

GENERAL NOTES

- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF HOWARD COUNTY PLUS MSHA STANDARDS AND SPECIFICATIONS IF APPLICABLE.
- THE CONTRACTOR SHALL NOTIFY THE BUREAU OF ENGINEERING/CONSTRUCTION INSPECTION DIVISION AT (410) 318-1800 AT LEAST FIVE (5) WORKING DAYS PRIOR TO THE START OF WORK.
- THE CONTRACTOR SHALL NOTIFY "MISS UTILITY" AT 1-800-251-7111 AT LEAST 48-HOURS PRIOR TO ANY EXCAVATION WORK.
- PROJECT BACKGROUND:
LOCATION: SEE VICINITY MAP IN THE TOP RIGHT CORNER OF THIS SHEET
TAX MAP: 37
ELECTION DISTRICT: 1
ZONING: R-A-15 PER ZD-10-14M. The plan is grandfathered to the 2004 Comprehensive Zoning Regulations and 2006 Comp. Lite Amendments.
AREA OF BUILDABLE LOTS (Nos. B-1 THRU B-13) FOR THIS SITE DEVELOPMENT PLAN: 0.754 ACRES.
FOR OTHER SUBMISSIONS RELATED TO THIS SITE, SEE HOWARD COUNTY DEPT. OF PLANNING & ZONING FILE Nos. S-04-04, MF-04-1024, P-06-01 (PHASE I), F-07-01, F-07-03, F-14-123, MF-14-156, S-14-003.
- TRAFFIC CONTROL DEVICES, MARKINGS, AND SIGNING SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD). ALL STREET AND REGULATORY SIGNS SHALL BE IN PLACE PRIOR TO THE PLACEMENT OF ANY ASPHALT.
- ALL PLAN DIMENSIONS ARE TO THE FACE OF CURB OR FACE OF BUILDING UNLESS OTHERWISE NOTED. DIMENSIONS ARE MEASURED PERPENDICULAR OR RADIAL BETWEEN ITEMS UNLESS OTHERWISE NOTED.
- THE EXISTING TOPOGRAPHY IS TAKEN FROM F-07-43 WITH TWO FOOT CONTOUR INTERVALS PREPARED BY GUTSCHICK, LITTLE & WEBER, DATED JUNE 2014.
- COORDINATES ARE BASED ON NAD83 MARYLAND COORDINATE SYSTEM AS PROJECTED BY HOWARD COUNTY GEODETIC CONTROL STATION NUMBERS 316A & 374A.
- STORMWATER MANAGEMENT IS PROVIDED BY EXISTING FACILITIES. FACILITY B (ON PARCEL C-12, LOCATED ADJACENT TO MD RTE. 100 AND SNOWDEN RIVER PARKWAY) IS CONSTRUCTED UNDER F-06-14 AND IS A NET EXTENDED DETENTION POND (TYPE P-4) THAT WILL BE PRIVATELY OWNED AND JOINTLY MAINTAINED BY HOWARD COUNTY AND THE HOMEOWNERS ASSOCIATION. FACILITY A (ON OPEN SPACE LOT C-65, LOCATED ADJACENT TO MD ROUTE 100 AND RICHARDS VALLEY ROAD) IS CONSTRUCTED UNDER F-07-043 AND IS A STORMFILTER (P-2) WITH AN UNDERGROUND STORAGE MANIFOLD AND AN ABOVE GROUND MICRO BIO-RETENTION FACILITY (M-6) THAT WILL ALL BE PRIVATELY OWNED AND MAINTAINED.
- PUBLIC WATER AND SEWER SHALL BE UTILIZED (AS PROVIDED BY HIS CONTRACT NO. 14-4875-D AND EXISTING CONTRACT NO. 14-4355-D). WATER METERS ARE LOCATED INSIDE THE SFA BUILDINGS.
- THE EXISTING UTILITIES SHOWN HEREIN WERE DERIVED FROM AVAILABLE PUBLIC RECORDS. THE CONTRACTOR MUST DIG TEST PITS (BY HAND) AT ALL UTILITY CROSSINGS AND CONNECTION POINTS TO VERIFY EXACT LOCATION. IMMEDIATELY NOTIFY THE ENGINEER OF ANY CONFLICTS.
- ALL ROADS LABELED AS "PUBLIC" ARE PUBLICLY MAINTAINED ONCE THEY ARE DEDICATED. ALL ROADS LABELED AS "PRIVATE" ARE PRIVATELY MAINTAINED BY A HOMEOWNER ASSOCIATION.
- ANY DAMAGE TO THE ADJACENT COUNTY OWNED RIGHT-OF-WAY AND PROPERTY SHALL BE CORRECTED AT THE CONTRACTOR'S EXPENSE.
- THE FOREST CONSERVATION EASEMENTS HAVE BEEN ESTABLISHED UNDER F-06-014, F-04-088, F-08-011, F-10-060, F-11-026 and F-14-054 TO FULFILL THE REQUIREMENTS OF SECTION 16.1200 OF THE HOWARD COUNTY CODE AND FOREST CONSERVATION ACT. NO CLEARING, GRADING OR CONSTRUCTION IS PERMITTED WITHIN THE FOREST CONSERVATION EASEMENT; HOWEVER, FOREST MANAGEMENT PRACTICES AS DEFINED IN THE DEED OF FOREST CONSERVATION EASEMENT ARE ALLOWED.
- THESE ARE NO GRAVE SITES, CEMETERIES, WETLANDS, 100-YR FLOODPLAIN OR STREAMS ON THE BUILDABLE LOTS (Nos. B-1 THRU B-13) SHOWN ON THIS SITE DEVELOPMENT PLAN.
- NO GRADING, REMOVAL OF VEGETATIVE COVER OR TREES, PAVING AND NEW STRUCTURES SHALL BE PERMITTED WITHIN THE REQUIRED WETLANDS, STREAMS OR THEIR BUFFER, FOREST CONSERVATION EASEMENT AREAS AND 100 YR FLOODPLAIN.
- (*) ON JULY 14, 2004, MF 04-105, A WAIVER OF SECTION 16.1200.C(4) WAS GRANTED WHICH REQUIRES SINGLE FAMILY ATTACHED LOTS TO HAVE AT LEAST 15' OF FRONTAGE ONTO A PUBLIC ROAD RIGHT-OF-WAY; SECTION 16.1200.E(5), WHICH REQUIRES TRUNCATION OF PUBLIC ROAD RIGHT-OF-WAY BARRIERS WHERE PUBLIC ROADS INTERSECT (AT CORNER LOTS); AND SECTION 16.16.A(2)(1) WHICH PROHIBITS DISTURBANCE TO STREAMS AND STREAM BUFFERS, TO ALLOW CONSTRUCTION OF TWO PEDESTRIAN BRIDGES TO CROSS THE STREAMS. SUBJECT TO THE FOLLOWING 2 CONDITIONS IN THE APPROVAL LETTER:
1. THE DISTURBANCE TO THE STREAM AND STREAM BUFFER RELATED TO THE PEDESTRIAN BRIDGES SHALL BE MINIMIZED. THE PRELIMINARY PLAN SHALL SHOW THE LIMIT OF DISTURBANCE AND PROPOSED GRADING ASSOCIATED WITH THE BRIDGES, AND SHALL BE SUBJECT TO REVIEW AND APPROVAL BY THE SUBDIVISION REVIEW COMMITTEE.
2. IF IT IS DETERMINED BY THE DEED THAT SIGHT DISTANCE IS INADEQUATE AT THE INTERSECTIONS FOR WHICH TRUNCATION AS MAVED, THEN THE APPROPRIATE EASEMENTS MUST BE ADDED TO THE PLAN/PLAT.
- DRIVEWAYS SHALL BE PROVIDED PRIOR TO ISSUANCE OF A USE AND OCCUPANCY PERMIT FOR ANY NEW DWELLINGS TO INSURE SAFE ACCESS FOR FIRE AND EMERGENCY VEHICLES PER THE FOLLOWING MINIMUM REQUIREMENTS:
A. WIDTH - 12' (10' SERVING MORE THAN ONE RESIDENCE)
B. SURFACE - 6" OF COMPACTED CRUSHER RUN BASE WITH AND CHIP COATINGS (1-1/2" MIN)
C. GEOMETRY - MAX. 10% GRADE, MAX. 10% GRADE CHANGE AND MIN. 45' TURNING RADIUS
D. STRUCTURES (CULVERTS/BRIDGES) - CAPABLE OF SUPPORTING 25 GROSS TONS (125 LOADS)
E. DRAINAGE ELEVATIONS - CAPABLE OF SAFELY PASSING 100-YR FLOOD WITH NO MORE THAN 1 FOOT DEPTH OVER DRIVEWAY SURFACE.
F. MAINTENANCE - SUFFICIENT TO INSURE ALL WEATHER USE.
- PUBLIC REFUSE PICKUP WILL BE PROVIDED ALONG COUNTY ROADWAYS ONLY. IT IS THE RESPONSIBILITY OF THE HOA FOR PRIVATE REFUSE COLLECTION IN THE ALLEYS.
- IN ACCORDANCE WITH SECTION 128 OF THE HOWARD COUNTY ZONING REGULATIONS, BAY WINDOWS, CHIMNEYS OR EXTERIOR STAIRWAYS NOT MORE THAN 16 FEET IN WIDTH MAY PROJECT NOT MORE THAN 4 FEET INTO ANY SETBACKS, PORCHES, OR DECKS, OPEN OR ENCLOSED MAY PROJECT NOT MORE THAN 10 FEET INTO THE FRONT OR REAR YARD SETBACK.
- THE TWO CAR GARAGES WITH DRIVEWAYS LESS THAN 10 FEET IN LENGTH AND ALL ONE CAR GARAGES SHALL BE USED FOR PARKING PURPOSES ONLY AND ARE NOT PERMITTED TO BE CONVERTED TO OTHER USES IN ACCORDANCE WITH SECTION 133.D.2.A OF THE ZONING REGULATIONS. UNLESS OTHERWISE PROHIBITED BY POSTED SIGNAGE OR CURB MARKING, ON-STREET PARALLEL PARKING ALONG THE CURB WITHIN THE PUBLIC RIGHTS-OF-WAY IS ALLOWED FOR VISITOR AND OVERLAP PARKING. THE ON-STREET PARKING AREA WILL NOT BE STRIPED, WITH THE EXCEPTION OF THE PARKING SPACES THAT ARE TO BE DESIGNATED BY SIGNS.
- THERE SHALL BE NO LIMITS ON THE MAXIMUM LOT COVERAGE FOR ATTACHED UNITS, PER ZONING REGS. 12863.3.
- ALL BUILDING FOUNDATIONS MUST BE BRICKPOINTED UNLESS NOTED OTHERWISE.
- THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE PROVISIONS OF SECTION 16.124 OF THE HOWARD COUNTY CODE AND LANDSCAPE MANUAL. FINANCIAL SURETY IN THE AMOUNT OF \$500,000 FOR IT SHADE TREES, 0 EVERGREEN TREES AND 0 SHRUBS HAS BEEN POSTED WITH THE DEVELOPER'S AGREEMENT.
- THE MIU AGREEMENT AND MIU COVENANTS AND RESTRICTIONS RECORDATION NUMBERS ARE L. 16520.F. 328, AND L. 16520.F. 329
- THE ARTICLES OF INCORPORATION FOR THE SHIPLEY'S GRANT COMMUNITY ASSOCIATION HAS FILED WITH MD. STATE DEPT. OF ASSESSMENTS & TAXATION ON MAY 22, 2001, RECEIPT # DHS95123, L. 10771.F. 671.
- STORMWATER MANAGEMENT IS PROVIDED IN ACCORDANCE WITH THE 2000 MARYLAND STORMWATER DESIGN MANUAL, VOLUMES I AND II. IT WAS DETERMINED THAT THE PROJECT MET THE CRITERIA OUTLINED IN THE MD'S STORMWATER MANAGEMENT REGULATIONS GUIDELINES FOR IMPLEMENTATION FOR ACCEPTANCE OF THE 2000 DESIGN CRITERIA. STORMWATER MANAGEMENT FOR THIS SITE IS PROVIDED BY FACILITIES A & B (SEE NOTE 4). FACILITY A WAS PRELIMINARILY APPROVED WITH P-06-001 ON 8/8/06, AND RECEIVED FINAL APPROVAL WITH F-07-43 ON 6/10/07. CONSTRUCTION FOR FACILITY A WAS COMPLETED IN SEPTEMBER, 2008. FACILITY B WAS PRELIMINARILY APPROVED WITH C-04-01 ON 2/10/05, AND RECEIVED FINAL APPROVAL WITH F-06-14 ON 8/10/06. FACILITY B IS CURRENTLY FUNCTIONING AS A BASIN FOR TEMPORARY STORMWATER MANAGEMENT AND ALL CONSTRUCTION FOR FACILITY B WILL BE COMPLETED PRIOR TO MAY 4, 2017.
- BUILDING LENGTH/BUILDINGS EXCEEDING THE 120' LENGTH LIMIT HAVE BEEN APPROVED BY THE DEPARTMENT OF PLANNING AND ZONING TO SIGNIFICANT BUILDING ARTICULATION IN ACCORDANCE WITH SECTION 121.6 OF THE ZONING REGULATIONS. SEE BUILDING LENGTH EXHIBIT ON FILE UNDER THIS SITE PLAN.
- THE SEWER HOUSE CONNECTION ELEVATIONS SHOWN ARE LOCATED AT THE PROPERTY LINE.
- FOR PRIVATE DRIVEWAY ENTRANCE DETAILS SEE SHEET 3
- THE GARAGES ON LOTS B-1 THRU B-13 CAN ONLY BE USED FOR PARKING VEHICLES.
- MF-14-156, A WAIVER OF SECTION 16.145 WHICH REQUIRES A PRELIMINARY EQUIVALENT SKETCH PLAN, WAS APPROVED ON NOVEMBER 3, 2014 UNDER THE FOLLOWING CONDITIONS:
1. PLEASE ADD THE ADDITIONAL DWELLING UNITS, TRAFFIC CIRCULATION, AND COMPLETE EXHIBIT OF RECREATIONAL AND TRADITIONAL NEIGHBORHOOD OPEN SPACES WITH THE SUBMISSION OF S-14-003 IN ORDER TO SHOW THE IMPROVEMENTS IN THE CONTEXT OF THE LARGER SHIPLEY'S GRANT DEVELOPMENT.
2. NO MORE THAN 10 UNITS MAY BE PROPOSED FOR PARCEL B-1.
3. THE TRANSITION FROM A RIGHT-OF-WAY TO A PRIVATE ROAD ALONG LOTS B-1 THROUGH B-6 ON DONOVAN LANE IS APPROPRIATELY SIGNED PER DEPARTMENT OF PUBLIC WORKS REQUIREMENTS (TO BE ADDRESSED ON THE FINAL PLAN (F-14-123) AND THE SITE DEVELOPMENT PLAN (SDP-14-062)).
- Driveways less than 9 feet in length are grandfathered to the TND provisions for reduced driveway width per Section 153.C.4 of the 2004 Zoning Regulations.

SITE DEVELOPMENT PLAN

SHIPLEY'S GRANT

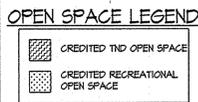
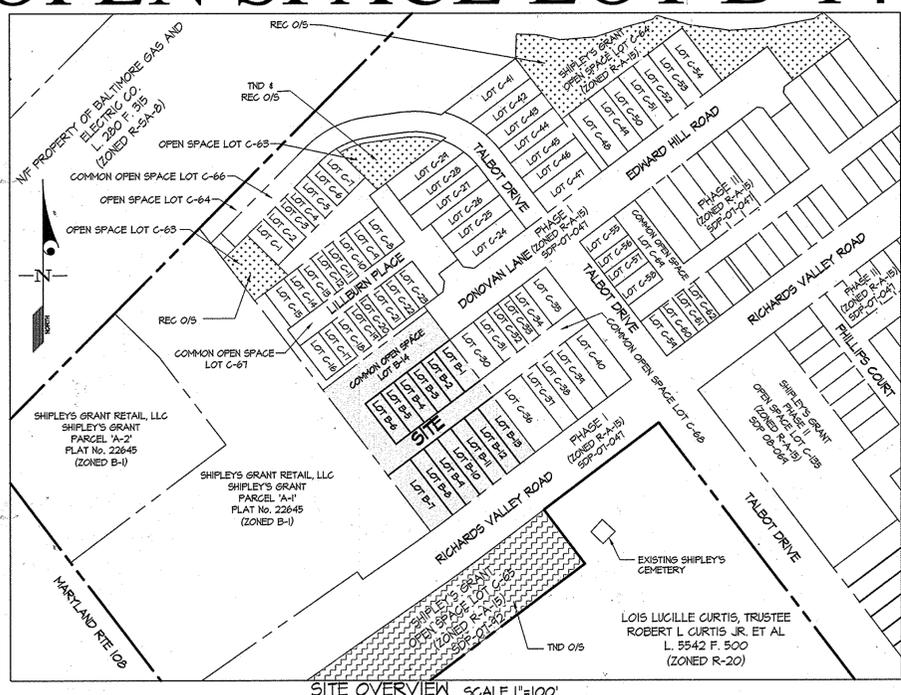
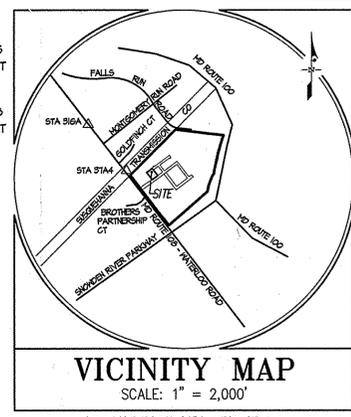
PHASE VII

LOTS B-1 THRU B-13 & COMMON

OPEN SPACE LOT B-14

HOWARD COUNTY CONTROL STATIONS
316A ELEV. = 511.65
STANDARD DISC ON CONCRETE MONUMENT
N 564,923.75 E 1361,067.65

374A ELEV. = 487.28
STANDARD DISC ON CONCRETE MONUMENT
N 563,895.91 E 1361,971.65



SITE ANALYSIS

- GENERAL SITE DATA
 - PRESSENT ZONING: R-A-15
 - PROPOSED USED FOR SITE AND STRUCTURE: SINGLE FAMILY ATTACHED
 - TOTAL NUMBER OF UNITS ALLOWED: 13
 - TOTAL NUMBER OF UNITS PROVIDED: 13
- AREA TABULATION
 - SITE AREA: 0.754 AC. FOR 13 BUILDABLE LOTS
 - AREA OF PLAN SUBMISSION: 0.754 AC.
 - LIMIT OF DISTURBANCE: 0.754 AC.
- PARKING TABULATION:
 - PARKING REQUIRED: 13 UNITS X 2 SPACES PER UNIT = 26 SPACES
GUEST PARKING REQUIRED: 13 UNITS X 0.5 SPACES PER UNIT = 7 SPACES
TOTAL PARKING REQUIRED: = 33 SPACES
 - PARKING PROVIDED: 2 CAR GARAGE SPACES X 13 = 26 SPACES
TANDEM PARKING SPACES = 12 SPACES
ALLEY PARALLEL SPACES = 8 SPACES
TOTAL SPACES PROVIDED = 46 SPACES

BUILDING RESTRICTION ANALYSIS

- REQUIRED FRONT OR SIDE SETBACK FROM AN INTERNAL STREET RIGHT-OF-WAY SHALL BE 0' FOR RESIDENTIAL USES.
- REQUIRED FRONT OR SIDE SETBACK FROM AN ALLEY RIGHT-OF-WAY SHALL BE 0' FOR ACCESSORY STRUCTURES.
- REQUIRED SIDE OR REAR SETBACKS FROM AN ALLEY RIGHT-OF-WAY FOR A PRINCIPAL STRUCTURE WITH AN INTEGRAL GARAGE SHALL BE 0'.
- MINIMUM BUILDING SEPARATION FOR REAR TO REAR CONDITION SHALL BE 60'. THE MINIMUM REAR TO REAR DISTANCE FOR STRUCTURES ON OPPOSITE SIDES OF AN ALLEY MAY BE REDUCED TO 30'.
- MINIMUM BUILDING SEPARATION FOR FACE TO FACE CONDITION SHALL BE 30'.
- MINIMUM BUILDING SEPARATION FOR FACE TO SIDE OR REAR TO SIDE CONDITION SHALL BE 30'.
- MINIMUM BUILDING SEPARATION FOR SIDE TO SIDE CONDITION SHALL BE 15'.
- MINIMUM BUILDING SEPARATION FOR REAR TO FACE CONDITION SHALL BE 100'.

