

WINCOPIA FARMS

SITE DEVELOPMENT PLAN

LOT Nos. 1-6, 14-42, 60-73 and 94-100

SIXTH ELECTION DISTRICT

HOWARD COUNTY, MARYLAND

GENERAL NOTES

- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF HOWARD COUNTY PLUS MSHA STANDARDS AND SPECIFICATIONS IF APPLICABLE.
- THE CONTRACTOR SHALL NOTIFY THE BUREAU OF ENGINEERING/CONSTRUCTION INSPECTION DIVISION AT (410) 313-1880 AT LEAST FIVE (5) WORKING DAYS PRIOR TO THE START OF WORK.
- THE CONTRACTOR SHALL NOTIFY "M&S UTILITY" AT 1-800-251-7777 AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION WORK.
- PROJECT BACKGROUND:
LOCATION: SEE VICINITY MAP IN THE TOP RIGHT CORNER OF THIS SHEET.
TAX MAP: 47
ELECTION DISTRICT: 6
ZONING: R-ED PER 2-2-04 COMPREHENSIVE ZONING PLAN AND THE COMPTITE ZONING AMENDMENTS EFFECTIVE 1-20-06.
AREA OF BULIDABLE LOTS (Nos. 1-6, 14-42, 60-73, 94-100) FOR THIS SITE DEVELOPMENT PLAN: 15.5+ ACRES.
FOR OTHER SUBMISSIONS RELATED TO THIS SITE SEE HOWARD COUNTY DEPT. OF PLANNING & ZONING FILE NOS.: SP-10-009, PB340, NP-11-016, F-13-103, SDP-14-040, SDP-14-063, SDP-14-078 & SDP-14-081
- THIS PROJECT IS IN CONFORMANCE WITH THE LATEST HOWARD COUNTY STANDARDS UNLESS WAIVERS HAVE BEEN PROCESSED.
- THE SCENIC ROADS MAP INDICATES THAT GORMAN ROAD IS A SCENIC ROAD.
- THE COORDINATES SHOWN HEREON ARE BASED UPON THE HOWARD COUNTY GEODETIC CONTROL WHICH IS BASED UPON THE MARYLAND STATE PLANE COORDINATE SYSTEM. HOWARD COUNTY BENCHMARKS 47DC AND 47EB WERE USED FOR THIS PROJECT.
- ALL PLAN DIMENSIONS ARE TO THE FACE OF CURB OR FACE OF BUILDING UNLESS OTHERWISE NOTED. DIMENSIONS ARE MEASURED PERPENDICULAR OR RADIIALLY BETWEEN ITEMS UNLESS OTHERWISE NOTED.
- EXISTING TOPOGRAPHY AND FEATURES COMPILED FROM F-13-103 AND AERIAL TOPOGRAPHY PREPARED BY MCKENZIE-SNYDER DECEMBER, 2008.
- PUBLIC WATER AND SEWER SHALL BE UTILIZED (AS PROVIDED BY M&S CONTRACT Nos. 24-481-D, 24-481-D, 24-482-D, 24-482-D, 24-483-D, 24-483-D AND THE WATER METER VALVES IN OUTSIDE VAULTS).
- STORMWATER MANAGEMENT FOR THIS SITE WILL BE PROVIDED IN ACCORDANCE WITH CHAPTER 5 OF THE NIDE STORMWATER DESIGN MANUAL. BASED ON TABLE 5.3, THIS SITE HAS A TARGET PE OF 10". IN ORDER TO FULFILL THE STORMWATER MANAGEMENT REQUIREMENTS A COMBINATION OF ROOF TOP DISCONNECT (N-1), SHEET FLOW TO BUFFER (N-3), DRY WELLS (N-5), RAIN BARRELS (N-4), POROUS PAVEMENT (N-2), GRASS SWALES (N-8), MICRO-BIORETENTION (N-6), AND A SAND FILTER (N-7) WILL BE USED. ALL OF THE ESD STORMWATER DEVICES ON BUILDABLE LOTS WILL BE PRIVATELY OWNED AND MAINTAINED. ALL MICRO-BIORETENTION FACILITIES IN A PUBLIC EASEMENT AND THE SAND FILTER WILL BE JOINTLY MAINTAINED BY HOWARD COUNTY AND THE HCA. THE HCA WILL BE RESPONSIBLE FOR THE ROUTINE MAINTENANCE FOR THE POROUS SIDEWALKS. ALL "ON-LOT" STORMWATER MANAGEMENT DEVICES ARE SUBJECT TO THE RECORDED D.O.C. (Declaration of Covenant).
- FINAL DIMENSIONS AND LOCATION OF STORMWATER DEVICES TO BE SHOWN ON BUILDING PERMIT PLOT PLAN, WHEN ACTUAL HOUSE TO BE BUILT IS DETERMINED.
- NO CLEARING, GRADING OR CONSTRUCTION IS PERMITTED WITHIN THE FOREST CONSERVATION EASEMENT; HOWEVER, FOREST MANAGEMENT PRACTICES AS DEFINED IN THE DEED OF FOREST CONSERVATION EASEMENT ARE ALLOWED. REMOVAL OF VEGETATIVE COVER OR TREES, OR PLACEMENT OF NEW STRUCTURES IS NOT PERMITTED WITHIN LIMITS OF WETLANDS, STREAMS OR THEIR REQUIRED BUFFERS, AND 100 YEAR FLOODPLAIN AREAS, UNLESS PERMITTED UNDER AN APPROVED WAIVER PETITION OR DETERMINED TO BE ESSENTIAL OR NECESSARY BY DPZ.
- THIS PROJECT COMPLIES WITH THE REQUIREMENTS OF SECTION 16.10.00 OF THE HOWARD COUNTY CODE FOR FOREST CONSERVATION. THE FOREST CONSERVATION OBLIGATIONS WERE ADDRESSED UNDER F-13-103.
- MINIMUM BUILDING SETBACK RESTRICTIONS FROM PUBLIC ROADS AND PROPERTY LINES WILL BE PROVIDED IN ACCORDANCE WITH THE ZONING REGULATIONS ADOPTED JULY, 2006.
- FINANCIAL SURETY FOR THE REQUIRED LANDSCAPING (\$7500.00 AS SHOWN ON SHEET 11 TO SATISFY SECTION 16.12.4 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL) SHALL BE POSTED AS PART OF THE GRADING PERMITS FOR THE LOTS SHOWN ON THIS SDP (WHERE APPLICABLE). SEE GRADING PERMIT CHART THIS SHEET FOR MORE INFORMATION.
- THERE ARE NO WETLANDS, 100-YR FLOODPLAINS OR STREAMS ON THE BUILDABLE LOTS SHOWN ON THIS SITE DEVELOPMENT PLAN. ELSEWHERE WITHIN WINCOPIA FARMS OPEN SPACE LOTS THERE ARE WETLANDS, 100-YR FLOODPLAIN, STREAMS AND STREAM BUFFERS.
- IF DISCOVERY OF A CEMETERY IS MADE DURING CONSTRUCTION THE DEVELOPER SHALL COMPLY WITH SUBSECTION 16.10.05(A) OF THE HOWARD COUNTY CODE.
- DRIVEWAYS SHALL BE PROVIDED PRIOR TO ISSUANCE OF A USE AND OCCUPANCY PERMIT FOR ANY NEW DWELLINGS TO INSURE SAFE ACCESS FOR FIRE AND EMERGENCY VEHICLES PER THE FOLLOWING MINIMUM REQUIREMENTS:
A. WIDTH - 12' (6' SERVING MORE THAN ONE RESIDENCE)
B. SURFACE - 6" OF COMPACTED CRUSHER RUN BASE WITH TAR AND CHIP COATING (1-1/2" MIN)
C. GEOMETRY - MAX. 15% GRADE, MAX. 10% GRADE CHANGE AND MIN. 40' TURNING RADIUS
D. STRUCTURES (CULVERTS/BRIDGES) - CAPABLE OF SUPPORTING 25 GROSS TONS (125 LOADS)
E. DRAINAGE ELEMENTS - CAPABLE OF SAFELY PASSING 100-YR FLOOD WITH NO MORE THAN 1 FOOT DEPTH OVER DRIVEWAY SURFACE.
F. MAINTENANCE - SUFFICIENT TO INSURE ALL WEATHER USE.
- FOR FLAG AND PIPESTEM LOTS, REFUSE COLLECTION, SNOW REMOVAL AND ROAD MAINTENANCE ARE PROVIDED TO THE JUNCTION OF THE FLAG OR PIPESTEM AND ROAD RIGHT-OF-WAY LINE AND NOT ONTO THE PIPESTEM LOT DRIVEWAY.
- ANY DAMAGE TO THE ADJACENT COUNTY OWNED RIGHT-OF-WAY AND PROPERTY SHALL BE CORRECTED AT THE CONTRACTOR'S EXPENSE.
- BUILDABLE LOTS SHOWN HEREON SHALL HAVE A PUBLIC EASEMENT ADJACENT TO THE PUBLIC ROAD RIGHT OF WAY, FOR THE PURPOSES OF SIDEWALK MAINTENANCE, WATER HOUSE CONNECTION AND SEWER HOUSE CONNECTION.
- IN ACCORDANCE WITH SECTION 12B OF THE HOWARD COUNTY ZONING REGULATIONS, BAY WINDOWS, CHIMNEYS OR EXTERIOR STAIRWAYS NOT MORE THAN 16 FEET IN WIDTH MAY PROJECT NOT MORE THAN 4 FEET INTO ANY SETBACKS, PORCHES, OR DECKS, OPEN OR ENCLOSED MAY PROJECT NOT MORE THAN 10 FEET INTO THE FRONT OR REAR YARD SETBACK.
- A WAIVER OF THE 10-FOOT MINIMUM HORIZONTAL CLEARANCE REQUIREMENT PER DIVISION SECTION 5.4.95 AND REDUCTION OF THE CLEARANCE REQUIREMENT TO 3.0 FEET BETWEEN THE WATER EASEMENT LINE AND THE CORNER OF THE HOME ON LOT 1B WAS APPROVED BY THE DEPARTMENT OF PUBLIC WORKS ON SEPTEMBER 3, 2014.

LOT DEVELOPMENT DATA

- GENERAL SITE ANALYSIS DATA
 - PRESIDENT ZONING: R-ED PER 2-2-04 COMPREHENSIVE ZONING PLAN AND THE COMPTITE ZONING AMENDMENTS EFFECTIVE 1-20-06.
 - PROPOSED USE OF SITE: 56 SFD RESIDENTIAL DWELLINGS
 - PUBLIC WATER & SEWER TO BE UTILIZED (CONTR. Nos. 24-461-D, 24-481-D, 24-482-D, 24-483-D, 24-484-D & 24-485-D)
 - PARKING REQUIRED AND PROVIDED: SEE CHART BELOW.
 - RECREATION OPEN SPACE FOR THIS SDP IS ADDRESSED UNDER F-13-103 (SEE OVERALL OPEN SPACE PROVISION CHART ON THIS SHEET).
- AREA TABULATION
 - AREA OF BUILDABLE LOTS FOR THIS SUBMISSION: 613,172.1 SF OR 15.5+ AC.
 - AREA OF THIS PLAN SUBMISSION: 16,421 ACRES (L.O.D.)
 - AREA OF DISTURBANCE BY THIS SDP: 16,421 ACRES

SINGLE FAMILY ATTACHED PARKING ANALYSIS

NUMBER OF SINGLE-FAMILY DETACHED LOTS FOR THIS SDP = 56

REQUIRED PARKING (8 2 SPACES PER UNIT) = 112 SPACES

REQUIRED OVERFLOW PARKING (8 0.5 SPACES/UNIT PER DMV 3, TABLE 211) = 28 SPACES

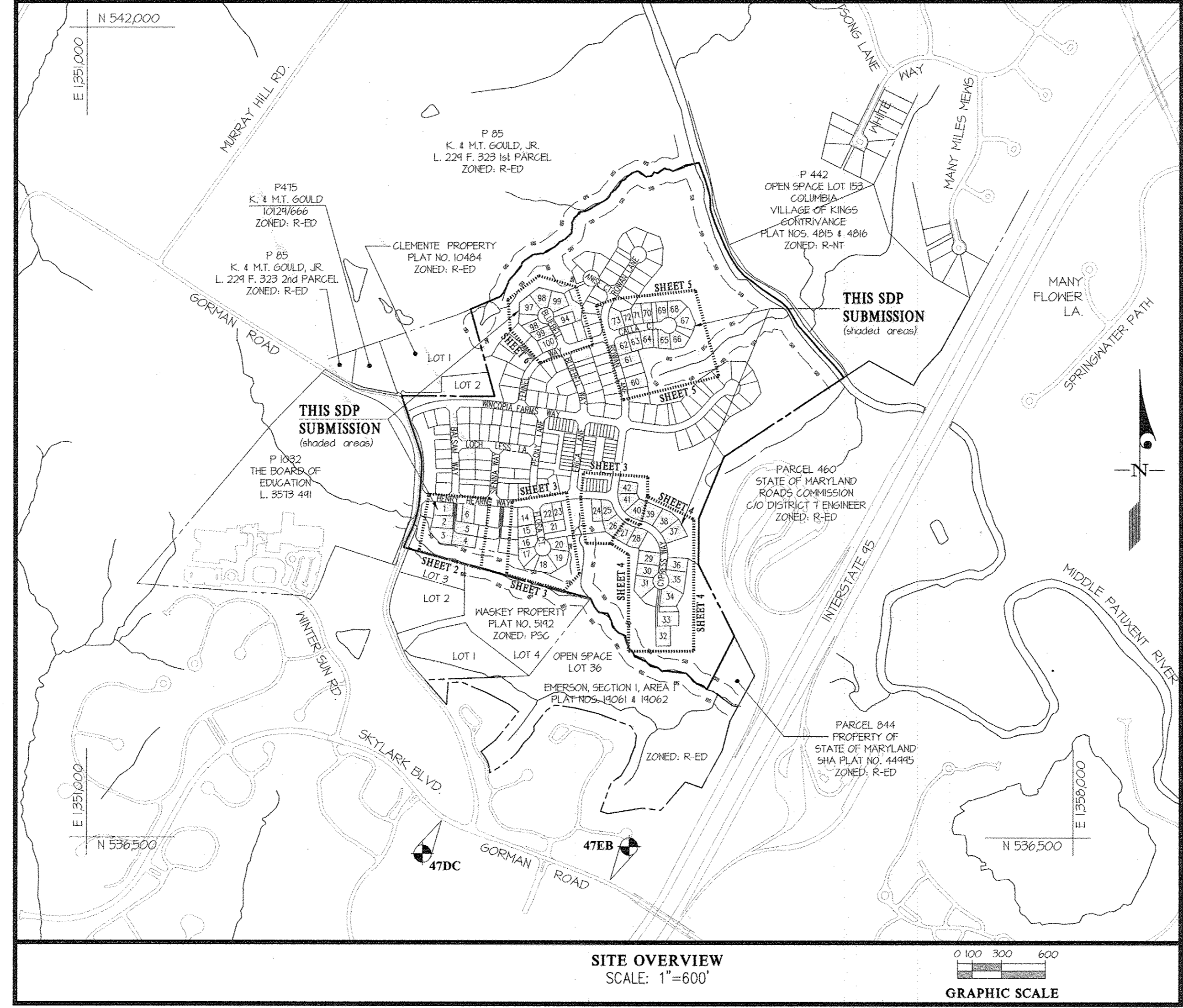
TOTAL REQUIRED SPACES = 140 SPACES

PARKING PROVIDED:

4 SPACES/UNIT (2 GARAGE & 2 DRIVEWAY) = 224 SPACES

LOT INFORMATION

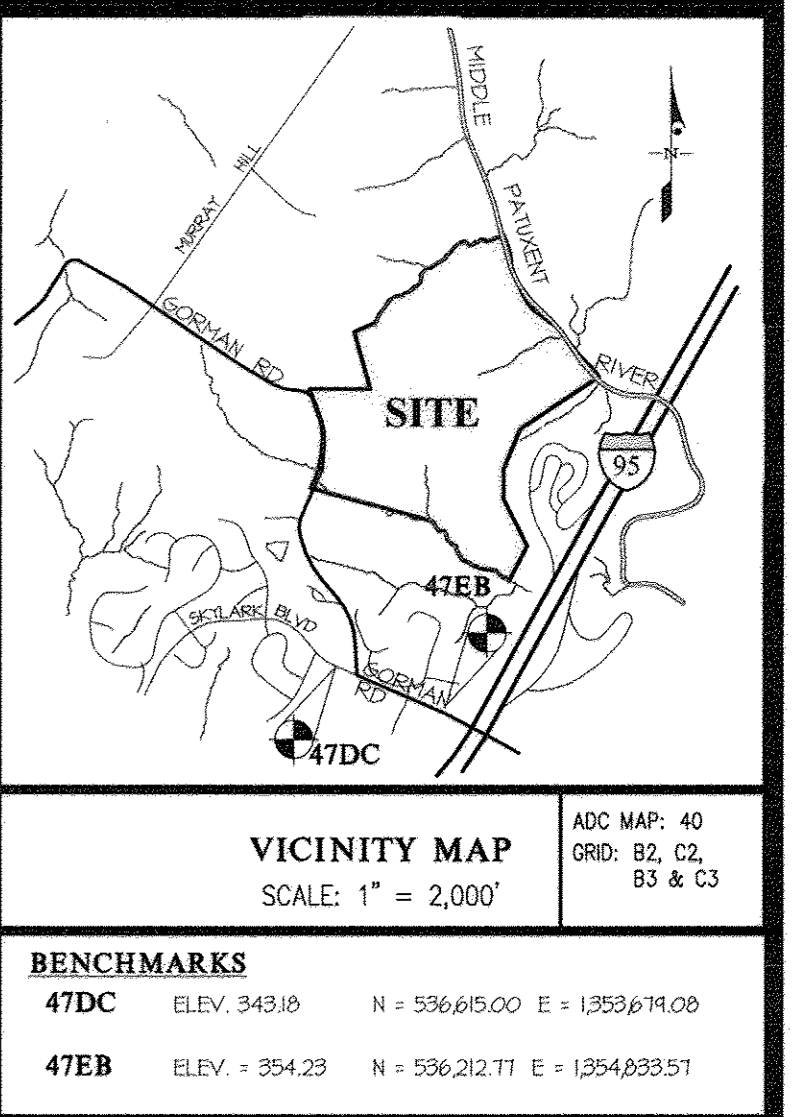
LOT TYPE	LOTS	MINIMUM LOT SIZE	MIN. LOT WIDTH AT FRONT BDL
SINGLE FAMILY DETACHED	1-6, 14-42, 60-73, 94-100	6,000 SQUARE FEET	50'



THIS PLAN HAS BEEN SET UP TO ALLOW FOR MULTIPLE GRADING PERMITS. THE LOTS FOR EACH GRADING PERMIT ARE GROUPED AS FOLLOWS:

LOT GROUPS	DISTURBED AREA	LANDSCAPE SURETY AMOUNT	LANDSCAPE INSPECTION FEES PAID
1-6, 14-26, 41 & 42	5.891 AC	\$ 4,050.00	\$ 100.00
21-40	4.821 AC	\$ 0.00	\$ 0.00
60-73 & 94-100	5.771 AC	\$ 3,450.00	\$ 100.00
TOTAL	16.421 AC	\$ 7,500.00	\$ 200.00

WITHIN 1 YEAR OF SIGNATURE APPROVAL OF THIS SDP BY THE DIRECTOR OF DPZ, THE BUILDER SHALL APPLY TO THE DEPARTMENT OF INSPECTIONS, LICENSES AND PERMITS FOR BUILDING PERMITS TO INITIATE THE CONSTRUCTION ON THIS SDP. THE BUILDER SHALL APPLY FOR BUILDING PERMITS FOR ALL CONSTRUCTION AUTHORIZED ON THIS SDP WITHIN 2 YEARS OF ITS APPROVAL.



RECREATIONAL OPEN SPACE CHART

TYPE	CRITERIA	REQUIRED	PROVIDED	WHERE PROVIDED
RECREATIONAL OPEN SPACE	400 SF PER SFA LOT X 44 LOTS	17,600 SF (0.45 AC.)	---	---
RECREATIONAL OPEN SPACE	300 SF PER SFD LOT X 171 LOTS	51,300 SF (1.18 AC.)	---	---
TOTAL	---	70,900 SF (1.63 AC.)	6.75 AC.	OS LOTS 221 AND 250

SETBACK REQUIREMENTS

SETBACK TYPE	SETBACK
	SINGLE FAMILY DETACHED
PROJECT BOUNDARY	30'
EXTERNAL PUBLIC R/W	75'
FRONT/SIDE ON INTERNAL PUBLIC R/W	20'
FRONT (PRINCIPAL STRUCTURE)	20'
SIDE (PRINCIPAL STRUCTURE)	75'
REAR (PRINCIPAL STRUCTURE)	25'
FACE TO FACE	N/A
FACE TO SIDE / REAR TO SIDE	N/A
SIDE TO SIDE	N/A
REAR TO REAR	N/A
REAR TO FACE	N/A

SHEET INDEX

- COVER SHEET
- SITE DEVELOPMENT PLAN
- SITE DEVELOPMENT PLAN
- SITE DEVELOPMENT PLAN
- SITE DEVELOPMENT PLAN
- SITE DEVELOPMENT PLAN
- SITE DETAILS
- SEDIMENT CONTROL PLAN
- SEDIMENT CONTROL PLAN
- SEDIMENT CONTROL PLAN
- LANDSCAPE PLAN

ADDRESS CHART

LOT NO.	STREET ADDRESS	LOT NO.	STREET ADDRESS
1	9804 HENRY HEARN WAY	37	9455 CYPRESS WAY
2	9808	38	9451
3	9812	39	9447
4	9816	40	9443
5	9820	41	9439
6	9826 HENRY HEARN WAY	42	9435 CYPRESS WAY
14	9850 HENRY HEARN WAY	60	10010 ROWAN LANE
15	9806 FLORA COURT	61	10018 ROWAN LANE
16	9810	62	10022 ROWAN LANE
17	9814	63	10010 Calla Court
18	9818	64	10014
19	9822	65	10020
20	9826	66	10024
21	9830 FLORA COURT	67	10028
22	9834 FLORA COURT	68	10032
23	9838 HENRY HEARN WAY	69	10036
24	9842 HENRY HEARN WAY	70	10040
25	9846 HENRY HEARN WAY	71	10044
26	9850 CYPRESS WAY	72	10048
27	9854	73	10052 CALLA COURT
28	9858		
29	9862		
30	9866	94	10034 BLUEBELL WAY
31	9870	95	10038
32	9874	96	10042
33	9878	97	10046
34	9882	98	10050
35	9886	99	10054 BLUEBELL WAY
36	9890	100	10058 FENNEL WAY

PERMIT INFORMATION CHART

WATER CODE:		SEWER CODE:	
E21		7615000	
DEVELOPMENT NAME:		DISTRICT/AREA:	
WINCOPIA FARMS		1-6, 14-42, 60-73 & 94-100	
LOT NO.		CENSUS TRACT	
1-6, 14-42, 60-73 & 94-100		6000.06	
PLAT	ZONE	TAX MAP	GRD
P.N. 22732-22752	R-ED	47	3
ELEC. DIST.		SCALE	
6		AS SHOWN	
ZONING		G. L. W. FILE No.	
R-ED		11067	
DATE		TAX MAP - GRID	
August 2014		47 - 3	
SHEET		1 OF 11	

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

Director: *[Signature]* Date: 9/20/14

Chief, Division of Land Development: *[Signature]* Date: 9-30-14

Chief, Development Engineering Division: *[Signature]* Date: 9-24-14

GLW GUTSCHICK LITTLE & WEBER, P.A.
 CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
 3909 NATIONAL DRIVE - SUITE 250 - BURTONTOWN, MARYLAND 20686
 TEL: 301-421-4024 FAX: 301-421-4188

DATE	REVISION	BY	APP'R
8-16-17	Update address for Lot 1b	gt	kjp
8-22-16	Update address chart	gt	kjp
8-26-15	Revise address for Lots 22 and 25	gt	kjp

PREPARED FOR:
 PROPERTY OWNER (SELLER): BEAZER HOMES CORP., 8965 GULLFORD ROAD, SUITE 290, COLUMBIA, MD 21046, PH: 410-381-3222, ATTN: BRIAN KNAUFF

BUILDER (CONTRACT PURCHASER): NVR INC., 9720 PATUXENT WOODS DR., COLUMBIA, MD 21046, PH: 410-379-5656, ATTN: TIM NAUGHTON

PROFESSIONAL CERTIFICATION
 I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 12275.
 EXPIRATION DATE: May 26, 2016

9-10-14 *[Signature]*

COVER SHEET

WINCOPIA FARMS
 LOT Nos. 1-6, 14-42, 60-73 and 94-100
 (SFD RESIDENTIAL USE)
 PLAT Nos. 22732-22752

HOWARD COUNTY, MARYLAND

SITE DEVELOPMENT PLAN LEGEND

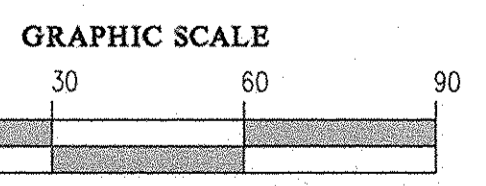
- 350 --- EXISTING CONTOUR
- 300 --- PROPOSED CONTOUR
- • • • • LIMIT OF GRADING DISTURBANCE
- EXISTING PAVING
- EXISTING CURB & GUTTER
- METER VAULT
- 1 1/2" WATER HOUSE CONNECTION (PVC, DASHED LINE TYP.)
- WATER LINE (PUBLIC)
- FIRE HYDRANT
- EX. 8" S. EXISTING SEWER MAIN (DASHED LINE)
- EX. 8" S. SEWER HOUSE CONNECTION (S.H.C., SOLID LINE)
- EX. 50" EXISTING STORM DRAIN
- ROOF LEADER (TYP.)
- DRYWELL (DETAILS 1/6) (7'x7'x5' UNLESS OTHERWISE NOTED ON PLAN)
- 200 GALLON MANUFACTURED RAIN BARREL (DETAIL 2/6)
- POSSIBLE ROOFTOP DISCONNECT (TO BE FINALIZED AT PLOT PLAN STAGE)
- 75' SFB SHEET FLOW THRU BUFFER
- FOREST MALK PER F-13-103
- EASEMENT AREA (SHADED)
- POROUS DRIVEWAY (DETAIL 3/6)
- NON-POROUS DRIVEWAY (DETAIL 4/6)
- PROPOSED HOUSE
- FFE = FINISHED FLOOR ELEVATION
- BSE = BASEMENT F.F.E. ELEVATION
- REV = REVERSED HOUSE ORIENTATION
- GAR = GARAGE (IF FRONT, B-BACK)
- TOM = TOP OF FOUNDATION WALL
- K.O.B. = WALK OUT BASEMENT
- BRL BUILDING RESTRICTION LINE
- FCE FOREST CONSERVATION EASEMENT
- SB 75' STREAM BUFFER
- FP FLOODPLAIN EASEMENT
- TP TRANSFORMER PAD
- EXISTING LIGHT POLE
- SWM-1 SOIL BORING

DRIVEWAYS FOR LOTS 3, 4, 5 & 33 TO BE NON-POROUS, ALL OTHER DRIVEWAYS TO BE POROUS PER F-13-103.

