

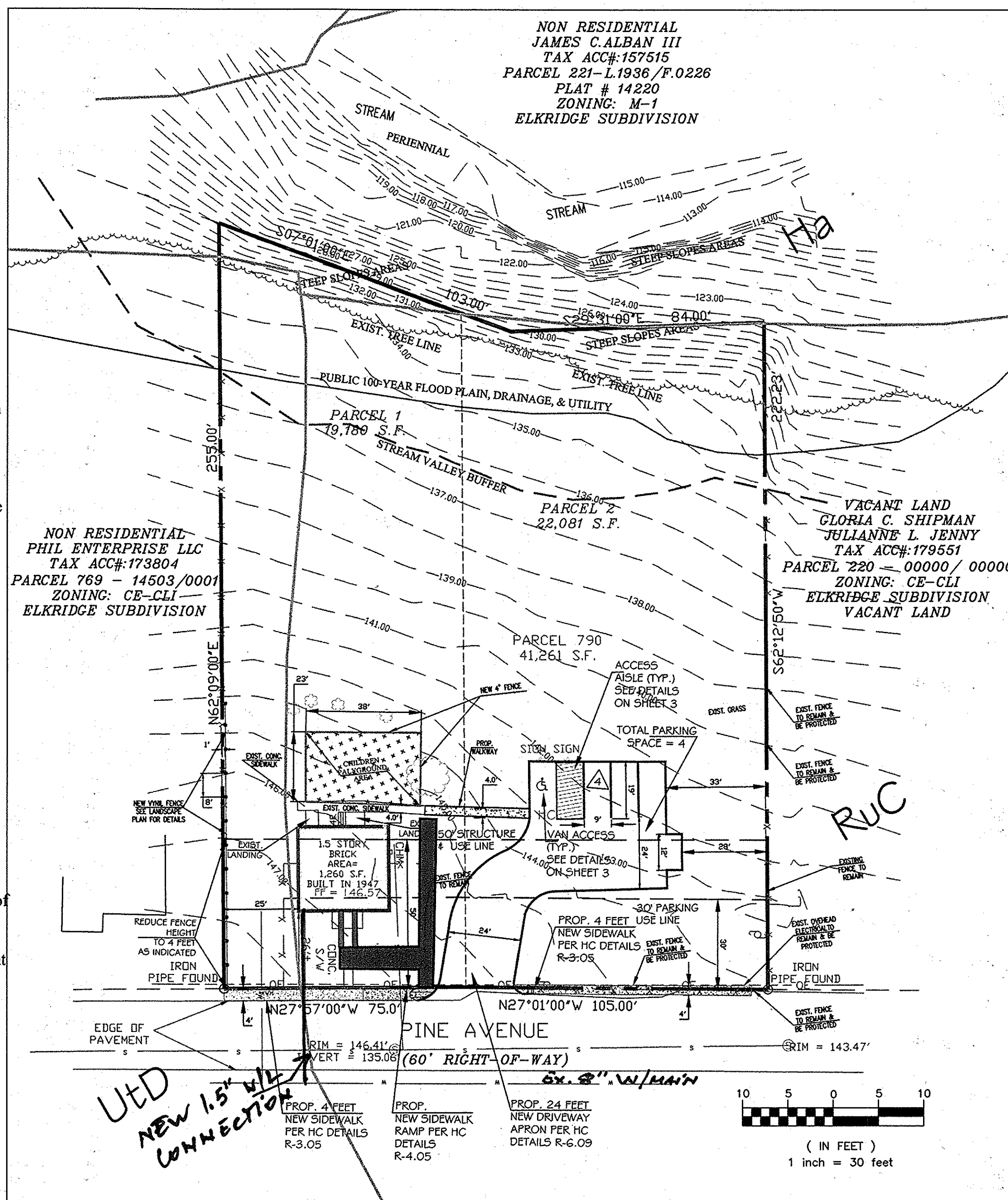
SITE ANALYSIS DATA CHART

- Property Owner: Oladunni AROMIRE
6154 Hooks Lane,
Elkridge, MD 21075
Phone # (410) - 540-4951
Attn: Mrs. Oladunni Aromire
 - Site Data:
 - Address: 6157 Pine Avenue
Elkridge, MD 21075
 - Tax ID # 1401158792
 - Parcel 0760
 - Liber: 03857 / Folio: 0646
 - Tax MAP / GRID: 0038 / 0008
 - Subdivision: ELKRIDGE
 - Tract Area: 0.947 Ac
 - Election District: 1-16
 - Current Zone: CE-CLI
 - Current Use: Residential - Single Family Dwelling Unit
 - Proposing Use: Day Care Center
 - Total site area = 41,251.0 sq. ft. or 0.947 ac.
 - Existing impervious area = 1,620.0 s.f. or 0.037 ac.
 - Proposed impervious area = 2,951.0 s.f. or 0.068 ac.
 - Total impervious area = 4,571.0 s.f. or 0.105 ac.
 - Total disturbed area = 4,786.0 s.f. or 0.110 ac.
 - Tree protection required only where silt fence is not adequate. Consult inspector.
 - A demolition permit shall be obtained for the removal of existing improvements on this site, if necessary.
 - Parking Lots Surface will be dusted free made out of Asphalt
 - Soils information from the Howard County Soil Survey indicates that the Soil Type of the site is RuB (Russett and Beltsville soils, 2 to 5 percent)
 - Property shown herein lies within Zone "A2", the area is subject to 100-year flooding. Flood Plain Areas as mapped by FEMA on Community Panel No. 24027C180D dated November 06, 2013.
 - The Site is located in the DEEP RUN Watershed.
 - A portion of the Property is situated in the 100 - Year Floodplain
 - The Property is not situated in Chesapeake Bay critical Area
 - There are no known historic resources on the site.
 - Access to the Site is provided via Pine Avenue.
 - Stormwater Management Concept Approval is not required due to the fact that the LOD is less than 5,000 SF.
 - If any existing striping or pavement marking needs to be removed for the purpose of the mill and overlay, that pavement marking needs to be repaved.
 - For any modified structures, shop drawing approval by Howard County Department of Engineering required prior to construction
 - The Topographic information shown heron was performed by RESD, LLC. NOA Group does not warrant or guarantee the completeness or correctness of said information.
 - The Boundary information shown heron was performed by RESD, LLC through available County Record Plat.
 - No more land to be disturbed than necessary for the proposed playground & driveway, walk, and parking lot.
 - All construction debris will be removed from the site and taken to an approved, permitted disposal facility. no rubble is to be left on site.
 - No title report furnished, thus, all restrictions, easements, and encumbrances to the property may not be shown.
 - This site development plan complies with the requirements of Section 16.1200 of the Howard County Code for Forest Conservation with the payment of \$3,267.00 FEE-IN-LIEU for 0.1 acre obligation.
- Please note the 0.11 acres obligation is based that unless existing forest on-site is placed in easement, it is counted as to be cleared.

SITE DEVELOPMENT PLAN

DAY CARE CENTER PROJECT SITE IMPROVEMENTS

ELECTION DISTRICT No 1 HOWARD COUNTY, MARYLAND



SHEET INDEX

SHEET 1.....	COVER & SITE LAYOUT SHEET
SHEET 2.....	EXISTING CONDITIONS
SHEET 3.....	GRADING & E & SC
SHEET 4.....	E & SC NOTES & DETAILS
SHEET 5.....	LANDSCAPING PLAN
SHEET 6.....	NRI /FCP
SHEET 7.....	SIGHT DISTANCE

APPROVED: DEPARTMENT OF PLANNING AND ZONING

[Signature] 11/7/14 Date
Chief, Development Engineering Division

[Signature] 11/20/14 Date
Chief, Division of Land Development

[Signature] 11/24/14 Date
Director

PARKING TABULATION

PARKING REQUIRED: 3 Space per 1,000 SF = 1,260.00 SF x 3/1,000 = 4 Spaces

PARKING PROVIDED: 3 Regular Spaces @ 9' x 18'
1 Van Handicapped @ 9' x 18'

TOTAL PROVIDED: 4

ZONING REQUIREMENTS

	REQUIRED	EXISTING	
1) LOT AREA	N/A	41,251.00	(SQ. FT.)
2) MIN. LOT WIDTH	N/A	140	(FT.)
3) MAX. BUILDING HEIGHT	60	12	(FT.)
4) NUMBER OF FLOORS	N/A	N/A	
5) LOADING SPACES REQUIRED	N/A	N/A	
6) MIN. YARD REQUIREMENTS:			
FRONT	50 (FT.)	SIDE N/A (FT.)	REAR N/A (FT.)
7) OVERLAY DISTRICT(S)			

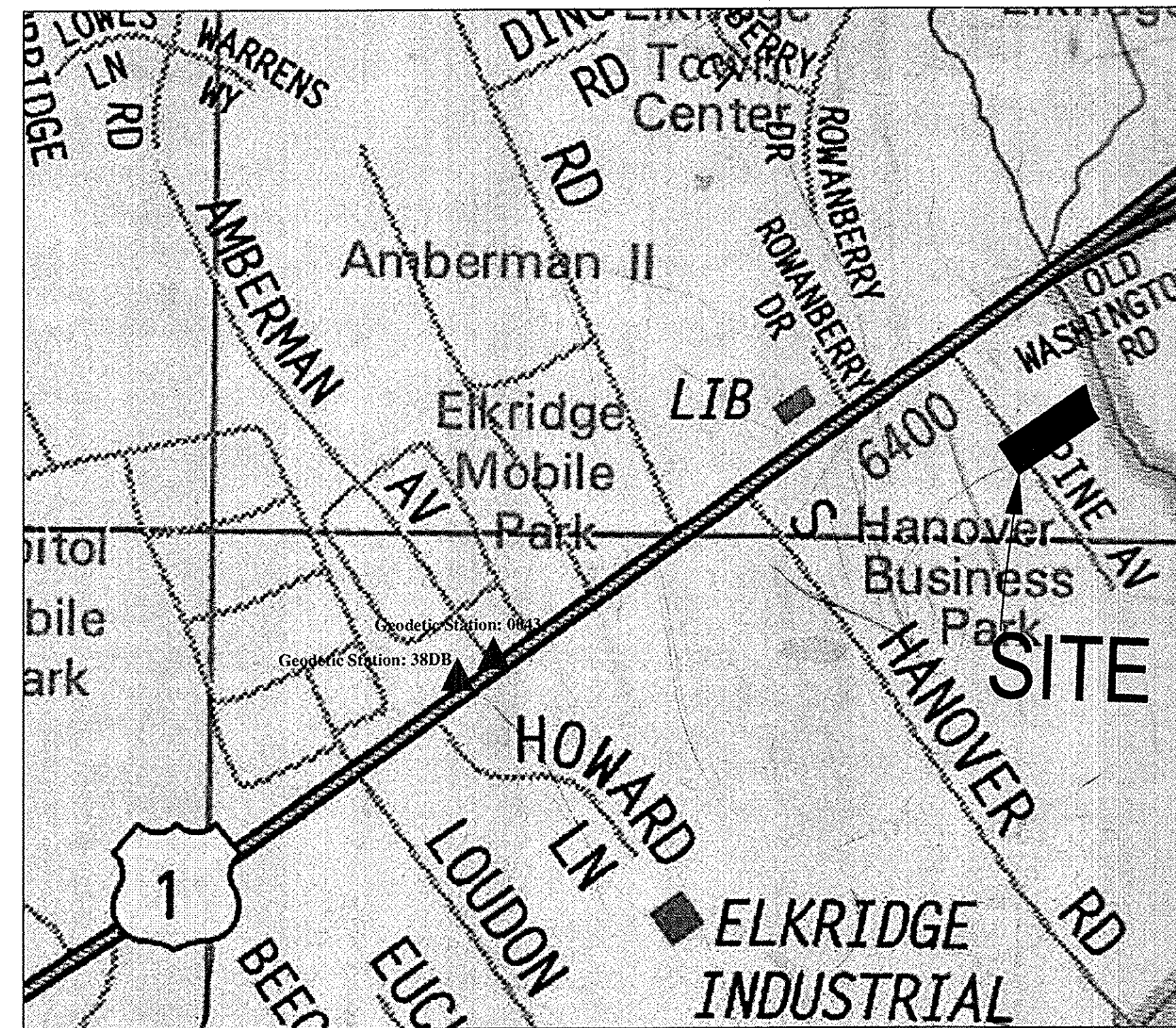
SITE PLAN (SP) TABULATIONS

1) SITE AREA	0.947	(ACRES)	41,251.00	(SQ. FT.)
2) USE	DAYCARE CENTER			
3) NUMBER OF LOTS	1			
5) EXISTING BUILDING GROSS FLOOR AREA	1,260			
				(SQ. FT.)

- REQUIRED GENERAL NOTES**
- The subject property is zoned CE-CLI per the 2013 Comprehensive Zoning Plan adopted 10/6/13.
 - No grading, removal of vegetative cover or trees, paving and new structures shall be permitted within the required wetlands, stream(s) or their buffers, forest conservation easement areas and 100 year floodplain.

- GENERAL NOTES**
- There is an existing structure to remain to which is within the 50' Structure & use setbacks and is recognized as an existing non-compliance. All future additions must meet the setbacks requirements.
 - The site development plan recognizes the current license cap of 12 maximum daycare enrollees. An expansion of this use may require additional review of this site development plan.
 - The site is limited from meeting the requirements of the Route 1 manual since it was developed prior to the creation of the CE District and only minor improvements are proposed with this site plan.
- The trash will be removed and disposed by the Staff in a daily basis during week day.

- LANDSCAPE SURETY NOTES**
- This plan has been prepared in accordance with the provisions of Section 16.124 of the Howard County Code and Landscape Manual, Financial Surety of \$4,260.0 for 6 shade trees, 8 ornamental trees, 0 evergreen trees, and 42 shrubs has been posted with the grading permits". Code C



SCALE: 1" = 2000'
ADC Map / Grid No: 4937 / C8
Geodetic Benchmark: 38DM2
Geodetic Station: 0043 & 35D8

VICINITY MAP

- CONSTRUCTION NOTES:**
- Contractor to Remove all existing Stripes.
 - Contractor to Restripe as shown using Post 1970 Parking regulation of the Zoning Ordinance for parking and Loading Size & Calculation. Part 11, Division 2 & 3.
 - Contractor to remove existing fenced trash area.
 - Contractor to Protect all existing Utilities like water Well, etc...
 - Contractor to protect and field verify exact Cleanout & Sewer Lateral location. Contractor to remove, dispose, and relocate Cleanout & Lateral Sewer, as necessary.

Site Development Plan Signature Blocks, Standard Charts, etc

ADDRESS CHART

LOT/PARCEL#	STREET ADDRESS
790	6157 PINE AVENUE

PERMIT INFORMATION CHART

Subdivision Name: ELKRIDGE	Section/Area: N/A	Lot/Parcel No. 790
Plat# or LF: 3857/646	Grid# 8	Zoning-CE-CLI
Tax Map No. 38	1 Elect District - 1	Census Tract N/A
Water Code	Sewer Code	

Professional certification. I hereby certify that these documents were prepared or approved by me, and that I am a duly Licensed Professional Engineer under the laws of the State of Maryland, License No. 35296 Expiration date: January 07, 2016

[Signature]

DATE	REVISION	DATE	BY	DATE
	BASE DATA	CADD	3/06/14	
	DESIGNED	RC	3/06/14	
	DRAWN	RC	3/06/14	
	REVIEWED	BK	3/06/14	
	RELEASE FOR			
	BY			

OWNER/DEVELOPER:
OLADUNNI AROMIRE
6157 PINE AVENUE
ELKRIDGE, MARYLAND 21075
PHONE: (410) 540-4951
CONTACT: OLADUNNI AROMIRE

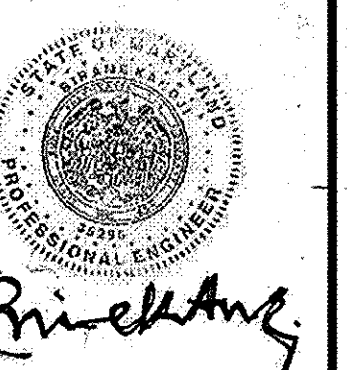
COVER SHEET

NOA
Consulting Group, LLC
Civil Engineers • Land Planners • Construction Managers
23110 Yellowwood Drive, Clarkburg, MD 20871
Phone: 240.361.7895
bkandji@noa-group.com www.noa-group.com

TAX ACC#: 1401157892 - TAX MAP/GRID: 038-08 - PARCEL: 0790

FIRST THOUSAND PLUS DAYCARE SITE IMPROVEMENT

ELKRIDGE SUBDIVISION - LIBER: 03857 - FOLIO: 0646
PARCEL 0790 - ELECTION DISTRICT # 1-16
HOWARD COUNTY, MARYLAND



Demolition Notes:

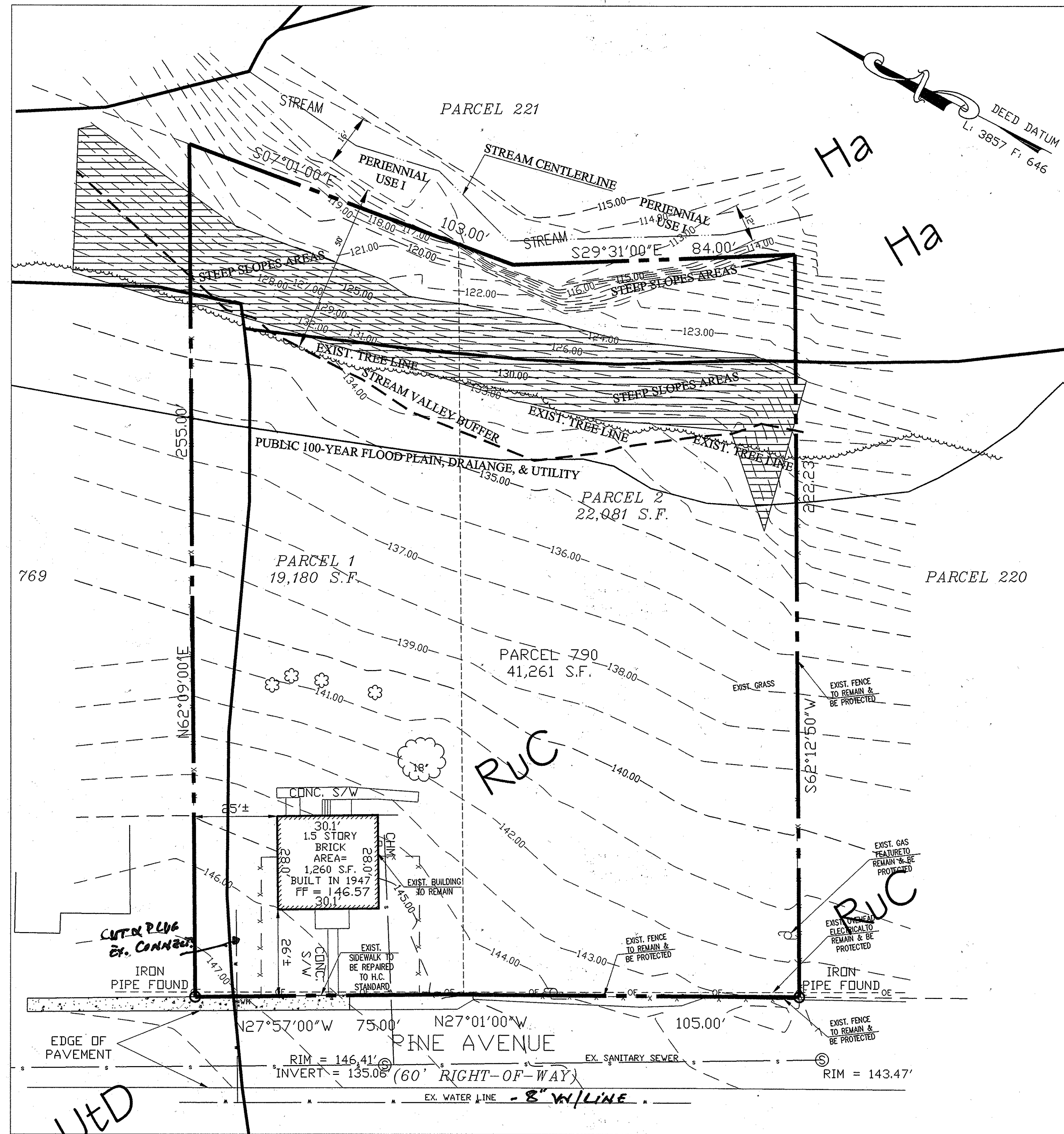
- The contractor shall notify "miss utility" 1-800-257-7777 at least five 5 working days prior to starting any work. test pit required to determine exact horizontal & vertical location of existing utilities.
- NOA Group LLC does not warrant or guarantee the correctness or the completeness of the information given. The contractor must verify all such information to his own satisfaction. in the event that information is in conflict with information outlined, the contractor shall immediately bring it to the attention of the architect prior to starting any work.
- Contractor shall verify location and elevation of existing utilities shown hereon before starting any work on these plans. Contractor agrees to be fully responsible for the cost of any and all damages which occur as a result of a failure to exactly locate and preserve any and all existing utilities indicated to remain.
- All construction debris will be removed from the site and taken to an approved, permitted disposal facility. No rubble is to be left on site.
- Contractor shall remove existing curbs & concrete walks to the nearest joint. No patching will be permitted.
- The demolition information shown on this drawings is for the convenience of the contractor only. It is the contractors responsibility to determine the exact limits of demolition and removal of affected site items.
- Contractor shall inspect and take pictures of adjacent building walls prior to the commencement of any demolition on the site. existing wall cracks (if any) will be noted.
- Contractor shall continually monitor the walls of the adjacent buildings for any signs of structural distress. if any distress is noted, contractor shall stop work immediately and notify owner.
- Contractor shall not expose, undermine, or impact the zone of influence for footings and foundations of adjacent buildings. contractor will be responsible for the cost to repair adjacent buildings that are damaged due to his operation.
- Contractor shall sawcut existing paving to minimize damage to existing paving remaining.
- Existing utilities poles & overhead utilities on site or in construction areas affecting this development will be removed or relocated at the developer's expense.

Underground Utilities Notes:

- No more than 500 linear feet of trench may be opened at one time.
- Excavated material shall be placed on the uphill side of trenches.
- Effluent from dewatering operations shall be filtered or passed through an approved sediment trapping device (e.g. silt fence), or both, and discharged in a manner that does not adversely affect flowing streams or off-site property.
- Material used for backfilling trenches shall be properly compacted in order to minimize erosion and promote stabilization.
- Restabilization shall be accomplished in accordance with these regulations.
- Applicable safety regulations shall be complied with.

STORM DRAINAGE NOTES

- All storm drain shall be constructed in accordance with the latest edition of the general specifications of the State of Maryland.
- Types of structures refer to the standard storm drainage details of the State of Maryland.
- Where the drop on the main line through a structure can be accommodated by an invert slope of 1.5 to 1 or flatter, a rounded channel lined with sewer brick on edge shall be built to the crown of the pipes.
- Information concerning underground utilities was obtained from available records but the contractor must determine the exact location an elevation of the mains by digging test pits by hand at the utility crossing well in advance of trenching. if clearances are less than shown on this plan or twelve (12) inches, whichever is less, contact the MSHA inspector and the appropriate utility company before proceeding with construction.
- Notify MISS UTILITY (1-800-257-7777) 48 Hours prior to any excavation in this area.
- All standard storm drain structures are subject to modification by the inspector to meet field requirements.
- All trench bedding to be "C" unless otherwise noted.



General Notes:

- Contractor shall give 48 hours notice prior to start of construction to Inspection Division of the Howard County Department of Public Works, (410) - 313-1855.
- Sediment Control measures must be inspected and maintained regularly to insure that the intended purposes are accomplished.
- All disturbed area not intended for paving shall be seeded as per specifications on this sheet.
- All downspouts are to be carried to the toe of fill slopes. Splash blocks are to be provided at all downspouts not discharging on a paved surface.
- Refer to USDA-Soil Conservation Service "1994 Standards and Specification for Soil Erosion and Sediment Control" for standard details and detailed specification of each practice specified herein.
- With the approval of the Sediment Control Inspector, minor field adjustment can and will be made to insure the control of any sediment. Changes in Sediment Control Practices require prior approval of Sediment Control Inspector and the Baltimore City Soil Conservation District.
- At the end of each working day, all Sediment Control Practices will be inspected and left in operational conditions.
- Any disturbed earth left idle for periods exceeding 14 days shall be stabilized according to Temporary Stabilization Specifications.
- Any change to the grading proposed on the plan requires resubmission to Baltimore City resubmission to Baltimore City Inspections and Permits - Grading and Sediment Control for approval.
- Dust Control will be provided for all disturbed areas. Refer to USDA-Soil Conservation Service "1994 Standards and Specification for Soil Erosion and Sediment Control", H-30-1 for acceptable methods and specifications for dust control.
- Any variations from the sequence of operations stated on this plan requires the approval of the Sediment Inspector and the Baltimore City Soil Conservation District prior to the initiation of the change.
- Slopes where sod is required may be temporarily stabilized with mulching in accordance with "1994 Standards and Specification for Soil Erosion and Sediment Control", G-20-4 if weather conditions prohibit placing of sod. Permanent sodding to be accomplished as weather permits.
- Any material removed from the site shall be taken to an approved Baltimore City disposal site.
- Contractor to place cut material on high side of trench when connecting sanitary line.
- Contractor shall clear only areas shown on this plan.
- Contractor to contact Miss Utility 1 - 800 - 257 - 7777 five working days prior to the start of work shown on these plans.

IMPORTANT NOTES:

- THE CONTRACTOR SHALL NOTIFY THE ENGINEER IN CASE OF ANY DISCREPANCIES BETWEEN THE PLANS AND THE EXISTING CONDITIONS
- DISCLAIMER: DUE TO LACK OF CERTIFY BOUNDARY & TOPOGRAPHIC SURVEY, NOA CONSULTING GROUP, LLC OR ANY OF HIS OFFICERS AND EMPLOYEES DISCLAIM ANY CONSTRUCTION, OR LEGAL ISSUES DUE TO THE LACK OF SURVEY, DURING CONSTRUCTION OR POST CONSTRUCTION.

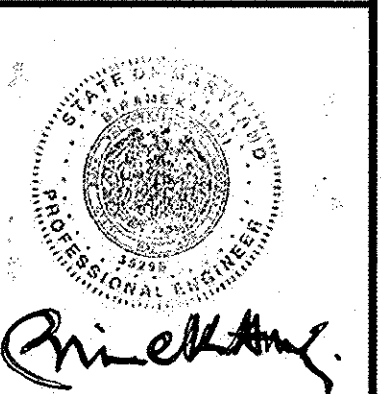
APPROVED: DEPARTMENT OF PLANNING AND ZONING
[Signature] 11/27/14
 Chief, Development Engineering Division Date
[Signature] 11/20/14
 Chief, Division of Land Development Date
[Signature] 11/21/14
 Director Date

THE CONTRACTOR SHALL FIELD VERIFY AND DETERMINE THE EXACT HORIZONTAL AND VERTICAL LOCATIONS OF UNDERGROUND ELECTRICAL, GAS, CABLE TV, TELEPHONE UTILITIES, SANITARY SEWER, LATERALS, SANITARY CLEANOUTS, & WATER LATERALS SHOWN OR NOT SHOWN ON THESE PLANS PRIOR TO BEGINNING EXCAVATION IN THE VICINITY THEREOF.
 ALL 2" WCH SHALL REMAIN AND TO BE PROTECTED.
 THE INFORMATION SHOWN ON THESE PLANS ARE TAKEN FROM AVAILABLE INFORMATION

All construction involving problem soils must be performed under the full-time inspection of a Geotechnical Engineer. And the Geotechnical Engineer shall furnish a written opinion to the County as to whether or not work as has been performed in accordance with the approved plans, and his recommendations for work in the issuance of commercial use permits.

MISS UTILITY
 CALL "MISS UTILITY" AT 1-800-257-7777, 48 HOURS PRIOR TO THE START OF WORK. THE EXCAVATOR MUST NOTIFY ALL PUBLIC UTILITY COMPANIES WITH UNDER GROUND FACILITIES IN THE AREA OF THE PROPOSED EXCAVATION AND HAVE THOSE FACILITIES LOCATED BY THE UTILITY COMPANIES PRIOR TO COMMENCING EXCAVATION. THE EXCAVATOR IS RESPONSIBLE FOR THE COMPLIANCE WITH THE REQUIREMENTS OF CHAPTER 36A OF THE MONTGOMERY COUNTY CODE.

Professional certification. I hereby certify that these documents were prepared or approved by me, and that I am a duly Licensed Professional Engineer under the laws of the State of Maryland, License No. 35296 Expiration date: January 07, 2016



DATE	REVISION	DATE	BY	DATE
	BASE DATA	CADD	3/06/14	
	DESIGNED	RC	3/06/14	
	DRAWN	RC	3/06/14	
	REVIEWED	BK	3/06/14	
	RELEASE FOR			
	BY			

OWNER/DEVELOPER:
OLADUNNI AROMIRE
 6157 PINE AVENUE
 ELKRIDGE, MARYLAND 21075
 PHONE: (410) 540-4951
 CONTACT: OLADUNNI AROMIRE

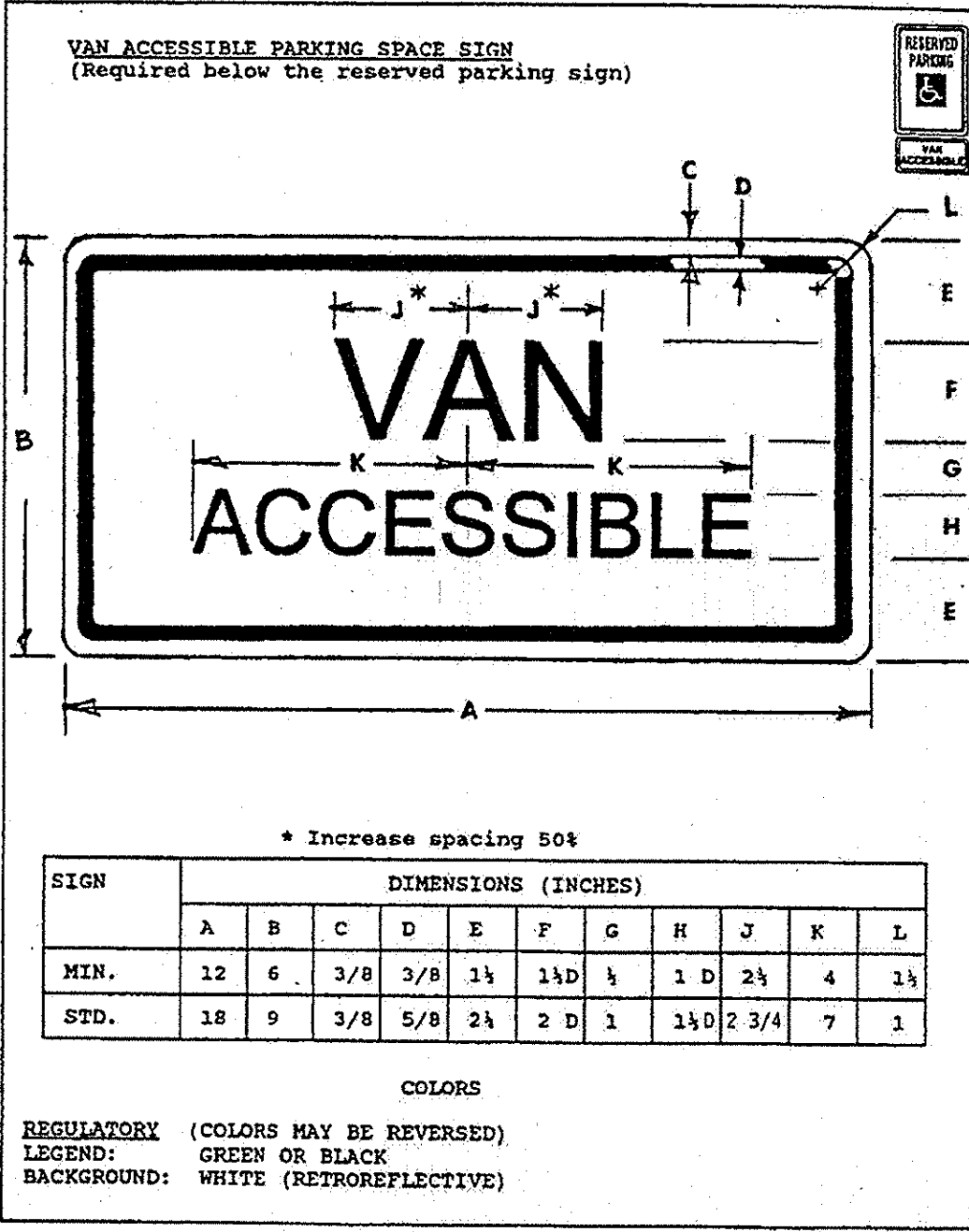
EXISTING CONDITIONS & DEMOLITIONS

NOA
 Consulting Group, LLC
 Civil Engineers • Land Planners • Construction Managers
 23110 Yellowwood Drive, Clarksburg, MD 20871
 Phone: 240.361.7895
 bbandji@noa-group.com www.noa-group.com

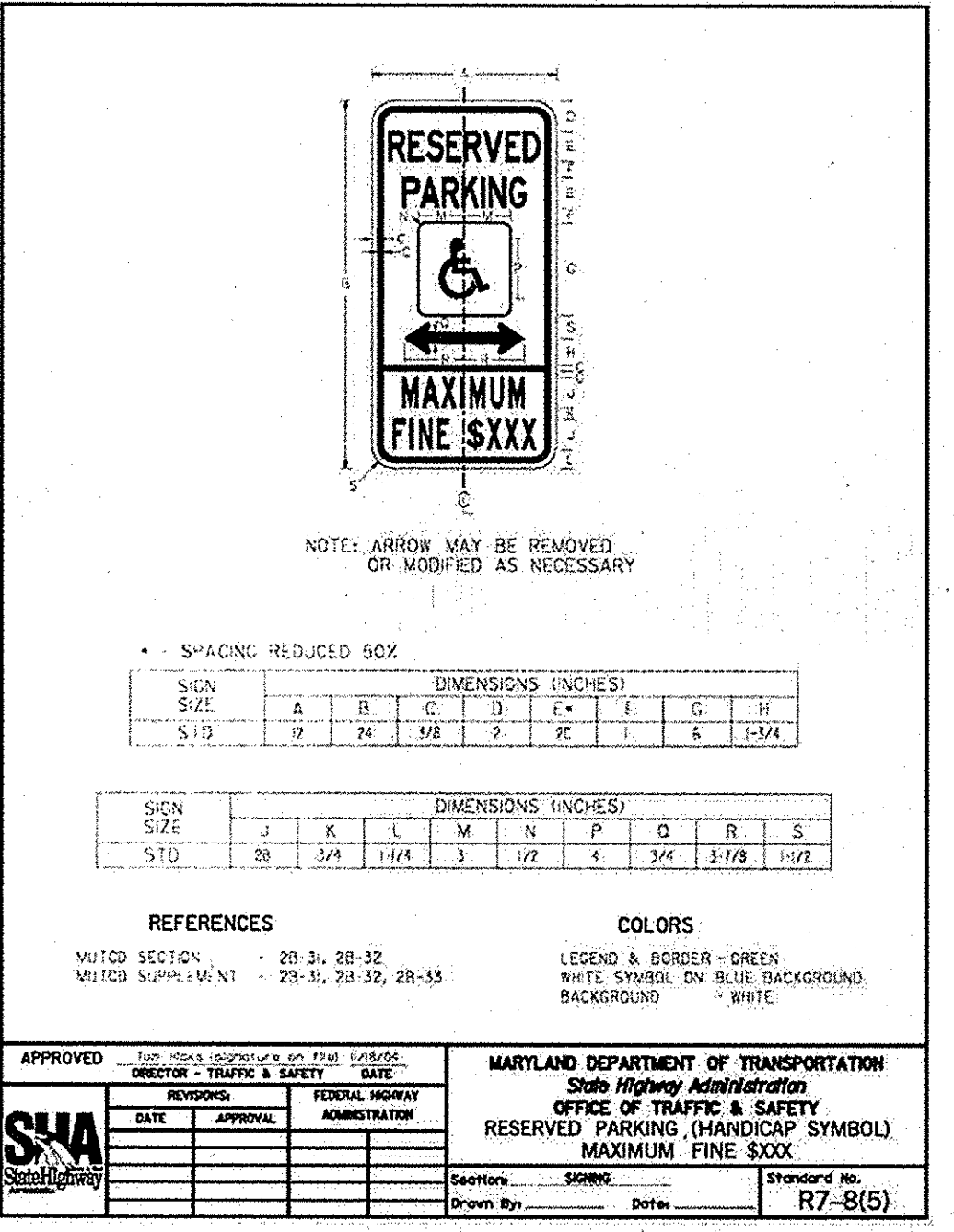
TAX ACC#: 1401157892 - TAX MAP/GRID: 038-08 - PARCEL: 0790
FIRST THOUSAND PLUS DAYCARE SITE IMPROVEMENT
 ELKRIDGE SUBDIVISION - LIBER: 03857 - FOLIO: 0646
 PARCEL 0790 - ELECTION DISTRICT # 1-16
 HOWARD COUNTY, MARYLAND

