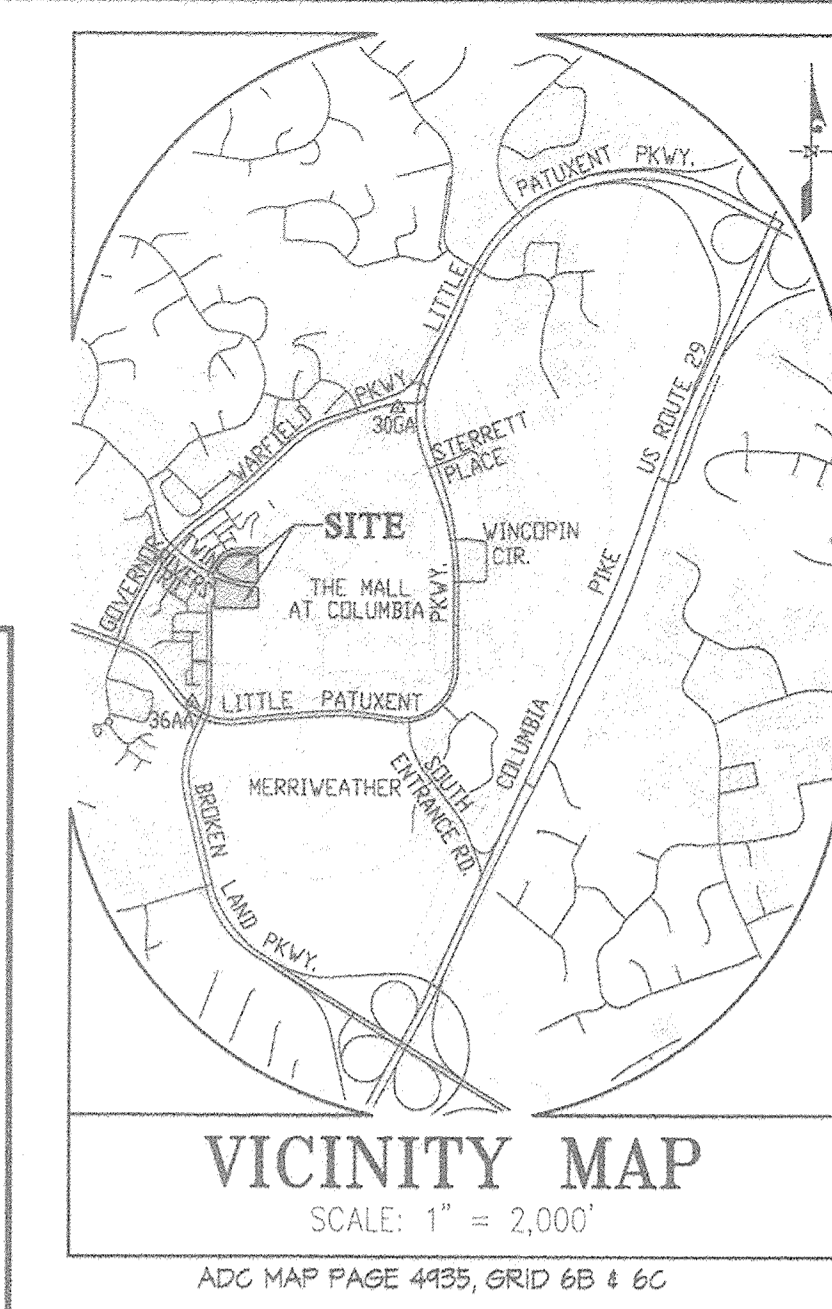


GENERAL NOTES

- 1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF HOWARD COUNTY PLUS MEHA STANDARDS AND SPECIFICATIONS WHERE APPLICABLE.
2. THE CONTRACTOR SHALL NOTIFY THE BUREAU OF ENGINEERING/CONSTRUCTION INSPECTION DIVISION AT (410) 318-1820 AT LEAST 48 HOURS PRIOR TO THE START OF WORK.
3. THE CONTRACTOR SHALL NOTIFY 'MISS UTILITY' AT 1-800-251-7771 AT LEAST 48-HOURS PRIOR TO ANY EXCAVATION WORK.
4. THE CONTRACTOR SHALL NOTIFY THE HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS BUREAU OF UTILITIES AT (410) 318-4400 AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION WORK.
5. PROJECT BACKGROUND:
LOCATION: TAX MAP 85
ZONING: PROPERTY IS ZONED 'NEW TOWN' PER THE FEBRUARY 2, 2004 COMPREHENSIVE ZONING PLAN AND THE 'COMP-LITE' ZONING AMENDMENTS EFFECTIVE JULY 20, 2006. ADDITIONALLY, THE PROJECT AREA IS SUBJECT TO THE DOWNTOWN COLUMBIA PLAN - A GENERAL PLAN AMENDMENT EFFECTIVE APRIL 6, 2010.
ELECTION DISTRICT: FIFTH ELECTION DISTRICT
AREA OF BUILDABLE LOTS: C-1: 220'x18' or 2,360 SQ. FT. C-2: 115'x80' or 2,600 SQ. FT.
RECORD PLAT NO. 22455 INV 22460
DPZ REF. FILE NO.: F 91-116, FDP-DC-WARFIELD-1, F 13-015 ECP 12-058, SDP 91-081, SDP 91-107, F 15-003 AND SDP 13-007

SITE DEVELOPMENT PLAN
DOWNTOWN COLUMBIA
WARFIELD NEIGHBORHOOD
PARCELS C-1 and C-2
GREEN MIXED-USE BUILDINGS

306A
36AA
NORTHING: 566,053.5474
EASTING: 1,352,171.5307
ELEVATION: 334.876
(LATEST ADJ. NOV. 2008)
NORTHING: 562,804.8537
EASTING: 1,344,906.1701
ELEVATION: 334.151
(LATEST ADJ. NOV. 2008)



GENERAL NOTES CONT'D

- 26. THIS PROPERTY IS SUBJECT TO THE NEIGHBORHOOD SPECIFIC DESIGN GUIDELINES (NSDG) RECORDED IN LIBER 14166, FOLIO 1. THE NEIGHBORHOOD SPECIFIC IMPLEMENTATION PLAN (NSIP) RECORDED IN LIBER 14166 AT FOLIO 251. THE NEIGHBORHOOD CONCEPT PLAN (NCP) RECORDED AS PLAT NOS. 22012 THRU 22015 AND THE FINAL DEVELOPMENT PLAN (FDP-DC-WARFIELD-1), RECORDED AS PLAT NOS. 22012 THRU 22015.
27. PUBLIC ART IN ACCORDANCE WITH FDP-DC-WARFIELD-1 AND SECTION 125.0-041(2) OF THE ZONING REGULATIONS INCLUDING THE ABILITY TO RECEIVE GRANT ART CREDIT, WILL BE PROVIDED AS A PART OF THIS SDP. THE PRECISE INSTALLATION LOCATION OF THE PIECES WILL BE DETERMINED IN THE FIELD. SEE SHEET 22 FOR ADDITIONAL INFORMATION.
28. THE DEVELOPER AND OWNER, AS APPLICABLE, WILL MAKE A ONE-TIME AND ANNUAL PAYMENTS REQUIRED BY CEPPA 26 AND 27. EACH OWNER OF PROPERTY DEVELOPED WITH COMMERCIAL USES PURSUANT TO SECTION 125.0-041 OF THE HOWARD COUNTY ZONING REGULATIONS SHALL PROVIDE AN ANNUAL PER-SQUARE-FOOT CHARGE AS REQUIRED IN CEPPA 29. SEE THE COST TRACKING TABLE ON THIS SHEET FOR ADDITIONAL INFORMATION.
29. A SIGHT DISTANCE ANALYSIS WAS SUBMITTED AND APPROVED AS A PART OF THE DOWNTOWN COLUMBIA WARFIELD NEIGHBORHOOD, PARCELS C-1 THRU C-4, PARCELS D-1 THRU D-4 PLANS (F 13-015).

GENERAL NOTES CONT'D

- A SITE DEVELOPMENT PLAN FOR PHASE 1 MUST BE SUBMITTED BY AUGUST 24, 2012. A SITE DEVELOPMENT PLAN FOR PHASE 2 MUST BE SUBMITTED BETWEEN JULY 1, 2012 AND APRIL 1, 2013 (OCTOBER 1, 2013). A SITE DEVELOPMENT PLAN FOR PHASE 3 MUST BE SUBMITTED BETWEEN JULY 1, 2013 AND APRIL 1, 2014.
A WAIVER OF SECTION 16.106(E) WAS APPROVED ON JANUARY 14, 2013 MODIFYING THE NUMBER OF UNITS AND THE LATEST DATE THAT A SITE DEVELOPMENT PLAN CAN BE SUBMITTED FOR PHASE 2. THE CHANGE IS INDICATED IN PARENTHESES BEHIND THE ORIGINALLY SET NUMBER OF UNITS AND DATE. SEE NOTE 31 BELOW.
36. ON JANUARY 14, 2013, NP 13-045 GRANTED A WAIVER OF SECTION 16.106(E) WHICH STATES THAT ADEQUATE PUBLIC FACILITIES MILESTONES FOR DOWNTOWN COLUMBIA OCCUR NINE MONTHS AFTER THE STARTING DATE. MILESTONES ARE ASSIGNED FOR DOWNTOWN COLUMBIA AT THE TIME THE FINAL DEVELOPMENT PLAN IS INITIALLY SUBMITTED FOR REVIEW. SUBJECT TO THE FOLLOWING CONDITIONS IN THE APPROVAL LETTER:
1. THE SITE DEVELOPMENT PLAN FOR PARCEL C-2 MUST BE SUBMITTED FOR REVIEW ON OR BEFORE OCTOBER 1, 2013;
2. NO MORE THAN 271 RESIDENTIAL UNITS MAY BE REQUESTED FOR PARCEL C-2;
3. DEVELOPMENT PROPOSALS FOR PARCELS C-2 (ALLOCATION YEAR 2015) AND PARCEL C-1 (ALLOCATION YEAR 2016) MAY BE SUBMITTED AS ONE INTEGRATED SITE DEVELOPMENT PLAN TO BE SUBMITTED ON OR BEFORE OCTOBER 1, 2013 AND PROPOSING NO MORE THAN 451 RESIDENTIAL UNITS;
4. THE ROAD CONSTRUCTION DRAWINGS AND THE FINAL PLAN, F 13-015, AND THE SITE DEVELOPMENT PLAN (SDP 13-007) ORIGINALS SHALL INCLUDE THE UPDATED ALLOCATIONS CHART WITH A FOOTNOTE REFERENCING THE AMENDMENTS GRANTED AS A PART OF THIS WAIVER PETITION (NP 13-045);
5. A GENERAL NOTE SHALL BE INCLUDED ON THE ROAD CONSTRUCTION DRAWINGS AND FINAL PLAN (F 13-015) AND THE SITE DEVELOPMENT PLAN (SDP 13-007) THAT REFERENCES THIS WAIVER PETITION AND INCLUDES THE PURPOSE OF THE WAIVER, DATE OF THE APPROVAL, AND LISTS THE CONDITIONS OF APPROVAL.
37. THE PARKING DEMAND FOR GUESTS, RETAIL, AND RESTAURANTS WILL BE SHARED BETWEEN BUILDINGS C-1 AND C-2.
38. A SHARED PARKING ANALYSIS WAS SUBMITTED AND APPROVED WITH THIS SITE DEVELOPMENT PLAN. THE SHARED PARKING ANALYSIS INCLUDES THE INFORMATION INDICATED IN THE PARCEL C-1 AND C-2 DEVELOPMENT DATA (2A); APARTMENTS, 2B; RETAIL, AND 2C; RESTAURANT ON THIS SHEET. THE SQUARE FOOTAGE OF RESTAURANT USES MAY NOT BE EXCEEDED ABOVE THAT WHICH UTILIZES SURPLUS PARKING, IF ANY, WITHOUT PROVISIONS FOR ADDITIONAL PARKING.
39. HEALTH DEPARTMENT APPROVAL OF THIS SITE DEVELOPMENT PLAN (SDP) DOES NOT ENSURE APPROVAL OF BUILDING PERMIT APPLICATIONS ASSOCIATED WITH THIS PLAN. PERMIT PLANS FOR CERTAIN FACILITIES TO BE CONSTRUCTED WITHIN THE LIMITS DESCRIBED BY THIS SDP WILL REQUIRE REVIEW AND APPROVAL BY THE HEALTH DEPARTMENT. SUCH FACILITIES MAY INCLUDE, BUT ARE NOT LIMITED TO, THOSE WHICH HAVE SKIMMING POOLS, OR THAT SELL PREPARED OR PACKAGED FOODS, OR THAT MAY HAVE EQUIPMENT THAT EMITS RADIATION.
40. USE AND OCCUPANCY PERMITS CAN NOT BE ISSUED UNTIL THE REQUIRED IMPROVEMENTS TO THE GOVERNOR WARFIELD/LITTLE PATUXENT PARKWAY INTERSECTION AS APPROVED ON A PLAN REVISION TO F 66-046 ARE CONSTRUCTED.

GENERAL NOTES CONT'D

- 41. AT THE TIME OF SDP APPROVAL, THE SITE IS UNDER PHASE 1 OF THE DOWNTOWN REVITALIZATION PHASING PROGRESSION.
42. CUMULATIVE AMOUNT OF DEVELOPMENT APPROVED AT THE TIME OF THIS SDP APPROVAL IS: 817 UNITS AND 1,151,658 SF.
43. CUMULATIVE AMOUNT OF DEVELOPMENT BUILT AT THE TIME OF SDP APPROVAL IS: 360 UNITS AND 487,611 SF.
44. ON JUNE 11, 2014, NP 14-130 GRANTED A WAIVER OF SECTION 16.106(G)(2) WHICH STATES THAT IF THE DEPARTMENT OF PLANNING AND ZONING OR THE REVIEW COMMITTEE INDICATES THAT ADDITIONAL INFORMATION IS NEEDED IN ORDER TO DECIDE WHETHER TO APPROVE THE PLAN, THE DEVELOPER SHALL PROVIDE THE INFORMATION WITHIN 45 DAYS OF RECEIVING SUCH INDICATION. THIS WAIVER IS TO REACTIVATE AND EXTEND THE 45 DAY REVISION DEADLINE TO ALLOW PLAN PROCESSING. SDP 14-024 WAS ACCEPTED FOR PROCESSING ON MAY 1, 2014.
45. ON JUNE 23, 2015, NP 15-146 GRANTED A WAIVER OF SECTION 16.106(I) WHICH REQUIRES THAT WITHIN 180 DAYS OF THE SITE DEVELOPMENT PLAN APPROVAL, THE DEVELOPER SHALL SUBMIT THE COMPLETED DEVELOPER'S AGREEMENTS AND PAY ALL FEES TO THE COUNTY AND POST ALL MONIES AND/OR FILE APPROPRIATE SURETY COVERING THE DEVELOPER'S FINANCIAL OBLIGATIONS FOR THE REQUIRED IMPROVEMENTS; AND TO SECTION 16.106(H) WHICH REQUIRES THAT WITHIN 180 DAYS OF SITE DEVELOPMENT PLAN APPROVAL, THE DEVELOPER SHALL SUBMIT THE ORIGINAL MYLAR PLANS. THE APPROVAL IS SUBJECT TO THE FOLLOWING CONDITIONS:
1. THE APPLICANT MUST SUBMIT THE COMPLETED DEVELOPER'S AGREEMENT DOCUMENTS, PAY ANY ASSOCIATED FINAL OBLIGATIONS AND SUBMIT THE SITE DEVELOPMENT PLAN ORIGINAL MYLARS WITHIN 90 DAYS OF THE CURRENT DEADLINE (ON OR BEFORE AUGUST 22, 2015).
2. ADD A NOTE TO THE SDP THAT INDICATES THAT THIS WAIVER WAS SUBMITTED (IDENTIFIED BY FILE NUMBER), AND STATES THE PURPOSE OF THE WAIVER, THE DATE OF DECISION AND A LIST OF ALL CONDITIONS OF APPROVAL.
46. THE UNIT MIX IN THE PARCEL C-2 BUILDING IS PREDOMINATELY STUDIO (7.1%) AND ONE BEDROOM (71.2%) UNITS. THE REVISED PARKING RATIO IN THE PARCEL C-2 BUILDING IS REFLECTIVE OF THIS UNIT MIX. ADDITIONAL DETAIL IS IN THE MARCH 2017 PARKING ANALYSIS AND ASSOCIATED COVER LETTER.

Table with 3 columns: PHASE, ALLOCATION YEAR, NO. OF UNITS. Phase 1: 2015, 360 units. Phase 2: 2015, 160 units. Phase 3: 2016, 160 units.

- 1. GENERAL SITE DATA
A. TOTAL PROJECT AREA: 216,146 SQUARE FEET OR 4.96 AC.
B. LIMIT OF DISTURBED AREA: 230,576 SQUARE FEET OR 5.24 AC.
C. PRESENT ZONING: NT (FDP DC-WARFIELD-1)
D. PROPOSED USE OF SITE: APARTMENTS, RETAIL, COMMERCIAL, PARKING GARAGE
F. FLOOR SPACE:
C-1 LEVEL RETAIL/RES. (SF) C-2 HEALTH CLUB RES. (SF)
LL 1 13,941 0,050 LL1 14,421 11,262
2 0 36,784 0 35,275
3 0 52,000 0 62,610
4 0 52,000 0 62,610
5 0 52,000 0 62,610
6 0 0 0 36,811

- E. BICYCLE PARKING SPACES PROVIDED:
C-1 RESIDENT BICYCLE STORAGE (ENCLOSED): 110 SPACES
C-2 RESIDENT BICYCLE STORAGE (ENCLOSED): 80 SPACES
C-1 STORAGE (SITE): 18 SPACES
C-2 STORAGE (SITE): 26 SPACES
TOTAL: 234 SPACES
G. PARKING REQUIREMENTS, IN ACCORDANCE WITH SECTION 135.E.3 SHARED PARKING METHODOLOGY AND PARKING RATIOS.
A SHARED PARKING ANALYSIS HAS INCLUDED WITH THIS SDP AND THE MAXIMUM MONTHLY PARKING DEMAND IS SUMMARIZED BELOW.
PEAK PERIOD (C-1): 1 PM, WEEKEND (C-2): 1 PM, WEEKDAY
C-1 ESTIMATED PARKING DEMAND: CUSTOMER/RESIDENTIAL GUEST, EMPLOYEE/RESIDENTIAL NON-RESERVED, RESERVED: 107 SPACES, 18 SPACES, 235 SPACES
C-2 ESTIMATED PARKING DEMAND: CUSTOMER/RESIDENTIAL GUEST, EMPLOYEE/RESIDENTIAL NON-RESERVED, RESERVED: 146 SPACES, 19 SPACES, 380 SPACES
TOTAL: 519 SPACES

Table showing parking requirements and estimated demand for C-1 and C-2, including reserved and non-reserved spaces.

- 2. PARCEL C-1 AND C-2 DEVELOPMENT DATA
A. APARTMENTS
1. C-1 PROPOSED NUMBER OF UNITS: 110
2. C-2 PROPOSED NUMBER OF UNITS: 267
TOTAL NUMBER OF UNITS: 437
B. RETAIL (LOCATED ON THE FIRST FLOOR)
C-1 PROPOSED FAST FOOD RESTAURANT: 2,541 square feet
C-2 PROPOSED FAST FOOD RESTAURANT: 5,601 square feet
C-1 PROPOSED FULL SERVICE/FINE DINING RESTAURANT: 2,601 square feet
C-2 PROPOSED FULL SERVICE/FINE DINING RESTAURANT: 8,200 square feet
TOTAL PROPOSED RESTAURANT: 12,943 square feet
C. RESTAURANT (LOCATED ON THE FIRST FLOOR)
C-1 PROPOSED FAST FOOD RESTAURANT: 2,541 square feet
C-2 PROPOSED FAST FOOD RESTAURANT: 5,601 square feet
C-1 PROPOSED FULL SERVICE/FINE DINING RESTAURANT: 2,601 square feet
C-2 PROPOSED FULL SERVICE/FINE DINING RESTAURANT: 8,200 square feet
TOTAL PROPOSED RESTAURANT: 12,943 square feet
D. HEALTH CLUB (LOCATED ON THE FIRST FLOOR): 4,813 square feet
E. INFORMATION FOR CUMULATIVE DOWNTOWN TRACKING CHART:
RETAIL/RESTAURANT/HEALTH CLUB: 20,076 gross square feet
RESIDENTIAL: 451 UNITS and 588,481 gross square feet
TOTALS: 451 UNITS and 616,557 gross square feet

- H. PARKING PROVIDED:
C-1 LOWER LEVEL 1: 33 SPACES, 1 STD. HANDICAP SPACE, 3 VAN HANDICAP SPACES
LEVEL 1: 63 SPACES, 2 STD. HANDICAP SPACES, 6 RESERVED SPACES
LEVEL 2: 63 SPACES, 2 STD. HANDICAP SPACES, 6 RESERVED SPACES
LEVEL 3: 63 SPACES, 2 STD. HANDICAP SPACES, 6 RESERVED SPACES
LEVEL 4: 62 RESERVED SPACES, 2 STD. HANDICAP SPACE, 14 RESERVED SPACES, 0 STD. HANDICAP SPACE
LEVEL 5: 14 RESERVED SPACES, 2 STD. HANDICAP SPACE, 0 STD. HANDICAP SPACE
SUB-TOTAL GARAGE SPACES: 102 SPACES, 250 RESERVED SPACES, 3 VAN HANDICAP SPACES, 4 STD. HANDICAP SPACES, 16 SPACES
SURFACE SPACES: 380 SPACES PROVIDED
C-2 LOWER LEVEL 1: 14 SPACES, 2 STD. HANDICAP SPACE, 50 SPACES, 3 VAN HANDICAP SPACES
LEVEL 1: 1 STD. HANDICAP SPACES, 61 SPACES
MEZZANINE: 20 SPACES
LEVEL 2: 20 SPACES, 67 RESERVED SPACES
LEVEL 3: 67 RESERVED SPACES, 2 STD. HANDICAP SPACES, 150 RESERVED SPACES
LEVEL 4-5: 150 RESERVED SPACES, 2 STD. HANDICAP SPACES, 68 RESERVED SPACES
LEVEL 6: 1 STD. HANDICAP SPACE, 3 VAN HANDICAP SPACES, 16 RESERVED SPACES, 18 SPACES
ROOF: 1 STD. HANDICAP SPACE, 3 VAN HANDICAP SPACES, 16 RESERVED SPACES
SUB-TOTAL GARAGE SPACES: 155 SPACES, 341 RESERVED SPACES, 3 VAN HANDICAP SPACES, 18 SPACES
SURFACE SPACES: 519 SPACES PROVIDED
TOTAL: 519 SPACES PROVIDED

APPROVED PLANNING BOARD OF HOWARD COUNTY
Date: November 20, 2011

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
Director: [Signature] Date: 5-22-17
Chief, Division of Land Development: [Signature] Date: 5-22-17
Chief, Development Engineering Division: [Signature] Date: 5-9-17

APPROVED: HOWARD COUNTY HEALTH DEPARTMENT FOR PUBLIC WATER AND SEWER SYSTEMS
County Health Officer: [Signature] Date: 5/16/2017

GLWGUTSCHICK LITTLE & WEBER, P.A. CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS. 3309 NATIONAL DRIVE - SUITE 230 - BURTNSVILLE OFFICE PARK, BURTNSVILLE, MARYLAND 21036. TEL: 301-421-4024 FAX: 301-421-4186

Table with columns: DATE, REVISION, BY, APPR. Includes entries for 1/5/17 and 4/13/17 revisions.

OWNER/PREPARED FOR: PARCEL C PROPERTY, LLC. 8255 GREENSBORO DRIVE SUITE 200 MCLEAN, VIRGINIA 22102 ATTN: KEVIN PETERKIN 703-205-5542

Community Enhancements, Programs and Public Amenities (CEPPA) Tracking Table. Table with columns: CEPPA Trigger, Date(s), Monetary Contribution, Calculation, Notes. Includes items like Prior to Submission of First FDP, Prior to Approval of First FDP, etc.

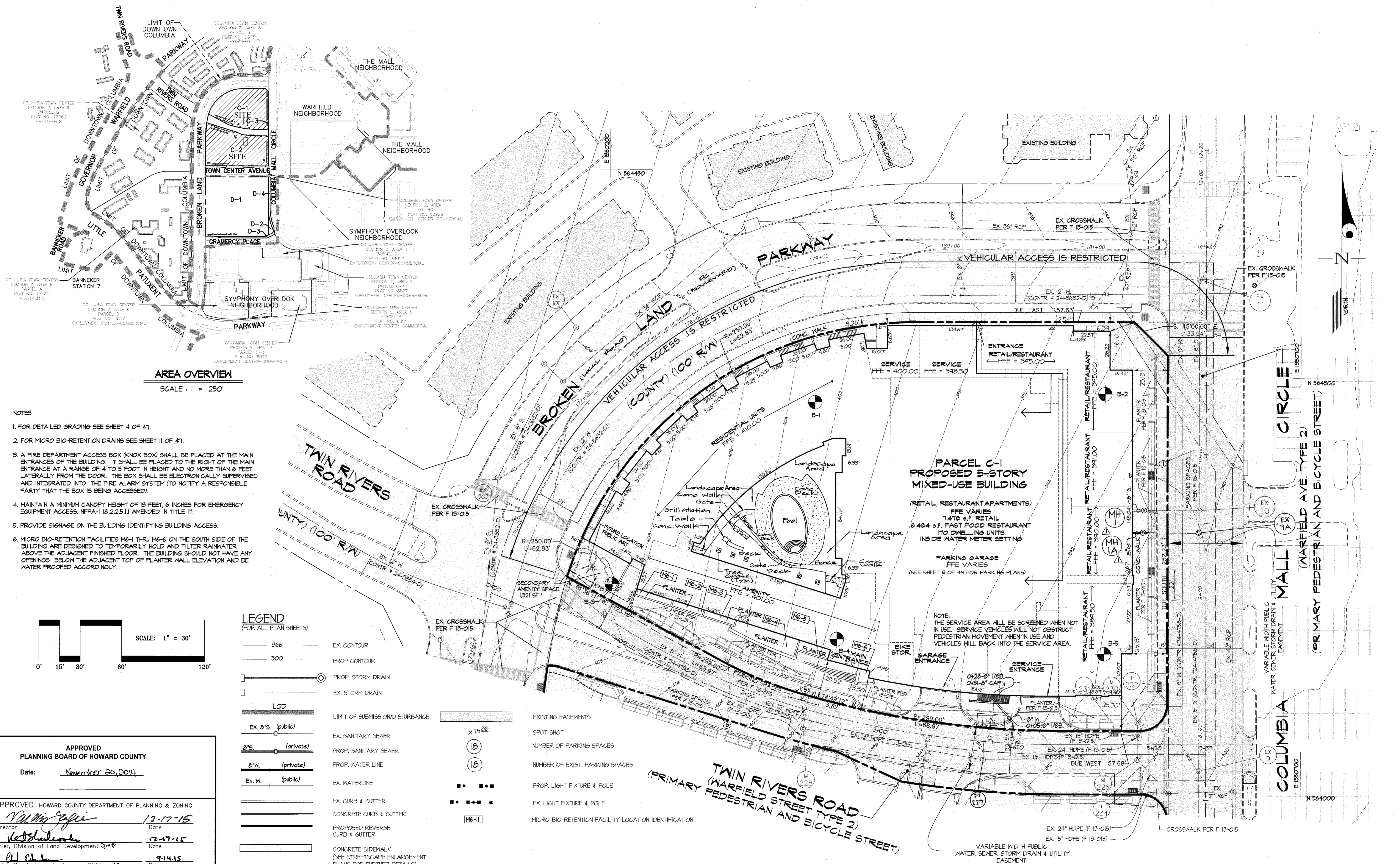
CUMULATIVE DOWNTOWN COMMUNITY COMMON TRACKING CHART. Table with columns: SDP No., Parcel, DCC Area Provided (SF), Surplus by Parcel (SF). Shows cumulative totals for SDP 13-007, SDP 14-024, and SDP 14-024-C-2.

PROFESSIONAL CERTIFICATION
I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 14931, EXPIRATION DATE: MAY 21, 2018.

Table with columns: ADDRESS CHART, PERMIT INFORMATION CHART, SCALE, ZONING, G. L. W. FILE No. Includes address for C-1 and C-2, and permit details for subdivision name, section/area, parcel, plat no., zone, tax map, block, elec. dist., census tract.

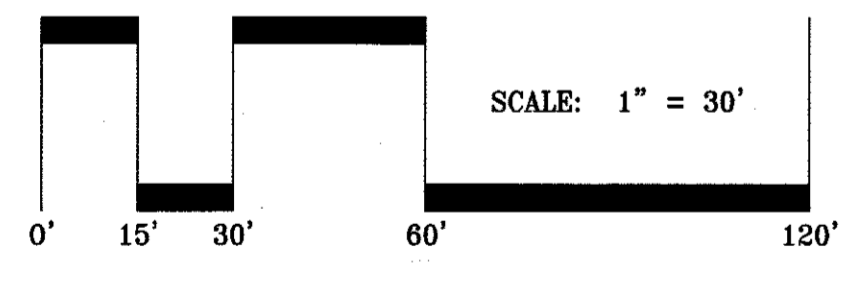
ASBUILTS REVISED COVER SHEET. DOWNTOWN COLUMBIA WARFIELD NEIGHBORHOOD BLOCKS W-2 & W-5 PARCELS C-1 & C-2 GREEN MIXED USE BUILDING. SCALE: AS SHOWN. ZONING: NT. G. L. W. FILE No.: 12078. DATE: JAN. 2019. APRIL, 2017. TAX MAP - GRID: 36-01. SHEET: 1 OF 47.

ASBUILTS SDP 14-024. REVISED COVER SHEET. DOWNTOWN COLUMBIA WARFIELD NEIGHBORHOOD BLOCKS W-2 & W-5 PARCELS C-1 & C-2 GREEN MIXED USE BUILDING. SCALE: AS SHOWN. ZONING: NT. G. L. W. FILE No.: 12078. DATE: JAN. 2019. APRIL, 2017. TAX MAP - GRID: 36-01. SHEET: 1 OF 47.



AREA OVERVIEW
SCALE: 1" = 250'

- NOTES**
- FOR DETAILED GRADING SEE SHEET 4 OF 41.
 - FOR MICRO BIO-RETENTION DRAINS SEE SHEET 11 OF 41.
 - A FIRE DEPARTMENT ACCESS BOX (KNOX BOX) SHALL BE PLACED AT THE MAIN ENTRANCES OF THE BUILDING. IT SHALL BE PLACED TO THE RIGHT OF THE MAIN ENTRANCE AT A RANGE OF 4 TO 5 FOOT IN HEIGHT AND NO MORE THAN 6 FEET LATERALLY FROM THE DOOR. THE BOX SHALL BE ELECTRONICALLY SUPERVISED AND INTEGRATED INTO THE FIRE ALARM SYSTEM (TO NOTIFY A RESPONSIBLE PARTY THAT THE BOX IS BEING ACCESSED).
 - MAINTAIN A MINIMUM CANOPY HEIGHT OF 13 FEET, 6 INCHES FOR EMERGENCY EQUIPMENT ACCESS. NFPA-118.2.2.5.11 AMENDED IN TITLE 11.
 - PROVIDE SIGNAGE ON THE BUILDING IDENTIFYING BUILDING ACCESS.
 - MICRO BIO-RETENTION FACILITIES M6-1 THRU M6-6 ON THE SOUTH SIDE OF THE BUILDING ARE DESIGNED TO TEMPORARILY HOLD AND FILTER RAINWATER ABOVE THE ADJACENT FINISHED FLOOR. THE BUILDING SHOULD NOT HAVE ANY OPENINGS BELOW THE ADJACENT TOP OF PLANTER WALL ELEVATION AND BE WATER PROOFED ACCORDINGLY.



LEGEND
(FOR ALL PLAN SHEETS)

- 366 --- EX. CONTOUR
- 300 --- PROP. CONTOUR
- (circle with line) --- PROP. STORM DRAIN
- (square with line) --- EX. STORM DRAIN
- LOD --- LIMIT OF SUBMISSION/DISTURBANCE
- (circle with 'S') --- EX. S.S. (public)
- (circle with 'S') --- EX. S.S. (private)
- (circle with 'M') --- EX. M. (private)
- (circle with 'M') --- EX. M. (public)
- (circle with 'S') --- EX. SANITARY SEWER
- (circle with 'M') --- PROP. SANITARY SEWER
- (circle with 'M') --- PROP. WATER LINE
- (circle with 'M') --- EX. WATERLINE
- (circle with 'C') --- EX. CURB & GUTTER
- (circle with 'C') --- CONCRETE CURB & GUTTER
- (circle with 'C') --- PROPOSED REVERSE CURB & GUTTER
- (circle with 'C') --- CONCRETE SIDEWALK (SEE STREETScape ENLARGEMENT PLANS FOR FURTHER DETAILS)
- (circle with 'E') --- EXISTING EASEMENTS
- (circle with 'P') --- SPOT SHOT
- (circle with 'P') --- NUMBER OF PARKING SPACES
- (circle with 'P') --- NUMBER OF EXIST. PARKING SPACES
- (circle with 'L') --- PROP. LIGHT FIXTURE & POLE
- (circle with 'L') --- EX. LIGHT FIXTURE & POLE
- (circle with 'M6-1') --- MICRO BIO-RETENTION FACILITY LOCATION IDENTIFICATION

APPROVED
PLANNING BOARD OF HOWARD COUNTY

Date: November 20, 2014

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

Director: Val M. Jaffe 12-17-15
Date: 12-17-15

Chief, Division of Land Development: W. J. Shalson
Date: 9-14-15

Chief, Development Engineering Division: W. J. Shalson
Date: 9-14-15

GLW GUTSCHICK LITTLE & WEBER, P.A.
CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
3909 NATIONAL DRIVE - SUITE 250 - BURTONTVILLE OFFICE PARK
BURTONTVILLE, MARYLAND 20866
TEL: 301-421-4024 BAL: 410-880-1820 DC/VA: 301-989-2524 FAX: 301-421-4186

NO.	DATE	REVISION	BY	APPR.
2-2-10		Added courtyard improvements for pool permit	gt	mlt
5-12-10		Add new site from Columbia Mall Circle	gt	mlt

OWNER/PREPARED FOR:
PARCEL C PROPERTY, LLC
1751 PINNACLE DRIVE
SUITE 700
MCLEAN, VIRGINIA 22102
ATTN: KEVIN PETERKIN
703-205-5542

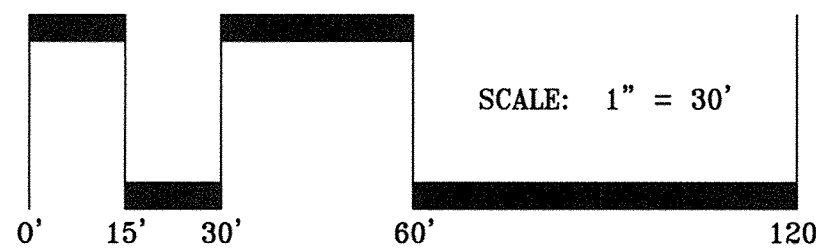
PROFESSIONAL CERTIFICATION
I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 16831
EXPIRATION DATE: MAY 21, 2016

C-1 SITE DEVELOPMENT PLAN
DOWNTOWN COLUMBIA
WARFIELD NEIGHBORHOOD BLOCKS W-2 & W-5
PARCELS C-1 & C-2
GREEN MIXED USE BUILDING
PLAT No. 22455-22460
ELECTION DISTRICT No. 5
HOWARD COUNTY, MARYLAND

SCALE	ZONING	G. L. W. FILE NO.
1"=30'	NT	12078
DATE	TAX MAP - GRID	SHEET
AUG, 2015	36 - 01	2 OF 47

NOTES

1. FOR DETAILED GRADING SEE SHEET 5 OF 44.
2. FOR MICRO BIO-RETENTION DRAINS SEE SHEET 12 OF 44.
3. A FIRE DEPARTMENT ACCESS BOX (KNOX BOX) SHALL BE PLACED AT THE MAIN ENTRANCES OF THE BUILDING. IT SHALL BE PLACED TO THE RIGHT OF THE MAIN ENTRANCE AT A RANGE OF 4 TO 5 FEET IN HEIGHT AND NO MORE THAN 6 FEET LATERALLY FROM THE DOOR. THE BOX SHALL BE ELECTRONICALLY SUPERVISED AND INTEGRATED INTO THE FIRE ALARM SYSTEM (TO NOTIFY A RESPONSIBLE PARTY THAT THE BOX IS BEING ACCESSED).
4. MAINTAIN A MINIMUM CANOPY HEIGHT OF 13 FEET, 6 INCHES FOR EMERGENCY EQUIPMENT ACCESS. NFPA-1 10.2.2.5.1.1 AMENDED IN TITLE 17.
5. PROVIDE SIGNAGE ON THE BUILDING IDENTIFYING BUILDING ACCESS.
6. MICRO BIO-RETENTION FACILITIES M6-9 THRU M6-14 AND M6-16 THRU M6-18 AROUND THE BUILDING ARE DESIGNED TO TEMPORARILY HOLD AND FILTER RAINWATER ABOVE THE ADJACENT FINISHED FLOOR. THE BUILDING SHOULD NOT HAVE ANY OPENINGS BELOW THE ADJACENT TOP OF PLANTER WALL ELEVATION AND BE WATER PROOFED ACCORDINGLY.



**APPROVED
PLANNING BOARD OF HOWARD COUNTY**

Date: November 20, 2014

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

William J. Griffin 5-22-17
Director Date

Kevin P. Salvo 5-22-17
Chief, Division of Land Development Date

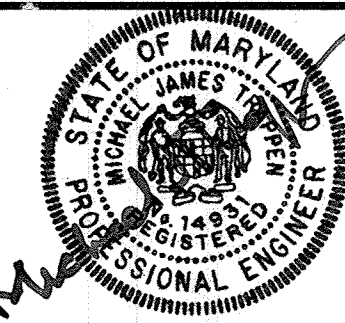
Chad Clark 5-9-17
Chief, Development Engineering Division Date

GLW GUTSCHICK LITTLE & WEBER, P.A.
CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK
BURTONSVILLE, MARYLAND 20866
TEL: 301-421-4024 BAL: 410-880-1820 DC/VA: 301-989-2524 FAX: 301-421-4186

DATE	REVISION	BY	APP'R.
1/9/19	Add Health Club to the uses, Add Corridor & Shower/Changing Room		MJT
11/9/2017	Rev. Retail/Rest. elevations to meet elev.		MJT
4/3/17	REVISED BUILDING PROGRAM		
8/2/16	ADDED COURTYARD IMPROVEMENTS FOR POOL PERMIT		
5/10/16	ADD NEW SHC FROM COLUMBIA ALL CIRCLE		

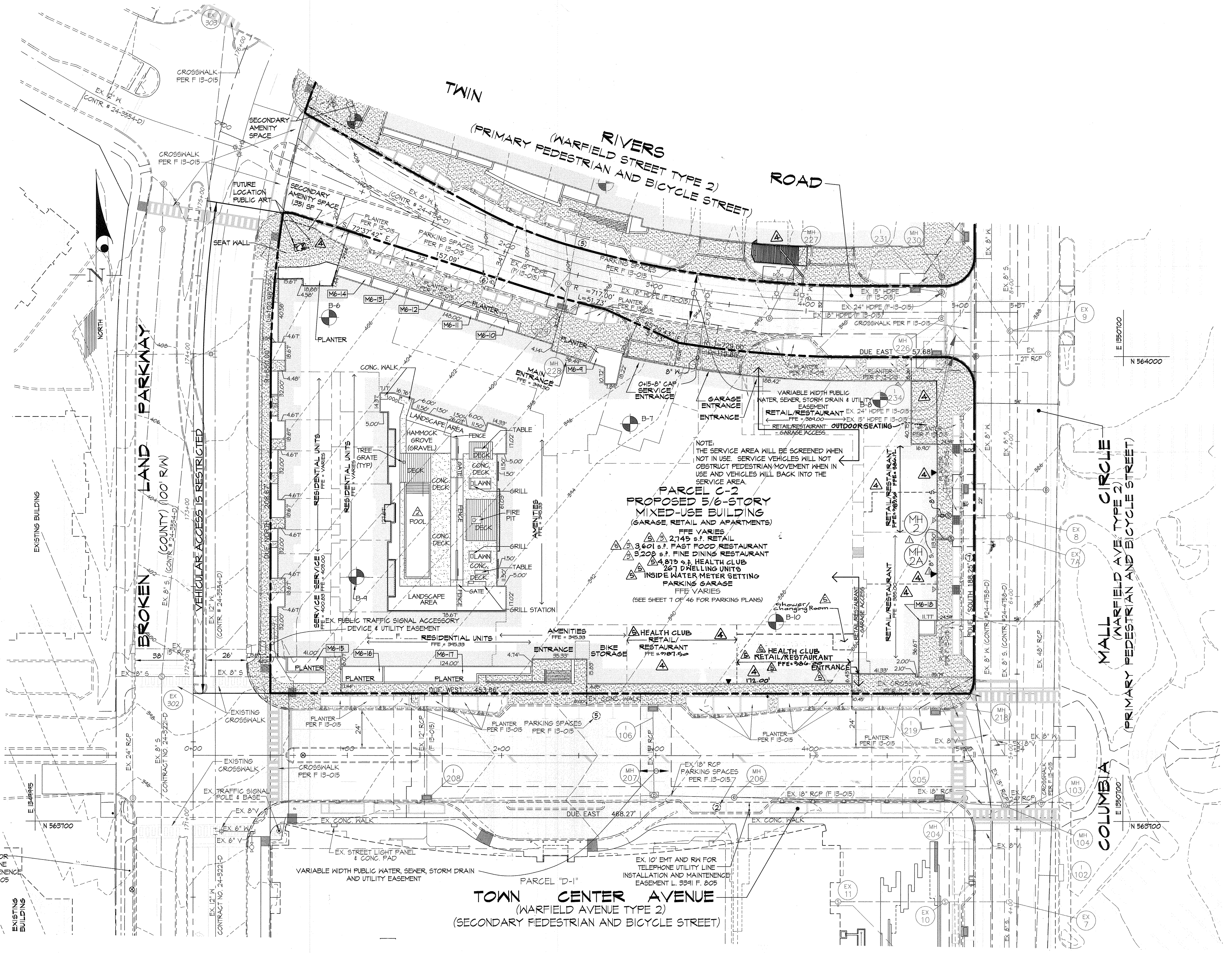
OWNER/PREPARED FOR:
PARCEL C PROPERTY, LLC
8255 GREENSBORO DRIVE
SUITE 200
MCLEAN, VIRGINIA 22102
ATTN: KEVIN PETERKIN
703-205-5542

PROFESSIONAL CERTIFICATION
I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 14541
EXPIRATION DATE: MAY 21, 2018

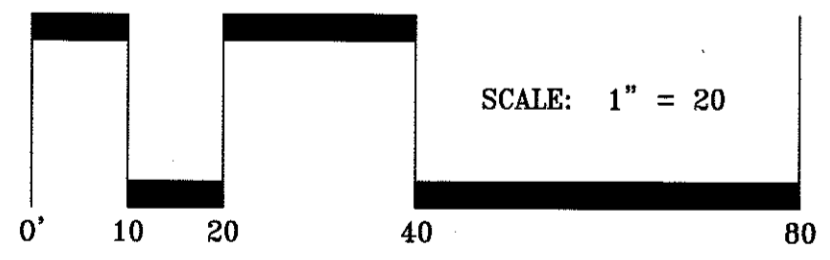
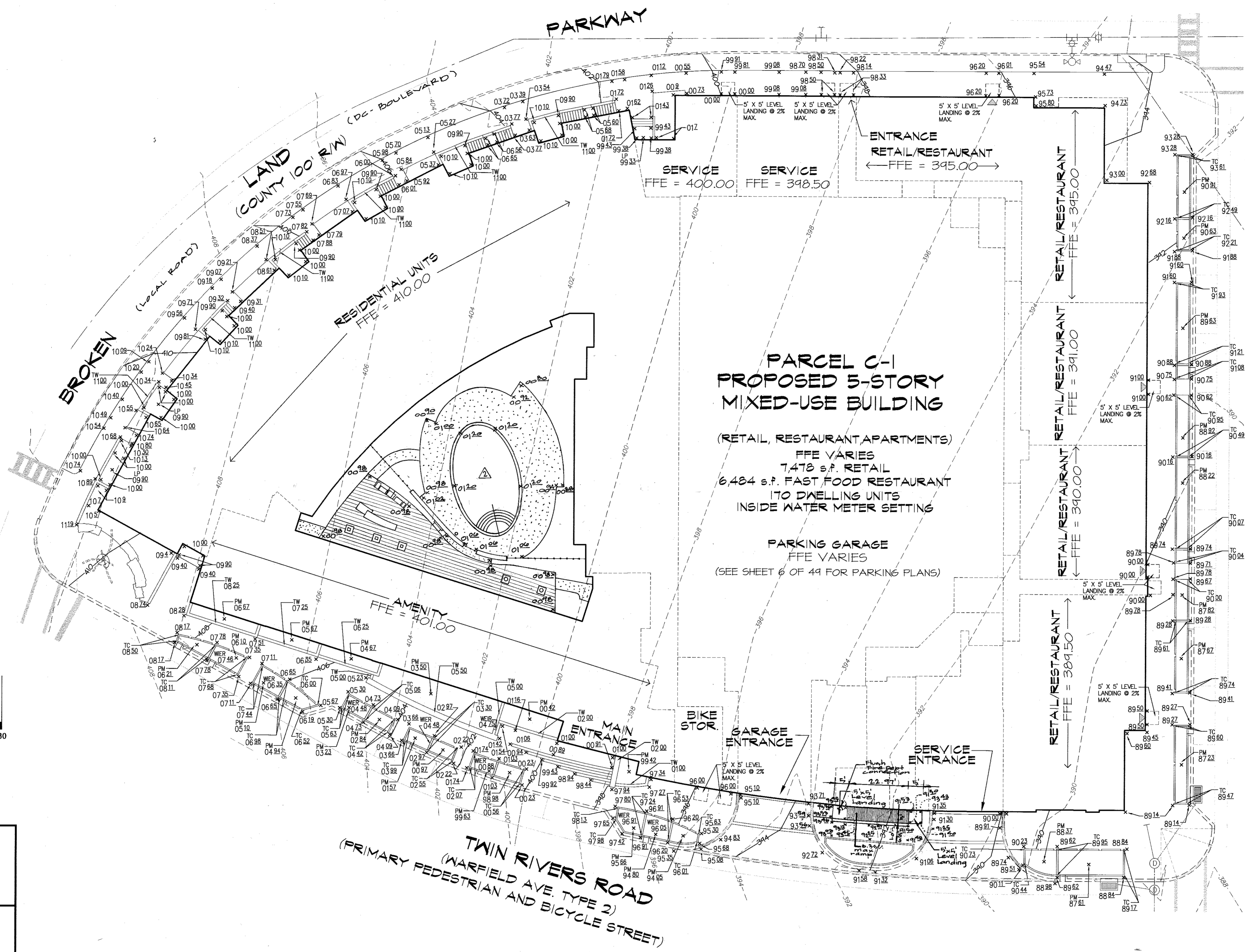
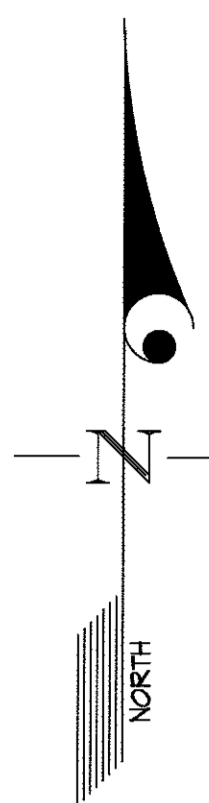


REVISED C-2 SITE DEVELOPMENT PLAN
DOWNTOWN COLUMBIA
WARFIELD NEIGHBORHOOD BLOCKS W-2 & W-5
PARCELS C-1 & C-2
GREEN MIXED USE BUILDING
PLAT No. 22455-22460

SCALE	ZONING	G. L. W. FILE No.
1"=30'	NT	12078
DATE	TAX MAP - GRID	SHEET
APRIL, 2017	36 - 01	3 OF 47



L:\CD\09\HOWARD\10351\0978_Columbia_Town_Center_Parcel_C-2_Site_Development_Plan_Sheets\SDP-030916_SDR.dwg, Plot Date: 4/17/2017 10:13 AM, LAST SAVER: 4/14/2017 4:49 PM, PLOTTED BY: Mike Trosper



APPROVED
PLANNING BOARD OF HOWARD COUNTY
Date: November 20, 2014

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
Valerie Joffe 12-17-15
Director Date
Kit Schlobohm 12-17-15
Chief, Division of Land Development Date
Chad Egan 9-14-15
Chief, Development Engineering Division Date

GLW GUTSCHICK LITTLE & WEBER, P.A.
CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK
BURTONSVILLE, MARYLAND 20866
TEL: 301-421-4024 BALT: 410-880-1820 DC/VA: 301-989-2524 FAX: 301-421-4186

DATE	REVISION	BY	APPR.
B.3.1c	Added curvilinear improvements for post permit	gt	mjt

OWNER/PREPARED FOR:
PARCEL C PROPERTY, LLC
1751 PINNACLE DRIVE
SUITE 700
MCLEAN, VIRGINIA 22102
ATTN: KEVIN PETERIK
703-205-5542

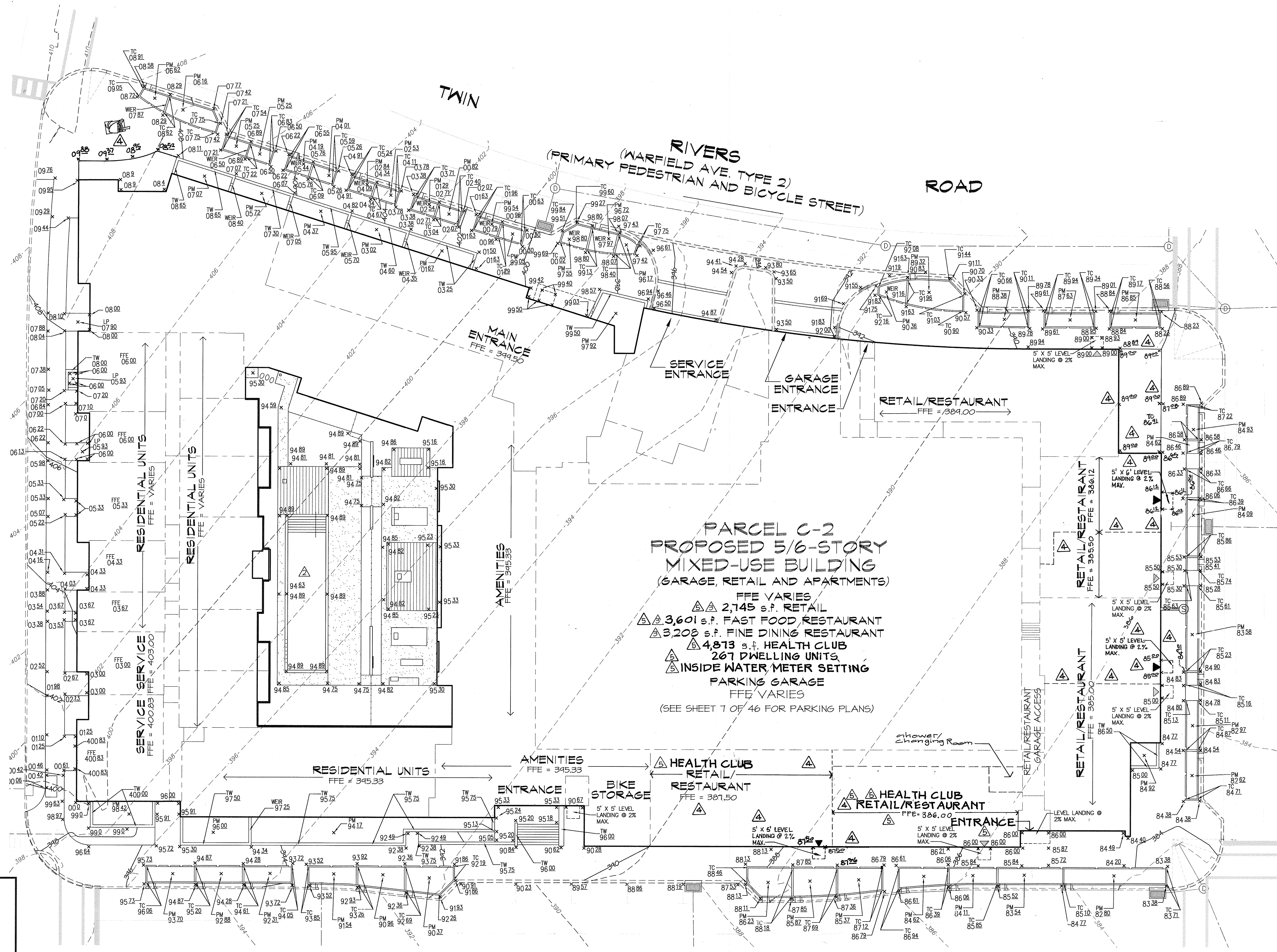
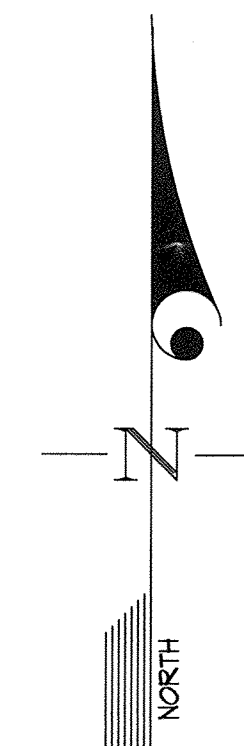
PROFESSIONAL CERTIFICATION
I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 14939
EXPIRATION DATE: MAY 21, 2016

C-1 GRADING PLAN
DOWNTOWN COLUMBIA
WARFIELD NEIGHBORHOOD BLOCKS W-2 & W-5
PARCELS C-1 & C-2
GREEN MIXED USE BUILDING
PLAT No. 22455-22460
ELECTION DISTRICT No. 5
HOWARD COUNTY, MARYLAND

SCALE	ZONING	G. L. W. FILE No.
1"=20'	NT	12078
DATE	TAX MAP - GRID	SHEET
AUG., 2015	36 - 01	4 OF 47

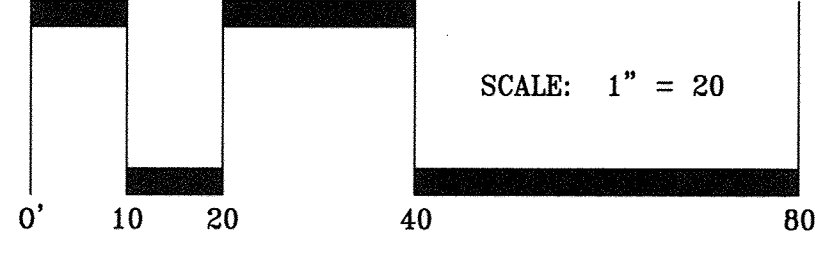
1. 2009 PROFESSIONAL SEAL FOR STATE OF MARYLAND, LICENSE NO. 14939, EXPIRES 5/21/16
 2. 2014 PROFESSIONAL SEAL FOR STATE OF MARYLAND, LICENSE NO. 14939, EXPIRES 5/21/16
 3. 2015 PROFESSIONAL SEAL FOR STATE OF MARYLAND, LICENSE NO. 14939, EXPIRES 5/21/16
 4. 2016 PROFESSIONAL SEAL FOR STATE OF MARYLAND, LICENSE NO. 14939, EXPIRES 5/21/16

BROKEN LAND PARKWAY
(COUNTY) (100' R/W)



**PARCEL C-2
PROPOSED 5/6-STORY
MIXED-USE BUILDING
(GARAGE, RETAIL AND APARTMENTS)**

- ▲ FFE VARIES
- ▲ 2,145 s.f. RETAIL
- ▲ 3,601 s.f. FAST FOOD RESTAURANT
- ▲ 3,208 s.f. FINE DINING RESTAURANT
- ▲ 4,813 s.f. HEALTH CLUB
- ▲ 267 DWELLING UNITS
- ▲ INSIDE WATER METER SETTING
- ▲ PARKING GARAGE
FFE VARIES
(SEE SHEET 7 OF 46 FOR PARKING PLANS)



COLUMBIA MALL
(WARFIELD AVE TYPE 2)
(PRIMARY PEDESTRIAN AND BICYCLE STREET)

APPROVED
PLANNING BOARD OF HOWARD COUNTY
Date: November 20, 2014

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
Director: Natalie Zair 5-22-17
Chief, Division of Land Development: Kevin Peterkin 5-22-17
Chief, Development Engineering Division: Chris... 5-9-17

GLWGUTSCHICK LITTLE & WEBER, P.A.
CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
3908 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK
BURTONSVILLE, MARYLAND 20866
TEL: 301-421-4024 BAL: 410-880-1820 DC/VA: 301-989-2524 FAX: 301-421-4186

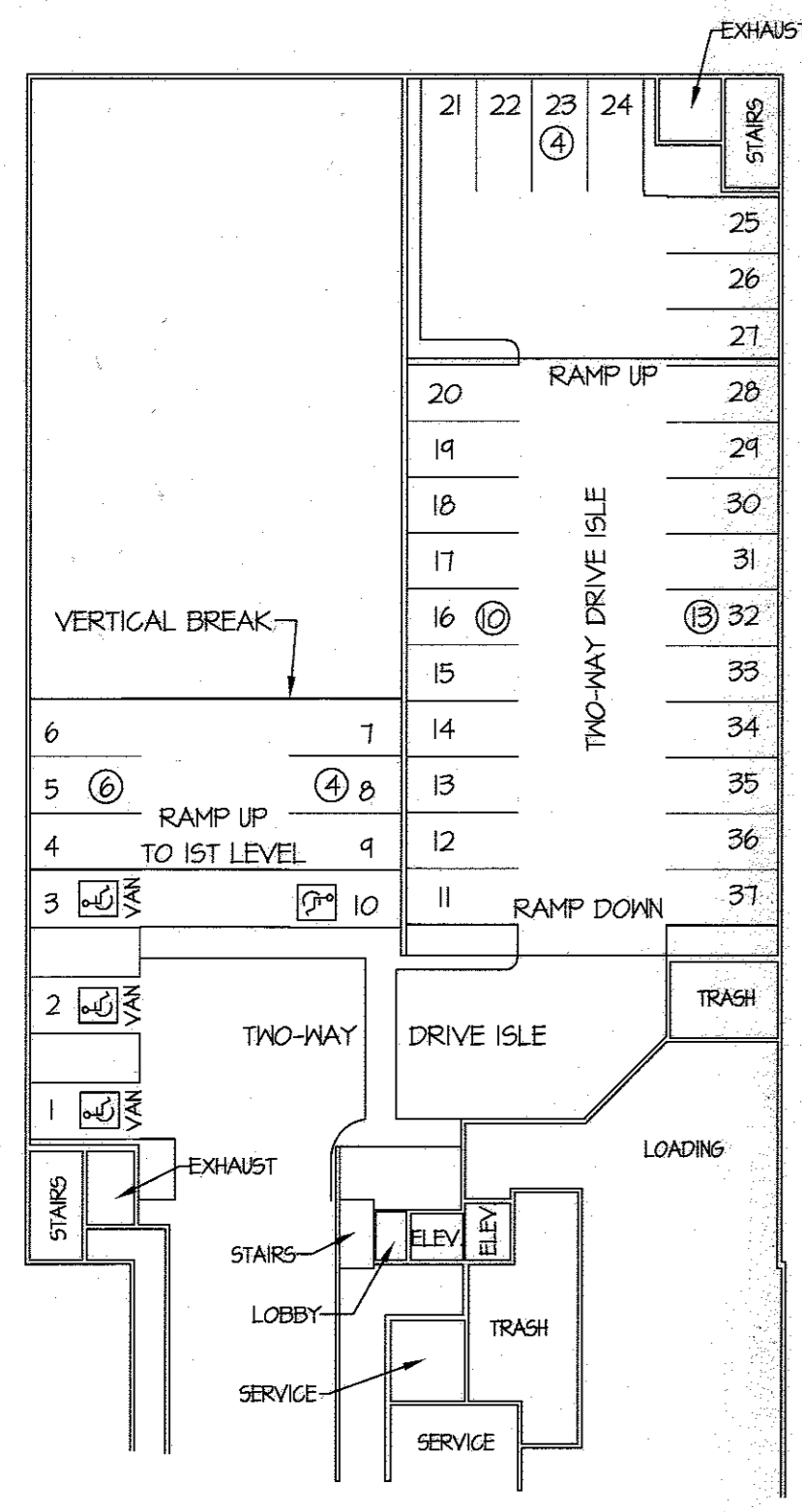
DATE	REVISION	BY	APPR.
1/7/2014	Add Health club to the plan, add corridor, shower/changing room	g.l.	mjd
11.9.2017	Rev. Retail/Rest. door location, spot elev. update road elevn.	g.l.	mjd
4/3/17	REVISED BUILDING PROGRAM		
8/8/16	ADDED COURTYARD IMPROVEMENTS FOR POOL PERMIT		

