

GENERAL NOTES

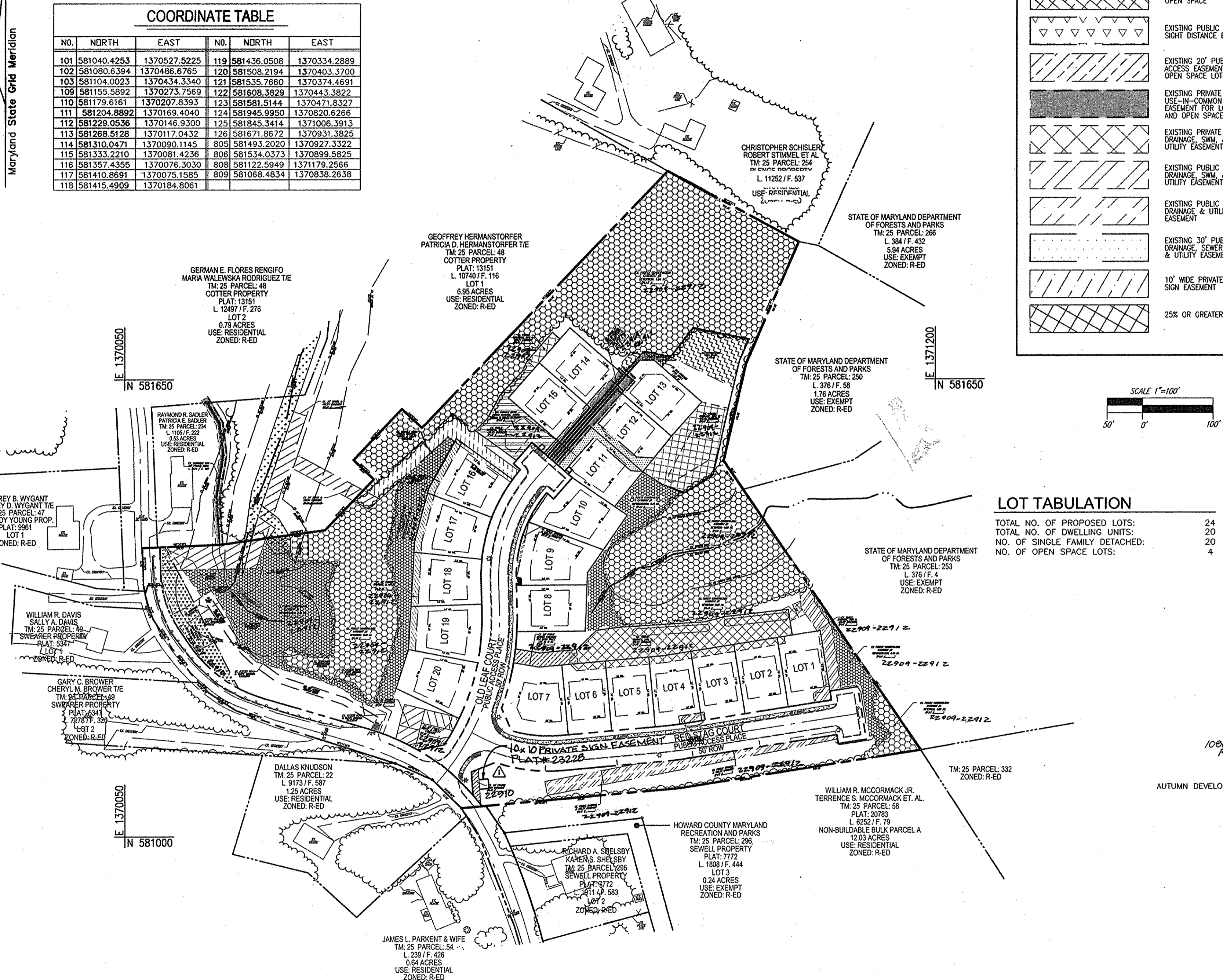
- 1. THE CONTRACTOR SHALL NOTIFY THE DEPARTMENT OF PUBLIC WORKS/BUREAU OF ENGINEERING/CONSTRUCTION INSPECTION DIVISION AT (410) 313-1880 AT LEAST FIVE (5) WORKING DAYS PRIOR TO START OF WORK.
2. THE CONTRACTOR SHALL NOTIFY "MISS UTILITY" AT 1-800-257-7777 AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION WORK.
3. ALL ASPECTS OF THE PROJECT ARE IN CONFORMANCE WITH THE LATEST HOWARD COUNTY STANDARDS UNLESS WAIVERS HAVE BEEN APPROVED.
4. TRAFFIC CONTROL DEVICES, MARKINGS AND SIGNING SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
5. THE R1-1 (STOP) SIGN AND THE STREET NAME SIGN (SNS) ASSEMBLY FOR THIS DEVELOPMENT MUST BE INSTALLED BEFORE THE BASE PAVING IS COMPLETED.
6. THE TRAFFIC CONTROL DEVICE LOCATIONS SHOWN ON THE PLANS ARE APPROXIMATE AND MUST BE FILED APPROVED BY HOWARD COUNTY TRAFFIC DIVISION AT 410-313-2430 PRIOR TO THE INSTALLATION OF ANY OF THE TRAFFIC CONTROL DEVICES.
7. ALL TRAFFIC CONTROL DEVICES AND THEIR LOCATIONS SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MARYLAND MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MMUTCD).
8. ALL SIGN POSTS USED FOR TRAFFIC CONTROL SIGNS INSTALLED IN THE COUNTY RIGHT-OF-WAY SHALL BE MOUNTED ON A 2" GALVANIZED STEEL PERFORATED SQUARE TUBE POST (14 GAUGE) INSERTED INTO A 2-1/2" GALVANIZED STEEL PERFORATED SQUARE TUBE SLEEVE (12 GAUGE)-3" LONG. THE ANCHOR SHALL NOT EXTEND MORE THAN TWO "QUICK PUNCH" HOLES ABOVE GROUND LEVEL. A GALVANIZED STEEL POLE CAP SHALL BE MOUNTED ON TOP OF EACH POST.
9. THE TOPOGRAPHY SHOWN HEREON IS BASED ON AN AERIAL TOPOGRAPHIC SURVEY PREPARED BY WINGS AERIAL MAPPING COMPANY, INC. PHOTOGRAPHED MARCH 1995.
10. THE PROJECT BOUNDARY SHOWN FOR PARCEL 95 IS BASED ON A BOUNDARY SURVEY PREPARED BY FISHER, COLLINS & CARTER, INC. DATED FEBRUARY 14, 2000, WHICH WAS VERIFIED AS CORRECT BY ROBERT H. VOGEL ENGINEERING, INC. IN MARCH 2010. ROBERT H. VOGEL ENGINEERING, INC. SURVEYED PARCELS 56 & 309 IN MARCH 2010.
11. THE COORDINATES SHOWN HEREON ARE BASED UPON THE HOWARD COUNTY GEODETIC CONTROL, WHICH IS BASED UPON THE MARYLAND STATE PLANE COORDINATE SYSTEM. HOWARD COUNTY MONUMENT NOS. 2411 AND 2413 WERE USED FOR THIS PROJECT.
12. THE SUBJECT PROPERTY IS ZONED "R-ED" IN ACCORDANCE WITH THE 02/02/2004 COMPREHENSIVE ZONING PLAN AND THE STORM LITE ZONING REGULATIONS EFFECTIVE 07/28/2006.
13. COMPLIANCE WITH THE ZONING REGULATIONS BY ENVIRONMENTAL SITE DESIGN UTILIZATION FACILITIES, GRASS SWALES, BAY WINDOWS, CHIMNEYS, DISCONNECTS AND PRYWELLS THE MICRO-BIORETENTION FACILITIES WILL BE PRIVATELY OWNED AND MAINTAINED BY THE HOA. THE PERFORATED UNDER DRAINS, FEEDERS, PLANTINGS AND SWALES WILL BE PRIVATELY OWNED AND MAINTAINED BY THE HOA. HOWARD COUNTY WILL MAINTAIN THE INLET STRUCTURE WITHIN THE MICRO-BIORETENTION FACILITIES ADJACENT TO THE RIGHT-OF-WAYS.
14. EXISTING UTILITIES ARE BASED ON HOWARD COUNTY RECORDS, FIELD SURVEY, ROAD CONSTRUCTION PLANS AND AVAILABLE RECORD DRAWINGS. APPROXIMATE LOCATION OF EXISTING UTILITIES ARE SHOWN FOR THE CONTRACTORS INFORMATION. CONTRACTOR SHALL LOCATE EXISTING UTILITIES IN ADVANCE OF CONSTRUCTION ACTIVITIES AND TAKE ALL NECESSARY PRECAUTIONS TO PROTECT THE EXISTING UTILITIES AND TO MAINTAIN UNINTERRUPTED SERVICE.
15. ANY DAMAGE TO THE COUNTY'S RIGHTS-OF-WAY, PAVING, OR EXISTING UTILITIES SHALL BE CORRECTED AT THE CONTRACTOR'S EXPENSE.
16. ALL DRIVEWAY ENTRANCES SHALL UTILIZE HOWARD COUNTY STANDARD DETAIL NO. R-6.06 UNLESS OTHERWISE NOTED.
17. THE CONTRACTOR IS TO NOTIFY THE FOLLOWING UTILITIES OR AGENCIES AT LEAST FIVE DAYS BEFORE STARTING:
AT&T 1-800-252-1133
BOC (CONSTRUCTION SERVICES) 410-637-3713
BOC (EMERGENCY) 410-685-0123
BUREAU OF UTILITIES 410-313-4900
COLONIAL PIPELINE CO 410-795-1390
MISS UTILITY 1-800-257-7777
STATE HIGHWAY ADMINISTRATION 410-531-5533
VERIZON 1-800-743-0033
18. IN ACCORDANCE WITH SECTION 128 OF THE HOWARD COUNTY ZONING REGULATIONS, BAY WINDOWS, CHIMNEYS, OR EXTERIOR STAIRWAYS NOT MORE THAN 18 FEET IN WIDTH MAY PROJECT NOT MORE THAN 4 FEET INTO ANY SETBACKS. PORCHES OR DECKS, OPEN OR ENCLOSED MAY PROJECT NOT MORE THAN 10 FEET INTO THE FRONT FRONT OR REAR YARD SETBACK.
19. SECTION 128.1.1 OF THE ZONING REGULATIONS (CB-2-2012) WHICH ALLOWS SUNROOMS AND ROOM EXTENSIONS TO EXTEND NOT MORE THAN 10 FEET INTO THE REAR SETBACK ALONG NOT MORE THAN 60% OF THE REAR FACE OF A DWELLING ON A LOT WHICH ADJOINS OPEN SPACE ALONG A MAJORITY OF THE REAR LOT LINE FOR R-ED LOTS RECORDED AFTER THE EFFECTIVE DATE OF CB-2-2012 (MAY 13, 2012).
20. THIS PLAN IS SUBJECT TO THE AMENDED FIFTH EDITION OF THE SUBDIVISION AND LAND DEVELOPMENT REGULATIONS. DEVELOPMENT OR CONSTRUCTION OF THESE LOTS MUST COMPLY WITH SETBACK AND BUFFER REGULATIONS IN EFFECT AT THE TIME OF SUBMISSION OF THE SITE DEVELOPMENT PLAN, WAIVER PETITION, OR BUILDING AND GRADING PERMITS.
21. THIS SITE DEVELOPMENT PLAN IS SUBJECT TO THE FOLLOWING DPZ FILES: SP-06-101, F-09-036, WP-10-030, WP-11-145, WP-12-152, WP-12-165, ECP-12-012, SP-12-003, F-13-081, PB 392, CONT. #14-4737-D AND PLATS #22907-22912, #2322B-2322D.
22. PLANNING BOARD CASE NO. 398 APPROVED BY PLANNING BOARD ON JANUARY 17, 2013.
23. THERE IS NO 100-FT FLOODPLAIN WITHIN THE LIMITS OF THIS SITE.
24. A NOISE STUDY IS NOT REQUIRED FOR THIS SITE DEVELOPMENT PLAN.
25. COLLEGE AVENUE IS A SCENIC ROAD.
26. A WETLANDS DELINEATION WAS COMPLETED UNDER F-13-081 AND ARE BASED ON A FIELD INVESTIGATION PREPARED BY MCCARTHY & ASSOC., INC. DATED MAY 2011 AND PROFESSIONALS, INC. DATED FEBRUARY 24, 2006 & CONFIRMED MAY 27, 2011. THERE ARE NO PROPOSED DISTURBANCES TO THE WETLANDS OR ASSOCIATED BUFFERS.
27. MCCARTHY & ASSOCIATES COMPILED A REPORT AND ASSOCIATED EXHIBITS FOR THE "MCPHERSON PROPERTY" DATED MAY OF 2011. ON MAY 10, 2012 THE FOREST STAND DELINEATION EXHIBITS WERE SIGNED BY MR. WALLIS.
28. ECO-SCIENCE PROFESSIONALS, INC. PREPARED A FOREST STAND DELINEATION PLAN AND COMBINATION WETLAND, FOREST STAND AND PRELIMINARY FOREST CONSERVATION REPORT FOR THE "WEAVERS COURT" PROJECT DATED FEBRUARY 24, 2006. THIS WAS CONFIRMED IN A LETTER DATED MAY 27, 2011.
29. THIS PROPERTY IS LOCATED WITHIN THE METROPOLITAN DISTRICT.
30. WATER AND SEWER FOR THIS PROJECT WILL BE PUBLIC. WATER WILL BE PROVIDED THROUGH #14-4737-D & CONTRACT #134-W. SEWER WILL BE PROVIDED THROUGH CONTRACT #661-W&S & #14-4737-D.
31. TO THE BEST OF THE OWNERS KNOWLEDGE, THERE ARE NO BURIAL GROUNDS, CEMETERIES, OR HISTORIC STRUCTURES LOCATED ON THIS PROJECT.
32. THE PROPOSED UNITS SHALL HAVE AN AUTOMATIC FIRE PROTECTION SPRINKLER SYSTEM.
33. NO STEEP SLOPES OVER 20.00% SF CONTIGUOUS ARE LOCATED ON THE LOTS TO BE DEVELOPED.
34. THE PROJECT COMPLETES WITH THE REQUIREMENTS OF SECTION 16.1200 OF THE HOWARD COUNTY CODE FOR FOREST CONSERVATION BY THE RETENTION OF 3.18 AC OF CREDITED EASEMENT AND 1.12 AC OF REFORESTATION REQUIRED SURETY FOR THE REQUIRED FOREST CONSERVATION HAS BEEN PAID IN THE AMOUNT \$24,394.00, REFORESTATION - (1.12 AC), 48,787.20 SF x .50 = \$24,394.00 UNDER F13-081.FOREST CONSERVATION PLAN PREPARED BY ECO-SCIENCE PROFESSIONALS, INC.
35. F13-081 WAS PREPARED IN ACCORDANCE WITH SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL. A FINANCIAL SURETY FOR THE PERIMETER LANDSCAPING IN THE AMOUNT OF \$8,250.00 FOR THE REQUIRED 24 SHADE TREES AND 89 EVERGREENS WAS POSTED WITH THE DEVELOPERS AGREEMENT FOR F13-081. A FINANCIAL SURETY IN THE AMOUNT OF \$9,000.00 FOR THE 24 SHADE TREES AND 12 EVERGREENS PROVIDED FOR THE ADDITIONAL LANDSCAPING REQUIRED ALONG PERIMETER TO ADDRESS SCENIC ROAD CONCERNS, AND THE ADDITIONAL TREES PROVIDED BEHIND LOTS 1-6 AS MITIGATION TO THE REMOVAL OF 14 SPECIMEN TREES WAS POSTED WITH THE DEVELOPERS AGREEMENT FOR F13-081.PUBLIC STREET TREES ARE PROVIDED FOR THIS PROJECT IN ACCORDANCE WITH SECTION 16.124(c)(1) OF THE SUBDIVISION REGULATIONS AND THE LANDSCAPE MANUAL. A FINANCIAL SURETY IN THE AMOUNT OF \$15,900.00 WAS PROVIDED FOR THE 53 REQUIRED STREET TREES UNDER F13-081.
36. ESTIMATES OF EARTHWORK QUANTITIES ARE PROVIDED SOLELY FOR THE PURPOSE OF CALCULATING FEES AND ARE BASED UPON EXISTING AND PROPOSED CONTOURS.
37. ALL SINGLE FAMILY DWELLINGS SHALL HAVE A MINIMUM OF A 1-1/2" WHC WITH A 1" OUTSIDE METER SETTING.
38. DRIVEWAYS SHALL BE PROVIDED PRIOR TO RESIDENTIAL OCCUPANCY TO INSURE SAFE ACCESS FOR FETER AND EMERGENCY VEHICLES PER THE FOLLOWING MINIMUM REQUIREMENTS:
A) WIDTH - 12 FEET (16 FEET IF SERVING MORE THAN ONE RESIDENCE)
B) SURFACE - 6 INCHES OF COMPACTED CRUSHED RUN BASE WITH TAR AND CHIP COATING (1-3" MIN.)
C) GEOMETRY - MAXIMUM 15% GRADE, MAXIMUM 10% GRADE CHANGE AND MINIMUM OF 45-FOOT TURNING RADIUS
D) STRUCTURES - (CULVERTS/BRIDGES) - CAPABLE OF SUPPORTING 25 GROSS TONS (H25 LOADING)
E) DRAINAGE ELEMENTS - CAPABLE OF SAFELY PASSING 100-YEAR FLOOD WITH NO MORE THAN 1-FOOT DEPTH OVER DRIVEWAY SURFACE.
F) STRUCTURE CLEARANCES - MINIMUM 12 FEET
G) MAINTENANCE - SUFFICIENT TO INSURE ALL WEATHER USE
39. WP-12-165: A WAIVER PETITION HAS BEEN SUBMITTED AND APPROVED, DATED JULY 23, 2012, TO WAIVE SECTION 16.1205(a)(10) WHICH REQUIRES THE RETENTION OF SPECIMEN TREES (30" DBH OR GREATER) THAT ARE NOT CONTAINED WITHIN OTHER PRIORITY FOREST RETENTION AREAS AS OUTLINED IN SECTION 16.1205(a)(1-4). A WAIVER TO SECTION 16.116(b) WHICH PROHIBITS GRADING, REMOVAL OF VEGETATIVE COVER AND TREES, STRUCTURES AND PAVING ON LAND WITH EXISTING STEEP SLOPES.
A. IMPACTS TO STEEP SLOPES (25% OR GREATER) MAY NOT BE GREATER THAN A TOTAL OF 0.23 ACRES OR EXISTING SLOPE UNLESS IT CAN BE SUFFICIENTLY DEMONSTRATED BY THE APPLICANT TO BE JUSTIFIED.
B. WAIVER APPROVAL IS LIMITED TO THE REMOVAL OF SPECIMEN TREES #1, #3-6, #8, #14-17, #23 AND #26-28 AS DEPICTED ON THE WAIVER EXHIBIT. ANY PROPOSAL TO REMOVE ADDITIONAL SPECIMEN TREES WILL REQUIRE A NEW WAIVER REQUEST OR AN AMENDMENT TO THIS WAIVER REQUEST.
C. DETAILED PROTECTIVE MEASURES FOR SPECIMEN TREE #21 SHALL BE OUTLINED ON THE WAIVER EXHIBIT (SHEET 6 OF SP-12-003 WHICH ALSO SERVES AS THE LANDSCAPE AND FOREST CONSERVATION PLAN).
D. THE ADDITIONAL LANDSCAPING PROPOSED BEHIND LOTS 1-6 WILL BE CONSIDERED MITIGATION TO THE REMOVAL OF THE 14 SPECIMEN TREES AND SHALL BECOME PART OF THE APPROVED LANDSCAPE PLAN AND WILL BE BONDED ACCORDINGLY.
40. LOTS 11-15 AND OPEN SPACE LOT 21 & 23 WILL UTILIZE A USE-IN-COMMON DRIVEWAY. THE USE-IN-COMMON MAINTENANCE AGREEMENT WAS RECORDED SIMULTANEOUSLY WITH THE PLAN.
41. CONTRACTOR TO VERIFY THE LOCATION OF ALL EXISTING UTILITIES ON SITE PRIOR TO COMMENCING CONSTRUCTION.
42. FOREST CONSERVATION REQUIREMENTS AS SET FORTH IN SECTION 16.1200 OF THE HOWARD COUNTY CODE AND THE FOREST CONSERVATION MANUAL, NO CLEARING, GRADING OR CONSTRUCTION IS PERMITTED WITHIN THE FOREST CONSERVATION EASEMENT, HOWEVER, FOREST MANAGEMENT PRACTICES AS DEFINED IN THE DEED OF FOREST CONSERVATION EASEMENT ARE ALLOWED.
43. COUNTY CAPITAL PROJECT J-4213 - COLLEGE AVENUE - GLOPE REPAIR - TO REALIGN COLLEGE AVENUE AND ASSOCIATED GRADING DISTURBANCES IS CONSIDERED "ESSENTIAL" PER SECTION 16.116(c).
44. TEST PITS TO DETERMINE GROUND WATER AND ROCK ELEVATIONS WERE PERFORMED ONSITE NO ROCK OR WATER ARE WITHIN 4" OF THE BOTTOM OF ANY FACILITY.
45. THIS PROJECT IS SUBJECT TO AA CASE NO. 13-017; THE DIRECTOR OF THE DEPARTMENT OF PLANNING AND ZONING SIGNED THE DECISION AND ORDER ON JANUARY 15, 2014, APPROVING AN ADMINISTRATIVE ADJUSTMENT FROM SECTION 107.0.D.4.C.(2) TO REDUCE THE 30 FOOT STRUCTURE SETBACK FROM A PROJECT BOUNDARY TO 24 FEET TO CONSTRUCT A RETAINING WALL SUBJECT TO THE FOLLOWING CONDITIONS: 1. THE PETITIONER SHALL COMPLY WITH ALL APPLICABLE FEDERAL, STATE AND COUNTY LAWS AND REGULATIONS. 2. THE GRANTED ADMINISTRATIVE ADJUSTMENT SHALL APPLY SOLELY TO THE RETAINING WALL AS DEPICTED ON THE ADMINISTRATIVE ADJUSTMENT PLAN SUBMITTED BY THE PETITIONER AND TO NO OTHER STRUCTURE, ADDITION, BUILDING OR USE. 3. THIS DECISION AND ORDER SHALL BE MAINTAINED IN THE OWNERS' PROPERTY RECORDS AND SHALL BE TRANSFERRED TO ANY SUCCEEDING OWNER OF THE PROPERTY.
46. TRAFFIC CONTROL DEVICES (REFER TO F13-081)
A. THE R1-1(STOP) SIGNS AND STREET NAME SIGN (SNS) ASSEMBLYS FOR THIS DEVELOPMENT MUST BE INSTALLED BEFORE THE BASE PAVING IS COMPLETED.
B. THE TRAFFIC CONTROL DEVICE LOCATIONS SHOWN ON THE PLANS ARE APPROXIMATE AND MUST BE FIELD APPROVED BY HOWARD COUNTY TRAFFIC DIVISION (410-313-2430) PRIOR TO THE INSTALLATION OF ANY OF THE TRAFFIC CONTROL DEVICES.
C. ALL TRAFFIC CONTROL DEVICES AND THEIR LOCATIONS SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE "MARYLAND MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" (MMUTCD).
D. ALL SIGN POST USED FOR TRAFFIC CONTROL SIGNS INSTALLED IN THE COUNTY RIGHT-OF-WAY SHALL BE MOUNTED ON A 2" GALVANIZED STEEL PERFORATED, ("QUICK PUNCH") SQUARE TUBE POST (14 GAUGE) INSERTED INTO A 2-1/2" GALVANIZED STEEL PERFORATED, SQUARE TUBE SLEEVE (12 GAUGE) - 3" LONG. THE ANCHOR SHALL NOT EXTEND MORE THAN TWO "QUICK PUNCH" HOLES ABOVE GROUND LEVEL. A GALVANIZED STEEL POLE CAP SHALL BE MOUNTED ON THE TOP OF EACH POST.
E. THE TOPOGRAPHY SHOWN HEREON IS BASED ON AN AERIAL TOPOGRAPHIC SURVEY PREPARED BY WINGS AERIAL MAPPING COMPANY, INC. PHOTOGRAPHED MARCH 1995.
47. THE PROJECT BOUNDARY SHOWN FOR PARCEL 95 IS BASED ON A BOUNDARY SURVEY PREPARED BY FISHER, COLLINS & CARTER, INC. DATED FEBRUARY 14, 2000, WHICH WAS VERIFIED AS CORRECT BY ROBERT H. VOGEL ENGINEERING, INC. IN MARCH 2010. ROBERT H. VOGEL ENGINEERING, INC. SURVEYED PARCELS 56 & 309 IN MARCH 2010.
48. THE ADEQUATE ROAD FACILITIES TEST EVALUATION PREPARED BY THE TRAFFIC GROUP, INC. DATED JULY 25, 2011 AND APPROVED BY THE DEVELOPMENT AND ENGINEERING DIVISION, THERE ARE NO REQUIRED IMPROVEMENTS TO THE STUDY INTERSECTION.
49. A PRIVATE RANGE OF ADDRESS SIGN ASSEMBLY FOR THE USE-IN-COMMON DRIVEWAY AT THE END OF OLD LEAF COURT SHALL BE FABRICATED AND INSTALLED BY HOWARD COUNTY - BUREAU OF HIGHWAYS AT THE DEVELOPERS/OWNERS EXPENSE. CONTACT HOWARD COUNTY TRAFFIC DIVISION AT 410-313-5752 FOR DETAILS AND COST ESTIMATES. (REFER TO F13-081)
50. STRUCTURES PREVIOUSLY ON MAP 25, PARCEL 95 WERE LISTED ON THE HISTORIC SITES INVENTORY AS HO-855, HAZELHURST COTTAGES. THESE BUILDINGS CAME BEFORE THE HISTORIC DISTRICT COMMISSION FOR ADVISORY COMMENTS AS HDC-06-02 FOR PLAN S-06-10, WEAVER'S COURT. ALL STRUCTURES HAVING BEEN REMOVED, SPRING 2013. THE STRUCTURE PREVIOUSLY ON MAP 25, PARCEL 309 WAS LISTED ON THE HISTORIC SITES INVENTORY AS HO-856, THE STRUCTURE HAS BEEN REMOVED.
51. A PRE-SUBMISSION COMMUNITY MEETING WAS HELD FOR THE PROJECT ON MARCH 23, 2011.
52. OPEN SPACE LOT 21 TO BE OWNED BY HOWARD COUNTY MARYLAND AND MAINTAINED BY THE DEPARTMENT OF RECREATION AND PARKS. OPEN SPACE LOTS 22, 23, AND 24 ARE TO BE DEDICATED TO, OWNED AND MAINTAINED BY THE HOMEOWNERS ASSOCIATION FOR THE RESIDENTS OF THIS SUBDIVISION. THE RECORDING REFERENCE FOR H.O.A. ARTICLES OF INCORPORATION AND RESTRICTIONS IS SHOWN HEREON.
53. NO GRADING, REMOVAL OF VEGETATION COVER OR TREES, PAVING AND NEW STRUCTURES SHALL BE PERMITTED WITHIN THE LIMITS OF WETLANDS, STREAM(S) OR THEIR REQUIRED BUFFERS FLOODPLAIN & FOREST CONSERVATION EASEMENT(S).
54. THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL. A FINANCIAL SURETY IN THE AMOUNT OF \$1,350,000 FOR THE REQUIRED 3 SHADE TREES AND 3 EVERGREEN TREES FOR THE SIDE-TO-ROAD LANDSCAPING REQUIREMENT FOR LOT 7 AND WILL BE ADDRESSED WITH THE BUILDING PERMIT FOR LOT 7.
55. THERE WERE HISTORIC PROPERTIES LOCATED WITHIN THIS DEVELOPMENT THAT HAVE BEEN DEMOLISHED. THESE BUILDINGS CAME BEFORE THE HISTORIC DISTRICT COMMISSION FOR ADVISORY COMMENTS AS HDC-06-02 FOR PLAN S-06-10 WEAVERS COURT. THE BUILDINGS THAT WERE DEMOLISHED ARE LISTED ON THE HISTORIC SITES INVENTORY AS HO-855, HAZELHURST COTTAGES AND HO-856, ULBURN/HAMMOND COTTAGE.
56. AN APFO FOR THIS PROJECT WAS SUBMITTED AND APPROVED ON FEBRUARY 2012.

