

**SITE DEVELOPMENT PLANS
MORRIS PLACE
LOTS 1-53, OPEN SPACE
LOTS 54 THRU 61 AND NON-BUILDABLE
BULK PARCELS 'A' THRU 'C'
PHASES I-IV
TAX MAP No. 43 GRID No. 4 PARCEL NO. 599
FIRST ELECTION DISTRICT HOWARD COUNTY, MARYLAND**

SHEET INDEX

SHEET NO.	DESCRIPTION
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ADDRESS CHART

LOT NUMBER	STREET ADDRESS
1	7834 TAGGART COURT
2	7832 TAGGART COURT
3	7830 TAGGART COURT
4	7828 TAGGART COURT
5	7826 TAGGART COURT
6	7822 TAGGART COURT
7	7820 TAGGART COURT
8	7818 TAGGART COURT
9	7816 TAGGART COURT
10	7812 TAGGART COURT
11	7810 TAGGART COURT
12	7808 TAGGART COURT
13	7806 TAGGART COURT
14	7804 TAGGART COURT
15	7976 QUIDDITCH LANE
16	7974 QUIDDITCH LANE
17	7972 QUIDDITCH LANE
18	7970 QUIDDITCH LANE
19	7968 QUIDDITCH LANE
20	7819 TAGGART COURT
21	7821 TAGGART COURT
22	7823 TAGGART COURT
23	7825 TAGGART COURT
24	7829 TAGGART COURT
25	7831 TAGGART COURT
26	7833 TAGGART COURT
27	7835 TAGGART COURT
28	7710 DAGNY WAY
29	7712 DAGNY WAY
30	7714 DAGNY WAY
31	7716 DAGNY WAY
32	7718 DAGNY WAY
33	7720 DAGNY WAY
34	7722 DAGNY WAY
35	7724 DAGNY WAY
36	7726 DAGNY WAY
37	7730 DAGNY WAY
38	7732 DAGNY WAY
39	7734 DAGNY WAY
40	7721 DAGNY WAY
41	7723 DAGNY WAY
42	7725 DAGNY WAY
43	7727 DAGNY WAY
44	7729 DAGNY WAY
45	7759 DAGNY WAY
46	7761 DAGNY WAY
47	7763 DAGNY WAY
48	7765 DAGNY WAY
49	7769 DAGNY WAY
50	7771 DAGNY WAY
51	7773 DAGNY WAY
52	7775 DAGNY WAY
53	7777 DAGNY WAY

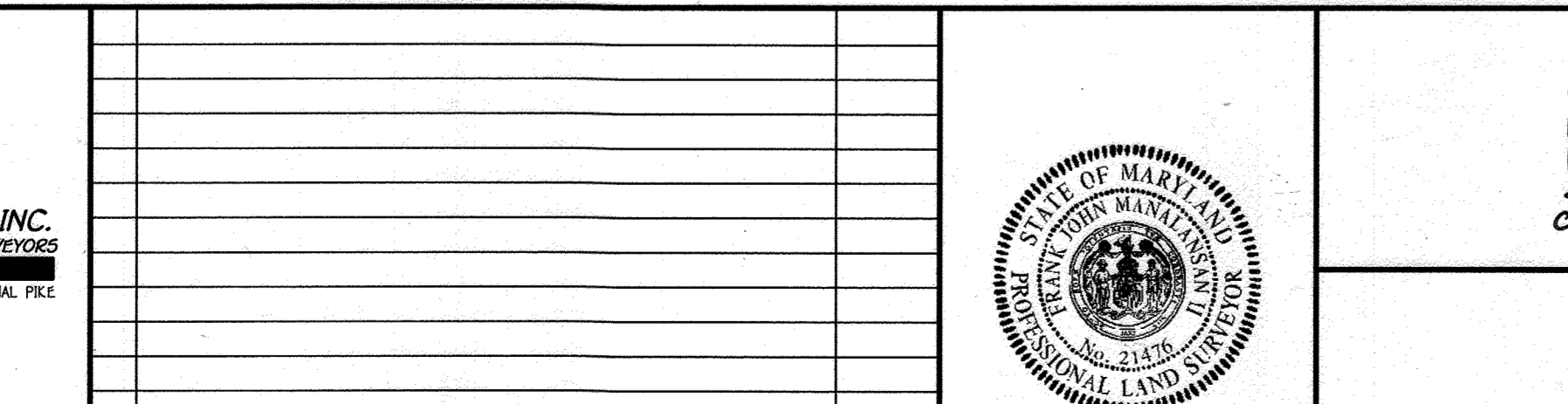
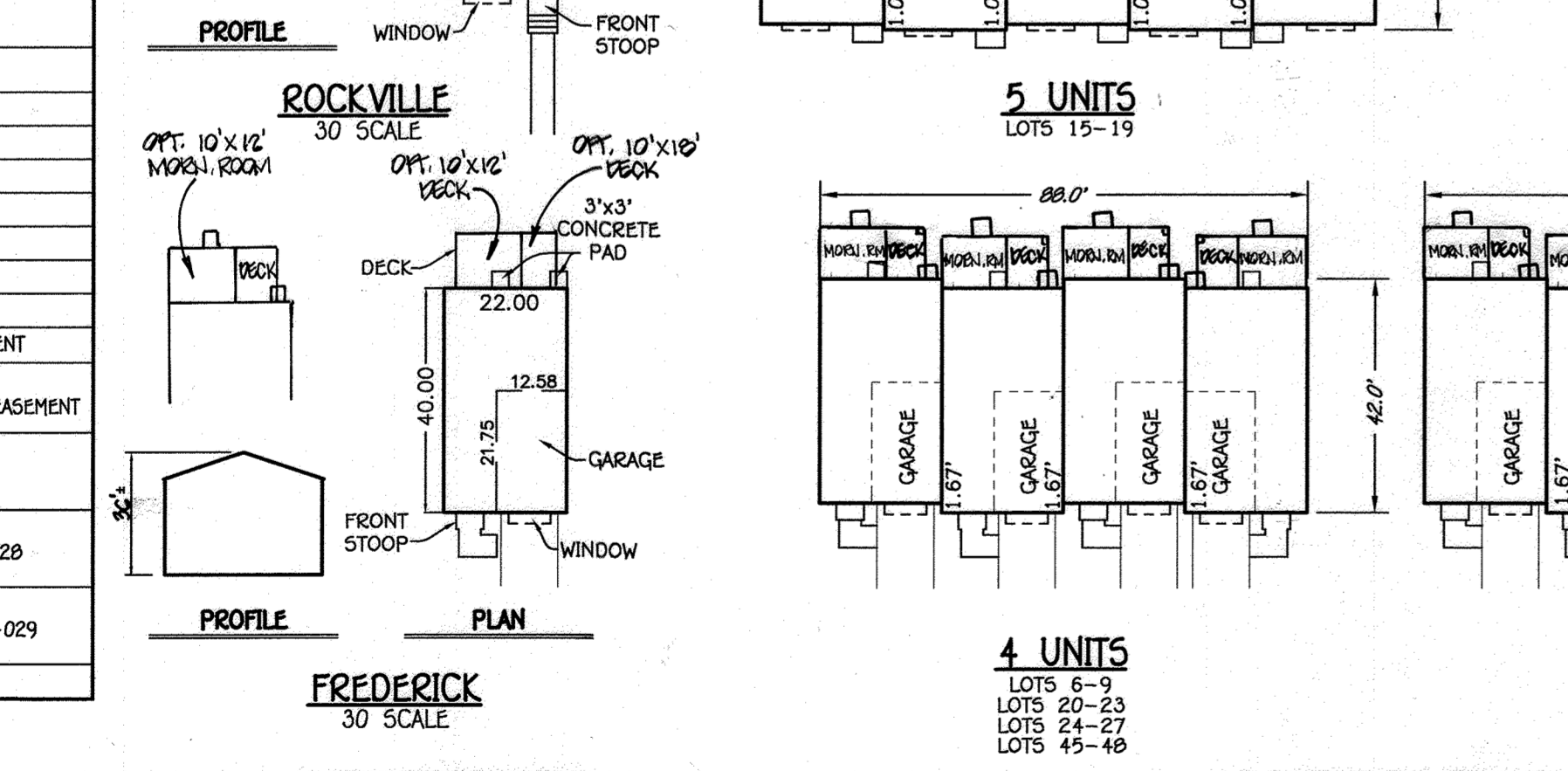
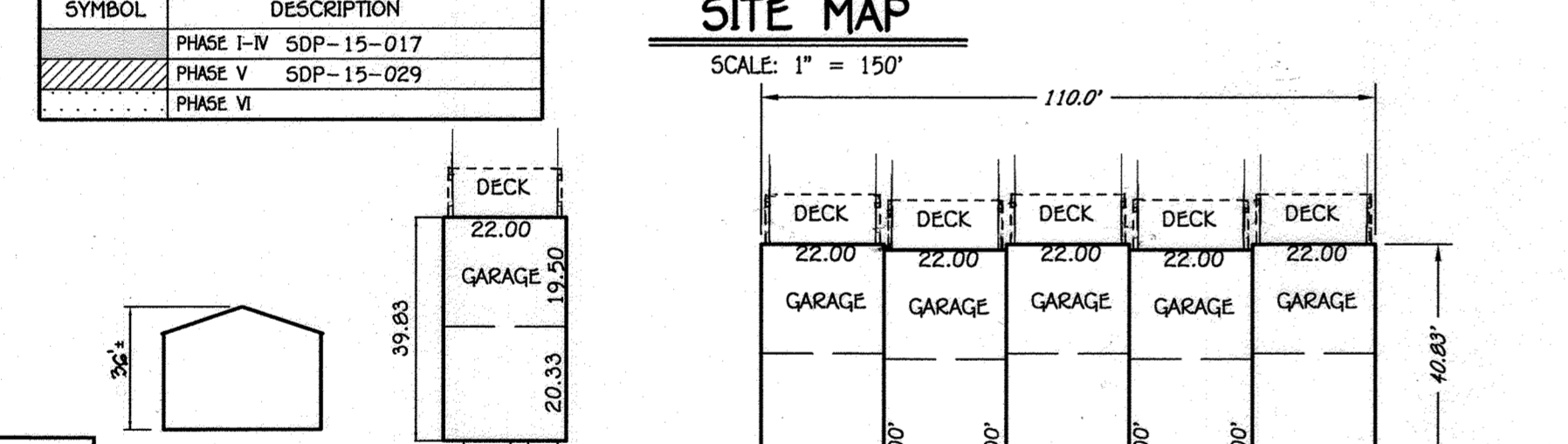
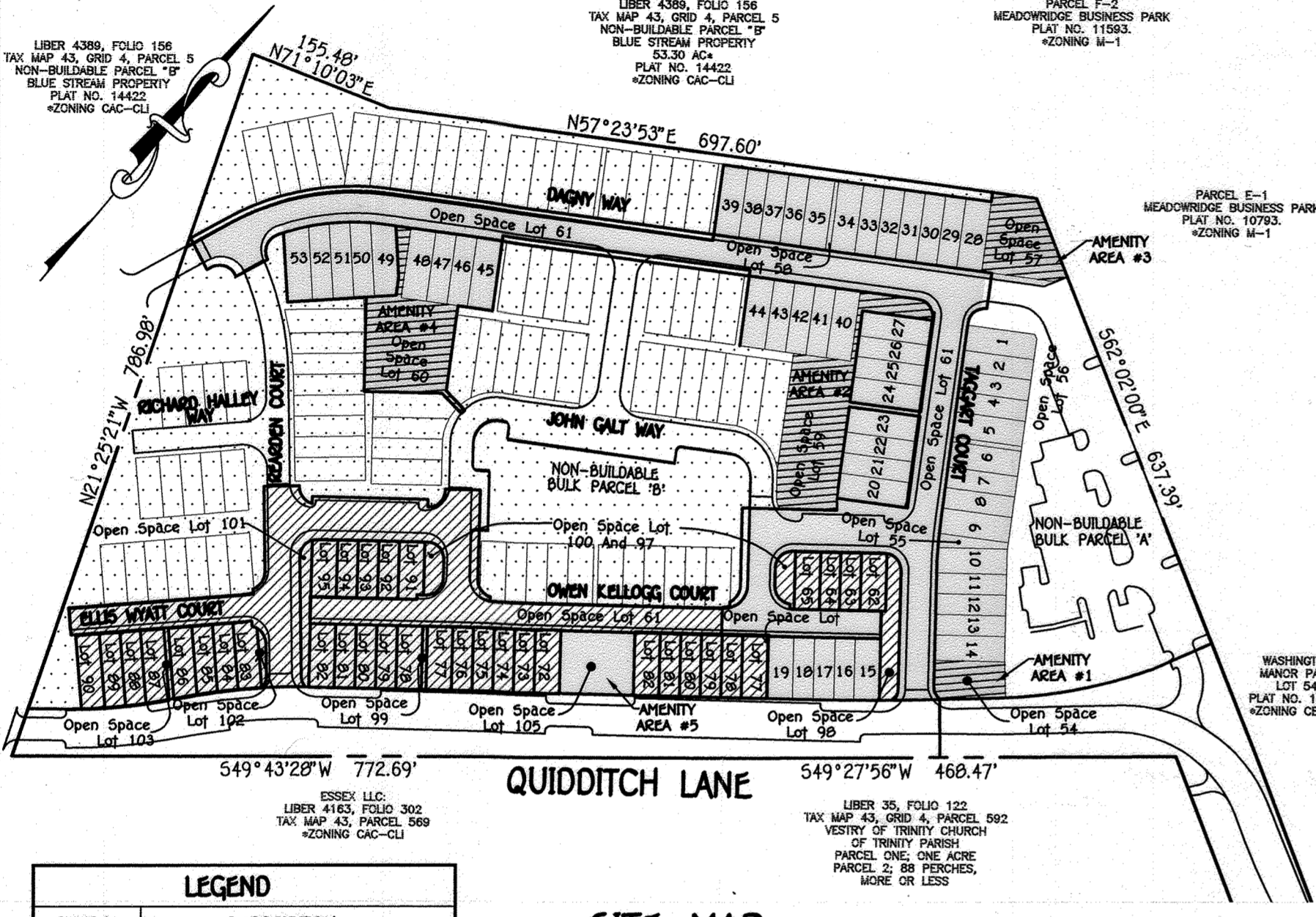
STREET SIGN CHART

STREET NAME	STATION	OFFSET	POSTED SIGN	SIGN CODE
TAGGART COURT	0+29	20' L	STOP	R1-1
TAGGART COURT	1+37	19' R	SPEED LIMIT 25 MPH	R2-1
TAGGART COURT	4+11	17' R	STOP	R1-1
DAGNY WAY	4+71	19' L	SPEED LIMIT 25 MPH	R2-1
DAGNY WAY	0+155	26' R	STOP	R1-1
CHESTER BROOKS WAY	1+146	17' R	STOP	R1-1
CHESTER BROOKS WAY	0+126	17' R	STOP	R1-1
JOHN GALT WAY	6+169	17' R	STOP	R1-1

9x9 - MOUNT STREET MARK SIGN ABOVE STOP SIGN

AMENITY AREA CHART

PHASE	REQUIRED	PROVIDED	AREA #	PROGRAM
EXISTING I-III	0.50 AC.	0.51 AC.	5	PASSIVE SITTING AREA W/BENCHES, SHADE TREES AND PLANTED SWM FACILITY
EXISTING IV	0.22 AC.	0.22 AC.	1	PASSIVE SITTING AREA W/BENCH AND SHADE TREES
			2	WALKING/SITTING AREA W/BENCHES, SHADE TREES WALKWAY, PLANTED SWM FACILITIES AND 50'x25' OPEN PLAY AREA
			3	80'x50' OPEN PLAY AREA W/BENCH AND SHADE TREES
			4	WALKING/SITTING AREA W/BENCHES, SHADE TREES WALKWAY, PLANTED SWM FACILITIES AND 40'x20' OPEN PLAY AREA
V	0.27 AC.	0.34 AC.	6	PASSIVE SITTING AREA W/BENCHES SHADE TREES
FUTURE VI	0.74 AC.	0.89 AC.	7	MULTI-USE RECREATION AREA - DETAILS WITH FUTURE SDP
			8	MULTI-USE RECREATION AREA - DETAILS WITH FUTURE SDP
TOTAL	1.73 AC.	1.95 AC.		



STREET LIGHT CHART

STREET NAME	STATION	OFFSET	FIXTURE/POLE TYPE
TAGGART COURT	0+29	20' L	100-wht HPS VAPOR EQUIVALENT LED MOUNTED ON A 12-FOOT BLACK FIBERGLASS POLE (WITH A SHROUD)
TAGGART COURT	1+37	19' R	100-wht HPS VAPOR EQUIVALENT LED MOUNTED ON A 12-FOOT BLACK FIBERGLASS POLE (WITH A SHROUD)
TAGGART COURT	4+11	17' R	100-wht HPS VAPOR EQUIVALENT LED MOUNTED ON A 12-FOOT BLACK FIBERGLASS POLE (WITH A SHROUD)
DAGNY WAY	4+71	19' L	100-wht HPS VAPOR EQUIVALENT LED MOUNTED ON A 12-FOOT BLACK FIBERGLASS POLE (WITH A SHROUD)
DAGNY WAY	0+155	26' R	100-wht HPS VAPOR EQUIVALENT LED MOUNTED ON A 12-FOOT BLACK FIBERGLASS POLE (WITH A SHROUD)
CHESTER BROOKS WAY	1+146	17' R	100-wht HPS VAPOR EQUIVALENT LED MOUNTED ON A 12-FOOT BLACK FIBERGLASS POLE (WITH A SHROUD)
CHESTER BROOKS WAY	0+126	17' R	100-wht HPS VAPOR EQUIVALENT LED MOUNTED ON A 12-FOOT BLACK FIBERGLASS POLE (WITH A SHROUD)
JOHN GALT WAY	6+169	17' R	100-wht HPS VAPOR EQUIVALENT LED MOUNTED ON A 12-FOOT BLACK FIBERGLASS POLE (WITH A SHROUD)

RESIDENTIAL PARKING TABULATION

TOTAL RESIDENTIAL PARKING PROVIDED: 362 PARKING SPACES

TOWNHOUSES: 2 SPACES PER UNIT = 32 PARKING SPACES
OVERFLOW PARKING 0.3 PER UNIT = 50 PARKING SPACES

PHASES I-IV RESIDENTIAL PARKING PROVIDED: 172 PARKING SPACES
40 FRONT LOAD TOWNHOUSES: 96 SPACES
2 SPACES PER UNIT (1 GARAGE + 1 DRIVEWAY)
5 REAR LOAD TOWNHOUSES: 20 SPACES
4 SPACES PER UNIT (2 GARAGE + 2 DRIVEWAY)

OVERFLOW SPACES: 56 SPACES PROVIDED BY ON-STREET PARKING
EXISTING ON-STREET PARKING PER F-14-028: 53 SPACES PROVIDED BY THIS SDP

FUTURE PHASE V RESIDENTIAL PARKING PROVIDED: 140 PARKING SPACES
34 REAR LOAD TOWNHOUSES: 136 SPACES
4 SPACES PER UNIT (2 GARAGE + 2 DRIVEWAY)

OVERFLOW SPACES: 4 SPACES PROVIDED BY ON-STREET PARKING

FUTURE PHASE VI RESIDENTIAL PARKING PROVIDED: 239 PARKING SPACES
52 FRONT LOAD TOWNHOUSES: 104 SPACES
2 SPACES PER UNIT (1 GARAGE + 1 DRIVEWAY)
27 REAR LOAD TOWNHOUSES: 108 SPACES
4 SPACES PER UNIT (2 GARAGE + 2 DRIVEWAY)