SHEET INDEX

SHEET NO.	TITLE
1	COVER SHEET
2	SITE DEVELOPMENT PLAN
3	SITE DETAILS, STORM DRAIN PROFILE AND SCHEDULES
4	SEDIMENT CONTROL PLAN AND SOILS MAP
5	SEDIMENT CONTROL DETAILS AND NOTES
6	LANDSCAPE PLAN
7	LANDSCAPE DETAILS, NOTES AND SCHEDULES
8	STORM DRAIN DRAINAGE AREA MAP

PHASE	PARCEL NUMBER OR HOWARD COUNTY FILE No.	PLAN STATUS	GROSS	100 YR. FLOODPLAIN	NET	0/S ¹ REQ'D	0/S PROV. ²	MIN. REC. 0/S REQ'D	REC. 0/S PROVIDED	MIN. REQ'D. TND 0/S ⁴	TND 0/S PROVIDED
1	F 07-043/SDP-07-047	APPROVED	13.63 AC.	1.36 AC.	12.27 AC.	3.41 AC.	8.23 AC. (60%)	24,800 S.F. ³	55,307 S.F.	0.68 AC./29,686 S.F.	0.99 AC./43,157 S.F. ⁹
2	F 07-059/SDP-07-048	APPROVED	5.81 AC.	0.00 AC.	5.81 AC.	1.45 AC.	0.65 AC. (11%)	24,800 S.F. ³	28,248 S.F.	0.29 AC./12,654 S.F.	0.85 AC./37,124 S.F.
3	F 08-006/SDP-10-082	APPROVED	12.94 AC.	0.50 AC.	12.44 AC.	3.24 AC.	6.19 AC. (48%)	26,000 S.F. ³	27,840 S.F.	0.65 AC./28,183 S.F.	0.37 AC./16,126 S.F. ¹⁰
4	F 09-088/SDP-10-082, SDP-10-87	APPROVED	5.77 AC.	0.00 AC.	5.77 AC.	1.44 AC.	1.68 AC. (30%)	26,000 S.F. ³	6,591 S.F.	0.29 AC./12,567 S.F.	0.15 AC./6,591 S.F.
5	F 10-048/SDP-12-061	APPROVED	5.50 AC.	0.00 AC.	5.50 AC.	1.38 AC.	0.44 AC. (9%)	23,600 S.F. ³	0 S.F.	0.28 AC./11,979 S.F.	0 AC./0 S.F.
6	F 11-026/SDP-12-061, SDP-12-045	APPROVED	4.20 AC.	0.00 AC.	4.20 AC.	1.05 AC.	0.00 AC.	33,200 S.F. ³	19,396 S.F.	0.21 AC./9,148 S.F.	0 AC./0 S.F.
7	F 14-123/SDP-14-063 ⁵	THIS PHASE PLANS SUBMITTED	0.75 AC.	0.00 AC.	0.75 AC.	0.19 AC.	0.00 AC.	9,100 S.F. ³	0 S.F.	0.04 AC./1,833 S.F.	0 AC./0 S.F.
8	PARCEL D-2/5-14-003/P-15-002	THIS PHASE PLANS SUBMITTED	6.60 AC.	0.00 AC.	6.60 AC.	1.65 AC.	1.73 AC. (26%)	33,800 S.F. ³	21,361 S.F.	0.33 AC./14,375 S.F.	0.49 AC./21,361 S.F.
---	AMENITY CREDITS 7 ⁸								45,875 S.F.		
CUMULATIVE TOTAL			55.20 AC.	1.86 AC.	53.34 AC.	13.80 AC.	18.92 AC. (35%)	201,300 S.F.	204,618 S.F.	2.76 AC./120,224 SF	2.85 AC./124,359 S.F.

- DEVELOPMENT TRACKING CHART AND SITE ANALYSIS NOTES:**
- MINIMUM REQUIRED OPEN SPACE (O/S) IS CALCULATED AS 25% OF THE GROSS AREA.
 - PERCENT OPEN SPACE PROVIDED IS OF THE GROSS AREA.
 - MINIMUM REQUIRED RECREATION OPEN SPACE (ROS) FOR PHASE I-IV IS CALCULATED AS 400 SF PER UNIT.
 - MINIMUM REQUIRED TRADITIONAL NEIGHBORHOOD O/S IS CALCULATED AS 20% OF THE GROSS AREA.
 - MINIMUM REQUIRED RECREATION OPEN SPACE FOR PHASE VI (PER THE 2013 COMPREHENSIVE ZONING PLAN WHICH REQUIRES AN ADDITIONAL 300 SF ROS PER LOT FOR LOTS WITHOUT A 15 FT USABLE YARD) - 13 LOTS X 700 SF = 9,100 SF.
 - MINIMUM REQUIRED RECREATION OPEN SPACE FOR PHASE VII (PER THE 2013 COMPREHENSIVE ZONING REGULATIONS EFFECTIVE 10/06/13 WHICH REQUIRES AN ADDITIONAL 300 SF ROS PER LOT FOR LOTS D-161 THRU D-177 AND D-180 THRU D-184 WHICH DO NOT HAVE A 15 FT USABLE YARD) - 28 LOTS X 700 SF = 19,600 SF + 39 LOTS X 400 SF = 15,600 SF FOR A TOTAL OF 33,800 SF. SEE REQUIRED RECREATION OPEN SPACE CALCULATIONS IN SITE ANALYSIS ABOVE.
 - 13,520 SF OF RECREATION OPEN SPACE HAS BEEN INCLUDED USING AMENITY FEATURE AREA CREDITS APPROVED BY DPZ (PER THE 6/15/2012 POLICY MEMO), INCLUDING 3,650 SF FOR A COMMUNITY CENTER, 3960 SF FOR A COMMUNITY POOL, 2,000 SF FOR A GAZEBO, 2000SF FOR A TOT LOT, AND 1,600 SF FOR BENCHES AS OUTLINED IN A LETTER TO DPZ DATED 1/17/2013. CREDITS FOR THE COMMUNITY CENTER AND POOL MAY BE INCREASED IF A REGULATION OR A DPZ POLICY INCREASES THE VALUE FOR THESE MAJOR RECREATIONAL FACILITIES. IF A CREDIT VALUE IS INCREASED, A REDLINE TO THIS PLAN WILL BE REQUIRED TO UPDATE THE CHART AND THE CREDIT VALUES.
 - 32,355 SF OF RECREATION OPEN SPACE HAS BEEN INCLUDED USING AMENITY FEATURE AREA CREDITS APPROVED BY DPZ (PER THE 6/15/2012 POLICY MEMO), INCLUDING 5,520 SF FOR A COMMUNITY CENTER, 5,520 SF FOR A COMMUNITY POOL, AND 21,315 SF FOR ASPHALT PATHWAYS AS OUTLINED IN A LETTER TO DPZ DATED 10/14/2014 CREDITS FOR THE COMMUNITY CENTER AND POOL MAY BE INCREASED IF A REGULATION OR A DPZ POLICY INCREASES THE VALUE FOR THESE MAJOR RECREATIONAL FACILITIES. IF A CREDIT VALUE IS INCREASED, A REDLINE TO THIS PLAN WILL BE REQUIRED TO UPDATE THE CHART AND THE CREDIT VALUES.
 - INCLUDES ADDITIONAL TND OS ADDED BY REDLINE TO SDP-07-046 IN JANUARY 2013
 - INCLUDES ADDITIONAL TND OS ADDED BY REDLINE TO SDP-10-082 IN JANUARY 2013

PHASE No.	MAX. UNIT DENSITY (15 Units / Net Ac.)	TOTAL UNITS ON-SITE	REQUIRED MIU'S @ 10%	PROPOSED R-A-15 UNITS			CONDOMINIUM/ APARTMENT UNITS	PROPOSED UNIT DENSITY
				MARKET RATE SFA UNITS	MIU ON-SITE	OFF-SITE		
PHASE I	12.27 AC.	184	62	54	8	0	5.1 UNITS/NET AC.	
PHASE II	5.81 AC.	87	62 (66)	6	6	0	10.7 (11.4) UNITS/NET AC.	
PHASE III	12.44 AC.	186	65 (69)	7	6	0	5.2 (5.5) UNITS/NET AC.	
PHASE IV	5.77 AC.	86	65 (57)	7	17	0	11.3 (9.9) UNITS/NET AC.	
PHASE V	5.50 AC.	82	59	6	55	4	10.5 UNITS/NET AC.	
PHASE VI	4.21 AC.	63	83	8	49	2	19.7 UNITS/NET AC.	
PHASE VII	0.75 AC.	11	13	1	12	1	17.3 UNITS/NET AC.	
PHASE VIII	6.59 AC.	98	65	7	58	7	9.9 UNITS/NET AC.	
SITE TOTAL	46.75 AC.	797	474	48	372 (380)	22	8.7 UNITS/NET AC.	

- OF THE 41 MIU'S THAT ARE REQUIRED, 15 ARE PROVIDED ON-SITE (on Lots B-5, C-3, C-4, C-11, C-12, C-19, C-20, C-32, C-33, D-43, D-44, D-48, D-49, D-127 & D-128) AND 26 ARE TO BE PROVIDED OFF-SITE.
- THE NUMBERS IN PARENTHESES ARE THE RESULT OF TRANSFERRING 8 ALLOCATION UNITS FROM THE PHASE IV APARTMENTS TO 8 SFA UNITS IN PHASES II AND III (each with 4 additional SFA units). THE 8 ADDITIONAL SFA LOTS IN PHASE II AND III ARE CREATED BY PLAT Nos. 21038-41.
- THE PHASE IV APARTMENTS ARE ON SDP-10-087.
- PHASE V LOTS D-124 THRU D-131 WILL BE PART OF A FUTURE SDP (INCLUDED IN UNIT TABULATION).
- PHASE V LOT C-337 WAS INCLUDED IN SDP-10-082.
- THE PHASE VI APARTMENTS ARE ON SDP 12-045
- IN PHASE 7 ONE ADDITIONAL TEMPORARY MIU WILL BE PROVIDED (LOT B-3) IN ADDITION TO THE PERMANENT MIU LOT B-5. THE COUNTY AGREES TO RELEASE THE MIU COVENANT ON LOT B-3 UPON RECEIPT OF FINAL SDP APPROVAL FOR PHASE VII WITH 63 TOTAL UNITS AND 7 MIHUS.

ADDRESS CHART

LOT No.	STREET ADDRESS
B-1	5855 DONOVAN LANE
B-2	5855
B-3	5851
B-4	5844
B-5	5847
B-6	5845
B-7	5745 RICHARDS VALLEY ROAD
B-8	5747
B-9	5744
B-10	5751
B-11	5753
B-12	5755
B-13	5757

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
 Director: *William J. Goffe* 11-16-15
 Chief, Division of Land Development: *Walter J. Goffe* 11-02-15
 Chief, Development Engineering Division: *Chris Block* 9-30-15

GLWGutshick Little & Weber, P.A.
 CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
 3909 NATIONAL DRIVE, SUITE 250 - BURTNSVILLE OFFICE PARK
 BURTNSVILLE, MARYLAND 20886
 TEL: 301-421-4024 BALT: 410-880-1820 DC/VA: 301-989-2524 FAX: 301-421-4186

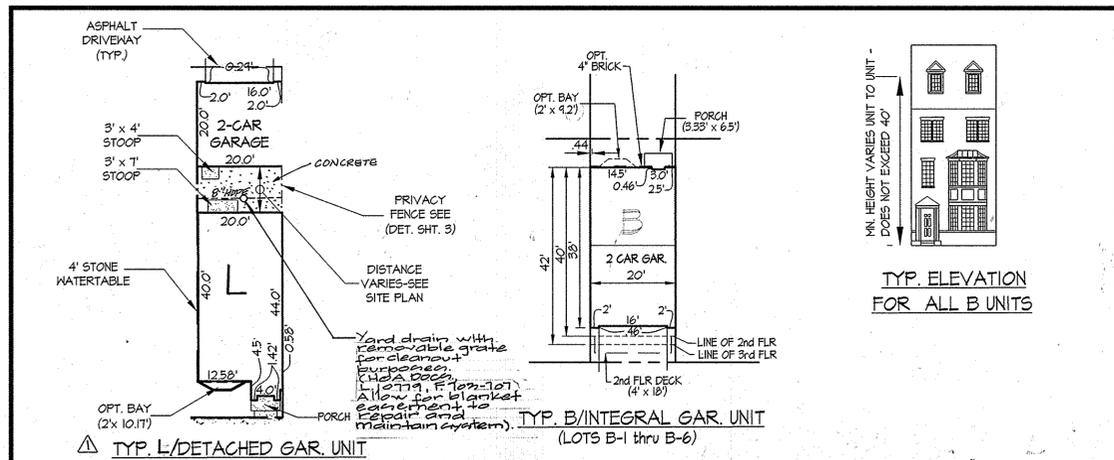
DES.	WSD	DRN.	WSD	CHK.	MJT	DATE	REVISION	BY	APP'R.

PREPARED FOR & OWNER:
 BA SHIPLEY, LLC
 C/O BOZZUTO HOMES, INC.
 6406 IVY LANE, SUITE 700
 GREENBELT, MARYLAND 20770
 ATTN: CHRIS BLOCK
 301-623-3672

PROFESSIONAL CERTIFICATION
 I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 1483
 EXPIRATION DATE: MAY 21, 2016

COVER SHEET
SHIPLEY'S GRANT
PHASE VII
 LOTS B-1 THRU B-13 AND COMMON OPEN SPACE LOT B-14
 PLAT Nos. 23526-23527
 HOWARD COUNTY, MARYLAND

SCALE	ZONING	G. L. W. FILE No.
AS SHOWN	R-A-15	05030
DATE	TAX MAP - GRID	SHEET
SEPT, 2015	37 - 1&2	1 OF 8

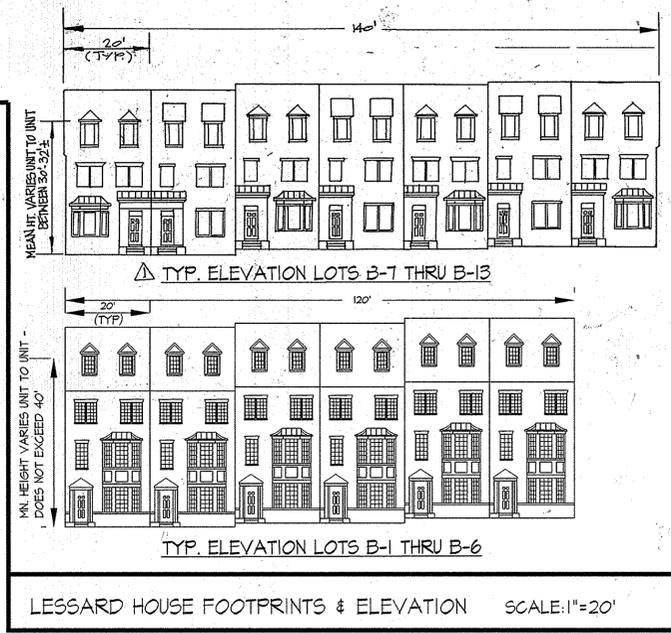


TYP. L/DETACHED GAR. UNIT
(LOTS B-7 THRU B-13)

TYP. B/INTEGRAL GAR. UNIT
(LOTS B-1 THRU B-6)

LEGEND

- EX. CONTOUR
- PROP. CONTOUR
- PROPOSED STORM DRAIN
- EX. SD
- EX. STORM DRAIN
- LOD
- LIMIT OF SUBMISSION
- EX. S.S. (public)
- EX. SANITARY SEWER
- EX. W. (public)
- EX. WATERLINE
- EX. CURB & GUTTER
- CONCRETE CURB & GUTTER
- PROP. CONCRETE SIDEWALK
- EX. CONCRETE SIDEWALK
- EXISTING EASEMENTS
- SBD
- SAME BEARING AND DISTANCE
- NUMBER OF PARKING SPACES
- EX. LIGHT FIXTURE & POLE
- EXISTING PAVING



TYP. ELEVATION LOTS B-7 THRU B-13

TYP. ELEVATION LOTS B-1 THRU B-6

LESSARD HOUSE FOOTPRINTS & ELEVATION SCALE: 1"=20'

