

GENERAL NOTES

- 1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF HOWARD COUNTY PLUS MSHA STANDARDS AND SPECIFICATIONS IF APPLICABLE.
2. THE CONTRACTOR SHALL NOTIFY THE BUREAU OF ENGINEERING/CONSTRUCTION INSPECTION DIVISION AT (410) 318-1800 AT LEAST FIVE (5) WORKING DAYS PRIOR TO THE START OF WORK.
3. THE CONTRACTOR SHALL NOTIFY "MSE UTILITY" AT 1-800-251-7111 AT LEAST 48-HOURS PRIOR TO ANY EXCAVATION WORK.
4. PROJECT BACKGROUND: LOCATION: SEE VICINITY MAP IN THE TOP RIGHT CORNER OF THIS SHEET. TAX MAP: 41 ELECTION DISTRICT: 5
ZONING: MXD-3 PER ZB-4934 (APPROVED ON 02-08-00), UNDERLYING ZONING IS RR-DEO AND PER THE 2/02/04 COMPREHENSIVE ZONING PLAN. AREA OF BUILDABLE LOTS (NO. 72-84 & 109-114) FOR THIS SITE DEVELOPMENT PLAN: 1354 ACRES. FOR OTHER SUBMISSIONS RELATED TO THIS SITE, SEE HOWARD COUNTY DEPT. OF PLANNING & ZONING FILE NOS. 5 01-17, 5 06-16, ZB-4954, ZB-10294, PB-353, PB-378, NP-01-11, NP-03-02, NP-03-12, NP-07-122, NP-08-04, P-02-12, P-01-16, F-08-54, F-08-55, F-10-10, F-10-11, F-11-11, F-11-12, SDF-00-56, SDF-00-58, SDF-08-14, SDF-04-60, SDF-10-02, SDF-07-43, F-08-105, F-04-16, F-04-17, P-11-00, F-12-02, F-13-03
5. TRAFFIC CONTROL DEVICES, MARKINGS, AND SIGNAGE SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD). ALL STREET AND REGULATORY SIGNS SHALL BE IN PLACE PRIOR TO THE PLACEMENT OF ANY ASPHALT.
6. ALL PLAN DIMENSIONS ARE TO THE FACE OF CURB OR FACE OF BUILDING UNLESS OTHERWISE NOTED. DIMENSIONS ARE MEASURED PERPENDICULAR OR RADIALY BETWEEN ITEMS UNLESS OTHERWISE NOTED.
7. EXISTING TOPOGRAPHY AND FEATURES COMPILED FROM F-06-161, F-08-072 & 6 L.I.N. SURVEY DONE IN MAY/2004.
8. COORDINATES ARE BASED ON NAD83 MARYLAND COORDINATE SYSTEM AS PROJECTED BY HOWARD COUNTY GEODETIC CONTROL STATION NUMBERS 46BC & 46BD.
9. STORMWATER MANAGEMENT FOR BOTH QUALITY AND QUANTITY, FOR THE DEVELOPMENT PROPOSED BY THESE PLANS (WHICH IS PART OF A PHASED PROJECT) WILL BE SATISFIED BY EXISTING REGIONAL FACILITIES CONSTRUCTED ON:
A. OPEN SPACE LOTS 2 & 3 IN THE WESTSIDE DISTRICT UNDER F-09-55. THE EXISTING FACILITY ON OPEN SPACE LOT 3 IS PUBLICLY OWNED AND MAINTAINED, THE ONE ON OPEN SPACE LOT 2 IS PRIVATELY OWNED AND MAINTAINED (BY THE MAPLE LAWN COMMERCIAL ASSOCIATION, INC.).
B. OPEN SPACE LOT 3 IN THE BUSINESS DISTRICT UNDER F-09-12. THIS FACILITY IS PRIVATELY OWNED AND MAINTAINED (BY THE MAPLE LAWN COMMERCIAL ASSOCIATION, INC.). REVERSE OBLIGATIONS FOR THESE LOTS HAVE BEEN PROVIDED IN AN EXISTING FACILITY LOCATED ON OPEN SPACE LOT 68 IN THE WESTSIDE DISTRICT AREA 3 AND CONSTRUCTED UNDER F-12-02.
10. PUBLIC WATER AND SEWER SHALL BE UTILIZED (AS PROVIDED BY M&S CONTRACT #24-452-D, #24-410-D & #24-414-D) AND THE WATER METERS IN OUTSIDE VALVES.
11. THE EXISTING UTILITIES SHOWN HEREIN WERE DERIVED FROM AVAILABLE PUBLIC RECORDS. THE CONTRACTOR MUST DIG TEST PITS (BY HAND) AT ALL UTILITY CROSSINGS AND CONNECTION POINTS TO VERIFY EXACT LOCATION. IMMEDIATELY NOTIFY THE ENGINEER OF ANY CONFLICTS.
12. ALL ROADS LABELED AS "PUBLIC" ARE PUBLICLY MAINTAINED ONCE THEY ARE DEDICATED. ALL ROADS LABELED AS "PRIVATE" ARE PRIVATELY MAINTAINED BY A HOMEOWNER ASSOCIATION.
13. ANY DAMAGE TO THE ADJACENT COUNTY OWNED RIGHT-OF-WAY AND PROPERTY SHALL BE CORRECTED AT THE CONTRACTOR'S EXPENSE.
14. THERE ARE NO GRAVE SITES, CEMETRIES, WETLANDS, 100-YR FLOODPLAIN OR STREAM ON THE BUILDABLE LOTS SHOWN ON THIS SITE DEVELOPMENT PLAN. ELSEWHERE WITHIN THE WESTSIDE DISTRICT OPEN SPACE THERE ARE WETLANDS, 100-YR FLOODPLAIN AND STREAMS.
15. THIS PROJECT COMPLIES WITH THE REQUIREMENTS OF SECTION 16.000 OF THE HOWARD COUNTY CODE FOR FOREST CONSERVATION AND SECTION 16.224 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE SURETY FOR THE REQUIRED LANDSCAPING (AS SHOWN ON SHEET 4 TO SATISFY 5-01-1 DEVELOPMENT CRITERIA AND SECTION 16.224 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE SURETY MANUAL) SHALL BE POSTED AS PART OF THE GRADING PERMIT FOR EACH LOT (WHERE APPLICABLE). FOR ADDITIONAL INFORMATION ON THE LANDSCAPE SURETY SEE SHEET 4 AND THE GRADING PERMIT CHART ON SHEET 1.
16. FINANCIAL SURETY FOR THE REQUIRED LANDSCAPING (AS SHOWN ON SHEET 4 TO SATISFY 5-01-1 DEVELOPMENT CRITERIA AND SECTION 16.224 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE SURETY MANUAL) SHALL BE POSTED AS PART OF THE GRADING PERMIT FOR EACH LOT (WHERE APPLICABLE). FOR ADDITIONAL INFORMATION ON THE LANDSCAPE SURETY SEE SHEET 4 AND THE GRADING PERMIT CHART ON SHEET 1.
17. DRIVEWAYS SHALL BE PROVIDED PRIOR TO ISSUANCE OF A USE AND OCCUPANCY PERMIT FOR ANY NEW DRIVELINGS TO INSURE SAFE ACCESS FOR FIRE AND EMERGENCY VEHICLES PER THE FOLLOWING MINIMUM REQUIREMENTS:
A. WIDTH - 12' (SERVING MORE THAN ONE RESIDENCE)
B. SURFACE - 6" OF COMPACTED CRUSHER RUN BASE WITH AN CHIP COATING (1/2" MIN)
C. GEOMETRY - MAX. 14% GRADE, MAX. 10% GRADE CHANGE AND MIN. 40' TURNING RADIUS
D. STRUCTURES (CULVERTS) SHALL BE CAPABLE OF SUPPORTING 26,000 LBS (125 TONS LOAD)
E. DRAINAGE ELEMENTS - CAPABLE OF SAFELY PASSING 100-YR. FLOOD WITH NO MORE THAN 1 FOOT DEPTH OVER DRIVEWAY SURFACE
F. MAINTENANCE - SUFFICIENT TO INSURE ALL WEATHER USE.
18. PUBLIC REFUSE PICKUP IS PROVIDED AT CURBSIDE FOR LOTS 104-114 AND IN THE ALLEY FOR LOTS 72-84.
19. BAY WINDOWS, WINDOW WELLS, CHIMNEYS, HEATING OR AIR CONDITIONING UNITS AND EXTERIOR STAIRWAYS IF NOT MORE THAN 16 FEET IN WIDTH MAY PROJECT NO MORE THAN 4 FEET INTO ANY REQUIRED SETBACK AREA IN ACCORDANCE WITH SECTION 12B.A.I OF THE ZONING REGULATIONS, EXCEPT FOR THE ITEMS LISTED UNDER 4.D OF THE LOT DEVELOPMENT DATA ON THIS SHEET.
20. AS A CONSEQUENCE OF THE SKETCH PLAN, 5-01-1 APPROVAL PRIOR TO 11-5-01, THIS PROJECT IS GRANDFATHERED TO THE FOURTH EDITION OF THE SUBDIVISION AND LAND DEVELOPMENT REGULATIONS.
21. THE TWO CAR GARAGES SHALL BE USED FOR PARKING PURPOSES ONLY AND ARE NOT PERMITTED TO BE CONVERTED TO OTHER USES IN ACCORDANCE WITH SECTION 193.D.2.A OF THE ZONING REGULATIONS AND THE APPROVED MINIMUM DEVELOPMENT CRITERIA. UNLESS OTHERWISE PROHIBITED BY POSTED SIGNAGE OR CURB MARKINGS, ON-STREET PARALLEL PARKING ALONG THE CURB WITHIN THE PUBLIC RIGHTS-OF-WAY IS ALLOWED FOR VISITOR AND OVERLAP PARKING. THE ON-STREET PARKING AREA WILL NOT BE STRIPPED, THE ALLEYS ARE OWNED BY THE HOA AND THEY ENFORCE THE PARKING PROHIBITION IN THEIR ALLEY "RIGHT-OF-WAY" THATS IN THE COVENANT FOUND AT L. 8294 F. 30543
22. NO GRADING, REMOVAL OF VEGETATIVE COVER OR TREES, PAVING AND NEW STRUCTURES SHALL BE PERMITTED WITHIN THE REQUIRED WETLANDS, STREAMS OR THEIR BUFFERS, FOREST CONSERVATION EASEMENT AREAS AND 100 YEAR FLOODPLAIN.
23. MINIMUM BUILDING SETBACK RESTRICTIONS FROM PROPERTY LINES AND THE PUBLIC ROAD RIGHTS OF WAY FOR ALL SFD AND SFA RESIDENTIAL LOTS WILL BE PROVIDED IN ACCORDANCE WITH THE COMPREHENSIVE DEVELOPMENT CRITERIA APPROVED FOR THIS PROJECT UNDER 5-01-1, 5-09-16, PB-353, PB 378 AND ZB-4934.
24. FASING FOR THIS PROJECT IS IN ACCORDANCE WITH THE DECISION AND ORDER FOR ZB-4934 AND THE DECISION AND ORDER FOR ZB CASE NO. 353 (5-01-1) AND PB CASE NO. 378 AND 5-06-16.
25. BUILDABLE LOTS 72, 84 & 109-114 SHOWN HEREON SHALL HAVE A PUBLIC EASEMENT ADJACENT TO THE PUBLIC ROAD RIGHT OF WAY OR FRONT LOT LINE, FOR THE PURPOSES OF SIDEWALK MAINTENANCE, WATER AND SEWER CONNECTION.
26. BECAUSE THERE MAY BE MODIFICATIONS TO LANDSCAPING A CERTIFIED LANDSCAPE PLAN APPROVED BY MAPLE LAWN FARMS SHALL BE FORWARDED TO THE COUNTY FOR APPROVAL PRIOR TO LANDSCAPE INSPECTION PLAN SUBSTITUTIONS (CANNOT INCLUDE SPECIES PROHIBITED BY THE HOWARD COUNTY LANDSCAPE MANUAL AND ADOPTED POLICIES.

