

NOTES:
 1. ALL WATER CONNECTIONS SHALL BE 1-1/2" WITH 1" OUTSIDE METER SETTINGS, UNLESS OTHERWISE NOTED. REFER TO HOWARD COUNTY DETAILS W-3.28 OUTSIDE METER SETTINGS.

NOTE:
 1. HOUSE BOXES ARE GENERIC AND SHOULD NOT BE CONSIDERED LIMITING. ADDITIONAL HOUSE TYPES AND OPTIONS MAY FIT ON ANY GIVEN LOT.
 2. THE STAKING OF FOUNDATIONS PRIOR TO CONSTRUCTION TO ENSURE COMPLIANCE WITH REGULATORY BUILDING RESTRICTION LINES IS RECOMMENDED.

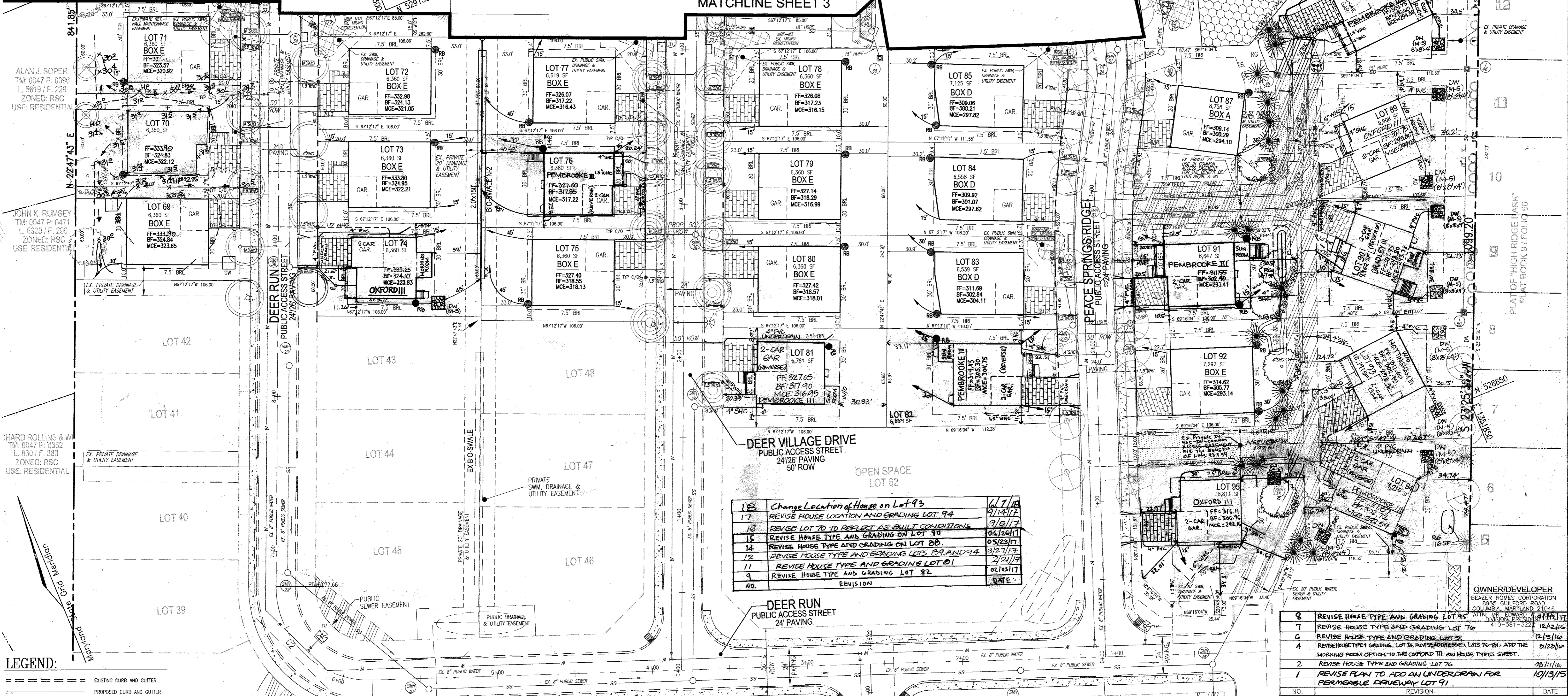
PERMEABLE SURFACE NOTE:

- ALL PERMEABLE CONCRETE THICKNESS AND MIX TO BE DETERMINED BY GEOTECHNICAL ENGINEER ON SITE. SEE DETAIL SHEET 9
- ALL LOTS SHALL HAVE THE STANDARD 12" SUBBASE AND AN ADDITIONAL AMOUNT OF #57 BELOW THE STANDARD 12" BASE. SEE SHEET 9 & 10

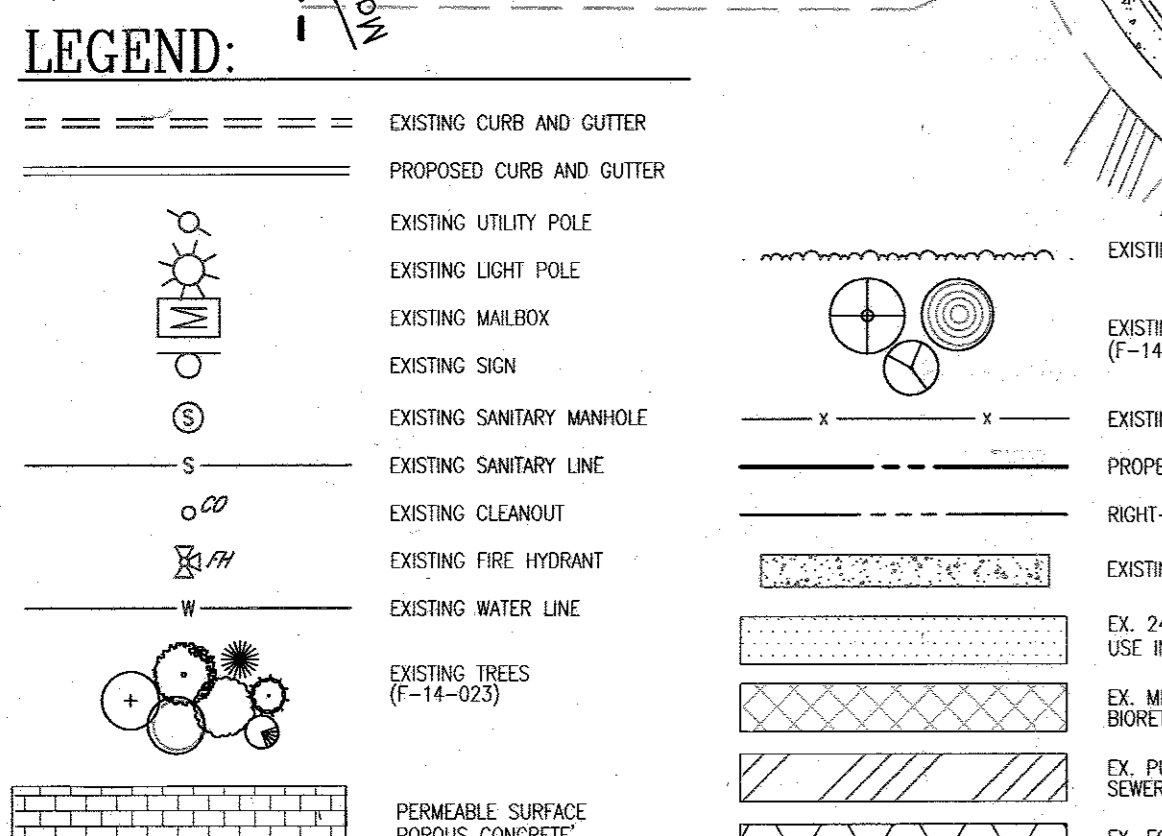
*** NOTE (LOT 94) - REFERENCE AA-17-009 APPROVED JULY 2017 FOR THE ORIGINAL CONCEPT FROM THE FRONT PROPERTY LINE FROM 20 FEET TO 16.0 FEET (SECTION 110.0.D.4.(A)) OF ZONING REGULATIONS AND TO REMOVE THE REQUIREMENT FROM THE SIDE PROPERTY LINE (SECTION 110.0.D.4.(B)) FROM 20 FEET TO 6.0 FEET (SECTION 110.0.D.4.(B)) OF ZONING REGULATIONS.**

- NOTES:**
1. REFER TO SHEET 9 & 10 FOR DRYWELL (DW) SIZE, NOTES & DETAILS
 2. REFER TO SHEET 9 FOR RAIN BARREL NOTES & DETAILS
 3. REFER TO SHEET 9 FOR PERMEABLE SURFACE (POROUS CONCRETE) DRIVEWAY & LEADWAYS & DETAILS
 4. REFER TO SHEETS 9&10 FOR MICRO-BIORETENTION AND RAINGARDEN NOTES AND DETAILS
 5. REFER TO SHEET 9 FOR ROOFTOP DISCONNECTION CRITERIA. DOWNSPOUTS SHALL BE LOCATED WHERE SHOWN HEREON AT MINIMUM AND DIRECTED AT THE GROUND SURFACE TO FLOW IN THE DIRECTION SHOWN

MATCHLINE SHEET 3



NO.	REVISION	DATE
18	Change Location of House on Lot 93	6/7/18
17	REVISE HOUSE LOCATION AND GRADING LOT 94	9/14/17
16	REVISE LOT TO TO REFLECT AS-BUILT CONDITIONS	9/15/17
15	REVISE HOUSE TYPE AND GRADING ON LOT 90	06/26/17
14	REVISE HOUSE TYPE AND GRADING ON LOT 88.	05/23/17
13	REVISE HOUSE TYPE AND GRADING LOTS 89 AND 94	3/27/17
12	REVISE HOUSE TYPE AND GRADING LOT 81	2/21/17
9	REVISE HOUSE TYPE AND GRADING LOT 82	02/15/17



APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

[Signature] 7.8.15
 CHIEF, DEVELOPMENT ENGINEERING DIVISION
 DATE

[Signature] 7-20-15
 CHIEF, DIVISION OF LAND DEVELOPMENT
 DATE

[Signature] 7-21-15
 DIRECTOR
 DATE

DEVELOPER'S/BUILDER'S CERTIFICATE

I/WE CERTIFY THAT THE LANDSCAPING SHOWN ON THIS PLAN WILL BE DONE ACCORDING TO THE PLAN, SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE HOWARD COUNTY LANDSCAPE MANUAL. I/WE FURTHER CERTIFY THAT UPON COMPLETION, A CERTIFICATION OF LANDSCAPE INSTALLATION, ACCOMPANIED BY AN EXECUTED ONE (1) YEAR GUARANTEE OF PLANT MATERIALS, WILL BE SUBMITTED TO THE DEPARTMENT OF PLANNING AND ZONING.

[Signature] 8/22/15
 SIGNATURE OF DEVELOPER
 DATE

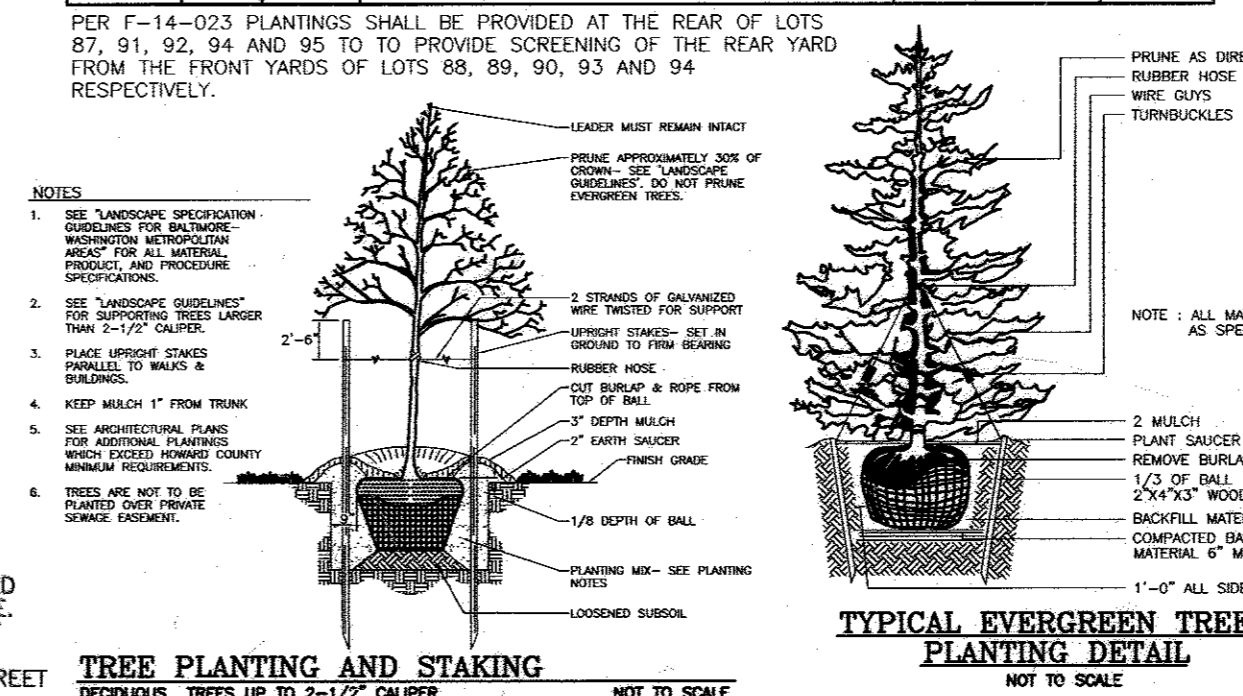
- GENERAL NOTES:**
1. STREET TREES WERE AND PERIMETER LANDSCAPING WAS PROVIDED FOR THIS PROJECT IN ACCORDANCE WITH SECTION 16.124(e)(1) OF THE SUBDIVISION REGULATIONS AND THE LANDSCAPE MANUAL UNDER F 14-023.
 2. THE OWNER, TENANT AND/OR THEIR AGENTS SHALL BE RESPONSIBLE FOR MAINTENANCE OF THE REQUIRED LANDSCAPING. TREES, FENCES AND WALLS. ALL PLANT MATERIALS SHALL BE MAINTAINED IN GOOD GROWING CONDITION AND WHEN NECESSARY, REPLACED WITH NEW MATERIALS TO ENSURE CONTINUED COMPLIANCE WITH APPLICABLE REGULATIONS. ALL REQUIRED LANDSCAPING SHALL BE PERMANENTLY MAINTAINED IN GOOD CONDITION, AND WHEN NECESSARY, REPAIRED OR REPLACED.
 3. AT THE TIME OF INSTALLMENT, ALL SHRUBS AND OTHER PLANTINGS LISTED HEREWITH AND APPROVED FOR THIS SITE SHALL BE OF THE PROPER HEIGHT REQUIREMENTS IN ACCORDANCE WITH THE HOWARD COUNTY LANDSCAPE MANUAL. IN ADDITION, NO SUBSTITUTIONS OR RELOCATION OF REQUIRED PLANTING MAY BE MADE WITHOUT PRIOR REVIEW AND APPROVAL FROM THE DEPARTMENT OF PLANNING AND ZONING. ANY DEVIATION FROM THIS APPROVED LANDSCAPE PLAN MAY RESULT IN DENIAL OR DELAY IN THE RELEASE OF LANDSCAPE SURETY UNTIL SUCH TIME AS ALL REQUIRED MATERIALS ARE PLANTED AND/OR REVISIONS ARE MADE TO APPLICABLE PLANS AND CERTIFICATES.
 4. SHOULD ANY TREE DESIGNATED FOR PRESERVATION FOR WHICH LANDSCAPING CREDIT IS GIVEN, DIE PRIOR TO RELEASE OF BONDS, THE OWNER WILL BE REQUIRED TO REPLACE THE TREE WITH THE EQUIVALENT SPECIES OR WITH A TREE WHICH WILL OBTAIN THE SAME HEIGHT, SPREAD, AND GROWTH CHARACTERISTICS. THE REPLACEMENT TREE MUST BE A MINIMUM OF 3 INCHES IN CALIPER AND INSTALLED AS REQUIRED IN THE HOWARD COUNTY LANDSCAPE MANUAL.
 5. PLANTINGS SHOWN HEREON ARE THE RESPONSIBILITY OF THE BUILDER TO INSTALL DURING THE CONSTRUCTION OF THE HOMES.
 6. THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE PROVISIONS OF SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL. FINANCIAL SURETY FOR THE PLANTINGS IN THE AMOUNT OF \$3,450.00 FOR THE REQUIRED 5 ORNAMENTAL TREES, 18 EVERGREENS, SHALL BE POSTED WITH THE GRADING PERMIT FOR THIS PLAN.
 7. THE SCREENING LANDSCAPING HAS BEEN PREPARED IN ACCORDANCE WITH SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL. FINANCIAL SURETY FOR THE PLANTINGS IN THE AMOUNT OF \$3,450.00 FOR THE REQUIRED 5 ORNAMENTAL TREES, 18 EVERGREENS, SHALL BE POSTED WITH THE GRADING PERMIT FOR THIS PLAN.
 8. A MINIMUM OF 20" SHALL BE MAINTAINED BETWEEN ANY STREET LIGHT AND ANY TREE.
 9. IF TREES ARE INSTALLED PRIOR TO STREET LIGHTS, CONTACT HOWARD COUNTY TRAFFIC ENGINEERS (410) 313-5732 TO GET STREET LIGHT LOCATIONS MARKED.

LANDSCAPE SCHEDULE NOTE:

ALL PLANT MATERIALS SHALL BE FULL AND HEAVY, BE WELL FORMED AND SYMMETRICAL, CONFORM TO THE MOST CURRENT ASH SPECIFICATIONS AND BE INSTALLED IN ACCORDANCE WITH HED PLANTING SPECIFICATIONS. CONTRACTOR SHALL VERIFY LOCATION OF ALL UNDERGROUND UTILITIES PRIOR TO DIGGING. FINAL LOCATION OF PLANT MATERIAL MAY NEED TO VARY TO MEET FINAL FIELD CONDITIONS. TREES SHALL NOT BE PLANTED IN THE BOTTOM OF DRAINAGE SWALES. CONTRACTOR SHALL VERIFY PLANT QUANTITIES PRIOR TO BIDDING. IF PLAN DIFFERS FROM LANDSCAPE SCHEDULE, THE PLAN SHALL GOVERN.

LANDSCAPE SCHEDULE

KEY	QUAN.	BOTANICAL NAME	SIZE	REMARKS
CK	5	CORNUS KOUSA KOUSA DOGWOOD	8'-10' HT.	B & B
NS	18	PICEA ABIES NORWAY SPRUCE	6'-8' HT.	B & B



NO.	REVISION	DATE
8	REVISE HOUSE TYPE AND GRADING LOT 45	4/11/17
7	REVISE HOUSE TYPE AND GRADING LOT 76	4/10/17
6	REVISE HOUSE TYPE AND GRADING LOT 91	12/15/16
4	REVISE HOUSE TYPE GRADING, LOT 74, REVISE ADDRESSES LOTS 76-81, ADD THE MORNING ROOM OPTION TO THE OXFORD III ON HOUSE TYPES SHEET.	01/29/16
2	REVISE HOUSE TYPE AND GRADING LOT 76	08/11/16
1	REVISE PLAN TO ADD AN UNDERDRAIN FOR PERMEABLE DRIVEWAY LOT 91	10/13/15

**SITE DEVELOPMENT PLAN
 LAYOUT & LANDSCAPE PLAN
 HIGH RIDGE MEADOWS
 SECTION TWO
 LOTS 69 - 143**

6TH ELECTION DISTRICT
 TAX MAP: 50, GRB: 1
 DPZ REF'S: F-10-065, WP-10-087, ECP-12-047
 WP-13-080, SP-13-007, F-14-022, F-14-023, SDP 14-081

ZONED: R-SC
 PARCEL: 363
 HOWARD COUNTY, MARYLAND

**ROBERT H. VOGEL
 ENGINEERING, INC.**
 ENGINEERS • SURVEYORS • PLANNERS
 8407 MAIN STREET
 ELLICOTT CITY, MD 21043
 TEL: 410.461.7666
 FAX: 410.461.8991