OWNER/PREPARED FOR:
PARCEL C PROPERTY, LLC
8255 GREENSBORO DRIVE
SUITE 200
MCLEAN, VIRGINIA 22102
ATTN: KEVIN PETERKIN
703-205-5542

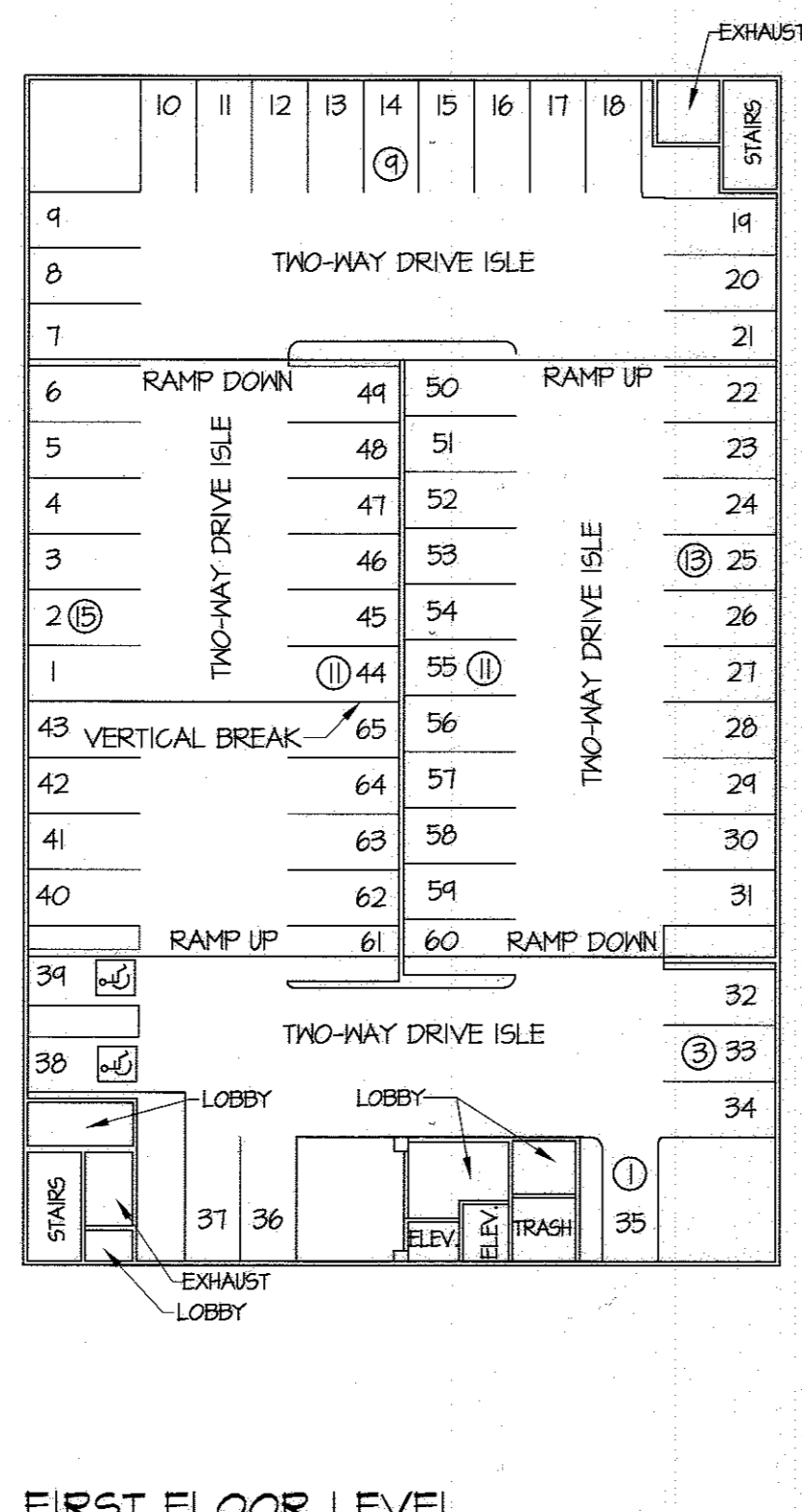
PROFESSIONAL CERTIFICATION
I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 3691
EXPIRATION DATE: MAY 21, 2018

REVISED C-2 GRADING PLAN
**DOWNTOWN COLUMBIA
WARFIELD NEIGHBORHOOD BLOCKS W-2 & W-5
PARCELS C-1 & C-2
GREEN MIXED USE BUILDING**
PLAT No. 22455-22460
HOWARD COUNTY, MARYLAND

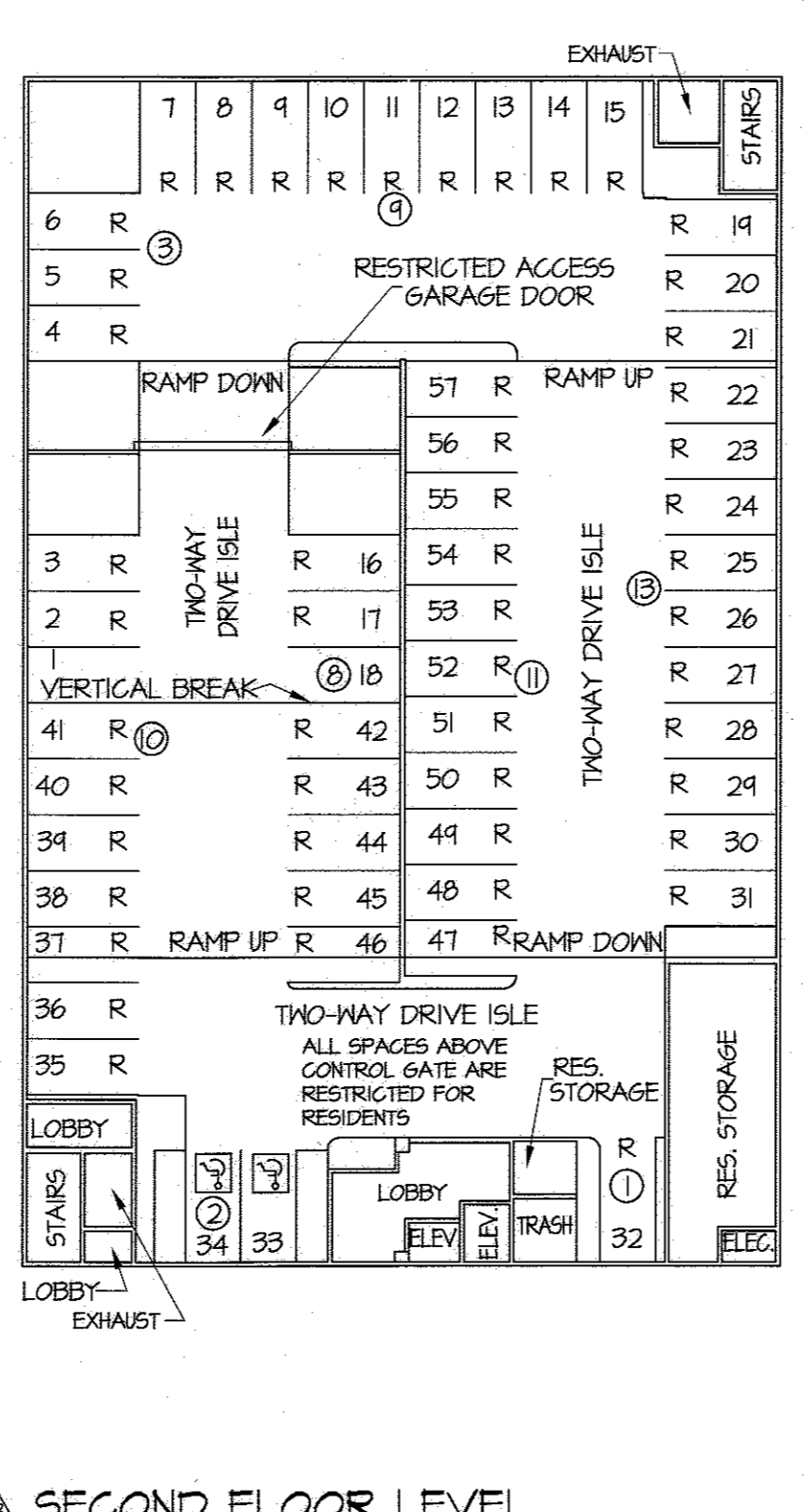
SCALE	ZONING	G. L. W. FILE NO.
1"=20'	NT	12078
DATE	TAX MAP - GRID	SHEET
APRIL, 2017	36 - 01	5 OF 47



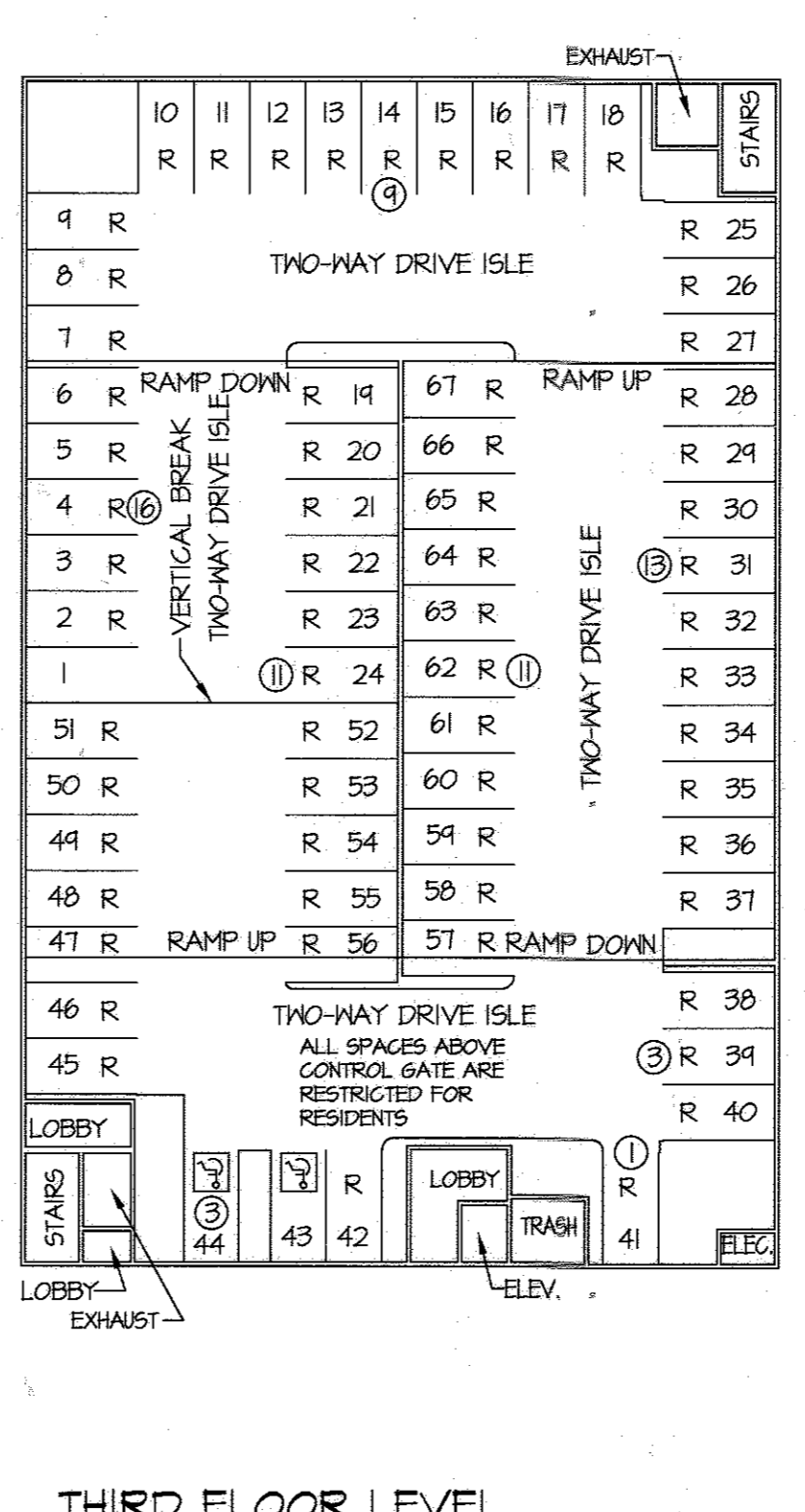
LOWER LEVEL
SCALE: 1" = 30'
STANDARD PARKING SPACES: 33
HANDICAP PARKING SPACES: 1
HANDICAP VAN PARKING SPACES: 3
PARALLEL SITE SPACES ADJACENT TO ROADWAYS: 16
TOTAL: 53



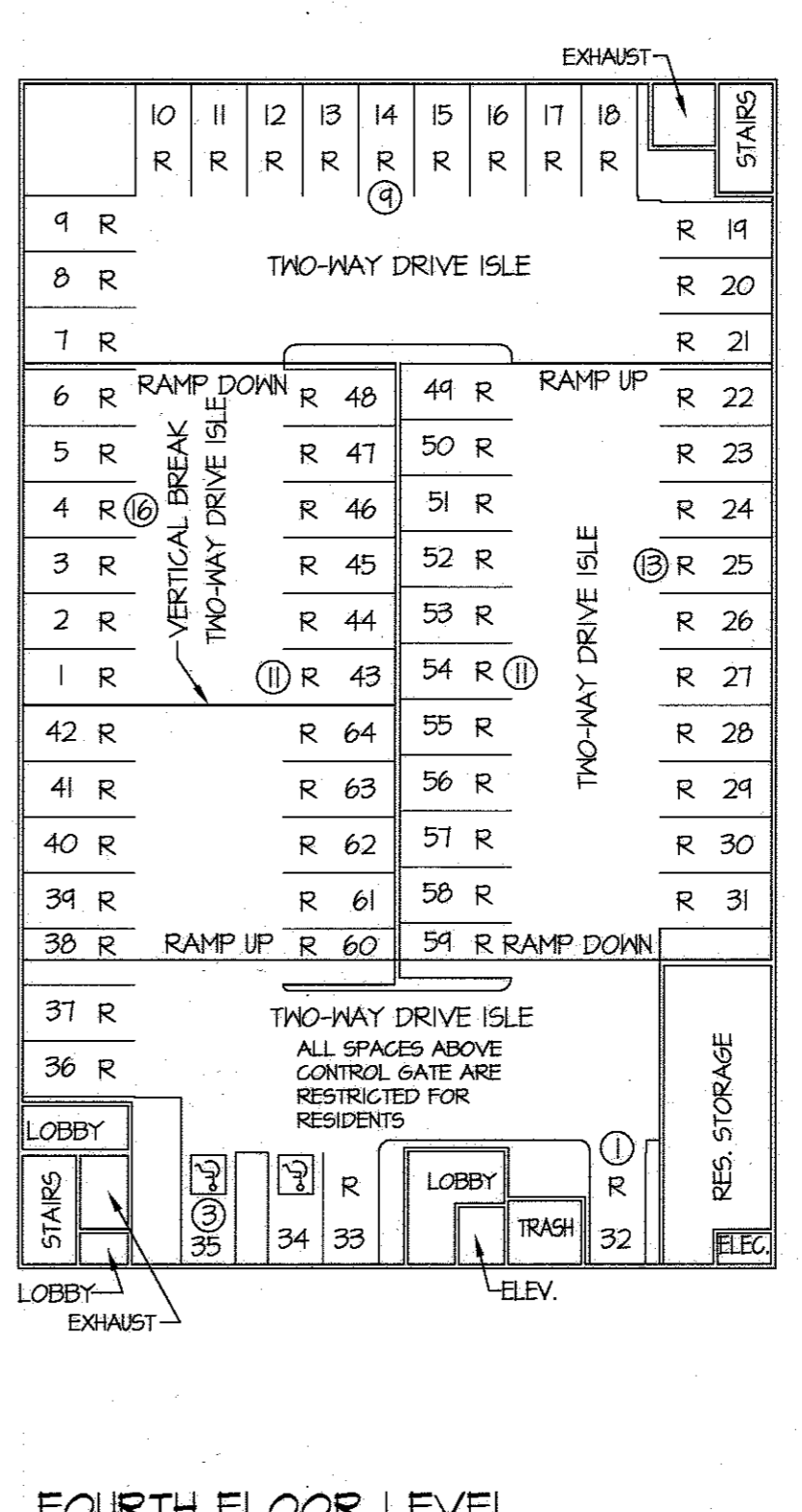
FIRST FLOOR LEVEL
SCALE: 1" = 30'
STANDARD PARKING SPACES: 63
HANDICAP PARKING SPACES: 2
TOTAL: 65



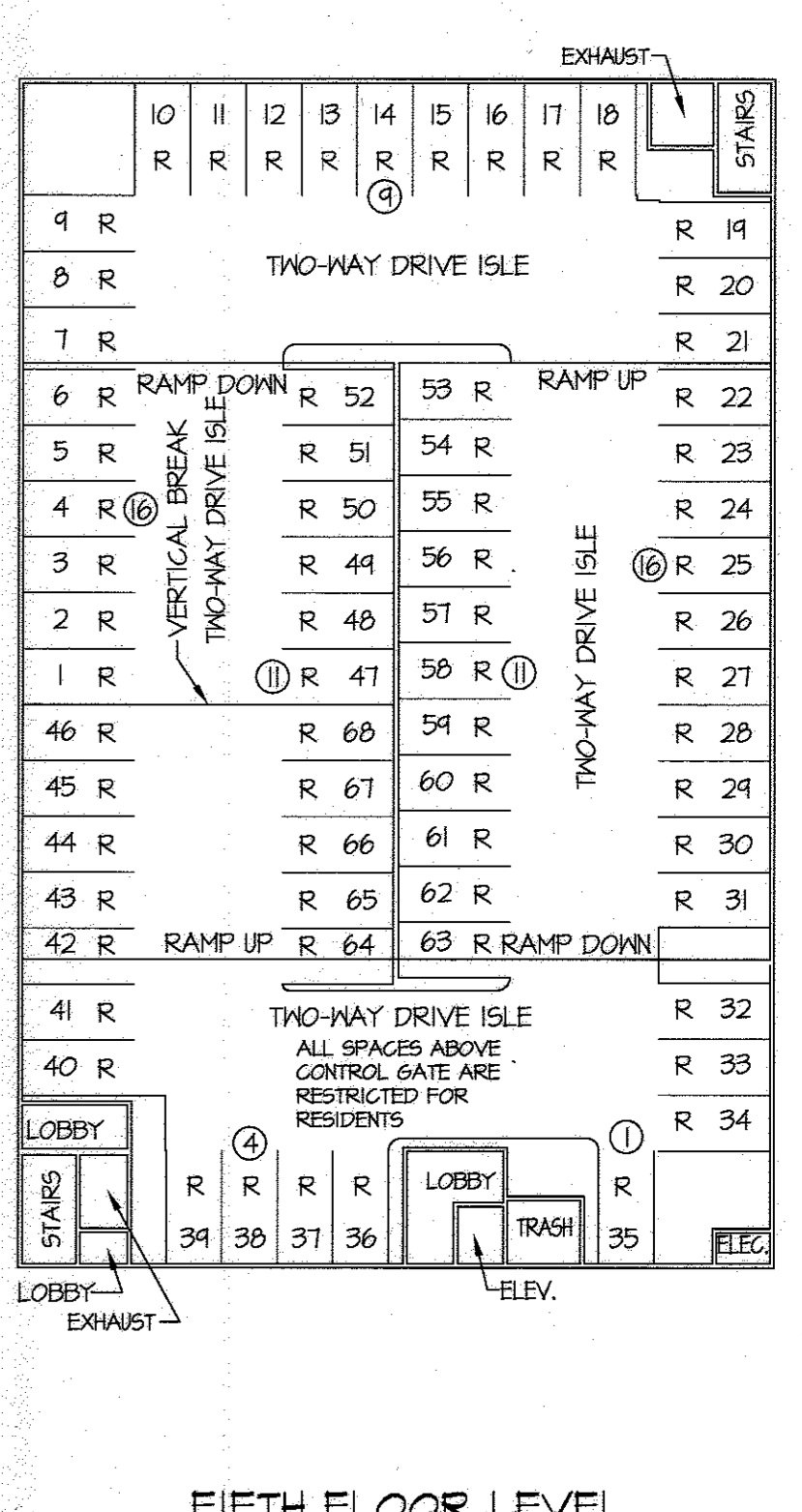
SECOND FLOOR LEVEL
SCALE: 1" = 30'
RESERVED STANDARD PARKING SPACES: 53
STANDARD PARKING SPACES: 2
HANDICAP PARKING SPACES: 2
TOTAL: 57



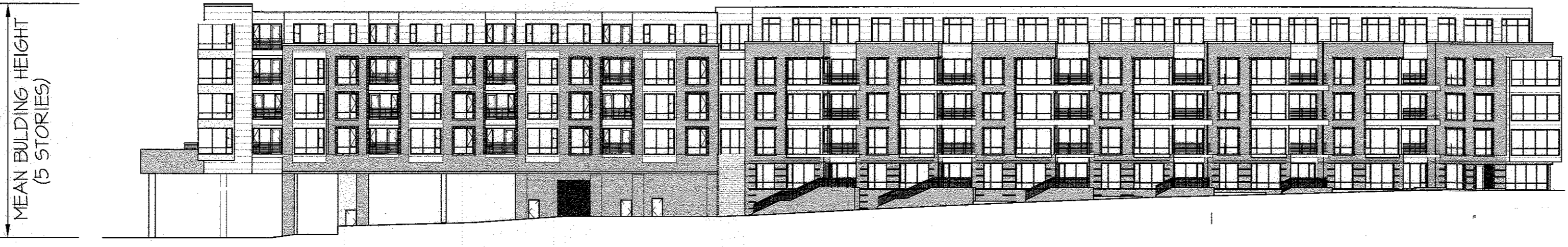
THIRD FLOOR LEVEL
SCALE: 1" = 30'
RESERVED STANDARD PARKING SPACES (R): 65
HANDICAP PARKING SPACES: 2
TOTAL: 67



FOURTH FLOOR LEVEL
SCALE: 1" = 30'
RESERVED STANDARD PARKING SPACES (R): 62
HANDICAP PARKING SPACES: 2
TOTAL: 64



FIFTH FLOOR LEVEL
SCALE: 1" = 30'
RESERVED STANDARD PARKING SPACES (R): 60
TOTAL: 60

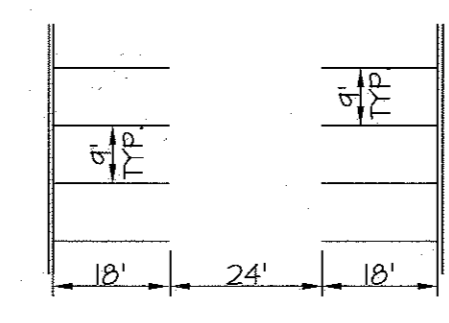


SCHEMATIC NORTH BUILDING ELEVATION (from Broken Land Parkway)
NOT TO SCALE

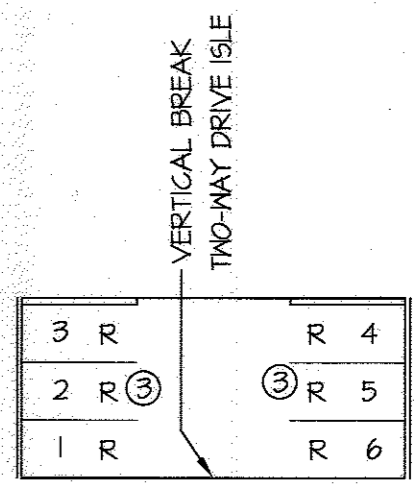
This curved ARCHITECTURAL facade at the NW of C-1 along Broken Land Parkway has been designed with sensitivity to the residential scale of the neighboring townhomes, while creating a varied and activated streetscape, and introducing an alternative yet welcoming appearance. This is accomplished through establishing a consistent rhythm of vertical bays, faceted along the curved facade, which individually denote residential units and relate in scale and style to the existing townhomes across Broken Land Parkway. The streetscape is activated through providing walk-up access to the Level 1 units along this facade, through a series of brick-faced steps creating a further sense of community and enhancing the building's connection to the neighborhood.

Additionally, the landscape varies along this portion of Broken Land Parkway, introducing a variation in hardscape in softscape, providing planters adjacent to the residential entries and maintaining a series of existing trees. In regards to materiality, the predominant red brick is meant to respond to the existing context, while set-back surfaces of darker masonry and fiber cement panel provide a lighter-weight and secondary material to oppose the grounding nature of the brick.

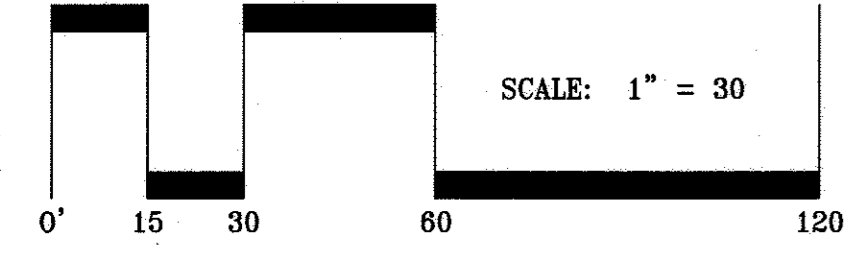
The design team feels that this portion of the project will greatly enhance the connection to the existing community, activate the referenced portion of Broken Land Parkway, and respect the context through materiality and scale.



TYPICAL PARKING ARRANGEMENT
SCALE: 1" = 30'



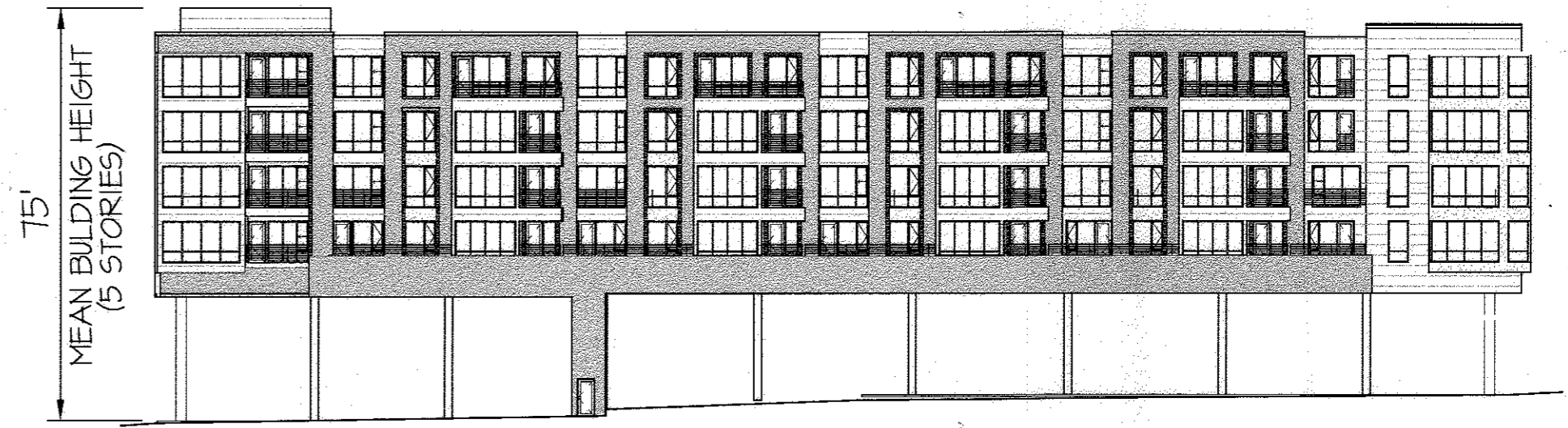
PART FIFTH FLOOR LEVEL
SCALE: 1" = 30'
RESERVED STANDARD PARKING SPACES (R): 6
TOTAL: 6



SCHEMATIC SOUTH BUILDING ELEVATION (from Twin Rivers Road)
NOT TO SCALE

NOTE: The schematic building elevations are to indicate building height and architectural intent only. Final architecture design will be reviewed with construction plans for compliance with the Neighborhood Specific Design Guidelines (Liber 14166 Folio I).

The garage entries will be permanent openings in the building facade, while the service entries will be approximately 24'-0" wide overhead rolling doors, accommodating (2) loading bays.



SCHEMATIC EAST BUILDING ELEVATION (from Columbia Mall Circle)
NOT TO SCALE

THE BUILDING HEIGHT CANNOT EXCEED 100' AS MEASURED AT ANY POINT ALONG THE PERIMETER OF THE BUILDING UNLESS AN AMENDMENT TO THE NEIGHBORHOOD DESIGN GUIDELINES IS APPROVED BY THE PLANNING BOARD.

APPROVED
PLANNING BOARD OF HOWARD COUNTY
Date: November 20, 2017

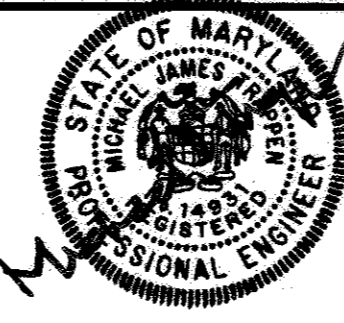
APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
William J. J. Jones 5-22-17
Director Date
Kevin Peterkin 5-22-17
Chief, Division of Land Development Date
Chad E. Clark 5-9-17
Chief, Development Engineering Division Date

GLW GUTSCHICK LITTLE & WEBER, P.A.
CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK
BURTONSVILLE, MARYLAND 20866
TEL: 301-421-4024 FAX: 301-421-4186

DES. WsJ	DRN. WsJ	CHK. mjt	DATE	REVISION	BY	APP'R.
			4/13/17	REVISED BUILDING PROGRAM		

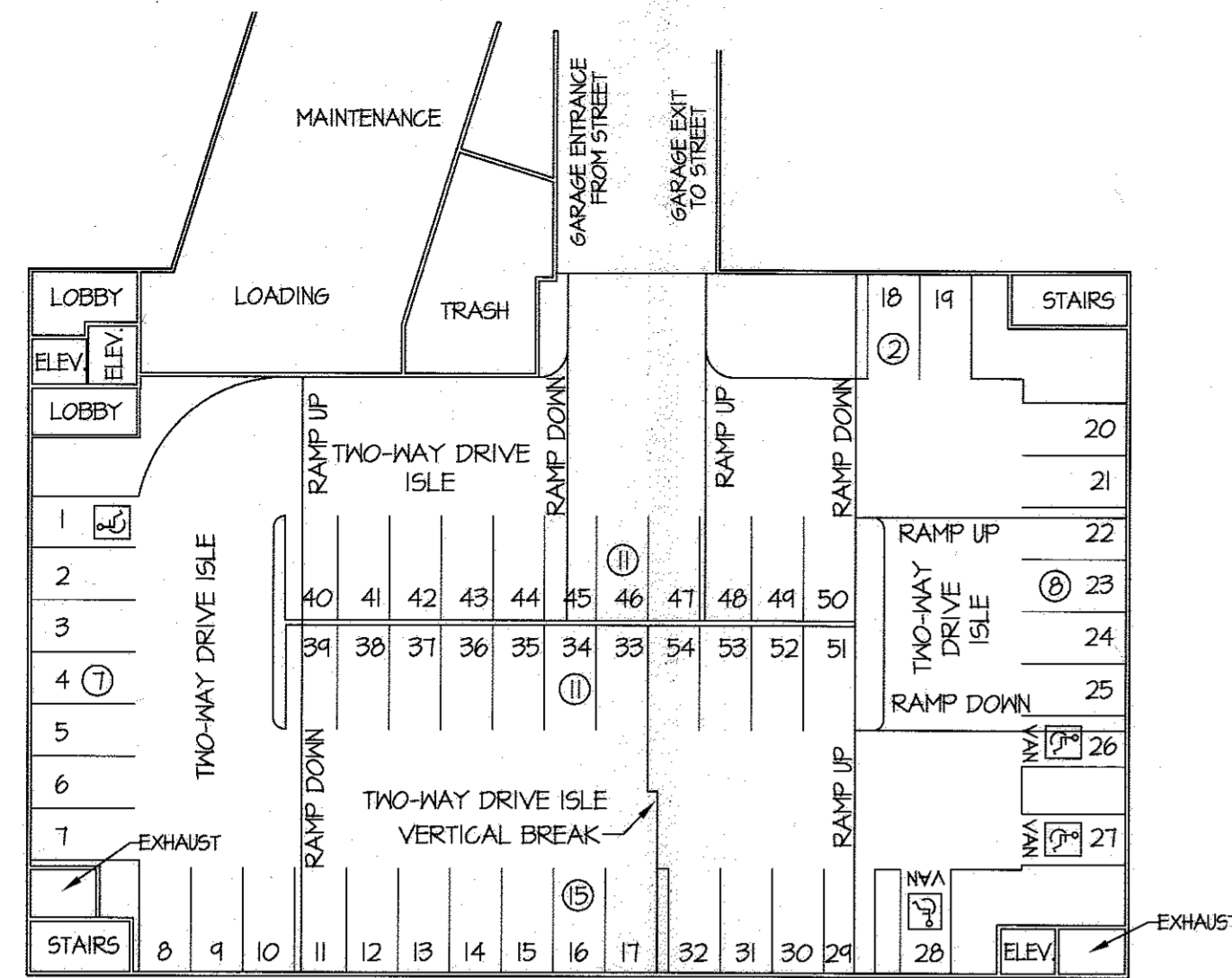
OWNER/PREPARED FOR:
PARCEL C PROPERTY, LLC
8255 GREENSBORO DRIVE
SUITE 200
MCLEAN, VIRGINIA 22102
ATTN: KEVIN PETERKIN
703-205-5542

PROFESSIONAL CERTIFICATION
I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 14931
EXPIRATION DATE: MAY, 21 2018



REVISED C-1 PARKING PLANS & BUILDING ELEVATIONS
DOWNTOWN COLUMBIA
WARFIELD NEIGHBORHOOD BLOCKS W-2 & W-5
PARCELS C-1 & C-2
GREEN MIXED USE BUILDING
PLAT No. 22455-22460

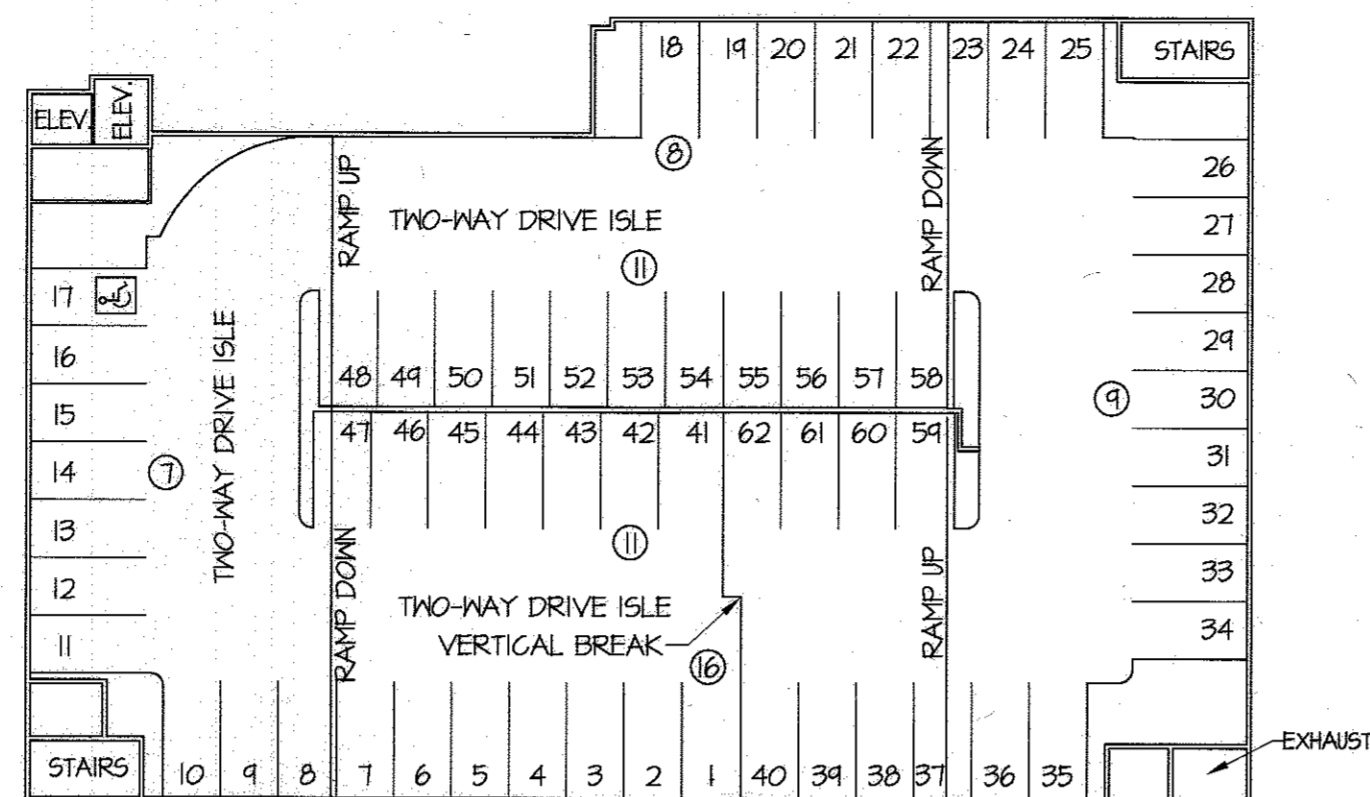
SCALE	ZONING	G. L. W. FILE No.
AS SHOWN	NT	12078
DATE	TAX MAP - GRID	SHEET
APRIL, 2017	36 - 01	6 OF 47



FIRST FLOOR LEVEL

SCALE: 1" = 30'

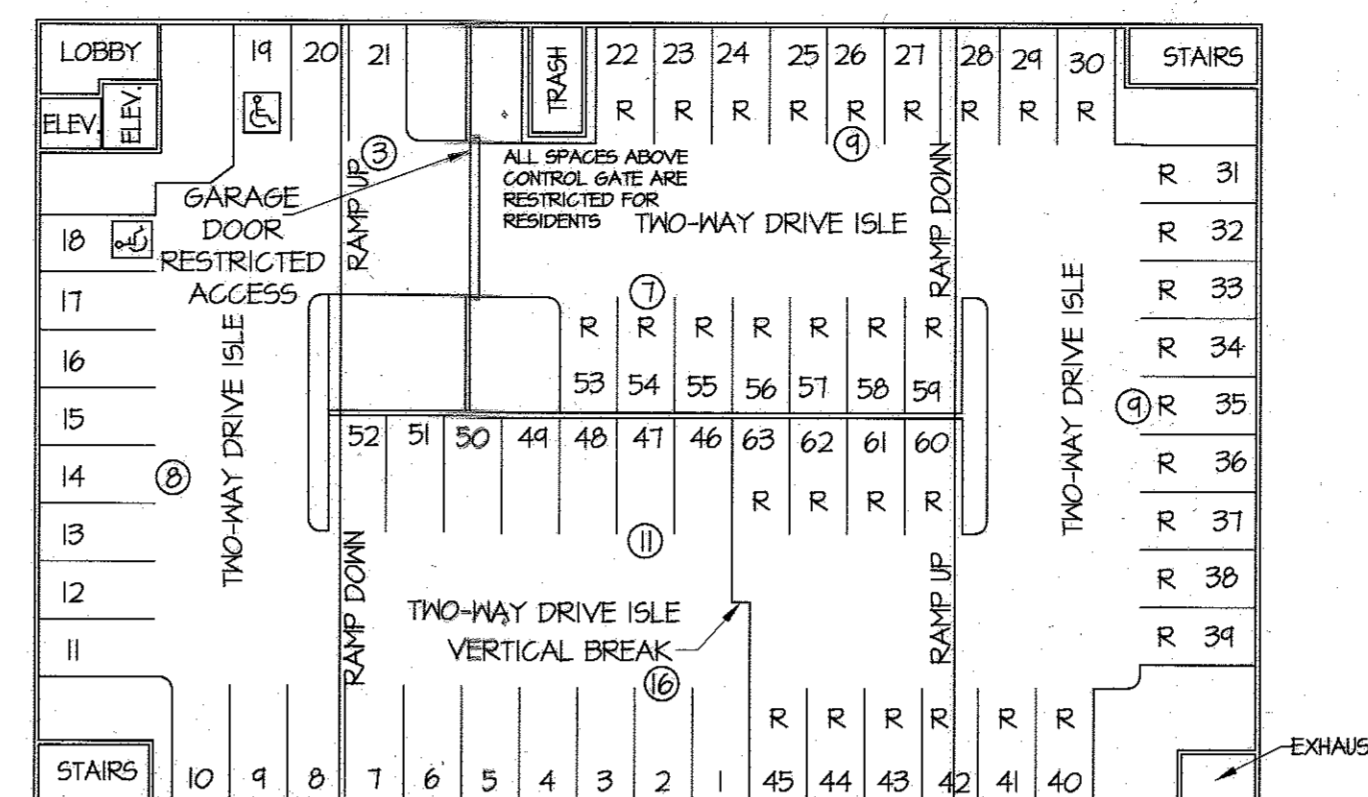
STANDARD PARKING SPACES: 50
 HANDICAP PARKING SPACES: 1
 HANDICAP VAN PARKING SPACES: 3
 TOTAL: 54



MEZZANINE LEVEL

SCALE: 1" = 30'

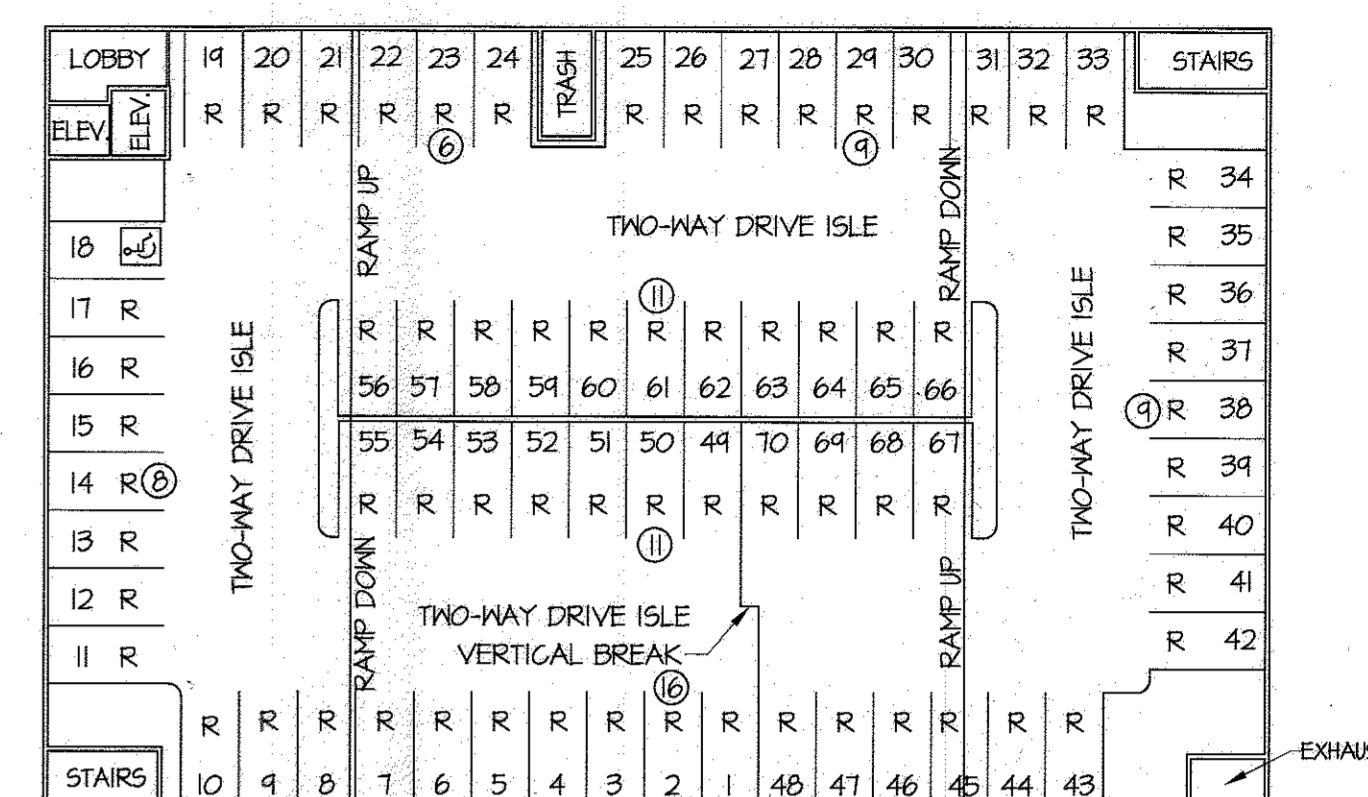
STANDARD PARKING SPACES: 61
 HANDICAP PARKING SPACES: 1
 TOTAL: 62



SECOND LEVEL

SCALE: 1" = 30'

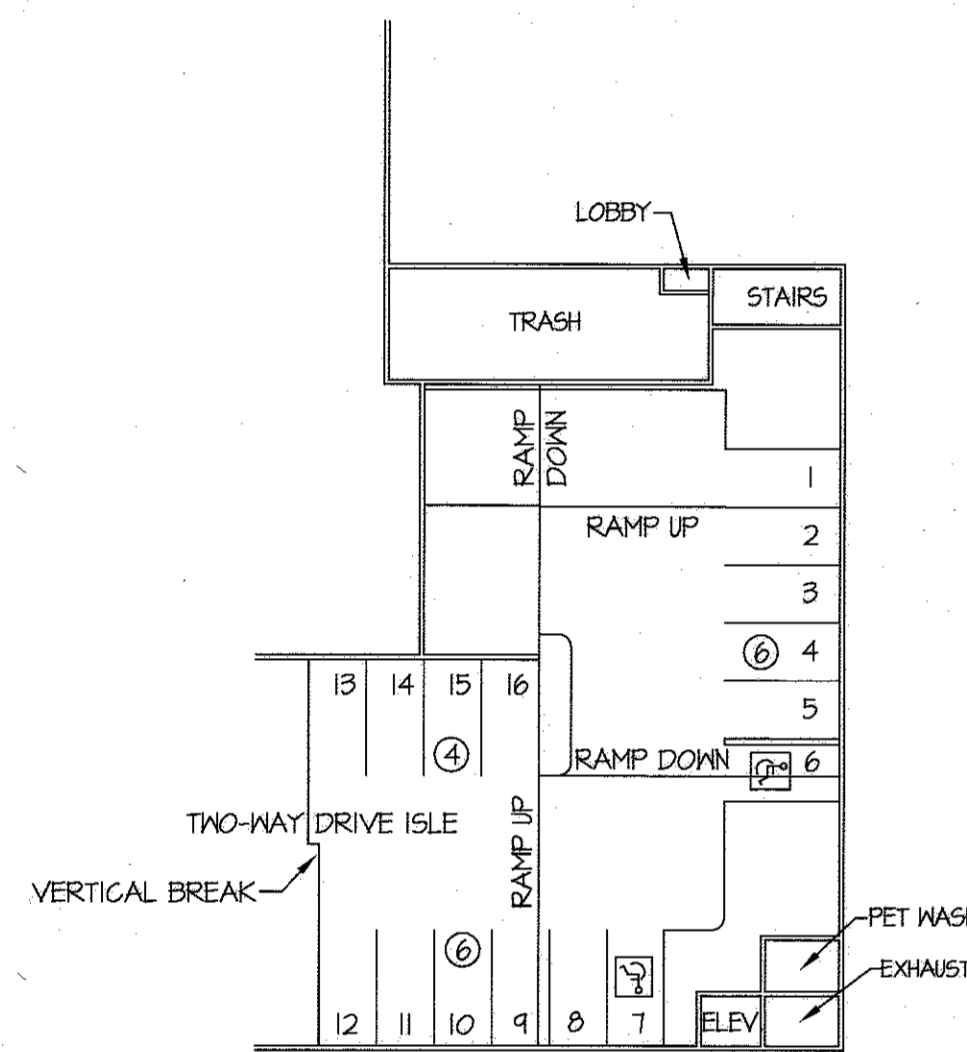
STANDARD PARKING SPACES: 28
 RESERVED STANDARD PARKING SPACES: 33
 HANDICAP PARKING SPACES: 2
 TOTAL: 63



FOURTH & FIFTH LEVEL

SCALE: 1" = 30'

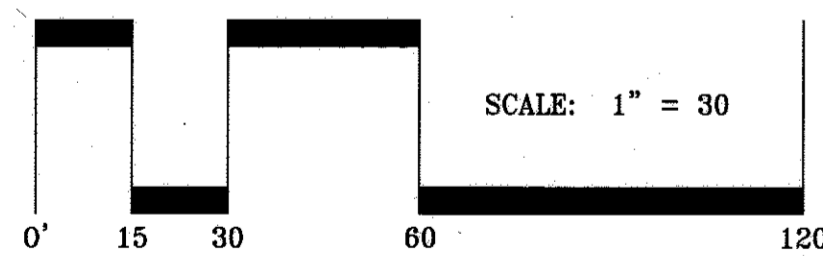
RESERVED STANDARD PARKING SPACES: 138*
 HANDICAP PARKING SPACES: 2
 TOTAL: 140
 * TWO LEVELS OF PARKING - 70 SPACES PER LEVEL



LOWER LEVEL

SCALE: 1" = 30'

STANDARD PARKING SPACES: 14
 HANDICAP PARKING SPACES: 2
 PARALLEL SITE SPACES ADJACENT TO ROADWAYS: 18
 TOTAL: 34



SCHEMATIC NORTH BUILDING ELEVATION (from Twin Rivers Road)
 NOT TO SCALE

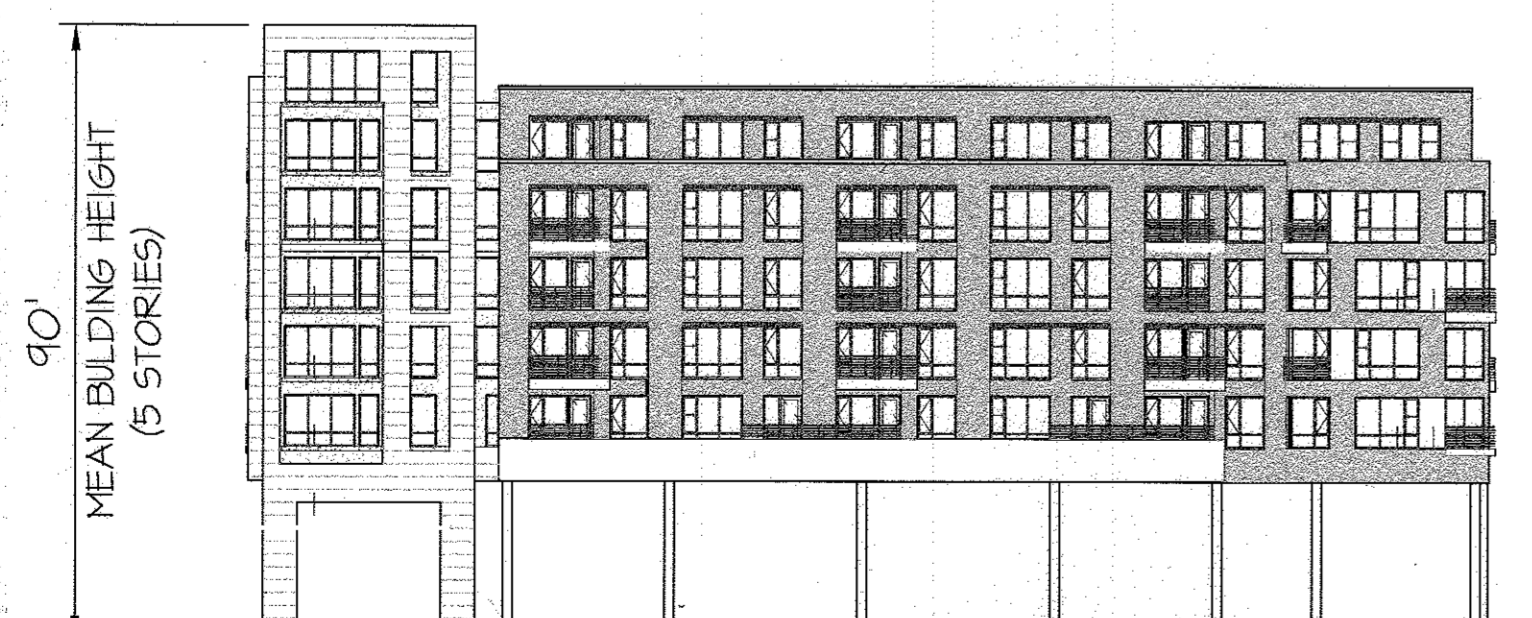
The garage entries will be permanent openings in the building facade, while the service entries will be approximately 24'-0" wide overhead colling doors, accommodating (2) loading bays.



SCHEMATIC SOUTH BUILDING ELEVATION (from Town Center Avenue)
 NOT TO SCALE

NOTE: Refer to the Design Advisory Panel materials for methods used to break up long facades.

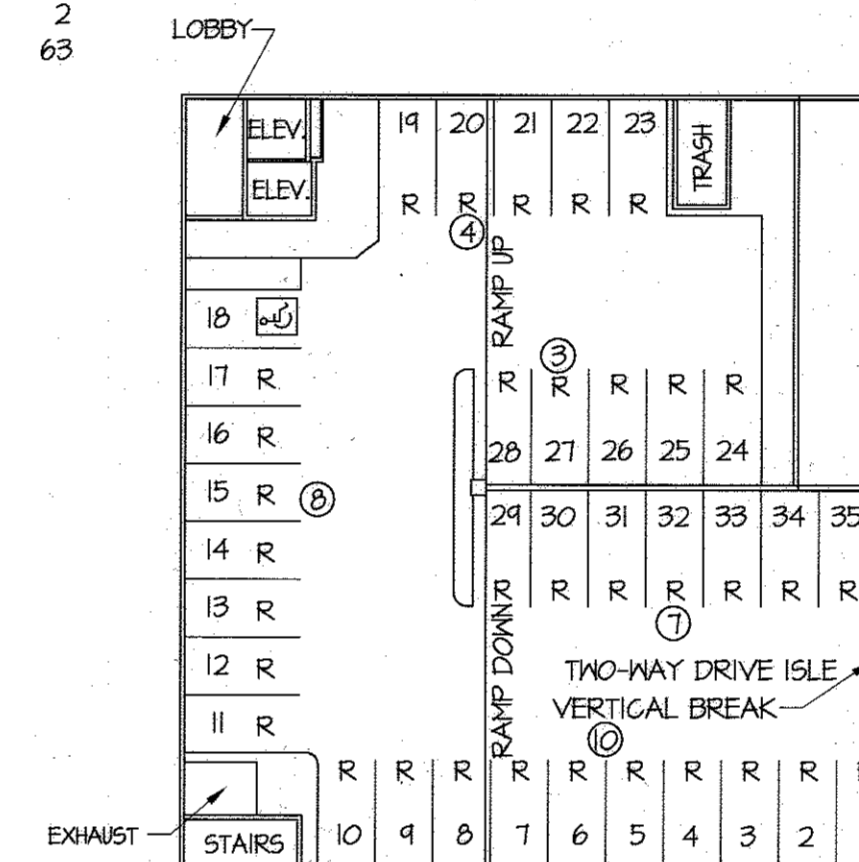
NOTE: The schematic building elevations are to indicate building height and architectural intent only. Final architecture design will be reviewed with construction plans for compliance with the Neighborhood Specific Design Guidelines (Liber 14166 Folio I).



SCHEMATIC EAST BUILDING ELEVATION (from Columbia Mall Circle)
 NOT TO SCALE



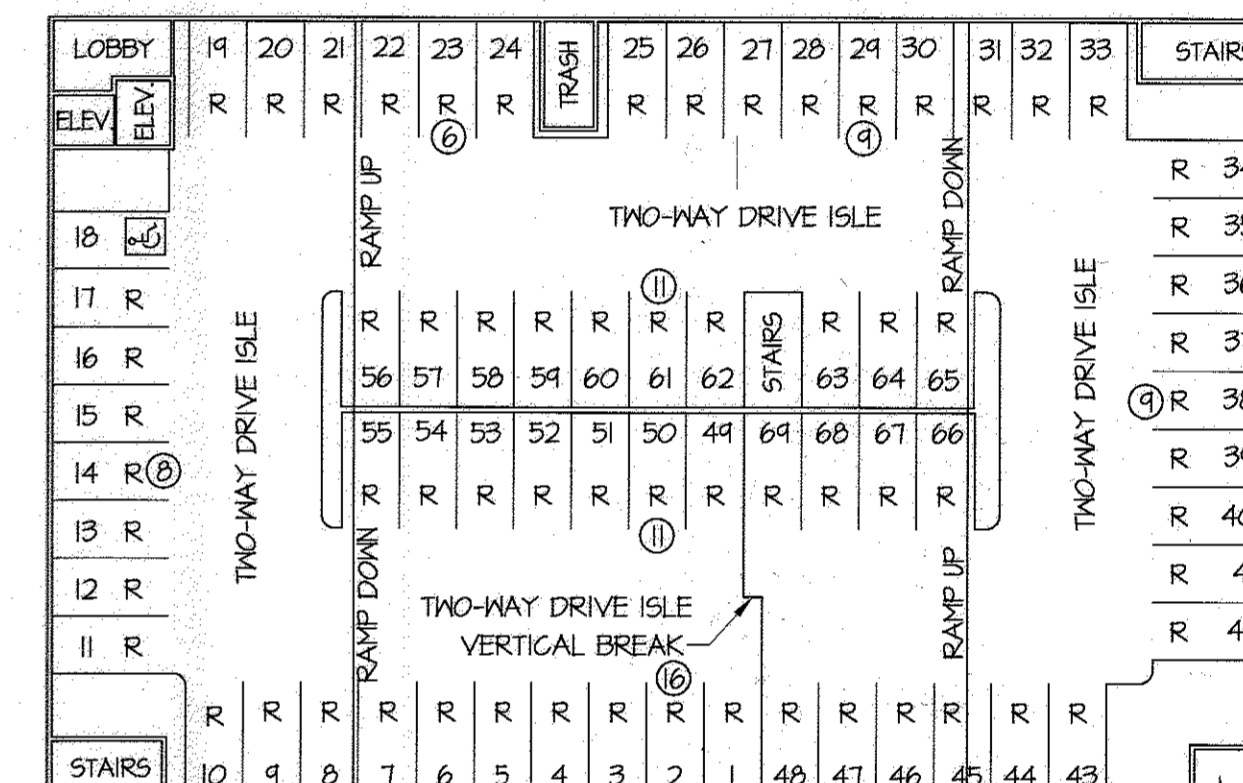
SCHEMATIC WEST BUILDING ELEVATION (from Broken Land Parkway)
 NOT TO SCALE



PART ROOF LEVEL

SCALE: 1" = 30'

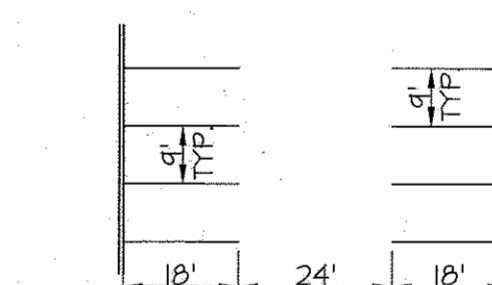
RESERVED STANDARD PARKING SPACES: 34
 HANDICAP PARKING SPACES: 1
 TOTAL: 35



SIXTH LEVEL

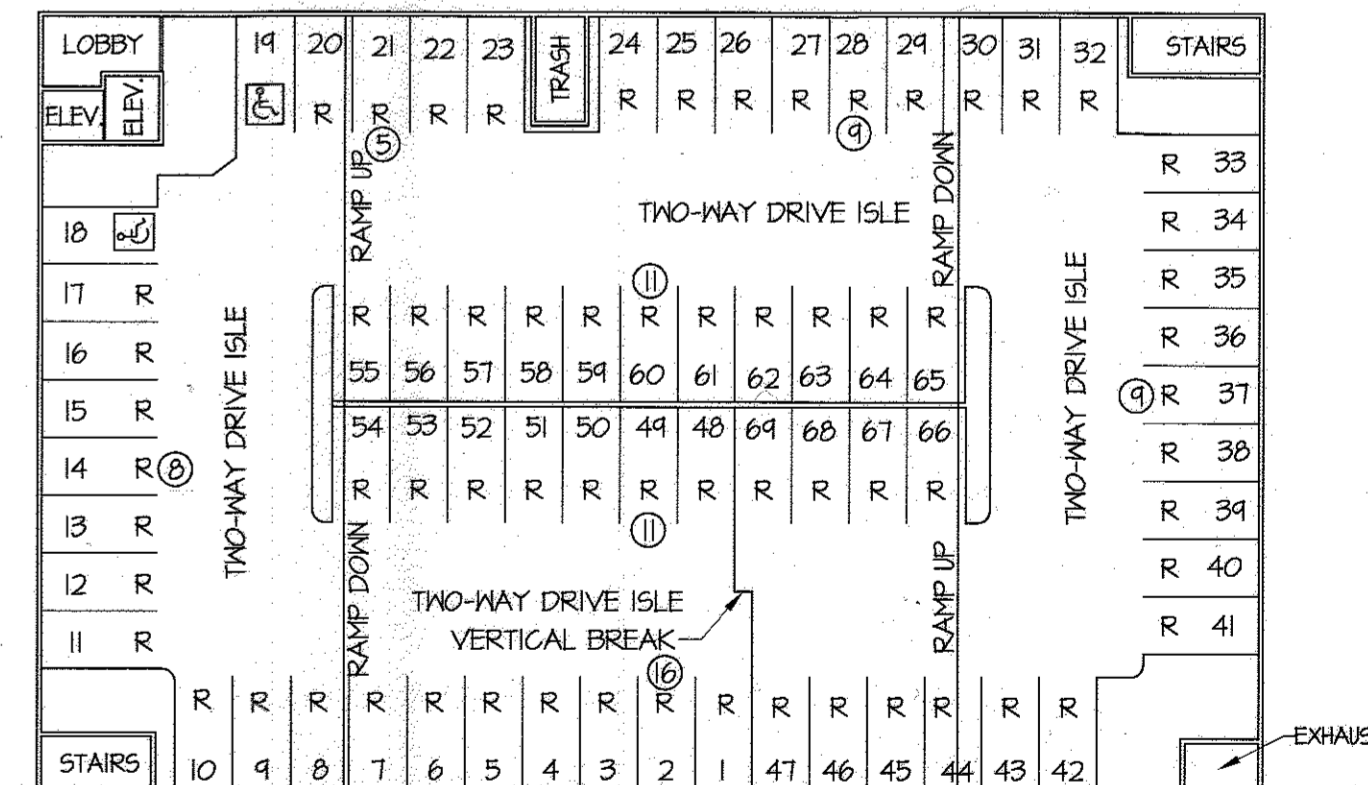
SCALE: 1" = 30'

RESERVED STANDARD PARKING SPACES: 68
 HANDICAP PARKING SPACES: 1
 TOTAL: 69



TYPICAL PARKING ARRANGEMENT

SCALE: 1" = 30'



THIRD LEVEL

SCALE: 1" = 30'

RESERVED STANDARD PARKING SPACES: 61
 HANDICAP PARKING SPACES: 2
 TOTAL: 63

THE BUILDING HEIGHT CANNOT EXCEED 100' AS MEASURED AT ANY POINT ALONG THE PERIMETER OF THE BUILDING UNLESS AN AMENDMENT TO THE NEIGHBORHOOD DESIGN GUIDELINES IS APPROVED BY THE PLANNING BOARD.