OVERFLOW SPACES: 27 SPACES PROVIDED BY ON-STREET PARKING

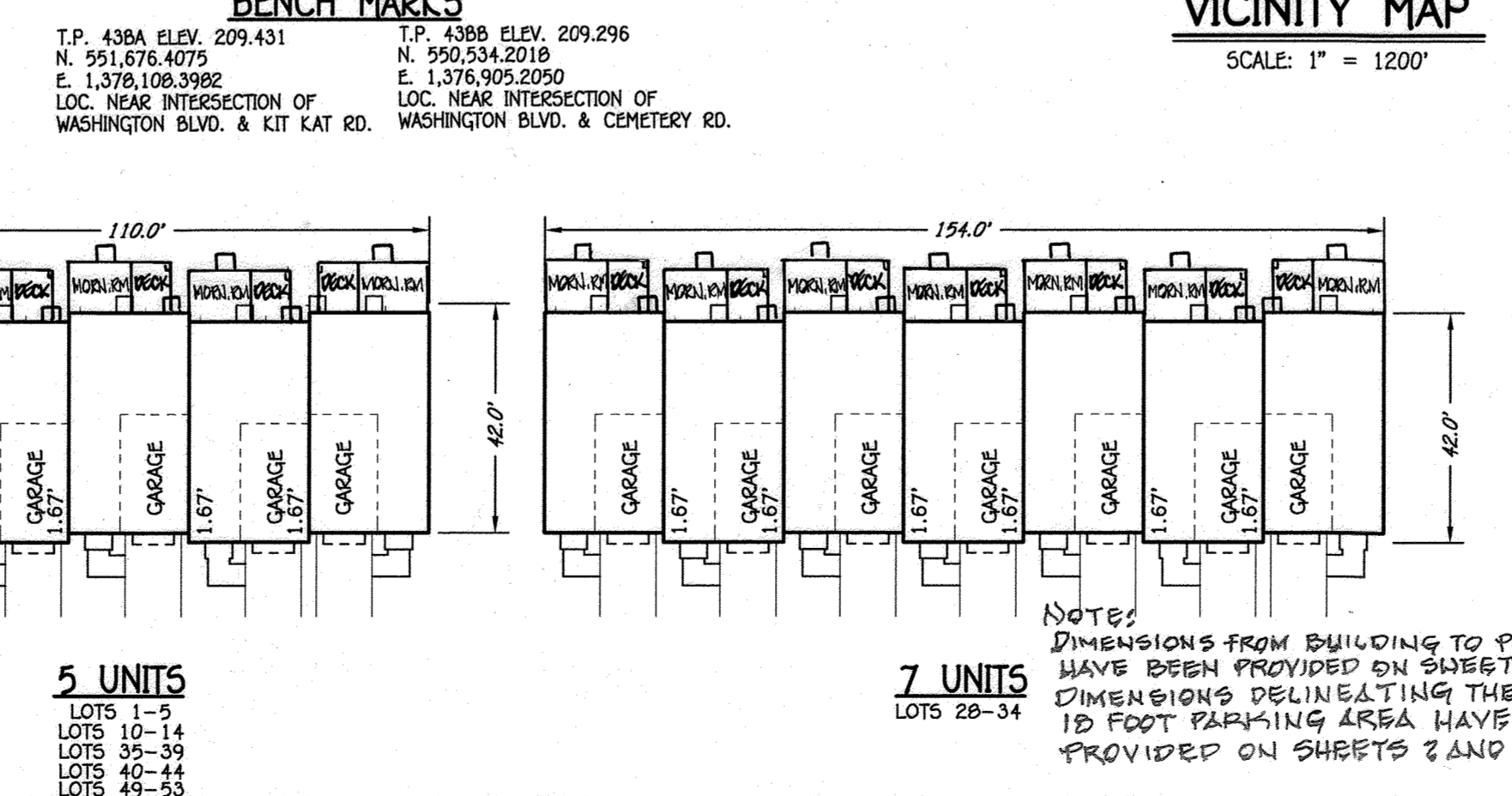
TOTAL TOWNHOUSES: 464

TOTAL RESIDENTIAL PARKING PROVIDED: 551 PARKING SPACES

TOTAL ON-STREET PARKING = 87 PARKING SPACES

GENERAL NOTES

- SUBJECT PROPERTY IS ZONED CAC-CU PER THE 2/2/04 COMPREHENSIVE ZONING PLAN AND THE COMP LITE ZONING AMENDMENTS EFFECTIVE 7/28/06.
- COORDINATES BASED ON NAD '83, MARYLAND COORDINATE SYSTEM AS PROJECTED BY HOWARD COUNTY GEODETIC CONTROL STATIONS NO. 438A AND NO. 438B.
- THIS PLAN IS BASED ON FIELD SURVEY MONUMENTED SURVEY PERFORMED ON OR ABOUT OCTOBER 2007 BY FISHER, COLLINS AND CARTER, INC.
- DISTANCES SHOWN ARE BASED ON SURFACE MEASUREMENT AND NOT REDUCED TO NAD '83 GRID MEASUREMENT.
- TOPOGRAPHIC CONTOURS ARE BASED ON AERIAL CONTOURS MAPPING BY HARFORD AERIAL PHOTOGRAPHED ON SEPTEMBER 18, 2007 AND SUPPLEMENTED WITH A FIELD SURVEY PERFORMED BY FISHER, COLLINS AND CARTER, INC. DATED OCTOBER 24, 2007.
- DRIVEWAYS SHALL BE PROVIDED PRIOR TO ISSUANCE OF A USE AND OCCUPANCY PERMIT FOR ANY NEW DWELLINGS TO INSURE SAFE ACCESS FOR FIRE AND EMERGENCY VEHICLES PER THE FOLLOWING MINIMUM REQUIREMENTS:
WIDTH - 12' (16' SERVING MORE THAN ONE RESIDENCE)
SURFACE - 6" OF COMPACTED CRUSHER RUN BASE WITH TAR AND CHIP COATING (1-1 1/2" MIN) GEOMETRY - MAX 15% GRADE, MAX 10% GRADE CHANGE AND MIN .4% TURNING RADII
STRUCTURE (CULVERTS/BRIDGES) - CAPABLE OF SUPPORTING 25 GROSS TONS (HSY LOADING)
DRAINAGE ELEMENTS - SAFELY PASSING 100-YEAR FLOOD WITH NO MORE THAN 1 FOOT DEPTH OVER DRAINWAYS
- PROPERTY SUBJECT TO PRIOR DEPARTMENT OF PLANNING AND ZONING FILE NO'S: ECP-13-035, SDP-91-50, SDP-91-50, F-15-047, F-15-001, W-14-028, F-14-028, F-15-047, SDP-15-029 AND W & S CONTRACT NO. 14-4777-D.
- TO THE BEST OF OUR KNOWLEDGE, NO CEMETERIES EXIST ON SITE BY BOTH VISUAL OBSERVATION AND REVIEW OF AVAILABLE HOWARD COUNTY INFORMATION.
- THIS PROPERTY IS NOT LOCATED IN A HISTORIC DISTRICT.
- THIS PROJECT IS SUBJECT TO THE AMENDED FIFTH EDITION OF THE SUBDIVISION AND LAND DEVELOPMENT REGULATIONS AND ADVERSELY AS REGULATED BY THE HOWARD COUNTY DESIGN MANUAL, VOLUME III (2006), SECTION 9.5.A. A MINIMUM OF 20' SHALL BE MAINTAINED BETWEEN ANY STREET LIGHT AND ANY TREE.
- PRIVATE ROAD STREET NAME SIGN ASSEMBLY SHALL BE FABRICATED AND INSTALLED (FOR EACH OF THE PRIVATE ROADS INTERSECTING QUIDDITCH COURT) BY HOWARD COUNTY BEFORE PROJECT BEGINNING. CONTACT HOWARD COUNTY TRAFFIC DIVISION AT (410) 313-5752 FOR DETAILS AND COST ESTIMATES.
- ALL SWALES AND SLOPES SHALL BE PERMANENTLY SEED OR OTHERWISE STABILIZED.
- ALL FILL AREAS (ROADWAYS, UNDER STRUCTURES, ETC.) TO BE COMPACTED TO A MINIMUM OF 95% COMPACT DEVELOPMENT WITH A 2'-2" GALVANIZED STEEL PERFORATED SQUARE TUBE SLEEVE (12 GAUGE) - 3' LONG, THE ANCHOR SHALL NOT EXTEND MORE THAN TWO INCH PUNCH HOLES ABOVE GROUND LEVEL. A GALVANIZED STEEL POLE CAP SHALL BE MOUNTED ON TOP OF EACH POST.
- STREET LIGHT PLACEMENT AND THE TYPE OF FIXTURES AND ROLLS SHALL BE IN ACCORDANCE WITH THE HOWARD COUNTY DESIGN MANUAL, VOLUME III (2006), SECTION 9.5.A. A MINIMUM OF 20' SHALL BE MAINTAINED BETWEEN ANY STREET LIGHT AND ANY TREE.
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- IN ACCORDANCE WITH SECTION 12B OF THE HOWARD COUNTY ZONING REGULATIONS, BAY WINDOWS, CHIMNEYS OR EXTERIOR STAIRWAYS NOT MORE THAN 16 FEET IN HEIGHT SHALL BE LOCATED ON OR OVER THE SIDE EASEMENT AREA. PORCHES, DECKS, OR ENCLOSURE MAY PROJECT NOT MORE THAN 10 FEET INTO THE FRONT OR REAR YARD SETBACK.
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FISHER, COLLINS & CARTER, INC.
CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
CENTRAL SQUARE OFFICE PARK - 10722 BALDWIN NATIONAL PARK
ELLCOTT CITY, MARYLAND 21042
(410) 461 - 2959



AS-BUILT CERTIFICATION FOR SDP
There is no "AS-BUILT" information provided on this sheet.
Charles J. Croninger, R.E.P./3804
Date: 12/18/20

PROFESSIONAL CERTIFICATION
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND THAT I AM A DULY LICENSED PROFESSIONAL SURVEYOR UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 21476, EXPIRATION DATE: 7/11/17.
Frank John Malalansan II, L.S. No. 21476
Date: 8/15/15

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
Date: 10-7-15
Date: 10-2-15
Date: 10-7-15

COVER SHEET

**SINGLE FAMILY TOWNHOUSE
MORRIS PLACE**
LOTS 1 THRU 53, OPEN SPACE LOTS 54 THRU 61 &
NON-BUILDABLE BULK PARCELS 'A' THRU 'C'
PHASES I-IV

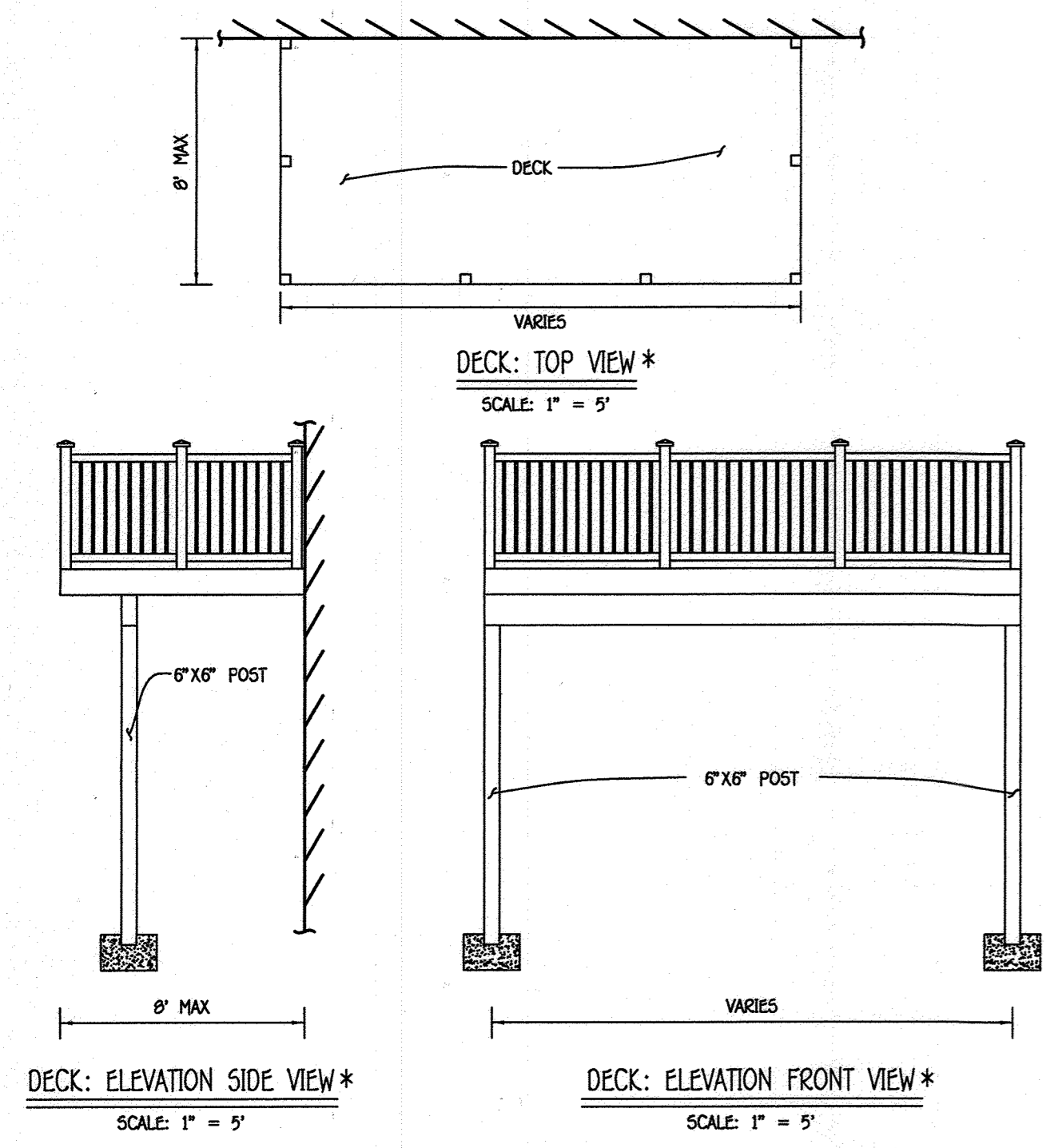
PLAT	BLOCK NO.	ZONE	TAX/ZONE	ELEC. DIST.	CENSUS TR.
23345-23348	4	CAC-CU	43	1	6069.02

PREVIOUS HOWARD COUNTY FILE NO'S: ECP-13-035, SDP-92-148, SDP-91-50, 5-10-02, P-13-001, WP-12-173, WP-14-068, F-15-028, F-15-047, SDP-15-029 AND W & S CONTRACT NO. 14-4777-D.

TAX MAP No. 43 PARCEL NO. 599 GRID No. 4
FIRST ELECTION DISTRICT HOWARD COUNTY, MARYLAND
SCALE: AS SHOWN DATE: AUGUST, 2015
SHEET 1 OF 14 SDP 15-017

THERE IS NO "AS-BUILT" INFORMATION PROVIDED ON THIS SHEET

PROPOSED ALIGNMENT CURVE TABLE							
CURVE #	ROAD NAME	STATION	RADIUS	LENGTH	DELTA	TANGENT	CHORD
C1	TAGGART COURT	STA 1+59.19 TO STA 2+21.64	550.00'	62.45'	010°25'03"	62.42'	N35° 51' 18.04"W



TYPICAL DECK: DETAILS & NOTES *

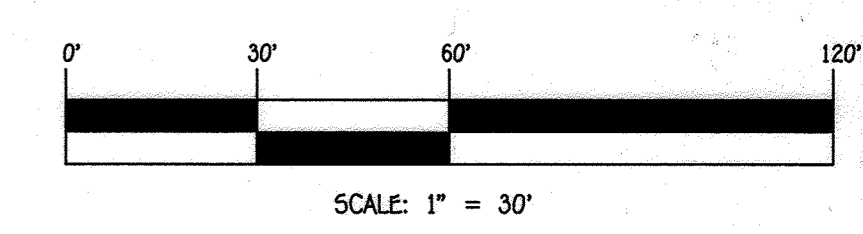
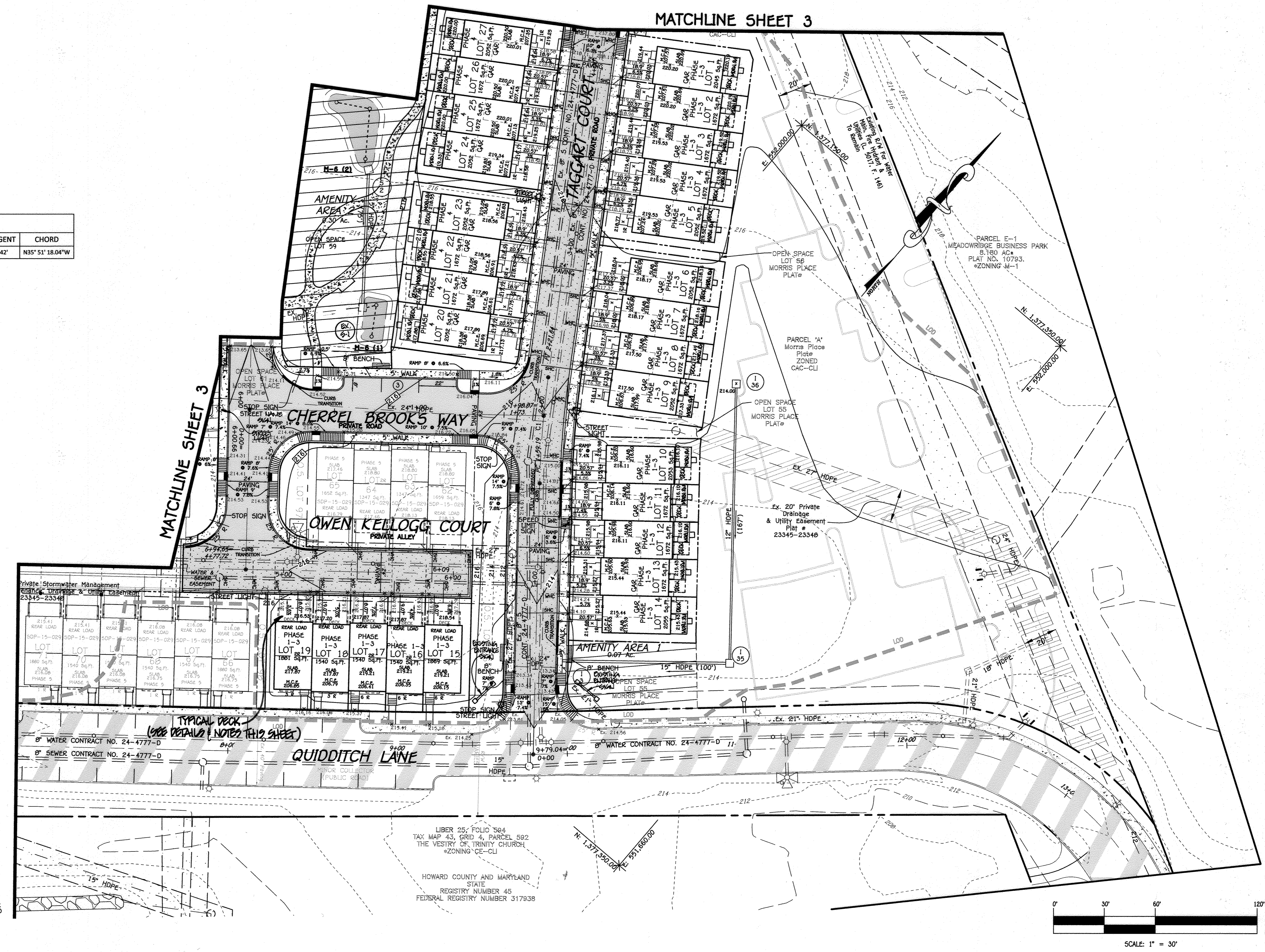
DECK WAIVER REFERENCE NOTE

BY LETTER DATED JUNE 13, 2016, MR. THOMAS BUTLER, DEPUTY DIRECTOR, DEPARTMENT OF PUBLIC WORKS, APPROVED A WAIVER ALLOWING THE CONSTRUCTION OF A DECK, 8' DEEP MAXIMUM, ON LOTS 15 THRU 19, LOTS 'A' THRU 'D', LOT 'NN', LOT 'OO' & LOT 'QQ' WHICH PROTRUDES A MAXIMUM OF 5' INTO THE 10' STRUCTURE SETBACK FROM THE PUBLIC SEWER, WATER & UTILITY EASEMENT.