SCALE: 1" = 20'
JOB No.
DATE: MARCH 2014
INDEX No. C2
SHEET No. 2 OF 7

PRELIMINARY NOT FOR CONSTRUCTION



C. Access Aisle Sign.



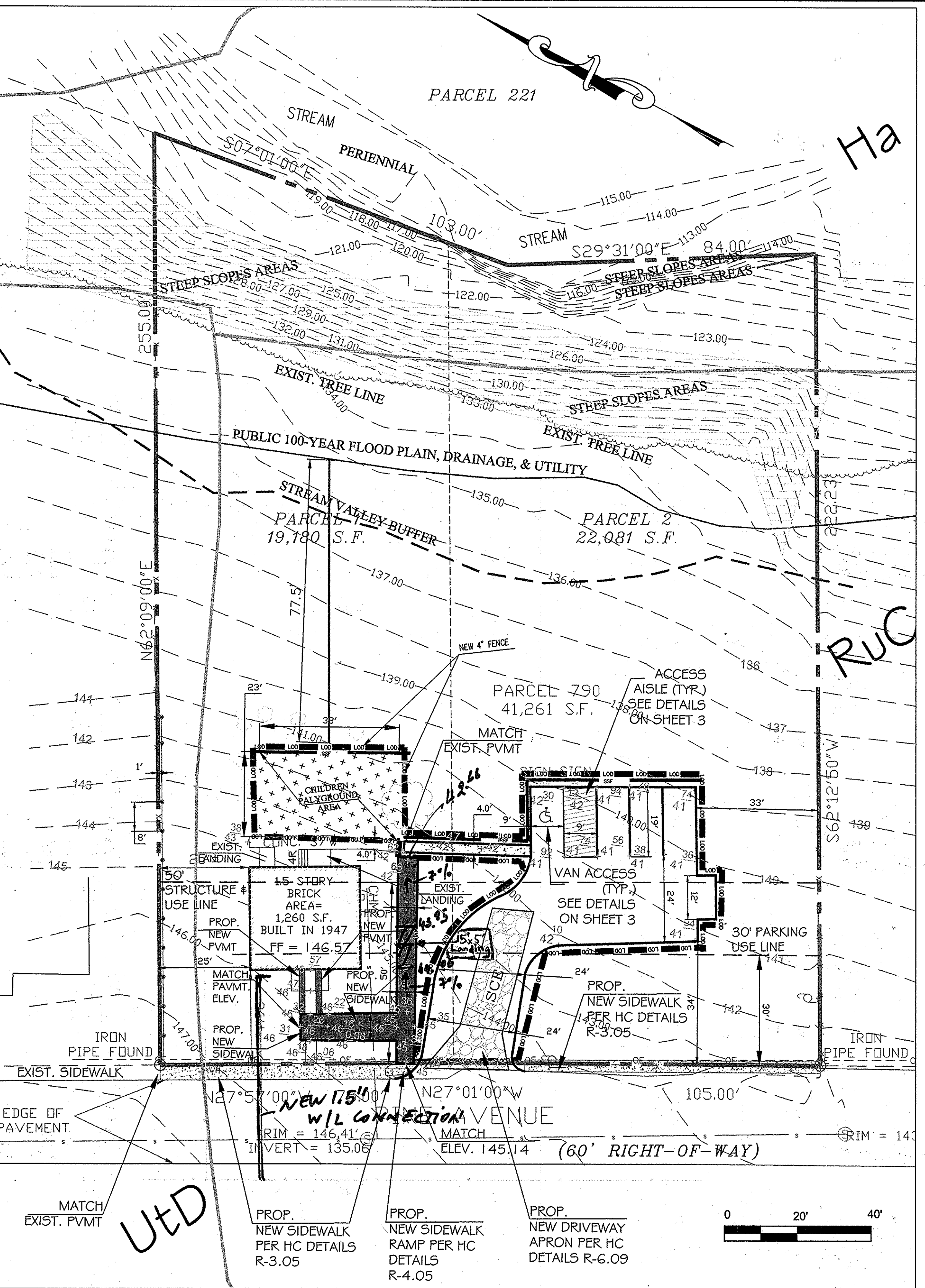
Construction Notes

NOTE 1: All sequences should call for the permittee to obtain written approval from Howard County Inspector, prior to the removal of any sediment control device.

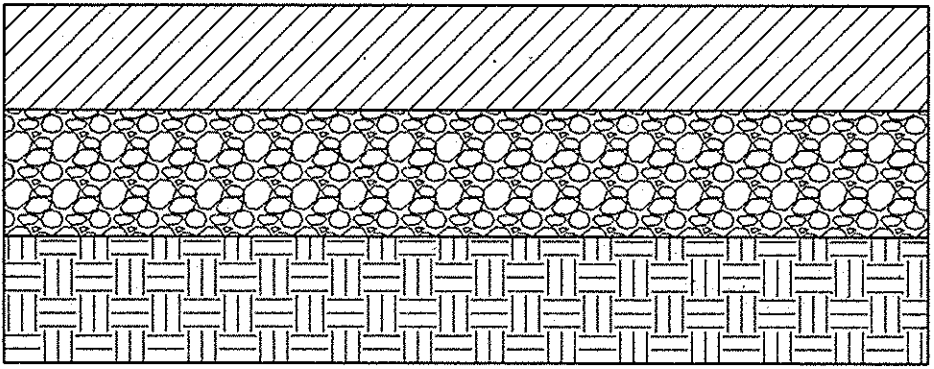
NOTE 2: Any site that has a proposed storm drain diversion proposed should have its Sequence of Construction state the following:

- The construction of the diversion in the storm drain construction step; and
- once the drainage area is stabilized, the storm drain system must be flushed, any temporary pipes removed, and the construction or unblocking of any permanent pipes.

All construction involving problem soils must be performed under the full-time inspection of a Geotechnical Engineer. And the Geotechnical Engineer shall furnish a written opinion to the County as to whether or not work as has been performed in accordance with the approved plans, and his recommendations for work in the issuance of commercial use permits.

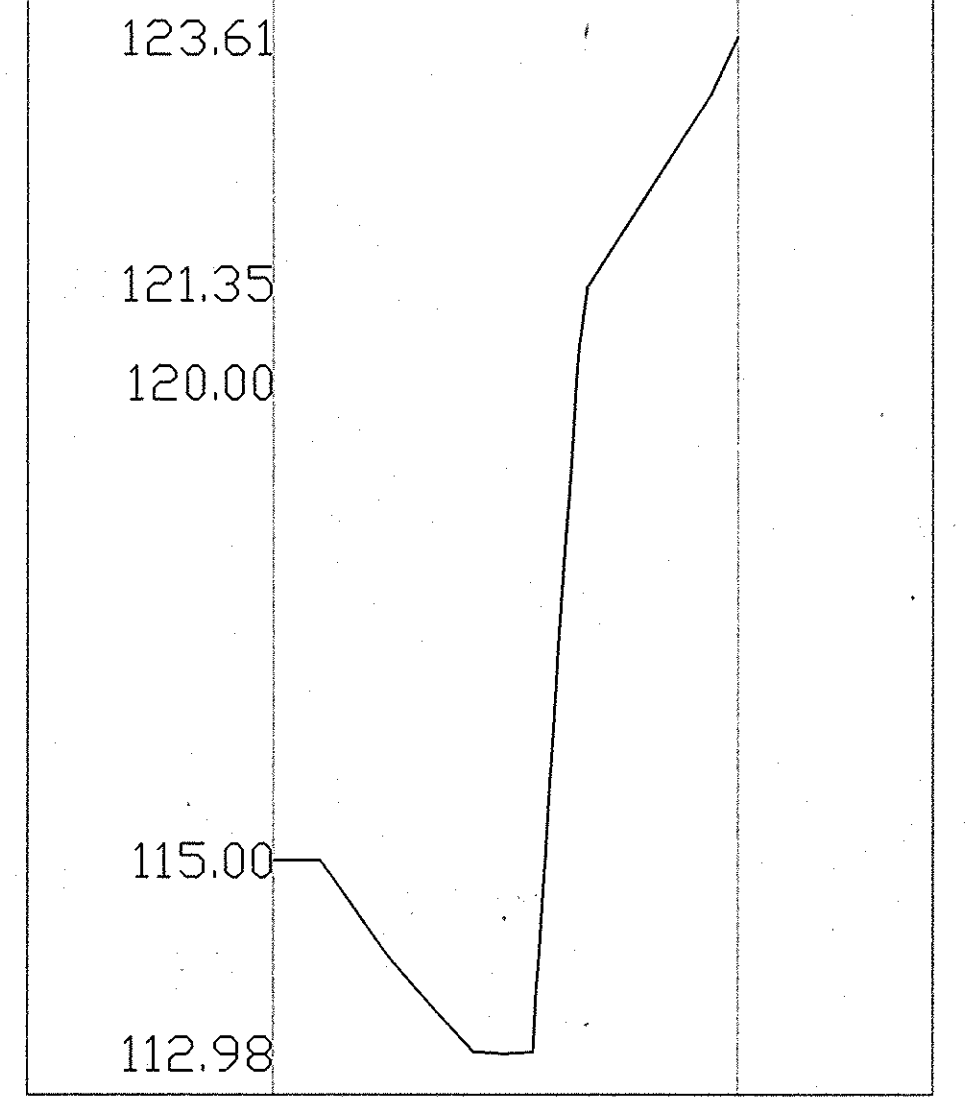


NOTE:
PRIOR TO VEGETATIVE STABILIZATION, ALL DISTURBED AREAS MUST BE TOPSOILED PER THE HOWARD COUNTY "STANDARDS AND SPECIFICATIONS FOR TOPSOIL"



3" HMA SUPERPAVE FINAL SURFACE
 13.5 MM, PG 64-22, LEVEL 1 (LOW ESAL)
 6" GRADED AGGREGATE BASE COURSE

THE CONTRACTOR SHALL FIELD VERIFY AND DETERMINE THE EXACT HORIZONTAL AND VERTICAL LOCATIONS OF UNDERGROUND ELECTRICAL, GAS, CABLE TV, TELEPHONE UTILITIES, SANITARY SEWER LATERALS, SANITARY CLEANOUTS, & WATER LATERALS SHOWN OR NOT SHOWN ON THESE PLANS PRIOR TO BEGINNING EXCAVATION IN THE VICINITY THEREOF.
 ALL 2" WCH SHALL REMAIN AND TO BE PROTECTED.
 THE INFORMATION SHOWN ON THESE PLANS ARE TAKEN FROM AVAILABLE INFORMATION



EXISTING STREAM CROSS SECTION



EXISTING HANDICAP ACCESS

APPROVED: DEPARTMENT OF PLANNING AND ZONING
 Chief, Development Engineering Division
 Chief, Division of Land Development
 Director

DISTRIBUTED AREA STATEMENT
 Total area of Disturbance 4,786.0 square feet = 0.110 acres

- GENERAL NOTES**
- PUBLISHED MEAN TIDAL RANGE IS 0.97 FEET.
 - HORIZONTAL CONTROL WAS ESTABLISHED FROM A CLOSED TRAVERSE AND IS BASED UPON MARYLAND STATE PLANE COORDINATE SYSTEM - NAD83
 - VERTICAL CONTROL WAS ESTABLISHED FROM HOWARD COUNTY SURVEY CONTROL DISC # 337AZ. ELEVATION = 4.29' MLW (4.57' NGVD 29) DATUM SHOWN IS MEAN LOW WATER (MLW).
 - PROPERTY LINES WERE TAKEN FROM COUNTY TAX MAPS AND ARE SCHEMATIC ONLY. PROPERTY LINES SHOWN DO NOT CONSTITUTE A PROPERTY LINE SURVEY.
 - TOPOGRAPHIC AND HYDROGRAPHIC DATA SHOWN WAS OBTAINED BY RESD, LLC.
 - SEWERAGE SYSTEM DATA WAS OBTAINED FROM AS-BUILT DRAWINGS OBTAINED FROM HOWARD COUNTY PREPARED BY RESD, LLC.
 - THE EXISTING UTILITIES AND OBSTRUCTIONS SHOWN ARE FROM THE BEST AVAILABLE RECORDS AND SHALL BE VERIFIED BY THE CONTRACTOR TO HIS SATISFACTION PRIOR TO CONSTRUCTION. NECESSARY PRECAUTIONS SHALL BE TAKEN BY THE CONTRACTOR TO PROTECT EXISTING SERVICES AND MAINS AND ANY DAMAGE TO THEM SHALL BE REPAIRED IMMEDIATELY AT HIS OWN EXPENSE.
 - IT SHALL BE DISTINCTLY UNDERSTOOD THAT FAILURE TO MENTION SPECIFICALLY ANY WORK WHICH WOULD NATURALLY BE REQUIRED TO COMPLETE THE PROJECT SHALL NOT RELIEVE THE CONTRACTOR OF HIS RESPONSIBILITY TO COMPLETE SUCH WORK
 - THE CONTRACTOR SHALL CALL "MISS UTILITY" (1-800-257-7777) A MINIMUM OF 48 HOURS IN ADVANCE OF ANY EXCAVATION, BORING AND/OR DIGGING FOR THE LOCATION OF GAS, ELECTRIC AND TELEPHONE LINES. THE CONTRACTOR SHALL NOTIFY THE BALTIMORE CITY DEPARTMENT OF PLANNING AND CODE ENFORCEMENT (401) 396 - 4126, TWO (2) DAYS PRIOR TO BEGINNING CONSTRUCTION

Grading Notes:

- Site work contractor to field check final grading to ensure the development is graded in accordance with the approved site development / grading plan.
- Contractor to ensure positive drainage across all surfaces to preclude the ponding of water, either in yards or on paved surfaces. this does not apply to ponding associated with stormwater management facilities.
- A smooth grade shall be maintained across all pavement surfaces to preclude the forming of false gutters and / or the ponding of any water in the roadway. Finished paving surfaces shall be flush with abutting surfaces at the same elevation (i.e. gutters, sidewalks, aprons, etc.).
- The sub-base of all parking areas and travel lanes on site shall be proof rolled prior to the placement of any paving materials to identify any areas of inadequate or structurally unsatisfactory material that must be undercut.
- Any proposed structural fill materials must have approval of the project geotechnical consultant prior to placement and compaction. fill materials shall be compacted in accordance with the geotechnical engineers specifications and under his / her guidance.

Sequence of Construction for Individual Lot Development

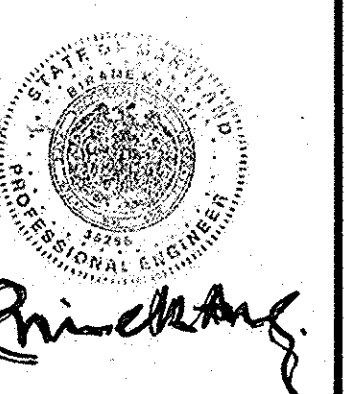
- Prior to clearing of trees, installing sediment control measures, or grading, a preconstruction meeting must be conducted on-site with the Howard County Sediment Control Inspector (410) 222-1855 (48 hours notice), the Owners representative, and the site Engineer.
- The limits of disturbance must be field marked prior to clearing of trees, installation of sediment control measures, construction, or other land disturbing activities.
- Clear and grade for installation of sediment control devices.
- Once the sediment control devices are installed, the permittee must obtain written approval from the Department Inspection before proceeding with any additional clearing, grubbing, or grading.

This development plan is approved for soil erosion and sediment control by the HOWARD SOIL CONSERVATION DISTRICT
 Howard SCD Date

This development plan is approved for soil erosion and sediment control by the HOWARD SOIL CONSERVATION DISTRICT
 Howard SCD Date

MISS UTILITY
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OWNER/DEVELOPER:
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GRADING AND EROSION & SEDIMENT CONTROL PLAN

NOA
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 HOWARD COUNTY, MARYLAND

SCALE: 1" = 20'
 JOB No.
 DATE: MARCH 2014
 INDEX No. C3
 SHEET No. 3 OF 7

PRELIMINARY NOT FOR CONSTRUCTION

21.0 STANDARD AND SPECIFICATIONS FOR TOPSOIL

Definition
Placement of topsoil over a prepared subsoil prior to establishment of permanent vegetation.

Purpose
To provide a suitable soil medium for vegetative growth. Soils of concern have low moisture content, low nutrient levels, low pH, materials toxic to plants, and/or unacceptable soil gradation.

Conditions Where Practice Applies

- I. This practice is limited to areas having 2:1 or flatter slopes where:
 - a. The texture of the exposed subsoil/parent material is not adequate to produce vegetative growth.
 - b. The soil material is so shallow that the rooting zone is not deep enough to support plants or furnish continuing supplies of moisture and plant nutrients.
 - c. The original soil to be vegetated contains material toxic to plant growth.
 - d. The soil is so acidic that treatment with limestone is not feasible.
- II. For the purpose of these Standards and Specifications, areas having slopes steeper than 2:1 require special consideration and design for adequate stabilization. Areas having slopes steeper than 2:1 shall have the appropriate stabilization shown on the plans.