APPROVED
 PLANNING BOARD OF HOWARD COUNTY
 Date: November 30, 2014

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
 Director: *Nathan Zylman* 5-22-17
 Chief, Division of Land Development: *Kate DeLoach* 5-22-17
 Chief, Development Engineering Division: *Chloe* 5-9-17

GLWGUTSCHICK LITTLE & WEBER, P.A.
 CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
 3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK
 BURTONSVILLE, MARYLAND, 20866
 TEL: 301-421-4024 FAX: 410-383-1820

OWNER/PREPARED FOR:
 PARCEL C PROPERTY, LLC
 8255 GREENSBORO DRIVE
 SUITE 200
 MCLEAN, VIRGINIA 22102
 ATTN: KEVIN PETERKIN
 703-205-5542

PROFESSIONAL CERTIFICATION
 I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 14931
 EXPIRATION DATE: MAY, 21 2018



REVISED C-2 PARKING PLANS & BUILDING ELEVATIONS

DOWNTOWN COLUMBIA
 WARFIELD NEIGHBORHOOD BLOCKS W-2 & W-5
 PARCELS C-1 & C-2
 GREEN MIXED USE BUILDING
 PLAT No. 22455-24460

SCALE	ZONING	G. L. W. FILE No.
AS SHOWN	NT	12078
DATE	TAX MAP - GRID	SHEET
APRIL, 2017	36 - 01	7 OF 47

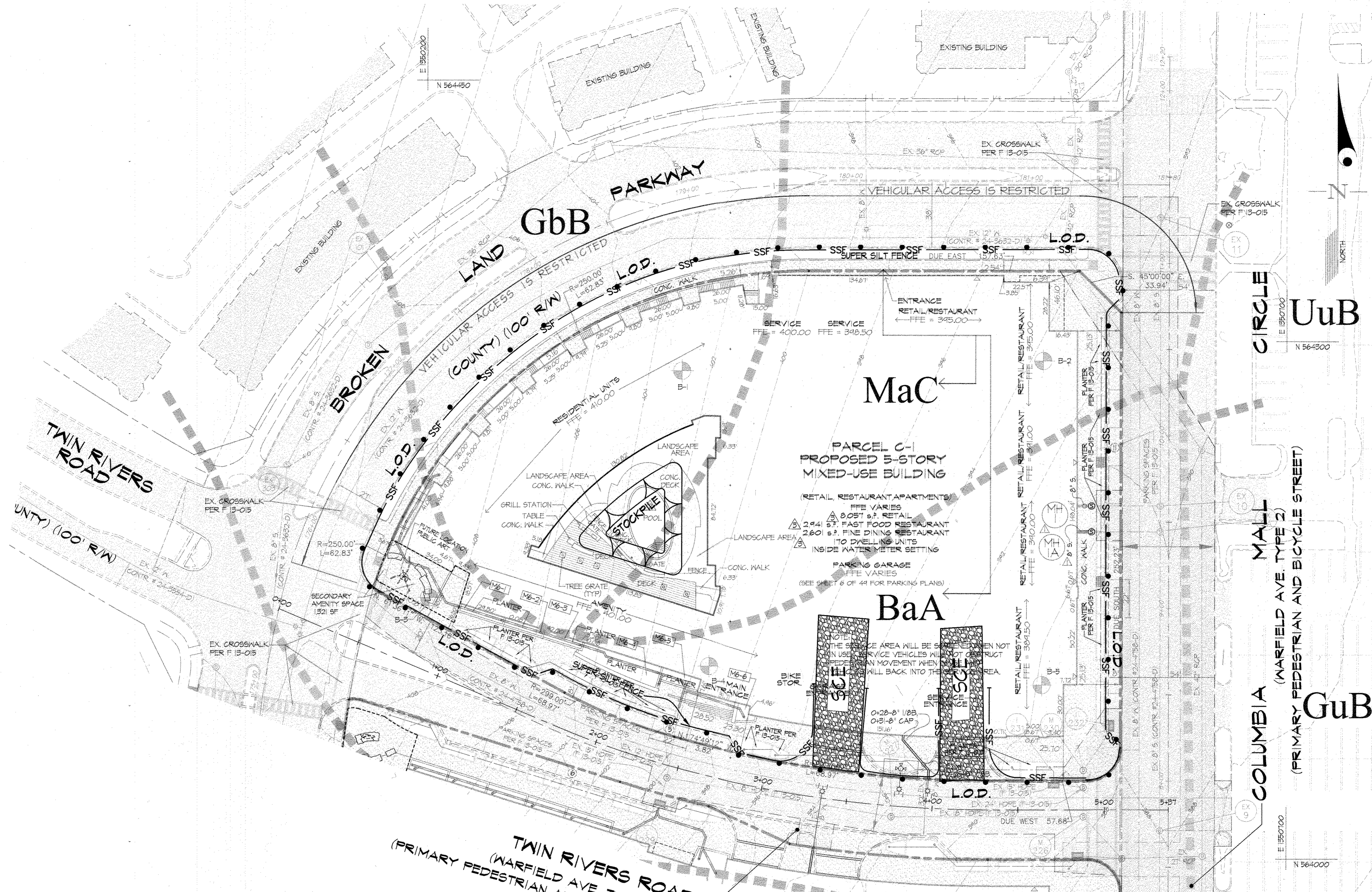
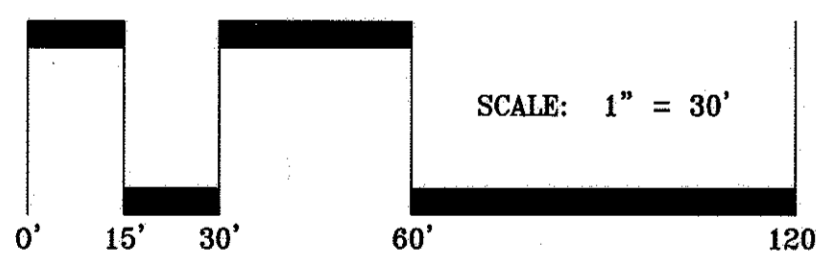
SOIL TABLE

MAP SYMBOL	MAPPING UNIT	SOIL GROUP
BaA	Baile Silt Loam, 0 to 3 percent slopes	D
GbB	Gladstone Loam, 3 to 8 percent slopes	B
GvB	Glenville-Urban Land-Uthorthents complex 0 to 8 percent slopes	C/D
MaC	Manor Loam, 8 to 15 percent slopes	B
Wb	Urban Land-Uthorthents complex 0 to 8 percent slopes	D

LEGEND

- PROPOSED SUPER SILT FENCE
- LIMITS OF DISTURBANCE
- STABILIZED CONSTRUCTION ENTRANCE
- STOCKPILE

- NOTES:**
- THIS SITE HAS BEEN MASS GRADED TO SUB-GRADE UNDER F 13-015.
 - SHOULD THE STOCKPILE EXCEED 15 FOOT IN HEIGHT, IT MUST BE BENCHED.



APPROVED
PLANNING BOARD OF HOWARD COUNTY
Date: November 20, 2017

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
[Signature] 5-22-17
 Director Date
[Signature] 5-22-17
 Chief, Division of Land Development Date
[Signature] 5-9-17
 Chief, Development Engineering Division Date

DEVELOPER'S/BUILDER'S CERTIFICATE
 "I/WE CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HCD."

[Signature] *[Signature]*
 SIGNATURE OF DEVELOPER/BUILDER

"I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT."

[Signature] 4/17/17
 SIGNATURE OF REGISTERED ENGINEER

This Development Plan is approved for Soil Erosion and Sediment Control
 Howard Soil Conservation District
[Signature] 5/4/17
 REGISTERED PROFESSIONAL ENGINEER

THIS PLAN IS FOR SEDIMENT CONTROL PURPOSES ONLY

GLW GUTSCHICK LITTLE & WEBER, P.A.
 CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
 3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK
 BURTONSVILLE, MARYLAND 20886
 TEL: 301-421-4024 BAL: 410-980-1800 DC: 301-989-2524 FAX: 301-421-4186

DATE	REVISION	BY	APP'R.
4/13/17	REVISED BUILDING PROGRAM		
8/2/16	ADDED COURTYARD IMPROVEMENTS FOR POOL PERMIT		
5/10/16	ADD NEW SHC FROM COLUMBIA ALL CIRCLE 7		

OWNER/PREPARED FOR:
 PARCEL C PROPERTY, LLC
 8255 GREENSBORO DRIVE
 SUITE 200
 MCLEAN, VIRGINIA 22102
 ATTN: KEVIN PETERKIN
 703-205-5542

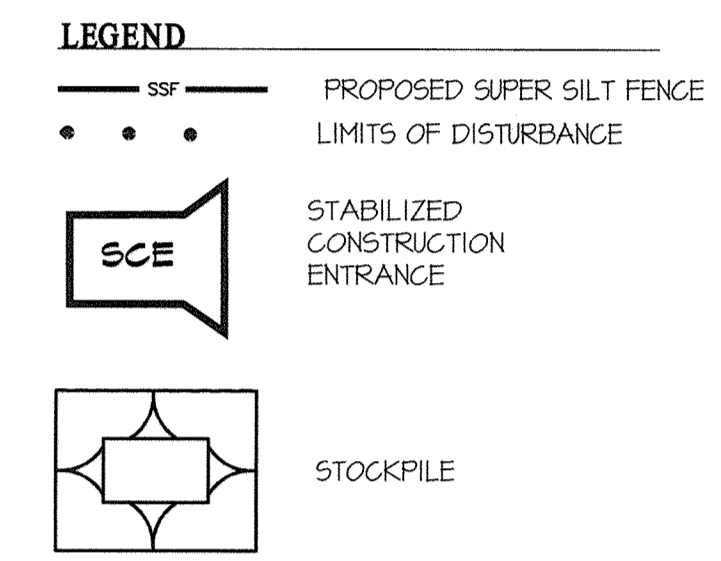
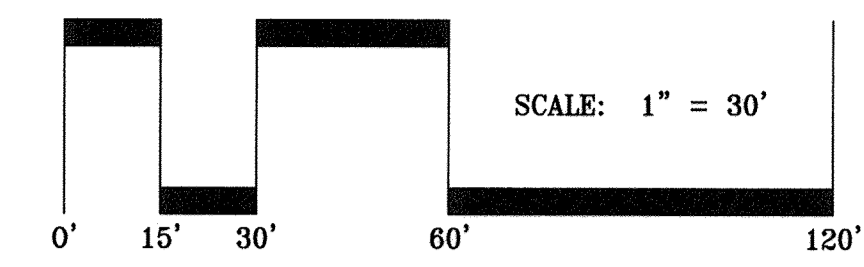
PROFESSIONAL CERTIFICATION
 I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 14931
 EXPIRATION DATE: MAY 21, 2018

REVISED C-1 SEDIMENT CONTROL PLAN
DOWNTOWN COLUMBIA
WARFIELD NEIGHBORHOOD BLOCKS W-2 & W-5
PARCELS C-1 & C-2
 GREEN MIXED USE BUILDING
 PLAT No. 22455-22460
 HOWARD COUNTY, MARYLAND

SCALE	ZONING	G. L. W. FILE No.
1"=30'	NT	12078
DATE	TAX MAP - GRID	SHEET
APRIL, 2017	36 - 01	8 OF 47

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 DES: mjt DRN: Wsjd CHK: mjt

MAP SYMBOL	MAPPING UNIT	SOIL GROUP
BaA	Baile Silt Loam, 0 to 3 percent slopes	D
GbB	Gladstone Loam, 3 to 8 percent slopes	B
GvB	Glenville-Urban Land-Urthenths complex 0 to 8 percent slopes	C/D
MaC	Major Loam, 8 to 15 percent slopes	B
Wb	Urban Land-Urthenths complex 0 to 8 percent slopes	D



NOTES:

- THIS SITE HAS BEEN MASS GRADED TO SUB-GRADE UNDER F 13-015
- SHOULD THE STOCKPILE EXCEED 15 FOOT IN HEIGHT, IT MUST BE BENCHED.

This Development Plan is approved for Soil Erosion and Sediment Control by the Howard County Soil Conservation District.

J.R. [Signature] 5/4/17
 Date

I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

Michael J. [Signature] 4/17/17
 Signature of Registered Engineer Date

DEVELOPER'S/BUILDER'S CERTIFICATE

I HEREBY CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HSCD.

[Signature] 4/17/17
 SIGNATURE OF DEVELOPER/BUILDER DATE

APPROVED PLANNING BOARD OF HOWARD COUNTY

Date: November 20, 2017

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

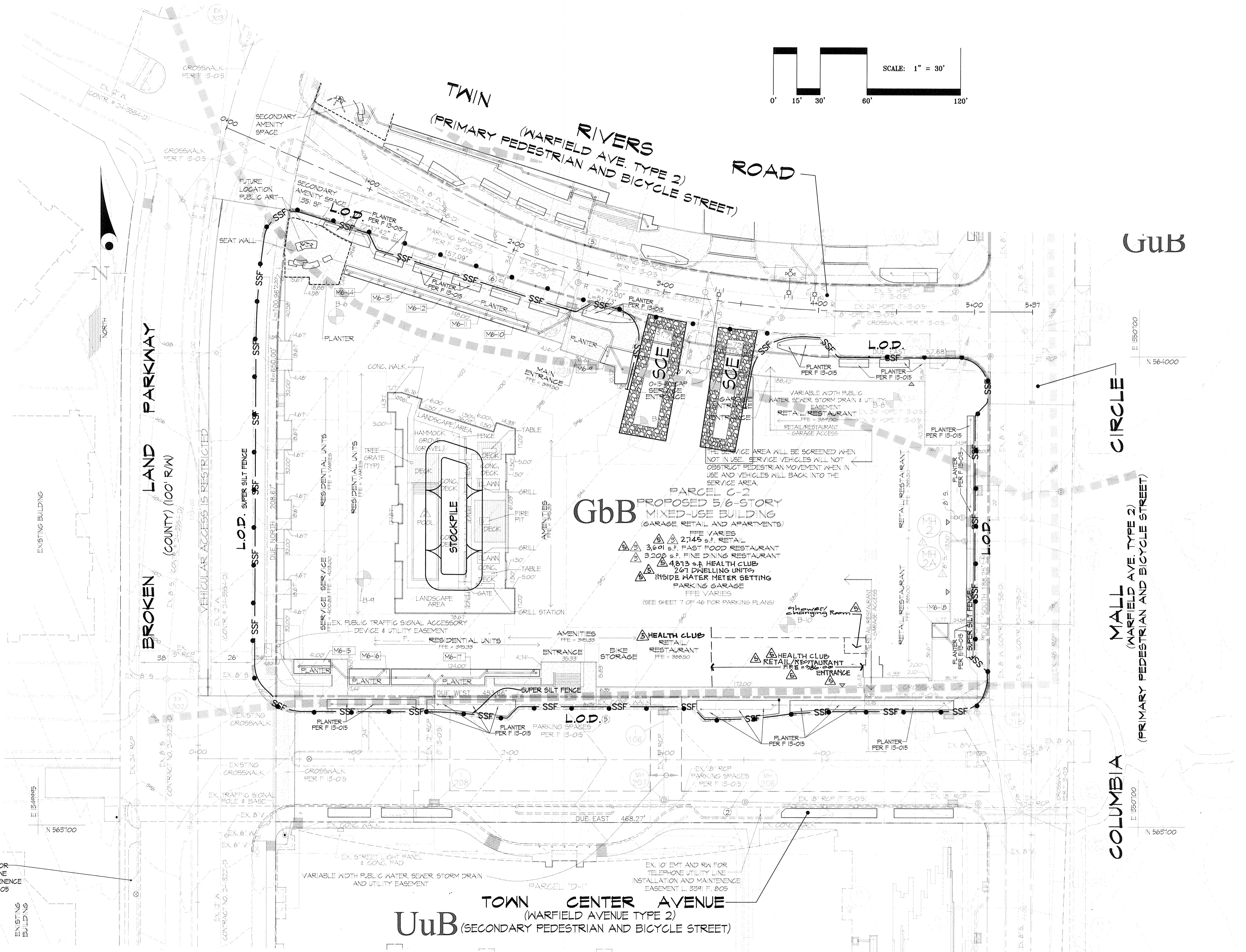
[Signature] 5-22-17
 Director Date

[Signature] 5-22-17
 Chief, Division of Land Development Date

[Signature] 5-9-17
 Chief, Development Engineering Division Date

DATE	REVISION	BY	APPR.
1/9/2014	Add Health Club to the Uses, add corridor shower/changing room	gt	MJT
4/13/17	REVISED BUILDING PROGRAM		
8/2/16	ADDED COURTYARD IMPROVEMENTS FOR POOL PERMIT		
5/10/16	ADD NEW SHC FROM COLUMBIA ALL CIRCLE		

EX. 10' EMT AND RM FOR TELEPHONE UTILITY LINE INSTALLATION AND MAINTENANCE EASEMENT L. 3391 F. 805



GbB PROPOSED 5/6-STORY MIXED-USE BUILDING (GARAGE RETAIL AND APARTMENTS)

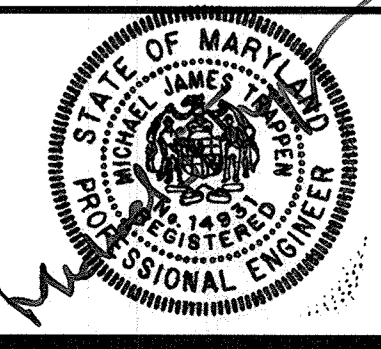
- 2,745 s.f. RETAIL
- 3,601 s.f. FAST FOOD RESTAURANT
- 3,200 s.f. FINE DINING RESTAURANT
- 4,873 s.f. HEALTH CLUB
- 267 DWELLING UNITS
- INSIDE WATER METER SETTING
- PARKING GARAGE

(SEE SHEET T OF 46 FOR PARKING PLANS)

UuB TOWN CENTER AVENUE (WARFIELD AVENUE TYPE 2) (SECONDARY PEDESTRIAN AND BICYCLE STREET)

THIS PLAN IS FOR SEDIMENT CONTROL PURPOSES ONLY

OWNER/PREPARED FOR:
 PARCEL C PROPERTY, LLC
 8255 GREENSBORO DRIVE SUITE 200
 MCLEAN, VIRGINIA 22102
 ATTN: KEVIN PETERKIN
 703-205-5542



REVISED C-2 SEDIMENT CONTROL PLAN

DOWNTOWN COLUMBIA WARFIELD NEIGHBORHOOD BLOCKS W-2 & W-5 PARCELS C-1 & C-2 GREEN MIXED USE BUILDING

PLAT No. 22455-22460

ELECTION DISTRICT No. 5

HOWARD COUNTY, MARYLAND

SCALE	ZONING	G. L. W. FILE No.
1"=30'	NT	12078
DATE	TAX MAP - GRID	SHEET
APRIL, 2017	36 - 01	9 OF 47

L:\CADD\PROJECTS\11831\12078 - Columbia, Town Center - 09 - Parc. C-1 & C-2\PLANS BY GUY SP/VP/DESIGNER\Program\Replacement Sheets\SDP-02091618.dwg
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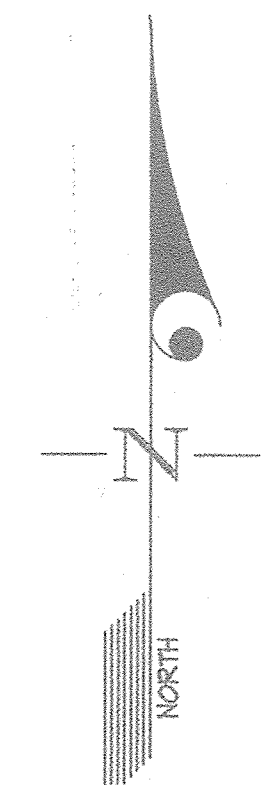
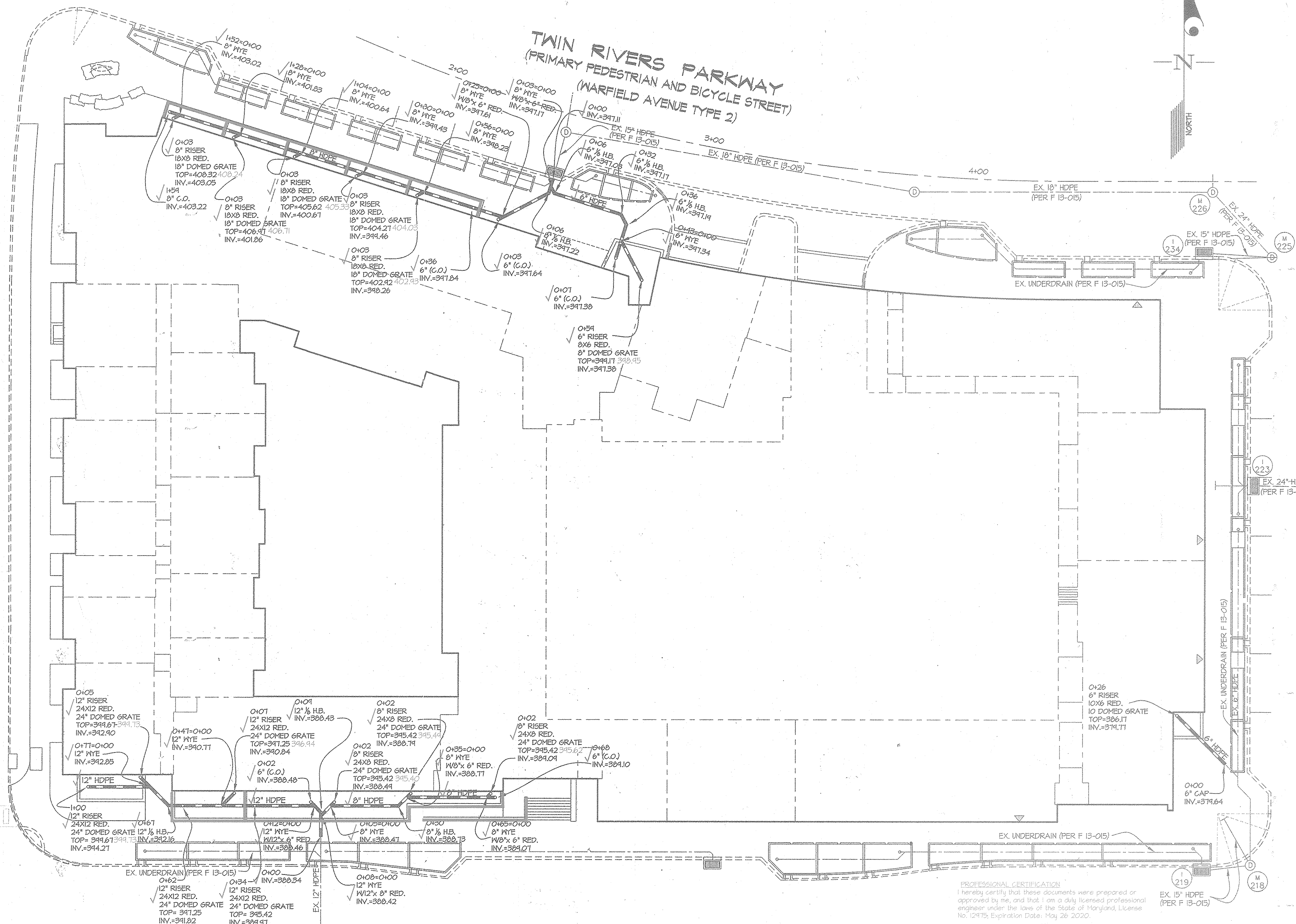
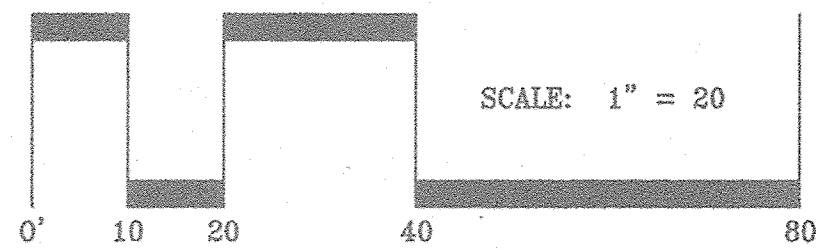
FITTINGS CHART PRIVATELY OWNED AND MAINTAINED		
SIZE (in.)	TYPE	QUANTITY
6"	1/2" BEND	4
8"	1/2" BEND	2
12"	1/2" BEND	2
6"	WYE	1
8"	WYE	10
12"	WYE	4
8"x 6"	REDUCER	11
12"x 6"	REDUCER	3
12"x 8"	REDUCER	1
18"x 8"	REDUCER	5
24"x 12"	REDUCER	5
24"x 8"	REDUCER	3
6"	DOMED GRATE	1
10"	DOMED GRATE	1
18"	DOMED GRATE	5
24"	DOMED GRATE	8

NOTES:

1. IN CASE OF DISCREPANCIES BETWEEN THE CHART AND THE PLAN, THE PLAN SHALL GOVERN.
2. ALL RISERS FOR CLEANOUT LOCATIONS SHALL BE PVC WITH REMOVABLE PLUGS.
3. VERTICAL FITTINGS NOT INCLUDED.
4. ALL DRAIN RISERS SHALL BE HDPE AND HAVE ADS ROUND DROP IN GRATES OR EQUIVALENT AT THE SPECIFIED ELEVATION UNLESS NOTED OTHERWISE.

S.D. PIPE SUMMARY TABLE
PRIVATELY OWNED AND MAINTAINED

SIZE (in.)	TYPE	QUANTITY (L.F.)	REMARKS
6"	HDPE	145	
8"	HDPE	221	
12"	HDPE	103	



BROKEN LAND PARKWAY
(PRIMARY PEDESTRIAN AND BICYCLE STREET)
(WARFIELD AVENUE TYPE 2)

COLUMBIA MALL CIRCLE
(PRIMARY PEDESTRIAN AND BICYCLE STREET)
(WARFIELD AVENUE TYPE 2)

TOWN CENTER AVENUE
(PRIMARY PEDESTRIAN AND BICYCLE STREET)
(WARFIELD AVENUE TYPE 2)

APPROVED
PLANNING BOARD OF HOWARD COUNTY

Date: November 14, 2014

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

N. Calabrese 12-17-15
Director Date

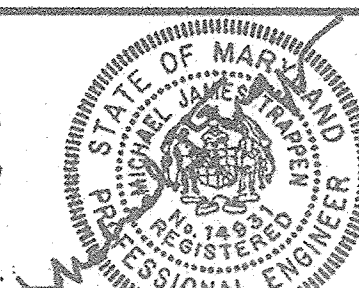
W. Schuchman 12-17-15
Chief, Division of Land Development Date

Chad Eber 9-14-15
Chief, Development Engineering Division Date

GLW GUTSCHICK LITTLE & WEBER, P.A.
CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
3509 NATIONAL DRIVE - SUITE 200 - BURTNSVILLE OFFICE PARK
BURTONSVILLE, MARYLAND 20866
TEL: 301-421-4024 BALT: 410-880-1820 DC/VA: 301-989-2524 FAX: 301-421-4186

OWNER/PREPARED FOR:
PARCEL C PROPERTY, LLC
1751 PINNACLE DRIVE
SUITE 700
MCLEAN, VIRGINIA 22102
ATTN: KEVIN PETERKIN
703-205-5542

PROFESSIONAL CERTIFICATION
I HEREBY CERTIFY THAT THESE PLANS
WERE PREPARED OR APPROVED BY
ME, AND THAT I AM A DULY LICENSED
PROFESSIONAL ENGINEER UNDER THE
LAWS OF THE STATE OF MARYLAND,
LICENSE NO. 1993
EXPIRATION DATE: MAY 21, 2016



PROFESSIONAL CERTIFICATION
I hereby certify that these documents were prepared or
approved by me, and that I am a duly licensed professional
engineer under the laws of the State of Maryland, License
No. 12915, Expiration Date: May 26, 2020.

1/10/19
Date
[Signature]
Professional Engineer
Maryland Reg. No. 12915

ASBUILTS

C2 UNDERDRAIN & MANIFOLD PLAN
DOWNTOWN COLUMBIA
WARFIELD NEIGHBORHOOD BLOCKS W-2 & W-5
PARCELS C-1 & C-2
GREEN MIXED USE BUILDING
PLAT No. 22455-22460

ASBUILT SHEET 3 OF 5

SCALE	ZONING	G. L. W. FILE No.
1"=20'	NT	12078
DATE	TAX MAP - GRID	SHEET
JAN, 2019 AUG, 2015	36 - 01	12 OF 47

ELECTION DISTRICT No. 5

HOWARD COUNTY, MARYLAND

ASBUILTS SDP 14-024

B.4.C Specifications for Micro-Bioretentation, Rain Gardens, Landscape Infiltration & Infiltration Berms

1. Material Specifications

The allowable materials to be used in these practices are detailed in Table B.4.1.

2. Filtering Media or Planting Soil

The soil shall be a uniform mix, free of stones, stumps, roots or other similar objects larger than two inches. No other materials or substances shall be mixed or dumped within the micro-bioretentation practice that may be harmful to plant growth, or prove a hindrance to the planting or maintenance operations. The planting soil shall be free of Bermuda grass, Quackgrass, Johnson grass, or other noxious weeds as specified under COMAR 15.08.01.05.

The planting soil shall be tested and shall meet the following criteria:

Soil Component - Loamy Sand or Sandy Loam (USDA Soil Textural Classification)
 Organic Content - Minimum 10% by dry weight (ASTM D 2974). In general, this can be met with a mixture of loamy sand (60%-65%) and compost (35% to 40%) or sandy loam (30%), coarse sand (30%) & compost (40%).
 Clay Content - Media shall have a clay content of less than 5%.
 pH Range - Should be between 5.5 - 7.0. Amendments (e.g., lime, iron sulfate plus sulfur) may be mixed into the soil to increase or decrease pH.

There shall be at least one soil test per project. Each test shall consist of both the standard soil test for pH, and additional tests of organic matter, and soluble salts. A textural analysis is required from the site stockpiled topsoil. If topsoil is imported, then a texture analysis shall be performed for each location where the topsoil was excavated.

3. Compaction

It is very important to minimize compaction of both the base of bioretention practices and the required backfill. When possible, use excavation hoists to remove original soil. If practices are excavated using a loader, the contractor should use wide track or marsh track equipment, or light equipment with turf type tires. Use of equipment with narrow tracks or narrow tires, rubber tires with large lugs, or high-pressure tires will cause excessive compaction resulting in reduced infiltration rates and is not acceptable. Compaction will significantly contribute to design failure.

Compaction can be alleviated at the base of the bioretention facility by using a primary tilling operation such as a chisel plow, ripper, or subsoiler. These tilling operations are to refracture the soil profile through the 12 inch compaction zone. Substitute methods must be approved by the engineer. Rototillers typically do not till deep enough to reduce the effects of compaction from heavy equipment.

Rototill 2 to 3 inches of sand into the base of the bioretention facility before backfilling the optional sand layer. Pump any ponded water before preparing (rototilling) base.

When backfilling the topsoil over the sand layer, first place 3 to 4 inches of topsoil over the sand, then rototill the sand/topsoil to create a gradation zone. Backfill the remainder of the topsoil to final grade.

When backfilling the bioretention facility, place soil in lifts 12" to 18". Do not use heavy equipment within the bioretention basin. Heavy equipment can be used around the perimeter of the basin to supply soils and sand. Grade bioretention materials with light equipment such as a compact loader or a dozer/loader with marsh tracks.

4. Plant Material

Recommended plant material for micro-bioretentation practices can be found in Appendix A, Section A.2.3.

5. Plant Installation

Compost is a better organic material source, is less likely to float, and should be placed in the invert and other low areas. Mulch should be placed in surrounding to a uniform thickness of 2" to 3". Shredded or chipped hardwood mulch is the only accepted mulch. Pine mulch and wood chips will float and move to the perimeter of the bioretention area during a storm event and are not acceptable. Shredded mulch must be well aged (6 to 12 months) for acceptance.

Rootstock of the plant material shall be kept moist during transport and on-site storage. The plant root ball should be planted so 1/8th of the ball is above final grade surface. The diameter of the planting pit shall be at least six inches larger than the diameter of the planting ball. Set and maintain the plant straight during the entire planting process. Thoroughly water ground bed cover after installation.

Trees shall be braced using 2" by 2" stakes only as necessary and for the first growing season only. Stakes are to be equally spaced on the outside of the tree ball.

Grasses and legume seed should be drilled into the soil to a depth of at least one inch. Grass and legume plugs shall be planted following the non-grass ground cover planting specifications.

The topsoil specifications provide enough organic material to adequately supply nutrients from natural cycling. The primary function of the bioretention structure is to improve water quality. Adding fertilizers defeats, or at a minimum, impedes this goal. Only add fertilizer if wood chips or mulch are used to amend the soil. Rototill urea fertilizer at a rate of 2 pounds per 1000 square feet.

6. Underdrains

Underdrains should meet the following criteria:
 Pipe - Should be 4" to 6" diameter, slotted or perforated rigid plastic pipe (ASTM F 758, Type PS 28, or AASHTO-M-278) in a gravel layer. The preferred material is slotted, 4" rigid pipe (e.g., PVC or HDPE).
 Perforations - If perforated pipe is used, perforations should be 3/4" diameter located 6" on center with a minimum of four holes per row. Pipe shall be wrapped with a 1/2" (No. 4 or 4x4) galvanized hardware cloth.
 Gravel - The gravel layer (No. 57 stone preferred) shall be at least 3" thick above and below the underdrain.
 The main collector pipe shall be at a minimum 0.5% slope.
 A rigid, non-perforated observation well must be provided (one per every 1,000 square feet) to provide a clean-out port and monitor performance of the filter.
 A 4" layer of pea gravel (1/4" to 3/4" stone) shall be located between the filter media and underdrain to prevent migration of fines into the underdrain. This layer may be considered part of the filter bed when bed thickness exceeds 24".

The main collector pipe for underdrain systems shall be constructed at a minimum slope of 0.5%. Observation wells and/or clean-out pipes must be provided (one minimum per every 1,000 square feet of surface area).

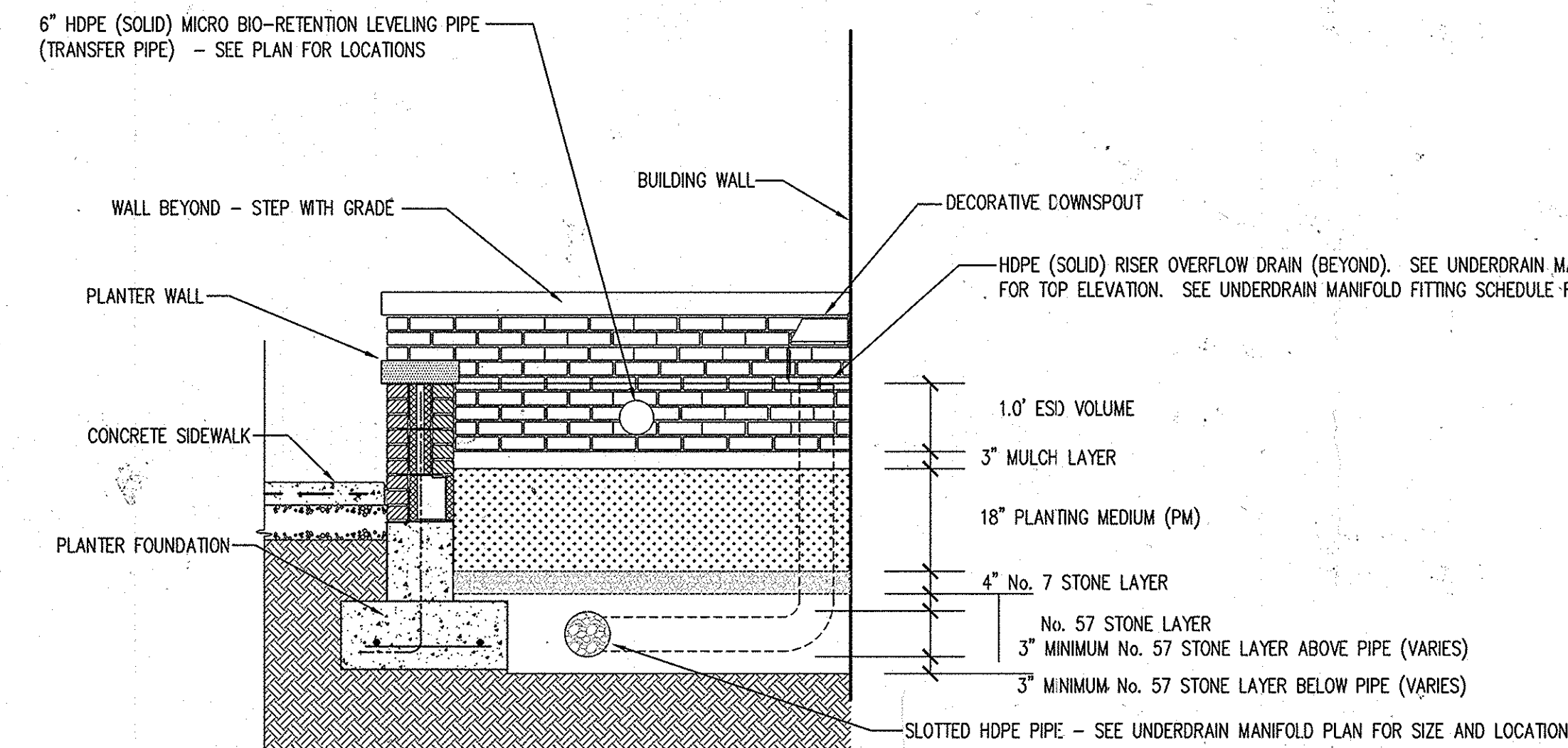
7. Miscellaneous

These practices may not be constructed until all contributing drainage area has been stabilized

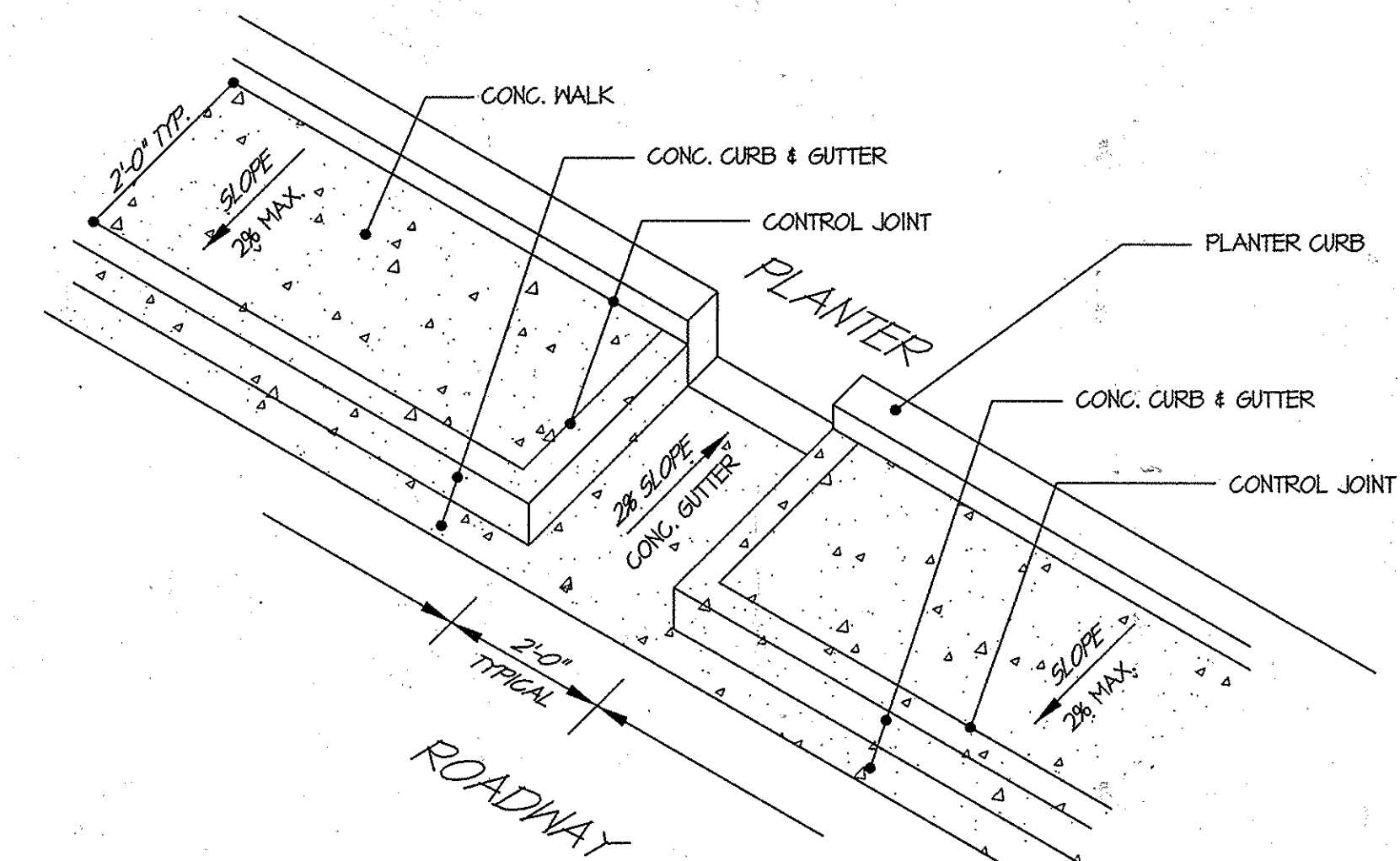
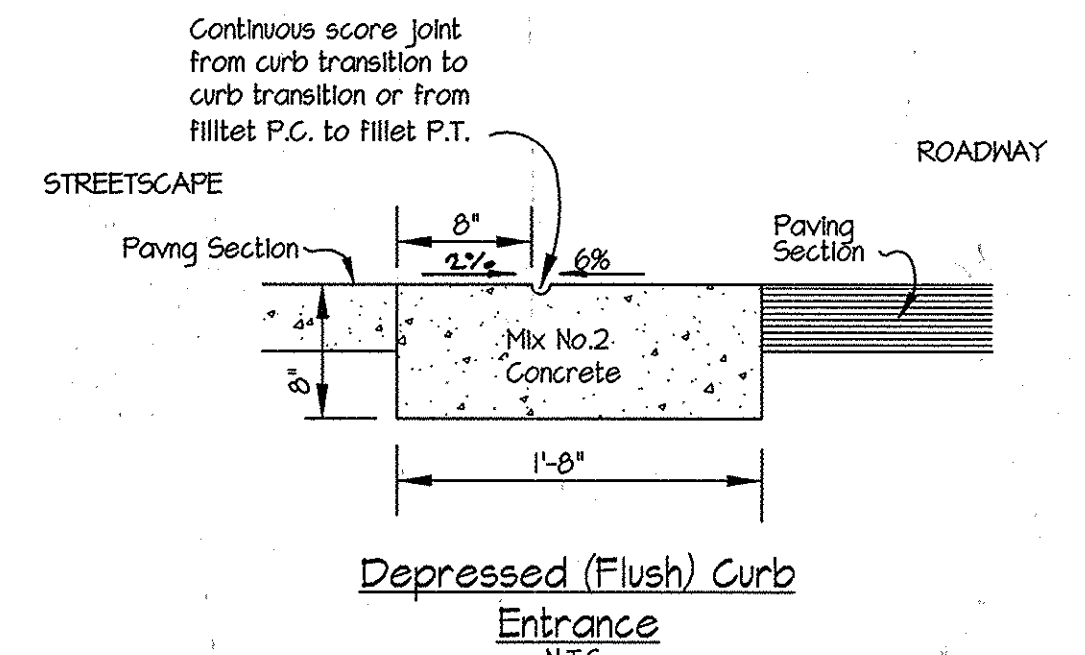
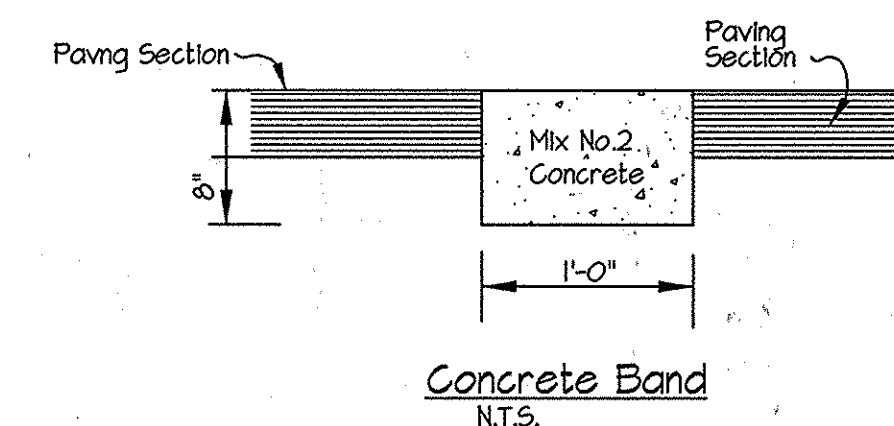
Material	Specification	Size	Notes
Plantings	see Appendix A, Table A.4	n/a	plantings are site-specific
Planting soil [2' to 4' deep]	loamy sand (60 - 65%) & compost (35 - 40%) or sandy loam (30%), coarse sand (30%) & compost (40%)	n/a	USDA soil types loamy sand or sandy loam; clay content < 5%
Organic content	Min. 10% by dry weight (ASTM D 2974)		
Mulch	shredded hardwood		aged 6 months, minimum; no pine or wood chips
Pea gravel diaphragm	pea gravel: ASTM-D-448	NO. 8 OR NO. 9 (1/8" TO 3/8")	
Curtain drain	ornamental stone: washed cobbles	stone: 2" to 5"	
Geotextile		n/a	PE Type 1 nonwoven
Gravel (underdrains and infiltration berms)	AASHTO M-43	NO. 57 OR NO. 6 AGGREGATE (3/8" to 3/4")	
Underdrain piping	F 758, Type PS 28 or AASHTO M-278	4" to 6" rigid schedule 40 PVC or SDR35	Slotted or perforated pipe; 3/8" perf. @ 6" on center, 4 holes per row; minimum of 3" of gravel over pipes; not necessary underneath pipes. Perforated pipe shall be wrapped with 1/2-inch galvanized hardware cloth
Poured in place concrete (if required)	MSHA Mix No. 3; f'c= 3500 psi @ 28 days, normal weight, air-entrained; reinforcing to meet ASTM-615-60	n/a	on-site testing of poured-in-place concrete required: 28 day strength and slump test; all concrete design (cast-in-place or pre-cast) not using previously approved State or local standards requires design drawings sealed and approved by a professional structural engineer licensed in the State of Maryland - design to include meeting ACI Code 350.R/89; vertical loading [H-10 or H-20]; allowable horizontal loading (based on soil pressures); and analysis of potential cracking
Sand	AASHTO-M-6 or ASTM-C-33	0.02" to 0.04"	Sand substitutions such as Diabase and Graystone (AASHTO) #10 are not acceptable. No calcium carbonated or dolomitic sand substitutions are acceptable. No "rock dust" can be used for sand

Operations and Maintenance Schedule for Micro Bio-retention Facilities (M-6)

- A. The owner shall maintain the plant material, mulch layer and soil layer annually. Maintenance of mulch and soil is limited to correcting areas of erosion or wash out. Any mulch replacement shall be done in the spring. Plant material shall be checked for disease and insect infestation and maintenance will address dead material and pruning. Acceptable replacement plant material is limited to the following: 2000 Maryland Stormwater Design Manual Volume II, Table A.4.1 and 2.
- B. The owner shall perform a plant in the spring and in the fall of each year. During the inspection, the owner shall remove any dead and diseased vegetation considered beyond treatment, replace dead plant material with acceptable plant material, treat diseased trees and shrubs, and replace all deficient stakes and wires.
- C. The owner shall inspect the mulch each spring. The mulch shall be replaced every two to three years. The previous mulch layer shall be removed before the new layer is applied.
- D. The owner shall correct soil erosion on an as needed basis, with a minimum of once per month and after each heavy storm.



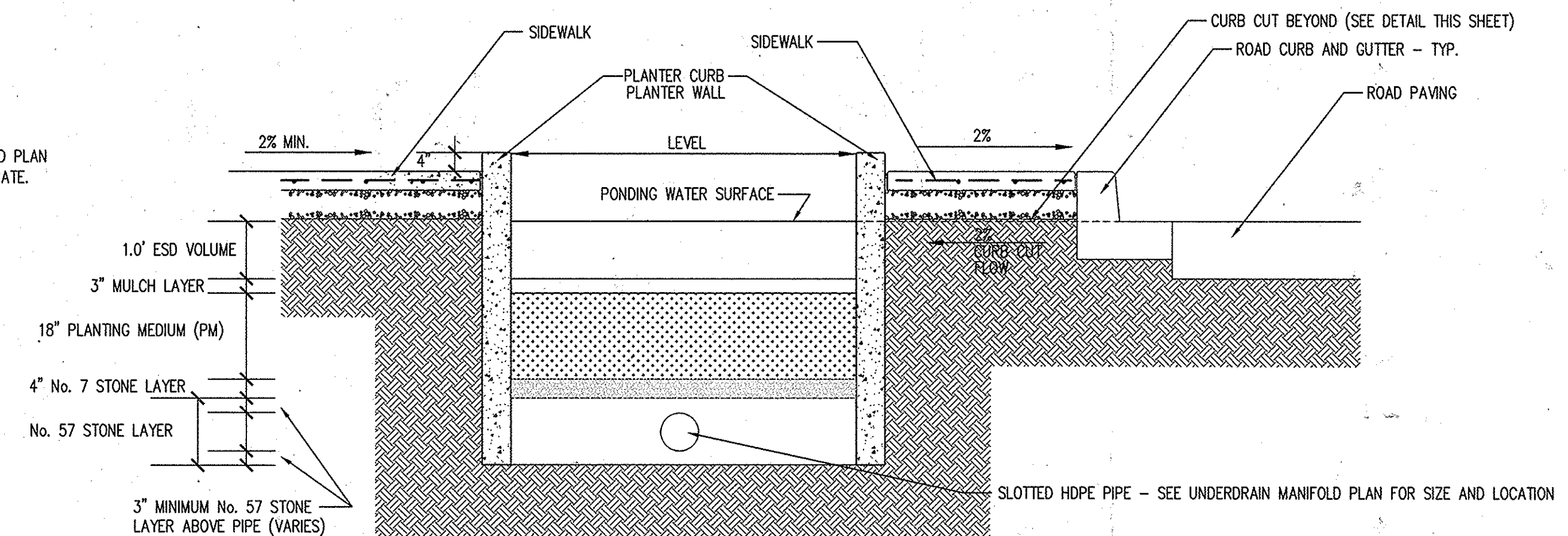
TYPICAL SECTION THROUGH MICRO BIO-RETENTION PLANTERS 'C' (PLANTERS 'B' SIMILAR)



MICRO BIO-RETENTION PLANTER CURB CUT DETAIL

N.T.S.

Note: For details of grate over curb cut, see Landscape Plans.



TYPICAL MICRO BIO-RETENTION PLANTERS ADJACENT TO ROADWAY ARRANGEMENT

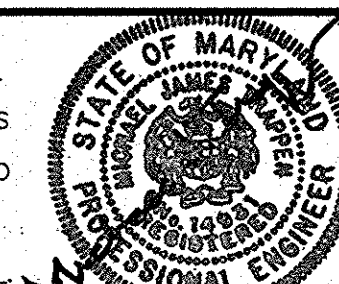
APPROVED
PLANNING BOARD OF HOWARD COUNTY
 Date: November 20, 2014

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
 Director: [Signature] 12-17-15
 Chief, Division of Land Development [Signature] 12-17-15
 Chief, Development Engineering Division [Signature] 9-14-15

GLWGUTSCHICK LITTLE & WEBER, P.A.
 CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
 3909 NATIONAL DRIVE - SUITE 250 - BURTONGVILLE OFFICE PARK
 BURTONGVILLE, MARYLAND 20866
 TEL: 301-421-4024 BALT: 410-880-1820 DC/VA: 301-989-2524 FAX: 301-421-4186

OWNER/PREPARED FOR:
 PARCEL C PROPERTY, LLC
 1751 PINNACLE DRIVE
 SUITE 700
 MCLEAN, VIRGINIA 22102
 ATTN: KEVIN PETERKIN
 703-205-5542

PROFESSIONAL CERTIFICATION
 I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 14282
 EXPIRATION DATE: MAY 21, 2016



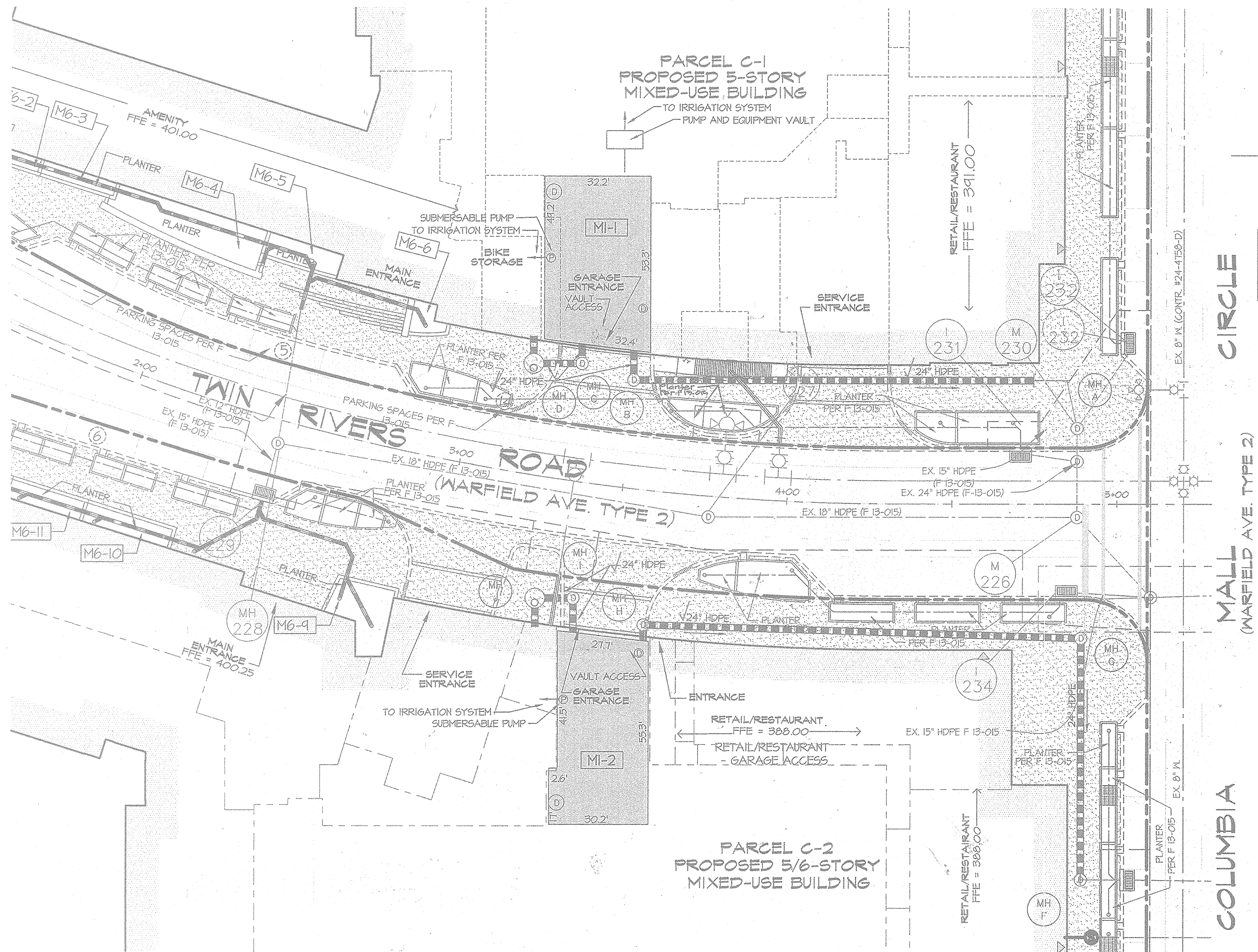
MICRO BIO-RETENTION DETAILS NOTES AND MAINTENANCE SCHEDULES

DOWNTOWN COLUMBIA
WARFIELD NEIGHBORHOOD BLOCKS W-2 & W-5
 PARCELS C-1 & C-2
 GREEN MIXED USE BUILDING
 PLAT No. 22455-22460

SCALE	ZONING	G. L. W. FILE No.
AS SHOWN	NT	12078
DATE	TAX MAP - GRID	SHEET
AUG., 2015	36 - 01	13 OF 47

ELECTION DISTRICT No. 5

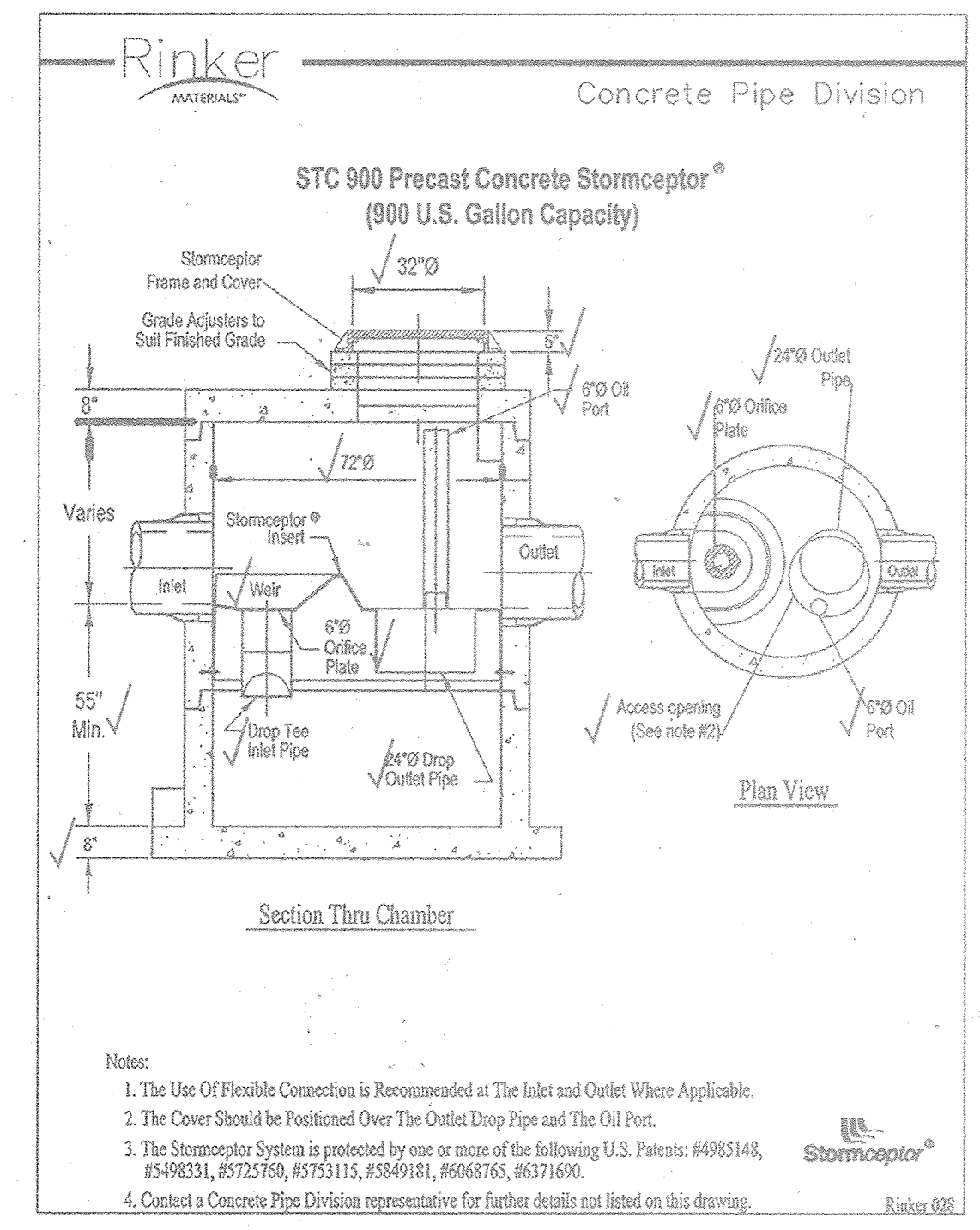
HOWARD COUNTY, MARYLAND



OPERATION AND MAINTENANCE SCHEDULE

NOTE: COMPONENTS ARE TO BE INSPECTED QUARTERLY

FACILITY COMPONENT REQUIRING MAINTENANCE	MAINTENANCE ACTIVITY	WHEN MAINTENANCE ACTIVITY IS REQUIRED	EXPECTED FACILITY PERFORMANCE AFTER MAINTENANCE
STORAGE MANIFOLD	TRASH AND DEBRIS REMOVAL, & SEDIMENT REMOVAL	FLOATABLE OBJECTS OR OTHER DEBRIS IS PRESENT IN THE FILTER OR MANIFOLD SYSTEM.	FILTRATION CAPACITY IS MAXIMIZED.
PIPING FITTINGS AND CONTROL DEVICES.	ENSURE ALL FITTINGS ARE SECURE AND THAT ALL CONTROLS ARE UNLOGGED. FLUSH WITH WATER.	DRAINAGE SYSTEM IS OBSTRUCTED BY DEBRIS OR SEDIMENT.	SYSTEM FLOWS FREELY.
STORMCEPTOR	REMOVE ALL WATER AND POLLUTANTS FROM STRUCTURE.	SEDIMENT ACCUMULATES TO A DEPTH OF THREE FEET IN THE TREATMENT SUMP OR AFTER A SPILL.	STRUCTURE IS EMPTY.



