- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF HOWARD COUNTY PLUS MSHA STANDARDS AND SPECIFICATIONS IF
- THE CONTRACTOR SHALL NOTIFY THE BUREAU OF ENGINEERING/CONSTRUCTION INSPECTION DIVISION AT (410) 313-1880 AT LEAST FIVE (5) WORKING DAYS PRIOR TO THE START OF
- PROJECT BACKGROUND
  - LOCATION: SEE VICINITY MAP IN THE TOP RIGHT CORNER OF THIS SHEET

ZONING: MXD-3 PER ZB-995M (APPROVED ON 02-08-01), UNDERLYING ZONING IS RR-DEO AND PER THE 2/02/04 COMPREHENSIVE ZONING PLAN. AREA OF BUILDABLE LOTS (Nos. 72-84 & 109-114) FOR THIS SITE DEVELOPMENT PLAN: 1.35± ACRES. FOR OTHER SUBMISSIONS RELATED TO THIS SITE, SEE HOWARD COUNTY DEPT. OF PLANNING & ZONING FILE Nos.: S 01-17, S-06-16, ZB-995M, ZB-1039M, PB-353, PB-378, MP-01-III, MP-03-02, MP-05-12, MP-07-122, MP-08-04, P-02-12, P-07-18, F-08-54, F-08-55, F-10-06, F-10-79, F-11-47, SDP-06-67, SDP-08-56, SDP-08-58, SDP-08-114, SDP-09-60, SDP-10-02, SDP-07-43, F-08-105, F-09-16, F-09-97, P-11-001, F-12-021, F-13-003

- TRAFFIC CONTROL DEVICES, MARKINGS, AND SIGNAGE SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTC). ALL STREET AND REGULATORY SIGNS SHALL BE IN PLACE PRIOR TO THE PLACEMENT OF ANY ASPHALT.
- ALL PLAN DIMENSIONS ARE TO THE FACE OF CURB OR FACE OF BUILDING UNLESS OTHERWISE NOTED. DIMENSIONS ARE MEASURED PERPENDICULAR OR RADIALLY BETWEEN ITEMS
- EXISTING TOPOGRAPHY AND FEATURES COMPILED FROM F-06-161, F-08-012 & G.L.W. SURVEY DONE IN MAY/2009.
- COORDINATES ARE BASED ON NAD83 MARYLAND COORDINATE SYSTEM AS PROJECTED BY HOWARD COUNTY GEODETIC CONTROL STATION NUMBERS 46BC & 46BD.
- OPEN SPACE LOTS 2 & 3 IN THE WESTSIDE DISTRICT UNDER F-08-55. THE EXISTING FACILITY ON OPEN SPACE LOT 3 IS PUBLICLY OWNED AND MAINTAINED, THE ONE ON OPEN SPACE LOT 2 IS PRIVATELY OWNED AND MAINTAINED (BY THE MAPLE LAWN COMMERCIAL ASSOCIATION, INC.). OPEN SPACE LOT 3 IN THE BUSINESS DISTRICT UNDER F-05-112. THIS FACILITY IS PRIVATELY OWNED AND MAINTAINED (BY THE MAPLE LAWN COMMERCIAL ASSOCIATION, INC. RECHARGE OBLIGATIONS FOR THESE LOTS HAVE BEEN PROVIDED IN AN EXISTING FACILITY LOCATED ON OPEN SPACE LOT 60 IN THE WESTSIDE DISTRICT-AREA 2 AND CONSTRUCTED
- PUBLIC WATER AND SEMER SHALL BE UTILIZED (AS PROVIDED BY W&S CONTRACT #24-452!-D, #24-470!-D & #24-4749-D) AND THE WATER METERS IN OUTSIDE VAULTS.
- THE EXISTING UTILITIES SHOWN HEREIN WERE DERIVED FROM AVAILABLE PUBLIC RECORDS. THE CONTRACTOR MUST DIG TEST PITS (BY HAND) AT ALL UTILITY CROSSINGS AND CONNECTION POINTS TO VERIFY EXACT LOCATION. IMMEDIATELY NOTIFY THE ENGINEER OF ANY CONFLICTS.
- 12. ALL ROADS LABELED AS "PUBLIC" ARE PUBLICLY MAINTAINED ONCE THEY ARE DEDICATED. ALL ROADS LABELED AS "PRIVATE" ARE PRIVATELY MAINTAINED BY A HOMEOWNER
- 13. ANY DAMAGE TO THE ADJACENT COUNTY OWNED RIGHT-OF-WAY AND PROPERTY SHALL BE CORRECTED AT THE CONTRACTOR'S EXPENSE.
- THERE ARE NO GRAVE SITES, CEMETERIES, METLANDS, 100-YR FLOODPLAIN OR STREAM ON THE BUILDABLE LOTS SHOWN ON THIS SITE DEVELOPMENT PLAN. ELSEWHERE WITHIN THE WESTSIDE DISTRICT OPEN SPACE THERE ARE WETLANDS, 100-YR FLOODPLAIN AND STREAMS.
- THIS PROJECT COMPLIES WITH THE REQUIREMENTS OF SECTION 16.1200 OF THE HOWARD COUNTY CODE FOR FOREST CONSERVATION.
- FINANCIAL SURETY FOR THE REQUIRED LANDSCAPING (AS SHOWN ON SHEET 4 TO SATISFY 5-01-17 DEVELOPMENT CRITERIA AND SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL) SHALL BE POSTED AS PART OF THE GRADING PERMIT FOR EACH LOT (WHERE APPLICABLE). FOR ADDITIONAL INFORMATION ON THE LANDSCAPE SURETY
- DRIVEWAYS SHALL BE PROVIDED PRIOR TO ISSUANCE OF A USE AND OCCUPANCY PERMIT FOR ANY NEW DWELLINGS TO INSURE SAFE ACCESS FOR FIRE AND EMERGENCY VEHICLES PER THE FOLLOWING MINIMUM REQUIREMENTS:
- WIDTH 12' (16' SERVING MORE THAN ONE RESIDENCE) SURFACE - 6" OF COMPACTED CRUSHER RUN BASE WITAR AND CHIP COATING (1-1/2"MIN.)
- GEOMETRY MAX. 14% GRADE, MAX. 10% GRADE CHANGE AND MIN. 45' TURNING RADIUS.
- STRUCTURES (CULVERTS/BRIDGES) CAPABLE OF SUPPORTING 25 GROSS TONS (H25 LOADING) DRAINAGE ELEMENTS - CAPABLE OF SAFELY PASSING 100-YR. FLOOD WITH NO MORE THAN I FOOT DEPTH OVER DRIVEWAY SURFACE, MAINTENANCE - SUFFICIENT TO INSURE ALL WEATHER USE.
- 18. PUBLIC REFUSE PICKUP IS PROVIDED AT CURBSIDE FOR LOTS 109-114 AND IN THE ALLEY FOR LOTS 12-84.
- BAY WINDOWS. WINDOW WELLS, CHIMNEYS, HEATING OR AIR CONDITIONING UNITS AND EXTERIOR STAIRWAYS IF NOT MORE THAN 16 FEET IN WIDTH MAY PROJECT NO MORE THAN 4 FEET INTO ANY REQUIRED SETBACK AREA IN ACCORDANCE WITH SECTION 128 A.I OF THE ZONING REGULATIONS, EXCEPT FOR THE ITEMS LISTED UNDER 4.D OF THE LOT DEVELOPMENT DATA
- 21. THE TWO CAR GARAGES SHALL BE USED FOR PARKING PURPOSES ONLY AND ARE NOT PERMITTED TO BE CONVERTED TO OTHER USES IN ACCORDANCE WITH SECTION 133.D.2.A OF THE ZONING REGULATIONS AND THE APPROVED MLF DEVELOPMENT CRITERIA. UNLESS OTHERWISE PROHIBITED BY POSTED SIGNAGE OR CURB MARKING, ON-STREET PARALLEL PARKING ALONG THE CURB WITHIN THE PUBLIC RIGHTS-OF-WAY IS ALLOWED FOR VISITOR AND OVERFLOW PARKING. THE ON-STREET PARKING AREA WILL NOT BE STRIPED. THE ALLEYS ARE OWNED BY THE HOA AND THEY ENFORCE THE PARKING PROHIBITION IN THEIR ALLEY "RIGHT-OF-WAY" THAT'S IN THE COVENANT FOUND AT L. 8254 F. 30543
- 22. NO GRADING, REMOVAL OF VEGETATIVE COVER OR TREES, PAVING AND NEW STRUCTURES SHALL BE PERMITTED WITHIN THE REQUIRED WETLANDS, STREAM(S) OR THEIR BUFFERS, FOREST CONSERVATION EASEMENT AREAS AND 100 YEAR FLOODPLAIN.
- 23. MINIMUM BUILDING SETBACK RESTRICTIONS FROM PROPERTY LINES AND THE PUBLIC ROAD RIGHTS OF WAY FOR ALL SFD AND SFA RESIDENTIAL LOTS WILL BE PROVIDED IN ACCORDANCE WITH THE COMPREHENSIVE DEVELOPMENT CRITERIA APPROVED FOR THIS PROJECT UNDER 5-01-17, 5-06-16, PB-353, PB 378 AND ZB-995M
- 25. BUILDABLE LOTS 72, 81-84 & 109-114 SHOWN HEREON SHALL HAVE A PUBLIC EASEMENT ADJACENT TO THE PUBLIC ROAD RIGHT OF WAY OR FRONT LOT LINE, FOR THE PURPOSES OF SIDEWALK MAINTENANCE, WATER HOUSE CONNECTION AND SEMER HOUSE CONNECTION.
- 26. BECAUSE THERE MAY BE MODIFICATIONS TO LANDSCAPING A CERTIFIED LANDSCAPE PLAN APPROVED BY MAPLE LAWN FARMS SHALL BE FORWARDED TO THE COUNTY FOR APPROVAL PRIOR TO LANDSCAPE INSPECTION. PLANT SUBSTITUTIONS CANNOT INCLUDE SPECIES PROHIBITED BY THE HOWARD COUNTY LANDSCAPE MANUAL AND ADOPTED POLICIES.

## LOT DEVELOPMENT DATA

. GENERAL SITE ANALYSIS DATA

- PROPOSED USE OF SITE: 19 SFA RESIDENTIAL DWELLINGS PUBLIC WATER & SEWER TO BE UTILIZED (CONTR. #24-4521-D, #24-4701-D & #24-4749-D)
- PARKING REQUIRED PER Sec. 133.D.2.a.: 2 SPACES/UNIT x 19 = 38 SPACES PARKING PROVIDED: 38 GARAGE SPACES (all 19 lots have at least a 2-car garage plus additional parking on the tandem driveways for at least 2 cars).
- SEE NOTE 21 ABOVE REGARDING PARKING RECREATION OPEN SPACE FOR THIS SDP IS ADDRESSED UNDER F-08-54 (SEE OVERALL OPEN SPACE PROVISION CHART ON THIS SHEET).
- AREA OF BUILDABLE LOTS FOR THIS SUBMISSION: 46,019± SF OR 1.06± AC.
- 1.35± ACRES (L.O.D.) AREA OF THIS PLAN SUBMISSION:

LOT NUMBERS

72-84 & 109-114

TOWNHOME

. STRUCTURE SETBACKS PER F-13-003 AND PLAT Nos. 22307-22311 FRONT SETBACK SIDE SETBACK MINIMUM REAR SETBACKS 20' TO PRINCIPAL STRUCTURE. 3' FOR REAR (DETACH/ATTACH) GARAGE OR TO ACCESSORY STRUCTURES. HABITABLE SPACE AND/OR OPEN/ENCLOSED DECKS MAY BE BUILT OVER ATTACHED GARAGES. IN THOSE CASES, THE GARAGE SETBACKS SHALL GOVERN.