LOT DEVELOPMENT DATA

- 1. GENERAL SITE ANALYSIS DATA
A. PRESENT ZONING: MXD-3 PER ZB-4934
B. PROPOSED USE OF SITE: SFA RESIDENTIAL DWELLINGS
C. PUBLIC WATER & SEWER TO BE UTILIZED (CONTR. #24-452-D, #24-410-D & #24-414-D)
D. PARKING REQUIRED PER SEC. 193.D.2.A: 2 SPACES/MIN x H = 36 SPACES
PARKING PROVIDED: 39 GARAGE SPACES (ALL HOTS HAVE AT LEAST A 2-CAR GARAGE PLUS ADDITIONAL PARKING ON THE TANDEN DRIVEWAYS FOR AT LEAST 2 CARS). SEE NOTE 2) ABOVE REGARDING PARKING.
E. RECREATION OPEN SPACE FOR THIS SDP IS ADDRESSED UNDER F-08-54 (SEE OVERALL OPEN SPACE PROVISION CHART ON THIS SHEET).
2. AREA TABULATION
A. AREA OF BUILDABLE LOTS FOR THIS SUBMISSION: 46,014 SF OR 1.064 AC.
B. AREA OF THIS PLAN SUBMISSION: 1354 ACRES (L.O.D.)
C. AREA OF DISTURBANCE BY THIS SDP: 1,354 ACRES.
3. LOT DESIGNATION
LOT TYPE LOT NUMBERS MINIMUM LOT SIZE MIN. LOT WIDTH AT FRONT BRL. MAX. BUILDING HT.
TOWNHOME 12-84 & 109-114 N/A N/A 50 FEET (MEAN HT.)
4. STRUCTURE SETBACKS PER F-13-003 AND PLAT NOS. 22301-22311
LOT TYPE FRONT SETBACK SIDE SETBACK MINIMUM REAR SETBACKS
TOWNHOME 0' NONE 20' TO PRINCIPAL STRUCTURE, 3' FOR REAR (DETACHED) GARAGE OR TO ACCESSORY STRUCTURES.
HABITABLE SPACE AND/OR OPEN/ENCLOSED DECKS MAY BE BUILT OVER ATTACHED GARAGES. IN THOSE CASES, THE GARAGE SETBACKS SHALL GOVERN. WHERE THE REAR LOT LINE IS CONTIGUOUS TO GREEN OPEN SPACE, THE REAR PRINCIPAL STRUCTURE SETBACK MAY BE REDUCED TO 10' AND THE REAR SETBACK FOR DECKS MAY BE REDUCED TO 3'.
OTHER DECKS MUST BE A MINIMUM OF 10' FROM REAR PROPERTY LINE, AND ARE SUBJECT TO SIDE YARD SETBACKS.
A. BETWEEN SFA BUILDINGS, THE MINIMUM SETBACK DISTANCES SHALL BE 30' FRONT TO FRONT, 50' BACK TO BACK (EXCEPT ACROSS AN ALLEY), 50' BACK TO FRONT AND 6' OR AS REQUIRED BY THE BUILDING CODE FOR ALL OTHER CONDITIONS.
B. OPEN DECKS MUST BE A MINIMUM OF 10' FROM REAR PROPERTY LINE, AND ARE SUBJECT TO SIDE YARD SETBACKS.
C. FACING ACCESSORY STRUCTURES AND DETACHED GARAGES (ACROSS AN ALLEYLENE ROW) SHALL BE 30' APART.
D. EXCEPTIONS TO FRONT SETBACK REQUIREMENTS: SECTION 12B.A.I APPLIES, EXCEPT FOR THE FOLLOWING:
- PORCHES MAY ENCR OACH INTO THE FRONT YARD TO WITHIN 2' FROM THE FRONT PROPERTY LINE OR RIGHT-OF-WAY FOR COTTAGES, MANORS, AND VILLAS; TO WITHIN 12' FOR SPAS. PORCHES MAY ENCR OACH INTO THE SIDE YARD OF CORNER LOTS TO WITHIN 2' FROM THE RIGHT-OF-WAY FOR COTTAGES, MANORS, AND VILLAS; TO WITHIN 12' FOR ESTATES. WHERE A SIDE YARD ADJUTS AN OPEN SPACE OR PASSAGE, PORCHES MAY ENCR OACH TO WITHIN 1' FROM THE SIDE PROPERTY LINE FOR COTTAGES, MANORS, AND VILLAS, TO WITHIN 12' FOR ESTATES.
- STOOPS AND STEPS MAY ENCR OACH INTO THE FRONT AND SIDE YARDS TO WITHIN 1' FROM THE FRONT PROPERTY LINE.
- GARDEN WALLS, FENCES, PIERRS, GATES AND SIMILAR ORNAMENTS MAY BE BUILT IN THE FRONT AND SIDE YARDS NOT CLOSER THAN 1' FROM THE FRONT PROPERTY LINE (WALL FOOTING MUST BE OUTSIDE ANY EASEMENTS); NOT GREATER THAN 60" IN HEIGHT ALONG THE FRONT PROPERTY LINE AND NOT GREATER THAN 12" IN HEIGHT ALONG THE SIDE AND REAR PROPERTY LINES.
- MASONRY VENEERS MAY ENCR OACH A MAXIMUM OF SIX INCHES INTO ANY REQUIRED SETBACK.

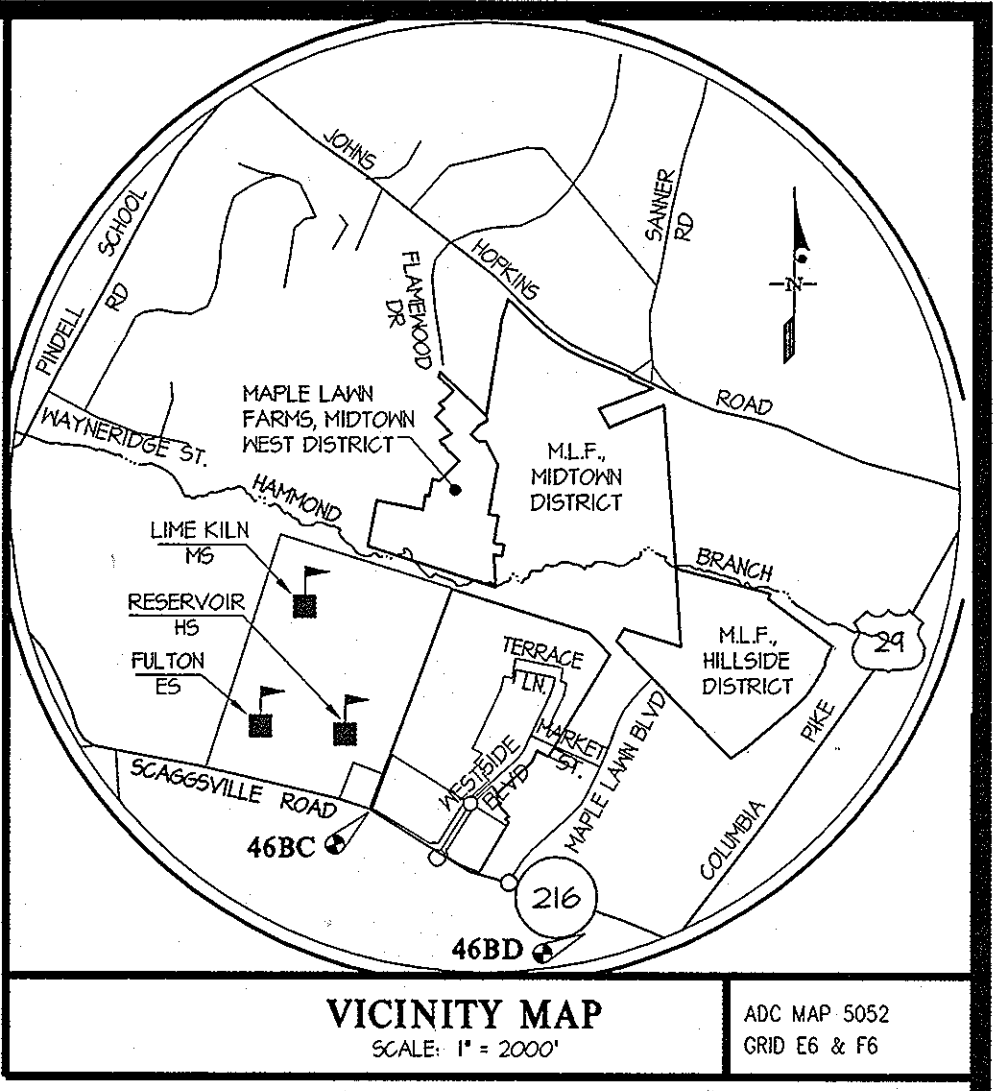
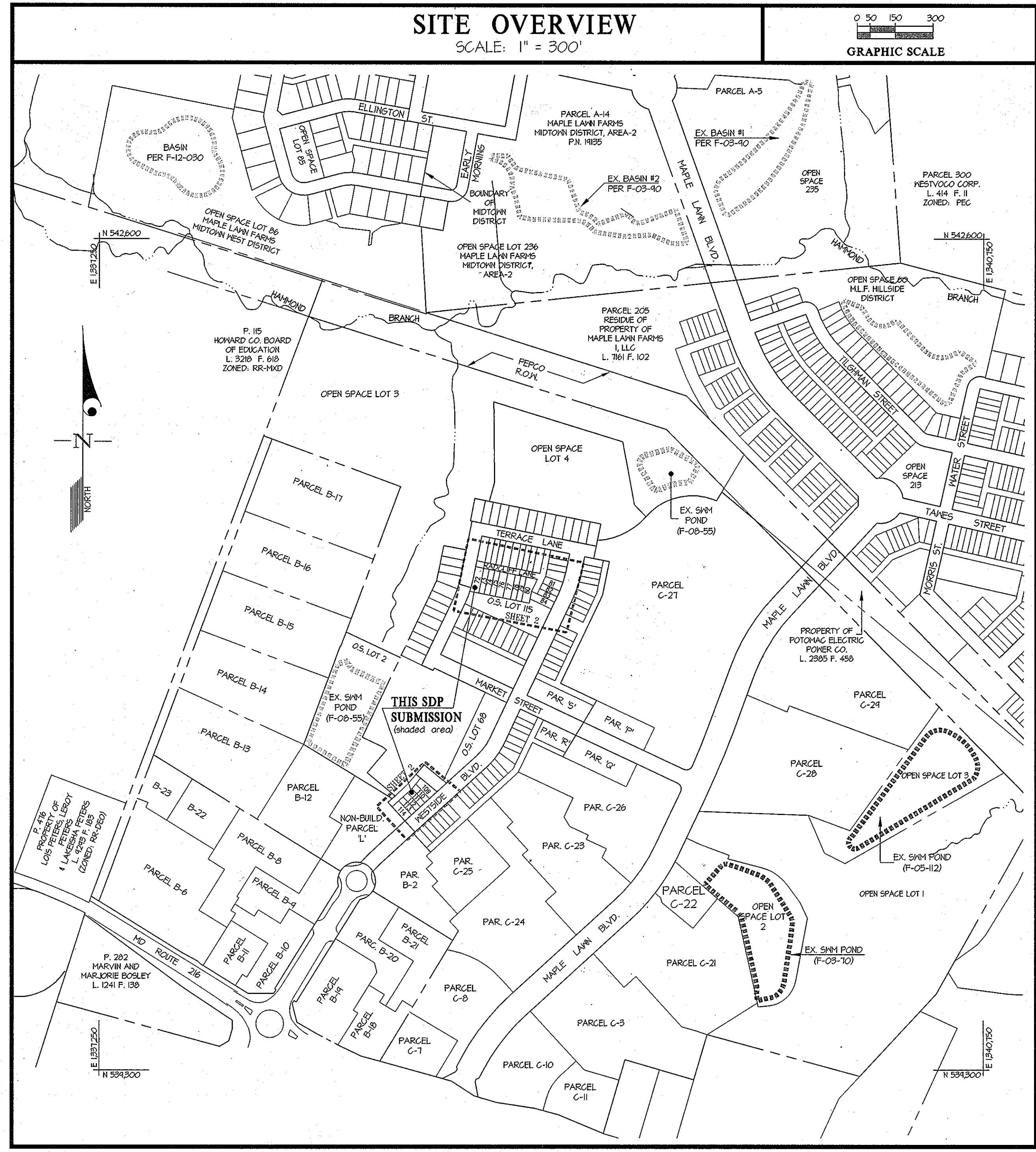
APPROVED PLANNING BOARD OF HOWARD COUNTY
Date: JULY 11, 2013

