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3	SEWER AND EROSION CONTROL PLAN
4	DRAINAGE AREA MAP AND SOILS MAP
5	LANDSCAPE PLAN
6	SEWER AND EROSION CONTROL NOTES AND DETAILS
7	DETAIL SHEET
8	STORM DRAIN PROFILES, STRUCTURE SCHEDULE & DETAILS
9	PROFILES & DETAILS
10	RETAINING WALL CONSTRUCTION DETAILS
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12	RETAINING WALL ELEVATION STA 3+00 THRU STA 5+17
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18	GEOMETRY PLAN
19	SEWER MAIN PROFILE & CHART
20	RETAINING WALL #4 AND DETAILS

HEALTH DEPARTMENT NOTE:
HEALTH DEPARTMENT APPROVAL OF THIS SITE DEVELOPMENT PLAN (SDP) DOES NOT ENSURE APPROVAL OF BUILDING PERMIT APPLICATIONS ASSOCIATED WITH THIS PLAN. PERMIT PLANS FOR CERTAIN FACILITIES TO BE CONSTRUCTED WITHIN THE LIMITS DESCRIBED BY THIS SDP WILL REQUIRE REVIEW AND APPROVAL OF THE HEALTH DEPARTMENT. SUCH FACILITIES MAY INCLUDE, BUT ARE NOT LIMITED TO, THOSE WHICH HAVE SWIMMING POOLS, OR THAT SELL PREPARED OR PACKAGE FOODS, OR THAT MAY HAVE EQUIPMENT THAT EMITS RADIATION.

SITE DEVELOPMENT PLAN P/O PARCEL A THE WELLNESS CENTER OF HOWARD COUNTY

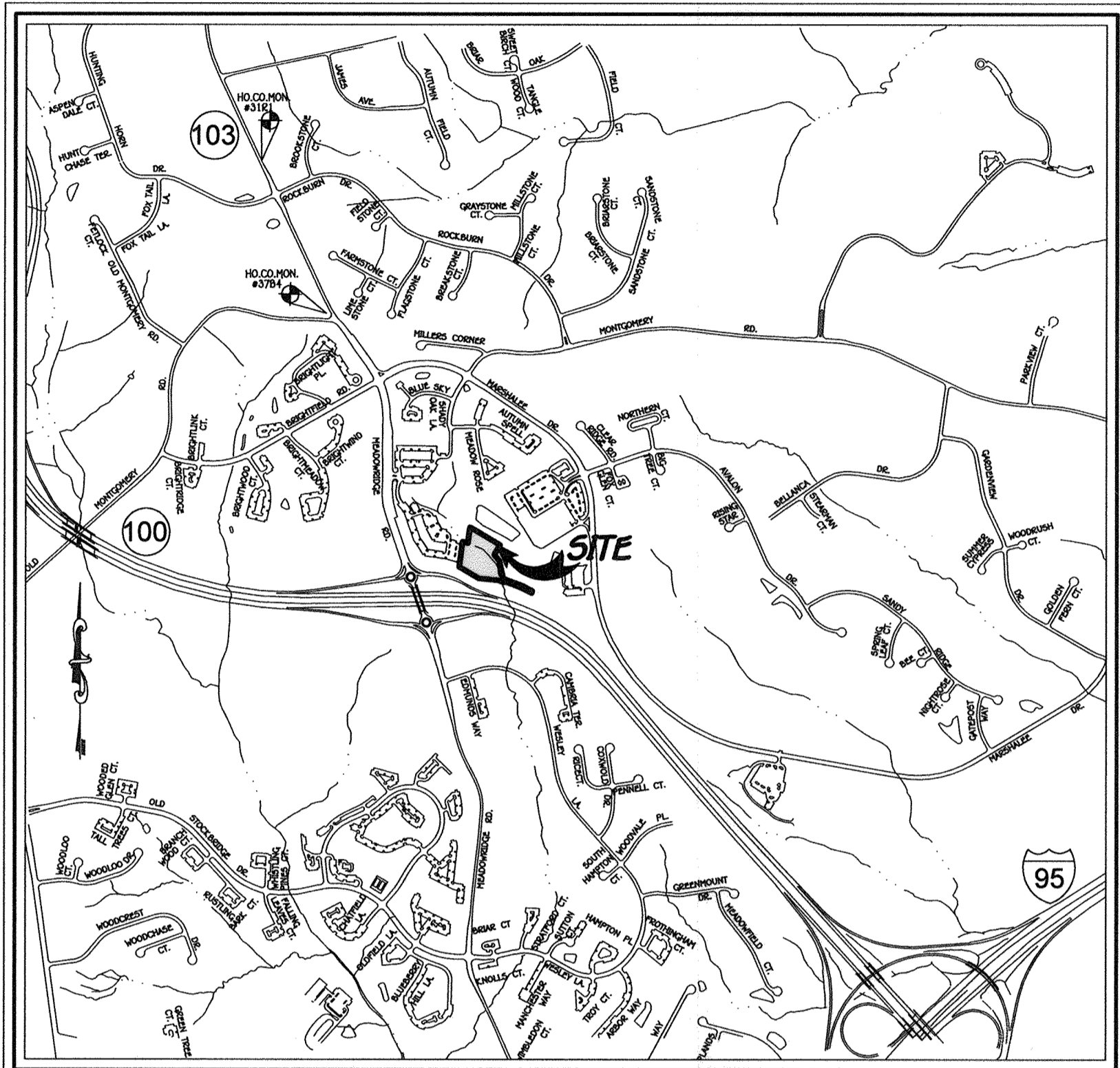
TAX MAP NO.37 GRID NO.10 P/O PARCEL NO.687
FIRST ELECTION DISTRICT, HOWARD COUNTY, MARYLAND

SITE ANALYSIS DATA

1. Area Tabulation:
 - A. Total project area: 2.727 AC+.
 - B. Total area of R/W dedication: 0 AC+.
 - C. Total area of site: 2.727 AC+.
 - D. Building coverage: 0.16 AC+ (5.9%)
 - E. Total area of floodplain: 0.67 AC+.
 - F. Total area of slopes 15%-25%: 0.57 AC+.
 - G. Total area of slopes 25% and greater: 0.23 AC+.
 - H. There are no erodible soils on this site.
 - I. Limit of disturbance: 1.51 AC+.
 - J. Proposed use of site or structure: Restaurant and Daycare.
 - K. Zoned: PEC.
 - L. Building Floor Area: L.L. = 6,539 sq.ft.; F.F. = 6,950 sq.ft.
 - M. Open Space Required: 25% x 2.727 AC+ = 0.68 AC+ Required; Open Space Provided = 2.05 AC+.
 - N. New file numbers: ZB 877 R+M, ZB 1005 M, 5-93-02, P-93-11, F-94-26, F-94-96, F-96-115, F-97-95, F-02-29, F-03-64, 5-91-11, WP-02-47, SDP-05-063, F-09-010, WP-09-209, ECP 13-045 & SDP-07-005.
2. Parking Space Data: TOTAL MEADOWRIDGE CENTER SITE
 - A. Number of parking spaces required = 209 Per the shared parking analysis provided by The Traffic Group.
 - B. Number of spaces on SDP 07-005 = 289 (including 13 handicapped spaces). Number of parking spaces on SDP 13-065 = 59 spaces (including 5 handicapped spaces.) See SDP 07-005 for shared parking and complete site uses.
 - C. Number of spaces proposed Total Plan = 348 (including 18 handicapped spaces) Per the shared parking analysis provided by The Traffic Group.

STREET LIGHT CHART	
LOCATION	FIXTURE/POLE TYPE
PER PLAN, SHT. 2	100-WATT "TRADITIONAL" H.P.S. VAPOR COLONIAL POST TOP FIXTURE MOUNTED ON A 14-FOOT BLACK FIBERGLASS POLE.

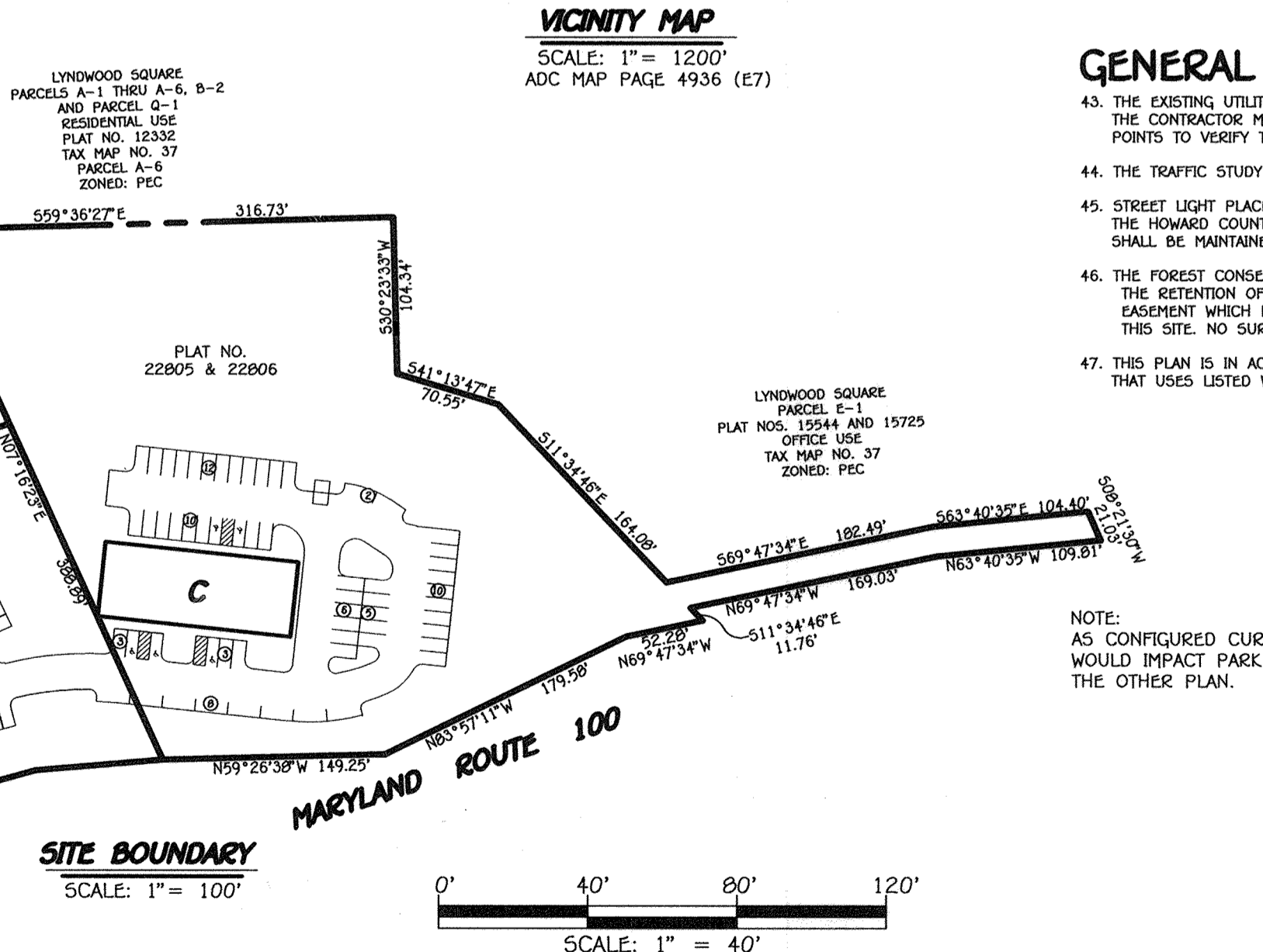
IMPROVEMENT NOTE:
WE HAVE EXHAUSTED THE 5,000 SF OF REDLINE DISTURBANCE CREDIT FOR THIS PROJECT. ANY FURTHER EXPANSION VIA A REDLINE IMPROVEMENT WILL BE SUBJECT TO PROVIDING SWM FOR THE ADDITIONAL IMPERVIOUS AMOUNT.



LEGEND	
SYMBOL	DESCRIPTION
---260---	EXISTING 2' CONTOUR
---270---	EXISTING 10' CONTOUR
---260---	PROPOSED 2' CONTOUR
---270---	PROPOSED 10' CONTOUR
---	EXISTING STORM DRAIN LINE
---	EXISTING SEWER LINE
---	EXISTING WATER LINE
X X	BLAZED ORANGE TREE PROTECTION FENCE
x x	PROPOSED FENCE
---	BOUNDARY/RIGHT OF WAY LINE
---	STRUCTURE AND USE SETBACK
---	PROPOSED STORM DRAIN PIPE
---	PROPOSED FORCE MAIN (PUBLIC)
---	PROPOSED FORCE MAIN (PRIVATE)
---	PROPOSED SEWER LINE (PRIVATE)
---	PROPOSED WATER LINE
---	SUPER SILT FENCE
---	PROPOSED CONCRETE
---	PROPOSED PAVING
---	PROPOSED LIGHT
---	EXISTING TREELINE
---	PROPOSED TREELINE
---	PROPOSED EROSION CONTROL MATTING
---	LIMIT OF DISTURBANCE
---	EXISTING WETLAND
---	SOILS
---	HANDICAP PARKING AREA

GENERAL NOTES:(CONTINUED)

32. IN ACCORDANCE WITH THE HOWARD COUNTY ZONING REGULATIONS ADOPTED APRIL 13, 2004, SECTION 128 IN THE SUPPLEMENTARY ZONING DISTRICT REGULATIONS STATES IN A.10 THAT SETBACKS FROM LOT LINES INTERNAL TO A DEVELOPMENT WHEN TWO OR MORE CONTIGUOUS LOTS OR PARCELS ARE TREATED AS A SINGLE PARCEL FOR DEVELOPMENT PURPOSES, THE STRUCTURE AND USE SETBACKS FROM LOT LINES INTERNAL TO THE DEVELOPMENT SHALL NOT APPLY.
33. THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE PROVISIONS OF SECTION 16.124 OF THE HOWARD COUNTY CODE AND LANDSCAPE MANUAL. FINANCIAL SURETY FOR THE B SHADE TREES, 2 EVERGREEN TREES AND 47 SHRUBS HAS BEEN POSTED AS PART OF THE DEVELOPER'S AGREEMENT IN THE AMOUNT OF \$4,110.00.
34. THE KNOX BOX LOCATION SHOWN ON SHEET 2 SHALL BE PLACED TO THE RIGHT OF THE MAIN ENTRANCE AT A RANGE OF 4-5 FEET IN HEIGHT AND NO MORE THAN 6 FEET LATERALLY FROM THE DOOR. THE KNOX BOX SHALL BE ELECTRONICALLY SUPERVISED TO NOTIFY THE OWNER THAT IT IS BEING ACCESSSED AND INTEGRATED WITH THE FIRE ALARM SYSTEM (NFPA - 1 10.12.1).
35. ALL PROPOSED RAMPWAYS SHALL BE IN ACCORDANCE WITH CURRENT A.D.A STANDARDS ACCESSIBILITY GUIDELINES. MAXIMUM SIDEWALK CROSS SLOPE SHALL BE TWO PERCENT. PROVIDED A (5'x5') FIVE FOOT BY FIVE FOOT LEVEL LANDING (MAX. SLOPE 2%) AT THE TOP AND BOTTOM OF ALL RAMPWAYS AND BUILDING ENTRANCES AND EXITS. HANDRAILS SHALL BE PROVIDED ON ALL RAMPWAYS IN ACCORDANCE WITH SECTION 4.8.5 OF THE A.D.A. STANDARDS ACCESSIBILITY GUIDELINES.
36. ALL DRIVEWAYS AND PARKING TO BE PRIVATELY OWNED AND MAINTAINED.
37. ANY DRAINAGE TO STATE OWNED RIGHT OF WAY OR COUNTY OWNED RIGHT OF WAY TO BE CORRECTED AT THE CONTRACTOR'S EXPENSE.
38. TRENCH BEDDING FOR STORM DRAIN STRUCTURES SHALL BE IN ACCORDANCE WITH THE HOWARD COUNTY STANDARD Q2.01 CLASS 'C' BEDDING UNLESS OTHERWISE NOTED.
39. GUTTER PAN OF CURBS SHALL BE PITCHED TO CONFORM TO THE ADJACENT DRAINAGE PATTERNS OF THE ADJOINING PAVING FOR VEHICULAR USE. SEE DETAIL ON SHEET 7.
40. FOR HANDICAP PARKING AND CONSTRUCTION DETAILS, SEE SHEET 17.
41. PUBLIC WATER AND SEWER IS TO BE UTILIZED FOR THIS PROJECT.
42. ALL ON-SITE STORM DRAINS UNDER THIS SITE DEVELOPMENT PLAN ARE PRIVATE.



**SDP 07-005 PROVIDES 289 TOTAL PARKING SPACES
SDP 13-065 PROVIDES 59 TOTAL PARKING SPACES
THE TOTAL AMOUNT OF PARKING SPACES IS 348 SPACES.**

GENERAL NOTES:

1. THIS PLAN IS SUBJECT TO THE AMENDED 5TH EDITION OF THE HOWARD COUNTY SUBDIVISION AND LAND DEVELOPMENT REGULATIONS, COUNCIL BILL 45-2003 AND THE ZONING REGULATIONS AS AMENDED BY COUNCIL BILL NO. 75-2003. DEVELOPMENT OR CONSTRUCTION ON THIS PROPERTY MUST COMPLY WITH SETBACKS AND BUFFER REGULATIONS IN EFFECT AT THE TIME OF SUBMISSION OF A BUILDING OR GRADING PERMIT APPLICATION, WAIVER PETITION APPLICATION AND THE COMP-LITE ZONING REGULATIONS DATED JULY 28, 2006.
2. THE SUBJECT PROPERTY IS ZONED PEC PER OCTOBER 6, 2013 COMPREHENSIVE ZONING PLAN.
3. THE CONTRACTOR SHALL NOTIFY THE BUREAU OF ENGINEERING CONSTRUCTION INSPECTION DIVISION AT (410) 313-1800 AT LEAST (5) FIVE WORKING DAYS PRIOR TO THE START OF WORK.
4. THE CONTRACTOR SHALL NOTIFY "MISS UTILITY" AT 1-800-257-7777 AT LEAST 48 HOURS PRIOR TO ANY DIGGING AND EXCAVATION WORK.
5. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF HOWARD COUNTY PLUS MSHA STANDARDS AND SPECIFICATIONS IF APPLICABLE.
6. BOUNDARY SURVEY PERFORMED BY PATTON, HARRIS RUST & ASSOCIATES, PC ON OR ABOUT MAY, 2004.
7. COORDINATES BASED ON NAVD83 MARYLAND COORDINATE SYSTEM AS PROJECTED BY HOWARD COUNTY GEODETIC CONTROL STATIONS NO. 378A AND NO. 378B: Station No. 378A - (N 563,795.6572 E 1,376,343.2094) Station No. 378B - (N 563,663.4508 E 1,378,040.5102)
8. ANY DAMAGE TO THE COUNTY'S RIGHT-OF-WAY SHALL BE CORRECTED AT THE DEVELOPER'S EXPENSE.
9. CONTRACTOR WILL CHECK SEWER CONNECTION ELEVATION AT EASEMENT LINE PRIOR TO CONSTRUCTION.
10. STORMWATER MANAGEMENT WILL BE PROVIDED IN ACCORDANCE WITH THE 2000 HIC DESIGN MANUAL, 2007 REGULATIONS, CHAPTER 5 REGULATIONS AND THE LATEST HOWARD COUNTY DESIGN MANUAL, VOL. I, CHAPTER 5 ADOPTED ON OR ABOUT MAY 4, 2010. GROUNDWATER RECHARGE VOLUME WILL BE PROVIDED THROUGH THE USE OF A SINGLE STONE RESERVOIR LOCATED BENEATH THE PROPOSED BIO-SWALE FACILITY. THE REQUIRED ESO VOLUMES WILL BE PROVIDED BY AN UNDERGROUND SAND FILTER LOCATED BENEATH THE PROPOSED PARKING AREA AND 6 MICRO-BIORETENTION AREAS LOCATED WITHIN ISLAND AREAS. OVERBANK FLOOD PROTECTION VOLUME AND EXTREME FLOOD VOLUMES ARE NOT REQUIRED FOR THIS SITE. THE STORMWATER MANAGEMENT FACILITIES (MICRO-BIORETENTION AND UNDERGROUND SAND FILTER) WILL BE PRIVATELY OWNED BY THE H.O.A. AND MAINTAINED BY H.O.A.
11. TRAFFIC CONTROL DEVICES, MARKINGS AND SIGNAGE SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD). ALL STREET AND REGULATORY SIGNS SHALL BE IN PLACE PRIOR TO THE PLACEMENT OF ANY ASPHALT.
12. THIS SUBDIVISION IS SUBJECT TO SECTION 18.122B OF THE HOWARD COUNTY CODE, PUBLIC WATER AND SEWER SERVICE HAS BEEN PROVIDED BY CONTRACTS 14-4276-D, 14-1828-D AND 14-3569-D (SDP-07-005).
13. THIS PROPERTY IS RECORDED AMONG THE LAND RECORDS OF HOWARD COUNTY, MARYLAND AS PLAT NO. 20885.
14. THERE ARE NO HISTORIC STRUCTURES LOCATED ON THE SUBJECT PROPERTY.
15. THERE ARE NO KNOWN GRAVE SITES OR CEMETERIES LOCATED ON THE SUBJECT PROPERTY. BASED ON AN EXAMINATION OF THE HOWARD COUNTY CEMETERY INVENTORY MAP.
16. THE FLOODPLAIN DELINEATION SHOWN HEREON IS BASED ON A STUDY BY LAND DESIGN ENGINEERING, INC. APPROVED ON DECEMBER 31, 1991, P-93-11 AND F-94-26. IN ADDITION, A FEMA FLOODPLAIN HAS BEEN INDICATED ON THE PLAN BASED ON A REVISED STUDY BY FEMA DATED 2013.
17. THE WETLAND DELINEATION SHOWN HEREON IS BASED ON A STUDY BY EXPLORATION RESEARCH DATED 04-19-02 AND RECORDED ON PLAT NO. 15725.
18. ALL FILL AREAS WITHIN ROADWAYS AND UNDER STRUCTURES SHALL BE COMPACTED TO A MINIMUM OF 95% COMPACTION OF AASHTO T-180.
19. NO NOISE STUDY IS REQUIRED FOR THIS PROJECT.
20. ALL PLAN DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
21. WAIVER PETITION WF-02-47 WAS APPROVED ON DECEMBER 28, 2001 WAIVING SECTION 16.120(C) (TO PERMIT THE REQUIRED ROAD FRONTAGE OF 60-FEET FOR A NON-RESIDENTIAL PARCEL (E-1) TO BE REDUCED TO ZERO FEET), SUBJECT TO THE FOLLOWING CONDITIONS: (a) ACCESS TO PARCEL E-1 SHALL BE PROVIDED BY A RECORDED VEHICULAR ACCESS EASEMENT THAT WAS SHOWN ON FINAL PLAT F-02-29. (b) STATE HIGHWAY ADMINISTRATION WILL NOT BE RESPONSIBLE FOR ANY NOISE MITIGATION.
22. A REFUSE COLLECTION TO BE PROVIDED BY PRIVATE CONTRACTOR. THERE WILL BE INTERNAL TRASH COLLECTION WITHIN THE BUILDING TO BE REMOVED BY A PRIVATE JANITORIAL SERVICE FOR CURBSIDE PICK-UP.
23. "SIGN POSTS" - ALL SIGN POSTS USED FOR TRAFFIC CONTROL SIGNS INSTALLED IN THE COUNTY RIGHT-OF-WAY SHALL BE MOUNTED ON A 2" GALVANIZED STEEL, PERFORATED, SQUARE TUBE POST (1 1/2" DIA) GALVANIZED STEEL, PERFORATED, SQUARE TUBE SLEEVE (12 GAUGE) - 3' LONG. A GALVANIZED STEEL POLE CAP SHALL BE MOUNTED ON TOP OF EACH POST.
24. ALL CURB RETURNS ARE 5' UNLESS OTHERWISE NOTED.
25. OUTDOOR LIGHTING SHALL BE IN COMPLIANCE WITH THE OUTDOOR LIGHTING REQUIREMENTS STANDARDS SPECIFIED IN THE HOWARD COUNTY ZONING REGULATIONS.
26. LANDSCAPING WILL BE A MINIMUM OF 7-1/2' FROM EACH SIDE OF THE FIRE DEPARTMENT CONNECTION. PROVIDE A CLEAR UNOBSTRUCTED ACCESS PATH TO THE FIRE DEPARTMENT CONNECTION. NFPA-1 13.1.4.
27. NO CLEARING, GRADING, DISTURBANCE, REMOVAL OF VEGETATIVE COVER AND/OR TREES, DEVELOPMENT OR CONSTRUCTION IS PERMITTED WITHIN THE LIMITS OF THE FLOODPLAIN, WETLANDS STREAMS(A) AND THEIR BUFFERS.
28. THERE ARE NO EXISTING STRUCTURES/DWELLINGS LOCATED ON THE SUBJECT PROPERTY.
29. MAINTENANCE AGREEMENTS FOR THE USE-IN-COMMON ACCESS EASEMENTS FOR PARCELS A-1, A-2, A-6, A-7, A-8, A-9 AND E-1 ARE RECORDED IN LIBER 6166 AT FOLIO 477.
30. SOILS INFORMATION TAKEN FROM HOWARD COUNTY SOIL SURVEY ISSUED BY HOWARD COUNTY, MARYLAND ON AUGUST 22, 2006.
31. THE TOPOGRAPHIC CONTOURS ARE BASED ON A FIELD RUN SURVEY PERFORMED BY FISHER, COLLINS AND CARTER, INC. DATED OCTOBER, 2011.

Meadowridge Center Shared Parking Analysis

Retail & Professional Services	Weekday					Weekend		Nighttime
	Monday	Tuesday	Wednesday	Thursday	Friday	Saturday	Sunday	
Retail ¹	15,962	20%	60%	60%	90%	100%	70%	5%
(\$ 50/1,000 S.F.)	72	15	44	44	65	72	51	4
Med. office	23,795	80%	100%	100%	100%	10%	5%	5%
(\$ 50/1,000 S.F.)	119	96	119	119	12	12	6	6
Office	14,085	80%	100%	100%	10%	10%	5%	5%
(\$ 3.50/1,000 S.F.)	47	38	47	47	5	5	3	3
Restaurant	1,950	50%	50%	50%	100%	100%	100%	10%
(\$ 14.50/1,000 S.F.)	26	14	14	14	26	26	26	9
Daycare	6,539	100%	100%	100%	100%	10%	10%	10%
(\$ 50/1,000 S.F.)	20	20	20	20	2	2	2	2
Carryout Restaurant	3,400	50%	50%	50%	100%	100%	100%	10%
(\$ 50/1,000 S.F.)	9	5	5	5	9	9	9	1
Animal Hospital	5,000	80%	100%	100%	10%	10%	5%	5%
(\$ 40/1,000 S.F.)	20	16	20	20	2	2	1	1
TOTAL	945	204	229	229	141	130	100	20

1. 4801 SF OF THIS RETAIL IS DAY CARE PARKING AT 2.5 SPACES PER 1,000 SF, RESULTING IN A REDUCTION OF 6 SPACES (FROM 80 TO 74).
2. THIS SHARED PARKING ANALYSIS IS COMPOSED OF TWO SITES, SDP 07-005 AND SDP 13-065.
3. SEE SDP 07-005 FOR THE COMPLETE BUILDING LAYOUT.