DECK CONDITIONS / LIMITATIONS:

1. PROPOSED DECK SHALL BE A MAXIMUM SIZE OF 8 FEET DEEP.
2. THE FOUNDATION FOR EACH DECK POST SHALL BE A MINIMUM OF 5 FEET FROM ANY WATER METER OR SEWER CLEANOUT, OR PUBLIC WATER/SEWER APPURTENANCE.
3. THE CONSTRUCTION OF ACCESS STEPS, FROM/TWO EXTERIOR GRADE FOR THE DECKS SHALL NOT BE PERMITTED.
4. REFERENCE WAIVER APPROVAL LETTER DATED JUNE 13, 2016.
5. THE WAIVER APPROVAL FOR CONT. NO. 14-4777-D IS LIMITED ONLY TO LOTS 15 THRU 19, LOTS 'A' THRU 'D', LOT 'NN', LOT 'OO' & LOT 'QQ' AND A SEPARATE WAIVER SHALL BE REQUIRED FOR PROPOSED DECKS ON TOWNHOME GROUPINGS ELSEWHERE WITHIN THE DEVELOPMENT, SHOULD THE PROPOSED DECKS NOT MEET HOWARD COUNTY WATER AND SEWER DESIGN MANUAL, VOLUME II REQUIREMENTS.

LEGEND	
SYMBOL	DESCRIPTION
---	EXISTING CONTOUR 2' INTERVAL
---	PROPOSED CONTOUR 2' INTERVAL
X362.2	SPOT ELEVATION
SSP/TP	SILT FENCE
SSP-SSP	SUPER SILT FENCE
LDD	LIMIT OF DISTURBANCE
---	WATER AND SEWER EASEMENT
---	PRIVATE DRAINAGE & UTILITY EASEMENT
---	PRIVATE STORMWATER MANAGEMENT MAINTENANCE, DRAINAGE & UTILITY EASEMENT
(Tree symbol)	PROPOSED TREE
(Sun symbol)	EXISTING LANDSCAPING PER F-14-028
(Sun symbol)	FUTURE LANDSCAPING PER S0P-15-029
(Star symbol)	STREETLIGHT



FISHER, COLLINS & CARTER, INC.
 CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
 CENTRAL SQUARE OFFICE: PHASE - 10272 BALTIMORE NATIONAL PIKE
 ELLETTT CITY, MARYLAND 21142
 (410) 461-2999



AS-BUILT CERTIFICATION
 Note: There is no "AS BUILT" information provided on this sheet.
 CHARLES J. CRONIN, S.R.P.E., #13004
 12/8/28
 Date

PROFESSIONAL CERTIFICATION
 I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND THAT I AM A DULY LICENSED PROFESSIONAL SURVEYOR UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 21476, EXPIRATION DATE: 7/14/17.
 Frank John Manalansan II, L.S. NO. 21476
 DATE

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
 Chief, Division of Land Development: 10-7-15
 Date
 Chief, Development Engineering Division: 10-2-15
 Date
 Director - Department of Planning and Zoning: 10-7-16
 Date

SITE DEVELOPMENT PLAN
 SINGLE FAMILY TOWNHOUSE
MORRIS PLACE
 LOTS 1 THRU 53, OPEN SPACE LOTS 54 THRU 61 & NON-BUILDABLE BULK PARCELS 'A' THRU 'C'
 PHASES I-IV
 ZONED: CAC-CL1
 PREVIOUS HOWARD COUNTY FILES: ECP-13-035, S0P-02-148, S0P-91-50, 5-10-02, P-13-001, WP-12-173, WP-14-068, F-14-028, F-15-047, S0P-15-029 AND W & 5 CONTRACT NO. 14-4777-D
 TAX MAP NO.: 43 PARCEL NO.: 599 GRID NO.: 4
 PREC. ELECTION DISTRICT HOWARD COUNTY, MARYLAND
 SCALE: 1" = 30' DATE: AUGUST, 2015
 SHEET 2 OF 14

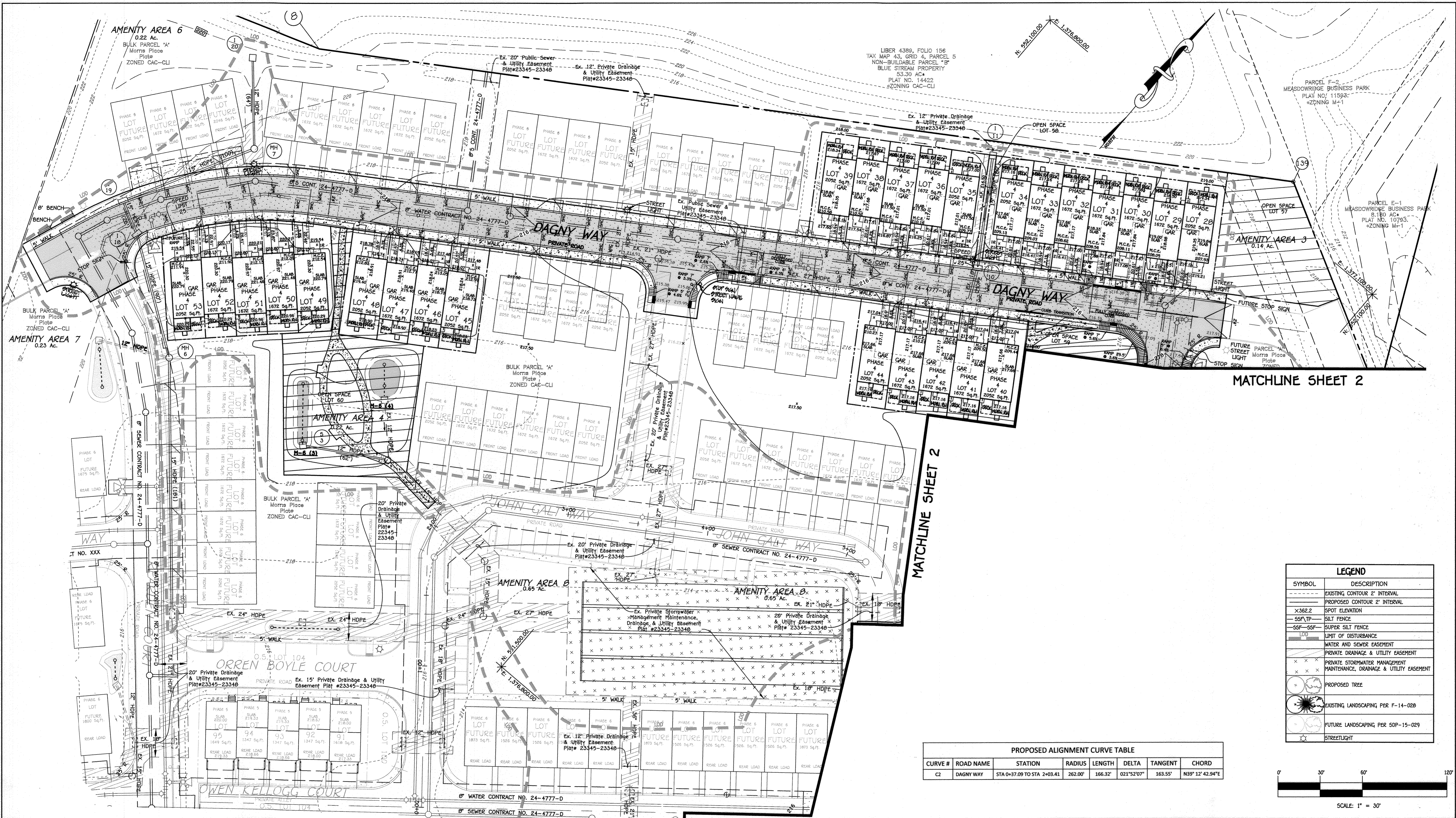
NO.	REVISION	DATE
1	REVISED DECKS, VORON ROOM PER ARCHITECTURAL PLAN	8/9/16

OWNER
 CDCG 3 82H LP,
 C/O CDCG ASSET MANAGEMENT, LLC
 8995 E. HARTFORD DRIVE
 SUITE 200
 SCOTTSDALE, ARIZONA 85255
 ATTN: STEVEN S. BENSON
 (480) 896-3733

DEVELOPER/BUILDER
 BEAZER HOMES CORP
 8965 GUILFORD ROAD
 SUITE 290
 COLUMBIA, MARYLAND 21046
 ATTN: EDWARD GOLD
 (410) 720-5071

PROJECT	SECTION	LOTS NO.
MORRIS PLACE PHASES I-IV	N/A	1 THRU 53
PLAT	BLOCK NO.	ZONE
23345-23348	4	CAC-CL1
WATER CODE	SEWER CODE	TAX/ZONE
C-02	7390000	43
		ELEC. DIST.
		1
		CENSUS TR.
		6069.02

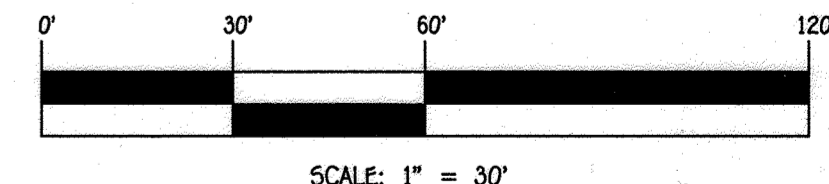
THERE IS NO "AS-BUILT" INFORMATION PROVIDED ON THIS SHEET



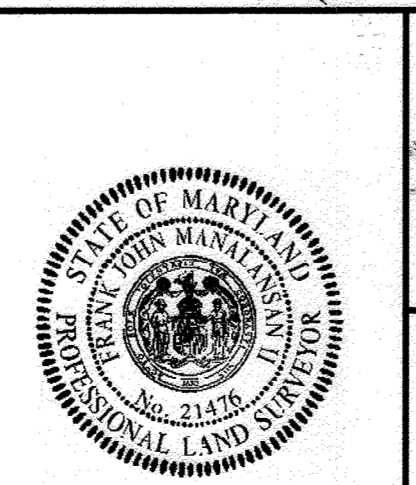
LIBER 4386, FOLIO 156
 TAX MAP 43, GRID 4, PARCEL 5
 NON-BUILDABLE PARCEL "B"
 BLUE STREAM PROPERTY
 53.30 AC.
 PLAT NO. 14422
 ZONING CAC-CL1

LEGEND	
SYMBOL	DESCRIPTION
---	EXISTING CONTOUR 2' INTERVAL
- - -	PROPOSED CONTOUR 2' INTERVAL
X362.2	SPOT ELEVATION
SSFP	SILT FENCE
SSF-SSF	SUPER SILT FENCE
LOD	LIMIT OF DISTURBANCE
---	WATER AND SEWER EASEMENT
---	PRIVATE DRAINAGE & UTILITY EASEMENT
x x x	PRIVATE STORMWATER MANAGEMENT, DRAINAGE, & UTILITY EASEMENT
(circle with cross)	PROPOSED TREE
(circle with star)	EXISTING LANDSCAPING PER F-14-02B
(circle with star)	FUTURE LANDSCAPING PER SDP-15-029
(circle with dot)	STREETLIGHT

PROPOSED ALIGNMENT CURVE TABLE						
CURVE #	ROAD NAME	STATION	RADIUS	LENGTH	DELTA	TANGENT CHORD
C2	DAGNY WAY	STA 0+37.09 TO STA 2+03.41	262.00'	166.32'	021°52'07"	163.55' N39°12'42.94"E



NO.	REVISION	DATE
1	REVISION: WORK ROOM PER ARCHITECTURAL PLAN	8/9/16



AS-BUILT CERTIFICATION
 Note: There is no "AS BUILT" information provided on this sheet.
 Date: 8/11/16

PROFESSIONAL CERTIFICATION
 I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND THAT I AM A DULY LICENSED PROFESSIONAL SURVEYOR UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 21476, EXPIRATION DATE: 7/14/17.
 Date: 8/11/16

OWNER
 CDOG 3 BZH LP
 C/O CDOG ASSET MANAGEMENT, LLC
 8955 E. HARTFORD DRIVE
 SUITE 200
 SCOTTSDALE, ARIZONA 85255
 ATTN: STEVEN S. BENSON
 (480) 696-3733

DEVELOPER/BUILDER
 BEAZER HOMES CORP
 8965 GUILFORD ROAD
 SUITE 290
 COLUMBIA, MARYLAND 21046
 ATTN: EDWARD GOLD
 (410) 720-5071

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

Chief, Division of Land Development: 10-7-15
 Chief, Development Engineering Division: 10-2-15
 Director - Department of Planning and Zoning: 10-7-15

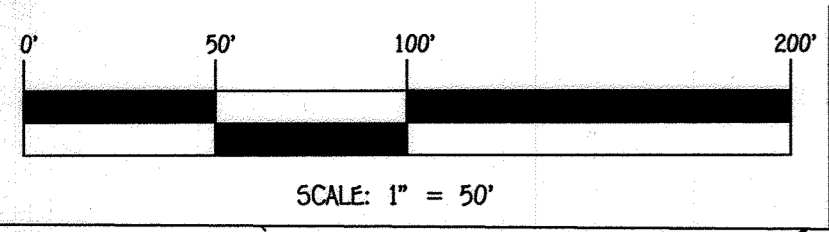
PROJECT	SECTION	LOTS NO.
MORRIS PLACE PHASES I-IV	N/A	1 THRU 53

PLAT	BLOCK NO.	ZONE	TAX/ZONE	ELEC. DIST.	CENSUS TR.
23345-23346	4	CAC-CL1	43	?	6069.02

WATER CODE: C-02
 SEWER CODE: 7390000

SITE DEVELOPMENT PLAN
SINGLE FAMILY TOWNHOUSE MORRIS PLACE
 LOTS 1 THRU 53, OPEN SPACE LOTS 54 THRU 61 & NON-BUILDABLE BULK PARCELS 'A' THRU 'C'
 PHASES I-IV
 ZONED: CAC-CL1
 PREVIOUS HOWARD COUNTY FILES: ECP-13-035, SDP-82-148, SDP-91-50, 5-10-02, P-13-001, WP-12-173, WP-14-068, F-14-028, F-15-047, SDP-15-029 AND W & S CONTRACT NO. 14-4777-D
 TAX MAP NO.: 43 PARCEL NO.: 599 GRID NO.: 4
 PLOT ELECTION DISTRICT HOWARD COUNTY, MARYLAND
 SCALE: AS SHOWN DATE: AUGUST, 2015
 SHEET 3 OF 14
 SDP 15-017

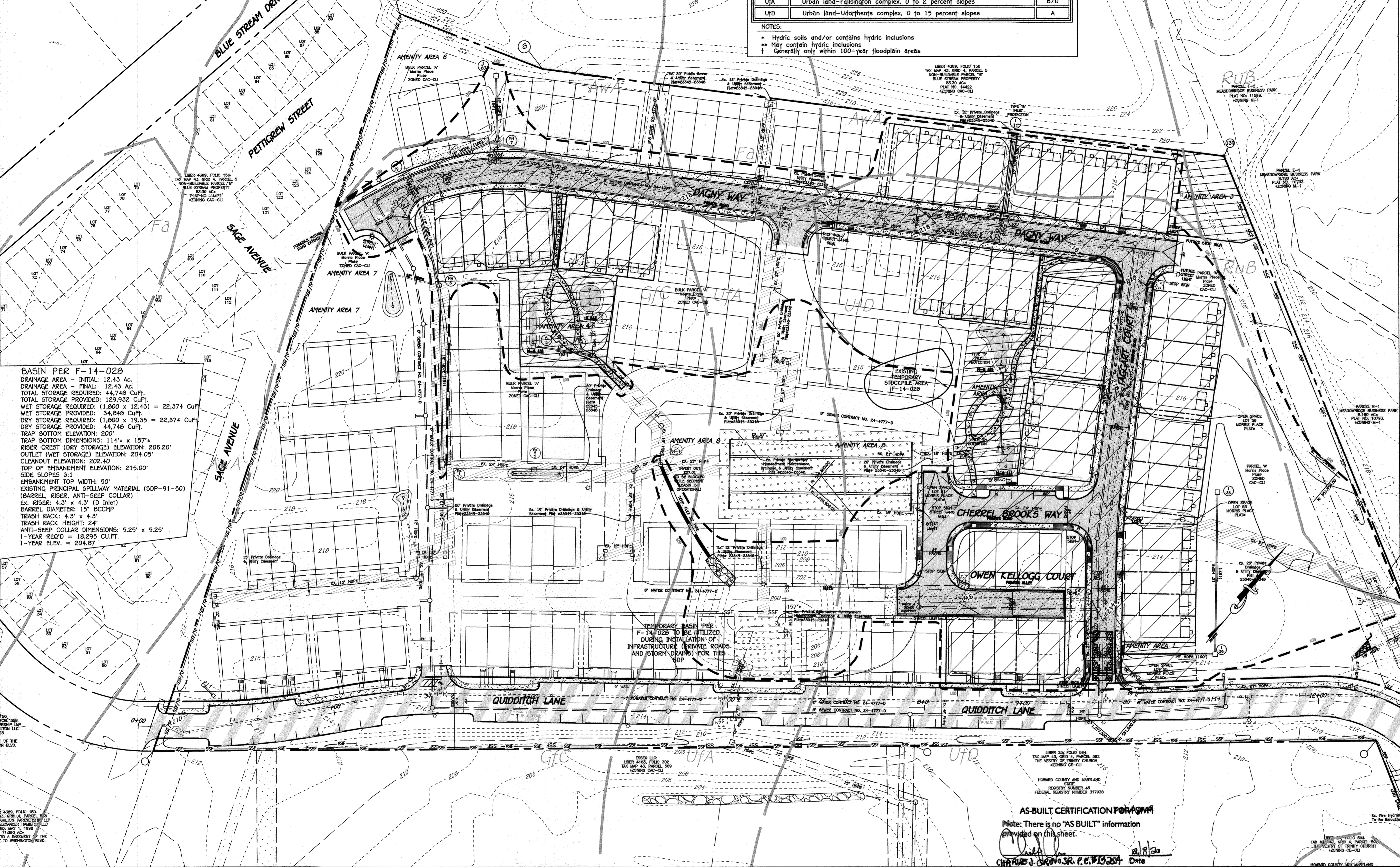
THERE IS NO "AS-BUILT" INFORMATION PROVIDED ON THIS SHEET