PARTIAL PLAN - CISTERNS MI-1 AND MI-2 ENLARGEMENT

CISTERN NOTES

1. A cistern shall be located under the parking garage slab floor for Parcels C-1 and C-2 and be designed by the building structural engineer.
2. The volume of Parcel C-1 cistern shall provide at least 8,600 c.f. of storage.
3. The volume of Parcel C-2 cistern shall provide at least 8,250 c.f. of storage.
4. All runoff from areas not draining to micro bio-retention planters shall drain into the cistern.
5. All runoff from the parking garage area and any loading areas shall be pretreated by a Stormceptor prior to entering the cistern.
6. Provide 2 manhole access points and ladders in each cistern. See plan for locations.

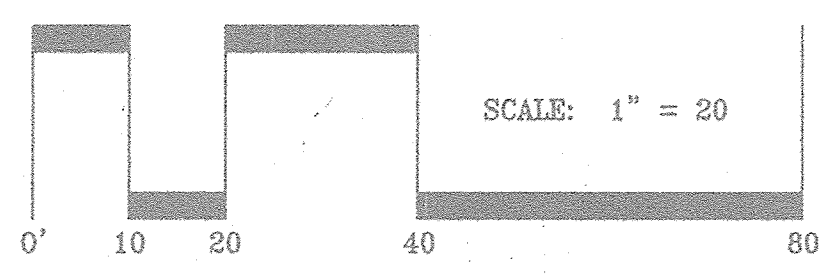
APPROVED
PLANNING BOARD OF HOWARD COUNTY
 Date: November 20, 2014

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

Val M. Jaffin 12-17-15
 Director Date

Kurt Glendon 12-17-15
 Chief, Division of Land Development Date

Chad Clarke 9-14-15
 Chief, Development Engineering Division Date



GLWGUTSCHICK LITTLE & WEBER, P.A.
 CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
 3909 NATIONAL DRIVE - SUITE 250 - BURTOWNSVILLE OFFICE PARK
 BURTOWNSVILLE, MARYLAND 20866
 TEL: 301-421-4024 BALT: 410-980-1820 DC/VA: 301-989-2524 FAX: 301-421-4186

OWNER/PREPARED FOR:
 PARCEL C PROPERTY, LLC
 1751 PINNACLE DRIVE
 SUITE 700
 MCLEAN, VIRGINIA 22102
 ATTN: KEVIN PETERKIN
 703-205-5542

PROFESSIONAL CERTIFICATION
 I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 12931
 EXPIRATION DATE: MAY 21, 2016

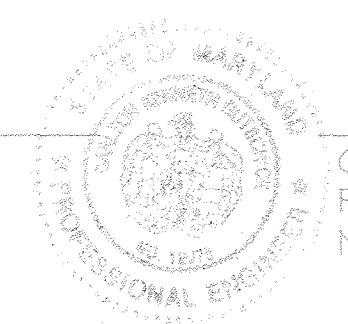


ASBUILTS
CISTERN ENLARGEMENT PLAN
DOWNTOWN COLUMBIA
WARFIELD NEIGHBORHOOD BLOCKS W-2 & W-5
PARCELS C-1 & C-2
 GREEN MIXED USE BUILDING
 PLAT No. 22455-22460

PROFESSIONAL CERTIFICATION
 I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland, License No. 12475, Expiration Date: May 26 2020.

1/10/19
 Date



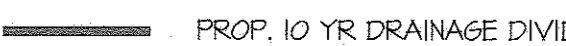
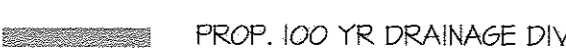

Carl K. Gutschick
 Professional Engineer
 Maryland Reg. No. 12475



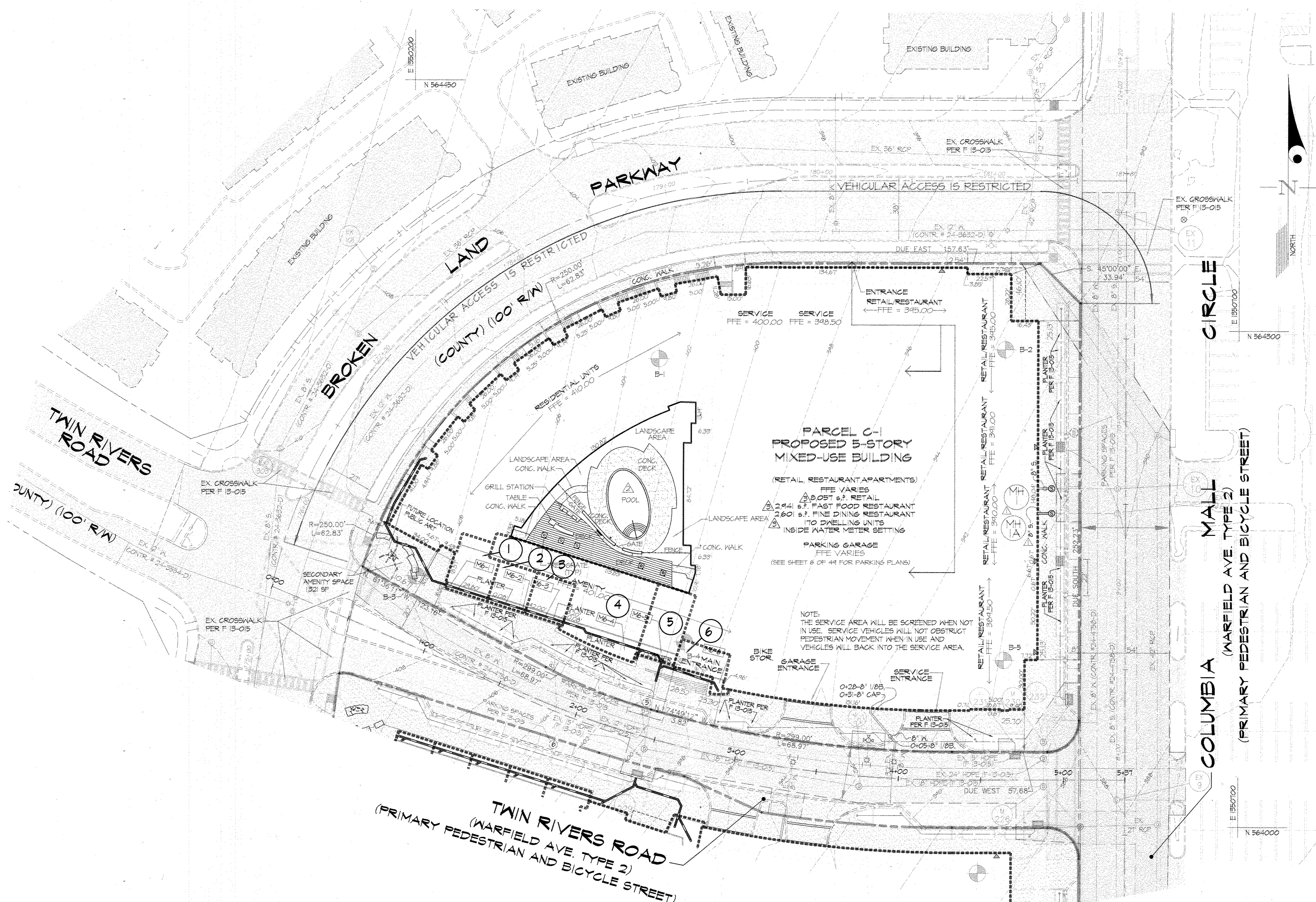
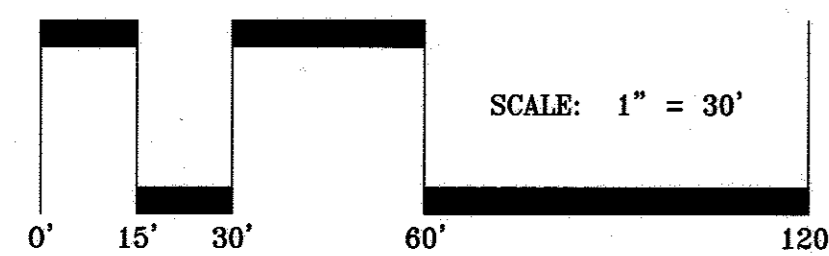
ASBUILT SHEET 4 OF 5

SCALE 1"=20'	ZONING NT	G. L. W. FILE NO. 12078
DATE JAN, 2019 AUG., 2015	TAX MAP - GRID 36 - 01	SHEET 14 OF 47

LEGEND

-  10 YR DRAINAGE AREA IDENTIFICATION
-  100 YR DRAINAGE AREA IDENTIFICATION
-  PROP. 10 YR DRAINAGE DIVIDE
-  PROP. 100 YR DRAINAGE DIVIDE
-  STORMWATER DRAINAGE AREA IDENTIFICATION

No.	Practice No.	Area (Ac.)	% Impv.	Rational Formula C Factor
1	M6-1	0.020	100	0.98
2	M6-2	0.014	100	0.98
3	M6-3	0.014	100	0.98
4	M6-4	0.072	100	0.98
5	M6-5	0.024	100	0.98
6	M6-6	0.014	100	0.98



APPROVED
 PLANNING BOARD OF HOWARD COUNTY
 Date: November 20, 2017

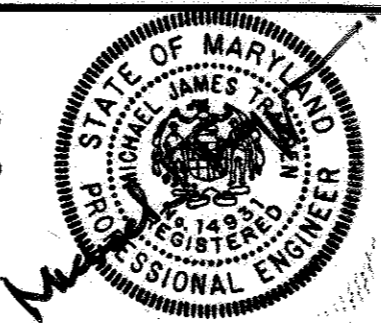
APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
Valerie Zylinski 5-22-17
 Director Date
Kate Land 5-22-17
 Chief, Division of Land Development Date
Chad Adams 5-9-17
 Chief, Development Engineering Division Date

GLW GUTSCHICK LITTLE & WEBER, P.A.
 CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
 3909 NATIONAL DRIVE - SUITE 250 - BURTNSVILLE OFFICE PARK
 BURTNSVILLE, MARYLAND 20866
 TEL: 301-421-4024 BAL: 410-880-1820 DC/VA: 301-889-2524 FAX: 301-421-4186

DATE	REVISION	BY	APP'R.
4/13/17	REVISED BUILDING PROGRAM		
8/8/16	ADDED COURTYARD IMPROVEMENTS FOR POOL PERMIT		
3/10/16	ADD NEW SHC FROM COLUMBIA ALL CIRCLE		

OWNER/PREPARED FOR:
 PARCEL C PROPERTY, LLC
 8255 GREENSBORO DRIVE
 SUITE 200
 MCLEAN, VIRGINIA 22102
 ATTN: KEVIN PETERKIN
 703-205-5542

PROFESSIONAL CERTIFICATION
 I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 14931
 EXPIRATION DATE: MAY 21, 2018







REVISED C-1 STORM DRAIN DRAINAGE AREA MAP
DOWNTOWN COLUMBIA
 WARFIELD NEIGHBORHOOD BLOCKS W-2 & W-5
 PARCELS C-1 & C-2
 GREEN MIXED USE BUILDING
 PLAT No. 22455-22460
 HOWARD COUNTY, MARYLAND

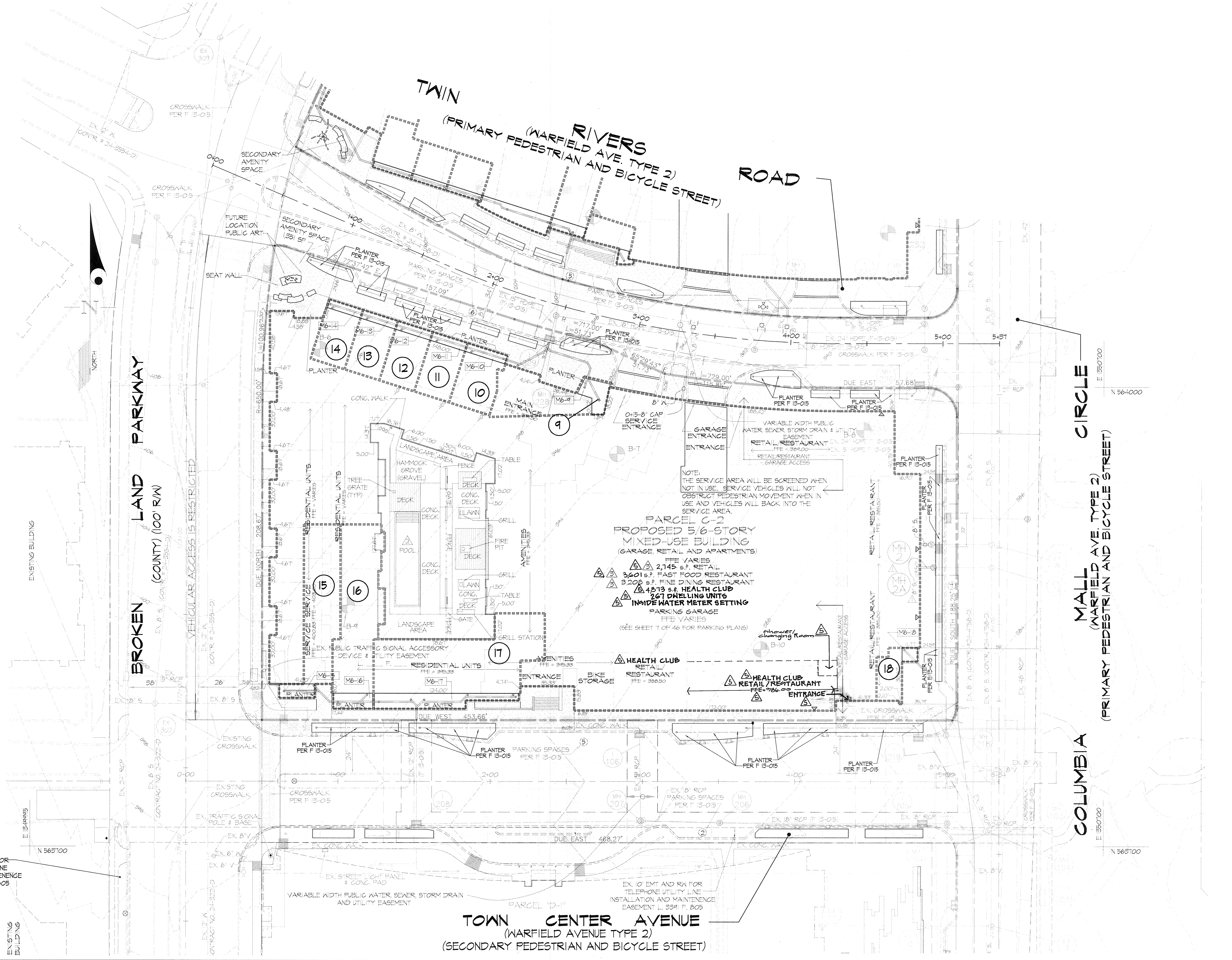
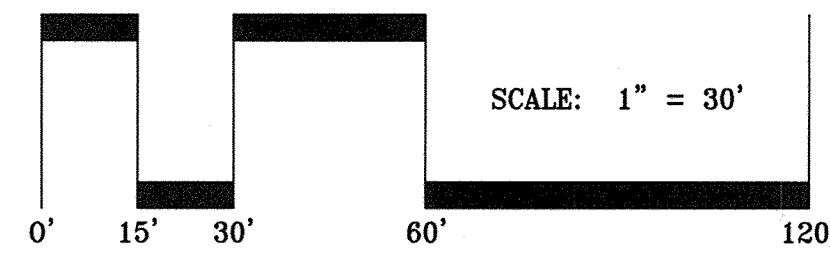
SCALE	ZONING	G. L. W. FILE No.
1"=30'	NT	12078
DATE	TAX MAP - GRID	SHEET
APRIL, 2017	36 - 01	15 OF 47

L:\CD\17\2017\17-012 AM, LAST SAVED: 5/17/2017 10:01 AM, PLOTTED BY: Mike...
 SHEET: SDP-020615176.dwg
 PLOTTED: 4/17/2017 10:12 AM, LAST SAVED: 5/17/2017 10:01 AM, PLOTTED BY: Mike...

LEGEND

-  10 YR DRAINAGE AREA IDENTIFICATION
-  100 YR DRAINAGE AREA IDENTIFICATION
-  PROP. 10 YR DRAINAGE DIVIDE
-  PROP. 100 YR DRAINAGE DIVIDE

No.	Practice No.	Area (Ac.)	% Impv.	Rational Formula C Factor
9	M6-9	0.041	100	0.98
10	M6-10	0.025	100	0.98
11	M6-11	0.022	100	0.98
12	M6-12	0.022	100	0.98
13	M6-13	0.022	100	0.98
14	M6-14	0.022	100	0.98
15	M6-15	0.060	100	0.98
16	M6-16	0.069	100	0.98
16	M6-17	0.113	100	0.98
17	M6-18	0.013	100	0.98



APPROVED
PLANNING BOARD OF HOWARD COUNTY
 Date: November 20, 2014

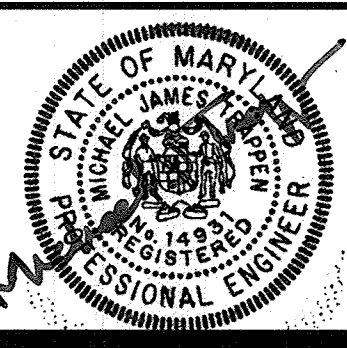
APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
 Director: Nancy J. Jolly 5-22-17
 Chief, Division of Land Development
 Chief, Development Engineering Division: Chris... 5-9-17

GLWGUTSCHICK LITTLE & WEBER, P.A.
 CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
 3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK
 BURTONSVILLE, MARYLAND 20866
 TEL: 301-421-4024 BAL: 410-880-1820 DC/VA: 301-989-2524 FAX: 301-421-4186

EX. 10' EMT AND RM FOR TELEPHONE UTILITY LINE INSTALLATION AND MAINTENANCE EASEMENT L. 3341 F. 805

OWNER/PREPARED FOR:
 PARCEL C PROPERTY, LLC
 8255 GREENSBORO DRIVE
 SUITE 200
 MCLEAN, VIRGINIA 22102
 ATTN: KEVIN PETERKIN
 703-205-5542

PROFESSIONAL CERTIFICATION
 I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 14931
 EXPIRATION DATE: MAY 21, 2018



REVISED C-2 STORM DRAIN DRAINAGE AREA MAP
DOWNTOWN COLUMBIA
WARFIELD NEIGHBORHOOD BLOCKS W-2 & W-5
PARCELS C-1 & C-2
 GREEN MIXED USE BUILDING
 PLAT No. 22455-22460
 HOWARD COUNTY, MARYLAND

SCALE 1"=30'	ZONING NT	G. L. W. FILE No. 12078
DATE APRIL, 2017	TAX MAP - GRID 36 - 01	SHEET 16 OF 47

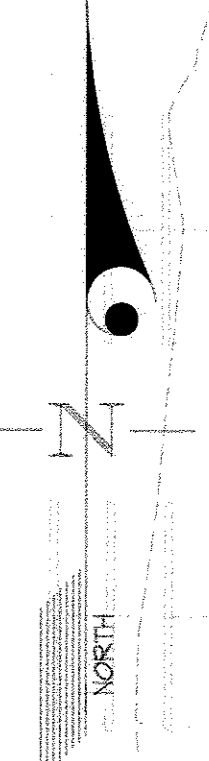
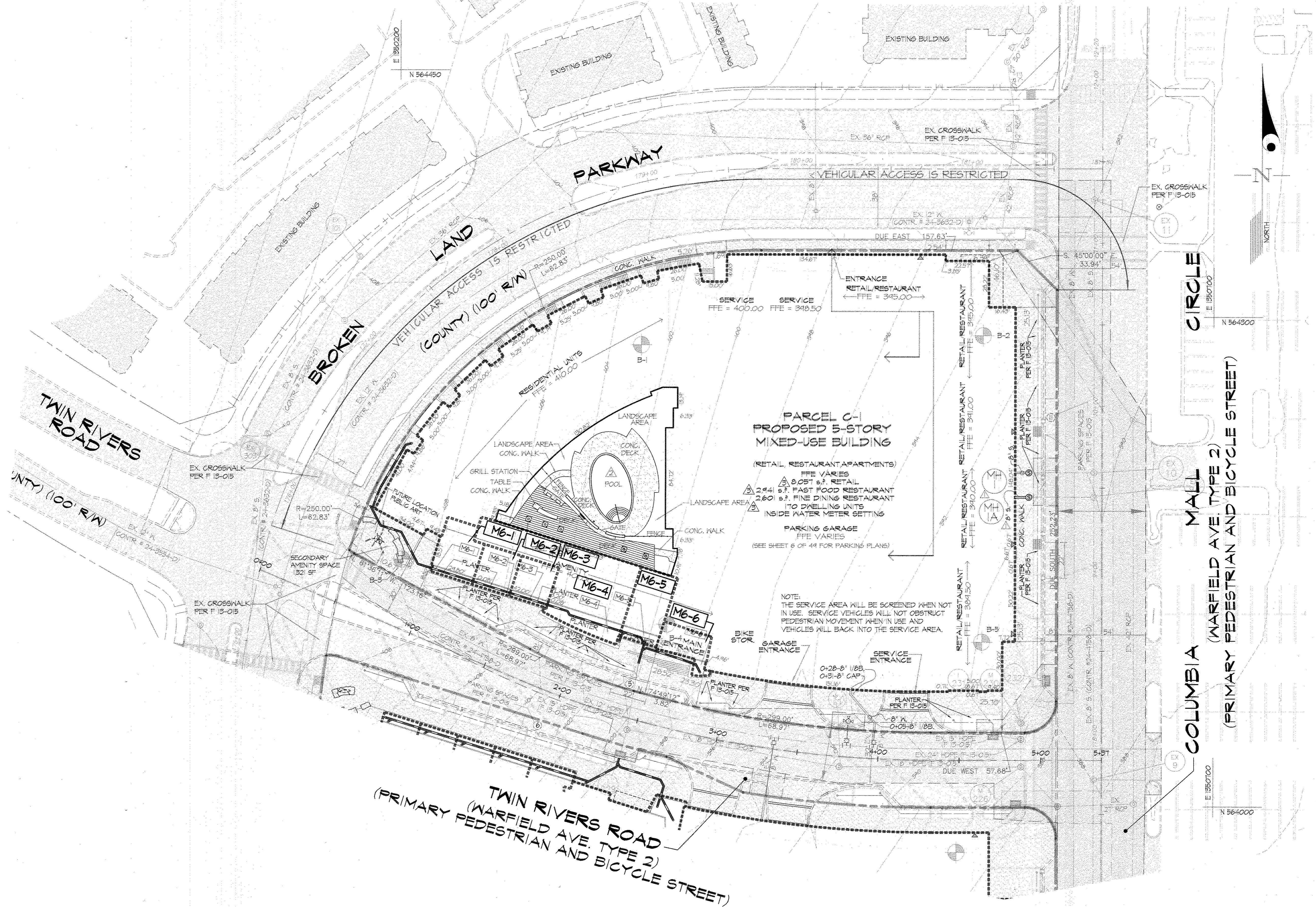
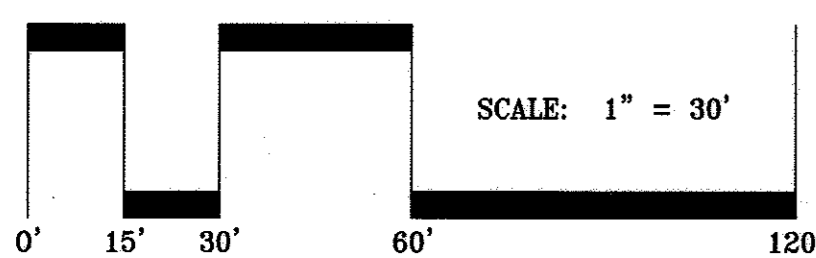
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LEGEND

M6-19 STORMWATER DRAINAGE AREA IDENTIFICATION

..... PROP. STORMWATER DRAINAGE DIVIDE

DRAINAGE AREA SUMMARY TABLE		
Practice No.	Area (Ac.)	% Impv.
M6-1	0.020	100
M6-2	0.014	100
M6-3	0.014	100
M6-4	0.072	100
M6-5	0.024	100
M6-6	0.014	100
M1-1	1.707	91



APPROVED
PLANNING BOARD OF HOWARD COUNTY

Date: November 30, 2017

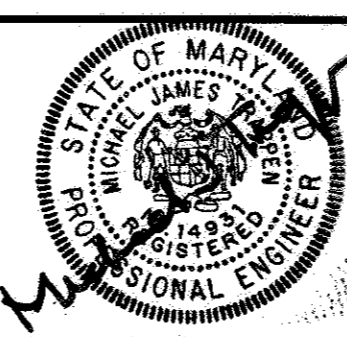
APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
N. Williams 5-22-17
 Director Date
K. Salim 5-22-17
 Chief, Division of Land Development Date
Chad Edick 5-9-17
 Chief, Development Engineering Division Date

GLW GUTSCHICK LITTLE & WEBER, P.A.
 CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
 3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK
 BURTONSVILLE, MARYLAND 20866
 TEL: 301-421-4024 BALT: 410-880-1820 DC/VA: 301-889-2524 FAX: 301-421-4186

DATE	REVISION	BY	APP'R
4/13/17	REVISED BUILDING PROGRAM		
8/2/16	ADDED COURTYARD IMPROVEMENTS FOR POOL PERMIT		
5/10/16	ADD NEW SHC FROM COLUMBIA MALL CIRCLE		

OWNER/PREPARED FOR:
 PARCEL C PROPERTY, LLC
 8255 GREENSBORO DRIVE
 SUITE 200
 MCLEAN, VIRGINIA 22102
 ATTN: KEVIN PETERKIN
 703-205-5542

PROFESSIONAL CERTIFICATION
 I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 14831
 EXPIRATION DATE: MAY 21, 2018



REVISED C-1 ESD DRAINAGE AREA MAP
DOWNTOWN COLUMBIA
WARFIELD NEIGHBORHOOD BLOCKS W-2 & W-5
PARCELS C-1 & C-2
 GREEN MIXED USE BUILDING
 PLAT No. 22455-22460
 HOWARD COUNTY, MARYLAND

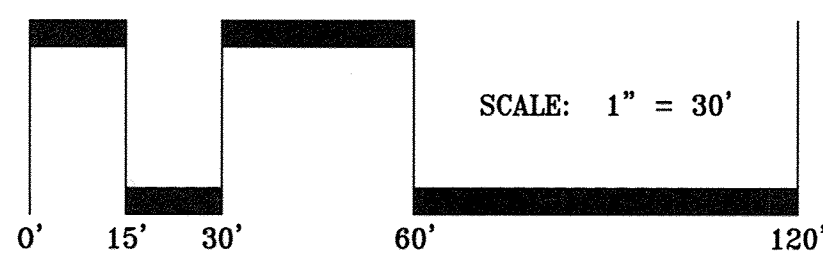
SCALE	ZONING	G. L. W. FILE No.
1"=30'	NT	12078
DATE	TAX MAP - GRID	SHEET
APRIL, 2017	36 - 01	17 OF 47

L:\CADD\PROJECTS\ASB\ASB_0018_SDP14-024.dwg, Plot Date: 11/30/17, 9:57 AM, PLOTTED BY: MJE, PLOTTER: HP DesignJet 5000PS, PLOT SCALE: 1"=30', SHEET: 17 OF 47

LEGEND

- M6-19 STORMWATER DRAINAGE AREA IDENTIFICATION
- PROP. STORMWATER DRAINAGE DIVIDE

DRAINAGE AREA SUMMARY TABLE		
Practice No.	Area (Ac.)	% Imp.
M6-9	0.008	100
M6-10	0.025	100
M6-11	0.022	100
M6-12	0.022	100
M6-13	0.022	100
M6-14	0.022	100
M6-15	0.060	100
M6-16	0.069	100
M6-17	0.113	100
M6-18	0.013	100
M1-2	1.728	95



APPROVED
PLANNING BOARD OF HOWARD COUNTY
 Date: November 20, 2017

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
 Director: N. Collins Date: 5-22-17
 Chief, Division of Land Development: QMF Date: 5-22-17
 Chief, Development Engineering Division: ED Date: 5-9-17

GLWGUTSCHICK LITTLE & WEBER, P.A.
 CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
 3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK
 BURTONSVILLE, MARYLAND 20866
 TEL: 301-421-4024 BAL: 410-880-1820 DC/VA: 301-989-2524 FAX: 301-421-4186

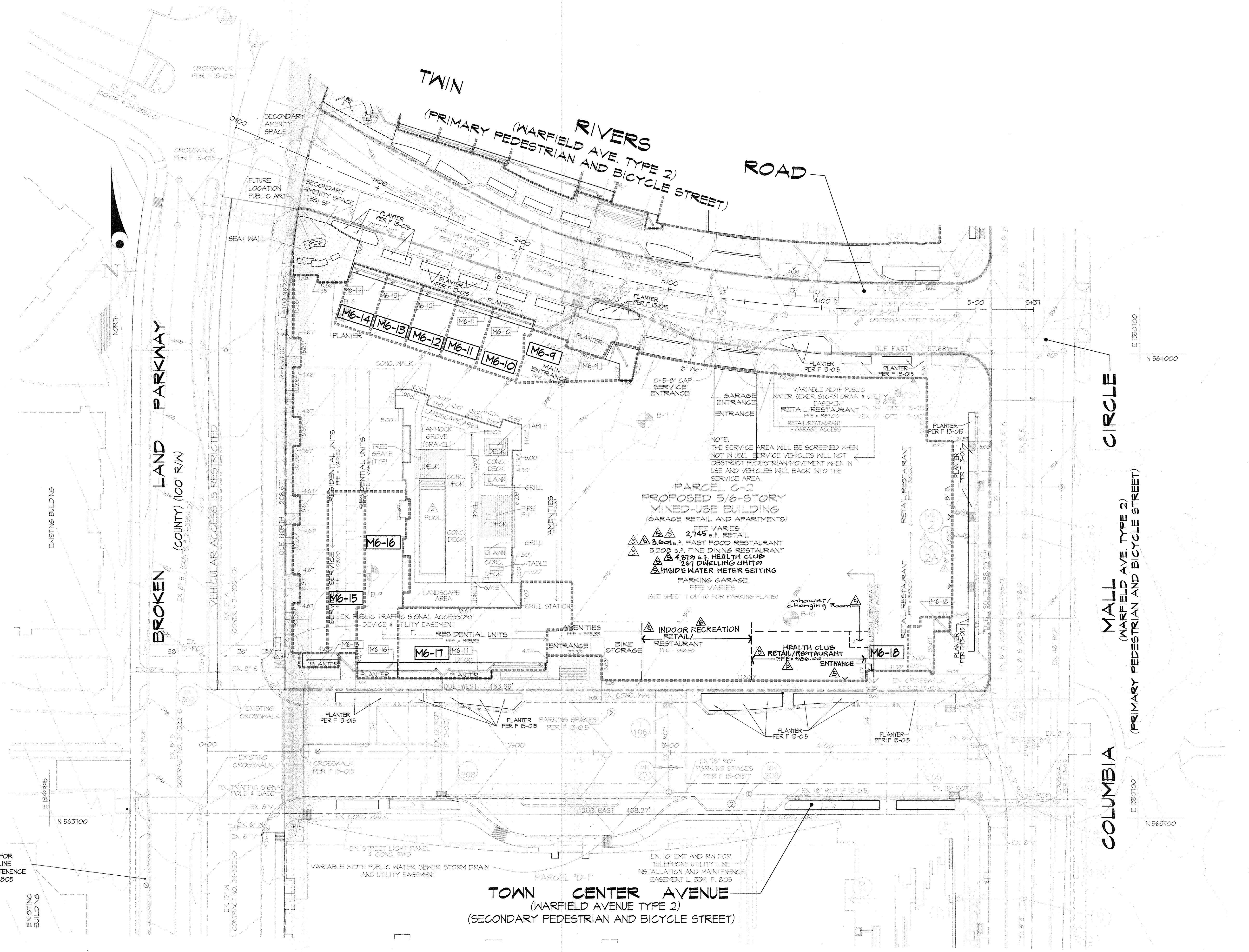
DATE	REVISION	BY	APPR.
5/8/17	add indoor recreation to the uses	gt	mjt
1/4/2019	add health club to the uses, add corridor & shower/changing room	gt	mjt
4/13/17	REVISED BUILDING PROGRAM		
8/8/16	ADDED COURTYARD IMPROVEMENTS FOR POOL PERMIT		
5/10/16	ADD NEW SHC FROM COLUMBIA ALL CIRCLE		

OWNER/PREPARED FOR:
 PARCEL C PROPERTY, LLC
 8255 GREENSBORO DRIVE
 SUITE 200
 MCLEAN, VIRGINIA 22102
 ATTN: KEVIN PETERKIN
 703-205-5542

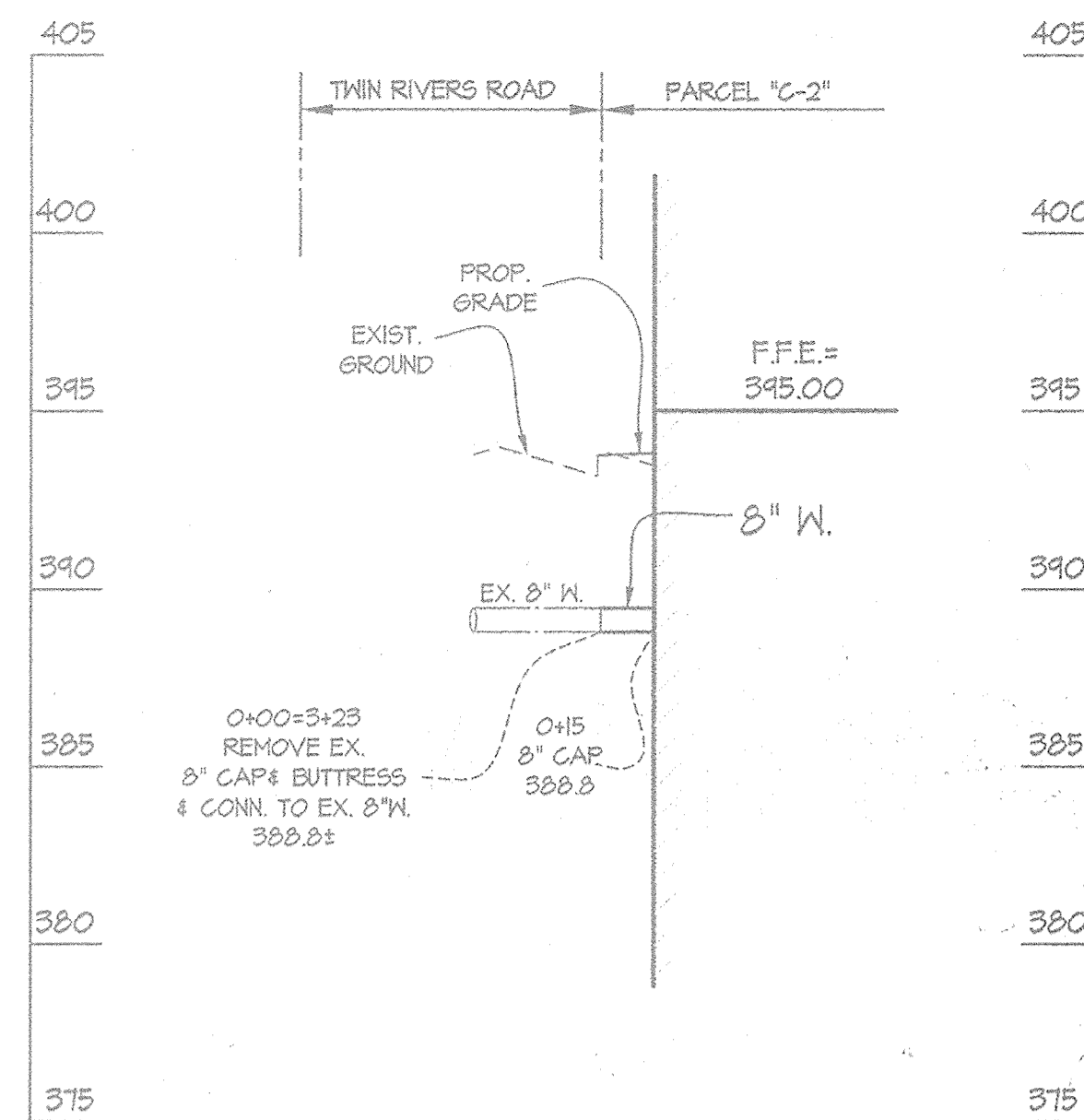
PROFESSIONAL CERTIFICATION
 I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 14831
 EXPIRATION DATE: MAY 21, 2018

REVISED C-2 ESD DRAINAGE AREA MAP *NO ASBUILT INFORMATION 1/10/2019*
DOWNTOWN COLUMBIA
WARFIELD NEIGHBORHOOD BLOCKS W-2 & W-5
PARCELS C-1 & C-2
 GREEN MIXED USE BUILDING
 PLAT No. 22455-22460
 ELECTION DISTRICT No. 5
 HOWARD COUNTY, MARYLAND

SCALE	ZONING	G. L. W. FILE NO.
1"=30'	NT	12078
DATE	TAX MAP - GRID	SHEET
APRIL, 2017	36 - 01	18 OF 47

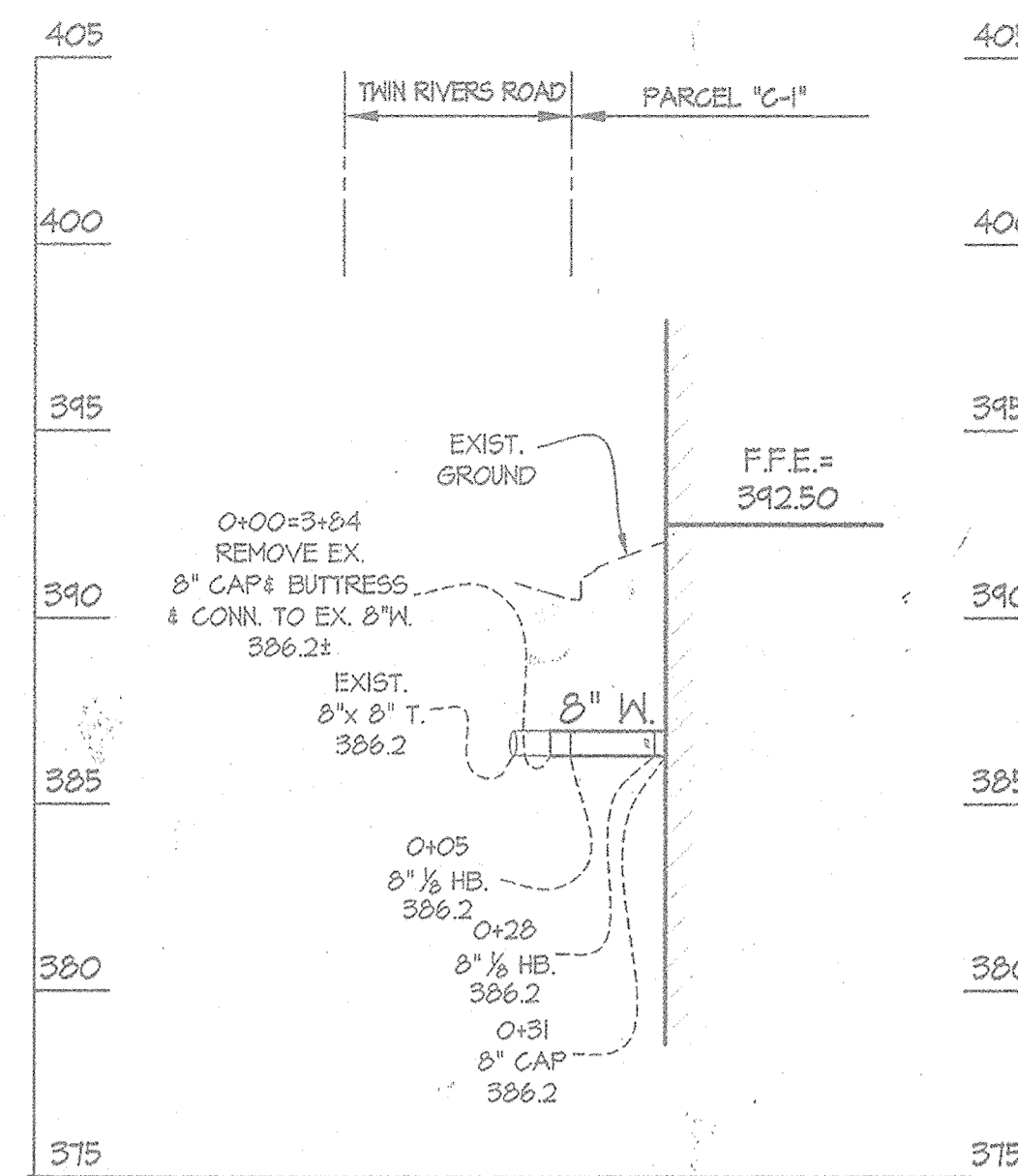


L:\CADD\DRAWINGS\11053\12078 Columbia Town Center - 28 - Par. C1 & C2 PLANS BY GLW\SDP\Redlines\Program\Replacement_SDP-03091618R.dwg, PLOTTED: 4/17/2017 10:26 AM, LAST SAVED: 4/14/2017 5:48 PM, PLOTTED BY: Mike Troppen



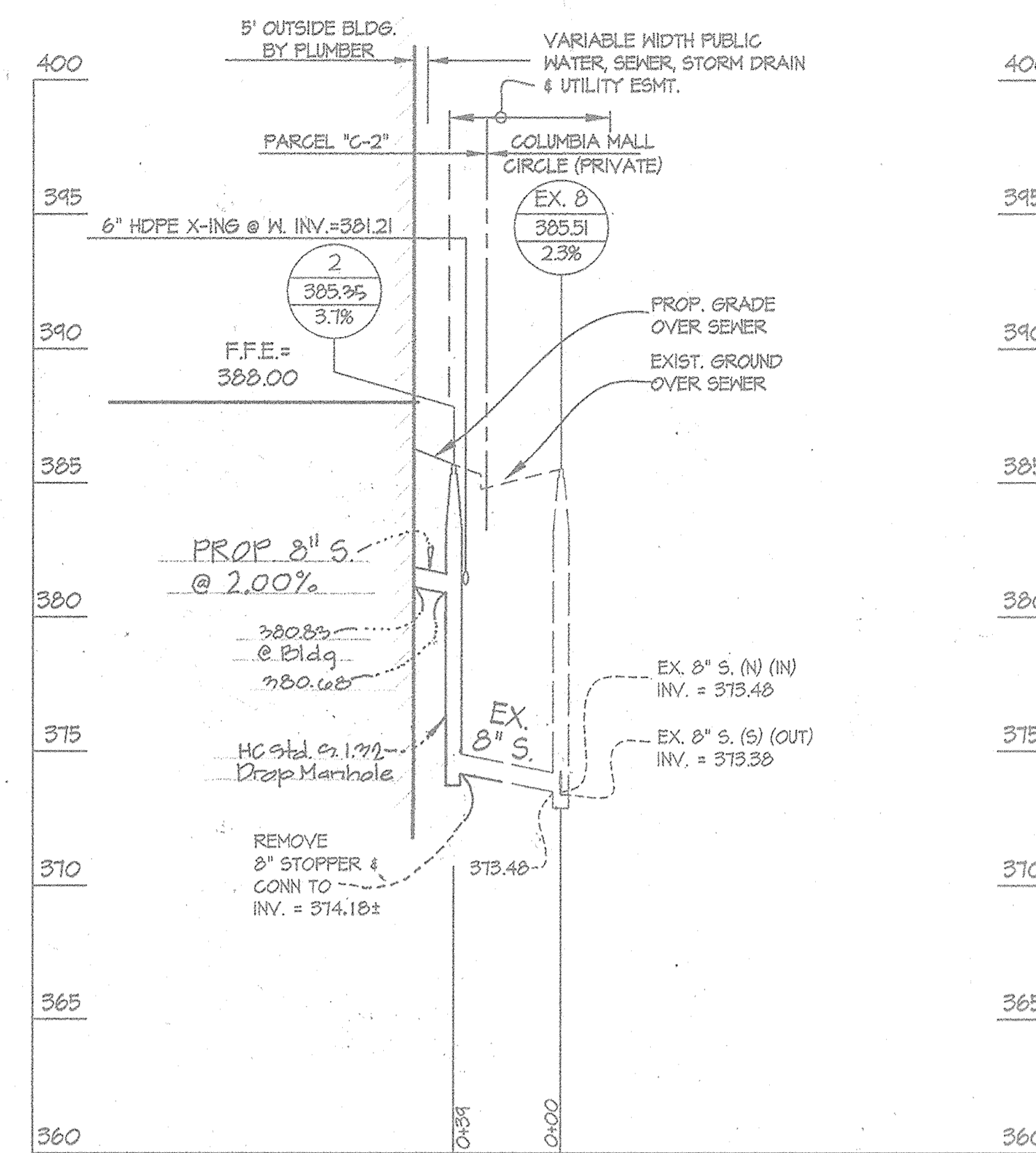
WATER PROFILE PARCEL C-2

SCALE: 1" = 50' HORIZONTAL
1" = 5' VERTICAL



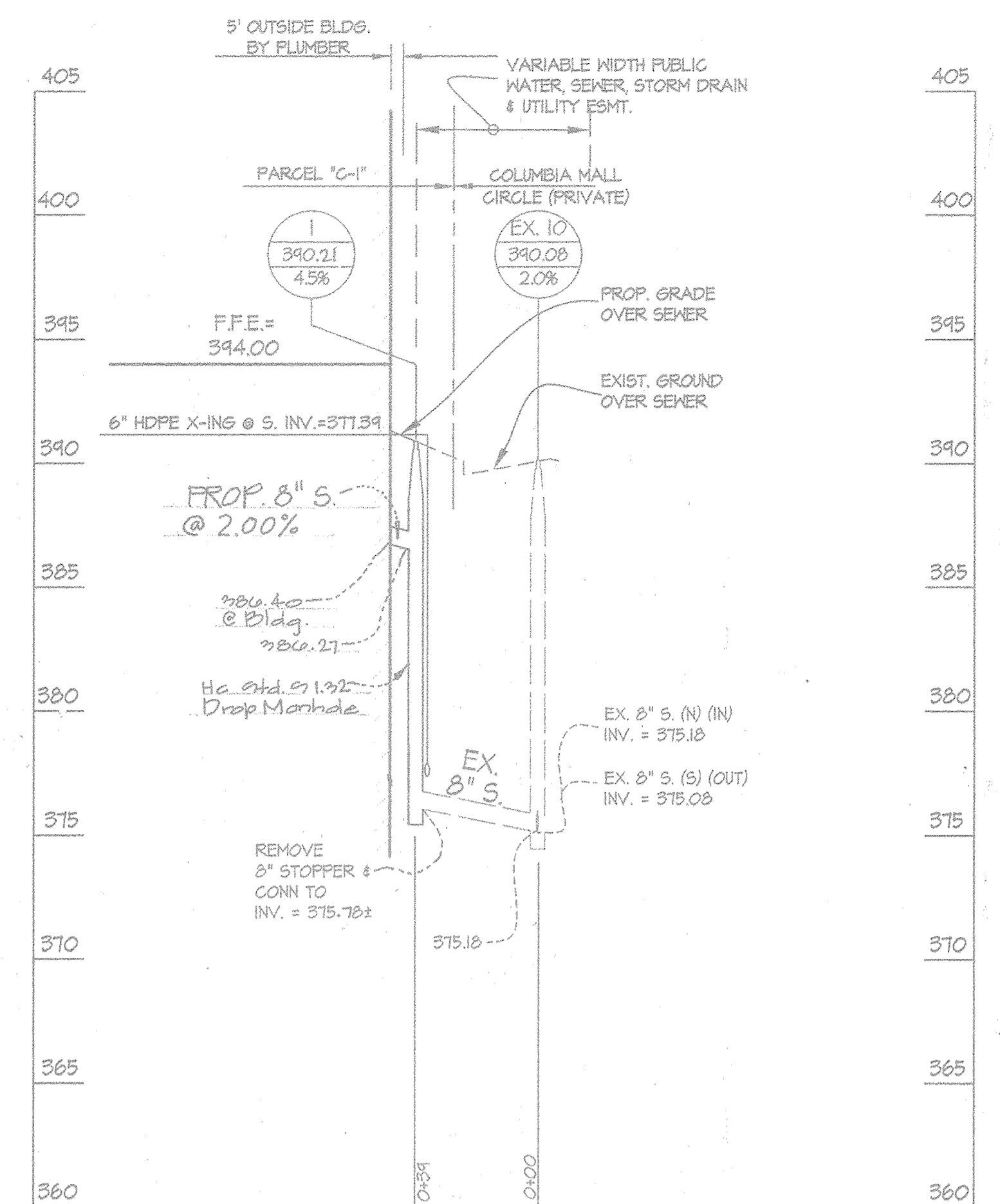
WATER PROFILE PARCEL C-1

SCALE: 1" = 50' HORIZONTAL
1" = 5' VERTICAL



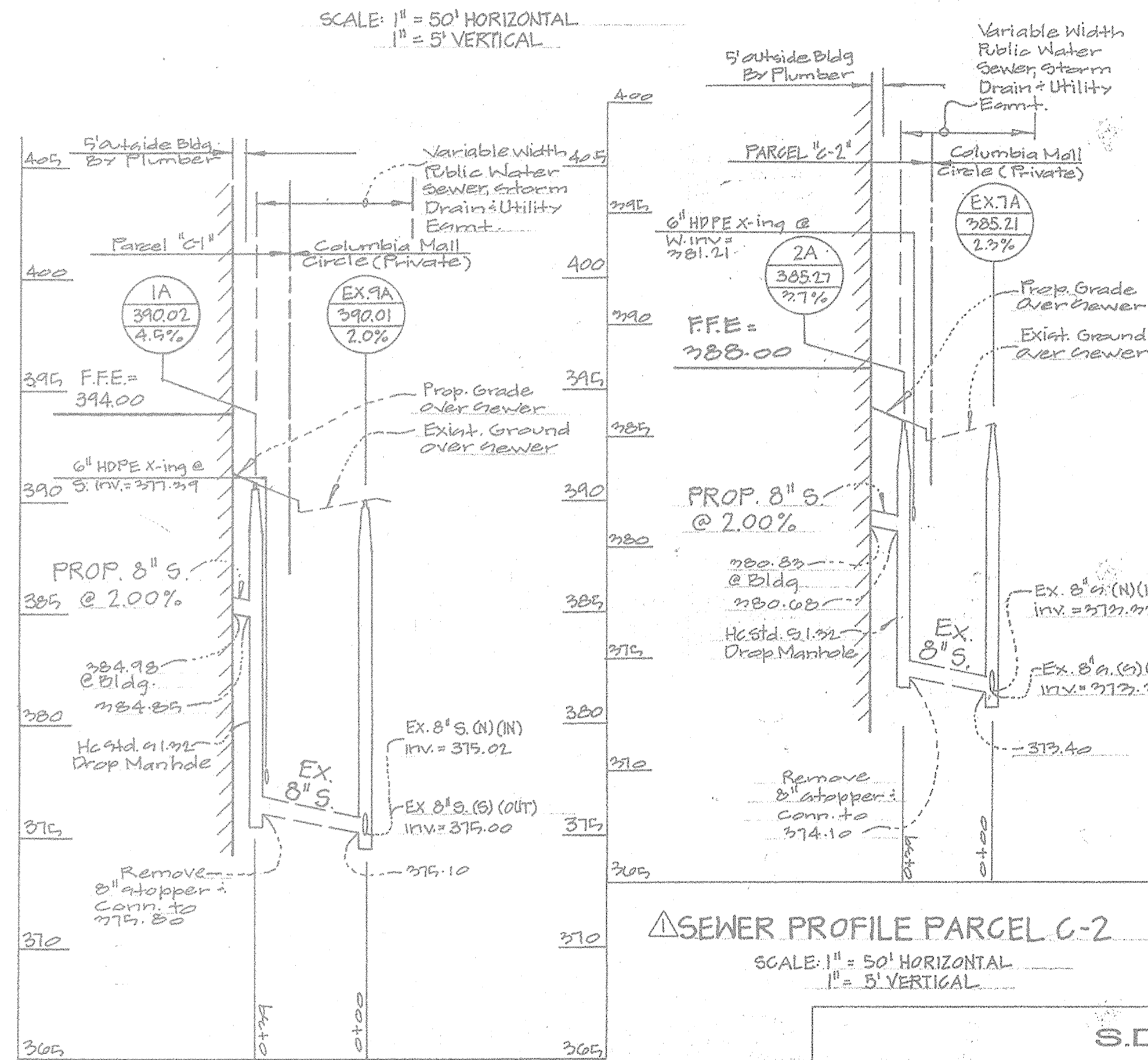
SEWER PROFILE PARCEL C-2

SCALE: 1" = 50' HORIZONTAL
1" = 5' VERTICAL



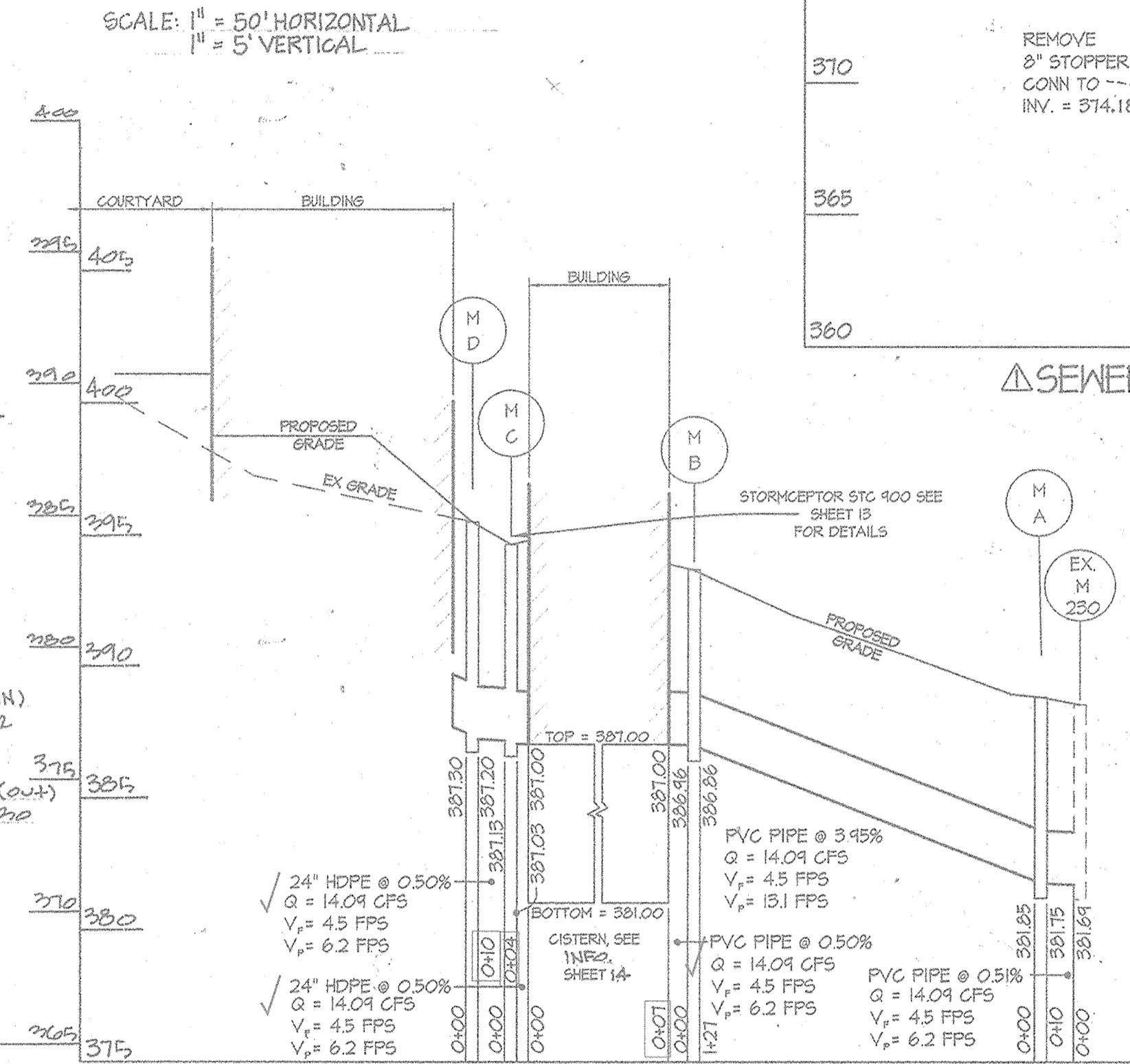
SEWER PROFILE PARCEL C-1

SCALE: 1" = 50' HORIZONTAL
1" = 5' VERTICAL



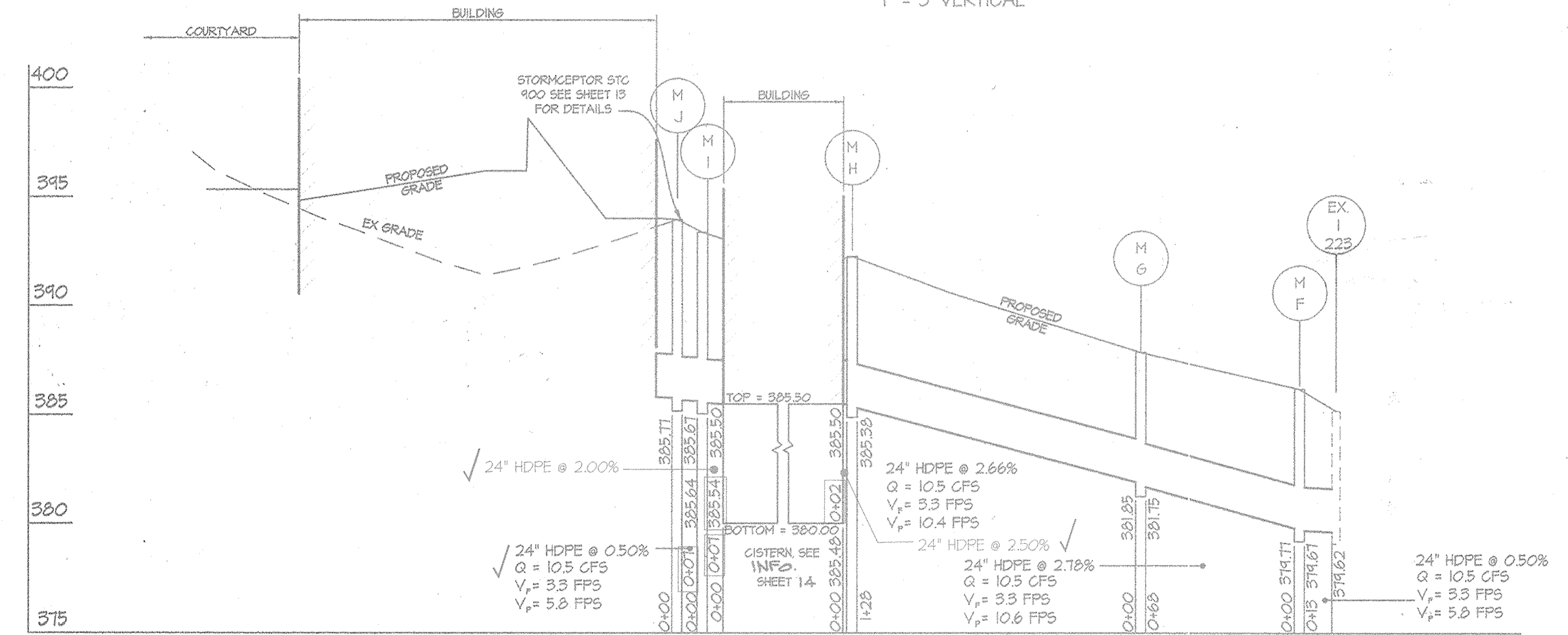
SEWER PROFILE PARCEL C-2

SCALE: 1" = 50' HORIZONTAL
1" = 5' VERTICAL



CISTERN PROFILE PARCEL C-1

SCALE: 1" = 50' HORIZONTAL
1" = 5' VERTICAL



CISTERN PROFILE PARCEL C-2

SCALE: 1" = 50' HORIZONTAL
1" = 5' VERTICAL

S.D. STRUCTURE SCHEDULE

NO.	TYPE	WIDTH (INSIDE)	TOP ELEVATION		INVERT ELEVATION		STANDARD DETAIL	NOTES	LOCATION	OWNERSHIP & MAINTENANCE
			UPPER	LOWER	UPPER	LOWER				
MH-A	MANHOLE	4'-0"	388.00	---	381.05	381.75	HO. CO. G. 512		SEE PLAN	PRIVATE
MH-B	MANHOLE	4'-0"	343.62	---	386.96	386.06	HO. CO. G. 512		SEE PLAN	PRIVATE
MH-C	STORMCEPTOR	6'-0"	344.51	---	387.13	387.03	SEE SHEET 13		SEE PLAN	PRIVATE
MH-D	MANHOLE	4'-0"	345.42	---	387.30	387.20	HO. CO. G. 512		SEE PLAN	PRIVATE
MH-E	MANHOLE	4'-0"	386.16	---	374.77	374.67	HO. CO. G. 512		SEE PLAN	PRIVATE
MH-F	MANHOLE	4'-0"	387.86	---	381.85	381.75	HO. CO. G. 512		SEE PLAN	PRIVATE
MH-H	MANHOLE	4'-0"	342.26	---	385.40	385.30	HO. CO. G. 512		SEE PLAN	PRIVATE
MH-I	MANHOLE	4'-0"	343.37	---	385.64	385.54	HO. CO. G. 512		SEE PLAN	PRIVATE
MH-J	STORMCEPTOR	6'-0"	343.44	---	385.77	385.67	SEE SHEET 13		SEE PLAN	PRIVATE

S.D. PIPE SUMMARY TABLE
PRIVATELY OWNED AND MAINTAINED

SIZE (in.)	TYPE	QUANTITY (L.F.)	REMARKS
24"	HDPE	371	

PROFESSIONAL CERTIFICATION
I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland, License No. 12975, Expiration Date: May 26 2020.