PROFESSIONAL CERTIFICATION
I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 13735, EXPIRATION DATE: MAY 26, 2014.
7-16-13

GLWGUTSCHICK LITTLE & WEBER, P.A.
CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
3909 NATIONAL DRIVE - SUITE 250 - BURTNSVILLE OFFICE PARK
BURTNSVILLE, MARYLAND 20866
TEL: 301-421-4024 BAL: 410-880-1820 DC/VA: 301-989-2524 FAX: 301-421-4186

DES. mbl DRN. klp CHK. mbl

MAPLE LAWN FARMS
SITE DEVELOPMENT PLAN
WESTSIDE DISTRICT - AREA 3
LOT Nos. 72-84 and 109-114
FIFTH ELECTION DISTRICT
HOWARD COUNTY, MARYLAND



OVERALL OPEN SPACE PROVISION FOR MAPLE LAWN FARMS
Table with columns: PHASE NUMBER (AND NAME), APPROVED DPZ FILE NO., PHASE AREA GROSS ACREAGE, REQUIRED OPEN SPACE (25% OF GROSS AC.), OPEN SPACE PROVIDED IN AC. (80%), REQUIRED ACTIVE OPEN SPACE IN AC., ACTIVE RECREATION O.S. PROVIDED IN AC. (80%). Includes a total row and explanatory footnotes.

THIS PLAN HAS BEEN SET UP TO ALLOW MULTIPLE GRADING PERMITS, IN ACCORDANCE WITH APPLICABLE POLICY FOR M.L.F. LOT GROUPS.
Table with columns: LOT GROUPS, DISTURBED AREA, LANDSCAPE SURETY AMOUNT, LANDSCAPE INSPECTION FEES PAID. Includes a total row and explanatory text.

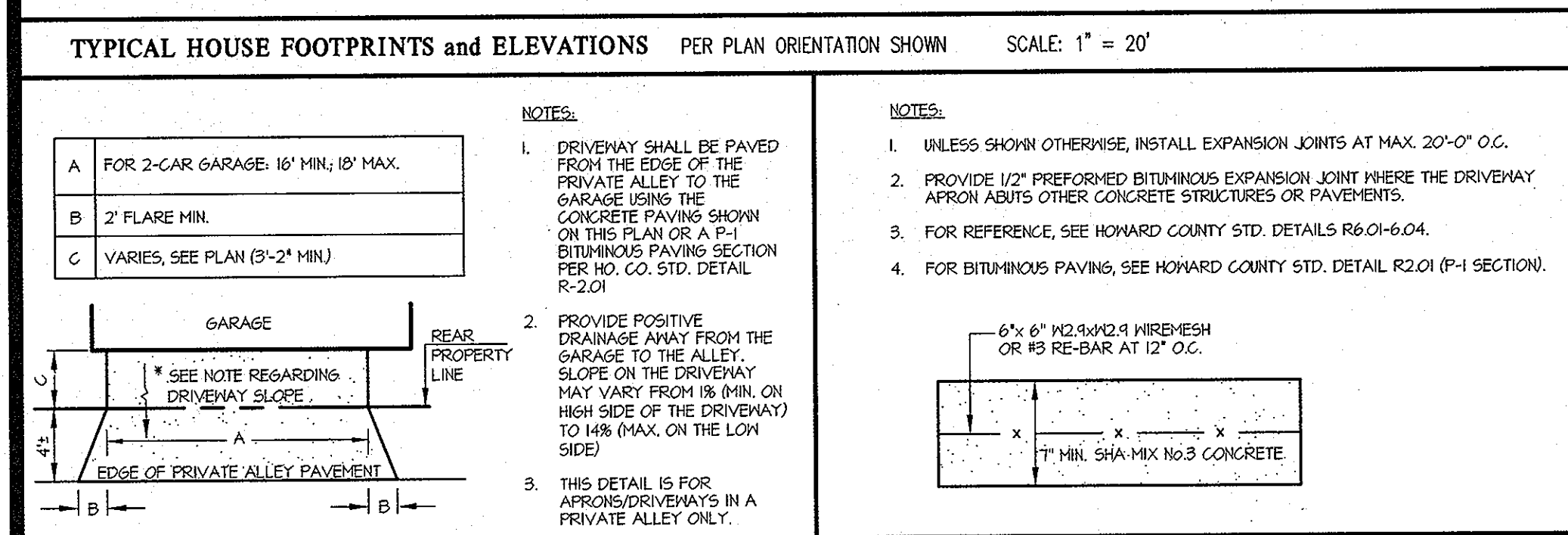
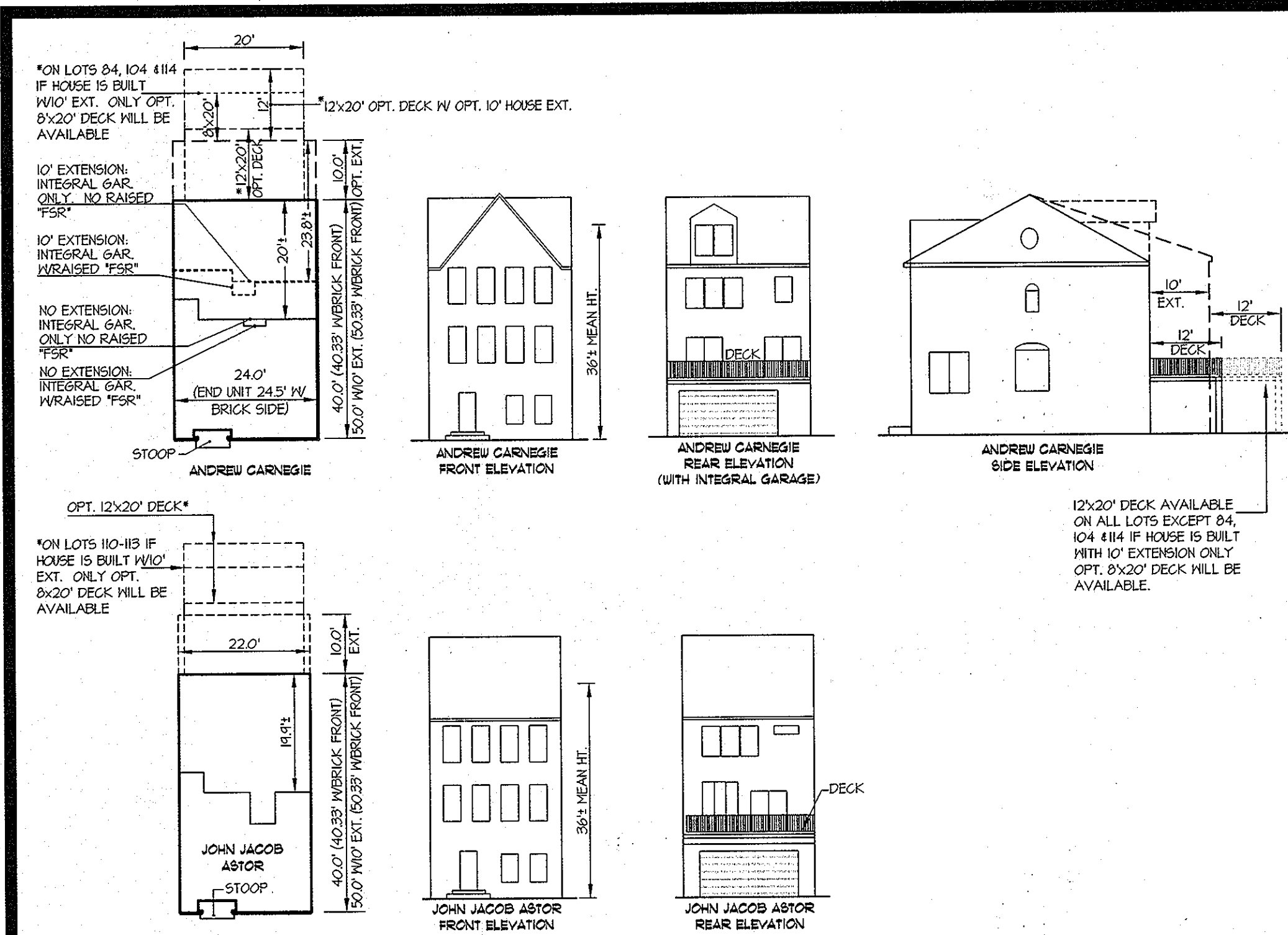
SHEET INDEX
1. COVER SHEET
2. SITE DEVELOPMENT PLAN
3. SEDIMENT CONTROL PLAN
4. LANDSCAPE PLAN

ADDRESS CHART
Table with columns: LOT No., STREET ADDRESS. Lists addresses for lots 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100, 101, 102, 103, 104, 105, 106, 107, 108, 109, 110, 111, 112, 113, 114, 115, 116, 117, 118, 119, 120, 121, 122, 123, 124, 125, 126, 127, 128, 129, 130, 131, 132, 133, 134, 135, 136, 137, 138, 139, 140, 141, 142, 143, 144, 145, 146, 147, 148, 149, 150, 151, 152, 153, 154, 155, 156, 157, 158, 159, 160, 161, 162, 163, 164, 165, 166, 167, 168, 169, 170, 171, 172, 173, 174, 175, 176, 177, 178, 179, 180, 181, 182, 183, 184, 185, 186, 187, 188, 189, 190, 191, 192, 193, 194, 195, 196, 197, 198, 199, 200, 201, 202, 203, 204, 205, 206, 207, 208, 209, 210, 211, 212, 213, 214, 215, 216, 217, 218, 219, 220, 221, 222, 223, 224, 225, 226, 227, 228, 229, 230, 231, 232, 233, 234, 235, 236, 237, 238, 239, 240, 241, 242, 243, 244, 245, 246, 247, 248, 249, 250, 251, 252, 253, 254, 255, 256, 257, 258, 259, 260, 261, 262, 263, 264, 265, 266, 267, 268, 269, 270, 271, 272, 273, 274, 275, 276, 277, 278, 279, 280, 281, 282, 283, 284, 285, 286, 287, 288, 289, 290, 291, 292, 293, 294, 295, 296, 297, 298, 299, 300.