- NOTES:**
- ALL FENCES, GARDEN WALLS, STOOPS AND STEPS ALONG THE R.M. SHALL BE LOCATED BEHIND THE PUBLIC SIDEWALK EASEMENT.
 - BRICK POINT ALL BUILDING CONSTRUCTION UNLESS NOTED OTHERWISE.
 - ALL PAV'G TO THE SUBJECT LOTS OF THIS SFP ARE 1 1/2" PER CONTRACT Nos. 24-464-D, 24-462-D, 24-463-D & 24-465-D AND THE WATER METER VAULTS ARE IN THE R.O.M.
 - SEE THE CHART ON SHEETS 2-6 FOR SHC INFORMATION. CONTRACTOR SHALL CHECK AND VERIFY THE SEWER HOUSE ELEVATIONS AT THE PROPERTY LINE PRIOR TO CONSTRUCTION.
 - ALL BUILDING WALLS WITHIN 10' OF A BSE TRANSFORMER PAD SHALL BE CONSTRUCTED FOR A MINIMUM FIRE RESISTANCE RATING OF 3 HOURS.
 - THE STEPS AT THE FRONT LEAD WALK CAN BE BROKEN UP INTO TWO SETS DEPENDING ON THE SPECIFIC HOUSE AND ELEVATION SELECTED.
 - DRIVEWAY APRONS PER DPM R-6.01 AND R-6.03.
 - ON-LOT ESD STORMWATER DEVICES (DRYWELL, RAIN BARRELS, ROOF TOP DISCONNECT, ETC.) SHOWN ON THIS SFP ARE CONCEPTUAL IN NATURE BECAUSE "GENERIC BOXES" ARE SHOWN INSTEAD OF ACTUAL HOUSES. THEREFORE, THE APPLICABLE ON-LOT ESD DEVICES SHALL BE FINALIZED AND SUBMITTED (ALONG WITH ANY NECESSARY COMPUTATIONS) AS PART OF THE BUILDING PERMIT PLOT PLAN PACKAGE FOR AN ACTUAL HOUSE TO BE PERMITTED FOR CONSTRUCTION. FINAL ESD INFORMATION TO BE INCLUDED, AS APPLICABLE, WITH THE BUILD PERMIT PLOT PLAN PACKAGE ARE AS FOLLOWS:
 - ROOF TOP DISCONNECT (N-1): DISCONNECT LENGTH FROM DOWN SPOUTS.
 - RAIN BARRELS (M-1): LOCATION OF THE 200-GALLON BARREL AT BOTTOM OF A DOWN SPOUT.
 - POUROUS DRIVEWAY (A-2): FINAL SIZE (L/W/D) OF THE STONE STORAGE REGION.
 - DRYWELLS (M-2): FINAL SIZE (L/W/D) AND LOCATION DIMENSIONS OF EACH DRYWELL, SERVICE ELEVATIONS, INVERT VALVES AND PIPE SYSTEM CONNECTING DOWNSPOUTS TO DRYWELL TO BE SHOWN. THE TOTAL ROOF AREA DRAINING TO AN INDIVIDUAL DRYWELL CANNOT EXCEED 1000 S.F.

LOT	M.C.E.
1	334.60
2	330.25
3	327.15
4	322.12
5	321.40
6	337.10

NOTE: ALL SEWER HOUSE CONNECTIONS ARE 4".



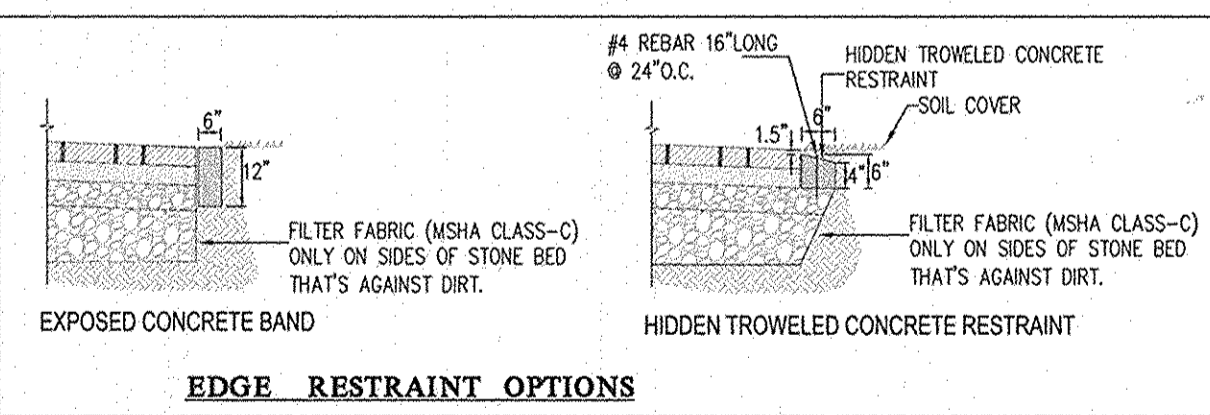
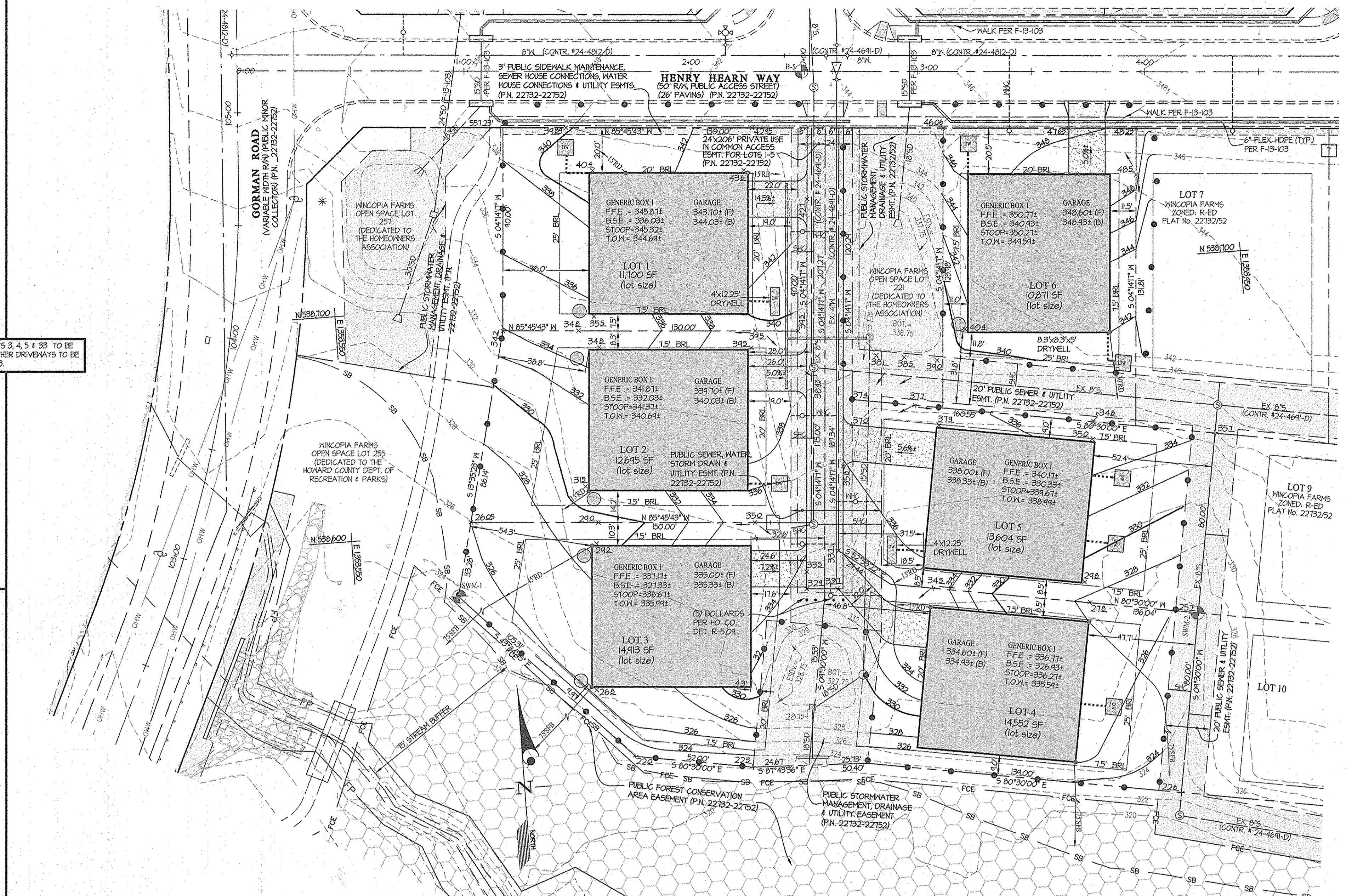
APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

Mark A. Gough 6/23/15
Director Date

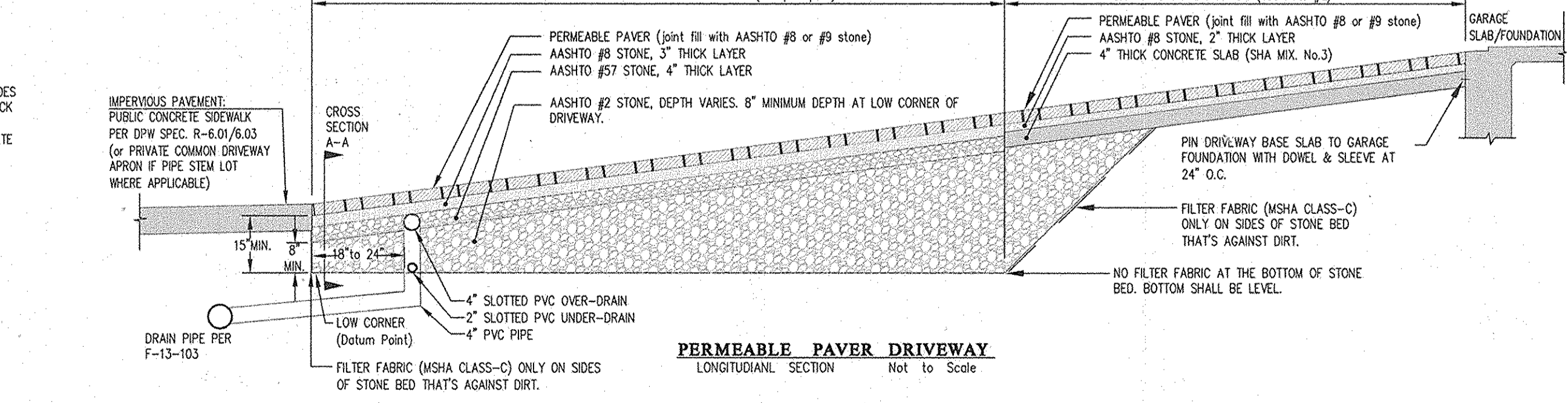
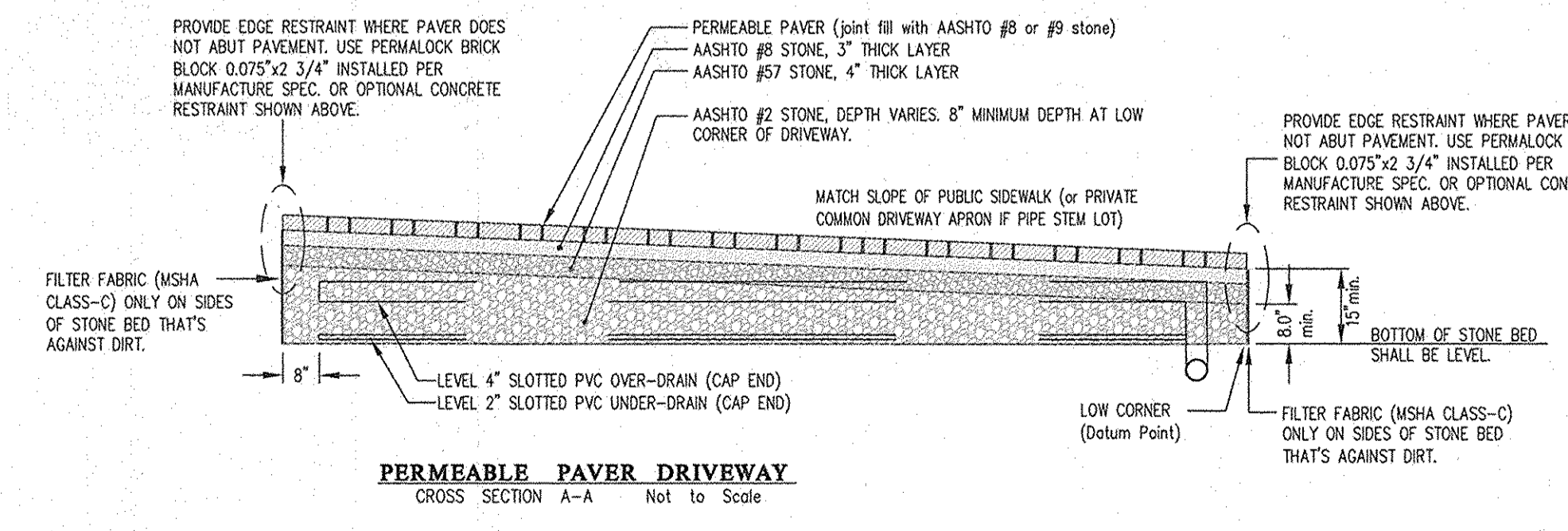
Ketshalaiah 6-23-15
Chief, Division of Land Development Date

Ed Eshen 6-19-15
Chief, Development Engineering Division Date

GLW GUTSCHICK LITTLE & WEBER, P.A.
CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
3909 NATIONAL DRIVE - SUITE 250 - BURTNSVILLE OFFICE PARK
BURTNSVILLE, MARYLAND 20866
TEL: 301-421-4024 BALT: 410-880-1820 DC/WA: 301-889-2524 FAX: 301-421-4186



- NOTES:**
- THE PERMEABLE PAVEMENT FOR WINCOPIA FARMS IS HANOVER PERMEABLE 4' x 4' (4' x 4' x 3") MANUFACTURED BY HANOVER ARCHITECTURAL PRODUCTS (www.hanoverproducts.com).
 - THE 10'-FT IMPERVIOUS DRIVEWAY PORTION IS MEASURED FROM THE MOST FORWARD BUILDING FOUNDATION. IF A GARAGE IS RECESSED BEHIND THE FRONT BASEMENT FOUNDATION WALL, THEN THE 10'-FT IS MEASURED FROM THE FRONT BASEMENT FOUNDATION WALL.
 - FOR USE AS AN ALTERNATE TO THE PRIVATE POROUS CONCRETE DRIVEWAY SECTION DETAILS 3 SHOW ON SHEET 6.



DATE	REVISION	BY	APP'R.
May 2015	Add permeable paver details; Add note for all driveways to be porous, except for Lots 3, 4, 5 and 33.		

PREPARED FOR:

PROPERTY OWNER (SELLER): BEAZER HOMES CORP., 8855 GULFORD ROAD, SUITE 290, COLUMBIA, MD 21046, PH: 410-381-3222, ATTN: BRIAN KNAUFF

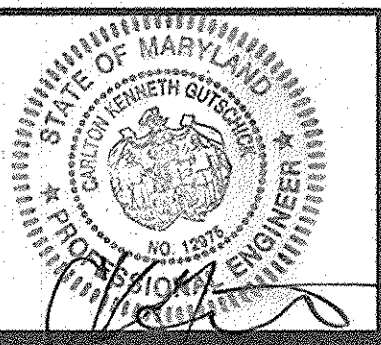
BUILDER (CONTRACT PURCHASER): WVR INC., 9720 PATUXENT WOODS DR., COLUMBIA, MD 21046, PH: 410-370-5556, ATTN: TIM MAUGHTON

PROFESSIONAL CERTIFICATION

I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 12876.

EXPIRATION DATE: May 26, 2016

6/16/15



(REVISED) SITE DEVELOPMENT PLAN

WINCOPIA FARMS
LOT Nos. 1-6, 14-42, 60-73 and 94-100
(STD RESIDENTIAL USE)
PLAT Nos. 22732-22752

SCALE: 1" = 30'

ZONING: R-ED

G. L. W. FILE No.: 11067

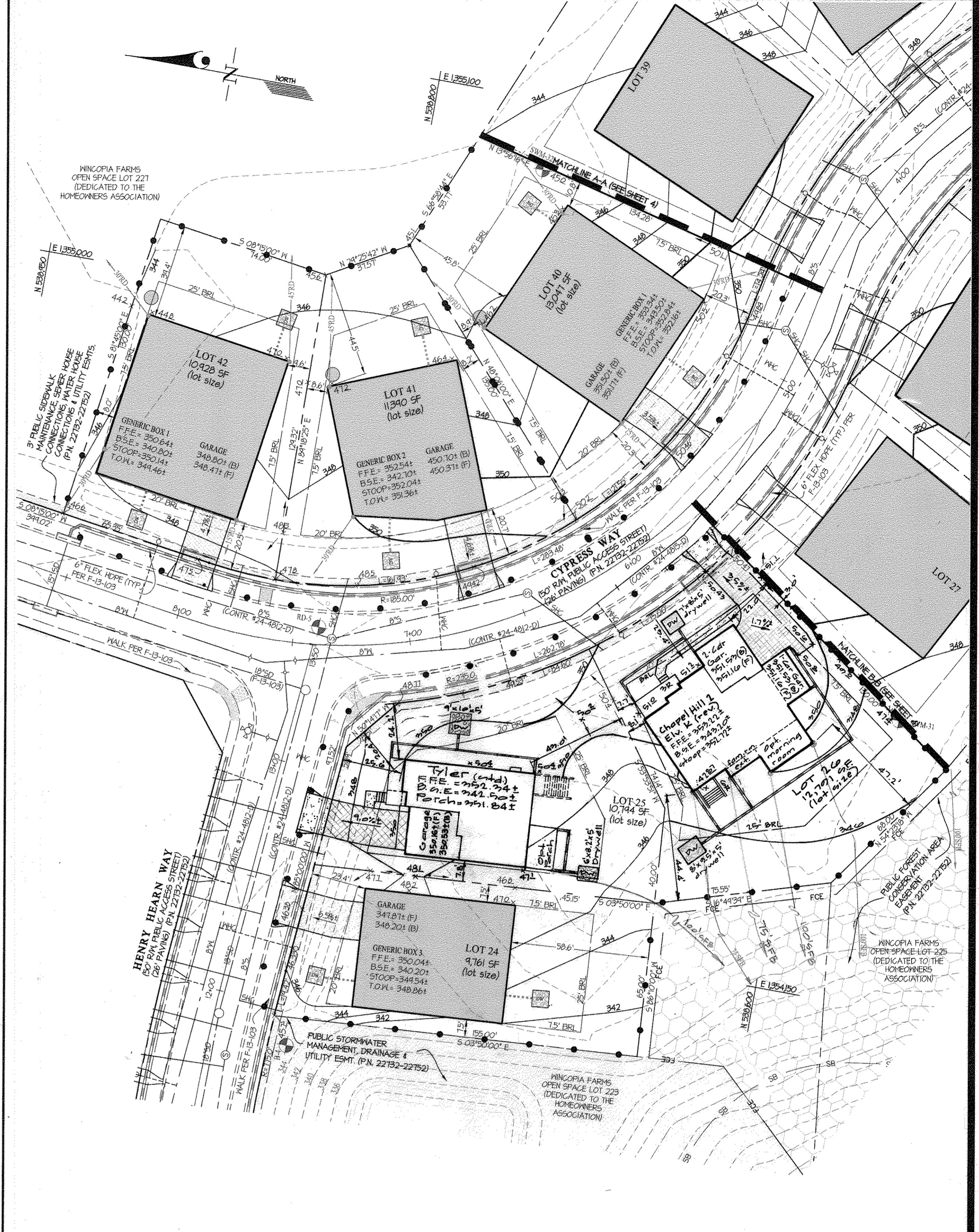
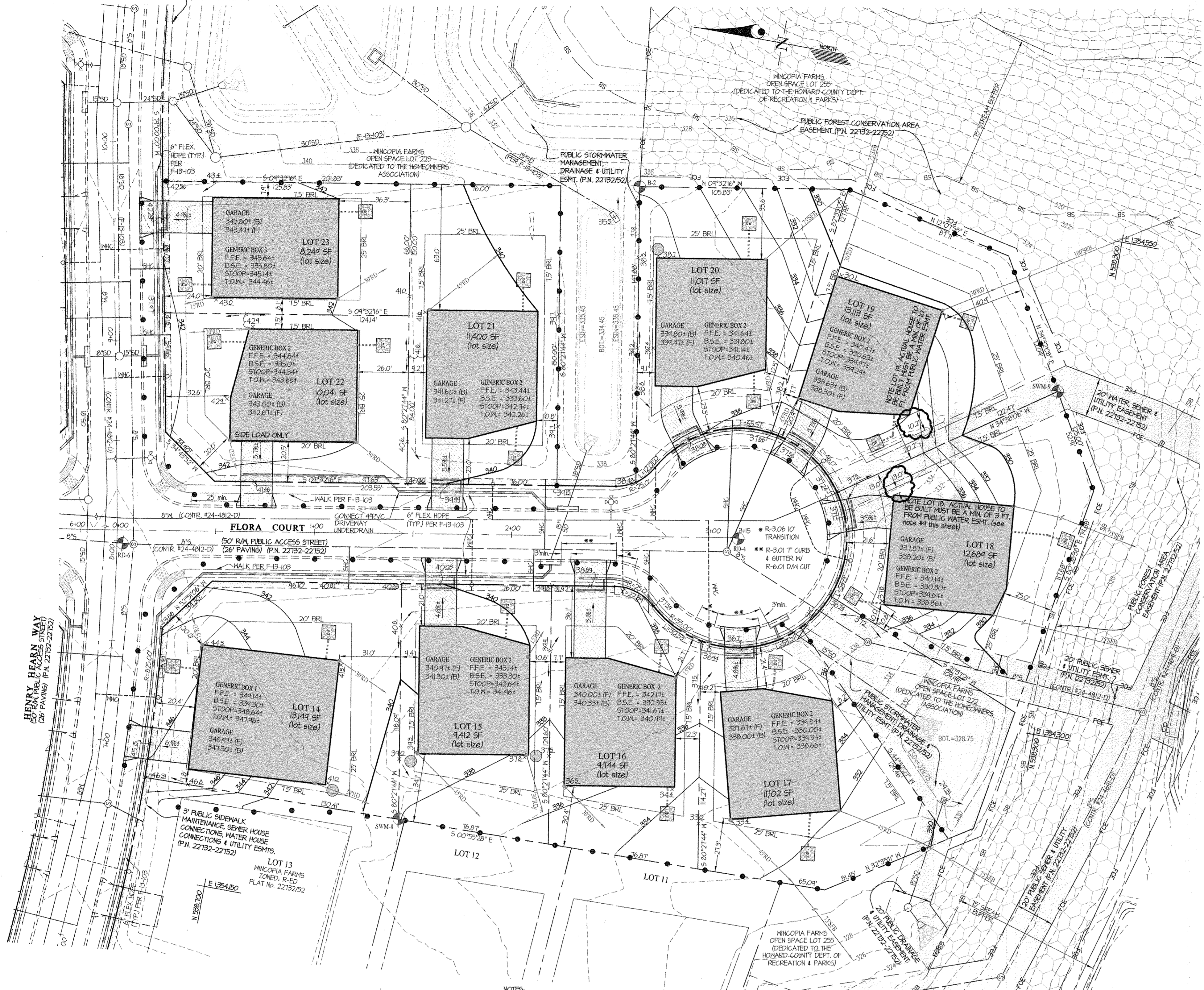
DATE: August 2014

TAX MAP - GRID: 47 - 3

SHEET: 2 OF 11

HOWARD COUNTY, MARYLAND

3' PUBLIC SIDEWALK MAINTENANCE, SEWER HOUSE CONNECTIONS, WATER HOSE CONNECTIONS & UTILITY ESMTS. (P.N. 22732-22752)



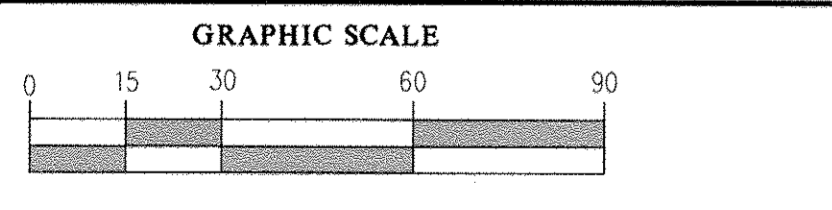
NOTES:

- ALL FENCES, GARDEN WALLS, STOOPS AND STEPS ALONG THE R/W SHALL BE LOCATED BEHIND THE PUBLIC SIDEWALK EASEMENT.
- BRICK POINT ALL BUILDING CONSTRUCTION UNLESS NOTED OTHERWISE.
- ALL INHC'S TO THE SUBJECT LOTS OF THIS SDP ARE 1 1/2" PER CONTRACT Nos. 24-4611-D, 24-4612-D, 24-4613-D & 24-4615-D AND THE WATER METER VAULTS ARE IN THE R.O.W.
- SEE THE CHART ON SHEETS 2-6 FOR SHG INFORMATION. CONTRACTOR SHALL CHECK AND VERIFY THE SEWER HOUSE ELEVATIONS AT THE PROPERTY LINE PRIOR TO CONSTRUCTION.
- ALL BUILDING WALLS WITHIN 10' OF A BGE TRANSFORMER SHALL BE CONSTRUCTED FOR A MINIMUM FIRE RESISTANCE RATINGS OF 3 HOURS.
- THE STEPS AT THE FRONT LEAD WALK CAN BE BROKEN UP INTO TWO SETS DEPENDING ON THE SPECIFIC HOUSE AND ELEVATION SELECTED.
- DRIVEWAY APRONS PER DPM R-6.01 AND R-6.03.
- ON-LOT ESD STORMWATER DEVICES (DRYWELL, RAIN BARRELS, ROOF TOP DISCONNECT, ETC.) SHOWN ON THIS SDP ARE CONCEPTUAL IN NATURE BECAUSE "GENERIC BOXES" ARE SHOWN INSTEAD OF ACTUAL HOUSES. THEREFORE, THE APPLICABLE ON-LOT ESD DEVICES SHALL BE FINALIZED AND SUBMITTED (ALONG WITH ANY NECESSARY COMMITMENTS) AS PART OF THE BUILDING PERMIT PLOT PLAN PACKAGE FOR AN ACTUAL HOUSE TO BE PERMITTED FOR CONSTRUCTION. FINAL ESD INFORMATION TO BE INCLUDED, AS APPLICABLE, WITH THE BUILD PERMIT PLOT PLAN PACKAGE ARE AS FOLLOWS:
 - ROOF TOP DISCONNECT (M-1): DISCONNECT LENGTH FROM DOWN SPOUTS.
 - RAIN BARRELS (M-1): LOCATION OF THE 200-GALLON BARREL AT BOTTOM OF A DOWN SPOUT.
 - BOURBOIS DRIVEWAY (A-2): FINAL SIZE (I/W/D) OF THE STONE STORAGE REGION.
 - DRY WELLS (M-5): FINAL SIZE (I/W/D) AND LOCATION DIMENSIONS OF EACH DRYWELL. GERMANE ELEVATIONS, INVERT VALUES AND PIPE SYSTEM CONNECTING DOWNSPOUTS TO DRYWELL TO BE SHOWN. THE TOTAL ROOF AREA DRAINING TO AN INDIVIDUAL DRYWELL CANNOT EXCEED 1,000 SF.
- A MAJORITY OF THE 10-FOOT MINIMUM HORIZONTAL CLEARANCE REQUIREMENT PER DPM SECTION 5.4.B5 AND REDUCTION OF THE CLEARANCE REQUIREMENT TO 3.0 FEET BETWEEN THE WATER EASEMENT LINE AND THE CORNER OF THE HOME ON LOT 18 WAS APPROVED BY THE DEPARTMENT OF PUBLIC WORKS ON SEPTEMBER 3, 2014.