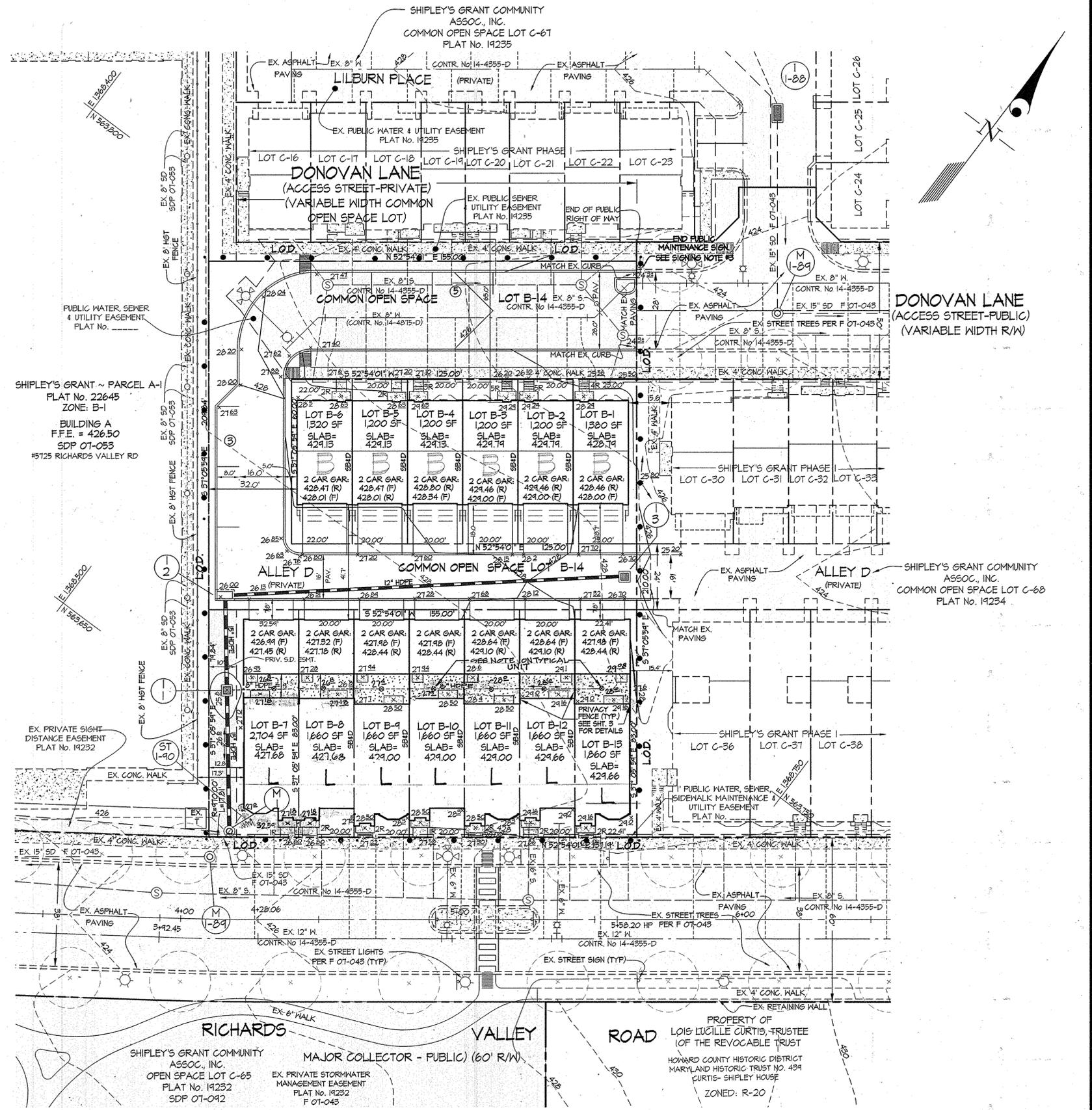
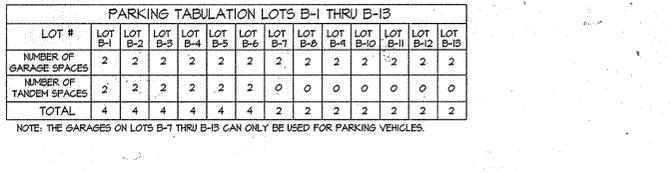
- NOTES:**
- ALL PROPOSED PAVEMENT, EXCEPT FOR DRIVEWAYS AND SIDEWALK, IN COMMON OPEN SPACE B-14 IS TYPE P-3 PER HOWARD COUNTY STANDARD, DETAIL R-2.01. SEE DETAIL SHEET 3
 - SIDEWALK IN COMMON OPEN SPACE LOT B-14 IS A CONCRETE SIDEWALK PER DETAIL R-3.05
 - SEE SHEET 3 FOR PRIVATE DRIVEWAY AND APRON DETAIL AND DRIVEWAY PAVING SECTION

- SIGNING NOTES:**
- ALL SIGN POSTS USED FOR TRAFFIC CONTROL SIGNS INSTALLED IN THE COUNTY RIGHT-OF-WAY SHALL BE MOUNTED ON A 2" GALVANIZED STEEL, PERFORATED, SQUARE TUBE POST (14 GAUGE) INSERTED INTO A 2-1/2" GALVANIZED STEEL, PERFORATED, SQUARE TUBE SLEEVE (12 GAUGE) - 3' LONG. A GALVANIZED STEEL POLE CAP SHALL BE MOUNTED ON TOP OF EACH POST.
 - ALL SIGN LOCATIONS WITHIN THE PUBLIC RIGHT OF WAY SHALL BE APPROVED BY THE HOWARD COUNTY TRAFFIC DIVISION (410-315-5752) PRIOR TO ANY INSTALLATIONS.
 - DEVELOPER TO CONTACT THE HOWARD COUNTY TRAFFIC DIVISION (410-315-5752) TO HAVE 'END OF PUBLIC MAINTENANCE' SIGN FABRICATED BY HOWARD COUNTY. THE DEVELOPER WILL PAY FOR FABRICATION.

PARKING TABULATION LOTS B-1 THRU B-13

LOT #	LOT B-1	LOT B-2	LOT B-3	LOT B-4	LOT B-5	LOT B-6	LOT B-7	LOT B-8	LOT B-9	LOT B-10	LOT B-11	LOT B-12	LOT B-13
NUMBER OF GARAGE SPACES	2	2	2	2	2	2	2	2	2	2	2	2	2
NUMBER OF TANDEM SPACES	2	2	2	2	2	2	0	0	0	0	0	0	0
TOTAL	4	4	4	4	4	4	2	2	2	2	2	2	2

NOTE: THE GARAGES ON LOTS B-7 THRU B-13 CAN ONLY BE USED FOR PARKING VEHICLES.



APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

Director: *William J. Jaffe* 11-10-16

Chief, Division of Land Development: *W. J. Jaffe* 11-03-15

Chief, Development Engineering Division: *W. J. Jaffe* 9-30-15

GLWGUTSCHICK LITTLE & WEBER, P.A.
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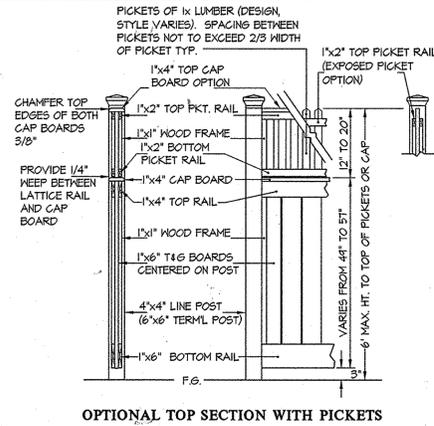
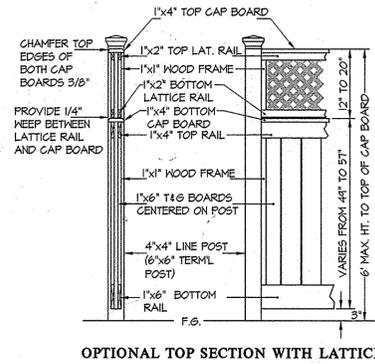
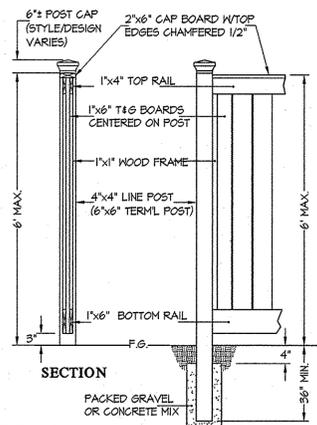
PREPARED FOR & OWNER:
BA SHIPLEY, LLC
C/O BOZZUTO HOMES, INC.
6405 IVY LANE, SUITE 700
GREENBELT, MARYLAND 20770
ATTN: CHRIS BLOCK
301-623-3672

PROFESSIONAL CERTIFICATION
I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.
LICENSE NO. 183
EXPIRATION DATE: MAY 21, 2016

SITE DEVELOPMENT PLAN
SHIPLEY'S GRANT PHASE VII
LOTS B-1 THRU B-13 AND COMMON OPEN SPACE LOT B-14
PLAT Nos. 23520, 23627

SCALE: 1" = 20'
ZONING: R-A-15
G. L. W. FILE No. 05030
DATE: SEPT., 2015
TAX MAP - GRID: 37 - 1&2
SHEET: 2 OF 8

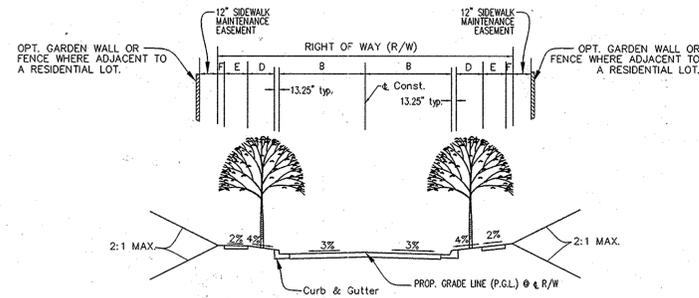
ELECTION DISTRICT No. 1
HOWARD COUNTY, MARYLAND



TYPICAL ROAD SECTION & ROAD INFORMATION

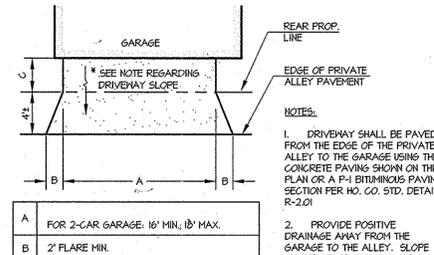
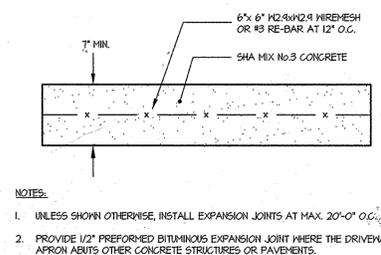
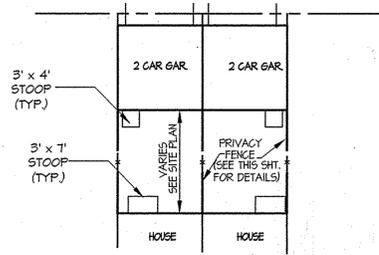
ROAD NAME	STATION	ROAD CLASSIFICATION	DESIGN SPEED	A	B	C	D	E	F	R/W	PAVING SECTION
DONOVAN LANE EXTENDED	(PRIVATE)	ACCESS STREET	25 MPH	14'			5'-6.78"	4'	4'	50'	P-3 **

** MODIFIED COMBINATION CURB AND GUTTER



TYPICAL ROAD SECTION

NOT TO SCALE



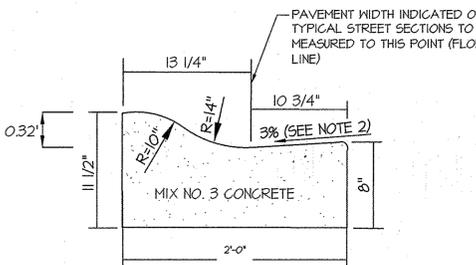
PRIVACY FENCES

SCALE: 1"=20'

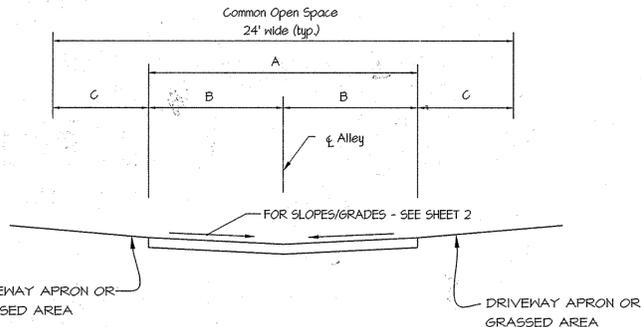
CONCRETE DRIVEWAY and APRON PAVEMENT SECTION

PRIVATE DRIVEWAY and APRON DETAIL

NO SCALE



ROAD NAME	STATION	ROAD CLASSIFICATION	DESIGN SPEED	A	B	C	D	E	F	R/W	PAVING SECTION
PRIVATE ALLEYS	N/A	N/A	N/A	16'	8'	4'					P-3

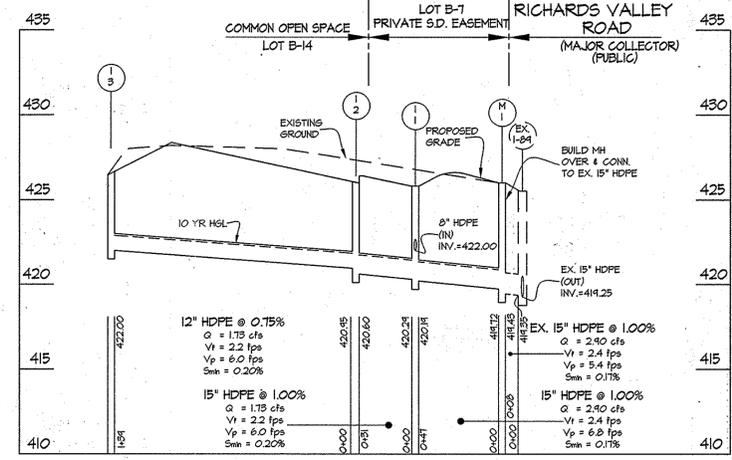


MODIFIED COMBINATION CURB AND GUTTER

NOT TO SCALE

TYPICAL ROAD SECTION FOR PRIVATE ALLEYS

NOT TO SCALE



STORM DRAIN PROFILE

PROFILE SCALES:
HORIZ: 1" = 50'
VERT: 1" = 5'

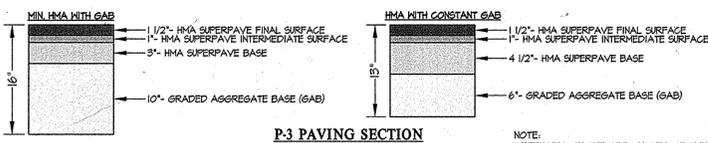
S.D. Pipe Summary Table

Size (in.)	Type	Quantity (L.F.)	Remarks
12	HDPE	134	ADS N12 or equiv.
15	HDPE	78	ADS N12 or equiv.

S.D. STRUCTURE SCHEDULE

NO.	TYPE	WIDTH (INSIDE)	TOP ELEVATION		INVERT ELEVATION		STANDARD DETAIL	NOTES	OWNERSHIP & MAINTENANCE
			UPPER	LOWER	UPPER	LOWER			
1-3	"5"	2'-15"	426.62	426.46	---	422.00	HO. CO. D 4.22		PRIVATE
1-2	DOUBLE "5"	2'-15"	426.01*	426.00*	420.95	420.60	HO. CO. D 4.23		PRIVATE
1-1	"5"	2'-15"	425.80	425.80	422.00	420.14	HO. CO. D 4.22		PRIVATE
M-1	MANHOLE	4'-0"	426.00	---	419.72	419.43	HO. CO. G 5.13		PRIVATE

* FLOW LINE ELEVATION



P-3 PAVING SECTION

NOTE: DEPENDING ON THE CBR VALUES OBTAINED IN THE FIELD, THE PAVING SECTIONS MAY BE REVISED, IF APPROVED BY A PROFESSIONAL SOILS ENGINEER. THESE SUBSTITUTIONS MUST ALSO BE APPROVED BY THE HOWARD COUNTY DEPT. OF PUBLIC WORKS.

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
 Director: *William J. Lee* 11-6-15
 Chief, Division of Land Development: *Kevin J. O'Connell* 11-03-15
 Chief, Development Engineering Division: *Chris E. Egan* 9-30-15

GLWGUTSCHICK LITTLE & WEBER, P.A.
 CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
 3909 NATIONAL DRIVE - SUITE 250 - BURTOWNSVILLE OFFICE PARK
 BURTOWNSVILLE, MARYLAND 20866
 TEL: 301-421-4024 BALT: 410-880-1820 DC/VA: 301-989-2524 FAX: 301-421-4186

DATE	REVISION	BY	APP'R.

