

GENERAL CONSTRUCTION NOTES

- ALL CONSTRUCTION ON SITE SHALL BE DONE IN ACCORDANCE WITH ALL LOCAL CODES, INCLUDING:
 - HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS STANDARD SPECIFICATIONS FOR CONSTRUCTION AND MATERIALS, 2007 EDITION
 - MARYLAND DEPARTMENT OF TRANSPORTATION STATE HIGHWAY ADMINISTRATION, STANDARD SPECIFICATIONS FOR CONSTRUCTION AND MATERIALS, JULY 2008
 - HOWARD COUNTY ENGINEERING CODE, EXCEPT WHERE NOTED
 - HOWARD COUNTY BUILDING CODE, EXCEPT WHERE NOTED
- CONTRACTOR SHALL NOTIFY THE FOLLOWING AT LEAST 48 HOURS PRIOR TO BEGINNING ANY WORK ON THE PROJECT:
 - MESS UTILITY (410) 257-7777
 - VERIZON (410) 860-8104
 - COMCAST CABLEVISION (800)787-3611
 - HOWARD COUNTY PUBLIC WORKS / BUREAU OF ENGINEERING (410) 313-2414
 - HOWARD COUNTY CONSTRUCTION INSPECTION DIVISION (410) 313-3800
 - ENGINEER IN CHARGE (410) 229-9851
- CONTRACTOR SHALL BE RESPONSIBLE TO MAKE SURE THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED PRIOR TO STARTING CONSTRUCTION. NO CONSTRUCTION OR FABRICATION SHALL BEGIN UNTIL CONTRACTOR HAS RECEIVED AND THOROUGHLY REVIEWED ALL PLANS AND OTHER DOCUMENTS APPROVED BY ALL PERMITTING AUTHORITIES.
- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS, SPECIFICATIONS AND REQUIREMENTS AND STANDARDS OF LOCAL GOVERNING AUTHORITY. GEOTECHNICAL REPORT AND RECOMMENDATIONS SET FORTH THEREIN ARE PART OF REQUIRED CONSTRUCTION DOCUMENTS AND TAKE PRECEDENCE UNLESS SPECIFICALLY NOTED OTHERWISE ON PLANS. CONTRACTOR SHALL NOTIFY MERRITT'S CONSTRUCTION MANAGER OF ANY DISCREPANCY BETWEEN GEOTECHNICAL REPORT, PLANS, AND OTHER DOCUMENTS.
- THESE PLANS AND SPECIFICATIONS ARE SUBJECT TO MODIFICATION DURING CONSTRUCTION WHEN CONDITIONS DEVELOP THAT WERE NOT APPARENT DURING DESIGN AND PREPARATION OF THESE PLANS. ALL MODIFICATIONS MUST BE APPROVED BY LOCAL JURISDICTION PRIOR TO CONSTRUCTION AND/OR IMPLEMENTATION.
- SHOULD IT APPEAR THAT THE WORK TO BE DONE OR ANY MATTER RELATIVE THERETO IS NOT SUFFICIENTLY DETAILED OR EXPLAINED ON THESE PLANS, CONTRACTOR SHALL CONTACT ENGINEER FOR SUCH FURTHER EXPLANATIONS AS MAY BE NECESSARY.
- DEVIATION FROM THESE PLANS AND SPECIFICATIONS WITHOUT PRIOR WRITTEN CONSENT FROM ENGINEER AND MERRITT'S CONSTRUCTION MANAGER MAY CAUSE WORK TO BE UNACCEPTABLE.
- FAILURE TO MENTION SPECIFICALLY ANY WORK WHICH WOULD NORMALLY BE REQUIRED TO COMPLETE THIS PROJECT SHALL NOT RELIEVE CONTRACTOR FROM PERFORMING SUCH WORK.
- CONTRACTOR SHALL NOTIFY ENGINEER OR MERRITT'S CONSTRUCTION MANAGER IN CASE OF ANY DISCREPANCY OCCURRING BETWEEN INFORMATION CONTAINED ON THESE PLANS AND OTHER DOCUMENTS.
- ALL T.A. SURVEY SHALL BE CONSIDERED PART OF THESE PLANS. CONTRACTOR IS RESPONSIBLE FOR LOCATING IMPROVEMENTS PER THESE PLANS.
- BALTIMORE LAND DESIGN GROUP, INC. SHALL NOT BE HELD RESPONSIBLE FOR CONSTRUCTION, MEANS, METHODS, TECHNIQUES OR PROCEDURES UTILIZED BY CONTRACTOR, NOR FOR SAFETY OF PUBLIC OR CONTRACTOR'S EMPLOYEES OR FOR FAILURE OF CONTRACTOR TO CARRY OUT WORK IN ACCORDANCE WITH CONTRACT DOCUMENTS AND STANDARD CONSTRUCTION PRACTICES.
- LOCATIONS OF UNDERGROUND FACILITIES AND UTILITIES SHOWN ON THESE PLANS ARE BASED ON FIELD SURVEYS AND LOCAL UTILITY COMPANY RECORDS. THEY ARE SHOWN FOR CONVENIENCE OF CONTRACTOR AND COMPLETENESS OR ACCURACY OF SAME IS NOT GUARANTEED. IT SHALL BE CONTRACTOR'S FULL RESPONSIBILITY TO CONTACT APPROPRIATE UTILITY COMPANY. NO COMPENSATION SHALL BE PAID TO CONTRACTOR FOR DAMAGE AND REPAIR TO THESE FACILITIES CAUSED BY HIS/HER WORK FORCE. CONTRACTOR SHALL DETERMINE LOCATION AND ELEVATION OF EXISTING UTILITIES BEFORE ORDERING ANY STRUCTURE AND BEFORE STARTING TRENCH EXCAVATION.
- CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PROTECT EXISTING UTILITIES WHICH ARE TO REMAIN FREE FROM DAMAGE AND MAINTAIN UNINTERRUPTED SERVICE TO ALL USERS. PROTECT WITH SAFETY FENCE OR ADEQUATE FLAGGING AS NECESSARY. ANY DAMAGE INCURRED DUE TO CONTRACTOR'S OR SUBCONTRACTOR'S ACTIONS SHALL BE REPAIRED IMMEDIATELY AT CONTRACTOR'S EXPENSE.
- BEFORE COMMENCEMENT OF WORK, CONTRACTOR SHALL REVIEW ALL PLANS AND SPECIFICATIONS AND JOB SITE ALL DIMENSIONS AND GRANT PERMISSION TO FIELD VERIFY BY CONTRACTOR PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY MERRITT'S CONSTRUCTION MANAGER IF ANY DISCREPANCIES EXIST, PRIOR TO PROCEEDING WITH CONSTRUCTION. FOR NECESSARY PLAN OR GRADE CHANGES, NO EXTRA COMPENSATION SHALL BE PAID TO CONTRACTOR FOR WORK HAVING TO BE REDONE DUE TO DIMENSIONS OR GRADES SHOWN INCORRECTLY ON THESE PLANS IF SUCH NOTIFICATION HAS NOT BEEN GIVEN.
- CONTRACTOR SHALL INSPECT SITE TO DETERMINE IF ANY TREES, PAVING, STRUCTURES, ETC. ARE TO BE REMOVED PRIOR TO PLACING BIDS ON SUCH ITEMS.
- CONTRACTOR SHALL CLEAR PROJECT SITE OF ALL TREES, PAVING, STRUCTURES, ETC. WITHIN CONSTRUCTION AREA AS SHOWN ON EXISTING CONDITION / DEMOLITION PLAN.
- WHERE REQUIRED BY ENCOUNTERED SEepage CONDITIONS, DOWATERING SYSTEM CONSISTING OF SERIES OF INTERCEPTOR TRENCHES, SUMPS, AND PUMPS MAY BE USED DURING CONSTRUCTION.
- CONTRACTOR SHALL MAINTAIN ALL SEDIMENT CONTROL DEVICES WITHIN LIMITS OF DISTURBANCE DURING CONSTRUCTION OF SITE IMPROVEMENTS. CONTRACTOR SHALL PROVIDE ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES AS MAY BE NECESSARY DURING CONSTRUCTION AND/OR BY GOVERNING AGENCIES.
- STANDARD MANUFACTURERS LENGTH OF PIPE SHALL BE USED FOR ALL WATER, SEWER, STORM DRAIN PIPES DURING CONSTRUCTION.
- ALL PIPE ELEVATIONS ARE TO INVERT OF PIPE.
- CONTRACTOR SHALL PROVIDE MINIMUM OF TWO FEET OF PROTECTIVE FILL OVER STORM DRAIN PIPES DURING CONSTRUCTION.
- CONTRACTOR SHALL PLACE WITNESS POST AT TERMINUS OF ALL UTILITY STUBS.
- CONTRACTOR SHALL VERIFY SIZE, LOCATION, AND ELEVATION OF ALL WATER, SEWER AND STORM DRAIN CONNECTIONS AT BUILDING WITH MECHANICAL AND PLUMBING CONTRACTORS BEFORE BEGINNING CONSTRUCTION OF SERVICE CONNECTIONS TO SERVICE BUILDING.
- WATER MAINS SHALL HAVE MINIMUM OF 4.0' COVER, EXCEPT WHERE DIFFERENT DEPTHS ARE INDICATED.
- IN THE EVENT OF ANY DISCREPANCY BETWEEN ANY PLANS AND FIGURES WRITTEN THEREON, FIGURES SHALL BE TAKEN AS CORRECT.
- CONTRACTOR SHALL FURNISH OWNER A LETTER STATING THAT ALL WATER MAINS HAVE BEEN STERILIZED AND PRESSURE TESTED IN ACCORDANCE WITH HOWARD COUNTY PLUMBING CODE AND PROCEDURES ESTABLISHED BY HOWARD COUNTY FIRE DEPARTMENT.
- CONTRACTOR SHALL OBTAIN FIRE LINE PERMIT FOR ALL EXTERIOR FIRE LINES/SPRINKLER LINES PRIOR TO INSTALLATION OF ANY PIPE. FIRE LINE PERMIT REQUIREMENTS SHALL BE STRICTLY ADHERED TO. ALL FIRE LINE PIPING SHALL MEET THE REQUIREMENTS OF THE NFPA. FIRE SHALL BE LISTED, FM APPROVED AND MEET THE ANWA STANDARDS FOR FIRE PROTECTION USE. FITTINGS SHALL HAVE PRESSURE CLASS RATINGS COMPATIBLE WITH THE PIPE USED.
- CONTRACTOR SHALL MAINTAIN MINIMUM OF TWO FEET WIDE BENCH BEHIND ALL PROPOSED CURB IN FILL AREAS, UNLESS OTHERWISE NOTED.
- UNLESS OTHERWISE NOTED, ALL CONCRETE CURB & GUTTER SHALL BE STANDARD 7" COMBINATION CONCRETE CURB AND GUTTER AS PER HOWARD COUNTY PLATE R-3.01.
- UNLESS OTHERWISE NOTED, SIDEWALKS SHALL CONFORM TO AFOREMENTIONED HOWARD COUNTY STANDARDS, PLATE R-3.05. SLOPES, WIDTH AND LOCATION SHALL BE AS SHOWN ON THESE PLANS. IN ADDITION, SIDEWALKS SHALL BE PLACED ON MIN. 4" CRUSHED STONE BASE (No.57) AND ARE TO BE REINFORCED WITH WIRE MESH.
- CONCRETE STAIRS AND PIPE HANDRAILS, IF REQUIRED, SHALL CONFORM TO AFOREMENTIONED HOWARD COUNTY STANDARDS, PLATE G-7.01 & G-7.02.
- UNLESS OTHERWISE NOTED, PAVEMENT MARKINGS SHALL BE TRAFFIC WHITE. ALL PARKING SPACES SHALL BE PAVED WITH DURABLE DUSTLESS SURFACE, PROPERLY DRAINED AND ALL PARKING SPACES SHALL BE STRIPPED PERMANENTLY.
- CONTRACTOR SHALL PROVIDE ALL PAVEMENT MARKINGS AND SIGNAGE FOR HANDICAP SPACES INDICATED ON HEREON IN ACCORDANCE WITH ALL APPLICABLE CODES.
- HANDICAP SPACES AND CURB RAMPS SHALL COMPLY WITH CURRENT A.D.A. GUIDELINES FOR SLOPE, LINE PAINTING, MATERIAL, AND SIGNAGE.
- THE R1-1 (STOP) SIGN AND THE STREET NAME SIGN (SNS) ASSEMBLY FOR THIS DEVELOPMENT MUST BE INSTALLED BEFORE THE BASE PAVING IS COMPLETED.
- THE TRAFFIC CONTROL DEVICE LOCATIONS SHOWN ON THE PLANS ARE APPROXIMATE AND MUST BE FIELD APPROVED BY HOWARD COUNTY TRAFFIC DIVISION (410-313-2430) PRIOR TO THE INSTALLATION OF ANY OF THE TRAFFIC CONTROL DEVICES.
- ALL TRAFFIC CONTROL DEVICES AND THEIR LOCATIONS SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE 2011 MARYLAND MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
- ALL SIGN POSTS USED FOR TRAFFIC CONTROL SIGNS INSTALLED IN THE COUNTY RIGHT-OF-WAY SHALL BE MOUNTED ON A 2" GALVANIZED STEEL, PERFORATED QUICK PUNCH TYPE 205 (1/2 GAUGE) INSERT INTO A 1/2" GALVANIZED STEEL, PERFORATED SQUARE TUBE POST (12 GAUGE) - 3" LONG. THE ANCHOR SHALL NOT EXTEND MORE THAN TWO QUICK PUNCH HOLE ABOVE GROUND LEVEL. A GALVANIZED STEEL CAP SHALL BE MOUNTED ON TOP OF EACH POST.
- ALL DISTURBED AREAS NOT TO RECEIVE PAVING SHALL BE STABILIZED WITH MINIMUM OF 6" TOPSOIL, SEED AND MULCH, UNLESS SPECIFIED OTHERWISE ON SEDIMENT CONTROL OR LANDSCAPE PLANS.

MARYLAND FOOD CENTER AUTHORITY

BUILDING 3 - EXPANDED STRUCTURE SETBACK NOTE:
SECTION 1.23.02.1.b EXPANDS THE STRUCTURE SETBACK BY 2 FEET FOR EVERY 1 FOOT OF BUILDING HEIGHT ABOVE THE MINIMUM (50'). BUILDING 3 - 55 FEET TALL EXCEPTS THE MINIMUM HEIGHT REQUIREMENT BY 5 FEET TRYS AN ADDITIONAL 10 FEET OF SETBACK TO REQUIRE AND IS NOTED IN THE PLANS AS "10' EXPANDED STRUCTURE SETBACK".

BUILDING 3 EXISTING STRUCTURE SETBACKS:
EXTERNAL PUBLIC RIGHT OF WAY (REQUIRED: 60', PROVIDED: 110')
INTERNAL PUBLIC RIGHT OF WAY (REQUIRED: 60', PROVIDED: 110')
RESIDENTIAL DISTRICTS (REQUIRED: 150', PROVIDED: 185')

IN ACCORDANCE WITH SECTION 1.23.02.1.b WHEN TWO OR MORE CONTIGUOUS LOTS OR PARCELS ARE TREATED AS A SINGLE PARCEL FOR DEVELOPMENT PURPOSES, THE ZONING STRUCTURE AND USE SETBACKS FROM THE LOT LINES INTERNAL TO THE DEVELOPMENT SHALL NOT APPLY, THEREFORE THE STRUCTURE & USE SETBACK REQUIREMENTS DO NOT APPLY TO THE INTERNAL LOT BOUNDARIES.

- CONTRACTOR SHALL FINE GRADE LANDSCAPE AREAS TO 6" BELOW TOP OF CURB AND SIDEWALK. OWNER / OPERATOR SHALL FINISH GRADING AND PROVIDE TOPSOIL.
- IF REQUIRED, CONCRETE WHEEL STOPS SHALL BE INSTALLED WHERE SHOWN ON PLAN AND SHALL BE PRECAST STANDARD CONCRETE, ANCHORED TO PAVEMENT WITH 2 STEEL RODS PER EACH WHEEL STOP DRIVEN MINIMUM OF 8" INTO BITUMINOUS CONCRETE PAVEMENT OR TWO DOWELS PER EACH WHEEL STOP GROUTED MINIMUM OF 4" INTO CEMENT CONCRETE PAVEMENT.
- A 5' PATH AT 2% (MAX.) CROSS SLOPE MUST BE MAINTAINED ACROSS ALL ENTRANCES.
- IF REQUIRED, GUARDRAIL SHALL BE INSTALLED WHERE SHOWN ON PLAN AND SHALL BE STATE OF MARYLAND STATE HIGHWAY ADMINISTRATION GUARDRAIL WITH BEAN, STANDARD NO. 680.00 SERIES INCLUDING END SECTION AT ALL TERMINUS.
- SEE SPECIFIC PLANS (DEMOLITION, GRADING, ETC.) FOR ADDITIONAL GENERAL NOTES.
- SEE ARCHITECTURAL PLANS FOR EXACT BUILDING DIMENSIONS, DOOR AND STEP LOCATIONS, OR OTHER ITEMS ADJACENT TO THE BUILDING.
- THE SUBJECT PROPERTY IS ZONED M-2 PER THE OCTOBER 6, 2013 COMPREHENSIVE ZONING PLAN.
- NO GRADING, REMOVAL OF VEGETATIVE COVER OR TREES, PAVING AND NEW STRUCTURES SHALL BE PERMITTED WITHIN THE REQUIRED WETLANDS, STREAM(S) OR THEIR BUFFERS, FOREST CONSERVATION EASEMENT AREAS AND 100 YEAR FLOODPLAIN.

SITE NOTES

- MINIMUM SETBACK REQUIREMENT:
 - FROM AN EXTERNAL PUBLIC STREET RIGHT-OF-WAY: 50 FT
 - FROM ANY PARKING USES AND FENCES: 10 FT
 - FROM ANY INTERNAL PUBLIC STREET RIGHT OF WAY: 50 FT
 - EXCEPT FOR PARKING USES AND FENCES ADJOINING PARKING USES: 10 FT
- FROM ANY RESIDENTIAL DISTRICT: 150 FT
- ADMINISTRATIVE ADJUSTMENT REQUEST A44-002 TO REDUCE THE REQUIRED 150 FT STRUCTURE AND USE SETBACK FROM A RESIDENTIAL DISTRICT ZONING REGULATIONS SECTION 123.02.1.b TO 120 FT FOR A PARKING AREA WAS APPROVED ON MARCH 12, 2014 SUBJECT TO THE FOLLOWING CONDITIONS:
 - 1. THE PETITIONER SHALL COMPLY WITH ALL FEDERAL, STATE AND COUNTY LAWS AND REGULATIONS.
 - 2. THE GRANTED ADMINISTRATIVE ADJUSTMENT SHALL APPLY SOLELY TO THE PARKING DRIVE ASLE AS DEPICTED ON THE ADMINISTRATIVE ADJUSTMENT PLAN SUBMITTED BY THE PETITIONER AND NOT TO ANY OTHER STRUCTURE, BUILDING OR USE.
 - 3. THIS DECISION AND ORDER SHALL BE MAINTAINED IN THE OWNERS' PROPERTY RECORDS AND SHALL BE TRANSFERRED TO ANY SUCCEEDING OWNER OF THE PROPERTY.
- *THIS DECISION AND ORDER HAD ORIGINALLY BEEN SIGNED BY THE PLANNING DIRECTOR ON MARCH 12, 2014, SUBJECT TO THE ISSUANCE OF THIS DECISION. IT WAS DISCOVERED THAT APPROVAL CONDITION #2 CONTAINED AN ERRONEOUS REFERENCE TO RETAINING WALL. THIS REVISED DECISION AND ORDER CORRECTS AND SUPERSEDES THAT OF MARCH 5, 2014.

2. LANDSCAPE REQUIREMENTS:
THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE PROVISIONS OF SECTION 16.124 OF THE HOWARD COUNTY CODE AND LANDSCAPE MANUAL. LANDSCAPE SURVEY BASED ON REQUIRED PLANTING ONLY AND NO SURETY IS REQUIRED FOR EXISTING LANDSCAPING THAT IS CREDITED TOWARD LANDSCAPING REQUIREMENTS. FINANCIAL SURETY FOR THE REQUIRED LANDSCAPING HAS BEEN POSTED AS PART OF THE DPW DEVELOPERS AGREEMENT FOR THE AMOUNT OF \$24,300. (35 SHADE TREES AT \$10,500 AND 92 EVERGREEN TREES AT \$13,800 ARE BEING PROVIDED FOR A TOTAL SURETY OF \$24,300).

3. STORM WATER MANAGEMENT (SWM):
SWM SHALL BE ADDRESSED ACCORDING TO NEW DEVELOPMENT REQUIREMENTS, SIX (6) SWM FACILITIES: TWO (2) MICRO-PREVENTION THRESHOLD SEWER WETLANDS AND PERVIOUS CONCRETE HAVE BEEN PROVIDED ON SITE TO FULFILL ESD VOLUME REQUIREMENTS. RED HAZARD REQUIREMENTS ARE BEING FULFILLED THROUGH A STONE TRENCH UNDER ESD PRACTICE #2 AND #3. ALL SWM DEVICES SHALL BE PRIVATELY OWNED AND MAINTAINED.

4. THE SUBSURFACE EXPLORATION AND GEOTECHNICAL ENGINEERING ANALYSIS FOR THIS PROJECT WAS MADE ON AUGUST, 2013 BY RUELING ASSOCIATES, INC.

5. A TRAFFIC STUDY WAS PERFORMED BY TRAFFIC CONCEPTS, INC. DATED JANUARY, 2014. A NOISE STUDY IS NOT REQUIRED FOR THIS INDUSTRIAL ZONED PROPERTY.

6. ALL ON-SITE DRIVEWAYS AND PARKING AREAS TO BE PRIVATELY MAINTAINED.

7. THERE ARE NO EXISTING OR PROPOSED WELL OR SEPTIC AREAS.

8. EXISTING PUBLIC WATER AND PUBLIC SEWER PROVIDED BY CONTRACT NUMBERS: 664-D, 24-3519-D & F-83-62, PROPOSED ON-SITE PUBLIC WATER AND SEWER PROVIDED BY CONTRACT NO. 24-4861-D.

9. THERE ARE NO KNOWN WETLANDS REQUIRING REGULATION, CRITICAL AREAS, ARCHEOLOGICAL SITES, ENDANGERED SPECIES HABITATS, OR HAZARDOUS MATERIALS ON SITE.

10. FOREST CONSERVATION REQUIREMENTS:
THIS PROJECT COMPLIES WITH THE REQUIREMENTS OF SECTION 16.1200 OF THE HOWARD COUNTY CODE FOR FOREST CONSERVATION BY PROVIDING 4.0 ACRES OF REFORESTATION AND THE RETENTION OF 166 ACRES OF ON-SITE FOREST. THE PLANTING WILL BE PROVIDED WITH 0.05 ACRES ON-SITE AND 3.95 ACRES OFF-SITE ON THE HAY MEADOW FARM PROPERTY. A SURETY FOR THE ON-SITE/OFF-SITE PLANTING WILL BE REQUIRED TO BE POSTED AS PART OF THE DPW DEVELOPERS AGREEMENT. THE SURETY WILL BE BASED ON \$0.50 PER SQUARE FOOT OF PLANTING. THE SURETY FOR OFF-SITE PLANTING WILL BE \$1,089.00 AND FOR OFF-SITE PLANTING WILL BE \$86,031.00.

11. THERE ARE NO HISTORIC BUILDINGS ON THIS PROPERTY.

12. FLOOD MAP INFORMATION:
SITE IS SHOWN ON MAP ENTITLED "FIRM FLOOD INSURANCE RATE MAP, HOWARD COUNTY, MARYLAND, UNINCORPORATED AREAS, PANEL 170 OF 235, COMMUNITY PANEL NUMBER 240270010, DATED NOVEMBER 6, 2013" AND IS LOCATED IN ZONE X (AREAS DETERMINED TO BE OUTSIDE THE 1% ANNUAL CHANCE FLOODPLAIN).

13. THIS SITE IS NOT LOCATED WITHIN THE CHESAPEAKE BAY CRITICAL AREA.

14. LIGHTING SHALL BE ERECTED AS NOT TO REFLECT INTO ANY ADJOINING RESIDENTIAL AREAS AND PUBLIC ROADS.

15. THE BOUNDARY SHOWN HEREON WAS TAKEN FROM M.L.T.A./ACSM LAND TITLE SURVEY PREPARED BY MTLPS LAND SURVEYORS, LLC ON JULY 4, 2013.

16. THERE ARE NO KNOWN CEMETERIES OR BURIAL GROUNDS ON THIS SITE, HOWEVER, UPON DISCOVERY OF ANY EVIDENCE OF BURIAL OR GRAVES, THE DEVELOPER WILL BE SUBJECT TO SECTION 16.118 OF THE HOWARD COUNTY SUBDIVISION AND LAND DEVELOPMENT REGULATIONS.

17. THERE ARE NO SLOPES 15 - 24.9%, SLOPES 25% OR GREATER, WETLANDS, WETLAND BUFFERS, STREAMS, STREAMS BUFFERS AND 100-YR FLOODPLAIN WITHIN THE NET TRACT AREA.

18. THIS SDP IS SUBJECT TO THE AMENDED FIFTH EDITION OF THE SUBDIVISION AND LAND DEVELOPMENT REGULATIONS PER COUNCIL BILL NO. 45-2003 AND THE AMENDED ZONING REGULATIONS PER COUNCIL NO. 75-2003 AND THE "COMP LITE" ZONING AMENDMENTS EFFECTIVE AUGUST, 2007. DEVELOPMENT OR CONSTRUCTION ON THIS PROPERTY MUST COMPLY WITH ALL TRAFFIC AND BUFFER REGULATIONS IN EFFECT AT THE TIME OF SUBMISSION OF THE SITE DEVELOPMENT PLAN, WAIVER PETITION APPLICATION OR BUILDING/GRADING PERMIT APPLICATIONS.

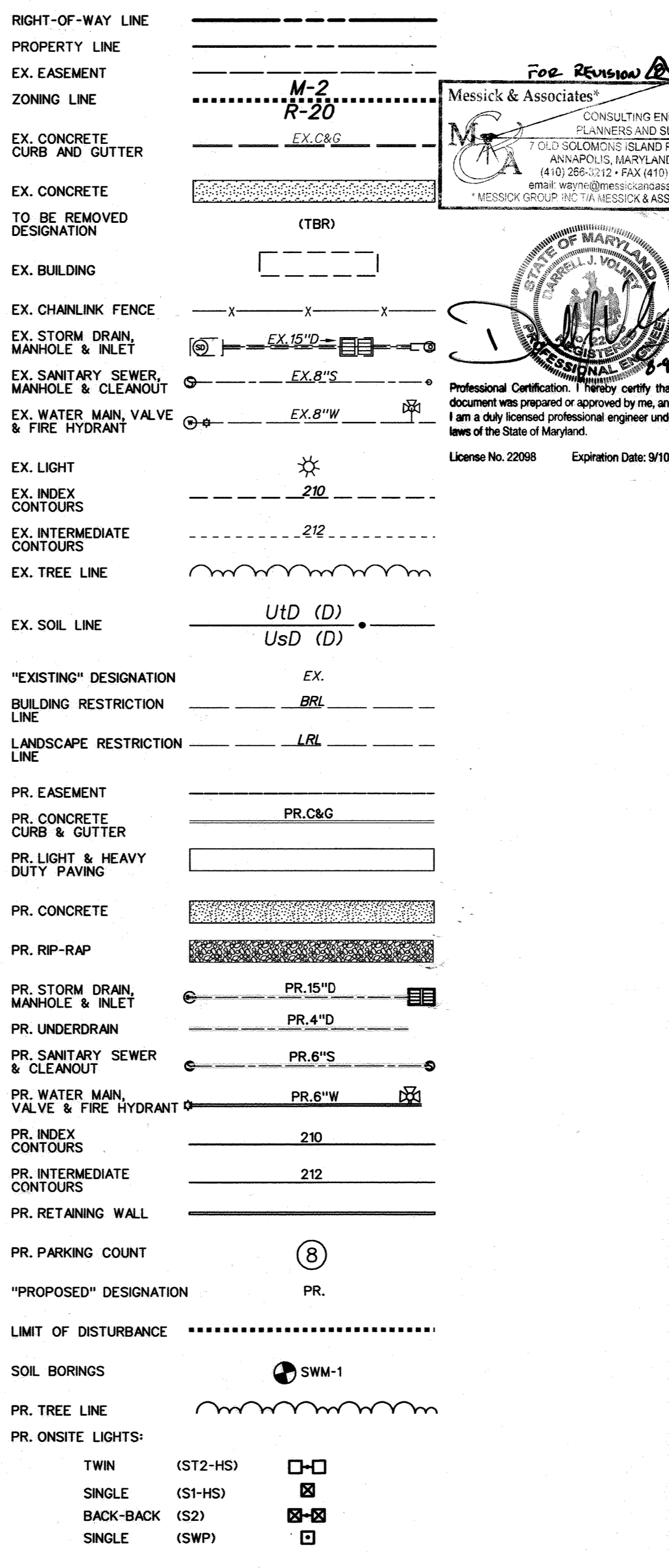
PARCEL B-1 & E-1

7901 OCEANO AVENUE & 7775 CHESAPEAKE BAY COURT JESSUP, MARYLAND 20794

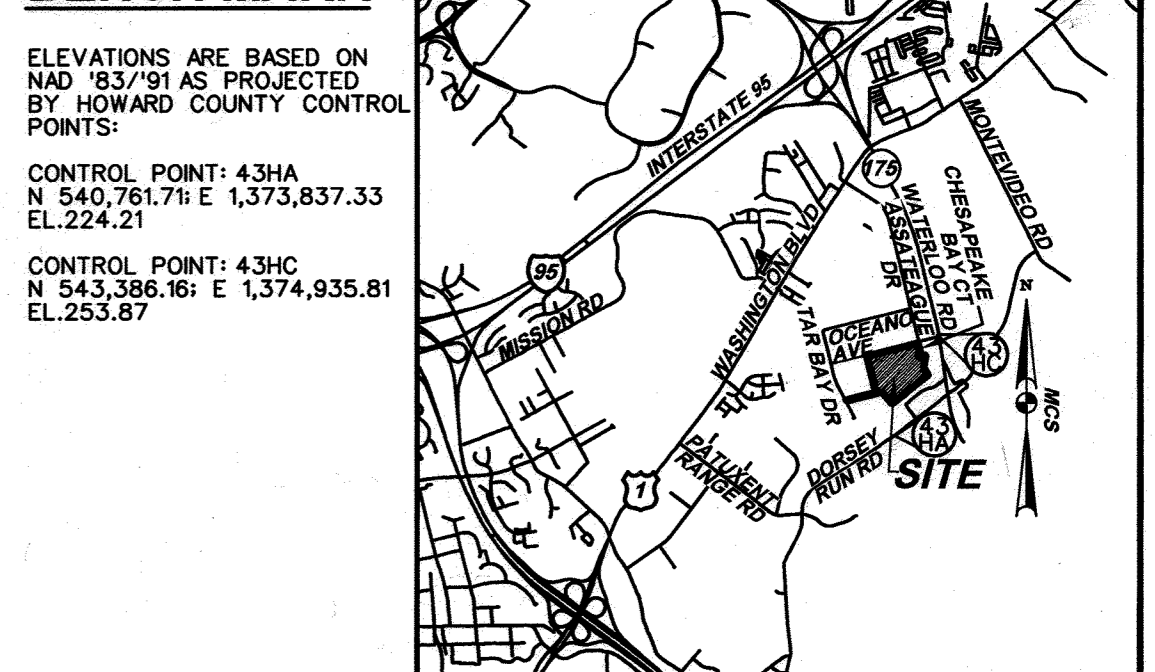
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LEGEND



BENCH MARK



ELEVATIONS ARE BASED ON NAD 83/91 AS PROJECTED BY HOWARD COUNTY CONTROL POINTS:
CONTROL POINT: 431A
N 540,761.71E 1,373,837.33
EL: 224.21
CONTROL POINT: 431C
N 543,366.16E 1,374,935.81
EL: 253.67

SITE DATA

- GENERAL SITE DATA:
 - TOTAL SITE AREA: 35.97 AC
 - PARCEL B-1: 29.54 AC
 - PARCEL E-1: 6.43 AC
- DEED REFERENCES:
 - PARCEL B: 506/782
 - PARCEL E: 06-478/939
 - PARCEL F: 06-584/318
- TAX ACCOUNT NUMBERS:
 - PARCEL B: 06-478/939
 - PARCEL E: 06-584/318
- PRESENT ZONING: M-2
- APPLICABLE OPT FILE REFERENCES:
 - F-82-120, F-83-062, F-15-027, SDP-83-188, SDP-87-001, ECP-14-004
- EXISTING USE: WAREHOUSE/OFFICE
- EXISTING IMPERVIOUS AREA: 367,492 SF OR 18.08 AC
- EXISTING WATER PUBLIC (CONTRACT #664-D)
- EXISTING SEWER PUBLIC (CONTRACT #664-D)
- MAXIMUM BUILDING HEIGHT:
 - ALLOWED: 50'
 - PROPOSED: 26'
 - HEIGHT OF 25' (SEE NOTE #2.8)
- AREA TABULATION:
 - TOTAL SITE AREA: 1,566,820 SF OR 35.969 AC
 - TOTAL DISTURBED AREA: 1,075,950 SF OR 24.70 AC
 - TOTAL IMPERVIOUS AREA: 367,492 SF OR 18.08 AC (73.2% - BASED ON LIMIT OF DISTURBANCE)
 - BUILDING COVERAGE TO OVERALL SITE: 23.9% (TOTAL BUILDING AREA - 374,321 SF OR 8.59 AC)
- PARKING SPACE DATA:
 - EXISTING BUILDINGS AS PER SDP-83-188
 - A. PARKING SPACES REQUIRED: 84
 - 69,088 SF WAREHOUSE @ 1 PS / 500 SF = 138
 - 4,300 SF RETAIL SALES @ 1 PS / 150 SF = 29
 - 17,731 SF OFFICE - 70 EMPLOYEES @ 7 PS / 10 EMPL. = 49
 - TOTAL = 216
 - RESTAURANT:
 - 12 EMPLOYEES @ 1 PS / 2 EMPLOYEES = 6
 - 84 SEATS @ 1 PS / 3 SEATS = 28
 - TOTAL = 34
 - MAINTENANCE BUILDING:
 - 10 EMPLOYEES @ 1 PS / 2 EMPLOYEES = 5
 - TOTAL PARKING SPACES REQUIRED: 255
 - B. PARKING SPACES PROVIDED: 300
 - TOTAL INCLUDES:
 - STANDARD SPACES @ 9' x 18' = 301
 - VAN ACCESSIBLE HC SPACES @ 24' x 18' = 4
 - HANDICAP SPACE @ 13' x 18' = 5
- PROPOSED BUILDINGS (ALL PROP. BLDGS ARE 1-STORY HIGH):
 - A. PARKING SPACES REQUIRED:
 - BUILDING (188,338 SF)
 - WAREHOUSE - 75,138 SF @ 0.75 PS/1,000 SF = 57 PS
 - OFFICE - 13,200 SF @ 3.3 PS/1,000 SF = 45 PS
 - BUILDING (170,000 SF)
 - WAREHOUSE - 88,900 SF @ 0.75 PS/1,000 SF = 52 PS
 - OFFICE - 1,000 SF @ 3.3 PS/1,000 SF = 4 PS
 - BUILDING (111,000 SF) EXPANSION ADDITION
 - WAREHOUSE - 103,444 SF @ 0.75 PS/1,000 SF = 124 PS
 - OFFICE - 6,456 SF @ 3.3 PS/1,000 SF = 22 PS
 - TRUCK WASH OUT (292) SF
 - NO PARKING REQUIRED
 - TOTAL PARKING SPACES REQUIRED = 304
 - B. PARKING SPACES PROVIDED: 310
 - TOTAL INCLUDES:
 - STANDARD SPACES @ 9' x 18' = 334
 - VAN ACCESSIBLE HC SPACES @ 24' x 18' (TWO SIDE BY SIDE): 7
 - HANDICAP SPACE @ 13' x 18' = 10
- THE ROAD PROCESSING FACILITY INCLUDES A WASTE MANAGEMENT PLAN WITHIN INTERIOR BUILDING STORAGE, NO DUMPSTER NEEDED.

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE
Bridgette Moore Rosman 11/17/2014
County Health Officer
Howard County Health Department

APPROVED: DEPARTMENT OF PLANNING AND ZONING
Walter Dierker 11/16/14
Chief, Development Engineering Division
Walter Dierker 11/20/14
Chief, Division of Land Development
David M. Long 11/20/14
Director

ADDRESS CHART

LOT / PARCEL NO.	STREET ADDRESS
PARCEL B-1	7901 OCEANO AVENUE
PARCEL E-1	7775 CHESAPEAKE BAY COURT
PARCEL B-1	7775 CHESAPEAKE BAY COURT (TRUCK WASH FACILITY)
FUTURE PARCEL E-1	7785 CHESAPEAKE BAY COURT

PERMIT INFORMATION CHART

SUBDIVISION NAME	SECTION / AREA	LOT / PARCEL NO.			
MARYLAND FOOD CENTER AUTHORITY	3	B-1/662 & E-1/696			
PLAT NO. OR L/F	GRID NO.	ZONING	TAX MAP NO.	ELEC. DIST.	CENSUS TRACT
26019-26021	21	M-2	43	6TH	6069.01

- IN ACCORDANCE TO THE MITIGATION PROPOSAL FOR THE MARYLAND FOOD CENTER AUTHORITY ADDRESSING THE EVENING CRITICAL LINE VOLUME DEFICIENCY AT THE US 1/MD 175 INTERSECTION, A FEE-IN-LIEU IN THE AMOUNT OF \$33,621.59 HAS BEEN POSTED.
- THIS SDP WILL BE REDLINED PRIOR TO THE RELEASE OF THE USE AND OCCUPANCY PERMIT FOR BUILDING I TO SHOW PROPOSED IMPROVEMENTS AT THE INTERSECTION OF OCEANO AVE AND CHESAPEAKE BAY COURT. THESE PUBLIC IMPROVEMENTS (SIDEWALK AND UNMARKED CROSSWALKS) ARE BASED ON THE MARKED-UP PLAN GENERATED BY THE DEVELOPMENT ENGINEERING DIVISION DATED APRIL 17, 2014.
- WP-20-002 REQUEST FOR ALTERNATIVE COMPLIANCE FROM HOWARD COUNTY SUBDIVISION AND LAND DEVELOPMENT REGULATIONS: SECTION 16.156(C)(4)(I) AND SECTION 16.156(C)(2) HAS BEEN GRANTED ON AUGUST 1, 2014.
- BUILDING 3 EXPANDED STRUCTURE SETBACK - SEE NOTE THIS SHEET.
- THE COORDINATE SYSTEM OF ALL DRAWINGS IS BASED ON THE NORTH AMERICAN DATUM OF 1983. THE ELEVATION SYSTEM OF ALL DRAWINGS IS BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988. HORIZ: NAD 83/91; VERT: NAVD 88

SOIL CLASSIFICATION		
UID	Urban Land - Udarthen's complex, 0 to 15 percent slopes	D
NOTE: THIS SOIL TYPE IS NOT HYDRIC.		



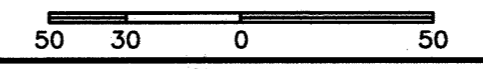
EXISTING IMPERVIOUS AREA WITHIN LOD

APPROVED: DEPARTMENT OF PLANNING AND ZONING	
<i>[Signature]</i> Chief, Development Engineering Division	11-6-14 Date
<i>[Signature]</i> Chief, Division of Land Development	11-20-14 Date
<i>[Signature]</i> Director	11-2-14 Date

ADDRESS CHART	
LOT / PARCEL NO.	STREET ADDRESS
PARCEL B-1	7901 OCEANO AVENUE
PARCEL E-1	7775 CHESAPEAKE BAY COURT

PERMIT INFORMATION CHART				
SUBDIVISION NAME	SECTION / AREA	LOT / PARCEL NO.		
MARYLAND FOOD CENTER AUTHORITY	3	B-1/662 & E-1/696		
PLAT NO. or L/F	GRID NO.	ZONING	TAX MAP NO.	ELEC. DIST.
23017-23021	21	M-2	43	6TH
				CENSUS TRACT
				6069.01

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BLDG
Baltimore Land Design Group Inc.
Consulting Engineers
230 SCHILLING CIRCLE, SUITE 364 • HUNT VALLEY, MARYLAND 21081
PHONE: 410.229.9851 • FAX: 410.229.9865 • BLDG@BLDGINC.COM



PROFESSIONAL CERTIFICATION
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 21245, EXPIRATION DATE: JUNE 9, 2016.

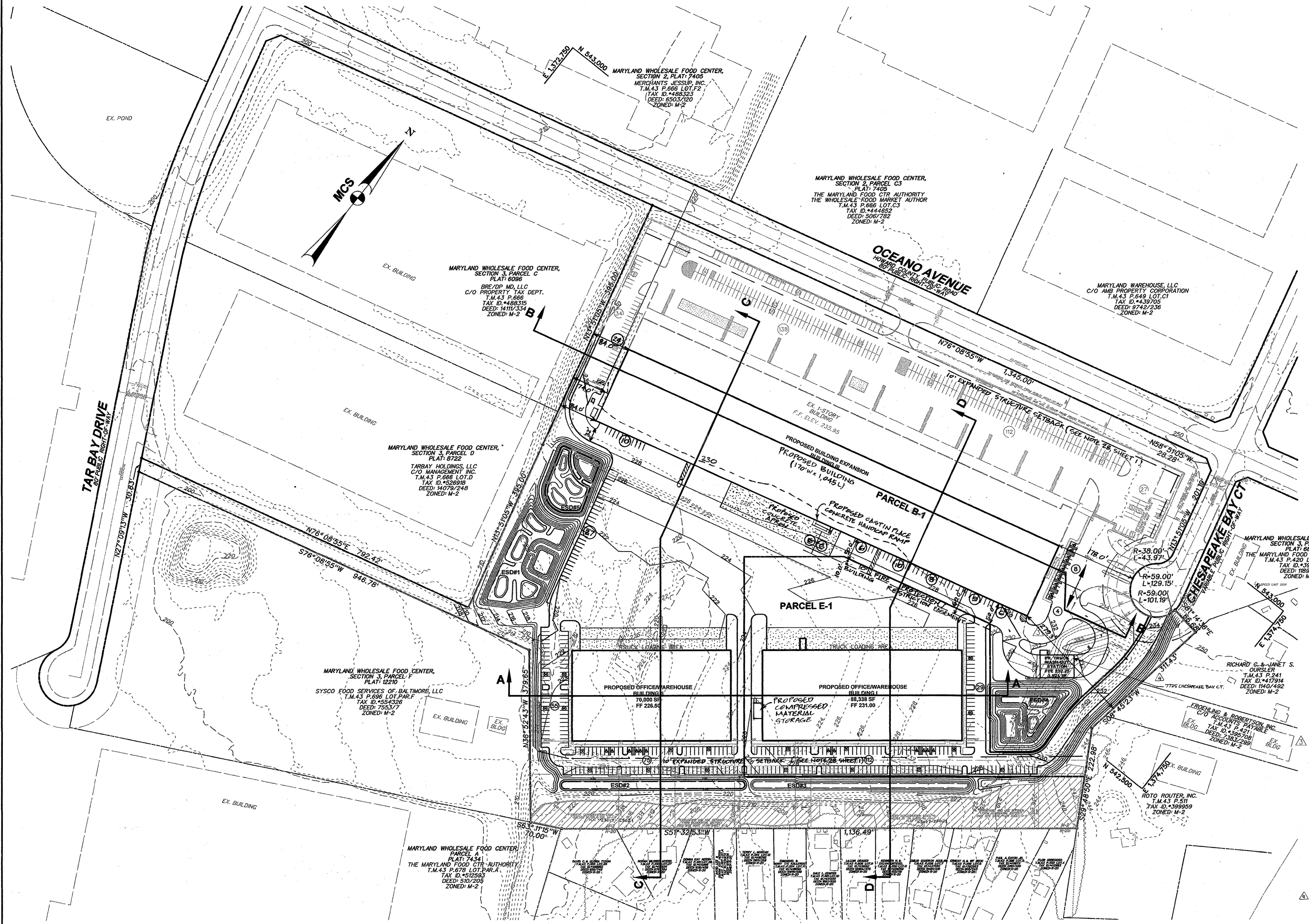
OWNER
MARYLAND FOOD CENTER AUTHORITY
7801 OCEANO AVE
JESSUP, MD 20794
PHONE (410) 379-5760
FAX (410) 379-5773

DEVELOPER / APPLICANT
MERRITT PROPERTIES, LLC
2066 LORD BALTIMORE DRIVE
BALTIMORE, MD 21244
PHONE (410) 298-2600
FAX (410) 298-9644

REVISIONS			
DATE	NO.	DESCRIPTION	BY

SOILS MAP & EXISTING CONDITION PLAN
MARYLAND FOOD CENTER AUTHORITY
PARCEL B-1 & E-1 (WAREHOUSE & OFFICE)
HOWARD COUNTY, MARYLAND
SCALE: 1" = 100'
DATE: OCTOBER, 2014

DRAWING NO.
C-2
SHEET 2 OF 83
SDP-14-068



For Revision
Messick & Associates
 CONSULTING ENGINEERS,
 PLANNERS AND SURVEYORS
 3100 SOLOMONS ISLAND RD. STE 202
 ANNAPOLIS, MARYLAND 21401
 (410) 266-3212 • FAX (410) 266-3902
 email: wayne@messickassociates.com
 *MESSICK GROUP, INC. TA MESSICK & ASSOCIATES

MORRIS & RITCHIE ASSOCIATES, INC.
 ENGINEERS, PLANNERS, SURVEYORS AND LANDSCAPE ARCHITECTS
 14200 PARK CENTER DRIVE - LAUREL, MD 20707
 (410) 792-6900 / (301) 776-1888 FAX: (410) 792-7395
 MRAGTA.COM
 COPYRIGHT 2015 MORRIS & RITCHIE ASSOCIATES
 FOR REVIEW ONLY
 MD PROFESSIONAL CERTIFICATION
 I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 29203, EXPIRATION DATE: 06/16/2017.
 License No. 22998 Expiration Date: 9/10/2022

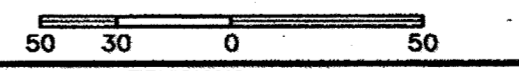
APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

<i>John E. ...</i>	12-29-15
CHIEF, DEVELOPMENT ENGINEERING DIVISION	DATE
<i>Walt ...</i>	12-31-15
CHIEF, DIVISION OF LAND DEVELOPMENT	DATE
<i>Val ...</i>	1-3-16
DIRECTOR, DEPARTMENT OF PLANNING AND ZONING	DATE

ADDRESS CHART	
LOT / PARCEL NO.	STREET ADDRESS
PARCEL B-1	7901 OCEANO AVENUE
PARCEL E-1	7775 CHESAPEAKE BAY COURT
PARCEL B-1	7725 CHESAPEAKE BAY COURT (TRUCK WASH FACILITY)

PERMIT INFORMATION CHART			
SUBDIVISION NAME	SECTION / AREA	LOT / PARCEL NO.	B-1/682 & E-1/696
MARYLAND FOOD CENTER AUTHORITY	3		
PLAT NO. or L/F	GRID NO.	ZONING	TAX MAP NO. ELEC. DIST. CENSUS TRACT
23017-23021	21	M-2	43 6TH 8088.01

THE COORDINATE SYSTEM OF ALL DRAWINGS IS BASED ON THE NORTH AMERICAN DATUM OF 1983. THE ELEVATION SYSTEM OF ALL DRAWINGS IS BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988. HORIZ: NAD 83/96; VERT: NAVD 88

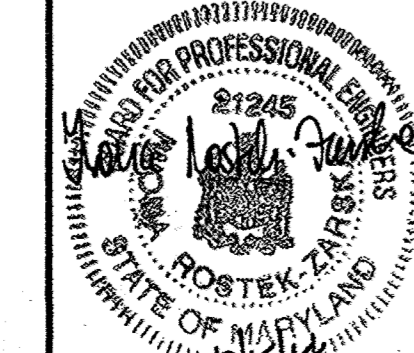


REVISIONS			
DATE	NO.	DESCRIPTION	BY
9/18/15	1	REPLACED BUILDING IV WITH TRUCK WASH-OUT STATION	MRA
10/1/2016	2	REVISED GRADE TRAP FOR TRUCK WASH-OUT STATION	MRA
8/9/21	3	REVISE BUILDING 3 FOOTPRINT & PARKING LAYOUT	M&A

REVISED SITE DEVELOPMENT PLAN
PARKING EXHIBIT AND BUILDING CROSS-SECTIONS
MARYLAND FOOD CENTER AUTHORITY
 PARCEL B-1 & E-1 (WAREHOUSE & OFFICE)

DRAWING NO.
C-3
 DATE: OCTOBER, 2014
 SHEET 3 OF 83

BLDG
 Baltimore Land Design Group Inc.
 Consulting Engineers
 230 SCHILLING CIRCLE, SUITE 304 • HUNT VALLEY, MARYLAND 21131
 PHONE: 410.229.9851 • FAX: 410.229.9865 • BLDG@BLDGINC.COM

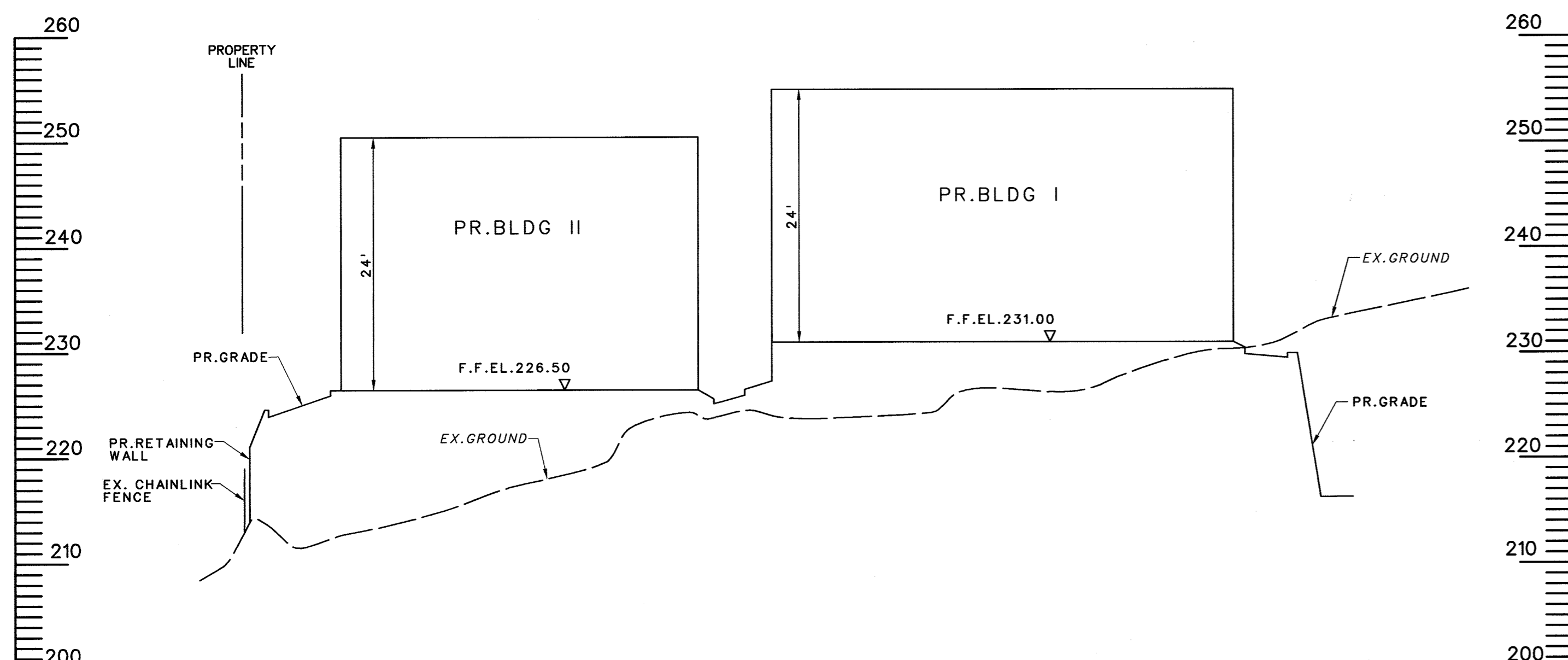


PROFESSIONAL CERTIFICATION
 I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 21245, EXPIRATION DATE: JUNE 9, 2018.

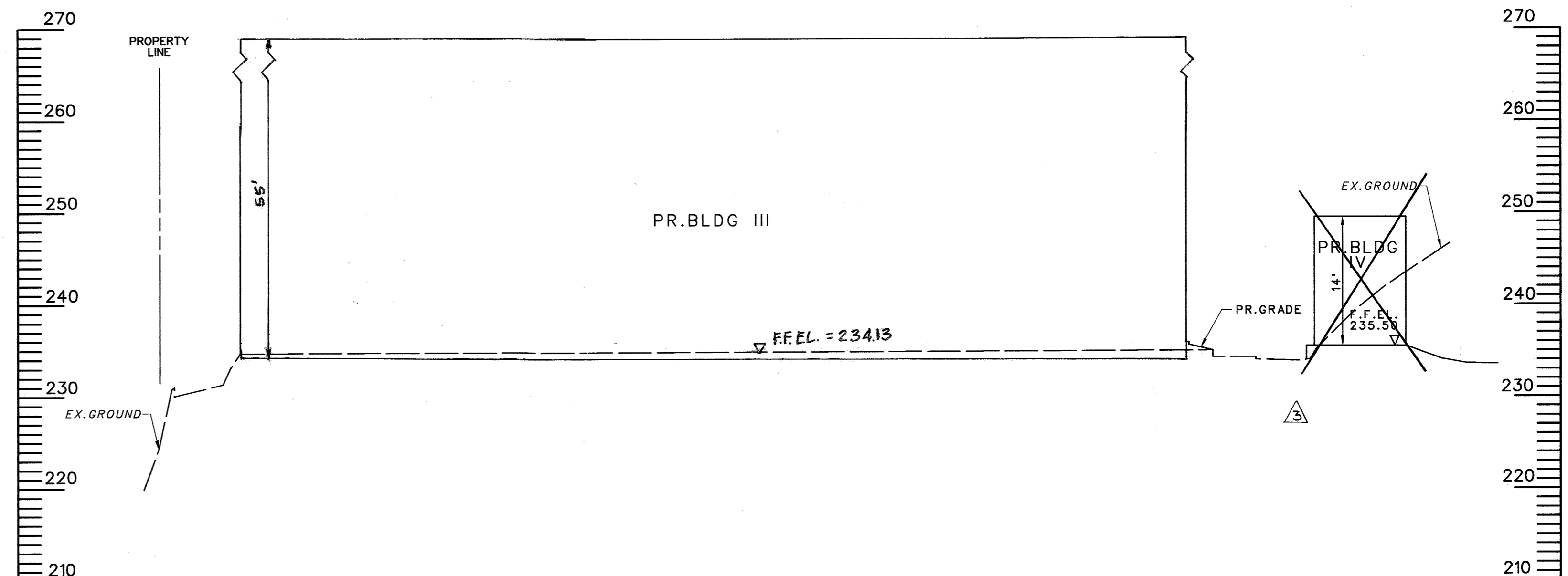
OWNER
 MARYLAND FOOD CENTER AUTHORITY
 7801 OCEANO AVE
 JESSUP, MD 20794
 PHONE (410) 379-5760
 FAX (410) 379-5773

DEVELOPER / APPLICANT
 MERRITT PROPERTIES, LLC
 2066 LORD BALTIMORE DRIVE
 BALTIMORE, MD 21244
 PHONE (410) 298-2600
 FAX (410) 298-9644

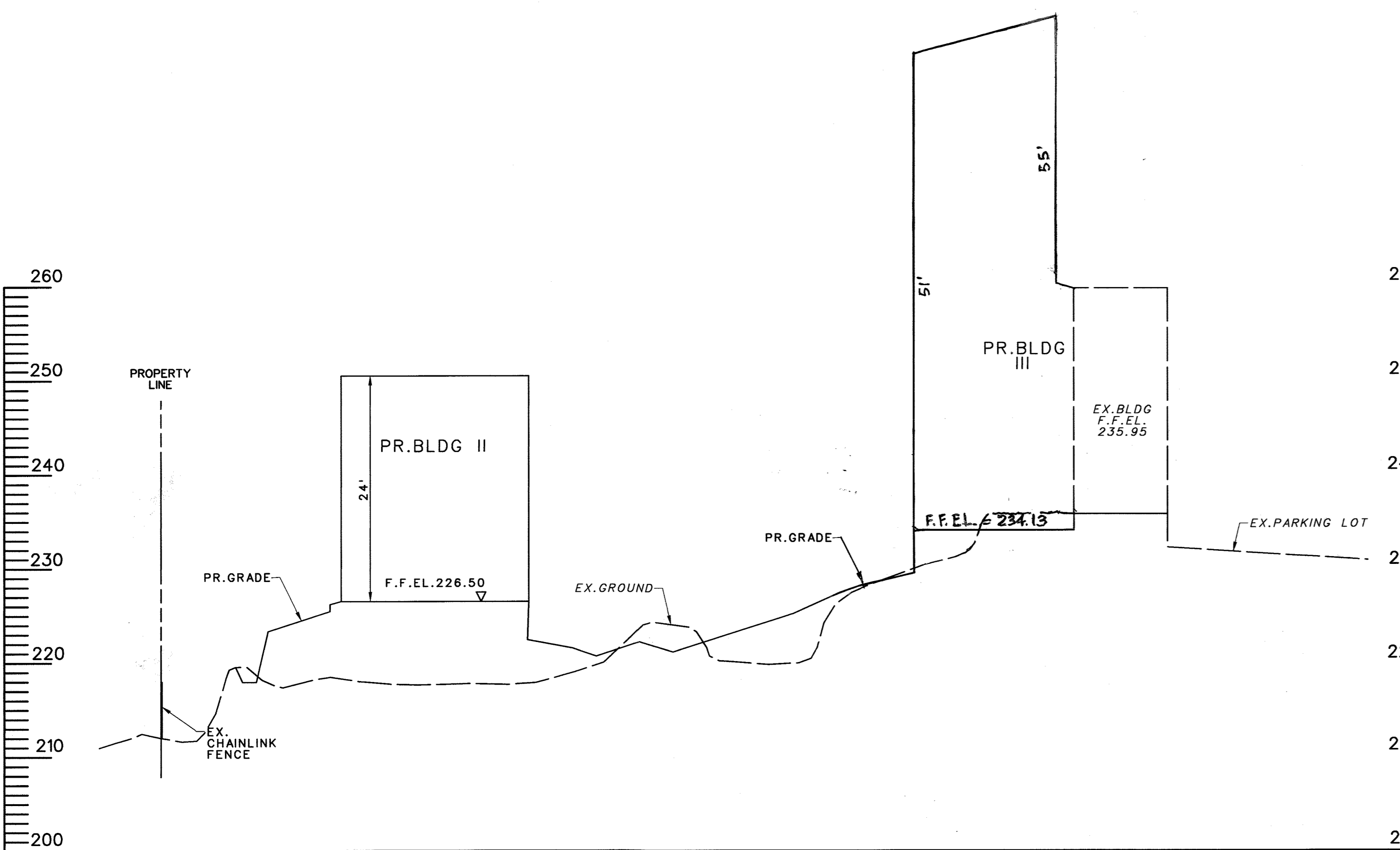
HOWARD COUNTY, MARYLAND
 SCALE: 1" = 100'



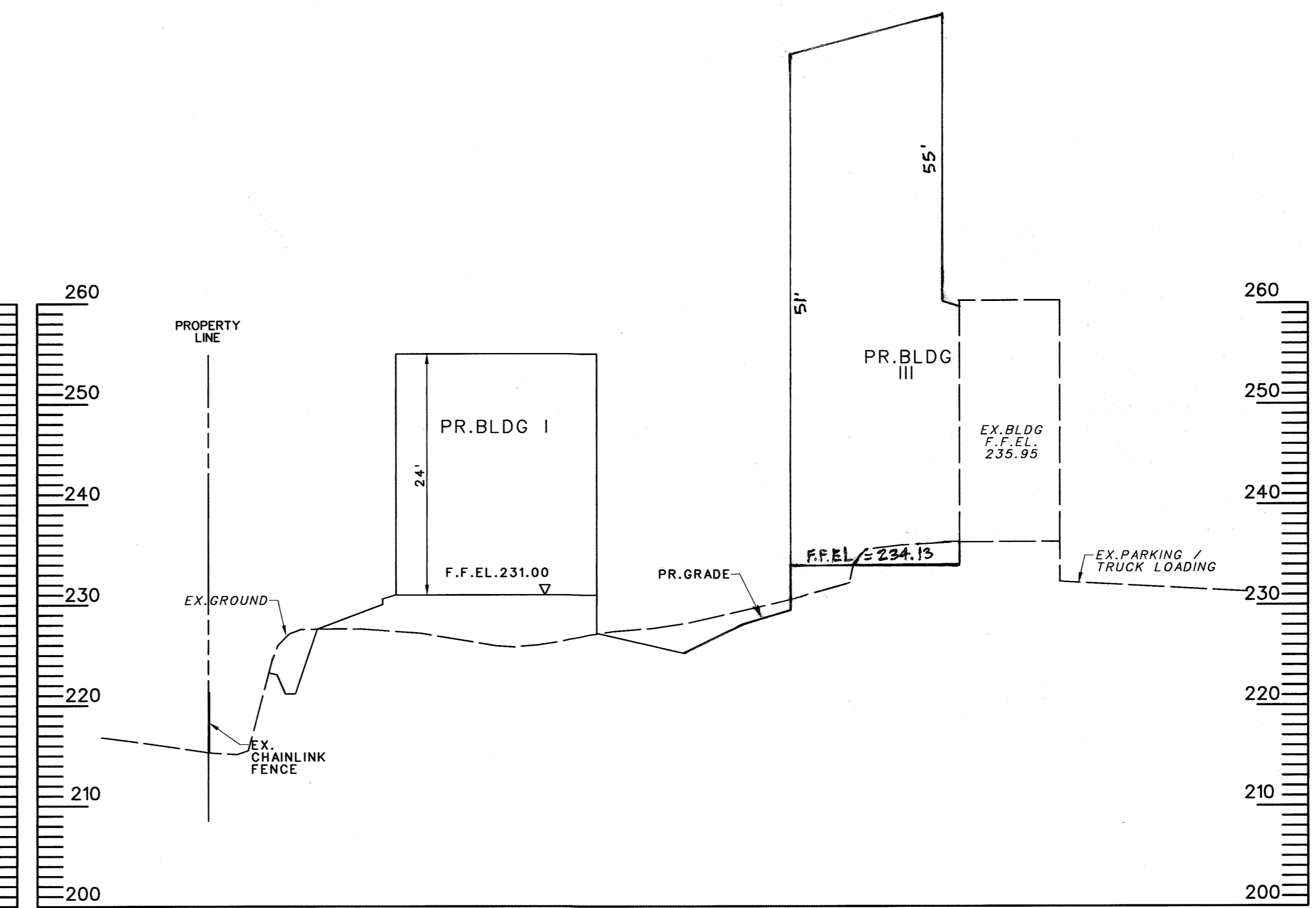
SECTION A-A
SCALE: H: 1" = 100'
V: 1" = 10'



SECTION B-B
SCALE: H: 1" = 100'
V: 1" = 10'



SECTION C-C
SCALE: H: 1" = 100'
V: 1" = 10'



SECTION D-D
SCALE: H: 1" = 100'
V: 1" = 10'

Messick & Associates*
CONSULTING ENGINEERS,
PLANNERS AND SURVEYORS
7 OLD SOLOMONS ISLAND RD, STE 202
ANNAPOLIS, MARYLAND 21401
(410) 266-3212 • FAX (410) 266-3902
email: wj@messickandassociates.com
*MESSICK GROUP, INC./TAJESSICK & ASSOCIATES

STATE OF MARYLAND
PROFESSIONAL ENGINEER
Professional Certification. I hereby certify that this document was prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland.
License No. 22706 Expiration Date: 9/10/2022

MRA MORRIS & RITCHE ASSOCIATES, INC.
ENGINEERS, PLANNERS, ARCHITECTS
AND LANDSCAPE ARCHITECTS
14300 PARK CENTER DRIVE - LAUREL, MD 20787
(410) 782-0792 / (301) 775-1880 FAX: (410) 782-7295
MORRIS & RITCHE ASSOCIATES, INC. 2015
FOR REVISION #5 ONLY
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.
LICENSE NO.: 24203 EXPIRATION DATE: 06/14/2017

APPROVED: DEPARTMENT OF PLANNING AND ZONING

[Signature] 11-6-14
Chief, Development Engineering Division Date

[Signature] 11-20-14
Chief, Division of Land Development Date

[Signature] 11/2/14
Director Date

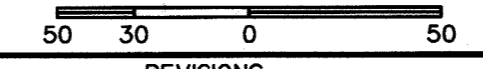
ADDRESS CHART

LOT / PARCEL NO.	STREET ADDRESS
PARCEL B-1	7901 OCEANO AVENUE
PARCEL E-1	7775 CHESAPEAKE BAY COURT

PERMIT INFORMATION CHART

SUBDIVISION NAME	SECTION / AREA	LOT / PARCEL NO.
MARYLAND FOOD CENTER AUTHORITY	3	B-1/662 & E-1/696
PLAT NO. or L/F	GRID NO.	ZONING
23017-23021	21	M-2
TAX MAP NO.	ELEC. DIST.	CENSUS TRACT
43	6TH	6069.01

THE COORDINATE SYSTEM OF ALL DRAWINGS IS BASED ON THE NORTH AMERICAN DATUM OF 1983. THE ELEVATION SYSTEM OF ALL DRAWINGS IS BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988.
HORIZ: NAD 83/91 VERT: NAVD 88



BLDG
Baltimore Land Design Group Inc.
Consulting Engineers
230 SCHILLING CIRCLE, SUITE 364 • HUNT VALLEY, MARYLAND 21031
PHONE: 410.229.9851 • FAX: 410.229.9865 • BLDG@BLDGINC.COM



PROFESSIONAL CERTIFICATION
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 21245, EXPIRATION DATE: JUNE 9, 2016.

OWNER
MARYLAND FOOD CENTER AUTHORITY
7801 OCEANO AVE
JESSUP, MD 20794
PHONE (410) 379-5760 FAX (410) 379-5773

DEVELOPER / APPLICANT
MERRITT PROPERTIES, LLC
2066 LORD BALTIMORE DRIVE
BALTIMORE, MD 21244
PHONE (410) 298-2600 FAX (410) 298-9644

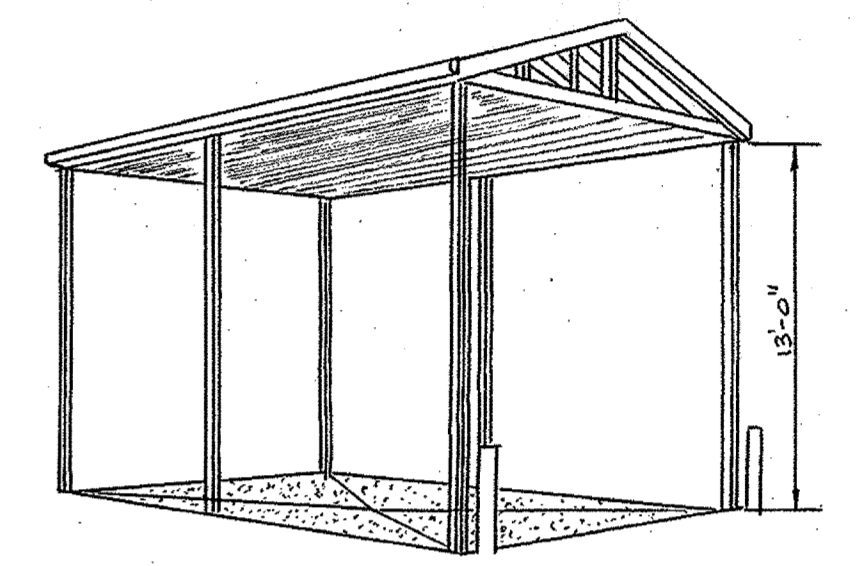
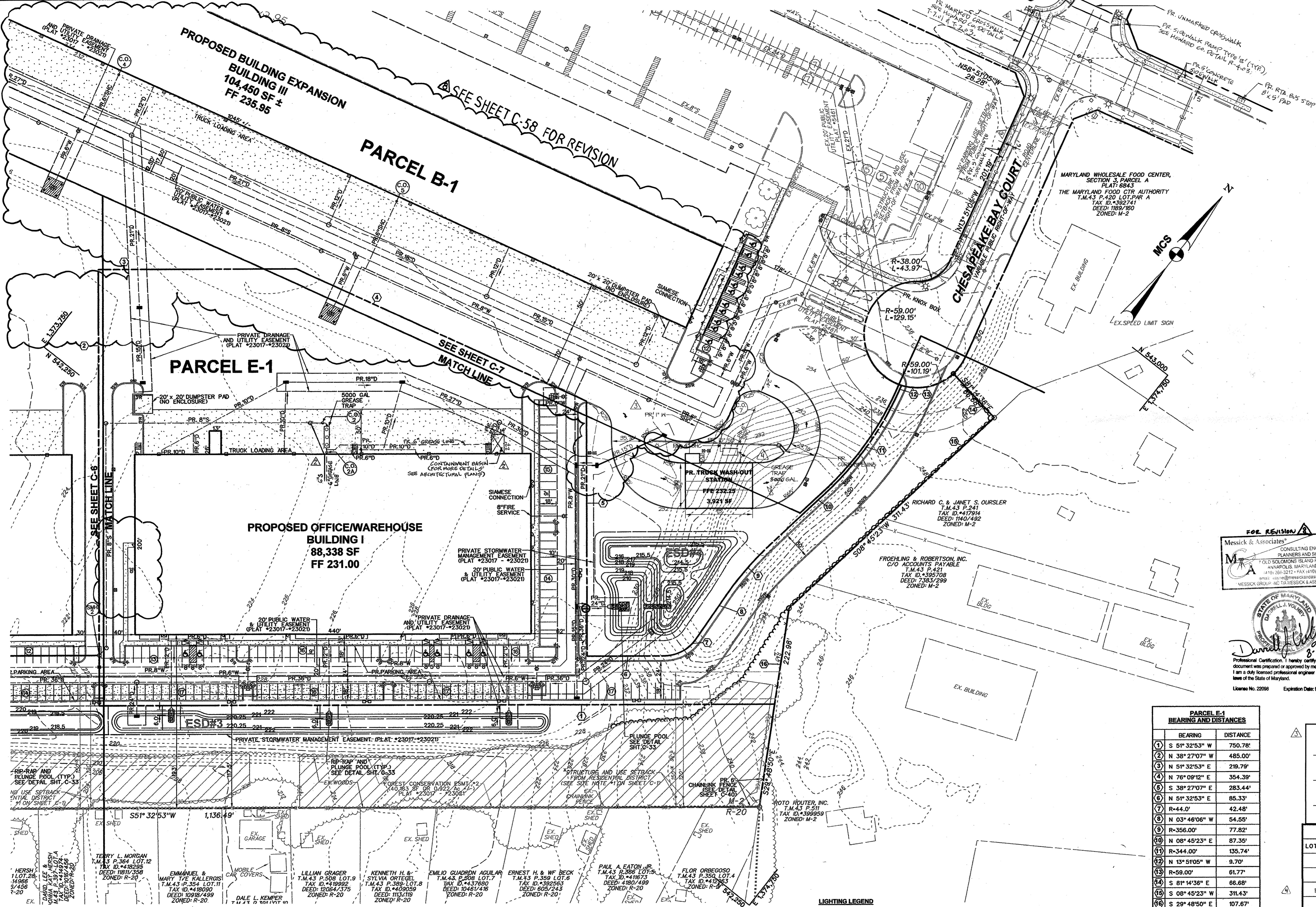
REVISIONS

DATE	NO.	DESCRIPTION	BY
9/18/15	3	REPLACED BUILDING IV WITH TRUCK WASH-OUT STATION	MRA
8/19/21	4	REVISE BUILDING 3 FOOTPRINT	MRA

REVISED SITE DEVELOPMENT PLAN
PROPOSED BUILDING CROSS SECTIONS
MARYLAND FOOD CENTER AUTHORITY
PARCEL B-1 & E-1
(WAREHOUSE & OFFICE)
HOWARD COUNTY, MARYLAND
SCALE: AS SHOWN
DATE: OCTOBER, 2014

DRAWING NO.
C-4
SHEET 4 OF 83
SDP-14-008

NOTE: PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL CONTACT THE HOWARD COUNTY TRAFFIC ENGINEERING DIVISION FOR THE COORDINATION OF SIDEWALK, CROSSWALK SIGNAGE, AND ASSOCIATED RAMPS WITHIN THE PUBLIC RIGHT-OF-WAY.
NOTE: ADVANCED SIGNAGE WILL BE REQUIRED PRIOR TO THE CROSSINGS.



CONTAINMENT BASIN (NOT TO SCALE)

Messick & Associates
CONSULTING ENGINEERS, PLANNERS AND SURVEYORS
1000 GOLDEN GATE RD. SUITE 202
ANAPOLIS, MARYLAND 21401
410.296.3212 • FAX 410.266.3502
www.messickassociates.com
MESSICK GROUP, INC. / MESSICK & ASSOCIATES

State of Maryland Seal
Professional Certification: I hereby certify that this document was prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland.
License No. 22098 Expiration Date: 9/10/2022

MORRIS & RITCHIE ASSOCIATES, INC.
ENGINEERS, PLANNERS, SURVEYORS AND LANDSCAPE ARCHITECTS
1420 PARK CENTER DRIVE - LAUREL, MD 20707
410.760.0902 / 410.760.9000 FAX: 410.760.7006
MRA.USA.COM

FOR REVISIONS ONLY F.W.4
MD PROFESSIONAL CERTIFICATION:
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NO. 29203. EXPIRATION DATE: 06/16/2017.

*DEPRESSED CURB SHALL BE 3' WIDE WITH 2" TAPERS ON EITHER SIDE

PARCEL E-1 BEARING AND DISTANCES

BEARING	DISTANCE
1) S 51° 32' 53" W	750.78'
2) N 38° 27' 07" W	485.00'
3) N 51° 32' 53" E	219.79'
4) N 76° 09' 12" E	354.39'
5) S 38° 27' 07" E	283.44'
6) N 51° 32' 53" E	85.33'
7) R-44.0'	42.48'
8) N 03° 46' 06" W	54.55'
9) R-356.00'	77.82'
10) N 08° 45' 23" E	87.35'
11) R-344.00'	135.74'
12) N 13° 51' 05" W	9.70'
13) R-59.00'	61.77'
14) S 81° 14' 36" E	66.68'
15) S 08° 45' 23" W	311.43'
16) S 29° 48' 50" E	107.67'

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

<i>[Signature]</i> CHIEF, DEVELOPMENT ENGINEERING DIVISION	12-28-15
<i>[Signature]</i> CHIEF, DIVISION OF LAND DEVELOPMENT	12-31-15
<i>[Signature]</i> DIRECTOR, DEPARTMENT OF PLANNING AND ZONING	1-3-16

ADDRESS CHART

LOT / PARCEL NO.	STREET ADDRESS
PARCEL B-1	7901 OCEANO AVENUE
PARCEL E-1	7775 CHESAPEAKE BAY COURT
PARCEL B-1	7728 CHESAPEAKE BAY COURT (TRUCK WASH FACILITY)

PERMIT INFORMATION CHART

SUBDIVISION NAME	SECTION / AREA	LOT / PARCEL NO.
MARYLAND FOOD CENTER AUTHORITY	3	B-1/662 & E-1/696
PLAT NO. OR L/F	GRID NO.	ZONING
23017-23021	21	M-2
TAX MAP NO.	ELEC. DIST.	CENSUS TRACT
43	6	6069.01

LIGHTING LEGEND

- TWIN (ST2-HS)
- SINGLE (ST1-HS)
- BACK-BACK (S2)
- SINGLE (SWP)

FOR MORE DETAILED INFORMATION, SEE SHEETS C-41, C-53, C-54 AND C-55.

REVISIONS

DATE	NO.	DESCRIPTION	BY
12/01/14	1	ADDED DOORS, SIDEWALK AND ROOF DRAINS.	BLDG
05/01/15	2	RELOCATED HANDICAP SPACES AND PRIVATE SEWER LINE FOR BUILDING I.	BLDG
9/18/15	3	ADDITION OF A CONTAINMENT BASIN AND RE-ALIGNING PRIVATE GREASE TRAP.	BLDG
9/18/15	4	REPLACED BUILDING IV WITH TRUCK WASH-OUT STATION.	MRA
01/1/2016	5	REVISED GREASE TRAP FOR TRUCK WASH-OUT STATION.	MRA
01/1/2016	6	REVISED PRIVATE AND CURB MARKETS FOR INTERSECTION OF SEWERS AVE AND CURB PARALLEL TO THIS INTERSECTION.	BLDG

THE COORDINATE SYSTEM OF ALL DRAWINGS IS BASED ON THE NORTH AMERICAN DATUM OF 1983. THE ELEVATION SYSTEM OF ALL DRAWINGS IS BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1985.
HORIZ: NAD 83/791; VERT: NAVD 88

BLDG
Baltimore Land Design Group Inc.
Consulting Engineers
230 SCHILLING CIRCLE, SUITE 364 • HUNT VALLEY, MARYLAND 21031
PHONE: 410.229.9851 • FAX: 410.229.9865 • BLDG@BLDGINC.COM

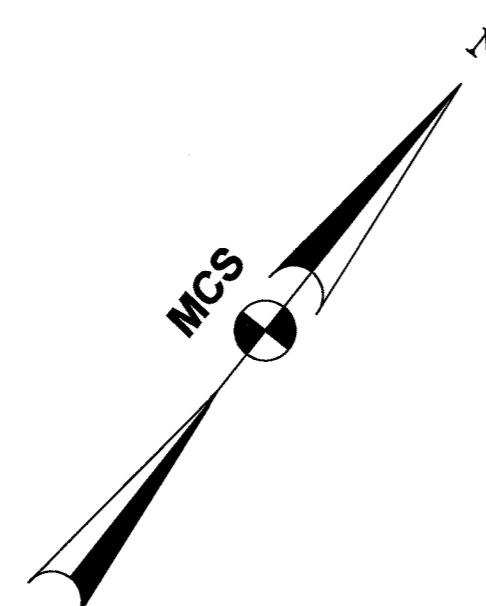
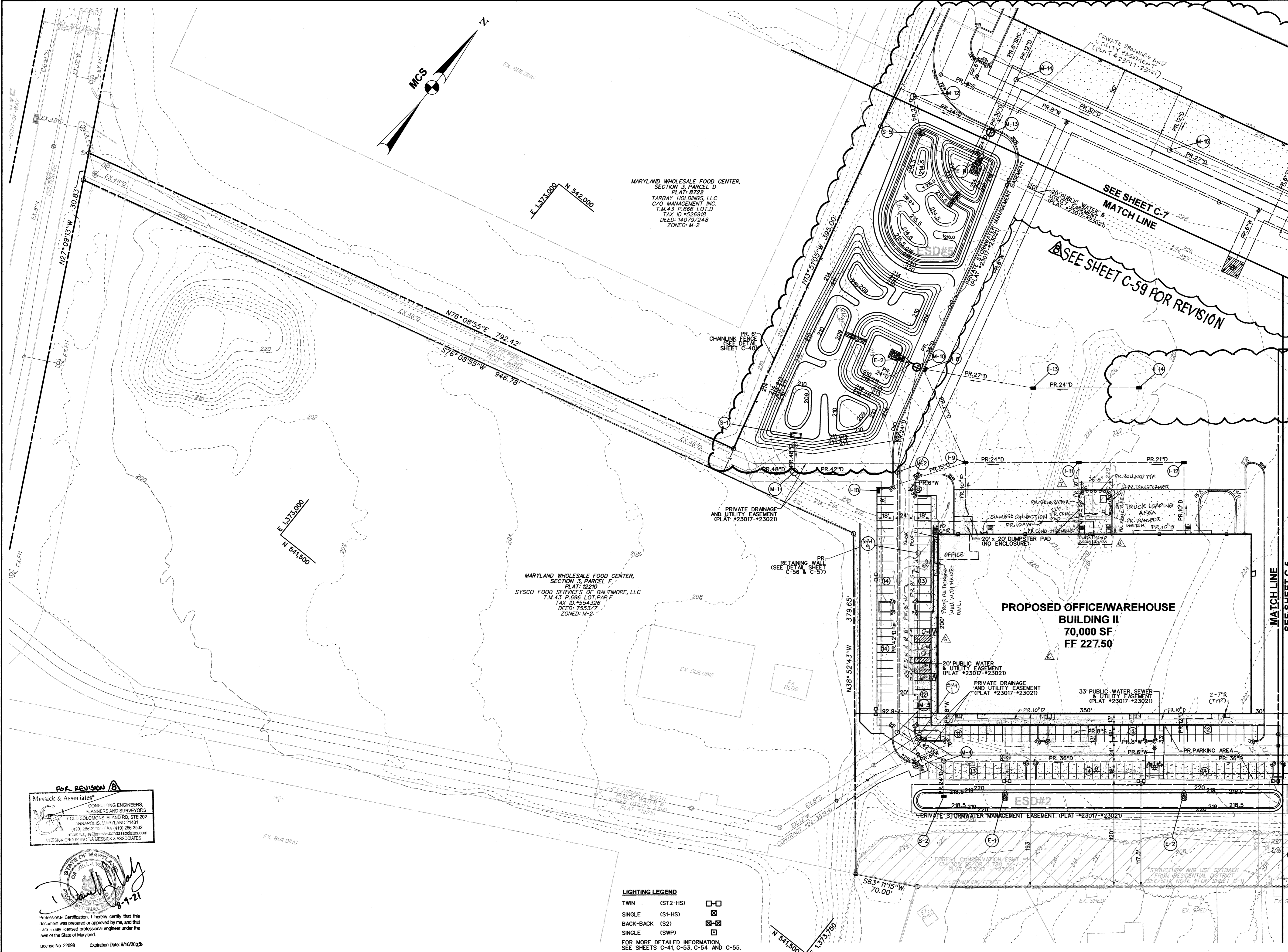
PROFESSIONAL CERTIFICATION
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 21245, EXPIRATION DATE: JUNE 9, 2016.

OWNER
MARYLAND FOOD CENTER AUTHORITY
7801 OCEANO AVE
JESSUP, MD 20794
PHONE (410) 379-5760
FAX (410) 379-5773

DEVELOPER / APPLICANT
MERRITT PROPERTIES, LLC
2066 LORD BALTIMORE DRIVE
BALTIMORE, MD 21244
PHONE (410) 298-2600
FAX (410) 298-9644

REVISED SITE PLAN
PLAN VIEW I
MARYLAND FOOD CENTER AUTHORITY
PARCEL B-1 & E-1 (WAREHOUSE & OFFICE)
HOWARD COUNTY, MARYLAND
SCALE: 1" = 50'
DATE: DECEMBER, 2014

DRAWING NO. C-5
SHEET 5 OF 83
SDP-14-068



MARYLAND WHOLESALE FOOD CENTER,
SECTION 3, PARCEL D
PLAT: 8722
TARBAY HOLDINGS, LLC
C/O MANAGEMENT INC.
T.M.43 P.696 LOT.D
TAX ID.#526918
DEED: 14079/248
ZONED: M-2

MARYLAND WHOLESALE FOOD CENTER,
SECTION 3, PARCEL F,
PLAT: 12210
SYSCO FOOD SERVICES OF BALTIMORE, LLC
T.M.43 P.696 LOT.PAR.F
TAX ID.#554326
DEED: 7553/77
ZONED: M-2

LIGHTING LEGEND
TWIN (S12-HS) □-□
SINGLE (S1-HS) □
BACK-BACK (S2) □-□
SINGLE (SWP) □
FOR MORE DETAILED INFORMATION,
SEE SHEETS C-41, C-53, C-54 AND C-55.

For REVISION
Messick & Associates
CONSULTING ENGINEERS,
PLANNERS AND SURVEYORS
7 OLD SOLOMONS ISLAND RD STE 202
ANNAPOLIS, MARYLAND 21401
(410) 266-3212 FAX (410) 266-3502
www.messickandassociates.com
MESSICK GROUP, INC. TA MESSICK & ASSOCIATES

Professional Certification. I hereby certify that this document was prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland.
License No. 22098 Expiration Date: 9/10/2023

APPROVED: DEPARTMENT OF PLANNING AND ZONING
Chief, Development Engineering Division 11-6-14
Date
Chief, Division of Land Development 11-20-14
Date
Director 11/2/14
Date

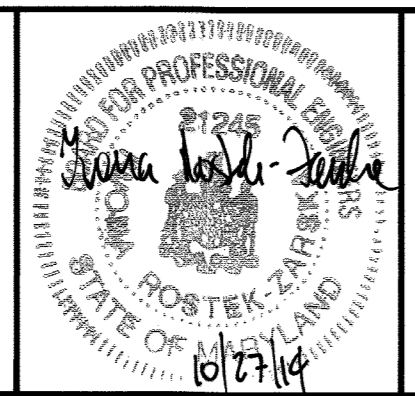
ADDRESS CHART

LOT / PARCEL NO.	STREET ADDRESS
PARCEL B-1	7901 OCEANO AVENUE
PARCEL E-1	7775 CHESAPEAKE BAY COURT

PERMIT INFORMATION CHART

SUBDIVISION NAME	SECTION / AREA	LOT / PARCEL NO.
MARYLAND FOOD CENTER AUTHORITY	3	B-1/662 & E-1/696
PLAT No. or L/F	GRID NO.	ZONING
23017-23021	21	M-2
TAX MAP NO.	ELEC. DIST.	CENSUS TRACT
43	6TH	8069.01

BLDG
Baltimore Land Design Group Inc.
Consulting Engineers
230 SCHILLING CIRCLE, SUITE 364 • HUNT VALLEY, MARYLAND 21031
PHONE: 410.229.9851 • FAX: 410.229.9865 • BLDG@BLDGINC.COM



PROFESSIONAL CERTIFICATION
HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 21245, EXPIRATION DATE: JUNE 9, 2016.

OWNER
MARYLAND FOOD CENTER AUTHORITY
7801 OCEANO AVE
JESSUP, MD 20794
PHONE (410) 379-5760
FAX (410) 379-5773

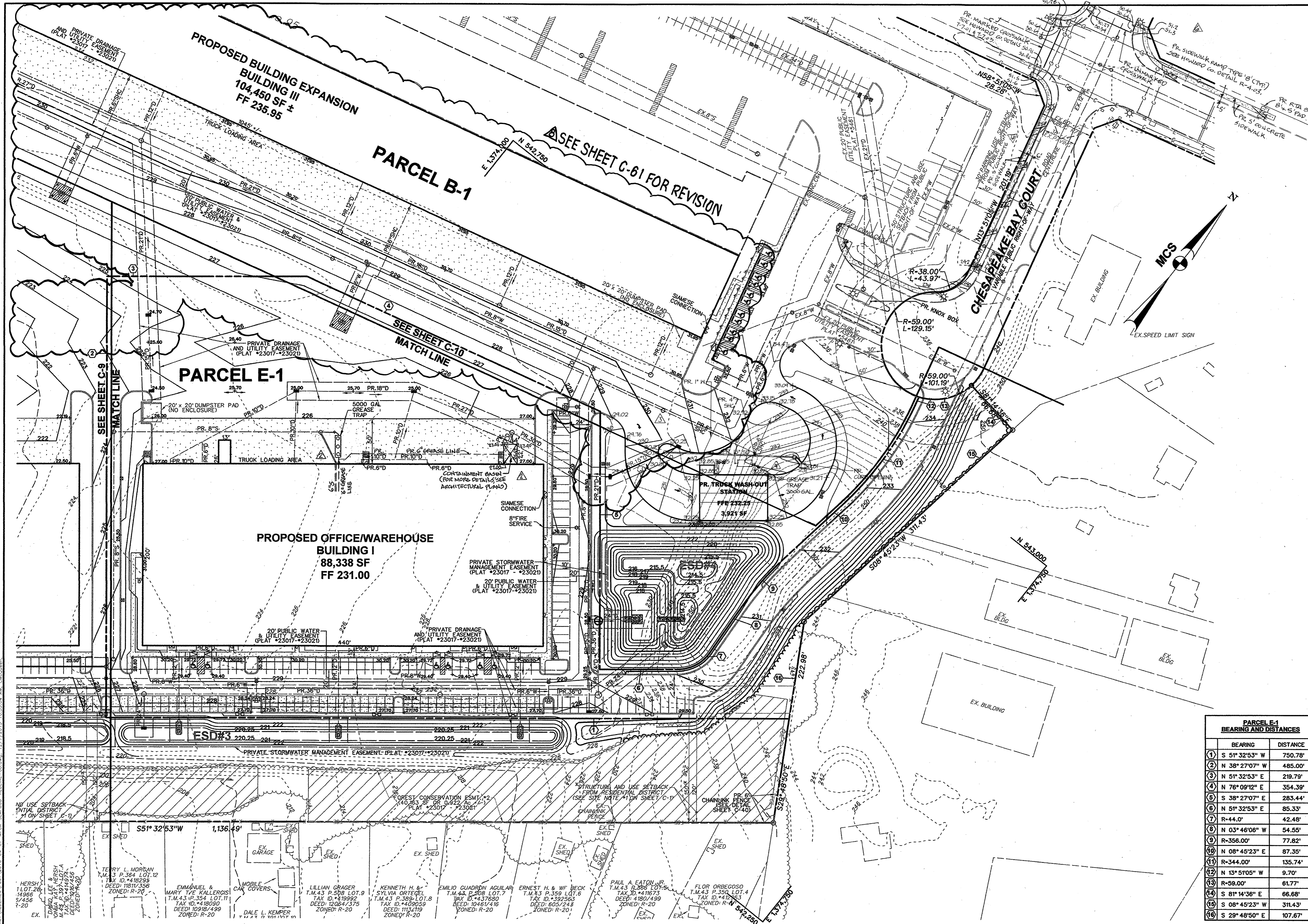
DEVELOPER / APPLICANT
MERRITT PROPERTIES, LLC
2066 LORD BALTIMORE DRIVE
BALTIMORE, MD 21244
PHONE (410) 298-2600
FAX (410) 298-9644

REVISIONS

DATE	NO.	DESCRIPTION	BY
11/2/2014	1	REVISED FLOOR ELEVATION, HANDICAP SPACES AND UTILITY CONNECTIONS FOR BUILDING	BLDG
11/18/2014	2	REVISIONS FOR TRANSFORMER, GENERATOR AND TRANSFER SWITCH	BLDG
8/19/21	3	REVISED PUMP, WATER, STORMWATER AND SEWER	M&A

SITE PLAN
PLAN VIEW II
MARYLAND FOOD CENTER AUTHORITY
PARCEL B-1 & E-1
(WAREHOUSE & OFFICE)
HOWARD COUNTY, MARYLAND
SCALE: 1" = 50'
DATE: OCTOBER, 2014

DRAWING NO.
C-6
SHEET 6 OF 83
SDP-14-068



NOTE:
PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL CONTACT THE HOWARD COUNTY TRAFFIC ENGINEER DIVISION FOR THE COORDINATION OF SIDEWALK, CROSSWALK SIGNAGE, AND ASSOCIATED RAMPS WITHIN THE PUBLIC RIGHT-OF-WAY.
NOTE:
ADVANCED SIGNAGE WILL BE REQUIRED PRIOR TO THE CROSSINGS.

For REVISION
Messick & Associates
CONSULTING ENGINEERS, PLANNERS AND SURVEYORS
1000 SOLICITORS ISLAND RD. STE 202
ANNAPOLIS, MARYLAND 21403
PHONE: (410) 298-3902
FAX: (410) 298-3902
WWW.MESSICKANDASSOCIATES.COM
*MESSICK GROUP AND FA. MESSICK & ASSOCIATES

Professional Certification. I hereby certify that this document was prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland.
License No. 22098 Expiration Date: 9/10/2021

*DEPRESSED CURB SHALL BE 3" WIDE WITH 2" TAPERS ON EITHER SIDE

MORRIS & RITCHIE ASSOCIATES, INC.
ENGINEERS, PLANNERS, SURVEYORS AND LANDSCAPE ARCHITECTS
1420 PARK CENTER DRIVE, LAUREL, MD 20707
(410) 792-9792 / (301) 775-1999 FAX: (410) 792-7385
WWW.MORRISRITCHIE.COM
COPYRIGHT 2015 MORRIS & RITCHIE ASSOCIATES
FOR REVISION #3 ONLY 12-7-15
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NO. 29203, EXPIRATION DATE: 06/18/2017.

PARCEL E-1 BEARING AND DISTANCES	
BEARING	DISTANCE
① S 51° 32' 53" W	750.78'
② N 38° 27' 07" W	485.00'
③ N 51° 32' 53" E	219.79'
④ N 76° 09' 12" E	354.39'
⑤ S 38° 27' 07" E	283.44'
⑥ N 51° 32' 53" E	85.33'
⑦ R=44.0'	42.48'
⑧ R=356.00'	77.82'
⑨ N 03° 46' 06" W	54.55'
⑩ N 08° 45' 23" E	87.35'
⑪ R=344.00'	135.74'
⑫ N 13° 51' 05" W	9.70'
⑬ R=59.00'	61.77'
⑭ S 81° 14' 36" E	66.68'
⑮ S 08° 45' 23" W	314.43'
⑯ S 29° 48' 50" E	107.67'

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

 CHIEF, DEVELOPMENT ENGINEERING DIVISION **12-29-15** DATE

 CHIEF, DIVISION OF LAND DEVELOPMENT **12-29-15** DATE

 DIRECTOR, DEPARTMENT OF PLANNING AND ZONING **1-3-16** DATE

ADDRESS CHART	
LOT / PARCEL NO.	STREET ADDRESS
PARCEL B-1	7901 OCEANO AVENUE
PARCEL E-1	7775 CHESAPEAKE BAY COURT
PARCEL B-1	7725 CHESAPEAKE BAY COURT (TRUCK WASH FACILITY)

PERMIT INFORMATION CHART			
SUBDIVISION NAME	SECTION / AREA	LOT / PARCEL NO.	
MARYLAND FOOD CENTER AUTHORITY	3	B-1/662 & E-1/696	
PLAT NO. or L/F	GRID NO.	ZONING	TAX MAP NO.
23017-23021	21	M-2	43
			ELEC. DIST.
			6TH
			CENSUS TRACT
			6069.01

DATE	NO.	DESCRIPTION	BY
8/9/14	1	REVISE BUILDING FOOTPRINT, WATER & SEWER DRAIN (SEE SHEET C-6)	BLDG
09/01/15	2	ADDITION OF A CONTAINMENT BASIN AND RE-ALIGNING PRIVATE GREASE TRAP	BLDG
9/18/15	3	REPLACED BUILDING IV WITH TRUCK WASH-OUT STATION	MRA
10/1/2016	4	REVISED GREASE TRAP FOR TRUCK WASH-OUT STATION	MEA
11/2/2016	5	REVISED SIDEWALK AND CROSSWALKS AT THE INTERSECTION OF CHESAPEAKE BAY COURT AND E 1374 1/2 ST	BLDG

THE COORDINATE SYSTEM OF ALL DRAWINGS IS BASED ON THE NORTH AMERICAN DATUM OF 1983. THE ELEVATION SYSTEM OF ALL DRAWINGS IS BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988.
 HORIZ: NAD 83/94; VERT: NAVD 88

REVISOR SITE DEVELOPMENT PLAN
GRADING PLAN
 PLAN VIEW I
MARYLAND FOOD CENTER AUTHORITY
 PARCEL B-1 & E-1
 (WAREHOUSE & OFFICE)
 HOWARD COUNTY, MARYLAND
 SCALE: 1" = 50'
 DATE: DECEMBER, 2014
 DRAWING NO. **C-8**
 SHEET 8 OF 83
 SDP-14-068

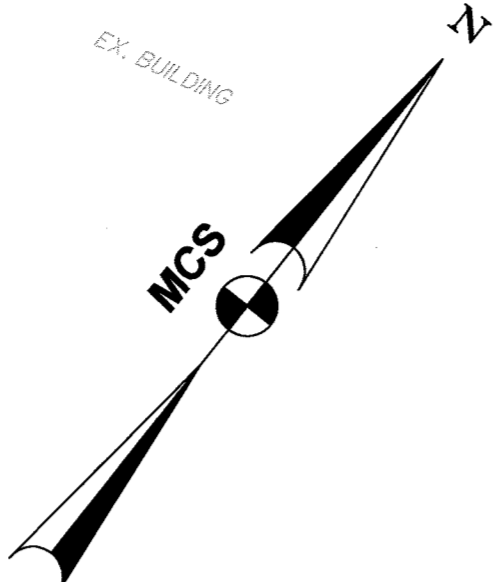
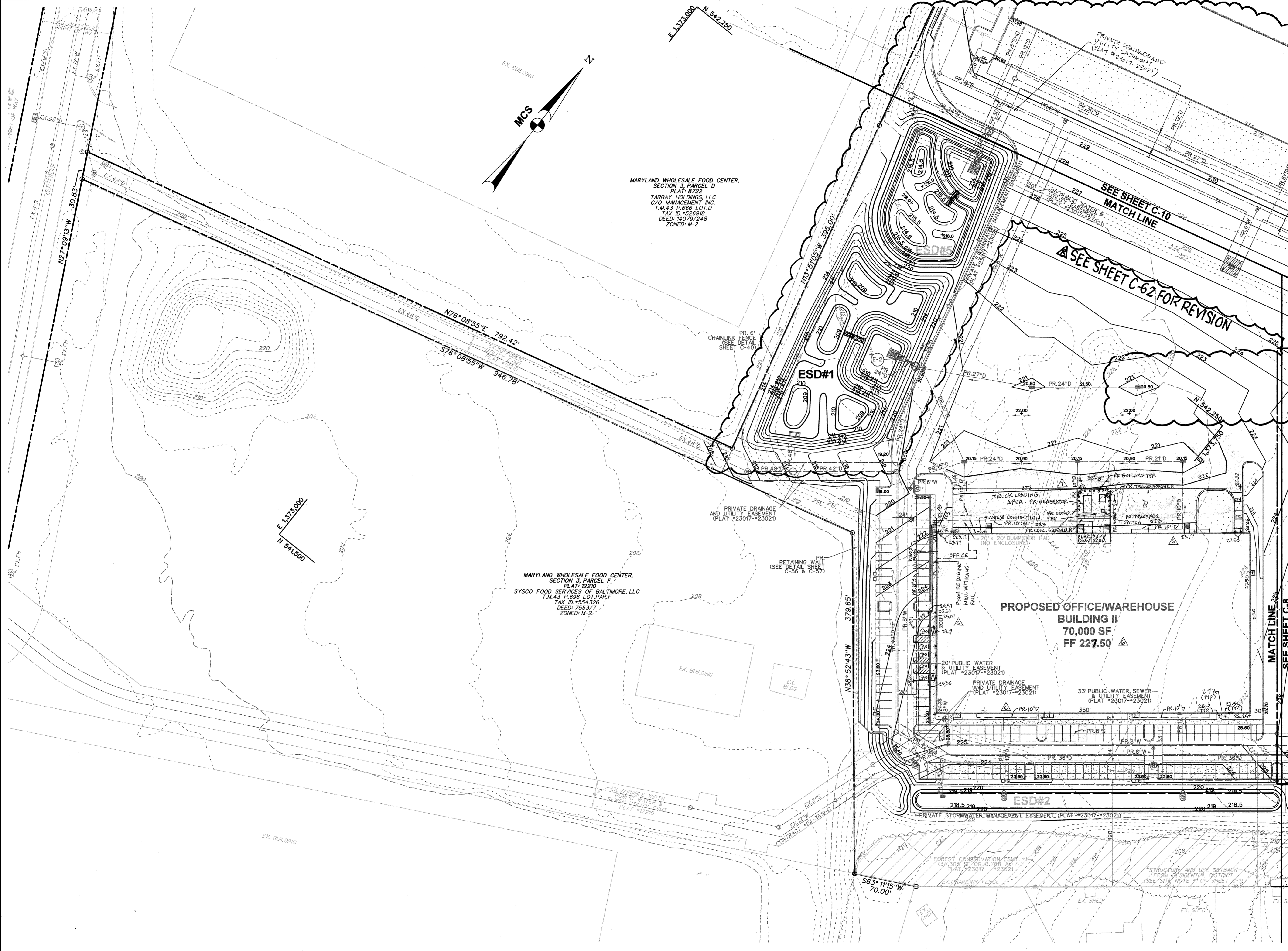
BLDG
 Baltimore Land Design Group Inc.
 Consulting Engineers
 230 SCHILLING CIRCLE, SUITE 364 • HUNT VALLEY, MARYLAND 21031
 PHONE: 410.229.9851 • FAX: 410.229.9865 • BLDG@BLDGINC.COM



PROFESSIONAL CERTIFICATION
 I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 21245, EXPIRATION DATE: JUNE 9, 2016.

OWNER
 MARYLAND FOOD CENTER AUTHORITY
 7801 OCEANO AVE
 JESSUP, MD 20794
 PHONE (410) 379-5780
 FAX (410) 379-5773

DEVELOPER / APPLICANT
 MERRITT PROPERTIES, LLC
 2066 LORD BALTIMORE DRIVE
 BALTIMORE, MD 21244
 PHONE (410) 298-2600
 FAX (410) 298-9644



MARYLAND WHOLESALE FOOD CENTER,
SECTION 3, PARCEL D
PLAT: 8722
TARBAY HOLDINGS, LLC
C/O MANAGEMENT INC.
T.M.43 P.666 LOT D
TAX ID: 526918
DEED: 14079/248
ZONED: M-2

MARYLAND WHOLESALE FOOD CENTER,
SECTION 3, PARCEL F
PLAT: 12210
SYSCO FOOD SERVICES OF BALTIMORE, LLC
T.M.43 P.666 LOT PAR.F
TAX ID: 554326
DEED: 755377
ZONED: M-2

For Revision
Messick & Associates
CONSULTING ENGINEERS,
PLANNERS AND SURVEYORS
10050 JONES ISLAND RD STE 202
BALTIMORE, MARYLAND 21451
TEL: 410-252-5212 FAX: 410-252-3002
WWW.MESSICKANDASSOCIATES.COM
*MESSICK GROUP AND *ASSOCIATES

Professional Certification. I hereby certify that this document was prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland.
License No. 22098 Expiration Date: 9/10/20 22-

THE COORDINATE SYSTEM OF ALL DRAWINGS IS BASED ON THE NORTH AMERICAN DATUM OF 1983. THE ELEVATION SYSTEM OF ALL DRAWINGS IS BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988.
HORZ: NAD 83/91 VERT: NAVD 88

APPROVED: DEPARTMENT OF PLANNING AND ZONING

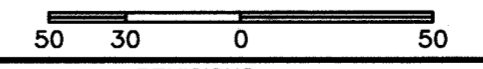
<i>Chad Coker</i> Chief, Development Engineering Division	11/6/14 Date
<i>Kevin L. ...</i> Chief, Division of Land Development	11-20-14 Date
<i>David McCoy</i> Director	11/24/14 Date

ADDRESS CHART

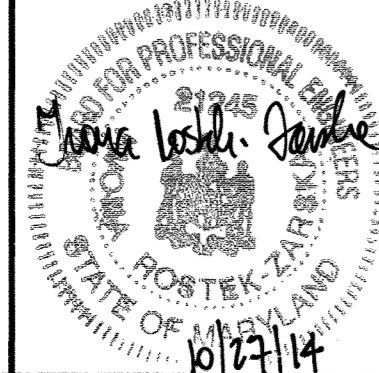
LOT / PARCEL NO.	STREET ADDRESS
PARCEL B-1	7901 OCEANO AVENUE
PARCEL E-1	7775 CHESAPEAKE BAY COURT

PERMIT INFORMATION CHART

SUBDIVISION NAME MARYLAND FOOD CENTER AUTHORITY	SECTION / AREA 3	LOT / PARCEL NO. B-1/662 & E-1/696
PLAT NO. or L/F 23017-23021	GRID NO. 21	ZONING M-2
TAX MAP NO. 43	ELEC. DIST. 6TH	CENSUS TRACT 6069.01



BLDG
Baltimore Land Design Group Inc.
Consulting Engineers
230 SCHILLING CIRCLE, SUITE 364 • HUNT VALLEY, MARYLAND 21081
PHONE: 410.229.9851 • FAX: 410.229.9865 • BLDG@BLDGINC.COM



PROFESSIONAL CERTIFICATION
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OWNER
MARYLAND FOOD CENTER AUTHORITY
7801 OCEANO AVE
JESSUP, MD 20794
PHONE (410) 379-5760
FAX (410) 379-5773

DEVELOPER / APPLICANT
MERRITT PROPERTIES, LLC
2066 LORD BALTIMORE DRIVE
BALTIMORE, MD 21244
PHONE (410) 298-2600
FAX (410) 298-9644

REVISIONS

DATE	NO.	DESCRIPTION	BY
11/12/2014	1	REVISED PER CITY ENGINEER COMMENTS AND UTILITY EASEMENTS FOR BUILDING II	BLDG
11/18/2014	2	REVISED PER CITY ENGINEER COMMENTS FOR TRANSFORMER, GENERATOR AND TRANSFER SWITCH	BLDG
01/21/15	3	REVISE BUILDING 2 FOOTPRINT, WATER, STORM DRAIN (SEE SHEET C-10)	MFA

GRADING PLAN
PLAN VIEW II
MARYLAND FOOD CENTER AUTHORITY
PARCEL B-1 & E-1
(WAREHOUSE & OFFICE)
HOWARD COUNTY, MARYLAND
SCALE: 1" = 50'
DATE: OCTOBER, 2014

DRAWING NO.
C-9
SHEET 9 OF 83
SDP-14-068

MARYLAND WHOLESALE FOOD CENTER,
SECTION 2, PARCEL C3
PLAT: 7405
THE MARYLAND FOOD CTR AUTHORITY
THE WHOLESALE FOOD MARKET AUTHORITY
T.M. 43 P. 666, LOT C3
TAX ID: 444652
DEED: 506/782
ZONED: M-2

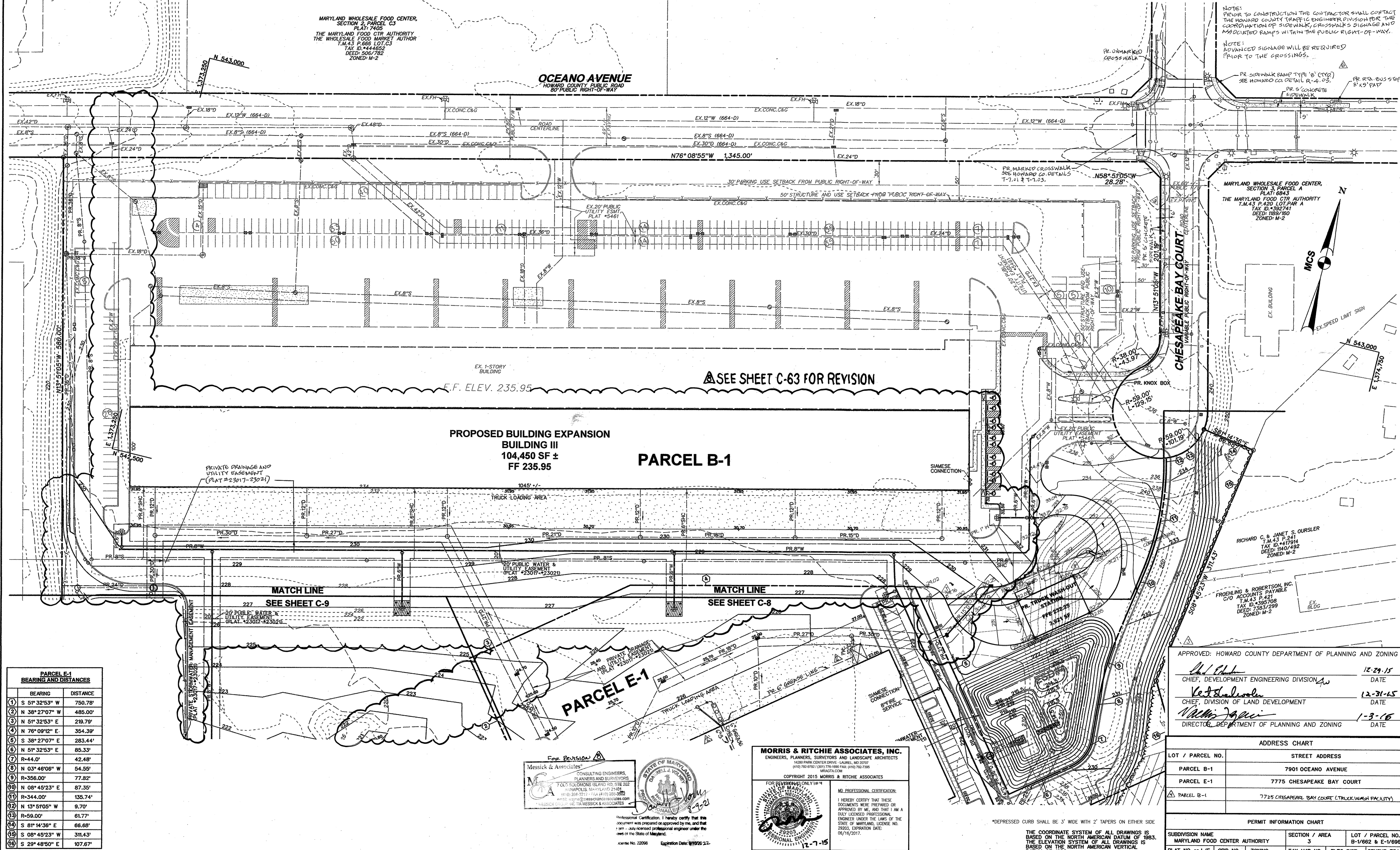
OCEANO AVENUE
HOWARD COUNTY PUBLIC ROAD
60' PUBLIC RIGHT-OF-WAY

NOTE:
PRIOR TO CONSTRUCTION THE CONTRACTOR SHALL CONTACT
THE HOWARD COUNTY TRAFFIC ENGINEER DIVISION FOR THE
COORDINATION OF SIDEWALK, CROSSWALKS SIGNAGE AND
ADJACENT RAMP WITHIN THE PUBLIC RIGHT-OF-WAY.
NOTE:
ADVANCED SIGNAGE WILL BE REQUIRED
PRIOR TO THE CROSSINGS.

MARYLAND WHOLESALE FOOD CENTER,
SECTION 3, PARCEL A
PLAT: 6843
THE MARYLAND FOOD CTR AUTHORITY
T.M. 43 P. 430, LOT PAR A
TAX ID: 392741
DEED: 189/160
ZONED: M-2

RICHARD C. & JANET S. OURSLER
T.M. 43 P. 241
TAX ID: 417914
DEED: 1140/492
ZONED: M-2

FROEHLING & ROBERTSON, INC.
C/O ACCOUNTS PAYABLE
T.M. 43 P. 5421
TAX ID: 595708
DEED: 7383/299
ZONED: M-2



PARCEL E-1 BEARING AND DISTANCES

BEARING	DISTANCE
1 S 51° 32' 53" W	750.78'
2 N 38° 27' 07" W	485.00'
3 N 51° 32' 53" E	219.79'
4 N 76° 09' 12" E	354.39'
5 S 38° 27' 07" E	283.44'
6 N 51° 32' 53" E	85.33'
7 R=44.0'	42.48'
8 N 03° 48' 06" W	54.55'
9 R=356.00'	77.82'
10 N 08° 49' 23" E	87.35'
11 R=344.00'	135.74'
12 N 13° 51' 05" W	9.70'
13 R=59.00'	61.77'
14 S 81° 14' 36" E	66.68'
15 S 08° 45' 23" W	311.43'
16 S 29° 48' 50" E	107.67'

PROPOSED BUILDING EXPANSION
BUILDING III
104,450 SF ±
FF 235.95
PARCEL B-1

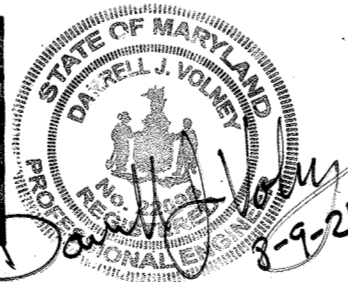
SEE SHEET C-63 FOR REVISION

MATCH LINE
SEE SHEET C-9

MATCH LINE
SEE SHEET C-8

PARCEL E-1

Messick & Associates
CONSULTING ENGINEERS,
PLANNERS AND SURVEYORS
7605 ROCKMANS ISLAND RD, SUE 202
ANNAPOLIS, MARYLAND 21401
(410) 298-3733 • FAX (410) 298-3693
www.messickandassociates.com
MESSICK AND ASSOCIATES, INC. TRAFFIC ENGINEERING



MORRIS & RITCHE ASSOCIATES, INC.
ENGINEERS, PLANNERS, SURVEYORS AND LANDSCAPE ARCHITECTS
1420 PARK CENTER DRIVE, LABEL, MD 21092
(410) 792-0792 (301) 776-1899 FAX (410) 792-7395
WWW.MORRISANDRITCHE.COM
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FOR REVISIONS ONLY 11/14/14

PROFESSIONAL ENGINEER
LICENSE NO. 22098
EXPIRATION DATE: 06/10/2022

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

Del. Clark 12-29-15
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

Victor Stalovick 12-31-15
CHIEF, DIVISION OF LAND DEVELOPMENT DATE

William J. J. J. 1-3-16
DIRECTOR, DEPARTMENT OF PLANNING AND ZONING DATE

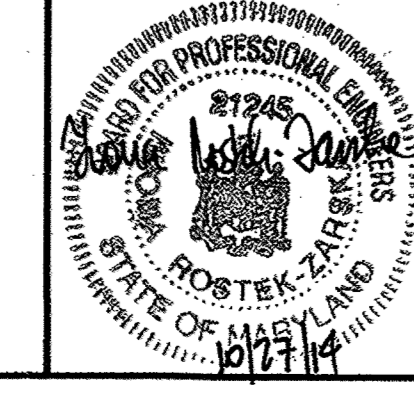
ADDRESS CHART

LOT / PARCEL NO.	STREET ADDRESS
PARCEL B-1	7901 OCEANO AVENUE
PARCEL E-1	7775 CHESAPEAKE BAY COURT
PARCEL B-1	7725 CHESAPEAKE BAY COURT (TRUCK WASH FACILITY)

PERMIT INFORMATION CHART

SUBDIVISION NAME	SECTION / AREA	LOT / PARCEL NO.
MARYLAND FOOD CENTER AUTHORITY	3	B-1/682 & E-1/696
PLAT NO. OR L/F	GRID NO.	ZONING
23017-23021	21	M-2
TAX MAP NO.	ELEC. DIST.	CENSUS TRACT
43	6TH	6069.01

BLDG
Baltimore Land Design Group Inc.
Consulting Engineers
230 SCHILLING CIRCLE, SUITE 364 • HUNT VALLEY, MARYLAND 21031
PHONE: 410.229.9851 • FAX: 410.229.9865 • BLDG@BLDGINC.COM



PROFESSIONAL CERTIFICATION
HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 22425, EXPIRATION DATE: JUNE 9, 2016.