SEWER HOUSE CONNECTIONS MINIMUM CELLAR ELEVATIONS & INVERT ELEVATION @ P.L.			
LOT	M.G.E.	LOT	M.G.E.
24	338.62	40	342.35
25	339.06	41	339.56
26	341.85	42	339.12

NOTE: ALL SEWER HOUSE CONNECTIONS ARE 4"

Driveways For Lots 2, 4, 5, 19, 23 to be non-parcels. All other driveways to be parcels per F-12-103.



SEWER HOUSE CONNECTIONS MINIMUM CELLAR ELEVATIONS & INVERT ELEVATION @ P.L.	
LOT	M.C.E.
14	335.70
15	330.61
16	324.15
17	328.84
18	321.70
19	330.00
20	330.00
21	331.00
22	334.18
23	333.44

NOTE: ALL SEWER HOUSE CONNECTIONS ARE 4"

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
 Director: *Mark A. Loyola* Date: 9/20/14
 Chief, Division of Land Development
 Chief, Development Engineering Division: *Chad Elmer* Date: 9/24/14

GLW GUTSCHICK LITTLE & WEBER, P.A.
 CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
 3909 NATIONAL DRIVE - SUITE 250 - BURTONTVILLE OFFICE PARK
 BURTONTVILLE, MARYLAND 20866
 TEL: 301-421-4024 FAX: 301-989-2524 FAX: 301-421-4186

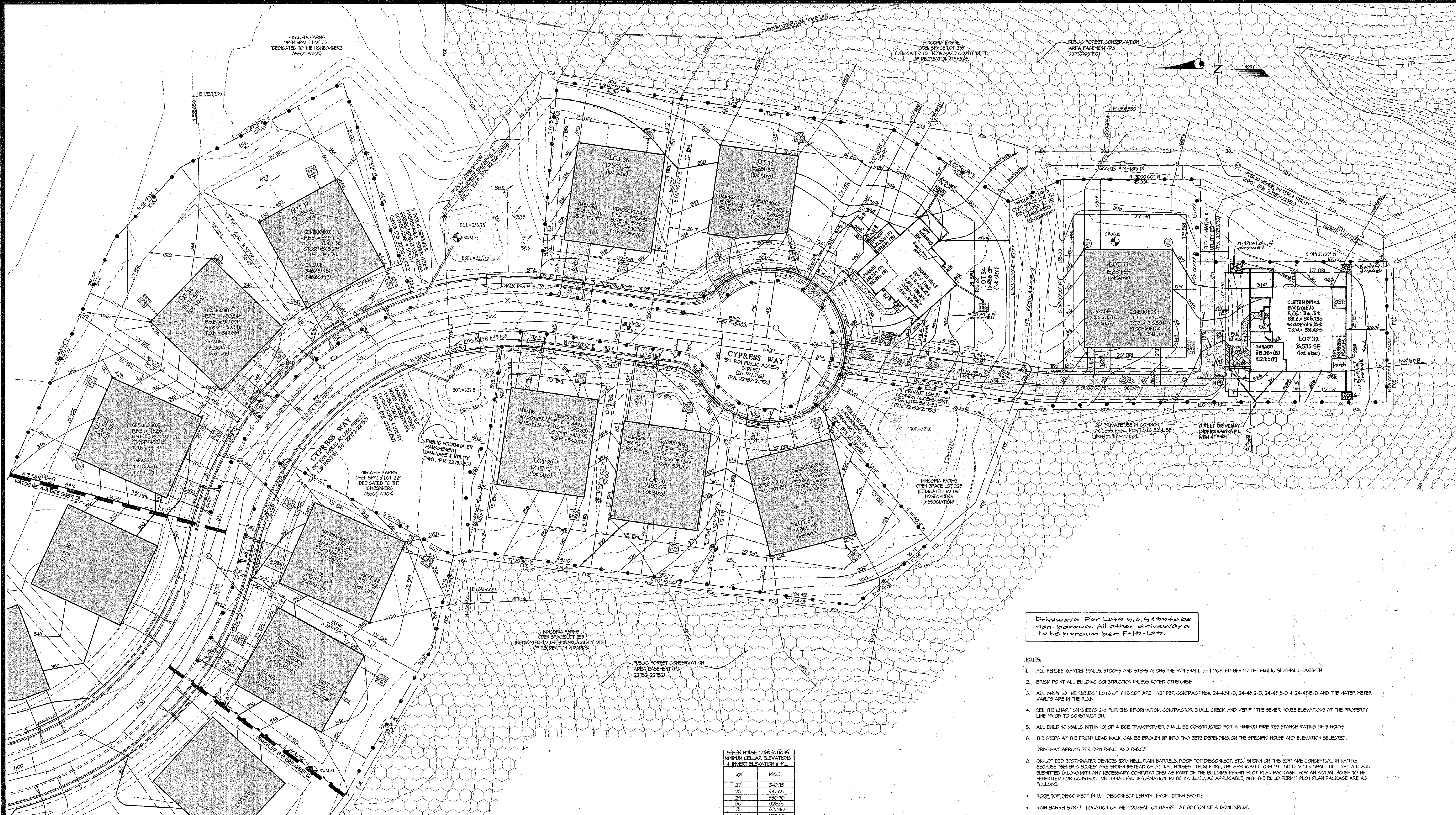
DATE	REVISION	BY	APP'R
8-16-17	Revise Lot 15 with a Tyler with Drive off Henry Hearn Way	gt	klw
8-14-16	Revise Lot 12 w/ the Chapel Hill 2 & 1 car side attached garage	gt	klw
8-25-15	Add notes for driveways to be parcels except for lots 2, 3, 4, 5 & 23.	gt	klw

PREPARED FOR:
 PROPERTY OWNER (SELLER):
 BRADY HOMES CORP.
 8965 GILFORD ROAD
 SUITE 290
 COLUMBIA, MD 21046
 PH: 410-381-3222
 ATTN: BRIAN KNAUFF

PROFESSIONAL CERTIFICATION
 I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 12975.
 EXPIRATION DATE: 09/28/2016
 9-10-14 *CLW*

SITE DEVELOPMENT PLAN
WINCOPIA FARMS
 LOT Nos. 1-6, 14-42, 60-73 and 94-100
 (SFD RESIDENTIAL USE)
 PLAT Nos. 22732-22752

SCALE	ZONING	G. L. W. FILE No.
1" = 30'	R-ED	11067
DATE	TAX MAP - GRID	SHEET
August 2014	47 - 3	3 OF 11

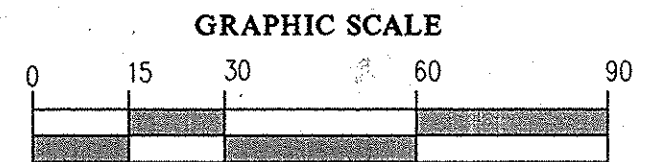


Driveways for Lots 34, 35, 36 to be non-porous. All other driveways to be porous per F-17-107.

- NOTES:
- ALL FENCES, GARDEN WALLS, STOOPS AND STEPS ALONG THE R/W SHALL BE LOCATED BEHIND THE PUBLIC SIDEWALK EASEMENT.
 - BRICK FRONT ALL BUILDING CONSTRUCTION UNLESS NOTED OTHERWISE.
 - ALL INCHES TO THE SUBJECT LOTS OF THIS SOP ARE 1/2" PER CONTRACT NOS. 24-461-D, 24-481-D, 24-483-D & 24-485-D AND THE WATER METER VAULTS ARE IN THE R.O.M.
 - SEE THE CHART ON SHEETS 2-6 FOR SH-6 INFORMATION. CONTRACTOR SHALL CHECK AND VERIFY THE SEWER HOUSE ELEVATIONS AT THE PROPERTY LINE PRIOR TO CONSTRUCTION.
 - ALL BUILDING WALLS WITHIN 10' OF A BGE TRANSFORMER SHALL BE CONSTRUCTED FOR A MINIMUM FIRE RESISTANCE RATING OF 3 HOURS.
 - THE STEPS AT THE FRONT LEAD WALK CAN BE BROKEN UP INTO TWO SETS DEPENDING ON THE SPECIFIC HOUSE AND ELEVATION SELECTED.
 - DRIVEWAY APRONS PER DPM R-6.01 AND R-6.03.
 - ON-LOT ESD STORMWATER DEVICES (DRYWELL, RAIN BARRELS, ROOF TOP DISCONNECT, ETC.) SHOWN ON THIS SOP ARE CONCEPTUAL IN NATURE BECAUSE 'GENERIC BOXES' ARE SHOWN INSTEAD OF ACTUAL HOUSES. THEREFORE, THE APPLICABLE ON-LOT ESD DEVICES SHALL BE FINALIZED AND SUBMITTED (ALONG WITH ANY NECESSARY COMPUTATIONS) AS PART OF THE BUILDING PERMIT PLOT PLAN PACKAGE FOR AN ACTUAL HOUSE TO BE PERMITTED FOR CONSTRUCTION. FINAL ESD INFORMATION TO BE INCLUDED, AS APPLICABLE, WITH THE BUILD PERMIT PLOT PLAN PACKAGE ARE AS FOLLOWS:
 - ROOF TOP DISCONNECT (N.D.): DISCONNECT LENGTH FROM DOWN SPOUTS.
 - RAIN BARRELS (N.H.): LOCATION OF THE 200-GALLON BARREL AT BOTTOM OF A DOWN SPOUT.
 - BOUNDS DRIVEWAY (A-2): FINAL SIZE (L/W/D) OF THE STONE STORAGE REGION.
 - DRY WELLS (N.S): FINAL SIZE (L/W/D) AND LOCATION DIMENSIONS OF EACH DRYWELL. GERMANE ELEVATIONS, INVERT VALUES AND PIPE SYSTEM CONNECTING DOWNSPOUTS TO DRYWELL TO BE SHOWN. TOTAL ROOF AREA DRAINING TO AN INDIVIDUAL DRYWELL CANNOT EXCEED 1000 SF.

LOT	M.C.E.
27	342.75
28	343.05
29	330.10
30	326.35
31	322.40
32	298.60
33	300.46
34	321.8
35	324.75
36	324.20
37	337.60
38	340.25
39	341.05

NOTE: ALL SEWER HOUSE CONNECTIONS ARE 4".



APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
 Director: *David LaLuz* 9/20/14
 Chief, Division of Land Development: *Kevin DeLune* 9-30-14
 Chief, Development Engineering Division: *Chad Edin* 9-24-14

GLWGUTSCHICK LITTLE & WEBER, P.A.
 CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
 3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK
 BURTONSVILLE, MARYLAND 20866
 TEL: 301-421-4024 BALT: 410-880-1820 DC/VA: 301-989-2524 FAX: 301-421-4186

DATE	REVISION	BY	APPR.
8-28-15	Show An-built Clifton Park House on Lot 31	gt	klp
7-29-15	Resite Lot 34 with Chapel Hill 2.5 car garage	gt	klp
5-25-15	Add note for driveways to be porous except for lots 34, 35, 36	gt	klp

PREPARED FOR:
 PROPERTY OWNER (SELLER): **BRADY HOMES CORP.**
 8965 GUNFORD ROAD
 SUITE 290
 COLUMBIA, MD 21046
 PH: 410-381-3222
 ATTN: BRIAN KNAUFF

BUILDER (CONTRACT PURCHASER): **7720 PATUXENT WOODS DR.**
 COLUMBIA, MD 21046
 PH: 410-379-5956
 ATTN: TIM NAUGHTON

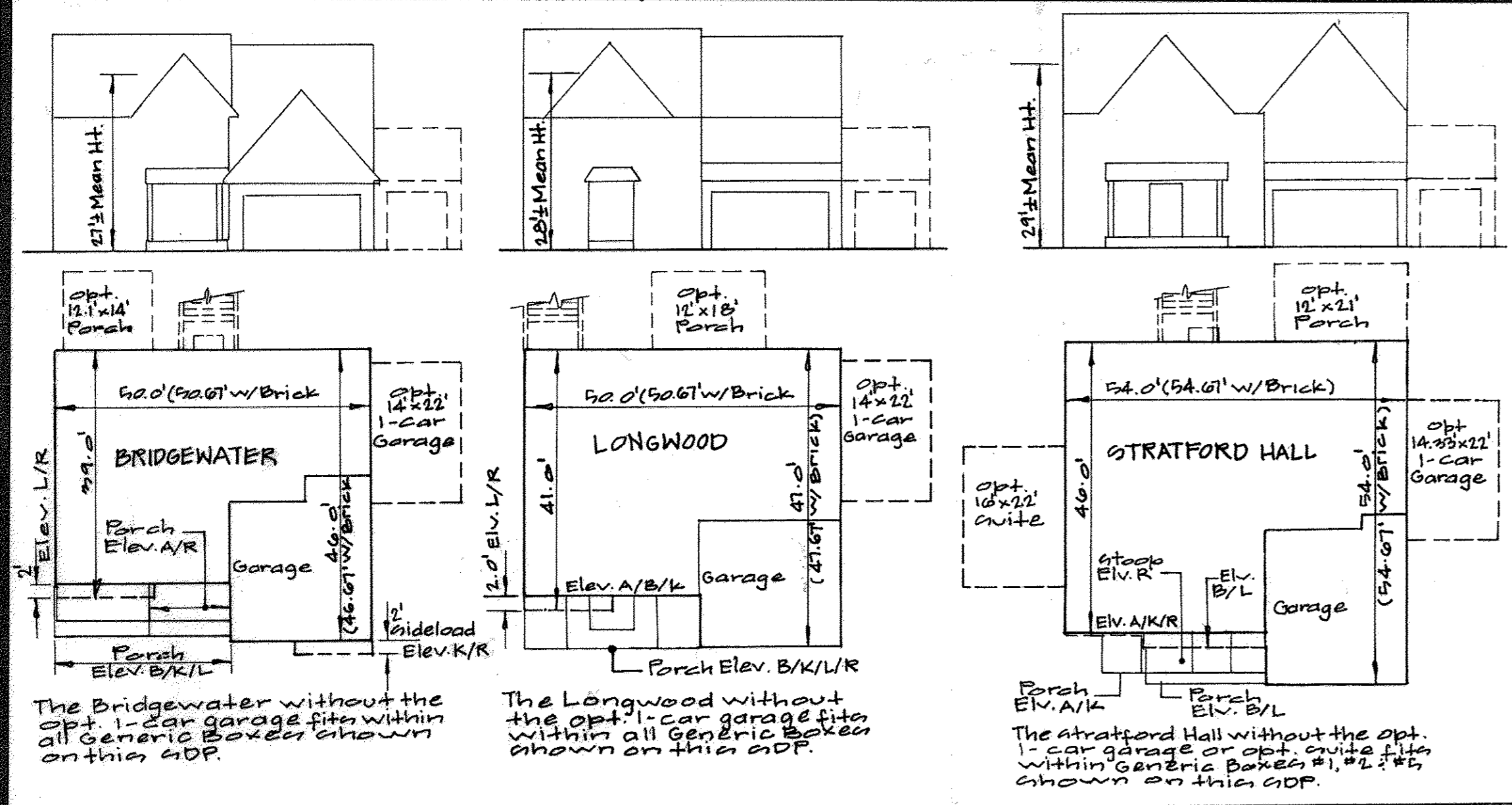
PROFESSIONAL CERTIFICATION
 I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 12375.
 EXPIRATION DATE: MAY 26, 2016
 9-10-14



SITE DEVELOPMENT PLAN
WINCOFIA FARMS
 LOT Nos. 1-6, 14-42, 60-73 and 94-100
 (SFD RESIDENTIAL USE)
 PLAT Nos. 22732-22752

HOWARD COUNTY, MARYLAND
 ELECTION DISTRICT No. 6

SCALE	ZONING	G. L. W. FILE NO.
1" = 30'	R-ED	11067
DATE	TAX MAP - GRID	SHEET
August 2014	47 - 3	4 OF 11



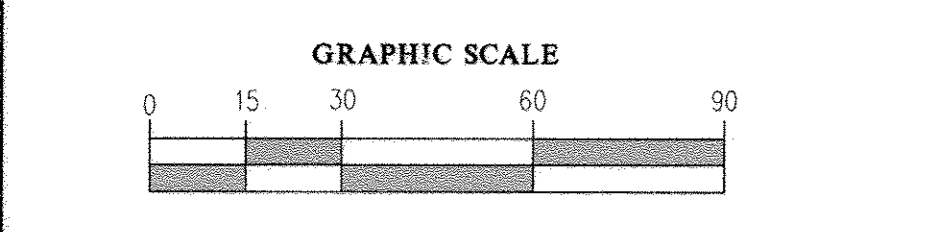
Typical Houseprints and Elevations (see sheet 7 for more houses) scale 1"=20'

- NOTES**
- ALL FENCES, GARDEN WALLS, STOOPS AND STEPS ALONG THE R/W SHALL BE LOCATED BEHIND THE PUBLIC SIDEWALK EASEMENT
 - BRICK POINT ALL BUILDING CONSTRUCTION UNLESS NOTED OTHERWISE.
 - ALL W/H'S TO THE SUBJECT LOTS OF THIS SDP ARE 1 1/2" PER CONTRACT Nos. 24-4818-D, 24-4819-D, 24-4819-D 4 24-4819-D AND THE WATER METER VAULTS ARE IN THE R.O.K.
 - SEE THE CHART ON SHEETS 2-6 FOR SHS INFORMATION. CONTRACTOR SHALL CHECK AND VERIFY THE SEWER HOUSE ELEVATIONS AT THE PROPERTY LINE PRIOR TO CONSTRUCTION.
 - ALL BUILDINGS SHALL WITHIN 10' OF A BSE TRANSFORMER SHALL BE CONSTRUCTED FOR A MINIMUM FIRE RESISTANCE RATING OF 3 HOURS.
 - THE STEPS AT THE FRONT LEAD WALK CAN BE BROKEN UP INTO TWO SETS DEPENDING ON THE SPECIFIC HOUSE AND ELEVATION SELECTED.
 - DRIVEWAY APRONS PER DPM R-6.01 AND R-6.03.
 - ON-LOT ESD STORMWATER DEVICES (DRYWELL, RAIN BARRELS, ROOF TOP DISCONNECT, ETC.) SHOWN ON THIS SDP ARE CONCEPTUAL IN NATURE BECAUSE "GENERIC BOXES" ARE SHOWN INSTEAD OF ACTUAL HOUSES. THEREFORE, THE APPLICABLE ON-LOT ESD DEVICES SHALL BE FINALIZED AND SUBMITTED (ALONG WITH ANY NECESSARY COMPUTATIONS) AS PART OF THE BUILDING PERMIT PLAN PACKAGE FOR AN ACTUAL HOUSE TO BE PERMITTED FOR CONSTRUCTION. FINAL ESD INFORMATION TO BE INCLUDED, AS APPLICABLE, WITH THE BUILD PERMIT PLAN PACKAGE ARE AS FOLLOWS:
 - ROOF TOP DISCONNECT (R-TD): DISCONNECT LENGTH FROM DOWN SPOUTS.
 - RAIN BARRELS (R-B): LOCATION OF THE 200-GALLON BARREL AT BOTTOM OF A DOWN SPOUT.
 - BOULDER DRIVEWAY (A-2): FINAL SIZE (L&D) OF THE STONE STORAGE REGION.
 - DRY WELLS (D-W): FINAL SIZE (L&D) AND LOCATION DIMENSIONS OF EACH DRYWELL. SEWER ELEVATIONS, INVERT VALUES AND PIPE SYSTEMS CONNECTING DOWNSPOUTS TO DRYWELL TO BE SHOWN. TOTAL ROOF AREA DRAINING TO AN INDIVIDUAL DRYWELL CANNOT EXCEED 1000 SF.

Driveways for Lots 9, 4, 5, 9, 9 to be non-permanent. All other driveways to be permanent per F-13-1072.

LOT	M.C.E.
60	332.42
61	331.43
62	331.80
63	335.40
64	328.61
65	324.41
66	320.43
67	321.90
68	322.71
69	324.59
70	328.21
71	333.50
72	336.05
73	338.10

NOTE: ALL SEWER HOUSE CONNECTIONS ARE 4".



APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

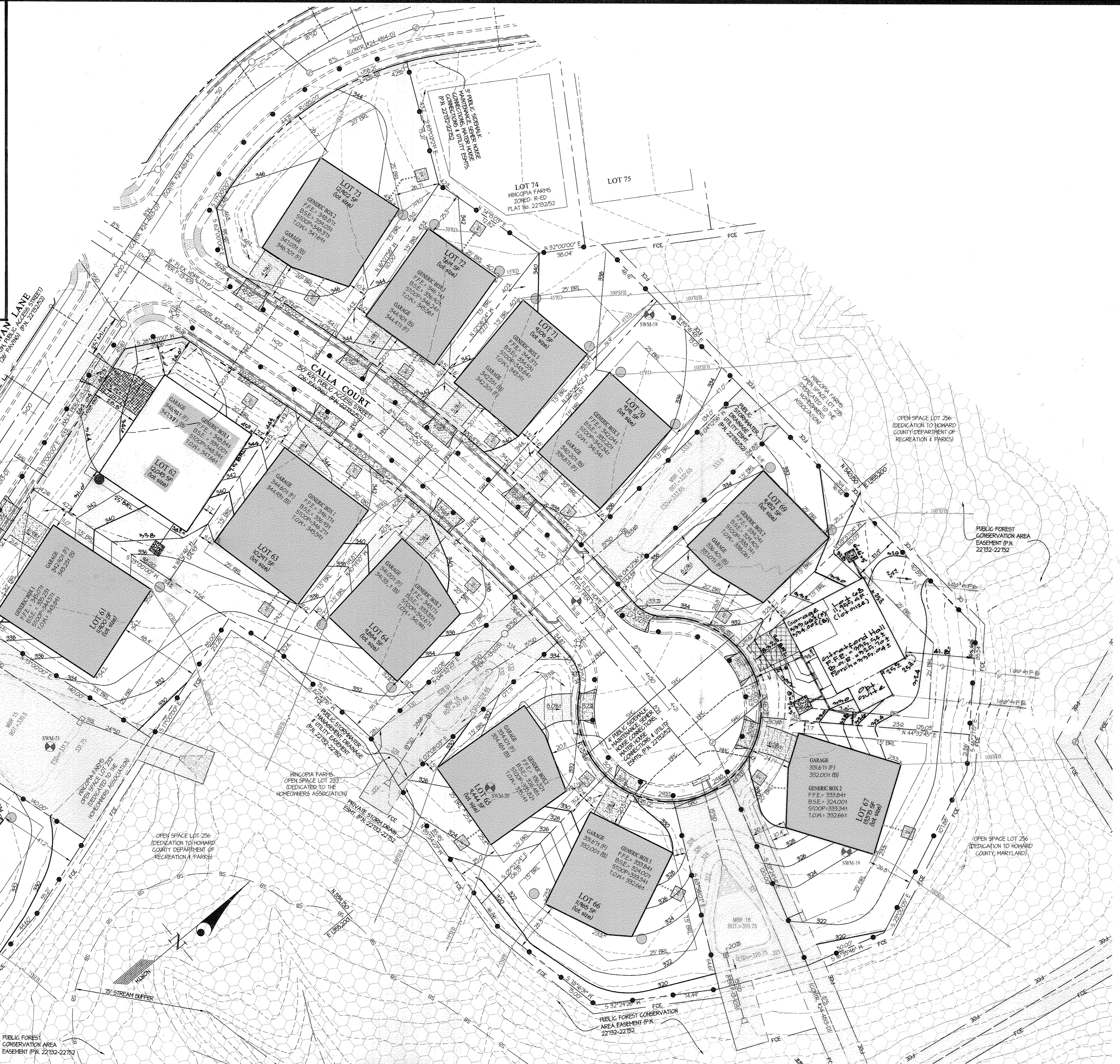
Mark A. Grogan 9/21/14
Director Date

Kathleen Lynch 9-30-14
Chief, Division of Land Development Date

Chad E. ... 9-24-14
Chief, Development Engineering Division Date

GLWGUTSCHICK LITTLE & WEBER, P.A.
CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK
BURTONSVILLE, MARYLAND 20866
TEL: 301-421-4024 FAX: 410-880-1820 DC/VCA: 301-989-2524 FAX: 301-421-4186

DATE	REVISION	BY	APP'R
02-21-17	Revised Lot 68 w/Stratford Hall site optional white	JA	KLW
02-21-17	Add Bridgewater, Longwood, Stratford Hall, Tyler Houses	JA	KLW
10-26-16	Revised Lot 68 with Generic Box 1	JA	KLW
4-22-16	Show lot 68 on outside island	JA	KLW
5-25-15	Add note for driveways to be permanent except for lots 9, 4, 5, 9, 9	JA	KLW



PREPARED FOR:

PROPERTY OWNER (SELLER): BEAVER HOMES CORP., 8965 GUILFORD ROAD, SUITE 200, COLUMBIA, MD 21046, PH: 410-381-3222, ATTN: BRIAN KNAUFF

BUILDER (CONTRACT PURCHASER): NWR INC., 9720 PATENT WOODS DR., COLUMBIA, MD 21046, PH: 410-379-5959, ATTN: TIM NAUGHTON

PROFESSIONAL CERTIFICATION: I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 12879, EXPIRATION DATE: May 26, 2016.

9-10-14 *[Signature]*

SITE DEVELOPMENT PLAN

WINCOPIA FARMS
LOT Nos. 1-6, 14-42, 60-73 and 94-100
(SFD RESIDENTIAL USE)
PLAT Nos. 22732-22752

SCALE: 1" = 30'

ZONING: R-ED

G. L. W. FILE NO.: 11067

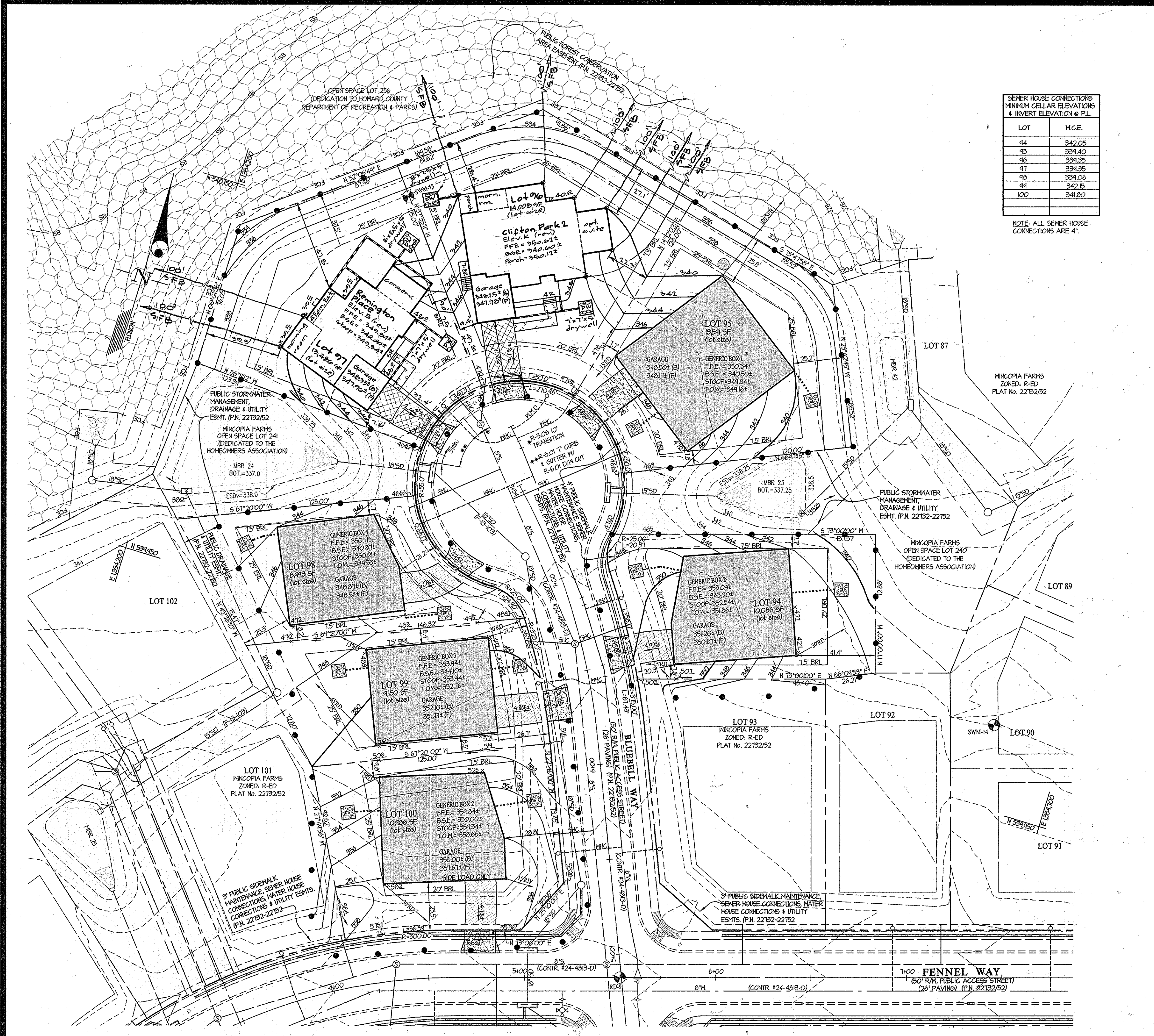
DATE: August 2014

TAX MAP - GRID: 47 - 3

SHEET: 5 OF 11

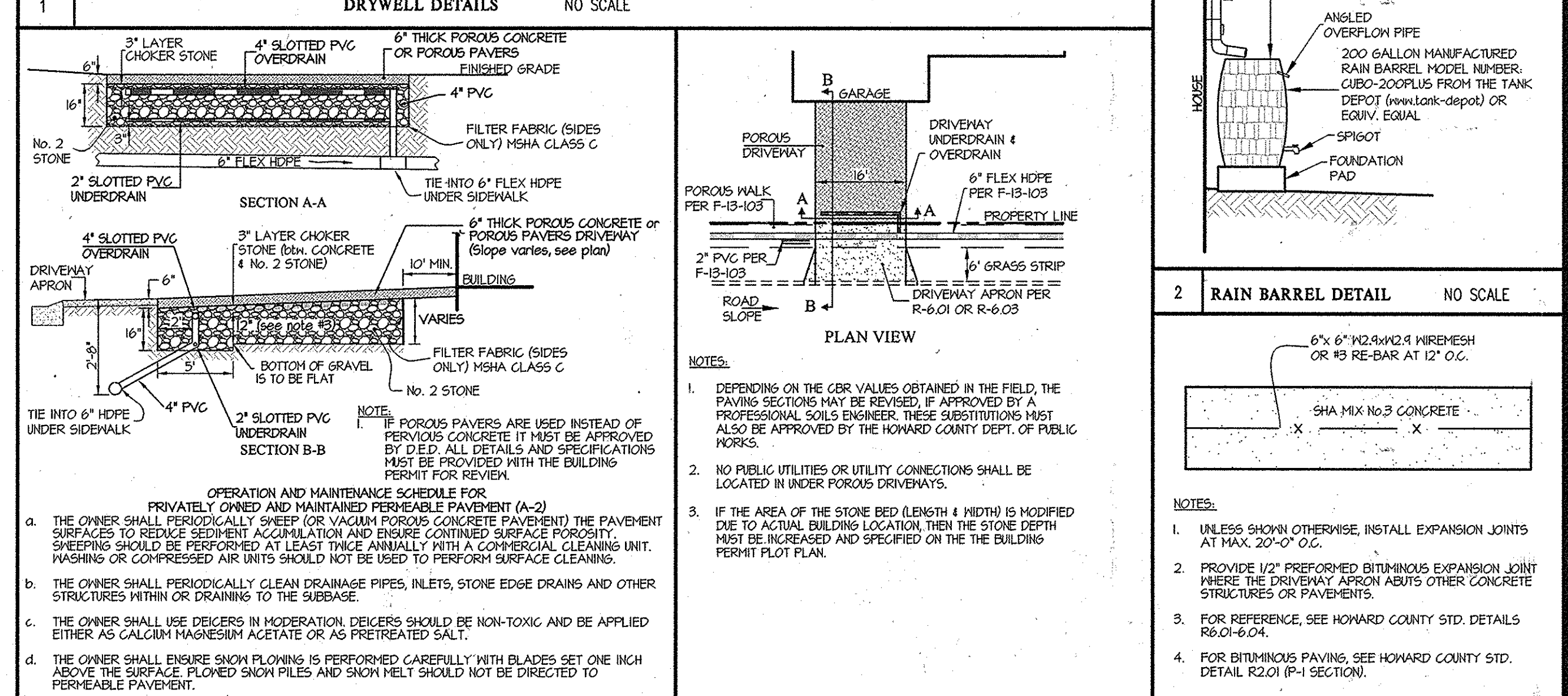
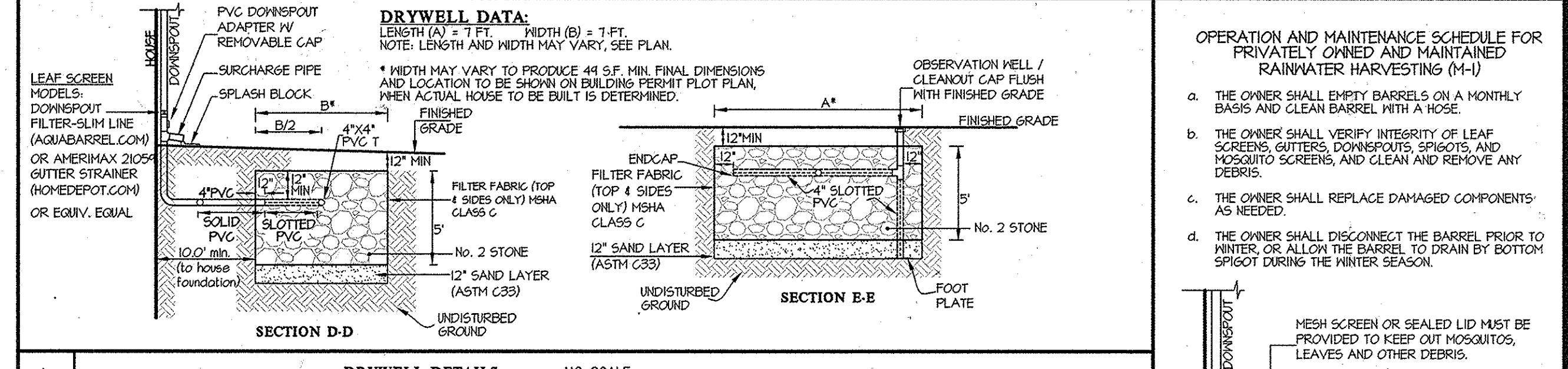
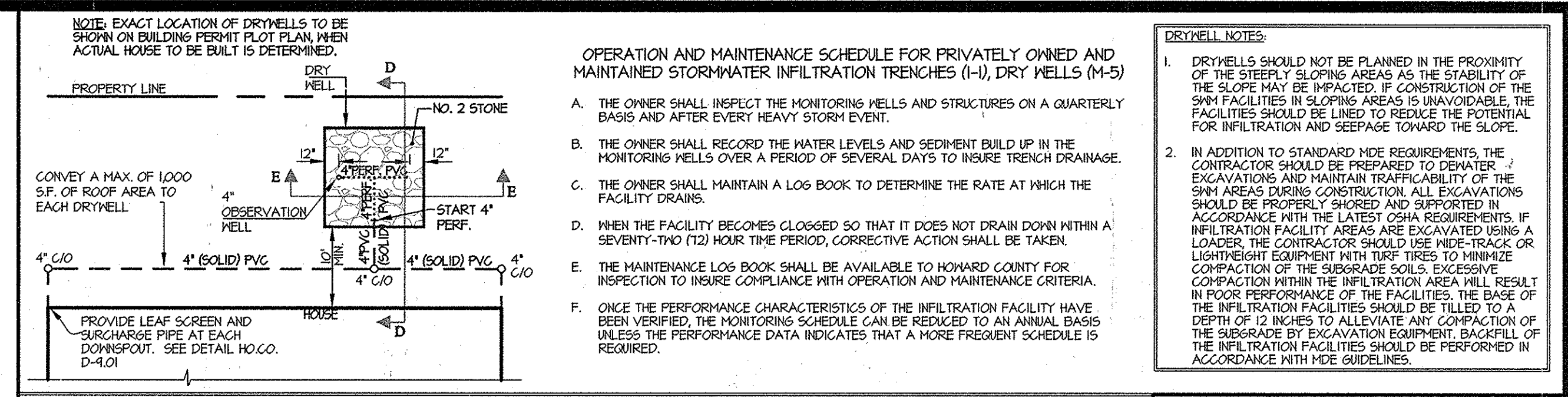
HOWARD COUNTY, MARYLAND

ELECTION DISTRICT No. 6

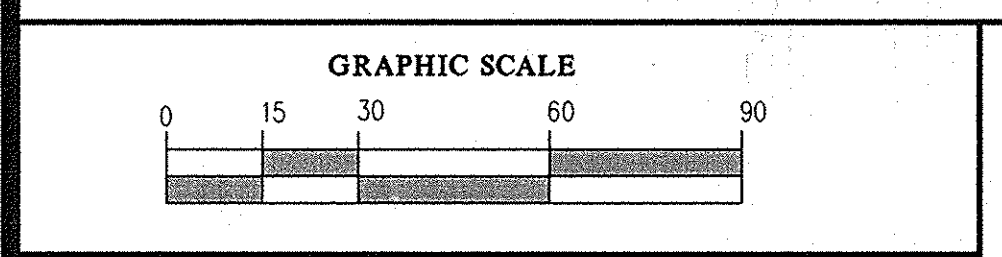


LOT	M.C.E.
94	342.05
95	334.40
96	334.35
97	334.35
98	334.05
99	342.05
100	341.80

NOTE: ALL SEWER HOUSE CONNECTIONS ARE 4".



LOT NO.	ADDRESS	STORMWATER MANAGEMENT PRACTICES																	
		GREEN ROOFS	PERMEABLE PAVEMENTS	REINFORCED TURF	DISCONNECTION OF ROOFTOP RUNOFF	DISCONNECTION OF NON-ROOFTOP RUNOFF	SHELFLOW TO CONSERVATION AREAS	RAINFLOW HARVESTING	SUBMERGED GRAVEL WETLANDS	LANDSCAPE INFILTRATION	INFILTRATION BERMS	DRY WELLS	MICRO RETENTION	RAIN GARDENS	SWALES	ENHANCED FILTERS			
		A-1 (Y/N)	A-2 (Y/N)	A-3 (Y/N)	N-1 (NUMBER)	N-2 (Y/N)	N-3 (Y/N)	M-1 (NUMBER)	M-2 (NUMBER)	M-3 (NUMBER)	M-4 (NUMBER)	M-5 (NUMBER)	M-6 (NUMBER)	M-7 (NUMBER)	M-8 (NUMBER)	M-9 (NUMBER)			
1	9604 HENRY HEARN WAY	N	Y	N	3	N	Y	1	0	0	0	0	0	0	0	0			
2	9908	N	Y	N	3	N	Y	0	0	0	0	0	0	0	0	0			
3	9812	N	N	N	3	N	Y	0	0	0	0	0	0	0	0	0			
4	9900	N	N	N	3	N	Y	0	0	0	0	0	0	0	0	0			
5	9900	N	N	N	3	N	Y	0	0	0	0	0	0	0	0	0			
6	9928	N	N	N	4	N	Y	1	0	0	0	0	0	0	0	0			
7	9900 HENRY HEARN WAY	N	N	N	3	N	Y	0	0	0	0	0	0	0	0	0			
15	9906 FLORA COURT	N	Y	N	4	N	Y	2	0	0	0	0	0	0	0	0			
16	9910	N	Y	N	3	N	Y	0	0	0	0	0	0	0	0	0			
17	9914	N	Y	N	3	N	Y	0	0	0	0	0	0	0	0	0			
18	9918	N	Y	N	4	N	Y	0	0	0	0	0	0	0	0	0			
19	9918	N	Y	N	4	N	Y	0	0	0	0	0	0	0	0	0			
20	9911	N	Y	N	1	Y	0	0	0	0	0	0	0	0	0	0			
21	9905 FLORA COURT	N	Y	N	4	N	Y	0	0	0	0	0	0	0	0	0			
22	9902 HENRY HEARN WAY	N	Y	N	4	N	Y	0	0	0	0	0	0	0	0	0			
23	9906	N	Y	N	4	N	Y	0	0	0	0	0	0	0	0	0			
24	9900	N	Y	N	4	N	Y	0	0	0	0	0	0	0	0	0			
25	9908 HENRY HEARN WAY	N	Y	N	4	N	Y	0	0	0	0	0	0	0	0	0			
26	9944 CYPRESS WAY	N	Y	N	4	N	Y	0	0	0	0	0	0	0	0	0			
27	9948	N	Y	N	4	N	Y	0	0	0	0	0	0	0	0	0			
28	9952	N	Y	N	4	N	Y	0	0	0	0	0	0	0	0	0			
29	9962	N	Y	N	3	N	Y	0	0	0	0	0	0	0	0	0			
30	9946	N	Y	N	4	N	Y	0	0	0	0	0	0	0	0	0			
31	9910	N	Y	N	3	N	Y	0	0	0	0	0	0	0	0	0			
32	9910	N	Y	N	3	N	Y	0	0	0	0	0	0	0	0	0			
33	9915	N	Y	N	3	N	Y	0	0	0	0	0	0	0	0	0			
34	9911	N	Y	N	3	N	Y	0	0	0	0	0	0	0	0	0			
35	9967	N	Y	N	4	N	Y	0	0	0	0	0	0	0	0	0			
36	9960	N	Y	N	4	N	Y	0	0	0	0	0	0	0	0	0			
37	9925	N	Y	N	4	N	Y	0	0	0	0	0	0	0	0	0			
38	9967	N	Y	N	4	N	Y	0	0	0	0	0	0	0	0	0			
39	9947	N	Y	N	4	N	Y	0	0	0	0	0	0	0	0	0			
40	9943	N	Y	N	4	N	Y	0	0	0	0	0	0	0	0	0			
41	9928	N	Y	N	4	N	Y	0	0	0	0	0	0	0	0	0			
42	9935 CYPRESS WAY	N	Y	N	4	N	Y	0	0	0	0	0	0	0	0	0			
43	10010 ROWAN LANE	N	Y	N	4	N	Y	2	0	0	0	0	0	0	0	0			
44	10018 ROWAN LANE	N	Y	N	3	N	Y	1	0	0	0	0	0	0	0	0			
62	10006 CALLA COURT	N	N	N	4	N	Y	1	0	0	0	0	0	0	0	0			
63	10010	N	Y	N	4	N	Y	0	0	0	0	0	0	0	0	0			
64	10044	N	Y	N	3	N	Y	2	0	0	0	0	0	0	0	0			
65	10020	N	Y	N	4	N	Y	0	0	0	0	0	0	0	0	0			
66	10024	N	Y	N	4	N	Y	0	0	0	0	0	0	0	0	0			
67	10020	N	Y	N	4	N	Y	0	0	0	0	0	0	0	0	0			
68	10025	N	Y	N	4	N	Y	0	0	0	0	0	0	0	0	0			
69	10011 SHONEL WAY	N	Y	N	4	N	Y	1	0	0	0	0	0	0	0	0			
70	10015	N	Y	N	4	N	Y	2	0	0	0	0	0	0	0	0			
71	10011	N	Y	N	4	N	Y	2	0	0	0	0	0	0	0	0			
72	10027	N	Y	N	4	N	Y	0	0	0	0	0	0	0	0	0			
73	10003 CALLA COURT	N	Y	N	4	N	Y	1	0	0	0	0	0	0	0	0			
74	10028 BLUEBELL WAY	N	Y	N	4	N	Y	0	0	0	0	0	0	0	0	0			
75	10006	N	Y	N	4	N	Y	1	0	0	0	0	0	0	0	0			
76	10042	N	Y	N	4	N	Y	0	0	0	0	0	0	0	0	0			
77	10041	N	Y	N	4	N	Y	0	0	0	0	0	0	0	0	0			
78	10027	N	Y	N	3	N	Y	0	0	0	0	0	0	0	0	0			
79	10013 BLUEBELL WAY	N	Y	N	4	N	Y	0	0	0	0	0	0	0	0	0			
80	10015 FENNEL WAY	N	Y	N	4	N	Y	0	0	0	0	0	0	0	0	0			
219	10040 WINCOPIA FARMS	N	Y	N	3	N	Y	0	0	0	0	0	0	0	0	0			



- NOTES:
- ALL FENCES, GARDEN WALLS, STOOPS AND STEPS ALONG THE R/W SHALL BE LOCATED BEHIND THE PUBLIC SIDEWALK EASEMENT.
 - BRICK POINT ALL BUILDING CONSTRUCTION UNLESS NOTED OTHERWISE.
 - ALL M&T'S TO THE SUBJECT LOTS OF THIS SDP ARE 1 1/2" PER CONTRACT NOS. 24-481-D, 24-481-B-D, 24-481-B-D & 24-481-B-D AND THE WATER METER VAULTS ARE IN THE R.O.M.
 - SEE THE CHART ON SHEETS 2-6 FOR S&I INFORMATION. CONTRACTOR SHALL CHECK AND VERIFY THE SEWER HOUSE ELEVATIONS AT THE PROPERTY LINE PRIOR TO CONSTRUCTION.
 - ALL BUILDING WALLS WITHIN 10' OF A BASE TRANSFORMER SHALL BE CONSTRUCTED FOR A MINIMUM FIRE RESISTANCE RATING OF 3 HOURS.
 - THE STEPS AT THE FRONT LEAD WALK CAN BE BROKEN UP INTO TWO SETS DEPENDING ON THE SPECIFIC HOUSE AND ELEVATION SELECTED.
 - DRIVEWAY APRONS PER DPH R-6.01 AND R-6.03.

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
 Director: *[Signature]* 9/8/14
 Chief, Division of Land Development: *[Signature]* 9-30-14
 Chief, Development Engineering Division: *[Signature]* 9-24-14

3. ON-LOT ESD STORMWATER DEVICES (DRYWELL, RAIN BARRELS, ROOF TOP DISCONNECT, ETC.) SHOWN ON THIS SDP ARE CONCEPTUAL IN NATURE BECAUSE "GENERIC BOXES" ARE SHOWN INSTEAD OF ACTUAL HOUSES. THEREFORE, THE APPLICABLE ON-LOT ESD DEVICES SHALL BE FINALIZED AND SUBMITTED (ALONG WITH ANY NECESSARY CONSENTS) AS PART OF THE BUILDING PERMIT FLOT PLAN PACKAGE FOR AN ACTUAL HOUSE TO BE PERMITTED FOR CONSTRUCTION. FINAL ESD INFORMATION TO BE INCLUDED, AS APPLICABLE, WITH THE BUILDING PERMIT FLOT PLAN PACKAGE ARE AS FOLLOWS:

- ROOF TOP DISCONNECT (A-1): DISCONNECT LENGTH FROM DOWN SPOUTS.
- RAIN BARRELS (M-1): LOCATION OF THE 200-GALLON BARREL AT BOTTOM OF A DOWN SPOUT.
- POURIOUS DRIVEWAY (A-2): FINAL SIZE (L/W) OF THE STONE STORAGE REGION.
- DRY WELLS (M-5): FINAL SIZE (L/W) AND LOCATION DIMENSIONS OF EACH DRYWELL. GERMANE ELEVATIONS, INVERT VALLIES AND PIPE SYSTEM CONNECTING DOWNSPOUTS TO DRYWELL TO BE SHOWN. THE TOTAL ROOF AREA DRAINING TO AN INDIVIDUAL DRYWELL CANNOT EXCEED 1000 S.F.