1/10/19
Date
Carl K. Gutschick
Professional Engineer
Maryland Reg. No. 12975

APPROVED
PLANNING BOARD OF HOWARD COUNTY
Date: November 20, 2014

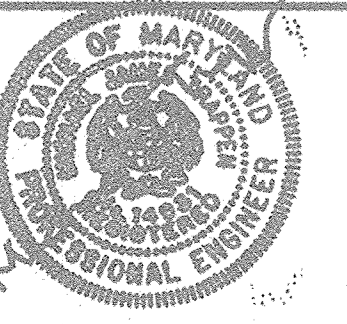
APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
Director: Val Ann Joplin 12-17-15
Chief, Division of Land Development: [Signature] 12-17-15
Chief, Development Engineering Division: [Signature] 9-14-15

GLWGUTSCHICK LITTLE & WEBER, P.A.
CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
3909 NATIONAL DRIVE - SUITE 250 - BURTNSVILLE OFFICE PARK
BURTNSVILLE, MARYLAND 20866
TEL: 301-421-4024 FAX: 410-880-1820 DC/VA: 301-989-2824 FAX: 301-421-4186

NO.	DATE	REVISION	BY	APPR.
5-10-16		Add new site from Columbia Mall Circle	gt	mjt

OWNER/PREPARED FOR:
PARCEL C PROPERTY, LLC
1751 PINNACLE DRIVE
SUITE 700
MCLEAN, VIRGINIA 22102
ATTN: KEVIN PETERKIN
703-205-5542

PROFESSIONAL CERTIFICATION
I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 12975, EXPIRATION DATE: MAY 26, 2020



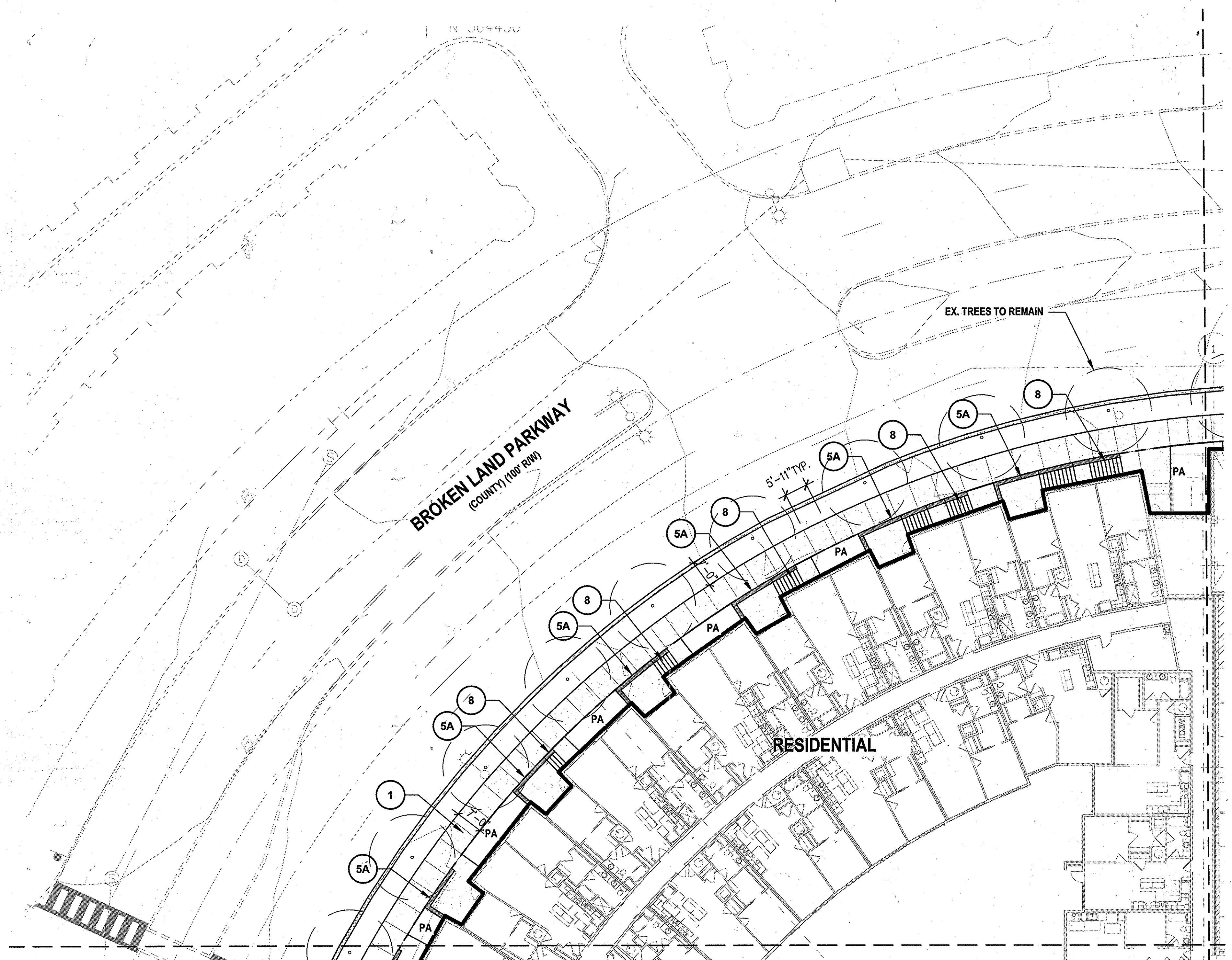
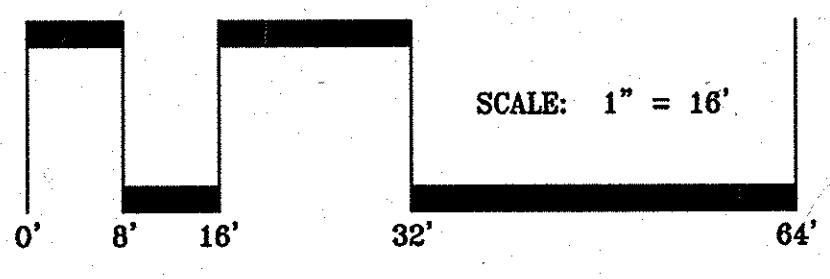
ASBUILTS
UTILITY PROFILES
DOWNTOWN COLUMBIA
WARFIELD NEIGHBORHOOD BLOCKS W-2 & W-5
PARCELS C-1 & C-2
GREEN MIXED USE BUILDING
PLAT No. 22455-22460
ELECTION DISTRICT No. 5
HOWARD COUNTY, MARYLAND

ASBUILT SHEET 5 OF 5

SCALE	ZONING	G. L. W. FILE NO.
AS SHOWN	NT	12078
DATE	TAX MAP - GRID	SHEET
NOV. 2018 AUG., 2015	36 - 01	19 OF 47

MATERIALS LEGEND		
1	L308	CONCRETE PAVING - PEDESTRIAN SECTION
2A	L308	INTEGRAL CONCRETE PAVING - PEDESTRIAN SECTION COLOR TYPE 2A
2B	L308	INTEGRAL CONCRETE PAVING - PEDESTRIAN SECTION COLOR TYPE 2B
3A	L308	CONCRETE PAVING - PEDESTRIAN SECTION
3B	L308	CONCRETE PAVING - VEHICULAR SECTION
4	L309	CONCRETE PAVING - PEDESTRIAN SECTION
5A	L302	BRICK WALL TYPE C (STOOP WALL)
5B	L302	BRICK WALL TYPE A (12" W) / MICRO-BIORETENTION PLANTER AT BUILDING
5C	L302	BRICK WALL TYPE B (24" W) / MICRO-BIORETENTION PLANTER AT BUILDING
6A	L301	STONE WALL TYPE A (12" W) / MICRO-BIORETENTION PLANTER AT BUILDING
6B	L301	STONE WALL TYPE B (24" W) / MICRO-BIORETENTION PLANTER AT BUILDING
6C		STONE BLOCK SEATWALL SUPPLIER: CHARLES LUCK STONE MATERIAL: CLEAR STREAM STONE BLOCK SAMPLE TO BE APPROVED BY LANDSCAPE ARCHITECT
7	L307	STONE STAIRS SUPPLIER: CHARLES LUCK STONE MATERIAL: CLEAR STREAM STONE BLOCK SAMPLE TO BE APPROVED BY LANDSCAPE ARCHITECT
8	L307	CONCRETE STAIRS
9A	L304	STORMWATER PLANTER - COLUMBIA MALL CIRCLE
9B	L304	STORMWATER PLANTER - TWIN RIVERS ROAD
10		FLUSH CONCRETE CURB REF. CIVIL DWGS.
11	L306	SPLASH BLOCK
12	L202	SITE AMENITY - ORNAMENTAL POT
13	L202	SITE AMENITY - BIKE RACK
14	L304	BRIDGE/METAL GRATING
15	L304	METAL GRATING
16	L202	SITE AMENITY - LITTER & RECYCLING RECEPTACLES
17	L202	SITE AMENITY - BENCH

ABBREVIATIONS & SYMBOLS:
 PA - PLANTING AREA
 MB - MICRO-BIORETENTION PLANTING AREA
 ALIGN



MATCHLINE - SEE SHEET L111

MATCHLINE - SEE SHEET L112

APPROVED
 PLANNING BOARD OF HOWARD COUNTY
 Date: November 20, 2014

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
 Director: [Signature] Date: 12-17-15
 Chief, Division of Land Development: [Signature] Date: 12-17-15
 Chief, Development Engineering Division: [Signature] Date: 9-14-15

DESIGN COLLECTIVE	
ARCHITECTURE, PLANNING, INTERIORS WWW.DESIGNCOLLECTIVE.COM	604 EAST PEACE STREET, SUITE 300 BALTIMORE, MARYLAND 21202 T: 410.685.6655 F: 410.539.6142
DES. XXX	DRN. XXX
CHK. XXX	DATE
REVISION	BY
APPR.	

OWNER/PREPARED FOR:
 PARCEL C PROPERTY, LLC
 1751 PINNACLE DRIVE
 SUITE 700
 MCLEAN, VIRGINIA 22102
 ATTN: KEVIN PETERKIN
 703-205-5542



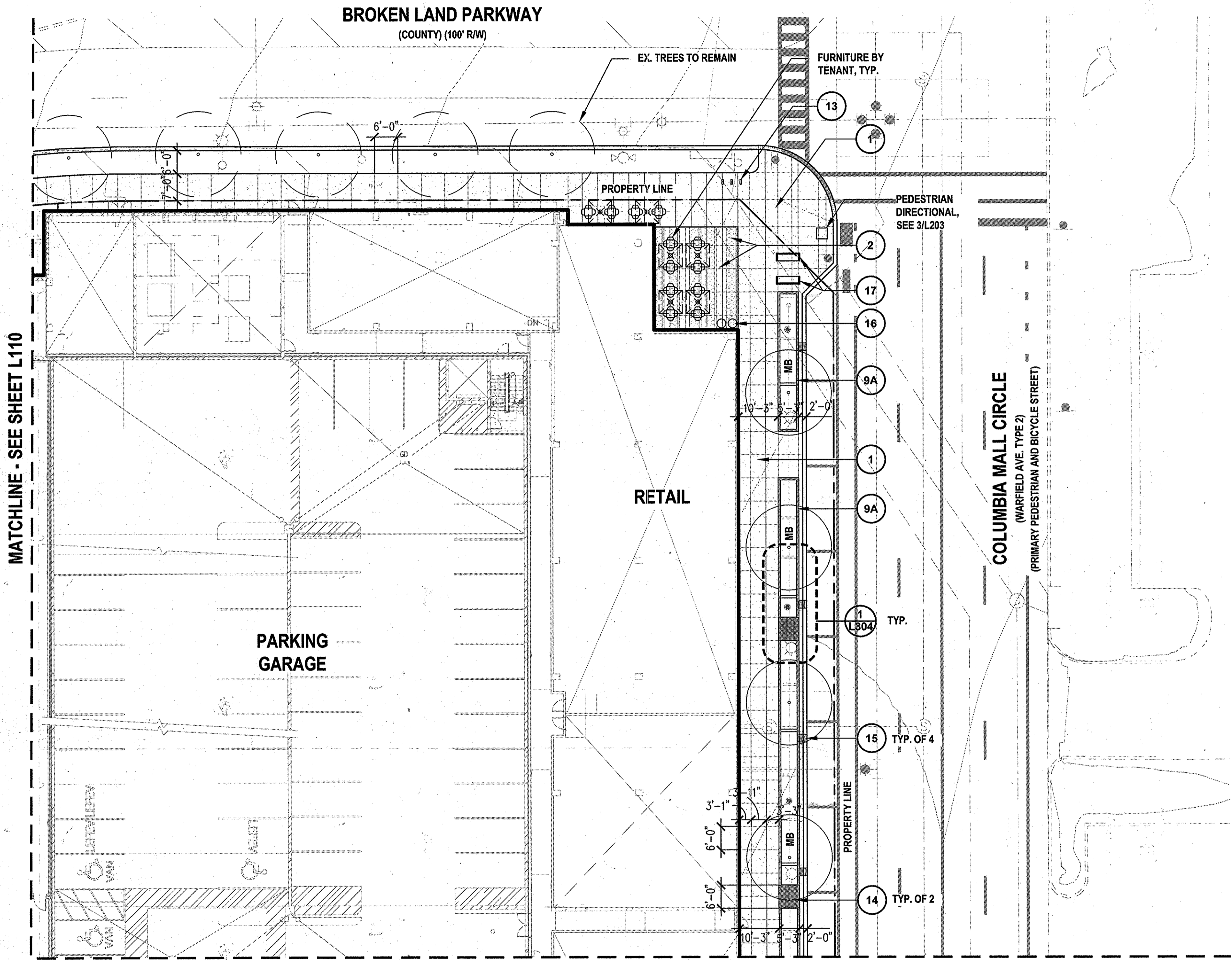
STREETSCAPE ENLARGEMENT PLAN
 DOWNTOWN COLUMBIA
 WARFIELD NEIGHBORHOOD BLOCKS W-2 & W-5
 PARCELS C-1 & C-2
 GREEN MIXED USE BUILDING
 PLAT No. 22455-22460
 ELECTION DISTRICT No. 5
 HOWARD COUNTY, MARYLAND

SCALE	ZONING	G. L. W. FILE No.
1/16" = 1'-0"	NT	12078
DATE	TAX MAP - GRID	SHEET
AUG., 2015	36 - 01	21 OF 47

L110

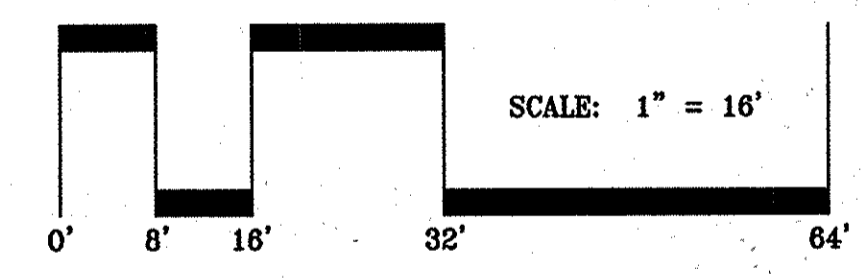
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 PLOTTED: 8/14/2015 8:52 PM, LAST SAVED: 8/14/2015 12:25 PM, PLOTTED BY: Kristin Ward
 © GLW 2015

MATERIALS LEGEND		
1	1 L308	CONCRETE PAVING - PEDESTRIAN SECTION
2A	1 L308	INTEGRAL CONCRETE PAVING - PEDESTRIAN SECTION COLOR TYPE 2A
2B	1 L308	INTEGRAL CONCRETE PAVING - PEDESTRIAN SECTION COLOR TYPE 2B
3A	1 L308	CONCRETE PAVING - PEDESTRIAN SECTION
3B	2 L308	CONCRETE PAVING - VEHICULAR SECTION
4	1 L309	CONCRETE PAVING - PEDESTRIAN SECTION
5A	4 L302	BRICK WALL TYPE C (STOOP WALL)
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6A	2 L301	STONE WALL TYPE A (12" W) / MICRO-BIORETENTION PLANTER AT BUILDING
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8	2 L307	CONCRETE STAIRS
9A	1 L304	STORMWATER PLANTER - COLUMBIA MALL CIRCLE
9B	2 L304	STORMWATER PLANTER - TWIN RIVERS ROAD
10		FLUSH CONCRETE CURB REF. CIVIL DWGS.
11	2 L306	SPLASH BLOCK
12	4 L202	SITE AMENITY - ORNAMENTAL POT
13	2 L202	SITE AMENITY - BIKE RACK
14	1 L304	BRIDGEMETAL GRATING
15	1 L304	METAL GRATING
16	1 L202	SITE AMENITY - LITTER & RECYCLING RECEPTACLES
17	3 L202	SITE AMENITY - BENCH



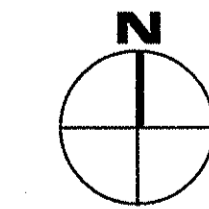
ABBREVIATIONS & SYMBOLS:
 PA - PLANTING AREA
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ALIGN



MATCHLINE - SEE SHEET L110

MATCHLINE - SEE SHEET L113

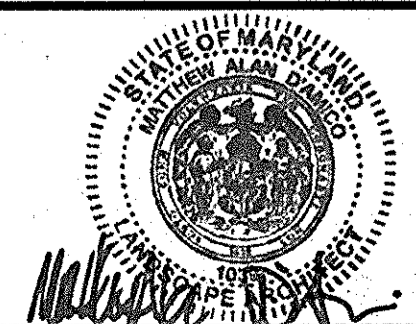


APPROVED
 PLANNING BOARD OF HOWARD COUNTY
 Date: November 20, 2014

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
 Director: Walter J. Jolly 12-17-15
 Chief, Division of Land Development: Kevin Peterkin 12-17-15
 Chief, Development Engineering Division: Chad P. ... 9.14.15

DES. XXX	DRN. XXX	CHK. XXX	DATE	REVISION	BY	APPR.

OWNER/PREPARED FOR:
 PARCEL C PROPERTY, LLC
 1751 PINNACLE DRIVE
 SUITE 700
 MCLEAN, VIRGINIA 22102
 ATTN: KEVIN PETERKIN
 703-205-5542



STREETSCAPE ENLARGEMENT PLAN
 DOWNTOWN COLUMBIA
 WARFIELD NEIGHBORHOOD BLOCKS W-2 & W-5
 PARCELS C-1 & C-2
 GREEN MIXED USE BUILDING
 PLAT No. 22455-22460

SCALE	ZONING	G. L. W. FILE No.
1/16"=1'-0"	NT	12078
DATE	TAX MAP - GRID	SHEET
AUG., 2015	36 - 01	22 OF 47

L111

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 PLOTTED: 8/14/2015 5:52 PM, LAST SAVE: 8/14/2015 12:25 PM, PLOTTED BY: Kristin Ward

*** ART DESIGN CRITERIA:**

ART WILL BE SCALED APPROPRIATELY TO BOTH ENHANCE THE GATEWAY EXPERIENCE, CREATE A DRAMATIC SENSE OF ARRIVAL AND COMPLEMENT THE ARCHITECTURE.

ART WILL BE DESIGNED AND LOCATED TO ENGAGE THE PEDESTRIAN. PEDESTRIANS WILL BE ALLOWED TO WALK AROUND AND POSSIBLY THROUGH THE INSTALLATION.

PLANTERS, SEAT WALLS AND LANDSCAPE MAY BE RESHAPED AS NEEDED TO EMBRACE THE ART AND COMPLEMENT THE INSTALLATION (APPLICANT WILL CONSULT DPZ REGARDING REQUIREMENTS TO RED-LINE THE SDP TO REFLECT CHANGES).

THE ART IS INTENDED TO BE DYNAMIC AND VISUALLY INTERESTING. IT MAY CONSIST OF MULTIPLE PIECES THAT COMPLEMENT ONE ANOTHER. IT NEED NOT BE SYMMETRICAL.

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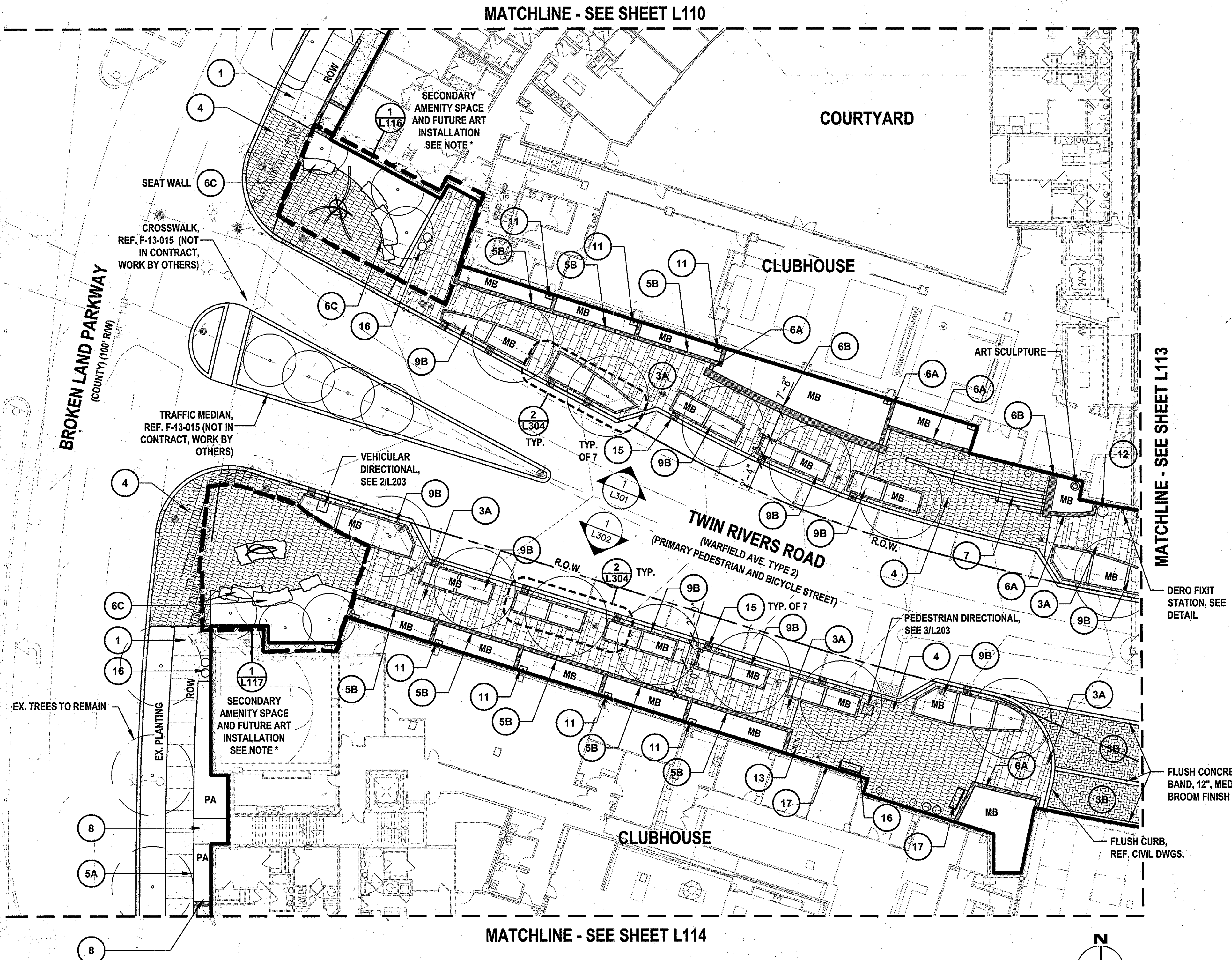
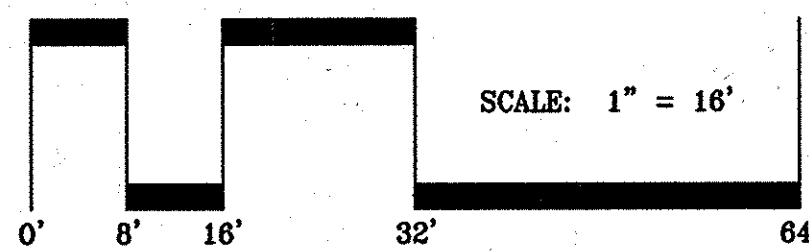
PERMANENT NEIGHBORHOOD IDENTIFICATION SIGNAGE:

PERMANENT NEIGHBORHOOD IDENTIFICATION SIGNAGE IS PROPOSED TO BE RELOCATED OFF OF THE C-1 AND C-2 SITE TO A POINT THAT WILL BE DETERMINED BY THE TOWN CENTER COMMUNITY ASSOCIATION AND THE DOWNTOWN PARTNERSHIP THAT TAKES THE BROADER WARFIELD TRIANGLE AREA INTO ACCOUNT.

ABBREVIATIONS & SYMBOLS:

PA - PLANTING AREA
MB - MICRO-BIORETENTION PLANTING AREA

ALIGN



MATERIALS LEGEND		
1	1 L308	CONCRETE PAVING - PEDESTRIAN SECTION
2A	1 L308	INTEGRAL CONCRETE PAVING - PEDESTRIAN SECTION COLOR TYPE 2A
2B	1 L308	INTEGRAL CONCRETE PAVING - PEDESTRIAN SECTION COLOR TYPE 2B
3A	1 L308	CONCRETE PAVING - PEDESTRIAN SECTION
3B	2 L308	CONCRETE PAVING - VEHICULAR SECTION
4	1 L309	CONCRETE PAVING - PEDESTRIAN SECTION
5A	4 L302	BRICK WALL TYPE C (STOOP WALL)
5B	2 L302	BRICK WALL TYPE A (12" W) / MICRO-BIORETENTION PLANTER AT BUILDING
5C	3 L302	BRICK WALL TYPE B (24" W) / MICRO-BIORETENTION PLANTER AT BUILDING
6A	2 L301	STONE WALL TYPE A (12" W) / MICRO-BIORETENTION PLANTER AT BUILDING
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9A	1 L304	STORMWATER PLANTER - COLUMBIA MALL CIRCLE
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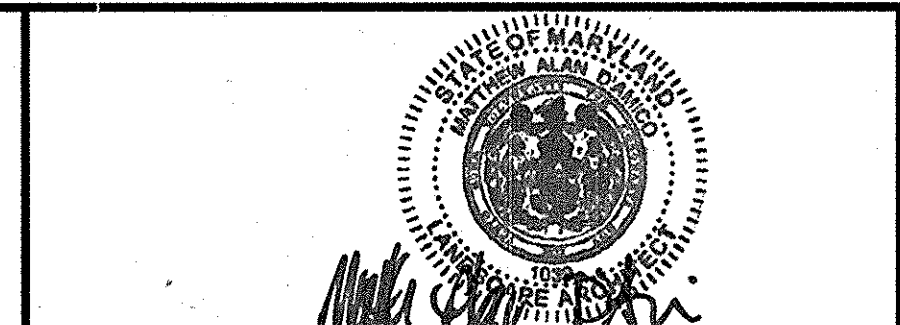
APPROVED
PLANNING BOARD OF HOWARD COUNTY
Date: November 20, 2014

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
Director: Valerio J. Jolly Date: 12-17-15
Chief, Division of Land Development: Kevin Peterkin Date: 12-17-15
Chief, Development Engineering Division: Chris Clark Date: 9-14-15

DESIGN COLLECTIVE
ARCHITECTURE, PLANNING, INTERIORS
603 EAST FRONT STREET, SUITE 300
BALTIMORE, MARYLAND 21202
T: 410.685.8655 F: 410.539.6542

DES. XXX	DRN. XXX	CHK. XXX	DATE	REVISION	BY	APPR.

OWNER/PREPARED FOR:
PARCEL C PROPERTY, LLC
1751 PINNACLE DRIVE
SUITE 700
MCLEAN, VIRGINIA 22102
ATTN: KEVIN PETERKIN
703-205-5542



STREETSCAPE ENLARGEMENT PLAN
DOWNTOWN COLUMBIA
WARFIELD NEIGHBORHOOD BLOCKS W-2 & W-5
PARCELS C-1 & C-2
GREEN MIXED USE BUILDING
PLAT No. 22455-22460
ELECTION DISTRICT No. 5
HOWARD COUNTY, MARYLAND

SCALE	ZONING	G. L. W. FILE No.
1/16"=1'-0"	NT	12078
DATE	TAX MAP - GRID	SHEET
AUG, 2015	36 - 01	23 OF 47

L112

*** ART DESIGN CRITERIA:**

ART WILL BE SCALED APPROPRIATELY TO BOTH ENHANCE THE GATEWAY EXPERIENCE, CREATE A DRAMATIC SENSE OF ARRIVAL AND COMPLIMENT THE ARCHITECTURE.

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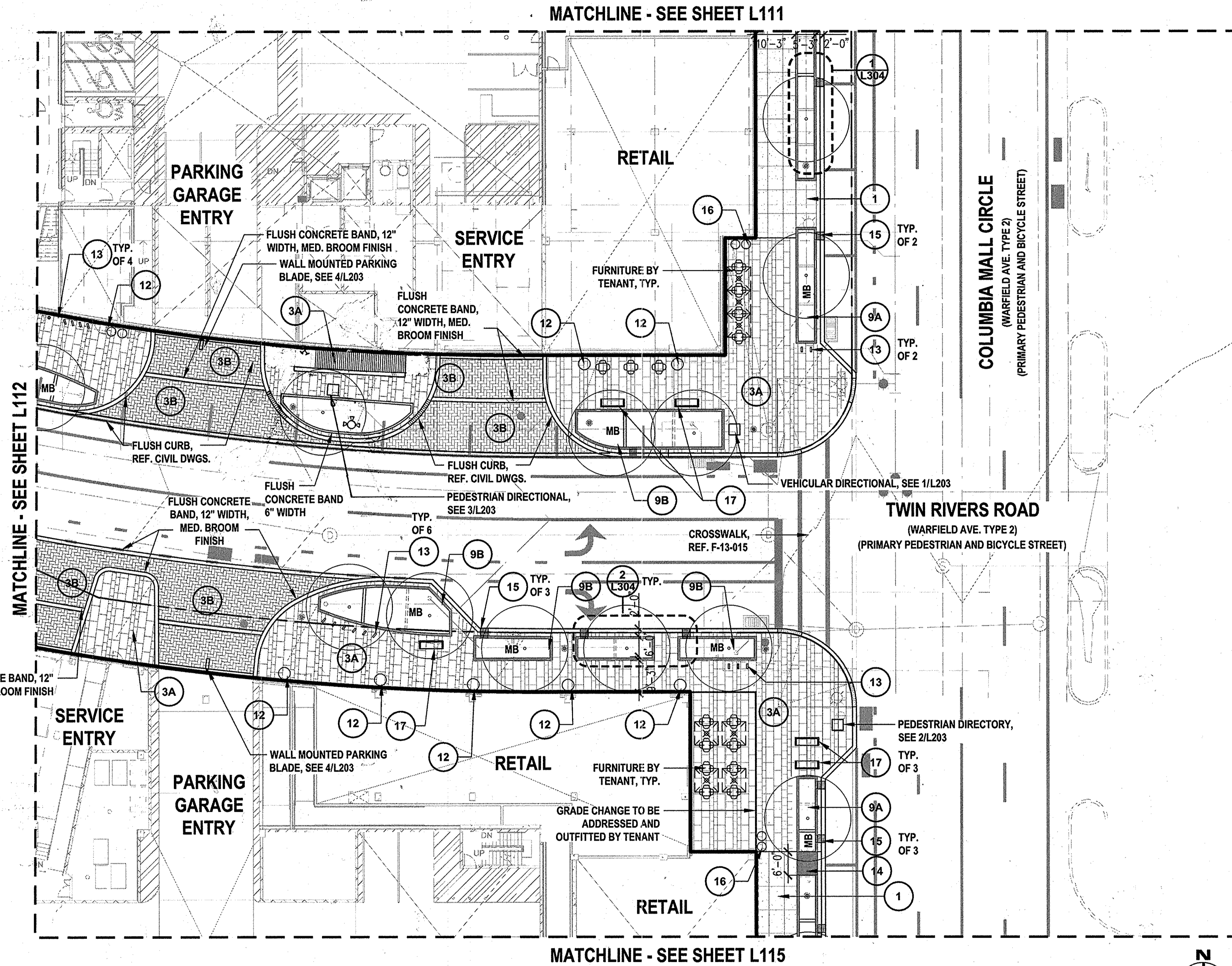
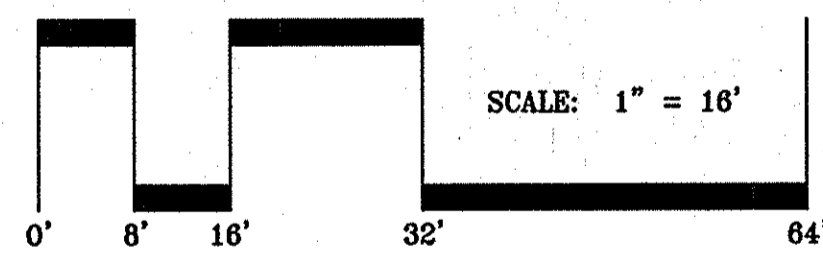
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ABBREVIATIONS & SYMBOLS:

PA - PLANTING AREA
MB - MICRO-BIORETENTION PLANTING AREA

ALIGN



MATERIALS LEGEND		
1	L308	CONCRETE PAVING - PEDESTRIAN SECTION
2A	L308	INTEGRAL CONCRETE PAVING - PEDESTRIAN SECTION COLOR TYPE 2A
2B	L308	INTEGRAL CONCRETE PAVING - PEDESTRIAN SECTION COLOR TYPE 2B
3A	L308	CONCRETE PAVING - PEDESTRIAN SECTION
3B	L308	CONCRETE PAVING - VEHICULAR SECTION
4	L309	CONCRETE PAVING - PEDESTRIAN SECTION
5A	L302	BRICK WALL TYPE C (STOOP WALL)
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8	L307	CONCRETE STAIRS
9A	L304	STORMWATER PLANTER - COLUMBIA MALL CIRCLE
9B	L304	STORMWATER PLANTER - TWIN RIVERS ROAD
10		FLUSH CONCRETE CURB REF. CIVIL DWGS.
11	L306	SPLASH BLOCK
12	L202	SITE AMENITY - ORNAMENTAL POT
13	L202	SITE AMENITY - BIKE RACK
14	L304	BRIDGEMETAL GRATING
15	L304	METAL GRATING
16	L202	SITE AMENITY - LITTER & RECYCLING RECEPTACLES
17	L202	SITE AMENITY - BENCH

APPROVED
PLANNING BOARD OF HOWARD COUNTY

Date: November 20, 2014

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

Director: Vaccaro Date: 12-17-15

Chief, Division of Land Development: ... Date: 12-17-15

Chief, Development Engineering Division: ... Date: 9-14-15

DES. XXX	DRN. XXX	CHK. XXX	DATE	REVISION	BY	APPR.

DES. XXX	DRN. XXX	CHK. XXX	DATE	REVISION	BY	APPR.

OWNER/PREPARED FOR:
PARCEL C PROPERTY, LLC
1751 PINNACLE DRIVE
SUITE 700
MCLEAN, VIRGINIA 22102
ATTN: KEVIN PETERKIN
703-205-5542



STREETSCAPE ENLARGEMENT PLAN
DOWNTOWN COLUMBIA
WARFIELD NEIGHBORHOOD BLOCKS W-2 & W-5
PARCELS C-1 & C-2
GREEN MIXED USE BUILDING
PLAT No. 22455-22460
ELECTION DISTRICT No. 5

SCALE	ZONING	G. L. W. FILE No.
1/16" = 1'-0"	NT	12078
DATE	TAX MAP - GRD	SHEET
AUG., 2015	36 - 01	24 OF 47

L113

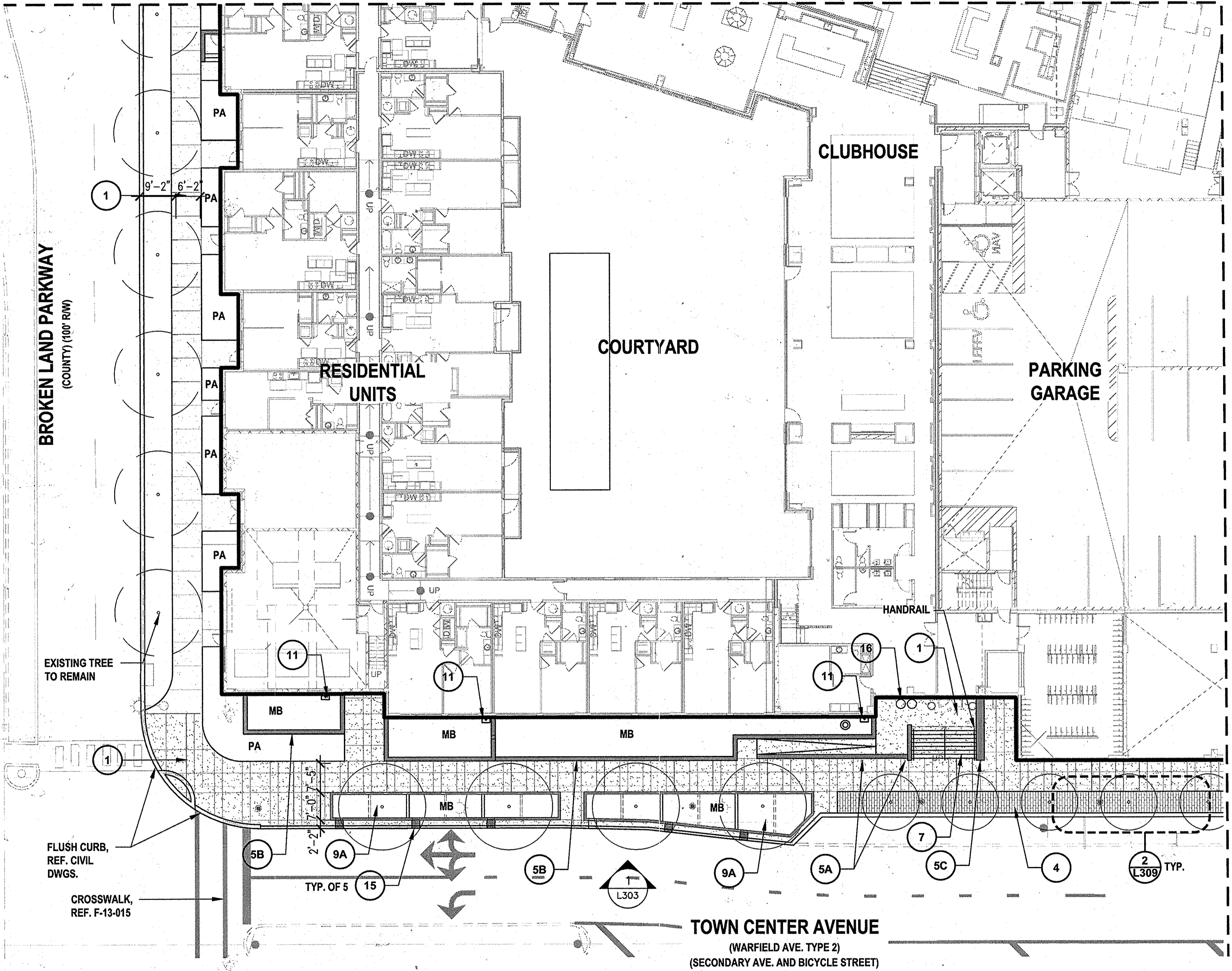
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MATERIALS LEGEND		
1	1 L308	CONCRETE PAVING - PEDESTRIAN SECTION
2A	1 L308	INTEGRAL CONCRETE PAVING - PEDESTRIAN SECTION COLOR TYPE 2A
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15	1 L304	METAL GRATING
16	1 L202	SITE AMENITY - LITTER & RECYCLING RECEPTACLES
17	3 L202	SITE AMENITY - BENCH

L114

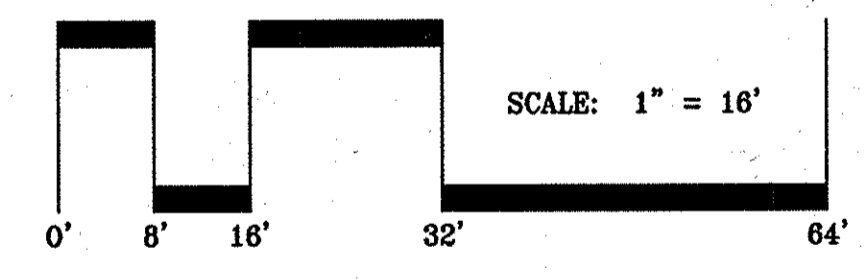
MATCHLINE - SEE SHEET L112

MATCHLINE - SEE SHEET L115



ABBREVIATIONS & SYMBOLS:
 PA - PLANTING AREA
 MB - MICRO-BIORETENTION PLANTING AREA

ALIGN



EXISTING TREE TO REMAIN

FLUSH CURB, REF. CIVIL DWGS.
 CROSSWALK, REF. F-13-015

TOWN CENTER AVENUE
 (WARFIELD AVE. TYPE 2)
 (SECONDARY AVE. AND BICYCLE STREET)

APPROVED PLANNING BOARD OF HOWARD COUNTY	
Date:	November 20, 2014
APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING	
Director	<i>William Jaffe</i> 12-17-15
Chief, Division of Land Development	<i>Kevin Peterkin</i> 12-17-15
Chief, Development Engineering Division	<i>Chris P. ...</i> 9-14-15

DESIGN COLLECTIVE	
ARCHITECTURE, PLANNING, INTERIORS	601 EAST PRATT STREET, SUITE 300
WWW.DESIGNCOLLECTIVE.COM	BALTIMORE, MARYLAND 21202
	T: 410.685.6655 F: 410.539.6142
DES. XXX	DRN. XXX
CHK. XXX	DATE
REVISION	BY
APPR.	

OWNER/PREPARED FOR:
 PARCEL C PROPERTY, LLC
 1751 PINNACLE DRIVE
 SUITE 700
 MCLEAN, VIRGINIA 22102
 ATTN: KEVIN PETERKIN
 703-205-5542



STREETSCAPE ENLARGEMENT PLAN
DOWNTOWN COLUMBIA
 WARFIELD NEIGHBORHOOD BLOCKS W-2 & W-5
 PARCELS C-1 & C-2
 GREEN MIXED USE BUILDING
 PLAT No. 22455-22460
 ELECTION DISTRICT No. 5

SCALE	ZONING	G. L. W. FILE No.
1/16"=1'-0"	NT	12078
DATE	TAX MAP - GRID	SHEET
AUG, 2015	36 - 01	25 OF 47

HOWARD COUNTY, MARYLAND

BROKEN LAND PARKWAY
(COUNTY) (100' R/W)

PARCEL C-1

PARCEL C-2

TWIN RIVERS ROAD
(WARFIELD AVE. TYPE 2)
(PRIMARY PEDESTRIAN AND BICYCLE STREET)

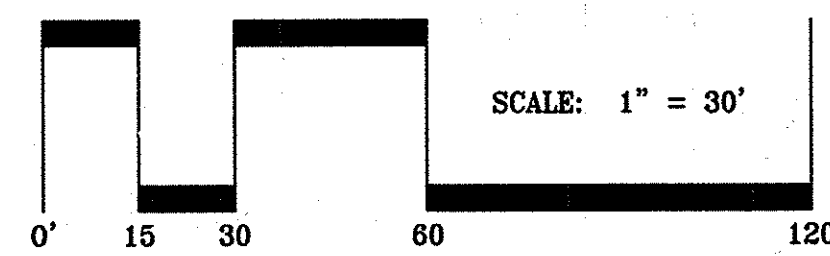
TOWN CENTER AVENUE
(WARFIELD AVE. TYPE 2) (SECONDARY AVE. AND BICYCLE STREET)

COLUMBIA MALL CIRCLE
(WARFIELD AVE. TYPE 2)
(PRIMARY PEDESTRIAN AND BICYCLE STREET)

LIGHTING LEGEND

Qty.	Key	Description
6	FX11	IN-GRADE UPLIGHT
30	FX14	PEDESTRIAN STREET LIGHT REFERENCE ROAD PLANS F-13-015
1	FX15	VEHICULAR STREET LIGHT REFERENCE ROAD PLANS F-13-015
4	FX16	EXISTING STREET LIGHT TO REMAIN REFERENCE ROAD PLANS F-13-015

NOTE:
REF. SHEET L201 - LIGHTING CUTSHEETS FOR FIXTURE INFORMATION
REF. ROAD CONSTRUCTION DWGS. F13-015



APPROVED
PLANNING BOARD OF HOWARD COUNTY

Date: November 20, 2014

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

Director: Valentino J. J. [Signature] Date: 12-17-15
 Chief, Division of Land Development
 Chief, Development Engineering Division

DESIGN COLLECTIVE

ARCHITECTURE, PLANNING, INTERIORS
601 EAST PRATT STREET, SUITE 300
BALTIMORE, MARYLAND 21202
WWW.DESIGNCOLLECTIVE.COM

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PARCEL C PROPERTY, LLC
1751 PINNACLE DRIVE
SUITE 700
MCLEAN, VIRGINIA 22102
ATTN: KEVIN PETERKIN
703-205-5542



OVERALL LIGHTING PLAN

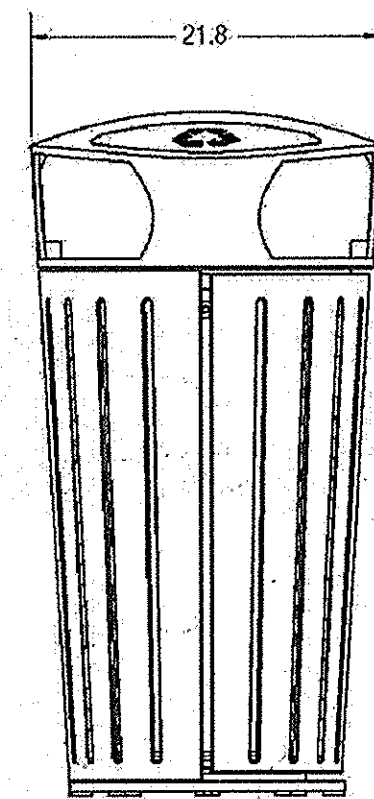
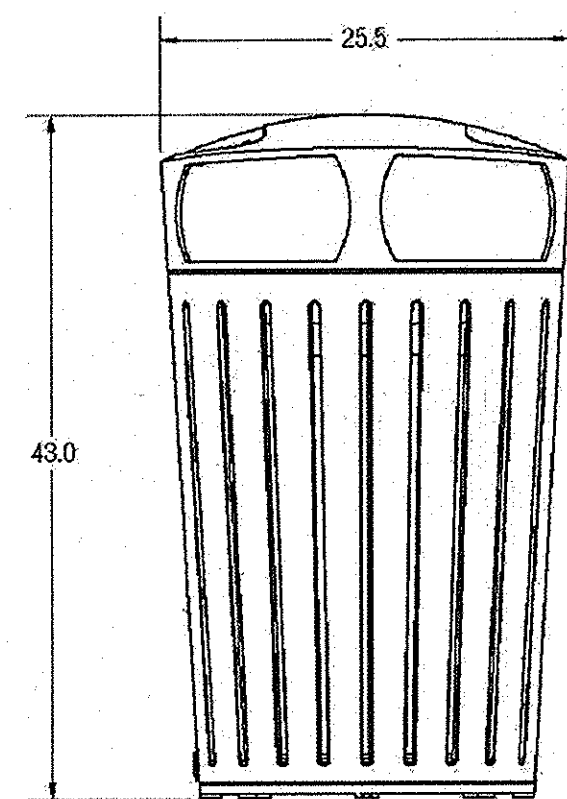
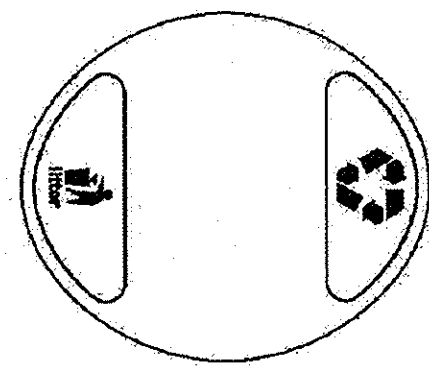
DOWNTOWN COLUMBIA
WARFIELD NEIGHBORHOOD BLOCKS W-2 & W-5
PARCELS C-1 & C-2
GREEN MIXED USE BUILDING
PLAT No. 22455-22460

SCALE 1"=30'-0"	ZONING NT	G. L. W. FILE No. 12078
DATE AUG., 2015	TAX MAP - GRID 36 - 01	SHEET 27 OF 47

HOWARD COUNTY, MARYLAND

ELECTION DISTRICT No. 5

L200



NOTE:
SEE MATERIALS PLANS FOR
LAYOUT AND LOCATIONS.

CUSTOMER APPROVAL:

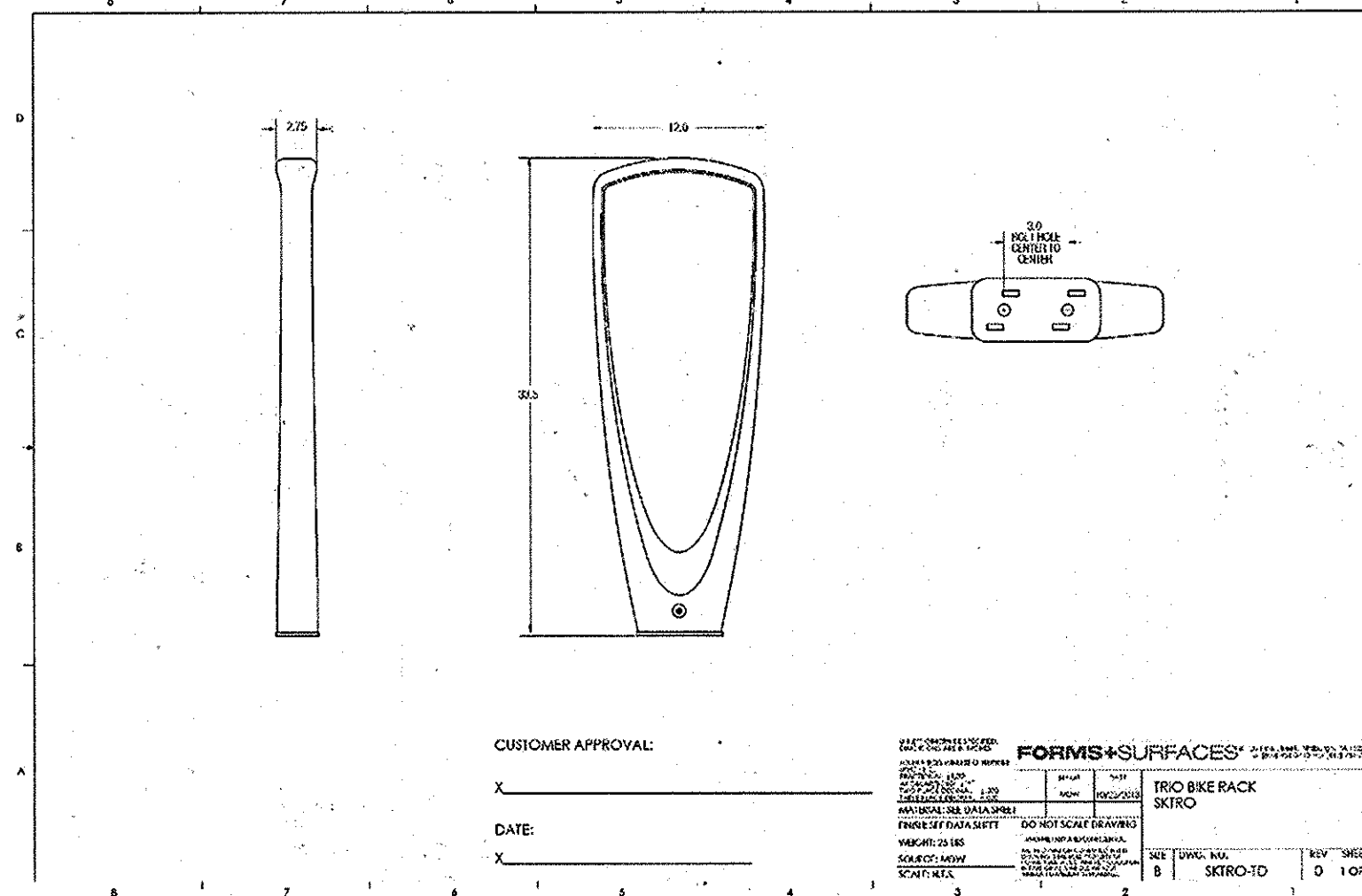
X _____

DATE:

X _____

UNLESS OTHERWISE SPECIFIED, DIMENSIONS ARE IN INCHES.		FORMS+SURFACES ® 50 Pine Street, Pittsburgh, PA 15222, Tel: (412) 461-0418 Fax: (412) 761-7840	
TOLERANCES: FRACTIONAL: ±1/32 ANGULAR: ±1° HOLE: ±.005 TWO FACE DECIMAL: ±.002 THREE FACE DECIMAL: ±.002	DATE: 01/01/2011	DISPATCH RECEPTACLE - 36 GAL (NO CONCRETE BASE)	
MATERIAL: SEE DATA SHEET	DO NOT SCALE DRAWING	SLDIS-136, SLDIS-216	
FINISH: SEE DATA SHEET	PROFESSIONAL AND CONFIDENTIAL		
WEIGHT: 112 LBS	THE INFORMATION CONTAINED IN THIS DRAWING IS THE PROPERTY OF LANDSCAPE FORMS, INC. IT IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN. IT IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, WITHOUT THE WRITTEN PERMISSION OF LANDSCAPE FORMS, INC.	SIZE: DWG. NO. B SLDIS-36-TD	REV. SHEET 0 1 OF 1

NOTE:
SEE MATERIALS PLANS FOR
LAYOUT AND LOCATIONS.