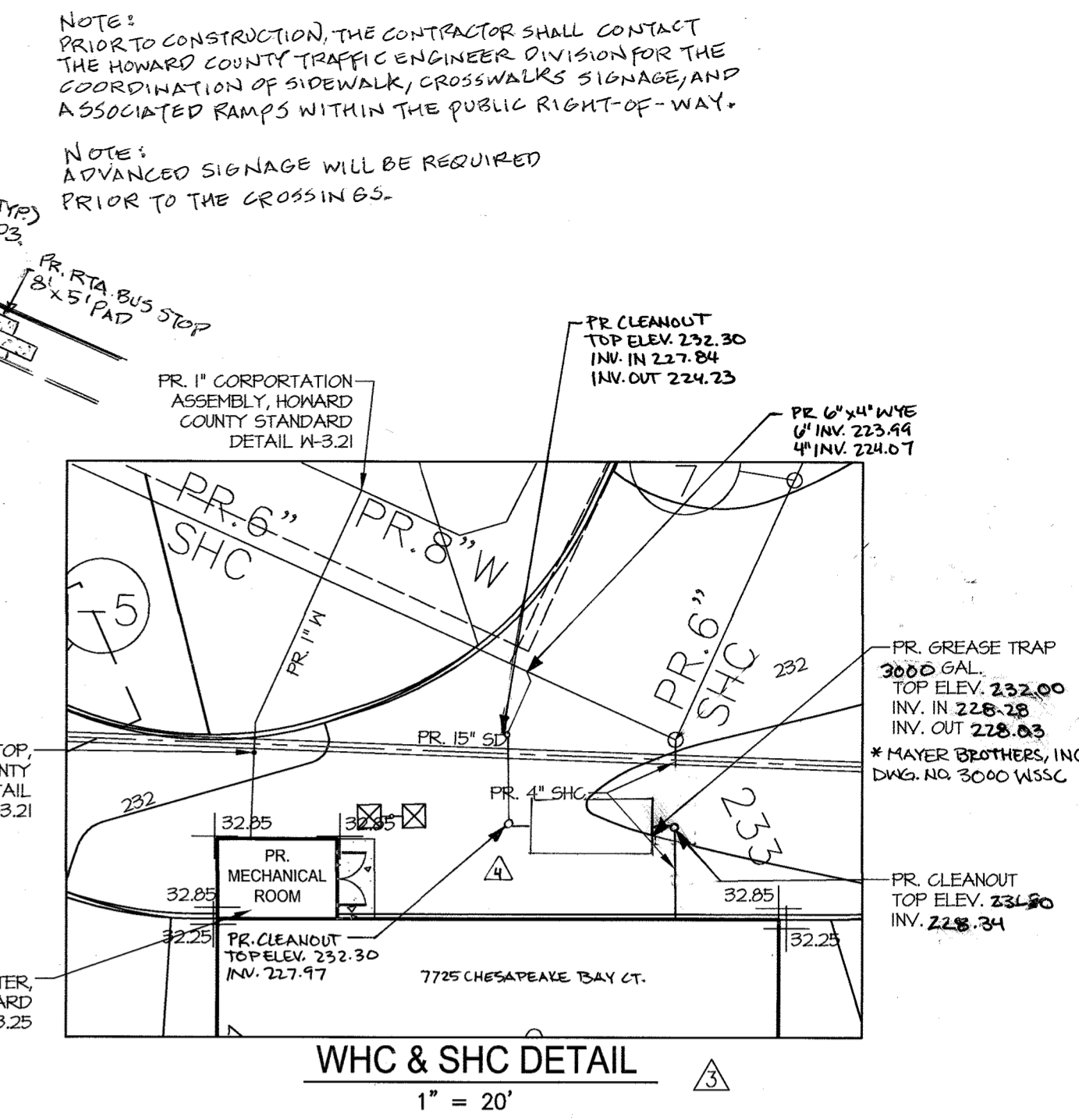
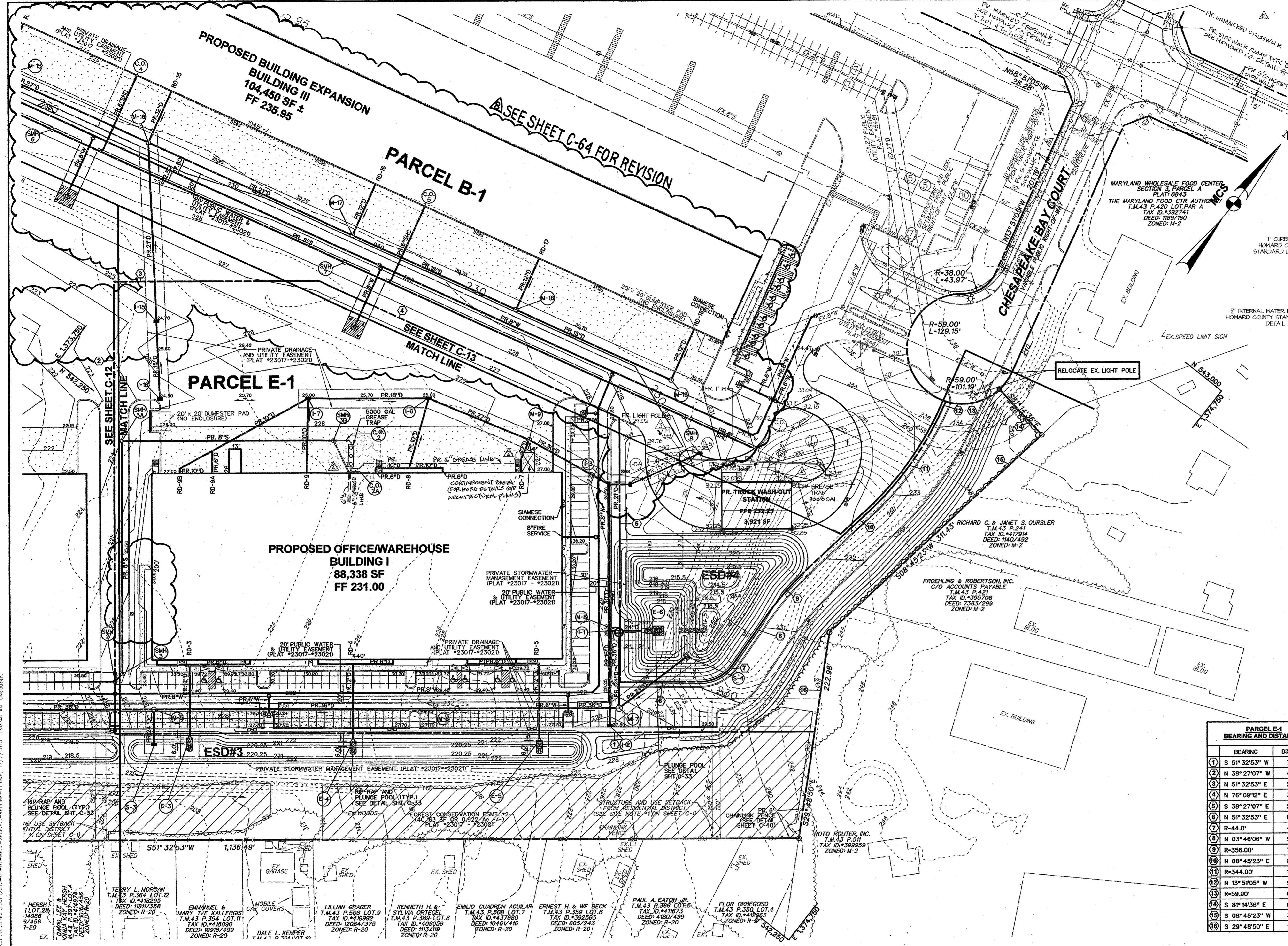
OWNER
MARYLAND FOOD CENTER AUTHORITY
7801 OCEANO AVE
JESSUP, MD 20794
PHONE (410) 378-5760
FAX (410) 378-5775

DEVELOPER / APPLICANT
MERRITT PROPERTIES, LLC
2066 LORD BALTIMORE DRIVE
BALTIMORE, MD 21244
PHONE (410) 298-2600
FAX (410) 298-9644

REVISIONS

DATE	NO.	DESCRIPTION	BY
05/01/15	1	ADDITION OF A CONTAINMENT BASIN AND RE-ALIGNING PRIVATE GREASE TRAP	BLDG
09/18/15	2	REPLACED BUILDING IV WITH TRUCK WASH-OUT STATION	MRA
11/17/2014	3	REVISED GREASE TRAP FOR TRUCK WASH-OUT STATION	MRA
11/12/2014	4	ADDED SIDEWALK AND CURB RAMP AT THE INTERSECTION OF OCEANO AVE AND CHESAPEAKE BAY COURT	BLDG
08/12/14	5	REMOVE BUILDING 3 FOOTPRINT, WATER, & STORM DRAIN (SEE SHEET C-43)	M+R

REVISED SITE DEVELOPMENT PLAN
GRADING PLAN
PLAN VIEW III
MARYLAND FOOD CENTER AUTHORITY
PARCEL B-1 & E-1
(WAREHOUSE & OFFICE)
HOWARD COUNTY, MARYLAND
SCALE: 1" = 50'
DATE: OCTOBER, 2014
DRAWING NO. **C-10**
SHEET 10 OF 83
SDP-14-068



FOR REVISION
Messick & Associates
 CONSULTING ENGINEERS,
 PLANNERS AND SURVEYORS
 7 OLD SOLOMONS ISLAND RD. STE 202
 ANNAPOLIS, MARYLAND 21401
 (410) 298-3212 FAX (410) 298-3932
 email: wjm@messickandassociates.com
 MESSICK GROUP INC. TA MESSICK & ASSOCIATES

Professional Certification: I hereby certify that this document was prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland.
 License No. 22998 Expiration Date: 9/16/2017

MORRIS & RITCHIE ASSOCIATES, INC.
 ENGINEERS, PLANNERS, SURVEYORS AND LANDSCAPE ARCHITECTS
 1420 PARK CENTER DRIVE - LAUREL, MD 20707
 (410) 792-9792 / (301) 710-1868 FAX: (410) 792-7395
 MRA@GMAIL.COM
 COPYRIGHT 2015 MORRIS & RITCHIE ASSOCIATES

PARCEL E-1 BEARING AND DISTANCES

BEARING	DISTANCE
1) S 51° 32' 53" W	750.78'
2) N 38° 27' 07" W	485.00'
3) N 51° 32' 53" E	219.79'
4) N 76° 09' 12" E	354.39'
5) S 38° 27' 07" E	283.44'
6) N 51° 32' 53" E	85.33'
7) R-44.0'	42.48'
8) N 03° 48' 08" W	54.55'
9) R-356.00'	77.82'
10) N 08° 45' 23" E	87.35'
11) R-344.00'	135.74'
12) N 13° 5' 05" W	9.70'
13) R-59.00'	61.77'
14) S 81° 14' 36" E	66.68'
15) S 08° 45' 23" W	314.43'
16) S 29° 48' 50" E	107.67'

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

Chad E. Ecker
 CHIEF, DEVELOPMENT ENGINEERING DIVISION *aw* 12-29-15
 DATE

Kevin J. DeLoe
 CHIEF, DIVISION OF LAND DEVELOPMENT 12-31-15
 DATE

William J. Jaffe
 DIRECTOR, DEPARTMENT OF PLANNING AND ZONING 1-3-16
 DATE

ADDRESS CHART

LOT / PARCEL NO.	STREET ADDRESS
PARCEL B-1	7901 OCEANO AVENUE
PARCEL E-1	7775 CHESAPEAKE BAY COURT
PARCEL B-1	7725 CHESAPEAKE BAY COURT (TRUCK WASH FACILITY)

PERMIT INFORMATION CHART

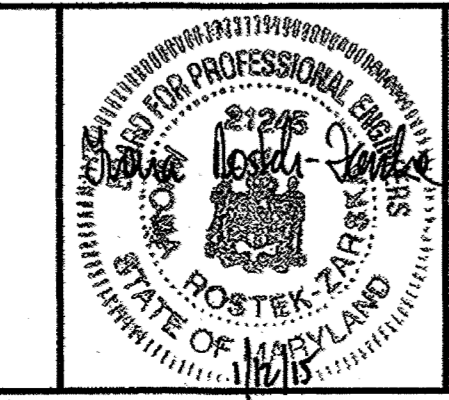
SUBDIVISION NAME	SECTION / AREA	LOT / PARCEL NO.
MARYLAND FOOD CENTER AUTHORITY	3	B-1/662 & E-1/696
PLAT NO. OF L/V	GRID NO.	ZONING
23017-23021	21	M-2
TAX MAP NO.	ELEC. DIST.	CENSUS TRACT
43	6TH	6089.01

REVISIONS

DATE	NO.	DESCRIPTION	BY
12/01/14	1	ADDED DOORS, SIDEWALK AND ROOF DRAINS.	BLDG
05/01/15	2	RELOCATED HANDICAP SPACES AND PRIVATE SEWER LINE FOR BUILDING I.	BLDG
9/18/15	3	ADDITION OF A CONTAINMENT BASIN AND RE-ALIGNING PRIVATE GREASE TRAP.	BLDG
01/12/16	4	REPLACED BUILDING IV WITH TRUCK WASH-OUT STATION.	MRA
01/12/16	5	REVISED GREASE TRAP FOR TRUCK WASH-OUT STATION.	MRA
01/12/16	6	ADDED SIDEWALK AND CURB RAMP AT THE INTERSECTION OF GREASE AVE. AND CHESAPEAKE BAY CT.	BLDG

THE COORDINATE SYSTEM OF ALL DRAWINGS IS BASED ON THE NORTH AMERICAN DATUM OF 1983. THE ELEVATION SYSTEM OF ALL DRAWINGS IS BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988. HORIZ: NAD 83/96 VERT: NAVD 88

BLDG
 Baltimore Land Design Group Inc.
 Consulting Engineers
 230 SCHILLING CIRCLE, SUITE 364 • HUNT VALLEY, MARYLAND 21031
 PHONE: 410.229.9851 • FAX: 410.229.9865 • BLDG@BLDGINC.COM



PROFESSIONAL CERTIFICATION
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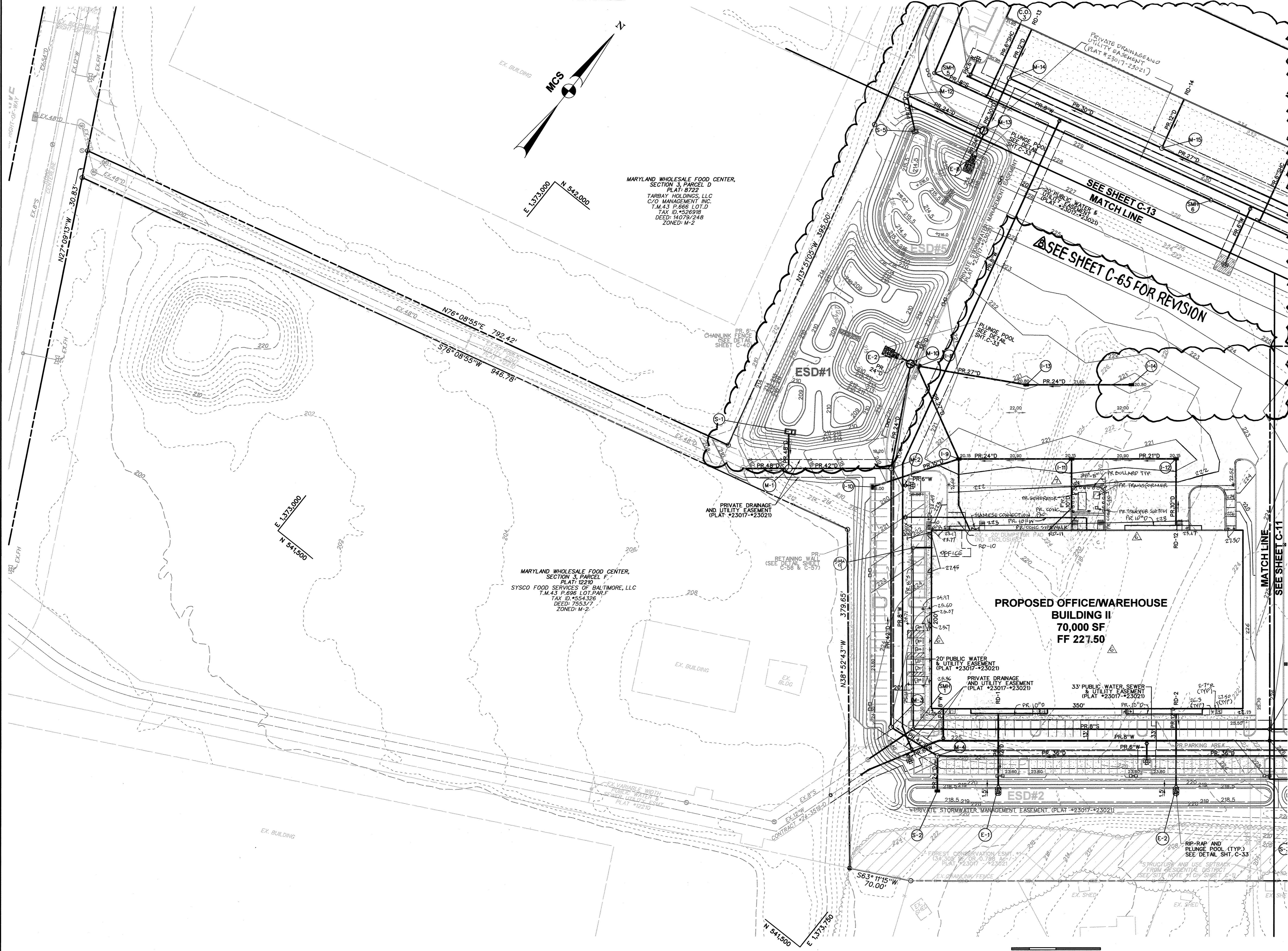
OWNER
 MARYLAND FOOD CENTER AUTHORITY
 7801 OCEANO AVE
 JESSUP, MD 20794
 PHONE (410) 379-5780
 FAX (410) 379-5773

DEVELOPER / APPLICANT
 MERRITT PROPERTIES, LLC
 2066 LORD BALTIMORE DRIVE
 BALTIMORE, MD 21244
 PHONE (410) 298-2800
 FAX (410) 298-9644

REVISED SITE DEVELOPMENT PLAN

UTILITY PLAN
 PLAN VIEW I
MARYLAND FOOD CENTER AUTHORITY
 (WAREHOUSE & OFFICE)
 HOWARD COUNTY, MARYLAND
 SCALE: 1" = 50'

DATE: DECEMBER, 2014
 DRAWING NO. **C-11**
 SHEET 11 OF 83
 SDP-14-068



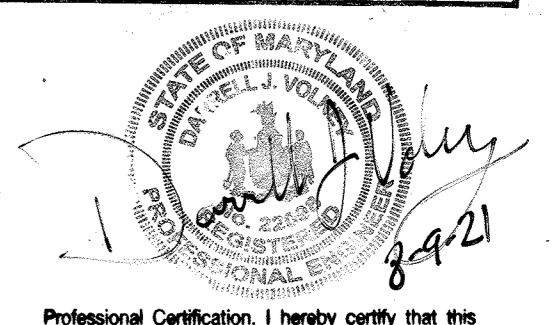
MARYLAND WHOLESALE FOOD CENTER,
SECTION 3, PARCEL D
PLAT: 8722
TARBAY HOLDINGS, LLC
C/O MANAGEMENT INC.
T.M.43 P.698 LOT.D
TAX ID: 526918
DEED: 14079/248
ZONED: M-2

N 542.000
E 1373.000

MARYLAND WHOLESALE FOOD CENTER,
SECTION 3, PARCEL F
PLAT: 1220
SYSCO FOOD SERVICES OF BALTIMORE, LLC
T.M.43 P.698 LOT.PAR.F
TAX ID: 554326
DEED: 7553/7
ZONED: M-2

N 541.500
E 1373.000

FOR REVISION
Messick & Associates
CONSULTING ENGINEERS,
PLANNERS AND SURVEYORS
7 OLD SOLOMONS ISLAND RD, STE 202
HUNTSVILLE, MARYLAND 21001
PH: 410.298.9851 • FAX: 410.298.9850
WWW.MESSICKANDASSOCIATES.COM
MESSICK GROUP, INC. TR. MESSICK & ASSOCIATES



Professional Certification: I hereby certify that this document was prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland.
License No. 22098 Expiration Date: 9/10/2022.

THE COORDINATE SYSTEM OF ALL DRAWINGS IS BASED ON THE NORTH AMERICAN DATUM OF 1983. THE ELEVATION SYSTEM OF ALL DRAWINGS IS BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988.
HORZ: NAD 83/91; VERT: NAVD 88

APPROVED: DEPARTMENT OF PLANNING AND ZONING

Chief, Development Engineering Division	11-6-14
Chief, Division of Land Development	11-20-14
Director	11/24/14

ADDRESS CHART

LOT / PARCEL NO.	STREET ADDRESS
PARCEL B-1	7901 OCEANO AVENUE
PARCEL E-1	7775 CHESAPEAKE BAY COURT

PERMIT INFORMATION CHART

SUBDIVISION NAME MARYLAND FOOD CENTER AUTHORITY	SECTION / AREA 3	LOT / PARCEL NO. B-1/662 & E-1/696
PLAT NO. or L/F 23017-23021	GRID NO. 21	ZONING M-2
TAX MAP NO. 4.3	ELEC. DIST. 6TH	CENSUS TRACT 6069.01

REVISIONS

DATE	NO.	DESCRIPTION	BY
9/11/2014	1	REVISED FIRST FLOOR ELEVATION, HANDICAP SPACES AND UTILITY CONNECTIONS FOR BUILDING II	BLDG
11/10/2014	2	REVISED CONNECTIONS FOR TRANSFORMER, GENERATOR AND TEASER PER SW11211	BLDG
8/19/14	3	REVISE BUILDING'S FOOTPRINT, WATER & STORMWATER (SEE SHEET C-65)	M+H

UTILITY PLAN
PLAN VIEW II
MARYLAND FOOD CENTER AUTHORITY
PARCEL B-1 & E-1
(WAREHOUSE & OFFICE)

HOWARD COUNTY, MARYLAND
SCALE: 1" = 50'

DATE: OCTOBER, 2014

DRAWING NO.
C-12
SHEET 12 OF 83
SDP-14-068

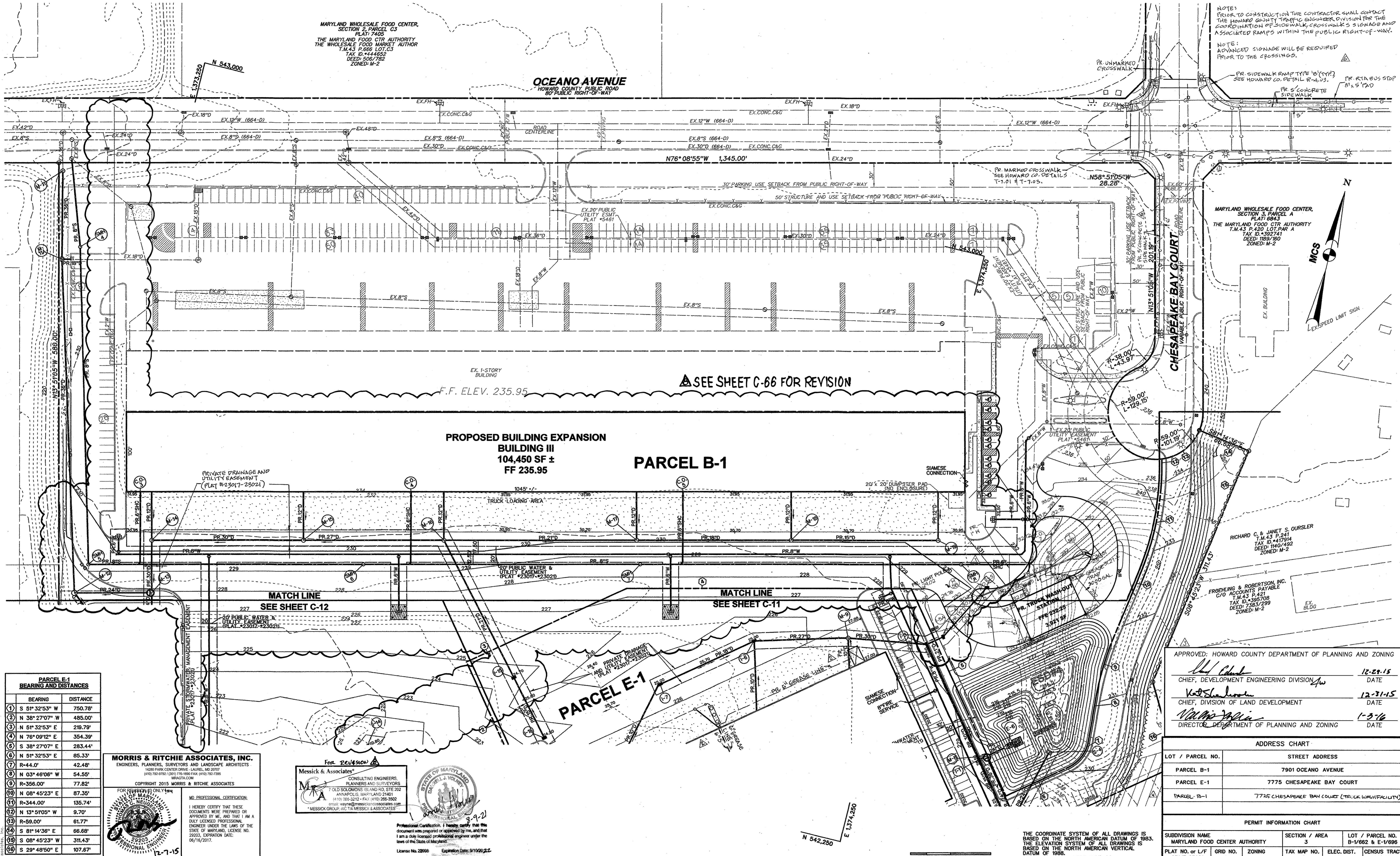
BLDG
Baltimore Land Design Group Inc.
Consulting Engineers
230 SCHILLING CIRCLE, SUITE 364 • HUNT VALLEY, MARYLAND 21051
PHONE: 410.229.9851 • FAX: 410.229.9865 • BLDG@BLDGINC.COM



PROFESSIONAL CERTIFICATION
HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 21245, EXPIRATION DATE: JUNE 9, 2016.

OWNER
MARYLAND FOOD CENTER AUTHORITY
7801 OCEANO AVE
JESSUP, MD 20794
PHONE (410) 379-5760
FAX (410) 379-5773

DEVELOPER / APPLICANT
MERRITT PROPERTIES, LLC
2066 LORD BALTIMORE DRIVE
BALTIMORE, MD 21244
PHONE (410) 298-2600
FAX (410) 298-9644

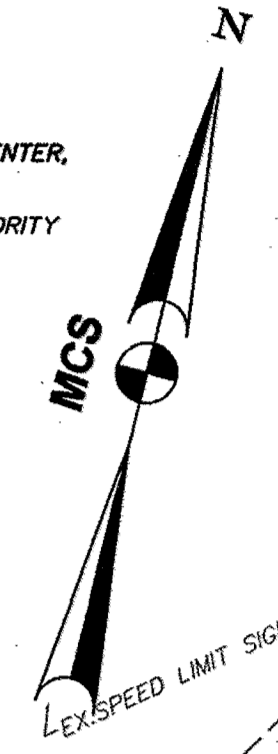


MARYLAND WHOLESALE FOOD CENTER,
SECTION 3, PARCEL C3
PLAT: 7405
THE MARYLAND FOOD CTR AUTHORITY
THE WHOLESALE FOOD MARKET AUTHOR
T.M. 43 P. 666 LOT C3
TAX ID: 444552
DEED: 506/782
ZONED: M-2

OCEANO AVENUE
HOWARD COUNTY PUBLIC ROAD
80' PUBLIC RIGHT-OF-WAY

NOTE:
PRIOR TO CONSTRUCTION THE CONTRACTOR SHALL CONTACT
THE HOWARD COUNTY TRAFFIC ENGINEER DIVISION FOR THE
COORDINATION OF SIDEWALK, CROSSWALK SIGNAGE AND
ASSOCIATED RAMPS WITHIN THE PUBLIC RIGHT-OF-WAY.
NOTE:
ADVANCED SIGNAGE WILL BE REQUIRED
PRIOR TO THE CROSSINGS.

MARYLAND WHOLESALE FOOD CENTER,
SECTION 3, PARCEL A
THE MARYLAND FOOD CTR AUTHORITY
T.M. 43 P. 420 LOT PAR A
TAX ID: 4392741
DEED: 189/160
ZONED: M-2



SEE SHEET C-66 FOR REVISION

PROPOSED BUILDING EXPANSION
BUILDING III
104,450 SF ±
FF 235.95
PARCEL B-1

PARCEL E-1 BEARING AND DISTANCES

BEARING	DISTANCE
1 S 51° 32' 53" W	750.78'
2 N 38° 27' 07" W	485.00'
3 N 51° 32' 53" E	219.79'
4 N 76° 09' 12" E	354.39'
5 S 38° 27' 07" E	283.44'
6 N 51° 32' 53" E	85.33'
7 R-44.0'	42.48'
8 N 03° 46' 06" W	54.55'
9 R-356.00'	77.82'
10 N 08° 45' 23" E	87.35'
11 R-344.00'	135.74'
12 N 13° 51' 05" W	9.70'
13 R-59.00'	61.77'
14 S 81° 14' 36" E	66.68'
15 S 08° 45' 23" W	311.43'
16 S 29° 48' 50" E	107.67'

MORRIS & RITCHIE ASSOCIATES, INC.
ENGINEERS, PLANNERS, SURVEYORS AND LANDSCAPE ARCHITECTS
14280 PARK CENTER DRIVE, LAUREL, MD 20707
(410) 762-9792 / (301) 778-1800 FAX: (410) 762-9995
MORRIS&RITCHIE.COM

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MD PROFESSIONAL CERTIFICATION:
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 29203, EXPIRATION DATE: 06/16/2017.

12-7-15

For REVISION

Messick & Associates
CONSULTING ENGINEERS,
PLANNERS AND SURVEYORS
7 OLD SOLOMONS ISLAND RD, STE 202
ANNAPOLIS, MARYLAND 21403
(410) 766-3212 FAX: (410) 266-3502
messick.com

Professional Certification: I hereby certify that this document was prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland.
License No. 22668 Expiration Date: 9/10/2022



APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

[Signature] 12-29-15
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

[Signature] 12-31-15
CHIEF, DIVISION OF LAND DEVELOPMENT DATE

[Signature] 1-3-16
DIRECTOR, DEPARTMENT OF PLANNING AND ZONING DATE

ADDRESS CHART

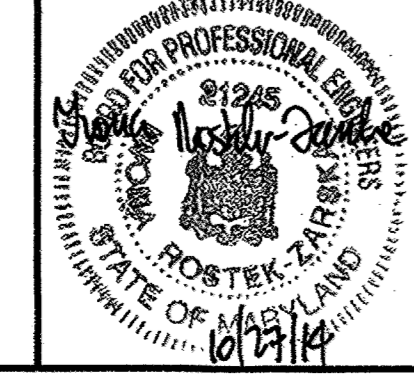
LOT / PARCEL NO.	STREET ADDRESS
PARCEL B-1	7901 OCEANO AVENUE
PARCEL E-1	7775 CHESAPEAKE BAY COURT
PARCEL B-1	7725 CHESAPEAKE BAY COURT (TRUCK WASH FACILITY)

PERMIT INFORMATION CHART

SUBDIVISION NAME	SECTION / AREA	LOT / PARCEL NO.
MARYLAND FOOD CENTER AUTHORITY	3	B-1/662 & E-1/696
PLAT NO. or L/F	GRID NO.	ZONING
23017-23021	21	M-2
TAX MAP NO.	ELEC. DIST.	CENSUS TRACT
43	6TH	6069.01

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HORZ: NAD 83/98; VERT: NAVD 88

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BALTIMORE, MD 21244
PHONE (410) 298-2600
FAX (410) 298-9644

REVISIONS

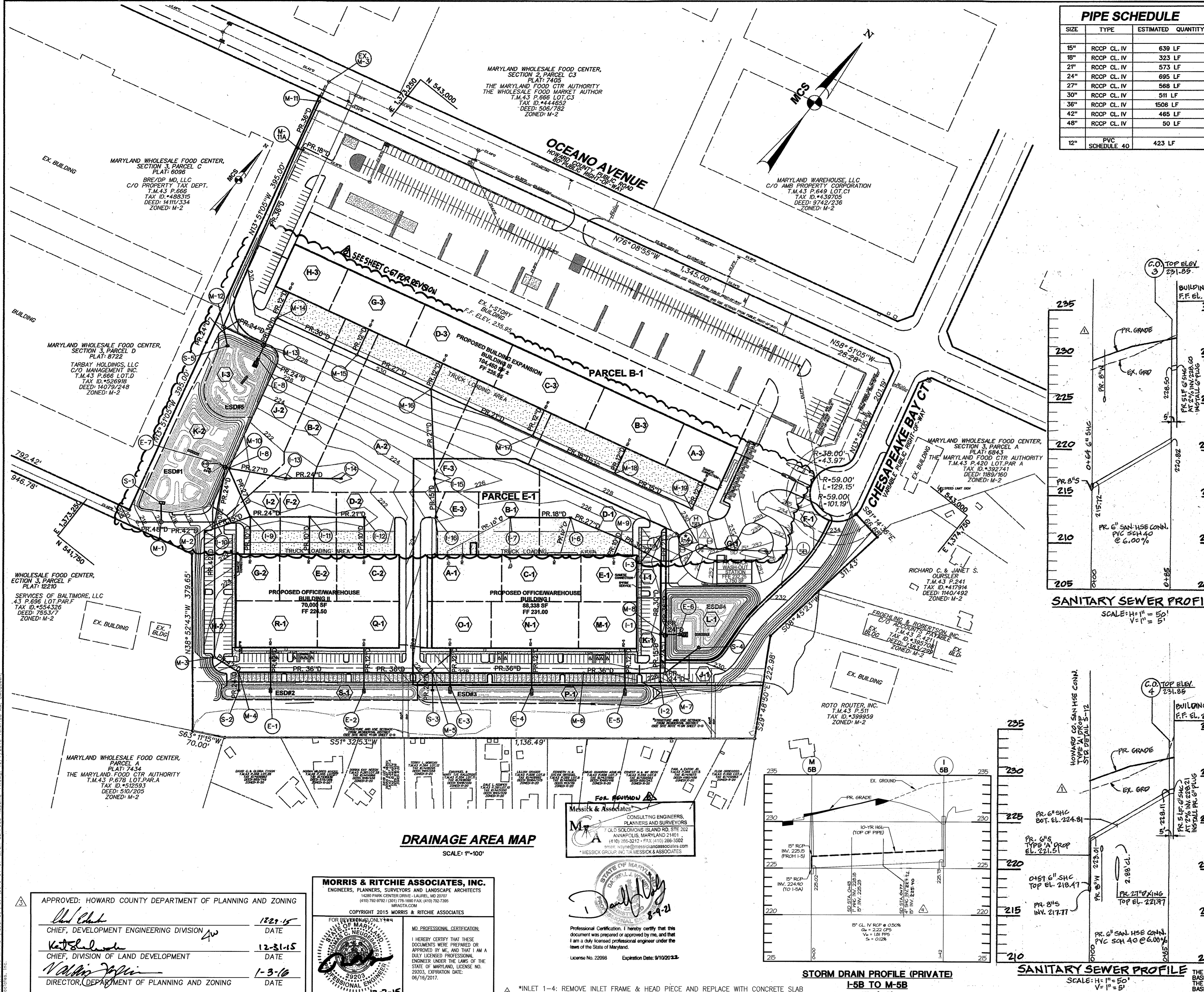
DATE	NO.	DESCRIPTION	BY
05/01/15	1	ADDITION OF A CONTAINMENT BASIN AND RE-ALIGNING PRIVATE GREASE TRAP.	BLDG
9/18/15	2	REPLACED BUILDING N WITH TRUCK WASH-OUT STATION	MRA
6/11/2016	3	REVISED GREASE TRAP FOR TRUCK WASHOUT STATION	MRA
9/11/2016	4	REVISED SIDEWALK AND CURB RAMPS AT THE INTERSECTION OF OCEANO AVENUE AND CHESAPEAKE BAY COURT	BLDG
8/19/16	5	REVISED SIDEWALK AND CURB RAMPS AT THE INTERSECTION OF OCEANO AVENUE AND CHESAPEAKE BAY COURT (SEE SHEET C-66)	MRA

REVISED SITE DEVELOPMENT PLAN
UTILITY PLAN
PLAN VIEW III
MARYLAND FOOD CENTER AUTHORITY
PARCEL B-1 & E-1
(WAREHOUSE & OFFICE)

HOWARD COUNTY, MARYLAND
SCALE: 1" = 50'

DATE: OCTOBER, 2014

DRAWING NO.
C-13
SHEET 13 OF 83
SDP-14-068



PIPE SCHEDULE

SIZE	TYPE	ESTIMATED QUANTITY
15"	RCCP CL. IV	639 LF
18"	RCCP CL. IV	323 LF
21"	RCCP CL. IV	573 LF
24"	RCCP CL. IV	695 LF
27"	RCCP CL. IV	568 LF
30"	RCCP CL. IV	511 LF
36"	RCCP CL. IV	1506 LF
42"	RCCP CL. IV	465 LF
48"	RCCP CL. IV	50 LF
12"	PVC SCHEDULE 40	423 LF

INLET SCHEDULE

NO.	TYPE	INV. IN	INV. OUT	GRATE ELEV.	REMARKS
I-1	DOUBLE WR INLET PRECAST	218.76	218.66	228.50	HOWARD CO. STD. DETAIL PLATE D-4.35
I-2	TYPE 'S' COMBINATION INLET	---	223.00	227.80	HOWARD CO. STD. DETAIL PLATE D-4.32
I-3	DOUBLE WR INLET PRECAST	220.40	219.55	228.50	HOWARD CO. STD. DETAIL PLATE D-4.35
I-4	DOUBLE WR INLET PRECAST	221.00	220.52	230.30	HOWARD CO. STD. DETAIL PLATE D-4.35
I-5	TYPE 'S' COMBINATION INLET	226.42	226.00	230.50	HOWARD CO. STD. DETAIL PLATE D-4.32
I-6	DOUBLE TYPE 'S' INLET	221.80	220.83	225.00	HOWARD CO. STD. DETAIL PLATE D-4.23
I-7	DOUBLE TYPE 'S' INLET	221.58	221.58	225.00	HOWARD CO. STD. DETAIL PLATE D-4.23
I-8	DOUBLE WR INLET PRECAST	214.00	212.05	220.20	HOWARD CO. STD. DETAIL PLATE D-4.35
I-9	DOUBLE TYPE 'S' INLET	218.42	214.85	220.15	HOWARD CO. STD. DETAIL PLATE D-4.23
I-10	TYPE 'S' COMBINATION INLET	---	215.56	219.00	HOWARD CO. STD. DETAIL PLATE D-4.32
I-11	TYPE 'S' INLET	216.84	215.73	215.48	HOWARD CO. STD. DETAIL PLATE D-4.22
I-12	DOUBLE TYPE 'S' INLET	217.23	216.32	220.15	HOWARD CO. STD. DETAIL PLATE D-4.23
I-13	DOUBLE TYPE 'S' INLET	216.21	215.96	220.80	HOWARD CO. STD. DETAIL PLATE D-4.23
I-14	DOUBLE TYPE 'S' INLET	217.32	216.80	220.80	HOWARD CO. STD. DETAIL PLATE D-4.23
I-15	DOUBLE TYPE 'S' INLET	221.08	220.83	224.70	HOWARD CO. STD. DETAIL PLATE D-4.23
I-16	TYPE 'S' INLET	---	221.50	224.50	HOWARD CO. STD. DETAIL PLATE D-4.22
S-1	MODIFIED TYPE 'A' INLET	---	202.70	213.33	HOWARD CO. STD. DETAIL PLATE D-4.04
S-2	TYPE 'S' INLET	---	214.10	219.00	HOWARD CO. STD. DETAIL PLATE D-4.22
S-3	MODIFIED TYPE 'A' INLET	---	215.45	221.00	HOWARD CO. STD. DETAIL PLATE D-4.22
S-4	MODIFIED TYPE 'A' INLET	---	215.17	220.33	HOWARD CO. STD. DETAIL PLATE D-4.02
S-5	MODIFIED TYPE 'A' INLET	---	215.17	218.83	HOWARD CO. STD. DETAIL PLATE D-4.02
S-5A	MODIFIED TYPE 'A' INLET	222.26	222.44	229.40	HOWARD CO. STD. DETAIL PLATE D-4.35
S-5B	MODIFIED TYPE 'A' INLET	225.73	225.78	229.78	HOWARD CO. STD. DETAIL PLATE D-4.35

MANHOLE SCHEDULE

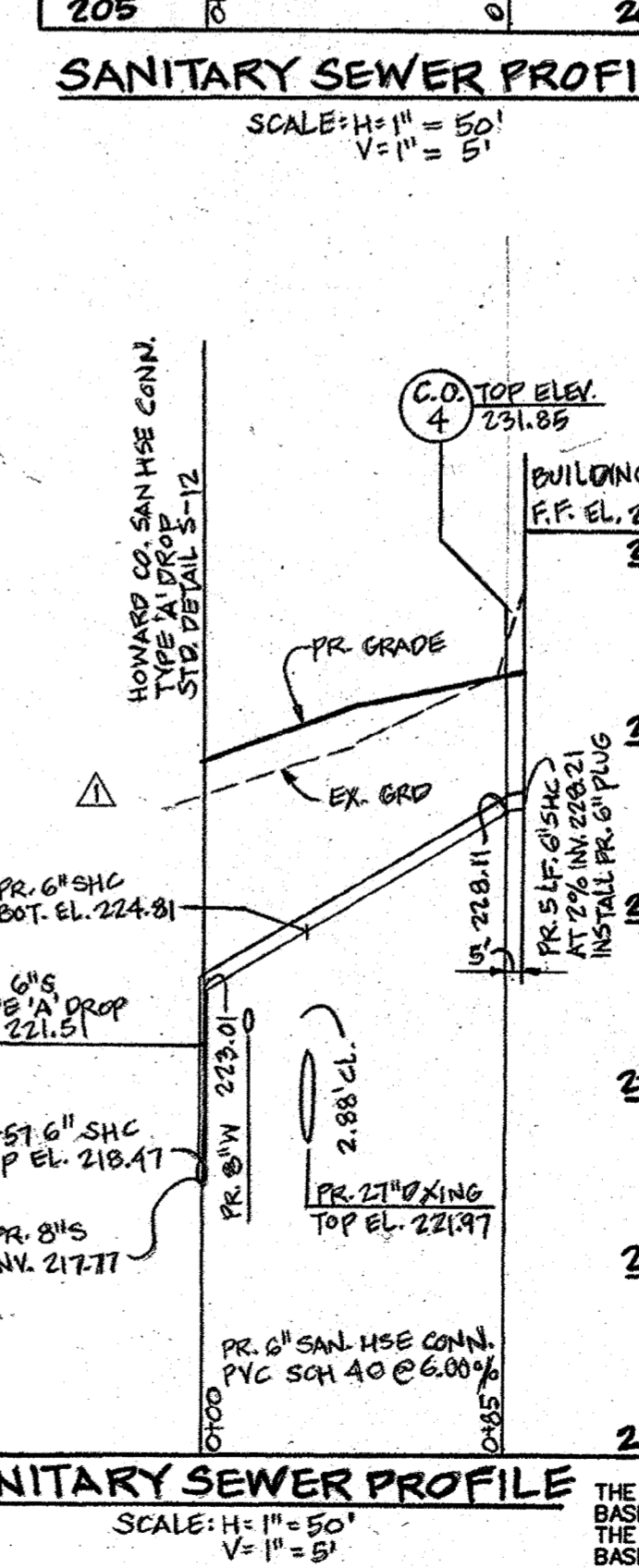
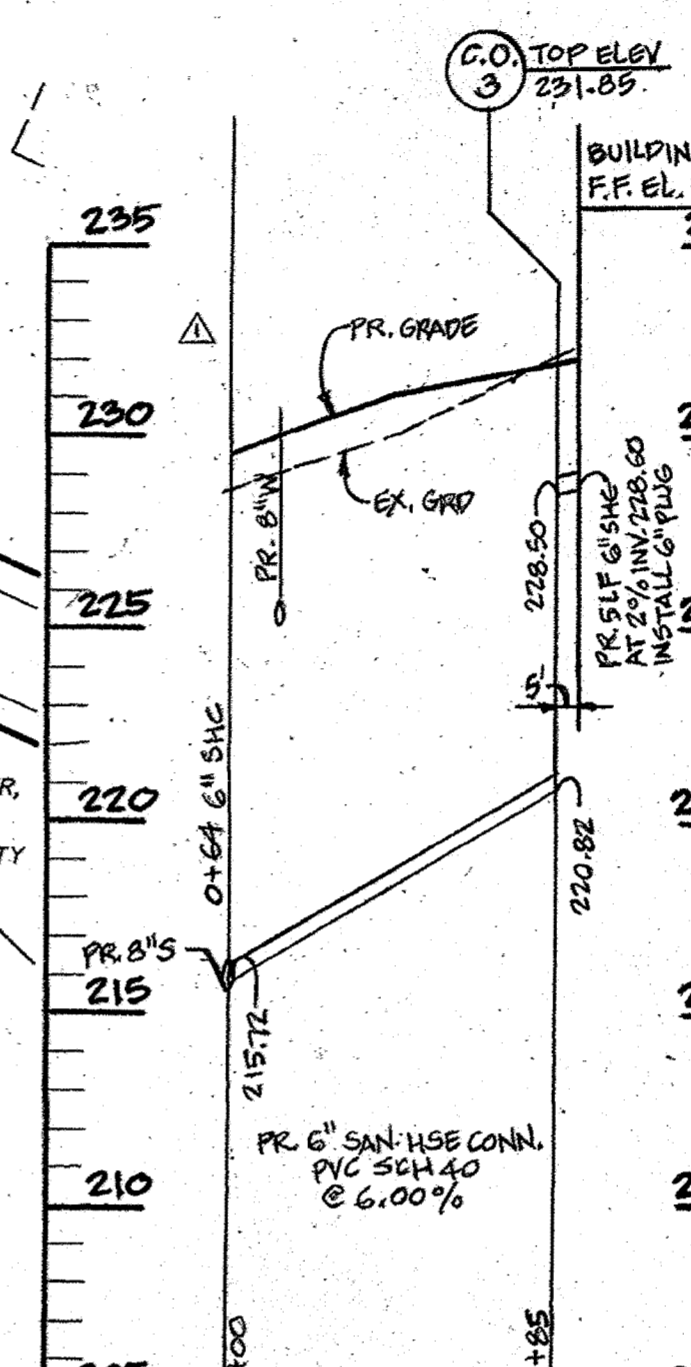
NO.	TYPE	INV. IN	INV. OUT	TOP ELEV.	REMARKS
M-1	84" DIA PRECAST	203.00	202.50	214.50	SHA STANDARD NO. MD-384.07
M-2	84" DIA PRECAST	208.73	206.87	206.67	SHA STANDARD NO. MD-384.07
M-3	72" DIA PRECAST	208.52	208.32	225.00	SHA STANDARD NO. MD-384.05
M-4	72" DIA PRECAST	212.70	209.32	208.82	SHA STANDARD NO. MD-384.05
M-5	STANDARD 5'-0" PRECAST	214.82	211.60	211.40	HOWARD CO. STD. DETAIL PLATE G-5.13
M-6	STANDARD 5'-0" PRECAST	213.43	213.23	228.20	HOWARD CO. STD. DETAIL PLATE G-5.13
M-7	84" DIA PRECAST	215.30	214.5	228.50	SHA STANDARD NO. MD-384.07
M-8	MODIFIED 84" DIA PRECAST	218.61	218.41	229.00	SHA STANDARD NO. MD-384.09
M-9	STANDARD 5'-0" PRECAST	221.88	220.24	220.14	HOWARD CO. STD. DETAIL PLATE G-5.13
M-10	MODIFIED 84" DIA PRECAST	211.90	211.70	220.00	SHA STANDARD NO. MD-384.09
M-11	STANDARD 5'-0" PRECAST	212.20	212.07	221.00	HOWARD CO. STD. DETAIL PLATE G-5.13
M-11A	STANDARD 5'-0" PRECAST	218.30	212.64	228.00	HOWARD CO. STD. DETAIL PLATE G-5.13
M-12	84" DIA PRECAST	215.77	212.84	214.50	SHA STANDARD NO. MD-384.07
M-13	MODIFIED 84" DIA PRECAST	217.44	214.70	228.00	SHA STANDARD NO. MD-384.09
M-14	STANDARD 5'-0" PRECAST	219.30	217.65	229.40	HOWARD CO. STD. DETAIL PLATE G-5.13
M-15	STANDARD 5'-0" PRECAST	218.38	216.88	218.71	HOWARD CO. STD. DETAIL PLATE G-5.13
M-16	STANDARD 5'-0" PRECAST	218.38	216.88	224.40	HOWARD CO. STD. DETAIL PLATE G-5.13
M-17	STANDARD 4'-0" PRECAST	223.10	221.19	229.40	HOWARD CO. STD. DETAIL PLATE G-5.12
M-18	STANDARD 4'-0" PRECAST	223.10	221.19	229.40	HOWARD CO. STD. DETAIL PLATE G-5.12
M-19	STANDARD 4'-0" PRECAST	223.77	221.77	229.40	HOWARD CO. STD. DETAIL PLATE G-5.12
M-19A	STANDARD 4'-0" PRECAST	223.10	221.19	229.40	HOWARD CO. STD. DETAIL PLATE G-5.12
M-20	STANDARD 4'-0" PRECAST	223.10	221.19	229.40	HOWARD CO. STD. DETAIL PLATE G-5.12

STRUCTURE SCHEDULE

NO.	TYPE	SIZE	INV. IN	INV. OUT	TOP ELEV.	REMARKS
E-1	FLARED END SECTION (ADS-HDPE)	12"	219.02	---	---	ADS, INC. DRAINAGE HANDBOOK
E-2	FLARED END SECTION (ADS-HDPE)	12"	219.02	---	---	ADS, INC. DRAINAGE HANDBOOK
E-3	FLARED END SECTION (ADS-HDPE)	12"	222.72	---	---	ADS, INC. DRAINAGE HANDBOOK
E-4	FLARED END SECTION (ADS-HDPE)	12"	222.72	---	---	ADS, INC. DRAINAGE HANDBOOK
E-5	FLARED END SECTION (ADS-HDPE)	12"	222.72	---	---	ADS, INC. DRAINAGE HANDBOOK
E-6	CONC. END SECTION	24"	218.08	---	---	HOWARD CO. STD. DETAIL PLATE D-5.51
E-7	CONC. END SECTION	24"	211.56	---	---	HOWARD CO. STD. DETAIL PLATE D-5.51
E-8	CONC. END SECTION	24"	216.58	---	---	HOWARD CO. STD. DETAIL PLATE D-5.51

DRAINAGE AREA

NO.	ACRES (AC)	COEFF. "C"	IMP. (C)	NO.	ACRES (AC)	COEFF. "C"	IMP. (C)	NO.	ACRES (AC)	COEFF. "C"	IMP. (C)
A-1	0.37	0.95	100	A-2	1.35	0.87	100	A-3	0.64	0.87	100
B-1	0.40	0.95	100	B-2	0.51	0.87	100	B-3	0.43	0.95	100
C-1	0.39	0.95	100	C-2	0.31	0.95	100	C-3	0.64	0.87	100
D-1	1.57	0.81	92	D-2	0.94	0.80	83	D-3	0.86	0.87	100
E-1	0.28	0.95	100	E-2	0.28	0.95	100	E-3	0.27	0.95	100
F-1	0.14	0.95	100	F-2	0.37	0.95	100	F-3	0.64	0.87	91
G-1	0.05	0.80	88	G-2	0.22	0.95	100	G-3	0.86	0.87	100
H-1	0.87	0.86	73	H-2	0.48	0.85	92	H-3	0.11	0.87	100
I-1	0.11	0.90	72	I-2	0.29	0.90	90	I-3	0.52	0.30	0
J-1	1.20	0.54	36	J-2	1.44	0.93	96				
K-1	0.16	0.88	87	K-2	0.82	0.30	0				
L-1	0.99	0.30	0								
M-1	0.29	0.95	100								
N-1	0.43	0.95	100								
O-1	0.31	0.95	100								
P-1	1.41	0.60	49								
Q-1	0.40	0.95	100								
R-1	0.40	0.95	100								
S-1	1.11	0.67	58								
T-1	0.93	0.87	100								
U-1	0.10	0.87	100								



DRAINAGE AREA MAP

SCALE: 1"=100'

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

Chad Clark 12-21-15
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

Kathleen 12-31-15
CHIEF, DIVISION OF LAND DEVELOPMENT DATE

Walter 1-3-16
DIRECTOR, DEPARTMENT OF PLANNING AND ZONING DATE

MORRIS & RITCHIE ASSOCIATES, INC.
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MRA@MCA.COM

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FOR REVIEW ONLY
STATE OF MARYLAND
PROFESSIONAL ENGINEER
12-7-15

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*MESSICK GROUP INC. IS A MESSICK & ASSOCIATES COMPANY

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License No. 22098 Expiration Date: 9/10/2023

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DEVELOPER / APPLICANT
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FAX (410) 298-9644

REVISED SITE DEVELOPMENT PLAN
UTILITY PLAN
DRAINAGE AREA MAP AND STRUCTURE SCHEDULES
MARYLAND FOOD CENTER AUTHORITY
PARCEL B-1 & E-1
(WAREHOUSE & OFFICE)

REVISIONS
DATE NO. DESCRIPTION BY
12/01/14 RELOCATED SANITARY SEWER WITH CONNECTION PROFILES BLD
9/19/15 REPLACED BUILDING WITH TRUCK WASH-OUT STATION MRA
6/11/2016 REVISED GREASE TRAP FOR TRUCK WASHOUT STATION MRA
8/9/21 REMOVE BUILDING 3 FOOTING FROM WASH-OUT STATION (SEE SHEET C-11) MHA

REVISIONS
DATE NO. DESCRIPTION BY
12/01/14 RELOCATED SANITARY SEWER WITH CONNECTION PROFILES BLD
9/19/15 REPLACED BUILDING WITH TRUCK WASH-OUT STATION MRA
6/11/2016 REVISED GREASE TRAP FOR TRUCK WASHOUT STATION MRA
8/9/21 REMOVE BUILDING 3 FOOTING FROM WASH-OUT STATION (SEE SHEET C-11) MHA

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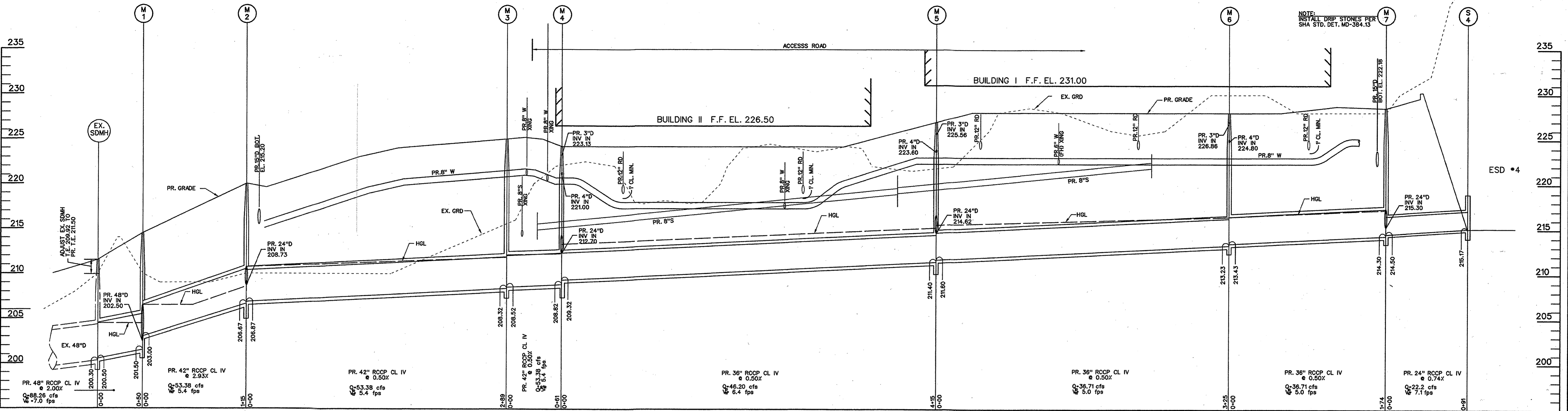
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PARCEL E-1	7775 CHESAPEAKE BAY COURT
PARCEL B-1	7725 CHESAPEAKE BAY COURT (TRUCK WASH FACILITY)

PERMIT INFORMATION CHART

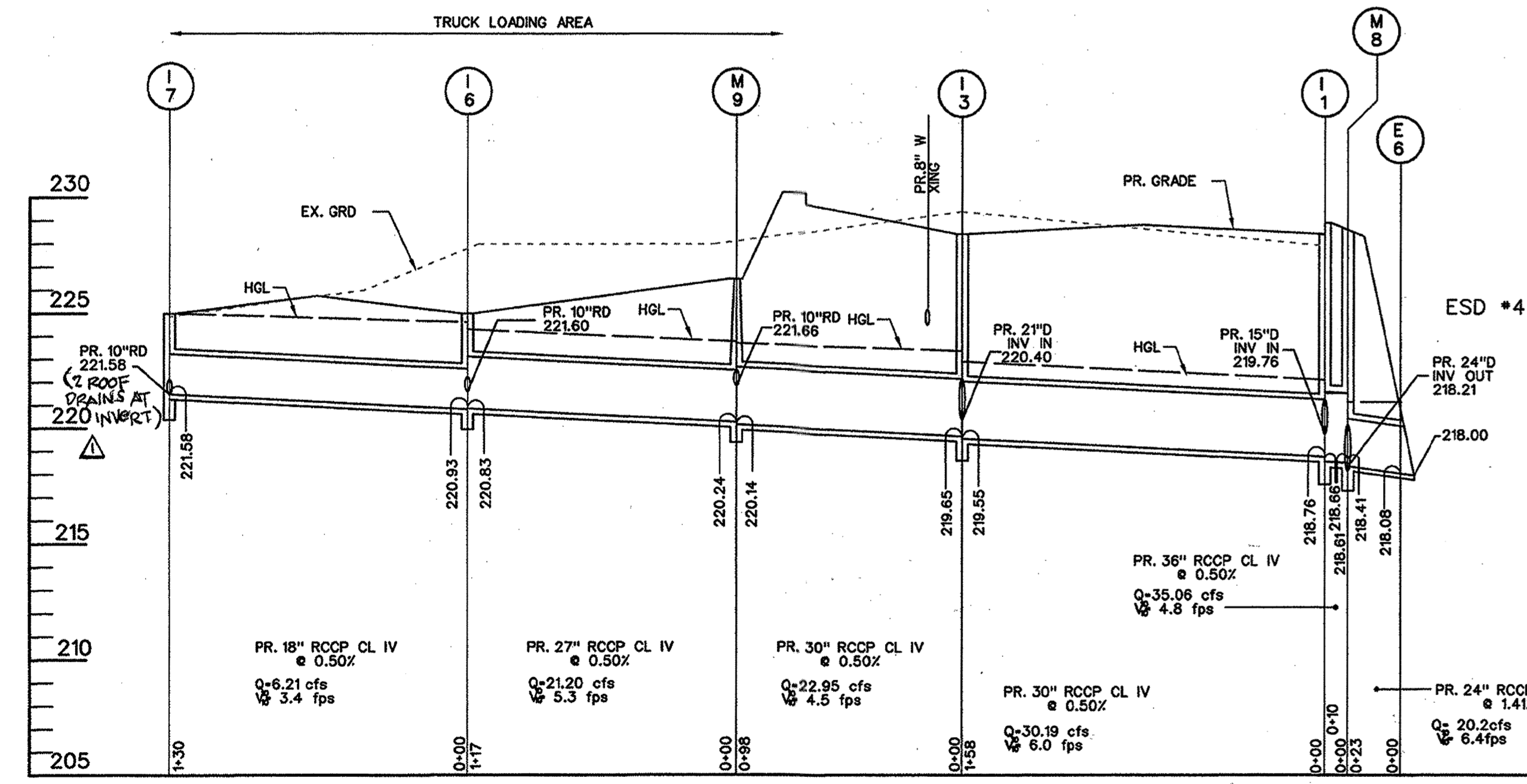
SUBDIVISION NAME	SECTION / AREA	LOT / PARCEL NO.
MARYLAND FOOD CENTER AUTHORITY	3	B-1/662 & E-1/696
PLAT NO. or L/F	GRID NO.	ZONING
23011-23021	21	M-2
TAX MAP NO.	ELEC. DIST.	CENSUS TRACT
43	6TH	6069.01



STORM DRAIN PROFILE

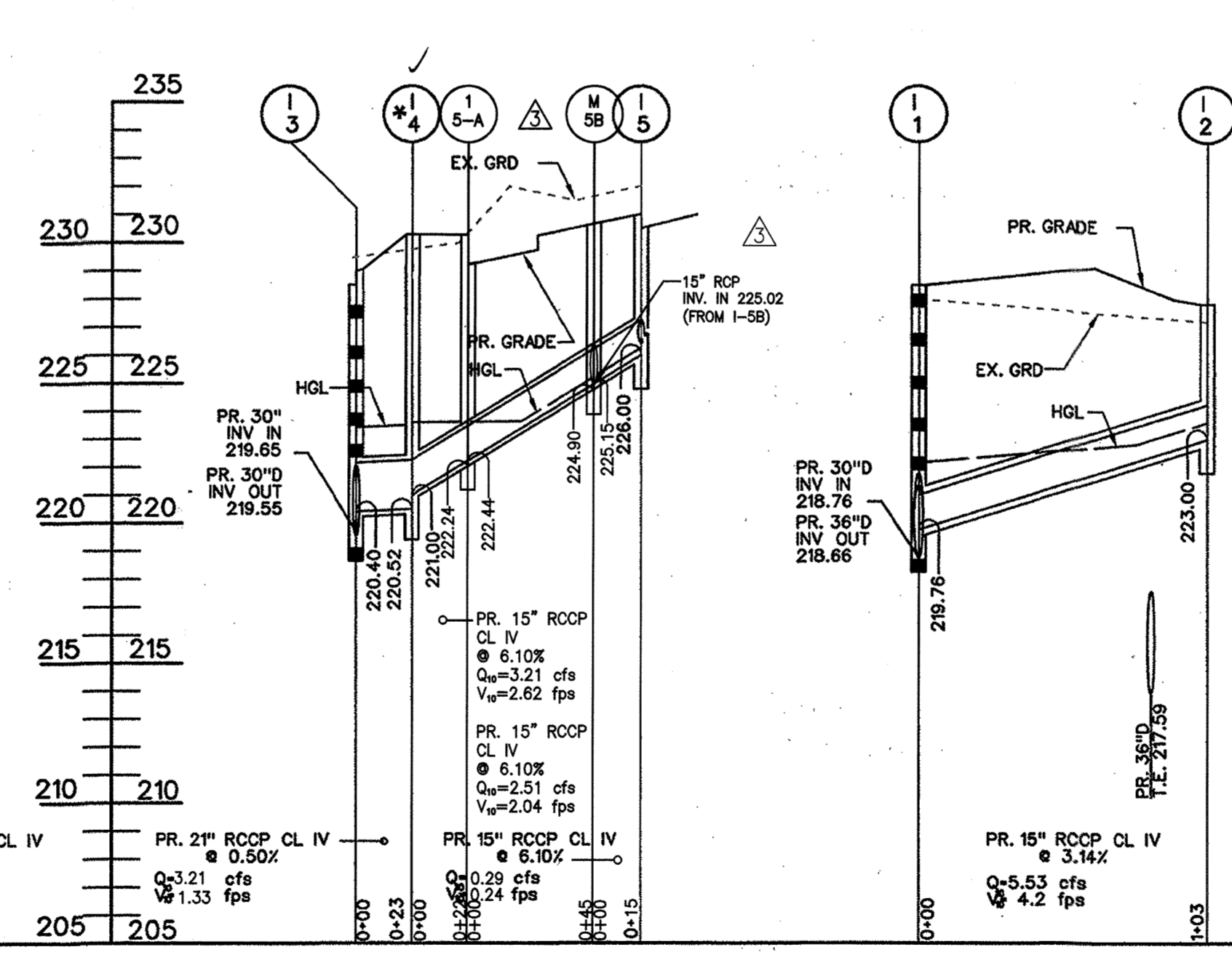
SCALE: H: 1" = 50'
V: 1" = 5'

*INLET 1-4: REMOVE INLET FRAME & HEAD PIECE AND REPLACE WITH CONCRETE SLAB & MANHOLE FRAME AND COVER PER HOWARD COUNTY DETAILS G-9.05 & G-5.51.



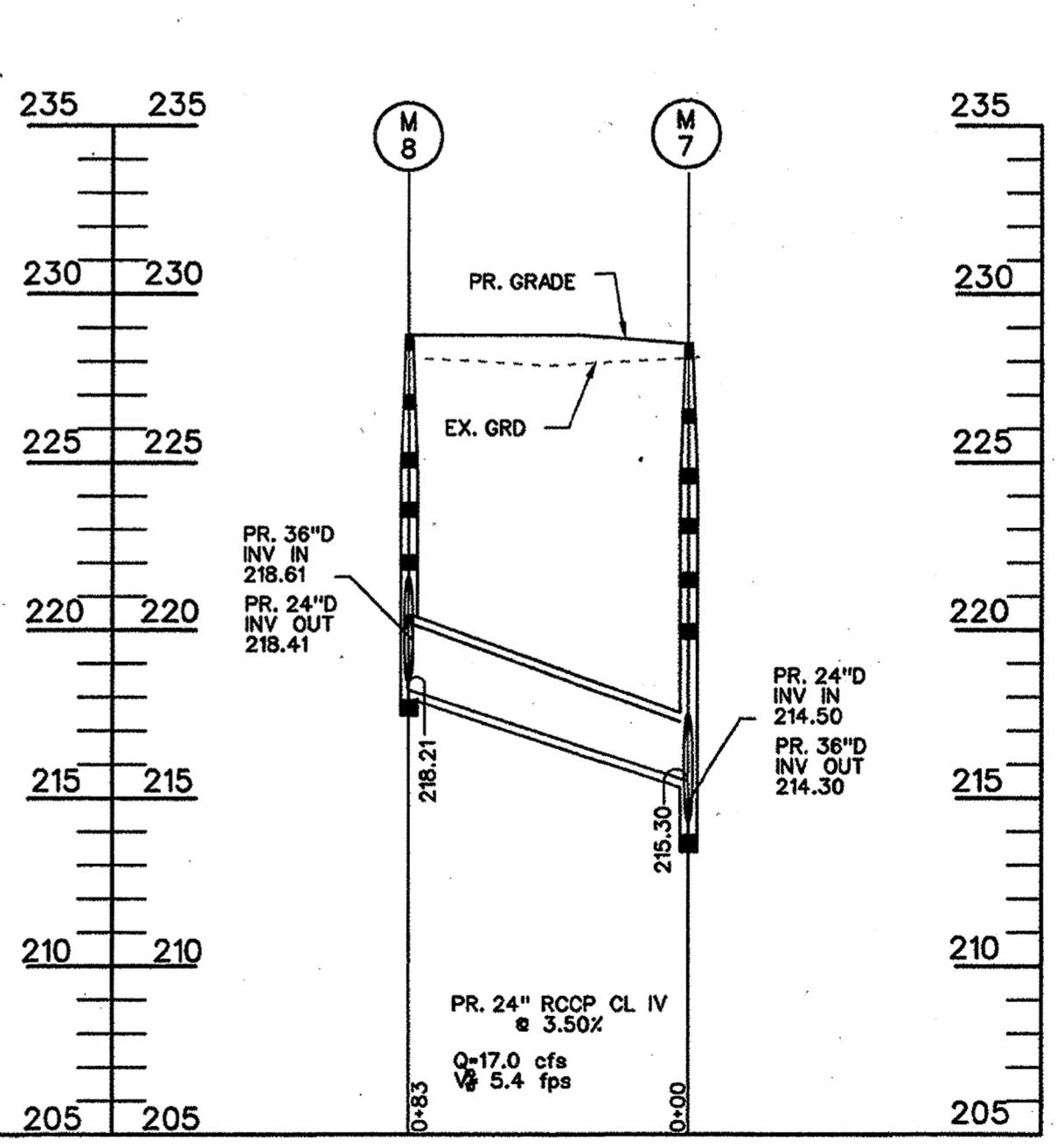
STORM DRAIN PROFILE

SCALE: H: 1" = 50'
V: 1" = 5'



STORM DRAIN PROFILE

SCALE: H: 1" = 50'
V: 1" = 5'



STORM DRAIN PROFILE

SCALE: H: 1" = 50'
V: 1" = 5'

MORRIS & RITCHIE ASSOCIATES, INC.
ENGINEERS, PLANNERS, SURVEYORS AND LANDSCAPE ARCHITECTS
1480 PARK CENTER DRIVE - LAUREL, MD 20707
410.750.9192 / 410.778.1600 FAX 410.750.7885
MRA@CA.COM

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FOR REMITTANCE ONLY
STATE OF MARYLAND
PROFESSIONAL ENGINEER
29205
12-7-15

NO PROFESSIONAL CERTIFICATION:
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 29205, EXPIRATION DATE: 06/15/2017.

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

Wich
CHIEF, DEVELOPMENT ENGINEERING DIVISION 12-27-15 DATE

Karl Schuchman
CHIEF, DIVISION OF LAND DEVELOPMENT 12-21-15 DATE

William J. Jell
DIRECTOR, DEPARTMENT OF PLANNING AND ZONING 1-3-16 DATE

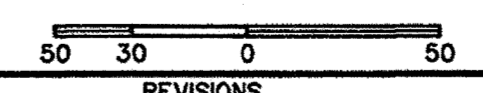
ADDRESS CHART

LOT / PARCEL NO.	STREET ADDRESS
PARCEL B-1	7901 OCEANO AVENUE
PARCEL E-1	7775 CHESAPEAKE BAY COURT

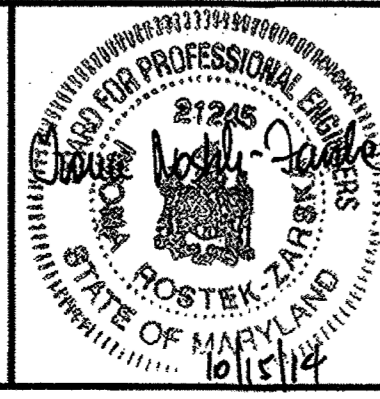
PERMIT INFORMATION CHART

SUBDIVISION NAME MARYLAND FOOD CENTER AUTHORITY	SECTION / AREA 3	LOT / PARCEL NO. B-1/682 & E-1/696
PLAT NO. or L/F 23017-25021	GRID NO. 21	ZONING M-2
TAX MAP NO. 43	ELEC. DIST. 6TH	CENSUS TRACT 6069.01

THE COORDINATE SYSTEM OF ALL DRAWINGS IS BASED ON THE NORTH AMERICAN DATUM OF 1983. THE ELEVATION SYSTEM OF ALL DRAWINGS IS BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988.
HORZ: NAD 83/91; VERT: NAVD 88



BLDG
Baltimore Land Design Group Inc.
Consulting Engineers
230 SCHILLING CIRCLE, SUITE 364 • HUNT VALLEY, MARYLAND 21031
PHONE: 410.229.9851 • FAX: 410.229.9865 • BLDG@BLDGINC.COM



PROFESSIONAL CERTIFICATION
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 21245, EXPIRATION DATE: JUNE 9, 2016.

OWNER
MARYLAND FOOD CENTER AUTHORITY
7801 OCEANO AVE
JESSUP, MD 20794
PHONE (410) 379-5780
FAX (410) 379-5773

DEVELOPER / APPLICANT
MERRITT PROPERTIES, LLC
2066 LORD BALTIMORE DRIVE
BALTIMORE, MD 21244
PHONE (410) 298-2600
FAX (410) 298-9644

REVISIONS

DATE	NO.	DESCRIPTION	BY
12/01/14	1	ADDED ADDITIONAL ROOF DRAINS AT 1-T.	BLDG
9/18/15	2	REPLACED BUILDING IV WITH TRUCK WASH-OUT STATION	MRA

REVISED SITE DEVELOPMENT PLAN
UTILITY PROFILES
STORM DRAIN

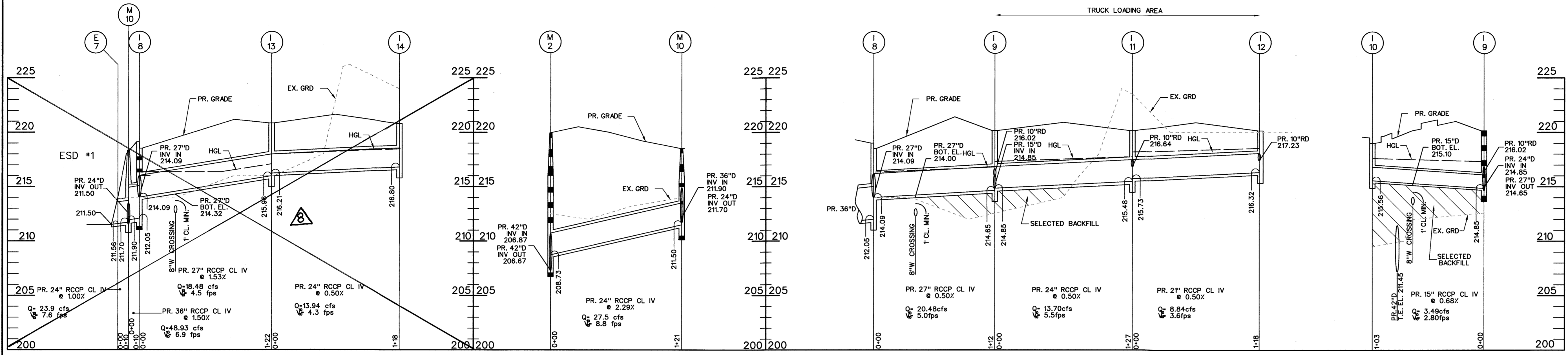
MARYLAND FOOD CENTER AUTHORITY
PARCEL B-1 & E-1
(WAREHOUSE & OFFICE)

HOWARD COUNTY, MARYLAND
SCALE: 1" = 50'

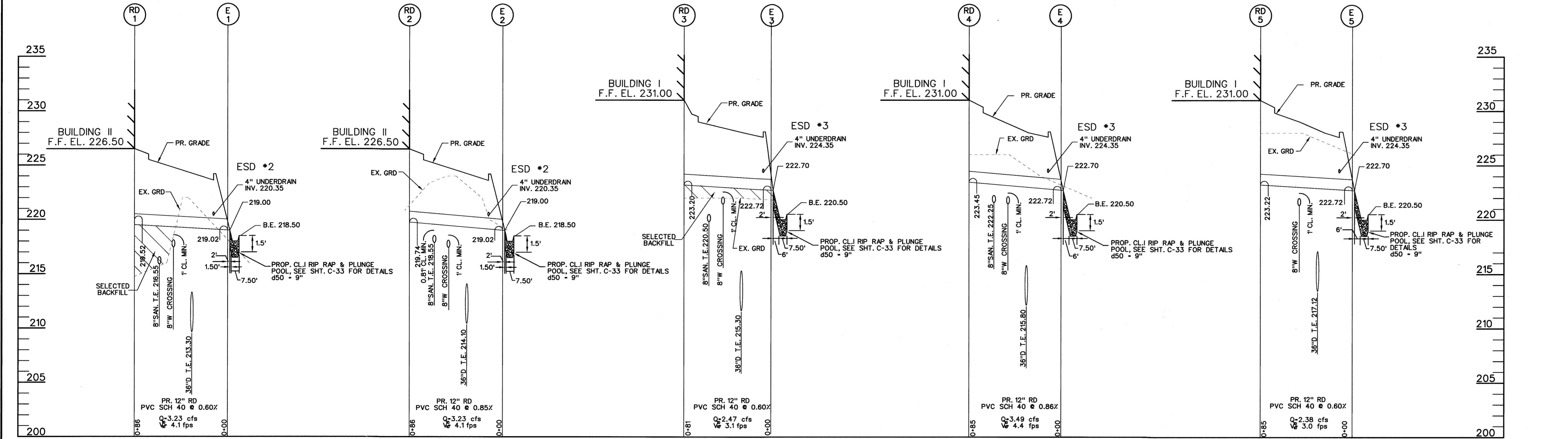
DATE: OCTOBER, 2014

DRAWING NO.
C-15

SHEET 15 OF 23
SDP-14-068



STORM DRAIN PROFILE
SCALE: H: 1" = 50'
V: 1" = 5'



ROOF DRAIN PROFILES
SCALE: H: 1" = 50'
V: 1" = 5'

For Revision
Messick & Associates
CONSULTING ENGINEERS,
PLANNERS AND SURVEYORS
7011 SOLOMONS ISLAND RD, STE 202
ANNAPOLIS, MARYLAND 21401
(410) 295-3212 • FAX (410) 295-3522
EMAIL: info@messickassociates.com
* MESSICK GROUP, INC. IS A MESSICK & ASSOCIATES COMPANY

D. Messick
Professional Certification. I hereby certify that this document was prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland.
License No. 22098 Expiration Date: 9/10/2022

APPROVED: DEPARTMENT OF PLANNING AND ZONING

<i>[Signature]</i> Chief, Development Engineering Division	11-6-14 Date
<i>[Signature]</i> Chief, Division of Land Development	11-20-14 Date
<i>[Signature]</i> Director	11/2/14 Date

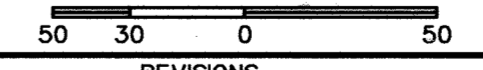
ADDRESS CHART

LOT / PARCEL NO.	STREET ADDRESS
PARCEL B-1	7901 OCEANO AVENUE
PARCEL E-1	7775 CHESAPEAKE BAY COURT

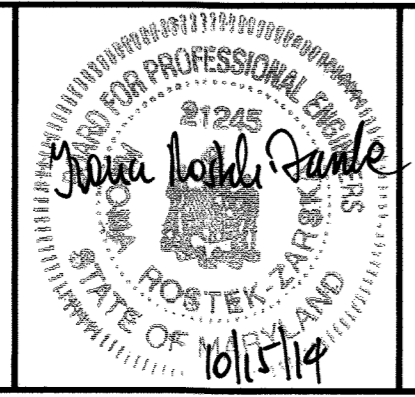
PERMIT INFORMATION CHART

SUBDIVISION NAME MARYLAND FOOD CENTER AUTHORITY	SECTION / AREA 3	LOT / PARCEL NO. B-1/662 & E-1/696
PLAT No. or L/F 23017-25021	GRID NO. 21	ZONING M-2
TAX MAP NO. 43	ELEC. DIST. 6TH	CENSUS TRACT 6069.01

THE COORDINATE SYSTEM OF ALL DRAWINGS IS BASED ON THE NORTH AMERICAN DATUM OF 1983. THE ELEVATION SYSTEM OF ALL DRAWINGS IS BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988.
HORIZ: NAD 83/91; VERT: NAVD 88



BLDG
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Consulting Engineers
230 SCHILLING CIRCLE, SUITE 364 • HUNT VALLEY, MARYLAND 21081
PHONE: 410.229.9851 • FAX: 410.229.9865 • BLDG@BLDGINC.COM



PROFESSIONAL CERTIFICATION
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 21245, EXPIRATION DATE: JUNE 9, 2016.

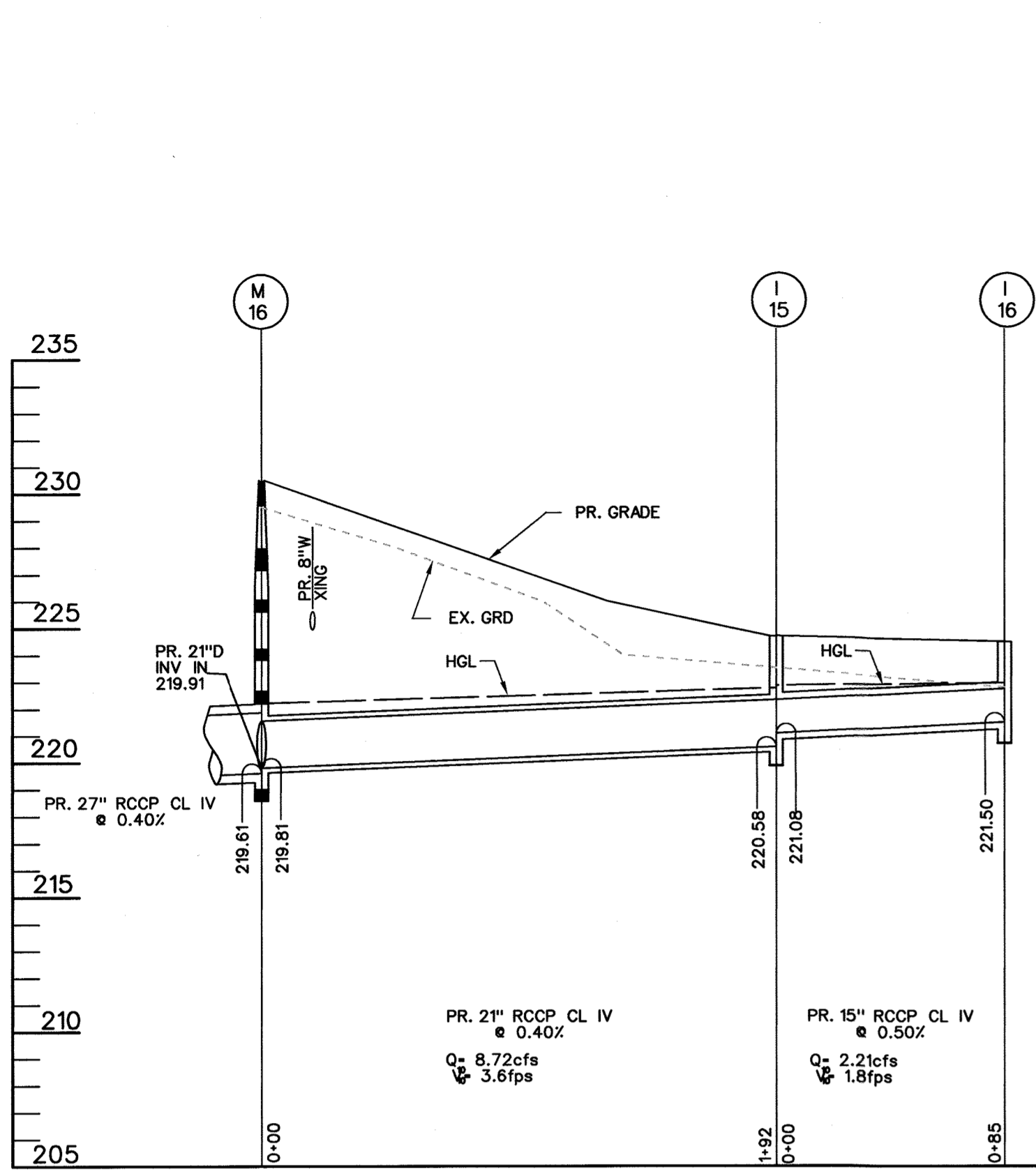
OWNER
MARYLAND FOOD CENTER AUTHORITY
7801 OCEANO AVE
JESSUP, MD 20794
PHONE (410) 379-5760
FAX (410) 379-5773

DEVELOPER / APPLICANT
MERRITT PROPERTIES, LLC
2066 LORD BALTIMORE DRIVE
BALTIMORE, MD 21244
PHONE (410) 298-2600
FAX (410) 298-9644

DATE	NO.	DESCRIPTION	BY
8/9/14	1	DELETE 50' FOOT L&E TO 10' IN (SEE SHEET C-16 FOR REVISION)	MFA

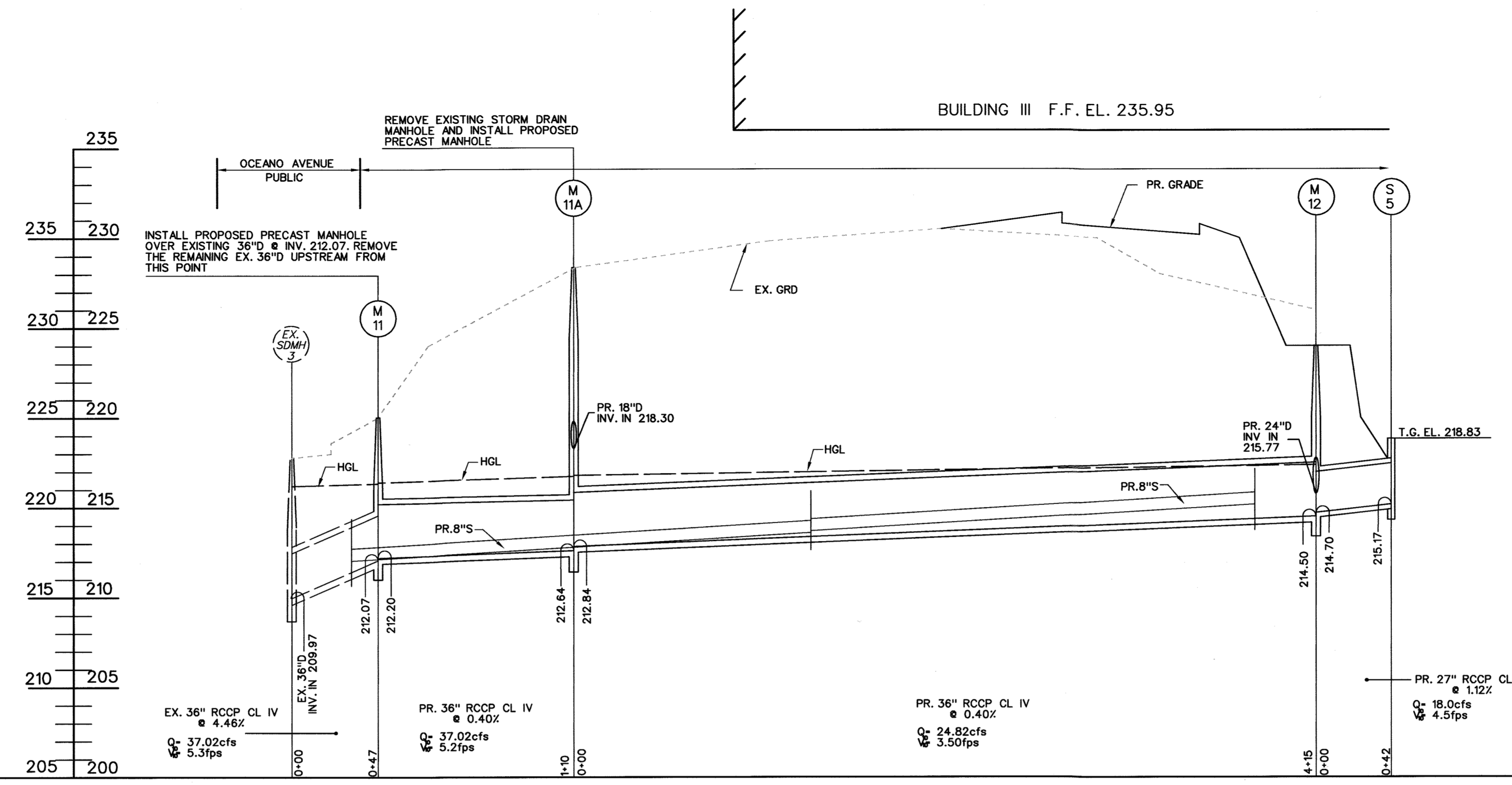
UTILITY PROFILES
STORM DRAIN
MARYLAND FOOD CENTER AUTHORITY
PARCEL B-1 & E-1
(WAREHOUSE & OFFICE)

DRAWING NO.
C-16
SHEET 16 OF 83
DATE: OCTOBER, 2014
SDP-14-068



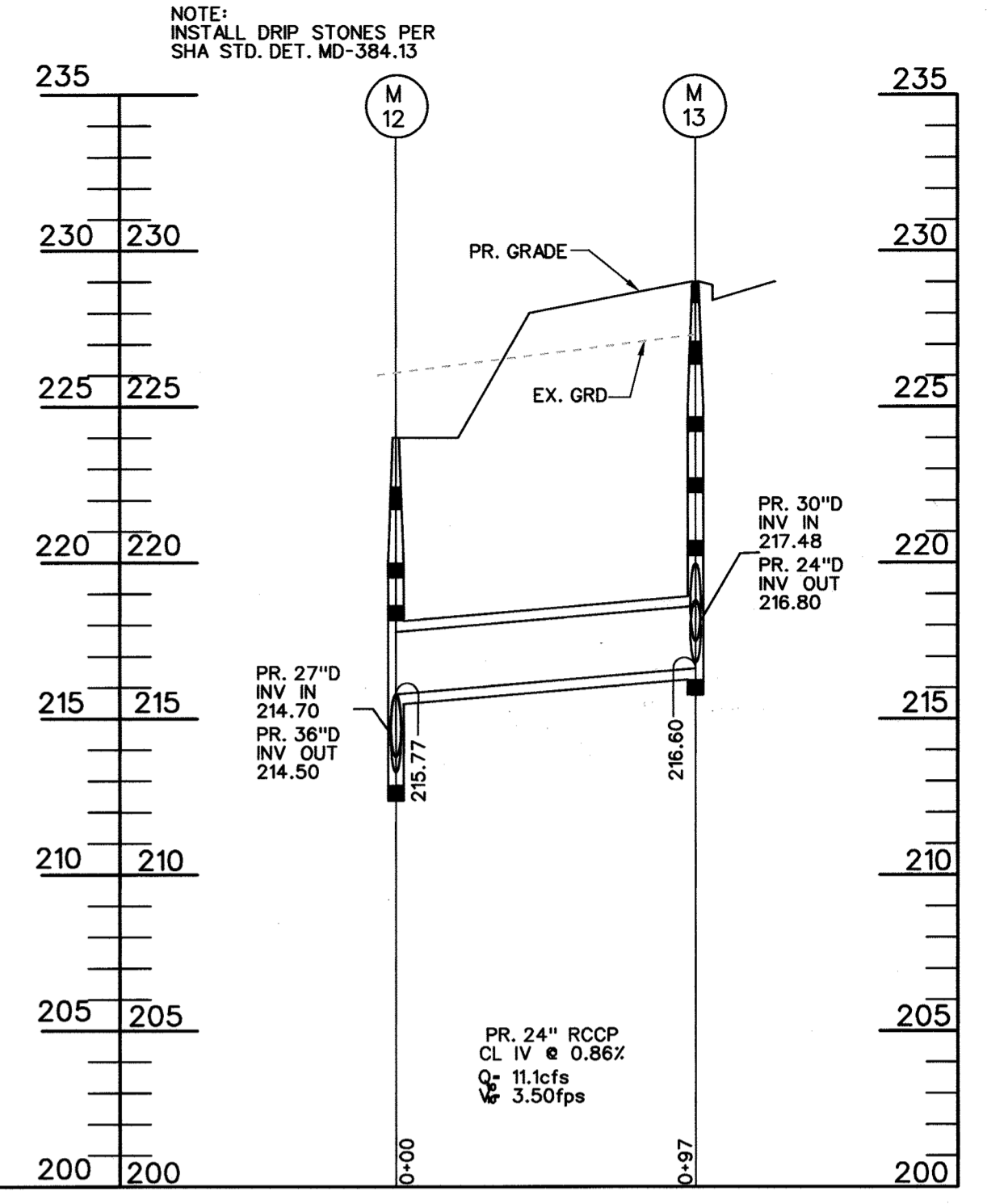
STORM DRAIN PROFILE

SCALE: H: 1" = 50'
V: 1" = 5'



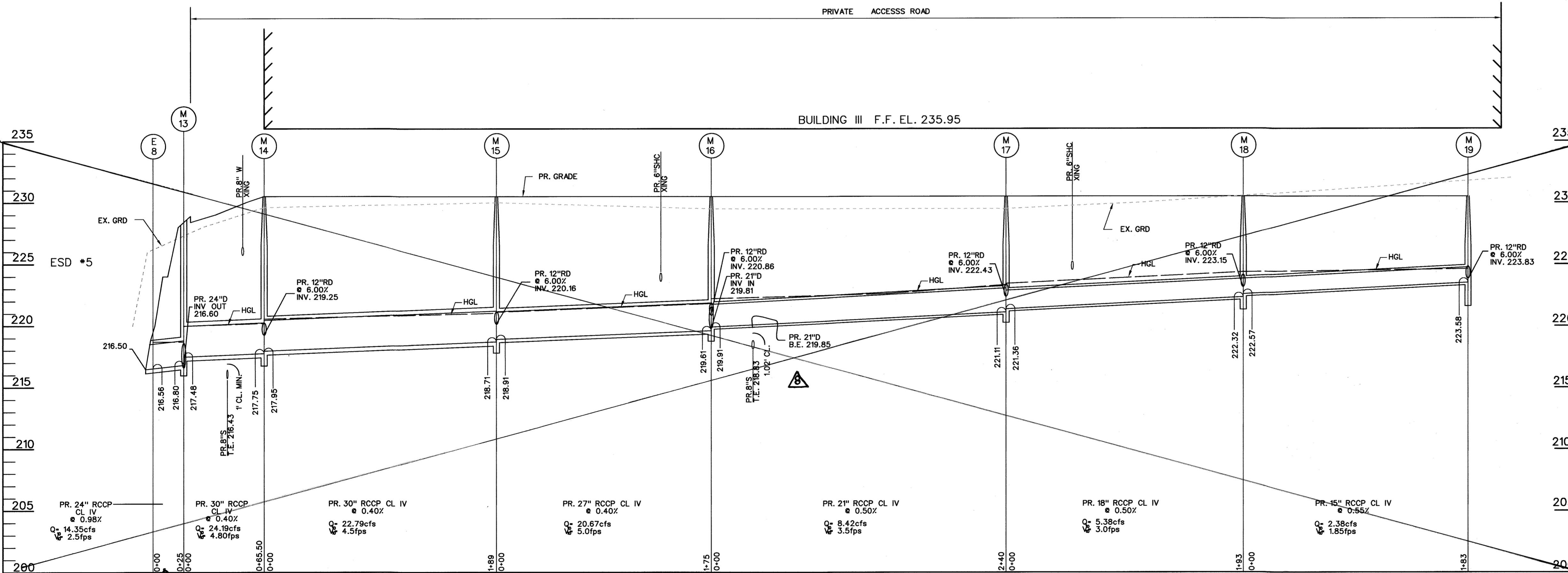
STORM DRAIN PROFILE

SCALE: H: 1" = 50'
V: 1" = 5'



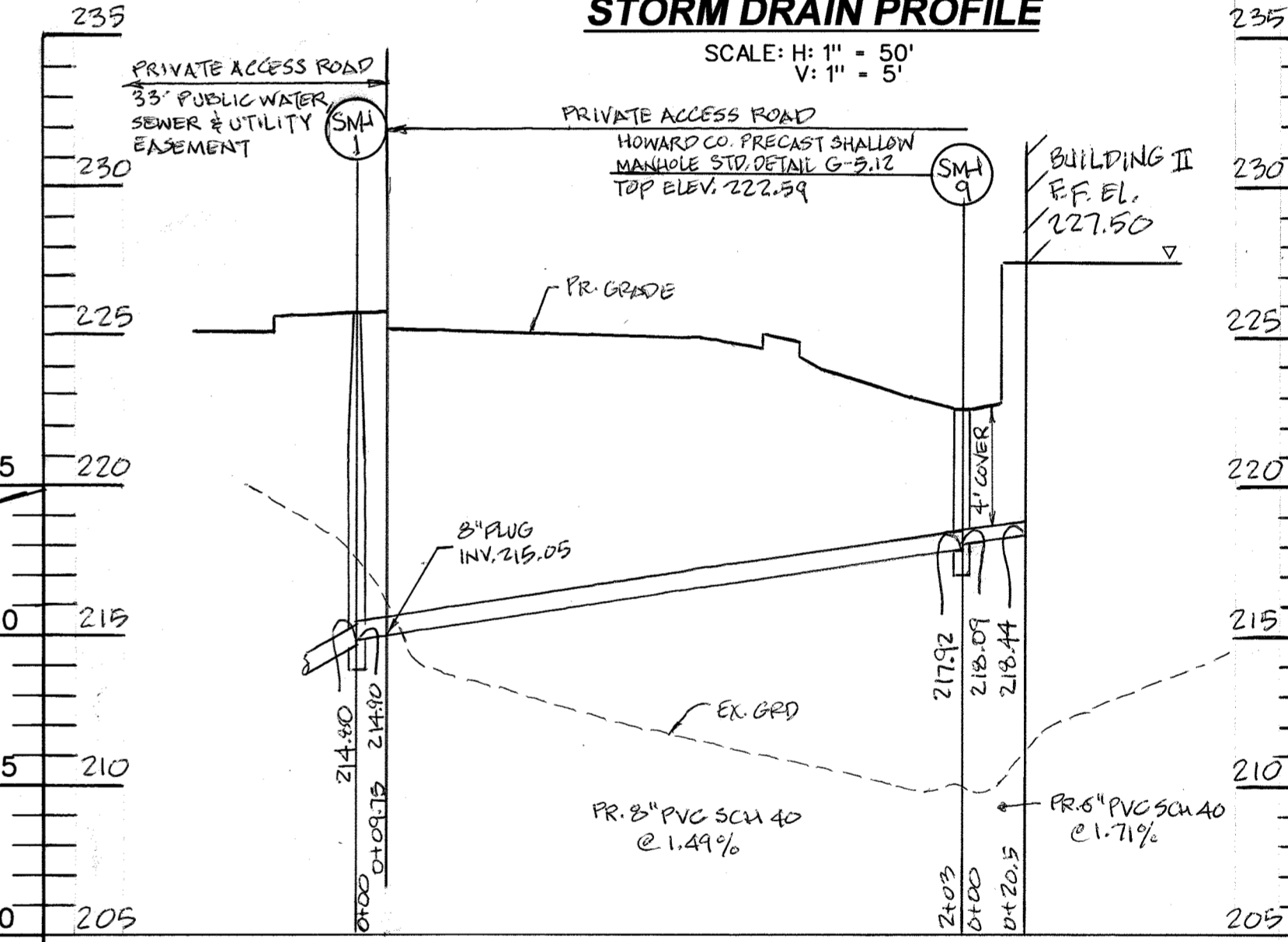
STORM DRAIN PROFILE

SCALE: H: 1" = 50'
V: 1" = 5'



STORM DRAIN PROFILE

SCALE: H: 1" = 50'
V: 1" = 5'



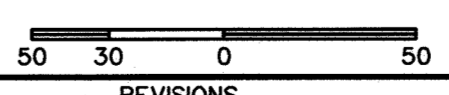
SANITARY SEWER PROFILE

SCALE: H: 1" = 50'
V: 1" = 5'

Messick & Associates
CONSULTING ENGINEERS,
PLANNERS AND SURVEYORS
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ANAPOLIS, MARYLAND 21401
(410) 298-2712 • FAX (410) 298-3522
www.messick.com • messick@messick.com

Professional Certification. I hereby certify that this document was prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland.
License No. 22098 Expiration Date: 9/10/2022

THE COORDINATE SYSTEM OF ALL DRAWINGS IS BASED ON THE NORTH AMERICAN DATUM OF 1983. THE ELEVATION SYSTEM OF ALL DRAWINGS IS BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988.
HORZ: NAD 83/91; VERT: NAVD 88



APPROVED: DEPARTMENT OF PLANNING AND ZONING

<i>Chief, Development Engineering Division</i>	11-6-14
<i>Chief, Division of Land Development</i>	11-20-14
<i>Director</i>	11/21/14

ADDRESS CHART

LOT / PARCEL NO.	STREET ADDRESS
PARCEL B-1	7901 OCEANO AVENUE
PARCEL E-1	7775 CHESAPEAKE BAY COURT

PERMIT INFORMATION CHART

SUBDIVISION NAME	MARYLAND FOOD CENTER AUTHORITY	SECTION / AREA	3	LOT / PARCEL NO.	B-1/662 & E-1/696
PLAT NO. or L/F	23017-23021	GRID NO.	21	ZONING	M-2
TAX MAP NO.	43	ELEC. DIST.	6TH	CENSUS TRACT	6069.01

BLDG

Baltimore Land Design Group Inc.
Consulting Engineers
230 SCHILLING CIRCLE, SUITE 364 • HUNT VALLEY, MARYLAND 21031
PHONE: 410.229.9851 • FAX: 410.229.9865 • BLDG@BLDGINC.COM



PROFESSIONAL CERTIFICATION

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OWNER

MARYLAND FOOD CENTER AUTHORITY
7801 OCEANO AVE
JESSUP, MD 21074
PHONE (410) 379-5760
FAX (410) 379-5773

DEVELOPER / APPLICANT

MERRITT PROPERTIES, LLC
2066 LORD BALTIMORE DRIVE
BALTIMORE, MD 21244
PHONE (410) 298-2600
FAX (410) 298-9644

DATE	NO.	DESCRIPTION	BY
11/20/14	1	REVISED FIRST FLOOR ELEVATION, HANDICAP SPACES AND UTILITY CONNECTIONS FOR BUILDING III	BLDG
07/21	2	ADDED PRIVATE ACCESS ROAD (SEE SHEET C-16 FOR REVISION)	MFA

UTILITY PROFILES
STORM DRAIN

MARYLAND FOOD CENTER AUTHORITY
PARCEL B-1 & E-1
(WAREHOUSE & OFFICE)

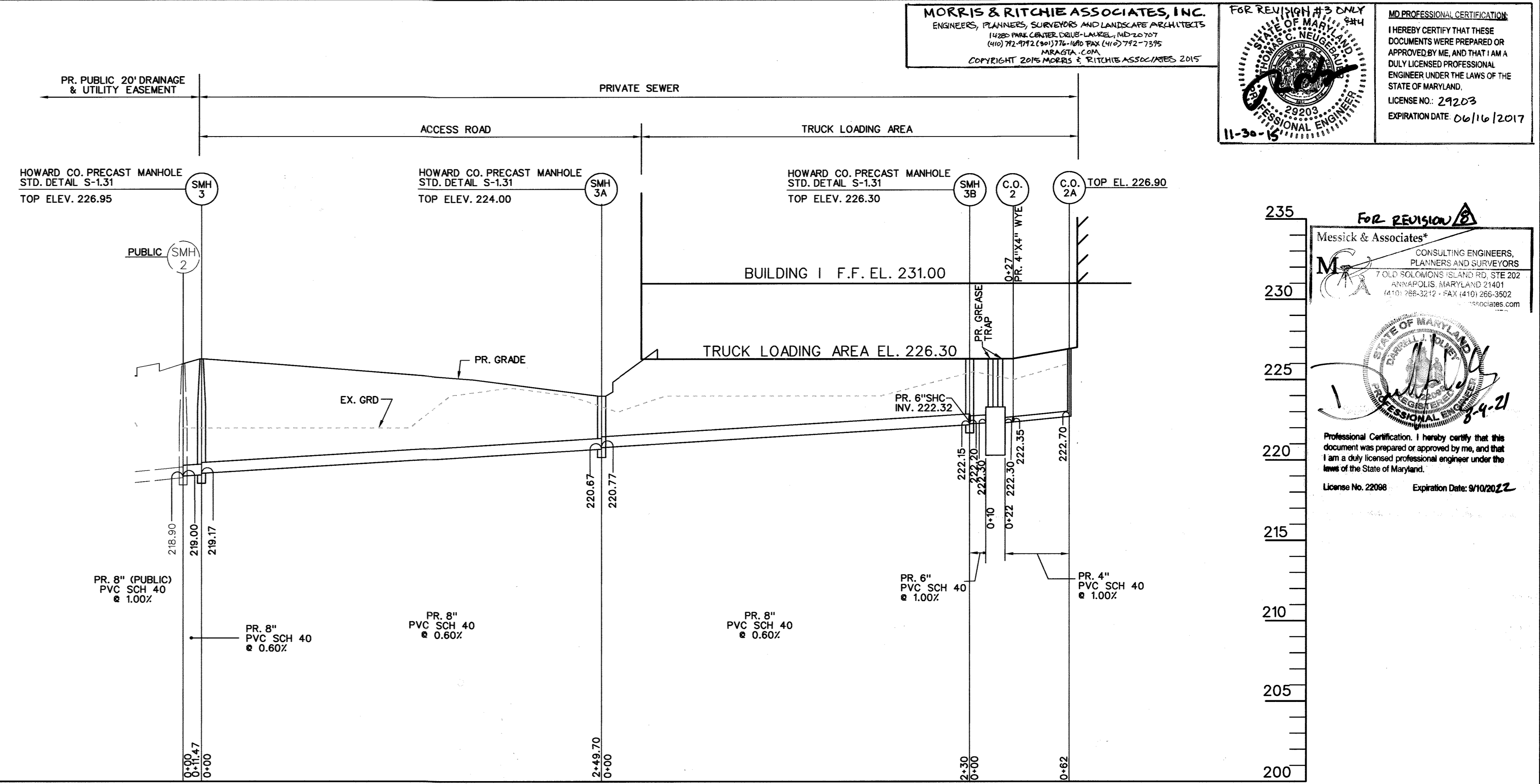
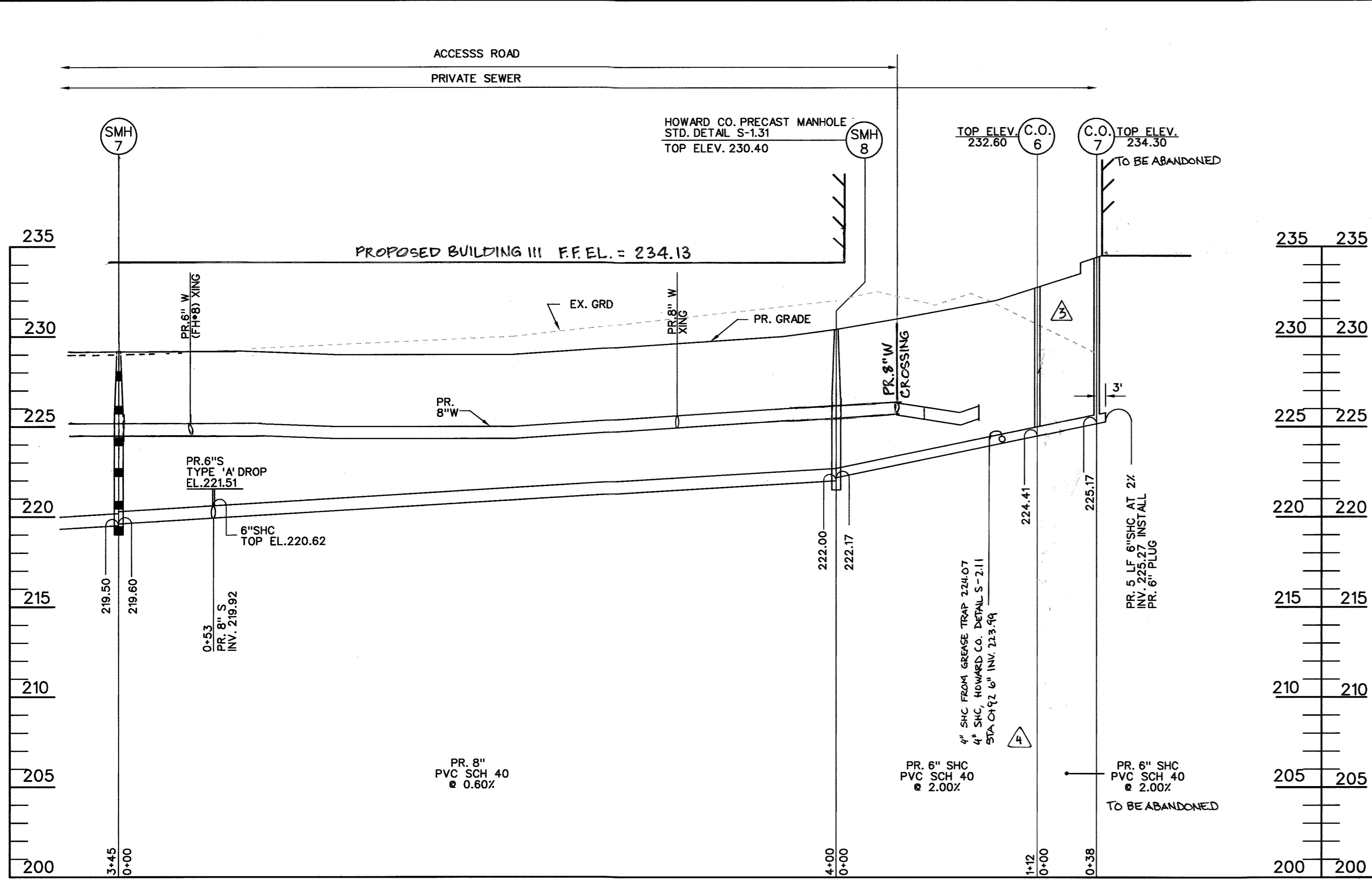
HOWARD COUNTY, MARYLAND
SCALE: 1" = 50'

DATE: OCTOBER, 2014

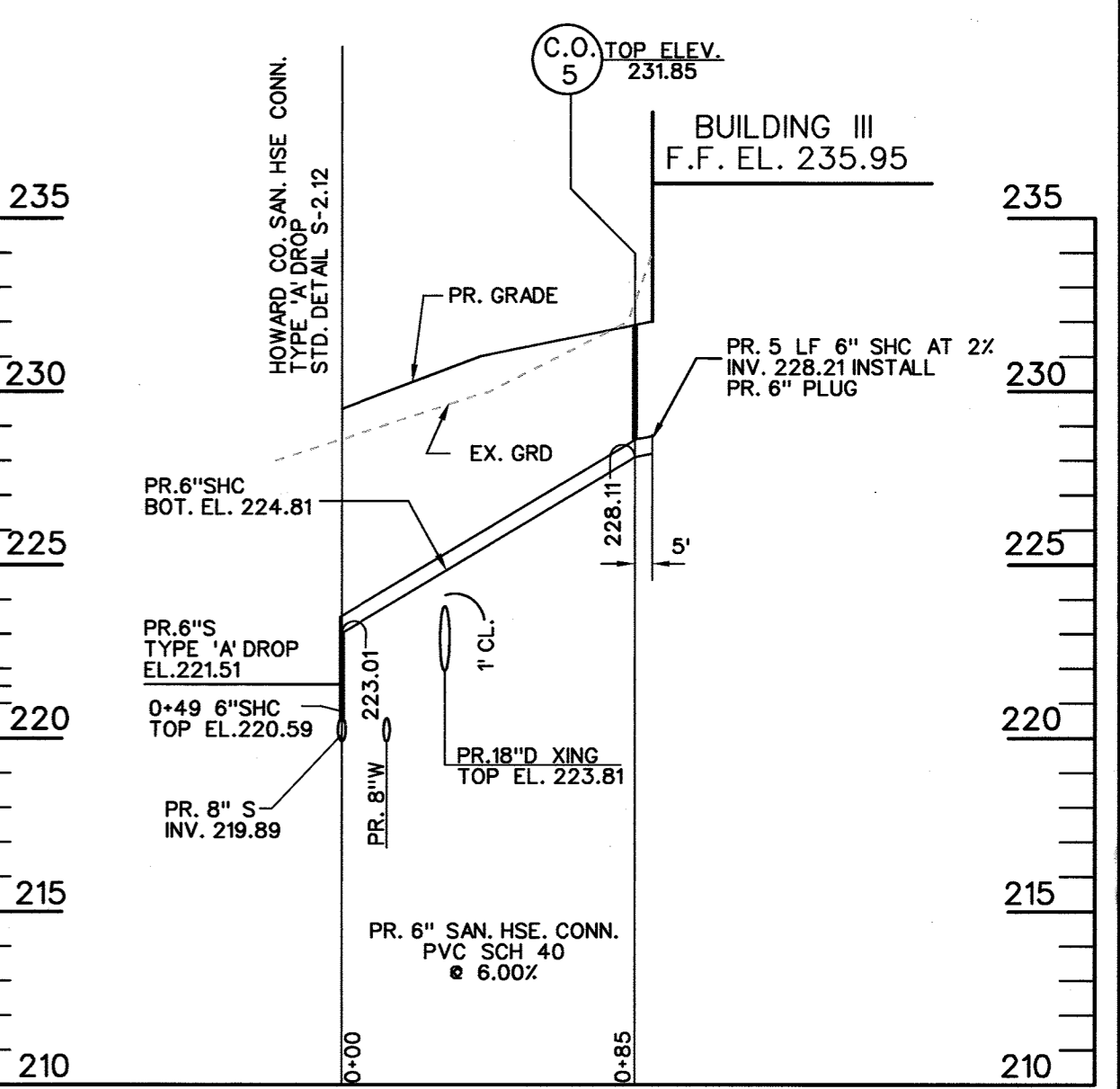
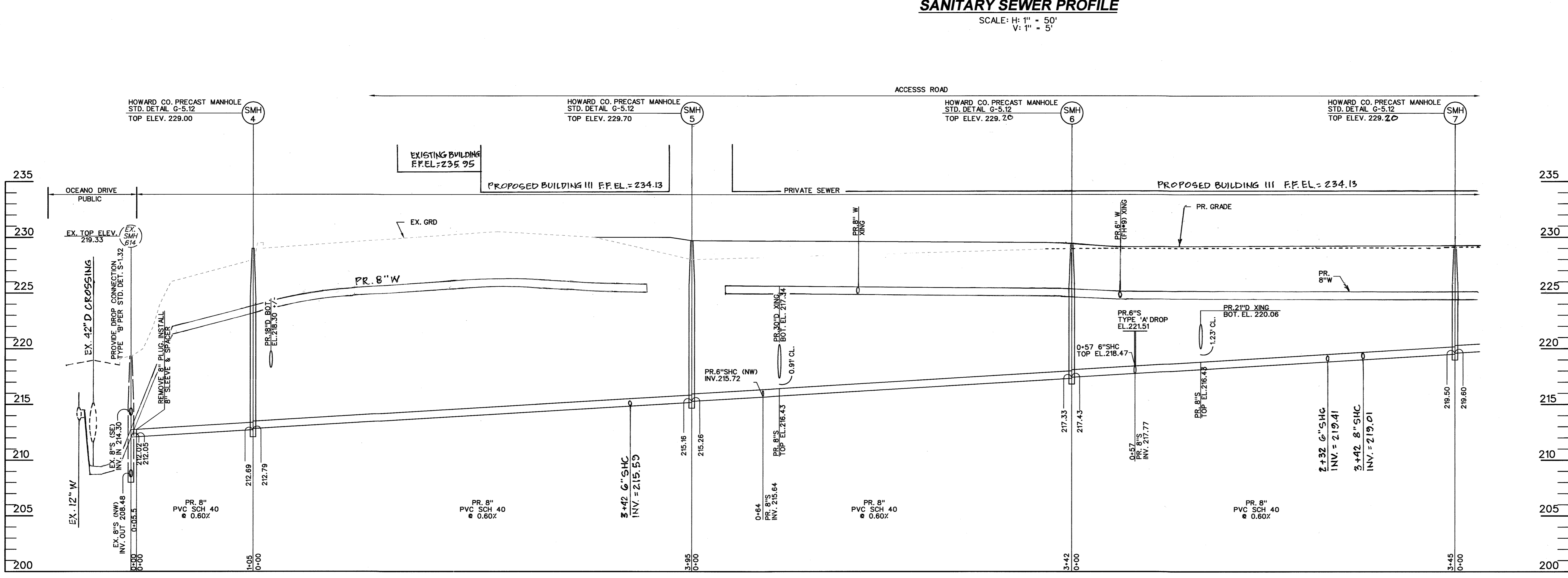
DRAWING NO.

C-17

SHEET 17 OF 83



SANITARY SEWER PROFILE
SCALE: H: 1" = 50'
V: 1" = 5'



SANITARY SEWER PROFILE
SCALE: H: 1" = 50'
V: 1" = 5'

APPROVED: DEPARTMENT OF PLANNING AND ZONING

[Signature] 2-9-15
Chief, Development Engineering Division Date

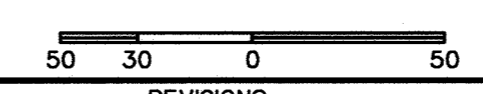
[Signature] 2-12-15
Chief, Division of Land Development Date

[Signature] 2/17/15
Director Date

ADDRESS CHART	
LOT / PARCEL NO.	STREET ADDRESS
PARCEL B-1	7901 OCEANO AVENUE
PARCEL E-1	7775 CHESAPEAKE BAY COURT
PARCEL B-1	7725 CHESAPEAKE BAY COURT (TRUCK WASH FACILITY)

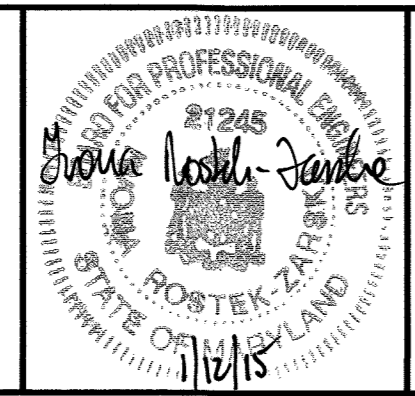
PERMIT INFORMATION CHART			
SUBDIVISION NAME	SECTION / AREA	LOT / PARCEL NO.	
MARYLAND FOOD CENTER AUTHORITY	3	B-1/662 & E-1/696	
PLAT NO. or L/F	GRID NO.	ZONING	TAX MAP NO.
23017-23021	21	M-2	43
			ELEC. DIST.
			6TH
			CENSUS TRACT
			8068.01

THE COORDINATE SYSTEM OF ALL DRAWINGS IS BASED ON THE NORTH AMERICAN DATUM OF 1983. THE ELEVATION SYSTEM OF ALL DRAWINGS IS BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988.
HORIZ: NAD 83/91 VERT: NAVD 88



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Consulting Engineers

230 SCHILLING CIRCLE, SUITE 364 • HUNT VALLEY, MARYLAND 21031
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PROFESSIONAL CERTIFICATION

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OWNER
MARYLAND FOOD CENTER AUTHORITY

7801 OCEANO AVE
JESSUP, MD 20794
PHONE (410) 379-5760
FAX (410) 379-5773

DEVELOPER / APPLICANT
MERRITT PROPERTIES, LLC

2066 LORD BALTIMORE DRIVE
BALTIMORE, MD 21244
PHONE (410) 298-2600
FAX (410) 298-9644

DATE	NO.	DESCRIPTION	BY
12/01/14	1	RELOCATED PRIVATE SEWER LINE ALONG BUILDING I, MOVED TWO (2) SEWER PROFILES FROM THIS SHEET TO SHEET C-14.	BLDG
9/18/15	2	REPLACED BUILDING IV WITH TRUCK WASH-OUT STATION	MRA
11/12/16	3	REVISED GREASE TRAP FOR TRUCK WASH-OUT STATION	MRA
8/9/21	4	REVISE WATER & SEWER PROFILES	MRA

REVISED SITE DEVELOPMENT PLAN
REVISED UTILITY PROFILES
SANITARY SEWER

MARYLAND FOOD CENTER AUTHORITY
PARCEL B-1 & E-1
(WAREHOUSE & OFFICE)

HOWARD COUNTY, MARYLAND
SCALE: 1" = 50'

DATE: DECEMBER, 2014

DRAWING NO. **C-18**
SHEET 18 OF 83
SDP-14-068

PARCEL E-1 BEARING AND DISTANCES	
BEARING	DISTANCE
1	S 51° 32' 53" W 750.78'
2	N 38° 27' 07" W 485.00'
3	N 51° 32' 53" E 219.79'
4	N 76° 09' 12" E 354.39'
5	S 38° 27' 07" E 283.44'
6	N 51° 32' 53" E 85.33'
7	R=44.0'
8	N 03° 46' 06" W 54.55'
9	R=356.00'
10	N 08° 45' 23" E 87.35'
11	R=344.00'
12	N 13° 51' 05" W 9.70'
13	R=59.00'
14	S 81° 14' 36" E 66.68'
15	S 08° 45' 23" W 311.43'
16	S 29° 48' 50" E 107.67'

SEDIMENT CONTROL LEGEND		SEQUENCE OF OPERATION	
LIMIT OF DISTURBANCE	-----	1. OBTAIN GRADING PERMIT.	
SILT FENCE	— SF	2. NOTIFY HOWARD COUNTY DEPARTMENT OF PERMITS AND LICENSES 48 HOURS PRIOR TO BEGINNING WORK. (1 DAY)	
SUPER SILT FENCE	— SSF	3. CLEAR AND GRUB FOR INSTALLATION OF ALL PERIMETER SEDIMENT AND EROSION CONTROL MEASURES AND DEVICES. (2 DAYS)	
STABILIZED CONSTRUCTION ENTRANCE	[Symbol]	4. INSTALL ALL PERIMETER SEDIMENT AND EROSION CONTROL MEASURES AND DEVICES INCLUDING STABILIZED CONSTRUCTION ENTRANCE, SUPER SILT FENCE, SUPER SILT FENCE, CONSTRUCTION FENCE AND TEMPORARY GABION OUTLET STRUCTURE AS SHOWN ON THE PLAN. PLEASE NOTE THAT WORK ON THE SEDIMENT BASIN MAY NOT BEGIN UNTIL THE NECESSARY STRUCTURES TO BUILD THE SEDIMENT BASIN ARE ON SITE AND READY TO BE INSTALLED. (3 DAYS)	
MOUNTABLE BERM TYPE A	[Symbol]	5. WITH PERMISSION FROM THE SEDIMENT CONTROL INSPECTOR, CLEAN/GRADE EXISTING SEDIMENT BASIN AS SHOWN ON THE PLAN, REPLACE EXISTING METAL RISER WITH PROPOSED RELEASE STRUCTURE S-1 AS SHOWN ON SHEET C-23, INSTALL STORM DRAIN SYSTEM FROM M-1 TO S-4, BRICK BULKHEAD 24" DRAIN FROM M-2 TO M-1, PROVIDE TEMPORARY PIPE FROM M-2 TO SEDIMENT BASIN. (5 DAYS)	
ROCK OUTLET PROTECTION	[Symbol]	6. WITH PERMISSION FROM THE SEDIMENT CONTROL INSPECTOR, BEGIN GRADING OPERATIONS FOR BUILDING I ONLY AS WELL AS SUPPORTING PARKING SPACES IN FRONT OF THE BUILDING AND TRUCK LOADING AREA AT THE REAR OF THE BUILDING, MAINTAIN POSITIVE DRAINAGE TO SEDIMENT CONTROL MEASURES AND DEVICES AT ALL TIMES. (10 DAYS)	
AT GRADE INLET PROTECTION	[Symbol]	7. BEGIN CONSTRUCTION OF BUILDING I ONLY AS WORK PROGRESSES, INSTALL STORM DRAIN SYSTEM 24" DRAIN FROM M-13 TO M-12, INSTALL SANITARY SEWER LINE FROM EX. SEWER MANHOLE SOUTHWEST OF BUILDING I AND WATER LINE FROM EX. WP WATER LINE NEXT TO CHESAPEAKE BAY COURT TO THE FRONT OF BUILDING I. NO GRADING IS TO BE PERFORMED BEYOND THE LIMITS OF THE TRUCK LOADING AREA AND PARKING ASSOCIATED WITH BUILDING I. (30 DAYS)	
CURB INLET PROTECTION	[Symbol]	8. FINE GRADE AREA ADJACENT TO BUILDING I ONLY. CONTINUE WITH BUILDING CONSTRUCTION. (10 DAYS)	
REMOVABLE PUMP STATION	[Symbol]	9. INSTALL STONE SUBBASE AND CONCRETE CURB & GUTTER FOR PARKING AND TRUCK LOADING AREA SUPPORTING BUILDING I ONLY. STABILIZE THE REMAINING AREAS NEXT TO BUILDING I WITH PERMANENT SEED AND MULCH. (5 DAYS)	
TEMPORARY GABION OUTLET STRUCTURE	[Symbol]	10. ONCE CONTRIBUTING DRAINAGE AREAS ARE STABILIZED WITH ESTABLISHED VEGETATION, INSTALL ESD PRACTICE #3 & #4 AS SHOWN ON THE STORM WATER MANAGEMENT PLANS, REMOVE BRICK BULKHEAD 24" DRAIN FROM M-8 TO E-6 (20 DAYS)	
NOTE: ADDITIONAL SEDIMENT CONTROLS MUST BE PROVIDED, IF DEEMED NECESSARY BY THE HOWARD COUNTY DPW SEDIMENT CONTROL INSPECTOR.		11. PROCEED WITH PAVING AND LANDSCAPING INSTALLATIONS FOR AREAS IMMEDIATELY ADJACENT TO BUILDING I ONLY. (5 DAYS)	
		12. WITH PERMISSION FROM THE SEDIMENT CONTROL INSPECTOR, BEGIN GRADING THE REST OF THE AREA EXCEPT AREAS ADJACENT TO BUILDING II AS SHOWN ON THE PLAN, MAINTAIN POSITIVE DRAINAGE TO SEDIMENT CONTROL MEASURES AND DEVICES AT ALL TIMES. (5 DAYS)	
		13. CONTINUE WITH GRADING OPERATIONS, BEGIN CONSTRUCTION OF BUILDING II & IV ONLY. INSTALL RETAINING WALL AS WORK PROGRESSES, INSTALL ALL REMAINING UTILITIES EXCEPT FOR UTILITIES WITHIN ESD PRACTICE #2 & #5. PROVIDE TEMPORARY PIPE FROM M-10 TO SEDIMENT BASIN. (10 DAYS)	
		14. FINE GRADE AREA ADJACENT TO BUILDINGS II & IV ONLY. CONTINUE WITH BUILDING CONSTRUCTION. (25 DAYS)	
		15. INSTALL STONE SUBBASE AND CONCRETE CURB & GUTTER WITHIN AREAS TO BE PAVED EXCEPT FOR AREA ADJACENT TO BUILDING III. STABILIZE THE REMAINING AREAS WITH PERMANENT SEED AND MULCH. (12 DAYS)	
		16. WITH PERMISSION FROM THE SEDIMENT CONTROL INSPECTOR, BEGIN GRADING THE AREA UNDER AND ADJACENT TO BUILDING II AS SHOWN ON THE PLAN, MAINTAIN POSITIVE DRAINAGE TO SEDIMENT CONTROL MEASURES AND DEVICES AT ALL TIMES. (5 DAYS)	
		17. CONTINUE WITH GRADING OPERATIONS, BEGIN CONSTRUCTION OF BUILDING III.	
		18. FINE GRADE AREA ADJACENT TO BUILDING III. CONTINUE WITH BUILDING CONSTRUCTION.	
		19. INSTALL STONE SUBBASE AND CONCRETE CURB & GUTTER WITHIN AREAS TO BE PAVED ADJACENT TO BUILDING III. STABILIZE THE REMAINING AREAS WITH PERMANENT SEED AND MULCH. (12 DAYS)	
		20. ONCE CONTRIBUTING DRAINAGE AREAS ARE STABILIZED WITH ESTABLISHED VEGETATION, FLUSH PROPOSED STORM DRAIN SYSTEM, INSTALL ESD PRACTICE #2 AND #5. REMOVE BRICK BULKHEAD OF 24" DRAIN FROM M-13 TO M-12. (3 DAYS)	
		21. WITH PERMISSION FROM THE SEDIMENT CONTROL INSPECTOR, CONVERT SEDIMENT BASIN INTO STORM PRACTICE AREA ADJACENT TO BUILDING III AS SHOWN ON THE PLAN, INSTALL CONCRETE BAFFLE WALL WITHIN RELEASE STRUCTURE AS SHOWN ON SHEET C-32, CAP / UNBLOCK ANY OPENINGS MADE DURING CONSTRUCTION AS SHOWN ON SHEET C-32, REMOVE BRICK BULKHEAD 24" DRAIN FROM M-2 TO M-1 AND CAP/BLOCK ANY OPENINGS MADE IN RELATION TO THE INSTALLATION OF TEMPORARY DIVERSION PIPES, INSTALL ALL UTILITIES WITHIN ESD PRACTICE #1 AS SHOWN ON THE STORMWATER MANAGEMENT PLANS. (2 DAYS)	
		22. WITH PERMISSION FROM THE SEDIMENT CONTROL INSPECTOR, REMOVE ALL REMAINING SEDIMENT AND EROSION CONTROL MEASURES AND DEVICES, STABILIZE ANY REMAINING DISTURBED AREAS. (3 DAYS)	
		23. PROCEED WITH PAVING AND LANDSCAPING INSTALLATIONS FOR ALL REMAINING AREAS. (10 DAYS)	

Messick & Associates
CONSULTING ENGINEERS, PLANNERS AND SURVEYORS
7015 SPOONCHING RD AND 1015 EYE RD
ANNE ARBOR, MARYLAND 21401
TEL: (410) 298-3212 FAX: (410) 298-3002
WWW.MESSICKGROUP.COM

Professional Certification. I hereby certify that this drawing was prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland.
License No. 22098 Expiration Date: 9/10/2022

MARYLAND WHOLESALE FOOD CENTER, SECTION 2, PARCEL C3
PLAT: 7405
THE MARYLAND FOOD CTR AUTHORITY
THE WHOLESALE FOOD MARKET AUTHORITY
T.M.43 P.666 LOT.F2
TAX ID: #448323
DEED: 6503/120
ZONED: M-2

MARYLAND WHOLESALE FOOD CENTER, SECTION 3, PARCEL C
PLAT: 6088
BRE/DP MD, LLC
C/O PROPERTY TAX DEPT.
T.M.43 P.666
TAX ID: #488315
DEED: 1411/134
ZONED: M-2

MARYLAND WHOLESALE FOOD CENTER, SECTION 3, PARCEL D
PLAT: 6722
TARBAY HOLDINGS, LLC
C/O MANAGEMENT INC.
T.M.43 P.666 LOT.D
TAX ID: #268918
DEED: 14079/248
ZONED: M-2

MARYLAND WHOLESALE FOOD CENTER, SECTION 3, PARCEL F
PLAT: 12210
SYSCO FOOD SERVICES OF BALTIMORE, LLC
T.M.43 P.666 LOT.F
TAX ID: #554326
DEED: 7553/7
ZONED: M-2

MARYLAND WHOLESALE FOOD CENTER, SECTION 3, PARCEL A
PLAT: 74341
THE MARYLAND FOOD CTR AUTHORITY
T.M.43 P.678 LOT.P.A.
TAX ID: #312063
DEED: 510/205
ZONED: M-2

MARYLAND WHOLESALE FOOD CENTER, SECTION 3, PARCEL E
PLAT: 12210
TARBAY HOLDINGS, LLC
C/O MANAGEMENT INC.
T.M.43 P.666 LOT.E
TAX ID: #268918
DEED: 14079/248
ZONED: M-2

MARYLAND WHOLESALE FOOD CENTER, SECTION 3, PARCEL G
PLAT: 12210
TARBAY HOLDINGS, LLC
C/O MANAGEMENT INC.
T.M.43 P.666 LOT.G
TAX ID: #268918
DEED: 14079/248
ZONED: M-2

MARYLAND WHOLESALE FOOD CENTER, SECTION 3, PARCEL H
PLAT: 12210
TARBAY HOLDINGS, LLC
C/O MANAGEMENT INC.
T.M.43 P.666 LOT.H
TAX ID: #268918
DEED: 14079/248
ZONED: M-2

MARYLAND WHOLESALE FOOD CENTER, SECTION 3, PARCEL I
PLAT: 12210
TARBAY HOLDINGS, LLC
C/O MANAGEMENT INC.
T.M.43 P.666 LOT.I
TAX ID: #268918
DEED: 14079/248
ZONED: M-2

MARYLAND WHOLESALE FOOD CENTER, SECTION 3, PARCEL J
PLAT: 12210
TARBAY HOLDINGS, LLC
C/O MANAGEMENT INC.
T.M.43 P.666 LOT.J
TAX ID: #268918
DEED: 14079/248
ZONED: M-2

MARYLAND WAREHOUSE, LLC
C/O AMB PROPERTY CORPORATION
T.M.43 P.649 LOT.C1
TAX ID: #439705
DEED: 0742/236
ZONED: M-2

MARYLAND WHOLESALE FOOD CENTER, SECTION 3, PARCEL K
PLAT: 12210
TARBAY HOLDINGS, LLC
C/O MANAGEMENT INC.
T.M.43 P.666 LOT.K
TAX ID: #268918
DEED: 14079/248
ZONED: M-2

MARYLAND WHOLESALE FOOD CENTER, SECTION 3, PARCEL L
PLAT: 12210
TARBAY HOLDINGS, LLC
C/O MANAGEMENT INC.
T.M.43 P.666 LOT.L
TAX ID: #268918
DEED: 14079/248
ZONED: M-2

MARYLAND WHOLESALE FOOD CENTER, SECTION 3, PARCEL M
PLAT: 12210
TARBAY HOLDINGS, LLC
C/O MANAGEMENT INC.
T.M.43 P.666 LOT.M
TAX ID: #268918
DEED: 14079/248
ZONED: M-2

MARYLAND WHOLESALE FOOD CENTER, SECTION 3, PARCEL N
PLAT: 12210
TARBAY HOLDINGS, LLC
C/O MANAGEMENT INC.
T.M.43 P.666 LOT.N
TAX ID: #268918
DEED: 14079/248
ZONED: M-2

MARYLAND WHOLESALE FOOD CENTER, SECTION 3, PARCEL O
PLAT: 12210
TARBAY HOLDINGS, LLC
C/O MANAGEMENT INC.
T.M.43 P.666 LOT.O
TAX ID: #268918
DEED: 14079/248
ZONED: M-2

MARYLAND WHOLESALE FOOD CENTER, SECTION 3, PARCEL P
PLAT: 12210
TARBAY HOLDINGS, LLC
C/O MANAGEMENT INC.
T.M.43 P.666 LOT.P
TAX ID: #268918
DEED: 14079/248
ZONED: M-2

MARYLAND WHOLESALE FOOD CENTER, SECTION 3, PARCEL Q
PLAT: 12210
TARBAY HOLDINGS, LLC
C/O MANAGEMENT INC.
T.M.43 P.666 LOT.Q
TAX ID: #268918
DEED: 14079/248
ZONED: M-2

MARYLAND WHOLESALE FOOD CENTER, SECTION 3, PARCEL R
PLAT: 12210
TARBAY HOLDINGS, LLC
C/O MANAGEMENT INC.
T.M.43 P.666 LOT.R
TAX ID: #268918
DEED: 14079/248
ZONED: M-2

MARYLAND WHOLESALE FOOD CENTER, SECTION 3, PARCEL S
PLAT: 12210
TARBAY HOLDINGS, LLC
C/O MANAGEMENT INC.
T.M.43 P.666 LOT.S
TAX ID: #268918
DEED: 14079/248
ZONED: M-2

MARYLAND WHOLESALE FOOD CENTER, SECTION 3, PARCEL T
PLAT: 12210
TARBAY HOLDINGS, LLC
C/O MANAGEMENT INC.
T.M.43 P.666 LOT.T
TAX ID: #268918
DEED: 14079/248
ZONED: M-2

MARYLAND WHOLESALE FOOD CENTER, SECTION 3, PARCEL U
PLAT: 12210
TARBAY HOLDINGS, LLC
C/O MANAGEMENT INC.
T.M.43 P.666 LOT.U
TAX ID: #268918
DEED: 14079/248
ZONED: M-2

MARYLAND WHOLESALE FOOD CENTER, SECTION 3, PARCEL V
PLAT: 12210
TARBAY HOLDINGS, LLC
C/O MANAGEMENT INC.
T.M.43 P.666 LOT.V
TAX ID: #268918
DEED: 14079/248
ZONED: M-2

MARYLAND WHOLESALE FOOD CENTER, SECTION 3, PARCEL W
PLAT: 12210
TARBAY HOLDINGS, LLC
C/O MANAGEMENT INC.
T.M.43 P.666 LOT.W
TAX ID: #268918
DEED: 14079/248
ZONED: M-2

MARYLAND WHOLESALE FOOD CENTER, SECTION 3, PARCEL X
PLAT: 12210
TARBAY HOLDINGS, LLC
C/O MANAGEMENT INC.
T.M.43 P.666 LOT.X
TAX ID: #268918
DEED: 14079/248
ZONED: M-2

MARYLAND WHOLESALE FOOD CENTER, SECTION 3, PARCEL Y
PLAT: 12210
TARBAY HOLDINGS, LLC
C/O MANAGEMENT INC.
T.M.43 P.666 LOT.Y
TAX ID: #268918
DEED: 14079/248
ZONED: M-2

MARYLAND WHOLESALE FOOD CENTER, SECTION 3, PARCEL Z
PLAT: 12210
TARBAY HOLDINGS, LLC
C/O MANAGEMENT INC.
T.M.43 P.666 LOT.Z
TAX ID: #268918
DEED: 14079/248
ZONED: M-2

SEE SHEET C-69 FOR REVISED NOTES

STANDARD SEDIMENT CONTROL NOTES

- A MINIMUM OF 48 HOURS NOTICE MUST BE GIVEN TO THE HOWARD COUNTY DEPARTMENT OF PERMITS AND LICENSES PRIOR TO THE START OF ANY CONSTRUCTION.
- ALL VEGETATIVE AND STRUCTURAL PRACTICES ARE TO BE INSTALLED ACCORDING TO THE PROVISIONS OF THIS PLAN AND ARE TO BE IN CONFORMANCE WITH THE MOST CURRENT MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL AND REVISIONS THERE TO.
- FOLLOWING INITIAL SOIL DISTURBANCE OR REDISTURBANCE, PERMANENT OR TEMPORARY STABILIZATION SHALL BE COMPLETED WITHIN:
 - A THREE (3) CALENDAR DAYS FOR ALL PERIMETER SEDIMENT CONTROL STRUCTURES, DIKES, PERIMETER SLOPES AND ALL SLOPES GREATER THAN 3:1.
 - SEVEN (7) DAYS AS TO ALL OTHER DISTURBED AREAS ON THE PROJECT SITE.
- ALL DISTURBED AREAS MUST BE STABILIZED WITHIN THE TIME PERIOD SPECIFIED ABOVE IN ACCORDANCE WITH THE "2011 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL" FOR PERMANENT SEEDING (SEC. B-4-5), TEMPORARY SEEDING (SEC. B-4-4) AND MULCHING (SEC. B-4-3). TEMPORARY STABILIZATION WITH MULCH ALONE CAN ONLY BE DONE WHEN RECOMMENDED SEEDING DATES DO NOT ALLOW FOR PROPER GERMINATION AND ESTABLISHMENT OF GRASSES.
- ALL SEDIMENT CONTROL STRUCTURES ARE TO REMAIN IN PLACE AND ARE TO BE MAINTAINED IN OPERATIVE CONDITION UNTIL PERMISSION FOR THEIR REMOVAL HAS BEEN OBTAINED FROM THE HOWARD COUNTY SEDIMENT CONTROL INSPECTOR.
- SITE ANALYSIS:

TOTAL SITE AREA	35.98	ACRES +/-
AREA TO BE ROOFED OR PAVED	24.13	ACRES +/-
AREA TO BE VEGETATIVELY STABILIZED	17.80	ACRES +/-
TOTAL CUT	50,000	CUBIC YARDS +/-
OFF-SITE WASTE/BORROW AREA LOCATION WASTE	50,000	CUBIC YARDS +/-
- EARTH QUANTITY VOLUMES ARE PROVIDED FOR THE CONVENIENCE OF THE CONTRACTOR. CONTRACTOR IS ADVISED TO PERFORM HIS OWN ANALYSIS PRIOR TO PLACING A BID ON THIS ITEM.
- ANY SEDIMENT CONTROL PRACTICE WHICH IS DISTURBED BY GRADING ACTIVITY FOR PLACEMENT OF UTILITIES MUST BE REPAIRED ON THE SAME DAY OF DISTURBANCE.
- ADDITIONAL SEDIMENT CONTROLS MUST BE PROVIDED, IF DEEMED NECESSARY BY THE HOWARD COUNTY DEPARTMENT OF PERMITS AND LICENSES.
- ON ALL SITES WITH DISTURBED AREAS IN EXCESS OF 2 ACRES, APPROVAL OF THE INSPECTION AGENCY SHALL BE REQUESTED UPON COMPLETION OF INSTALLATION OF PERIMETER SEDIMENT AND EROSION CONTROL STRUCTURES, BUT BEFORE PROCEEDING WITH ANY OTHER EARTH DISTURBANCE OR GRADING. OTHER BUILDING OR GRADING INSPECTION APPROVALS MAY NOT BE AUTHORIZED UNTIL THIS INITIAL APPROVAL BY THE INSPECTION AGENCY IS MADE.
- TRENCHES FOR THE CONSTRUCTION OF UTILITIES IS LIMITED TO THREE PILE LENGTHS OR THAT WHICH SHALL BE BACK-FILLED AND STABILIZED WITHIN ONE DAY, WHICHEVER IS SHORTER.
- A PROJECT IS TO BE SEQUENCED SO THAT GRADING ACTIVITIES BEGIN ON ONE GRADING UNIT (OR GRADING AREA OF 20 AC. PER GRADING UNIT) AT A TIME. WORK MAY PROCEED TO A SUBSEQUENT GRADING UNIT AT LEAST 50 PERCENT OF THE DISTURBED AREA IN THE PRECEDING GRADING UNIT HAS TO BE STABILIZED AND APPROVED BY THE ENFORCEMENT AUTHORITY, UNLESS OTHERWISE SPECIFIED AND APPROVED BY THE APPROVAL AUTHORITY, NO MORE THAN 30 ACRES CUMULATIVELY MAY BE DISTURBED AT A GIVEN TIME.
- THE STOCKPILE MUST BE BENCHED IF IT EXCEEDS 15 FEET IN HEIGHT.