SITE DEVELOPMENT PLAN
AUTUMN OVERLOOK
LOTS 1-20

PARCELS 56 & 309 (L. 12833 / F. 00446)
PARCEL 95 (L. 13244 / F. 00037)

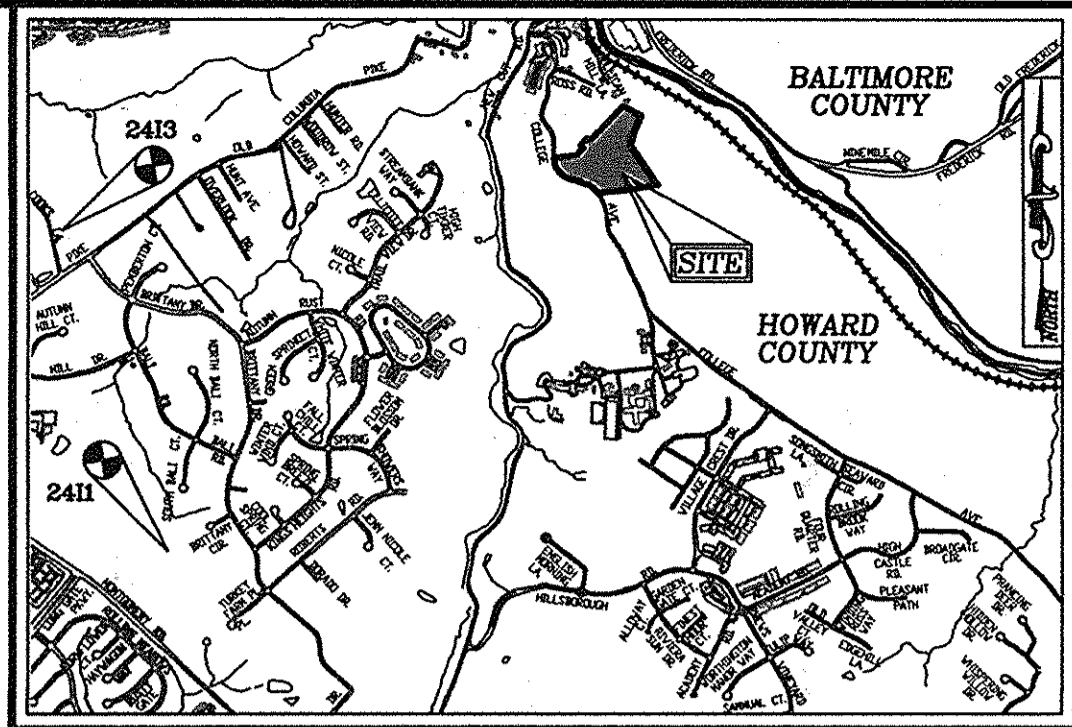
COORDINATE TABLE
NO. NORTH EAST NO. NORTH EAST
101 581040.4253 1370527.5225 119 581436.0508 1370334.2889
102 581080.0394 1370496.6765 120 581508.2194 1370403.3700
103 581104.0023 1370434.3340 121 581535.7860 1370374.4691
109 581155.5892 1370273.7569 122 581608.3929 1370443.3822
110 581179.6161 1370207.8393 123 581581.5144 1370471.8327
111 581204.8892 1370169.4040 124 581945.9950 1370280.6266
112 581229.0536 1370146.9300 125 581945.3414 1370006.3913
113 581268.5128 1370117.0432 126 581671.8672 1370933.3825
114 581310.0471 1370090.1145 805 581493.2020 1370927.3322
115 581333.2210 1370081.4236 806 581534.0373 1370899.5825
116 581357.4355 1370076.3030 808 581122.5949 1371179.2966
117 581410.8891 1370075.1585 809 581056.4834 1370836.2638
118 581415.4900 1370184.8061

Maryland State Grid Meridian



LEGEND:

- PROPERTY LINE
RIGHT-OF-WAY LINE
ADJACENT PROPERTY LINE
EXISTING SEWER AND UTILITY EASEMENT
EXISTING PUBLIC SEWER & UTILITY EASEMENT
EXISTING FOREST CONSERVATION
RECREATIONAL OPEN SPACE
NON-CREDITED OPEN SPACE
EXISTING PUBLIC SIGHT DISTANCE EASEMENT
EXISTING 20' PUBLIC ACCESS EASEMENT TO OPEN SPACE LOT 21
EXISTING PRIVATE 24' USE-IN-COMMON ACCESS EASEMENT FOR LOTS 11-15 AND OPEN SPACE LOTS 21 & 23
EXISTING PRIVATE DRAINAGE SWM & UTILITY EASEMENT
EXISTING PUBLIC DRAINAGE & UTILITY EASEMENT
EXISTING 30' PUBLIC DRAINAGE, SEWER, WATER, & UTILITY EASEMENT
10' WIDE PRIVATE SIGN EASEMENT
25% OR GREATER STEEP SLOPE



VICINITY MAP
SCALE: 1"=2,000'
ADC MAP COORDINATE: 12, G10
BENCHMARKS
HOWARD COUNTY BENCHMARK 2411 (CONC. MON.)
N 577298.65 E 1366075.16 ELEV. 437.12
HOWARD COUNTY BENCHMARK 2413 (CONC. MON.)
N 580648.90 E 1364974.47 ELEV. 463.77

SHEET INDEX
DESCRIPTION SHEET NO.
COVER SHEET 1 OF 10
LAYOUT & LANDSCAPE PLAN 2 OF 10
LAYOUT PLAN 3 OF 10
LAYOUT PLAN 4 OF 10
GRADING, SOIL EROSION & SEDIMENT CONTROL PLAN AND SOILS MAP 5 OF 10
GRADING, SOIL EROSION & SEDIMENT CONTROL PLAN AND SOILS MAP 6 OF 10
GRADING, SOIL EROSION & SEDIMENT CONTROL PLAN AND SOILS MAP 7 OF 10
GRADING, SOIL EROSION & SEDIMENT CONTROL PLAN - DETAILS 8 OF 10
HOUSE TYPES & HOUSE BOX MATRIX PLAN 9 OF 10
STORMWATER MANAGEMENT AND MISCELLANEOUS DETAILS 10 OF 10

PERMIT INFORMATION CHART
SUBDIVISION NAME: AUTUMN OVERLOOK LOTS 1 - 20
SECTION/AREA: 25
LOTS/PARCEL #: 56,309 & 95
PLAT # OR L/F: 22907-22912, 2322B-2322D
BLOCK NO.: 14
ZONE: R-ED
TAX MAP NO.: 25
ELECT. DIST.: 2nd
CENSUS TR.: 602700

LOT TABULATION

TOTAL NO. OF PROPOSED LOTS: 24
TOTAL NO. OF DWELLING UNITS: 20
NO. OF SINGLE FAMILY DETACHED: 20
NO. OF OPEN SPACE LOTS: 4

ADDRESS CHART

Table with columns: LOT NO, STREET ADDRESS, LOT NO, STREET ADDRESS. Lists addresses from 4025 RED STAG COURT to 3930 OLD LEAF COURT.

OWNER/BUILDER: 155 HOME MARYLAND LLC
DEVELOPER: AUTUMN DEVELOPMENT COMPANY, L.P. SPAIN, PRESIDENT

Table with columns: NO., AMEND ALTERNATIVE SURFACE, AMEND ADD DRYWELLS, MONUMENT PILLARS EASEMENT, SIGN REVISION, DATE. Shows dates 4/6/15 and 4/6/15.

SITE DEVELOPMENT PLAN
COVER SHEET
AUTUMN OVERLOOK
LOTS 1-20
SINGLE FAMILY DETACHED DWELLINGS

DPZ REF'S: SEE NOTE # 18 SHEET 1

ROBERT H. VOGEL ENGINEERS • SURVEYORS • PLANNERS
8407 MAIN STREET, ELLICOTT CITY, MD 21043
TEL: 410.461.7666
FAX: 410.461.8951

Professional Engineer seal for Robert H. Vogel, State of Maryland, License No. 16193, expires 09-27-2014. Includes design and check information.

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
Chief, Development Engineering Division
Date: 7-29-14

SCHEDULE A: PERIMETER LANDSCAPE EDGE FOR LOT 7		
CATEGORY	ADJACENT TO PERIMETER PROPERTIES/ROADWAYS	TOTAL
PERIMETER/FRONTAGE DESIGNATION	1	
LANDSCAPE TYPE	8	
LINEAR FEET OF ROADWAY FRONTAGE/PERIMETER	102'	
CREDIT FOR EXISTING VEGETATION (YES, NO, LINEAR FEET DESCRIBE BELOW IF NEEDED)	NO	
CREDIT FOR WALL, FENCE OR BERM (YES, NO, LINEAR FEET DESCRIBE BELOW IF NEEDED)	NO	
NUMBER OF PLANTS REQUIRED (LF REMAINING)	1:60 3	3
SHADE TREES	1:40 3	3
EVERGREEN TREES		
NUMBER OF PLANTS PROVIDED		
SHADE TREES	1	1
EVERGREEN TREES	6	6
OTHER TREES (2:1 SUBSTITUTION)		
SHRUBS (10:1 SUBSTITUTION)		
DESCRIBE PLANT SUBSTITUTION CREDITS BELOW IF NEEDED		

GENERAL NOTES:

- THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL. A FINANCIAL SURETY IN THE AMOUNT OF \$1,350.00 FOR THE REQUIRED 3 SHADE TREES AND 3 EVERGREEN TREES IS FOR THE SIDE-TO-ROAD REQUIREMENT FOR LOT 7 AND WILL BE ADDRESSED WITH THE BUILDING PERMIT FOR LOT 7.
- THE OWNER, TENANT AND/OR THEIR AGENTS SHALL BE RESPONSIBLE FOR MAINTENANCE OF THE REQUIRED LANDSCAPING. PLANT MATERIALS, BERMS, FENCES AND WALLS, ALL PLANT MATERIALS SHALL BE MAINTAINED IN GOOD GROWING CONDITION AND WHEN NECESSARY, REPLACED WITH NEW MATERIALS TO ENSURE CONTINUED COMPLIANCE WITH APPLICABLE REGULATIONS. ALL REQUIRED LANDSCAPING SHALL BE PERMANENTLY MAINTAINED IN GOOD CONDITION, AND WHEN NECESSARY, REPAIRS OR REPLACEMENTS SHALL BE MADE TO APPLICABLE PLANS AND CERTIFICATES.
- AT THE TIME OF INSTALLMENT, ALL SHRUBS AND OTHER PLANTINGS LISTED HEREWITH AND APPROVED FOR THIS SITE SHALL BE OF THE PROPER HEIGHT REQUIREMENTS IN ACCORDANCE WITH THE HOWARD COUNTY LANDSCAPE MANUAL. IN ADDITION, NO SUBSTITUTIONS OR RELOCATION OF REQUIRED PLANTINGS MAY BE MADE WITHOUT PRIOR REVIEW AND APPROVAL FROM THE DEPARTMENT OF PLANNING AND ZONING. ANY DEVIATION FROM THIS APPROVED LANDSCAPE PLAN MAY RESULT IN DENIAL OR DELAY IN THE RELEASE OF LANDSCAPE SURETY UNTIL SUCH TIME AS ALL REQUIRED MATERIALS ARE PLANTED AND/OR REVISIONS ARE MADE TO APPLICABLE PLANS AND CERTIFICATES.
- SHOULD ANY TREE DESIGNATED FOR PRESERVATION FOR WHICH LANDSCAPING CREDIT IS GIVEN, DIE PRIOR TO RELEASE OF BONDS, THE OWNER WILL BE REQUIRED TO REPLACE THE TREE WITH THE EQUIVALENT SPECIES OR WITH A TREE WHICH WILL OBTAIN THE SAME HEIGHT, SPREAD, AND GROWTH CHARACTERISTICS. THE REPLACEMENT TREE MUST BE A MINIMUM OF 3 INCHES IN CALIPER AND INSTALLED AS REQUIRED IN THE HOWARD COUNTY LANDSCAPE MANUAL.
- PLANTINGS SHOWN HEREON ARE THE RESPONSIBILITY OF THE DEVELOPER TO INSTALL DURING THE CONSTRUCTION OF THE SITE DEVELOPMENT PLAN.

F 13-081 - LANDSCAPING INFORMATION

F13-081 WAS PREPARED IN ACCORDANCE WITH SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL. A FINANCIAL SURETY FOR THE PERIMETER LANDSCAPING IN THE AMOUNT OF \$9,250.00 FOR THE REQUIRED 24 SHADE TREES AND 7 EVERGREENS WAS POSTED WITH THE DEVELOPERS AGREEMENT FOR F13-081. A FINANCIAL SURETY IN THE AMOUNT OF \$9,000.00 FOR THE 24 SHADE TREES AND 12 EVERGREENS PROVIDED FOR THE ADDITIONAL LANDSCAPING REQUIRED ALONG PERIMETER 1 TO ADDRESS SCENIC ROAD CONCERNS, AND THE ADDITIONAL TREES PROVIDED BEHIND LOTS 1-6 AS MITIGATION TO THE REMOVAL OF 14 SPECIMEN TREES WAS POSTED WITH THE DEVELOPERS AGREEMENT FOR F13-081.

PUBLIC STREET TREES ARE PROVIDED FOR THIS PROJECT IN ACCORDANCE WITH SECTION 16.124(a)(1) OF THE SUBDIVISION REGULATIONS AND THE LANDSCAPE MANUAL. A FINANCIAL SURETY IN THE AMOUNT OF \$15,900.00 WAS PROVIDED FOR THE 53 REQUIRED STREET TREES UNDER F 13-081.

STORMWATER MANAGEMENT NOTE:

PER THE APPROVED STORMWATER MANAGEMENT DESIGN ASSOCIATED WITH F 13-081:

- LOTS 1-6 SHALL HAVE TWO REAR ROOF DRAINS DRAINING INTO REAR STORM DRAIN PIPE TO MICRO BIRETENTION #5.
- LOT 7 SHALL HAVE ONE (1) RAIN BARREL LOCATED AT THE REAR OF THE UNIT CAPTURING RUNOFF FROM ONE (1) GUTTER DOWN SPOUT IN ACCORDANCE WITH DETAILS HEREON.
- LOTS 16-20 SHALL HAVE TWO DRYWELLS INSTALLED IN THE REAR OF THE LOT.
- ALL UNITS SHALL HAVE PERMEABLE SURFACE DRIVEWAYS. SEE DETAILS SHEET 3 AND 10.
- LOTS 8-15 SHALL HAVE (2) RAIN BARRELS LOCATED AT THE REAR OF THE UNIT.