Construction and Material Specifications

- I. Topsoil salvaged from the existing site may be used provided that it meets the standards as set forth in these specifications. Typically, the depth of topsoil to be salvaged for a given soil type can be found in the representative soil profile section in the Soil Survey published by USDA-SCS in cooperation with Maryland Agricultural Experimental Station.
 - II. Topsoil Specifications - Soil to be used as topsoil must meet the following:
 - i. Topsoil shall be a loam, sandy loam, clay loam, silt loam, sandy clay loam, loamy sand. Other soils may be used if recommended by an agronomist or soil scientist and approved by the appropriate approval authority. Regardless, topsoil shall not be a mixture of contrasting textured subsoils and shall contain less than 5% by volume of cinders, stones, slag, coarse fragments, gravel, sticks, roots, trash, or other materials larger than 1 1/2" in diameter.
 - ii. Topsoil must be free of plants or plant parts such as bermuda grass, quackgrass, Johnsongrass, nutgrass, poison ivy, thistle, or others as specified.
 - iii. Where the subsoil is either highly acidic or composed of heavy clays, ground limestone shall spread at the rate of 48 tons/acre (200-400 pounds per 1,000 square feet) prior to the placement of topsoil. Lime shall be distributed uniformly over designated areas and worked into the soil in conjunction with tillage operations as described in the following procedures.
 - III. For sites having disturbed areas under 5 acres:
 - i. Place topsoil (if required) and apply soil amendments as specified in 20.0 Vegetative Stabilization - Section I - Vegetative Stabilization Methods and Materials.
 - IV. For sites having disturbed areas over 5 acres:
 - i. On soil meeting Topsoil specifications, obtain test results dictating fertilizer and lime amendments required to, bring the soil into compliance with the following:
 - a. pH for topsoil shall be between 6.0 and 7.5. If the tested soil demonstrates a pH of less than 6.0, sufficient lime shall be prescribed to raise the pH to 6.5 or higher.
 - b. Organic content of topsoil shall be not less than 1.5 percent by weight.
 - c. Topsoil having soluble salt content greater than 500 parts per million shall not be used.
 - d. No sod or seed shall be placed on soil which has been treated with soil sterilants or chemicals used for weed control until sufficient time has elapsed (14 days min.) to permit dissipation of phyto-toxic materials.
- Note: Topsoil substitutes or amendments, as recommended by a qualified agronomist or soil scientist and approved by the appropriate approval authority, may be used in lieu of natural topsoil.
- ii. Place topsoil (if required) and apply soil amendments as specified in 20.0 Vegetative Stabilization - Section I - Vegetative Stabilization Methods and Materials.

References: Guideline Specifications, Soil Preparation and Sodding, MD-VA, Pub. #1, Cooperative Extension Service, University of Maryland and Virginia Polytechnic Institutes. Revised 1973.

STANDARD EROSION AND SEDIMENT CONTROL NOTES

- 1) The contractor shall notify the Howard County Department of Inspections at 410-222-1385, 7 days before commencing any land disturbing activity and, unless waived, shall be required to hold a pre-construction meeting between project representatives and a representative of the Howard County Department of Inspection.
- 2) The contractor must notify the Howard County Department of Inspection by telephone at the following points:
 - a) The required pre-construction meeting.
 - b) Following installation of sediment control measures.
 - c) During the installation of sediment basins (to be converted into permanent stormwater management structure) at the required inspection points (see Inspection Checklist on plan). Notification prior to commencing construction of each step is mandatory.
 - d) Written bi-monthly status of the implementation of the approved sediment and erosion control measures.
 - e) Prior to removal or modification of any sediment control structure(s).
 - f) Prior to removal of all sediment control devices.
 - g) Prior to final acceptance.
- 3) The contractor shall construct all erosion and sediment control measures per the approved plan and construction sequence and, shall have them inspected and approved by the agency inspector prior to beginning any other land disturbances. Minor sediment control device location adjustments may be made in the field with the approval of the Inspector. The contractor shall ensure that all runoff from disturbed areas is directed to the sediment control devices, and shall not remove any erosion or sediment control measure without prior permission from agency inspector. The contractor must obtain prior agency and Howard County Department of Inspection approval for changes to the Sediment Control Plan and/or Sequence of Construction.
- 4) The contractor shall protect all points of construction ingress and egress to prevent the deposition of materials onto public roads. All materials deposited onto public roads shall be removed immediately.
- 5) The contractor shall inspect daily and maintain continuously in an effective operating condition all erosion and sediment control measures until such times as they are removed with prior permission from agency inspector.
- 6) All sediment basins, trap embankments and slopes, perimeter dikes, swales and all disturbed slopes steeper or equal to 3:1 shall be stabilized with sod or seed and anchored straw mulch, or other approved stabilization measures, as soon as possible but no later than seven (7) calendar days after establishment. All areas disturbed outside of the perimeter sediment control system must be minimized. Maintenance must be performed as necessary to ensure continued stabilization. (Requirement for stabilization may be reduced to three (3) days for sensitive areas.)
- 7) The contractor shall apply sod or seed and anchored straw mulch, or other approved stabilization measures to all disturbed areas and stockpiles within fourteen (14) calendar days after stripping and grading activities have ceased in the area. Maintenance shall be performed as necessary to ensure continued stabilization. (Requirement may be reduced to seven (7) days for sensitive areas.)
- 8) Prior to removal of sediment control measures, the contractor shall stabilize and have established permanent stabilization for all contributory disturbed areas using sod or an approved permanent seed mixture with required soil amendments and an approved anchored mulch. Wood fiber mulch may only be used in seeding season where the slope does not exceed 10% and grading has been done to promote sheet flow drainage. Areas brought to finished grade during the seeding season shall be permanently stabilized as soon as possible, but no later than fourteen (14) calendar days after establishment. When property is brought to finished grade during the months of November through February, and permanent stabilization is found to be impractical, temporary seed and anchored straw mulch shall be applied to disturbed areas. The final permanent stabilization of such property shall be applied by March 15 or earlier if ground and weather conditions allow.
- 9) The site's approval letter, approved Erosion and Sediment Control Plans, daily log books and test reports shall be available at the site for inspection by duly authorized officials of agency responsible for project.
- 10) Surface drainage flows over unstabilized cut and fill slopes shall be controlled by either preventing drainage flows from traversing the slopes or by installing protective devices to lower the water down slope without causing erosion. Dikes shall be installed and maintained at the top of cut or fill slopes until the slope and drainage area to it are fully stabilized, at which time they must be removed and final grading done to promote sheet flow drainage. Protective methods must be provided at points of concentrated flow where erosion is likely to occur.
- 11) Permanent swales or other points of concentrated water flow shall be stabilized with sod or seed with an approved erosion control matting, rip rap or by other approved stabilization measures.
- 12) Temporary sediment control devices may be removed, with permission of Baltimore City Department of Inspection and agency inspectors, within thirty (30) calendar days following establishment of permanent stabilization in all contributory drainage Stormwater management structures used temporarily for sediment control shall be converted to the permanent configuration within this time period or as well.
- 13) No permanent cut or fill slope with gradient steeper than 3:1 will be permitted in lawn maintenance areas. A slope gradient of up to 2:1 will be permitted in non-maintenance areas provided that those areas are indicated on the erosion and sediment control plan with a low-maintenance ground cover specified for permanent stabilization. Slope gradient steeper than 2:1 will not be permitted with vegetative stabilization.
- 14) For finished grading, the contractor shall provide adequate gradients so as to prevent water from standing on the surface more than twenty four (24) hours after the end of a rainfall except in designated drainage courses and swale flow areas which may drain as long as forty-eight (48) hours after the end of a rainfall, areas designed to have standing water shall not be required to meet this requirement.
- 15) Sediment traps or basins are not permitted within 20 feet of a foundation which is existing or under construction. No structure may be constructed within 20 feet of an active sediment trap or basin.
- 16) The Howard County Department of Inspection has the option of requiring additional safety or sediment control measures, if deemed necessary.
- 17) All trap depth dimensions are relative to the outlet elevation. All traps must have a stable outfall. All traps and basins shall have stable inflow points.
- 18) Vegetative stabilization shall be performed in accordance with the Standards and Specifications for Soil Erosion and Sediment Control. Refer to appropriate specifications for temporary seeding, permanent seeding, mulching, sodding and ground covers.
- 19) Temporary sediment trap(s) shall be cleaned out and restored to the original dimensions when sediment has accumulated to a point one half (1/2) the depth between the outlet crest and the bottom of the trap. Sediment basins shall be cleaned out and restored to the original dimensions when sediment has accumulated to one half (1/2) the depth between the dewatering elevation and the bottom of the basin.
- 20) Sediment removed from traps (and basins) shall be placed and stabilized in approved areas, but not within a flood plain, wetland or tree-save area. When pumping sediment laden water, the discharge must be directed to a sediment trapping device prior to release from the site.
- 21) Where deemed appropriate by the engineer or inspector, sediment basins and traps may need to be surrounded with an approved safety fence. The fence must conform to local ordinances and regulations. The developer or owner shall check with local building officials on applicable safety requirements. Where safety fence is deemed appropriate and local ordinances do not specify fencing sizes and types, the following shall be used as a minimum standard: the safety fence must be made of welded wire and at least 42 inches high, have posts spaced no farther apart than 8 feet, have mesh openings no greater than 2 inches in width and 4 inches in height with a minimum of 14 gauge wire. Safety fence must be maintained and in good condition at all times.
- 22) Sediment control for utility construction for areas outside of designed controls or as directed by the engineer or inspector:
 - a) Call "Miss Utility" at 1-800-257-7777 48 hours prior to the start of work.
 - b) Excavated trench material shall be placed on the high side of the trench.
 - c) Trenches for utility installation shall be backfilled, compacted and stabilized at the end of each working day. No more trench shall be opened than can be completed the same day, unless:
 - d) Temporary silt fence shall be placed immediately downstream of any disturbed area intended to remain disturbed for more than one day.
- 23) Off-site spoil or borrow areas on State or Federal property must have prior approval by Baltimore City Department of Inspection and other applicable State, Federal and local authorities, otherwise approval must be granted by the local authorities. All waste and borrow areas off-site must be protected by sediment control measures and stabilized.
- 24) Sites where infiltration devices are used for the control of stormwater, extreme care must be taken to prevent runoff from unstabilized areas from entering the structure during construction. Sediment control devices placed in infiltration areas must have bottom elevations at least two (2) feet higher than the finished grade bottom elevation of the infiltration practice. When converting a sediment trap to an infiltration device, all accumulated sediment must be removed and disposed of prior to final grading of infiltration device.
- 25) All points of construction ingress and egress in ungraded areas shall be stabilized and protected to prevent tracking of mud onto public ways.
- 26) When a storm drain system outfall is directed to a sediment trap or sediment basin and the system is to be used for temporarily conveying sediment laden water, all storm drain inlets in non-sump areas shall have temporary asphalt berms constructed at the time of base paving to direct gutter flow into the inlets to avoid surcharging and overflow of inlets in sump areas.

STANDARD STABILIZATION NOTE

Following initial soil disturbance, or redistribution, details of temporary or permanent stabilization shall be completed within seven (7) calendar days on all surfaces of perimeter controls, dikes, swales, ditches, perimeter slopes and all slopes steeper than 3 horizontal to 1 vertical (3:1). Within fourteen days following final grading, all other disturbed or graded areas on the project will be permanently stabilized by seeding or mulch. Permanent mulch can include but is not limited to stone, gravel, blacktop, or concrete surfacing. If construction is temporarily stopped on a project for more than fourteen days, all disturbed and graded areas will be stabilized. The requirements of this subparagraph do not apply to those areas which are shown on the plan and are currently being used for material storage, or for those areas on which actual construction activities are currently being performed or to interior areas of a surface mine site where stabilization material would contaminate the recoverable resource. Maintenance shall be performed as necessary to ensure the stabilized areas continuously meet the appropriate requirements of the "1994 Maryland Standards and Specifications for Soil Erosion and Sediment Control."