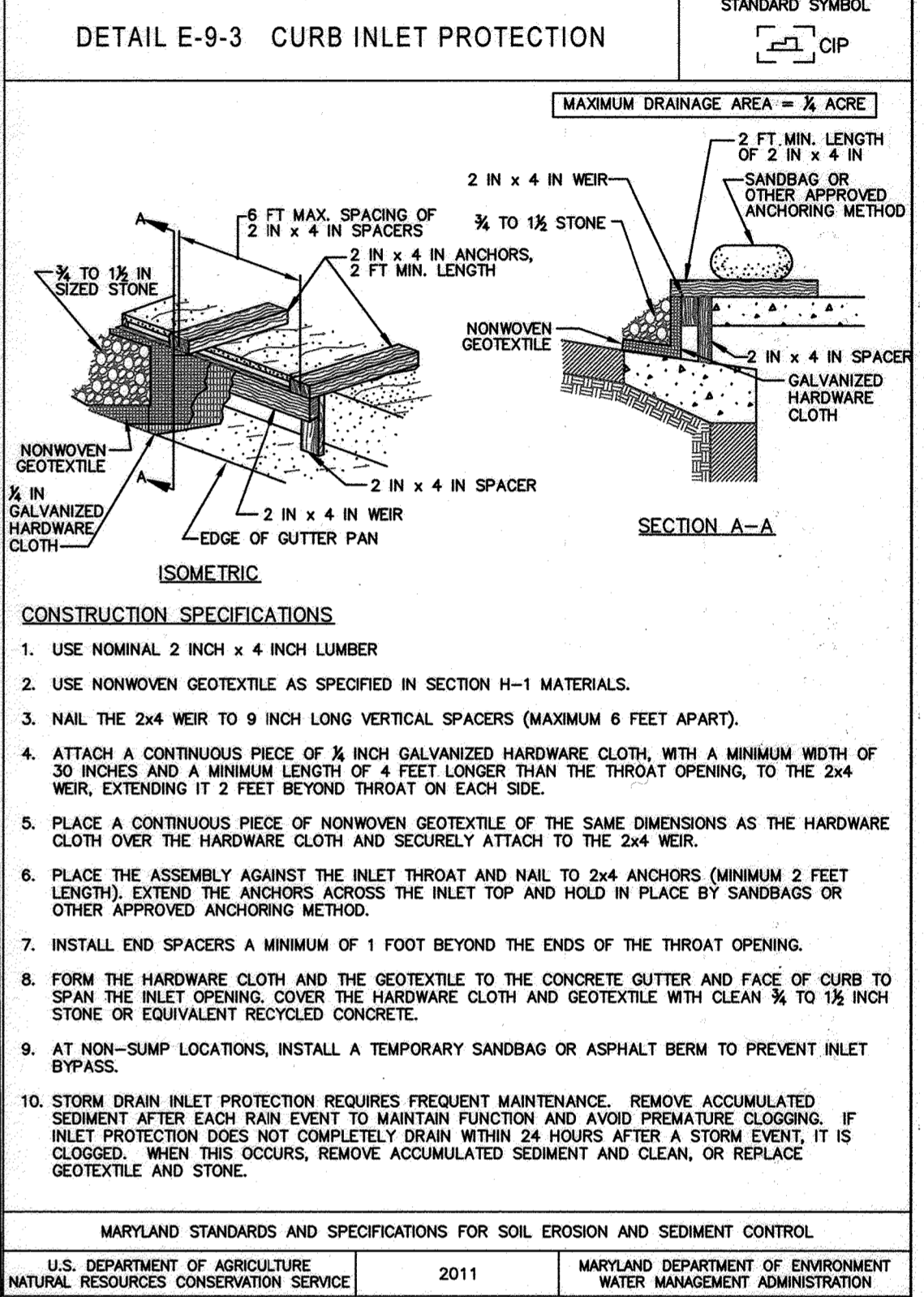
SOILS LEGEND		
SOIL	NAME	CLASS
RuB	Russell and Belleville soils, 2 to 5 percent slopes	C
UJA	Urban land-Fallingston complex, 0 to 2 percent slopes	B/D
UPD	Urban land-Udolphents complex, 0 to 15 percent slopes	A

NOTES:
 * Hydric soils and/or contains hydric inclusions
 ** May contain hydric inclusions
 † Generally only within 100-year floodplain areas

LEGEND	
SYMBOL	DESCRIPTION
---	EXISTING CONTOUR 2' INTERVAL
- - - -	PROPOSED CONTOUR 2' INTERVAL
X362.2	SPOT ELEVATION
SSP/TP	SILT FENCE
SSP/SP	SUPER SILT FENCE
---	LIMIT OF DISTURBANCE
---	WATER AND SEWER EASEMENT
---	PRIVATE DRAINAGE & UTILITY EASEMENT
---	PRIVATE STORMWATER MANAGEMENT MAINTENANCE, DRAINAGE & UTILITY EASEMENT
(X)	PROPOSED TREE
(X)	EXISTING LANDSCAPING PER F-14-028
(X)	FUTURE LANDSCAPING PER S0P-15-029
(X)	STREETLIGHT



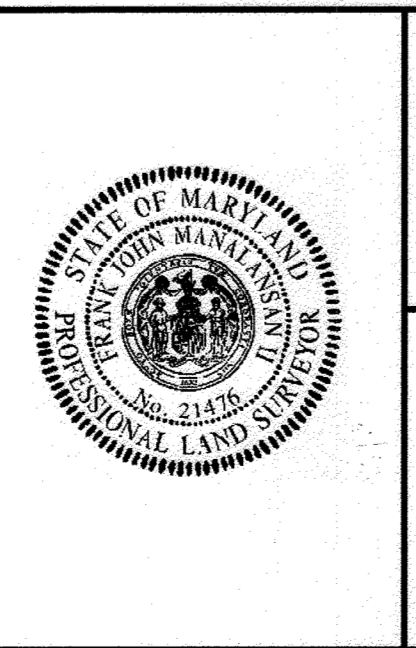
BASIN PER F-14-028
 DRAINAGE AREA - INITIAL: 12.43 Ac.
 DRAINAGE AREA - FINAL: 12.43 Ac.
 TOTAL STORAGE REQUIRED: 44,749 CuFt.
 TOTAL STORAGE PROVIDED: 129,932 CuFt.
 WET STORAGE REQUIRED: (1,800 x 12.43) = 22,374 CuFt.
 WET STORAGE PROVIDED: 34,848 CuFt.
 DRY STORAGE REQUIRED: (1,800 x 19.35) = 22,374 CuFt.
 DRY STORAGE PROVIDED: 44,749 CuFt.
 TRAP BOTTOM ELEVATION: 200'
 TRAP BOTTOM DIMENSIONS: 114" x 157"
 RISER CREST (DRY STORAGE) ELEVATION: 206.20'
 OUTLET (WET STORAGE) ELEVATION: 204.05'
 CLEANOUT ELEVATION: 202.40'
 TOP OF EMBANKMENT ELEVATION: 215.00'
 SIDE SLOPES 3:1
 EMBANKMENT TOP WIDTH: 50'
 EXISTING PRINCIPAL SPILLWAY MATERIAL (S0P-91-50) (BARREL, RISER, ANTI-SLEEP COLLAR)
 EX. RISER: 4.3' x 4.3' (0 Inlet)
 BARREL DIAMETER: 15' BOCMP
 TRASH RACK: 4.3' x 4.3'
 ANTI-SLEEP COLLAR DIMENSIONS: 5.25' x 5.25'
 1-YEAR REQ'D = 18,295 CU.FT.
 1-YEAR ELEV. = 204.87'



AS-BUILT CERTIFICATION FOR AS-BUILT
 Note: There is no "AS BUILT" information provided on this sheet.
 CHARLES J. OAKLEY, SR., P.E., PLS 2354 Date: 8/15/15

FISHER, COLLINS & CARTER, INC.
 CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
 CENTRAL SQUARE OFFICE PARK - 10272 BALTIMORE NATIONAL PIKE
 ELICOTT CITY, MARYLAND 21042
 (410) 461-2899

NO.	REVISION	DATE
1	REVISED DESIGN, WORK ROOM PER ARCHITECTURAL PLAN	8/15/15



PROFESSIONAL CERTIFICATE
 "I certify that this plan for erosion and sediment control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District."
 Signature of Surveyor: Frank John Mahalanand II, L.S.
 License No. 21478
 Expiration Date: 7/14/17
 Date: 8/15/15

BUILDER/DEVELOPER'S CERTIFICATE
 "I/we certify that all development and construction will be done according to this plan, for sediment and erosion control and that any responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the Howard Soil Conservation District."
 Signature of Developer: Brian Knapik
 Date: 8/15/15

This development plan is approved for soil erosion and sediment control by the HOWARD SOIL CONSERVATION DISTRICT.
 Signature: John L. Blister
 Date: 8/15/15

OWNER CDG 3 BZH LP C/O CDG ASSET MANAGEMENT, LLC 8965 GUILFORD ROAD SUITE 200 SCOTTSDALE, ARIZONA 85255 ATTN: STEVEN S. BENSON (480) 696-3753	DEVELOPER/BUILDER BEAZER HOMES CORP 8965 GUILFORD ROAD SUITE 200 COLUMBIA, MARYLAND 21046 ATTN: EDWARD GOLD (410) 720-5071
---	---

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
 Signature: [Signature]
 Date: 10-7-15
 Chief, Division of Land Development

Signature: [Signature]
 Date: 10-2-15
 Chief, Development Engineering Division

Signature: [Signature]
 Date: 10-7-15
 Director - Department of Planning and Zoning

PROJECT	SECTION	LOTS NO.
MORRIS PLACE PHASES I-IV	N/A	1 THRU 53

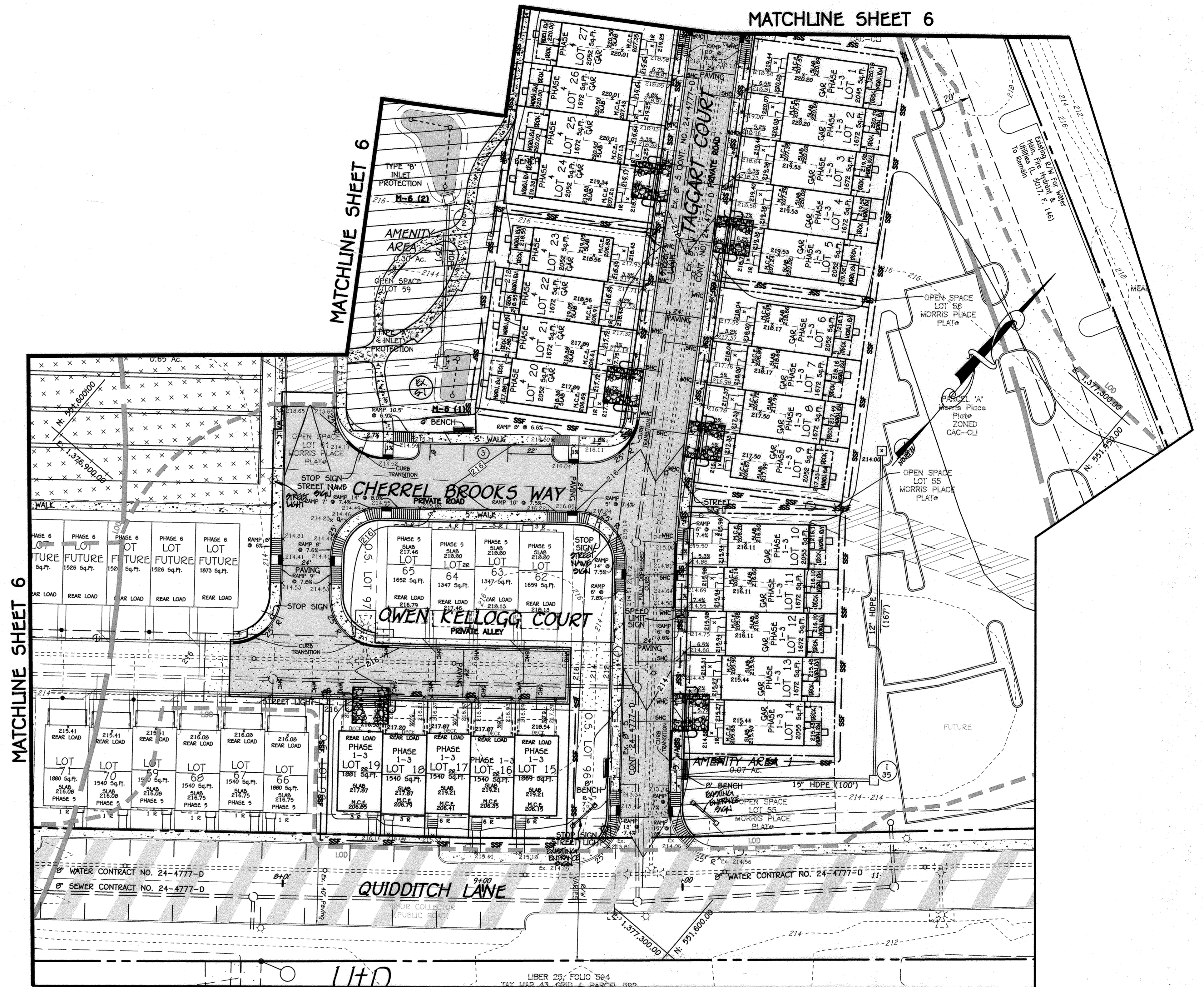
PLAT	BLOCK NO.	ZONE	TAX/ZONE	ELEC. DIST.	CENSUS TR.
23345-23348	4	CAC-CL1	43	1	6069.02

WATER CODE: C-02
 SEWER CODE: 7390000

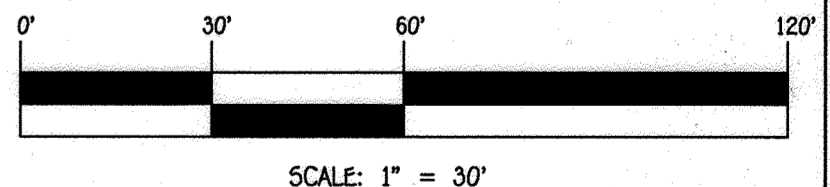
SEDIMENT EROSION CONTROL PHASE ONE
 SINGLE FAMILY TOWNHOUSE MORRIS PLACE
 LOTS 1 THRU 53, OPEN SPACE LOTS 54 THRU 61 & NON-BUILDABLE BULK PARCELS 'A' THRU 'C' PHASES I-IV
 ZONED: CAC-CL1
 PREVIOUS HOWARD COUNTY FILES: ECP-13-035, S0P-82-148, S0P-91-50, 5-10-02, P-13-001, WP-12-173, WP-14-068, F-14-028, F-15-047, S0P-15-029 AND W & S CONTRACT NO. 14-4777-D
 TAX MAP NO.: 43 PARCEL NO.: 599 GRID NO.: 4
 PARCEL ELECTION DISTRICT HOWARD COUNTY, MARYLAND
 SCALE: AS SHOWN DATE: AUGUST, 2015
 SHEET 4 OF 14
 S0P 15-017

THERE IS NO "AS-BUILT" INFORMATION PROVIDED ON THIS SHEET

SYMBOL	DESCRIPTION
---	EXISTING CONTOUR 2' INTERVAL
- - -	PROPOSED CONTOUR 2' INTERVAL
X362.2	SPOT ELEVATION
SSFTP	SILT FENCE
SSF-SSF	SUPER SILT FENCE
LOD	LIMIT OF DISTURBANCE
WATER AND SEWER EASEMENT	
PRIVATE DRAINAGE & UTILITY EASEMENT	
PRIVATE STORMWATER MANAGEMENT MAINTENANCE, DRAINAGE & UTILITY EASEMENT	
PROPOSED TREE	
EXISTING LANDSCAPING PER F-14-02B	
FUTURE LANDSCAPING PER SDP-15-029	
STREETLIGHT	



CONSTRUCTION OF THIS PROJECT MAY NOT BEGIN UNTIL CONTROLS BASIN FOR F-14-2B ARE INSTALLED & FUNCTIONING
AS-BUILT CERTIFICATION FOR PHASES
 Note: There is no "AS BUILT" information provided on this sheet.
 CHARLES J. BRADY SR. (E.P.S. 3004) Date 12/9/20



FISHER, COLLINS & CARTER, INC.
 CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
 CENTENNIAL SQUARE OFFICE PARK - 10272 BALTIMORE NATIONAL PIKE
 ELLETTT CITY, MARYLAND 21042
 (410) 461-2995

NO.	REVISION	DATE
1	REVISED DECKS, WORK ROOM PER ARCHITECTURAL PLAN	8/9/15



PROFESSIONAL CERTIFICATE
 "I certify that this plan for erosion and sediment control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District."
 Signature of Surveyor: *Frank John Manalansan II* Date: 8/11/15
 FRANK JOHN MANALANSAN II, L.S.
 LICENSE NO. 21476
 EXPIRATION DATE: 7/14/17

BUILDER/DEVELOPER'S CERTIFICATE
 "I/we certify that all development and construction will be done according to this plan, for sediment and erosion control and that any responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the Howard Soil Conservation District."
 Signature of Developer: *Brian Kniff* Date: 8/11/15
 BRIAN KNIFF

This development plan is approved for soil erosion and sediment control by the HOWARD SOIL CONSERVATION DISTRICT.
 Signature: *John R. Kautman* Date: 8/11/15
 HOWARD SCD

OWNER
 C/O CDCG ASSET MANAGEMENT, LLC
 8965 QUILFORD ROAD
 SUITE 200
 SCOTTSDALE, ARIZONA 85255
 ATTN: STEVEN S. BENSON
 (480) 696-3733

DEVELOPER/BUILDER
 BEAZER HOMES CORP
 8965 QUILFORD ROAD
 SUITE 200
 COLUMBIA, MARYLAND 21046
 ATTN: EDWARD GOLD
 (410) 720-5071

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
 Chief, Division of Land Development: *Kristen Schuch* Date: 10-07-15
 Chief, Development Engineering Division: *John J. Hester* Date: 10-08-15
 Director - Department of Planning and Zoning: *Thomas J. Hester* Date: 10-7-15

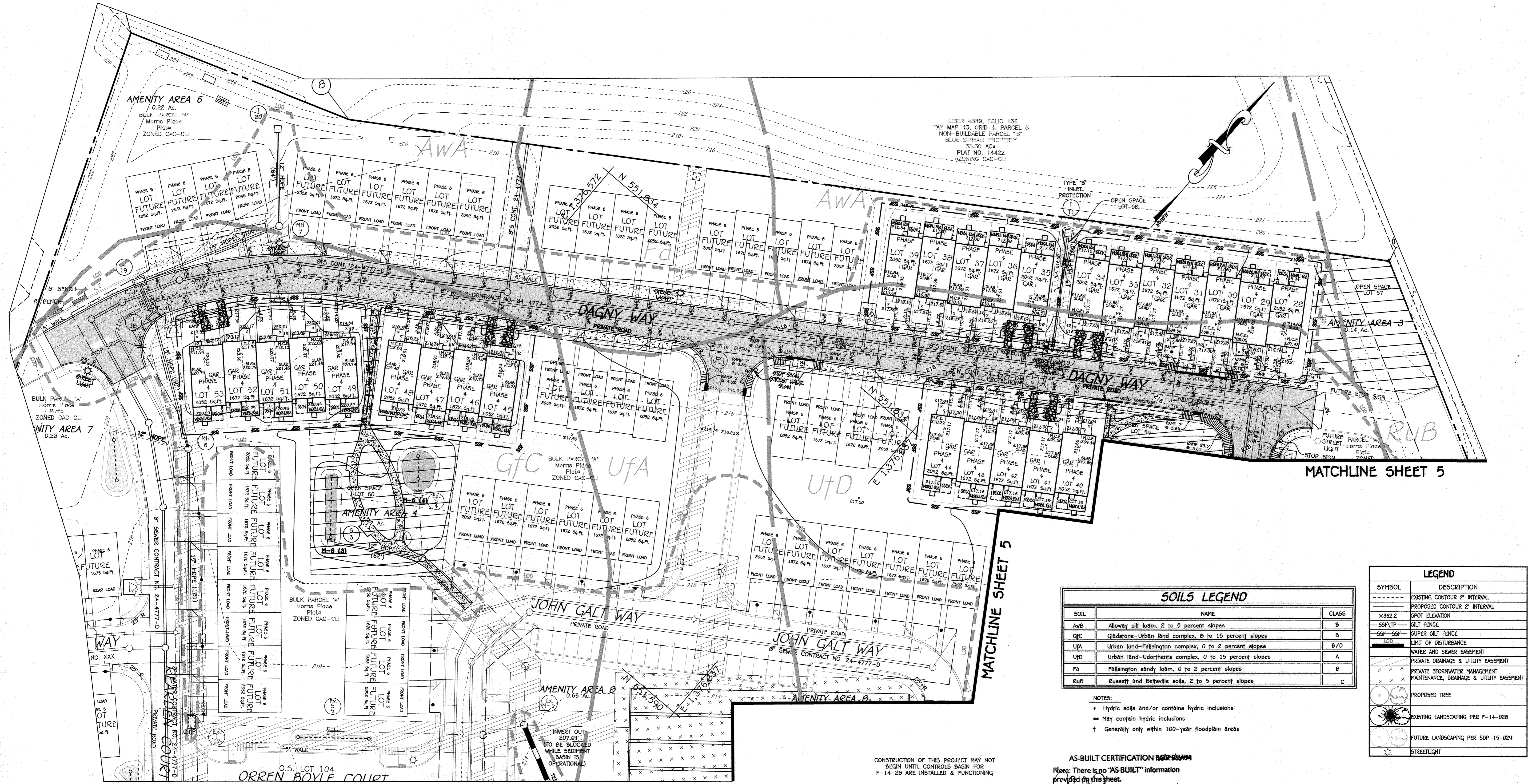
PROJECT	SECTION	LOTS NO.
MORRIS PLACE PHASES I-IV	N/A	1 THRU 53