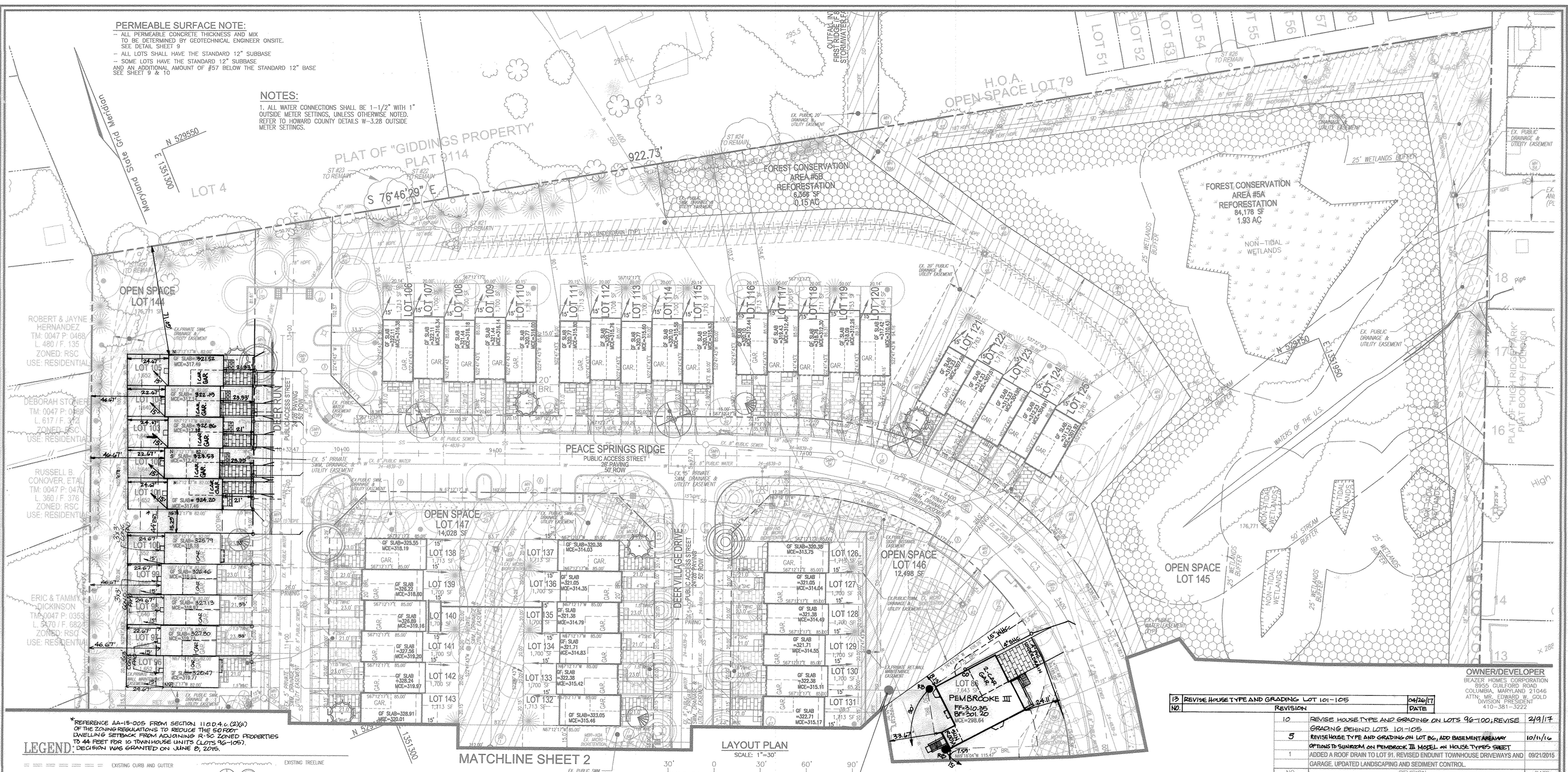
DESIGN BY: RHV / EDS
 DRAWN BY: KG/EDS
 CHECKED BY: RHV
 DATE: APRIL 2015
 SCALE: AS SHOWN
 W.O. NO.: 11-28

PROFESSIONAL CERTIFICATE
 I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A FULLY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 16193
 EXPIRATION DATE: 09-27-2016

2 SHEET OF 10

PERMEABLE SURFACE NOTE:
 - ALL PERMEABLE CONCRETE THICKNESS AND MIX TO BE DETERMINED BY GEOTECHNICAL ENGINEER ONSITE. SEE DETAIL SHEET 9
 - ALL LOTS SHALL HAVE THE STANDARD 12" SUBBASE
 - SOME LOTS HAVE THE STANDARD 12" SUBBASE AND AN ADDITIONAL AMOUNT OF #57 BELOW THE STANDARD 12" BASE SEE SHEET 9 & 10

NOTES:
 1. ALL WATER CONNECTIONS SHALL BE 1-1/2" WITH 1" OUTSIDE METER SETTINGS, UNLESS OTHERWISE NOTED. REFER TO HOWARD COUNTY DETAILS W-3.28 OUTSIDE METER SETTINGS.



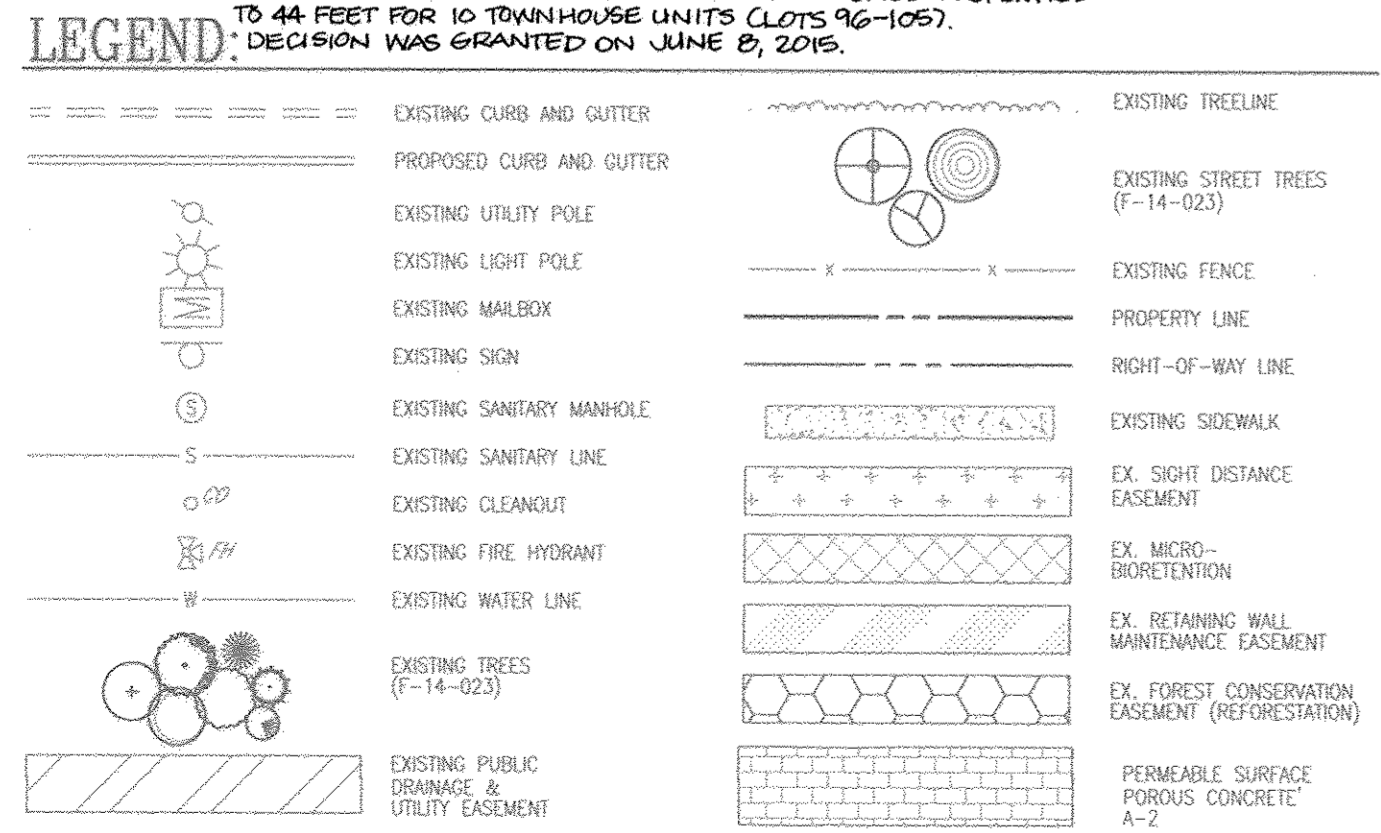
ROBERT & JAYNE HERNANDEZ
 TM: 0047 P. 0468
 L. 490 / F. 135
 ZONED: R-SC
 USE: RESIDENTIAL

DEBORAH STONER
 TM: 0047 P. 0469
 L. 617 / F. 372
 ZONED: R-SC
 USE: RESIDENTIAL

RUSSELL B. CONOVER, ET AL
 TM: 0047 P. 0470
 L. 360 / F. 376
 ZONED: R-SC
 USE: RESIDENTIAL

ERIC & TAMMY DICKINSON
 TM: 0047 P. 0355
 L. 570 / F. 682
 ZONED: R-SC
 USE: RESIDENTIAL

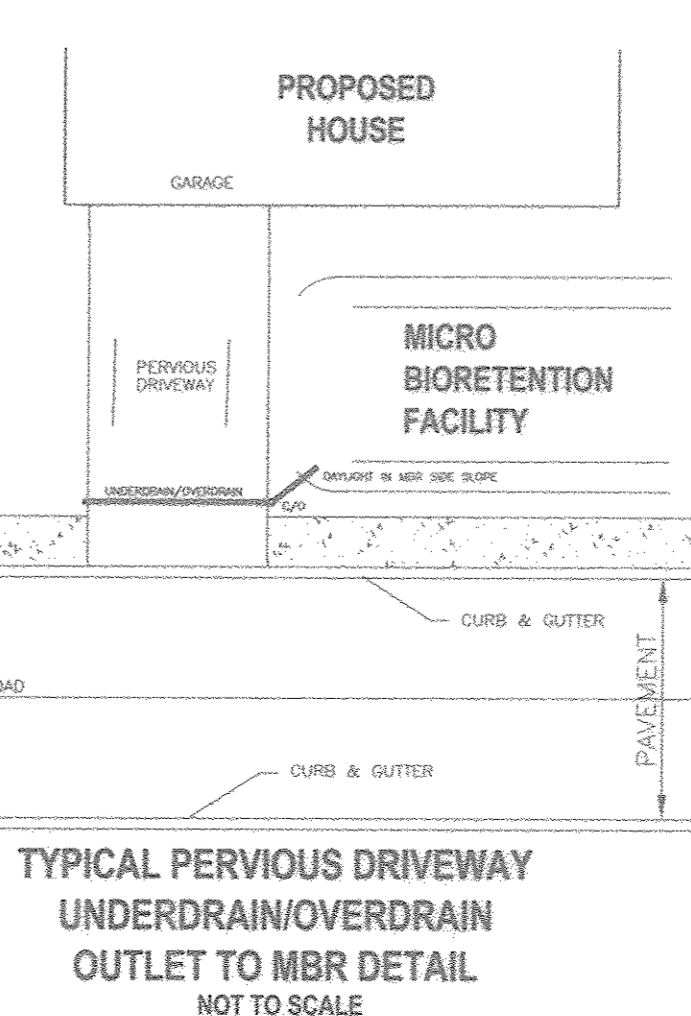
*REFERENCE AA-15-005 FROM SECTION 110.04.6.2(D)(2) OF THE ZONING REGULATIONS TO REDUCE THE SOFFIT CRAWLING SETBACK FROM ADJOINING R-SC ZONED PROPERTIES TO 44 FEET FOR 10 TOWNHOUSE UNITS (LOTS 96-105). DECISION WAS GRANTED ON JUNE 20, 2015.



TOWNHOUSE MODEL RESTRICTION - BY LOT

LOTS	TYPE	RESTRICTION
96	SFA	34FT DEEP MODEL REQUIRED. NO OPTIONAL REAR EXTENSION OR MORNING ROOM (1), NO SIDE BRICK OPTION (2)
97	SFA	34FT DEEP MODEL REQUIRED. NO OPTIONAL REAR EXTENSION OR MORNING ROOM (1)
98	SFA	34FT DEEP MODEL REQUIRED. NO OPTIONAL REAR EXTENSION OR MORNING ROOM (1)
99	SFA	34FT DEEP MODEL REQUIRED. NO OPTIONAL REAR EXTENSION OR MORNING ROOM (1)
100	SFA	34FT DEEP MODEL REQUIRED. NO OPTIONAL REAR EXTENSION OR MORNING ROOM (1), NO SIDE BRICK OPTION (2)
101	SFA	34FT DEEP MODEL REQUIRED. NO OPTIONAL REAR EXTENSION OR MORNING ROOM (1), NO SIDE BRICK OPTION (2)
102	SFA	34FT DEEP MODEL REQUIRED. NO OPTIONAL REAR EXTENSION OR MORNING ROOM (1)
103	SFA	34FT DEEP MODEL REQUIRED. NO OPTIONAL REAR EXTENSION OR MORNING ROOM (1)
104	SFA	34FT DEEP MODEL REQUIRED. NO OPTIONAL REAR EXTENSION OR MORNING ROOM (1)
105	SFA	34FT DEEP MODEL REQUIRED. NO OPTIONAL REAR EXTENSION OR MORNING ROOM (1), NO SIDE BRICK OPTION (2)
106	SFA	NO OPTIONAL BRICK ON SIDE, (2)
110	SFA	NO OPTIONAL BRICK ON SIDE, (2)
111	SFA	NO OPTIONAL BRICK ON SIDE, (2)
115	SFA	NO OPTIONAL BRICK ON SIDE, (2)
116	SFA	NO OPTIONAL BRICK ON SIDE, (2)
120	SFA	NO OPTIONAL BRICK ON SIDE, (2)
122	SFA	NO OPTIONAL BRICK ON SIDE, (2)
125	SFA	NO OPTIONAL BRICK ON SIDE, (2)
126	SFA	NO OPTIONAL BRICK ON SIDE, (2)
130	SFA	REAR OPTIONS MAY BE LIMITED. SEE "SFA LOT 130/131 & SFD LOT 87 SEPARATION NOTE"
131	SFA	REAR OPTIONS MAY BE LIMITED. SEE "SFA LOT 130/131 & SFD LOT 87 SEPARATION NOTE"
132	SFA	NO OPTIONAL BRICK ON SIDE, (2)
137	SFA	NO OPTIONAL BRICK ON SIDE, (2)
138	SFA	NO OPTIONAL BRICK ON SIDE, (2)
143	SFA	NO OPTIONAL BRICK ON SIDE, (2)

SFA LOT 130/131 & SFD LOT 87 SEPARATION NOTE:
 IN ACCORDANCE WITH SECTION 110.04.6.2(D) OF THE HOWARD COUNTY ZONING REGULATIONS, THE REAR OF SFA LOTS 130/131 MUST BE SEPARATED FROM THE REAR OF SFD LOT 87 BY 80 FEET. THE CURRENT PLAN SHOWS THE UNIT ON LOTS 130/131 AS BEING 65 FEET +/- FROM THE REAR OF GENERIC BOX D LOT 86. DEPENDING ON THE ORDER OF SALES, THE OPPOSING UNITS MAY BE RESTRICTED AS TO OPTIONS OR HOUSE MODELS AVAILABLE.



NOTES:
 1. REFER TO SHEET 9 & 10 FOR DRYWELL (DW) SIZE, NOTES & DETAILS
 2. REFER TO SHEET 9 FOR RAIN BARREL NOTES & DETAILS
 3. REFER TO SHEET 9 FOR PERMEABLE SURFACE (POROUS CONCRETE) DRIVEWAY & LEADWALK NOTES AND DETAILS
 4. REFER TO SHEETS 9&10 FOR MICRO-BIORETENTION AND RAINGARDEN NOTES AND DETAILS
 5. REFER TO SHEET 9 FOR ROOFTOP DISCONNECTION CRITERIA. DOWNSPOUTS SHALL BE LOCATED WHERE SHOWN HEREON, AT MINIMUM AND DIRECTED AT THE GROUND SURFACE TO FLOW IN THE DIRECTION SHOWN

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

Chad Eshen
 CHIEF, DEVELOPMENT ENGINEERING DIVISION
 DATE: 3-16-16

Kate L. Linn
 CHIEF, DIVISION OF LAND DEVELOPMENT
 DATE: 3-22-16

Valerie Joffe
 DIRECTOR
 DATE: 3-22-16

NOTES:
 1. HOUSE BOXES ARE GENERIC AND SHOULD NOT BE CONSIDERED LIMITING. ADDITIONAL HOUSE TYPES AND OPTIONS MAY FIT ON ANY GIVEN LOT.
 2. THE STAKING OF FOUNDATIONS PRIOR TO CONSTRUCTION TO ENSURE COMPLIANCE WITH REGULATORY BUILDING RESTRICTION LINES IS RECOMMENDED.
 3. A MINIMUM OF 20" SHALL BE MAINTAINED BETWEEN ANY STREET LIGHT AND ANY TREE. IF TREES ARE INSTALLED PRIOR TO STREET LIGHTS, CONTACT HOWARD COUNTY TRAFFIC ENGINEERING (410)-313-5752 TO GET STREET LIGHT LOCATIONS MARKED.

NO.	REVISION	DATE
13	REVISE HOUSE TYPE AND GRADING LOT 101-105	04/26/17
10	REVISE HOUSE TYPE AND GRADING ON LOTS 96-100; REVISE GRADING BEHIND LOTS 101-105	10/11/16
5	REVISE HOUSE TYPE AND GRADING ON LOT 86, ADD BASEMENT DRIVEWAY OPTIONS TO SUNBELT ON PEMBROKE III MODEL ON HOUSE TYPES SHEET	09/21/2015
1	ADDED A ROOF DRAIN TO LOT 91, REVISED ENDUNIT TOWNHOUSE DRIVEWAYS AND GARAGE, UPDATED LANDSCAPING AND SEDIMENT CONTROL	09/21/2015

OWNER/DEVELOPER
 BEAZER HOMES CORPORATION
 8955 GUILFORD ROAD
 COLUMBIA, MARYLAND 21048
 ATTN: MR. EDWARD W. GOLD
 DIVISION PRESIDENT
 410-381-3272

REVISED SITE DEVELOPMENT PLAN
LAYOUT SHEET
HIGH RIDGE MEADOWS
SECTION TWO
LOTS 69 - 143

6TH ELECTION DISTRICT
 TAX MAP: 50 GRD: 1
 DPZ REF'S: F-10-085, W-10-087, E-12-047
 WP-13-080, SP-13-007, F-14-022, F-14-023, SDP 14-081

ROBERT H. VOGEL ENGINEERING, INC.
 ENGINEERS • SURVEYORS • PLANNERS
 8407 MAIN STREET
 ELICHTICITY, MD 21043
 TEL: 410-461-7666
 FAX: 410-461-1896

PROFESSIONAL CERTIFICATE
 I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 16193, EXPIRATION DATE: 09-27-2016

DESIGN BY: RHV / EDS
 DRAWN BY: KG/EDS
 CHECKED BY: RHV
 DATE: SEPTEMBER 2015
 SCALE: AS SHOWN
 W.O. NO.: 11-28

STATE OF MARYLAND
 ROBERT H. VOGEL, PE No. 16193

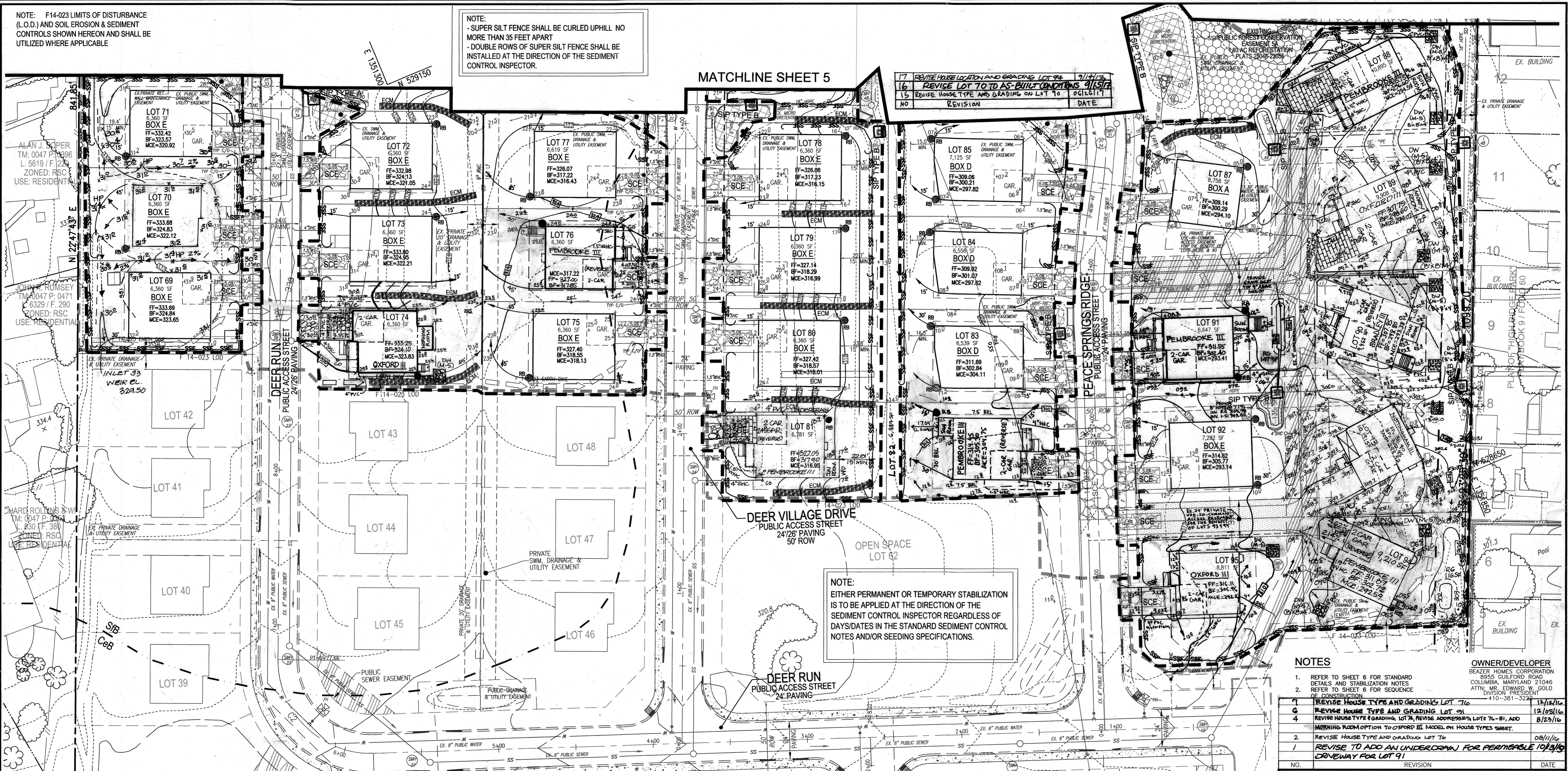
3 SHEET OF 10

NOTE: F14-023 LIMITS OF DISTURBANCE (L.O.D.) AND SOIL EROSION & SEDIMENT CONTROLS SHOWN HEREON AND SHALL BE UTILIZED WHERE APPLICABLE.