WHERE THE REAR LOT LINE IS CONTIGUOUS TO GREEN OPEN SPACE, THE REAR PRINCIPAL STRUCTURE SETBACK MAY BE REDUCED TO 10' AND THE REAR

OTHER DECKS MUST BE A MINIMUM OF IO' FROM REAR PROPERTY LINE, AND ARE SUBJECT TO SIDE YARD SETBACKS.

- A. BETWEEN SFA BUILDINGS, THE MINIMUM SETBACK DISTANCES SHALL BE 30' FRONT TO FRONT, 50' BACK TO BACK (EXCEPT ACROSS AN ALLEY), 50' BACK TO FRONT AND 6' OR AS REQUIRED BY THE BUILDING CODE FOR ALL OTHER CONDITIONS.
- B. OPEN DECKS MUST BE A MINIMUM OF IO' FROM REAR PROPERTY LINE, AND ARE SUBJECT TO SIDE YARD SETBACKS.
- C. FACING ACCESSORY STRUCTURES AND DETACHED GARAGES (ACROSS AN ALLEY/LANE R.O.H.) SHALL BE 30' APART.
- D. EXCEPTIONS TO FRONT SETBACK REQUIREMENTS. SECTION 128.A.! APPLIES, EXCEPT FOR THE FOLLOWING:
- PORCHES MAY ENCROACH INTO THE FRONT YARD TO WITHIN 2' FROM THE FRONT PROPERTY LINE OR RIGHT-OF-WAY FOR COTTAGES, MANORS, AND VILLAS; TO WITHIN 12' FOR ESTATES. PORCHES MAY ENCROACH INTO THE SIDE YARD OF CORNER LOTS TO WITHIN 2' FROM THE RIGHT-OF-WAY FOR COTTAGES, MANORS, AND VILLAS; TO MITHIN 12' FOR ESTATES. WHERE A SIDE YARD ABUTS AN OPEN SPACE OR PASSAGE, PORCHES MAY ENCROACH TO WITHIN I' FROM THE SIDE PROPERTY LINE FOR COTTAGES, MANORS, AND VILLAS; TO WITHIN 12' FOR ESTATES.
- . STOOPS AND STEPS MAY ENCROACH INTO THE FRONT AND SIDE YARDS TO WITHIN I' FROM THE FRONT PROPERTY LINE.

## PLANNING BOARD OF HOWARD COUNTY **JULY 11, 2013**

SARDEN WALLS, FENCES, PIERS, GATES AND SIMILAR ORNAMENTS MAY BE BUILT IN THE FRONT AND SIDE YARDS NOT CLOSER THAN I' FROM THE FRONT PROPERTY LINE (WALL FOOTING MUST BE OUTSIDE ANY EASMENTS): NOT GREATER THAN 48" IN HEIGHT ALONG THE FRONT PROPERTY LINE AND NOT GREATER THAN 72" IN HEIGHT ALONG THE

MAX. BUILDING HT. 50 FEET (MEAN HT.)

MASONRY VENEERS MAY ENCROACH A MAXIMUM OF SIX INCHES INTO ANY REQUIRED SETBACK.

Date

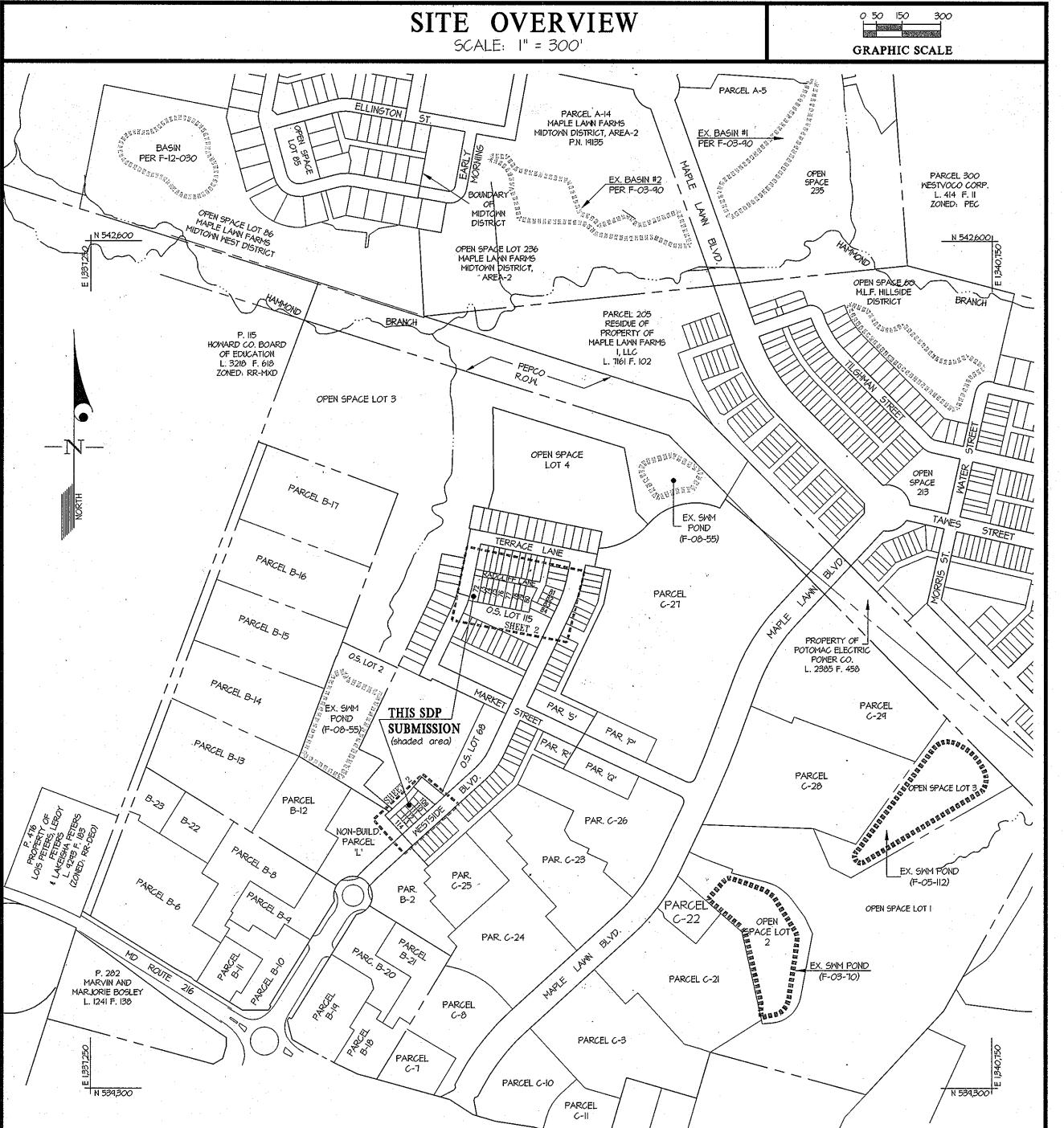
PROFESSIONAL CERTIFICATION I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 12975, EXPIRATION DATE: MAY 26, 2014.

MIN. LOT WIDTH AT FRONT BRL



# MAPLE LAWN FARMS SITE DEVELOPMENT PLAN

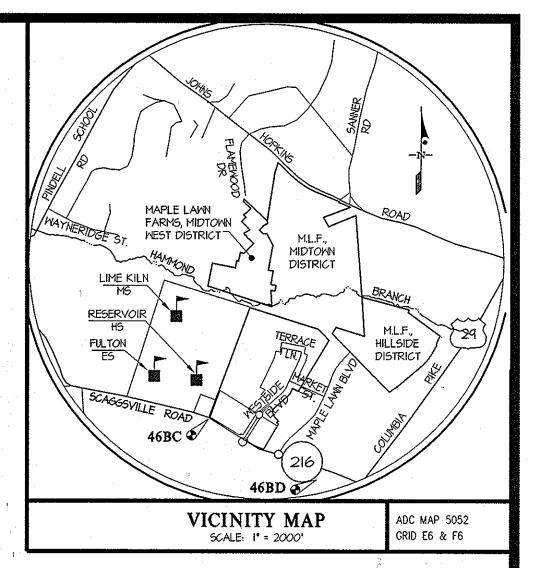
WESTSIDE DISTRICT - AREA 3 LOT Nos. 72-84 and 109-114 FIFTH ELECTION DISTRICT HOWARD COUNTY, MARYLAND



HOWARD COUNTY CONTROL NAD83 HORIZONTAL DATA # NVD88 VERTICAL DATA

ELEV. = 472.16 N = 539,925.13 E=1,337,205.77 STANDARD DISC ON CONCRETE MONUMENT

ELEV. = 431.17 N = 538,656.76 E=1,339,461.55 STANDARD DISC ON CONCRETE MONUMENT.



OVERALL OPEN SPACE PROVISION FOR MAPLE LAWN FARMS								
PHASE NUMBER (AND NAME)	APPROVED DPZ FILE No.	PHASE AREA GROSS ACREAGE	REQUIRED OPEN SPACE (35% OF GROSS AC.)	OPEN SPACE PROVIDED IN AC. (%) *	REQUIRED ACTIVE OPEN SPACE IN AC.**	ACTIVE RECREATION O.S. PROVIDED IN AC. (%) ***		
I (BUSINESS DISTRICT, AREA-I)	F-03-07	51.98	18.19	21.15 (40.7)	1.82			
2 (MIDTOWN DISTRICT, AREA-I)	F-03-90	37.43	13.10	15.75 (42.1)	1.31	7.52 (47.7)①		
3 (MIDTOWN DISTRICT, AREA-2)	°F-04-92	58.80	20.58	22.85 (38.4)	2.06			
4a (HILLSIDE DISTRICT, AREA-I)	F-05-81	15.47	5.41	6.70 (43.3)	0.54	0.29 (4.3) ②		
46 (MIDTOWN DISTRICT, AREA-3)	F-05-139	<b>3</b> .I2	1.09	1.23 (39.4)	0.11			
4c (BUSINESS DISTRICT, AREA-2/ HILLSIDE DISTRICT, AREA-2)	F-05-II2/II3	3.00	1.05	0.00	0.11			
5a (HILLSIDE DISTRICT, AREA-I)	F-06-43	0.00	0.00	0.00	0.00			
5b (HILLSIDE DISTRICT, AREA-3)	F-06-161	33.26	II.64	18.50 (55.6)	1.16	1.61 (8.7)		
6a (HILLSIDE DISTRICT, AREA-4)	F-08-072	15.05	5.27	5.50 (36 <i>5</i> )	0.53			
WA	F-07-183	3.05	1.07	0.00	0.10	<b></b>		
6b (WESTSIDE DISTRICT)	F-08-54/F-08-55	90.60	31.71	26.65 (29.4)	3.17	4.76 (17.9) ③		
7 (HILLSIDE DISTRICT, AREA-5)	F-10-61	16.60	5.81	0.94 (5.7)	0.58			
8a (HILLSIDE DISTRICT, AREA-5)	F-II-27	0.00	0.00	0.20 (0.0)	0.00	<del>-</del>		
86 (WESTSIDE DISTRICT, AREA-2)	F-I2-2I	0.00	0.00	0.67 (0.0)	0.00	0.67 (100) (1)		
8c (MIDTOWN WEST DISTRICT)	F-I2-20	1.65	0.58	0.09 (5.5)	0.06			
8c (MIDTOWN WEST DISTRICT)	F-12-29	3⊘.22	10.58	13.59 (44.9)	1.06	1.29 (9.5) (5)		
N/A	F-I2-I5	9.37	3.28	0.00 (0.0)	0.33	0.00 (0.0)		
9b (MESTSIDE DISTRICT, AREA-3)	F-13-03	0.00	0.00	0.69 (0.0)	0.00	0.69 (100)		
9C (MIDTOWN WEST DISTRICT, AREA-2)	F-13-07	34.08	11.43	13.59 (39.9)	1.19	5.05 (37.1) ①		
9d	F-13-08	75.79	26.53	0.00 (0.0)	2.65	0.00 (0.0)		
n∕a	F-12-86	15.46	5.41	3.74 (24.2)	0.54	0.00 (0.0) 🕲		
TOTAL		494.93	173.23	151.84 (30.7)	17.32	21.87 (14.4)		