GENERAL NOTES:(CONTINUED)

43. THE EXISTING UTILITIES SHOWN HEREON WERE DERIVED FROM AVAILABLE PUBLIC RECORDS. THE CONTRACTOR MUST DIG TEST PITS BY HAND AT ALL UTILITY CROSSINGS AND CONNECTION POINTS TO VERIFY THE EXACT LOCATIONS.
44. THE TRAFFIC STUDY FOR THIS PROJECT WAS PREPARED BY THE TRAFFIC GROUP DATED MARCH 2013.
45. STREET LIGHT PLACEMENT AND THE TYPE OF FIXTURE AND POLE SHALL BE IN ACCORDANCE WITH THE HOWARD COUNTY DESIGN MANUAL, VOLUME III (2006), SECTION 5.5.A. A MINIMUM OF 20' SHALL BE MAINTAINED BETWEEN ANY STREETLIGHT AND ANY TREE.
46. THE FOREST CONSERVATION OBLIGATION INCURRED BY THIS PROJECT HAS BEEN SATISFIED WITH THE RETENTION OF 0.60 OF AN ACRE CREDITED EASEMENT AND 0.6 ACRE OF NON-CREDITED EASEMENT WHICH MEETS OR EXCEEDS THE BREAK-EVEN POINT OBLIGATION OF 0.6 ACRES FOR THIS SITE. NO SURETY IS REQUIRED FOR FOREST RETENTION EASEMENTS.
47. THIS PLAN IS IN ACCORDANCE WITH SECTION 116.0.B.33 TO ALLOW FOR A CARRYOUT RESTAURANT PROVIDED THAT USES LISTED WITH THAT SUBSECTION DO NOT EXCEED 20% FLOOR AREA OF ANY BUILDING.

PURPOSE NOTE:
THE PURPOSE OF THE REVISED SITE DEVELOPMENT PLAN WAS TO INCREASE THE BUILDING SIZE AND CHANGE THE USE TO DAYCARE, OFFICE AND RESTAURANT AND ADD A FENCED PLAY AREA.

"REVISED SITE DEVELOPMENT PLAN"

FISHER, COLLINS & CARTER, INC.
CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
CENTRAL SERVICE OFFICE: PARK - 10272 BALDORNE NATIONAL PIKE
ELKLOFT CITY, MD 21040
(410) 481-2995

AS-BUILT CERTIFICATION
Note: There is no "AS BUILT" information provided on this sheet.
Charles J. Crowe, Sr., P.E.
Date: 5/14/19

"Professional Certification. I hereby certify that I am a duly licensed professional engineer in the State of Maryland, License No. 13204, and that I have prepared or approved by me, and that I am a duly licensed professional engineer in the State of Maryland, License No. 13204, the following project:
Charles J. Crowe, Sr., P.E.
DATE: 1/31/17

APPROVED: FER PUBLIC WATER AND SEWER
William J. ...
DATE: 3/1/2017

DATE	DESCRIPTION	REVISION BLOCK
6/29/17	REVISED SHARED PARKING ANALYSIS CHART FOR ANIMAL HOSPITAL USE	
1/30/17	ADD NEW BUILDING AND REVISE THE USE TO DAYCARE, CHANGE BUILDING AREA AND REVISE SHARED PARKING ANALYSIS, ADD FENCED IN PLAY AREA AND GATE FOR DAYCARE, EXTERIOR SIDEWALK.	
9/22/15	ADDED PARKING TO SITE BOUNDARY, REVISE LANDSCAPE SURETY AND ADD GENERAL NOTE #47.	
7/16/15	ADD NOTES TO SHARED PARKING ANALYSIS, REVISE PARKING SPACE DATA.	
	ADDED SDP-07-005 TO THE ANALYSIS, CHANGED THE TITLE TO REFLECT RESTAURANT/OFFICE AND REMOVED THE RETAIL REFERENCE.	

APPROVED: DEPARTMENT OF PLANNING AND ZONING
William J. ...
Director - Department of Planning and Zoning NY
DATE: 3-19-17

Val ...
Chief, Division of Land Development GME
DATE: 3-15-17

Chad ...
Chief, Development Engineering Division
DATE: 2-23-17

DEVELOPER/OWNER
100-103 CENTER, L.L.C.
100 OVERLOOK, L.L.C.
c/o LAND DESIGN AND DEVELOPMENT, INC.
5300 DORSEY HALL DRIVE
SUITE 102
ELLCOTT CITY, MARYLAND 21043
443-367-0422

BUILDING NO.		STREET ADDRESS	
3	6050 MEADOWRIDGE CENTER DRIVE		

Address Chart

PROJECT	SECTION/AREA	PARCELS	LOT
THE WELLNESS CENTER OF HOWARD COUNTY		687	P/O P. 'A'

DEED REF.	BLOCK NO.	ZONE	TAX MAP	ELEC. DIST.	CENSUS TR.
PLAT #22805-22806 PLAT #20885	10	PEC	37	FIRST	6030

TITLE SHEET
THE WELLNESS CENTER OF HOWARD COUNTY
P/O PARCEL 'A'
RESTAURANT, OFFICE & DAYCARE
ZONED PEC

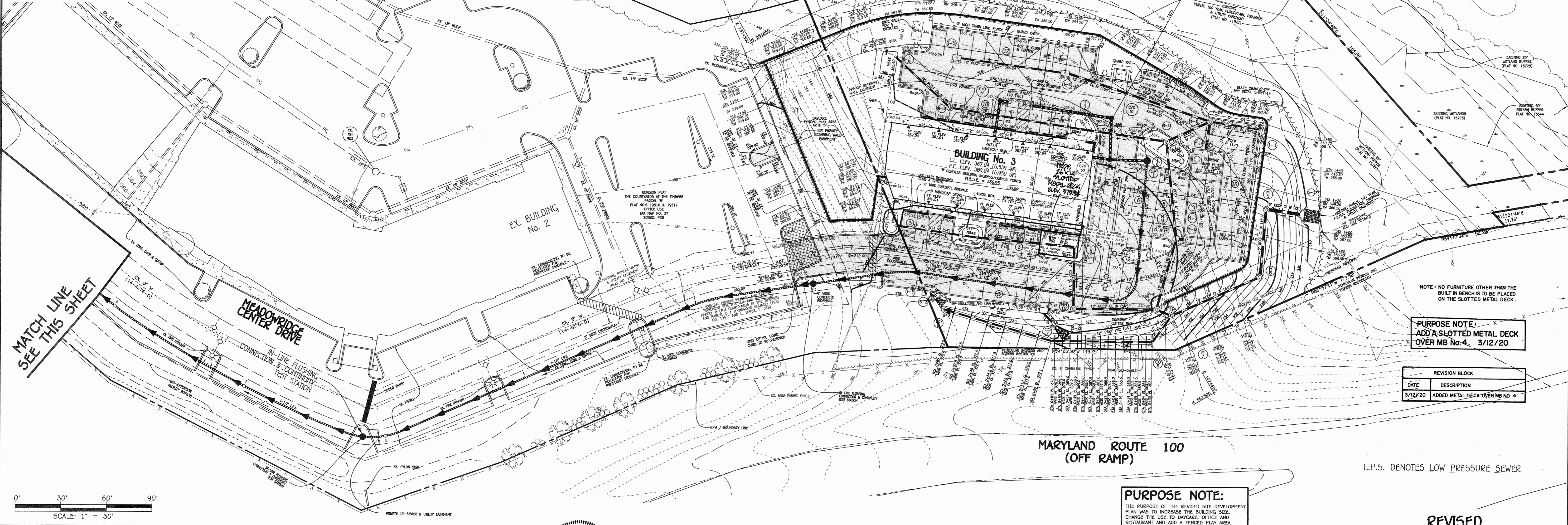
TAX MAP No. 37 P/O PARCEL No. 687 GRID No. 10
FIRST ELECTION DISTRICT HOWARD COUNTY, MARYLAND
SCALE: AS SHOWN DATE: JANUARY, 2017

SHEET 1 OF 20
SDP-13-065

THERE IS NO "AS-BUILT" INFORMATION PROVIDED ON THIS SHEET

T:\2004\0008\dwg\WOOD SQUARE\Title Sheet 11-28-16\REPLACEMENT MYLAR SHEET 1/31/2017 2:46:42 PM 11

LEGEND	
SYMBOL	DESCRIPTION
-268	EXISTING 2" CONTOUR
-270	EXISTING 10" CONTOUR
-268	PROPOSED 2" CONTOUR
-270	PROPOSED 10" CONTOUR
---	EXISTING STORM DRAIN LINE
---	EXISTING SEWER LINE
---	EXISTING WATER LINE
X X X	PROPOSED CHAINLINK FENCE
---	BOUNDARY/RIGHT OF WAY LINE
---	STRUCTURE AND USE SETBACK
---	PROPOSED STORM DRAIN PIPE
---	PROPOSED FORCE MAIN (PUBLIC)
---	PROPOSED FORCE MAIN (PRIVATE)
---	PROPOSED SEWER LINE (PRIVATE)
---	PROPOSED WATER LINE
---	PROPOSED CONCRETE
---	PROPOSED PAVING
---	PROPOSED LIGHT
---	EXISTING TREELINE
---	PROPOSED TREELINE
---	EXISTING WETLAND
---	15-25% SLOPES
---	25% AND GREATER SLOPES
---	HANDICAP PARKING AREA



FISHER, COLLINS & CARTER, INC.
 CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
 CENTENNIAL SQUARE OFFICE PARK - 10272 BALTIMORE NATIONAL PLACE
 ELICOTT CITY, MARYLAND 21042
 (410) 461-2895

AS-BUILT CERTIFICATION
 Note: There is no "AS BUILT" information provided on this sheet.
 CHARLES J. CROWD, SR., No. 19104
 Date: 5/14/19

"Professional Certification. I hereby certify that the plan was prepared or approved by me, and that I am a duly licensed professional engineer in the State of Maryland, License No. 13204.
 Expiration Date: November 2, 2018."
 CHARLES J. CROWD, SR., P.E.
 DATE: 3/6/17

9/22/15 ENLARGED MICRO-BIORETENTION FACILITY NUMBER 2. MOVE BEER COOLER TO BE NEXT TO ELEVATOR. REVISE SEWER ALIGNMENT. ADD 20' PRIVATE RETAINING WALL EASEMENT.
 7/16/15 RELOCATED MICRO-BIO-RETENTION FACILITY NUMBER 2 TO BE LOCATED NEXT TO THE BEER COOLER.
 4/13/15 REVISE SEWER MAIN OUTFALL. ADD BEER COOLER AND DECK. RAISE THE FIRST FLOOR BY 1 FOOT AND ADJUST PARKING AREA AND SPOTS. ADD GRASS TRAP TO PLANS. REVISE RETAINING WALL TO TIE INTO PROPOSED BUILDING. ADD ADDITIONAL PARKING SPACES.
 DATE DESCRIPTION REVISION BLOCK
 APPROVED: DEPARTMENT OF PLANNING AND ZONING
 Director - Department of Planning and Zoning
 Chief, Division of Land Development
 Chief, Development Engineering Division

DEVELOPER/OWNER
 100-103 CENTER, L.L.C.
 100 OVERLOOK, L.L.C.
 c/o LAND DESIGN AND DEVELOPMENT, INC.
 SUITE 102
 ELLICOTT CITY, MARYLAND 21043
 443-367-0422

Address Chart	
BUILDING NO.	STREET ADDRESS
3	6050 MEADOWRIDGE CENTER DRIVE

PROJECT	SECTION/AREA	PARCELS	LOT
THE WELLNESS CENTER OF HOWARD COUNTY		687	P/O P. 'A'

DEED REF.	BLOCK NO.	ZONE	TAX MAP	ELEC. DIST.	CENSUS TR.
PLAT #22805-22806	10	PEC	37	FIRST	6030

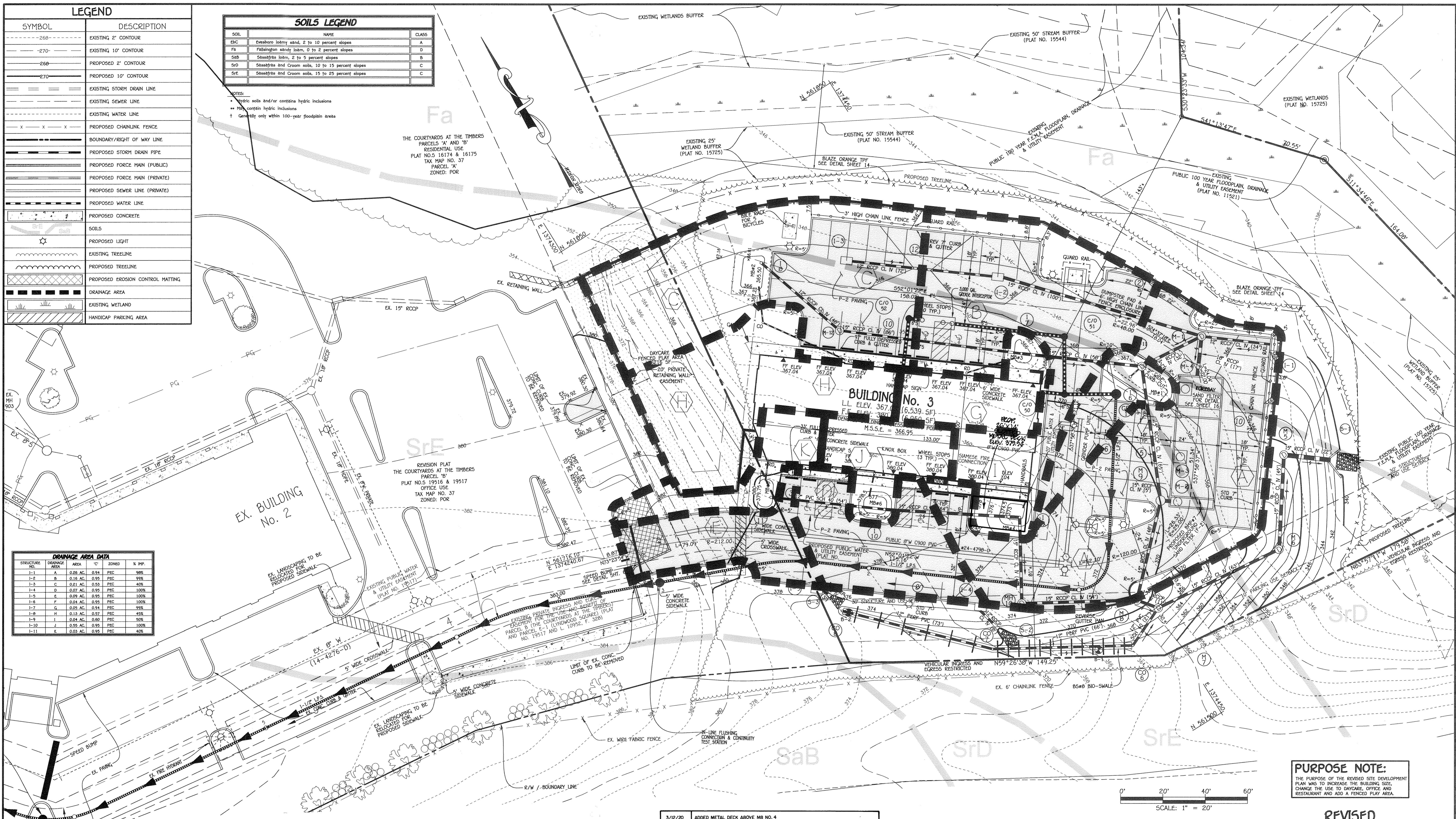
SITE DEVELOPMENT PLAN
THE WELLNESS CENTER OF HOWARD COUNTY
 P/O PARCEL 'A'
 RESTAURANT, DAYCARE & OFFICE
 ZONED PEC
 TAX MAP No. 37 P/O PARCEL No. 687 GRID No. 10
 FIRST ELECTION DISTRICT HOWARD COUNTY, MARYLAND
 SCALE: 1" = 30' DATE: JANUARY, 2017
 SHEET 2 OF 20

THERE IS NO "AS-BUILT" INFORMATION PROVIDED ON THIS SHEET

LEGEND	
SYMBOL	DESCRIPTION
-268-	EXISTING 2' CONTOUR
-270-	EXISTING 10' CONTOUR
268	PROPOSED 2' CONTOUR
270	PROPOSED 10' CONTOUR
---	EXISTING STORM DRAIN LINE
---	EXISTING SEWER LINE
---	EXISTING WATER LINE
x x x	PROPOSED CHAINLINK FENCE
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---	PROPOSED STORM DRAIN PIPE
---	PROPOSED FORCE MAIN (PUBLIC)
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---	PROPOSED SEWER LINE (PRIVATE)
---	PROPOSED WATER LINE
---	PROPOSED CONCRETE
---	SOILS
---	PROPOSED LIGHT
---	EXISTING TREELINE
---	PROPOSED TREELINE
---	PROPOSED EROSION CONTROL MATTING
---	DRAINAGE AREA
---	EXISTING WETLAND
---	HANDICAP PARKING AREA

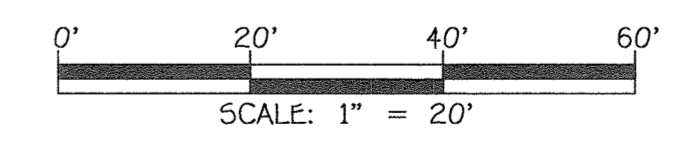
SOILS LEGEND		
SOIL	NAME	CLASS
EHC	Evesboro loamy sand, 2 to 10 percent slopes	A
Fa	Fallington sandy loam, 0 to 2 percent slopes	D
SAB	Sassafras loam, 2 to 5 percent slopes	B
SrD	Sassafras and Croom soils, 10 to 15 percent slopes	C
SrE	Sassafras and Croom soils, 15 to 25 percent slopes	C

NOTES:
 * Hydric soils and/or contains hydric inclusions
 ** May contain hydric inclusions
 † Generally only within 100-year floodplain areas



DRAINAGE AREA DATA				
STRUCTURE NO.	DRAINAGE AREA	AREA	% ZONED	% IMP.
1-1	A	0.28 AC.	0.94 PEC	98%
1-2	B	0.16 AC.	0.95 PEC	95%
1-3	C	0.21 AC.	0.93 PEC	40%
1-4	D	0.07 AC.	0.95 PEC	100%
1-5	E	0.09 AC.	0.95 PEC	100%
1-6	F	0.04 AC.	0.95 PEC	100%
1-7	G	0.05 AC.	0.94 PEC	99%
1-8	H	0.13 AC.	0.97 PEC	45%
1-9	I	0.04 AC.	0.90 PEC	20%
1-10	J	0.02 AC.	0.95 PEC	100%
1-11	K	0.03 AC.	0.95 PEC	40%

PURPOSE NOTE:
 THE PURPOSE OF THE REVISED SITE DEVELOPMENT PLAN WAS TO INCREASE THE BUILDING SIZE, CHANGE THE USE TO DAYCARE, OFFICE AND RESTAURANT AND ADD A FENCED PLAY AREA.



FISHER, COLLINS & CARTER, INC.
 CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
 CENTENAL SQUARE OFFICE PARK - 10712 BALTIMORE NATIONAL PIKE
 ELLICOTT CITY, MARYLAND 21042
 (410) 461-2855

AS-BUILT CERTIFICATION
 Note: There is no "AS BUILT" information provided on this sheet.
 Charles J. Crowe, Jr., No. 13704
 Date: 5/14/19

"Professional Certification. I hereby certify that the above information was prepared or approved by me, and that I am a duly licensed professional engineer in the State of Maryland, License No. 13204.
 Expiration Date: November 3, 2019"
 Charles J. Crowe, Jr., P.E.
 Date: 3/6/17

DATE	DESCRIPTION
3/12/20	ADDED METAL DECK ABOVE MB NO. 4
9/22/15	ENLARGED MICRO-BIORETENTION FACILITY #2; RELOCATED BEER COOLER; REVISE THE LOW PRESSURE SEWER ALIGNMENT; ADD 20' PRIVATE RETAINING WALL EASEMENT.
7/16/15	RELOCATED MICRO-BIO-RETENTION FACILITY NUMBER 2 TO BE LOCATED NEXT TO THE BEER COOLER.
4/13/15	REVISE SEWER MAIN OUTFALL; ADD BEER COOLER AND DECK; RAISE THE FIRST FLOOR BY 1' FOOT AND ADJUST PARKING AREA AND SPOTS; ADD GREASE TRAP TO PLANS; REVISE RETAINING WALL TO TIE INTO PROPOSED BUILDING; ADD PARKING SPACES TO PLAN.
11/29/16	ADD IN THE PLAY AREA FOR THE DAY CARE USE; REMOVE BEER COOLER, ELEVATOR AND DECK; REVISE THE BUILDING TO REFLECT NEW FOOTPRINT; REVISE SPOT ELEVATIONS.

DEVELOPER/OWNER
 100-103 CENTER, L.L.C.
 100 OVERLOOK, L.L.C.
 c/o LAND DESIGN AND DEVELOPMENT, INC.
 5300 DORSEY HALL DRIVE
 SUITE 102
 ELLICOTT CITY, MARYLAND 21043
 443-367-0422

Address Chart	
BUILDING NO.	STREET ADDRESS
3	6050 MEADOWRIDGE CENTER DRIVE

REVISED
DRAINAGE AREA MAP AND SOILS MAP
THE WELLNESS CENTER OF HOWARD COUNTY
 P/O PARCEL 'A'
 RESTAURANT, DAYCARE & OFFICE
 ZONED PEC
 TAX MAP No. 37 P/O PARCEL No. 687 GRID No. 10
 FIRST ELECTION DISTRICT HOWARD COUNTY, MARYLAND
 SCALE: 1" = 20' DATE: JANUARY, 2017
 SHEET 4 OF 20
 SDP-13-065

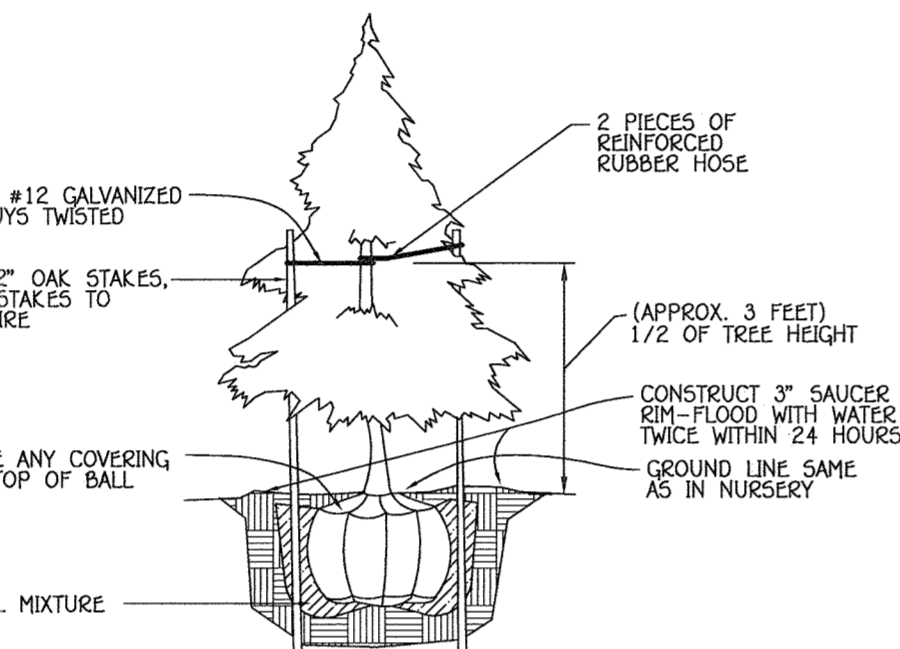
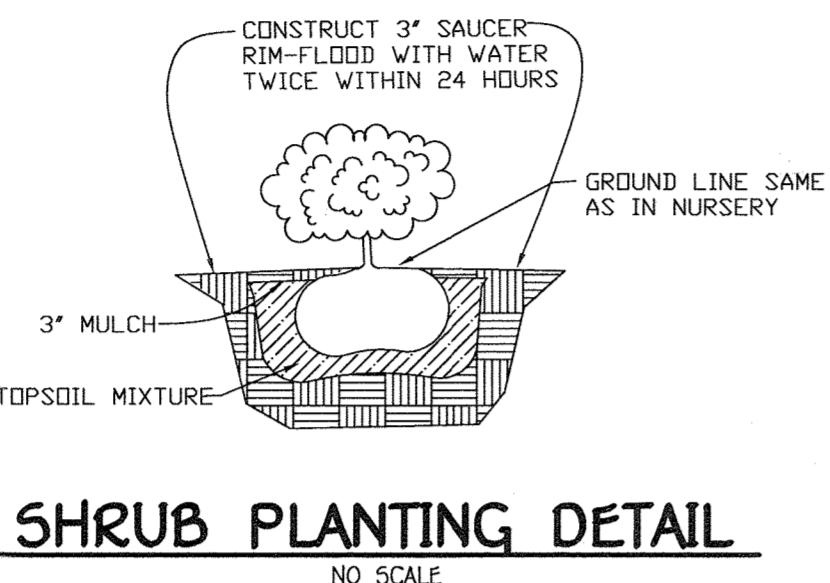
THERE IS NO "AS-BUILT" INFORMATION PROVIDED ON THIS SHEET

SCHEDULE A PERIMETER LANDSCAPE EDGE										
PERIMETER	CATEGORY (PROPERTIES/ROADWAYS)	LANDSCAPE TYPE	LINEAR FEET OF ROADWAY FRONTAGE	CREDIT FOR EXISTING VEGETATION (YES, NO, LINEAR FEET) (DESCRIBE BELOW IF NEEDED)	CREDIT FOR WALL, FENCE OR BERRY (YES, NO, LINEAR FEET) (DESCRIBE BELOW IF NEEDED)	NUMBER OF PLANTS REQUIRED	SHADE TREES	EVERGREEN TREES	SHRUBS	NUMBER OF PLANTS PROVIDED
P-1	NON-RES. TO NON-RES.	C	142.3'	YES, 100% (EXIST. FOREST)	NO	0	0	0	0	0
P-2	NON-RES. TO NON-RES.	C	690.9'	YES, 100% (EXIST. FOREST)	NO	0	0	0	0	0
P-3	NON-RES. TO ROAD	E	381.1'	YES, 130% (EXIST. FOREST) (AND 54' RETAINING WALL)	NO	5	0	47	5	47
P-4	DUMPSTER	D	25'	NO	NO	1	2	0	1	2

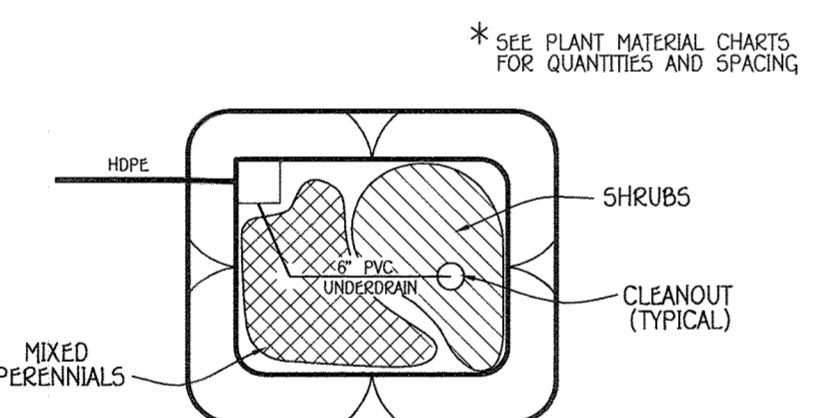
SCHEDULE B PARKING LOT INTERNAL LANDSCAPING	
NUMBER OF PARKING SPACES	50
NUMBER OF TREES REQUIRED (1:20 SPACES)	3
NUMBER OF TREES PROVIDED:	
SHADE TREES	3
OTHER TREES (2:1 SUBSTITUTION)	--

LANDSCAPE LEGEND				
SYMBOL	QTY.	BOTANICAL AND COMMON NAME	SIZE	COMMENTS
AS	5	ACER SACCHARUM 'GREEN MOUNTAIN' GREEN MOUNTAIN SUGAR MAPLE	2'-21/2" CAL.	
AR	3	ACER RUBRUM 'OCTOBER GLORY' RED MAPLE	2'-21/2" CAL.	
PS	2	PINUS STROBUS EASTERN WHITE PINE	6' - 8' HEIGHT	
AW	47	VIBURNUM DENTATUM ARROWWOOD VIBURNUM	2'-1/2" - 3' HEIGHT	

NOTE: TREE AND SHRUB TYPES ARE ONLY AN RECOMMENDATION, THESE MAY BE REVISED TO A COUNTY APPROVED EQUIVALENT FROM THE HOWARD COUNTY LANDSCAPE MANUAL. THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE PROVISIONS OF SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL. FINANCIAL SURETY FOR THE 0 SHADE TREES, 2 EVERGREEN TREES & 47 SHRUBS HAS BEEN POSTED AS PART OF THE DEVELOPER'S AGREEMENT IN THE AMOUNT OF \$4,110.00.