NOTE:
- SUPER SILT FENCE SHALL BE CURLED UPHILL NO MORE THAN 35 FEET APART
- DOUBLE ROWS OF SUPER SILT FENCE SHALL BE INSTALLED AT THE DIRECTION OF THE SEDIMENT CONTROL INSPECTOR.

MATCHLINE SHEET 5

17	REVISE HOUSE LOCATION AND GRADING LOT 94	9/14/13
16	REVISE LOT 70 TO AS-BUILT CONDITIONS	9/11/13
15	REVISE HOUSE TYPE AND GRADING ON LOT 70	02/16/11
NO	REVISION	DATE

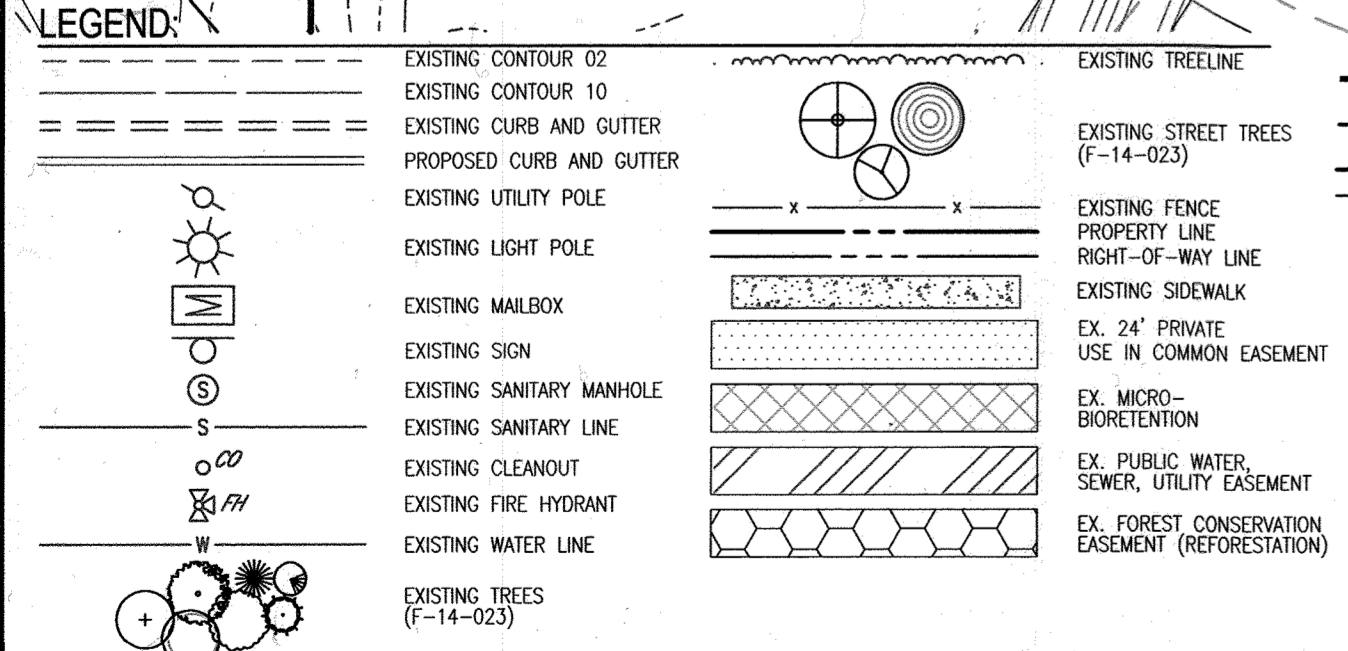


NOTE:
EITHER PERMANENT OR TEMPORARY STABILIZATION IS TO BE APPLIED AT THE DIRECTION OF THE SEDIMENT CONTROL INSPECTOR REGARDLESS OF DAYS/DATES IN THE STANDARD SEDIMENT CONTROL NOTES AND/OR SEEDING SPECIFICATIONS.

NOTES
1. REFER TO SHEET 6 FOR STANDARD DETAILS AND STABILIZATION NOTES
2. REFER TO SHEET 8 FOR SEQUENCE OF CONSTRUCTION
3. REVISE HOUSE TYPE AND GRADING LOT 70
4. REVISE HOUSE TYPE AND GRADING LOT 71, REVISE ADDRESS TO LOTS 74-81, ADD MORNING ROOM OPTION TO OXFORD III MODEL ON HOUSE TYPES SW-1
1. REVISE HOUSE TYPE AND GRADING LOT 70
2. REVISE TO ADD AN UNDERDRAIN FOR PERMEABLE DRIVEWAY FOR LOT 91

OWNER/DEVELOPER
BEAZER HOMES CORPORATION
8855 GUILFORD ROAD
COLUMBIA, MARYLAND 21046
ATTN: MR. EDWARD W. GOLD
DIVISION PRESIDENT
410-381-3222

NO.	REVISION	DATE
1	REVISE HOUSE TYPE AND GRADING LOT 70	12/12/10
2	REVISE HOUSE TYPE AND GRADING LOT 71	12/15/10
3	REVISE HOUSE TYPE AND GRADING LOT 71, REVISE ADDRESS TO LOTS 74-81, ADD MORNING ROOM OPTION TO OXFORD III MODEL ON HOUSE TYPES SW-1	8/23/10
4	REVISE HOUSE TYPE AND GRADING LOT 70	08/11/10
5	REVISE TO ADD AN UNDERDRAIN FOR PERMEABLE DRIVEWAY FOR LOT 91	10/13/10



GRADING AND SOIL EROSION AND SEDIMENT CONTROL PLAN

SCALE: 1"=30'

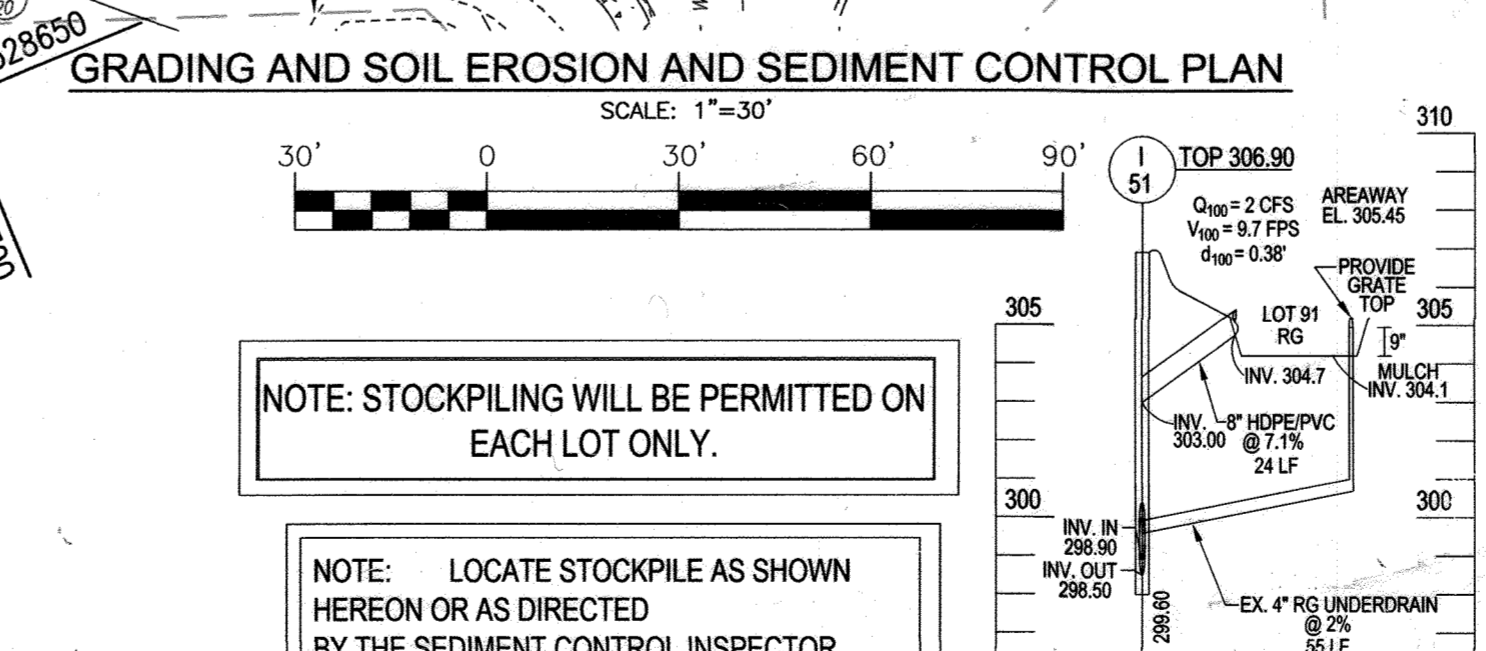
NOTE: STOCKPILING WILL BE PERMITTED ON EACH LOT ONLY.

NOTE: LOCATE STOCKPILE AS SHOWN HEREON OR AS DIRECTED BY THE SEDIMENT CONTROL INSPECTOR. ANY STOCKPILES EXCEEDING 15 FEET IN HEIGHT SHALL BE BENCHED.

SYMBOL	NAME / DESCRIPTION	GROUP	HYDRO	PERCENT SAND	PERCENT SILT	PERCENT CLAY	PERCENT ORGANIC MATTER	PERCENT ROCK	PERCENT COBBLES	PERCENT GRAVEL	PERCENT STONES	Kw RANGE*		PERCENT PORE SPACE
												PERCENT SAND	PERCENT SILT	
CHP	CHILLUM LOAM, 2 TO 5 PERCENT SLOPES	B	NO	0.15	0.37	NO	NO	NO	NO	NO	NO	NO	0.15 - 0.37	NO
SFB	SASSAPARA GROWING SANDY LOAM, 2 TO 5 PERCENT SLOPES	B	NO	0.17	0.24	NO	NO	NO	NO	NO	NO	NO	0.17 - 0.24	NO
SFD	SASSAPARA AND CROOK SOILS, 10 TO 15 PERCENT SLOPES	B	NO	0.32	0.37	NO	NO	NO	NO	NO	NO	NO	0.32 - 0.37	PARTIAL
USB	URBAN LAND-CHILLUM-BELTSVILLE COMPLEX, 0 TO 5 PERCENT SLOPES	D	NO	0.37	NO	NO	NO	NO	NO	NO	NO	NO	0.37	NO

TAKEN FROM: USDA, SCS-WEB SOIL SURVEY, HOWARD COUNTY
K-FACTOR = Kw @ 0-4" DEPTH
* BASED UPON ESTIMATED CUTS

NOTE: HIGHLY ERODIBLE SOILS ARE THOSE SOILS WITH A SLOPE GREATER THAN 15 PERCENT OF THOSE SOILS WITH A SOIL ERODIBILITY FACTOR K GREATER THAN 0.35 AND WITH A SLOPE GREATER THAN 5 PERCENT



LOT #	UNDERDRAIN MIN. INVERT*	OUTFALL LOCATION
69	328.9	UNDERDRAIN TO DAYLIGHT AT MBR-N-1
70	328.0	UNDERDRAIN TO DAYLIGHT AT MBR-N-1
71	328.2	UNDERDRAIN TO DAYLIGHT TOWARDS REAR LOT AT DETAILED INVERT
72	328.2	UNDERDRAIN TO DAYLIGHT TOWARDS REAR LOT AT DETAILED INVERT
73	329.0	UNDERDRAIN TO DAYLIGHT TOWARDS REAR LOT AT DETAILED INVERT
74	328.5	UNDERDRAIN TO DAYLIGHT TOWARDS REAR LOT AT DETAILED INVERT
75	326.5	UNDERDRAIN TO DAYLIGHT TOWARDS REAR LOT AT DETAILED INVERT
76	321.3	UNDERDRAIN TO DAYLIGHT AT MBR-N-2A
77	320.3	UNDERDRAIN TO DAYLIGHT AT MBR-N-2A
78	321.2	UNDERDRAIN TO DAYLIGHT TOWARDS REAR LOT AT DETAILED INVERT
79	321.2	UNDERDRAIN TO DAYLIGHT TOWARDS REAR LOT AT DETAILED INVERT
80	322.6	UNDERDRAIN TO DAYLIGHT TOWARDS REAR LOT AT DETAILED INVERT
81	322.2	UNDERDRAIN TO DAYLIGHT TOWARDS REAR LOT AT DETAILED INVERT
82	308.6	UNDERDRAIN TO CONNECT TO SD MANHOLE
83	308.6	UNDERDRAIN TO DAYLIGHT AT MBR-N-6
84	305.1	UNDERDRAIN TO DAYLIGHT AT MBR-N-6
85	304.3	UNDERDRAIN TO DAYLIGHT AT MBR-N-7
86	304.3	UNDERDRAIN TO DAYLIGHT TOWARDS REAR LOT AT DETAILED INVERT
87	304.3	UNDERDRAIN TO DAYLIGHT TOWARDS REAR LOT AT DETAILED INVERT
88	300.7	UNDERDRAIN TO DAYLIGHT TOWARDS REAR LOT AT DETAILED INVERT
89	300.7	UNDERDRAIN TO DAYLIGHT TOWARDS REAR LOT AT DETAILED INVERT
90	300.7	UNDERDRAIN TO DAYLIGHT TOWARDS REAR LOT AT DETAILED INVERT
91	300.7	UNDERDRAIN TO DAYLIGHT TOWARDS REAR LOT AT DETAILED INVERT
92	300.8	UNDERDRAIN TO DAYLIGHT TOWARDS REAR LOT AT DETAILED INVERT
93	300.8	UNDERDRAIN TO DAYLIGHT TOWARDS REAR LOT AT DETAILED INVERT
94	307.0	UNDERDRAIN TO DAYLIGHT TOWARDS REAR LOT AT DETAILED INVERT
95	311.4	UNDERDRAIN TO DAYLIGHT TOWARDS REAR LOT AT DETAILED INVERT

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

Howard County Seal

7-9-15 DATE

7-20-15 DATE

7-21-15 DATE

BY THE DEVELOPER:

WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN FOR SEDIMENT AND EROSION CONTROL, AND THAT ALL RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT.

7/22/15 DATE

BY THE ENGINEER:

I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS, AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

7/20/15 DATE

18 Change location of House on lot 92

19 REVISE THE PLAN TO REVISE SHM ON LOT 91

14 REVISE HOUSE TYPE AND GRADING LOT 88

12 REVISE HOUSE TYPE AND GRADING LOTS 81-94

11 REVISE HOUSE TYPE AND GRADING LOTS 12/21/17

9 REVISE HOUSE TYPE AND GRADING LOT 82

8 REVISE HOUSE TYPE AND GRADING LOT 95

11-3-20 DATE

05/23/17 DATE

3/27/17 DATE

12/21/17 DATE

02/03/17 DATE

01/12/17 DATE

SITE DEVELOPMENT PLAN
GRADING, SEDIMENT AND EROSION CONTROL PLAN
HIGH RIDGE MEADOWS SECTION TWO
LOTS 69 - 143

6TH ELECTION DISTRICT
DTP MAP: 50 GRID: 1
TAX REF'S: F-10-085, WP-10-087, EOP-12-047, WP-15-080, SP-13-007, F-14-022, F-14-023, SGP-14-081

ZONED: R-SC
PARCEL: 363
HOWARD COUNTY, MARYLAND

ROBERT H. VOGEL ENGINEERING, INC.
ENGINEERS • SURVEYORS • PLANNERS
8407 MAIN STREET
ELICOTT CITY, MD 21043
TEL: 410.461.7666
FAX: 410.461.8961

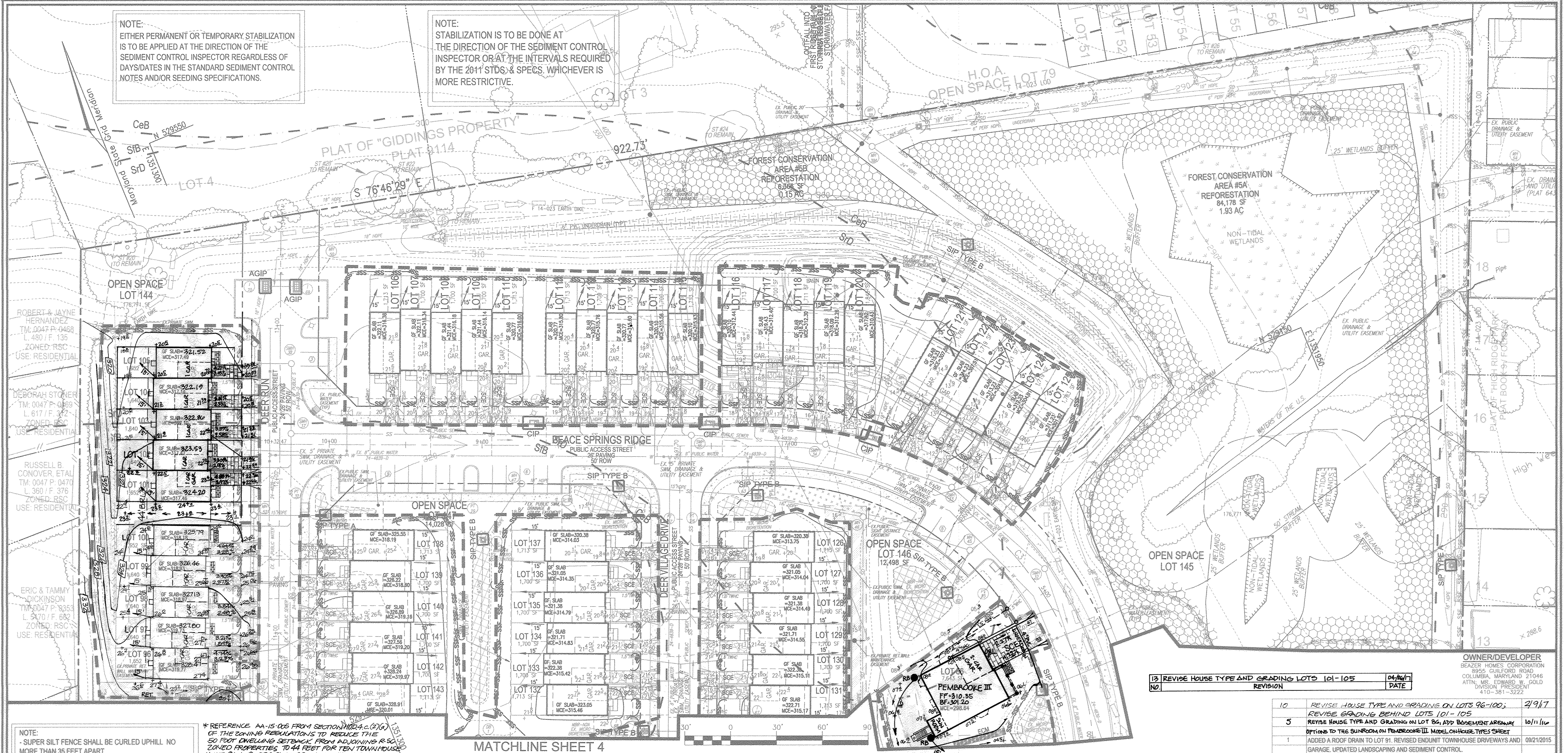
PROFESSIONAL CERTIFICATE
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 16193
EXPIRATION DATE: 09-27-2016

DESIGN BY: RHV / EDS
DRAWN BY: KG/EDS
CHECKED BY: RHV
DATE: APRIL 2015
SCALE: AS SHOWN
W.O. NO.: 11-28

4 SHEET OF 10

NOTE:
EITHER PERMANENT OR TEMPORARY STABILIZATION IS TO BE APPLIED AT THE DIRECTION OF THE SEDIMENT CONTROL INSPECTOR REGARDLESS OF DAYS/DATES IN THE STANDARD SEDIMENT CONTROL NOTES AND/OR SEEDING SPECIFICATIONS.

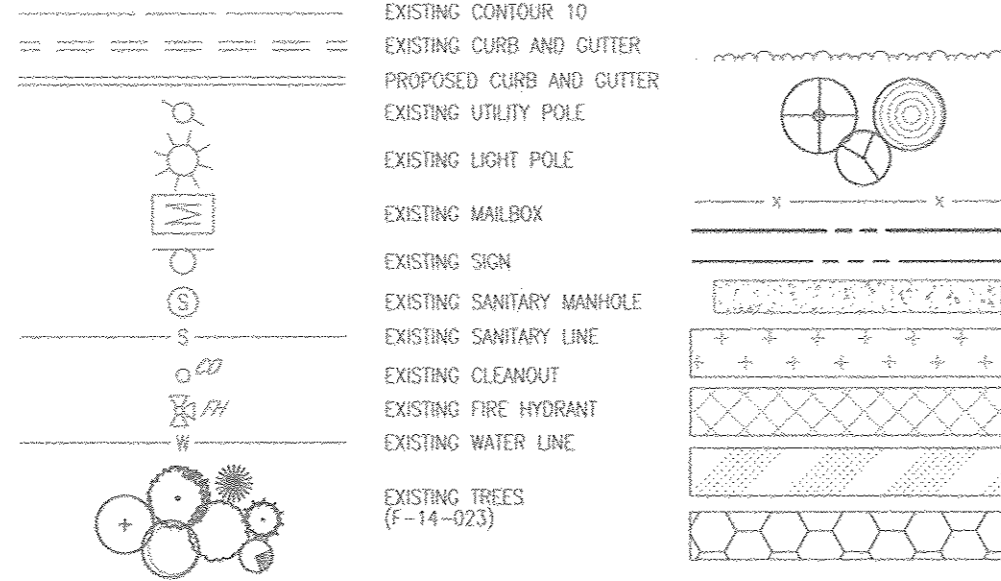
NOTE:
STABILIZATION IS TO BE DONE AT THE DIRECTION OF THE SEDIMENT CONTROL INSPECTOR OR AT THE INTERVALS REQUIRED BY THE 2011 STDS. & SPECS. WHICHEVER IS MORE RESTRICTIVE.