EROSION AND SEDIMENT CONTROL WILL BE STRICTLY ENFORCED

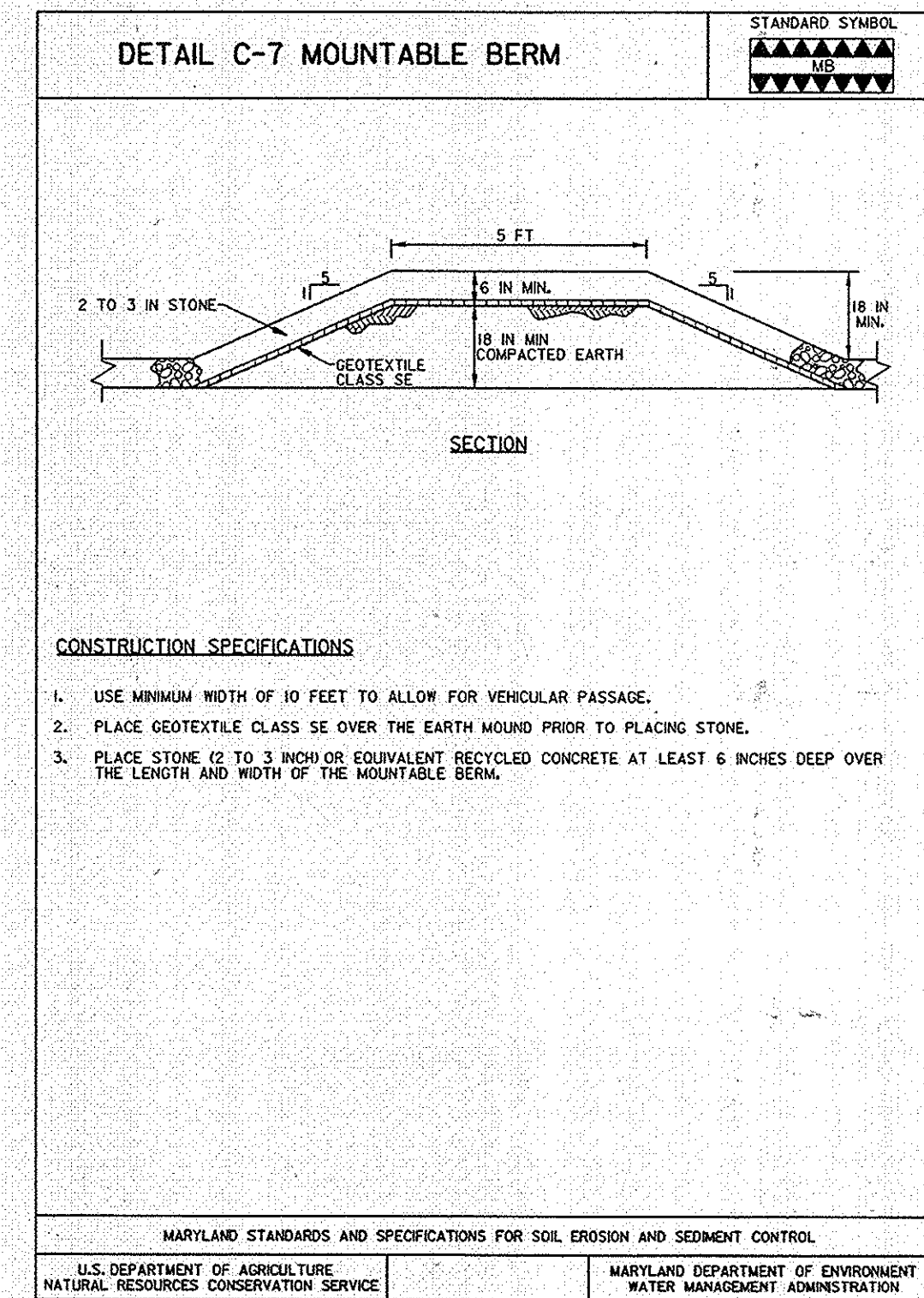
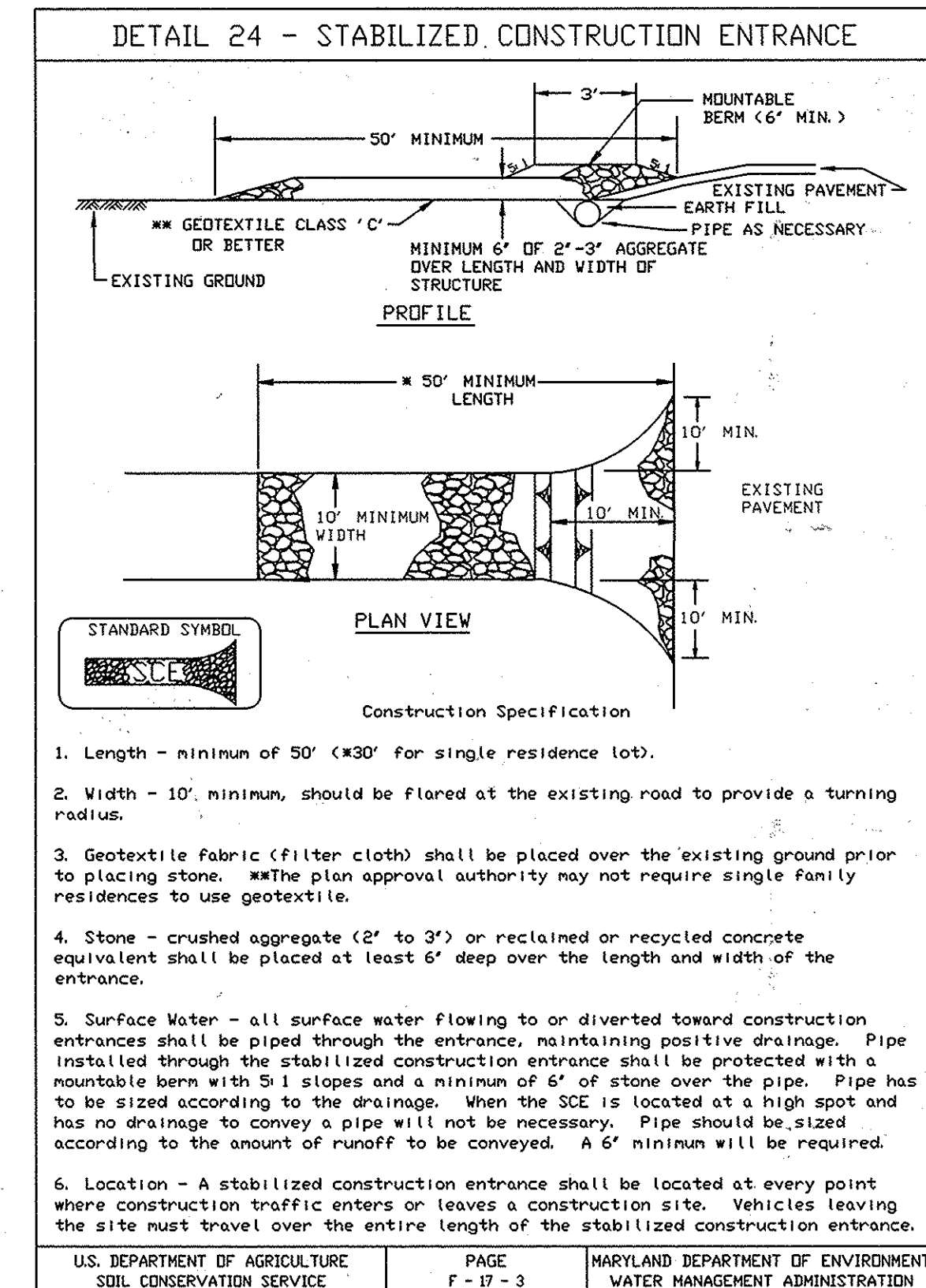
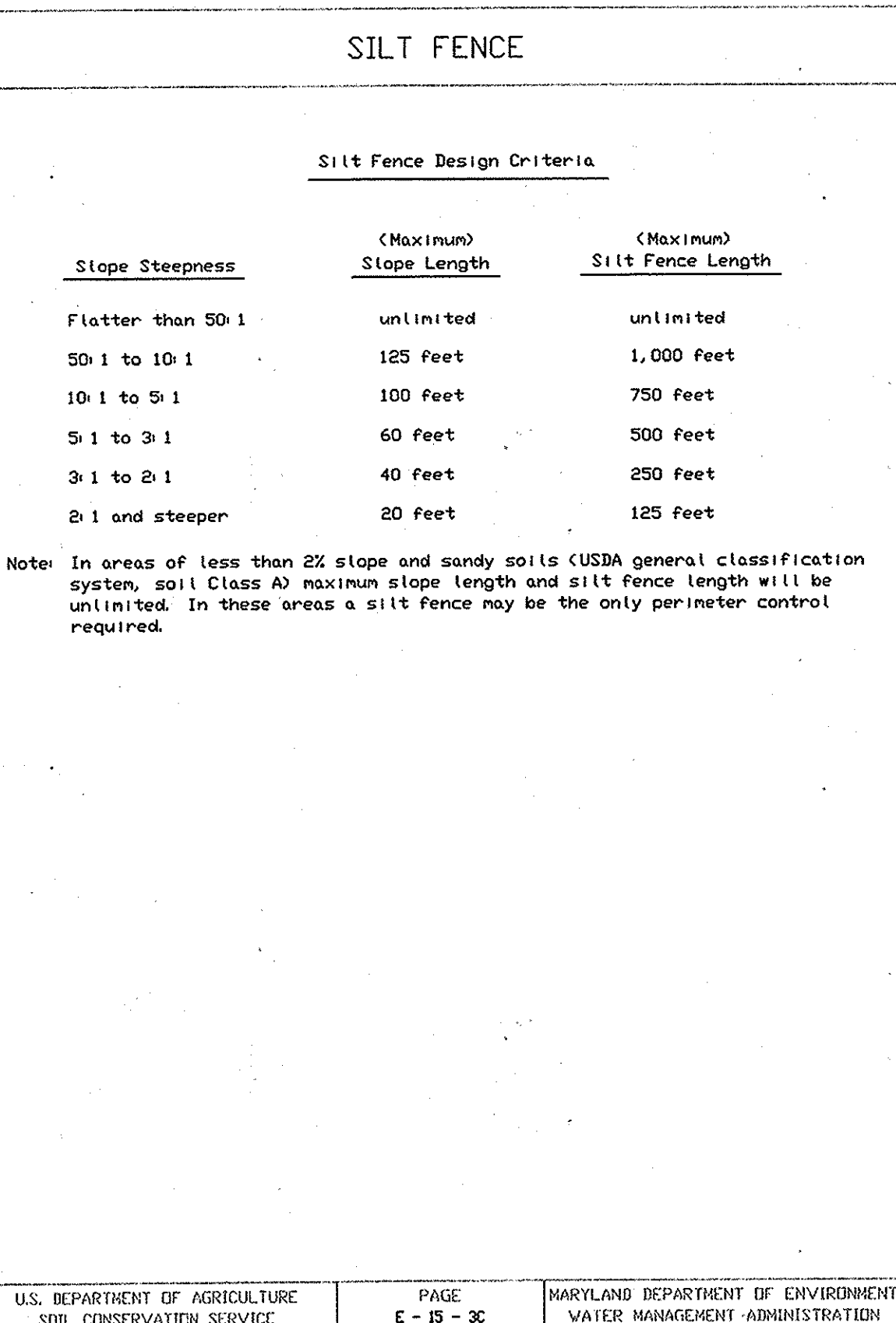
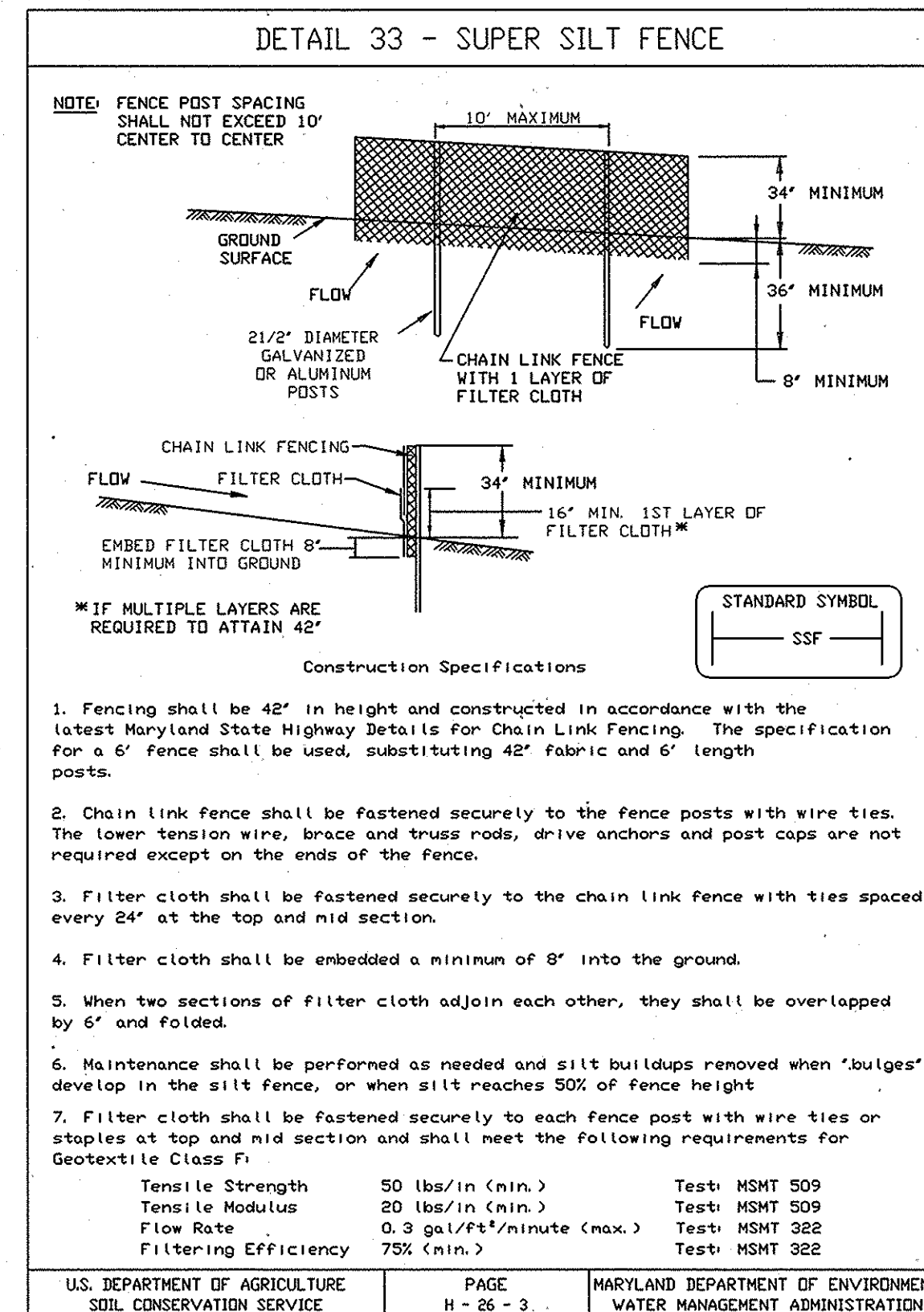
APPROVED: DEPARTMENT OF PLANNING AND ZONING
 Chief, Development Engineering Division
 Chief, Division of Land Development
 Director

THIS PLAN FOR GRADING & SEDIMENT CONTROL PURPOSES ONLY

ALL OTHER INFORMATION SHOWN FOR REFERENCE PURPOSE ONLY. SEE APPROPRIATE CONSTRUCTION DRAWING FOR ALL OTHER INFORMATION.

EROSION & SEDIMENT CONTROL NOTES AND DETAILS

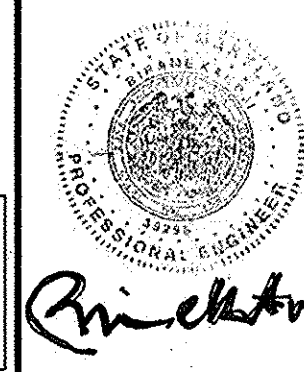
OWNER/DEVELOPER:
OLADUNNI AROMIRE
 6157 PINE AVENUE
 ELKRIDGE, MARYLAND 21075
 PHONE: (410) 540-4951
 CONTACT: OLADUNNI AROMIRE



This development plan is approved for soil erosion and sediment control by the HOWARD SOIL CONSERVATION DISTRICT
 Howard SCD Date

This development plan is approved for soil erosion and sediment control by the HOWARD SOIL CONSERVATION DISTRICT
 Howard SCD Date

Professional certification. I hereby certify that these documents were prepared or approved by me, and that I am a duly Licensed Professional Engineer under the laws of the State of Maryland, License No. 35296 Expiration date: January 07, 2014

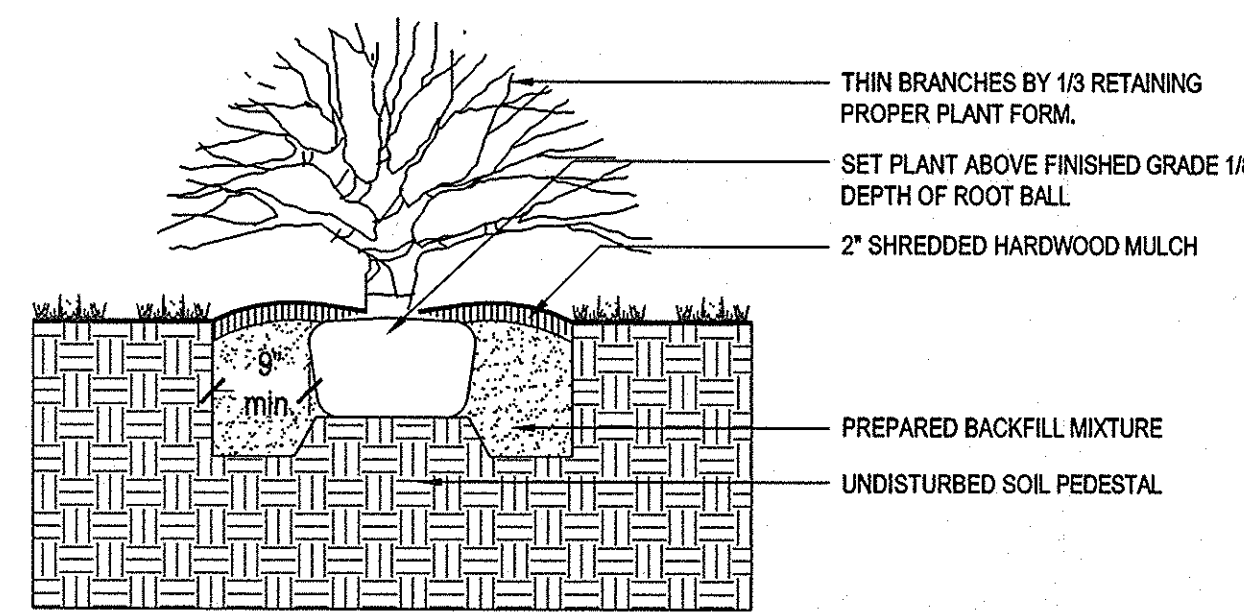


DATE	REVISION	DATE	BY	DATE
	BASE DATA	10/9/13	CADD	10/9/13
	DESIGNED	10/9/13	RC	10/9/13
	DRAWN	10/9/13	RC	10/9/13
	REVIEWED	10/9/13	BK	10/9/13
	RELEASE FOR			
	BY			

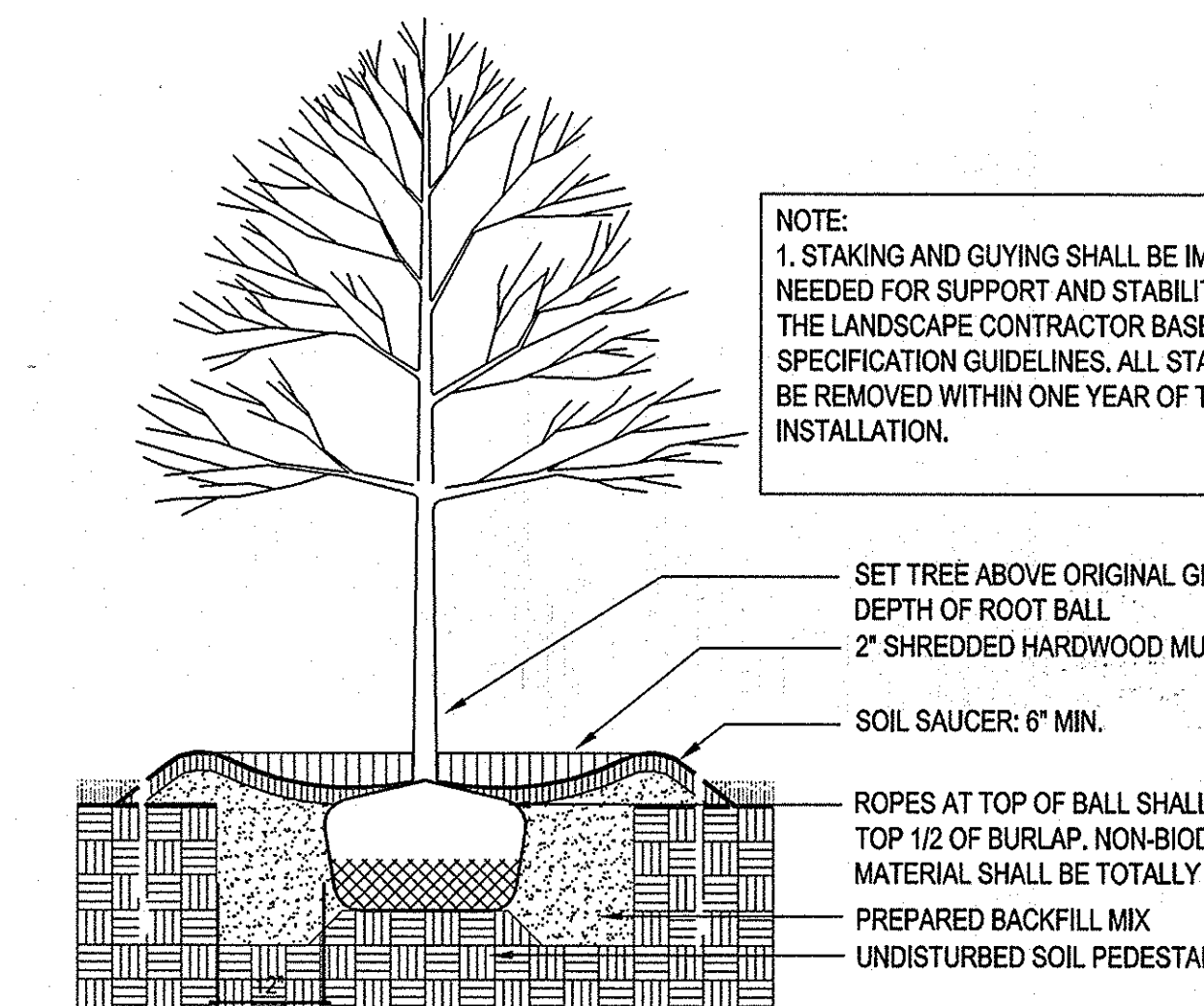
TAX ACC#: 1401157892 - TAX MAP/GRID: 038-08 - PARCEL: 0790
FIRST THOUSAND PLUS SITE IMPROVEMENT
 ELKRIDGE SUBDIVISION - LIBER: 03857 - FOLIO: 0646
 PARCEL 0790 - ELECTION DISTRICT # 1-16
 HOWARD COUNTY, MARYLAND