GLWGUTSCHICK LITTLE & WEBER, P.A.
 CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
 3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK
 BURTONSVILLE, MARYLAND 20866
 TEL: 301-421-4024 FAX: 301-421-4186

PREPARED FOR: BEAZER HOMES CORP. 8885 GULFOOD ROAD SUITE 230 COLUMBIA, MD 21046 PH: 410-381-3222 ATTN: BRIAN KNAUFF

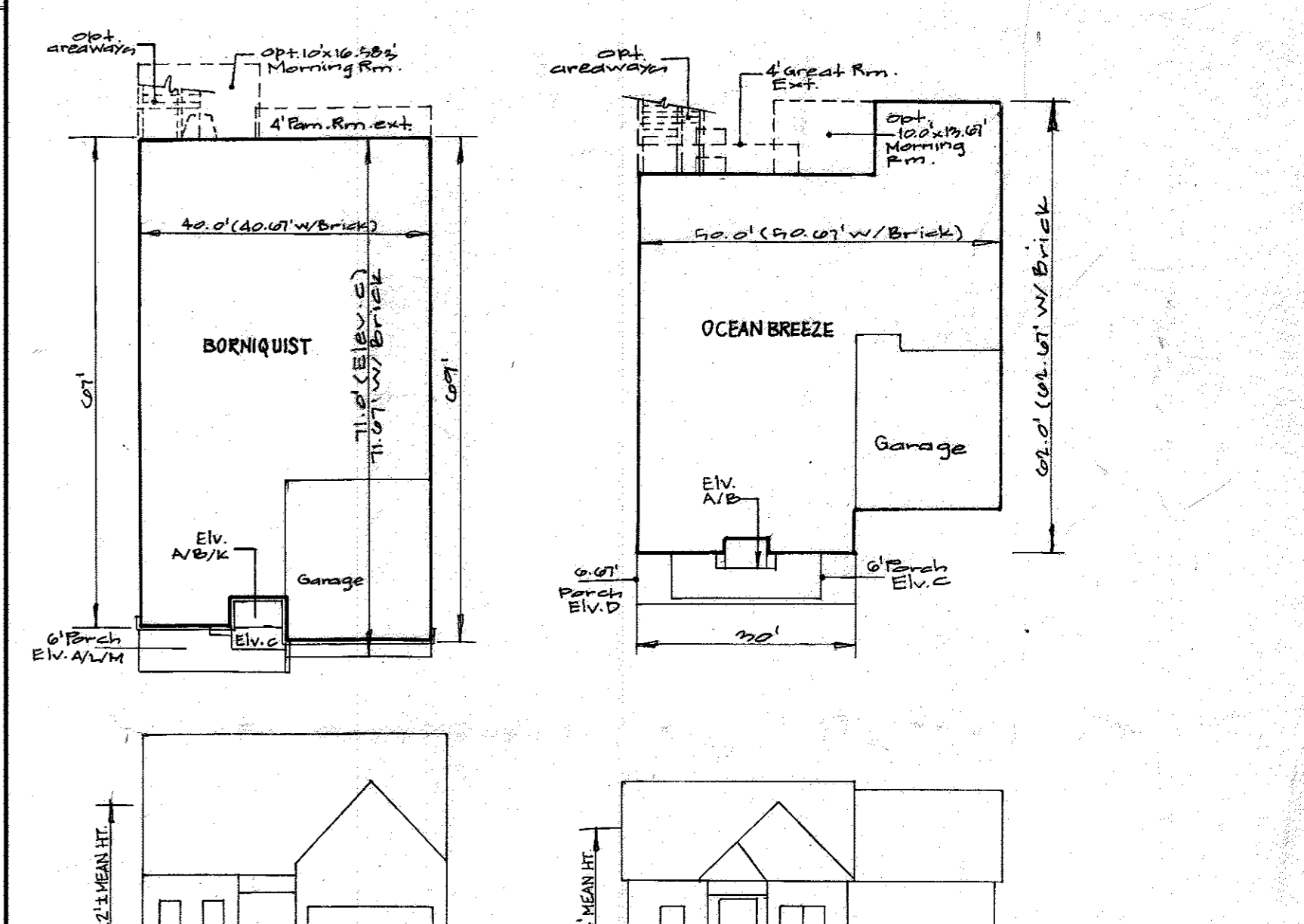
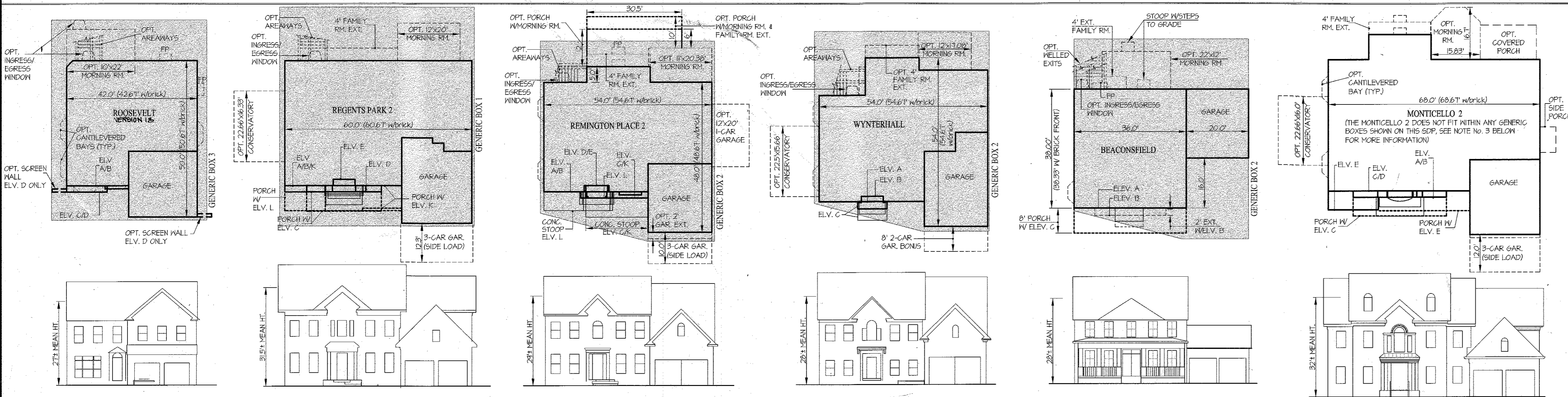
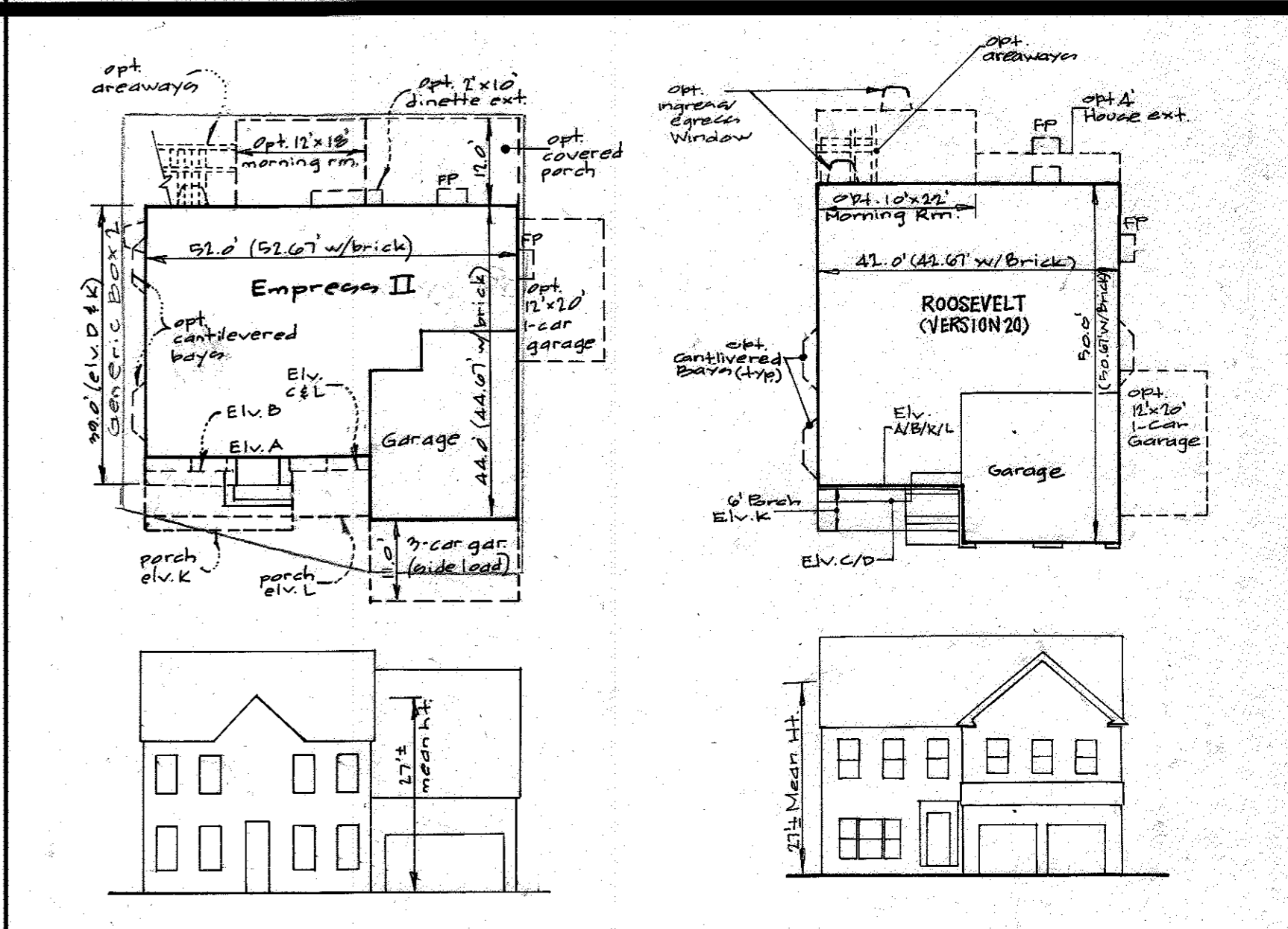
BUILDER (CONTRACT PURCHASER): NVR INC. 9720 PATUXENT WOODS DR. COLUMBIA, MD 21046 PH: 410-379-5956 ATTN: TM NAUGHTON

PROFESSIONAL CERTIFICATION: I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 12375. EXPIRATION DATE: MAY 28, 2016. 4-10-14

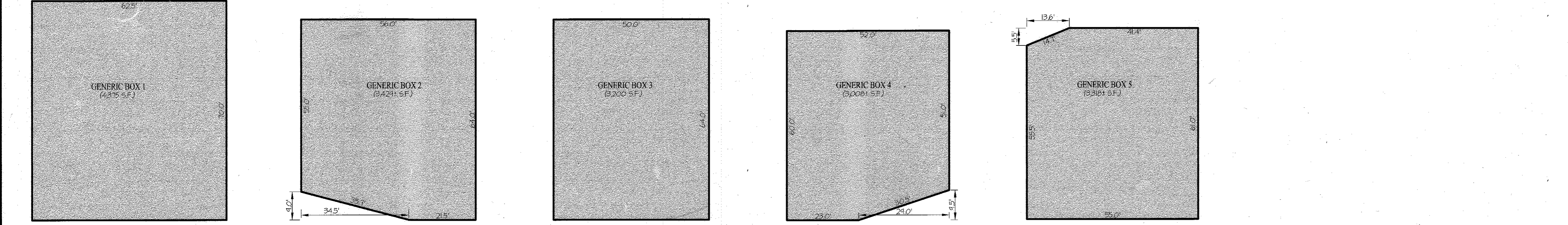
SITE DEVELOPMENT PLAN
 WINCOPIA FARMS
 LOT Nos. 1-6, 14-42, 60-73 and 94-100
 (SFD RESIDENTIAL USE)
 PLAT Nos. 22732-22752

SCALE: 1" = 30'
 ZONING: R-ED
 G. L. W. FILE No.: 11067

DATE: August 2014
 TAX MAP - GRID: 47 - 3 -
 SHEET: 6 OF 11



TYPICAL HOUSE FOOTPRINTS and ELEVATIONS (STANDARD (STD) ORIENTATION SHOWN) SCALE: 1" = 20' (SEE SHEET 5 FOR MORE HOUSES)



GENERIC BOX 1 (62'0" x 70'0")
 ALL HOUSES & EXTENSIONS (SHOWN ON THIS SHEET) FIT WITHIN THIS GENERIC BOX EXCEPT THE MONTICELLO 2. ANY CONSERVATORIES &/OR 1-CAR ATTACHED GARAGES, THE ROOSEVELT 1-CAR ATTACHED GARAGE FITS. NO ELEVATION OR REAR EXTENSIONS ON BORNQUIST AND NO REAR EXTENSIONS ON THE ARMISTEAD.

GENERIC BOX 2 (56'0" x 64'0")
 ALL HOUSES & EXTENSIONS (SHOWN ABOVE) EXCEPT THE CLIFTON PARK 2 HOUSE, REGENTS PARK 2 & THE MONTICELLO HOUSE, THE WYNTERHALLS CONSERVATORY OR THE WYNTERHALLS 2-CAR BONUS GARAGE WITH THE MORNING ROOM FIT WITHIN THIS GENERIC BOX. NO CONSERVATORIES &/OR 3-CAR GARAGES. THE ARMISTEAD & BORNQUIST DO NOT FIT.

GENERIC BOX 3 (50'0" x 64'0") DANVILLE, TYLER
 ONLY THE ROOSEVELT (V.15 & V.20) OCEAN BREEZE AND THE CAVANAUGH HOUSES & EXTENSIONS (SHOWN ON THIS SHEET) FIT WITHIN THIS GENERIC BOX.

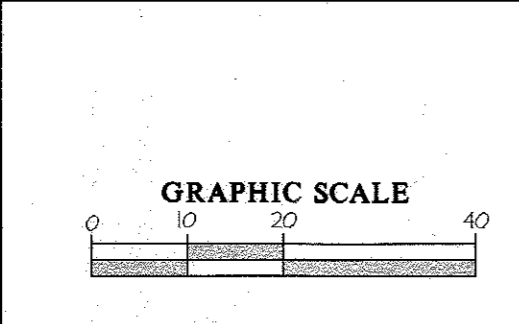
GENERIC BOX 4 (50'0" x 64'0") DANVILLE, TYLER
 ONLY THE EMPRESS, THE ROOSEVELT (V.15 & V.20) AND THE CAVANAUGH HOUSES & EXTENSIONS (SHOWN ON THIS SHEET) FIT WITHIN THIS GENERIC BOX. The Empress II with no 3-car garages fit.

GENERIC BOX 5 (55'0" x 64'0")
 ON THIS SHEET EXCEPT THE ARMISTEAD, BORNQUIST, OCEAN BREEZE ALL HOUSES & EXTENSIONS (SHOWN) BEAconsfield, THE CLIFTON PARK 2 & THE MONTICELLO 2 HOUSE, ANY CONSERVATORIES &/OR 1-CAR ATTACHED GARAGES AND 3-CAR GARAGES, THE ROOSEVELT 1-CAR ATTACHED GARAGE FITS.

NOTES:
 1. BUILDING FEATURES THAT CAN PROJECT INTO YARD SETBACKS IN ACCORDANCE WITH SECTION 12B.1.J OF THE HOWARD COUNTY ZONING REGULATIONS CAN ALSO PROJECT BEYOND THE GENERIC BOX, BUT SAID FEATURES CANNOT PROJECT INTO ANY EASEMENTS.
 2. FOR BUILDING PERMIT APPLICATION, A PLOT PLAN SHOWING THE ACTUAL HOUSE TYPE TO BE CONSTRUCTED WITHIN THE GENERIC BOX ON A PARTICULAR LOT SHALL BE SUBMITTED ALONG WITH COPIES OF THE APPROVED SDP.
 3. THE MONTICELLO 2 DOES NOT FIT WITHIN ANY GENERIC BOXES. HOWEVER, IT CAN FIT ON LOTS 2, 3, 6, 14, 19, 26-40, 60, 61, 95 & 96. A REDLINE TO THE SDP WILL NEED TO BE MADE IF THE MONTICELLO 2 IS SITED.

GENERIC BOXES SCALE: 1" = 20'

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
 Director: *Frank McLaughlin* 7/31/14
 Chief, Division of Land Development: *Kathleen* 9-30-14
 Chief, Development Engineering Division: *Chad* 9-24-14



GLWGUTSCHICK LITTLE & WEBER, P.A.
 CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
 3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK
 BURTONSVILLE, MARYLAND 20886
 TEL: 301-421-4024 BALT: 410-880-1820 DC/VA: 301-989-2524 FAX: 301-421-4188

DATE	REVISION	BY	APP'R.
10-20-14	Add Bridgewater, Danville, Longwood, Stratford Hall & Tyler Houses	gt	kfp
4-10-16	Add the Armistead, Bornquist, Ocean Breeze, Roosevelt (V.20) houses	gt	kfp
1-19-2016	Add the Empress 2 house footprint & Elevation	kfp	
6-25-2019	Add Remington Place house footprint/elevation	gt	

PREPARED FOR:
 PROPERTY OWNER (SELLER): BEAZER HOMES CORP. 5995 GULFORD ROAD SUITE 200 COLUMBIA, MD 21046 PH: 410-381-3222 ATN: BRIAN KNAUFF

PROFESSIONAL CERTIFICATION
 I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 12872 EXPIRATION DATE: May 26, 2016
 9-10-14

SITE DETAILS

WINCOPIA FARMS
 LOT Nos. 1-6, 14-42, 60-73 and 94-100
 (SFD RESIDENTIAL USE)
 PLAT Nos. 22732-22752

SCALE	ZONING	G. L. W. FILE NO.
1" = 20'	R-ED	11067
DATE	TAX MAP - GRID	SHEET
August 2014	47 - 3	7 OF 11

HOWARD COUNTY, MARYLAND



NOTES:

- TEMPORARY SWM IS PROVIDED UNDER F-13-103.
- IF HOUSE CONSTRUCTION IS CONCURRENT WITH ROAD CONSTRUCTION, COORDINATE THE WORK ON THESE PLANS WITH F-13-103.
- AT THE DISCRETION OF THE INSPECTOR, A SMALL TEMPORARY STOCKPILE FROM BASEMENT FOUNDATION EXCAVATION AND SUBSEQUENT BACKFILL MAY BE LOCATED IN THE REAR OF THE LOT UNDER CONSTRUCTION PROVIDED IT IS IN ACCORDANCE WITH B-4-4 "STANDARD AND SPECIFICATIONS FOR STOCKPILE AREA".
- SEEDING AND STABILIZATION IS TO BE PERFORMED AT THE DIRECTION OF THE SEDIMENT CONTROL INSPECTOR OR IN COMPLIANCE WITH THE STANDARD SEEDING AND STABILIZATION NOTES WHICHEVER IS MORE RESTRICTIVE.
- STANDARD SILT FENCE CAN BE CHANGED TO SUPER SILT FENCE AT THE DIRECTION OF THE SEDIMENT CONTROL INSPECTOR.
- GRADING OF THIS PROJECT WILL NEED TO BE PERFORMED/PHASED SO THAT IT CO-ORDINATES WITH THE CONSTRUCTION OF THE ROAD DRAWING. NO MORE THAN 20 ACRES MAY BE "OPEN" AT ANY TIME AND NO MORE THAN 30 ACRES MAY BE "CUMULATIVELY" OPEN AT ANY TIME.

SEQUENCE OF CONSTRUCTION

- APPLY FOR A GRADING PERMIT AND SCHEDULE A PRE-CONSTRUCTION MEETING WITH THE COUNTY SEDIMENT CONTROL INSPECTOR (CSCI). OBTAIN GRADING PERMIT FROM THE CSCI AT THE MEETING. Duration: 1/2 day.
- FOR EACH LOT UNDER GOING CONSTRUCTION, INSTALL THE STABILIZED CONSTRUCTION ENTRANCES (SCE), SILT FENCES (SF-) AND SUPER SILT FENCES (SSF-). UPGRADE OR INSTALL ADDITIONAL SEDIMENT CONTROL MEASURES AS DIRECTED BY THE CSCI. UPGRADE SILT FENCE TO SUPER SILT FENCE TO INTERCEPT DRAINAGE AREA TO AN EXISTING POROUS DRIVEWAY OR ONE UNDER CONSTRUCTION ON AN ADJACENT LOT. Duration: 1-9 days.
- EXCAVATE AND GRADE THE SITE FOR HOUSE CONSTRUCTION. PROVIDE DUST CONTROL AS NECESSARY. Duration: 2 days.
- CONSTRUCT THE FOUNDATION, INSTALL UTILITY CONNECTIONS, BUILD THE HOUSE AND INSTALL THE DRYWELLS. Duration: 3-4 months.

SEDIMENT CONTROL LEGEND

---600--- EXISTING CONTOUR
 ---602--- PROPOSED CONTOUR
 ••••• LIMIT OF GRADING DISTURBANCE
 ---SF--- SILT FENCE
 ---SSF--- SUPER SILT FENCE
 S.C.E. STABILIZED CONSTRUCTION ENTRANCE
 ---SOIL DELINEATION
 ---"C" SOIL (dotted hatch)
 ---SOIL TYPE

THIS PLAN IS FOR SEDIMENT CONTROL PURPOSES ONLY

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

Director: *[Signature]* Date: 9/20/14

Chief, Division of Land Development: *[Signature]* Date: 9-30-14

Chief, Development Engineering Division: *[Signature]* Date: 9-24-14

BUILDER'S CERTIFICATE

I/WE CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A MARYLAND DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE NSCD.

BEZLER HOMES CORP. 8955 GUNFORD ROAD SUITE 230 COLUMBIA, MD 21046 PH: 410-381-3222 ATTN: BRIAN KNAUFF

[Signature] 8/28/14

ENGINEER'S CERTIFICATE

I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

[Signature] 9/15/14

PREPARED FOR: BEZLER HOMES CORP. 8955 GUNFORD ROAD SUITE 230 COLUMBIA, MD 21046 PH: 410-381-3222 ATTN: BRIAN KNAUFF

[Signature] 9-10-14

GLWGutschick Little & Weber, P.A.

CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS

3909 NATIONAL DRIVE - SUITE 250 - BURTONTVILLE OFFICE PARK BURTONTVILLE, MARYLAND 20868

TEL: 301-421-4024 BALT: 410-880-1820 DC/VA: 301-989-2524 FAX: 301-421-4186

PROFESSIONAL CERTIFICATION

I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 12875.

EXPIRATION DATE: May 26, 2015

[Signature] 9-10-14

SEDIMENT CONTROL PLAN

WINCOPIA FARMS

LOT Nos. 1-6, 14-42, 60-73 and 94-100 (SPF RESIDENTIAL USE)

PLAT Nos. 22732-22752

ELECTION DISTRICT No. 6

B-4-2 STANDARD AND SPECIFICATIONS FOR SOIL PREPARATION, TOPSOILING, AND SOIL AMENDMENTS

DEFINITION: THE PROCESS OF PREPARING THE SOILS TO SUSTAIN ADEQUATE VEGETATIVE STABILIZATION.

PURPOSE: TO PROVIDE A SUITABLE SOIL MEDIUM FOR VEGETATIVE GROWTH. CONDITIONS WHERE PRACTICE APPLIES WHERE VEGETATIVE STABILIZATION IS TO BE ESTABLISHED.

CRITERIA:

- TEMPORARY STABILIZATION**
 - SEEDING PREPARATION CONSISTS OF LOOSENING SOIL TO A DEPTH OF 3 TO 5 INCHES BY MEANS OF SUITABLE AGRICULTURAL OR CONSTRUCTION EQUIPMENT, SUCH AS DISC HARROWS OR CHISEL PLOWS OR RIPPERS MOUNTED ON CONSTRUCTION EQUIPMENT AFTER THE SOIL IS LOOSENED, IT MUST NOT BE ROLLED OR DRAGGED SMOOTH BUT LEFT IN THE RECOMMENDED CONTOUR SLOPES 3:1 OR FLATTER ARE TO BE TRACKED WITH RIDGES RUNNING PARALLEL TO THE CONTOUR OF THE SLOPE.
 - APPLY FERTILIZER AND LIME AS PRESCRIBED ON THE PLANS.
 - INCORPORATE LIME AND FERTILIZER INTO THE TOP 3 TO 5 INCHES OF SOIL BY DISKING OR OTHER SUITABLE MEANS.
- PERMANENT STABILIZATION**
 - A SOIL TEST IS REQUIRED FOR ANY EARTH DISTURBANCE OF 5 ACRES OR MORE. THE MINIMUM SOIL CONDITIONS REQUIRED FOR PERMANENT VEGETATIVE ESTABLISHMENT ARE:
 - SOIL PH BETWEEN 6.0 AND 7.0.
 - SOLUBLE SALTS LESS THAN 500 PARTS PER MILLION (PPM).
 - SOIL CONTAINS LESS THAN 40 PERCENT CLAY BUT ENOUGH FINE GRAINED MATERIAL (GREATER THAN 30 PERCENT SILT PLUS CLAY) TO PROVIDE THE CAPACITY TO HOLD A MODERATE AMOUNT OF MOISTURE AN EXCEPTION: IF LOVEGRASS WILL BE PLANTED, THEN A SANDY SOIL (LESS THAN 30 PERCENT SILT PLUS CLAY) WOULD BE ACCEPTABLE.
 - SOIL CONTAINS 1.5 PERCENT MINIMUM ORGANIC MATTER BY WEIGHT.
 - SOIL CONTAINS SUFFICIENT PORE SPACE TO PERMIT ADEQUATE ROOT PENETRATION.
 - GRADED AREAS MUST BE MAINTAINED IN A TRUE AND EVEN GRADE AS SPECIFIED ON THE APPROVED PLAN, THEN SCARIFIED OR OTHERWISE LOOSENED TO A DEPTH OF 3 TO 5 INCHES.
 - APPLY SOIL AMENDMENTS AS SPECIFIED ON THE APPROVED PLAN OR AS INDICATED BY THE RESULTS OF A SOIL TEST.
 - MIX SOIL AMENDMENTS INTO THE TOP 3 TO 5 INCHES OF SOIL BY DISKING OR OTHER SUITABLE MEANS. RAKE LAWN AREAS TO SMOOTH THE SURFACE. REMOVE LARGE OBJECTS LIKE STONES AND BRANCHES, AND RAKE THE AREA. AFTER APPLICATION, LOOSEN SURFACE SOIL BY DRAGGING WITH A HEAVY CHAIN OR OTHER EQUIPMENT TO ROUGHEN THE SURFACE WHERE SITE CONDITIONS WILL NOT ALLOW FOR NORMAL SEEDING PREPARATION. TRACK SLOPES 3:1 OR FLATTER WITH TRACKED EQUIPMENT LEAVING THE SOIL IN AN IRREGULAR CONDITION WITH UNIFORM SURFACE PARALLEL TO THE CONTOUR OF THE SLOPE. LEAVE THE TOP 1 TO 3 INCHES OF SOIL LOOSE AND FRAGILE. SEEDING LOOSENING MAY BE UNNECESSARY ON NEWLY DISTURBED AREAS.