LEGEND:

- PROPERTY LINE
- RIGHT-OF-WAY LINE
- ADJACENT PROPERTY LINE
- EXISTING SEWER AND UTILITY EASEMENT
- EXISTING PRIVATE SEWER & UTILITY EASEMENT
- EXISTING FOREST CONSERVATION
- RECREATIONAL OPEN SPACE
- NON-CREDITED OPEN SPACE
- EXISTING PUBLIC SIGHT DISTANCE EASEMENT
- EXISTING 20' PUBLIC ACCESS EASEMENT TO OPEN SPACE LOT 21
- EXISTING PRIVATE 24' USE-IN-COMMON ACCESS EASEMENT FOR LOTS 11-15 AND OPEN SPACE LOTS 21 & 23
- EXISTING PRIVATE DRAINAGE, SWM & UTILITY EASEMENT
- EXISTING PUBLIC DRAINAGE, SWM & UTILITY EASEMENT
- EXISTING 30' PUBLIC DRAINAGE, SEWER, WATER, & UTILITY EASEMENT
- 10' WIDE PRIVATE SIGN EASEMENT
- PERMEABLE PAVEMENT

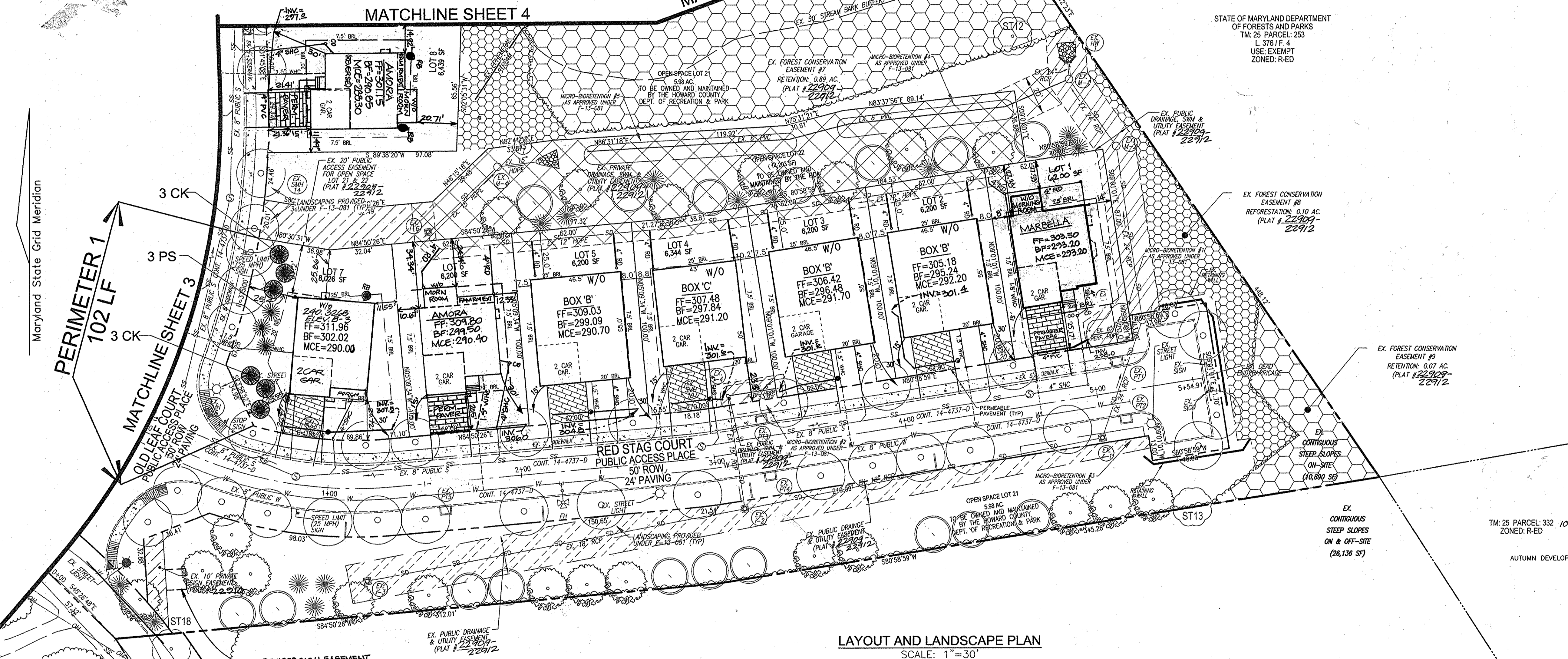
TREE PLANTING AND STAKING

DECIDUOUS TREES UP TO 2-1/2" CALIPER

NOT TO SCALE

NOTES:

- SEE LANDSCAPE SPECIFICATION FOR SPECIFICATIONS FOR BALANCE, WINDFIRM, METEOROLOGICAL, AND OTHER DATA FOR ALL MATERIALS, PRODUCTS, AND PROCEDURE SPECIFICATIONS.
- SEE "LANDSCAPE GUIDELINES" FOR ADDITIONAL TREE PLANTING AND STAKING DETAILS.
- PLACE UNROD STAKES PARALLEL TO WALKS & ROADWAYS.
- KEEP MULCH 1" FROM TRUNK.
- SEE ARCHITECTURAL PLANS FOR ADDITIONAL PLANTING WHICH EXCEED HOWARD COUNTY MINIMUM REQUIREMENTS.
- TREES ARE NOT TO BE PLANTED OVER PRIVATE SEWER EASEMENT.



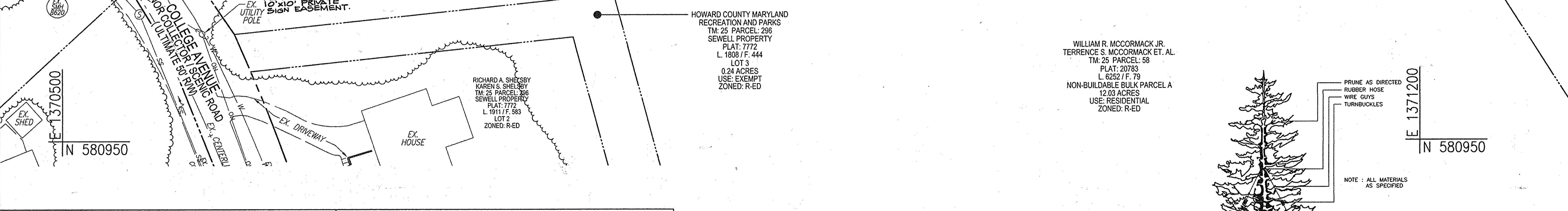
LANDSCAPE SCHEDULE - LOT 7

KEY	QUAN.	BOTANICAL NAME	SIZE	REMARKS
CK	6	CORNUS KOUSA KOUSA DOGWOOD	8'-10" HT.	B & B
PS	3	PINUS STROBUS EASTERN WHITE PINE	6'-8" HT.	B & B

LANDSCAPE SCHEDULE NOTES:

- ALL PLANT MATERIALS SHALL BE FULL AND HEAVY, BE WELL FORMED AND SYMMETRICAL, CONFORM TO THE MOST CURRENT AAS SPECIFICATIONS AND BE INSTALLED IN ACCORDANCE WITH HRD PLANTING SPECIFICATIONS.
- CONTRACTOR SHALL VERIFY LOCATION OF ALL UNDERGROUND UTILITIES PRIOR TO DIGGING.
- FINAL LOCATION OF PLANT MATERIAL MAY NEED TO VARY TO MEET FINAL FIELD CONDITIONS. TREES SHALL NOT BE PLANTED IN THE BOTTOM OF DRAINAGE SWALES.
- CONTRACTOR SHALL VERIFY PLANT QUANTITIES PRIOR TO BIDDING. IF PLAN DIFFERS FROM LANDSCAPE SCHEDULE, THE PLAN SHALL GOVERN.
- ALL REQUIRED PERIMETER LANDSCAPING WAS ADDRESSED UNDER F-13-081

NOTE: LANDSCAPE SURETY WILL NOT BE RELEASED UNTIL ALL REQUIRED PLANTINGS HAVE BEEN INSTALLED



APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

Chad Clark
CHIEF, DEVELOPMENT ENGINEERING DIVISION
DATE: 7-2-14

Kate O'Neil
CHIEF, DIVISION OF LAND DEVELOPMENT
DATE: 7-29-14

Lucy Sawyer
DIRECTOR
DATE: 7-30-14

DEVELOPER'S/BUILDER'S CERTIFICATE

I/WE CERTIFY THAT THE LANDSCAPING SHOWN ON THIS PLAN WILL BE DONE ACCORDING TO THE PLAN, SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE HOWARD COUNTY LANDSCAPE MANUAL. I/WE FURTHER CERTIFY THAT UPON COMPLETION, A CERTIFICATION OF LANDSCAPE INSTALLATION, ACCOMPANIED BY AN EXECUTED ONE (1) YEAR GUARANTEE OF PLANT MATERIALS, WILL BE SUBMITTED TO THE DEPARTMENT OF PLANNING AND ZONING.

K.B. HOME MARYLAND, LLC
VICE PRES. 6-23-14

NOTE:

- HOUSE BOXES ARE GENERIC AND SHOULD NOT BE CONSIDERED LIMITING. ADDITIONAL HOUSE TYPES AND OPTIONS MAY FIT ON ANY GIVEN LOT.
- THE STAKING OF FOUNDATIONS PRIOR TO CONSTRUCTION TO ENSURE COMPLIANCE WITH REGULATORY BUILDING RESTRICTION LINES IS RECOMMENDED.

NOTES:

- ALL WATER CONNECTIONS SHALL BE 1-1/2" WITH 1" OUTSIDE METER SETTINGS, UNLESS OTHERWISE NOTED. REFER TO HOWARD COUNTY DETAILS W-3.28 OUTSIDE METER SETTINGS.

NO.	REVISION	DATE
10	REVISE HOUSETYPE AND GRADING LOTS 8, 9, AND 10	5/24/16
9	REVISE HOUSETYPE AND GRADING ON LOT 1	3/23/16
7	REVISE THE HOUSETYPE AND GRADING ON LOT 1	12/21/15
1	AMEND TO REVISE SIGN EASEMENT	
1	AMEND ADD DRIVEWAY UNDERDRAIN REMOVE RAIN BARREL	4/6/15

SITE DEVELOPMENT PLAN

LAYOUT AND LANDSCAPE PLAN

AUTUMN OVERLOOK

LOTS 1-20

SINGLE FAMILY DETACHED DWELLINGS

TAX MAP: 25 080: 14
2ND ELECTION DISTRICT
PARCELS: 58, 309, AND 95
HOWARD COUNTY, MARYLAND

ROBERT H. VOGEL ENGINEERING, INC.

ENGINEERS • SURVEYORS • PLANNERS

8407 MAIN STREET
ELLICOTT CITY, MD 21043
TEL: 410.461.7666
FAX: 410.461.8961

PROFESSIONAL CERTIFICATE

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 16193, EXPIRATION DATE: 09-27-2014

DESIGN BY: EDS/TJW
DRAWN BY: TJW/JMR
CHECKED BY: RHV
DATE: MAY 2014
SCALE: AS SHOWN
W.O. NO.: 10-30

2 SHEET OF 10

ROBERT H. VOGEL, PE, NO. 16193

Maryland State Grid Meridian

E 1370450
N 581750

GEOFFREY HERMANSTORFER
PATRICIA D. HERMANSTORFER T/E
TM: 25 PARCEL 48
COTTER PROPERTY
PLAT: 13151
L: 10740 / F: 116
LOT 1
6.85 ACRES
USE: RESIDENTIAL
ZONED: R-ED

EX. CONTIGUOUS
STEEP SLOPES
ON & OFF-SITE
(208,088 SF)

OPEN SPACE LOT 24
6,696 SF
TO BE OWNED AND
MAINTAINED BY THE HOA

OPEN SPACE LOT 21
588 AC.
TO BE OWNED AND
MAINTAINED BY
THE HOWARD COUNTY
DEPT. OF RECREATION & PARK

5x5 PRIVATE MONUMENT
EASEMENT #1
PLAT # 29222

NOTE:

- HOUSE BOXES ARE GENERIC AND SHOULD NOT BE CONSIDERED LIMITING. ADDITIONAL HOUSE TYPES AND OPTIONS MAY FIT ON ANY GIVEN LOT.
- THE STAKING OF FOUNDATIONS PRIOR TO CONSTRUCTION TO ENSURE COMPLIANCE WITH REGULATORY BUILDING RESTRICTION LINES IS RECOMMENDED.

NOTES:

- ALL WATER CONNECTIONS SHALL BE 1-1/2" WITH 1" OUTSIDE METER SETTINGS, UNLESS OTHERWISE NOTED. REFER TO HOWARD COUNTY DETAILS W-3.28 OUTSIDE METER SETTINGS.

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

Chad Edinger 7-3-14
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

Kate Slomkowski 7-29-14
CHIEF, DIVISION OF LAND DEVELOPMENT DATE

David J. Lauer 7-30-14
DIRECTOR DATE

MATCHLINE SHEET 2

LAYOUT PLAN
SCALE: 1" = 30'

MATCHLINE SHEET 2

LEGEND:

- PROPERTY LINE
- RIGHT-OF-WAY LINE
- ADJACENT PROPERTY LINE
- EXISTING SEWER AND UTILITY EASEMENT
- EXISTING PUBLIC SEWER & UTILITY EASEMENT
- EXISTING FOREST CONSERVATION
- RECREATIONAL OPEN SPACE
- NON-CREDITED OPEN SPACE
- EXISTING PUBLIC SIGHT DISTANCE EASEMENT
- EXISTING 20' PUBLIC ACCESS EASEMENT TO OPEN SPACE LOT 21
- EXISTING PRIVATE 24' USE-IN-COMMON ACCESS EASEMENT FOR LOTS 11-15 AND OPEN SPACE LOTS 21 & 23
- EXISTING PRIVATE DRAINAGE, SWM & UTILITY EASEMENT
- EXISTING PUBLIC DRAINAGE, SWM & UTILITY EASEMENT
- EXISTING PUBLIC DRAINAGE, SEWER, WATER, & UTILITY EASEMENT
- 10' WIDE PRIVATE SIGN EASEMENT
- PERMEABLE PAVEMENT

STORMWATER MANAGEMENT NOTE:

- PER THE APPROVED STORMWATER MANAGEMENT DESIGN ASSOCIATED WITH F-13-081:
- LOTS 1-6 SHALL HAVE TWO REAR ROOF DRAINS DRAINING INTO REAR STORM DRAIN PIPE TO MICRO BIRETENTION #5.
 - LOT 7 SHALL HAVE ONE (1) RAIN BARREL LOCATED AT THE REAR OF THE UNIT CAPTURING RUNOFF FROM ONE (1) GUTTER DOWN SPOUT IN ACCORDANCE WITH DETAILS HEREON.
 - LOTS 16-20 SHALL HAVE TWO DRYWELLS INSTALLED IN THE REAR OF THE LOT.
 - ALL UNITS SHALL HAVE PERMEABLE SURFACE DRIVEWAYS. SEE DETAILS SHEET 2, 4 AND 10.
 - ALL UNITS SHALL HAVE ROOFTOP DISCONNECTIONS AS DETAILED ON SHEETS 2 - 7. SEE DETAIL SHEET 10.
 - LOTS 8-15 SHALL HAVE TWO (2) RAIN BARRELS LOCATED AT THE REAR OF THE UNIT.

OWNER/BUILDER
 EB HOME MARYLAND, LLC
 10000 PARTRIDGE BLVD, SUITE 120
 RESTON, VA 20191
 703-271-1100

OWNER
 TAYLOR FAMILY LIMITED PARTNERSHIP "A" VILLAGE GREEN, LLC
 4400 WOODBURN ROAD, SUITE 100
 ELICOTT CITY, MD 21042
 (410) 465-3500

DEVELOPER
 AUTUMN DEVELOPMENT CORPORATION, RONALD L. SPAHN, PRESIDENT
 5401 TWIN KNOLL'S ROAD, SUITE 7
 COLUMBIA, MD 21045
 (410) 465-3500

DRIVEWAY NOTE - LOTS 11-15:

- INDIVIDUAL HOUSE SITES SHALL PROVIDE PRIVATE DRIVEWAYS A MINIMUM 18 FOOT DEPTH FROM THE FACE OF GARAGE TO THE EDGE OF THE USE-IN-COMMON DRIVEWAY SO THAT A CAR, IF PARKED IN THE DRIVEWAY, WILL NOT OVERHANG INTO THE PAVED AREA OF THE SHARED DRIVEWAY. THE SHARED DRIVEWAY SHALL PROVIDE ADEQUATE UNOBSTRUCTED ACCESS TO ALL DWELLINGS AT ALL TIMES AS REQUIRED BY HOWARD COUNTY DEPARTMENT OF FIRE & RESCUE.
- NOTE: DRIVEWAYS NOT TO EXCEED 5% SLOPE.**

NO.	REVISION	DATE
12	REVISE HOUSE TYPE AND GRADING ON LOT 9	7/6/14
11	REVISE HOUSE TYPE AND GRADING ON LOT 15 AND 10	6/10/14
10	REVISE HOUSE TYPE AND GRADING LOT 6, 8, AND 10	5/24/14
8	REVISE HOUSE TYPE & GRADING LOT 15, 14, 11. ADD NOTE	4/20/14
1	AMEND TO ADD MONUMENT PILLAR, ADD UNDERDRAINS	4/16/15

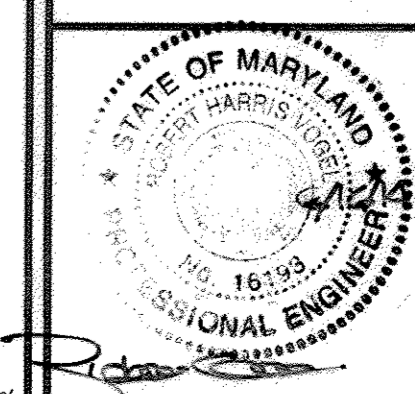
SITE DEVELOPMENT PLAN

LAYOUT PLAN
AUTUMN OVERLOOK
LOTS 1-20
SINGLE FAMILY DETACHED DWELLINGS

ZONED: R-ED
TAX MAP: 25 GRID: 14
2ND ELECTION DISTRICT
PARCELS: 56, 309, AND 95
HOWARD COUNTY, MARYLAND

DPZ REF'S: SEE NOTE # 16 SHEET 1

ROBERT H. VOGEL ENGINEERING, INC.
 ENGINEERS • SURVEYORS • PLANNERS
 8407 MAIN STREET
 ELICOTT CITY, MD 21043
 TEL: 410.461.7666
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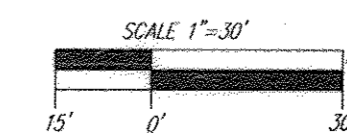


PROFESSIONAL CERTIFICATE

DESIGN BY: EDS/TJW
 DRAWN BY: TJW/JMR
 CHECKED BY: RHV
 DATE: MAY 2014
 SCALE: AS SHOWN
 W.O. NO.: 10-30

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 16193, EXPIRATION DATE: 09-27-2014.

4 SHEET OF 10



F 13-081 SEDIMENT CONTROLS
 F PLAN CONTROLS OUTSIDE OF THE PROPOSED LOTS
 ARE EXISTING PER F13-081 TO BE REMOVED AT THE
 DISCRETION OF THE SEDIMENT CONTROL INSPECTOR

SOILS LEGEND				
SYMBOL	NAME / DESCRIPTION	GROUP	HYDRIC K-FACTOR	PRIME FARMLAND
LcC	LEGORE SILT LOAM, 8 TO 15 PERCENT SLOPES, STONY	B	NO 0.02	NO
McD	MANOR LOAM, 15 TO 25 PERCENT SLOPES, VERY ROCKY	B	NO 0.28	NO
MqF	MANOR-BANNERTOWN SANDY LOAMS, 25 TO 65 PERCENT SLOPES, ROCKY	B	NO 0.24	NO

NOTE: STOCKPILING WILL BE PERMITTED ON EACH LOT ONLY.