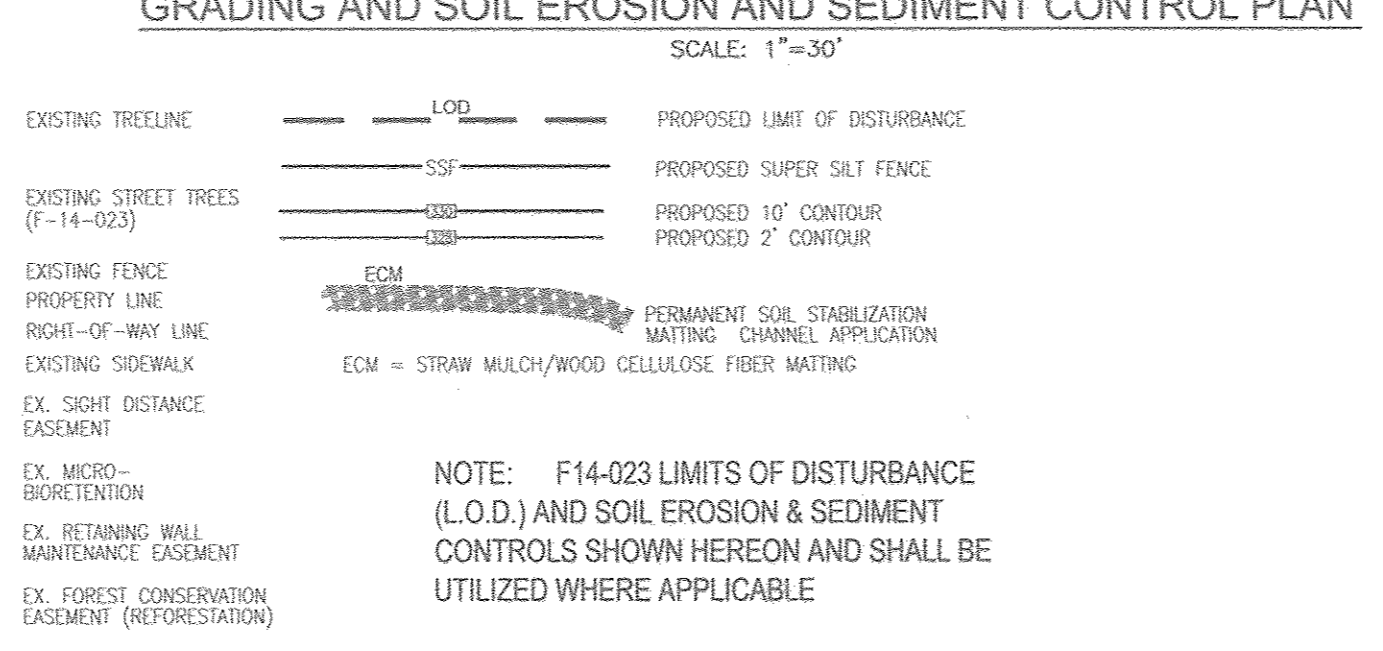
NOTE:
- SUPER SILT FENCE SHALL BE CURLED UPHILL. NO MORE THAN 35 FEET APART
- DOUBLE ROWS OF SUPER SILT FENCE SHALL BE INSTALLED AT THE DIRECTION OF THE SEDIMENT CONTROL INSPECTOR.

* REFERENCE AA-15-06 FROM SECTION 10(D)(4)(C)(7)(G) OF THE ZONING REGULATIONS TO REDUCE THE 50 FOOT DRAINAGE SETBACK FROM ADJOINING R-SC ZONED PROPERTIES TO 44 FEET FOR FEW TOWNHOUSE UNITS (96-105) DECISION GRANTED JUNE 8, 2015.

LEGEND:



GRADING AND SOIL EROSION AND SEDIMENT CONTROL PLAN
SCALE: 1"=30'



NOTE: F14-023 LIMITS OF DISTURBANCE (L.O.D.) AND SOIL EROSION & SEDIMENT CONTROLS SHOWN HEREON AND SHALL BE UTILIZED WHERE APPLICABLE

NOTES

- REFER TO SHEET 6 FOR STANDARD DETAILS AND STABILIZATION NOTES
- REFER TO SHEET 6 FOR SEQUENCE OF CONSTRUCTION
- REFER TO SHEET 4 FOR SOILS DATA

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD COUNTY SOIL CONSERVATION DISTRICT.

PERMEABLE SURFACE UNDERDRAIN OUTFALL

LOT #	UNDERDRAIN SLOPE INVERT	OUTFALL LOCATION
88	305.2	UNDERDRAIN SHALL ENTER MH-4
96	325.3	UNDERDRAIN SHALL ENTER MH-7
97	326.5	UNDERDRAIN SHALL ENTER MH-7
98	323.8	UNDERDRAIN SHALL ENTER MH-5
99	323.0	UNDERDRAIN SHALL ENTER MH-5
100	323.9	UNDERDRAIN SHALL ENTER MH-5
101	323.0	UNDERDRAIN SHALL ENTER MH-5
102	320.3	UNDERDRAIN SHALL ENTER MH-5
103	319.5	UNDERDRAIN SHALL ENTER MH-5
104	318.8	UNDERDRAIN SHALL ENTER MH-5
105	327.7	UNDERDRAIN SHALL ENTER MH-5
106	318.1	UNDERDRAIN SHALL ENTER MH-5
107	317.8	UNDERDRAIN SHALL ENTER MH-5
108	321.6	UNDERDRAIN SHALL ENTER MH-5
109	317.4	UNDERDRAIN SHALL ENTER MH-5
110	317.2	UNDERDRAIN SHALL ENTER MH-5
111	317.4	UNDERDRAIN SHALL ENTER MH-5
112	317.2	UNDERDRAIN SHALL ENTER MH-5
113	317.0	UNDERDRAIN SHALL ENTER MH-5
114	316.8	UNDERDRAIN SHALL ENTER MH-5
115	316.5	UNDERDRAIN SHALL ENTER MH-5
116	316.2	UNDERDRAIN SHALL ENTER MH-5
117	315.7	UNDERDRAIN SHALL ENTER MH-5
118	315.0	UNDERDRAIN SHALL ENTER MH-5
119	314.2	UNDERDRAIN SHALL ENTER MH-5
120	313.2	UNDERDRAIN SHALL ENTER MH-5
121	313.5	UNDERDRAIN SHALL ENTER MH-4
122	312.8	UNDERDRAIN SHALL ENTER MH-4
123	313.4	UNDERDRAIN SHALL ENTER MH-4
124	313.6	UNDERDRAIN SHALL ENTER MH-4
125	310.2	UNDERDRAIN SHALL ENTER MH-4
126	316.0	UNDERDRAIN TO DAYLIGHT AT MBR N-5
127	317.4	UNDERDRAIN TO DAYLIGHT AT MBR N-5
128	317.8	UNDERDRAIN TO DAYLIGHT AT MBR N-5
129	318.0	UNDERDRAIN TO DAYLIGHT AT MBR N-5
130	318.6	UNDERDRAIN TO DAYLIGHT AT MBR N-5
131	319.0	UNDERDRAIN TO DAYLIGHT AT MBR N-5
132	320.0	UNDERDRAIN TO-468
133	319.6	UNDERDRAIN TO-468
134	319.2	UNDERDRAIN TO DAYLIGHT AT MBR N-5
135	318.8	UNDERDRAIN TO DAYLIGHT AT MBR N-5
136	318.4	UNDERDRAIN TO DAYLIGHT AT MBR N-5
137	317.8	UNDERDRAIN TO DAYLIGHT AT MBR N-5
138	313.2	UNDERDRAIN SHALL ENTER F-71
139	324.4	UNDERDRAIN SHALL ENTER F-71
140	325.4	UNDERDRAIN SHALL ENTER F-71
141	325.9	UNDERDRAIN SHALL ENTER F-71
142	326.8	UNDERDRAIN TO DAYLIGHT AT MBR N-4
143	327.3	UNDERDRAIN TO DAYLIGHT AT MBR N-4

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
Chad Edelman 3-18-16
 CHIEF, DEVELOPMENT ENGINEERING DIVISION
Vicki S. Linder 3-22-16
 CHIEF, DIVISION OF LAND DEVELOPMENT
Valdis J. Jallie 3-22-16
 DIRECTOR

BY THE DEVELOPER:
 I HEREBY CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN FOR SEDIMENT AND EROSION CONTROL AND THAT ALL RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD COUNTY SOIL CONSERVATION DISTRICT.
[Signature] 2/23/16
 SIGNATURE OF DEVELOPER DATE

BY THE ENGINEER:
 I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS, AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD COUNTY SOIL CONSERVATION DISTRICT.
[Signature] 2/23/16
 SIGNATURE OF ENGINEER DATE

[Signature]
 HOWARD S.C.D.
 DATE

NO.	REVISION	DATE
10	REVISE HOUSE TYPE AND GRADING LOTS 101-105	04/26/17
5	REVISE HOUSE TYPE AND GRADING LOTS 101-105	10/11/16
1	ADDED A ROOF DRAIN TO LOT 91. REVISED ENDPOINT TOWNHOUSE DRIVEWAYS AND GARAGE. UPDATED LANDSCAPING AND SEDIMENT CONTROL.	09/21/2015

NO.	REVISION	DATE
10	REVISE HOUSE TYPE AND GRADING ON LOTS 96-100; REVISE GRADING BEHIND LOTS 101-105	2/9/17
5	REVISE HOUSE TYPE AND GRADING ON LOT 86; ADD BASEMENT AREAS; OPTIONS TO THE SUNROOM ON PEMBROKE III; MODEL OUTLINE TYPES SHEET	10/11/16
1	ADDED A ROOF DRAIN TO LOT 91. REVISED ENDPOINT TOWNHOUSE DRIVEWAYS AND GARAGE. UPDATED LANDSCAPING AND SEDIMENT CONTROL.	09/21/2015

**REVISED SITE DEVELOPMENT PLAN
 GRADING, SEDIMENT AND EROSION CONTROL PLAN
 HIGH RIDGE MEADOWS SECTION TWO
 LOTS 69 - 143**

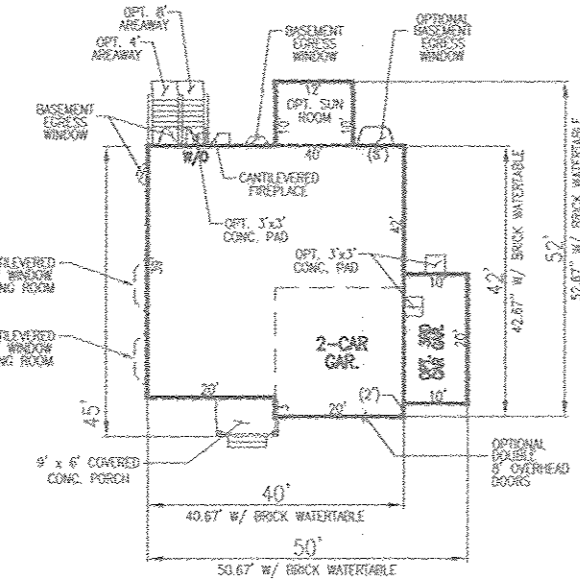
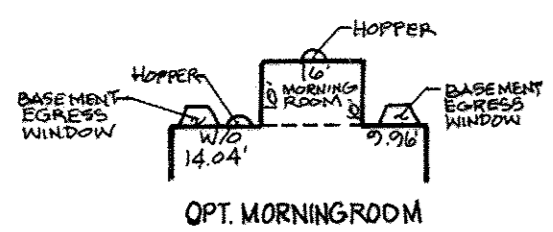
6TH ELECTION DISTRICT
 TAX MAP: 50 GRID: 1
 2012 REFS: F-10-085, WP-10-087, EOP-12-047,
 WP-13-080, SP 13-007, F 14-022, F 14-023, SDP 14-081

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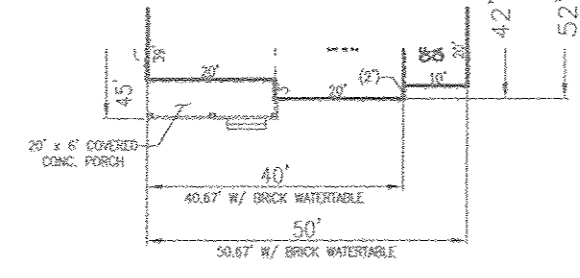
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DESIGN BY: RHY / EDS
 DRAWN BY: KG/EDS
 CHECKED BY: RHY
 DATE: SEPTEMBER 2015
 SCALE: AS SHOWN
 W.O. NO.: 11-28

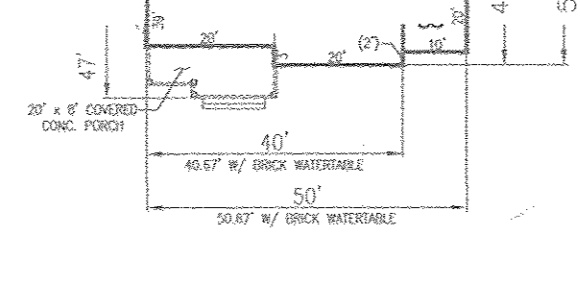
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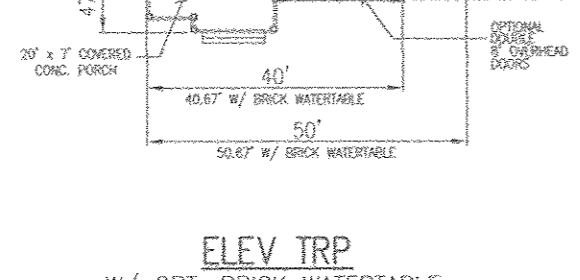
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(ALL OPTIONS)



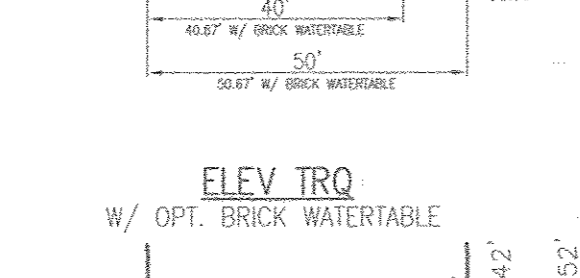
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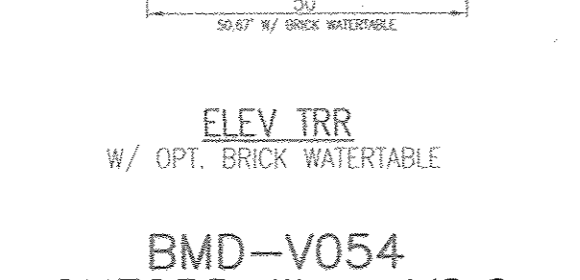
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ELEV TRP
W/ OPT. BRICK WATERTABLE



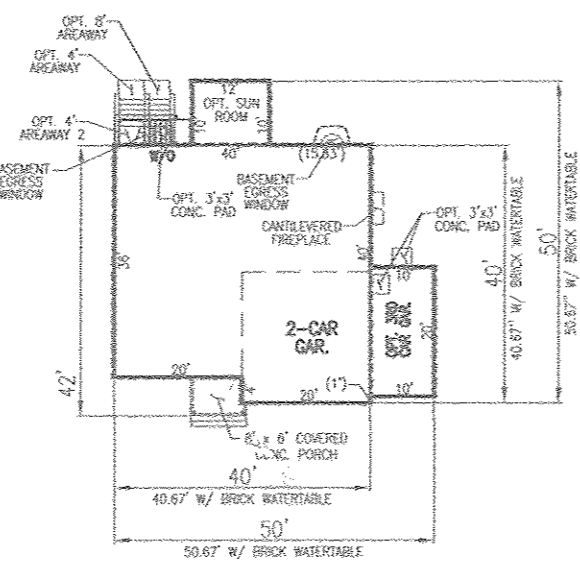
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W/ OPT. BRICK WATERTABLE



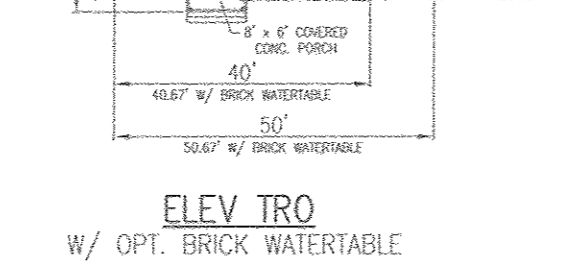
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W/ OPT. BRICK WATERTABLE



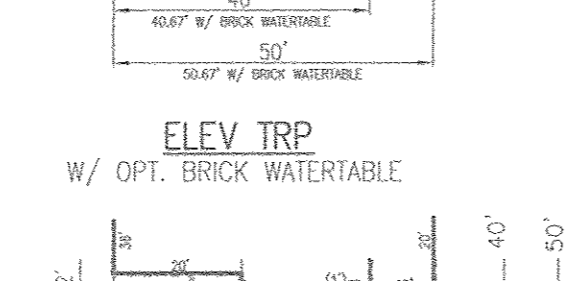
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ELEVATION DETAIL
NTS



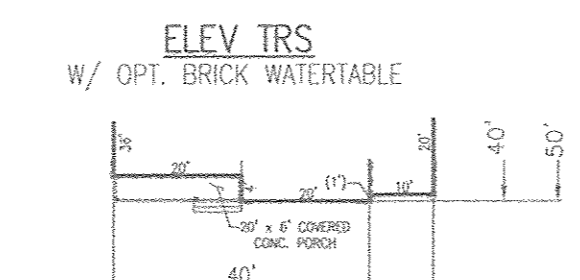
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(ALL OPTIONS)



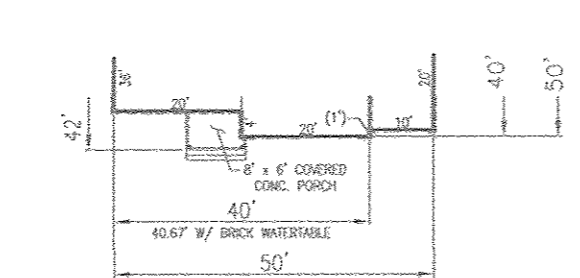
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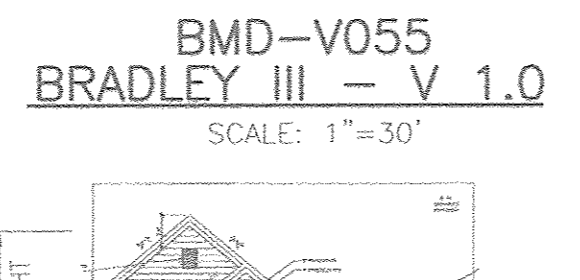
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W/ OPT. BRICK WATERTABLE



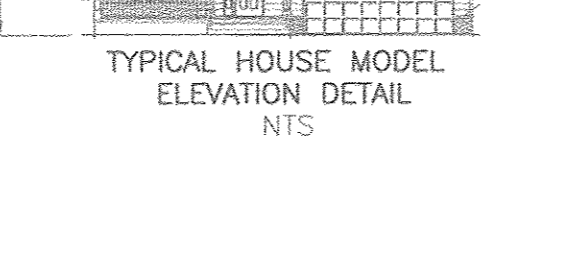
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W/ OPT. BRICK WATERTABLE



ELEV TRT
W/ OPT. BRICK WATERTABLE



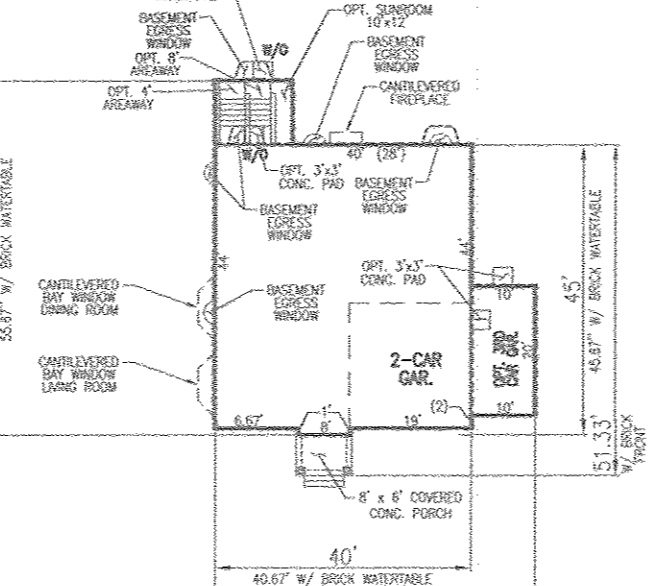
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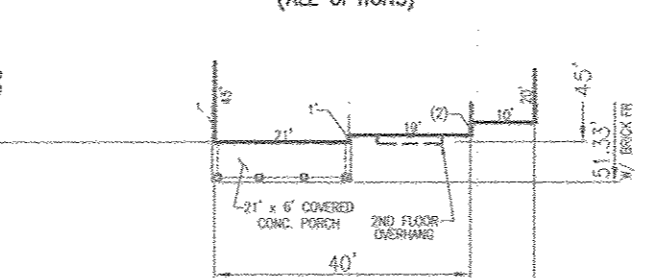
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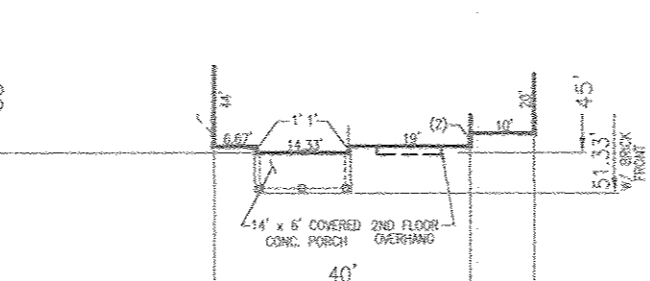
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ELEVATION DETAIL
NTS