EVERGREEN TREE PLANTING DETAIL



(FACILITY Nos. 1 THRU 6) BIO-RETENTION FILTER PLANTING DETAIL

PLANT MATERIAL-BIO-RETENTION FILTER No. 1			
QUANTITY	NAME	MAXIMUM SPACING (FT.)	
42	MIXED PERENNIALS	1 FT.	
21	SHRUBS	2 FT.	

PLANT MATERIAL-BIO-RETENTION FILTER No. 2			
QUANTITY	NAME	MAXIMUM SPACING (FT.)	
44	MIXED PERENNIALS	1 FT.	
22	SHRUBS	2 FT.	

PLANT MATERIAL-BIO-RETENTION FILTER No. 3			
QUANTITY	NAME	MAXIMUM SPACING (FT.)	
22	MIXED PERENNIALS	1 FT.	
11	SHRUBS	2 FT.	

PLANT MATERIAL-BIO-RETENTION FILTER No. 4			
QUANTITY	NAME	MAXIMUM SPACING (FT.)	
25	MIXED PERENNIALS	1 FT.	
12	SHRUBS	2 FT.	

PLANT MATERIAL-BIO-RETENTION FILTER No. 5			
QUANTITY	NAME	MAXIMUM SPACING (FT.)	
8	MIXED PERENNIALS	1 FT.	
4	SHRUBS	2 FT.	

PLANT MATERIAL-BIO-RETENTION FILTER No. 6			
QUANTITY	NAME	MAXIMUM SPACING (FT.)	
28	MIXED PERENNIALS	1 FT.	
14	SHRUBS	2 FT.	

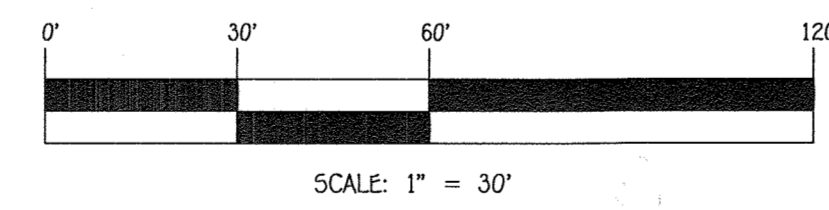
NOTE: PLANT MATERIAL MUST COVER AT LEAST 50% OF THE SURFACE AREA OF THE BIO-RETENTION

NO SCALE

MIXED PERENNIALS * CUT-LEAF CONEFLOWER * CAROLINE FLOWER * TRADISCANT ASTER

SHRUBS * BAYBERRY * SPICEBUSH * ARBORVITAE * WINTERBERRY * INKBERY * WITCH HAZEL * BUTTERNUT * BUCKEYE * BOTTLEBRUSH BUCKEYE

ANY OF THE SHRUBS LISTED MAY BE USED



PLANTING SPECIFICATIONS

Plants, related material, and operations shall meet the detailed description as given on the plans and as described herein. All plant material, unless otherwise specified, shall be nursery grown, uniformly branched, have a vigorous root system, and shall conform to the species, size, root and shape shown on the plant list and the American Association of Nurserymen (A.A.N.) Standards. Plant material shall be healthy, vigorous, free from defects, decay, disfiguring roots, sun scald injuries, abrasions of the bark, plant disease, insect pest eggs, borers and all forms of insect infestations or objectionable disfigurements. Plant material that is weak or which has been cut back from larger grades to meet specified requirements will be rejected. Trees with forked leaders will not be accepted. All plants shall be freshly dug no heated-in plants from cold storage will be accepted. Unless otherwise specified, all general conditions, planting operations, details and planting specifications shall conform to "Landscape Specification Guidelines for Baltimore-Washington Metropolitan Area", (revised) "Landscape Guidelines" approved by the Landscape Contractors Association of Metropolitan Washington and the Potomac Chapter of the American Society of Landscape Architect, latest edition, including all appendices. Contractor shall be required to guarantee all plant material for a period of one year after date of acceptance in accordance with the appropriate section of the Landscape Guidelines. Contractor's attention is directed to the maintenance requirements found within the one year specifications including watering and replacement of specified plant material. Contractor shall be responsible for notifying utility companies, utility contractors and "Miss Utility" a minimum of 48 hours prior to beginning any work. Contractor may make minor adjustments in spacing and location of plant material to avoid conflicts with utilities. Damage to existing structure and utilities shall be repaired at the expense of the Contractor. Protection of existing vegetation to remain shall be accomplished by the temporary installation of 4 foot high snow fence or blaze orange safety fence at the drip line. Contractor is responsible for installing all material in the proper planting season for each plant type. All planting is to be completed within the growing season of completion of site construction. Bid shall be based on actual site conditions. No extra payment shall be made for work arising from site conditions differing from those indicated on drawings and specifications. Plant quantities are provided for the convenience of the contractor only. If discrepancies exist between quantities shown on plan and those shown on the plant list, the quantities on the plant list shall prevail. All shrubs shall be planted in continuous trenches or prepared planting beds and mulched with composted hardwood mulch as details and specified except where noted on plans. Positive drainage shall be maintained in planting beds (2 percent slope). Planting mix shall be as follows: Backfill Plants - Two parts topsoil, one part well-rotted cow or horse manure. Add 3 lbs. of standard fertilizer per cubic yard of planting mix. Evergreen Plants - Two parts topsoil, one part humus or other approved organic material. Add 3 lbs. of evergreen (acidic) fertilizer per cubic yard of planting mix. Topsoil shall conform to the Landscape Guidelines. Weed Control: Incorporate a pre-emergent herbicide into the planting bed following recommended rates on the label. Custom: Be sure to carefully check the chemical used to assure its suitability to the specific ground cover to be treated. All areas within contract limits disturbed during or prior to construction not designated to receive plants and mulch shall be graded and seeded. This plan is intended for landscape use only. See other plan sheets for more information on grading, sediment control, layout, etc.

NOTE: CONTRACTOR TO REGRADE, SOD OR HYDROSEED AND STABILIZE ALL AREAS DISTURBED AS A RESULT OF THEIR WORK.

SPRAY WITH WILT-PROOF ACCORDING TO MANUFACTURER'S STANDARDS

PRUNE 1/3 LEAF AREA BUT RETAIN NATURAL FORM OF TREE

2 PIECES OF REINFORCED RUBBER HOSE

DOUBLE #12 GALVANIZED WIRE GUYED TWISTED

3-2" X 2" OAK STAKES NOTCH STAKES TO HOLD WIRE

WRAP TRUNK TO SECOND TIER OF BRANCHES WITH WATERPROOF TREE WRAP TIE AT 2' INTERVALS (EXCEPT EVERGREENS)

REMOVE ANY COVERING FROM TOP OF ROOT CROWN

3" MULCH

MAINTAIN GROUND LINE WITH TOP OF ROOT CROWN

CONSTRUCT 3" SAUCER RIM-FLOOD WITH WATER TWICE WITHIN 24 HOURS

TOP SOIL MIXTURE: CONVEX BOTTOM 6" MIN. HT.

SHADE TREE PLANTING DETAIL

LEGEND	
SYMBOL	DESCRIPTION
---	EXISTING 2" CONTOUR
----	EXISTING 10" CONTOUR
----	PROPOSED 2" CONTOUR
----	PROPOSED 10" CONTOUR
---	EXISTING STORM DRAIN LINE
---	EXISTING SEWER LINE
---	EXISTING WATER LINE
x x x	PROPOSED FENCE
---	BOUNDARY/RIGHT OF WAY LINE
---	STRUCTURE AND USE SETBACK
---	PROPOSED STORM DRAIN PIPE
---	PROPOSED FORCE MAIN (PUBLIC)
---	PROPOSED FORCE MAIN (PRIVATE)
---	PROPOSED SEWER LINE (PRIVATE)
---	PROPOSED WATER LINE
---	PROPOSED CONCRETE
---	PROPOSED LIGHT
---	EXISTING TREELINE
---	PROPOSED TREELINE
---	EXISTING WETLAND

PURPOSE NOTE:

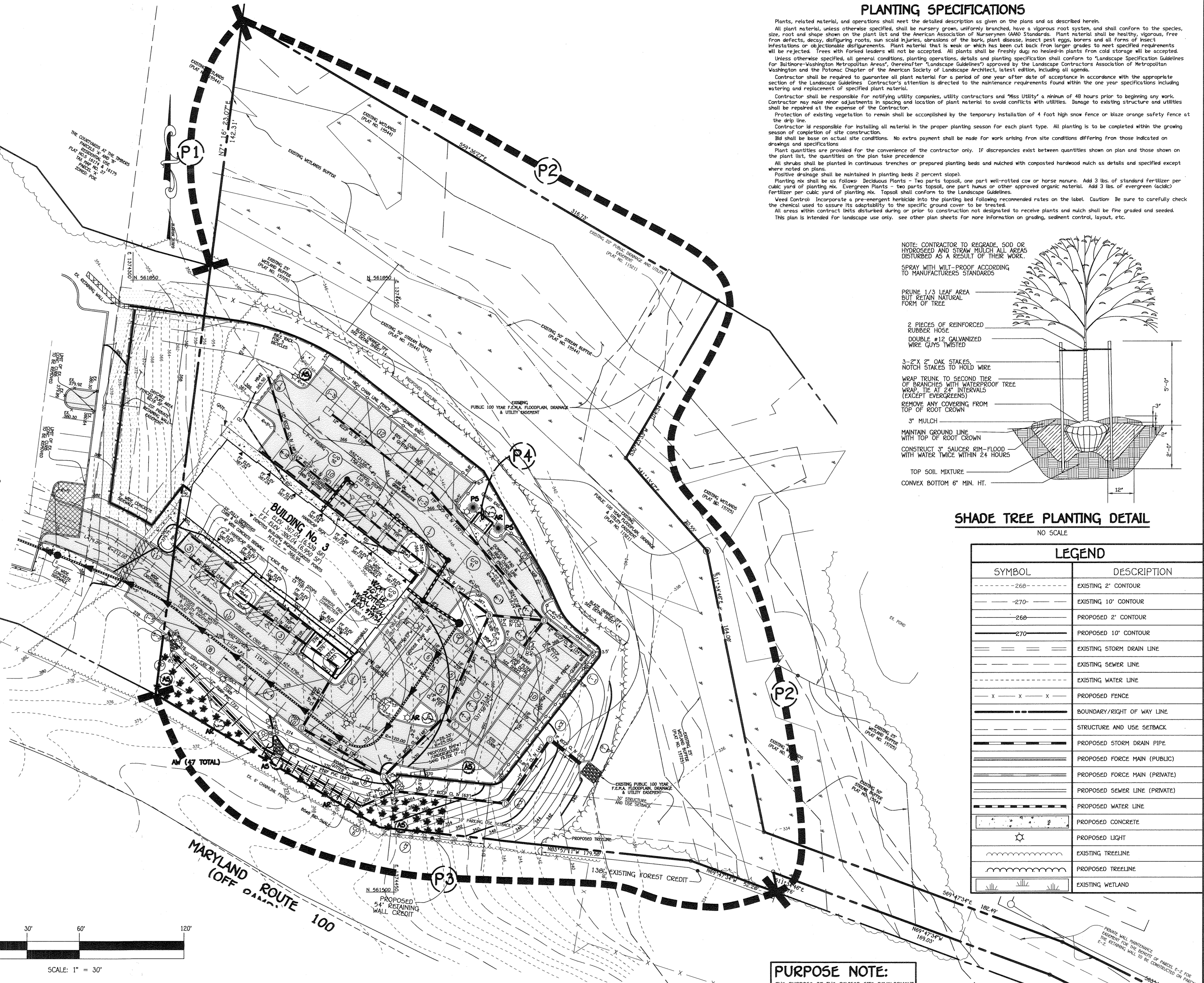
THE PURPOSE OF THE REVISED SITE DEVELOPMENT PLAN WAS TO INCREASE THE BUILDING SIZE, CHANGE THE USE TO DAYCARE, OFFICE AND RESTAURANT AND ADD A FENCED PLAY AREA.

REVISED

LANDSCAPE PLAN
THE WELLNESS CENTER OF HOWARD COUNTY
P/O PARCEL 'A'
RESTAURANT, DAYCARE & OFFICE
ZONED PEC

TAX MAP No. 37 P/O PARCEL No. 687 GRID No. 10
FIRST ELECTION DISTRICT HOWARD COUNTY, MARYLAND
SCALE: 1" = 30' DATE: JANUARY, 2017
SHEET 5 OF 20

SDP-13-065



FISHER, COLLINS & CARTER, INC.
CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
CONTINENTAL SQUARE OFFICE PARK - 10272 BALTIMORE NATIONAL FREE
ELICOTT CITY, MARYLAND 21042
(410) 461-2995

AS-BUILT CERTIFICATION
Note: There is no "AS BUILT" information provided on this sheet.
CHARLES J. CROWLEY, No. 13204
5/14/19

Professional Certification. I hereby certify that the drawings were prepared or approved by me, and that I am a duly licensed professional engineer in the State of Maryland, License No. 13204.
Expiration Date: November 3, 2018.
CHARLES J. CROWLEY, P.E.
3/6/17

LANDSCAPE DEVELOPER'S CERTIFICATE
I/WE CERTIFY THAT THE LANDSCAPING SHOWN ON THIS PLAN WILL BE DONE ACCORDING TO THE PLAN, SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE HOWARD COUNTY LANDSCAPE MANUAL. I/WE FURTHER CERTIFY THAT UPON COMPLETION, A LETTER OF LANDSCAPE INSTALLATION ACCOMPANIED BY AN EXECUTED ONE YEAR GUARANTEE OF PLANT MATERIALS WILL BE SUBMITTED TO THE DEPARTMENT OF PLANNING AND ZONING.
DONALD R. REWIS JR.
3/6/19

DATE	DESCRIPTION
3/12/20	ADDED METAL DECK ABOVE MB NO. 4
9/22/15	ENLARGED MICRO-BIORETENTION FACILITY #2, RELOCATED BEER COOLERS, REVISED THE LOW PRESSURE SEWER ALIGNMENT, ADD 20' PRIVATE RETAINING WALL EASEMENT, REVISED THE LANDSCAPE PLAN TO PROVIDE A TYPE 14' BUFFER FOR P-3, REVISED SURETY.
7/16/15	RELOCATED MICRO-BIO-RETENTION FACILITY
4/13/15	NUMBER 2 TO BE LOCATED NEXT TO THE BEER COOLER, REVISE SEWER MAIN OUTFALL, ADD BEER COOLER AND DECK, RAISE THE FIRST FLOOR BY 1 FOOT AND ADJUST PARKING AREA AND SPOTS, ADD GREASE TRAP TO PLANS, REVISE RETAINING WALL TO THE INTO PROPOSED BUILDING, ADD ADDITIONAL PARKING TO PLANS.

APPROVED: DEPARTMENT OF PLANNING AND ZONING
N. Kelly
Director - Department of Planning and Zoning
3-14-17
K. J. DeLoach
Chief, Division of Land Development
3-15-17
D. J. Edwards
Chief, Development Engineering Division
3-10-17

DEVELOPER/OWNER
100-103 CENTER, L.L.C.
100 OVERLOOK, L.L.C.
c/o LAND DESIGN AND DEVELOPMENT, INC.
5300 DORSEY HALL DRIVE
SUITE 102
ELICOTT CITY, MARYLAND 21043
443-367-0422

Address Chart	
BUILDING NO.	STREET ADDRESS
3	6050 MEADOWRIDGE CENTER DRIVE

PROJECT	SECTION/AREA	PARCELS	LOT
THE WELLNESS CENTER OF HOWARD COUNTY		687	P/O P. 'A'

DEED FEET	BLOCK NO.	ZONE	TAX MAP	ELEC. DIST.	CENSUS TR.
PLAT #22805-22806 PLAT #20885	10	PEC	37	FIRST	6030

THERE IS NO "AS-BUILT" INFORMATION PROVIDED ON THIS SHEET

SOIL PREPARATION, TOPSOILING AND SOIL AMENDMENTS (B-4-2)

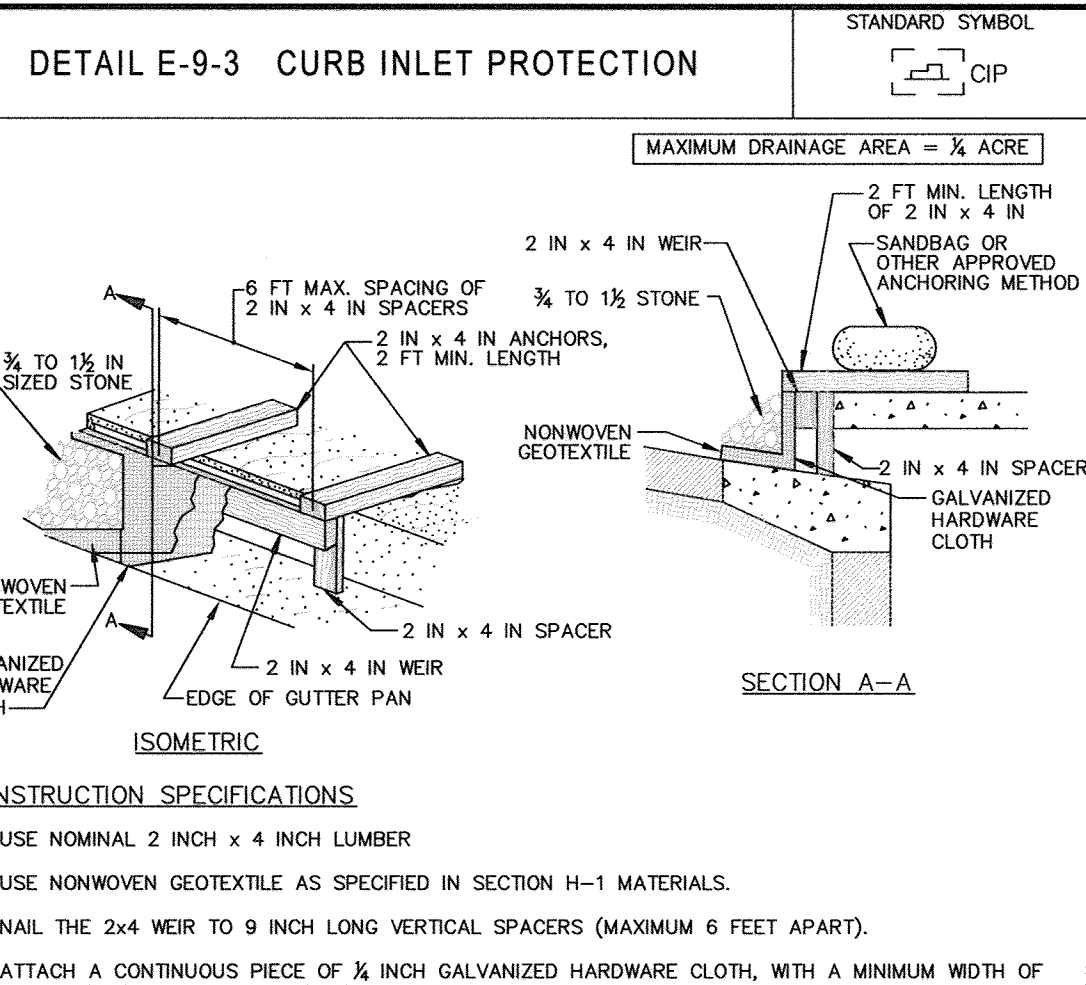
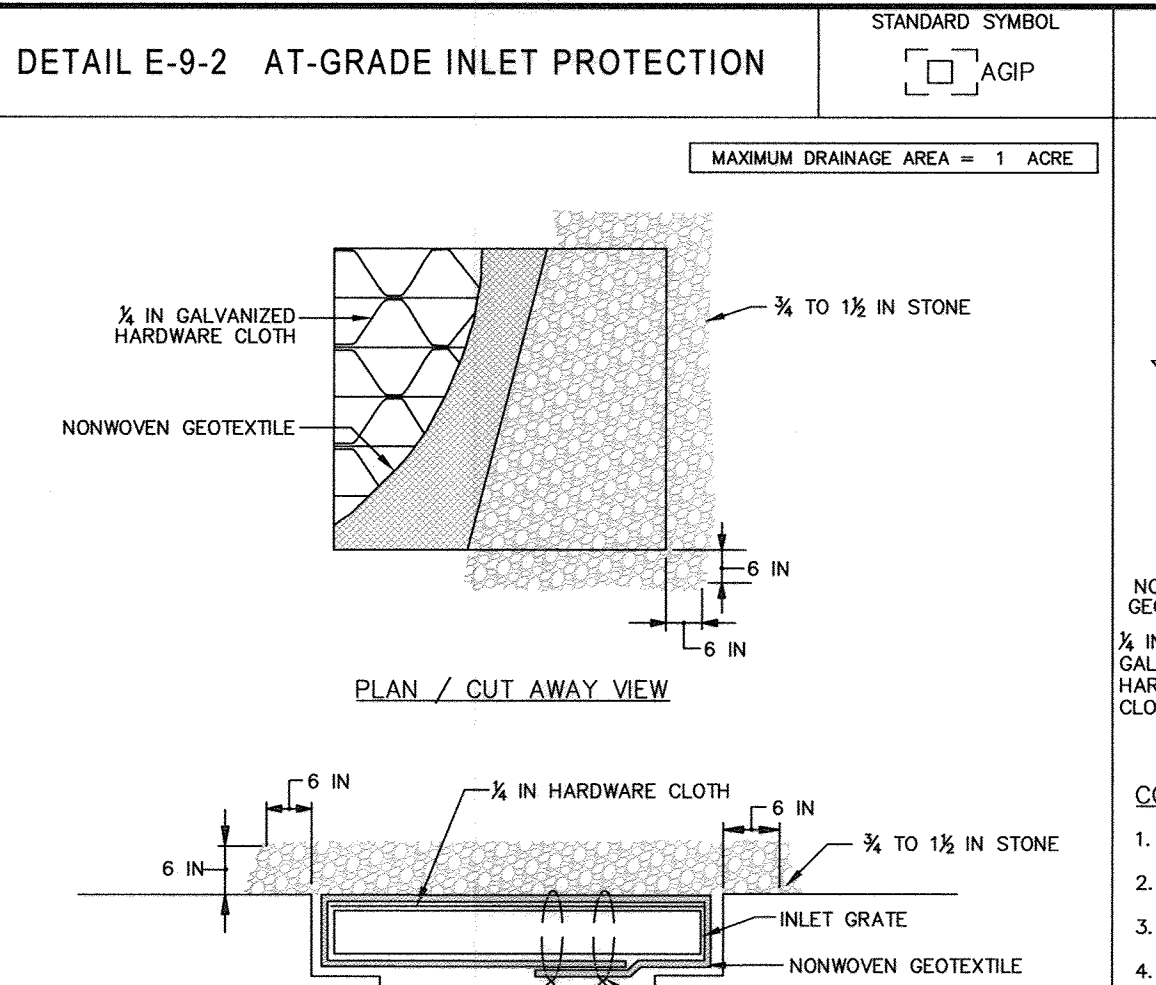
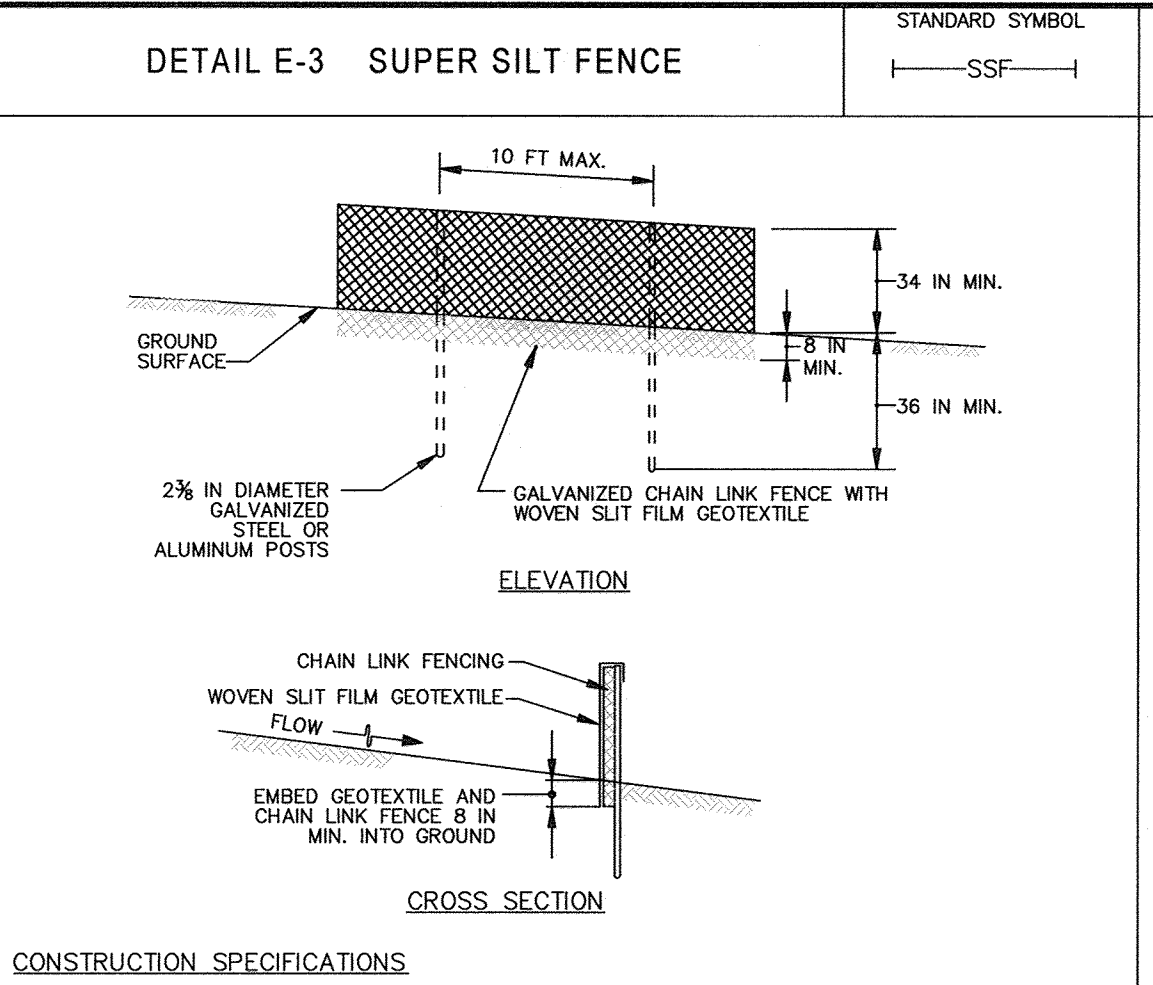
A. Soil Preparation