- \* THE PERCENTAGE OF OPEN SPACE PROVIDED IS BASED ON THE GROSS SITE ACREAGE
- \*\* 10% OF THE OPEN SPACE REQUIRED MUST BE AVAILABLE FOR ACTIVE RECREATION
- \*\*\* THE PERCENTAGE OF ACTIVE RECREATION O.S. PROVIDED IS BASED ON THE O.S. PROVIDED (CUMULATIVE TOTAL ACREAGE).
- T.52 AC. = COMMUNITY CENTER (O.S. 125 5.01 AC.), O.S. 126 (O.55 AC.) AND O.S. 230 (1.96 AC.)
- 2) 0.29 AC. = PATHWAYS (3) 4.76 AC. = OS LOT 4 (4.76 AC.)
- (4) 0.67 ACRES = 05 Lot 68 (0.67 Ac.) (5) 1.29 ACRES = OS Lot 85 (0.63 Ac.), and OS Lot 84 (0.66 Ac.)
- (6) 0.69 ACRES = 05 115 (0.69 Ac.)
- (7) 5.05 AREAS = 03 179 (0,73 Ac.), 03 180 (0.74 ac.), 03 182 (3.58)
- (8) 3.74 Ac. = 05 3 (3.74 Ac.)
- OPEN SPACE LOTS 126 AND 230 ARE CONSIDERED RECREATIONAL SINCE RESIDENTS WILL BE ABLE TO GATHER AND CHILDREN WILL BE ABLE TO PLAY IN THESE AREAS.

THIS PLAN HAS BEEN SET UP TO ALLOW MULTIPLE GRADING PERMITS, IN ACCORDANCE WITH APPLICABLE POLICY FOR MLF. LANDSCAPE SURETY AMOUNT \$ 4,920.00 \$ 100.00 109-114 0.40± AC \$ 1,680.00 \$ 100.00 1.35± AC \$ 6600.00 \$ 200.00 WITHIN I YEAR OF SIGNATURE APPROVAL OF THIS SDP BY THE DIRECTOR OF DPZ, THE BUILDER SHALL APPLY TO THE DEPARTMENT

OF INSPECTIONS, LICENSES AND PERMITS FOR BUILDING PERMITS TO INITIATE THE CONSTRUCTION ON THIS SDP. THE BUILDER SHALL

APPLY FOR BUILDING PERMITS FOR ALL CONSTRUCTION AUTHORIZED ON THIS SDP WITHIN 2 YEARS OF ITS APPROVAL.

SI	HEET INDEX	·
1.	COVER SHEET	•
2.	SITE DEVELOPMENT PLAN	
3.	SEDIMENT CONTROL PLAN	
<b>'</b> 4.	LANDSCAPE PLAN	

LOT No.	STREET ADDRESS	LOT No.	STREET ADDRESS  8060 WESTSIDE BOULEVARD		
12	IIIO2 RADCLIFF LANE	81			
13	11104	82	8062		
74	11106	. 83	8064		
.15	11108	84	8066		
76	IIIIO ,				
77	11114	109	8138 WESTSIDE BOULEVARD		
78	11116	IIO	8140		
79	11118	ııı ı	8142		
80	11120	· II2	8144		
		113	8146		
		114	8148		

WATER CODE: E2I			SEWER CODE: 1695000				
DEVELOPMENT NAME MAPLE LAWN FARMS		DISTRICT/AREA LOT WESTSIDE DISTRICT/ 72-8 AREA 3 109-1		34 4 6051.02			
PLAT 19870, 22044-22051 & 22307-22311	ZONE MXD-3		RID ∉3	ELEC. DIS	<b>ī</b> .	• •	•
.•		SCALE		ZONING		G.	L. W. FILE No.
•	·	AS SHOV	/N	MXD-2	3	:e', '	11081
		DATE	-	TAX MAP -	GRID		SHEET
HOWARD COUNTY,	MARYLAND	JULY/201	3	41-21/46-3		1 OF 4	

PERMIT INFORMATION CHART

GLWGUTSCHICK LITTLE & WEBER, P.A.

Engineering Division 😘

CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS 3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK BURTONSMILE MARYLAND 20866 TEL: 301-421-4024 BALT: 410-880-1820 DC/VA: 301-989-2524 FAX: 301-421-4186

:\CADD\BRANNICS\03667\11081 (NYR)\PLANS BY QXY\SDP (AREA 3)\11081\_01\_CS (Area 3).drg | DES. mbt | DRN. klp | CHK. mbt |

REVISION APP'R.

PROPERTY OWNER (SELLER): MAPLE LAWN FARMS I, LLC 1829 REISTERSTOWN ROAD, SUITE 300 BALTIMORE, MD 21208 PH: 410-484-8400 ATTN.: MARK BENNETT

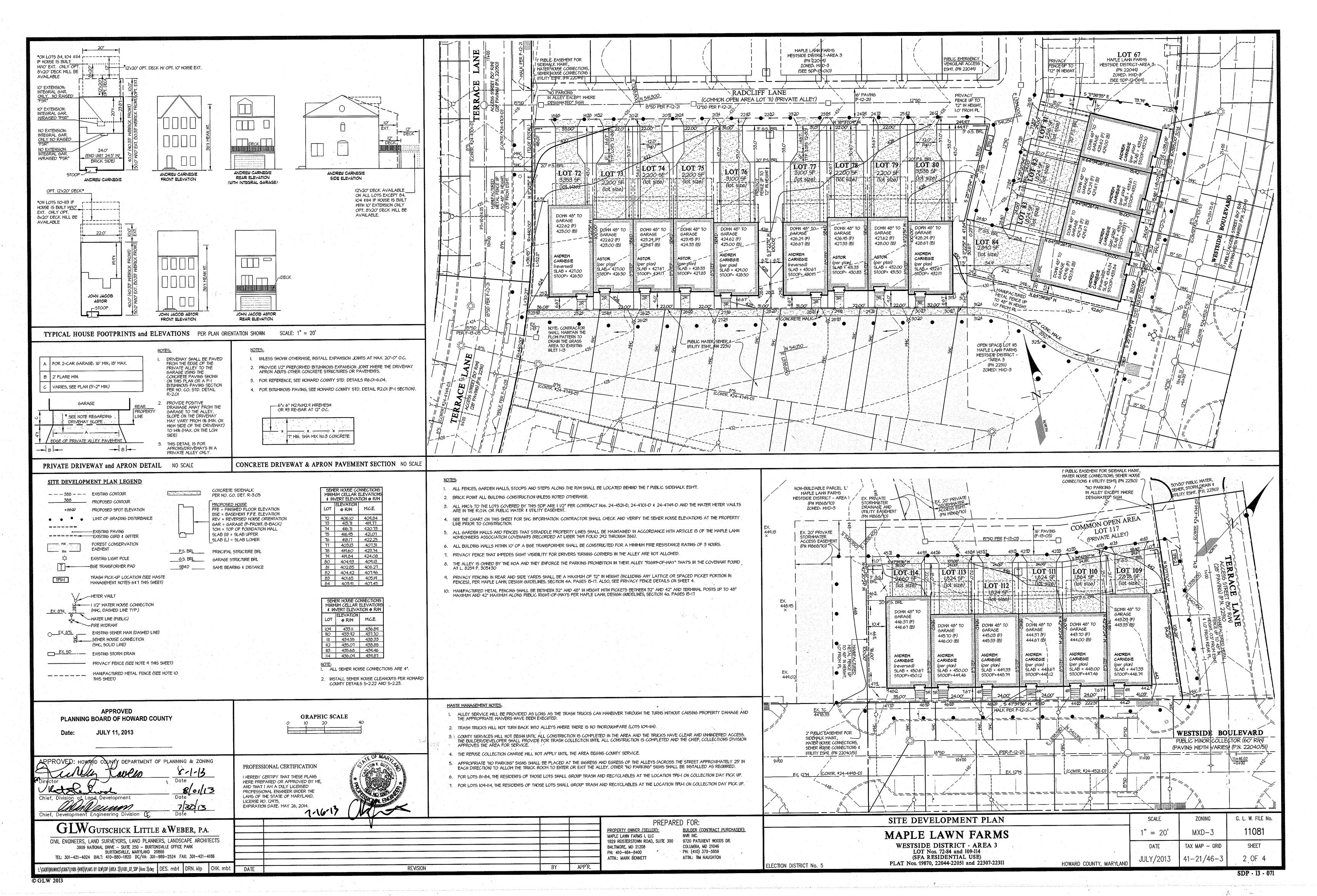
PREPARED FOR: BUILDER (CONTRACT PURCHASER): 9720 PATUXENT WOODS DR. COLUMBIA, MD 21046 PH: (410) 379-5956 ATTN.: TIM NAUGHTON

ELECTION DISTRICT No. 5

MAPLE LAWN FARMS **WESTSIDE DISTRICT - AREA 3** LOT Nos. 72-84 and 109-114 (SFA RESIDENTIAL USE)

**COVER SHEET** 

PLAT Nos. 19870, 22044-22051 and 22307-22311



**B-4-2 STANDARD AND SPECIFICATIONS FOR SOIL** PREPARATION, TOPSOILING, AND SOIL AMENDMENTS

THE PROCESS OF PREPARING THE SOILS TO SUSTAIN ADEQUATE VEGETATIVE STABILIZATION.

TO PROVIDE A SUITABLE SOIL MEDIUM FOR VEGETATIVE GROWTH.

CONDITIONS WHERE PRACTICE APPLIES WHERE VEGETATIVE STABILIZATION IS TO BE ESTABLISHED.

## <u>CRITERIA</u>

### A. SOIL PREPARATION . TEMPORARY STABILIZATION

. SEEDBED PREPARATION CONSISTS OF LOOSENING SOIL TO A DEPTH OF 3 TO 5 INCHES BY MEANS OF UITABLE AGRICULTURAL OR CONSTRUCTION EQUIPMENT, SUCH AS DISC HARROWS OR CHISEL PLOWS OF RIPPERS MOUNTED ON CONSTRUCTION EQUIPMENT. AFTÉR THE SOIL IS LOOSENED, IT MUST NOT BE ROLLED OR DRAGGED SMOOTH BUT LEFT IN THE ROUGHENED CONDITION, SLOPES 3:1 OR FLATTER ARE TO BE TRACKED WITH RIDGES RUNNING PARALLEL TO THE CONTOUR OF THE SLOPE. APPLY FERTILIZER AND LIME AS PRESCRIBED ON THE PLANS.