PLAT	BLOCK NO.	ZONE	TAX/ZONE	ELEC. DIST.	CENSUS TR.
23345-23348	4	CAC-CLJ	43	1	6069.02

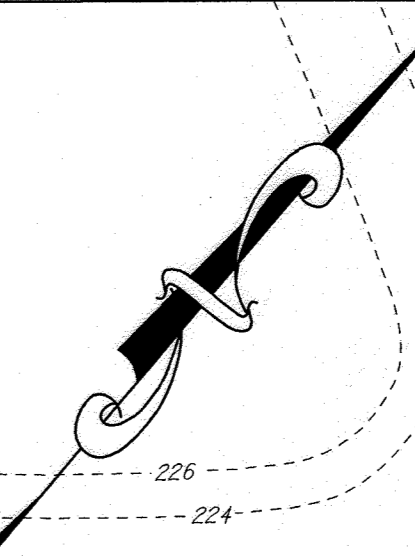
WATER CODE: C-02
 SEWER CODE: 7390000

SEDIMENT EROSION CONTROL PHASE TWO
 SINGLE FAMILY TOWNHOUSE MORRIS PLACE
 LOTS 1 THRU 53, OPEN SPACE LOTS 54 THRU 61 & NON-BUILDABLE BULK PARCELS 'A' THRU 'C' PHASES I-IV
 ZONED: CAC-CLJ
 PREVIOUS HOWARD COUNTY FILES: ECP-13-035, SDP-82-148, SDP-91-50, 5-10-02, P-13-001, WP-12-173, WP-14-068, F-14-028, F-15-047, SDP-15-029 AND W & S CONTRACT NO. 14-4777-D
 TAX MAP NO.: 43 PARCEL NO.: 599 GRID NO.: 4
 PREP ELECTION DISTRICT HOWARD COUNTY, MARYLAND
 SCALE: AS SHOWN DATE: AUGUST, 2015
 SHEET 5 OF 14

THERE IS NO "AS-BUILT" INFORMATION PROVIDED ON THIS SHEET



LIBER 4389, FOLIO 156
 TAX MAP 43, GRID 4, PARCEL 5
 NON-BUILDABLE PARCEL "B"
 BLUE STREAM PROPERTY
 33.30 AC
 PLAT NO. 14422
 ZONING CAC-CL



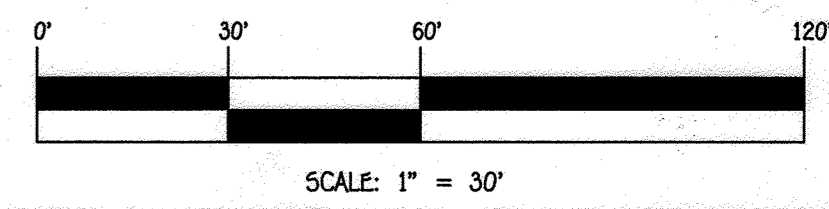
MATCHLINE SHEET 5

SOIL	NAME	CLASS
AwB	Alloway silt loam, 2 to 5 percent slopes	B
GfC	Gladstone-Urban land complex, 0 to 15 percent slopes	B
Ufa	Urban land-Fallingstone complex, 0 to 2 percent slopes	B/D
Uhd	Urban land-Udorthents complex, 0 to 15 percent slopes	A
Fa	Fallingstone sandy loam, 0 to 2 percent slopes	B
RuB	Russett and Beltsville soils, 2 to 5 percent slopes	C

- NOTES:
- Hydic soils and/or contains hydic inclusions
 - May contain hydic inclusions
 - Generally only within 100-year floodplain areas

SYMBOL	DESCRIPTION
---	EXISTING CONTOUR 2' INTERVAL
---	PROPOSED CONTOUR 2' INTERVAL
X362.2	SPOT ELEVATION
-S&P/TP	SILT FENCE
-S&P-S&P	SUPER SILT FENCE
---	LIMIT OF DISTURBANCE
---	WATER AND SEWER EASEMENT
---	PRIVATE DRAINAGE & UTILITY EASEMENT
---	PRIVATE STORMWATER MANAGEMENT MAINTENANCE, DRAINAGE & UTILITY EASEMENT
(Tree symbol)	PROPOSED TREE
(Star symbol)	EXISTING LANDSCAPING PER F-14-02B
(Star symbol)	FUTURE LANDSCAPING PER 50P-15-029
(Star symbol)	STREETLIGHT

AS-BUILT CERTIFICATION FOR DRAWING
 Note: There is no "AS BUILT" information provided on this sheet.
 CHARLES J. CRANFORD, P.E. Date



CONSTRUCTION OF THIS PROJECT MAY NOT BEGIN UNTIL CONTROLS BASIN FOR F-14-2B ARE INSTALLED & FUNCTIONING

FISHER, COLLINS & CARTER, INC.
 CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
 CENTENNIAL SQUARE OFFICE PARK - 10272 BALTIMORE NATIONAL PIKE
 ELKLOTT CITY, MARYLAND 21042
 (410) 461-2899



PROFESSIONAL CERTIFICATE
 "I certify that this plan for erosion and sediment control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District."
 Signature of Surveyor: Frank John Manalansan II, L.S. Date: 8/11/15
 License No. 21476 Expiration Date: 7/14/17

BUILDER/DEVELOPER'S CERTIFICATE
 "I/we certify that all development and construction will be done according to this plan, for sediment and erosion control and that any responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the Howard Soil Conservation District."
 Signature of Developer: Brian Knauff Date: 8/11/15

This development plan is approved for soil erosion and sediment control by the HOWARD SOIL CONSERVATION DISTRICT.
 Signature: Howard SCD Date: 8/11/15

OWNER
 CDCG 3 BZH LP
 C/O CDCG ASSET MANAGEMENT, LLC
 8985 E. HARTFORD DRIVE SUITE 220
 SCOTTSDALE, ARIZONA 85255
 ATTN: STEVEN S. BENSON (480) 696-3733

DEVELOPER/BUILDER
 BEAZER HOMES CORP
 8965 GUILFORD ROAD SUITE 290
 COLUMBIA, MARYLAND 21046
 ATTN: EDWARD GOLD (410) 720-5071

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

Chief, Division of Land Development: 10-7-15 Date
 Chief, Development Engineering Division: 10-7-15 Date
 Director - Department of Planning and Zoning: 10-7-15 Date

PROJECT	SECTION	LOTS NO.
MORRIS PLACE PHASES I-IV	N/A	1 THRU 53

PLAT	BLOCK NO.	ZONE	TAX/ZONE	ELEC. DIST.	CENSUS TR.
23345-23348	4	CAC-CL	43	1	6089.02

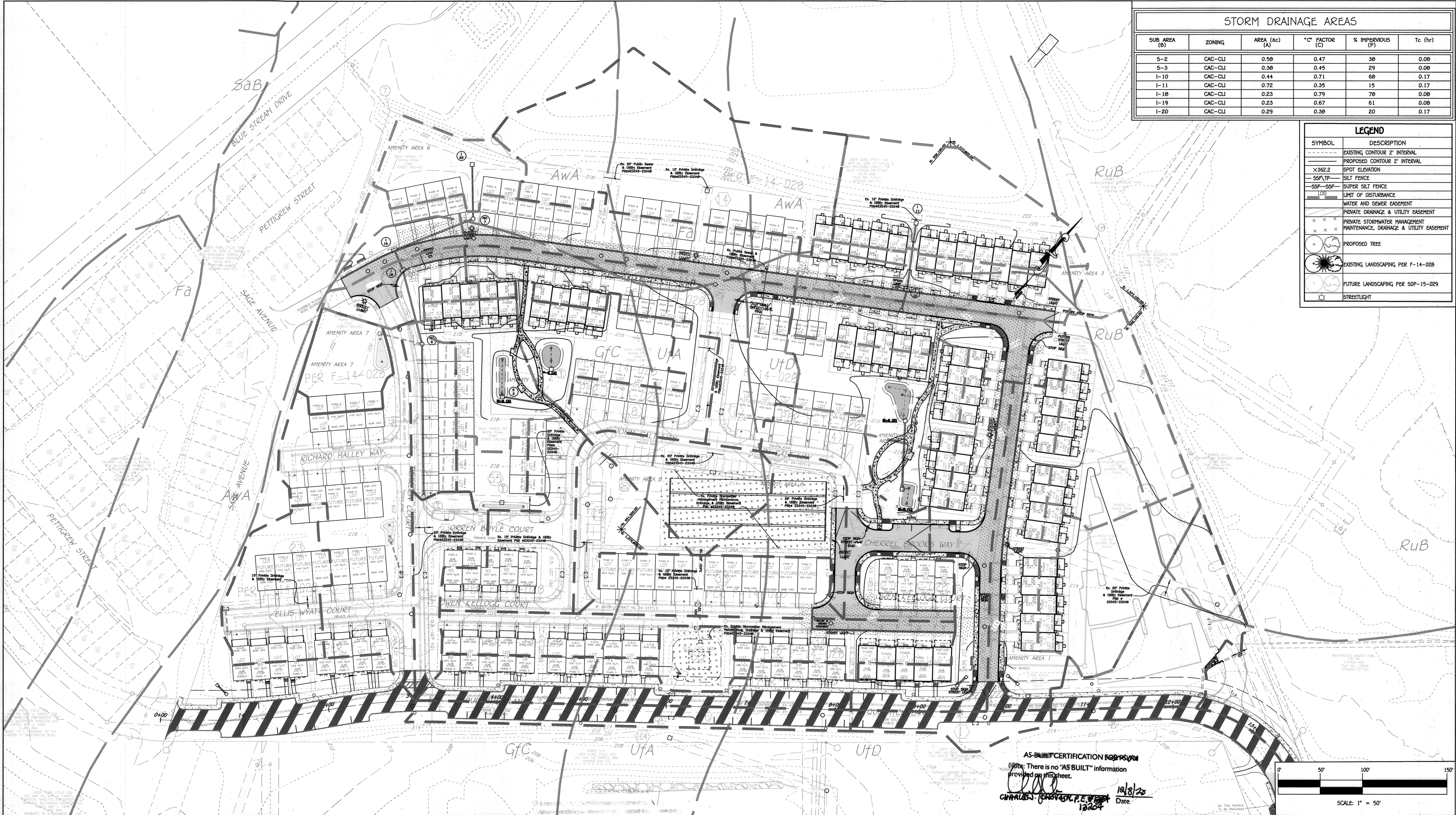
WATER CODE: C-02 SEWER CODE: 7390000

SEDIMENT EROSION CONTROL PHASE TWO
 SINGLE FAMILY TOWNHOUSE MORRIS PLACE
 LOTS 1 THRU 53, OPEN SPACE LOTS 54 THRU 61 & NON-BUILDABLE BULK PARCELS 'A' THRU 'C' PHASES I-IV
 ZONED: CAC-CL
 PREVIOUS HOWARD COUNTY FILES: ECP-13-035, 50P-82-148, 50P-91-50, 5-10-02, P-13-001, WP-12-173, WP-14-068, F-14-028, F-15-047, 50P-15-029 AND W & S CONTRACT NO. 14-4777-D.
 TAX MAP NO.: 43 PARCEL NO.: 599 GRID NO.: 4
 PRET ELECTION DISTRICT HOWARD COUNTY, MARYLAND
 SCALE: AS SHOWN DATE: AUGUST, 2015
 SHEET 6 OF 14

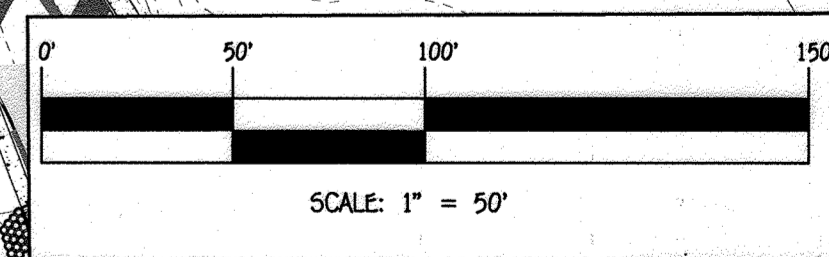
THERE IS NO "AS-BUILT" INFORMATION PROVIDED ON THIS SHEET

STORM DRAINAGE AREAS					
SUB AREA (B)	ZONING	AREA (ac)	"C" FACTOR (C)	% IMPERVIOUS (P)	Tc (hr)
5-2	CAC-CL1	0.58	0.47	38	0.08
5-3	CAC-CL1	0.38	0.45	29	0.08
1-10	CAC-CL1	0.44	0.71	68	0.17
1-11	CAC-CL1	0.72	0.35	15	0.17
1-18	CAC-CL1	0.23	0.79	78	0.08
1-19	CAC-CL1	0.23	0.67	61	0.08
1-20	CAC-CL1	0.29	0.38	20	0.17

LEGEND	
SYMBOL	DESCRIPTION
- - - -	EXISTING CONTOUR 2' INTERVAL
- - - -	PROPOSED CONTOUR 2' INTERVAL
x362.2	SPOT ELEVATION
SSP-TP	SILT FENCE
SSP-SSF	SUPER SILT FENCE
LOD	LIMIT OF DISTURBANCE
- - - -	WATER AND SEWER EASEMENT
- - - -	PRIVATE DRAINAGE & UTILITY EASEMENT
x x x x	PRIVATE STORMWATER MANAGEMENT MAINTENANCE, DRAINAGE & UTILITY EASEMENT
(Tree Symbol)	PROPOSED TREE
(Sun Symbol)	EXISTING LANDSCAPING PER F-14-028
(Sun Symbol)	FUTURE LANDSCAPING PER SOP-15-029
(Star Symbol)	STREETLIGHT



AS-BUILT CERTIFICATION FOR PERMITS
 Note: There is no "AS BUILT" information provided on this sheet.
 CHARLES J. CASAVAR, P.E. 18/8/25
 13264 Date



FISHER, COLLINS & CARTER, INC.
 CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
 CENTENNIAL SQUARE OFFICE PARK - 10272 BALDORP NATIONAL PIKE
 ELLICOTT CITY, MARYLAND 21042
 (410) 461-2895



NO.	REVISION	DATE
1	REVISED PECKER, WORN, ROOM FOR ARCHITECTURAL PLAN	9/2/16

PROFESSIONAL CERTIFICATION
 I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND THAT I AM A DULY LICENSED PROFESSIONAL SURVEYOR UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 21476, EXPIRATION DATE: 7/14/17.
 Frank John Manalansan II 9/1/15
 FRANK JOHN MANALANSAN II, L.S. NO. 21476

OWNER
 CDG 3 BZH LP,
 C/O CDG ASSET MANAGEMENT, LLC
 8985 E. HARTFORD DRIVE
 SUITE 200
 SCOTTSDALE, ARIZONA 85255
 ATTN: STEVEN S. BENSON
 (480) 696-3733

DEVELOPER/BUILDER
 BEAZER HOMES CORP
 8965 GUILFORD ROAD
 SUITE 200
 COLUMBIA, MARYLAND 21046
 ATTN: EDWARD GOLD
 (410) 720-5071

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

V. T. Delano 10/7/15
 Chief, Division of Land Development Date

W. J. [Signature] 10/2/15
 Chief, Development Engineering Division Date

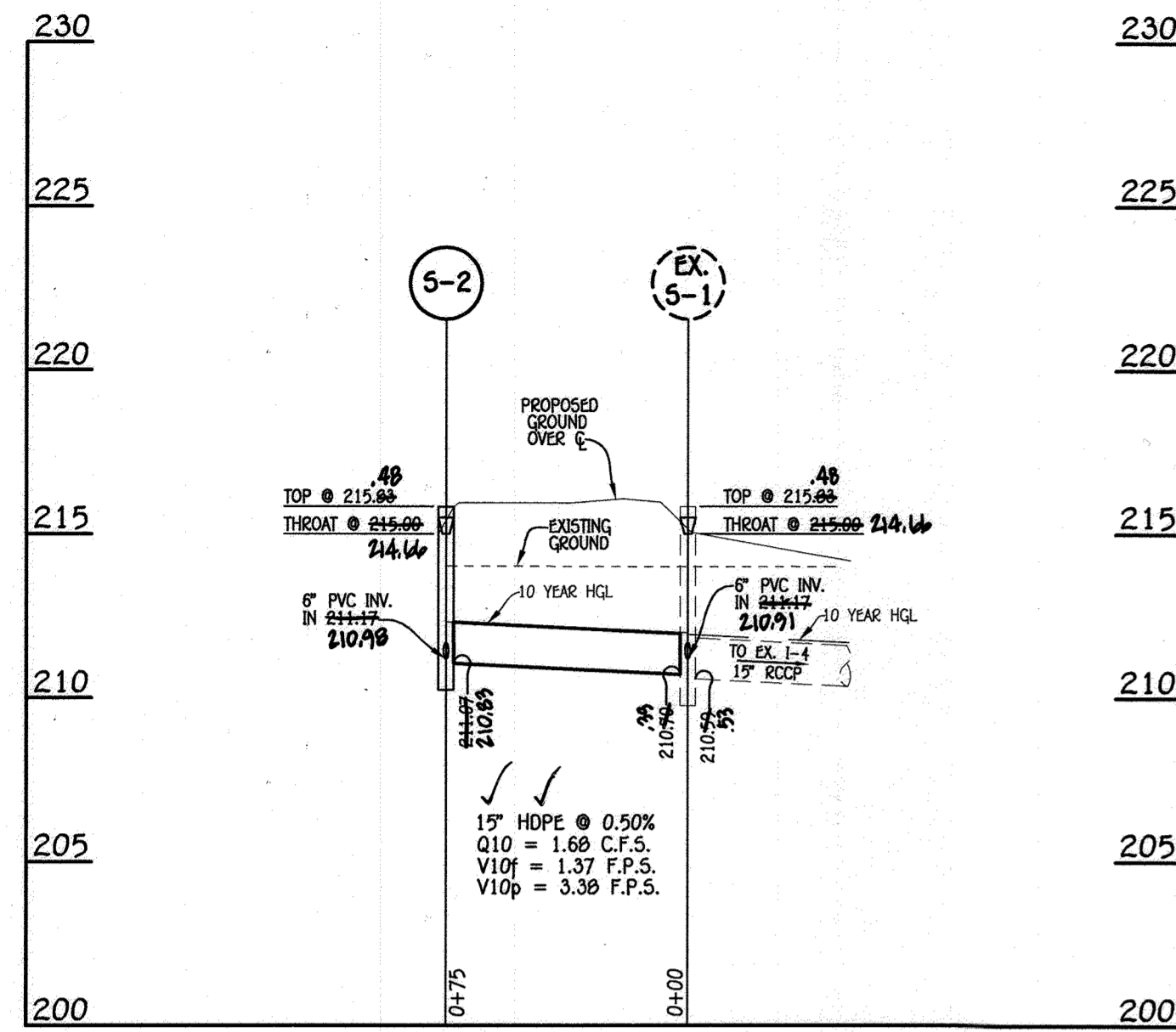
W. J. [Signature] 10/7/15
 Director - Department of Planning and Zoning Date

