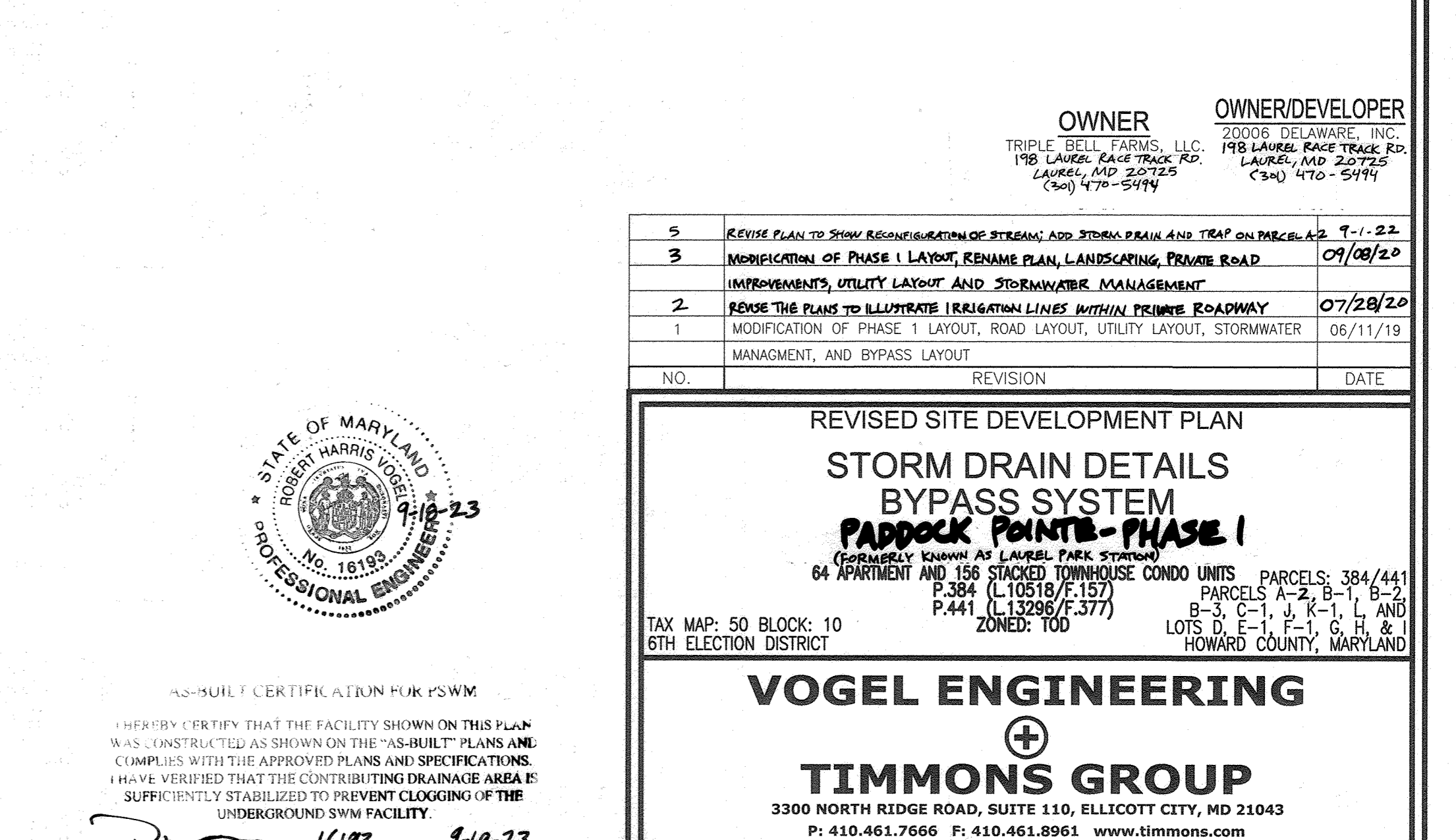
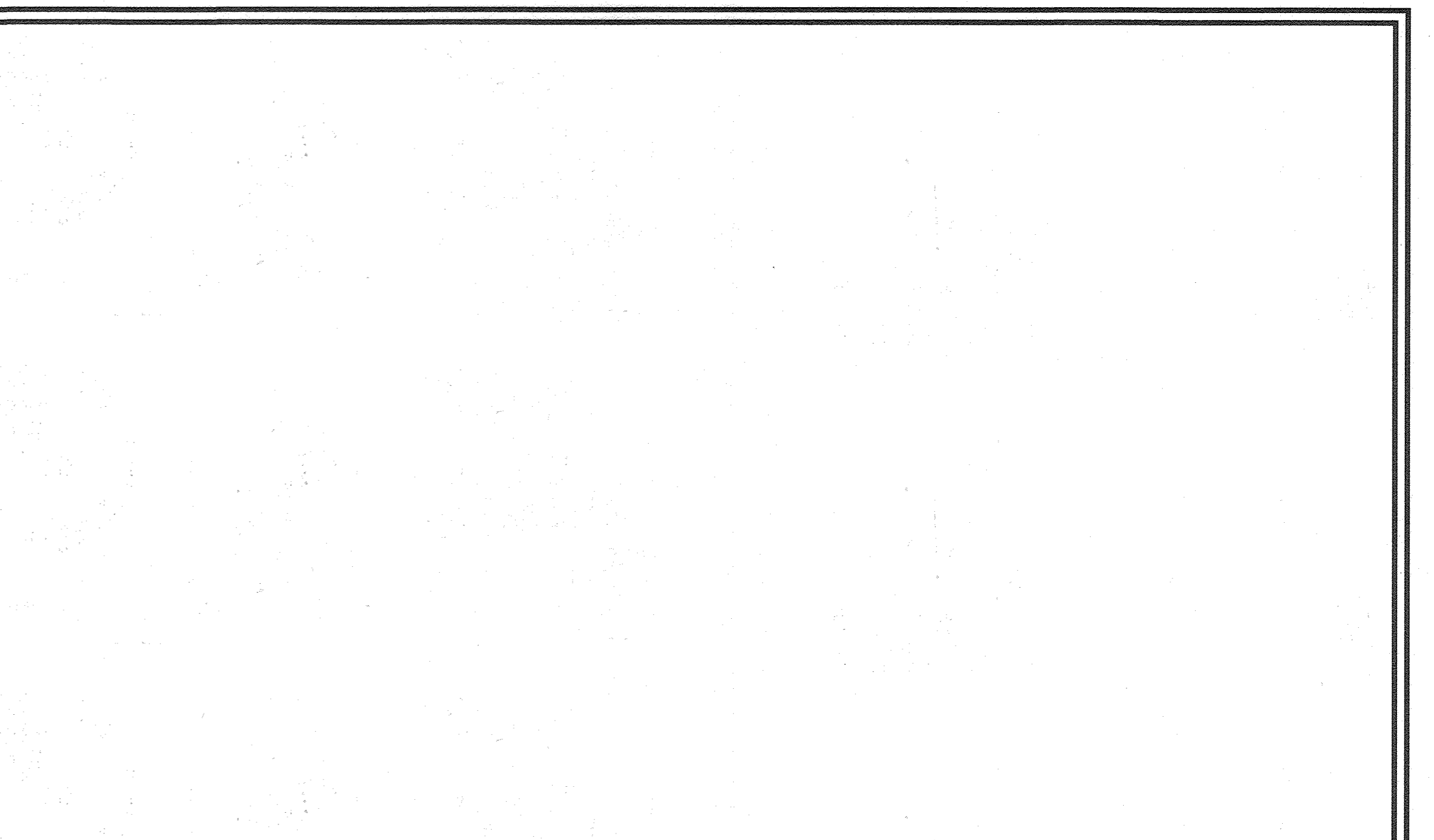


APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

[Signature] 12/3/19
 CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

[Signature] 12/10/19
 CHIEF, DIVISION OF LAND DEVELOPMENT DATE

[Signature] 12-12-19
 DIRECTOR DATE



OWNER: TRIPLE BELL FARMS, LLC. 20005 DELAWARE, INC. 198 LAUREL RACE TRACK RD. LAUREL, MD 20725 (301) 470-5414

OWNER/DEVELOPER: 198 LAUREL RACE TRACK RD. LAUREL, MD 20725 (301) 470-5414

REVISED SITE DEVELOPMENT PLAN
 STORM DRAIN DETAILS
 BYPASS SYSTEM
 PADDOCK POINTS - PHASE I
 (FORMERLY KNOWN AS LAUREL PARK STATION)
 64 APARTMENT AND 156 STACKED TOWNHOUSE CONDO UNITS PARCELS: 384/441
 P.384 (L10518/F.157) PARCELS A-2, B-1, B-2
 P.441 (L13286/F.377) PARCELS C-1, D, K-1, L AND
 ZONED: T00 LOTS D, E, F, G, H, & I
 HOWARD COUNTY, MARYLAND

TAX MAP: 50 BLOCK: 10
 6TH ELECTION DISTRICT

PROFESSIONAL CERTIFICATE FOR P.S.W.M.
 I HEREBY CERTIFY THAT THE FACILITY SHOWN ON THIS PLAN WAS CONSTRUCTED AS SHOWN ON THE "AS-BUILT" PLANS AND COMPLIES WITH THE APPROVED PLANS AND SPECIFICATIONS. I HAVE VERIFIED THAT THE CONTRIBUTING DRAINAGE AREA IS SUFFICIENTLY STABILIZED TO PREVENT CLOGGING OF THE UNDERGROUND SWM FACILITY.

16193 9-18-23
 P.E. NAME DATE

NO AS-BUILT INFORMATION ON THIS SHEET

PROFESSIONAL CERTIFICATE
 I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.
 EXPIRATION DATE: 08-27-2023

DESIGN BY: RHW/DZE/ESJ/PRS
 DRAWN BY: DZE/KS/G/CAH/LES
 CHECKED BY: RHW
 DATE: NOVEMBER 2019
 SCALE: AS SHOWN
 W.O. NO.: 07-11/40111

33 SHEET OF 55

NO.	REVISION	DATE
5	REVISE PLAN TO SHOW RECONFIGURATION OF STREAM, ADD STREAM DRAIN AND TRAP ON PARCEL A2	9-1-22
3	MODIFICATION OF PHASE I LAYOUT, RENAME PLAN, LANDSCAPING, PRIVATE ROAD IMPROVEMENTS, UTILITY LAYOUT AND STORMWATER MANAGEMENT	01/08/20
2	REVISE THE PLANS TO ILLUSTRATE IRRIGATION LINES WITHIN FEINURE ROADWAY	07/28/20
1	MODIFICATION OF PHASE I LAYOUT, ROAD LAYOUT, UTILITY LAYOUT, STORMWATER MANAGEMENT, AND BYPASS LAYOUT	06/11/19



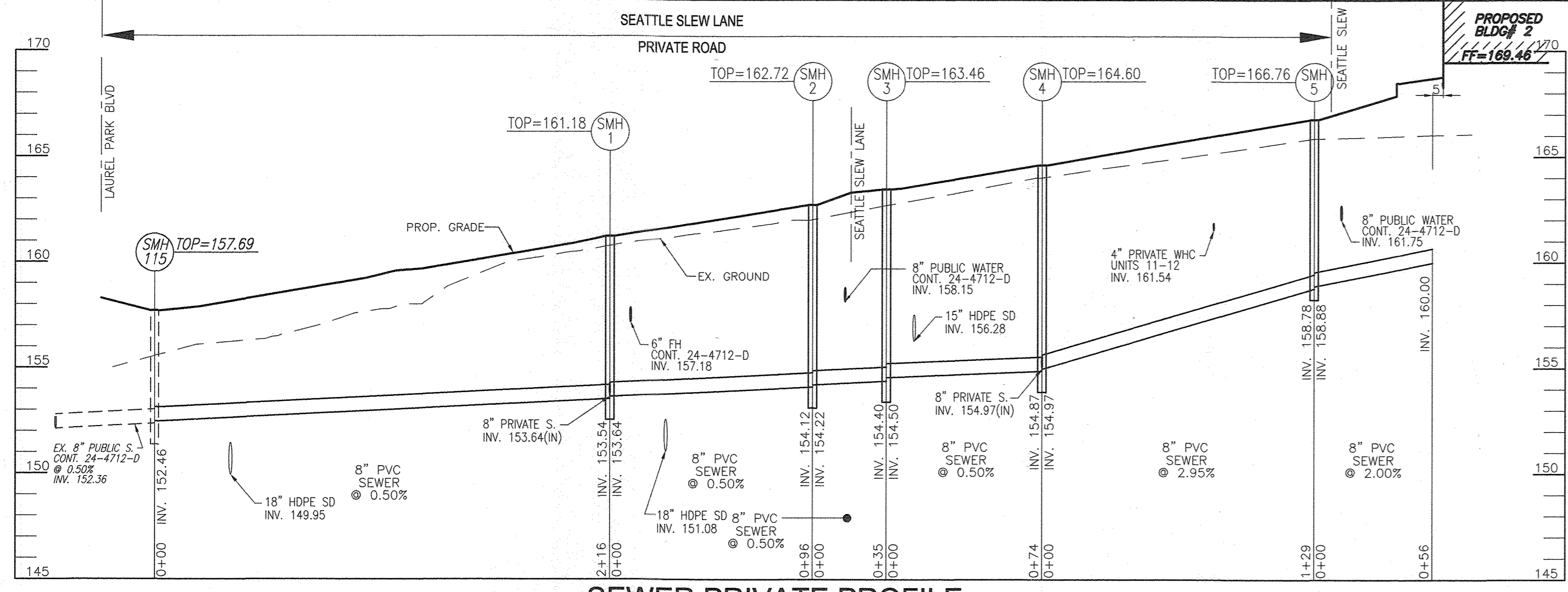
STATE OF MARYLAND
 ROBERT HARRIS VOGEL
 NO. 16193
 PROFESSIONAL ENGINEER
 EXPIRES 8/27/2023

3300 NORTH RIDGE ROAD, SUITE 110, ELLICOTT CITY, MD 21103
 P: 410.461.7666 F: 410.461.8961 www.timmons.com

STATE OF MARYLAND
 ROBERT HARRIS VOGEL
 NO. 16193
 PROFESSIONAL ENGINEER
 EXPIRES 8/27/2023

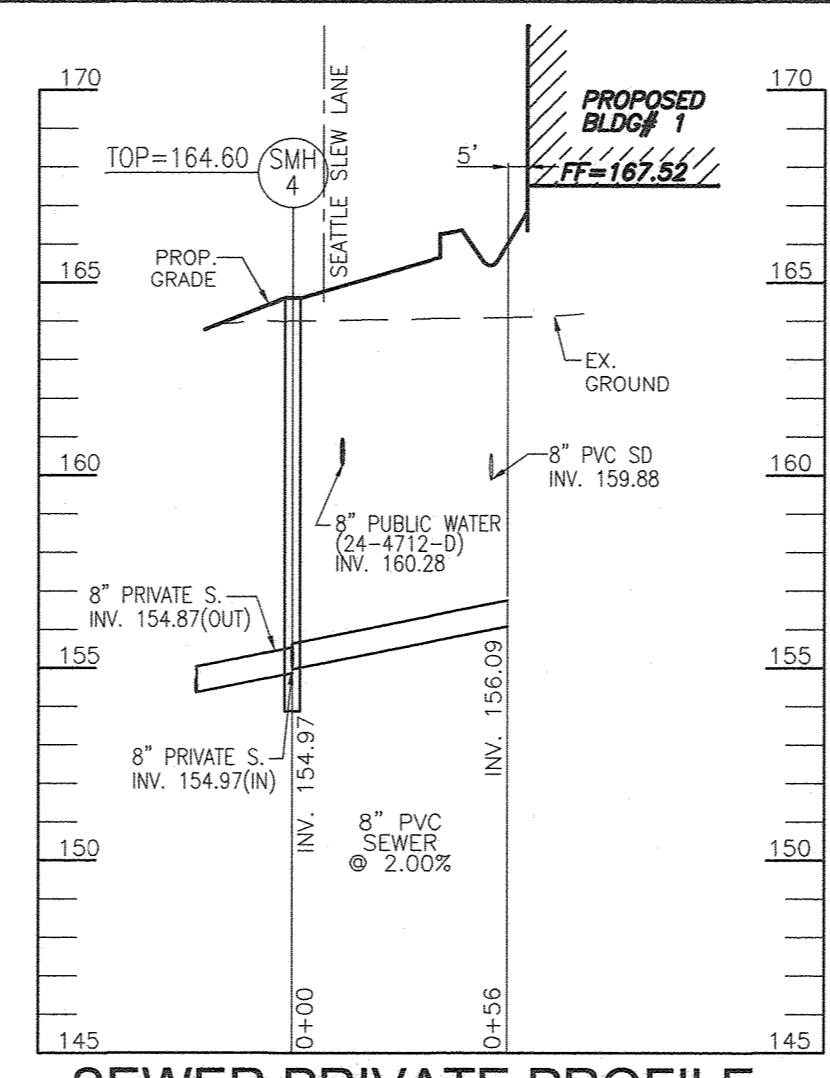
DESIGN BY: RHW/DZE/ESJ/PRS
 DRAWN BY: DZE/KS/G/CAH/LES
 CHECKED BY: RHW
 DATE: NOVEMBER 2019
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33 SHEET OF 55



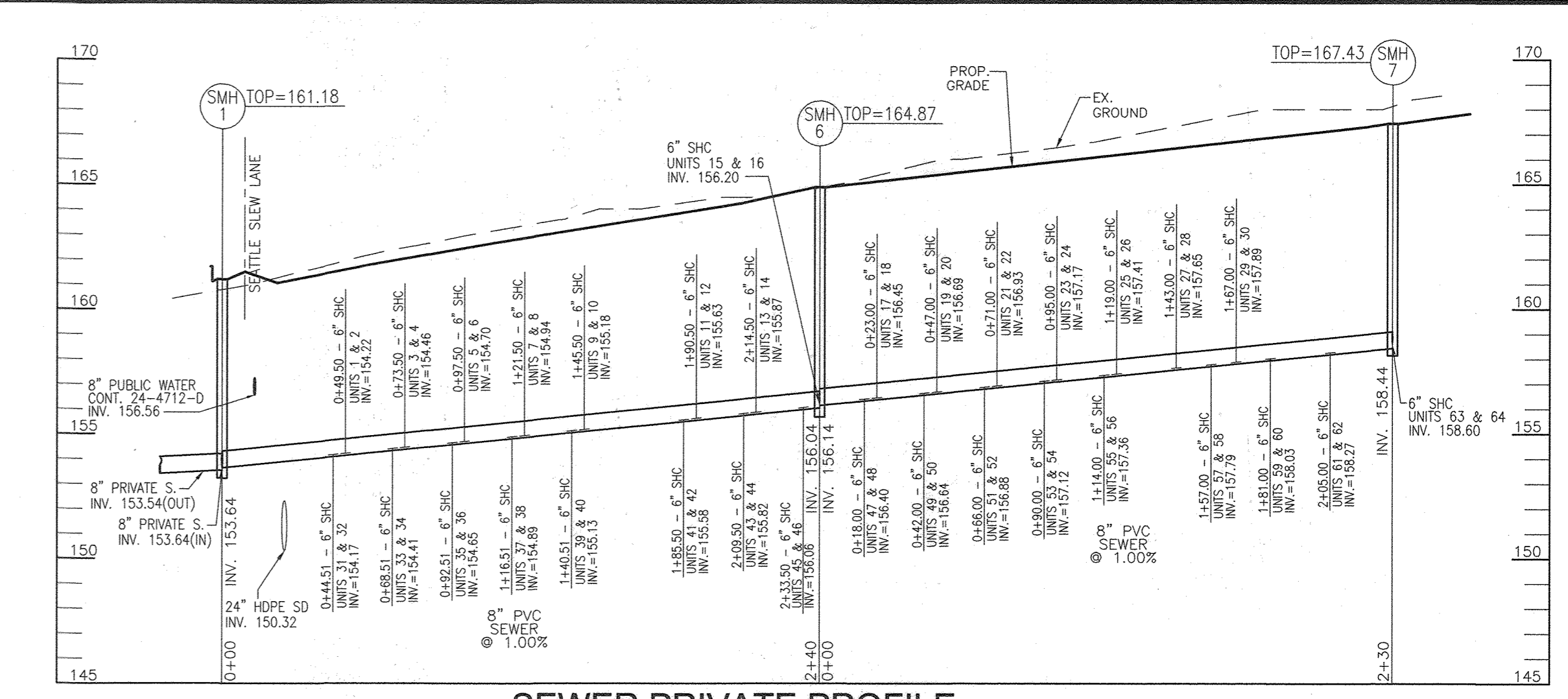
SEWER PRIVATE PROFILE

SCALE: 1"=50 HORIZ.
1"=5' VERT.



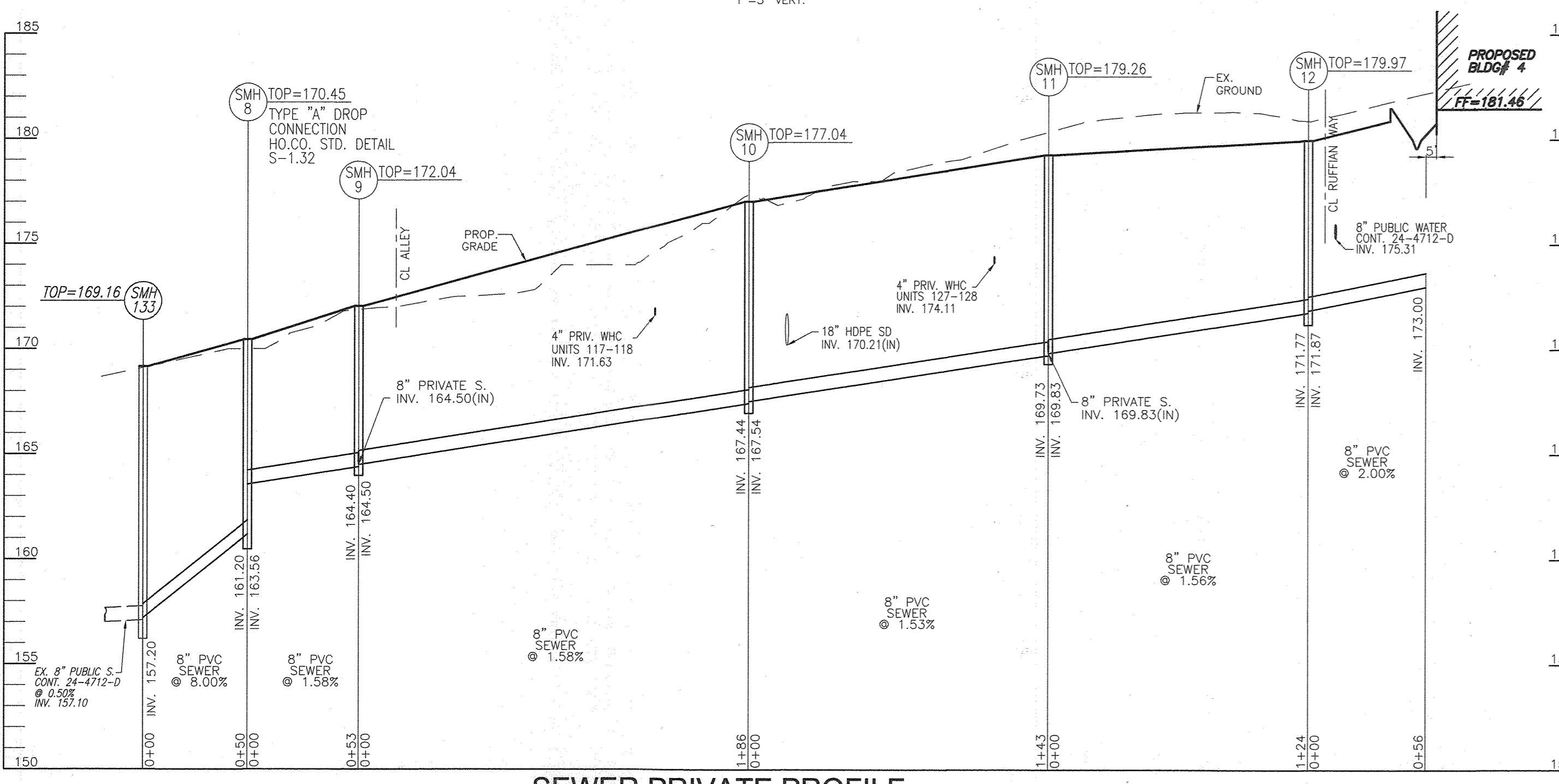
SEWER PRIVATE PROFILE

SCALE: 1"=50 HORIZ.
1"=5' VERT.



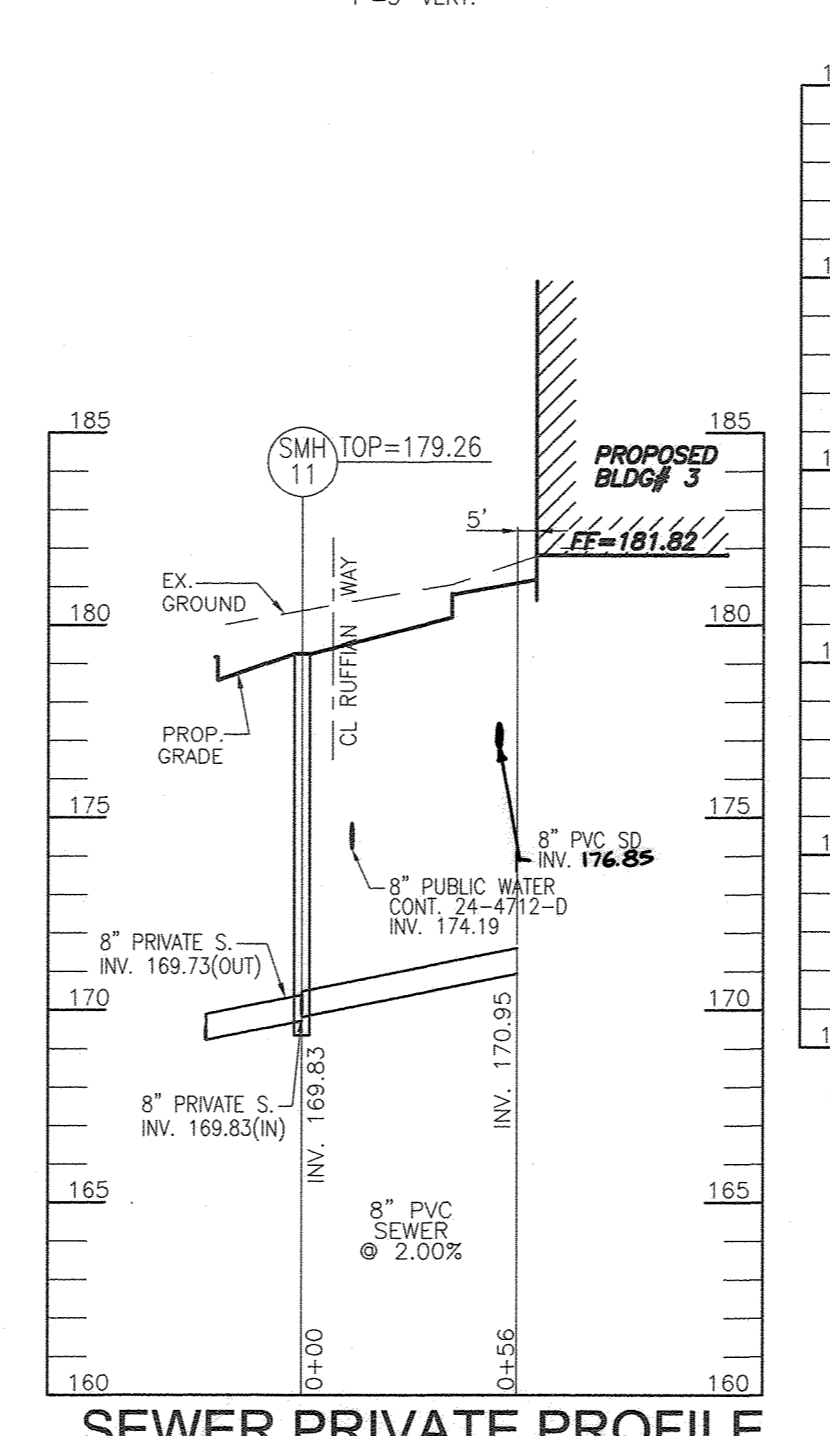
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SCALE: 1"=50 HORIZ.
1"=5' VERT.



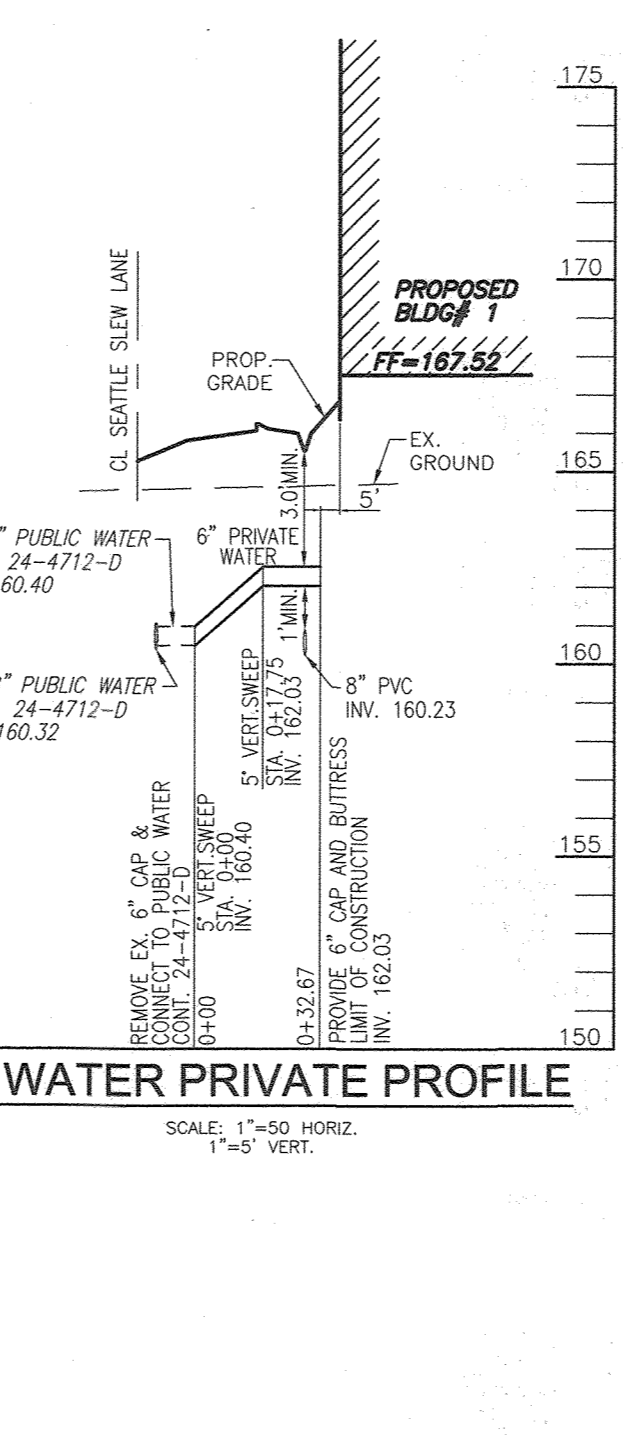
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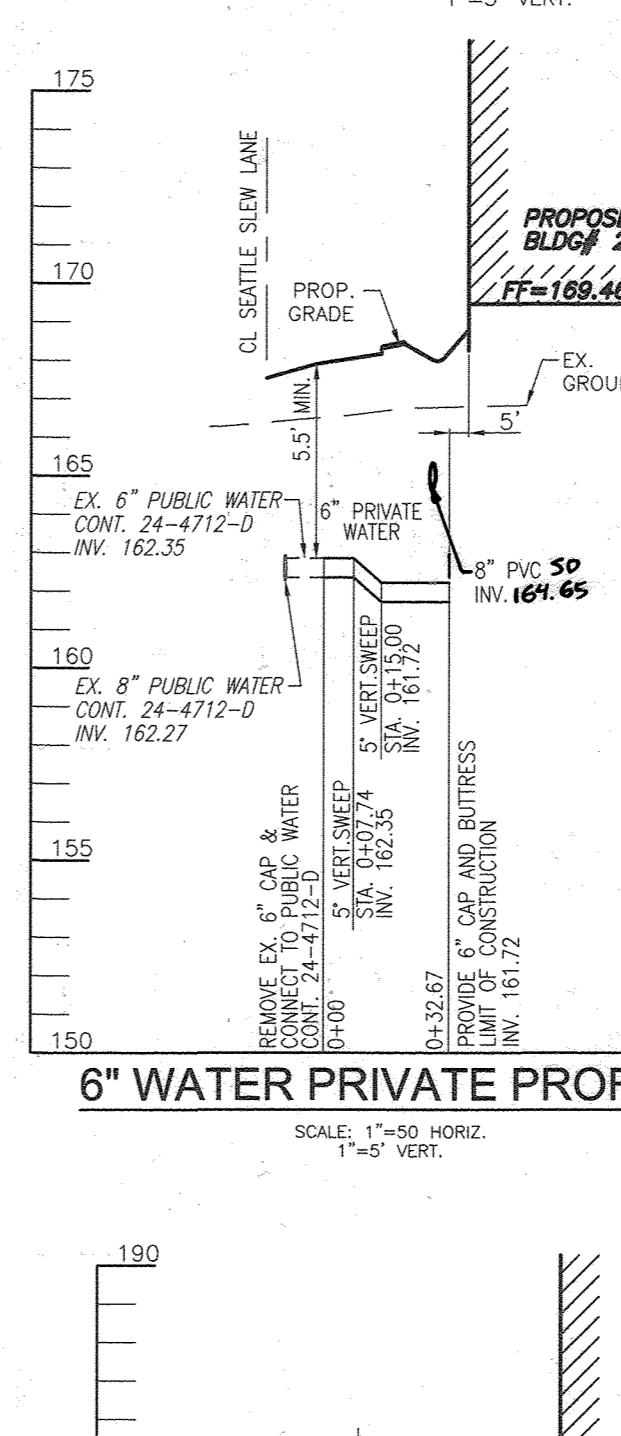
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SCALE: 1"=50 HORIZ.
1"=5' VERT.



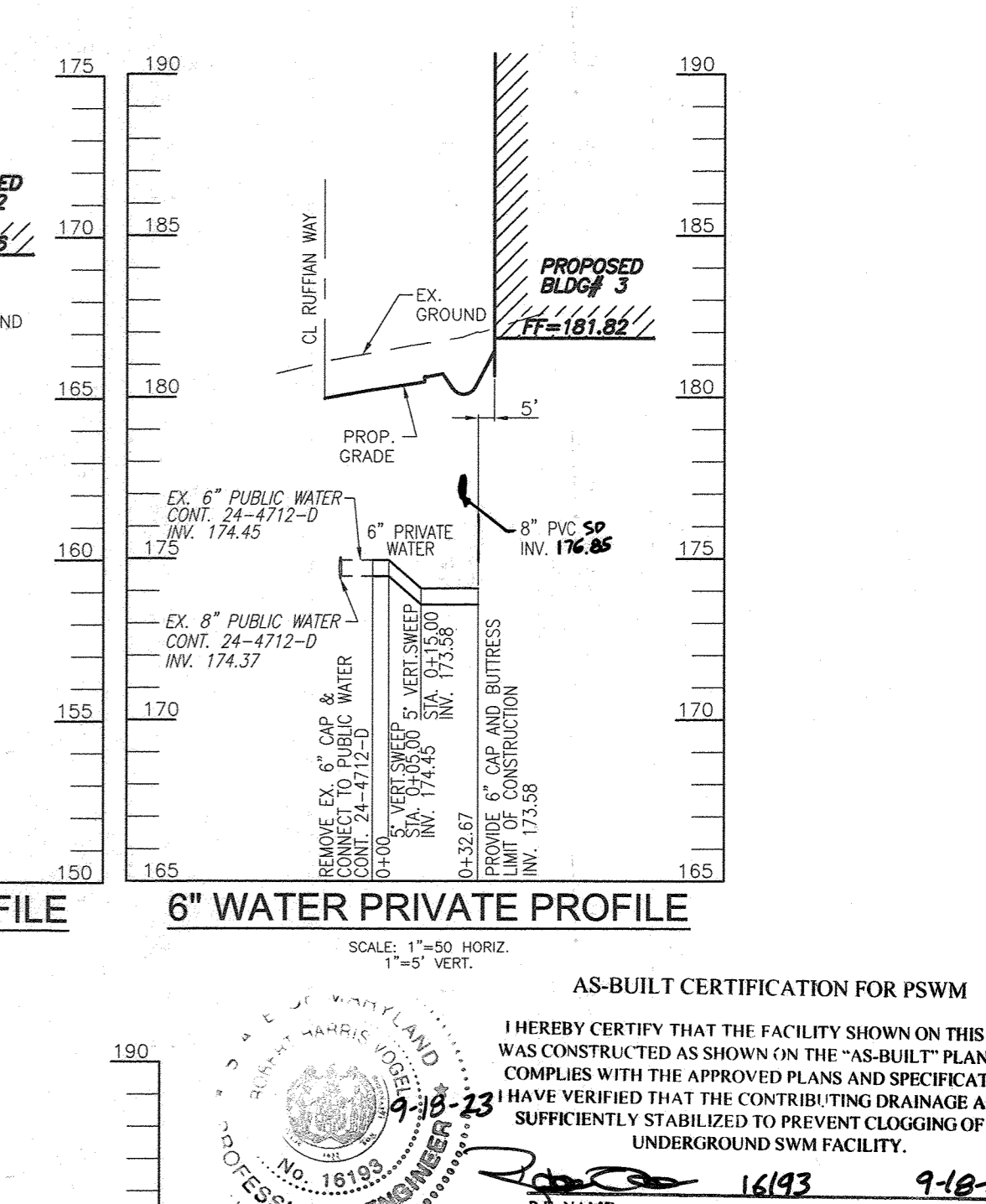
6" WATER PRIVATE PROFILE

SCALE: 1"=50 HORIZ.
1"=5' VERT.



6" WATER PRIVATE PROFILE

SCALE: 1"=50 HORIZ.
1"=5' VERT.



6" WATER PRIVATE PROFILE

SCALE: 1"=50 HORIZ.
1"=5' VERT.

AS-BUILT CERTIFICATION FOR PSWM

I HEREBY CERTIFY THAT THE FACILITY SHOWN ON THIS PLAN WAS CONSTRUCTED AS SHOWN ON THE "AS-BUILT" PLANS AND COMPLIES WITH THE APPROVED PLANS AND SPECIFICATIONS. I HAVE VERIFIED THAT THE CONTRIBUTING DRAINAGE AREA IS SUFFICIENTLY STABILIZED TO PREVENT CLOGGING OF THE UNDERGROUND PSWM FACILITY.

9-18-23
PROFESSIONAL ENGINEER
NO. 18193
P.E. NAME: [Signature]
P.E. # 16193
DATE 9-18-23

OWNER: TRIPLE BELL FARMS, LLC
198 LAUREL PARK BLVD. LAUREL, MD 20725
(301) 470-5494

OWNER/DEVELOPER: 20006 DELAWARE, INC.
198 LAUREL PARK TRAIL RD. LAUREL, MD 20725
(301) 470-5494

NO.	REVISION	DATE
5	REVISE PLAN TO SHOW RECONFIGURATION OF STREAM AND STORM DRAIN AND TRAIL ON PARCELS A-2	9-1-22
3	MODIFICATION OF PHASE 1 LAYOUT, RENAMING PLAN, LANDSCAPING, PRIVATE ROAD	09/08/20
2	REVISE THE PLANS TO ILLUSTRATE IRRIGATION LINES WITHIN PRIVATE ROADWAY	07/28/20
1	MODIFICATION OF PHASE 1 LAYOUT, ROAD LAYOUT, UTILITY LAYOUT, STORMWATER MANAGEMENT, AND BYPASS LAYOUT	06/11/19

MH NO.	TYPE	LOCATION	TOP ELEV.	INV. IN	INV. OUT	REMARKS
1	STD. PRECAST MANHOLE (G-5.12)	N 524622.09 E 1358746.53	161.18	(2) 153.64	153.54	
2	STD. PRECAST MANHOLE (G-5.12)	N 524715.01 E 1358721.75	162.72	154.22	154.12	
3	STD. PRECAST MANHOLE (G-5.12)	N 524740.84 E 1358745.19	163.46	154.50	154.40	
4	STD. PRECAST MANHOLE (G-5.12)	N 524759.87 E 1358816.53	164.60	(2) 154.97	154.87	
5	STD. PRECAST MANHOLE (G-5.12)	N 524792.98 E 1358940.69	166.76	157.88	157.78	
6	STD. PRECAST MANHOLE (G-5.12)	N 524683.81 E 1358977.95	164.87	156.14, 156.20	156.04	
7	STD. PRECAST MANHOLE (G-5.12)	N 524743.08 E 1359200.18	167.43	158.60	158.44	
8	STD. PRECAST MANHOLE (G-5.12)	N 524761.75 E 1359419.58	170.45	163.56	161.20	
9	STD. PRECAST MANHOLE (G-5.12)	N 524805.39 E 1359450.29	172.04	(2) 164.50	164.40	
10	STD. PRECAST MANHOLE (G-5.12)	N 524957.43 E 1359557.31	177.04	167.54	167.44	
11	STD. PRECAST MANHOLE (G-5.12)	N 524994.29 E 1359695.51	179.26	(2) 169.83	169.73	
12	STD. PRECAST MANHOLE (G-5.12)	N 525026.29 E 1359815.47	179.97	171.87	171.77	
13	STD. PRECAST MANHOLE (G-5.12)	N 524863.47 E 1359668.06	176.04	166.85, 166.91	166.75	
14	STD. PRECAST MANHOLE (G-5.12)	N 524918.23 E 1359873.38	178.16	169.08, 169.15	168.98	
15	STD. PRECAST MANHOLE (G-5.12)	N 524978.53 E 1360099.48	176.63	171.58	171.42	

PRIVATE SEWER PIPE SCHEDULE	PIPE TYPE / CLASS	TOTAL LENGTH
8"	PVC	2472
6" (SHC)	PVC	1356
4" (SHC)	PVC	1197

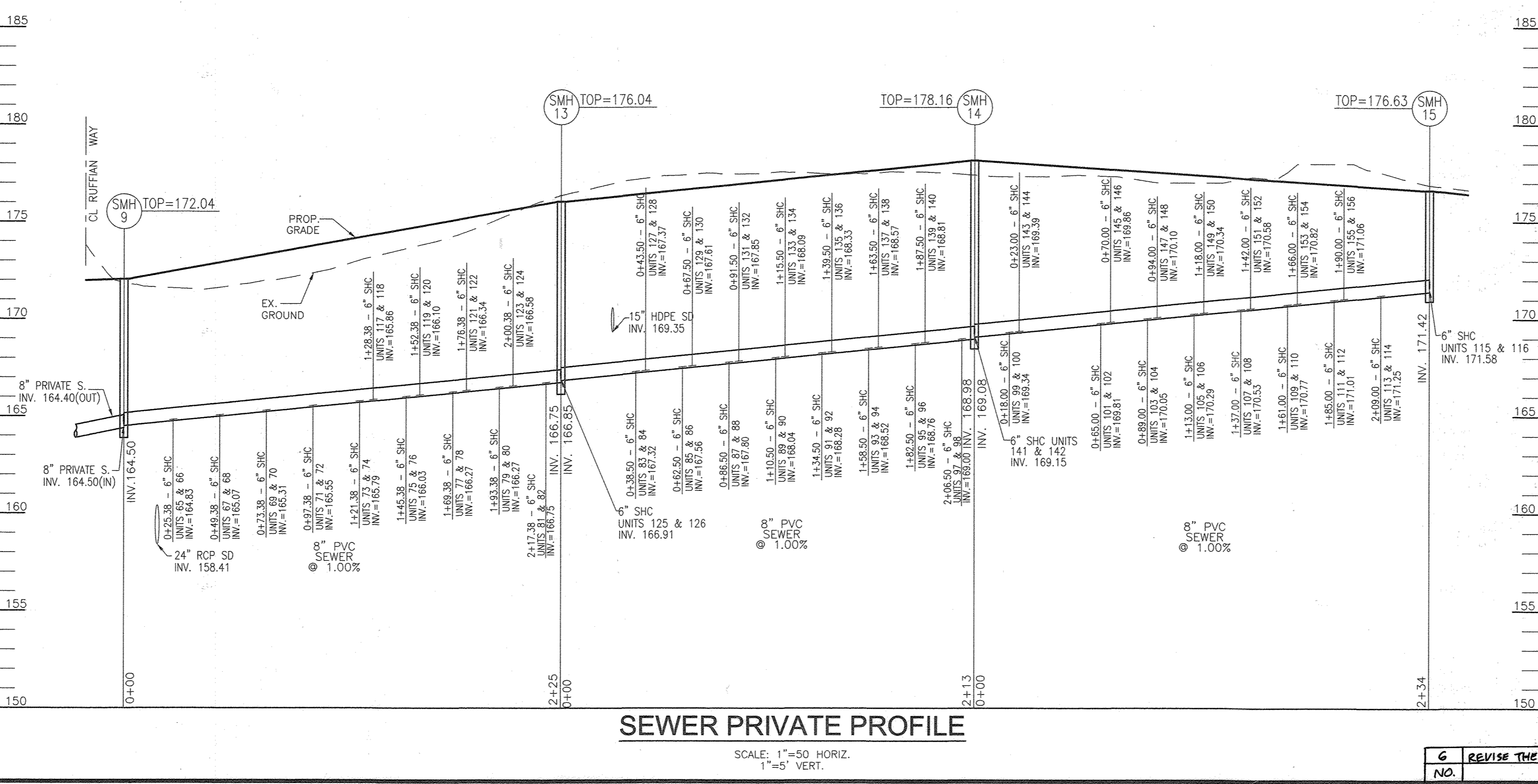
THE TOTAL LENGTH OF PIPE IS LINEAR FEET ONLY.
CONTRACTOR SHALL INSTALL PIPE IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

12-3-19
DATE

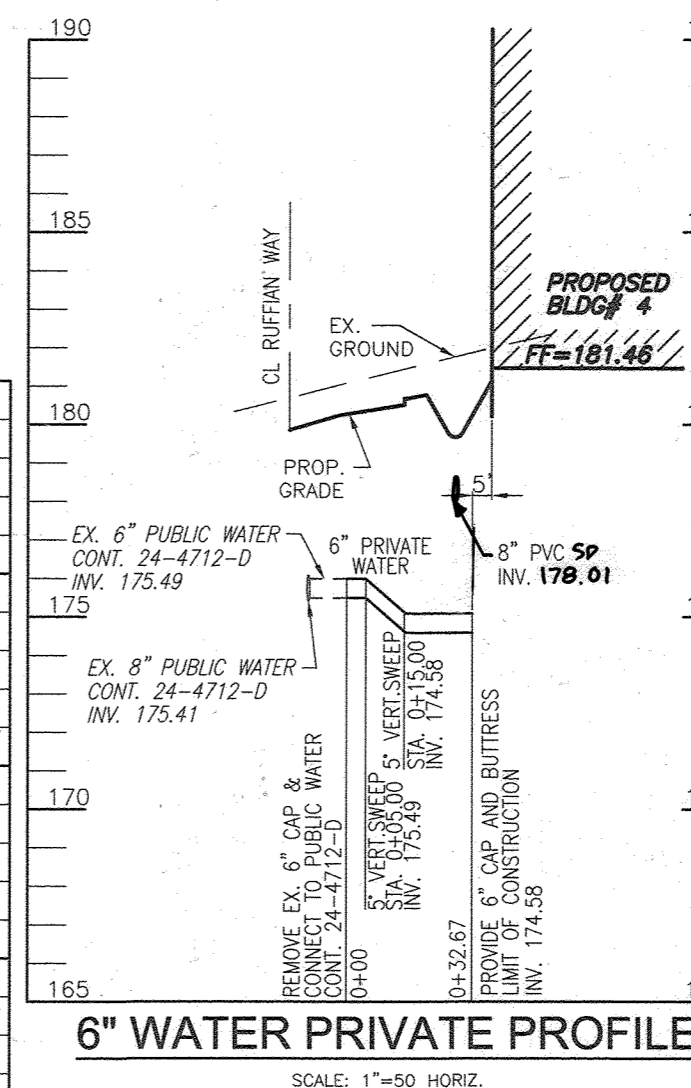
12/10/19
DATE

12-12-19
DATE



SEWER PRIVATE PROFILE

SCALE: 1"=50 HORIZ.
1"=5' VERT.



6" WATER PRIVATE PROFILE

SCALE: 1"=50 HORIZ.
1"=5' VERT.