## P. PERMANENT STABILIZATION .

g. A SOIL TEST IS REQUIRED FOR ANY EARTH DISTURBANCE OF 5 ACRES OR MORE. THE MINIMUM SOIL CONDITIONS REQUIRED FOR PERMANENT VEGETATIVE ESTABLISHMENT ARE:

. INCORPORATE LIME AND FERTILIZER INTO THE TOP 3 TO 5 INCHES OF SOIL BY DISKING OR OTHER

## I. SOIL PH BETWEEN 6.0 AND 7.0.

II. SOLUBLE SALTS LESS THAN 500 PARTS PER MILLION (PPM).

III. SOIL CONTAINS LESS THAN 40 PERCENT CLAY BUT ENOUGH FINE GRAINED MATERIAL (GREATER THAN 30 PERCENT SILT PLUS CLAY) TO PROVIDE THE CAPACITY TO HOLD A MODERATE AMOUNT OF MOISTURE. AN EXCEPTION: IF LOVEGRASS WILL BE PLANTED, THEN A SANDY SOIL (LESS THAN 30 PERCENT SILT PLUS CLAY) WOULD BE ACCEPTABLE.

### IV. SOIL CONTAINS 1.5 PERCENT MINIMUM ORGANIC MATTER BY WEIGHT. V. SOIL CONTAINS SUFFICIENT PORE SPACE TO PERMIT ADEQUATE ROOT PENETRATION

APPLICATION OF AMENDMENTS OR TOPSOIL IS REQUIRED IF ON-SITE SOILS DO NOT MEET THE ABOVE

GRADED AREAS MUST BE MAINTAINED IN A TRUE AND EVEN GRADE AS SPECIFIED ON THE APPROVED PLAN, THEN SCARIFIED OR OTHERWISE LOOSENED TO A DEPTH OF 3 TO 5 INCHES.

Y SOIL AMENDMENTS AS SPECIFIED ON THE APPROVED PLAN OR AS INDICATED BY THE RESULTS

E. MIX SOIL AMENDMENTS INTO THE TOP 3 TO 5 INCHES OF SOIL BY DISKING OR OTHER SUITABLE MEANS.
RAKE LAWN AREAS TO SMOOTH THE SURFACE, REMOVE LARGE OBJECTS LIKE STONES AND BRANCHES,
AND READY THE AREA FOR SEED APPLICATION. LOOSEN SURFACE SOIL BY DRAGGING WITH A HEAVY CHAIN OR OTHER EQUIPMENT TO ROUGHEN THE SURFACE WHERE SITE CONDITIONS WILL NOT PERMIT SEEDBED PREPARATION. TRACK SLOPES 3.1 OR FLATTER WITH TRACKED EQUIPMENT LEAVING THE SOIL IN AN IRREGULAR CONDITION WITH RIDGES RUNNING PARALLEL TO THE CONTOUR OF THE SLOPE. LEAVE THE TOP 1 TO 3 INCHES OF SOIL LOOSE AND FRIABLE. SEEDBED LOOSENING MAY BI UNNECESSARY ON NEWLY DISTURBED AREAS.

TOPSOIL IS PLACED OVER PREPARED SUBSOIL PRIOR TO ESTABLISHMENT OF PERMANENT VEGETATION HE PURPOSE IS TO PROVIDE A SUITABLE SOIL MEDIUM FOR VEGETATIVE GROWTH. SOILS OF CONCERN HAVE LOW MOISTURE CONTENT, LOW NUTRIENT LEVELS, LOW PH, MATERIALS TOXIC TO PLANTS, AND/OR

TOPSOIL SALVAGED FROM AN EXISTING SITE MAY BE USED PROVIDED IT MEETS THE STANDARDS AS SET FORTH IN THESE SPECIFICATIONS. TYPICALLY, THE DEPTH OF TOPSOIL TO BE SALVAGED FOR A GIVEN SOIL TYPE CAN BE FOUND IN THE REPRESENTATIVE SOIL PROFILE SECTION IN THE SOIL SURVEY PUBLISHED BY USDA-NRCS.

## TOPSOILING IS LIMITED TO AREAS HAVING 2:1 OR FLATTER SLOPES WHERE:

THE TEXTURE OF THE EXPOSED SUBSOIL/PARENT MATERIAL IS NOT ADEQUATE TO PRODUCE VEGETATIVE THE SOIL MATERIAL IS SO SHALLOW THAT THE ROOTING ZONE IS NOT DEEP ENOUGH TO SUPPORT PLANTS OR FURNISH CONTINUING SUPPLIES OF MOISTURE AND PLANT NUTRIENTS. HE ORIGINAL SOIL TO BE VEGETATED CONTAINS MATERIAL TOXIC TO PLANT GROWTH.

AREAS HAVING SLOPES STEEPER THAN 2:1 REQUIRE SPECIAL CONSIDERATION AND DESIGN. TOPSOIL SPECIFICATIONS: SOIL TO BE USED AS TOPSOIL MUST MEET THE FOLLOWING CRITERIA

THE SOIL IS SO ACIDIC THAT TREATMENT WITH LIMESTONE IS NOT FEASIBLE.

TOPSOIL MUST BE A LOAM. SANDY LOAM, CLAY LOAM, SILT LOAM, SANDY CLAY LOAM, OR LOAMY SAND. OTHER SOILS MAY BE USED IF RECOMMENDED BY AN AGRONOMIST OR SOIL SCIENTIST AND APPROVED BY THE APPROPRIATE APPROVAL AUTHORITY. TOPSOIL MUST NOT BE A MIXTURE OF CONTRASTING TEXTURED SUBSOILS AND MUST CONTAIN LESS THAN 5 PERCENT BY VOLUME OF CINDERS, STONES SLAG, COARSE FRAGMENTS, GRAVEL, STICKS, ROOTS, TRASH, OR OTHER MATERIALS LARGER THAN 1.5

TOPSOIL MUST BE FREE OF NOXIOUS PLANTS OR PLANT PARTS SUCH AS BERMUDA GRASS, QUACK GRASS, JOHNSON GRASS, NUT SEDGE, POISON IVY, THISTLE, OR OTHERS AS SPECIFIED.

TOPSOIL SUBSTITUTES OR AMENDMENTS, AS RECOMMENDED BY A QUALIFIED AGRONOMIST OR SOIL SCIENTIST AND APPROVED BY THE APPROPRIATE APPROVAL AUTHORITY, MAY BE USED IN LIEU OF

## TOPSOIL APPLICATION

EROSION AND SEDIMENT CONTROL PRACTICES MUST BE MAINTAINED WHEN APPLYING TOPSOI UNIFORMLY DISTRIBUTE TOPSOIL IN A 5 TO 8 INCH LAYER AND LIGHTLY COMPACT TO A MINIMUM THICKNESS OF 4 INCHES. SPREADING IS TO BE PERFORMED IN SUCH A MANNER THAT SODDING OR SEEDING CAN PROCEED WITH A MINIMUM OF ADDITIONAL SOIL PREPARATION AND TILLAGE. ANY IRREGULARITIES IN THE SURFACE RESULTING FROM TOPSOILING OR OTHER OPERATIONS MUST BE CORRECTED IN ORDER TO PREVENT THE FORMATION OF DEPRESSIONS OR WATER POCKETS. TOPSOIL MUST NOT BE PLACED IF THE TOPSOIL OR SUBSOIL IS IN A FROZEN OR MUDDY CONDITION, WHEN THE SUBSOIL IS EXCESSIVELY WET OR IN A CONDITION THAT MAY OTHERWISE BE DETRIMENTAL TO

## PROPER GRADING AND SEEDBED PREPARATION. SOIL AMENDMENTS (FERTILIZER AND LIME SPECIFICATIONS)

SOIL TESTS MUST BE PERFORMED TO DETERMINE THE EXACT RATIOS AND APPLICATION RATES FOR BOTH LIME AND FERTILIZER ON SITES HAVING DISTURBED AREAS OF 5 ACRES OR MORE. SOIL ANALYSIS MAY BE PERFORMED BY A RECOGNIZED PRIVATE OR COMMERCIAL LABORATORY. SOIL SAMPLES TAKEN FOR ENGINEERING PURPOSES MAY ALSO BE USED FOR CHEMICAL ANALYSES. FERTILIZERS MUST BE UNIFORM IN COMPOSITION. FREE FLOWING AND SUITABLE APPLICATION BY APPROPRIATE EQUIPMENT. MANURE MAY BE SUBSTITUTED FOR FERTILIZER WITH PRIOR APPROVAL FROM THE APPROPRIATE APPROVAL AUTHORITY. FERTILIZERS MUST ALL BE DELIVERED TO

THE SITE FULLY LABELED ACCORDING TO THE APPLICABLE LAWS AND MUST BEAR THE NAME, TRADE

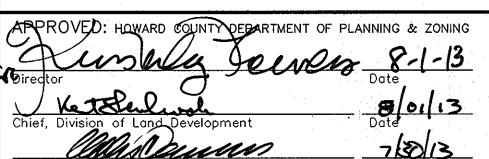
NAME OR TRADEMARK AND WARRANTY OF THE PRODUCER LIME MATERIALS-MUST BE GROUND LIMESTONE (HYDRATED OR BURNT LIME MAY BE SUBSTITUTED EXCEPT WHEN HYDROSEEDING) WHICH CONTAINS AT LEAST 50 PERCENT TOTAL OXIDES (CALCIUM OXIDE PLUS MAGNESIUM OXIDE), LIMESTONE MUST BE GROUND TO SUCH FINENESS THAT AT LEAST 50 PERCENT WILL PASS THROUGH A #100 MESH SIEVE AND 98 TO 100 PERCENT WILL PASS THROUGH A #20 MESH SIEVE.

E AND FERTILIZER ARE TO BE EVENLY DISTRIBUTED AND INCORPORATED INTO THE TOP 3 TO 5 INCHES OF SOIL BY DISKING OR OTHER SUITABLE MEANS. WHERE THE SUBSOIL IS EITHER HIGHLY ACIDIC OR COMPOSED OF HEAVY CLAYS, SPREAD GROUND LIMESTONE AT THE AT THE RATE OF 4 TO 8 TONS/ACRE (200-400 POUNDS PER 1,000 SQUARE FEET) PRIOR TO THE PLACEMENT OF TOPSOIL.

## **GRAPHIC SCALE**

## APPROVED

PLANNING BOARD OF HOWARD COUNTY HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT AM A DULY LICENSED PROFESSIONAL **JULY 11, 2013** ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 12975,



## Chief, Development Engineering Division 🕻 🕻 GLWGUTSCHICK LITTLE &WEBER, P.A.

CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS 3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK BURTONSVILLE, MARYLAND 20866 TEL: 301-421-4024 BALT: 410-880-1820 DC/VA: 301-989-2524 FAX: 301-421-4186

L-\CADD\PRAHHKS\03067\11081 (NKR)\PLAKS BY QLY\SDP (AREA 3)\11081\_03\_SC (Area 3)ding | DES. mbt | DRN. klp | CHK. mbt

## **B-4-3 STANDARDS AND SPECIFICATIONS FOR** SEEDING and MULCHING

THE APPLICATION OF SEED AND MULCH TO ESTABLISH VEGETATIVE COVER.

TO PROTECT DISTURBED SOILS FROM EROSION DURING AND AT THE END OF

CONSTRUCTION. CONDITIONS WHERE PRACTICE APPLIES

TO THE SURFACE OF ALL PERIMETER CONTROLS, SLOPES, AND ANY DISTURBED AREA NOT UNDER ACTIVE GRADING.