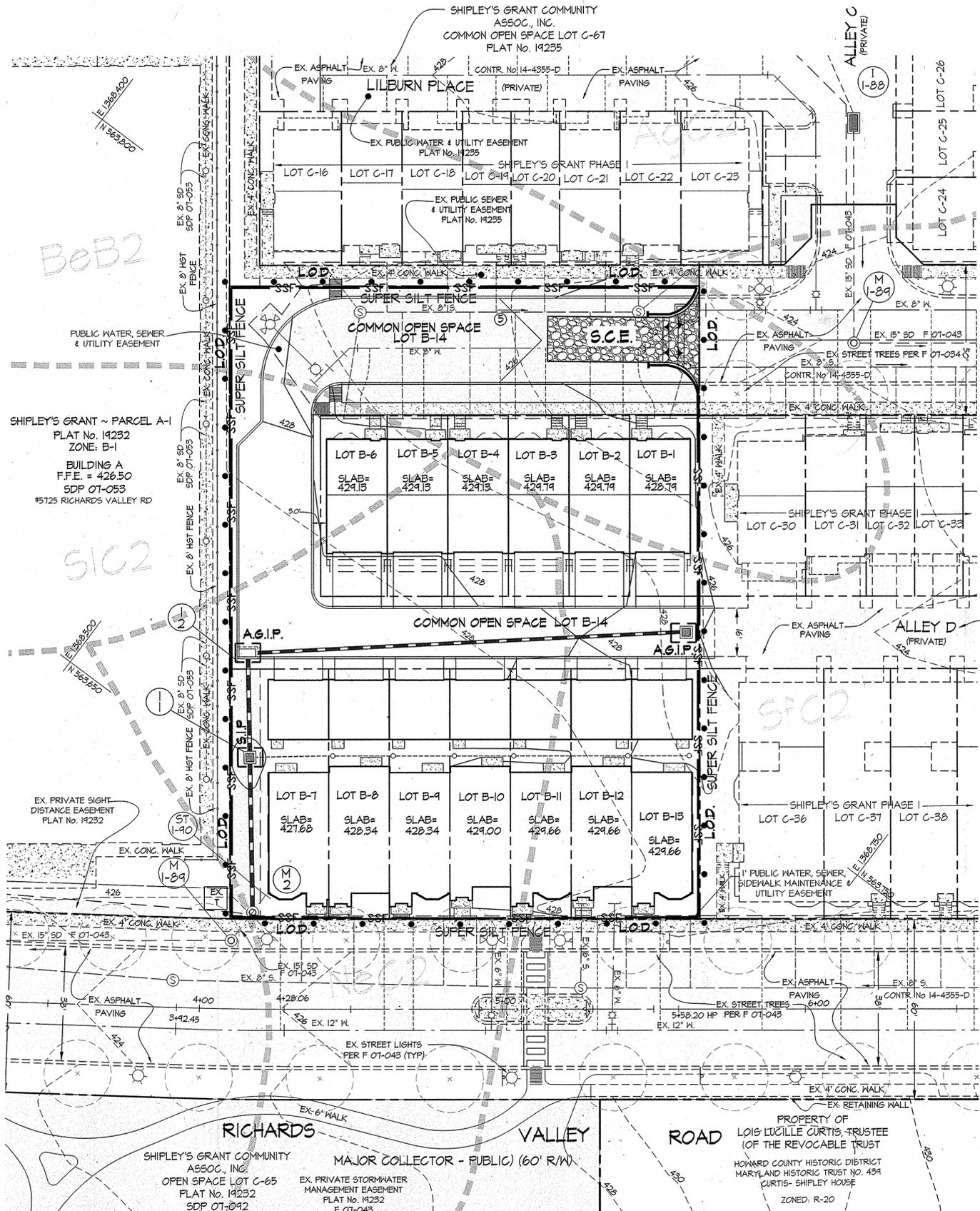
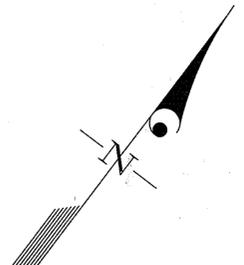
PREPARED FOR & OWNER:
 BA SHIPLEY, LLC
 C/O BOZZUTO HOMES, INC.
 6406 IVY LANE, SUITE 700
 GREENBELT, MARYLAND 20770
 ATTN: CHRIS BLOCK
 301-623-3672

PROFESSIONAL CERTIFICATION
 I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 14931
 EXPIRATION DATE: MAY 21, 2016



SITE DETAILS/SCHEDULES AND PROFILE
SHIPLEY'S GRANT
 PHASE VII
 LOTS B-1 THRU B-13 AND COMMON OPEN SPACE LOT B-14
 PLAT No. _____
 ELECTION DISTRICT No. 1
 HOWARD COUNTY, MARYLAND

SCALE	ZONING	G. L. W. FILE No.
AS SHOWN	R-A-15	05030
DATE	TAX MAP - GRID	SHEET
SEPT., 2015	37 - 1&2	3 OF 8



NOTES:

1. ALL SEDIMENT CONTROLS ARE TO BE REPAIRED AT THE END OF EACH WORK DAY OR AS DIRECTED BY THE SEDIMENT CONTROL INSPECTOR.
2. NO STOCKPILING WILL BE PERMITTED ON SITE.
3. FOR EXISTING AND PROPOSED DRAINAGE DIVIDES, SEE SHEET 8.

SEDIMENT CONTROL LEGEND

--- 426 ---	EXISTING CONTOUR	SCE	STABILIZED CONSTRUCTION ENTRANCE
- - - 426 - - -	PROPOSED CONTOUR	SSF	SUPER SILT FENCE
••• LOD •••	LIMIT OF GRADING DISTURBANCE	SIP	STANDARD INLET PROTECTION
		AGIP	AT-GRADE INLET PROTECTION

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

John H. Block 9/10/15
HOWARD S.C.D. DATE

BUILDER'S CERTIFICATE

"I/WE CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A MARYLAND DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HSCD."

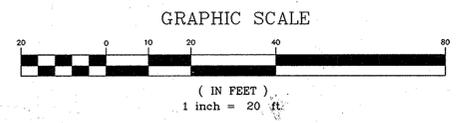
Chris Block 9/11/15
BOZZUTO HOMES DATE

ENGINEER'S CERTIFICATE

"I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT."

Michael J. Tracy 9/11/15
DATE

- SEQUENCE OF CONSTRUCTION PARCEL**
1. Arrange pre-construction meeting with the Sediment Control Inspector and obtain the Grading Permit. 1 DAY
 2. Install stabilize construction entrance and super silt fence. 1 DAY
 3. Fine grade site. 2 WEEKS
 4. Begin building construction. 1 WEEK
 5. Stabilize the building area with the finished floor slab. 2 MONTHS
 6. Install utilities, sidewalks and planters. Stabilize remaining areas with grass seed and mulch. 2 MONTHS.
 7. When all areas drain to the sediment controls have been stabilized and permission has been granted by the Sediment Control Inspector, remove those sediment controls. Stabilize the remaining areas landscaping, seed and mulch. 1 WEEK
 8. Finish building construction. Remove any remaining sediment controls and stabilize. 1 WEEK



APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

Nellie J. Jaffe 11-6-15
Director Date

Michael J. Tracy 11-23-15
Chief, Division of Land Development Date

Chris Block 9-30-15
Chief, Development Engineering Division Date

GLWGUTSCHICK LITTLE & WEBER, P.A.

CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS

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BURTNSVILLE, MARYLAND 21036

TEL: 301-421-4024 BALT: 410-880-1820 DC/VA: 301-989-2524 FAX: 301-421-4186

DATE	REVISION	BY	APPR.

PREPARED FOR & OWNER:
BA SHIPLEY, LLC
C/O BOZZUTO HOMES, INC.
6408 IVY LANE, SUITE 700
GREENBELT, MARYLAND 20770
ATTN: CHRIS BLOCK
301-623-3672

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EXPIRATION DATE: MAY 21, 2016

SEDIMENT CONTROL PLAN AND SOILS MAP

SHIPLEY'S GRANT PHASE VII

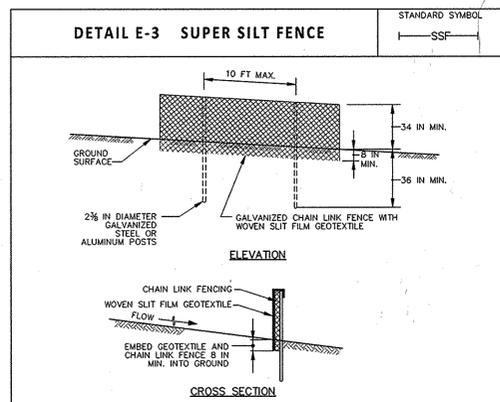
LOTS B-1 THRU B-13 AND COMMON OPEN SPACE LOT B-14

PLAT Nos. 238216 - 238217

HOWARD COUNTY, MARYLAND

SCALE	ZONING	G. L. W. FILE No.
1" = 20'	R-A-15	05030
DATE	TAX MAP - GRID	SHEET
SEPT., 2015	37 - 1&2	4 OF 8

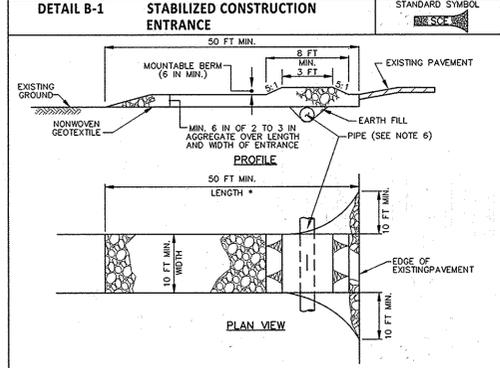
THIS PLAN IS FOR SEDIMENT AND EROSION CONTROL PURPOSES ONLY!



CONSTRUCTION SPECIFICATIONS

- INSTALL 2 1/2 INCH DIAMETER GALVANIZED STEEL POSTS OF 0.095 INCH WALL THICKNESS AND SIX FOOT LENGTH SPACED NO FURTHER THAN 10 FEET APART. DRIVE THE POSTS A MINIMUM OF 36 INCHES INTO THE GROUND.
- FASTEN 9 GAUGE OR HEAVIER GALVANIZED CHAIN LINK FENCE (2 1/2 INCH MAXIMUM OPENING) 42 INCHES IN HEIGHT SECURELY TO THE FENCE POSTS WITH WIRE TIES OR HUNG RINGS.
- FASTEN WOVEN SILT FILM GEOTEXTILE AS SPECIFIED IN SECTION H-1 MATERIALS, SECURELY TO THE UPSLOPE SIDE OF CHAIN LINK FENCE WITH TIES SPACED EVERY 24 INCHES AT THE TOP AND MID SECTION. EMBED GEOTEXTILE AND CHAIN LINK FENCE A MINIMUM OF 8 INCHES INTO THE GROUND.
- WHERE ENDS OF THE GEOTEXTILE COME TOGETHER, THE ENDS SHALL BE OVERLAPPED BY 6 INCHES, FOLDED, AND STARTED TO PREVENT SEDIMENT FROM PASSING.
- EXTEND BOTH ENDS OF THE SUPER SILT FENCE A MINIMUM OF FIVE HORIZONTAL FEET UPSLOPE AT 45 DEGREES TO THE MAIN FENCE ALIGNMENT TO PREVENT RUNOFF FROM GOING AROUND THE ENDS OF THE SUPER SILT FENCE.
- PROVIDE MANUFACTURER CERTIFICATION TO THE INSPECTION/ENFORCEMENT AUTHORITY SHOWING THAT GEOTEXTILE USED MEETS THE REQUIREMENTS IN SECTION H-1 MATERIALS.
- REMOVE ACCUMULATED SEDIMENT AND DEBRIS WHEN BULGES DEVELOP IN FENCE OR WHEN SEDIMENT REACHES 25% OF FENCE HEIGHT. REPLACE GEOTEXTILE IF TORN, IF UNDERMINING OCCURS, REINSTALL CHAIN LINK FENCING AND GEOTEXTILE.

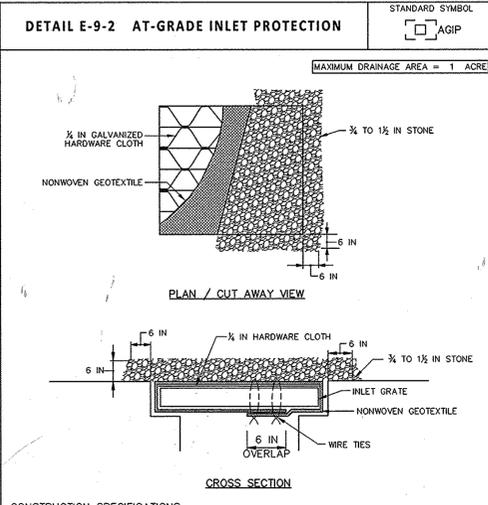
MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL
U.S. DEPARTMENT OF AGRICULTURE NATURAL RESOURCES CONSERVATION SERVICE 2011 MARYLAND DEPARTMENT OF ENVIRONMENT AND NATURAL RESOURCES ADMINISTRATION



CONSTRUCTION SPECIFICATIONS

- PLACE STABILIZED CONSTRUCTION ENTRANCE IN ACCORDANCE WITH THE APPROVED PLAN. VEHICLES MUST TRAVEL OVER THE ENTIRE LENGTH OF THE SCE. USE MINIMUM LENGTH OF 50 FEET (50 FEET FOR SINGLE RESIDENCE) WITH USE MINIMUM WIDTH OF 10 FEET. FLARE SCE 10 FEET MINIMUM AT THE EXISTING ROAD TO PROVIDE A TURNING RADIUS.
- PIPE ALL SURFACE WATER FLOWING TO OR DIVERTED THROUGH THE SCE UNDER THE ENTRANCE. MAINTAIN POSITIVE DRAINAGE. PROTECT PIPE INSTALLED THROUGH THE SCE WITH A MOUNTABLE BERM WITH 5:1 SLOPES AND A MINIMUM OF 12 INCHES OVER THE PIPE. PROVIDE PIPE AS SPECIFIED ON APPROVED PLAN. WHEN THE SCE IS LOCATED AT A HIGH SPOT AND HAS NO DRAINAGE TO CONVEY, A PIPE IS NOT NECESSARY. A MOUNTABLE BERM IS REQUIRED WHEN SCE IS NOT LOCATED AT A HIGH SPOT.
- PREPARE SUBGRADE AND PLACE NONWOVEN GEOTEXTILE, AS SPECIFIED IN SECTION H-1 MATERIALS.
- PLACE CRUSHED AGGREGATE (2 TO 3 INCHES IN SIZE) OR EQUIVALENT RECYCLED CONCRETE (WITHOUT REBAR) AT LEAST 6 INCHES DEEP OVER THE LENGTH AND WIDTH OF THE SCE.
- MAINTAIN ENTRANCE IN A CONDITION THAT MINIMIZES TRACKING OF SEDIMENT. ADD STONE OR MAKE OTHER REPAIRS AS CONDITIONS DEMAND TO MAINTAIN CLEAN SURFACE. MOUNTABLE BERM, AND SPECIFIED DIMENSIONS. IMMEDIATELY REMOVE STONE AND/OR SEDIMENT SPILLED, DROPPED, OR TRACKED ONTO ADJACENT ROADWAY BY WASHING, SCOPING, AND/OR CLEANING. WASHING ROADWAY TO REMOVE MUD TRACKED ONTO PAVEMENT IS NOT ACCEPTABLE UNLESS WASH WATER IS DIRECTED TO AN APPROVED SEDIMENT CONTROL PRACTICE.

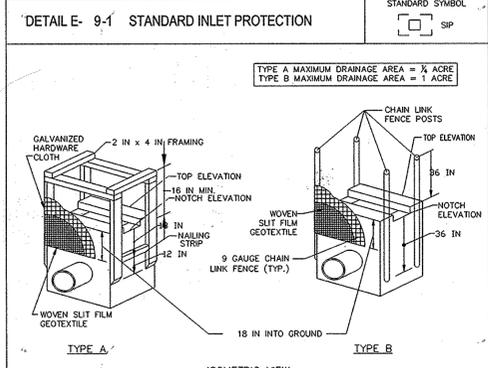
MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL
U.S. DEPARTMENT OF AGRICULTURE NATURAL RESOURCES CONSERVATION SERVICE 2011 MARYLAND DEPARTMENT OF ENVIRONMENT AND NATURAL RESOURCES ADMINISTRATION



CONSTRUCTION SPECIFICATIONS

- USE NONWOVEN GEOTEXTILE AS SPECIFIED IN SECTION H-1 MATERIALS.
- LIFT GRATE AND WRAP WITH NONWOVEN GEOTEXTILE TO COMPLETELY COVER ALL OPENINGS. SECURE WITH WIRE TIES AND SET GRATE BACK IN PLACE.
- PLACE CLEAN 1/4 TO 1/2 INCH STONE OR EQUIVALENT RECYCLED CONCRETE 6 INCHES THICK ON THE STORM DRAIN INLET PROTECTION. REMOVE ACCUMULATED SEDIMENT AFTER EACH RAIN EVENT TO MAINTAIN FUNCTION AND AVOID PREMATURE CLOGGING. IF INLET PROTECTION DOES NOT COMPLETELY DRAIN WITHIN 24 HOURS AFTER A STORM EVENT, IT IS CLOGGED. WHEN THIS OCCURS, REMOVE ACCUMULATED SEDIMENT AND CLEAN, OR REPLACE GEOTEXTILE AND STONE.

MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL
U.S. DEPARTMENT OF AGRICULTURE NATURAL RESOURCES CONSERVATION SERVICE 2011 MARYLAND DEPARTMENT OF ENVIRONMENT AND NATURAL RESOURCES ADMINISTRATION



CONSTRUCTION SPECIFICATIONS

- ON ALL SITES WITH DISTURBED AREAS IN EXCESS OF 2 ACRES, APPROVAL OF THE INSPECTION AGENCY SHALL BE REQUESTED UPON COMPLETION OF INSTALLATION OF PERIMETER EROSION AND SEDIMENT CONTROLS, BUT BEFORE PROCEEDING WITH ANY OTHER EARTH DISTURBANCE OR GRADING. OTHER BUILDING OR GRADING INSPECTION AGENCIES MAY NOT BE AUTHORIZED UNTIL THIS INITIAL APPROVAL BY THE INSPECTION AGENCY IS MADE.
- WHEN THE CONSTRUCTION OF UTILITIES IS LIMITED TO 3 PIPE LENGTHS OR THE LENGTH SHALL BE BACKFILLED AND STABILIZED BY THE END OF EACH WORK DAY, WHICHEVER IS SHORTER.
- ANY CHANGES OR REVISIONS TO THE SEQUENCE OF CONSTRUCTION MUST BE REVIEWED AND APPROVED BY THE PLAN APPROVAL AUTHORITY PRIOR TO PROCEEDING WITH CONSTRUCTION.
- A PROJECT IS TO BE SEQUENCED SO THAT GRADING ACTIVITIES BEGIN ON ONE GRADING UNIT (MAXIMUM ACREAGE OF 20 AC. PER GRADING UNIT) AT A TIME. WORK MAY PROCEED TO A SUBSEQUENT GRADING UNIT WHEN AT LEAST 50% OF THE DISTURBED AREA IN THE PRECEDING GRADING UNIT HAS BEEN STABILIZED AND APPROVED BY ENFORCEMENT AUTHORITY, UNLESS OTHERWISE SPECIFIED AND APPROVED BY THE APPROVAL AUTHORITY. NO MORE THAN 30 ACRES CUMULATIVELY MAY BE DISTURBED AT A GIVEN TIME.

MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL
U.S. DEPARTMENT OF AGRICULTURE NATURAL RESOURCES CONSERVATION SERVICE 2011 MARYLAND DEPARTMENT OF ENVIRONMENT AND NATURAL RESOURCES ADMINISTRATION

B-4-4 STANDARDS AND SPECIFICATIONS FOR TEMPORARY STABILIZATION

DEFINITION
TO STABILIZE DISTURBED SOILS WITH VEGETATION FOR UP TO 6 MONTHS.

PURPOSE
TO USE FAST GROWING VEGETATION THAT PROVIDES COVER ON DISTURBED SOILS. CONDITIONS WHERE PRACTICE APPLIES EXPOSED SOILS WHERE GROUND COVER IS NEEDED FOR A PERIOD OF 6 MONTHS OR LESS. FOR LONGER DURATION OF TIME, PERMANENT STABILIZATION PRACTICES ARE REQUIRED.