SCALE: N/A
JOB No.
DATE: OCT. 2013
INDEX No. C4
SHEET No.
4 OF 7

PRELIMINARY NOT FOR CONSTRUCTION

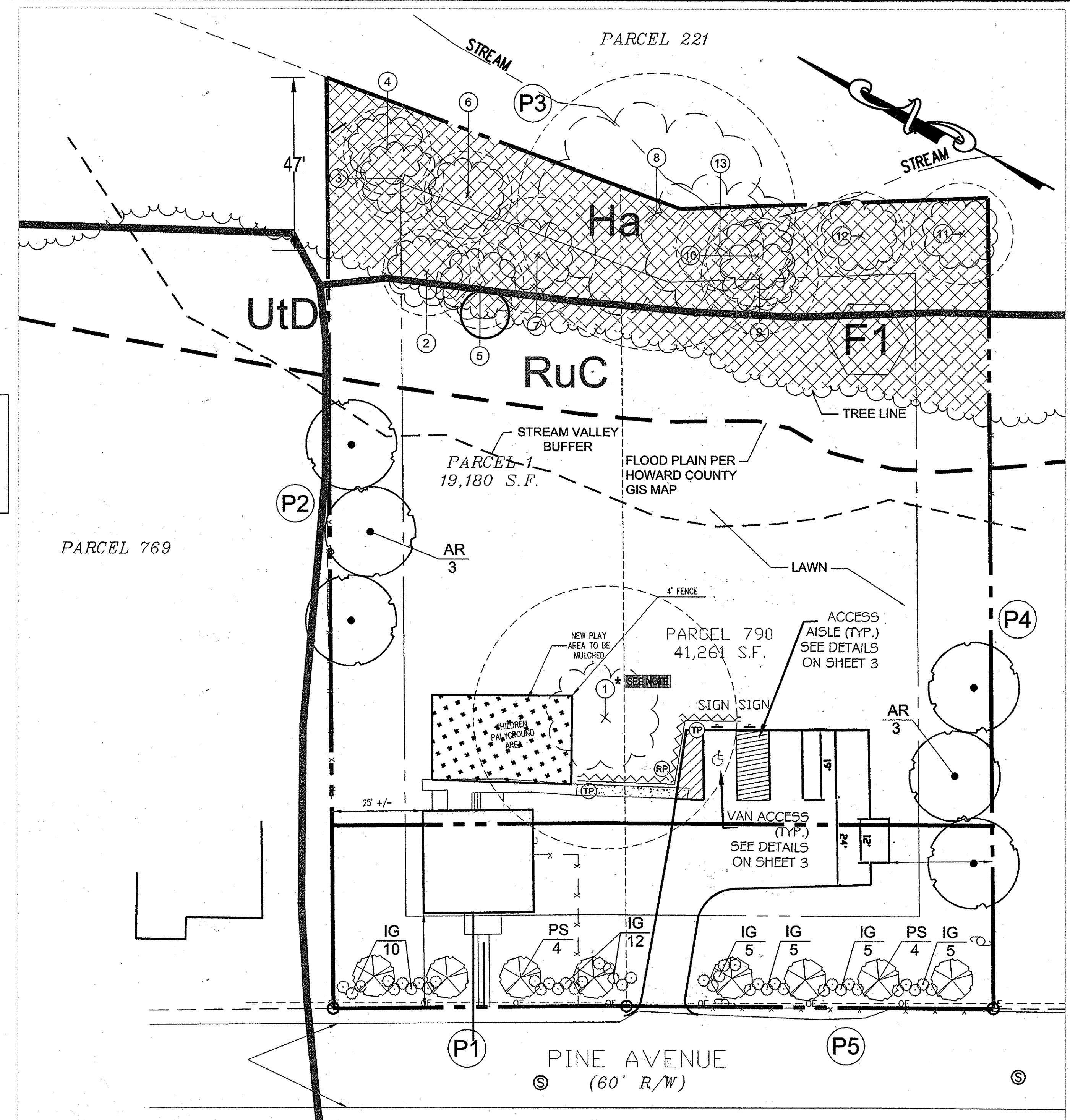


1 TYP. SHRUB PLANTING
N.T.S.



2 DECIDUOUS TREE PLANTING
N.T.S.

NOTE:
1. STAKING AND GUYING SHALL BE IMPLEMENTED ONLY AS NEEDED FOR SUPPORT AND STABILITY AS DETERMINED BY THE LANDSCAPE CONTRACTOR BASED ON LANDSCAPE SPECIFICATION GUIDELINES. ALL STAKING AND GUYING SHALL BE REMOVED WITHIN ONE YEAR OF THE TIME OF INSTALLATION.



LANDSCAPE PLAN
SCALE: 1" = 20'-0"

PLANT LIST

Key	Qty	Botanical Name	Common Name	Size	Type	Spacing	Remarks
SHADE TREES							
AR	6	Acer rubrum 'Red Sunset'	'Red Sunset' Maple	2-2.5" Cal. B & B	B & B	As Shown	Single stem
UNDERSTORY TREES							
PS	8	Cercis canadensis 'Forest Pansy'	'Forest Pansy' Redbud	8-10' Ht.	B & B	As Shown	Single stem
SHRUBS							
IG	42	Ilex glabra 'Nigra'	Inkberry	24-30" ht.	B & B	4' O.C.	Full, dense

DEVELOPER/ OWNER CERTIFICATE

I/we certify that the landscaping shown on this plan will be done according to the plan, Section 16.124 of the Howard County Code and the Landscape Manual. I/we further certify that upon completion a Letter of Landscape Installation, accompanied by an executed one year guarantee of plant materials, will be submitted to the Department of Planning and Zoning.

Oladunni Aromire 10/6/14
OLADUNNI AROMIRE DATE

SCHEDULE - A PERIMETER LANDSCAPE EDGE

CATEGORY	ADJACENT TO ROADWAYS					ADJACENT TO PERIMETER PROPERTIES					TOTAL REQUIRED	TOTAL PROVIDED
	P1	P5	P2	P3	P4	P1	P5	P2	P3	P4		
PERIMETER DESIGNATION	B	E	A	A	A	B	E	A	A	A		
LANDSCAPE TYPE												
LINEAR FEET OF ROADWAY	85'	80'	225'	187'	222'							
FRONTAGE/PERIMETER	0	0	47'	187'	60'							
CREDIT FOR EXISTING VEGETATION	0	0	0	0	0							
CREDIT FOR WALL, FENCE OR BERM	0	0	0	0	0							
NUMBER OF PLANTS REQUIRED												
SHADE TREES	2	2	3	0	3						10	
EVERGREEN	2	0	0	0	0						2	
SHRUBS	0	20	0	0	0						20	
NUMBER OF PLANTS PROVIDED												
SHADE TREES	0	3	0	3	6						6	
EVERGREEN TREES	0	0	0	0	0						0	
OTHER TREES (2:1 SUBSTITUTION)	4	4	0	0	8						8	
SHRUBS	22	20	0	0	42						42	

SCHEDULE - B PARKING LOT INTERNAL LANDSCAPING

NUMBER OF PARKING SPACES	4
NUMBER OF TREES REQUIRED	1*
NUMBER OF TREES PROVIDED	1 EXISTING

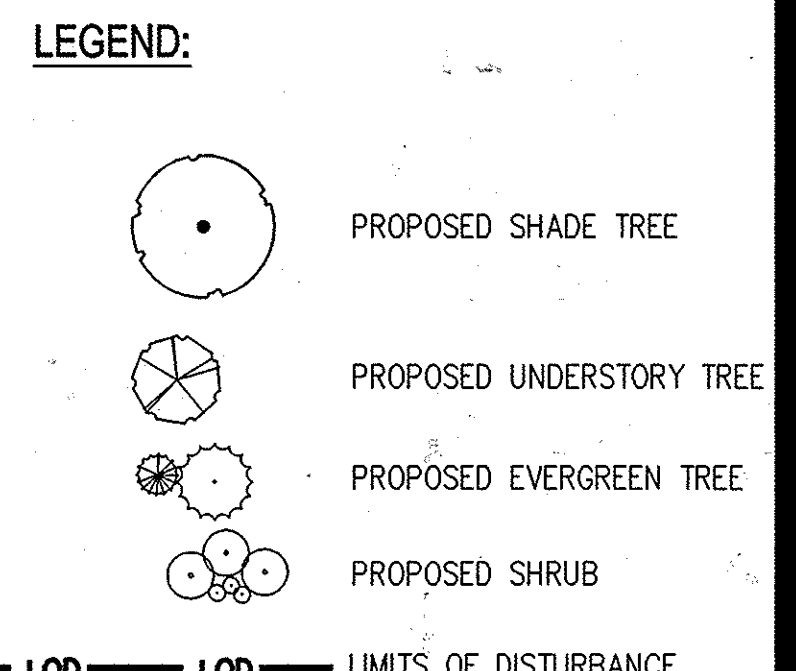
*NOTE: DUE TO THE LIMITED NUMBER OF PARKING SPACES, DPZ HAS DETERMINED THE EXISTING TREE BETWEEN THE PARKING LOT AND PLAYGROUND MAY BE USED FOR THE INTERNAL PARKING LANDSCAPE REQUIREMENT.

APPROVED: DEPARTMENT OF PLANNING AND ZONING

Ch/Chub 11-17-14
Chief, Development Engineering Division Date

Keth/Leah 4/20/14
Chief, Division of Land Development Date

Janet A. Wynn 4/21/14
Director Date



- SPECIFICATIONS FOR PLANTING**
- CONTRACTOR SHALL VERIFY EXISTING CONDITIONS AND UTILITY LOCATIONS. THE PROJECT LANDSCAPE ARCHITECT PRIOR TO THE PLANTING MUST APPROVE ADJUSTMENTS TO LOCATIONS OF PLANT MATERIAL DUE TO FIELD CONDITIONS. ANY SUBSTITUTIONS IN PLANT MATERIAL AND SIZES SPECIFIED WILL NOT BE ACCEPTED, UNLESS APPROVED BY PROJECT LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
 - ALL PLANT MATERIAL SHALL CONFORM THE AMERICAN STANDARD FOR NURSERY, LATEST EDITION, PUBLISHED BY THE AMERICAN NURSERY AND LANDSCAPE ASSOCIATION. ALL PLANTS MUST BE FREE FROM INJURY, INSECT INFESTATIONS AND DISEASE. ALL PLANT MATERIAL MUST BE INSPECTED BY THE PROJECT LANDSCAPE ARCHITECT PRIOR TO PLANTING. THE CONTRACTOR SHALL PHONE AT LEAST THREE (3) DAYS PRIOR TO INSTALLATION FOR INSPECTION OF THE MATERIAL AND FOR INSPECTION OF THE PLANTING OPERATION.
 - ALL PLANT MATERIAL MUST BEAR ORIGINAL NURSERY TAGS INDICATING THE GENUS, SPECIES AND IF APPLICABLE, CULTIVARS AND VARIETY. ALL TAGS SHALL BE REMOVED AFTER THE PROJECT LANDSCAPE ARCHITECT HAS INSPECTED THE PLANT MATERIAL.
 - TEST SOIL DRAINAGE BEFORE PLANTING. DIG A HOLE AS DEEP AS YOUR PLANTING HOLE AND FILL WITH WATER. IF WATER DRAINS AT A RATE LESS THAN ONE INCH PER HOUR, INSTALL DRAINAGE TO CARRY WATER AWAY FROM THE PLANTING HOLE BASE, OR MOVING OR RAISING THE PLANTING SITE (BERM CONSTRUCTION).
 - EXAMINE SOIL FOR COMPACTION BEFORE PLANTING. IF SOILS ARE COMPACTED IN AN AREA WHERE A GROUP OF PLANTS ARE TO BE INSTALLED, INCORPORATE SEVERAL INCHES OF A COMBINATION OF ORGANIC MATERIALS SUCH AS COMPOSTED YARD WASTE, FINELY SHREDDED PINE BARK MULCH (SUPERFINES) OR SHREDDED, COMPOSTED LEAF MULCH (LEAF-GRO) AND TILL TO A DEPTH OF TWELVE (12) TO FIFTEEN (15) INCHES OVER THE ENTIRE AREA. DO NOT TILL IF PLANTING IS WITHIN A TREE PRESERVATION AREA. APPLY THE ORGANIC MATTER AT A RATE OF ONE-QUARTER ORGANIC MATTER TO THREE-QUARTERS EXISTING SOIL. DO NOT INCORPORATE SMALL QUANTITIES OF SAND - COMPACTION WILL INCREASE AND DRAINAGE DECREASES. FOR SINGLE TREE PLANTINGS, BACKFILL PLANTING HOLES WITH UNAMENDED SOIL. INCREASE THE WIDTH OF THE TOP OF THE PLANTING HOLE IN AREA WHERE SOIL HAS BEEN COMPACTED. DO NOT INCORPORATE ORGANIC MATTER SUCH AS PEAT MOSS INTO BACKFILL FOR INDIVIDUAL PLANTING HOLES.
 - TREE PITS SHALL BE A MINIMUM OF TWO (2) AND A HALF (1/2) TIMES THE WIDTH OF THE ROOT BALL AND NO DEEPER THAN THE HEIGHT OF THE ROOT BALL. ON BALLED AND BURLAPED TREES, REMOVE PINNING NAILS OR ROPE LACING, THEN CUT AWAY THE WRAPPING AND THEN BACKFILL. REMOVE THE TOP 12" OF THE WIRE BASKET. REMOVE ALL ROPE, WHETHER JUTE OR NYLON, FROM TRUNKS. FOR CONTAINER MATERIALS, REMOVE THE CONTAINER COMPLETELY. SELECT TREES GROWN IN CONTAINERS WITH VERTICAL RIBS OR A COPPER-TREATMENT ON THE INTERIOR WALL. THESE CONTAINER MODIFICATION AND TREATMENTS MINIMIZE CIRCLING ROOT FORMATION. IF ROOTS ARE CIRCLING AROUND THE ROOT BALL EXTERIOR OF CONTAINER PLANTS (TREES, SHRUBS OR PERENNIALS) CUT THROUGH THE ROOTS AND SOIL IN A FEW PLACES. CONTAINER TREE WITH MULTIPLE CIRCLING ROOTS WILL BE REJECTED. PLACE SHRUBS AND PERENNIALS AT THE SAME DEPTH THEY WERE IN THE CONTAINERS. FOR BARE ROOT PERENNIALS PLANT WITH THE SOIL EVEN WITH THE TOP OF THE CROWN. DIG THE HOLE WIDE ENOUGH TO ALLOW THE ROOTS TO SPREAD OUT IN THE SOIL. PUSH THE SOIL BACK INTO THE HOLE OVER THE ROOTS AND AROUND THE TOP OF THE PLANT.
 - WHEN HALF OF THE BACKFILL HAS BEEN RETURNED TO THE PLANTING HOLE, WATER SHALL BE APPLIED TO PROVIDE SETTLEMENT AND ELIMINATE AIR POCKETS. THE TREE SHALL BE THOROUGHLY WATERED AGAIN AFTER THE REMAINING SOIL HAS BEEN PLACED IN THE PLANTING PIT. A THREE (3) TO FOUR (4) INCH DAM OF SOIL SHALL BE CONSTRUCTED AROUND THE PLANTING PIT.
 - TWO (2) TO THREE (3) INCHES OF MULCH SHALL BE PLACED OVER THE TREE-PLANTING PIT, BUT SHALL BE KEPT THREE (3) TO FOUR (4) INCHES AWAY FROM THE TRUNK OF THE TREE OR CROWNS OF SHRUBS. DO NOT ALLOW MULCH TO TOUCH THE TRUNKS OF TREES OR CROWNS OF SHRUBS. USE MULCH THAT IS COMPATIBLE WITH THE TYPE OF PLANT USED. AVOID MULCH THAT HAS NOT BEEN NITROGEN COMPOSTED, AS THE PH OF THE SOIL COULD CHANGE AS THE MULCH DEGRADES. PINE BARK MULCH WILL NOT CHANGE THE PH OF THE SOIL AS IT DEGRADES. THIS IS THE BEST TYPE OF MULCH FOR USE WITH PERENNIALS. IN MULCHING PERENNIALS, USE NO MORE THAN 1-2". FOR MEDITERRANEAN TYPE OF PERENNIALS, SUCH AS LAVENDER, OR FOR PEONIES OR IRIS, USE NO MULCH AT ALL.
 - TREES SHALL BE PLANTED AT THE HEIGHT OF THE SURROUNDING GRADE WITH ROOT FLARES VISIBLE. SHOULD SOIL HAVE BEEN PILED OVER THE ROOT FLARE DURING THE DIGGING PROCESS, THIS SOIL SHALL BE REMOVED SO THAT THE FLARE IS SLIGHTLY ABOVE GRADE.
 - PRUNING AT THE TIME OF PLANTING SHALL BE DONE ONLY TO REMOVE BROKEN BRANCHES OR DOUBLE (CO DOMINANT) LEADERS.
 - REMOVE TAGS AND LABELS FROM TREES AND SHRUBS TO PREVENT GIRDLING BRANCHES AND TRUNKS.
 - STAKES SHALL BE USED ONLY IN AREA OF HIGH TRAFFIC OR HIGHLY WINDY LOCATIONS. A TREE-STAKING DIAGRAM SHOULD BE PROVIDED IF STAKING IS NECESSARY. STAKE FOR MAXIMUM OF ONE YEAR. ALLOW TREES A SLIGHT AMOUNT OF FLEX RATHER THAN HOLDING THEM RIGIDLY IN PLACE. USE GUYING OR ATTACHING THAT WON'T DAMAGE THE BARK. TO PREVENT TRUNK GIRDLING, REMOVE ALL GUYING MATERIAL AFTER ONE YEAR.
 - PLANTING SEASON - PLANTING SHALL BE DONE ONLY WITHIN THE FOLLOWING DATES:
A. DECIDUOUS TREES - MARCH 15 TO MAY 30 OR SEPTEMBER 15 TO DECEMBER 15 (OAKS AND BLACK GUM TO BE SPRING DUG AND PLANTED ONLY).
B. EVERGREEN TREES - MARCH 15 TO MAY 15 OR SEPTEMBER 15 TO NOVEMBER 15.
 - ALL PLANT MATERIAL SHALL BE GUARANTEED BY THE CONTRACTOR FOR ONE YEAR FROM THE DATE OF ACCEPTANCE TO BE IN GOOD, HEALTHY AND FLOURISHING CONDITION. IN THE EVENT THAT A PLANT DIES OR IN THE JUDGMENT OF THE PROJECT LANDSCAPE ARCHITECT, FAILS TO FLOURISH; THE CONTRACTOR SHALL REPLACE IN ACCORDANCE WITH THE ABOVE NOTED SPECIFICATIONS.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF THE PLANTS DURING THIS ONE-YEAR WARRANTY PERIOD. THIS MAINTENANCE SHALL INCLUDE PROVIDING WATER ON A WEEKLY BASIS WHEN NATURAL RAINFALL IS LESS THAN ONE INCH A WEEK. DRIP IRRIGATION SYSTEMS AND WATER RESERVOIR DEVICES CAN FACILITATE WATERING. ROOT BALLS OF TREES SHOULD BE SLOWLY AND THOROUGHLY SOAKED AT TIME OF WATERING. FOR PLANTING BEDS (I.E., TREES, SHRUBS AND PERENNIALS), WATER SLOWLY AND DEEPLY PUTTING DOWN 1-2" OF WATER IN A 6-12 HOUR PERIOD. THIS SHOULD GIVE A PENETRATION OF 12-18" DEPTH.
 - PLANT MATERIAL SHALL NOT BE STORED ON SITE FOR A PERIOD LONGER THAN 3 DAYS FROM THE TIME OF DELIVERY.
 - ALL PLANT MATERIAL SHALL BE PROTECTED FROM DRYING DURING TRANSPORTATION AND DURING STORAGE ON SITE. ANY PLANT THAT IS NOT PLANTED ON THE DAY OF DELIVERY WILL BE PLACED IN A HOLDING AREA. THE TREE OR SHRUB WILL BE STORED VERTICALLY AND ITS ROOTS WILL BE COVERED WITH A MOISTURE HOLDING MEDIUM (WOOD CHIPS, SAW-DUST, ECT.) UNTIL PLANTED.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DISCREPANCIES BETWEEN THE PLANT LIST AND THE PLANTING PLAN.