NO AS-BUILT INFORMATION ON THIS SHEET

NO.	REVISION	DATE
6	REVISE THE PLAN TO SHOW AS-BUILT CONDITIONS	09/24/23

REVISED SITE DEVELOPMENT PLAN

UTILITY PROFILES
Paddock Pointe - Phase 1
(FORMERLY KNOWN AS LAUREL PARK STATION)
64 APARTMENT AND 156 STACKED TOWNHOUSE CONDO UNITS
P-384 (L10518/F-157) PARCELS A-2, B-1, B-2, P-441 (L13288/F-377) PARCELS C-1, C-2, C-3, C-4, C-5, C-6, C-7, C-8, C-9, C-10, C-11, C-12, C-13, C-14, C-15, C-16, C-17, C-18, C-19, C-20, C-21, C-22, C-23, C-24, C-25, C-26, C-27, C-28, C-29, C-30, C-31, C-32, C-33, C-34, C-35, C-36, C-37, C-38, C-39, C-40, C-41, C-42, C-43, C-44, C-45, C-46, C-47, C-48, C-49, C-50, C-51, C-52, C-53, C-54, C-55, C-56, C-57, C-58, C-59, C-60, C-61, C-62, C-63, C-64, C-65, C-66, C-67, C-68, C-69, C-70, C-71, C-72, C-73, C-74, C-75, C-76, C-77, C-78, C-79, C-80, C-81, C-82, C-83, C-84, C-85, C-86, C-87, C-88, C-89, C-90, C-91, C-92, C-93, C-94, C-95, C-96, C-97, C-98, C-99, C-100, C-101, C-102, C-103, C-104, C-105, C-106, C-107, C-108, C-109, C-110, C-111, C-112, C-113, C-114, C-115, C-116, C-117, C-118, C-119, C-120, C-121, C-122, C-123, C-124, C-125, C-126, C-127, C-128, C-129, C-130, C-131, C-132, C-133, C-134, C-135, C-136, C-137, C-138, C-139, C-140, C-141, C-142, C-143, C-144, C-145, C-146, C-147, C-148, 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PRIVATE SHC CHART					PRIVATE SHC CHART						
UNIT NO.	TYPE	6" INV. @ MAIN/HH	6" INV. @ CO1	4" INV. @ CO1	4" INV. @ CO2	UNIT NO.	TYPE	6" INV. @ MAIN/HH	6" INV. @ CO1	4" INV. @ CO1	4" INV. @ CO2
1	SHC	154.22	154.60	160.60	160.70	65	SHC	164.83	165.10	170.10	170.20
2	SHC	154.22	154.60	158.60	158.88	66	SHC	164.83	165.10	168.10	168.38
3	SHC	154.46	154.88	160.88	160.98	67	SHC	165.07	165.30	170.80	170.90
4	SHC	154.46	154.88	158.88	159.16	68	SHC	165.07	165.30	168.80	169.08
5	SHC	154.70	155.08	161.08	161.18	69	SHC	165.31	165.58	171.08	171.18
6	SHC	154.70	155.08	159.08	159.36	70	SHC	165.31	165.58	169.08	169.36
7	SHC	154.94	155.36	161.36	161.46	71	SHC	165.55	165.78	171.28	171.38
8	SHC	154.94	155.36	159.36	159.64	72	SHC	165.55	165.78	169.28	169.56
9	SHC	155.18	155.56	162.56	162.66	73	SHC	165.79	166.06	171.56	171.66
10	SHC	155.18	155.56	160.56	160.84	74	SHC	165.79	166.06	169.56	169.84
11	SHC	155.63	156.01	163.01	163.11	75	SHC	166.03	166.26	171.76	171.86
12	SHC	155.63	156.01	161.01	161.29	76	SHC	166.03	166.26	169.76	170.04
13	SHC	155.87	156.29	163.29	163.39	77	SHC	166.27	166.54	172.54	172.64
14	SHC	155.87	156.29	161.29	161.57	78	SHC	166.27	166.54	170.54	170.82
15	SHC	156.20	156.58	163.58	163.68	79	SHC	166.51	166.74	172.24	172.34
16	SHC	156.20	156.58	161.58	161.86	80	SHC	166.51	166.74	170.24	170.52
17	SHC	156.45	156.87	163.87	164.15	81	SHC	166.75	167.02	173.02	173.12
18	SHC	156.45	156.87	161.87	162.15	82	SHC	166.75	167.02	171.02	171.30
19	SHC	156.69	157.07	164.07	164.35	83	SHC	167.32	167.58	173.58	173.68
20	SHC	156.69	157.07	162.07	162.17	84	SHC	167.32	167.58	171.58	171.86
21	SHC	156.93	157.35	164.35	164.63	85	SHC	167.56	167.78	173.78	173.88
22	SHC	156.93	157.35	162.35	162.63	86	SHC	167.56	167.78	171.78	172.06
23	SHC	157.17	157.55	164.55	164.65	87	SHC	167.80	168.06	174.56	174.66
24	SHC	157.17	157.55	162.55	162.83	88	SHC	167.80	168.06	172.56	172.84
25	SHC	157.41	157.83	164.83	164.93	89	SHC	168.04	168.26	174.76	174.86
26	SHC	157.41	157.83	162.83	163.11	90	SHC	168.04	168.26	172.76	173.04
27	SHC	157.65	158.03	165.03	165.31	91	SHC	168.28	168.54	174.54	174.64
28	SHC	157.65	158.03	163.03	163.31	92	SHC	168.28	168.54	172.54	172.82
29	SHC	157.89	158.31	165.31	165.59	93	SHC	168.52	168.74	174.74	174.84
30	SHC	157.89	158.31	163.31	163.41	94	SHC	168.52	168.74	172.74	173.02
31	SHC	154.17	154.48	159.38	159.48	95	SHC	168.76	169.02	175.02	175.12
32	SHC	154.17	154.48	157.38	157.66	96	SHC	168.76	169.02	173.02	173.30
33	SHC	154.41	154.76	159.76	159.86	97	SHC	169.00	169.22	174.22	174.32
34	SHC	154.41	154.76	157.76	158.04	98	SHC	169.00	169.22	172.22	172.50
35	SHC	154.65	154.96	159.96	160.06	99	SHC	169.34	169.61	174.61	174.71
36	SHC	154.65	154.96	157.96	158.24	100	SHC	169.34	169.61	172.61	172.89
37	SHC	154.89	155.24	160.64	160.74	101	SHC	169.81	170.08	175.08	175.18
38	SHC	154.89	155.24	158.64	158.92	102	SHC	169.81	170.08	173.08	173.36
39	SHC	155.13	155.44	160.44	160.54	103	SHC	170.05	170.28	174.28	174.38
40	SHC	155.13	155.44	158.44	158.72	104	SHC	170.05	170.28	172.28	172.56
41	SHC	155.58	155.93	161.93	162.03	105	SHC	170.29	170.56	174.56	174.66
42	SHC	155.58	155.93	159.93	160.21	106	SHC	170.29	170.56	172.56	172.84
43	SHC	155.82	156.13	162.13	162.23	107	SHC	170.53	170.76	174.76	174.86
44	SHC	155.82	156.13	160.13	160.41	108	SHC	170.53	170.76	172.76	173.04
45	SHC	156.06	156.41	162.41	162.51	109	SHC	170.77	171.04	175.04	175.14
46	SHC	156.06	156.41	160.41	160.69	110	SHC	170.77	171.04	173.04	173.32
47	SHC	156.40	156.71	162.71	162.81	111	SHC	171.01	171.24	173.24	173.34
48	SHC	156.40	156.71	160.71	160.99	112	SHC	171.01	171.24	171.24	171.62
49	SHC	156.64	156.99	162.49	162.59	113	SHC	171.25	171.52	173.52	173.62
50	SHC	156.64	156.99	160.49	160.77	114	SHC	171.25	171.52	171.52	171.90
51	SHC	156.88	157.19	163.19	163.29	115	SHC	171.58	171.80	173.80	173.90
52	SHC	156.88	157.19	161.19	161.47	116	SHC	171.58	171.80	171.80	172.18
53	SHC	157.12	157.47	163.47	163.57	117	SHC	165.86	166.33	173.33	173.43
54	SHC	157.12	157.47	161.47	161.75	118	SHC	165.86	166.33	171.33	171.61
55	SHC	157.36	157.67	164.07	164.17	119	SHC	166.10	166.61	173.61	173.71
56	SHC	157.36	157.67	162.07	162.35	120	SHC	166.10	166.61	171.61	171.89
57	SHC	157.79	158.14	164.14	164.24	121	SHC	166.34	166.81	173.81	173.91
58	SHC	157.79	158.14	162.14	162.24	122	SHC	166.34	166.81	171.81	172.09
59	SHC	158.03	158.34	163.84	164.12	123	SHC	166.58	167.09	174.09	174.19
60	SHC	158.03	158.34	161.84	161.94	124	SHC	166.58	167.09	172.09	172.37
61	SHC	158.27	158.62	164.62	164.90	125	SHC	166.91	167.37	174.37	174.47
62	SHC	158.27	158.62	162.62	162.72	126	SHC	166.91	167.37	172.37	172.65
63	SHC	158.60	158.91	164.91	165.19	127	SHC	167.37	167.87	174.87	174.97
64	SHC	158.60	158.91	162.91	163.01	128	SHC	167.37	167.87	172.87	173.15
129	SHC	167.61	168.07	175.07	175.17	129	SHC	167.61	168.07	173.07	173.35
130	SHC	167.61	168.07	173.07	173.35	130	SHC	167.61	168.07	171.07	171.35
131	SHC	167.85	168.35	175.35	175.45	131	SHC	167.85	168.35	173.35	173.63
132	SHC	167.85	168.35	173.35	173.63	132	SHC	167.85	168.35	171.35	171.63
133	SHC	168.09	168.55	175.55	175.65	133	SHC	168.09	168.55	173.55	173.83
134	SHC	168.09	168.55	173.55	173.83	134	SHC	168.09	168.55	171.55	171.83
135	SHC	168.33	168.83	175.83	175.93	135	SHC	168.33	168.83	173.83	174.11
136	SHC	168.33	168.83	173.83	174.11	136	SHC	168.33	168.83	171.83	172.11
137	SHC	168.57	169.03	176.03	176.13	137	SHC	168.57	169.03	174.03	174.31
138	SHC	168.57	169.03	172.03	172.31	138	SHC	168.57	169.03	170.03	170.31
139	SHC	168.81	169.31	175.31	175.41	139	SHC	168.81	169.31	173.31	173.59
140	SHC	168.81	169.31	171.31	171.59	140	SHC	168.81	169.31	169.31	173.59
141	SHC	169.15	169.61	175.61	175.71	141	SHC	169.15	169.61	173.61	173.89
142	SHC	169.15	169.61	171.61	171.89	142	SHC	169.15	169.61	169.61	173.89
143	SHC	169.39	169.90	174.90	175.00	143	SHC	169.39	169.90	172.90	173.18
144	SHC	169.39	169.90	172.90	173.18	144	SHC	169.39	169.90	170.90	171.18
145	SHC	169.86	170.33	174.33	174.43	145	SHC	169.86	170.33	172.33	172.61
146	SHC	169.86	170.33	172.33	172.61	146	SHC	169.86	170.33	170.33	174.43
147	SHC	170.10	170.61	174.61	174.71	147	SHC	170.10	170.61	172.61	172.89
148	SHC	170.10	170.61	172.61	172.89	148	SHC	170.10	170.61	170.61	174.43
149	SHC	170.34	170.81	174.81	174.91	149	SHC	170.34	170.81	172.81	173.09
150	SHC	170.34	170.81	172.81	173.09	150	SHC	170.34	170.81	170.81	174.43
151	SHC	170.58	171.09	175.09	175.19	151	SHC	170.58	171.09	173.09	173.37
152	SHC	170.58	171.09	173.09	173.37	152	SHC	170.58	171.09	171.09	174.43
153	SHC	170.82	171.29	175.29	175.39	153	SHC	170.82	171.29	173.29	173.57
154	SHC	170.82	171.29	173.29	173.57	154	SHC	170.82	171.29	171.29	174.43
155	SHC	171.06	171.57	175.57	175.67	155	SHC	171.06	171.57	173.57	173.85
156	SHC	171.06	171.57	173.57	173.85	156	SHC	171.06	171.57	171.57	174.43

NOTE: ALL SHC SLOPES ARE 2.00%

SUBMITTAL DATA SHEET
 (888) 345-9875
 Fax (501) 791-1801
 Web: aquashieldenclosures.com
 Email: info@aquashieldenclosures.com

AquaSHIELD
BFP1-S SERIES
BFP2-S SERIES

ENCLOSURE FEATURES

- Easy Access
- Removable Top and Front Panel
- Lockable for Visual Protection
- Freeze Protection (COP)
- ASSE 1000-1996 (Class I, II, III) ASSE 1000-2000 (Class II, III) ASSE 1000-2006 (Class II, III)
- Not substantially required
- Over-sized Drains and Backflow Guards
- Structurally Rigid Inlet/Outlet
- Simple Installation
- Mounting Hardware Included

STANDARDS & CODES

- ASSE 1000
- ASTM B309
- OSHA 1910

Product Materials:
 650 mill finished steel wire mesh
 Polyethylene insulation 1.5" thick (10.0K value)

The backflow enclosure shall be ASSE 1000-1996 (Class I, II, III) ASSE 1000-2000 (Class II, III) certified and shall provide freeze and siphon protection for backflow preventors installed outside and above ground. Materials shall be (304) stainless steel and have a heavy black reinforced fiber mesh. Drains shall be installed and sized to accommodate maximum discharge of the backflow preventor valve and remain closed except during discharge of the backflow valve. The enclosure shall have full access for testing and servicing of the backflow preventor with strategically placed lockable access panels. Enclosure shall be anchored to a concrete pad within the enclosure with masonry anchors.

Heat when required (ASSE 1000-1996 Class I) shall be a 120V/15A self-regulating heat cable. Heat cable shall be 1/8" or ETL listed and sized to maintain freeze protection of the backflow preventor with an outside temperature of -30°F. Heater shall have a fused cord and plug for easy power connection. Power source shall be a ground fault interrupter receptacle supported and installed by others. Electrical power source shall be installed in accordance with state and local codes.

MODEL NUMBER	ENCLOSURE DESCRIPTION	INSIDE DIMENSIONS	OUTSIDE DIMENSIONS	CONCRETE PAD DIMENSIONS	SHIPPING WEIGHT
BFP1-S	2" W/STRAINER	14 1/2" W x 20 1/4" H	17 1/2" W x 23 1/4" H	18" W x	

LEGEND:

- EXISTING CURB AND GUTTER
- EXISTING UTILITY POLE
- EXISTING LIGHT POLE
- EXISTING MAILBOX
- EXISTING SIGN
- EXISTING SANITARY MANHOLE
- EXISTING SANITARY LINE
- EXISTING 10' CONTOUR
- EXISTING 2' CONTOUR
- EXISTING CLEANOUT
- EXISTING FIRE HYDRANT
- EXISTING WATER LINE
- EXISTING TREE LINE
- EXISTING FENCE
- DRAINAGE AREA DIVIDE
- PROPERTY LINE
- RIGHT-OF-WAY LINE
- PROPOSED 10' CONTOUR
- PROPOSED 2' CONTOUR
- PROPOSED SPOT ELEVATION
- PROPOSED STORM DRAIN
- PROPOSED STORM DRAIN INLET
- PROPOSED SIDEWALK
- PROPOSED CURB
- PROPOSED STREET LIGHT
- MICRO-BIOPRETENTION
- PUBLIC SEWER, WATER AND UTILITY EASEMENT
- PROPOSED RETAINING WALL
- PROPOSED STREET SIGN
- DEAD END BARRICADE
- STREET TREES

PARKWAY PROPERTIES LLC
 TM 50, PARCEL 445
 ROUTE 1, LAUREL, MD 20706
 L 14633 F 385
 ZONING: TOD
 USE: COMMERCIAL

GEORGE H. MCDANIEL
 ELLICOTT CITY, MD 21114
 ROUTE 1 LAUREL BY-PASS
 L 2083 F 630
 ZONING: TOD
 USE: COMMERCIAL

BUILDABLE BULK
 PARCEL B-1
 8.7 ACRES

BLDG #1
 16 UNITS
 FF=167.52

BLDG #2
 16 UNITS
 FF=167.52

DA #15

DA #16

DA #17

DA #18

DA #14A

DA #14B

DA #2

DA #3

DA #4

DA #5

DA #6

DA #7

DA #8

DA #9

DA #10

DA #11

DA #12

DA #13

DA #	DRAINAGE AREA (AC)	PERCENT IMPERVIOUS	ESDv PROVIDED (cf)
1A	0.29	85%	1,194
1B	0.18	45%	511
2	0.10	78%	339
3	0.09	76%	339
4	0.14	86%	511
5	0.13	83%	467
6	0.13	84%	511
7	0.30	87%	1,194
8	0.10	77%	467
9	0.09	76%	339
10	0.13	72%	467
11	0.14	77%	467
12	0.14	76%	511
13	0.15	76%	511
14A	0.52	74%	1,905
14B	0.39	57%	1,792
15	0.31	54%	1,560
16	0.62	46%	1,297
17	0.47	65%	1,227
18	0.63	51%	1,275
19	0.36	48%	1,646
20	0.76	45%	2,677
21	0.63	41%	2,500
22	0.31	54%	1,018
23	0.10	45%	445
24	0.32	71%	1,377
25	0.16	38%	543
26	0.58	79%	1,683
27	0.10	93%	467
28	0.17	85%	702
29	0.10	100%	467
30	1.33	78%	3,616

MATCHLINE SHEET 37

SOILS LEGEND HOWARD COUNTY SOILS MAP #28			
SYMBOL	NAME / DESCRIPTION	GROUP K-FACTOR	ERODIBLE HYDRIC
ES	ESSORO LOAMY SAND, 2 TO 10 PERCENT SLOPES	A 0.49	NO NO
Fs	FALLINGTON SANDY LOAM, 0 TO 2 PERCENT SLOPES	D 0.24	NO YES
Rub	RUSSETT AND BELTSVILLE SOILS, 2 TO 5 PERCENT SLOPES	C 0.43	NO NO
UdR	UDORTHERTS, LOAMY, 0 TO 5 PERCENT SLOPES	C 0.24	NO NO
UdL	URBAN LAND-UDORTHERTS COMPLEX, 0 TO 15 PERCENT SLOPES	D 0.28	NO NO

SOILS NOTE:
 HIGHLY ERODIBLE SOILS ARE THOSE SOILS WITH A SLOPE GREATER THAN 15 PERCENT OR THOSE SOILS WITH A SOIL ERODIBILITY FACTOR K GREATER THAN 0.35 AND WITH A SLOPE GREATER THAN 5 PERCENT.

OWNER
 TRIPLE BELL FARMS, LLC
 198 LAUREL RACE TRACK RD
 LAUREL, MD 20725
 (301) 470-5494

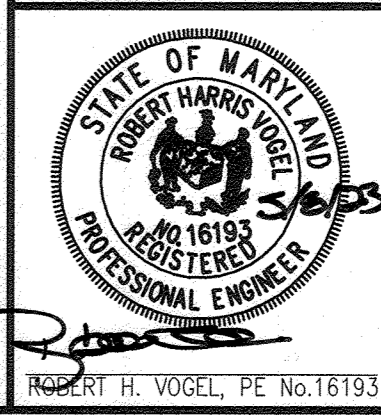
OWNER/DEVELOPER
 2006 DELAWARE, INC
 198 LAUREL RACE TRACK RD
 LAUREL, MD 20725
 (301) 470-5494

NO.	REVISION	DATE
6	REVISE THE PLAN TO SHOW AS-BUILT CONDITIONS.	03/24/23
5	REVISE PLAN TO SHOW RECONFIGURATION OF STREAM; ADD STORM DRAIN AND TRAP ON PARCEL A-2	09/01/22
4	ADD DUMPSTER FOR BUILDING #4; ADD SIDEWALK TO RIGHT SIDE OF RUFFIAN WAY	05/07/21
3	MODIFICATION OF PHASE 1 LAYOUT, RENAME PLAN, LANDSCAPING, PRIVATE ROAD IMPROVEMENTS, UTILITY LAYOUT AND STORMWATER MANAGEMENT.	09/08/20
2	REVISE THE PLANS TO ILLUSTRATE IRRIGATION LINES WITHIN PRIVATE ROADWAY	07/28/20
1	MODIFICATION OF PHASE 1 LAYOUT, ROAD LAYOUT, UTILITY LAYOUT, STORMWATER MANAGEMENT, AND BYPASS LAYOUT	06/11/19

**REVISED SITE DEVELOPMENT PLAN
 STORMWATER MANAGEMENT
 DRAINAGE AREA MAP**

PADDOCK POINTE - PHASE 1
 (FORMERLY KNOWN AS LAUREL PARK STATION)
 64 APARTMENT AND 156 STUDIO CONDO UNITS
 PARCELS A-2, B-1, B-2, B-3, C-1, L AND LOTS D, E-1, F-1, G, H, & I
 P.384 (L 10518/F 157) P.441 (L 13286/F 377)
 ZONED: TOD
 TAX MAP: 50 BLOCK: 10
 6TH ELECTION DISTRICT

VOGEL ENGINEERING
 TIMMONS GROUP
 3300 NORTH RIDGE ROAD, SUITE 110, ELLICOTT CITY, MD 21043
 P: 410.461.7666 F: 410.461.8961 www.timmons.com



PROFESSIONAL CERTIFICATE
 I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 16193, EXPIRATION DATE: 09-27-2024.

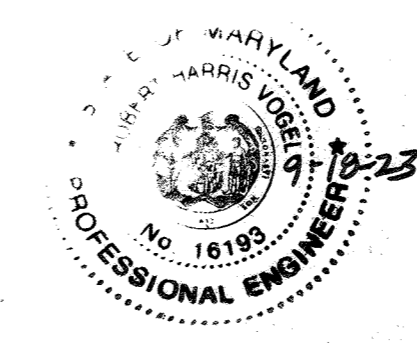
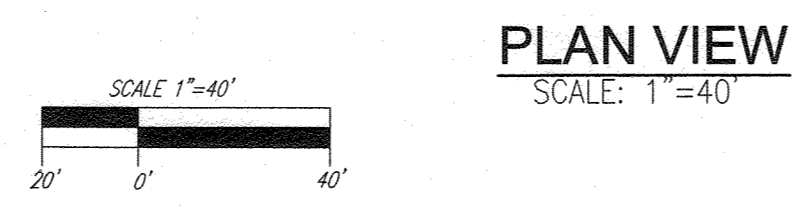
DESIGN BY: RHW/DZE
 DRAWN BY: DZE
 CHECKED BY: RHW
 DATE: JAN 2023
 SCALE: AS SHOWN
 W.O. NO.: 07-11/40111

36 SHEET OF 55

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

Ch Ed L
 CHIEF, DEVELOPMENT ENGINEERING DIVISION
 DATE: 5.10.23

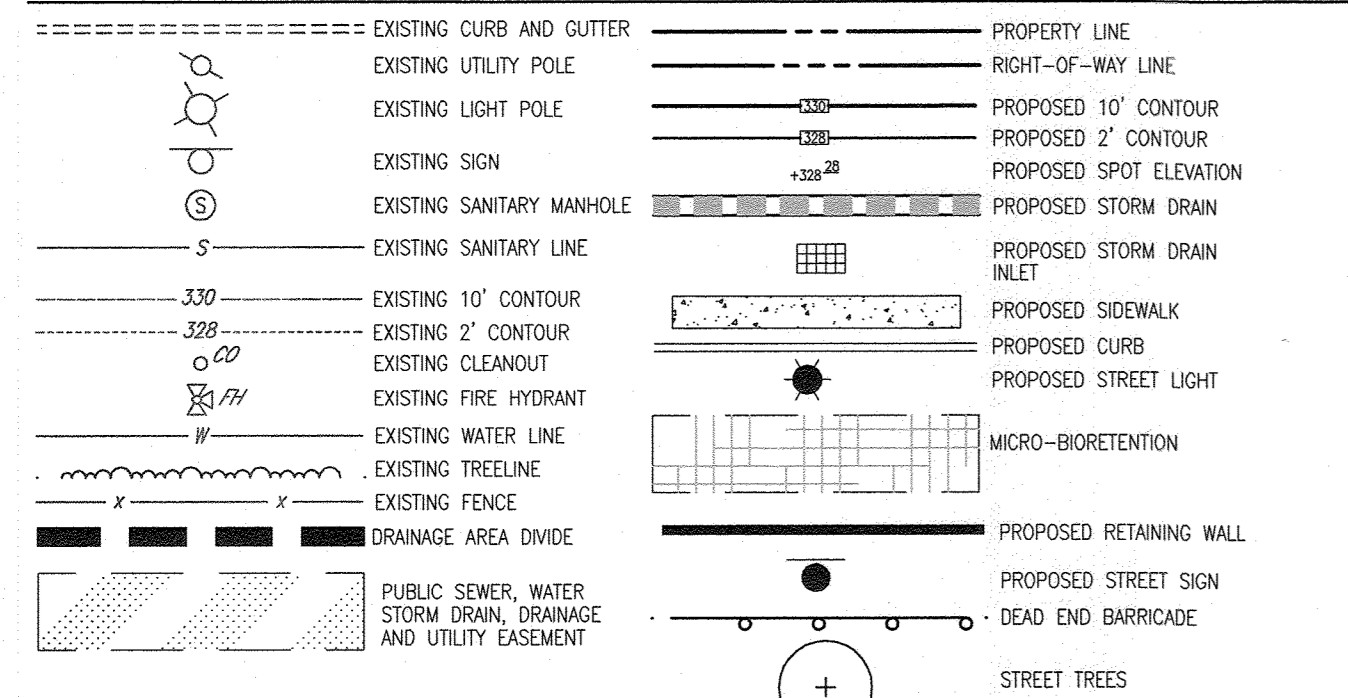
Marya Kendeel
 CHIEF, DIVISION OF LAND DEVELOPMENT
 DATE: 6/12/23



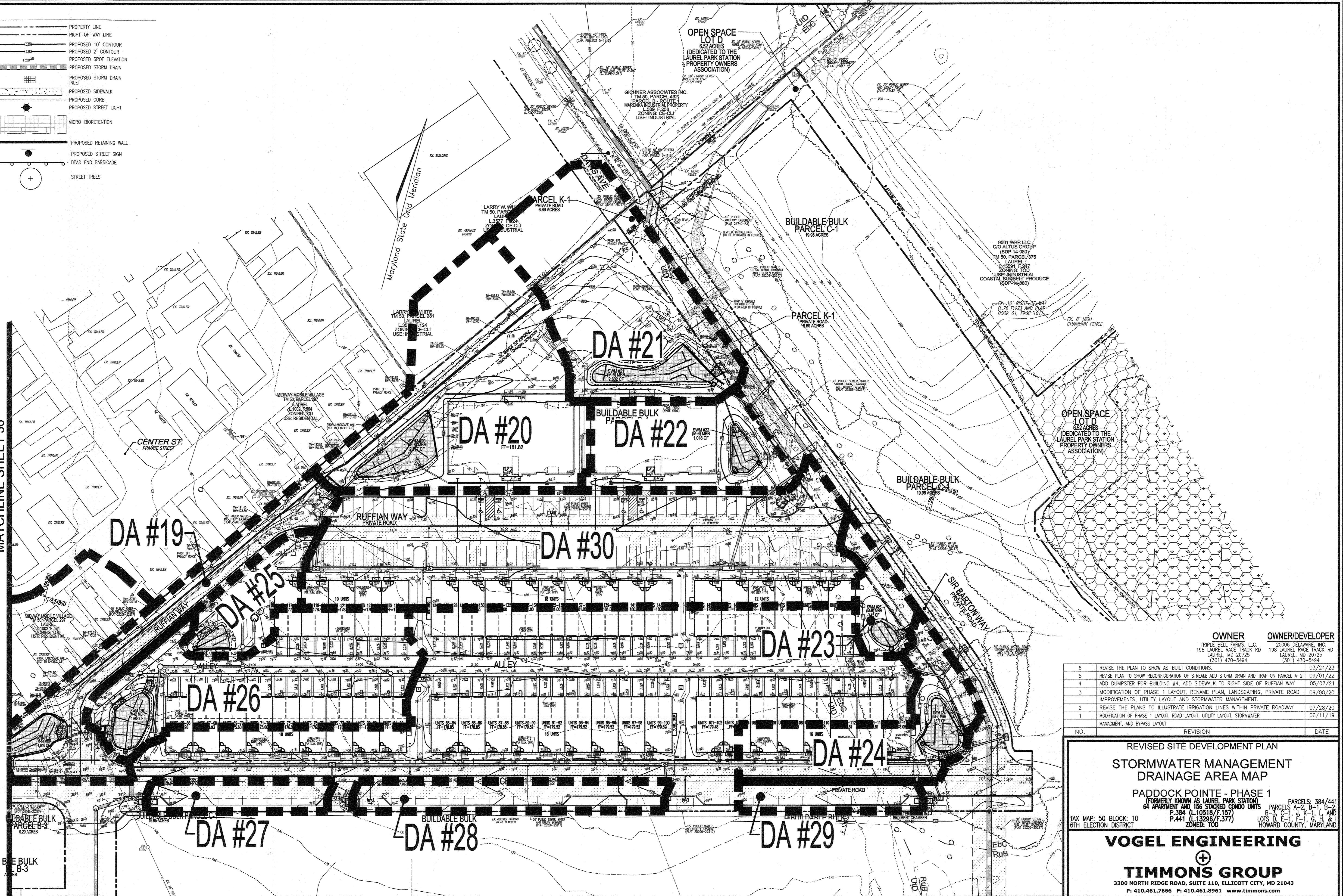
AS-BUILT CERTIFICATION FOR PSWM
 I HEREBY CERTIFY THAT THE FACILITY SHOWN ON THIS PLAN WAS CONSTRUCTED AS SHOWN ON THE "AS-BUILT" PLANS AND COMPLIES WITH THE APPROVED PLANS AND SPECIFICATIONS. I HAVE VERIFIED THAT THE CONTRIBUTING DRAINAGE AREA IS SUFFICIENTLY STABILIZED TO PREVENT CLOGGING OF THE UNDERGROUND SWM FACILITY.

P.E. NAME: 16193
 P.E. # 9-10-23
 DATE

LEGEND:



MATCHLINE SHEET 36



OWNER
TRIPLE BELL FARMS, LLC
198 LAUREL RACE TRACK RD
LAUREL, MD 20725
(301) 470-5494

OWNER/DEVELOPER
20006 DELAWARE, INC.
198 LAUREL RACE TRACK RD
LAUREL, MD 20725
(301) 470-5494

NO.	REVISION	DATE
6	REVISE THE PLAN TO SHOW AS-BUILT CONDITIONS.	03/24/23
5	REVISE PLAN TO SHOW RECONFIGURATION OF STREAM, ADD STORM DRAIN AND TRAP ON PARCEL A-2	09/01/22
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1	MODIFICATION OF PHASE 1 LAYOUT, ROAD LAYOUT, UTILITY LAYOUT, STORMWATER MANAGEMENT, AND BYPASS LAYOUT	06/11/19

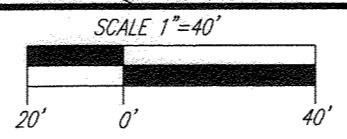
REVISED SITE DEVELOPMENT PLAN
STORMWATER MANAGEMENT DRAINAGE AREA MAP
PADDOCK POINTE - PHASE 1
(FORMERLY KNOWN AS LAUREL PARK STATION) PARCELS 384/441
64 APARTMENT AND 156 STACKED CONDO UNITS PARCELS A-2, B-1, B-2
P.384 (L10518/F.157) P.441 (L13296/F.377)
TAX MAP: 50 BLOCK: 10 6TH ELECTION DISTRICT
ZONED: TOD

VOGEL ENGINEERING
TIMMONS GROUP
3300 NORTH RIDGE ROAD, SUITE 110, ELLICOTT CITY, MD 21043
P: 410.461.7666 F: 410.461.8961 www.timmons.com

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

Phil Phil
CHIEF, DEVELOPMENT ENGINEERING DIVISION
DATE: 5-18-23

Monica A. Kinnard
DIRECTOR, DIVISION OF LAND DEVELOPMENT
DATE: 06/16/23



SCALE: 1"=40'
PLAN VIEW

AS-BUILT CERTIFICATION FOR PSWM

I HEREBY CERTIFY THAT THE FACILITY SHOWN ON THIS PLAN WAS CONSTRUCTED AS SHOWN ON THE "AS-BUILT" PLANS AND COMPLIES WITH THE APPROVED PLANS AND SPECIFICATIONS. I HAVE VERIFIED THAT THE CONTRIBUTING DRAINAGE AREA IS SUFFICIENTLY STABILIZED TO PREVENT CLOGGING OF THE UNDERGROUND SWM FACILITY.

STATE OF MARYLAND
ROBERT HARRIS VOGEL
No. 16193
PROFESSIONAL ENGINEER

DATE: 7-18-23
P.E.#: 1413
DATE: 9-18-23

PROFESSIONAL CERTIFICATE

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 16193, EXPIRATION DATE 08-27-2024.

DESIGN BY: RHW/DZE
DRAWN BY: DZE
CHECKED BY: RHW
DATE: JAN 2023
SCALE: AS SHOWN
W.O. NO.: 07-11/40111

37 SHEET OF 55

AS-BUILT JULY 2023 SDP-15-043

APPENDIX B.4.C SPECIFICATIONS FOR MICRO-BIORETENTION. RAIN GARDENS, LANDSCAPE INFILTRATION & INFILTRATION BERMS

1.0 Inspection and Maintenance Overview
 The primary purpose of the Jellifish Filter is to capture and remove pollutants from stormwater runoff. As with any filtration system, these pollutants must be removed to maintain the filter's maximum treatment performance. Regular inspection and maintenance are required to insure proper functioning of the system.

1.1 Inspection and Maintenance Overview
 Maintenance frequency and requirements are site specific and vary depending on pollutant loading. Additional maintenance activities may be required in the event of non-optimal event runoff, such as base-flow or seasonal flow, an upstream chemical spill or due to excessive sediment loading to the reservoir or stormwater event. It is a good practice to inspect the system after major storm events.

Inspection activities are typically conducted from surface observations and include:

- Observe if standing water is present
- Observe if there is any physical damage to the deck or cartridge face
- Observe the amount of debris in the Maintenance Access Wall (MAW)

Maintenance activities include:

- Removal of oil, floatable trash and debris
- Removal of collected sediments
- Rinsing and re-installing the filter cartridge
- Replace filter cartridge tanks, as needed

2.0 Inspection Timing
 Inspection of the Jellifish Filter is to be performed at the following frequencies:

- 1. Provide traffic control measures as necessary
- 2. Inspect the MAW for floatable pollutants such as trash, debris, and oil
- 3. Measure oil and sediment depth in several locations, by lowering a sediment probe through the MAW opening until contact is made with the floor of the structure. Record sediment depth, and presence of any layers.
- 4. Inspect cartridge lids. Missing or damaged cartridge lids to be replaced.
- 5. Inspect the MAW, cartridge deck and backwash pool wall, for cracks or broken components. If damaged, repair is required, and oil shed.

3.0 Inspection Procedure
 The following procedure is recommended when performing inspections:

1. Provide traffic control measures as necessary
2. Inspect the MAW for floatable pollutants such as trash, debris, and oil
3. Measure oil and sediment depth in several locations, by lowering a sediment probe through the MAW opening until contact is made with the floor of the structure. Record sediment depth, and presence of any layers.
4. Inspect cartridge lids. Missing or damaged cartridge lids to be replaced.
5. Inspect the MAW, cartridge deck and backwash pool wall, for cracks or broken components. If damaged, repair is required, and oil shed.

4.0 Maintenance Requirements
 Required maintenance for the Jellifish Filter is based upon results of the most recent inspection. Historical maintenance records, or the specific water quality management plan, will determine a more frequent, if required, maintenance schedule to ensure compliance of the following:

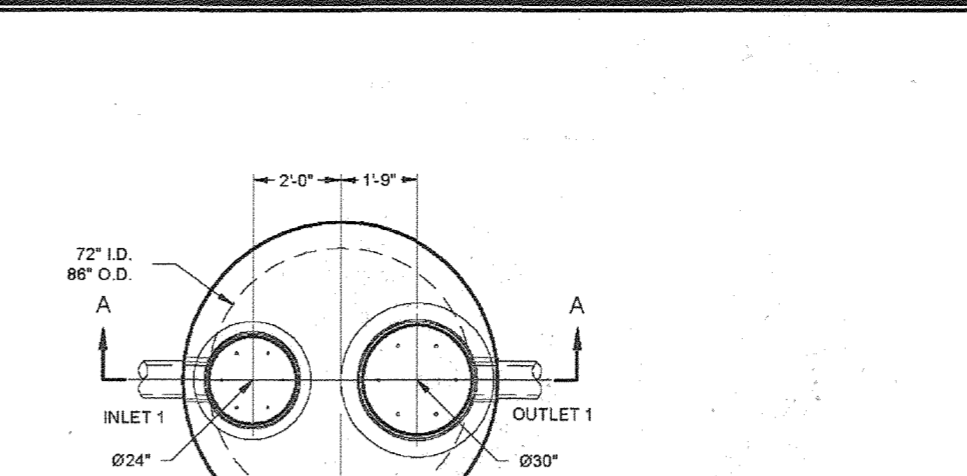
- 1. Flammable trash, debris, and oil removal.
- 2. Deck cleaned and free from sediment.
- 3. Filter cartridges rinsed and installed as required by the most recent report on results, or within 12 months of the most recent report on results, without other action.
- 4. Repair damaged or missing parts or accessories as required. Equipment should only be introduced through the MAW.
- 5. Remove the sediment from the bottom of the unit through the MAW opening.

5.0 Maintenance Procedure
 The following procedure is recommended when maintaining the Jellifish Filter:

1. Provide traffic control measures as necessary.
2. Open covers and hatches. Use ventilation equipment as required, according to confined space entry procedures.
3. Caution: Dropping objects onto the cartridge deck may cause damage.

6.0 Related Maintenance Activities
 Jellifish units are often one of many structures in a more comprehensive stormwater management and treatment system. In order for maintenance of the Jellifish Filter to be successful, it is important that all of other structures be properly maintained. The maintenance and repair of upstream facilities should be carried out prior to Jellifish maintenance activities.

7.0 Material Disposal
 The accumulated sediment found in stormwater treatment and conveyance systems must be handled and disposed in accordance with regulatory protocols. It is possible for sediments to contain measurable concentrations of heavy metals and organic chemicals (such as pesticides and petroleum products). Areas with the greatest potential for high pollutant loading include industrial areas and heavily trafficked roads. Sediments and water must be disposed of in accordance with all applicable waste disposal regulations. When scheduling maintenance, consideration must be made for the disposal of solid and liquid wastes. This typically requires coordination with a local landfill for solid waste disposal. For liquid waste disposal a number of options are available including a municipal incinerator, truck-leach facility, local water treatment plant or on-site treatment and discharge.



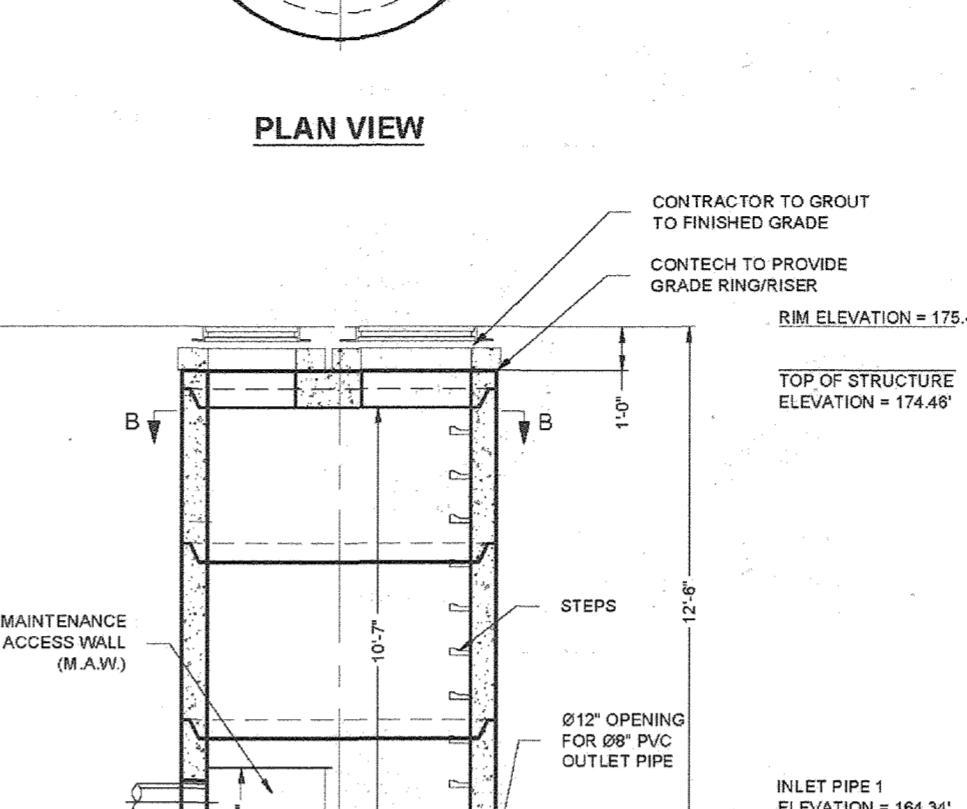
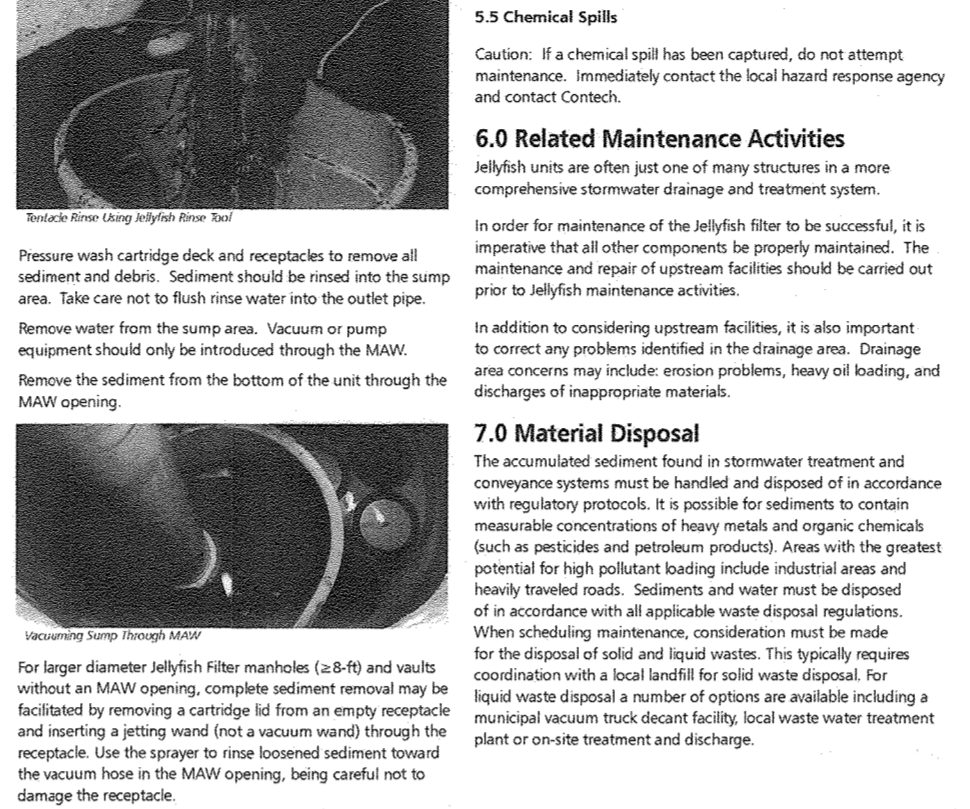
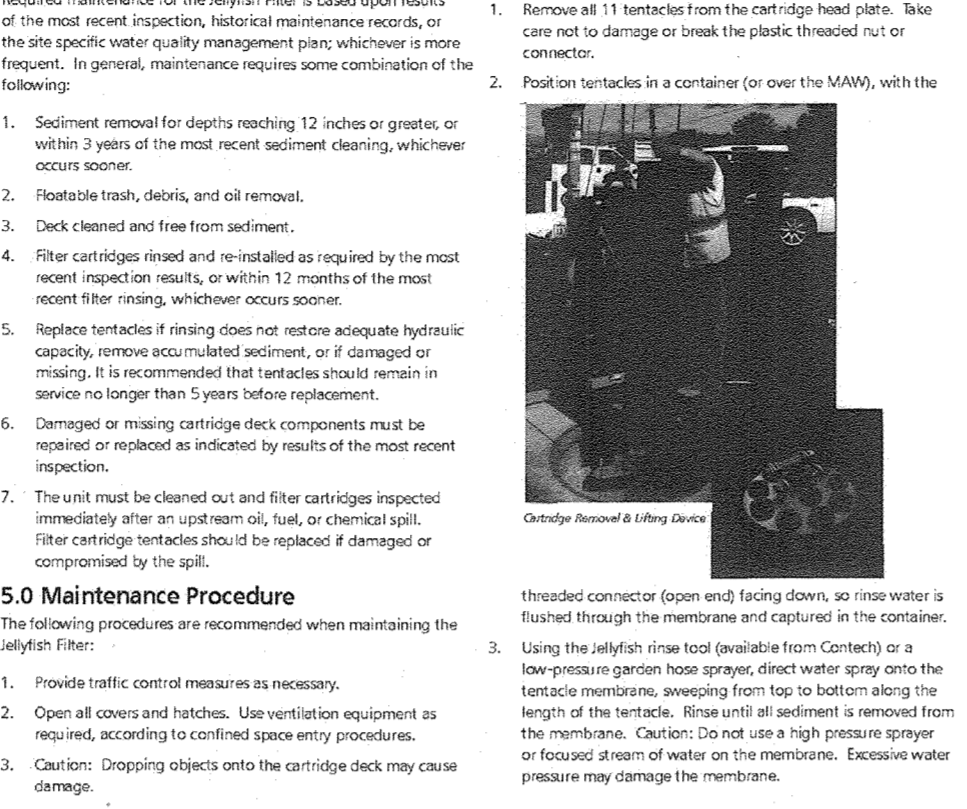
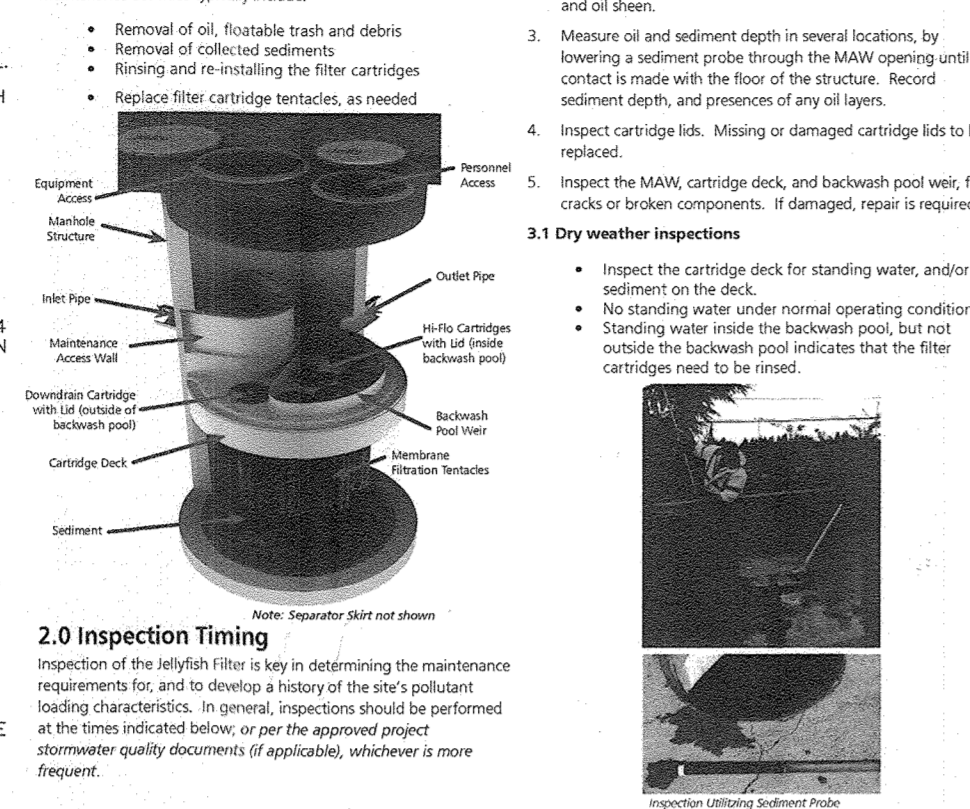
MATERIAL LIST - PROVIDED BY CONTECH

COUNT	DESCRIPTION	INSTALLED BY	WATER QUALITY FLOW RATE	PEAK FLOW RATE	RETURN PERIOD OF PEAK FLOW
4	54" HI-FLOW CARTRIDGE (20 mm ORIFICE)	CONTECH	0.76 CFS		OFFLINE
1	54" DRAINDOWN CARTRIDGE (25 mm ORIFICE)	CONTECH			
2	CARTRIDGE BLANK	CONTECH			
1	OFFLINE MAINTENANCE ACCESS WALL (M.A.W.) EXTENSION	CONTECH			
1	JF6 CARTRIDGE DECK WITH 54" SEPARATION SKIRT	CONTECH			
1	JOINT SEALANT	CONTRACTOR			
1	624" x 4" FRAME & COVER, EA#1100308	CONTRACTOR			
1	630" x 4" FRAME & COVER, EA#1100389	CONTRACTOR			
2	PLUGS GRADE RINGSIDER	CONTRACTOR			
10	STEPS	CONTECH			

3. COMPACTON
 COMPACTON TO MINIMIZE COMPACTION OF BOTH THE BASE OF BIORETENTION PRACTICES AND THE REQUIRED BACKFILL WHEN POSSIBLE. USE EXCAVATION HOES TO REMOVE ORIGINAL SOIL FROM THE BIORETENTION AREA TO A MINIMUM OF 12 INCHES BELOW THE PLANTING SOIL. THE BIORETENTION AREA DURING A STORM EVENT AND ARE NOT ACCEPTABLE. SHREDDED MULCH CAN BE ALLEVATED AT THE BASE OF THE BIORETENTION FACILITY BY USING A PRIMARY TILLING OPERATION SUCH AS CHISEL PLOW, RIPPER, OR SUBSOILER. THESE TILLING OPERATIONS ARE TO BE PERFORMED TO REMOVE COMPACTION ZONE. SUBSTITUTE METHODS MUST BE APPROVED BY THE ENGINEER. ROTOTILLERS TYPICALLY DO NOT GET DEEP ENOUGH TO REMOVE COMPACTION ZONE.

4. PLANT MATERIAL
 ROTOTILL 2 TO 3 INCHES OF SAND INTO THE BASE OF THE BIORETENTION FACILITY BEFORE BACKFILLING THE OPTIONAL SAND LAYER. PUMP ANY PONDING WATER BEFORE PREPARING ROTOTILLING THE TOPSOIL OVER THE BIORETENTION AREA. PLACE 3 TO 4 INCHES OF TOPSOIL OVER THE SAND. THEN ROTOTILL THE SAND/TOPSOIL TO CREATE A GRADATION TO THE BIORETENTION AREA. THE BIORETENTION FACILITY PLACE SOIL IN LIPS 12 TO 18" TO NOT USE HEAVY EQUIPMENT WITHIN THE BIORETENTION AREA. THE BIORETENTION FACILITY SHOULD BE PLANTED WITH LIGHT EQUIPMENT SUCH AS A COMPACT ROLLER OR A DOZER/LOADER WITH MARKS TRACKS.

5. PLANT INSTALLATION
 COMPOST IS A BETTER ORGANIC MATERIAL SOURCE, IS LESS LIKELY TO FLOAT, AND SHOULD BE PLACED IN THE BIORETENTION AREA. COMPOST SHOULD BE PLACED IN THE BIORETENTION AREA TO A UNIFORM THICKNESS OF 2" TO 3". SHREDDED OR CHIPPED HARDWOOD MULCH IS THE ONLY MATERIAL THAT IS SLOTTED. (E.G., PVC OF PERFORATED). THE BIORETENTION AREA DURING A STORM EVENT AND ARE NOT ACCEPTABLE. SHREDDED MULCH CAN BE ALLEVATED AT THE BASE OF THE BIORETENTION FACILITY BY USING A PRIMARY TILLING OPERATION SUCH AS CHISEL PLOW, RIPPER, OR SUBSOILER. THESE TILLING OPERATIONS ARE TO BE PERFORMED TO REMOVE COMPACTION ZONE. SUBSTITUTE METHODS MUST BE APPROVED BY THE ENGINEER. ROTOTILLERS TYPICALLY DO NOT GET DEEP ENOUGH TO REMOVE COMPACTION ZONE.



GENERAL NOTES:

1. CONTECH TO PROVIDE ALL MATERIALS UNLESS NOTED OTHERWISE.
2. FOR FABRICATION DRAWINGS WITH DETAILED STRUCTURE DIMENSIONS AND WEIGHT, PLEASE CONTACT YOUR CONTECH ENGINEER SOLUTIONS REPRESENTATIVE: WWW.CONTECH.COM
3. JELLYFISH WATER QUALITY STRUCTURE SHALL BE IN ACCORDANCE WITH ALL DESIGN DATA AND INFORMATION CONTAINED IN THIS DRAWING. CONTRACTOR TO CONFIRM STRUCTURE MEETS REQUIREMENTS OF PROJECT.
4. CONTRACTOR SHALL MEET AASHTO LOAD FACTOR COVERS OF 11" AND GROUNDWATER ELEVATION AT, OR BELOW, THE OUTLET PIPE INVERT ELEVATION. ENGINEER OF RECORD TO CONFIRM ACTUAL GROUNDWATER ELEVATION. CASTINGS SHALL MEET AASHTO BRIDGE LOAD FACTOR COVERS OF 11" AND GROUNDWATER ELEVATION AT, OR BELOW, THE OUTLET PIPE INVERT ELEVATION.
5. STRUCTURE SHALL BE PRECAST CONCRETE CONFORMING TO ASTM C-678 AND AASHTO LOAD FACTOR DESIGN METHOD.