CRITERIA

- SELECT ONE OR MORE OF THE SPECIES OR SEED MIXTURES LISTED IN TABLE B1 FOR THE APPROPRIATE PLANT HARDNESS ZONE (FROM FIGURE B.3), AND ENTER THEM IN THE TEMPORARY SEEDING SUMMARY BELOW ALONG WITH APPLICATION RATES, SEEDING DATES AND SEEDING DEPTHS. IF THIS SUMMARY IS NOT PUT ON THE PLAN AND COMPLETED, THEN TABLE B1 PLUS FERTILIZER AND LIME RATES MUST BE PUT ON THE PLAN.
- FOR SITES HAVING SOIL TESTS PERFORMED, USE AND SHOW THE RECOMMENDED RATES BY THE TESTING AGENCY. SOIL TESTS ARE NOT REQUIRED FOR TEMPORARY SEEDING.
- WHEN STABILIZATION IS REQUIRED OUTSIDE OF A SEEDING SEASON, APPLY SEED AND MULCH OR STRAW MULCH ALONE AS PRESCRIBED IN SECTION B-4-3.A.1.B AND MAINTAIN UNTIL THE NEXT SEEDING SEASON.

TEMPORARY SEEDING SUMMARY

No.	SPECIES	APPLICATION RATE (lb/acre)	SEEDING DATES	SEEDING DEPTHS	FERTILIZER RATE (10-20-20)	LIME RATE (50 lb/acre)
1	ANNUAL RYEGRASS	40 lb/acre	Mar. 1 to May 15, Aug. 15 to Oct. 15	0.5 INCHES	438 lb/acre	2 tons/acre
2	PEARL MILLET	20 lb/acre	May 16 to July 31	0.5 INCHES	1,000 st	1,000 st

SEDIMENT CONTROL NOTES

- A MINIMUM OF 24 HOURS NOTICE MUST BE GIVEN TO THE HOWARD COUNTY OFFICE OF INSPECTION AND PERMITS PRIOR TO THE START OF ANY CONSTRUCTION. (410) 313-1655
- ALL VEGETATIVE AND STRUCTURAL PRACTICES ARE TO BE INSTALLED ACCORDING TO THE PROVISIONS OF THIS PLAN AND ARE TO BE IN CONFORMANCE WITH THE MOST CURRENT MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL AND REVISIONS THEREOF.
- FOLLOWING INITIAL SOIL DISTURBANCE OR REDISTURBANCE, PERMANENT OR TEMPORARY STABILIZATION SHALL BE COMPLETED WITHIN:
 - A CALENDAR DAYS FOR ALL PERMETER SEDIMENT CONTROL STRUCTURES, DIKES, PERIMETER SLOPES, AND ALL SLOPES GREATER THAN 3 HORIZONTAL TO 1 VERTICAL (B:1); AND
 - 7 CALENDAR DAYS AS TO ALL OTHER DISTURBED OR GRADED AREAS ON THE PROJECT SITE.
- ALL DISTURBED AREAS MUST BE STABILIZED WITHIN THE TIME PERIOD SPECIFIED ABOVE IN ACCORDANCE WITH THE 2011 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL. FOR PERMANENT SEEDING, TEMPORARY SEEDING AND MULCHING, TEMPORARY STABILIZATION WITH MULCH ALONE, CAN ONLY BE DONE WHEN RECOMMENDED SEEDING DATES DO NOT ALLOW FOR PROPER GERMINATION AND ESTABLISHMENT OF GRASSES.
- ALL SEDIMENT CONTROL STRUCTURES ARE TO REMAIN IN PLACE AND ARE TO BE MAINTAINED IN OPERATIVE CONDITION UNTIL PERMITS FOR THEIR REMOVAL HAS BEEN OBTAINED FROM THE HOWARD COUNTY SEDIMENT CONTROL INSPECTOR.
- SITE ANALYSIS:**

TOTAL AREA OF SITE:	0.75 AC.
AREA TO BE ROOFED OR PAVED:	0.75 AC.
AREA TO BE VEGETATIVELY STABILIZED:	0.42 AC.
TOTAL CUT:	600 CY
TOTAL FILL:	600 CY

MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL
U.S. DEPARTMENT OF AGRICULTURE NATURAL RESOURCES CONSERVATION SERVICE 2011 MARYLAND DEPARTMENT OF ENVIRONMENT AND NATURAL RESOURCES ADMINISTRATION

B-4-2 STANDARD AND SPECIFICATIONS FOR SOIL PREPARATION, TOPSOILING, AND SOIL AMENDMENTS

DEFINITION
THE PROCESS OF PREPARING THE SOIL TO SUSTAIN ADEQUATE VEGETATIVE STABILIZATION.

PURPOSE
TO PROVIDE A SUITABLE SOIL MEDIUM FOR VEGETATIVE GROWTH.

CONDITIONS WHERE PRACTICE APPLIES
WHERE VEGETATIVE STABILIZATION IS TO BE ESTABLISHED.

CRITERIA

- SOIL PREPARATION**
 - SEEDBED PREPARATION CONSISTS OF LOOSENING SOIL TO A DEPTH OF 3 TO 5 INCHES OF SUITABLE AGRICULTURAL OR CONSTRUCTION EQUIPMENT, SUCH AS DISC HARROWS OR CHISEL FLOWS OR RIPPERS MOUNTED ON CONSTRUCTION EQUIPMENT. AFTER THE SOIL IS LOOSED, IF IT MUST NOT BE ROLLED OR DRAGGED SMOOTH BUT LEFT IN THE ROUGHENED CONDITION, SLOPES 3:1 OR FLATTER ARE TO BE TRACKED WITH RIDGES RUNNING PARALLEL TO THE CONTOUR OF THE SLOPE.
 - APPLY FERTILIZER AND LIME AS PRESCRIBED ON THE PLANS.
 - INCORPORATE LIME AND FERTILIZER INTO THE TOP 3 TO 5 INCHES OF SOIL BY DISKING OR OTHER SUITABLE MEANS.
- TEMPORARY STABILIZATION**
 - A SOIL TEST IS REQUIRED FOR ANY EARTH DISTURBANCE OF 5 ACRES OR MORE. THE MINIMUM SOIL CONDITIONS REQUIRED FOR PERMANENT VEGETATIVE ESTABLISHMENT ARE:
 - SOIL PH BETWEEN 6.0 AND 7.0.
 - SOLUBLE SALTS LESS THAN 500 PARTS PER MILLION (PPM).
 - SOIL CONTAINS LESS THAN 40 PERCENT CLAY BUT ENOUGH FINE GRAINED MATERIAL (GREATER THAN 30 PERCENT SILT PLUS CLAY) TO PROVIDE THE CAPACITY TO HOLD A MODERATE AMOUNT OF MOISTURE. AN EXCEPTION: IF LOESS/CLAY IS PLACED, THEN A SANDY SOIL (LESS THAN 30 PERCENT SILT PLUS CLAY) WOULD BE ACCEPTABLE.
 - SOIL CONTAINS 15 PERCENT MINIMUM ORGANIC MATTER BY WEIGHT.
 - SOIL CONTAINS SUFFICIENT PORE SPACE TO PERMIT ADEQUATE ROOT PENETRATION.
 - APPLICATION OF AMENDMENTS OR TOPSOIL IS REQUIRED IF ON-SITE SOILS DO NOT MEET THE ABOVE CONDITIONS.
 - GRADED AREAS MUST BE MAINTAINED IN A TRUE AND EVEN GRADE AS SPECIFIED ON THE APPROVED PLAN, THEN SCARIFIED OR OTHERWISE LOOSENED TO A DEPTH OF 3 TO 5 INCHES.
 - APPLY SOIL AMENDMENTS AS SPECIFIED ON THE APPROVED PLAN OR AS INDICATED BY THE RESULTS OF A SOIL TEST.
 - MIX SOIL AMENDMENTS INTO THE TOP 3 TO 5 INCHES OF SOIL, BY DISKING OR OTHER SUITABLE MEANS. RAKE LAWN AREAS TO SMOOTH THE SURFACE. REMOVE LARGE OBJECTS LIKE STONES AND BRANCHES AND READY THE AREA FOR SEED APPLICATION. LOCK SURFACE SOIL BY GRADING WITH A HEAVY CHAIN OR OTHER EQUIPMENT TO ROUGHEN THE SURFACE WHERE SITE CONDITIONS WILL NOT PERMIT PERMANENT SEEDING PRACTICES. SOIL SHOULD BE FLATTENED WITH TRACKED EQUIPMENT LEAVING THE SOIL IN AN IRREGULAR CONDITION WITH RIDGES RUNNING PARALLEL TO THE CONTOUR OF THE SLOPE. LEAVE THE TOP 1 TO 3 INCHES OF SOIL LOOSE AND UNSEEDED. LOOSENING MAY BE UNNECESSARY ON HEAVY DISTURBED AREAS.

B. TOPSOILING

- TOPSOIL IS PLACED OVER PREPARED SUBSOIL PRIOR TO ESTABLISHMENT OF PERMANENT VEGETATION. THE PURPOSE IS TO PROVIDE A SUITABLE SOIL MEDIUM FOR VEGETATIVE GROWTH. SOILS OF CONCERN HAVE LOW MOISTURE CONTENT, LOW NUTRIENT LEVELS, LOW PH, MATERIALS TOXIC TO PLANTS, AND/OR UNACCEPTABLE SOIL GRADATION.
- TOPSOIL SALVAGED FROM AN EXISTING SITE MAY BE USED PROVIDED IT MEETS THE STANDARDS AS SET FORTH IN THESE SPECIFICATIONS. TYPICALLY, THE DEPTH OF TOPSOIL TO BE SALVAGED FOR A GIVEN SOIL TYPE CAN BE FOUND IN THE REPRESENTATIVE SOIL PROFILE SECTION IN THE SOIL SURVEY PUBLISHED BY USDA-NRCS.
- TOPSOILING IS LIMITED TO AREAS HAVING 2:1 OR FLATTER SLOPES WHERE:
 - THE TEXTURE OF THE EXPOSED SUBSOIL/PARENT MATERIAL IS NOT ADEQUATE TO PRODUCE VEGETATIVE GROWTH.
 - THE SOIL MATERIAL IS SO SHALLOW THAT THE ROOTING ZONE IS NOT DEEP ENOUGH TO SUPPORT PLANTS OR FURNISH CONTINUING SUPPLIES OF MOISTURE AND PLANT NUTRIENTS.
 - THE ORIGINAL SOIL TO BE VEGETATED CONTAINS MATERIAL TOXIC TO PLANT GROWTH.
 - THE SOIL IS SO ACIDIC THAT TREATMENT WITH LIMESTONE IS NOT FEASIBLE.
- AREAS HAVING SLOPES STEEPER THAN 2:1 REQUIRE SPECIAL CONSIDERATION AND DESIGN.
- TOPSOIL SPECIFICATIONS: SOIL TO BE USED AS TOPSOIL MUST MEET THE FOLLOWING CRITERIA:
 - TOPSOIL MUST BE A LOAM, SANDY LOAM, CLAY LOAM, SILTY LOAM, SANDY CLAY LOAM, OR LOAMY SAND. OTHER SOILS MAY BE USED IF RECOMMENDED BY AN AGRONOMIST OR SOIL SCIENTIST AND APPROVED BY THE APPROPRIATE APPROVAL AUTHORITY. TOPSOIL MUST NOT BE A MIXTURE OF CONTRASTING TEXTURED SUBSOILS AND MUST CONTAIN LESS THAN 5 PERCENT BY VOLUME OF CONGERS, STONES, SLAG, COARSE FRAGMENTS, GRAVEL, STICKS, ROOTS, TRASH, OR OTHER MATERIALS LARGER THAN 1 1/2 INCHES IN DIAMETER.
 - TOPSOIL MUST BE FREE OF NOXIOUS PLANTS OR PLANT PARTS SUCH AS BERMUDA GRASS, QUACK GRASS, JOHNSON GRASS, NO SEDGE, POISON IVY, THISTLE, OR OTHERS AS SPECIFIED.
 - TOPSOIL SUBSTITUTES OR AMENDMENTS AS RECOMMENDED BY A QUALIFIED AGRONOMIST OR SOIL SCIENTIST AND APPROVED BY THE APPROPRIATE APPROVAL AUTHORITY, MAY BE USED IN LIEU OF NATURAL TOPSOIL.
- TOPSOIL APPLICATION
 - EROSION AND SEDIMENT CONTROL PRACTICES MUST BE MAINTAINED WHEN APPLYING TOPSOIL.
 - UNIFORMLY DISTRIBUTE TOPSOIL IN A 5 TO 8 INCH LAYER AND LIGHTLY COMPACT TO A MINIMUM THICKNESS OF 4 INCHES. SPREADING IS TO BE PERFORMED IN SUCH A MANNER THAT SOONER OR LATER IT WILL BE COVERED BY A MINIMUM OF ADDITIONAL SOIL PREPARATION AND TILLAGE. ANY IRREGULARITIES IN THE SURFACE RESULTING FROM TOPSOILING OR OTHER OPERATIONS MUST BE CORRECTED IN ORDER TO PREVENT THE FORMATION OF RILLS OR WATER POCKETS.
 - TOPSOIL MUST NOT BE PLACED IF THE TOPSOIL OR SUBSOIL IS IN A FROZEN OR WETTED CONDITION WHEN THE SUBSOIL IS EXCESSIVELY WET OR IN A CONDITION THAT MAY OTHERWISE BE DETRIMENTAL TO PROPER GRADING AND SEEDBED PREPARATION.
- SOIL AMENDMENTS (FERTILIZER AND LIME SPECIFICATIONS)**
 - SOIL TESTS MUST BE PERFORMED TO DETERMINE THE EXACT RATIOS AND APPLICATION RATES FOR BOTH LIME AND FERTILIZER ON SITES HAVING DISTURBED AREAS OF 5 ACRES OR MORE. SOIL ANALYSIS MAY BE PERFORMED BY A RECOGNIZED PRIVATE OR COMMERCIAL LABORATORY. SOIL SAMPLES TAKEN FOR LABORATORY PURPOSES MAY ALSO BE USED FOR CHEMICAL ANALYSES.
 - FERTILIZERS MUST BE UNIFORM IN COMPOSITION, FREE FLOWING AND SUITABLE FOR ACCURATE APPLICATION BY APPROPRIATE EQUIPMENT. MANURE MAY BE SUBSTITUTED FOR FERTILIZER WITH PRIOR APPROVAL FROM THE APPROPRIATE APPROVAL AUTHORITY. FERTILIZERS MUST ALL BE DELIVERED TO THE SITE FULLY LABELED ACCORDING TO THE APPLICABLE LAWS AND MUST BEAR THE NAME, TRADE NAME OR TRADEMARK AND WARRANTY OF THE PRODUCER.
 - LIME MATERIALS MUST BE GROUND LIMESTONE (HYDRATED OR BURNT LIME MAY BE SUBSTITUTED EXCEPT WHEN HYDROSEEDING) WHICH CONTAINS AT LEAST 90 PERCENT TOTAL OXIDES (CALCIUM OXIDE PLUS MAGNESIUM OXIDE). LIMESTONE MUST BE GROUND TO SUCH FINENESS THAT AT LEAST 50 PERCENT WILL PASS THROUGH A #100 MESH SIEVE. A 90 TO 100 PERCENT FINE PASS THROUGH A #20 MESH SIEVE.
 - LIME AND FERTILIZER ARE TO BE EVENLY DISTRIBUTED AND INCORPORATED INTO THE TOP 3 TO 5 INCHES OF SOIL BY DISKING OR OTHER SUITABLE MEANS. WHERE THE SUBSOIL IS EITHER HIGHLY ACIDIC OR COMPOSED OF HEAVY CLAYS, SPREAD GROUND LIMESTONE AT THE RATE OF 4 TO 6 TONS/ACRE (200-400 POUNDS PER 1000 SQUARE FEET) PRIOR TO THE PLACEMENT OF TOPSOIL.

MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL
U.S. DEPARTMENT OF AGRICULTURE NATURAL RESOURCES CONSERVATION SERVICE 2011 MARYLAND DEPARTMENT OF ENVIRONMENT AND NATURAL RESOURCES ADMINISTRATION

B-4-3 STANDARDS AND SPECIFICATIONS FOR SEEDING AND MULCHING

DEFINITION
THE APPLICATION OF SEED AND MULCH TO ESTABLISH VEGETATIVE COVER.

PURPOSE
TO PROTECT DISTURBED SOILS FROM EROSION DURING AND AT THE END OF CONSTRUCTION.

CONDITIONS WHERE PRACTICE APPLIES
TO THE SURFACE OF ALL PERIMETER CONTROLS, SLOPES, AND ANY DISTURBED AREA NOT UNDER ACTIVE GRADING.

CRITERIA

- SEEDING**
 - ALL SEED MUST MEET THE REQUIREMENTS OF THE MARYLAND STATE SEED LAW. ALL SEED MUST BE SUBJECT TO RE-TESTING BY A RECOGNIZED SEED LABORATORY. ALL SEED USED MUST HAVE BEEN TESTED WITHIN THE 6 MONTHS IMMEDIATELY PRECEDING THE DATE OF SOWING SUCH SEED. SEED TAGS MUST BE AVAILABLE ON REQUEST TO THE INSPECTOR TO VERIFY TYPE OF SEED AND SEEDING RATE.
 - MULCH ALONE MAY BE APPLIED BETWEEN THE FALL AND SPRING SEEDING DATES ONLY IF THE GROUND IS FROZEN. THE APPROPRIATE SEEDING MIXTURE MUST BE APPLIED WHEN THE GROUND THAW.
 - INOCULANTS: THE INOCULANT FOR TREATING LEGUME SEED IN THE SEED MIXTURES MUST BE A PURE CULTURE OF NITROGEN FIXING BACTERIA PREPARED SPECIFICALLY FOR THE SPECIES INCULCANTS MUST NOT BE USED LATER THAN THE DATE INDICATED ON THE CONTAINER. ADD FRESH INOCULANTS AS DIRECTED ON THE PACKAGE. USE FOUR TIMES THE RECOMMENDED RATE WHEN HYDROSEEDING. NOTE: IT IS VERY IMPORTANT TO KEEP INOCULANT AS COOL AS POSSIBLE UNTIL USED. TEMPERATURES ABOVE 75 TO 80 DEGREES FAHRENHEIT CAN KILL BACTERIA AND MAKE THE INOCULANT LESS EFFECTIVE.
 - SOD OR SEED MUST NOT BE PLACED ON SOIL WHICH HAS BEEN TREATED WITH SOIL STERILANTS OR CHEMICALS USED FOR PEST CONTROL UNTIL SUFFICIENT TIME HAS ELAPSED (45 DAYS MIN) TO PERMIT DISSIPATION OF PHYTO-TOXIC MATERIALS.
- APPLICATION**
 - DRY SEEDING: THIS INCLUDES USE OF CONVENTIONAL DROP OR BROADCAST SPREADERS.
 - INCORPORATE SEED INTO THE SUBSOIL AT THE RATES PRESCRIBED ON TEMPORARY SEEDING TABLE B1. PERMANENT SEEDING TABLE B.5, OR SITE-SPECIFIC SEEDING SUMMARIES.
 - APPLY SEED IN TWO DIRECTIONS, PERPENDICULAR TO EACH OTHER. RECEIVE HALF THE SEEDING RATE IN EACH DIRECTION WITH THE SEEDING AREA WITH A WEIGHTED ROLLER TO PROVIDE GOOD SEED TO SOIL CONTACT.
 - DRILL OR CULTIPACKER SEEDING: MECHANIZED SEEDERS THAT APPLY AND COVER SEED WITH SOIL.
 - CULTIPACKER SEEDERS ARE REQUIRED TO BURY THE SEED IN SUCH A FASHION AS TO DIRECT AT LEAST 1/4 INCH OF SOIL COVER.
 - APPLY SEED IN TWO DIRECTIONS, PERPENDICULAR TO EACH OTHER.
 - APPLY HALF THE SEEDING RATE IN EACH DIRECTION.
 - HYDROSEEDING: APPLY SEED UNIFORMLY WITH HYDROSEEDER (SLURRY INCLUDES SEED AND FERTILIZER).
 - FERTILIZER IS BEING APPLIED AT THE TIME OF SEEDING, THE APPLICATION RATES SHOULD NOT EXCEED THE FOLLOWING: NITROGEN 100 POUNDS PER ACRE TOTAL, SOLUBLE INORGANIC PHOSPHORUS (PHOSPHORUS), 200 POUNDS PER ACRE (200 PPT) PHOSPHORUS, 200 POUNDS PER ACRE.
 - LIME: USE ONLY GROUND AGRICULTURAL LIMESTONE UP TO 3 TONS PER ACRE MAY BE APPLIED BY HYDROSEEDING. NORMALLY, NOT MORE THAN 2 TONS ARE APPLIED BY HYDROSEEDING AT ANY ONE TIME. DO NOT USE BURNT OR HYDRATED LIME WHEN HYDROSEEDING.
 - MIX SEED AND FERTILIZER ON SITE AND SEED IMMEDIATELY AND WITHOUT INTERMISSION.
 - WHEN HYDROSEEDING DO NOT INCORPORATE SEED INTO THE SOIL.