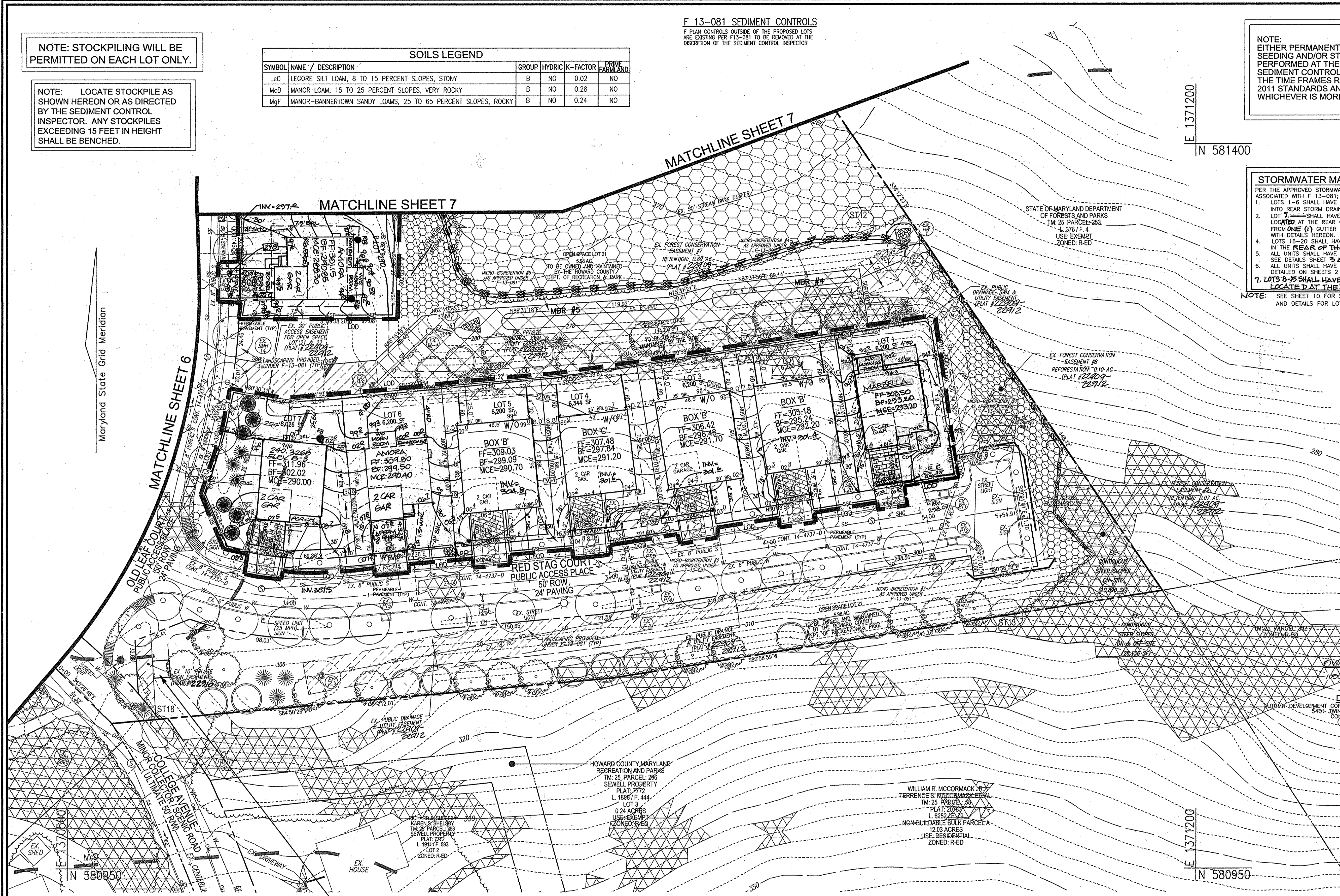
NOTE: LOCATE STOCKPILE AS SHOWN HEREON OR AS DIRECTED BY THE SEDIMENT CONTROL INSPECTOR. ANY STOCKPILES EXCEEDING 15 FEET IN HEIGHT SHALL BE BENCHED.

NOTE: EITHER PERMANENT OR TEMPORARY SEEDING AND/OR STABILIZATION IS TO BE PERFORMED AT THE DIRECTION OF THE SEDIMENT CONTROL INSPECTOR OR AT THE TIME FRAMES REQUIRED BY THE 2011 STANDARDS AND SPECIFICATIONS WHICHEVER IS MORE RESTRICTIVE.

STORMWATER MANAGEMENT NOTE:
 PER THE APPROVED STORMWATER MANAGEMENT DESIGN ASSOCIATED WITH F 13-081:
 1. LOTS 1-6 SHALL HAVE TWO REAR ROOF DRAINS DRAINING INTO REAR STORM DRAIN PIPE TO MICRO BIRETENTION #5. LOT 7 - SHALL HAVE ONE (1) RAIN BARREL LOCATED AT THE REAR OF THE UNIT CAPTURING RUNOFF FROM ONE (1) GUTTER DOWN SPOUT IN ACCORDANCE WITH DETAILS HEREON.
 4. LOTS 16-20 SHALL HAVE TWO DRYWELLS INSTALLED IN THE REAR OF THE LOT.
 5. ALL UNITS SHALL HAVE PERMEABLE SURFACE DRIVEWAYS. SEE DETAILS SHEET 9 AND 10.
 6. ALL UNITS SHALL HAVE ROOFTOP DISCONNECTIONS AS DETAILED ON SHEETS 2 - 7. SEE DETAIL SHEET 10.
 7. LOTS 8-15 SHALL HAVE TWO (2) RAIN BARRELS LOCATED AT THE REAR OF THE UNIT.
 NOTE: SEE SHEET 10 FOR SWM PRACTICE CHARTS AND DETAILS FOR LOTS 1-20

LEGEND:

	PROPERTY LINE
	RIGHT-OF-WAY LINE
	ADJACENT PROPERTY LINE
	EXISTING SEWER & UTILITY EASEMENT
	EXISTING PUBLIC SEWER & UTILITY EASEMENT
	EXISTING FOREST CONSERVATION
	RECREATIONAL OPEN SPACE
	NON-CREDITED OPEN SPACE
	EXISTING PUBLIC SIGHT DISTANCE EASEMENT
	EXISTING 20' PUBLIC ACCESS EASEMENT TO OPEN SPACE LOT 21
	EXISTING PRIVATE 24' USE-IN-COMMON ACCESS EASEMENT FOR LOTS 11-15 AND OPEN SPACE LOTS 21 & 23
	EXISTING PRIVATE DRAINAGE, SEWER, & UTILITY EASEMENT
	EXISTING PUBLIC DRAINAGE, SEWER, & UTILITY EASEMENT
	EXISTING 30' PUBLIC DRAINAGE, SEWER, WATER, & UTILITY EASEMENT
	10' WIDE PRIVATE SIGN EASEMENT
	25% OR GREATER STEEP SLOPE
	SUPER SILT FENCE
	LIMITS OF DISTURBANCE
	PROPOSED 10FT CONTOUR
	PROPOSED 2FT CONTOUR
	SPOT ELEVATION
	SILT FENCE
	PROPOSED STABILIZED CONSTRUCTION ENTRANCE
	200 GAL. RAIN BARREL
	ROOF LEADER DISCONNECT
	PERMEABLE PAVEMENT



OWNER / BUILDER
 KB HOME MARYLAND, LLC
 1000 PARKWAY BLVD, SUITE 120
 RESTON, VA 20191
 703-391-6056

DEVELOPER
 HUDMAN DEVELOPMENT CORPORATION
 RONALD L. SPAHN, PRESIDENT
 8401-3RD ANNALS ROAD, SUITE 7
 COLUMBIA, MD 21045
 (410) 465-3500

NO.	REVISION	DATE
10	REVISE HOUSE TYPE AND GRADING LOT 8, 9, AND 10	5/24/16
9	REVISE HOUSE TYPE AND GRADING LOT 1	3/29/16
7	REVISE THE HOUSE TYPE AND GRADING ON LOT 1	12/21/15
1	AMEND TO ADD SIGN EASEMENT	4/16/15
1	AMEND TO ADD DRIVEWAY UNDERDRAIN, REMOVE RAIN BARRELS	4/16/15

SITE DEVELOPMENT PLAN
GRADING, SOIL EROSION & SEDIMENT CONTROL PLAN AND SOILS MAP
AUTUMN OVERLOOK
 LOTS 1-20
 SINGLE FAMILY DETACHED DWELLINGS

TAX MAP: 25 GRD. 14
 2ND ELECTION DISTRICT
 PARCELS: 56, 309, AND 95
 HOWARD COUNTY, MARYLAND

DPZ REF'S: SEE NOTE # 16 SHEET 1

ROBERT H. VOGEL ENGINEERING, INC.
 ENGINEERS • SURVEYORS • PLANNERS
 8407 MAIN STREET
 ELLICOTT CITY, MD 21043
 TEL: 410.461.7666
 FAX: 410.461.8961

PROFESSIONAL CERTIFICATE

DESIGN BY: EDS/TJW
 DRAWN BY: TJW/JMR
 CHECKED BY: RHV
 DATE: MAY 2014
 SCALE: AS SHOWN
 W.O. NO.: 10-30

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 16193, EXPIRATION DATE: 09-27-2014

5 SHEET OF 10

STANDARD STABILIZATION NOTE
 FOLLOWING INITIAL SOIL DISTURBANCE OR RE-DISTURBANCE, PERMANENT OR TEMPORARY STABILIZATION MUST BE COMPLETED WITHIN:

A) THREE (3) CALENDAR DAYS AS TO THE SURFACE OF ALL PERIMETER DIKES, SWALES, DITCHES, PERIMETER SLOPES, AND ALL SLOPES STEEPER THAN 3 HORIZONTAL TO 1 VERTICAL (3:1); AND

B) SEVEN (7) CALENDAR DAYS AS TO ALL OTHER DISTURBED OR GRADED AREAS ON THE PROJECT SITE NOT UNDER ACTIVE GRADING.

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

[Signature] 7-3-14
 CHIEF, DEVELOPMENT ENGINEERING DIVISION
 DATE

[Signature] 7-29-14
 CHIEF, DIVISION OF LAND DEVELOPMENT
 DATE

[Signature] 7-30-14
 DIRECTOR
 DATE

BY THE DEVELOPER:

I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN FOR SEDIMENT AND EROSION CONTROL AND THAT ALL RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I/WE AUTHORIZE PERIODIC SITE INSPECTION BY THE HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING.

[Signature] KB HOME MARYLAND, LLC
 VICE PRES.
 DATE 6-23-14

BY THE ENGINEER:

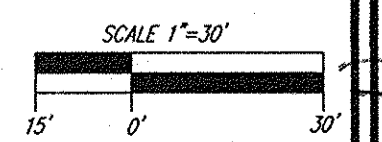
I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS, AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING.

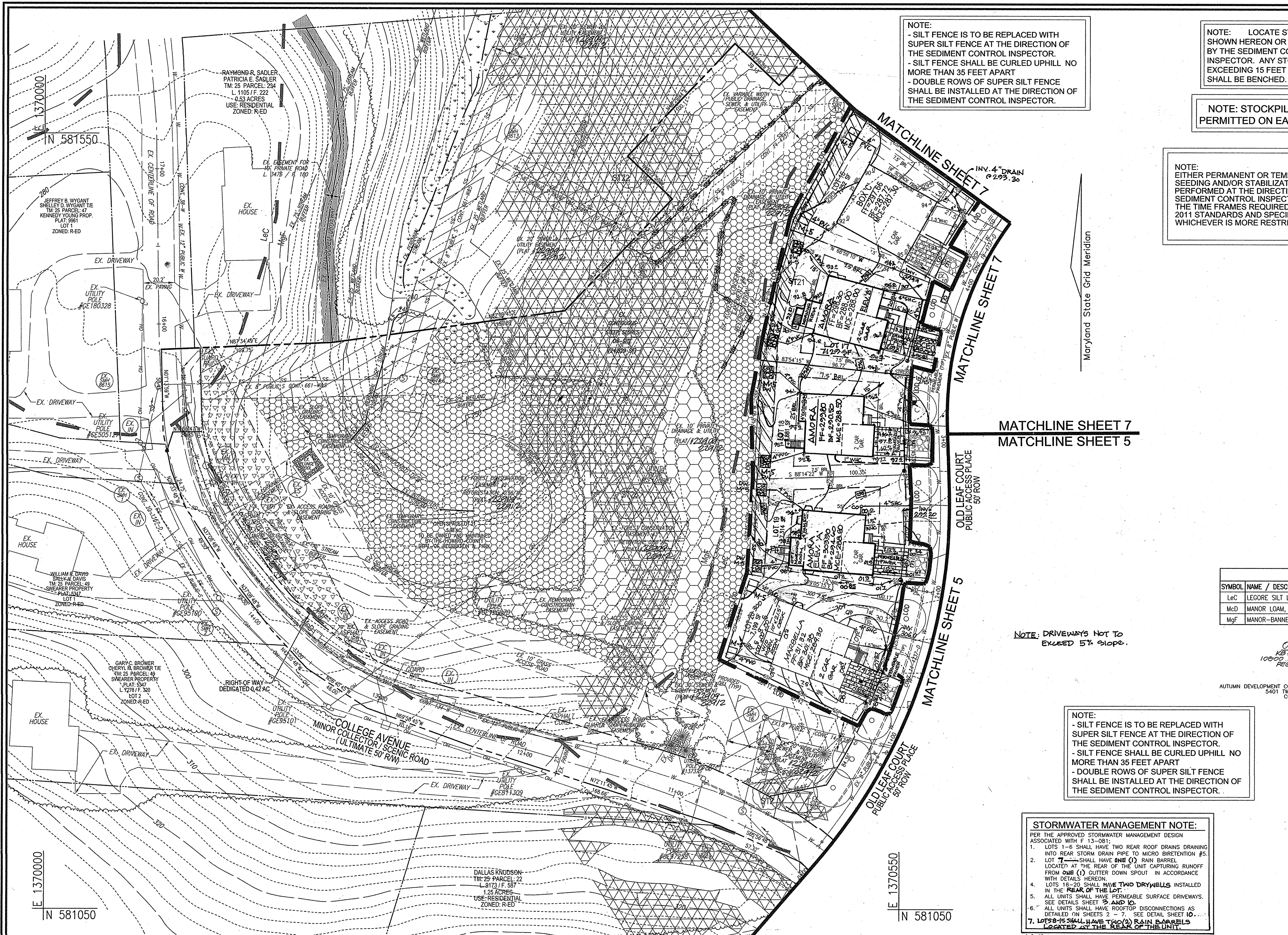
[Signature] S/IC/A
 SIGNATURE OF ENGINEER
 DATE 7/1/14

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING.

[Signature] JOHN R. POLANSKI
 HOWARD S.C.D.
 DATE 7/1/14

NOTE:
 - SILT FENCE IS TO BE REPLACED WITH SUPER SILT FENCE AT THE DIRECTION OF THE SEDIMENT CONTROL INSPECTOR.
 - SILT FENCE SHALL BE CURLED UPHILL NO MORE THAN 35 FEET APART
 - DOUBLE ROWS OF SUPER SILT FENCE SHALL BE INSTALLED AT THE DIRECTION OF THE SEDIMENT CONTROL INSPECTOR.





NOTE:
 - SILT FENCE IS TO BE REPLACED WITH SUPER SILT FENCE AT THE DIRECTION OF THE SEDIMENT CONTROL INSPECTOR.
 - SILT FENCE SHALL BE CURLED UPHILL NO MORE THAN 35 FEET APART
 - DOUBLE ROWS OF SUPER SILT FENCE SHALL BE INSTALLED AT THE DIRECTION OF THE SEDIMENT CONTROL INSPECTOR.

NOTE: LOCATE STOCKPILE AS SHOWN HEREON OR AS DIRECTED BY THE SEDIMENT CONTROL INSPECTOR. ANY STOCKPILES EXCEEDING 15 FEET IN HEIGHT SHALL BE BENCHED.

NOTE: STOCKPILING WILL BE PERMITTED ON EACH LOT ONLY.

NOTE: EITHER PERMANENT OR TEMPORARY SEEDING AND/OR STABILIZATION IS TO BE PERFORMED AT THE DIRECTION OF THE SEDIMENT CONTROL INSPECTOR OR AT THE TIME FRAMES REQUIRED BY THE 2011 STANDARDS AND SPECIFICATIONS WHICHEVER IS MORE RESTRICTIVE.

LEGEND:

- PROPERTY LINE
- RIGHT-OF-WAY LINE
- ADJACENT PROPERTY LINE
- EXISTING SEWER AND UTILITY EASEMENT
- EXISTING PUBLIC SEWER & UTILITY EASEMENT
- EXISTING FOREST CONSERVATION
- RECREATIONAL OPEN SPACE
- NON-CREATED OPEN SPACE
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- EXISTING PRIVATE DRAINAGE, SWM, & UTILITY EASEMENT
- EXISTING PUBLIC DRAINAGE, SWM, & UTILITY EASEMENT
- EXISTING PUBLIC DRAINAGE & UTILITY EASEMENT
- EXISTING 30' PUBLIC DRAINAGE, SEWER, WATER, & UTILITY EASEMENT
- 10' WIDE PRIVATE SIGN EASEMENT
- SUPER SILT FENCE
- LIMITS OF DISTURBANCE
- PROPOSED 10FT CONTOUR
- PROPOSED 2FT CONTOUR
- SPOT ELEVATION
- SILT FENCE
- PROPOSED STABILIZED CONSTRUCTION ENTRANCE
- 200 GAL. RAIN BARREL
- ROOF LEADER DISCONNECT
- PERMEABLE PAVEMENT
- 25% OR GREATER STEEP SLOPE

SOILS LEGEND

SYMBOL	NAME / DESCRIPTION	GROUP	HYDRIC	K-FACTOR	PERM. FARM/LAND
LeC	LEGORE SILT LOAM, 8 TO 15 PERCENT SLOPES, STONY	B	NO	0.02	NO
McD	MANOR LOAM, 15 TO 25 PERCENT SLOPES, VERY ROCKY	B	NO	0.28	NO
MgF	MANOR-BANNERTOWN SANDY LOAMS, 25 TO 65 PERCENT SLOPES, ROCKY	B	NO	0.24	NO

OWNER/BUILDER:
 KB HOME MARYLAND, LLC
 10000 PARKRIDGE BLVD, SUITE 120
 RESTON, VA 20191
 703-391-6056

OWNER:
 AUTUMN DEVELOPMENT CORPORATION, RONALD L. SPAIN, PRESIDENT
 5401 TWIN KNOLLS ROAD, SUITE 7
 COLUMBIA, MD 21045
 (410) 485-3500

DEVELOPER:
 TAYLOR FAMILY LIMITED PARTNERSHIP, 211 VILLAGE GREEN, LLC
 5401 TWIN KNOLLS ROAD, SUITE 7
 COLUMBIA, MD 21045
 (410) 485-3500

NOTE: DRIVEWAYS NOT TO EXCEED 5% SLOPE.

NOTE:
 - SILT FENCE IS TO BE REPLACED WITH SUPER SILT FENCE AT THE DIRECTION OF THE SEDIMENT CONTROL INSPECTOR.
 - SILT FENCE SHALL BE CURLED UPHILL NO MORE THAN 35 FEET APART
 - DOUBLE ROWS OF SUPER SILT FENCE SHALL BE INSTALLED AT THE DIRECTION OF THE SEDIMENT CONTROL INSPECTOR.

STORMWATER MANAGEMENT NOTE:
 PER THE APPROVED STORMWATER MANAGEMENT DESIGN ASSOCIATED WITH F 13-081:
 1. LOTS 1-6 SHALL HAVE TWO REAR ROOF DRAINS DRAINING INTO REAR STORM DRAIN PIPE TO MICRO BIRRETENTION #5.
 2. LOT 7 - SHALL HAVE ONE (1) RAIN BARREL LOCATED AT THE REAR OF THE UNIT CAPTURING RUNOFF FROM ONE (1) GUTTER DOWN SPOUT IN ACCORDANCE WITH DETAILS HEREON.
 3. LOTS 16-20 SHALL HAVE TWO DRYWELLS INSTALLED IN THE REAR OF THE LOT.
 4. ALL UNITS SHALL HAVE PERMEABLE SURFACE DRIVEWAYS. SEE DETAILS SHEET 9 AND 10.
 5. ALL UNITS SHALL HAVE ROOFTOP DISCONNECTS AS DETAILED ON SHEETS 2 - 7. SEE DETAIL SHEET 10.
 6. LOTS 15-18 SHALL HAVE TWO (2) RAIN BARRELS LOCATED AT THE REAR OF THE UNIT.
 NOTE: SEE SHEET 10 FOR SWM PRACTICE CHARTS AND DETAILS FOR LOTS 1-20

GRADING PLAN
 SCALE: 1"=30'

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD COUNTY SOIL CONSERVATION DISTRICT.

John R. R... 7/6/14
 HOWARD S.C.D.

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

Chad Edwards 7-3-14
 CHIEF, DEVELOPMENT ENGINEERING DIVISION

Kathleen J.P. 7-24-14
 CHIEF, DIVISION OF LAND DEVELOPMENT

Timothy Jones 7-30-14
 DIRECTOR

BY THE DEVELOPER:
 I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN FOR SEDIMENT AND EROSION CONTROL AND THAT ALL RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD COUNTY SOIL CONSERVATION DISTRICT.

M7Q VICE PRES. 6-23-14
 SIGNATURE OF DEVELOPER

BY THE ENGINEER:
 I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS, AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD COUNTY SOIL CONSERVATION DISTRICT.