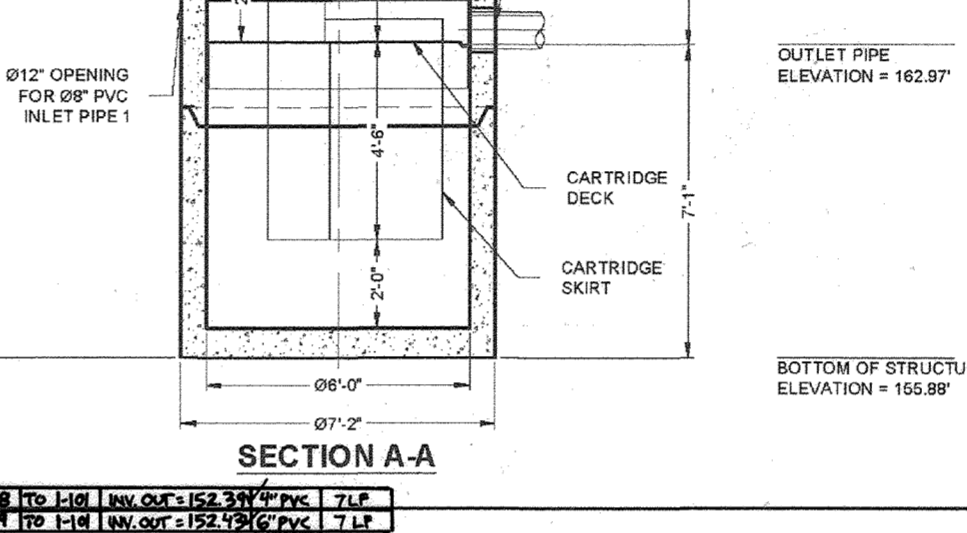
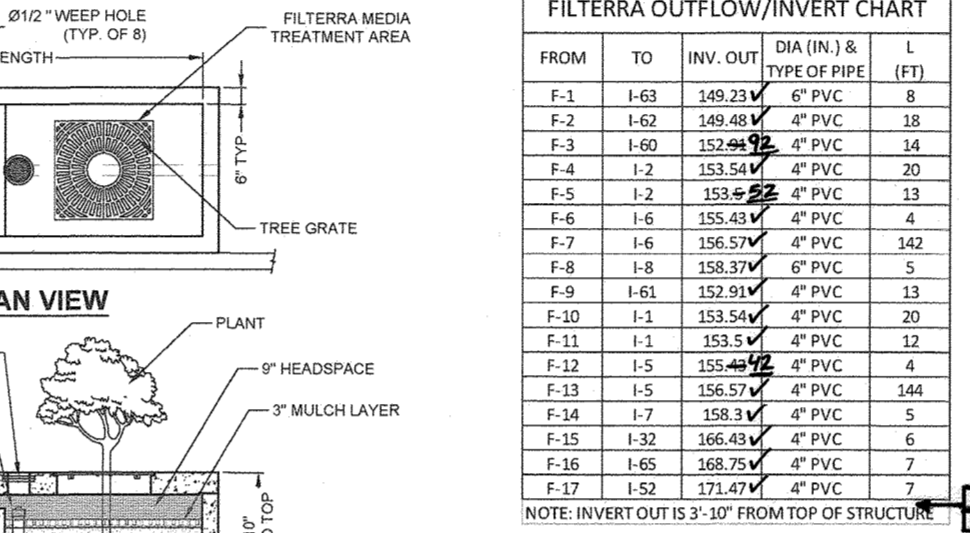
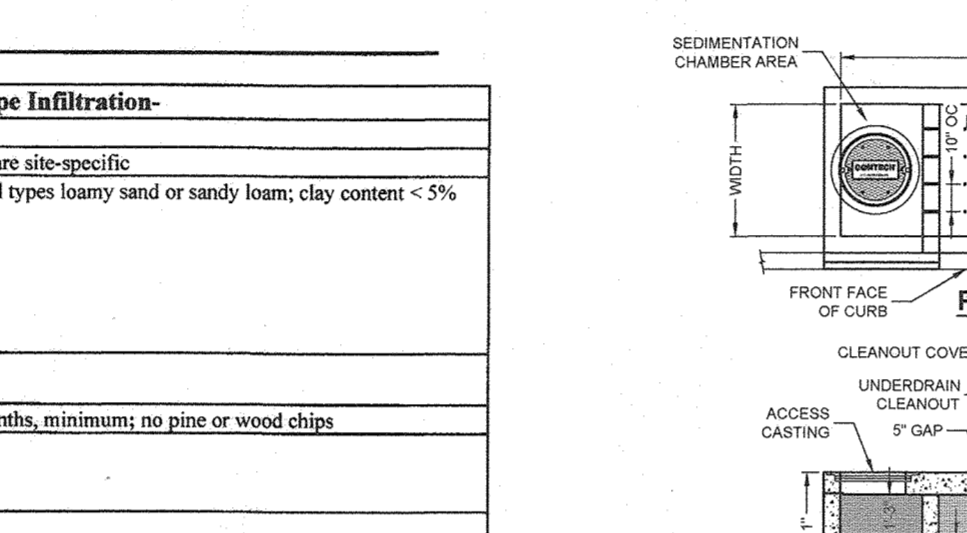
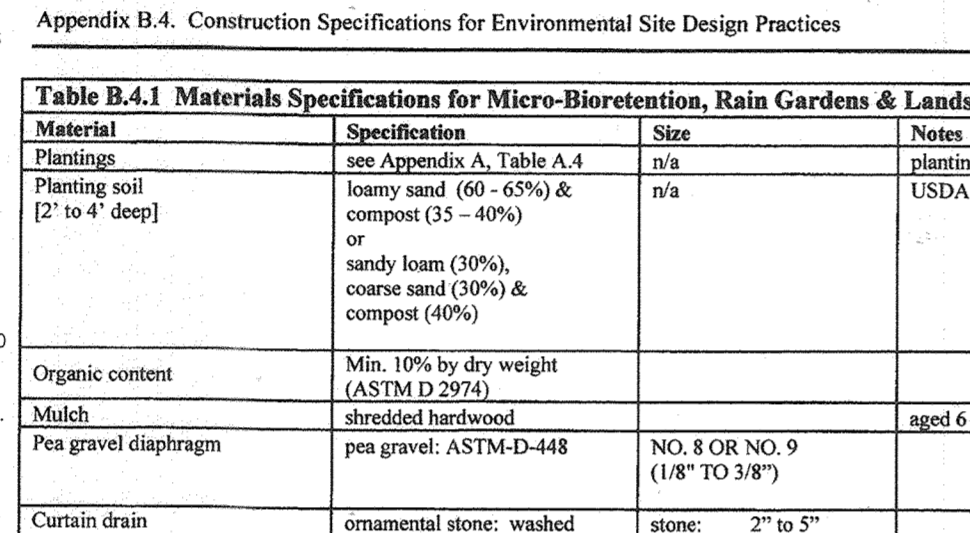
INSTALLATION NOTES:

- A. ANY SUB-BASE, BACKFILL, DEPTH, AND/OR ANTI-FLOTATION REQUIREMENTS ARE SITE-SPECIFIC DESIGN CONSIDERATIONS AND SHALL BE SPECIFIED BY ENGINEER OF RECORD.
- B. CONTRACTOR TO PROVIDE LIFTING AND REACH CAPACITY TO LIFT AND SET THE STRUCTURE INCLUDING CUTCHES PROVIDED.
- C. CONTRACTOR SHALL INSTALL AND LEVEL THE STRUCTURE, SET THE JOINTS, LINE BENT AND EXIST POINTS NON-SHRINK GROUT WITH APPROVED WATERSTOP OR FLEXIBLE BOOT.
- D. CONTRACTOR TO TAKE PRECAUTIONS TO PROTECT CARTRIDGES FROM CONSTRUCTION RELATED EROSION RUNOFF.
- E. CARTRIDGE INSTALLATION, BY CONTECH, SHALL OCCUR ONLY AFTER SITE HAS BEEN STABILIZED AND THE JELLYFISH UNIT IS CLEAN AND FREE OF DEBRIS. CONTACT CONTECH TO COORDINATE CARTRIDGE INSTALLATION WITH SITE STABILIZATION AT (800) 745-3119.

6. UNDERDRAINS
 UNDERDRAINS SHOULD MEET THE FOLLOWING CRITERIA:

- 1. PIPE - SHOULD BE 4" Ø DIAMETER, SLOTTED OR PERFORATED RIGID PLASTIC PIPE (ASTM F256, TYPE 28 OR AASHTO M-278) IN A GRAVEL LAYER. THE PREFERRED MATERIAL IS SLOTTED PIPE (E.G., PVC OF PERFORATED).
- 2. PERFORATIONS - IF PERFORATED PIPE IS USED, PERFORATIONS SHOULD BE 3/8" DIAMETER LOCATED 6" ON CENTER WITH A MINIMUM OF FOUR PERFORATIONS PER LINEAL FOOT.
- 3. WRAP - THE GRATE, PERFORATED PIPE, SLOTTED PIPE, OR UNDERDRAIN SHALL BE WRAPPED WITH A 1/4" (NO. 4 OR 4X4) GALVANIZED HARDWARE CLOTH.
- 4. LAYER - THE GRATE, PERFORATED PIPE, SLOTTED PIPE, OR UNDERDRAIN SHALL BE PLACED ABOVE AND BELOW THE UNDERDRAIN.
- 5. THE MAIN COLLECTION PIPE SHALL BE AT A MINIMUM 0.5% SLOPE.
- 6. A RIGID, NON-PERFORATED OBSERVATION WELL SHALL BE LOCATED ONE PER EVERY 1,000 SQ FT OF AREA FEED TO THE UNDERDRAIN SYSTEM.
- 7. THIS LAYER MAY BE CONSIDERED PART OF THE UNDERDRAIN SYSTEM.

7. MISCELLANEOUS
 THESE PRACTICES MAY NOT BE CONSTRUCTED UNTIL ALL CONTRIBUTING DRAINAGE AREA HAS BEEN STABILIZED.



CONTECH PROPOSAL DRAWING

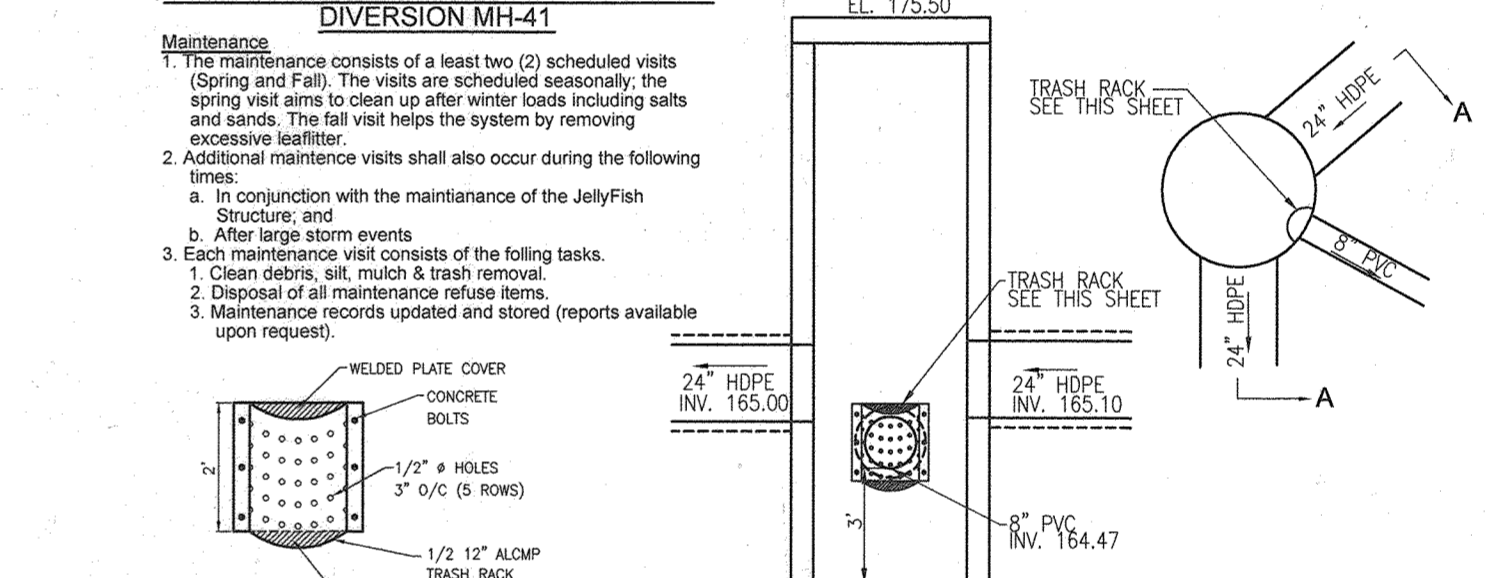
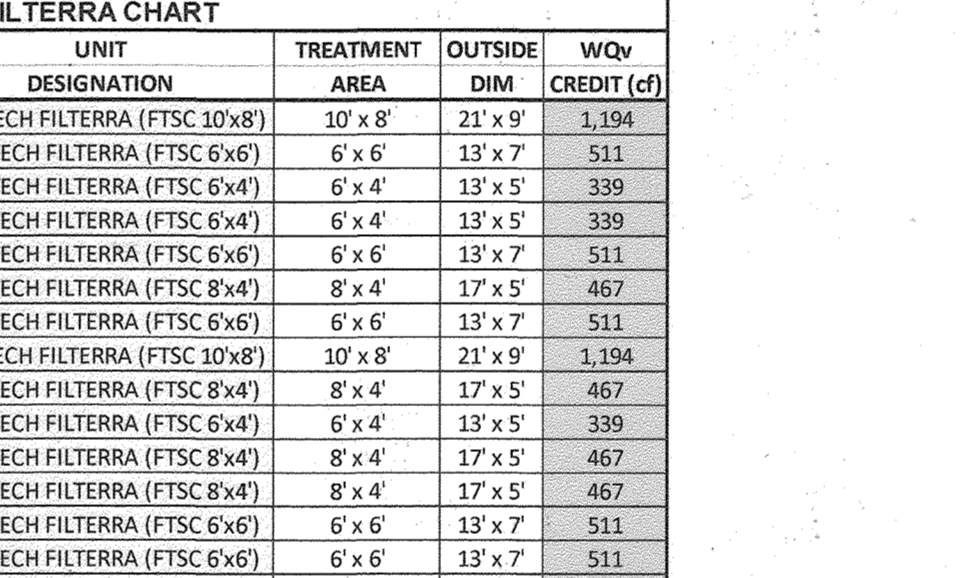
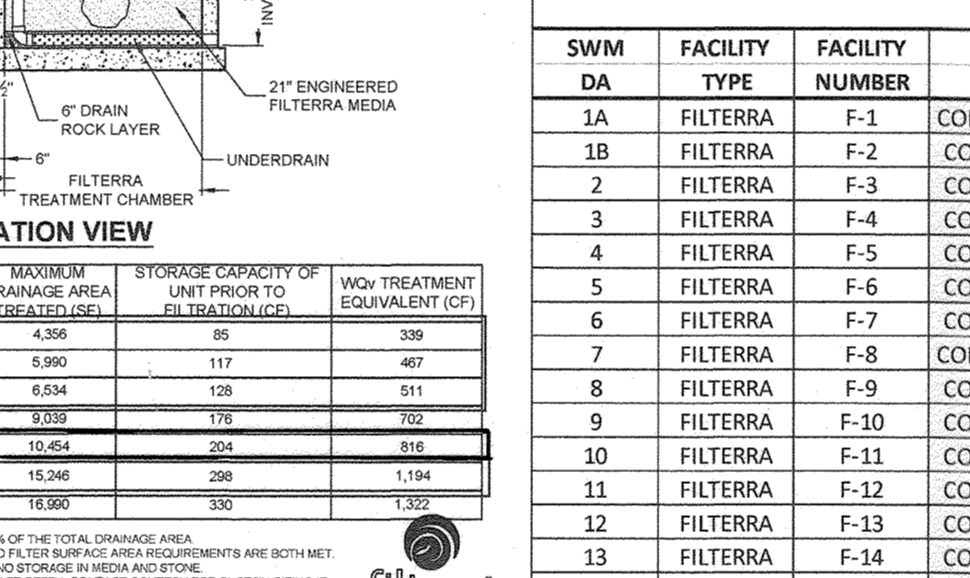
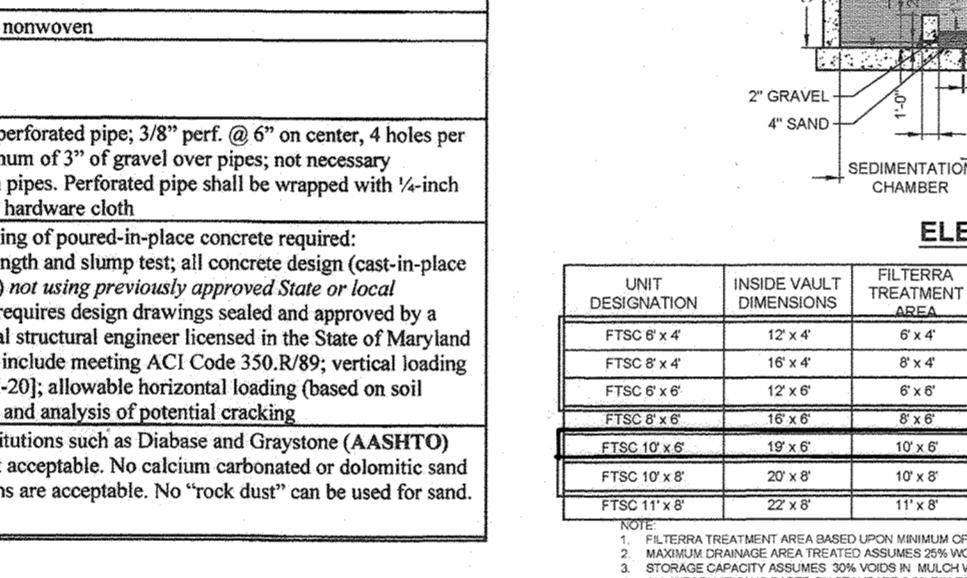
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 DRAWN BY: RAB
 CHECKED BY: RAB
 PROJECT NO: 584534
 SHEET NO: 190
 GILL LAYOUT 2A
 SCALE: 1" = 5'

OPERATION AND MAINTENANCE SCHEDULE FOR LANDSCAPE INFILTRATION (M-3), MICRO-BIORETENTION (M-6), RAIN GARDENS (M-7), BIORETENTION SWALE (M-8), AND ENHANCED FILTERS (M-9)

1. THE OWNER SHALL MAINTAIN THE PLANT MATERIAL, MULCH LAYER AND SOIL LAYER. ANNUALLY MAINTENANCE OF MULCH AND SOIL IS LIMITED TO CORRECTING AREAS OF EROSION OR WASH OUT. ANY MULCH REPLACEMENT SHALL BE DONE IN THE SPRING. PLANT MATERIAL SHALL BE CHECKED FOR ROOT AND MONITOR INFESTATION AND MAINTENANCE WILL ADDRESS DEAD MATERIAL PRUNING. ACCEPTABLE REPLACEMENT PLANT MATERIAL IS LIMITED TO THE FOLLOWING: 2000 MARYLAND STORMWATER DESIGN MANUAL, VOLUME 1, AND 2.
2. THE OWNER SHALL PERFORM A PLANT IN THE SPRING AND IN THE FALL OF EACH YEAR. DURING THE PERIOD, THE OWNER SHALL REMOVE DEAD AND DISEASED VEGETATION CONSIDERED BEYOND TREATMENT, REPLACING DEAD PLANT MATERIAL WITH ACCEPTABLE REPLACEMENT PLANT MATERIAL. TREAT DISEASED TREES AND SHRUBS, AND REPLACE ALL DEFICIENT STAKES AND WIRES.
3. THE OWNER SHALL CHECK SPRINGS. THE MULCH SHALL BE REPLACED EVERY TWO TO THREE YEARS. THE PREVIOUS MULCH LAYER SHALL BE REMOVED BEFORE THE NEW LAYER IS APPLIED.
4. THE OWNER SHALL CORRECT EROSION ON AN AS NEEDED BASIS, WITH A MINIMUM OF ONCE PER MONTH AND AFTER EACH HEAVY STORM.

Table B.4.1 Materials Specifications for Micro-Bioretenation, Rain Gardens & Landscape Infiltration-

Material	Specification	Size	Notes
Planting soil	loamy sand (60-65%) & compost (35-40%) or sandy loam (40%)	n/a	USDA soil types loamy sand or sandy loam; clay content < 5% (2 to 4" deep)
Organic content	Min. 10% by dry weight (ASTM D 2974)		
Mulch	pea gravel; ASTM-D-448	NO. 8 OR NO. 9 (1/8" TO 3/8")	aged 6 months, minimum; no pine or wood chips
Curtain drain	ornamental stone; washed cobbles	stone: 2" to 5"	
Geotextile	n/a	PE Type 1 nonwoven	
Gravel (underdrains and infiltration berms)	AASHTO M-43	NO. 57 OR NO. 6 AGGREGATE (3/8" TO 3/4")	
Underdrain piping	F 758, Type PS 28 or AASHTO M-278	4" Ø 6" rigid schedule 40 PVC or SDR35	Slotted or perforated pipe; 3/8" perf. @ 6" on center, 4 holes per row; minimum of 3" of gravel over pipe; not necessary underdrain pipes. Perforated pipe shall be wrapped with 1/4-inch galvanized hardware cloth.
Poured in place concrete (if required)	MSHA Mix No. 31, f _c = 3500 psi at 28 days, normal weight, air-entrained; reinforcing to meet ASTM-A15-00	n/a	on-site testing of poured-in-place concrete required; 28 day strength and slump test; all concrete design (cast-in-place or pre-cast) not using previously approved State or local standards require design drawings sealed and approved by a professional structural engineer licensed in the State of Maryland - design to include meeting ACI Code 308.3R/8; vertical loading (H-10 H-20); allowable horizontal loading (based on soil pressure); and analysis of potential cracking.
Sand	AASHTO M-6 or ASTM-C-33	0.075" to 0.04"	Sand substitutions such as Diabase and Gyratedon (AASHTO #10) are not acceptable. No calcium carbonate or dolomitic sand substitutions are acceptable. No "rock dust" can be used for sand.



OPERATION AND MAINTENANCE SCHEDULE FOR PRIVATELY OWNED AND MAINTAINED FILTERRA DEVICES

Activation includes installation of plants and mulch layers as necessary.

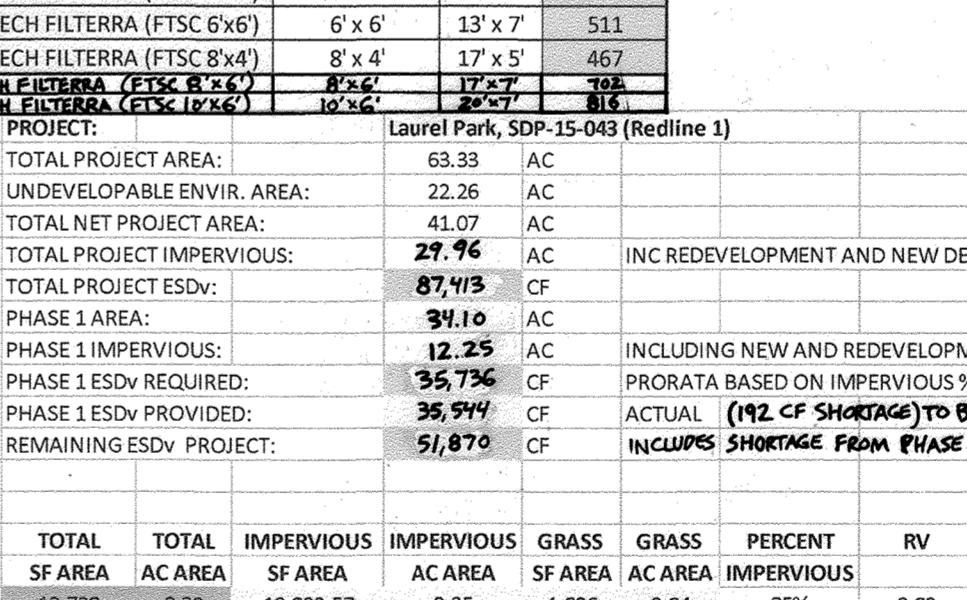
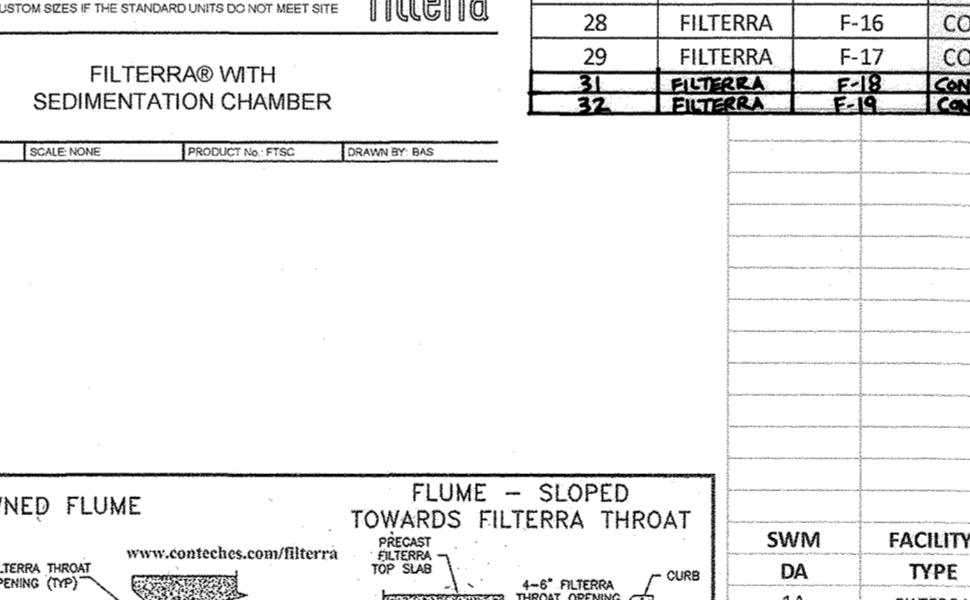
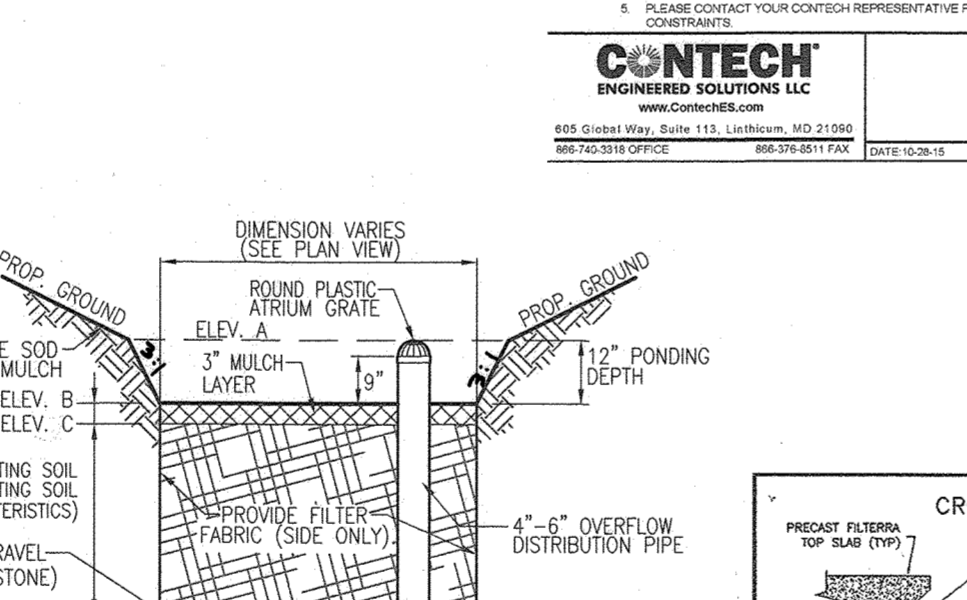
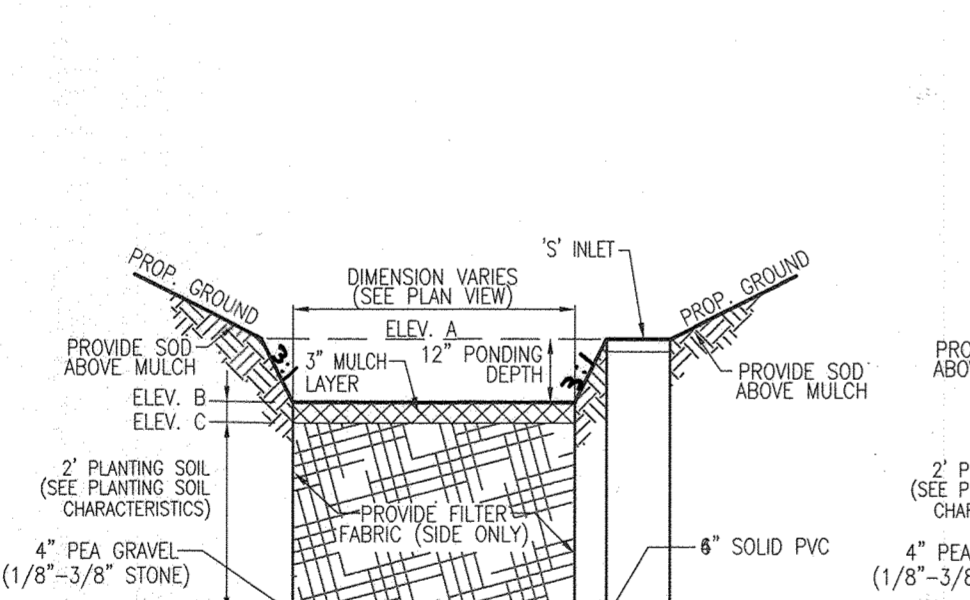
1. Filterra filter clean out and soil replacement shall be performed on a regular basis to ensure the project site is fully stabilized and cleaned (all landscaping, grass cover, final paving and final maintenance work). Excess maintenance contacts are available at extra cost upon request.

2. Annual maintenance consists of a maximum of (2) scheduled visits. The visits are scheduled bi-monthly, the spring visit will include soil replacement and mulch layers. The fall visit will help the system by removing excessive leaf litter.

3. The maintenance program consists of the following tasks:

1. Filterra unit inspection.
2. Filter media evaluation and trash removal.
3. Filter media replacement as necessary.
4. Mulch layer evaluation and replacement as necessary.
5. Replacement of mulch.
6. Inspection of all maintenance records.
7. Maintenance records updated and stored (reports available upon request).
8. Disposal of the sediment chamber with all inspections, trash debris removal within the chamber.

4. The beginning and ending date of the supplier's obligation to maintain the installed system shall be determined by the Supplier at the time of installation. Owners must promptly notify the Supplier of any damage to the plants(s), which constitute(s) and integral part of the bioretention technology.



FILTERRA CHART

DA	FACILITY	FACILITY NUMBER	UNIT DESIGNATION	TREATMENT AREA	OUTSIDE DIM	WQv CREDIT (1,194)
1A	FILTERRA	F-1	CONTECH FILTERRA (FTSC 10X8)	10' x 8'	21' x 9'	310
1B	FILTERRA	F-2	CONTECH FILTERRA (FTSC 6X6)	6' x 6'	13' x 7'	511
2	FILTERRA	F-3	CONTECH FILTERRA (FTSC 6X4)	6' x 4'	13' x 5'	339
3	FILTERRA	F-4	CONTECH FILTERRA (FTSC 6X4)	6' x 4'	13' x 5'	339
4	FILTERRA	F-5	CONTECH FILTERRA (FTSC 6X6)	6' x 4'	13' x 7'	511
5	FILTERRA	F-6	CONTECH FILTERRA (FTSC 6X6)	6' x 6'	13' x 7'	511
6	FILTERRA	F-7	CONTECH FILTERRA (FTSC 10X8)	10' x 8'	21' x 9'	310
7	FILTERRA	F-8	CONTECH FILTERRA (FTSC 8X4)	8' x 4'	17' x 5'	467
8	FILTERRA	F-9	CONTECH FILTERRA (FTSC 8X4)	8' x 4'	17' x 5'	339
9	FILTERRA	F-10	CONTECH FILTERRA (FTSC 8X4)	8' x 4'	17' x 5'	467
10	FILTERRA	F-11	CONTECH FILTERRA (FTSC 8X4)	8' x 4'	17' x 5'	467
11	FILTERRA	F-12	CONTECH FILTERRA (FTSC 8X4)	8' x 4'	17' x 5'	467
12	FILTERRA	F-13	CONTECH FILTERRA (FTSC 6X6)	6' x 6'	13' x 7'	511
13	FILTERRA	F-14	CONTECH FILTERRA (FTSC 6X6)	6' x 6'	13' x 7'	511
14	FILTERRA	F-15	CONTECH FILTERRA (FTSC 8X4)	8' x 4'	17' x 5'	467
15	FILTERRA	F-16	CONTECH FILTERRA (FTSC 8X4)	8' x 4'	17' x 5'	467
16	FILTERRA	F-17	CONTECH FILTERRA (FTSC 8X4)	8' x 4'	17' x 5'	467
17	FILTERRA	F-18	CONTECH FILTERRA (FTSC 8X4)	8' x 4'	17' x 5'	467
18	FILTERRA	F-19	CONTECH FILTERRA (FTSC 12X6)	12' x 6'	17' x 7'	718
19	FILTERRA	F-20	CONTECH FILTERRA (FTSC 12X6)	12' x 6'	17' x 7'	718

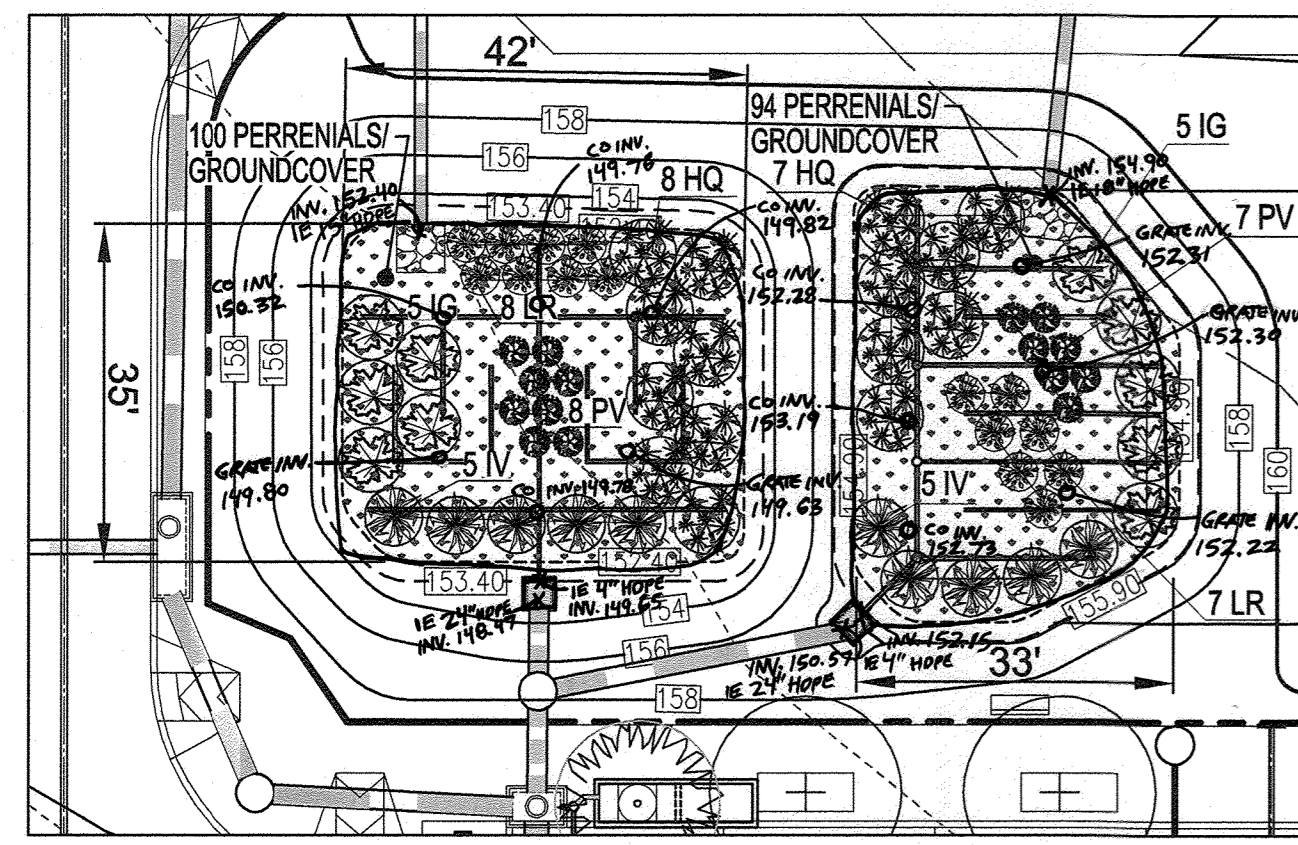
AS-BUILT CERTIFICATION FOR PSWM

HEREBY CERTIFY THAT THE FACILITY SHOWN ON THIS PLAN WAS CONSTRUCTED AS SHOWN ON THE "AS-BUILT" PLANS AND COMPLIES WITH THE APPROVED PLANS AND SPECIFICATIONS. I HAVE VERIFIED THAT THE CONTRIBUTING DRAINAGE AREA IS SUFFICIENTLY STABILIZED TO PREVENT CLOGGING OF THE UNDERGROUND SWALE FACILITY.

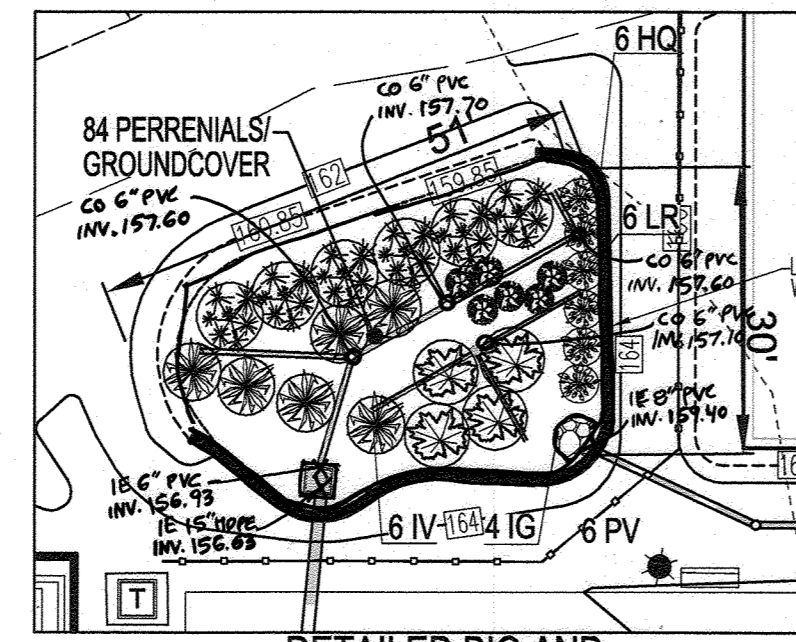
DATE: 9-10-23
 P.E. NAME: [Signature]
 DATE: 12-31-19
 DATE: 12-10-19
 DATE: 12-2-19

MICRO-BIORETENTION DATA CHART

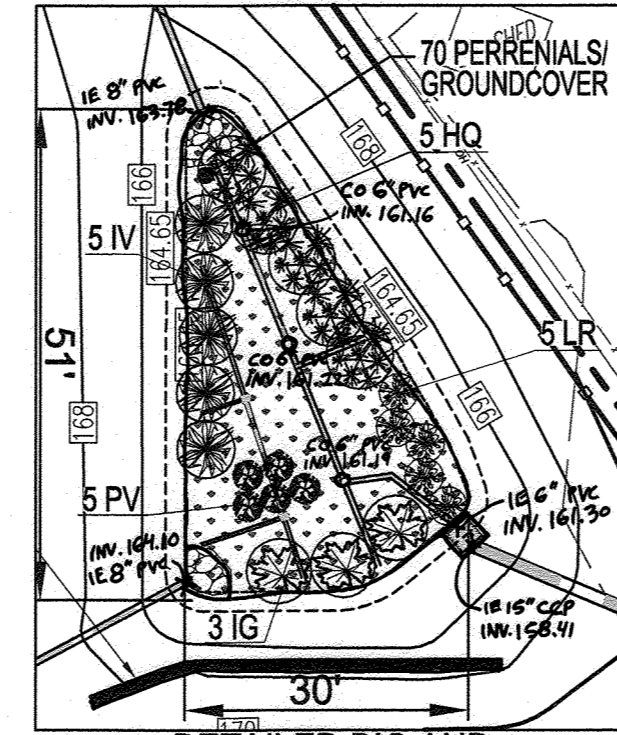
MBR Number	Ponding Depth (ft)	Top of Mulch ELEV. A	Bottom of Mulch ELEV. B	Bottom of Plant Mix ELEV. C	Bottom of Plant Mix ELEV. D	Bottom of Plant Mix ELEV. E	Bottom of Plant Mix ELEV. F	Bottom of Plant Mix ELEV. G	Bottom of Plant Mix ELEV. H	Bottom of Plant Mix ELEV. I	Bottom of Plant Mix ELEV. J	Bottom of Plant Mix ELEV. K	Bottom of Plant Mix ELEV. L	Bottom of Plant Mix ELEV. M	Bottom of Plant Mix ELEV. N	Bottom of Plant Mix ELEV. O	Bottom of Plant Mix ELEV. P	Bottom of Plant Mix ELEV. Q	Bottom of Plant Mix ELEV. R	Bottom of Plant Mix ELEV. S	Bottom of Plant Mix ELEV. T	Bottom of Plant Mix ELEV. U	Bottom of Plant Mix ELEV. V	Bottom of Plant Mix ELEV. W	Bottom of Plant Mix ELEV. X	Bottom of Plant Mix ELEV. Y	Bottom of Plant Mix ELEV. Z																																																																																																																																																																																																																																																																																																	
14A	1.00	153.40	152.40	152.15	1.50	150.65	150.32	1.00	149.65	149.32	0.83	148.99	148.66	1.00	148.00	147.67	0.83	147.00	146.67	1.00	146.00	145.67	0.83	145.00	144.67	1.00	144.00	143.67	0.83	143.00	142.67	1.00	142.00	141.67	0.83	141.00	140.67	1.00	140.00	139.67	0.83	139.00	138.67	1.00	138.00	137.67	0.83	137.00	136.67	1.00	136.00	135.67	0.83	135.00	134.67	1.00	134.00	133.67	0.83	133.00	132.67	1.00	132.00	131.67	0.83	131.00	130.67	1.00	130.00	129.67	0.83	129.00	128.67	1.00	128.00	127.67	0.83	127.00	126.67	1.00	126.00	125.67	0.83	125.00	124.67	1.00	124.00	123.67	0.83	123.00	122.67	1.00	122.00	121.67	0.83	121.00	120.67	1.00	120.00	119.67	0.83	119.00	118.67	1.00	118.00	117.67	0.83	117.00	116.67	1.00	116.00	115.67	0.83	115.00	114.67	1.00	114.00	113.67	0.83	113.00	112.67	1.00	112.00	111.67	0.83	111.00	110.67	1.00	110.00	109.67	0.83	109.00	108.67	1.00	108.00	107.67	0.83	107.00	106.67	1.00	106.00	105.67	0.83	105.00	104.67	1.00	104.00	103.67	0.83	103.00	102.67	1.00	102.00	101.67	0.83	101.00	100.67	1.00	100.00	99.67	0.83	99.00	98.67	1.00	98.00	97.67	0.83	97.00	96.67	1.00	96.00	95.67	0.83	95.00	94.67	1.00	94.00	93.67	0.83	93.00	92.67	1.00	92.00	91.67	0.83	91.00	90.67	1.00	90.00	89.67	0.83	89.00	88.67	1.00	88.00	87.67	0.83	87.00	86.67	1.00	86.00	85.67	0.83	85.00	84.67	1.00	84.00	83.67	0.83	83.00	82.67	1.00	82.00	81.67	0.83	81.00	80.67	1.00	80.00	79.67	0.83	79.00	78.67	1.00	78.00	77.67	0.83	77.00	76.67	1.00	76.00	75.67	0.83	75.00	74.67	1.00	74.00	73.67	0.83	73.00	72.67	1.00	72.00	71.67	0.83	71.00	70.67	1.00	70.00	69.67	0.83	69.00	68.67	1.00	68.00	67.67	0.83	67.00	66.67	1.00	66.00	65.67	0.83	65.00	64.67	1.00	64.00	63.67	0.83	63.00	62.67	1.00	62.00	61.67	0.83	61.00	60.67	1.00	60.00	59.67	0.83	59.00	58.67	1.00	58.00	57.67	0.83	57.00	56.67	1.00	56.00	55.67	0.83	55.00	54.67	1.00	54.00	53.67	0.83	53.00	52.67	1.00	52.00	51.67	0.83	51.00	50.67	1.00	50.00	49.67	0.83	49.00	48.67	1.00	48.00	47.6



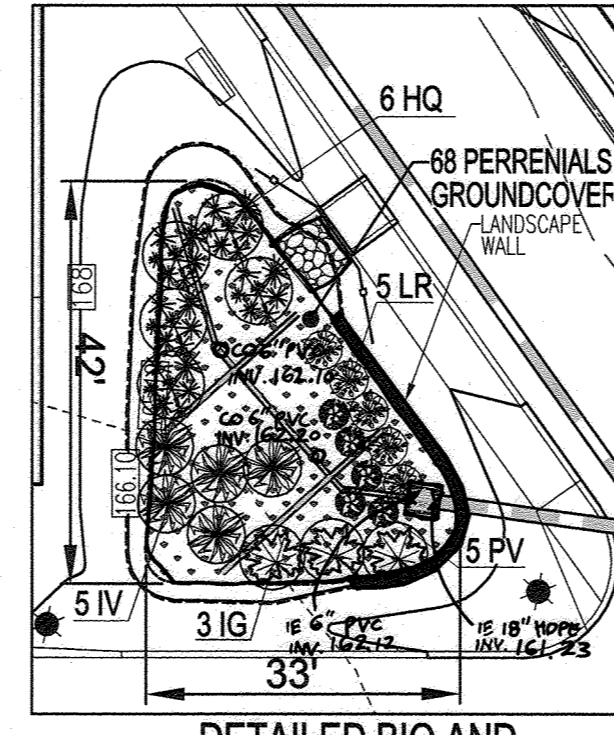
DETAILED BIO AND PLANTING PLAN (SWM #14A, 14B)
SCALE: 1" = 20'



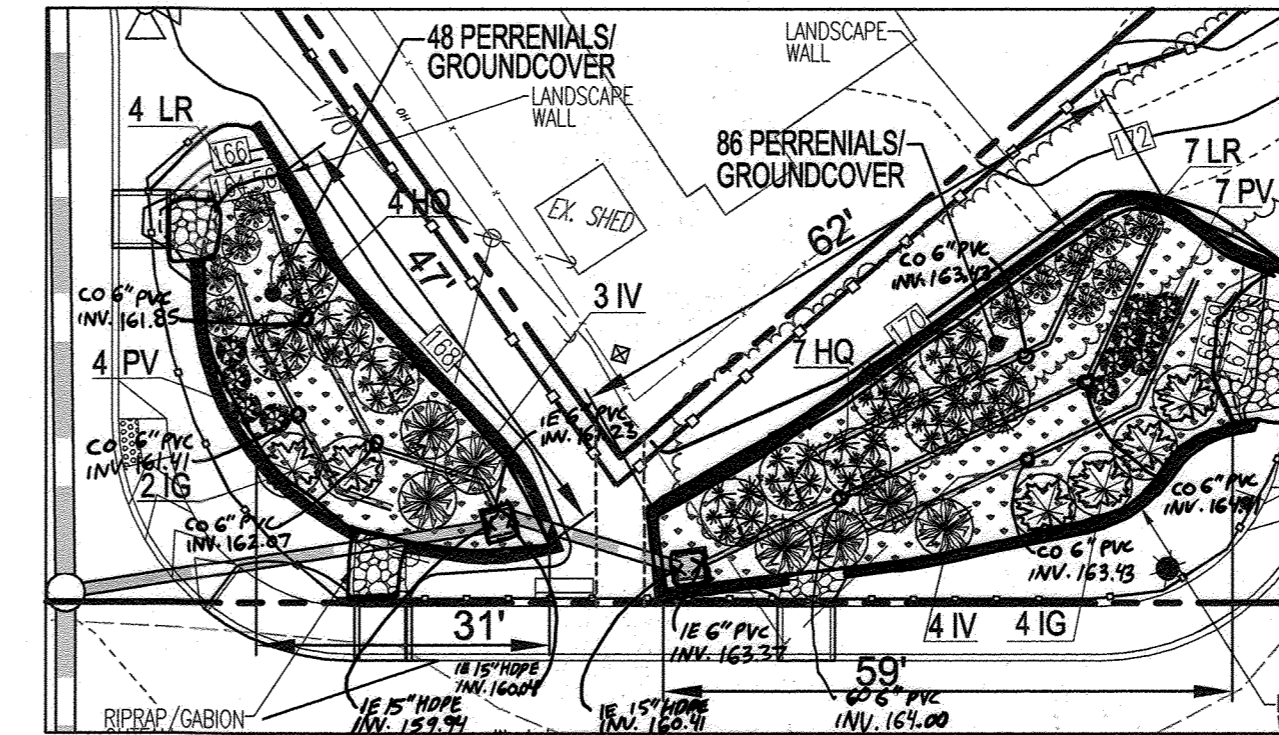
DETAILED BIO AND PLANTING PLAN (SWM #15)
SCALE: 1" = 20'



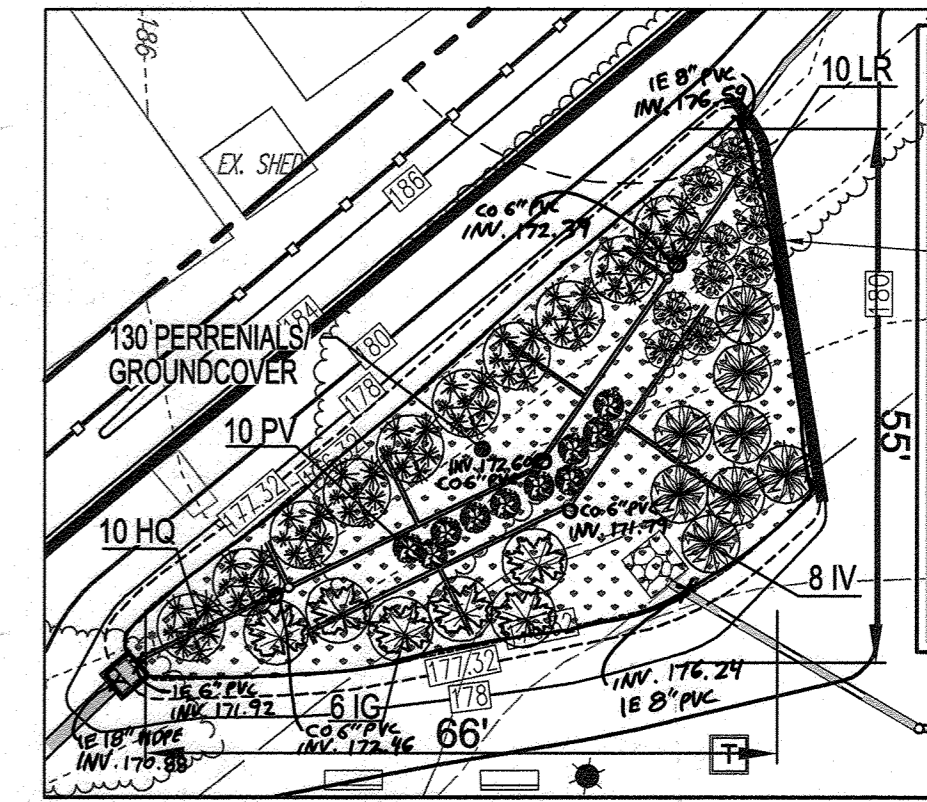
DETAILED BIO AND PLANTING PLAN (SWM #16)
SCALE: 1" = 20'