B. MULCHING

- MULCH SPECIFICATIONS (IN ORDER OF PREFERENCE)**
 - STRAW (CONSISTING OF THOROUGHLY THRESHED WHEAT, RYE, OAT, OR BARLEY AND REASONABLY BRIGHT IN COLOR. STRAW IS TO BE FREE OF NOXIOUS WEED SEEDS AS SPECIFIED IN THE MARYLAND SEED LAW AND NOT MUSTY, MOLDY, LANKED, OR OTHERWISE DEGRADATED). STRAW IS TO BE STERILE STRAW MULCH IN AREAS WHERE ONE SPECIES OF GRASS IS DESIRED.
 - WOOD CELLULOSE FIBER MULCH (WCFFM) CONSISTING OF SPECIALLY PREPARED WOOD CELLULOSE PROCESSED INTO A UNIFORM FIBROUS PHYSICAL STATE.
 - WCFFM IS TO BE DYED GREEN OR CONTAIN A GREEN DYE IN THE PACKAGE THAT WILL PROVIDE AN APPROPRIATE COLOR TO FACILITATE VISUAL INSPECTION OF THE UNIFORMITY SPREAD SLURRY.
 - WCFFM INCLUDING DYE MUST CONTAIN NO GERMINATION OR GROWTH INHIBITING FACTORS.
 - WCFFM MATERIALS ARE TO BE MANUFACTURED AND PROCESSED IN SUCH A MANNER THAT THE WOOD CELLULOSE FIBER MULCH WILL REMAIN UNIFORM SUSPENSION IN WATER UNDER AGITATION AND WILL BLEND WITH SEED, FERTILIZER AND OTHER ADDITIVES TO FORM A HOMOGENEOUS SLURRY. THE MULCH MATERIAL MUST FORM A BLOTTER-LIKE GROUND COVER, ON APPLICATION HAVING MOISTURE ABSORPTION AND PERCOLATION PROPERTIES AND MUST COVER AND HOLD GRASS SEED IN CONTACT WITH THE SOIL WITHOUT INHIBITING THE GROWTH OF THE GRASS SEEDLINGS.
 - WCFFM MATERIAL MUST NOT CONTAIN ELEMENTS OR COMPOUNDS AT CONCENTRATION LEVELS THAT WILL BE PHYTO-TOXIC.
 - WCFFM MUST CONFORM TO THE FOLLOWING PHYSICAL REQUIREMENTS: FIBER LENGTH OF APPROXIMATELY 10 MILLIMETERS DIAMETER APPROXIMATELY 1 MILLIMETER, PH RANGE OF 4.0 TO 8.5, ASH CONTENT OF 16 PERCENT MAXIMUM AND WATER HOLDING CAPACITY OF 90 PERCENT MINIMUM.
- APPLICATION**
 - APPLY MULCH TO ALL SEEDED AREAS IMMEDIATELY AFTER SEEDING.
 - WHEN STRAW MULCH IS USED, SPREAD IT OVER ALL SEEDED AREAS AT THE RATE OF 2 TONS PER ACRE TO A UNIFORM LOOSE DEPTH OF 1 TO 2 INCHES. APPLY MULCH TO ACHIEVE A UNIFORM DISTRIBUTION AND DEPTH SO THAT THE SOIL SURFACE IS NOT EXPOSED. WHEN USING A MULCH ANCHORING TOOL, INCREASE THE APPLICATION RATE TO 2.5 TONS PER ACRE.
 - WOOD CELLULOSE FIBER MULCH MUST BE APPLIED AT A NET DRY WEIGHT OF 100 POUNDS PER ACRE. MIX THE WOOD CELLULOSE FIBER WITH WATER TO ATTAIN A MIXTURE WITH A MAXIMUM OF 50 POUNDS OF WOOD CELLULOSE FIBER PER 100 GALLONS OF WATER.
- ANCHORING**
 - PERFORM MULCH ANCHORING IMMEDIATELY FOLLOWING APPLICATION OF MULCH TO MINIMIZE LOSS BY WIND OR WATER. THIS MAY BE DONE BY ONE OF THE FOLLOWING METHODS (LISTED IN PREFERENCE ORDER) DEPENDING ON THE SIZE OF THE AREA AND EROSION HAZARD.
 - A MULCH ANCHORING TOOL IS A TRACK OR DRIVEN IMPLEMENT DESIGNED TO PUNCH AND ANCHOR MULCH INTO THE SOIL SURFACE A MINIMUM OF 2 INCHES. THIS PRACTICE IS MOST EFFECTIVE ON LARGE AREAS, BUT IS LIMITED TO FLATTER SLOPES WHERE EQUIPMENT CAN OPERATE SAFELY. IF USED ON SLOPING LAND, THIS PRACTICE SHOULD FOLLOW THE CONTOUR.
 - WOOD CELLULOSE FIBER MAY BE USED FOR ANCHORING STRAW. APPLY THE FIBER BINDER AT A NET DRY WEIGHT OF 250 POUNDS PER ACRE. MIX THE WOOD CELLULOSE FIBER WITH WATER AT A MAXIMUM OF 50 POUNDS OF WOOD CELLULOSE FIBER PER 100 GALLONS OF WATER.
 - SYNTHETIC BINDERS SUCH AS ACRYLIC OR (ACR) (ACAC) (DGA-70) (FETOSOL) TERRA TAX II, TERRA MANUFACTURER. APPLICATION OF LIQUID BINDERS NEEDS TO BE HEAVIER AT THE EDGES WHERE WIND CAUSES MULCH SUCH AS IN VALLEYS AND ON CRESTS OF BANKS. USE OF ASPHALT BINDERS IS STRICTLY PROHIBITED.
 - LIGHTWEIGHT PLASTIC NETTING MAY BE STAPLED OVER THE MULCH ACCORDING TO MANUFACTURER RECOMMENDATIONS. NETTING IS USUALLY AVAILABLE IN ROLLS 4 TO 15 FEET WIDE AND 300 TO 3,000 FEET LONG.

MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL
U.S. DEPARTMENT OF AGRICULTURE NATURAL RESOURCES CONSERVATION SERVICE 2011 MARYLAND DEPARTMENT OF ENVIRONMENT AND NATURAL RESOURCES ADMINISTRATION

B-4-5 STANDARDS AND SPECIFICATIONS FOR PERMANENT STABILIZATION

DEFINITION
TO STABILIZE DISTURBED SOILS WITH PERMANENT VEGETATION.

PURPOSE
TO USE LONG-LIVED PERENNIAL GRASSES AND LEGUMES TO ESTABLISH PERMANENT GROUND COVER ON DISTURBED SOILS.

CONDITIONS WHERE PRACTICE APPLIES
EXPOSED SOILS WHERE GROUND COVER IS NEEDED FOR 6 MONTHS OR MORE.

CRITERIA

- SEED MIXTURES**
 - GENERAL USE**
 - SELECT ONE OR MORE OF THE SPECIES OR MIXTURES LISTED IN TABLE B.5 FOR THE APPROPRIATE PLANT HARDNESS ZONE (FROM FIGURE B.3) AND BASED ON THE SITE CONDITION OR PURPOSE FOUND ON TABLE B.2. ENTER SELECTED MIXTURE(S), APPLICATION RATES, AND SEEDING DATES IN THE PERMANENT SEEDING SUMMARY. THE SUMMARY IS TO BE PUT ON THE PLAN.
 - ADDITIONAL PLANTING SPECIFICATIONS FOR EXCEPTIONAL SITES SUCH AS SHORELINE STREAM BANKS OR DICES OR FOR SPECIAL PURPOSES SUCH AS NITRIFIE OR AESTHETIC TREATMENT MAY BE FOUND IN USDA-NRCS TECHNICAL FIELD OFFICE GUIDE SECTION 542 - CRITICAL AREA PLANTING.
 - FOR SITES HAVING DISTURBED AREAS TO BE SEEDING, USE AND SHOW THE RATES RECOMMENDED BY THE SOIL TESTING AGENCY.
 - FOR AREAS RECEIVING LOW MAINTENANCE, APPLY UREA FORM FERTILIZER (46-0-0) AT 1/2 POUNDS PER 1000 SQUARE FEET PER ACRE AT THE TIME OF SEEDING IN ADDITION TO THE SOIL AMENDMENTS SHOWN IN THE PERMANENT SEEDING SUMMARY.
 - TURFGRASS MIXTURES**
 - AREAS WHERE TURFGRASS MAY BE DESIRED INCLUDE LAWNS, PARKS, PLAYGROUNDS, AND COMMERCIAL SITES WHICH WILL RECEIVE A MEDIUM TO HIGH LEVEL OF MAINTENANCE.
 - SELECT ONE OR MORE OF THE SPECIES OR MIXTURES LISTED BELOW BASED ON THE SITE CONDITIONS OR PURPOSE. ENTER SELECTED MIXTURE(S), APPLICATION RATES, AND SEEDING DATES IN THE PERMANENT SEEDING SUMMARY. THE SUMMARY IS TO BE PLACED ON THE PLAN.
 - KENTUCKY BLUEGRASS: FULL SUN MIXTURE. FOR USE IN AREAS THAT RECEIVE INTENSIVE MANAGEMENT. IRRIGATION REQUIRED IN THE AREAS OF CENTRAL MARYLAND AND EASTERN SHORE. RECOMMENDED CERTIFIED KENTUCKY BLUEGRASS CULTIVARS SEEDING RATE: 15 TO 20 POUNDS PER 1000 SQUARE FEET. CHOOSE A MINIMUM OF THREE CULTIVARS WITH EACH RANGING FROM 10 TO 35 PERCENT OF THE TOTAL MIXTURE BY WEIGHT.
 - KENTUCKY BLUEGRASS/PERENNIAL RYE. FULL SUN MIXTURE. FOR USE IN FULL SUN AREAS WHERE RAPID ESTABLISHMENT IS NECESSARY AND WHEN TURF WILL RECEIVE MEDIUM TO INTENSIVE MANAGEMENT. CERTIFIED PERENNIAL RYEGRASS CULTIVARS/CERTIFIED KENTUCKY BLUEGRASS SEEDING RATE: 2 POUNDS MIXTURE PER 1000 SQUARE FEET. CHOOSE A MINIMUM OF THREE KENTUCKY BLUEGRASS CULTIVARS WITH EACH RANGING FROM 10 TO 35 PERCENT OF THE TOTAL MIXTURE BY WEIGHT.
 - TALL FESCUE/KENTUCKY BLUEGRASS: FULL SUN MIXTURE. FOR USE IN DROUGHT PRONE AREAS AND/OR FOR AREAS RECEIVING LOW TO MEDIUM MAINTENANCE. IN FULL SUN TO MEDIUM SHADE. RECOMMENDED MIXTURE INCLUDES CERTIFIED TALL FESCUE CULTIVARS 95 TO 100 PERCENT CERTIFIED KENTUCKY BLUEGRASS CULTIVARS 5 TO 10 PERCENT. SEEDING RATE: 15 TO 20 POUNDS PER 1000 SQUARE FEET. ONE OR MORE CULTIVARS MAY BE BLENDED.
 - KENTUCKY BLUEGRASS/FINE FESCUE. SHADE MIXTURE. FOR USE IN AREAS WITH SHADE IN BLUEGRASS LAWNS. FOR ESTABLISHMENT IN HIGH QUALITY, INTENSIVELY MANAGED TURF AREA. MIXTURE INCLUDES CERTIFIED KENTUCKY BLUEGRASS CULTIVARS 50 TO 40 PERCENT AND CERTIFIED FINE FESCUE AND 60 TO 10 PERCENT. SEEDING RATE: 1 1/2 TO 3 POUNDS PER 1000 SQUARE FEET.

PERMANENT SEEDING SUMMARY

No.	SPECIES	APPLICATION RATE	SEEDING DATES	SEEDING DEPTHS	FERTILIZER RATE (10-20-20)	LIME RATE
8	Certified Tall Fescue blend: Equal amounts of Falcon IV, Penn 1901 & Rebel Exedo	6-8 lb/1000 s.f.	Mar. 1 to May 15, Aug. 15 to Oct. 15	1/4 - 1/2 IN.	1.0 lb/1000 s.f. (45 lb/acre)	90 lb/1000 s.f.

* Other cultivars listed as "proven" in the most current UMD TT-77 may also be used

MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL
U.S. DEPARTMENT OF AGRICULTURE NATURAL RESOURCES CONSERVATION SERVICE 2011 MARYLAND DEPARTMENT OF ENVIRONMENT AND NATURAL RESOURCES ADMINISTRATION

BUILDER'S CERTIFICATE

I HEREBY CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A MARYLAND DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HSD.

APPROVED: *Valerie J. Lee* 11-10-15
 Director, Planning & Zoning

Kat Stalder 11-03-15
 Chief, Division of Land Development

C. W. Brown 9-11-15
 Chief, Development Engineering Division

ENGINEER'S CERTIFICATE

I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD COUNTY CONSERVATION DISTRICT.

Michael J. Tray 9/16/15
 SIGNATURE OF ENGINEER

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD COUNTY CONSERVATION DISTRICT.

John H. Hester 9/16/15
 HOWARD COUNTY CONSERVATION DISTRICT

GLWGuttschick Little & Weber, P.A.
 CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
 3609 NATIONAL DRIVE, SUITE 250 - BURTINSVILLE OFFICE PARK
 BURTINSVILLE, MARYLAND 20868
 TEL: 301-421-4024 BALT: 410-880-1820 DC/WA: 301-989-2524 FAX: 301-421-4186

DATE	REVISION	BY	APP'R.

PREPARED FOR & OWNER:
 BA SHIPLEY, LLC
 C/O BOZZUTO HOMES, INC.
 6405 IVY LANE, SUITE 700
 GREENBELT, MARYLAND 20770
 ATTN: CHRIS BLOCK
 301-623-3672

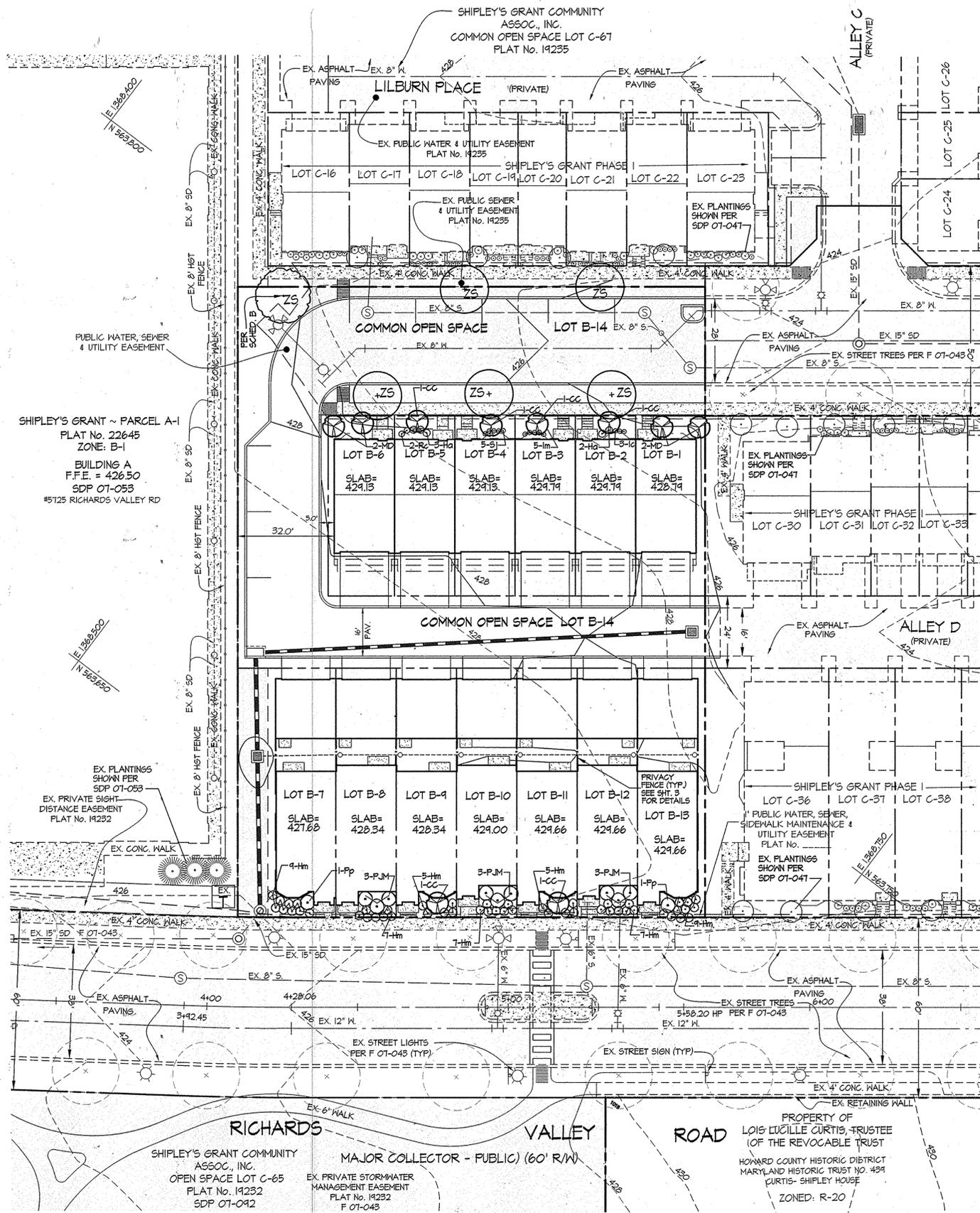
PROFESSIONAL CERTIFICATION

I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.