PROJECT	SECTION	LOTS NO.
MORRIS PLACE PHASES I-IV	N/A	1 THRU 53
PLAT	BLOCK NO.	ZONE
23345-23348	4	CAC-CL1
TAX/ZONE	ELEC. DIST.	CENSUS TR.
43	t	6069.02
WATER CODE	SEWER CODE	
C-02	7390000	

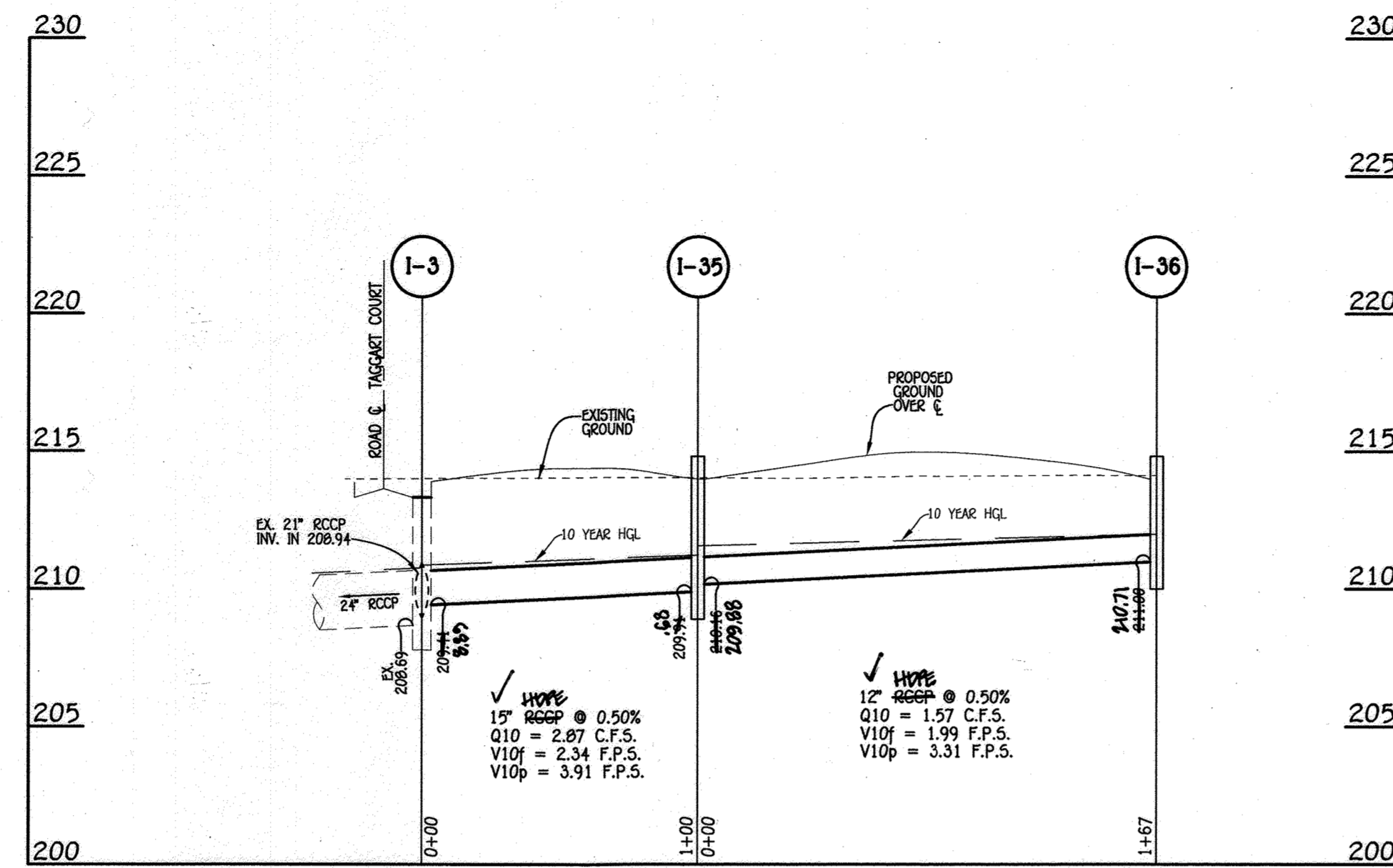
STORM DRAIN DRAINAGE AREA MAP

SINGLE FAMILY TOWNHOUSE MORRIS PLACE
 LOTS 1 THRU 53, OPEN SPACE LOTS 54 THRU 61 & NON-BUILDABLE BULK PARCELS 'A' THRU 'C' PHASES I-IV
 ZONED: CAC-CL1
 PREVIOUS HOWARD COUNTY FILES: ECP-13-035, SOP-82-148, SOP-91-50, S-10-02, P-13-001, WP-12-173, WP-14-068, F-14-028, F-15-047, SOP-15-029 AND W & S CONTRACT NO. 14-4777-D
 TAX MAP NO.: 43 PARCEL NO.: 599 GRID NO.: 4
 PREC. ELECTION DISTRICT HOWARD COUNTY, MARYLAND
 SCALE: AS SHOWN DATE: AUGUST, 2015
 SHEET 8 OF 14

THERE IS NO "AS-BUILT" INFORMATION PROVIDED ON THIS SHEET



PROFILE
SCALE: HORZ. 1" = 50'
VERT. 1" = 5'



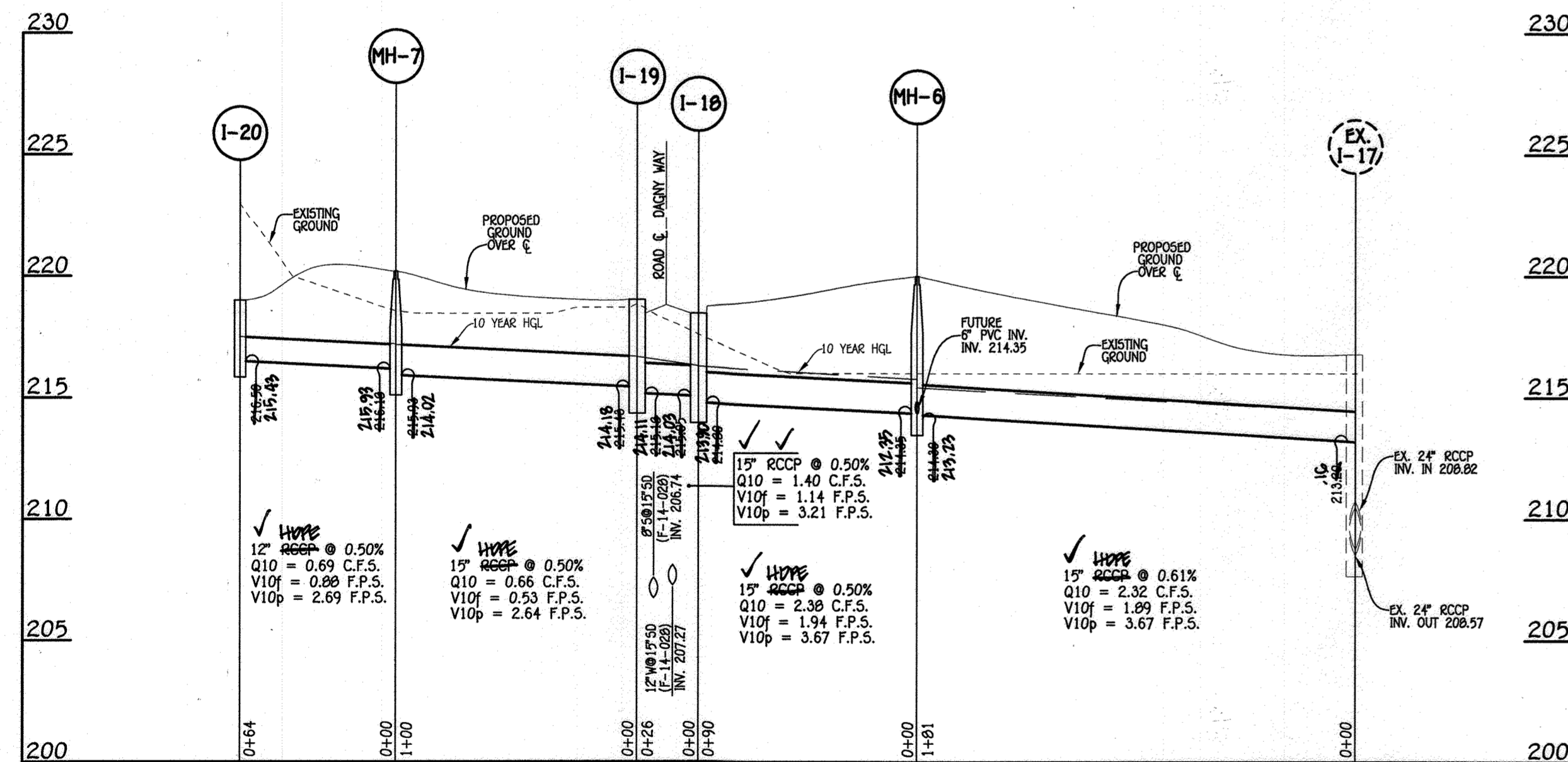
PROFILE
SCALE: HORZ. 1" = 50'
VERT. 1" = 5'

STRUCTURE SCHEDULE							
STRUCTURE NO.	OWNERSHIP AND MAINTENANCE	TOP ELEVATION	INV IN	INV OUT	COORDINATES	TYPE	REMARKS
I-10	PUBLIC	215.25	211.08 15" ✓	211.67 18"	N 551933.29 E 1376074.47	✓A-5' INLET	D-4.01
I-11	PUBLIC	215.88	-----	212.25 15"	N 552000.83 E 1376031.28	✓D' INLET	D-4.10
I-18	PUBLIC	218.74	214.07 15" ✓	213.90 15"	N 551565.14 E 1376404.57	✓DOUBLE 'S' INLET	D-4.23
I-19	PUBLIC	219.53	214.73 15" ✓	214.18 15"	N 551576.76 E 1376381.86	✓A-5' INLET	D-4.01
I-20	PUBLIC	218.00	-----	218.56 12"	N 551743.00 E 1376386.75	✓D' INLET	D-4.10
I-35	PUBLIC	214.00	209.88 12" ✓	209.94 15"	N 551743.00 E 1377321.69	✓D' INLET	D-4.01
I-36	PUBLIC	214.88	-----	214.00 12"	N 551859.74 E 1377219.12	✓D' INLET	D-4.01
MH-6	PUBLIC	220.56	214.35 15" ✓	213.26 15"	N 551513.44 E 1376474.56	✓4' STANDARD MANHOLE	G-5.12
MH-7	PUBLIC	220.27	218.14 12" ✓	214.98 15"	N 551664.00 E 1376428.56	✓4' STANDARD MANHOLE	G-5.12
S-2	PUBLIC	215.88 *	211.77 6" PVC ✓	211.67 15"	N 551840.40 E 1376977.88	✓D' INLET	D-4.10
S-3	PUBLIC	217.88 *	218.77 6" PVC ✓	213.87 12"	N 551523.78 E 1376591.09	✓D' INLET	D-4.10

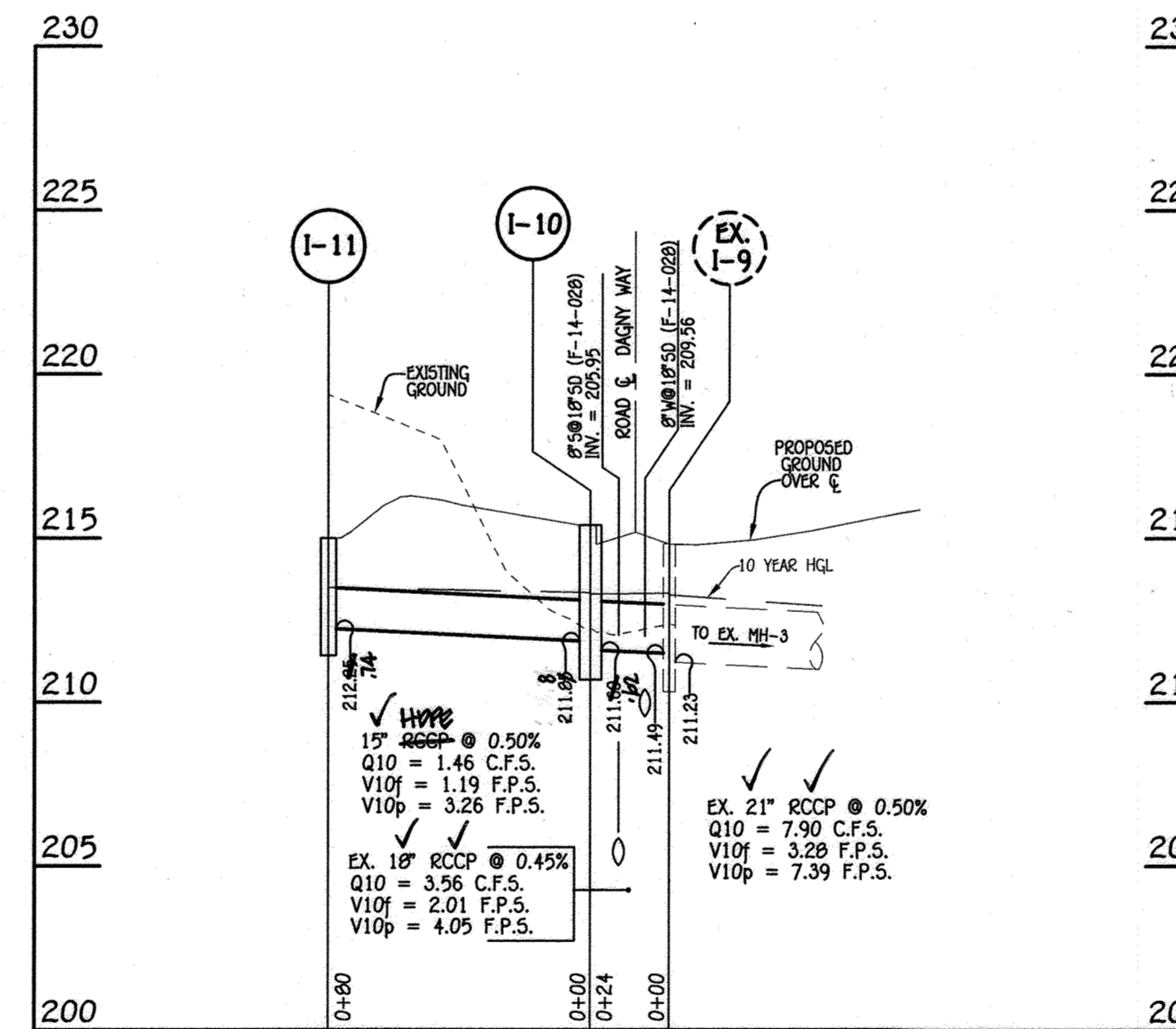
* - DENOTES THROAT OPENING ELEVATION

PIPE SCHEDULE		
SIZE	CLASS	LENGTH
12"	RCCP	250'
15"	RCCP	652'
18"	RCCP	24'
6"	SCHEDULE 40 PVC	7'
6"	PERFORATED SCHEDULE 40 PVC	63'

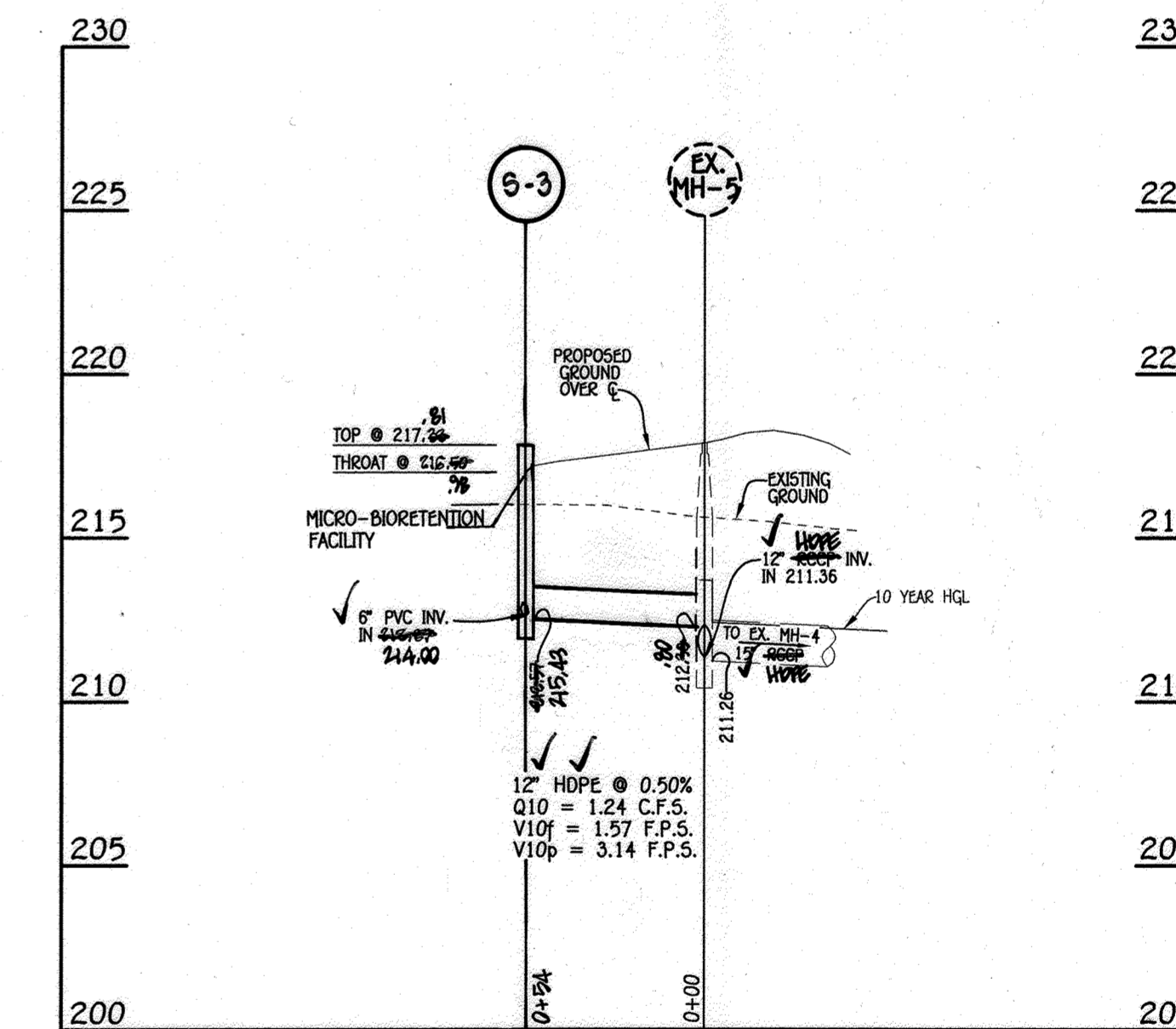
NOTE: RCCP CL. IV, MAY BE SUBSTITUTED WITH HOPE PIPE