John R. R... 7/6/14
 SIGNATURE OF ENGINEER

SITE DEVELOPMENT PLAN
 GRADING, SOIL EROSION & SEDIMENT CONTROL PLAN AND SOILS MAP
AUTUMN OVERLOOK
 LOTS 1-20
 SINGLE FAMILY DETACHED DWELLINGS

ZONED: R-ED
 TAX MAP: 25 GRID: 14
 2ND ELECTION DISTRICT
 PARCELS: 56, 309, AND 95
 HOWARD COUNTY, MARYLAND

DPZ REF: SEE NOTE # 16 SHEET 1

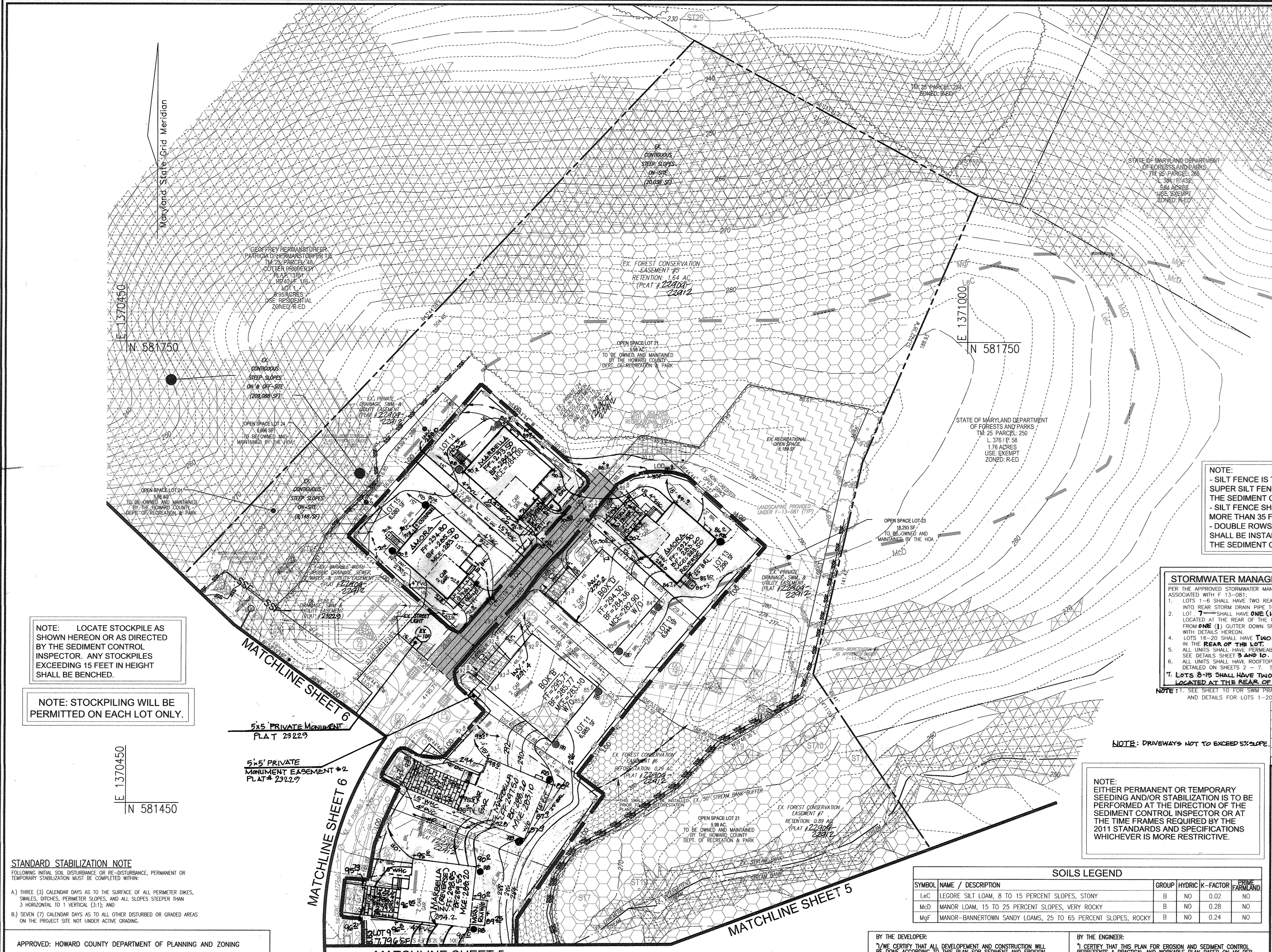
ROBERT H. VOGEL ENGINEERING, INC.
 ENGINEERS • SURVEYORS • PLANNERS
 8407 MAIN STREET, ELLICOTT CITY, MD 21043
 TEL: 410.461.7666 FAX: 410.461.8961

PROFESSIONAL CERTIFICATE

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A FULLY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 18193, EXPIRATION DATE: 09-27-2014

DESIGN BY: EDS/TJW
 DRAWN BY: TJW/JMR
 CHECKED BY: RHY
 DATE: MAY 2014
 SCALE: AS SHOWN
 W.O. NO.: 10-30

6 SHEET OF 10



LEGEND:

PROPERTY LINE	—	SUPER SILT FENCE
RIGHT-OF-WAY LINE	—	LIMITS OF DISTURBANCE
ADJACENT PROPERTY LINE	---	PROPOSED 10FT CONTOUR
EXISTING SEWER AND UTILITY EASEMENT	---	PROPOSED 2FT CONTOUR
EXISTING PUBLIC SEWER & UTILITY EASEMENT	---	SPOT ELEVATION
EXISTING FOREST CONSERVATION	---	SILT FENCE
RECREATIONAL OPEN SPACE	---	PROPOSED STABILIZED CONSTRUCTION ENTRANCE
NON-CREATED OPEN SPACE	---	200 GAL. RAIN BARREL
EXISTING PUBLIC SIGHT DISTANCE EASEMENT	---	ROOF LEADER DISCONNECT
EXISTING 20' PUBLIC ACCESS EASEMENT TO OPEN SPACE LOT 21	---	PERMEABLE PAVEMENT
EXISTING PRIVATE 24' USE-IN-COMMON ACCESS EASEMENT FOR LOTS 11-15 AND OPEN SPACE LOTS 21 & 23	---	
EXISTING PRIVATE DRAINAGE SWM & UTILITY EASEMENT	---	
EXISTING PUBLIC DRAINAGE SWM & UTILITY EASEMENT	---	
EXISTING 30' PUBLIC DRAINAGE SEWER, WATER, & UTILITY EASEMENT	---	
10' WIDE PRIVATE SIGN EASEMENT	---	
25% OR GREATER STEEP SLOPE	---	

NOTE:
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 - SILT FENCE SHALL BE CURLED UPHILL NO MORE THAN 35 FEET APART
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STORMWATER MANAGEMENT NOTE:
 PER THE APPROVED STORMWATER MANAGEMENT DESIGN ASSOCIATED WITH F 13-081:
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 3. LOTS 16-20 SHALL HAVE TWO DRYWELLS INSTALLED IN THE REAR OF THE LOT.
 4. ALL UNITS SHALL HAVE PERMEABLE SURFACE DRIVEWAYS. SEE DETAILS SHEET 3 AND 10.
 5. ALL UNITS SHALL HAVE ROOFTOP DISCONNECTIONS AS DETAILED ON SHEETS 2-7. SEE DETAIL SHEET 10.
 6. LOTS 8-15 SHALL HAVE TWO (2) RAIN BARRELS LOCATED AT THE REAR OF THE UNIT.
NOTE 7: SEE SHEET FOR SWM PRACTICE CHARTS AND DETAILS FOR LOTS 1-20

OWNER/BUILDER
 KB HOME MARYLAND, LLC
 10000 BRIDGECREEK BLVD, SUITE 120
 RESTON, VA 20191
 703-391-6056

DEVELOPER
 AUTUMN DEVELOPMENT CORPORATION, RONALD L. SPAHN, PRESIDENT
 5401 TWIN KNOLLS ROAD, SUITE 7
 COLUMBIA, MD 21045
 (410) 465-3500

NOTE: LOCATE STOCKPILE AS SHOWN HEREON OR AS DIRECTED BY THE SEDIMENT CONTROL INSPECTOR. ANY STOCKPILES EXCEEDING 15 FEET IN HEIGHT SHALL BE BENCHED.

NOTE: STOCKPILING WILL BE PERMITTED ON EACH LOT ONLY.

NOTE: DRIVEWAYS NOT TO EXCEED SLOPES.

NOTE: EITHER PERMANENT OR TEMPORARY SEEDING AND/OR STABILIZATION IS TO BE PERFORMED AT THE DIRECTION OF THE SEDIMENT CONTROL INSPECTOR OR AT THE TIME FRAMES REQUIRED BY THE 2011 STANDARDS AND SPECIFICATIONS WHICHEVER IS MORE RESTRICTIVE.

STANDARD STABILIZATION NOTE
 FOLLOWING INITIAL SOIL DISTURBANCE OR RE-DISTURBANCE, PERMANENT OR TEMPORARY STABILIZATION MUST BE COMPLETED WITHIN:
 A) THREE (3) CALENDAR DAYS AS TO THE SURFACE OF ALL PERIMETER DIKES, SWALES, DITCHES, PERIMETER SLOPES, AND ALL SLOPES STEEPER THAN 3 HORIZONTAL TO 1 VERTICAL (3:1); AND
 B) SEVEN (7) CALENDAR DAYS AS TO ALL OTHER DISTURBED OR GRADED AREAS ON THE PROJECT SITE NOT UNDER ACTIVE GRADING.

SOILS LEGEND

SYMBOL	NAME / DESCRIPTION	GROUP	HYDRIC	K-FACTOR	PRIME FARMLAND
LeC	LEGORE SILT LOAM, 8 TO 15 PERCENT SLOPES, STONY	B	NO	0.02	NO
McD	MANOR LOAM, 15 TO 25 PERCENT SLOPES, VERY ROCKY	B	NO	0.28	NO
MgF	MANOR-BANNERTOWN SANDY LOAMS, 25 TO 65 PERCENT SLOPES, ROCKY	B	NO	0.24	NO

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

John R. Roberts 7-3-14
 CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

Franklin Lawler 7-29-14
 CHIEF, DIVISION OF LAND DEVELOPMENT DATE

Franklin Lawler 7-30-14
 DIRECTOR DATE

GRADING PLAN
 SCALE: 1" = 30'

SCALE 1"=30'
 15' 0' 30'

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

John R. Roberts 7/1/14
 HOWARD S.C.D. DATE

BY THE DEVELOPER:
 I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN FOR SEDIMENT AND EROSION CONTROL AND THAT ALL RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT.
K.B. Home, Maryland, LLC
Mike Vice Pres 6-23-14
 SIGNATURE OF DEVELOPER DATE

BY THE ENGINEER:
 I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.
Robert H. Vogel 6/16/14
 SIGNATURE OF ENGINEER DATE

NO.	REVISION	DATE
11	REVISE HOUSE TYPE AND GRADING ON LOT 15 AND 18	6/13/14
10	REVISE HOUSE TYPE AND GRADING ON LOT 6, 8, AND 10	6/24/14
9	REVISE HOUSE TYPE & GRADING LOTS 13, 14 & 17. ADD NOTE	1/20/14
8	ADD MONUMENT PILLAR AND ADD DRIVEWAY UNDERDRAINS	4/6/15

SITE DEVELOPMENT PLAN
 GRADING, SOIL EROSION & SEDIMENT CONTROL PLAN AND SOILS MAP
 AUTUMN OVERLOOK
 LOTS 1-20
 SINGLE FAMILY DETACHED DWELLINGS

DPZ REF'S: SEE NOTE # 16 SHEET 1

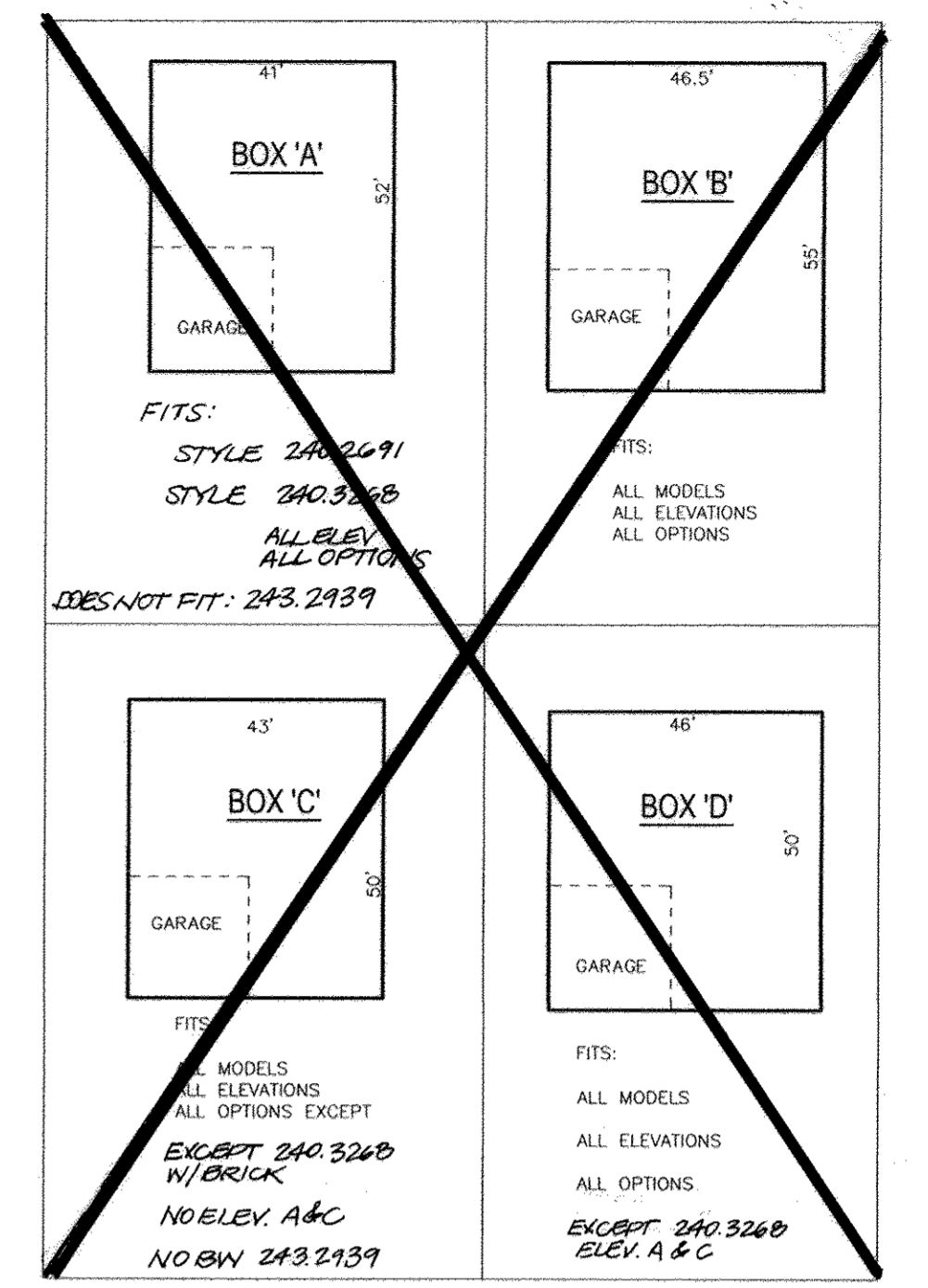
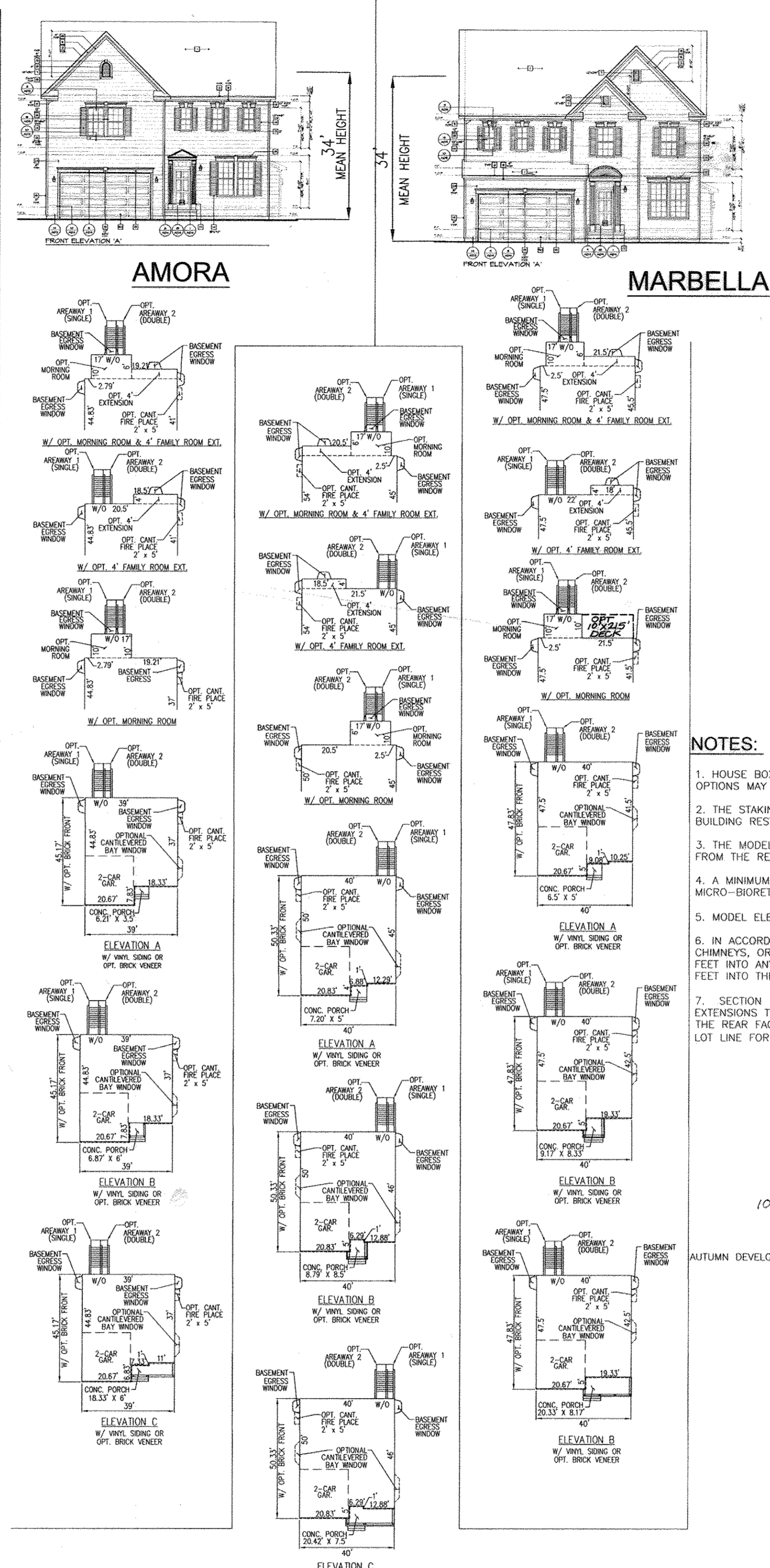
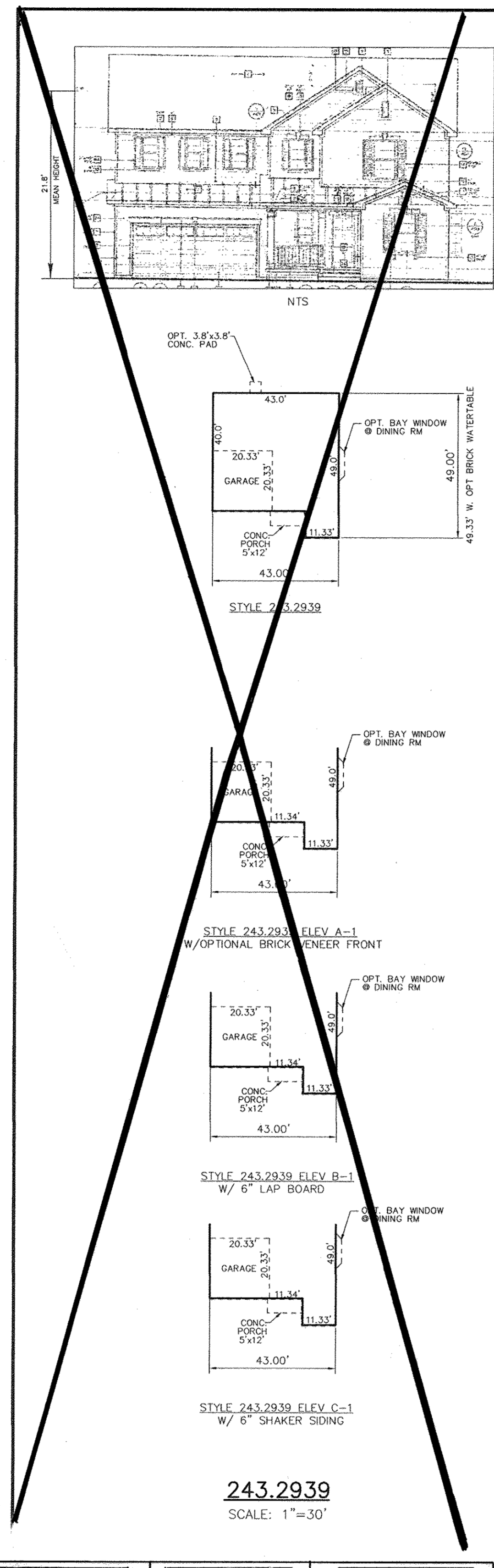
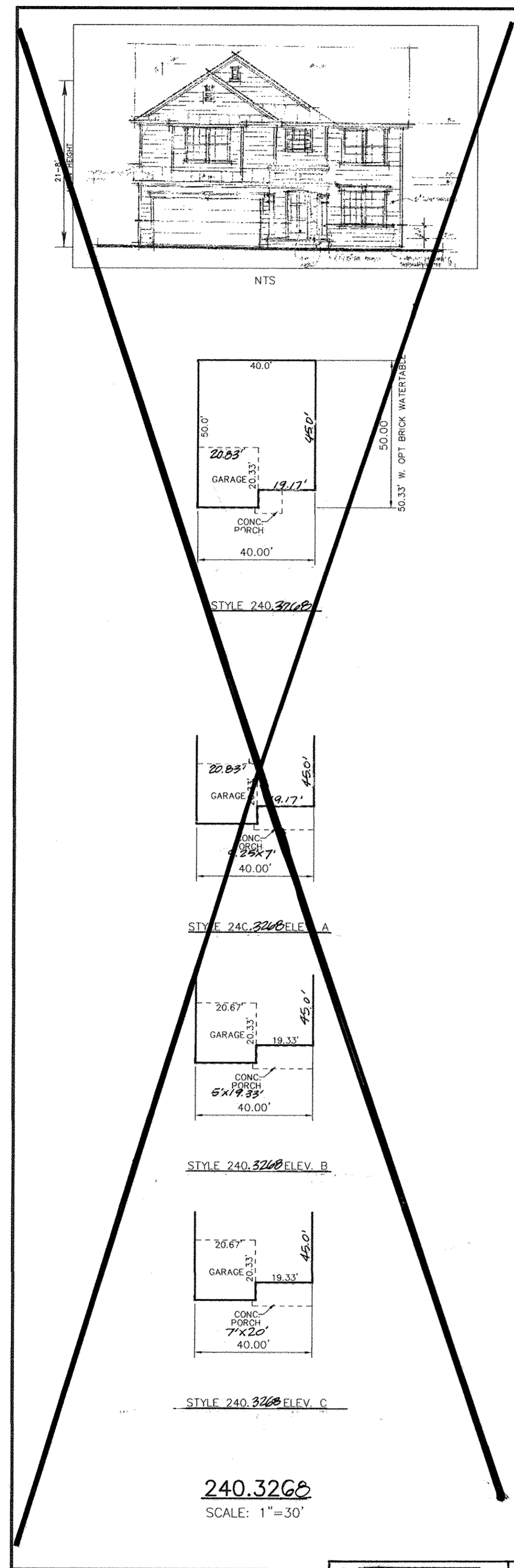
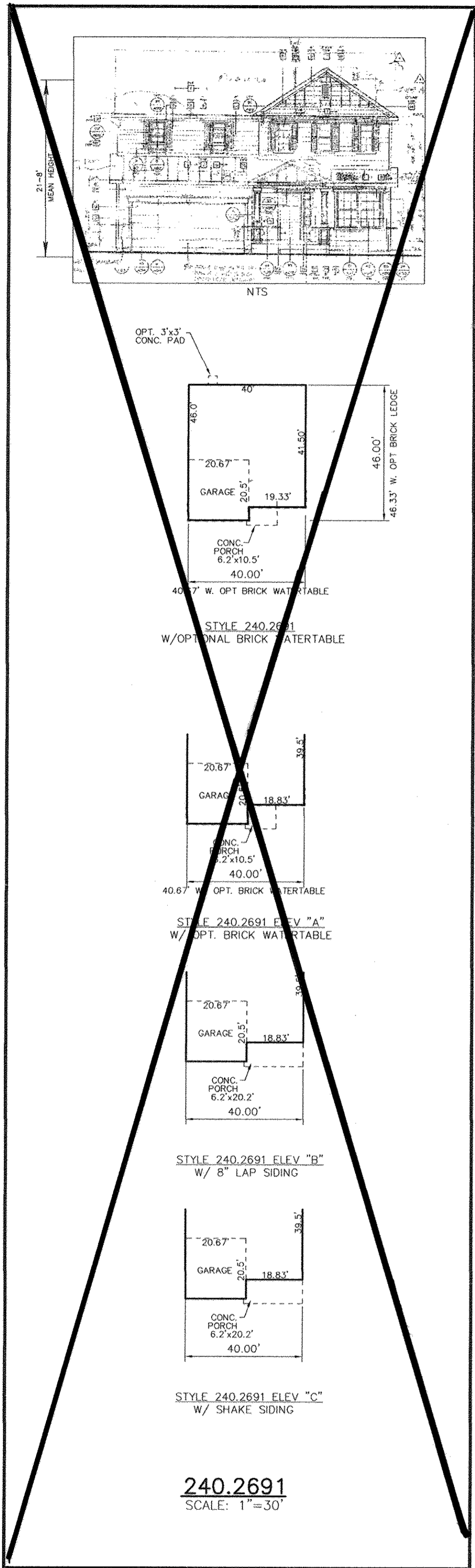
ROBERT H. VOGEL, INC.
 ENGINEERS • SURVEYORS • PLANNERS
 8407 MAIN STREET
 ELLICOTT CITY, MD 21043
 TEL: 410.461.7666
 FAX: 410.461.8961