## A. SEEDING

a. ALL SEED MUST MEET THE REQUIREMENTS OF THE MARYLAND STATE SEED LAW. L SEED MUST BE SUBJECT TO RE-TESTING BY A RECOGNIZED SEED LABORATOR ALL SEED USED MUST HAVE BEEN TESTED WITHIN THE 6 MONTHS IMMEDIATELY PRECEDING THE DATE OF SOWING SUCH MATERIAL ON ANY PROJECT. REFER TO TABLE 8.4 REGARDING THE QUALITY OF SEED. SEED TAGS MUST BE AVAILABLE UPON REQUEST TO THE INSPECTOR TO VERIFY TYPE OF SEED AND SEEDING RATE D. MULCH ALONE MAY BE APPLIED BETWEEN THE FALL AND SPRING SEEDING DATES

ONLY IF THE GROUND IS FROZEN. THE APPROPRIATE SEEDING MIXTURE MUST BE APPLIED WHEN THE GROUND THAWS. . INOCULANTS: THE INOCULANT FOR TREATING LEGUME SEED IN THE SEED MIXTURES MUST BE A PURE CULTURE OF NITROGEN FIXING BACTERIA PREPARED SPECIFICALLY FOR THE SPECIES. INOCULANTS MUST NOT BE USED LATER THAN THE DATE INDICATED ON THE CONTAINER. ADD FRESH INOCULANTS AS DIRECTED ON THE PACKAGE USE FOUR TIMES THE RECOMMENDED RATE WHEN HYDROSEEDING, NOT IT IS VERY IMPORTANT TO KEEP INOCULANT AS COOL AS POSSIBLE UNTIL USED.

EMPERATURES ABOVE 75 TO 80 DEGREES FAHRENHEIT CAN WEAKEN BACTERIA AND MAKE THE INOCULANT LESS EFFECTIVE. SOD OR SEED MUST NOT BE PLACED ON SOIL WHICH HAS BEEN TREATED WITH SO STERILANTS OR CHEMICALS USED FOR WEED CONTROL UNTIL SUFFICIENT TIME HAS ELAPSED (14 DAYS MIN.) TO PERMIT DISSIPATION OF PHYTO-TOXIC MATERIALS.

APPLICATION DRY SEEDING: THIS INCLUDES USE OF CONVENTIONAL DROP OR BROADCAST

INCORPORATE SEED INTO THE SUBSOIL AT THE RATES PRESCRIBED ON TEMPORARY SEEDING TABLE B.1, PERMANENT SEEDING TABLE B.3, OR SITE—SPECIFIC SEEDING SUMMARIES. APPLY SEED IN TWO DIRECTIONS, PERPENDICULAR TO EACH OTHER. APPLY HALF THE SEEDING RATE IN EACH DIRECTION. ROLL THE SEEDED AREA WITH A WEIGHTED ROLLER TO PROVIDE GOOD SEED TO SOIL CONTACT.

D. DRILL OR CULTIPACKER SEEDING: MECHANIZED SEEDERS THAT APPLY AND COVER i. CULTIPACKING SEEDERS ARE REQUIRED TO BURY THE SEED IN SUCH A FASHION AS TO PROVIDE AT LEAST 1/4 INCH OF SOIL COVERING. SEEDBED MUST BE FIRM AFTER PLANTING. APPLY SEED IN TWO DIRECTIONS, PERPENDICULAR TO EACH OTHER. APPLY HALF THE SEEDING RATE IN EACH DIRECTION.

. Hydroseeding: Apply seed uniformly with hydroseeder (slurry includes SEED AND FERTILIZER IF FERTILIZER IS BEING APPLIED AT THE TIME OF SEEDING, THE APPLICATION RATES SHOULD NOT EXCEED THE FOLLOWING: NITROGEN, 100 POUNDS PER ACRE TOTAL OF SOLUBLE NITROGEN; P205 (PHOSPHOROUS), 200 POUNDS PER ACRE; K20 (POTASSIUM), 200 POUNDS PER ACRE LIME: USE ONLY GROUND AGRICULTURAL LIMESTONE (UP TO 3 TONS PER ACRI MAY BE APPLIED BY HYDROSEEDING). NORMALLY, NOT MORE THAN 2 TONS ARE APPLIED BY HYDROSEEDING AT ANY ONE TIME. DO NOT USE BURNT OR HYDRATE LIME WHEN HYDROSEEDING

iii. MIX SEED AND FERTILIZER ON SITE AND SEED IMMEDIATELY AND WITHOUT interruption. iv. WHEN HYDROSEEDING DO NOT INCORPORATE SEED INTO THE SOIL.

### <u>B. MULCHING</u>

MULCH MATERIALS (IN ORDER OF PREFERENCE)

STRAW CONSISTING OF THOROUGHLY THRESHED WHEAT, RYE, OAT, OR BARLEY AND REASONABLY BRIGHT IN COLOR. STRAW IS TO BE FREE OF NOXIOUS WEED SEEDS AS SPECIFIED IN THE MARYLAND SEED LAW AND NOT MUSTY, MOLDY, CAKED, DECAYED, OR EXCESSIVELY DUSTY, NOTE: USE ONLY STERILE STRAW MULCH IN AREAS WHERE ONE SPECIES OF GRASS IS DESIRED

. WOOD CELLULOSE FIBER MULCH (WCFM) CONSISTING OF SPECIALLY PREPARED WOOD CELLULOSE PROCESSED INTO A ÚNIFORM FIBROUS PHYSICAL STATE. WCFM IS TO BE DYED GREEN OR CONTAIN A GREEN DYE IN THE PACKAGE THAT WILL PROVIDE AN APPROPRIATE COLOR TO FACILITATE VISUAL INSPECTION OF THE UNIFORMLY SPREAD SLURRY. WCFM, INCLUDING DYE, MUST CONTAIN NO GERMINATION OR GROWTH INHIBITING WCFM MATERIALS ARE TO BE MANUFACTURED AND PROCESSED IN SUCH A MANNER THAT THE WOOD CELLULOSE FIBER MULCH WILL REMAIN IN UNIFORM SUSPENSION IN WATER UNDER AGITATION AND WILL BLEND WITH SEED.

FRTILIZER AND OTHER ADDITIVES TO FORM A HOMOGENEOUS SLURRY. THE MULCH MATERIAL MUST FORM A BLOTTER-LIKE GROUND COVER, ON APPLICATION, HAVING MOISTURE ABSORPTION AND PERCOLATION PROPERTIES AND MUST COVER AND HOLD GRASS SEED IN CONTACT WITH THE SOIL WITHOUT INHIBITING THE GROWTH OF THE GRASS SEEDLINGS. WCFM MATERIAL MUST NOT CONTAIN ELEMENTS OR COMPOUNDS AT

CONCENTRATION LEVELS THAT WILL BE PHYTO-TOXIC. v. WCFM MUST CONFORM TO THE FOLLOWING PHYSICAL REQUIREMENTS: FIBER APPROXIMATELY 10 MILLIMETERS, DIAMETER APPROXIMATELY 1 MILLIMETER, PH RANGE OF 4.0 TO 8.5, ASH CONTENT OF 1.6 PERCENT MAXIMUM AND WATER HOLDING CAPACITY OF 90 PERCENT MINIMUM.

 apply mulch to all seeded areas immediately after seeding.
 when straw mulch is used, spread it over all seeded areas at the rate of 2 tons per acre to a uniform loose depth of 1 to 2 inches. Apply MULCH TO ACHIEVE A UNIFORM DISTRIBUTION AND DEPTH SO THAT THE SOIL SURFACE IS NOT EXPOSED. WHEN USING A MULCH ANCHORING TOOL, INCREASE T APPLICATION RATE TO 2.5 TONS PER ACRE.

WOOD CELLULOSE FIBER USED AS MULCH MUST BE APPLIED AT A NET DRY WEIGHT OF 1500 POUNDS PER ACRE. MIX THE WOOD CELLULOSE FIBER WITH WATER TO ATTAIN A MIXTURE WITH A MAXIMUM OF 50 POUNDS OF WOOD CELLULOSE FIBER PER 100 GALLONS OF WATER.

PERFORM MULCH ANCHORING IMMEDIATELY FOLLOWING APPLICATION OF MULCH TO MINIMIZE LOSS BY WIND OR WATER. THIS MAY BE DONE BY ONE OF THE FOLLOWING METHODS (LISTED BY PREFERENCE), DEPENDING UPON THE SIZE OF THE AREA AND i. A MULCH ANCHORING TOOL IS A TRACTOR DRAWN IMPLEMENT DESIGNED TO PUNCH AND ANCHOR MULCH INTO THE SOIL SURFACE A MINIMUM OF 2 INCHES. THIS PRACTICE IS MOST EFFECTIVE ON LARGE AREAS, BUT IS LIMITED TO FLATTER SLOPES WHERE EQUIPMENT CAN OPERATE SAFELY, IF USED ON SLOPING LAND, HIS PRACTICE SHOULD FOLLOW THE CONTOUR WOOD CELLULOSE FIBER MAY BE USED FOR ANCHORING STRAW. APPLY THE

FIBER BINDER AT A NET DRY WEIGHT OF 750 POUNDS PER ACRE. MIX THE WOOD CELLULOSE FIBER WITH WATER AT A MAXIMUM OF 50 POUNDS OF WOOD CELLULOSE FIBER PER 100 GALLONS OF WATER.

II. SYNTHETIC BINDERS SUCH AS ACRYLIC DLR (AGRO-TACK), DCA-70, PETROSET, TERRA TAX II, TERRA MANUFACTURER. APPLICATION OF LIQUID BINDERS O BE HEAVIER AT THE EDGES WHERE WIND CATCHES MULCH, SUCH AS IN VALLEYS AND ON CRESTS OF BANKS. USE O ASPHALT BINDERS IS STRICTLY PROHIBITED. LIGHTWEIGHT PLASTIC NETTING MAY BE STAPLED OVER THE MULCH ACCORDING TO MANUFACTURER RECOMMENDATIONS. NETTING IS USUALLY

AVAILABLE IN ROLLS 4 TO 15 FEET WIDE AND 300 TO 3,000 FEET LONG. PROFESSIONAL CERTIFICATION

ENGINEER'S CERTIFICATE CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT."

EXPIRATION DATE: MAY 26, 2014.

## **B-4-4 STANDARDS AND SPECIFICATIONS** FOR TEMPORARY STABILIZATION

TO STABILIZE DISTURBED SOILS WITH VEGETATION FOR UP TO 6 MONTHS.

TO USE FAST GROWING VEGETATION THAT PROVIDES COVER ON DISTURBED SOILS. CONDITIONS WHERE PRACTICE APPLIES EXPOSED SOILS WHERE GROUND COVER IS NEEDED FOR A PERIOD OF 6 MONTHS OR LESS. FOR LONGER DURATION OF TIME, PERMANENT STABILIZATION PRACTICES ARE REQUIRED.

SELECT ONE OR MORE OF THE SPECIES OR SEED MIXTURES LISTED IN TABLE 8.1 FOR THE APPROPRIATE PLANT HARDINESS ZONE (FROM FIGURE 8.3), AND ENTER THEM IN THE TEMPORARY SEEDING SUMMARY BELOW ALONG WITH APPLICATION RATES. SEEDING DATES AND SEEDING DEPTHS. IF THIS SUMMARY IS NOT PUT ON THE PLAN AND COMPLETED, THEN TABLE 8.1 PLUS FERTILIZER AND LIME RATES MUST BE PUT ON THE PLAN. FOR SITES HAVING SOIL TESTS PERFORMED. USE AND SHOW THE RECOMMENDED RATES BY THE TESTING AGENCY SOIL TESTS ARE NOT REQUIRED FOR TEMPORARY SEEDING. WHEN STABILIZATION IS REQUIRED OUTSIDE OF A SEEDING SEASON, APPLY SEED AND MULCH OR STRAW MULCH ALONE AS PRESCRIBED IN SECTION B-4-3.A.1.B AND MAINTAIN

## TEMPORARY SEEDING SUMMARY

UNTIL THE NEXT SEEDING SEASON.