B-4-3 STANDARDS AND SPECIFICATIONS FOR SEEDING AND MULCHING

DEFINITION: THE APPLICATION OF SEED AND MULCH TO ESTABLISH VEGETATIVE COVER.

PURPOSE: TO PROTECT DISTURBED SOILS FROM EROSION DURING AND AT THE END OF CONSTRUCTION.

CONDITIONS WHERE PRACTICE APPLIES: TO THE SURFACE OF ALL PERMETER CONTROLS, SLOPES, AND ANY DISTURBED AREA NOT UNDER ACTIVE GRADING.

CRITERIA:

- SEEDING**
 - ALL SEED MUST MEET THE REQUIREMENTS OF THE MARYLAND STATE SEED LABORATORY. ALL SEED MUST HAVE BEEN TESTED WITHIN THE 6 MONTHS IMMEDIATELY PRECEDING THE DATE OF SEEDING SUCH MATERIALS ANY PROJECT REFER TO TABLE B.4 REGARDING THE QUALITY OF SEED. SEED TAGS MUST BE AVAILABLE UPON REQUEST TO THE INSPECTOR TO VERIFY TYPE OF SEED AND SEEDING RATE.
 - MULCH ALONE MAY BE APPLIED BETWEEN THE FALL AND SPRING SEEDING DATES ONLY IF THE GROUND IS FROZEN. THE APPROPRIATE SEEDING MIXTURE MUST BE APPLIED WHEN THE GROUND IS FROZEN.
 - INOCULANTS: THE INOCULANT FOR TREATING LEGUME SEED IN THE SEED MIXTURES MUST BE A PURE CULTURE OF NITROGEN FIXING BACTERIA PREPARED SPECIFICALLY FOR THE SPECIES. INOCULANTS MUST NOT BE USED LATER THAN THE DATE INDICATED ON THE CONTAINER. ADD FRESH INOCULANTS AS DIRECTED ON THE PACKAGE. USE FOUR TIMES THE RECOMMENDED RATE WHEN HYDROSEEDING. NOTE: IT IS VERY IMPORTANT TO KEEP INOCULANT AS COOL AS POSSIBLE UNTIL USED. TEMPERATURES ABOVE 75 TO 90 DEGREES FAHRENHEIT CAN WEAKEN BACTERIA AND MAKE THE INOCULANT LESS EFFECTIVE.
 - SOD OR SEED MUST NOT BE PLACED ON SOIL WHICH HAS BEEN TREATED WITH SOIL STERILANTS OR CHEMICALS USED FOR WEED CONTROL UNTIL SUFFICIENT TIME HAS ELAPSED (14 DAYS MIN.) TO PERMIT DISAPPEARANCE OF PHYTO-TOXIC MATERIALS.
- MULCHING**
 - STRAW CONSISTING OF THOROUGHLY THRESHED WHEAT, RYE, OAT, OR BARLEY AND REASONABLY BROKE IN COLOR. STRAW IS TO BE FREE OF INJURIOUS WEED SEEDS AS SPECIFIED IN THE MARYLAND SEED LAW AND NOT MUSTY, MOLLY, CURED, DECAYED, OR EXCESSIVELY DUSTY. NOTE: USE ONLY STERILE STRAW MULCH IN AREAS WHERE ONE SPECIES OF GRASS IS REQUIRED.
 - WOOD CELLULOSE FIBER MULCH (WCFM) CONSISTING OF SPECIALLY PREPARED WOOD CELLULOSE PROCESSED INTO A UNIFORM FIBROUS PHYSICAL STATE. WCFM IS TO BE DYED GREEN OR CONTAIN A GREEN DYE IN THE PACKAGE THAT WILL PROVIDE AN APPROPRIATE COLOR TO FACILITATE VISUAL INSPECTION OF THE UNIFORM SPREAD SLURRY.
 - WCFM, INCLUDING DYE, MUST CONTAIN NO GERMINATION OR GROWTH INHIBITING FACTORS.
 - ALL WCFM MATERIALS ARE TO BE MANUFACTURED AND PROCESSED IN SUCH A MANNER THAT THE WOOD CELLULOSE FIBER MULCH WILL REMAIN IN UNIFORM SUSPENSION IN WATER UNDER AGITATION AND WILL BLEND WITH SEED, FERTILIZER AND OTHER ADDITIVES TO FORM A HOMOGENEOUS SLURRY. THE MULCH MATERIAL MUST FORM A BLOTTER-LIKE GROUND COVER, ON APPLICATION, HAVING MOISTURE ABSORPTION AND PERCOLATION PROPERTIES AND MUST COVER AND HOLD GRASS SEED IN CONTACT WITH THE SOIL WITHOUT INHIBITING THE GROWTH OF THE GRASS SEEDLINGS.
 - WCFM MATERIAL MUST NOT CONTAIN ELEMENTS OR COMPOUNDS AT CONCENTRATION LEVELS THAT WILL BE PHYTO-TOXIC.
 - WCFM MUST CONFORM TO THE FOLLOWING PHYSICAL REQUIREMENTS: FIBER LENGTH APPROXIMATELY 10 MILLIMETERS, DIAMETER APPROXIMATELY 1 MILLIMETER, PH RANGE OF 4 TO 8.5, ASH CONTENT OF 1.6 PERCENT MAXIMUM AND WATER HOLDING CAPACITY OF 90 PERCENT MINIMUM.

B-4-4 STANDARDS AND SPECIFICATIONS FOR TEMPORARY STABILIZATION

DEFINITION: TO STABILIZE DISTURBED SOILS WITH VEGETATION FOR UP TO 6 MONTHS.

PURPOSE: TO USE FAST GROWING VEGETATION THAT PROVIDES COVER ON DISTURBED SOILS. CONDITIONS WHERE PRACTICE APPLIES EXPOSED SOILS WHERE GROUND COVER IS NEEDED FOR A PERIOD OF 6 MONTHS OR LESS. FOR LONGER DURATION OF TIME, PERMANENT STABILIZATION PRACTICES ARE REQUIRED.

CRITERIA:

- SELECT ONE OR MORE OF THE SPECIES OR SEED MIXTURES LISTED IN TABLE B.1 FOR THE APPROPRIATE PLANT HARDNESS ZONE FROM FIGURE B.3. AND ENTER THEM IN THE TEMPORARY SEEDING SUMMARY BELOW ALONG WITH APPLICATION RATES, SEEDING DATES AND SEEDING DEPTHS. IF THIS SUMMARY IS NOT PUT ON THE PLAN AND COMPLETED, THEN TABLE B.1 PLUS FERTILIZER AND LIME RATES MUST BE PUT ON THE PLAN.
- FOR SITES HAVING SOIL TESTS PERFORMED, USE AND SHOW THE RECOMMENDED RATES BY THE SEDIMENT CONTROL INSPECTOR OR THE COUNTY ENGINEER. SEEDING RATES FOR SITES WHERE STABILIZATION IS REQUIRED OUTSIDE OF A SEEDING SEASON, APPLY SEED AND MULCH OR STRAW MULCH ALONE AS PRESCRIBED IN SECTION B-4-3.1.A.1.B AND MAINTAIN UNTIL THE NEXT SEEDING SEASON.

TEMPORARY SEEDING SUMMARY

No.	SPECIES	SEED MIXTURE APPLICATION RATE (lb./ac.)	SEEDING DATES	SEEDING DEPTHS	FERTILIZER RATE (lb./ac.) (10-10-10)	LIME RATE (lb./ac.) (90 lb./1,000 lb.)
2 PEARLRY MILLET	20 lb./ac.	May 16 to July 31	0.5 INCHES			

SEDIMENT CONTROL NOTES

- A MINIMUM OF 48 HOURS NOTICE MUST BE GIVEN TO THE HOWARD COUNTY DEPARTMENT OF INSPECTION, LICENSES AND PERMITS, SEDIMENT CONTROL DIVISION PRIOR TO THE START OF ANY CONSTRUCTION. (410-313-1855).
- ALL VEGETATIVE AND STRUCTURAL PRACTICES ARE TO BE INSTALLED ACCORDING TO THE PROVISIONS OF THIS PLAN AND ARE TO BE IN CONFORMANCE WITH THE MOST RESTRICTIVE OF "MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL" AND REVISIONS THERETO.
- FOLLOWING INITIAL SOIL DISTURBANCE OR RE-DISTURBANCE, PERMANENT OR TEMPORARY STABILIZATION SHALL BE COMPLETED WITHIN:
 - A 3 CALENDAR DAYS FOR ALL PERMETER SEDIMENT CONTROL STRUCTURES, DICES, PERMETER SLOPES AND ALL SLOPES GREATER THAN 3:1.
 - 7 DAYS AS TO ALL OTHER DISTURBED OR GRADED AREAS ON THE PROJECT SITE.
- ALL DISTURBED AREAS MUST BE STABILIZED WITHIN THE TIME PERIOD SPECIFIED ABOVE IN ACCORDANCE WITH THE 2011 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL FOR PERMANENT SEEDING (Sec. B-4-5), TEMPORARY SEEDING (Sec. B-4-4) AND MULCHING (Sec. B-4-3). TEMPORARY STABILIZATION WITH MULCH ALONE CAN ONLY BE DONE WHEN RECOMMENDED SEEDING RATES DO NOT ALLOW FOR PROPER GERMINATION AND ESTABLISHMENT OF GRASSES.
- ALL SEDIMENT CONTROL STRUCTURES ARE TO REMAIN IN PLACE AND ARE TO BE MAINTAINED IN OPERATIVE CONDITION UNTIL PERMITS FOR THEIR REMOVAL HAS BEEN OBTAINED FROM THE HOWARD COUNTY SEDIMENT CONTROL INSPECTOR.
- SITE ANALYSIS:

TOTAL AREA OF SITE	LOTS			TOTAL
	LOTS 1-6, 14-21, 42 & 218	LOTS 60-73 & 84-100	LOT 94	
AREA DISTURBED	5,602 AC.	4,532 AC.	5,332 AC.	15,466 AC.
AREA TO BE ROOFTED OR PAVED	5,834 AC.	4,822 AC.	5,772 AC.	16,428 AC.
AREA TO BE VEGETATIVELY STABILIZED	2,474 AC.	1,644 AC.	2,454 AC.	6,572 AC.
AREA TO BE VEGETATIVELY STABILIZED	3,368 AC.	3,168 AC.	3,324 AC.	9,860 AC.
TOTAL FILL	6,004 CY	4,002 CY	6,000 CY	16,206 CY
OFF-SITE WASTE/BORROW AREA LOCATION:	NONE	NONE	NONE	NONE
- ANY SEDIMENT CONTROL PRACTICE WHICH IS DISTURBED BY GRADING ACTIVITY FOR REPLACEMENT OF UTILITIES MUST BE REPAIRED ON THE SAME DAY OF DISTURBANCE.
- ADDITIONAL SEDIMENT CONTROL MUST BE PROVIDED, IF DEEMED NECESSARY BY THE HOWARD COUNTY SEDIMENT CONTROL INSPECTOR.
- ON ALL SITES WITH DISTURBED AREAS IN EXCESS OF 2 ACRES, APPROVAL OF THE INSPECTION AGENCY SHALL BE REQUESTED UPON COMPLETION OF INSTALLATION OF PERMETER EROSION AND SEDIMENT CONTROLS, BUT BEFORE PROCEEDING WITH ANY OTHER EARTH DISTURBANCE OR GRADING. OTHER BUILDING OR GRADING INSPECTION APPROVALS MAY NOT BE AUTHORIZED UNTIL THIS INITIAL APPROVAL BY THE INSPECTION AGENCY IS OBTAINED.
- TRENCHES FOR THE CONSTRUCTION OF UTILITIES IS LIMITED TO 3 PEE LENGTHS OR THAT WHICH SHALL BE BACKFILLED AND STABILIZED BY THE END OF EACH WORK DAY, WHICHEVER IS SHORTER.
- ANY CHANGES OR REVISIONS TO THE SEQUENCE OF CONSTRUCTION MUST BE REVIEWED AND APPROVED BY THE PLAN APPROVAL AUTHORITY PRIOR TO PROCEEDING WITH CONSTRUCTION.
- A PROJECT IS TO BE SEQUENCED SO THAT THE GRADING ACTIVITIES BEING ON ONE GRADING UNIT (MAXIMUM ACREAGE OF 20 AC. PER GRADING UNIT) AT A TIME BEGINS WITH PROCEEDING TO A SUBSEQUENT GRADING UNIT WHEN AT LEAST 50 PERCENT OF THE DISTURBED AREA IN THE PRECEDING GRADING UNIT HAS BEEN STABILIZED AND APPROVED BY THE ENFORCEMENT AUTHORITY, UNLESS OTHERWISE SPECIFIED AND APPROVED BY APPROVAL AUTHORITY, NO MORE THAN 30 ACRES CUMULATIVELY MAY BE DISTURBED AT A GIVEN TIME.

B-4-8 STANDARDS AND SPECIFICATIONS FOR STOCKPILE AREA

DEFINITION: A MOUND OR PILE OF SOIL PROTECTED BY APPROPRIATELY DESIGNED EROSION AND SEDIMENT CONTROL MEASURES.

PURPOSE: TO PROVIDE A DESIGNATED LOCATION FOR THE TEMPORARY STORAGE OF SOIL THAT CONTROLS THE POTENTIAL FOR EROSION, SEDIMENTATION, AND CHANGES TO DRAINAGE PATTERNS. CONDITIONS WHERE PRACTICE APPLIES STOCKPILE AREAS ARE UTILIZED WHEN IT IS NECESSARY TO SALVAGE AND STORE SOIL FOR LATER USE.

CRITERIA:

- THE STOCKPILE LOCATION AND ALL RELATED SEDIMENT CONTROL PRACTICES MUST BE CLEARLY INDICATED ON THE EROSION AND SEDIMENT CONTROL PLAN.
- THE FOOTPRINT OF THE STOCKPILE MUST BE SIZED TO ACCOMMODATE THE ANTICIPATED VOLUME OF MATERIAL AND BASED ON A SIDE SLOPE RATIO NO STEEPER THAN 2:1. BENCHING MUST BE PROVIDED IN ACCORDANCE WITH SECTION B-3-1 LAND GRADING.
- RUNOFF FROM THE STOCKPILE AREA MUST DRAIN TO A SUITABLE SEDIMENT CONTROL PRACTICE.
- ACCESS THE STOCKPILE AREA FROM THE UPGRADE SIDE.
- CLEAR WATER RUNOFF INTO THE STOCKPILE AREA MUST BE MINIMIZED BY USE OF A DIVERSION DEVICE SUCH AS AN EARTH DIKE, TEMPORARY SWALE OR DIVERSION FENCE. PROMISONS MUST BE MADE FOR DISCHARGING CONCENTRATED FLOW IN A NON-EROSIVE MANNER.
- WHERE RUNOFF CONCENTRATES ALONG THE TOE OF THE STOCKPILE FILL, AN APPROPRIATE EROSION/SEDIMENT CONTROL PRACTICE MUST BE USED TO INTERCEPT THE DISCHARGE.
- STOCKPILES MUST BE STABILIZED IN ACCORDANCE WITH THE 3/7 DAY STABILIZATION REQUIREMENT AS WELL AS STANDARD B-4-1 INCREMENTAL STABILIZATION AND STANDARD B-4-4 TEMPORARY STABILIZATION.
- IF THE STOCKPILE IS LOCATED ON AN IMPERVIOUS SURFACE, A LINER SHOULD BE PROVIDED BELOW THE STOCKPILE TO FACILITATE CLEANUP. STOCKPILES CONTAINING CONTAMINATED MATERIAL MUST BE COVERED WITH IMPERMEABLE SHEETING.

MAINTENANCE: THE STOCKPILE AREA MUST CONTINUOUSLY MEET THE REQUIREMENTS FOR ADEQUATE VEGETATIVE ESTABLISHMENT IN ACCORDANCE WITH SECTION B-4-4 VEGETATIVE STABILIZATION. SOIL SLOPES MUST BE MAINTAINED AT NO STEEPER THAN A 2:1 RATIO. THE STOCKPILE AREA MUST BE KEPT FREE OF EROSION. IF THE VERTICAL HEIGHT OF A STOCKPILE EXCEEDS 20 FEET FOR 2:1 SLOPES, 30 FEET FOR 3:1 SLOPES, OR 40 FEET FOR 4:1 SLOPES, BENCHING MUST BE PROVIDED IN ACCORDANCE WITH SECTION B-3-1 LAND GRADING.

STANDARDS AND SPECIFICATIONS FOR DUST CONTROL

DEFINITION: CONTROLLING THE SUSPENSION OF DUST PARTICLES FROM CONSTRUCTION ACTIVITIES.

PURPOSE: TO PREVENT BLOWING AND MOVEMENT OF DUST FROM EXPOSED SOIL SURFACES TO REDUCE ON AND OFF-SITE DAMAGE INCLUDING HEALTH AND TRAFFIC HAZARDS.

CONDITIONS WHERE PRACTICE APPLIES: AREAS SUBJECT TO DUST BLOWING AND MOVEMENT OF DUST ON AND OFF-SITE DAMAGE IS LIKELY WITHOUT TREATMENT.

CRITERIA:

- MULCHES: SEE SECTION B-4-2 SOIL PREPARATION, TOPSOILING, AND SOIL AMENDMENTS. MULCH MUST BE APPLIED TO ALL EXPOSED SOIL SURFACES.
- SEEDING: SEE SECTION B-4-3 SEEDING AND MULCHING.
- VEGETATIVE STABILIZATION: SEE SECTION B-4-4 TEMPORARY STABILIZATION.
- TILLAGES: TILL TO ROUGHEN SURFACE AND BRING CLOSE TO THE SURFACE. BEGIN PLOWING ON WINDWARD SIDE OF SITE. CHISEL-TYPE PLOW SPREADS ABOUT 1/2 INCHES APART. OPERATOR SHOULD TURN PLOWS AND SIMILAR PLOWS AND EXPOSED EQUIPMENT THAT MAY PRODUCE THE DESIRED EFFECT.
- OPERATOR: SPRINKLE SITE WITH WATER UNTIL THE SURFACE IS MOST REPEAT AS NEEDED. THE SITE MUST NOT BE FROGGED TO THE POINT THAT RUNOFF OCCURS.
- BARBERS: SOLD BOARD FENCES, SILT FENCES, SLOW FENCES, BUSHY FENCES, STRAW BALES, AND SIMILAR MATERIAL CAN BE USED TO CONTROL AIR CURRENTS AND SOIL BLOWING.
- CHEMICAL TREATMENT: USE OF CHEMICAL TREATMENT REQUIRES APPROVAL BY THE APPROPRIATE PLAN REVIEW AUTHORITY.

GRAPHIC SCALE: 1" = 50'

SCALE: 1" = 50'

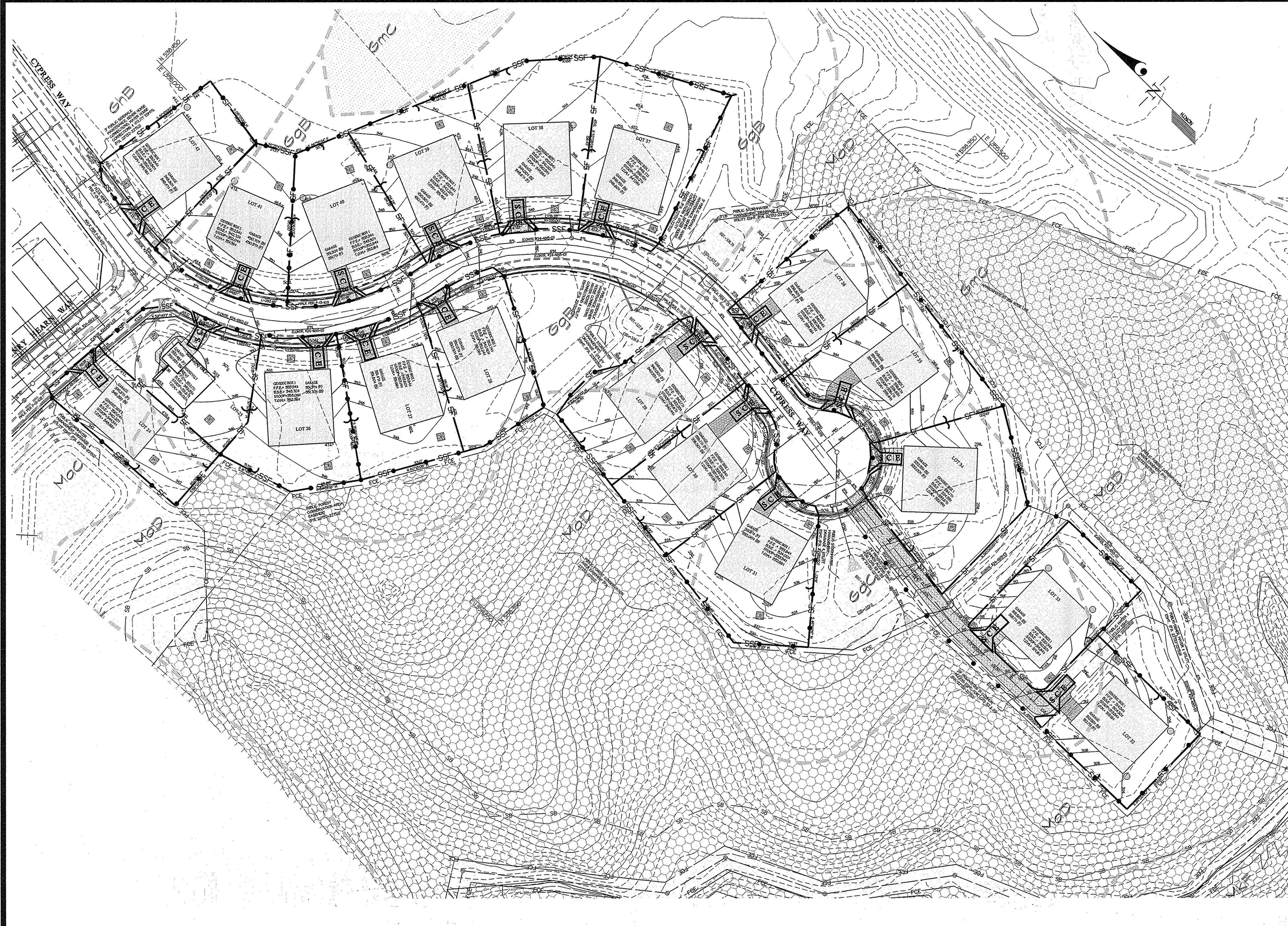
ZONING: R-ED

G. L. V. FILE No. 11067

DATE: August 2014

TAX MAP - GRID: 47-3

SHEET: 8 OF 11



B-4.5 STANDARDS AND SPECIFICATIONS FOR PERMANENT STABILIZATION

DEFINITION
TO STABILIZE DISTURBED SOILS WITH PERMANENT VEGETATION.

PURPOSE
TO USE LONG-LIVED PERENNIAL GRASSES AND LEGUMES TO ESTABLISH PERMANENT GROUND COVER ON DISTURBED SOILS.

CONDITIONS WHERE PRACTICE APPLIES
EXPOSED SOILS WHERE GROUND COVER IS NEEDED FOR 6 MONTHS OR MORE.

CRITERIA

A. SEED MIXTURES

1. GENERAL USE

- SELECT ONE OR MORE OF THE SPECIES OR MIXTURES LISTED IN TABLE B.3 FOR THE APPROPRIATE PLANT HARDNESS ZONE (FROM FIGURE B.3) AND BASED ON THE SITE CONDITION OR PURPOSE FOUND ON TABLE B.2. ENTER SELECTED MIXTURE(S), APPLICATION RATES, AND SEEDING DATES IN THE PERMANENT SEEDING SUMMARY. THE SUMMARY IS TO BE PLACED ON THE PLAN.
- ADDITIONAL PLANTING SPECIFICATIONS FOR EXCEPTIONAL SITES SUCH AS SHOULDER, STREAM BANKS, OR DUNES OR FOR SPECIAL PURPOSES SUCH AS WILDLIFE OR AESTHETIC TREATMENT MAY BE FOUND IN USDA-NRCS TECHNICAL FIELD OFFICE GUIDE, SECTION 342 "CRITICAL AREA PLANTING".
- FOR SITES HAVING DISTURBED AREA OVER 5 ACRES, USE AND SHOW THE RATES RECOMMENDED BY THE SOIL TESTING AGENCY.
- FOR AREAS RECEIVING LOW TO MEDIUM INTENSIVE TURF GRASS, APPLY UREA FORM FERTILIZER (46-0-0) AT 3 1/2 POUNDS PER 1000 SQUARE FEET (150 POUNDS PER ACRE) AT THE TIME OF SEEDING IN ADDITION TO THE SOIL AMENDMENTS SHOWN IN THE PERMANENT SEEDING SUMMARY.