- Temporary Stabilization
- Seeded preparation consists of loosening soil to a depth of 3 to 5 inches by means of suitable agricultural or construction equipment, such as disc harrows or chisel plows or rippers mounted on construction equipment. After the soil is loosened, it must be rolled or dragged smooth but left in the roughened condition. Steps 3a or 3b or 3c or 3d or 3e or 3f or 3g or 3h or 3i or 3j or 3k or 3l or 3m or 3n or 3o or 3p or 3q or 3r or 3s or 3t or 3u or 3v or 3w or 3x or 3y or 3z or 3aa or 3ab or 3ac or 3ad or 3ae or 3af or 3ag or 3ah or 3ai or 3aj or 3ak or 3al or 3am or 3an or 3ao or 3ap or 3aq or 3ar or 3as or 3at or 3au or 3av or 3aw or 3ax or 3ay or 3az or 3ba or 3bb or 3bc or 3bd or 3be or 3bf or 3bg or 3bh or 3bi or 3bj or 3bk or 3bl or 3bm or 3bn or 3bo or 3bp or 3bq or 3br or 3bs or 3bt or 3bu or 3bv or 3bw or 3bx or 3by or 3bz or 3ca or 3cb or 3cc or 3cd or 3ce or 3cf or 3cg or 3ch or 3ci or 3cj or 3ck or 3cl or 3cm or 3cn or 3co or 3cp or 3cq or 3cr or 3cs or 3ct or 3cu or 3cv or 3cw or 3cx or 3cy or 3cz or 3da or 3db or 3dc or 3dd or 3de or 3df or 3dg or 3dh or 3di or 3dj or 3dk or 3dl or 3dm or 3dn or 3do or 3dp or 3dq or 3dr or 3ds or 3dt or 3du or 3dv or 3dw or 3dx or 3dy or 3dz or 3ea or 3eb or 3ec or 3ed or 3ee or 3ef or 3eg or 3eh or 3ei or 3ej or 3ek or 3el or 3em or 3en or 3eo or 3ep or 3eq or 3er or 3es or 3et or 3eu or 3ev or 3ew or 3ex or 3ey or 3ez or 3fa or 3fb or 3fc or 3fd or 3fe or 3ff or 3fg or 3fh or 3fi or 3fj or 3fk or 3fl or 3fm or 3fn or 3fo or 3fp or 3fq or 3fr or 3fs or 3ft or 3fu or 3fv or 3fw or 3fx or 3fy or 3fz or 3ga or 3gb or 3gc or 3gd or 3ge or 3gf or 3gg or 3gh or 3gi or 3gj or 3gk or 3gl or 3gm or 3gn or 3go or 3gp or 3gq or 3gr or 3gs or 3gt or 3gu or 3gv or 3gw or 3gx or 3gy or 3gz or 3ha or 3hb or 3hc or 3hd or 3he or 3hf or 3hg or 3hi or 3hj or 3hk or 3hl or 3hm or 3hn or 3ho or 3hp or 3hq or 3hr or 3hs or 3ht or 3hu or 3hv or 3hw or 3hx or 3hy or 3hz or 3ia or 3ib or 3ic or 3id or 3ie or 3if or 3ig or 3ih or 3ii or 3ij or 3ik or 3il or 3im or 3in or 3io or 3ip or 3iq or 3ir or 3is or 3it or 3iu or 3iv or 3iw or 3ix or 3iy or 3iz or 3ja or 3jb or 3jc or 3jd or 3je or 3jf or 3jg or 3jh or 3ji or 3jj or 3jk or 3jl or 3jm or 3jn or 3jo or 3jp or 3jq or 3jr or 3js or 3jt or 3ju or 3jv or 3jw or 3jx or 3jy or 3jz or 3ka or 3kb or 3kc or 3kd or 3ke or 3kf or 3kg or 3kh or 3ki or 3kj or 3kk or 3kl or 3km or 3kn or 3ko or 3kp or 3kq or 3kr or 3ks or 3kt or 3ku or 3kv or 3kw or 3kx or 3ky or 3kz or 3la or 3lb or 3lc or 3ld or 3le or 3lf or 3lg or 3lh or 3li or 3lj or 3lk or 3ll or 3lm or 3ln or 3lo or 3lp or 3lq or 3lr or 3ls or 3lt or 3lu or 3lv or 3lw or 3lx or 3ly or 3lz or 3ma or 3mb or 3mc or 3md or 3me or 3mf or 3mg or 3mh or 3mi or 3mj or 3mk or 3ml or 3mm or 3mn or 3mo or 3mp or 3mq or 3mr or 3ms or 3mt or 3mu or 3mv or 3mw or 3mx or 3my or 3mz or 3na or 3nb or 3nc or 3nd or 3ne or 3nf or 3ng or 3nh or 3ni or 3nj or 3nk or 3nl or 3nm or 3nn or 3no or 3np or 3nq or 3nr or 3ns or 3nt or 3nu or 3nv or 3nw or 3nx or 3ny or 3nz or 3oa or 3ob or 3oc or 3od or 3oe or 3of or 3og or 3oh or 3oi or 3oj or 3ok or 3ol or 3om or 3on or 3oo or 3op or 3oq or 3or or 3os or 3ot or 3ou or 3ov or 3ow or 3ox or 3oy or 3oz or 3pa or 3pb or 3pc or 3pd or 3pe or 3pf or 3pg or 3ph or 3pi or 3pj or 3pk or 3pl or 3pm or 3pn or 3po or 3pp or 3pq or 3pr or 3ps or 3pt or 3pu or 3pv or 3pw or 3px or 3py or 3pz or 3qa or 3qb or 3qc or 3qd or 3qe or 3qf or 3qg or 3qh or 3qi or 3qj or 3qk or 3ql or 3qm or 3qn or 3qo or 3qp or 3qq or 3qr or 3qs or 3qt or 3qu or 3qv or 3qw or 3qx or 3qy or 3qz or 3ra or 3rb or 3rc or 3rd or 3re or 3rf or 3rg or 3rh or 3ri or 3rj or 3rk or 3rl or 3rm or 3rn or 3ro or 3rp or 3rq or 3rr or 3rs or 3rt or 3ru or 3rv or 3rw or 3rx or 3ry or 3rz or 3sa or 3sb or 3sc or 3sd or 3se or 3sf or 3sg or 3sh or 3si or 3sj or 3sk or 3sl or 3sm or 3sn or 3so or 3sp or 3sq or 3sr or 3ss or 3st or 3su or 3sv or 3sw or 3sx or 3sy or 3sz or 3ta or 3tb or 3tc or 3td or 3te or 3tf or 3tg or 3th or 3ti or 3tj or 3tk or 3tl or 3tm or 3tn or 3to or 3tp or 3tq or 3tr or 3ts or 3tt or 3tu or 3tv or 3tw or 3tx or 3ty or 3tz or 3ua or 3ub or 3uc or 3ud or 3ue or 3uf or 3ug or 3uh or 3ui or 3uj or 3uk or 3ul or 3um or 3un or 3uo or 3up or 3uq or 3ur or 3us or 3ut or 3uu or 3uv or 3uw or 3ux or 3uy or 3uz or 3va or 3vb or 3vc or 3vd or 3ve or 3vf or 3vg or 3vh or 3vi or 3vj or 3vk or 3vl or 3vm or 3vn or 3vo or 3vp or 3vq or 3vr or 3vs or 3vt or 3vu or 3vv or 3vw or 3vx or 3vy or 3vz or 3wa or 3wb or 3wc or 3wd or 3we or 3wf or 3wg or 3wh or 3wi or 3wj or 3wk or 3wl or 3wm or 3wn or 3wo or 3wp or 3wq or 3wr or 3ws or 3wt or 3wu or 3wv or 3ww or 3wx or 3wy or 3wz or 3xa or 3xb or 3xc or 3xd or 3xe or 3xf or 3xg or 3xh or 3xi or 3xj or 3xk or 3xl or 3xm or 3xn or 3xo or 3xp or 3xq or 3xr or 3xs or 3xt or 3xu or 3xv or 3xw or 3xx or 3xy or 3xz or 3ya or 3yb or 3yc or 3yd or 3ye or 3yf or 3yg or 3yh or 3yi or 3yj or 3yk or 3yl or 3ym or 3yn or 3yo or 3yp or 3yq or 3yr or 3ys or 3yt or 3yu or 3yv or 3yw or 3yx or 3yy or 3yz or 3za or 3zb or 3zc or 3zd or 3ze or 3zf or 3zg or 3zh or 3zi or 3zj or 3zk or 3zl or 3zm or 3zn or 3zo or 3zp or 3zq or 3zr or 3zs or 3zt or 3zu or 3zv or 3zw or 3zx or 3zy or 3zz

PERMANENT SEEDING NOTES (B-4-5)

A. Seed Mixtures

- General Use
- Turfgrass Mixtures
- Areas where turfgrass may be desired include lawns, parks, playgrounds, and commercial sites which will receive a medium to high level of maintenance.
- For sites having disturbed area over 5 acres, use and show the rates recommended by the soil testing agency. For areas receiving low maintenance, high use turf from fertilizer 40-0-20 at 3 1/2 pounds per 1000 square feet (500 pounds per acre) at the time of seeding in addition to the soil amendments shown in the Permanent Seeding Summary.



B-4-8 STANDARDS AND SPECIFICATIONS FOR STOCKPILE AREA

A mound or pile of soil protected by appropriately designed erosion and sediment control measures.

Purpose: To provide a designated location for the temporary storage of soil that controls the potential for erosion, sedimentation, and changes to drainage patterns.

Conditions Where Practice Applies: Stockpile areas are utilized when it is necessary to salvage and store soil for later use.

Criteria:

- The stockpile location and all related sediment control practices must be clearly indicated on the erosion and sediment control plan.
- The footprint of the stockpile must be sized to accommodate the anticipated volume of material and based on a side slope ratio no steeper than 2:1. Berthing must be provided in accordance with Section B-3 Land Grading.
- Runoff from the stockpile area must drain to a suitable sediment control practice.
- Access the stockpile area from the upgrade side.
- Clear water runoff into the stockpile area must be minimized by use of a diversion device such as an earth dike, temporary weeder or diversion fence. Provision must be made for discharging concentrated flow in a non-erosive manner.
- Where runoff concentrates along the toe of the stockpile, fill an appropriate erosion/sediment control practice must be used to intercept the discharge.
- Stockpiles must be stabilized in accordance with the 3:2 stabilization requirement as well as standard B-4-1 Incremental Stabilization and Standard B-4-4 Temporary Stabilization.
- If the stockpile is located on an impervious surface, a liner should be provided below the stockpile to facilitate cleanup. Stockpiles containing contaminated material must be covered with impermeable sheeting.

Maintenance: The stockpile area must continue to meet the requirements for Adequate Vegetative Establishment in accordance with Section B-4 Vegetative Stabilization. Side slopes must be maintained at no steeper than a 2:1 ratio. The stockpile area must be kept free of erosion. If the vertical height of a stockpile exceeds 20 feet for 2:1 slopes, 30 feet for 3:1 slopes, or 40 feet for 4:1 slopes, berthing must be provided in accordance with Section B-3 Land Grading.

B. Topsoiling

- Topsoil placed over prepared subsoil prior to establishment of permanent vegetation. The purpose is to provide a suitable soil medium for vegetative growth. Soil of concern have low moisture content, low nutrient levels, low pH, materials toxic to plants, and/or unacceptable soil gradation.
- Topsoil salvaged from an existing site may be used provided it meets the standards as set forth in these specifications. Typically, the depth of topsoil to be salvaged for a given soil type can be found in the representative soil profile section in the Soil Survey published by USDA-NRCS.
- Topsoiling is limited to areas having 2:1 or flatter slopes where
- The texture of the exposed subsoil/parent material is not adequate to produce vegetative growth.
- The soil material is so shallow that the rooting zone is not deep enough to support plants or furnish continuing supplies of moisture and plant nutrients.
- The original soil to be vegetated contains material toxic to plant growth.
- The soil is so acidic that treatment with limestone is not feasible.
- Areas having slopes steeper than 2:1 require special consideration and design.
- Topsoiling Specifications: Soil to be used shall meet the following criteria:
 - Topsoil must be a loam, sandy loam, clay loam, silt loam, sandy clay loam, or loamy sand. Other soils may be used if recommended by an agronomist or soil scientist and approved by the appropriate approval authority. Topsoil must not be a mixture of controlling tree/shrub, grass, and/or other materials larger than 1/2 inches in diameter.
 - Topsoil must be free of noxious plants or plant parts such as Bermuda grass, quack grass, Johnson grass, net sedge, poison ivy, yellow, or others as specified.
 - Topsoil substitutes or amendments, as recommended by a qualified agronomist or soil scientist and approved by the appropriate approval authority, may be used in lieu of natural topsoil.

PERMANENT SEEDING NOTES (B-4-5) - Continued

- Fasten 1/2 inch diameter galvanized steel posts to the fence posts with wire ties or hug rings.
- Fasten woven silt film geotextile as specified in section H-1 materials, securely to the upslope side of chain link fence with ties spaced every 24 inches at the top and mid section. Embed geotextile and chain link fence a minimum of 8 inches into the ground.
- Where ends of the geotextile meet together, the ends shall be overlapped by 6 inches, folded, and stapled to prevent sediment by pass.
- Extend both ends of the super silt fence a minimum of five horizontal feet upslope at 45 degrees to the main fence alignment to prevent runoff from going around the ends of the super silt fence.
- Provide manufacturer certification to the inspection/enforcement authority showing that geotextile used meets the requirements in section H-1 materials.
- Remove accumulated sediment and debris when bulges develop in fence or when sediment reaches 25% of fence height. Replace geotextile if torn. If undermining occurs, reinstall chain link fencing and geotextile.

CONSTRUCTION SPECIFICATIONS

- INSTALL 1/2 INCH DIAMETER GALVANIZED STEEL POSTS OF 0.095 INCH WALL THICKNESS AND SIX FOOT LENGTH SPACED NO FURTHER THAN 10 FEET APART. DRIVE THE POSTS A MINIMUM OF 36 INCHES INTO THE GROUND.
- FASTEN 1/2 GAUGE OR HEAVIER GALVANIZED CHAIN LINK FENCE (2% INCH MAXIMUM OPENING) 42 INCHES IN HEIGHT SECURELY TO THE FENCE POSTS WITH WIRE TIES OR HUG RINGS.
- FASTEN WOVEN SILT FILM GEOTEXTILE AS SPECIFIED IN SECTION H-1 MATERIALS, SECURELY TO THE UPSLOPE SIDE OF CHAIN LINK FENCE WITH TIES SPACED EVERY 24 INCHES AT THE TOP AND MID SECTION. EMBED GEOTEXTILE AND CHAIN LINK FENCE A MINIMUM OF 8 INCHES INTO THE GROUND.
- WHERE ENDS OF THE GEOTEXTILE MEET TOGETHER, THE ENDS SHALL BE OVERLAPPED BY 6 INCHES, FOLDED, AND STAPLED TO PREVENT SEDIMENT BY PASS.
- EXTEND BOTH ENDS OF THE SUPER SILT FENCE A MINIMUM OF FIVE HORIZONTAL FEET UPSLOPE AT 45 DEGREES TO THE MAIN FENCE ALIGNMENT TO PREVENT RUNOFF FROM GOING AROUND THE ENDS OF THE SUPER SILT FENCE.
- PROVIDE MANUFACTURER CERTIFICATION TO THE INSPECTION/ENFORCEMENT AUTHORITY SHOWING THAT GEOTEXTILE USED MEETS THE REQUIREMENTS IN SECTION H-1 MATERIALS.
- REMOVE ACCUMULATED SEDIMENT AND DEBRIS WHEN BULGES DEVELOP IN FENCE OR WHEN SEDIMENT REACHES 25% OF FENCE HEIGHT. REPLACE GEOTEXTILE IF TORN. IF UNDERMINING OCCURS, REINSTALL CHAIN LINK FENCING AND GEOTEXTILE.

CONSTRUCTION SPECIFICATIONS

- USE NONWOVEN GEOTEXTILE AS SPECIFIED IN SECTION H-1 MATERIALS.
- LIFT GRATE AND WRAP WITH NONWOVEN GEOTEXTILE TO COMPLETELY COVER ALL OPENINGS. SECURE WITH WIRE TIES AND SET GRATE BACK IN PLACE.
- PLACE CLEAN 3/4 TO 1 1/2 INCH STONE OR EQUIVALENT RECYCLED CONCRETE 6 INCHES THICK ON THE GRATE.
- STORM DRAIN INLET PROTECTION REQUIRES FREQUENT MAINTENANCE. REMOVE ACCUMULATED SEDIMENT AFTER EACH RAIN EVENT TO MAINTAIN FUNCTION AND AVOID PREMATURE CLOGGING. IF INLET PROTECTION DOES NOT COMPLETELY DRAIN WITHIN 24 HOURS AFTER A STORM EVENT, IT IS CLOGGED. WHEN THIS OCCURS, REMOVE ACCUMULATED SEDIMENT AND CLEAN, OR REPLACE GEOTEXTILE AND STONE.

CONSTRUCTION SPECIFICATIONS

- USE NOMINAL 2 INCH X 4 INCH LUMBER
- USE NONWOVEN GEOTEXTILE AS SPECIFIED IN SECTION H-1 MATERIALS.
- NAIL THE 2x4 WEIR TO 9 INCH LONG VERTICAL SPACERS (MAXIMUM 6 FEET APART).
- ATTACH A CONTINUOUS PIECE OF 1/2 INCH GALVANIZED HARDWARE CLOTH WITH A MINIMUM WIDTH OF 30 INCHES AND A MINIMUM LENGTH OF 4 FEET LONGER THAN THE THROAT OPENING, TO THE 2x4 WEIR, EXTENDING 12 FEET BEYOND THROAT ON EACH SIDE.
- PLACE A CONTINUOUS PIECE OF NONWOVEN GEOTEXTILE OF THE SAME DIMENSIONS AS THE HARDWARE CLOTH OVER THE HARDWARE CLOTH AND SECURELY ATTACH TO THE 2x4 WEIR.
- PLACE THE ASSEMBLY AGAINST THE INLET THROAT AND NAIL TO 2x4 ANCHORS (MINIMUM 2 FEET LENGTH). EXTEND THE ANCHORS ACROSS THE INLET TOP AND HOLD IN PLACE BY SANDBAGS OR OTHER APPROVED ANCHORING METHOD.
- INSTALL END SPACERS A MINIMUM OF 1 FOOT BETWEEN THE ENDS OF THE THROAT OPENING.
- FORM THE HARDWARE CLOTH AND THE GEOTEXTILE TO THE CONCRETE GUTTER AND FACE OF CURB TO SPAN THE INLET OPENING. COVER THE HARDWARE CLOTH AND GEOTEXTILE WITH CLEAN 3/4 TO 1 1/2 INCH STONE OR EQUIVALENT RECYCLED CONCRETE.
- AT NON-SUMP LOCATIONS, INSTALL A TEMPORARY SANDBAG OR ASPHALT BERM TO PREVENT INLET BYPASS.
- STORM DRAIN INLET PROTECTION REQUIRES FREQUENT MAINTENANCE. REMOVE ACCUMULATED SEDIMENT AFTER EACH RAIN EVENT TO MAINTAIN FUNCTION AND AVOID PREMATURE CLOGGING. IF INLET PROTECTION DOES NOT COMPLETELY DRAIN WITHIN 24 HOURS AFTER A STORM EVENT, IT IS CLOGGED. WHEN THIS OCCURS, REMOVE ACCUMULATED SEDIMENT AND CLEAN, OR REPLACE GEOTEXTILE AND STONE.

DUST CONTROL

DEFINITION

CONTROLLING DUST BLOWING AND MOVEMENT ON CONSTRUCTION SITES AND ROADS.

PURPOSE

TO PREVENT BLOWING AND MOVEMENT OF DUST FROM EXPOSED SOIL SURFACES, REDUCE ON AND OFF-SITE DAMAGE, HEALTH HAZARDS AND IMPROVE TRAFFIC SAFETY.

CONDITIONS WHERE PRACTICE APPLIES

THIS PRACTICE IS APPLICABLE TO AREAS SUBJECT TO DUST BLOWING AND MOVEMENT WHERE ON AND OFF-SITE DAMAGE IS LIKELY WITHOUT TREATMENT.

SPECIFICATIONS

TEMPORARY METHODS

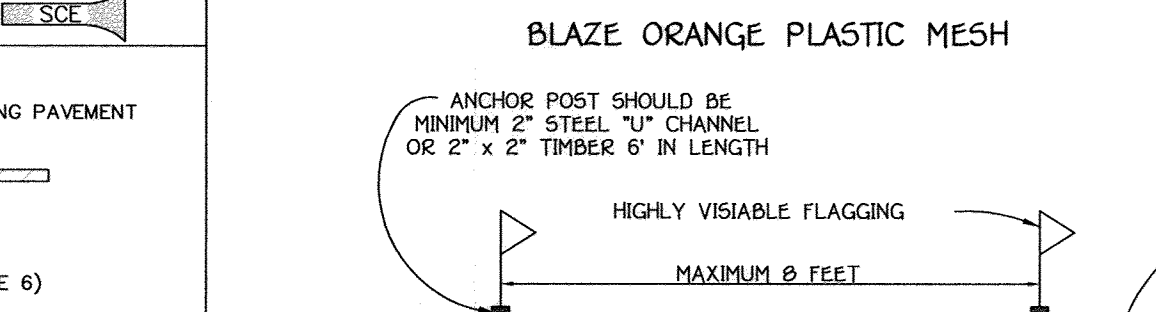
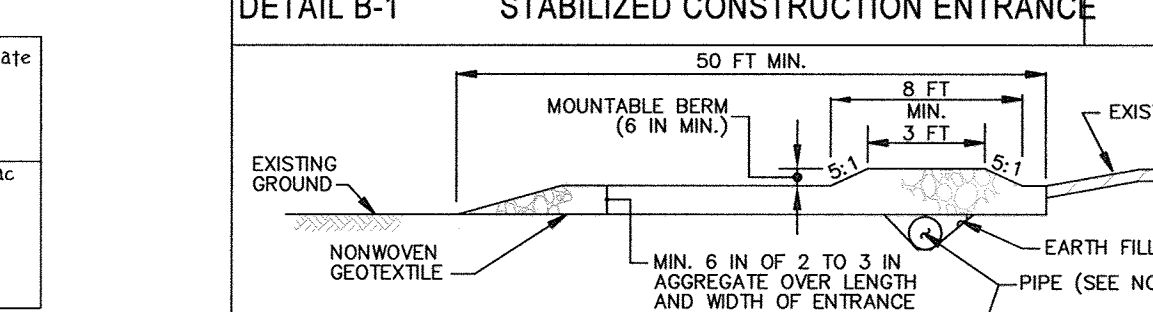
- MULCHES - SEE STANDARDS FOR VEGETATIVE STABILIZATION WITH MULCHES ONLY. MULCH SHOULD BE CRIMPED OR TACKED TO PREVENT BLOWING.
- VEGETATIVE COVER - SEE STANDARDS FOR TEMPORARY VEGETATIVE COVER.
- TILLAGE - TO ROUGHEN SURFACE AND BRING CLODS TO THE SURFACE. THIS IS AN EMERGENCY MEASURE WHICH SHOULD BE USED BEFORE SOIL BLOWING STARTS. BEGIN PLOWING ON WINDWARD SIDE OF THE SITE. CHESEL-TYPE PLOWS SHOULD BE ABOUT 12" APART. SPRING-TOOTHED HARROWS AND SIMILAR PLOWS ARE EXAMPLES OF EQUIPMENT WHICH MAY PRODUCE THE DESIRED EFFECT.
- IRRIGATION - THIS IS GENERALLY DONE AS AN EMERGENCY TREATMENT. SITE IS SPRINKLED WITH WATER UNTIL THE SURFACE IS MOIST. REPEAT AS NEEDED. AT NO TIME SHOULD THE SITE BE IRRIGATED TO THE POINT THAT RUNOFF BEGINS TO FLOW.
- BARRIERS - SOLID BOARD FENCES, SILT FENCES, SNOW FENCES, BURLAP FENCES, STRAW BALE DIKES AND SIMILAR MATERIAL CAN BE USED TO CONTROL AIR CURRENTS AND SOIL BLOWING. BARRIERS PLACED AT RIGHT ANGLES TO PREVAILING CURRENTS AT INTERVALS OF ABOUT 10 TIMES THEIR HEIGHT ARE EFFECTIVE IN CONTROLLING SOIL BLOWING.
- CALCIUM CHLORIDE - APPLY AT RATES THAT WILL KEEP SURFACE MOIST. MAY NEED RETREATMENT.

PERMANENT METHODS

- PERMANENT VEGETATION - SEE STANDARDS FOR PERMANENT VEGETATIVE COVER AND PERMANENT STABILIZATION WITH SOIL. EXISTING TREES OR LARGE SHRUBS MAY AFFORD VALUABLE PROTECTION IF LEFT IN PLACE.
- TOPSOILING - COVERING WITH LESS EROSION SOIL MATERIALS. SEE STANDARDS FOR TOPSOILING.
- STONE - COVER SURFACE WITH CRUSHED STONE OR COARSE GRAVEL.