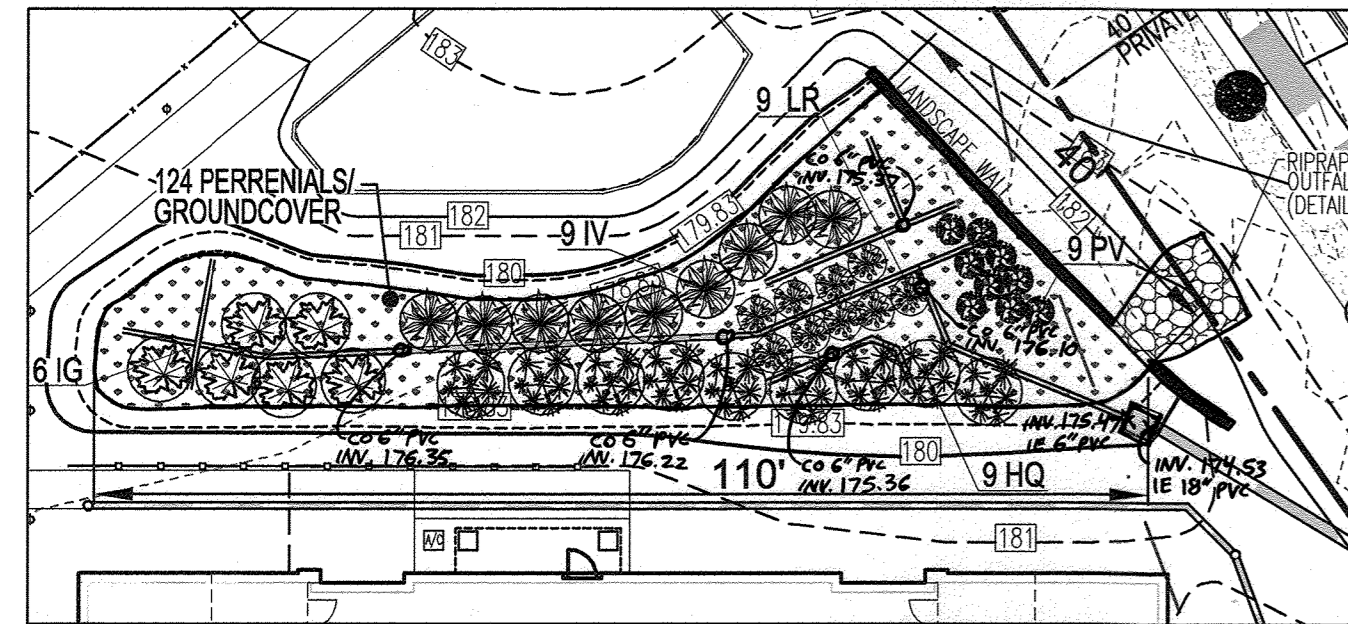
DETAILED BIO AND PLANTING PLAN (SWM #17)
SCALE: 1" = 20'



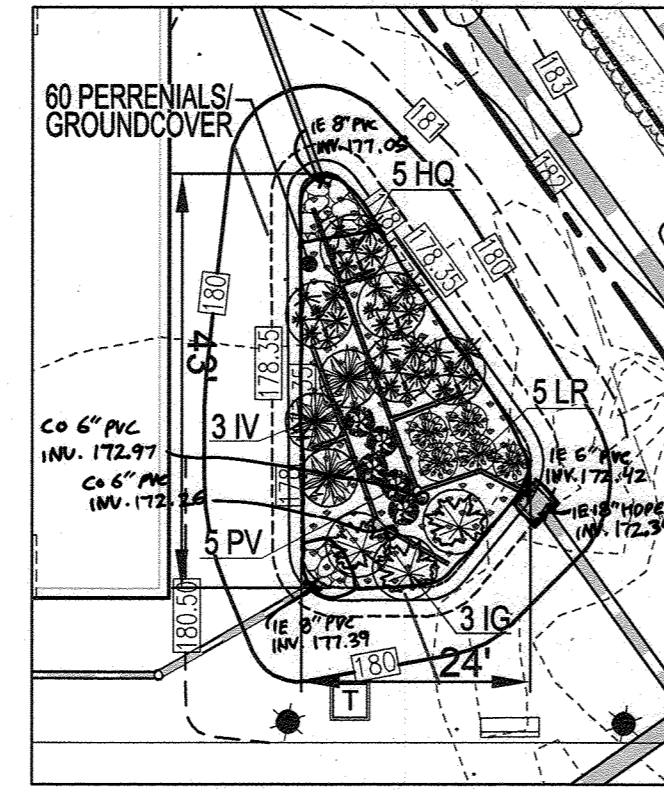
DETAILED BIO AND PLANTING PLAN (SWM #18 & 19)
SCALE: 1" = 20'



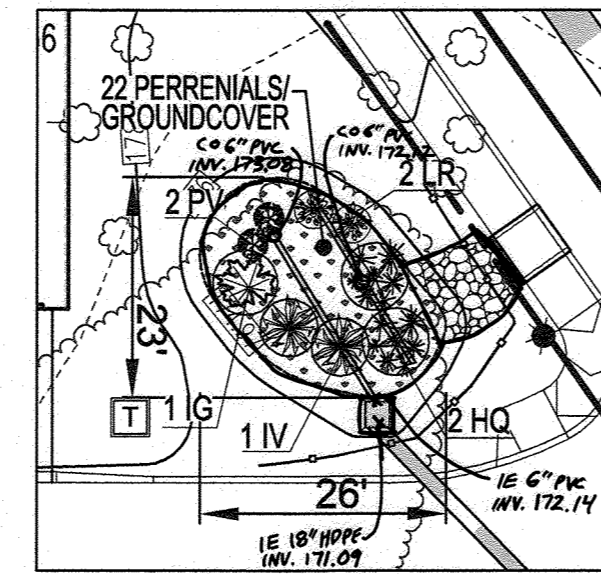
DETAILED BIO AND PLANTING PLAN (SWM #20)
SCALE: 1" = 20'



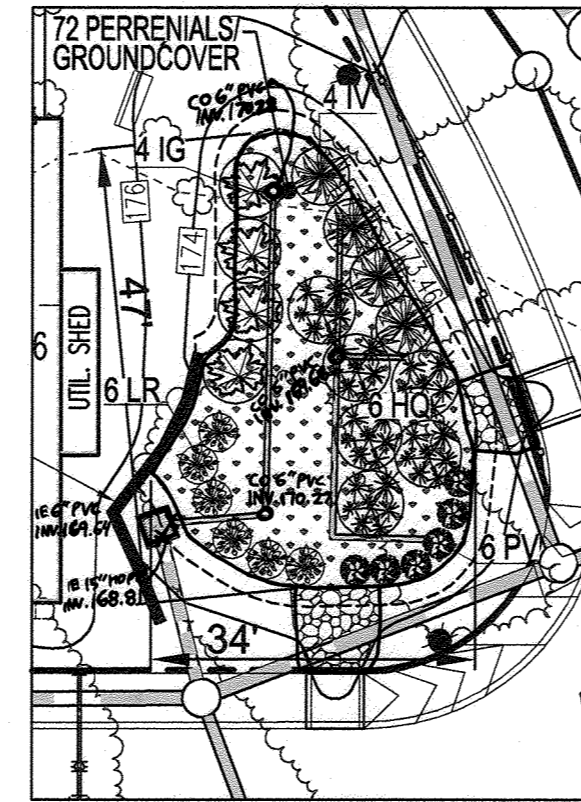
DETAILED BIO AND PLANTING PLAN (SWM #21)
SCALE: 1" = 20'



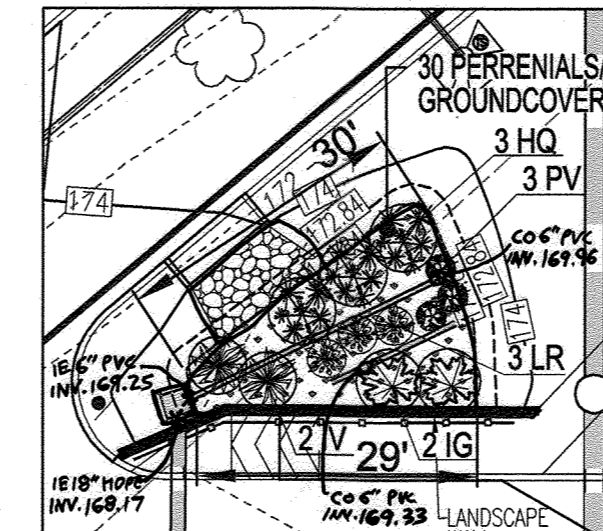
DETAILED BIO AND PLANTING PLAN (SWM #22)
SCALE: 1" = 20'



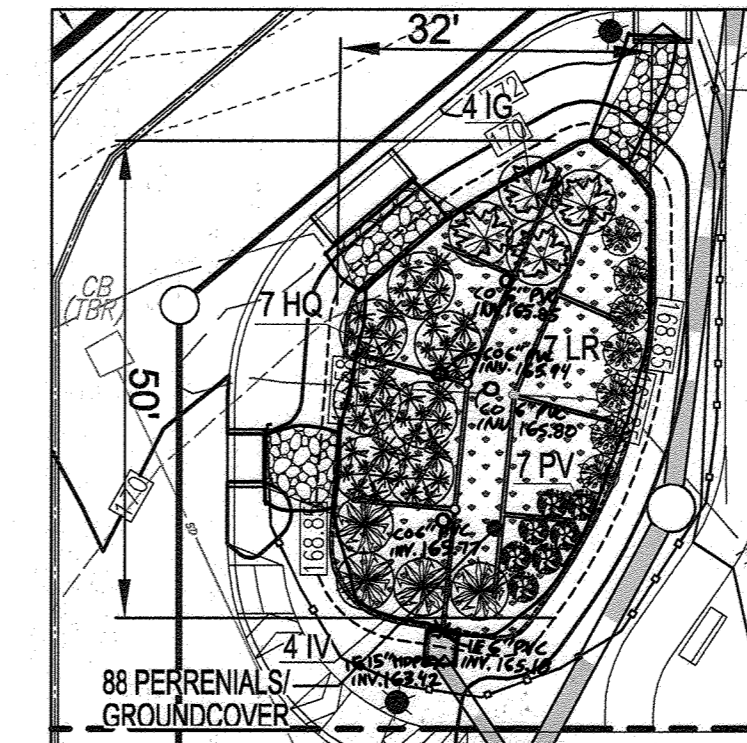
DETAILED BIO AND PLANTING PLAN (SWM #23)
SCALE: 1" = 20'



DETAILED BIO AND PLANTING PLAN (SWM #24)
SCALE: 1" = 20'



DETAILED BIO AND PLANTING PLAN (SWM #25)
SCALE: 1" = 20'



DETAILED BIO AND PLANTING PLAN (SWM #26)
SCALE: 1" = 20'

MICRO-BIORETENTION PLANTING REQUIREMENTS				PLANTINGS PROVIDED				PERENNIALS/GROUND COVER PROVIDED				
MBR #	LF	AREA	STEMS REQUIRED (0.0229)	STEMS PROVIDED	IG	IV	HQ	LR	PV	BA	AG	TOTAL
14A	144	1429	33	34	5	5	8	8	8	50	50	100
14B	138	1344	31	31	5	5	7	7	7	47	47	94
15	134	1200	28	28	4	6	6	6	6	42	42	84
16	134	973	22	23	3	5	5	5	5	35	35	70
17	124	920	22	23	3	5	5	5	5	34	34	68
18	117	714	17	17	2	3	4	4	4	24	24	48
19	162	1242	29	29	4	4	7	7	7	43	43	86
20	203	2008	46	46	7	9	10	10	10	70	70	140
21	251	1783	41	42	6	9	9	9	9	62	62	124
22	111	686	16	21	3	3	5	5	5	30	30	60
23	74	392	9	9	1	2	2	2	2	13	13	26
24	130	1033	24	26	4	4	6	6	6	36	36	72
25	87	407	10	13	2	2	3	3	3	15	15	30
26	136	1262	29	29	4	4	7	7	7	44	44	88
TOTALS	1945	15393	358	371	53	66	84	84	84	545	545	1090

BIORETENTION AREAS ARE TO BE PLANTED BASED ON A MINIMUM DENSITY OF 1000 STEMS PER PLANTED ACRE (0.0229 STEMS PER SQUARE FOOT).

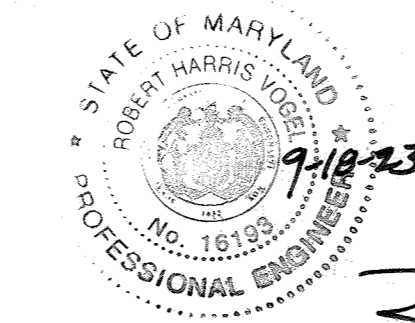
PERENNIALS/GROUND COVER PLANTING SCHEDULE			
LEGEND	QTY	BOTANICAL NAME/Common Name	REMARKS
[Symbol]	545	BAPTISIA AUSTRALIS FALSE INDIGO	12"-15" O.C. FOR SIDES AND BOTTOM OF MBR. MIX ALL VARIETIES IN A NATURALIZED RANDOM PATTERN THROUGHOUT PLANT IN GROUPS OF NO LESS THAN 9 PLANTS PER CLUMP
[Symbol]	545	ACORUS GRAMINEUS 'OGON' GOLDEN VARIEGATED SWEET FLAG	1 QT.

BIORETENTION PLANTING SCHEDULE (SHRUB/ORNAMENTAL GRASSES)			
LEGEND/KEY	QTY	BOTANICAL NAME/Common Name	REMARKS
[Symbol]	53	ILEX GLABRA 'SHAMROCK' INKBERRY HOLLEY	1 GALLON 18" O.C.
[Symbol]	66	ITEA VIRGINICA 'HENRY'S GARNETT' VIRGINIA SWEETSPIRE	1 GALLON 18" O.C.
[Symbol]	84	HYDRANGEA QUERCIFOLIA OAKLEAF HYDRANGEA	1 GALLON 30" O.C.
[Symbol]	84	LEUCOCEO RACEMOSA FETTERBUSH	1 GAL. 30" O.C.
[Symbol]	84	PANICUM VIRGATUM SWITCHGRASS	1 GAL. 36" O.C.

OWNER: TRIPLE BELL FARMS, LLC. 20006 DELAWARE, INC. 198 LAUREL RACE TRACK RD. LAUREL, MD 20725 (301) 470-5494
OWNER/DEVELOPER: 198 LAUREL RACE TRACK RD. LAUREL, MD 20725 (301) 470-5494

NO.	REVISION	DATE
6	REVISE THE PLAN TO SHOW AS-BUILT CONDITIONS.	03/24/23
5	REVISE PLAN TO SHOW RECONFIGURATION OF STREAM; ADD STORM DRAIN AND TRAP ON PARCEL A-2	09/01/22
4	ADD DUMPSTER FOR BUILDING #4; ADD SIDEWALK TO RIGHT SIDE OF RUFFIAN WAY	05/07/21
3	MODIFICATION OF PHASE 1 LAYOUT, RENAME PLAN, LANDSCAPING, PRIVATE ROAD IMPROVEMENTS, UTILITY LAYOUT AND STORMWATER MANAGEMENT.	09/08/20
2	REVISE THE PLANS TO ILLUSTRATE IRRIGATION LINES WITHIN PRIVATE ROADWAY	07/28/20
1	MODIFICATION OF PHASE 1 LAYOUT, ROAD LAYOUT, UTILITY LAYOUT, STORMWATER MANAGEMENT, AND BYPASS LAYOUT	06/11/19

REVISED SITE DEVELOPMENT PLAN
STORMWATER MANAGEMENT
MICRO-BIORETENTION PLANTINGS
PADDOCK POINTE - PHASE 1
FORMERLY KNOWN AS LAUREL PARK STATION
64 APARTMENT AND 156 STACKED CONDO UNITS
TAX MAP: 50 BLOCK: 10
6TH ELECTION DISTRICT
PARCELS: 384/441
PARCELS A-2, B-1, B-2
B-3, C-1, J, K-1, L, AND
P.384 (L10518/F.157)
P.441 (L13296/F.377)
ZONED: TOD
LOTS D, E-1, F-1, G, H, & I
HOWARD COUNTY, MARYLAND



AS-BUILT CERTIFICATION FOR PWSM
I HEREBY CERTIFY THAT THE FACILITY SHOWN ON THIS PLAN WAS CONSTRUCTED AS SHOWN ON THE "AS-BUILT" PLANS AND COMPLIES WITH THE APPROVED PLANS AND SPECIFICATIONS. I HAVE VERIFIED THAT THE CONTRIBUTING DRAINAGE AREA IS SUFFICIENTLY STABILIZED TO PREVENT CLOGGING OF THE UNDERGROUND SWM FACILITY.
P.E. NAME: [Signature] 16193 9-18-23
DATE

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
[Signature] 5-28-23
CHIEF, DEVELOPMENT ENGINEERING DIVISION
[Signature] 8/15/23
CHIEF, DIVISION OF LAND DEVELOPMENT
DIRECTOR

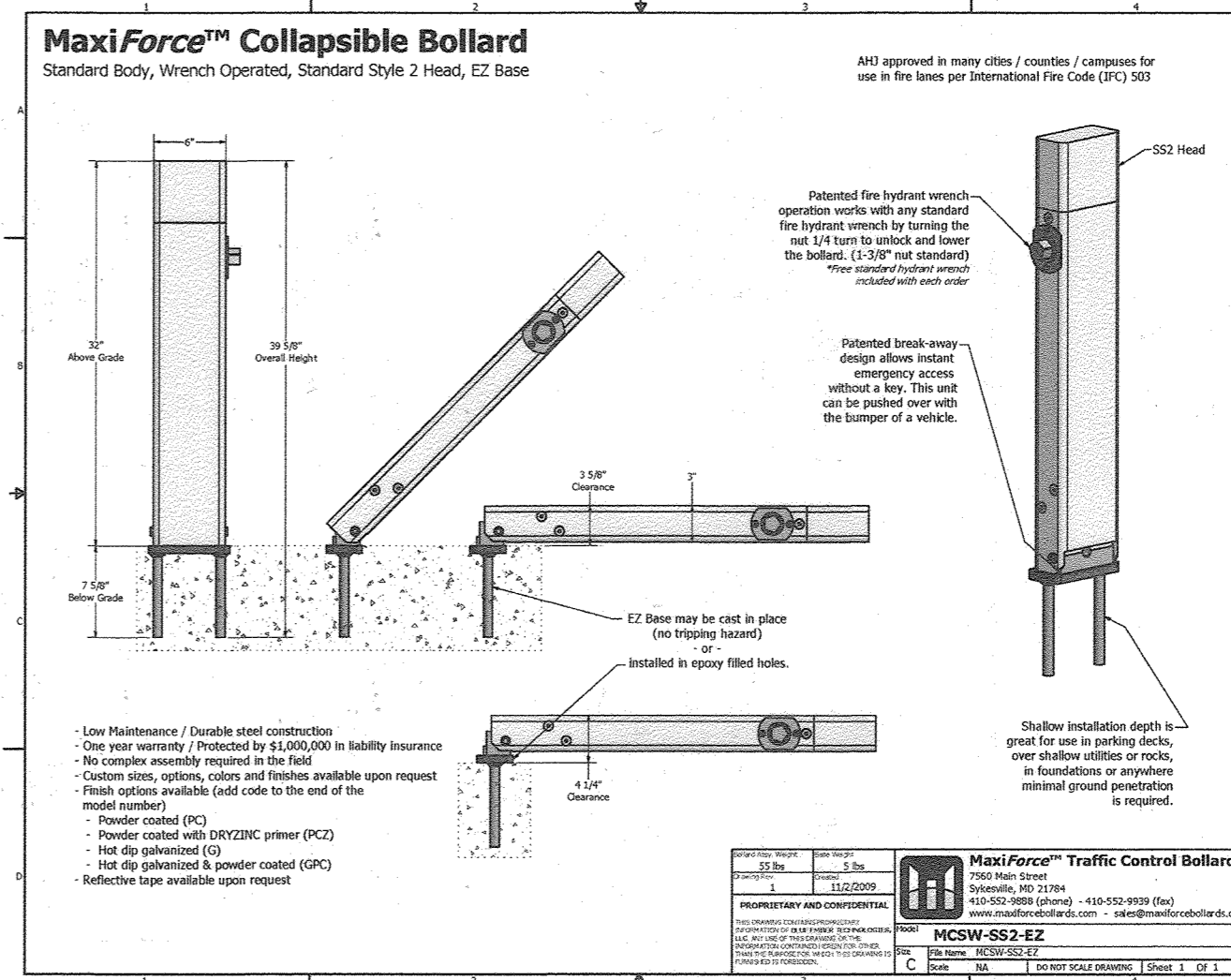
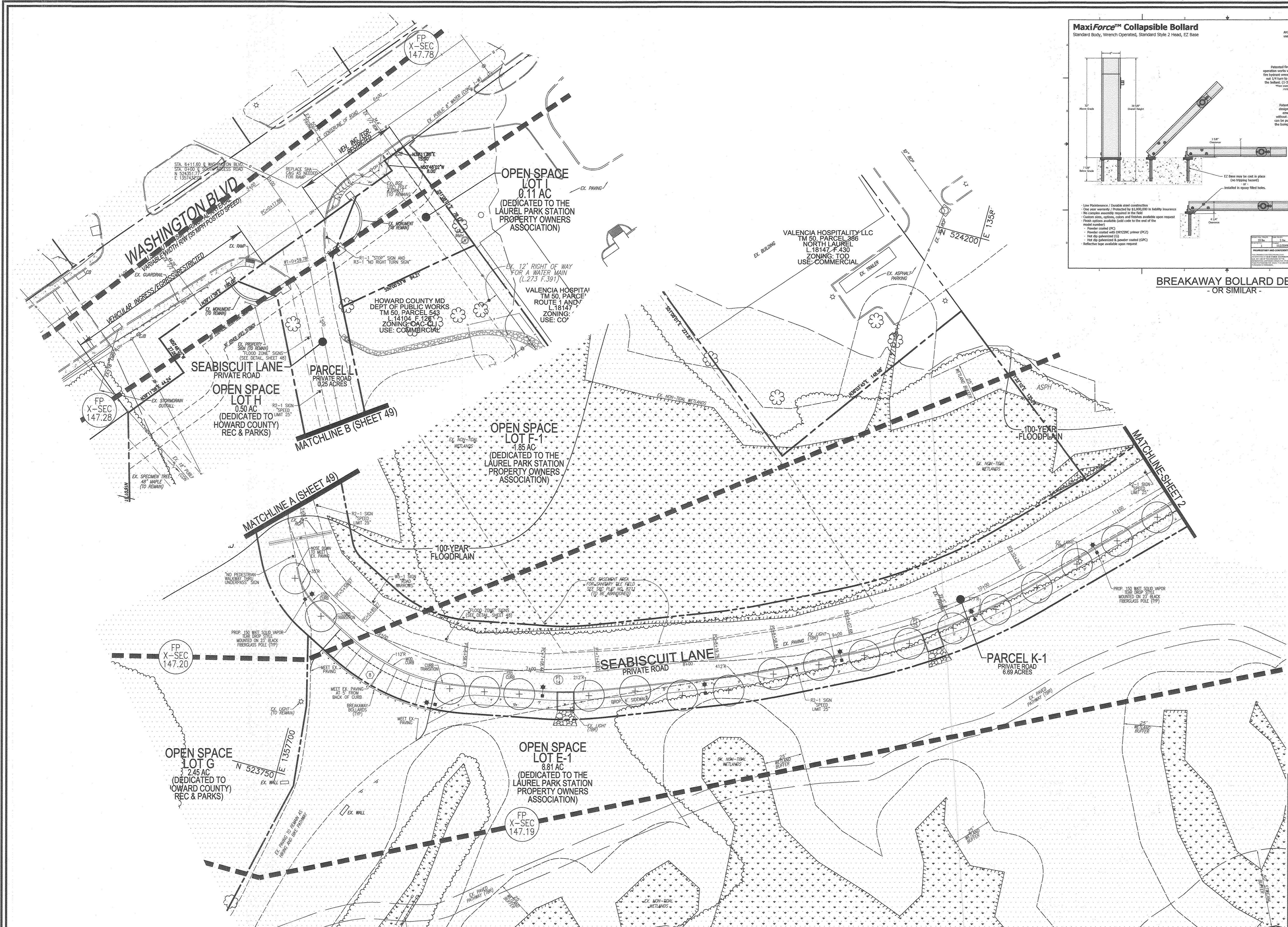
DEVELOPER'S/BUILDER'S CERTIFICATE
I/WE CERTIFY THAT THE LANDSCAPING SHOWN ON THIS PLAN WILL BE DONE ACCORDING TO THE PLAN, SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE HOWARD COUNTY LANDSCAPE MANUAL. I/WE FURTHER CERTIFY THAT UPON COMPLETION, A CERTIFICATION OF LANDSCAPE INSTALLATION, ACCOMPANIED BY AN EXECUTED ONE (1) YEAR GUARANTEE OF PLANT MATERIALS, WILL BE SUBMITTED TO THE DEPARTMENT OF PLANNING AND ZONING.
[Signature] 05/02/2023
SIGNATURE OF DEVELOPER DATE

VOGEL ENGINEERING
TIMMONS GROUP
3300 NORTH RIDGE ROAD, SUITE 110, ELLICOTT CITY, MD 21043
P: 410.461.7666 F: 410.461.8961 www.timmons.com

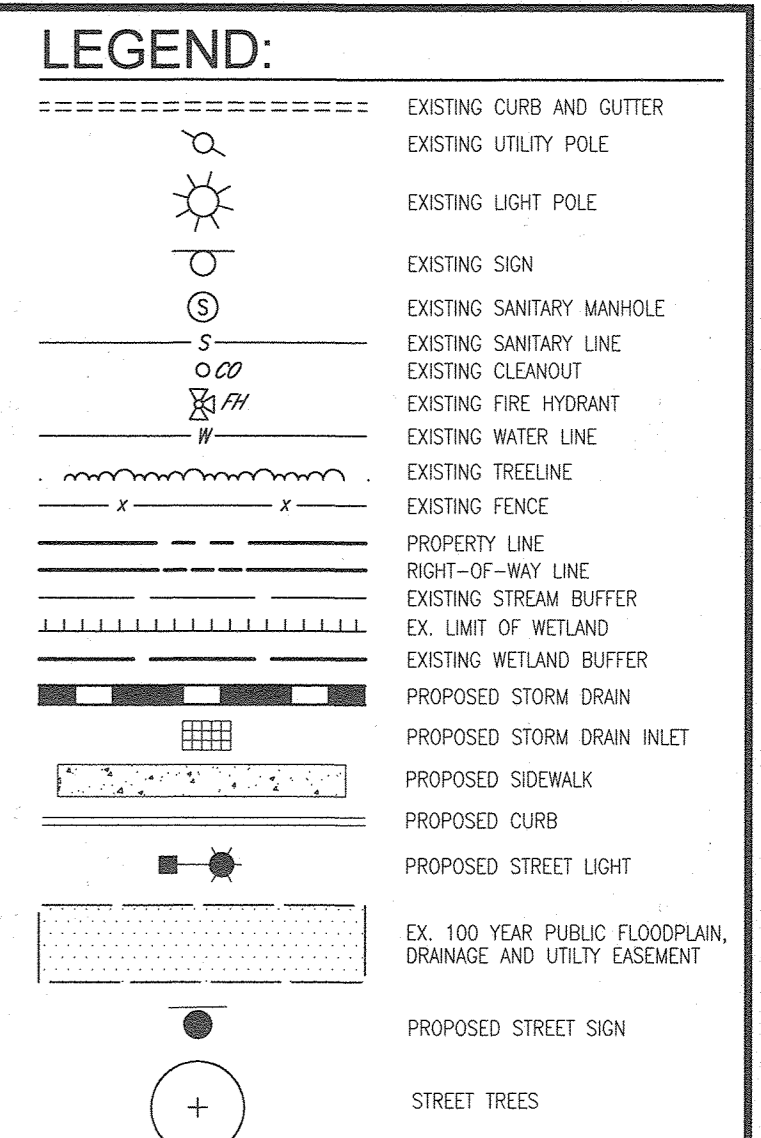
DESIGN BY: RHW/DZE
DRAWN BY: DZE
CHECKED BY: RHW
DATE: JAN 2023
SCALE: AS SHOWN
W.O. NO.: 07-11/40111

PROFESSIONAL CERTIFICATE
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 16193
EXPIRATION DATE: 08-27-2024

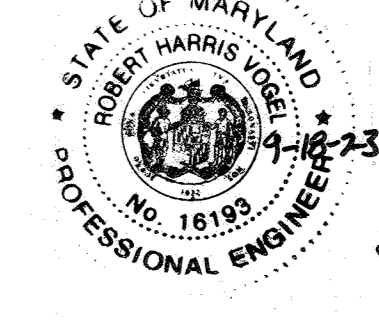
39 SHEET OF 55
ROBERT H. VOGEL, PE No.16193



BREAKAWAY BOLLARD DETAIL - OR SIMILAR -



FLOOD ZONE SIGNS (TYP)
 1. SIGNS SHALL BE MAINTAINED IN GOOD CONDITION BY THE OWNER/DEVELOPER.
 2. HOWARD COUNTY WILL HAVE NO RESPONSIBILITY FOR THIS SIGNAGE.



AS-BUILT CERTIFICATION FOR PSWM
 I HEREBY CERTIFY THAT THE FACILITY SHOWN ON THIS PLAN WAS CONSTRUCTED AS SHOWN ON THE "AS-BUILT" PLANS AND COMPLIES WITH THE APPROVED PLANS AND SPECIFICATIONS. I HAVE VERIFIED THAT THE CONTRIBUTING DRAINAGE AREA IS SUFFICIENTLY STABILIZED TO PREVENT CLOGGING OF THE UNDERGROUND SWM FACILITY.
 NAME: R. H. VOGEL, P.E. # 18193
 DATE: 9-18-23

OWNER
 TRIPLE BELL FARMS, LLC
 198 LAUREL POLE TRACE #2
 LAUREL, MD 20725
 (301) 770-5494

OWNER/DEVELOPER
 20006 DELAWARE, INC.
 198 LAUREL POLE TRACE #2
 LAUREL, MD 20725
 (301) 770-5494

NO.	REVISION	DATE
5	REVISE PLAN TO SHOW RECONSTRUCTION OF STREAM, ADD STORM DRAIN AND TRAIL ON PARCEL A-2	9-1-22
3	MODIFICATION OF PHASE 1 LAYOUT, RENAME PLAN, LANDSCAPING, PRIVATE ROAD IMPROVEMENTS, UTILITY LAYOUT AND STORMWATER MANAGEMENT.	09/08/20
2	REVISE THE PLANS TO ILLUSTRATE IRRIGATION LINES WITHIN PRIVATE ROADWAY	07/28/20
1	MODIFICATION OF PHASE 1 LAYOUT, ROAD LAYOUT, UTILITY LAYOUT, STORMWATER MANAGEMENT, AND BYPASS LAYOUT	06/11/19

REVISED SITE DEVELOPMENT PLAN
 SITE LAYOUT PLAN

Paddock Pointe - Phase 1
 FORMERLY KNOWN AS LAUREL PARK STATION
 64 APARTMENT AND 150 STACKED CONDO UNITS
 PARCELS: 384/441
 PARCELS: A-2, B-3, C-1, J, K-1, L AND
 P.384 (L10518/F.157) B-3, C-1, J, K-1, L AND
 P.441 (L13298/F.377) LOTS D, E-1, F, G, H & I
 ZONED: TOD HOWARD COUNTY, MARYLAND

VOGEL ENGINEERING
 TIMMONS GROUP
 3300 NORTH RIDGE ROAD, SUITE 110, ELLICOTT CITY, MD 21043
 P: 410.461.7666 F: 410.461.8961 www.timmons.com

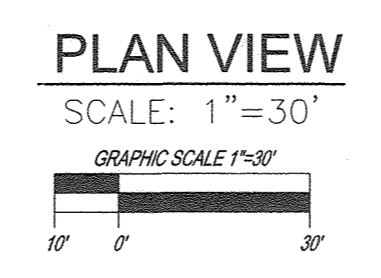


DESIGN BY: RHV/DZE
 DRAWN BY: DZE
 CHECKED BY: RHV
 DATE: SEPTEMBER 2020
 SCALE: AS SHOWN
 W.O. NO.: 07-11/40111

PROFESSIONAL CERTIFICATE
 I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE ENGINEERING ACT OF THE STATE OF MARYLAND, LICENSE NO. 18193, EXPIRATION DATE: 09-27-2022

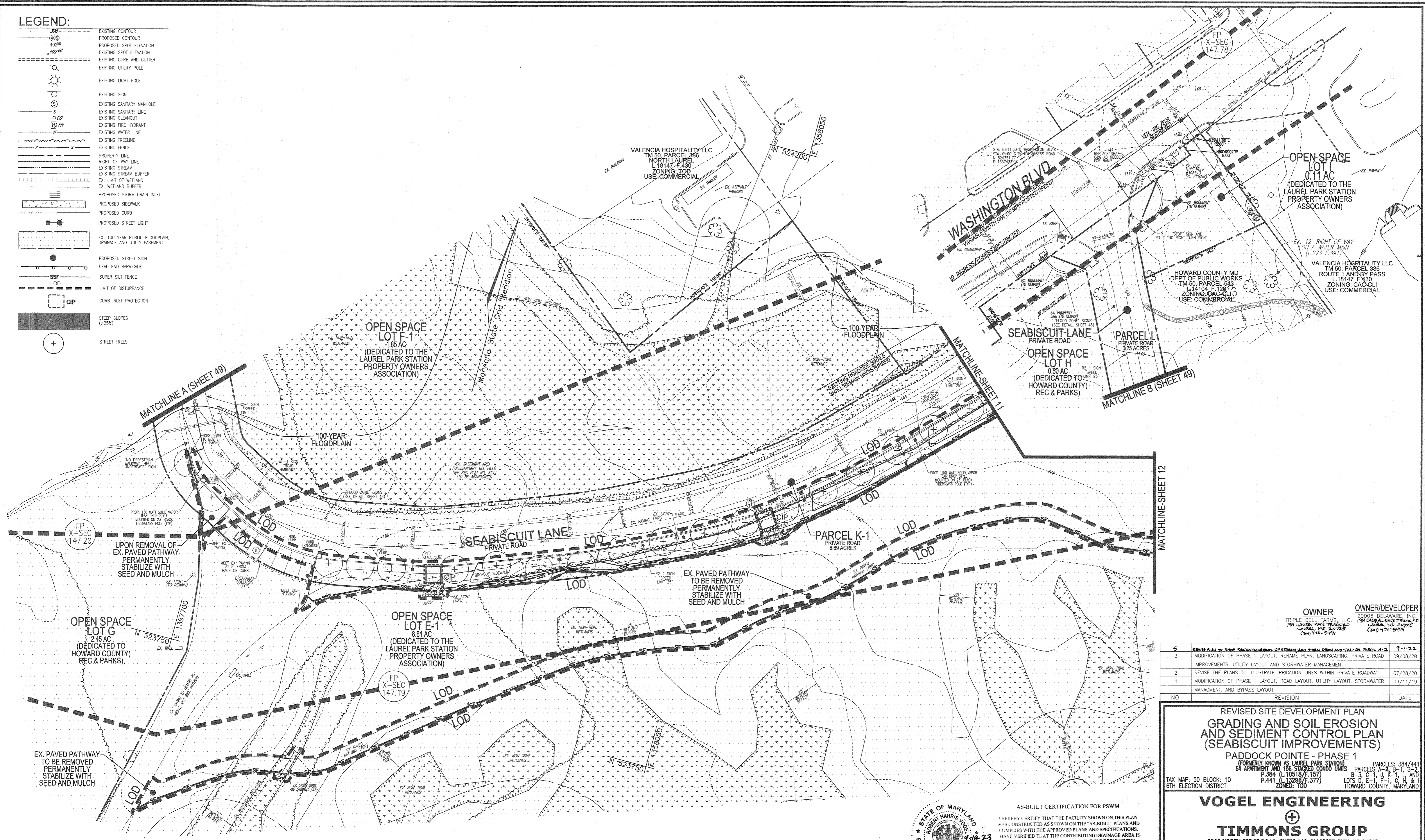
APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
 DATE: 6-10-22
 DATE: 01/10/22
 DATE: 6/16/22

NOTES:
 1. FOR SEABISCUIT LANE GRADING, SEE SHEET 41.
 4. FOR ADDITIONAL SIGNAGE AND PAVEMENT MARKINGS, SEE SHEETS 50-52.



NO AS-BUILT INFORMATION ON THIS SHEET

- LEGEND:**
- EXISTING CONTOUR
 - PROPOSED CONTOUR
 - PROPOSED SPOT ELEVATION
 - EXISTING SPOT ELEVATION
 - EXISTING CURB AND GUTTER
 - EXISTING UTILITY POLE
 - EXISTING LIGHT POLE
 - EXISTING SIGN
 - EXISTING SANITARY MANHOLE
 - EXISTING SANITARY LINE
 - EXISTING CLEANOUT
 - EXISTING FIRE HYDRANT
 - EXISTING WATER LINE
 - EXISTING TREELINE
 - EXISTING FENCE
 - PROPERTY LINE
 - RIGHT-OF-WAY LINE
 - EXISTING STREAM
 - EXISTING STREAM BUFFER
 - EX. LIMIT OF WETLAND
 - EX. WETLAND BUFFER
 - PROPOSED STORM DRAIN INLET
 - PROPOSED SIDEWALK
 - PROPOSED CURB
 - PROPOSED STREET LIGHT
 - EX. 100 YEAR PUBLIC FLOODPLAIN, DRAINAGE AND UTILITY EASEMENT
 - PROPOSED STREET SIGN
 - DEAD END BARRICADE
 - SSP
 - LOD
 - LIMIT OF DISTURBANCE
 - CIP
 - STEEP SLOPES (>25%)
 - STREET TREES



NO.	REVISION	DATE
5	REVISE PLAN TO SHOW RECONSTRUCTION OF STREAM AND STORM DRAIN AND TRAP ON PARCELS A-2	9-1-22
3	MODIFICATION OF PHASE 1 LAYOUT, RENAME PLAN, LANDSCAPING, PRIVATE ROAD IMPROVEMENTS, UTILITY LAYOUT AND STORMWATER MANAGEMENT.	09/08/20
2	REVISE THE PLANS TO ILLUSTRATE IRRIGATION LINES WITHIN PRIVATE ROADWAY	07/28/20
1	MODIFICATION OF PHASE 1 LAYOUT, ROAD LAYOUT, UTILITY LAYOUT, STORMWATER MANAGEMENT, AND BYPASS LAYOUT	06/11/19

REVISED SITE DEVELOPMENT PLAN
GRADING AND SOIL EROSION AND SEDIMENT CONTROL PLAN (SEABISCUIT IMPROVEMENTS)
 PADDOCK POINTE - PHASE 1
 FORMERLY KNOWN AS LAUREL PARK STATION
 64 APARTMENT AND 180 STACKED CONDO UNITS PARCELS A-2, B-1, B-2, B-3, C-1, J, K-1, L AND P.384 (L10518/F.157) P.441 (L13286/F.377)
 TAX MAP: 50 BLOCK: 10 6TH ELECTION DISTRICT
 ZONED: TOD
 HOWARD COUNTY, MARYLAND

VOGEL ENGINEERING
 TIMMONS GROUP
 3300 NORTH RIDGE ROAD, SUITE 110, ELLICOTT CITY, MD 21043
 P: 410.461.7666 F: 410.461.8961 www.timmons.com

PROFESSIONAL CERTIFICATE
 DESIGN BY: RHV/DZE
 DRAWN BY: DZE
 CHECKED BY: RHV
 DATE: SEPTEMBER 2020
 SCALE: AS SHOWN
 W.O. NO.: 07-11/40111
 I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND. EXPIRATION DATE: 09-27-2023

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
 Chief, Development Engineering Division
 Chief, Division of Land Development
 Director

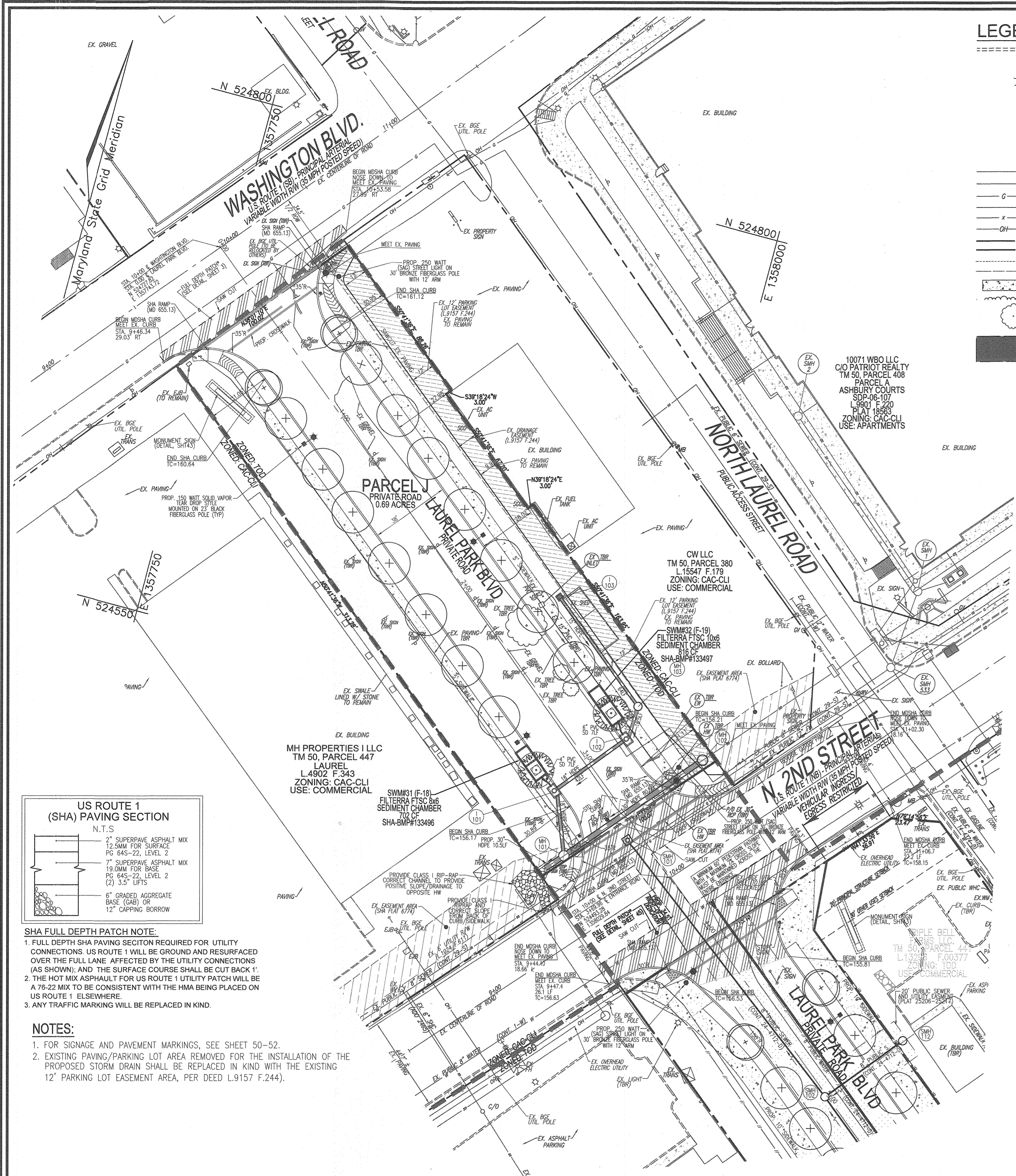
OWNER/DEVELOPER CERTIFICATION
 I/WE CERTIFY THAT ANY CLEARING, GRADING, CONSTRUCTION OR DEVELOPMENT WILL BE DONE PURSUANT TO THIS APPROVED EROSION AND SEDIMENT CONTROL PLAN, INCLUDING INSPECTING AND MAINTAINING CONTROLS, AND THAT ALL RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A MARYLAND DEPARTMENT OF THE ENVIRONMENT (MDE) APPROVED TRAINING PROGRAM FOR THE CONTROL OF EROSION AND SEDIMENT PRIOR TO BEGINNING THE PROJECT. I CERTIFY RIGHT-OF-ENTRY FOR PERIODIC ON-SITE EVALUATION BY HOWARD COUNTY, THE HOWARD SOIL CONSERVATION DISTRICT AND/OR MDE.
 Robert H. Vogel
 OWNER/DEVELOPER SIGNATURE
 MARK G. TIMMONS
 PRINTED NAME & TITLE

DESIGN CERTIFICATION
 I HEREBY CERTIFY THAT THIS PLAN HAS BEEN DESIGNED IN ACCORDANCE WITH CURRENT MARYLAND EROSION AND SEDIMENT CONTROL LAWS, REGULATIONS, AND STANDARDS, THAT IT REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE, AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.
 Robert H. Vogel
 DESIGNER'S SIGNATURE
 ROBERT H. VOGEL
 PRINTED NAME
 M.D. REGISTRATION NO. 16193
 © E. R.L.S., OR R.L.A. (circle one)

PLAN VIEW
 SCALE: 1"=30'
 GRAPHIC SCALE 1"=30'
 THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.
 Alexander D. Bantchev
 HOWARD S.C.D.
 DATE: 05/23/22

AS-BUILT CERTIFICATION FOR PSWM
 I HEREBY CERTIFY THAT THE FACILITY SHOWN ON THIS PLAN WAS CONSTRUCTED AS SHOWN ON THE "AS-BUILT" PLANS AND COMPLIES WITH THE APPROVED PLANS AND SPECIFICATIONS. I HAVE VERIFIED THAT THE CONTRIBUTING DRAINAGE AREA IS SUFFICIENTLY STABILIZED TO PREVENT CLOGGING OF THE UNDERGROUND SWM FACILITY.
 STATE OF MARYLAND
 ROBERT HARRIS JOEL
 PROFESSIONAL ENGINEER
 No. 16193
 P.E. NAME: [Signature]
 P.E.#: 16193
 DATE: 9-18-23

NOTES:
 1. FOR ADDITIONAL SIGNAGE AND PAVEMENT MARKINGS, SEE SHEET 50-52.
 NO AS-BUILT INFORMATION ON THIS SHEET

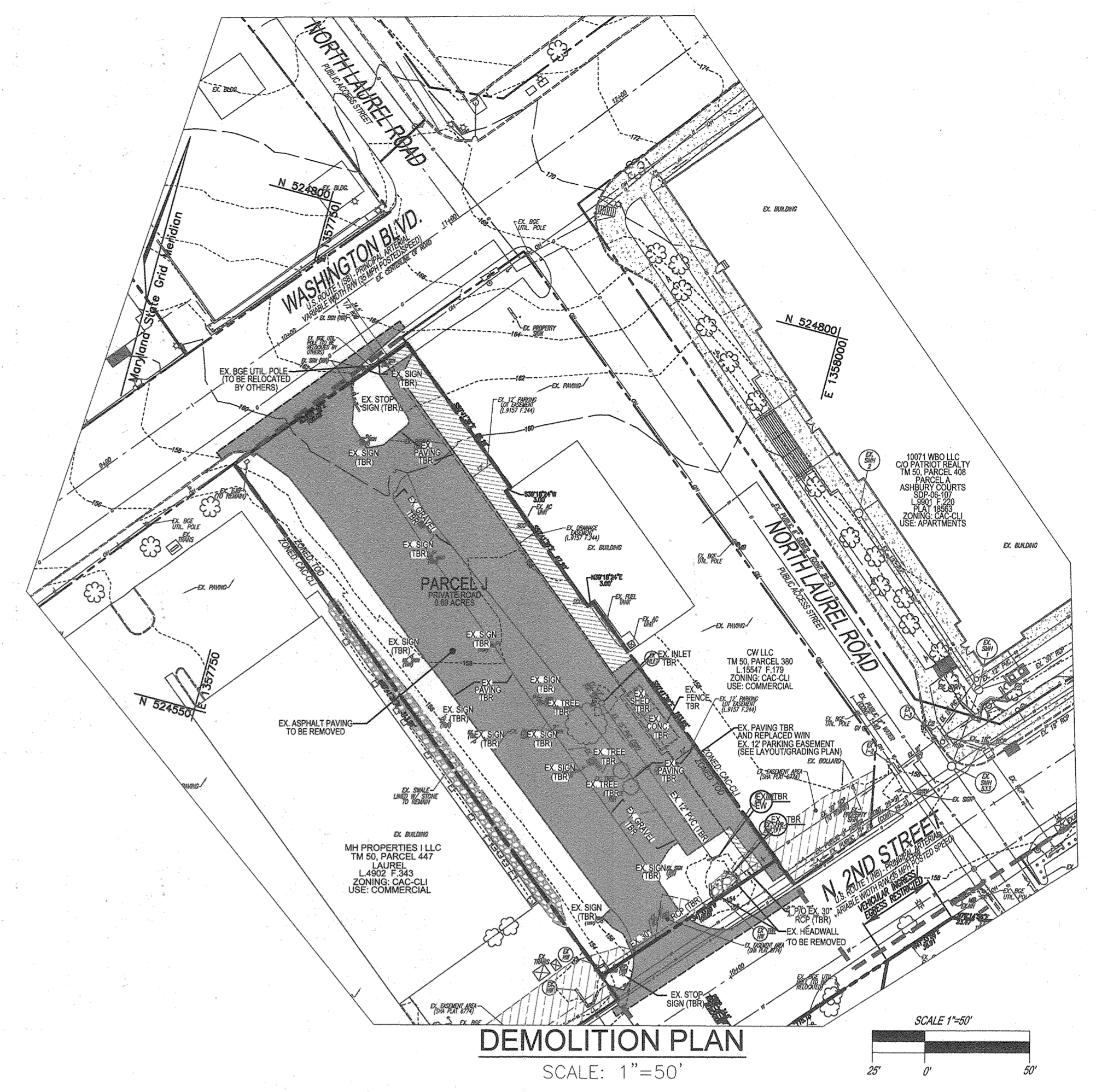


LEGEND:

	EXISTING CURB AND GUTTER		PROPOSED 2' CONTOUR
	EXISTING UTILITY POLE		PROPOSED 10' CONTOUR
	EXISTING LIGHT POLE		PROPOSED CURB
	EXISTING MAILBOX		PROPOSED SIDEWALK
	EXISTING SIGN		PROPOSED SIDEWALK RAMP
	EXISTING SANITARY MANHOLE		PROPOSED STORM DRAIN
	EXISTING CLEANOUT		PROPOSED STORM DRAIN INLET
	EXISTING FIRE HYDRANT		PROPOSED STREET LIGHT
	EXISTING WATER LINE		PROPOSED SHADE TREES
	EXISTING STORM DRAIN LINE		PROP. FULL DEPTH SHA PAVING SECTION
	EXISTING GASLINE		PERIMETER DESIGNATION / TYPE
	EXISTING SANITARY LINE		BG&E 40' GREEN ZONE
	EXISTING FENCE		BG&E 25' YELLOW ZONE
	EXISTING OVERHEAD		EX. EASEMENT AREA (SHA PLAT 6774)
	PROPERTY LINE		EX. 12' PARKING LOT EASEMENT (L3157 F.244)
	RIGHT-OF-WAY LINE		
	EXISTING 2' CONTOUR		
	EXISTING 10' CONTOUR		
	EXISTING SIDEWALK		
	EXISTING TREELINE		
	EXISTING TREES		
	EX. PAVING TO BE REMOVED		

EXISTING UTILITIES NOTE:
 EXISTING UTILITIES SHOWN ON THESE PLANS HAVE BEEN LOCATED FROM EXISTING SITE DEVELOPMENT PLANS, FIELD SURVEYS, PUBLIC WATER AND SEWER EXTENSION PLANS AND AVAILABLE RECORD DRAWINGS. APPROXIMATE LOCATION OF EXISTING UTILITIES ARE SHOWN FOR THE CONTRACTORS INFORMATION ONLY.