PHASING LEGEND

PHASING LINE
PHASE I - 16.39 Ac
PHASE II - 7.74 Ac
TOTAL LIMIT OF DISTURBANCE - 24.13 Ac

NO MORE THAN 20 ACRES OF GRADING MAY BE "OPEN" AT ANY ONE TIME WITHOUT PRIOR WRITTEN ALLOWANCE FROM HOWARD SCD.

REVISIONS

DATE	NO.	DESCRIPTION	BY
9/18/15	1	REPLACED BUILDING IV WITH TRUCK WASH-OUT STATION	MRA
9/11/2019	2	REMOVED TRUCK WASH AND CHESAPEAKE BAY CT. TO CHESAPEAKE BAY CT.	ELC/D
8/1/21	3	REMOVED 30' DIAMETER WATER + SD (SEE SHEET C-19)	M+A

MORRIS & RITCHE ASSOCIATES, INC.
ENGINEERS, PLANNERS, SURVEYORS AND LANDSCAPE ARCHITECTS
1480 PARK CENTER DRIVE - LAUREL, MD 20707
(410) 786-2070 (800) 778-9800 FAX (410) 786-2982
MRA@GTA.COM

FOR REVISION #3 ONLY
NO PROFESSIONAL CERTIFICATION
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DAILY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 29003, EXPIRATION DATE: 06/16/2017.

DATE: 8/16/2017

THE COORDINATE SYSTEM OF ALL DRAWINGS IS BASED ON THE NORTH AMERICAN DATUM OF 1983. THE ELEVATION SYSTEM OF ALL DRAWINGS IS BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988.
HORIZ: NAD 83/01; VERT: NAVD 88

HOWARD COUNTY, MARYLAND
SCALE: 1" = 100'

This development plan is approved for soil erosion and sediment control by the HOWARD COUNTY DEPARTMENT OF PERMITS AND LICENSES.
John K. Blunt 12/15/15
Date

DEVELOPER'S CERTIFICATE
I/We certify that all development and construction will be done according to this plan for sediment and erosion control, and that all responsible personnel in the construction project will have a Certificate of Attendance at a Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the Howard Soil Conservation District.
Abdul 10-15-14
Date

ENGINEER'S CERTIFICATE
I certify that this plan for sediment and erosion control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District.
Iwona Rostek-Zoraska 10-15-14
Date

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
John K. Blunt 12-29-15
DATE
Kate Johnson 12-31-15
DATE
John K. Blunt 1-3-16
DATE

ADDRESS CHART	
LOT / PARCEL NO.	STREET ADDRESS
PARCEL B-1	7901 OCEANO AVENUE
PARCEL E-1	7775 CHESAPEAKE BAY COURT

PERMIT INFORMATION CHART			
SUBDIVISION NAME	SECTION / AREA	LOT / PARCEL NO.	
MARYLAND FOOD CENTER AUTHORITY	3	B-1/662 & E-1/696	
PLAT NO. OR L/F	GRID NO.	ZONING	TAX MAP NO.
25017-23021	21	M-2	43
ELEC. DIST.	CENSUS TRACT		
6TH	6089.01		

REVISOR SITE DEVELOPMENT PLAN
EROSION AND SEDIMENT CONTROL PLAN
OVERALL PLAN
MARYLAND FOOD CENTER AUTHORITY
PARCEL B-1 & E-1
(WAREHOUSE & OFFICE)
C-19
SHEET 19 OF 83
DATE: OCTOBER, 2014

BLDG
Baltimore Land Design Group Inc.
Consulting Engineers
230 SCHILLING CIRCLE, SUITE 364 • HUNT VALLEY, MARYLAND 21031
PHONE: 410.229.9851 • FAX: 410.229.9865 • BLDG@BLDGINC.COM

Professional Engineer Seal for Iwona Rostek-Zoraska, License No. 21245, State of Maryland.

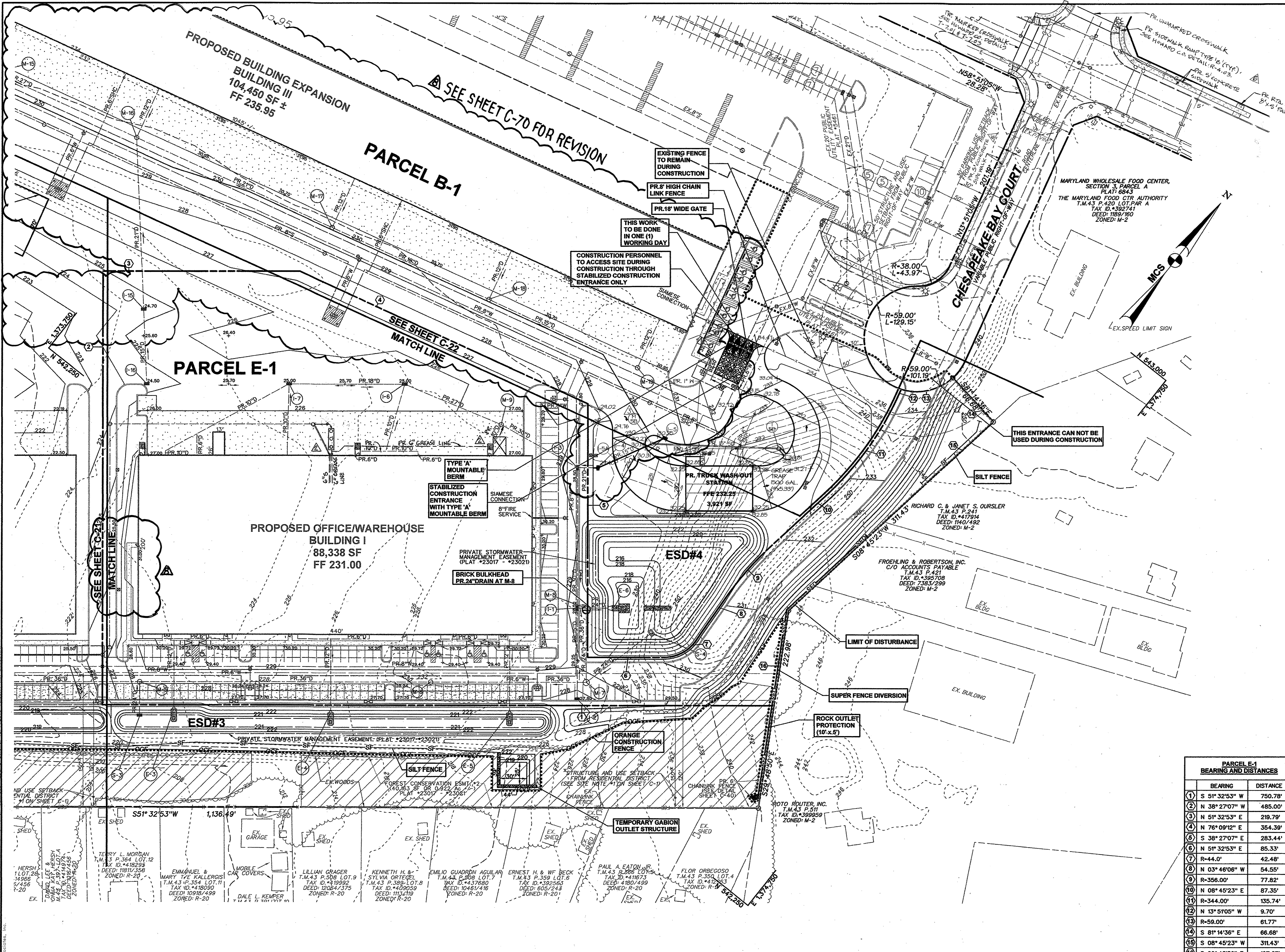
PROFESSIONAL CERTIFICATION
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 21245, EXPIRATION DATE: JUNE 9, 2016.

OWNER
MARYLAND FOOD CENTER AUTHORITY
7801 OCEANO AVE
BETHESDA, MD 20784
PHONE (410) 379-5760
FAX (410) 379-5773

DEVELOPER / APPLICANT
MERRITT PROPERTIES, LLC
2066 LORD BALTIMORE DRIVE
BALTIMORE, MD 21244
PHONE (410) 298-2600
FAX (410) 298-9644

DATE	NO.	DESCRIPTION	BY
9/18/15	1	REPLACED BUILDING IV WITH TRUCK WASH-OUT STATION	MRA
9/11/2019	2	REMOVED TRUCK WASH AND CHESAPEAKE BAY CT. TO CHESAPEAKE BAY CT.	ELC/D
8/1/21	3	REMOVED 30' DIAMETER WATER + SD (SEE SHEET C-19)	M+A

DATE: OCTOBER, 2014
SHEET 19 OF 83
SDP-14-068



Messick & Associates
CONSULTING ENGINEERS, PLANNERS AND SURVEYORS
7 OLD SOLOMONS ISLAND RD, STE 202
ANNAPOLIS, MARYLAND 21401
(410) 286-3212 • FAX (410) 266-3002
E-MAIL: h.ward@messickandassociates.com
* MESSICK GROUP INC. TIA MESSICK & ASSOCIATES

STATE OF MARYLAND
PROFESSIONAL ENGINEER
Professional Certification. I hereby certify that this document was prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland.
License No. 22069 Expiration Date: 9/10/2022

MORRIS & RITCHIE ASSOCIATES, INC.
ENGINEERS, PLANNERS, SURVEYORS AND LANDSCAPE ARCHITECTS
1430 PARK CENTER DRIVE - LAUREL, MD 20707
(410) 766-9997 (301) 776-9888 FAX (410) 762-2986
MRA@GMAIL.COM

FOR REVIEWERS ONLY
MD PROFESSIONAL CERTIFICATION
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NO. 22023 EXPIRATION DATE: 06/16/2017.

THE COORDINATE SYSTEM OF ALL DRAWINGS IS BASED ON THE NORTH AMERICAN DATUM OF 1983. THE ELEVATION SYSTEM OF ALL DRAWINGS IS BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988.
HORZ: NAD 83/91; VERT: NAVD 88

This development plan is approved for soil erosion and sediment control by the HOWARD SOIL CONSERVATION DISTRICT.
John R. Rostek
Howard Co. SCD 12/15/15
Date

DEVELOPER'S CERTIFICATE
"I/We certify that all development and construction will be done according to this plan for sediment and erosion control, and that all responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I/We authorize periodic on-site inspection by the Howard Soil Conservation District."
Stuart Ford
Stuart Ford 1/12/15
Date

ENGINEER'S CERTIFICATE
"I certify that this plan for sediment and erosion control represents a practical and workable plan based on my personal knowledge of site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District."
Wrona Rostek-Zorska
Wrona Rostek-Zorska, P.E. 21245 1/12/15
Date

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
Walter J. Joplin
Walter J. Joplin 12-29-15
DATE
Kurt E. Leach
Kurt E. Leach 12-31-15
DATE
Walter J. Joplin
Walter J. Joplin 1-3-16
DATE
DIRECTOR, DEPARTMENT OF PLANNING AND ZONING

ADDRESS CHART	
LOT / PARCEL NO.	STREET ADDRESS
PARCEL B-1	7901 OCEANO AVENUE
PARCEL E-1	7775 CHESAPEAKE BAY COURT

PERMIT INFORMATION CHART		
SUBDIVISION NAME	SECTION / AREA	LOT / PARCEL NO.
MARYLAND FOOD CENTER AUTHORITY	3	B-1/662 & E-1/696
PLAT NO. or L/F	GRID NO.	ZONING
23017-23021	21	M-2
TAX MAP NO.	ELEC. DIST.	CENSUS TRACT
43	6TH	6069.01

PARCEL E-1 BEARING AND DISTANCES	
BEARING	DISTANCE
① S 51° 32' 53" W	750.78'
② N 38° 27' 07" W	485.00'
③ N 51° 32' 53" E	219.79'
④ N 76° 09' 12" E	354.39'
⑤ S 38° 27' 07" E	283.44'
⑥ N 51° 32' 53" E	85.33'
⑦ R-44.0'	42.48'
⑧ N 03° 46' 06" W	54.55'
⑨ R-356.00'	77.82'
⑩ N 08° 45' 23" E	87.35'
⑪ R-344.00'	135.74'
⑫ N 13° 51' 05" W	9.70'
⑬ R-59.00'	61.77'
⑭ S 81° 14' 36" E	66.68'
⑮ S 08° 45' 23" W	311.43'
⑯ S 29° 48' 50" E	107.67'

REVISIONS			
DATE	NO.	DESCRIPTION	BY
12/01/14	1	ADDED DOORS, SIDEWALK AND ROOF DRAINS.	BLDG
05/01/15	2	RELOCATED HANDICAP SPACES AND PRIVATE SEWER LINE FOR BUILDING I.	BLDG
9/18/15	3	ADDITION OF A CONTAINMENT BASIN AND RE-ALIGNING PRIVATE GRADE TRAP.	BLDG
9/17/2014	4	REPLACED BUILDING IV WITH TRUCK WASH-OUT STATION.	MRA
8/19/12	5	REVISIONS TO 3 FOOTING, WATER + SD (SEE SHEET C-70)	M+R

EROSION AND SEDIMENT CONTROL PLAN
PLAN VIEW I
MARYLAND FOOD CENTER AUTHORITY
PARCEL B-1 & E-1 (WAREHOUSE & OFFICE)
DRAWING NO. **C-20**
SHEET 20 OF 83
SDP-14-068

BLDG
Baltimore Land Design Group Inc.
Consulting Engineers
230 SCHILLING CIRCLE, SUITE 364 • HUNT VALLEY, MARYLAND 21081
PHONE: 410.229.9851 • FAX: 410.229.9865 • BLDG@BLDGINC.COM

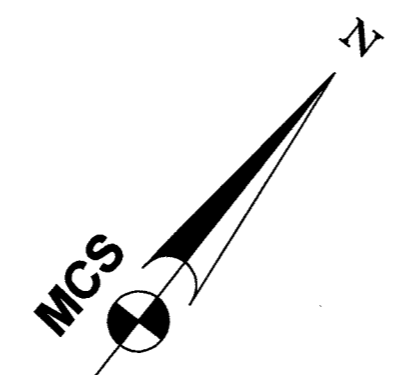
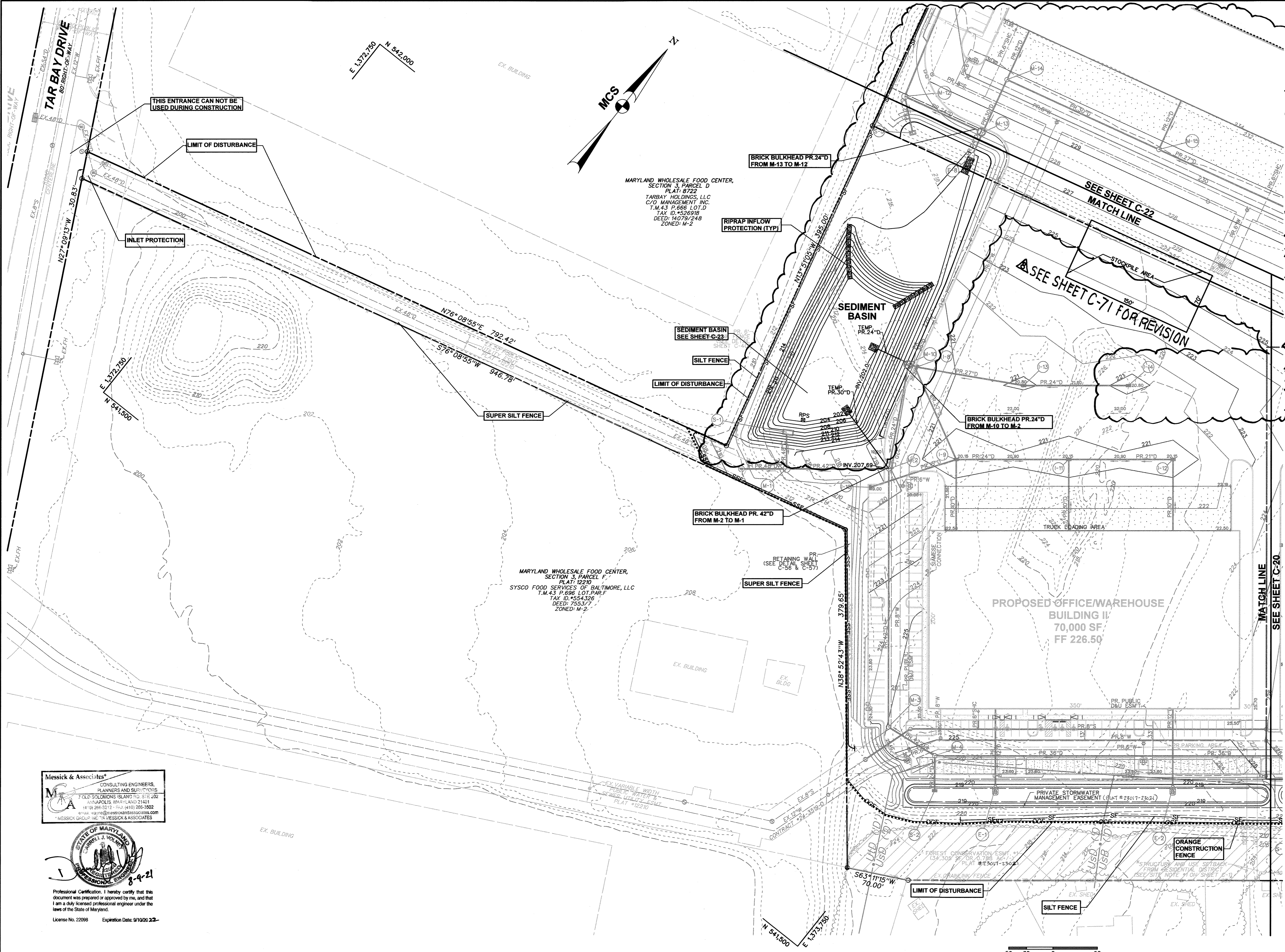


PROFESSIONAL CERTIFICATION
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 21245, EXPIRATION DATE: JUNE 9, 2016.

OWNER
MARYLAND FOOD CENTER AUTHORITY
7801 OCEANO AVE
JESSUP, MD 20794
PHONE (410) 379-5760
FAX (410) 379-5773

DEVELOPER / APPLICANT
MERRITT PROPERTIES, LLC
2066 LORD BALTIMORE DRIVE
BALTIMORE, MD 21244
PHONE (410) 298-2600
FAX (410) 298-9644

PREPARED BY: MRA, EXPLORED BY: MRA, CHECKED BY: MRA, DATE: 12/15/15, SCALE: AS SHOWN, PROJECT: 1772015, SHEET: C-20, DRAWING NO. C-20, SHEET 20 OF 83, SDP-14-068



MARYLAND WHOLESALE FOOD CENTER,
SECTION 3, PARCEL D
PLAT: 8722
TARBAY HOLDINGS, LLC
C/O MANAGEMENT INC.
T.M.43 P.666 LOT.D
TAX ID: 526918
DEED: 14079/248
ZONED: M-2

MARYLAND WHOLESALE FOOD CENTER,
SECTION 3, PARCEL F
PLAT: 12210
SYSCO FOOD SERVICES OF BALTIMORE, LLC
T.M.43 P.696 LOT.PAR.F
TAX ID: 4554326
DEED: 7553/7
ZONED: M-2

THE COORDINATE SYSTEM OF ALL DRAWINGS IS BASED ON THE NORTH AMERICAN DATUM OF 1983. THE ELEVATION SYSTEM OF ALL DRAWINGS IS BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988. HORZ: NAD 83/91; VERT: NAVD 88

This development plan is approved for soil erosion and sediment control by the HOWARD SOIL CONSERVATION DISTRICT.
John R. Krawiec 10/30/14
Howard Co. SCD Date

DEVELOPER'S CERTIFICATE
"I/We certify that all development and construction will be done according to this plan for sediment and erosion control, and that all responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the Howard Soil Conservation District."
Stuart Foard 10-15-14
Stuart Foard Date

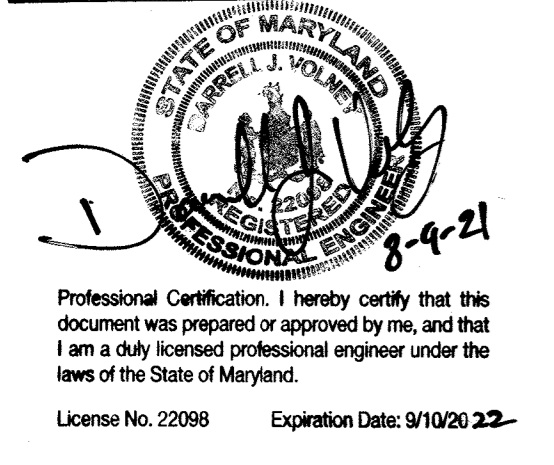
ENGINEER'S CERTIFICATE
"I certify that this plan for sediment and erosion control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District."
Iwona Rostek-Zarska 10-15-14
Iwona Rostek-Zarska, P.E. 21245 Date

APPROVED: DEPARTMENT OF PLANNING AND ZONING
John G. Smith 11-6-14
Chief, Development Engineering Division Date
Kate Schuler 11-20-14
Chief, Division of Land Development Date
Paul A. Wright 11/20/14
Director Date

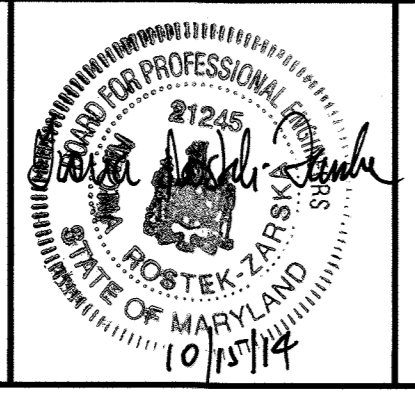
ADDRESS CHART	
LOT / PARCEL NO.	STREET ADDRESS
PARCEL B-1	7901 OCEANO AVENUE
PARCEL E-1	7775 CHESAPEAKE BAY COURT

PERMIT INFORMATION CHART					
SUBDIVISION NAME	MARYLAND FOOD CENTER AUTHORITY	SECTION / AREA	3	LOT / PARCEL NO.	B-1/662 & E-1/696
PLAT NO. or L/F	23017-23021	GRID NO.	21	ZONING	M-2
TAX MAP NO.	43	ELEC. DIST.	6TH	CENSUS TRACT	6069.01

Messick & Associates
CONSULTING ENGINEERS,
PLANNERS AND SURVEYORS
7 OLD SOLOMONS ISLAND RD., SUITE 202
ANNAPOLIS, MARYLAND 21401
(410) 286-3212 • FAX (410) 286-3902
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BLDG
Baltimore Land Design Group Inc.
Consulting Engineers
230 SCHILLING CIRCLE, SUITE 364 • HUNT VALLEY, MARYLAND 21081
PHONE: 410.229.9851 • FAX: 410.229.9865 • BLDG@BLDGINC.COM



PROFESSIONAL CERTIFICATION
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 21245, EXPIRATION DATE: JUNE 9, 2016.

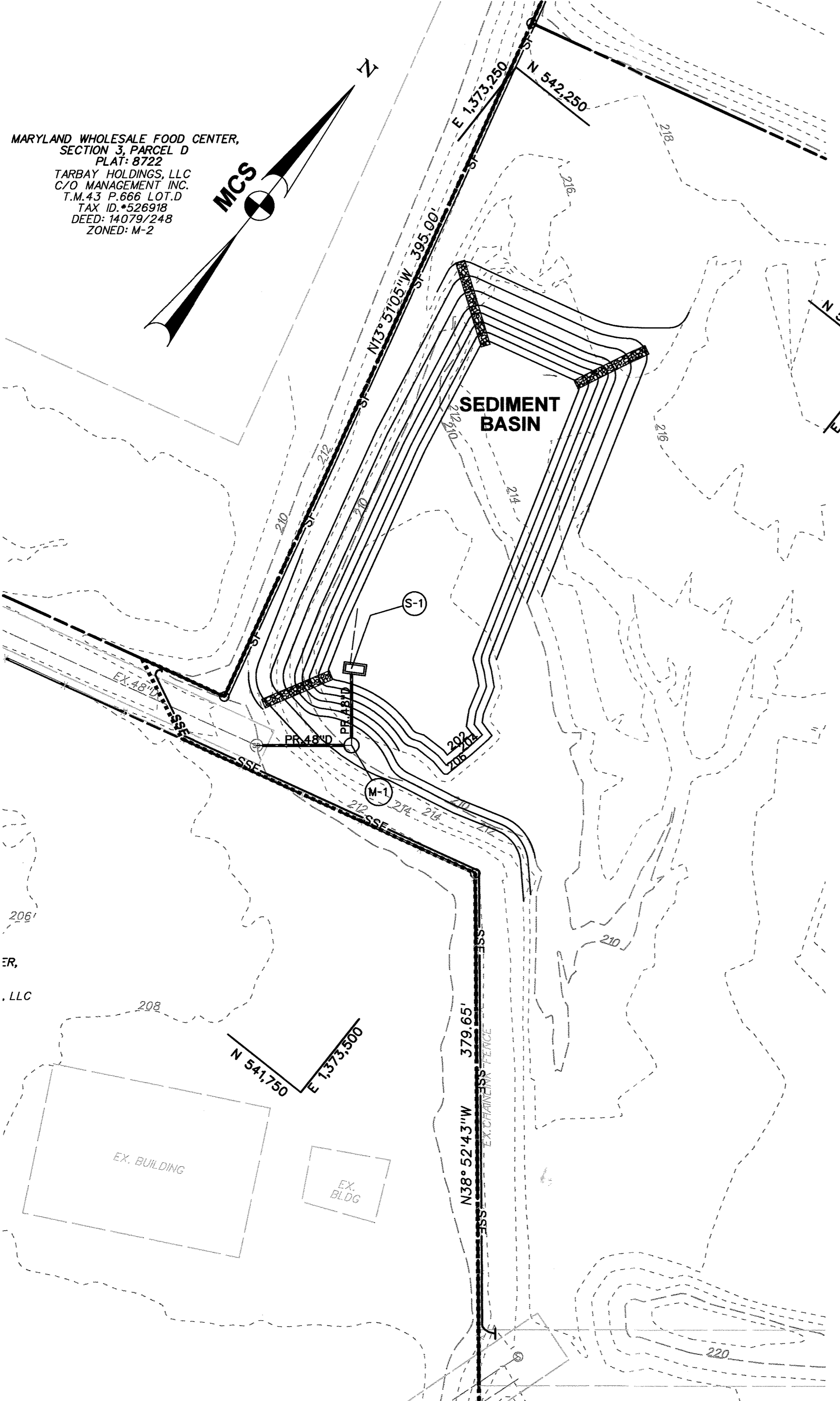
OWNER
MARYLAND FOOD CENTER AUTHORITY
7801 OCEANO AVE
JESSUP, MD 20794
PHONE (410) 379-5760
FAX (410) 379-5773

DEVELOPER / APPLICANT
MERRITT PROPERTIES, LLC
2066 LORD BALTIMORE DRIVE
BALTIMORE, MD 21244
PHONE (410) 298-2600
FAX (410) 298-9644

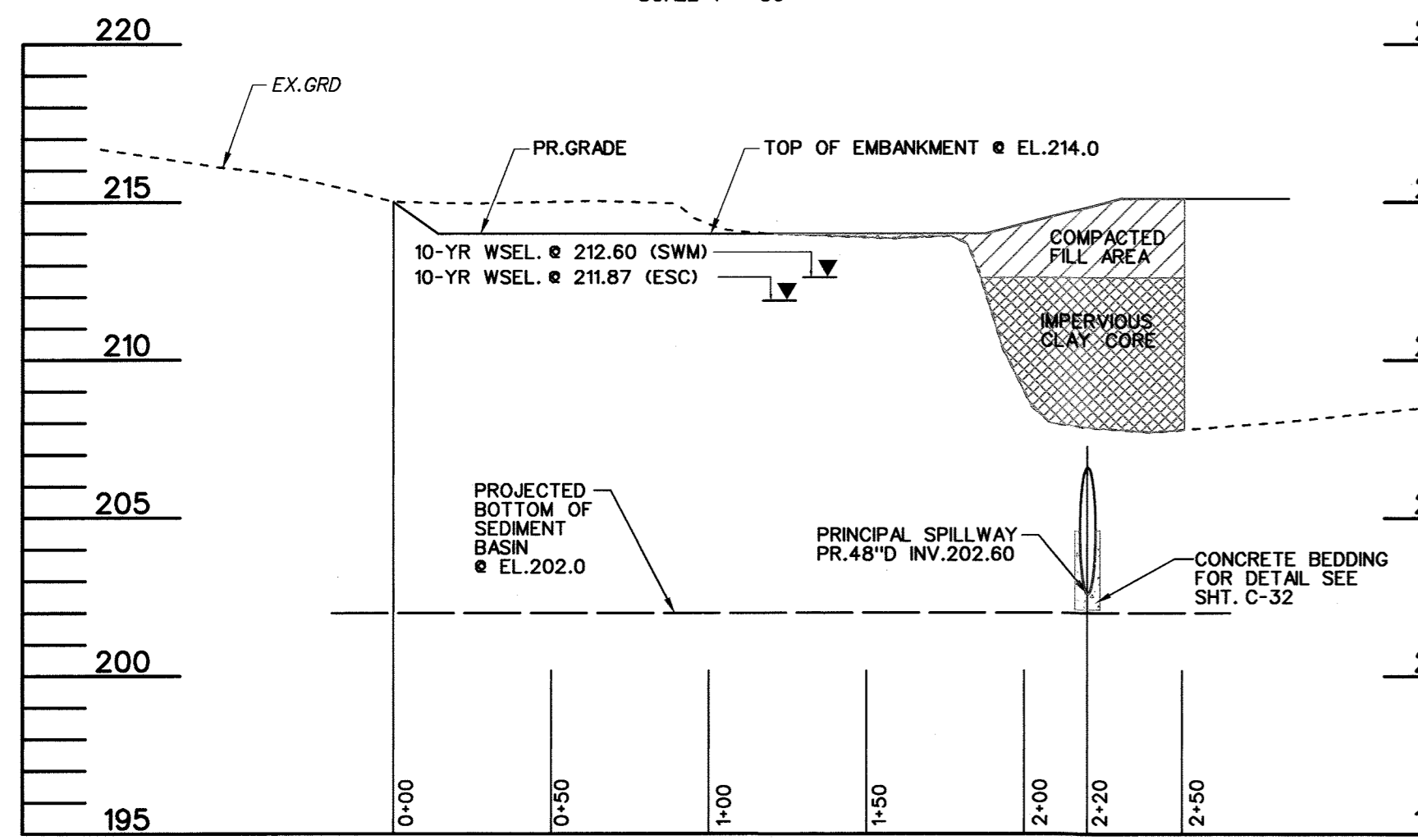
REVISIONS			
DATE	NO.	DESCRIPTION	BY
08/12/14	1	EROSION CONTROL PLAN NUMBER 6D (SEE SHEET C-71)	M+A

EROSION AND SEDIMENT CONTROL PLAN
PLAN VIEW II
MARYLAND FOOD CENTER AUTHORITY
PARCEL B-1 & E-1
(WAREHOUSE & OFFICE)
HOWARD COUNTY, MARYLAND
SCALE: 1" = 50'
DATE: OCTOBER, 2014

DRAWING NO.
C-21
SHEET 21 OF 83
SDP-14-068



INITIAL GRADING - SEDIMENT BASIN
SCALE: 1" = 50'



SECTION A-A
SCALE: H: 1" = 50' V: 1" = 5'

CONSTRUCTION SPECIFICATIONS

1. Install sediment control practices necessary to construct basin. Clear and grub to remove trees, vegetation, roots or other obstructions from the area where the embankment is to be placed. Do not clear the pool area until completion of the embankment; unless the pool area is to be used for borrow. Salvage topsoil for later use.
2. Excavate cut-off trench along centerline of proposed embankment a minimum depth of 4 feet and a bottom (min. 4 feet) wide enough to permit operation of excavation and compaction equipment. Construct side slopes 1:1 or flatter. Cut-off trench must be continuous and extend the entire length of embankment. Compaction requirements are the same as those for the embankment. Dewater the trench during the backfilling compaction operations, using an approved practice.
3. Construct embankment of clean soil free of roots, woody vegetation, oversized stones, rocks, or other objectionable material. Fill material for embankment and cut-off trench must conform to Unified Soil Classification GC, SC, CH, or CL and must have at least 30 percent passing the #200 sieve. Use fill material containing sufficient moisture so that the soil can be formed by hand into a ball without crumbling. If water can be squeezed out of the ball, it is too wet for proper compaction. Place fill material in six-inch to eight inch thick continuous lifts over the entire length of the fill. Obtain compaction by passing construction equipment or compactor over the fill, so that the entire surface of each layer of fill is traversed at least four times. Construct the embankment to an elevation a minimum of 10 percent higher than the design height to allow for settlement.
4. Install principal spillway prior to, or concurrently with, fill placement. Do not excavate embankment for placement of spillway. All pipe connections, including anti-seep collars must be completely watertight. Install filter diaphragm when specified on plan. Barrel connection to riser must be welded all around when the pipe and riser are metal. Attach barrel stub to riser at the same percent (slope) of grade as the barrel. For concrete riser/barrel assembly, pour riser with barrel in place or set pre-cast riser and install projection equipment or compactor over the fill, so that the entire surface of each layer of fill is traversed at least four times. Construct the embankment to an elevation a minimum of 10 percent higher than the design height to allow for settlement.
5. Install the emergency spillway in undisturbed natural ground. Construct spillway within a tolerance of +0.2 feet.
6. Stabilize embankment and associated disturbed areas within three (3) days of completion with seed and mulch. Monitor embankment and maintain erosion free during the life of the basin.
7. Install fencing and signage in accordance with the approved plan.
8. Remove sediment when accumulated material has reached 25 percent of the total storage depth. Restore basin to original design volume. Place removed sediments in a controlled area and stabilize. Do not deposit sediment downstream of the embankment, adjacent to a stream or floodplain.
9. When the contributing drainage area is stable, the basin can be removed in accordance with the approved sediment control plan.
10. A sediment basin designed, built, and certified as a stormwater management structure, may be converted when the contributing drainage area is stable. Properly dewater basin, modify outlet structure, perform additional grading, and provide required storage volume in accordance with approved stormwater management plans.

TABLE G.6: TEMPORARY SEDIMENT BASIN DESIGN DATA SHEET

Computed by: KLU Date: 04/23/14 Checked by: VZ Date: 04/23/14
Project name: MECA Basin #: 1
Location: 7801 OCEANO AVE

Design Volumes and Elevations

1. Total area draining to basin = 22.10 acres (ac)
2. Required total storage volume = 3600 cf/ac x 22.10 ac drainage = 79,560 cf
3. Required wet storage volume = 1800 cf/ac x 22.10 ac drainage = 39,780 cf
4. Required dry storage volume = 1800 cf/ac x 22.10 ac drainage = 39,780 cf
5. Basin bottom elevation = 202.00 ft
6. Riser or weir crest (total storage) elevation = 211.00 ft
7. Provided total storage volume = 80,659 cf
8. Wet storage (permanent pool/draw-down) elevation = 205.30 ft
9. Provided wet storage volume = 40,276 cf
10. Provided dry storage volume = 40,383 cf
11. Basin cleanout elevation (located at 1/2 wet storage depth) = 203.75 ft
12. Distance from riser crest elevation to cleanout elevation = 7.25 ft

Surface Area Design

13. $Q_p = 103.54$ cfs (peak inflow from 10 yr, 24 hr storm event, attach computations)
14. Min. basin surface area $\geq 2.0035 \times Q_p \div 0.36 = 0.57$ ac required provided

Principal Spillway (Qps)

15. Design Qps for barrel = 103.54 cfs (min. 10% of Q_p)
16. Barrel head, H = 7.37 ft; Barrel length, L = 36 ft
17. Barrel dia. = 48 in (min. 10 inch); Qps = 178 (Q from Table G.7 or G.8) x 1.04 (length correction factor) = 185 cfs. Note: pipe must equal or exceed Design Qps
18. Riser dia. = n/a in; Riser height = 211.00 ft; Riser head (h) = 0.87 ft
19. Trash rack dia. = n/a in; Trash rack height = n/a in. (see release structure S-1)

Emergency Spillway (Qes) (N/A)

20. Emergency spillway capacity, $Q_{es} = Q_p - Q_{ps} =$ cfs
21. Width, b = ft; Hp = ft
22. Exit channel slope = %
23. Emergency spillway crest = ft
24. Design High Water = ft
25. Settled top of embankment elevation = ft

Anti-Seep Collar Design (If Required)

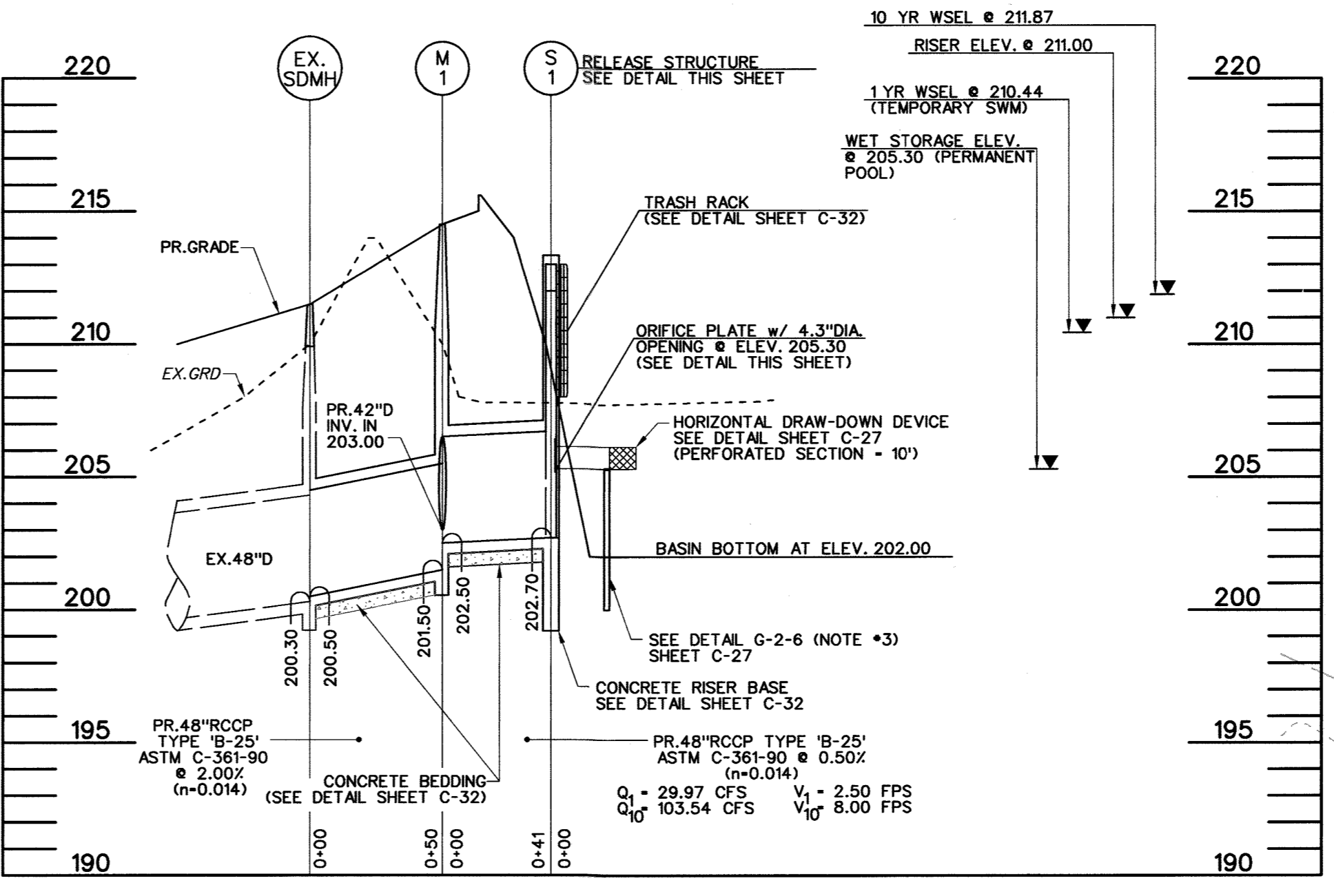
26. y = ft; z = ft; pipe slope = %; Ls = ft
27. Use collars, _____ ft - _____ in. square projection = _____ ft

Draw-down Device

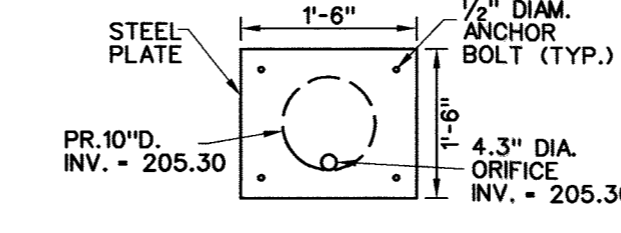
28. $Q_{ps} = 1.1$ cfs
29. Calculated $A_0 = 0.1$ ft²
30. Calculated $d_0 = 4.3$ in
31. Maximum diameter from Table G.10 = 8 in
32. Design d_0 = smaller of line 30 or line 31 = 4.3 in
33. Draw-down device pipe diameter = 10 in
34. Minimum A_0 = total area of perforations = $4A_0 = 0.40$ ft²
35. Perforation diameter = 3/8 in
36. Minimum number of perforations = 36
37. Number of longitudinal rows = 4
38. Perforated pipe length = 10 ft
39. Actual $A_0 = (0.0055 \text{ ft}^2) \times (\text{line 37} \div 0.5 \text{ ft}) \times (\text{line 38}) = 0.44$ ft² (must be \geq line 34)

Baffle Board Design

40. A = surface area at wet storage elevation = 13,700 ft²
41. Effective width, $W_e = (A/2)^{1/2} = 83$ ft
42. Flow length from inflow point to outlet = 147 ft
43. If line 42 is less than $W_e \times 2$, provide baffle boards to lengthen flow path
44. Effective flow length, $L_e = L_1 + L_2 + L_3 = 179$ ft (must be $\geq W_e \times 2 = 166$ ft)

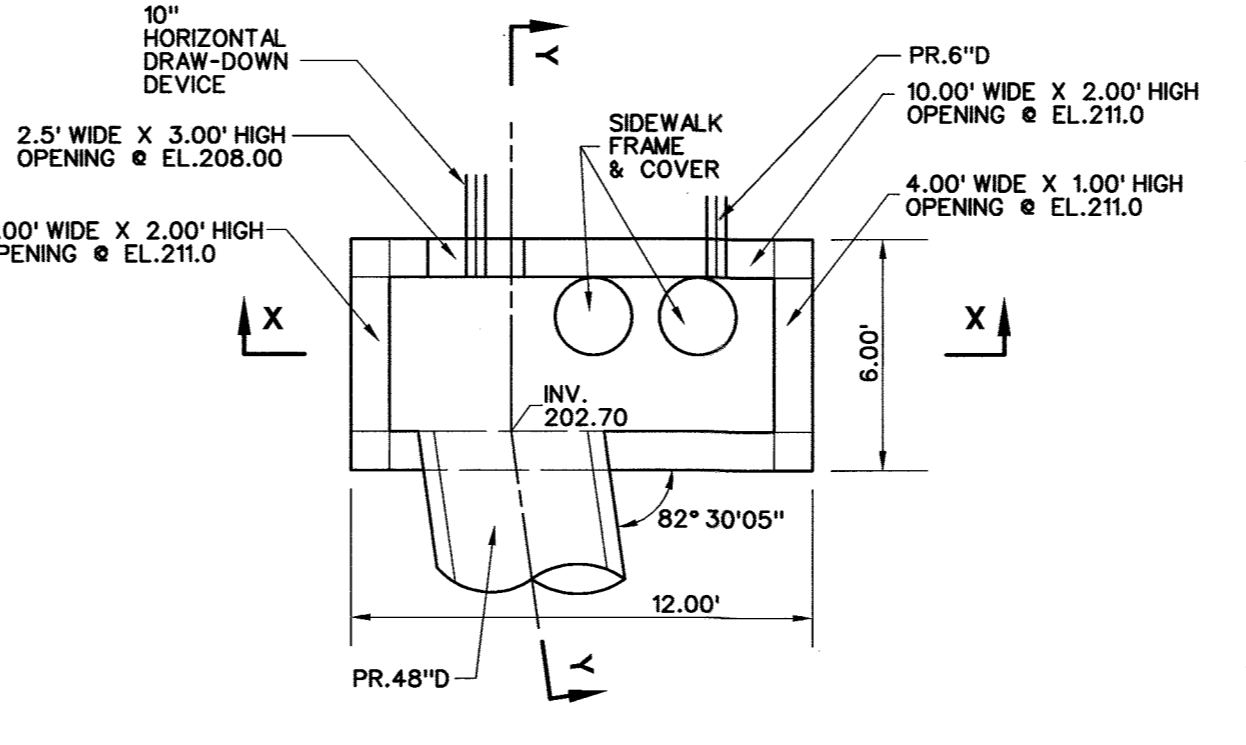


SECTION B-B
SCALE: H: 1" = 50' V: 1" = 5'

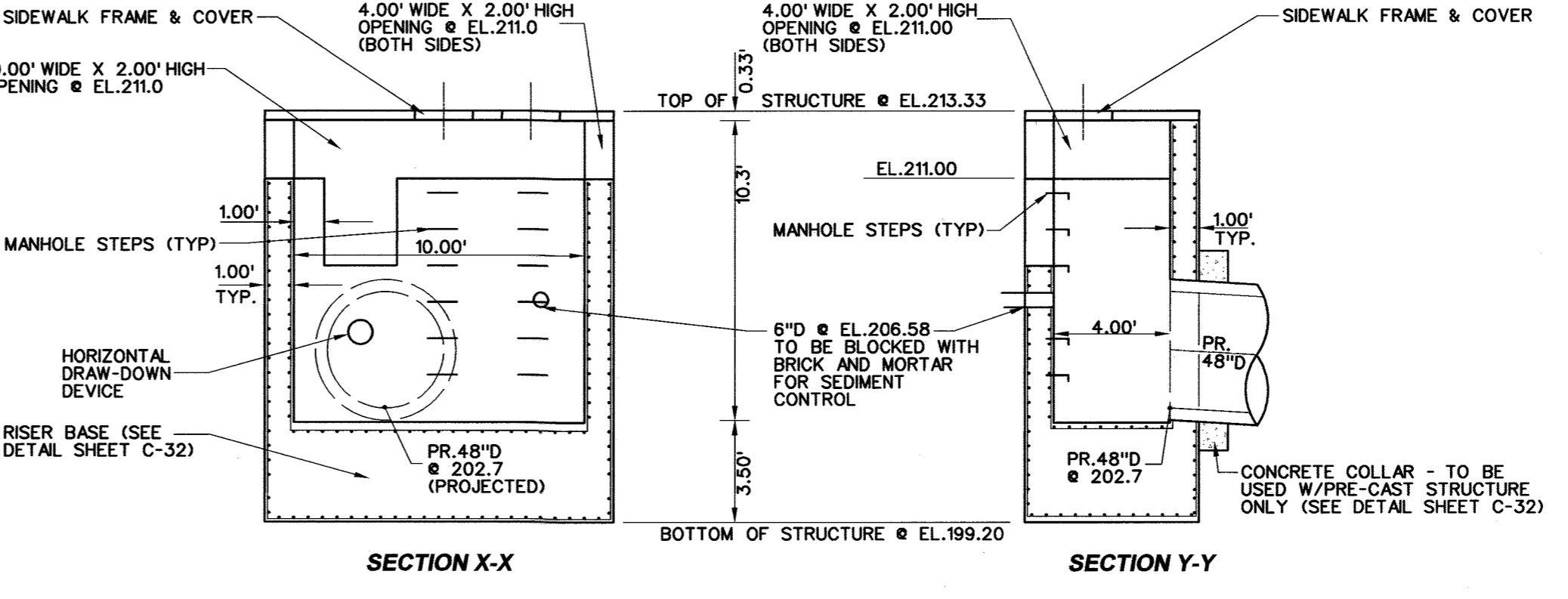


ORIFICE PLATE WITHIN RELEASE STRUCTURE S-1
NOT TO SCALE

STEEL PLATE SHALL BE HOT DIPPED GALVANIZED AFTER SHOP FABRICATION (CONNECTION BETWEEN ORIFICE PLATE AND RELEASE STRUCTURE SHALL BE WATERTIGHT)



PLAN



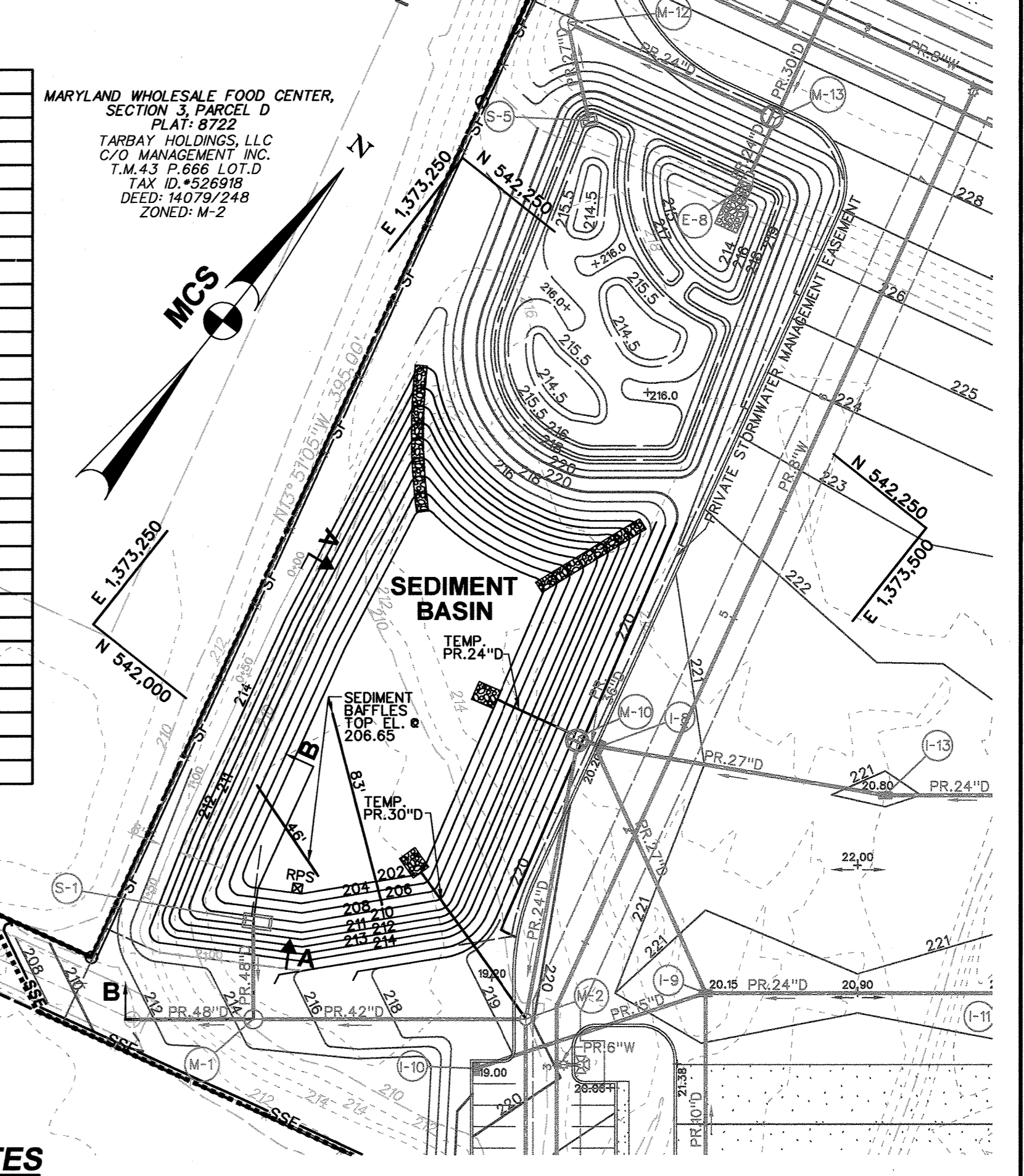
SECTION X-X

SECTION Y-Y

RELEASE STRUCTURE S-1 DETAIL
SCALE 1" = 5'

STRUCTURE NOTES

- CAST IN PLACE STRUCTURE:**
- 1) UNLESS OTHERWISE NOTED, INLET SHALL BE BUILT IN ACCORDANCE WITH HO. CO. STD. DETAIL, PLATE D-4.04, TYPE A-10 INLET
 - 2) STRUCTURE TO BE CAST IN PLACE REINFORCED CONCRETE MIX NO. 6.
 - 3) REINFORCING SHALL BE IN ACCORDANCE WITH STD. DETAIL, PLATE D-4.04, TO HAVE 18" BAR LAPS.
 - 4) PROVIDE ADDITIONAL REBARS ALONG PERIMETER OF ALL OPENINGS.
 - 5) INSTALL MANHOLE STEPS. SEE HO.CO. STD. DETAIL, PLATE C-5.21
 - 6) ALL PIPE JOINTS TO HAVE GROUT USING NON-SHRINK GROUT JOINT FILLER.
 - 7) ALL EXPOSED CORNERS OF CONCRETE SHALL BE CHAMFERED WITH 3/4" x 3/4" MILLED CHAMFER STRIPS.
 - 8) MINIMUM COVER FOR ANY BARS SHALL BE 2" ON WALLS AND 3" AT BOTTOM.
- OPTIONAL PRECAST STRUCTURE:**
- 1) SHOP DRAWINGS FOR PRECAST CONCRETE RISERS WITH SUPPORTING STRUCTURAL CALCULATIONS (SIGNED AND SEALED BY A MARYLAND REGISTERED PROFESSIONAL ENGINEER) MEETING A.S.T.M. REQUIREMENTS FOR PRE-CAST STRUCTURES MUST BE SUBMITTED TO THE ENGINEER, AND THE APPROVING AGENCY (HOWARD COUNTY) FOR APPROVAL PRIOR TO FABRICATION.
 - IF ANY STRUCTURE DIMENSIONS VARY FROM WHAT WAS ORIGINALLY REVIEWED/APPROVED, THEN THE HYDRAULICS, FLOTATION AND STRUCTURAL INTEGRITY WILL HAVE TO BE RE-ANALYZED. ALL JOINTS AND CONNECTIONS MUST BE WATERTIGHT. THE METHOD OF ACHIEVING A WATERTIGHT SEAL BETWEEN THE RISER STRUCTURE, AND ALL CONDUITS (I.E. BARREL, AND LOW FLOW PIPES) SHALL BE APPROVED BY THE ENGINEER IN CHARGE, AND HOWARD COUNTY PRIOR TO FABRICATION.
 - STRUCTURE SHALL BE PROVIDED WITH THE SAME ITEMS: #5, 6, 7 AS CAST IN PLACE STRUCTURE.
 - CONCRETE COLLAR MUST BE PLACED AROUND OUTFALL PIPE AND ATTACHED TO RELEASE STRUCTURE WHEN PRECAST STRUCTURE IS USED. SEE DETAIL THIS SHEET.



PROPOSED GRADING - SEDIMENT BASIN
SCALE: 1" = 50'

This development plan is approved for soil erosion and sediment control by the HOWARD SOIL CONSERVATION DISTRICT
John K. Rostek 10/30/14
Howard Co. SCD Date

DEVELOPER'S CERTIFICATE
"I/We certify that all development and construction will be done according to this plan for sediment and erosion control, and that all responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the Howard Soil Conservation District!"
Stuart Foard 10-15-14
Date

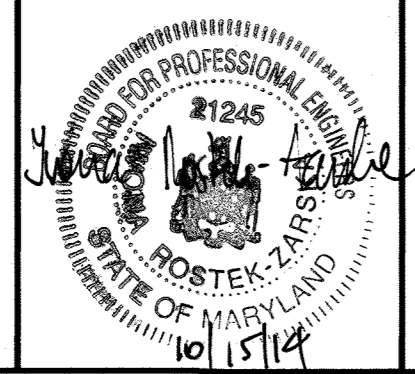
ENGINEER'S CERTIFICATE
"I certify that this plan for sediment and erosion control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District!"
Iwona Rostek-Zarska 10-15-14
Date

APPROVED: DEPARTMENT OF PLANNING AND ZONING
Shawn Schuch 11-6-14
Chief, Development Engineering Division Date
Kate Schuch 11-20-14
Chief, Division of Land Development Date
David McLaughlin 11/20/14
Director Date

ADDRESS CHART	
LOT / PARCEL NO.	STREET ADDRESS
PARCEL B-1	7901 OCEANO AVENUE
PARCEL E-1	7775 CHESAPEAKE BAY COURT

PERMIT INFORMATION CHART				
SUBDIVISION NAME	SECTION / AREA	LOT / PARCEL NO.		
MARYLAND FOOD CENTER AUTHORITY	3	B-1/662 & E-1/696		
PLAT NO. or L/F	GRID NO.	ZONING	TAX MAP NO.	ELEC. DIST.
23017-23021	21	M-2	43	6TH
			CENSUS TRACT	
			6069.01	

BLDG
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Consulting Engineers
230 SCHILLING CIRCLE, SUITE 364 • HUNT VALLEY, MARYLAND 21031
PHONE: 410.229.9851 • FAX: 410.229.9865 • BLDG@BLDGINC.COM



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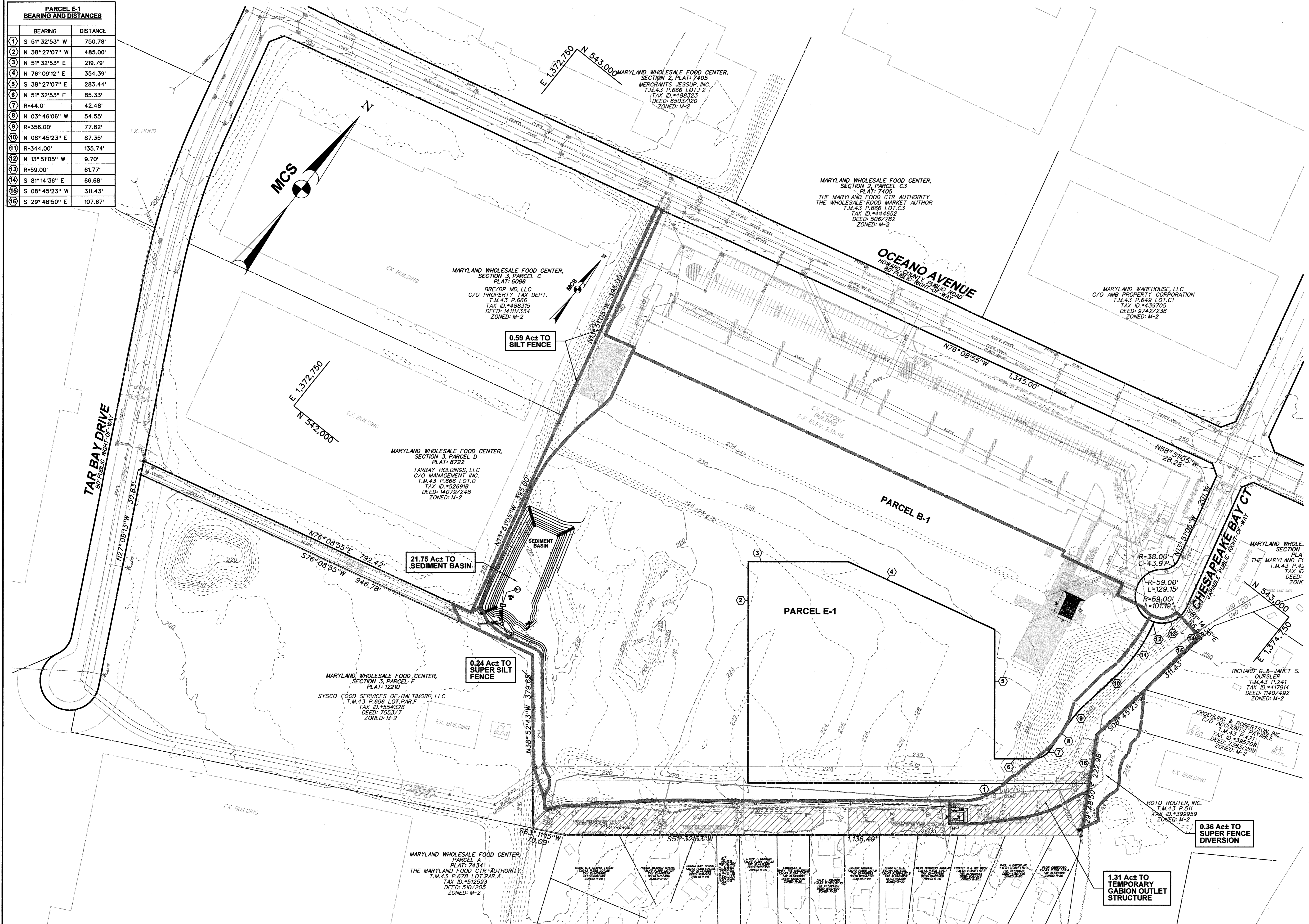
OWNER
MARYLAND FOOD CENTER AUTHORITY
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JESSUP, MD 20794
PHONE (410) 379-5760
FAX (410) 379-5773

DEVELOPER / APPLICANT
MERRITT PROPERTIES, LLC
2066 LORD BALTIMORE DRIVE
BALTIMORE, MD 21244
PHONE (410) 298-2600
FAX (410) 298-9644

DATE	NO.	DESCRIPTION	REVISIONS		BY

EROSION AND SEDIMENT CONTROL PLAN
SEDIMENT BASIN #1
MARYLAND FOOD CENTER AUTHORITY
PARCEL B-1 & E-1
(WAREHOUSE & OFFICE)
DRAWING NO. **C-23**
SHEET 23 OF 23
HOWARD COUNTY, MARYLAND
SCALE: 1" = 50'
DATE: OCTOBER, 2014
SDP-14-068

PARCEL E-1 BEARING AND DISTANCES		
NO.	BEARING	DISTANCE
1	S 51° 32' 53" W	750.78'
2	N 38° 27' 07" W	485.00'
3	N 51° 32' 53" E	219.79'
4	N 76° 09' 12" E	354.39'
5	S 38° 27' 07" E	283.44'
6	N 51° 32' 53" E	85.33'
7	R-44.0'	42.48'
8	N 03° 46' 06" W	54.55'
9	R-356.00'	77.82'
10	N 08° 45' 23" E	87.35'
11	R-344.00'	135.74'
12	N 13° 51' 05" W	9.70'
13	R-59.00'	61.77'
14	S 81° 14' 36" E	66.68'
15	S 08° 45' 23" W	311.43'
16	S 29° 48' 50" E	107.67'



TEMPORARY GABION OUTLET STRUCTURE	
TOP ELEVATION	222.00'
BOTTOM ELEVATION	219.00'
BOTTOM DIMENSIONS	30' x 25'
EXISTING DRAINAGE AREA	1.40 Ac
STORAGE REQUIRED (1,800 CF / Ac)	2,520 CF
STORAGE PROVIDED	3,467 CF

SEDIMENT BASIN	
TOP OF EMBANKMENT	214.00'
BOTTOM ELEVATION	202.00'
EXISTING DRAINAGE AREA	21.75 Ac
STORAGE REQUIRED (3,600 CF / Ac)	78,300 CF
STORAGE PROVIDED	80,659 CF
TEMPORARY SWM (1-YR ROUTING)	PROVIDED

DRAINAGE AREA MAP LEGEND

LIMIT OF DISTURBANCE:

IMPERVIOUS AREA: [Hatched Box]

DRAINAGE AREA TO ESC DEVICES: [Dashed Line]

This development plan is approved for soil erosion and sediment control by the HOWARD SOIL CONSERVATION DISTRICT.

John K. Rostek 10/30/14
 Howard Co. SCD Date

DEVELOPER'S CERTIFICATE

"I/We certify that all development and construction will be done according to this plan for sediment and erosion control, and that all responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the Howard Soil Conservation District."

Stuart Foad 10-15-14
 Date

ENGINEER'S CERTIFICATE

"I certify that this plan for sediment and erosion control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District."

Mona Rostek-Zarska 10-15-14
 Iwona Rostek-Zarska, P.E. 21245 Date

APPROVED: DEPARTMENT OF PLANNING AND ZONING

[Signature] 11-6-14
 Chief, Development Engineering Division Date

[Signature] 11-20-14
 Chief, Division of Land Development Date

[Signature] 11/2/14
 Director Date

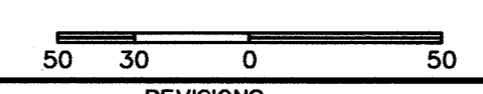
ADDRESS CHART

LOT / PARCEL NO.	STREET ADDRESS
PARCEL B-1	7901 OCEANO AVENUE
PARCEL E-1	7775 CHESAPEAKE BAY COURT

PERMIT INFORMATION CHART

SUBDIVISION NAME	SECTION / AREA	LOT / PARCEL NO.
MARYLAND FOOD CENTER AUTHORITY	3	B-1/662 & E-1/696
PLAT NO. or L/F	GRID NO.	ZONING
23017-23021	21	M-2
TAX MAP NO.	ELEC. DIST.	CENSUS TRACT
43	6TH	6069.01

THE COORDINATE SYSTEM OF ALL DRAWINGS IS BASED ON THE NORTH AMERICAN DATUM OF 1983. THE ELEVATION SYSTEM OF ALL DRAWINGS IS BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988. HORIZ: NAD 83/91; VERT: NAVD 88



BLDG
 Baltimore Land Design Group Inc.
 Consulting Engineers

230 SCHILLING CIRCLE, SUITE 364 • HUNT VALLEY, MARYLAND 21031
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 MERRITT PROPERTIES, LLC

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 BALTIMORE, MD 21244
 PHONE (410) 298-2600
 FAX (410) 298-9644

REVISIONS			
DATE	NO.	DESCRIPTION	BY

EROSION AND SEDIMENT CONTROL PLAN
 EXISTING DRAINAGE AREA MAP

MARYLAND FOOD CENTER AUTHORITY

PARCEL B-1 & E-1 (WAREHOUSE & OFFICE)

HOWARD COUNTY, MARYLAND
 SCALE: 1" = 100'

DATE: OCTOBER, 2014

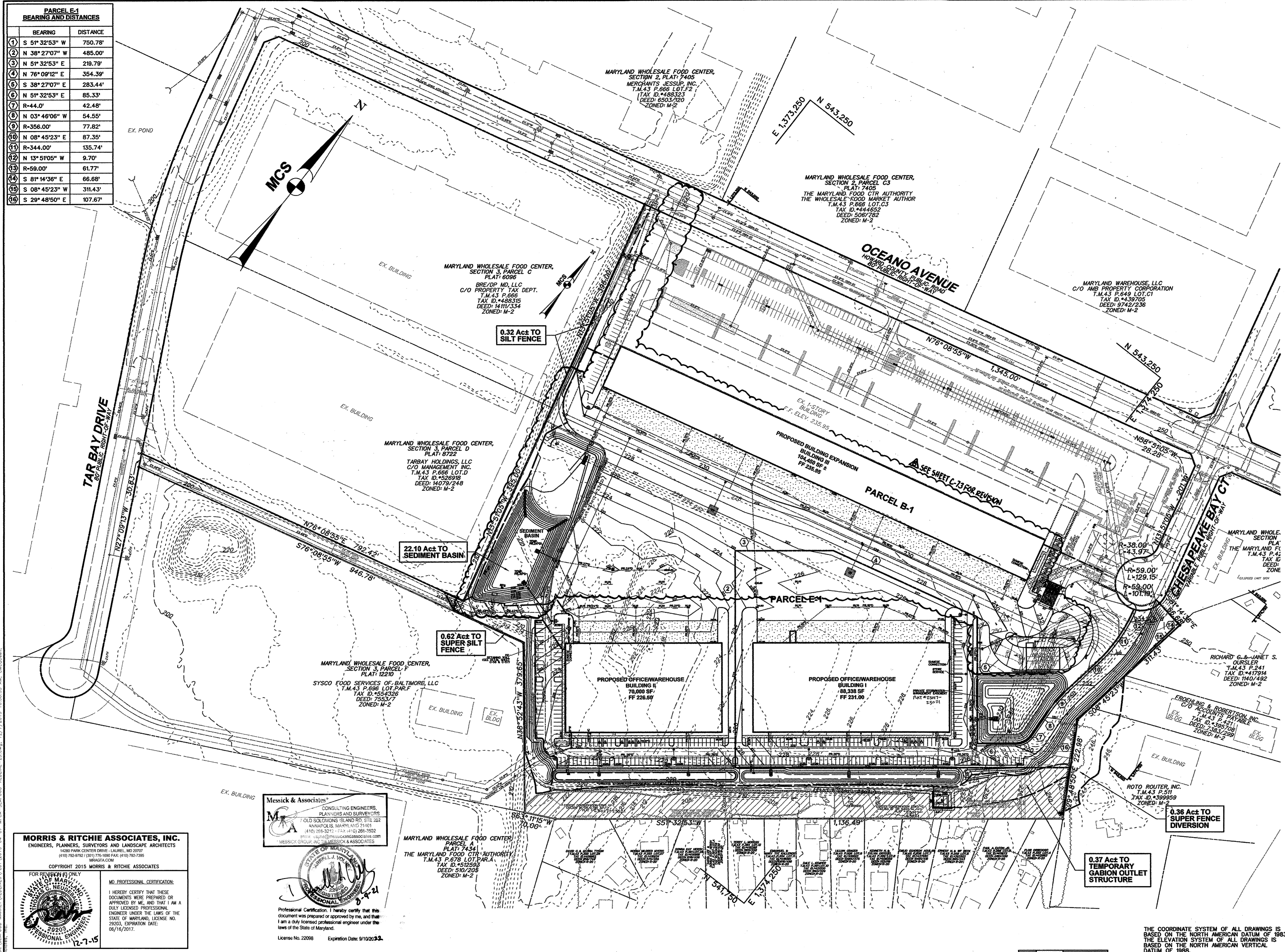
DRAWING NO.

C-24

SHEET 24 OF 83

SDP-14-068

PARCEL E-1 BEARING AND DISTANCES		
BEARING	DISTANCE	
1	S 51° 32' 53" W	750.78'
2	N 38° 27' 07" W	485.00'
3	N 51° 32' 53" E	219.79'
4	N 76° 09' 12" E	354.39'
5	S 38° 27' 07" W	283.44'
6	N 51° 32' 53" E	85.33'
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14	S 81° 14' 36" E	66.68'
15	S 08° 45' 23" W	311.43'
16	S 29° 48' 50" E	107.67'



TEMPORARY GABION OUTLET STRUCTURE	
TOP ELEVATION	222.00'
BOTTOM ELEVATION	219.00'
BOTTOM DIMENSIONS	30' x 25'
PROPOSED DRAINAGE AREA	0.39 Ac
STORAGE REQUIRED (1,800 CF / Ac)	702 CF
STORAGE PROVIDED	3,467 CF

SEDIMENT BASIN	
TOP OF EMBANKMENT	214.00'
BOTTOM ELEVATION	202.00'
EXISTING DRAINAGE AREA	22.10 Ac
STORAGE REQUIRED (3,600 CF / Ac)	79,560 CF
STORAGE PROVIDED	80,859 CF
TEMPORARY SWM (1-YR ROUTING)	PROVIDED
10-YR WSEL	211.87'

DRAINAGE AREA MAP LEGEND

LIMIT OF DISTURBANCE
DRAINAGE AREA TO ESC DEVICES -----

This development plan is approved for soil erosion and sediment control by the HOWARD SOIL CONSERVATION DISTRICT.

John L. Stanton 12/13/15
Howard Co. SCD Date

DEVELOPER'S CERTIFICATE

"I/We certify that all development and construction will be done according to this plan for sediment and erosion control, and that all responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the Howard Soil Conservation District."

Stuart Ford 10-15-14
Stuart Ford Date

ENGINEER'S CERTIFICATE

"I certify that this plan for sediment and erosion control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District."

Iwona Rostek-Zarska 10-15-14
Iwona Rostek-Zarska, P.E. 21245 Date

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

John C. ... 12-29-15
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

Kevin ... 12-31-15
CHIEF, DIVISION OF LAND DEVELOPMENT DATE

Walter ... 1-3-16
DIRECTOR, DEPARTMENT OF PLANNING AND ZONING DATE

ADDRESS CHART	
LOT / PARCEL NO.	STREET ADDRESS
PARCEL B-1	7901 OCEANO AVENUE
PARCEL E-1	7775 CHESAPEAKE BAY COURT

PERMIT INFORMATION CHART			
SUBDIVISION NAME	SECTION / AREA	LOT / PARCEL NO.	
MARYLAND FOOD CENTER AUTHORITY	3	B-1/662 & E-1/696	
PLAT NO. or L/F	GRID NO.	ZONING	TAX MAP NO.
2301T-2302A	21	M-2	43
			ELEC. DIST.
			6TH
			CENSUS TRACT
			6089.01

MORRIS & RITCHIE ASSOCIATES, INC.
ENGINEERS, PLANNERS, SURVEYORS AND LANDSCAPE ARCHITECTS
1420 PARK CENTER DRIVE - LAUREL, MD 20707
(410) 764-9100 / (301) 776-0000 FAX: (410) 760-7395
MRA@MRA.COM MRAGA.COM

FOR REVIEW ONLY
STATE OF MARYLAND
PROFESSIONAL ENGINEER
12-7-15

Messick & Associates
CONSULTING ENGINEERS
PLANNERS AND SURVEYORS
OLD SOLICITORS ISLAND RD. STE. 202
ANNAPOLIS, MARYLAND 21403
(410) 293-2211 / (410) 293-2222
3916 E. CAPITOL DRIVE SUITE 200
ANNAPOLIS, MARYLAND 21403
M@MESSICKGROUP.COM MESSICKGROUP.COM

Professional Certification: I hereby certify that this document was prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland.
License No. 22098 Expiration Date: 9/10/2022

MARYLAND WHOLESALE FOOD CENTER
PARCEL A
PLAT 74341
THE MARYLAND FOOD CTR AUTHORITY
T.M.43 P.678 LOT PAR.A
TAX ID: 4322569
DEED: 510/205
ZONED: M-2

BLDG
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Consulting Engineers
230 SCHILLING CIRCLE, SUITE 364 • HUNT VALLEY, MARYLAND 21081
PHONE: 410.229.9851 • FAX: 410.229.9865 • BLDG@BLDGINC.COM

Professional Engineer
Iwona Rostek-Zarska
101814

PROFESSIONAL CERTIFICATION

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 21245, EXPIRATION DATE: JUNE 9, 2016.

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REVISIONS			
DATE	NO.	DESCRIPTION	BY
9/18/15	1	REPLACED BUILDING N WITH TRUCK WASH-OUT STATION	MRA
8/19/15	2	REPLACED BUILDING N WITH TRUCK WASH-OUT STATION	MRA

REVISD: SITE DEVELOPMENT PLAN
EROSION AND SEDIMENT CONTROL PLAN
PROPOSED DRAINAGE AREA MAP
MARYLAND FOOD CENTER AUTHORITY
(PARCEL B-1 & E-1)
(WAREHOUSE & OFFICE)

HOWARD COUNTY, MARYLAND
SCALE: 1" = 100'

DATE: OCTOBER, 2014

DRAWING NO.
C-25
SHEET 25 OF 83
SDP-14-068

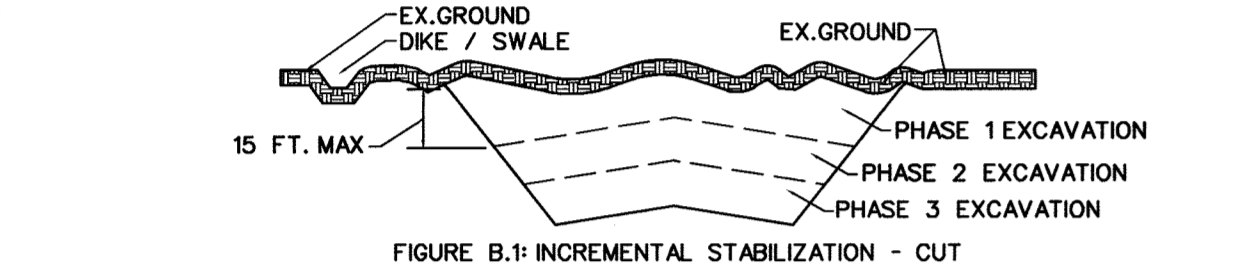
B-4 STANDARDS AND SPECIFICATIONS FOR VEGETATIVE STABILIZATION

- Conditions Where Practice Applies:**
On all disturbed areas not stabilized by other methods. This specification is divided into sections on incremental stabilization, soil preparation, soil amendments and topsoiling; seeding and mulching; temporary stabilization and permanent stabilization.
- Adequate Vegetative Establishment:**
Inspect seeded areas for vegetative establishment and make necessary repairs, replacements, and reseeding within the planting season.
1. Adequate vegetative stabilization requires 95 percent groundcover.
 2. If an area has less than 40 percent groundcover, restabilize following the original recommendations for lime, fertilizer, seedbed preparation, and seeding.
 3. If an area has between 40 and 94 percent groundcover, over-seed and fertilize using half of the rates originally specified.
 4. Maintenance fertilizer rates for permanent seeding are shown in Table B.6.

B-4-1 Standards and Specifications for Incremental Stabilization

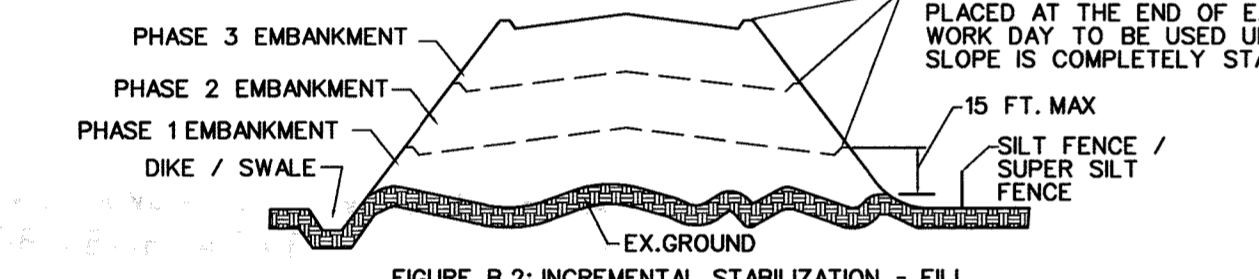
- Conditions Where Practice Applies:**
Any cut or fill slope greater than 15 feet in height. This practice also applies to stockpiles.
- Criteria:**
- A. Incremental Stabilization - Cut Slopes
1. Excavate and stabilize cut slopes in increments not to exceed 15 feet in height. Prepare seedbed and apply seed and mulch on all cut slopes as the work progresses.
 2. Construction sequence example (Refer to Figure B.1 in "2011 Maryland Standards and Specifications for Soil Erosion and Sediment Control"):
a. Construct and stabilize all temporary swales or dikes that will be used to convey runoff around the excavation.
b. Perform Phase 1 excavation, prepare seedbed, and stabilize.
c. Perform Phase 2 excavation, prepare seedbed, and stabilize. Overseed Phase 1 areas as necessary.
d. Perform final phase excavation, prepare seedbed, and stabilize. Overseed previously seeded areas as necessary.

Note: Once excavation has begun the operation should be continuous from grubbing through the completion of grading and placement of topsoil (if required) and permanent seed and mulch. Any interruptions in the operation or completing the operation out of the seeding season will necessitate the application of temporary stabilization.



- B. Incremental Stabilization - Fill Slopes
1. Construct and stabilize fill slopes in increments not to exceed 15 feet in height. Prepare seedbed and apply seed and mulch on all slopes as the work progresses.
 2. Stabilize slopes immediately when the vertical height of a lift reaches 15 feet, or when the grading operation ceases as prescribed in the plans.
 3. At the end of each day, install temporary water conveyance practices, as necessary, to intercept surface runoff and convey it down the slope in a non-erosive manner.
 4. Construction sequence example (Refer to Figure B.2 in "2011 Maryland Standards and Specifications for Soil Erosion and Sediment Control"):
a. Construct and stabilize all temporary swales or dikes that will be used to divert runoff around the fill. Construct silt fence on low side of fill unless other methods shown on the plans address this area.
b. At the end of each day, install temporary water conveyance practices, as necessary, to intercept surface runoff and convey it down the slope in a non-erosive manner.
c. Place Phase 1 fill, prepare seedbed, and stabilize.
d. Place Phase 2 fill, prepare seedbed, and stabilize.
e. Place final phase fill, prepare seedbed, and stabilize. Overseed previously seeded areas as necessary.

Note: Once the placement of fill has begun the operation should be continuous from grubbing through the completion of grading and placement of topsoil (if required) and permanent seed and mulch. Any interruptions in the operation or completing the operation out of the seeding season will necessitate the application of temporary stabilization.



B-4-2 Standards and Specifications for Soil Preparation, Topsoiling and Soil Amendments

- Conditions Where Practice Applies:**
Where vegetative stabilization is to be established
- Criteria:**
- A. Soil Preparation
1. Temporary Stabilization
a. Seedbed preparation consists of loosening soil to a depth of 3 to 5 inches by means of suitable agricultural or construction equipment, such as disc harrows or chiselplows or rippers mounted on construction equipment. After the soil is loosened, it must not be rolled or dragged smooth but left in the roughened condition. Slopes 3:1 or flatter are to be tracked with ridges running parallel to the contour of the slope.
b. Apply fertilizer and lime as prescribed on the plans.
c. Incorporate lime and fertilizer into the top 3 to 5 inches of soil by disking or other suitable means.
 2. Permanent Stabilization
a. A soil test is required for any earth disturbance of 5 acres or more. The minimum soil conditions required for permanent vegetative establishment are:
i. Soil pH between 6.0 and 7.0.
ii. Soluble salts less than 500 parts per million (ppm).
iii. Soil contains less than 40 percent clay but enough fine grained material (greater than 30 percent silt plus clay) to provide the capacity to hold a moderate amount of moisture. An exception is loess soils will be planted, then a sandy soil (less than 30 percent silt plus clay) would be acceptable.
iv. Soil contains 1.5 percent minimum organic matter by weight.
v. Soil contains sufficient pore space to permit adequate root penetration.
b. Application of amendments or topsoils required if on-site soils do not meet the above conditions.
c. Graded areas must be maintained in a true and even grade as specified on the approved plan, then scarified or otherwise loosened to a depth of 3 to 5 inches.
d. Apply soil amendments as specified on the approved plan or as indicated by the results of a soil test.
e. Mix soil amendments into the top 3 to 5 inches of soil by disking or other suitable means. Rocky law areas to smooth the surface, remove large objects like stones and branches, and ready the area for seed application. Loosen surface soil by dragging with a heavy chain or other equipment to roughen the surface where site conditions will not permit normal seedbed preparation. Track slopes 3:1 or flatter with tracked equipment leaving the soil in an irregular condition with ridges running parallel to the contour of the slope. Leave the top 1 to 3 inches of soil loose and friable. Seedbed loosening may be unnecessary on newly disturbed areas.

- B. Topsoiling
1. Topsoil is placed over prepared subsoil prior to establishment of permanent vegetation. The purpose is to provide a suitable soil medium for vegetative growth. Soils of concern have low moisture content, low nutrient levels, low pH, materials toxic to plants, and/or unacceptable soil gradation.
 2. Topsoil salvaged from an existing site may be used provided it meets the standards as set forth in these specifications. Typically, the depth of topsoil to be salvaged for a given soil type can be found in the representative soil profile section in the Soil Survey published by USDA-NRCS.
 3. Topsoiling is limited to areas having 2:1 or flatter slopes where:
a. The texture of the exposed subsoil/parent material is not adequate to produce vegetative growth.
b. The soil material is so shallow that the rooting zone is not deep enough to support plants or furnish continuing supplies of moisture and plant nutrients.
c. The original soil to be vegetated contains material toxic to plant growth.
d. The soil is so acidic that treatment with limestone is not feasible.

4. Areas having slopes steeper than 2:1 require special consideration and design.
5. Topsoil Specifications: Soil to be used as topsoil must meet the following criteria:
a. Topsoil must be a loam, sandy loam, clay loam, silt loam, sandy clay loam, or loamy sand. Other soils may be used if recommended by an agronomist or soil scientist and approved by the appropriate approval authority. Topsoil must not be a mixture of contrasting textured subsoils and must contain less than 5 percent by volume of cinders, stones, slag, coarse fragments, gravel, sticks, roots, trash, or other materials larger than 1/2 inches in diameter.
b. Topsoil must be free of noxious plants or plant parts such as Bermuda grass, quack grass, Johnson grass, nut sedge, poison ivy, thistle, or others as specified.
c. Topsoil substitutes or amendments, as recommended by a qualified agronomist or soil scientist and approved by the appropriate approval authority, may be used in lieu of natural topsoil.
6. Topsoil Application
a. Erosion and sediment control practices must be maintained when applying topsoil.
b. Uniformly distribute topsoil in a 5 to 8 inch layer and lightly compact to a minimum thickness of 4 inches. Spreading is to be performed in such a manner that sodding or seeding can proceed with a minimum of additional preparation and tillage. Any irregularities in the surface resulting from topsoiling or other operations must be corrected in order to prevent the formation of depressions or water pockets.
c. Topsoil must not be placed if the topsoil or subsoil is in a frozen or muddy condition, when the subsoil is excessively wet or in a condition that may otherwise be detrimental to proper grading and seeded preparation.
7. Soil Amendments (Fertilizer and Lime Specifications)
1. Soil tests must be performed to determine the exact ratios and application rates for both lime and fertilizer on sites having disturbed areas of 5 acres or more. Soil analysis may be performed by a recognized private or commercial laboratory. Soil samples taken for engineering purposes may also be used for chemical analyses.
2. Fertilizers must be uniform in composition, free flowing and suitable for accurate application by appropriate equipment. Manure may be substituted for fertilizer with prior approval from the appropriate approval authority. Fertilizers must all be delivered to the site fully labeled according to the applicable laws and must bear the name, trade name or trademark and warranty of the producer.
3. Lime materials must be ground limestone (hydrated or burnt lime) may be substituted except when hydroseeding which contains at least 50 percent total oxides (calcium oxide plus magnesium oxide). Limestone must be ground to such fineness that at least 50 percent will pass through a #100 mesh sieve and 98 to 100 percent will pass through a #20 mesh sieve.
4. Lime and fertilizer are to be evenly distributed and incorporated into the top 3 to 5 inches of soil by disking or other suitable means.
5. Where the subsoils either highly acidic or composed of heavy clays, spread ground limestone at the rate of 4 to 8 tons/acre (200-400 pounds per 1,000 square feet) prior to the placement of topsoil.

- B-4-3 Standards and Specifications for Seeding and Mulching**
- Conditions Where Practice Applies:**
To the surface of all perimeter controls, slopes, and any disturbed area not under active grading
- Criteria:**
- A. Seeding
1. Specifications
a. All seed must meet the requirements of the Maryland State Seed Law. All seed must be subject to re-testing by a recognized seed laboratory. All seed used must have been tested within the 6 months immediately preceding the date of sowing such material on any project. Refer to Table B.4 regarding the quality of seed. Seed tags must be available upon request to the inspector to verify type of seed and seeding rate.
b. Mulch alone may be applied between the fall and spring seeding dates only if the ground is frozen. The appropriate seeding mixture must be applied when the ground thaws.
c. Inoculants: The inoculant for treating legume seed in the seed mixtures must be a pure culture of nitrogen fixing bacteria prepared specifically for the species. Inoculants must not be used unless the date indicates an inoculant. Add fresh inoculants as directed on the package. Use four times the recommended rate when hydroseeding. Note: It is very important to keep inoculant as cool as possible until used. Temperatures above 75 to 80 degrees Fahrenheit can weaken bacteria and reduce the inoculant's effectiveness.
d. Sod or seed must not be placed on soil which has been treated with soil sterilants or herbicides used for weed control until sufficient time has elapsed (14 days min.) to permit dissipation of phyto-toxic materials.
 2. Application
a. Dry Seeding: This includes use of conventional drop or broadcast spreaders.
i. Incorporate seed into the subsoil at the rates prescribed on Temporary Seeding Table B.1, Permanent Seeding Table B.3, or site-specific seeding summaries.
ii. Apply seed in two directions, perpendicular to each other. Apply half the seeding rate in each direction. Roll the seeded area with a weighted roller to provide good seed to soil contact.
b. Drill or Cultipacker Seeding: Mechanized seeders that apply and cover seed with soil.
i. Cultipacker seeders are required to bury the seed in such a fashion as to provide at least 1/4 inch of soil covering. Seedbed must be firm after planting.
ii. Apply seed in two directions, perpendicular to each other. Apply half the seeding rate in each direction.
c. Hydroseeding: Apply seed uniformly with hydroseeder (slurry includes seed and fertilizer).
i. If fertilizer is being applied at the time of seeding, the application rates should not exceed the following nitrogen, 100 pounds per acre total of soluble nitrogen; P205 (phosphorous), 200 pounds per acre; K20 (potassium), 200 pounds per acre.
ii. Lime: Use only ground agricultural limestone (up to 3 tons per acre may be applied by hydroseeding). Normally, not more than 2 tons are applied by hydroseeding at any one time. Do not use burnt or hydrated lime when hydroseeding.
iii. Mix seed and fertilizer on site and seed immediately and without interruption.
iv. When hydroseeding do not incorporate seed into the soil.

- B. Mulching
1. Mulch Materials (in order of preference)
a. Straw consisting of thoroughly threshed wheat, rye, oat, or barley and reasonably bright in color. Straw is to be free of noxious weed seeds as specified in the Maryland Seed Law and not musty, moldy, caked, decayed, or excessively dusty. Note: Use only sterile straw mulch in areas where one species of grass is desired.
b. Wood Cellulose Fiber Mulch (WCFM) consisting of specially prepared wood cellulose processed into a uniform fibrous physical state.
i. WCFM is to be dyed green or contain a green dye in the package that will provide an appropriate color to facilitate visual inspection of the uniformly spread slurry.
ii. WCFM, including dye, must contain no germination or growth inhibiting factors.
iii. WCFM materials are to be manufactured and processed in such a manner that the wood cellulose fiber mulch will remain in uniform suspension in water under agitation and will blend with seed, fertilizer and other additives to form a homogeneous slurry. The mulch material must form a blotter-like ground cover, on application, having moisture absorption and percolation properties and must cover and hold grass seed in contact with the soil without inhibiting the growth of the grass seedlings.
iv. WCFM material must not contain elements or compounds at concentration levels that will be phyto-toxic.
v. WCFM must conform to the following physical requirements: fiber length of approximately 10 millimeters, diameter approximately 1 millimeter, pH range of 4.0 to 8.5, ash content of 1.6 percent maximum and water holding capacity of 90 percent minimum.
 2. Application
a. Apply mulch to all seeded areas immediately after seeding.
b. When straw mulch is used, spread it over all seeded areas at the rate of 2 tons per acre to a uniform loose depth of 1 to 2 inches. Apply mulch to achieve a uniform distribution and depth so that the soil surface is not exposed. When using a mulch anchoring tool, increase the application rate to 2.5 tons per acre.
c. Wood cellulose fiber used as mulch must be applied at a net dry weight of 1500 pounds per acre. Mix the wood cellulose fiber with water to attain a mixture with a maximum of 50 pounds of wood cellulose fiber per 100 gallons of water.
 3. Anchoring
a. Perform mulch anchoring immediately following application of mulch to minimize loss by wind or water. This may be done by one of the following methods (listed by preference), depending upon the size of the area and erosion hazard:
i. A mulch anchoring tool is a tractor drawn implement designed to punch and anchor mulch into the soil surface a minimum of 2 inches. This practice is most effective on large areas, but is limited to flatter slopes where equipment can operate safely. If used on sloping land, this practice should follow the contour.
ii. Wood cellulose fiber may be used for anchoring straw. Apply the fiber binder at a net dry weight of 750 pounds per acre. Mix the wood cellulose fiber with water at a maximum of 50 pounds of wood cellulose fiber per 100 gallons of water.

- iii. Synthetic binders such as Acrylic DLR (Agra-Tack), DCA-70, Petroset, Terra Tax II, Terra Tack AR or other approved equal may be used. Follow application rates as specified by the manufacturer. Application of liquid binders needs to be heavier at the edges where wind catches mulch, such as in valleys and on crests of banks. Use of asphalt binders is strictly prohibited.
- iv. Lightweight plastic netting may be stapled over the mulch according to manufacturer recommendations. Netting is usually available in rolls 4 to 15 feet wide and 300 to 3,000 feet long.

B-4-4 Standards and Specifications for Temporary Stabilization

- Conditions Where Practice Applies:**
Exposed soils where ground cover is needed for a period of 6 months or less. For longer duration of time, permanent stabilization practices are required.
- Criteria:**
1. Select one or more of the species or seed mixtures listed in Table B.1 for the appropriate Plant Hardiness Zone (from Figure B.3), and enter them in the Temporary Seeding Summary below along with application rates, seeding dates and seeding depths. If this Summary is not put on the plan and completed, then Table B.1 plus fertilizer and lime rates must be put on the plan.
 2. For sites having soil tests performed, use and show the recommended rates by the testing agency. Soil tests are not required for Temporary Seeding.
 3. When stabilization is required outside of a seeding season, apply seed and mulch or straw alone as prescribed in Section B-4-3.A.1.b and maintain until the next seeding season.

TEMPORARY SEEDING SUMMARY

Hardiness Zone (from Figure B.3):	Fertilizer Rate (lb/1000 sq ft)	Lime Rate (lb/1000 sq ft)
7a		
7a		

No.	Species	Application Rate (lb/ac)	Seeding Dates	Seeding Depths	Fertilizer (lb/1000 sq ft)	Lime Rate (lb/1000 sq ft)
	FOXTAIL MILLET	30	5/1-8/14	1/2"	436 lb/ac	2 tons/ac
	ANNUAL RYEGRASS	40	2/15-4/30	1/2"	(10 lb/1000 sq ft)	(90 lb/1000 sq ft)
	CERIAL RYE	412	8/15-11/30	1"		
			2/15-4/30	1/2"		
			8/15-12/15	1"		

B-4-5 Standards and Specification for Permanent Stabilization

- Conditions Where Practice Applies:**
Exposed soils where ground cover is needed for 6 months or more.
- Criteria:**
- A. Seed Mixtures
1. General Use
a. Select one or more of the species or mixtures listed in Table B.3 for the appropriate Plant Hardiness Zone (from Figure B.3), and based on the site condition or purpose found on Table B.2. Enter selected mixture(s), application rates, and seeding dates in the Permanent Seeding Summary. The Summary is to be placed on the plan.
b. Additional planting specifications for exceptional sites such as shorelines, stream banks, or dunes or for special purposes such as wildlife or aesthetic treatment may be found in USDA-NRCS Technical Field Office Guide, Section 342 - Critical Area Planting.
c. For sites having disturbed area over 5 acres, use and show the rates recommended by the soil testing agency.
d. For areas receiving low maintenance, apply urea form fertilizer (46-0-0) at 3 1/2 pounds per 1000 square feet (150 pounds per acre) at the time of seeding in addition to the soil amendments shown in the Permanent Seeding Summary.
 2. Turfgrass Mixtures
a. Areas where turfgrass may be desired include lawns, parks, playgrounds, and commercial sites which will receive a medium to high level of maintenance.
b. Select one or more of the species or mixtures listed below based on the site conditions or purpose. Enter selected mixture(s), application rates, and seeding dates in the Permanent Seeding Summary. The summary is to be placed on the plan.
i. Kentucky Bluegrass/Fine Fescue: For use in areas that receive intensive management. Irrigation required in the areas of central Maryland and Eastern Shore. Recommended Certified Kentucky Bluegrass Cultivars Seeding Rate: 1.5 to 2.0 pounds per 1000 square feet. Choose a minimum of three Kentucky bluegrass cultivars with each ranging from 10 to 35 percent of the total mixture by weight.
ii. Kentucky Bluegrass/Perennial Rye: For use in full sun areas where rapid establishment is necessary and where turf will receive medium to intensive management. Recommended Certified Perennial Rye/Certified Kentucky Bluegrass Seeding Rate: 2 pounds mixture per 1000 square feet. Choose a minimum of three Kentucky bluegrass cultivars with each ranging from 10 to 35 percent of the total mixture by weight.
iii. Tall Fescue/Kentucky Bluegrass: For use in drought prone areas and/or for areas receiving low to medium management in full sun to medium shade. Recommended mixture includes: Certified Tall Fescue Cultivars 95 to 100 percent, Certified Kentucky Bluegrass Cultivars 0 to 5 percent. Seeding Rate: 5 to 8 pounds per 1000 square feet. One or more cultivars may be blended.
iv. Kentucky Bluegrass/Fine Fescue: For use in areas with shade in Bluegrass lawns. For establishment in high quality, intensively managed turf area. Mixture includes: Certified Kentucky Bluegrass Cultivars 30 to 40 percent and Certified Fine Fescue and 60 to 70 percent. Seeding Rate: 1/2 to 3 pounds per 1000 square feet.

- Notes:**
Select turfgrass varieties from those listed in the most current edition of Maryland Publication, Agronomy Memo #77, "Turfgrass Cultivar Recommendations for Maryland".
Choose certified material. Certified materials is the best guarantee of cultivar purity. The certification program of the Maryland Department of Agriculture, Turf and Soil Section, provides a reliable means of consumer protection and assures a pure genetic line.
- C. Ideal Times of Seeding for Turf Grass Mixtures
Western MD: March 15 to June 1, August 1 to October 1 (Hardiness Zones: 5b, 6)
Central MD: March 1 to May 15, August 15 to October 15 (Hardiness Zones: 6b)
Southern MD, Eastern Shore: March 1 to May 15, August 15 to October 15 (Hardiness Zones: 7a, 7b)

- d. Till areas to receive seed by disking or other approved methods to a depth of 2 to 4 inches, level and rake the areas to prepare a proper seedbed. Remove stones and debris over 1/2 inches in diameter. The resulting seedbed must be in such condition that future mowing of grasses will pose no difficulty.
e. If soil moisture is deficient, supply new seedlings with adequate water for plant growth 1/2 to 1 inch every 3 to 4 days depending on soil texture) until they are firmly established. This is especially true when seedlings are made late in the planting season, in abnormally dry or hot seasons, or on adverse sites.

PERMANENT SEEDING SUMMARY

Hardiness Zone (from Figure B.3):	Fertilizer Rate (lb/1000 sq ft)	Lime Rate (lb/1000 sq ft)
7a		
7a		

No.	Species	Application Rate (lb/ac)	Seeding Dates	Seeding Depths	N	P ₂ O ₅	K ₂ O	Lime Rate
11	CREeping RED FESCUE KENTUCKY BLUEGRASS FOXTAIL OR PEARL MILLET	30 20 4	3/1-5/15 8/1-10/15 5/1-8/14	1/2"	45 lb/ac	90 lb/ac	90 lb/ac	2 tons/ac
6	TALL FESCUE WHITE CLOVER PERENNIAL RYEGRASS FOXTAIL OR PEARL MILLET	40 5 5 3.5	3/1-5/15 8/1-10/15 5/1-8/14	1/2"	12 lb/1000 sf	1000 sf	1000 sf	
	TURF GRASS	270 14	3/1-5/15 8/1-10/15 5/1-8/14	1/2"				

- * For dates '5/15 - 7/31' add either foxtail or pearl millet to the seed mixture as noted above.
- Note:
For sites having disturbed areas over 5 acres the rates shown above for permanent seeding shall be deleted and the rates recommended by the soil testing agency shall be used. Soil testing shall be performed at the time of fine grading and the results shall be furnished to the sediment control inspector.
- B. Sod: To provide quick cover on disturbed areas (2:1 grade or flatter).
1. General Specifications
a. Class of turfgrass sod must be Maryland State Certified. Sod labels must be made available to the job foreman and inspector.
b. Sod must be machine cut at a uniform soil thickness of 1/2 inch, plus or minus 1/8 inch, at the time of cutting. Measurement for thickness must exclude top growth and thatch. Broken pods and torn or uneven ends will not be acceptable.
c. Standard size sections of sod must be strong enough to support their own weight and retain their size and shape when suspended vertically with a firm grasp on the upper 10 percent of the section.
d. Sod must not be harvested or transplanted when moisture content (excessively dry or wet) may adversely affect its survival.
e. Sod must be harvested, delivered, and installed within a period of 36 hours. Sod not transplanted within this period must be approved by an agronomist or soil scientist prior to its installation.

2. Sod Installation
a. During periods of excessively high temperature or in areas having dry subsoil, lightly irrigate the subsoil immediately prior to laying the sod.
b. Lay the first row of sod in a straight line with subsequent rows placed parallel to it and tightly wedged against each other. Stagger lateral joints to promote more uniform growth and strength. Ensure that sod is not stretched or overlapped and that all joints are butted tight in order to prevent voids which would cause air drying of the roots.
c. Wherever possible, lay sod with the long edges parallel to the contour and with staggering joints. Roll and tamp, peg or otherwise secure the sod to prevent slippage on slopes. Ensure solid contact exists between sod roots and the underlying soil surface.
d. Water the sod immediately following rolling and tamping until the underside of the new sod and soil surface below the sod are thoroughly wet. Complete the operations of laying, tamping and irrigating for any piece of sod within eight hours.
3. Sod Maintenance
a. In the absence of adequate rainfall, water daily during the first week or as often and sufficiently as necessary to maintain moist soil to a depth of 4 inches. Water sod during the heat of the day to prevent wilting.
b. After the first week, sod watering is required as necessary to maintain adequate moisture content.
c. Do not mow until the sod is firmly rooted. No more than 1/3 of the grass leaf must be removed by the initial cutting or subsequent cuttings. Maintain a grass height of at least 3 inches unless otherwise specified.

B-4-6 Standards and Specifications for Soil Stabilization Matting

- Conditions Where Practice Applies:**
On newly seeded surfaces to prevent the applied seed from washing out in channels and on steep slopes where the flow has erosive velocities or conveys clear water on temporary swales, earth dikes, and perimeter dike swales as required by the respective design standard; on stream banks where moving water is likely to wash out new vegetative plantings.

B-4-7 Standards and Specifications for Heavy use Area Protection

- Conditions Where Practice Applies:**
This practice applies to intensively used areas (e.g., equipment and material storage, staging areas, heavily used travel lanes).
- Criteria:**
1. A minimum 4-inch base course of crushed stone or other suitable materials including wood chips or nonwoven geotextile should be provided as specified in Section H-1 Materials.
 2. Select the stabilizing material based on the intended use, desired maintenance frequency, and runoff control.
 3. The transport of sediments, nutrients, oils, chemicals, particulate matter associated with vehicular traffic and equipment, and material storage needs to be reduced to a minimum in the selection of material. Additional control measures may be necessary to control some of these potential pollutants.
 4. Surface erosion can be a problem on large heavy use areas. In these situations, measures to reduce the flow length of runoff or erosive velocities need to be considered.

- Maintenance:**
The heavy use areas must be maintained in a condition that minimizes erosion. This may require adding suitable materials as specified on the approved plans to maintain a clean surface.

B-4-8 Standards and Specifications for Stockpile Area

- Conditions Where Practice Applies:**
Stockpile areas are utilized when it is necessary to salvage and store soil for later use.
- Criteria:**
1. The stockpile location and all related sediment control practices must be clearly indicated on the erosion and sediment control plan.
 2. The footprint of the stockpile must be sized to accommodate the anticipated volume of material and based on a side slope ratio no steeper than 2:1. Benching must be provided in accordance with Section B-3 Land Grading.
 3. Runoff from the stockpile area must drain to a suitable sediment control practice.
 4. Access the stockpile area from the upgrade side.
 5. Clear water runoff into the stockpile area must be minimized by use of a diversion device such as an earthen dike, temporary swale or diversion fence. Provisions must be made for discharging concentrated flow in a non-erosive manner.
 6. Where runoff concentrates along the toe of the stockpile fill, an appropriate erosion/sediment control practice must be used to intercept the discharge.
 7. Stockpiles must be stabilized in accordance with the 3/7 day stabilization requirement as well as Standard B-4-1 Incremental Stabilization and Standard B-4-4 Temporary Stabilization.
 8. If the stockpile is located on an impervious surface, a liner should be provided below the stockpile to facilitate cleanup. Stockpiles containing contaminated material must be covered with impermeable sheeting.

- Maintenance:**
The stockpile area must continuously meet the requirements for Adequate Vegetative Establishment in accordance with Section B-4 Vegetative Stabilization. Side slopes must be maintained at no steeper than a 2:1 ratio. The stockpile area must be kept free of erosion. If the vertical height of a stockpile exceeds 20 feet for 2:1 slopes, 30 feet for 3:1 slopes, or 40 feet for 4:1 slopes, benching must be provided in accordance with Section B-3 Land Grading.