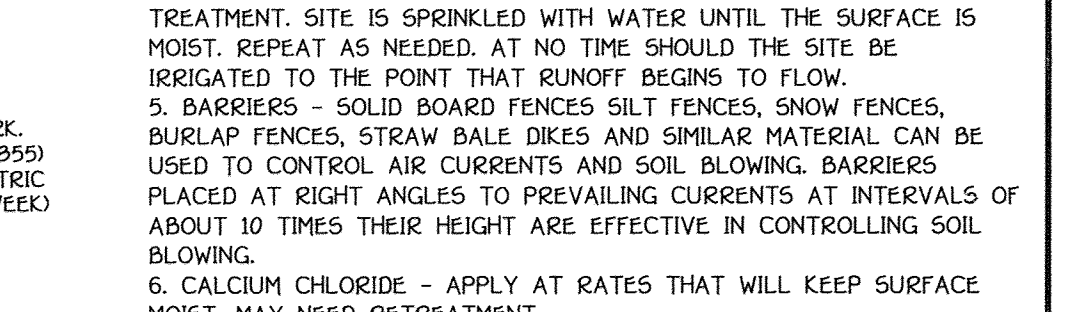
No.	Tax	Application Rate (lb/acre)	Seeding Date	Seeding Depth (in)	N	P ₂ O ₅	K ₂ O	Lime Rate (lb/acre)
1	FESCUE	100	Mar. 15 - May 15 Aug. 15 - Oct. 15	1/4 - 1/2	45 lb./acre (2 lb./1000 sq ft)	90 lb./acre (2 lb./1000 sq ft)	90 lb./acre (2 lb./1000 sq ft)	2 tons/acre (90 lb./1000 sq ft)

Hardness Zone (from Figure B.3)	Seeding Rate (lb/acre)	Fertilizer Rate (lb/acre)	Lime Rate (lb/acre)
1	100	100-200	2 tons/acre



SEQUENCE OF CONSTRUCTION

- OBTAIN GRADING PERMIT. (1 DAY)
- NOTIFY MISS UTILITY (1-800-257-7777) 48 HOURS BEFORE STARTING WORK. NOTIFY THE HOWARD COUNTY CONSTRUCTION INSPECTION DIVISION (410-313-8955) 24 HOURS BEFORE STARTING WORK, AND NOTIFY THE BALTIMORE GAS ELECTRIC CO. (410-291-5739) FIVE (5) WORKING DAYS PRIOR TO STARTING WORK. (1 WEEK)
- CLEAR AND GRUB FOR SEDIMENT CONTROL MEASURES ONLY. INSTALL STABILIZED CONSTRUCTION ENTRANCE. (2 DAYS)
- INSTALL ALL REMAINING PERIMETER CONTROLS: SUPER SILT FENCE AND TREE PROTECTION FENCING. (1 WEEK)
- WITH PERMISSION OF THE SEDIMENT CONTROL INSPECTOR, CLEAR AND GRUB FOR THE REMAINDER OF THE SITE. (1 WEEK)
- CONSTRUCT RETAINING WALLS AND GRADE SITE TO THE PROPOSED SUBGRADE. (4 WEEKS)
- CONSTRUCT THE UNDERGROUND SWM FACILITY AND CONTROL STRUCTURES. INSTALL THE STORM DRAIN SYSTEM AND ASSOCIATED WATER AND SEWER UTILITIES. STABILIZE ALL SLOPES INCLUDING CHANNEL IMMEDIATELY UPON COMPLETION OF GRADING AS SHOWN.
- BEGIN CONSTRUCTION OF BUILDING. (8 MONTHS)
- INSTALL STORM DRAIN AND INLETS, ROOF DRAINS, AND INSTALL INLET PROTECTION ON EACH INLET. (1 WEEK)
- INSTALL SIDEWALKS, LIGHTING AND LANDSCAPING. (2 WEEKS)
- STABILIZE ALL DISTURBED AREAS IN ACCORDANCE WITH THE PERMANENT SEEDING SPECIFICATIONS. (1 DAY)
- INSTALL SURFACE COURSE PAVING. (1 WEEK)
- THOROUGHLY CLEAN (FLUSH) THE STORM DRAIN SYSTEMS. (1 DAY)
- WITH APPROVAL FROM THE SEDIMENT CONTROL INSPECTOR, REMOVE SEDIMENT CONTROLS, BARRIERS, PERIMETER FENCES AND STABILIZE IN ACCORDANCE WITH THE PERMANENT SEEDING SPECIFICATIONS. (1 WEEK)

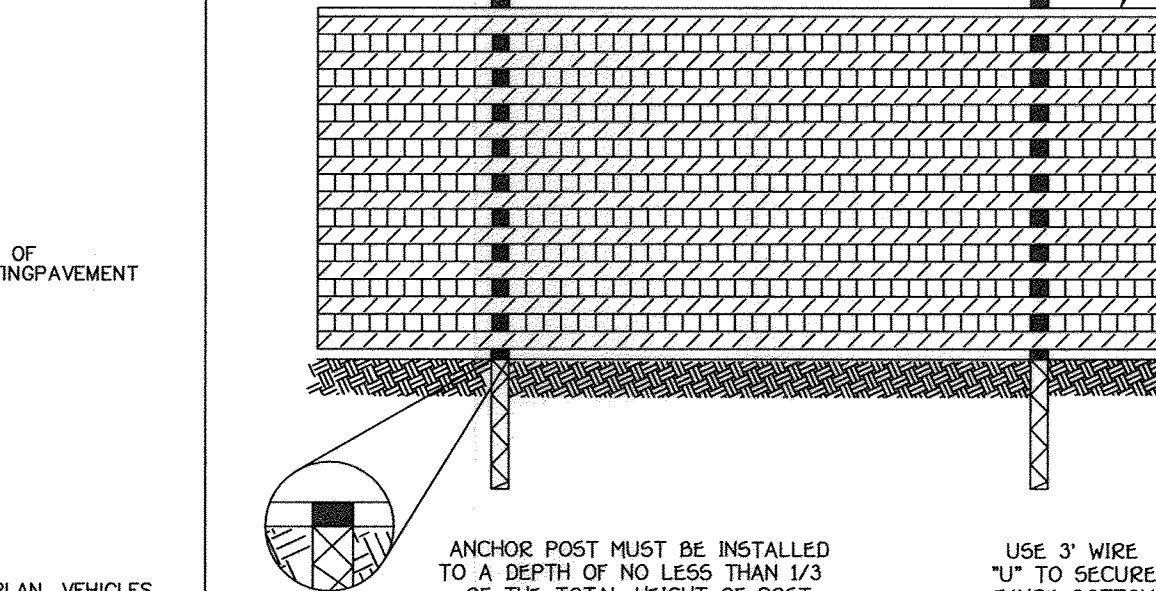
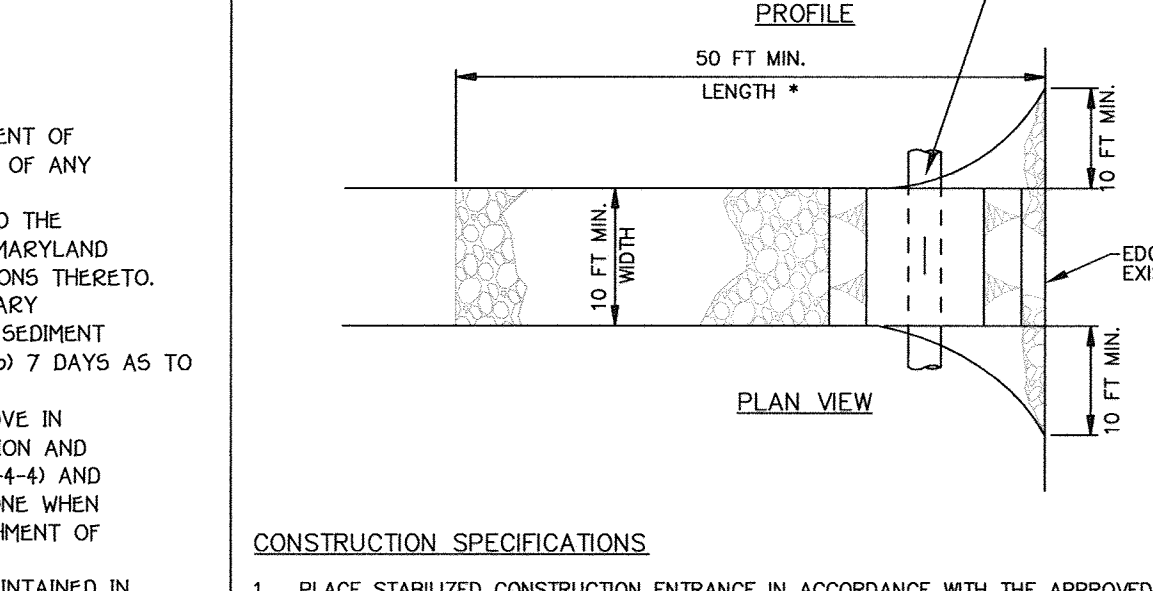


C. Soil Amendments (Fertilizer and Lime Specifications)

- Soil tests must be performed to determine the exact ratios and application rates for both lime and fertilizer on sites having disturbed areas of 5 acres or more. Soil analysis may be performed by a recognized private or commercial laboratory. Soil samples taken for engineering purposes may also be used for chemical analyses.
- Fertilizers must be uniform in composition, free flowing and suitable for accurate application by appropriate equipment. Manure may be substituted for fertilizer with prior approval from the appropriate approval authority. Fertilizers must be all delivered to the site fully baled according to the applicable laws and must bear the name, trade name or trademark and weight of the product.
- Lime materials must be ground limestone (disturbed or burnt lime may be substituted except when hydroseeding which contains at least 50 percent total oxides calcium oxide plus magnesium oxide). Limestone must be ground to such fineness that at least 50 percent will pass through a #100 mesh sieve and 98 to 100 percent will pass through a #20 mesh sieve.
- Lime and fertilizer are to be evenly distributed and incorporated into the top 3 to 5 inches of soil by disking or other suitable means.
- Where the subsoil is either light clay or composed of heavy clays, spread ground limestone at the rate of 4 to 8 tons/acre (2000-4000 pounds per 1000 square feet) prior to the placement of topsoil.

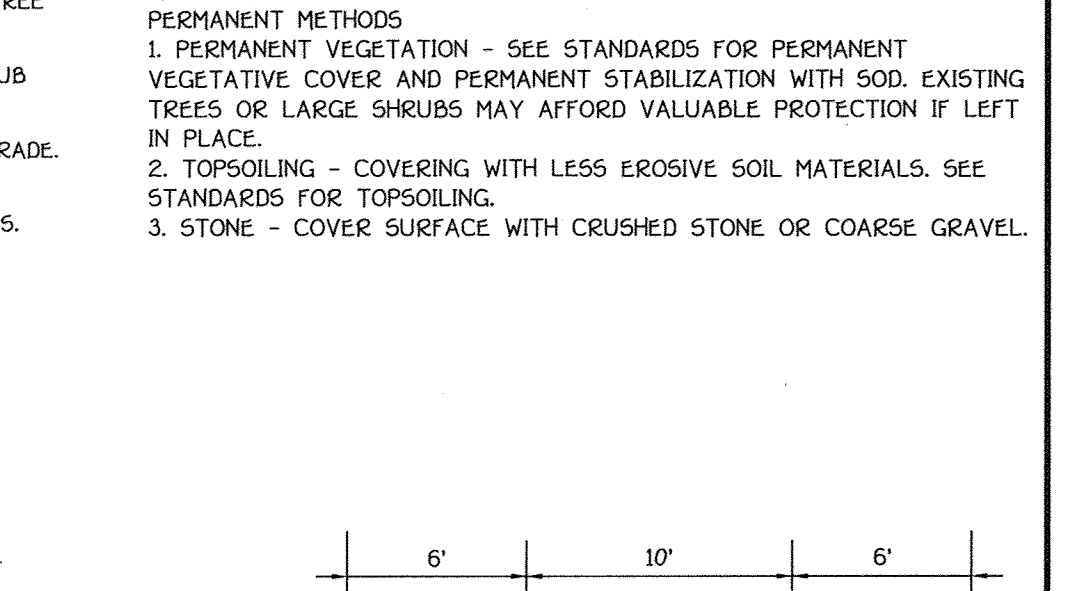
HOWARD SOIL CONSERVATION DISTRICT STANDARD SEDIMENT CONTROL NOTES

- A MINIMUM OF 48 HOURS NOTICE MUST BE GIVEN TO THE HOWARD COUNTY DEPARTMENT OF INSPECTIONS, LICENSES AND PERMITS, SEDIMENT CONTROL DIVISION PRIOR TO THE START OF ANY CONSTRUCTION (410-313-8955).
- ALL VEGETATIVE AND STRUCTURAL PRACTICES ARE TO BE INSTALLED ACCORDING TO THE PROVISIONS OF THIS PLAN AND ARE TO BE IN CONFORMANCE WITH THE MOST CURRENT MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL AND REVISIONS THERETO.
- FOLLOWING INITIAL SOIL DISTURBANCE OR RE-DISTURBANCE, PERMANENT OR TEMPORARY STABILIZATION SHALL BE COMPLETED WITHIN: a) 3 CALENDAR DAYS FOR ALL PERIMETER SEDIMENT CONTROL STRUCTURES, DIKES, PERIMETER SLOPES AND ALL SLOPES GREATER THAN 3:1, b) 7 DAYS AS TO ALL OTHER DISTURBED OR GRADED AREAS ON THE PROJECT SITE.
- ALL DISTURBED AREAS MUST BE STABILIZED WITHIN THE TIME PERIOD SPECIFIED ABOVE IN ACCORDANCE WITH THE 2011 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL FOR PERMANENT SEEDING (SEC. B-4-5), TEMPORARY SEEDING (SEC. B-4-4) AND MULCHING (SEC. B-4-3). TEMPORARY STABILIZATION WITH MULCH ALONE CAN ONLY BE DONE WHEN RECOMMENDED SEEDING DATES DO NOT ALLOW FOR PROPER GERMINATION AND ESTABLISHMENT OF GRASSES.
- ALL SEDIMENT CONTROL STRUCTURES ARE TO REMAIN IN PLACE AND ARE TO BE MAINTAINED IN OPERATIVE CONDITION UNTIL PERMISSION FOR THEIR REMOVAL HAS BEEN OBTAINED FROM THE HOWARD COUNTY SEDIMENT CONTROL INSPECTOR.
- SITE ANALYSIS:
 - TOTAL AREA OF SITE: 2.73 ACRES
 - AREA TO BE DISTURBED: 1.51 ACRES
 - AREA TO BE SOILED OR PAVED: 0.79 ACRES
 - AREA TO BE VEGETATIVELY STABILIZED: 1.94 ACRES
 - TOTAL CUT: 0.000 CU.YDS.
 - TOTAL FILL: 26,000 CU.YDS.
- OFFSITE WASTE/BORROW AREA LOCATION: ELLICOTT CROSSING
- ANY SEDIMENT CONTROL PRACTICE THAT IS DISTURBED BY GRADING ACTIVITY FOR PLACEMENT OF UTILITIES MUST BE REPAIRED ON THE SAME DAY OF DISTURBANCE.
- ADDITIONAL SEDIMENT CONTROL MUST BE PROVIDED, IF DEMAILED NECESSARY BY THE HOWARD COUNTY SEDIMENT CONTROL INSPECTOR.
- ON ALL SITES WITH DISTURBED AREAS IN EXCESS OF 2 ACRES, APPROVAL OF THE INSPECTION AGENCY SHALL BE REQUESTED UPON COMPLETION OF INSTALLATION OF PERIMETER EROSION AND SEDIMENT CONTROLS, BUT BEFORE PROCEEDING WITH ANY OTHER EARTH DISTURBANCE OR GRADING. OTHER BUILDING OR GRADING INSPECTION APPROVALS MAY NOT BE AUTHORIZED UNTIL THIS INITIAL APPROVAL BY THE INSPECTION AGENCY IS MADE.
- TRENCHES FOR THE CONSTRUCTION OF UTILITIES IS LIMITED TO THREE PIPE LENGTHS OR THAT WHICH SHALL BE BACK-FILLED AND STABILIZED BY THE END OF EACH WORKDAY, WHICHEVER IS SHORTER.
- ANY CHANGES OR REVISIONS TO THE SEQUENCE OF CONSTRUCTION MUST BE REVIEWED AND APPROVED BY THE PLAN APPROVAL AUTHORITY PRIOR TO PROCEEDING WITH CONSTRUCTION.
- A PROJECT IS TO BE SEQUENCED SO THAT GRADING ACTIVITIES BEGIN ON ONE GRADING UNIT (MAXIMUM ACREAGE OF 20 ACRE PER GRADING UNIT) AT A TIME. WORK MAY PROCEED TO A SUBSEQUENT GRADING UNIT WHEN AT LEAST 50 PERCENT OF THE DISTURBED AREA IN THE PROCEEDING GRADING UNIT HAS BEEN STABILIZED AND APPROVED BY THE ENFORCEMENT AUTHORITY, UNLESS OTHERWISE SPECIFIED AND APPROVED BY THE APPROVED AUTHORITY, NO MORE THAN 30 ACRES CUMULATIVELY MAY BE DISTURBED AT A GIVEN TIME.



EROSION AND SEDIMENT CONTROL NOTE

THE CONTRACTOR SHALL INSPECT AND PROVIDE THE NECESSARY MAINTENANCE ON ALL SEDIMENT CONTROL DEVICES/PRACTICES ON A DAILY BASIS, AND IMMEDIATELY AFTER EACH RAINFALL.



TEMPORARY SEEDING NOTES (B-4-4)

Definition: To stabilize disturbed soils with vegetation for up to 6 months.

Purpose: To use fast growing vegetation that provides cover on disturbed soils.

Conditions Where Practice Applies: Exposed soils where ground cover is needed for a period of 6 months or less. For longer duration of time, permanent stabilization practices are required.

Criteria:

- Select one or more of the species or seed mixtures listed in Table B.1 for the appropriate Plant Hardness Zone (from Figure B.3), and enter them in the Temporary Seeding Summary below along with application rates, seeding dates and seeding depths. If this summary is not put on the plan and completed, then Table B.1 plus fertilizer and lime rates must be put on the plan.
- For sites having soil tests performed, use and show the recommended rates by the testing agency. Soil tests are not required for temporary seeding.
- When stabilization is required outside of a seeding season, apply seed and mulch or straw mulch above as prescribed in section B-3.3.a.1.b and maintain until the next seeding season.

Hardness Zone (from Figure B.3)	Seeding Rate (lb/acre)	Fertilizer Rate (lb/acre)	Lime Rate (lb/acre)
1	100	100-200	2 tons/acre

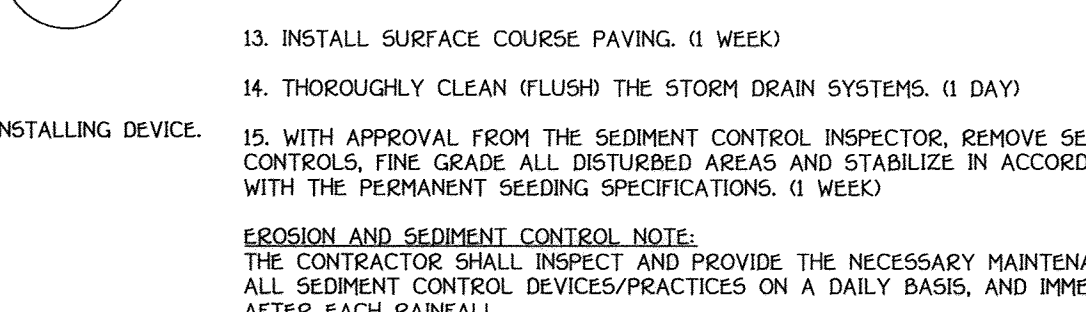
CONSTRUCTION SPECIFICATIONS

- PLACE STABILIZED CONSTRUCTION ENTRANCE IN ACCORDANCE WITH THE APPROVED PLAN. VEHICLES MUST TRAVEL OVER THE ENTIRE LENGTH OF THE SOE. USE MINIMUM LENGTH OF 50 FEET (450 FEET FOR SINGLE RESIDENCE LOT). USE MINIMUM WIDTH OF 10 FEET. FLARE SOE 10 FEET MINIMUM AT THE EXISTING ROAD TO PROVIDE A TURNING RADIUS.
- PIPE ALL SURFACE WATER FLOWING TO OR DIVERTED TOWARD THE SOE UNDER THE ENTRANCE. MAINTAIN POSITIVE DRAINAGE. PROTECT PIPE INSTALLED THROUGH THE SOE WITH A MOUNTABLE BERM WITH 3:1 SLOPES AND A MINIMUM OF 12 INCHES OF STONE OVER THE PIPE. PROVIDE PIPE AS SPECIFIED ON APPROVED PLAN. WHEN THE SOE IS LOCATED AT A HIGH SPOT AND HAS NO DRAINAGE TO CONVEY, A PIPE IS NOT NECESSARY. A MOUNTABLE BERM IS REQUIRED WHEN SOE IS NOT LOCATED AT A HIGH SPOT.
- PREPARE SUBGRADE AND PLACE NONWOVEN GEOTEXTILE, AS SPECIFIED IN SECTION H-1 MATERIALS.
- PLACE CRUSHED AGGREGATE (2 TO 3 INCHES IN SIZE) OR EQUIVALENT RECYCLED CONCRETE (WITHOUT REBAR) AT LEAST 6 INCHES DEEP OVER THE LENGTH AND WIDTH OF THE SOE.
- MAINTAIN ENTRANCE IN A CONDITION THAT MINIMIZES TRACKING OF SEDIMENT, ADD STONE OR MAKE OTHER REPAIRS AS CONDITIONS DEMAND TO MAINTAIN CLEAN SURFACE, MOUNTABLE BERM, AND SPECIFIED DIMENSIONS. IMMEDIATELY REMOVE STONE AND/OR SEDIMENT SPOILED, DROPPED, OR TRACKED ON ADJACENT ROADWAY BY VACUUMING, SCRAPING, AND/OR SWEEPING. WASHING ROADWAY TO REMOVE MUD TRACKED ON PAVEMENT IS NOT ACCEPTABLE UNLESS WASH WATER IS DIRECTED TO AN APPROVED SEDIMENT CONTROL PRACTICE.

STANDARD STABILIZATION NOTE

FOLLOWING INITIAL SOIL DISTURBANCE OR RE-DISTURBANCE, PERMANENT OR TEMPORARY STABILIZATION MUST BE COMPLETED WITHIN:

- THREE (3) CALENDAR DAYS AS TO THE SURFACE OF ALL PERIMETER DIKES, SWALES, DITCHES, PERIMETER SLOPES AND ALL SLOPES STEEPER THAN 3:1 HORIZONTAL TO 1 VERTICAL (3:1); AND
- SEVEN (7) CALENDAR DAYS AS TO ALL OTHER DISTURBED OR GRADED AREAS ON THE PROJECT SITE NOT UNDER ACTIVE GRADING.



x (ft)	y (ft) - inches
0	0.25 = 3.0
1	0.243 = 2.92
2	0.222 = 2.64
3	0.180 = 2.16
4	0.139 = 1.67
5	0.077 = 0.92
6	0.0 = 0.0

TEMPORARY SEEDING SUMMARY

Species	Application Rate (lb/acre)	Seeding Dates	Seeding Depth (in)	Fertilizer Rate (lb/acre)	Lime Rate (lb/acre)
BARLEY	95	3/1 - 5/15	1"	436 lb/acre (90 lb/1000 sq ft)	2 tons/acre (900 lb/1000 sq ft)
OATS	72	8/15 - 10/15	1"		
RYE	112		1"		

AS-BUILT CERTIFICATION

Note: There is no "AS BUILT" information provided on this sheet.