	HARDINESS I SEED MIXTUR	FERTILIZER RATE	LIME RATE				
No.	SPECIES	APPLICATION RATE (lb/ac.)	SEEDING DATES	SEEDING DEPTHS	(10-10-10)	CINC RAIC	
1	ANNUAL RYEGRASS	40 lb/oc	Mar. 1 to May 15, Aug. 1 to Oct. 15	0.5 INCHES	436 lb./ac. (10 lb./	2 tons/ac. (90 lb./	
2	PEARL MILLET	20 lb/ac	May 16 to July 31	0.5 INCHES	1,000 sf)	1,000 sf)	
			,				

SEDIMENT CONTROL NOTES

"MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT" CONTROL" AND REVISIONS THERETO.

FOLLOWING INITIAL SOIL DISTURBANCE OR RE-DISTURBANCE, PERMANENT OR TEMPORARY STABILIZATION SHALL BE COMPLETED WITHIN: A. 3 CALENDAR DAYS FOR ALL PERIMETER SEDIMENT CONTROL STRUCTURES, DIKES, PERIMETER SLOPES AND ALL SLOPES GREATER THAN 3:1, B. 7 DAYS AS TO ALL OTHER DISTURBED OR GRADED AREAS ON THE PROJECT SITE.

IN ACCORDANCE WITH THE "2011 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL FOR PROPER GERMINATION AND ESTABLISHMENT OF GRASSES.

OBTAINED FROM THE HOWARD COUNTY SEDIA	MENT	CONTROL INSPECT	IOR.
SITE ANALYSIS:		LOTS 72-84	LOTS 109-114
TOTAL AREA OF SITE	:	0.76± AC.	0.30± AC.
AREA DISTURBED	:	0.95± AC.	0.40± AC.
AREA TO BE ROOFED OR PAVED	:	0.59± AC.	0.25± AC.
AREA TO BE VEGETATIVELY STABILIZED	:	0.36± AC.	0.15± AC.
TOTAL CUT	:	179± CY	374± CY
TOTAL FILL	:	179± CY	374± CY
OFF-SITE WASTE/BORROW AREA LOCATION	:	NONE	NONE
			I

ANY SEDIMENT CONTROL PRACTICE WHICH IS DISTURBED BY GRADING ACTIVITY FOI PLACEMENT OF UTILITIES MUST BE REPAIRED ON THE SAME DAY OF DISTURBANCE

ADDITIONAL SEDIMENT CONTROL MUST BE PROVIDED, IF DEEMED NECESSARY BY THE HOWARD COUNTY SEDIMENT CONTROL INSPECTOR. ON ALL SITES WITH DISTURBED AREAS IN EXCESS OF 2 ACRES, APPROVAL OF THE

PERIMETER EROSION AND SEDIMENT CONTROLS, BUT BEFORE PROCEEDING WITH ANY OTHER EARTH DISTURBANCE OR GRADING. OTHER BUILDING OR GRADING INSPECTION

TRENCHES FOR THE CONSTRUCTION OF UTILITIES IS LIMITED TO 3 PIPE LENGTHS OR THAT WHICH SHALL BE BACKFILLED AND STABILIZED BY THE END OF EACH WORK DAY,

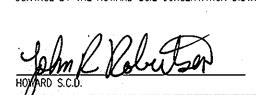
STANDARDS AND SPECIFICATIONS FOR DUST CONTROL

CONTROLLING THE SUSPENSION OF DUST PARTICLES FROM CONSTRUCTION ACTIVITIES.

SPECIFICATIONS ANCHORED TO PREVENT BLOWING.

WINDWARD SIDE OF SITE. CHISEL-TYPE PLOWS SPACED ABOUT 12 INCHES APART, SPRING-TOOTHED HARROWS, AND SIMILAR PLOWS ARE EXAMPLES OF EQUIPMENT THAT MAY PRODUCE THE DESIRED IRRIGATION: SPRINKLE SITE WITH WATER UNTIL THE SURFACE IS MOIST, REPEAT AS NEEDED. THE SITE MUST NOT BE IRRIGATED TO THE POINT THAT RUNOFF OCCURS.

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT



I/WE CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE ACCORDING O THIS PLAN, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A MARYLAND DEPARTMENT OF THE ENVIRONMENT, APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HECT.

**B-4-5 STANDARDS AND SPECIFICATIONS** FOR PERMANENT STABILIZATION

TO STABILIZE DISTURBED SOILS WITH PERMANENT VEGETATION.

O USE LONG-LIVED PERENNIAL GRASSES AND LEGUMES TO ESTABLISH PERMANENT GROUND COVER ON DISTURBED SOILS.

CONDITIONS WHERE PRACTICE APPLIES

EXPOSED SOILS WHERE GROUND COVER IS NEEDED FOR 6 MONTHS OR MORE.

o. SELECT ONE OR MORE OF THE SPECIES OR MIXTURES LISTED IN TABLE B.3 FOR THE APPROPRIATE PLANT HARDINESS ZONE (FROM FIGURE B.3) AND BASED ON THE SITE CONDITION OR PURPOSE FOUND ON TABLE B.2. ENTER SELECTED MIXTURE(S), APPLICATION

RATES, AND SEEDING DATES IN THE PERMANENT SEEDING SUMMARY. THE SUMMARY IS TO ADDITIONAL PLANTING SPECIFICATIONS FOR EXCEPTIONAL SITES SUCH AS SHORELINES, STREAM BANKS, OR DUNES OR FOR SPECIAL PURPOSES SUCH AS WILDLIFE OR AESTHETIC TREATMENT MAY BE FOUND IN USDA-NRCS TECHNICAL FIELD OFFICE GUIDE, SECTION 342 — CRITICAL AREA PLANTING.
FOR SITES HAVING DISTURBED AREA OVER 5 ACRES, USE AND SHOW THE RATES RECOMMENDED BY THE SOIL TESTING AGENCY.

FOR AREAS RECEIVING LOW MAINTENANCE, APPLY UREA FORM FERTILIZER (46-0-0) AT 3

INTENSIVE MANAGEMENT, IRRIGATION REQUIRED IN THE AREAS OF CENTRAL MARYLAND

SEEDING RATE: 1.5 TO 2.0 POUNDS PER 1000 SQUARE FEET. CHOOSE A MINIMUM OF

AND EASTERN SHORE. RECOMMENDED CERTIFIED KENTUCKY BLUEGRASS CULTIVARS

THREE KENTUCKY BLUEGRASS CULTIVARS WITH EACH RANGING FROM 10 TO 35

AREAS WHERE RAPID ESTABLISHMENT IS NECESSARY AND WHEN TURF WILL RECEIVE

CULTIVARS/CERTIFIED KENTUCKY BLUEGRASS SEEDING RATE: 2 POUNDS MIXTURE PER 1000 SQUARE FEET, CHOOSE A MINIMUM OF THREE KENTUCKY BLUEGRASS CULTIVARS

WITH EACH RANGING FROM 10 TO 35 PERCENT OF THE TOTAL MIXTURE BY WEIGHT.

PRONE AREAS AND/OR FOR AREAS RECEIVING LOW TO MEDIUM MANAGEMENT IN FULL

RECOMMENDED MIXTURE INCLUDES; CERTIFIED TALL FESCUE CULTIVARS 95 TO 100 PERCENT, CERTIFIED KENTUCKY BLUEGRASS CULTIVARS 0 TO 5 PERCENT. SEEDING RATE: 5 TO 8 POUNDS PER 1000 SQUARE FEET. ONE OR MORE CULTIVARS MAY BE

KENTUCKY BLUEGRASS/FINE FESCUE: SHADE MIXTURE: FOR USE IN AREAS WITH SHADE IN BLUEGRASS LAWNS. FOR ESTABLISHMENT IN HIGH QUALITY, INTENSIVELY

CULTIVARS 30 TO 40 PERCENT AND CERTIFIED FINE FESCUE AND 60 TO 70 PERCENT.

MANAGED TURF AREA. MIXTURE INCLUDES; CERTIFIED KENTUCKY BLUEGRASS

SELECT TURFGRASS VARIETIES FROM THOSE LISTED IN THE MOST CURRENT

UNIVERSITY OF MARYLAND PUBLICATION, AGRONOMY MEMO #77, "TURFGRASS

CULTIVAR PURITY. THE CERTIFICATION PROGRAM OF THE MARYLAND DEPARTMENT OF

WESTERN MD: MARCH 15 TO JUNE 1, AUGUST 1 TO OCTOBER 1 (HARDINESS ZONES:

CENTRAL MD: MARCH 1 TO MAY 15, AUGUST 15 TO OCTOBER 15 (HARDINESS ZONE:

SOUTHERN MD. EASTERN SHORE: MARCH 1 TO MAY 15, AUGUST 15 TO OCTOBER 15

TILL AREAS TO RECEIVE SEED BY DISKING OR OTHER APPROVED METHODS TO A DEPTH OF

2 TO 4 INCHES, LEVEL AND RAKE THE AREAS TO PREPARE A PROPER SEEDBED, REMOVE

PLANT GROWTH (1/2 TO 1 INCH EVERY 3 TO 4 DAYS DEPENDING ON SOIL TEXTURE) UNTIL THEY ARE FIRMLY ESTABLISHED. THIS IS ESPECIALLY TRUE WHEN SEEDINGS ARE MADE

LATE IN THE PLANTING SEASON, IN ABNORMALLY DRY OR HOT SEASONS, OR ON ADVERSE

FERTILIZER

RATE

(10-20-20) LIME RATE

I SEEDING

Mar. 1 to May 15, | 1/4 -

DEPTHS

Aug. 15 to Oct. 15 1/2 IN. 3.f. 1000 s.f.

IN SUCH CONDITION THAT FUTURE MOWING OF GRASSES WILL POSE NO DIFFICULTY.

IF SOIL MOISTURE IS DEFICIENT, SUPPLY NEW SEEDINGS WITH ADEQUATE WATER FOR

PERMANENT SEEDING SUMMARY

APPLICATION SEEDING
RATE DATES

\* Other cultivars listed as "proven" in the most current UMD TT-77 may also be used

CLASS OF TURFGRASS SOD MUST BE MARYLAND STATE CERTIFIED. SOD LABELS MUST BE

GROWTH AND THATCH. BROKEN PADS AND TORN OR UNEVEN ENDS WILL NOT BE

SOD MUST NOT BE HARVESTED OR TRANSPLANTED WHEN MOISTURE CONTENT

LIGHTLY IRRIGATE THE SUBSOIL IMMEDIATELY PRIOR TO LAYING THE SOD.

SOD MUST BE MACHINE CUT AT A UNIFORM SOIL THICKNESS OF 3/4 INCH, PLUS OR MINUS

STANDARD SIZE SECTIONS OF SOD MUST BE STRONG ENOUGH TO SUPPORT THEIR OWN WEIGHT AND RETAIN THEIR SIZE AND SHAPE WHEN SUSPENDED VERTICALLY WITH A FIRM GRASP ON THE UPPER 10 PERCENT OF THE SECTION.