PERMIT INFORMATION CHART
Table with columns: WATER CODE, SEWER CODE, DEVELOPMENT NAME, DISTRICT/AREA, LOTS, CENSUS TRACT, PLAT, ZONE, TAX MAP, GRID, ELEC. DIST., SCALE, ZONING, G. L. W. FILE NO., AS SHOWN, MXD-3, 11081, DATE, TAX MAP - GRID, SHEET, JULY/2013, 41-21/46-3, 1 OF 4.

COVER SHEET
MAPLE LAWN FARMS
WESTSIDE DISTRICT - AREA 3
LOT Nos. 72-84 and 109-114
(SFA RESIDENTIAL USE)
PLAT Nos. 19870, 22044-22051 and 22301-22311
ELECTION DISTRICT No. 5

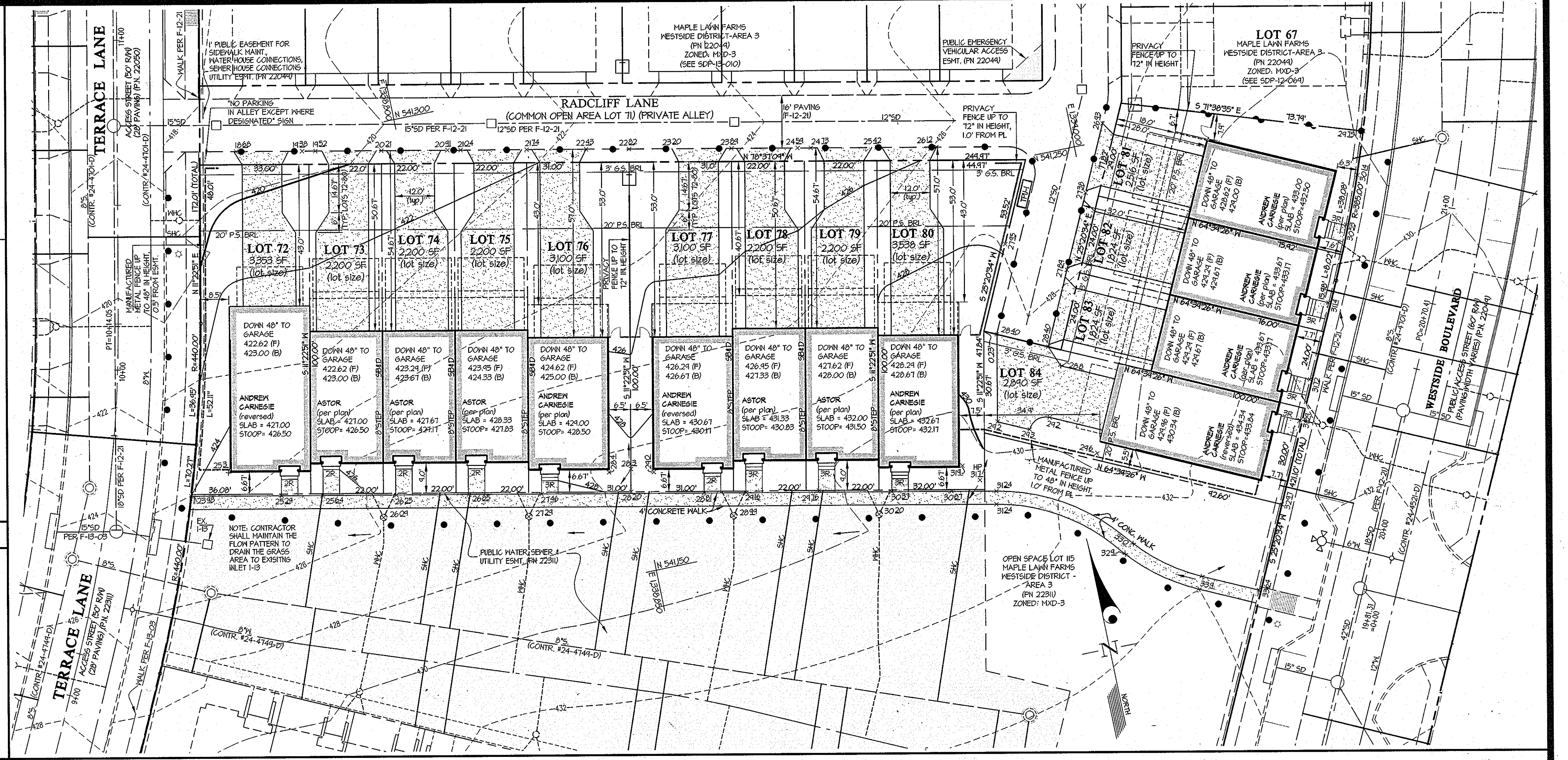
PREPARED FOR:
PROPERTY OWNER (SELLER): MAPLE LAWN FARMS I, LLC
1829 REISTERSTOWN ROAD, SUITE 300
BALTIMORE, MD 21208
PH: 410-484-8400
ATTN: MARK BENNETT
BUILDER (CONTRACT PURCHASER):
NVR INC.
9720 PATUXENT WOODS DR.
COLUMBIA, MD 21046
PH: (410) 379-5956
ATTN: TIM NAUGHTON



TYPICAL HOUSE FOOTPRINTS and ELEVATIONS PER PLAN ORIENTATION SHOWN SCALE: 1" = 20'

PRIVATE DRIVEWAY and APRON DETAIL NO SCALE

CONCRETE DRIVEWAY & APRON PAVEMENT SECTION NO SCALE



**SITE DEVELOPMENT PLAN LEGEND**

- 300 --- EXISTING CONTOUR
- 300 --- PROPOSED CONTOUR
- PROPOSED SPOT ELEVATION
- LIMIT OF GRADING DISTURBANCE
- EXISTING PAVING
- EXISTING CURB & GUTTER
- FOREST CONSERVATION EASEMENT
- ☆ EXISTING LIGHT POLE
- BGE TRANSFORMER PAD
- TRM TRASH PICK-UP LOCATION (SEE WASTE MANAGEMENT NOTES 6 & 7 THIS SHEET)
- METER VAULT
- 1/2" WATER HOUSE CONNECTION (NHC, DASHED LINE TYP.)
- EX 87L WATER LINE (PUBLIC)
- EX 87S FIRE HYDRANT
- EX 87M EXISTING SEWER MAIN (DASHED LINE)
- EX 87N SEWER HOUSE CONNECTION (SHC, SOLID LINE)
- EX 87P EXISTING STORM DRAIN
- PRIVACY FENCE (SEE NOTE 9 THIS SHEET)
- MANUFACTURED METAL FENCE (SEE NOTE 10 THIS SHEET)

**CONCRETE SIDEWALK PER HO. CO. DET. R-3-05**

**PROPOSED HOUSE**

FFE = FINISHED FLOOR ELEVATION  
 BSE = BASEMENT F.F.E. ELEVATION  
 REV = REVERSED HOUSE ORIENTATION  
 GAR = GARAGE (F-FRONT, B-BACK)  
 TON = TOP OF FOUNDATION WALL  
 SLAB (U) = SLAB UPPER  
 SLAB (L) = SLAB LOWER

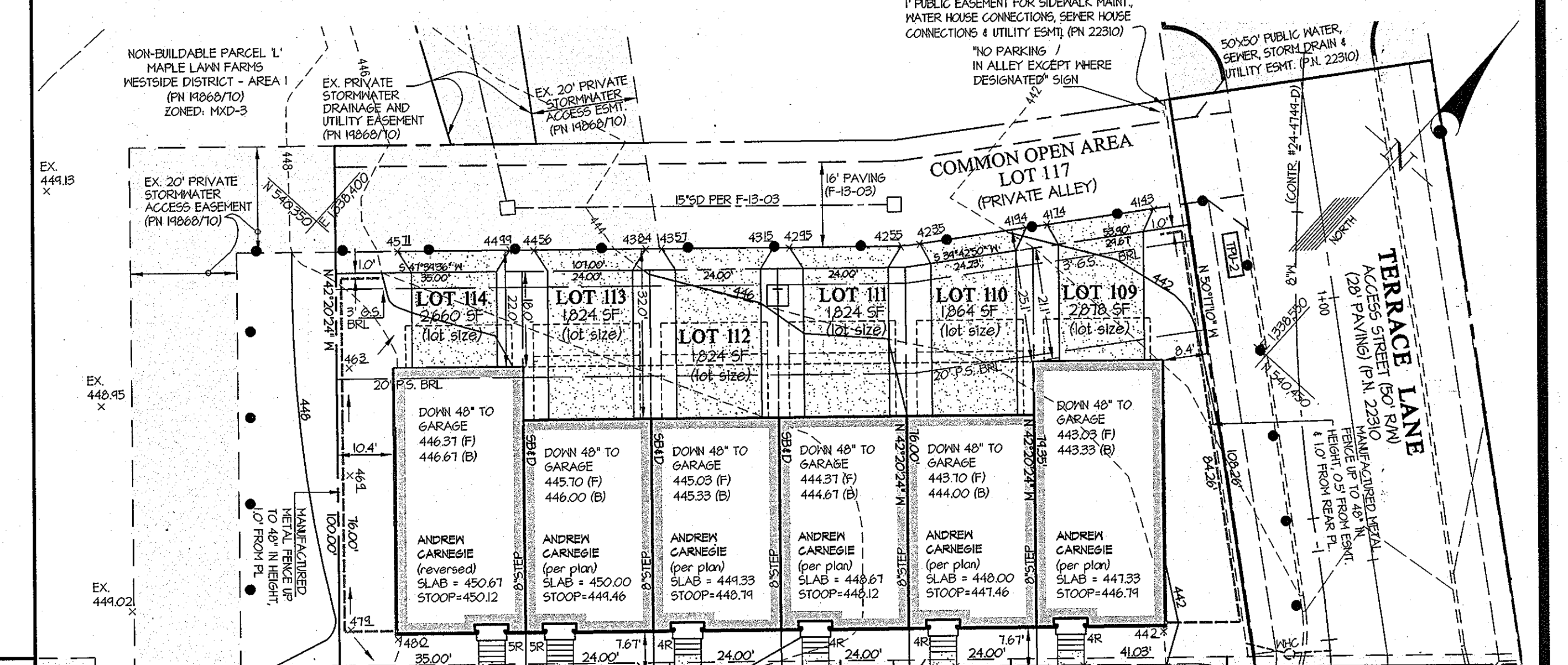
P.S. BRL PRINCIPAL STRUCTURE BRL  
 G.S. BRL GARAGE STRUCTURE BRL  
 SB40 SAME BEARING & DISTANCE

LOT	ELEVATION @ R/W	M.C.E.
72	426.10	424.84
73	425.71	424.45
74	426.32	425.06
75	426.93	425.67
76	427.54	426.28
77	428.15	426.89
78	428.76	427.50
79	429.37	428.11
80	429.98	428.72
81	430.59	429.33
82	431.20	429.94
83	431.81	430.55
84	432.42	431.16

LOT	ELEVATION @ R/W	M.C.E.
109	433.11	431.85
110	433.72	432.46
111	434.33	433.07
112	434.94	433.68
113	435.55	434.29
114	436.16	434.90

NOTE:  
 1. ALL SEWER HOUSE CONNECTIONS ARE 4".  
 2. INSTALL SEWER HOUSE CLEANOUTS PER HOWARD COUNTY DETAILS 5-222 AND 5-223.