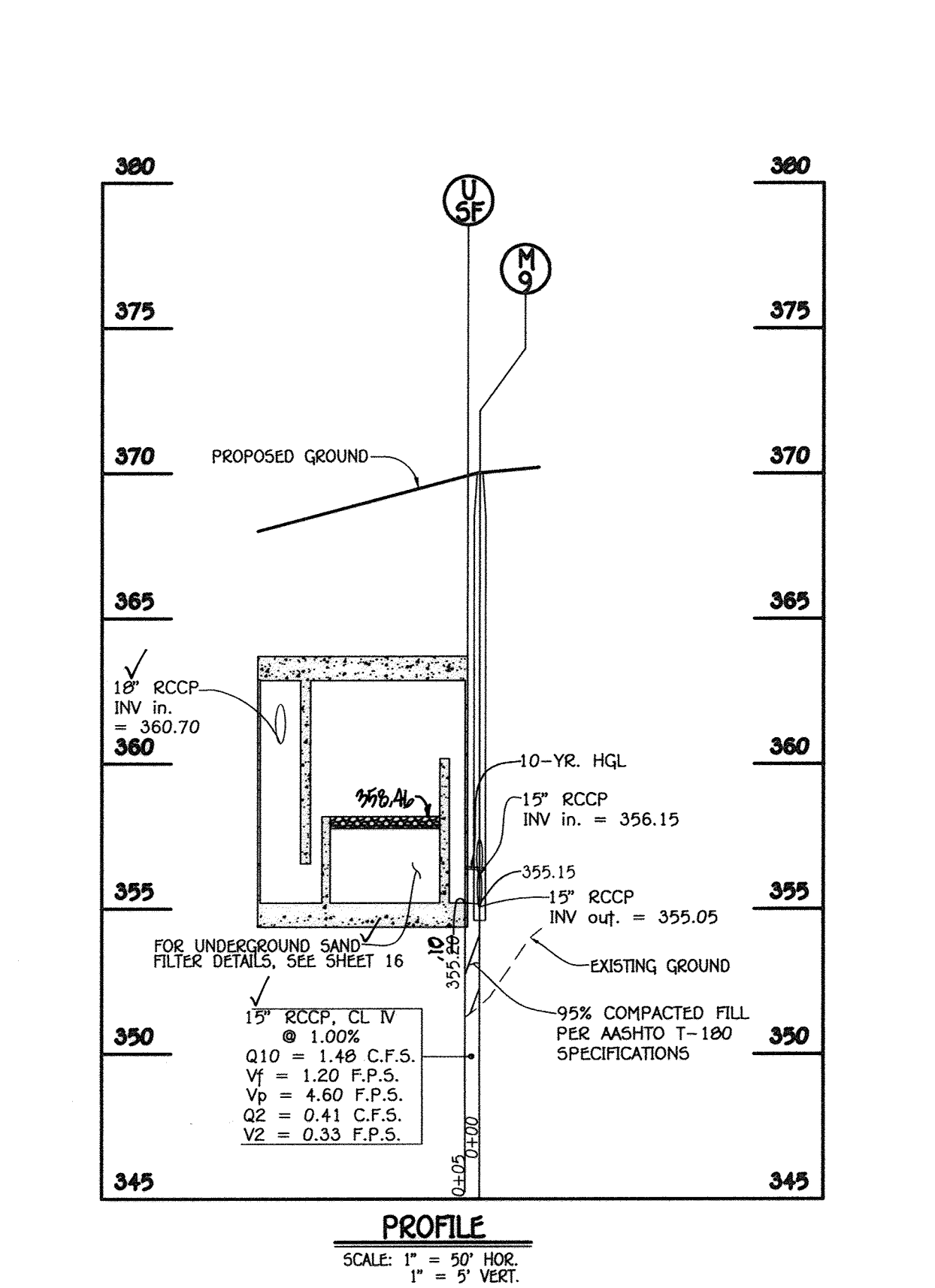
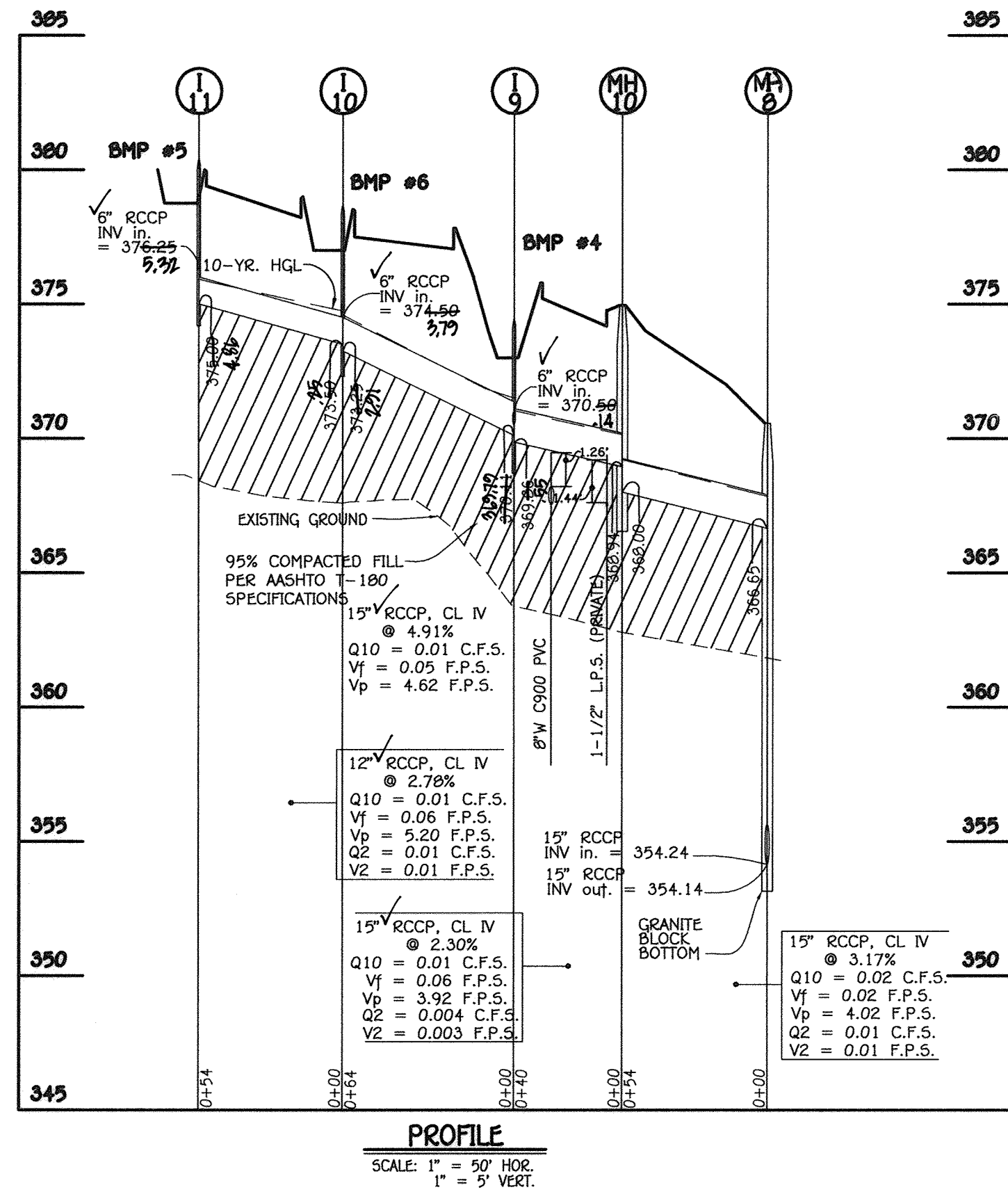
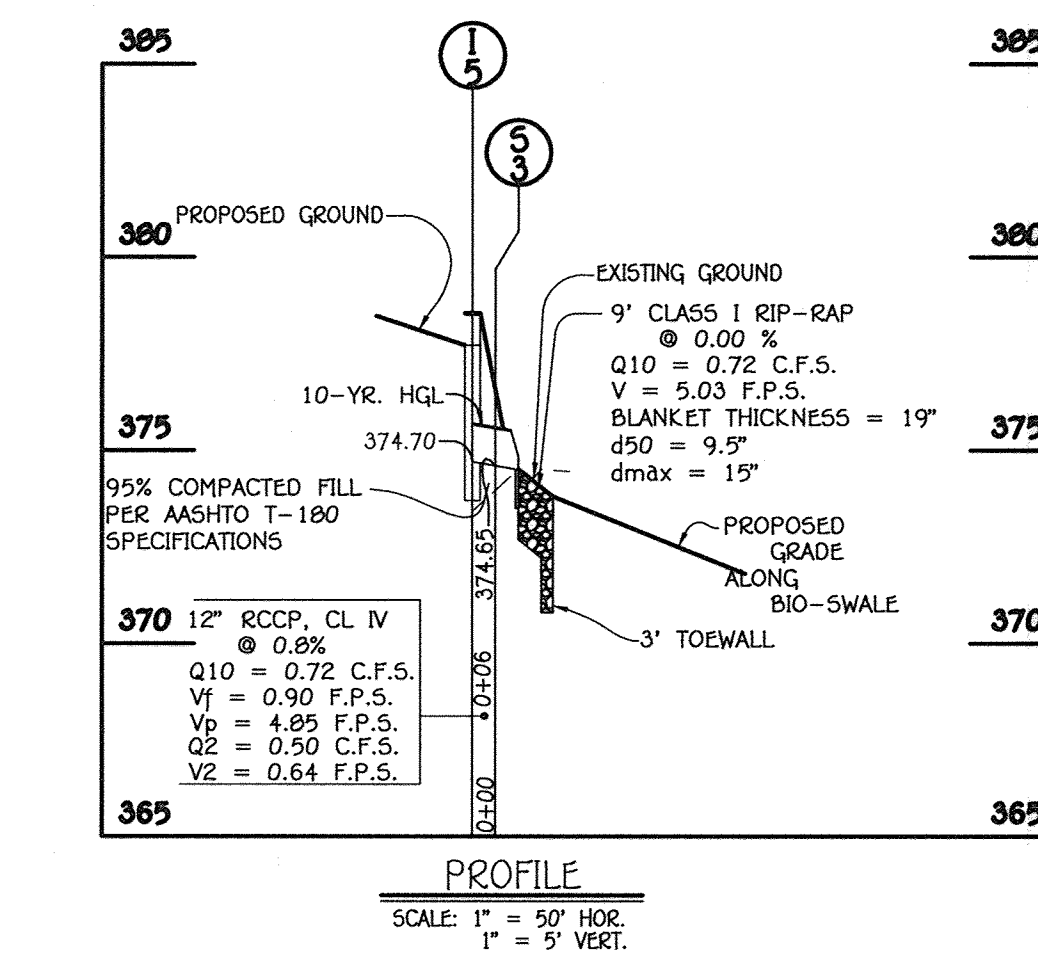
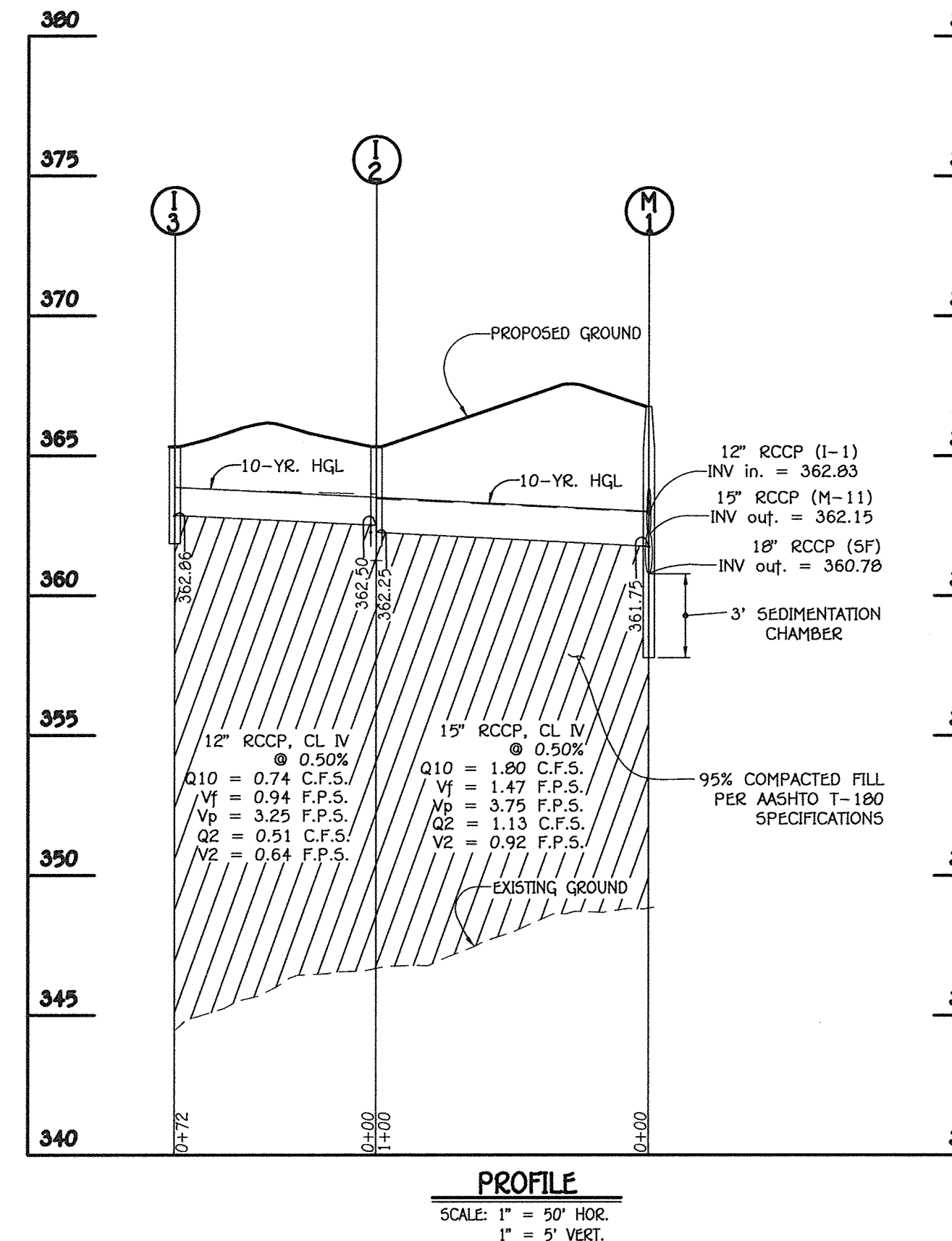
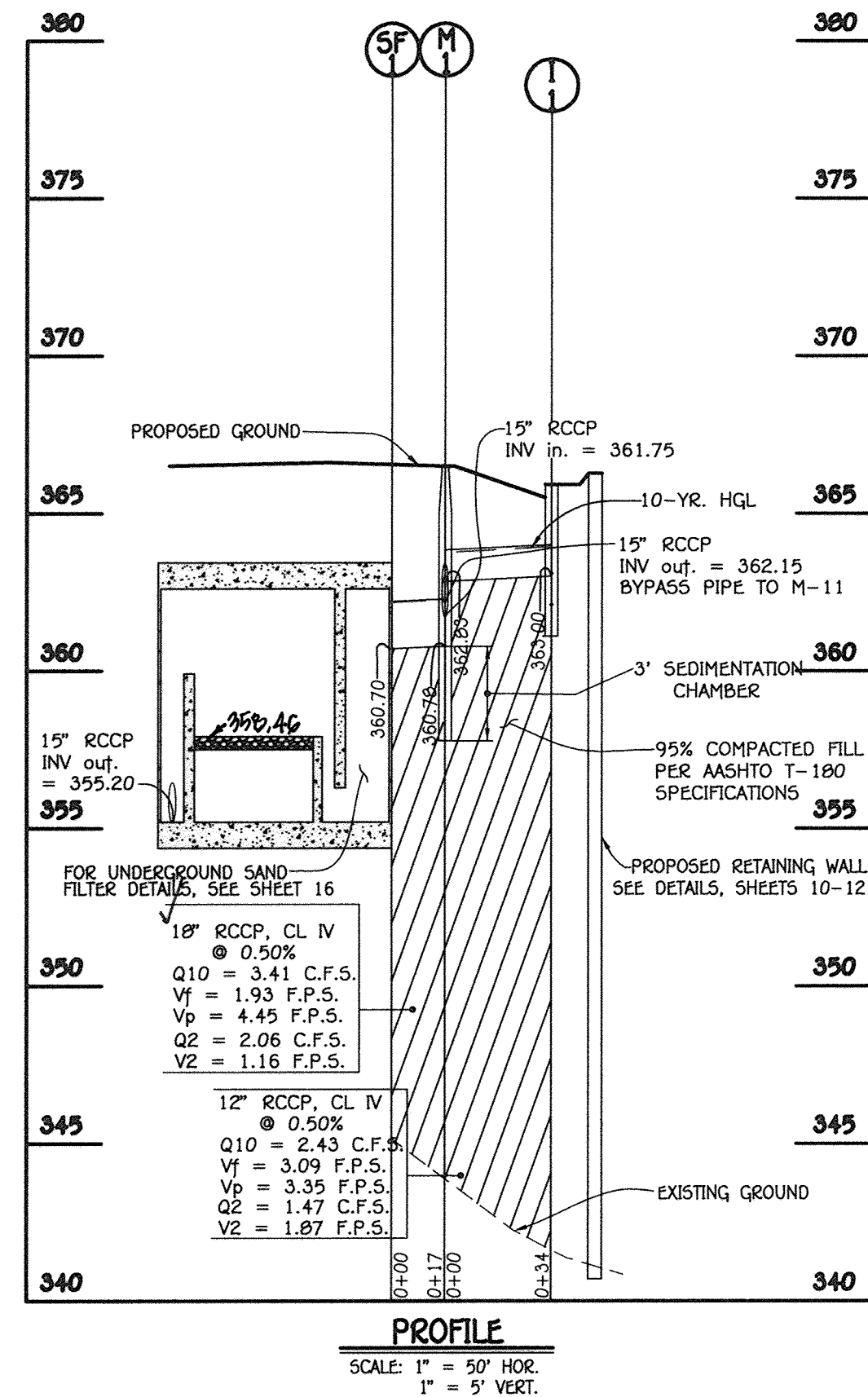
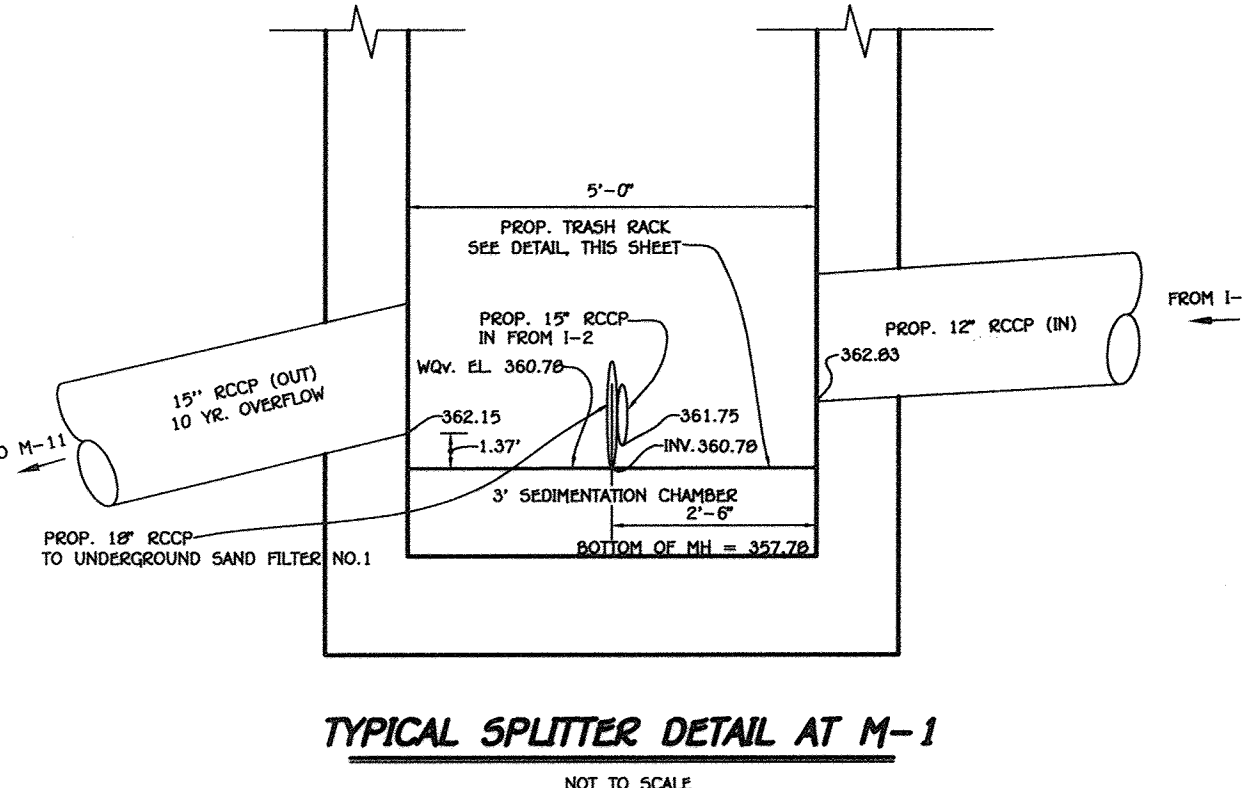
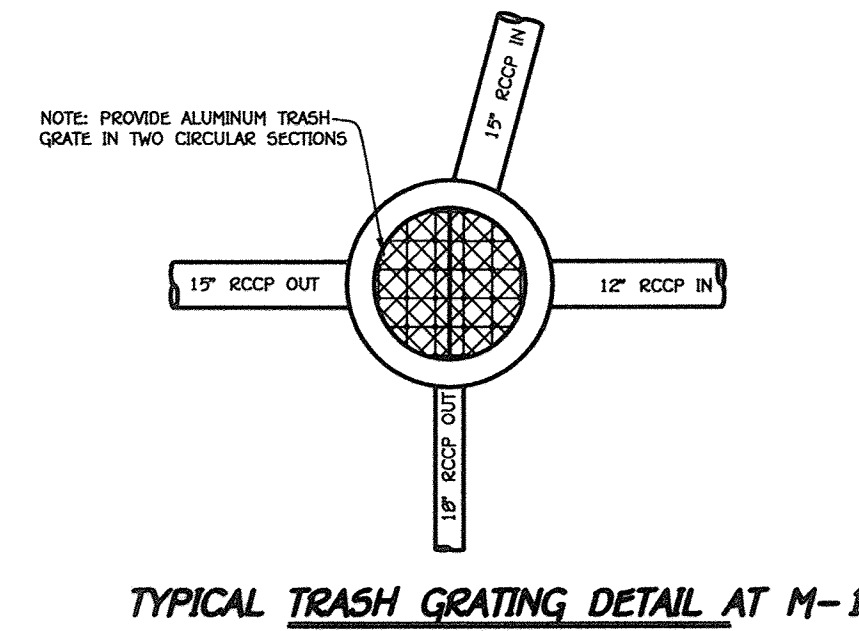
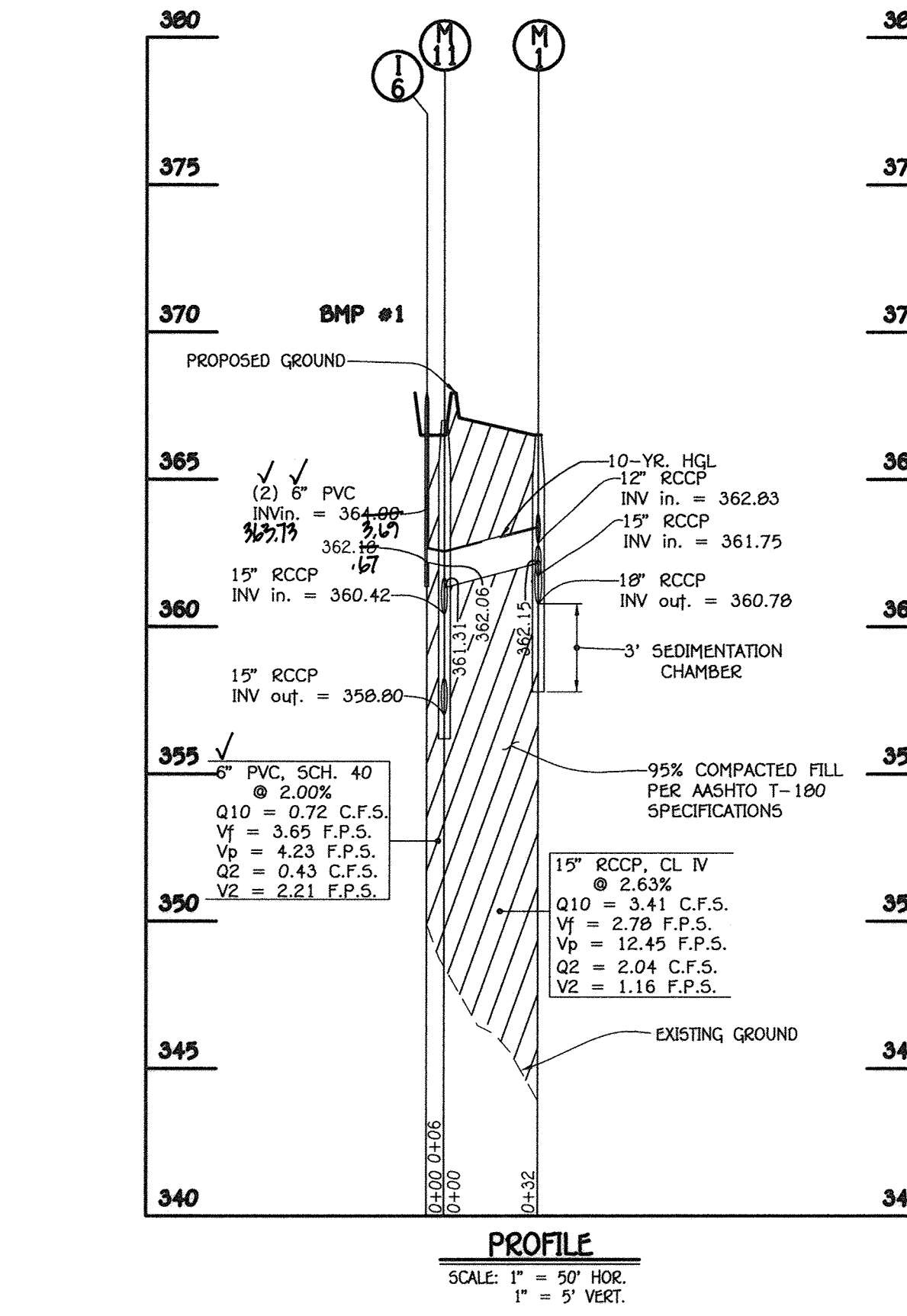
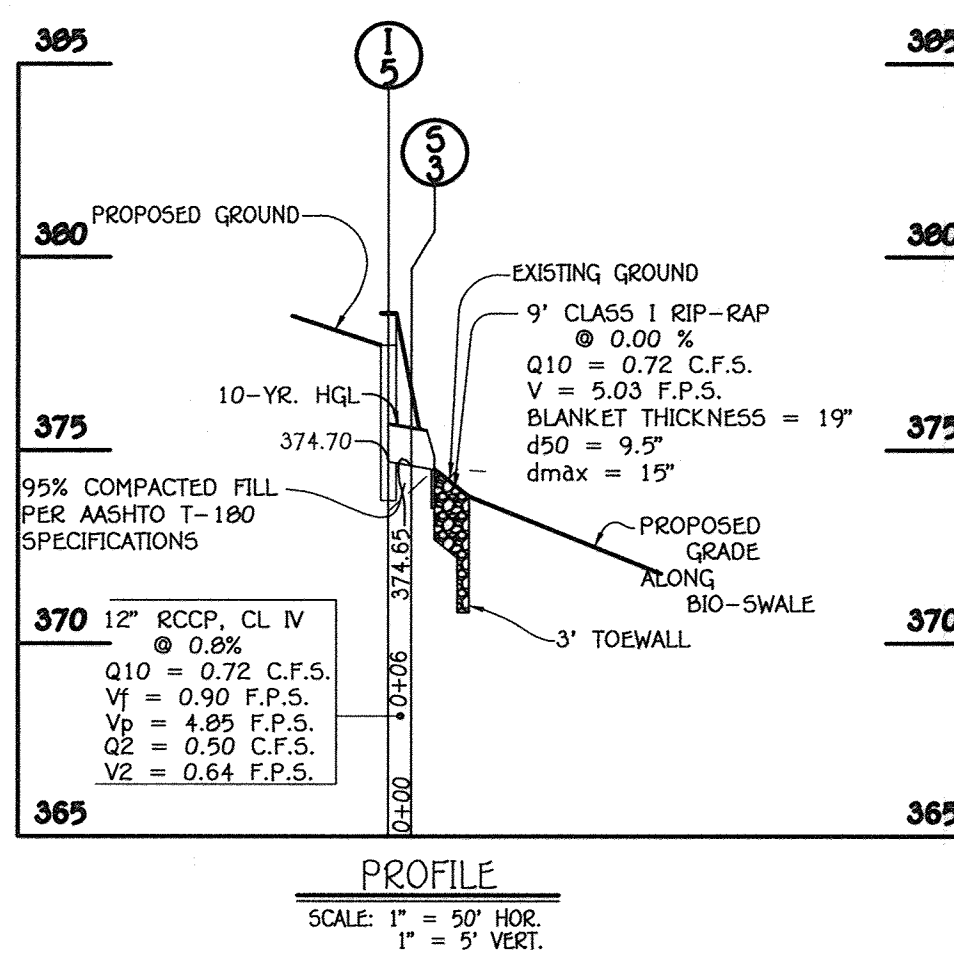
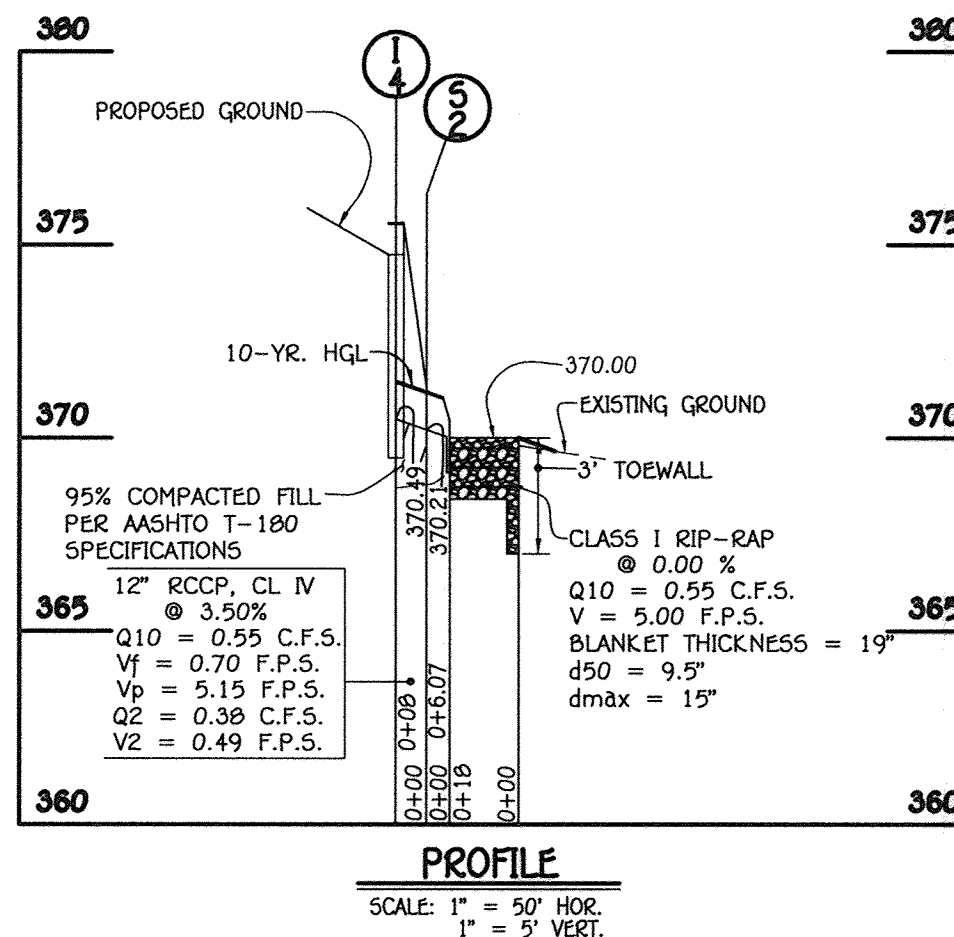
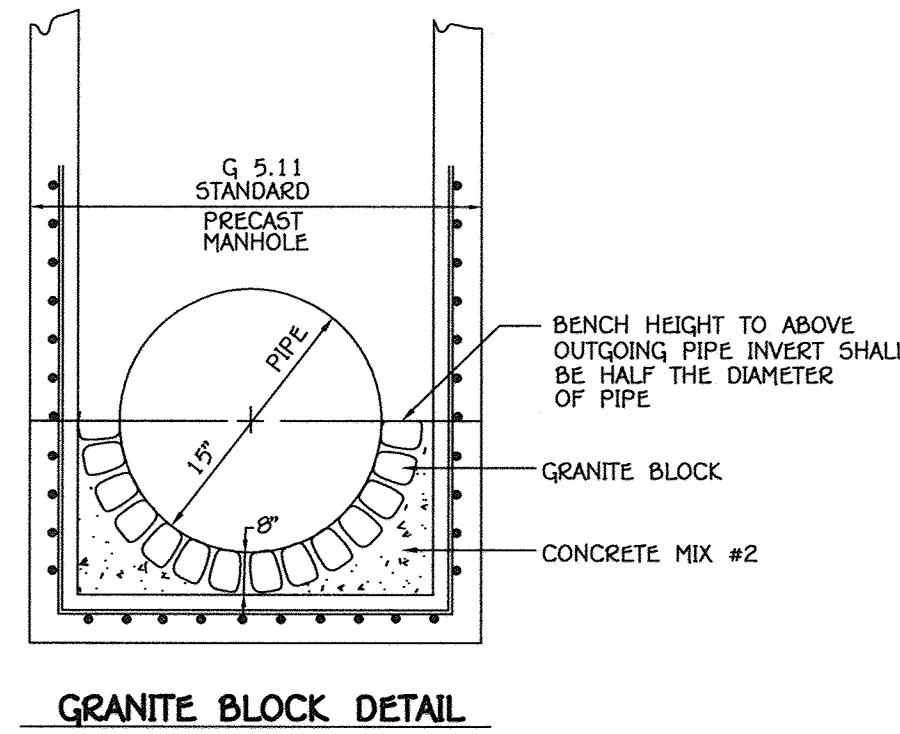
Signature: *Charles*