TABLE B.2: RECOMMENDED PERMANENT SEEDING MIXTURES BY SITE CONDITION OR PURPOSE

Site Condition or Purpose of the Planting	Recommended Mix (See Table B.3)													
	1	2	3	4	5	6	7	8	9	10	11	12	13	
Steep slopes, Roadside	R	R	R	A	A	A						A	A	R
Sand and Gravel Pits, Sanitary Landfills	R	R	R	A	A	A						A	A	R
Salt-Damaged Areas	A													R
Mine Spoil, Dredged Material and Spoil Banks	A	R	A	A										R
Utility Rights-of-Way	R	R	R	R	R	R	A	A	R	R	R	A	R	R
Dikes and Dams	A	A	A	A	A	R	A	A	R	R	R	A	R	R
Berms and Low Embankments (not on ponds)	R	R	R	R	R	R	A	A	R	R	R	A	R	R
Pond and Channel Banks, Streambanks	R	R	R	A	A	A	A	A	A	A	A	A	A	R
Grassed Waterways, Diversions, Terraces, Spillways	A			A	A	R	A	R	A	R	A	R	A	R
Bottom of Drainage Channels, Swales, Detention Basins	R	R	R	A	A	A	A	A	R	R	R	A	R	R
Field Borders, Filter Strips, Contour Buffer Strips	R	R	R	A	A	A	A	A	R	R	R	A	R	R
Wastewater Treatment Strips and Areas									B	A	A			
Heavy Use Areas (Grass Loafing Paddocks for livestock)														B
Athletic Fields, Residential and Commercial Lawns												A	R	R
Recreation Areas												R	R	R

R - Recommended mix for this site condition or purpose
A - Alternative mix, depending on site conditions

H-1 Standards and Specifications for Materials

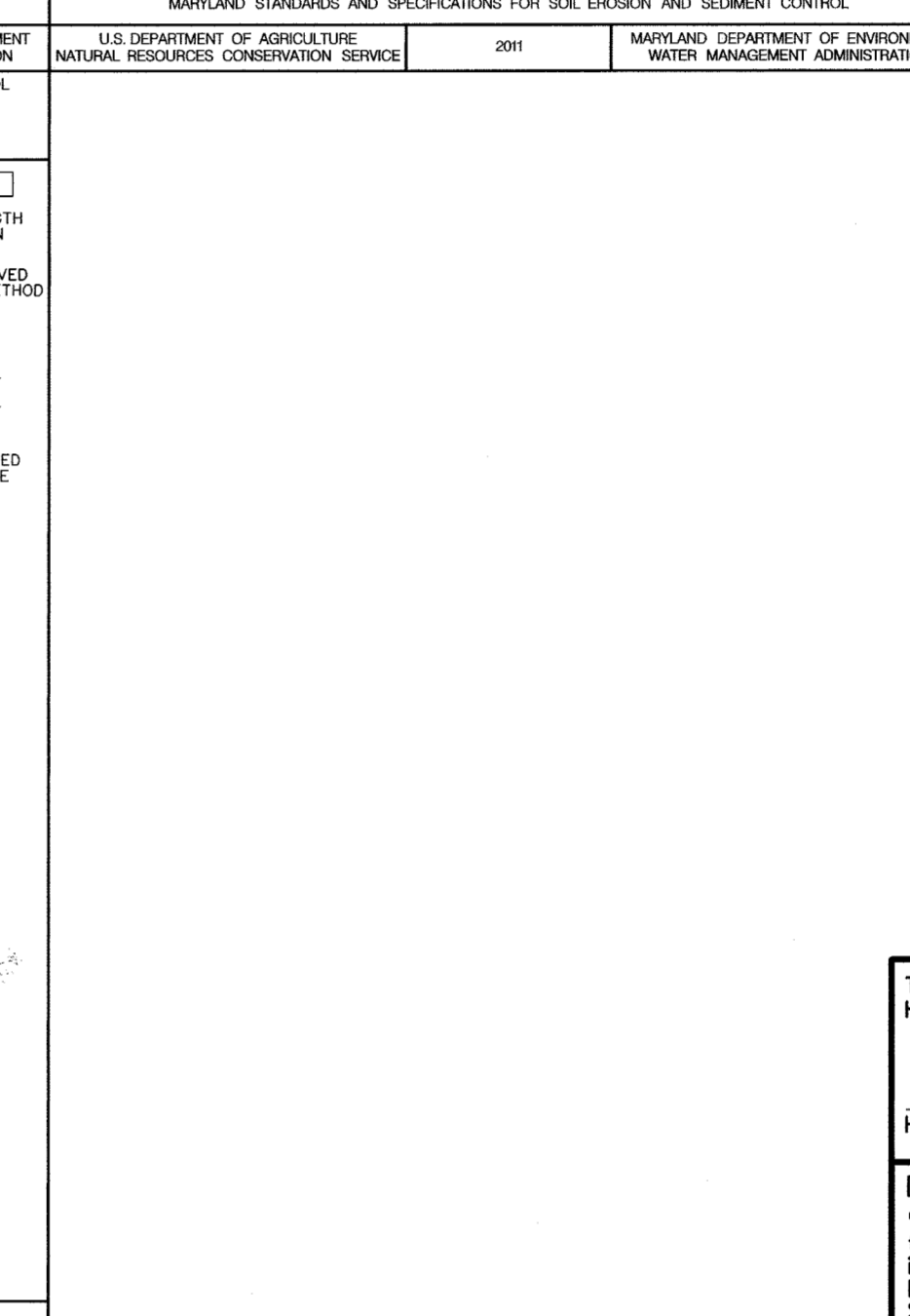
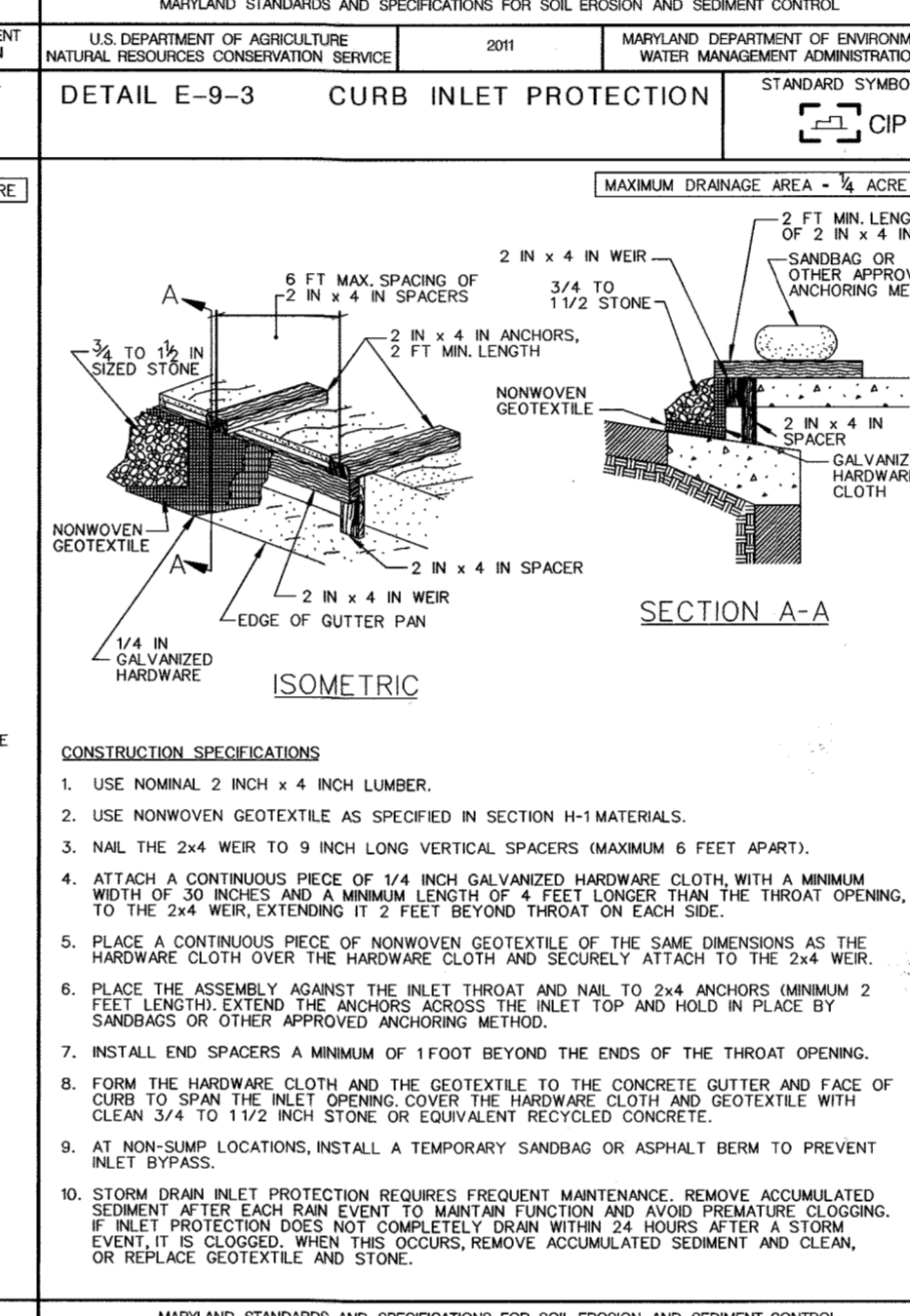
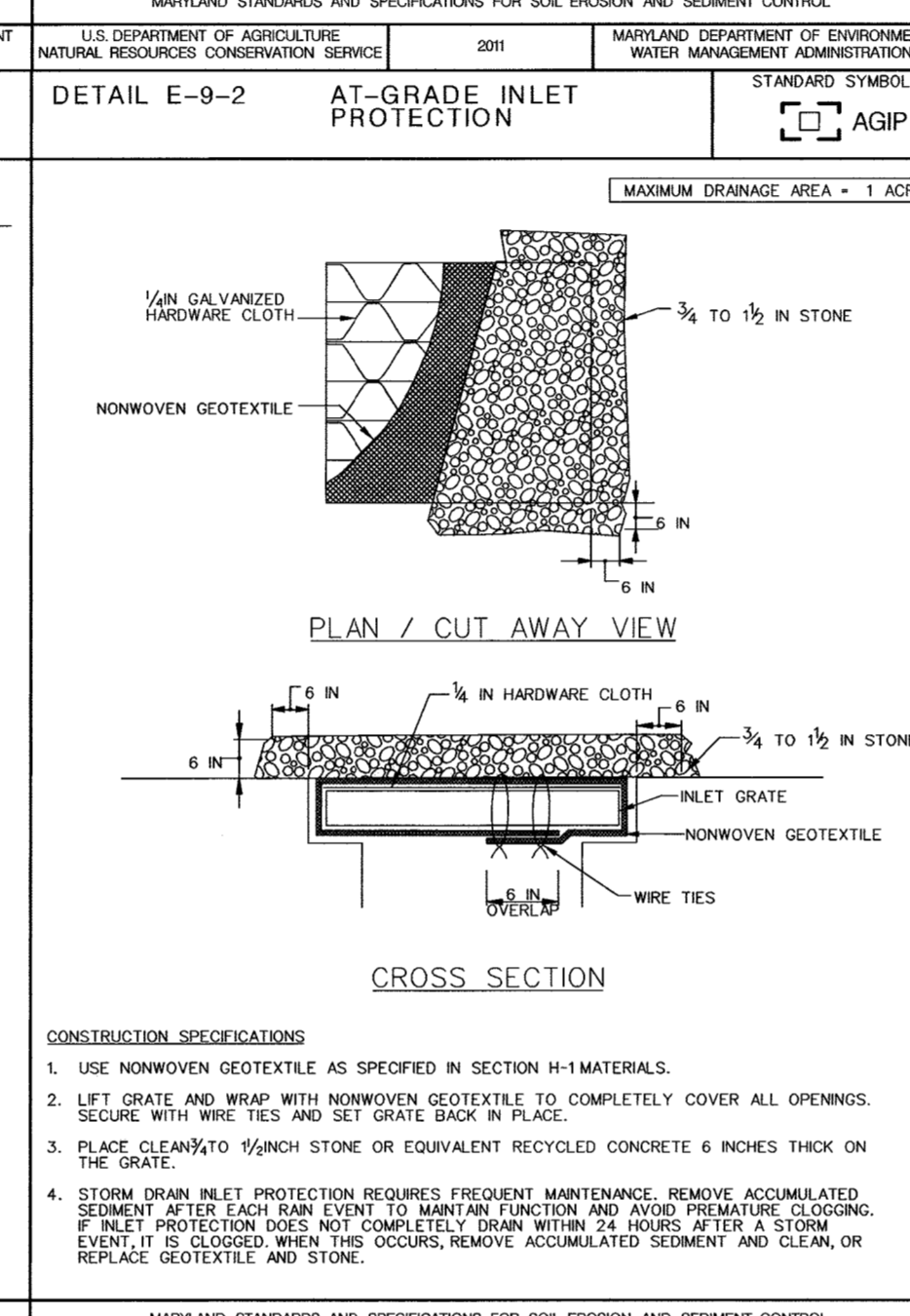
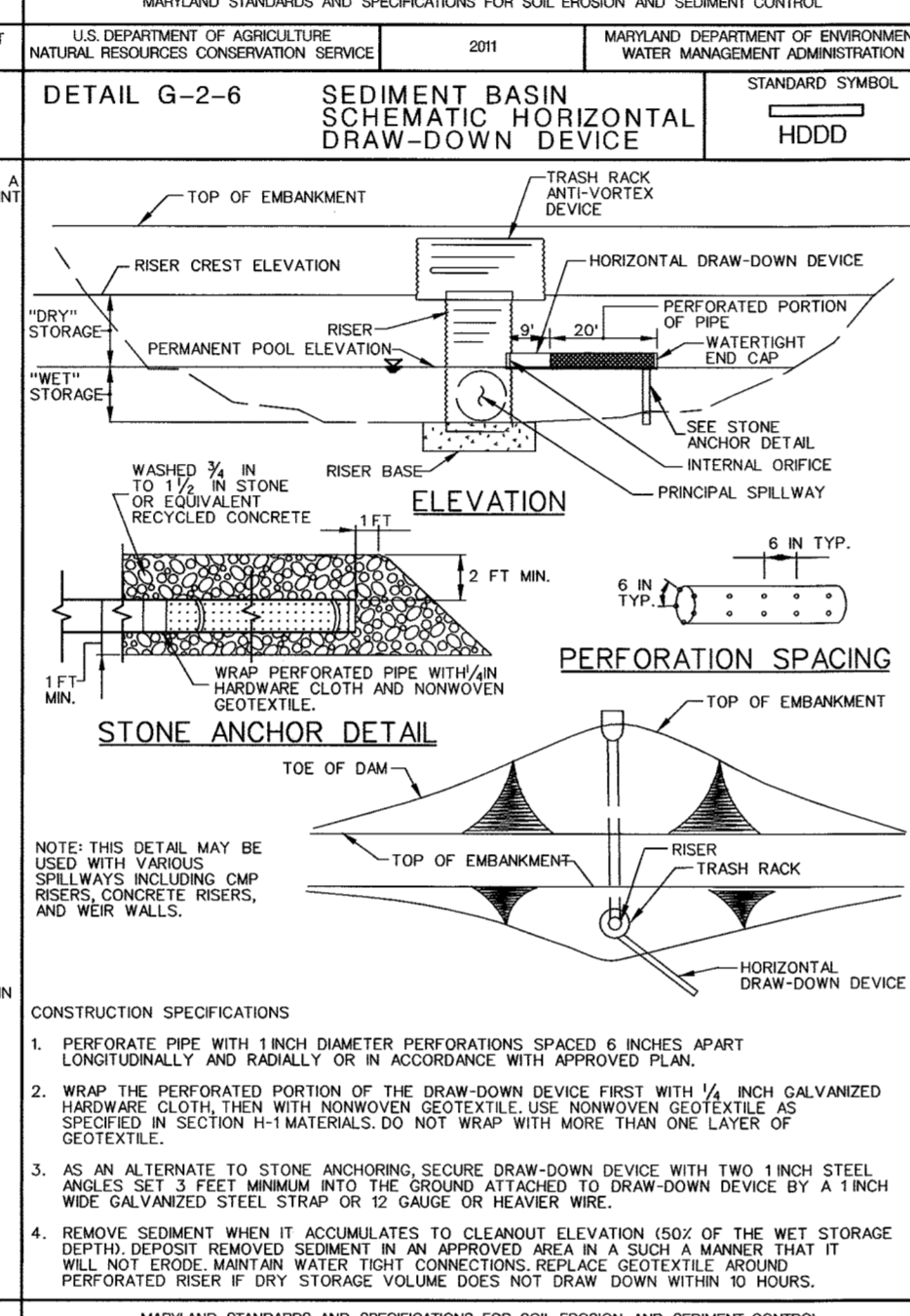
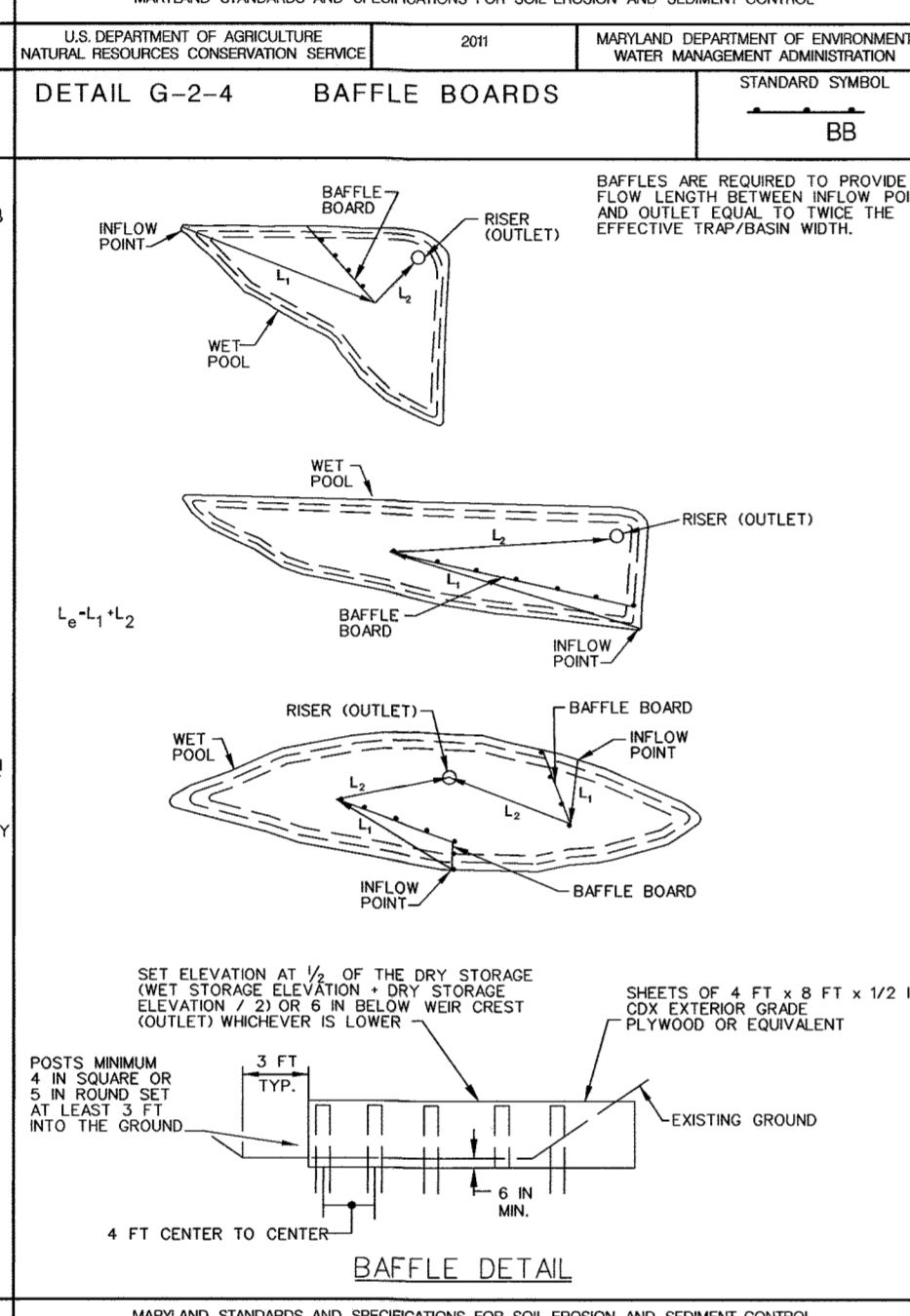
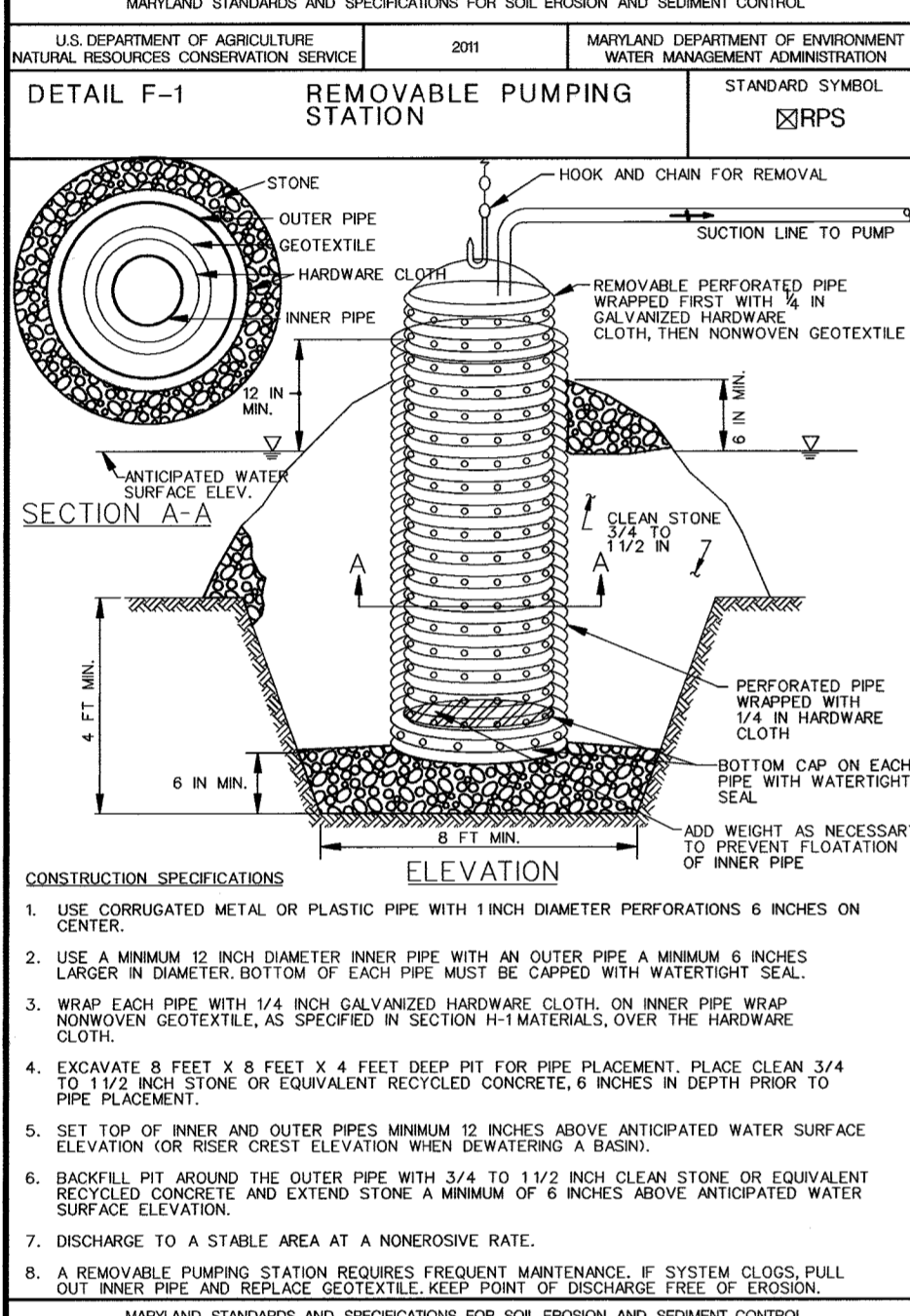
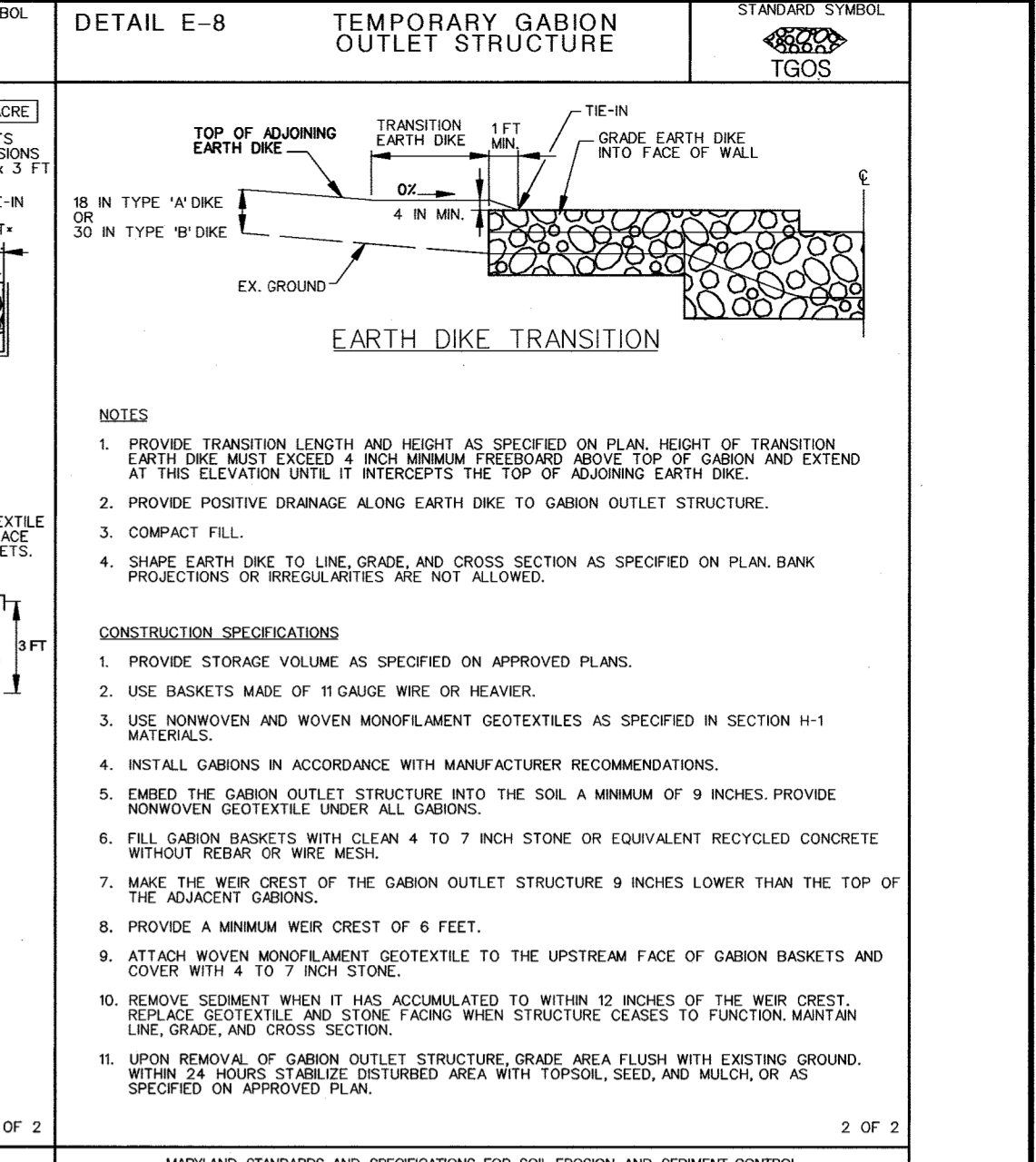
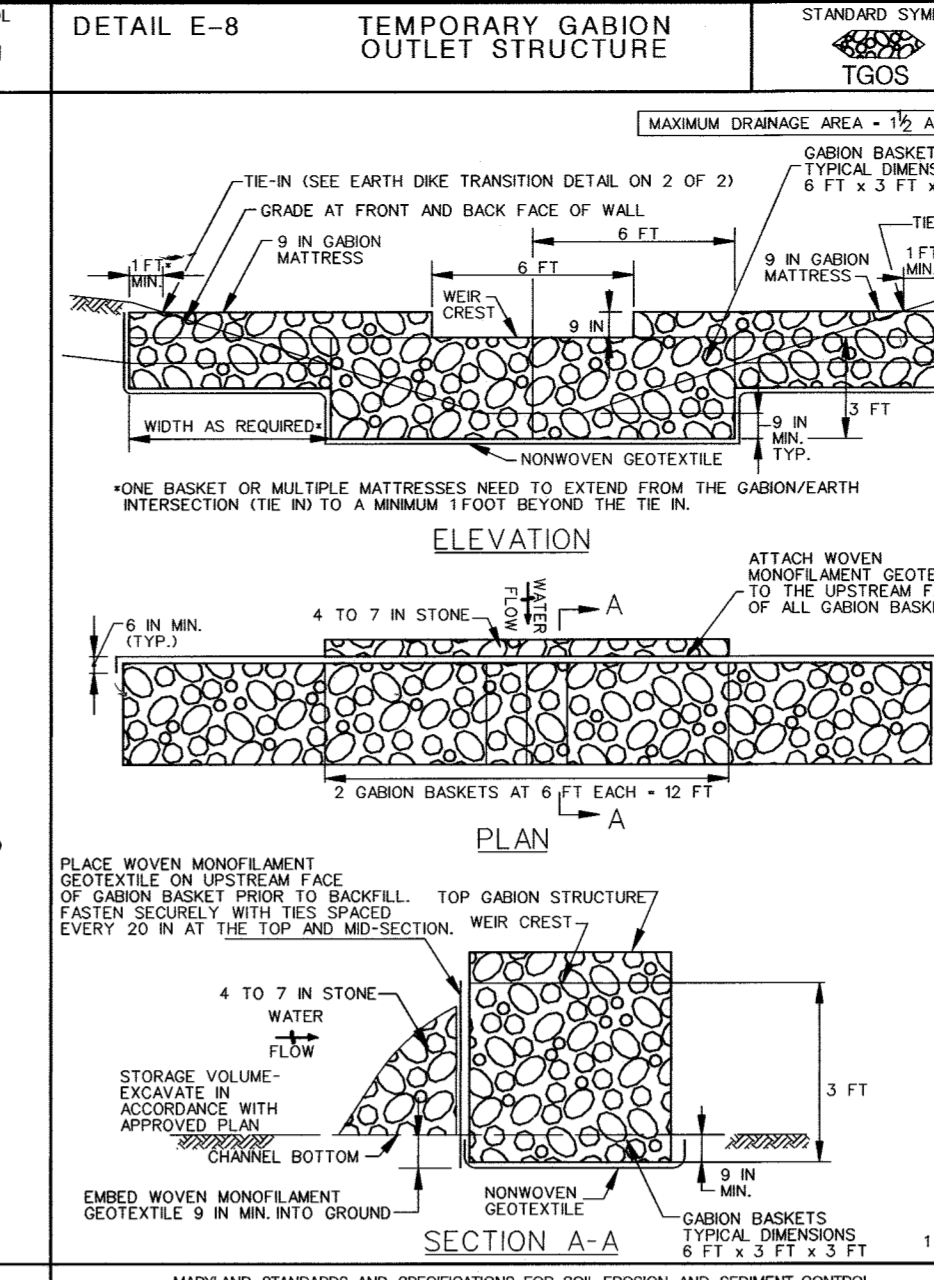
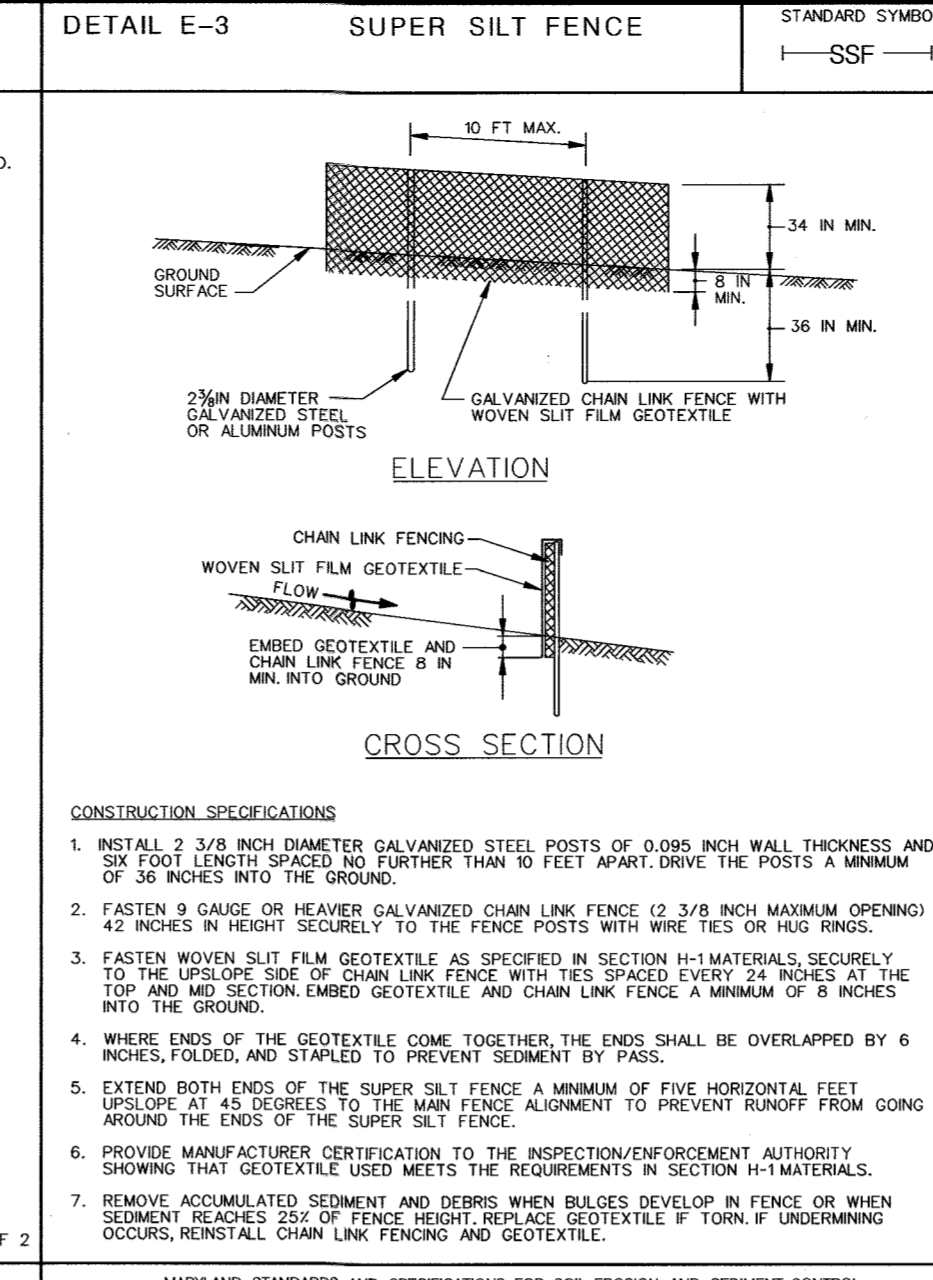
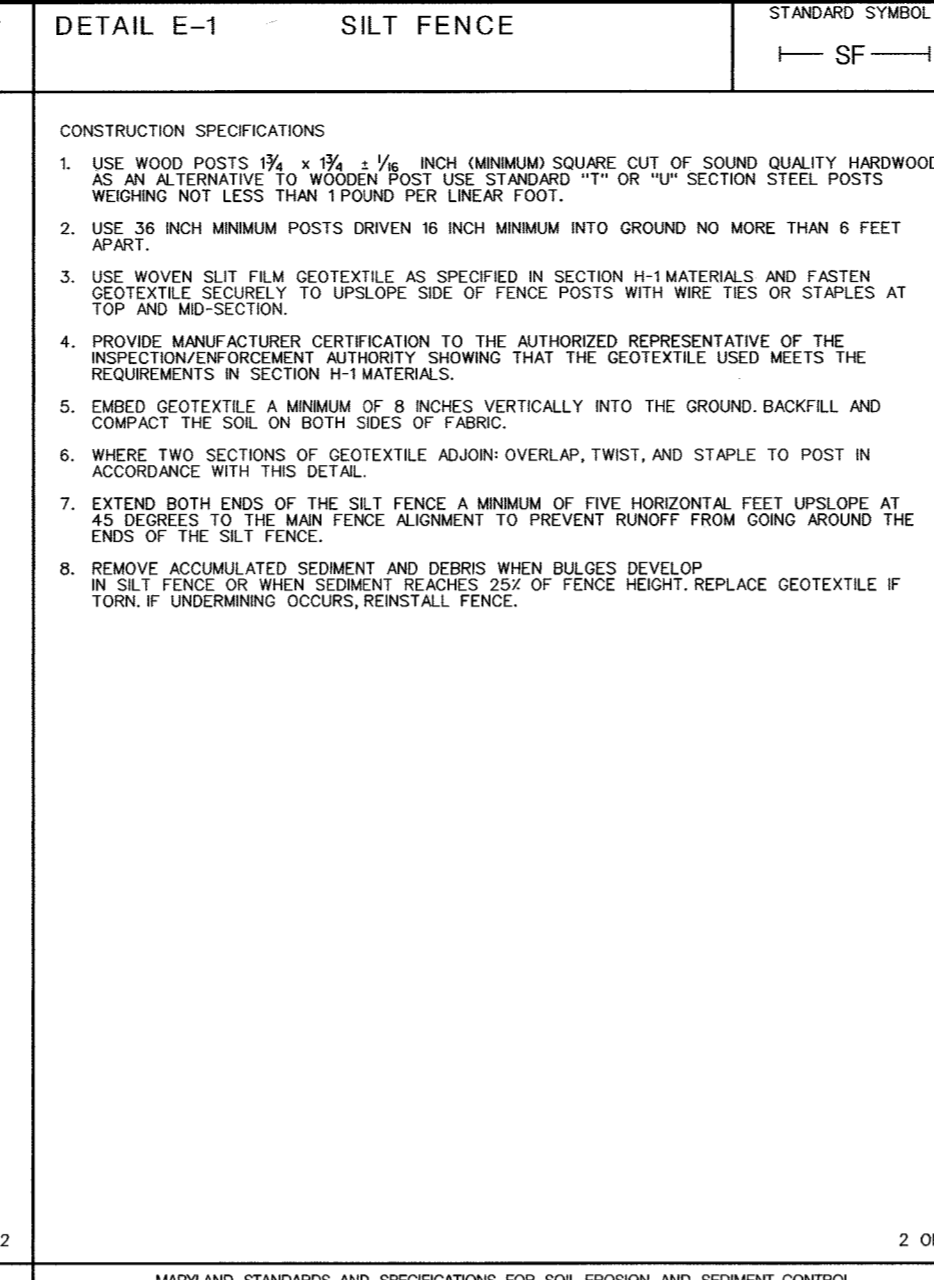
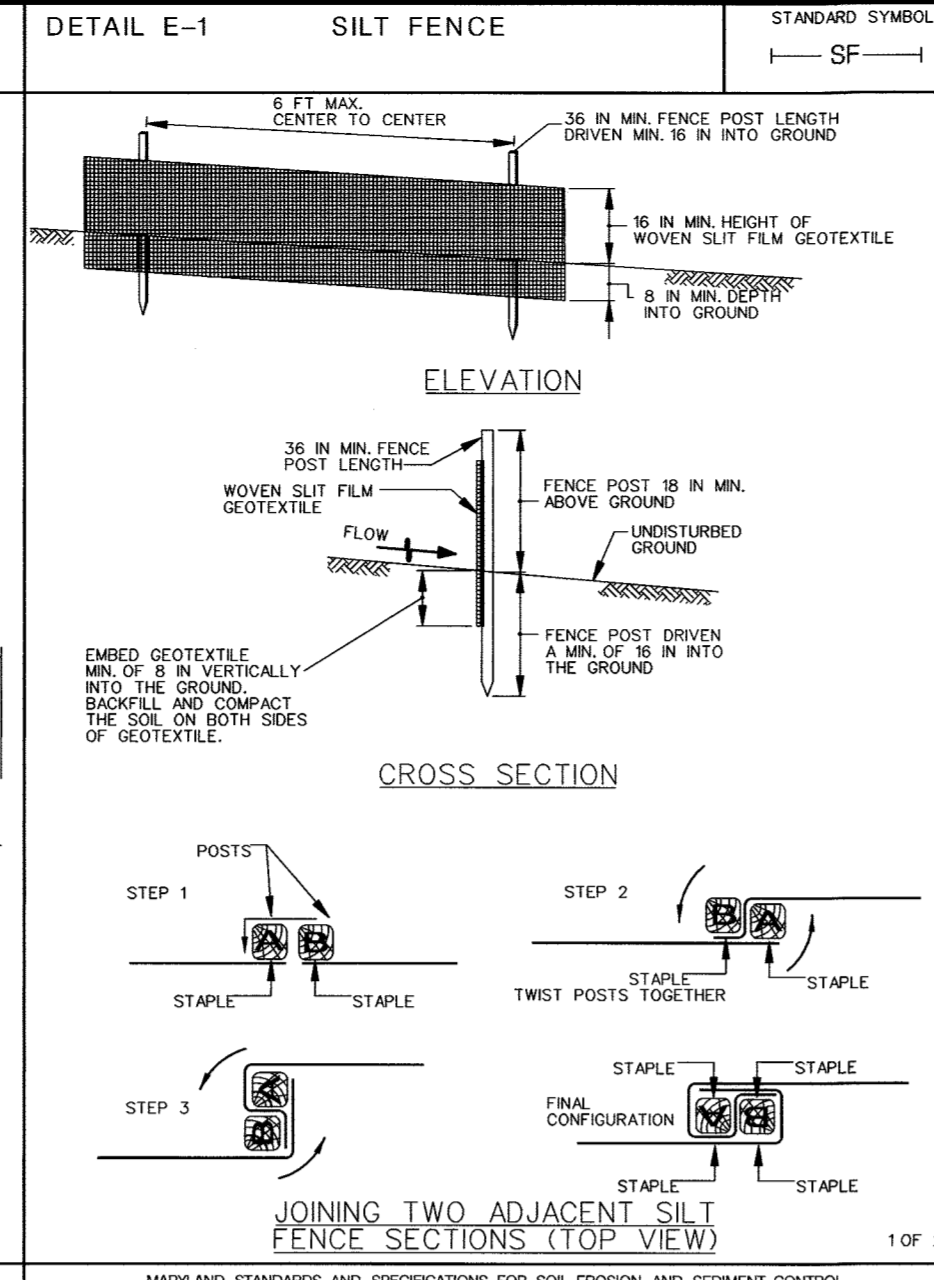
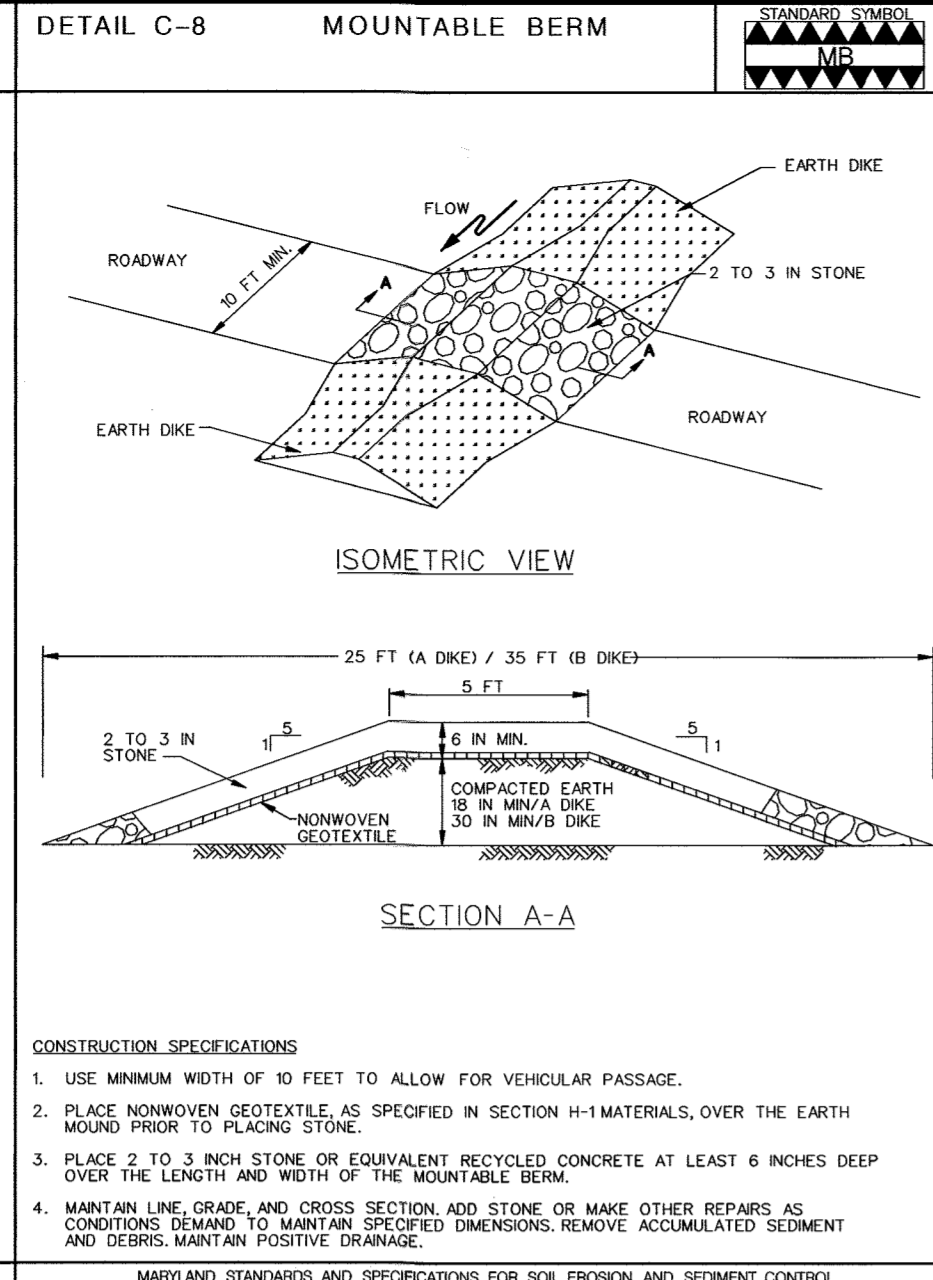
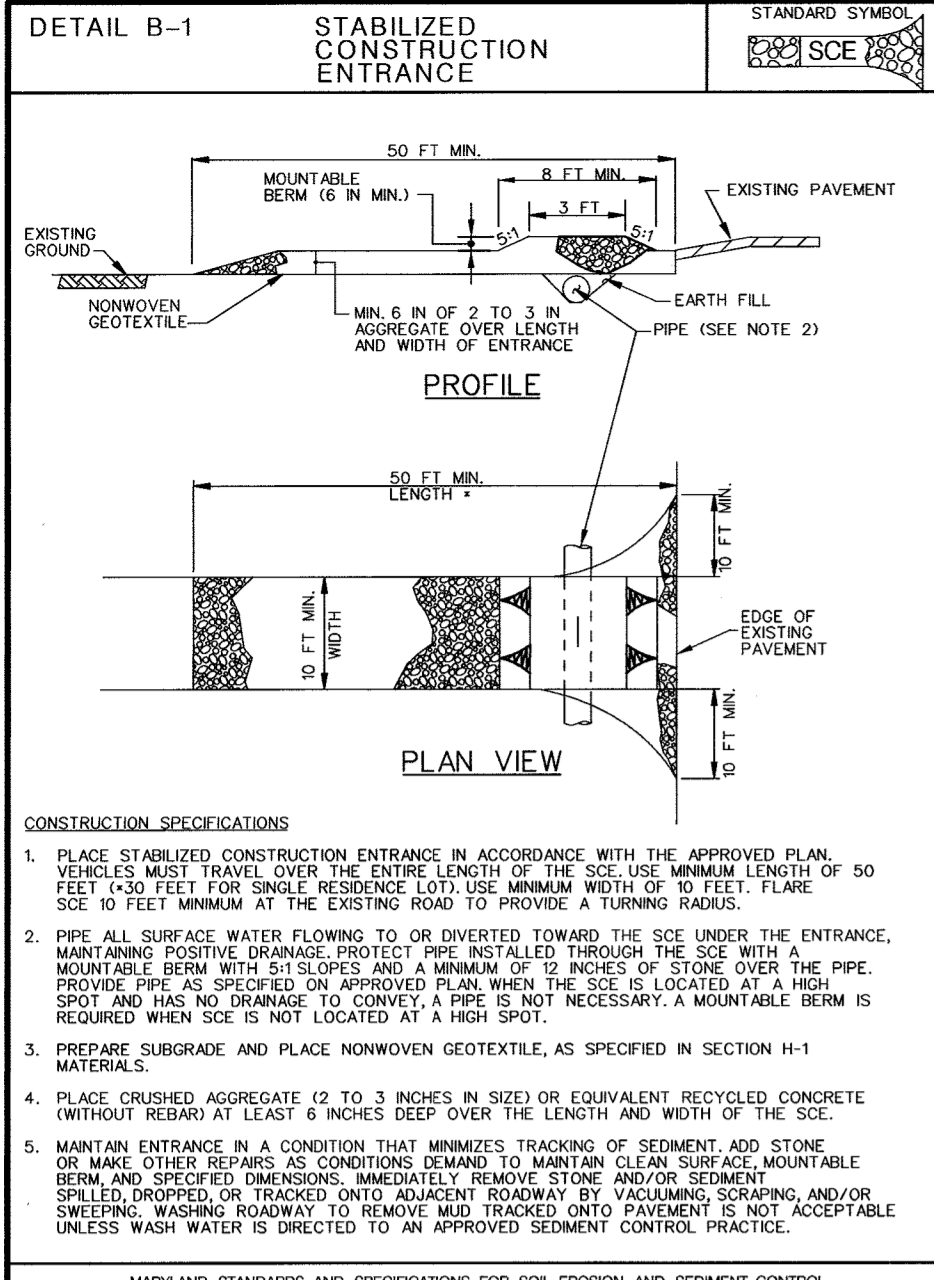
TABLE H.1: GEOTEXTILE FABRICS

PROPERTY	TEST METHOD	MINIMUM AVERAGE ROLL VALUE ¹			
		MD	CD	MD	CD
Grab Tensile Strength	ASTM D-4632	200 lb	200 lb	370 lb	250 lb
Grab Tensile Elongation	ASTM D-4632	15%	10%	15%	15%
Trapezoidal Tear Strength	ASTM D-4533	75 lb	75 lb	100 lb	60 lb
Puncture Strength	ASTM D-6241	450 lb		900 lb	450 lb
Apparent Opening Size ²	ASTM D-4751	U.S. Sieve 30 (0.59 mm)		U.S. Sieve 70 (0.21 mm)	
Permeability	ASTM D-4491	0.05 sec ⁻¹		0.28 sec ⁻¹	
Ultraviolet Resistance Retained at 500 hours	ASTM D-4355	70% strength		70% strength	

¹ All numeric values except apparent opening size (AOS) represent minimum average roll values (MARV). MARV is calculated as the typical minimum of two standard deviations. MD is machine direction; CD is cross direction.
² Values for AOS represent the average maximum opening.

Geotextiles must be evaluated by the National Transportation Product Evaluation Program (NTPPE) and conform to the values in Table H.1.

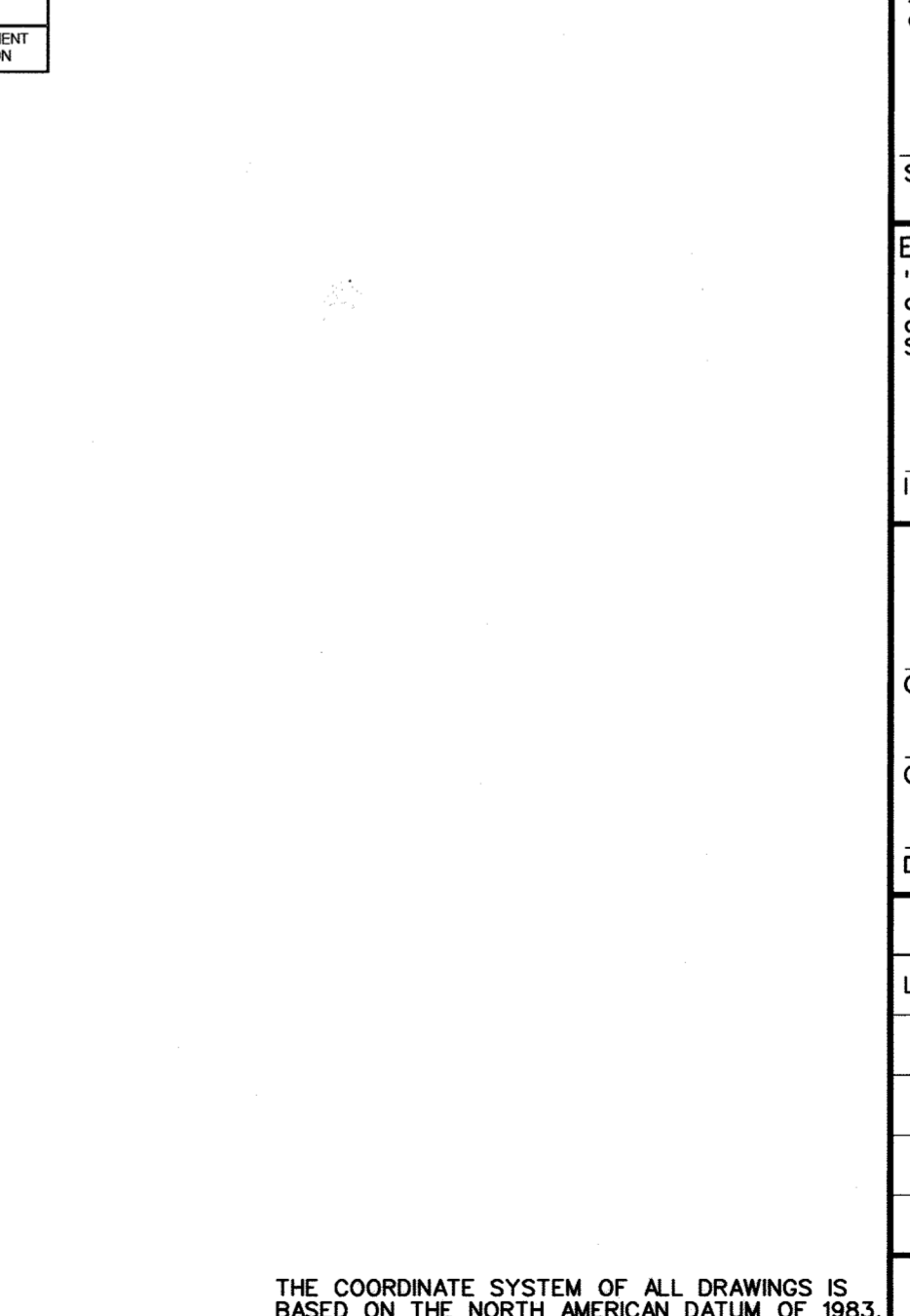
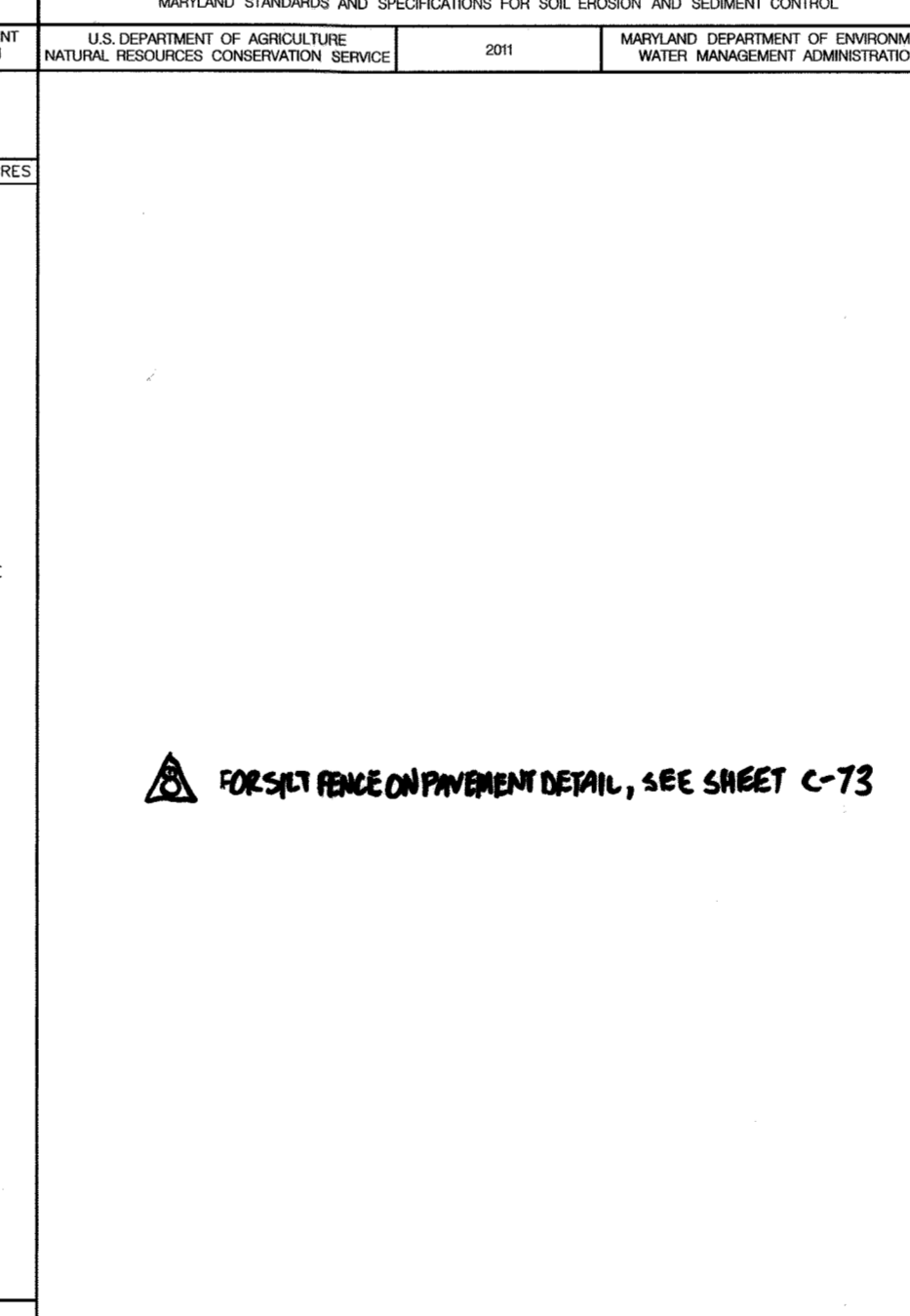
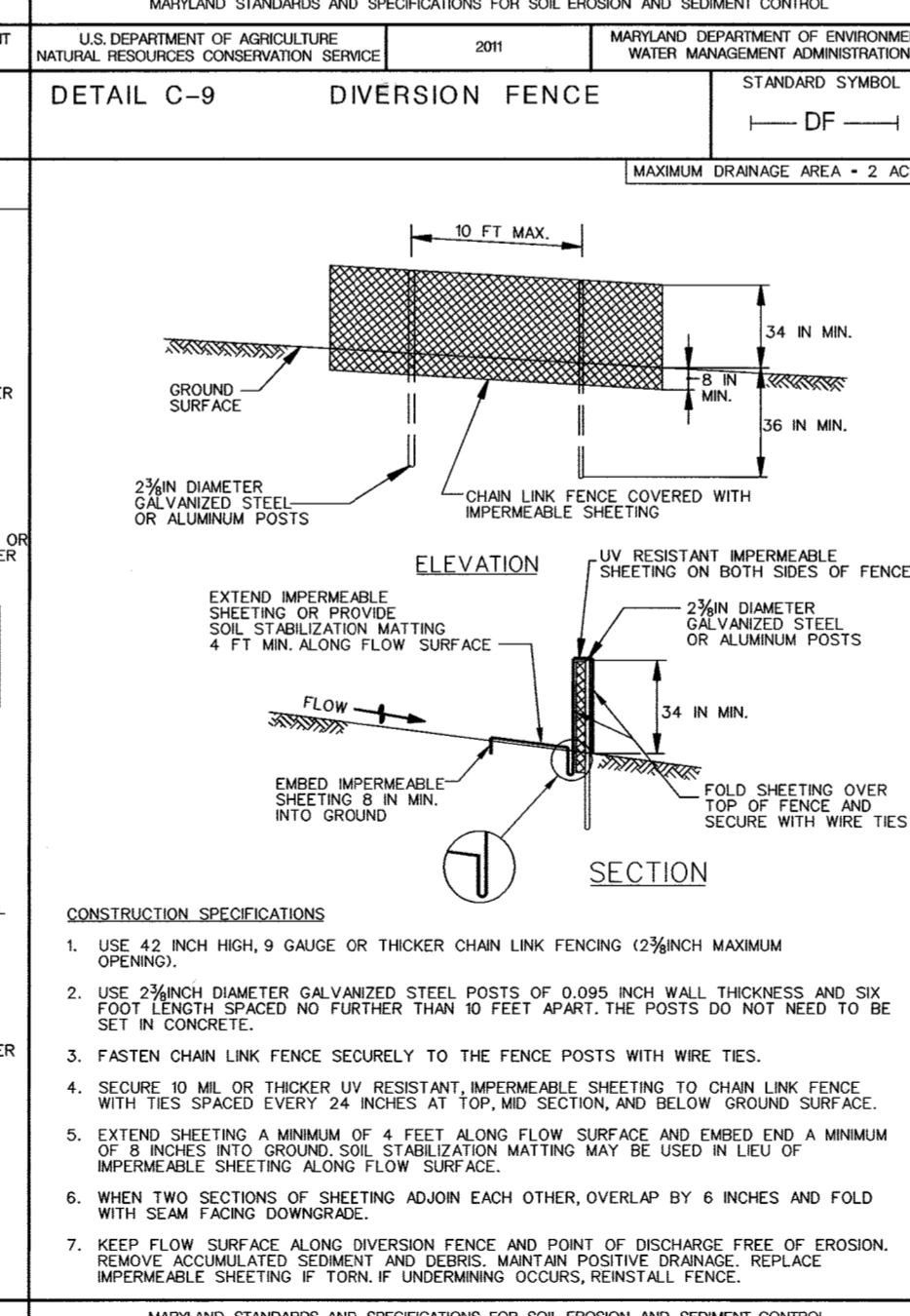
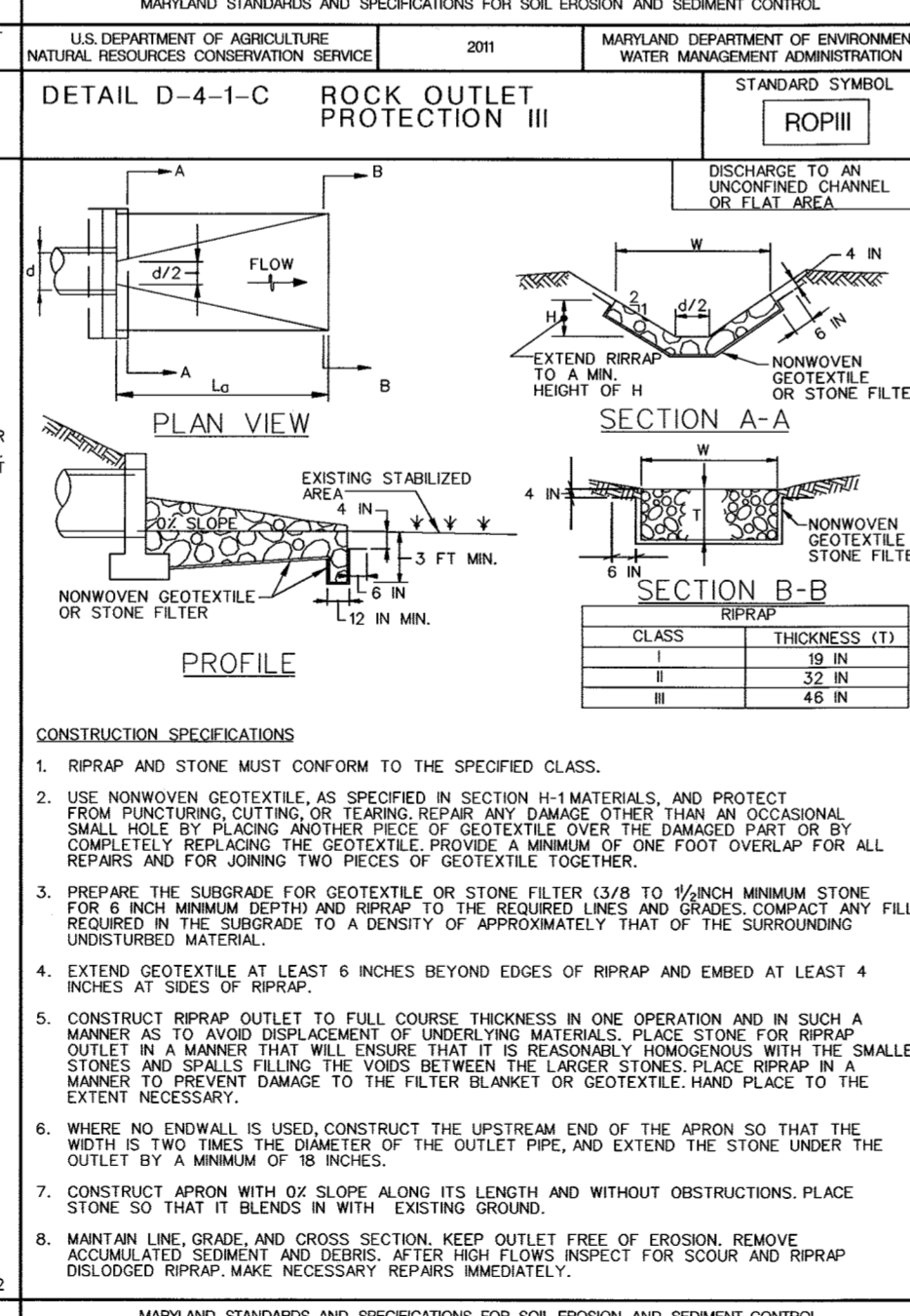
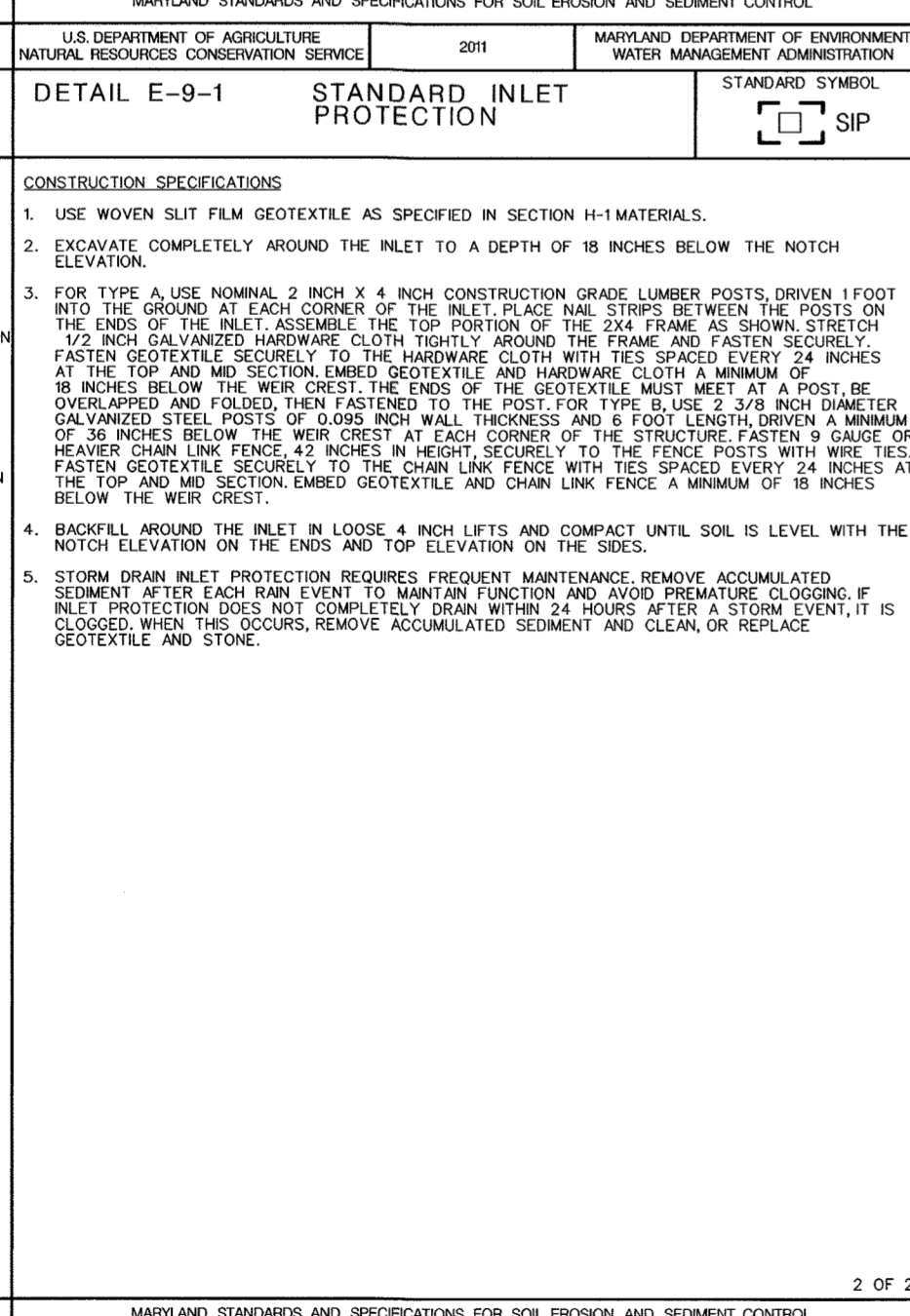
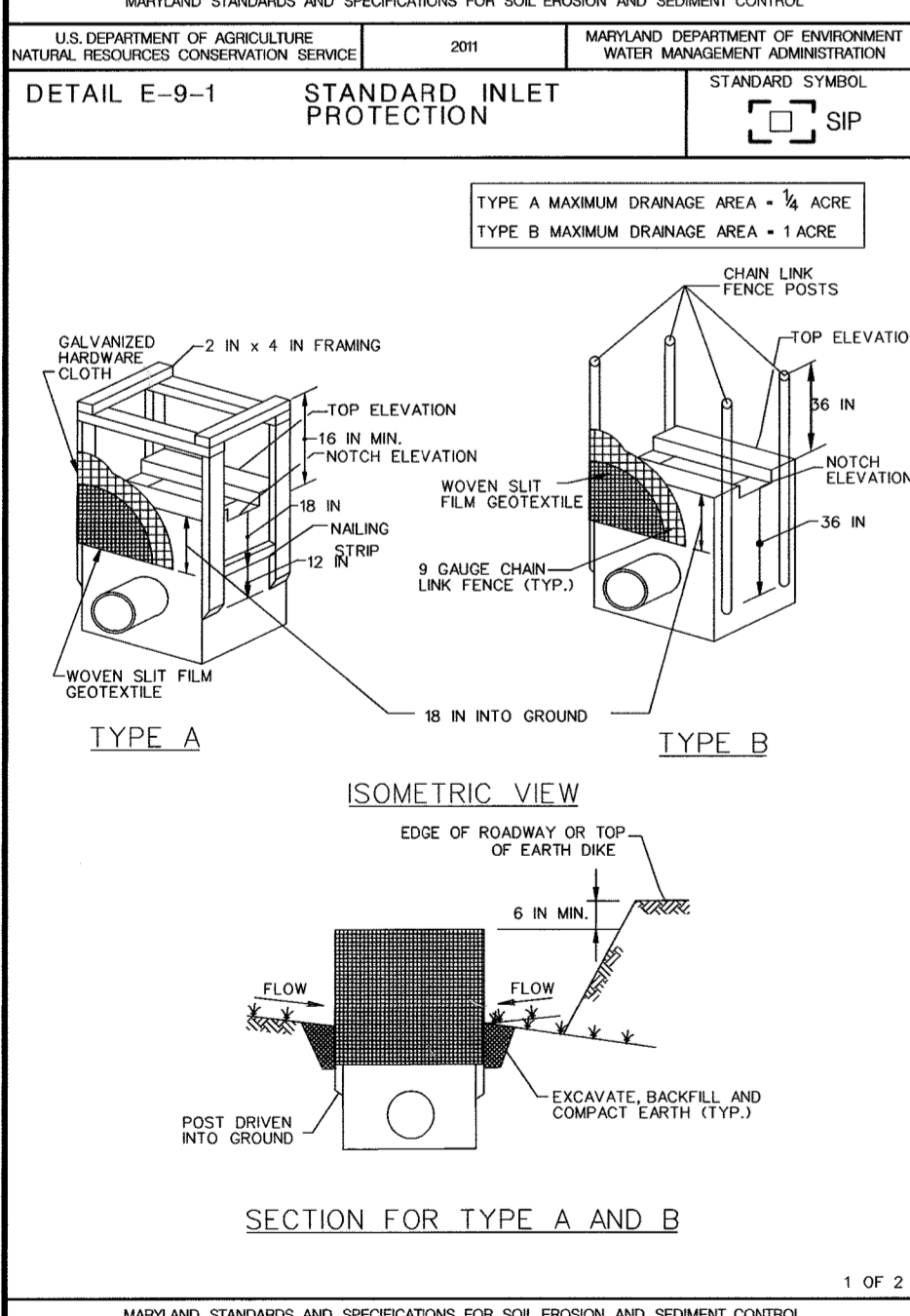
The geotextile must be inert to commonly encountered chemicals and hydrocarbons and must be rot and mildew resistant. The geotextile must



Messick & Associates, Inc.
CONSULTING ENGINEERS, PLANNERS AND SURVEYORS
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DUBLIN, MARYLAND 21031
(410) 895-3212 • FAX (410) 266-5042
www.messick.com • nct@messick.com

Professional Certification: I hereby certify that this document was prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland.

License No. 22098 Expiration Date: 9/10/2014



This development plan is approved for soil erosion and sediment control by the HOWARD SOIL CONSERVATION DISTRICT.

John K. Rautava 10/30/14
Howard Co. SCD Date

DEVELOPER'S CERTIFICATE
"I/We certify that all development and construction will be done according to this plan for sediment and erosion control, and that all responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the Howard Soil Conservation District"

Stuart Foard 10-15-14
Stuart Foard Date

ENGINEER'S CERTIFICATE
"I certify that this plan for sediment and erosion control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District"

Iwona Rostek-Zarska, P.E. 10-15-14
Iwona Rostek-Zarska, P.E. 21245 Date

APPROVED: DEPARTMENT OF PLANNING AND ZONING

Kevin E. ... 11-6-14
Chief, Development Engineering Division Date

Kevin ... 11-20-14
Chief, Division of Land Development Date

Kevin ... 11-20-14
Director Date

ADDRESS CHART

LOT / PARCEL NO.	STREET ADDRESS
PARCEL B-1	7901 OCEANO AVENUE
PARCEL E-1	7775 CHESAPEAKE BAY COURT

PERMIT INFORMATION CHART

SUBDIVISION NAME	SECTION / AREA	LOT / PARCEL NO.
MARYLAND FOOD CENTER AUTHORITY	3	B-1/662 & E-1/696

PLAT No. or L/F	GRID No.	ZONING	TAX MAP No.	ELEC. DIST.	CENSUS TRACT
23017-23021	21	M-2	43	6TH	6069.01

BLDG
Baltimore Land Design Group Inc.
Consulting Engineers

230 SCHILLING CIRCLE, SUITE 364 • HUNT VALLEY, MARYLAND 21031
PHONE: 410.229.9851 • FAX: 410.229.9865 • BLDG@BLDGCNC.COM

PROFESSIONAL CERTIFICATION

HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 21245, EXPIRATION DATE: JUNE 9, 2016.

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FAX (410) 379-5773

DEVELOPER / APPLICANT
MERRITT PROPERTIES, LLC

2066 LORD BALTIMORE DRIVE
BALTIMORE, MD 21244
PHONE (410) 298-2600
FAX (410) 298-9644

DATE	NO.	DESCRIPTION	REVISIONS	BY
10/31/14	A	ADD A REVISION TO CHAIN LINK FENCE ON PAVEMENT DETAIL		MFA

THE COORDINATE SYSTEM OF ALL DRAWINGS IS BASED ON THE NORTH AMERICAN DATUM OF 1983. THE ELEVATION SYSTEM OF ALL DRAWINGS IS BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988.
HORIZ: NAD 83/91; VERT: NAVD 88

EROSION AND SEDIMENT CONTROL PLAN
DETAILS

MARYLAND FOOD CENTER AUTHORITY

PARCEL B-1 & E-1
(WAREHOUSE & OFFICE)

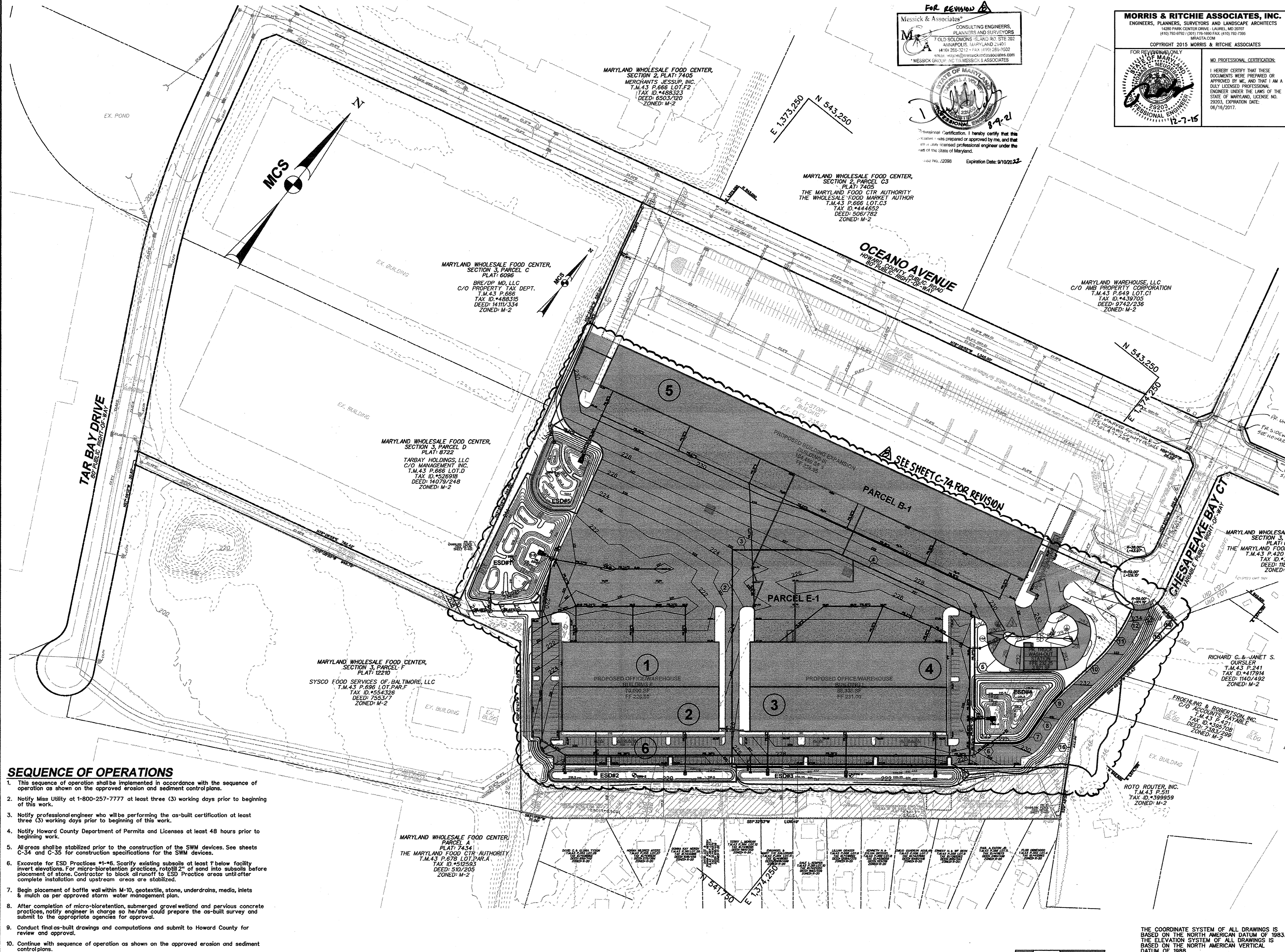
HOWARD COUNTY, MARYLAND
SCALE: N/A

DATE: OCTOBER, 2014

DRAWING NO. **C-27**

SHEET 27 OF 83

SDP-14-068



FOR REVISION
 Messick & Associates
 CONSULTING ENGINEERS
 PLANNERS AND SURVEYORS
 7 OLD SOLOMONS ISLAND RD. STE 202
 ANNAPOLIS, MARYLAND 21401
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 www.messickassociates.com
 *MESSICK GROUP AND ITS ASSOCIATES



MORRIS & RITCHIE ASSOCIATES, INC.
 ENGINEERS, PLANNERS, SURVEYORS AND LANDSCAPE ARCHITECTS
 1420 PARK CENTER DRIVE - LAUREL, MD 20707
 (410) 760-9802 (301) 776-9800 FAX (410) 760-7295
 MRAGTA.COM
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FOR REVISION ONLY
 STATE OF MARYLAND
 PROFESSIONAL ENGINEER
 LICENSE NO. 29203
 EXPIRES 12-7-15

MD PROFESSIONAL CERTIFICATION:
 I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NO. 29203. EXPIRATION DATE: 06/15/2017.

SUMMARY - OVERALL DESIGN

TOTAL DEVELOPABLE AREA (LDD)	1,051,181 SF OR 24.13 AC
PROPOSED IMPERVIOUS AREA	790,860 SF OR 18.16 AC
EXISTING IMPERVIOUS AREA	28,595 SF OR 0.66 AC
IMPERVIOUS AREA TO BE TREATED (PROP. - EX.)	757,799 SF OR 17.40 AC
IMPERVIOUS AREA TREATED	769,013 SF OR 17.65 AC
ESD TREATMENT VOLUME REQUIRED	110,187 CF
ESD TREATMENT VOLUME PROVIDED	148,573 CF
TARGET Pe REQUIRED	1.80
TARGET Pe PROVIDED	2.43
RECHARGE VOLUME REQUIRED	4,286 CF
RECHARGE VOLUME PROVIDED	4,344 CF

SUMMARY - DRAINAGE AREAS

ESD PRACTICE NUMBER	DRAINAGE AREA NUMBER	TOTAL CONTRIBUTING DRAINAGE AREA (AC)	IMPERVIOUS AREA (AC)
ESD #1	1	7.75	6.56
ESD #2	2	1.175	0.803
ESD #3	3	1.537	1.010
ESD #4	4	4.78	4.72
ESD #5	5	4.08	3.58
Pervious Pavement	6	1.472	0.981
		22.794	17.65

SUMMARY - TYPE OF PRACTICE AND TARGET Pe

ESD PRACTICE NUMBER	TYPE OF ESD PRACTICE	Pe REQUIRED	Pe PROVIDED
ESD #1	SUBMERGED GRAVEL WETLAND	1.8	2.0
ESD #2	MICRO-BIORETENTION	1.8	1.8
ESD #3	MICRO-BIORETENTION	1.8	1.7
ESD #4	SUBMERGED GRAVEL WETLAND	1.8	2.1
ESD #5	SUBMERGED GRAVEL WETLAND	1.8	2.2
ESD #6	PERVIOUS PAVEMENT	1.8	1.8

SOIL CLASSIFICATION

UID	Urban Land - Udorthents complex, 0 to 15 percent slopes	D
-----	---	---

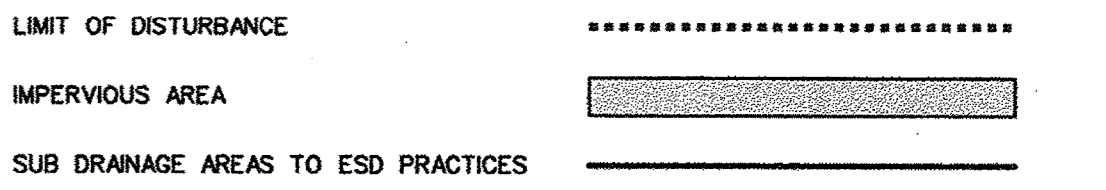
PARCEL E-1 BEARING AND DISTANCES

BEARING	DISTANCE
① S 51° 32' 53" W	750.78'
② N 38° 27' 07" W	485.00'
③ N 51° 32' 53" E	219.79'
④ N 78° 09' 12" E	354.39'
⑤ S 38° 27' 07" E	283.44'
⑥ N 51° 32' 53" E	85.33'
⑦ R-44.0'	42.48'
⑧ N 03° 48' 08" W	54.55'
⑨ R-356.00'	77.82'
⑩ N 08° 45' 23" E	87.35'
⑪ R-344.00'	135.74'
⑫ N 13° 51' 05" W	9.70'
⑬ R-59.00'	61.77'
⑭ S 81° 14' 36" E	66.68'
⑮ S 08° 45' 23" W	311.43'
⑯ S 29° 48' 50" E	107.67'

SEQUENCE OF OPERATIONS

- This sequence of operation shall be implemented in accordance with the sequence of operation as shown on the approved erosion and sediment control plans.
- Notify Miss Utility at 1-800-257-7777 at least three (3) working days prior to beginning of this work.
- Notify professional engineer who will be performing the as-built certification at least three (3) working days prior to beginning of this work.
- Notify Howard County Department of Permits and Licenses at least 48 hours prior to beginning work.
- All areas shall be stabilized prior to the construction of the SWM devices. See sheets C-34 and C-35 for construction specifications for the SWM devices.
- Excavate for ESD Practices #1-#6. Scarify existing subsoils at least 1' below facility invert elevations. For micro-bioretenion practices, rotate 2" of sand into subsoils before placement of stone. Contractor to block off runoff to ESD Practices areas until after complete installation and upstream areas are stabilized.
- Begin placement of baffle wall within M-10, geotextile, stone, underdrains, media, inlets & mulch as per approved storm water management plan.
- After completion of micro-bioretenion, submerged gravel wetland and pervious concrete practices, notify engineer in charge so he/she could prepare the as-built survey and submit to the appropriate agencies for approval.
- Conduct final as-built drawings and computations and submit to Howard County for review and approval.
- Continue with sequence of operation as shown on the approved erosion and sediment control plans.

SWM LEGEND



APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

[Signature] 12-29-15
 CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

[Signature] 12-31-15
 CHIEF, DIVISION OF LAND DEVELOPMENT DATE

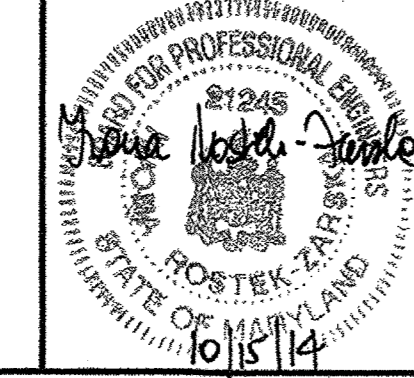
[Signature] 1-3-16
 DIRECTOR, DEPARTMENT OF PLANNING AND ZONING DATE

LOT / PARCEL NO.	STREET ADDRESS
PARCEL B-1	7901 OCEANO AVENUE
PARCEL E-1	7775 CHESAPEAKE BAY COURT

PERMIT INFORMATION CHART

SUBDIVISION NAME	MARYLAND FOOD CENTER AUTHORITY	SECTION / AREA	3	LOT / PARCEL NO.	B-1/662 & E-1/696
PLAT NO. OR L/F	23017-23021	GRID NO.	21	ZONING	M-2
TAX MAP NO.	43	ELCH. DIST.	6069.01	CENSUS TRACT	

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 Consulting Engineers
 230 SCHILLING CIRCLE, SUITE 364 • HUNT VALLEY, MARYLAND 21031
 PHONE: 410.229.9851 • FAX: 410.229.9865 • BLDG@BLDGINC.COM



PROFESSIONAL CERTIFICATION
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OWNER
 MARYLAND FOOD CENTER AUTHORITY
 7801 OCEANO AVE
 JESSUP, MD 20794
 PHONE (410) 379-5760
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DEVELOPER / APPLICANT
 MERRITT PROPERTIES, LLC
 2066 LORD BALTIMORE DRIVE
 BALTIMORE, MD 21244
 PHONE (410) 298-2600
 FAX (410) 298-9644

REVISIONS

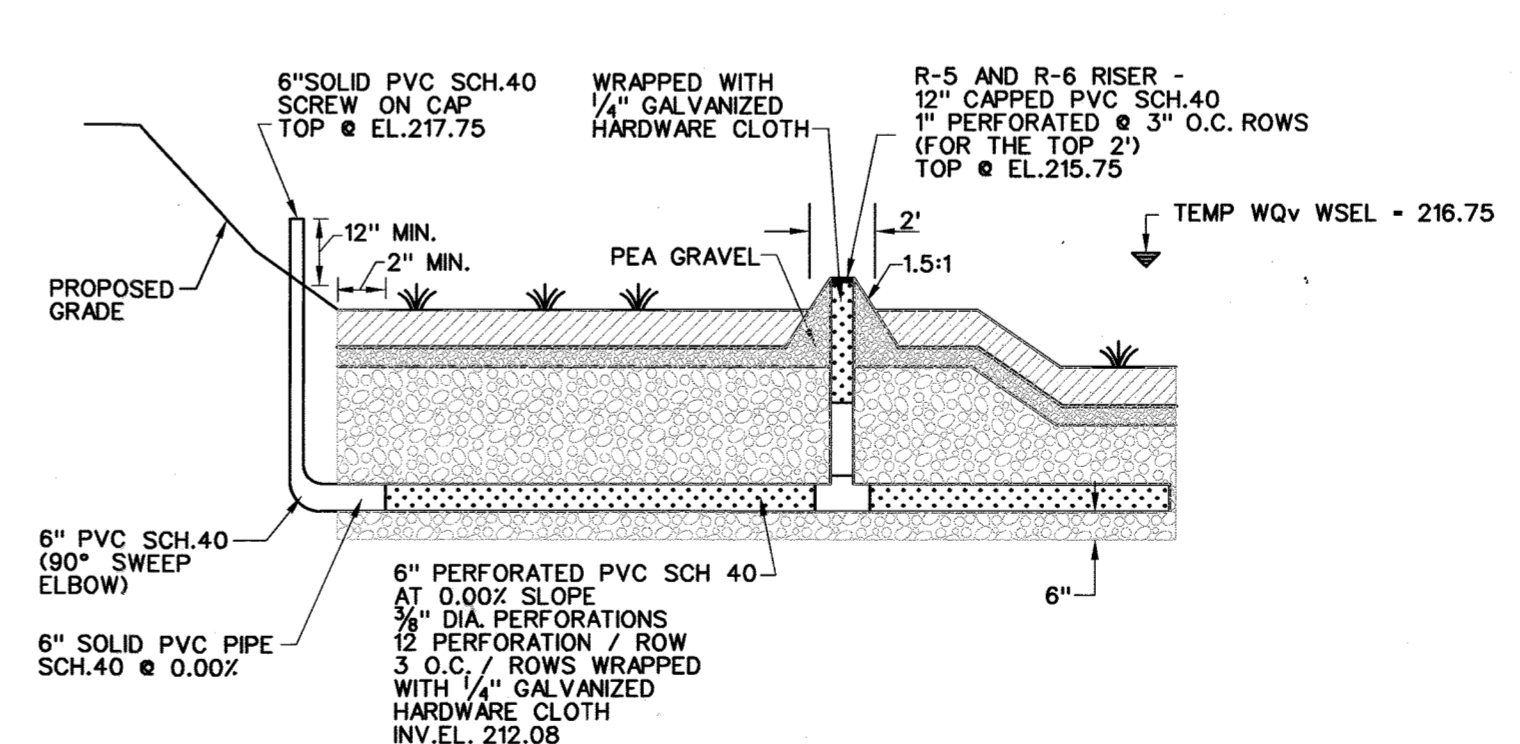
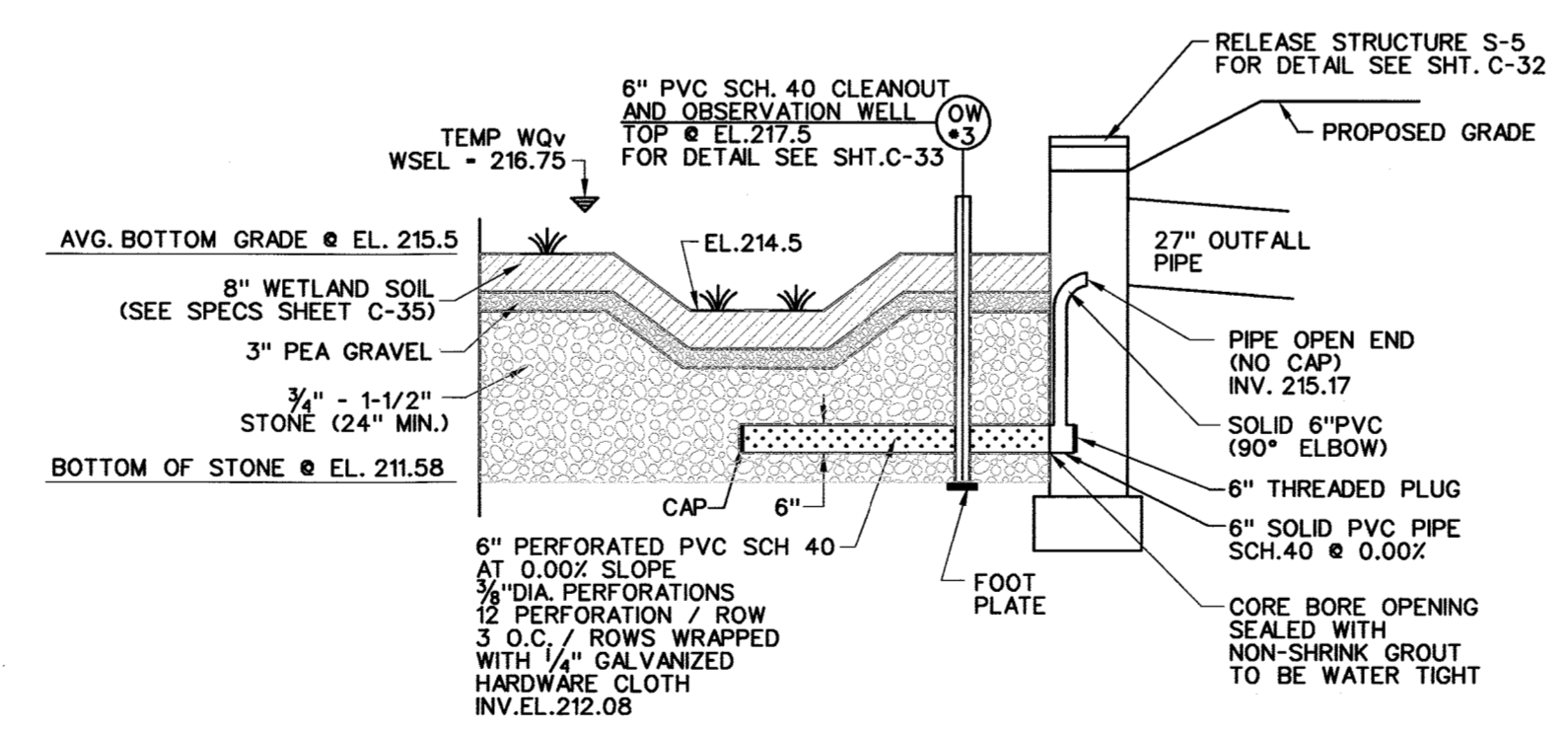
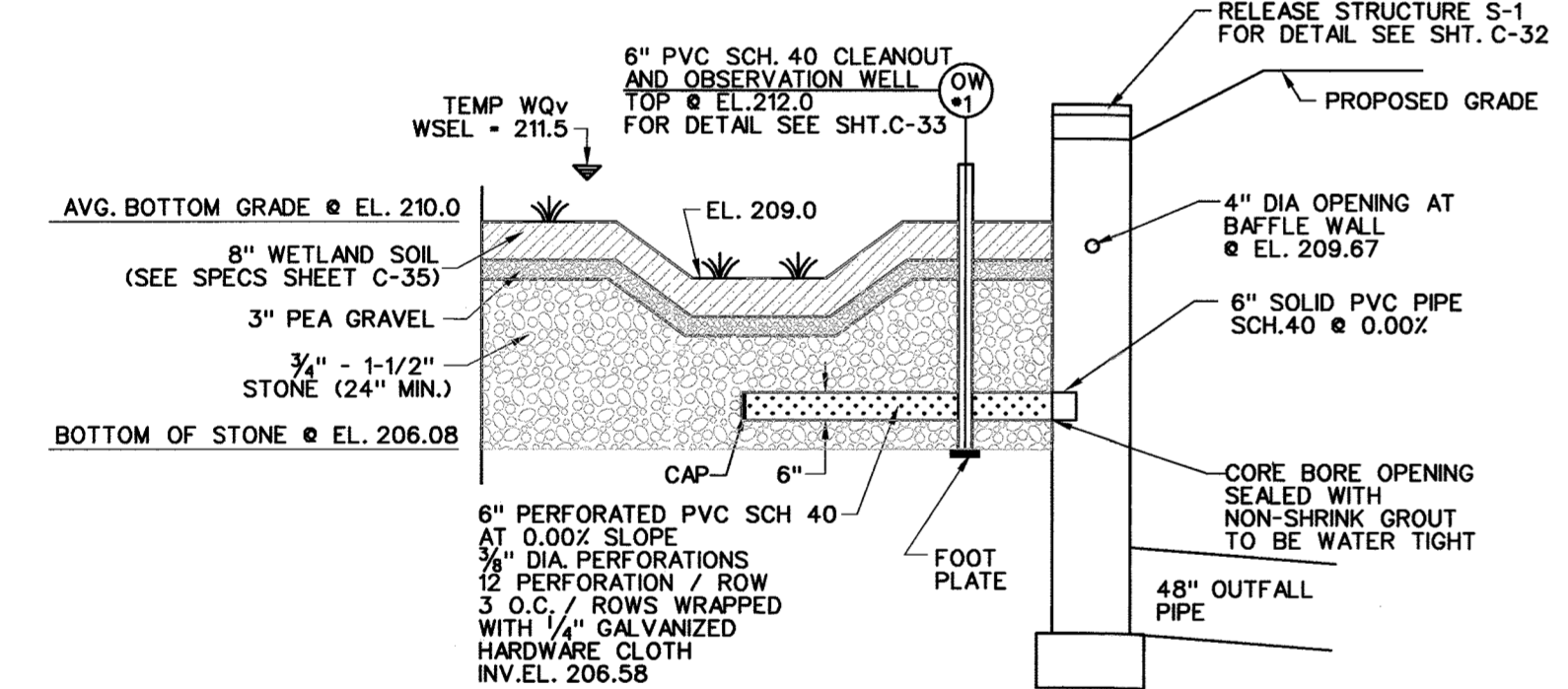
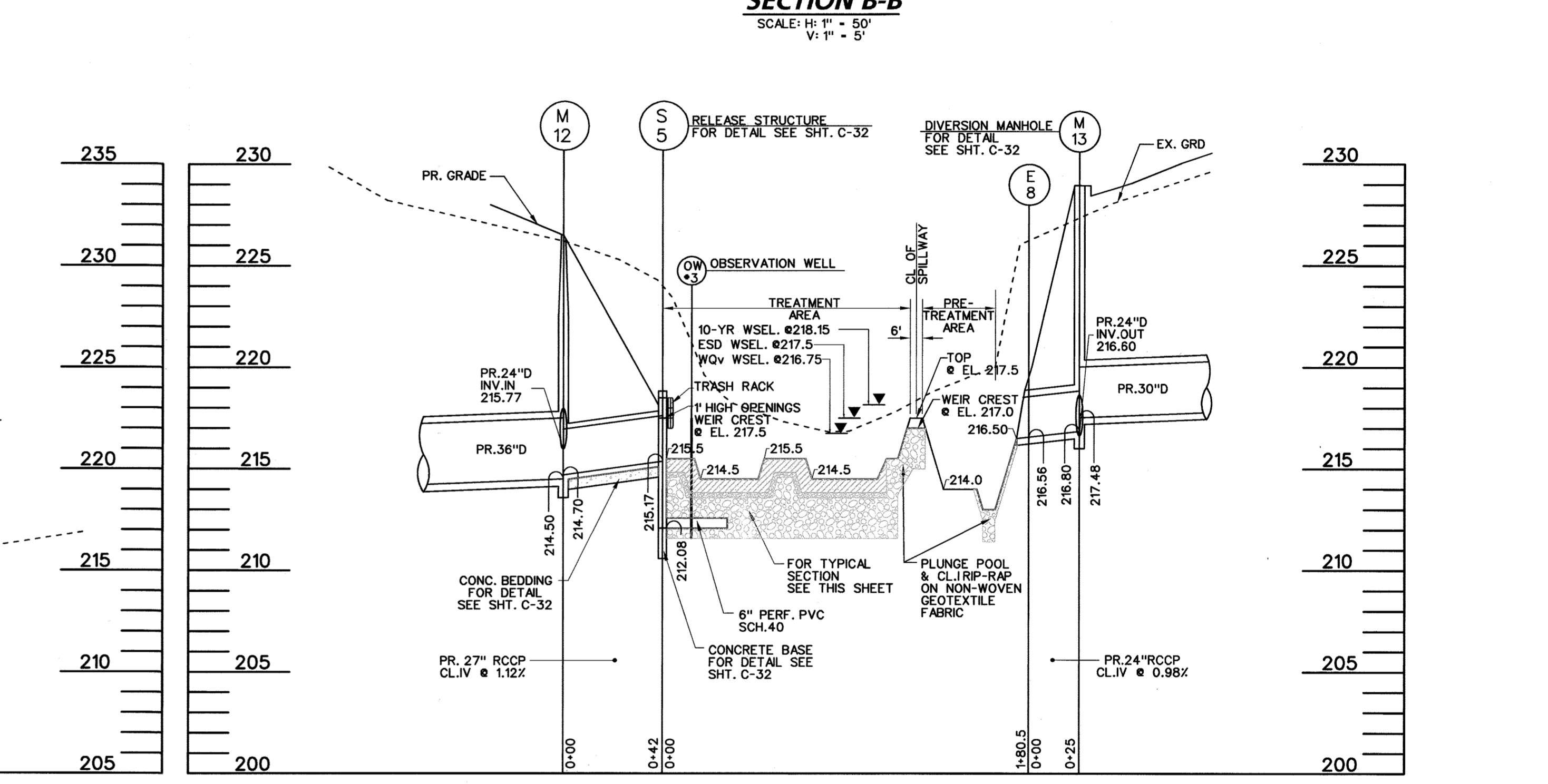
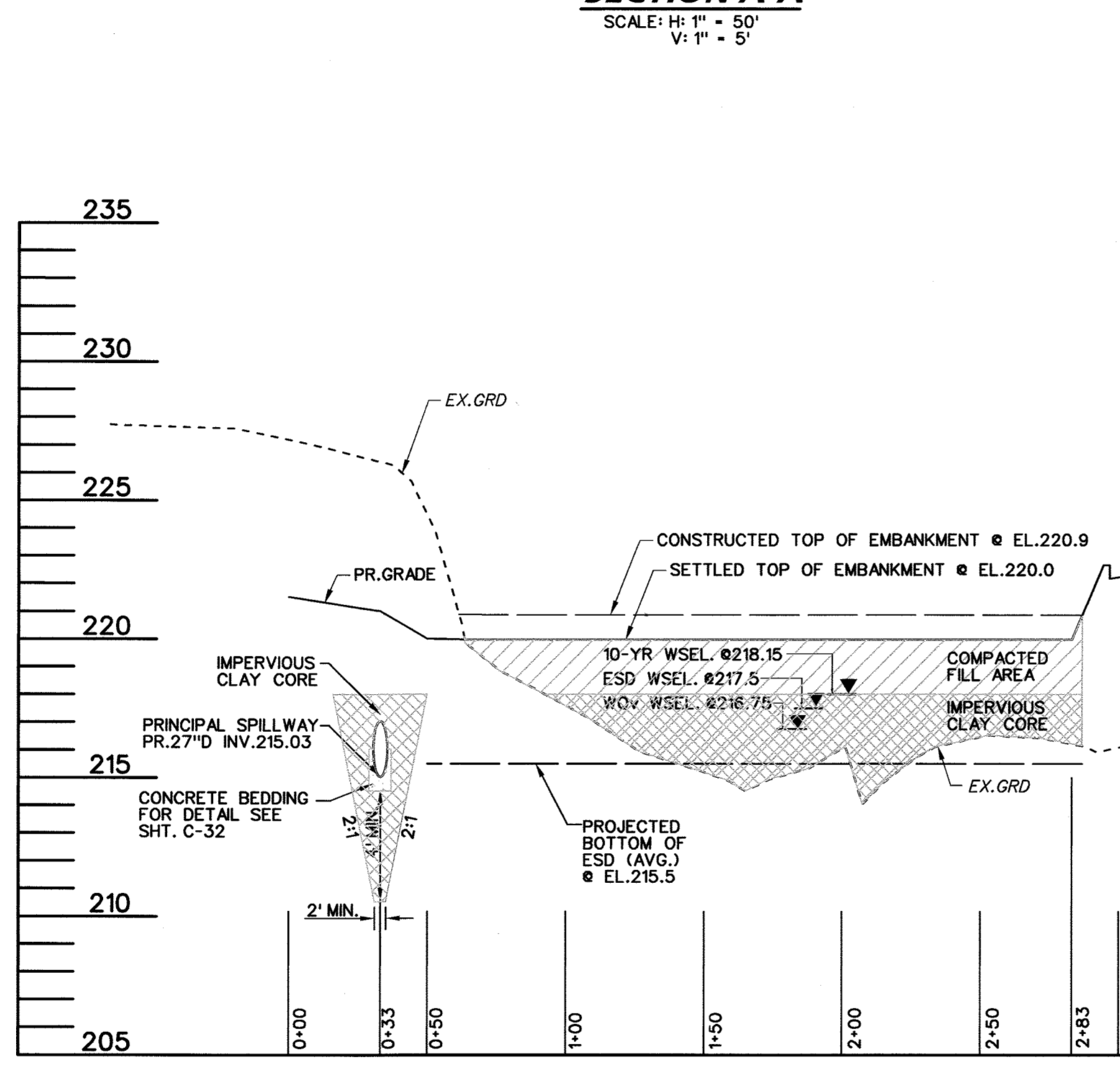
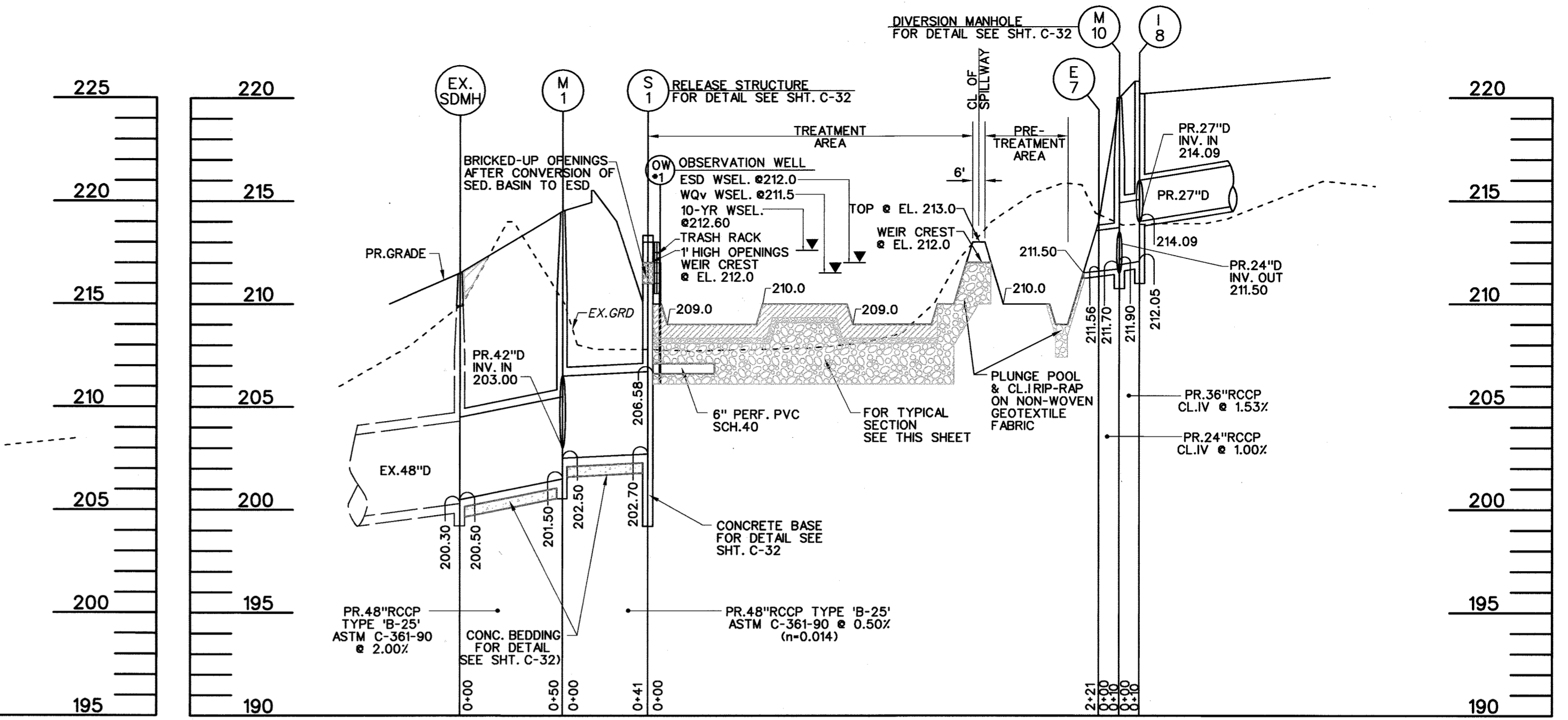
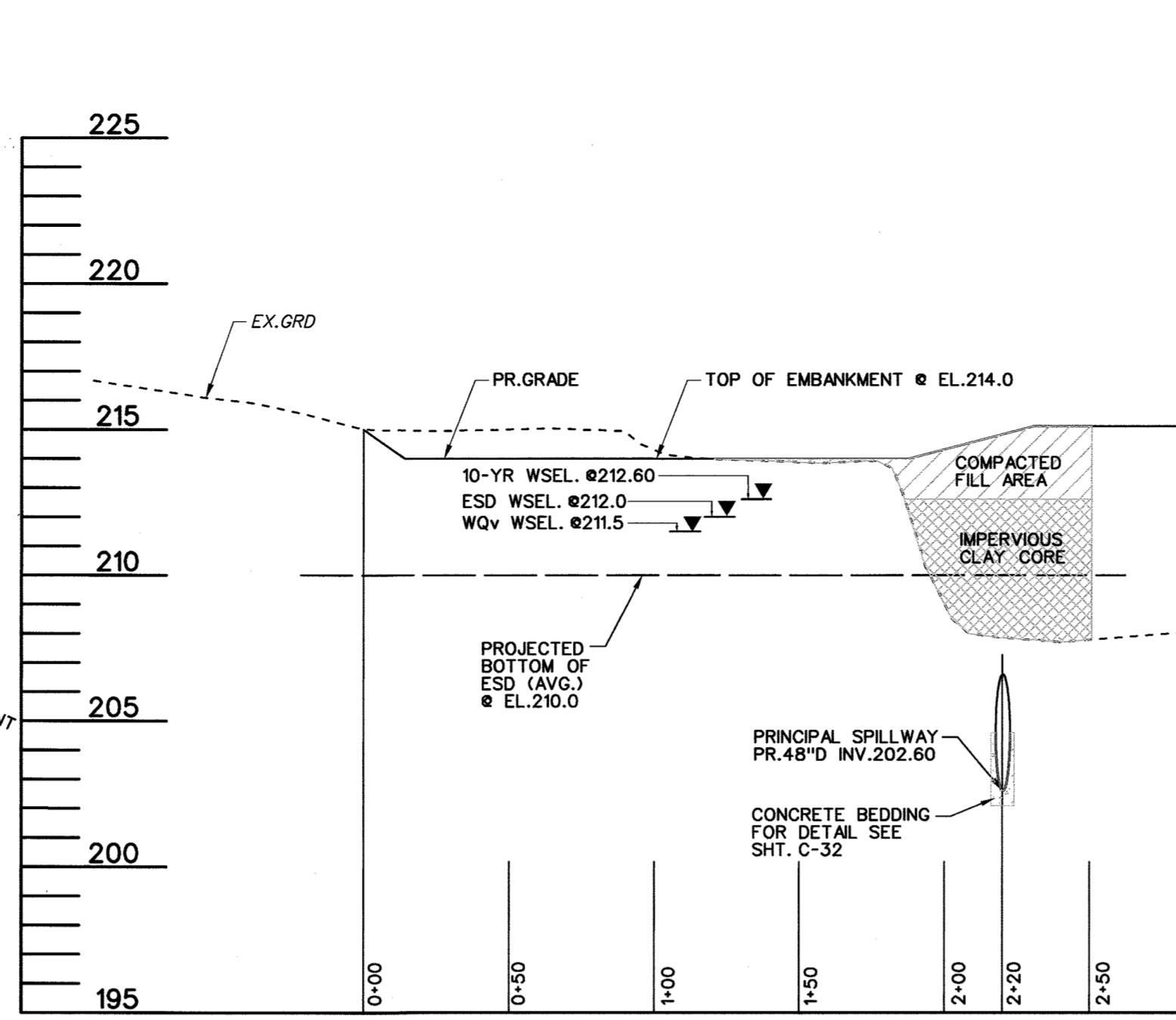
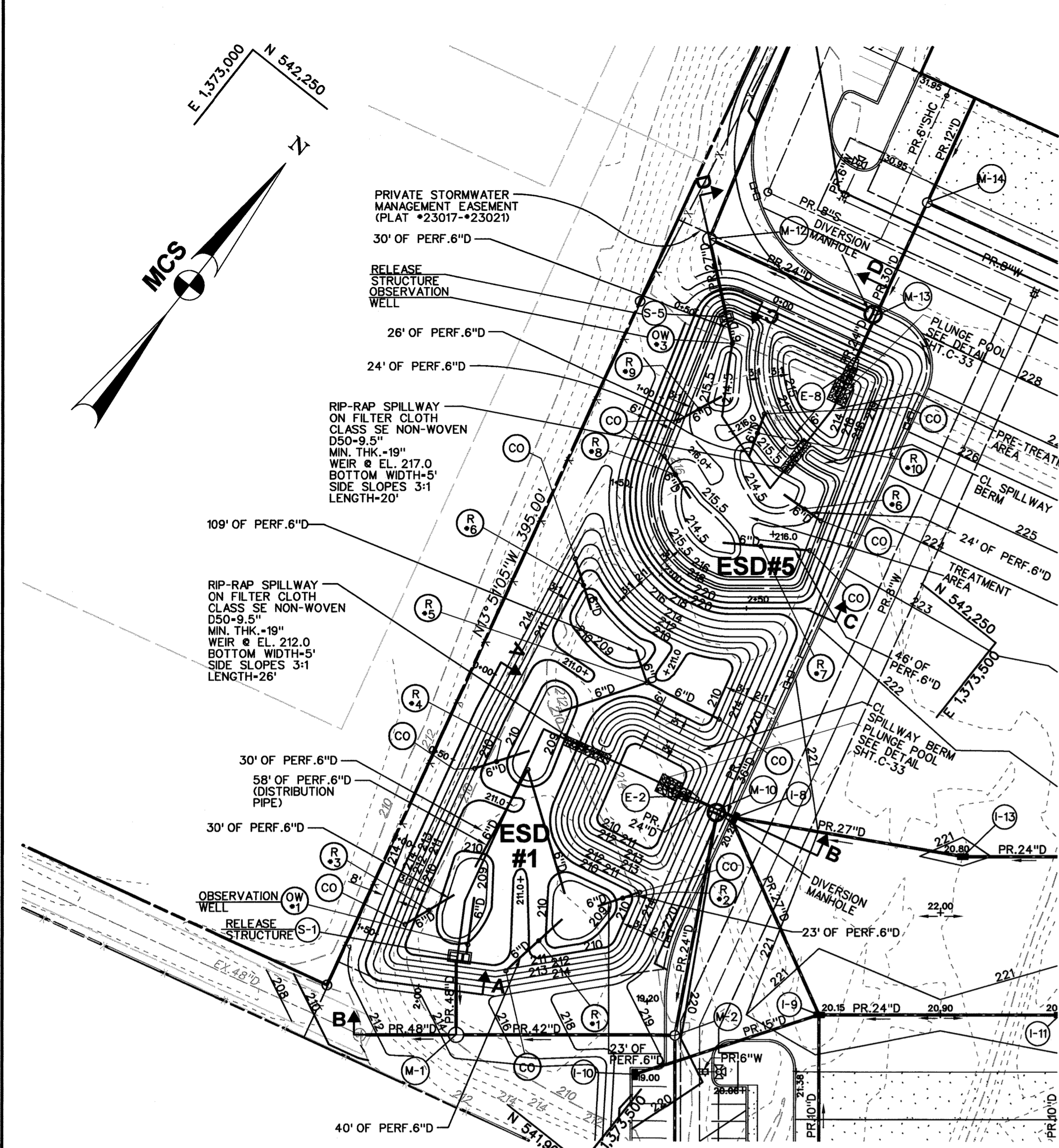
DATE	NO.	DESCRIPTION	BY
9/18/15	1	REPLACED BUILDING IV WITH TRUCK WASH-OUT STATION	MRA
9/11/2016	2	ADDED SIDEWALK AND CURB SAMPS AT THE INTERSECTIONS OF OCEANO AVENUE AND CHESAPEAKE BAY CT.	BLDG
10/1/16	3	REVISED SWM DRAINAGE PRACTICES 1, 4, 5 (SEE SHEET C-74)	MRA

THE COORDINATE SYSTEM OF ALL DRAWINGS IS BASED ON THE NORTH AMERICAN DATUM OF 1983. THE ELEVATION SYSTEM OF ALL DRAWINGS IS BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1985. HORIZ. NAD 83/91; VERT. NAVD 88

REVISED SITE DEVELOPMENT PLAN
STORM WATER MANAGEMENT PLAN
 PROPOSED DRAINAGE AREA MAP
MARYLAND FOOD CENTER AUTHORITY
 PARCEL B-1 & E-1 (WAREHOUSE & OFFICE)
 HOWARD COUNTY, MARYLAND
 SCALE: 1" = 100'

DATE: OCTOBER, 2014

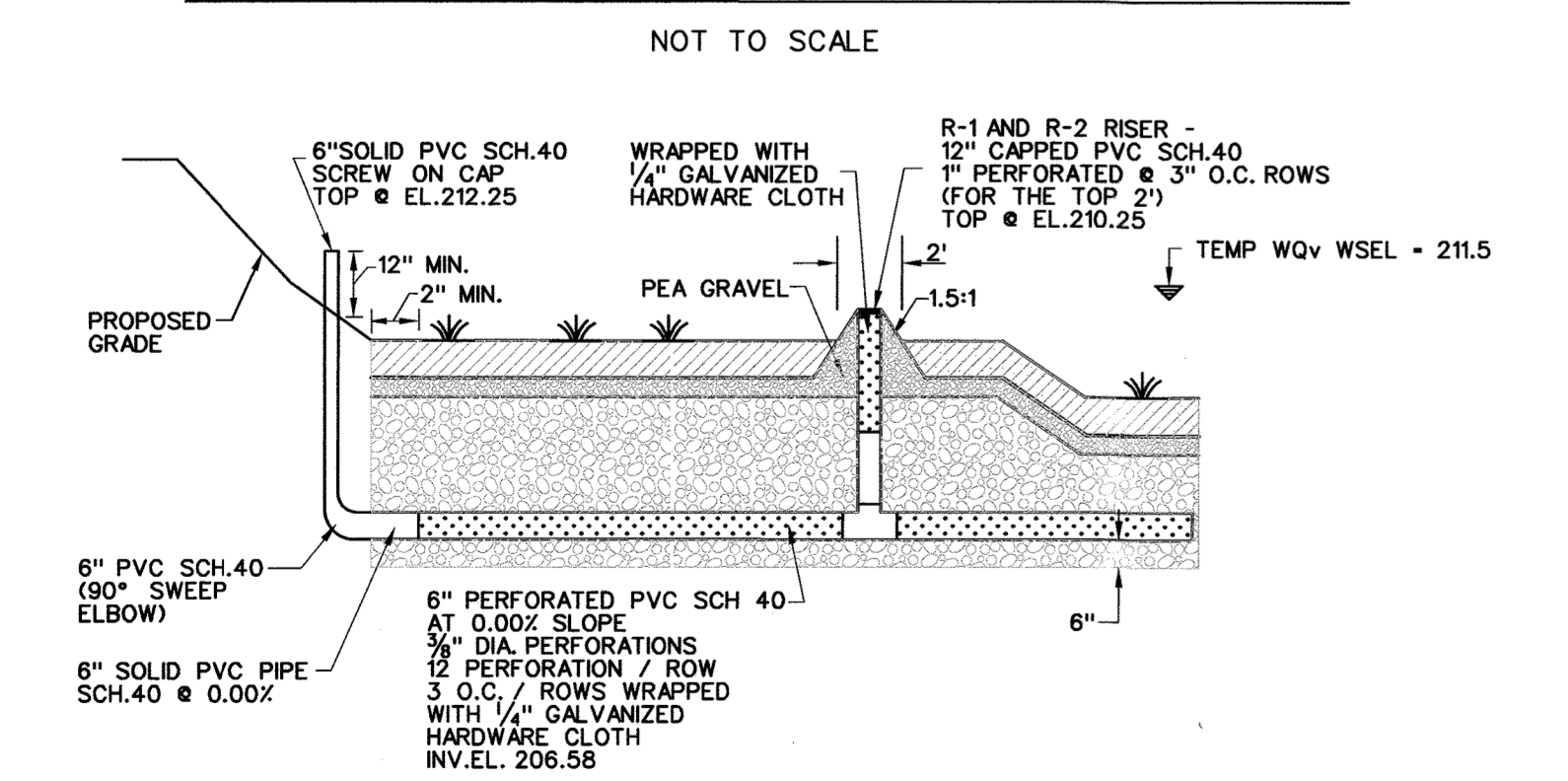
DRAWING NO. **C-28**
 SHEET 28 OF 83
 SDP-14-068



TYPICAL SECTION THROUGH SUBMERGED GRAVEL WETLAND AND OBSERVATION WELL / CLEANOUT - ESD #1

TYPICAL SECTION THROUGH SUBMERGED GRAVEL WETLAND AND OBSERVATION WELL / CLEANOUT - ESD #5

PVC CLEANOUT AND VERTICAL RISER DETAIL - ESD #5



PVC CLEANOUT AND VERTICAL RISER DETAIL - ESD #1

APPROVED: DEPARTMENT OF PLANNING AND ZONING			
 Chief, Development Engineering Division		11-6-14 Date	
 Chief, Division of Land Development		11-20-14 Date	
 Director		11/2/14 Date	
ADDRESS CHART			
LOT / PARCEL NO.	STREET ADDRESS		
PARCEL B-1	7901 OCEANO AVENUE		
PARCEL E-1	7775 CHESAPEAKE BAY COURT		
PERMIT INFORMATION CHART			
SUBDIVISION NAME	SECTION / AREA	LOT / PARCEL NO.	
MARYLAND FOOD CENTER AUTHORITY	3	B-1/662 & E-1/696	
PLAT NO. or L/F	GRID NO.	ZONING	TAX MAP NO.
23017-23021	21	M-2	43
ELEC. DIST.	CENSUS TRACT		
6TH	6069.01		

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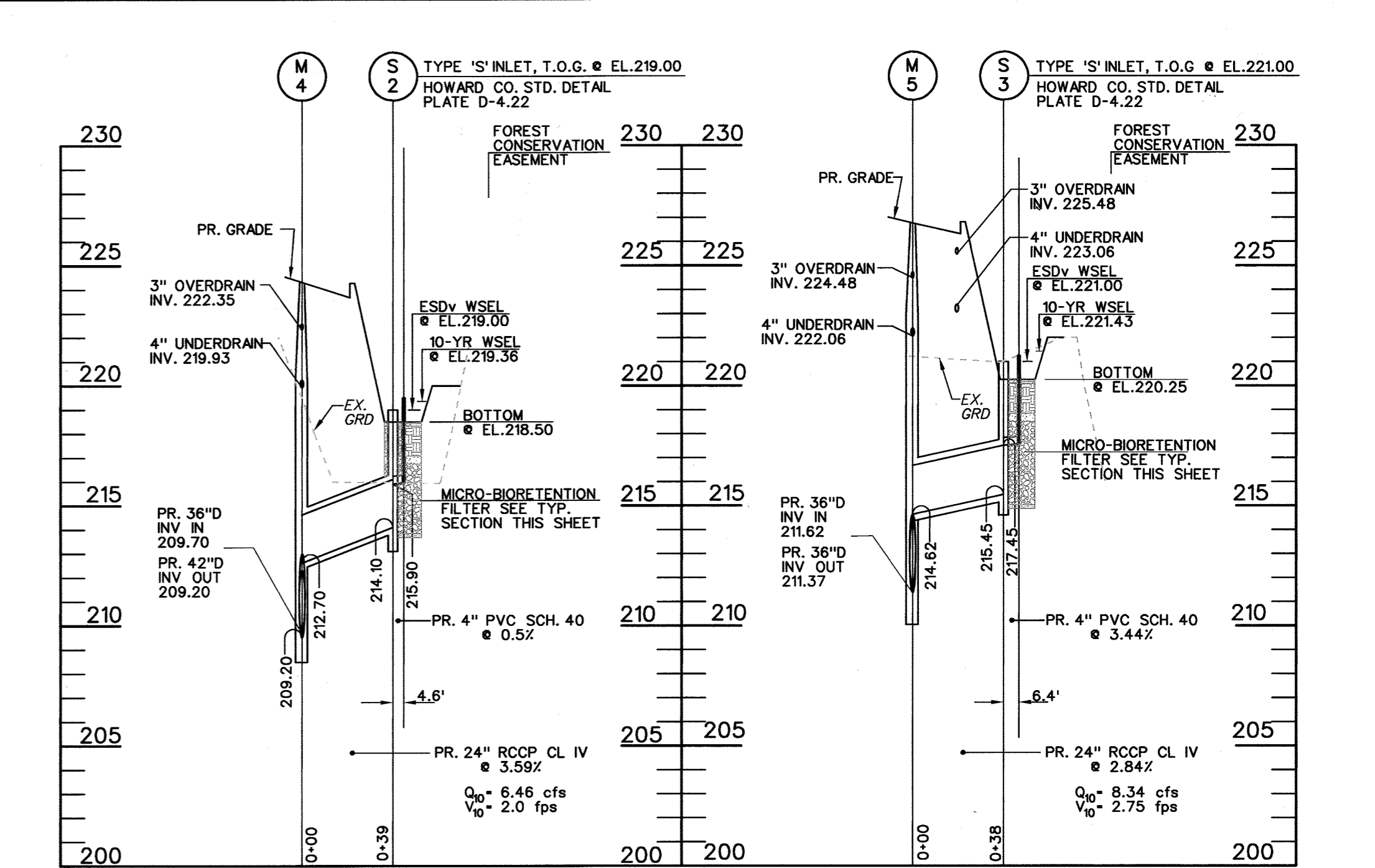
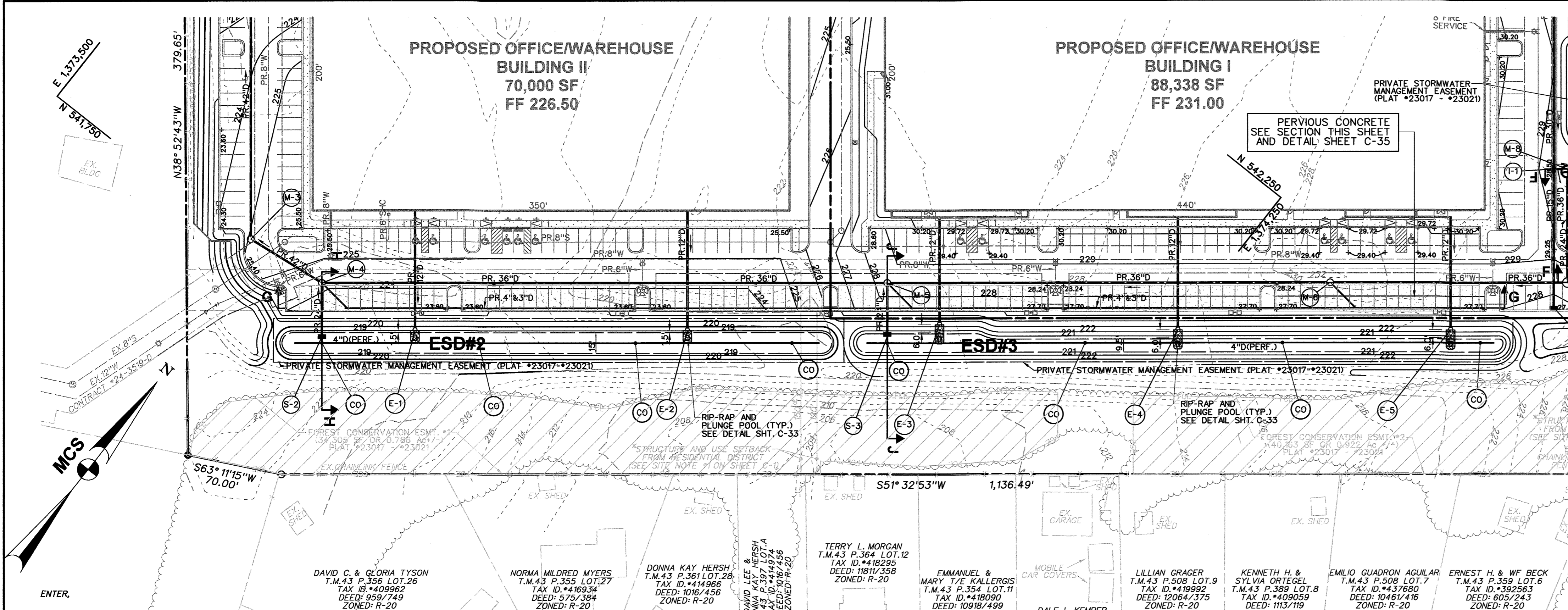
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BALTIMORE, MD 21244
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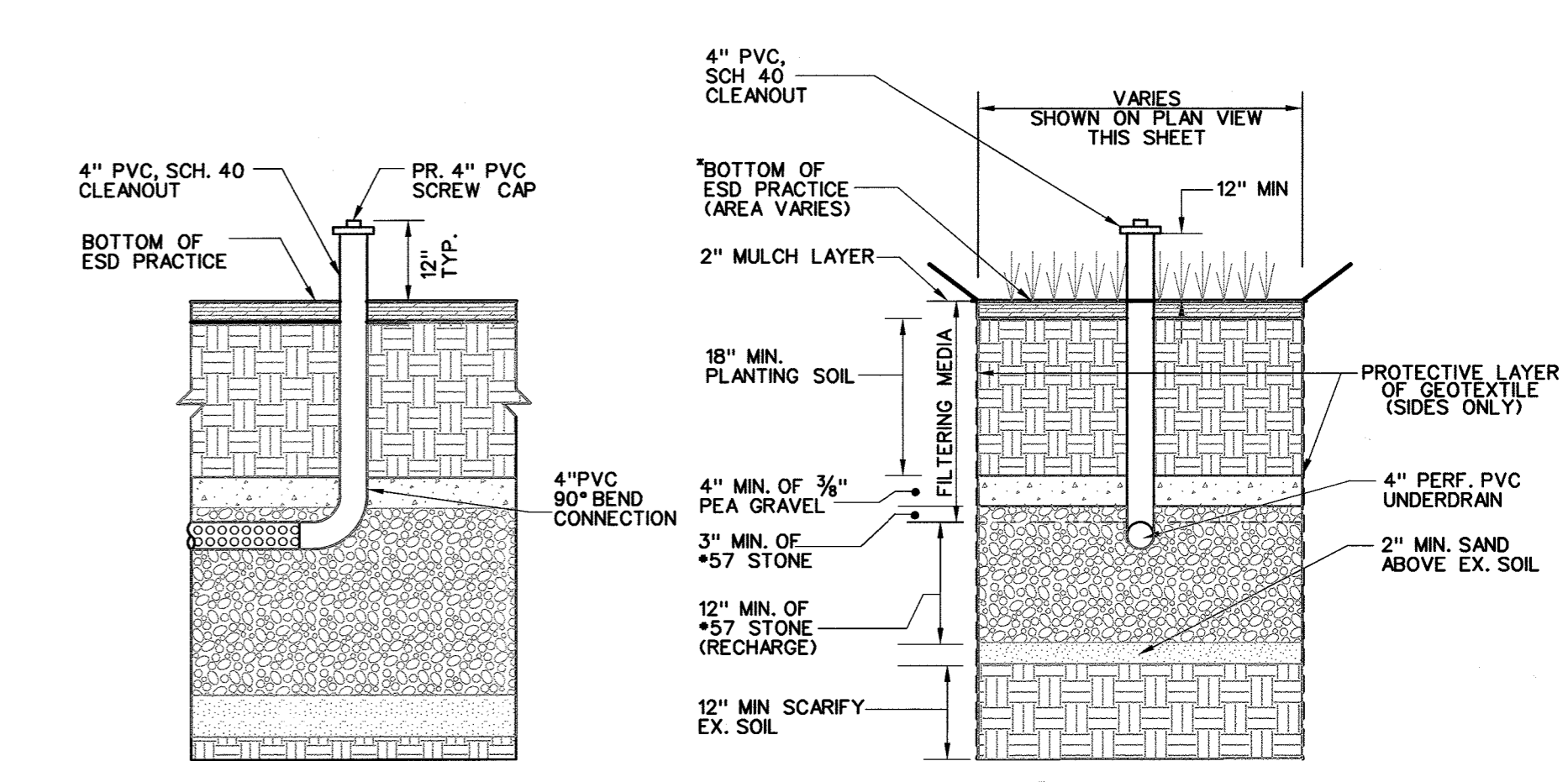
REVISIONS			
DATE	NO.	DESCRIPTION	BY

STORM WATER MANAGEMENT PLAN
SUBMERGED GRAVEL WETLAND - ESD #1 & #5
MARYLAND FOOD CENTER AUTHORITY
PARCEL B-1 & E-1
(WAREHOUSE & OFFICE)
DRAWING NO. **C-29**
SHEET 29 OF 83
DATE: OCTOBER, 2014
SDP-14-068



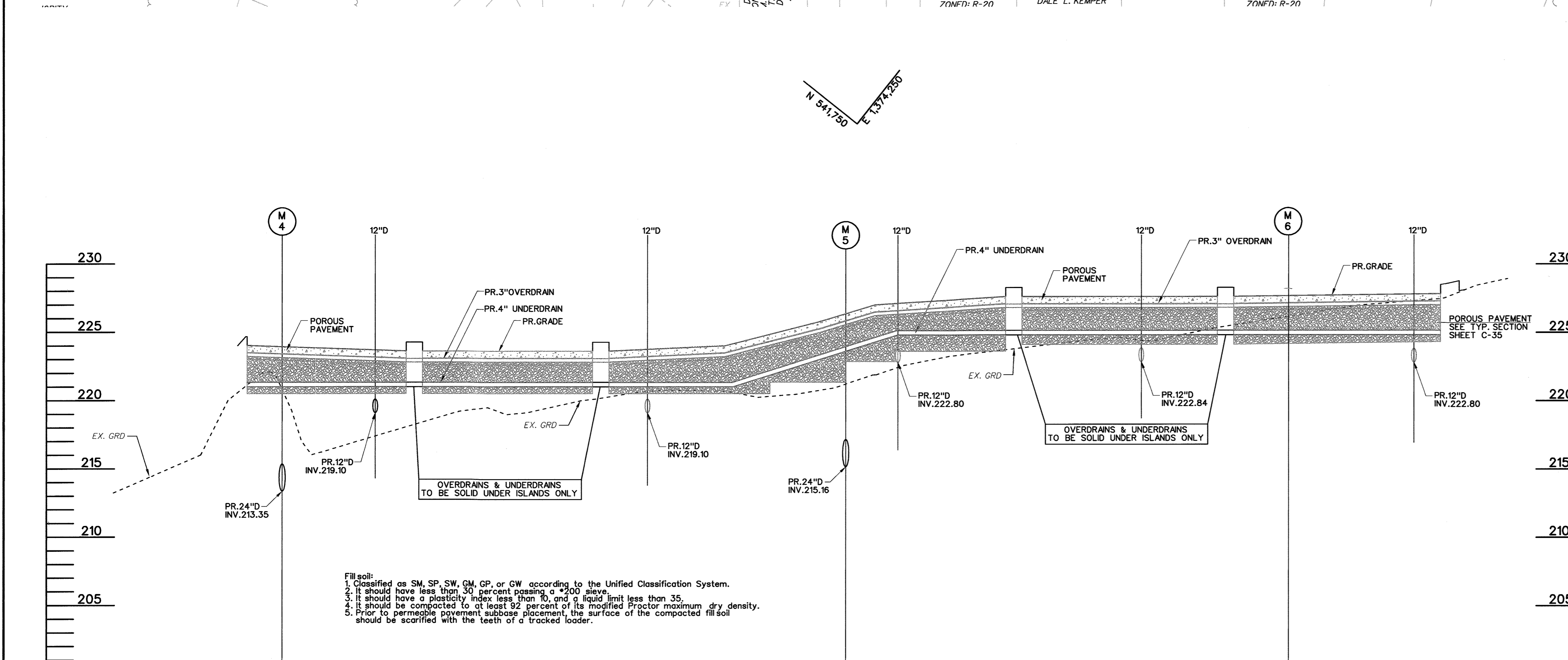
SECTION H-H
SCALE: H: 1" = 50'
V: 1" = 5'

SECTION J-J
SCALE: H: 1" = 50'
V: 1" = 5'



UNDERDRAIN CLEANOUT
TYPICAL DETAIL
NOT TO SCALE

TYPICAL SECTION THROUGH MICRO-BIORETENTION
SECTIONS D-D & E-E
NOT TO SCALE

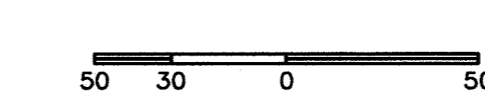


SECTION G-G
SCALE: H: 1" = 50'
V: 1" = 5'

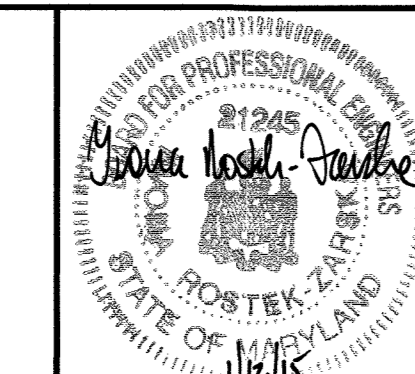
Fill soil:
 1. Classified as SM, SP, SW, GM, GP, or GW according to the Unified Classification System.
 2. It should have less than 30 percent passing a #200 sieve.
 3. It should have a plasticity index less than 10, and a liquid limit less than 35.
 4. It should be compacted to at least 92 percent of its modified Proctor maximum dry density.
 5. Prior to permeable pavement subbase placement, the surface of the compacted fill soil should be scarified with the teeth of a tracked loader.