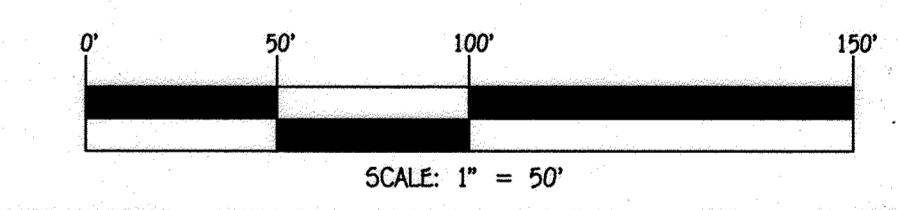
PROFILE
SCALE: HORZ. 1" = 50'
VERT. 1" = 5'



PROFILE
SCALE: HORZ. 1" = 50'
VERT. 1" = 5'

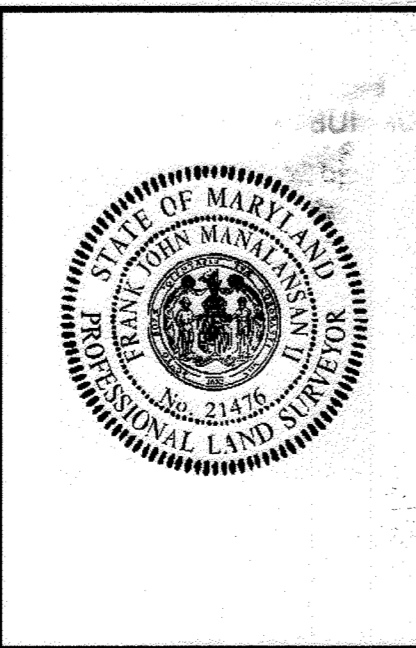


PROFILE
SCALE: HORZ. 1" = 50'
VERT. 1" = 5'



FISHER, COLLINS & CARTER, INC.
CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
CENTENNIAL SQUARE OFFICE PARK - 10272 BALTIMORE NATIONAL PKWY.
ELLSWORTH CITY, MARYLAND 21042
(410) 461-2899

NO.	REVISION	DATE
1	REVISION 9-3 HEIGHT, LOWERED VERTICALLY & CHANGED GRADE	9/3/16



AS-BUILT CERTIFICATION
I hereby certify, by my seal, that the facilities shown on this plan were constructed as shown on this "AS BUILT" plan meet the approved plans and specifications.
CHARLES J. CRONIN, P.E. 12/8/20
Date

PROFESSIONAL CERTIFICATION
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND THAT I AM A DULY LICENSED PROFESSIONAL SURVEYOR UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 21476, EXPIRATION DATE: 7/14/17.
FRANK JOHN MANALANSAN II, L.S. NO. 21476 8/11/15
DATE

OWNER
CDCG 3 82H LP,
C/O CDCG ASSET MANAGEMENT, LLC
8985 E. HARTFORD DRIVE
SUITE 200
SCOTTSDALE, ARIZONA 85255
ATTN: EDWARD GOLD
(480) 896-3733

DEVELOPER/BUILDER
BEAZER HOMES CORP
8985 GUILFORD ROAD
SUITE 290
COLUMBIA, MARYLAND 21046
ATTN: EDWARD GOLD
(410) 720-5071

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

Kathleen... 10-7-15
Chief, Division of Land Development Date

... 10-2-15
Chief, Development Engineering Division Date

... 10-7-16
Director - Department of Planning and Zoning Date

PROJECT	SECTION	LOTS NO.			
MORRIS PLACE PHASES I-IV	N/A	1 THRU 53			
FLAT	BLOCK NO.	ZONE	TAX/ZONE	ELEC. DIST.	CENSUS TR.
23345-23348	4	CAC-CL1	43	1	6069.02
WATER CODE	SEWER CODE				
C-02	7390000				

STORM DRAIN PROFILE
SINGLE FAMILY TOWNHOUSE
MORRIS PLACE
LOTS 1 THRU 53, OPEN SPACE LOTS 54 THRU 61 & NON-BUILDABLE BULK PARCELS 'A' THRU 'C'
PHASES I-IV
ZONED: CAC-CL1
PREVIOUS HOWARD COUNTY FILES: ECP-13-035, SGP-02-148, SGP-01-50, 5-10-02, P-13-001, WP-12-173, WP-14-068, F-14-028, F-15-047, SGP-15-029 AND W & 5 CONTRACT NO. 14-4777-D
TAX MAP NO.: 43 PARCEL NO.: 599 GRID NO.: 4
FIRST ELECTION DISTRICT HOWARD COUNTY, MARYLAND
SCALE: AS SHOWN DATE: AUGUST, 2015
SHEET 9 OF 14

SOP 15-017
"AS-BUILT"

Infiltration and Filter System Construction Specifications

Infiltration and filter systems either take advantage of existing permeable soils or create a permeable medium such as sand for WC, and Re v. In some instances where permeability is great, these facilities may be used for Qp as well. The most common systems include infiltration trenches, infiltration basins, sand filters, and organic filters.

When properly planted, vegetation will thrive and enhance the functioning of these systems. For example, pre-treatment buffers will trap sediments that often are bound with phosphorus and metals. Vegetation planted in the facility will aid in nutrient uptake and water storage. Additionally, plant roots will provide arteries for stormwater to permeate soil for groundwater recharge. Finally, successful plantings provide aesthetic value and wildlife habitat making these facilities more desirable to the public.

Design Constraints:

- > Planting buffer strips of at least 20 feet will cause sediments to settle out before reaching the facility, thereby reducing the possibility of clogging.
- > Determine areas that will be saturated with water and water table depth so that appropriate plants may be selected (hydrology will be similar to bioretention facilities, see figure A.5 and Table A.4 for planting material guidance).
- > Plants known to send down deep taproots should be avoided in systems where filter fabric is used as part of facility design.
- > Test soil conditions to determine if soil amendments are necessary.
- > Plants shall be located so that access is possible for structure maintenance.
- > Stabilize heavy flow areas with erosion control mats or sod.
- > Temporarily divert flows from seeded areas until vegetation is established.
- > See Table A.5 for additional design considerations.

Bio-retention

Soil Bed Characteristics

The characteristics of the soil for the bioretention facility are perhaps as important as the facility location, size, and treatment volume. The soil must be permeable enough to allow runoff to filter through the media, while having characteristics suitable to promote and sustain a robust vegetative cover crop. In addition, much of the nutrient pollutant uptake (nitrogen and phosphorus) is accomplished through absorption and microbial activity within the soil profile. Therefore, soils must balance their chemical and physical properties to support biotic communities above and below ground.

The planting soil should be a sandy loam, loamy sand, loam (USDA), or a loam/sand mix (should contain a minimum 35 to 60% sand, by volume). The clay content for these soils should be less than 25% by volume [Environmental Quality Resources (EQR), 1996; Engineering Technology Inc. and Biohabitats, Inc. (ETAB), 1993]. Soils should fall within the SM, ML, SC classifications of the Unified Soil Classification System (USCS). A permeability of at least 1.0 feet per day (0.5"/hr) is required (a conservative value of 0.5 feet per day is used for design). The soil should be free of stones, stumps, roots, or other woody material over 1" in diameter. Brush or seeds from noxious weeds (e.g., Johnson Grass, Mugwort, Nutedge, and Canada Thistle or other noxious weeds as specified under COMAR 15.08.01.05.) should not be present in the soils. Placement of the planting soil should be in 12 to 18 lifts that are loosely compacted (tamped lightly with a backhoe bucket or traversed by dozer tracks). The specific characteristics are presented in Table A.3.

Table A.3 Planting Soil Characteristics

Parameter	Value
pH range	5.2 to 7.00
Organic matter	1.5 to 4.0% (by weight)
Magnesium	35 lbs. per acre, minimum
Phosphorus (phosphate - P2O5)	75 lbs. per acre, minimum
Potassium (potash - K2O)	85 lbs. per acre, minimum
Soluble salts	500 ppm
Clay	10 to 25 %
Silt	30 to 55 %
Sand	35 to 60 %

Mulch Layer

The mulch layer plays an important role in the performance of the bioretention system. The mulch layer helps maintain soil moisture and avoids surface sealing, which reduces permeability. Mulch helps prevent erosion, and provides a microenvironment suitable for soil biota at the mulch/soil interface. It also serves as a pretreatment layer, trapping the finer sediments, which remain suspended after the primary pretreatment.

The mulch layer should be standard landscape style, single or double shredded hardwood mulch or chips. The mulch layer should be well aged (stockpiled or stored for at least 12 months), uniform in color, and free of other materials, such as weed seeds, soil, roots, etc. The mulch should be applied to a maximum depth of three inches. Grass clippings should not be used as mulch material.

Planting Guidance

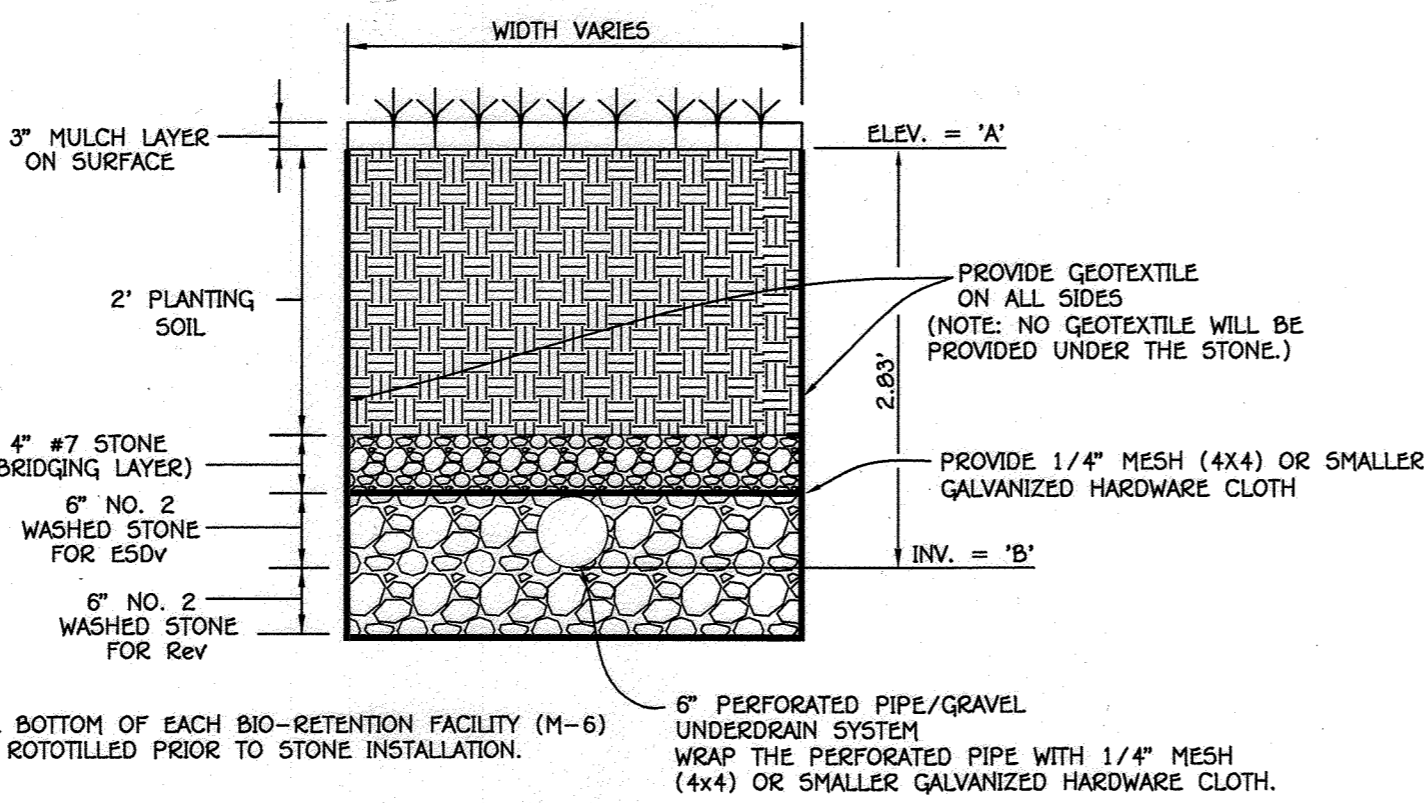
Plant material selection should be based on the goal of simulating a terrestrial forested community of native species. Bioretention simulates an upland-species ecosystem. The community should be dominated by trees, but have a distinct community of understory trees, shrubs and herbaceous materials. By creating a diverse, dense plant cover, a bioretention facility will be able to treat stormwater runoff and withstand urban stresses from insects, disease, drought, temperature, wind, and exposure.

The proper selection and installation of plant materials is key to a successful system. There are essentially three zones within a bioretention facility (Figure A.5). The lowest elevation supports plant species adapted to standing and fluctuating water levels. The middle elevation supports plants that like drier soil conditions, but can still tolerate occasional inundation by water. The outer edge is the highest elevation and generally supports plants adapted to drier conditions. A sample of appropriate plant materials for bioretention facilities are included in Table A.4. The layout of plant material should be flexible, but should follow the general principals described in Table A.5. The objective is to have a system, which resembles a random, and natural plant layout, while maintaining optimal conditions for plant establishment and growth. For a more extensive bioretention plan, consult ETAB, 1993 or Clayton and Schueler, 1997.

OPERATION AND MAINTENANCE SCHEDULE FOR BIO-RETENTION AREAS (M-6)

- ANNUAL MAINTENANCE OF PLANT MATERIAL. MULCH LAYER AND SOIL LAYER IS REQUIRED. MAINTENANCE OF MULCH AND SOIL IS LIMITED TO CORRECTING AREAS OF EROSION OR WASH OUT. ANY MULCH REPLACEMENT SHALL BE DONE IN THE SPRING. PLANT MATERIAL SHALL BE CHECKED FOR DISEASE AND INSECT INFESTATION AND MAINTENANCE WILL ADDRESS DEAD MATERIAL AND PRUNING. INFESTATION AND MAINTENANCE WILL ADDRESS DEAD MATERIAL AND PRUNING. SHRUBS AND REPLACEMENT OF ALL DEFICIENT STAKES AND WIRES.
- SCHEDULE OF PLANT INSPECTION WILL BE TWICE A YEAR IN SPRING AND FALL. THIS INSPECTION WILL INCLUDE REMOVAL OF DEAD AND DISEASED VEGETATION CONSIDER BEYOND TREATMENT. TREATMENT OF ALL DISEASED TREES AND SHRUBS AND REPLACEMENT OF ALL DEFICIENT STAKES AND WIRES.
- MULCH SHALL BE INSPECTED EACH SPRING. REMOVE EXCESS MULCH LAYER BEFORE APPLYING NEW LAYER ONCE EVERY 2 TO 3 YEARS.
- SOIL EROSION TO BE ADDRESSED ON AN AS NEEDED BASIS. WITH A MINIMUM OF ONCE PER MONTH AND AFTER HEAVY STORM EVENTS.

FACILITY NO.	A	B	
M-6 (1) 215.11	211.00	211.17	211.75
M-6 (2) 215.05	211.00	211.17	211.70
M-6 (3) 217.90	211.90	211.97	214.00
M-6 (4) 215.72	211.60	211.67	211.75



NOTE: THE BOTTOM OF EACH BIO-RETENTION FACILITY (M-6) SHALL BE ROTOTILLED PRIOR TO STONE INSTALLATION.

TYPICAL SECTION - BIO-RETENTION FACILITY (M-6)

NO SCALE

NOTES:
UNDERDRAIN PIPE SHALL BE 4" TO 6" DIAMETER, SLOTTED OR PERFORATED RIGID PLASTIC PIPE (ASTM F750, TYPE PS 28 OR AASHTO-M-278) IN A GRAVEL LAYER. THE PREFERRED MATERIAL IS SLOTTED 4" RIGID PIPE (E.G., PVC OR HDPE).

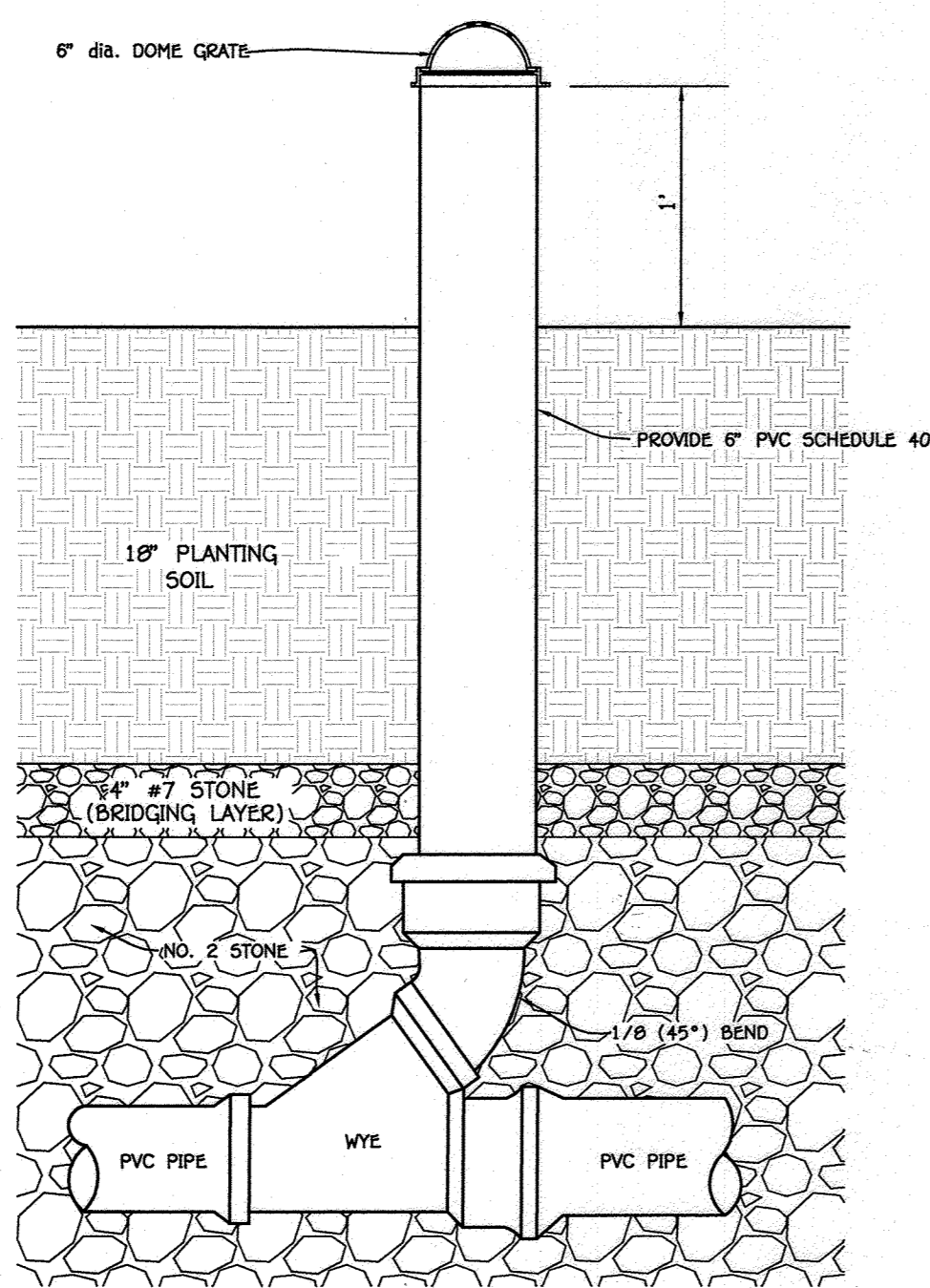
PERFORATIONS SHALL BE 3/8" DIAMETER LOCATED 6" ON CENTER WITH A MINIMUM OF FOUR HOLES PER ROW. PIPE SHALL BE WRAPPED WITH A 1/4" (NO. 4 OR 4 X 4) GALVANIZED HARDWARE CLOTH.