- NOTES:**
- ALL FENCES, GARDEN WALLS, STOOPS AND STEPS ALONG THE R/W SHALL BE LOCATED BEHIND THE 1' PUBLIC SIDEWALK ESBT.
  - BRICK POINT ALL BUILDINGS CONSTRUCTION UNLESS NOTED OTHERWISE.
  - ALL 18"x3" TO THE LOTS COVERED BY THIS SDP ARE 1 1/2" PER CONTRACT Nos. 24-452-D, 24-410-D & 24-414-D AND THE WATER METER VAULTS ARE IN THE R.O.M. OR PUBLIC WATER & UTILITY EASEMENT.
  - SEE THE CHART ON THIS SHEET FOR SHC INFORMATION. CONTRACTOR SHALL CHECK AND VERIFY THE SEWER HOUSE ELEVATIONS AT THE PROPERTY LINE PRIOR TO CONSTRUCTION.
  - ALL GARDEN WALLS AND FENCES THAT STRADDLE PROPERTY LINES SHALL BE MAINTAINED IN ACCORDANCE WITH ARTICLE 15 OF THE MAPLE LAWN HOMEOWNERS ASSOCIATION COVENANTS RECORDED AT LIBER 7419 FOLIO 243 THROUGH 366.
  - ALL BUILDING WALLS WITHIN 10' OF A BGE TRANSFORMER SHALL BE CONSTRUCTED FOR A MINIMUM FIRE RESISTANCE RATINGS OF 3 HOURS.
  - PRIVACY FENCE THAT IMPEDES SIGHT VISIBILITY FOR DRIVERS TURNING CORNERS IN THE ALLEY ARE NOT ALLOWED.
  - THE ALLEY IS OWNED BY THE HOA AND THEY ENFORCE THE PARKING PROHIBITION IN THEIR ALLEY "RIGHT-OF-WAY" THATS IN THE COVENANT FOUND, AT L. 8259 F. 305430
  - PRIVACY FENCING IN REAR AND SIDE YARDS SHALL BE A MAXIMUM OF 12" IN HEIGHT (INCLUDING ANY LATTICE OR SPACED PICKET PORTION IN FENCES), PER MAPLE LAWN DESIGN GUIDELINES, SECTION 4A, PAGES 15-17. ALSO, SEE PRIVACY FENCE DETAILS ON SHEET 4.
  - MANUFACTURED METAL FENCING SHALL BE BETWEEN 32" AND 48" IN HEIGHT WITH PICKETS BETWEEN 32" AND 42" AND TERMINAL POSTS UP TO 48" MAXIMUM AND 42" MAXIMUM ALONG PUBLIC RIGHT-OF-WAYS PER MAPLE LAWN DESIGN GUIDELINES, SECTION 4a, PAGES 15-17
- WASTE MANAGEMENT NOTES:**
- ALLEY SERVICE WILL BE PROVIDED AS LONG AS THE TRASH TRUCKS CAN MANUEVER THROUGH THE TURNS WITHOUT CAUSING PROPERTY DAMAGE AND THE APPROPRIATE WAIVERS HAVE BEEN EXECUTED.
  - TRASH TRUCKS WILL NOT TURN BACK INTO ALLEYS WHERE THERE IS NO THROUGHFARE (LOTS 109-114).
  - COUNTY SERVICES WILL NOT BEGIN UNTIL ALL CONSTRUCTION IS COMPLETED IN THE AREA AND THE TRUCKS HAVE CLEAR AND UNHINDERED ACCESS. THE BUILDER/DEVELOPER SHALL PROVIDE FOR TRASH COLLECTION UNTIL ALL CONSTRUCTION IS COMPLETED AND THE CHIEF, COLLECTIONS DIVISION APPROVES THE AREA FOR SERVICE.
  - THE REUSE COLLECTION CHARGE WILL NOT APPLY UNTIL THE AREA BEGINS COUNTY SERVICE.
  - APPROPRIATE "NO PARKING" SIGNS SHALL BE PLACED AT THE INGRESS AND EGRESS OF THE ALLEYS (ACROSS THE STREET APPROXIMATELY 25' IN EACH DIRECTION) TO ALLOW THE TRUCK ROOM TO ENTER OR EXIT THE ALLEYS. OTHER "NO PARKING" SIGNS SHALL BE INSTALLED AS REQUIRED.
  - FOR LOTS 81-84, THE RESIDENTS OF THOSE LOTS SHALL GROUP TRASH AND RECYCLABLES AT THE LOCATION TRM-1 ON COLLECTION DAY PICK UP.
  - FOR LOTS 109-114, THE RESIDENTS OF THOSE LOTS SHALL GROUP TRASH AND RECYCLABLES AT THE LOCATION TRM-1 ON COLLECTION DAY PICK UP.



APPROVED  
 PLANNING BOARD OF HOWARD COUNTY

Date: JULY 11, 2013

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING  
 Director: *[Signature]* Date: 8-1-13  
 Chief, Division of Land Development: *[Signature]* Date: 8/1/13  
 Chief, Development Engineering Division: *[Signature]* Date: 7/30/13

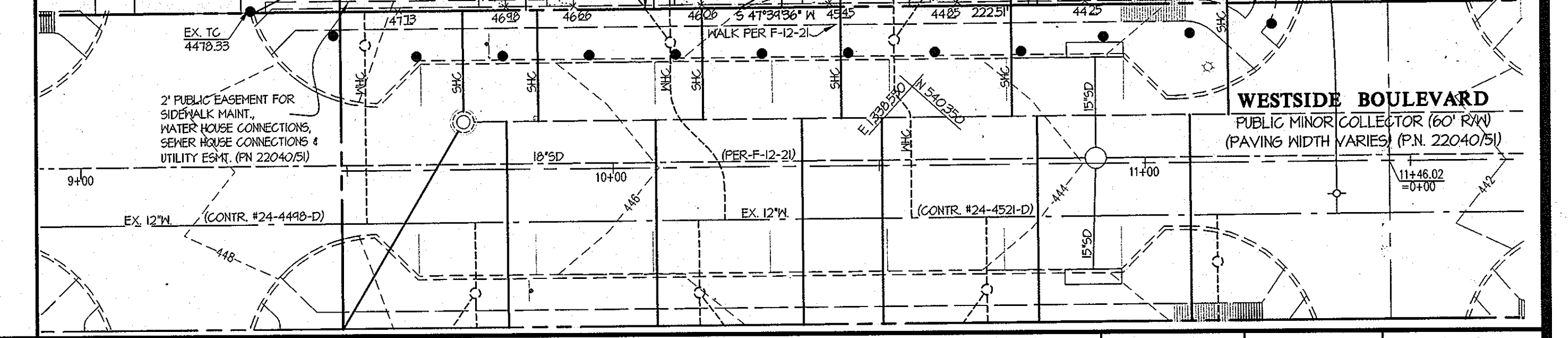
GRAPHIC SCALE  
 0 10 20 40

PROFESSIONAL CERTIFICATION  
 I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 12475, EXPIRATION DATE: MAY 26, 2014.  
 Date: 7-16-13 *[Signature]*

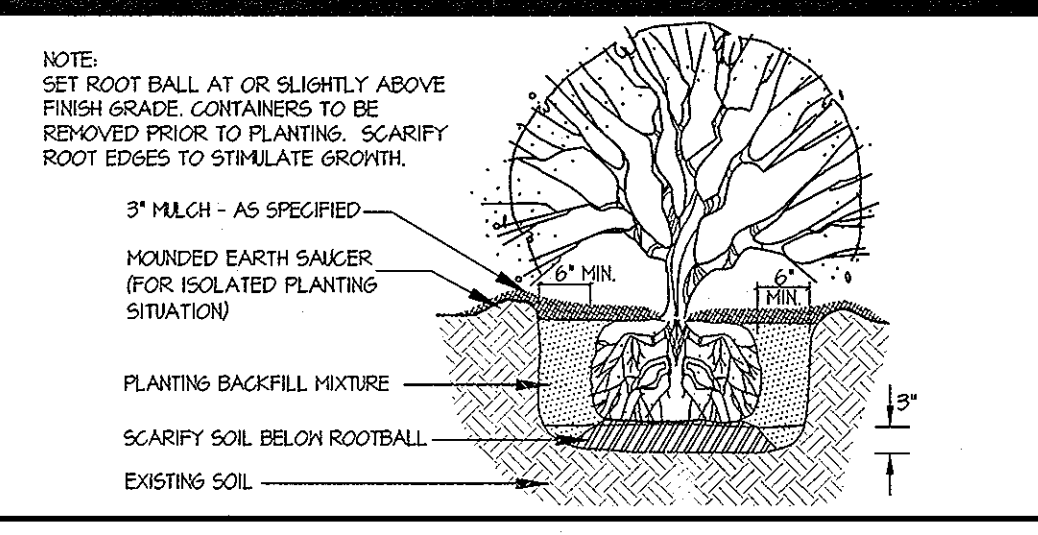
PREPARED FOR:

PROPERTY OWNER (SELLER): MAPLE LAWN FARMS I, LLC  
 1029 REVERSTOWN ROAD, SUITE 300  
 BALTIMORE, MD 21286  
 PH: 410-484-8400  
 ATTN: MARK BENNETT