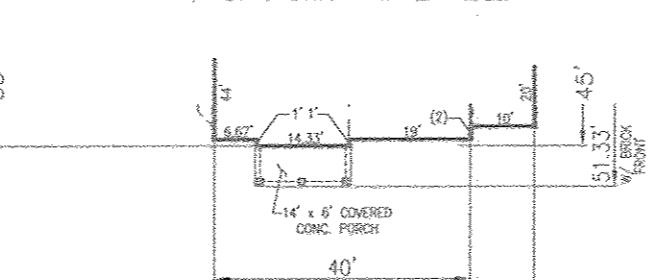
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W/ OPT. BRICK WATERTABLE
(ALL OPTIONS)



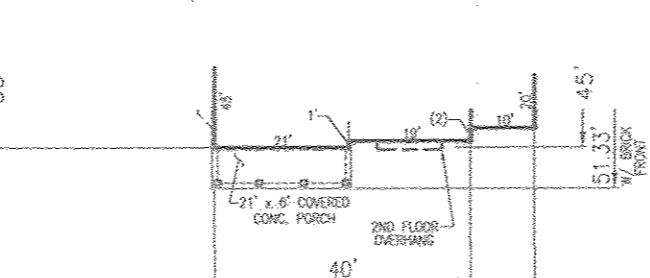
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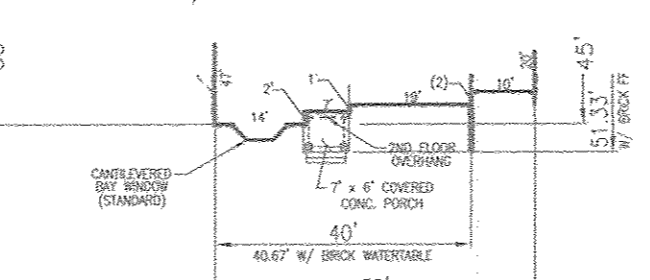
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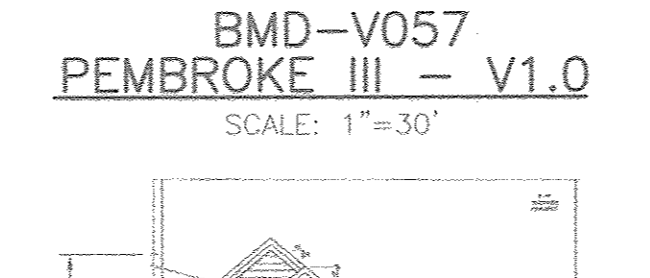
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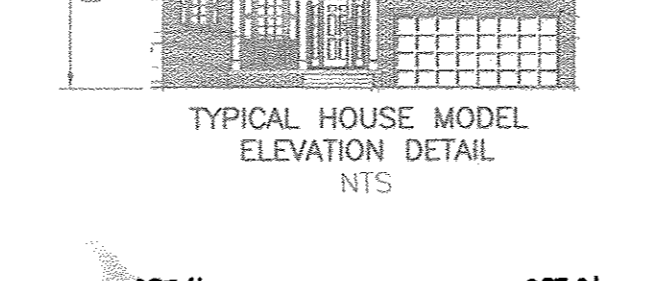
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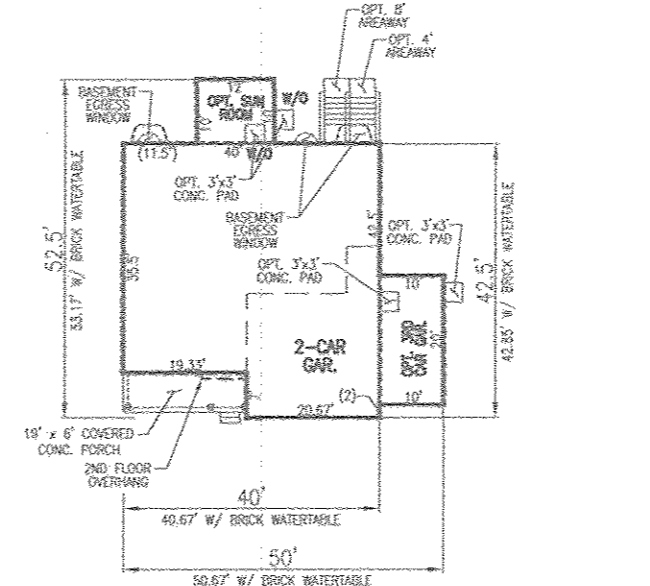
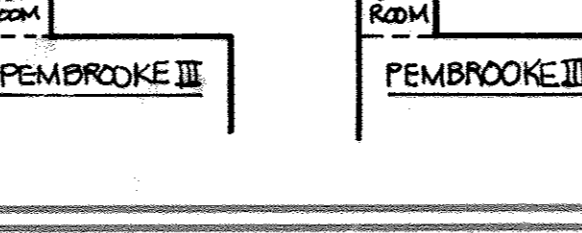
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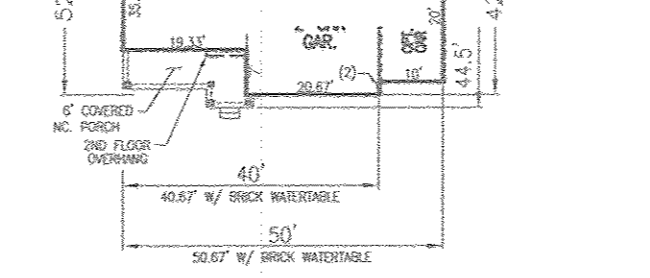
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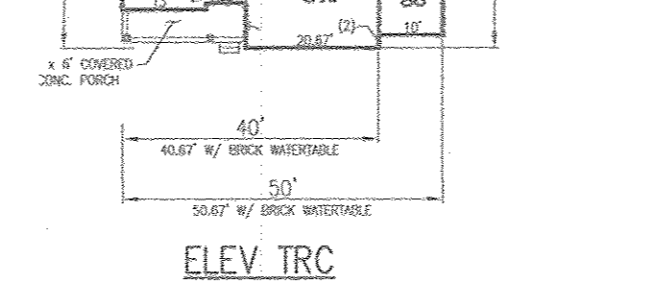
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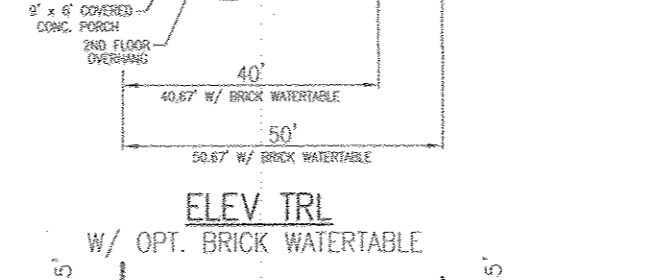
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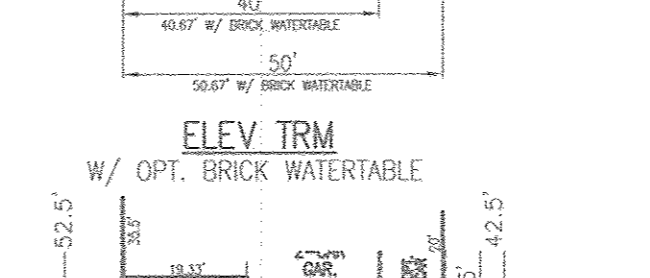
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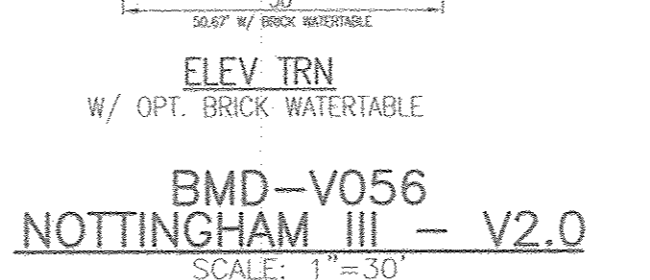
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W/ OPT. BRICK WATERTABLE



ELEV TRD
W/ OPT. BRICK WATERTABLE



ELEV TRE
W/ OPT. BRICK WATERTABLE



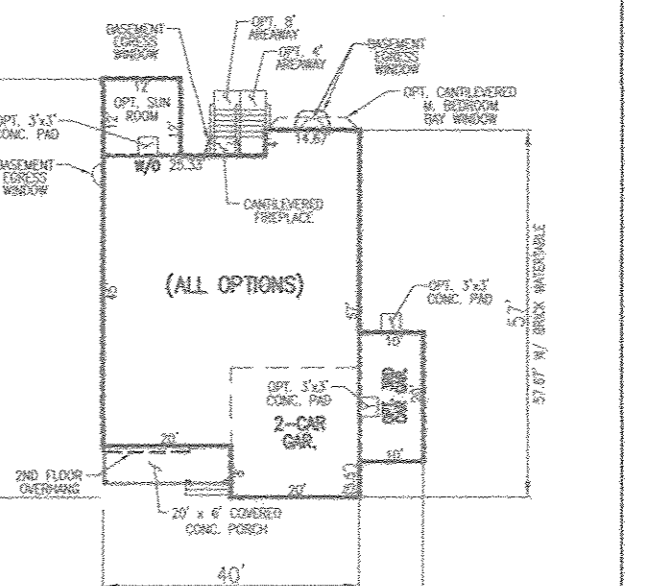
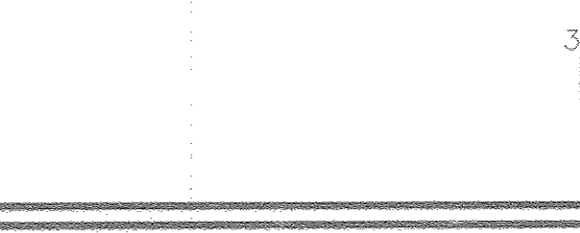
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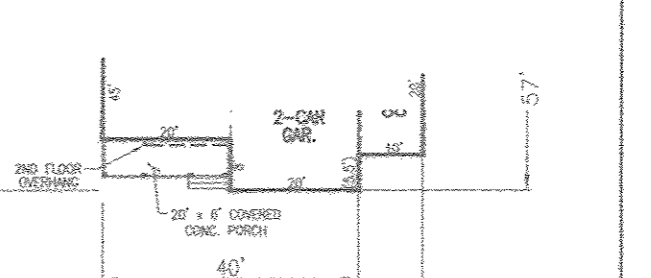
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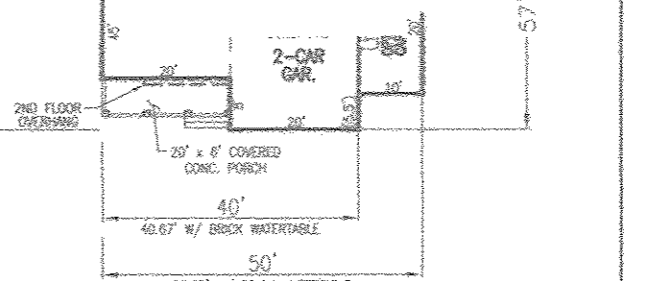
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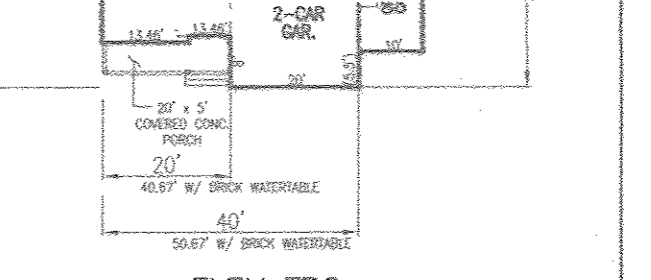
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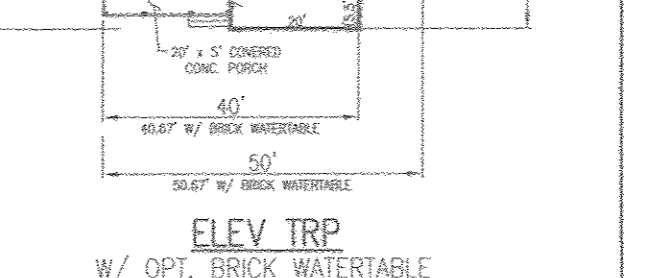
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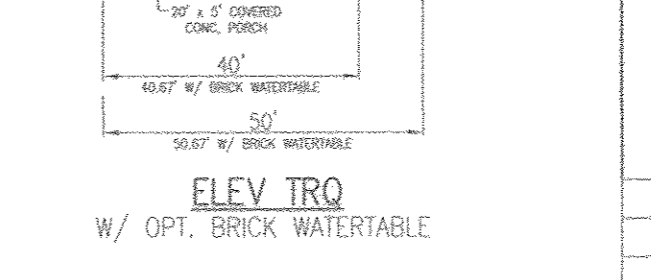
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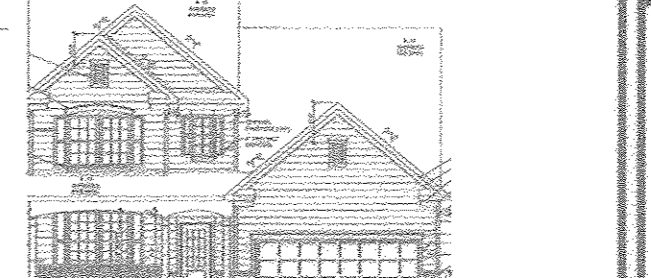
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W/ OPT. BRICK WATERTABLE



ELEV TRM
W/ OPT. BRICK WATERTABLE



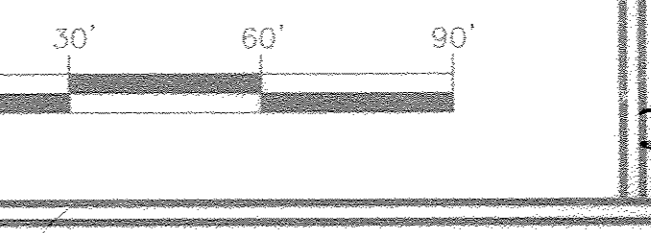
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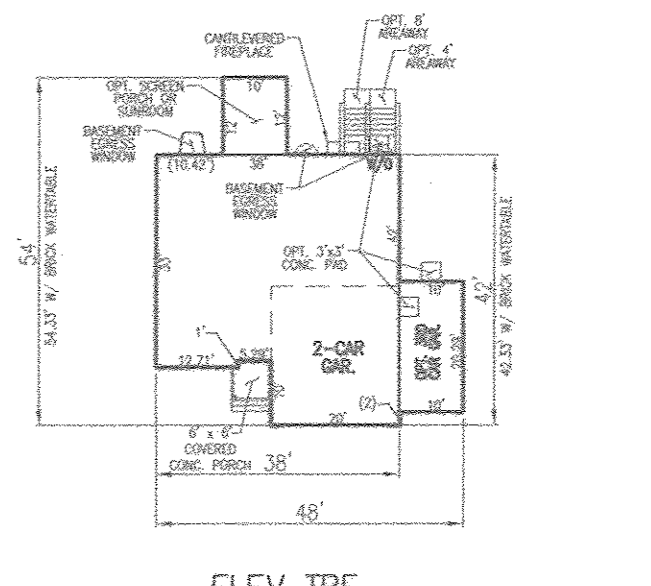
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W/ OPT. BRICK WATERTABLE



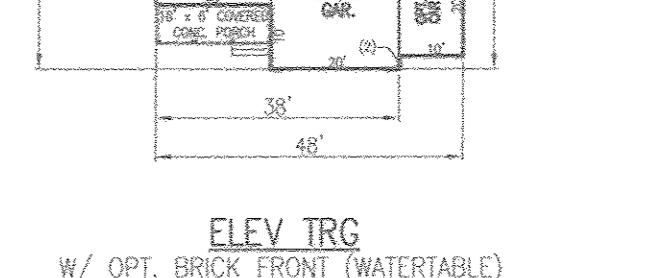
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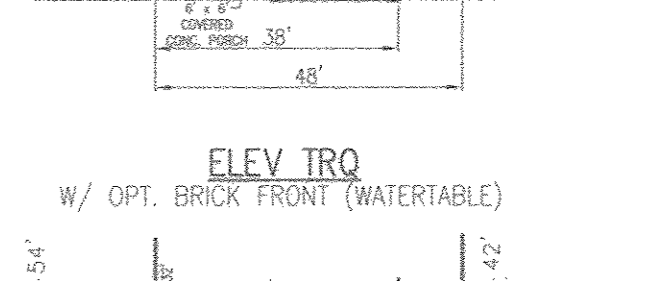
TYPICAL HOUSE MODEL
ELEVATION DETAIL
NTS



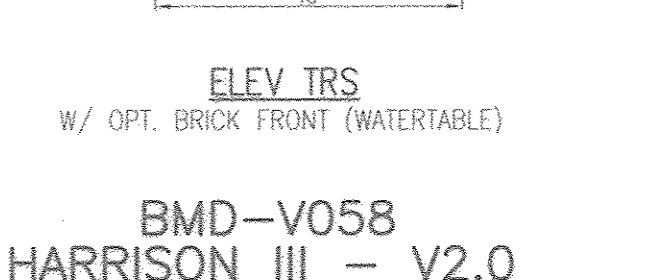
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W/ OPT. BRICK FRONT (WATERTABLE)
(ALL OPTIONS)



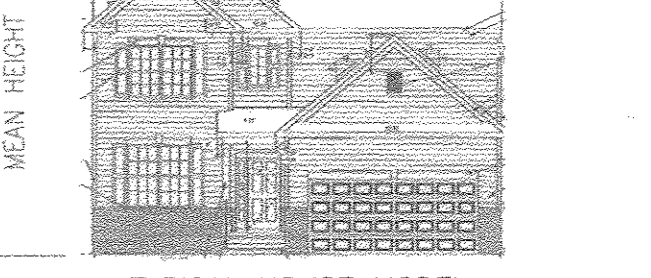
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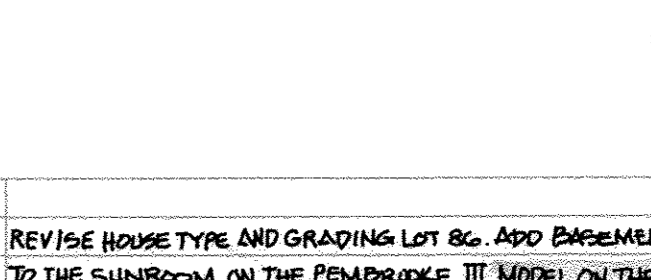
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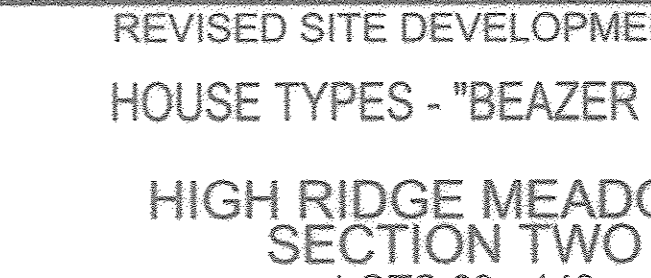
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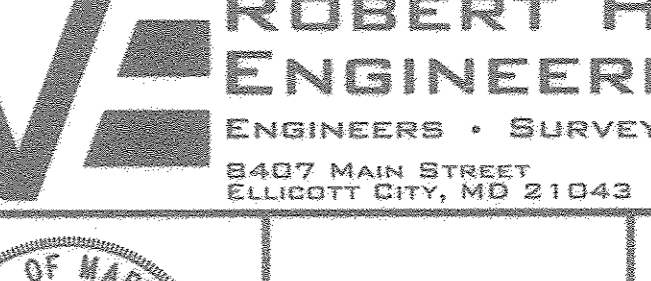
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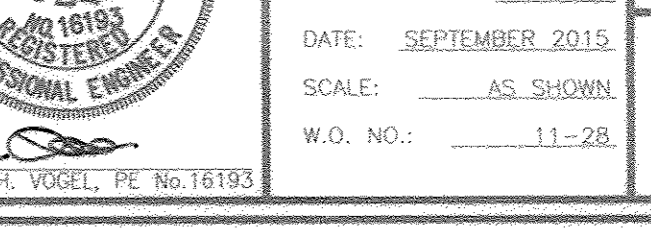
ELEV TRK
W/ OPT. BRICK FRONT (WATERTABLE)



ELEV TRL
W/ OPT. BRICK FRONT (WATERTABLE)



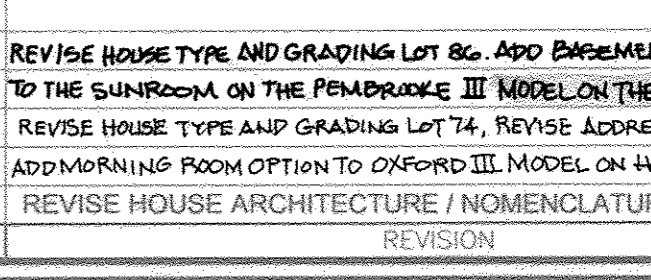
ELEV TRM
W/ OPT. BRICK FRONT (WATERTABLE)



TYPICAL HOUSE MODEL
ELEVATION DETAIL
NTS



BMD-V058
HARRISON III - V2.0
SCALE: 1"=30'



OWNER/DEVELOPER
BEAZER HOMES CORPORATION
8855 GUILFORD ROAD
COLUMBIA, MARYLAND 21046
ATTN: MR. EDWARD W. GOLD
DIVISION PRESIDENT
410-381-3222

5	REVISE HOUSE TYPE AND GRADING LOT 80. ADD BASEMENT AREA OPTION 6	10/11/16
4	REVISE HOUSE TYPE AND GRADING LOT 74. REVISE ADDRESSES LOTS 74-81.	09/29/16
1	ADD MORNING ROOM OPTION TO OXFORD III MODEL ON HOUSE TYPES SHEET.	
1	REVISE HOUSE ARCHITECTURE / NOMENCLATURE	6/2015
NO.	REVISION	DATE

REVISED SITE DEVELOPMENT PLAN
HOUSE TYPES - "BEAZER HOMES"
HIGH RIDGE MEADOWS
SECTION TWO
LOTS 69 - 143

6TH ELECTION DISTRICT
TAX MAP: 50 GRID: 1
OPT. RES' F-10-065, WP-10-087, ECP-12-047
WP-13-080, SP 13-007, F 14-022, F 14-023, SDP 14-081

ZONED: R-3C
PARCEL: 363
HOWARD COUNTY, MARYLAND

ROBERT H. VOGEL
ENGINEERS • SURVEYORS • PLANNERS
8407 MAIN STREET
ELLICOTT CITY, MD 21043
TEL: 410.461.7666
FAX: 410.461.8961

PROFESSIONAL CERTIFICATE
I HEREBY CERTIFY THAT THESE DOCUMENTS
WERE PREPARED OR APPROVED BY ME, AND
THAT I AM A DAILY LICENSED PROFESSIONAL
ENGINEER UNDER THE LAWS OF THE STATE
OF MARYLAND, LICENSE NO. 18193
EXPIRATION DATE: 09-27-2016

DESIGN BY: RHV / EDS
DRAWN BY: KG/EDS
CHECKED BY: RHV
DATE: SEPTEMBER 2015
SCALE: AS SHOWN
W.O. NO.: 11-28

7 SHEET OF 10

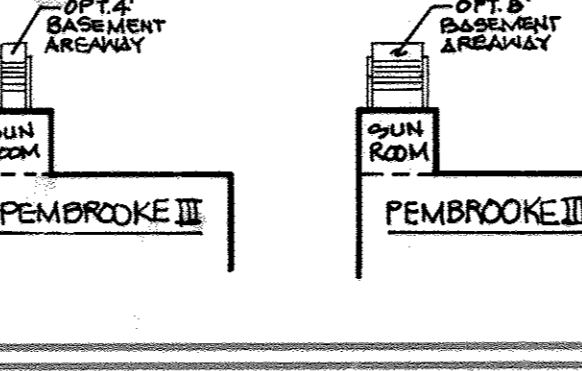
PURPOSE STATEMENT:
THE PURPOSE OF THIS REDLINE REVISION IS
TO ADD SPECIFIC HOUSE TYPES ON LOTS 34
& 46 AS THE CHOSEN MODELS DO NOT FIT
IN THEIR RESPECTIVE GENERIC BOXES AND
BECAUSE THE BUILDER HAS REVISED THE
PROJECT HOUSE MODELS.