APPROVED: DEPARTMENT OF PLANNING AND ZONING		
<i>Chad Blaker</i> Chief, Development Engineering Division		2-9-15 Date
<i>Kristen Rose</i> Chief, Division of Land Development		2-12-15 Date
<i>Jason M. Long</i> Director		2/12/15 Date
ADDRESS CHART		
LOT / PARCEL NO.	STREET ADDRESS	
PARCEL B-1	7901 OCEANO AVENUE	
PARCEL E-1	7775 CHESAPEAKE BAY COURT	
PERMIT INFORMATION CHART		
SUBDIVISION NAME MARYLAND FOOD CENTER AUTHORITY	SECTION / AREA 3	LOT / PARCEL NO. B-1/662 & E-1/696
PLAT NO. or L/F 23017-23021	GRID NO. 21	ZONING M-2
TAX MAP NO. 43	ELEC. DIST. 6TH	CENSUS TRACT 6069.01

THE COORDINATE SYSTEM OF ALL DRAWINGS IS BASED ON THE NORTH AMERICAN DATUM OF 1983. THE ELEVATION SYSTEM OF ALL DRAWINGS IS BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988. HORIZ: NAD 83/91 VERT: NAVD 88



BLDG
Baltimore Land Design Group Inc.
Consulting Engineers
230 SCHILLING CIRCLE, SUITE 364 • HUNT VALLEY, MARYLAND 21031
PHONE: 410.229.9851 • FAX: 410.229.9865 • BLDG@BLDGINC.COM



PROFESSIONAL CERTIFICATION
 I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 21245, EXPIRATION DATE: JUNE 9, 2016.

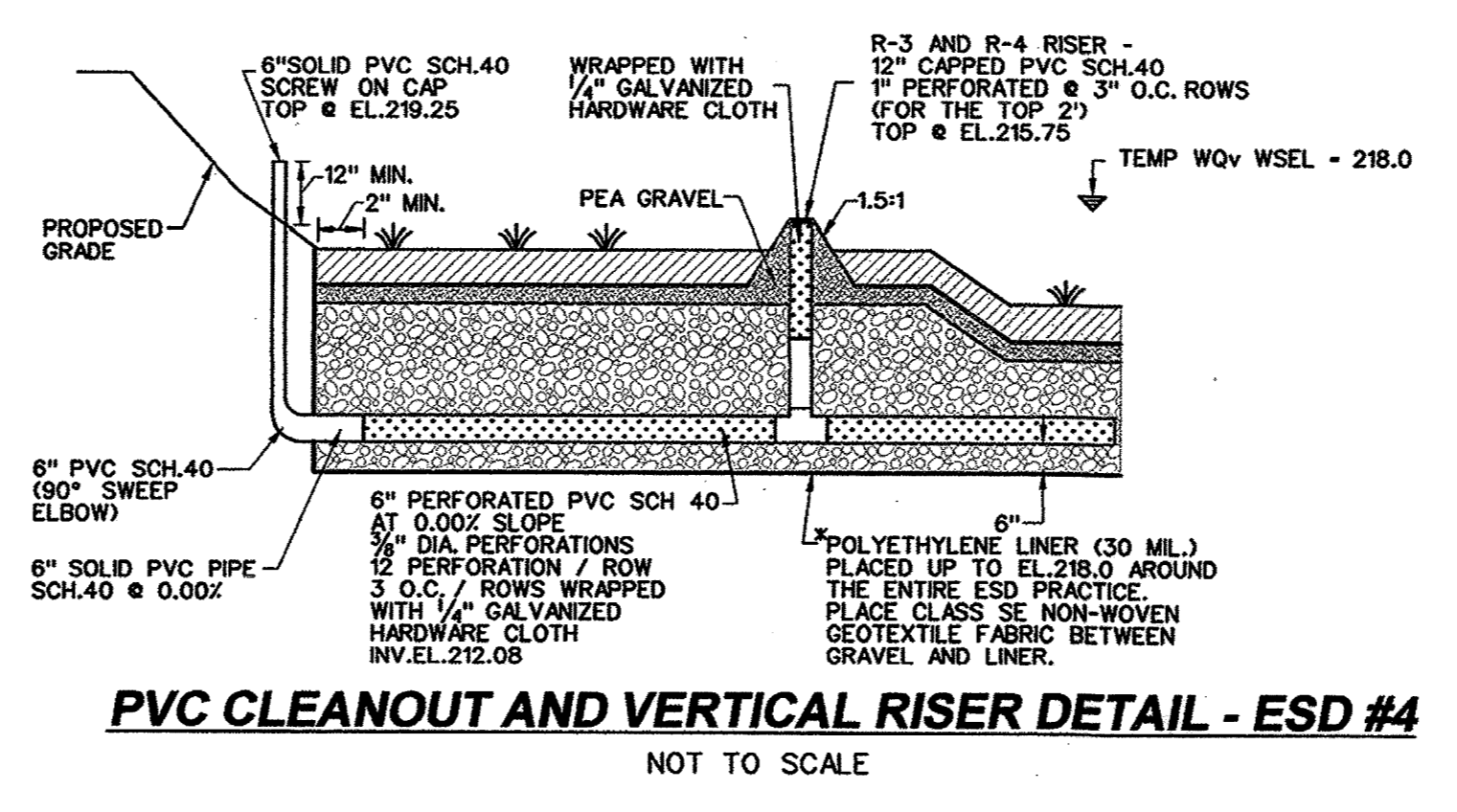
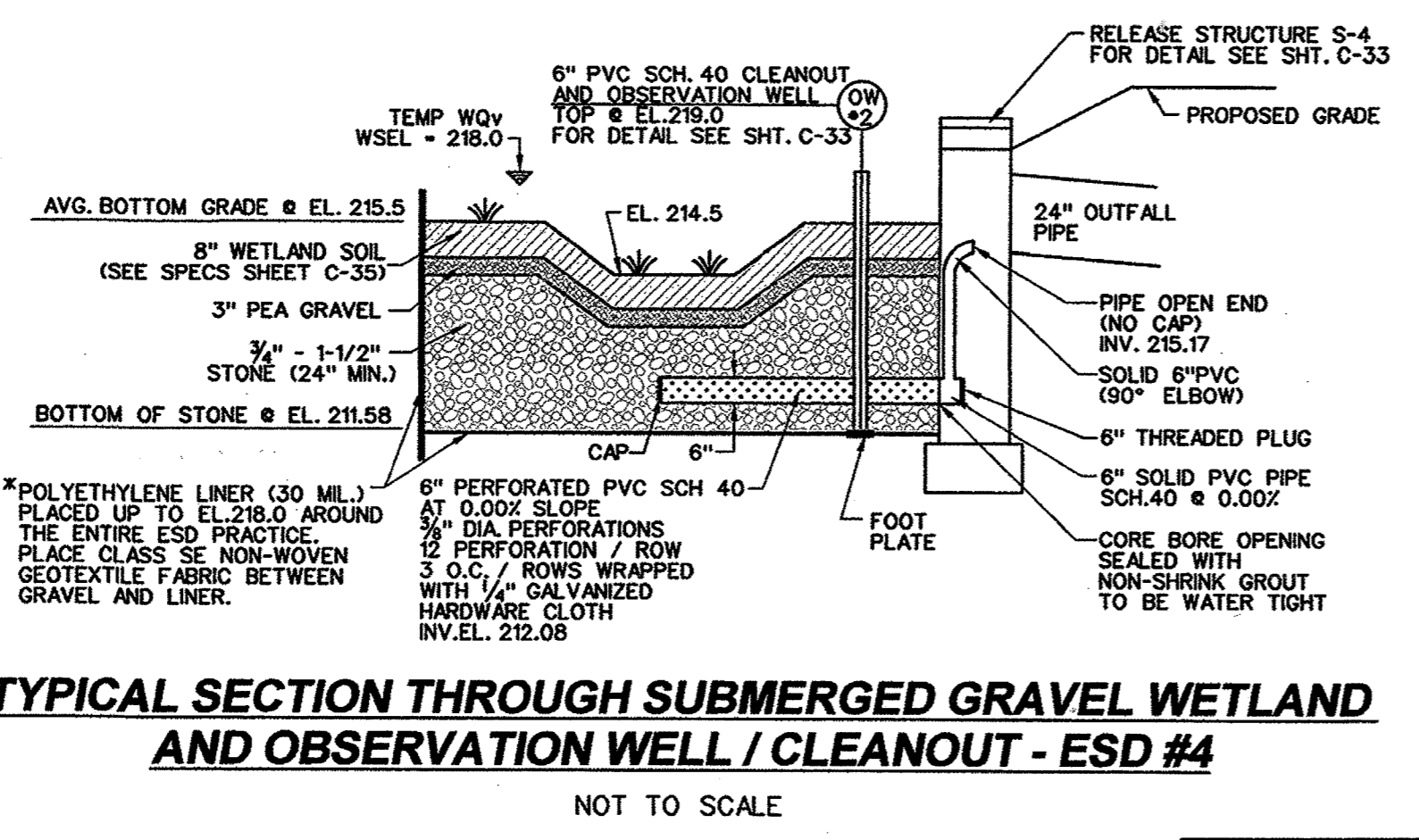
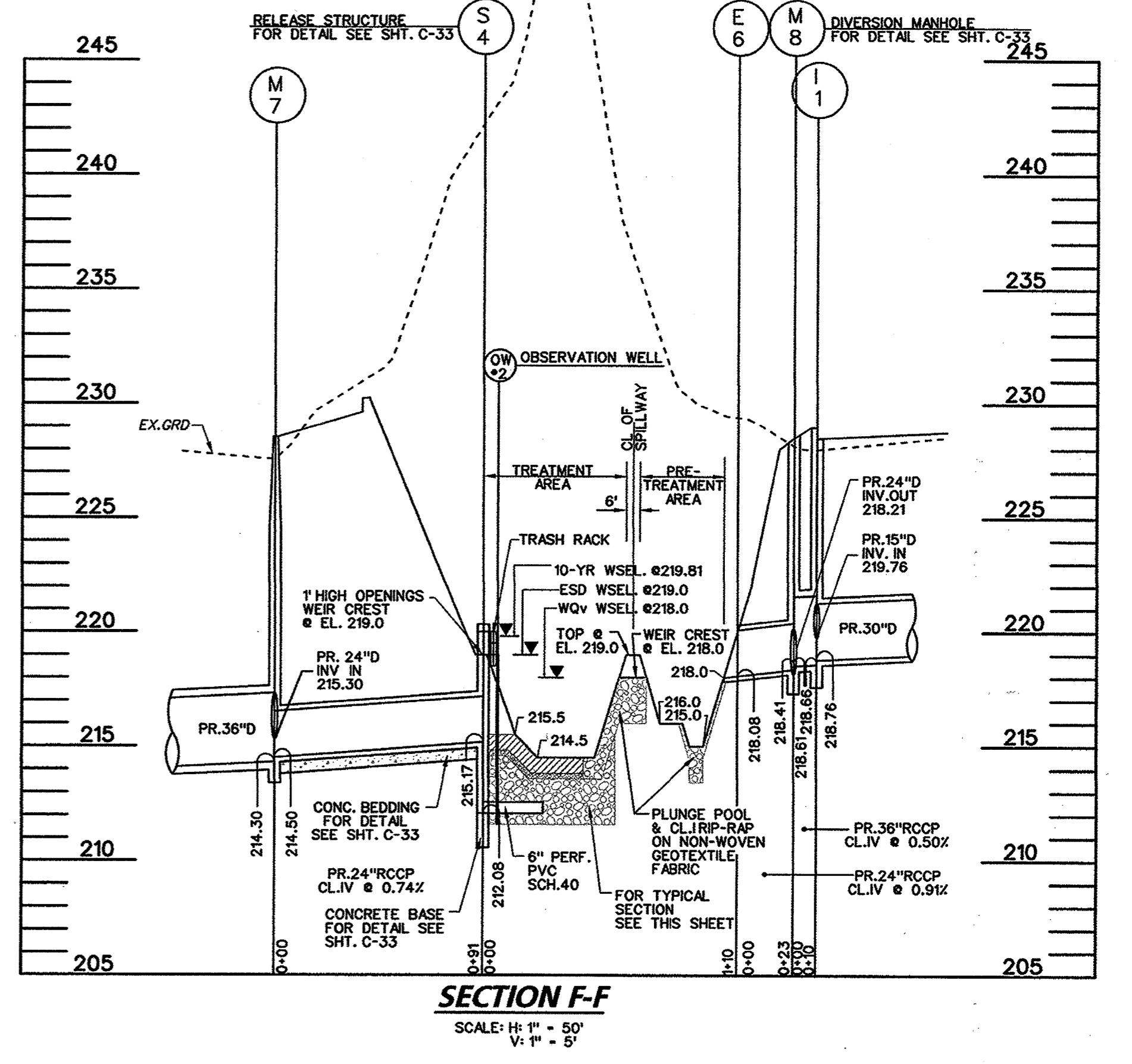
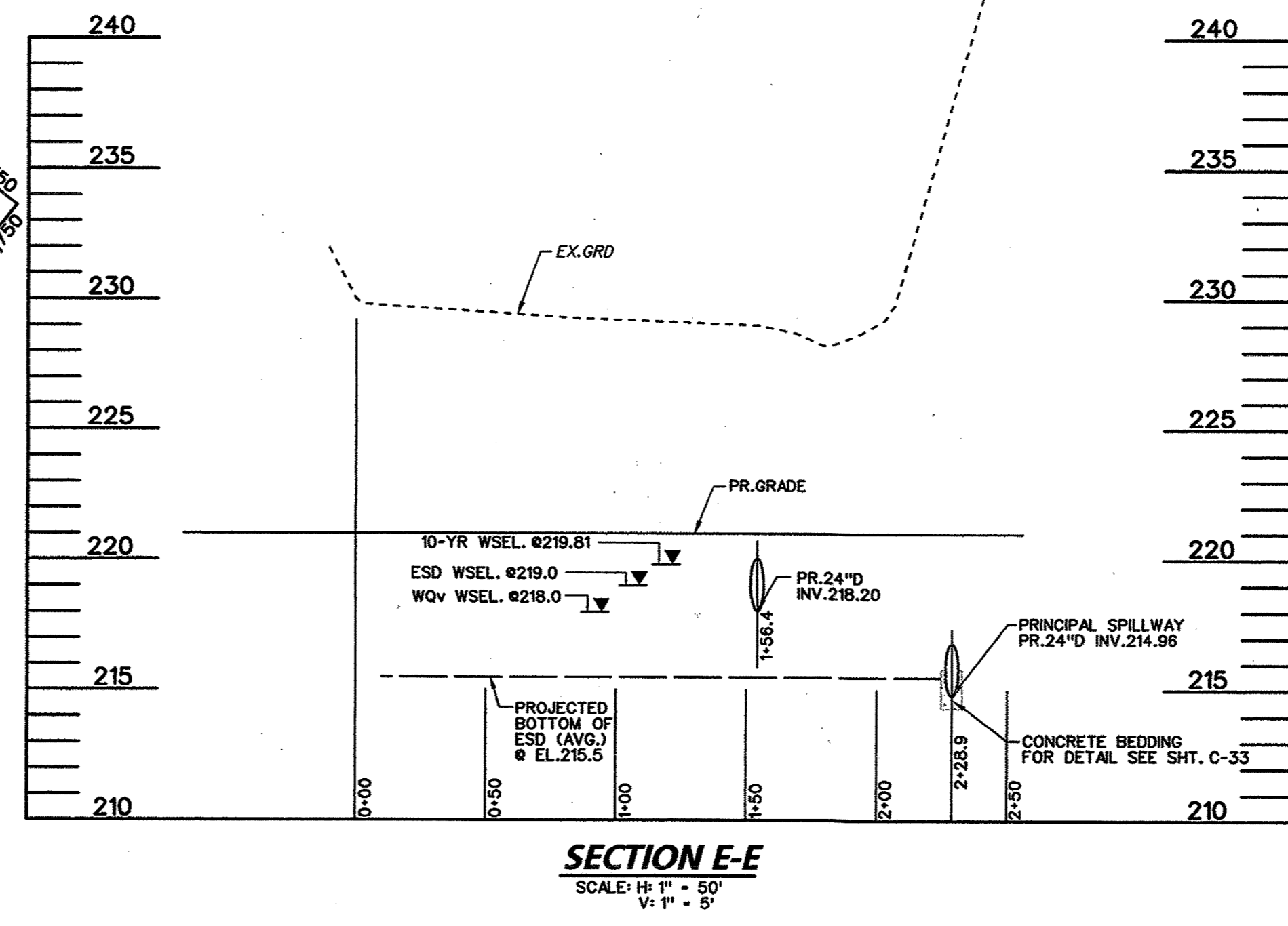
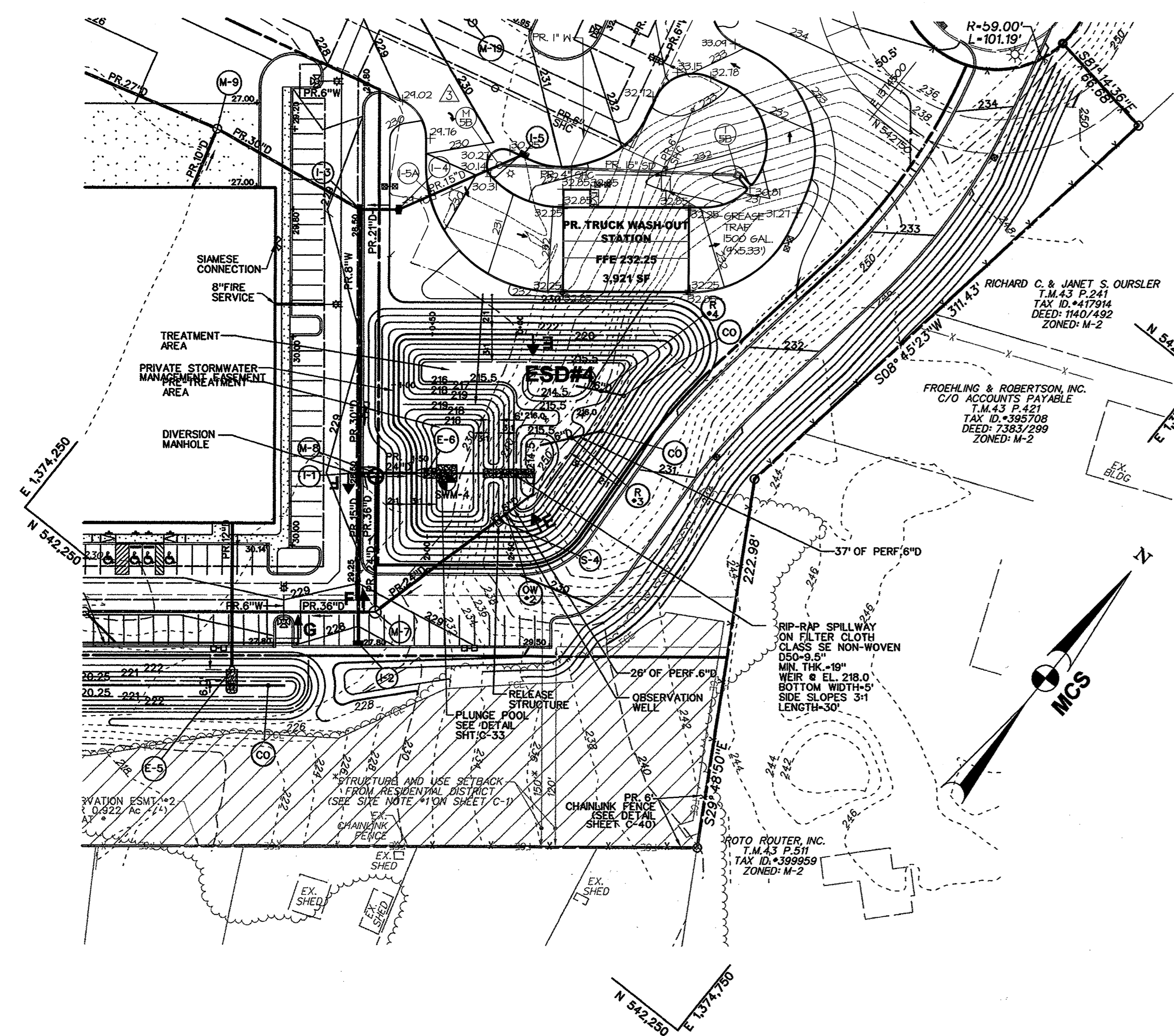
OWNER
 MARYLAND FOOD CENTER AUTHORITY
 7801 OCEANO AVE
 JESSUP, MD 20794
 PHONE (410) 379-5760
 FAX (410) 379-5773

DEVELOPER / APPLICANT
 MERRITT PROPERTIES, LLC
 2066 LORD BALTIMORE DRIVE
 BALTIMORE, MD 21244
 PHONE (410) 298-2600
 FAX (410) 298-9644

DATE	NO.	DESCRIPTION	BY
12/01/14	1	ADDED DOORS, SIDEWALK AND ROOF DRAINS. RELOCATED HANDICAP SPACES AND PRIVATE SEWER LINE FOR BUILDING 1.	BLDG

REVISED
STORM WATER MANAGEMENT PLAN
 MICRO-BIORETENTION (ESD #2 & #3) & PERVIOUS CONCRETE
MARYLAND FOOD CENTER AUTHORITY
 PARCEL B-1 & E-1 (WAREHOUSE & OFFICE)
 HOWARD COUNTY, MARYLAND
 SCALE: 1" = 50'
 DATE: DECEMBER, 2014

DRAWING NO.
C-30
 SHEET 30 OF 85
 SDP-14-008



*SEAMS ALONG LINER SHALL BE WATER TIGHT. HEAT ACTIVATED SEALANT SHALL BE USED PER MANUFACTURER'S RECOMMENDATIONS.

THE COORDINATE SYSTEM OF ALL DRAWINGS IS BASED ON THE NORTH AMERICAN DATUM OF 1983. THE ELEVATION SYSTEM OF ALL DRAWINGS IS BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1985.
HORZ: NAD 83/91; VERT: NAVD 88

MORRIS & RITCHE ASSOCIATES, INC.
ENGINEERS, PLANNERS, SURVEYORS AND LANDSCAPE ARCHITECTS
14280 PARK CENTER DRIVE - LAUREL, MD 20707
(410) 752-0700 / (301) 776-1888 FAX: (410) 752-7399
MRAQTA.COM
COPYRIGHT 2015 MORRIS & RITCHE ASSOCIATES

FOR REVIEW ONLY
STATE OF MARYLAND
PROFESSIONAL ENGINEER
12-2-15

MD PROFESSIONAL CERTIFICATION
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NO. 29203. EXPIRATION DATE: 06/16/2017.

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

John Chubb 12-29-15
CHIEF, DEVELOPMENT ENGINEERING DIVISION 40 DATE

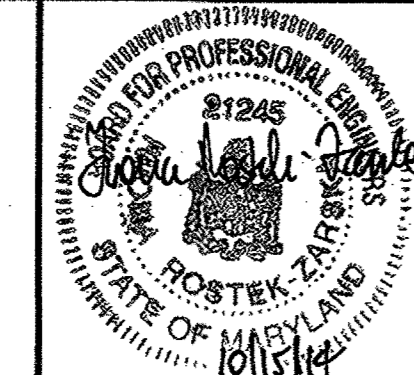
Victor S. Sidorov 12-31-15
CHIEF, DIVISION OF LAND DEVELOPMENT DATE

William J. Blinn 1-3-16
DIRECTOR, DEPARTMENT OF PLANNING AND ZONING DATE

ADDRESS CHART	
LOT / PARCEL NO.	STREET ADDRESS
PARCEL B-1	7901 OCEANO AVENUE
PARCEL E-1	7775 CHESAPEAKE BAY COURT

PERMIT INFORMATION CHART			
SUBDIVISION NAME	SECTION / AREA	LOT / PARCEL NO.	
MARYLAND FOOD CENTER AUTHORITY	3	B-1/662 & E-1/696	
PLAT NO. OR L/F	GRID NO.	ZONING	TAX MAP NO.
22017-23021	21	M-2	43
		ELEC. DIST.	CENSUS TRACT
		6TH	6069.01

BLDG
Baltimore Land Design Group Inc.
Consulting Engineers
230 SCHILLING CIRCLE, SUITE 364 • HUNT VALLEY, MARYLAND 21031
PHONE: 410.229.9851 • FAX: 410.229.9865 • BLDG@BLDGINC.COM



PROFESSIONAL CERTIFICATION
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FAX (410) 379-5773

DEVELOPER / APPLICANT
MERRITT PROPERTIES, LLC
2066 LORD BALTIMORE DRIVE
BALTIMORE, MD 21244
PHONE (410) 298-2600
FAX (410) 298-9644

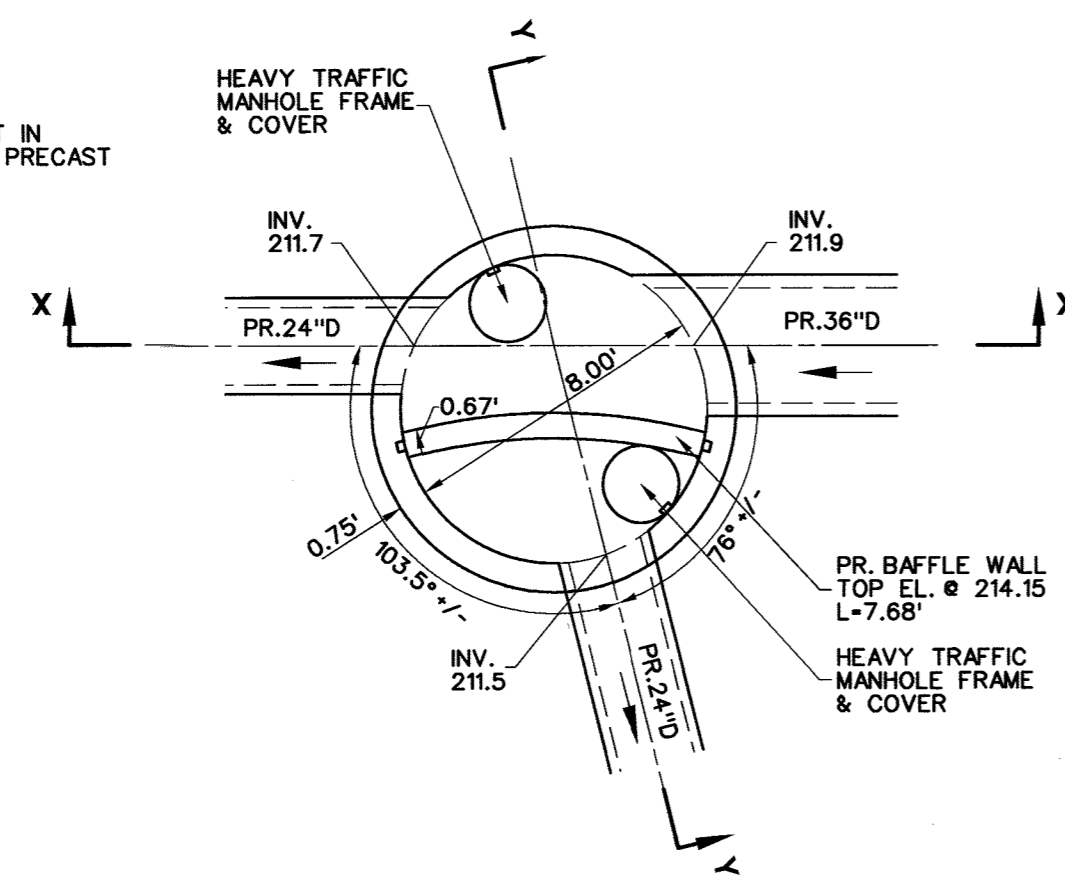
REVISIONS			
DATE	NO.	DESCRIPTION	BY
9/18/15	1	REPLACED BUILDING N WITH TRUCK WASH-OUT STATION	MRA

REVISED SITE DEVELOPMENT PLAN
STORM WATER MANAGEMENT PLAN
SUBMERGED GRAVEL WETLAND - ESD #4
MARYLAND FOOD CENTER AUTHORITY
PARCEL B-1 & E-1
(WAREHOUSE & OFFICE)
HOWARD COUNTY, MARYLAND
SCALE: 1" = 50'

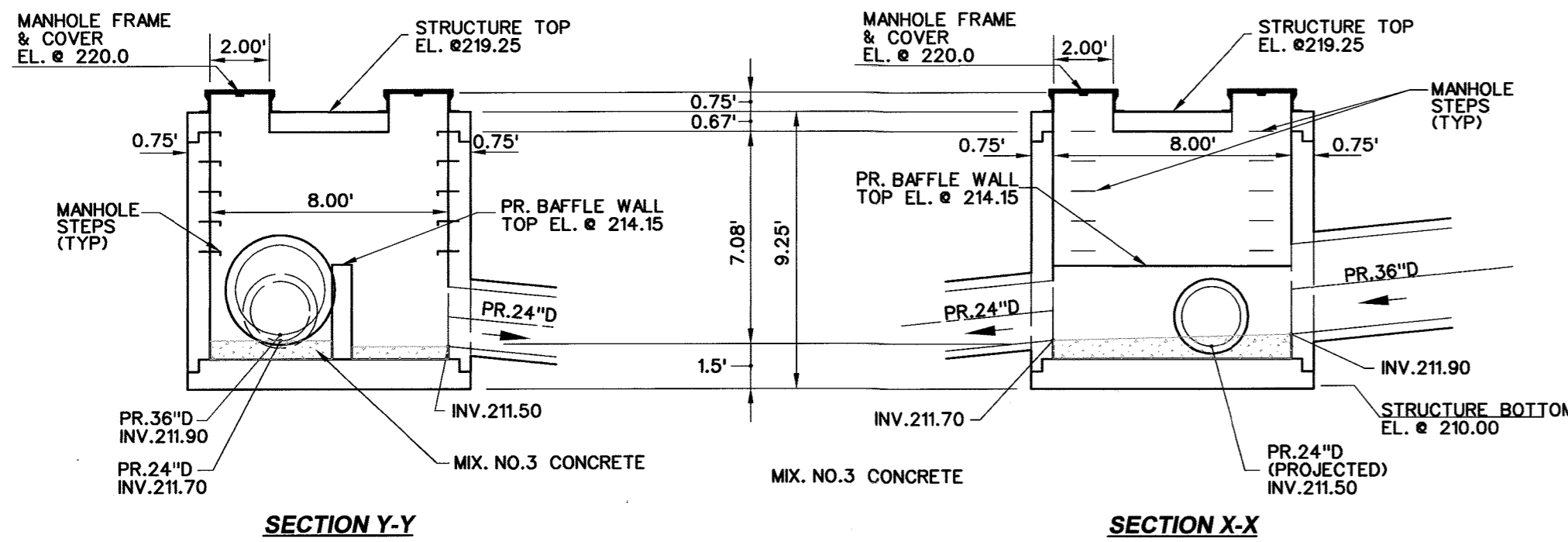
DRAWING NO.
C-31
DATE: OCTOBER, 2014
SHEET 31 OF 83
SDP-14-068

NOTES

- UNLESS OTHERWISE NOTED, THE DIVERSION STRUCTURE SHALL BE BUILT IN ACCORDANCE WITH SHA STANDARD DETAIL PLATE MD-384.09 (96" DIA. PRECAST MANHOLE).
- STRUCTURE TO BE CONCRETE SHA MIX NO.6.
- STRUCTURE TO BE PRECAST.
- MANHOLE STEPS SHALL BE AS SHOWN ON SHA STANDARD DETAIL PLATES MD-383.91 OR MD-383.92.
- ALL PIPE JOINTS TO HAVE GROUT USING NON-SHRINK GROUT JOINT FILLER.
- MINIMUM COVER FOR ANY BARS SHALL BE 2" ON WALLS AND 3" AT BOTTOM.
- SEE SHA STANDARD DETAIL PLATES MD-383.31 & 383.32 FOR HEAVY TRAFFIC MANHOLE FRAME & COVER.



NOTE: ALL BAFFLE WALLS AND INTERNAL WEIRS TO BE WATER TIGHT.



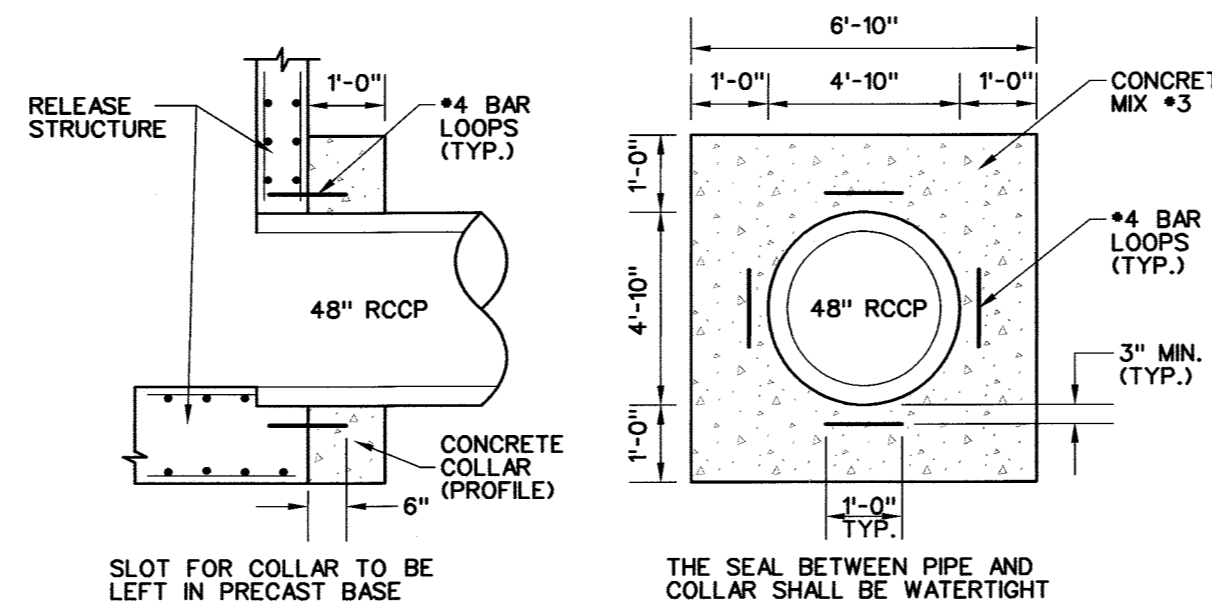
DIVERSION MANHOLE M-10 DETAIL

SCALE 1"=5'

STRUCTURE NOTES

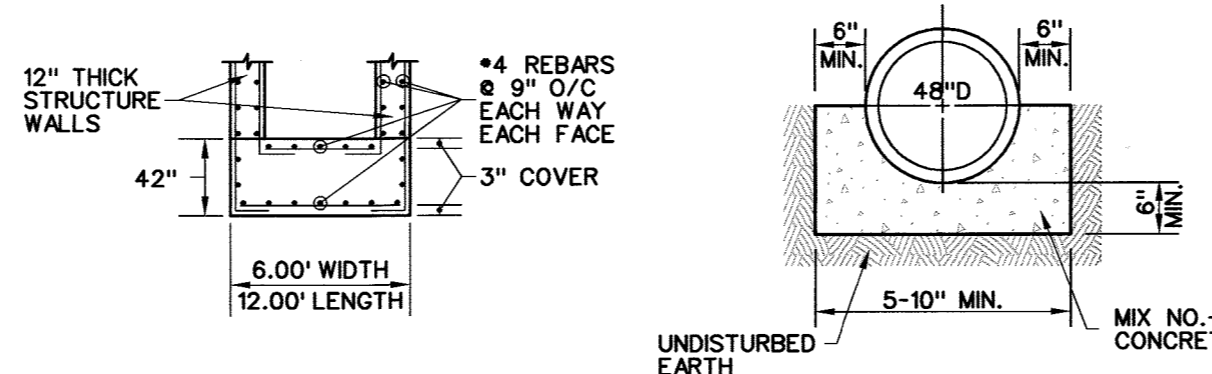
- CAST IN PLACE STRUCTURE:**
- UNLESS OTHERWISE NOTED, INLET SHALL BE BUILT IN ACCORDANCE WITH HO. CO. STD. DETAIL, PLATE D-4.04, TYPE A-10 INLET.
 - STRUCTURE TO BE CAST IN PLACE REINFORCED CONCRETE MIX NO.6.
 - REINFORCING SHALL BE IN ACCORDANCE WITH STD. DETAIL, PLATE D-4.04, BE CONTINUOUS THROUGH STRUCTURE AND AT CORNERS, AND TO HAVE 16" BAR LAPS.
 - PROVIDE ADDITIONAL REBARS ALONG PERIMETER OF ALL OPENINGS.
 - INSTALL MANHOLE STEPS. SEE HO.CO STD. DETAIL, PLATE G-5.21.
 - ALL PIPE JOINTS TO HAVE GROUT USING NON-SHRINK GROUT JOINT FILLER.
 - ALL EXPOSED CORNERS OF CONCRETE SHALL BE CHAMFERED WITH 3/4" x 3/4" MILLED CHAMFER STRIPS.
 - MINIMUM COVER FOR ANY BARS SHALL BE 2" ON WALLS AND 3" AT BOTTOM.

- OPTIONAL PRECAST STRUCTURE:**
- SHOP DRAWINGS FOR PRECAST CONCRETE RISERS WITH SUPPORTING STRUCTURAL CALCULATIONS (SIGNED AND SEALED BY A MARYLAND REGISTERED PROFESSIONAL ENGINEER) MEETING A.S.T.M. REQUIREMENTS FOR PRE-CAST STRUCTURES MUST BE SUBMITTED TO THE ENGINEER, AND THE APPROVING AGENCY (HOWARD COUNTY) FOR APPROVAL PRIOR TO FABRICATION.
 - IF ANY STRUCTURE DIMENSIONS VARY FROM WHAT WAS ORIGINALLY REVIEWED/APPROVED, THEN THE HYDRAULICS, FLOTATION AND STRUCTURAL INTEGRITY WILL HAVE TO BE RE-ANALYZED. ALL JOINTS AND CONNECTIONS MUST BE WATER TIGHT. THE METHOD OF ACHIEVING A WATER TIGHT SEAL BETWEEN THE RISER STRUCTURE AND ALL CONDUITS (I.E., BARREL, AND LOW FLOW PIPES) SHALL BE APPROVED BY THE ENGINEER IN CHARGE, AND HOWARD COUNTY PRIOR TO FABRICATION.
 - STRUCTURE SHALL BE PROVIDED WITH THE SAME ITEMS: +5, 6, 7 AS CAST IN PLACE STRUCTURE.
 - CONCRETE COLLAR MUST BE PLACED AROUND OUTFALL PIPE AND ATTACHED TO RELEASE STRUCTURE WHEN PRECAST STRUCTURE IS USED. SEE DETAIL THIS SHEET.



PRECAST RISER CONCRETE COLLAR DETAIL

NOT TO SCALE

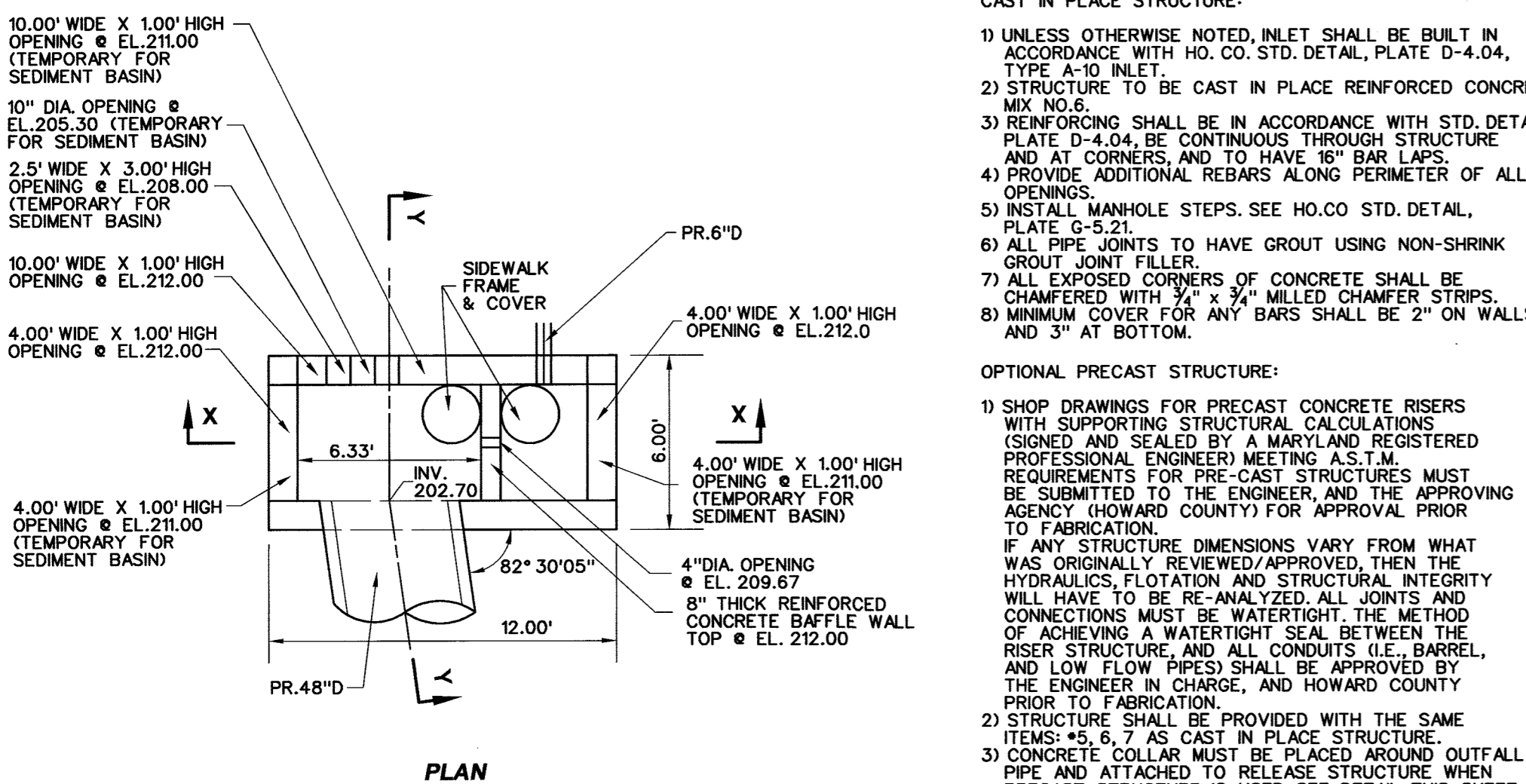


RELEASE STRUCTURE BASE DETAIL

NOT TO SCALE

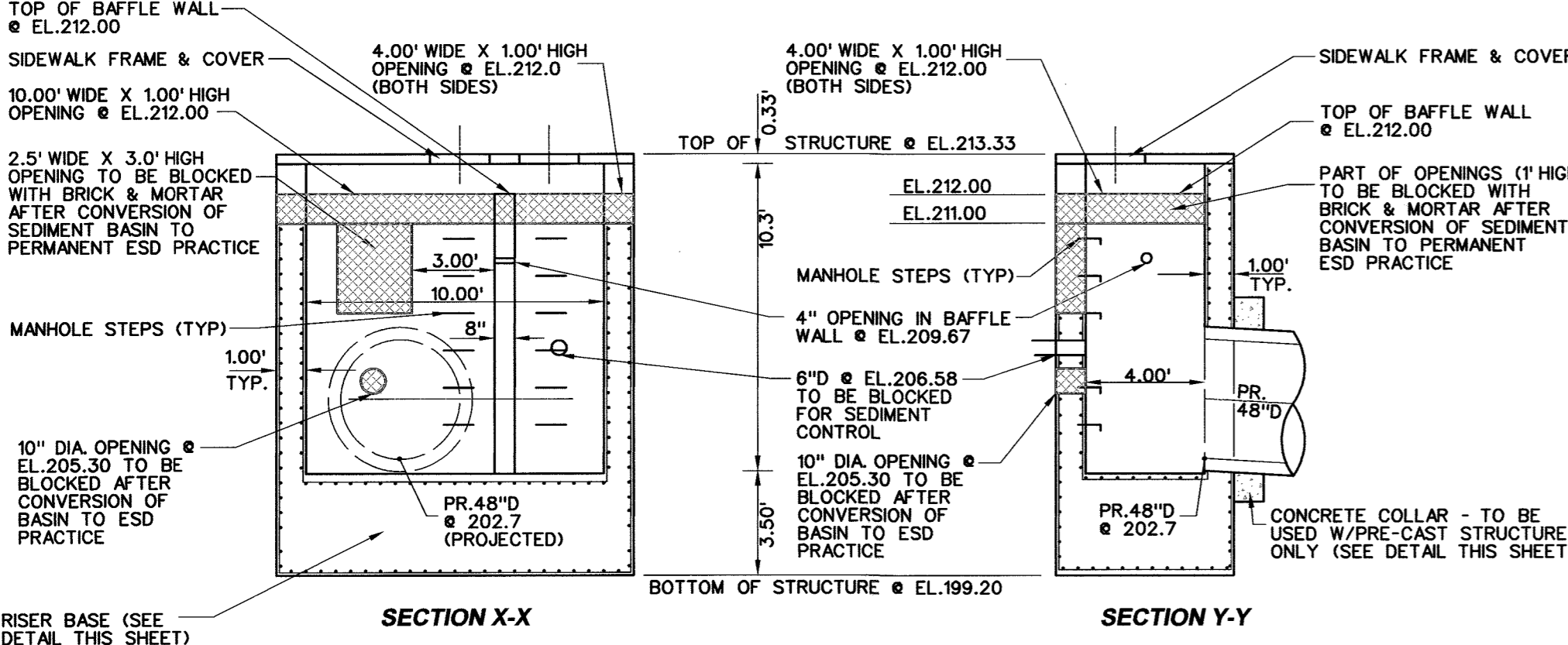
CONCRETE BEDDING DETAIL

NOTE: FOR DRAINS FROM S-1 TO M-1 & FROM M-1 TO EX. MANHOLE.



RELEASE STRUCTURE S-1 DETAIL

SCALE 1"=5'

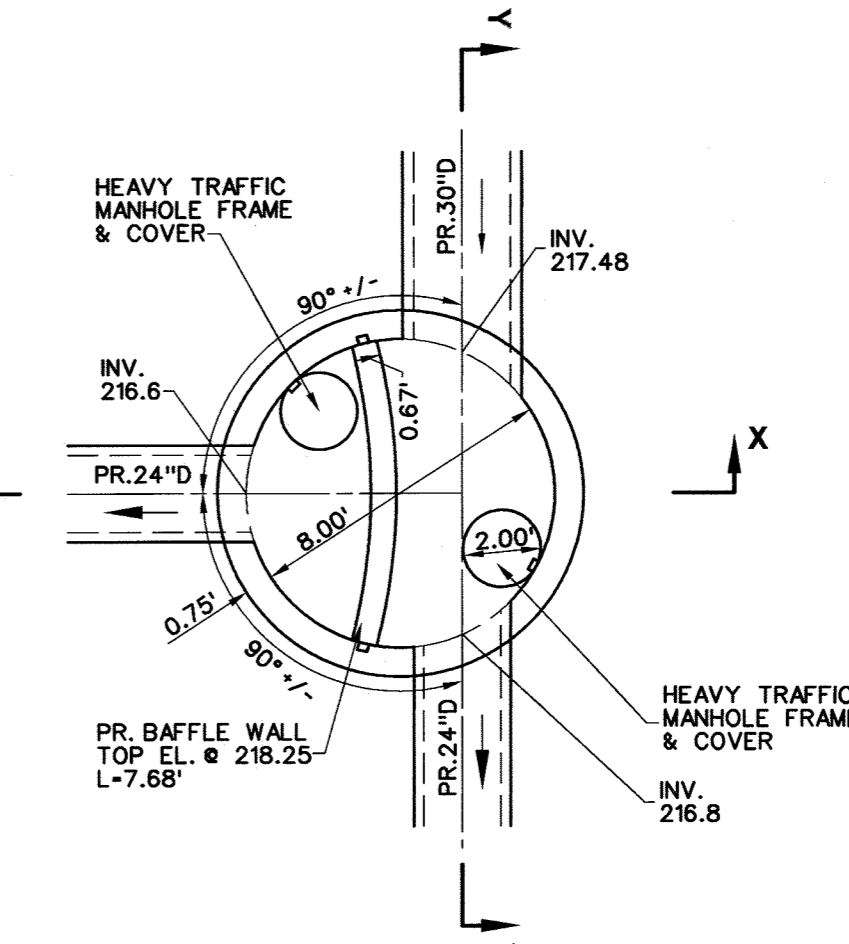


RELEASE STRUCTURE S-1 DETAIL

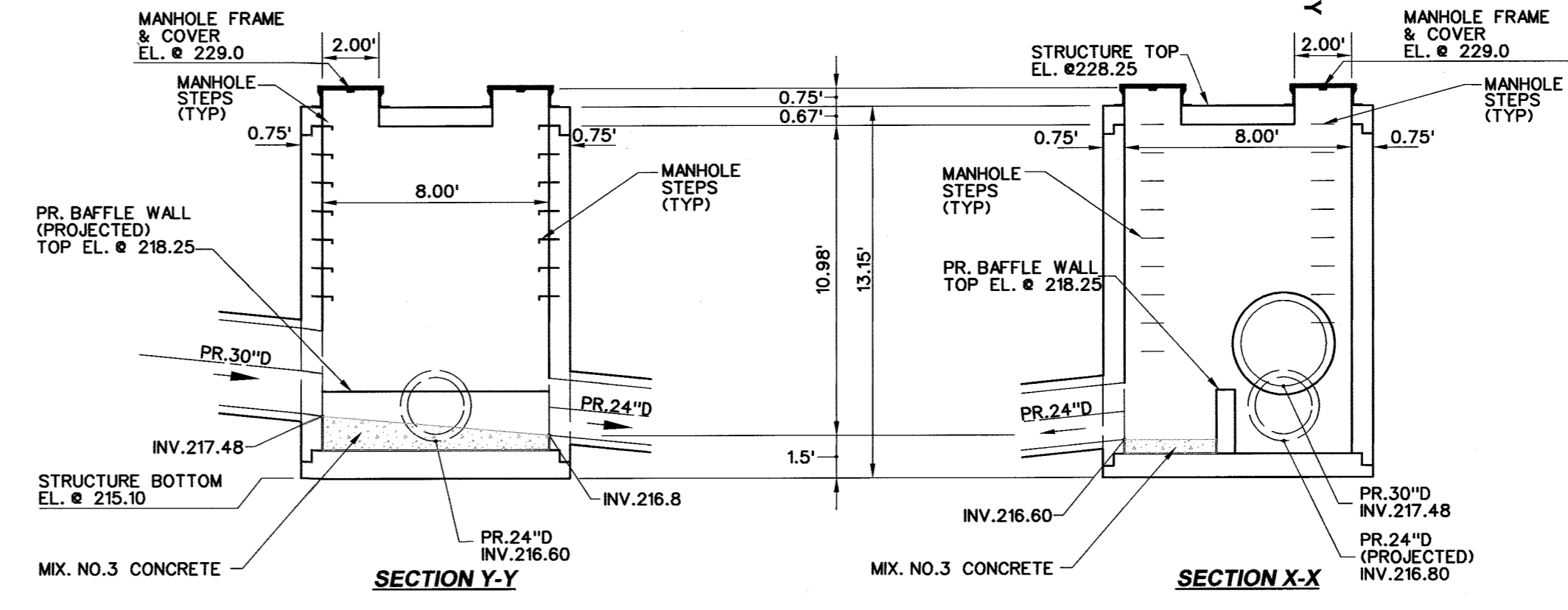
SCALE 1"=5'

NOTES

- UNLESS OTHERWISE NOTED, THE DIVERSION STRUCTURE SHALL BE BUILT IN ACCORDANCE WITH SHA STANDARD DETAIL PLATE MD-384.09 (96" DIA. PRECAST MANHOLE).
- STRUCTURE TO BE CONCRETE SHA MIX NO.6.
- STRUCTURE TO BE PRECAST.
- MANHOLE STEPS SHALL BE AS SHOWN ON SHA STANDARD DETAIL PLATES MD-383.91 OR MD-383.92.
- ALL PIPE JOINTS TO HAVE GROUT USING NON-SHRINK GROUT JOINT FILLER.
- MINIMUM COVER FOR ANY BARS SHALL BE 2" ON WALLS AND 3" AT BOTTOM.
- SEE SHA STANDARD DETAIL PLATES MD-383.31 & 383.32 FOR HEAVY TRAFFIC MANHOLE FRAME & COVER.



NOTE: ALL BAFFLE WALLS AND INTERNAL WEIRS TO BE WATER TIGHT.



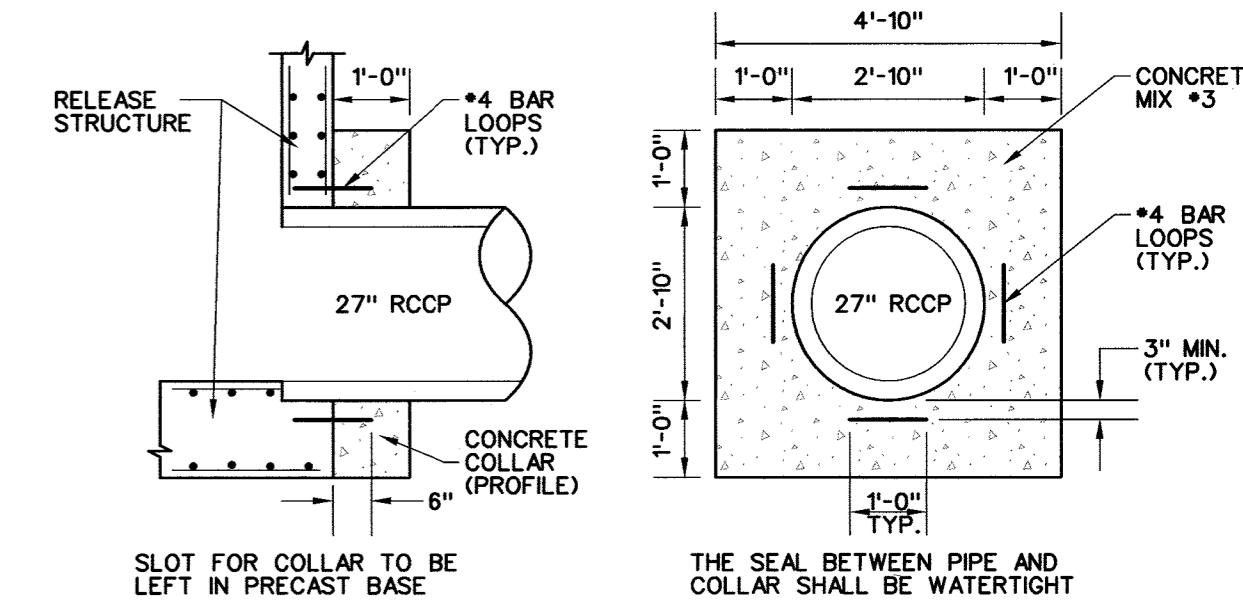
DIVERSION MANHOLE M-13 DETAIL

SCALE 1"=5'

STRUCTURE NOTES

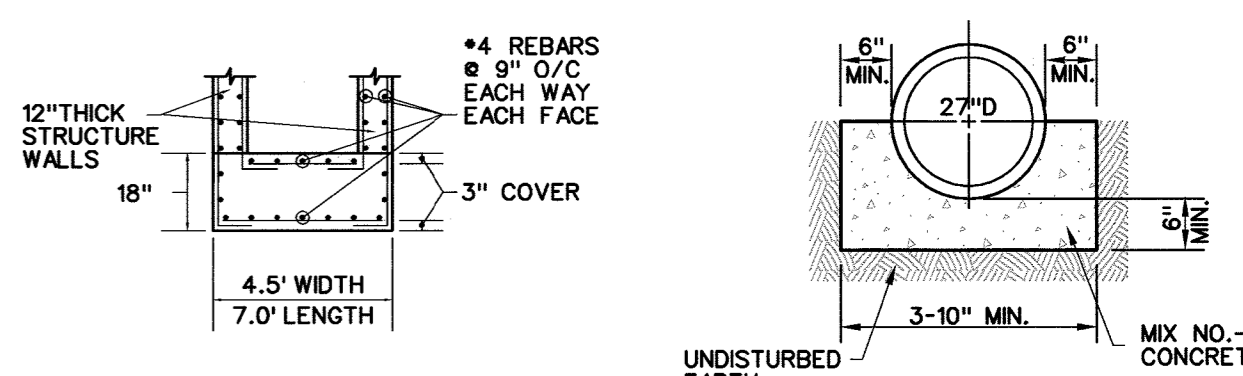
- CAST IN PLACE STRUCTURE:**
- UNLESS OTHERWISE NOTED, INLET SHALL BE BUILT IN ACCORDANCE WITH HO. CO. STD. DETAIL, PLATE D-4.02, TYPE A-5 INLET.
 - STRUCTURE TO BE CAST IN PLACE REINFORCED CONCRETE MIX NO.6.
 - REINFORCING SHALL BE IN ACCORDANCE WITH STD. DETAIL, PLATE D-4.02, BE CONTINUOUS THROUGH STRUCTURE AND AT CORNERS, AND TO HAVE 16" BAR LAPS.
 - PROVIDE ADDITIONAL REBARS ALONG PERIMETER OF ALL OPENINGS.
 - INSTALL MANHOLE STEPS. SEE HO.CO STD. DETAIL, PLATE G-5.21.
 - ALL PIPE JOINTS TO HAVE GROUT USING NON-SHRINK GROUT JOINT FILLER.
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 - CONCRETE COLLAR MUST BE PLACED AROUND OUTFALL PIPE AND ATTACHED TO RELEASE STRUCTURE WHEN PRECAST STRUCTURE IS USED. SEE DETAIL THIS SHEET.



PRECAST RISER CONCRETE COLLAR DETAIL

NOT TO SCALE

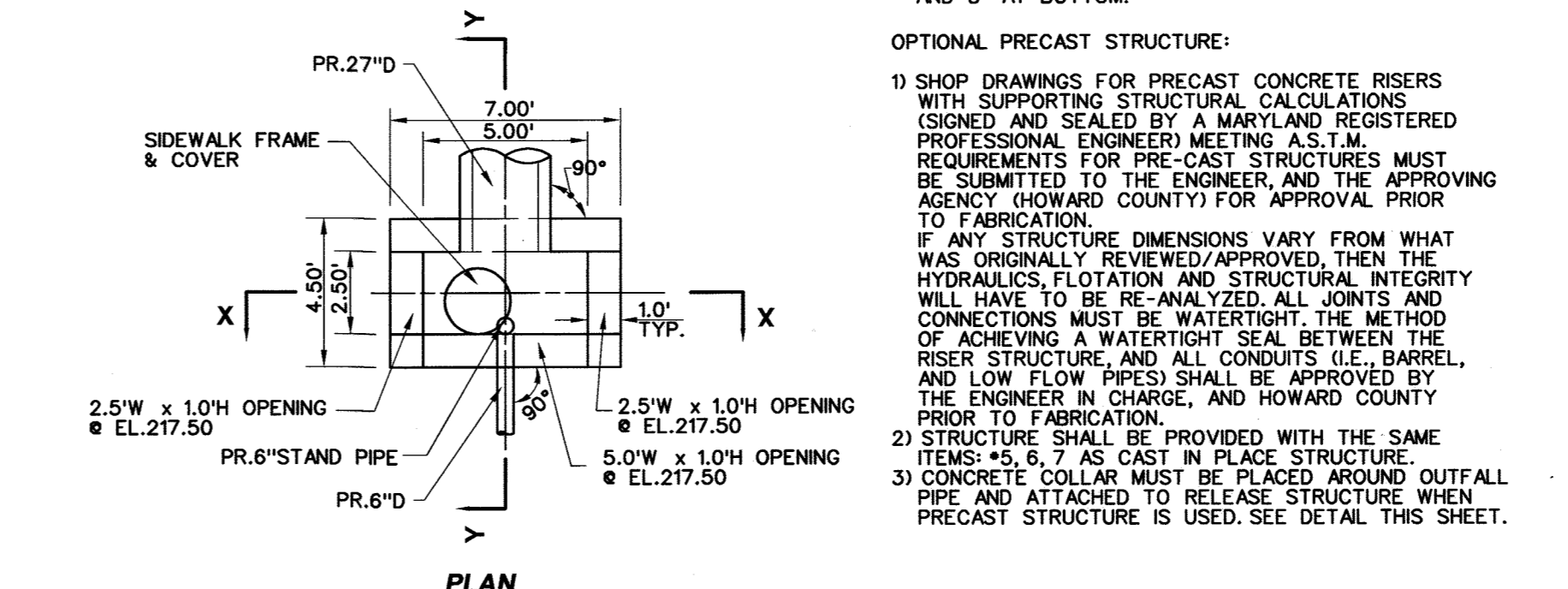


RELEASE STRUCTURE BASE DETAIL

NOT TO SCALE

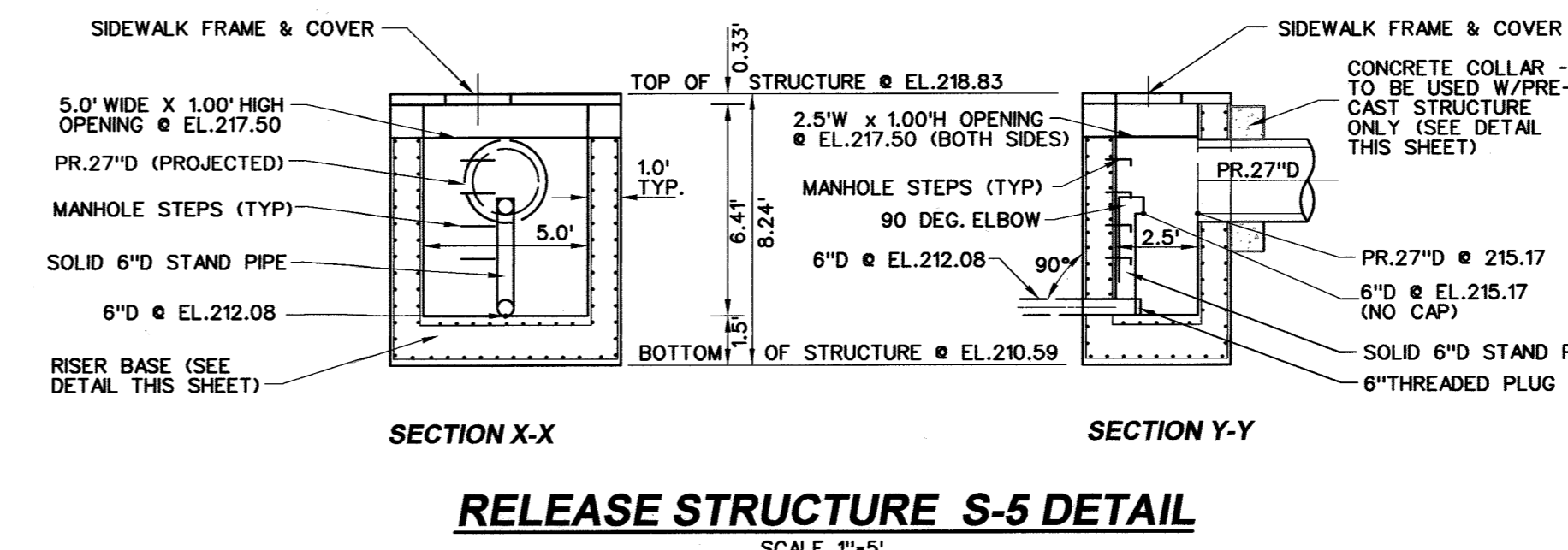
CONCRETE BEDDING DETAIL

NOTE: FOR DRAIN FROM S-5 TO M-12.



RELEASE STRUCTURE S-5 DETAIL

SCALE 1"=5'



RELEASE STRUCTURE S-5 DETAIL

SCALE 1"=5'

6" STAND PIPE SHALL BE ATTACHED TO RELEASE STRUCTURE WITH STAINLESS STEEL STRAPS, 1-1/2" WIDE, 1" GAUGE THICKNESS AT 3' MAX. SPACING (MIN. OF 2 PER PIPE JOINT) ANCHORED WITH 3/4" S.S. EXPANSION BOLTS.

APPROVED: DEPARTMENT OF PLANNING AND ZONING

<i>David Edlund</i> Chief, Development Engineering Division	11/6/14
<i>Walter S. ...</i> Chief, Division of Land Development	11/20/14
<i>Marsha ...</i> Director	11/2/14

ADDRESS CHART

LOT / PARCEL NO.	STREET ADDRESS
PARCEL B-1	7901 OCEANO AVENUE
PARCEL E-1	7775 CHESAPEAKE BAY COURT

PERMIT INFORMATION CHART

SUBDIVISION NAME MARYLAND FOOD CENTER AUTHORITY	SECTION / AREA 3	LOT / PARCEL NO. B-1/662 & E-1/696
PLAT NO. or L/F 23017-23021	GRID NO. 21	ZONING M-2
TAX MAP NO. 43	ELEC. DIST. 6TH	CENSUS TRACT 0669.01

STORM WATER MANAGEMENT PLAN
SUBMERGED GRAVEL WETLAND DETAILS - ESD #1 & #5

MARYLAND FOOD CENTER AUTHORITY
PARCEL B-1 & E-1
(WAREHOUSE & OFFICE)

HOWARD COUNTY, MARYLAND
SCALE: N/A

DATE: OCTOBER, 2014

DRAWING NO.
C-32

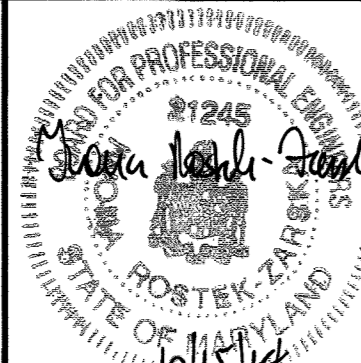
SHEET 32 OF 83

SDP-14-068

BLDG

Baltimore Land Design Group Inc.
Consulting Engineers

230 SCHILLING CIRCLE, SUITE 364 • HUNT VALLEY, MARYLAND 21031
PHONE: 410.229.9851 • FAX: 410.229.9865 • BLDG@BLDGINC.COM



PROFESSIONAL CERTIFICATION

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 21245, EXPIRATION DATE: JUNE 9, 2016.

OWNER
MARYLAND FOOD CENTER AUTHORITY
7801 OCEANO AVE
JESSUP, MD 20794
PHONE (410) 379-5760
FAX (410) 379-5773

DEVELOPER / APPLICANT
MERRITT PROPERTIES, LLC
2066 LORD BALTIMORE DRIVE
BALTIMORE, MD 21244
PHONE (410) 298-2600
FAX (410) 298-9844

REVISIONS

DATE	NO.	DESCRIPTION	BY

STORM WATER MANAGEMENT PLAN
SUBMERGED GRAVEL WETLAND DETAILS - ESD #1 & #5

MARYLAND FOOD CENTER AUTHORITY
PARCEL B-1 & E-1
(WAREHOUSE & OFFICE)

HOWARD COUNTY, MARYLAND
SCALE: N/A

DATE: OCTOBER, 2014

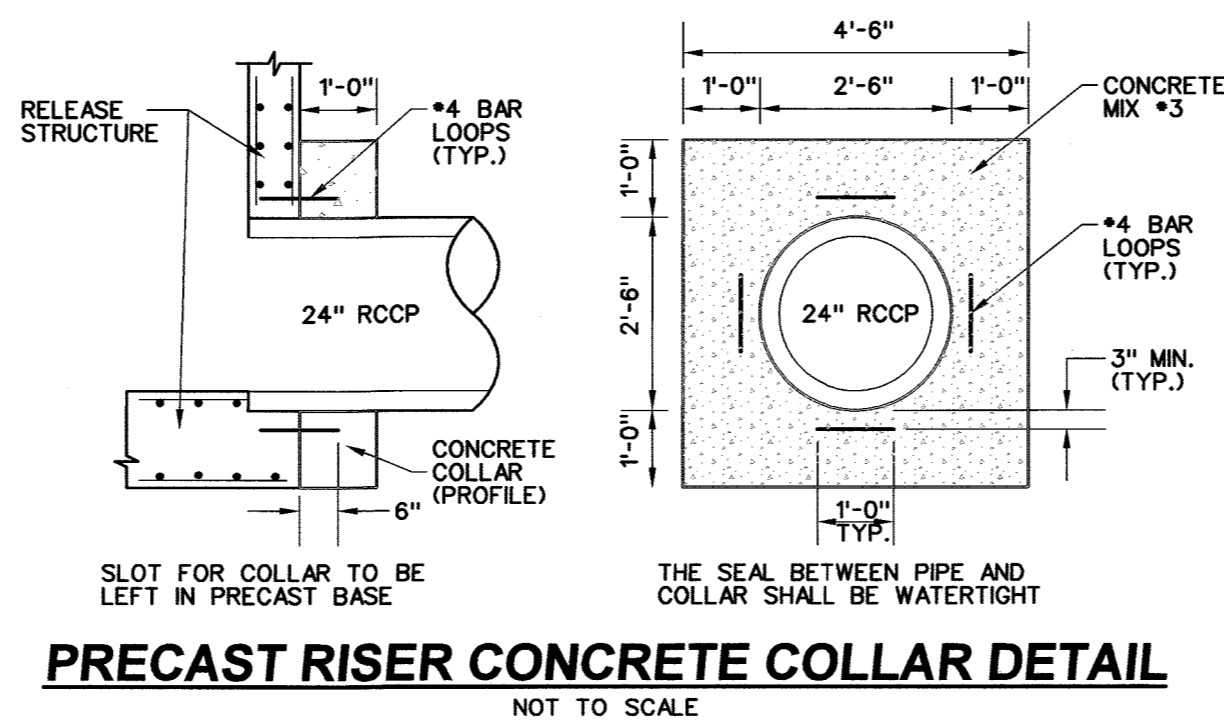
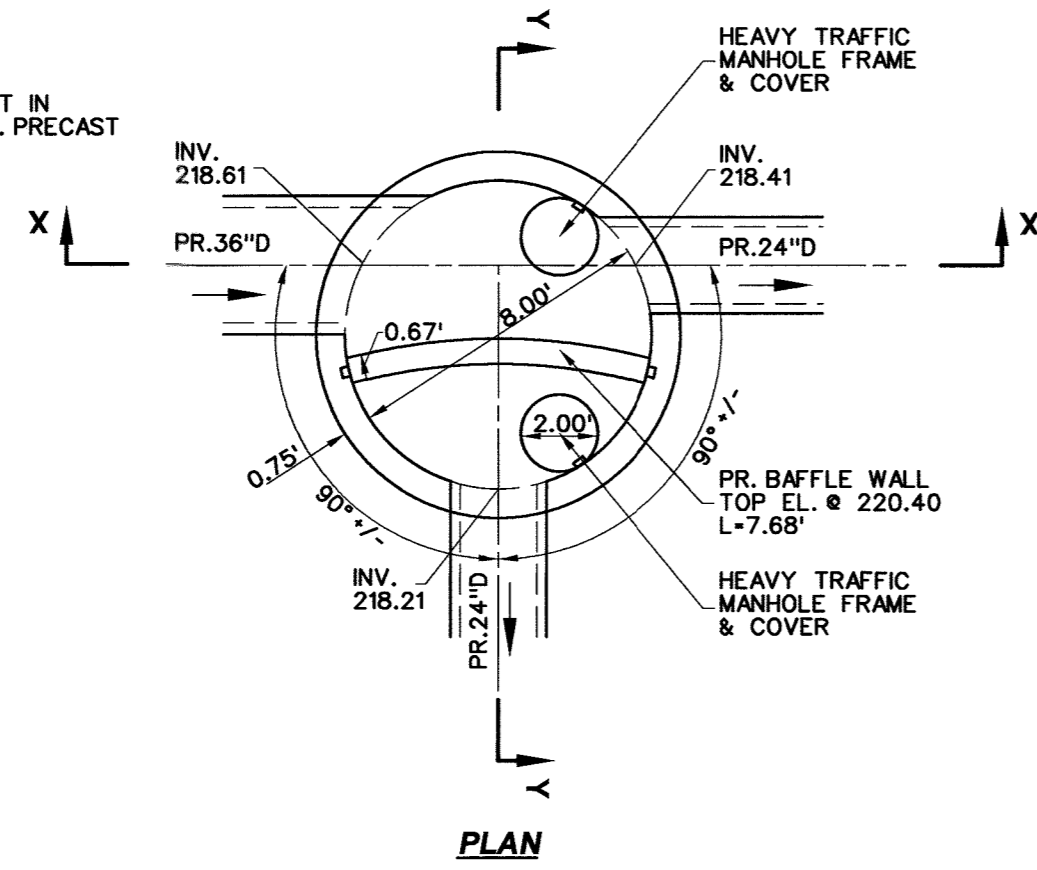
DRAWING NO.
C-32

SHEET 32 OF 83

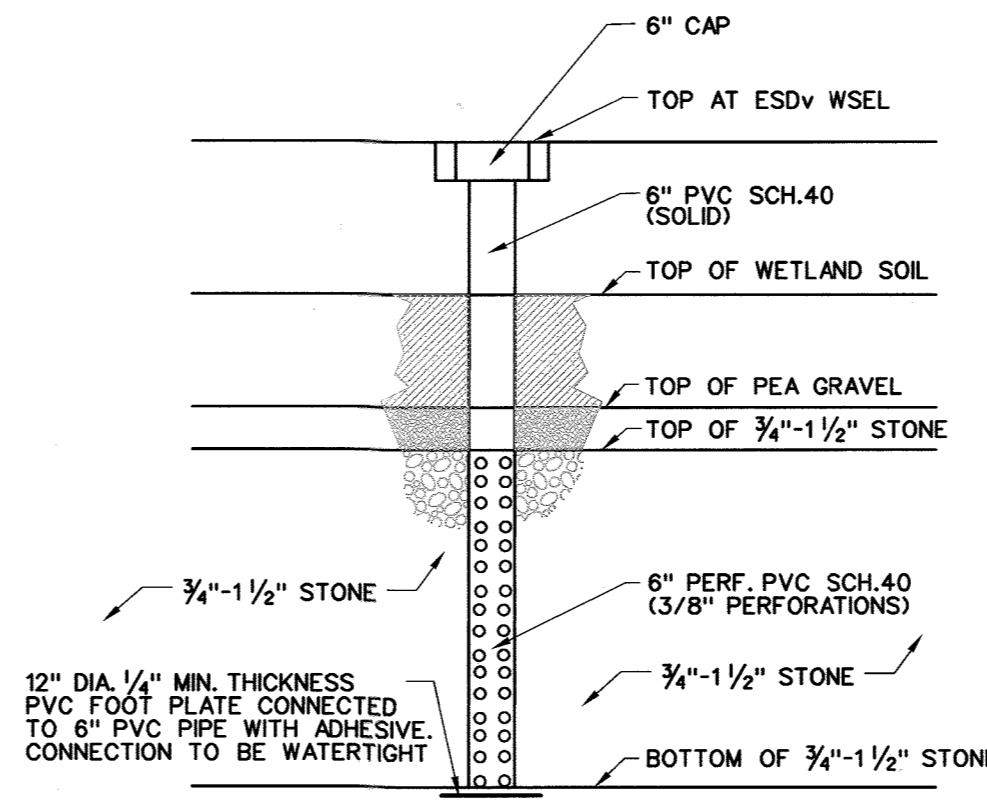
SDP-14-068

NOTES

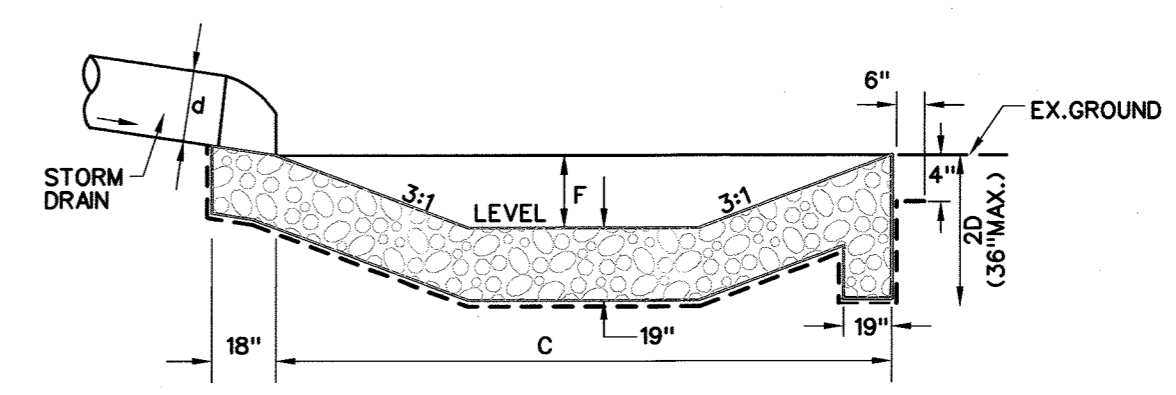
- UNLESS OTHERWISE NOTED, THE DIVERSION STRUCTURE SHALL BE BUILT IN ACCORDANCE WITH SHA STANDARD DETAIL PLATE MD-384.09 (96" DIA. PRECAST MANHOLE).
- STRUCTURE TO BE CONCRETE SHA MIX NO.6.
- STRUCTURE TO BE PRECAST.
- MANHOLE STEPS SHALL BE AS SHOWN ON SHA STANDARD DETAIL PLATES MD-383.91 OR MD-383.92.
- ALL PIPE JOINTS TO HAVE GROUT USING NON-SHRINK GROUT JOINT FILLER.
- MINIMUM COVER FOR ANY BARS SHALL BE 2" ON WALLS AND 3" AT BOTTOM.
- SEE SHA STANDARD DETAIL PLATES MD-383.31 & 383.32 FOR HEAVY TRAFFIC MANHOLE FRAME & COVER.



PRECAST RISER CONCRETE COLLAR DETAIL
NOT TO SCALE



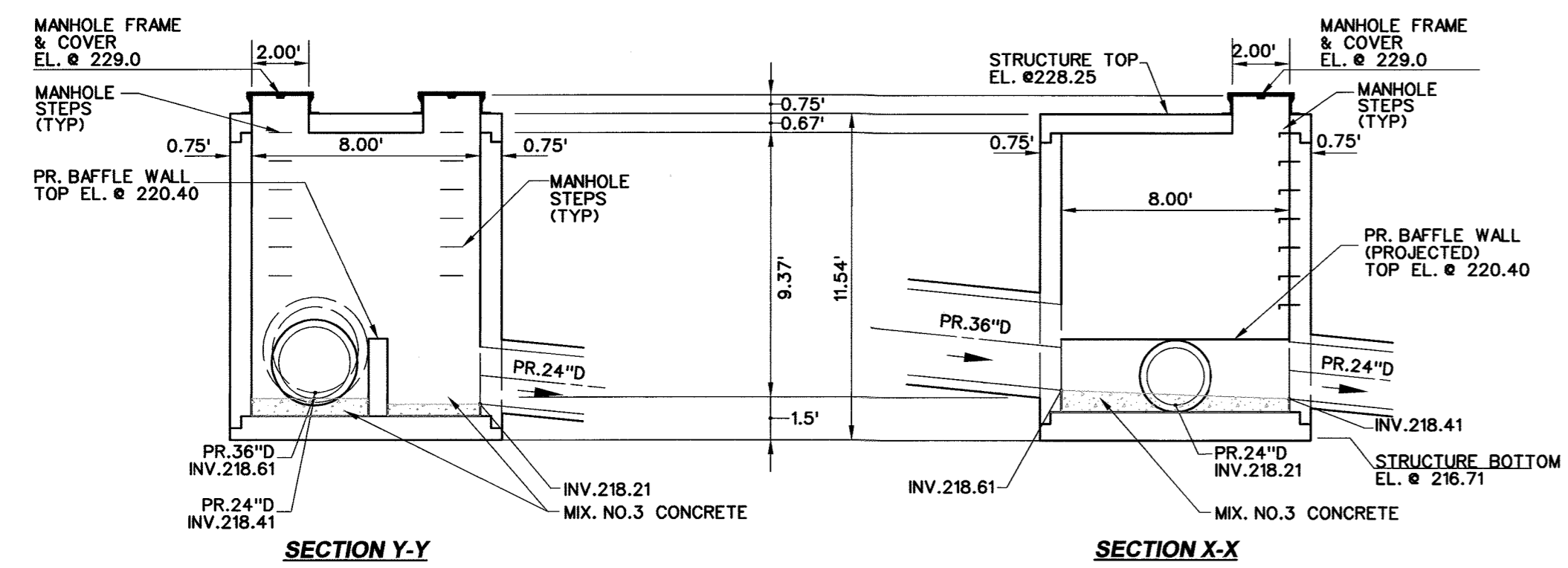
OBSERVATION WELL DETAIL
NOT TO SCALE



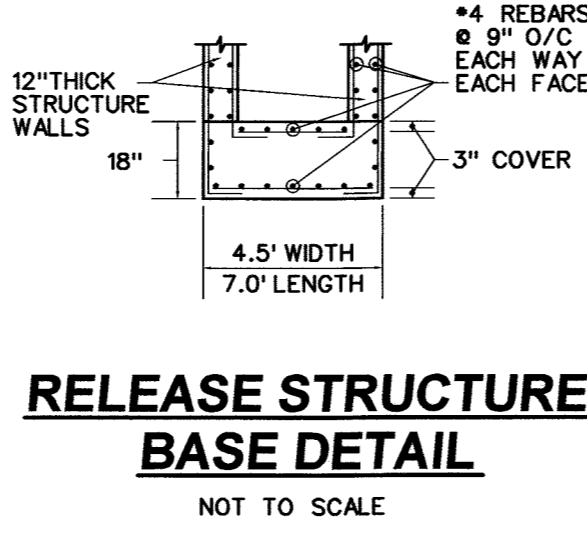
NOTE: VOIDS IN STONE ARE TO BE PACKED WITH 3:1 SAND/SOIL MIXTURE. SURFACE IS SEED AND MULCH. "SANDY" IS ASTM C-33. "SOIL" IS ENGINEER APPROVED "LOAM".

PIPE DIA.	'A'	'B'	'E'	'C'	'F'
15"	2.50'	6.28'	3.75'	7.53'	0.63'
18"	3.00'	7.50'	4.50'	9.00'	0.75'
21"	3.50'	8.78'	5.25'	10.50'	0.88'
24"	4.00'	10.00'	6.00'	12.00'	1.00'
27"	4.50'	11.28'	6.75'	13.50'	1.13'
30"	5.00'	12.50'	7.50'	15.00'	1.25'
36"	6.00'	15.00'	9.00'	18.00'	1.50'
42"	7.00'	17.50'	10.50'	21.00'	1.75'
48"	8.00'	20.00'	12.00'	24.00'	2.00'
54"	9.00'	22.50'	13.50'	27.00'	2.25'
60"	10.00'	25.00'	15.00'	30.00'	2.50'
72"	12.00'	30.00'	18.00'	36.00'	3.00'

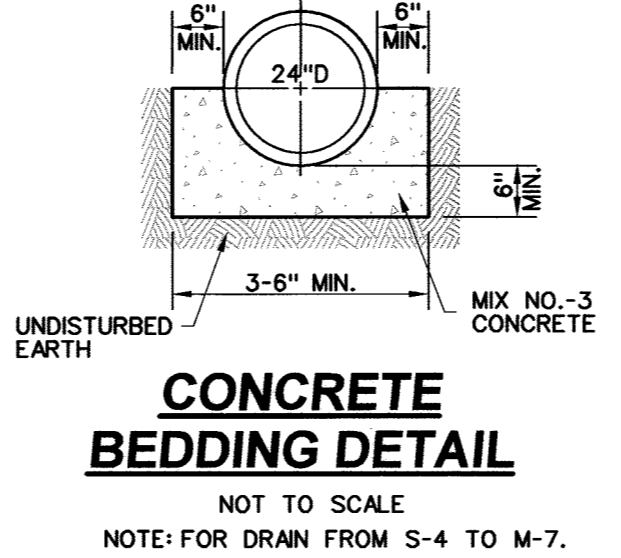
TYPE I PLUNGE POOL DIMENSIONS
NOT TO SCALE



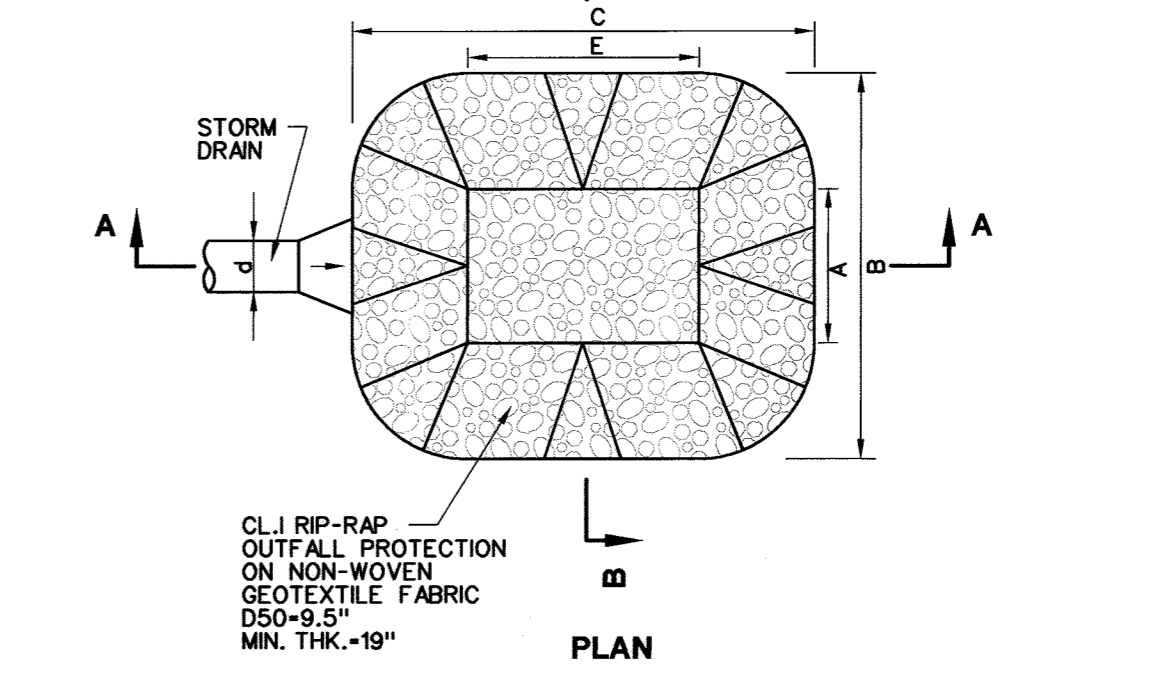
DIVERSION MANHOLE M-8 DETAIL
SCALE 1"=5'



RELEASE STRUCTURE BASE DETAIL
NOT TO SCALE



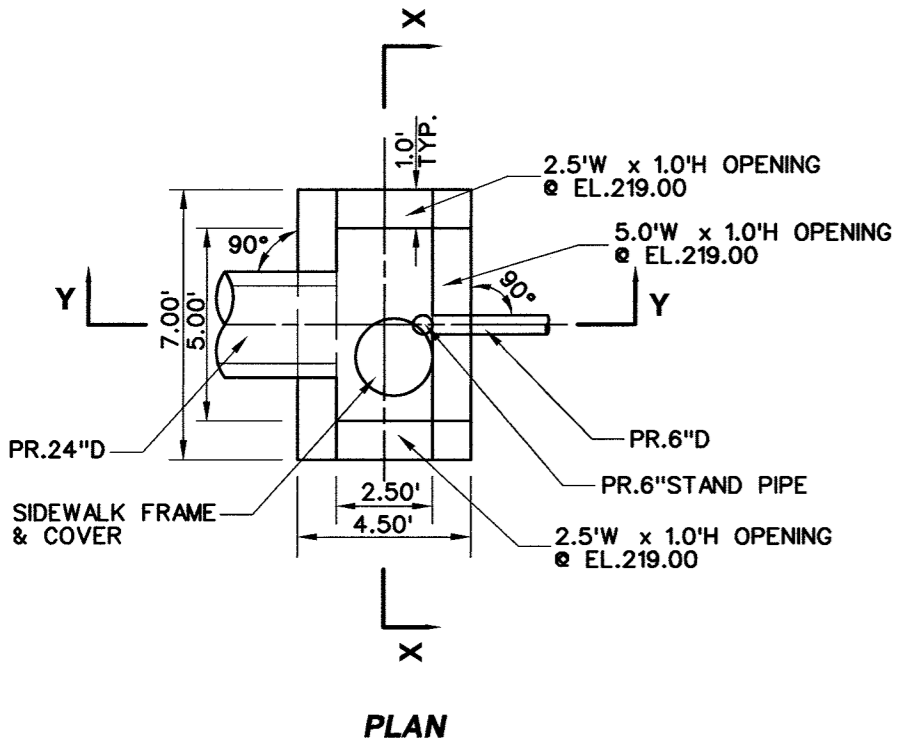
CONCRETE BEDDING DETAIL
NOT TO SCALE
NOTE: FOR DRAIN FROM S-4 TO M-7.



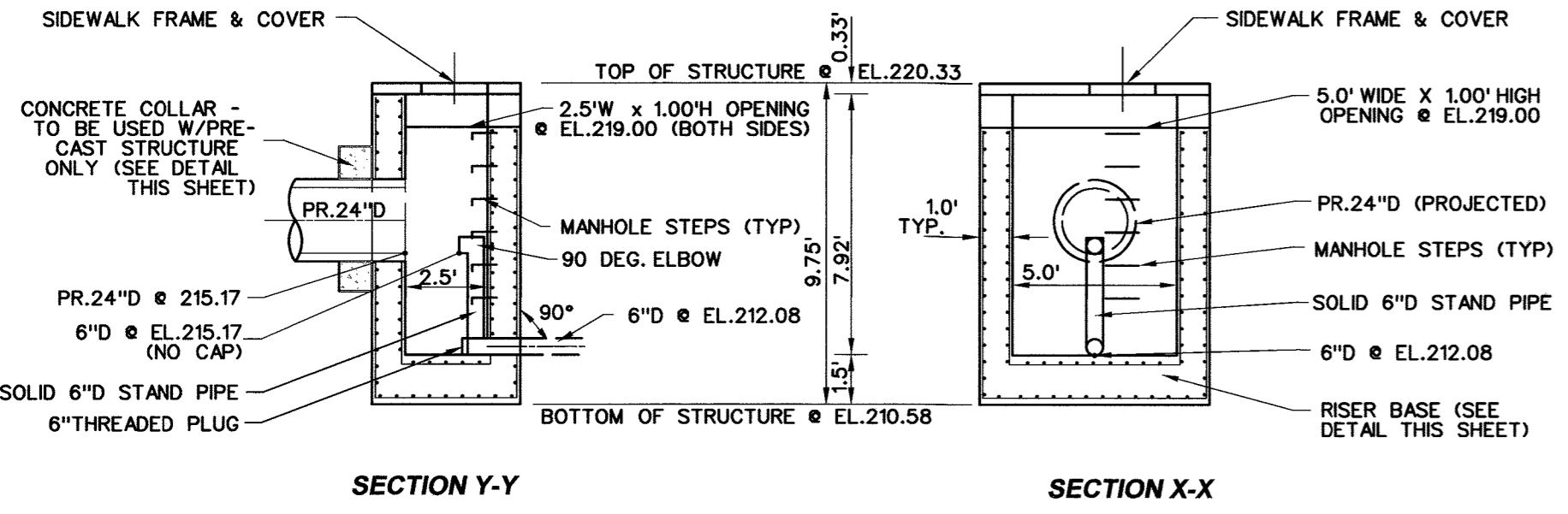
PLUNGE POOL DETAIL
NOT TO SCALE

STRUCTURE NOTES

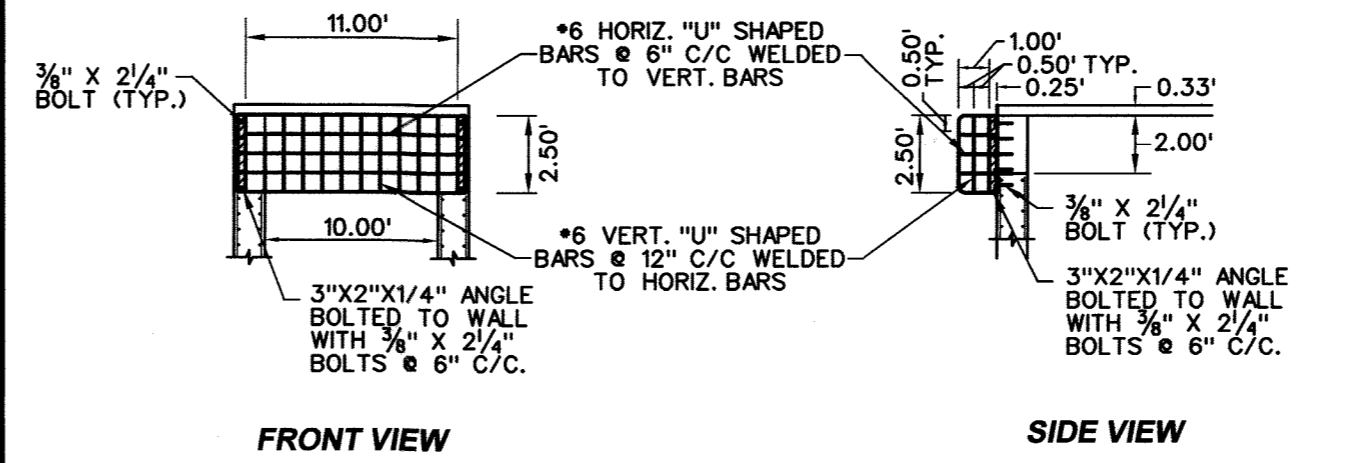
- CAST IN PLACE STRUCTURE:
- UNLESS OTHERWISE NOTED, INLET SHALL BE BUILT IN ACCORDANCE WITH HO. CO. STD. DETAIL, PLATE D-4.02, TYPE A-S INLET.
 - STRUCTURE TO BE CAST IN PLACE REINFORCED CONCRETE MIX NO.6.
 - REINFORCING SHALL BE IN ACCORDANCE WITH STD. DETAIL, PLATE D-4.02, BE CONTINUOUS THROUGH STRUCTURE AND AT CORNERS, AND TO HAVE 18" BAR LAP.
 - PROVIDE ADDITIONAL REBARS ALONG PERIMETER OF ALL OPENINGS.
 - INSTALL MANHOLE STEPS. SEE HO.CO STD. DETAIL, PLATE G-5.21.
 - ALL PIPE JOINTS TO HAVE GROUT USING NON-SHRINK GROUT JOINT FILLER.
 - ALL EXPOSED CORNERS OF CONCRETE SHALL BE CHAMFERED WITH 3/4" x 3/4" MILLED CHAMFER STRIPS.
 - MINIMUM COVER FOR ANY BARS SHALL BE 2" ON WALLS AND 3" AT BOTTOM.
- OPTIONAL PRECAST STRUCTURE:
- SHOP DRAWINGS FOR PRECAST CONCRETE RISERS WITH SUPPORTING STRUCTURAL CALCULATIONS (SIGNED AND SEALED BY A MARYLAND REGISTERED PROFESSIONAL ENGINEER) MEETING A.S.T.M. REQUIREMENTS FOR PRE-CAST STRUCTURES MUST BE SUBMITTED TO THE ENGINEER, AND THE APPROVING AGENCY (HOWARD COUNTY) FOR APPROVAL PRIOR TO FABRICATION.
 - IF ANY STRUCTURE DIMENSIONS VARY FROM WHAT WAS ORIGINALLY REVIEWED/APPROVED, THEN THE HYDRAULICS, FLOTATION AND STRUCTURAL INTEGRITY WILL HAVE TO BE RE-ANALYZED. ALL JOINTS AND CONNECTIONS MUST BE WATERTIGHT. THE METHOD OF ACHIEVING A WATERTIGHT SEAL BETWEEN THE RISER STRUCTURE, AND ALL CONDUITS (I.E. BARREL, AND LOW FLOW PRESS) SHALL BE APPROVED BY THE ENGINEER IN CHARGE, AND HOWARD COUNTY PRIOR TO FABRICATION.
 - STRUCTURE SHALL BE PROVIDED WITH THE SAME ITEMS: *5, 6, 7 AS CAST IN PLACE STRUCTURE.
 - CONCRETE COLLAR MUST BE PLACED AROUND OUTFALL PIPE AND ATTACHED TO RELEASE STRUCTURE WHEN PRECAST STRUCTURE IS USED. SEE DETAIL THIS SHEET.



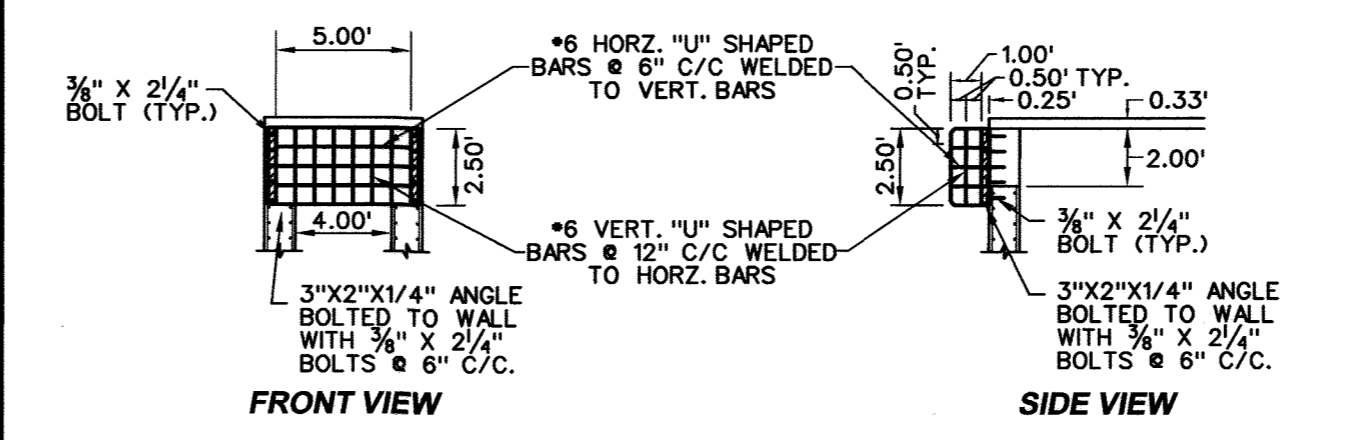
PLAN



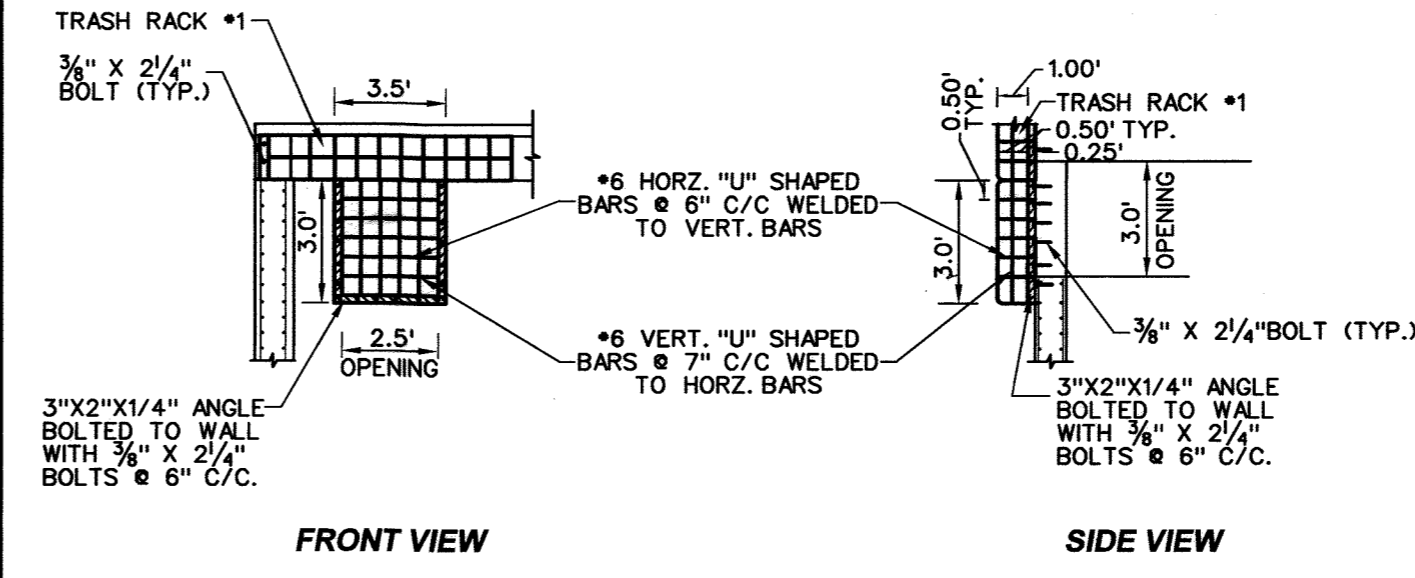
RELEASE STRUCTURE S-4 DETAIL
SCALE 1"=5'



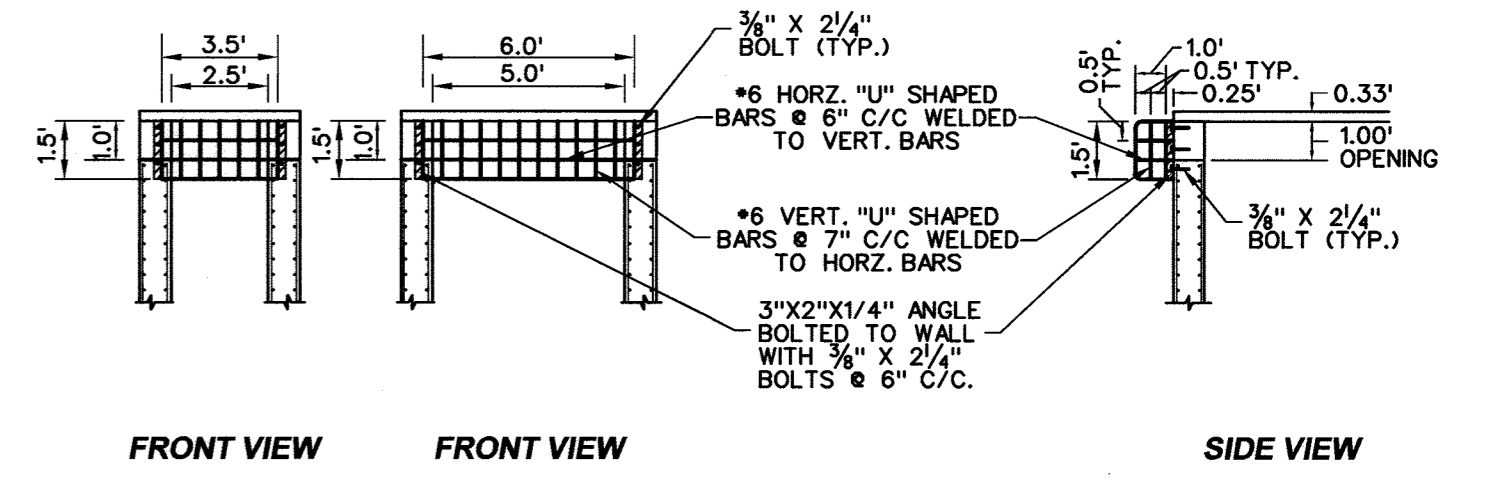
TRASH RACK #1 DETAIL FOR 10.00' WIDE x 2.00' HIGH OPENINGS @ S-1
NOT TO SCALE



TRASH RACK #2 DETAIL FOR 4.00' WIDE x 2.00' HIGH OPENINGS @ S-1
NOT TO SCALE



TRASH RACK DETAIL #3 FOR 2.50' WIDE x 3.00' HIGH OPENING @ S-1
NOT TO SCALE



TRASH RACK DETAIL FOR 5.0' & 2.5' WIDE x 1' HIGH OPENING @ S-4 & S-5
NOT TO SCALE

- NO RUST SHALL BE PERMITTED ON REBAR SURFACES TO BE WELDED.
- TRASH RACK SHOULD BE HOT DIPPED GALVANIZED AFTER SHOP FABRICATION.

TRASH RACK WELDING DETAIL
NOT TO SCALE

APPROVED: DEPARTMENT OF PLANNING AND ZONING

[Signature] Chief, Development Engineering Division Date: 11-6-14

[Signature] Chief, Division of Land Development Date: 11-20-14

[Signature] Director Date: 11/2/14

ADDRESS CHART

LOT / PARCEL NO.	STREET ADDRESS
PARCEL B-1	7901 OCEANO AVENUE
PARCEL E-1	7775 CHESAPEAKE BAY COURT

PERMIT INFORMATION CHART

SUBDIVISION NAME	SECTION / AREA	LOT / PARCEL NO.			
MARYLAND FOOD CENTER AUTHORITY	3	B-1/662 & E-1/696			
PLAT NO. or L/F	GRID NO.	ZONING	TAX MAP NO.	ELEC. DIST.	CENSUS TRACT
23017-23021	21	M-2	43	6TH	6069.01

BLDG
Baltimore Land Design Group Inc.
Consulting Engineers
230 SCHILLING CIRCLE, SUITE 364 • HUNT VALLEY, MARYLAND 21031
PHONE: 410.229.9851 • FAX: 410.229.9865 • BLDG@BLDGINC.COM

PROFESSIONAL CERTIFICATION
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 21245, EXPIRATION DATE: JUNE 9, 2016.

OWNER
MARYLAND FOOD CENTER AUTHORITY
7801 OCEANO AVE
JESSUP, MD 20794
PHONE (410) 379-5760
FAX (410) 379-5773

DEVELOPER / APPLICANT
MERRITT PROPERTIES, LLC
2066 LORD BALTIMORE DRIVE
BALTIMORE, MD 21244
PHONE (410) 298-2600
FAX (410) 298-9644

REVISIONS			
DATE	NO.	DESCRIPTION	BY

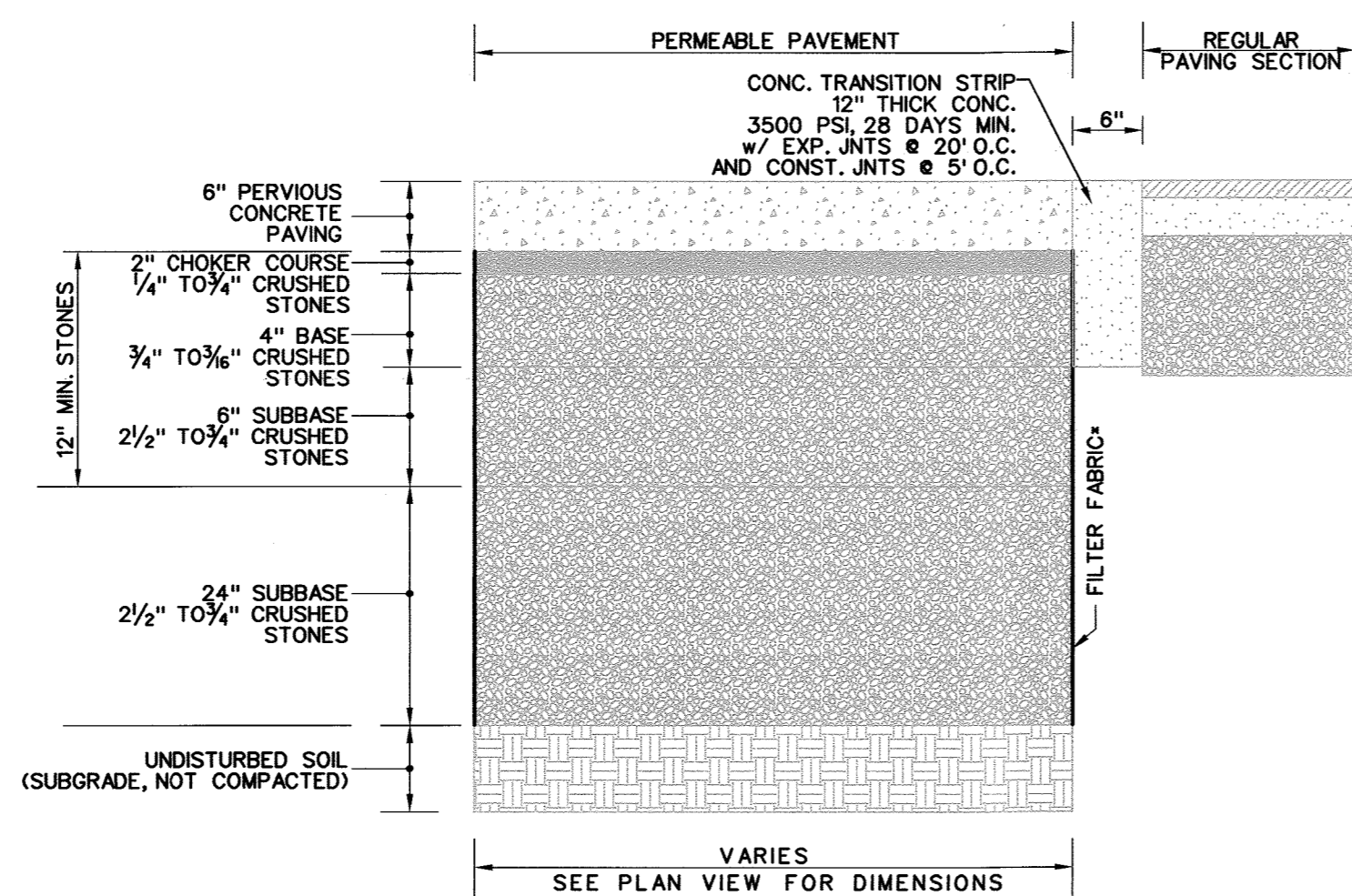
STORM WATER MANAGEMENT PLAN
SUBMERGED GRAVEL WETLAND DETAILS - ESD #4
AND OTHER MISCELLANEOUS DETAILS
MARYLAND FOOD CENTER AUTHORITY
PARCEL B-1 & E-1
(WAREHOUSE & OFFICE)
HOWARD COUNTY, MARYLAND
SCALE: AS SHOWN
DATE: OCTOBER, 2014

DRAWING NO.
C-33
SHEET 33 OF 83
SDP-14-068

CONSTRUCTION SPECIFICATIONS

B1.1 Supplemental Stormwater Pond and Wetland Specifications (Non-378)

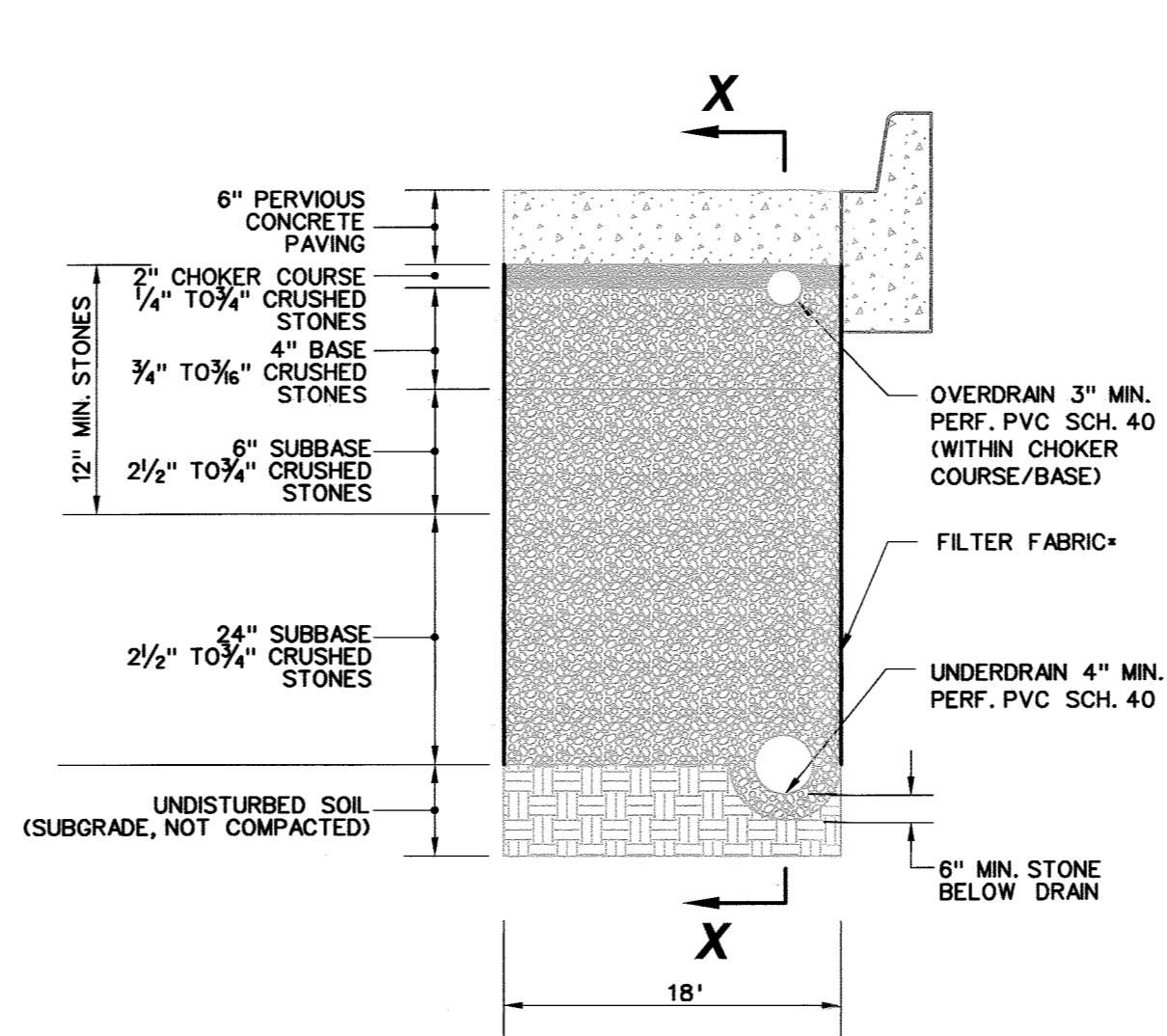
- It is preferred to use the same material in the embankment as is being installed for the Core trench. If this is not possible because the appropriate material is not available, a dam core with a shell may be used. The cross-section of the stormwater facility should show the limits of the dam core up to the 10-year water surface elevation) as well as the acceptable materials for the shell. The shape of the dam core and the material to be used in the shell should be provided by the geotechnical engineer.
 - If the compaction tests for site improvements is using a Modified Proctor (AASHTO 180), then to maintain on-site consistency, the Modified Proctor may be used in lieu of a Standard Proctor (AASHTO T-99). The minimum required density using the Modified Proctor test method shall be at least 92% of maximum dry density with a moisture content of +/- 2% of the optimum. The minimum required density using the Standard Proctor test method shall be at least 85% of the maximum dry density with a moisture content of +/- 2% of the optimum.
 - For all stormwater management facilities, a geotechnical engineer or their representative must be present to verify compaction in accordance with the selected test method. This information needs to be provided in a report to the design engineer, so that certification of the construction of the facility, in accordance with MD-378 specifications, can be made.
 - A 4-inch layer of topsoil shall be placed on all disturbed areas of the dam embankment. Seeding, liming, fertilizing, mulching, etc. shall be in accordance with Maryland Soil Conservation Service MD-342 or the 2011 Maryland Standards and Specifications for Soil Erosion and Sediment Control ("Permanent Stabilization", B-4-5 Section. The purpose of the topsoil is to establish a good growth of grass which is not always possible with some of the materials that may be placed for the embankment fill.
 - Geotextile placed beneath rip-rap shall be Class "C" geotextile or better (see Section H-1, Standards and Specifications for Materials, 2011 Standards and Specifications for Soil Erosion and Sediment Control, MDE, 2011). Some acceptable geotextiles that meet the Class "C" criteria include:
Amoco 4552
GEOLON N70
WEBTAC
Carthage FX-7
Mirafi 180
- This is only a partial listing of available geotextiles based on information provided by the manufacturers to the 1997 Specifier's Guide dated December 1996. It is the responsibility of the engineer to verify the adequacy of the material as there are changes in the manufacturing process and the type of fabric used, which may affect the continued acceptance.
- A rule of thumb to determine when an excavated pond may need to be considered an embankment pond is as follows:
Provide calculation of $10H + 20 \text{ feet} = L$, where H equals height from pond bottom to top of dam.
If the projection of L, downstream in a horizontal line from the upstream toe of slope is below existing ground, the pond can be considered an excavated pond. In addition, the existing ground slope, downstream of the toe must be less than 10%.
 - The design engineer and geotechnical engineer should make the determination that the settlement of the pond will not cause excessive joint extension. For further information on joint extension analysis, see NRCS Publication TR-18.
 - Fill placement shall not exceed a maximum 8-inch. Each lift shall be continuous for the entire length of the embankment.
 - The embankment fill shall not be placed higher than the centerline of the principal spillway until after the principal spillway has been installed. If the embankment needs to be excavated to install the principal spillway, the side slopes shall be no less than 2:1.
 - The side slopes of a cut to repair a dam, install a principal spillway for an excavated pond, or other repair work, shall be no less than 2:1.



TYPICAL SECTION THROUGH PERVIOUS CONCRETE

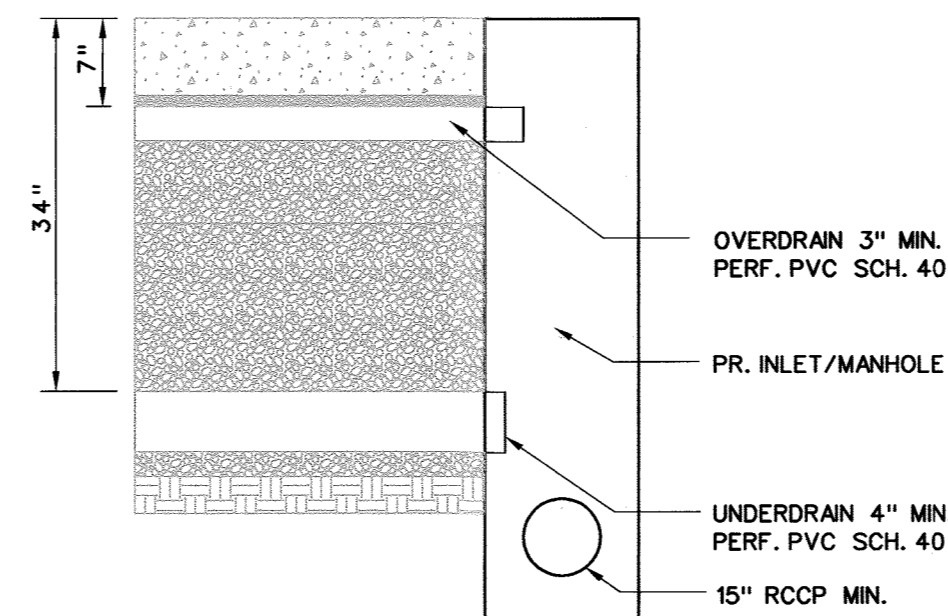
NOT TO SCALE

* FILTER FABRIC TO BE USED ON SIDES ONLY



TYPICAL SECTION THROUGH PERVIOUS CONCRETE

NOT TO SCALE



SECTION X-X

NOT TO SCALE

CONSTRUCTION CRITERIA, INSPECTION, AND MAINTENANCE CRITERIA

M-2. Submerged Gravel Wetlands

Construction Criteria:

- The following items should be addressed during the construction of projects with submerged gravel wetlands:
- Site Disturbance: All on-site disturbed areas should be stabilized prior to allowing runoff to enter the newly constructed wetland.
 - Erosion and Sediment Control: The proposed location of a submerged gravel wetland shall be protected during construction. Surface runoff shall be diverted away from the practice during grading operations. Flow splitters and other conveyance infrastructure shall be blocked.
Wetland construction shall be performed with lightweight, wide-tracked equipment to minimize disturbance and compaction. Excavated materials shall be placed in a contained area. Any pumping operations shall discharge filtered water to a stable outlet.
 - Gravel/Media: The aggregate shall be composed of an 18 to 48 inch layer of clean washed, uniformly graded material with a porosity of 40%. Rounded bank run gravels recommended (e.g., ASTM D448 4.5, or 6 stone or equal).

Wetland Soil:

The surface infiltration rates of the gravel wetland soil should be similar to a low hydraulic conductivity wetland soil (0.1-0.01 ft/day - 3.5 x 10-5 cm/sec to 3.5 x 10-6 cm/sec). This soil can be manufactured using compost, sand, and some fine soils to blend to a high % organic matter content soil (>15% organic matter). Avoid using clay contents in excess of 15% because of potential migration of fines into subsurface gravel layer. Do not use geotextiles between the horizontal layers of this system as they will clog due to fines and may restrict root growth. Soil shall consist of loose, friable soil, free of ice, snow and rubbish with no admixture of refuse or material toxic to plant growth. Soil shall be reasonably free of seeds and roots of exotic invasive species, stones, lumps and or similar objects larger than two inches in diameter. Manufactured wetland soil will be uniformly mixed to meet the final requirements listed below:

pH 5.5 - 7.5
Moisture Content 25% - 55%
Soluble Salts 2.5 mmhos (dS)
Organic Content >20% (dry weight)
Organic Carbon Content >12% (dry weight)
Stone and debris <5% (by weight)
Foreign Matter <0.5% (by weight)

Particle Size:

- 100% by volume must pass a 1/4 inch screen.
- 85% by volume must pass a 3/8 inch screen.

An intermediate layer of a graded aggregate filter (i.e., pea gravel) is needed to prevent the wetland soil from migrating down into the crushed-stone (gravel) sub-layer. This is to prevent migration of the finer setting bed (wetland soil) into the coarse sublayer. Material compatibility should be evaluated using FHWA criteria (see Ferguson, 2005):

Criteria 1: $D_{15} \text{ coarse sublayer} \leq 5 \times D_{50} \text{ setting bed}$
Criteria 2: $D_{50} \text{ coarse sublayer} \geq 25 \times D_{50} \text{ setting bed}$

Below the wetland soil and pea gravels is a crushed stone (gravel) sublayer with a 24 in. (0.6 m) minimum thickness. Angular crushed stone is needed with a minimum size ~3/4-in (2-cm). Large particle, angular coarse to very coarse gravels needed to maintain system longevity.

Native Materials and Liner:

If native a low hydraulic conductivity native soils not present below the gravel layer, a low permeability liner or soil should be used to minimize infiltration, preserve horizontal flow in the gravel, and maintain the wetland plants. If geotechnical tests confirm the need for a liner, acceptable options include: (a) 6 to 12 inches (15 - 30 cm) of clay soil (minimum 15% passing the #200 sieve and a minimum permeability of $1 \times 10^{-5} \text{ cm/sec}$), (b) a 30 mil HDPE liner, (c) bentonite, (d) use of chemical additives (see NRCS Agricultural Handbook No. 386, dated 1981, or Engineering Field Manual), or (e) a design prepared by a Professional Engineer.

Inspection:

Regular inspections shall be made during the following stages of construction:

- During excavation to subgrade.
- During placement of backfill of perforated inlet pipe and observation wells.
- During placement of geotextiles and all filter media.
- During construction of any appurtenant conveyance systems such as diversion structures, inlets, outlets, and flow distribution structures.
- Upon completion of final grading and establishment of permanent stabilization, and before allowing runoff to enter the wetland.

OPERATION AND MAINTENANCE SCHEDULE

FOREBAY

- Forebay shall be inspected annually and after major storm events.
- Check for woody vegetation on dam and within 25 feet of release structure.
- Visible signs of erosion in the forebay as well as the riprap stones or gabion stone outlet area shall be repaired.
- Structural components of the forebay such as the dam, release structure and pipes shall be repaired upon detection of any failure. Grass should be maintained in good condition and be less than 12" in mowing height.
- Debris and litter shall be removed during regular mowing operations.
- Sediment shall be removed from forebay when 50% of storage loss has been achieved or when necessary for aesthetic reasons.

GRAVEL WETLAND

- Privately owned practices shall have a maintenance plan and shall be protected by easement, deed restriction, ordinance, or other legal measures preventing its neglect, adverse alteration, and removal.
- During the first year of operation, inspections should be conducted after every major storm and poorly established areas revegetated.
- Sediment accumulation in the pretreatment areas should be removed as necessary.
- Signs of uneven flow distribution within the wetland may mean that the gravel or underdrain is clogged. The gravel and/or underdrain may need to be removed, cleaned and replaced.
- A dense stand of wetland vegetation should be maintained throughout the life of the facility with plantings replaced as needed.
- Inlets and outlets to each submerged gravel wetland cell should be free from debris to prevent clogging.
- Facility at inflow points should be repaired. Flow splitters should be functional to prevent bypassing of the facility.