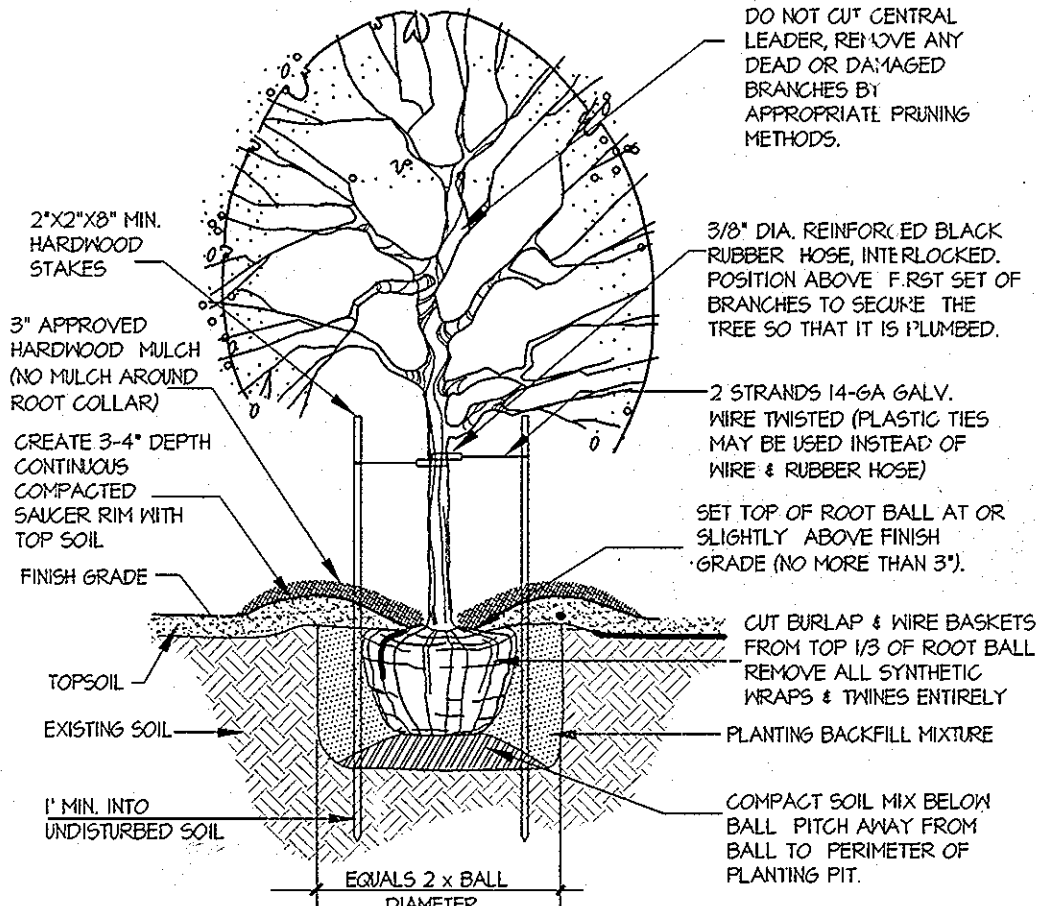
BUILDER (CONTRACT PURCHASER): NVR INC.  
 9720 PARMENT WOODS DR.  
 COLUMBIA, MD 21046  
 PH: (410) 373-5956  
 ATTN: TIM NAUGHTON