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

CHIEF, DEVELOPMENT ENGINEERING DIVISION
 DATE: 3-18-16

 CHIEF, DIVISION OF LAND DEVELOPMENT
 DATE: 3-22-16

 DIRECTOR
 DATE: 3-22-16





FITS:

BMD-V054 - OXFORD III - V2.0
MIN FOOTPRINT 40' X 45'
- DOES NOT FIT

BMD-V055 - BRADLEY III - V1.0
MIN FOOTPRINT 40' X 40'
- ALL ELEV
- NO SIDE CHMY
- NO 3 CAR GAR
- NO OPTIONAL PAD
- NO REAR OPTIONS

BMD-V057 - PEMBROKE III - V1.0
MIN FOOTPRINT 40' X 51'
- DOES NOT FIT

BMD-V056 - NOTTINGHAM III - V2.0
MIN FOOTPRINT 40' X 42.5'
- ALL ELEV
- NO 3 CAR GAR
- NO REAR OPTIONS
- NO OPTIONAL PAD

BMD-V058 - HARRISON III - V2.0
MIN FOOTPRINT 38' X 42'
- ALL ELEV
- NO 3 CAR GAR
- NO REAR OPTIONS
- NO OPTIONAL PAD

FITS:

BMD-V054 - OXFORD III - V2.0
MIN FOOTPRINT 40' X 45'
- DOES NOT FIT

BMD-V055 - BRADLEY III - V1.0
MIN FOOTPRINT 40' X 40'
- ALL ELEV
- NO SIDE BAY WINDOW
- NO 3 CAR GAR
- NO REAR SUNROOM OR MORNING ROOM
- AREAWAY POSSIBLE (STEPS)
- NO OPTIONAL PAD

BMD-V057 - PEMBROKE III - V1.0
MIN FOOTPRINT 40' X 51'
- DOES NOT FIT

BMD-V056 - NOTTINGHAM III - V2.0
MIN FOOTPRINT 40' X 42.5'
- ALL ELEV
- NO 3 CAR GAR
- NO REAR SUNROOM
- NO OPTIONAL PAD

BMD-V058 - HARRISON III - V2.0
MIN FOOTPRINT 38' X 42'
- ALL ELEV
- NO 3 CAR GAR
- NO SUNROOM OR SCREEN ROOM
- NO REAR OR SIDE OPTIONS

FITS:

BMD-V054 - OXFORD III - V2.0
MIN FOOTPRINT 40' X 45'
- ALL ELEV
- NO SIDE BAY WINDOW
- NO 3 CAR GAR
- NO SUNROOM OR MORNING ROOM
- AREAWAY POSSIBLE (STEPS)
- NO OPTIONAL PAD

BMD-V055 - BRADLEY III - V1.0
MIN FOOTPRINT 40' X 40'
- ALL ELEV
- NO SIDE CHMY
- NO 3 CAR GAR
- NO OPTIONAL PAD

BMD-V057 - PEMBROKE III - V1.0
MIN FOOTPRINT 40' X 51'
- ALL ELEV
- NO SIDE BAY WINDOW
- NO 3 CAR GAR
- NO SUNROOM
- NO OPTIONAL PAD

BMD-V056 - NOTTINGHAM III - V2.0
MIN FOOTPRINT 40' X 42.5'
- ALL ELEV
- NO 3 CAR GAR
- NO 3 CAR GAR
- NO SUNROOM
- NO OPTIONAL PAD

BMD-V058 - HARRISON III - V2.0
MIN FOOTPRINT 38' X 42'
- ALL ELEV
- NO 3 CAR GAR
- NO SUNROOM OR SCREEN ROOM
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- NO SIDE BAY WINDOW
- NO 3 CAR GAR
- NO SUNROOM OR MORNING ROOM
- AREAWAY POSSIBLE (STEPS)
- NO OPTIONAL PAD

BMD-V055 - BRADLEY III - V1.0
MIN FOOTPRINT 40' X 40'
- ALL ELEV
- NO SIDE CHMY
- NO 3 CAR GAR
- NO OPTIONAL PAD

BMD-V057 - PEMBROKE III - V1.0
MIN FOOTPRINT 40' X 51'
- ALL ELEV
- NO SIDE BAY WINDOW
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MIN FOOTPRINT 40' X 42.5'
- ALL ELEV
- NO 3 CAR GAR
- NO 3 CAR GAR
- NO SUNROOM
- NO OPTIONAL PAD

BMD-V058 - HARRISON III - V2.0
MIN FOOTPRINT 38' X 42'
- ALL ELEV
- NO 3 CAR GAR
- NO SUNROOM OR SCREEN ROOM
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FITS:

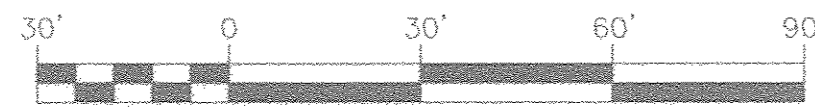
BMD-V054 - OXFORD III - V2.0
MIN FOOTPRINT 40' X 45'
- ALL ELEV
- NO 3 CAR GAR
- NO SUNROOM OR MORNING ROOM
- AREAWAY POSSIBLE (STEPS)
- NO OPTIONAL PAD

BMD-V055 - BRADLEY III - V1.0
MIN FOOTPRINT 40' X 40'
- ALL ELEV
- NO 3 CAR GAR
- NO OPTIONAL PAD

BMD-V057 - PEMBROKE III - V1.0
MIN FOOTPRINT 40' X 51'
- ALL ELEV
- NO 3 CAR GAR
- NO SUNROOM
- NO OPTIONAL PAD

BMD-V056 - NOTTINGHAM III - V2.0
MIN FOOTPRINT 40' X 42.5'
- ALL ELEV
- NO 3 CAR GAR
- NO 3 CAR GAR
- NO SUNROOM
- NO OPTIONAL PAD

BMD-V058 - HARRISON III - V2.0
MIN FOOTPRINT 38' X 42'
- ALL ELEV
- NO 3 CAR GAR
- NO SUNROOM OR SCREEN ROOM
- NO OPTIONAL PAD



SFA LOT 130/131 & SFD LOT 87 SEPARATION NOTE:
IN ACCORDANCE WITH SECTION 110.D.5.D OF THE HOWARD COUNTY ZONING REGULATIONS, THE REAR OF SFA LOTS 130/131 MUST BE SEPARATED FROM THE REAR OF SFD LOT 87 BY 60 FEET. THE CURRENT PLAN SHOWS THE UNIT ON LOTS 130/131 AS BEING 65 FEET +/- FROM THE REAR OF GENERIC BOX D LOT 87. DEPENDING ON THE ORDER OF SALES, THE OPPOSING UNIT(S) MAY BE RESTRICTED AS TO THE AVAILABLE OPTIONS.

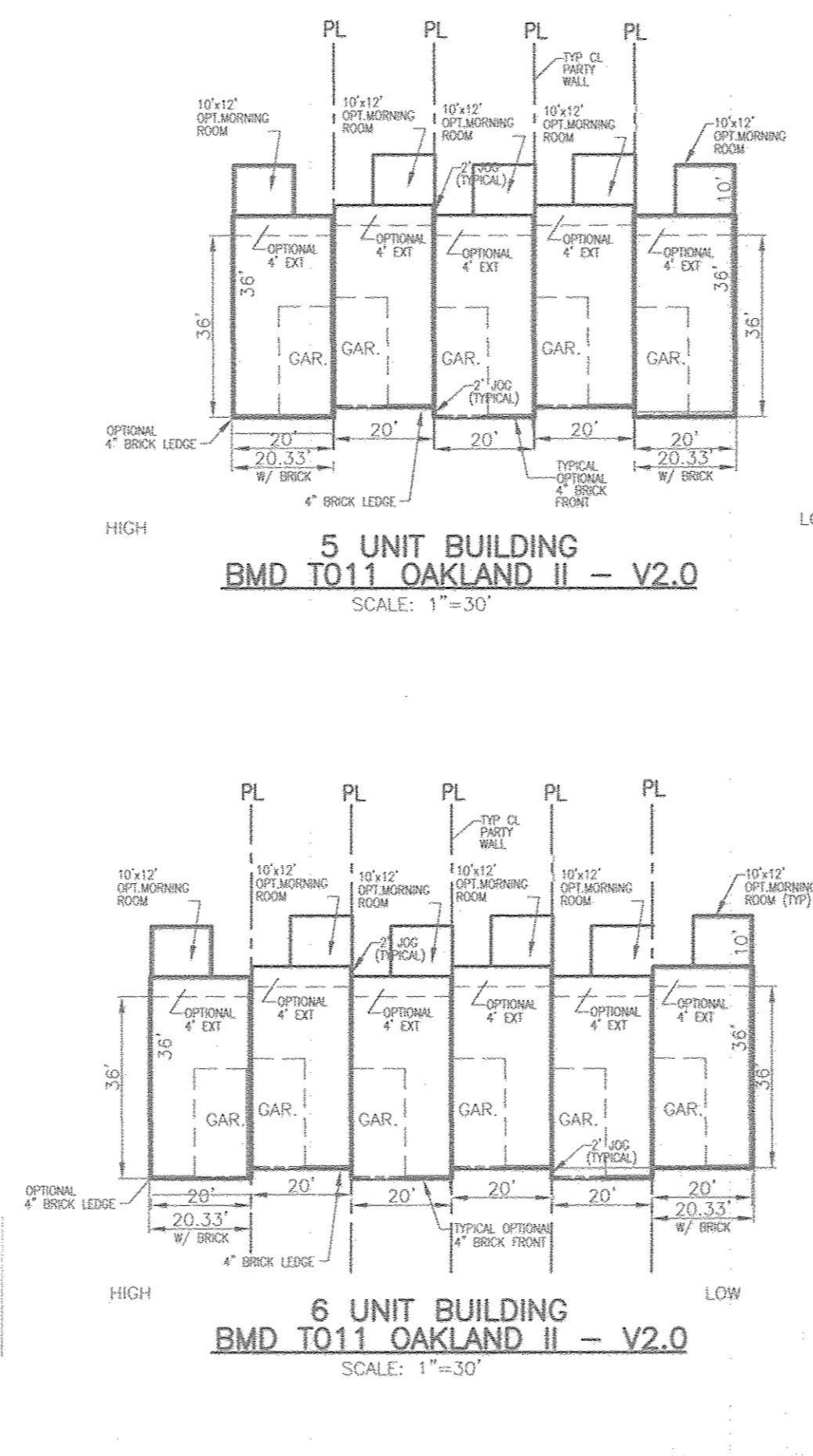
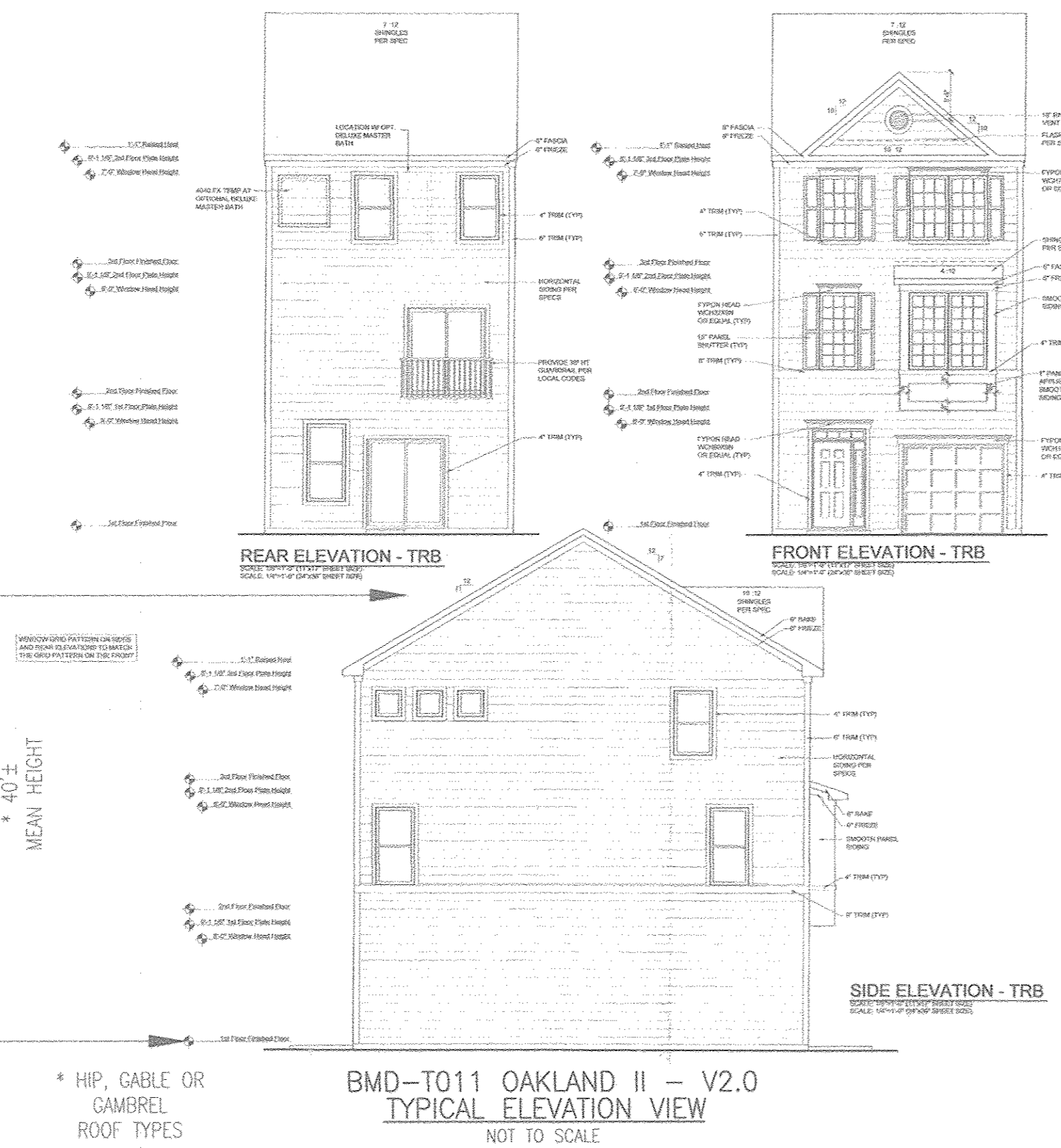
LOTS	TYPE	RESTRICTION
96	SFA	- 3/8" DEEP MODEL REQUIRED. NO OPTIONAL REAR EXTENSION OR MORNING ROOM (1), NO SIDE BRICK OPTION (2)
97	SFA	- 3/8" DEEP MODEL REQUIRED. NO OPTIONAL REAR EXTENSION OR MORNING ROOM (1)
98	SFA	- 3/8" DEEP MODEL REQUIRED. NO OPTIONAL REAR EXTENSION OR MORNING ROOM (1)
99	SFA	- 3/8" DEEP MODEL REQUIRED. NO OPTIONAL REAR EXTENSION OR MORNING ROOM (1)
100	SFA	- 3/8" DEEP MODEL REQUIRED. NO OPTIONAL REAR EXTENSION OR MORNING ROOM (1), NO SIDE BRICK OPTION (2)
101	SFA	- 3/8" DEEP MODEL REQUIRED. NO OPTIONAL REAR EXTENSION OR MORNING ROOM (1), NO SIDE BRICK OPTION (2)
102	SFA	- 3/8" DEEP MODEL REQUIRED. NO OPTIONAL REAR EXTENSION OR MORNING ROOM (1)
103	SFA	- 3/8" DEEP MODEL REQUIRED. NO OPTIONAL REAR EXTENSION OR MORNING ROOM (1)
104	SFA	- 3/8" DEEP MODEL REQUIRED. NO OPTIONAL REAR EXTENSION OR MORNING ROOM (1)
105	SFA	- 3/8" DEEP MODEL REQUIRED. NO OPTIONAL REAR EXTENSION OR MORNING ROOM (1), NO SIDE BRICK OPTION (2)
106	SFA	- 3/8" DEEP MODEL REQUIRED. NO OPTIONAL REAR EXTENSION OR MORNING ROOM (1), NO SIDE BRICK OPTION (2)
107	SFA	- NO OPTIONAL BRICK ON SIDE (2)
108	SFA	- NO OPTIONAL BRICK ON SIDE (2)
109	SFA	- NO OPTIONAL BRICK ON SIDE (2)
110	SFA	- NO OPTIONAL BRICK ON SIDE (2)
111	SFA	- NO OPTIONAL BRICK ON SIDE (2)
112	SFA	- NO OPTIONAL BRICK ON SIDE (2)
113	SFA	- NO OPTIONAL BRICK ON SIDE (2)
114	SFA	- NO OPTIONAL BRICK ON SIDE (2)
115	SFA	- NO OPTIONAL BRICK ON SIDE (2)
116	SFA	- REAR OPTIONS MAY BE LIMITED. SEE "SFA LOT 130/131 & SFD LOT 87 SEPARATION NOTE"
117	SFA	- REAR OPTIONS MAY BE LIMITED. SEE "SFA LOT 130/131 & SFD LOT 87 SEPARATION NOTE"
118	SFA	- NO OPTIONAL BRICK ON SIDE (2)
119	SFA	- NO OPTIONAL BRICK ON SIDE (2)
120	SFA	- NO OPTIONAL BRICK ON SIDE (2)
121	SFA	- NO OPTIONAL BRICK ON SIDE (2)
122	SFA	- NO OPTIONAL BRICK ON SIDE (2)
123	SFA	- NO OPTIONAL BRICK ON SIDE (2)
124	SFA	- NO OPTIONAL BRICK ON SIDE (2)
125	SFA	- NO OPTIONAL BRICK ON SIDE (2)
126	SFA	- NO OPTIONAL BRICK ON SIDE (2)
127	SFA	- NO OPTIONAL BRICK ON SIDE (2)
128	SFA	- NO OPTIONAL BRICK ON SIDE (2)
129	SFA	- NO OPTIONAL BRICK ON SIDE (2)
130	SFA	- NO OPTIONAL BRICK ON SIDE (2)
131	SFA	- NO OPTIONAL BRICK ON SIDE (2)
132	SFA	- NO OPTIONAL BRICK ON SIDE (2)
133	SFA	- NO OPTIONAL BRICK ON SIDE (2)
134	SFA	- NO OPTIONAL BRICK ON SIDE (2)
135	SFA	- NO OPTIONAL BRICK ON SIDE (2)
136	SFA	- NO OPTIONAL BRICK ON SIDE (2)
137	SFA	- NO OPTIONAL BRICK ON SIDE (2)
138	SFA	- NO OPTIONAL BRICK ON SIDE (2)
139	SFA	- NO OPTIONAL BRICK ON SIDE (2)
140	SFA	- NO OPTIONAL BRICK ON SIDE (2)
141	SFA	- NO OPTIONAL BRICK ON SIDE (2)
142	SFA	- NO OPTIONAL BRICK ON SIDE (2)
143	SFA	- NO OPTIONAL BRICK ON SIDE (2)