(EXCESSIVELY DRY OR WET) MAY ADVERSELY AFFECT ITS SURVIVAL.
SOD MUST BE HARVESTED, DELIVERED, AND INSTALLED WITHIN A PERIOD OF 36 HOURS.
SOD NOT TRANSPLANTED WITHIN THIS PERIOD MUST BE APPROVED BY AN AGRONOMIST OR

DURING PERIODS OF EXCESSIVELY HIGH TEMPERATURE OR IN AREAS HAVING DRY SUBSOIL,

PARALLEL TO IT AND TIGHTLY WEDGED AGAINST EACH OTHER. STAGGER LATERAL JOINTS

STRETCHED OR OVERLAPPED AND THAT ALL JOINTS ARE BUTTED TIGHT IN ORDER TO

PREVENT VOIDS WHICH WOULD CAUSE AIR DRYING OF THE ROOTS.
WHEREVER POSSIBLE, LAY SOD WITH THE LONG EDGES PARALLEL TO THE CONTOUR AND WITH STAGGERING JOINTS. ROLL AND TAMP, PEG OR OTHERWISE SECURE THE SOD TO

PREVENT SLIPPAGE ON SLOPES. ENSURE SOLID CONTACT EXISTS BETWEEN SOD ROOTS

WATER THE SOD IMMEDIATELY FOLLOWING ROLLING AND TAMPING UNTIL THE UNDERSIDE

IN THE ABSENCE OF ADEQUATE RAINFALL, WATER DAILY DURING THE FIRST WEEK OR AS

OFTEN AND SUFFICIENTLY AS NECESSARY TO MAINTAIN MOIST SOIL TO A DEPTH OF 4

DO NOT MOW UNTIL THE SOD IS FIRMLY ROOTED. NO MORE THAN 1/3 OF THE GRASS LEAF MUST BE REMOVED BY THE INITIAL CUTTING OR SUBSEQUENT CUTTINGS. MAINTAIN A GRASS HEIGHT OF AT LEAST 3 INCHES UNLESS OTHERWISE SPECIFIED.

PREPARED FOR:

NVR INC.

AFTER THE FIRST WEEK, SOD WATERING IS REQUIRED AS NECESSARY TO MAINTAIN

INCHES. WATER SOD DURING THE HEAT OF THE DAY TO PREVENT WILTING.

THE NEW SOD PAD AND SOIL SURFACE BELOW THE SOD ARE THOROUGHLY WET. COMPLETE THE OPERATIONS OF LAYING, TAMPING AND IRRIGATING FOR ANY PIECE OF SOD WITHIN

LAY THE FIRST ROW OF SOD IN A STRAIGHT LINE WITH SUBSEQUENT ROWS PLACED

TO PROMOTE MORE UNIFORM GROWTH AND STRENGTH. ENSURE THAT SOD' IS NOT

1/4 INCH, AT THE TIME OF CUTTING. MEASUREMENT FOR THICKNESS MUST EXCLUDE TOP

1000 s.f.

SOD: TO PROVIDE QUICK COVER ON DISTURBED AREAS (2:1 GRADE OR FLATTER).

MADE AVAILABLE TO THE JOB FOREMAN AND INSPECTOR.

SOIL SCIENTIST PRIOR TO ITS INSTALLATION.

IE UNDERLYING SOIL SURFACE.

PROPERTY OWNER (SELLER): "

1829 REISTERSTOWN ROAD, SUITE 300

MAPLE LAWN FARMS I, LLC

BALTIMORE, MD 21208

PH: 410-484-8400

ATTN: MARK BENNETT

ADFOUATE MOISTURE CONTENT.

SOD MAINTENANCE

STONES AND DEBRIS OVER 1 1/2 INCHES IN DIAMETER. THE RESULTING SEEDBED MUST BE

ACRICULTURE, TURF AND SEED SECTION, PROVIDES A RELIABLE MEANS OF CONSUMER

SEEDING RATE: 11/2 TO 3 POUNDS PER 1000 SQUARE FEET.

CULTIVAR RECOMMENDATIONS FOR MARYLAND"

PROTECTION AND ASSURES A PURE GENETIC LINE

IDEAL TIMES OF SEEDING FOR TURF GRASS MIXTURES

HARDINESS ZONE: 6b

\*Certified Toll Fescue blend

(95% by weight): Falcon IV,

Certified Kentucky Bluegrass

Courtyard, Raven & Yankee

blend (5% by weight):

| Penn 1901 & Rebel Exedo | 6-8 lb/

SEED MIXTURE: #9 (Tall Fescue/ Kentucky Bluegrass

MEDIUM TO INTENSIVE MANAGEMENT. CERTIFIED PERENNIAL RYEGRASS

SUN TO MEDIUM SHADE

iii. TALL FESCUE/KENTUCKY BLUEGRASS: FULL SUN MIXTURE: FOR USE IN DROUGHT

KENTUCKY BLUEGRASS: FULL SUN MIXTURE: FOR USE IN AREAS THAT RECEIVE

RECOMMENDED BY THE SOIL TESTING AGENCY.

								4/2 DOUBLE DES 1000 COLLAGE CEET (150 DOUBLE DES 1005) AT THE THE OF CEEDING		
HARDINESS ZONE: 66 SEED MIXTURE:					FERTILIZER RATE	LIME RATE	2. TURI	1/2 POUNDS PER 1000 SQUARE FEET (150 POUNDS PER ACRE) AT THE TIME OF SEEDING IN ADDITION TO THE SOIL AMENDMENTS SHOWN IN THE PERMANENT SEEDING SUMMARY.		
	SPECIES	APPLICATION RATE (lb/ac.)	SEEDING DATES	SEEDING DEPTHS	(10-10-10)	- CIRC MAICE		- CIRC MAICE		. AREAS WHERE TURFGRASS MAY BE DESIRED INCLUDE LAWNS, PARKS, PLAYGROUNDS, AND
	ANNUAL RYEGRASS	40 lb/oc	Mar. 1 to May 15, Aug. 1 to Oct. 15	0.5 INCHES	436 lb./ac. (10 lb./	2 tons/ac. (90 lb./	b.	· · · · · · · · · · · · · · · · · · ·		
	PEARL MILLET	20 lb/ac	May 16 to July 31	0.5 INCHES	1 000 sf)	1,000 sf)		CONDITIONS OR PURPOSE. ENTER SELECTED MIXTURE(S), APPLICATION RATES, AND SEEDING DATES IN THE PERMANENT SEEDING SUMMARY. THE SUMMARY IS TO BE PLACED		

A MINIMUM OF 48 HOURS NOTICE MUST BE GIVEN TO THE HOWARD COUNTY DEPARTMENT OF INSPECTION, LICENSES AND PERMITS, SEDIMENT CONTROL DIVISION PRIOR TO THE START OF ANY CONSTRUCTION. (410-313-1855).

ALL VEGETATIVE AND STRUCTURAL PRACTICES ARE TO BE INSTALLED ACCORDING TO THE PROVISIONS OF THIS PLAN AND ARE TO BE IN CONFORMANCE WITH THE MOST CURRENT

ALL DISTURBED AREAS MUST BE STABILIZED WITHIN THE TIME PERIOD SPECIFIED ABOVE EROSION AND SEDIMENT CONTROL" FOR PERMANENT SEEDING (Sec. 8-4-5), TEMPORARY SEEDING (Sec. B-4-4) AND MULCHING (Sec. B-4-3). TEMPORARY STABILIZATION WITH MULCH ALONE CAN ONLY BE DONE WHEN RECOMMENDED SEEDING DATES DO NOT ALLOW

ALL SEDIMENT CONTROL STRUCTURES ARE TO REMAIN IN PLACE AND ARE TO BE MAINTAINED IN OPERATIVE CONDITION UNTIL PERMISSION FOR THEIR REMOVAL HAS BEEN

OBTAINED TROM THE HOMARD COORT SEDI	MCI41	CONTROL INSI EC	ivit.
SITE ANALYSIS:		LOTS 72-84	LOTS 109-114
TOTAL AREA OF SITE	:	0.76± AC.	0.30± AC.
AREA DISTURBED	:	0.95± AC.	0.40± AC.
AREA TO BE ROOFED OR PAVED	;	0.59± AC.	0.25± AC.
AREA TO BE VEGETATIVELY STABILIZED	:	0.36± AC.	0.15± AC.
TOTAL CUT	:	179± CY	374± CY
TOTAL FILL	:	179± CY	374± CY
OFF-SITE WASTE/BORROW AREA LOCATION	:	NONE	NONE
•			l

INSPECTION AGENCY SHALL BE REQUESTED UPON COMPLETION OF INSTALLATION APPROVALS MAY NOT BE AUTHORIZED UNTIL THIS INITIAL APPROVAL BY THE INSPECTION

ANY CHANGES OR REVISIONS TO THE SEQUENCE OF CONSTRUCTION MUST BE REVIEWED AND APPROVED BY THE PLAN APPROVAL AUTHORITY PRIOR TO PROCEEDING WITH

A PROJECT IS TO BE SEQUENCED SO THAT THE GRADING ACTIVITIES BEGIN ON ONE GRADING UNIT (MAXIMUM ACREAGE OF 20 AC. PER GRADING UNIT) AT A TIME. WORK MAY PROCEED TO A SUBSEQUENT GRADING UNIT WHEN AT LEAST 50 PERCENT OF THE DISTURBED AREA IN THE PRECEDING GRADING UNIT HAS BEEN STABILIZED AND APPROVED BY THE ENFORCEMENT AUTHORITY, UNLESS OTHERWISE SPECIFIED AND APPROVED BY THE APPROVAL AUTHORITY, NO MORE THAN 30 ACRES CUMULATIVELY MAY BE DISTURBED AT A GIVEN TIME.

TO PREVENT BLOWING AND MOVEMENT OF DUST FROM EXPOSED SOIL SURFACES TO REDUCE ON AND OFF-SITE DAMAGE INCLUDING HEALTH AND TRAFFIC HAZARDS.

CONDITIONS WHERE PRACTICE APPLIES

AREAS SUBJECT TO DUST BLOWING AND MOVEMENT WHERE ON AND OFF-SITE DAMAGE IS LIKELY WITHOUT

MULCHES: SEE SECTION B-4-2 SOIL PREPARATION, TOPSOILING, AND SOIL AMENDMENTS, SECTION 8-4-3 SEEDING AND MULCHING, AND SECTION 8-4-4 TEMPORARY STABILIZATION. MULCH MUST BE VECETATIVE COVER: SEE SECTION B-4-4 TEMPORARY STABILIZATION.
TILLAGE: TILL TO ROUGHEN SURFACE AND BRING CLODS TO THE SURFACE. BEGIN PLOWING ON

BARRIERS: SOLID BOARD FENCES, SILT FENCES, SNOW FENCES, BURLAP FENCES, STRAW BALES, AND SIMILAR MATERIAL CAN BE USED TO CONTROL AIR CURRENTS AND SOIL BLOWING. CHEMICAL TREATMENT: USE OF CHEMICAL TREATMENT REQUIRES APPROVAL BY THE APPROPRIATE

CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

BUILDER'S CERTIFICATE

SEQUENCE OF CONSTRUCTION APPLY FOR GRADING PERMIT AND SCHEDULE A PRE-CONSTRUCTION MEETING WITH THE INSPECTOR. OBTAIN GRADING PERMIT FROM THE INSPECTOR AT THE MEETING. DURATION: 1/2 day.