Michael J. Tray
 LICENSE NO. 14931
 EXPIRATION DATE: MAY 21, 2016



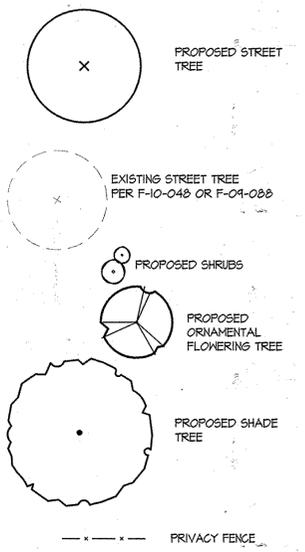
SEDIMENT CONTROL DETAILS AND NOTES</



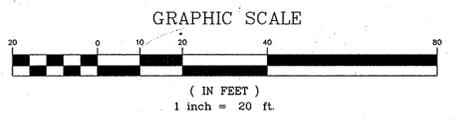
DONOVAN LANE
(ACCESS STREET-PUBLIC)
(VARIABLE WIDTH R/W)

SHIPLEY'S GRANT COMMUNITY
ASSOC., INC.
COMMON OPEN SPACE LOT C-68
PLAT No. 19234

PLANTING LEGEND



APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
Valerie J. Fee 11-6-15
 Director Date
W. S. ... 11-03-15
 Chief, Division of Land Development Date
Chad ... 9-30-15
 Chief, Development Engineering Division Date



GLWGUTSCHICK LITTLE & WEBER, P.A.
 CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
 3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK
 BURTONSVILLE, MARYLAND 20866
 TEL: 301-421-4024 BALT: 410-880-1820 DC/VA: 301-988-2524 FAX: 301-421-4186

REVISION	DATE	BY	APPR.

PREPARED FOR & OWNER:
 BA SHIPLEY, LLC
 C/O BOZZUTO HOMES, INC.
 6406 IVY LANE, SUITE 700
 GREENBELT, MARYLAND 20770
 ATTN: CHRIS BLOK
 301-623-3672

PROFESSIONAL CERTIFICATION
 I HEREBY CERTIFY THAT THESE PLANS
 WERE PREPARED OR APPROVED BY
 ME, AND THAT I AM A DULY LICENSED
 PROFESSIONAL ENGINEER UNDER THE
 LAWS OF THE STATE OF MARYLAND,
 LICENSE NO. 18918
 EXPIRATION DATE: MAY 21, 2018



LANDSCAPE PLAN
**SHIPLEY'S GRANT
 PHASE VII**
 LOTS B-1 THRU B-13 AND COMMON OPEN SPACE LOT B-14
 PLAT No. 23526 - 23527

DEVELOPER'S/BUILDER'S CERTIFICATE
 I/WE CERTIFY THAT THE LANDSCAPING SHOWN ON THIS PLAN WILL BE DONE
 ACCORDING TO THE PLAN SECTION 16.24 OF THE HOWARD COUNTY CODE, THE
 HOWARD COUNTY LANDSCAPE MANUAL, I/WE FURTHER CERTIFY THAT UPON COMPLETION
 A LETTER OF LANDSCAPE INSTALLATION, ACCOMPANIED BY AN EXECUTED ONE YEAR
 GUARANTEE OF PLANT MATERIALS, WILL BE SUBMITTED TO THE DEPARTMENT OF
 PLANNING AND ZONING.
Chad ... 9-11-15
 NAME DATE

SCALE	ZONING	G. L. W. FILE No.
1"=20'	R-A-15	05030
DATE	TAX MAP - GRID	SHEET
SEPT., 2015	37 - 1&2	6 OF 8

SPECIFICATIONS: PLANT MATERIALS AND PLANTING METHODS

A. PLANT MATERIALS

THE LANDSCAPE CONTRACTOR SHALL FURNISH AND INSTALL AND/OR DIG, BALL, BURLAP AND TRANSPANT ALL OF THE PLANT MATERIALS CALLED FOR ON DRAWINGS AND/OR LISTED IN THE PLANT SCHEDULE.

1. PLANT NAMES
PLANT NAMES USED IN THE PLANT SCHEDULE SHALL CONFORM WITH "STANDARDIZED PLANT NAMES", LATEST EDITION.

2. PLANT STANDARDS

ALL PLANT MATERIAL SHALL BE EQUAL TO OR BETTER THAN THE REQUIREMENTS OF THE "NEW STANDARD" LATEST EDITION, AS PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN (HERE-AFTER REFERRED TO AS A.A.N. STANDARDS). ALL PLANTS SHALL BE TYPICAL OF THEIR SPECIES AND VARIETY. SHALL HAVE A NORMAL HABIT OF GROWTH AND SHALL BE FIRST QUALITY, SOUND, VIGOROUS, WELL-BRANCHED AND WITH HEALTHY, WELL-FURNISHED ROOT SYSTEMS. THEY SHALL BE FREE OF DISEASE, INSECT PESTS AND MECHANICAL INJURIES.
ALL PLANTS SHALL BE NURSERY GROWN AND SHALL HAVE BEEN GROWN UNDER THE SAME CLIMATE CONDITIONS AS THE LOCATION OF THIS PROJECT FOR AT LEAST TWO YEARS BEFORE PLANTING. NEITHER HEEL-ED-IN PLANTS NOR PLANTS FROM COLD STORAGE WILL BE ACCEPTED.

3. PLANT MEASUREMENTS

ALL PLANTS SHALL CONFORM TO THE REQUIREMENTS SPECIFIED IN THE PLANT SCHEDULE AS APPROVED BY THE DESIGN REVIEW COMMITTEE (DRC).

A. CALIPER MEASUREMENTS SHALL BE TAKEN SIX INCHES (6") ABOVE GRADE FOR TREES UNDER FOUR-INCH (4") CALIPER AND TWELVE (12") ABOVE GRADE FOR TREES FOUR INCHES (4") IN CALIPER AND OVER.

B. MINIMUM BRANCHING HEIGHT FOR ALL SHADE TREES SHALL BE SIX FEET (6'). MAXIMUM EIGHT FEET (8').

C. CALIPER, HEIGHT, SPREAD AND SIZE OF BALL SHALL BE GENERALLY AS FOLLOWS:

CALIPER	HEIGHT	SPREAD	SIZE OF BALL
3" - 3.5"	14'-16'	6'-8'	32" DIAMETER
3.5" - 4"	14'-16'	8'-10'	36" DIAMETER
4" - 4.5"	16'-18'	8'-10'	40" DIAMETER
4.5" - 5"	18'-20'	10'-12'	44" DIAMETER
5" - 5.5"	18'-20'	10'-12'	48" DIAMETER
5.5" - 6"	18'-20'	12'-14'	52" DIAMETER

ALL PLANT MATERIAL SHALL GENERALLY AVERAGE THE MEDIAN FOR THE SIZE RANGES INDICATED ABOVE AS INDICATED IN THE "A.A.N. STANDARDS".

4. PLANT IDENTIFICATION

LEGIBLE LABELS SHALL BE ATTACHED TO ALL SHADE TREES, MINOR TREES, SPECIMEN SHRUBS AND BUNDLES OR BOXES OF OTHER PLANT MATERIAL GIVING THE BOTANICAL AND COMMON NAMES, SIZE AND QUANTITY OF EACH. EACH SHIPMENT OF PLANTS SHALL BEAR CERTIFICATES OF INSPECTION AS REQUIRED BY FEDERAL, STATE AND COUNTY AUTHORITIES.

5. PLANT INSPECTION

THE DESIGN REVIEW COMMITTEE MAY, UPON REQUEST BY THE BUILDER OR DEVELOPER, AT LEAST TEN (10) DAYS PRIOR TO THE INSTALLATION OF ANY PROPOSED PLANT MATERIAL, INSPECT ALL PROPOSED PLANT MATERIAL AT THE SOURCE OF ORIGIN.

6. PLANTING METHODS

ALL PROPOSED PLANT MATERIALS THAT MEET THE SPECIFICATIONS IN SECTION A ARE TO BE PLANTED IN ACCORDANCE WITH THE FOLLOWING METHODS DURING THE PROPER PLANTING SEASONS AS DESCRIBED IN THE FOLLOWING:

1. PLANTING SEASONS

THE PLANTING OF DECIDUOUS TREES, SHRUBS AND VINES SHALL BE FROM MARCH 1ST TO JUNE 15TH AND FROM SEPTEMBER 15TH TO DECEMBER 15TH. PLANTING OF DECIDUOUS MATERIAL MAY BE CONTINUED DURING THE WINTER MONTHS PROVIDED THERE IS NO FROST IN THE GROUND AND FROST-FREE TOPSOIL PLANTING MIXTURES ARE USED.

THE PLANTING OF EVERGREEN MATERIAL SHALL BE FROM MARCH 15TH TO JUNE 15TH AND FROM AUGUST 15TH TO DECEMBER 15TH. NO PLANTING SHALL BE DONE WHEN THE GROUND IS FROZEN OR EXCESSIVELY MOIST. NO FROZEN OR WET TOPSOIL SHALL BE USED AT ANY TIME.

2. DIGGING

ALL PLANT MATERIAL SHALL BE DIG, BALLED AND BURLAPPED (B4B) IN ACCORDANCE WITH THE "A.A.N. STANDARDS".

3. EXCAVATION OF PLANT PITS

THE LANDSCAPING CONTRACTOR SHALL EXCAVATE ALL PLANT PITS, VINE PITS, HEDGE TRENCHES AND SHRUB BEDS IN ACCORDANCE WITH THE FOLLOWING SCHEDULE:

A. LOCATIONS OF ALL PROPOSED PLANT MATERIAL SHALL BE STAKED AND APPROVED IN THE FIELD BY THE LANDSCAPE ARCHITECT BEFORE ANY OF THE PROPOSED PLANT MATERIAL IS INSTALLED BY THE LANDSCAPE CONTRACTOR.

B. ALL PITS SHALL BE GENERALLY CIRCULAR IN OUTLINE, VERTICAL SIDES, DEPTH SHALL NOT BE LESS THAN 6" DEEPER THAN THE ROOT BALL. DIAMETER SHALL NOT BE LESS THAN TWO TIMES THE DIAMETER OF THE ROOT BALL AS SET FORTH IN THE FOLLOWING SCHEDULE.

C. IF AREAS ARE DESIGNATED AS SHRUB BEDS OR HEDGE TRENCHES, THEY SHALL BE EXCAVATED TO AT LEAST 18" DEPTH MINIMUM. AREAS DESIGNATED FOR GRASS COVERS AND VINES SHALL BE EXCAVATED TO AT LEAST 12" IN DEPTH MINIMUM.

D. DIAMETER AND DEPTH OF TREE PITS SHALL GENERALLY BE AS FOLLOWS:

PLANT SIZE	ROOT BALL	PIT DIA.	PIT DEPTH
3" - 3.5" CAL.	32"	64"	20"
3.5" - 4" CAL.	32"	72"	32"
4" - 4.5" CAL.	40"	80"	36"
4.5" - 5" CAL.	44"	88"	40"
5" - 5.5" CAL.	48"	96"	44"
5.5" - 6" CAL.	52"	104"	48"

A 20% COMPACTION FIGURE OF THE SOIL TO BE REMOVED IS ASSUMED AND WILL BE ALLOWED IN CALCULATION OF EXTRA TOPSOIL. THE TABULATED PIT SIZES ARE FOR PURPOSES OF UNIFORM CALCULATION AND SHALL NOT OVERRIDE THE SPECIFIED DEPTHS BELOW THE BOTTOMS OF THE ROOT BALLS.

4. STAKING, GUYING AND WRAPPING

ALL PLANT MATERIAL SHALL BE STAKED OR GUYED, AND WRAPPED IN ACCORDANCE WITH THE FOLLOWING SPECIFICATIONS:

A. STAKES SHALL BE SOUND WOOD 2" X 2" ROUGH SAWN OAK OR SIMILAR DURABLE WOODS, OR LENGTHS, MINIMUM 7'-0" FOR MAJOR TREES AND 5'-0" MINIMUM FOR MINOR TREES.

B. WIRE AND CABLE WIRE SHALL BE #10 GA. GALVANIZED OR BETHANIZED ANNEALED STEEL WIRE. FOR TREES OVER 3" CALIPER PROVIDE 5/8" TRON BUCKLES, EYE AND EYE WITH 4" TAKE-UP. FOR TREES OVER 5" CALIPER, PROVIDE 3/8" 1" STRAND CABLE CADMIUM PLATED STEEL WITH GALVANIZED "EYE" THIMBLES OF WIRE AND HOSE ON TREES UP TO 3" IN CALIPER.

C. HOSES SHALL BE NEW 2 PLY REINFORCED RUBBER HOSE, MINIMUM 1/2" I.D. "PLASTIC LOCK TIES" OR "PAI'S TREES BRACES" MAY BE USED IN PLACE OF WIRE AND HOSE ON TREES UP TO 3" IN CALIPER.

D. ALL TREES UNDER 3" IN CALIPER ARE TO BE PLANTED AND STAKED IN ACCORDANCE WITH THE ATTACHED PLANTING DETAILS.

5. PLANT PRUNING, EDGING AND MULCHING

A. EACH TREE, SHRUB OR VINE SHALL BE PRUNED IN AN APPROPRIATE MANNER TO ITS PARTICULAR REQUIREMENTS, IN ACCORDANCE WITH ACCEPTED STANDARD PRACTICE. BROKEN OR BRUISED BRANCHES SHALL BE REMOVED WITH CLEAN CUTS. FLUSH WITH THE ADJACENT TRUNK OR BRANCHES. ALL CUTS OVER 1" IN DIAMETER SHALL BE PAINTED WITH AN APPROVED ANTISEPTIC TREE WOUND DRESSING.

B. ALL TRENCHES AND SHRUB BEDS SHALL BE EDGED AND CULTIVATED TO THE LINES SHOWN ON THE DRAWINGS. THE AREAS AROUND ISOLATED PLANTS SHALL BE EDGED AND CULTIVATED TO THE FULL DIAMETER OF THE PIT. SOD WHICH HAS BEEN REMOVED AND STACKED SHALL BE USED TO TRIM THE EDGES OF ALL EXCAVATED AREAS TO THE NEAR LINES OF THE PLANT PIT SAUKERS, THE EDGES OF SHRUB AREAS, HEDGE TRENCHES AND VINE POCKETS.

C. AFTER CULTIVATION, ALL PLANT MATERIALS SHALL BE MULCHED WITH A 3" LAYER OF FINE, SHREDDED PINE BARK, PEAT MOSS, OR ANOTHER APPROVED MATERIAL OVER THE ENTIRE AREA OF THE BED OR SAUKER.

6. PLANT INSPECTION AND ACCEPTANCE

THE DESIGN REVIEW COMMITTEE SHALL BE RESPONSIBLE FOR INSPECTING ALL PLANTING PROJECTS ON A PERIODIC BASIS TO ASSURE THAT ALL WORK IS PROCEEDING IN ACCORDANCE WITH THE APPROVED PLANS AND SPECIFICATIONS.

7. PLANT GUARANTEE

ALL PLANT MATERIAL SHALL BE GUARANTEED FOR THE DURATION OF ONE FULL GROWING SEASON, AFTER FINAL INSPECTION AND ACCEPTANCE OF THE WORK IN THE PLANTING PROJECT. PLANTS SHALL BE ALIVE AND IN SATISFACTORY GROWING CONDITION AT THE END OF THE GUARANTEE PERIOD.

A. FOR THIS PURPOSE, THE "GROWING SEASON" SHALL BE THAT PERIOD BETWEEN THE END OF THE "SPRING" PLANTING SEASON, AND THE COMMENCEMENT OF THE "FALL" PLANTING SEASON.

B. GUARANTEE FOR PLANTING PERFORMED AFTER THE SPECIFIED END OF THE "SPRING" PLANTING SEASON SHALL BE EXTENDED THROUGH THE END OF THE NEXT "SPRING" PLANTING SEASON.

SODDING

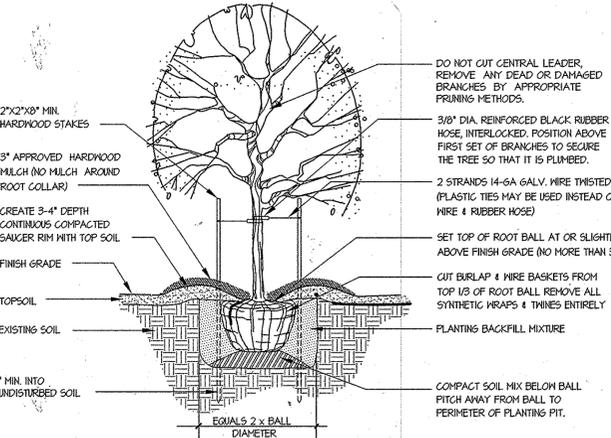
ALL SODDING SHALL BE IN ACCORDANCE TO THE "LANDSCAPE SPECIFICATION GUIDELINES FOR BALTIMORE-WASHINGTON METROPOLITAN AREAS" LATEST EDITION, APPROVED BY THE LANDSCAPE CONTRACTORS ASSOCIATION OF METROPOLITAN WASHINGTON AND THE AMERICAN SOCIETY OF LANDSCAPE ARCHITECTS.

ALL SOD SHALL BE STRONGLY ROOTED SOD, NOT LESS THAN TWO YEARS OLD AND FREE OF WEEDS AND UNDESIRABLE NATIVE GRASSES. PROVIDE ONLY SOD CAPABLE OF GROWTH DEVELOPMENT WHEN PLANTED AND IN STRIPS NOT MORE THAN 18" WIDE X 4' LONG. PROVIDE SOD COMPOSED PRINCIPALLY OF IMPROVED STRAIN KENTUCKY BLUEGRASS, SUCH AS, COLUMBIA, VICTA, OR ESCORT.