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

Chris Johnson
CHIEF, DEVELOPMENT ENGINEERING DIVISION
DATE: 3-18-16

Katsuhiko
CHIEF, DIVISION OF LAND DEVELOPMENT
DATE: 3-22-16

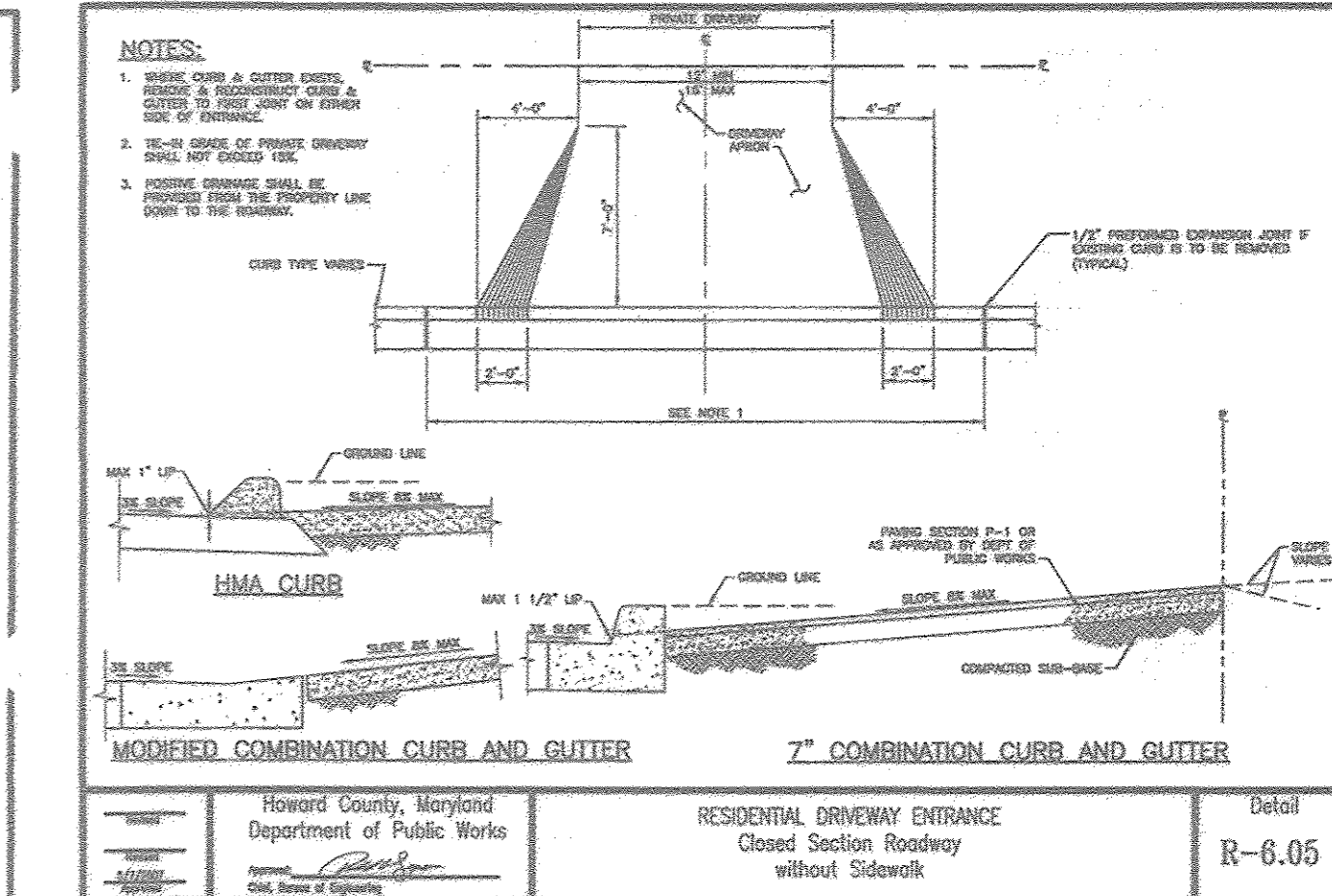
William J. Taylor
DIRECTOR
DATE: 3-22-16



LOT COVERAGE CHART

LOT #	LOT SIZE	BASE MODEL 20 X 36	BASE MODEL COVERAGE		MAX 60% COVERAGE		ALLOWABLE OPTIONS
			SF	%	SF	SF	
96	1652	720	43.6	991.2	271.2	271.2	
97	1640	720	43.9	984.0	264.0	264.0	
98	1640	720	43.9	984.0	264.0	264.0	
99	1640	720	43.9	984.0	264.0	264.0	
100	1652	720	43.6	991.2	271.2	271.2	
- LOTS 96 - 100 WILL REQUIRE VARIANCE FOR REAR OPTIONS.							
101	1652	720	43.6	991.2	271.2	271.2	
102	1640	720	43.9	984.0	264.0	264.0	
103	1640	720	43.9	984.0	264.0	264.0	
104	1640	720	43.9	984.0	264.0	264.0	
105	1652	720	43.6	991.2	271.2	271.2	
- LOTS 101 - 105 WILL REQUIRE VARIANCE FOR REAR OPTIONS.							
106	1713	720	42.0	1027.8	307.8	307.8	
107	1700	720	42.4	1020.0	300.0	300.0	
108	1700	720	42.4	1020.0	300.0	300.0	
109	1700	720	42.4	1020.0	300.0	300.0	
110	1713	720	42.0	1027.8	307.8	307.8	
111	1713	720	42.0	1027.8	307.8	307.8	
112	1700	720	42.4	1020.0	300.0	300.0	
113	1700	720	42.4	1020.0	300.0	300.0	
114	1700	720	42.4	1020.0	300.0	300.0	
115	1713	720	42.0	1027.8	307.8	307.8	
116	1713	720	42.0	1027.8	307.8	307.8	
117	1700	720	42.4	1020.0	300.0	300.0	
118	1711	720	42.1	1026.6	306.6	306.6	
119	1753	720	41.1	1051.8	331.8	331.8	
120	1845	720	39.0	1107.0	387.0	387.0	
121	1783	720	40.4	1069.8	349.8	349.8	
122	1719	720	41.9	1031.4	311.4	311.4	
123	1701	720	42.3	1020.6	300.6	300.6	
124	1719	720	41.9	1031.4	311.4	311.4	
125	1783	720	40.4	1069.8	349.8	349.8	
126	1713	720	42.0	1027.8	307.8	307.8	
127	1700	720	42.4	1020.0	300.0	300.0	
128	1700	720	42.4	1020.0	300.0	300.0	
129	1700	720	42.4	1020.0	300.0	300.0	
130	1700	720	42.4	1020.0	300.0	300.0	
131	1713	720	42.0	1027.8	307.8	307.8	
132	1713	720	42.0	1027.8	307.8	307.8	
133	1700	720	42.4	1020.0	300.0	300.0	
134	1700	720	42.4	1020.0	300.0	300.0	
135	1700	720	42.4	1020.0	300.0	300.0	
136	1700	720	42.4	1020.0	300.0	300.0	
137	1713	720	42.0	1027.8	307.8	307.8	
138	1713	720	42.0	1027.8	307.8	307.8	
139	1700	720	42.4	1020.0	300.0	300.0	
140	1700	720	42.4	1020.0	300.0	300.0	
141	1700	720	42.4	1020.0	300.0	300.0	
142	1700	720	42.4	1020.0	300.0	300.0	
143	1713	720	42.0	1027.8	307.8	307.8	

** SEE SFA LOT 130/131 - SFD LOT 87 SEPARATION NOTE HEREON.



NOTES:

1. CURB AND GUTTER SHALL BE CONCRETE. ALL CURB SHALL BE 4" HIGH AND 12" WIDE AT THE FACE OF CURB.
2. THE 2" DEEP OF CURB SHALL BE REINFORCED WITH #4 BARS AT 12" ON CENTER.
3. POSITIVE DRAINAGE SHALL BE PROVIDED FROM THE PROPERTY LINE DOWN TO THE STREET.

NOTE:

1. A POSITIVE DRAINAGE SHALL BE PROVIDED FROM THE PROPERTY LINE DOWN TO THE STREET.
2. CURB AND GUTTER SHALL BE CONCRETE. ALL CURB SHALL BE 4" HIGH AND 12" WIDE AT THE FACE OF CURB.
3. THE 2" DEEP OF CURB SHALL BE REINFORCED WITH #4 BARS AT 12" ON CENTER.
4. POSITIVE DRAINAGE SHALL BE PROVIDED FROM THE PROPERTY LINE DOWN TO THE STREET.

Howard County, Maryland
Department of Public Works

RESIDENTIAL DRIVEWAY ENTRANCE
Closed Section Roadway
without Sidewalk

Detail
R-6.05

NOTE:

1. GENERIC HOUSE BOX MODEL FIT SHOWN HEREON
2. HOUSE BOXES ARE GENERIC AND SHOULD NOT BE CONSIDERED LIMITING. ADDITIONAL HOUSE TYPES AND OPTIONS MAY FIT ON ANY GIVEN LOT.
3. IN ACCORDANCE WITH SECTION 128 OF THE HOWARD COUNTY ZONING REGULATIONS, BAY WINDOWS, CHIMNEYS, OR EXTERIOR STAIRWAYS NOT MORE THAN 16 FEET IN WIDTH MAY PROJECT NOT MORE THAN 4 FEET INTO ANY SETBACKS. PORCHES OR DECKS, OPEN OR ENCLOSED MAY PROJECT NOT MORE THAN 10 FEET INTO THE FRONT FRONT OR REAR YARD SETBACK.
4. MODELS CHOSEN WHICH DO NOT FIT IN THE ABOVE GENERIC BOX, HOWEVER DO FIT ON INDIVIDUAL LOTS, SHALL UTILIZE THE HOWARD COUNTY REDLINE PROCESS.

OWNER/DEVELOPER
BEAZER HOMES CORPORATION
3935 CULFORD ROAD
COLUMBIA, MARYLAND 21046
ATTN: MR. EDWARD W. GOLD
DIVISION PRESIDENT
410-381-3222

NO.	REVISION	DATE
4	REVISED HOUSE TYPE 1 GRADING LOT 74, REVISED ADDRESSES LOTS 74-81, AND THE MORNING ROOM OPTION TO THE HOWARD II MODEL ON THE HOUSE TYPES SHEET.	03/23/16
1	REVISED ENDUNIT TOWNHOUSE DRIVEWAY AND GARAGE. UPDATED MATRIX INFORMATION.	09/21/2015

REVISED SITE DEVELOPMENT PLAN
GENERIC HOUSE BOXES & DETAILS
HIGH RIDGE MEADOWS
SECTION TWO
LOTS 69 - 143

6TH ELECTION DISTRICT
TAX MAP: 50 GRID: 1
DCP 15730, F-10-065, WP-10-087, EOP-12-047,
WP-13-080, SP-13-007, F-14-022, F-14-023, SP-14-081

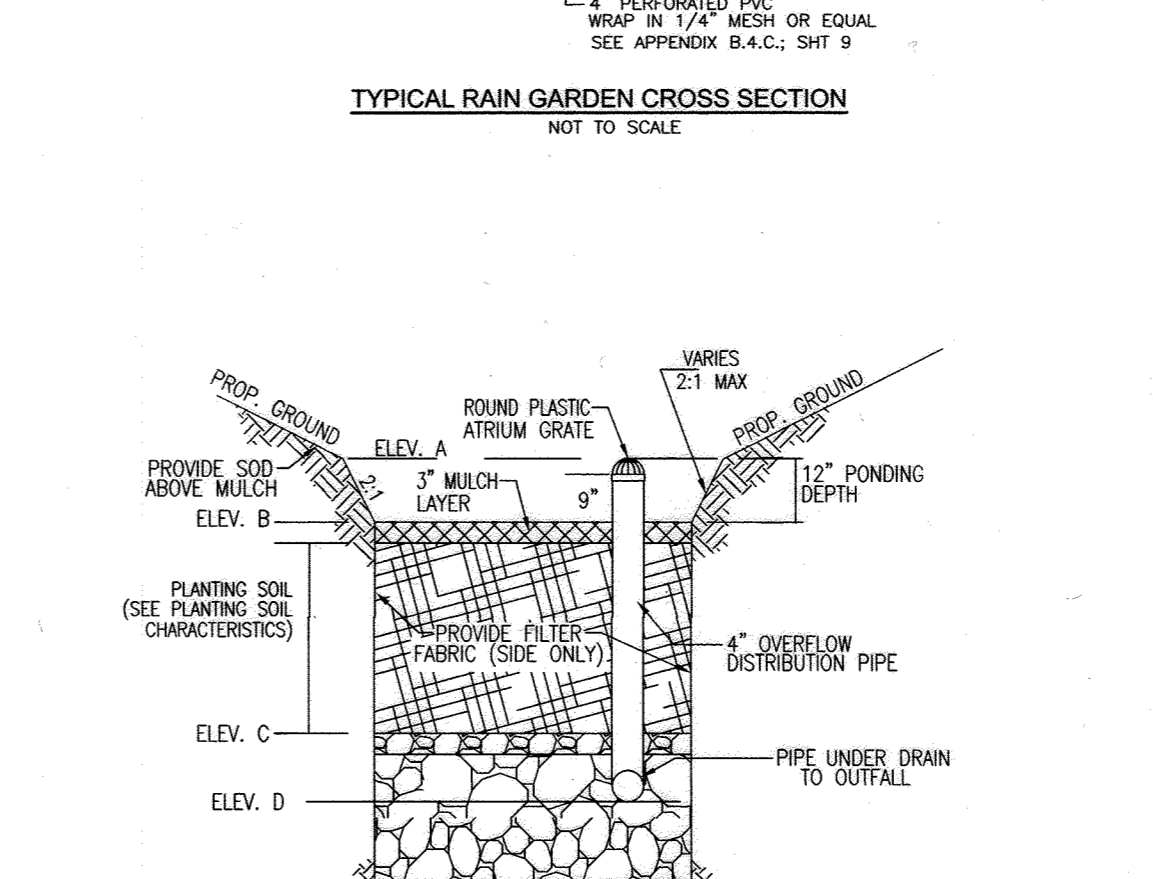
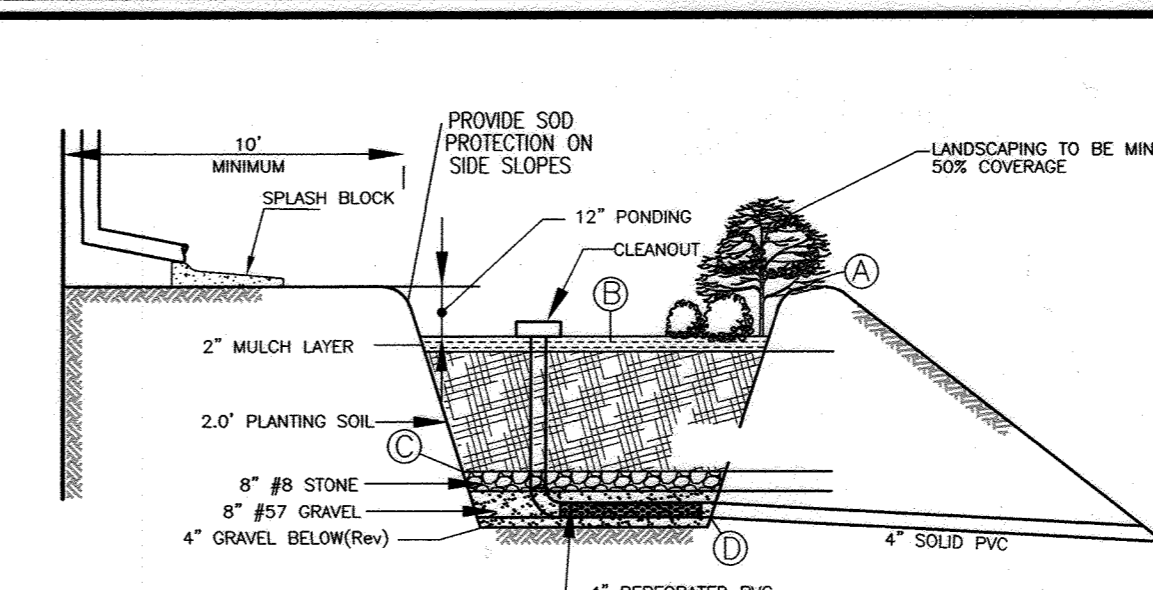
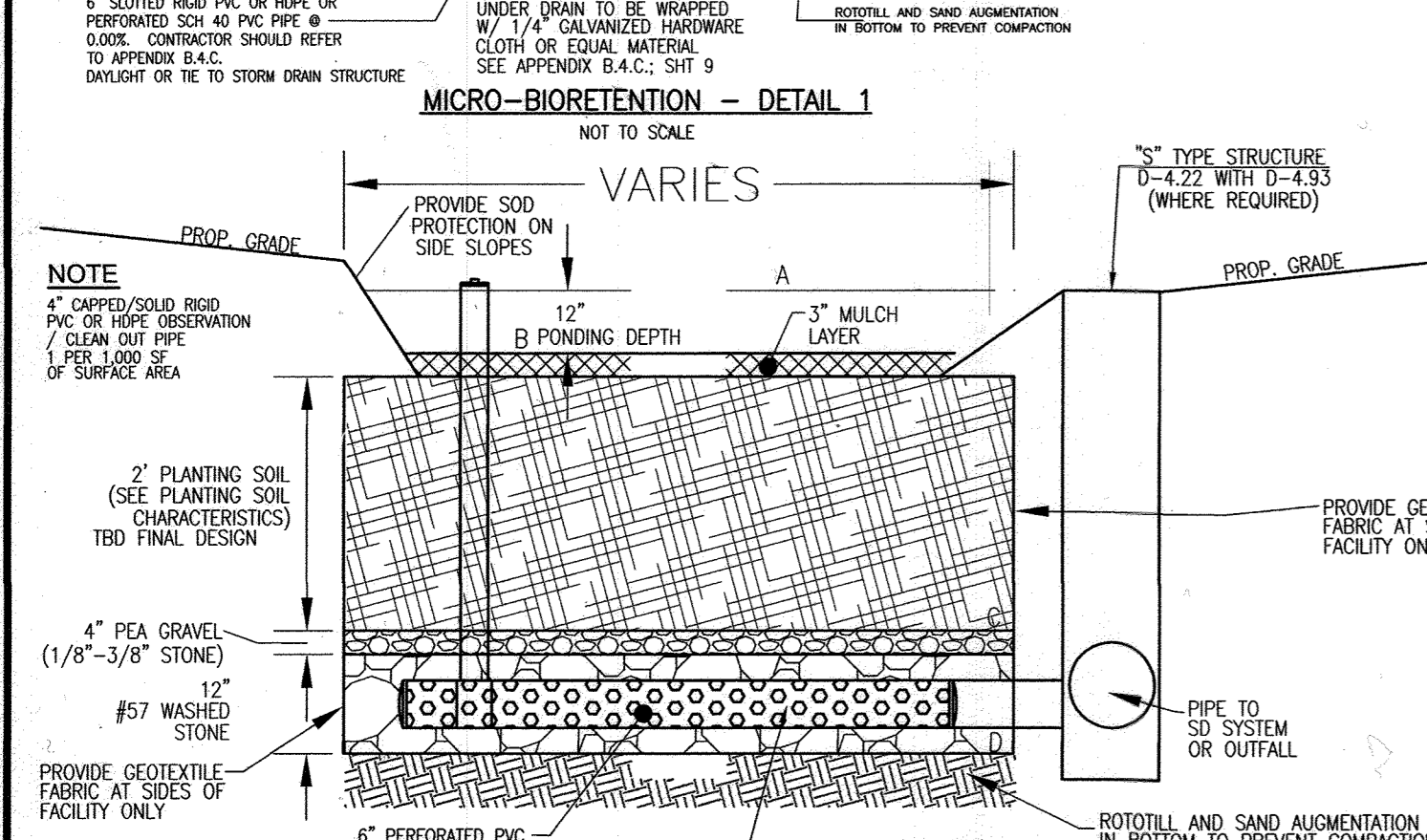
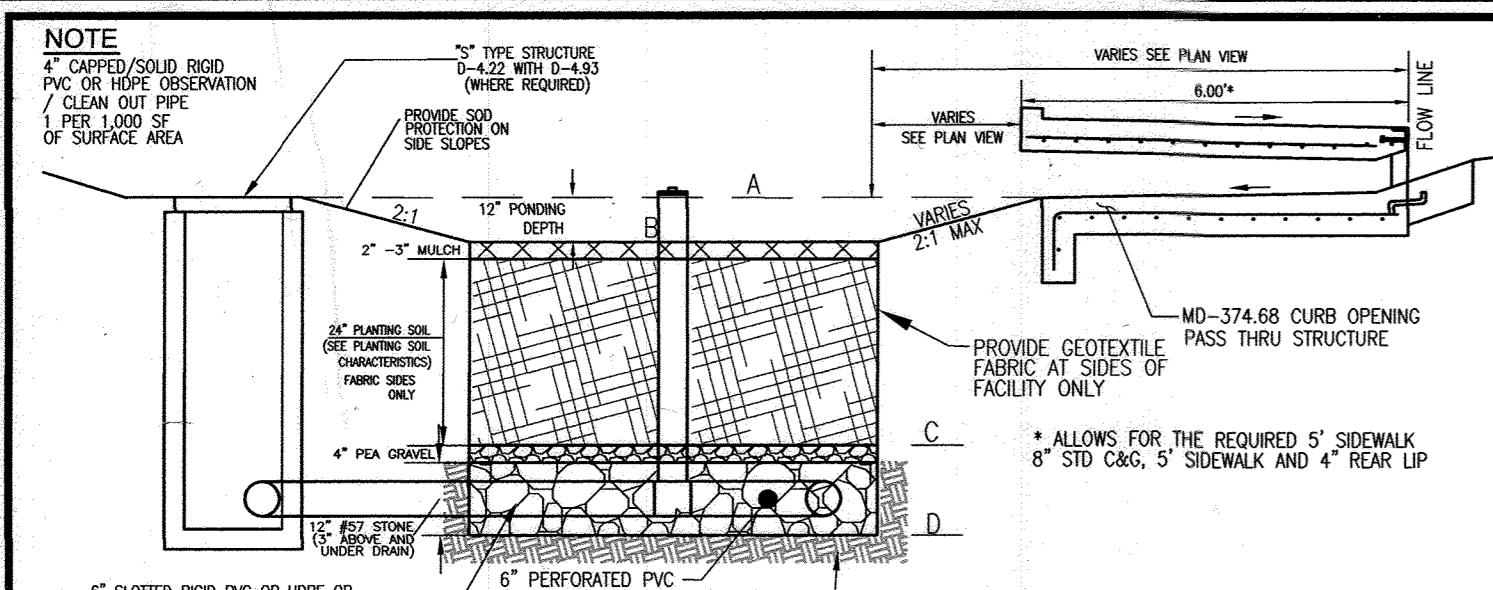
ZONED: R-SC
PARCEL: 363