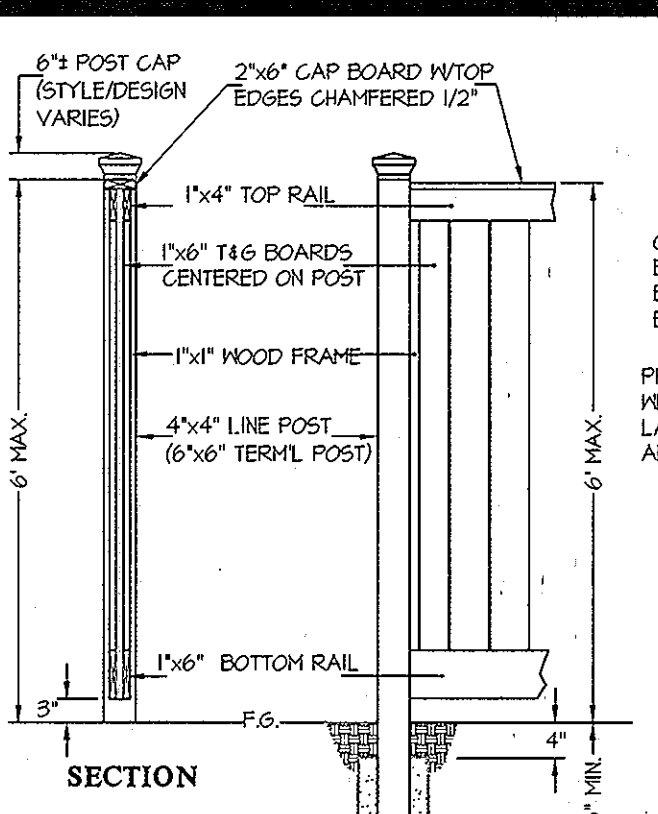




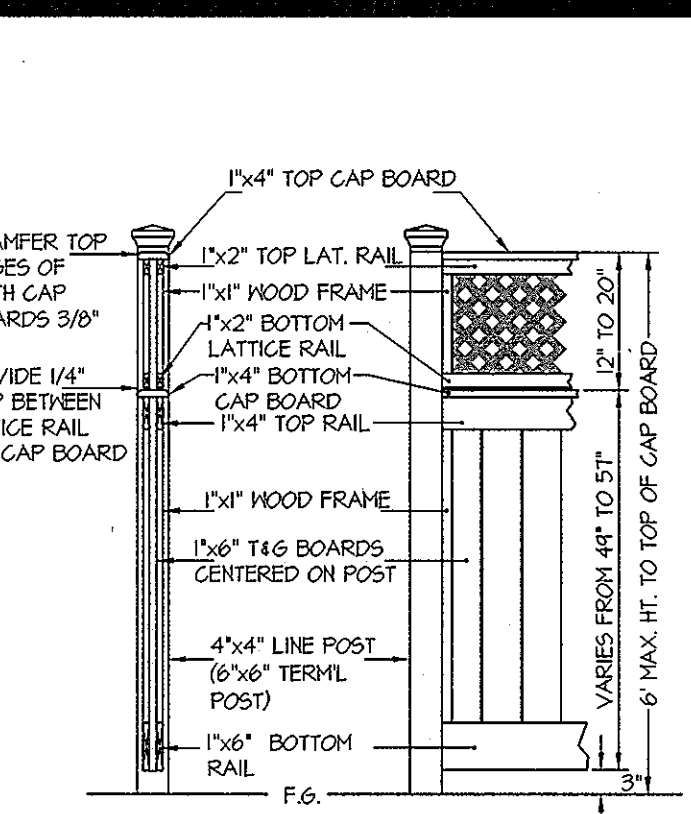
**SHRUB PLANTING DETAIL**



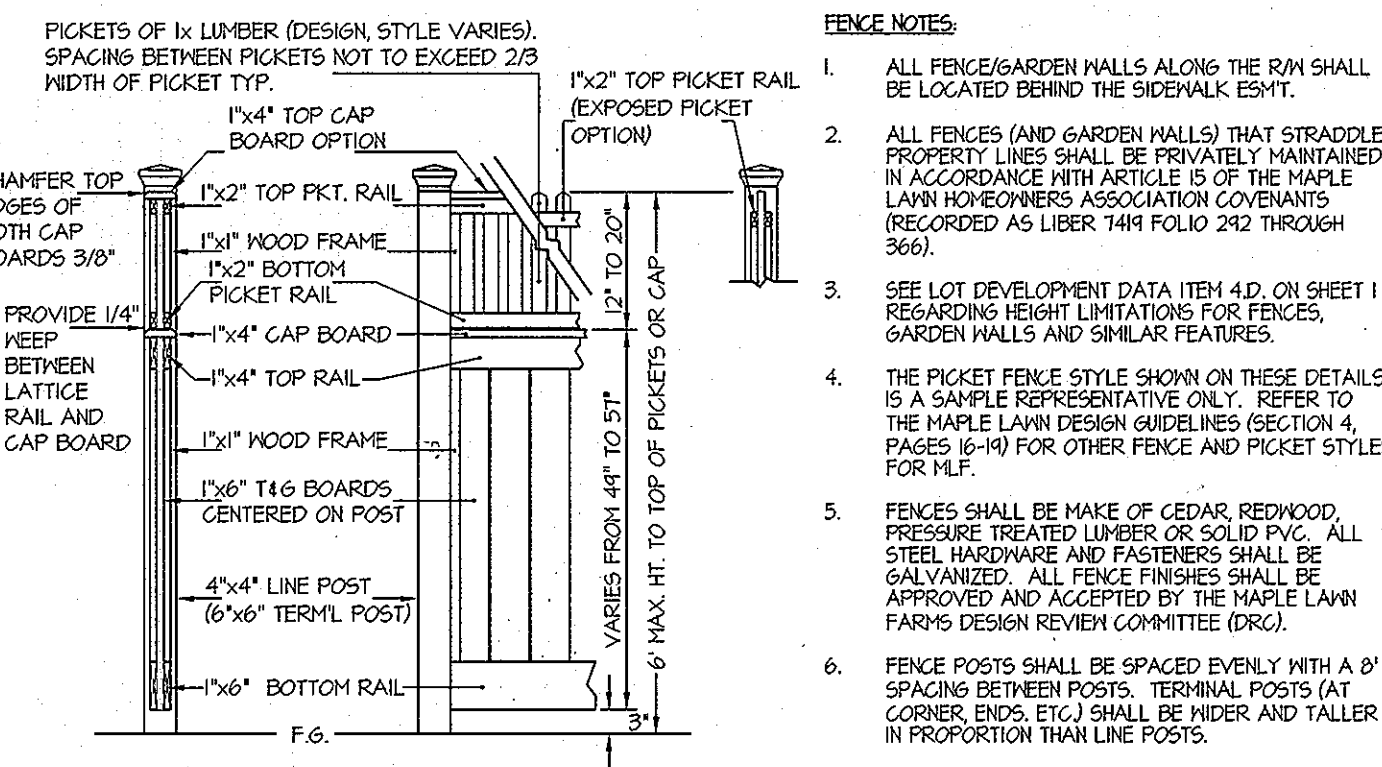
**DECIDUOUS TREE PLANTING DETAIL**



**SECTION**



**OPTIONAL TOP SECTION WITH LATTICE**

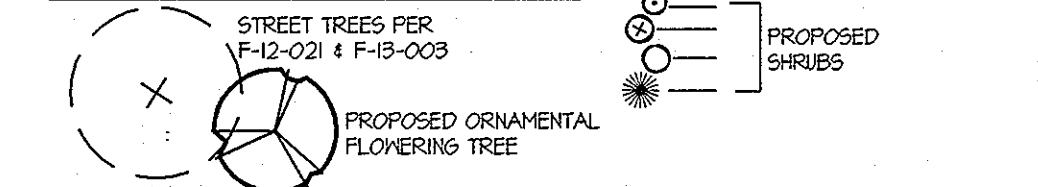


**OPTIONAL TOP SECTION WITH PICKETS**

**LANDSCAPE NOTES**

- THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH SECTION 16.124 OF THE HOWARD COUNTY CODE CHAPTER VI OF THE HOWARD COUNTY LANDSCAPE MANUAL (ALTERNATIVE COMPLIANCE) PLUS THE LANDSCAPE DESIGN CRITERIA OF 5-06-16 AND PD CASE NO. 37B.
- CONTRACTOR SHALL NOTIFY ALL UTILITIES AT LEAST (5) FIVE DAYS BEFORE STARTING WORK. ALL GENERAL NOTES, ESPECIALLY THOSE REGARDING UTILITIES, ON SHEET NO.1 SHALL APPLY.
- FIELD VERIFY UNDERGROUND UTILITY LOCATIONS AND EXISTING CONDITIONS BEFORE STARTING PLANTING WORK. CONTACT CONSTRUCTION MANAGER OR OWNER IF ANY RELOCATIONS ARE REQUIRED.
- PLANT QUANTITIES SHOWN ON THE PLANT LIST ARE PROVIDED FOR THE CONVENIENCE OF THE CONTRACTOR ONLY. IF DISCREPANCIES EXIST BETWEEN QUANTITIES SHOWN ON THE PLAN AND THOSE SHOWN ON THE PLANT LIST, THE QUANTITIES ON THE PLAN SHALL TAKE PRECEDENCE.
- ALL PLANT MATERIAL SHALL BE FIRM, HEAVY, WELL FORMED, SYMMETRICAL AND CONFORM TO THE A.A.N. SPECIFICATIONS. ALL PLANT MATERIAL SHALL BE INSTALLED IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS AND THIS PLAN.
- NO SUBSTITUTION SHALL BE MADE WITHOUT PRIOR APPROVAL FROM HOWARD COUNTY DPZ AND THE OWNER OR HIS REPRESENTATIVE.
- ALL AREAS DISTURBED BY CONSTRUCTION ACTIVITIES BUT NOT OTHERWISE PLANTED, PAVED, OR MULCHED SHALL BE SOILED OR SEEDED IN ACCORDANCE WITH THE PERMANENT SEEDING SPECIFICATION. A MINIMUM OF 4" OF TOPSOIL SHALL BE PROVIDED TO ALL PLANTING AREAS (FOR TOPSOIL SPEC. SEE SHEET 3).
- THE CONTRACTOR SHALL NOTIFY THE OWNER IN WRITING IF HE/SHE ENCOUNTERS SOIL DRAINAGE CONDITIONS THAT MAY BE DETRIMENTAL TO THE GROWTH OF THE PLANTS.
- ALL EXPOSED EARTH WITHIN THE LIMITS OF PLANTING BEDS SHALL BE MULCHED WITH SHREDDED HARDWOOD MULCH PER THE PLANTING DETAILS.
- DO NOT PLANT WITHIN THE PUBLIC WATER, SEWER AND UTILITY EASEMENT.
- "SCHEDULE-C" IS PROVIDED FOR LANDSCAPE SURETY CALCULATION PURPOSES. FINANCIAL SURETY FOR THE REQUIRED LANDSCAPING SHALL BE POSTED WITH THE GRADING PERMIT FOR HOUSE CONSTRUCTION IN THE AMOUNT OF \$ 6,600.00 FOR THE LOTS PER THIS SDP AS FOLLOWS:
  - 6 SHADE TREES AT \$300/TREE = \$ 1,800.00
  - 160 SHRUBS AT \$40/SHRUB = \$ 6,400.00

**PLANTING LEGEND**



**DEVELOPER'S/BUILDER'S CERTIFICATE**

I/WE CERTIFY THAT THE LANDSCAPING SHOWN ON THIS PLAN WILL BE DONE ACCORDING TO THE PLAN, SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE HOWARD COUNTY LANDSCAPE MANUAL AND THE LANDSCAPE DESIGN CRITERIA. I/WE FURTHER CERTIFY THAT UPON COMPLETION A LETTER OF LANDSCAPE INSTALLATION, ACCOMPANIED BY AN EXECUTED ONE YEAR GUARANTEE OF PLANT MATERIALS, WILL BE SUBMITTED TO THE DEPARTMENT OF PLANNING AND ZONING.

NAME: *Maple Lawn Farms* DATE: 7/16/13

**APPROVED PLANNING BOARD OF HOWARD COUNTY**

Date: JULY 11, 2013

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING  
 Director: *Kevin J. Lavelle* 8-1-13  
 Chief, Dept of Land Development: *David S. ...* 8/1/13  
 Chief, Development Engineering Division: *...* 7/30/13

**GLWGUTSCHICK LITTLE & WEBER, P.A.**  
 CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS  
 3809 NATIONAL BLVD. - SUITE 250 - BURTNSVILLE OFFICE PARK  
 BURTNSVILLE, MARYLAND 21086  
 TEL. 301-421-4024 FAX: 410-880-1820 DC/VA: 301-889-2524 FAX: 301-421-4186

**RESIDENTIAL LOT INTERNAL LANDSCAPING REQUIREMENTS (SCHEDULE-C)**

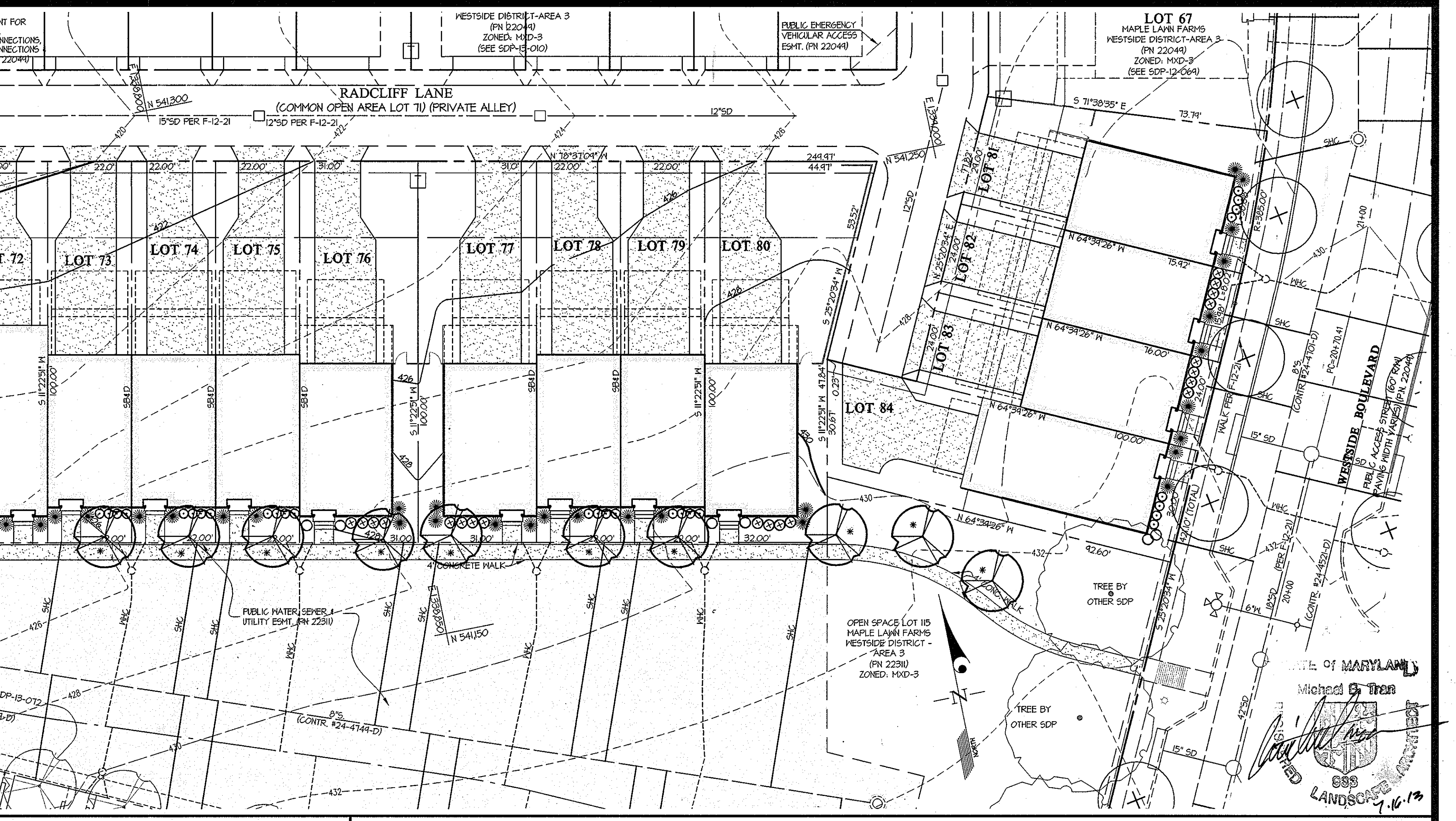
LOT	REQUIRED FRONT YARD PLANTINGS: SHRUBS AT 1/4 OF LOT WIDTH (NO SHADE TREES ARE REQUIRED)	REQUIRED PLANTINGS ON SIDE OF SPA BUILDING ORIENTED TO PUBLIC ROADWAYS, PROVIDE 1/4 OF SIDE BLDG. LENGTH	PLANTINGS PROVIDED	COMMENTS
LOT 72	36.00'	50.33'	1B, 1I	1 ORNAMENTAL FOR 5 SHRUBS
LOT 73	22.0'	n/a	n/a	
LOT 74	22.0'	n/a	n/a	
LOT 75	22.0'	n/a	n/a	
LOT 76	31.0'	n/a	n/a	
LOT 77	31.0'	n/a	n/a	
LOT 78	22.0'	n/a	n/a	
LOT 79	22.0'	n/a	n/a	
LOT 80	32.0'	n/a	n/a	
LOT 81	31.00'	n/a	n/a	
LOT 82	24.0'	n/a	n/a	
LOT 83	24.0'	n/a	n/a	
LOT 84	30.0'	n/a	n/a	
LOT 101	41.00'	50.33'	1B, 1I	2 ORNAMENTALS FOR 10 SHRUBS
LOT 102	24.0'	n/a	n/a	
LOT 103	24.0'	n/a	n/a	
LOT 104	24.0'	n/a	n/a	
LOT 105	35.0'	n/a	n/a	

COMMENTS:  
 A. SUBSTITUTION FOR DIFFERENT TYPE OF PLANT MATERIALS ARE AS FOLLOWS:  
 1 SHADE TREE = 2 ORNAMENTALS OR EVERGREEN TREES = 10 SHRUBS, 5 SHRUBS = 1 ORNAMENTAL OR EVERGREEN TREE