LANDSCAPING NOTES

- THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH SECTION 16.104 OF THE HOWARD COUNTY CODE OF THE HOWARD COUNTY LANDSCAPE MANUAL.
- CONTRACTOR SHALL NOTIFY ALL UTILITIES AT LEAST (5) FIVE DAYS BEFORE STARTING WORK. ALL GENERAL NOTES, ESPECIALLY THOSE REGARDING UTILITIES, ON SHEET 1 SHALL APPLY.
- FIELD VERIFY UNDERGROUND UTILITY LOCATIONS AND EXISTING CONDITIONS BEFORE STARTING PLANTING WORK. CONTACT ENGINEER / LANDSCAPE ARCHITECT IF ANY RELOCATIONS ARE REQUIRED.
- PLANT QUANTITIES SHOWN ON PLANT LIST ARE PROVIDED FOR THE CONVENIENCE OF THE CONTRACTOR ONLY. IF DISCREPANCIES EXIST BETWEEN QUANTITIES SHOWN ON THE PLAN AND THOSE SHOWN ON THE PLANT LIST, THE QUANTITIES ON THE PLAN SHALL TAKE PRECEDENCE.
- ALL PLANT MATERIAL SHALL BE FULL, HEAVY, WELL FORMED, AND SYMMETRICAL, AND CONFORM TO THE A.A.N. SPECIFICATIONS, AND BE INSTALLED IN ACCORDANCE WITH PROJECT SPECIFICATIONS.
- NO SUBSTITUTION SHALL BE MADE WITHOUT WRITTEN CONSENT OF THE OWNER OR HIS REPRESENTATIVE.
- ALL AREAS DISTURBED BY CONSTRUCTION ACTIVITIES BUT NOT OTHERWISE PLANTED, PAVED, OR MULCHED SHALL BE SEEDED OR SODDED IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS.
- THE CONTRACTOR SHALL NOTIFY THE OWNER IN WRITING IF HE/SHE ENCOUNTERS SOIL DRAINAGE CONDITIONS WHICH MAY BE DETRIMENTAL TO THE GROWTH OF THE PLANTS.
- ALL EXPOSED EARTH WITHIN LIMITS OF PLANTING BEDS SHALL BE MULCHED WITH SHREDDED HARDWOOD MULCH PER PLANTING DETAILS.
- DO NOT PLANT WITHIN THE PUBLIC WATER, SEWER, OR UTILITY EASEMENTS.
- SCHEDULES "B" AND "C" ARE PROVIDED FOR LANDSCAPE SURETY CALCULATION PURPOSES. FINANCIAL SURETY FOR THE REQUIRED LANDSCAPING SHALL BE POSTED WITH THE GRADING PERMITS IN THE AMOUNT OF \$50,000.
- AT THE TIME OF PLANT INSTALLATION ALL SHRUBS AND TREES LISTED AND APPROVED ON THE LANDSCAPE PLAN SHALL COMPLY WITH THE PROPER HEIGHT REQUIREMENT IN ACCORDANCE WITH THE HOWARD COUNTY LANDSCAPE MANUAL. IN ADDITION, NO SUBSTITUTIONS OR RELOCATIONS OF THE REQUIRED PLANTINGS MAY BE MADE WITHOUT PRIOR REVIEW AND APPROVAL FROM THE DEPARTMENT OF PLANNING AND ZONING. ANY DEVIATION FROM THE APPROVED LANDSCAPE PLAN MAY RESULT IN PENAL OR DELAY IN THE RELEASE OF LANDSCAPE SURETY UNTIL SUCH TIME AS ALL REQUIRED MATERIALS ARE PLANTED AND/OR REVISIONS ARE MADE TO THE APPLICABLE PLANS.
- THE OWNER, TENANTS AND/OR THEIR AGENTS SHALL BE RESPONSIBLE FOR MAINTENANCE OF THE REQUIRED LANDSCAPING INCLUDING BOTH PLANT MATERIALS AND BERMS, FENCES AND WALLS. ALL PLANT MATERIALS SHALL BE MAINTAINED IN GOOD GROWING CONDITION AND WHEN NECESSARY REPLACED WITH NEW MATERIALS TO ENSURE CONTINUED COMPLIANCE WITH APPLICABLE REGULATIONS. ALL OTHER REQUIRED LANDSCAPING SHALL BE PERMANENTLY MAINTAINED IN GOOD CONDITION, AND WHEN NECESSARY, REQUIRED OR REPLACED.

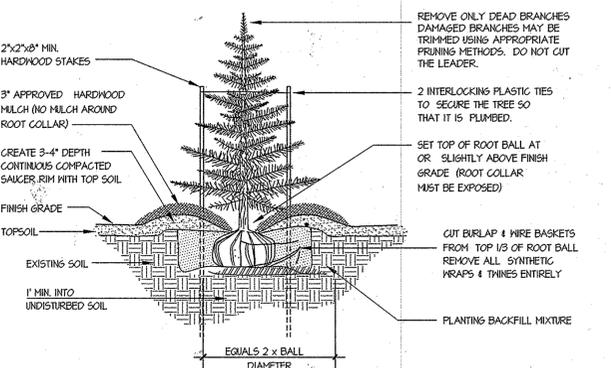
FOR LANDSCAPE INSPECTION TO OBTAIN THE RELEASE OF THE SURETY, CONTACT HOWARD COUNTY DEPT. OF PLANNING & ZONING AT 410-318-2350.



NOTE: ALL SUPPORTING DEVICES (STAKES, WIRES, ETC.) SHALL BE REMOVED AFTER 2 GROWING SEASONS.

DECIDUOUS TREE PLANTING DETAIL

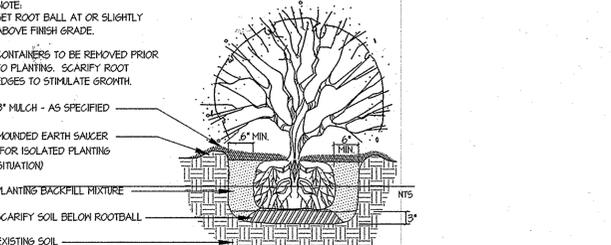
FOR PLANTING MATERIAL UP TO 3 1/2" CALIPER



NOTE: ALL SUPPORTING DEVICES (STAKES, WIRES, ETC.) SHALL BE REMOVED AFTER 2 GROWING SEASONS.

EVERGREEN TREE PLANTING DETAIL

FOR PLANTING MATERIAL UP TO 3 1/2" CALIPER



NOTE: ALL SUPPORTING DEVICES (STAKES, WIRES, ETC.) SHALL BE REMOVED AFTER 2 GROWING SEASONS.

SHRUB PLANTING DETAIL

FOR PLANTING MATERIAL UP TO 3 1/2" CALIPER

REQUIRED LANDSCAPE SURETY

PLANT TYPE	SCHEDULES			TOTAL OF EACH PLANT TYPE	SURETY/PLANT REQUIRED	TOTAL SURETY FOR EACH PLANT TYPE
	A	B	C			
SHADE TREES	0	1	1B	14	\$300.00	\$4,200.00
ORNAMENTAL TREES	0	0	0	0	\$50.00	\$0.00
SHRUBS	0	0	0	0	\$50.00	\$0.00
				TOTAL SURETY REQUIRED		\$4,200.00

\$400,000 SURETY REQUIRED FOR 3 SHADE TREES AT \$300/TREE (PRIVATE STREET TREES)
\$420,000 SURETY REQUIRED FOR SCHEDULES B AND C

\$500,000 TOTAL LANDSCAPE SURETY REQUIRED (to be posted w/ the Developer Agreement)

PRIVATE STREET TREE REQUIREMENTS

LOCATION	LENGTH OF CURB (L.F.)	NUMBER OF TREES REQUIRED	NUMBER OF TREES PROVIDED
COMMON OPEN SPACE B-14	120	3 (at approx. 40 c.u.)	5

PLANT LIST

QTY	SYM	NAMES (BOTANICAL / SCIENTIFIC)	SIZE/COMMENTS
SHADE TREES			
6	ZS	ZELKOYA SERRATA / VILLAGE GREEN	2 1/2" CAL. MIN.
ORNAMENTAL TREES			
6	CC	CERCIS CANADENSIS / REDBUD	6-8" HT.
4	MD	MALAS 'SNOWDRIFT' / SNOWDRIFT CRABAPPLE	6-8" HT.
SHRUBS-DECIDUOUS			
5	Hg	HYDRANGEA 'ANNABELLE' / ANNABELLE HYDRANGEA	18"-24" MIN. SPREAD
2	Rc	RHOODENDRON X 'SCARLET MONDER DWARF' / SCARLET MONDER DWARF RHOODENDRON	18"-24" MIN. SPREAD
5	SJ	SKIMMIA JAPONICA / JAPANESE SKIMMIA	18"-24" MIN. SPREAD
4	Hm	HYDRANGEA MICROPHYLLA / FOREVER PINK HYDRANGEA	18"-24" MIN. SPREAD
SHRUBS-EVERGREEN			
3	lc	ILEX CRENATA HELLERI / HELLERI HOLLY	18"-24" MIN. SPREAD
5	lm	ILEX X MONDO / LITTLE RASCAL HOLLY	18"-24" MIN. SPREAD
2	Pp	PIERIS JAPONICA 'PRELUDE' / PRELUDE PIERIS	
1	PJM	PJM RHOODENDRON / RHOODENDRON	

SCHEDULE - B: PARKING LOT INTERNAL LANDSCAPING

NUMBER OF PARKING SPACES	COMMON SURFACE SPACES
1	1
NUMBER OF SHADE TREES REQUIRED (1 PER 10 RES. SPACES)	1 SHADE TREE
NUMBER OF TREES PROVIDED (SHADE TREES)	1
OTHER TREES (2:1 SUBSTITUTION)	NONE

SCHEDULE - C: RESIDENTIAL INTERNAL LANDSCAPING

NUMBER OF DWELLING UNITS	IS
NUMBER OF TREES REQUIRED (1 PER SFA DIA, 1 PER 3 APTS DIA)	15
NUMBER OF TREES PROVIDED	10 ORNAMENTALS FOR 5 SHADE TREES
OTHER TREES (2:1 SUBSTITUTION)	80 SHRUBS FOR 5 SHADE TREES
SHRUBS (0:1 SUBSTITUTION)	80 SHRUBS FOR 5 SHADE TREES

NOTE: NO PERIMETER LANDSCAPING IS REQUIRED FOR THIS SITE SINCE ALL OF THE ADJACENT PROPERTIES ARE PART OF THE SHIPLEY'S GRANT SUBDIVISION.

DEVELOPER'S/BUILDER'S CERTIFICATE

I/WE CERTIFY THAT THE LANDSCAPING SHOWN ON THIS PLAN WILL BE DONE ACCORDING TO THE PLAN, SECTION 16.104 OF THE HOWARD COUNTY CODE, THE HOWARD COUNTY LANDSCAPE MANUAL, AND THE REQUIREMENTS OF THE LETTER OF LANDSCAPE INSTALLATION ACCOMPANIED BY AN EXECUTED ONE YEAR GUARANTEE OF PLANT MATERIALS, WILL BE SUBMITTED TO THE DEPARTMENT OF PLANNING AND ZONING.

Chris Block 9-11-15
NAME DATE

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
Director: *Wanda J. Jaffe* 11-6-15
Date: 11-6-15
Chief, Division of Land Development: *Wanda J. Jaffe* 11-6-15
Date: 11-6-15
Chief, Development Engineering Division: *Chris Block* 9-30-15
Date: 9-30-15

GLWGUTSCHICK LITTLE & WEBER, P.A.
CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
3909 NATIONAL DRIVE - SUITE 250 - BURTNSVILLE OFFICE PARK
BURTNSVILLE, MARYLAND 20866
TEL: 301-421-4024 BALT: 410-880-1820 DC/VA: 301-989-2524 FAX: 301-421-4186

DES.	WSJ	DRN.	WSJ	CHK.	MBT
DATE		REVISION		BY	APPR.

PREPARED FOR & OWNER:
BA SHIPLEY, LLC
C/O BOZZUTO HOMES, INC.
6406 LIVY LANE, SUITE 700
GREENBELT, MARYLAND 20770
ATTN: CHRIS BLOCK
301-623-3672

PROFESSIONAL CERTIFICATION
I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 1931
EXPIRATION DATE: MAY 31, 2016



LANDSCAPE DETAILS, NOTES AND SCHEDULES
SHIPLEY'S GRANT PHASE VII
LOTS B-1 THRU B-13 AND COMMON OPEN SPACE LOT B-14
PLAT No. 23526-28527

SCALE	ZONING	G. L. W. FILE No.
NONE	R-A-15	05030
DATE	TAX MAP - GRID	SHEET
SEPT, 2015	37 - 1&2	7 OF 8

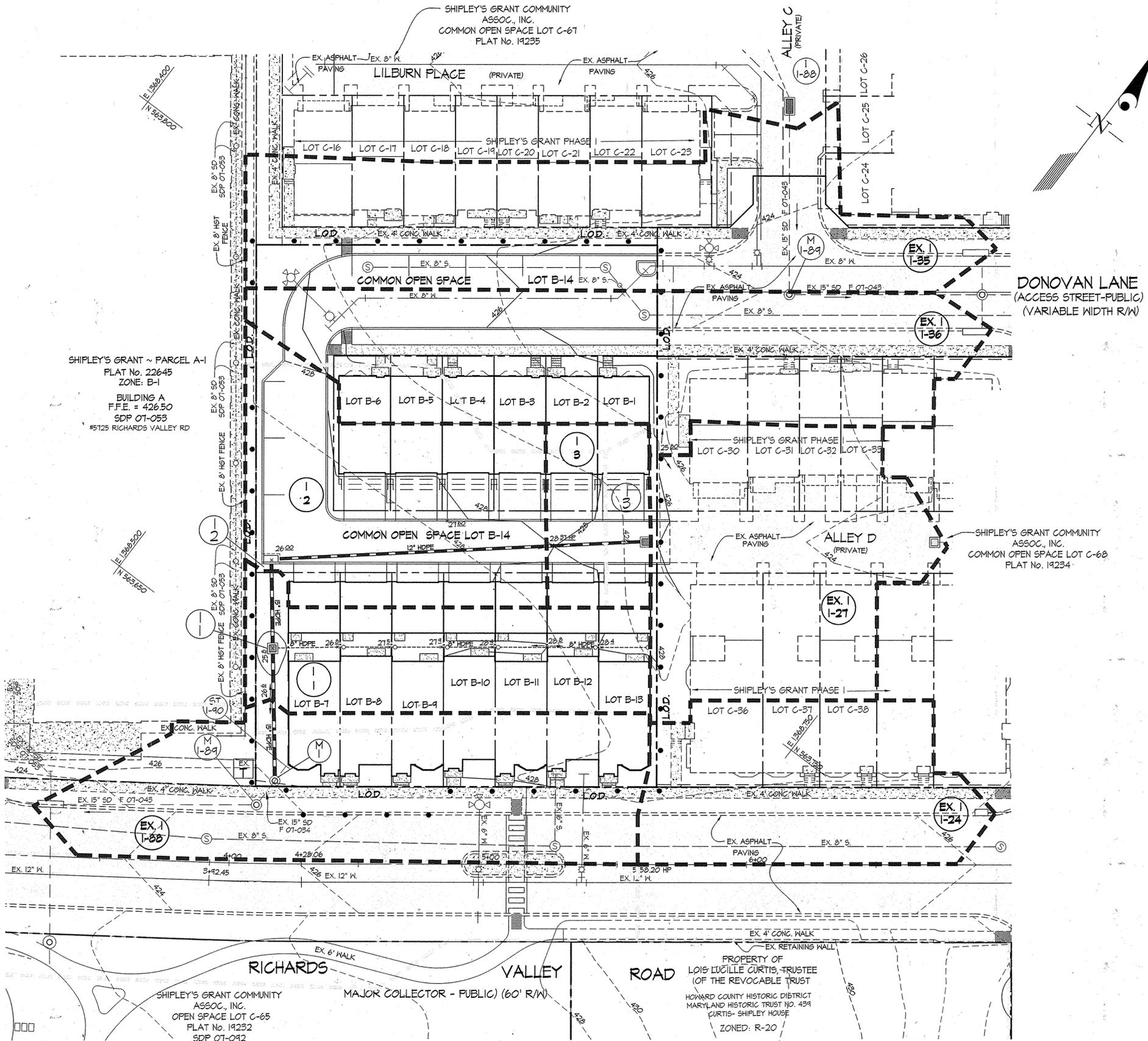
LEGEND:

--- EX SD DRAINAGE DIVIDE

- - - PROP. SD DRAINAGE DIVIDE

① DRAINAGE DESIGNATION

No.	Area (sf.)	Area (Ac.)	% Impv.	Rational Formula C Factor
I-1	6601	0.152	100	0.98
I-2	9061	0.208	100	0.98
I-3	2857	0.066	100	0.98
EX I-1-24	7549	0.173	100	0.98
EX I-1-27	10184	0.234	100	0.98
EX I-1-35	13939	0.320	100	0.98
EX I-1-36	13445	0.309	100	0.98

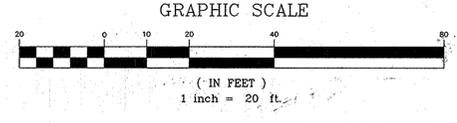


APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

Nick J. Joffe 11-16-15
Director

Walter J. Leach 11-03-15
Chief, Division of Land Development

John P. ... 9-30-15
Chief, Development Engineering Division



GLWGUTSCHICK LITTLE & WEBER, P.A.

CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS

3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK
BURTONSVILLE, MARYLAND 20866

TEL: 301-421-4024 BAL: 410-880-1820 DC/VA: 301-989-2524 FAX: 301-421-4186

REVISION	DATE	BY	APPR.

PREPARED FOR & OWNER:
BA SHIPLEY, LLC
C/O BOZZUTO HOMES, INC.
6406 IVY LANE, SUITE 700
GREENBELT, MARYLAND 20770
ATTN: CHRIS BLOCK
301-623-3672

PROFESSIONAL CERTIFICATION

I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 19931

EXPIRATION DATE: MAY 21, 2016

STORM DRAIN DRAINAGE AREA MAP

SHIPLEY'S GRANT

PHASE VII

LOTS B-1 THRU B-13 AND COMMON OPEN SPACE LOT B-14

PLAT No. 23526 & 23527

ELECTION DISTRICT No. 1

HOWARD COUNTY, MARYLAND

SCALE	ZONING	G. L. W. FILE No.
AS SHOWN	R-A-15	05030
DATE	TAX MAP - GRID	SHEET
SEPT., 2015	37 - 1&2	8 OF 8