PROFESSIONAL CERTIFICATE

DESIGN BY: EDS/TJM
 DRAWN BY: TJW/JMR
 CHECKED BY: RHY
 DATE: MAY 2014
 SCALE: AS SHOWN
 W.O. NO.: 10-30

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 16193
 EXPIRES DATE: 09-30-2014

7 SHEET OF 10



- HOUSE BOX MATRIX PLAN**
- NOTES:**
- HOUSE BOXES ARE GENERIC AND SHOULD NOT BE CONSIDERED LIMITING. ADDITIONAL HOUSE TYPES AND OPTIONS MAY FIT ON ANY GIVEN LOT.
 - THE STAKING OF FOUNDATIONS PRIOR TO CONSTRUCTION TO ENSURE COMPLIANCE WITH REGULATORY BUILDING RESTRICTION LINES IS RECOMMENDED.
 - THE MODEL CHOSEN FOR LOTS 1-10 SHALL PROVIDE A USEABLE FLAT BACK YARD OF AT LEAST 15 FEET FROM THE REAR OF THE HOME.
 - A MINIMUM OF 10 FEET SHALL BE PROVIDED BETWEEN THE CHOSEN HOME MODEL AND A MICRO-BIORETENTION FACILITY.
 - MODEL ELEVATION SHALL NOT EXCEED 28' MEAN HEIGHT AS ZONED BY R-ED ZONE.
 - IN ACCORDANCE WITH SECTION 128 OF THE HOWARD COUNTY ZONING REGULATIONS, BAY WINDOWS, CHIMNEYS, OR EXTERIOR STAIRWAYS NOT MORE THAN 16 FEET IN WIDTH MAY PROJECT NOT MORE THAN 4 FEET INTO ANY SETBACKS. PORCHES OR DECKS, OPEN OR ENCLOSED MAY PROJECT NOT MORE THAN 10 FEET INTO THE FRONT FRONT OR REAR YARD SETBACK.
 - SECTION 128.A.1.1 OF THE ZONING REGULATIONS (CB-2-2012) WHICH ALLOWS SUNROOMS AND ROOM EXTENSIONS TO EXTEND NOT MORE THAN 10 FEET INTO THE REAR SETBACK ALONG A MAJORITY OF THE REAR FACE OF A DWELLING ON A LOT WHICH ADJOINS OPEN SPACE ALONG A MAJORITY OF THE REAR LOT LINE FOR R-ED LOTS RECORDED AFTER THE EFFECTIVE DATE OF CB-2-2012 (MAY 13, 2012).

OWNER/BUILDER
KB TIMBERLAND LLC
10600 PARKSIDE BLVD, SUITE 120
RESTON, VA 20191
703-391-0050

OWNER
MIRAL LLC-TAYLOR VILLAGE FARMY, LLC
MIRAL LLC-TAYLOR VILLAGE FARMY, LLC
4400 COLLEGE AVENUE
BETHESDA, MD 20814
301-461-5500

DEVELOPER
AUTUMN DEVELOPMENT CORPORATION, RONALD L. SPANH, PRESIDENT
5401 TWIN KNOLLS ROAD, SUITE 7
COLUMBIA, MD 21045
(410) 465-3500

NO.	REVISION	DATE
4	REVISE HOUSE TYPE AND GRADING ON LOT 20	7/23/15
2	REVISE HOUSE TYPES & Matrix	4/16/15

SITE DEVELOPMENT PLAN
HOUSE TYPES & HOUSE BOX MATRIX PLAN
AUTUMN OVERLOOK
LOTS 1-20
SINGLE FAMILY DETACHED DWELLINGS

ZONED: R-ED
TAX MAP: 23 GRID 14
2ND ELECTION DISTRICT
PARCELS: 56, 309, AND 95
HOWARD COUNTY, MARYLAND

SDP REF'S: SEE NOTE # 16 SHEET 1

ROBERT H. VOGEL ENGINEERING, INC.
ENGINEERS • SURVEYORS • PLANNERS

8407 MAIN STREET
ELIGOTT CITY, MD 21043

TEL: 410.461.7666
FAX: 410.461.8961

STATE OF MARYLAND
PROFESSIONAL ENGINEER

DESIGN BY: EDS/TJW
DRAWN BY: TJW/JMR
CHECKED BY: RHY
DATE: MAY 2014
SCALE: AS SHOWN
W.O. NO.: 10-30

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND THAT I AM A FULLY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 16193 EXPIRATION DATE: 08-27-2014

PROFESSIONAL CERTIFICATE

9 SHEET OF 10

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

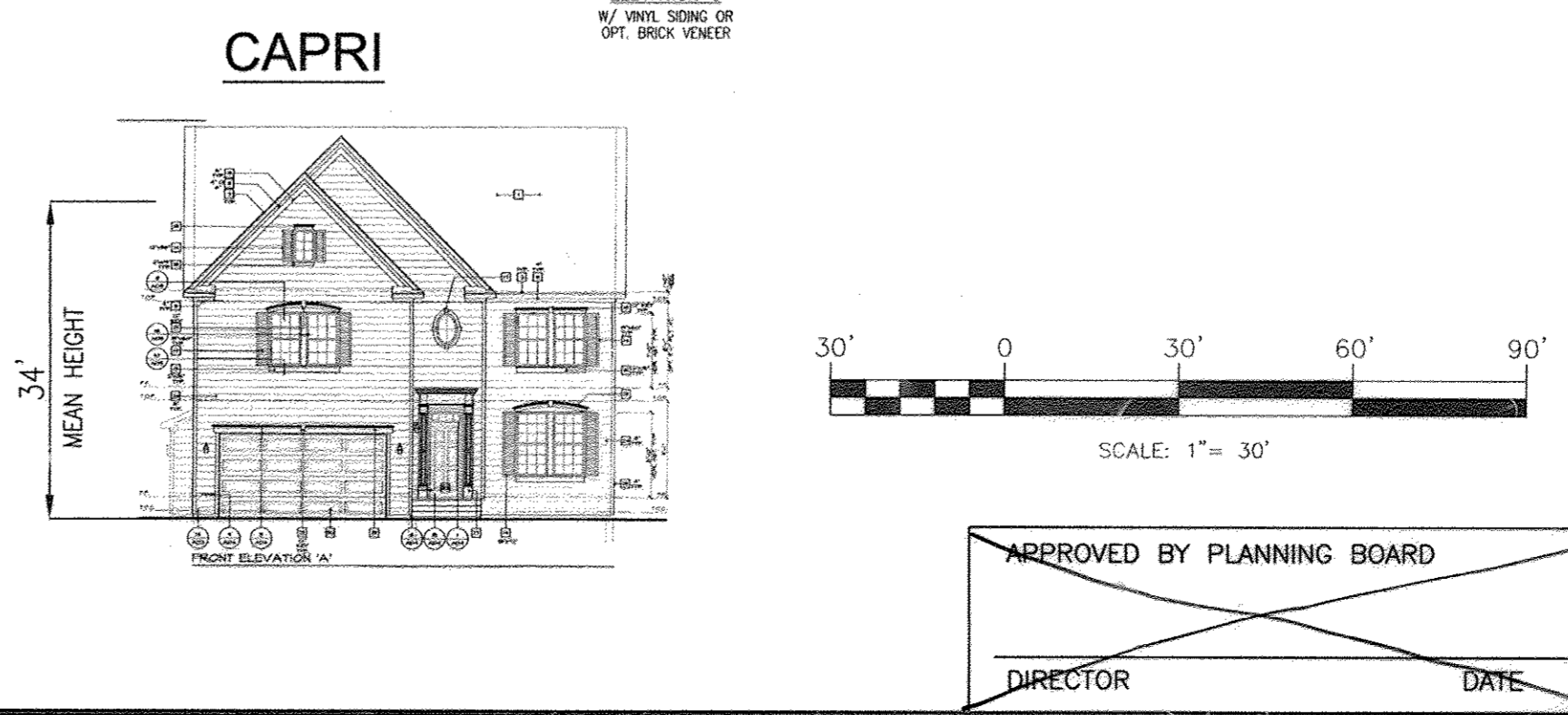
Chief, Development Engineering Division 7-3-14
DATE

Chief, Division of Land Development 7-29-14
DATE

Director 7-30-14
DATE

HOUSE BOX MATRIX

BOX 'A'	BOX 'B'	BOX 'C'	BOX 'D'
FITS: STYLE AMORA ALL ELEV. NO MORNING ROOM NO DECK NO EGRESS WINDOW NO AREAWAY	FITS: STYLE AMORA ALL ELEV. NO MORNING ROOM / DECK WITH FRONT BRICK NO EGRESS WINDOW NO AREAWAY	FITS: STYLE AMORA ALL ELEV. NO MORNING ROOM NO DECK NO EGRESS WINDOW NO AREAWAY	FITS: STYLE AMORA ALL ELEV. NO MORNING ROOM NO DECK NO AREAWAY
STYLE CAPRI ELEV. A NO MORNING ROOM NO DECK NO BAY WINDOW NO EGRESS WINDOW NO AREAWAY	STYLE CAPRI ALL ELEV. NO MORNING ROOM NO DECK NO AFT. EXT. ELEV B & C NO AREAWAY	STYLE CAPRI DOES NOT FIT	STYLE MARBELLA ELEV. A NO MORNING ROOM NO DECK NO AFT. EXT. ELEV B & C NO AREAWAY
STYLE MARBELLA ELEV. A ALL ELEV. NO MORNING ROOM NO DECK NO BAY WINDOW NO EGRESS WINDOW NO AREAWAY	STYLE MARBELLA ALL ELEV. NO MORNING ROOM NO DECK NO AFT. EXT. ELEV B & C NO AREAWAY	STYLE MARBELLA ELEV. A ALL ELEV. NO MORNING ROOM NO DECK NO BAY WINDOW NO EGRESS WINDOW NO AREAWAY	STYLE MARBELLA ELEV. A ALL ELEV. NO MORNING ROOM NO DECK NO BAY WINDOW NO EGRESS WINDOW NO AREAWAY



APPENDIX B.4.C. SPECIFICATIONS FOR MICRO-BIORETENTION, RAIN GARDEN, LANDSCAPE INFILTRATION & INFILTRATION BERMS

1. MATERIAL SPECIFICATIONS
 THE ALLOWABLE MATERIALS TO BE USED IN THESE PRACTICES ARE DETAILED IN TABLE B.4.1.

2. FILTERING MEDIA OR PLANTING SOIL
 THE SOIL SHALL BE A UNIFORM MIX, FREE OF STONES, STUMPS OR OTHER SMALL OBJECTS LARGER THAN TWO INCHES. NO OTHER MATERIALS OR SUBSTANCES SHALL BE USED ON THE MICRO-BIORETENTION PRACTICE THAT MAY BE HARMFUL TO PLANT GROWTH OR PROVE A HINDERANCE TO THE PLANTING OR MAINTENANCE OPERATIONS. THE PLANTING SOIL SHALL BE FREE OF BERMUDA GRASS, QUACKGRASS, JOHNSON GRASS, OR OTHER NOXIOUS WEEDS AS SPECIFIED UNDER COMAR 15.08.01.05.

3. SOIL COMPONENT - LOAMY SAND OR SANDY LOAM (SOIL TEXTURE CLASSIFICATION)
 THE PLANTING SOIL SHALL BE TESTED AND SHALL MEET THE FOLLOWING CRITERIA:
 * SOIL COMPONENT - LOAMY SAND OR SANDY LOAM (SOIL TEXTURE CLASSIFICATION)
 * ORGANIC CONTENT - MINIMUM 10% BY DRY WEIGHT (ASTM D 2974). IN GENERAL, THIS CAN BE MET BY A MIXTURE OF LOAMY SAND (60%-65%) AND COMPOST (35%-40%) OR SANDY LOAM (30%), COARSE SAND (30%), AND COMPOST (40%).
 * CLAY CONTENT - MEDIA SHALL HAVE A CLAY CONTENT OF LESS THAN 0%.
 * PH RANGE - SHOULD BE BETWEEN 5.5 - 7.0. AMENDMENTS (E.G., LIME, URIC SULFATE PLUS SULFUR) MAY BE MIXED IN TO THE SOIL TO INCREASE OR DECREASE.
 THERE SHALL BE AT LEAST ONE SOIL TEST PER PROJECT. EACH TEST SHALL CONSIST OF BOTH THE STANDARD SOIL TEST FOR PH, AND ADDITIONAL TESTS OF ORGANIC MATTER, AND SOLUBLE SALTS. A TEXTURAL ANALYSIS IS REQUIRED FROM THE SITE STOCKPILED TOPSOIL. IF TOPSOIL IS IMPORTED, THEN A TEXTURE ANALYSIS SHALL BE PERFORMED FOR EACH LOCATION, WHERE THE TOPSOIL WAS EXCAVATED.

3. COMPACTION
 IT IS VERY IMPORTANT TO MINIMIZE COMPACTION OF BOTH THE BASE OF BIORETENTION PRACTICES AND THE REQUIRED BACKFILL. WHEN POSSIBLE, USE EXCAVATION TOOLS TO REMOVE ORIGINAL SOIL. IF PRACTICES ARE EXCAVATED USING LOADERS, THE CONTRACTOR SHOULD USE WIDE TRACK OR WASH TRACK EQUIPMENT, OR LIGHT EQUIPMENT WITH TURF TIRE TYRES. USE OF EQUIPMENT WITH NARROW TRACKS OR NARROW TIRES, RUBBER TIRES WITH LARGE LUGS, OR HIGH-PRESSURE TIRES WILL CAUSE EXCESSIVE COMPACTION RESULTING IN REDUCED INFILTRATION RATES AND IS NOT ACCEPTABLE. COMPACTION WILL SIGNIFICANTLY CONTRIBUTE TO DESIGN FAILURE.
 COMPACTION CAN BE ALLEVIATED AT THE TIME OF THE BIORETENTION FACILITY BY USING A PRIMARY TILLING OPERATION SUCH AS CHESEL FLOW, RIPPER, OR SUBSOILER. THESE TILLING OPERATIONS ARE TO RESTRUCTURE THE SOIL PROFILE FOLLOWING THE 12 INCH COMPACTION ZONE. SUBSTITUTE METHODS MUST BE APPROVED BY THE ENGINEER. ROTOTILLERS TYPICALLY DO NOT TILL DEEP ENOUGH TO REDUCE THE EFFECTS OF COMPACTION FROM HEAVY EQUIPMENT.
 ROTOTILL 2 TO 3 INCHES OF SAND INTO THE BASE OF THE BIORETENTION FACILITY BEFORE BACKFILLING THE OPTIONAL SAND LAYER. PUMP ANY PONDED WATER BEFORE PREPARING (ROTOTILLING) BASE.
 WHEN BACKFILLING THE TOPSOIL OVER THE SAND LAYER, FIRST PLACE 3 TO 4 INCHES OF TOPSOIL OVER THE SAND, THEN ROTOTILL THE SAND/TOPSOIL TO CREATE A GRADATION ZONE. BACKFILL THE REMAINDER OF THE TOPSOIL TO FINAL GRADE.
 WHEN BACKFILLING THE BIORETENTION FACILITY, PLACE SOIL IN LIFTS 12" TO 18". DO NOT USE HEAVY EQUIPMENT WITHIN THE BIORETENTION ZONE. HEAVY EQUIPMENT CAN BE USED AROUND THE PERIMETER OF THE BASIN TO SUPPLY SOILS AND SAND. GRADE BIORETENTION MATERIALS WITH LIGHT EQUIPMENT SUCH AS A COMPACT LOADER OR A DOZER/LOADER WITH MARSH TRACKS.

4. PLANT MATERIAL
 RECOMMENDED PLANT MATERIAL FOR MICRO-BIORETENTION PRACTICES CAN BE FOUND IN APPENDIX A, SECTION A.2.3.

5. PLANT INSTALLATION
 COMPOST IS A BETTER ORGANIC MATERIAL SOURCE, IS LESS LIKELY TO FLOAT, AND SHOULD BE PLACED IN THE INVERT AND OTHER LOW AREAS. MULCH SHOULD BE PLACED IN SURROUNDING TO A UNIFORM THICKNESS OF 2" TO 3". SHREDED OR CHIPPED HARDWOOD MULCH IS THE ONLY ACCEPTED MULCH. PINE MULCH AND WOOD CHIPS WILL FLOAT AND MOVE TO THE PERIMETER OF THE BIORETENTION AREA DURING A STORM EVENT AND ARE NOT ACCEPTABLE. SHREDED MULCH MUST BE WELL AGED (6 TO 12 MONTHS) FOR ACCEPTANCE.
 ROOTSTOCK OF THE PLANT MATERIAL SHALL BE KEPT MOST DURING TRANSPORT AND ON-SITE STORAGE. THE PLANT ROOT BALL SHOULD BE PLANTED SO 1/8TH OF THE BALL IS ABOVE FINAL GRADE SURFACE. THE DIAMETER OF THE PLANTING PIT SHALL BE AT LEAST SIX INCHES LARGER THAN THE DIAMETER OF THE PLANTING BALL. SET AND MAINTAIN THE PLANT STRAIGHT DURING THE ENTIRE PLANTING PROCESS. THOROUGHLY WATER GROUND BED COVER AFTER INSTALLATION. TREES SHALL BE BRACED USING 2" BY 2" STAKES ONLY AS NECESSARY AND FOR THE FIRST GROWING SEASON ONLY. STAKES ARE TO BE EQUALLY SPACED ON THE OUTSIDE OF THE TREE BALL.
 GRASSES AND LEGUME SEED SHOULD BE DRILLED INTO THE SOIL TO A DEPTH OF AT LEAST ONE INCH. GRASS AND LEGUME PLOTS SHALL BE PLANTED FOLLOWING THE NON-GRASS GROUND COVER PLANTING SPECIFICATIONS.
 THE TOPSOIL SPECIFICATIONS PROVIDE ENOUGH ORGANIC MATERIAL TO ADJUSTABLY SUPPLY NUTRIENTS FROM NATURAL CYCLING. THE PRIMARY FUNCTION OF THE BIORETENTION STRUCTURE IS TO IMPROVE WATER QUALITY, ADDING FERTILIZERS, DEFOLIANTS, OR AT A MINIMUM, IMPROVES THIS GOAL. ONLY ADD FERTILIZER IF WOOD CHIPS OR MULCH ARE USED TO AMEND THE SOIL. ROTOTILL UREA FERTILIZER AT A RATE OF 2 POUNDS PER 1000 SQUARE FEET.