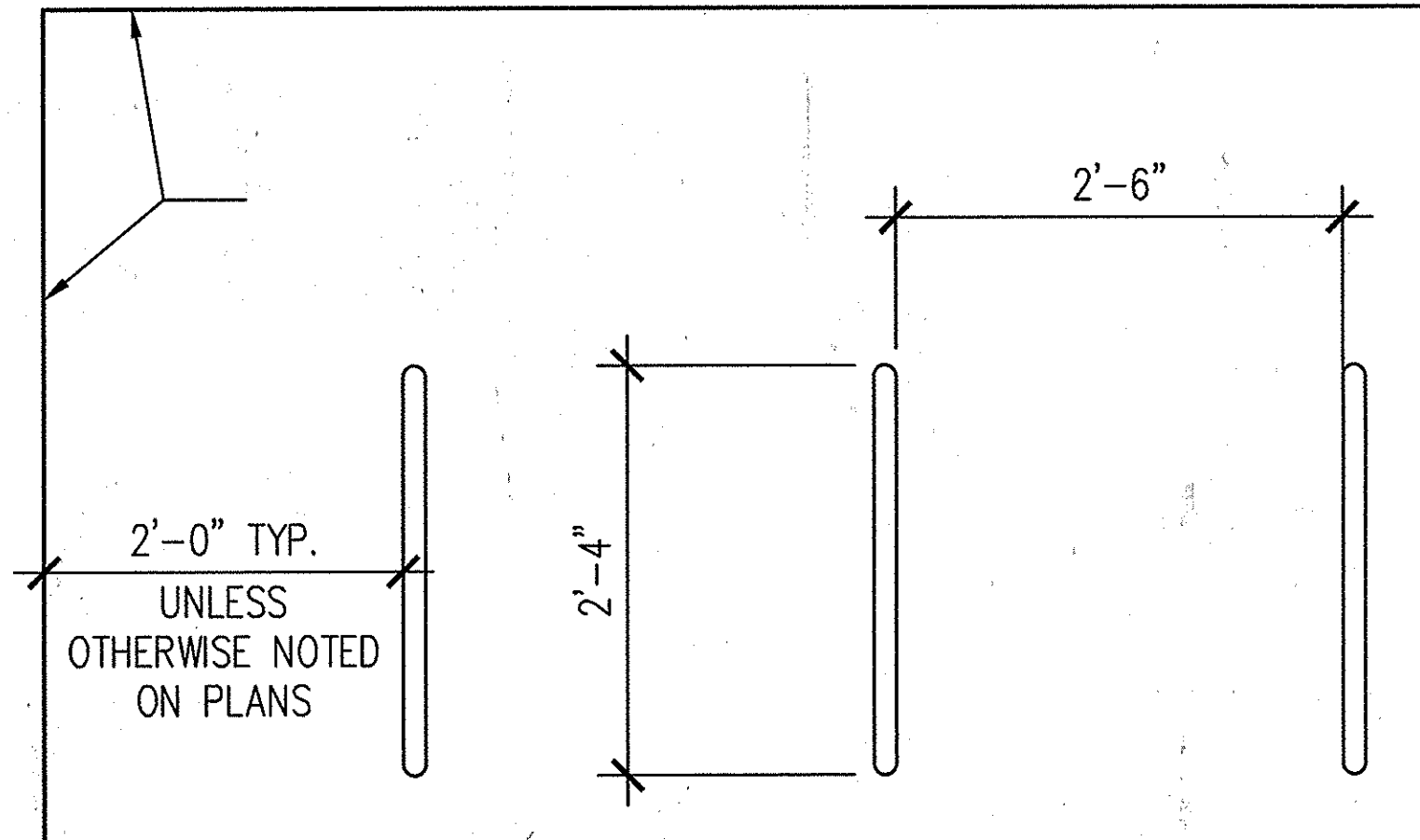
CUSTOMER APPROVAL:

X _____

DATE:

X _____

UNLESS OTHERWISE SPECIFIED, DIMENSIONS ARE IN INCHES.		FORMS+SURFACES ® 50 Pine Street, Pittsburgh, PA 15222, Tel: (412) 461-0418 Fax: (412) 761-7840	
TOLERANCES: FRACTIONAL: ±1/32 ANGULAR: ±1° HOLE: ±.005 TWO FACE DECIMAL: ±.002 THREE FACE DECIMAL: ±.002	DATE: 01/01/2011	TWO BIKE RACK SKINS	
MATERIAL: SEE DATA SHEET	DO NOT SCALE DRAWING		
FINISH: SEE DATA SHEET	PROFESSIONAL AND CONFIDENTIAL		
WEIGHT: 112 LBS	THE INFORMATION CONTAINED IN THIS DRAWING IS THE PROPERTY OF LANDSCAPE FORMS, INC. IT IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN. IT IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, WITHOUT THE WRITTEN PERMISSION OF LANDSCAPE FORMS, INC.	SIZE: DWG. NO. B SLDIS-36-TD	REV. SHEET 0 1 OF 1



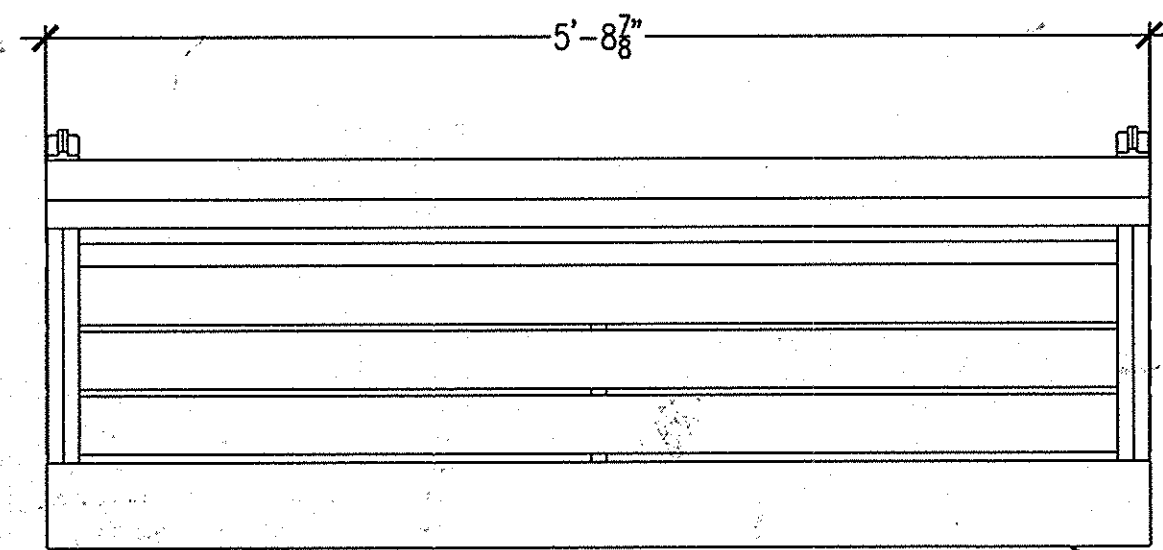
PLAN

ELEVATION

2'-0" TYP.
UNLESS
OTHERWISE NOTED
ON PLANS

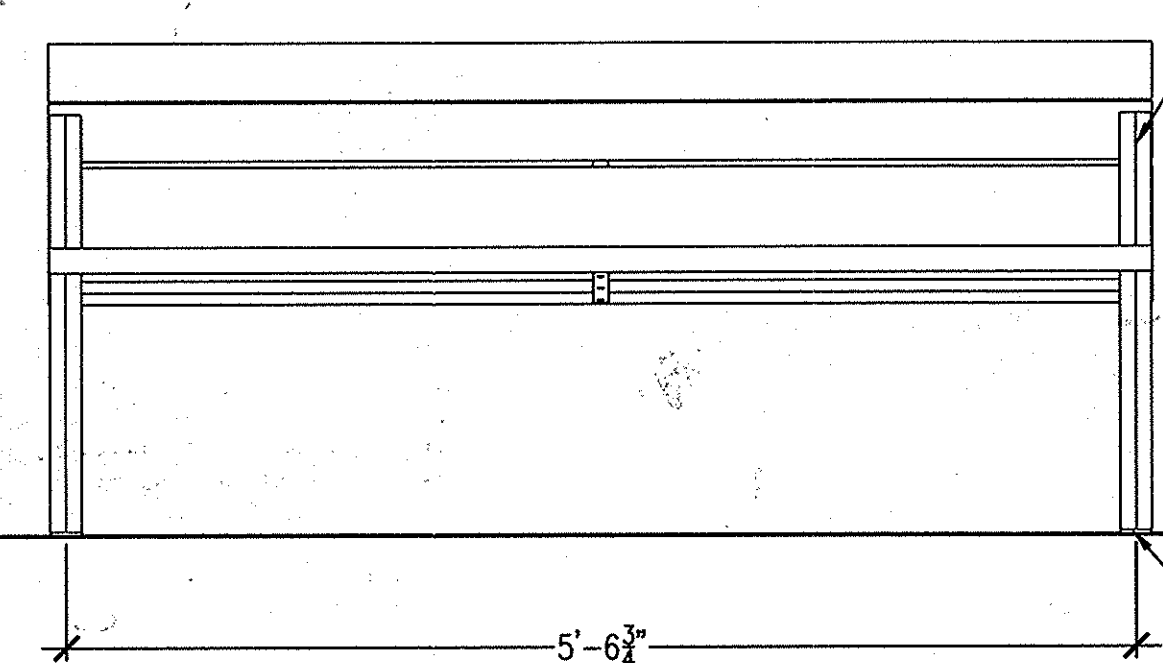
2'-0" TYP.
UNLESS
OTHERWISE NOTED
ON PLANS

1 TRASH AND RECYCLING RECEPTACLE
1" = 1'-0"



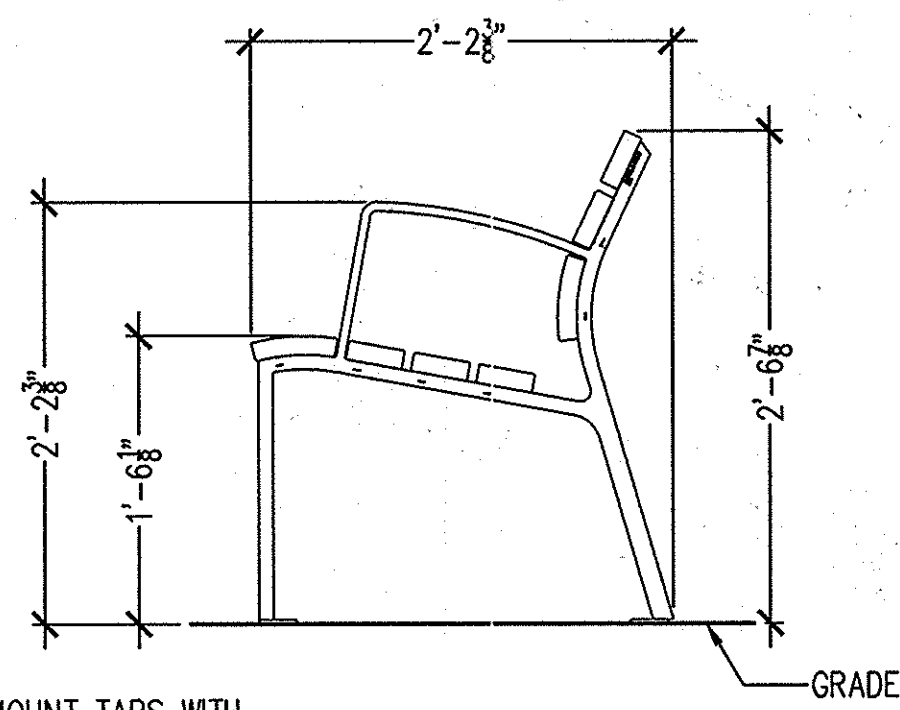
LANDSCAPE FORMS
SANTA AND COLE
NEOLIVIANO
69" SURFACE MOUNTED BENCH, WOOD

NOTE:
SEE MATERIALS PLANS FOR
LAYOUT AND LOCATIONS.



WOOD BOARD

ALUMINUM CASTING



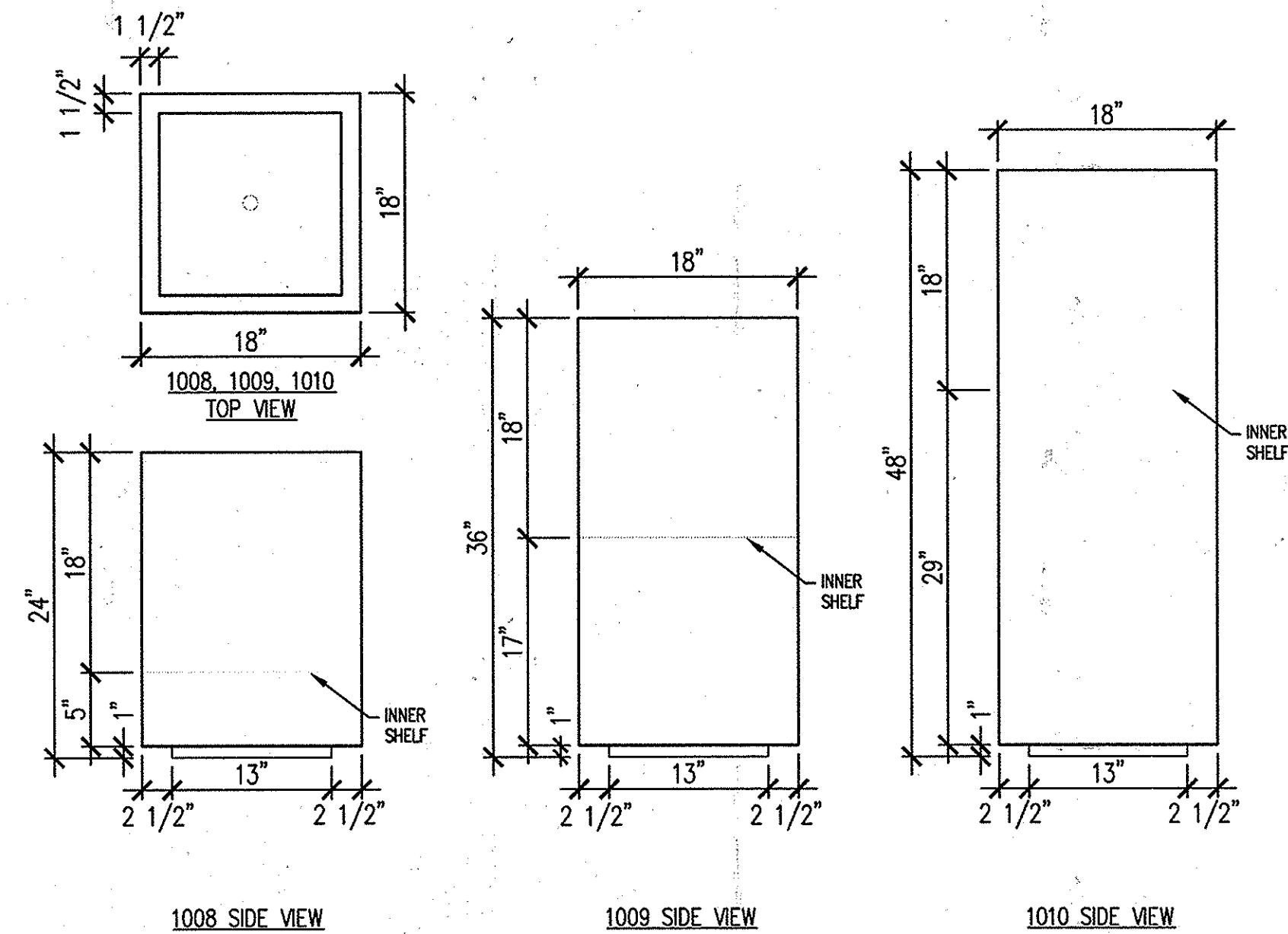
(4) SURFACE MOUNT TABS WITH
Ø 1/2" HOLE FOR ANCHORING.
NON-CORROSIVE HARDWARE
SUPPLIED BY OTHERS.

2 BIKE RACK
1" = 1'-0"

ORNAMENTAL POTS
MANU. ORE, INC.
1010 LARGE, 18" POWDERCOATED ALUMINUM, HAMMERED
BRONZE W/ DRAINAGE FITTINGS

- NOTES:
1. INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
 2. DO NOT SCALE DRAWING.
 3. THIS DRAWING IS INTENDED FOR USE BY ARCHITECTS, ENGINEERS, CONTRACTORS, CONSULTANTS AND DESIGN PROFESSIONALS FOR PLANNING PURPOSES ONLY. THIS DRAWING MAY NOT BE USED FOR CONSTRUCTION.
 4. ALL INFORMATION CONTAINED HEREIN WAS CURRENT AT THE TIME OF DEVELOPMENT BUT MUST BE REVIEWED AND APPROVED BY THE PRODUCT MANUFACTURER TO BE CONSIDERED ACCURATE.
 5. CONTRACTOR'S NOTE: FOR PRODUCT AND COMPANY INFORMATION VISIT www.CADdetails.com/info AND ENTER REFERENCE NUMBER 4313-004.

NOTE:
SEE MATERIALS PLANS FOR LAYOUT AND LOCATIONS.



3 BENCH
1" = 1'-0"

landscapeforms Drawing: NL696-02
Dimensions are in inches [mm]
Spanish Industrial Design 151.245

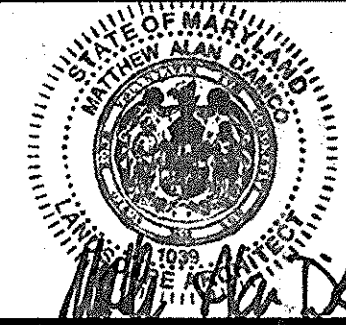
CONFIDENTIAL DRAWING INFORMATION CONTAINED HEREIN IS THE PROPERTY OF LANDSCAPE FORMS, INC. INTENDED USE IS LIMITED TO DESIGN PROFESSIONALS SPECIFYING LANDSCAPE FORMS, INC. PRODUCTS AND THEIR DIRECT CLIENTS. DRAWING IS NOT TO BE COPIED OR DISCLOSED TO OTHERS WITHOUT THE CONSENT OF LANDSCAPE FORMS, INC. ©2013 LANDSCAPE FORMS, INC. ALL RIGHTS RESERVED.

4 ORNAMENTAL POTS
1" = 1'-0"

APPROVED PLANNING BOARD OF HOWARD COUNTY	
Date:	November 20, 2014
APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING	
Director	<i>Valerie J. Jaffe</i> 12-17-15
Chief, Division of Land Development	<i>Kevin P. Peterson</i> 12-17-15
Chief, Development Engineering Division	<i>Charles E. ...</i> 9-14-15

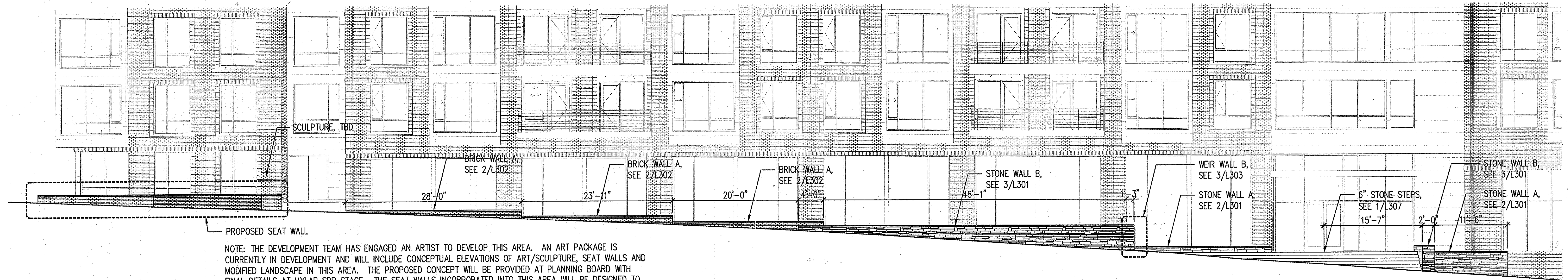
DESIGN COLLECTIVE	
ARCHITECTURE, PLANNING, INTERIORS	601 EAST PRATT STREET, SUITE 300
WWW.DESIGNCOLLECTIVE.COM	BALTIMORE, MARYLAND 21202
	T: 410.855.6655 F: 410.539.6242
DES. XXX	DRN. XXX
CHK. XXX	DATE
REVISION	BY
APPR.	

OWNER/PREPARED FOR:
PARCEL C PROPERTY, LLC
1751 PINNACLE DRIVE
SUITE 700
MCLEAN, VIRGINIA 22102
ATTN: KEVIN PETERKIN
703-205-5542



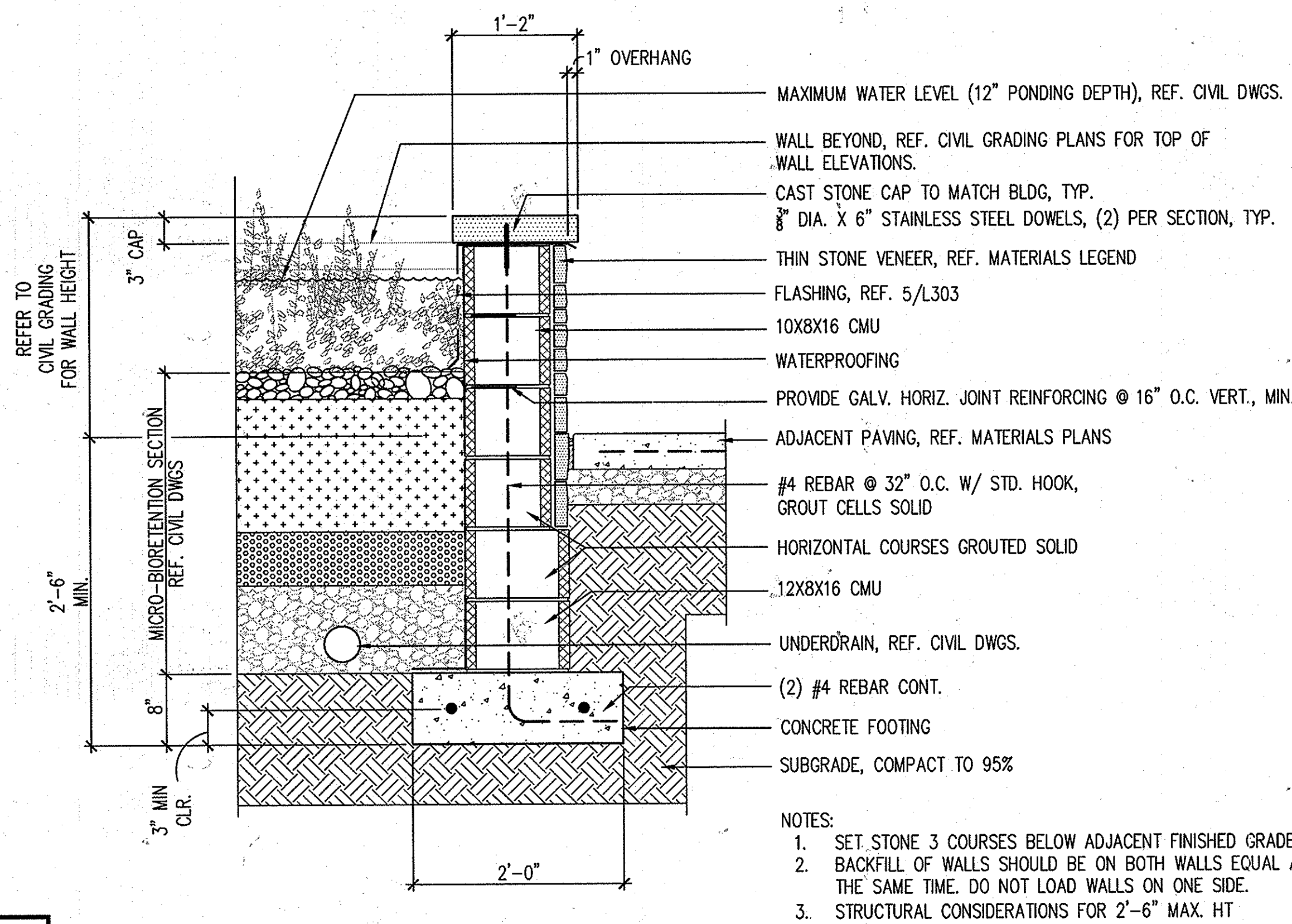
SITE FURNISHING CUTSHEETS		
DOWNTOWN COLUMBIA WARFIELD NEIGHBORHOOD BLOCKS W-2 & W-5 PARCELS C-1 & C-2 GREEN MIXED USE BUILDING PLAT No. 22455-22460		
SCALE NTS	ZONING NT	G. L. W. FILE No. 12078
DATE AUG., 2015	TAX MAP - GRID 36 - 01	SHEET 29 OF 47
ELECTION DISTRICT No. 5		HOWARD COUNTY, MARYLAND

L202



NOTE: THE DEVELOPMENT TEAM HAS ENGAGED AN ARTIST TO DEVELOP THIS AREA. AN ART PACKAGE IS CURRENTLY IN DEVELOPMENT AND WILL INCLUDE CONCEPTUAL ELEVATIONS OF ART/SCULPTURE, SEAT WALLS AND MODIFIED LANDSCAPE IN THIS AREA. THE PROPOSED CONCEPT WILL BE PROVIDED AT PLANNING BOARD WITH FINAL DETAILS AT MYLAR SDP STAGE. THE SEAT WALLS INCORPORATED INTO THIS AREA WILL BE DESIGNED TO BE 18-24" IN HT. WITH A SURFACE TREATMENT THAT DISTINGUISHES IT FROM OTHER WALLS ON SITE.

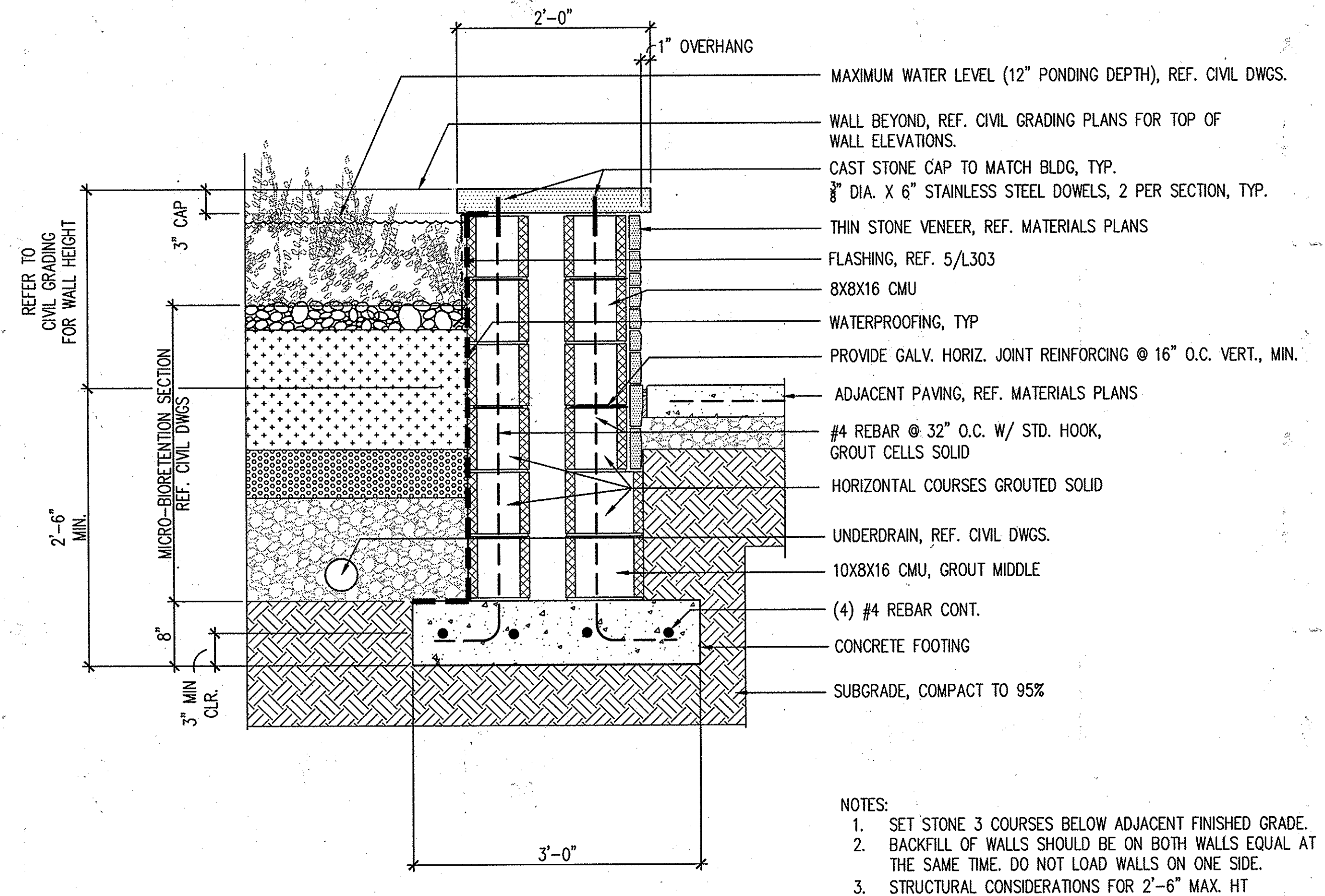
1 PARCEL C-1 ELEVATION - TWIN RIVERS ROAD
1/8" = 1'-0"



- NOTES:
1. SET STONE 3 COURSES BELOW ADJACENT FINISHED GRADE.
 2. BACKFILL OF WALLS SHOULD BE ON BOTH WALLS EQUAL AT THE SAME TIME. DO NOT LOAD WALLS ON ONE SIDE.
 3. STRUCTURAL CONSIDERATIONS FOR 2'-6" MAX. HT

THIN STONE VENEER SPECIFICATIONS

MANUFACTURER: CHARLES LUCK STONE OR APPROVED EQUAL
ITEM: MASTERCUT NATURAL VENEER COPPER BAY LEDGE
PATTERN: CUT ASHLAR PATTERN



- NOTES:
1. SET STONE 3 COURSES BELOW ADJACENT FINISHED GRADE.
 2. BACKFILL OF WALLS SHOULD BE ON BOTH WALLS EQUAL AT THE SAME TIME. DO NOT LOAD WALLS ON ONE SIDE.
 3. STRUCTURAL CONSIDERATIONS FOR 2'-6" MAX. HT

APPROVED
PLANNING BOARD OF HOWARD COUNTY

Date: November 20, 2014

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

Director: Valerie Jaffe 12-17-15
Date
Chief, Division of Land Development: Walter Lewis 12-17-15
Date
Chief, Development Engineering Division: Paul Egan 9-14-15
Date

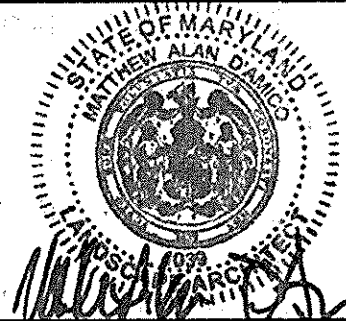
2 STONE WALL A
1" = 1'-0"

3 STONE WALL B
1" = 1'-0"

DESIGN COLLECTIVE

ARCHITECTURAL, PLANNING, INTERIORS
601 EAST PRATT STREET, SUITE 300
BALTIMORE, MARYLAND 21202
T: 410.685.6655 F: 410.339.6242

OWNER/PREPARED FOR:
PARCEL C PROPERTY, LLC
1751 PINNACLE DRIVE
SUITE 700
MCLEAN, VIRGINIA 22102
ATTN: KEVIN PETERKIN
703-205-5542



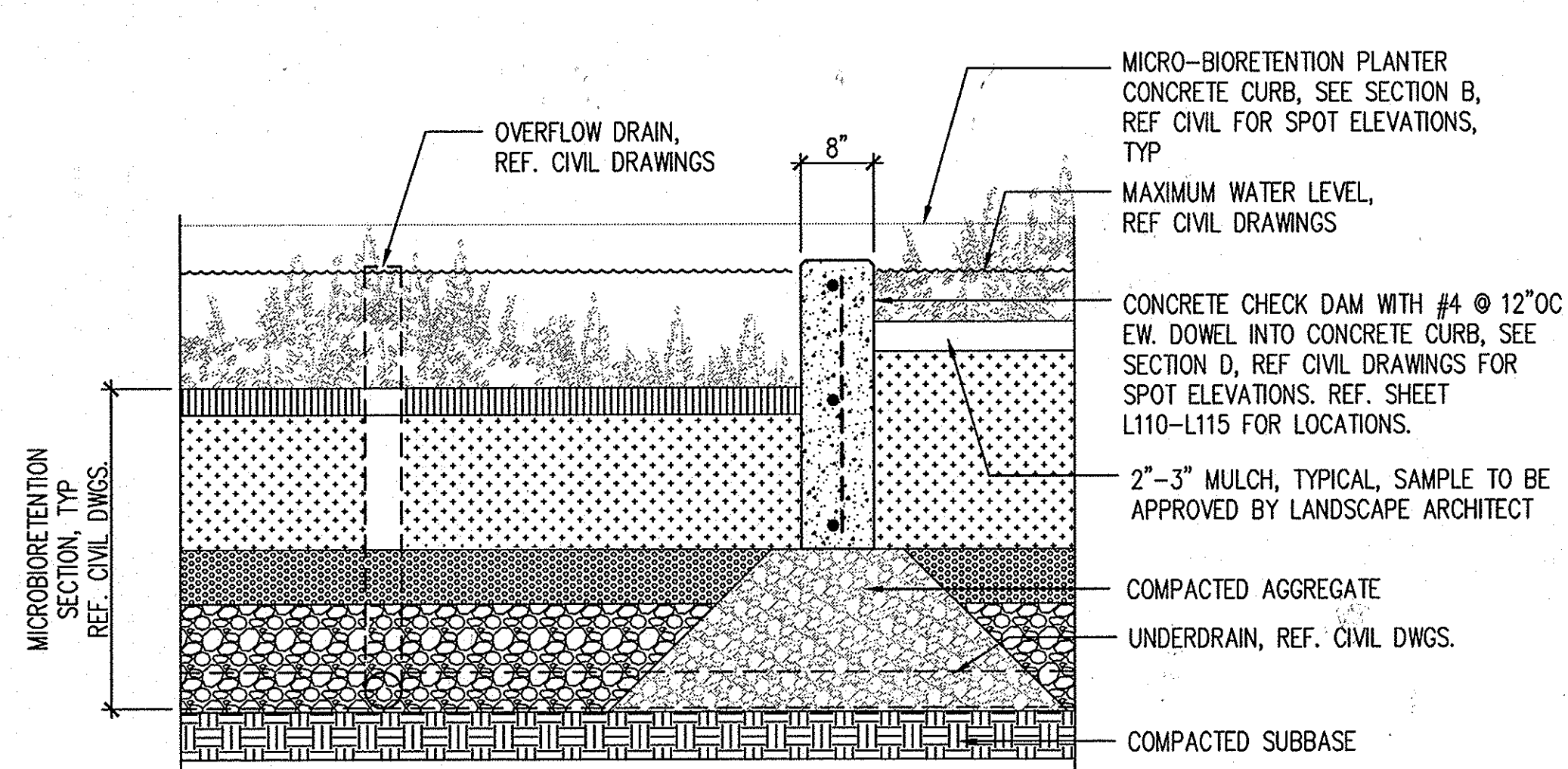
WALL DETAILS
DOWNTOWN COLUMBIA
WARFIELD NEIGHBORHOOD BLOCKS W-2 & W-5
PARCELS C-1 & C-2
GREEN MIXED USE BUILDING
PLAT No. 22455-22460

SCALE	ZONING	G. L. W. FILE No.
VARIABLES	NT	12078
DATE	TAX MAP - GRID	SHEET
AUG., 2015	36 - 01	31 OF 47

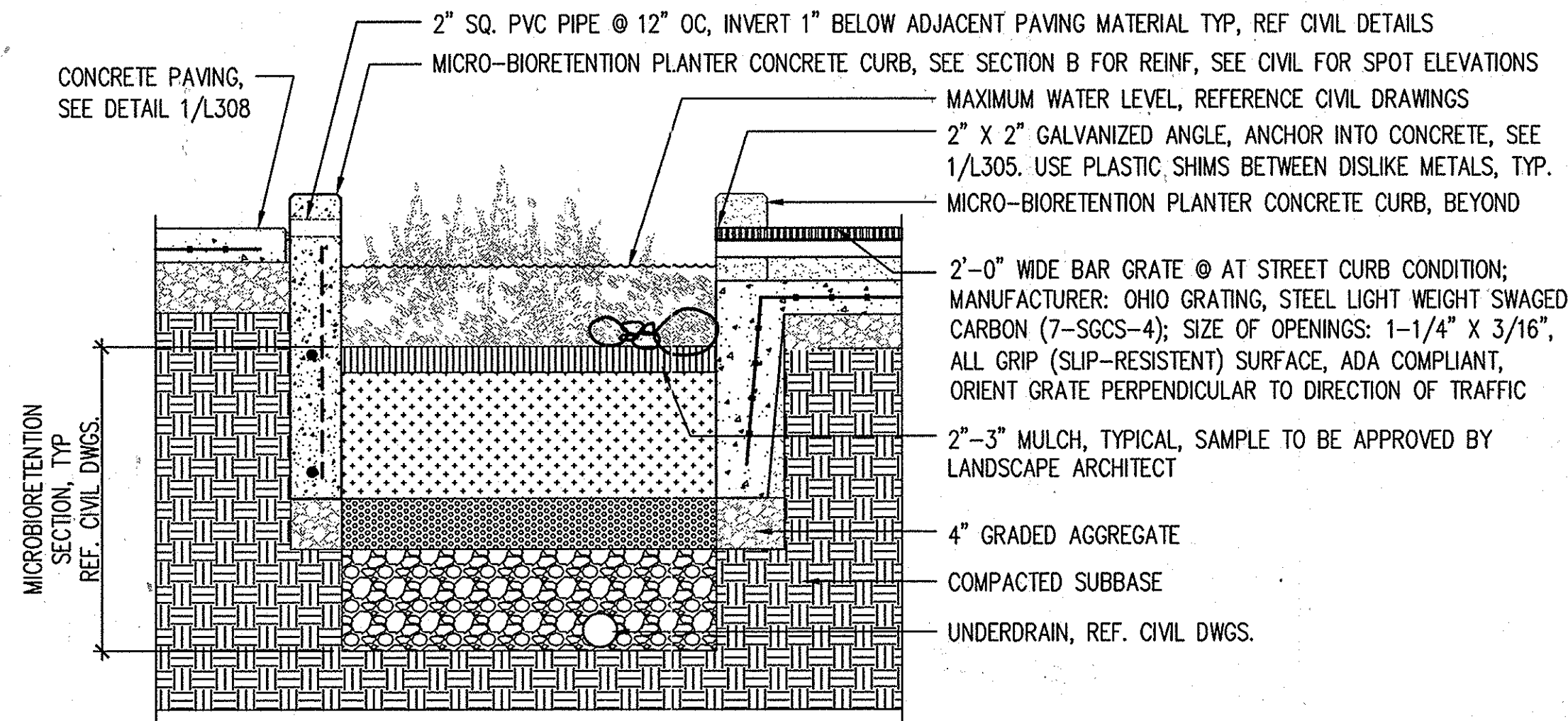
L301

ELECTION DISTRICT No. 5

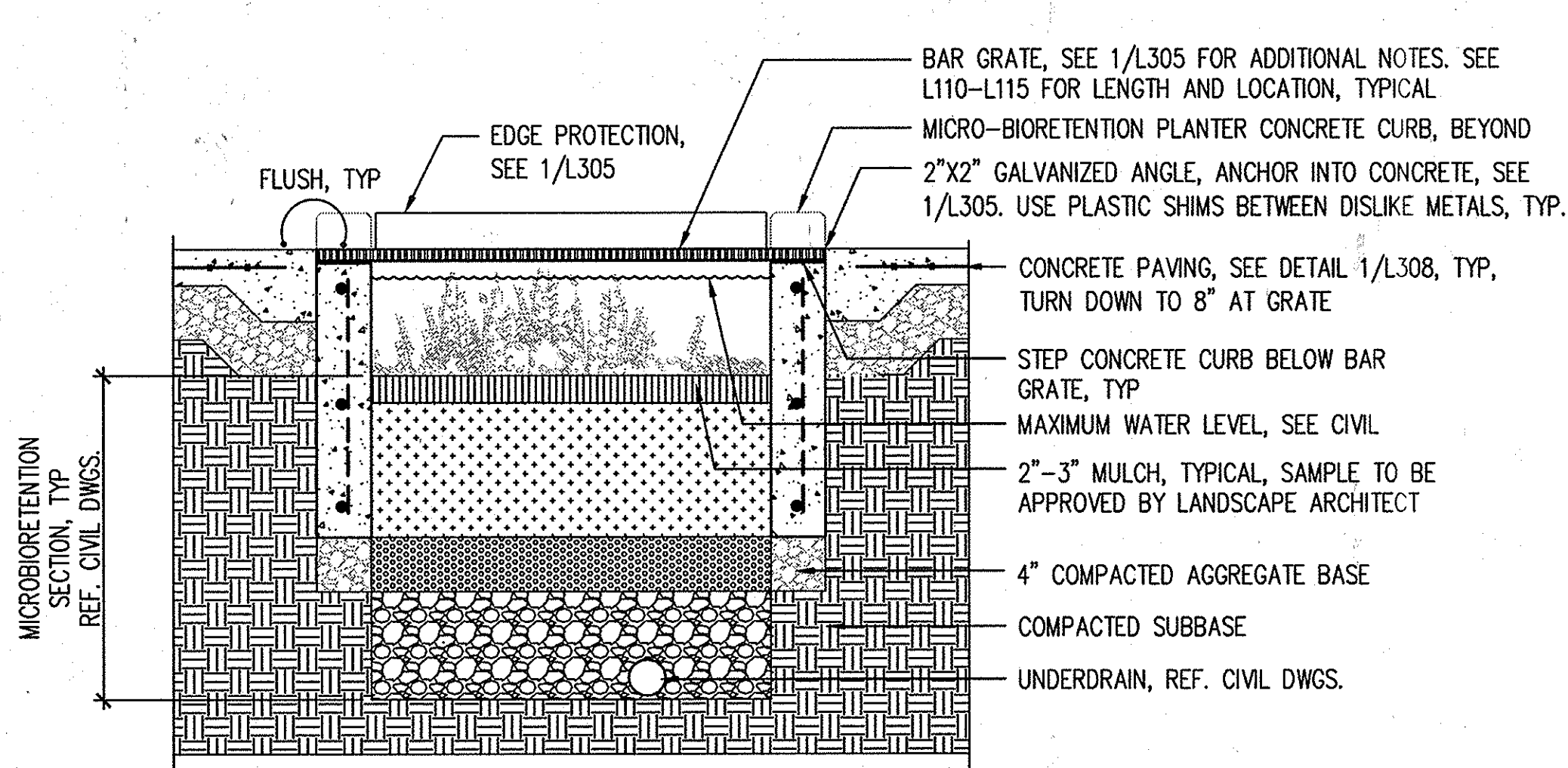
HOWARD COUNTY, MARYLAND



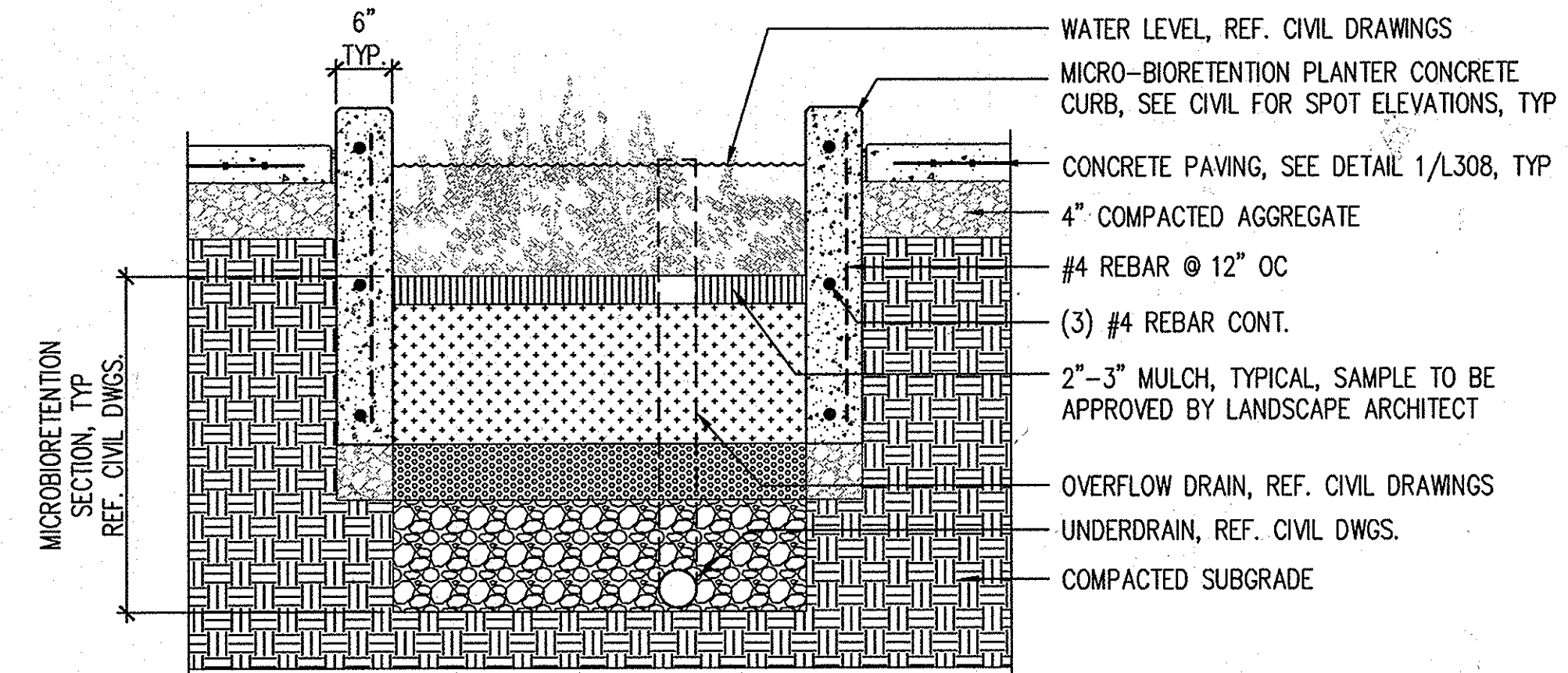
SECTION A



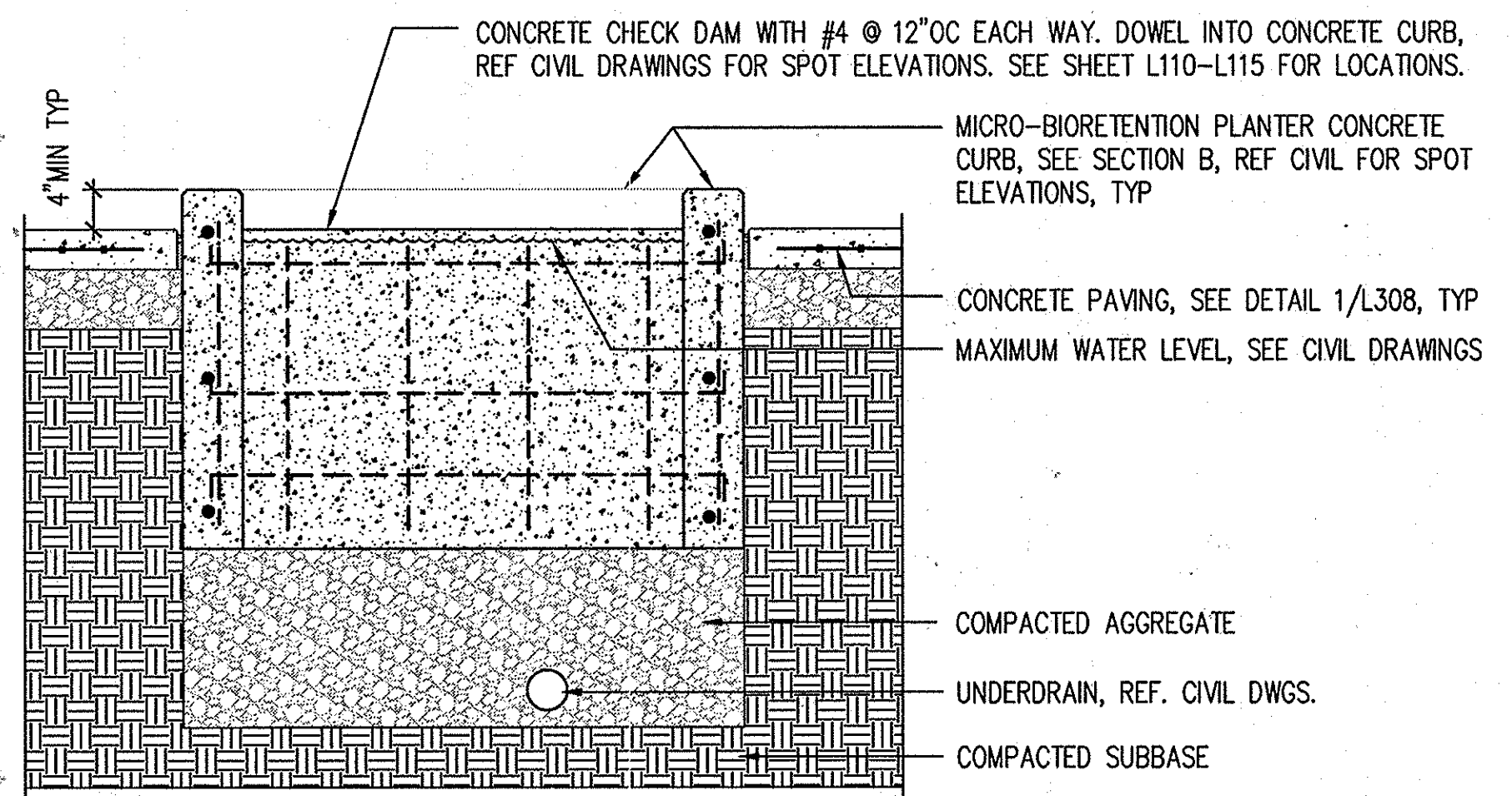
SECTION C



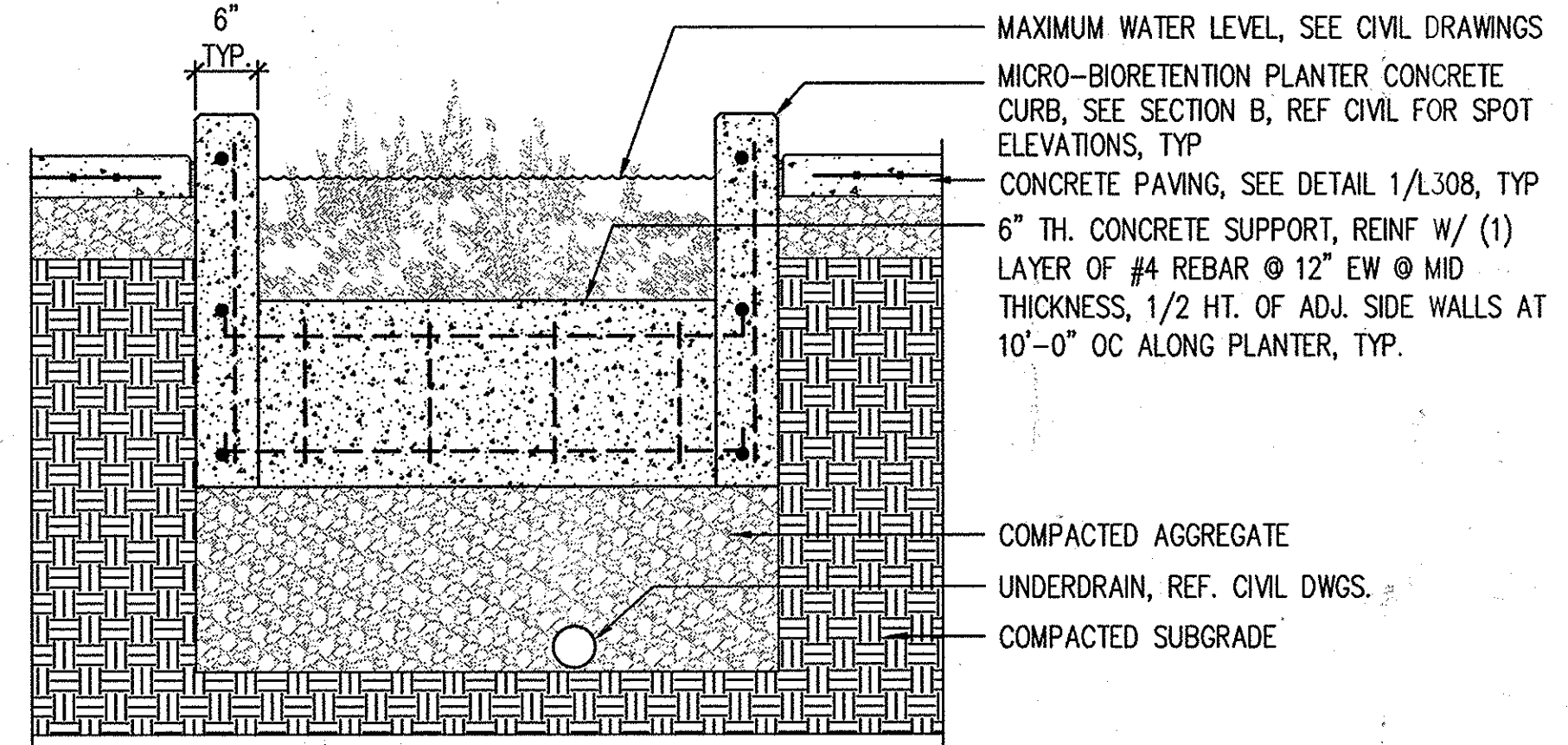
SECTION E



SECTION B

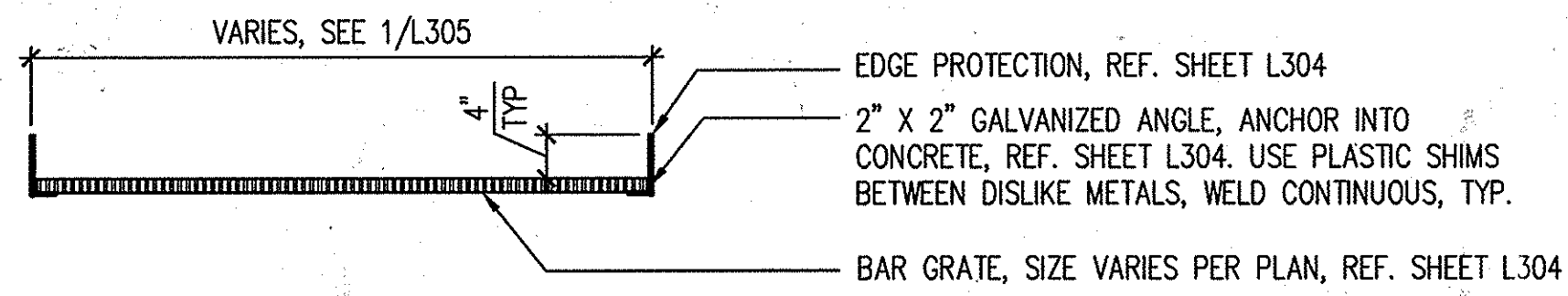


SECTION D



SECTION F

1 STORMWATER PLANTER - STREETSCAPE
3/4" = 1'-0"
REF. ROADWAY DRAWINGS F-13-015



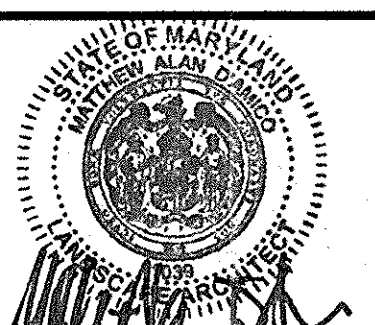
SECTION G

APPROVED
PLANNING BOARD OF HOWARD COUNTY
Date: November 20, 2014

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
William J. ... 12-17-15
Director
Kevin ... 12-17-15
Chief, Division of Land Development
... 9-14-15
Chief, Development Engineering Division

DESIGN COLLECTIVE
ARCHITECTURAL/ENGINEERING/PLANNING
100 EAST PRATT STREET, SUITE 300
BALTIMORE, MARYLAND 21202
T: 410.685.6655 F: 410.559.6242

OWNER/PREPARED FOR:
PARCEL C PROPERTY, LLC
1751 PINNACLE DRIVE
SUITE 700
MCLEAN, VIRGINIA 22102
ATTN: KEVIN PETERKIN
703-205-5542