STRUCTURE SCHEDULE

STRUCTURE NO.	TOP ELEVATION	INV. IN	INV. OUT	COORDINATES	TYPE	REMARKS
I-1	365.80	-----	363.00 (12")	N 561635.12 E 1374561.44	A-5	D-4.01
I-2	365.36	362.50 (12")	362.25 (15")	N 561730.46 E 1374469.01	DOUBLE '5' INLET	D-4.23
I-3	365.36	-----	362.86 (12")	N 561774.76 E 1374412.26	DOUBLE '5' INLET	D-4.23
I-4	375.73	-----	370.49 (12")	N 561610.30 E 1374389.66	A-5	D-4.01
I-5	378.20	-----	374.70 (12")	N 561698.19 E 1374324.32	A-5	D-4.01
I-6	367.50	364.00 (6"), 364.00 (6")	362.50 (6")	N 561695.20 E 1374497.40	15" BASIN	NYOPLAST OR EQUAL
I-7	365.50	363.00 (6"), 363.46 (12")	358.21 (15")	N 561693.82 E 1374499.38	15" BASIN	NYOPLAST OR EQUAL
I-8	366.50	363.00 (6"), 363.00 (6")	360.00 (12")	N 561724.15 E 1374444.78	15" BASIN	NYOPLAST OR EQUAL
I-9	374.00	370.11 (15"), 370.50 (6")	369.00 (15")	N 561622.02 E 1374417.74	15" BASIN	NYOPLAST OR EQUAL
I-10	378.00	373.50 (15"), 373.50 (15")	373.50 (15")	N 561665.77 E 1374365.74	15" BASIN	NYOPLAST OR EQUAL
I-11	379.75	375.00 (6")	375.00 (12")	N 561698.42 E 1374322.50	15" BASIN	NYOPLAST OR EQUAL
CO-6	363.60	360.10 (12")	358.30 (12")	N 561549.06 E 1374431.33	CLEANOUT	SEE DETAIL THIS SHEET
CO-7	370.10	366.60 (12")	366.60 (12")	N 561582.83 E 1374374.12	CLEANOUT	SEE DETAIL THIS SHEET
CO-8	374.00	-----	370.50 (12")	N 561635.68 E 1374323.10	CLEANOUT	SEE DETAIL THIS SHEET
M-1	366.50	362.83 (12"), 361.75 (15")	360.78 (18"), 362.15 (15")	N 561655.57 E 1374535.98	5' DIA. STANDARD MANHOLE	G-5.13
M-2	369.50	-----	-----	N 561595.30 E 1374485.11	ACCESS MANHOLES	G-5.12
M-3	368.90	-----	-----	N 561612.66 E 1374497.46	ACCESS MANHOLES	G-5.12
M-4	367.35	-----	-----	N 561638.52 E 1374516.35	ACCESS MANHOLES	G-5.12
M-5	350.62	348.60 (15")	338.32 (15")	N 561587.46 E 1374539.44	4' DIA. STANDARD MANHOLE	G-5.12
M-6	354.11	351.09 (15")	350.84 (15")	N 561553.32 E 1374515.58	4' DIA. STANDARD MANHOLE	G-5.12
M-7	367.88	354.10 (6"), 353.45 (15")	353.35 (15")	N 561557.65 E 1374450.84	4' DIA. STANDARD MANHOLE	G-5.12
M-8	370.58	366.65 (15"), 354.24 (15")	354.14 (15")	N 561566.14 E 1374444.19	4' DIA. STANDARD MANHOLE	G-5.12
M-9	370.14	356.15 (15"), 355.15 (15")	355.05 (15")	N 561600.05 E 137478.62	4' DIA. STANDARD MANHOLE	G-5.12
M-10	374.50	368.94 (15")	368.00 (15")	N 561589.05 E 1374394.48	4' DIA. STANDARD MANHOLE	G-5.12
M-11	367.00	357.05 (15"), 361.31 (15"), 362.08 (6")	356.80 (15")	N 561688.50 E 1374504.55	4' DIA. STANDARD MANHOLE	G-5.12
S-1	339.88	-----	338.10 (15")	N 561573.63 E 1374556.79	TYPE 'A' HEADWALL W/ WINGWALLS	D-5.11
S-2	371.13	-----	370.13 (12")	N 561587.72 E 1374384.09	12" CONC. END SECTION	D-5.51
S-3	375.60	-----	374.60 (12")	N 561644.57 E 1374323.62	12" CONC. END SECTION	D-5.51

PIPE SCHEDULE

SIZE	CLASS	LENGTH
6"	PERF. PVC	205'
6"	PVC, SCHED. 40	80'
12"	RCCP, CL IV	380'
15"	RCCP, CL IV	541'
18"	RCCP, CL IV	17'



FISHER, COLLINS & CARTER, INC.
 CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
 1022 BALTIMORE NATIONAL PLACE
 ELICOTT CITY, MARYLAND 21042
 (410) 461-2995

AS-BUILT CERTIFICATION
 I hereby certify, by my seal, that the facilities shown on this plan were constructed as shown on this "AS BUILT" plan meet the approved plans and specifications.
 CHARLES J. CROVO, SR., NO. 19204
 5/14/19
 Date

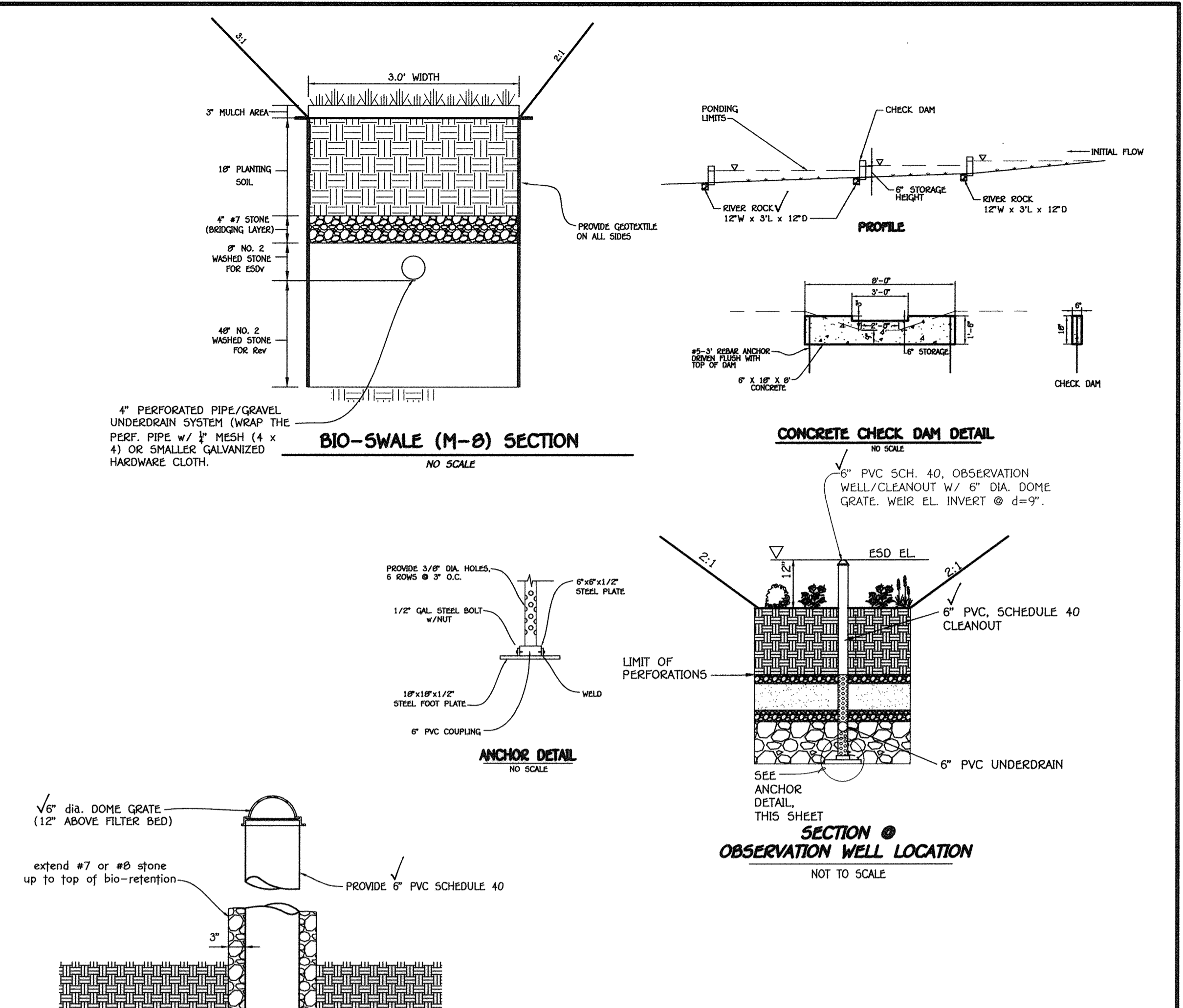
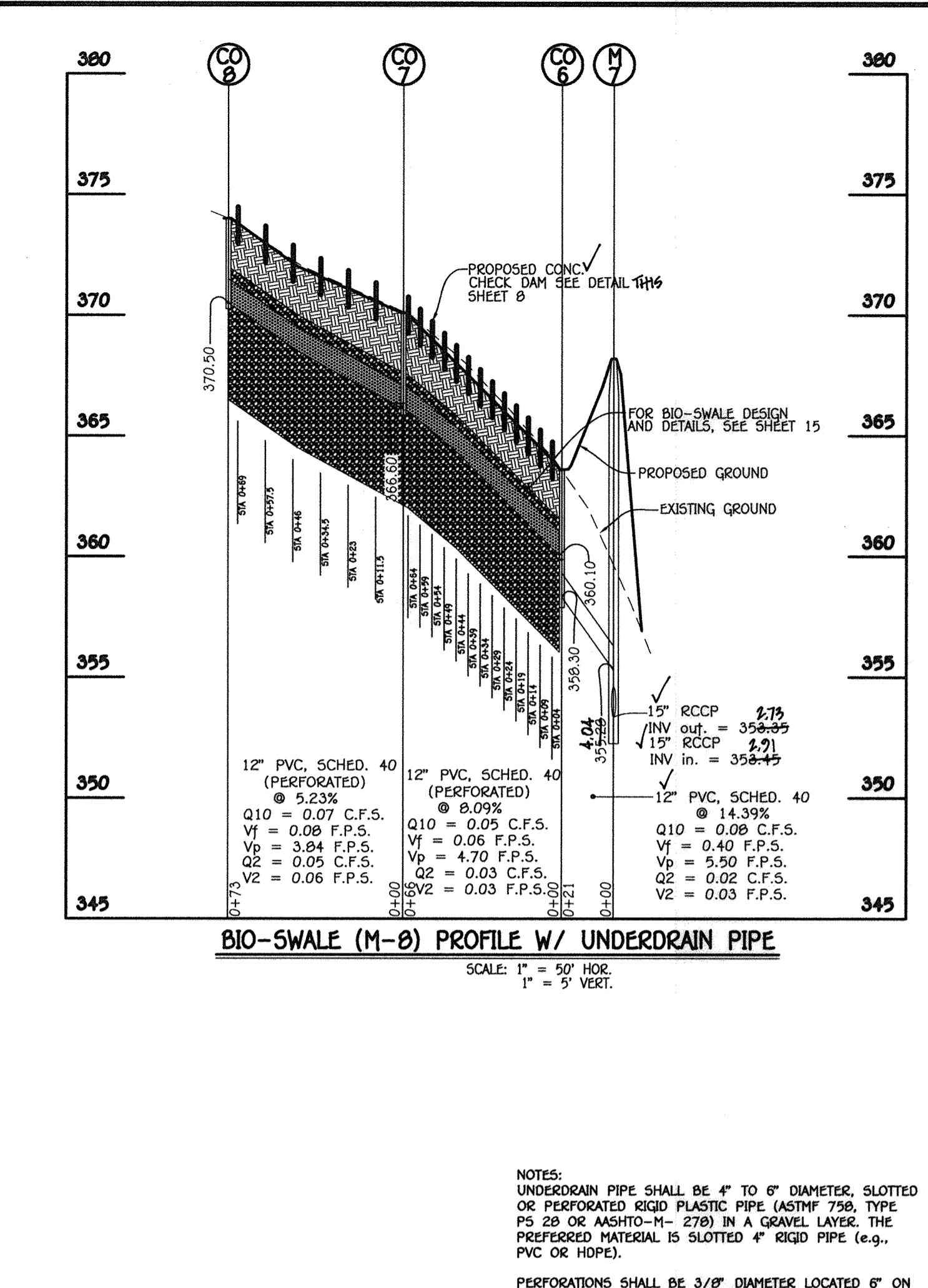
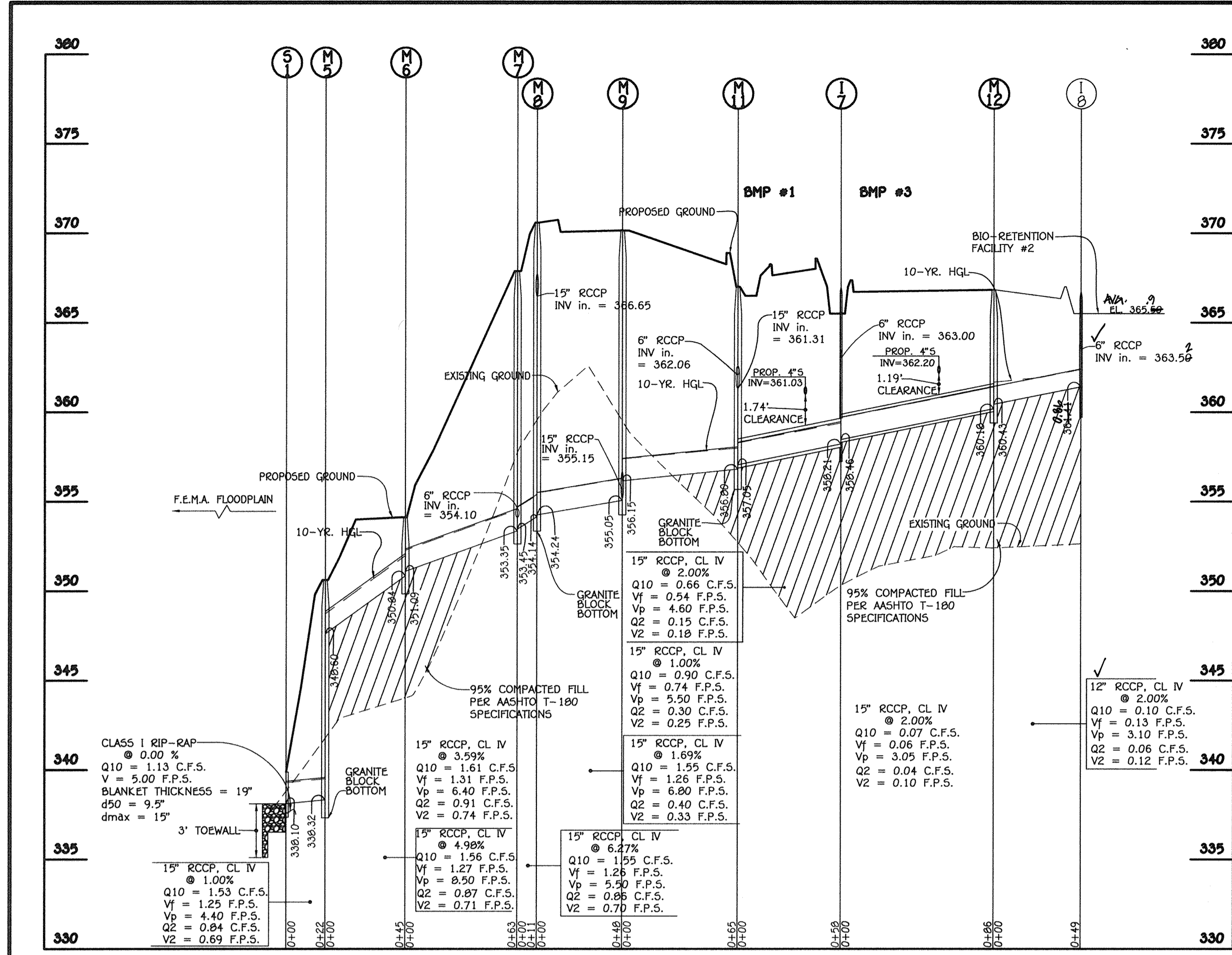
*Professional Certification. I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland, License No. 13204, Expiration Date: November 3, 2016.
 CHARLES J. CROVO, SR., P.E.
 2/24/16
 DATE

7/16/15 ADD M-12 TO THE STRUCTURE SCHEDULE. REVISE THE PIPE SCHEDULE.
 REVISE I-4 AND I-5 DUE TO THE PARKING ADDITION. REVISE STRUCTURE TO CHANGE INVERTS OF S-1 AND S-2.
 DATE DESCRIPTION REVISION BLOCK
 APPROVED: DEPARTMENT OF PLANNING AND ZONING
 Director Department of Planning and Zoning 4-4-16 Date
 Chief, Division of Land Development 4-4-16 Date
 Chief, Development Engineering Division 3-28-16 Date

DEVELOPER/OWNER
 100-103 CENTER, L.L.C.
 100 OVERLOOK, L.L.C.
 c/o LAND DESIGN AND DEVELOPMENT, INC.
 5300 DORSEY HALL DRIVE
 SUITE 102
 ELLICOTT CITY, MARYLAND 21043
 443-367-0422

Address Chart
 BUILDING NO. 3 STREET ADDRESS 6050 MEADOWRIDGE CENTER DRIVE
 SECTION/AREA PARCELS LOT
 THE WELLNESS CENTER OF HOWARD COUNTY 687 P/O P. 'A'
 DEED REF. BLOCK NO. ZONE TAX MAP ELEC. DIST. CENSUS TR.
 PLAT #22805-22806 10 PEC 37 FIRST 6030
 PLAT #20885

REVISED STORM DRAIN PROFILES, STRUCTURE SCHEDULE & DETAILS
THE WELLNESS CENTER OF HOWARD COUNTY
 P/O PARCEL 'A'
 RESTAURANT / OFFICE
 ZONED PEC
 TAX MAP No. 37 P/O PARCEL No. 687 GRID No. 10
 FIRST ELECTION DISTRICT HOWARD COUNTY, MARYLAND
 SCALE: A5 SHOWN DATE: SEPTEMBER, 2015
 SHEET 8 OF 20
 SDP-13-065
 "AS-BUILT"



Infiltration and Filter System Construction Specifications

Infiltration and filter systems either take advantage of existing permeable soils or create a permeable medium such as sand for infiltration, and so on. In some instances where permeability is great, these facilities may be used for soil and water treatment. The most common systems include infiltration trenches, infiltration basins, sand filters, and organic filters.

When properly planted, vegetation will thrive and enhance the functioning of these systems. For example, pre-treatment buffers will trap sediments that often are bound with phosphorus and metals. Vegetation planted in the facility will aid in nutrient uptake and water storage. Additionally, plant roots will provide aeration for stormwater to permeate soil for groundwater recharge. Finally, successful plantings provide aesthetic value and wildlife habitat making these facilities more desirable to the public.

Design Constraints:

- Planting buffer strips of at least 20 feet will cause sediments to settle out before reaching the facility, thereby reducing the possibility of clogging.
- Determine areas that will be saturated with water and water table depth so that appropriate plants may be selected (hydrology will be similar to bio-retention facilities, see Figure A.5 and Table A.4 for planting material guidelines).
- Plants known to send deep taproots should be avoided in systems where filter fabric is used as part of facility design.
- Test soil conditions to determine if soil amendments are necessary.
- Plants shall be located so that access is possible for structure maintenance.
- Establish heavy flow areas with erosion control mats or sod.
- Temporarily divert flows from seeded areas until vegetation is established.

See Table A.5 for additional design considerations.

Bio-retention

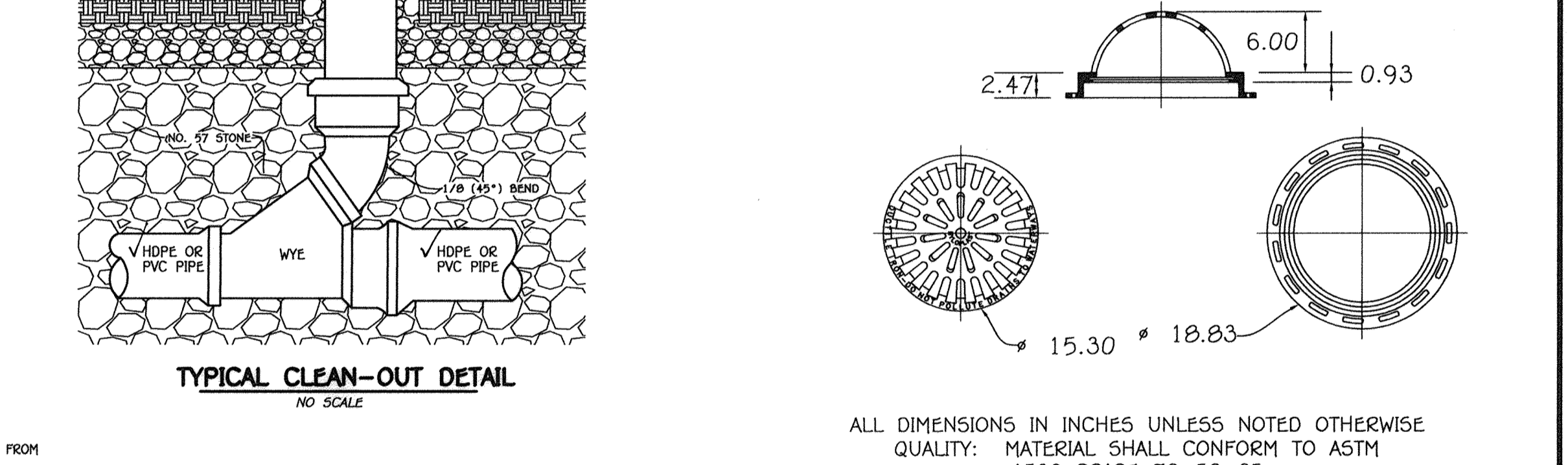
Soil Bed Characteristics

The characteristics of the soil for the bio-retention facility are perhaps as important as the facility location, size, and treatment volume. The soil must be permeable enough to allow runoff to filter through the media, while having characteristics suitable to promote and sustain a robust vegetation cover crop. In addition, much of the nutrient pollutant uptake (nitrogen and phosphorus) is accomplished through absorption and microbial activity within the soil profile. Therefore, soils must balance their chemical and physical properties to support biotic communities above and below ground.