CONTRACTOR SHALL TEST PIT TO VERIFY EXISTING UTILITIES WELL IN ADVANCE OF CONSTRUCTION ACTIVITIES AND TAKE ALL NECESSARY PRECAUTIONS TO PROTECT THE EXISTING UTILITIES, TO MAINTAIN UNINTERRUPTED SERVICE AND TO PROVIDE REQUIRED CLEARANCES FOR ALL PROPOSED UTILITIES. ANY DAMAGE INCURRED DUE TO CONTRACTOR'S OPERATION SHALL BE REPAIRED IMMEDIATELY AT THE CONTRACTOR'S EXPENSE.



US ROUTE 1 (SHA) PAVING SECTION

N.T.S.

2" SUPERPAVE ASPHALT MIX	12.5MM FOR SURFACE
PG 645-22, LEVEL 2	
7" SUPERPAVE ASPHALT MIX	19.0MM FOR BASE
PG 645-22, LEVEL 2	
(2) 3.5" LIFTS	
6" GRADED AGGREGATE BASE (GAB) OR	
12" CAPPING BORROW	

SHA FULL DEPTH PATCH NOTE:

- FULL DEPTH SHA PAVING SECTION REQUIRED FOR UTILITY CONNECTIONS. US ROUTE 1 WILL BE GROUND AND RESURFACED OVER THE FULL LANE AFFECTED BY THE UTILITY CONNECTIONS (AS SHOWN) AND THE SURFACE COURSE SHALL BE CUT BACK 1'.
- THE HOT MIX ASPHALT FOR US ROUTE 1 UTILITY PATCH WILL BE A 78-22 MIX TO BE CONSISTENT WITH THE HMA BEING PLACED ON US ROUTE 1 ELSEWHERE.
- ANY TRAFFIC MARKING WILL BE REPLACED IN KIND.

NOTES:

- FOR SIGNAGE AND PAVEMENT MARKINGS, SEE SHEET 50-52.
- EXISTING PAVING/PARKING LOT AREA REMOVED FOR THE INSTALLATION OF THE PROPOSED STORM DRAIN SHALL BE REPLACED IN KIND WITH THE EXISTING 12' PARKING LOT EASEMENT AREA, PER DEED L.9157 F.244).

PLAN VIEW
 SCALE: 1"=30'

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

[Signature] 6.10.22
 CHIEF, DEVELOPMENT ENGINEERING DIVISION

[Signature] 6/10/22
 CHIEF, DIVISION OF LAND DEVELOPMENT

[Signature] 6/10/22
 DIRECTOR



AS-BUILT CERTIFICATION FOR PSWM

I HEREBY CERTIFY THAT THE FACILITY SHOWN ON THIS PLAN WAS CONSTRUCTED AS SHOWN ON THE "AS-BUILT" PLANS AND COMPLIES WITH THE APPROVED PLANS AND SPECIFICATIONS. I HAVE VERIFIED THAT THE CONTRIBUTING DRAINAGE AREA IS SUFFICIENTLY STABILIZED TO PREVENT CLOGGING OF THE UNDERGROUND SWM FACILITY.

[Signature] K113 9-18-23
 P.E. NAME P.E.# DATE

OWNER
 TRIPLE BELL FARMS, LLC
 198 LAUREL RACE TRACK RD.
 LAUREL, MD 20725
 (301) 470-5494

OWNER/DEVELOPER
 20006 DELAWARE, INC.
 198 LAUREL RACE TRACK RD.
 LAUREL, MD 20725
 (301) 470-5494

NO.	REVISION	DATE
5	REVISE PLAN TO SHOW RECONFIGURATION OF STREAM AND STORM DRAIN AND TRAIL ON PARCEL A-2	9-1-22
3	MODIFICATION OF PHASE 1 LAYOUT, RENAME PLAN, LANDSCAPING, PRIVATE ROAD IMPROVEMENTS, UTILITY LAYOUT AND STORMWATER MANAGEMENT.	09/08/20
2	REVISE THE PLANS TO ILLUSTRATE IRRIGATION LINES WITHIN PRIVATE ROADWAY	07/28/20
1	MODIFICATION OF PHASE 1 LAYOUT, ROAD LAYOUT, UTILITY LAYOUT, STORMWATER MANAGEMENT, AND BYPASS LAYOUT	06/11/19

**REVISED SITE DEVELOPMENT PLAN
 SITE LAYOUT PLAN,
 AND DEMOLITION PLAN
 (PARCEL J)**

PADDOCK POINTE - PHASE 1
 FORMERLY KNOWN AS LAUREL PARK STATION
 64 APARTMENT AND 180 STACKED CONDO UNITS
 PARCELS A-2, B-1, G-2, P.384 (L.10518/F.157), P.441 (L.13298/F.377)
 ZONED: TOD

TAX MAP: 50 BLOCK: 04
 6TH ELECTION DISTRICT

PARCELS: 384/441
 PARCELS A-2, B-1, G-2
 B-3, C-1, J, K-1, L AND
 LOTS D, E-1, F-1, G, H & I
 HOWARD COUNTY, MARYLAND

VOGEL ENGINEERING

TIMMONS GROUP
 3300 NORTH RIDGE ROAD, SUITE 110, ELLICOTT CITY, MD 21043
 P: 410.461.7666 F: 410.461.8961 www.timmons.com

PROFESSIONAL CERTIFICATE

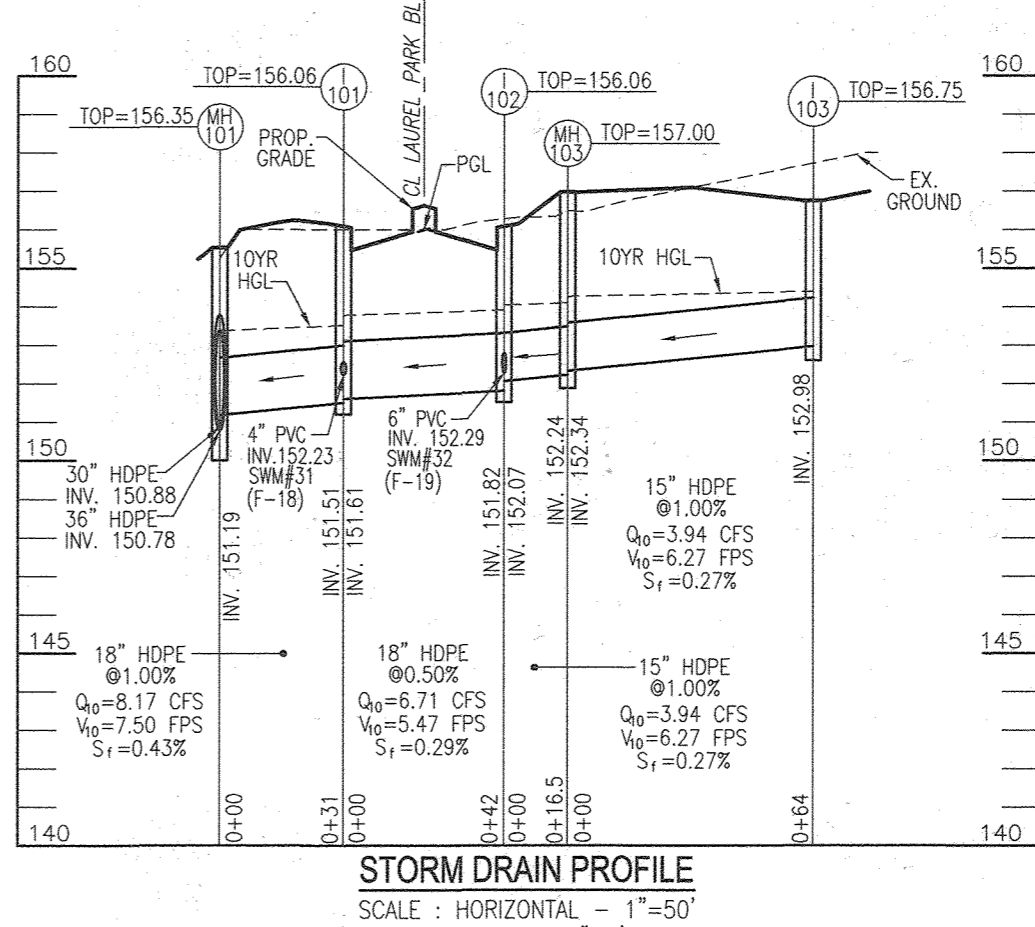
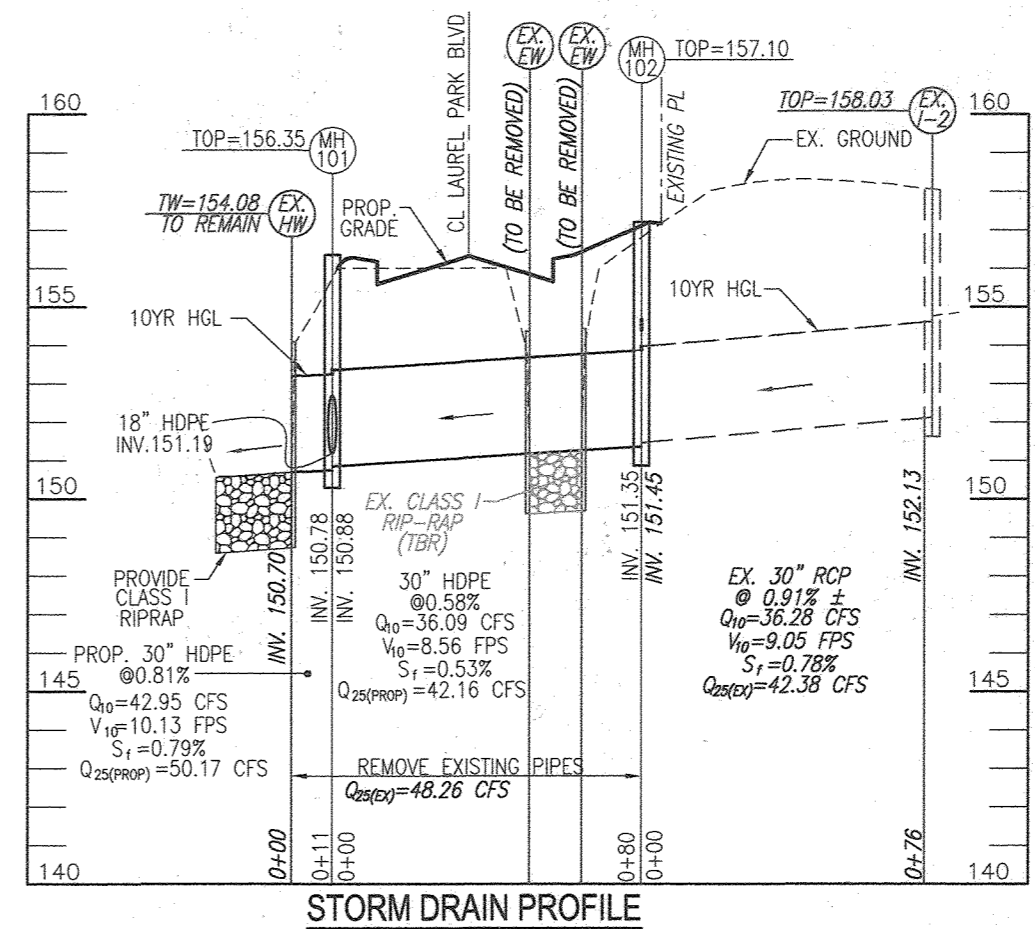
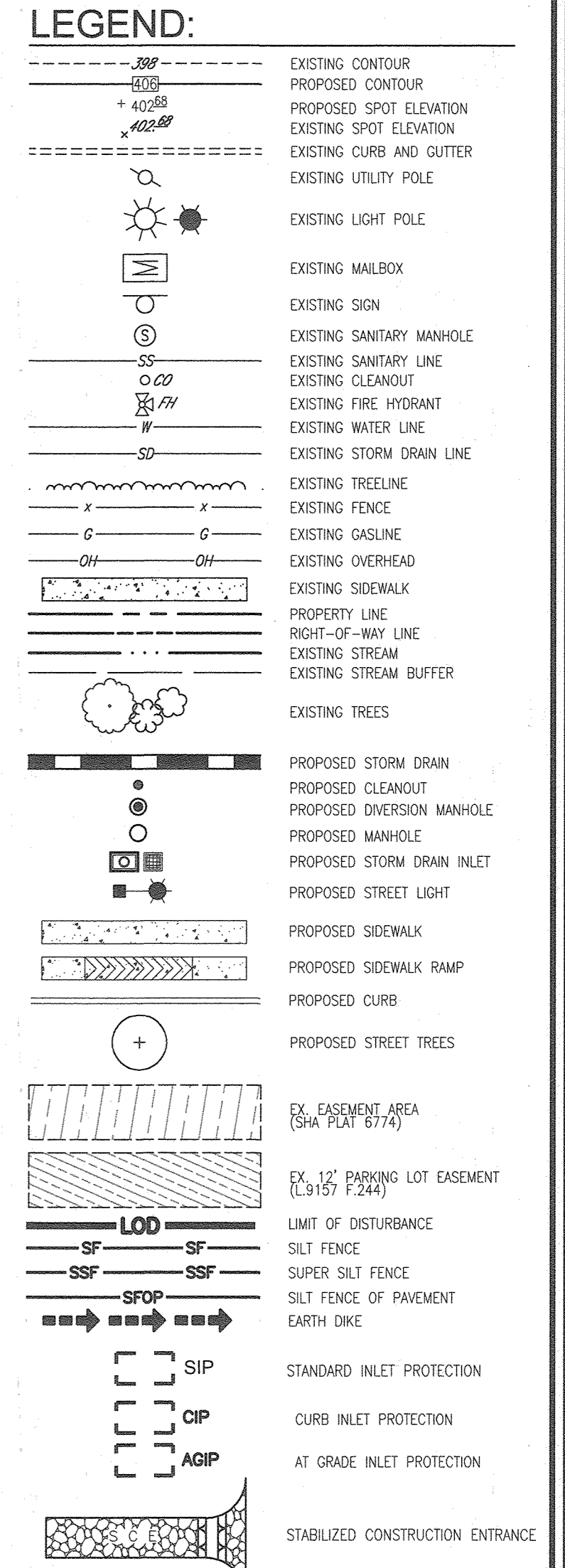
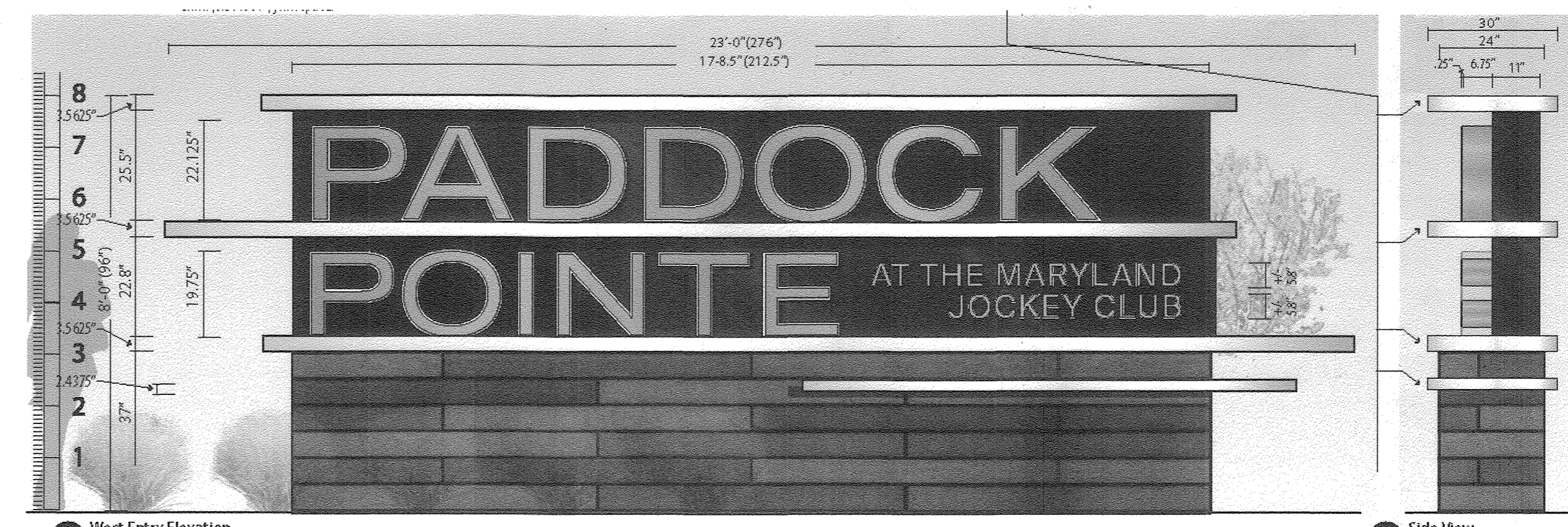
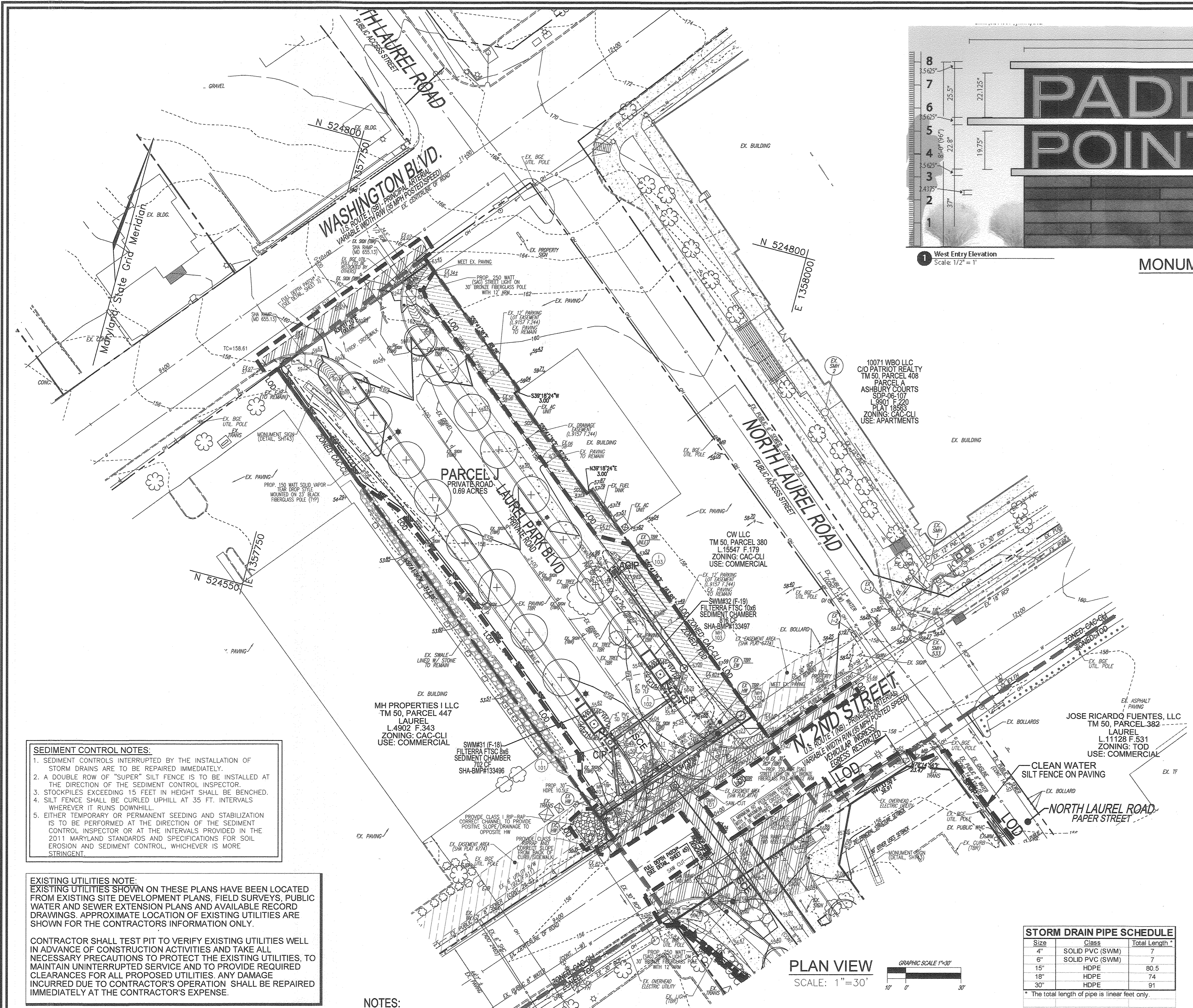
DESIGN BY: RHN/DZE
 DRAWN BY: DZE
 CHECKED BY: RHN
 DATE: SEPTEMBER 2020
 SCALE: AS SHOWN
 W.O. NO.: 07-11/40111

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND. MY LICENSE NO. IS 18193 AND MY EXPIRATION DATE IS 09-27-2022.

42 SHEET OF 55

NO AS-BUILT INFORMATION ON THIS SHEET

AS-BUILT JULY 2023



SEDIMENT CONTROL NOTES:

1. SEDIMENT CONTROLS INTERRUPTED BY THE INSTALLATION OF STORM DRAINS ARE TO BE REPAIRED IMMEDIATELY.
2. A DOUBLE ROW OF "SUPER" SILT FENCE IS TO BE INSTALLED IN THE DIRECTION OF THE SEDIMENT CONTROL INSPECTOR.
3. STOCKPILES EXCEEDING 15 FEET IN HEIGHT SHALL BE BENCHED.
4. SILT FENCE SHALL BE CURLED UPHILL AT 35 FT. INTERVALS WHEREVER IT RUNS DOWNHILL.
5. EITHER TEMPORARY OR PERMANENT SEEDING AND STABILIZATION IS TO BE PERFORMED AT THE DIRECTION OF THE SEDIMENT CONTROL INSPECTOR OR AT THE INTERVALS PROVIDED IN THE 2011 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL, WHICHEVER IS MORE STRINGENT.

EXISTING UTILITIES NOTE:
EXISTING UTILITIES SHOWN ON THESE PLANS HAVE BEEN LOCATED FROM EXISTING SITE DEVELOPMENT PLANS, FIELD SURVEYS, PUBLIC WATER AND SEWER EXTENSION PLANS AND AVAILABLE RECORD DRAWINGS. APPROXIMATE LOCATION OF EXISTING UTILITIES ARE SHOWN FOR THE CONTRACTORS INFORMATION ONLY.

CONTRACTOR SHALL TEST PIT TO VERIFY EXISTING UTILITIES WELL IN ADVANCE OF CONSTRUCTION ACTIVITIES AND TAKE ALL NECESSARY PRECAUTIONS TO PROTECT THE EXISTING UTILITIES, TO MAINTAIN UNINTERRUPTED SERVICE AND TO PROVIDE REQUIRED CLEARANCES FOR ALL PROPOSED UTILITIES. ANY DAMAGE INCURRED DUE TO CONTRACTOR'S OPERATION SHALL BE REPAIRED IMMEDIATELY AT THE CONTRACTOR'S EXPENSE.

SOILS LEGEND
HOWARD COUNTY SOILS MAP #28

SYMBOL	NAME / DESCRIPTION	GROUP	K-FACTOR	ERODIBLE	HYDROIC
UD	URBAN LAND-UDORIENTEDS COMPLEX, 0 TO 15 PERCENT SLOPES	D	0.28	NO	NO

SOILS NOTE:
HIGHLY ERODIBLE SOILS ARE THOSE SOILS WITH A SLOPE GREATER THAN 15 PERCENT OR THOSE SOILS WITH A SOIL ERODIBILITY FACTOR K GREATER THAN 0.35 AND WITH A SLOPE GREATER THAN 5 PERCENT.

NOTES:

1. FOR SIGNAGE AND PAVEMENT MARKINGS, SEE SHEET 50-52.
2. EXISTING PAVING/PARKING LOT AREA REMOVED FOR THE INSTALLATION OF THE PROPOSED STORM DRAIN SHALL BE REPLACED IN KIND WITH THE EXISTING 12' PARKING LOT EASEMENT AREA, PER DEED L.9157 F.244).
3. APPROVAL OF THIS PLAN DOES NOT ALL FOR UNAUTHORIZED OFFSITE GRADING OR IMPACTS OF ANY MANNER THAT WILL AFFECT ADJOINING PROPERTY OWNERS/TENANTS. IT IS THE DEVELOPER'S OBLIGATION TO ENSURE ADJACENT PROPERTIES ARE APPROPRIATELY NOTIFIED PRIOR TO ANY OFFSITE DISTURBANCES THAT MAY AFFECT THE USE OF, AND/OR ACCESS TO, THEIR PROPERTY.

STORM DRAIN PIPE SCHEDULE

Size	Class	Total Length *
4"	SOLID PVC (SWM)	7
6"	SOLID PVC (SWM)	7
15"	HDPE	80.5
18"	HDPE	74
30"	HDPE	91

* The total length of pipe is linear feet only.

HDPE is to be smooth interior. Contractor shall install pipe in accordance with manufacturer's specifications

STORM DRAIN STRUCTURE SCHEDULE

STR #	TYPE	INV. IN	INV. OUT	TOP	DETAIL	LOCATION	REMARKS
MH-101	PRECAST 4' MANHOLE	151.19 / 150.88	150.78	156.35	G-5.12	E= 1357977.74 N= 524490.05	
MH-102	PRECAST 4' MANHOLE	151.45	151.35	157.20	G-5.12	E= 1358029.96 N= 524551.30	BUILD OVER AND CONNECT TO EX. 30" HDPE
MH-103	PRECAST 4' MANHOLE	152.34	152.24	157.00	G-5.12	E= 1357993.49 N= 524568.07	
I-101	PRECAST TYPE A-5	152.23 / 151.61	151.51	156.06	D-4.02	E= 1357965.21 N= 524518.88	
I-102	PRECAST TYPE A-5	152.29 / 152.07	151.82	156.06	D-4.02	E= 1357992.06 N= 524551.62	
I-103	YARD INLET	152.46	152.24	155.79	D-4.12	E= 1357943.78 N= 524608.82	

STORM DRAIN NOTES:

1. FOR STORM DRAIN DRAINAGE AREA MAP FOR PARCEL J, SEE SHEET 44.
2. FOR STORM DRAIN DRAINAGE AREA MAP FOR REMAINDER OF SITE, SEE SHEETS 20-24.
3. FOR PROFILES AND SCHEDULES FOR REMAINDER OF SITE, SHEET SHEETS 25-33.

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

6/10/22
DATE

6/10/22
DATE

6/10/22
DATE

OWNER/DEVELOPER CERTIFICATION:
I/WE CERTIFY THAT ANY CLEARING, GRADING, CONSTRUCTION OR DEVELOPMENT WILL BE DONE PURSUANT TO THIS APPROVED EROSION AND SEDIMENT CONTROL PLAN, INCLUDING INSPECTING AND MAINTAINING CONTROLS, AND THAT ALL RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A MARYLAND DEPARTMENT OF THE ENVIRONMENT (MDE) APPROVED TRAINING PROGRAM FOR THE CONTROL OF EROSION AND SEDIMENT PRIOR TO BEGINNING THE PROJECT. I CERTIFY RIGHT-OF-ENTRY FOR CONSTRUCTION DISTRICT AND ADEQUATE.

10/21/20
DATE

MARK G. THOMPSON
OWNER/DEVELOPER SIGNATURE

MARK G. THOMPSON
PRINTED NAME & TITLE

DESIGNER CERTIFICATION:
I HEREBY CERTIFY THAT THIS PLAN HAS BEEN DESIGNED IN ACCORDANCE WITH CURRENT MARYLAND EROSION AND SEDIMENT CONTROL LAWS, REGULATIONS, AND STANDARDS, THAT IT REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE, AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

10-16-20
DATE

ROBERT H. VOGEL
DESIGNER'S SIGNATURE

ROBERT H. VOGEL
PRINTED NAME

MD REGISTRATION NO. 16193
P.E. R.L.S. OR R.L.A. (circle one)

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

05/23/22
DATE

HOWARD S.C.D.

AS-BUILT CERTIFICATION FOR PSWM

I HEREBY CERTIFY THAT THE FACILITY SHOWN ON THIS PLAN WAS CONSTRUCTED AS SHOWN ON THE "AS-BUILT" PLANS AND COMPLIES WITH THE APPROVED PLANS AND SPECIFICATIONS. I HAVE VERIFIED THAT THE CONTRIBUTING DRAINAGE AREA IS SUFFICIENTLY STABILIZED TO PREVENT CLOGGING OF THE UNDERGROUND SWM FACILITY.

16193
P.E. NAME

9-18-23
DATE

STATE OF MARYLAND
PROFESSIONAL ENGINEER

NO AS-BUILT INFORMATION ON THIS SHEET

OWNER
TRIPLE BELT FARMS, LLC
198 LAUREL PARK BLVD.
LAUREL, MD 20785
(301) 470-5494

OWNER/DEVELOPER
2006 DELAWARE, INC.
198 LAUREL PARK BLVD.
LAUREL, MD 20785
(301) 470-5494

NO.	REVISION	DATE
5	FINAL PLAN - SHOW REVISIONS OF STREAM, ADD STORM DRAIN AND TRAP ON PAGES A-2	9-1-22
3	MODIFICATION OF PHASE 1 LAYOUT, RENAME PLAN, LANDSCAPING, PRIVATE ROAD IMPROVEMENTS, UTILITY LAYOUT AND STORMWATER MANAGEMENT.	09/08/20
2	REVISE THE PLANS TO ILLUSTRATE IRRIGATION LINES WITHIN PRIVATE ROADWAY	07/28/20
1	MODIFICATION OF PHASE 1 LAYOUT, ROAD LAYOUT, UTILITY LAYOUT, STORMWATER MANAGEMENT, AND BYPASS LAYOUT	06/11/19

**REVISED SITE DEVELOPMENT PLAN
GRADING AND SOIL EROSION AND SEDIMENT
CONTROL PLAN; STORM DRAIN PROFILES
(PARCEL J); SIGN DETAIL**

PADDOCK POINTE - PHASE 1
FORMERLY KNOWN AS LAUREL PARK STATION
64 APARTMENT AND 180 STACKED CONDO UNITS

PARCELS: 384/441
A-2, B-1, B-2, B-3, C-1, J, K-1, L, AND
P.384 (L10518/F.157)
P.441 (L13286/F.377)
ZONED: TOD

TAX MAP: 50 BLOCK: 10
6TH ELECTION DISTRICT

PARCELS: 384/441
A-2, B-1, B-2, B-3, C-1, J, K-1, L, AND
LOTS B, E-1, F-1, G, H, & I
HOWARD COUNTY, MARYLAND

VOGEL ENGINEERING

TIMMONS GROUP
3300 NORTH RIDGE ROAD, SUITE 110, ELLICOTT CITY, MD 21043
P: 410.461.7666 F: 410.461.8961 www.timmons.com

PROFESSIONAL CERTIFICATE

STATE OF MARYLAND
REGISTERED PROFESSIONAL ENGINEER
10-16-20

ROBERT H. VOGEL, P.E. NO. 16193

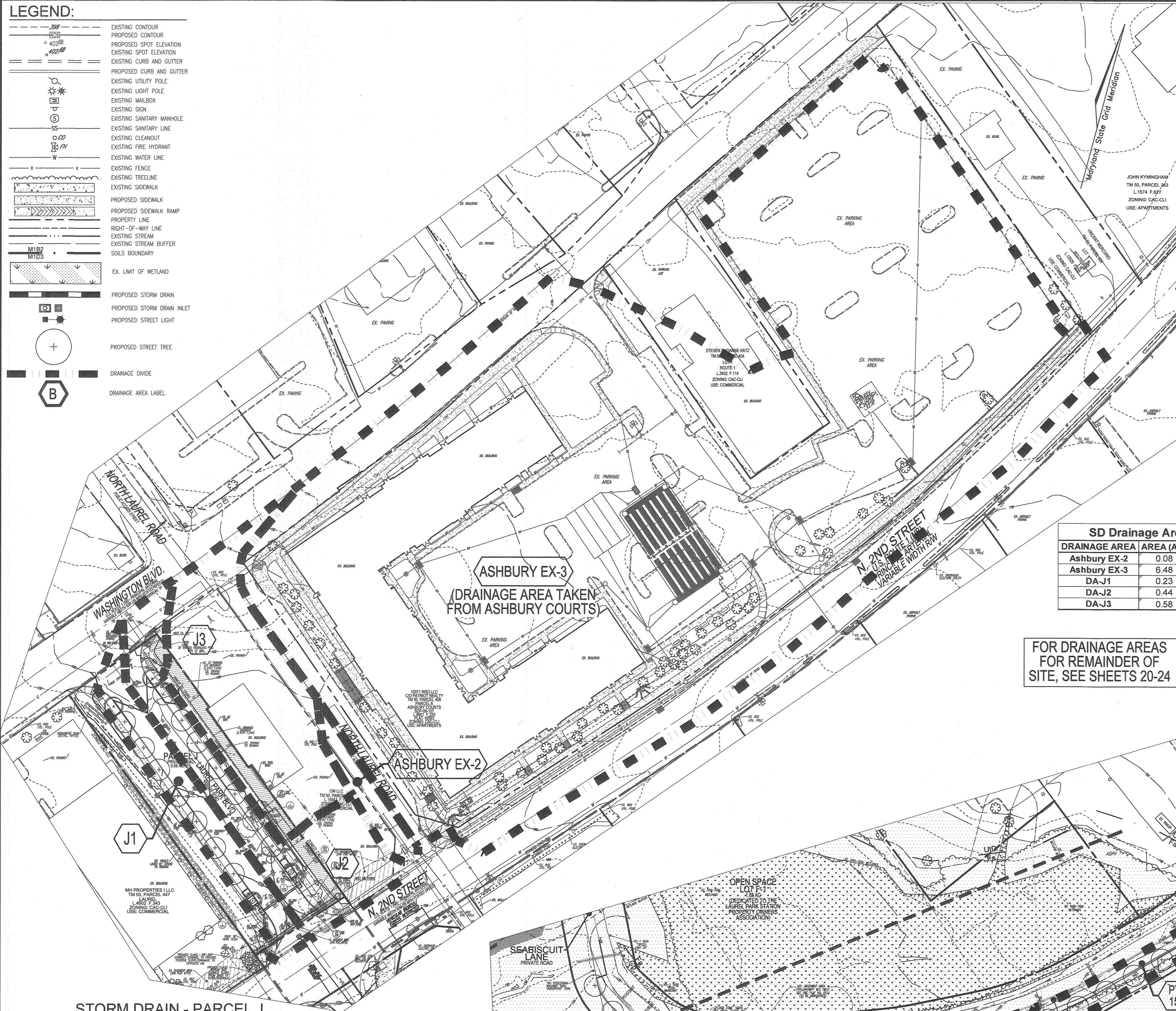
DESIGN BY: RHV/DZE
DRAWN BY: DZE
CHECKED BY: RHV
DATE: SEPTEMBER 2020
SCALE: AS SHOWN
W.O. NO.: 07-11/40111

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND AND THAT MY LICENSE IS IN FULL FORCE AND EFFECT. EXPIRATION DATE: 09-27-2023

43 SHEET OF 55

LEGEND:

- 3.00' --- EXISTING CONTOUR
- 4.00' --- PROPOSED CONTOUR
- 402.68' --- EXISTING SPOT ELEVATION
- 402.68' --- PROPOSED SPOT ELEVATION
- 402.68' --- EXISTING CURB AND GUTTER
- 402.68' --- PROPOSED CURB AND GUTTER
- EXISTING UTILITY POLE
- EXISTING LIGHT POLE
- EXISTING MAILBOX
- EXISTING SIGN
- EXISTING SANITARY MANHOLE
- EXISTING SANITARY LINE
- EXISTING CLEANOUT
- EXISTING FIRE HYDRANT
- EXISTING WATER LINE
- EXISTING FENCE
- EXISTING TREELINE
- EXISTING SIDEWALK
- PROPOSED SIDEWALK
- PROPOSED SIDEWALK RAMP
- PROPERTY LINE
- RIGHT-OF-WAY LINE
- EXISTING STREAM
- EXISTING STREAM BUFFER
- SOILS BOUNDARY
- EX. LIMIT OF WETLAND
- PROPOSED STORM DRAIN
- PROPOSED STORM DRAIN INLET
- PROPOSED STREET LIGHT
- PROPOSED STREET TREE
- --- DRAINAGE DIVIDE
- B DRAINAGE AREA LABEL



**STORM DRAIN - PARCEL J
DRAINAGE AREA MAP**

SCALE: 1"=50'

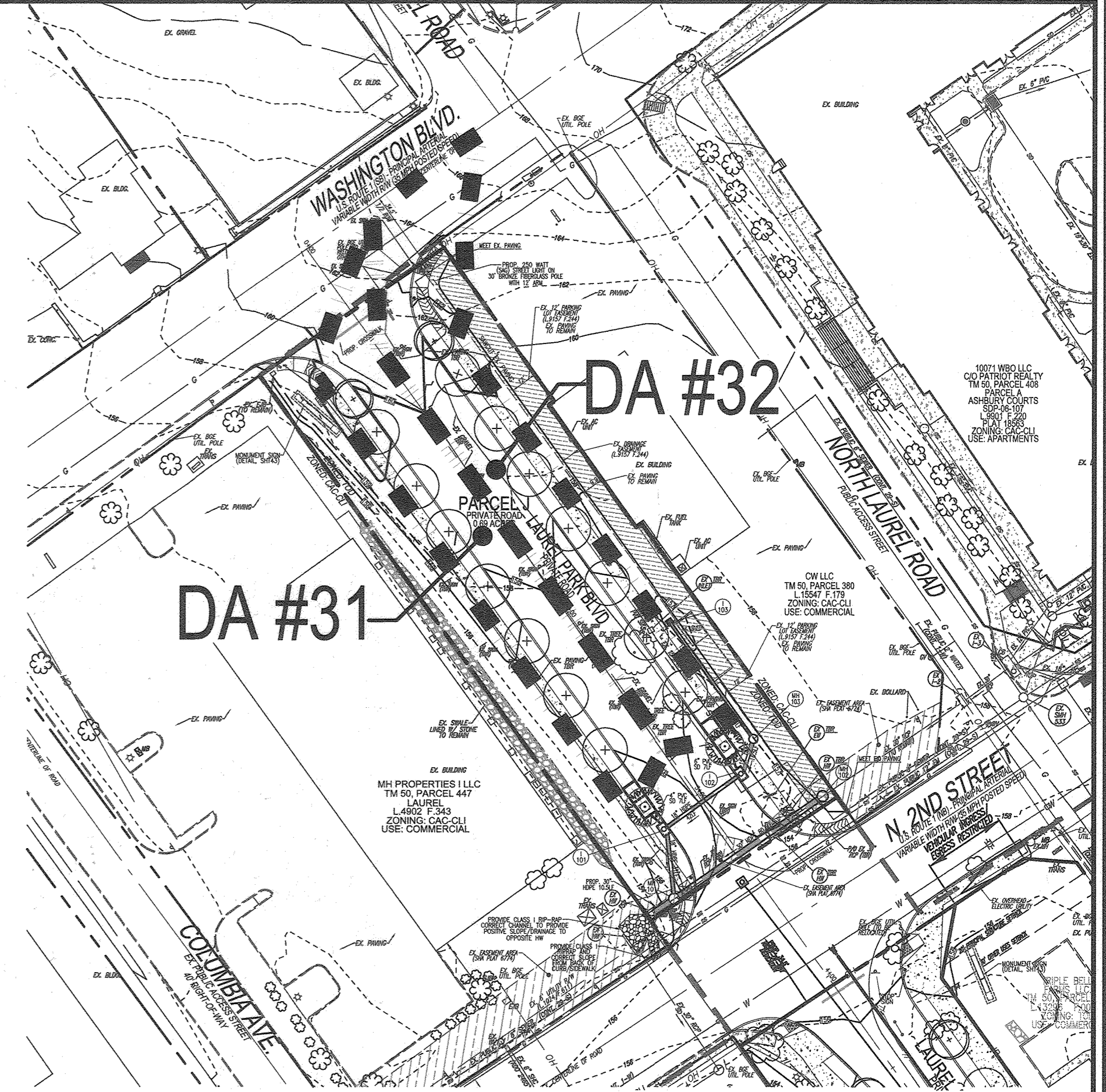
APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

CHIEF DEVELOPMENT ENGINEERING DIVISION *[Signature]* DATE 6/10/22
 CHIEF DIVISION OF LAND DEVELOPMENT *[Signature]* DATE 6/10/22
 DIRECTOR *[Signature]* DATE 6/10/22

SD Drainage Area Chart

DRAINAGE AREA	AREA (AC)	IMP %	C
Ashbury EX-2	0.08	100%	0.86
Ashbury EX-3	6.48	85%	0.73
DA-J1	0.23	84%	0.76
DA-J2	0.44	83%	0.76
DA-J3	0.58	91%	0.80

FOR DRAINAGE AREAS
FOR REMAINDER OF
SITE, SEE SHEETS 20-24



**STORM WATER MANAGEMENT - PARCEL J
DRAINAGE AREA MAP**

SCALE: 1"=50'

- STORM DRAIN NOTES:**
1. FOR STORM DRAIN DRAINAGE AREA MAP FOR REMAINDER OF SITE, SEE SHEETS 20-24.
 2. FOR STORM DRAIN PROFILES AND SCHEDULE FOR PARCEL J, SEE SHEET 43. FOR PROFILES AND SCHEDULES FOR REMAINDER OF SITE, SEE SHEETS 25-33.
 3. FOR STORMWATER MANAGEMENT DRAIN DRAINAGE AREA MAP FOR REMAINDER OF SITE, SEE SHEETS 36-37.
 4. FOR STORMWATER MANAGEMENT NOTES AND DETAILS, SEE SHEET 38.

STORMWATER MANAGEMENT DRAINAGE AREA CHART

DA #	DRAINAGE AREA (AC)	PERCENT IMPERVIOUS	ESDV PROVIDED (cf)
31	0.18	77%	702
32	0.22	74%	816

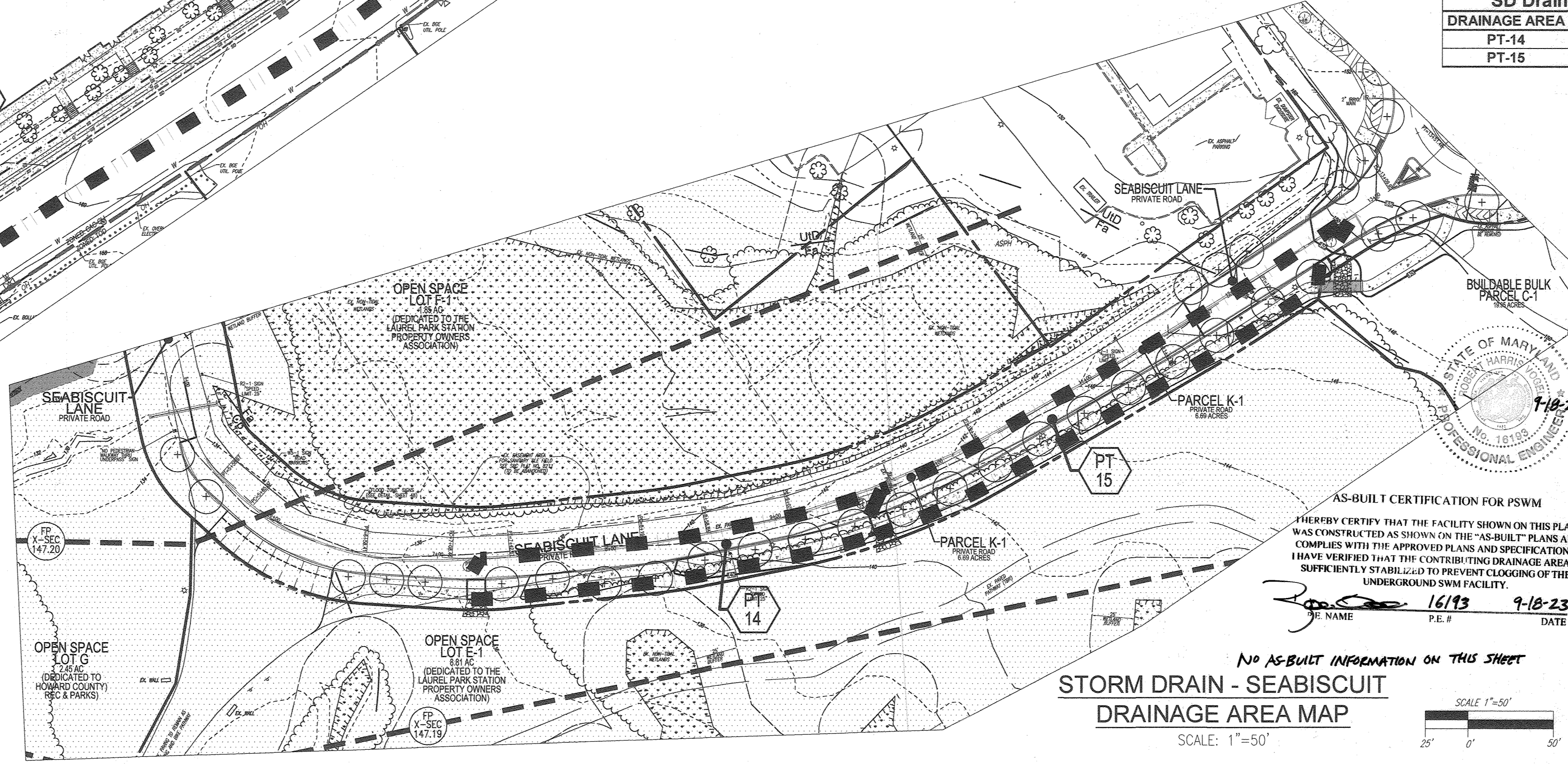
SD Drainage Area Chart

DRAINAGE AREA	AREA (AC)	IMP %	C
PT-14	0.13	79%	0.73
PT-15	0.17	79%	0.73

OWNER
TRIPLE BELL FARMS, LLC
198 LAUREL RACE TRACK RD.
LAUREL, MD 20725
(301) 770-5414

OWNER/DEVELOPER
20006 DELAWARE, INC.
198 LAUREL RACE TRACK RD.
LAUREL, MD 20725
(301) 770-5414

NO.	REVISION	DATE
5	REVISE PLAN TO SHOW RECONFIGURATION OF STREAM, ADD STORM DRAIN, AND TRAIL ON PARCEL A-2	9-1-22
3	MODIFICATION OF PHASE 1 LAYOUT, RENAME PLAN, LANDSCAPING, PRIVATE ROAD IMPROVEMENTS, UTILITY LAYOUT AND STORMWATER MANAGEMENT.	09/08/20
2	REVISE THE PLANS TO ILLUSTRATE IRRIGATION LINES WITHIN PRIVATE ROADWAY	07/28/20
1	MODIFICATION OF PHASE 1 LAYOUT, ROAD LAYOUT, UTILITY LAYOUT, STORMWATER MANAGEMENT, AND BYPASS LAYOUT	06/11/19



**STORM DRAIN - SEABISCUIT
DRAINAGE AREA MAP**

SCALE: 1"=50'

AS-BUILT CERTIFICATION FOR PSWM
I HEREBY CERTIFY THAT THE FACILITY SHOWN ON THIS PLAN WAS CONSTRUCTED AS SHOWN ON THE "AS-BUILT" PLANS AND COMPLIES WITH THE APPROVED PLANS AND SPECIFICATIONS. I HAVE VERIFIED THAT THE CONTRIBUTING DRAINAGE AREA IS SUFFICIENTLY STABILIZED TO PREVENT CLOGGING OF THE UNDERGROUND SWM FACILITY.

[Signature] 16193 9-10-23
P.E. NAME DATE

NO AS-BUILT INFORMATION ON THIS SHEET

**REVISED SITE DEVELOPMENT PLAN
DRAINAGE AREA MAPS
(SEABISCUIT & PARCEL J)**

PADDOCK POINTE - PHASE 1
(FORMERLY KNOWN AS LAUREL PARK STATION)
64 APARTMENT AND 156 STACKED CONDO UNITS
P.384 (L10518/F.157) PARCELS 384/441
P.441 (L13298/F.377) PARCELS A-2, B-1, B-2, B-3, C-1, J, K-1, L AND
ZONED: TOD LOTS D, E-1, F-1, G, H & I
HOWARD COUNTY, MARYLAND

VOGEL ENGINEERING
TIMMONS GROUP
3300 NORTH RIDGE ROAD, SUITE 110, ELLICOTT CITY, MD 21043
P: 410.461.7656 F: 410.461.8951 www.timmons.com

STATE OF MARYLAND PROFESSIONAL ENGINEER
ROBERT H. VOGEL, P.E. No. 16193

DESIGN BY: RHV/DZE
DRAWN BY: DZE
CHECKED BY: RHV
DATE: SEPTEMBER 2020
SCALE: AS SHOWN
W.O. NO.: 07-11/40111

PROFESSIONAL CERTIFICATE
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A FULLY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 16193, EXPIRATION DATE: 09-27-2022.