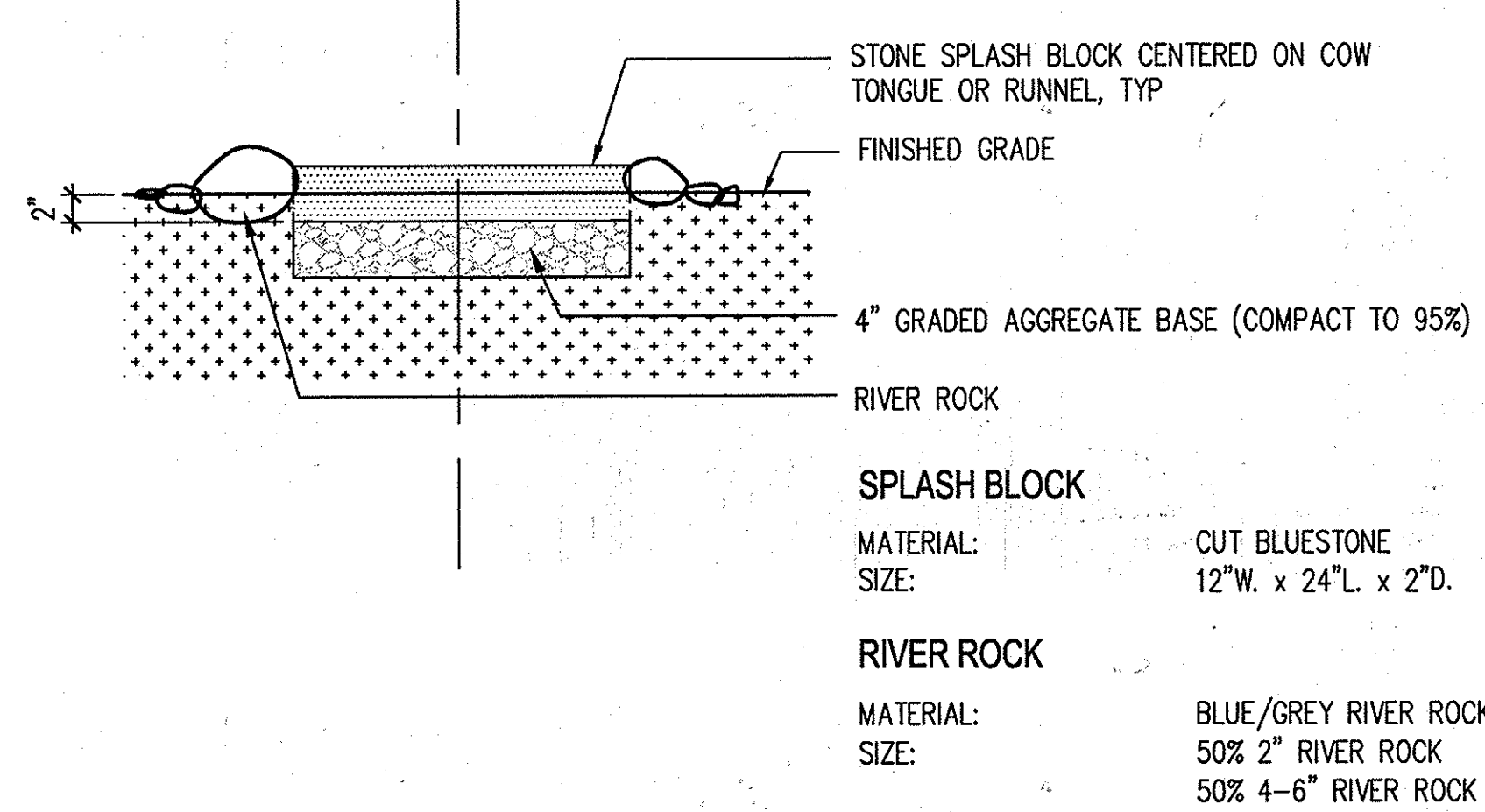
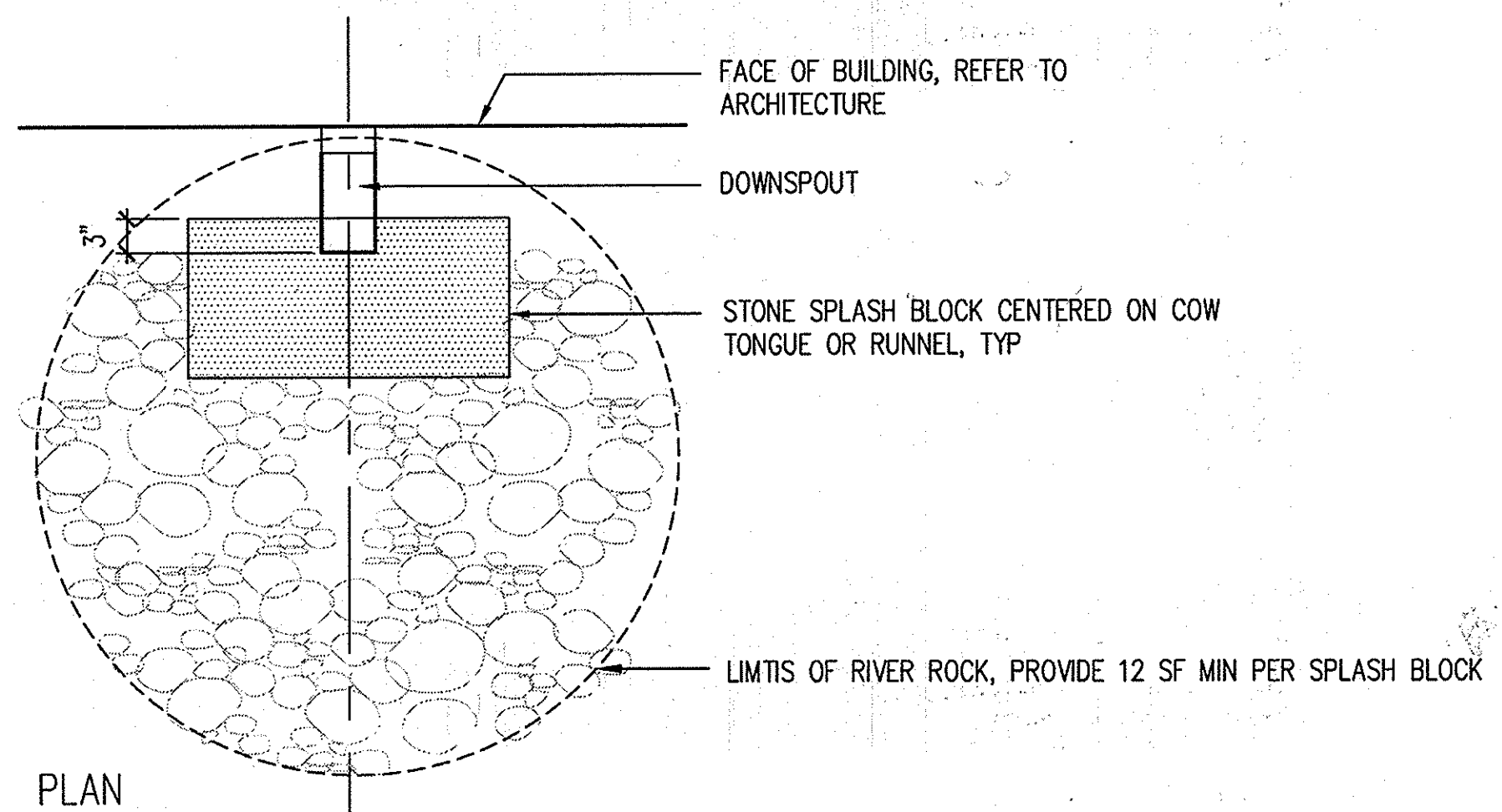


MICRO-BIORETENTION PLANTERS
DOWNTOWN COLUMBIA
WARFIELD NEIGHBORHOOD BLOCKS W-2 & W-5
PARCELS C-1 & C-2
GREEN MIXED USE BUILDING
PLAT No. 22455-22460
ELECTION DISTRICT No. 5
HOWARD COUNTY, MARYLAND

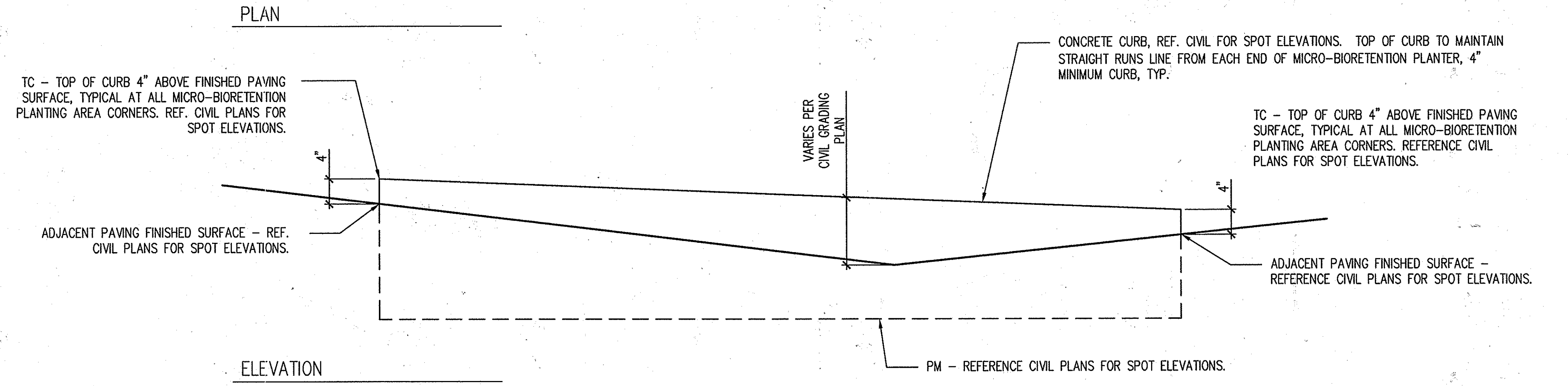
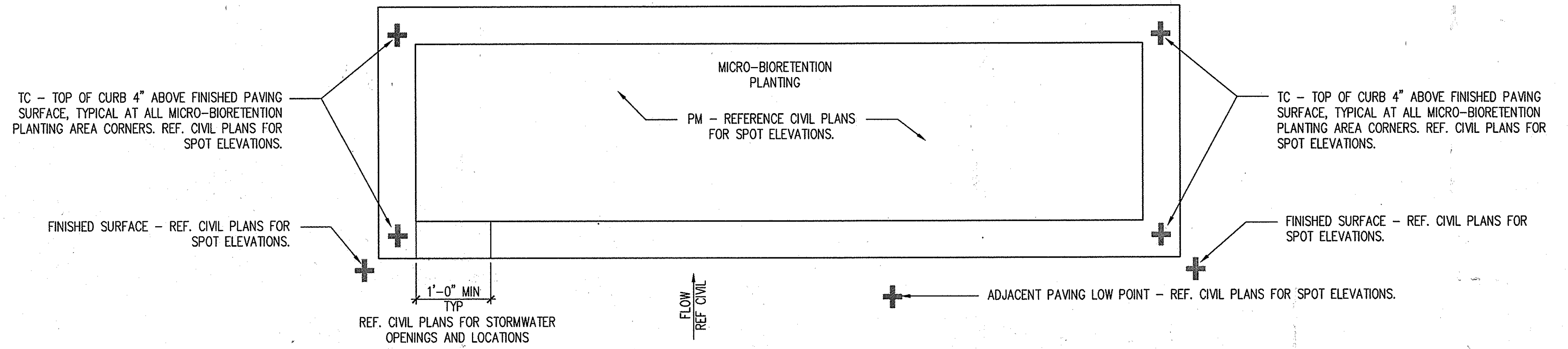
SCALE	ZONING	G. L. W. FILE No.
3/4"=1'-0"	NT	12078
DATE	TAX MAP - GRID	SHEET
AUG., 2015	36 - 01	35 OF 47

L305

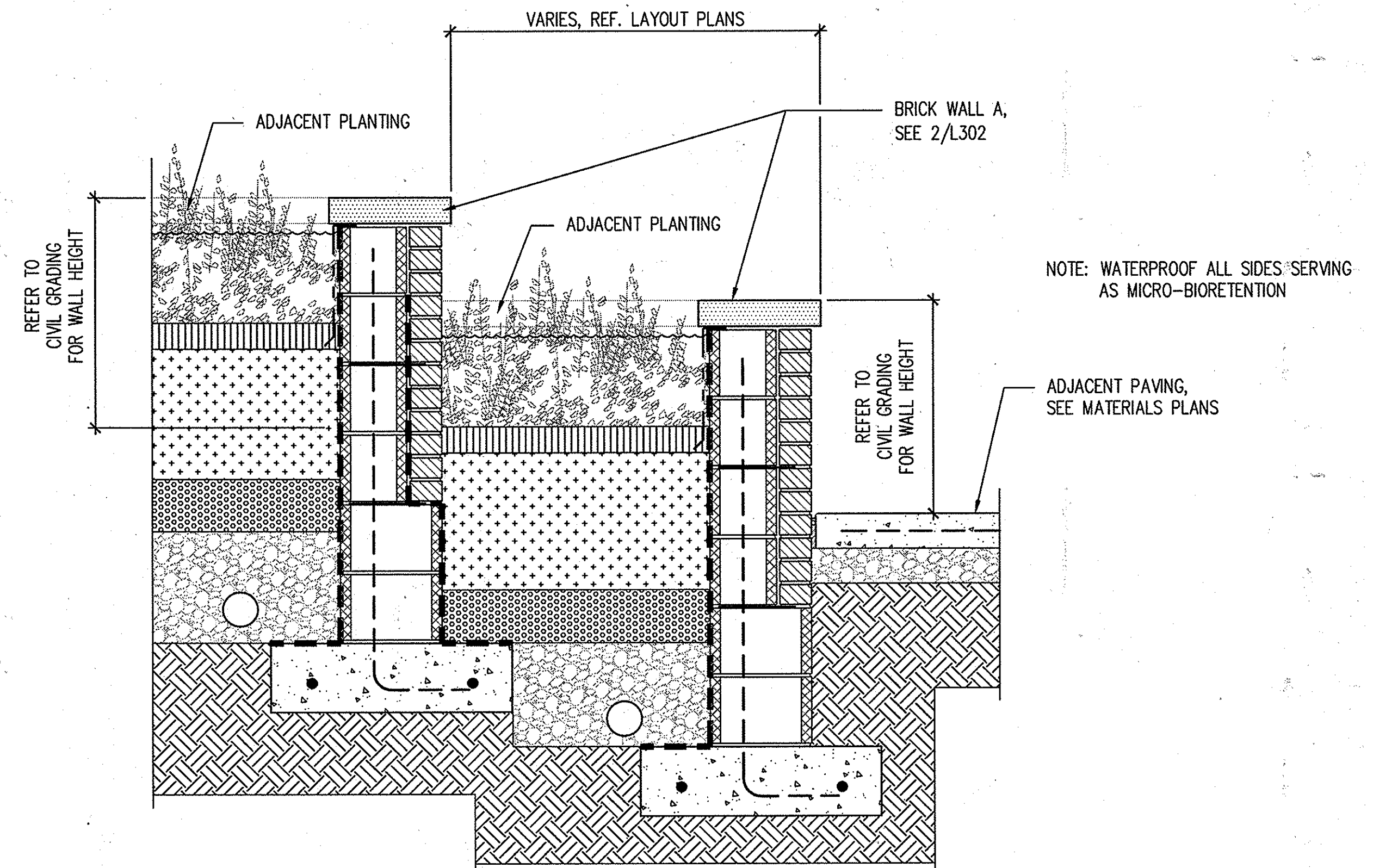
\\dcd\user\1\design\user\1\project\255-12_downtown_columbia_block\contract_documents\sheet\01\landscape\SDP_L305_HARDSCAPE_DETAILS.dwg
 PLOTTED: 8/14/2015 11:54 AM, LAST SAVED: 8/12/2015 4:14 PM, PLOTTED BY: Kristin Ward
 © GLW 2015



2 SPLASH BLOCK
1" = 1'-0"



1 MICRO-BIORETENTION CURB
1" = 1'-0"
REF. ROADWAY DRAWINGS F-13-015



3 SCULPTURE PLANTER SECTION
1" = 1'-0"

APPROVED
PLANNING BOARD OF HOWARD COUNTY

Date: November 20, 2014

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

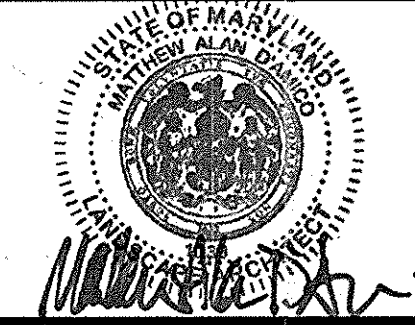
Nathan J. Joffe 12-17-15
Director Date

Kevin Peterkin 12-17-15
Chief, Division of Land Development Date

Kevin Peterkin 9-14-15
Chief, Development Engineering Division Date

DESIGN COLLECTIVE	ARCHITECTURE, PLANNING, INTERIORS	401 EAST PRATT STREET, SUITE 300 BALTIMORE, MARYLAND 21202 T: 410.856.6555 F: 410.539.6242
DES. XXX	DRN. XXX	CHK. XXX
DATE	REVISION	BY APPR.

OWNER/PREPARED FOR:
PARCEL C PROPERTY, LLC
1751 PINNACLE DRIVE
SUITE 700
MCLEAN, VIRGINIA 22102
ATTN: KEVIN PETERKIN
703-205-5542



MICRO-BIORETENTION PLANTERS

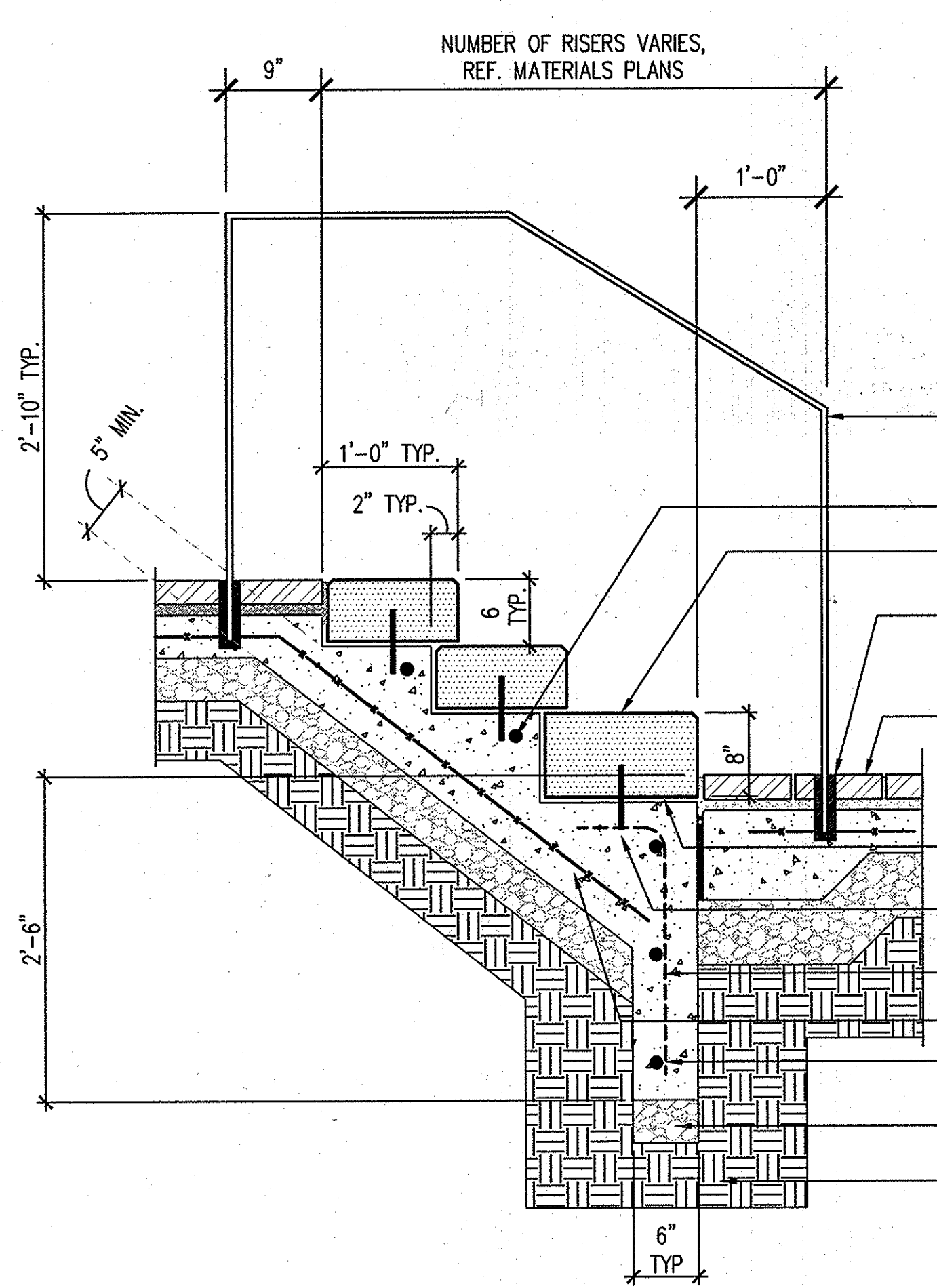
DOWNTOWN COLUMBIA
WARFIELD NEIGHBORHOOD BLOCKS W-2 & W-5
PARCELS C-1 & C-2
GREEN MIXED USE BUILDING
PLAT No. 22455-22460

ELECTION DISTRICT No. 5

HOWARD COUNTY, MARYLAND

SCALE 1"=1'-0"	ZONING NT	G. L. W. FILE No. 12078
DATE AUG., 2015	TAX MAP - GRID 36 - 01	SHEET 36 OF 47

L306



STAINLESS STEEL RAILING HANDRAIL IS REQUIRED ON BOTH SIDES OF STAIRS OR AS SHOWN.

#4 NOSEBAR CONT. TYP.

STONE BLOCK STAIR TREAD WITH 1/2" CHAMFER ALL VISIBLE SIDES, TYP

2" DIA. CAST IN PLACE SLEEVE, FILL W/ NON-SHRINK EPOXY AND TOP WITH 1/2" SEALANT, TYP.

ADJACENT REINFORCED CONCRETE PAVING WITH TURNED DOWN SLAB, TYP, SEE MATERIALS PLANS

1/2" MORTAR SETTING BED, TYP. LANDSCAPE ARCHITECT TO APPROVE COLOR SAMPLE

(2) S.S. DOWELS EQUALLY SPACED PER BLOCK, TYP

#4 REBAR @ 12" O.C. CONT.

6X6 - W4.0 x W4.0 WWF MID DEPTH

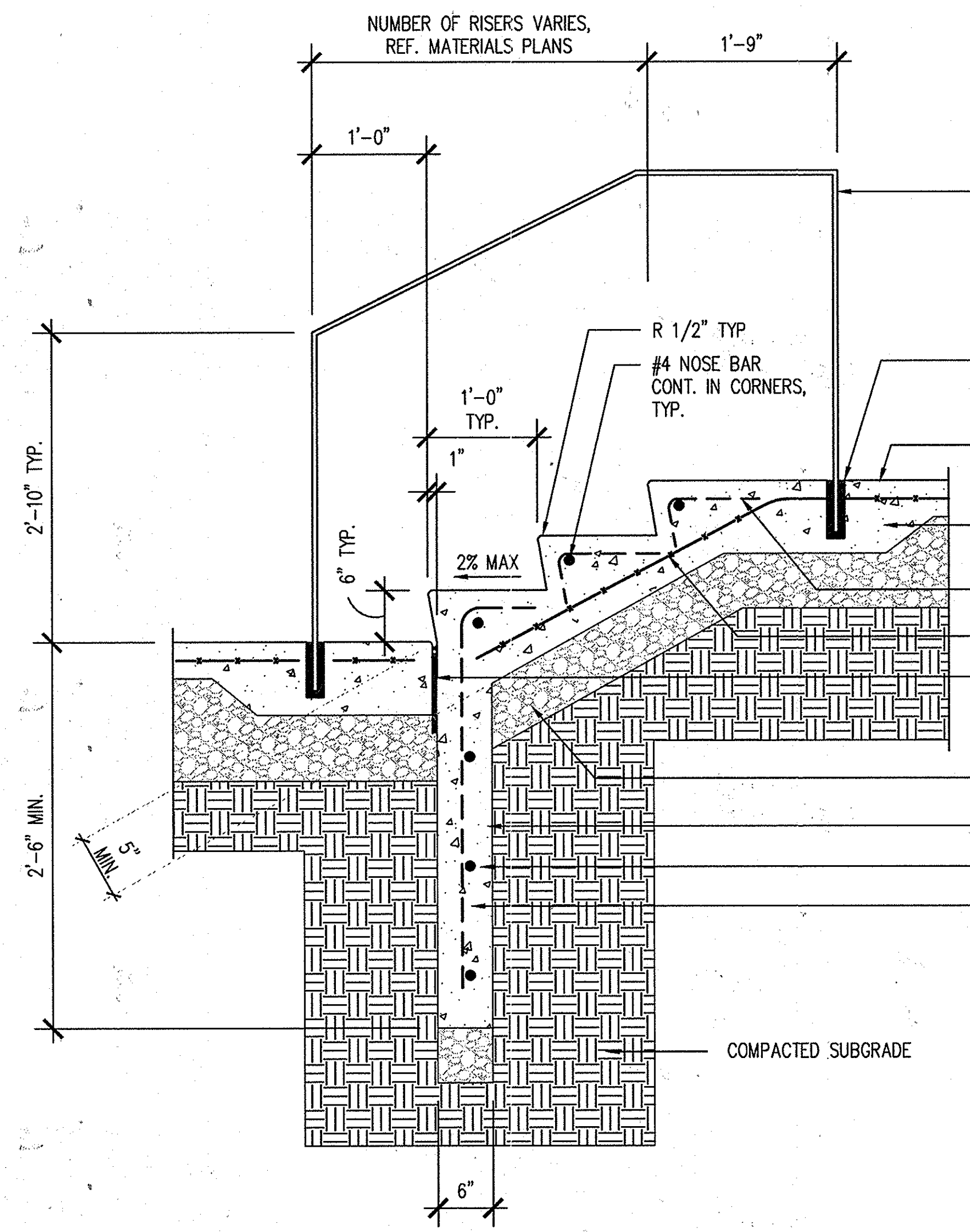
#4 REBAR @ 12" O.C. VERT. W/ STD. HOOK

4" GRADED AGGREGATE

COMPACTED SUBGRADE

- NOTES:
- RISERS TO HAVE UNIFORM HEIGHTS AND DEPTHS. RISER HEIGHTS TO BE 4" MIN - 7" MAX. TREADS TO BE 11" DEEP MINIMUM.
 - TOTAL NUMBER OF RISERS PER CIVIL GRADING PLAN
 - HANDRAIL ONLY NECESSARY ON STAIR WITH 3 OR MORE RISERS

1 STONE STAIRS
1" = 1'-0"



1" x 1-1/2" STAINLESS STEEL FLAT BAR HANDRAIL TO BE EMBEDDED INTO ADJACENT CONCRETE PAVING 2" FROM ADJACENT WALL OR BUILDING. HANDRAIL IS NOT TO EXTEND INTO CIRCULATION PATHS. HANDRAIL IS REQUIRED ON BOTH SIDES OF STAIRS.

2" X 2" CAST IN PLACE SLEEVE, FILL W/ NON-SHRINK EPOXY AND TOP WITH 1/2" SEALANT, TYP.

ADJACENT PAVING, REF. PLAN

TURN DOWN CONCRETE SLAB AT ALL POST CONNECTIONS, 4" CLEARANCE, TYP.

#4 REBAR @ 12" O.C. BEND BAR

6x6 - W10.0xW10.0 WWF MIDDEPTH

EXPANSION JOINT, BOTTOM OF STAIRS ONLY

6" GRADED AGGREGATE BASE MIN.

CONCRETE FOOTING

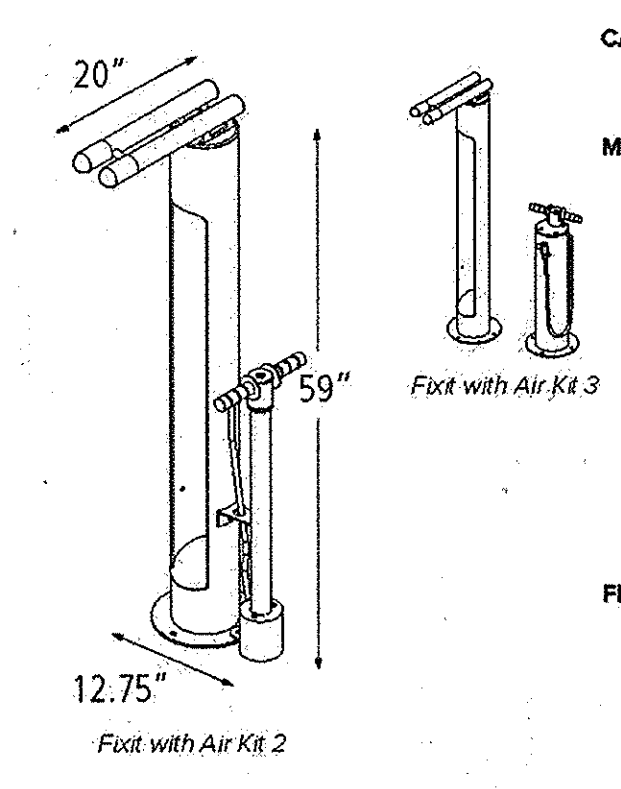
#4 REBAR @ 12" O.C. HORIZ. CONT.

#4 REBAR @ 12" VERT. W/ STD. HOOK

- NOTES:
- RISERS TO HAVE UNIFORM HEIGHTS AND DEPTHS. RISER HEIGHTS TO BE 4" MIN - 7" MAX. TREADS TO BE 11" DEEP MINIMUM.
 - TOTAL NUMBER OF RISERS PER CIVIL GRADING PLAN
 - HANDRAIL ONLY NECESSARY ON STAIR WITH 3 OR MORE RISERS

2 CONCRETE STAIRS
1" = 1'-0"

FIXIT
Submittal Sheet

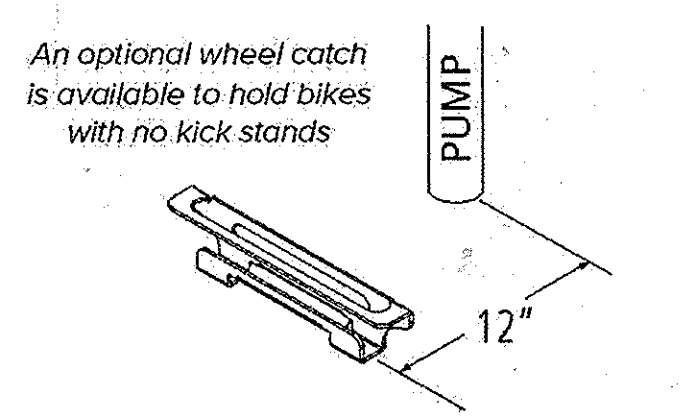
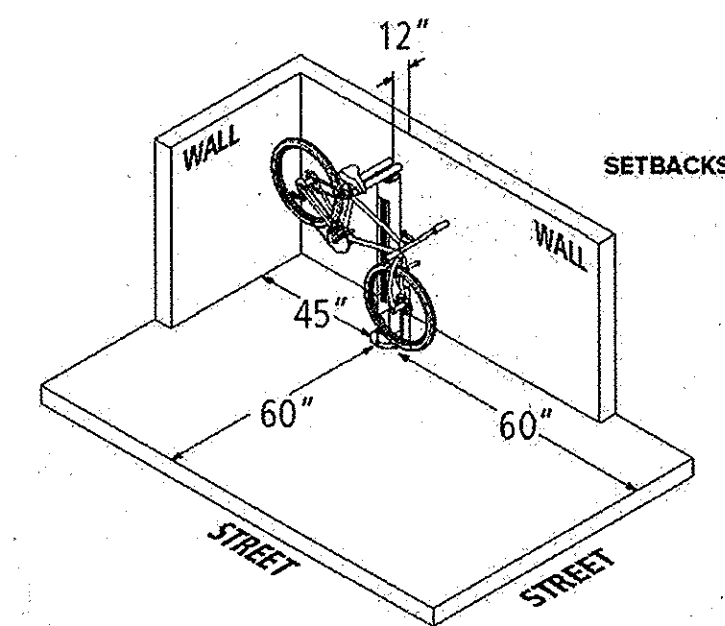


CAPACITY: 1 Bike

MATERIALS: Main body: 6"x.154" tube; Bike Hanger: 15" sch. 40 pipe, 1/4" plate; Foot: 10" dia. x .25" plate; Tool leathers: 5/32" stainless steel cable; Manual air pump; Hand tools: Philips and flat head screwdrivers 2.5, 3, 4, 5, 6, 8mm Allen wrenches; Headset wrench; Pedal wrench; 8, 9, 10, 11mm box wrenches; Tire levers (2)

- FINISHES:
- Galvanized: An after fabrication hot dipped galvanized finish is our standard option.
 - Powder Coat: Our powder coat finish assures a high level of adhesion and durability by following these steps: 1. Sandblast; 2. Epoxy primer electrostatically applied; 3. Final thick TGIC polyester powder coat.
 - Thermoplastic: In addition to an increased thickness (8-10mils), the thermoplastic finish covers a galvanized layer and offers superior impact resistance over powder coating.
 - Stainless: Stainless Steel: 304 grade stainless steel material finished in either a high polished shine or a satin finish.

- MOUNT OPTIONS:
- In-ground: Is embedded into concrete base.
 - Surface: Has 10" diameter x.25" foot with four anchors per foot.



3 DERO FIXIT STATION
1/4" = 1'-0"

APPROVED
PLANNING BOARD OF HOWARD COUNTY

Date: November 20, 2014

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

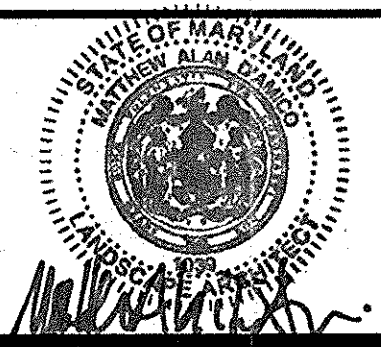
Director: William J. Jaffe 12-17-15

Chief, Division of Land Development: Kevin Peterkin 12-17-15

Chief, Development Engineering Division: Paul E. ... 9.14.15

DESIGN COLLECTIVE	ARCHITECTURAL, PLANNING, INTERIORS	601 EAST FRAY STREET, SUITE 300 BALTIMORE, MARYLAND 21202 T: 410.885.8555 F: 410.539.8242
DES. XXX	DRN. XXX	CHK. XXX
DATE	REVISION	BY APPR.

OWNER/PREPARED FOR:
PARCEL C PROPERTY, LLC
1751 PINNACLE DRIVE
SUITE 700
MCLEAN, VIRGINIA 22102
ATTN: KEVIN PETERKIN
703-205-5542



HARDSCAPE DETAILS

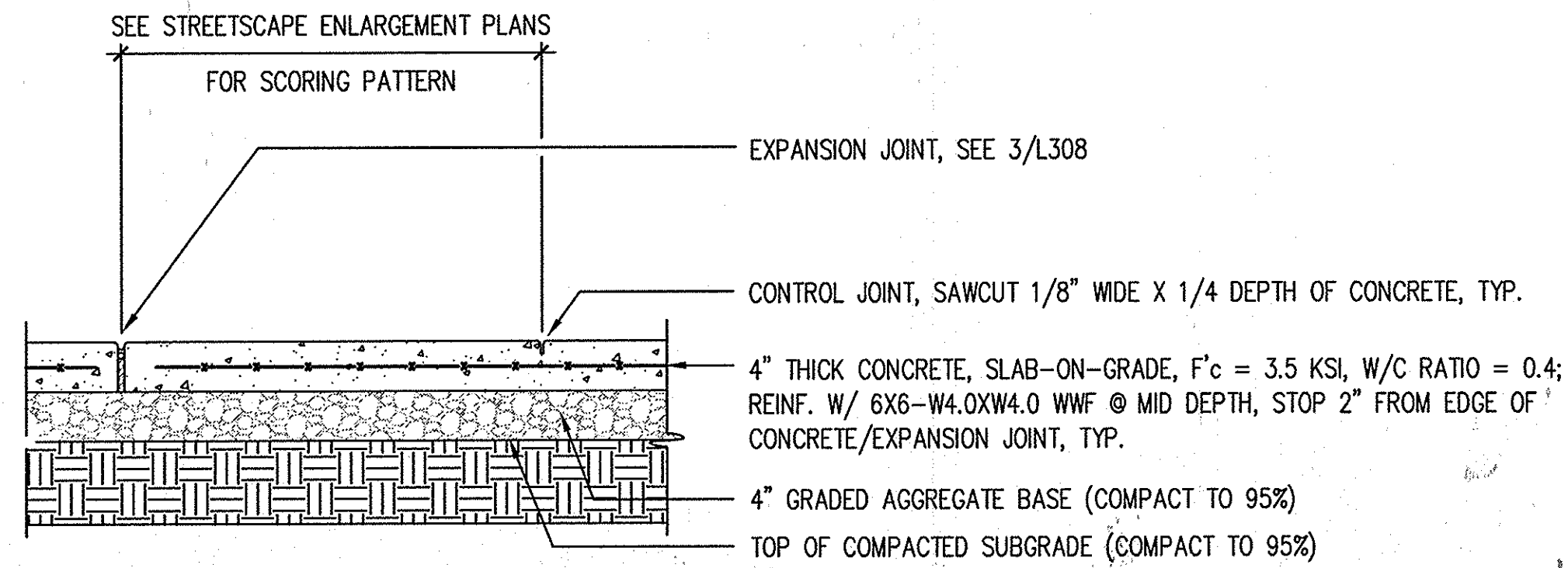
DOWNTOWN COLUMBIA
WARFIELD NEIGHBORHOOD BLOCKS W-2 & W-5
PARCELS C-1 & C-2
GREEN MIXED USE BUILDING
PLAT No. 22455-22460

ELECTION DISTRICT No. 5

HOWARD COUNTY, MARYLAND

SCALE	ZONING	G. L. W. FILE No.
1"=1'-0"	NT	12078
DATE	TAX MAP - GRID	SHEET
AUG., 2015	36 - 01	37 OF 47

L307



EXPANSION JOINT, SEE 3/L308

CONTROL JOINT, SAWCUT 1/8" WIDE X 1/4 DEPTH OF CONCRETE, TYP.

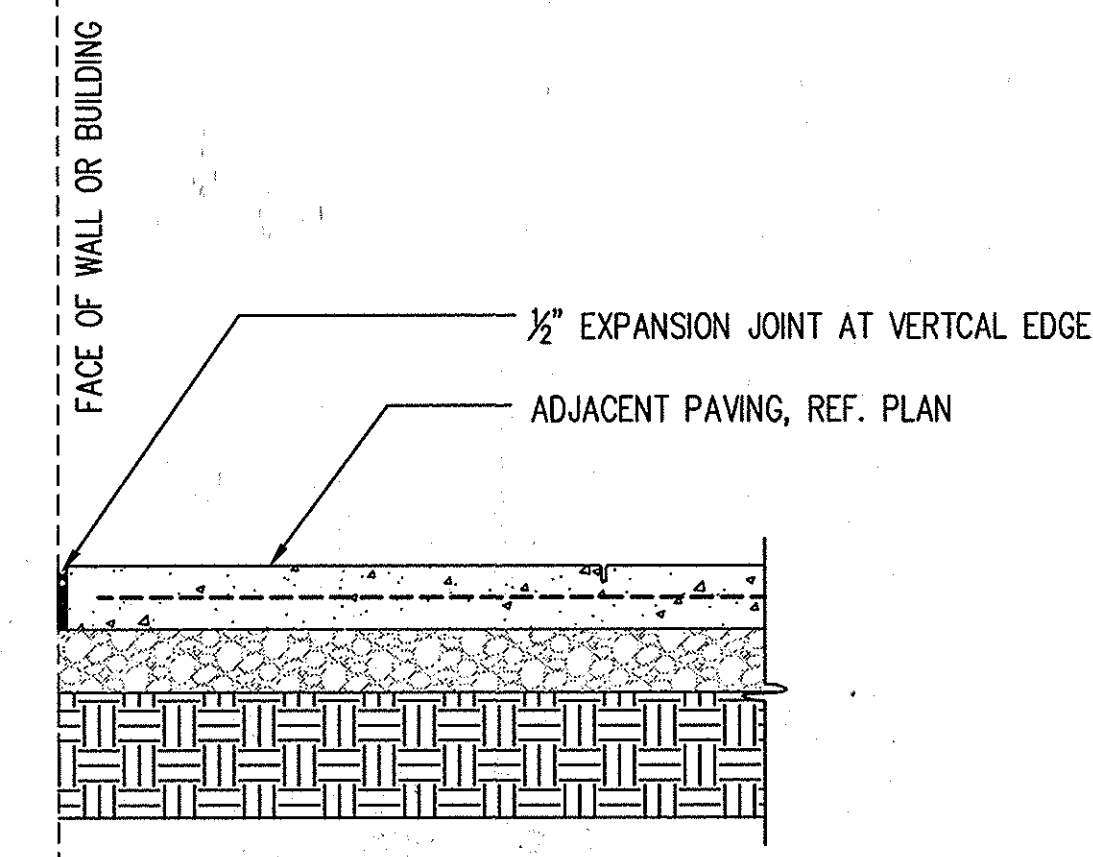
4" THICK CONCRETE, SLAB-ON-GRADE, F_c = 3.5 KSI, W/C RATIO = 0.4;
REINF. W/ 6X6-W4.0XW4.0 WWF @ MID DEPTH, STOP 2" FROM EDGE OF
CONCRETE/EXPANSION JOINT, TYP.

4" GRADED AGGREGATE BASE (COMPACT TO 95%)

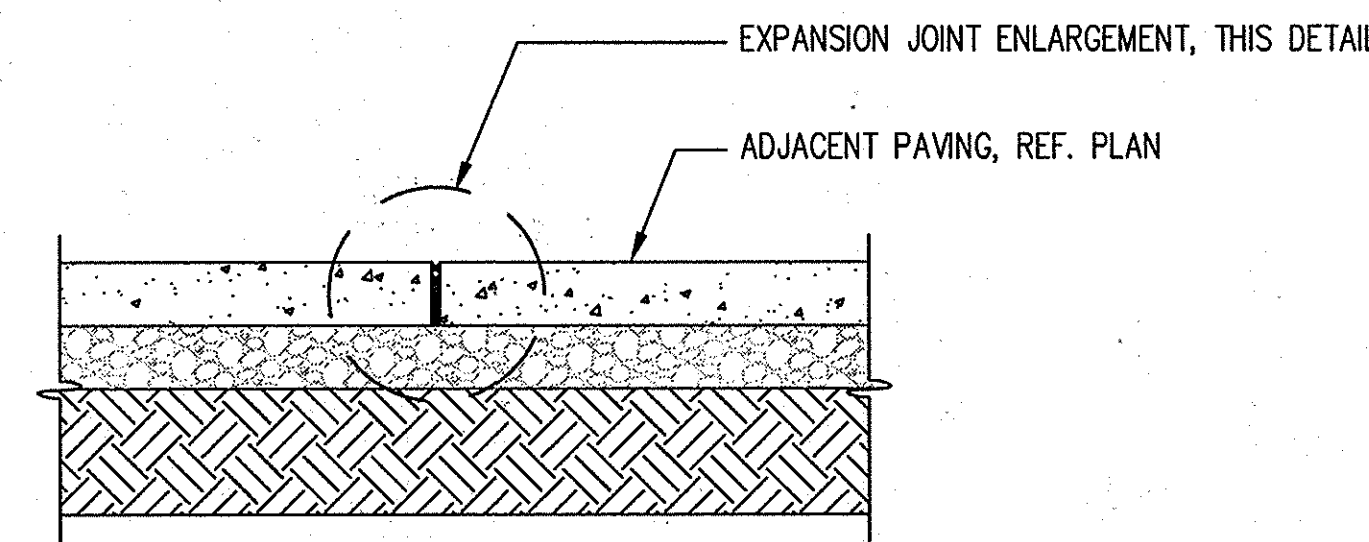
TOP OF COMPACTED SUBGRADE (COMPACT TO 95%)

NOTES: SCORING: AS INDICATED ON MATERIAL PLANS
LANDSCAPE ARCHITECT TO APPROVE FINISHED MOCK UP PRIOR TO INSTALLATION, TYP.

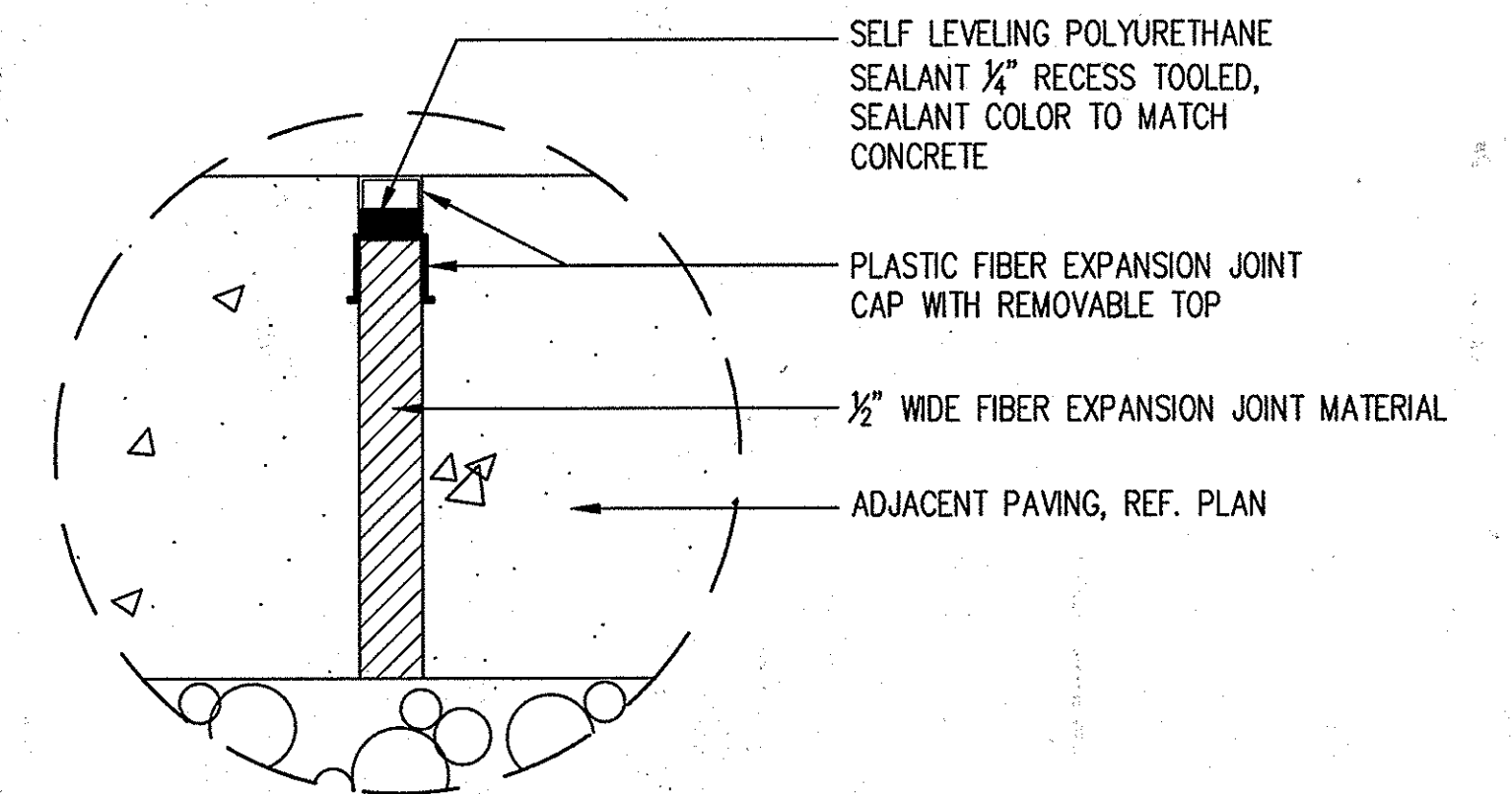
- PAVING TYPE 1: COLOR: GREY
FINISH: LIGHT BROOM PERPENDICULAR TO DIRECTION OF TRAFFIC
- PAVING TYPE 2A: COLOR: INTEGRAL COLOR (SCOFIELD WINTER BEIGE 6063)
FINISH: SEEDED AGGREGATE - 1/4" TO 1/2" CRUSHED GREY/GREEN
AGGREGATE W/ 1/8" MIRROR FLECKS
- PAVING TYPE 2B: COLOR: INTEGRAL COLOR (SCOFIELD SPRING BEIGE 5130)
FINISH: SEEDED AGGREGATE - 1/2" TO 3/4" BEIGE/GOLD AGGREGATE



VERTICAL EXPANSION JOINT

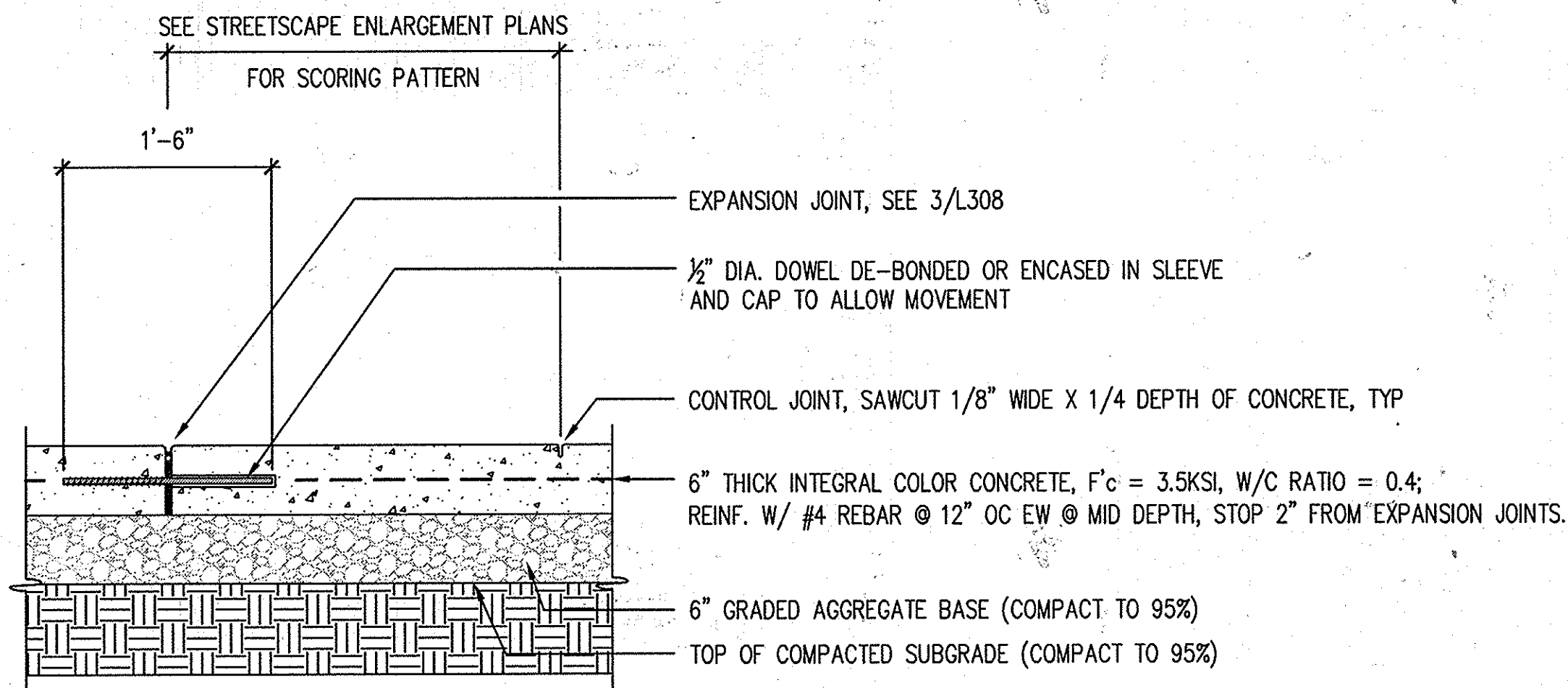


TYPICAL EXPANSION JOINT



EXPANSION JOINT ENLARGEMENT

1 CONCRETE - PEDESTRIAN SECTION
1" = 1'-0"



EXPANSION JOINT, SEE 3/L308

1/2" DIA. DOWEL DE-BONDED OR ENCASED IN SLEEVE
AND CAP TO ALLOW MOVEMENT

CONTROL JOINT, SAWCUT 1/8" WIDE X 1/4 DEPTH OF CONCRETE, TYP.

6" THICK INTEGRAL COLOR CONCRETE, F_c = 3.5KSI, W/C RATIO = 0.4;
REINF. W/ #4 REBAR @ 12" OC EW @ MID DEPTH, STOP 2" FROM EXPANSION JOINTS.

6" GRADED AGGREGATE BASE (COMPACT TO 95%)

TOP OF COMPACTED SUBGRADE (COMPACT TO 95%)

NOTES: SCORING: AS INDICATED ON MATERIAL PLANS
LANDSCAPE ARCHITECT TO APPROVE FINISHED MOCK UP PRIOR TO INSTALLATION, TYP.

- PAVING TYPE 3B: COLOR: INTEGRAL COLOR (BEIGE AGGREGATE)
STAMP PATTERN: COBBLESTONE, RUNNING BOND PATTERN

2 CONCRETE - VEHICULAR SECTION
1" = 1'-0"

3 EXPANSION JOINT
1" = 1'-0"

APPROVED
PLANNING BOARD OF HOWARD COUNTY

Date: November 20, 2014

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

Director: [Signature] Date: 12-17-15

Chief, Division of Land Development: [Signature] Date: 12-17-15

Chief, Development Engineering Division: [Signature] Date: 9-14-15

DESIGN COLLECTIVE

ARCHITECTURE, PLANNING, INTERIORS
WWW.DESIGNCOLLECTIVE.COM

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BALTIMORE, MARYLAND 21202
T: 410.685.6555 F: 410.539.6242

OWNER/PREPARED FOR:
PARCEL C PROPERTY, LLC
1751 PINNACLE DRIVE
SUITE 700
MCLEAN, VIRGINIA 22102
ATTN: KEVIN PETERKIN
703-205-5542



PAVING DETAILS

DOWNTOWN COLUMBIA
WARFIELD NEIGHBORHOOD BLOCKS W-2 & W-5
PARCELS C-1 & C-2
GREEN MIXED USE BUILDING
PLAT No. 22455-22460

SCALE 1"=1'-0"	ZONING NT	G. L. W. FILE No. 12078
DATE AUG., 2015	TAX MAP - GRID 36 - 01	SHEET 38 OF 47

L308

ELECTION DISTRICT No. 5

HOWARD COUNTY, MARYLAND

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BROKEN LAND PARKWAY
(COUNTY) (100' RW)

EXISTING TREES ALONG
BROKEN LAND PKWY
TO REMAIN

BROKEN LAND PARKWAY
(COUNTY) (100' RW)

TWIN RIVERS ROAD
(WARFIELD AVE. TYPE 2)
(PRIMARY PEDESTRIAN AND BICYCLE STREET)

COLUMBIA MALL CIRCLE
(WARFIELD AVE. TYPE 2)
(PRIMARY PEDESTRIAN AND BICYCLE STREET)

TOWN CENTER AVENUE
(WARFIELD AVE. TYPE 2) (SECONDARY AVE. AND BICYCLE STREET)

TREE LIST

CANOPY TREES

Qty.	Key	Botanical Name / Common Name	Size	Root	Comments
9	AR	Acer rubrum 'October Glory' October Glory Red Maple	4" Cal.	B&B	Matched, Specimen Quality
10	PA	Platanus acerifolia 'Bloodgood' London Plane Tree	5" Cal.	B&B	Matched, Specimen Quality
21	UA	Ulmus americana 'Princeton' American Elm	4" Cal.	B&B	Matched, Specimen Quality

ORNAMENTAL TREES

Qty.	Key	Botanical Name / Common Name	Size	Root	Comments
5	PO	Prunus 'Okame' Okame Cherry	12' HL.	B&B	Matched, Specimen Quality, Upright Form
10	MV	Magnolia virginiana Sweetbay Magnolia	12' HL.	B&B	(*) 7 MV INCLUDED IN SURETY Matched, Specimen Quality

SURETY: TREES TAGGED WITH AN (*) ARE INCLUDED IN THE SURETY COUNT.

EXISTING TREE PRESERVATION REQUIREMENTS:

- TRIMMING AND PRUNING SHALL BE PERFORMED ONLY UNDER THE SUPERVISION OF THE OWNER OR ARBORIST OF RECORD.
- CHAIN LINK FENCING, FIVE FEET IN HEIGHT, WILL BE SECURED TO TWO-INCH DIAMETER GALVANIZED IRON POSTS SPACED NO MORE THAN TEN FEET APART, AS DELINEATED ON THE TREE PLAN. A TWO (2) FOOT WIDE ACCESS GATE IS PERMITTED. INSTALLATION OF PROTECTION FENCING IS THE RESPONSIBILITY OF THE CONTRACTOR. PARKING OR STORING OF VEHICLES, TRAILERS, EQUIPMENT, MACHINERY OR CONSTRUCTION MATERIALS WILL NOT BE PERMITTED WITHIN AREAS DELINEATED BY PROTECTIVE FENCES, NOR WILL DUMPING OF OILS OR CHEMICALS, FENCES ARE CRITICAL TO (1) PREVENT DIRECT CONTACT AND DAMAGE TO THE CANOPY, BRANCHES, AND TRUNK, (2) PRESERVE ROOTS AND SOIL IN AN INTACT AND NON-COMPACTED STATE, AND (3) IDENTIFY THE TREE PROTECTION ZONE. THE TREE PROTECTION FENCE SHALL BE CONTINUOUSLY MAINTAINED AND REPAIRED AS NECESSARY THROUGHOUT THE CONSTRUCTION PERIOD AND REMAIN IN PLACE UNTIL FINAL LANDSCAPE WORK COMMENCES.
- DURING THE COURSE OF CONSTRUCTION, RELOCATION OF THE FENCE MAY BE REQUIRED TO ACCOMMODATE CONSTRUCTION. THE CONTRACTOR MAY DO SO WITH THE APPROVAL OF THE OWNER OR ARBORIST OF RECORD AT NO ADDITIONAL EXPENSE.
- DURING THE COURSE OF CONSTRUCTION THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PROTECT THE EXISTING TREES FROM INJURY. THE ROOTS, TRUNKS, AND FOLIAGE OF ALL EXISTING TREES SHALL BE PROTECTED. THE CONTRACTOR SHALL KEEP THE SITE AREA AROUND ALL EXISTING TREES FREE FROM DEBRIS AT ALL TIMES.
- TREES SUBJECT TO THE PROVISIONS OF THESE REQUIREMENTS THAT HAVE BEEN INJURED FOR ANY REASON SHALL BE REPAIRED IMMEDIATELY BY THE ARBORIST OF RECORD OR AUTHORIZED REPRESENTATIVE. REPAIR SHALL INCLUDE REMOVAL OF ROUGH BARK EDGES AND SEVERELY INJURED BRANCHES AS DIRECTED BY THE ARBORIST OF RECORD OR AUTHORIZED REPRESENTATIVE.
- TREE PROTECTION FENCING SHALL BE INSTALLED FOR THE PROTECTION OF EXISTING TREES TO BE PRESERVED. CONSTRUCTION, DEMOLITION, NOR WORK OF ANY NATURE WILL BE ALLOWED WITHIN THE FENCED AREA WITHOUT PRIOR WRITTEN APPROVAL OF THE OWNER.
 - APPROVAL BY THE OWNER FOR WORK WITHIN THE FENCED AREA SHALL NOT RELEASE THE CONTRACTOR FROM ANY REQUIREMENT TO PROTECT EXISTING TREES TO BE PRESERVED.
 - DURING THE COURSE OF CONSTRUCTION WITHIN THE FENCED AREA, NO ROOTS LARGER THAN TWO (2) INCHES IN DIAMETER SHALL BE CUT WITHOUT PRIOR APPROVAL FROM THE ARBORIST OF RECORD OR AUTHORIZED REPRESENTATIVE.
 - DURING CONSTRUCTION, THE EXISTING DRAINAGE PATTERNS SHALL NOT BE ALTERED WITHIN THE AREA OF THE DRIPLINE.
- THE FOLLOWING IS NOT PERMITTED WITHIN THE DRIPLINE OF ANY EXISTING TREE TO BE PRESERVED:
 - STORAGE OR PILING OF AUTOMOBILES OR OTHER VEHICLES
 - STOCKPILING OF BUILDING MATERIALS OR REFUSE OF EXCAVATED MATERIALS
 - SKINNING OR BRUISING OF BARK
 - USE OF TREES AS SUPPORT POSTS, POWER POLES OR SIGNPOSTS, ANCHORAGE FOR ROPES, GUY WIRES, POWER LINES, OR OTHER SIMILAR FUNCTIONS
 - DUMPING OF POISONOUS MATERIALS ON OR AROUND TREES AND ROOTS. SUCH MATERIAL INCLUDES BUT IS NOT LIMITED TO PAINT, PETROLEUM PRODUCTS, CONTAMINATED WATER, OR OTHER DELETERIOUS MATERIALS.
 - CUTTING OF TREE ROOTS BY UTILITY TRENCHING, FOUNDATION DIGGING, PLACEMENT OF CURBS AND TRENCHES, AND OTHER MISCELLANEOUS EXCAVATION WITHOUT PRIOR APPROVAL OF THE ARBORIST OF RECORD OR AUTHORIZED REPRESENTATIVE.
 - DAMAGE TO TRUNK, LIMBS, OR FOLIAGE CAUSED BY MANEUVERING VEHICLES
 - COMPACTION OF THE ROOTZONE UNDER THE DRIPLINE BY MOVEMENT OF TRUCKS OR GRADING MACHINES; STORAGE OF EQUIPMENT, GRAVEL, EARTH FILL, OR CONSTRUCTION SUPPLIES, ETC.
 - EXCESSIVE WATER OR HEAT FROM EQUIPMENT, UTILITY LINE CONSTRUCTION, OR BURNING OF TRASH UNDER OR NEAR SHRUBS OR TREES
 - DAMAGE TO ROOT SYSTEMS FROM FLOODING, EROSION, AND EXCESSIVE WETTING AND DRYING RESULTING FROM DEWATERING AND OTHER OPERATIONS
- EXCAVATION AROUND TREES:
 - EXCAVATION WITHIN DRIPLINES OF TREES SHALL BE DONE ONLY WHERE ABSOLUTELY NECESSARY
 - WHEN TRENCHING FOR UTILITIES IS REQUIRED WITHIN DRIPLINES TUNNELING UNDER AND AROUND ROOTS OR BRIDGING OVER THEM IS PREFERRED OVER ROOT SEVERANCE. MAIN BUTTRESSES, OR SUPPORTIVE ROOTS, SHALL NOT BE CUT. SMALLER ROOTS THAT INTERFERE WITH INSTALLATION OF NEW WORK MAY BE CUT WITH PRIOR APPROVAL OF THE ARBORIST OF RECORD OR AUTHORIZED REPRESENTATIVE
 - WHERE EXCAVATION FOR NEW CONSTRUCTION IS REQUIRED WITHIN DRIPLINE OF TREES, HAND EXCAVATION SHALL BE EMPLOYED TO MINIMIZE DAMAGE TO ROOT SYSTEMS. IF LARGE, MAIN LATERAL ROOTS ARE ENCOUNTERED, THEY SHALL BE EXPOSED BEYOND EXCAVATION LIMITS AS REQUIRED TO BEND AND RELOCATE THEM WITHOUT BREAKING. ANY ROOTS 2-INCHES OR LARGER WHICH MIGHT BE SEVERED WILL BE CLEARLY CUT BEHIND TORN ENDS TO ENHANCE THE EFFICIENT NATURAL "COMPARTMENTALIZATION" OF THE DAMAGE BY THE ROOTS. THERE IS NO NEED TO APPLY ANY TYPE OF "PRUNING SEAL" COMPOUND WHEN ROOTS ARE CLEARLY CUT, SINCE THE ROOTS WILL FORM THEIR OWN INTERNAL BARRIERS TO DECAY
 - EXPOSED ROOTS SHALL NOT BE ALLOWED TO DRY OUT BEFORE PERMANENT BACKFILL IS PLACED. TEMPORARY EARTH COVER SHALL BE PROVIDED OR ROOTS SHALL BE PACKED WITH WET PEAT MOSS, OR FOUR LAYERS OF WET, UNTREATED BURLAP, AND TEMPORARILY SUPPORTED AND PROTECTED FROM DAMAGE UNTIL PERMANENTLY COVERED WITH BACKFILL. THE COVER OVER THE ROOTS SHALL BE WETTED TO THE POINT OF RUNOFF DAILY.
- TRIMMING OF TREES (WHEN INDICATED AS WORK INCLUDED IN CONTRACT, OR WHEN PRUNING IS REQUIRED AND APPROVAL HAS BEEN GRANTED BY THE OWNER TO ACCOMMODATE CONSTRUCTION):
 - BRANCHES SHALL BE THINNED IN ACCORDANCE WITH THE AMERICAN NATIONAL STANDARDS INSTITUTE STANDARD PRACTICES FOR PRUNING (ANSI A300)
 - THE ARBORIST OF RECORD OR AUTHORIZED REPRESENTATIVE SHALL BE ENGAGED TO OVERSEE REMOVAL OF BRANCHES FROM TREES AND LARGE SHRUBS WHICH ARE TO REMAIN
 - IN THE CASE OF ROOT CUTS APPLY WET BURLAP OR OTHER PROTECTION TO PREVENT DRYING OUT, AND MAINTAIN IN A MOIST CONDITION UNTIL PERMANENT BACKFILL IS IN PLACE
- WATERING TREES:
 - THE CONTRACTOR WILL BE RESPONSIBLE FOR PERIODIC WATERING OF THE TREES. REMAINING TREES SHOULD BE IN THE BEST HEALTH POSSIBLE IN ORDER TO REMAIN VIGOROUS DURING CONSTRUCTION. CONTRACTOR SHALL MAKE A WATER SOURCE AVAILABLE, AND PROVISIONS FOR THE CONNECTION OF WATER HOSES OR OTHER IRRIGATION SYSTEM. ACCESS SHALL BE PROVIDED WITHIN FENCED AREAS. IN GENERAL, IT IS BEST TO MINIMIZE THE AMOUNT OF ENVIRONMENTAL CHANGES IN CURRENT WATERING PRACTICES, ESPECIALLY DRASTIC INCREASES. TO AVOID THE INTRODUCTION OF ROOT-ROTTING FUNGI, AT NO TIME SHOULD WATER BE ALLOWED TO COLLECT OR STAND NEAR THE TRUNKS OF TREES.
 - SOIL COMPACTION MITIGATION:
 - THE CONTRACTOR WILL BE RESPONSIBLE FOR INSTALLING ANY ROOT BUFFER MATERIAL SUCH AS MULCH, GRAVEL, OR PLYWOOD. THE CONTRACTOR IS RESPONSIBLE FOR ITS MAINTENANCE TO ASSURE EFFECTIVENESS AGAINST SOIL COMPACTION.
- REPAIR COMPENSATION:
 - DAMAGE TO EXISTING CROWNS OR ROOTS OVER TWO (2) INCHES IN DIAMETER SHALL BE IMMEDIATELY REPORTED TO THE OWNER, IN WRITING, AND REPAIRED IMMEDIATELY AT THE CONTRACTOR'S EXPENSE BY THE ARBORIST OF RECORD OR AUTHORIZED REPRESENTATIVE
 - THE ARBORIST OF RECORD OR AUTHORIZED REPRESENTATIVE SHALL DIRECT THE REPAIR OF TREES DAMAGED BY CONSTRUCTION OPERATIONS. REPAIRS SHALL BE MADE PROMPTLY AFTER DAMAGE OCCURS TO PREVENT PROGRESSIVE DETERIORATION OF DAMAGED TREES
 - ANY TREE TO REMAIN WHICH IS DAMAGED OR DESTROYED OWING TO THE CONTRACTOR'S FAILURE TO PROVIDE ADEQUATE PROTECTION SHALL BE COMPENSATED FOR IN ACCORDANCE WITH THE GUIDELINES SET FORTH IN THE GUIDE FOR PLANT APPRAISAL, 10TH EDITION, USING THE TRUNK FORMULA METHOD

FOR TREES AND SHRUBS WITH DIAMETERS UP TO AND INCLUDING 6 INCHES, COMPENSATION SHALL BE THE ACTUAL COST OF REPLACEMENT WITH ITEM SIMILAR IN SPECIES, SIZE, AND SHAPE, INCLUDING, BUT NOT LIMITED TO:

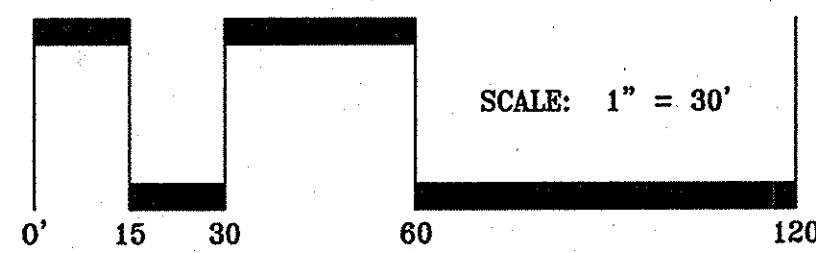
 - ACTUAL COST OF REPLACEMENT TREE
 - TRANSPORTATION OR DELIVERY OF BOXED TREE TO SITE
 - PLANTING AND STAKING (OR GUYING)
 - ESTABLISHMENT PERIOD MAINTENANCE FOR AT LEAST 90 DAYS, INCLUDING WATERING, PRUNING, PEST CONTROL, OR OTHER CARE TO BRING REPLACEMENT TO THE SAME GENERAL CONDITION OF THE ORIGINAL TREE
 - DAMAGED TREE LIMBS OR TREES WHICH HAVE DIES AS A RESULT OF INJURY DURING CONSTRUCTION SHALL REMAIN OR BE REMOVED BY THE CONTRACTOR AS DIRECTED BY THE OWNER OR ARBORIST OF RECORD

CERTIFICATION NOTE:
I/WE CERTIFY THAT THE LANDSCAPE SHOWN ON THIS PLAN WILL BE DONE ACCORDING TO THE PLAN, SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL FOR NEW TOWN ALTERNATIVE COMPLIANCE AND THE WARFIELD NEIGHBORHOOD DESIGN GUIDELINES. I/WE FURTHER CERTIFY THAT UPON COMPLETION A LETTER OF LANDSCAPE INSTALLATION, ACCOMPANIED BY AN EXECUTED ONE YEAR GUARANTEE OF PLANT MATERIALS, WILL BE SUBMITTED TO THE DEPARTMENT OF PLANNING AND ZONING.