GRAVEL LAYER SHALL BE (NO. 57 STONE PREFERRED) AT LEAST 3" THICK ABOVE AND BELOW THE UNDERDRAIN.

THE MAIN COLLECTOR PIPE SHALL BE AT A MINIMUM 0.5% SLOPE.

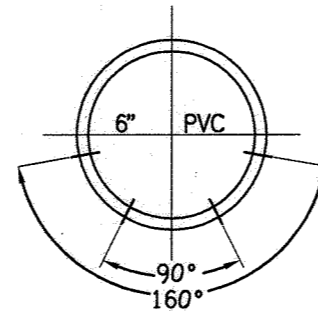
A RIGID, NON PERFORATED OBSERVATION WELL MUST BE PROVIDED (ONE PER EVERY 1,000 SQ.FT.) TO PROVIDE A CLEANOUT PORT AND MONITOR PERFORMANCE OF THE FILTER.

A 4" LAYER OF PEA GRAVEL (1/8" TO 3/8" STONE) SHALL BE LOCATED BETWEEN THE FILTER MEDIA AND UNDERDRAIN TO PREVENT MIGRATION OF FINES INTO THE UNDERDRAIN. THIS LAYER MAY BE CONSIDERED PART OF THE FILTER BED WHEN BED THICKNESS EXCEEDS 24".



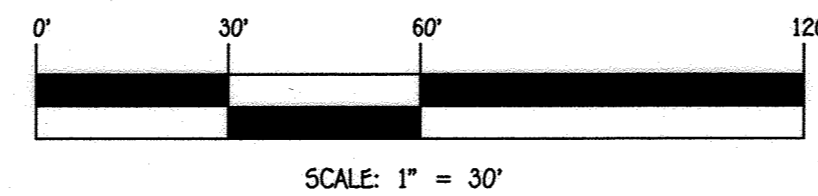
TYPICAL CLEAN-OUT DETAIL

NO SCALE



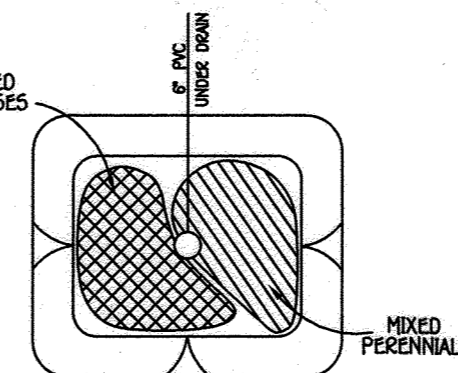
SCH40 PVC PERFORATED UNDERDRAIN PIPE DETAIL FOR HORIZONTAL DRAIN PIPE

NO SCALE



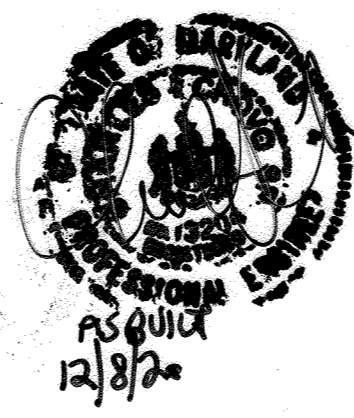
MICRO-BIORETENTION PLANTING DETAIL

NOT TO SCALE



- MIXED PERENNIALS * OUT-LINE CONTOUR AFTER REVISIONS AFTER
- SHRUBS * THE CENTER OF EACH SHRUB
- MIXED GRASSES * VISUAL SWITCHES * LITTLE BLUEHEART

NOTE: PLANT MATERIAL MUST COVER AT LEAST 25% OF THE SURFACE AREA OF THE MICRO-BIORETENTION



PROFESSIONAL CERTIFICATION

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND THAT I AM A DULY LICENSED PROFESSIONAL SURVEYOR UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 21476, EXPIRATION DATE: 7/14/17.

Frank John Manalansan, License No. 21476, Date 12/8/20

AS-BUILT CERTIFICATION

I hereby certify, by my seal, that the facilities shown on this plan were constructed as shown on this 'AS BUILT' plan in accordance with the approved plans and specifications.

Charles J. Cavanaugh, License No. 13367, Date 12/8/20

OWNER: CDCG 3 BZH LP, C/O CDCG ASSET MANAGEMENT, LLC, 8595 E. HARTFORD DRIVE, SUITE 200, SCOTTSDALE, ARIZONA 85255, ATTN: STEVEN S. BENSON (480) 696-3733

DEVELOPER/BUILDER: BEAZER HOMES CORP, 8965 GULFORD ROAD, SUITE 250, COLUMBIA, MARYLAND 21046, ATTN: EDWARD GOLD (410) 720-5071

M-6 (4)

(MICRO BIO-RETENTION FACILITY)
SCALE: 1" = 20'
DRAINAGE AREA: 17,424 SqFt.
FILTER AREA: 495 SqFt.
ELEVATION 214.5
PERIMETER 79'
WEIR ELEVATION 215.5



M-6 (2)

(MICRO BIO-RETENTION FACILITY)
SCALE: 1" = 20'
DRAINAGE AREA: 25,265 SqFt.
FILTER AREA: 747 SqFt.
ELEVATION 214
PERIMETER 119'
WEIR ELEVATION 215

M-6 (3)

(MICRO BIO-RETENTION FACILITY)
SCALE: 1" = 20'
DRAINAGE AREA: 16,117 SqFt.
FILTER AREA: 329 SqFt.
ELEVATION 215.50
PERIMETER 101'
WEIR ELEVATION 215.50

18" INV. OUT 215.15
6" INV. IN 215.01
INVERT IN TRENCH 216.90
TOP 217.81

5-4
18" INV. OUT 214.40
6" INV. IN 211.09
INVERT IN TRENCH 219.00
TOP 214.40

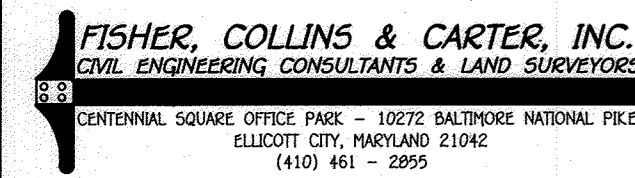
5-2
18" INV. OUT 210.89
6" INV. IN 210.79
INVERT IN TRENCH 214.71
TOP 215.47

5-1
18" INV. IN 210.99
6" INV. OUT 210.99
6" INV. IN 210.99
INVERT IN TRENCH 214.66
TOP 215.40



M-6 (1)

(MICRO BIO-RETENTION FACILITY)
SCALE: 1" = 20'
DRAINAGE AREA: 6,970 SqFt.
FILTER AREA: 332 SqFt.
ELEVATION 214
PERIMETER 74'
WEIR ELEVATION 215



NO.	REVISION	DATE
1	REMOVED 5-3 HEIGHT, LOWERED VERTICALLY & CHANGED GRADE	12/8/20

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

Kathleen... 10-7-15
Chief, Division of Land Development Date

Tal... 10-7-15
Chief, Development Engineering Division Date

Director - Department of Planning and Zoning Date

PROJECT	SECTION	LOTS NO.
MORRIS PLACE PHASES 1-IV	N/A	1 THRU 53

PLAT	BLOCK NO.	ZONE	TAX/ZONE	ELEC. DIST.	CENSUS TR.
23345-23348	4	CAC-CLU	43	1	6069.02

WATER CODE	SEWER CODE
C-02	7390000

STORM WATER MANAGEMENT DETAILS

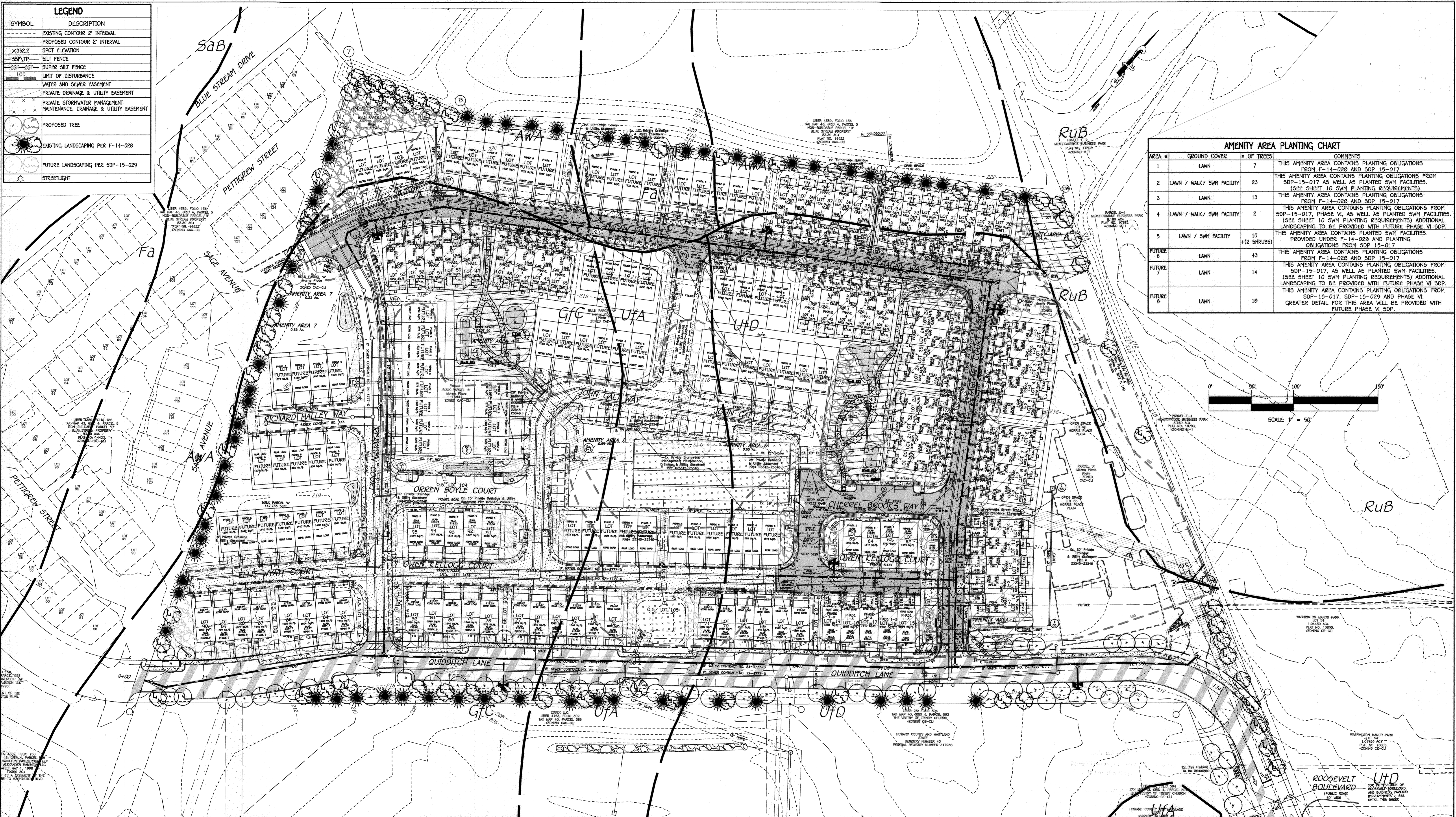
SINGLE FAMILY TOWNHOUSE MORRIS PLACE
LOTS 1 THRU 53, OPEN SPACE LOTS 54 THRU 61 & NON-BUILDABLE BULK PARCELS 'A' THRU 'C' PHASES I-IV

ZONED: CAC-CLU
PREVIOUS HOWARD COUNTY FILES: ECP-13-025, SGP-82-148, SDP-91-50, 5-10-02, P-13-001, WP-12-173, WP-14-068, F-14-028, F-15-047, SDP-15-029 AND W & 5 CONTRACT NO. 14-4777-D.
TAX MAP NO.: 43 PARCEL NO.: 599 GRID NO.: 4
FIRST ELECTION DISTRICT HOWARD COUNTY, MARYLAND
SCALE: AS SHOWN DATE: AUGUST, 2015
SHEET 10 OF 14

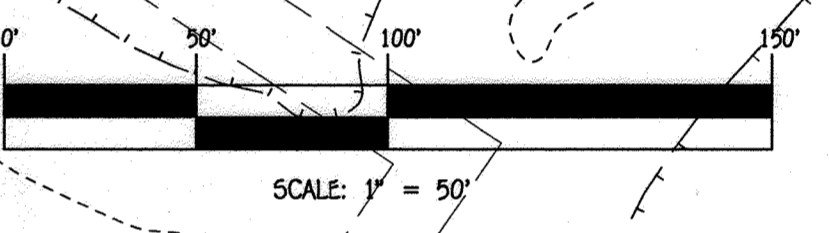
SDP 15-017

"AS-BUILT"

LEGEND	
SYMBOL	DESCRIPTION
	EXISTING CONTOUR 2' INTERVAL
	PROPOSED CONTOUR 2' INTERVAL
	SPOT ELEVATION
	SILT FENCE
	SUPER SILT FENCE
	LIMIT OF DISTURBANCE
	WATER AND SEWER EASEMENT
	PRIVATE DRAINAGE & UTILITY EASEMENT
	PRIVATE STORMWATER MANAGEMENT MAINTENANCE, DRAINAGE & UTILITY EASEMENT
	PROPOSED TREE
	EXISTING LANDSCAPING PER F-14-028
	FUTURE LANDSCAPING PER SDP-15-029
	STREETLIGHT

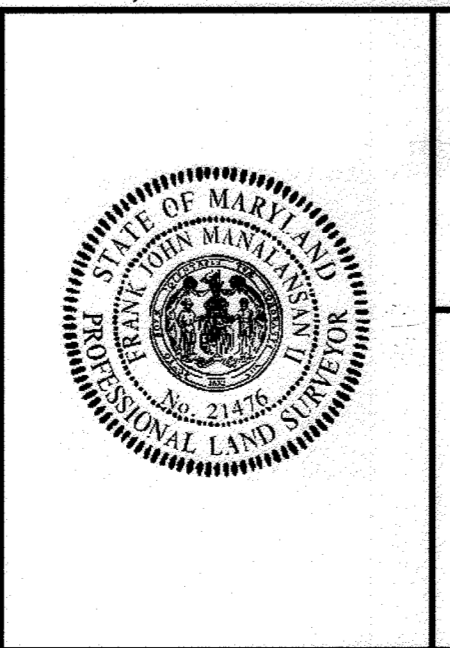


AMENITY AREA PLANTING CHART			
AREA #	GROUND COVER	# OF TREES	COMMENTS
1	LAWN	7	THIS AMENITY AREA CONTAINS PLANTING OBLIGATIONS FROM F-14-028 AND SDP 15-017
2	LAWN / WALK / SWM FACILITY	23	THIS AMENITY AREA CONTAINS PLANTING OBLIGATIONS FROM SDP-15-017 AS WELL AS PLANTED SWM FACILITIES. (SEE SHEET 10 SWM PLANTING REQUIREMENTS)
3	LAWN	13	THIS AMENITY AREA CONTAINS PLANTING OBLIGATIONS FROM F-14-028 AND SDP 15-017
4	LAWN / WALK / SWM FACILITY	2	THIS AMENITY AREA CONTAINS PLANTING OBLIGATIONS FROM SDP-15-017, PHASE VI, AS WELL AS PLANTED SWM FACILITIES. (SEE SHEET 10 SWM PLANTING REQUIREMENTS) ADDITIONAL LANDSCAPING TO BE PROVIDED WITH FUTURE PHASE VI SDP.
5	LAWN / SWM FACILITY	10 +(2 SHRUBS)	THIS AMENITY AREA CONTAINS PLANTED SWM FACILITIES PROVIDED UNDER F-14-028 AND PLANTING OBLIGATIONS FROM SDP 15-017
FUTURE 6	LAWN	43	THIS AMENITY AREA CONTAINS PLANTING OBLIGATIONS FROM F-14-028 AND SDP 15-017
FUTURE 7	LAWN	14	THIS AMENITY AREA CONTAINS PLANTING OBLIGATIONS FROM SDP-15-017, AS WELL AS PLANTED SWM FACILITIES. (SEE SHEET 10 SWM PLANTING REQUIREMENTS) ADDITIONAL LANDSCAPING TO BE PROVIDED WITH FUTURE PHASE VI SDP.
FUTURE 8	LAWN	18	THIS AMENITY AREA CONTAINS PLANTING OBLIGATIONS FROM SDP-15-017, SDP-15-029 AND PHASE VI. GREATER DETAIL FOR THIS AREA WILL BE PROVIDED WITH FUTURE PHASE VI SDP.



FISHER, COLLINS & CARTER, INC.
 CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
 CENTENNIAL SQUARE OFFICE PARK - 10272 BALTIMORE NATIONAL PKWY.
 ELLICOTT CITY, MARYLAND 21042
 (410) 461-2895

NO.	REVISION	DATE
1	REVISED DECKS, WORN ROOM PER ARCHITECTURAL PLAN	8/3/16



AS-BUILT CERTIFICATION
 Note: There is no "AS BUILT" information provided on this sheet.
 CHARLES J. DRUCKER, P.E. #23204 Date 12/1/16

PROFESSIONAL CERTIFICATION
 I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND THAT I AM A DULY LICENSED PROFESSIONAL SURVEYOR UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 21476, EXPIRATION DATE: 7/14/17.
 Frank John Manalansan II, L.S. No. 21476 DATE 8/14/15

OWNER
 CDOG 3 B2H LP,
 C/O CDCG ASSET MANAGEMENT, LLC
 8985 E. HARTFORD DRIVE
 SUITE 220
 SCOTTSDALE, ARIZONA 85255
 ATTN: STEVEN S. BENSON
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 BEAZER HOMES CORP
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 SUITE 290
 COLUMBIA, MARYLAND 21046
 ATTN: EDWARD GOLD
 (410) 720-5071

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
 K. S. [Signature]
 Chief, Division of Land Development DATE 10-7-15
 [Signature]
 Chief, Development Engineering Division DATE 10-2-15
 [Signature]
 Director - Department of Planning and Zoning DATE 10-7-15

PROJECT: MORRIS PLACE PHASES I-IV SECTION: N/A LOTS NO.: 1 THRU 53

PLAT	BLOCK NO.	ZONE	TAX/ZONE	ELEC. DIST.	CENSUS TR.
23345-23348	4	CAC-CU	43	2	6069.02

WATER CODE: C-02 SEWER CODE: 7390000

LANDSCAPE PLAN
 SINGLE FAMILY TOWNHOUSE
 MORRIS PLACE
 LOTS 1 THRU 53, OPEN SPACE LOTS 54 THRU 61 & NON-BUILDABLE BULK PARCELS 'A' THRU 'C' PHASES I-IV
 ZONED: CAC-CU
 PREVIOUS HOWARD COUNTY FILES: CCP-13-035, SDP-82-148, SDP-91-50, 5-10-02, P-13-001, WP-12-173, WP-14-068, F-14-028, F-15-047, SDP-15-029 AND W & S CONTRACT NO. 14-4777-D.
 TAX MAP NO.: 43 PARCEL NO.: 599 GRID NO.: 4
 FIRST ELECTION DISTRICT HOWARD COUNTY, MARYLAND
 SCALE: 1" = 50' DATE: AUGUST, 2015
 SHEET 11 OF 14

THERE IS NO "AS-BUILT" INFORMATION PROVIDED ON THIS SHEET