44 SHEET OF 55

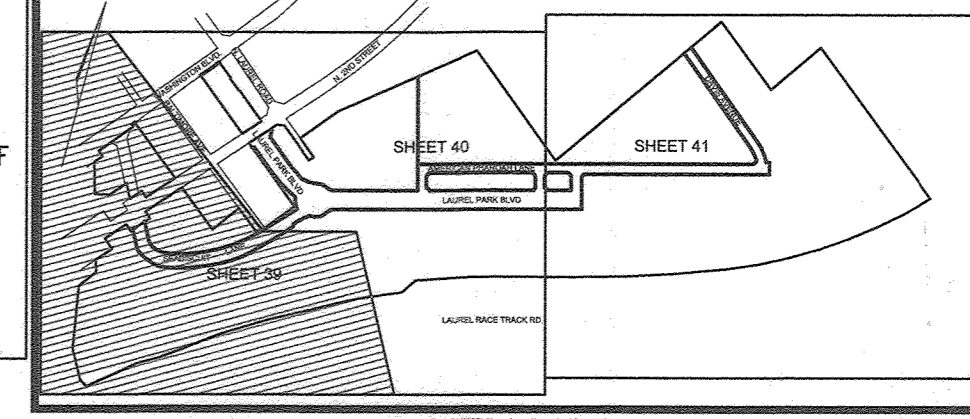
AS-BUILT JULY 2023

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

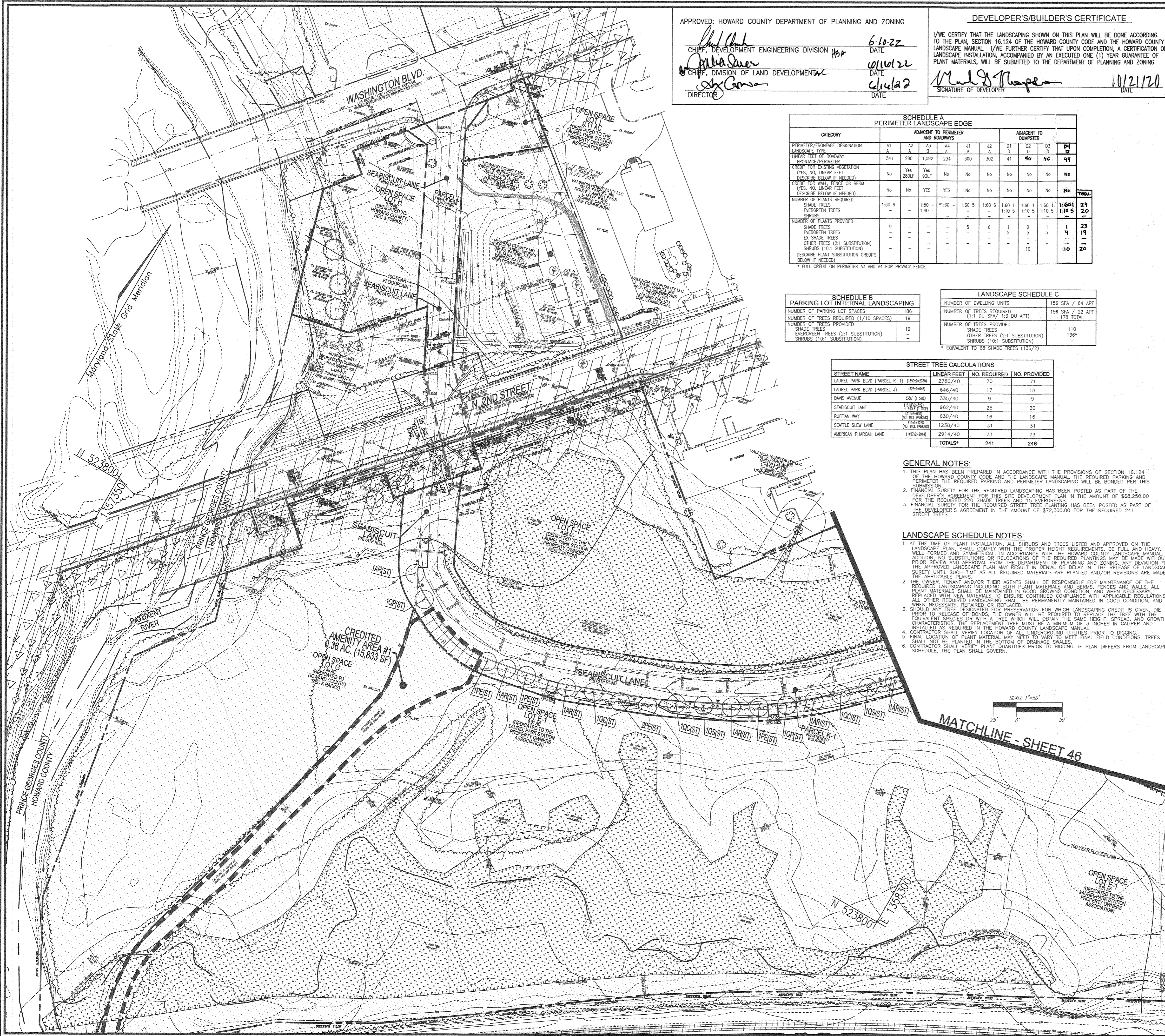
CHIEF DEVELOPMENT ENGINEERING DIVISION
DATE: 6/10/22
DATE: 01/10/22
DATE: 01/10/22
DATE: 01/10/22

DEVELOPER'S/BUILDER'S CERTIFICATE

I/WE CERTIFY THAT THE LANDSCAPING SHOWN ON THIS PLAN WILL BE DONE ACCORDING TO THE PLAN, SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE HOWARD COUNTY LANDSCAPE MANUAL. I/WE FURTHER CERTIFY THAT UPON COMPLETION, A CERTIFICATION OF LANDSCAPE INSTALLATION, ACCOMPANIED BY AN EXECUTED ONE (1) YEAR GUARANTEE OF PLANT MATERIALS, WILL BE SUBMITTED TO THE DEPARTMENT OF PLANNING AND ZONING.



LEGEND: Table listing symbols for existing and proposed features such as curbs, utility poles, fences, and various tree species.



SCHEDULE A PERIMETER LANDSCAPE EDGE table with columns for category, adjacent to perimeter, and adjacent to dumpster, listing tree counts and credits.

SCHEDULE B PARKING LOT INTERNAL LANDSCAPING table listing number of parking lot spaces, trees required, and provided.

LANDSCAPE SCHEDULE C table listing number of dwelling units, trees required, and provided.

STREET TREE CALCULATIONS table listing street names, linear feet, and required vs provided tree counts.

GENERAL NOTES:

- 1. THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE PROVISIONS OF SECTION 16.124 OF THE HOWARD COUNTY CODE...
2. FINANCIAL SURETY FOR THE REQUIRED LANDSCAPING HAS BEEN POSTED AS PART OF THE DEVELOPER'S AGREEMENT...
3. FINANCIAL SURETY FOR THE REQUIRED STREET TREE PLANTING HAS BEEN POSTED AS PART OF THE DEVELOPER'S AGREEMENT...

LANDSCAPE SCHEDULE NOTES:

- 1. AT THE TIME OF PLANT INSTALLATION, ALL SHRUBS AND TREES LISTED AND APPROVED ON THE LANDSCAPE PLAN SHALL COMPLY WITH THE PROPER HEIGHT REQUIREMENTS...
2. THE OWNER, TENANT AND/OR THEIR AGENTS SHALL BE RESPONSIBLE FOR MAINTENANCE OF THE REQUIRED LANDSCAPING...
3. SHOULD ANY TREE DESIGNATED FOR PRESERVATION FOR WHICH LANDSCAPING CREDIT IS GIVEN, DIE PRIOR TO RELEASE OF BONDS...
4. CONTRACTOR SHALL VERIFY LOCATION OF ALL UNDERGROUND UTILITIES PRIOR TO DIGGING...
5. FINAL LOCATION OF PLANT MATERIAL MAY NEED TO VARY TO MEET FINAL FIELD CONDITIONS...
6. CONTRACTOR SHALL VERIFY PLANT QUANTITIES PRIOR TO BIDDING...

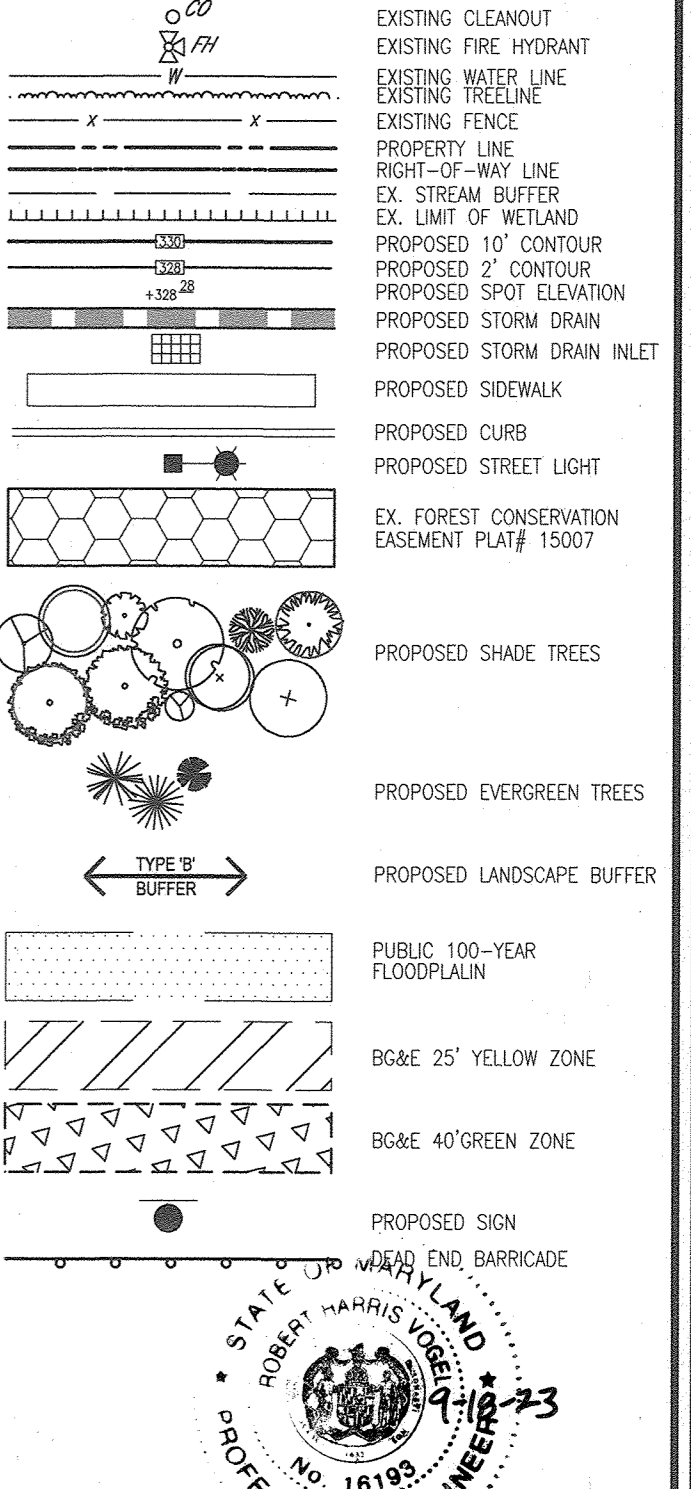
KEY MAP NOT TO SCALE

STREET TREE PLANT LIST (ST) table listing botanical names, sizes, and quantities for various tree species.

PLANT LIST - SCHEDULE A (PERIMETER) table listing botanical names, sizes, and quantities for perimeter planting.

PLANT LIST - SCHEDULE B (PARKING LOT) table listing botanical names, sizes, and quantities for parking lot planting.

PLANT LIST - SCHEDULE C (RESIDENTIAL) table listing botanical names, sizes, and quantities for residential planting.



AS-BUILT CERTIFICATION FOR PSWM

I HEREBY CERTIFY THAT THE FACILITY SHOWN ON THIS PLAN WAS CONSTRUCTED AS SHOWN ON THE "AS-BUILT" PLANS AND COMPLIES WITH THE APPROVED PLANS AND SPECIFICATIONS.

NAME: 16193 DATE: 9-18-23

NO AS-BUILT INFORMATION ON THIS SHEET

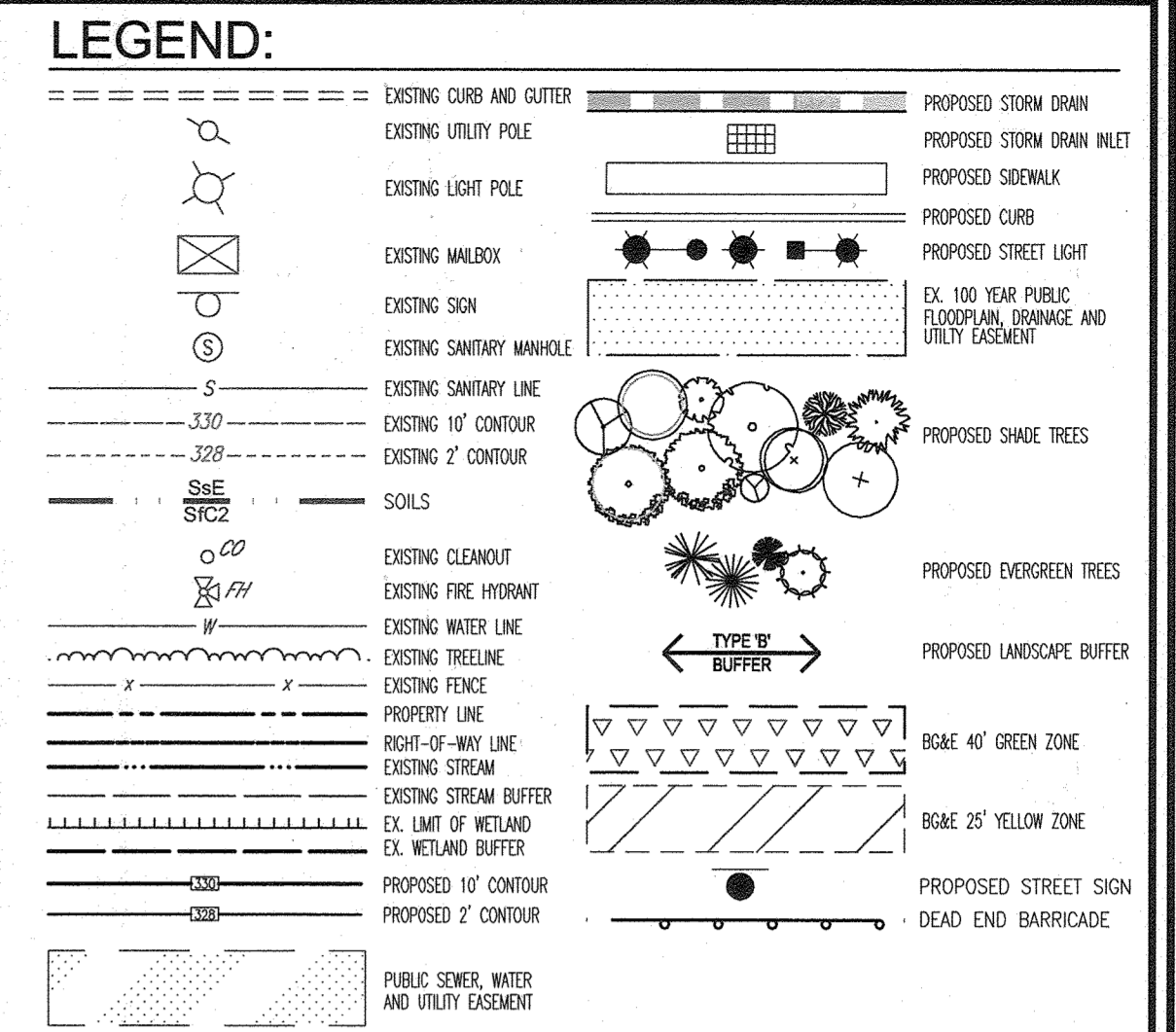
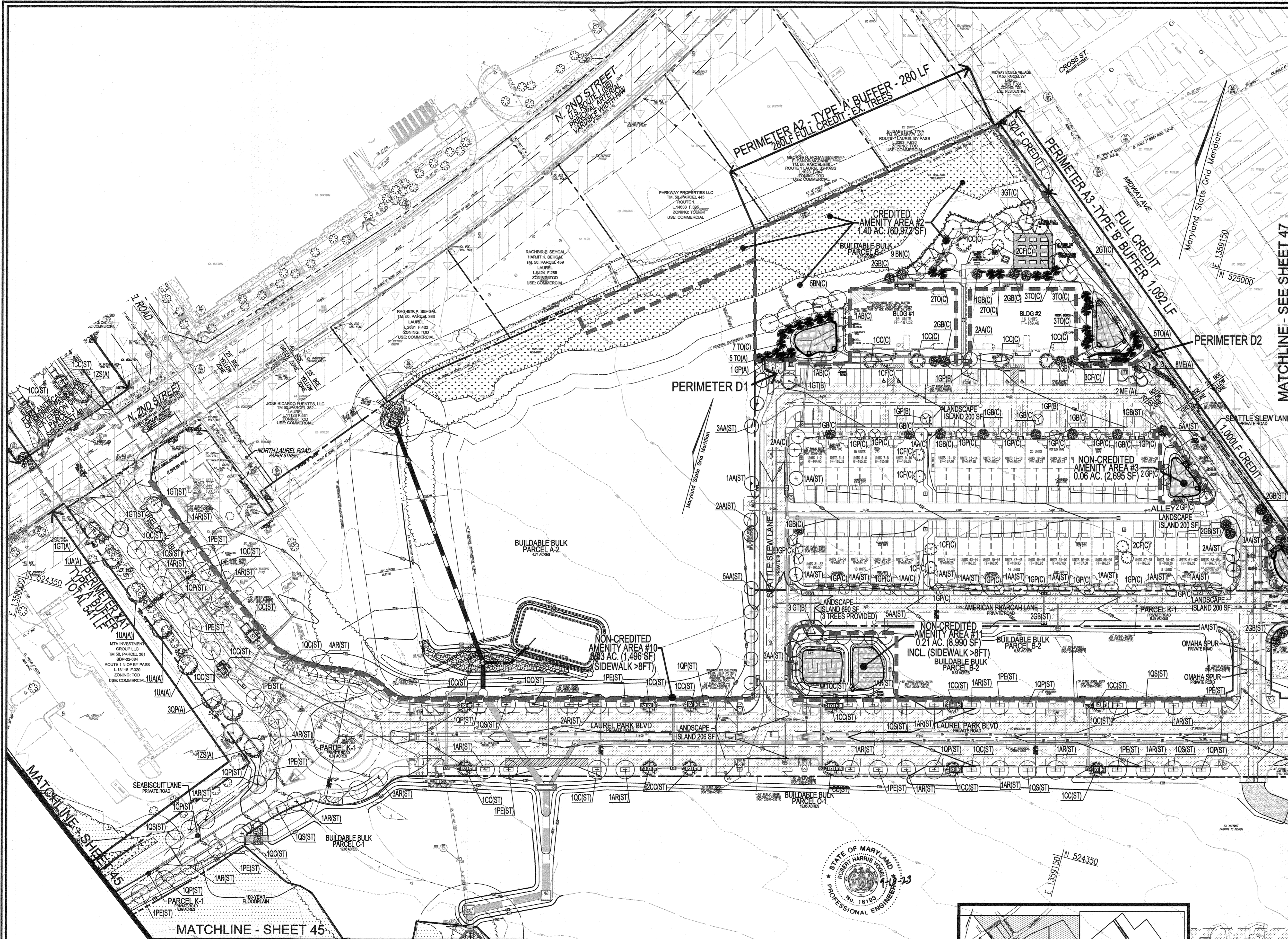
Revision table with columns for No., Revision, and Date.

OWNER: TRIPLE BELL FARMS, LLC. OWNER/DEVELOPER: 20006 DELAWARE, INC.

PLAN VIEW SCALE: 1"=50'

Revision table with columns for No., Revision, and Date.

REVISED SITE DEVELOPMENT PLAN LANDSCAPE PLAN Paddock Pointe - Phase 1. Includes project details, VOGEL ENGINEERING and TIMMONS GROUP logos, and a professional certificate.



Forest Conservation Worksheet 2.2

Net Tract Area	Parcel 441	
A.	Total Tract Area	A = 2.07
B.	Deductions	B = 0.00
C.	Net Tract Area	C = 2.07

Land Use Category

Input the number "1" under the appropriate land use zoning, and limit to only one entry

ARA	MDR	EA	MDR	MPD	CIA
0	0	0	1	0	0

Existing Forest Cover

D.	Afforestation Threshold (Net Tract Area x 15%)	D = 0.31
E.	Conservation Threshold (Net Tract Area x 20%)	E = 0.41
F.	Existing Forest Cover within the Net Tract Area	F = 0.00
G.	Area of Forest Above Conservation Threshold	G = 0.00

Break Even Point

H.	Break Even Point	H = 0.00
I.	Proposed Forest Clearing	I = 0.00
J.	Total Area of Forest to be Cleared	J = 0.00
K.	Total Area of Forest to be Retained	K = 0.00

Planting Requirements

L.	Reforestation for Clearing Above the Conservation Threshold	L = 0.00
M.	Reforestation for Clearing Below the Conservation Threshold	M = 0.00
N.	Credit for Retention above the Conservation Threshold	N = 0.00
P.	Total Reforestation Required	P = 0.00
Q.	Total Afforestation Required	Q = 0.31
R.	Total Planting Requirement	R = 0.31

Net Tract Area Calculation:

Parcel 384 Acreage (Current) 63.1777 ac
 Parcel 144 Acreage (Current) 0.2064 ac
 Paper Street Parcel Acreage 0.1199 ac
 Gross Area of Project (Current) 63.50 ac
 Less Parcel 384 Acreage (from SDP-01-032) 61.43 ac
 Total Net Tract Area: 2.07 ac

FOREST CONSERVATION OBLIGATION FOR PARCEL 384 (61.43 AC.) HAS BEEN PREVIOUSLY FULFILLED BY ON-SITE RETENTION OF 6.53 AC. OF EXISTING FOREST (PLAT 15007) AND A FEE-IN-LIEU FOR 1.67 ACRES AS PART OF SDP-01-032.

THE REMAINING NET TRACT AREA FOR PARCEL 384, PARCEL 144 AND THE PAPER STREET IS 2.07 ACRES. THE FOREST CONSERVATION OBLIGATION FOR THIS PROJECT HAS BEEN SATISFIED UNDER THIS PLAN (SDP-15-043) BY A FEE-IN-LIEU PAYMENT IN THE AMOUNT OF \$10,127.70 (0.31 AC x \$32,670.23).

THIS PLAN ALSO ABANDONS 0.32 ACRES OF THE EXISTING 6.53 ACRE EASEMENT, NETTING 6.21 ACRES OF RETENTION. THE OBLIGATION FOR THE ABANDONMENT OF 0.32 ACRES OF FOREST CONSERVATION EASEMENT HAS BEEN MET BY A FEE-IN-LIEU PAYMENT OF \$17,424.00 (0.32 AC x \$54,450.00).

NO.	REVISION	DATE
6	REVISE THE PLAN TO SHOW AS-BUILT CONDITIONS.	03/24/23
5	REVISE PLAN TO SHOW RECONFIGURATION OF STREAM; ADD STORM DRAIN AND TRAP ON PARCEL A-2	09/01/22
4	ADD DUMPSTER FOR BUILDING #4; ADD SIDEWALK TO RIGHT SIDE OF RUFFIAN WAY	05/07/21
3	MODIFICATION OF PHASE 1 LAYOUT, RENAME PLAN, LANDSCAPING, PRIVATE ROAD IMPROVEMENTS; UTILITY LAYOUT AND STORMWATER MANAGEMENT.	09/08/20
2	REVISE THE PLANS TO ILLUSTRATE IRRIGATION LINES WITHIN PRIVATE ROADWAY	07/28/20
1	MODIFICATION OF PHASE 1 LAYOUT, ROAD LAYOUT, UTILITY LAYOUT, STORMWATER MANAGEMENT, AND BYPASS LAYOUT	06/11/19

OWNER
TRIPLE BELL FARMS, LLC
198 LAUREL TRACE TRACK RD
LAUREL, MD 20725
(301) 470-5494

OWNER/DEVELOPER
20008 DELAWARE, INC.
198 LAUREL TRACE TRACK RD
LAUREL, MD 20725
(301) 470-5494

REVISED SITE DEVELOPMENT PLAN

LANDSCAPE PLAN

PADDOCK POINTE - PHASE 1
(FORMERLY KNOWN AS LAUREL PARK STATION)
64 APARTMENT AND 168 STACKED CONDO UNITS
P.384 (L.10518/F.197) B-3, C-1, J, K-1, L, AND
P.441 (L.13296/F.377) LOTS D, E-1, F-1, G, H, & I
ZONED: T00 HOWARD COUNTY, MARYLAND

VOGEL ENGINEERING

TIMMONS GROUP
3300 NORTH RIDGE ROAD, SUITE 110, ELLICOTT CITY, MD 21043
P: 410.461.7666 F: 410.461.8961 www.timmons.com

PROFESSIONAL CERTIFICATE

DESIGN BY: RHV/DZE
 DRAWN BY: DZE
 CHECKED BY: RHV
 DATE: JAN 2023
 SCALE: AS SHOWN
 W.O. NO.: 07-11/40111

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 18183, EXPIRATION DATE: 09-27-2024

46 SHEET 55

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

[Signature]
CHIEF, DEVELOPMENT ENGINEERING DIVISION
DATE: 5-18-23

[Signature]
CHIEF, DIVISION OF LAND DEVELOPMENT
DATE: 01-15-23

DEVELOPER'S/BUILDER'S CERTIFICATE

I/WE CERTIFY THAT THE LANDSCAPING SHOWN ON THIS PLAN WILL BE DONE ACCORDING TO THE PLAN, SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE HOWARD COUNTY LANDSCAPE MANUAL. I/WE FURTHER CERTIFY THAT UPON COMPLETION, A CERTIFICATION OF LANDSCAPE INSTALLATION, ACCOMPANIED BY AN EXECUTED ONE (1) YEAR GUARANTEE OF PLANT MATERIALS, WILL BE SUBMITTED TO THE DEPARTMENT OF PLANNING AND ZONING.

[Signature]
SIGNATURE OF DEVELOPER
DATE: 05/02/2023

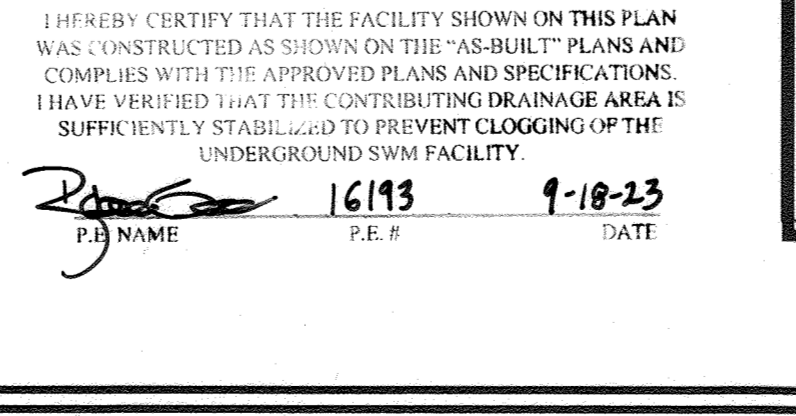
SCALE: 1"=50'

PLAN VIEW
SCALE: 1"=50'

AS-BUILT CERTIFICATION FOR PSWM

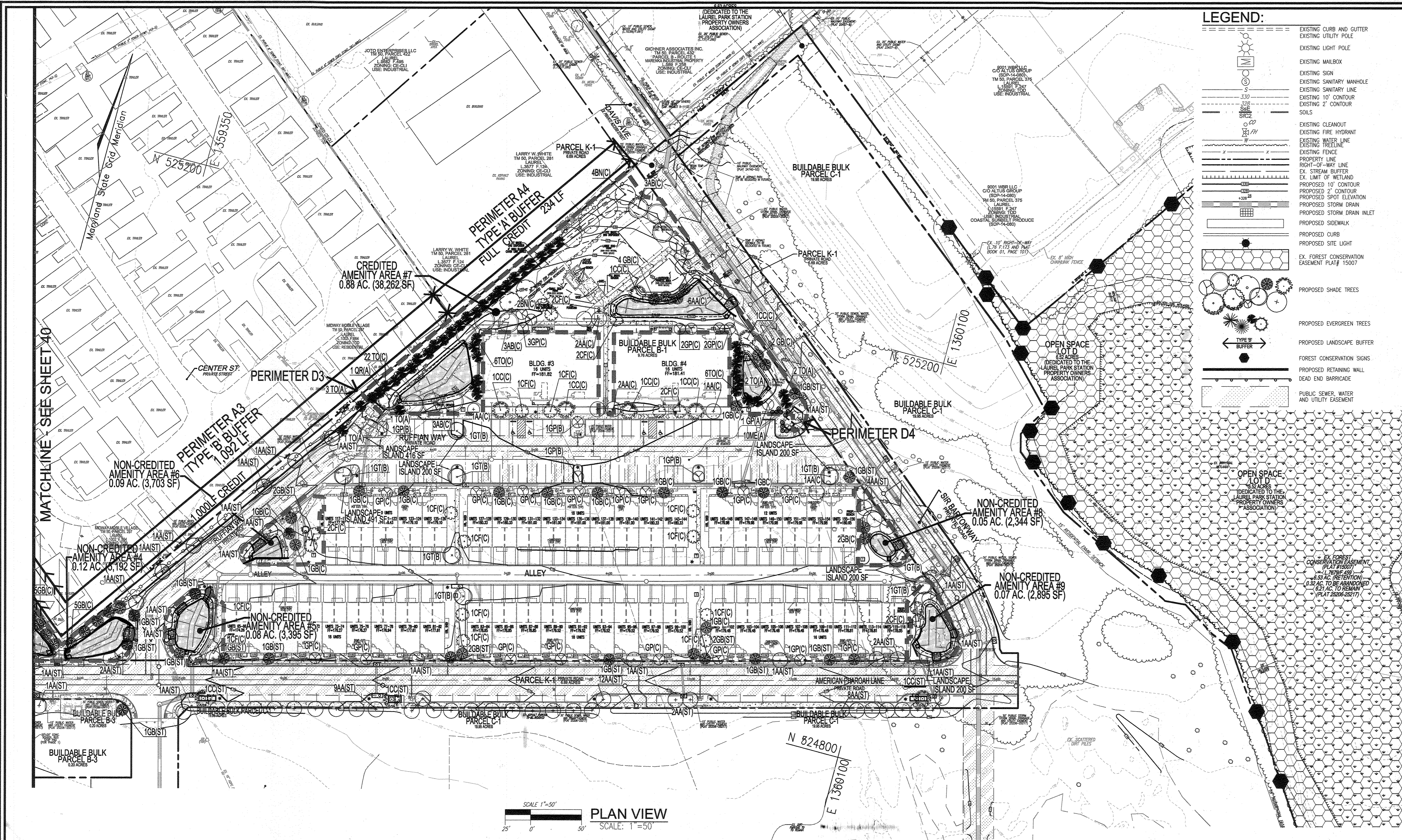
I HEREBY CERTIFY THAT THE FACILITY SHOWN ON THIS PLAN WAS CONSTRUCTED AS SHOWN ON THE "AS-BUILT" PLANS AND COMPLIES WITH THE APPROVED PLANS AND SPECIFICATIONS. I HAVE VERIFIED THAT THE CONTRIBUTING DRAINAGE AREA IS SUFFICIENTLY STABILIZED TO PREVENT CLOGGING OF THE UNDERGROUND SWM FACILITY.

[Signature] 6/19/23
P.E. NAME DATE



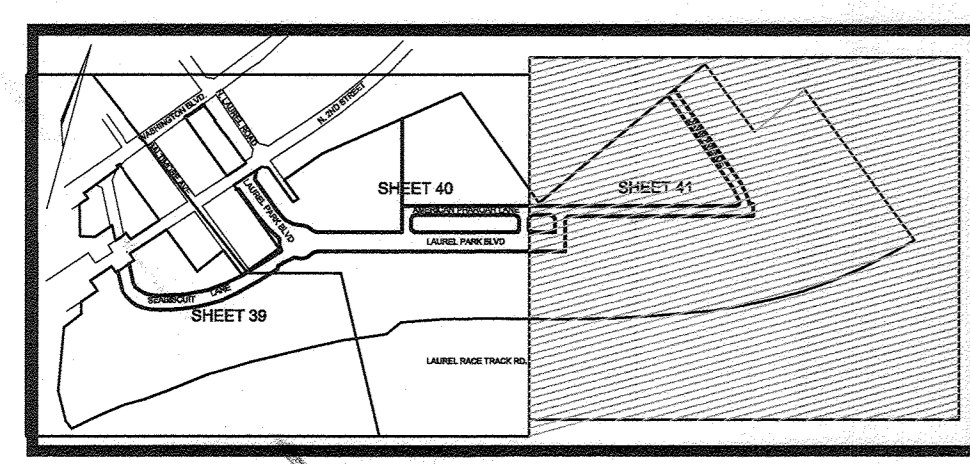
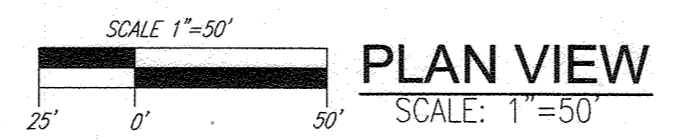
KEY MAP
NOT TO SCALE

STATE OF MARYLAND
ROBERT HARRIS JOYNT
PROFESSIONAL ENGINEER
No. 18193

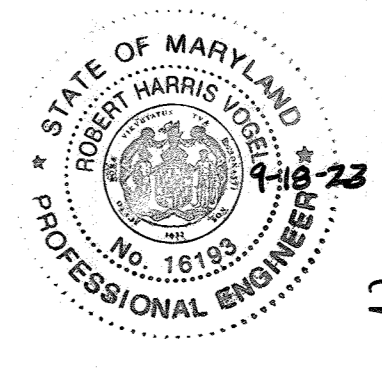


LEGEND:

- EXISTING CURB AND GUTTER
- EXISTING UTILITY POLE
- EXISTING LIGHT POLE
- EXISTING MAILBOX
- EXISTING SIGN
- EXISTING SANITARY MANHOLE
- EXISTING SANITARY LINE
- EXISTING 10' CONTOUR
- EXISTING 2' CONTOUR
- SOILS
- EXISTING CLEANOUT
- EXISTING FIRE HYDRANT
- EXISTING WATER LINE
- EXISTING TREE LINE
- EXISTING FENCE
- PROPERTY LINE
- RIGHT-OF-WAY LINE
- EX. STREAM BUFFER
- EX. LIMIT OF WETLAND
- PROPOSED 10' CONTOUR
- PROPOSED 2' CONTOUR
- PROPOSED SPOT ELEVATION
- PROPOSED STORM DRAIN
- PROPOSED STORM DRAIN INLET
- PROPOSED SIDEWALK
- PROPOSED CURB
- PROPOSED SITE LIGHT
- EX. FOREST CONSERVATION EASEMENT PLAT # 15007
- PROPOSED SHADE TREES
- PROPOSED EVERGREEN TREES
- PROPOSED LANDSCAPE BUFFER
- FOREST CONSERVATION SIGNS
- PROPOSED RETAINING WALL
- DEAD END BARRICADE
- PUBLIC SEWER, WATER AND UTILITY EASEMENT



KEY MAP
NOT TO SCALE



AS-BUILT CERTIFICATION FOR PSWM
 I HEREBY CERTIFY THAT THE FACILITY SHOWN ON THIS PLAN WAS CONSTRUCTED AS SHOWN ON THE "AS-BUILT" PLANS AND COMPLIES WITH THE APPROVED PLANS AND SPECIFICATIONS. I HAVE VERIFIED THAT THE CONTRIBUTING DRAINAGE AREA IS SUFFICIENTLY STABILIZED TO PREVENT CLOGGING OF THE UNDERGROUND SWM FACILITY.
 NAME: **Robert H. Vogel** P.E. # **16193** DATE: **7-18-23**

OWNER
TRIPLE BELL FARMS, LLC
198 LAUREL RACE TRACK RD
LAUREL, MD 20725
(301) 470-5494

OWNER/DEVELOPER
20006 DELAWARE, INC.
198 LAUREL RACE TRACK RD
LAUREL, MD 20725
(301) 470-5494

NO.	REVISION	DATE
6	REVISE THE PLAN TO SHOW AS-BUILT CONDITIONS.	03/24/23
5	REVISE PLAN TO SHOW RECONFIGURATION OF STREAM; ADD STORM DRAIN AND TRAP ON PARCEL A-2	09/01/22
4	ADD DAMPSTER FOR BUILDING #4; ADD SIDEWALK TO RIGHT SIDE OF RUFFIAN WAY	05/07/21
3	MODIFICATION OF PHASE 1 LAYOUT, RENAME PLAN, LANDSCAPING, PRIVATE ROAD IMPROVEMENTS, UTILITY LAYOUT AND STORMWATER MANAGEMENT.	09/08/20
2	REVISE THE PLANS TO ILLUSTRATE IRRIGATION LINES WITHIN PRIVATE ROADWAY	07/28/20
1	MODIFICATION OF PHASE 1 LAYOUT, ROAD LAYOUT, UTILITY LAYOUT, STORMWATER MANAGEMENT, AND BYPASS LAYOUT	06/11/19

THE INDIVIDUAL BUILDABLE PARCELS WITHIN THE PADDOCK POINTE SUBDIVISION WILL COMBINE TO PROVIDE THE AMENITY AREA REQUIREMENT (10% OF NET AREA REQUIREMENT = 4.83 AC.) WITH THEIR CORRESPONDING SITE DEVELOPMENT PLANS. THIS PLAN ACCOUNTS FOR 2.64 AC. OF AMENITY SPACE REFER TO THE AMENITY AREA CHART FOR THE PADDOCK POINTE SUBDIVISION BELOW:

PADDOCK POINTE SUBDIVISION PUBLIC AMENITY AREA CHART		
PLAN	PROVIDED	REMAINING
PADDOCK POINTE SDP-15-043 (PHASE 1 - 220 UNITS)	2.64 AC.	*2.12 AC.
*TO BE PROVIDED IN FUTURE PHASES		

PUBLIC AMENITY AREA CHART			
AMENITY #	AMENITY AREA (SF)	NON-CREDIT AMENITY AREA (AC)	AMENITY AREA (AC)
1	15,833		0.36
2	60,972		1.40
3	2,695	0.06	
4	5,192	0.12	
5	3,395	0.08	
6	3,703	0.09	
7	38,262		0.88
8	2,344	0.05	
9	2,895	0.07	
10	1,496	0.03	
11	8,990	0.21	
TOTALS:	145,777	0.71	2.64

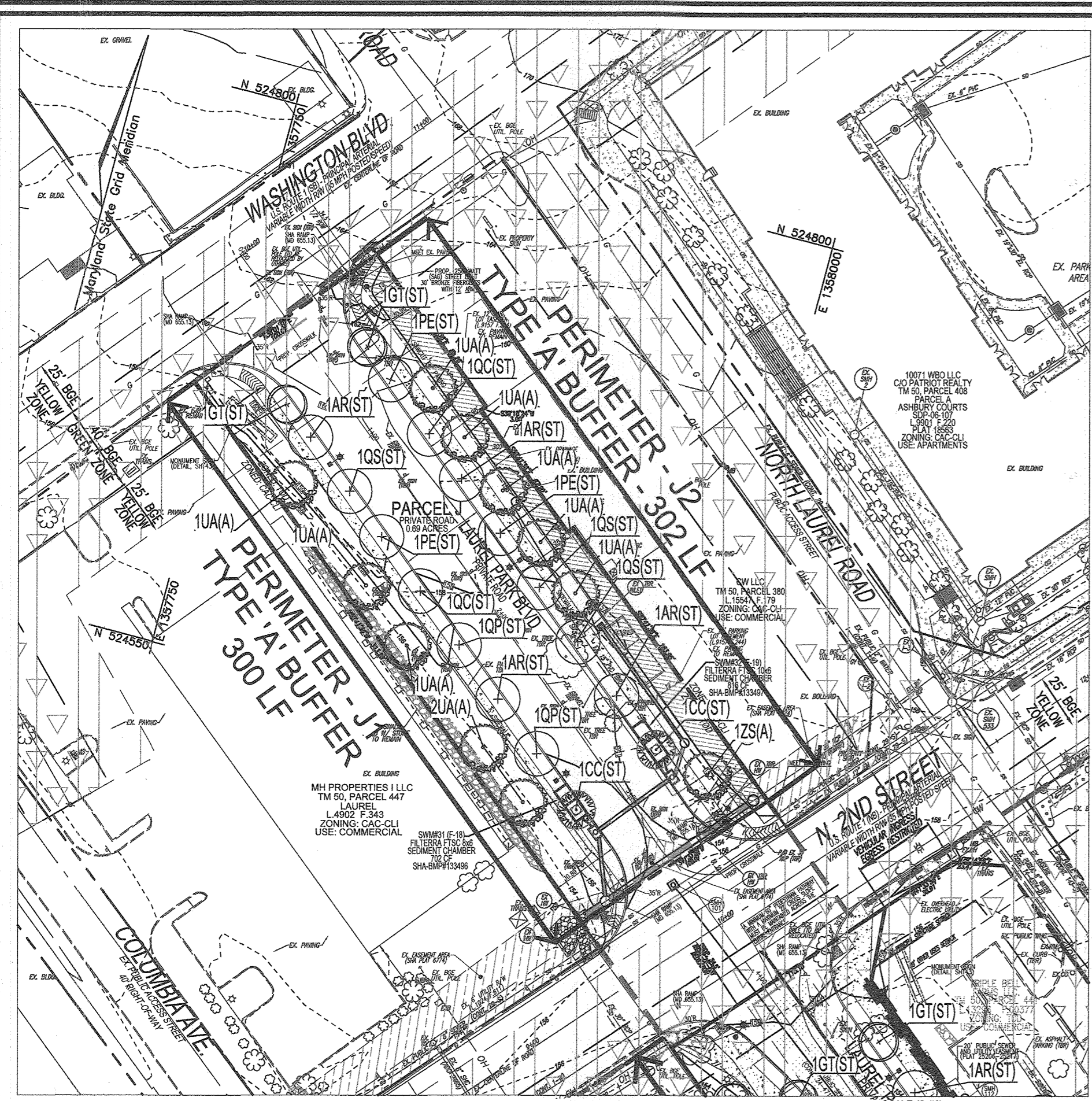
AMENITY AREA NOTE:
 1. THE AMENITY AREA DESIGNED AS A CIVIC GATHERING PLACE SHALL BE PROVIDED IN FUTURE PHASE 2.
 2. RECREATIONAL AREAS FOR CHILDREN SHALL BE PROVIDED IN FUTURE PHASE 3.

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
Chad Clark 5-18-23
 CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE
Mary Katherine 6/5/23
 CHIEF, DIVISION OF LAND DEVELOPMENT DATE
 DIRECTOR

DEVELOPER'S/BUILDER'S CERTIFICATE
 I/WE CERTIFY THAT THE LANDSCAPING SHOWN ON THIS PLAN WILL BE DONE ACCORDING TO THE PLAN, SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE HOWARD COUNTY LANDSCAPE MANUAL. I/WE FURTHER CERTIFY THAT UPON COMPLETION, A CERTIFICATION OF LANDSCAPE INSTALLATION, ACCOMPANIED BY AN EXECUTED ONE (1) YEAR GUARANTEE OF PLANT MATERIALS, WILL BE SUBMITTED TO THE DEPARTMENT OF PLANNING AND ZONING.
Robert H. Vogel 05/18/2023
 SIGNATURE OF DEVELOPER DATE

REVISED SITE DEVELOPMENT PLAN
LANDSCAPE PLAN
 PADDOCK POINTE - PHASE 1
 (FORMERLY KNOWN AS LAUREL PARK STATION)
 64 APARTMENT AND 158 STACKED CONDO UNITS
 PARCELS 384/441
 PARCELS A-2, B-1, B-2, B-3, C-1, J, K-1, L AND LOTS D, E-1, F-1, G, H & I
 TAX MAP: 50 BLOCK: 10 PARCELS 384/441 (L10518/F.157) PARCELS 384/441 (L13296/F.377)
 6TH ELECTION DISTRICT ZONED: TOD
VOGEL ENGINEERING
TIMMONS GROUP
 3300 NORTH RIDGE ROAD, SUITE 110, ELLICOTT CITY, MD 21043
 P: 410.461.7666 F: 410.461.8961 www.timmons.com

PROFESSIONAL CERTIFICATE
 I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DAILY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 16193, EXPIRATION DATE: 08-27-2024.
Robert H. Vogel RHW/DZE
 DESIGN BY: RHW/DZE
 DRAWN BY: DZE
 CHECKED BY: RHW
 DATE: JAN 2023
 SCALE: AS SHOWN
 W.O. NO.: 07-11/40111
 47 OF 55 SHEETS



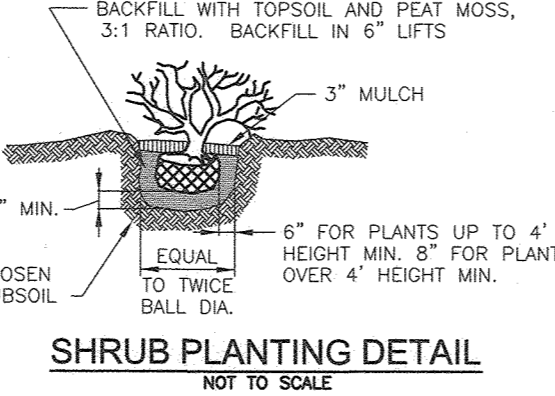
PARCEL J - LANDSCAPE PLAN
SCALE: 1"=50'

LEGEND:

	EXISTING CURB AND GUTTER		PROPOSED 2' CONTOUR
	EXISTING UTILITY POLE		PROPOSED 10' CONTOUR
	EXISTING LIGHT POLE		PROPOSED SIDEWALK
	EXISTING MAILBOX		PROPOSED SIDEWALK RAMP
	EXISTING SIGN		PROPOSED STORM DRAIN
	EXISTING SANITARY MANHOLE		PROPOSED STORM DRAIN INLET
	EXISTING CLEANOUT		PROPOSED STORM LIGHT
	EXISTING FIRE HYDRANT		EX. EASEMENT AREA (SHA PLAT 8774)
	EXISTING WATER LINE		EX. 12' PARKING LOT EASEMENT (L9157 F.244)
	EXISTING STORM DRAIN LINE		PROPOSED SHADE TREES
	EXISTING GASLINE		60'x40' GREEN ZONE
	EXISTING SANITARY LINE		PERIMETER DESIGNATION / TYPE
	EXISTING FENCE		60'x25' YELLOW ZONE
	EXISTING OVERHEAD		
	PROPERTY LINE		
	RIGHT-OF-WAY LINE		
	EXISTING 2' CONTOUR		
	EXISTING 10' CONTOUR		
	EXISTING SIDEWALK		
	EXISTING TREELINE		
	EXISTING TREES		

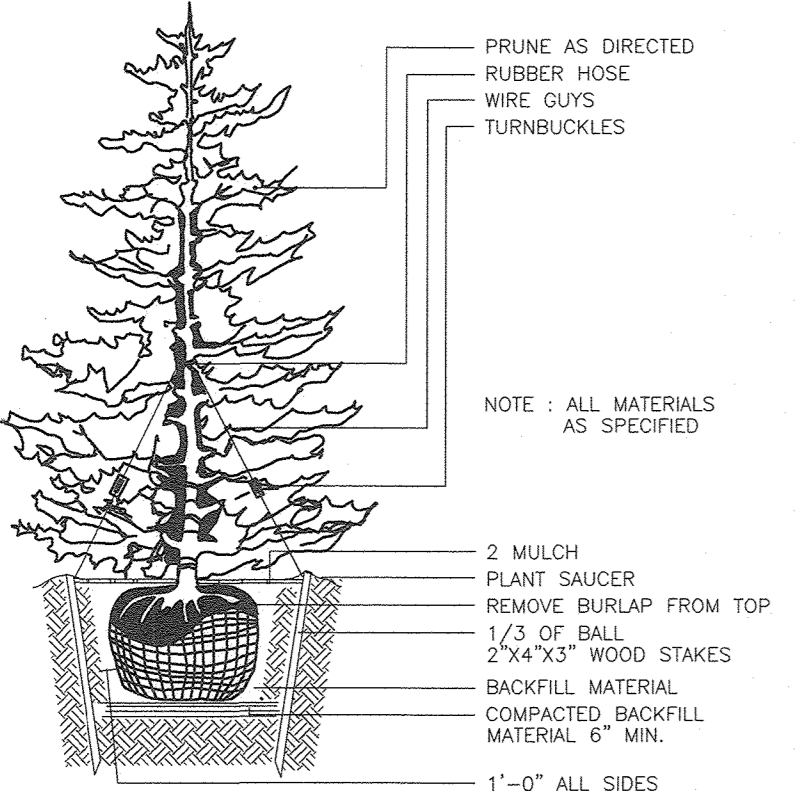
EXISTING UTILITIES NOTE:
EXISTING UTILITIES SHOWN ON THESE PLANS HAVE BEEN LOCATED FROM EXISTING SITE DEVELOPMENT PLANS, FIELD SURVEYS, PUBLIC WATER AND SEWER EXTENSION PLANS AND AVAILABLE RECORD DRAWINGS. APPROXIMATE LOCATION OF EXISTING UTILITIES ARE SHOWN FOR THE CONTRACTORS INFORMATION ONLY.

CONTRACTOR SHALL TEST PIT TO VERIFY EXISTING UTILITIES WELL IN ADVANCE OF CONSTRUCTION ACTIVITIES AND TAKE ALL NECESSARY PRECAUTIONS TO PROTECT THE EXISTING UTILITIES, TO MAINTAIN UNINTERRUPTED SERVICE AND TO PROVIDE REQUIRED CLEARANCES FOR ALL PROPOSED UTILITIES. ANY DAMAGE INCURRED DUE TO CONTRACTOR'S OPERATION SHALL BE REPAIRED IMMEDIATELY AT THE CONTRACTOR'S EXPENSE.

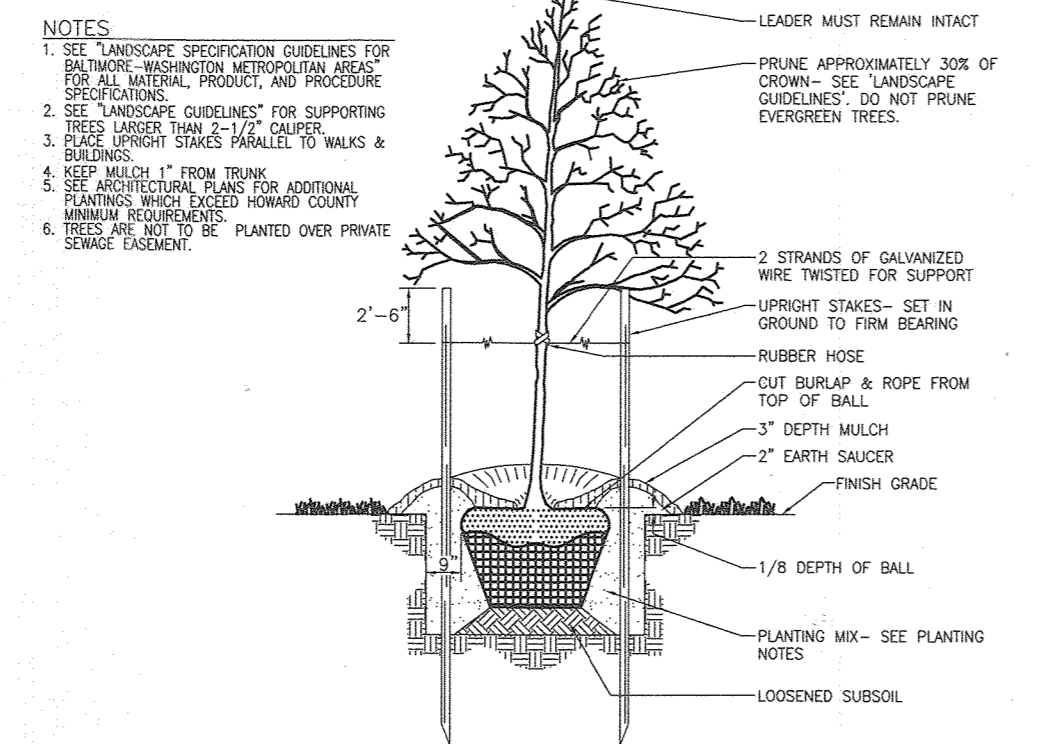


SHRUB PLANTING DETAIL
NOT TO SCALE

NOTES:
1. SEE SHEET 39 FOR LANDSCAPE NOTES, DETAILS, AND SURETY INFORMATION.