Boring Log									
Scale	Elev	Description	Depth	Scale	No	Blows / 6in	Type	REC	Notes
0'4"		Topsoil	0						Topsoil: 4"
0'4"		Red, brown, moist, very loose, fine sand, SP	1		1	4.7-0	DS	14'	WH - Weight of Hammer
4'0"		Dark gray, moist, very soft, micaceous sandy clay CL	2		2	5.8-12	DS	12'	
8'0"		Dark gray, moist, soft, silty clay, CL	3		3	4.6-8	DS	18'	
12'0"		Medium Dense	4		4	8-12-15	DS	18'	
16'0"		Medium Dense	5		5	11-14-16	DS	18'	
15'0"		Very Stiff	5		5	5.7-9	DS	18'	

Boring Log									
Scale	Elev	Description	Depth	Scale	No	Blows / 6in	Type	REC	Notes
0'4"		Topsoil	0						Topsoil: 4"
4'0"		Brown, tan, orange, dry, medium dense, silty sand, trace ironite, SM	1		1	4.7-0	DS	14'	
8'0"		Light tan, orange, moist, medium dense, silty clayey sand, trace gravel, SM-SC	2		2	5.8-12	DS	12'	
12'0"		Red, brown, orange, moist, loose, silty clayey sand, trace gravel, SM-SC	3		3	4.6-8	DS	18'	
16'0"		Medium Dense	4		4	8-12-15	DS	18'	
12'0"		Medium Dense	5		5	11-14-16	DS	18'	

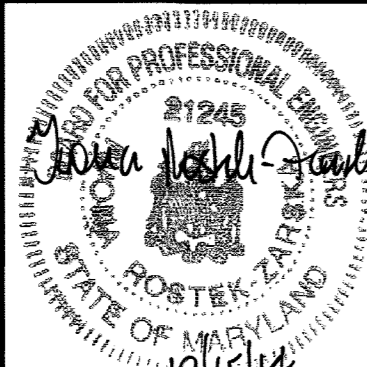
Boring Log									
Scale	Elev	Description	Depth	Scale	No	Blows / 6in	Type	REC	Notes
0'4"		Topsoil	0						Topsoil: 4"
4'0"		Orange, brown, dry, medium dense, silty sand SM	1		1	4.6-6	DS	6'	
8'0"		Loose	2		2	3.4-4	DS	12'	
12'0"		Red, brown, orange, moist, loose, silty clayey sand, SM-SC	3		3	2.3-3	DS	18'	
16'0"		Loose	4		4	3.3-5	DS	18'	
12'0"		Brown, orange, tan, moist, loose to medium dense, silty sand, some gravel silty clay	5		5	7.5-11	DS	18'	

Boring Log									
Scale	Elev	Description	Depth	Scale	No	Blows / 6in	Type	REC	Notes
0'0"		Brownish orange, moist, medium dense to very dense silty sand, SM	S-1		1	3.1-11	DS	10'	Topsoil: 3"
4'0"		Very Dense	S-2		2	13-25-36	DS	18'	
8'0"		Dense	S-3		3	12-18-22	DS	10'	
12'0"		Tan, orange, and brown, moist, medium dense, medium to fine sand, SP	S-4		4	7.5-9	DS	18'	
16'0"		Moist, medium dense	S-5		5	11-12-13	DS	12'	
20'0"		Wet, medium dense	S-6		6	12-13-11	DS	15'	
24'0"		Wet, medium dense	S-7		7	7.5-7.7	DS	18'	

Boring Log									
Scale	Elev	Description	Depth	Scale	No	Blows / 6in	Type	REC	Notes
0'4"		Topsoil	0						Topsoil: 4"
4'0"		Red, moist, very stiff, silty clay, CL	1		1	6.4-10	DS	18'	
8'0"		Very Stiff	2		2	9-10-15	DS	18'	
12'0"		Very Stiff	3		3	7.12-15	DS	18'	
16'0"		Red, brown, orange, moist, very stiff, silty clay CL	4		4	7.5-8	DS	18'	
20'0"		Stiff	5		5	3.4-4	DS	18'	
24'0"		Red, brown, orange, moist, stiff, very fine sandy clay CL	6		6	3.4-4	DS	18'	
28'0"		Medium stiff	7		7	3.4-4	DS	18'	

SOIL BORINGS

BLDG
Baltimore Land Design Group Inc.
Consulting Engineers
230 SCHILLING CIRCLE, SUITE 364 • HUNT VALLEY, MARYLAND 21031
PHONE: 410.229.9851 • FAX: 410.229.9865 • BLDG@BLDGINC.COM



PROFESSIONAL CERTIFICATION

HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 21245, EXPIRATION DATE: JUNE 9, 2016.

OWNER
MARYLAND FOOD CENTER AUTHORITY
7801 OCEANO AVE
JESSUP, MD 20794
PHONE (410) 379-5760
FAX (410) 379-5773

DEVELOPER / APPLICANT
MERRITT PROPERTIES, LLC
2066 LORD BALTIMORE DRIVE
BALTIMORE, MD 21244
PHONE (410) 298-2600
FAX (410) 298-9644

REVISIONS			
DATE	NO.	DESCRIPTION	BY

STORM WATER MANAGEMENT PLAN
CONSTRUCTION SPECIFICATIONS AND NOTES -
SUBMERGED GRAVEL WETLANDS
MARYLAND FOOD CENTER AUTHORITY
PARCEL B-1 & E-1
(WAREHOUSE & OFFICE)

HOWARD COUNTY, MARYLAND
SCALE: N/A

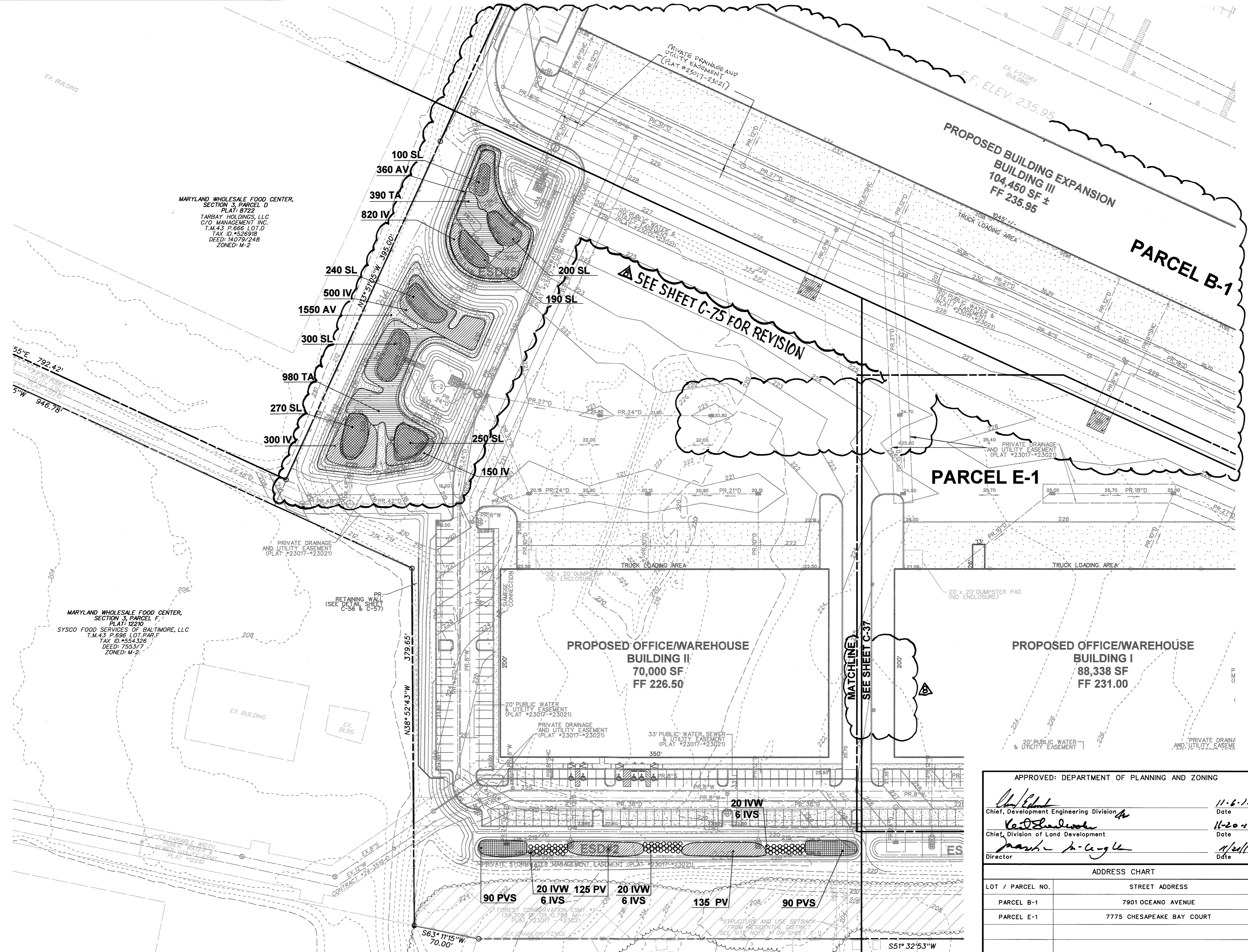
DATE: OCTOBER, 2014

DRAWING NO.

C-35

SHEET 35 OF 83

SDP-14-068

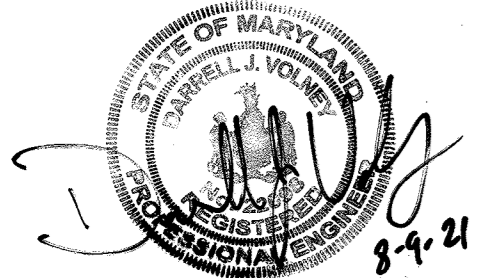


MARYLAND WHOLESALE FOOD CENTER,
SECTION 3, PARCEL D
PLAT: 8722
TARBAY HOLDINGS, LLC
C/O MANAGEMENT INC.
T.M.43 P.666 LOT D
TAX ID: 526918
DEED: 14079/248
ZONED: M-2

MARYLAND WHOLESALE FOOD CENTER,
SECTION 3, PARCEL F,
PLAT: 12210
SYSCO FOOD SERVICES OF BALTIMORE, LLC
T.M.43 P.696 LOT PAR.F
TAX ID: 554326
DEED: 7553/7
ZONED: M-2

For Revision

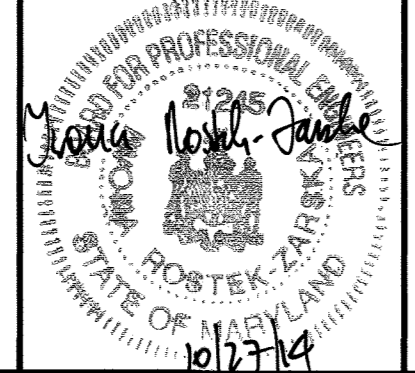
Messick & Associates*
CONSULTING ENGINEERS,
PLANNERS AND SURVEYORS
7 OLD SLO COUNTRYSIDE, STE 302
ANNAPOLIS, MARYLAND 21401
TEL: 410-298-3712 • FAX: 410-298-3602
WWW.MESSICKGROUP.COM
*MESSICK GROUP, INC. TALLMESSICK & ASSOCIATES



Professional Certification. I hereby certify that this document was prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland.
License No. 22058 Expiration Date: 9/10/20 22

HUMAN & ROHDE, INC.
LANDSCAPE ARCHITECTS
512 WIRGINIA AVENUE
TOWSON, MARYLAND 21286
410-825-3885

BLDG
Baltimore Land Design Group Inc.
Consulting Engineers
230 SCHILLING CIRCLE, SUITE 364 • HUNT VALLEY, MARYLAND 21031
PHONE: 410.229.9851 • FAX: 410.229.9865 • BLDG@BLDGINC.COM



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DEVELOPER / APPLICANT
MERRITT PROPERTIES, LLC
2066 LORD BALTIMORE DRIVE
BALTIMORE, MD 21244
PHONE (410) 298-2600
FAX (410) 298-9644

REVISIONS			
DATE	NO.	DESCRIPTION	BY
8/1/21	1	REVISED BUILDING 3 FOOTPRINT, WATER + SD (SEE SHEET C-75)	MRP

STORM WATER MANAGEMENT PLAN
LANDSCAPE PLAN I
MARYLAND FOOD CENTER AUTHORITY
PARCEL B-1 & E-1
(WAREHOUSE & OFFICE)

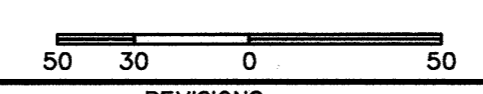
DRAWING NO.
C-36
SHEET 36 OF 83
SDP-14-068

APPROVED: DEPARTMENT OF PLANNING AND ZONING	
<i>[Signature]</i> Chief, Development Engineering Division	11-6-14/ Date
<i>[Signature]</i> Chief, Division of Land Development	11-20-14 Date
<i>[Signature]</i> Director	11/20/14 Date

ADDRESS CHART	
LOT / PARCEL NO.	STREET ADDRESS
PARCEL B-1	7901 OCEANO AVENUE
PARCEL E-1	7775 CHESAPEAKE BAY COURT

PERMIT INFORMATION CHART				
SUBDIVISION NAME MARYLAND FOOD CENTER AUTHORITY	SECTION / AREA 3	LOT / PARCEL NO. B-1/662 & E-1/696		
PLAT NO. or L/F 23017-23021	GRID NO. 21	ZONING M-2	TAX MAP NO. 43	ELEC. DIST. 6TH
		CENSUS TRACT 6069.01		

THE COORDINATE SYSTEM OF ALL DRAWINGS IS BASED ON THE NORTH AMERICAN DATUM OF 1983. THE ELEVATION SYSTEM OF ALL DRAWINGS IS BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988.
HORIZ: NAD 83/91; VERT: NAVD 88



PLANT LIST SUBMERGED GRAVEL WETLAND						
KEY	QUANTITY	BOTANICAL NAME COMMON NAME	SIZE	COND.	REMARKS	COST UNIT/TOTAL
AV	2570	ANDROPOGON VIRGINICUS BROOMSEDGE		PLUG	SPACE 2 O.C. STAGGER	1.40 \$3,998.00
HM	1655	HIBISCUS MOSCHEUTOS MARSH HIBISCUS		PLUG	SPACE 2 O.C. STAGGER	1.60 \$2,648.00
IV	2250	IRIS VERSICOLOR BLUE FLAG		PLUG	SPACE 2 O.C. STAGGER	1.60 \$3,600.00
SL	1885	SAGITTARIA LATIFOLIA DUCK POTATO		PLUG	SPACE 2 O.C. STAGGER	1.60 \$3,016.00
						TOTAL: \$12,862.00

PLANT LIST BIO-RETENTION FACILITIES						
KEY	QUANTITY	BOTANICAL NAME COMMON NAME	SIZE	COND.	REMARKS	COST UNIT/TOTAL
IWW	120	ILEX VERTICILLATA 'WINTER RED' WINTER RED WINTERBERRY HOLLY	18"-24"	#3 CONT.	4 O.C. STAGGER	23.00 \$2,760.00
IVS	36	ILEX VERTICILLATA 'SOUTHERN GENTLEMAN' SOUTHERN GENTLEMAN WINTERBERRY HOLLY	18"-24"	#3 CONT.	4 O.C. STAGGER	23.00 \$828.00
PV	520	PANICUM VIRGATUM 'HEAVY METAL' HEAVY METAL SWITCHGRASS	#1	CONT.	SPACE 3 O.C.	8.00 \$4,160.00
PVS	460	PANICUM VIRGATUM 'SHEMADOAH' SHEMADOAH SWITCHGRASS	#1	CONT.	SPACE 3 O.C.	8.00 \$3,680.00
						TOTAL: \$11,428.00

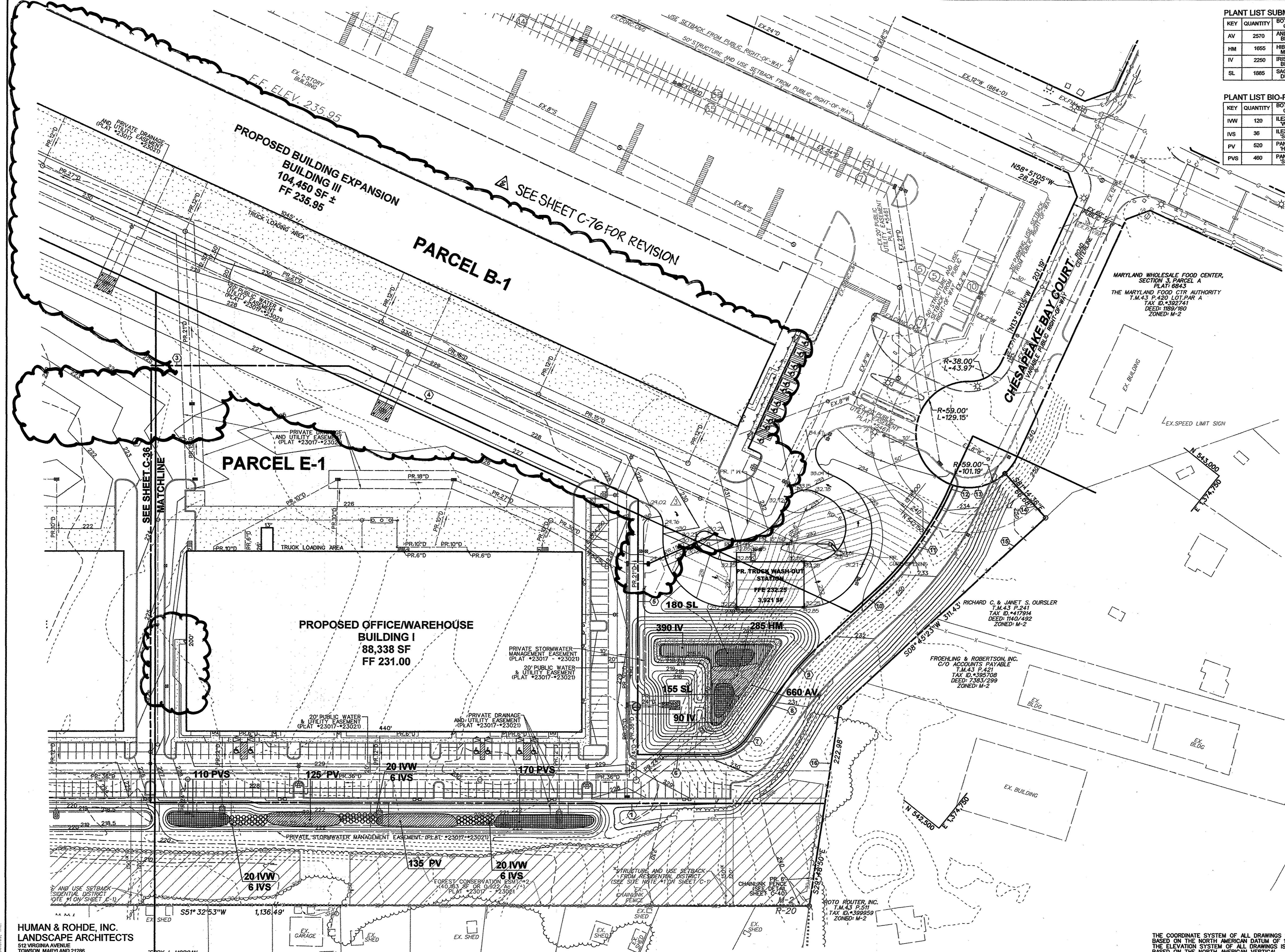
Messick & Associates
CONSULTING ENGINEERS,
PLANNERS AND SURVEYORS
7 OLD SOUTH CHURCH SQUARE, SUITE 202
ANNAPOLIS, MARYLAND 21401
(410) 293-3212 • FAX (410) 293-3502
WWW.MESSICKANDASSOCIATES.COM

Professional Certification: I hereby certify that this document was prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland.
License No. 22098 Expiration Date: 9/10/2022

MORRIS & RITCHIE ASSOCIATES, INC.
ENGINEERS, PLANNERS, SURVEYORS AND LANDSCAPE ARCHITECTS
14200 PARK CENTER DRIVE - LAUREL, MD 20707
(410) 792-8750 (301) 776-1600 FAX: (410) 792-7365
MORRIS&RITCHIE.COM
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FOR REVISION #3 ONLY
STATE OF MARYLAND
PROFESSIONAL ENGINEER
28203 EXPIRATION DATE: 06/16/2017

PARCEL E-1 BEARING AND DISTANCES		
BEARING	DISTANCE	
1	S 51° 32' 53" W	750.78'
2	N 38° 27' 07" W	485.00'
3	N 51° 32' 53" E	219.79'
4	N 76° 09' 12" E	354.39'
5	S 38° 27' 07" E	283.44'
6	N 51° 32' 53" E	85.33'
7	R=44.0'	42.48'
8	N 03° 48' 06" W	54.55'
9	R=358.00'	77.82'
10	N 08° 45' 23" E	87.35'
11	R=344.00'	135.74'
12	N 13° 51' 05" W	9.70'
13	R=59.00'	61.77'
14	S 81° 14' 36" E	66.68'
15	S 08° 45' 23" W	311.43'
16	S 29° 48' 50" E	107.67'

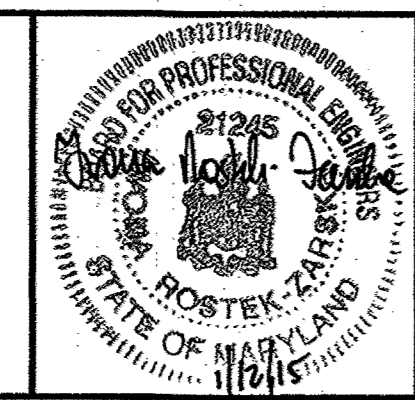


APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
 [Signature] 12-29-15
 CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE
 [Signature] 12-31-15
 CHIEF, DIVISION OF LAND DEVELOPMENT DATE
 [Signature] 1-3-16
 DIRECTOR, DEPARTMENT OF PLANNING AND ZONING DATE

ADDRESS CHART		
LOT / PARCEL NO.	STREET ADDRESS	
PARCEL B-1	7901 OCEANO AVENUE	
PARCEL E-1	7775 CHESAPEAKE BAY COURT	

PERMIT INFORMATION CHART		
SUBDIVISION NAME	SECTION / AREA	LOT / PARCEL NO.
MARYLAND FOOD CENTER AUTHORITY	3	B-1/662 & E-1/696
PLAT NO. or L/F	GRID NO.	ZONING
23017-23021	21	M-2
TAX MAP NO.	ELEC. DIST.	CENSUS TRACT
43	6TH	6069.01

BLDG
Baltimore Land Design Group Inc.
Consulting Engineers
230 SCHILLING CIRCLE, SUITE 364 • HUNT VALLEY, MARYLAND 21031
PHONE: 410.229.9851 • FAX: 410.229.9865 • BLDG@BLDGC.COM



PROFESSIONAL CERTIFICATION
 I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 21245, EXPIRATION DATE: JUNE 9, 2016.

OWNER
 MARYLAND FOOD CENTER AUTHORITY
 7801 OCEANO AVE
 JESSUP, MD 20794
 PHONE (410) 379-5760
 FAX (410) 379-5773

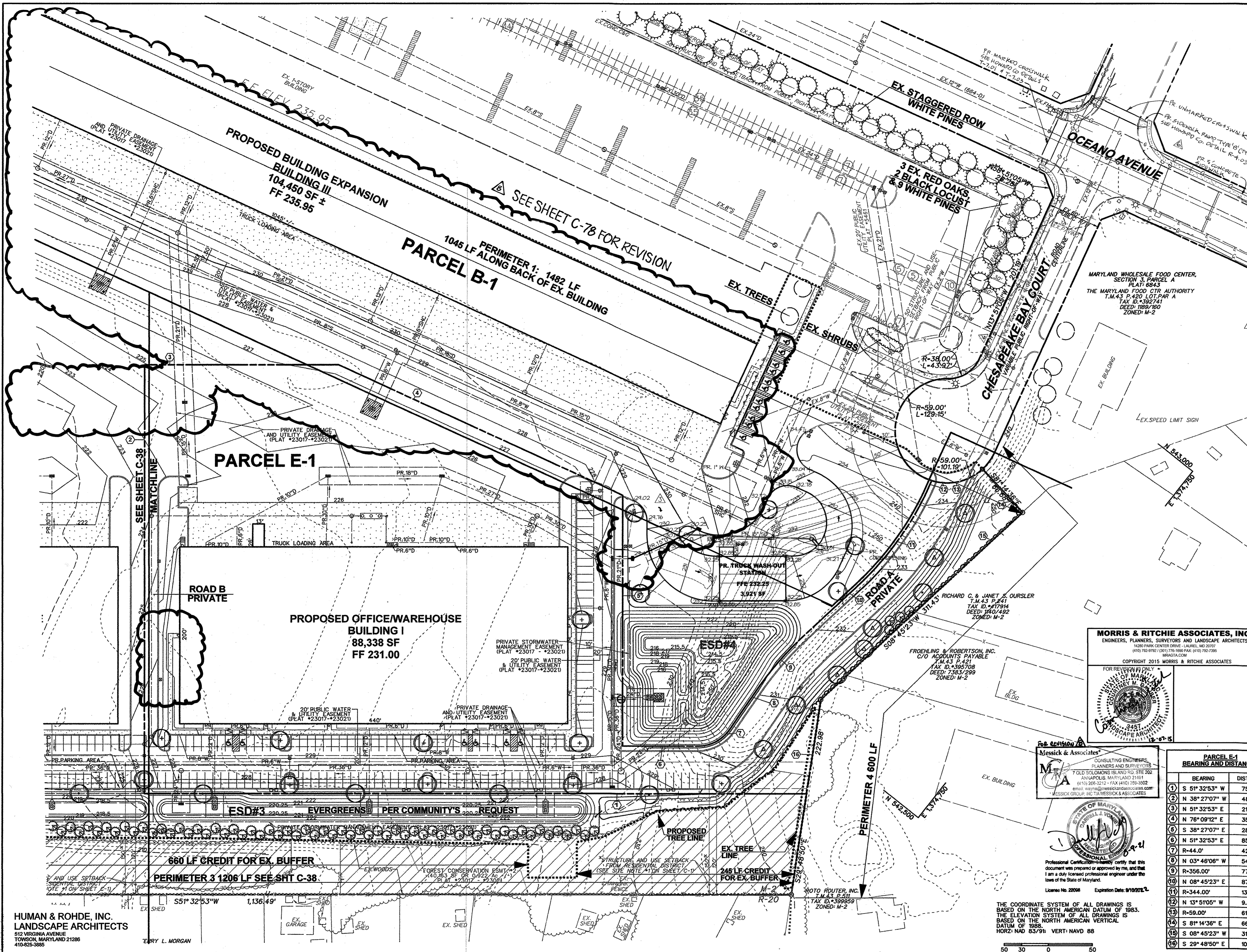
DEVELOPER / APPLICANT
 MERRITT PROPERTIES, LLC
 2066 LORD BALTIMORE DRIVE
 BALTIMORE, MD 21244
 PHONE (410) 298-2600
 FAX (410) 298-9644

REVISIONS			
DATE	NO.	DESCRIPTION	BY
12/01/14	1	ADDED DOORS, SIDEWALK AND ROOF DRAINS. RELOCATED HANDICAP SPACES AND PRIVATE SEWER LINE FOR BUILDING I.	BLDG
9/18/15	15	REPLACED BUILDING IV WITH TRUCK WASH-OUT STATION	MRA
8/9/16	16	REVISE BUILDING 3 FOOTPRINT, WATER & STORM DRAIN (SEE SHEET C-76)	M&A

THE COORDINATE SYSTEM OF ALL DRAWINGS IS BASED ON THE NORTH AMERICAN DATUM OF 1983. THE ELEVATION SYSTEM OF ALL DRAWINGS IS BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988.
 HORIZ: NAD 83/91; VERT: NAVD 88

REVISED SITE DEVELOPMENT PLAN
STORM WATER MANAGEMENT PLAN
 LANDSCAPE PLAN II
MARYLAND FOOD CENTER AUTHORITY
 PARCEL B-1 & E-1 (WAREHOUSE & OFFICE)
 HOWARD COUNTY, MARYLAND
 SCALE: 1" = 50'
 DATE: DECEMBER, 2014

DRAWING NO.
C-37
 SHEET 37 OF 83



SCHEDULE A: PERIMETER LANDSCAPE EDGE

Category	Adjacent to Internal Lot	Adjacent to Perimeter Properties		
Perimeter Number	1	2	3	4
Landscape Type	A	A	C	A
Linear Feet of Roadway Frontage/Perimeter	1482 LF	1548 LF	1,206 LF	600 LF
Credit for Existing Vegetation (Yes, No, Linear Feet) (Describe below if needed)	YES 1482 LF	NO*	YES 905 LF	NO
Credit for Wall, Fence or Berm (Yes, No, Linear Feet) (Describe below if needed)	NO	NO	NO	NO
Number of Plants Required	0	0*	8	10
Shade Trees	0	0	15	0
Evergreen Trees	0	0	0	0
Shrubs	0	0	0	0
Number of Plants Provided	0	0	8	8
Shade Trees/Street Trees	0	0	15	0
Evergreen Trees	0	0	0	0
Other Trees (2:1 substitution)	0	0	15	4
Shrubs (1:1 substitution)	0	0	0	0

(Describe plant substitution credits below if needed)
 *Landscaping is not required for P2 because the project is located within the interior of an established business park.
 **An additional 77 evergreens were added to perimeter 3 at the request of the neighboring community.

SCHEDULE B: PARKING LOT INTERNAL LANDSCAPING (SEE SHEET 78 FOR REVISED SCHEDULE B)

Number of Parking Spaces Proposed	283
Number of Trees Required	14
Number of Trees Provided	15
Shade Trees	15
Other Trees (2:1 substitution)	0
Internal Islands Provided (Min. 200 SF)	17

PLANT LIST (SEE SHEET 78 FOR REVISED PLANT LIST)

KEY	QUANTITY	BOTANICAL NAME COMMON NAME	SIZE	COND.	REMARKS
8	8	ACER FRAXINIFOLIUS 'JEFFERSRED' AUTUMN BLAZE MAPLE	2-1/2" - 3" CAL	B & B	AS SHOWN
22	22	QUERCUS PHELLOS 'HIGHTOWER' HIGHTOWER WHITE OAK	2-1/2" - 3" CAL	B & B	AS SHOWN
7	7	QUERCUS PALUSTRIS PIN OAK	2-1/2" - 3" CAL	B & B	AS SHOWN
6	6	THUJA X GIGANTEOIDES GREEN GIANT ARBORVITAE	6-8" HT.	B & B	10-12" O.C. STAGGERED

- PLANTING NOTES:**
- This Plan is for planting purposes only.
 - This Plan has been prepared in accordance with the provisions of section 16.124 of the Howard County Code and the Landscape Manual.
 - All plant material shall be nursery grown and shall conform to American Association of Nurserymen latest standards. Plant installation must conform to the minimum standards cited in the latest edition of the "LANDSCAPE SPECIFICATION GUIDELINES" by the Landscape Contractors Association.
 - Contractor is to notify Miss Usby a minimum of 72 hours prior to digging. Telephone 1-800-257-7777.
 - The Landscape Architect is to be notified 48 hours before planting begins. The location of all plant material is to be approved in field by the Landscape Architect.
 - No tree or shrub planting site are to be left open or unattended.
 - Shrubs are to be grouped into matched beds. Beds are to be edged and the grass is to be killed or removed prior to mulching. Sod is to be Kentucky bluegrass fescue mix.
 - Should any tree designated for preservation for which landscaping credit is given, die prior to release of bonds, the owner will be required to replace the tree with the equivalent species or with a tree which will obtain the same height, spread and growth characteristics. The replacement tree must be a minimum of 3 inch caliper and installed as required in Howard County Landscape Manual.
 - At the time of installation, all shrubs and other plantings herewith listed and approved for this site, shall be of the proper height and growth characteristics as shown on this plan. In addition, the substitution or relocation of required plantings may be made without prior review and approval from the Department of Planning and Zoning. Any deviation from this approved Landscape plan may result in denial or delay in the release of landscape surety, until such time as all required materials are planted and/or revisions are made to applicable plans and conditions.

DEVELOPER'S / BUILDER'S CERTIFICATE

I / We certify that the landscaping shown on this plan will be done according to the plan, Section 16.124 of the Howard County Code and the Howard County Landscape Manual.

I / We further certify that upon completion, a Certification of Landscape Installation, accompanied by an executed one year guarantee of plant materials, will be submitted to the Department of Planning and Zoning.

[Signature]

NOTE: THE OWNER, TENANT, AND/OR THEIR AGENTS SHALL BE RESPONSIBLE FOR MAINTENANCE OF THE REQUIRED LANDSCAPING, INCLUDING BOTH PLANT MATERIALS AND BERMS, FENCES AND WALLS. ALL PLANT MATERIALS SHALL BE MAINTAINED IN GOOD GROWING CONDITION AND WHEN NECESSARY, REPLACED WITH NEW MATERIALS TO ENSURE CONTINUED COMPLIANCE WITH APPLICABLE REGULATIONS. ALL OTHER REQUIRED LANDSCAPING SHALL BE PERMANENTLY MAINTAINED IN GOOD CONDITION, AND WHEN NECESSARY, REPAIRED OR REPLACED.

LANDSCAPE SURETY NOTE:

FINANCIAL SURETY FOR THE REQUIRED LANDSCAPING HAS BEEN POSTED AS PART OF THE DEVELOPER'S AGREEMENT IN THE AMOUNT OF:

(25) SHADE TREES @ \$300 EACH = \$10,500
 (22) EVERGREEN TREES @ \$150 = \$3,300

TOTAL \$24,800

SEE SHEET C-36 & C-37 FOR STORMWATER MANAGEMENT LANDSCAPING

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

[Signature] 12-27-15
 CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

[Signature] 12-31-15
 VICE CHIEF, DIVISION OF LAND DEVELOPMENT DATE

[Signature] 1-3-16
 DIRECTOR, DEPARTMENT OF PLANNING AND ZONING DATE

ADDRESS CHART

LOT / PARCEL NO.	STREET ADDRESS
PARCEL B-1	7901 OCEANO AVENUE
PARCEL E-1	7775 CHESAPEAKE BAY COURT

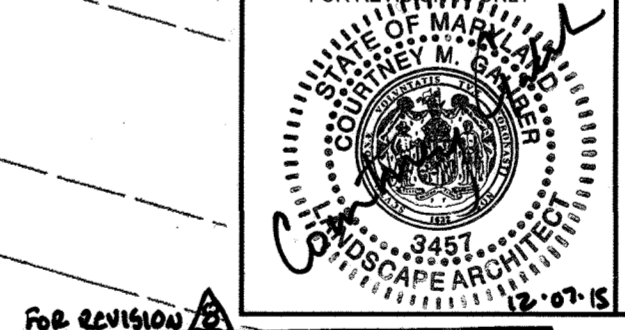
PERMIT INFORMATION CHART

SUBDIVISION NAME	SECTION / AREA	LOT / PARCEL NO.
MARYLAND FOOD CENTER AUTHORITY	3	B-1/662 & E-1/696
FLAT NO. or L/F	GRID NO.	ZONING
23017-23021	21	M-2
TAX MAP NO.	ELEC. DIST.	CENSUS TRACT
43	6TH	8609.01

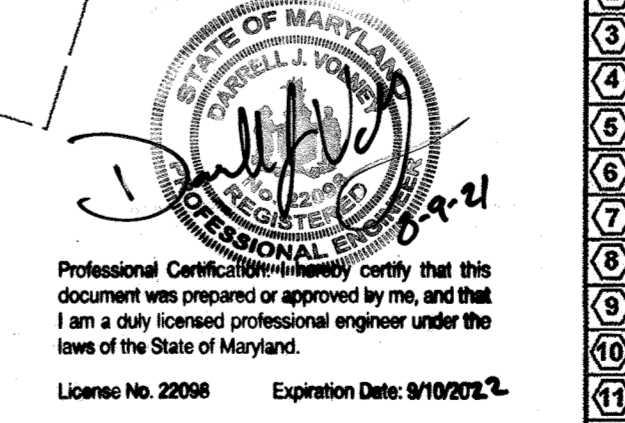
PARCEL E-1 BEARING AND DISTANCES

BEARING	DISTANCE
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2 N 38° 27' 07" W	485.00'
3 N 51° 32' 53" E	219.79'
4 N 76° 09' 12" E	354.39'
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14 S 81° 14' 38" E	66.68'
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 ENGINEERS, PLANNERS, SURVEYORS AND LANDSCAPE ARCHITECTS
 14280 PARK CENTER DRIVE - LAUREL, MD 20707
 (410) 782-9782 / (202) 776-9800 FAX: (410) 782-7586
 MARYLAND
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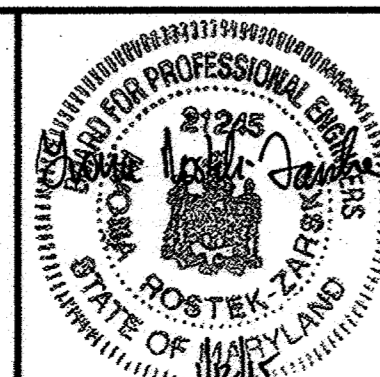
Messick & Associates
 CONSULTING ENGINEERS, PLANNERS AND SURVEYORS
 7 OLD SOLOMONS ISLAND RD. STE 202
 ANNAPOLIS, MARYLAND 21403
 (410) 293-2212 - FAX (410) 293-3502
 email: wj@messickandassociates.com
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 HORIZ: NAD 83/91; VERT: NAVD 88

HUMAN & ROHDE, INC.
 LANDSCAPE ARCHITECTS
 512 VIRGINIA AVENUE
 TOWSON, MARYLAND 21286
 410-825-3885

BLDG
 Baltimore Land Design Group Inc.
 Consulting Engineers
 230 SCHILLING CIRCLE, SUITE 364 • HUNT VALLEY, MARYLAND 21031
 PHONE: (410) 229-9851 • FAX: (410) 229-9865 • BLDG@BLDGINC.COM



PROFESSIONAL CERTIFICATION

HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 21245, EXPIRATION DATE: JUNE 9, 2016.

OWNER
 MARYLAND FOOD CENTER AUTHORITY
 7801 OCEANO AVE
 JESSUP, MD 20794
 PHONE (410) 373-5760
 FAX (410) 373-5773

DEVELOPER / APPLICANT
 MERRITT PROPERTIES, LLC
 2066 LORD BALTIMORE DRIVE
 BALTIMORE, MD 21244
 PHONE (410) 298-2600
 FAX (410) 298-9644

REVISIONS

DATE	NO.	DESCRIPTION	BY
12/01/14	1	ADDED DOORS, SIDEWALK AND ROOF DRAINS. RELOCATED HANDICAP SPACES AND PRIVATE SEWER LINE FOR BUILDING I.	BLDG
9/18/15	2	REPLACED BUILDING IV WITH TRUCK WASH STATION	MRA
9/12/15	3	ADDED SIDEWALK AND CURB RAMP AT THE INTERSECTION	BLOG
6/9/21	4	REVISE BUILDING 3 FOOTPRINT, WATER & STORM DRAIN (SEE SHEET C-78)	M&A

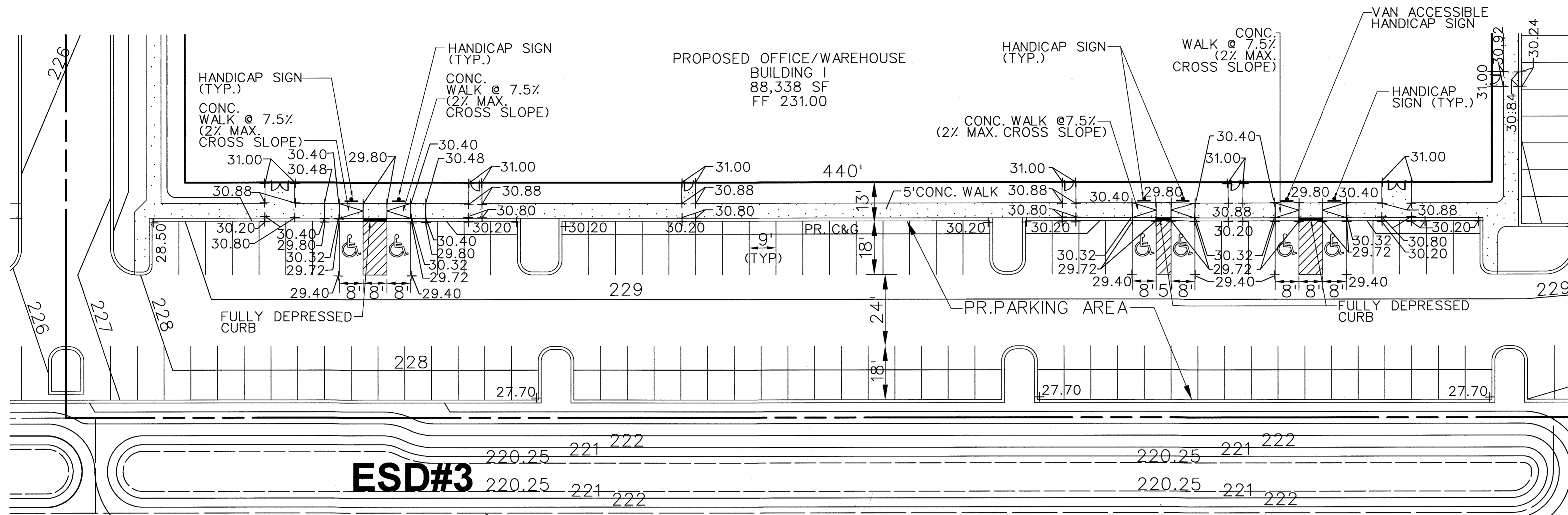
REVISED SITE DEVELOPMENT PLAN
FINAL LANDSCAPE PLAN
 PLAN VIEW II

MARYLAND FOOD CENTER AUTHORITY
 PARCEL B-1 & E-1
 (WAREHOUSE & OFFICE)

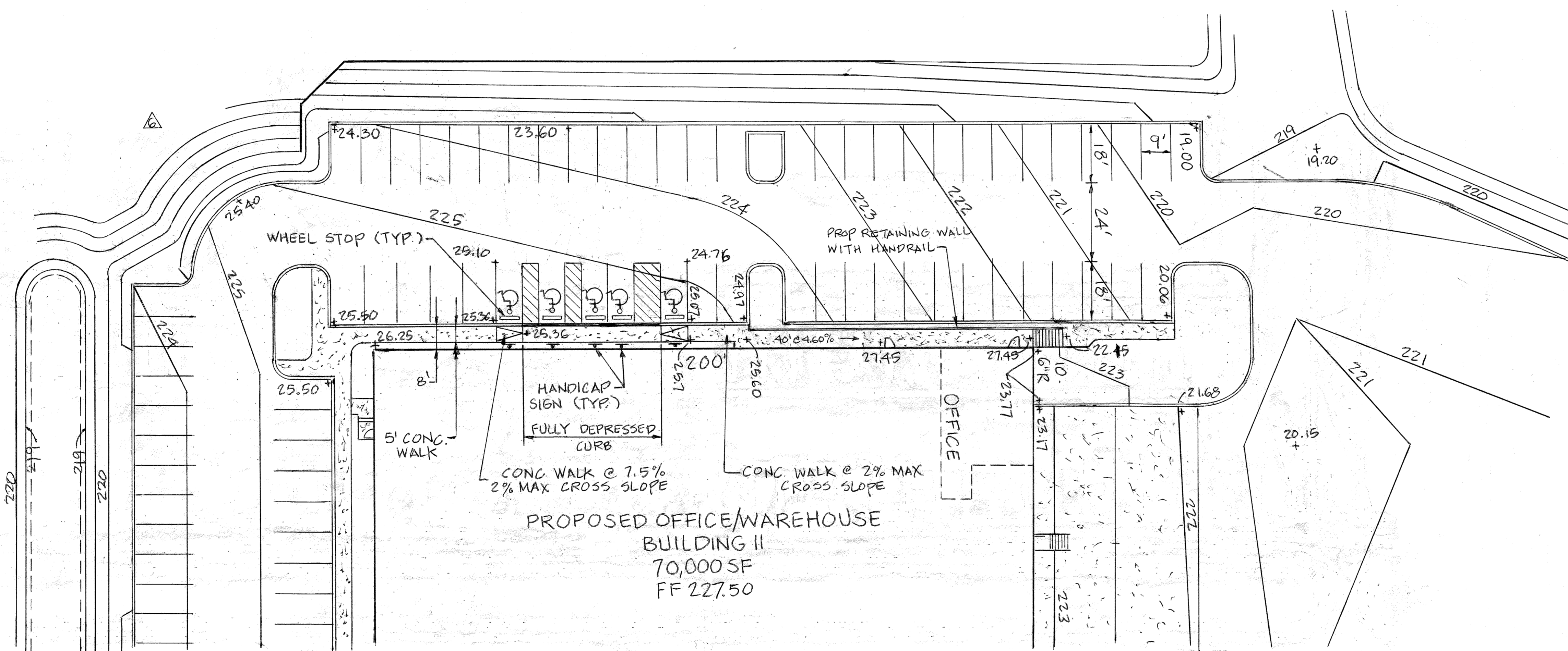
HOWARD COUNTY, MARYLAND
 SCALE: 1" = 50'

DATE: DECEMBER, 2014

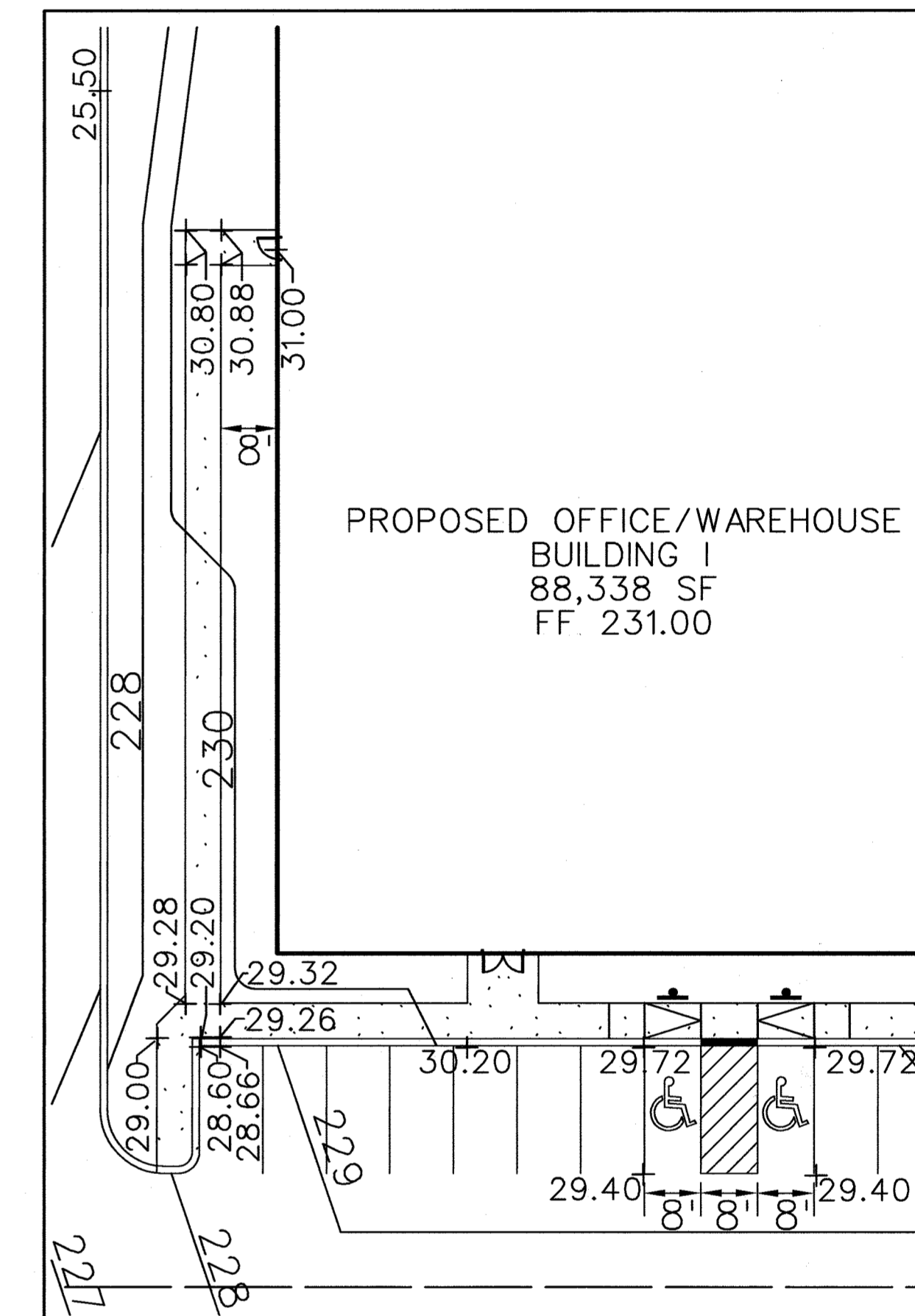
DRAWING NO. **C-39**
 SHEET 39 OF 83
 SDP-14-068



HANDICAP ACCESSIBLE ROUTE FOR PROPOSED BUILDING #1



HANDICAP ACCESSIBLE ROUTE FOR PROPOSED BUILDING #2



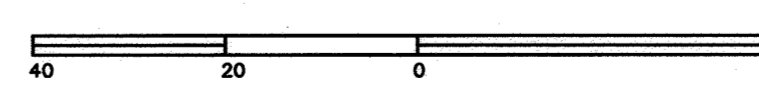
HANDICAP ACCESSIBLE ROUTE FOR PROPOSED BUILDING #1 (CONTINUED)

APPROVED: DEPARTMENT OF PLANNING AND ZONING	
<i>[Signature]</i> Chief, Development Engineering Division	2-9-15 Date
<i>[Signature]</i> Chief, Division of Land Development	2-12-15 Date
<i>[Signature]</i> Director	2/12/15 Date

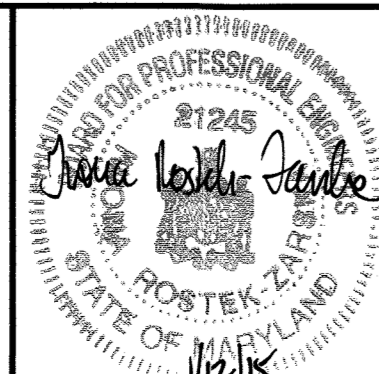
ADDRESS CHART	
LOT / PARCEL NO.	STREET ADDRESS
PARCEL B-1	7901 OCEANO AVENUE
PARCEL E-1	7775 CHESAPEAKE BAY COURT

PERMIT INFORMATION CHART				
SUBDIVISION NAME	SECTION / AREA	LOT / PARCEL NO.		
MARYLAND FOOD CENTER AUTHORITY	3	B-1/662 & E-1/696		
PLAT NO. or L/F	GRID NO.	ZONING	TAX MAP NO.	ELEC. DIST.
23017-23021	21	M-2	43	6TH
				CENSUS TRACT
				6069.01

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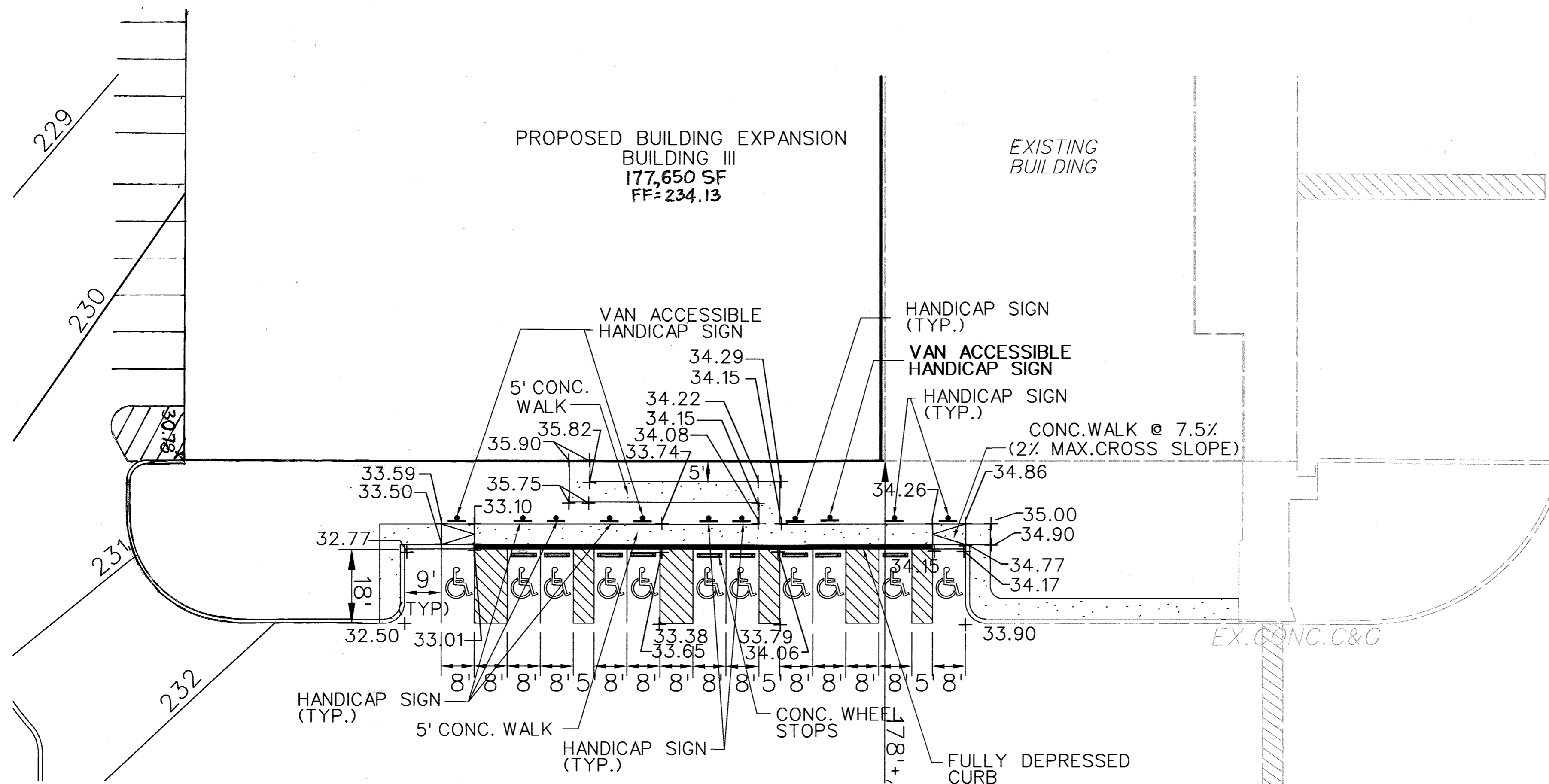
OWNER
MARYLAND FOOD CENTER AUTHORITY
7801 OCEANO AVE
JESSUP, MD 20794
PHONE (410) 379-5760
FAX (410) 379-5773

DEVELOPER / APPLICANT
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BALTIMORE, MD 21244
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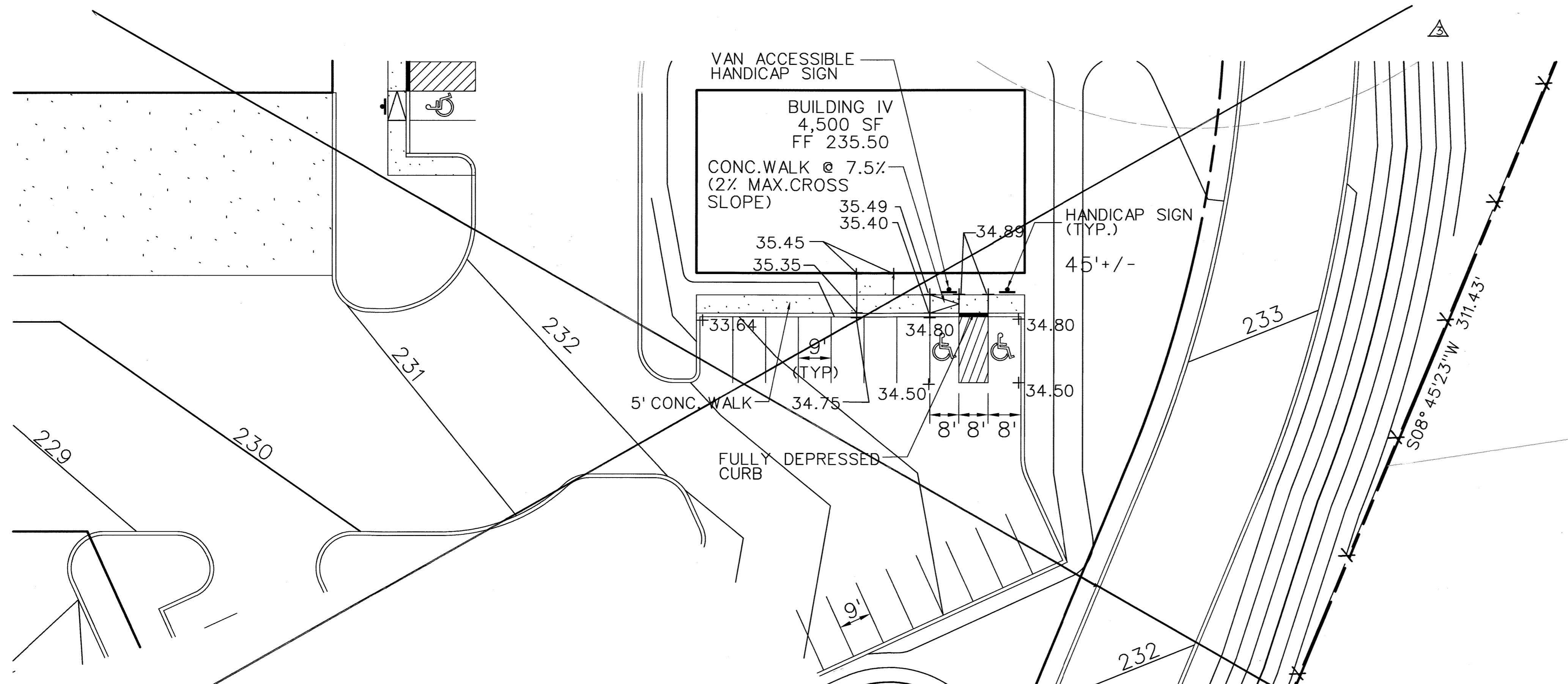
REVISIONS			
DATE	NO.	DESCRIPTION	BY
12/01/14	1	ADDED DOORS/SIDEWALK AND RELOCATED HANDICAP SPACES FOR BUILDING I	BLDG
2/12/15	2	REVISED FIRST FLOOR ELEVATION, HANDICAP SPACES AND UTILITY CONNECTIONS FOR BUILDING II	BLDG

REVISED SITE DETAILS II
HANDICAP ACCESSIBLE ROUTE FOR PROPOSED BUILDINGS I & II
MARYLAND FOOD CENTER AUTHORITY
PARCEL B-1 & E-1 (WAREHOUSE & OFFICE)
HOWARD COUNTY, MARYLAND
SCALE: 1"=20'
DATE: DECEMBER, 2014

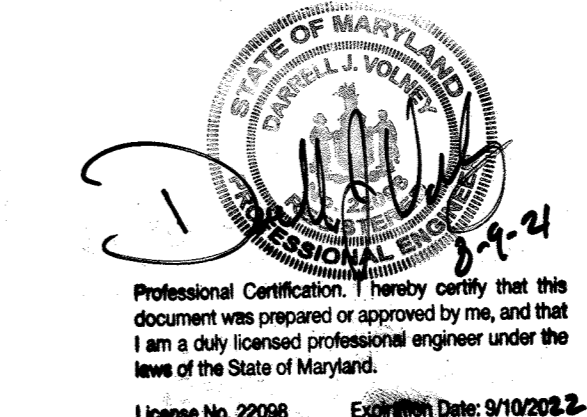
DRAWING NO.
C-42
SHEET 42 OF 83
SDP-14-068



HANDICAP ACCESSIBLE ROUTE FOR PROPOSED BUILDING #3



HANDICAP ACCESSIBLE ROUTE FOR PROPOSED BUILDING #4



APPROVED: DEPARTMENT OF PLANNING AND ZONING

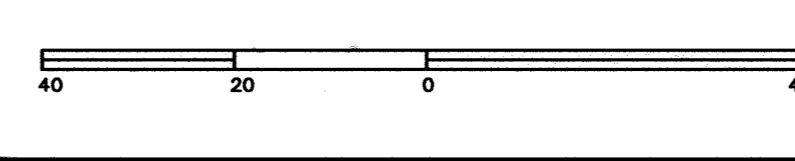
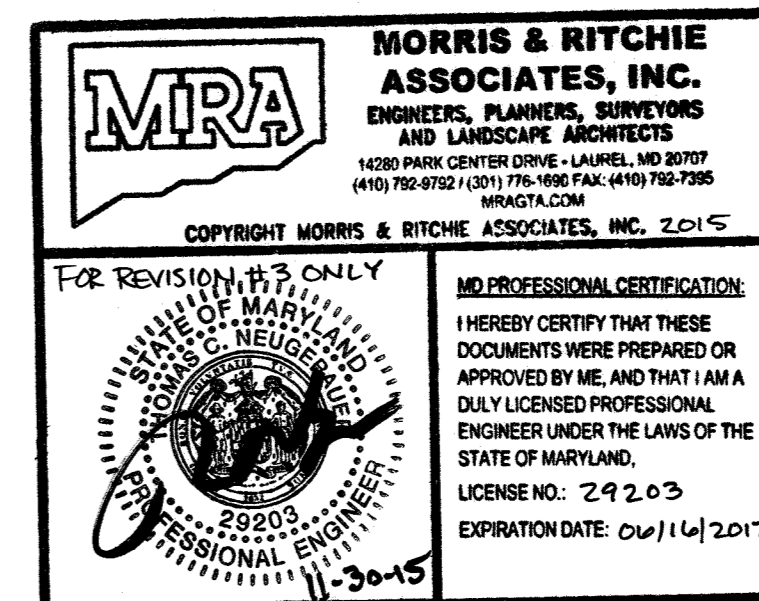
<i>[Signature]</i> Chief, Development Engineering Division	11-6-14 Date
<i>[Signature]</i> Chief, Division of Land Development	11-20-14 Date
<i>[Signature]</i> Director	11/21/14 Date

ADDRESS CHART

LOT / PARCEL NO.	STREET ADDRESS
PARCEL B-1	7901 OCEANO AVENUE
PARCEL E-1	7775 CHESAPEAKE BAY COURT

PERMIT INFORMATION CHART

SUBDIVISION NAME	SECTION / AREA	LOT / PARCEL NO.
MARYLAND FOOD CENTER AUTHORITY	3	B-1/662 & E-1/696
PLAT NO. or L/F	GRID NO.	ZONING
23017-23021	21	M-2
TAX MAP NO.	ELEC. DIST.	CENSUS TRACT
43	6TH	6069.01



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REVISIONS

DATE	NO.	DESCRIPTION	BY
9/7/15	1	REPLACED BUILDING IV WITH TRUCK WASH STATION	MRA
8/2/21	2	REVISE BUILDING 3 FOOTPRINT & PARKING	M&A

REVISED SITE DEVELOPMENT PLAN
SITE DETAILS III
HANDICAP ACCESSIBLE ROUTE FOR PROPOSED BUILDING #3 & #4
MARYLAND FOOD CENTER AUTHORITY
PARCEL B-1 & E-1
(WAREHOUSE & OFFICE)

HOWARD COUNTY, MARYLAND
SCALE: 1"=20'

DATE: OCTOBER, 2014

DRAWING NO.
C-43
SHEET 43 OF 83
SDP-14-068

BLDG
Baltimore Land Design Group Inc.
Consulting Engineers
230 SCHILLING CIRCLE, SUITE 304 • HUNT VALLEY, MARYLAND 21031
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DEVELOPER / APPLICANT
MERRITT PROPERTIES, LLC
2066 LORD BALTIMORE DRIVE
BALTIMORE, MD 21244
PHONE (410) 298-2600
FAX (410) 298-9644

Project: MD Food Center Authority, Parcels B-1 & E-1
Date: June 18, 2014

NET TRACT AREA	Acres
A. Total tract area	35.97
B. Area within 100 Year Floodplain	0
C. Area of site within overhead transmission line	0
D. Net Tract Area	35.97

LAND USE CATEGORY: (from table 3.2.1, page 40, Manual)			
ARA	MDR	IDA	HDR MPD CIA
M-2			
E. Afforestation Threshold	(percentage)	0.15	5.4
F. Conservation Threshold	(percentage)	0.15	5.4

EXISTING FOREST COVER:			
G. Existing forest cover (excluding floodplain)			1.9
H. Area of forest above afforestation threshold			0
I. Area of forest above conservation threshold			0

BREAK EVEN POINT:			
J. Forest retention above threshold with no mitigation			NA
K. Clearing permitted without mitigation	Break-Even Point		NA

PROPOSED FOREST CLEARING			
L. Total area of forest to be Cleared or Retained Outside FCE			0.24
M. Total area of forest to be Retained in FCE			1.66

PLANTING REQUIREMENTS			
N. Reforestation for clearing above Conservation Threshold			0
P. Reforestation for clearing below Conservation Threshold			0.5
Q. Credit for retention above conservation threshold			0
R. Total reforestation required			0.5
S. Total afforestation required			3.5
T. Total reforestation and afforestation required			4.0

EXISTING CONDITIONS OVERVIEW
The subject property is comprised of two parcels that are located at 7901 Oceano Drive and 7775 Chesapeake Bay Court. These properties combine to create the 35.97 acres project site.
The property at 7901 Oceano Drive has been previously developed into a seafood warehouse and sales outlet. Approximately half of this property has been developed into a warehouse building and associated parking and access. The balance of the property has been graded to a level or gently sloping pod site. This area is partly vegetated and partly gravel.
The property at 7775 Chesapeake Bay Court is a vacant of any structures but has been previously graded. The site has been graded into a large pod site. A soilstockpile is present at the eastern end of the site, just beyond the Chesapeake Bay Court cul-de-sac and a storm water management facility has been constructed at the western edge of the site. This facility does not appear to be functional at this time though it does appear to convey surface water run-off from the site through a culvert system.

Along the southern edge of the property a graded slope has been constructed. This slope lies in the grades of the pod site into the existing grades of the residential development to the south of the property.
On the graded pod site and soilstockpile successional vegetative colonization has begun. The area contains a mixed community of lespedeza, raspberry, Indian grass, Japanese honeysuckle, young Bradford pear, black locust, Virginia pine, winged and staghorn sumac, and sweet gum. The woody colonization of these areas is young and sporadic. The majority of the saplings are less than 2 inches, though some do reach four inch dbh. The tree cover on the pod site is inconsistent and fragmented. The tree cover does not meet the minimum requirements to be considered forest. This includes a requirement of 100, two inch caliper trees per acre over contiguous areas 10,000 sq.ft. and 35 feet in width. Vine cover, primarily Japanese honeysuckle, is common on the soilstockpile.

Forest is present on the tie in slopes along the southern edge of the site, continuing around the southeast corner of the site. The forest occupies 1.9 acres of the site. The forest is likely a remnant of forest community that existed prior to post site grading. The community includes tulip poplar, red oak, southern red oak, sweet gum and beech. Scattered pines are also present within the stand. The canopy trees are generally 12-16 inches diameter at breast height and the understory trees are 6-12 inch dbh. The understory includes the canopy associates as well as red maple and black cherry. Black locust and mulberry are common along the outer edges of the community. Multiflora rose, spicelash, bush honeysuckle and blackhaw are common in the shrub layer. Vine cover in the stand is high with poison ivy, Japanese honeysuckle, periwinkle, trumpet creeper and grape all being common. Vine cover extends into the canopy of the stand. No specimen trees were noted within or outside of the forest limits.

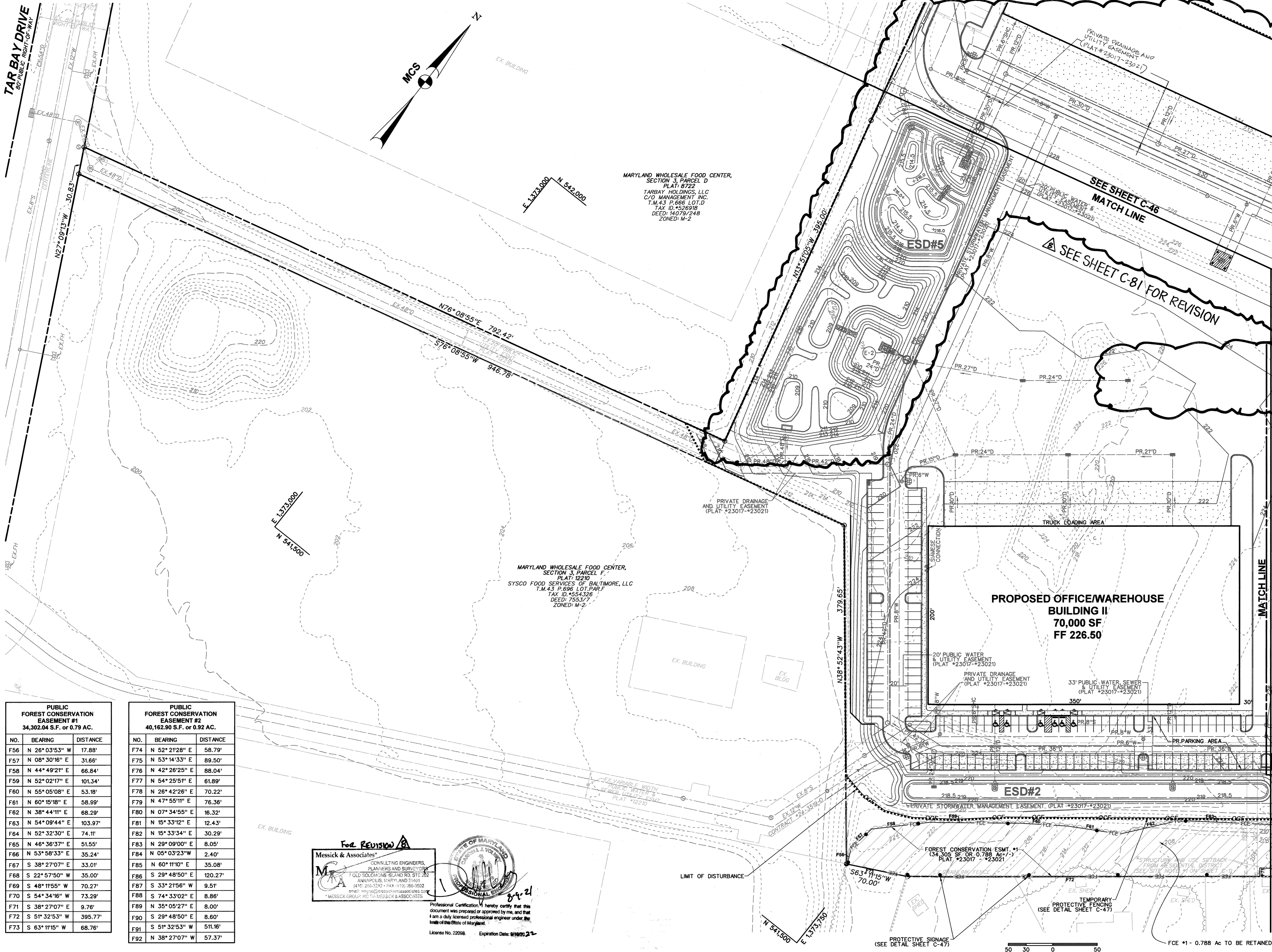
Key	Community Type	Acree	Dominant Vegetation	General Condition	Priority Acree
F1	Oak/Poplar	1.9 (NTA)	Liquidambar styraciflua, Quercus rubra, Quercus falcata, Liquidambar styraciflua, Acer rubrum	Good	0

APPROVED: DEPARTMENT OF PLANNING AND ZONING
[Signature] Chief, Development Engineering Division 11-6-14 Date
[Signature] Chief, Division of Land Development 11-20-14 Date
[Signature] Director 11/20/14 Date

ADDRESS CHART	
LOT / PARCEL NO.	STREET ADDRESS
PARCEL B-1	7901 OCEANO AVENUE
PARCEL E-1	7775 CHESAPEAKE BAY COURT

PERMIT INFORMATION CHART			
SUBDIVISION NAME	SECTION / AREA	LOT / PARCEL NO.	
MARYLAND FOOD CENTER AUTHORITY	3	B-1/662 & E-1/696	
PLAT NO. or L/F	GRID NO.	ZONING	TAX MAP NO.
23017-23021	21	M-2	43
ELEC. DIST.	CENSUS TRACT		
6TH	6069.01		

FOREST CONSERVATION PLAN
PLAN VIEW II
MARYLAND FOOD CENTER AUTHORITY
PARCEL B-1 & E-1
(WAREHOUSE & OFFICE)
DRAWING NO. **C-45**
DATE: OCTOBER, 2014
SHEET 45 OF 83



PUBLIC FOREST CONSERVATION EASEMENT #1 34,302.04 S.F. or 0.79 AC.		
NO.	BEARING	DISTANCE
F56	N 26° 03'53" W	17.88'
F57	N 08° 30'16" E	31.66'
F58	N 44° 49'21" E	66.84'
F59	N 52° 02'17" E	101.34'
F60	N 55° 05'08" E	53.18'
F61	N 60° 15'18" E	58.99'
F62	N 38° 44'11" E	68.29'
F63	N 54° 09'44" E	103.97'
F64	N 52° 32'30" E	74.11'
F65	N 46° 36'37" E	51.55'
F66	N 53° 58'33" E	35.24'
F67	S 38° 27'07" E	33.01'
F68	S 22° 57'50" W	35.00'
F69	S 48° 11'55" W	70.27'
F70	S 54° 34'16" E	73.29'
F71	S 38° 27'07" E	9.76'
F72	S 51° 32'53" W	395.77'
F73	S 63° 11'15" W	68.76'

PUBLIC FOREST CONSERVATION EASEMENT #2 40,162.90 S.F. or 0.92 AC.		
NO.	BEARING	DISTANCE
F74	N 52° 21'28" E	58.79'
F75	N 53° 14'33" E	89.50'
F76	N 42° 26'25" E	88.04'
F77	N 54° 25'51" E	61.89'
F78	N 26° 42'26" E	70.22'
F79	N 47° 55'11" E	76.36'
F80	N 07° 34'55" E	16.32'
F81	N 15° 33'12" E	12.43'
F82	N 15° 33'34" E	30.29'
F83	N 29° 09'00" E	8.05'
F84	N 05° 03'23" W	2.40'
F85	N 60° 11'01" E	35.08'
F86	S 29° 48'50" E	120.27'
F87	S 33° 21'56" W	9.51'
F88	S 74° 33'02" E	8.86'
F89	N 35° 05'27" E	8.00'
F90	S 29° 48'50" E	8.60'
F91	S 51° 32'53" W	511.16'
F92	N 38° 27'07" W	57.37'

Messick & Associates
CONSULTING ENGINEERS, PLANNERS AND SURVEYORS
7 OLD SOLEMUS ISLAND RD, STE 302
ANNAPOLIS, MARYLAND 21401
(410) 295-3312 • FAX (410) 295-3502
www.messickgroup.com
*MESSICK GROUP AND TIA ASSOCIATES & ASSOCIATES
Professional Certification: I hereby certify that this document was prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland.
License No. 22098 Expiration Date: 09/30/2015

Eco-Science Professionals, Inc.
Consulting Ecologists
P.O. Box 8866 Glen Arm, Maryland 21057
Telephone (410) 832-3466 Fax (410) 832-3468

MD DNR Qualified Professional
URACOE Wetland Delineator
Certification # WDCP93MD0610044BZ
[Signature]
John F. Caroles

OWNER
MARYLAND FOOD CENTER AUTHORITY
7801 OCEANO AVE
JESSUP, MD 20794
PHONE (410) 379-5760
FAX (410) 379-5773

DEVELOPER / APPLICANT
MERRITT PROPERTIES, LLC
2066 LORD BALTIMORE DRIVE
BALTIMORE, MD 21244
PHONE (410) 298-2600
FAX (410) 298-9644

REVISIONS			
DATE	NO.	DESCRIPTION	BY
8/2/14	1	REVISE BUILDING 3 FOOTPRINT, WATER & STORM DRAIN (SEE SHEET C-81)	M2A

FOREST CONSERVATION PLAN
PLAN VIEW II
MARYLAND FOOD CENTER AUTHORITY
PARCEL B-1 & E-1
(WAREHOUSE & OFFICE)
HOWARD COUNTY, MARYLAND
SCALE: 1" = 50'
DATE: OCTOBER, 2014
SHEET 45 OF 83

MARYLAND WHOLESALE FOOD CENTER,
SECTION 3, PARCEL C3
PLAT: 7405
THE MARYLAND FOOD CTR AUTHORITY
THE WHOLESALE FOOD MARKET AUTHORITY
T.M.43 P.666 LOT.C3
TAX ID: 444652
DEED: 506/782
ZONED: M-2

OCEANO AVENUE
HOWARD COUNTY PUBLIC ROAD
60' PUBLIC RIGHT-OF-WAY

MARYLAND WHOLESALE FOOD CENTER,
SECTION 3, PARCEL A
PLAT: 6843
THE MARYLAND FOOD CTR AUTHORITY
T.M.43 P.420 LOT.PAR A
TAX ID: 4392741
DEED: 1189/160
ZONED: M-2

CHESAPEAKE BAY COURT
VARIABLE PUBLIC RIGHT-OF-WAY

SEE SHEET C-82 FOR REVISION

**PROPOSED BUILDING EXPANSION
BUILDING III
104,450 SF ±
FF 235.95
PARCEL B-1**

**BUILDING IV
4,500 SF
FF 235.50**

**MATCH LINE
SEE SHEET C-45**

**MATCH LINE
SEE SHEET C-44**

PARCEL E-1

PARCEL E-1 BEARING AND DISTANCES	
BEARING	DISTANCE
① S 51° 32' 53" W	750.78'
② N 38° 27' 07" W	485.00'
③ N 51° 32' 53" E	219.79'
④ N 76° 09' 12" E	354.39'
⑤ S 38° 27' 07" E	283.44'
⑥ N 51° 32' 53" E	85.33'
⑦ R-44.0'	42.48'
⑧ N 03° 46' 06" W	54.55'
⑨ R-356.00'	77.82'
⑩ N 08° 45' 23" E	87.35'
⑪ R-344.00'	135.74'
⑫ N 13° 51' 05" W	9.70'
⑬ R-59.00'	61.77'
⑭ S 81° 14' 36" E	66.68'
⑮ S 08° 45' 23" W	311.43'
⑯ S 29° 48' 50" E	107.67'

PUBLIC FOREST CONSERVATION EASEMENT #1 34,302.04 S.F. or 0.79 AC.		
NO.	BEARING	DISTANCE
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F57	N 08° 30' 16" E	31.66'
F58	N 44° 49' 21" E	66.84'
F59	N 52° 02' 17" E	101.34'
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F61	N 60° 15' 18" E	58.99'
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F71	S 38° 27' 07" E	9.76'
F72	S 51° 32' 53" W	395.77'
F73	S 63° 11' 15" W	68.76'

PUBLIC FOREST CONSERVATION EASEMENT #2 40,162.90 S.F. or 0.92 AC.		
NO.	BEARING	DISTANCE
F74	N 52° 21' 28" E	58.79'
F75	N 53° 14' 33" E	89.50'
F76	N 42° 26' 25" E	88.04'
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email: wayne@messickandassociates.com
www.messickandassociates.com
*MESSICK GROUP INC./TIA MESSICK & ASSOCIATES



Professional Certification: I hereby certify that this document was prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland.
License No. 22076, Expiration Date: 8/18/2022

OWNER
MARYLAND FOOD CENTER AUTHORITY
7801 OCEANO AVE
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PHONE (410) 379-5760
FAX (410) 379-5773

DEVELOPER / APPLICANT
MERRITT PROPERTIES, LLC
2066 LORD BALTIMORE DRIVE
BALTIMORE, MD 21244
PHONE (410) 298-2600
FAX (410) 298-9644

DATE	NO.	DESCRIPTION	BY
8/5/21	6	REVISE BUILDING FOOTPRINT, WATER & STORAGE DRAIN (SEE SHEET 82)	M&A

THE COORDINATE SYSTEM OF ALL DRAWINGS IS BASED ON THE NORTH AMERICAN DATUM OF 1983. THE ELEVATION SYSTEM OF ALL DRAWINGS IS BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988.
HORIZ: NAD 83/91; VERT: NAVD 88

APPROVED: DEPARTMENT OF PLANNING AND ZONING
Chief, Development Engineering Division: *1/16/14*
Chief, Division of Land Development: *11-20-14*
Director: *11/24/14*

LOT / PARCEL NO.	STREET ADDRESS
PARCEL B-1	7901 OCEANO AVENUE
PARCEL E-1	7775 CHESAPEAKE BAY COURT

PERMIT INFORMATION CHART			
SUBDIVISION NAME MARYLAND FOOD CENTER AUTHORITY	SECTION / AREA 3	LOT / PARCEL NO. B-1/662 & E-1/696	
PLAT NO. or L/F 23017-23021	GRID NO. 21	ZONING M-2	TAX MAP NO. 43
		ELEC. DIST. 6TH	CENSUS TRACT 6069.01

FOREST CONSERVATION PLAN
PLAN VIEW III
MARYLAND FOOD CENTER AUTHORITY
PARCEL B-1 & E-1
(WAREHOUSE & OFFICE)
DRAWING NO. **C-46**
DATE: OCTOBER, 2014
SHEET 46 OF 83

Eco-Science Professionals, Inc.
Consulting Ecologists
P.O. Box 8818 Glen Arden, Maryland 21057
Telephone (410) 832-3400 Fax (410) 832-3400

MD DNR Qualified Professional
USACOE Wetland Delimitator
Certification # WDCEP93MD0610044B2
10/27/14

REFORESTATION PLAN

A. Planting Plan and Methods

Plant species selection was based on our knowledge regarding plant communities in Maryland's Piedmont Plateau and information provided in the soil survey on typical vegetation for the soil type on the planting site. Species selection was also based on our knowledge of plant availability in the nursery industry.

Reforestation will be accomplished through a mixed planting of whips and branched transplants. Container grown stock is recommended but bareroot stock may be used to help control afforestation costs. If bareroot stock is used the root systems of all plants will be dipped in an anti-desiccant gel prior to planting to improve moisture retention in the root systems.

Prior to planting the proposed Forest Conservation Easements all multiflora rose in the planting area shall be removed. Removal of the rose may be performed with mowing and herbicide treatments. Physical removal of all top growth following by a periodic herbicide treatment of stump sprouts is recommended. Native tree and shrub species occurring within the rose thickets should be retained wherever possible. Herbicide treatments shall occur on 2 month intervals during the first growing season and once each in the spring and fall for subsequent years. Herbicide used shall be made specifically to address woody plant material and shall be applied as per manufacturers specifications. Care should be taken not to spray planted trees or naturally occurring native tree/shrub seedlings. It is recommended that initiation of rose removal begin at least six months prior to planting.

B. Planting and Soil Specifications

Plant material will be installed in accordance with the Planting Detail and Planting Specifications shown on the Forest Conservation Plan.

Amendments to existing soil will be in accordance with the Planting Specifications shown on the Forest Conservation Plan. Soil disturbance will be limited to individual planting locations.

C. Maintenance of Plantings

For information regarding maintenance of the reforestation plantings, see Post Construction Management Plans.

D. Guarantee Requirements

A 90 percent survival rate of the reforestation plantings will be required after one growing season. All plant material below the 90 percent survival threshold will be replaced at the beginning of the second growing season. At the end of the second growing season, a 75 percent survival rate will be required. All plant material below the 75 percent survival threshold will be replaced by the beginning of the next growing season.

E. Security for Reforestation

Section 16-1209 of the Howard County Forest Conservation Act requires that a developer shall post a security bond, letter of credit, etc.) with the County to insure that all work is done in accordance with the FCP.

CONSTRUCTION PERIOD PROTECTION PROGRAM

A. Forest Protection Techniques

1. Soil Protection Area (Critical Root Zone)

The soil protection area, or critical root zone, of a tree is that portion of the soil column where most of its roots may be found. The majority of roots responsible for water and nutrient uptake are located just below the soil surface. Temporary fencing should be placed around the critical root zone of the forest in areas where the forest limits occur within 25 feet of the limit of disturbance.

2. Fencing and Signage

Existing forest limits occurring within 50 feet of the limits of disturbance shall be protected using temporary protective fencing. Permanent signage shall be placed around the afforestation area prior to plant installation, as shown on the plan.

B. Pre-Construction Meeting

Upon staking of limits of disturbance a pre-construction meeting will be held between the developer, contractor and appropriate County inspector. The purpose of the meeting will be to verify that all sediment controls in order, and to notify the contractor of possible penalties for non-compliance with the FCP.

C. Storage Facilities/Equipment Cleaning

All equipment storage, parking, sanitary facilities, material stockpiling, etc. associated with construction of the project will be restricted to those areas outside of the proposed Forest Conservation Easement. Cleaning of equipment will be limited to area within the LOD of the proposed homesites. Wastewater resulting from equipment cleaning will be controlled to prevent runoff into environmentally sensitive areas.

D. Sequence of Construction

The following timetable represents the proposed timetable for development. The items outlined in the Forest Conservation Plan will be enacted within two (2) years of subdivision approval.

Below find a proposed sequence of construction.

1. Install all signage and sediment control devices.
2. Hold pre-construction meeting between developer, contractor and County inspector.
3. Build access to site, grade pad sites, construction buildings and parking, stabilize all disturbed areas accordingly. Install permanent protective signage for Easements and initiate onsite plantings in accordance with Forest Conservation Plan.
4. Onsite and offsite plantings will be completed within two (2) years of subdivision approval.
5. Remove sediment control.
6. Hold post-construction meeting with County inspectors to assure compliance with FCP. Submit Certification of Installation.
7. Monitor and maintain plantings for 2 years.

E. Construction Monitoring

Eco-Science Professionals, or another qualified professional designated by the developer, will monitor construction of the project to ensure that all activities are in compliance with the Forest Conservation Plan.

F. Post-Construction Meeting

Upon completion of construction, Eco-Science Professionals, or another qualified professional designated by the developer, will notify the County that construction has been completed and arrange for a post-construction meeting to review the project site. The meeting will allow the County inspector to verify that afforestation plantings have been installed.

POST-CONSTRUCTION MANAGEMENT PLAN

Howard County requires a two year post-construction management plan be prepared as part of the forest conservation plan. The plan goes into effect upon acceptance of the construction certification of completion by the County. Eco-Science Professionals, or another qualified professional designated by the developer, will be responsible for implementation of the post-construction management plan.

The following items will be incorporated into the plan:

A. Fencing and Signage

Permanent signage indicating the limits of the retention/reforestation area shall be maintained.

B. General Site Inspections/Maintenance of Plantings

Site inspections will be performed a minimum of three times during the growing season. The purpose of the inspections will be to assess the health of the afforestation plantings. Appropriate measures will be taken to rectify any problems which may arise.

In addition, maintenance of the afforestation plantings will involve the following steps:

1. Watering - All plant material shall be watered twice a month during the 1st growing season, more or less frequently depending on weather conditions. During the second growing season, once a month during May-September, if needed.
2. Removal of invasive exotics and noxious weeds. Old field successional species will be retained.
3. Identification of serious plant pests and diseases, treatment with appropriate agent.
4. Pruning of dead branches.
5. After 12 and 24 months, replacement of plants, if required, in accordance with the Guarantee Requirements shown on the FCP.

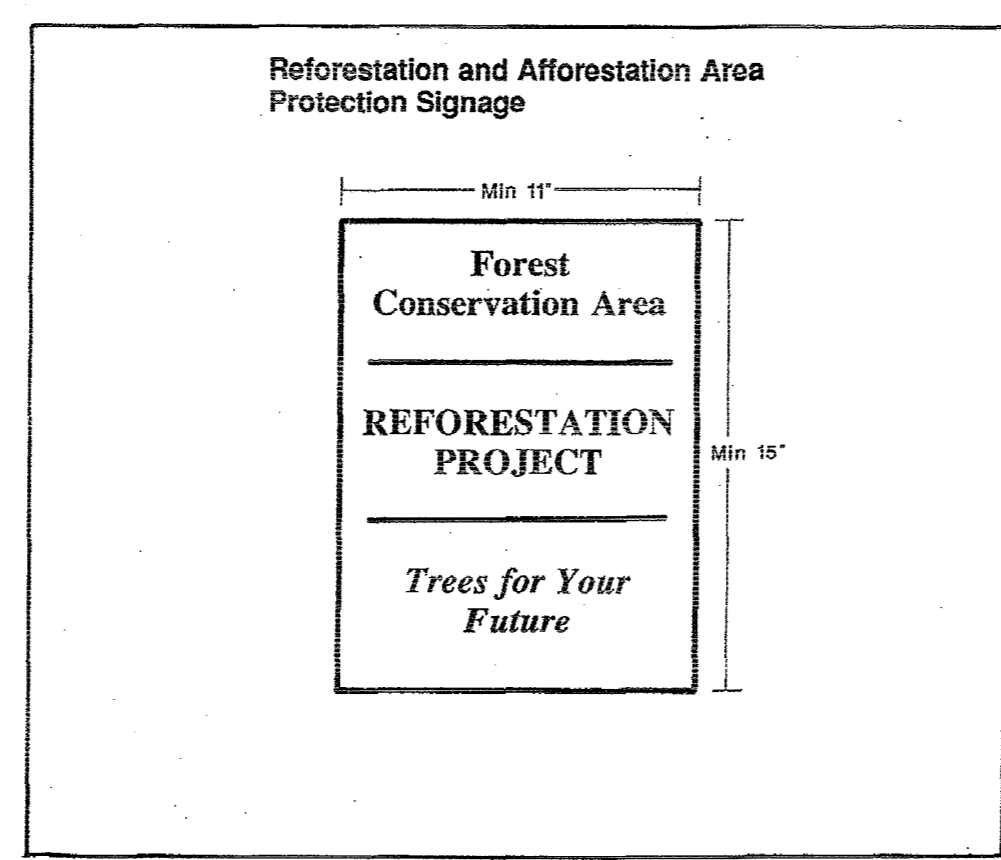
C. Education

The developer will provide appropriate materials to property owners informing them of the location and purpose of the afforestation area. Materials may include site plans and information explaining the intent of the forest conservation law.

D. Final Inspection

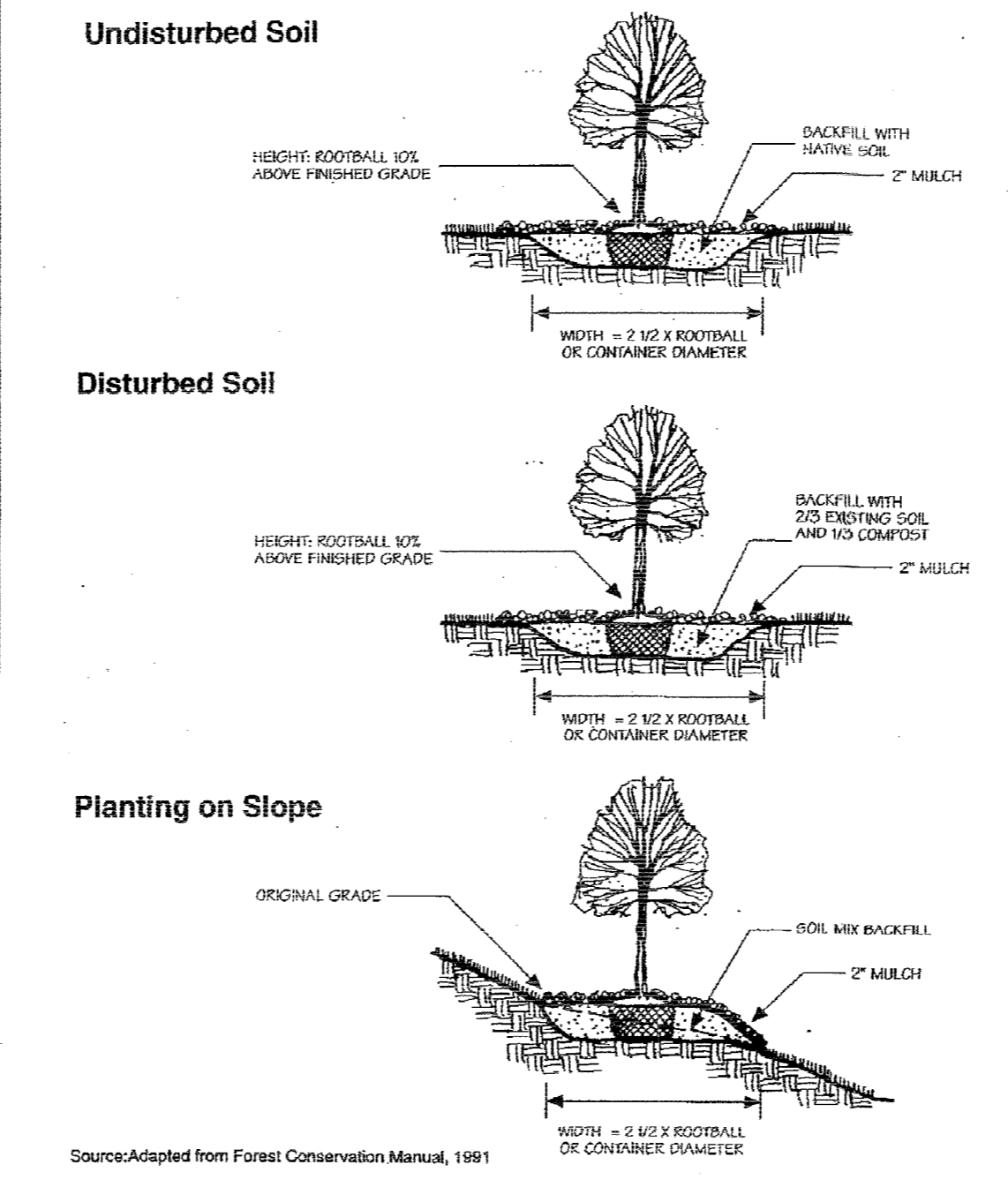
At the end of the two year post-construction management period, Eco-Science Professionals, or another qualified professional, will submit to the administrator of the Howard County Forest Conservation Program certification that all retention/afforestation requirements have been met. Upon acceptance of this certification, the County will release the developer from all future obligations and release the developer's bond.

EXHIBIT G - 16



Signs similar to protection signage for Retention Areas can be used on Afforestation and Reforestation Areas. The signs notify construction workers and future residents of the newly planted material, improving the trees survival rates.

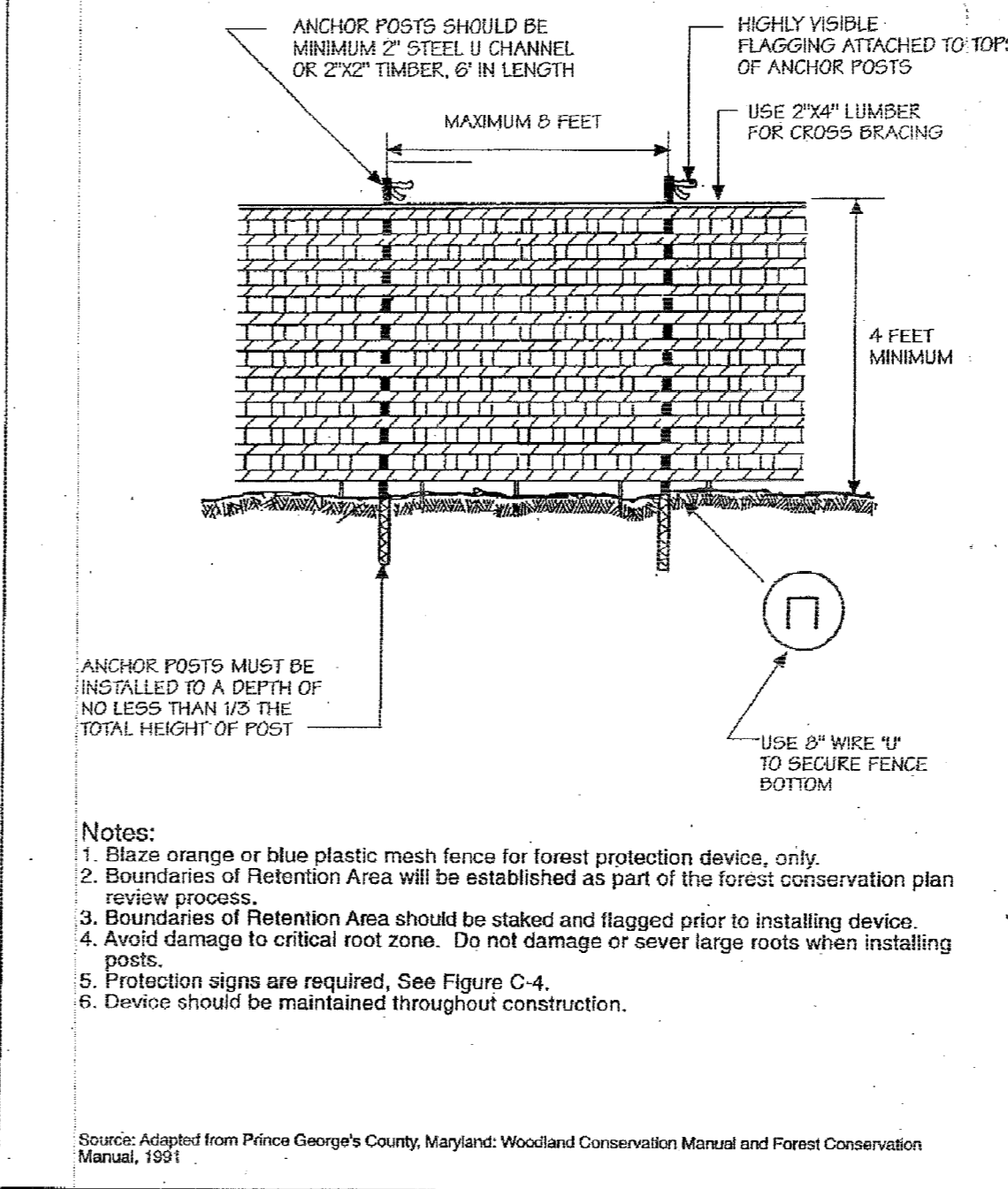
State Forest Conservation Manual Appendix C: Sample Details and Specifications



Container Grown and B&B Planting Techniques Figure C-16

Final Draft July 1995

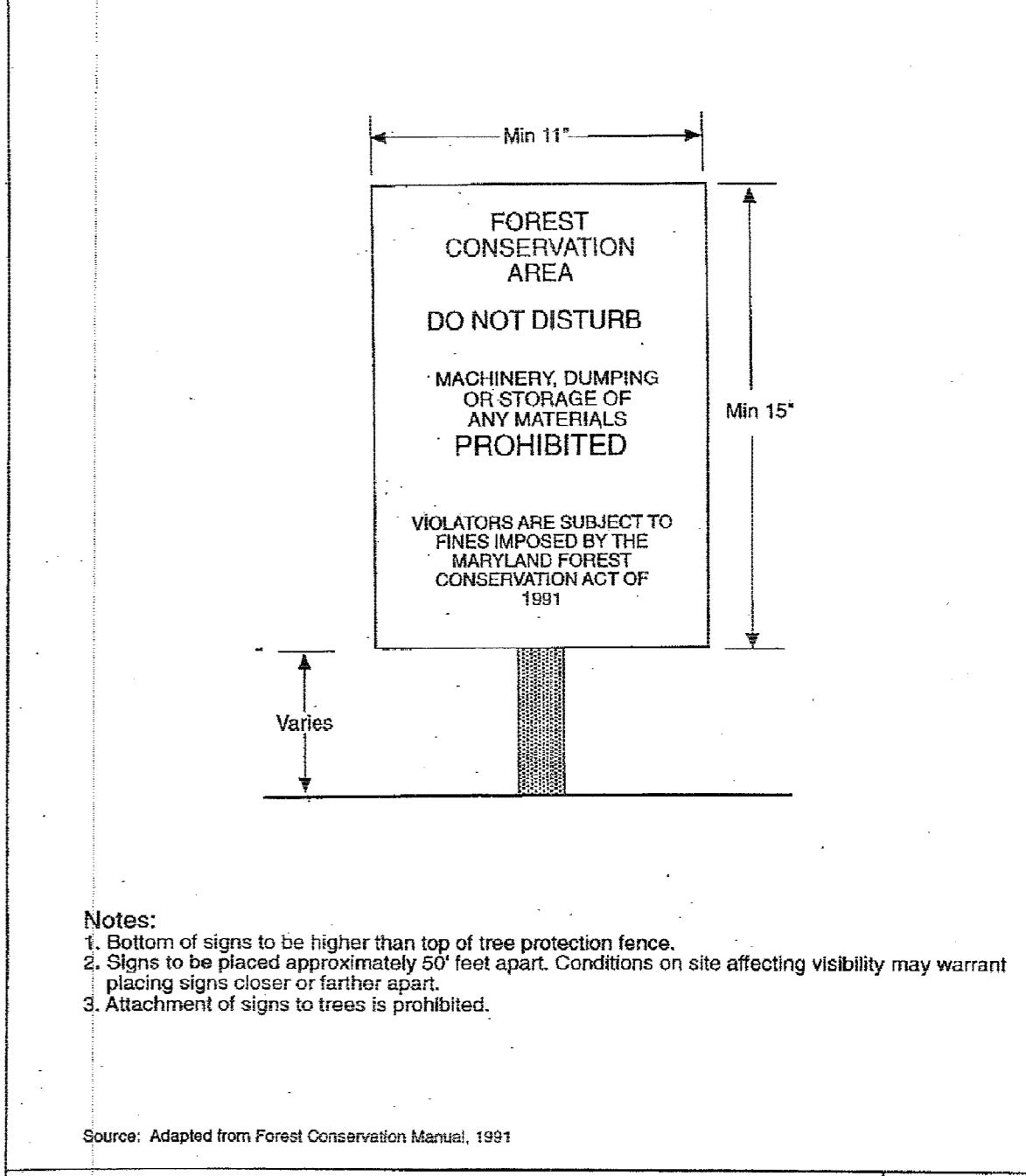
State Forest Conservation Manual Appendix C: Sample Details and Specifications



Plastic Mesh Tree Protection Fence Figure C-5

Final Draft July 1995

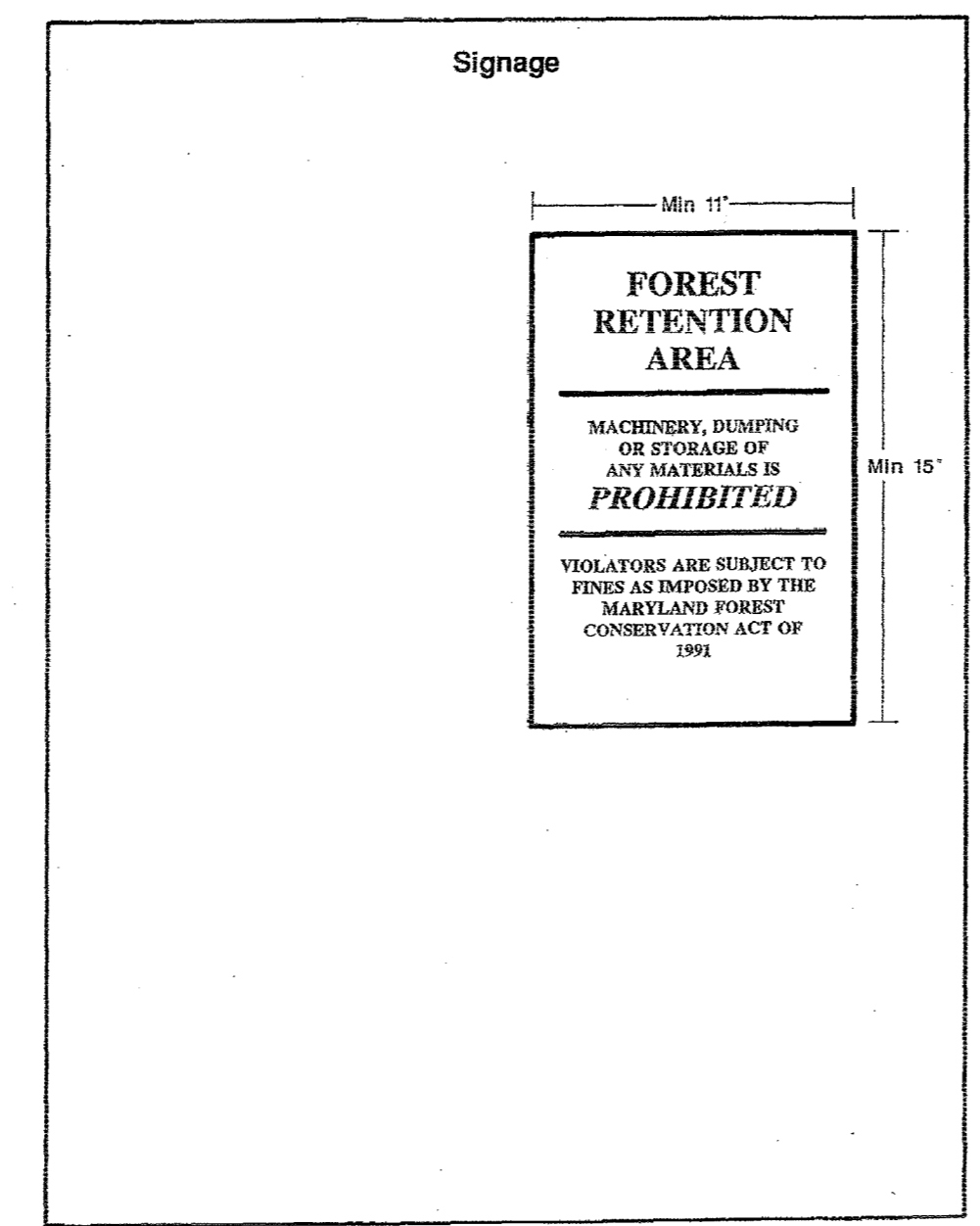
State Forest Conservation Manual Appendix C: Sample Details and Specifications



Construction Signs Figure C-4

Final Draft July 1995

EXHIBIT G - 17



PLANTING SCHEDULE

FCE # 1 - Onsite Planting Area A - 0.05 acres

Planting Units Required: 35
Planting Units Provided: 35

Qty	Species	Size	Spacing	Total FCA Units
3	Acer rubrum - Red maple	1" caliper	15' o.c.	
4	Cornus florida - Flowering dogwood	1" caliper	15' o.c.	
3	Prunus serotina - Black cherry	1" caliper	15' o.c.	
10	Total whip plantings x 3.5 units/tree = FCA unit credit			35
	Total Unit Credit			35

FCE # 2 - Offsite Planting Area A - 3.95 acres

Planting Units Required: 2766
Planting Units Provided: 2766

Qty	Species	Size	Spacing	Total FCA Units
225	Acer rubrum - Red maple	2-3' whip w/shelter	11' o.c.	
175	Acer saccharinum - Silver maple	2-3' whip w/shelter	11' o.c.	
125	Liriodendron tulipifera - Tulip poplar	2-3' whip w/shelter	11' o.c. **	
150	Nyssa sylvatica - Black gum	2-3' whip w/shelter	11' o.c.	
125	Platanus occidentalis - Sycamore	2-3' whip w/shelter	11' o.c.	
125	Prunus serotina - Black cherry	2-3' whip w/shelter	11' o.c. **	
133	Quercus palustris - Pin oak	2-3' whip w/shelter	11' o.c.	
125	Salix nigra - Black willow	2-3' whip w/shelter	11' o.c. ##	
200	Ulmus rubra - Slippery elm	2-3' whip w/shelter	11' o.c.	
1333	Total whip plantings with shelter x 2 units/tree = FCA unit credit			2766
	Total Unit Credit			2766

Planting Notes:

Planting density based spacing requirements: whips with shelter @ 11' on center
Planting may be made in a curvilinear fashion along contour. The planting should avoid a grid appearance but should be spaced to facilitate maintenance

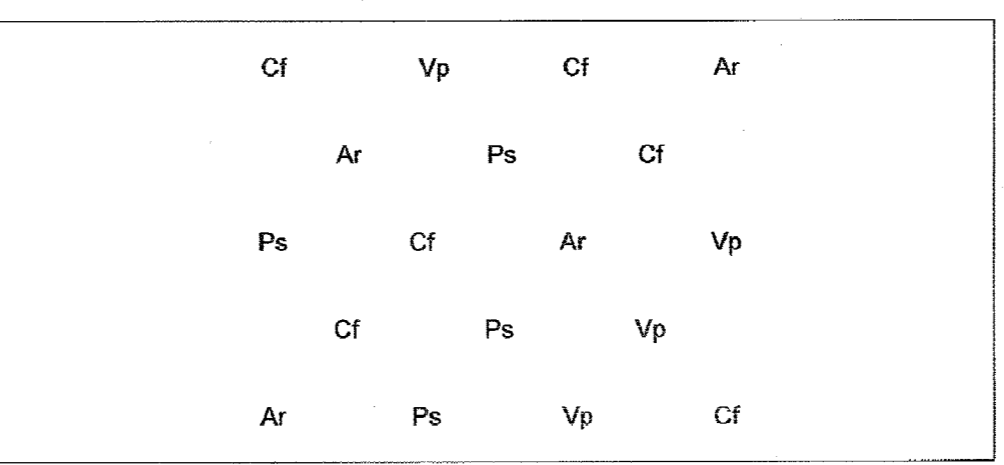
** should be planted in uplands only, ## should be planted in wetlands only

All whips are required to be installed with tree shelters per Howard County FCA requirements.

Planting units defined by the spacing requirements established in the FCA Manual. One plant unit is defined as 1 seedling or whip without shelter. The Manual states that 700 seedlings/whips without shelters are required per acre, or 350 whips w/shelters, or 200 1" caliper trees, or 100 2" caliper trees. By conversion it has been determined that a seedling or whip without shelter = 1 unit, whip with shelter = 2 units, 1" caliper tree = 3.5 units and 2" caliper tree = 7 units. The use of plant units simplifies the plant density calculations when mixing stock size.

The offsite planting schedule and planting location may be revised by the property owner with the County's approval.

Typical Planting Layout



This diagram shows a typical dispersal of species within planting area. The spacing shall be in accordance with the approved planting schedule.

NOTE: PROTECTIVE SIGNAGE SHALL BE IN PLACE FOR PERPETUITY.

APPROVED: DEPARTMENT OF PLANNING AND ZONING

<i>John E. Egan</i> Chief, Development Engineering Division	11-6-14 Date
<i>Kevin S. Jordan</i> Chief, Division of Land Development	11-20-14 Date
<i>Marc A. Layton</i> Director	11-21-14 Date

ADDRESS CHART

LOT / PARCEL NO.	STREET ADDRESS
PARCEL B-1	7901 OCEANO AVENUE
PARCEL E-1	7775 CHESAPEAKE BAY COURT

PERMIT INFORMATION CHART

SUBDIVISION NAME	SECTION / AREA	LOT / PARCEL NO.
MARYLAND FOOD CENTER AUTHORITY	3	B-1/662 & E-1/696
PLAT NO. or L/F	GRID NO.	ZONING
23017 - 23021	21	M-2
TAX MAP NO.	ELEC. DIST.	CENSUS TRACT
43	6TH	6069.01

Eco-Science Professionals, Inc.
Consulting Ecologists
P.O. Box 8886 Glen Arm, Maryland 21057
Telephone (410) 832-3488 Fax (410) 832-3488

MD DNR Qualified Professional
USACOE Wetland Delineator
Certification # WDCP93MD061004482
John F. Canales
10/15/14

OWNER
MARYLAND FOOD CENTER AUTHORITY
7801 OCEANO AVE
JESSUP, MD 20794
PHONE (410) 379-5760
FAX (410) 379-5773

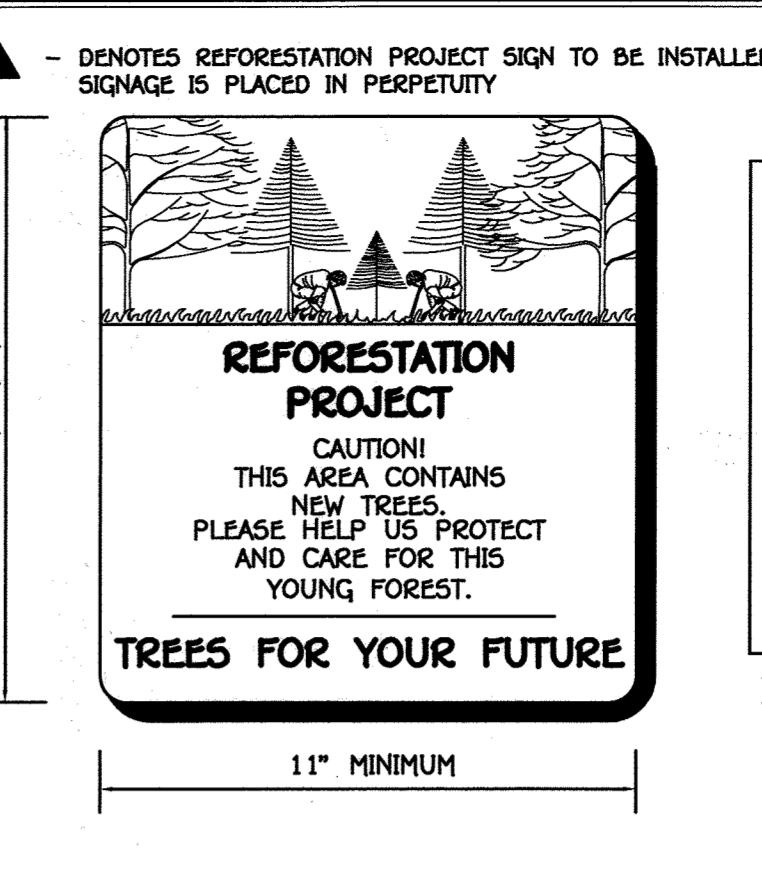
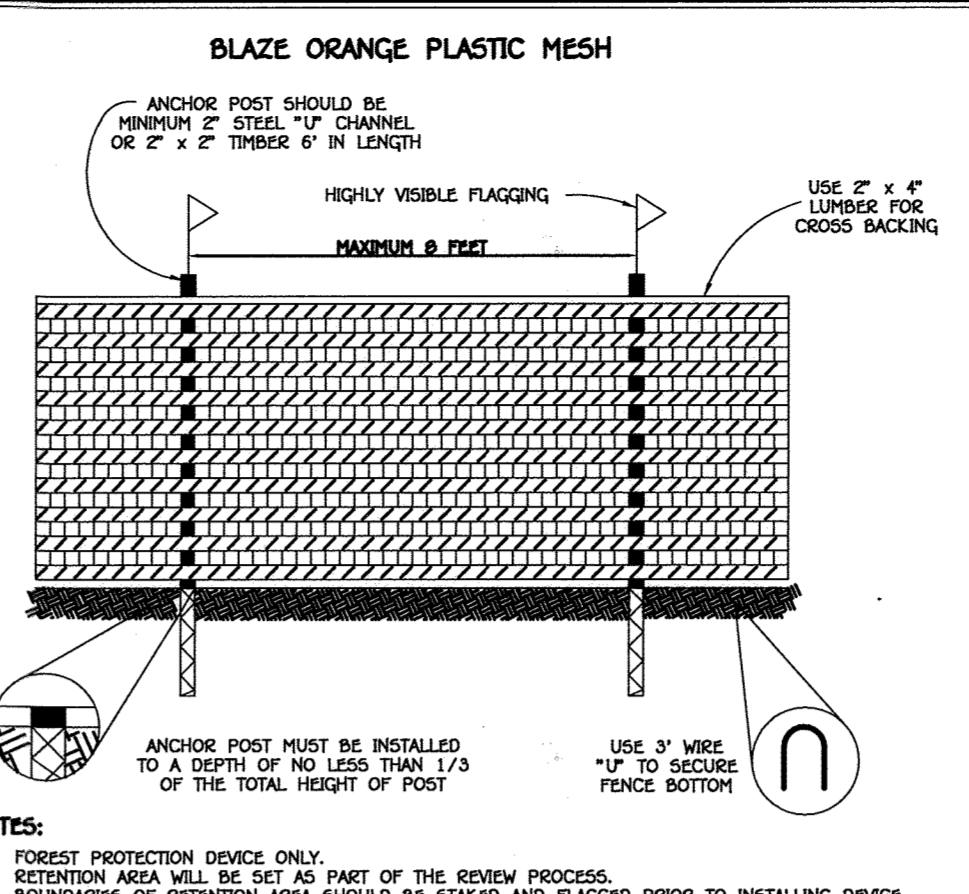
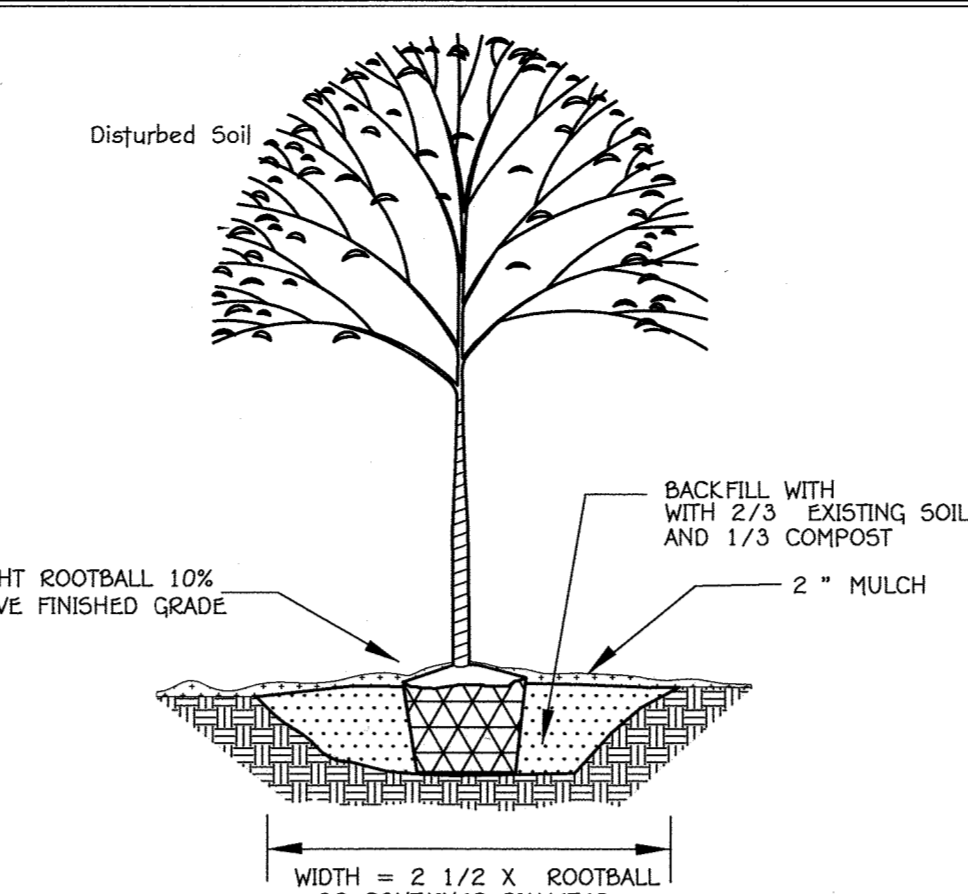
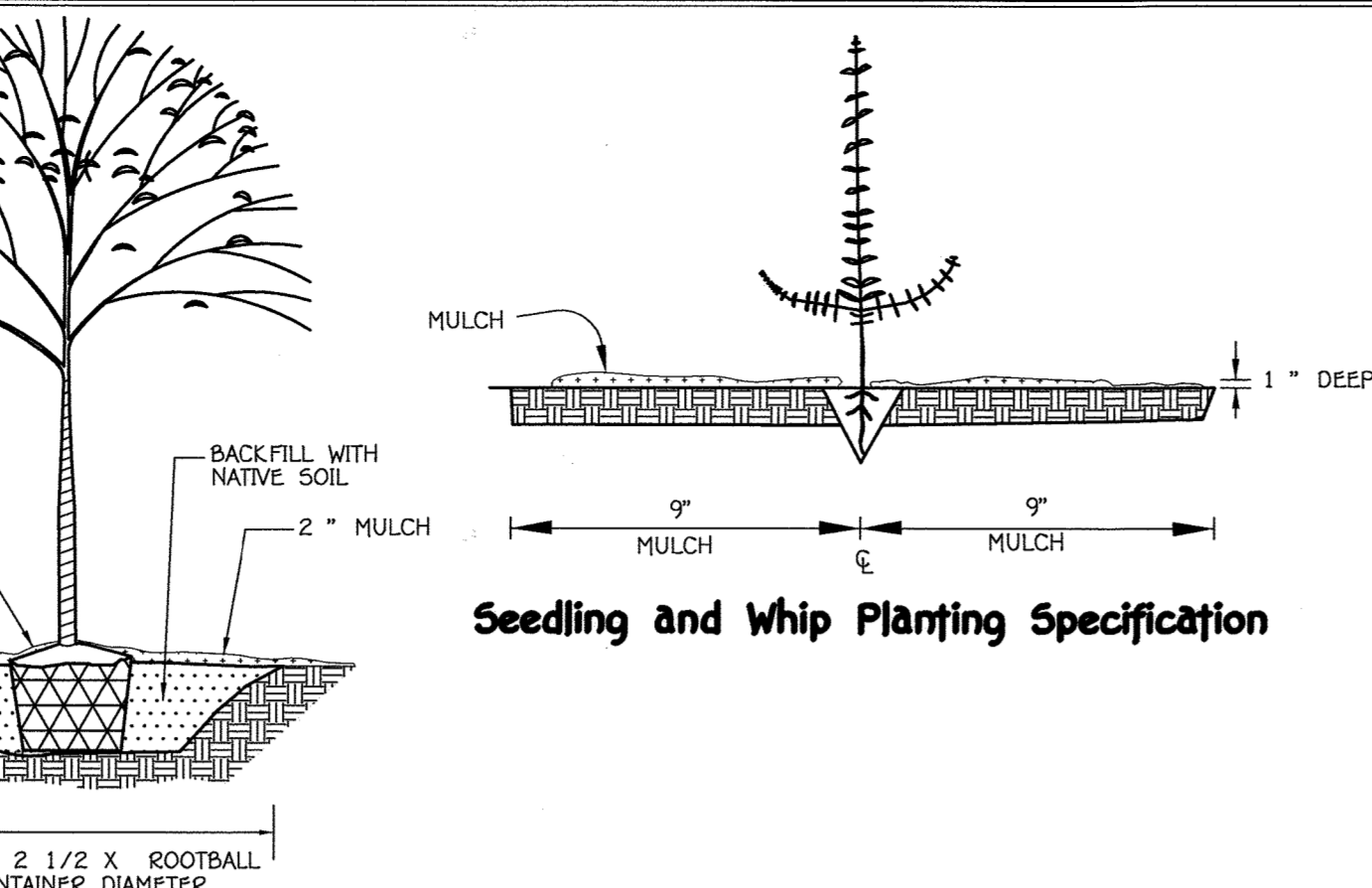
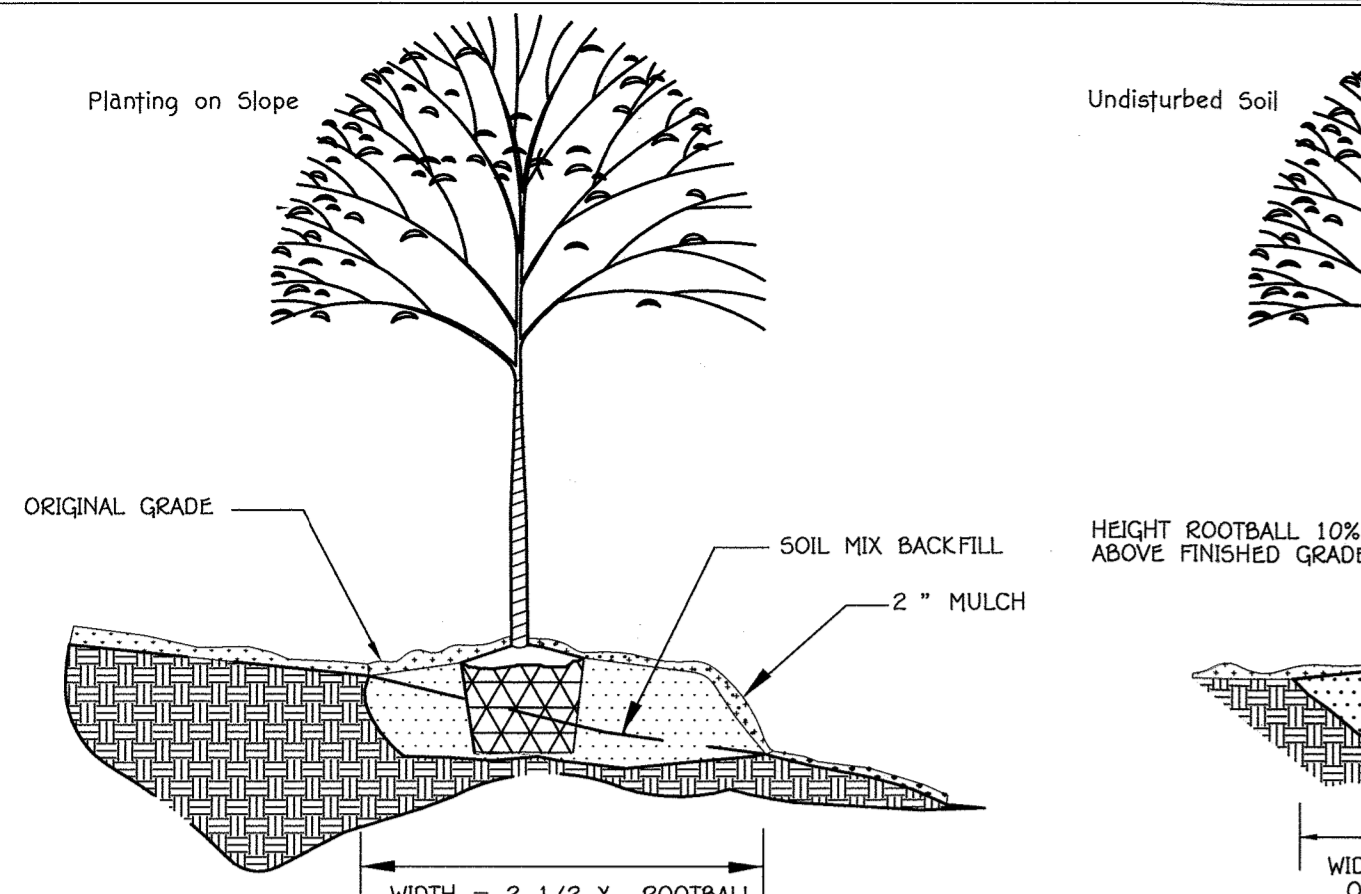
DEVELOPER / APPLICANT
MERRITT PROPERTIES, LLC
2066 LORD BALTIMORE DRIVE
BALTIMORE, MD 21244
PHONE (410) 298-2600
FAX (410) 298-9644

REVISIONS

DATE	NO.	DESCRIPTION	BY

FOREST CONSERVATION PLAN
NOTES, DETAILS AND SPECIFICATIONS
MARYLAND FOOD CENTER AUTHORITY
PARCEL B-1 & E-1 (WAREHOUSE & OFFICE)
HOWARD COUNTY, MARYLAND
SCALE: N/A
DATE: OCTOBER, 2014

DRAWING NO.
C-47
SHEET 47 OF 83
SDP-14-068



FCP NOTES

1. ANY FOREST CONSERVATION EASEMENT (FCE) AREA SHOWN HEREON IS SUBJECT TO PROTECTIVE COVENANTS WHICH MAY BE FOUND IN THE LAND RECORDS OF HOWARD COUNTY WHICH RESTRICT THE DISTURBANCE AND USE OF THESE AREAS.
2. THE FOREST CONSERVATION EASEMENTS HAVE BEEN ESTABLISHED TO FULFILL THE REQUIREMENTS OF SECTION 16.1200 OF THE HOWARD COUNTY CODE, FOREST CONSERVATION ACT. NO CLEARING, GRADING, OR CONSTRUCTION IS PERMITTED WITHIN THE FOREST CONSERVATION EASEMENTS, HOWEVER, FOREST MANAGEMENT PRACTICES AS DEFINED IN THE DEED OF FOREST CONSERVATION EASEMENT ARE ALLOWED.
3. FORESTED AREAS OCCURRING OUTSIDE OF THE FCE SHALL NOT BE CONSIDERED PART OF THE FCE AND SHALL NOT BE SUBJECT TO PROTECTIVE LAND COVENANTS.
4. LIMITS OF DISTURBANCE SHALL BE RESTRICTED TO AREAS OUTSIDE THE LIMIT OF TEMPORARY FENCING OR THE FCE BOUNDARY, WHICHEVER IS GREATER.
5. THERE SHALL BE NO CLEARING, GRADING, CONSTRUCTION OR DISTURBANCE OF VEGETATION IN THE FOREST CONSERVATION EASEMENT, EXCEPT AS PERMITTED BY HOWARD COUNTY DPZ.
6. NO STOCKPILES, PARKING AREAS, EQUIPMENT CLEANING AREAS, ETC. SHALL OCCUR WITHIN AREAS DESIGNATED.
7. TEMPORARY FENCING SHALL BE USED TO PROTECT FOREST RESOURCES DURING CONSTRUCTION. THE FENCING SHALL BE PLACED ALONG ALL FCE BOUNDARIES WHICH OCCUR WITHIN 15 FEET OF THE PROPOSED LIMITS OF DISTURBANCE.
8. PERMANENT SIGNAGE SHALL BE PLACED 50' - 100' APART ALONG BOUNDARIES OF ALL AREAS INCLUDED IN FOREST CONSERVATION EASEMENTS.