**PLANT LIST**

SYMBOL	QUANT.	SIZE	NAME (BOTANICAL/COMMON) OF PLANTS FOR SELECTION BY OWNER/BUYER	COMMENTS
○	15	ALL ORNAMENTAL FLOWERING TREES SHALL BE 15'-2" CAL. AND 8'-10" HT.	AHELANCHER CANADENSIS/ SHADBLOW SERVICEBERRY CERCIS CANADENSIS / EASTERN REDBUD MAGNOLIA SOULANGERIANA SAUKER MAGNOLIA MAGNOLIA STELLATA / STAR MAGNOLIA BETULA NIGRA / RIVER BIRCH LAGERSTROEMIA INDICA / GRAPE MYRTLE 'TONTON'	ALL BBV SERVICEBERRY SHALL BE TREE FORM
○	44	ALL 10' - 24" SPREAD	AZALEA VAR. 'GUMFO PINK', 'GUMFO WHITE', 'KAEHO' COTONEASTER DAMMERI 'CORAL BEAUTY', 'CORAL BEAUTY COTONEASTER HORIZONTALIS 'TOM THUMB', 'TOM THUMB JUNIPERUS HORIZONTALIS VAR. / JUNIPER VAR., 'BAR HAREBOR', 'ANDORRA', 'WILTON BLUE RUG' JUNIPERUS PROCEENSIS NANA / DWARF JAPANESE GARDEN JUNIPER	ALL CONTAINERIZED
○	32	ALL 24" - 30" SPREAD	AZALEA VAR. 'DELAHARE VALLEY WHITE', 'HERSHEY RED', 'MIND CRIMSON' DETZIA GRACILIS / SLENDER DETZIA ILEX CRENATA 'HELLEN' / DWARF JAPANESE HOLLY ILEX GLABRA 'COMPACTA' / DWARF INKBERRY MAHONIA AQUIFOLIUM / OREGON GRAPE HOLLY SPIREA NIPONICA 'SHOWKIND' / SHOWKIND SPIREA	ALL CONTAINERIZED
○	23	ALL 24" - 30" SPREAD & 2.5' - 3' HT.	BICKNATHS KIANTSOCHOUX MANHATTAN / MANHATTAN BICKNATHS MAHONIA BEALEI / LEATHERLEAF MAHONIA OSMANTHUS HETEROPHYLLUS 'SWEET HONEY' RHODOCHEDRON HYBRID VAR. (CAT. ALBUM, CAT. GRANDIFLORA, 'ENGLISH ROSE', 'ROSEUM ELEGANS') RHODOCHEDRON PLUM RHO DOCHEDRON TAXUS CUSPIDATA NANA / DWARF JAPANESE YEW VIBURNUM CALICE / KOREAN SPICE VIBURNUM BUXUS SEMPERVIRENS / BOXWOOD	ALL CONTAINERIZED
○	46	ALL 3" - 4" HT.	ILEX VERTICILLATA VAR. / WHITEBERRY HOLLY VAR. (CARDINAL) LIMNODIUM 'RED SPIRIT', 'WHITE RED', 'SPARKLEBERRY' JUNIPERUS CHINENSIS 'BLUE POINT' / BLUE POINT JUNIPER TAXUS MEDIA 'HICKSII' / HICKS YEW THUA OCCIDENTALIS 'EMERALD GREEN' / EMERALD GREEN ARBORVITAE	ALL CONTAINERIZED

NOTES:  
 1. AT THE TIME OF PLANT INSTALLATION ALL SHRUBS AND TREES LISTED AND APPROVED ON THE LANDSCAPE PLAN SHALL COMPLY WITH THE PROPER HEIGHT REQUIREMENT IN ACCORDANCE WITH THE HOWARD COUNTY LANDSCAPE MANUAL. IN ADDITION NO SUBSTITUTIONS OR RELOCATIONS OF THE REQUIRED PLANTINGS MAY BE MADE WITHOUT PRIOR REVIEW AND APPROVAL FROM THE DEPARTMENT OF PLANNING AND ZONING. ANY ELEVATION FROM THE APPROVED LANDSCAPE PLAN MAY RESULT IN DENIAL IN THE RELEASE OF LANDSCAPE SURETY. UNTIL SUCH TIME AS ALL REQUIRED MATERIALS ARE PLANTED AND/OR REVISIONS ARE MADE TO THE APPLICABLE PLANS.  
 2. THE OWNER, TENANTS AND/OR THEIR AGENTS SHALL BE RESPONSIBLE FOR MAINTENANCE OF THE REQUIRED LANDSCAPING INCLUDING BOTH PLANT MATERIALS AND BERRS, FENCES AND WALLS. ALL PLANT MATERIALS SHALL BE MAINTAINED IN GOOD GROWING CONDITION, AND WHEN NECESSARY, REPLACED WITH NEW MATERIAL TO ENSURE CONTINUED COMPLIANCE WITH APPLICABLE REGULATIONS. ALL OTHER REQUIRED LANDSCAPING SHALL BE PERMANENTLY MAINTAINED IN GOOD CONDITION, AND WHEN NECESSARY, REPAIRED OR REPLACED.

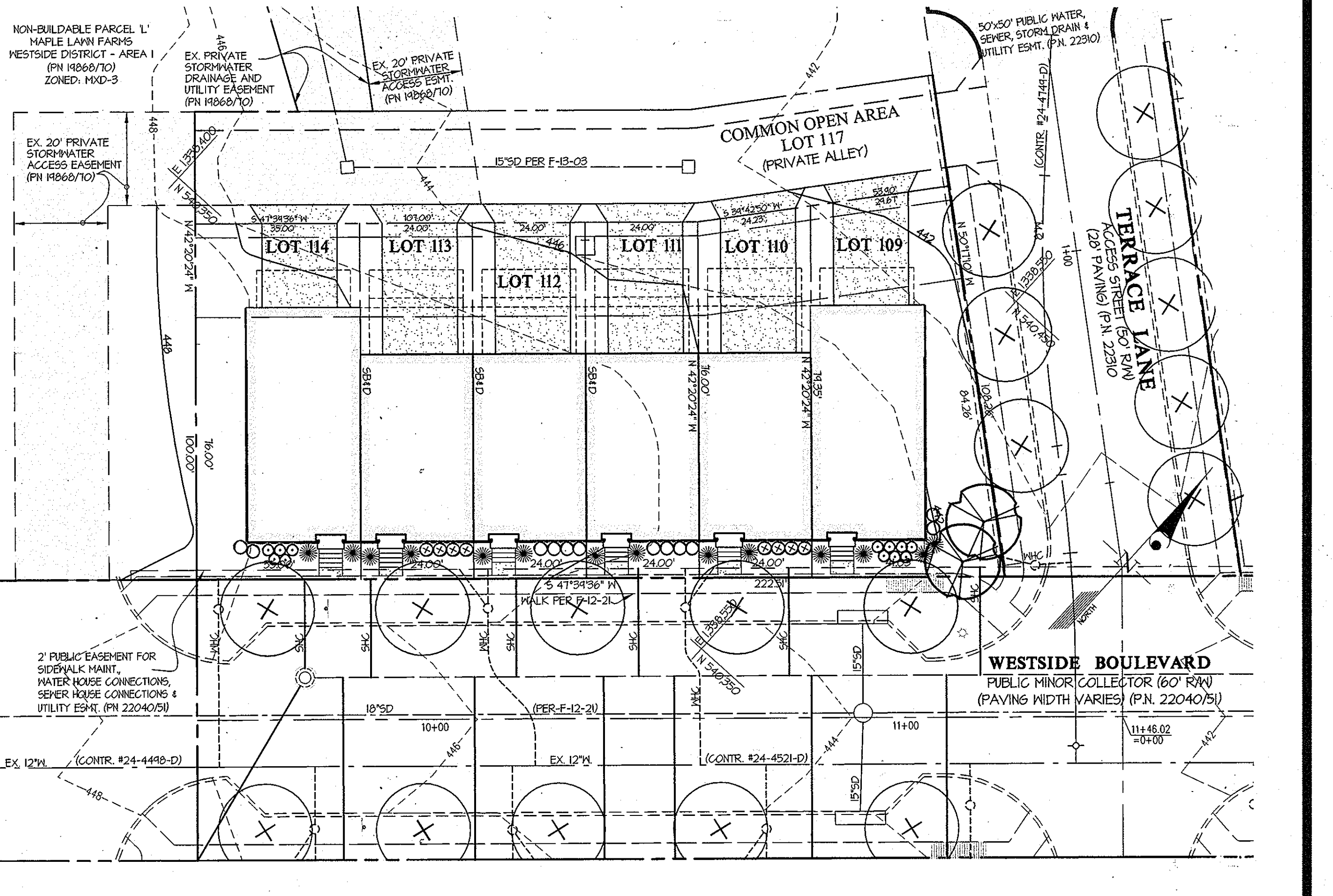


**LANDSCAPE SURETY PER LOT**

BUILDER	LOT NO.	PLANT QUANTITY	SURETY AMOUNT
NWR of MAPLE LAWN LLC.	72	2 ornamentals, 22 shrubs	\$ 960.00
	73	1 ornamental, 6 shrubs	\$ 330.00
	74	1 ornamental, 6 shrubs	\$ 330.00
	75	1 ornamental, 6 shrubs	\$ 330.00
	76	1 ornamental, 6 shrubs	\$ 330.00
	77	1 ornamental, 6 shrubs	\$ 330.00
	78	1 ornamental, 6 shrubs	\$ 330.00
	79	1 ornamental, 6 shrubs	\$ 330.00
	80	2 ornamentals, 6 shrubs	\$ 480.00
	81	n/a	\$ 240.00
	82	n/a	\$ 180.00
	83	n/a	\$ 180.00
	84	n/a	\$ 240.00
	85	n/a	\$ 180.00
TOTAL	SEE * NOTE	160	\$ 6,600.00

\* FOR RESIDENTIAL BUILDINGS TYPES ENFRONTING AN ATTACHED GREEN, STREET TREES SHALL BE PLANTED IN FRONT OF THE STRUCTURES AND WITHIN THE PUBLIC OPEN SPACE. TREES SHALL BE SPACED TO CONFORM WITH THE SPACING OF THE ADJOINING THOROUGHFARE AND NOT LESS THAN 40' ON CENTER. THE ORNAMENTAL TREES (4 ON THE OPEN SPACE LOT 8 AND 9 ON LOTS 12-14) SHALL BE AS SHOWN.

THE 10 ORNAMENTAL TREES ARE BOND (\$ 450/TREE) SUBSTITUTION FOR DIFFERENT TYPE OF PLANT MATERIALS ARE AS FOLLOWS: 1 SHADE TREE = 2 ORNAMENTALS, A TOTAL OF 6 "SHADE TREES" ARE PROVIDED FOR THE REQUIRED QUANTITY OF 6 FOR 240 TOTAL LINEAL FEET OF LOT FRONTAGE ON OPEN GREENS.



**THIS PLAN IS FOR PLANTING PURPOSES ONLY**

GRAPHIC SCALE: 1" = 20'

PREPARED FOR:  
 PROPERTY OWNER (SELLER): MAPLE LAWN FARMS I, LLC  
 1829 REISTERSTOWN ROAD, SUITE 300 BALTIMORE, MD 21208  
 PH: 410-484-8400  
 ATTN: MARK BENNETT

BUILDER (CONTRACT PURCHASER): NWR INC.  
 9720 PATENT WOODS DR. COLUMBIA, MD 21046  
 PH: (410) 379-5905  
 ATTN: TIM MAUGHAN

**LANDSCAPE PLAN**  
**MAPLE LAWN FARMS**  
 WESTSIDE DISTRICT - AREA 3  
 LOT Nos. 72-84 and 109-114  
 (SFA RESIDENTIAL USE)  
 PLAT Nos. 19870, 22044-22051 and 22307-22311  
 ELECTION DISTRICT No. 5  
 HOWARD COUNTY, MARYLAND

SCALE	ZONING	G. L. W. FILE NO.
1" = 20'	MXD-3	11081
DATE	TAX MAP - GRID	SHEET
JULY/2013	41-21/46-3	4 OF 4