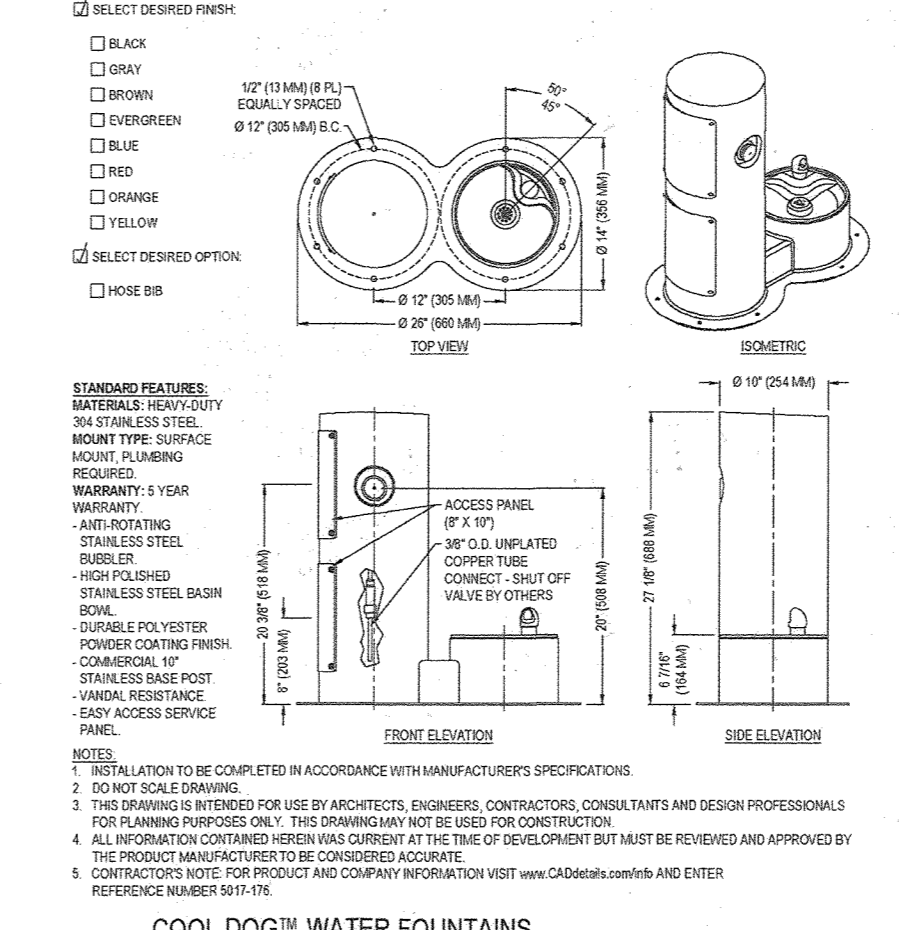


TYPICAL EVERGREEN TREE PLANTING DETAIL
NOT TO SCALE



TREE PLANTING AND STAKING
DECIDUOUS TREES UP TO 2-1/2" CALIPER
NOT TO SCALE

GYMS FOR DOGS™
Natural Dog Park Products



ALL ALUMINUM DOGIPOT™ PET STATION (ITEM #1003A-L)
SPECIFICATION, INSTALLATION AND OPERATION SHEET

(A) DOGIPOT™ PET SIGN (ITEM #1203 / 1204)
• H: 18" x W: 11.5"
• 14 gauge reflective aluminum
• Weight: 1.35 lbs.
• Forest green on white

(B) ALUMINUM DOGIPOT™ JUNIOR BAG DISPENSER (ITEM #1002-2)
• H: 15.5" x W: 9.4" x D: 3.25"
• 12 gauge powder coated forest green aluminum
• Weight: 7 lbs.
• 400 bag capacity
• Two diamond shaped bag dispenser slots
• Front locking access panel
• Clearly posted instructions

(C) ALUMINUM TRASH RECEPTACLE WITH LID (ITEM #1206A-L)
• H: 23" x 11.5" diameter
• 11 gauge powder coated forest green aluminum
• Weight: 9 lbs.
• 10 gallon capacity with inhibitor trash liner bag retainer bands
• Anodized aluminum hinged lid
• One (1) box 50 count OXO-BIODEGRADABLE DOGIPOT™ Liner Trash Bags (ITEM #1404) included (5 lbs.)

(D) TELESCOPIC GALVANIZED STEEL MOUNTING POST (ITEM #1301-P)
• 2" x 2" x 8"
• 11 gauge galvanized steel
• Weight: 15 lbs.

TOTAL HEIGHT FROM ABOVE GROUND:
• 8'-5"

SPACE BETWEEN DISPENSER AND SIGN:
• 1'-0"

SPACE BETWEEN RECEPTACLE AND DISPENSER:
• 8'-0"

SPACE BETWEEN GROUND AND RECEPTACLE:
• 8'-0"

NOTE:
• D: 18.0" x W: 8.0"
• Fill with 40 lbs. "ready to use" cement

TOTAL SHIP WEIGHT: 45 LBS.
(MOUNTING HARDWARE INCLUDED)

PET WASTE STATION
-OR SIMILAR-

ANOVA

211 North Ludlow Blvd.
St. Louis, MO 63104
800.231.1001 / 314.294.2655
www.anovafurniture.com

16180 - Renaissance® Central Bench
6" contoured back with steel seat, cast iron frame and cast iron powder coated finish.

Material:
The seat back is constructed of 17 gauge steel and cast iron. The seat back and seat are powder coated. The bench is 48" high and 36" wide. The bench is constructed of 17 gauge steel and cast iron. The seat back and seat are powder coated. The bench is 48" high and 36" wide.

Finish:
Steel seat and back powder coated. The powder coating has an average thickness of 0.005" and is applied to both sides. The powder coating is a light tan color. The powder coating is applied to both sides of the seat back and seat. The powder coating is applied to both sides of the seat back and seat.

Assembly:
Some assembly is required. Instructions should be followed for proper assembly.

Maintenance:
The product is made of steel and cast iron. It should be cleaned with a mild detergent and water. It should be dried thoroughly. It should be protected from rust.

Warranty:
The product is warranted for 5 years. The warranty is limited to the material and workmanship. The warranty is void if the product is damaged by misuse or abuse.

SHIPPING INFORMATION:

Lot Length	Lot Width	Lot Area	Lot Volume	Lot Weight	Lot Price	Shipping Cost
108 in.	36 in.	3888 sq. in.	3888 cu. in.	3888 lbs.	3888	3888

BENCH - OR SIMILAR -

CertainTeed Bufftech™
Vinyl Fence Products

CERTAINTEED CORPORATION FENCE DECK AND RAIL DIVISION
231 SHIP CANAL PARKWAY
BUFFALO, NY 14218
TOLL FREE: 1-800-333-6999
PHONE: (716) 823-3033
FAX: (716) 823-2940
www.certainteed.com

SELECT DESIRED FINISH:
 BLACK
 GRAY
 BROWN
 CHERRY
 BLUE
 RED
 WHITE
 YELLOW

SELECT DESIRED OPTION:
 HOSE END

STANDARD FEATURES:
MATERIAL: HDPE
36" STAINLESS STEEL
SCREW TYPE: SERRATED
SCREW FINISH: POLISHED
WARRANTY: 5 YEAR
RESISTANCE: UV
RESISTANCE: STAIN
RESISTANCE: RUST
RESISTANCE: FADING
RESISTANCE: DISCOLORATION
RESISTANCE: SCRATCHING
RESISTANCE: IMPACT
RESISTANCE: BURNING
RESISTANCE: WEAR
RESISTANCE: TEAR
RESISTANCE: PUNCTURE
RESISTANCE: PERFORATION
RESISTANCE: DEFORMATION
RESISTANCE: DISTORTION
RESISTANCE: CRACKING
RESISTANCE: SPLITTING
RESISTANCE: DELAMINATION
RESISTANCE: SEPARATION
RESISTANCE: DISINTEGRATION
RESISTANCE: DESTRUCTION

NOTES:
1. INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
2. DO NOT SCALE DRAWING.
3. THIS DRAWING IS INTENDED FOR USE BY ARCHITECTS, ENGINEERS, CONTRACTORS, CONSULTANTS AND DESIGN PROFESSIONALS FOR PLANNING PURPOSES ONLY. THIS DRAWING MAY NOT BE USED FOR CONSTRUCTION.
4. ALL INFORMATION CONTAINED HEREIN IS CURRENT AT THE TIME OF DESIGN BUT MUST BE REVERSED AND APPROVED BY THE PRODUCT MANUFACTURER TO BE CONSIDERED ACCURATE.
5. CONTRACTOR NOTE FOR PRODUCT AND COMPANY INFORMATION VISIT www.CertainTeed.com AND VISIT REFERENCE NUMBER 9918-176.

PRIVACY FENCING
-OR SIMILAR-

ANOVA

211 North Ludlow Blvd.
St. Louis, MO 63104
800.231.1001 / 314.294.2655
www.anovafurniture.com

16181 - Renaissance® 40 Gallon Trash Receptacle with Contour Top
40 gallon steel trash receptacle with contour top, plastic liner and rubber feet.

Material:
The trash receptacle is made of 14 gauge steel and is powder coated. The trash receptacle is 23" high and 11.5" wide. The trash receptacle is constructed of 14 gauge steel and is powder coated. The trash receptacle is 23" high and 11.5" wide.

Finish:
The trash receptacle is powder coated. The powder coating has an average thickness of 0.005" and is applied to both sides. The powder coating is a light tan color. The powder coating is applied to both sides of the trash receptacle.

Assembly:
The trash receptacle is ready to use. It should be placed on a flat surface. It should be protected from rust.

Maintenance:
The trash receptacle is made of steel. It should be cleaned with a mild detergent and water. It should be dried thoroughly. It should be protected from rust.

Warranty:
The trash receptacle is warranted for 5 years. The warranty is limited to the material and workmanship. The warranty is void if the trash receptacle is damaged by misuse or abuse.

SHIPPING INFORMATION:

Lot Length	Lot Width	Lot Area	Lot Volume	Lot Weight	Lot Price	Shipping Cost
108 in.	36 in.	3888 sq. in.	3888 cu. in.	3888 lbs.	3888	3888

TRASH RECEPTACLE
-OR SIMILAR-

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

Chel Chel
CHIEF, DEVELOPMENT ENGINEERING DIVISION
DATE: 6.10.22

Chel Chel
CHIEF, DIVISION OF LAND DEVELOPMENT
DATE: 6/16/22

Chel Chel
DIRECTOR
DATE: 6/16/22

DEVELOPER'S/BUILDER'S CERTIFICATE

I/WE CERTIFY THAT THE LANDSCAPING SHOWN ON THIS PLAN WILL BE DONE ACCORDING TO THE PLAN, SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE HOWARD COUNTY LANDSCAPE MANUAL. I/WE FURTHER CERTIFY THAT UPON COMPLETION, A CERTIFICATION OF LANDSCAPE INSTALLATION, ACCOMPANIED BY AN EXECUTED ONE (1) YEAR GUARANTEE OF PLANT MATERIALS, WILL BE SUBMITTED TO THE DEPARTMENT OF PLANNING AND ZONING.

Robert H. Vogel
SIGNATURE OF DEVELOPER
DATE: 10/21/20

STATE OF MARYLAND
REGISTERED PROFESSIONAL ENGINEER
No. 16193
9-18-23

AS-BUILT CERTIFICATION FOR P5WM

I HEREBY CERTIFY THAT THE FACILITY SHOWN ON THIS PLAN WAS CONSTRUCTED AS SHOWN ON THE "AS-BUILT" PLANS AND COMPLIES WITH THE APPROVED PLANS AND SPECIFICATIONS. I HAVE VERIFIED THAT THE CONTRIBUTING DRAINAGE AREA IS SUFFICIENTLY STABILIZED TO PREVENT CLOGGING OF THE UNDERGROUND SWM FACILITY.

Robert H. Vogel
NAME: ROBERT H. VOGEL
PE # 16193
DATE: 9-18-23

NO AS-BUILT INFORMATION ON THIS SHEET

NO.	REVISION	DATE
6	REVISE THE PLAN TO SHOW AS-BUILT CONDITIONS	03/21/23
5	REVISE PLAN TO SHOW EXISTING LOCATION OF STORM AND SEWER DRAIN AND TRAP ON PARCEL A-2	9-1-22
3	MODIFICATION OF PHASE 1 LAYOUT, RENAME PLAN, LANDSCAPING, PRIVATE ROAD IMPROVEMENTS, UTILITY LAYOUT AND STORMWATER MANAGEMENT.	09/08/20
2	REVISE THE PLANS TO ILLUSTRATE IRRIGATION LINES WITHIN PRIVATE ROADWAY	07/28/20
1	MODIFICATION OF PHASE 1 LAYOUT, ROAD LAYOUT, UTILITY LAYOUT, STORMWATER MANAGEMENT, AND BYPASS LAYOUT	06/11/19

REVISED SITE DEVELOPMENT PLAN
LANDSCAPE PLAN, NOTES AND DETAILS (PARCEL J)

PADDOCK POINTE - PHASE 1
FORMERLY KNOWN AS LAUREL PARK STATION

TAX MAP: 50 BLOCK: 04
6TH ELECTION DISTRICT

PARCELS: 384/441
A-2, B-1, B-2
B-3, C-1, J, K-1, L AND
P.384 (L10518/F.157)
P.441 (L13296/F.377)
ZONED: TOD

PARCELS: 384/441
A-2, B-1, B-2
B-3, C-1, J, K-1, L AND
P.384 (L10518/F.157)
P.441 (L13296/F.377)
ZONED: TOD

VOGEL ENGINEERING
TIMMONS GROUP

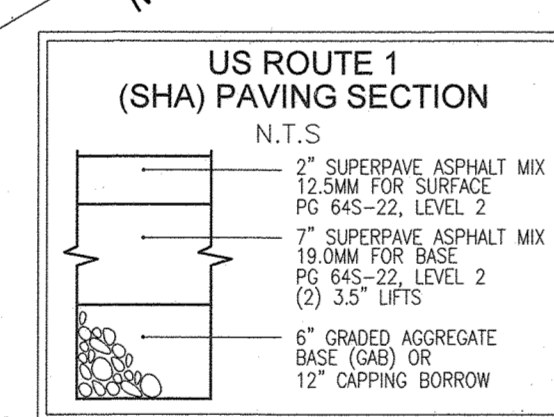
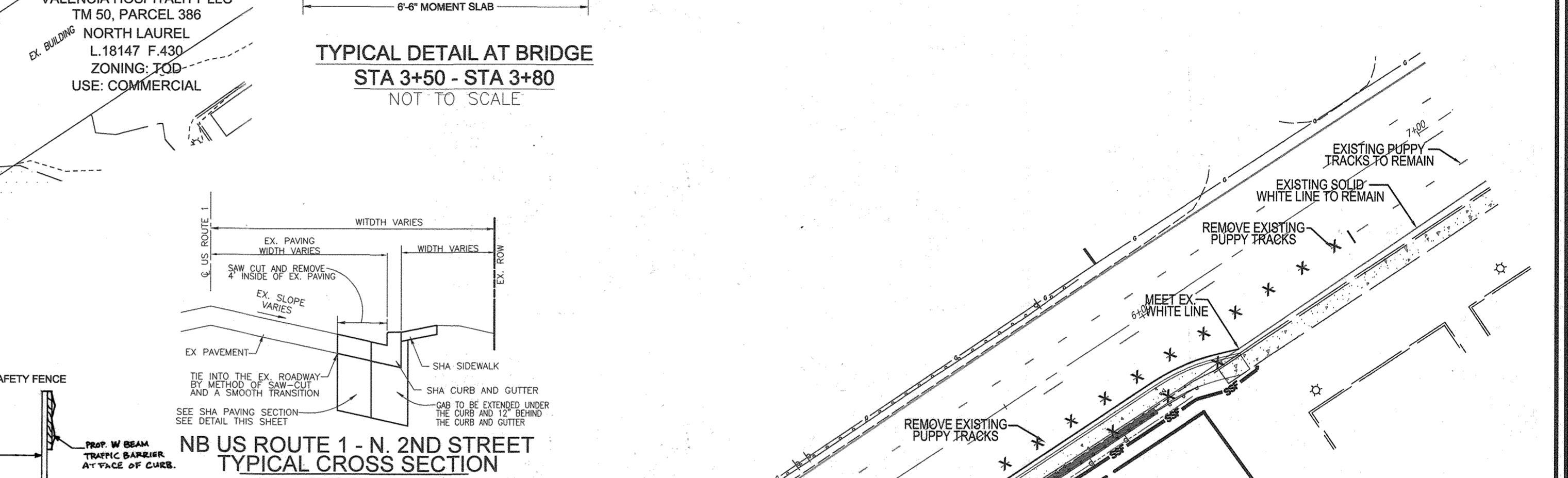
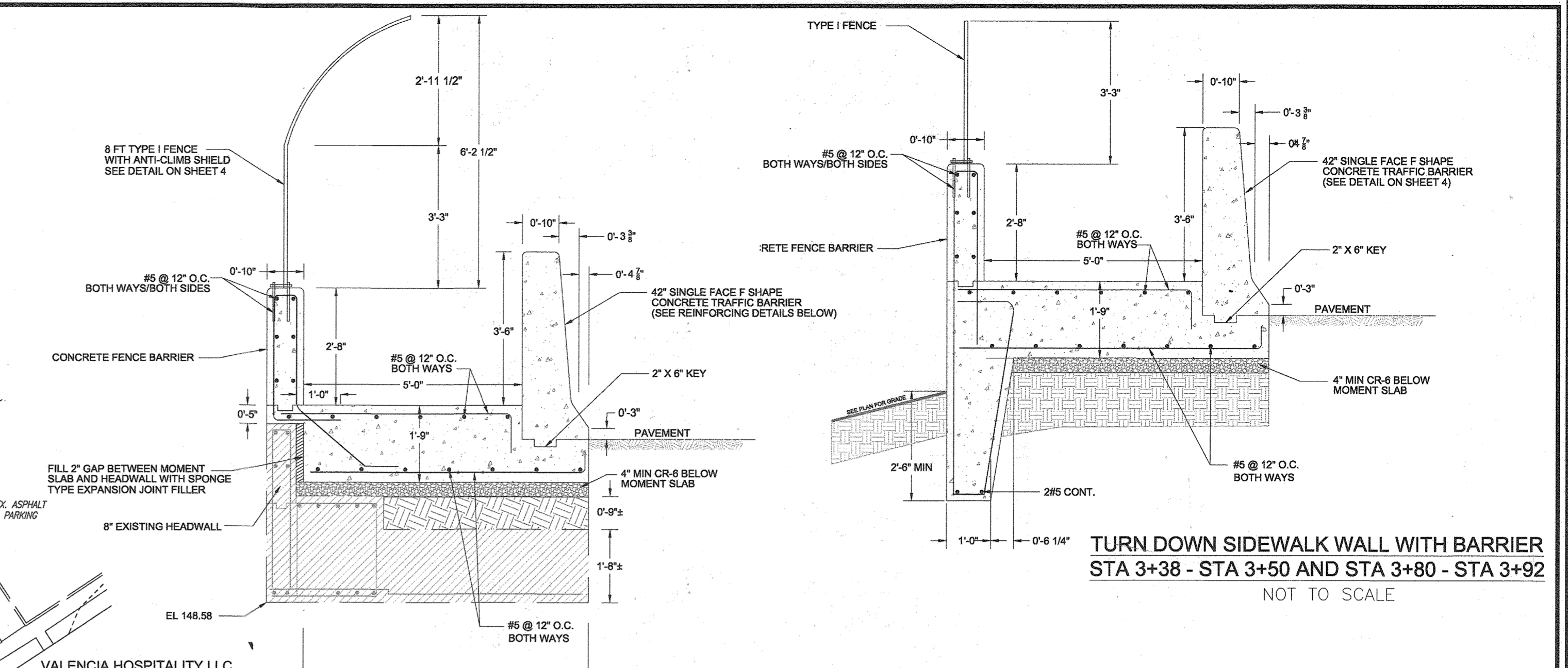
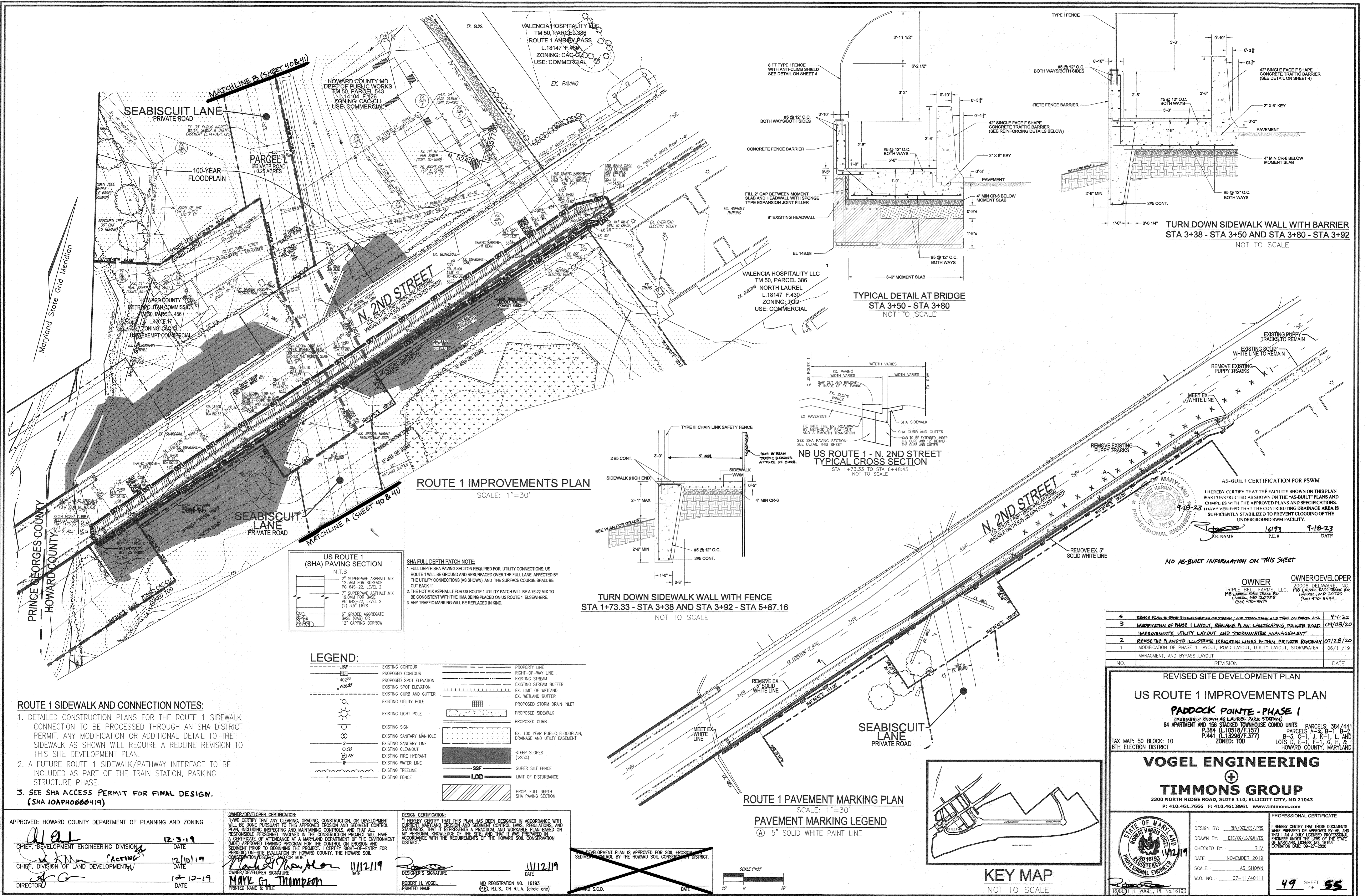
3300 NORTH RIDGE ROAD, SUITE 110, ELLICOTT CITY, MD 21043
P: 410.461.7666 F: 410.461.8961 www.timmons.com

STATE OF MARYLAND
REGISTERED PROFESSIONAL ENGINEER
No. 16193
10-6-20

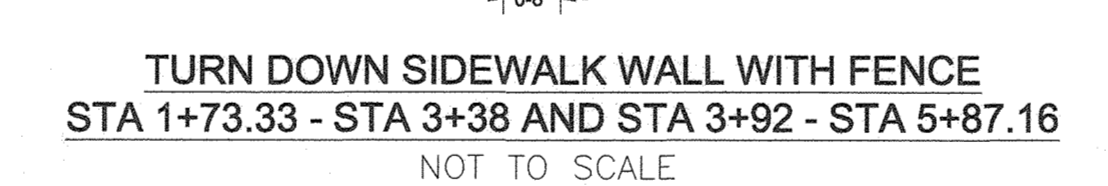
DESIGN BY: RHW/DZE
DRAWN BY: DZE
CHECKED BY: RHW
DATE: SEPTEMBER 2020
SCALE: AS SHOWN
W.O. NO.: 07-11/40111

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND. MY EXPIRATION DATE IS 09-27-2022.

48 SHEET OF 55



SHA FULL DEPTH PATCH NOTE:
1. FULL DEPTH SHA PAVING SECTION REQUIRED FOR UTILITY CONNECTIONS. US ROUTE 1 WILL BE GROUND AND RESURFACED OVER THE FULL LENGTH AFFECTED BY THE UTILITY CONNECTIONS (AS SHOWN); AND THE SURFACE COURSE SHALL BE CUT BACK 1'.
2. THE HOT MIX ASPHALT FOR US ROUTE 1 UTILITY PATCH WILL BE A 76-22 MIX TO BE CONSISTENT WITH THE HMA BEING PLACED ON US ROUTE 1 ELSEWHERE.
3. ANY TRAFFIC MARKING WILL BE REPLACED IN KIND.



LEGEND:

--- 380' ---	EXISTING CONTOUR	---	PROPERTY LINE
--- 402.5' ---	PROPOSED CONTOUR	---	RIGHT-OF-WAY LINE
--- 402.5' ---	PROPOSED SPOT ELEVATION	---	EXISTING STREAM
--- 402.5' ---	EXISTING SPOT ELEVATION	---	EXISTING STREAM BUFFER
---	EXISTING CURB AND GUTTER	---	EX. WETLAND BUFFER
---	EXISTING UTILITY POLE	---	PROPOSED STORM DRAIN INLET
---	EXISTING LIGHT POLE	---	PROPOSED SIDEWALK
---	EXISTING SIGN	---	PROPOSED CURB
---	EXISTING SANITARY MANHOLE	---	EX. 100-YEAR PUBLIC FLOODPLAIN, DRAINAGE AND UTILITY EASEMENT
---	EXISTING SANITARY LINE	---	STEEP SLOPES (>25%)
---	EXISTING CLEANOUT	---	SUPER SILT FENCE
---	EXISTING FIRE HYDRANT	---	LIMIT OF DISTURBANCE
---	EXISTING WATER LINE	---	PROP. FULL DEPTH SHA PAVING SECTION
---	EXISTING TREE LINE	---	
---	EXISTING FENCE	---	

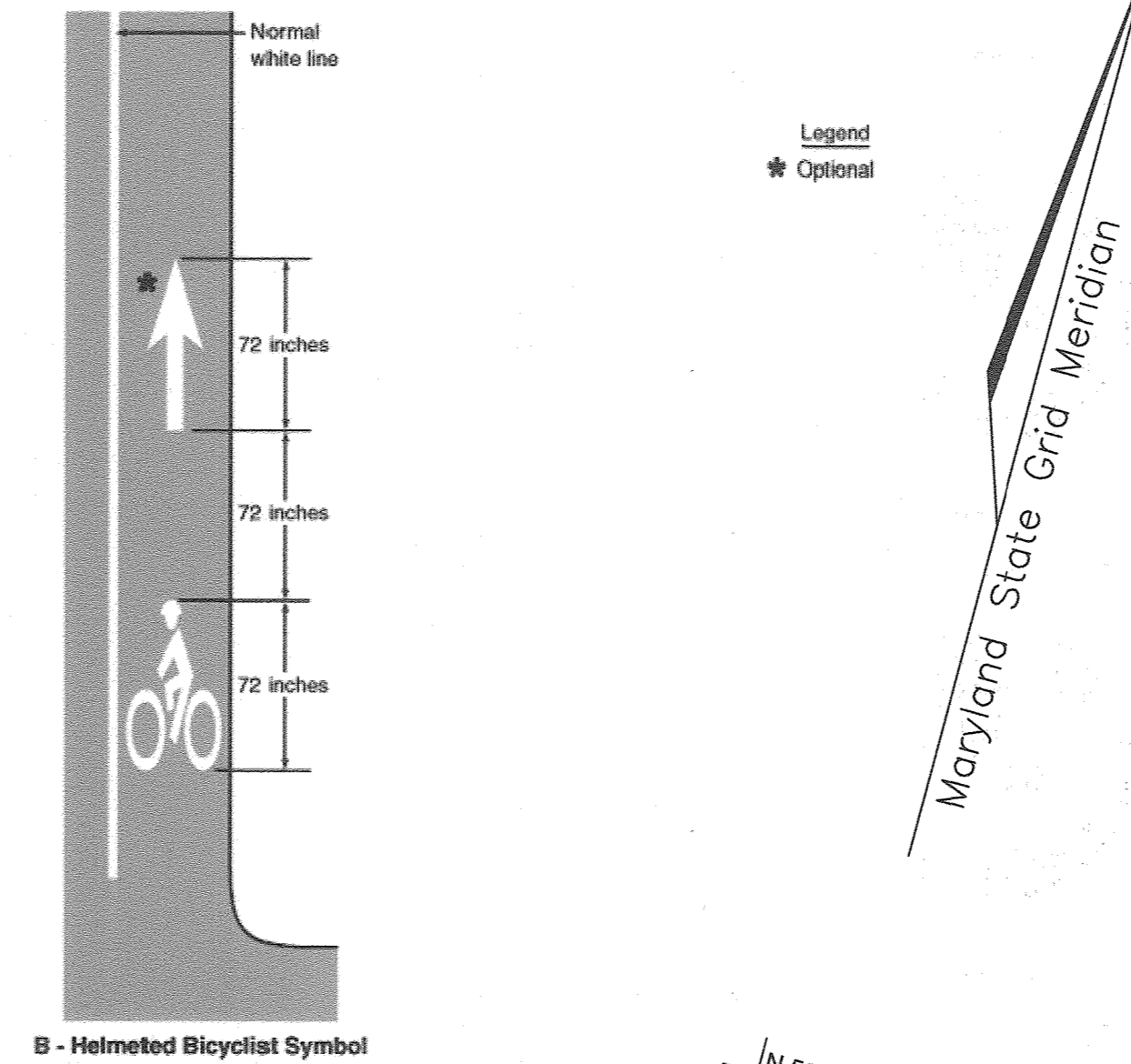
ROUTE 1 SIDEWALK AND CONNECTION NOTES:

- DETAILED CONSTRUCTION PLANS FOR THE ROUTE 1 SIDEWALK CONNECTION TO BE PROCESSED THROUGH AN SHA DISTRICT PERMIT. ANY MODIFICATION OR ADDITIONAL DETAIL TO THE SIDEWALK AS SHOWN WILL REQUIRE A REDLINE REVISION TO THIS SITE DEVELOPMENT PLAN.
- A FUTURE ROUTE 1 SIDEWALK/PATHWAY INTERFACE TO BE INCLUDED AS PART OF THE TRAIN STATION, PARKING STRUCTURE PHASE.
- SEE SHA ACCESS PERMIT FOR FINAL DESIGN. (SHA 10APH000419)

NO.	REVISION	DATE
5	REVISE PLAN TO SHOW RECONFIGURATION OF STREAM, ADD STORM DRAIN AND TRAP ON PARCELS A-2	9-1-22
3	MODIFICATION OF PHASE 1 LAYOUT, RENAME PLAN, LANDSCAPING, PRIVATE ROAD IMPROVEMENTS, UTILITY LAYOUT AND STORMWATER MANAGEMENT	09/08/22
2	REVISE THE PLANS TO ILLUSTRATE IRRIGATION LINES WITHIN PRIVATE ROADWAY	07/28/22
1	MODIFICATION OF PHASE 1 LAYOUT, ROAD LAYOUT, UTILITY LAYOUT, STORMWATER MANAGEMENT, AND BYPASS LAYOUT	06/11/19

REVISED SITE DEVELOPMENT PLAN
US ROUTE 1 IMPROVEMENTS PLAN
Paddock Pointe - Phase 1
(FORMERLY KNOWN AS LAUREL PARK STATION)
64 APARTMENT AND 156 STACKED TOWNHOUSE CONDO UNITS PARCELS: 384/441
P.384 (L10518/6-157) PARCELS A-2, B-1, B-2
P.441 (L13206/6-377) PARCELS C-1, C-2, C-3, C-4, C-5, C-6, C-7, C-8, C-9, C-10, C-11, C-12, C-13, C-14, C-15, C-16, C-17, C-18, C-19, C-20, C-21, C-22, C-23, C-24, C-25, C-26, C-27, C-28, C-29, C-30, C-31, C-32, C-33, C-34, C-35, C-36, C-37, C-38, C-39, C-40, C-41, C-42, C-43, C-44, C-45, C-46, C-47, C-48, C-49, C-50, C-51, C-52, C-53, C-54, C-55, C-56, C-57, C-58, C-59, C-60, C-61, C-62, C-63, C-64, C-65, C-66, C-67, C-68, C-69, C-70, C-71, C-72, C-73, C-74, C-75, C-76, C-77, C-78, C-79, C-80, C-81, C-82, C-83, C-84, C-85, C-86, C-87, C-88, C-89, C-90, C-91, C-92, C-93, C-94, C-95, C-96, C-97, C-98, C-99, C-100, C-101, C-102, C-103, C-104, C-105, C-106, C-107, C-108, C-109, C-110, C-111, C-112, C-113, C-114, C-115, C-116, C-117, C-118, C-119, C-120, C-121, C-122, C-123, C-124, C-125, C-126, C-127, C-128, C-129, C-130, C-131, C-132, C-133, C-134, C-135, C-136, C-137, C-138, C-139, C-140, C-141, C-142, C-143, C-144, C-145, C-146, C-147, C-148, C-149, C-150, C-151, C-152, C-153, C-154, 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Figure 9C-3. Word, Symbol, and Arrow Pavement Markings for Bicycle Lanes



SIGNAGE LOCATION CHART				
ROAD NAME	STATION	OFFSET	"STOP" SIGN	TYPE
LAUREL PARK BLVD	4+17.51	29.84' L		"STOP" SIGN
LAUREL PARK BLVD	5+66.42	15.20' R	W11-2 (30x30)	FYG PEDESTRIAN X-ING/ W16-9P (AHEAD) FYG ARROW
LAUREL PARK BLVD	6+76.16	0.99' L	(2)	YELLOW O.M. (OM1-3) BACK TO BACK / R4-7 KEEP RIGHT
LAUREL PARK BLVD	6+79.13	18.17' R	W11-2 (30x30)	FYG PEDESTRIAN X-ING/ W16-9P (AHEAD) FYG ARROW
LAUREL PARK BLVD	7+13.75	33.51' L	W11-2 (30x30)	FYG PEDESTRIAN X-ING/ W16-9P (AHEAD) FYG ARROW
LAUREL PARK BLVD	7+14.41	21.81' R		R1-2 YIELD
LAUREL PARK BLVD	7+18.24	3.81' L	(2)	"LAUREL PARK BLVD" STREET SIGN / R1-2 YIELD
LAUREL PARK BLVD	7+51.77	0.00' R	R6-4	ROUNDBOUT DIRECTIONAL MOUNT BOTTOM 4" FROM ROAD SURFACE
LAUREL PARK BLVD	8+02.42	0.00' L	R6-4	ROUNDBOUT DIRECTIONAL MOUNT BOTTOM 4" FROM ROAD SURFACE
LAUREL PARK BLVD	8+36.13	0.00' R	(2)	"LAUREL PARK BLVD" STREET SIGN / R1-2 YIELD
LAUREL PARK BLVD	8+47.77	25.77' L		R1-2 YIELD
LAUREL PARK BLVD	8+49.00	26.25' R	W11-2 (30x30)	FYG PEDESTRIAN X-ING/ W16-9P (AHEAD) FYG ARROW
LAUREL PARK BLVD	8+68.22	25.67' L	W11-2 (30x30)	FYG PEDESTRIAN X-ING/ W16-9P (AHEAD) FYG ARROW
LAUREL PARK BLVD	8+87.05	28.00' R	R3-17 and R3-17ap	"BIKE LANE AHEAD"
LAUREL PARK BLVD	8+87.05	28.00' L	R3-17 and R3-17ap	"BIKE LANE AHEAD"
LAUREL PARK BLVD	10+13.56	33.67' L	W11-2 (30x30)	FYG PEDESTRIAN X-ING/ W16-9P (AHEAD) FYG ARROW
SEABISCUIT LANE	13+65.69	0.00' L	R6-4	ROUNDBOUT DIRECTIONAL MOUNT BOTTOM 4" FROM ROAD SURFACE
SEABISCUIT LANE	13+36.64	28.21' R		R1-2 YIELD
SEABISCUIT LANE	13+31.16	0.00' R	(2)	"SEABISCUIT LANE" STREET SIGN / R1-2 YIELD
SEABISCUIT LANE	13+17.05	0.75' L	(2)	YELLOW O.M. (OM1-3) BACK TO BACK
SEABISCUIT LANE	13+17.05	0.75' L	R4-7	KEEP RIGHT (SEE DETAIL)
SEABISCUIT LANE	13+06.47	15.14' R	W11-2 (30x30)	FYG PEDESTRIAN X-ING/ W16-9P (AHEAD) FYG ARROW

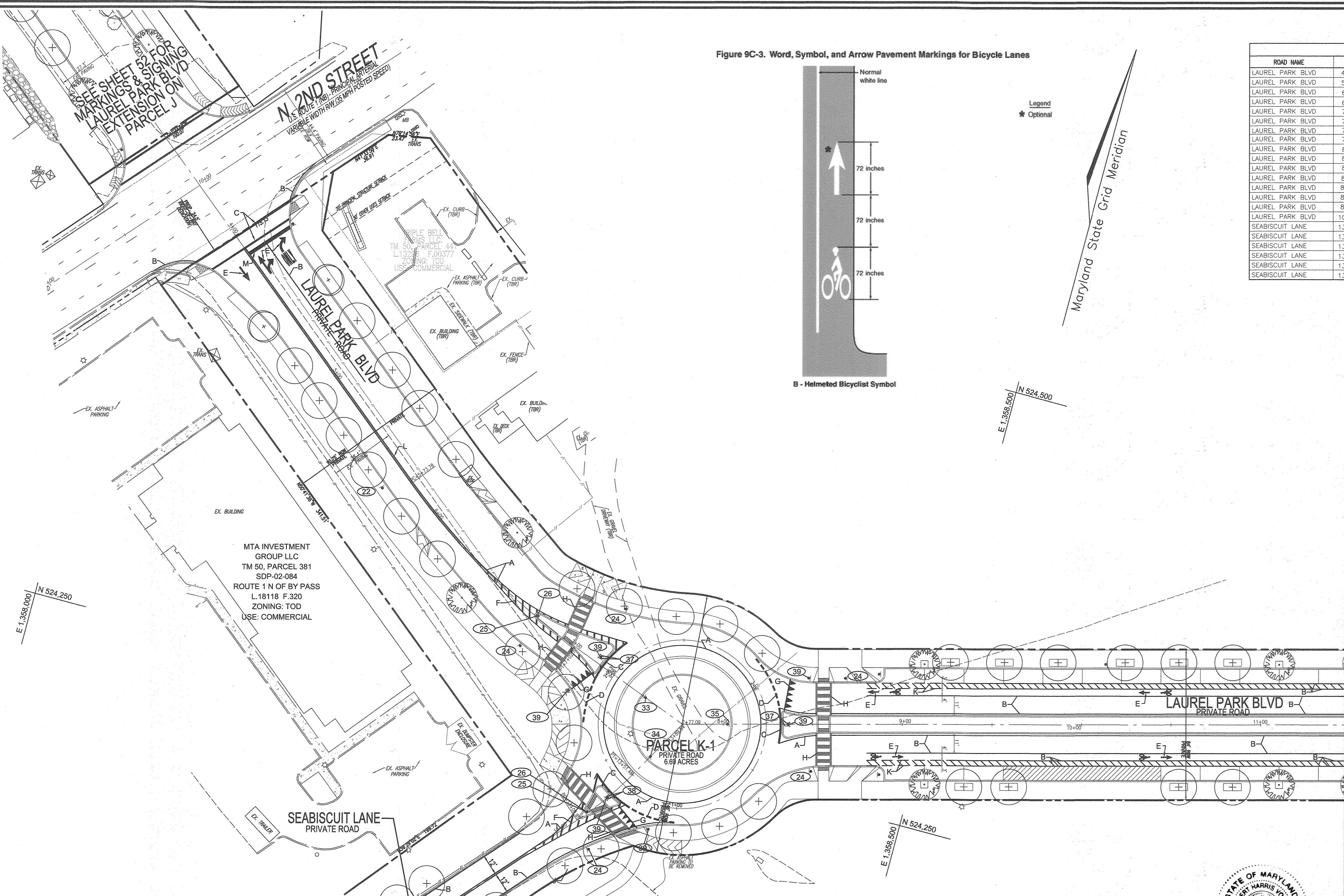
NOTES

- ALL SIGN LOCATIONS ARE APPROXIMATE. HOWARD COUNTY TRAFFIC SHALL FIELD APPROVE OR MARK ALL SIGN LOCATIONS PRIOR TO ANY SIGNS BEING INSTALLED. CALL 410-313-5752.
- ALL ROUNDBOUT MARKINGS SHALL BE LAID OUT BY HOWARD COUNTY TRAFFIC.
- TOTAL NUMBER OF "SHARKS TEETH" NEEDED WILL BE DETERMINED IN THE FIELD.
- STREET NAME SIGNS WILL BE MOUNTED ON THE R1-2 SIGNS IN THE ROUNDBOUT AS DIRECTED BY THE COUNTY TRAFFIC ENGINEER.
- "NO PARKING" SIGNS TO BE INSTALLED AS NEEDED NEAR ROUNDBOUT. TRAFFIC DIVISION WILL FIELD DETERMINE LOCATIONS.
- FOR ADDITIONAL SIGNAGE AND PAVEMENT MARKINGS FOR LAUREL PARK BLVD (PARCEL) AND REMAINDER OF SEABISCUIT LANE, SEE SHEET 52.

PAVEMENT MARKING LEGEND

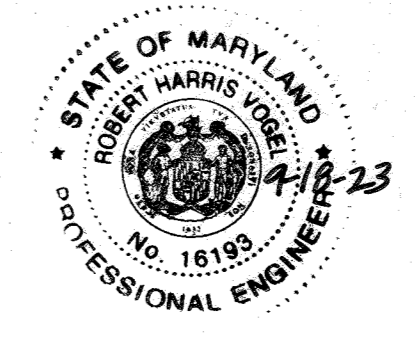
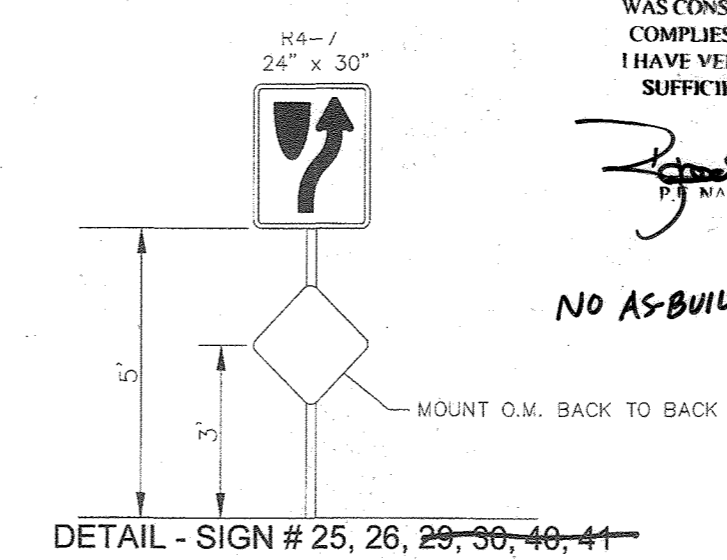
- (A) 5" SOLID YELLOW PAINT LINE
- (B) 5" SOLID WHITE PAINT LINE
- (C) 12" WHITE THERMOPLASTIC
- (D) 12" x 3" SKIP/SPACE WHITE THERMOPLASTIC
- (E) LANE ARROWS
- (F) 10" WIDE YELLOW HATCH MARKINGS-PAINT
- (G) SHARKS TEETH WHITE THERMOPLASTIC
- (H) HOWARD COUNTY CROSSWALK
- (I) 5" DASHED WHITE PAINT LINE
- (J) DOUBLE 5" YELLOW PAINT LINE

MATCH LINE SEE SHEET 51



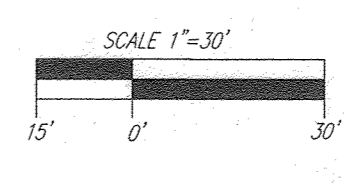
PAVEMENT MARKING AND SIGNAGE PLAN
SCALE: 1" = 30"

STREET SIGN SCHEDULE	
NO.	SIGN TYPE / DESCRIPTION
22	W11-2 (30x30) FYG / W16-9P (AHEAD) FYG
24	W11-2 (30x30) FYG / W16-7P (24x12) FYG
25	R4-7 KEEP RIGHT (SEE DETAIL)
26	(2) YELLOW O.M. (OM1-3) BACK TO BACK
27	W11-2 (30x30) FYG / W16-7P (24x12) FYG
33	R6-4 MOUNT BOTTOM 4" FROM ROAD SURFACE
34	R6-4 MOUNT BOTTOM 4" FROM ROAD SURFACE
35	R6-4 MOUNT BOTTOM 4" FROM ROAD SURFACE
37	"LAUREL PARK BLVD" STREET SIGN
38	"SEABISCUIT LANE" STREET SIGN
39	R1-2 YIELD



AS-BUILT CERTIFICATION FOR PSWM
I HEREBY CERTIFY THAT THE FACILITY SHOWN ON THIS PLAN WAS CONSTRUCTED AS SHOWN ON THE "AS-BUILT" PLANS AND COMPLIES WITH THE APPROVED PLANS AND SPECIFICATIONS. I HAVE VERIFIED THAT THE CONTRIBUTING DRAINAGE AREA IS SUFFICIENTLY STABILIZED TO PREVENT CLOGGING OF THE UNDERGROUND SWM FACILITY.
16193
9-18-23
DATE

NO AS-BUILT INFORMATION ON THIS SHEET



APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
 Chief, Development Engineering Division: *[Signature]* 6.10.22
 Chief, Division of Land Development: *[Signature]* 6/11/22
 Director: *[Signature]* 6/11/22

OWNER: TRIPLE BELL FARMS, LLC, 170 LAUREL PARK BLVD, LAUREL, MD 20775 (301) 470-5444
 OWNER/DEVELOPER: 20006 DELAWARE, INC., 170 LAUREL PARK BLVD, LAUREL, MD 20775 (301) 470-5444

NO.	REVISION	DATE
5	REVISE PLAN TO SHOW SEABISCUIT LANE AND TRAIL ON PARCEL A-2	9-1-22
3	MODIFICATION OF PHASE 1 LAYOUT, RENAME PLAN, LANDSCAPING, PRIVATE ROAD IMPROVEMENTS, UTILITY LAYOUT AND STORMWATER MANAGEMENT.	09/08/20
2	REVISE THE PLANS TO ILLUSTRATE IRRIGATION LINES WITHIN PRIVATE ROADWAY	07/28/20
1	MODIFICATION OF PHASE 1 LAYOUT, ROAD LAYOUT, UTILITY LAYOUT, STORMWATER MANAGEMENT, AND BYPASS LAYOUT	06/11/19

REVISED SITE DEVELOPMENT PLAN
 LAUREL PARK BOULEVARD
 PAVEMENT MARKING AND SIGNAGE PLAN
 PADDOCK POINTE - PHASE 1
 FORMERLY KNOWN AS LAUREL PARK STATION PARCELS: 384/441
 54 APARTMENT AND 170 STACKED CONDO UNITS PARCELS: A-2, B-1, B-2, B-3, C-1, J, K-1, L AND P.384 (L10518/F.157) P.441 (L13298/F.377)
 TAX MAP: 50 BLOCK: 10 6TH ELECTION DISTRICT
 ZONED: TOD
 HOWARD COUNTY, MARYLAND

VOGEL ENGINEERING
 TIMMONS GROUP
 3300 NORTH RIDGE ROAD, SUITE 110, ELLICOTT CITY, MD 21043
 P: 410.461.7666 F: 410.461.8961 www.timmons.com

PROFESSIONAL CERTIFICATE
 DESIGN BY: RHV/DZE
 DRAWN BY: DZE
 CHECKED BY: RHV
 DATE: SEPTEMBER 2020
 SCALE: AS SHOWN
 W.D. NO.: 07-11/40111

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 16193, EXPIRATION DATE: 09-27-2022

50 SHEET OF 55

AS-BUILT JULY 2023 SDP-15-043

SIGNAGE LOCATION CHART			
ROAD NAME	STATION	OFFSET	TYPE
LAUREL PARK BLVD	12+00.00	3.00' R	W11-2 (30x30) FYG PEDESTRIAN X-ING/ W16-9P (AHEAD) FYG ARROW
LAUREL PARK BLVD	12+00.00	25.00' R	W11-2 (30x30) FYG PEDESTRIAN X-ING/ W16-9P (AHEAD) FYG ARROW
LAUREL PARK BLVD	12+13.33	0.00' L	"KEEP RIGHT" SIGN
LAUREL PARK BLVD	12+22.14	55.30' L	"STOP" SIGN
LAUREL PARK BLVD	12+70.40	0.00' L	"KEEP RIGHT" SIGN
LAUREL PARK BLVD	12+85.00	25.00' L	W11-2 (30x30) FYG PEDESTRIAN X-ING/ W16-9P (AHEAD) FYG ARROW
LAUREL PARK BLVD	12+85.00	3.00' L	W11-2 (30x30) FYG PEDESTRIAN X-ING/ W16-9P (AHEAD) FYG ARROW
LAUREL PARK BLVD	17+20.00	25.00' R	W11-2 (30x30) FYG PEDESTRIAN X-ING/ W16-9P (AHEAD) FYG ARROW
LAUREL PARK BLVD	17+20.00	3.00' R	W11-2 (30x30) FYG PEDESTRIAN X-ING/ W16-9P (AHEAD) FYG ARROW
LAUREL PARK BLVD	17+35.59	51.91' R	"STOP" SIGN
LAUREL PARK BLVD	17+37.99	0.00' L	"KEEP RIGHT" SIGN
LAUREL PARK BLVD	17+57.37	49.32' R	"DEAD END" AND "NO PARKING" SIGN
LAUREL PARK BLVD	17+97.70	12.00' L	"DEAD END" AND "NO PARKING" SIGN
LAUREL PARK BLVD	17+97.70	12.00' R	"DEAD END" AND "NO PARKING" SIGN

NOTE
 1. ALL SIGN LOCATIONS ARE APPROXIMATE. HOWARD COUNTY TRAFFIC SHALL FIELD APPROVE OR MARK ALL SIGN LOCATIONS PRIOR TO ANY SIGNS BEING INSTALLED. CALL 410-313-5752.