PLANTING/SOIL SPECIFICATIONS

1. PLANTING OF NURSERY STOCK SHALL TAKE PLACE BETWEEN MARCH 15th, AND APRIL 30th, OR SEPTEMBER 15th, AND NOVEMBER 15th.
2. A TWELVE (12) INCH LAYER OF TOPSOIL SHALL BE SPREAD OVER ALL FORESTATION AREAS IMPACTED BY SITE GRADING TO ASSURE A SUITABLE PLANTING AREA. DISTURBED AREAS SHALL BE SEEDED AND STABILIZED AS PER GENERAL CONSTRUCTION PLAN FOR PROJECT. PLANTING AREAS NOT IMPACTED BY SITE GRADING SHALL HAVE NO ADDITIONAL TOPSOIL APPLIED.
3. ALL BARE-ROOT PLANTING STOCK SHALL HAVE THEIR ROOT SYSTEMS DIPPED INTO AN ANTI-DESICCANT GEL PRIOR TO PLANTING.
4. PLANTS SHALL BE INSTALLED SO THAT THE TOP OF ROOT MASS IS LEVEL WITH THE TOP OF EXISTING GRADE. BACKFILL IN THE PLANTING PITS SHALL CONSIST OF 3 PARTS EXISTING SOIL TO 1 PART FINE FINES OR EQUIVALENT.
5. FERTILIZER SHALL CONSIST OF AGRIFORM 22-0-2, OR EQUIVALENT, APPLIED AS PER MANUFACTURER'S SPECIFICATIONS.
6. A TWO (2) INCH LAYER OF HARDWOOD MULCH SHALL BE PLACED OVER THE ROOT AREA OF ALL PLANTINGS.
7. PLANT MATERIAL SHALL BE TRANSPORTED TO THE SITE IN A TARPED OR COVERED TRUCK. PLANTS SHALL BE KEPT MOIST PRIOR TO PLANTING.
8. ALL NON-ORGANIC DEBRIS ASSOCIATED WITH THE PLANTING OPERATION SHALL BE REMOVED FROM THE SITE BY THE CONTRACTOR.

SEQUENCE OF CONSTRUCTION

1. SEDIMENT CONTROL AND TREE PROTECTION DEVICES SHALL BE INSTALLED IN ACCORDANCE WITH GENERAL CONSTRUCTION PLAN FOR SITE. SITE SHALL BE GRADED IN ACCORDANCE WITH GENERAL CONSTRUCTION PLANS.
2. PROPOSED FORESTATION AREAS IMPACTED BY SITE GRADING SHALL BE TOPSOILED AND STABILIZED AS PER NOTE NO. 2 OF PLANTING/SOIL SPECIFICATIONS FOR PROJECT.
3. PLANTS SHALL BE INSTALLED AS PER PLANT SCHEDULE AND THE PLANTING/SOIL SPECIFICATIONS FOR THE PROJECT.
4. UPON COMPLETION OF THE PLANTING, SIGNAGE SHALL BE INSTALLED AS PER THE FOREST PROTECTION DEVICES SHOWN ON THE FOREST CONSERVATION PLAN.
5. PLANTINGS SHALL BE MAINTAINED AND GUARANTEED IN ACCORDANCE WITH THE MAINTENANCE AND GUARANTEE REQUIREMENTS FOR PROJECT.

MAINTENANCE OF PLANTINGS

1. MAINTENANCE OF PLANTINGS SHALL LAST FOR A PERIOD OF 26 MONTHS.
2. ALL PLANT MATERIAL SHALL BE WATERED TWICE A MONTH DURING THE 1st. GROWING SEASON. WATERING MAY BE MORE OR LESS FREQUENT DEPENDING IN WEATHER CONDITIONS. DURING 2nd. GROWING SEASON, ONCE A MONTH DURING MAY-SEPTEMBER, IF NEEDED.
3. INVASIVE EXOTICS AND NOXIOUS WEEDS WILL BE REMOVED FROM FORESTATION AREAS. OLD FIELD SUCCESSIONAL SPECIES WILL BE RETAINED.
4. PLANTS WILL BE EXAMINED A MINIMUM TWO TIMES DURING THE GROWING SEASON FOR SERIOUS PLANT PESTS AND DISEASES. SERIOUS PROBLEMS WILL BE TREATED WITH THE APPROPRIATE AGENT.
5. DEAD BRANCHES WILL BE PRUNED FROM PLANTINGS.

GUARANTEE REQUIREMENTS

1. A 75 PERCENT SURVIVAL RATE OF FORESTATION PLANTINGS WILL BE REQUIRED AT THE END OF THE 24 MONTH MAINTENANCE PERIOD. ALL PLANT MATERIAL BELOW THE 75 PERCENT THRESHOLD WILL BE REPLACED AT THE BEGINNING OF THE NEXT GROWING SEASON.

SURETY OF OFFSITE PLANTING (SDP-14-060)

A SURETY FOR THE 3.95 ACRE OFFSITE FOREST CONSERVATION PLANTING OBLIGATION OF MD FOOD CENTER AUTHORITY, PARCELS B-1 AND E-1 (SDP-14-060) SHALL BE POSTED AS PART OF THE DPW DEVELOPER AGREEMENT FOR THAT PROJECT. THE SURETY WILL BE BASED ON \$0.50 PER SQUARE FOOT OF PLANTING AND WILL BE \$96,001.00. AN ADDITIONAL SURETY OF \$1,009.00 SHALL BE POSTED AS PART OF THE DPW DEVELOPER AGREEMENT FOR THAT PROJECT FOR THE 0.05 ACRE ONSITE FOREST CONSERVATION PLANTINGS.

FCP No. 4 - Offsite Planting Area A - 3.95 Acres

Planting Units Required: 2765
Planting Units Provided: 2766

Qty	Species	Size	Spacing	Total FCA Units
225	Acer rubrum - Red Maple	2-3" whip w/shelter	11' o.c.	
175	Acer saccharinum - Silver Maple	2-3" whip w/shelter	11' o.c.	
125	Liriodendron tulipifera - Tulip poplar	2-3" whip w/shelter	11' o.c. **	
150	Nyssa sylvatica - Black gum	2-3" whip w/shelter	11' o.c.	
125	Platanus occidentalis - Sycamore	2-3" whip w/shelter	11' o.c.	
125	Prunus serotina - Black cherry	2-3" whip w/shelter	11' o.c. **	
133	Quercus palustris - Pin oak	2-3" whip w/shelter	11' o.c.	
125	Salix nigra - Black willow	2-3" whip w/shelter	11' o.c. **	
200	Ulmus rubra - Slippery elm	2-3" whip w/shelter	11' o.c.	
1363	Total whip plantings with shelter x 2 units / tree = FCA unit credit			2766
	Total Unit Credit			2766

SOIL	NAME	CLASS
BaA	Baile silt loam, 0 to 3 percent slopes	D
GgB	Glenelg loam, 3 to 8 percent slopes	B
GgC	Glenelg loam, 8 to 15 percent slopes	B
GmB	Glenville silt loam, 3 to 8 percent slopes	C
MaC	Manor loam, 8 to 15 percent slopes	B
MaD	Manor loam, 15 to 25 percent slopes	B
McC	Manor-channery loam, 8 to 15 percent slopes	B

NOTES:
* Hydric soils and/or contains hydric inclusions
** May contain hydric inclusions
† Generally only within 100-year floodplain areas

MULTIFLORA ROSE CONTROL NOTE:

PRIOR TO PLANTING ALL MULTIFLORA ROSE WITHIN PLANTING AREAS SHALL BE REMOVED. REMOVAL OF THE ROSE MAY BE PERFORMED WITH MOWING AND HERBICIDE TREATMENTS. PHYSICAL REMOVAL OF ALL TOP GROWTH FOLLOWING BY A PERIODIC HERBICIDE TREATMENT OF STUMP SPROUTS IS RECOMMENDED. NATIVE TREE AND SHRUB SPECIES OCCURRING WITHIN THE ROSE THICKETS SHOULD BE RETAINED WHEREVER POSSIBLE. HERBICIDES TREATMENTS SHALL OCCUR ON 2 MONTH INTERVALS DURING THE FIRST GROWING SEASON AND ONCE EACH IN THE SPRING AND FALL FOR SUBSEQUENT YEARS. HERBICIDE USED SHALL BE MADE SPECIFICALLY TO ADDRESS WOODY PLANT MATERIAL AND SHALL BE APPLIED AS PER MANUFACTURER'S SPECIFICATIONS. CARE SHOULD BE TAKEN NOT TO SPRAY PLANTED TREES OR NATURALLY OCCURRING NATIVE TREE/SHRUB SEEDLINGS. IT IS RECOMMENDED THAT INITIATION OF ROSE REMOVAL BEGIN AT LEAST SIX MONTHS PRIOR TO PLANTING.

PLANTING NOTES:

PLANTING DENSITY BASED SPACING REQUIREMENTS: WHIPS WITH SHELTER @ 11' ON CENTER PLANTING MAY BE MADE IN CURVILINEAR FASHION ALONG CONTOUR. THE PLANTING SHOULD AVOID A GRID APPEARANCE BUT SHOULD BE SPACED TO FACILITATE MAINTENANCE.

** SHOULD BE PLANTED IN UPLANDS ONLY. ** SHOULD BE PLANTED IN WETLANDS ONLY.

ALL WHIPS ARE REQUIRED TO BE INSTALLED WITH TREE SHELTERS PER HOWARD COUNTY FCA REQUIREMENTS.

PLANTING UNITS DEFINED BY THE SPACING REQUIREMENTS ESTABLISHED IN THE FCA MANUAL ONE PLANT UNIT IS DEFINED AS 1 SEEDLING OR WHIP WITHOUT SHELTER. THE MANUAL STATES THAT 700 SEEDLINGS/WHIPS WITHOUT SHELTERS ARE REQUIRED PER ACRE OR 350 WHIPS W/SHELTERS, OR 200 1" CALIPER TREES, OR 100 2" CALIPER TREES. BY CONVERSION IT HAS BEEN DETERMINED THAT A SEEDLING OR WHIP WITHOUT SHELTER = 1 UNIT, WHIP WITH SHELTER = 2 UNITS, 1" CALIPER TREE = 3.5 UNITS AND 2" CALIPER TREE = 7 UNITS. THE USE OF PLANT UNITS SIMPLIFIES THE PLANT DENSITY CALCULATIONS WHEN MIXING STOCK SIZE.

THE OFFSITE PLANTING SCHEDULE AND PLANTING LOCATION MAY BE REVISED BY THE PROPERTY OWNER WITH THE COUNTY'S APPROVAL.

FOREST CONSERVATION FOR F-13-072 WAS PROVIDED WITH DEVELOPER AGREEMENT FOR F-94-040, HAY MEADOW, LOTS 1-4 AND PARCEL 'A', PLAT NOS. 11244-11246.

Legend

- Denotes Existing Amended 24' Private Use-In-Common Access Easement For The Benefit Of Lot 5 And Parcel 'B' (Plat Nos. 22332 And 22333)
- Denotes Existing Public Forest Conservation Easement (Plat Nos. 21747 And 21748)
- Denotes Public Forest Conservation Easement 3.950 Ac. (Reforestation)
- Denotes Existing Stream
- 58B - Denotes Existing Stream Bank Buffer
- Denotes Limits Of Wetlands



FISHER, COLLINS & CARTER, INC.
CONSULTING ENGINEERS, CONSULTANTS & LAND SURVEYORS
CENTRAL SQUARE OFFICE PARK - 10725 BALTIMORE NATIONAL PIKE
ELLSWORTH CITY, MARYLAND 21106
(410) 461-2895

Developer
MP Seafood Ventures, LLC
Attn: Mr. Stuart Foad
2066 Lord Baltimore Drive
Baltimore, Maryland 21244
Ph: 410-298-2600

Owner
Jericho, LLC
c/o Mr. Gary Calton
1304 Hay Meadow Lane
Sykesville, Maryland 21784
Ph: 410-982-0501

MD DNR Qualified Professional USACOE Wetland Delineator
Certification WDCP93MD06100448
J.P. Canoles
JOHN P. CANOLES

APPROVED: DEPARTMENT OF PLANNING AND ZONING
David DeAngelis
DIRECTOR
DATE: 11/20/14

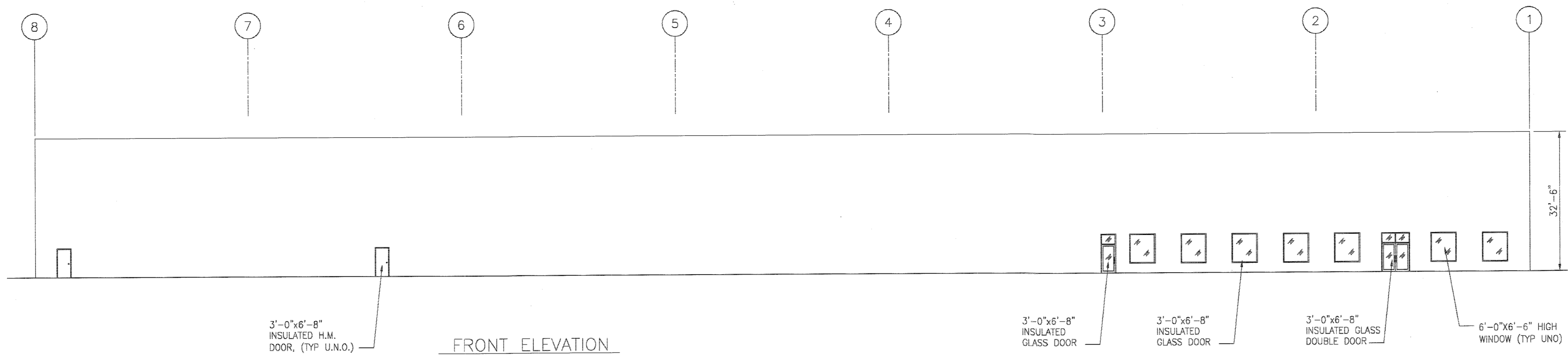
Kate Sanderson
CHIEF, DIVISION OF LAND DEVELOPMENT
DATE: 11-20-14

David DeAngelis
CHIEF, DEVELOPMENT ENGINEERING DIVISION
DATE: 11-6-14

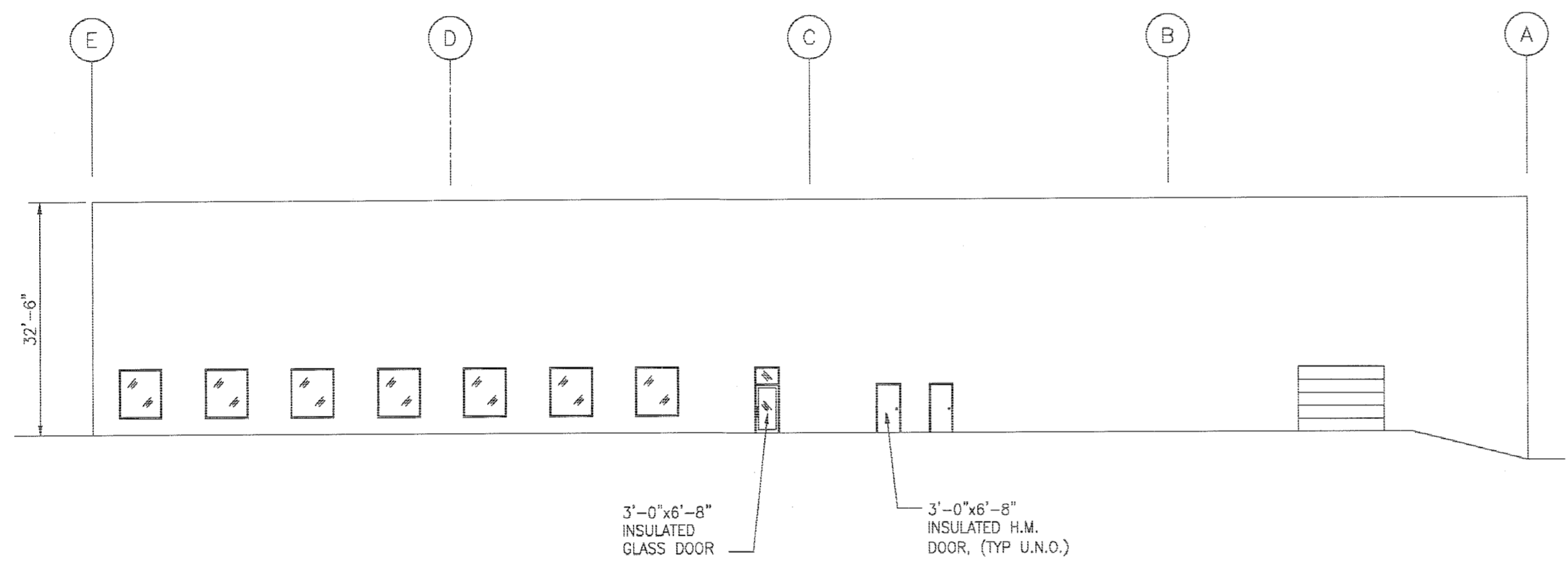
Off-Site Planting Plan For Maryland Food Center Authority, SDP-14-060

Hay Meadow Parcel 'B'
Plat Nos. 23015 & 23016
Plat Nos. 22332 & 22333

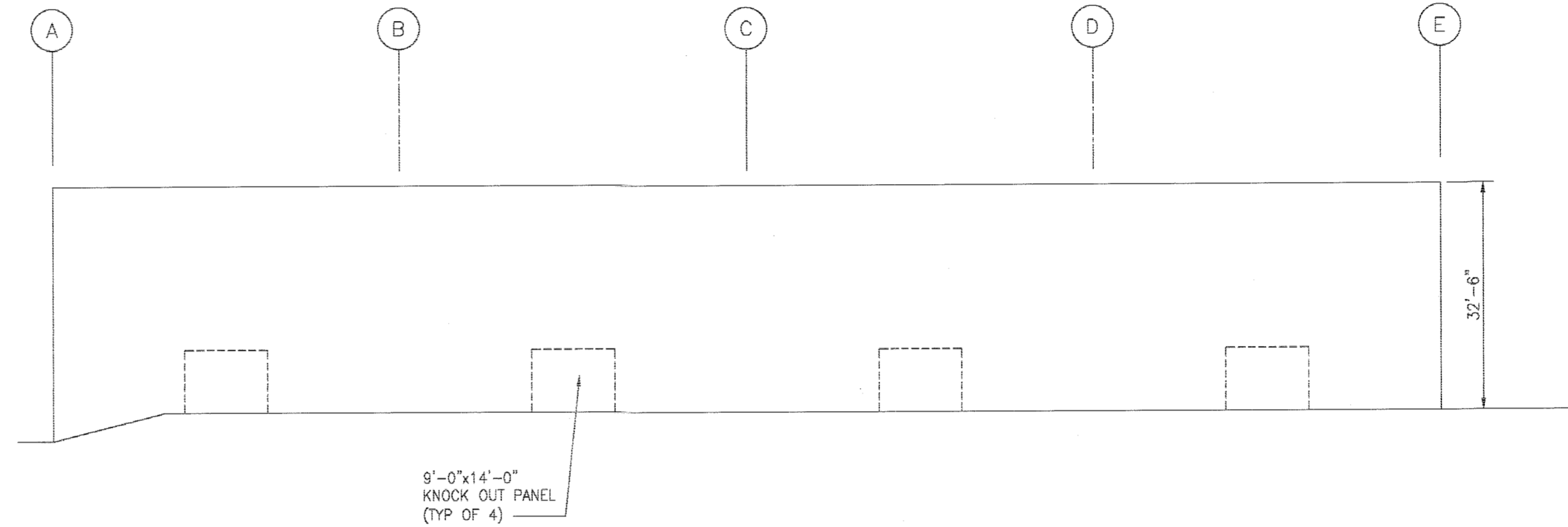
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Tax Map No. 9, Parcel No. 335, Grid 11
Third Election District - Howard County, Maryland
Revised Date: July 8, 2014



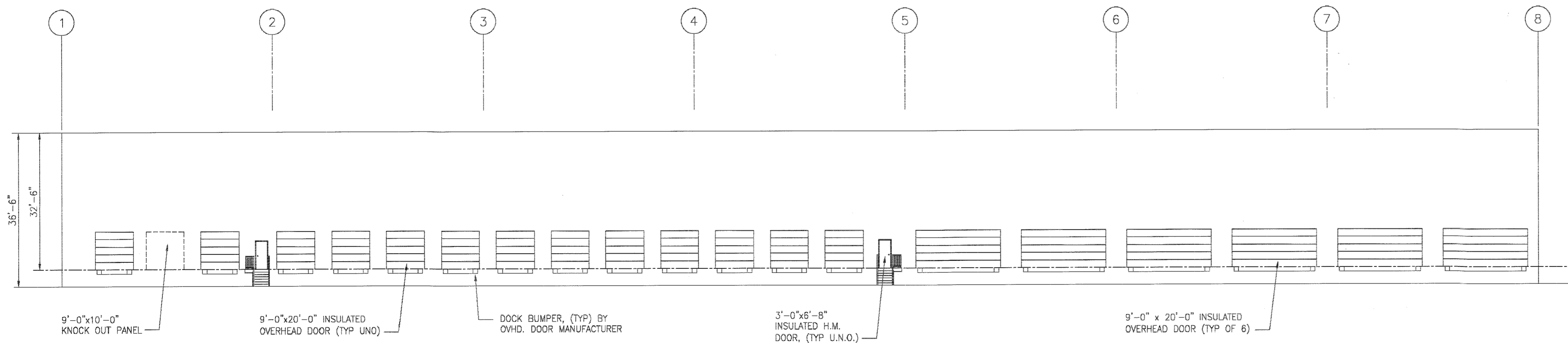
FRONT ELEVATION



SIDE ELEVATION



SIDE ELEVATION



REAR ELEVATION

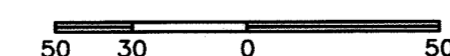
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APPROVED: DEPARTMENT OF PLANNING AND ZONING	
<i>[Signature]</i> Chief, Development Engineering Division	11/6/14 Date
<i>[Signature]</i> Chief, Division of Land Development	11/20/14 Date
<i>[Signature]</i> Director	11/2/14 Date

ADDRESS CHART	
LOT / PARCEL NO.	STREET ADDRESS
PARCEL B-1	7901 OCEANO AVENUE
PARCEL E-1	7775 CHESAPEAKE BAY COURT

PERMIT INFORMATION CHART					
SUBDIVISION NAME	SECTION / AREA	LOT / PARCEL NO.			
MARYLAND FOOD CENTER AUTHORITY	3	B-1/662 & E-1/696			
PLAT NO. or L/F	GRID NO.	ZONING	TAX MAP NO.	ELEC. DIST.	CENSUS TRACT
23017-23021	21	M-2	43	6TH	6069.01

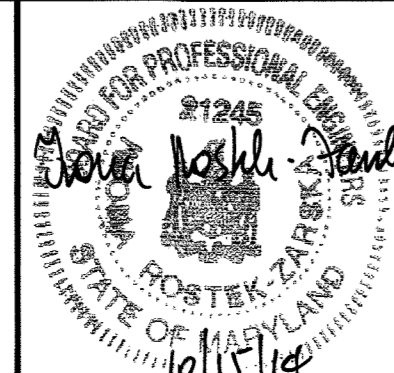
THE COORDINATE SYSTEM OF ALL DRAWINGS IS BASED ON THE NORTH AMERICAN DATUM OF 1983. THE ELEVATION SYSTEM OF ALL DRAWINGS IS BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988. HORIZ: NAD 83/91; VERT: NAVD 88



BLDG

Baltimore Land Design Group Inc.
Consulting Engineers

230 SCHILLING CIRCLE, SUITE 364 • HUNT VALLEY, MARYLAND 21031
PHONE: 410.229.9851 • FAX: 410.229.9865 • BLDG@BLDGINC.COM



PROFESSIONAL CERTIFICATION

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 21245, EXPIRATION DATE: JUNE 9, 2016.

OWNER
MARYLAND FOOD CENTER AUTHORITY
7801 OCEANO AVE
JESSUP, MD 20794
PHONE (410) 379-5760
FAX (410) 379-5773

DEVELOPER / APPLICANT
MERRITT PROPERTIES, LLC
2066 LORD BALTIMORE DRIVE
BALTIMORE, MD 21244
PHONE (410) 298-2600
FAX (410) 298-9644

REVISIONS			
DATE	NO.	DESCRIPTION	BY

SCHEMATIC PROFILE OF PROPOSED BUILDINGS
BUILDING 1
MARYLAND FOOD CENTER AUTHORITY
(PARCEL B-1 & E-1
(WAREHOUSE & OFFICE))

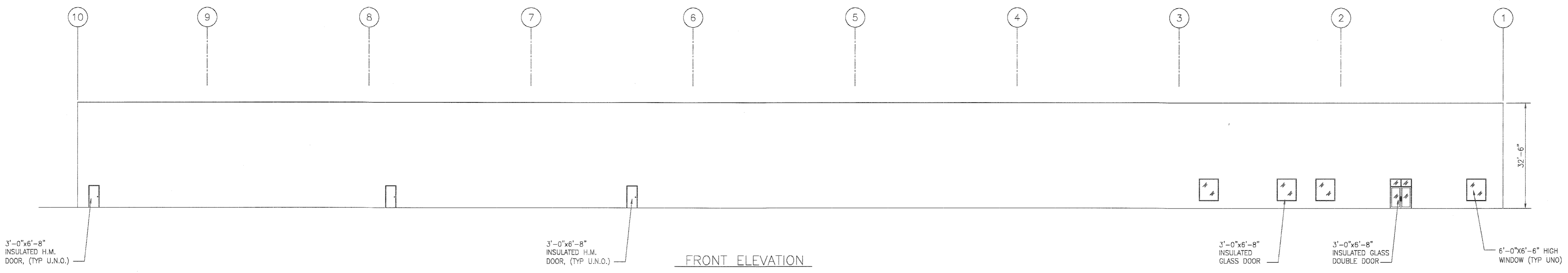
HOWARD COUNTY, MARYLAND
SCALE: N/A

DATE: OCTOBER, 2014

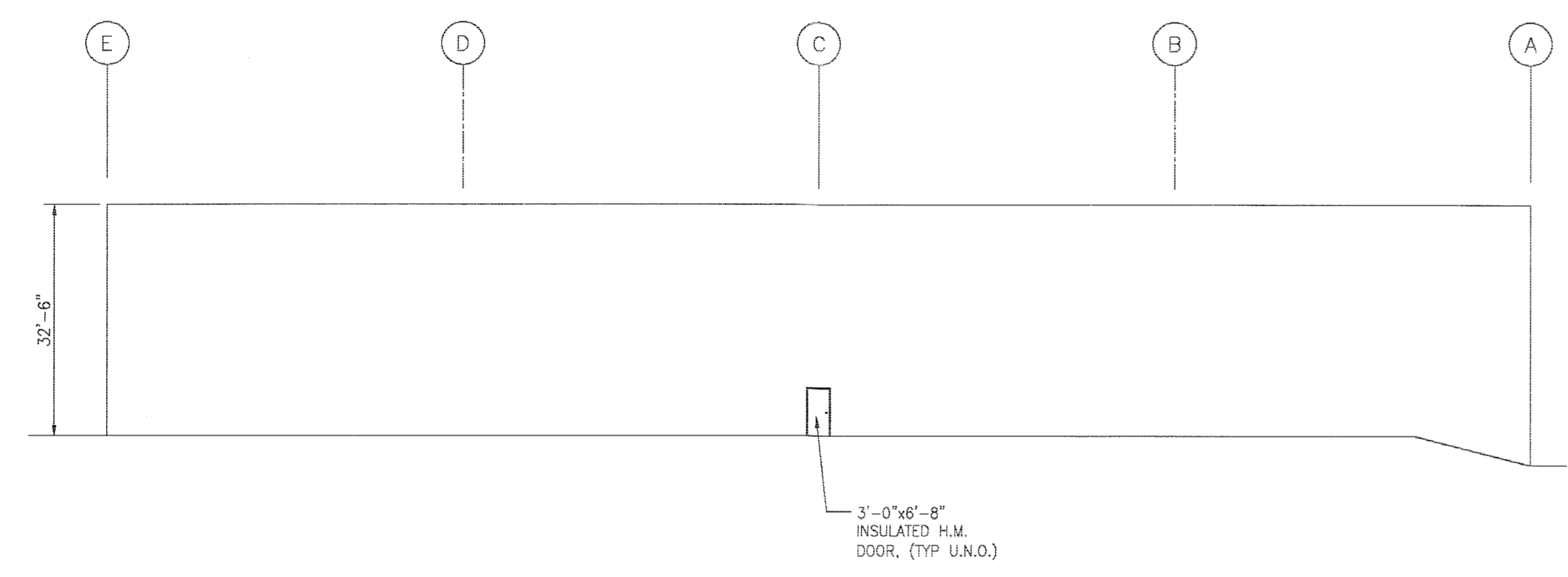
DRAWING NO.

C-49

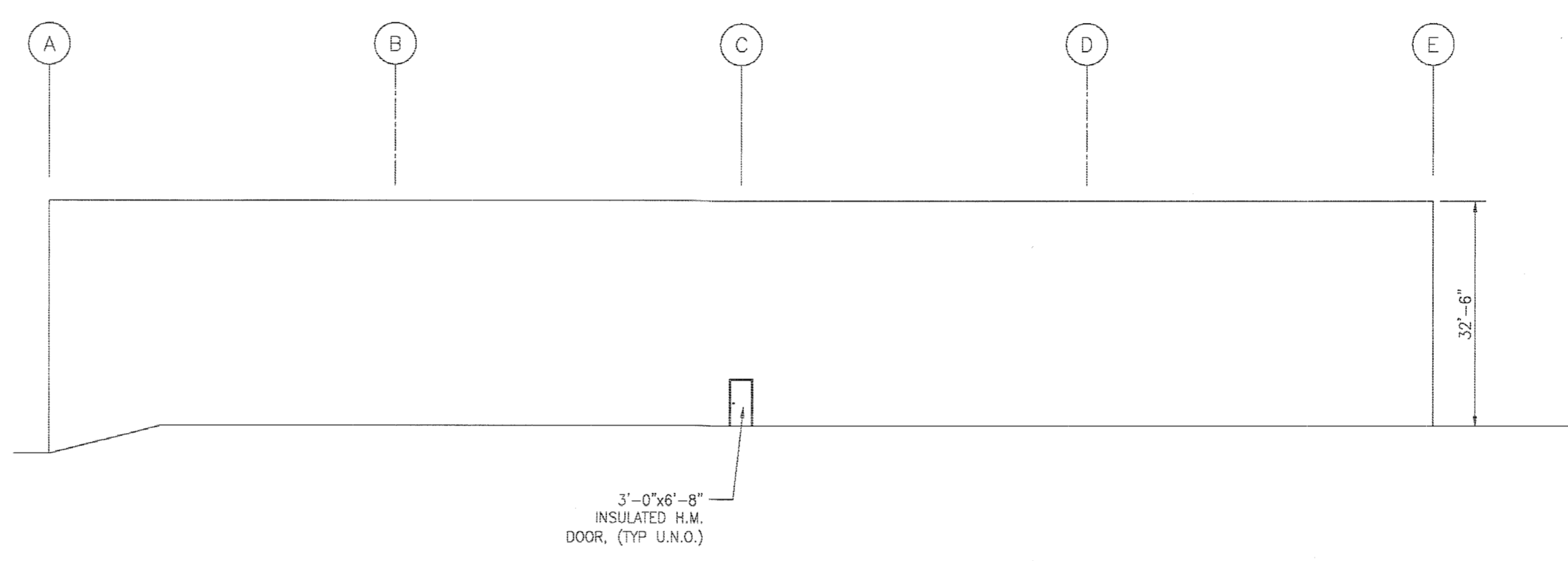
SHEET 49 OF 83



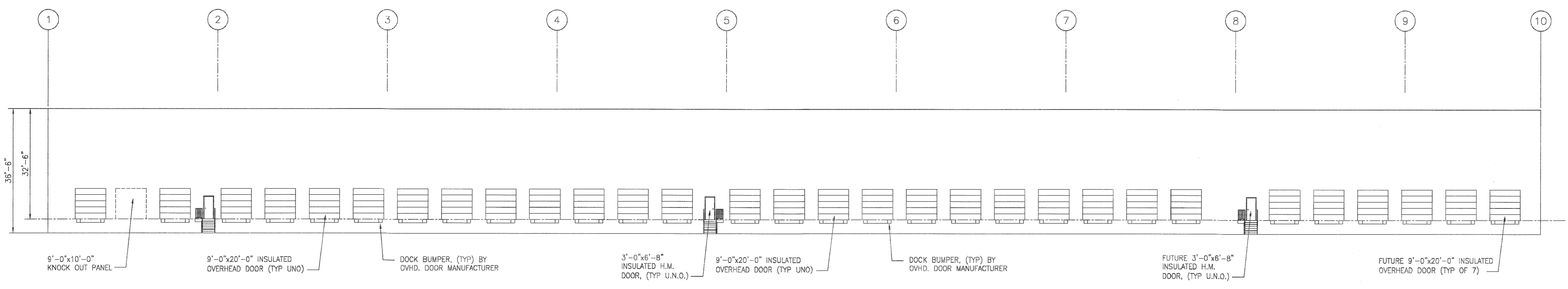
FRONT ELEVATION



SIDE ELEVATION



SIDE ELEVATION



REAR ELEVATION

NOTE:
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APPROVED: DEPARTMENT OF PLANNING AND ZONING

<i>[Signature]</i> Chief, Development Engineering Division	11-6-14 Date
<i>[Signature]</i> Chief, Division of Land Development	11-20-14 Date
<i>[Signature]</i> Director	11-21-14 Date

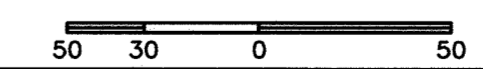
ADDRESS CHART

LOT / PARCEL NO.	STREET ADDRESS
PARCEL B-1	7901 OCEANO AVENUE
PARCEL E-1	7775 CHESAPEAKE BAY COURT

PERMIT INFORMATION CHART

SUBDIVISION NAME MARYLAND FOOD CENTER AUTHORITY	SECTION / AREA 3	LOT / PARCEL NO. B-1/662 & E-1/696
PLAT NO. or L/F 230172302	GRID NO. 21	ZONING M-2
TAX MAP NO. 43	ELEC. DIST. 6TH	CENSUS TRACT 6069.01

THE COORDINATE SYSTEM OF ALL DRAWINGS IS BASED ON THE NORTH AMERICAN DATUM OF 1983. THE ELEVATION SYSTEM OF ALL DRAWINGS IS BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988. HORZ: NAD 83/91; VERT: NAVD 88



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Consulting Engineers
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PHONE: 410.229.9851 • FAX: 410.229.9865 • BLDG@BLDGINC.COM

PROFESSIONAL CERTIFICATION
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 21245, EXPIRATION DATE: JUNE 9, 2016.

[Signature]
10/15/14

OWNER
MARYLAND FOOD CENTER AUTHORITY
7801 OCEANO AVE
JESSUP, MD 20794
PHONE (410) 379-5780
FAX (410) 379-5773

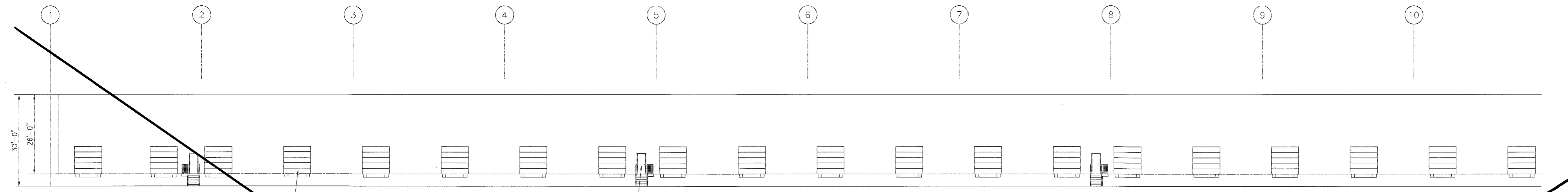
DEVELOPER / APPLICANT
MERRITT PROPERTIES, LLC
2066 LORD BALTIMORE DRIVE
BALTIMORE, MD 21244
PHONE (410) 298-2600
FAX (410) 298-9844

REVISIONS

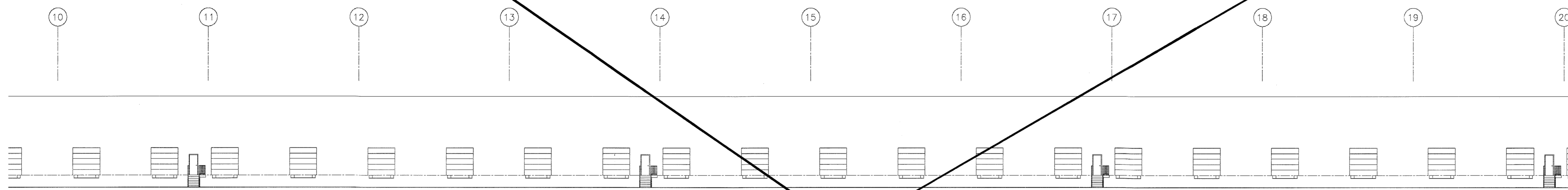
DATE	NO.	DESCRIPTION	BY

SCHEMATIC PROFILE OF PROPOSED BUILDINGS
BUILDING II
MARYLAND FOOD CENTER AUTHORITY
PARCEL B-1 & E-1
(WAREHOUSE & OFFICE)
HOWARD COUNTY, MARYLAND
SCALE: N/A
DATE: OCTOBER, 2014

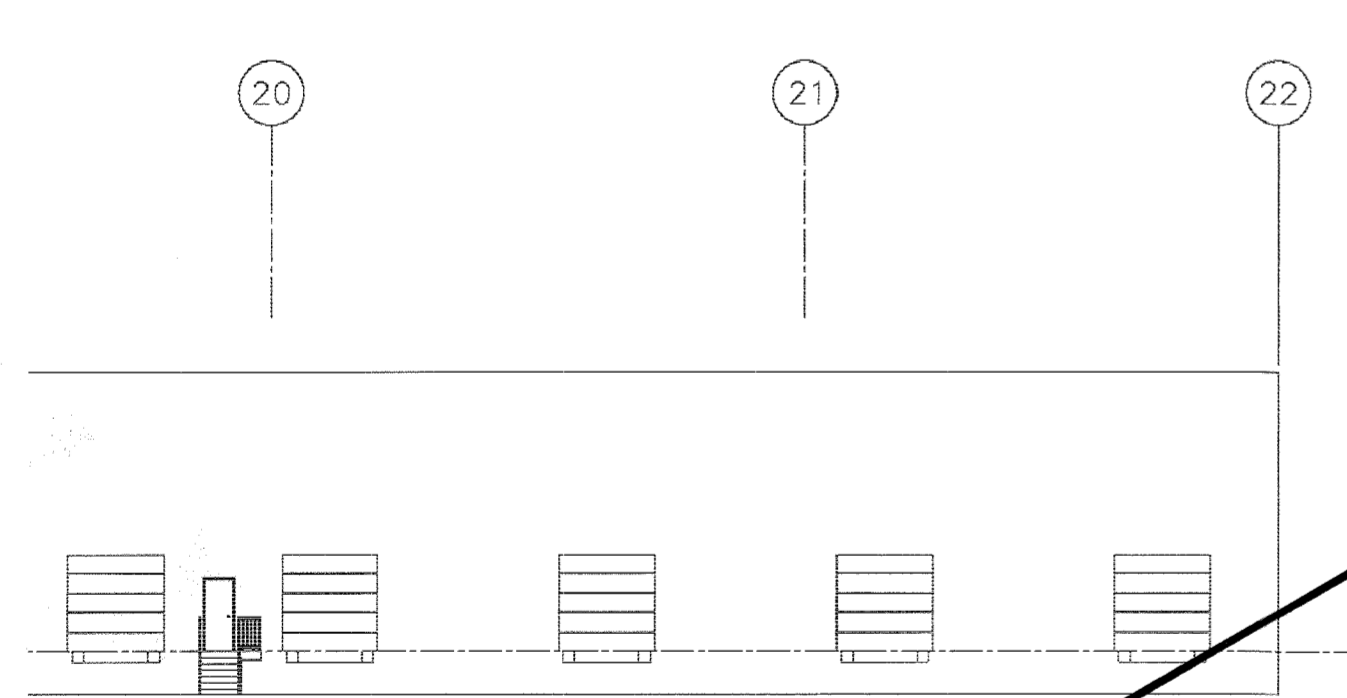
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C-50
SHEET 50 OF 83
SDP-14-068



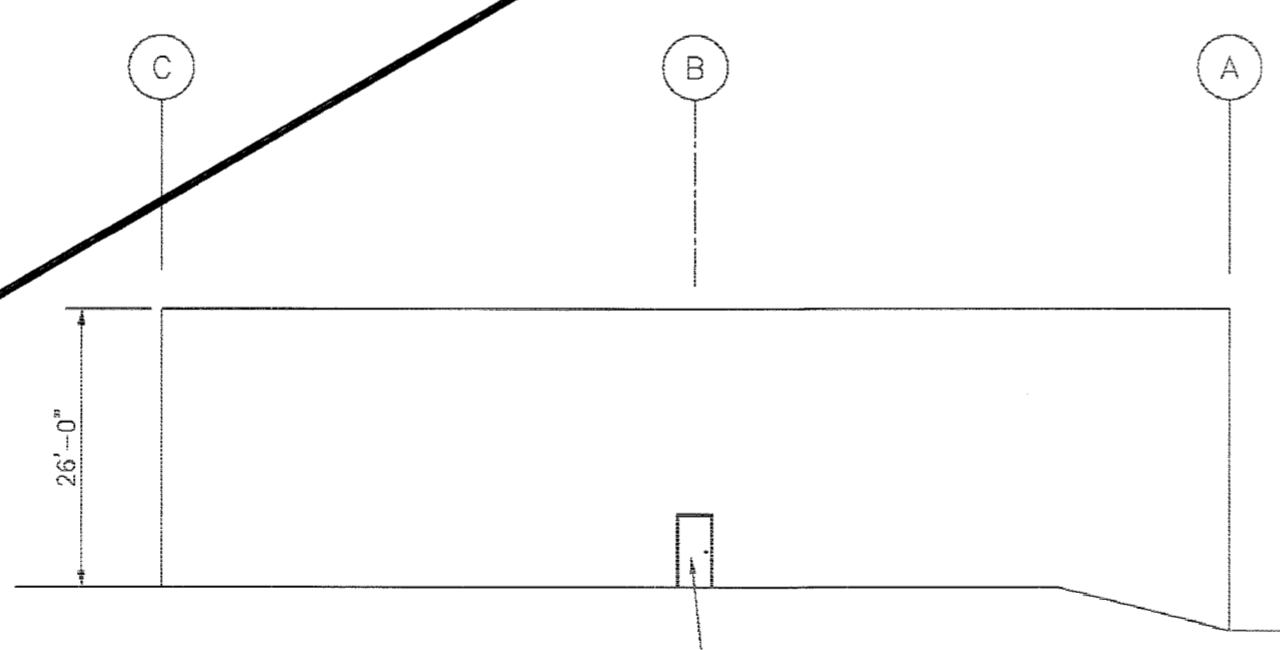
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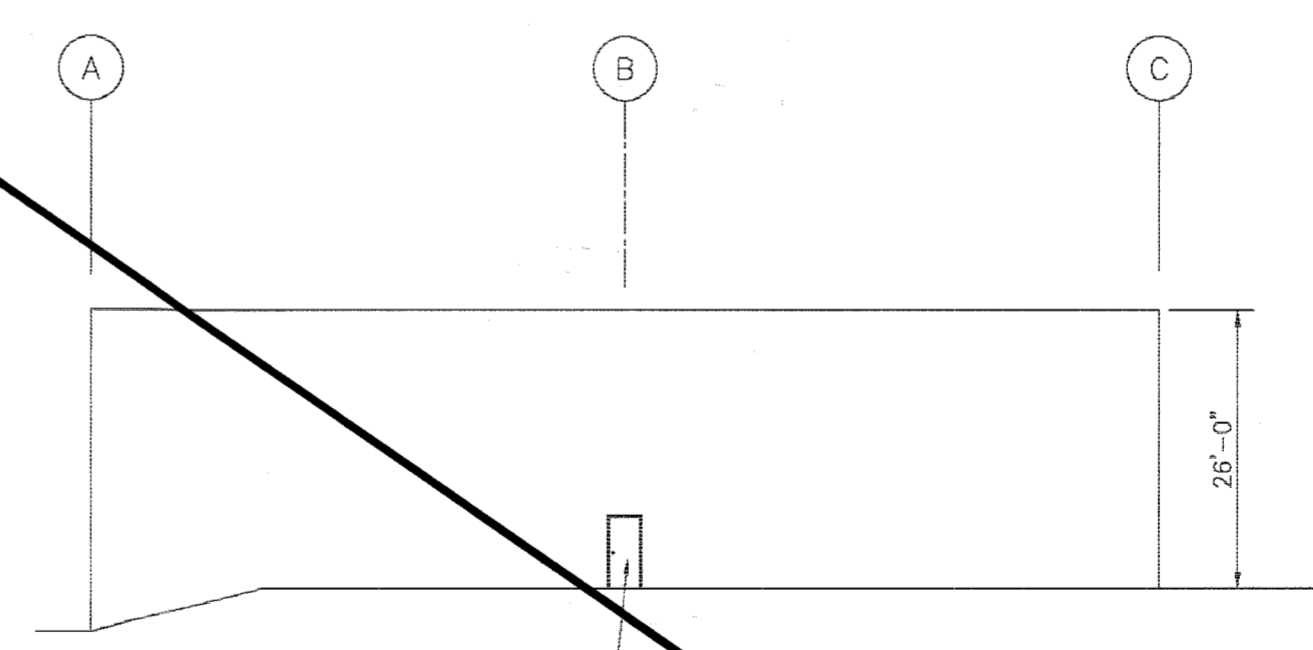
REAR ELEVATION BAYS 10-20



REAR ELEVATION BAYS 20-22



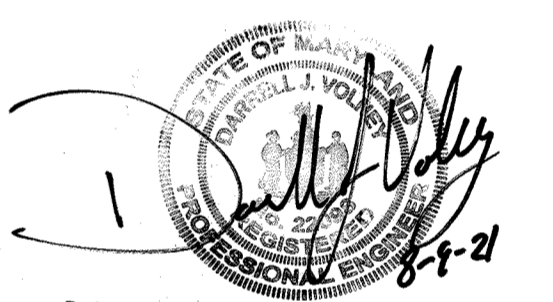
SIDE ELEVATION



SIDE ELEVATION

For Revision

Messick & Associates
 CONSULTING ENGINEERS,
 PLANNERS AND SURVEYORS
 7 OLD FORT CALONS ISLAND RD, STE 202
 ANNAPOLIS, MARYLAND 21401
 (410) 266-3212 • FAX (410) 266-3502
 email: www@messickandassociates.com
 *MESSICK GROUP, INC. IS A MESSICK & ASSOCIATES COMPANY



Professional Certification. I hereby certify that this document was prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland.
 License No. 22096 Expiration Date: 3/10/2022

NOTE:
 THIS BUILDING IS REPRESENTATIVE OF ALL THE BUILDINGS. BUILDINGS WILL BE PAINTED CONCRETE FINISH.

APPROVED: DEPARTMENT OF PLANNING AND ZONING

<i>[Signature]</i> Chief, Development Engineering Division	11-6-14 Date
<i>[Signature]</i> Chief, Division of Land Development	11-20-14 Date
<i>[Signature]</i> Director	11/20/14 Date

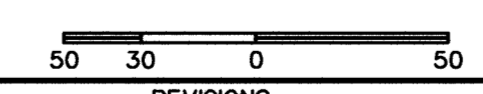
ADDRESS CHART

LOT / PARCEL NO.	STREET ADDRESS
PARCEL B-1	7901 OCEANO AVENUE
PARCEL E-1	7775 CHESAPEAKE BAY COURT

PERMIT INFORMATION CHART

SUBDIVISION NAME MARYLAND FOOD CENTER AUTHORITY	SECTION / AREA 3	LOT / PARCEL NO. B-1/662 & E-1/696
PLAT NO. or L/F 23017-23021	GRID NO. ZONING 21 M-2	TAX MAP NO. ELEC. DIST. CENSUS TRACT 43 6TH 6069.01

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 HORZ: NAD 83/95; VERT: NAVD 88



REVISIONS			
DATE	NO.	DESCRIPTION	BY
8/9/21	A	REVISED BUILDING 3 ELEVATIONS (SEE SHEET C-23)	M & A

SCHEMATIC PROFILE OF PROPOSED BUILDINGS
 BUILDING III
MARYLAND FOOD CENTER AUTHORITY
 (WAREHOUSE & OFFICE)

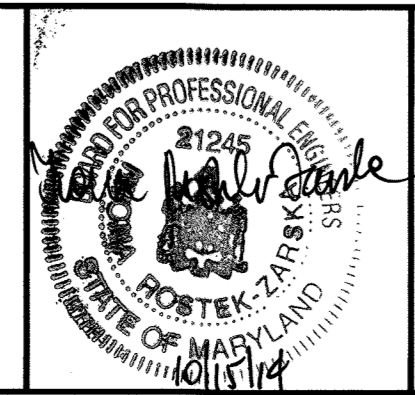
HOWARD COUNTY, MARYLAND
 SCALE: N/A

DATE: OCTOBER, 2014

DRAWING NO.
C-51
 SHEET 51 OF 83
 SDP-14-068

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 Consulting Engineers

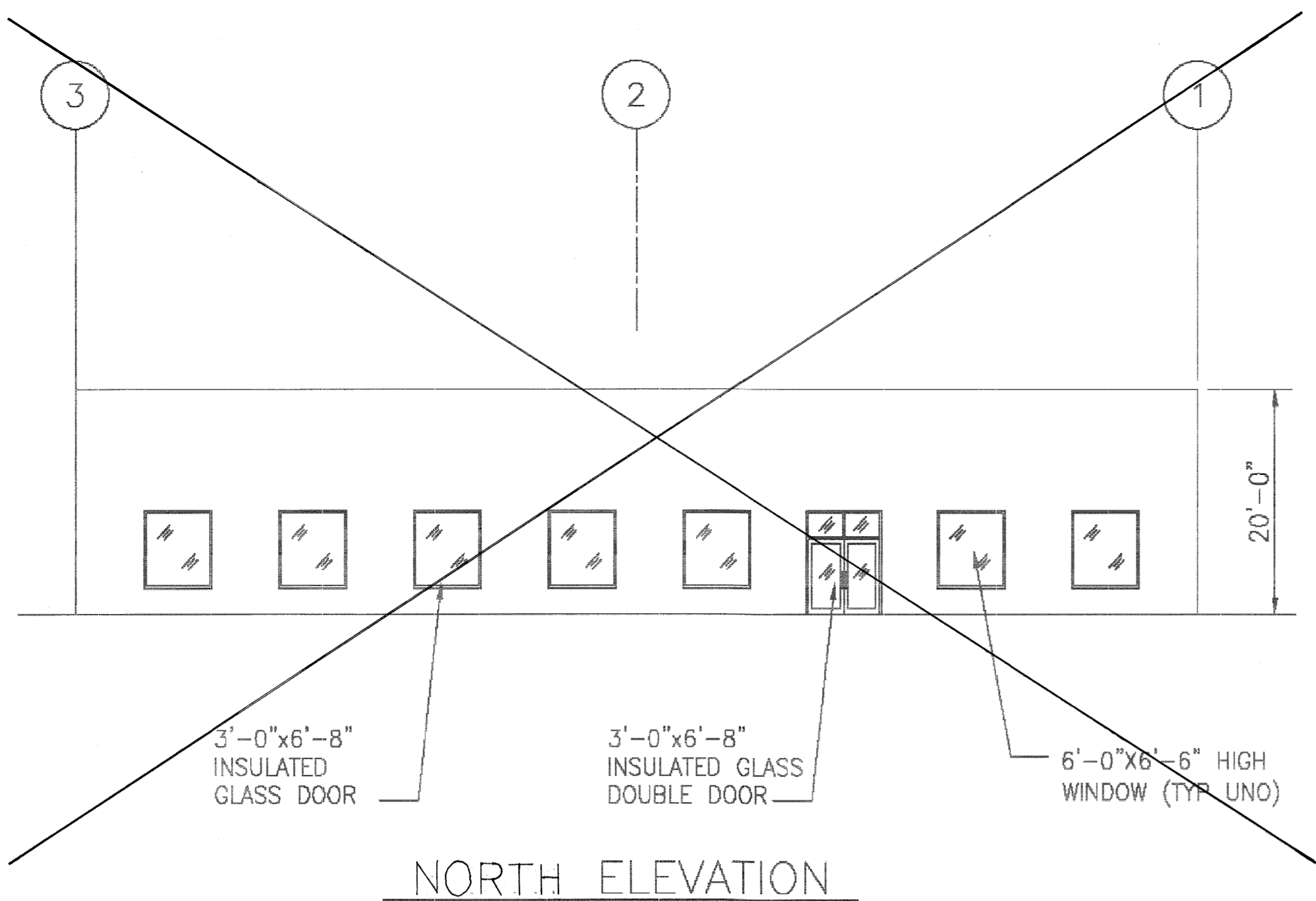
230 SCHILLING CIRCLE, SUITE 364 • HUNT VALLEY, MARYLAND 21031
 PHONE: 410.229.9851 • FAX: 410.229.9865 • BLDG@BLDGINC.COM



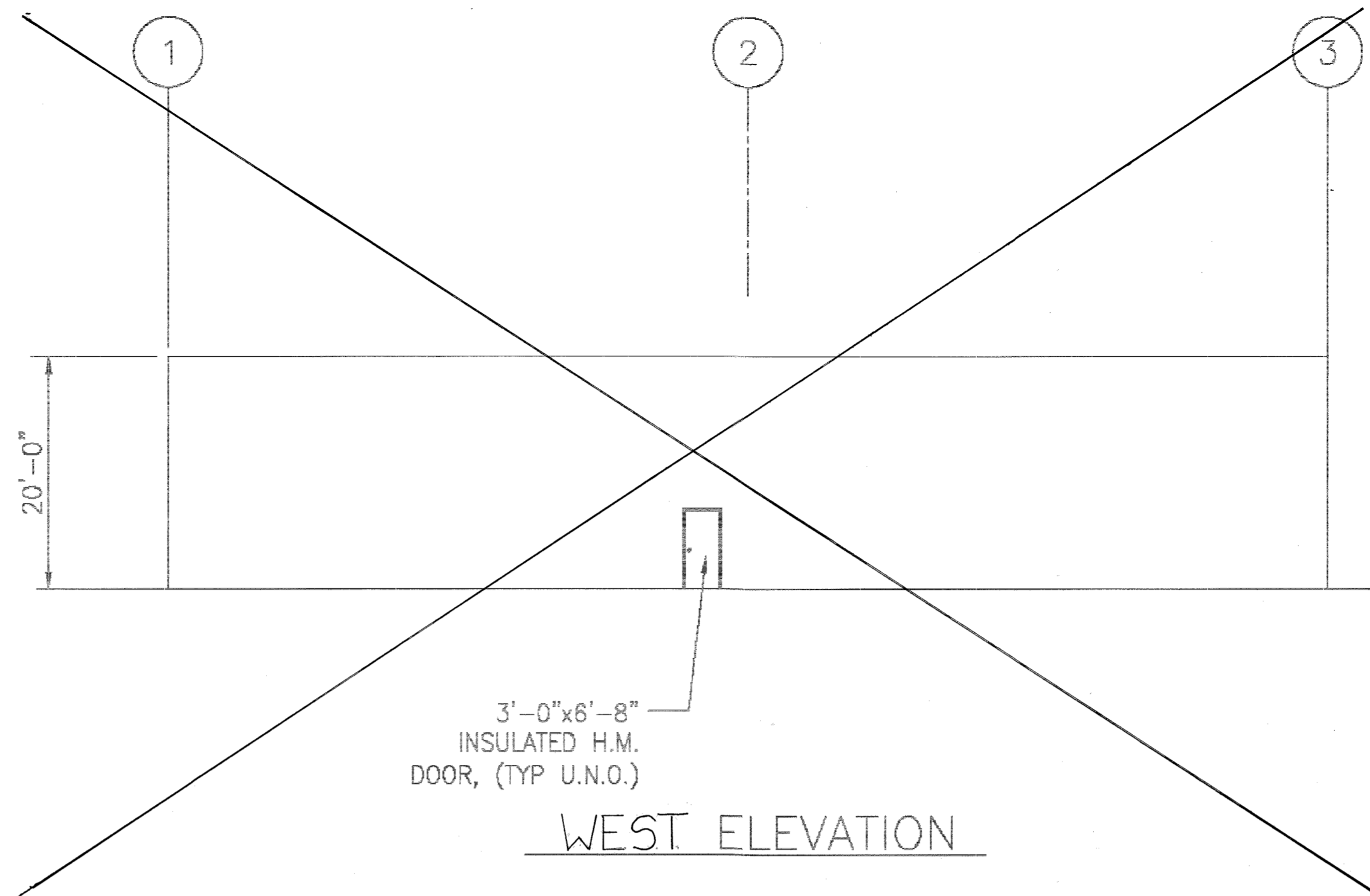
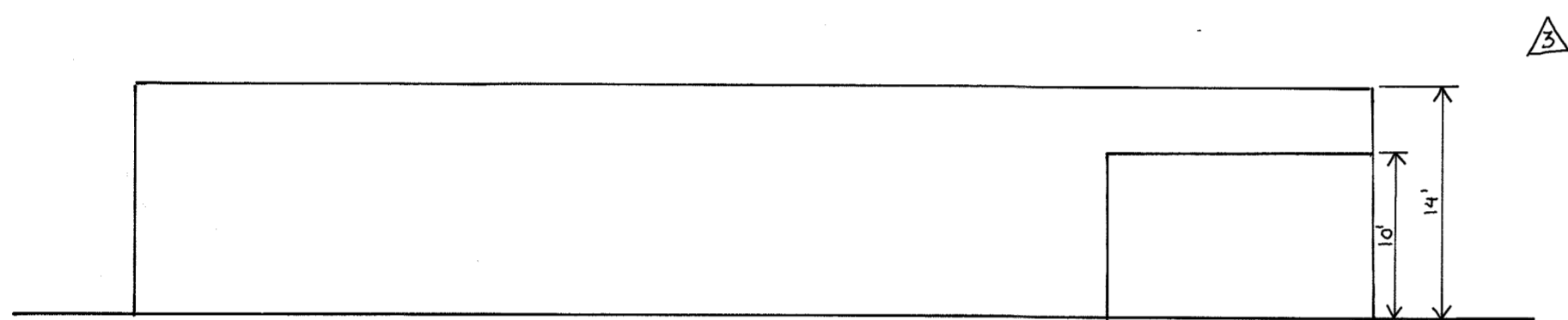
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 7801 OCEANO AVE
 JESSUP, MD 20794
 PHONE (410) 379-5760
 FAX (410) 379-5773

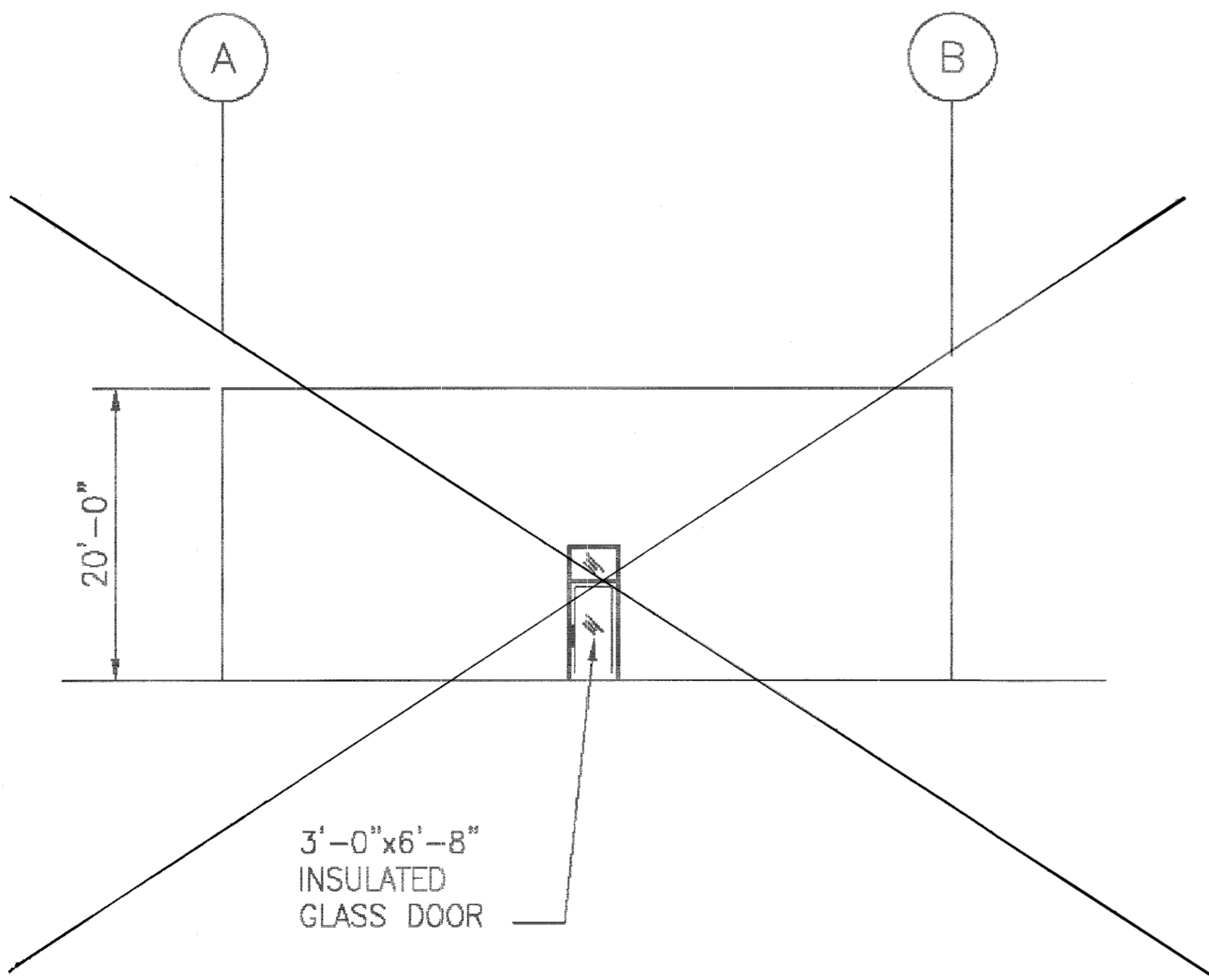
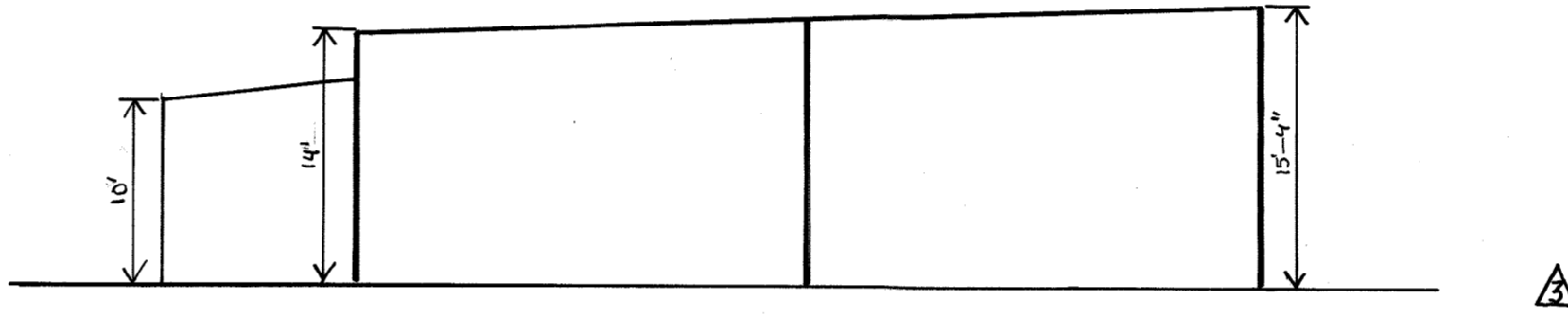
DEVELOPER / APPLICANT
 MERRITT PROPERTIES, LLC
 2066 LORD BALTIMORE DRIVE
 BALTIMORE, MD 21244
 PHONE (410) 298-2600
 FAX (410) 298-9644



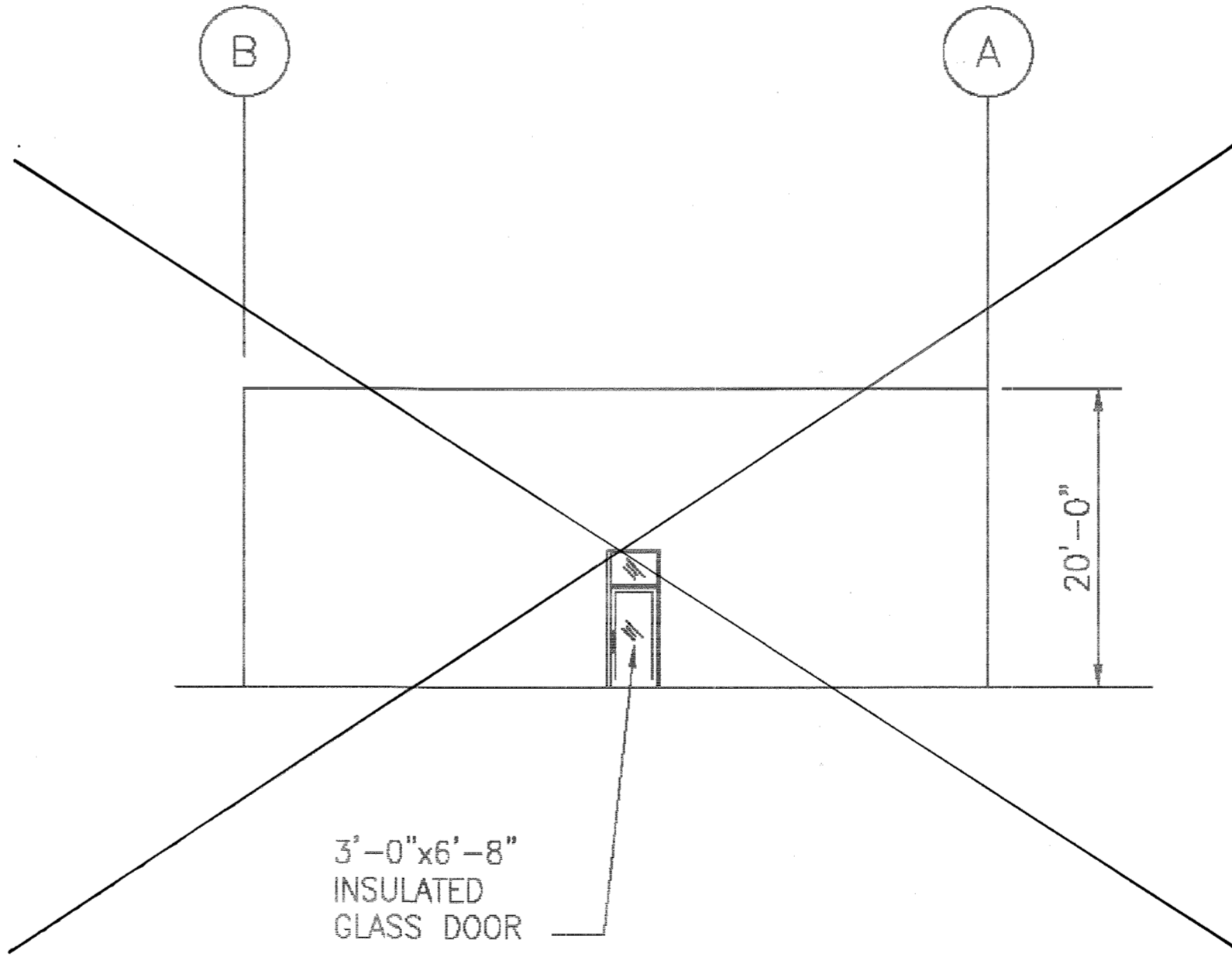
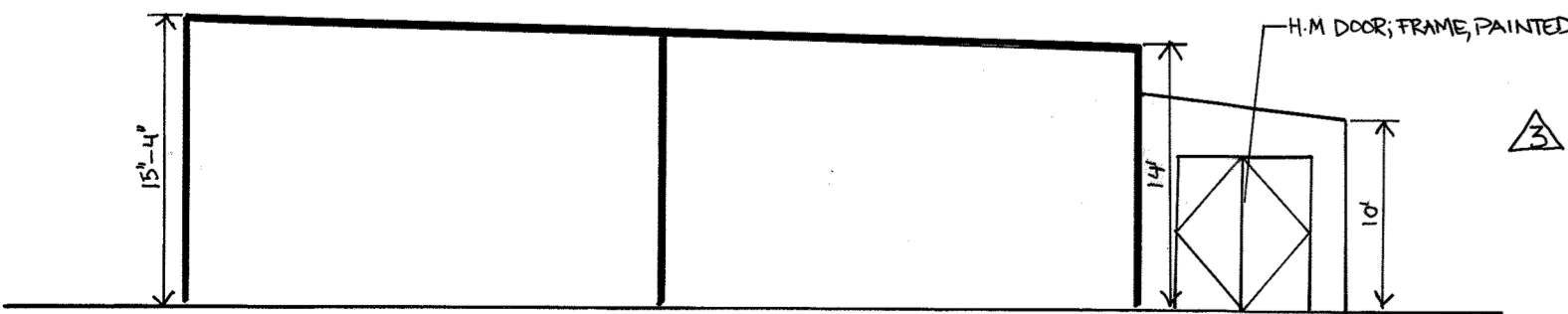
NORTH ELEVATION



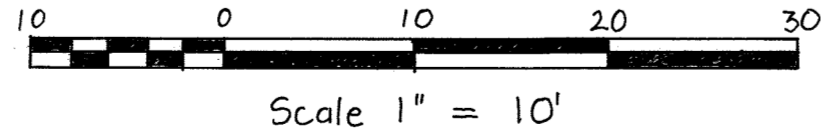
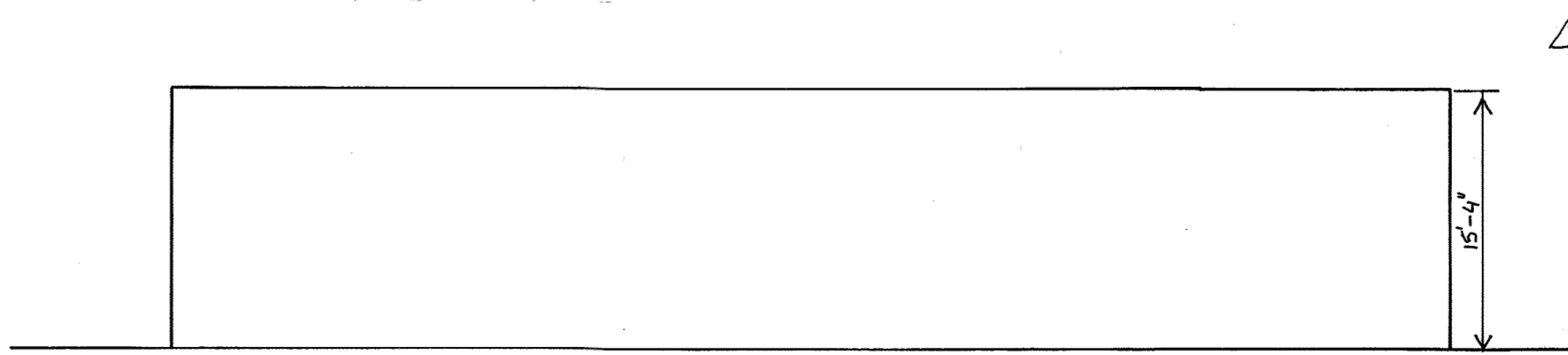
WEST ELEVATION



EAST ELEVATION



SOUTH ELEVATION



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MORRIS & RITCHIE ASSOCIATES, INC.
 ENGINEERS, PLANNERS, SURVEYORS AND LANDSCAPE ARCHITECTS
 1220 PARK CENTER DRIVE - LAUREL, MD 20707
 (410) 752-8752 (301) 775-1990 FAX: (410) 752-7365
 MRRA.COM

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FOR REVISION #3 ONLY

STATE OF MARYLAND
 PROFESSIONAL ENGINEER
 LICENSE NO. 29205
 EXPIRATION DATE: 06/11/2017

NO PROFESSIONAL CERTIFICATION
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 LICENSE NO.: 29205
 EXPIRATION DATE: 06/11/2017

NOTE:
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APPROVED: DEPARTMENT OF PLANNING AND ZONING

<i>[Signature]</i> Chief, Development Engineering Division	1/6/14 Date
<i>[Signature]</i> Chief, Division of Land Development	1/20/14 Date
<i>[Signature]</i> Director	1/21/14 Date

ADDRESS CHART

LOT / PARCEL NO.	STREET ADDRESS
PARCEL B-1	7901 OCEANO AVENUE
PARCEL E-1	7775 CHESAPEAKE BAY COURT

PERMIT INFORMATION CHART

SUBDIVISION NAME MARYLAND FOOD CENTER AUTHORITY	SECTION / AREA 3	LOT / PARCEL NO. B-1/662 & E-1/696
PLAT NO. or L/F 23017-23021	GRID NO. 21	ZONING M-2
TAX MAP NO. 43	ELEC. DIST. 6TH	CENSUS TRACT 6069.01

BLDG
 Baltimore Land Design Group Inc.
 Consulting Engineers
 230 SCHILLING CIRCLE, SUITE 364 • HUNT VALLEY, MARYLAND 21031
 PHONE: 410.229.9851 • FAX: 410.229.9865 • BLDG@BLDGINC.COM



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 JESSUP, MD 20794
 PHONE (410) 379-5760
 FAX (410) 379-5773

DEVELOPER / APPLICANT
 MERRITT PROPERTIES, LLC
 2066 LORD BALTIMORE DRIVE
 BALTIMORE, MD 21244
 PHONE (410) 298-2600
 FAX (410) 298-9644

REVISIONS			
DATE	NO.	DESCRIPTION	BY
9/18/15	1	REPLACED BUILDING IV WITH TRUCK WASH-OFF STATION	MRA

REVISED SITE DEVELOPMENT PLAN
 SCHEMATIC PROFILE OF PROPOSED BUILDINGS
 BUILDING IV
MARYLAND FOOD CENTER AUTHORITY
 PARCEL B-1 & E-1
 (WAREHOUSE & OFFICE)
 HOWARD COUNTY, MARYLAND
 SCALE: N/A
 DATE: OCTOBER, 2014

DRAWING NO.
C-52
 SHEET 52 OF 83
 SDP-14-068



APPROVED: DEPARTMENT OF PLANNING AND ZONING

John Colantoni 11-6-14
 Chief, Development Engineering Division Date

Kevin Stenhouse 11-20-14
 Chief, Division of Land Development Date

Shawna D. Anglin 11/16/14
 Director Date

ADDRESS CHART

LOT / PARCEL NO.	STREET ADDRESS
PARCEL B-1	7901 OCEANO AVENUE
PARCEL E-1	7775 CHESAPEAKE BAY COURT

PERMIT INFORMATION CHART

SUBDIVISION NAME	SECTION / AREA	LOT / PARCEL NO.
MARYLAND FOOD CENTER AUTHORITY	3	B-1/662 & E-1/696
PLAT NO. OR L/F	GRID NO.	ZONING
23017-23021	21	M-2
TAX MAP NO.	ELEC. DIST.	CENSUS TRACT
43	6TH	6069.01

NOTE:
 LIGHT POLES AND LIGHTS PER LIGHTING SUPPLIER SPECIFICATIONS. FOUNDATION BY GENERAL CONTRACTOR PER DETAIL 7 SHEET C-40.

Luminaire Schedule	Qty	Label	Arrangement	Total Lamp Lumens	LLF	Description
CS	16	ST2-HS	TWIN	40000	0.720	MPTR-3S-400-XX-HS
CS	6	ST1-HS	SINGLE	40000	0.720	MPTR-3S-400-XX-HS
CS	16	S2	BACK-BACK	40000	0.720	MPTR-3S-400
CS	39	SWP	SINGLE	44000	0.720	MPWP-GL-400-XX

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 FAX (410) 379-5773

DEVELOPER / APPLICANT
 MERRITT PROPERTIES, LLC
 2066 LORD BALTIMORE DRIVE
 BALTIMORE, MD 21244
 PHONE (410) 298-2600
 FAX (410) 298-9644

REVISIONS

DATE	NO.	DESCRIPTION	BY

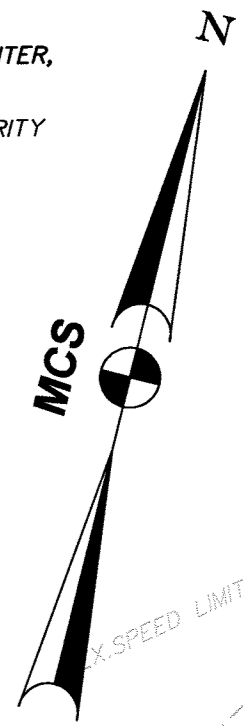
LIGHTING PLAN
 PLAN VIEW II
MARYLAND FOOD CENTER AUTHORITY
 PARCEL B-1 & E-1
 (WAREHOUSE & OFFICE)
 HOWARD COUNTY, MARYLAND
 SCALE: 1" = 50'
 DATE: OCTOBER, 2014

DRAWING NO.
C-54
 SHEET 54 OF 83
 SDP-14-068

MARYLAND WHOLESALE FOOD CENTER,
SECTION 2, PARCEL C3
PLAT: 7405
THE MARYLAND FOOD CTR AUTHORITY
THE WHOLESALE FOOD MARKET AUTHORITY
T.M.43 P.666 LOT.C3
TAX ID:444652
DEED:506/782
ZONED:M-2

OCEANO AVENUE
HOWARD COUNTY, MARYLAND
50' PUBLIC RIGHT-OF-WAY

MARYLAND WHOLESALE FOOD CENTER,
SECTION 3, PARCEL A
PLAT: 6843
THE MARYLAND FOOD CTR AUTHORITY
T.M.43 P.420 LOT.PAR A
TAX ID:392741
DEED:189/160
ZONED:M-2



N76°08'55"W 1,345.00'

N58°51'05"W 28.28'

N13°51'05"W 201.19'

N13°51'05"W 380.00'

F.F. ELEV. 235.95

PROPOSED BUILDING EXPANSION
BUILDING III
104,450 SF ±
FF 235.95

PARCEL B-1

BUILDING IV
4,500 SF ±
FF 235.95

PARCEL E-1

MATCH LINE
SEE SHEET C-53

MATCH LINE
SEE SHEET C-54

APPROVED: DEPARTMENT OF PLANNING AND ZONING	
<i>Chad...</i> Chief, Development Engineering Division	11/6/14 Date
<i>Victor...</i> Chief, Division of Land Development	11/20/14 Date
<i>Debra...</i> Director	11/20/14 Date

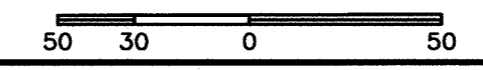
ADDRESS CHART	
LOT / PARCEL NO.	STREET ADDRESS
PARCEL B-1	7901 OCEANO AVENUE
PARCEL E-1	7775 CHESAPEAKE BAY COURT

PERMIT INFORMATION CHART			
SUBDIVISION NAME	SECTION / AREA	LOT / PARCEL NO.	
MARYLAND FOOD CENTER AUTHORITY	3	B-1/662 & E-1/696	
PLAT NO. or L/F	GRID NO.	ZONING	TAX MAP NO.
23017-23021	21	M-2	43
		ELEC. DIST.	CENSUS TRACT
		6TH	6069.01

NOTE:
LIGHT POLES AND LIGHTS PER LIGHTING SUPPLIER SPECIFICATIONS. FOUNDATION BY GENERAL CONTRACTOR PER DETAIL 7 SHEET C-40.

Luminaire Schedule	Qty	Label	Arrangement	Total Lamp Lumens	LLF	Description
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■	6	SI-HS	SINGLE	40000	0.720	MPTR-3S-400-XX-HS
■	16	S2	BACK-BACK	40000	0.720	MPTR-3S-400
■	39	SWP	SINGLE	44000	0.720	MPWP-GI-400-XX

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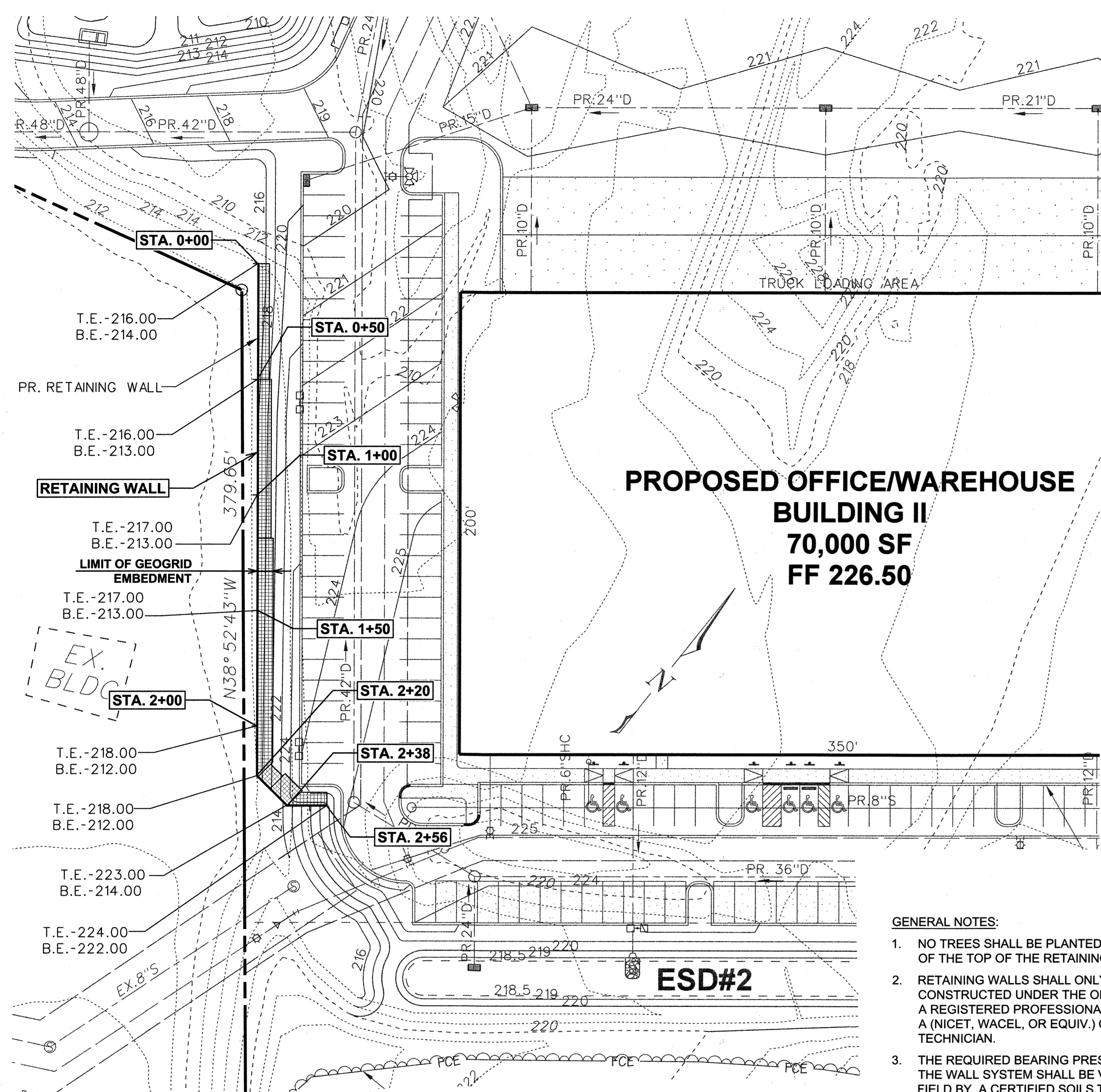
OWNER
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DEVELOPER / APPLICANT
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BALTIMORE, MD 21244
PHONE (410) 298-2600
FAX (410) 298-9644

REVISIONS			
DATE	NO.	DESCRIPTION	BY

LIGHTING PLAN
PLAN VIEW III
MARYLAND FOOD CENTER AUTHORITY
PARCEL B-1 & E-1
(WAREHOUSE & OFFICE)

DRAWING NO.
C-55
SHEET 55 OF 83
SDP-14-068



WALL LOCATION PLAN
1" = 30'

SPECIFICATIONS

MODULAR CONCRETE BLOCK RETAINING WALL

PART 1: GENERAL

- 1.01 Description**
- Work shall consist of furnishing and construction of a Modular Retaining Wall System in accordance with these specifications and in reasonably close conformity with the lines, grades, design, and dimensions shown on the plans.
 - Work includes preparing foundation soil, furnishing and installing leveling pad, unit drainage fill and backfill to the lines and grades shown on the construction drawings.
 - Work includes furnishing and installing geogrid soil reinforcement of the type, size, location, and lengths designated on the construction drawings.

1.02 Delivery, Storage and Handling

- Contractor shall check all materials upon delivery to assure that the proper type, grade, color, and certification has been received.
- Contractor shall protect all materials from damage due to job site conditions and in accordance with manufacturer's recommendations. Damaged materials shall not be incorporated into the work.

PART 2: PRODUCTS

2.01 Modular Concrete Retaining Wall Units

- Modular concrete units shall conform to the following architectural requirements:
 - face color - color may be specified by the Owner.
 - face finish - sculptured rock face in angular tri-planer or flat configuration. Other face finishes will not be allowed without written approval of Owner.
 - bond configuration - running with bonds nominally located at midpoint vertically adjacent units, in both straight and curved alignments.
 - exposed surfaces of units shall be free of chips, cracks or other imperfections when viewed from a distance of 10 feet under diffused lighting.
- Modular concrete materials shall conform to the requirements of ASTM C1372 - Standard Specifications for Segmental Retaining Wall Units.
- Modular concrete units shall conform to the following structural and geometric requirements measured in accordance with appropriate references:
 - compressive strength = 3000 psi minimum; absorption = 8% maximum (6% in northern states) for standard weight aggregates;
 - dimensional tolerances = ±1/8" from nominal unit dimensions not including rough split face, ±1/16"
 - unit height - top and bottom planes; unit size - 8" (H) x 18" (W) x 12" (D) minimum;

- unit weight - 75 lbs/unit minimum for standard weight aggregates;
 - inter-unit shear strength - 1000 plf minimum at 2 psi normal pressure; at 2 psi normal force.
 - geogrid/unit peak connection strength - 1000 plf minimum
- D. Modular concrete units shall conform to the following constructability requirements: (if applicable)**
- vertical setback = 1/8" per course (near vertical) or 1" per course per the design; alignment and grid positioning mechanism - fiberglass pins, two per unit minimum;
 - maximum horizontal gap between erected units shall be 1/2 inch.

2.02 Shear Connectors (if applicable)

- Shear connectors shall be 1/2 inch diameter thermoset isophthalic polyester resin-protruded fiberglass reinforcement rods or equivalent to provide connection between vertically and horizontally adjacent units. Strength of shear connectors between vertical adjacent units shall be applicable over a design temperature of 10 degrees F to +100 degrees F. B. Shear connectors shall be capable of holding the geogrid in the proper design position during grid pre-tensioning and backfilling.

2.03 Base Leveling Pad Material

- Material shall consist of a compacted #57 crushed stone base as shown on the construction drawings.

2.04 Unit Drainage Fill

- Unit drainage fill shall consist of #57 crushed stone

2.05 Reinforced Backfill

- Reinforced backfill shall type SM, be free of debris and meet the following gradation tested in accordance with ASTM D-422 and meet other properties shown on the plan:

Sieve Size	Percent Passing
2 inch	100-75
3/4 inch	100-75
No. 40	0-60
No. 200	0-35

Plasticity Index (PI) <10 and Liquid Limit <35 per ASTM D-4318.

- Material can be site excavated soils where the above requirements can be met. Unsuitable soils for backfill (high plastic clays or organic soils) shall not be used in the reinforced soil mass.

2.06 Geogrid Soil Reinforcement

- Geosynthetic reinforcement shall consist of geogrids

manufactured specifically for soil reinforcement applications and shall be manufactured from high tenacity polyester yarn.

2.07 Drainage Pipe

- The drainage pipe shall be perforated corrugated HDPE pipe manufactured in accordance with ASTM D-1248.

PART 3 EXECUTION

3.01 Excavation

- Contractor shall excavate to the lines and grades shown on the construction drawings. Owner's representative shall be responsible for inspecting and approving the excavation prior to placement of leveling material or fill soils.

3.02 Base Leveling Pad

- Leveling pad material shall be placed to the lines and grades shown on the construction drawings, to a minimum thickness of 6 inches and extend laterally a minimum of 6" in front and behind the modular wall unit.

- Leveling pad shall be prepared to insure full contact to the base surface of the concrete units.

3.03 Modular Unit Installation

- First course of units shall be placed on the leveling pad at the appropriate line and grade. Alignment and level shall be checked in all directions and insure that all units are in full contact with the base and properly seated.

- Place the front of units side-by-side. Do not leave gaps between adjacent units. Layout of corners and curves shall be in accordance with manufacturer's recommendations.

- Install shear/connecting devices per manufacturer's recommendations.

- Place and compact drainage fill within and behind wall units. Place and compact backfill soil behind drainage fill. Follow wall erection and drainage fill closely with structure backfill.

- Maximum stacked vertical height of wall units, prior to unit drainage fill and backfill placement and compaction, shall not exceed three courses.

3.04 Structural Geogrid Installation

- The Owner shall engage inspection and testing services, including independent laboratories, to provide quality assurance and testing services during construction.

- Geogrid reinforcement shall be placed at the strengths, lengths, and elevations shown on the construction design drawings or as directed by the Engineer.

- The geogrid shall be laid horizontally on compacted backfill and attached to the modular wall units. Place the next course of modular concrete units over the geogrid. The geogrid shall be pulled taut, and anchored prior to backfill placement on the geogrid.

- Geogrid reinforcements shall be continuous throughout their embedment lengths and placed side-by-side to provide 100% coverage at each level. Spliced connections between shorter pieces of geogrid or gaps between adjacent pieces of geogrid are not permitted.

3.05 Reinforced Backfill Placement

- Reinforced backfill shall be placed, spread, and compacted in such a manner that minimizes the development of slack in the geogrid and installation damage.

- Reinforced backfill shall be placed and compacted in lifts not to exceed 6 inches where hand compaction is used, or 8 - 10 inches where heavy compaction equipment is used. Lift thickness shall be decreased to achieve the required density as required.

- Reinforced backfill shall be compacted to 95% of the maximum density as determined by ASTM D698. The moisture content of the backfill material prior to and during compaction shall be uniformly distributed throughout each layer and shall be + 3% to - 3% of optimum.

- Only lightweight hand-operated equipment shall be allowed within 3 feet from the tail of the modular concrete unit.

- Tracked construction equipment shall not be operated directly upon the geogrid reinforcement. A minimum fill thickness of 6 inches is required prior to operation of tracked vehicles over the geogrid. Tracked vehicle turning should be kept to a minimum to prevent tracks from displacing the fill and damaging the geogrid.

- Rubber tired equipment may pass over geogrid reinforcement at slow speeds, less than 10 MPH. Sudden braking and sharp turning shall be avoided.

- At the end of each day's operation, the Contractor shall slope the last lift of reinforced backfill away from the wall units to direct runoff away from wall face. The Contractor shall not allow surface runoff from adjacent areas to enter the wall construction site.

3.06 Cap Installation

- Cap units shall be glued to underlying units with an all-weather adhesive recommended by the manufacturer.

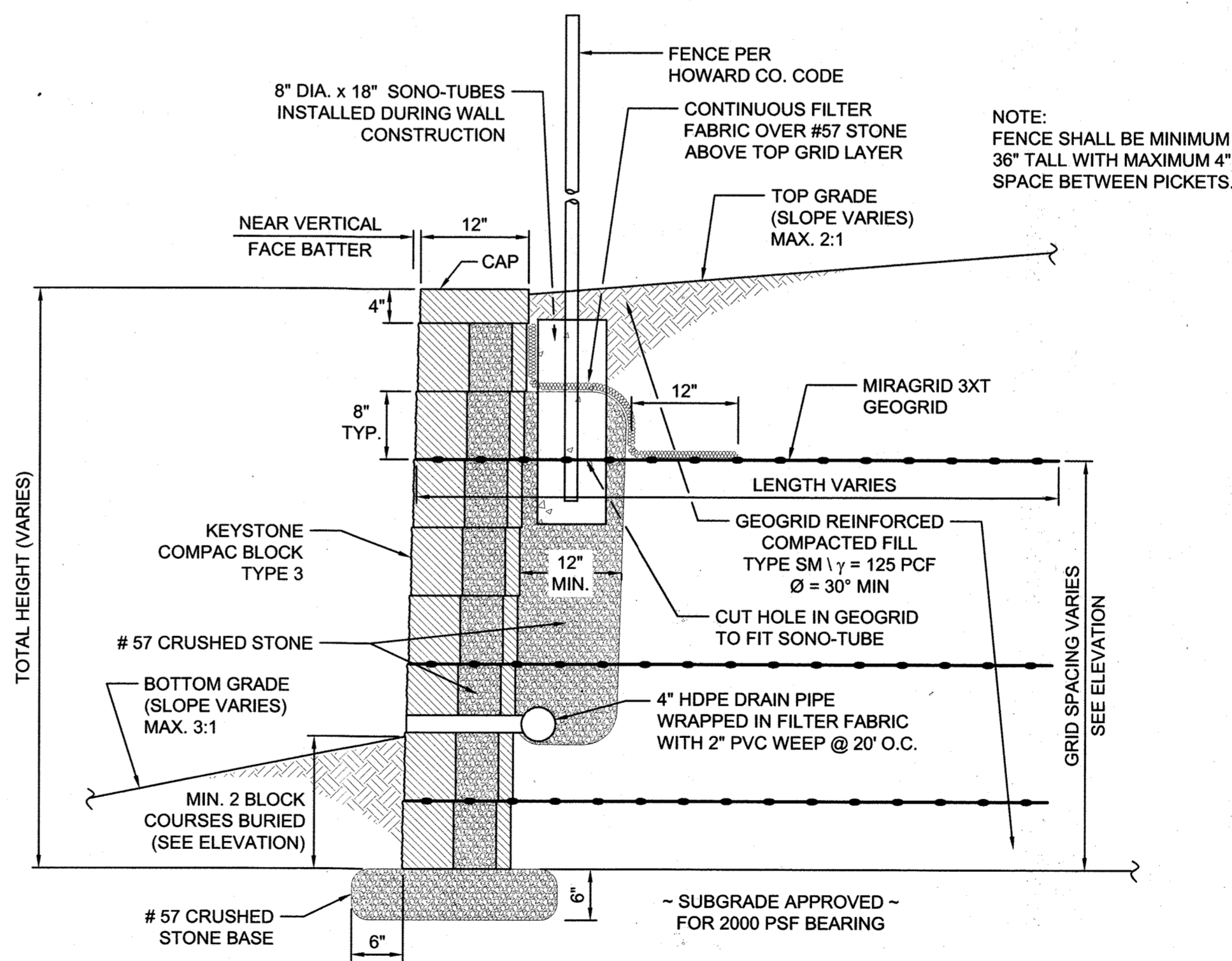
3.07 Field Quality Control

- The Owner shall engage inspection and testing services, including independent laboratories, to provide quality assurance and testing services during construction.

- As a minimum, quality assurance testing should include foundation soil inspection, soil and backfill testing, verification of design parameters, and observation of construction for general compliance with design drawings and specifications.

GENERAL NOTES:

- NO TREES SHALL BE PLANTED WITHIN 10 FEET OF THE TOP OF THE RETAINING WALL.
- RETAINING WALLS SHALL ONLY BE CONSTRUCTED UNDER THE OBSERVATION OF A REGISTERED PROFESSIONAL ENGINEER AND A (NICET, WACEL, OR EQUIV.) CERTIFIED SOILS TECHNICIAN.
- THE REQUIRED BEARING PRESSURE BENEATH THE WALL SYSTEM SHALL BE VERIFIED IN THE FIELD BY A CERTIFIED SOILS TECHNICIAN. TESTING DOCUMENTATION MUST BE PROVIDED TO THE HOWARD COUNTY INSPECTOR PRIOR TO START OF CONSTRUCTION. THE REQUIRED BEARING TEST SHALL BE THE DYNAMIC CONE PENETROMETER TEST ASTM STP-399.
- THE SUITABILITY OF FILL MATERIAL SHALL BE CONFIRMED BY THE ON-SITE SOILS TECHNICIAN. EACH 8" LIFT MUST BE COMPACTED TO A MINIMUM 95% STANDARD PROCTOR DENSITY AND THE TESTING REPORT SHALL BE MADE AVAILABLE TO THE HOWARD COUNTY INSPECTOR UPON COMPLETION OF CONSTRUCTION.
- WALLS SHALL NOT BE CONSTRUCTED ON UNCERTIFIED FILL MATERIALS.
- WALLS SHALL NOT BE CONSTRUCTED WITHIN A HOWARD CO. RIGHT-OF-WAY OR EASEMENT.



TYPICAL WALL SECTION
N.T.S.

THE COORDINATE SYSTEM OF ALL DRAWINGS IS BASED ON THE NORTH AMERICAN DATUM OF 1983. THE ELEVATION SYSTEM OF ALL DRAWINGS IS BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988.
HORZ: NAD 83/91; VERT: NAVD 88

APPROVED: DEPARTMENT OF PLANNING AND ZONING			
 Chief, Development Engineering Division Date: 11-6-14		 Chief, Division of Land Development Date: 11-20-14	
 Director Date: 11/20/14			
ADDRESS CHART			
LOT / PARCEL NO.	STREET ADDRESS		
PARCEL B-1	7901 OCEANO AVENUE		
PARCEL E-1	7775 CHESAPEAKE BAY COURT		
PERMIT INFORMATION CHART			
SUBDIVISION NAME	SECTION / AREA	LOT / PARCEL NO.	
MARYLAND FOOD CENTER AUTHORITY	3	B-1/662 & E-1/696	
PLAT NO. or L/F	GRID NO.	ZONING	TAX MAP NO.
23017 - 23021	21	M-2	43
		ELEC. DIST.	CENSUS TRACT
		6TH	6069.01

HILLIS-CARNES
ENGINEERING ASSOCIATES
10975 Guilford Road, Suite A Annapolis Junction, Maryland
(410) 880-4788 WWW.HCEA.COM Fax: (410) 880-4098

HCEA JOB NO.: 14133-A
DESIGNED BY: AM
DRAWN BY: AM
APPROVED BY: RWS

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 14434, EXPIRATION DATE: MAY 13, 2015.

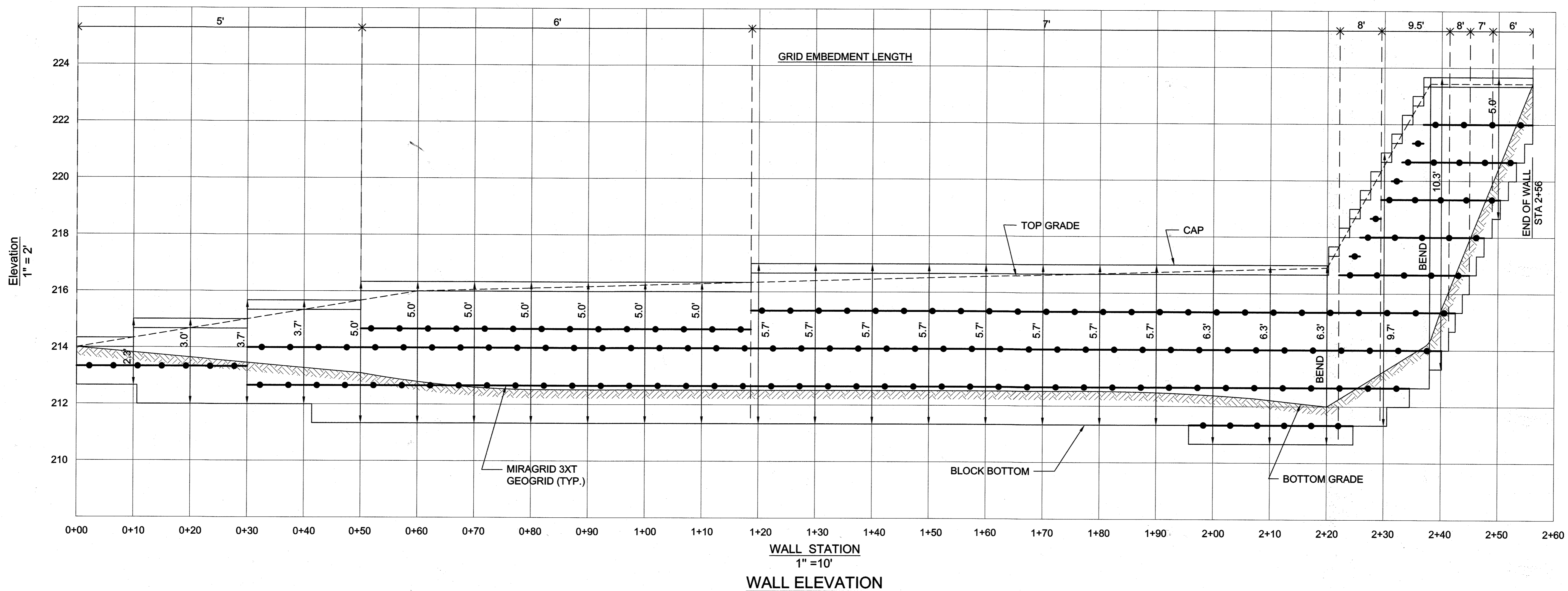
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REVISIONS			
DATE	NO.	DESCRIPTION	BY

RETAINING WALL PLAN AND DETAILS
MARYLAND FOOD CENTER AUTHORITY
PARCEL B-1 & E-1
(WAREHOUSE & OFFICE)
HOWARD COUNTY, MARYLAND
SCALE: AS SHOWN
DATE: OCTOBER, 2014

DRAWING NO.
C-56
SHEET 56 OF 83
SDP-14-068



APPROVED: DEPARTMENT OF PLANNING AND ZONING

<i>[Signature]</i>	11-6-14
Chief, Development Engineering Division	Date
<i>[Signature]</i>	11-20-14
Chief, Division of Land Development	Date
<i>[Signature]</i>	11-20-14
Director	Date

ADDRESS CHART

LOT / PARCEL NO.	STREET ADDRESS
PARCEL B-1	7901 OCEANO AVENUE
PARCEL E-1	7775 CHESAPEAKE BAY COURT

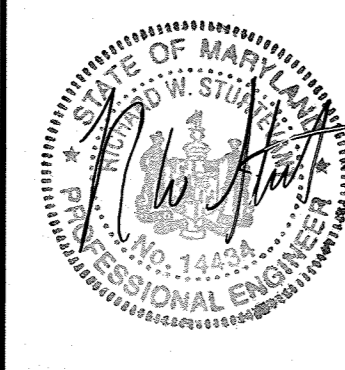
PERMIT INFORMATION CHART

SUBDIVISION NAME MARYLAND FOOD CENTER AUTHORITY	SECTION / AREA 3	LOT / PARCEL NO. B-1/662 & E-1/696
PLAT NO. or L/F 23017 - 23021	GRID NO. 21	ZONING M-2
TAX MAP NO. 43	ELEC. DIST. 6TH	CENSUS TRACT 6069.01

THE COORDINATE SYSTEM OF ALL DRAWINGS IS BASED ON THE NORTH AMERICAN DATUM OF 1983. THE ELEVATION SYSTEM OF ALL DRAWINGS IS BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1985. HORZ: NAD 83/91; VERT: NAVD 88

HILLIS-CARNES
ENGINEERING ASSOCIATES
10975 Gullford Road, Suite A Annapolis Junction, Maryland
(410) 890-4786 WWW.HCEA.COM Fax: (410) 890-4098

HCEA JOB NO.: 14133-A
DESIGNED BY: AM
DRAWN BY: AM
APPROVED BY: RWS



I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 14434, EXPIRATION DATE: MAY 13, 2015.

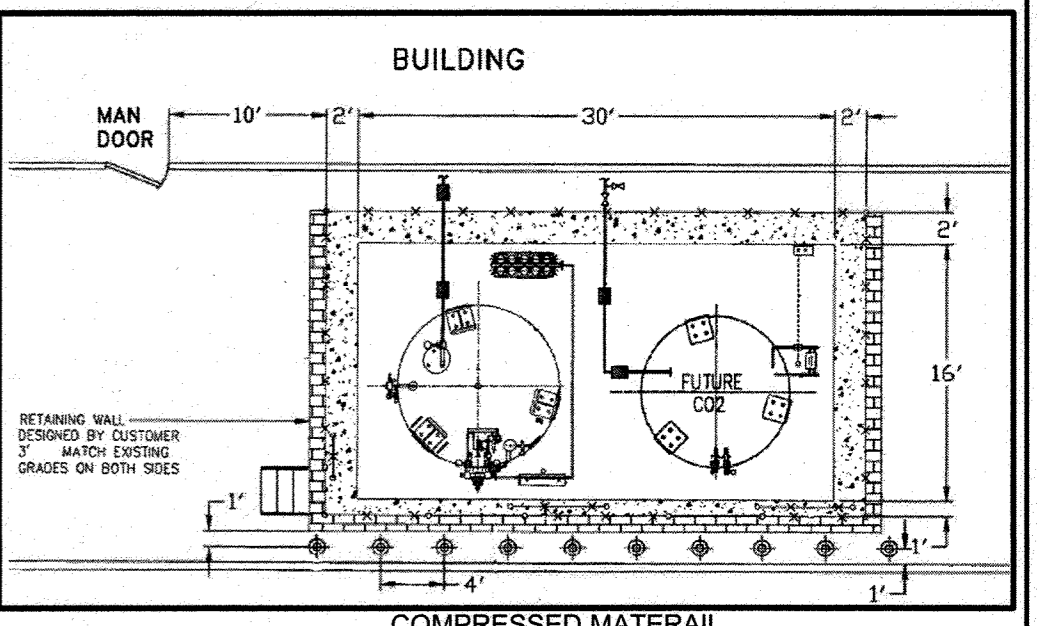
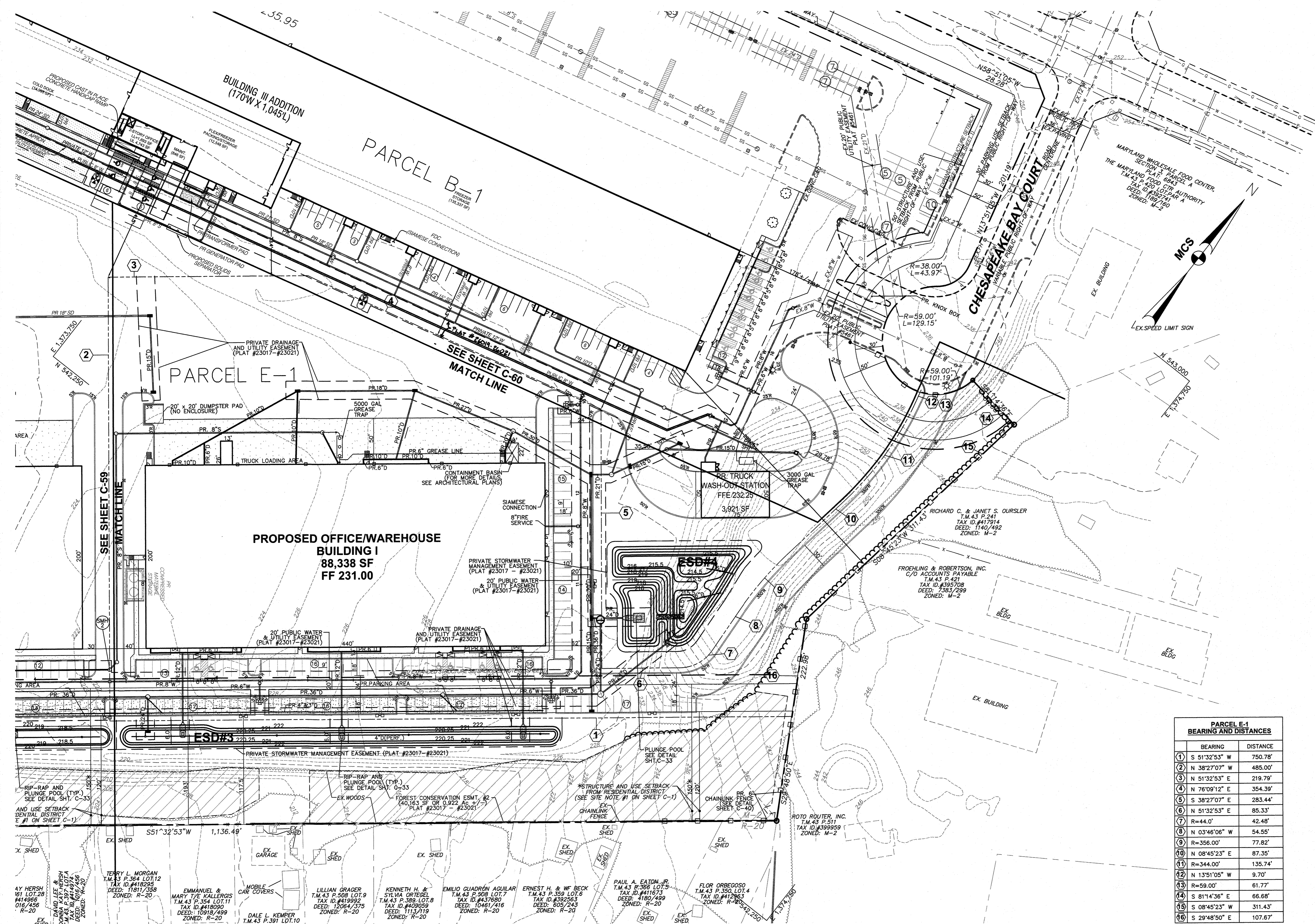
MARYLAND FOOD CENTER AUTHORITY
7801 OCEANO AVE
JESSUP, MD 20794
PHONE (410) 379-5760
FAX (410) 379-5773

MERRITT PROPERTIES, LLC
2066 LORD BALTIMORE DRIVE
BALTIMORE, MD 21244
PHONE (410) 298-2600
FAX (410) 298-9644

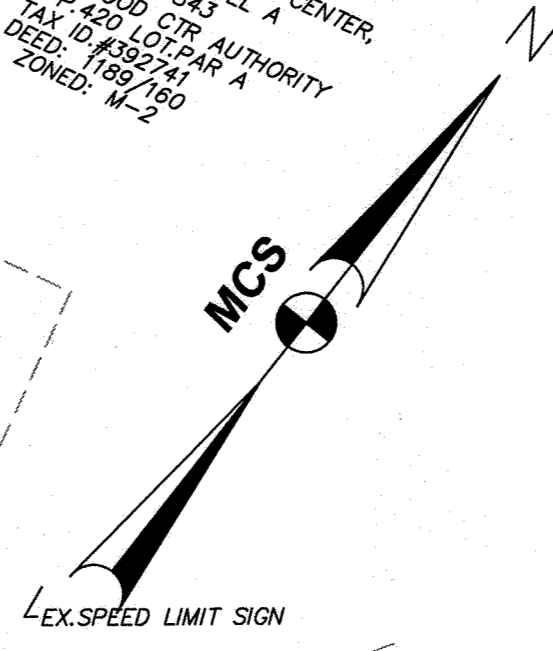
REVISIONS			
DATE	NO.	DESCRIPTION	BY

RETAINING WALL ELEVATION
MARYLAND FOOD CENTER AUTHORITY
PARCEL B-1 & E-1
(WAREHOUSE & OFFICE)
HOWARD COUNTY, MARYLAND
SCALE: AS SHOWN
DATE: OCTOBER, 2014

DRAWING NO.
C-57
SHEET 57 OF 83
SDP-14-068



COMPRESSED MATERIAL STORAGE LAYOUT (NOT TO SCALE)



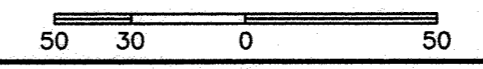
PARCEL E-1 BEARING AND DISTANCES		
BEARING	DISTANCE	
1	S 51°32'53" W	750.78'
2	N 38°27'07" W	485.00'
3	N 51°32'53" E	219.79'
4	N 76°09'12" E	354.39'
5	S 38°27'07" E	283.44'
6	N 51°32'53" E	85.33'
7	R=44.0'	42.48'
8	N 03°46'06" W	54.55'
9	R=356.00'	77.82'
10	N 08°45'23" E	87.35'
11	R=344.00'	135.74'
12	N 13°51'05" W	9.70'
13	R=59.00'	61.77'
14	S 81°14'36" E	66.68'
15	S 08°45'23" W	311.43'
16	S 29°48'50" E	107.67'

APPROVED: DEPARTMENT OF PLANNING AND ZONING	
Chief, Development Engineering Division	Date: 3/16/22
Chief, Division of Land Development	Date: 3-16-22
Director	Date: 3-16-22

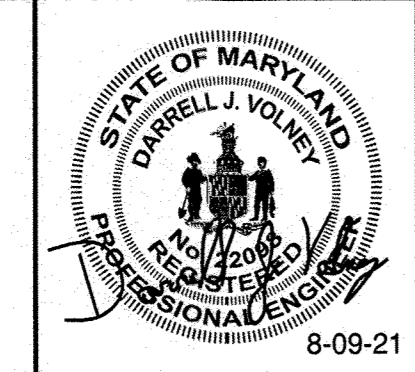
ADDRESS CHART	
LOT / PARCEL NO.	STREET ADDRESS
PARCEL B-1	7901 OCEANO AVENUE
PARCEL E-1	7775 CHESAPEAKE BAY COURT
PARCEL B-1	7725 CHESAPEAKE BAY COURT (TRUCK WASH FACILITY)

PERMIT INFORMATION CHART			
SUBDIVISION NAME	SECTION / AREA	LOT / PARCEL NO.	
MARYLAND FOOD CENTER AUTHORITY	3	B-1/662 & E-1/696	
PLAT NO. or L/F	GRID NO.	ZONING	TAX MAP NO.
23017-23021	21	M-2	43
			ELEC. DIST.
			6TH
			CENSUS TRACT
			6069.01

THE COORDINATE SYSTEM OF ALL DRAWINGS IS BASED ON THE NORTH AMERICAN DATUM OF 1983. THE ELEVATION SYSTEM OF ALL DRAWINGS IS BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988. HORIZ: NAD 83/91; VERT: NAVD 88



MESSICK & ASSOCIATES*
CONSULTING ENGINEERS, PLANNERS AND SURVEYORS
7 OLD SOLOMONS ISLAND ROAD, SUITE 202
ANNAPOLIS, MARYLAND 21401
(410) 266-3212 * FAX (410) 266-3502



PROFESSIONAL CERTIFICATION
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 22098, EXPIRATION DATE: SEPT. 10, 2022.

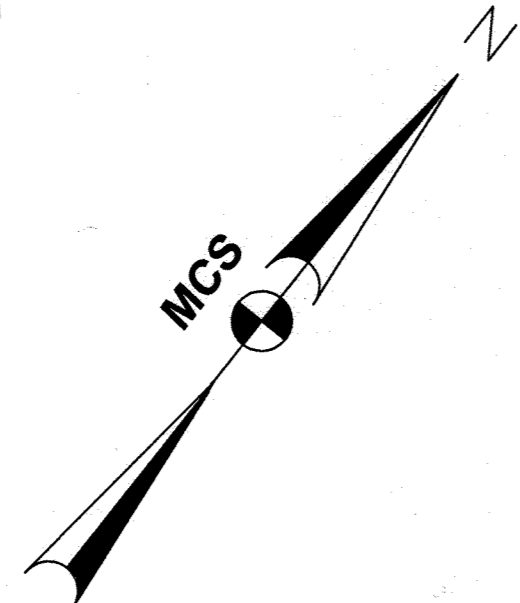
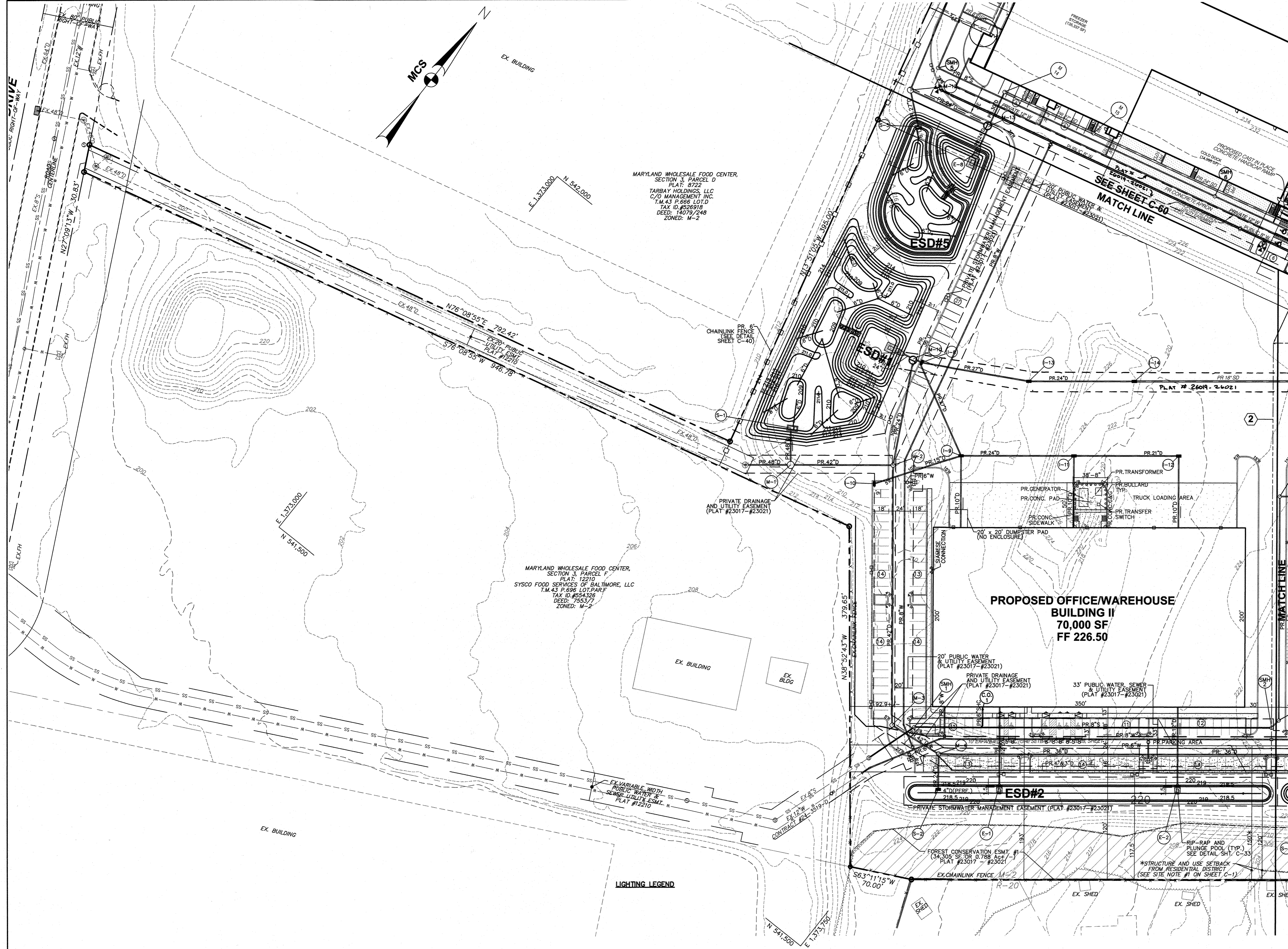
OWNER
MARYLAND FOOD CENTER AUTHORITY
7801 OCEANO AVE
JESSUP, MD 20794
PHONE (410) 379-5760
FAX (410) 379-5773

DEVELOPER / APPLICANT
MERRITT PROPERTIES, LLC
2066 LORD BALTIMORE DRIVE
BALTIMORE, MD 21244
PHONE (410) 298-2600
FAX (410) 298-9644

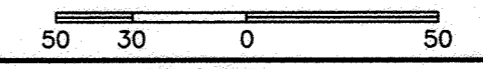
REVISIONS			
DATE	NO.	DESCRIPTION	BY
8/9/21	1	ADDED SHEET: TRUCK WASH FACILITY, WATER, AND STORM DRAIN; ADDED COMPRESSED STORAGE AREA	MMA

REVISED SITE DEVELOPMENT PLAN
SITE PLAN
PLAN VIEW I
MARYLAND FOOD CENTER AUTHORITY
PARCEL B-1 & E-1 (WAREHOUSE & OFFICE)
HOWARD COUNTY, MARYLAND
SCALE: 1" = 50'
DATE: AUGUST, 2021

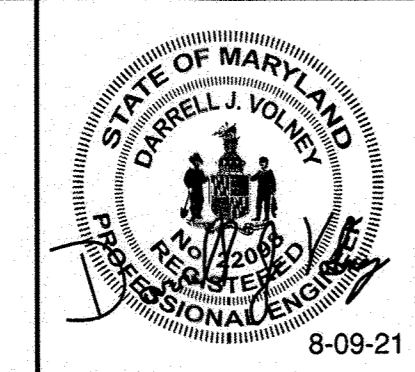
DRAWING NO.
C-58
SHEET 58 OF 83
SDP-14-06R



LIGHTING LEGEND



MESSICK & ASSOCIATES*
 CONSULTING ENGINEERS,
 PLANNERS AND SURVEYORS
 7 OLD SOLOMONS ISLAND ROAD, SUITE 202
 ANNAPOLIS, MARYLAND 21401
 (410) 266-3212 * FAX (410) 266-3502



PROFESSIONAL CERTIFICATION
 I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 22098, EXPIRATION DATE: SEPT. 10, 2022.