2. TURFGRASS MIXTURES

- AREAS WHERE TURFGRASS MAY BE DESIRED INCLUDE LAWNS, PARKS, PLAYGROUNDS, AND COMMERCIAL SITES WHICH WILL RECEIVE A MEDIUM TO HIGH LEVEL OF MAINTENANCE.
- SELECT ONE OR MORE OF THE SPECIES OR MIXTURES LISTED BELOW BASED ON THE SITE CONDITIONS OR PURPOSE. ENTER SELECTED MIXTURE(S), APPLICATION RATES, AND SEEDING DATES IN THE PERMANENT SEEDING SUMMARY. THE SUMMARY IS TO BE PLACED ON THE PLAN.
 - KENTUCKY BLUEGRASS:** FULL SUN MIXTURE. FOR USE IN AREAS THAT RECEIVE INTENSIVE MANAGEMENT, IRRIGATION REQUIRED IN THE AREAS OF CENTRAL MARYLAND AND EASTERN SHORE. RECOMMENDED CERTIFIED KENTUCKY BLUEGRASS CULTIVARS SEEDING RATE: 1.5 TO 2.0 POUNDS PER 1000 SQUARE FEET. CHOOSE A MINIMUM OF THREE KENTUCKY BLUEGRASS CULTIVARS WITH EACH RANGING FROM 10 TO 35 PERCENT OF THE TOTAL MIXTURE BY WEIGHT.
 - KENTUCKY BLUEGRASS/PERENNIAL RYE:** FULL SUN MIXTURE. FOR USE IN FULL SUN AREAS WHERE RAPID ESTABLISHMENT IS NECESSARY AND WHEN TURF WILL RECEIVE MEDIUM TO INTENSIVE MANAGEMENT. CERTIFIED PERENNIAL RYEGRASS CULTIVARS/CERTIFIED KENTUCKY BLUEGRASS SEEDING RATE: 2 POUNDS MIXTURE PER 1000 SQUARE FEET. CHOOSE A MINIMUM OF THREE KENTUCKY BLUEGRASS CULTIVARS WITH EACH RANGING FROM 10 TO 35 PERCENT OF THE TOTAL MIXTURE BY WEIGHT.
 - TALL FESCUE/KENTUCKY BLUEGRASS:** FULL SUN MIXTURE. FOR USE IN BRIGHT PROBE AREAS AND FOR AREAS RECEIVING LOW TO MEDIUM MANAGEMENT IN FULL SUN TO MEDIUM SHADE. RECOMMENDED MIXTURE INCLUDES: CERTIFIED TALL FESCUE CULTIVARS 45 TO 100 PERCENT, CERTIFIED KENTUCKY BLUEGRASS CULTIVARS 5 TO 5 PERCENT. SEEDING RATE: 5 TO 8 POUNDS PER 1000 SQUARE FEET. ONE OR MORE CULTIVARS MAY BE BLENDED.
 - KENTUCKY BLUEGRASS/FINE FESCUE:** SHADE MIXTURE. FOR USE IN AREAS WITH SHADE IN BLUEGRASS LAWNS. FOR BEST QUALITY, INTENSIVELY MANAGED TURF AREA. MIXTURE INCLUDES: CERTIFIED KENTUCKY BLUEGRASS CULTIVARS 30 TO 40 PERCENT AND CERTIFIED FINE FESCUE AND 60 TO 70 PERCENT. SEEDING RATE: 1 1/2 TO 3 POUNDS PER 1000 SQUARE FEET.

NOTES

SELECT TURFGRASS VARIETIES FROM THOSE LISTED IN THE MOST CURRENT UNIVERSITY OF MARYLAND PUBLICATION, AGRONOMY MEMO #77, "TURFGRASS CULTIVAR RECOMMENDATIONS FOR MARYLAND".

CHOOSE CERTIFIED MATERIAL. CERTIFIED MATERIAL IS THE BEST GUARANTEE OF CULTIVAR PURITY. THE CERTIFICATION PROGRAM OF THE MARYLAND DEPARTMENT OF AGRICULTURE, TURF AND SEED SECTION, PROVIDES A RELIABLE MEANS OF CONSUMER PROTECTION AND ASSURES A PURE GENETIC LINE.

i. IDEAL TIMES OF SEEDING FOR TURF GRASS MIXTURES

5b. 5A. WESTERN MD: MARCH 1 TO JUNE 1, AUGUST 1 TO OCTOBER 1 (HARDNESS ZONES: 5B, 5A)

CENTRAL MD: MARCH 1 TO MAY 15, AUGUST 15 TO OCTOBER 15 (HARDNESS ZONE: 5B)

5b. 5B. SOUTHERN MD, EASTERN SHORE: MARCH 1 TO MAY 15, AUGUST 15 TO OCTOBER 15 (HARDNESS ZONES: 7A, 7B)

j. TILL AREAS TO RECEIVE SEED BY DISKING OR OTHER APPROVED METHODS TO A DEPTH OF 2 TO 4 INCHES, LEVEL AND RAKE THE AREAS TO PREPARE A PROPER SEEDBED. REMOVE STONES AND DEBRIS OVER 1 1/2 INCHES IN DIAMETER. THE RESULTING SEEDBED MUST BE IN SUCH CONDITION THAT FUTURE MOWING OF GRASSES WILL POSE NO DIFFICULTY.

k. IF SOIL MOISTURE IS DEFICIENT, SUPPLY NEW SEEDINGS WITH ADEQUATE WATER FOR PLANT GROWTH (1/2 TO 1 INCH EVERY 3 TO 4 DAYS DEPENDING ON SOIL TEXTURE) UNTIL THEY ARE FIRMLY ESTABLISHED. THIS IS ESPECIALLY TRUE WHEN SEEDINGS ARE MADE LATE IN THE PLANTING SEASON, IN ANNOUALLY DRY OR HOT SEASONS, OR ON ADVERSE SITES.

PERMANENT SEEDING SUMMARY

HARDNESS ZONE:	SEED MIXTURE: #9 (Tall Fescue/ Kentucky Bluegrass)	APPLICATION RATE	SEEDING DATES	SEEDING DEPTHS	FERTILIZER RATE (10-20-20)	LIME RATE
6b	Certified Tall Fescue blend (50% by weight): Falcon, Fern 1907 & Rebel Exotic and Certified Kentucky Bluegrass blend (50% by weight): Courtyard, Raven & Yankee	6-8 lb/1000 s.f.	Mar. 1 to May 15, Aug. 15 to Oct. 15	1/4 - 1/2 in.	1.0 lb/1000 (45 lb/acre)	90 lb/1000 s.f.

*Other cultivars listed as proven in the most current UMD 11-77 may also be used.

B. SOD: TO PROVIDE QUICK COVER ON DISTURBED AREAS (2:1 GRADE OR FLATTER).

1. GENERAL SPECIFICATIONS

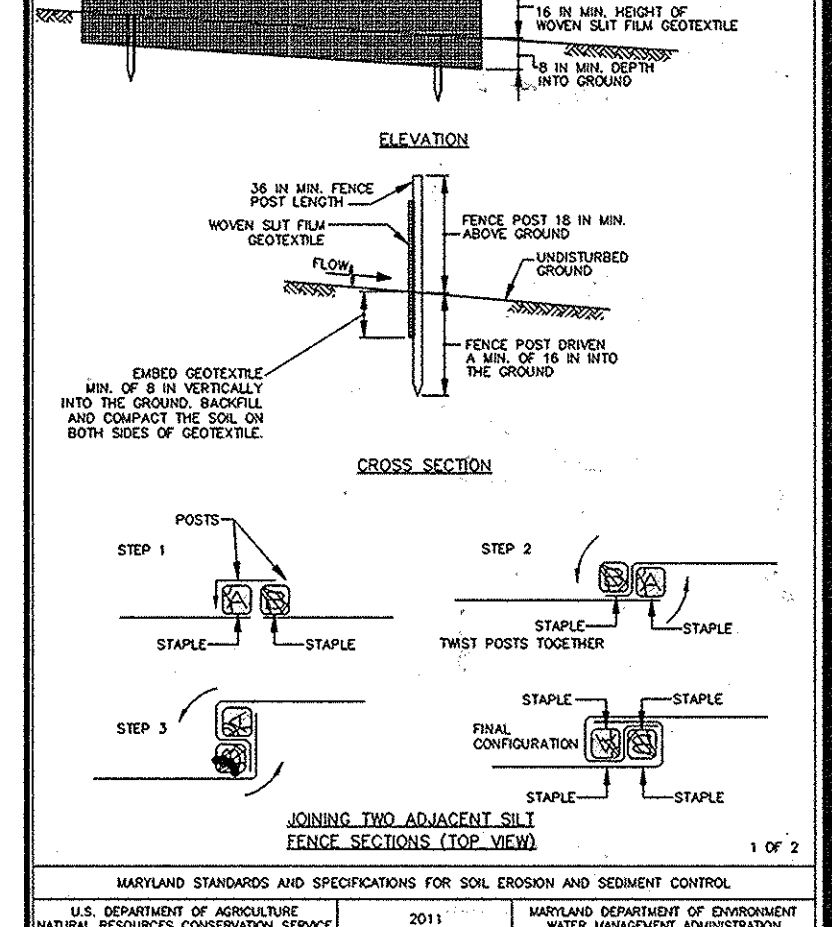
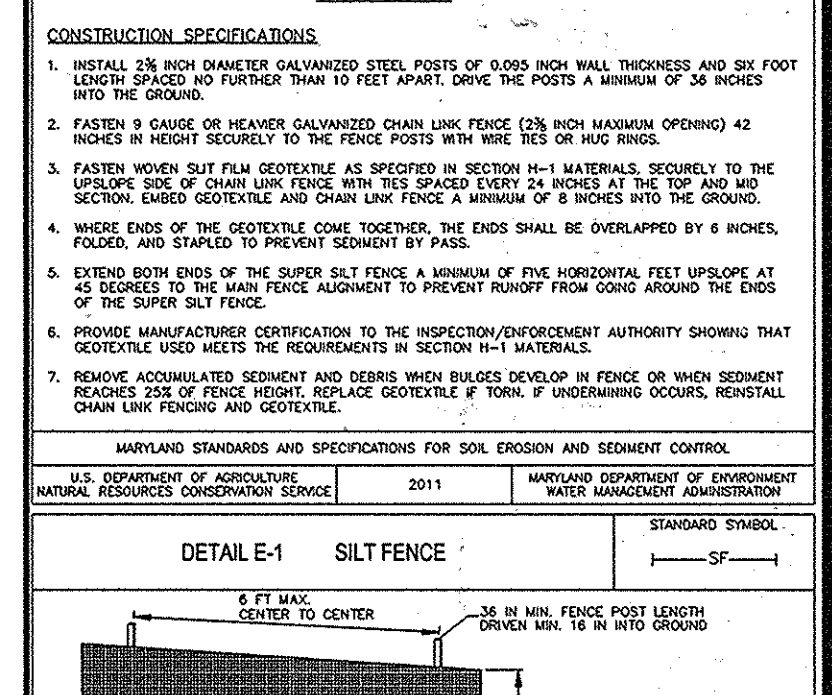
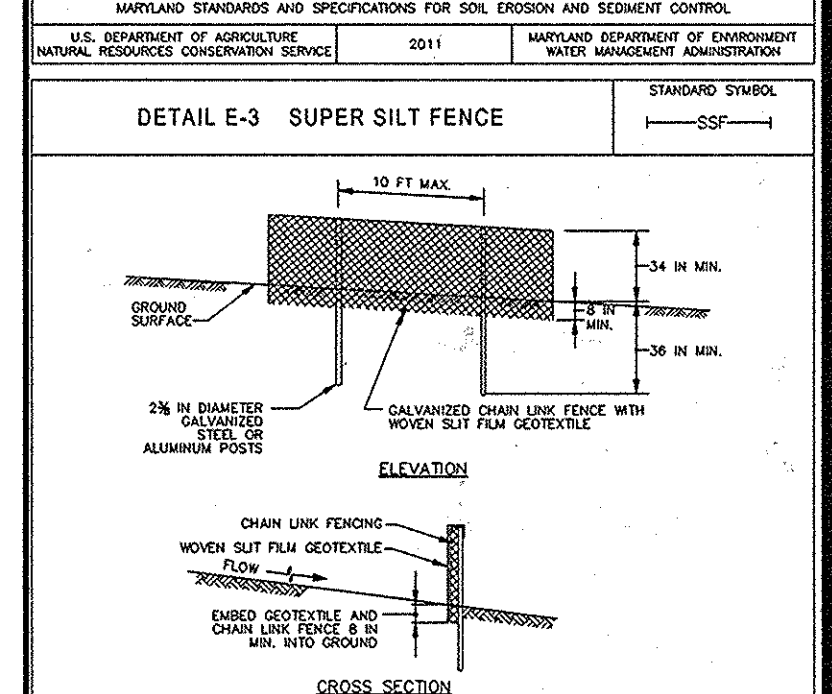
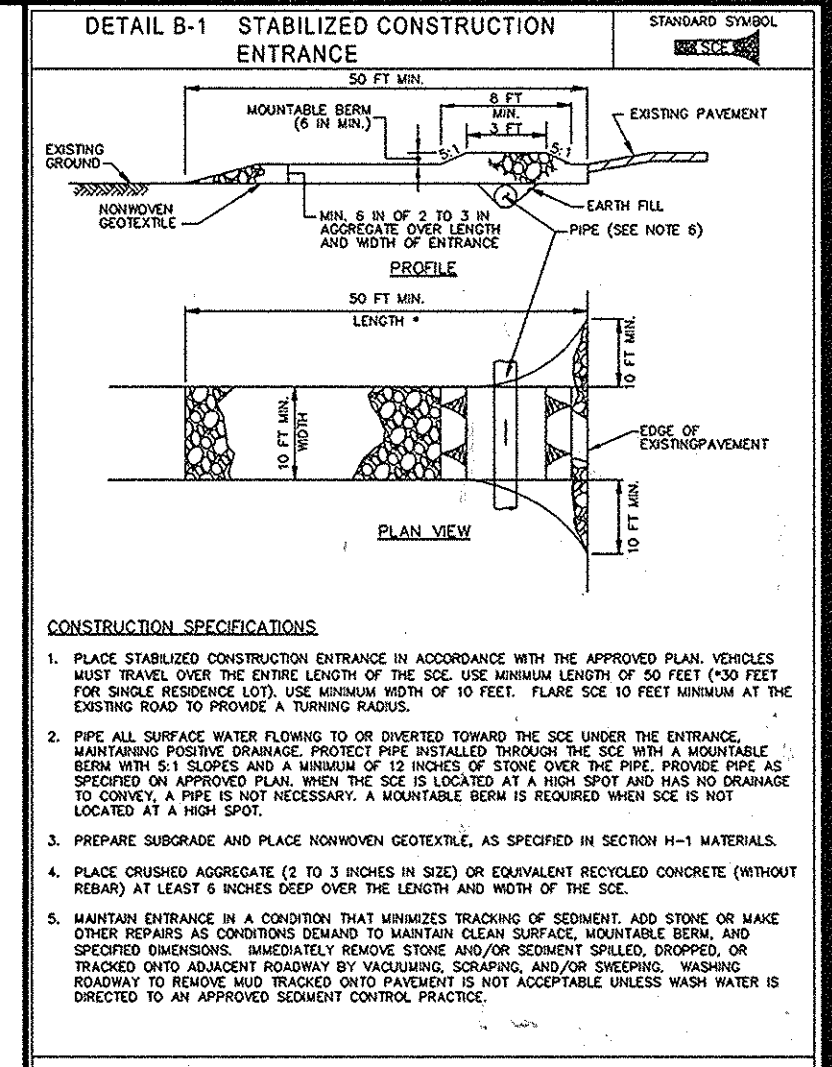
- CLASS OF TURFGRASS SOD MUST BE MARYLAND AND STATE CERTIFIED. SOD LABELS MUST BE MADE AVAILABLE TO THE JOB FOREMAN AND INSPECTOR.
- SOD MUST BE MACHINE CUT AT A UNIFORM SOIL THICKNESS OF 3/4 INCH PLUS OR MINUS 1/4 INCH. AT THE TIME OF CUTTING, MEASUREMENT FOR THICKNESS MUST EXCLUDE TOP GROWTH AND THATCH. BROKEN PADS AND TORN OR UNEVEN ENDS WILL NOT BE ACCEPTABLE.
- STANDARD SIZE SECTIONS OF SOD MUST BE STRONG ENOUGH TO SUPPORT THEIR OWN WEIGHT AND RETAIN THEIR SHAPE WHEN SUSPENDED VERTICALLY WITH A FIRM GRASP ON THE UPPER 10 PERCENT OF THE SECTION.
- SOD MUST NOT BE HARVESTED OR TRANSPORTED WHEN MOISTURE CONTENT (EXCESSIVELY DRY OR WET) MAY ADVERSELY AFFECT ITS SURVIVAL.
- SOD MUST BE HARVESTED, DELIVERED, AND INSTALLED WITHIN A PERIOD OF 36 HOURS. SOD NOT TRANSPORTED WITHIN THIS PERIOD MUST BE APPROVED BY AN AGRONOMIST OR SOIL SCIENTIST PRIOR TO ITS INSTALLATION.

2. SOD INSTALLATION

- DURING PERIODS OF EXCESSIVELY HIGH TEMPERATURE OR IN AREAS HAVING DRY SUBSOIL, LIGHTLY IRRIGATE THE SUBSOIL IMMEDIATELY PRIOR TO LAYING THE SOD.
- LAY THE FIRST ROW OF SOD IN A STRAIGHT LINE WITH SUBSEQUENT ROWS PLACED PARALLEL TO IT AND TIGHTLY WEDGED AGAINST EACH OTHER. STAGGER LATERAL JOINTS TO PROMOTE MORE UNIFORM GROWTH AND STRENGTH. ENSURE THAT SOD IS NOT STRETCHED OR OVERLAPPED AND THAT ALL JOINTS ARE BUTTED TIGHT IN ORDER TO PREVENT VOIDS WHICH WOULD CAUSE AIR DRYING OF THE ROOTS.
- WHEREVER POSSIBLE, LAY SOD WITH THE LONG EDGES PARALLEL TO THE CONTOUR AND WITH STAGGERING JOINTS. ROLL AND TAMP, PEG OR OTHERWISE SECURE THE SOD TO PREVENT SLIPAGE, ON SLOPES, ENSURE SOLID CONTACT EXISTS BETWEEN SOD ROOTS AND THE UNDERLYING SURFACE.
- WATER THE SOD IMMEDIATELY FOLLOWING ROLLING AND TAMPING UNTIL THE UNDERSIDE OF THE NEW SOD PAD AND SOIL SURFACE BELOW THE SOD ARE THOROUGHLY WET. COMPLETE THE OPERATIONS OF LAYING, TAMPING AND IRRIGATING FOR ANY PIECE OF SOD WITHIN EIGHT HOURS.

3. SOD MAINTENANCE

- DURING PERIODS OF ADEQUATE RAINFALL, WATER DAILY DURING THE FIRST WEEK OR AS OFTEN AND SUFFICIENTLY AS NECESSARY TO MAINTAIN MOST SOIL TO A DEPTH OF 4 INCHES. WATER SOD DURING THE HEAT OF THE DAY TO PREVENT WILTING.
- AFTER THE FIRST WEEK, SOD WATERING IS REQUIRED AS NECESSARY TO MAINTAIN ADEQUATE MOISTURE CONTENT.
- DO NOT MOW UNTIL THE SOD IS FIRMLY ROOTED. NO MORE THAN 1/3 OF THE GRASS LEAF MUST BE REMOVED BY THE INITIAL CUTTING OR SUBSEQUENT CUTTINGS. MAINTAIN A GRASS HEIGHT OF AT LEAST 3 INCHES UNLESS OTHERWISE SPECIFIED.



CONSTRUCTION SPECIFICATIONS

- PLACE STABILIZED CONSTRUCTION ENTRANCE IN ACCORDANCE WITH THE APPROVED PLAN. VEHICLES MUST BE KEPT OFF THE ENTRANCE UNTIL THE SOIL SURFACE IS FULLY STABILIZED.
- PREPARE SURFACE AND PLACE NONWOVEN GEOTEXTILE, AS SPECIFIED IN SECTION H-1 MATERIALS.
- PLACE CRUSHED AGGREGATE (2 TO 3 INCHES IN SIZE) OR EQUIVALENT REINFORCED CONCRETE (WITHOUT REBAR) AT LEAST 4 INCHES DEEP OVER THE LENGTH AND WIDTH OF THE ENTRANCE.
- MAINTAIN ENTRANCE IN A CONDITION THAT MINIMIZES TRACKING OF SEDIMENT AND STEPS OR MAKE OTHER PREPARED AS CONDITIONS DEMAND TO MAINTAIN CLEAN SURFACE. MOUNTABLE BEAMS AND SPECIFIED DIMENSIONS. MAINTAIN BEAMS AT LEAST 2 INCHES ABOVE THE SURFACE. TRACKED ONTS ADJACENT ROADWAY BY MAINTAINING, SCRAPING, AND/OR SPECIFIC WASHING. WASHING TO BEING AND TRACKING MUST BE ACCEPTABLE UNLESS WASH WATER IS DIRECTED TO AN APPROVED SEDIMENT CONTROL PRACTICE.

CONSTRUCTION SPECIFICATIONS

- INSTALL 2x6 OR HEAVIER GALVANIZED STEEL POSTS OF 4005 HIGH WALL THICKNESS AND 2x6 FOOT LENGTH SPACED NO FURTHER THAN 10 FEET APART. DRIVE THE POSTS A MINIMUM OF 36 INCHES INTO THE GROUND.
- FASTEN 3 GAUGE OR HEAVIER GALVANIZED CHAIN LINK FENCE (24 HIGH MAXIMUM OPENING 42 HIGHER) TO THE STEEL POSTS WITH 1/2 INCH DIA. STEEL RINGS OR RINGS.
- FASTEN WOVEN SILT FLM GEOTEXTILE AS SPECIFIED IN SECTION H-1 MATERIALS, SECURING TO THE UPSIDE SIDE OF CHAIN LINK FENCE WITH TIES SPACED EVERY 2 FEET ALONG THE TOP AND BOTTOM EDGES OF GEOTEXTILE AND CHAIN LINK FENCE. A MINIMUM OF 8 INCHES FROM THE GROUND.
- WEDGE ENDS OF THE GEOTEXTILE TOGETHER. THE ENDS SHALL BE OVERLAPPED BY 6 INCHES, FORGED AND STAPLED TOGETHER TO PREVENT RIPPING FROM GROUND PULLING.
- EXTEND BOTH ENDS OF THE SUPER SILT FENCE A MINIMUM OF FIVE HORIZONTAL FEET UPLOUSE AT THE MAIN FORCE ADJUSTMENT TO PREVENT RIPPING FROM GROUND PULLING AT THE ENDS OF THE SUPER SILT FENCE.
- REMOVE ACCUMULATED SEDIMENT AND DEBRIS WHEN BUILDS UP IN FENCE OR WHEN SEDIMENT REACHES 2/3 OF FENCE HEIGHT. REMOVE GEOTEXTILE & TOP OF UNDERMINING OCCURS. REINSTALL FENCE AND GEOTEXTILE.

CONSTRUCTION SPECIFICATIONS

- USE WOOD POSTS IN 4x4 OR 6x6 (MINIMUM) SQUARE CUT OF SOUND QUALITY HARDWOOD AS AN ALTERNATE TO WOODEN POST USE STANDARD 1x4 OR 2x4 SECTION. POSTS NEARING THE END MUST BE 1x4 OR 2x4 (MINIMUM) SQUARE CUT OF SOUND QUALITY HARDWOOD AS AN ALTERNATE TO WOODEN POST USE.
- USE 36 INCH MINIMUM POSTS DRIVEN 18 INCH MINIMUM INTO GROUND NO MORE THAN 6 FEET APART.
- USE WOVEN SILT FLM GEOTEXTILE AS SPECIFIED IN SECTION H-1 MATERIALS AND FASTEN GEOTEXTILE SECURELY TO UPSIDE SIDE OF FENCE POSTS WITH WIRE TIES OR STAPLES AT TOP AND BOTTOM EDGES.
- PROVIDE MANUFACTURER CERTIFICATION TO THE AUTHORIZED REPRESENTATIVE OF THE REPRESENTATIVE AUTHORITY SHOWING THAT THE GEOTEXTILE USED MEETS THE REQUIREMENTS IN SECTION H-1 MATERIALS.
- WHERE TWO SECTIONS OF GEOTEXTILE ADJOIN, OVERLAP, TWIST, AND STAPLE TO POST IN ACCORDANCE WITH THE DETAIL.
- EXTEND BOTH ENDS OF THE SILT FENCE A MINIMUM OF FIVE HORIZONTAL FEET UPLOUSE AT THE MAIN FORCE ADJUSTMENT TO PREVENT RIPPING FROM GROUND PULLING AT THE ENDS OF THE SILT FENCE.
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THIS PLAN IS FOR SEDIMENT CONTROL PURPOSES ONLY

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

Director: *[Signature]* Date: *9/30/14*

Chief, Division of Land Development: *[Signature]* Date: *9-30-14*

Chief, Development Engineering Division: *[Signature]* Date: *9-24-14*

BUILDER'S CERTIFICATE

"I/WE CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A MARYLAND DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HSCD."

Signature of Developer/Builder: *[Signature]* Date: *9/28/14*

ENGINEER'S CERTIFICATE

"I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT."

Signature: *[Signature]* Date: *9-10-14*

PROFESSIONAL CERTIFICATION

I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 12275.