DOWN 48" TO GARAGE 422,62 (F)

INSTALL STABILIZED CONSTRUCTION ENTRANCES (SCE), SILT FENCES (SF), SUPER SILT FENCES (SSF) AND ANY ADDITIONAL SEDIMENT CONTROL MEASURES AS DIRECTED BY THE SEDIMENT CONTROL INSPECTOR. GRADE SITE FOR HOUSE CONSTRUCTION. PROVIDE DUST CONTROL AS NECESSARY, DURATION: 2 days.

AS EACH BUILDING IS COMPLETED, STABILIZE ANY REMAINING BARE DIRT AREA WITH PERMANENT SEEDING OR WITH SOD. Duration: 1-day.

ONCE AREA DRAINING TO SEDIMENT CONTROL MEASURES HAVE BEEN STABILIZED, OBTAIN PERMISSION FROM THE INSPECTOR TO REMOVE THE SEDIMENT CONTROL ITEMS. Duration: 1/2 day. '. OBTAIN INSPECTION FOR RELEASE OF SURETY (FOR GRADING AND LANDSCAPING). Duration: 1/2 day 1. TEMPORARY SWM IS PROVIDED BY THE EXISTING BASINS& SWM FACILITIES ON OPEN SPACE LOTS 2 & 3 PER F-08-55 (IN THE WESTSIDE DISTRICT AND OPEN SPACE LOT 3 PER F-050112 (IN THE

\_ DOWN 48" TO

LOT 112

428.00 (B

CONSTRUCT HOUSES, DRIVEWAYS AND SIDEWALKS. INSTALL FENCES AND PLANT MATERIAL. DURATION:

(COMMON OPEN AREA LOT 71) (PRIVATE ALLEY,

DOWN 48' TO

EX. 20' PRIVATE STORMMATER ACCESS EASEMEN (PN 19868/TO)

DOWN 48° TO 426.29 (F) 426.67 (B)

4N 541,150

3. NO STOCKPILE WILL BE PERMITTED ON SITE.

BUSINESS DISTRICT). 2. IF HOUSE CONSTRUCTION IS CONCURRENT WITH ROAD

CONTROL MEASURES INSTALLED UNDER F-12-021 AND F-13-003.

4. SOILS SHOWN ARE PRE-DEVELOPMENT CONDITION. THE SITE HAS BEEN MASS GRADED F-08-054/55. ALL SOILS ARE NOW CONSIDERED "MAN-MADE".

## ---600 ---- EXISTING CONTOUR PROPOSED CONTOUR

CONSTRUCTION, COORDINATE THE WORK ON THESE PLANS WITH F-12-021 AND F-13-003. AT THE DISCRETION OF THE SEDIMENT CONTROL INSPECTOR, REPAIR AND MAINTAIN ANY SEDIMENT

S.C.E. SOILS DELINEATION GaC -----SOILS

SILT FENCE

SEDIMENT CONTROL LEGEND

LIMIT OF GRADING DISTURBANCE

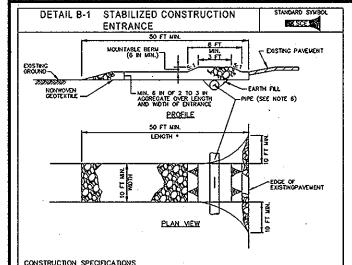
SUPER SILT FENCE

WESTSIDE

(PAVING WIDTH VARIES) (P.N. 22040/51)

\11+46.02 =0+00

## THIS PLAN IS FOR SEDIMENT CONTROL PURPOSES ONLY



OBTAIN USE AND OCCUPANCY PERMIT THEN FINALIZE SETTLEMENT

PIPE ALL SURFACE WATER FLOWAND TO OR DIVERTED TOWARD THE SCE UNDER THE ENTRAINCE, MANIFARMING POSTING DRAMAGE, PROTECT PIPE INSTALLED THROUGH THE SCE WITH A MOUNTABLE BERM WITH S-1 SLOPES AND A LANGMAND OF 12 INCRES OF STONE OVER THE PIPE, PROVIDE PIPE AS SECURED ON APPROVED PLAN, WHEN THE SCE IS LOCATED AT A MICH SPOT AND MAS NO DRAINAGE TO CONVEY, A PIPE IS NOT INCCESSARY, A MOUNTABLE BERM IS REQUIRED WHEN SCE IS NOT LOCATED AT A MICH SPOT.

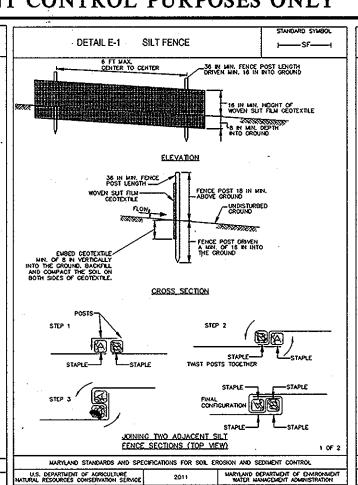
PREPARE SUBCRADE AND PLACE HONWOVEN GEOTEXTILE, AS SPECIFIED IN SECTION H-1 WATERIA PLACE CRUSHED ACCREGATE (2 TO 3 INCHES IN SIZE) OR EQUIVALENT RECYCLED CONCRETE (WITHOUREBAR) AT LEAST 6 INCHES DEEP-OVER THE LENGTH AND WIDTH OF THE SCE. S. MANTAN ENTRANCE IN A CONDITION THAT MINNIZES TRACKING OF SEDMENT, ADD STONE OR MAKE OTHER REPAIRS AS CONDITIONS DEMAND TO MAINTAIN CLEAR SURFACE, MOUNTABLE BERM, AND SECONED DIMENSIONS. IMPEDIATELY REDUCE STONE AND/OR SECURITY SPALED, DROPPED, OR TRACKED ONTO ADJACENT ROADWAY BY VACUUMING, SCRAPING, AND/OR SWEEPING. WASHING ROADWAY TO REMOVE AND TRACKED ONTO PARADERYT IS NOT ACCEPTABLE UNLESS MASH MATER IS DIRECTED TO AN APPROVED SEDMENT CONTROL PRACHITICS.

MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL

10 FT WAX. GALVANIZED CHAIR LINK FENCE W WOVEN SUIT FILM GEOTEXTILE CHAIN LINK FENCING-WOVEN SUT FILM GEOTEXTILE -ROW -INSTALL 2% NICH DIAMETER CALVANIZED STEEL POSTS OF 0.095 NICH WALL THEKNESS AND 9X FOX LENGTH SPACEO NO FURTHER THAN 10 FEET APART, DRIVE THE POSTS A MINIMUM OF 36 INCHES INTO THE GROUND. . FASTEN 9 CAUCE OR HEAVER CALVANZED CHAIN LINK FENCE (2% INCH MAXIMUM OPENING) 42 INCHES IN HEIGHT SECURELY TO THE FENCE POSTS WITH WIRE TIES OR HUG RINGS.

DETAIL E-3 SUPER SILT FENCE

 FASTEN WOVEN SUIT FIUM GEOTEXTILE AS SPECIFIED IN SECTION H-1 MATERIALS, SECURELY TO TH UPSIGNER SIDE OF CHAIN LINK FENCE WITH TIES SPACED EVERY 24 MORES AT THE TOP AND MIN SECTION, EURED GEOTEXTILE AND CHAIN LINK FERIOR A MINIMUM OF B INCHES INTO THE GROUND. , WHERE ENDS OF THE GEOTEXTHE CONE TOGETHER. THE ENDS SHALL BE OVERLAPPED BY 8 INCHES, FOLDED, AND STAPLED TO PREVENT SECHMENT BY PASS. EXTEND BOTH ENDS OF THE SUPER SLT FENCE A MINIMUM OF FIVE HORIZONTAL FEET UPSLOPE AT 40 DEGREES TO THE MAIN FONCE AUGMENT TO PREVENT RUNOFF FROM GOING AROUND, THE DIOS OF THE SUPER SLT FENCE. . PROVIDE MANUFACTURER CERTIFICATION TO THE INSPECTION/ENFORCEMENT AUTHORITY SHOWING THAT CEOTEXTILE USED MEETS THE REQUIREMENTS IN SECTION H-1 MATERIALS. . RELOVE ACQUILILATED SCONENT AND DEBRIS WHEN BUIGES DEVELOP IN FENCE OR WHEN SEDIMENT REACHES 23X OF FENCE REICHT. REPLACE COOTEXTILE IF TORM, IF UNDERWANN OCCURS, REINSTALL CHAIN LENK FENCENS AND GEOTEXTILE. U.S. DEPARTMENT OF AGROUNTINE NATURAL RESOURCES CONSERVATION SERVICE 2011 WATER MANAGEMENT ADMINISTRATION



DETAIL E-1 SILT FENCE USE MOOD POSTS 1% X 1% ±  $\chi_{\rm L}$  Inch (minimal) square cut of sound quality hardwood. As an alternative to mooden post use standard "1" or "u" section steel posts weighing not less than 1 pound per linear foot. USE WOVEN SUIT FILM GEOTEXTILE AS SPECIFIED IN SECTION H=1 MATERIALS AND FASTEN GEOTEXTILE SECURILY TO UPSLOPE SIDE OF FENCE POSTS WITH WIRE TIES OR STAPLES AT TOP AND MID-SECTION. PROMOE MANUFACTURER CERTIFICATION TO THE AUTHORIZED REPRESENTATIVE OF THE INSPECTION/ENFORCEMENT AUTHORITY SHOWING THAT THE GEOTEXTILE USED MEETS THE REQUIREMENTS IN SECTION H=1 MATERIALS. embed geotextile a ninimum of 8 inches vertically into the ground. Backfill and compact the soil on both sodes of fabric. WHERE TWO SECTIONS OF GEOTEXTILE ADJON: OVERLAP, TWIST, AND STAPLE TO POST IN ACCORDANCE WITH THIS DETAIL. EXTEND BOTH ENDS OF THE SILT FENCE A MINIMUM OF FIVE HORIZONTAL FEET UPSLOPE AT 45 DEGREES TO THE MAIN FENCE ALIGNMENT TO PREVENT RUNOFF FROM GOING AROUND THE ENDS OF THE SILT FENCE. REMOVE ACCUMULATED SEDIMENT AND DEBRIS WHEN BULGES DEVELOP IN SILT FENCE OR WHEN SEDIMENT REACHES 25% OF FENCE HEIGHT, REPLACE GEOTEXTILE IF TORN, IF UNDERWINNED OCCURS, RENISTAL, FENCE.

MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTRO

U.S. DEPARTURNT OF ASSOCIATIVE 2011 WARMAND DEPARTMENT OF ENVIRONMENT URW, RESOURCES CONSERVATION SERVICE 2011 SEDIMENT CONTROL PLAN MAPLE LAWN FARMS **WESTSIDE DISTRICT - AREA 3** LOT Nos. 72-84 and 109-114

U.S. DEPARTMENT OF ACROUNTURE 2011 MARYLAND DEPARTMENT OF ENVIRONMENT NATURAL RESOURCES CONSERVATION SERVICE 2011 WATER MANAGEMENT ADMINISTRATION SCALE G. L. W. FILE No. " = 30TAX MAP - GRID

(SFA RESIDENTIAL USE) PLAT Nos. 19870, 22044-22051 and 22307-22311

DATE REVISION BY APP'R.

BUILDER (CONTRACT PURCHASER): 9720 PATUXENT WOODS DR. COLUMBIA, MD 21046 PH: (410) 379-5956 ATTN.: TIM NAUGHTON

LECTION DISTRICT No. 5

HOWARD COUNTY, MARYLAND

SHEET