ROBERT H. VOGEL ENGINEERING, INC.
ENGINEERS • SURVEYORS • PLANNERS
8407 MAIN STREET
ELICOTT CITY, MD 21043
TEL: 410.461.7666
FAX: 410.461.8961

PROFESSIONAL CERTIFICATE
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 16193
EXPIRATION DATE: 09-27-2016

DESIGN BY: RNV / EDS
DRAWN BY: KG/EDS
CHECKED BY: RNV
DATE: SEPTEMBER 2015
SCALE: AS SHOWN
W.O. NO.: 11-28

8 SHEET OF 10

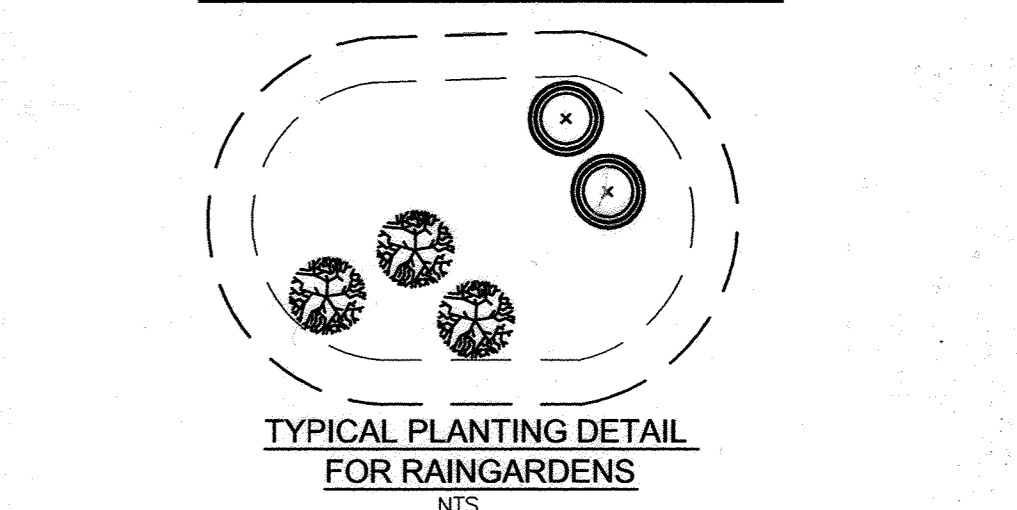


F 14-023 ON-LOT RAIN GARDEN - PLANTING SCHEDULE

RG FACILITY #	MAX AREA	REQUIRED PLANTINGS	PROPOSED PLANTINGS
87	150	3	3 LINDERA BENZONI - SPICEBUSH 2 VIBURNUM TRILOBUM - AMERICAN HIGHBUSH CRANBERRY
91	125	2	2 LINDERA BENZONI - SPICEBUSH 2 VIBURNUM TRILOBUM - AMERICAN HIGHBUSH CRANBERRY
92	135	2	2 LINDERA BENZONI - SPICEBUSH 2 VIBURNUM TRILOBUM - AMERICAN HIGHBUSH CRANBERRY
94	115	2	2 LINDERA BENZONI - SPICEBUSH 2 VIBURNUM TRILOBUM - AMERICAN HIGHBUSH CRANBERRY

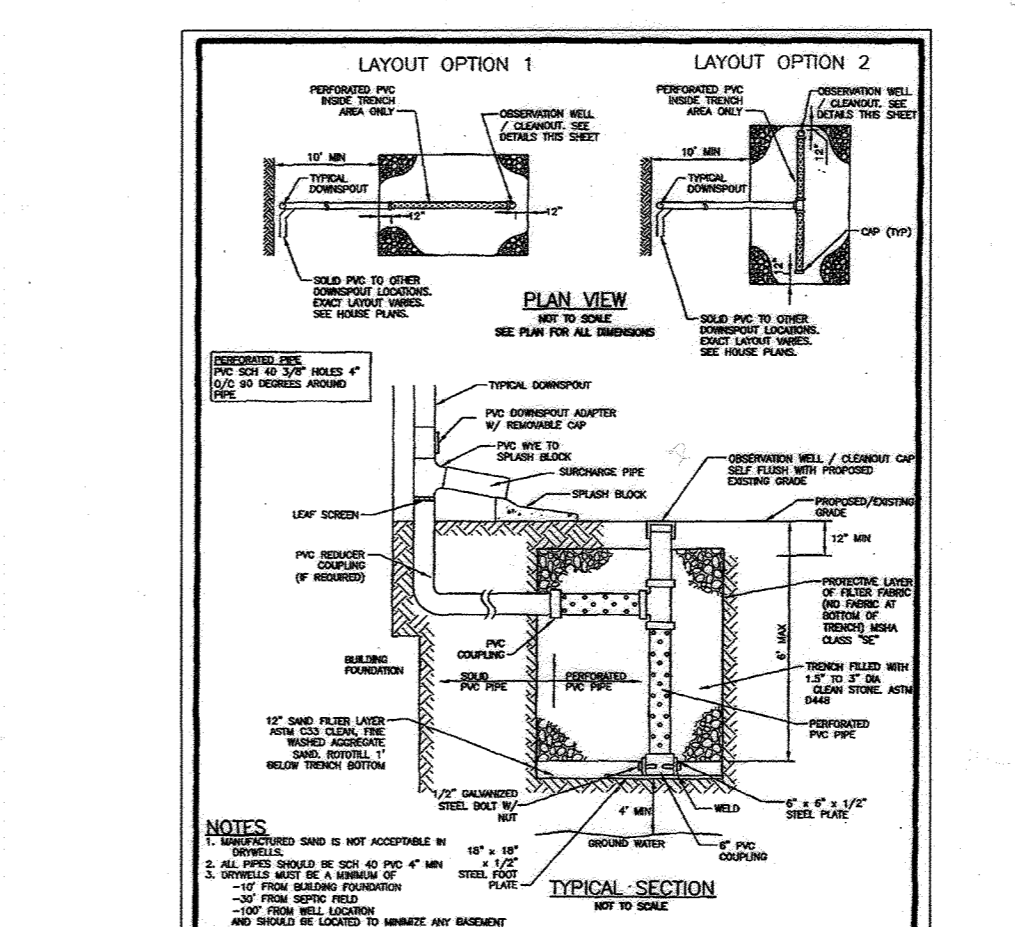
ON-LOT RAIN GARDEN - DESIGN ELEVATION CHART

RG FACILITY #	MAX WSEL	ESD WSEL	TOP MULCH B	BOTTOM PLANT SOIL C	INV STONE D	SURFACE AREA SF
87	303.83	303.00	302.00	299.75	298.42	150
91	305.83	305.00	304.00	301.75	300.42	125
92	307.83	307.00	306.00	303.75	302.42	135
94	305.83	305.00	304.00	301.75	298.42	115

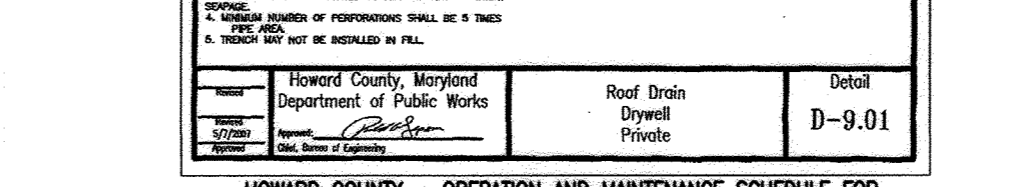


F 14-023 ONLOT RAINGARDEN PLANTING SCHEDULE

QTY	BOTANICAL NAME/COMMON NAME	SIZE	REMARKS
9	VIBURNUM TRILOBUM AMERICAN HIGHBUSH CRANBERRY	5 GALLON	CONT
9	SPICEBUSH LINDERA BENZONI	3 GALLON	CONT



- OPERATION AND MAINTENANCE SCHEDULE FOR RAIN GARDEN AREAS**
- ANNUAL MAINTENANCE OF PLANT MATERIAL, MULCH LAYER AND SOIL LAYER IS REQUIRED. MAINTENANCE OF MULCH AND SOIL IS LIMITED TO CORRECTING AREAS OF EROSION OR WEAR OUT. MULCH REPLACEMENT SHALL BE DONE IN THE SPRING. PLANT MATERIAL SHALL BE CHECKED FOR DISEASE AND INSECT INFESTATION AND MAINTENANCE WILL ADDRESS DEAD MATERIAL AND PRUNING.
 - SCHEDULE OF PLANT INSPECTION WILL BE TWICE A YEAR IN SPRING AND FALL. THIS INSPECTION WILL INCLUDE REMOVAL OF DEAD AND DISEASED VEGETATION CONSIDERED BEYOND TREATMENT. TREATMENT OF ALL DEFICIENT STAKES AND WIRES.
 - MULCH SHALL BE INSPECTED EACH SPRING. REMOVE EXCESS MULCH BEFORE APPLYING NEW LAYER ONCE EVERY 2 TO 3 YEARS.
 - SOIL EROSION TO BE ADDRESSED ON AN AS NEEDED WITH A MINIMUM OF ONCE PER MONTH AND AFTER HEAVY STORM EVENTS.



HOWARD COUNTY - OPERATION AND MAINTENANCE SCHEDULE FOR PRIVATELY OWNED AND MAINTAINED DRYWELL (M-5)

A. THE OWNER SHALL INSPECT & CLEAN ANNUALLY, INCLUDING PIPES, GUTTERS, DOWNSPOUTS AND FILTERS.

B. PONDING STANDING WATER OR ALGAL GROWTH ON THE TOP OF A DRYWELL MAY INDICATE FAILURE DUE TO SEDIMENTATION IN THE GRAVEL MEDIA. IF WATER PONDING FOR MORE THAN 48 HOURS AFTER A MAJOR STORM OR MORE THAN SIX INCHES OF SEDIMENT HAS ACCUMULATED, THE GRAVEL MEDIA SHOULD BE EXCAVATED AND REPLACED.

OWNER/DEVELOPER
BEAZER HOMES CORPORATION
8955 GUILDFORD ROAD
COLUMBIA, MARYLAND 21046
ATTN: MR. EDWARD W. GOLD
DIVISION PRESIDENT
410-381-3222

F 14-023 MICRO-BIORETENTION FACILITY - DESIGN ELEVATION CHART

MBR FACILITY #	TOP 5 INLET MAX WSEL	ESD WSEL A	TOP MULCH B	BOTTOM PLANT SOIL C	INV STONE D	SURFACE AREA SF	MBR DETAIL TYPE	APPROX DIM
SECTION TWO								
N1	326.60	326.60	325.60	323.35	322.02	295	1	SEE PLAN
N1A	327.25	327.25	326.25	324.00	322.67	390	1	SEE PLAN
T3	321.70	321.70	320.70	318.45	317.12	210	1	SEE PLAN
T4	318.40	318.40	317.40	315.15	313.82	1100	2	SEE PLAN
T5	317.40	317.40	316.40	314.15	312.82	550	1	SEE PLAN
N5	317.20	317.20	316.20	313.95	312.62	370	1	SEE PLAN
N2A	320.70	320.70	319.70	317.45	316.12	410	1	SEE PLAN
N3	320.70	320.70	319.70	317.45	316.12	570	1	SEE PLAN
N6	305.90	305.90	304.90	302.65	301.32	333	1	SEE PLAN
N7	304.20	304.20	303.20	300.95	299.62	1000	1	SEE PLAN
N8	303.00	303.00	302.00	299.75	298.42	1410	2	SEE PLAN
N4	307.00	307.00	306.00	303.75	302.42	1300	2	SEE PLAN

REFER TO SHEET F14-023 FOR PLANTING NOTES, DETAIL AND SCHEDULES

DEER SPRINGS - SECTION TWO - ESDv COMPUTATIONS

Site Computations: Rv = 0.2887 ESDv = 61940 cuft
A = 36.94 Acres Pe = 1.6 inches
Rv=0.05+0.009K1
Vmin=1.0" rainfall
Vmax=1yr rainfall=2.6"

DA #	% IMPERV	Rv (SF)	DA (AC)	MINIMUM VOLUME	MAXIMUM VOLUME	1.6" VOLUME PROVIDED*	VOLUME IMPERV (SF)	IMPERV (AC)	GREEN AREA	REMARKS	
2	19.67	0.2270	22215	0.51	420	1093	673	717	4370	0.10	0.41
2A	51.12	0.5101	14079	0.32	598	1556	958	1063	7197	0.17	0.16
3	70.75	0.6868	10900	0.25	624	1622	998	998	7712	0.18	0.07
4	34.97	0.3647	40520	0.93	1232	3202	1971	2197	14170	0.33	0.60
5	75.31	0.7278	9800	0.22	594	1545	951	966	7380	0.17	0.06
6	45.87	0.4629	11800	0.27	455	1183	728	800	5413	0.12	0.15
7	35.10	0.3659	35870	0.82	1094	2844	1750	1838	12592	0.29	0.53
8	62.07	0.6086	29600	0.68	1501	3903	2402	2466	18372	0.42	0.26
T4	51.85	0.5168	22000	0.51	947	2463	1516	1550	11410	0.26	0.24
T5	68.39	0.6655	14300	0.33	793	2062	1269	1358	9780	0.22	0.10
46.6		0.4695	211084	4.85	8259	21474	13215	13953	98396	2.26	2.59

NORTH AREA #1 - MIN Pe = 1.00" Provided (Underdrain / Outfall Flows Toward Subarea 12)

DA #	% IMPERV	Rv (SF)	DA (AC)	MINIMUM VOLUME	MAXIMUM VOLUME	1.6" VOLUME PROVIDED*	VOLUME IMPERV (SF)	IMPERV (AC)	GREEN AREA	REMARKS	
1	47.71	0.4794	14510	0.33	580	1507	927	591	6923	0.16	0.17
1A	59.80	0.5882	7062	0.16	346	900	554	601	4223	0.10	0.07
T2	77.77	0.7499	16330	0.37	1021	2653	1211	12700	0.29	0.08	NON-STRUCTURAL ALT SURFACE
T3	66.80	0.6512	10000	0.23	543	1411	868	566	6680	0.15	0.08
T6	72.41	0.7017	7575	0.17	443	1152	709	739	5485	0.13	0.05
T7	72.57	0.7031	7660	0.18	449	1167	718	739	5559	0.13	0.05
T8	80.25	0.7723	4360	0.10	281	730	449	506	3499	0.08	0.02
T9	93.31	0.8898	3230	0.07	240	623	383	337	3014	0.07	0.00
12	21.99	0.2479	51230	1.18	1058	2752	1694	4007	11267	0.26	0.92
48.7		0.4880	121957	2.80	4959	12894	7935	9297	59350	1.36	1.44

NORTH AREA #1 - REQUIRED Pe = 1.6" Provided (Underdrains / Outfall Flows Freely)

DA #	% IMPERV	Rv (SF)	DA (AC)	MINIMUM VOLUME	MAXIMUM VOLUME	1.6" VOLUME PROVIDED*	VOLUME IMPERV (SF)	IMPERV (AC)	GREEN AREA	REMARKS	
T1	28.28	0.3045	14850	0.34	377	980	603	750	4200	0.10	0.24
68	28.88	0.3099	5665	0.13	146	380	234	241	1636	0.04	0.09
71	26.60	0.2894	6150	0.14	148	386	237	238	1636	0.04	0.10
72	32.00	0.3380	5425	0.12	153	397	244	250	1736	0.04	0.08
75	28.57	0.3071	3150	0.07	81	210	129	131	900	0.02	0.05
88	26.84	0.2916	12000	0.28	292	758	467	487	3221	0.07	0.20
10	26.65	0.2898	37300	0.86	901	2342	1441	1448	9940	0.23	0.63
27.5		0.2977	84540	1.94	2097	5453	3356	3545	23269	0.53	1.41

NORTH TOTALS

% IMPERV	Rv (SF)	DA (AC)	MINIMUM VOLUME	MAXIMUM VOLUME	1.6" VOLUME PROVIDED*	VOLUME IMPERV (SF)	IMPERV (AC)	GREEN AREA
43.3	0.4401	417581	9.59	15316	39822	24506	26795	181015

STORMWATER PRACTICE BY LOT

LOT #	MICROSCALE # OF DRYWELLS	ALTERNATIVE SURFACE POROUS CONC. DRIVEWAY	ADDITIONAL POROUS CONC. STONE DEPTH	MICROSCALE # OF RAIN GARDENS	NON-STRUCTURAL # OF DISCONNECTIONS**
69	1	8X8K4	NO	NO	NO
70	NO	YES	NO	NO	1
72	NO	YES	NO	NO	1
73	NO	YES	NO	NO	1
74	1	8X8K4	NO	NO	2
75	NO	YES	1 FT	NO	1
76	NO	YES	1 FT	NO	1
77	NO	YES	1 FT	NO	1
78	NO	YES	NO	NO	1
79	NO	YES	NO	NO	1
80	NO	YES	NO	NO	1
81	NO	YES	NO	NO	1
82	NO	YES	1 FT	NO	1
83	NO	YES	1 FT	NO	2
84	NO	YES	NO	NO	1
85	NO	YES	NO	NO	2
86	NO	YES	NO	NO	2
87	NO	YES	NO	NO	1
88	2	8X8K4	NO	NO	2
89	2	8X8K4	YES	NO	NO
90	2	8X8K4	YES	NO	NO
91	NO	YES	NO	1	2
92	NO	YES	NO	1	2
93	2	8X8K4	YES	NO	NO
94	2	8X8K4	YES	NO	NO
95	1	8X8K4	YES	NO	NO
96	NO	YES	1.2 FT	NO	NO
97	NO	YES	1.2 FT	NO	NO
98	NO	YES	1.2 FT	NO	2
99	NO	YES	1.2 FT	NO	2
100	NO	YES	1.2 FT	NO	2
101	NO	YES	1.2 FT	NO	2
102	NO	YES	1.2 FT	NO	2
103	NO	YES	1.2 FT	NO	2
104	NO	YES	1.2 FT	NO	2
105	NO	YES	1.2 FT	NO	2
106	NO	YES	2.1 FT	NO	NO
107	NO	YES	2.1 FT	NO	NO
108	NO	YES	2.1 FT	NO	NO
109	NO	YES	2.1 FT	NO	1
110	NO	YES	2.1 FT	NO	1

STORMWATER PRACTICE BY LOT

LOT #	MICROSCALE # OF DRYWELLS	ALTERNATIVE SURFACE POROUS CONC. DRIVEWAY	ADDITIONAL POROUS CONC. STONE DEPTH	MICROSCALE # OF RAIN GARDENS	NON-STRUCTURAL # OF DISCONNECTIONS**
111	NO	YES	1.75 FT	NO	NO
112	NO	YES	1.75 FT	NO	NO
113	NO	YES	1.75 FT	NO	NO
114	NO	YES	1.75 FT	NO	NO
115	NO	YES	1.75 FT	NO	NO
116	NO	YES	1.75 FT	NO	NO
117	NO	YES	1.75 FT	NO	NO
118	NO	YES	1.75 FT	NO	NO
119	NO	YES	1.75 FT	NO	NO
120	NO	YES	1.75 FT	NO	NO
121	NO	YES	NO	NO	NO
122	NO	YES	NO	NO	NO
123	NO	YES	NO	NO	NO
124	NO	YES	NO	NO	NO
125	NO	YES	NO	NO	NO
126	NO	YES	2 FT	NO	NO
127	NO	YES	2 FT	NO	NO
128	NO	YES	2 FT	NO	NO
129	NO	YES	2 FT	NO	NO
130	NO	YES	2 FT	NO	NO
131	NO	YES	2 FT	NO	NO
132	NO	YES	2 FT	YES	NO
133	NO	YES	1 FT	YES	NO
134	NO	YES	1 FT	YES	NO
135	NO	YES	1 FT	YES	NO
136	NO	YES	1 FT	YES	NO
137	NO	YES	1 FT	YES	NO
138	NO	YES	NO	YES	NO
139	NO	YES	NO	YES	NO
140	NO	YES	NO	YES	NO
141	NO	YES	NO	YES	NO
142	NO	YES	NO	YES	NO
143	NO	YES	NO	YES	NO

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
Director, Planning & Zoning
Chief, Development Engineering Division
Chief, Division of Land Development

DATE: 7-21-15
DATE: 7-8-15
DATE: 7-20-15

F 14-023 ON-LOT DRYWELL - DESIGN ELEVATION CHART

SWM LOT DA	DW LOT #	NUMBER OF DW'S	PROP GRADE OVER	TOP STONE	INV STONE	SURFACE SIZE FT X FT	
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