Parcel C Property LLC
DEVELOPER'S/OWNER'S NAME
By: *[Signature]*
DEVELOPER'S/OWNER'S NAME
Authorized Official

CERTIFICATION NOTE:
THE LANDSCAPE PLAN PROVIDED WITHIN IS CERTIFIED TO MEET ALL REQUIREMENTS AND THE DESIGN INTENT OF THE WARFIELD NEIGHBORHOOD DESIGN GUIDELINES RECORDED IN THE LAND RECORDS OF HOWARD COUNTY IN LIBER 14166 FOLIO 1-250

[Signature]
MATTHEW D'AMICO, RLA 1039



APPROVED
PLANNING BOARD OF HOWARD COUNTY

Date: November 20, 2014

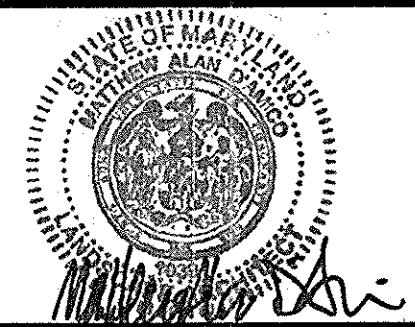
APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

[Signature] 12-17-15
Director Date
[Signature] 12-17-15
Chief, Division of Land Development Date
[Signature] 9-14-15
Chief, Development Engineering Division Date

DESIGN COLLECTIVE

ARCHITECTURE, PLANNING, INTERIORS
501 EAST FRAY STREET, SUITE 300
BALTIMORE, MARYLAND 21202
T: 410.885.6655 F: 410.539.6447

OWNER/PREPARED FOR:
PARCEL C PROPERTY, LLC
1751 PINNACLE DRIVE
SUITE 700
MCLEAN, VIRGINIA 22102
ATTN: KEVIN PETERKIN
703-205-5542



TREE PLAN
DOWNTOWN COLUMBIA
WARFIELD NEIGHBORHOOD BLOCKS W-2 & W-5
PARCELS C-1 & C-2
GREEN MIXED USE BUILDING
PLAT No. 22455-22460

SCALE	ZONING	G. L. W. FILE No.
1"=30'-0"	NT	12078
DATE	TAX MAP - GRID	SHEET
AUG., 2015	36 - 01	40 OF 47

L400

ELECTION DISTRICT No. 5

HOWARD COUNTY, MARYLAND

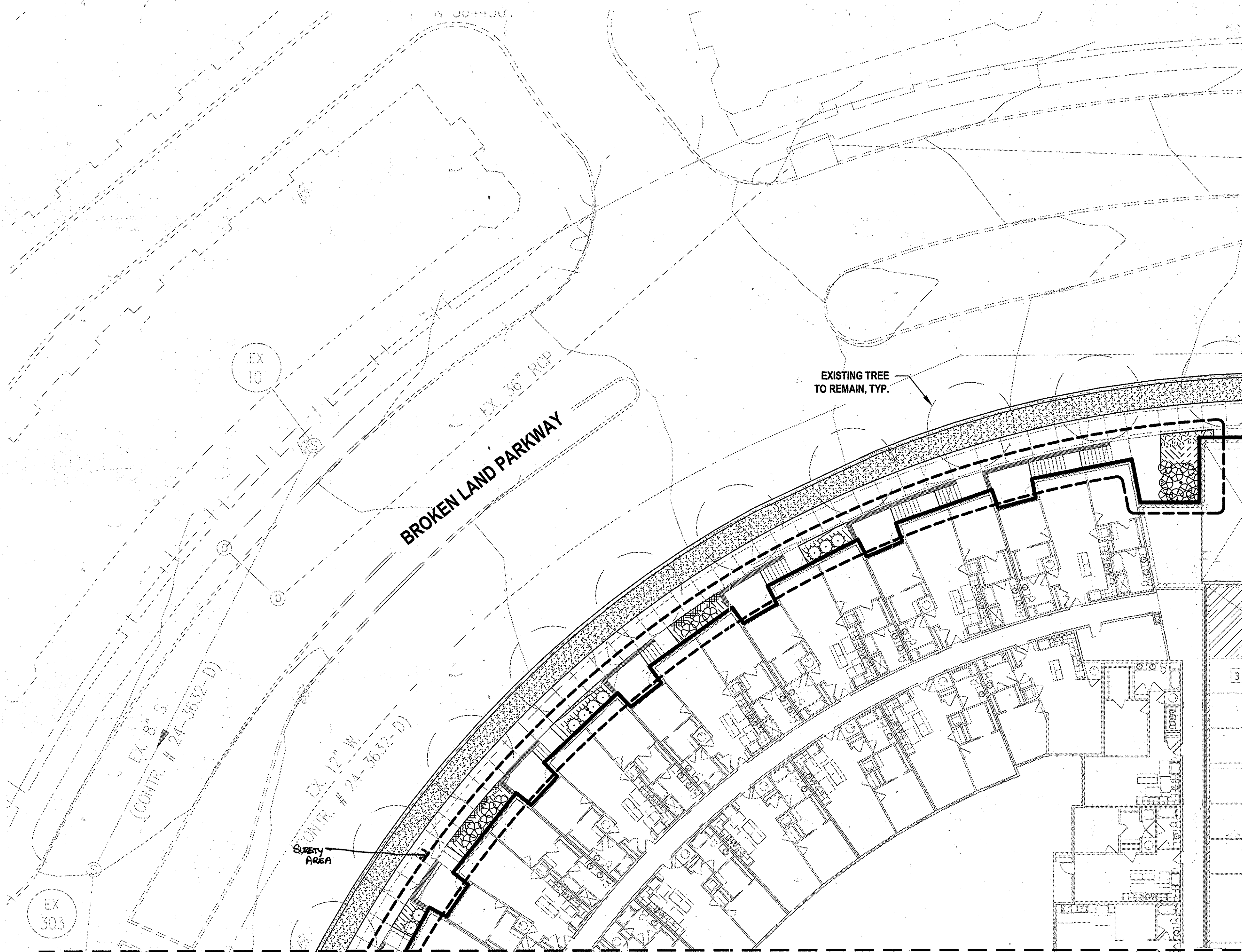
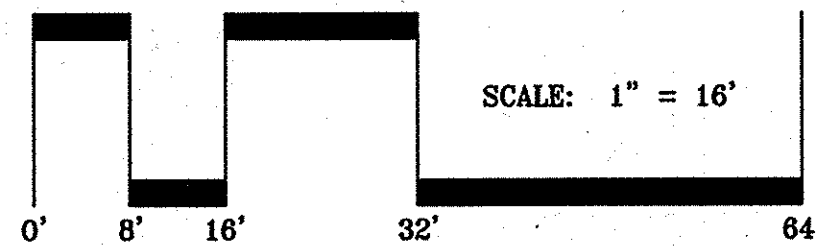
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Parcel C Property LLC
DEVELOPER'S/OWNER'S NAME

By: *[Signature]*
DEVELOPER'S/OWNER'S NAME
Authorized Official

CERTIFICATION NOTE:
THE LANDSCAPE PLAN PROVIDED WITHIN IS CERTIFIED TO MEET ALL REQUIREMENTS AND THE DESIGN INTENT OF THE WARFIELD NEIGHBORHOOD DESIGN GUIDELINES RECORDED IN THE LAND RECORDS OF HOWARD COUNTY IN LIBER 14166 FOLIO 1-250

[Signature]
MATTHEW D'AMICO, RLA 1039



MATCHLINE - SEE SHEET X3

PLANT SCHEDULE

TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	
	AA3	6	Amelanchier canadensis 'Autumn Brilliance'	Autumn Brilliance Serviceberry	8' ht.	
	MS	4	Magnolia virginiana	Sweet Bay	10' ht.	
SHRUBS	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING
	AR3	27	Abelia x 'Rose Creek'	Rose Creek Abelia	5 gal	42" o.c.
	CP	39	Clethra alnifolia 'Pink Spires'	Summersweet Clethra	5 gal	48" o.c.
	CA2	10	Cornus sericea 'Artic Fire'	Artic Fire Dogwood	7 gal	48" o.c.
	CR	65	Cornus sericea 'Bailey'	Red Twig Dogwood	7 gal	45" o.c.
	HA	34	Hydrangea arborescens 'Annabelle'	Annabelle Smooth Hydrangea	5 gal	42" o.c.
	HL	20	Hydrangea paniculata 'Little Lime'	Little Lime Hydrangea	5 gal	48" o.c.
	IG	91	Ilex glabra	Inkberry Holly	7 gal	60" o.c.
	IA	6	Ilex verticillata 'Apollo'	Winterberry	7 gal	48" o.c.
	IS	38	Ilex verticillata 'Sparkleberry'	Winterberry	7 gal	48" o.c.
	PO	38	Prunus laurocerasus 'Otto Luyken'	Luykens Laurel	5 gal	48" o.c.
	RR	13	Rosa x 'Knockout' TM	Rose	7 gal	42" o.c.
	VD	49	Viburnum dentatum 'Arrowwood'	Arrowwood Viburnum	7 gal	42" o.c.
GROUND COVERS	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	SPACING
	AS2	48	Aesculus parviflora serotina 'Rogers'	Rogers Bottlebrush Buckeye	1 qt	12" o.c.
	AC	581	Asarum canadense	Canadian Wild Ginger	1qt	12" o.c.
	AT2	445	Asclepias tuberosa	Butterfly Milkweed	1 gal	15" o.c.
	BA2	248	Baptisia australis	Blue Wild Indigo	1 gal	18" o.c.
	CI	490	Carex morrowii 'Ice Dance'	Ice Dance Japanese Sedge	1 gal	15" o.c.
	CS2	1,128	Carex pensylvanica	Pennsylvania Sedge	1qt	12" o.c.
	CL	575	Chasmanthium latifolium	Wood Oats	1qt	15" o.c.
	CG4	91	Chelone glabra	White Turtle-head	1 gal	15" o.c.
	EP2	179	Echinacea purpurea 'Magnus'	Purple Coneflower	1 gal	15" o.c.
	EH	126	Elymus hystrix	Bottlebrush Grass	1qt	15" o.c.
	JE	72	Juncus effusus	Soft Rush	1qt	15" o.c.
	LS2	325	Liatris spicata	Spike Gayfeather	1 gal	15" o.c.
	NW	268	Nepeta x faassenii 'Walkers Low'	Walkers Low Catmint	1 gal	15" o.c.
	PS2	752	Panicum virgatum 'Shenendoah'	Burgundy Switch Grass	1 qt	15" o.c.
	PB	183	Phlox divaricata 'Blue Moon'	Blue Moon Phlox	1 qt	12" o.c.
	RH2	184	Rudbeckia hirta	Black-eyed Susan	1 qt	15" o.c.

MATCHLINE - SEE SHEET X2

NOTE: MULCH
ALL PLANTING AREAS TO RECEIVE 2" TO 3" SHREDDED MULCH,
EXCEPT AT LAWN/SOD AREAS.

L410 SURETY TOTALS:
TREES: 1
SHRUBS: 26

L410

APPROVED
PLANNING BOARD OF HOWARD COUNTY
Date: November 20, 2014

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
Director: *[Signature]* 12-17-15
Chief, Division of Land Development: *[Signature]* 12-17-15
Chief, Development Engineering Division: *[Signature]* 9.14.15

DESIGN COLLECTIVE	ARCHITECTURE, PLANNING, INTERIORS	601 EAST PRATT STREET, SUITE 300 BALTIMORE, MARYLAND 21202 TEL: 410-855-6655 FAX: 410-539-6242
DES. XXX	DRN. XXX	CHK. XXX
DATE	REVISION	BY APPR.

OWNER/PREPARED FOR:
PARCEL C PROPERTY, LLC
1751 PINNACLE DRIVE
SUITE 700
MCLEAN, VIRGINIA 22102
ATTN: KEVIN PETERKIN
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PLANTING ENLARGEMENT PLAN
DOWNTOWN COLUMBIA
WARFIELD NEIGHBORHOOD BLOCKS W-2 & W-5
PARCELS C-1 & C-2
GREEN MIXED USE BUILDING
PLAT No. 22455-22460
HOWARD COUNTY, MARYLAND

ELECTION DISTRICT No. 5

SCALE 1/16" = 1'-0"	ZONING NT	G. L. W. FILE No. 12078
DATE AUG., 2015	TAX MAP - GRID 36 - 01	SHEET 41 OF 47

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 PLOTTED: 8/14/2015 11:28 AM, LAST SAVED: 9/14/2015 11:27 AM, PLOTTED BY: Kristin Ward
 © GLW 2015

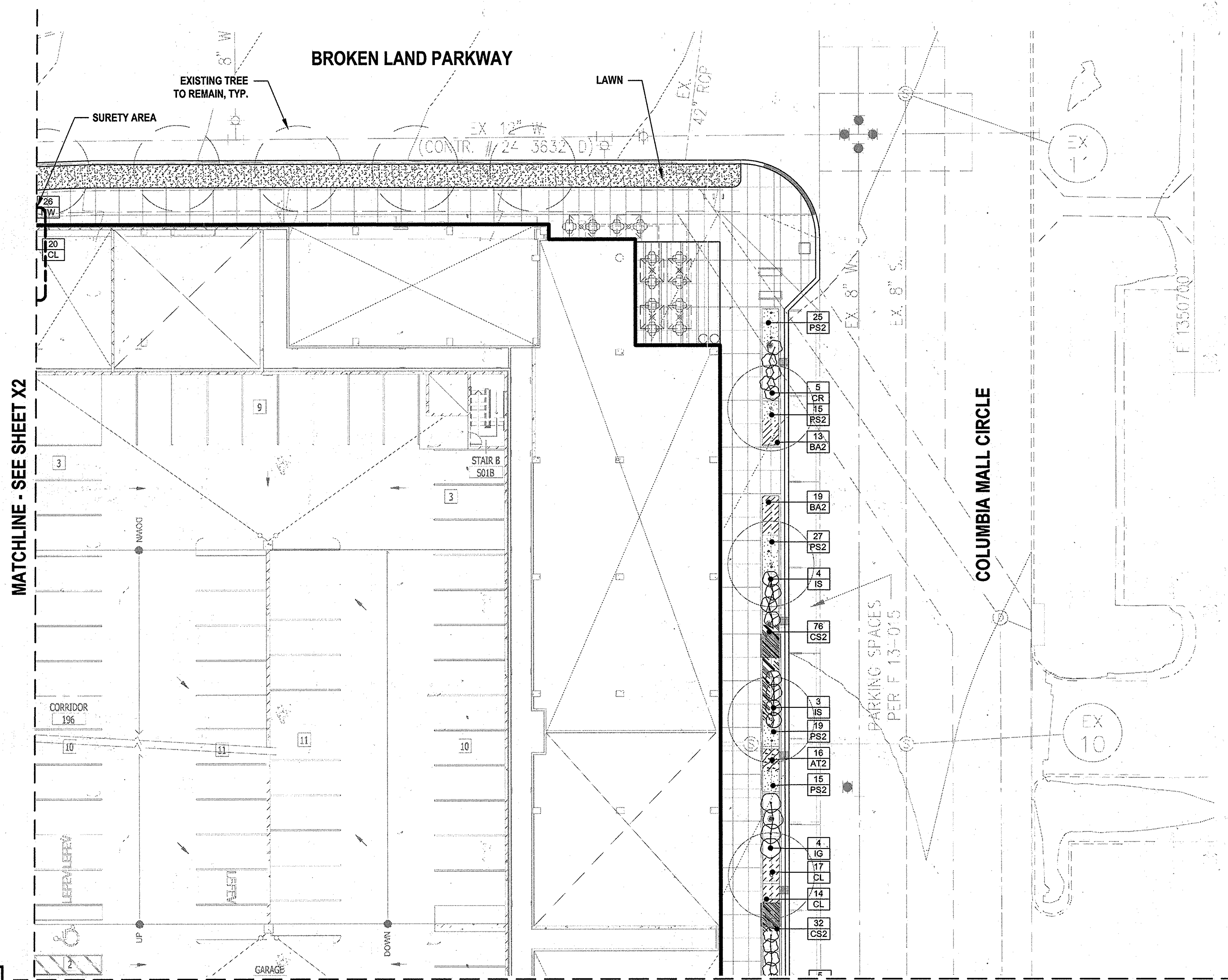
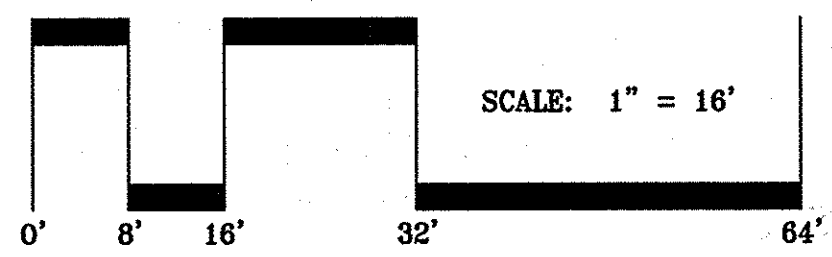
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 PLOTTED: 8/14/2015 11:28 AM, LAST SAVE: 8/11/2015 11:27 AM, PLOTTED BY: Kristin Ward

CERTIFICATION NOTE:
 I/WE CERTIFY THAT THE LANDSCAPING SHOWN ON THIS PLAN WILL BE DONE ACCORDING TO THE PLAN, SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL FOR NEW TOWN ALTERNATIVE COMPLIANCE AND THE WARFIELD NEIGHBORHOOD DESIGN GUIDELINES. I/WE FURTHER CERTIFY THAT UPON COMPLETION A LETTER OF LANDSCAPE INSTALLATION, ACCOMPANIED BY AN EXECUTED ONE YEAR GUARANTEE OF PLANT MATERIALS, WILL BE SUBMITTED TO THE DEPARTMENT OF PLANNING AND ZONING.

Parcel C Property LLC
 DEVELOPER'S/OWNER'S NAME
 BY: *[Signature]*
 DEVELOPER'S/OWNER'S NAME
 Authorized Official

CERTIFICATION NOTE:
 THE LANDSCAPE PLAN PROVIDED WITHIN IS CERTIFIED TO MEET ALL REQUIREMENTS AND THE DESIGN INTENT OF THE WARFIELD NEIGHBORHOOD DESIGN GUIDELINES RECORDED IN THE LAND RECORDS OF HOWARD COUNTY IN LIBER 14166 FOLIO 1-250

[Signature]
 MATTHEW D'AMICO, RLA 1039



PLANT SCHEDULE						
TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	
	AA3	6	Amelanchier canadensis 'Autumn Brilliance'	Autumn Brilliance Serviceberry	8' ht.	
	MS	4	Magnolia virginiana	Sweet Bay	10' ht.	
SHRUBS	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING
	AR3	27	Abelia x 'Rose Creek'	Rose Creek Abelia	5 gal	42" o.c.
	CP	39	Clethra alnifolia 'Pink Spires'	Summersweet Clethra	5 gal	48" o.c.
	CA2	10	Cornus sericea 'Artic Fire'	Artic Fire Dogwood	7 gal	48" o.c.
	CR	65	Cornus sericea 'Bailey'	Red Twig Dogwood	7 gal	45" o.c.
	HA	34	Hydrangea arborescens 'Annabelle'	Annabelle Smooth Hydrangea	5 gal	42" o.c.
	HL	20	Hydrangea paniculata 'Little Lime'	Little Lime Hydrangea	5 gal	48" o.c.
	IG	91	Ilex glabra	Inkberry Holly	7 gal	60" o.c.
	IA	6	Ilex verticillata 'Apollo'	Winterberry	7 gal	48" o.c.
	IS	38	Ilex verticillata 'Sparkberry'	Winterberry	7 gal	48" o.c.
	PO	38	Prunus laurocerasus 'Otto Luyken'	Luykens Laurel	5 gal	48" o.c.
	RR	13	Rosa x 'Knockout' TM	Rose	7 gal	42" o.c.
	VD	49	Viburnum dentatum 'Arrowwood'	Arrowwood Viburnum	7 gal	42" o.c.
GROUND COVERS	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	SPACING
	AS2	48	Aesculus parviflora serotina 'Rogers'	Rogers Bottlebrush Buckeye	1 qt	12" o.c.
	AC	581	Asarum canadense	Canadian Wild Ginger	1qt	12" o.c.
	AT2	445	Asclepias tuberosa	Butterfly Milkweed	1 gal	15" o.c.
	BA2	248	Baptisia australis	Blue Wild Indigo	1 gal	18" o.c.
	CI	490	Carex morrowii 'Ice Dance'	Ice Dance Japanese Sedge	1 gal	15" o.c.
	CS2	1,128	Carex pennsylvanica	Pennsylvania Sedge	1qt	12" o.c.
	CL	575	Chasmanthium latifolium	Wood Oats	1qt	15" o.c.
	CG4	91	Chelone glabra	White Turtle-head	1 gal	15" o.c.
	EP2	179	Echinacea purpurea 'Magnus'	Purple Coneflower	1 gal	15" o.c.
	EH	126	Elymus hystrix	Bottlebrush Grass	1qt	15" o.c.
	JE	72	Juncus effusus	Soft Rush	1qt	15" o.c.
	LS2	325	Liatris spicata	Spike Gayfeather	1 gal	15" o.c.
	NW	268	Nepeta x faassenii 'Walkers Low'	Walkers Low Catmint	1 gal	15" o.c.
	PS2	752	Panicum virgatum 'Shenandoah'	Burgundy Switch Grass	1 qt	15" o.c.
	PB	183	Phlox divaricata 'Blue Moon'	Blue Moon Phlox	1 qt	12" o.c.
	RH2	184	Rudbeckia hirta	Black-eyed Susan	1 qt	15" o.c.

NOTE: MULCH
 ALL PLANTING AREAS TO RECEIVE 2" TO 3" SHREDDED MULCH,
 EXCEPT AT LAWN/SOD AREAS.

L411 SURETY TOTALS:
 SHRUBS: 0

APPROVED
PLANNING BOARD OF HOWARD COUNTY
 Date: November 20, 2014

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
[Signature] 12-17-15
 Director Date
[Signature] 12-17-15
 Chief, Division of Land Development Date
[Signature] 9-14-15
 Chief, Development Engineering Division Date

DESIGN COLLECTIVE	
ARCHITECTURE, PLANNING, INTERIORS WWW.DESIGNCOLLECTIVE.COM	608 EAST PRATT STREET, SUITE 300 BALTIMORE, MARYLAND 21202 T: 410.685.6655 F: 410.539.6242
DES. XXX	DRN. XXX
CHK. XXX	DATE
REVISION	BY
APPR.	

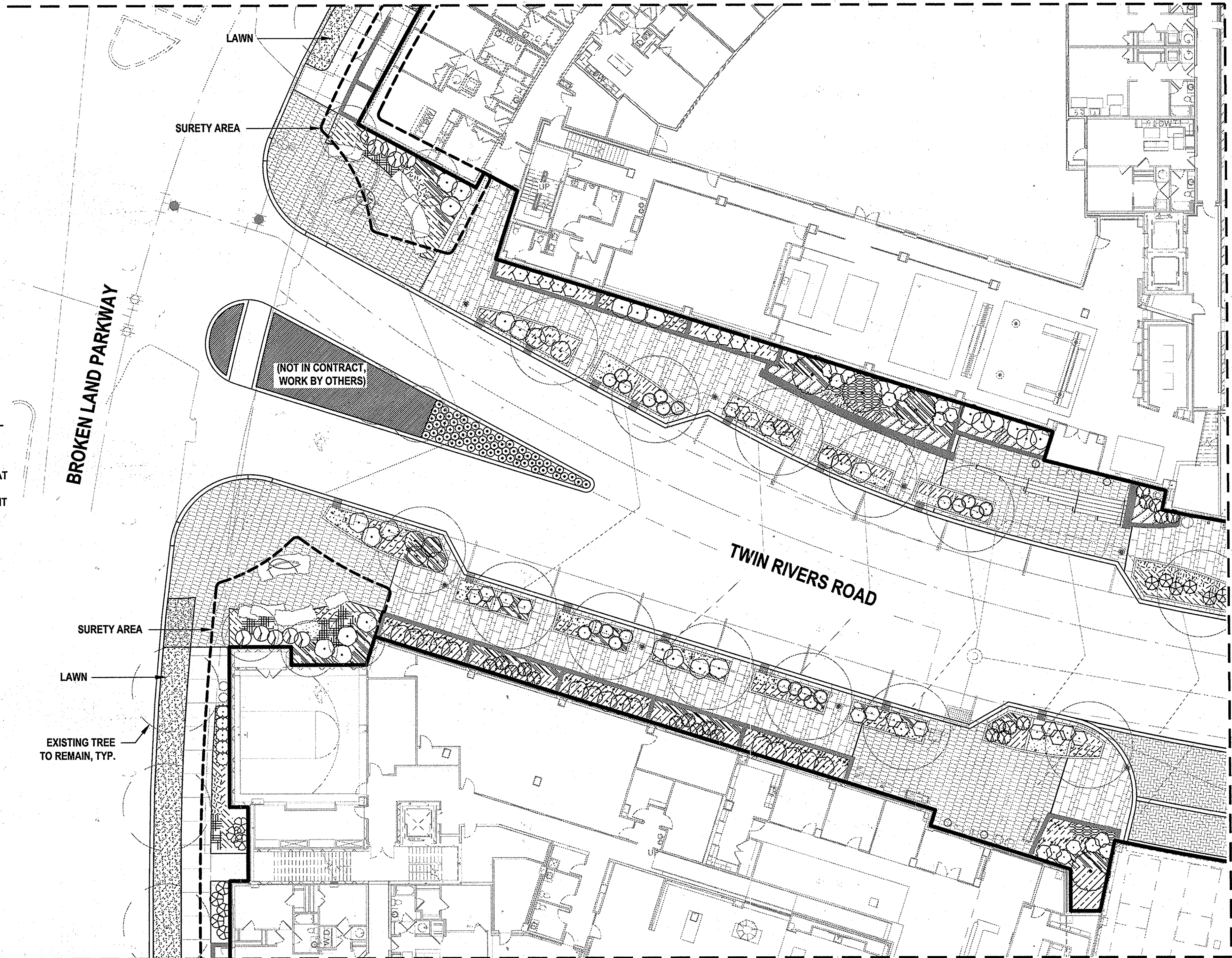
OWNER/PREPARED FOR: PARCEL C PROPERTY, LLC 1751 PINNACLE DRIVE SUITE 700 MCLEAN, VIRGINIA 22102 ATTN: KEVIN PETERKIN 703-205-5542	
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PLANTING ENLARGEMENT PLAN
DOWNTOWN COLUMBIA
 WARFIELD NEIGHBORHOOD BLOCKS W-2 & W-5
 PARCELS C-1 & C-2
 GREEN MIXED USE BUILDING
 PLAT No. 22455-22460
 ELECTION DISTRICT No. 5

SCALE 1/16"=1'-0"	ZONING NT	G. L. W. FILE No. 12078
DATE AUG., 2015	TAX MAP - GRID 36 - 01	SHEET 42 OF 47

L411

MATCHLINE - SEE SHEET L110



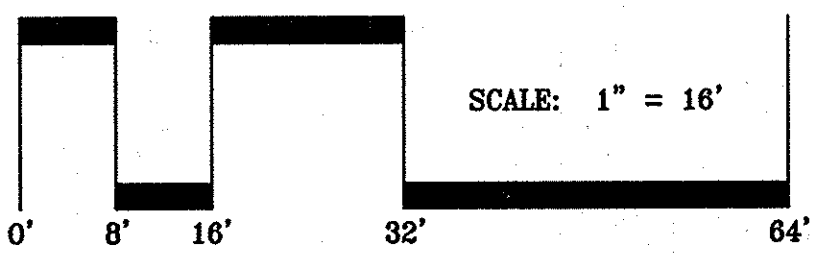
MATCHLINE - SEE SHEET X4

CERTIFICATION NOTE:
I/WE CERTIFY THAT THE LANDSCAPING SHOWN ON THIS PLAN WILL BE DONE ACCORDING TO THE PLAN, SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL FOR NEW TOWN ALTERNATIVE COMPLIANCE AND THE WARFIELD NEIGHBORHOOD DESIGN GUIDELINES. I/WE FURTHER CERTIFY THAT UPON COMPLETION A LETTER OF LANDSCAPE INSTALLATION, ACCOMPANIED BY AN EXECUTED ONE YEAR GUARANTEE OF PLANT MATERIALS, WILL BE SUBMITTED TO THE DEPARTMENT OF PLANNING AND ZONING.

Parcel C Property LLC
DEVELOPER'S/OWNER'S NAME
By: *[Signature]*
DEVELOPER'S/OWNER'S NAME
Authorized Official

CERTIFICATION NOTE:
THE LANDSCAPE PLAN PROVIDED WITHIN IS CERTIFIED TO MEET ALL REQUIREMENTS AND THE DESIGN INTENT OF THE WARFIELD NEIGHBORHOOD DESIGN GUIDELINES RECORDED IN THE LAND RECORDS OF HOWARD COUNTY IN LIBER 14166 FOLIO 1-250

[Signature]
MATTHEW D'AMICO, RLA 1039



MATCHLINE - SEE SHEET X5

PLANT SCHEDULE						
TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	
	AA3	6	Amelanchier canadensis 'Autumn Brilliance'	Autumn Brilliance Serviceberry	8' ht.	
	MS	4	Magnolia virginiana	Sweet Bay	10' ht.	
SHRUBS	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING
	AR3	27	Abelia x 'Rose Creek'	Rose Creek Abelia	5 gal	42" o.c.
	CP	39	Clethra alnifolia 'Pink Spires'	Summersweet Clethra	5 gal	48" o.c.
	CA2	10	Cornus sericea 'Artic Fire'	Artic Fire Dogwood	7 gal	48" o.c.
	CR	65	Cornus sericea 'Bailey'	Red Twig Dogwood	7 gal	45" o.c.
	HA	34	Hydrangea arborescens 'Annabelle'	Annabelle Smooth Hydrangea	5 gal	42" o.c.
	HL	20	Hydrangea paniculata 'Little Lime'	Little Lime Hydrangea	5 gal	48" o.c.
	IG	91	Ilex glabra	Inkberry Holly	7 gal	60" o.c.
	IA	6	Ilex verticillata 'Apolo'	Winterberry	7 gal	48" o.c.
	IS	38	Ilex verticillata 'Sparkleberry'	Winterberry	7 gal	48" o.c.
	PO	38	Prunus laurocerasus 'Otto Luyken'	Luykens Laurel	5 gal	48" o.c.
	RR	13	Rosa x 'Knockout' TM	Rose	7 gal	42" o.c.
	VD	49	Viburnum dentatum 'Arrowwood'	Arrowwood Viburnum	7 gal	42" o.c.
GROUND COVERS	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	SPACING
	AS2	48	Aesculus parviflora serotina 'Rogers'	Rogers Bottlebrush Buckeye	1 qt	12" o.c.
	AC	581	Asarum canadense	Canadian Wild Ginger	1qt	12" o.c.
	AT2	445	Asclepias tuberosa	Butterfly Milkweed	1 gal	15" o.c.
	BA2	248	Baptisia australis	Blue Wild Indigo	1 gal	18" o.c.
	CI	490	Carex morrowii 'Ice Dance'	Ice Dance Japanese Sedge	1 gal	15" o.c.
	CS2	1,128	Carex pensylvanica	Pennsylvania Sedge	1qt	12" o.c.
	CL	575	Chasmanthium latifolium	Wood Oats	1qt	15" o.c.
	CG4	91	Chelone glabra	White Turtle-head	1 gal	15" o.c.
	EP2	179	Echinacea purpurea 'Magnus'	Purple Coneflower	1 gal	15" o.c.
	EH	126	Elymus hystrix	Bottlebrush Grass	1qt	15" o.c.
	JE	72	Juncus effusus	Soft Rush	1qt	15" o.c.
	LS2	325	Liatris spicata	Spike Gayfeather	1 gal	15" o.c.
	NW	268	Nepeta x faassenii 'Walkers Low'	Walkers Low Catmint	1 gal	15" o.c.
	PS2	752	Panicum virgatum 'Shenendoah'	Burgundy Switch Grass	1 qt	15" o.c.
	PB	183	Phlox divaricata 'Blue Moon'	Blue Moon Phlox	1 qt	12" o.c.
	RH2	184	Rudbeckia hirta	Black-eyed Susan	1 qt	15" o.c.

NOTE: MULCH ALL PLANTING AREAS TO RECEIVE 2" TO 3" SHREDDED MULCH, EXCEPT AT LAWN/SOD AREAS.

L412 SURETY TOTALS:
ORNAMENTAL TREES: 6
SHRUBS: 28

L412

APPROVED
PLANNING BOARD OF HOWARD COUNTY
Date: November 20, 2014

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
Director: *[Signature]* 12-17-15
Chief, Division of Land Development: *[Signature]* 12-17-15
Chief, Development Engineering Division: *[Signature]* 9.14.15

DESIGN COLLECTIVE
ARCHITECTURE, PLANNING, INTERIORS
WWW.DESIGNCOLLECTIVE.COM
401 EAST PRATT STREET, SUITE 300
BALTIMORE, MARYLAND 21202
T: 410.855.6655 F: 410.539.6242

DES. XXX	DRN. XXX	CHK. XXX	DATE	REVISION	BY	APP'R.

OWNER/PREPARED FOR:
PARCEL C PROPERTY, LLC
1751 PINNACLE DRIVE
SUITE 700
MCLEAN, VIRGINIA 22102
ATTN: KEVIN PETERKIN
703-205-5542



PLANTING ENLARGEMENT PLAN
DOWNTOWN COLUMBIA
WARFIELD NEIGHBORHOOD BLOCKS W-2 & W-5
PARCELS C-1 & C-2
GREEN MIXED USE BUILDING
PLAT No. 22455-22460
ELECTION DISTRICT No. 5
HOWARD COUNTY, MARYLAND

SCALE	ZONING	G. L. W. FILE No.
1/16" = 1'-0"	NT	12078
DATE	TAX MAP - GRID	SHEET
AUG., 2015	36 - 01	43 OF 47

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 © GLW 2015

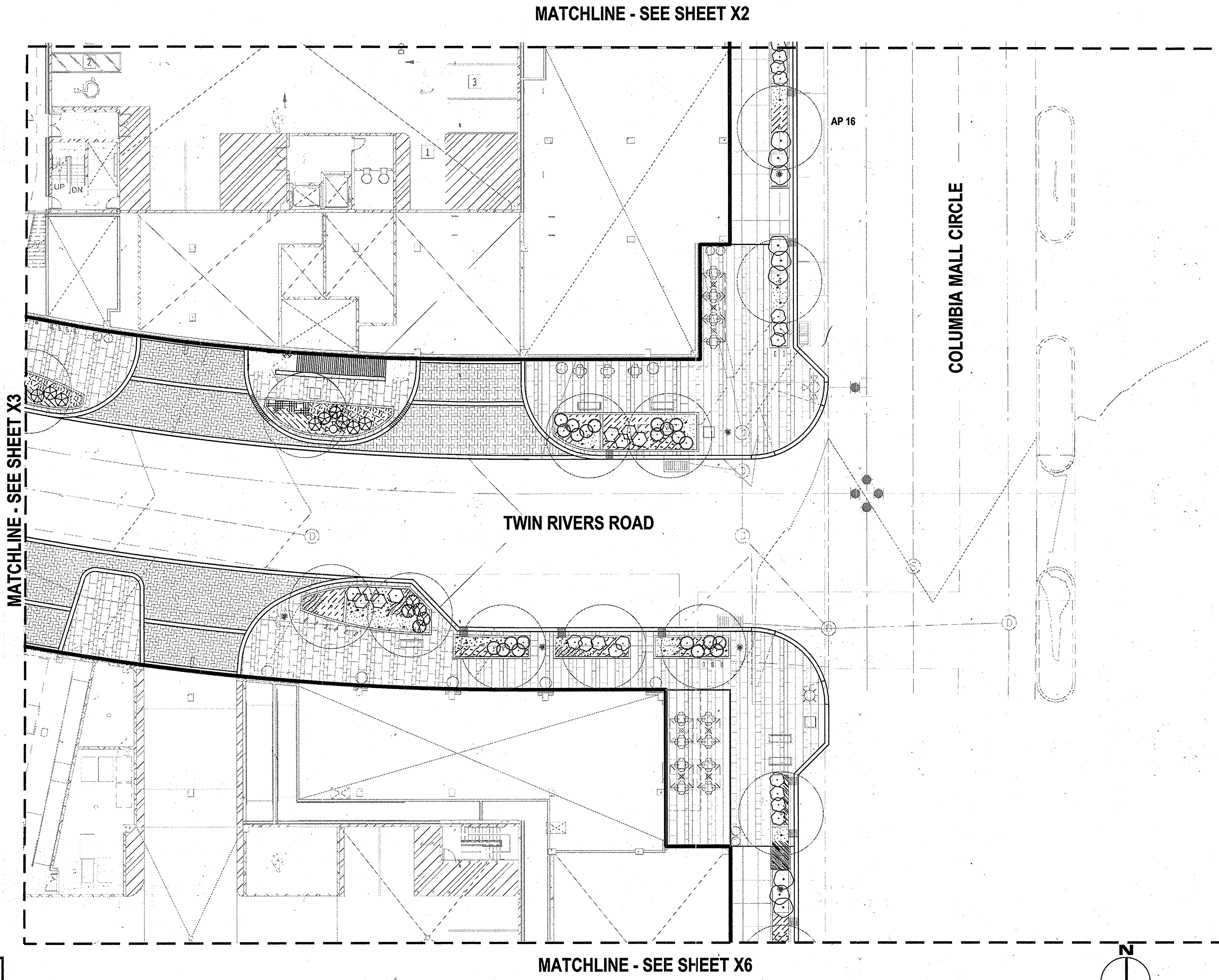
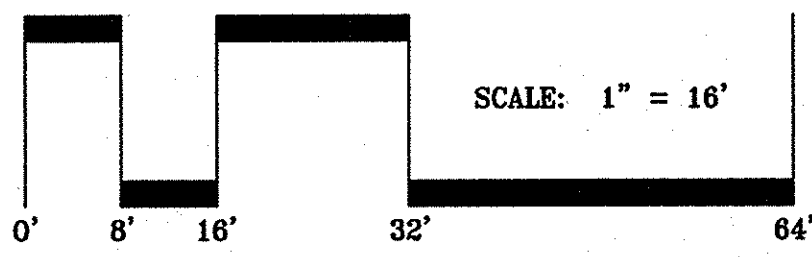
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CERTIFICATION NOTE:
 I/WE CERTIFY THAT THE LANDSCAPING SHOWN ON THIS PLAN WILL BE DONE ACCORDING TO THE PLAN, SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL FOR NEW TOWN ALTERNATIVE COMPLIANCE AND THE WARFIELD NEIGHBORHOOD DESIGN GUIDELINES. I/WE FURTHER CERTIFY THAT UPON COMPLETION A LETTER OF LANDSCAPE INSTALLATION, ACCOMPANIED BY AN EXECUTED ONE YEAR GUARANTEE OF PLANT MATERIALS, WILL BE SUBMITTED TO THE DEPARTMENT OF PLANNING AND ZONING.

Parcel C Property LLC
 DEVELOPER'S/OWNER'S NAME
 By: *[Signature]*
 DEVELOPER'S/OWNER'S NAME
 Authorized Official

CERTIFICATION NOTE:
 THE LANDSCAPE PLAN PROVIDED WITHIN IS CERTIFIED TO MEET ALL REQUIREMENTS AND THE DESIGN INTENT OF THE WARFIELD NEIGHBORHOOD DESIGN GUIDELINES RECORDED IN THE LAND RECORDS OF HOWARD COUNTY IN LIBER 14166 FOLIO 1-250

[Signature]
 MATTHEW D'AMICO, RLA 1039



PLANT SCHEDULE						
TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	
	AA3	6	Amelanchier canadensis 'Autumn Brilliance'	Autumn Brilliance Serviceberry	8' ht.	
	MS	4	Magnolia virginiana	Sweet Bay	10' ht.	
SHRUBS	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING
	AR3	27	Abelia x 'Rose Creek'	Rose Creek Abelia	5 gal	42" o.c.
	CP	39	Clethra alnifolia 'Pink Spires'	Summersweet Clethra	5 gal	48" o.c.
	CA2	10	Cornus sericea 'Arctic Fire'	Arctic Fire Dogwood	7 gal	48" o.c.
	CR	65	Cornus sericea 'Bailey'	Red Twig Dogwood	7 gal	45" o.c.
	HA	34	Hydrangea arborescens 'Annabelle'	Annabelle Smooth Hydrangea	5 gal	42" o.c.
	HL	20	Hydrangea paniculata 'Little Lime'	Little Lime Hydrangea	5 gal	48" o.c.
	IG	91	Ilex glabra	Inkberry Holly	7 gal	60" o.c.
	IA	6	Ilex verticillata 'Apollo'	Winterberry	7 gal	48" o.c.
	IS	38	Ilex verticillata 'Sparkleberry'	Winterberry	7 gal	48" o.c.
	PO	38	Prunus laurocerasus 'Otto Luyken'	Luykens Laurel	5 gal	48" o.c.
	RR	13	Rosa x 'Knockout' TM	Rose	7 gal	42" o.c.
	VD	49	Viburnum dentatum 'Arrowwood'	Arrowwood Viburnum	7 gal	42" o.c.
GROUND COVERS	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	SPACING
	AS2	48	Aesculus parviflora serotina 'Rogers'	Rogers Bottlebrush Buckeye	1 qt	12" o.c.
	AC	581	Asarum canadense	Canadian Wild Ginger	1qt	12" o.c.
	AT2	445	Asclepias tuberosa	Butterfly Milkweed	1 gal	15" o.c.
	BA2	248	Baptisia australis	Blue Wild Indigo	1 gal	18" o.c.
	CI	490	Carex morrowii 'Ice Dance'	Ice Dance Japanese Sedge	1 gal	15" o.c.
	CS2	1,128	Carex pensylvanica	Pennsylvania Sedge	1qt	12" o.c.
	CL	575	Chasmanthium latifolium	Wood Oats	1qt	15" o.c.
	CG4	91	Chelone glabra	White Turtle-head	1 gal	15" o.c.
	EP2	179	Echinacea purpurea 'Magnus'	Purple Coneflower	1 gal	15" o.c.
	EH	126	Elymus hystrix	Bottlebrush Grass	1qt	15" o.c.
	JE	72	Juncus effusus	Soft Rush	1qt	15" o.c.
	LS2	325	Liatris spicata	Spike Gayfeather	1 gal	15" o.c.
	NW	268	Nepeta x faassenii 'Walkers Low'	Walkers Low Catmint	1 gal	15" o.c.
	PS2	752	Panicum virgatum 'Shenendoah'	Burgundy Switch Grass	1 qt	15" o.c.
	PB	183	Phlox divaricata 'Blue Moon'	Blue Moon Phlox	1 qt	12" o.c.
	RH2	184	Rudbeckia hirta	Black-eyed Susan	1 qt	15" o.c.

NOTE: MULCH
 ALL PLANTING AREAS TO RECEIVE 2" TO 3" SHREDDED MULCH, EXCEPT AT LAWN/SOD AREAS.

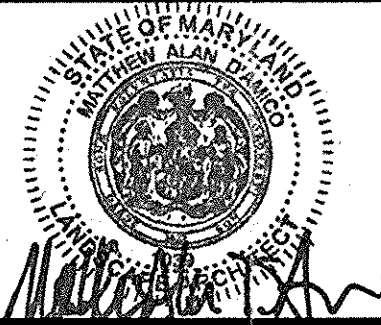
L413 SURETY TOTALS:
 SHRUBS: 0

APPROVED
PLANNING BOARD OF HOWARD COUNTY
 Date: November 20, 2014

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
[Signature] 12-17-15
 Director Date
[Signature] 12-17-15
 Chief, Division of Land Development Date
[Signature] 9-14-15
 Chief, Development Engineering Division Date

DESIGN COLLECTIVE			
ARCHITECTURE, PLANNING, INTERIORS			
601 EAST PRATT STREET, SUITE 300			
BALTIMORE, MARYLAND 21202			
T: 410.855.6955 F: 410.539.8242			
DES. XXX	DRN. XXX	CHK. XXX	DATE
	REVISION	BY	APPR.

OWNER/PREPARED FOR:
 PARCEL C PROPERTY, LLC
 1751 PINNACLE DRIVE
 SUITE 700
 MCLEAN, VIRGINIA 22102
 ATTN: KEVIN PETERKIN
 703-205-5542

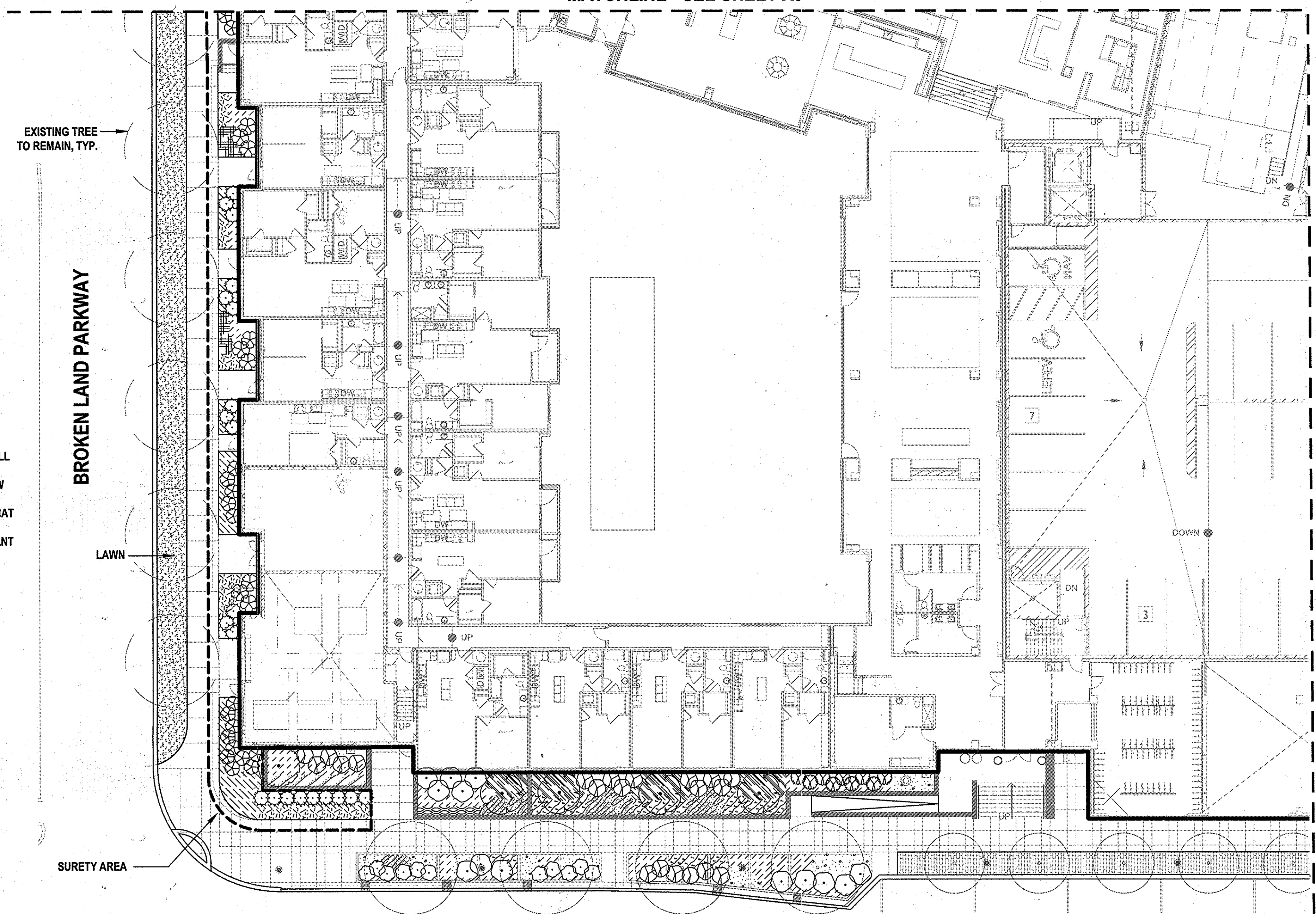


PLANTING ENLARGEMENT PLAN
DOWNTOWN COLUMBIA
 WARFIELD NEIGHBORHOOD BLOCKS W-2 & W-5
 PARCELS C-1 & C-2
 GREEN MIXED USE BUILDING
 PLAT No. 22455-22460
 HOWARD COUNTY, MARYLAND

SCALE	ZONING	G. L. W. FILE No.
1/16" = 1'-0"	NT	12078
DATE	TAX MAP - GRID	SHEET
AUG., 2015	36 - 01	44 OF 47

L413

MATCHLINE - SEE SHEET X3



PLANT SCHEDULE

TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	
	AA3	6	Amelanchier canadensis 'Autumn Brilliance'	Autumn Brilliance Serviceberry	8' ht.	
	MS	4	Magnolia virginiana	Sweet Bay	10' ht.	
SHRUBS	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING
	AR3	27	Abelia x 'Rose Creek'	Rose Creek Abelia	5 gal	42" o.c.
	CP	39	Clethra alnifolia 'Pink Spires'	Summersweet Clethra	5 gal	48" o.c.
	CA2	10	Cornus sericea 'Artic Fire'	Artic Fire Dogwood	7 gal	48" o.c.
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GROUND COVERS	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	SPACING
	AS2	48	Aesculus parviflora serotina 'Rogers'	Rogers Bottlebrush Buckeye	1 qt	12" o.c.
	AC	581	Asarum canadense	Canadian Wild Ginger	1qt	12" o.c.
	AT2	445	Asclepias tuberosa	Butterfly Milkweed	1 gal	15" o.c.
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	PS2	752	Panicum virgatum 'Shenendoah'	Burgundy Switch Grass	1 qt	15" o.c.
	PB	183	Phlox divaricata 'Blue Moon'	Blue Moon Phlox	1 qt	12" o.c.
	RH2	184	Rudbeckia hirta	Black-eyed Susan	1 qt	15" o.c.

NOTE: MULCH
ALL PLANTING AREAS TO RECEIVE 2" TO 3" SHREDDED MULCH,
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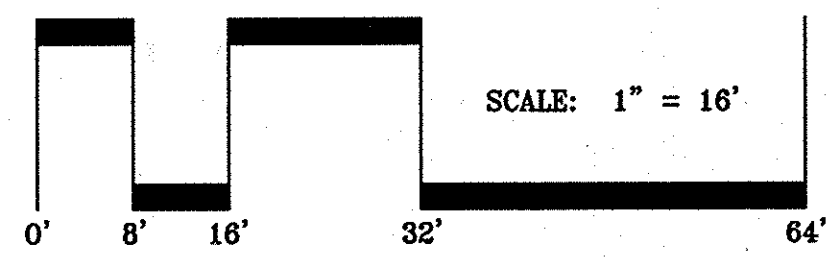
L414 SURETY TOTALS:
SHRUBS: 45

CERTIFICATION NOTE:
I/WE CERTIFY THAT THE LANDSCAPING SHOWN ON THIS PLAN WILL
BE DONE ACCORDING TO THE PLAN, SECTION 16.124 OF THE
HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL FOR NEW
TOWN ALTERNATIVE COMPLIANCE AND THE WARFIELD
NEIGHBORHOOD DESIGN GUIDELINES. I/WE FURTHER CERTIFY THAT
UPON COMPLETION A LETTER OF LANDSCAPE INSTALLATION,
ACCOMPANIED BY AN EXECUTED ONE YEAR GUARANTEE OF PLANT
MATERIALS, WILL BE SUBMITTED TO THE DEPARTMENT OF
PLANNING AND ZONING.

Parcel C Property LLC
DEVELOPER'S/OWNER'S NAME
By: *Matthew D'Amico*
DEVELOPER'S/OWNER'S NAME
Authorized Official

CERTIFICATION NOTE:
THE LANDSCAPE PLAN PROVIDED WITHIN IS CERTIFIED TO MEET
ALL REQUIREMENTS AND THE DESIGN INTENT OF THE WARFIELD
NEIGHBORHOOD DESIGN GUIDELINES RECORDED IN THE LAND
RECORDS OF HOWARD COUNTY IN LIBER 14166 FOLIO 1-250

Matthew D'Amico
MATTHEW D'AMICO, RLA 1039



APPROVED
PLANNING BOARD OF HOWARD COUNTY
Date: November 20, 2014

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
Director: *Valerie J. Jolly* Date: 12-17-15
Chief, Division of Land Development: *Ken Sheehan* Date: 12-17-15
Chief, Development Engineering Division: *Chad E. ...* Date: 9-14-15

DES. XXX	DRN. XXX	CHK. XXX	DATE	REVISION	BY	APPR.

OWNER/PREPARED FOR:
PARCEL C PROPERTY, LLC
1751 PINNACLE DRIVE
SUITE 700
MCLEAN, VIRGINIA 22102
ATTN: KEVIN PETERKIN
703-205-5542



PLANTING ENLARGEMENT PLAN
DOWNTOWN COLUMBIA
WARFIELD NEIGHBORHOOD BLOCKS W-2 & W-5
PARCELS C-1 & C-2
GREEN MIXED USE BUILDING
PLAT No. 22455-22460
HOWARD COUNTY, MARYLAND

SCALE	ZONING	G. L. W. FILE No.
1/16"=1'-0"	NT	12078
DATE	TAX MAP - GRID	SHEET
AUG., 2015	36 - 01	45 OF 47

L414

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 PLOTTED: 8/14/2015 11:29 AM, LAST SAVED: 9/11/2015 11:27 AM, PLOTTED BY: Khris Ward
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