- GENERAL NOTES**
- At the time of plant installation, all shrubs and trees listed and approved on the Landscape Plan, shall comply with the proper height requirement in accordance with the Howard County Landscape Manual. In addition, no substitutions or relocations of the required plantings may be made without prior review and approval from the Department of Planning and Zoning. Any deviation from the approved Landscape Plan may result in denial or delay in the release of landscape surety until such time as all required materials are planted and/or revisions are made to the applicable plans.
 - The owner, tenants and/or their agents shall be responsible for maintenance of the required landscaping including both plant materials and berms, fences and walls. All plant materials shall be maintained in good growing condition, and when necessary, replaced with new materials to ensure continued compliance with applicable regulations. All other required landscaping shall be permanently maintained in good condition, and when necessary, repaired or replaced.
 - This plan has been prepared in accordance with Section 16.124 of the Howard County Code and the Landscape Manual with 6 shade trees, 8 ornamental trees, 0 evergreen trees and 42 shrubs provided with landscape surety in the amount of \$ \$4,260.00 with the DPW, Developer's Agreement.
- **see unit pricing below for calculating and filling in the surety.
- ** Please be aware that the unit prices to be used for establishing surety requirements shall be in accordance with the adopted County Fee Schedule which is \$300.00 per shade tree, \$150.00 per evergreen/ornamental tree, \$30.00 per shrub, \$10.00 per linear feet of fencing and \$20.00 per linear feet of wall.

No.	DATE	DESCRIPTION	REV. BY	APPROVED	DATE
1	4/24/14	REVISED TREE SPECIES PER COUNTY COMMENT			
2	5/23/14	REVISED TREE SPECIES PER COUNTY COMMENT			

REVISION APPROVED BY DIVISION OF DESIGN REVIEW

PLAN DATE: 3/28/14

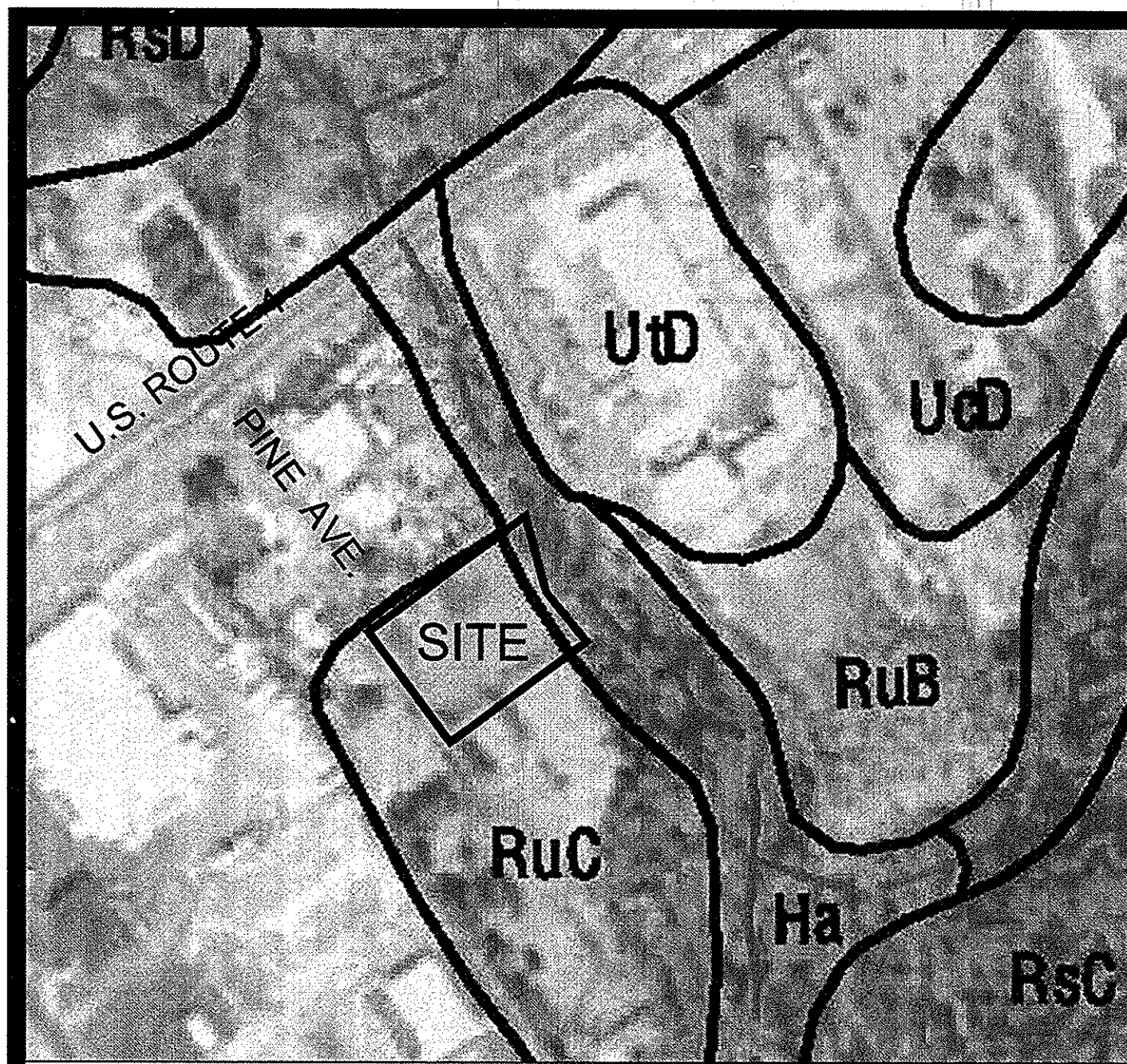
OWNER/DEVELOPER:
OLADUNNI AROMIRE
6157 PINE AVENUE
ELKCRIDGE, MD 21075
PHONE: (410) 540-4951
CONTACT: OLADUNNI AROMIRE

LANDSCAPE PLAN

Wm. O'Kelly Russell, RLA
Planning • Landscape Architecture • Arboriculture
17485 Tripoli Blvd., Dumfries, VA 22026 (703) 221-3381
wmo_kellyrussell@hotmail.com

TAX ACC#: 1401157892 - TAX MAP/GRID: 038-08 PARCEL: 0790
ELKCRIDGE SUBDIVISION - LIBER: 03857 FOLIO 0646
FIRST THOUSAND PLUS SITE IMPROVEMENT
6157 PINE AVE. - ELKCRIDGE, MD 21075
PARCEL 0790 - ELECTION DISTRICT 1-16
HOWARD COUNTY, MARYLAND

SCALE: 1" = 20'
JOB NO.:
DATE: 3/28/14
INDEX:
SHEET: 6 OF 7
SDP-14-030



Forest Conservation Worksheet 2.2

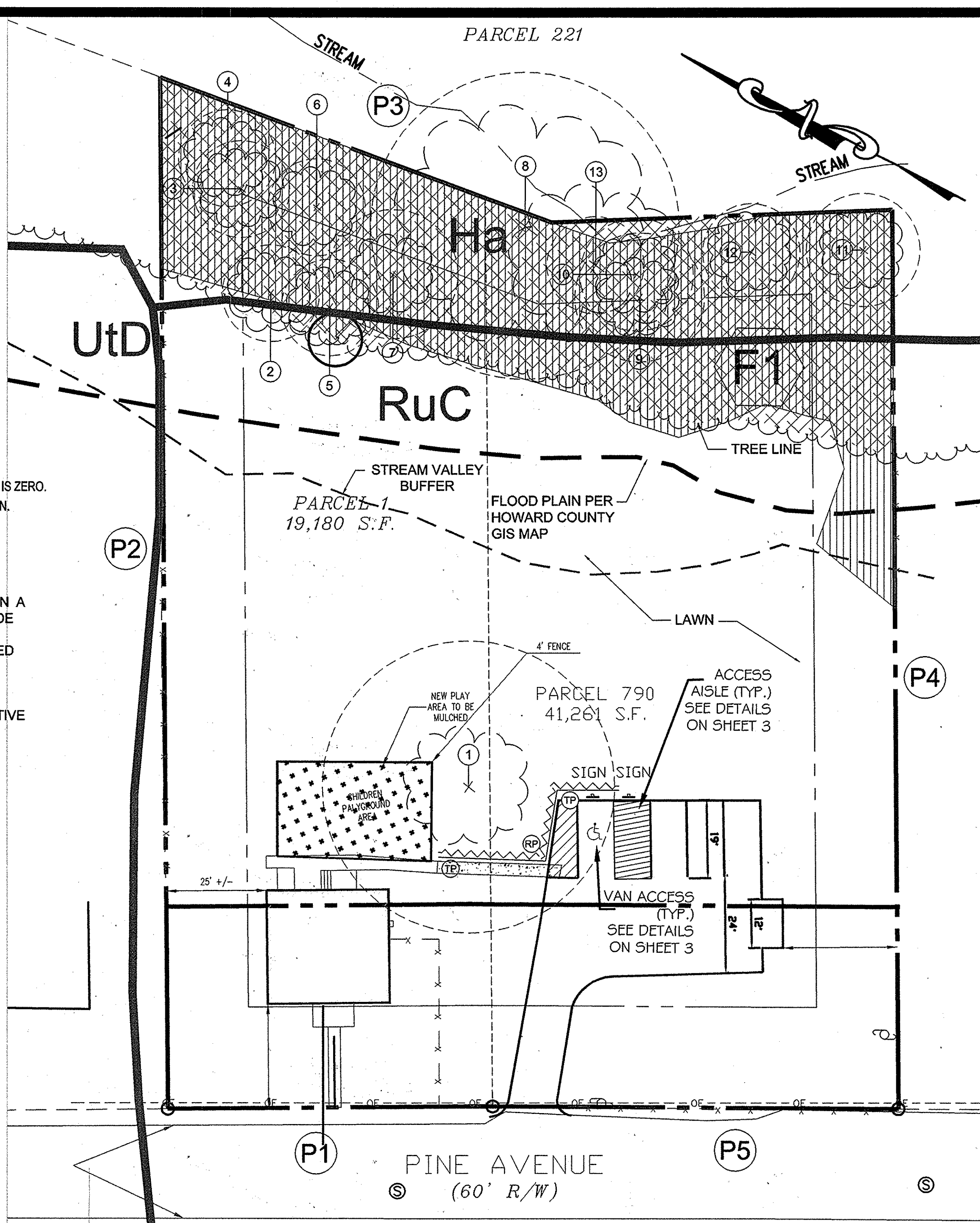
Net Tract Area		
A. Total Tract Area	A =	0.95
B. Deductions	B =	0.25
C. Net Tract Area	C =	0.70
Land Use Category		
Input the number "1" under the appropriate land use zoning, and limit to only one entry		
ARA	MDR	IDA
0	0	0
HDR	MPD	CIA
0	0	1
D. Afforestation Threshold (Net Tract Area x 15%)		
D =		0.11
E. Conservation Threshold (Net Tract Area x 15%)		
E =		0.11
F. Existing Forest Cover within the Net Tract Area		
F =		0.00 *
G. Area of Forest Above Conservation Threshold		
G =		0.00
Break Even Point		
H =		0.00
I. Forest Clearing Permitted Without Mitigation		
I =		0.00
Proposed Forest Clearing		
J =		0.00
K. Total Area of Forest to be Retained		
K =		0.00
Planting Requirements		
L =		0.00
M. Reforestation for Clearing Below the Conservation Threshold		
M =		0.00
N. Credit for Retention above the Conservation Threshold		
N =		0.00
P. Total Reforestation Required		
P =		0.00
Q. Total Afforestation Required		
Q =		0.11
R. Total Planting Requirement		
R =		0.11**

* NOTE: ALL FOREST AREA ON SITE IS WITHIN FLOODPLAIN, AND THEREFORE THE NET AREA OF FOREST IS ZERO.
 ** NOTE: THE .011 ACRES OF REFORESTATION WILL BE SATISFIED WITH A FEE-IN-LIEU AFFORESTATION.

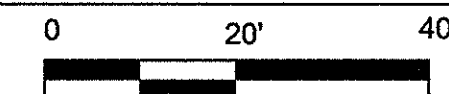
FOREST STAND DELINEATION NARRATIVE

STAND F1

STAND F1 IS A MIX OF TREES TYPICAL OF A PIONEER BOTTOMLAND FOREST IN A FLOOD PLAIN IN THE PIEDMONT. THE DOMINANT HARDWOOD SPECIES INCLUDE BLACK LOCUST, SYCAMORE, RED MAPLE WITH UNDERSTORY SPECIES TO INCLUDE MULBERRY AND BLACK CHERRY. THE GROUND COVER IS DOMINATED BY HONEYSUCKLE, GREEN BRIAR AND ROSA MULTIFLORA IN MOST AREAS. THE MAJORITY OF THE F1 STAND IS LOCATED IN STEEP SLOPED AREAS. PRESERVATION PRIORITY WOULD BE MODERATE. RECOMMENDATION WOULD INCLUDE THE REMOVAL OF INVASIVE SPECIES TO PROMOTE GROWTH OF NATIVE SPECIES.

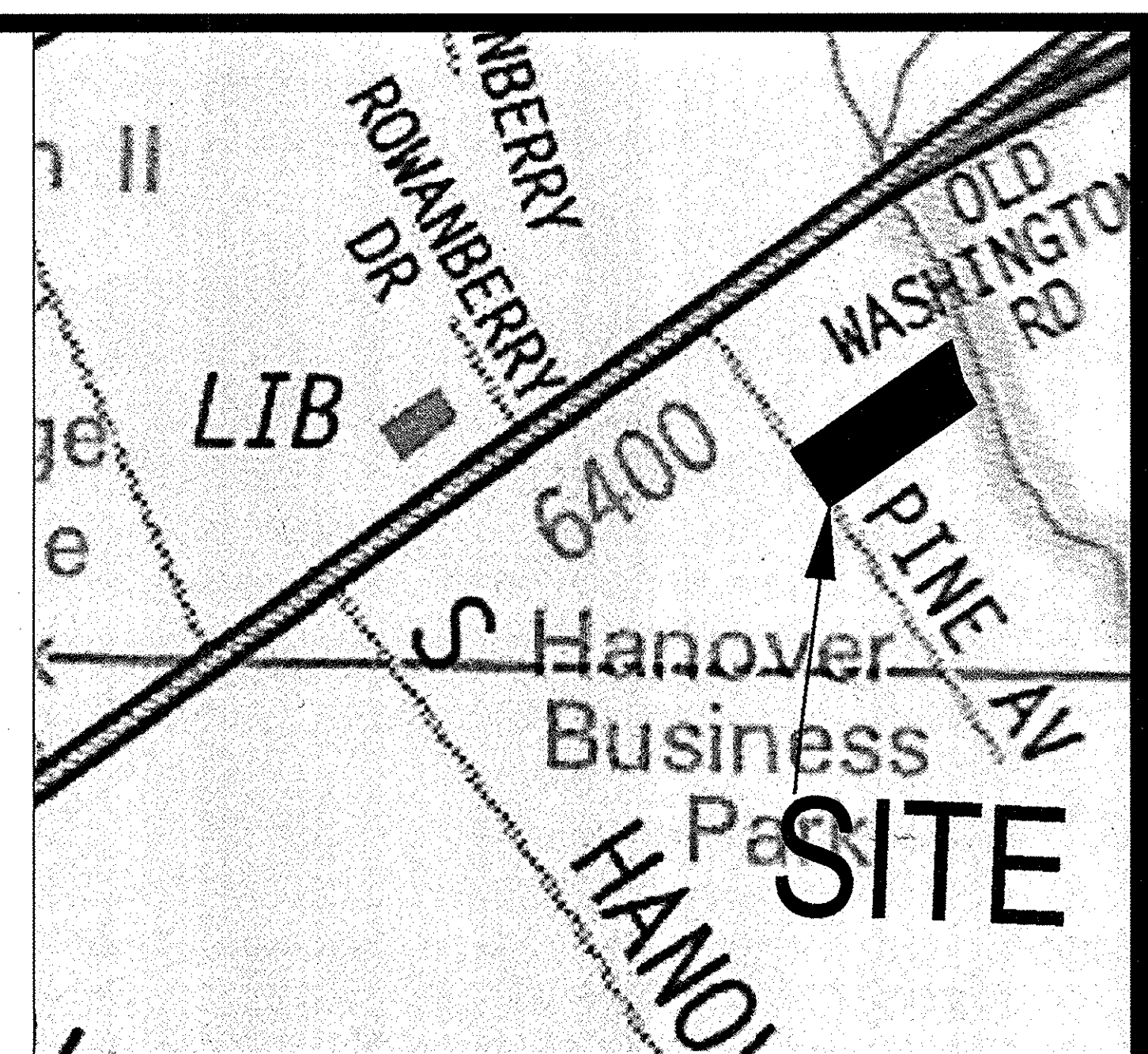


NRI/FSD
 SCALE: 1" = 20'-0"