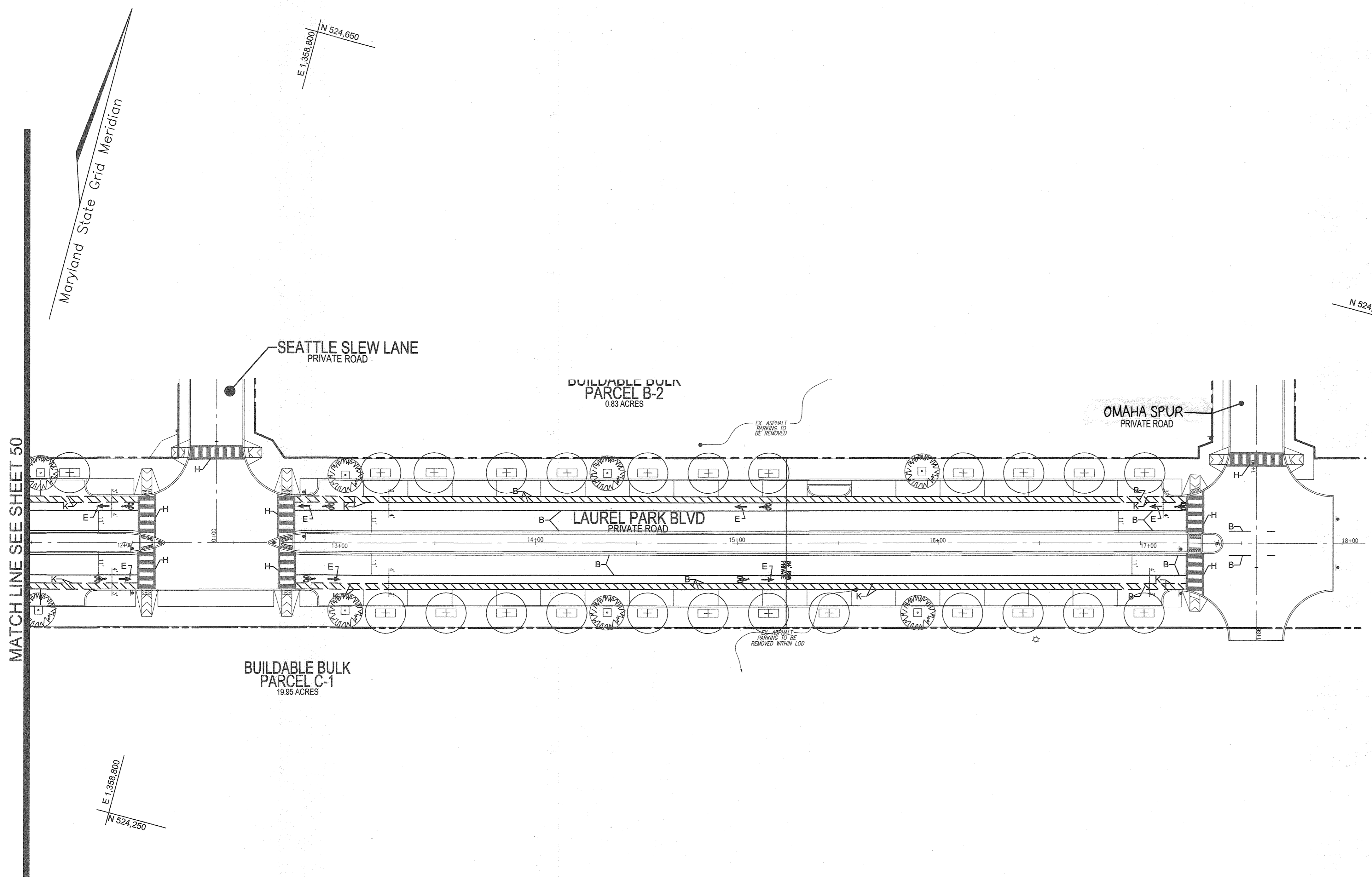
PAVEMENT MARKING LEGEND
 (B) 5" SOLID WHITE PAINT LINE
 (E) LANE ARROWS
 (K) 5" DASHED WHITE PAINT LINE
 (H) HOWARD COUNTY CROSSWALK

NO.	REVISION	DATE
6	REVISE THE PLAN TO SHOW AS-BUILT CONDITIONS	03/24/23
5	REVISE PLAN TO SHOW RECONFIGURATION OF STORM ADD STORM DRAIN AND TEAR ON PARCEL A-2	9-1-22
3	MODIFICATION OF PHASE 1 LAYOUT, RENAME PLAN, LANDSCAPING, PRIVATE ROAD IMPROVEMENTS, UTILITY LAYOUT AND STORMWATER MANAGEMENT.	09/08/20
2	REVISE THE PLANS TO ILLUSTRATE IRRIGATION LINES WITHIN PRIVATE ROADWAY	07/28/20
1	MODIFICATION OF PHASE 1 LAYOUT, ROAD LAYOUT, UTILITY LAYOUT, STORMWATER MANAGEMENT, AND BYPASS LAYOUT	06/11/19

OWNER
 TRIPLE BELL FARMS, LLC.
 198 LAUREL PARK TRAIL RD.
 LAUREL, MD 20725
 (301) 470-5474

OWNER/DEVELOPER
 20006 DELAWARE, INC.
 198 LAUREL PARK TRAIL RD.
 LAUREL, MD 20725
 (301) 470-5474

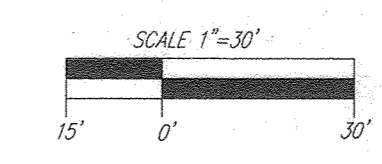
PAVEMENT MARKING AND SIGNAGE PLAN
 SCALE: 1" = 30'



AS-BUILT CERTIFICATION FOR P/SWM
 I HEREBY CERTIFY THAT THE FACILITY SHOWN ON THIS PLAN WAS CONSTRUCTED AS SHOWN ON THE "AS-BUILT" PLANS AND COMPLIES WITH THE APPROVED PLANS AND SPECIFICATIONS. I HAVE VERIFIED THAT THE CONTRIBUTING DRAINAGE AREA IS SUFFICIENTLY STABILIZED TO PREVENT CLOGGING OF THE UNDERGROUND SWM FACILITY.

Professional Engineer: Robert Harris, No. 18193, Date: 9-18-23

NO AS-BUILT INFORMATION ON THIS SHEET



APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

Chief, Development Engineering Division: *[Signature]* HSK, Date: 6.10.22
 Chief, Division of Land Development: *[Signature]*, Date: 6/16/22
 Director: *[Signature]*, Date: 6/16/22

REVISED SITE DEVELOPMENT PLAN
LAUREL PARK BOULEVARD
PAVEMENT MARKING AND SIGNAGE PLAN

Paddock Pointe - Phase 1
 (FORMERLY KNOWN AS LAUREL PARK STATION)
 64 APARTMENT AND 198 STACKED CONDO UNITS

PARCELS: 384/441
 PARCELS A-2, B-1, B-2
 PARCELS B-3, C-1, J, K-1, L AND
 LOTS D, E-1, F-1, G, H & I
 HOWARD COUNTY, MARYLAND

TAX MAP: 50 BLOCK: 10
 6TH ELECTION DISTRICT

VOGEL ENGINEERING
 TIMMONS GROUP
 3300 NORTH RIDGE ROAD, SUITE 110, ELLICOTT CITY, MD 21043
 P: 410.461.7666 F: 410.461.8961 www.timmons.com

DESIGN BY: RHW/DZE
 DRAWN BY: DZE
 CHECKED BY: RHW
 DATE: SEPTEMBER 2020
 SCALE: AS SHOWN
 W.O. NO.: 07-11/40111

PROFESSIONAL CERTIFICATE
 I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 18193, EXPIRATION DATE: 09-27-2026

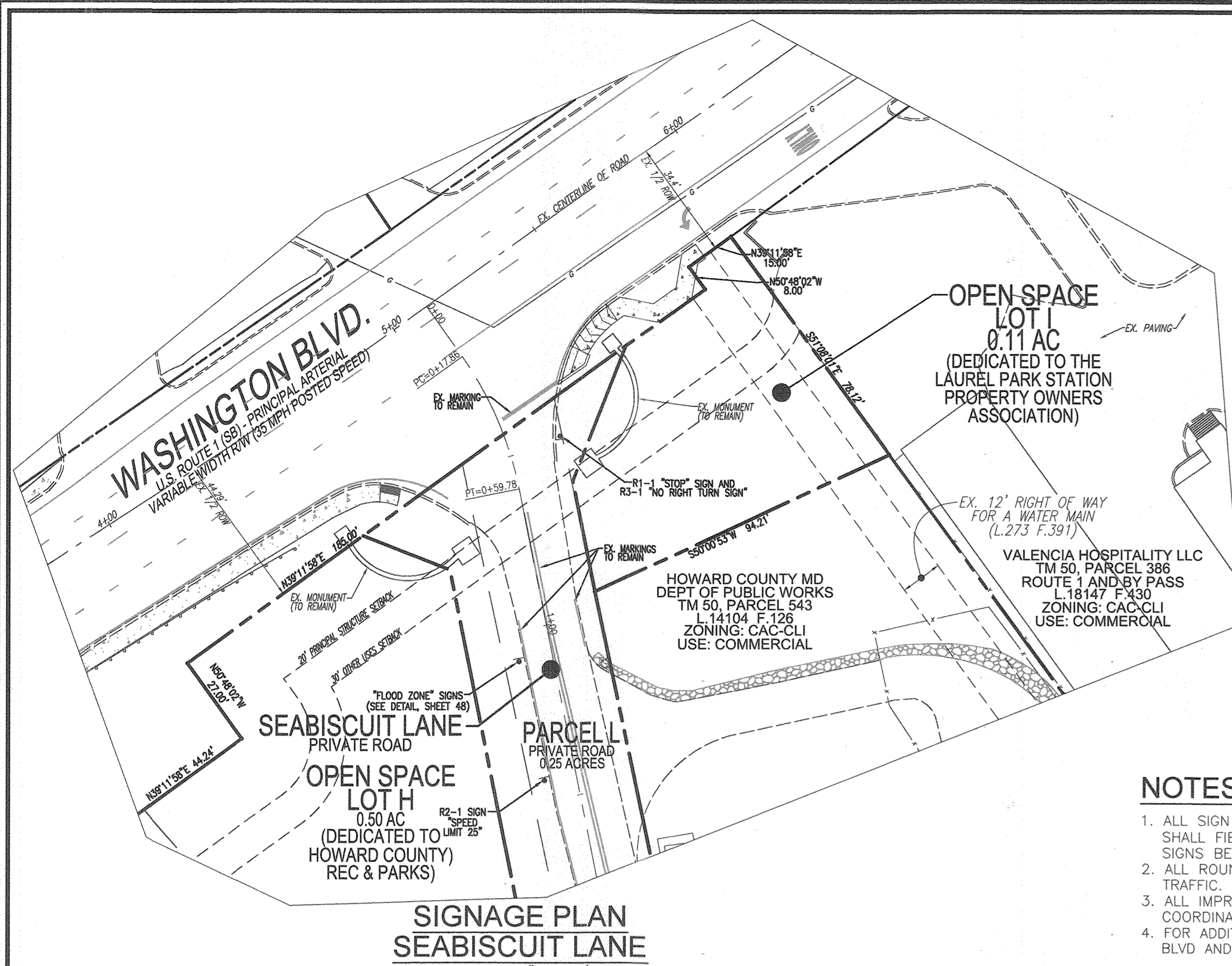
51 SHEET OF 55

AS-BUILT JULY 2023

SIGNAGE LOCATION CHART			
ROAD NAME	STATION	OFFSET	TYPE
LAUREL PARK DRIVE	0+62.59	22.52' LT	R1-1 STOP SIGN/R3-1 NO RIGHT TURN
LAUREL PARK DRIVE	3+14.90	21.41' RT	R1-1 STOP SIGN/R3-1 NO RIGHT TURN

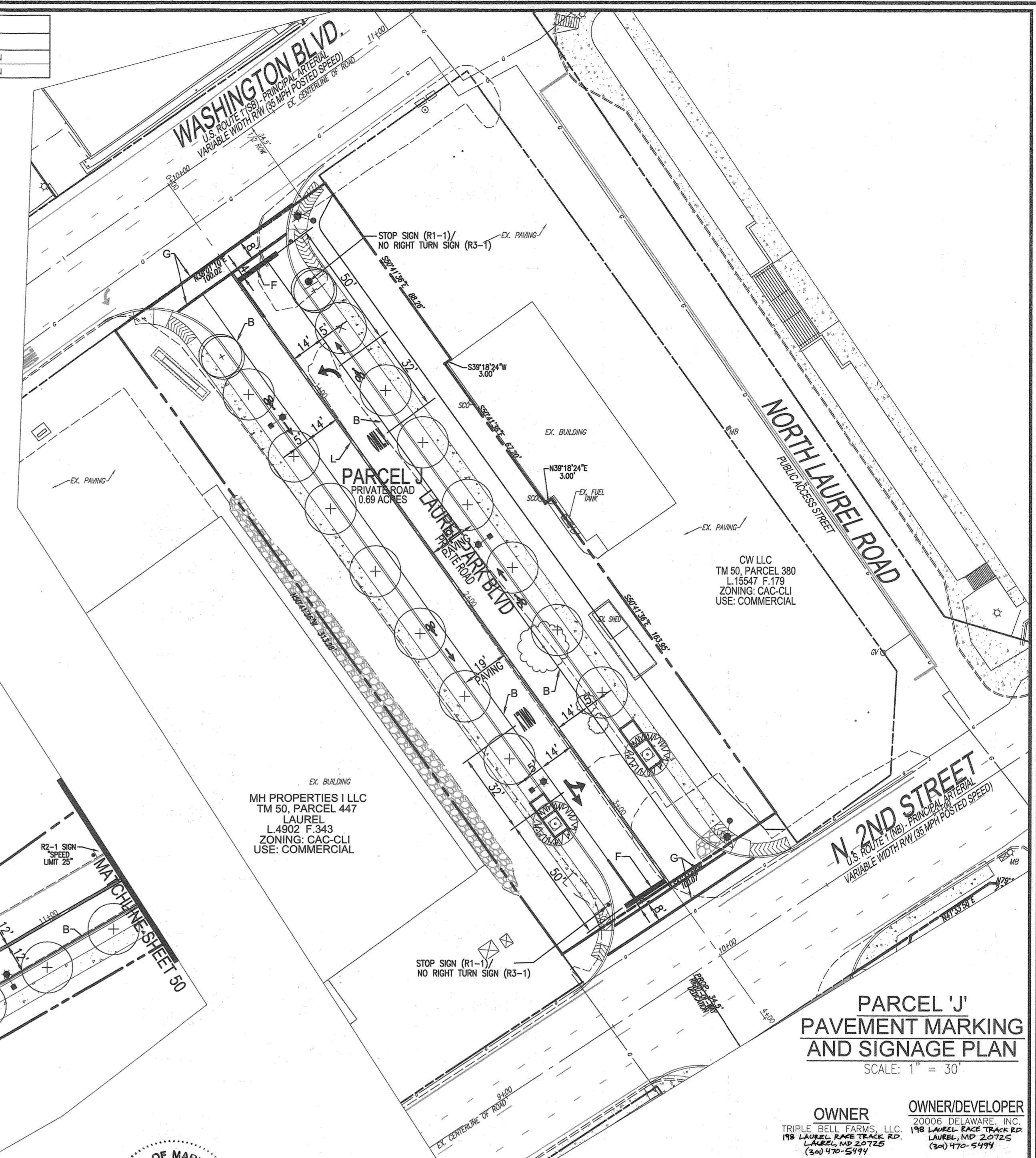
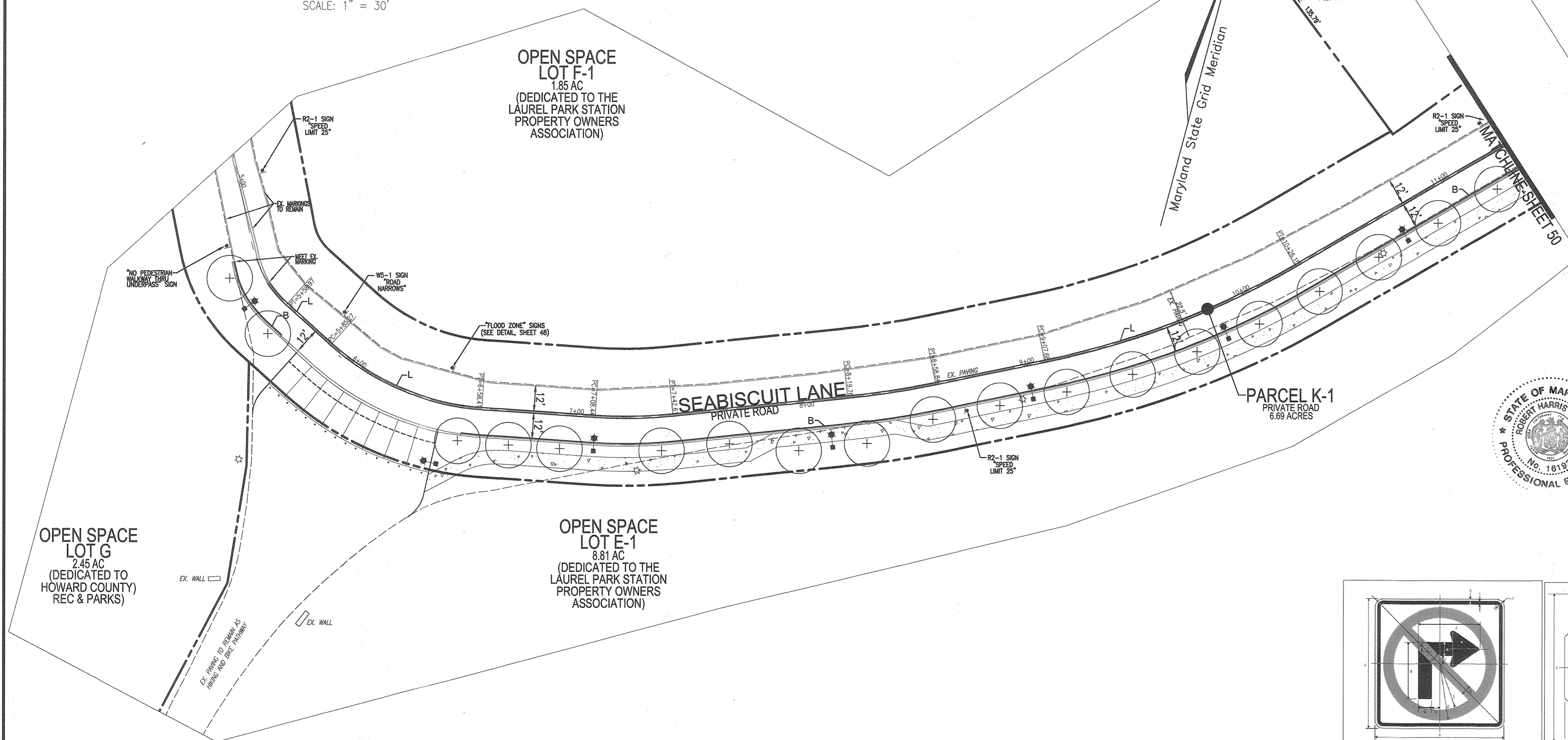
PAVEMENT MARKING LEGEND

- ⊕ 5" SOLID WHITE PAINT LINE
- ⊖ 24" WIDE WHITE SOLID PAVEMENT MARKING FOR STOP LINE
- ⊙ 12" WHITE THERMOPLASTIC
- ⊖ 12" WHITE THERMOPLASTIC
- ⊖ DOUBLE 5" YELLOW PAINT LINE
- ↔ WHITE TURN LANE STRIPING
- ↔ WHITE BIKE LANE STRIPING



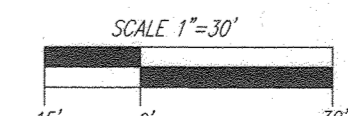
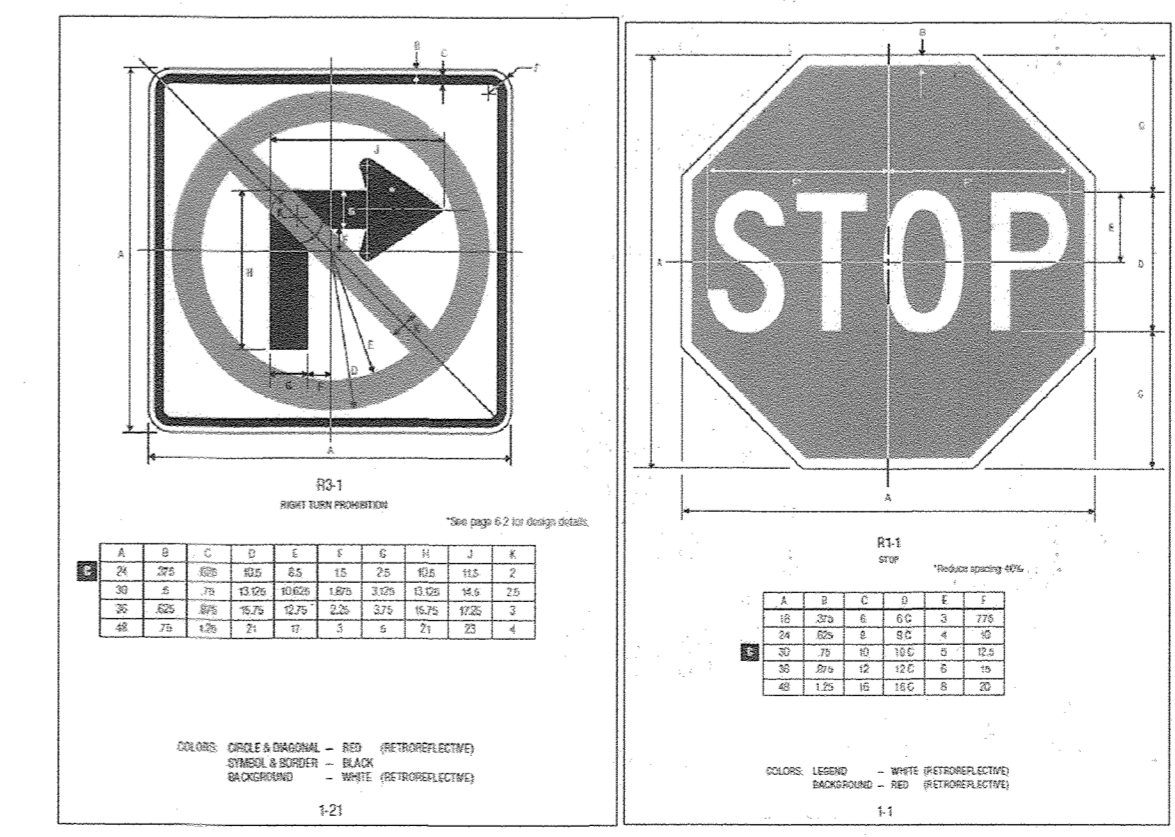
NOTES

1. ALL SIGN LOCATIONS ARE APPROXIMATE. HOWARD COUNTY TRAFFIC SHALL FIELD APPROVE OR MARK ALL SIGN LOCATIONS PRIOR TO ANY SIGNS BEING INSTALLED. CALL 410-313-5752.
2. ALL ROUNDABOUT MARKINGS SHALL BE LAID OUT BY HOWARD COUNTY TRAFFIC.
3. ALL IMPROVEMENTS WITHIN THE SHA RIGHT OF WAY SHALL BE COORDINATED DIRECTLY WITH SHA.
4. FOR ADDITIONAL SIGNAGE AND PAVEMENT MARKINGS FOR LAUREL PARK BLVD AND SEABISCUIT LANE, SEE SHEETS 43-44.



AS-BUILT CERTIFICATION FOR PSWM
 I HEREBY CERTIFY THAT THE FACILITY SHOWN ON THIS PLAN WAS CONSTRUCTED AS SHOWN ON THE "AS-BUILT" PLANS AND SPECIFICATIONS. I HAVE VERIFIED THAT THE CONTRIBUTING DRAINAGE AREA IS SUFFICIENTLY STABILIZED TO PREVENT CLOGGING OF THE UNDERGROUND SWM FACILITY.
 NAME: 16193 P.E.# 9-18-23 DATE

NO AS-BUILT INFORMATION ON THIS SHEET



APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
 Chief, Development Engineering Division 6.10.22 DATE
 Chief, Division of Land Development 6/10/22 DATE
 Director 6/16/22 DATE

NO.	REVISION	DATE
5	REVISE PLAN TO SHOW RECONFIGURATION OF STREAM, ADD STORM DRAIN AND TREE ON PARCEL A-2	9-1-22
3	MODIFICATION OF PHASE 1 LAYOUT, RENAME PLAN, LANDSCAPING, PRIVATE ROAD IMPROVEMENTS, UTILITY LAYOUT AND STORMWATER MANAGEMENT.	09/08/20
2	REVISE THE PLANS TO ILLUSTRATE IRRIGATION LINES WITHIN PRIVATE ROADWAY	07/28/20
1	MODIFICATION OF PHASE 1 LAYOUT, ROAD LAYOUT, UTILITY LAYOUT, STORMWATER MANAGEMENT, AND BYPASS LAYOUT	06/11/19

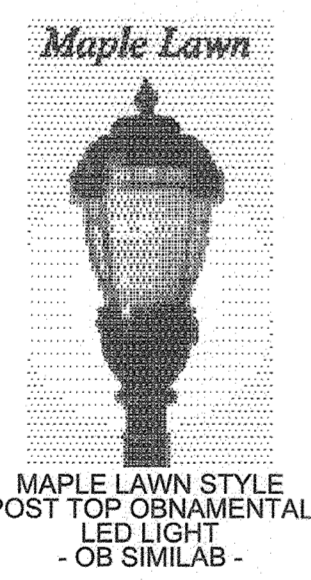
REVISED SITE DEVELOPMENT PLAN
PAVEMENT MARKING AND SIGNAGE PLAN
 PADDOCK POINTE - PHASE 1
 FORMERLY KNOWN AS LAUREL PARK STATION
 64 APARTMENT AND 158 STACKED CONDO UNITS
 TAX MAP: 50 BLOCK: 10
 6TH ELECTION DISTRICT
 PARCELS: 384/441
 PARCELS: A-2, B-1, B-2, B-3, C-1, J, K-1, L, AND P.441 (L10518/F.157) P.441 (L13296/F.377)
 ZONED: TOD
 LOTS D, E-1, F-1, G, H, & I
 HOWARD COUNTY, MARYLAND

VOGEL ENGINEERING
 TIMMONS GROUP
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PROFESSIONAL CERTIFICATE
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 DRAWN BY: DZE
 CHECKED BY: RHV
 DATE: SEPTEMBER 2020
 SCALE: AS SHOWN
 W.O. NO.: 07-11/40111
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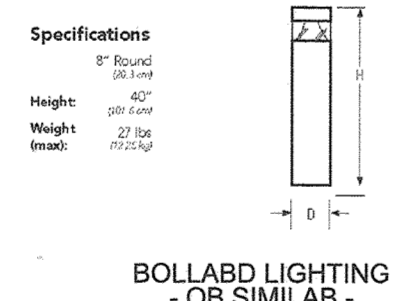
PLAN VIEW
SCALE: 1"=50'



MAPLE LAWN STYLE
POST TOP ORNAMENTAL
LED LIGHT
-OB SIMILAB-



KBR8 LED Type R
LED Specification Bollard



BOLLARD LIGHTING
-OB SIMILAB-

Symbol	Label	Quantity
⊙	ML	55
○	B	38

NO.	REVISION	DATE
5	REVISE PLAN TO SHOW RECONSTRUCTION OF STREAM; ADD TRAIL PLAN AND TRAIL ON PARCEL A-2	9-1-22
3	MODIFICATION OF PHASE 1 LAYOUT, RENAME PLAN, LANDSCAPING, PRIVATE ROAD IMPROVEMENTS, UTILITY LAYOUT AND STORMWATER MANAGEMENT.	09/08/20
2	REVISE THE PLANS TO ILLUSTRATE IRRIGATION LINES WITHIN PRIVATE ROADWAY	07/28/20
1	MODIFICATION OF PHASE 1 LAYOUT, ROAD LAYOUT, UTILITY LAYOUT, STORMWATER MANAGEMENT, AND BYPASS LAYOUT	06/11/19

OWNER
TRIPLE BELL FARMS, LLC
198 LAUREL PARK TRACE RD.
LAUREL, MD 20725
(301) 470-5494

OWNER/DEVELOPER
20006 DELAWARE, INC.
198 LAUREL PARK TRACE RD.
LAUREL, MD 20725
(301) 470-5494

REVISED SITE DEVELOPMENT PLAN
PHOTOMETBIC PLAN
PADDOCK POINTE - PHASE 1
FORMERLY KNOWN AS LAUREL PARK STATION PARCELS: 384/441
64 APARTMENT AND 156 STICKED CONDO UNITS PARCELS: A-2, B-1, B-2
P.384 (L10518/F.157) PARCELS: A-2, B-1, B-2
P.441 (L13298/F.377) PARCELS: C-1, J, K-1, L AND
6TH ELECTION DISTRICT ZONED: TOD LOTS D, E-1, F-1, G, H & I
HOWARD COUNTY, MARYLAND

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TIMMONS GROUP
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P: 410.461.7666 F: 410.461.8961 www.timmons.com

DESIGN BY: RHY/DZE
DRAWN BY: DZE
CHECKED BY: RHY
DATE: SEPTEMBER 2020
SCALE: AS SHOWN
W.O. NO.: 07-11/40111

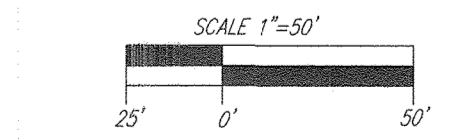
PROFESSIONAL CERTIFICATE
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53 SHEET OF 55



AS-BUILT CERTIFICATION FOR PSWM
I HEREBY CERTIFY THAT THE FACILITY SHOWN ON THIS PLAN WAS CONSTRUCTED AS SHOWN ON THE "AS-BUILT" PLANS AND COMPLIES WITH THE APPROVED PLANS AND SPECIFICATIONS. I HAVE VERIFIED THAT THE CONTRIBUTING DRAINAGE AREA IS SUFFICIENTLY STABILIZED TO PREVENT CLOGGING OF THE UNDERGROUND SWM FACILITY.

16193 9-18-23
P.E. NAME P.E. # DATE
NO ASBUILT INFORMATION ON THIS SHEET



APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

Chief, Development Engineering Division
DATE: 6-10-22

Chief, Division of Land Development
DATE: 6/16/22

Director
DATE: 6/16/22

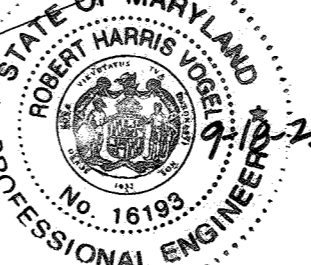
PHASE 1 AREA OF DEVELOPMENT

PHASE 1 AREA OF DEVELOPMENT

PLAN VIEW
SCALE: 1"=120'

TOD RESIDENTIAL DEVELOPMENT TRACKING		
GROSS AREA (LAUREL PARK PROJECT)	69.39 AC.	
MINUS FLOORPLAIN & STEEP SLOPES	14.84 AC.	
DEVELOPABLE ACREAGE (NET)	54.55 AC.	
50% OF DEVELOPABLE AREA (NOT TO EXCEED)	27.28 AC.	
PHASE/PROJECT	AREA	% OF NET
PHASE 1 RESIDENTIAL AREA (SDP-15-043)	5.57 AC.	11.52%
TOTAL	5.57 AC.	11.52%

*NO MORE THAN 50% OF THE DEVELOPABLE AREA ACREAGE, EXCLUDING ROAD RIGHT OF WAY AND OPEN SPACE SHALL BE DEVOTED TO RESIDENTIAL BUILDINGS AND PARKING.



AS-BUILT CERTIFICATION FOR PSWM
I HEREBY CERTIFY THAT THE FACILITY SHOWN ON THIS PLAN WAS CONSTRUCTED AS SHOWN ON THE "AS-BUILT" PLANS AND COMPLIES WITH THE APPROVED PLANS AND SPECIFICATIONS. I HAVE VERIFIED THAT THE CONTRIBUTING DRAINAGE AREA IS SUFFICIENTLY STABILIZED TO PREVENT CLOGGING OF THE UNDERGROUND SWM FACILITY.

NAME: *[Signature]* 16193 P.E. # DATE: 9-18-23

NO AS-BUILT INFORMATION ON THIS SHEET

LEGEND

- PHASE 1 - TOD AREA
- 100-YR FLOODPLAIN

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

[Signature] 6/10/22
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

[Signature] 6/11/22
CHIEF, DIVISION OF LAND DEVELOPMENT DATE

[Signature] 6/11/22
DIRECTOR DATE

NO.	REVISION	DATE
5	REVISE PLAN TO SHOW RECONSTRUCTION OF STREETS AND STREETS DEAN AND TAYLOR ON PARCELS A-2	9-1-22
3	MODIFICATION OF PHASE 1 LAYOUT, RENAME PLAN, LANDSCAPING, PRIVATE ROAD IMPROVEMENTS, UTILITY LAYOUT AND STORMWATER MANAGEMENT.	09/08/20
2	REVISE THE PLANS TO ILLUSTRATE IRRIGATION LINES WITHIN PRIVATE ROADWAY	07/28/20
1	MODIFICATION OF PHASE 1 LAYOUT, ROAD LAYOUT, UTILITY LAYOUT, STORMWATER MANAGEMENT, AND BYPASS LAYOUT	06/11/19

REVISED SITE DEVELOPMENT PLAN
TOD RESIDENTIAL DEVELOPMENT AREA EXHIBIT (PHASE 1)
PADDOCK POINTE - PHASE 1
(FORMERLY KNOWN AS LAUREL PARK STATION) PARCELS: 384/441
64 APARTMENT AND 180 STACKED CONDOS UNITS PARCELS A-2, B-1, B-2, B-3, C-1, J, K-1, L AND P.384 (L.10518/F.157) PARCELS D, E-1, F-1, G, H, & I
P.441 (L.13296/F.377) ZONED: TOD LOTS D, E-1, F-1, G, H, & I
TAX MAP: 50 BLOCK: 10 6TH ELECTION DISTRICT
OWNER: TRIPLE BELL FARMS, LLC. 198 LAUREL RACE TRACK RD. LAUREL, MD 20725 (301) 720-5191
OWNER/DEVELOPER: 20006 DELAWARE, INC. 198 LAUREL RACE TRACK RD. LAUREL, MD 20725 (301) 470-5194

VOGEL ENGINEERING
TIMMONS GROUP
3300 NORTH RIDGE ROAD, SUITE 110, ELLICOTT CITY, MD 21043
P: 410.461.7666 F: 410.461.8961 www.timmons.com

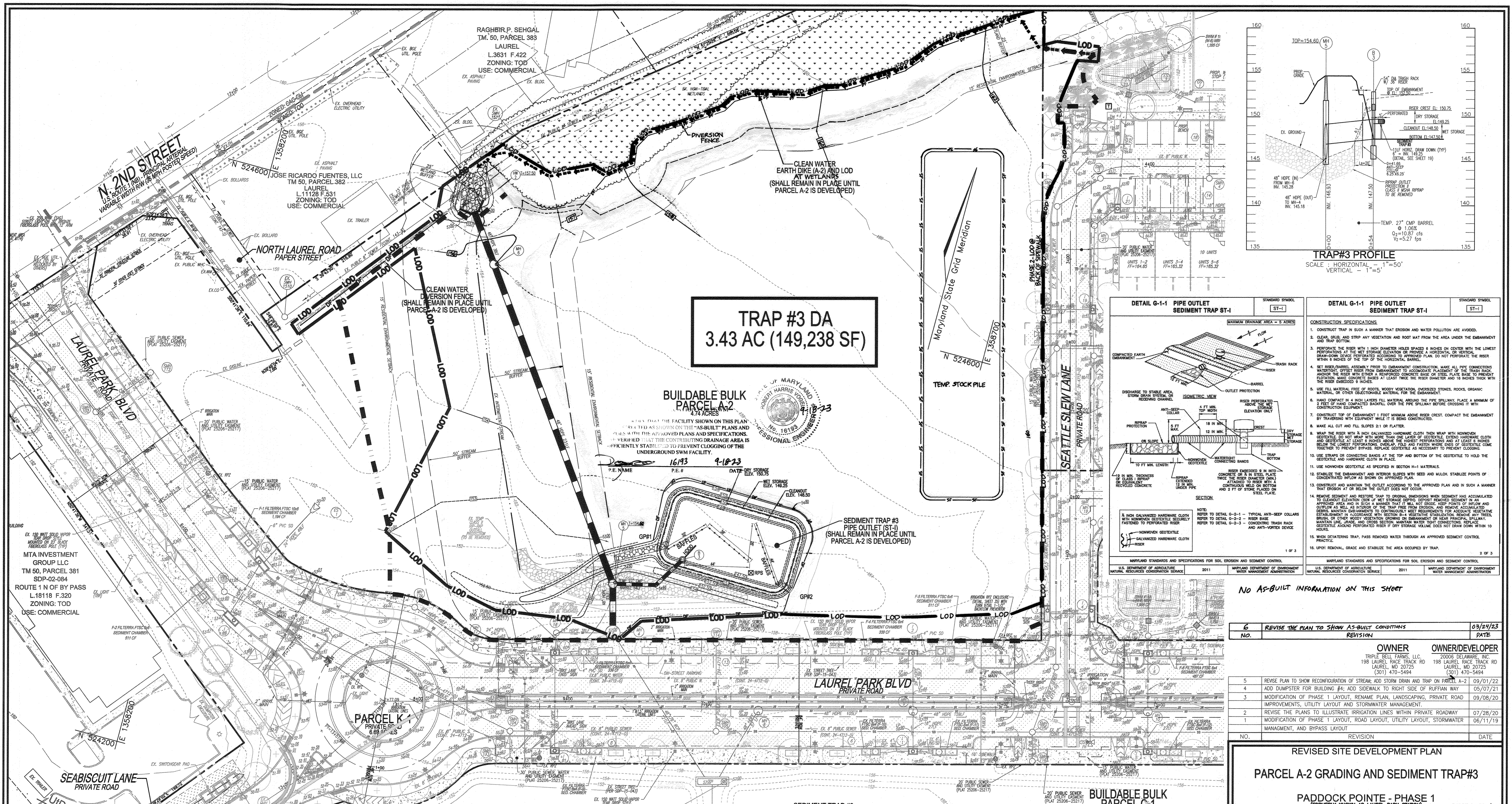
PROFESSIONAL CERTIFICATE
DESIGN BY: RHW/DZE
DRAWN BY: DZE
CHECKED BY: RHW
DATE: SEPTEMBER 2020
SCALE: AS SHOWN
W.O. NO.: 07-11/40111

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A FULLY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 16193, EXPIRATION DATE: 09-27-2022

54 SHEET OF 55
SDP-15-043

NO.	REVISION	DATE
6	REVISE THE PLAN TO SHOW AS-BUILT CONDITIONS	03/21/23

AS-BUILT JULY 2023

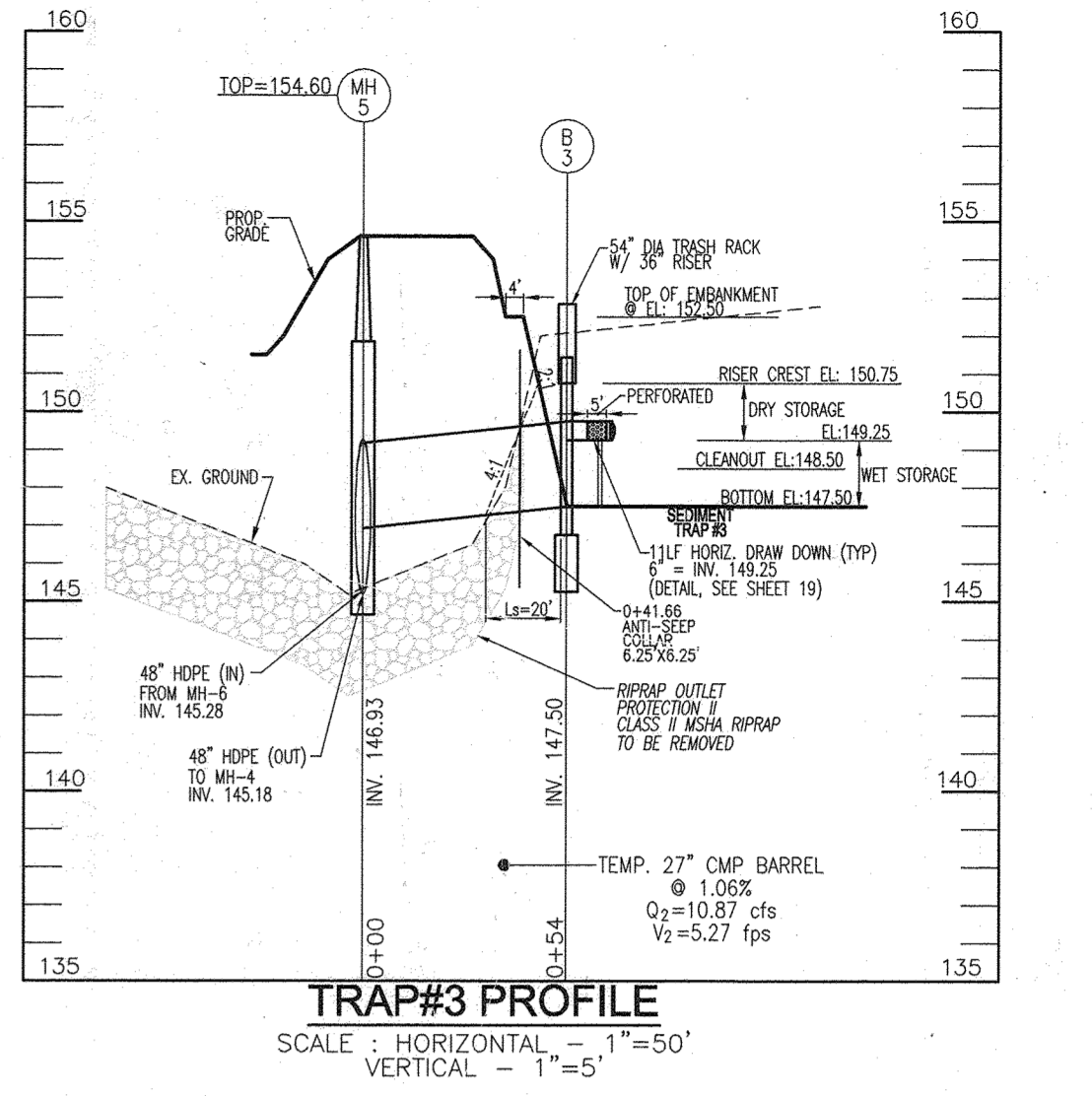
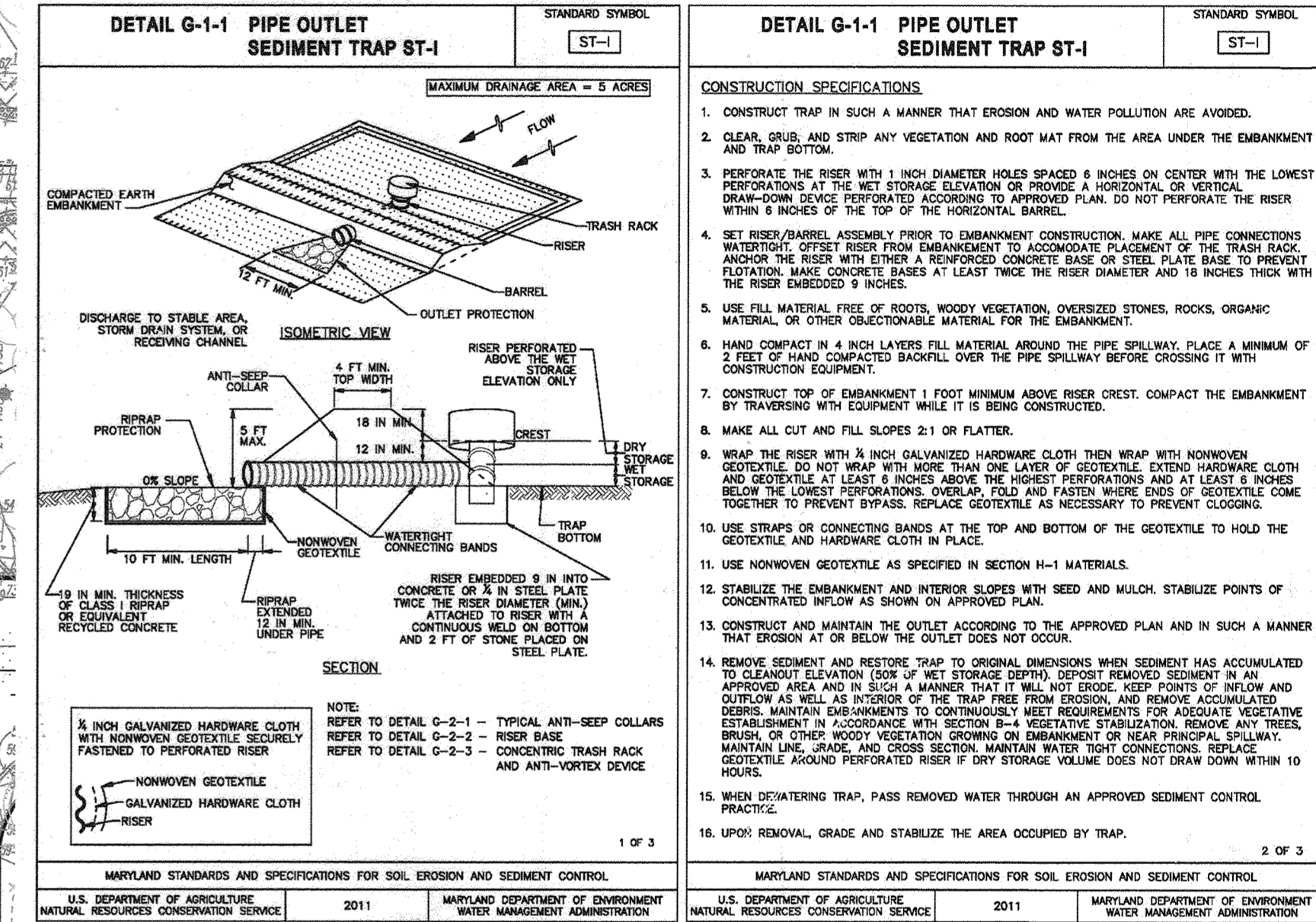


TRAP #3 DA
3.43 AC (149,238 SF)

BUILDABLE BULK PARCEL A-2
4.74 ACRES

SEDIMENT TRAP #3
PIPE OUTLET (ST-1)
(SHALL REMAIN IN PLACE UNTIL PARCEL A-2 IS DEVELOPED)

PARCEL K
PRIVATE RD
8.69 ACRES



NO.	REVISION	DATE
6	REVISE THE PLAN TO SHOW AS-BUILT CONDITIONS	03/24/23
5	REVISE PLAN TO SHOW RECONFIGURATION OF STREAM, ADD STORM DRAIN AND TRAP ON PARCELS A-2	09/01/22
4	ADD DUMPLER FOR BUILDING #4; ADD SIDEWALK TO RIGHT SIDE OF RUFFIAN WAY	09/07/21
3	MODIFICATION OF PHASE 1 LAYOUT, RENAME PLAN, LANDSCAPING, PRIVATE ROAD IMPROVEMENTS, UTILITY LAYOUT AND STORMWATER MANAGEMENT.	09/08/20
2	REVISE THE PLANS TO ILLUSTRATE IRRIGATION LINES WITHIN PRIVATE ROADWAY	07/28/20
1	MODIFICATION OF PHASE 1 LAYOUT, ROAD LAYOUT, UTILITY LAYOUT, STORMWATER MANAGEMENT, AND BYPASS LAYOUT	06/11/19

LEGEND:

	EXISTING CONTOUR		EX. 100 YEAR FLOOD PLAIN, DRAINAGE AND UTILITY EASEMENT
	PROPOSED CONTOUR		EXISTING STREET TREE SGP-15-043
	PROPOSED SPOT ELEVATION		PROPOSED STORM DRAIN
	EXISTING CURB AND GUTTER		PROPOSED MANHOLE
	EXISTING UTILITY POLE		EX. 20' PUBLIC WATER, SEWER, AND UTILITY EASEMENT
	EXISTING LIGHT POLE		LIMIT OF DISTURBANCE
	EXISTING MAILBOX		DIVERSION FENCE
	EXISTING SIGN		BAFFLE
	EXISTING SANITARY MANHOLE		CARBON PROTECTION
	EXISTING SANITARY LINE		REMOVABLE PUMP STATION
	EXISTING FIRE HYDRANT		HORIZONTAL DRAW DOWN DEVICE
	EXISTING WATER LINE		DRAINAGE DIVIDE
	EXISTING STORM DRAIN LINE		
	EXISTING TREE LINE		
	EXISTING SIDEWALK		
	PROPERTY LINE		
	RIGHT-OF-WAY LINE		
	EXISTING STREAM		
	EXISTING STREAM BUFFER		

NOTE:
1. THE LIMIT OF DISTURBANCE SHOWN ON THIS SHEET IS FOR INSTALLATION OF TRAPS AND STORM DRAIN FROM MH-4 TO HW-2 (AS SHOWN). FOR THE ULTIMATE LOD, SEE SHEETS 11-16, 41 & 43.
2. FOR ADDITIONAL SEDIMENT CONTROL DETAILS, SEE SHEETS 11-19.

PLAN VIEW
SCALE: 1"=30'

SEDIMENT TRAP #3
PIPE OUTLET (ST-1)
STD DETAIL G-1-1

DRAINAGE AREA - INITIAL =	3.43 AC
FINISHED =	3.43 AC
TOTAL STORAGE REQUIRED =	12,348 CF
WET STORAGE REQUIRED =	6,174 CF
DRY STORAGE REQUIRED =	6,174 CF
TOTAL STORAGE PROVIDED =	12,348 CF
WET STORAGE PROVIDED =	6,174 CF
DRY STORAGE PROVIDED =	6,174 CF
TRASH RACK HEIGHT =	25 IN
BOTTOM OF TRAP EL. =	147.50
BOTTOM TRAP DIM. =	APPROX. 40'x60'
RISER CREST DRY STORAGE EL. =	152.50
CLEANOUT EL. =	148.50
TOP OF EMBANKMENT =	152.50
SIDE SLOPES =	2:1
EMBANKMENT TOP WITH PRINCIPAL SPILLWAY MATERIAL =	CMP
RISER DIAMETER =	24 IN
BARREL DIAMETER =	24 IN
TRASH RACK DIAMETER =	24 IN
ANGLE-DEEP COLLAR DIMENSIONS =	(1) 8.25'x6.25'
OUTLET PROTECTION LENGTH =	N/A
OUTLET PROTECTION WIDTH/DEPTH =	3'x3'
* ON OVER 2:1 SLOPE, POWER TROW NOT REQUIRED AS TRAP DISCHARGES TO CLOSED STORM DRAIN SYSTEM	

BATTLE DESIGN TRAP #3
RISER W/ STORAGE EL. = 6,327 SF
MIN L₁ = W x 2 = 114'

INFLOW GP#1
L₁= 32' INFLOW GP#2
L₂= 38' INFLOW GP#3
L₃= 44' INFLOW GP#4
L₄= 44' INFLOW GP#5

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

[Signature] 9-29-22
CHIEF, DEVELOPMENT ENGINEERING DIVISION

[Signature] 10-4-22
CHIEF, DIVISION OF LAND DEVELOPMENT

[Signature]
DIRECTOR

OWNER/DEVELOPER CERTIFICATION:
I/WE CERTIFY THAT ANY CLEARING, GRADING, CONSTRUCTION, OR DEVELOPMENT WILL BE DONE PURSUANT TO THIS APPROVED EROSION AND SEDIMENT CONTROL PLAN, INCLUDING INSPECTING AND MAINTAINING CONTROLS, AND THAT ALL RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A MARYLAND DEPARTMENT OF THE ENVIRONMENT (MDE) APPROVED TRAINING PROGRAM FOR THE CONTROL OF EROSION AND SEDIMENT DURING CONSTRUCTION. I/WE CERTIFY THAT THE PROJECT WILL BE PERIODIC ON-SITE EVALUATION BY HOWARD COUNTY, THE HOWARD SOIL CONSERVATION DISTRICT AND/OR MDE.

[Signature] 9-14-22
OWNER/DEVELOPER SIGNATURE

[Signature] 9-14-22
DESIGNER'S SIGNATURE

ROBERT H. VOGEL
PRINTED NAME

NO. REGISTRATION NO. 16193
R.L.S. OR R.L.A. (circle one)

DESIGN CERTIFICATION:
I HEREBY CERTIFY THAT THIS PLAN HAS BEEN DESIGNED IN ACCORDANCE WITH CURRENT MARYLAND EROSION AND SEDIMENT CONTROL LAWS, REGULATIONS, AND STANDARDS, THAT IT REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

[Signature] 10/28/22
DATE

[Signature]
HOWARD S.C.D.

REVISED SITE DEVELOPMENT PLAN
PARCEL A-2 GRADING AND SEDIMENT TRAP#3

PADDOCK POINT - PHASE 1
(FORMERLY KNOWN AS LAUREL PARK STATION)
64 APARTMENT AND 156 STACKED CONDOS UNITS
P.384 (L10518/F157)
P.441 (L13298/F377)
ZONED: TOD

PARCELS: 384/441
PARCELS A-2, B-1, B-2
B-3, C-1, J, K-1, L
PARCELS D, E, J, F-1, G, H, I
HOWARD COUNTY, MARYLAND

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DESIGN BY: RHV/DZE
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DATE: SEPT 2022
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55 SHEET OF 55

AS-BUILT JULY 2023