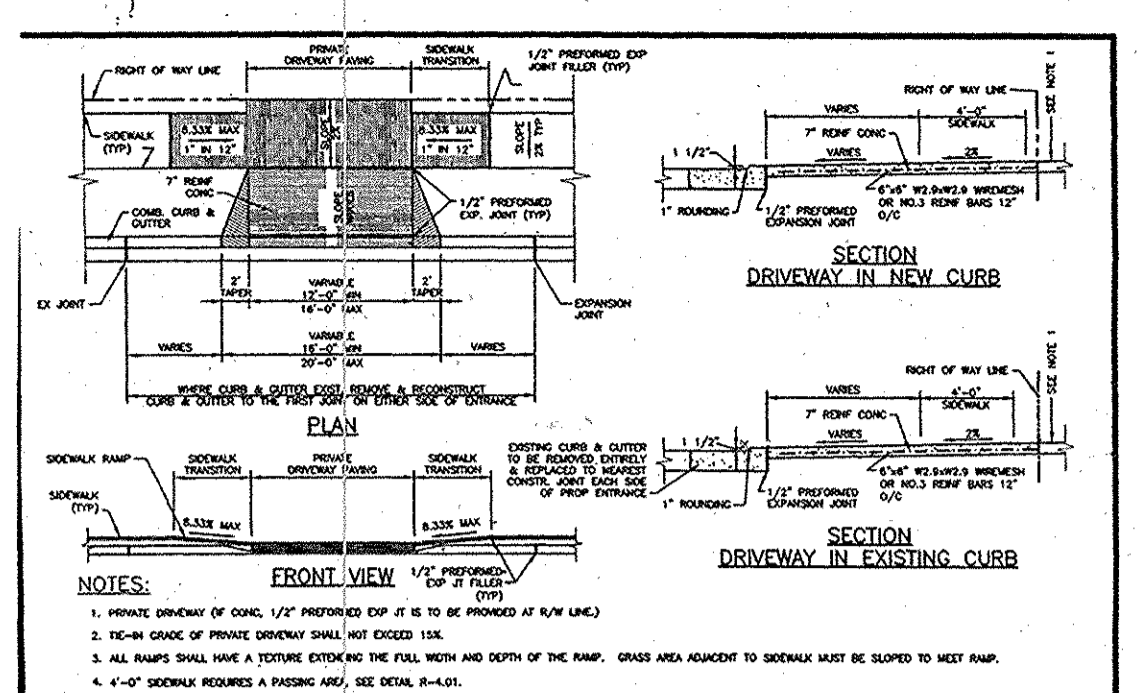
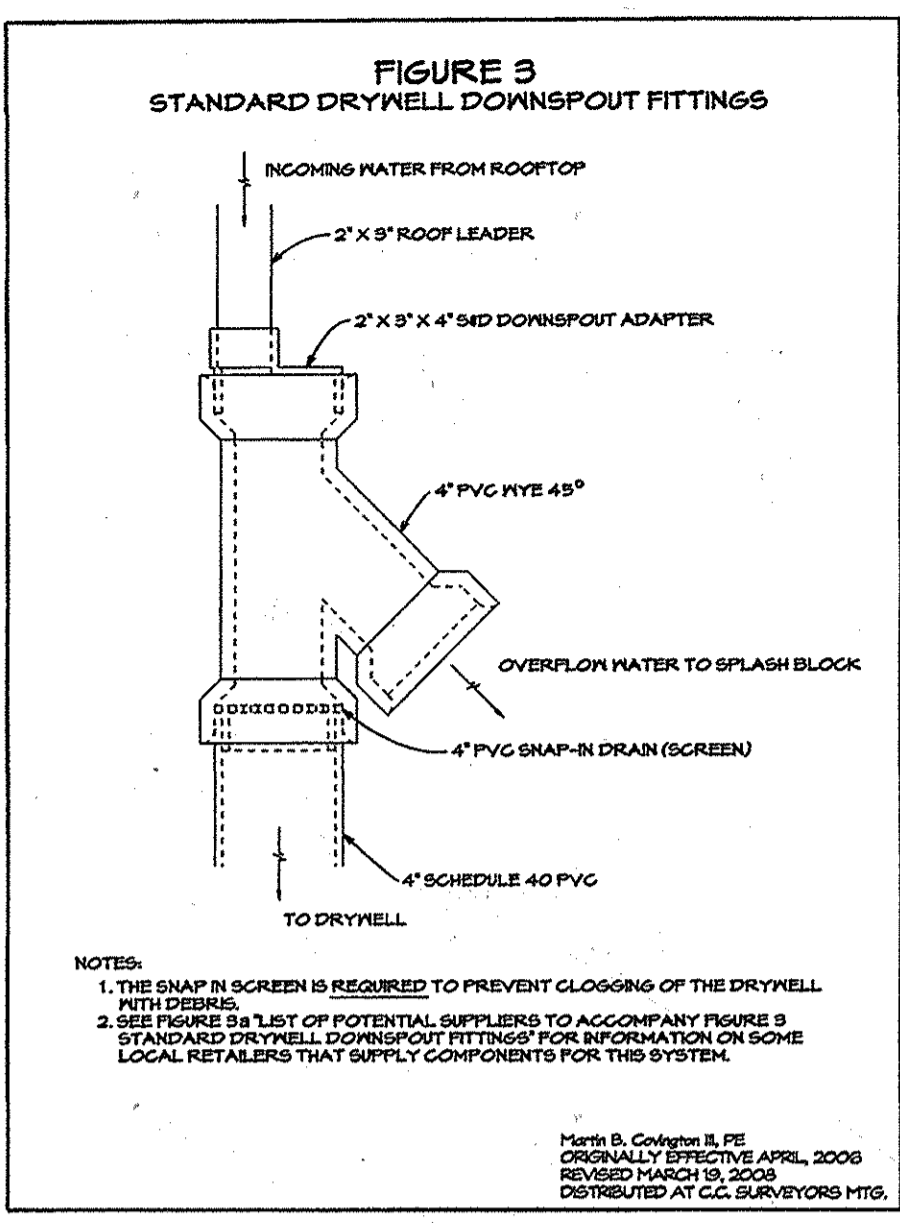
6. UNDERDRAINS
 UNDERDRAINS SHOULD MEET THE FOLLOWING CRITERIA:
 * PIPE - SHOULD BE 4" TO 6" DIAMETER, SLOTTED OR PERFORATED RIGID PLASTIC PIPE (ASTM F758, TYPE PS 28, OR AASHTO-M-278) IN A GRAVEL LAYER. THE PERFORATED MATERIAL IS SLOTTED, 4" RIGID PIPE (E.G., PVC OR HDPE).
 * PERFORATIONS - IF PERFORATED PIPE IS USED, PERFORATIONS SHOULD BE 3/8" DIA. LOCATED 6" ON CENTER WITH A MINIMUM OF FOUR HOLES PER ROW. PIPE SHALL BE WRAPPED WITH A 1/4" (NO. 4 OR 6A) GALVANIZED HARDWARE CLOTH.
 * GRAVEL - THE GRAVEL LAYER (NO. 57 STONE) PERFORATED SHALL BE AT LEAST 3" THICK ABOVE AND BELOW THE UNDERDRAIN.
 * THE MAIN COLLECTOR PIPE SHALL BE AT A MINIMUM 0.5% SLOPE.
 * A RIGID, NON-PERFORATED OBSERVATION WELL MUST BE PROVIDED (ONE PER EVERY 1,000 SQUARE FEET) TO PROVIDE A CLEAN-OUT PORT AND MONITOR PERFORMANCE OF THE FILTER.
 * A 4" LAYER OF PEA GRAVEL (1/8" TO 3/8") SHALL BE LOCATED BETWEEN THE FILTER MEDIA AND UNDERDRAIN TO PREVENT MIGRATION OF FINES IN TO THE UNDERDRAIN THIS LAYER MAY BE CONSIDERED PART OF THE FILTER BED WHEN BED THICKNESS EXCEEDS 24".
 THIS MAIN COLLECTOR PIPE FOR UNDERDRAIN SYSTEMS SHALL BE CONSTRUCTED AT A MINIMUM SLOPE OF 0.5%. OBSERVATION WELLS AND/OR CLEAN-OUT PORTS MUST BE PROVIDED (ONE MINIMUM PER EVERY 1,000 SQUARE FEET OF SURFACE AREA).

7. MISCELLANEOUS
 THESE PRACTICES MAY NOT BE CONSTRUCTED UNTIL ALL CONTRIBUTING DRAINAGE AREA HAS BEEN STABILIZED.

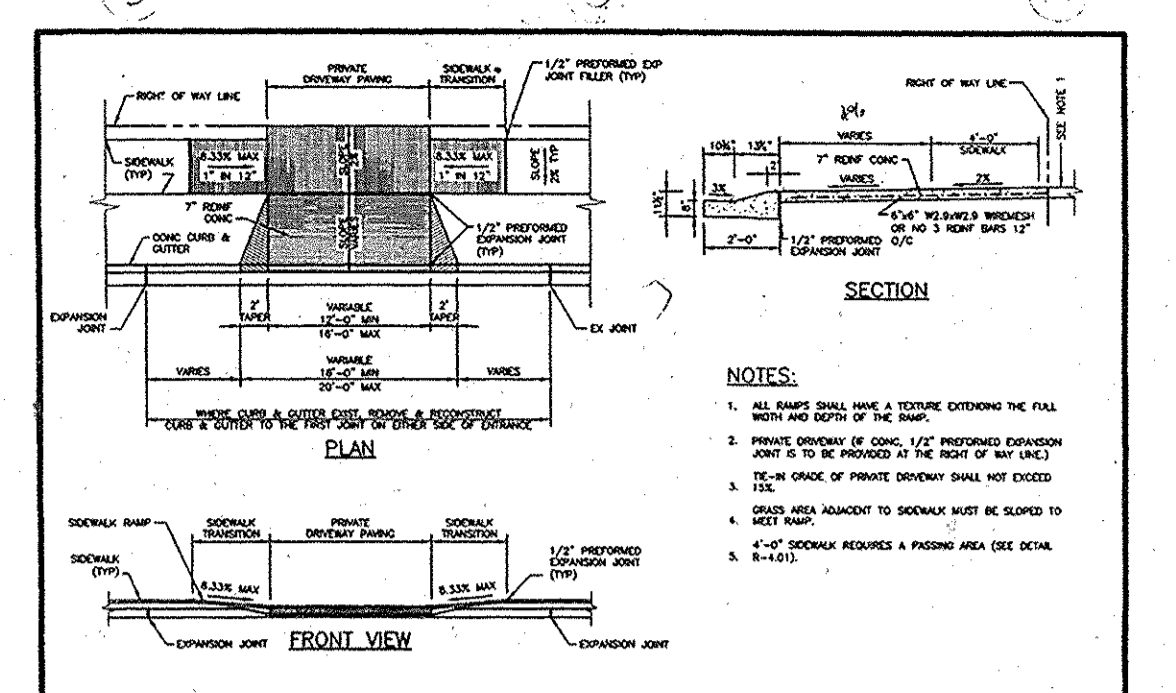
Appendix B.4. Construction Specifications for Environmental Site Design Practices

Table B.4.1 Materials Specifications for Micro-Bioretention, Rain Gardens & Landscape Infiltration-

Material	Specification	Size	Notes
Plantings	see Appendix A, Table A.4	n/a	plantings are site-specific
Planting soil (2" to 4" deep)	loamy sand (60-65%) & compost (35-40%) or sandy loam (30%), coarse sand (30%) & compost (40%)	n/a	USDA soil types loamy sand or sandy loam; clay content < 5%
Organic content	Min. 10% by dry weight (ASTM D 2974)	n/a	aged 6 months, minimum; no pine or wood chips
Mulch	shredded hardwood	NO. 8 OR NO. 9 (1/8" TO 3/8")	
Pea gravel diaphragm	pea gravel; ASTM-D-448	NO. 8 OR NO. 9 (1/8" TO 3/8")	
Curtain drain	ornamental stone; washed cobbles	stone: 2" to 5"	
Geotextile	n/a	n/a	PE Type I nonwoven
Gravel (underdrains and infiltration berms)	AASHTO M-43	NO. 57 OR NO. 6 (1/8" TO 3/8")	
Underdrain piping	F 758, Type PS 28 or AASHTO M-278	4" to 6" rigid schedule 40 PVC or SDR35	Slotted or perforated pipe; 3/8" perf. @ 6" on center, 4 holes per row; minimum of 3" of gravel over pipes; not necessary underdrain pipes. Perforated pipe shall be wrapped with 1/4-inch galvanized hardware cloth on-site testing of poured-in-place concrete required: 28 day strength and slump test; all concrete design (cast-in-place or pre-cast) not using previously approved State or local standards requires design drawings sealed and approved by a professional structural engineer licensed in the State of Maryland - design to include meeting ACI Code 308.1R9; vertical loading [14-10 or 14-20] allowable horizontal loading (based on soil pressures); and analysis of potential cracking
Poured in place concrete (if required)	MSHA Mix No. 3; f _c = 3500 psi @ 28 days, normal weight, air-entrained concrete to meet ASTM-615-60	n/a	28 day strength and slump test; all concrete design (cast-in-place or pre-cast) not using previously approved State or local standards requires design drawings sealed and approved by a professional structural engineer licensed in the State of Maryland - design to include meeting ACI Code 308.1R9; vertical loading [14-10 or 14-20] allowable horizontal loading (based on soil pressures); and analysis of potential cracking
Sand	AASHTO-M-6 or ASTM-C-33	0.02" to 0.04"	Sand substitutions such as Diabase and Graystone (AASHTO #10) are not acceptable. No calcium carbonated or dolomitic sand substitutions are acceptable. No "rock dust" can be used for sand.



Howard County, Maryland Department of Public Works	RESIDENTIAL DRIVEWAY ENTRANCE 7' Combination Curb and Gutter Sidewalk Setback from Curb	Detail R-6.01
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Howard County, Maryland Department of Public Works	RESIDENTIAL DRIVEWAY ENTRANCE 7' Combination Curb and Gutter Sidewalk Setback from Curb	Detail R-6.03
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A-2. PERMEABLE PAVEMENTS

CONSTRUCTION CRITERIA:
 THE FOLLOWING ITEMS SHOULD BE ADDRESSED DURING CONSTRUCTION OF PROJECTS WITH PERMEABLE PAVEMENT:

- EROSION AND SEDIMENT CONTROL: FINAL GRADING FOR INSTALLATION SHOULD NOT TAKE PLACE UNTIL THE SURROUNDING SITE IS STABILIZED. IF THIS CANNOT BE ACCOMPLISHED, RUNOFF FROM DISTURBED AREAS SHALL BE DIVERTED AROUND PROPOSED PAVEMENT LOCATIONS.
- SOIL COMPACTION: SUB SOILS SHALL NOT BE COMPACTED. CONSTRUCTION SHOULD BE PERFORMED WITH LIGHTWEIGHT, WIDE TRACKED EQUIPMENT TO MINIMIZE COMPACTION. EXCAVATED MATERIALS SHOULD BE PLACED IN A CONTAINED AREA.
- DISTRIBUTION SYSTEMS: OVERDRAIN, UNDERDRAIN, AND DISTRIBUTION PIPES SHALL BE CHECKED TO ENSURE THAT BOTH THE MATERIAL AND PERFORATIONS MEET SPECIFICATIONS (SEE APPENDIX B. 4). THE UPSTREAM ENDS OF PIPES SHOULD BE CAPPED PRIOR TO INSTALLATION. ALL UNDERDRAIN OR DISTRIBUTION PIPES-USED SHOULD BE INSTALLED FLAT ALONG THE BED BOTTOM.
- SUBBASE INSTALLATION: SUBBASE AGGREGATE SHALL BE CLEAN AND FREE OF FINES. THE SUBBASE SHALL BE PLACED IN LIFTS AND LIGHTLY ROLLED ACCORDING TO THE SPECIFICATIONS. (SEE APPENDIX B.4).

INSPECTION:
 REGULAR INSPECTIONS SHALL BE MADE DURING THE FOLLOWING STAGES OF CONSTRUCTION:

- DURING EXCAVATION TO SUB GRADE.
- DURING PLACEMENT AND BACKFILL OF ANY DRAINAGE OR DISTRIBUTION SYSTEM(S).
- DURING PLACEMENT OF THE CRUSHED STONE SUBBASE MATERIAL.
- DURING PLACEMENT OF THE SURFACE MATERIAL.
- UPON COMPLETION OF FINAL GRADING AND ESTABLISHMENT OF PERMANENT STABILIZATION.

MAINTENANCE CRITERIA:
 THE FOLLOWING PROCEDURES SHOULD BE CONSIDERED ESSENTIAL FOR MAINTAINING PERMEABLE PAVEMENT SYSTEMS:

- PAVEMENTS SHOULD BE USED ONLY WHERE REGULAR MAINTENANCE CAN BE PERFORMED. MAINTENANCE AGREEMENTS SHOULD CLEARLY SPECIFY HOW TO CONDUCT ROUTINE TASKS TO ENSURE LONG-TERM PERFORMANCE.
- PAVEMENT SURFACES SHOULD BE SWEEPED AND VACUUMED TO REDUCE SEDIMENT ACCUMULATION AND ENSURE CONTINUED SURFACE POROSITY. SWEEPING SHOULD BE PERFORMED AT LEAST TWICE ANNUALLY WITH A COMMERCIAL CLEANING UNIT. WASHING SYSTEMS AND COMPRESSED AIR UNITS SHOULD NOT BE USED TO PERFORM SURFACE CLEANING.
- DRAINAGE PIPES, INLETS, STONE EDGE DRAINS, AND OTHER STRUCTURES WITHIN OR DRAINING TO THE SUBBASE SHOULD BE CLEANED OUT AT REGULAR INTERVALS.
- TRUCKS AND OTHER HEAVY VEHICLES CAN GRIND DIRT AND GRIT INTO THE POROUS SURFACES, LEADING TO CLOGGING AND PREMATURE FAILURE. THESE VEHICLES SHOULD BE PREVENTED FROM TRACKING AND SPILLING MATERIAL ON TO THE PAVEMENT.
- DECERS SHOULD BE USED IN MODERATION. WHEN USED, DECERS SHOULD BE NON-TOXIC AND ORGANIC AND CAN BE APPLIED EITHER AS CALCIUM MAGNESIUM ACETATE OR AS PRETREATED SALT. SNOW PLOWING SHOULD BE DONE CAREFULLY WITH BLADES SET ONE-INCH HIGHER THAN NORMAL. PLOWED SNOW PILES AND SNOW MELT SHOULD NOT BE DIRECTED TO PERMEABLE PAVEMENT.

OPERATION AND MAINTENANCE SCHEDULE FOR PRIVATELY OWNED AND MAINTAINED PERMEABLE PAVEMENT (A-2)

- THE INDIVIDUAL LOT OWNER SHALL PERIODICALLY SWEEP (OR VACUUM POROUS CONCRETE PAVEMENT) THE PAVEMENT SURFACES TO REDUCE SEDIMENT ACCUMULATION AND ENSURE CONTINUED SURFACE POROSITY. SWEEPING SHOULD BE PERFORMED AT LEAST TWICE ANNUALLY WITH A COMMERCIAL CLEANING UNIT. WASHING OR COMPRESSED AIR UNITS SHOULD NOT BE USED TO PERFORM SURFACE CLEANING.
- THE INDIVIDUAL LOT OWNER SHALL PERIODICALLY CLEAN DRAINAGE PIPES, INLETS, STONE EDGE DRAINS AND OTHER STRUCTURES WITHIN OR DRAINING TO THE SUBBASE.
- THE INDIVIDUAL LOT OWNER SHALL USE DECERS IN MODERATION. DECERS SHOULD BE NON-TOXIC AND BE APPLIED EITHER AS CALCIUM MAGNESIUM ACETATE OR AS PRETREATED SALT.
- THE INDIVIDUAL LOT OWNER SHALL ENSURE SNOW PLOWING IS PERFORMED CAREFULLY WITH BLADES SET ONE-INCH ABOVE THE SURFACE. PLOWED SNOW PILES AND SNOW MELT SHOULD NOT BE DIRECTED TO PERMEABLE PAVEMENT.

DOWNSPOUT OVERFLOW

- PROVIDE ABOVE FITTING FOR ALL DOWNSPOUTS FEEDING REAR YARD PIPE SYSTEM TO MICROBIORETENTION FACILITIES # 4 & 5

DISCONNECTION OF ROOFTOP RUNOFF - (N-1)

CONSTRUCTION CRITERIA:
 THE FOLLOWING ITEMS SHOULD BE ADDRESSED DURING THE CONSTRUCTION OF PROJECTS WITH PLANNED ROOFTOP DISCONNECTIONS:

- EROSION AND SEDIMENT CONTROL: EROSION AND SEDIMENT CONTROL PRACTICES (E.G., SEDIMENT TRAPS) SHALL NOT BE LOCATED IN VEGETATED AREAS RECEIVING DISCONNECTED RUNOFF
- SITE DISTURBANCE, CONSTRUCTION VEHICLES AND EQUIPMENT SHOULD AVOID AREAS RECEIVING DISCONNECTED RUNOFF TO MINIMIZE DISTURBANCE AND COMPACTION. SHOULD AREAS RECEIVING DISCONNECTED RUNOFF BECOME COMPACTED, SCARIFYING THE SURFACE OR ROTOTILLING THE SOIL TO A DEPTH OF FOUR TO SIX INCHES SHALL BE PERFORMED TO ENSURE PERMEABILITY. ADDITIONALLY, AMENDMENTS MAY BE NEEDED FOR TIGHT, CLAYEY SOILS.

INSPECTION:
 A FINAL INSPECTION SHALL BE CONDUCTED BEFORE USE AND OCCUPANCY APPROVAL TO ENSURE THAT SIZING FOR TREATMENT AREAS HAVE BEEN MET AND PERMANENT STABILIZATION HAS BEEN ESTABLISHED.