EXPIRATION DATE: May 26, 2016

Signature: *[Signature]* Date: *9-10-14*

PREPARED FOR:

PROPERTY OWNER (SELLER): BEZIER HOMES CORP. 8965 GULFORD ROAD SUITE 230 COLUMBIA, MD 21046 PH: 410-381-3222 ATTN: BRIAN KNAUFF

BUILDER (CONTRACT PURCHASER): MVR INC. 9720 PATUXENT WOODS DR. COLUMBIA, MD 21046 PH: 410-379-5956 ATTN: TIM NAUGHTON

SEDIMENT CONTROL PLAN

SCALE: 1" = 50'

ZONING: R-ED

G. L. W. FILE NO.: 11067

DATE: August 2014

TAX MAP - GRID: 47 - 3

SHEET: 9 OF 11

HOWARD COUNTY, MARYLAND

WINCOPIA FARMS

LOT Nos. 1-6, 14-42, 60-73 and 94-100

(SFD RESIDENTIAL USE)

PLAT Nos. 22752-22752

HOWARD COUNTY, MARYLAND

REVISION: _____

DATE: _____

BY: _____

APP'R: _____

DATE: *9-10-14*

ELECTION DISTRICT No. 6



ENGINEER'S CERTIFICATE
 I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

CKG **9-10-14**
 DATE

BUILDER'S CERTIFICATE
 I/WE CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A MARYLAND DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HSCD.

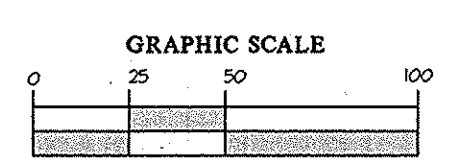
[Signature] **8/28/14**
 SIGNATURE OF DEVELOPER/BUILDER DATE

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

[Signature] **9/12/14**
 HOWARD S.C.D.

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

[Signature] **9/24/14** Date
 Director
[Signature] **9-30-14** Date
 Chief, Division of Land Development
[Signature] **9-24-14** Date
 Chief, Development Engineering Division



THIS PLAN IS FOR SEDIMENT CONTROL PURPOSES ONLY

GLWGUTSCHICK LITTLE & WEBER, P.A.
 CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
 3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK
 BURTONSVILLE, MARYLAND 20886
 TEL: 301-421-4024 BALT. 410-889-1820 DC/VA 301-389-2524 FAX: 301-421-4188

DATE	REVISION	BY	APPR.

PREPARED FOR:
PROPERTY OWNER (SELLER):
 BEAZER HOMES CORP.
 8805 QUINCY ROAD
 SUITE 230
 COLUMBIA, MD 21046
 PH: 410-381-3222
 ATTN: BRIAN KNAUFF
BUILDER (CONTRACT PURCHASER):
 NVR INC.
 9720 PATUXENT WOODS DR.
 COLUMBIA, MD 21046
 PH: 410-378-5956
 ATTN: TIM NAUGHTON

PROFESSIONAL CERTIFICATION
 I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 12375.
 EXPIRATION DATE: **May 26, 2017**
9-10-14



SEDIMENT CONTROL PLAN
WINCOPIA FARMS
LOT Nos. 1-6, 14-42, 60-73 and 94-100
 (SFD RESIDENTIAL USE)
 PLAT Nos. 22732-22752
 HOWARD COUNTY, MARYLAND

SCALE	ZONING	G. L. W. FILE No.
1" = 50'	R-ED	11067
DATE	TAX MAP - GRID	SHEET
August 2014	47 - 3	10 OF 11

LANDSCAPE NOTES

- THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH SECTION 16.124 OF THE HOWARD COUNTY CODE & CHAPTER VI OF THE HOWARD COUNTY LANDSCAPE MANUAL.
- CONTRACTOR SHALL NOTIFY ALL UTILITIES AT LEAST (5) FIVE DAYS BEFORE STARTING WORK. ALL GENERAL NOTES, ESPECIALLY THOSE REGARDING UTILITIES, ON SHEET NO.1 SHALL APPLY.
- FIELD VERIFY UNDERGROUND UTILITY LOCATIONS AND EXISTING CONDITIONS BEFORE STARTING PLANTING WORK. CONTACT CONSTRUCTION MANAGER OR OWNER IF ANY RELOCATIONS ARE REQUIRED.
- PLANT QUANTITIES SHOWN ON THE PLANT LIST ARE PROVIDED FOR THE CONVENIENCE OF THE CONTRACTOR ONLY. IF DISCREPANCIES EXIST BETWEEN QUANTITIES SHOWN ON THE PLAN AND THOSE SHOWN ON THE PLANT LIST, THE QUANTITIES ON THE PLAN SHALL TAKE PRECEDENCE.
- ALL PLANT MATERIAL SHALL BE FULL, HEAVY, WELL FORMED, SYMMETRICAL, AND CONFORM TO THE A.A.N. SPECIFICATIONS. ALL PLANT MATERIAL SHALL BE INSTALLED IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS AND THIS PLAN.
- NO SUBSTITUTION SHALL BE MADE WITHOUT PRIOR APPROVAL FROM HOWARD COUNTY DPZ AND THE OWNER OR HIS REPRESENTATIVE.
- ALL AREAS DISTURBED BY CONSTRUCTION ACTIVITIES BUT NOT OTHERWISE PLANTED, PAVED, OR MULCHED SHALL BE SOODED OR SEEDED IN ACCORDANCE WITH THE PERMANENT SEEDING SPECIFICATION. A MINIMUM OF 4" OF TOPSOIL SHALL BE PROVIDED TO ALL PLANTING AREAS (FOR TOPSOIL SPEC. SEE SHEET 7).
- THE CONTRACTOR SHALL NOTIFY THE OWNER IN WRITING IF HE/SHE ENCOUNTERS SOIL DRAINAGE CONDITIONS THAT MAY BE DETRIMENTAL TO THE GROWTH OF THE PLANTS.
- ALL EXPOSED EARTH WITHIN THE LIMITS OF PLANTING BEDS SHALL BE MULCHED WITH SHIPPED HARDWOOD MULCH PER THE PLANTING DETAILS.
- DO NOT PLANT WITHIN THE PUBLIC WATER, SEWER AND UTILITY EASEMENT.
- "SCHEDULE A AND SCHEDULE C" IS PROVIDED FOR LANDSCAPE SURETY CALCULATION PURPOSES. FINANCIAL SURETY FOR THE REQUIRED LANDSCAPING SHALL BE POSTED WITH THE GRADING PERMIT FOR HOUSE CONSTRUCTION IN THE AMOUNT OF \$ 1500,000 FOR THE LOTS PER THIS SDP AS FOLLOWS:
 16 SHADE TREES @ \$300 EACH = \$ 4800,00
 10 EVERGREEN TREES @ \$150 EACH = \$ 2100,00
 FOR LANDSCAPE INSPECTION TO OBTAIN THE RELEASE OF THE SURETY, CONTACT HOWARD COUNTY DEPT. OF PLANNING & ZONING AT 410-303-2350. SEE THE CHART ON THIS SHEET FOR THE BREAK DOWN OF THE SURETY ON A PER LOT BASIS.

RESIDENTIAL LANDSCAPE PERIMETER REQUIREMENTS (SCHEDULE-A)

USE SITUATION	SIDE OF SFD ORIENTED TO ROADWAY						
LANDSCAPE TYPE	(1:50 SHADE TREES, 1:40 EVGR. TREES)						
PERIMETER LOCATION	LOT 1	LOT 14	LOT 22	LOT 25	LOT 62	LOT 73	LOT 100
SIDE LENGTH OF LOT	134'	46.1'	47.6'	84.6'	100'	147'	92'
CREDIT FOR EXISTING VEGETATION	N/A	N/A	N/A	N/A	N/A	N/A	N/A
CREDIT FOR WALL, FENCE OR BERM	N/A	N/A	N/A	N/A	N/A	N/A	N/A
NUMBER OF PLANTS REQUIRED							
SHADE TREES	3	2	2	2	2	3	2
EVERGREEN TREES	3	2	2	2	2	4	2
SHRUBS	N/A	N/A	N/A	N/A	N/A	N/A	N/A
NUMBER OF PLANTS PROVIDED							
SHADE TREES	3	2	2	2	2	3	2
EVERGREEN TREES	3	2	2	2	2	3	2
OTHER TREES @ 2:1 SUBSTITUTION	0	0	0	0	0	0	0
SHRUBS (0:1 SUBSTITUTION)	N/A	N/A	N/A	N/A	N/A	N/A	N/A

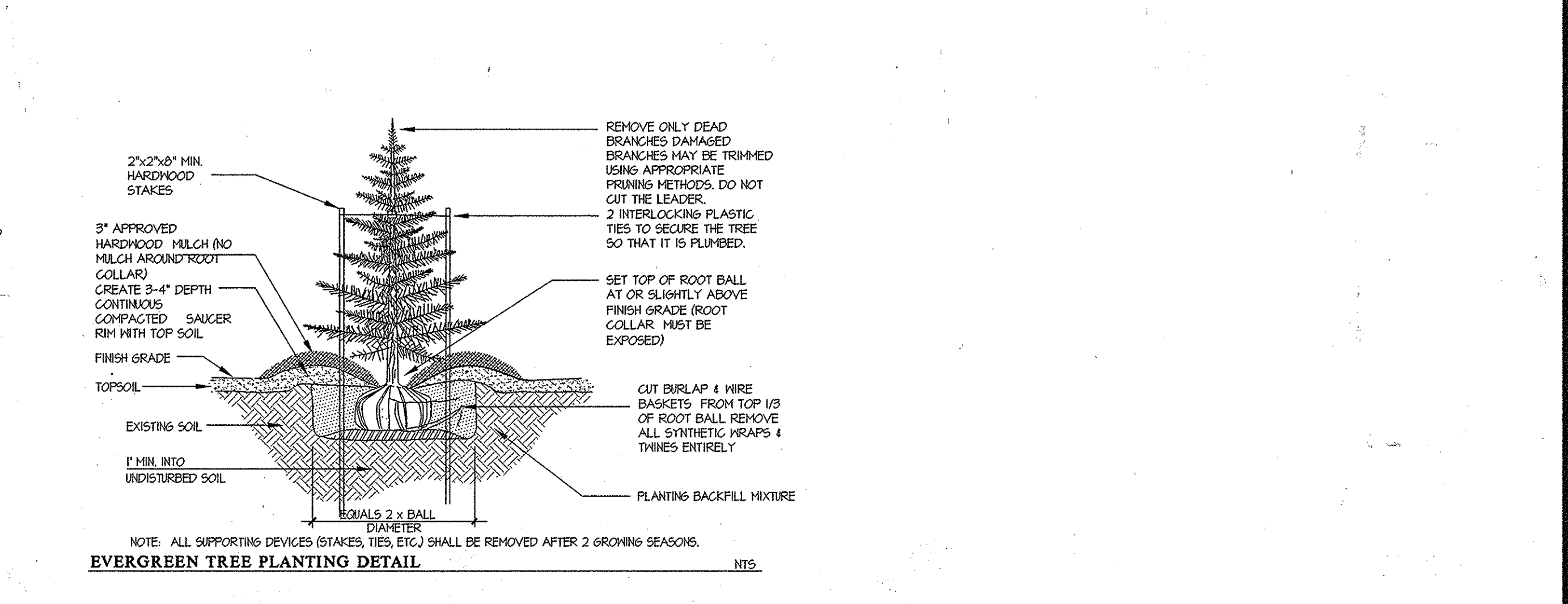
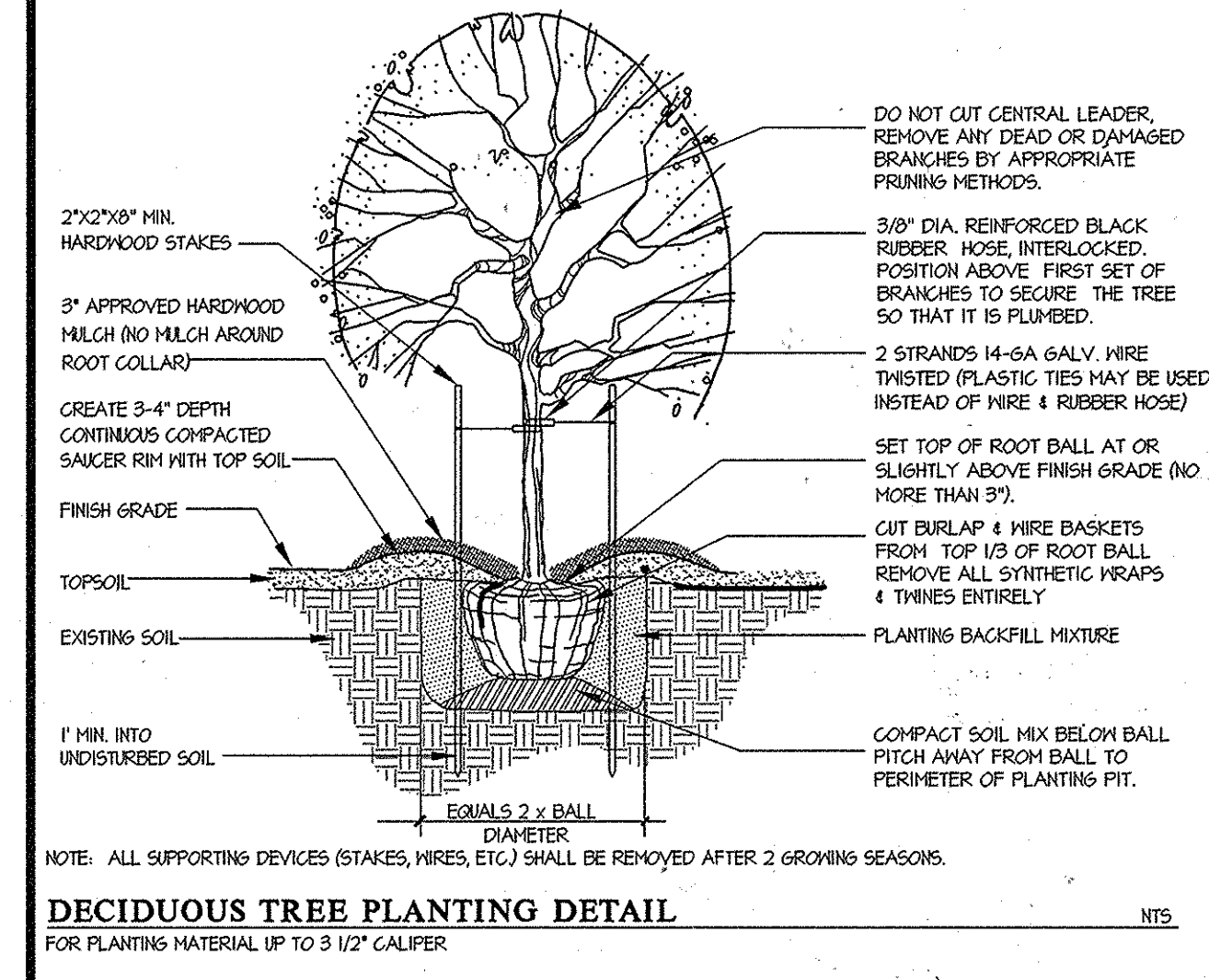
LANDSCAPE SURETY PER LOT

LOT NO.	PLANT QUANTITY		SURETY AMOUNT
	SHADE TREES	EVERGREEN	
1	3	3	\$ 1,250.00
14	2	2	\$ 400.00
22	2	2	\$ 400.00
25	2	2	\$ 400.00
62	2	3	\$ 1,050.00
73	3	4	\$ 1,500.00
100	2	2	\$ 400.00
TOTAL	16	10	\$ 7,500.00

STATE OF MARYLAND
 Michael E. Tran
 9.10.14
 LANDSCAPE SURETY

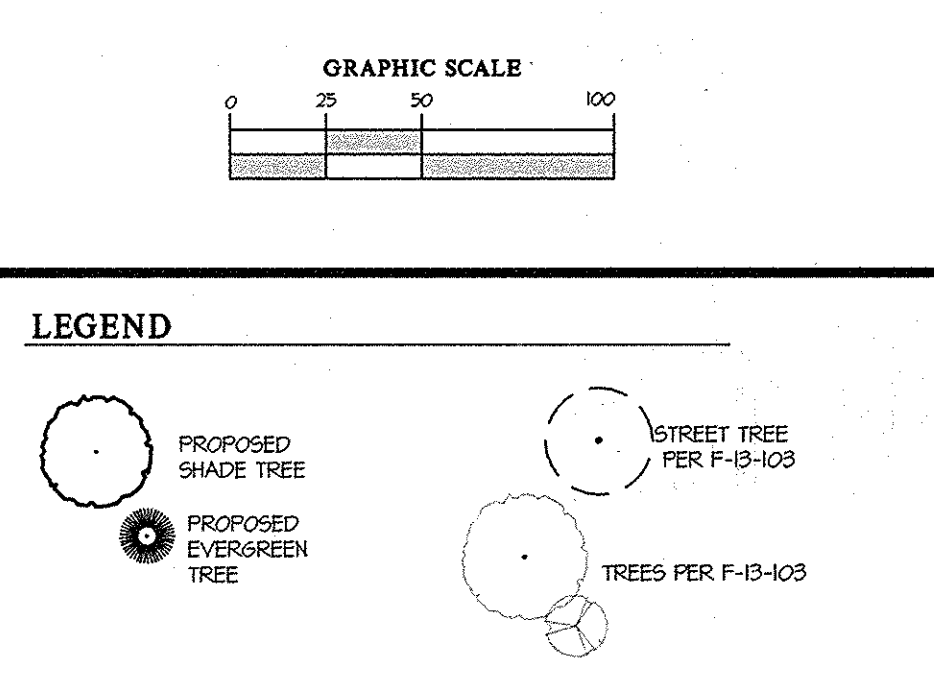
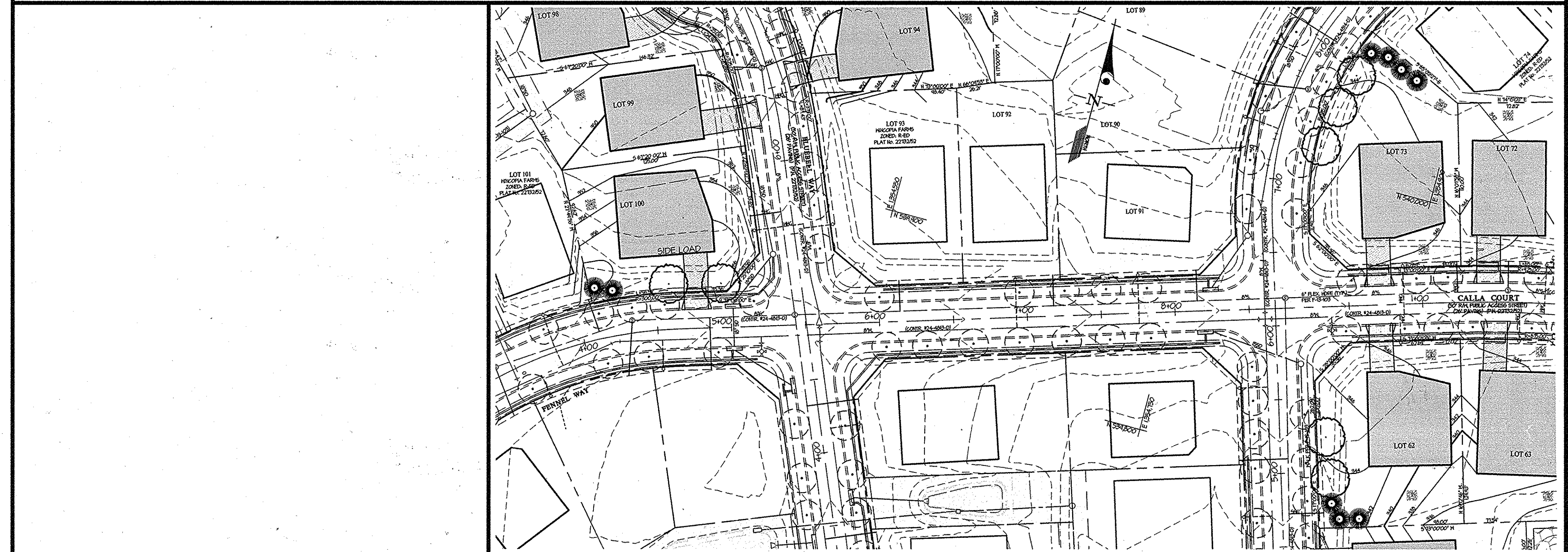
PLANT LIST

SYMBOL	QUANT.	NAME (BOTANICAL/COMMON) OF PLANTS FOR SELECTION BY OWNER/BUYER	SIZE	COMMENTS
SHADE	16	SOPHORA JAPONICA / JAPANESE PAGODA TREE BETULA NIGRA 'HERITAGE' / HERITAGE CLUMP BIRCH CERCIDIPHYLLUM JAPONICA / KATSURATREE	2 1/2" - 3" CAL. MIN. 10' - 12' HT. MIN.	
EVERGREEN	10	PICEA OMORICA / SERBIAN SPRUCE ILEX OPACA / AMERICAN HOLLY ILEX X NELLIE R. STEVENS / NELLIE R. STEVENS HOLLY CEDRUS DEODORA / DEODAR CEDAR	6-8' HT.	ALL BAB



NOTES

- AT THE TIME OF PLANT INSTALLATION ALL SHRUBS AND TREES LISTED AND APPROVED ON THE LANDSCAPE PLAN SHALL COMPLY WITH THE PROPER HEIGHT REQUIREMENT IN ACCORDANCE WITH THE HOWARD COUNTY LANDSCAPE MANUAL. IN ADDITION NO SUBSTITUTIONS OR RELOCATIONS OF THE REQUIRED PLANTINGS MAY BE MADE WITHOUT PRIOR REVIEW AND APPROVAL FROM THE DEPARTMENT OF PLANNING AND ZONING. ANY DEVIATION FROM THE APPROVED LANDSCAPE PLAN MAY RESULT IN DENIAL IN THE RELEASE OF LANDSCAPE SURETY UNTIL SUCH TIME AS ALL REQUIRED MATERIALS ARE PLANTED AND/OR REVISIONS ARE MADE TO THE APPLICABLE PLANS.
- THE OWNER, TENANTS AND/OR THEIR AGENTS SHALL BE RESPONSIBLE FOR MAINTENANCE OF THE REQUIRED LANDSCAPING INCLUDING BOTH PLANT MATERIALS AND BERMS, FENCES AND WALLS. ALL PLANT MATERIALS SHALL BE MAINTAINED IN GOOD GROWING CONDITION AND WHEN NECESSARY, REPLACED WITH NEW MATERIAL TO ENSURE CONTINUED COMPLIANCE WITH APPLICABLE REGULATIONS. ALL OTHER REQUIRED LANDSCAPING SHALL BE PERMANENTLY MAINTAINED IN GOOD CONDITION AND WHEN NECESSARY, REPAIRED OR REPLACED.

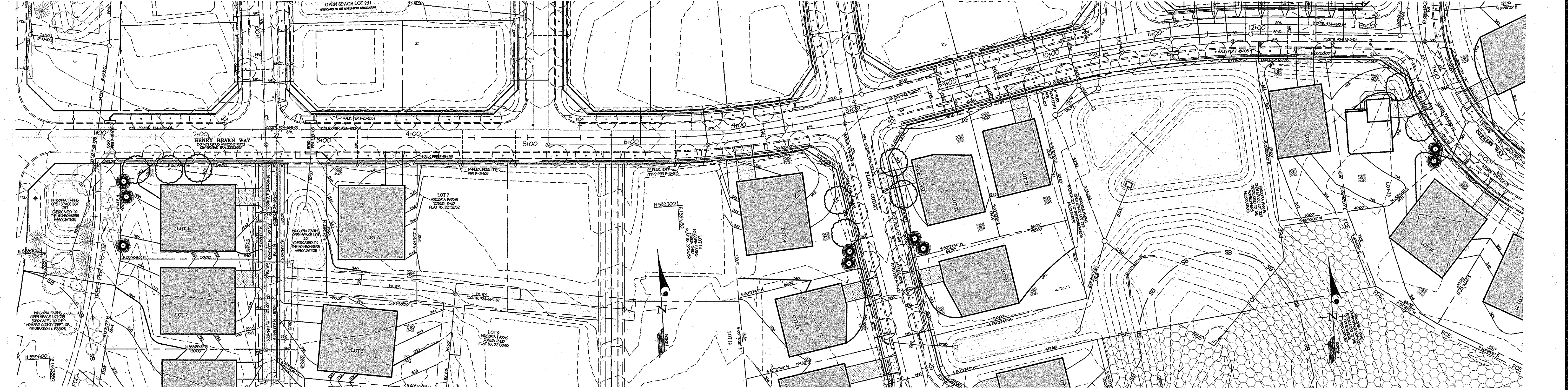


DEVELOPER'S/BUILDER'S CERTIFICATE

I/WE CERTIFY THAT THE LANDSCAPING SHOWN ON THIS PLAN WILL BE DONE ACCORDING TO THE PLAN SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE HOWARD COUNTY LANDSCAPE MANUAL AND THE M.F. LANDSCAPE DESIGN CRITERIA. I/WE FURTHER CERTIFY THAT UPON COMPLETION A LETTER OF LANDSCAPE INSTALLATION, ACCOMPANIED BY AN EXECUTED ONE YEAR GUARANTEE OF PLANT MATERIALS, WILL BE SUBMITTED TO THE DEPARTMENT OF PLANNING AND ZONING.

NAME: [Signature] DATE: 8/28/14

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
 Director: [Signature] DATE: 9/10/14
 Chief, Division of Land Development: [Signature] DATE: 9-30-14
 Chief, Development Engineering Division: [Signature] DATE: 9-24-14



THIS PLAN IS FOR PLANTING PURPOSES ONLY

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PREPARED FOR:

PROPERTY OWNER (SELLER): BEAZER HOMES CORP., 9955 GULFROD ROAD, SUITE 230, COLUMBIA, MD 21046, PH: 410-381-3222, ATTN: BRIAN KNAUFF

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