TREE INVENTORY

Plant#	Species	Size	Critical Root Zone		Condition	Canopy Position	Crown Density	Crown Spread	Crown Spread (ft)	Activities					Problems/Comments	Recommended Action to be taken
			DBH	Radius (ft)						%	Root Prune	Mulch	Fertilize	Prune		
1	Elm	3(12)	24	75	intermediate	80	30			X	X	X			Good condition	To Remain, Crown clean greater than 2" branches
2	Sycamore	12	12	70	dominant	75	20								Good condition	To Remain
3	Mulberry	12	12	50	intermediate	50	20								Poor-Fair condition	To Remain
4	Mulberry	12	12	50	dominant	70	20								Poor-Fair condition	To Remain
5	Black Locust	12	12	50	dominant	50	20								Poor-Fair condition	To Remain
6	Mulberry	12	12	50	intermediate	60	20								Fair condition	To Remain
7	Black Locust	16	16	60	suppressed	70	20								Fair condition	To Remain
8	Red Oak	16,22	38	60	dominant	70	60								Fair condition	To Remain
9	Black Locust	16	16	70	intermediate	70	20								Good condition	To Remain
10	Mulberry	14	14	20	suppressed	20	20								Poor condition	To Remain, Not a Hazard
11	Black Cherry	14	14	40	dominant	20	20								Poor condition	To Remain, Not a Hazard
12	Black Locust	12	12	20	suppressed	50	0								Poor condition	To Remain, Not a Hazard
13	Black Locust	12	12	20	intermediate	30	40								Poor condition	To Remain, Not a Hazard



VICINITY MAP
 SCALE: 1" = 200'
 ADC MAP: 4937 GRID C8

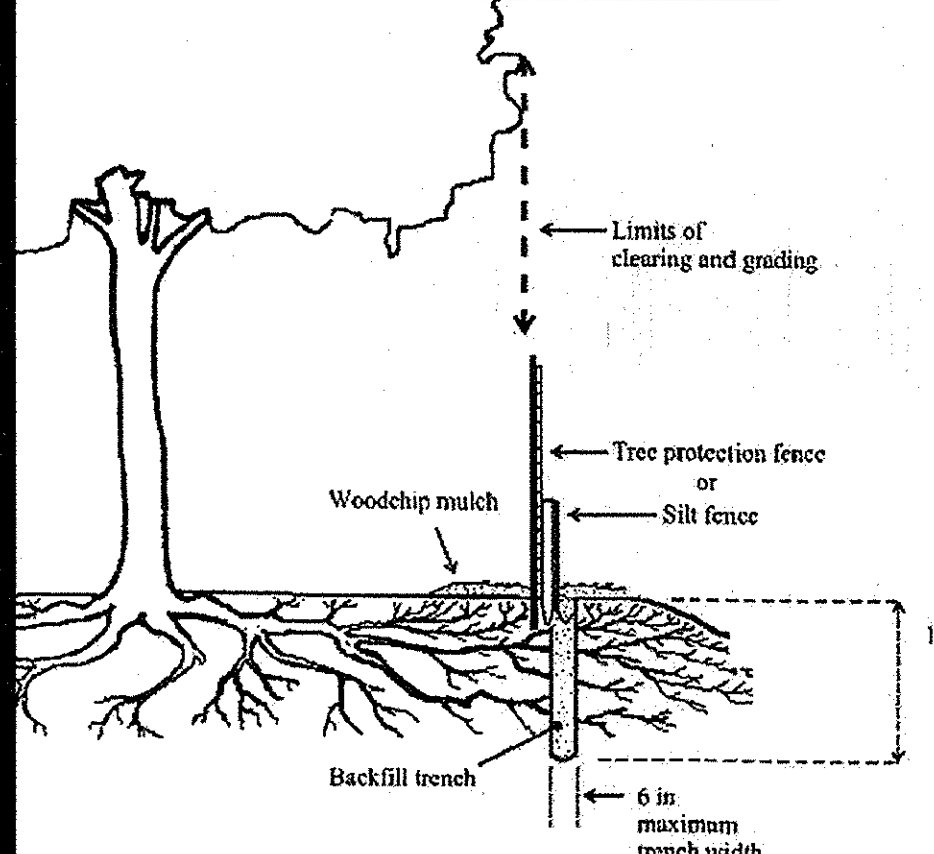
GENERAL NOTES

- Boundary, as shown, from available deeds and plats recorded among the Land Records of Howard County, Maryland
- Zoning is CE-CL1.
- Area included in Plan is 41,251 s.f., or 0.948 ac. ±
- Number of proposed lots - 1
- Sewer Category S-1; Water Category W-1
- The site is in the Deep Run watershed, a Class 1 stream, and not in a SPA.
- The majority of the site is Russett and Beltsville soils (RuC), not a hydric soil, K=0.06-6.0. A minor portion of the site along the western property line is Hatboro-Codorus silt loams (Ha), not a hydric soil, K=0.06-2.0.
- The subject site does not contain any known cultural features, historic sites or easements and is not adjacent to any scenic or historic sites.
- NR/FSD data via a field study, 1/15/2014, by Wm. O'Kelly Russell, RLA.
- Some of the proposed features shown hereon are scaled and subject to change at the time of survey and/or record plat.
- Tax I.D. #1401158792
- Property address: 6157 Pine Avenue Elkridge, MD 21075
- Deed reference: Liber 03857, Folio 0646
- On-site tree DBH measurements via diameter tape, off-site trees were estimated.
- A portion of the property is situated in the 100 year flood plain.
- Property shown here lies within Zone "b" areas between limits of 100-year flood and 500-year flood; or certain areas subject to 100-year flooding with average depths less than (1) foot or where the contributing drainage area is less than one square mile; or area protected by levees from the base flood. Flood Plain areas as mapped by FEMA on Community Panel No. 24004400-043B dated December 4, 1986.
- There are no wetlands, within 100 feet of this site.
- There are no champion trees or trees 75% of the DBH of a State or County champion or adjacent to the site.
- Maryland DNR Heritage has been contacted regarding sensitive species in the vicinity of the subject site. The response will be provided when available. No sensitive species were observed during the field study.
- The proposed improvements and grading, as shown, are preliminary and subject to final plan design and construction permits.

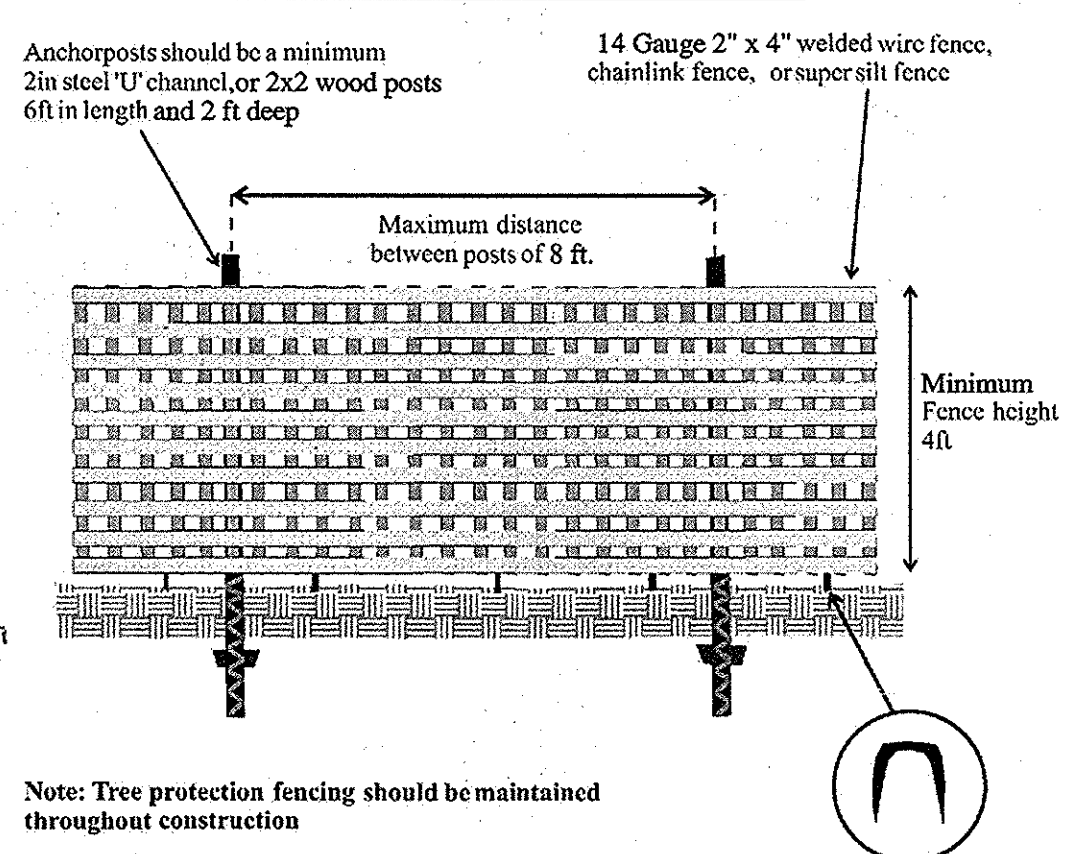
LEGEND:

- EXISTING TREE CANOPY
- EXISTING TREE
- TREE ID
- FOREST STAND NUMBER
- STREAM
- STREAM VALLEY BUFFER
- SOILS LINE
- SOIL TYPE
- SLOPES >15%

ROOT PRUNING DETAIL



TREE PROTECTION FENCE



Note: Tree protection fencing should be maintained throughout construction

TREE PROTECTIVE DEVICE - WELDED WIRE FENCE

GENERAL NOTES & CONSTRUCTION SEQUENCE

- Location of root pruning and tree protective devices (TPDs) will be marked in the field and approved by MNCPPC prior to start of any other work on the site. (May be concurrent with marking the Limits Of Disturbance (LOD)).
- TPDs will be erected prior to any clearing or grading on the site, at the locations shown on the approved Final Forest Conservation Plan and/or Tree Save Plan. See the "Legend" for TPD identification.
- Personal, vehicles, materials, equipment, and supplies are prohibited within the tree save areas.
- Fence posts will be a minimum of 1 1/2 inches x 1 inch steel U-channel or 2 inch x 2 inch lumber, spaced a maximum of 10 feet apart. Install posts to avoid damaging large tree roots, and at least 2 feet deep. Posts may be installed in the root pruning trench.
- Fence fabric shall be 2" x 4" welded wire, installed with the top of the fabric 4 feet above grade and fastened securely to the posts so as to lay generally flat (tight) from top to bottom and between posts.
- Attach high-visibility flagging ribbon and approved Tree Conservation Area signs to the top of the fence as per the TPD graphic. See "FCA Sign Detail" on this plan.
- Project Contractor is responsible for maintaining TPDs in good condition throughout the construction period, and for removal and disposal off-site of TPDs at completion of construction. TPDs may be removed following final grading or when approved by MNCPPC.

APPROVED: DEPARTMENT OF PLANNING AND ZONING
 Chief, Development Engineering Division
 Chief, Division of Land Development
 Director

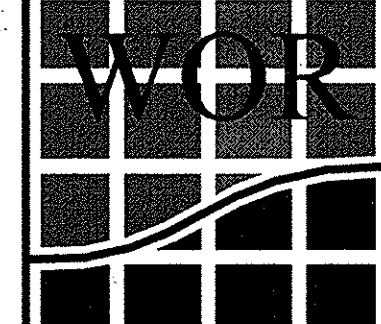
No.	DATE	DESCRIPTION	REV. BY	APPROVED	DATE
1	1/16/2014				
2	3/28/2014				
3	5/23/2014				

REVISION APPROVED BY DIVISION OF DESIGN REVIEW

PLAN DATE
 1/16/2014
 3/28/2014
 5/23/2014

OWNER/DEVELOPER:
 OLADUNNI AROMIRE
 6157 PINE AVENUE
 ELK RIDGE, MD 21075
 PHONE: (410) 540-4951
 CONTACT: OLADUNNI AROMIRE

NRI/FSD & TREESAVE PLAN



Wm. O'Kelly Russell, RLA
 Planning • Landscape Architecture • Arboriculture
 17485 Tripoli Blvd., Dumfries, VA 22026 (703) 221-3381
 wmo_kellyrussell@hotmail.com

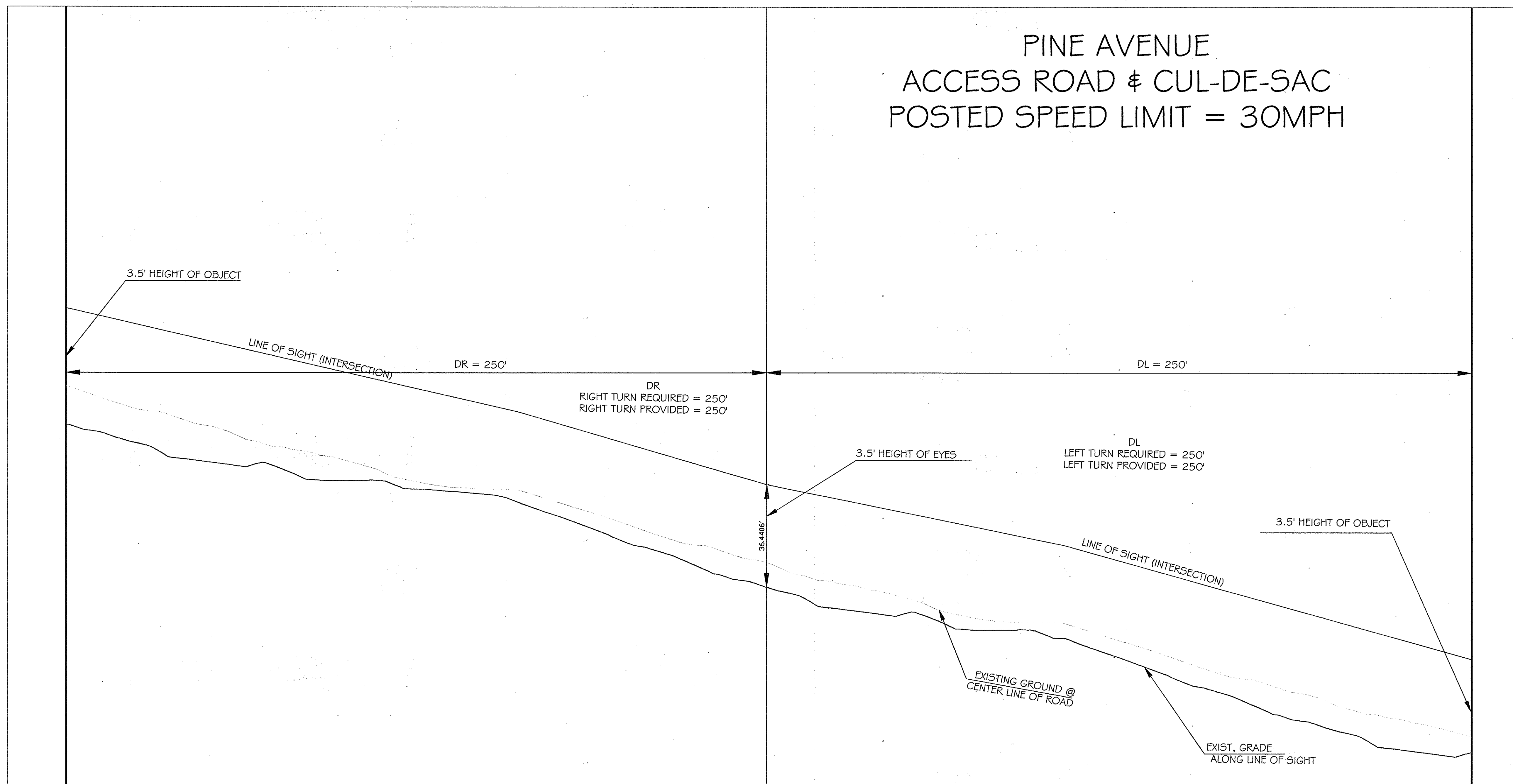
TAX ACC#: 1401158792 - TAX MAP/GRID: 038-08 PARCEL: 0790
 ELK RIDGE SUBDIVISION - LIBER: 03857 FOLIO 0646
FIRST THOUSAND PLUS SITE IMPROVEMENT
 6157 PINE AVE. - ELK RIDGE, MD 21075
 PARCEL 0790 - ELECTION DISTRICT 1 - 16
 HOWARD COUNTY, MARYLAND

SCALE: 1" = 20'
 JOB NO.:
 DATE: 1/16/14
 INDEX:
 SHEET: 2 OF 7
 697

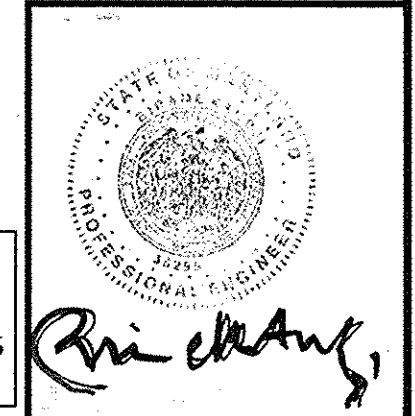


**PINE AVENUE
ACCESS ROAD & CUL-DE-SAC
POSTED SPEED LIMIT = 30MPH**

APPROVED: DEPARTMENT OF PLANNING AND ZONING
Chief, Development Engineering Division 11-17-14 Date
Chief, Division of Land Development 11/20/14 Date
Director 11/21/14 Date



Professional certification. I hereby certify that these documents were prepared or approved by me, and that I am a duly Licensed Professional Engineer under the laws of the State of Maryland, License No. 35296
 Expiration date: January 07, 2016



DATE	REVISION	DATE	BY	DATE
	BASE DATA	3/06/14	CADD	3/06/14
	DESIGNED	3/06/14	RC	3/06/14
	DRAWN	3/06/14	RC	3/06/14
	REVIEWED	3/06/14	BK	3/06/14
	RELEASE FOR			
	BY			

OWNER/DEVELOPER:
OLADUNNI AROMIRE
 6157 PINE AVENUE
 ELKRIDGE, MARYLAND 21075
 PHONE: (410) 540-4951
 CONTACT: OLADUNNI AROMIRE

**SITE DISTANCE
PLAN & PROFILES**

NOA
 Consulting Group, LLC
 Civil Engineers • Land Planners • Construction Managers
 23110 Yellowwood Drive, Clarksburg, MD 20871
 Phone: 240.361.7895
 bkanjji@noa-group.com www.noa-group.com

TAX ACC#: 1401157892 - TAX MAP/GRID: 038-08 - PARCEL: 0790
FIRST THOUSAND PLUS DAYCARE SITE IMPROVEMENT
 ELKRIDGE SUBDIVISION - LIBER: 03857 - FOLIO: 0646
 PARCEL 0790 - ELECTION DISTRICT # 1-16
 HOWARD COUNTY, MARYLAND

SCALE: 1" = 30'
JOB No.
DATE: MARCH 2014
INDEX No. C5
SHEET No. 7 OF 7