OWNER
 MARYLAND FOOD CENTER AUTHORITY
 7801 OCEANO AVE
 JESSUP, MD 20794
 PHONE (410) 379-5760
 FAX (410) 379-5773

DEVELOPER / APPLICANT
 MERRITT PROPERTIES, LLC
 2066 LORD BALTIMORE DRIVE
 BALTIMORE, MD 21244
 PHONE (410) 298-2600
 FAX (410) 298-9644

REVISIONS			
DATE	NO.	DESCRIPTION	BY
8/8/21	A	REVISED BUILDING 3 FOOTPRINT, WATER & STORM DRAIN	M&A

REVISED SITE DEVELOPMENT PLAN
SITE PLAN
 PLAN VIEW II
MARYLAND FOOD CENTER AUTHORITY
 PARCEL B-1 & E-1
 (WAREHOUSE & OFFICE)
 HOWARD COUNTY, MARYLAND
 SCALE: 1" = 50'
 DATE: AUGUST, 2021

DRAWING NO.
C-59
 SHEET 59 OF 83
 SDP-14-06R

APPROVED: DEPARTMENT OF PLANNING AND ZONING

Chief, Development Engineering Division	2/17/22
Chief, Division of Land Development	3/10/22
Director	3-10-22

ADDRESS CHART

LOT / PARCEL NO.	STREET ADDRESS
PARCEL B-1	7901 OCEANO AVENUE
PARCEL E-1	7775 CHESAPEAKE BAY COURT

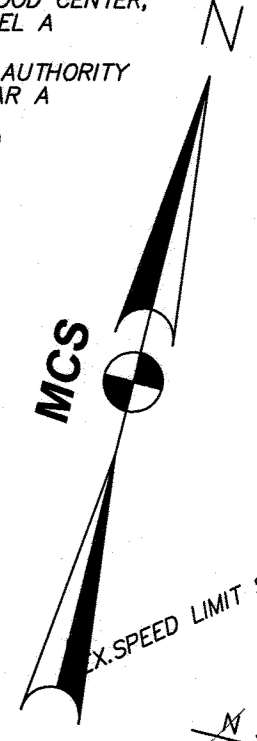
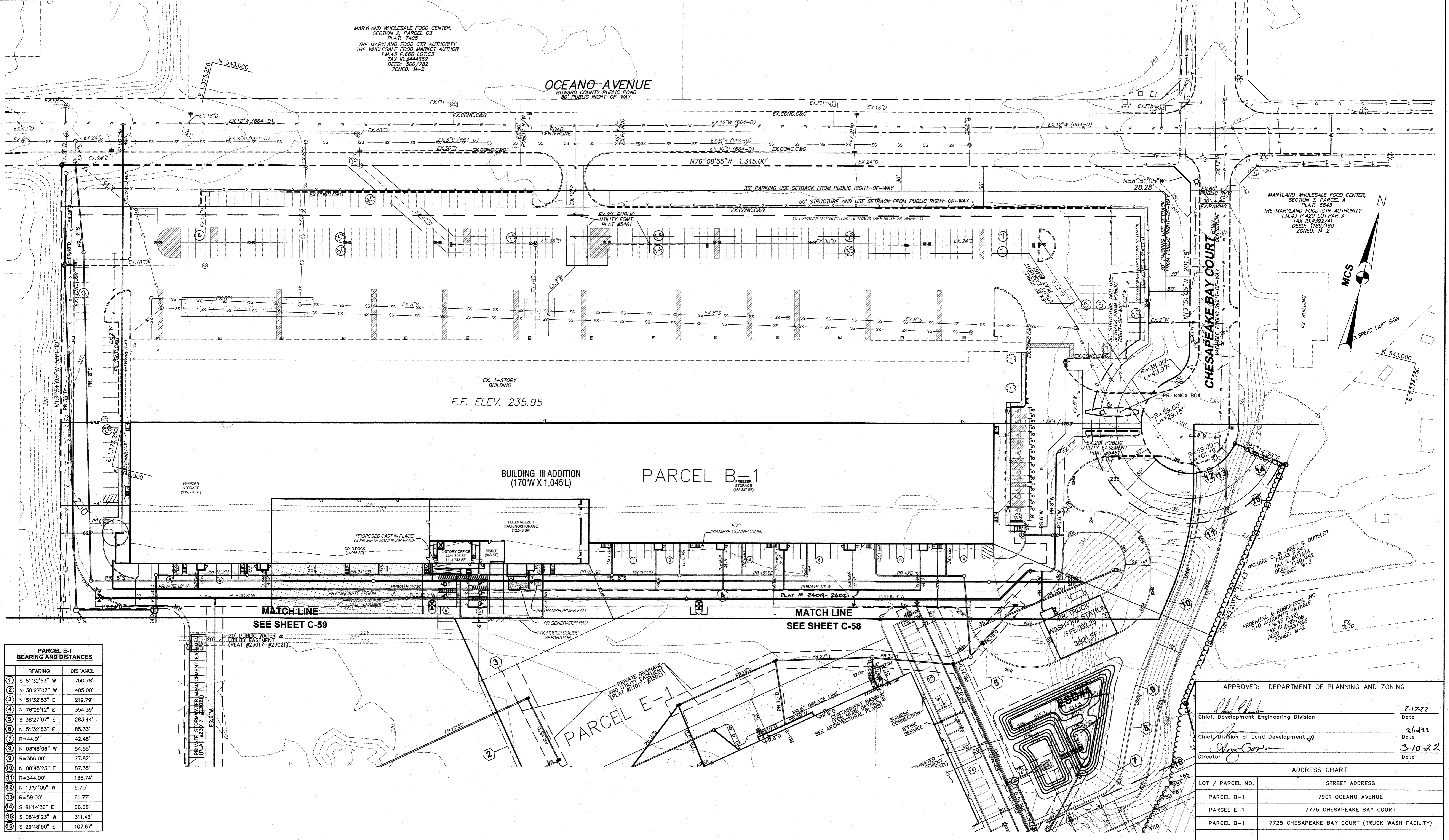
PERMIT INFORMATION CHART

SUBDIVISION NAME	SECTION / AREA	LOT / PARCEL NO.
MARYLAND FOOD CENTER AUTHORITY	3	B-1/662 & E-1/696
PLAT NO. or L/F	ZONING	TAX MAP NO.
23017-23021	M-2	43
		ELEC. DIST.
		6TH
		CENSUS TRACT
		6069.01

MARYLAND WHOLESALE FOOD CENTER,
SECTION 2, PARCEL C3
PLAT: 7405
THE MARYLAND FOOD CTR AUTHORITY
THE WHOLESALE FOOD MARKET AUTHORITY
T.M. 43 P. 666 LOT C3
TAX ID: #444652
DEED: 506/782
ZONED: M-2

OCEANO AVENUE
HOWARD COUNTY PUBLIC ROAD
PUBLIC RIGHT-OF-WAY

MARYLAND WHOLESALE FOOD CENTER,
SECTION 3, PARCEL A
PLAT: 6843
THE MARYLAND FOOD CTR AUTHORITY
T.M. 43 P. 420 LOT FAR A
TAX ID: #392741
DEED: 1189/160
ZONED: M-2



PARCEL E-1 BEARING AND DISTANCES

BEARING	DISTANCE
1 S 51°32'53" W	750.78'
2 N 38°27'07" W	485.00'
3 N 51°32'53" E	219.79'
4 N 76°09'12" E	354.39'
5 S 38°27'07" E	283.44'
6 N 51°32'53" E	85.33'
7 R=44.0'	42.48'
8 N 03°46'06" W	54.55'
9 R=356.00'	77.82'
10 N 08°45'23" E	87.35'
11 R=344.00'	135.74'
12 N 13°51'05" W	9.70'
13 R=59.00'	61.77'
14 S 81°14'36" E	66.68'
15 N 08°45'23" W	311.43'
16 S 29°48'50" E	107.67'

MATCH LINE
SEE SHEET C-59

MATCH LINE
SEE SHEET C-58

APPROVED: DEPARTMENT OF PLANNING AND ZONING

[Signature] 2/17/22
Chief, Development Engineering Division Date

[Signature] 3/14/22
Chief, Division of Land Development Date

[Signature] 3-10-22
Director Date

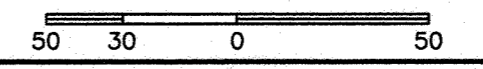
ADDRESS CHART

LOT / PARCEL NO.	STREET ADDRESS
PARCEL B-1	7901 OCEANO AVENUE
PARCEL E-1	7775 CHESAPEAKE BAY COURT
PARCEL B-1	7725 CHESAPEAKE BAY COURT (TRUCK WASH FACILITY)

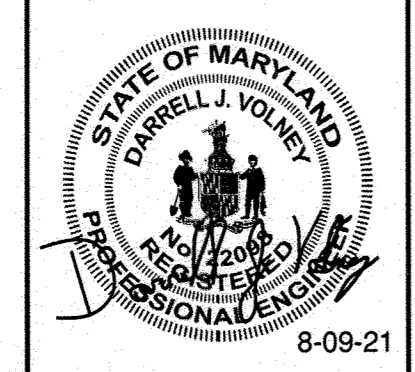
PERMIT INFORMATION CHART

SUBDIVISION NAME	SECTION / AREA	LOT / PARCEL NO.
MARYLAND FOOD CENTER AUTHORITY	3	B-1/662 & E-1/698
PLAT NO. or L/F	GRID NO.	ZONING
23017-23021	21	M-2
TAX MAP NO.	ELEC. DIST.	CENSUS TRACT
43	6TH	50589.01

THE COORDINATE SYSTEM OF ALL DRAWINGS IS BASED ON THE NORTH AMERICAN DATUM OF 1983. THE ELEVATION SYSTEM OF ALL DRAWINGS IS BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988.
HORIZ: NAD 83/91; VERT: NAVD 88



MESSICK & ASSOCIATES*
CONSULTING ENGINEERS,
PLANNERS AND SURVEYORS
7 OLD SOLOMONS ISLAND ROAD, SUITE 202
ANNAPOLIS, MARYLAND 21401
(410) 266-3212 * FAX (410) 266-3502



PROFESSIONAL CERTIFICATION
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 22098, EXPIRATION DATE: SEPT. 10, 2022.

OWNER
MARYLAND FOOD CENTER AUTHORITY
7801 OCEANO AVE
JESSUP, MD 20794
PHONE (410) 379-5760
FAX (410) 379-5773

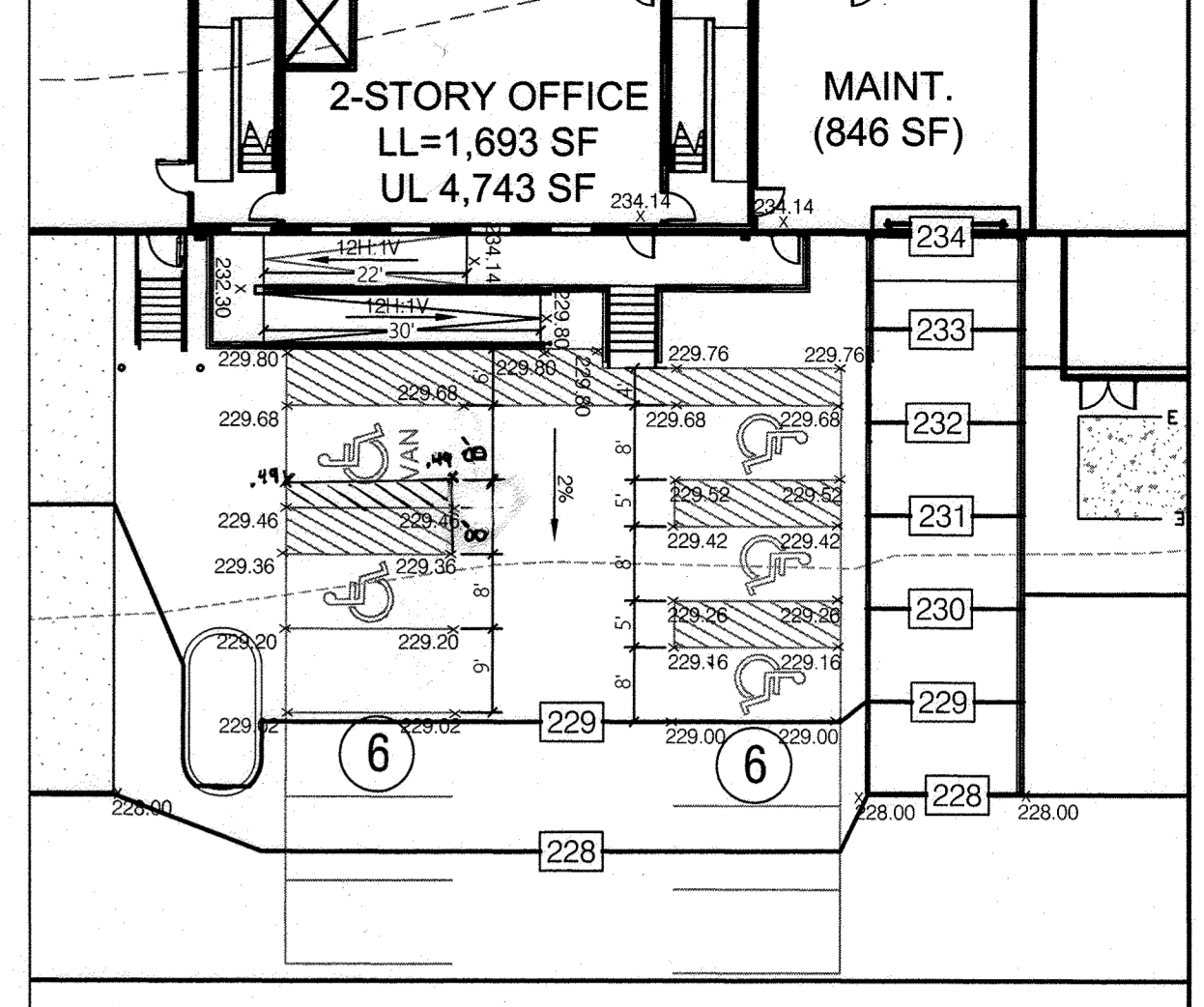
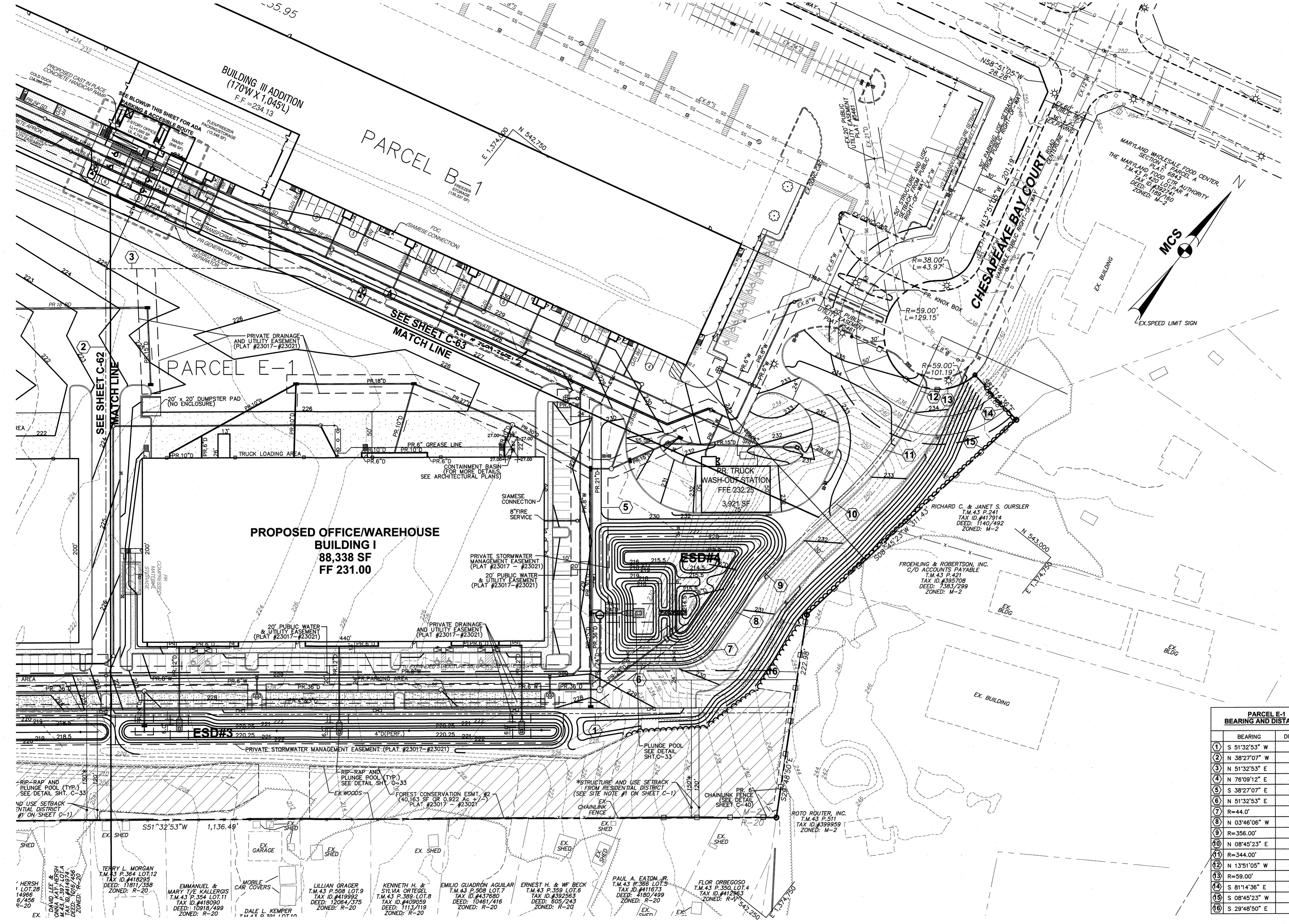
DEVELOPER / APPLICANT
MERRITT PROPERTIES, LLC
2066 LORD BALTIMORE DRIVE
BALTIMORE, MD 21244
PHONE (410) 298-2600
FAX (410) 298-9644

REVISIONS

DATE	NO.	DESCRIPTION	BY
8/9/21	1	ADDED SHEET - REVISED BUILDING 3 FOOTPRINT, WATER & STORM DRAIN	M&A

REVISED SITE DEVELOPMENT PLAN
SITE PLAN
PLAN VIEW III
MARYLAND FOOD CENTER AUTHORITY
PARCEL B-1 & E-1
(WAREHOUSE & OFFICE)

DRAWING NO.
C-60
HOWARD COUNTY, MARYLAND
SCALE: 1" = 50'
DATE: AUGUST, 2021
SHEET 60 OF 83
SNP-14-06R



ADA PARKING & ACCESSIBLE ROUTE BLOWUP
SCALE: 1"=20'
PARKING SPACES AND ACCESSIBLE ROUTES MAY NOT EXCEED 2% SLOPE

PARCEL E-1 BEARING AND DISTANCES	
BEARING	DISTANCE
1) S 51°32'53" W	750.78'
2) N 38°27'07" W	485.00'
3) N 51°32'53" E	219.79'
4) N 76°09'12" E	354.39'
5) S 38°27'07" E	283.44'
6) N 51°32'53" E	85.33'
7) R=44.0'	42.48'
8) N 03°46'08" W	54.55'
9) R=356.00'	77.82'
10) N 08°45'23" E	87.35'
11) R=344.00'	135.74'
12) N 13°51'05" W	9.70'
13) R=59.00'	61.77'
14) S 81°14'36" E	66.68'
15) S 08°45'23" W	311.43'
16) S 29°48'50" E	107.67'

APPROVED: DEPARTMENT OF PLANNING AND ZONING

[Signature] 7-17-22
Chief, Development Engineering Division Date

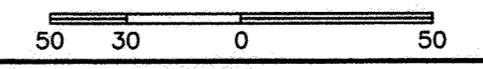
[Signature] 8/1/22
Chief, Division of Land Development Date

[Signature] 3-10-22
Director Date

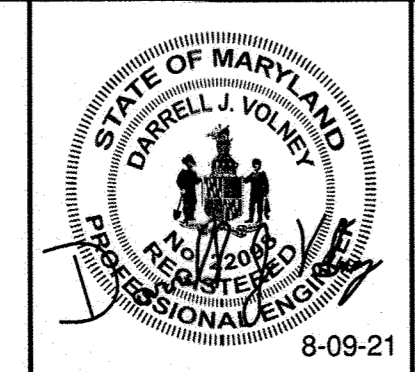
ADDRESS CHART	
LOT / PARCEL NO.	STREET ADDRESS
PARCEL B-1	7901 OCEANO AVENUE
PARCEL E-1	7775 CHESAPEAKE BAY COURT
▲ PARCEL B-1	7725 CHESAPEAKE BAY COURT (TRUCK WASH FACILITY)

PERMIT INFORMATION CHART				
SUBDIVISION NAME	SECTION / AREA	LOT / PARCEL NO.		
MARYLAND FOOD CENTER AUTHORITY	3	B-1/662 & E-1/696		
PLAT NO. or L/F	GRID NO.	ZONING	TAX MAP NO.	ELEC. DIST.
23017-23021	21	M-2	43	6TH
			CENSUS TRACT	
			6069.01	

THE COORDINATE SYSTEM OF ALL DRAWINGS IS BASED ON THE NORTH AMERICAN DATUM OF 1983. THE ELEVATION SYSTEM OF ALL DRAWINGS IS BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988.
HORIZ: NAD 83/91; VERT: NAVD 88



MESSICK & ASSOCIATES*
CONSULTING ENGINEERS, PLANNERS AND SURVEYORS
7 OLD SOLOMONS ISLAND ROAD, SUITE 202
ANNAPOLIS, MARYLAND 21401
(410) 266-3212 • FAX (410) 266-3502



PROFESSIONAL CERTIFICATION
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 22098, EXPIRATION DATE: SEPT. 10, 2022.

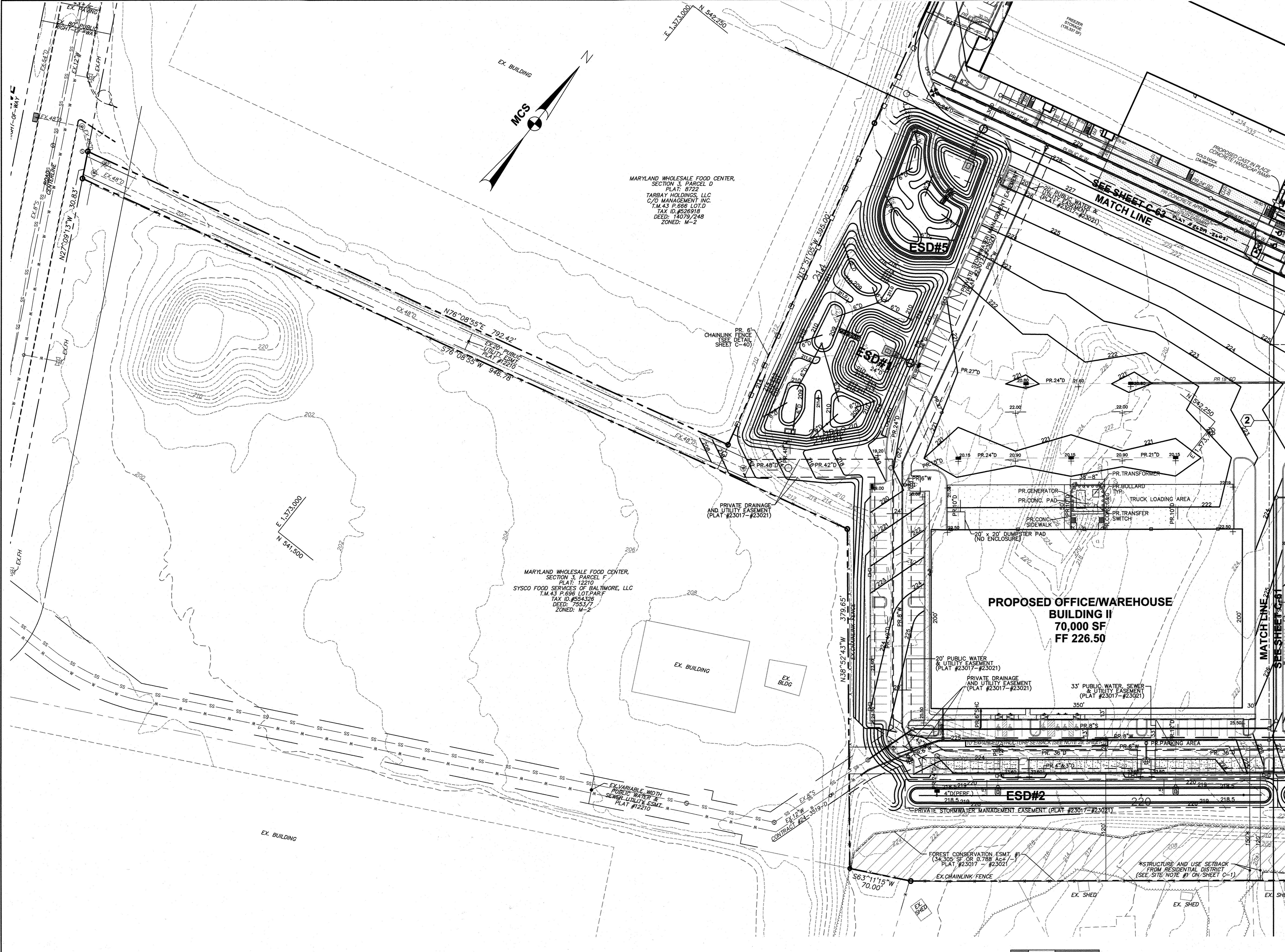
OWNER
MARYLAND FOOD CENTER AUTHORITY
7801 OCEANO AVE
JESSUP, MD 20794
PHONE (410) 379-5760
FAX (410) 379-5773

DEVELOPER / APPLICANT
MERRITT PROPERTIES, LLC
2066 LORD BALTIMORE DRIVE
BALTIMORE, MD 21244
PHONE (410) 298-2600
FAX (410) 298-9644

REVISIONS			
DATE	NO.	DESCRIPTION	BY
8/9/21	1	ADDED SHEET - REVISE BUILDING 3 FOOTPRINT, WATER & STORM DRAIN	MMA

REVISED SITE DEVELOPMENT PLAN
GRADING PLAN
PLAN VIEW I
MARYLAND FOOD CENTER AUTHORITY
PARCEL B-1 & E-1 (WAREHOUSE & OFFICE)
HOWARD COUNTY, MARYLAND
SCALE: 1" = 50'

DRAWING NO.
C-61
DATE: AUGUST, 2021
SHEET 61 OF 83
SDP-14-06A



MARYLAND WHOLESALE FOOD CENTER,
SECTION 3, PARCEL D
PLAT: 6722
TARBAY HOLDINGS, LLC
C/O MANAGEMENT INC.
T.M. 43 P. 666 LOT D
TAX ID: #526918
DEED: 14079/249
ZONED: M-2

MARYLAND WHOLESALE FOOD CENTER,
SECTION 3, PARCEL F
PLAT: 12210
SYSCO FOOD SERVICES OF BALTIMORE, LLC
T.M. 43 P. 666 LOT F
TAX ID: #554328
DEED: 7553/7
ZONED: M-2

THE COORDINATE SYSTEM OF ALL DRAWINGS IS
BASED ON THE NORTH AMERICAN DATUM OF 1983.
THE ELEVATION SYSTEM OF ALL DRAWINGS IS
BASED ON THE NORTH AMERICAN VERTICAL
DATUM OF 1988.
HORZ: NAD 83/91; VERT: NAVD 88

APPROVED: DEPARTMENT OF PLANNING AND ZONING	
<i>Phil Blum</i> Chief, Development Engineering Division	2-17-22 Date
<i>Steve</i> Chief, Division of Land Development	3/1/22 Date
<i>Angie Gorn</i> Director	3-10-22 Date

ADDRESS CHART	
LOT / PARCEL NO.	STREET ADDRESS
PARCEL B-1	7901 OCEANO AVENUE
PARCEL E-1	7775 CHESAPEAKE BAY COURT

PERMIT INFORMATION CHART			
SUBDIVISION NAME MARYLAND FOOD CENTER AUTHORITY	SECTION / AREA 3	LOT / PARCEL NO. B-1/662 & E-1/696	
PLAT NO. or L/F 23017-23021	GRID NO. 21	ZONING M-2	TAX MAP NO. 43
		ELEC. DIST. 6TH	CENSUS TRACT 6069.01

MESSICK & ASSOCIATES*
CONSULTING ENGINEERS,
PLANNERS AND SURVEYORS
7 OLD SOLOMONS ISLAND ROAD, SUITE 202
ANNAPOLIS, MARYLAND 21401
(410) 266-3212 * FAX (410) 266-3502



PROFESSIONAL CERTIFICATION
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED
BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER
THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 22098, EXPIRATION
DATE: SEPT. 10, 2022.

OWNER
MARYLAND FOOD
CENTER AUTHORITY
7801 OCEANO AVE
JESSUP, MD 20794
PHONE (410) 379-5760
FAX (410) 379-5773

DEVELOPER / APPLICANT
MERRITT PROPERTIES, LLC
2066 LORD BALTIMORE DRIVE
BALTIMORE, MD 21244
PHONE (410) 298-2600
FAX (410) 298-9644

REVISIONS			
DATE	NO.	DESCRIPTION	BY
8/9/21	1	ADDED SHEET - REVISED BUILDING 3 FOOTPRINT, WATER & STORM DRAIN	M&A

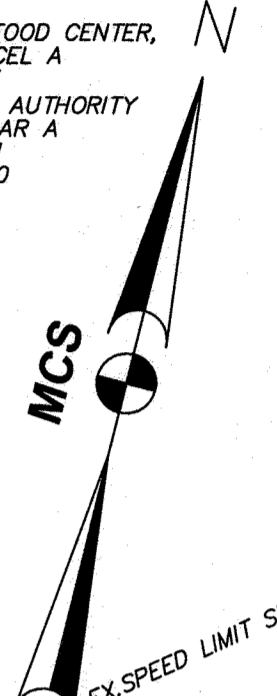
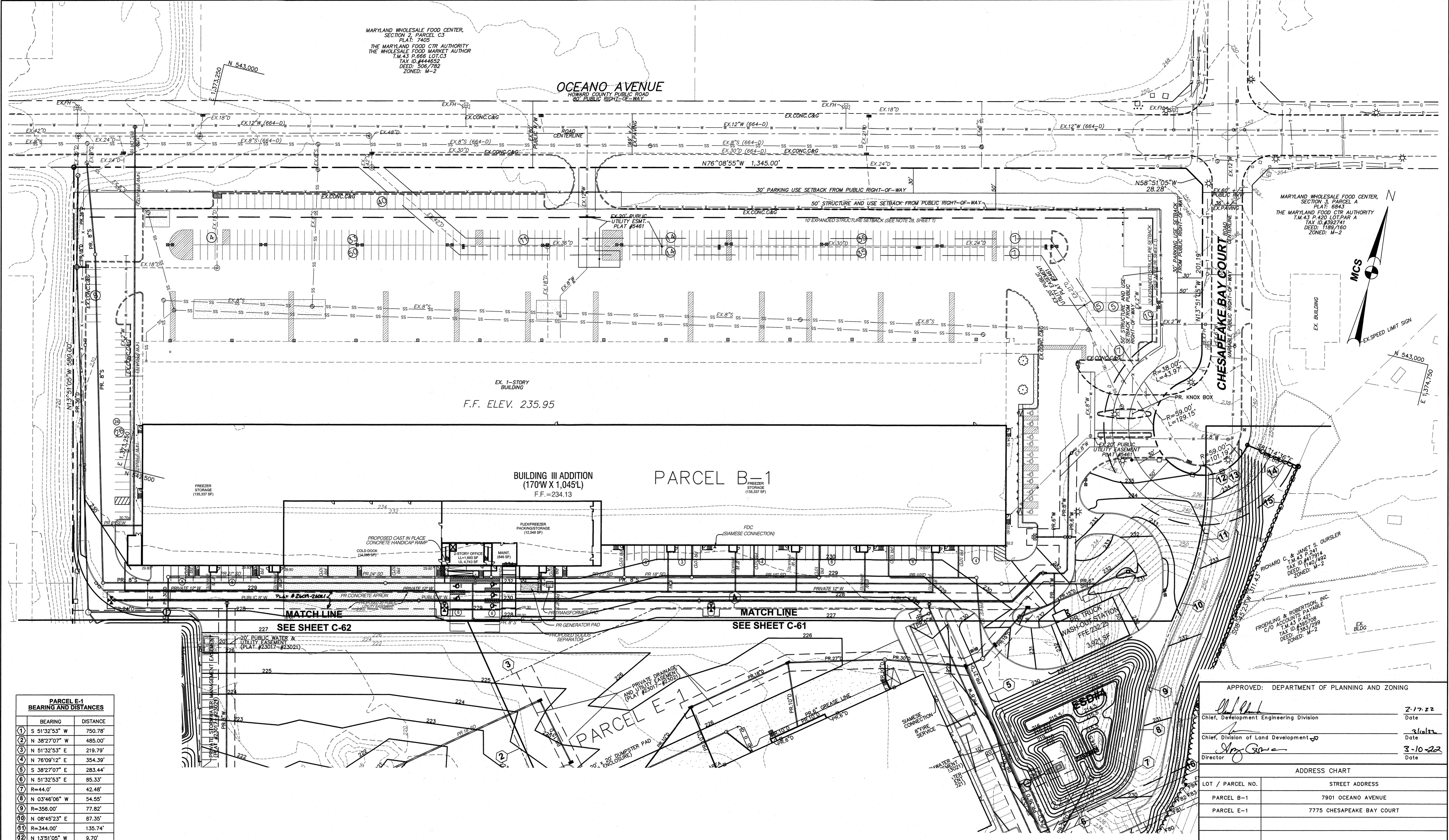
REVISED SITE DEVELOPMENT PLAN
GRADING PLAN
PLAN VIEW II
MARYLAND FOOD CENTER AUTHORITY
PARCEL B-1 & E-1
(WAREHOUSE & OFFICE)
HOWARD COUNTY, MARYLAND
SCALE: 1" = 50'
DATE: AUGUST, 2021

DRAWING NO.
C-62
SHEET 62 OF 83

MARYLAND WHOLESALE FOOD CENTER,
SECTION 2, PARCEL C3
PLAT: 7405
THE MARYLAND FOOD CENTER AUTHORITY
THE WHOLESALE FOOD MARKET AUTHORITY
T.M. 43 P. 666 LOT C3
TAX ID: #44652
DEED: 506/792
ZONED: M-2

OCEANO AVENUE
HOWARD COUNTY PUBLIC ROAD
30' PUBLIC RIGHT-OF-WAY

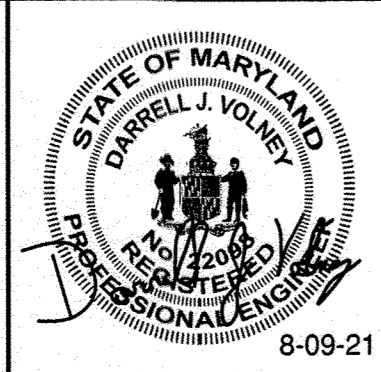
MARYLAND WHOLESALE FOOD CENTER,
SECTION 3, PARCEL A
PLAT: 6843
THE MARYLAND FOOD CENTER AUTHORITY
T.M. 43 P. 420 LOT PAR A
TAX ID: #52741
DEED: 1189/180
ZONED: M-2



PARCEL E-1 BEARING AND DISTANCES

BEARING	DISTANCE
1 S 51°32'53" W	750.78'
2 N 38°27'07" W	485.00'
3 N 51°32'53" E	219.79'
4 N 76°09'12" E	354.39'
5 S 38°27'07" E	283.44'
6 N 51°32'53" E	85.33'
7 R=44.0'	42.48'
8 N 03°46'06" W	54.55'
9 R=356.00'	77.82'
10 N 08°45'23" E	87.35'
11 R=344.00'	135.74'
12 N 13°51'05" W	9.70'
13 R=59.00'	61.77'
14 S 81°14'36" E	66.68'
15 S 08°45'23" W	311.43'
16 S 29°48'50" E	107.67'

MESSICK & ASSOCIATES*
CONSULTING ENGINEERS,
PLANNERS AND SURVEYORS
7 OLD SOLOMONS ISLAND ROAD, SUITE 202
ANNAPOLIS, MARYLAND 21401
(410) 266-3212 * FAX (410) 266-3502



PROFESSIONAL CERTIFICATION
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 22098, EXPIRATION DATE: SEPT. 10, 2022.

OWNER
MARYLAND FOOD CENTER AUTHORITY
7801 OCEANO AVE
JESSUP, MD 20794
PHONE (410) 379-5760
FAX (410) 379-5773

DEVELOPER / APPLICANT
MERRITT PROPERTIES, LLC
2066 LORD BALTIMORE DRIVE
BALTIMORE, MD 21244
PHONE (410) 298-2600
FAX (410) 298-9644

REVISIONS

DATE	NO.	DESCRIPTION	BY
8/9/21	1	ADDED SHEET - REVISED BUILDING 3 FOOTPRINT, WATER & STORM DRAIN	MAA

REVISED SITE DEVELOPMENT PLAN
GRADING PLAN
PLAN VIEW III
MARYLAND FOOD CENTER AUTHORITY
(PARCEL B-1 & E-1 WAREHOUSE & OFFICE)

HOWARD COUNTY, MARYLAND
SCALE: 1" = 50'

DATE: AUGUST, 2021

DRAWING NO.
C-63
SHEET 63 OF 83

APPROVED: DEPARTMENT OF PLANNING AND ZONING

Chief, Development Engineering Division	2-17-22
Chief, Division of Land Development	3-16-22
Director	3-10-22

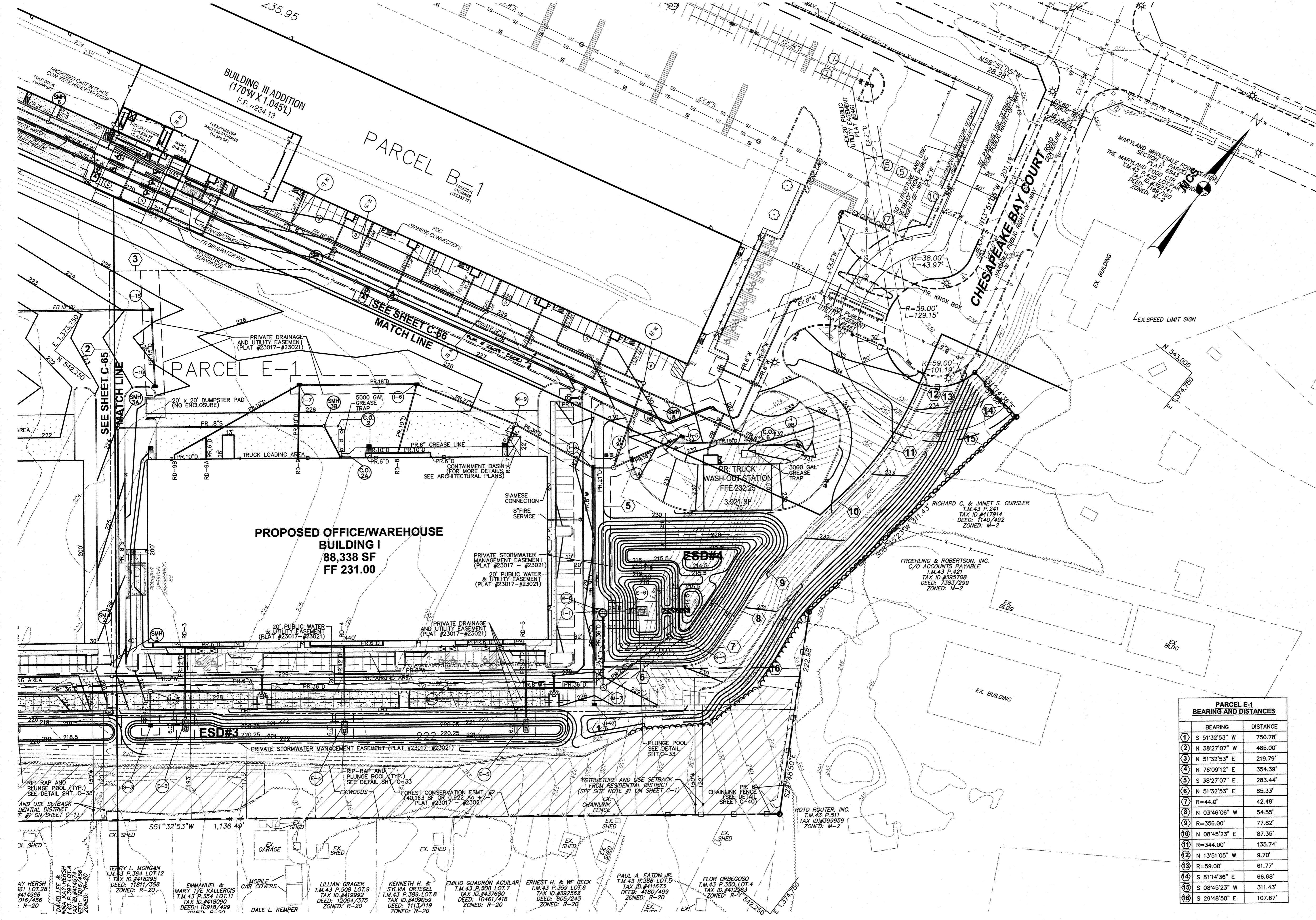
ADDRESS CHART

LOT / PARCEL NO.	STREET ADDRESS
PARCEL B-1	7901 OCEANO AVENUE
PARCEL E-1	7775 CHESAPEAKE BAY COURT

PERMIT INFORMATION CHART

SUBDIVISION NAME	SECTION / AREA	LOT / PARCEL NO.
MARYLAND FOOD CENTER AUTHORITY	3	B-1/662 & E-1/696
PLAT NO. or L/F	GRID NO.	ZONING
23017-23021	21	M-2
TAX MAP NO.	ELEC. DIST.	CENSUS TRACT
43	6TH	6069.01

THE COORDINATE SYSTEM OF ALL DRAWINGS IS BASED ON THE NORTH AMERICAN DATUM OF 1983. THE ELEVATION SYSTEM OF ALL DRAWINGS IS BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988.
HORIZ: NAD 83/91; VERT: NAVD 88



PARCEL E-1 BEARING AND DISTANCES

BEARING	DISTANCE
1) S 51°32'53" W	750.78'
2) N 38°27'07" W	485.00'
3) N 51°32'53" E	219.79'
4) N 78°09'12" E	354.39'
5) S 38°27'07" E	283.44'
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15) S 08°45'23" W	311.43'
16) S 29°48'50" E	107.67'

APPROVED: DEPARTMENT OF PLANNING AND ZONING

[Signature] 2-17-22
 Chief, Development Engineering Division Date

[Signature] 2/16/22
 Chief, Division of Land Development Date

[Signature] 2-16-22
 Director Date

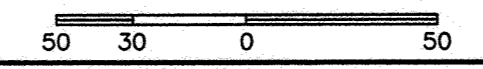
ADDRESS CHART

LOT / PARCEL NO.	STREET ADDRESS
PARCEL B-1	7901 OCEANO AVENUE
PARCEL E-1	7775 CHESAPEAKE BAY COURT

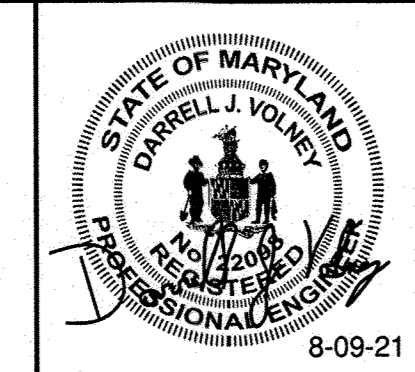
PERMIT INFORMATION CHART

SUBDIVISION NAME	SECTION / AREA	LOT / PARCEL NO.			
MARYLAND FOOD CENTER AUTHORITY	3	B-1/662 & E-1/696			
PLAT NO. or L/F	GRID NO.	ZONING	TAX MAP NO.	ELEC. DIST.	CENSUS TRACT
23017-23021	21	M-2	43	6TH	6069.01

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MESSICK & ASSOCIATES*
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 ANNAPOLIS, MARYLAND 21401
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OWNER
 MARYLAND FOOD CENTER AUTHORITY
 7801 OCEANO AVE
 JESSUP, MD 20794
 PHONE (410) 379-5760
 FAX (410) 379-5773

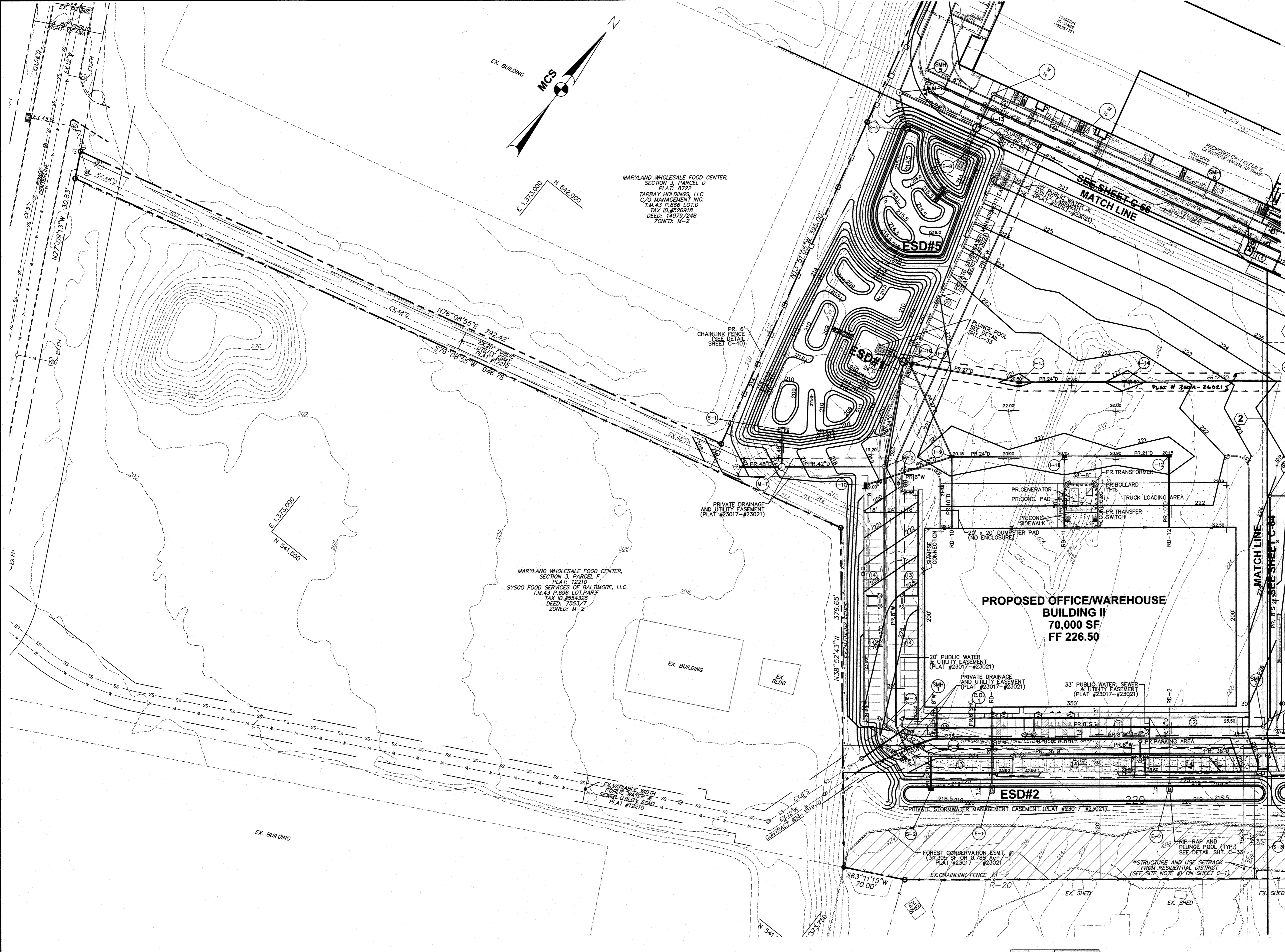
DEVELOPER / APPLICANT
 MERRITT PROPERTIES, LLC
 2066 LORD BALTIMORE DRIVE
 BALTIMORE, MD 21244
 PHONE (410) 298-2600
 FAX (410) 298-9644

REVISIONS

DATE	NO.	DESCRIPTION	BY
8/9/21	1	ADDED SHEET - REVISE BUILDING 3 FOOTPRINT, WATER & STORM DRAIN	MSA

REVISED SITE DEVELOPMENT PLAN
UTILITY PLAN
 PLAN VIEW I
MARYLAND FOOD CENTER AUTHORITY
 PARCEL B-1 & E-1
 (WAREHOUSE & OFFICE)
 HOWARD COUNTY, MARYLAND
 SCALE: 1" = 50'
 DATE: AUGUST, 2021

DRAWING NO.
C-64
 SHEET 64 OF 83
 SDP-14-06R



MARYLAND WHOLESALE FOOD CENTER,
SECTION 3, PARCEL D
PLAT: 6722
TARBAY HOLDINGS, LLC
C/O MANAGEMENT INC.
T.M. 43 P.666 LOT.D
TAX ID #528918
DEED: 14073/248
ZONED: M-2

MARYLAND WHOLESALE FOOD CENTER,
SECTION 3, PARCEL F
PLAT: 12210
SYSCO FOOD SERVICES OF BALTIMORE, LLC
T.M. 43 P.696 LOT.F
TAX ID #554326
DEED: 7553/7
ZONED: M-2

**PROPOSED OFFICE/WAREHOUSE
BUILDING II
70,000 SF
FF 226.50**

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THE ELEVATION SYSTEM OF ALL DRAWINGS IS
BASED ON THE NORTH AMERICAN VERTICAL
DATUM OF 1988.
HORIZ: NAD 83/91; VERT: NAVD 88

APPROVED: DEPARTMENT OF PLANNING AND ZONING

Chief, Development Engineering Division	<i>Chad Clark</i>	2-17-22
Chief, Division of Land Development	<i>[Signature]</i>	3/10/22
Director	<i>[Signature]</i>	3-10-22

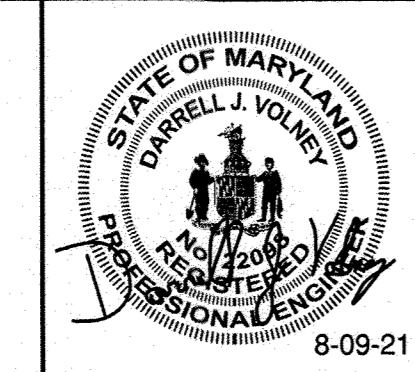
ADDRESS CHART

LOT / PARCEL NO.	STREET ADDRESS
PARCEL B-1	7901 OCEANO AVENUE
PARCEL E-1	7775 CHESAPEAKE BAY COURT

PERMIT INFORMATION CHART

SUBDIVISION NAME MARYLAND FOOD CENTER AUTHORITY	SECTION / AREA 3	LOT / PARCEL NO. B-1/662 & E-1/696
PLAT NO. OF L/F 23017-23021	GRID NO. 21	ZONING M-2
TAX MAP NO. 43	ELEC. DIST. 6TH	CENSUS TRACT 6069.01

MESSICK & ASSOCIATES*
CONSULTING ENGINEERS,
PLANNERS AND SURVEYORS
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DATE: SEPT. 10, 2022.

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FAX (410) 379-5773

DEVELOPER / APPLICANT
MERRITT PROPERTIES, LLC
2066 LORD BALTIMORE DRIVE
BALTIMORE, MD 21244
PHONE (410) 298-2600
FAX (410) 298-9644

REVISIONS			
DATE	NO.	DESCRIPTION	BY
8/9/21	1	REVISED BUILDING 3 FOOTPRINT, WATER & STORM DRAIN	MGA

REVISED SITE DEVELOPMENT PLAN
UTILITY PLAN
PLAN VIEW II
MARYLAND FOOD CENTER AUTHORITY
PARCEL B-1 & E-1
(WAREHOUSE & OFFICE)
HOWARD COUNTY, MARYLAND
SCALE: 1" = 50'
DATE: AUGUST, 2021

DRAWING NO.
C-65
SHEET 65 OF 83
SNP-14-06R

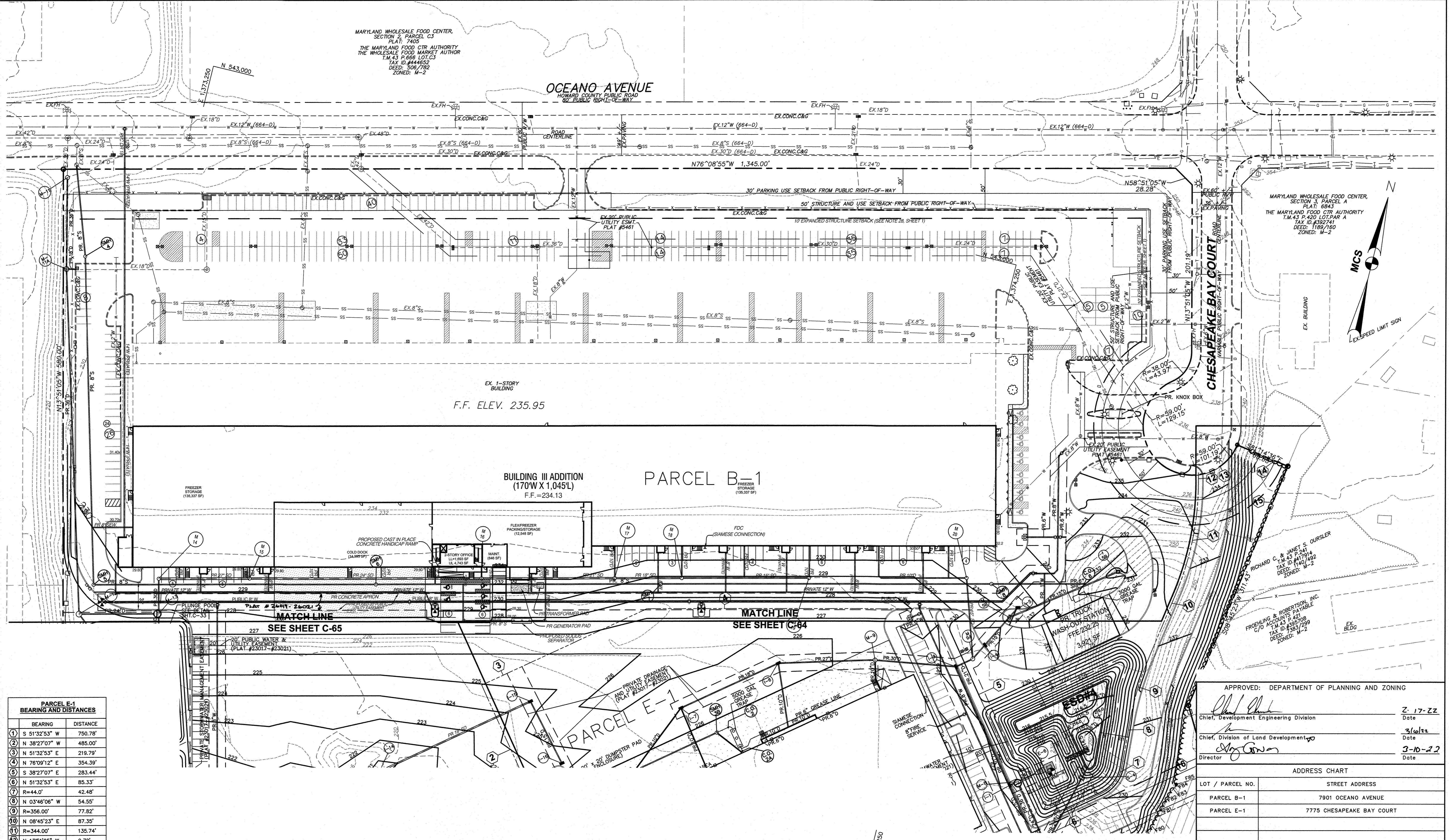
MARYLAND WHOLESALE FOOD CENTER,
SECTION 2, PARCEL C3
PLAT: 7405
THE MARYLAND FOOD CTR AUTHORITY
THE WHOLESALE FOOD MARKET AUTHORITY
T.M.43 P.666 LOT,C3
TAX ID #444652
DEED: 506,782
ZONED: M-2

OCEANO AVENUE
HOWARD COUNTY PUBLIC ROAD
80' PUBLIC RIGHT-OF-WAY

MARYLAND WHOLESALE FOOD CENTER,
SECTION 3, PARCEL A
PLAT: 6843
THE MARYLAND FOOD CTR AUTHORITY
T.M.43 P.420 LOT,PAR A
TAX ID #392741
DEED: 1189/160
ZONED: M-2

RICHARD C. & JANET S. OURSLER
T.M.43 P.241
TAX ID #1407914
DEED: 1740/492
ZONED: M-2

FROELICH & ROBERTSON, INC.
C/O ACCOUNT # PAYABLE
TAX ID #383298
TAX ID #383299
DEED:
ZONED: M-2



PARCEL E-1 BEARING AND DISTANCES

BEARING	DISTANCE
1 S 51°32'53" W	750.78'
2 N 38°27'07" W	485.00'
3 N 51°32'53" E	219.79'
4 N 76°09'12" E	354.39'
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APPROVED: DEPARTMENT OF PLANNING AND ZONING

Chief, Development Engineering Division	Z: 17-22
Chief, Division of Land Development	3/6/22
Director	3-10-22

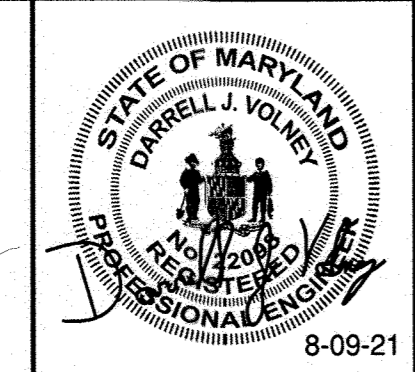
ADDRESS CHART

LOT / PARCEL NO.	STREET ADDRESS
PARCEL B-1	7901 OCEANO AVENUE
PARCEL E-1	7775 CHESAPEAKE BAY COURT

PERMIT INFORMATION CHART

SUBDIVISION NAME	SECTION / AREA	LOT / PARCEL NO.
MARYLAND FOOD CENTER AUTHORITY	3	B-1/662 & E-1/696
PLAT NO. or L/F	GRID NO.	ZONING
23017-23021	21	M-2
TAX MAP NO.	ELEC. DIST.	CENSUS TRACT
43	6TH	6069.01

MESSICK & ASSOCIATES*
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PLANNERS AND SURVEYORS
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DEVELOPER / APPLICANT
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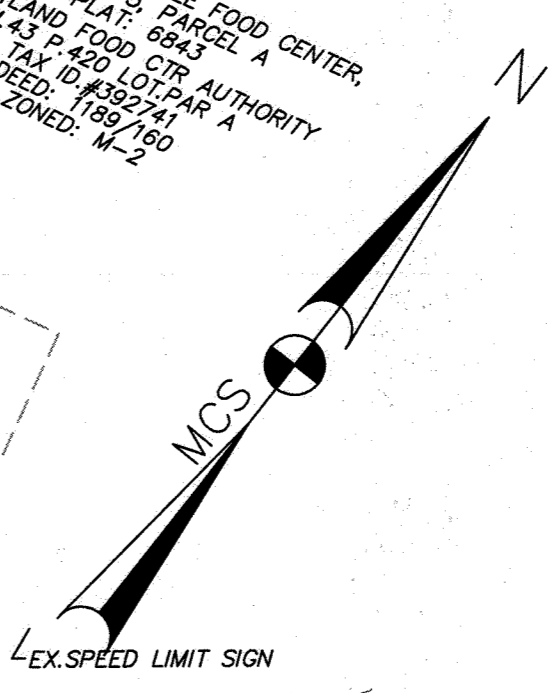
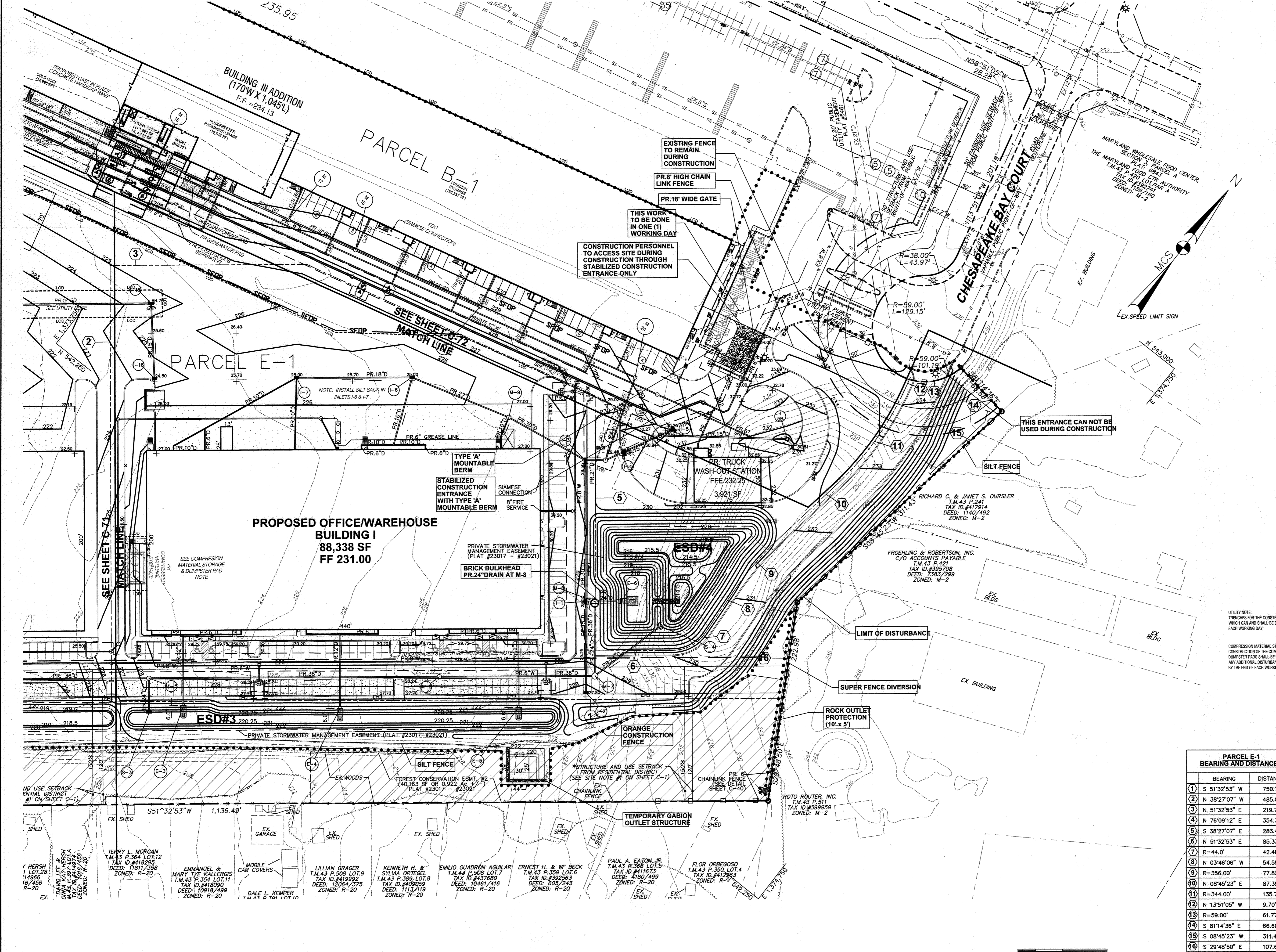
REVISIONS

DATE	NO.	DESCRIPTION	BY
8/9/21	1	ADDED SHEET - REVISED BUILDING 3 FOOTPRINT, WATER & STORM DRAIN	M&A

REVISED SITE DEVELOPMENT PLAN
UTILITY PLAN
PLAN VIEW III
MARYLAND FOOD CENTER AUTHORITY
PARCEL B-1 & E-1
(WAREHOUSE & OFFICE)

DRAWING NO.
C-66
SHEET 66 OF 83
DATE: AUGUST, 2021
SCALE: 1" = 50'

THE COORDINATE SYSTEM OF ALL DRAWINGS IS BASED ON THE NORTH AMERICAN DATUM OF 1983. THE ELEVATION SYSTEM OF ALL DRAWINGS IS BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988.
HORIZ: NAD 83/91; VERT: NAVD 88



UTILITY NOTE:
TRENCHES FOR THE CONSTRUCTION OF UTILITIES IS LIMITED TO THAT WHICH CAN AND SHALL BE BACKFILLED AND STABILIZED BY THE END OF EACH WORKING DAY.

COMPRESSION MATERIAL STORAGE AND DUMPSTER PAD NOTE:
CONSTRUCTION OF THE COMPRESSED MATERIAL STORAGE AND DUMPSTER PADS SHALL BE COMPLETED WITH SAME DAY STABILIZATION. ANY ADDITIONAL DISTURBANCE AROUND EACH AREA SHALL BE STABILIZED BY THE END OF EACH WORKING DAY.

THE COORDINATE SYSTEM OF ALL DRAWINGS IS BASED ON THE NORTH AMERICAN DATUM OF 1983. THE ELEVATION SYSTEM OF ALL DRAWINGS IS BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988. HORIZ: NAD 83/91; VERT: NAVD 88

This development plan is approved for soil erosion and sediment control by the HOWARD SOIL CONSERVATION DISTRICT.

Alexander Butcher 12/14/21
Date

APPROVED: DEPARTMENT OF PLANNING AND ZONING

Phil... 12-23
Date
Chief, Development Engineering Division

... 1/16/22
Date
Chief, Division of Land Development

... 3-10-22
Date
Director

ADDRESS CHART

LOT / PARCEL NO.	STREET ADDRESS
PARCEL B-1	7901 OCEANO AVENUE
PARCEL E-1	7775 CHESAPEAKE BAY COURT

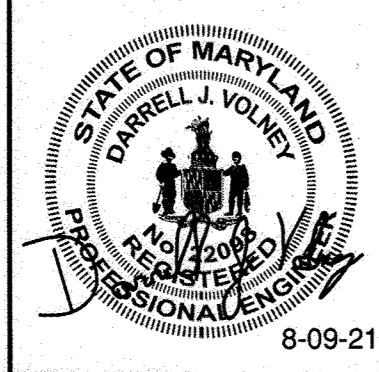
PARCEL E-1 BEARING AND DISTANCES

BEARING	DISTANCE
① S 51°32'53" W	750.78'
② N 38°27'07" W	485.00'
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④ N 76°09'12" E	354.39'
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⑨ R=356.00'	77.82'
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⑬ R=59.00'	61.77'
⑭ S 81°14'36" E	66.68'
⑮ S 08°45'23" W	311.43'
⑯ S 29°48'50" E	107.67'

PERMIT INFORMATION CHART

SUBDIVISION NAME	SECTION / AREA	LOT / PARCEL NO.
MARYLAND FOOD CENTER AUTHORITY	3	B-1/662 & E-1/696
PLAT NO. or L/F	GRID NO.	ZONING
23017-23021	21	M-2
TAX MAP NO.	ELEC. DIST.	CENSUS TRACT
43	6TH	6069.01

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DEVELOPER / APPLICANT
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2066 LORD BALTIMORE DRIVE
BALTIMORE, MD 21244
PHONE (410) 298-2600
FAX (410) 298-9644

REVISIONS

DATE	NO.	DESCRIPTION	BY
8/9/21	1	ADDED SHEET - REVISE BUILDING FOOTPRINT, WATER & STORM DRAIN, REVISED EROSION CONTROL NOTES, PROTECT LOT AND ESC. MEASURES FOR BUILDING 1.	M&A

REVISED SITE DEVELOPMENT PLAN
EROSION AND SEDIMENT CONTROL PLAN
PLAN VIEW I
MARYLAND FOOD CENTER AUTHORITY
PARCEL B-1 & E-1 (WAREHOUSE & OFFICE)

HOWARD COUNTY, MARYLAND
SCALE: 1" = 30'

DATE: AUGUST, 2021

DRAWING NO. **C-70**

SHEET 70 OF 83
SDP-14-06A

SUMMARY - DRAINAGE AREAS			
ESD PRACTICE NUMBER	DRAINAGE AREA NUMBER	TOTAL CONTRIBUTING DRAINAGE AREA (Ac)	IMPERVIOUS AREA (Ac)
ESD #1	1	7.75	6.56
ESD #2	2	1.173	0.803
ESD #3	3	1.537	1.010
ESD #4	4	6.78	4.72
ESD #5	5	4.08	3.58
Pervious Pavement	6	1.472	0.981
		22.794	17.65

SOIL CLASSIFICATION		
UID	Description	D
U1D	Urban Land - Udothents complex, 0 to 15 percent slopes	D

PARCEL E-1 BEARING AND DISTANCES		
BEARING	DISTANCE	
① S 51°32'53" W	750.78'	
② N 38°27'07" W	485.00'	
③ N 51°32'53" E	219.79'	
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⑭ S 81°14'36" E	66.68'	
⑮ S 08°45'23" W	311.43'	
⑯ S 29°48'50" E	107.67'	

SWM LEGEND	
LIMIT OF DISTURBANCE	_____
IMPERVIOUS AREA	██████████
SUB DRAINAGE AREAS TO ESD PRACTICES	_____

APPROVED: DEPARTMENT OF PLANNING AND ZONING

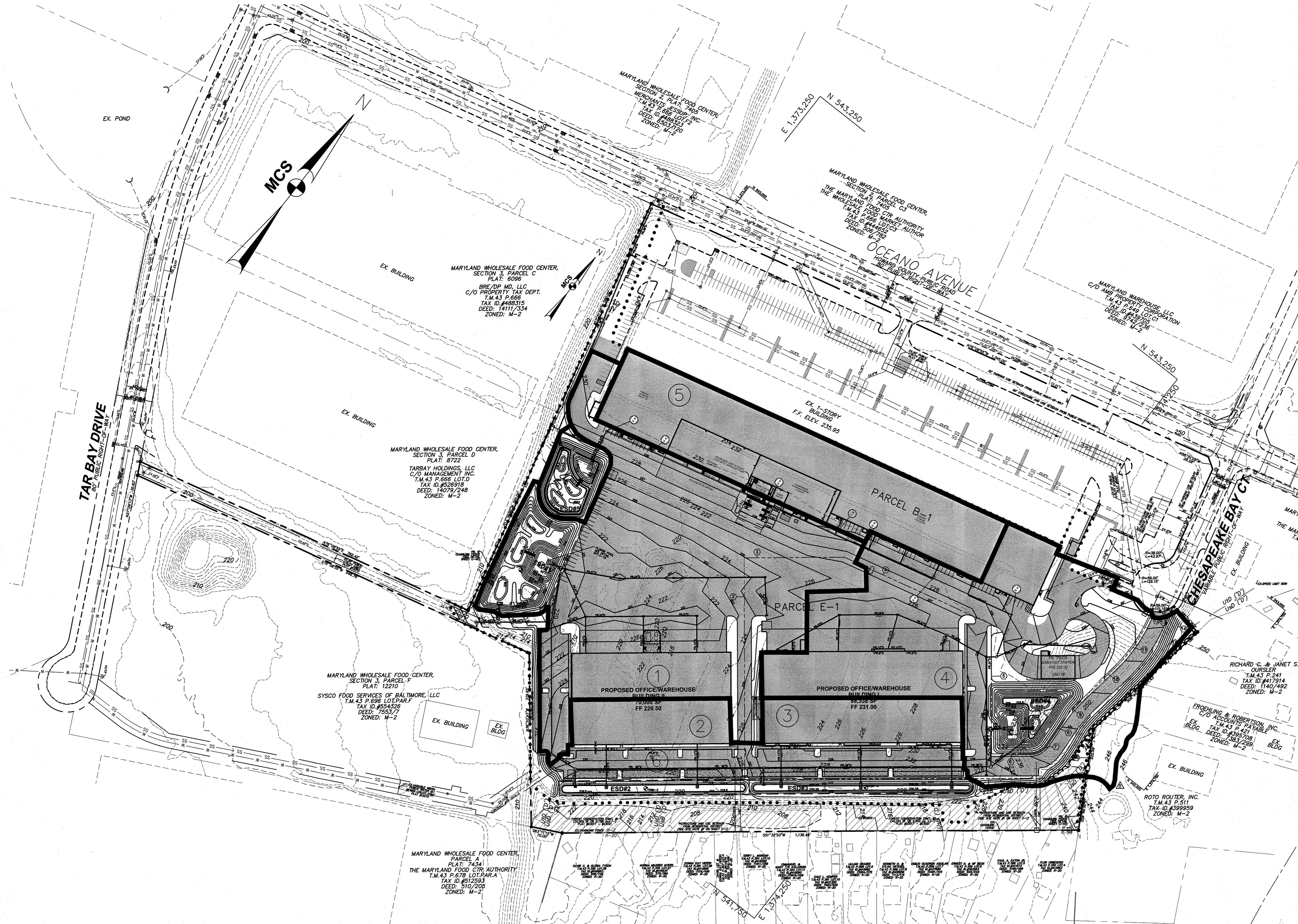
[Signature] Z 17-22
 Chief, Development Engineering Division Date

[Signature] 3/6/22
 Chief, Division of Land Development Date

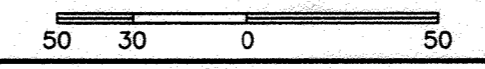
[Signature] 3-16-22
 Director Date

ADDRESS CHART		
LOT / PARCEL NO.	STREET ADDRESS	
PARCEL B-1	7901 OCEANO AVENUE	
PARCEL E-1	7775 CHESAPEAKE BAY COURT	

PERMIT INFORMATION CHART					
SUBDIVISION NAME	SECTION / AREA	LOT / PARCEL NO.	TAX MAP NO.	ELEC. DIST.	CENSUS TRACT
MARYLAND FOOD CENTER AUTHORITY	3	B-1/662 & E-1/696	43	6TH	6069.01



THE COORDINATE SYSTEM OF ALL DRAWINGS IS BASED ON THE NORTH AMERICAN DATUM OF 1983. THE ELEVATION SYSTEM OF ALL DRAWINGS IS BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988. HORZ: NAD 83/91; VERT: NAVD 88



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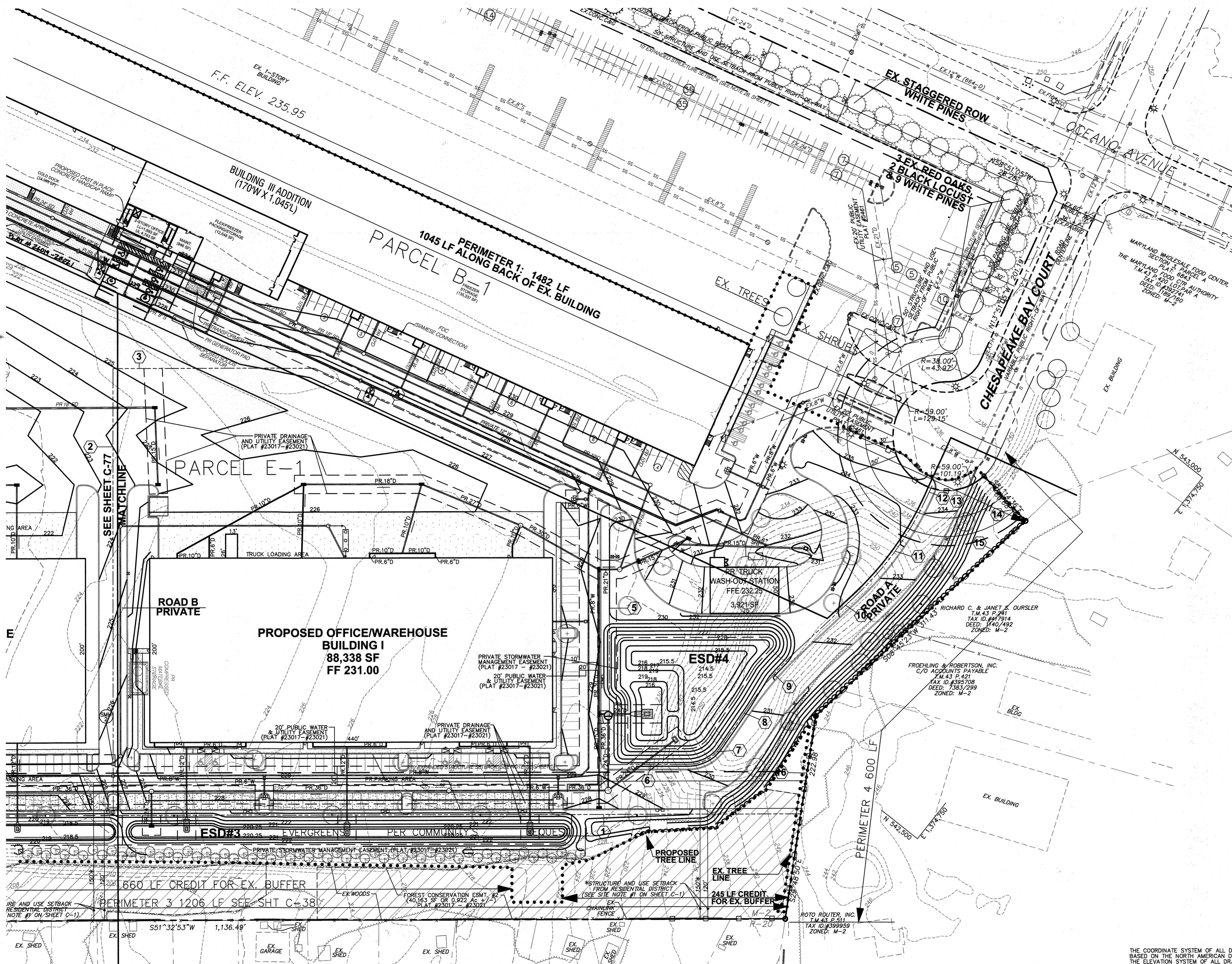
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DEVELOPER / APPLICANT
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 BALTIMORE, MD 21244
 PHONE (410) 298-2600
 FAX (410) 298-9644

REVISIONS			
DATE	NO.	DESCRIPTION	BY
8/8/21	1	REVISED ESD DRAINAGE AREAS 1, 4 & 5	MSA

REVISED SITE DEVELOPMENT PLAN
 STORMWATER MANAGEMENT PLAN
 PROPOSED DRAINAGE AREA MAP
MARYLAND FOOD CENTER AUTHORITY
 PARCEL B-1 & E-1
 (WAREHOUSE & OFFICE)

DRAWING NO.
C-74
 HOWARD COUNTY, MARYLAND
 SCALE: 1" = 50'
 DATE: AUGUST, 2021
 SHEET 74 OF 83
 SDP-14-06R



SCHEDULE A: PERIMETER LANDSCAPE EDGE

Category	Adjacent to Internal Lot	Adjacent to Perimeter Properties	1	2	3	4
Perimeter Number	1	2	3	4		
Landscape Type	A	A	C	A		
Linear Feet of Roadway Frontage/Perimeter	1482 LF	1548 LF	1,206 LF	600 LF		
Credit for Existing Vegetation (Yes, No, Linear Feet) (Describe below if needed)	YES	NO	YES 905 LF	NO		
Credit for Wall, Fence or Berm (Yes, No, Linear Feet) (Describe below if needed)	NO	NO	NO	NO		
Number of Plants Required						
Shade Trees	0	0	8	10		
Evergreen Trees	0	0	15	0		
Shrubs	0	0	0	0		
Number of Plants Provided						
Shade Trees/Street Trees	0	0	8	8		
Evergreen Trees	0	0	15	4		
Other Trees (2:1 substitution)	0	0	15	4		
Shrubs (10:1 substitution)	0	0				

(Describe plant substitution credits below if needed)

An additional 77 evergreens were added to perimeter 3 at the request of the neighboring community

SCHEDULE B: PARKING LOT INTERNAL LANDSCAPING

Number of Parking Spaces Proposed	331
Number of Trees Required	17
Number of Trees Provided	
Shade Trees	17
Other Trees (2:1 substitution)	
Internal Islands Required	17
Internal Islands Provided (Min. 200 SF)	22

KEY	QUANTITY	BOTANICAL NAME	COMMON NAME	SIZE	B & B	AS SHOWN
1	8	ACER FREMANII 'JEFFERSRED'	AUTUMN BLAZE MAPLE	2 1/2"-3" CAL.	B & B	AS SHOWN
2	25	QUERCUS PHELLOS 'HIGHTOWER'	HIGHTOWER WILLOW OAK	2 1/2"-3" CAL.	B & B	AS SHOWN
3	7	QUERCUS PALUSTRIS 'PIN OAK'	PIN OAK	2 1/2"-3" CAL.	B & B	AS SHOWN
4	96	THUJA 'GIGANTEOIDES'	'GREEN GIANT' ARBORVITAE	6-8' HT.	B & B	10-12' O.C. STAGGERED

- PLANTING NOTES:**
- This Plan is for planting purposes only.
 - This Plan has been prepared in accordance with the provisions of section 16.124 of the Howard County Code and the Landscape Manual.
 - All plant material shall be nursery grown and shall conform to American Association of Nurserymen latest standards. Plant installation must conform to the minimum standards cited in the latest edition of the "LANDSCAPE SPECIFICATION GUIDELINES" by the Landscape Contractors Association.
 - Contractor is to notify Miss Utility a minimum of 72 hours prior to digging. Telephone 1-800-257-7777
 - The Landscape Architect is to be notified 48 hours before planting begins. The location of all plant material is to be approved in field by the Landscape Architect.
 - No tree or shrub planting pits are to be left open or unattended.
 - Shrubs are to be grouped into mulched beds. Beds are to be edged and the grass is to be killed or removed prior to mulching.
 - Soil is to be: Kentucky bluegrass fescue mix
 - "Should any tree designated for preservation for which landscaping credit is given, die prior to release of bonds, the owner will be required to replace the tree with the equivalent species or with a tree which will obtain the same height, spread and growth characteristics. The replacement tree must be a minimum of 3 inch caliper and installed as required in Howard County Landscape Manual.
 - "At the time of installation, all shrubs and other plantings herewith listed and approved for this site, shall be of the proper height requirements in accordance with the Howard County Landscape Manual. In addition, no substitutions or relocation of required plantings may be made without prior review and approval from the Department of Planning and Zoning. Any deviation from this approved Landscape plan may result in denial or delay in the release of landscape surety, until such time as all required materials are planted and/or revisions are made to applicable plans and certificates."

DEVELOPERS / BUILDERS CERTIFICATE:

I / We certify that the landscaping shown on this plan will be done according to the plan, Section 16.124 of the Howard County Code and the Howard County Landscape Manual.

I / We further certify that upon completion, a Certification of Landscape Installation, accompanied by an executed one year guarantee of plant materials, will be submitted to the Department of Planning and Zoning.

RH

NOTE: THE OWNER, TENANT, AND/OR THEIR AGENTS SHALL BE RESPONSIBLE FOR MAINTENANCE OF THE REQUIRED LANDSCAPING, INCLUDING BOTH PLANT MATERIALS AND BERMS, FENCES AND WALLS. ALL PLANT MATERIALS SHALL BE MAINTAINED IN GOOD GROWING CONDITION AND WHEN NECESSARY, REPLACED WITH NEW MATERIALS TO ENSURE CONTINUED COMPLIANCE WITH APPLICABLE REGULATIONS. ALL OTHER REQUIRED LANDSCAPING SHALL BE PERMANENTLY MAINTAINED IN GOOD CONDITION, AND WHEN NECESSARY, REPAIRED OR REPLACED.

LANDSCAPE SURETY NOTE: FINANCIAL SURETY FOR THE REQUIRED LANDSCAPING HAS BEEN POSTED AS PART OF THE DEVELOPERS AGREEMENT IN THE AMOUNT OF:

(35) SHADE TREES @ \$300 EACH = \$10,500
 (92) EVERGREEN TREES @ \$150 = \$13,800
TOTAL \$24,300

SEE SHEET C-75 & C-76 FOR STORMWATER MANAGEMENT LANDSCAPING

APPROVED: DEPARTMENT OF PLANNING AND ZONING

Chief, Development Engineering Division	12-3-21
Chief, Division of Land Development	2/6/22
Director	3-10-22

ADDRESS CHART

LOT / PARCEL NO.	STREET ADDRESS
PARCEL B-1	7901 OCEANO AVENUE
PARCEL E-1	7775 CHESAPEAKE BAY COURT

PERMIT INFORMATION CHART

SUBDIVISION NAME	SECTION / AREA	LOT / PARCEL NO.
MARYLAND FOOD CENTER AUTHORITY	3	B-1/662 & E-1/696
PLAT NO. or L/F	GRID NO.	ZONING
23017-23021	21	M-2
TAX MAP NO.	ELEC. DIST.	CENSUS TRACT
43	6TH	6069.01

THE COORDINATE SYSTEM OF ALL DRAWINGS IS BASED ON THE NORTH AMERICAN DATUM OF 1983. THE ELEVATION SYSTEM OF ALL DRAWINGS IS BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988.
 HORIZ: NAD 83/91; VERT: NAVD 88

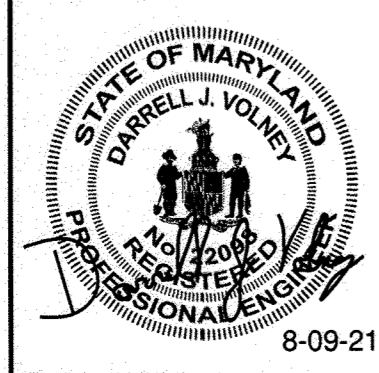
REVISIONS

DATE	NO.	DESCRIPTION	BY
8/9/21	1	ADDED SHEET - REVISE BUILDING 3 FOOTPRINT, WATER & STORM DRAIN	M&A

REVISED SITE DEVELOPMENT PLAN
FINAL LANDSCAPE PLAN
 PLAN VIEW II
MARYLAND FOOD CENTER AUTHORITY
 PARCEL B-1 & E-1
 (WAREHOUSE & OFFICE)

C-78

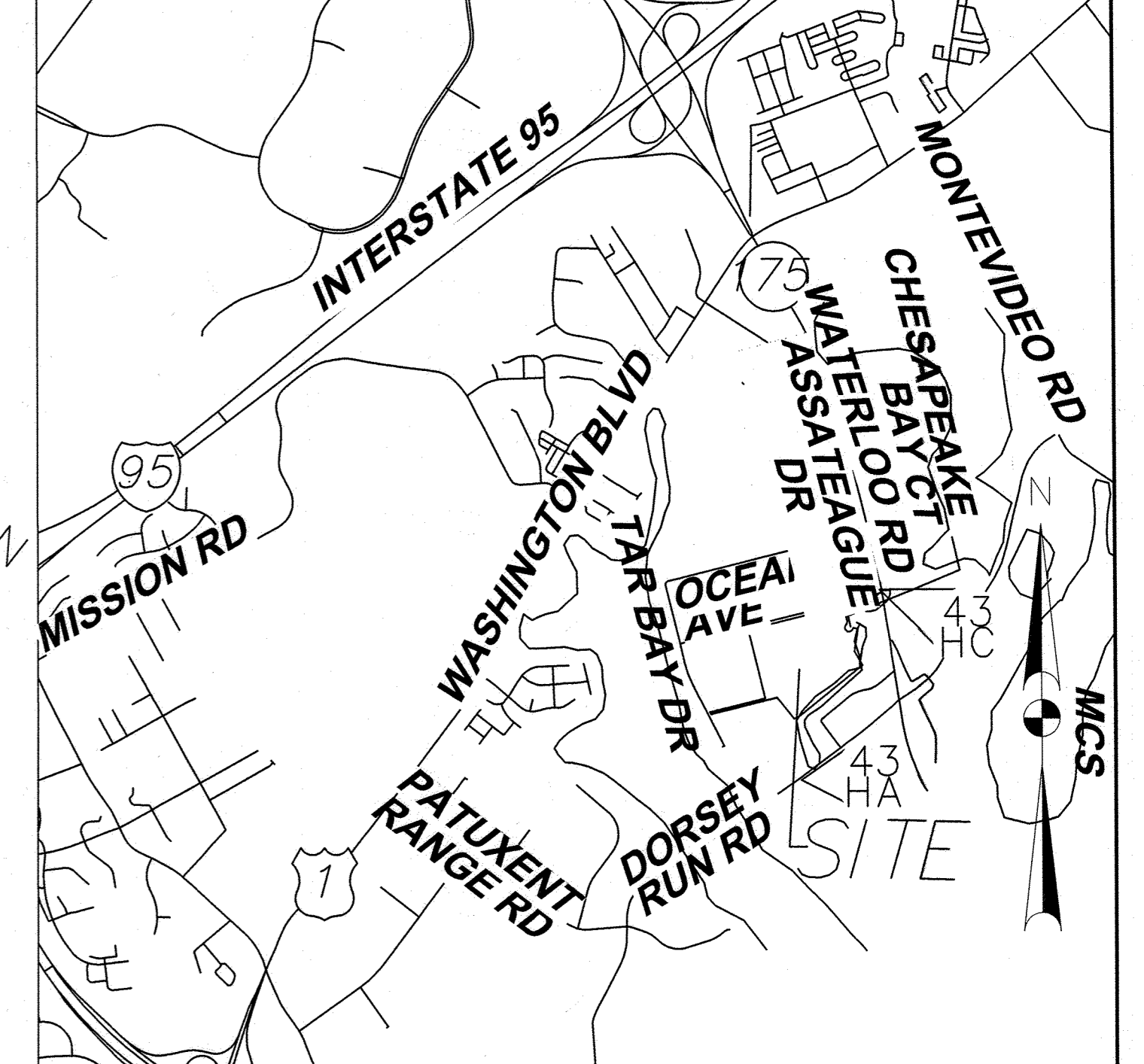
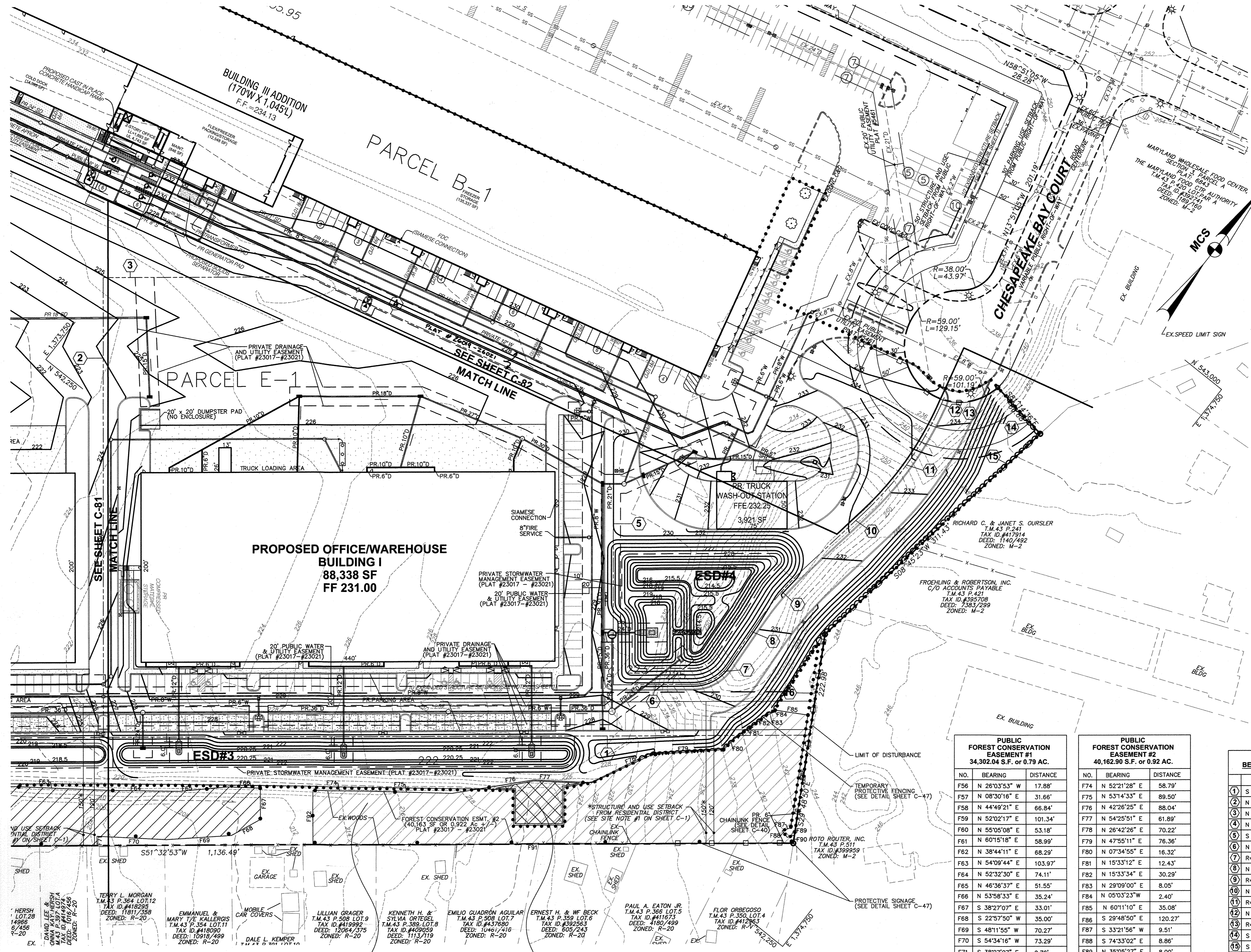
MESSICK & ASSOCIATES*
 CONSULTING ENGINEERS, PLANNERS AND SURVEYORS
 7 OLD SOLOMONS ISLAND ROAD, SUITE 202
 ANNAPOLIS, MARYLAND 21401
 (410) 266-3212 * FAX (410) 266-3502



PROFESSIONAL CERTIFICATION
 I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 22098, EXPIRATION DATE: SEPT. 10, 2022.

OWNER
 MARYLAND FOOD CENTER AUTHORITY
 7801 OCEANO AVE
 JESSUP, MD 20794
 PHONE (410) 379-5760
 FAX (410) 379-5773

DEVELOPER / APPLICANT
 MERRITT PROPERTIES, LLC
 2066 LORD BALTIMORE DRIVE
 BALTIMORE, MD 21244
 PHONE (410) 298-2600
 FAX (410) 298-9644



VICINITY MAP
 SCALE: 1" = 2000'
 ADC MAP NUMBER: 41, GRID: 10 AND 2D
 ADC MAP COORDINATES: 76°47'00" / 39°08'30"

BENCH MARK
 ELEVATIONS ARE BASED ON NAVD 88 DATUM PER HOWARD COUNTY CONTROL POINTS:
 CONTROL POINT: 43HA
 N 540,761.71; E 1,373,837.33
 EL. 224.21
 CONTROL POINT: 43HC
 N 543,386.16; E 1,374,935.81
 EL. 253.87

- NOTES:
- No rare, threatened or endangered species were observed within the study area.
 - Surrounding land use consists of commercial development and high density residential.
 - Project site is 35.97 acres.
 - No wetlands, streams or buffers are present on the site. There is no 100 year floodplain on the site.
 - There are steep slopes on the property. These slopes are present around the perimeter of the site and around the existing stockpile.
 - There are no known specimen trees or state champion trees on the site.
 - There are no known rare, threatened or endangered species habitats on the property.
 - There are no known historic structures on the site.
 - Based on the FC Worksheet the FCA obligations for the project will be met with the retention of 1.66 acres of onsite forest and the afforestation/reforestation of 4.0 acres of reforestation on the basis of its small size, isolated nature and invasive species colonization.
 - The 0.05 acres of forest to be cleared for the construction of the temporary gabion outlet structure will be replanted onsite to maintain the 35 foot width requirement of the FCE.
 - A surety for the onsite/offsite planting will be required as part of the requirements for the project. The surety will be based on \$0.50 per square foot of planting. The surety for onsite planting will be \$1,089.00 and for offsite planting will be \$96,031.00 to be posted as part of the DPW Developer's Agreement.

Forest Clearing/Reforestation Justification
 The proposed forest clearing is required to allow for the construction of the access roadway and for construction of a temporary sediment control device. The proposed forest clearing is required to provide the most efficient site design. The forest to be cleared is of low priority for retention on the basis of its small size, isolated nature and invasive species colonization.
 The 4.0 acre reforestation obligation will be met with 0.05 acres of onsite planting and 3.95 acres of offsite planting on the Hay Meadow Farm property. The onsite planting will be performed within an area of clearing required for a temporary sediment control facility. The onsite planting will be performed to maintain the FCE width on the site to maximize forest retention credit and function.
 The offsite planting at Hay Meadow Farm will be located in a high priority planting area within and adjacent to wetlands, streams, and buffers. The plantings will help to convert an existing cattle pasture to forest and will help to improve water quality and habitat value. The offsite planting area is within a Use III watershed and will increase rural forest cover within the County. The offsite planting area, when combined with future plantings proposed for Hay Meadow Farm will create a riparian forest with corridor connections to adjacent properties.

PUBLIC FOREST CONSERVATION EASEMENT #1 34,302.04 S.F. or 0.79 AC.			PUBLIC FOREST CONSERVATION EASEMENT #2 40,162.90 S.F. or 0.92 AC.		
NO.	BEARING	DISTANCE	NO.	BEARING	DISTANCE
F56	N 26°03'53" W	17.88'	F74	N 52°21'28" E	58.79'
F57	N 08°30'16" E	31.66'	F75	N 53°14'33" E	89.50'
F58	N 44°49'21" E	66.84'	F76	N 42°26'25" E	88.04'
F59	N 52°02'17" E	101.34'	F77	N 54°25'51" E	61.89'
F60	N 55°05'08" E	53.18'	F78	N 26°42'26" E	70.22'
F61	N 60°15'18" E	58.99'	F79	N 47°55'11" E	76.36'
F62	N 38°44'11" E	68.29'	F80	N 07°34'55" E	16.32'
F63	N 54°09'44" E	103.97'	F81	N 15°33'12" E	12.43'
F64	N 52°32'30" E	74.11'	F82	N 15°33'34" E	30.29'
F65	N 46°36'37" E	51.55'	F83	N 29°09'00" E	8.05'
F66	N 53°58'33" E	35.24'	F84	N 05°03'23" W	2.40'
F67	S 38°27'07" E	33.01'	F85	N 60°11'10" E	35.08'
F68	S 22°57'50" W	35.00'	F86	S 29°48'50" E	120.27'
F69	S 48°11'56" W	70.27'	F87	S 33°21'56" W	9.51'
F70	S 54°34'16" W	73.29'	F88	S 74°33'02" E	8.86'
F71	S 38°27'07" E	9.76'	F89	N 35°05'27" E	8.00'
F72	S 51°32'53" W	395.77'	F90	S 29°48'50" E	8.60'
F73	S 63°11'15" W	68.76'	F91	S 51°32'53" W	511.16'
			F92	N 38°27'07" W	57.37'

PARCEL E-1 BEARING AND DISTANCES	
BEARING	DISTANCE
① S 51°32'53" W	750.78'
② N 38°27'07" W	485.00'
③ N 51°32'53" E	219.79'
④ N 78°09'12" E	354.39'
⑤ S 38°27'07" E	283.44'
⑥ N 51°32'53" E	85.33'
⑦ R=44.0'	42.48'
⑧ N 03°48'06" W	54.55'
⑨ R=356.00'	77.82'
⑩ N 08°45'23" E	87.35'
⑪ R=344.00'	135.74'
⑫ N 13°51'05" W	9.70'
⑬ R=59.00'	61.77'
⑭ S 81°14'36" E	66.68'
⑮ S 08°45'23" W	311.43'
⑯ S 29°48'50" E	107.67'

APPROVED: DEPARTMENT OF PLANNING AND ZONING

Chief, Development Engineering Division: *[Signature]* Date: 2-17-22

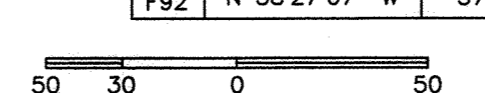
Chief, Division of Land Development: *[Signature]* Date: 3/16/22

Director: *[Signature]* Date: 3-10-22

LOT / PARCEL NO.	STREET ADDRESS
PARCEL B-1	7901 OCEANO AVENUE
PARCEL E-1	7775 CHESAPEAKE BAY COURT

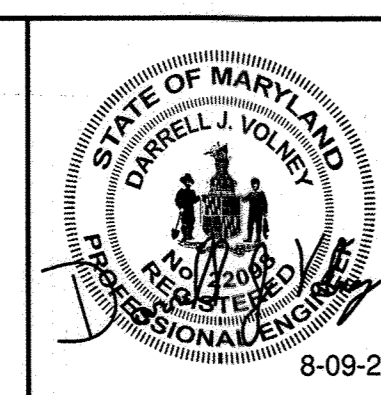
PERMIT INFORMATION CHART			
SUBDIVISION NAME	SECTION / AREA	LOT / PARCEL NO.	
MARYLAND FOOD CENTER AUTHORITY	3	B-1/662 & E-1/696	
PLAT NO. or L/F	GRID NO.	ZONING	TAX MAP NO.
23017-23021	21	M-2	43
ELEC. DIST.	CENSUS TRACT		
6TH	8069.01		

THIS SHEET REFLECTS THE BUILDING CHANGES PER REVISION NUMBER 8. THERE ARE NO CHANGES PROPOSED TO THE FOREST CONSERVATION AREAS SHOWN ON SHEETS 44, 45, AND 46.



THE COORDINATE SYSTEM OF ALL DRAWINGS IS BASED ON THE NORTH AMERICAN DATUM OF 1983. THE ELEVATION SYSTEM OF ALL DRAWINGS IS BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988.
 HORIZ: NAD 83/91; VERT: NAVD 88

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 FAX (410) 379-5773

DEVELOPER / APPLICANT
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 2066 LORD BALTIMORE DRIVE
 BALTIMORE, MD 21244
 PHONE (410) 298-2600
 FAX (410) 298-9644

REVISIONS			
DATE	NO.	DESCRIPTION	BY
8/9/21	Δ	ADD SHEET - REVISE BUILDING 3 FOOTPRINT, WATER & STORM DRAIN	M&A

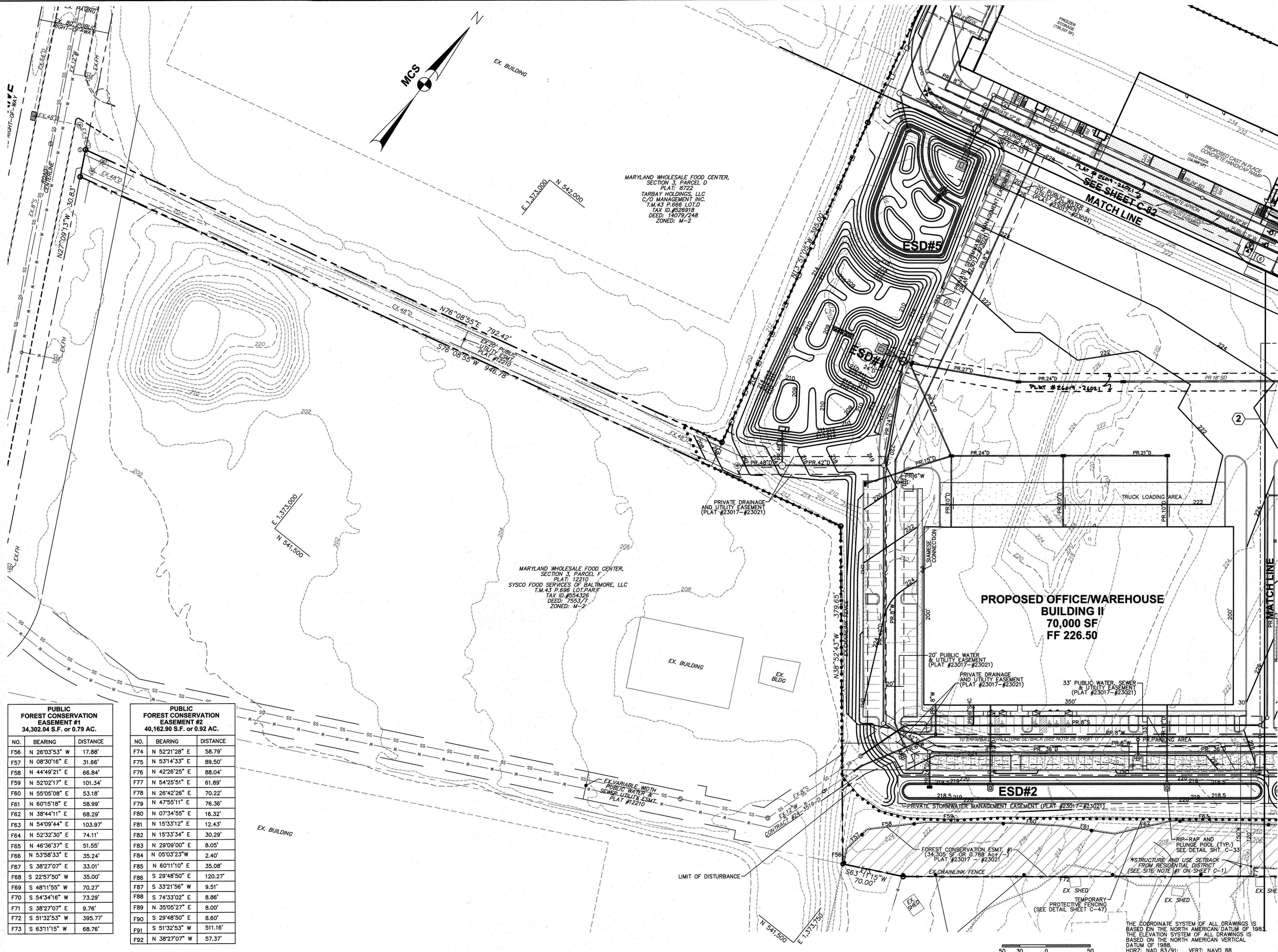
REVISED
FOREST CONSERVATION PLAN
 PLAN VIEW I
MARYLAND FOOD CENTER AUTHORITY
 PARCEL B-1 & E-1
 (WAREHOUSE & OFFICE)

HOWARD COUNTY, MARYLAND
 SCALE: 1" = 50'

DATE: AUGUST, 2021

DRAWING NO. **C-80**

SHEET 80 OF 83



MARYLAND WHOLESALE FOOD CENTER,
SECTION 3, PARCEL D
PLAT: 8722
TARBAY HOLDINGS, LLC
C/O MANAGEMENT INC.
T.M. 43 P. 696 LOT D
TAX ID: #528918
DEED: 14079/248
ZONED: M-2

MARYLAND WHOLESALE FOOD CENTER,
SECTION 3, PARCEL F
PLAT: 12210
SYSCO FOOD SERVICES OF BALTIMORE, LLC
T.M. 43 P. 696 LOT F
TAX ID: #554326
DEED: 755377
ZONED: M-2

EXISTING CONDITIONS OVERVIEW
The subject property is comprised of two parcels that are located at 7901 Oceano Drive and 7775 Chesapeake Bay Court. These properties combine to create the 35.97 acres project site.

The property at 7901 Oceano Drive has been previously developed into a seafood warehouse and sales outlet. Approximately half of this property has been developed into a warehouse building and associated parking and access. The balance of the property has been graded to a level or gently sloping pad site. This area is partly vegetated and partly gravel.

The property at 7775 Chesapeake Bay Court is a vacant of any structures but has been previously graded. The site has been graded into a large pad site. A soil stockpile is present at the eastern end of the site, just beyond the Chesapeake Bay Court cul-de-sac and a storm water management facility has been constructed at the western edge of the site. This facility does not appear to be functional at this time though it does appear to convey surface water run-off from the site through a culvert system.

Along the southern edge of the property a graded slope has been constructed. This slope lies in the grades of the pad site into the existing grades of the residential development to the south of the property.

On the graded pad site and soil stockpile successional vegetative colonization has begun. The area contains a mixed community of Japanese cedar, rosberry, indian grass, Japanese honeysuckle, young Bradford pear, black locust, virginia pine, winged staghorn sumac, and sweet gum. The woody colonization of these areas site is young and sporadic. The majority of the saplings are less than 2 inches, though some do reach four inch dbh. The tree cover on the pad site is inconsistent and fragmented. The tree cover does not meet the minimum requirements to be considered forest. This includes a requirement of 100, two inch caliper trees per acre over contiguous areas 10,000 sq.ft. and 35 foot in width. Vine cover, primarily Japanese honeysuckle, is common on the soil stockpile.

Forest is present on the tie in slopes along the southern edge of the site, continuing around the southeast corner of the site. The forest occupies 1.9 acres of the site. The forest is likely a remnant of forest community that existed prior to past site grading. The community includes tulip poplar, red oak, southern red oak, sweet gum and beech. Scattered white pine are also present within the stand. The canopy trees are generally 12-16 inches diameter at breast height and the understorey trees are 6-12 inch dbh. The understorey associates as well as red maple and black cherry. Black locust and mulberry are common along the outer edges of the community. Multiflora rose, apocynum, bush honeysuckle and blackhaw are common in the shrub layer. Vine cover in the stand is high with poison ivy, Japanese honeysuckle, periwinkle, trumpet creeper and grape all being common. Vine cover extends into the canopy of the stand. No specimen trees were noted within or outside of the forest limits.

THIS SHEET REFLECTS THE BUILDING CHANGES PER REVISION NUMBER 8. THERE ARE NO CHANGES PROPOSED TO THE FOREST CONSERVATION AREAS SHOWN ON SHEETS 44, 45, AND 46.

PUBLIC FOREST CONSERVATION EASEMENT #1 34,302.04 S.F. or 0.79 AC.			PUBLIC FOREST CONSERVATION EASEMENT #2 40,162.90 S.F. or 0.92 AC.		
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F70	S 54°34'16" W	73.29'	F88	S 74°33'02" E	8.86'
F71	S 38°27'07" E	9.76'	F89	N 35°05'27" E	8.00'
F72	S 51°32'53" W	395.77'	F90	S 29°48'50" E	8.60'
F73	S 63°11'15" W	68.76'	F91	S 51°32'53" W	511.16'
			F92	N 38°27'07" W	57.37'

APPROVED: DEPARTMENT OF PLANNING AND ZONING

Chief, Development Engineering Division: *[Signature]* 2/17/22 Date

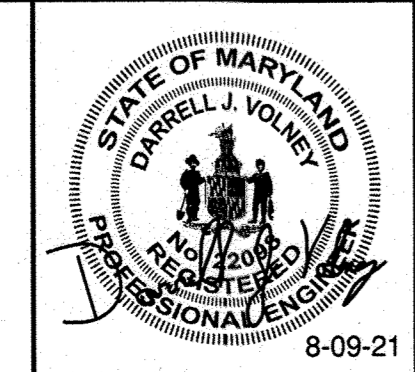
Chief, Division of Land Development: *[Signature]* 2/16/22 Date

Director: *[Signature]* 3-10-22 Date

ADDRESS CHART	
LOT / PARCEL NO.	STREET ADDRESS
PARCEL B-1	7901 OCEANO AVENUE
PARCEL E-1	7775 CHESAPEAKE BAY COURT

PERMIT INFORMATION CHART			
SUBDIVISION NAME	SECTION / AREA	LOT / PARCEL NO.	
MARYLAND FOOD CENTER AUTHORITY	3	B-1/662 & E-1/696	
PLAT NO. or L/F	GRID NO.	ZONING	TAX MAP NO.
23017-23021	21	M-2	43
		ELEC. DIST.	CENSUS TRACT
		6TH	6069.01

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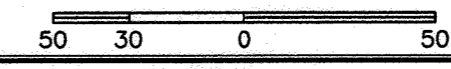
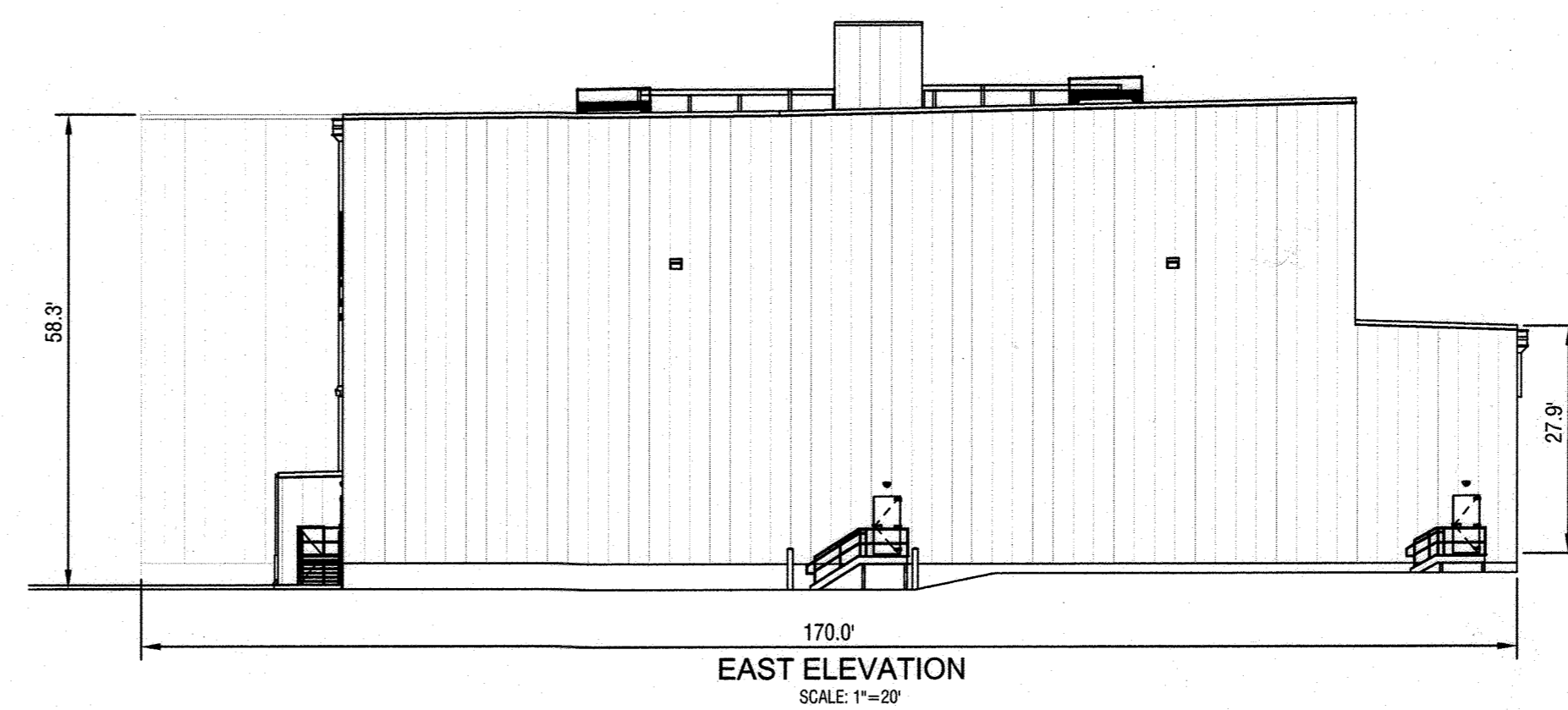
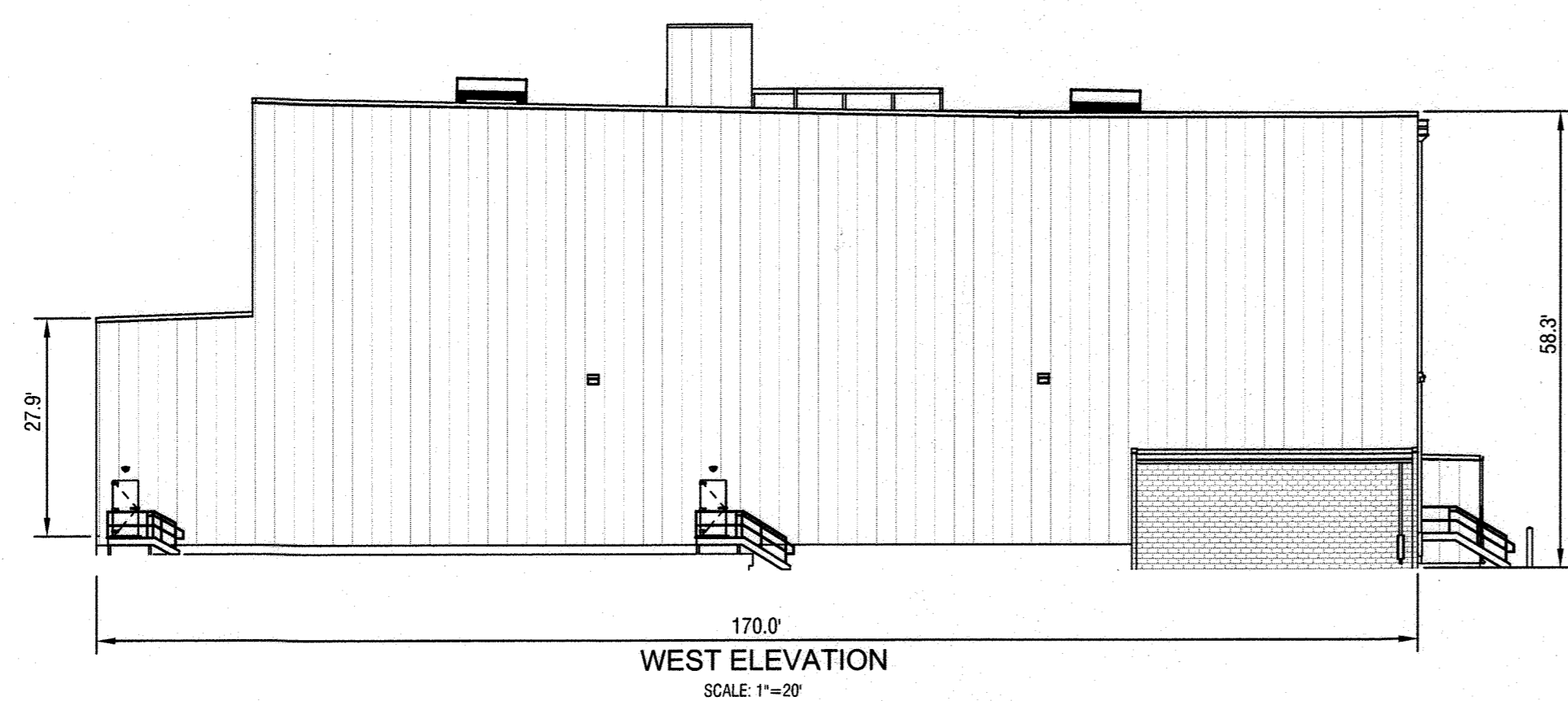
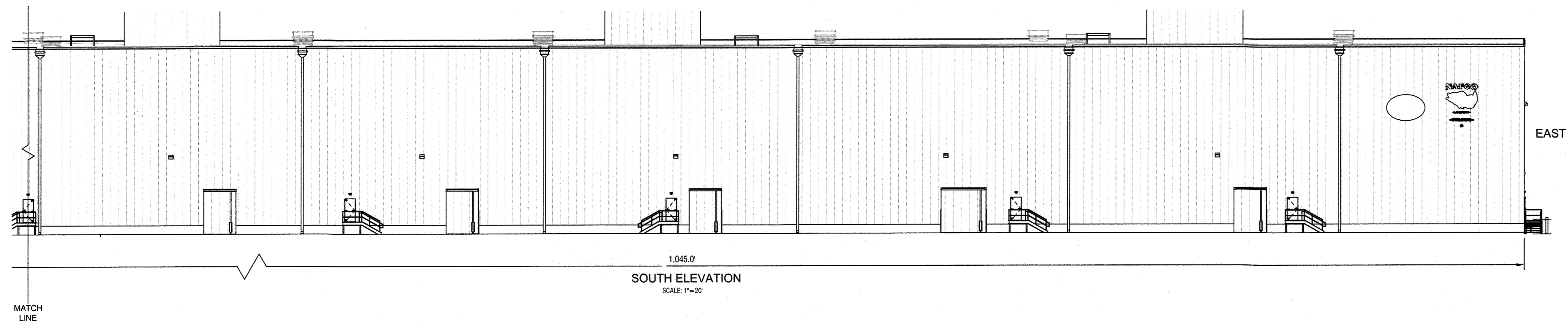
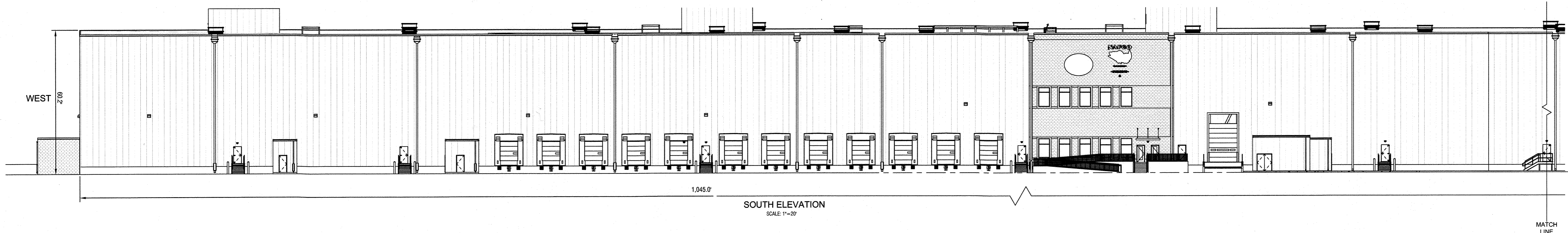
REVISIONS			
DATE	NO.	DESCRIPTION	BY
8/9/21	1	ADDED SHEET - REVISE BUILDING 3 FOOTPRINT, WATER & STORM DRAIN	MSA

FOREST CONSERVATION PLAN
PLAN VIEW II
MARYLAND FOOD CENTER AUTHORITY
PARCEL B-1 & E-1
(WAREHOUSE & OFFICE)

HOWARD COUNTY, MARYLAND
SCALE: 1" = 50'

DATE: AUGUST, 2021

DRAWING NO. **C-81**
SHEET 81 OF 83



APPROVED: DEPARTMENT OF PLANNING AND ZONING

Chief, Development Engineering Division	2-17-22
Date	
Chief, Division of Land Development	3-10-22
Date	
Director	3-10-22
Date	

ADDRESS CHART

LOT / PARCEL NO.	STREET ADDRESS
PARCEL B-1	7901 OCEANO AVENUE
PARCEL E-1	7775 CHESAPEAKE BAY COURT

PERMIT INFORMATION CHART

SUBDIVISION NAME	SECTION / AREA	LOT / PARCEL NO.
MARYLAND FOOD CENTER AUTHORITY	3	B-1/662 & E-1/696
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23017-23021	21	M-2
TAX MAP NO.	ELEC. DIST.	CENSUS TRACT
43	6TH	6069.01

MESSICK & ASSOCIATES*
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(410) 266-3212 * FAX (410) 266-3502



PROFESSIONAL CERTIFICATION
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 22098, EXPIRATION DATE: SEPT. 10, 2022.

OWNER
MARYLAND FOOD CENTER AUTHORITY
7801 OCEANO AVE
JESSUP, MD 20794
PHONE (410) 379-5760
FAX (410) 379-5773

DEVELOPER / APPLICANT
MERRITT PROPERTIES, LLC
2066 LORD BALTIMORE DRIVE
BALTIMORE, MD 21244
PHONE (410) 298-2600
FAX (410) 298-9644

REVISIONS

DATE	NO.	DESCRIPTION	BY
8/9/21	1	ADDED SHEET - REVISED BUILDING 3 ELEVATIONS	M&A

SCHEMATIC PROFILE OF PROPOSED BUILDINGS
BUILDING III
MARYLAND FOOD CENTER AUTHORITY
PARCEL B-1 & E-1
(WAREHOUSE & OFFICE)
HOWARD COUNTY, MARYLAND
SCALE: 1" = 50'
DATE: AUGUST, 2021

DRAWING NO.
C-83
SHEET 83 OF 83
SNP-14-06R