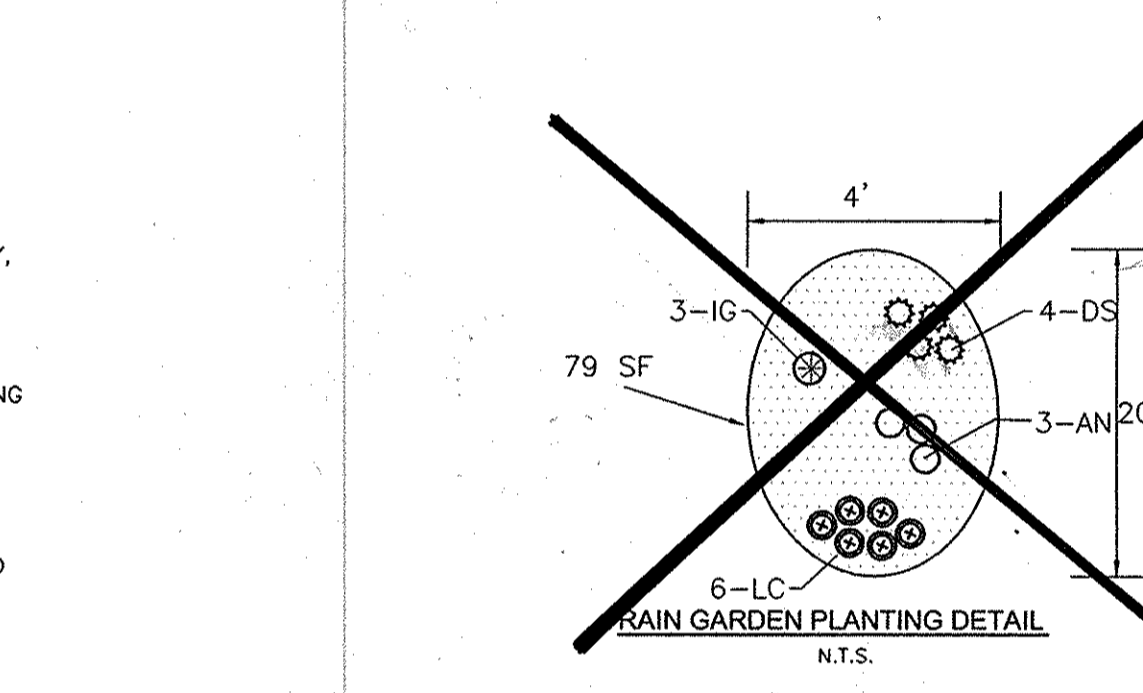
MAINTENANCE CRITERIA:
 MAINTENANCE OF AREAS RECEIVING DISCONNECTED RUNOFF IS GENERALLY NO DIFFERENT THAN THAT REQUIRED FOR OTHER LAWN OR LANDSCAPED AREAS. THE AREAS RECEIVING RUNOFF SHOULD BE PROTECTED FROM FUTURE COMPACTION (E.G., BY PLANTING TREES OR SHRUBS ALONG THE PERIMETER). IN COMMERCIAL AREAS, FOOT TRAFFIC SHOULD BE DISCOURAGED AS WELL.

RAIN GARDEN PLANT LIST

QUANTITY	SCIENTIFIC NAME	COMMON NAME	SIZE
3	ILEX GLABRA(O)	INK BERRY	2'-3" HT.
6	LOEBELIA CARDINALIS(L)	FLOWER LOBELIA	1 GAL. CONTAINER
4	DRYOPTERIS (PLUS)	WOOD FERN	1 GAL. CONTAINER
2	ASTER NOVAE-ANGLOE(AN)	NEW ENGLAND ASTER	1 GAL. CONTAINER

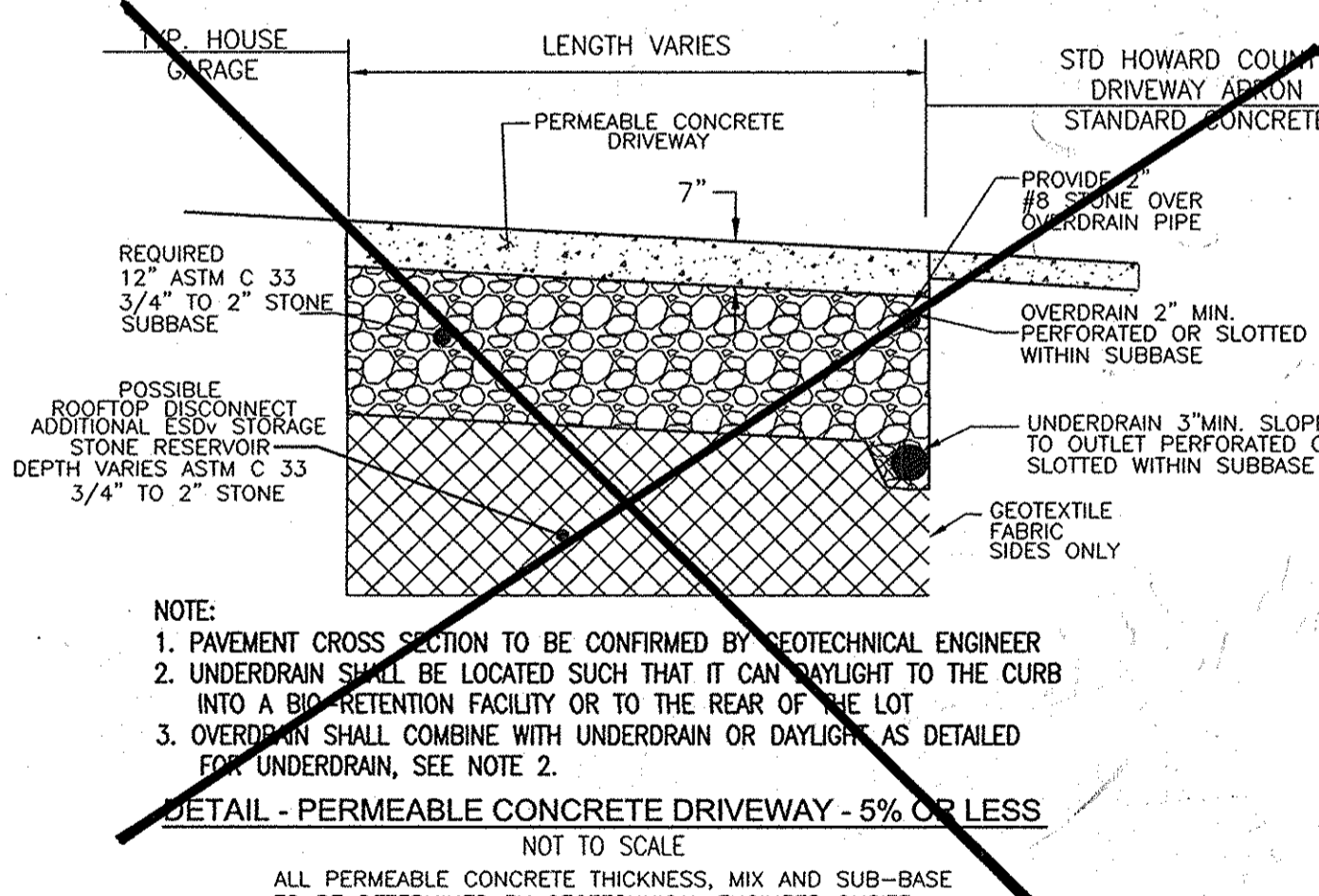
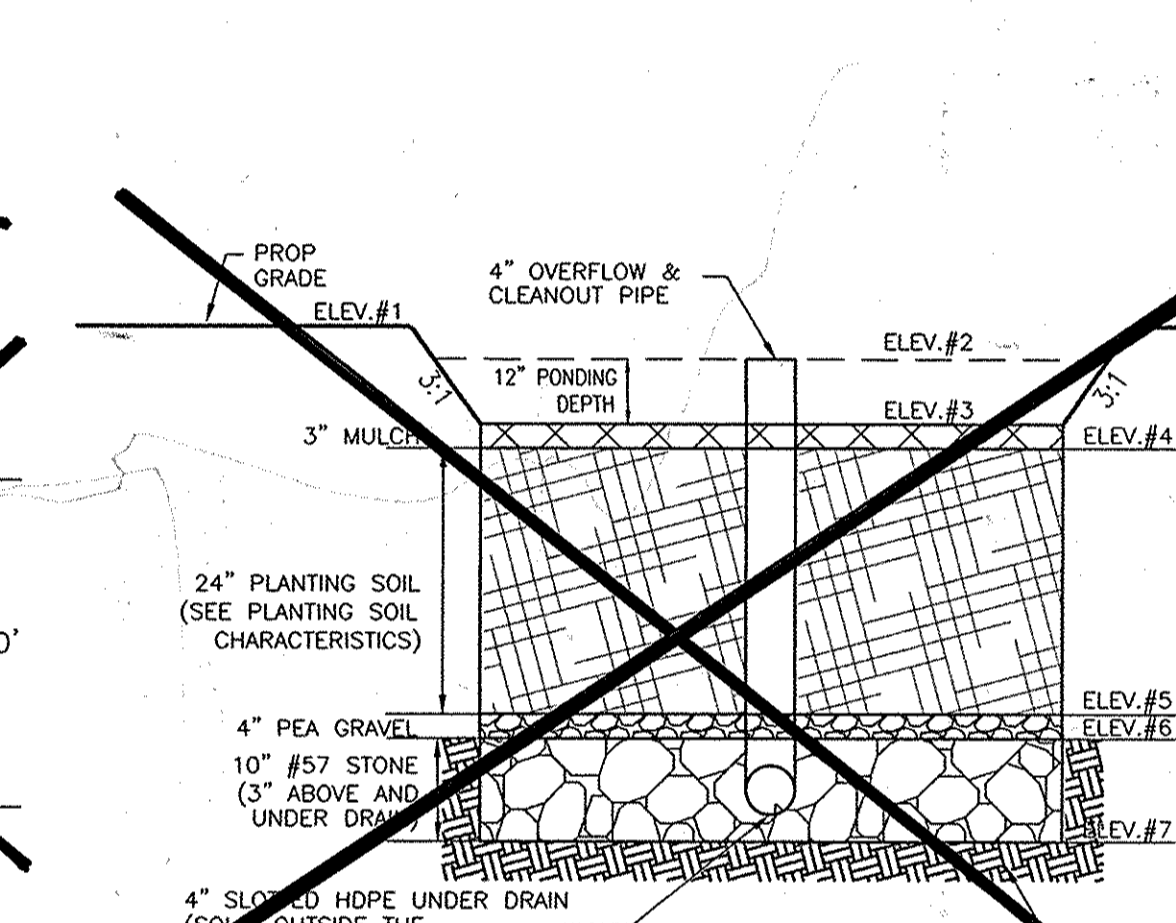
RAIN GARDEN ELEVATIONS

LOT #	RAIN GARDEN	1	2	3	4	5	6	7	4" INV.
LOT 16	Rg 1	287.74	286.75	285.75	286.56	283.50	283.17	282.34	282.59
LOT 17	Rg 1	292.00	291.75	291.50	290.50	288.50	288.17	287.34	287.59
LOT 18	Rg 1	293.00	292.75	291.75	291.50	289.50	289.17	288.34	288.59
LOT 19	Rg 1	295.80	295.55	294.55	294.30	292.30	291.97	291.14	291.39
LOT 20	Rg 1	297.80	297.55	296.55	296.30	294.30	293.97	293.14	293.39



OPERATION AND MAINTENANCE SCHEDULE FOR RAIN GARDEN AREAS

- PERMANENT MAINTENANCE OF PLANT MATERIAL, MULCH LAYER AND SOIL LAYER IS REQUIRED. MAINTENANCE OF GRASS AND SOIL IS LIMITED TO MINOR REPAIRS OF EROSION OR WASH OUT. ANY MULCH REPLACEMENT SHALL BE SAME AS THE SPRING PLANT MATERIAL SHALL BE CHECKED FOR DISEASE AND INSECT INFESTATION AND MAINTENANCE WILL BE PERFORMED AS NECESSARY. DEBRIS AND PRUNING. ACCEPTABLE REPLACEMENT PLANT MATERIAL IS LIMITED TO THE FOLLOWING: HOWARD COUNTY MARYLAND STORABLE DESIGN MANUAL VOLUME II, TABLE A.4.1 AND 2.
- SCHEDULE OF PLANT INSPECTION WILL BE TWICE A YEAR. BEFORE AND AFTER FALL. THIS INSPECTION WILL INCLUDE REMOVAL OF DEAD AND DISEASED VEGETATION CONSIDERING TREATMENT OF DISEASED TREES AND SHRUBS AND REPLACEMENT OF ALL DEFICIENT STAKES AND PILES.
- MULCH SHALL BE INSPECTED EACH SPRING. REMOVE PREVIOUS MULCH LAYER BEFORE APPLYING NEW LAYER. CHECK EVERY 2 TO 3 YEARS.
- CONSTRUCTION TO BE ADDRESSED ON AN AS NEEDED BASIS WITH A MINIMUM OF ONCE PER MONTH AND AFTER HEAVY STORM EVENTS.



APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

Chief, Development Engineering Division: *Chris Edick*, 7-3-14
 Chief, Division of Land Development: *John J. Lewis*, 7-29-14
 Director: *John J. Lewis*, 7-30-14

NOTES:
 1. DESIGN MATERIAL AND CONSTRUCTION GUIDELINES TO FOLLOW FOR GUIDELINE SPECIFICATIONS.
 2. DRAINAGE DRAIN PIPE TO DRAINAGE SMALL. USE POP-UP DRAIN IN YARD AS SHOWN OR CONNECT TO STORM SEWER.
 3. APPLY WATERPROOF MEMBRANE VERTICALLY AGAINST HOUSE FOUNDATION PRIOR TO PLACING SUBBASE AND BASE.
 4. ALL SOIL SUBGRASSES SHALL SLOPE TOWARD STREET.
 5. REUSE SOIL MAXIMUM CROSS SLOPE 0.5% MAXIMUM LENGTH/SHOULDER SLOPE 0.2% TOWARD STREET.
 6. USE SOIL BERMS FOR LONGITUDINAL SOIL SUBGRADE SLOPES EXCEEDING 2% TOWARD STREET.
 7. 2% MAXIMUM SURFACE SLOPE.
 8. THICKER SUBBASES AND/OR ADDITIONAL DRAIN PIPES MAY BE REQUIRED IF DRIVEWAY RECEIVES RUNOFF FROM ADJACENT SURFACES OR ROOFS.

Figure 16. Typical cross section detail using a dense-graded base berm as a foundation for anchoring metal or plastic edge restraints.

BUSHMAN

BUSHMAN BRT205 (205 GALLON) RAIN HARVESTING SYSTEM OR EQUIVALENT RAIN BARREL DETAIL

OPERATION AND MAINTENANCE SCHEDULE FOR PRIVATELY OWNED AND MAINTAINED RAINWATER HARVESTING (M-1)

- THE OWNER SHALL CLEAN BARRELS ON A MONTHLY BASIS AND CLEAN BARREL WITH A HOSE.
- THE OWNER SHALL VERIFY INTEGRITY OF LEAF SCREENS, GUTTERS, DOWNSPOUTS, SPIGOTS, AND MOSQUITO SCREENS, AND CLEAN AND REMOVE ANY DEBRIS.
- THE OWNER SHALL REPLACE DAMAGED COMPONENTS AS NEEDED.
- THE OWNER SHALL ALLOW THE BARREL TO DRAIN BY BOTTOM SPIGOT DURING THE WINTER SEASON.

TYPICAL RAIN BARREL DESIGN

205 GAL	= 27.41 CUFT
7.48 GAL/CUFT	
500 SF X (4")	= 27.41 CUFT
12	
12 (27.41 CUFT)	= 0.66"
500 SF	

THEREFORE A 205 GALLON BARREL CAPTURES 0.66" OF 0.66" FROM A 500 SF SECTION OF PROPOSED ROOFTOP. THE REMAINING PORTION OF THE 500 SF SECTION OF ROOFTOP IS 0.34". THIS CAN BE ACHIEVED BY A 40" DISCONNECTION OF ROOFTOP RUNOFF LENGTH.

EP HENRY PRODUCT OR EQUAL

REFER TO SHEET 3 FOR PRODUCT SPECIFICATIONS

BUSHMAN BRT205 (205 GALLON) RAIN HARVESTING SYSTEM OR EQUIVALENT RAIN BARREL DETAIL

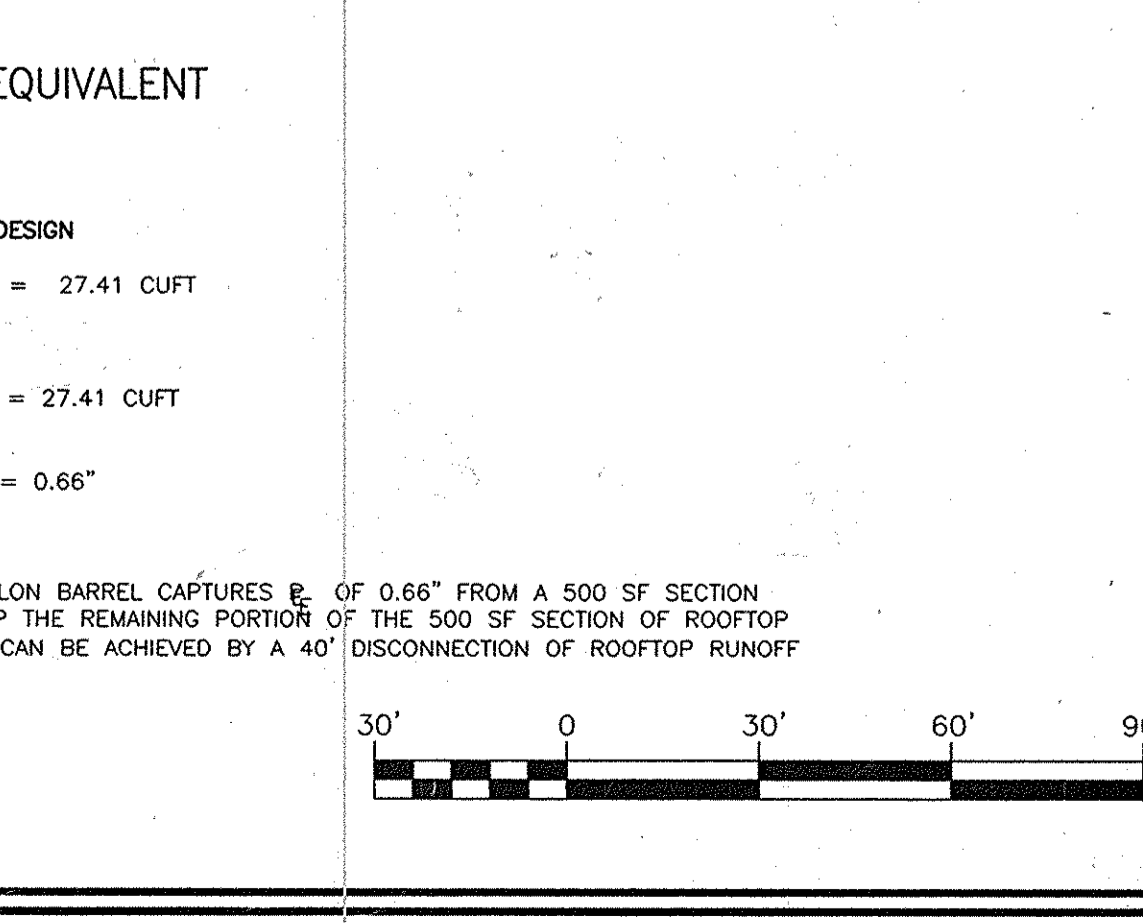
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OWNER/BUILDER
 KB HOME MARYLAND, LLC
 10800 PHOENIX BLVD, SUITE 120
 RESTON, VA 20190
 703-391-6056

DEVELOPER
 AUTUMN DEVELOPMENT CORPORATION, RONALD L. SPANH, PRESIDENT
 5401 TWIN KNOLLS ROAD, SUITE 7
 COLUMBIA, MD 21045
 (410) 465-3500

OWNER
 HENRI LEO TAYLOR WILCOX FAMILY, LLC
 MANAGING MEMBER: PETER OGDONOTH, AUTHORIZED PERSON
 11111 WOODBURN DRIVE, SUITE 100
 ELICOTT CITY, MD 21043
 (410) 465-3500

NO. 1 REMOVE RAIN GARDEN PERM CONCRETE, ADD POWER REVISION (EP HENRY DETAIL) 4/6/15 DATE

SITE DEVELOPMENT PLAN

AUTUMN OVERLOOK
 LOTS 1-20
 SINGLE FAMILY DETACHED DWELLINGS

ZONED: R-ED
 TAX MAP: 25 GRD: 14
 2ND ELECTION DISTRICT
 PARCELS: 56, 309, AND 95
 HOWARD COUNTY, MARYLAND

DPZ REF'S: SEE NOTE # 16 SHEET 1

ROBERT H. VOGEL ENGINEERING, INC.
 ENGINEERS • SURVEYORS • PLANNERS
 8407 MAIN STREET
 ELLICOTT CITY, MD 21043
 TEL: 410.461.7666
 FAX: 410.461.8961

PROFESSIONAL CERTIFICATE
 I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DAILY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 16193, EXPIRATION DATE: 09-27-2014

DESIGN BY: EDS/TJW
 DRAWN BY: TJW/LMR
 CHECKED BY: RHV
 DATE: MAY 2014
 SCALE: AS SHOWN
 W.O. NO.: 10-30

10 SHEET OF 10