The planting soil should be a sandy loam, loamy sand, loam (USDA), or a loam/sand mix (should contain a minimum 35 to 60% sand, by volume). The clay content for these soils should be less than 25% by volume (Environmental Quality Resources (EQ), 1996; Engineering Technology Inc. and Biohabitats, Inc. (ET&B), 1993). Soils should fall within the SM, ML, SC classifications of the Unified Soil Classification System (USCS). A permeability of at least 1.0 feet per day (0.27 m) is required (a conservative value of 0.5 feet per day is used for design). The soil should be free of stones, stumps, roots, or other woody material over 1\"/>

CONSTRUCTION SPECIFICATIONS FOR RIP-RAP OUTFALLS

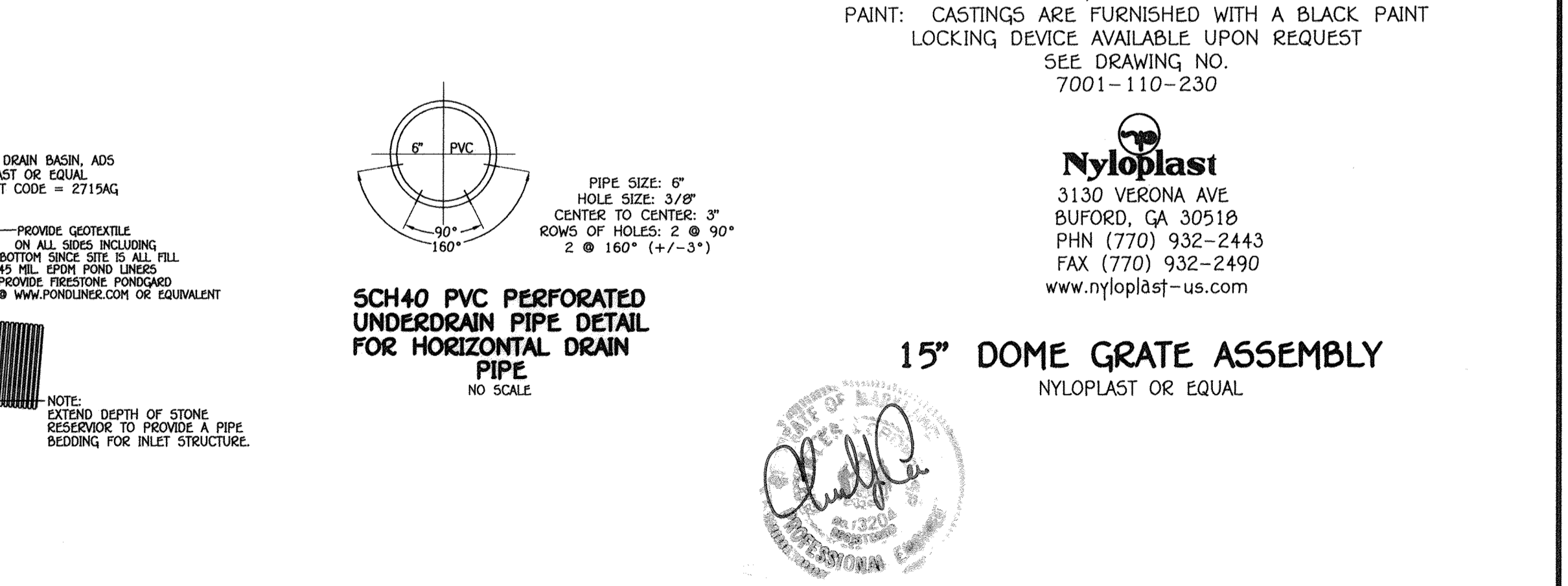
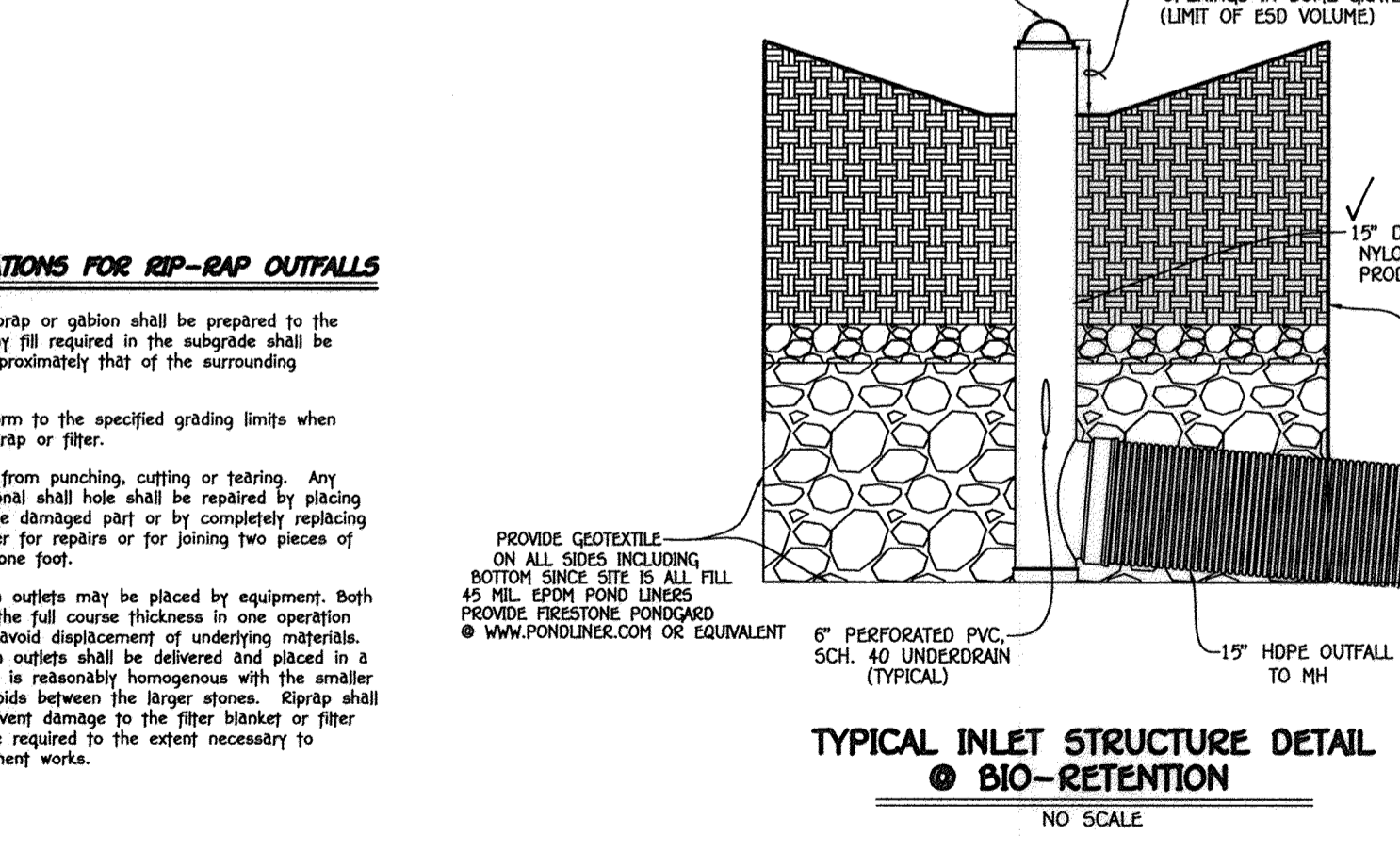
- The subgrade for the filter, riprap or gabion shall be prepared to the required lines and grades. Any fill required in the subgrade shall be compacted to a density of approximately that of the surrounding undisturbed material.
- The rock or gravel shall conform to the specified grading limits when installed respectively in the riprap or filter.
- Filter cloth shall be protected from punching, cutting or tearing. Any damage other than an occasional small hole shall be repaired by placing another piece of cloth over the damaged slot or by completely replacing the cloth. All overlaps whether for repairs or for joining two pieces of cloth shall be a minimum of one foot.
- Stone for the riprap or gabion outlets may be placed by equipment. Both shall be constructed to the full course thickness in one operation and in such a manner as to avoid displacement of underlying materials. The stone for riprap or gabion outlets shall be delivered and placed in a manner that will ensure that it is reasonably homogeneous with the smaller stones and spalls filling the voids between the larger stones. Riprap shall be placed in a manner to prevent damage to the filter fabric or filter cloth. Hazard placement will be required to the extent necessary to prevent damage to the permanent works.



PROFILE
SCALE: 1\"/>

RIIP RAP CHANNEL DETAIL
NO SCALE

STRUCTURE	AREA	WETTED PERIMETER	R	R ² /S	S	S ^{1/2}	W	D	N	V	Q	Q ₁₀	Q ₂	Q _{V2}	BLANKET THICKNESS
S-1	1.35 sf	14.71'	0.0918	0.2018	0.0095	0.0707	8.17'	0.16'	0.04	0.78	1.13	9.97	1.97	1.97	1.97
S-2	0.65 sf	12.71'	0.0511	0.1363	0.0095	0.0707	6.10'	0.11'	0.04	0.58	0.95	9.97	1.97	1.97	1.97
S-3	0.78 sf	12.71'	0.0614	0.1542	0.0095	0.0707	6.13'	0.13'	0.04	0.50	0.72	9.97	1.97	1.97	1.97



FISHER, COLLINS & CARTER, INC.
Civil Engineering Consultants & Land Surveyors
CENTRAL SQUARE OFFICE PARK - 10272 BALTIMORE NATIONAL PIKE
CLAYTON CITY, MARYLAND 21114
(410) 461-2295

AS-BUILT CERTIFICATION

I hereby certify, by my seal, that the facilities shown on this plan were constructed as shown on this "AS BUILT" plan and meet the approved plans and specifications.

CHARLES J. CRANO, P.E. No. 191204
Date: 5/14/15

Professional Certification. I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland, License No. 13204, Expiration Date: November 3, 2016.

CHARLES J. CRANO, SR., P.E.
Date: 4/24/16

7/16/15 REVISION STORM DRAIN TO RELOCATE 1-Ø PER THE RELOCATED MICRO BIO-RETENTION FACILITY. REVISE 1-4 AND 1-5 DUE TO PARKING.

DEVELOPER/OWNER
100-103 CENTER, L.L.C.
100 OVERLOOK, L.L.C.
c/o LAND DESIGN AND DEVELOPMENT, INC.
5300 DORSEY HALL DRIVE
SUITE 102
ELLCOTT CITY, MARYLAND 21043
443-367-0422

APPROVED: DEPARTMENT OF PLANNING AND ZONING
Director - Department of Planning and Zoning
Chief, Division of Land Development
Chief, Development Engineering Division

4-4-16
4-6-16
3-28-16

Address Chart

BUILDING NO.	STREET ADDRESS
3	6050 MEADOWRIDGE CENTER DRIVE

PROJECT: THE WELLNESS CENTER OF HOWARD COUNTY
SECTION/AREA: 687
PARCELS: P/O P. 'A'
DEED REF. PLAT #22805-22806 PLAT #20885
BLOCK NO. 10
ZONE PEC
TAX MAP 37
ELEC. DIST. FIRST
CENSUS TR. 6030

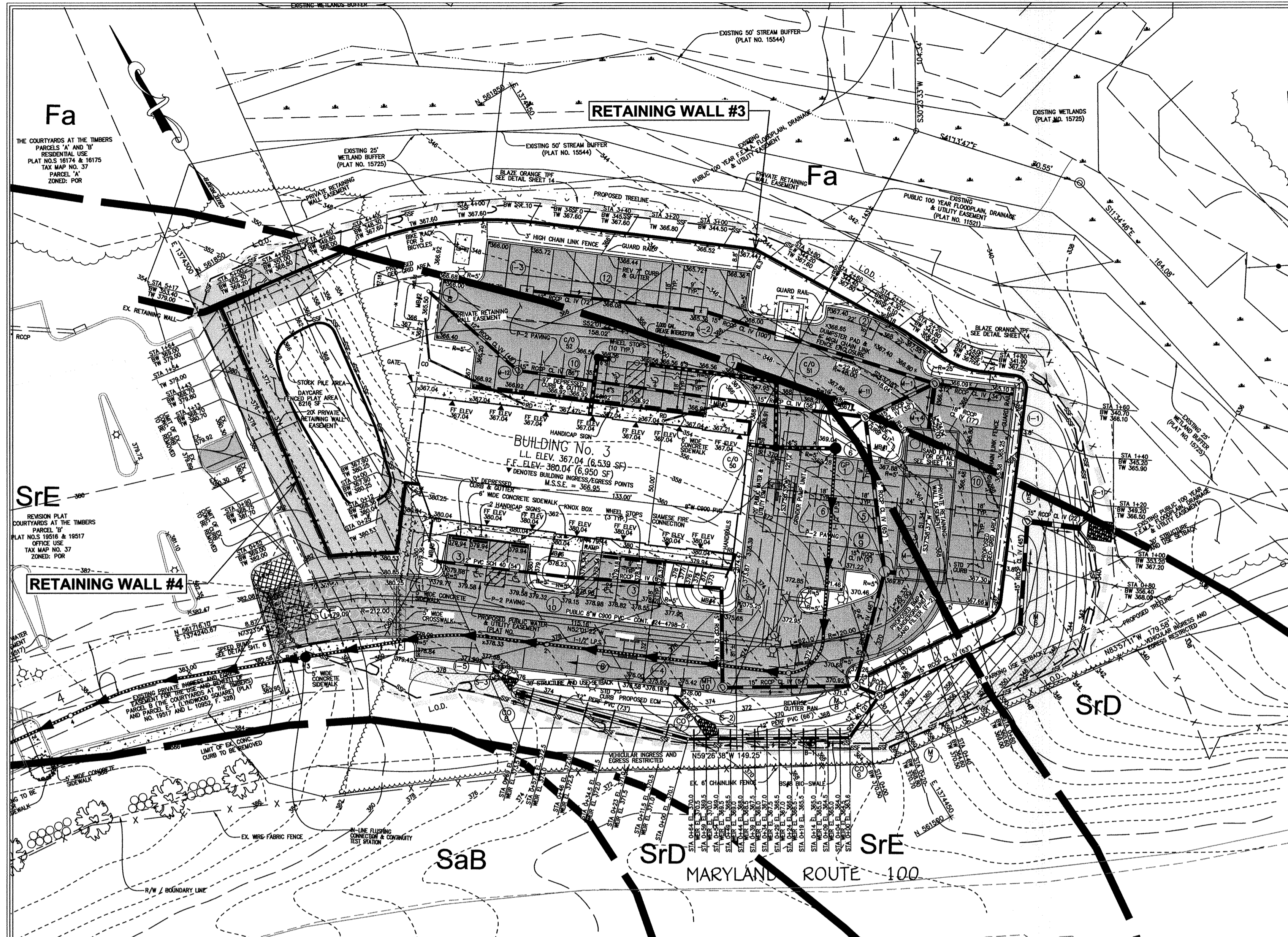
REVISED PROFILES & DETAILS

THE WELLNESS CENTER OF HOWARD COUNTY
P/O PARCEL 'A'
RESTAURANT / OFFICE
ZONED PEC

TAX MAP No. 37 P/O PARCEL No. 687 GRID No. 10
FIRST ELECTION DISTRICT HOWARD COUNTY, MARYLAND
SCALE: AS SHOWN DATE: SEPTEMBER, 2014

SHEET 9 OF 20

SDP-13-065



WALL LOCATION PLAN
1" = 30'

SPECIFICATIONS
KEYSTONE MODULAR CONCRETE BLOCK RETAINING WALL

PART 1: GENERAL

1.01 Description
A. Work shall consist of furnishing and construction of a KEYSTONE Retaining Wall System in accordance with these specifications and in reasonably close conformity with the lines, grades, design, and dimensions shown on the plans.
B. Work includes preparing foundation soil, furnishing and installing leveling pad, unit drainage fill and backfill to the lines and grades shown on the construction drawings.
C. Work includes furnishing and installing geogrid soil reinforcement of the type, size, location, and lengths designated on the construction drawings.

1.02 Delivery, Storage and Handling
A. Contractor shall check all materials upon delivery to assure that the proper type, grade, color, and certification has been received.
B. Contractor shall protect all materials from damage due to job site conditions and in accordance with manufacturer's recommendations. Damaged materials shall not be incorporated into the work.

PART 2: PRODUCTS

2.01 Modular Concrete Retaining Wall Units
A. Modular concrete units shall conform to the following architectural requirements:
face color - concrete gray - standard manufacturers' color may be specified by the Owner.
face finish - sculptured rock face in angular tri-planer configuration. Other face finishes will not be allowed without written approval of Owner.
bond configuration - running with bonds nominally located at midpoint vertically adjacent units, in both straight and curved alignments.
exposed surfaces of units shall be free of chips, cracks or other imperfections when viewed from a distance of 10 feet under diffused lighting.
B. Modular concrete materials shall conform to the requirements of ASTM C1372 - Standard Specifications for Segmental Retaining Wall Units.
C. Modular concrete units shall conform to the following structural and geometric requirements measured in accordance with appropriate references:
compressive strength = 3000 psi minimum;
absorption = 8 % maximum (6% in northern states) for standard weight aggregates;
dimensional tolerances = ± 1/8" from nominal unit dimensions not including rough split face, ±1/16" unit height - top and bottom planes;
unit size - 6" (H) x 18" (W) x 18" (D) minimum;
unit weight - 95 lbs/unit minimum for standard weight

2.02 Shear Connectors
A. Shear connectors shall be 1/2 inch diameter thermoset isophthalic polyester resin-protuded fiberglass reinforcement rods or equivalent to provide connection between vertically and horizontally adjacent units. Strength of shear connectors between vertical adjacent units shall be applicable over a design temperature of 10 degrees F to + 100 degrees F.
B. Shear connectors shall be capable of holding the geogrid in the proper design position during grid pre-tensioning and backfilling.

2.03 Base Leveling Pad Material
A. Material shall consist of a compacted #57 crushed stone base as shown on the construction drawings.

2.04 Unit Drainage Fill
A. Unit drainage fill shall consist of #57 crushed stone

2.05 Reinforced Backfill
A. Reinforced backfill shall type SM, be free of debris and meet the following gradation tested in accordance with ASTM D-422 and meet other properties shown on the plan:

Sieve Size	Percent Passing
2 inch	100-75
3/4 inch	100-75
No. 40	0-60
No. 200	0-35

Plasticity Index (PI) < 7 and Liquid Limit < 40 per ASTM D-4318.
B. Material can be site excavated soils where the above requirements can be met. Unsuitable soils for backfill (high plastic clays or organic soils) shall not be used in the reinforced soil mass.

2.06 Geogrid Soil Reinforcement
A. Geosynthetic reinforcement shall consist of geogrids manufactured specifically for soil reinforcement

aggregates;
inter-unit shear strength - 1000 pif minimum at 2 psi normal pressure;
geogrid/unit peak connection strength - 1000 pif minimum at 2 psi normal force.

D. Modular concrete units shall conform to the following constructability requirements:
vertical setback = 1/8"± per course (near vertical) or 1"± per course per the design;
alignment and grid positioning mechanism - fiberglass pins, two per unit minimum;
maximum horizontal gap between erected units shall be 1/2 inch.

applications and shall be manufactured from high tenacity polyester yarn.

2.07 Drainage Pipe
A. The drainage pipe shall be perforated corrugated HDPE pipe manufactured in accordance with ASTM D-1248.

PART 3 EXECUTION

3.01 Excavation
A. Contractor shall excavate to the lines and grades shown on the construction drawings. Owner's representative shall be responsible for inspecting and approving the excavation prior to placement of leveling material or fill soils.

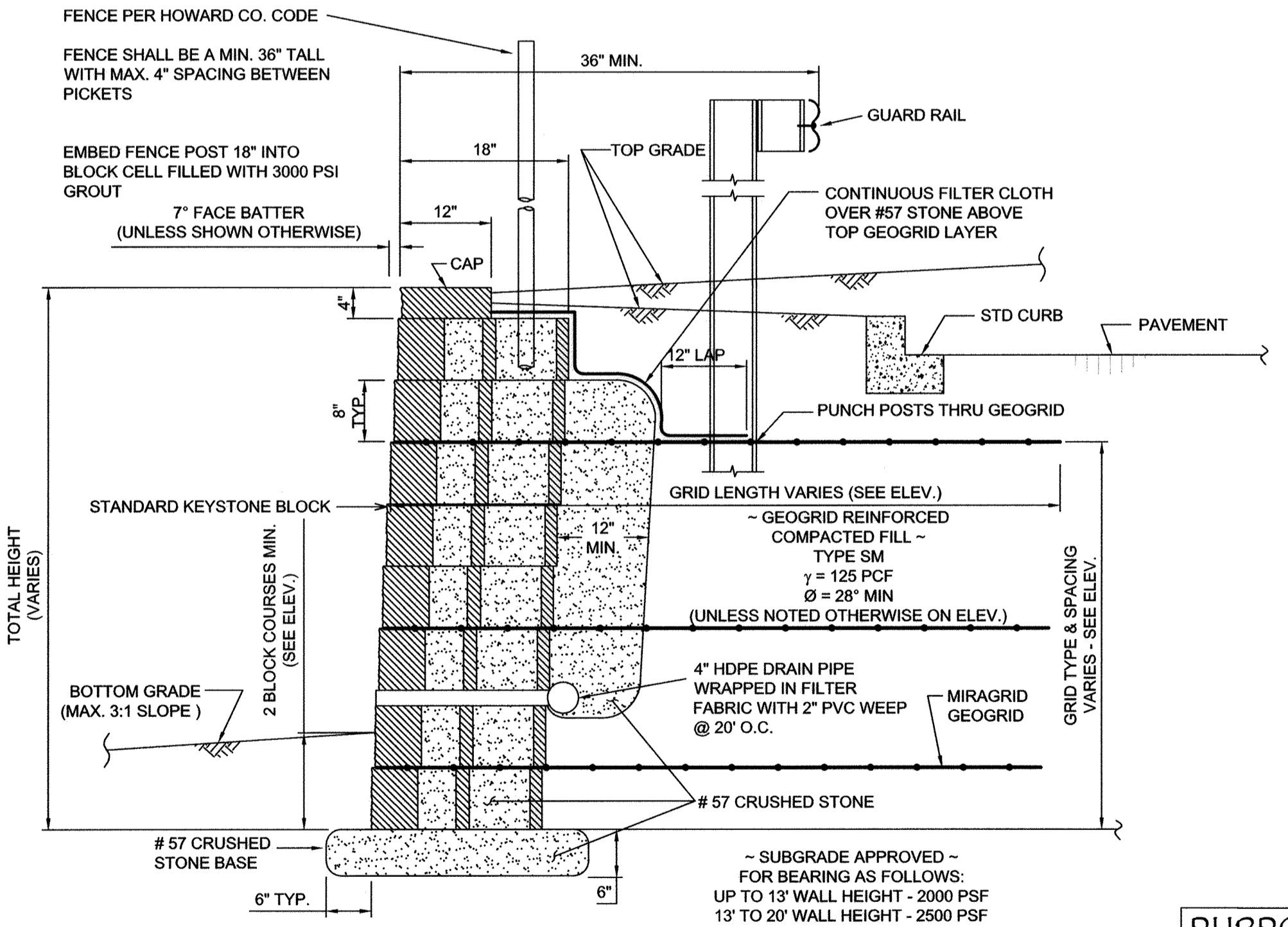
3.02 Base Leveling Pad
A. Leveling pad material shall be placed to the lines and grades shown on the construction drawings, to a minimum thickness of 6 inches and extend laterally a minimum of 6" in front and behind the modular wall unit.
B. Leveling pad shall be prepared to insure full contact to the base surface of the concrete units.

3.03 Modular Unit Installation
A. First course of units shall be placed on the leveling pad at the appropriate line and grade. Alignment and level shall be checked in all directions and insure that all units are in full contact with the base and properly seated.
B. Place the front of units side-by-side. Do not leave gaps between adjacent units. Layout of corners and curves shall be in accordance with manufacturer's recommendations.
C. Install shear/connecting devices per manufacturer's recommendations.
D. Place and compact drainage fill within and behind wall units. Place and compact backfill soil behind drainage fill. Follow wall erection and drainage fill closely with structure backfill.
E. Maximum stacked vertical height of wall units, prior to unit drainage fill and backfill placement and compaction, shall not exceed three courses.
3.04 Structural Geogrid Installation
A. Geogrid shall be oriented with the highest strength axis perpendicular to the wall alignment.
B. Geogrid reinforcement shall be placed at the strengths, lengths, and elevations shown on the construction design drawings or as directed by the Engineer.
C. The geogrid shall be laid horizontally on compacted backfill and attached to the modular wall units. Place the next course of modular concrete units over the geogrid. The geogrid shall be pulled taut, and anchored prior to

3.05 Reinforced Backfill Placement
A. Reinforced backfill shall be placed, spread, and compacted in such a manner that minimizes the development of slack in the geogrid and installation damage.
B. Reinforced backfill shall be placed and compacted in lifts not to exceed 6 inches where hand compaction is used, or 8 - 10 inches where heavy compaction equipment is used. Lift thickness shall be decreased to achieve the required density as required.
C. Reinforced backfill shall be compacted to 95% of the maximum density as determined by ASTM D698. The moisture content of the backfill material prior to and during compaction shall be uniformly distributed throughout each layer and shall be + 3% to - 3% of optimum.
D. Only lightweight hand-operated equipment shall be allowed within 3 feet from the tail of the modular concrete unit.
E. Tracked construction equipment shall not be operated directly upon the geogrid reinforcement. A minimum fill thickness of 6 inches is required prior to operation of tracked vehicles over the geogrid. Tracked vehicle turning should be kept to a minimum to prevent tracks from displacing the fill and damaging the geogrid.
F. Rubber tired equipment may pass over geogrid reinforcement at slow speeds, less than 10 MPH. Sudden braking and sharp turning shall be avoided.
G. At the end of each day's operation, the Contractor shall slope the last lift of reinforced backfill away from the wall units to direct runoff away from adjacent areas to enter the wall construction site.

3.06 Cap Installation
A. Cap units shall be glued to underlying units with an all-weather adhesive recommended by the manufacturer.

3.07 Field Quality Control
A. The Owner shall engage inspection and testing services, including independent laboratories, to provide quality assurance and testing services during construction.
B. As a minimum, quality assurance testing should include foundation soil inspection, soil and backfill testing, verification of design parameters, and observation of construction for general compliance with design drawings and specifications.



TYPICAL WALL SECTION
N.T.S.

- NOTES:**
- No trees shall be planted within 10 feet of the top of the retaining wall.
 - Retaining walls shall only be constructed under the observation of a registered professional engineer and a (NICET, WACEL, or equiv.) certified soils technician.
 - One soil boring shall be required every one hundred feet along the entire length of the wall. Copies of all boring reports shall be provided to the Howard County Inspector Prior to the start of construction.
 - The required bearing pressure beneath the wall system shall be verified in the field by a certified soils technician. Testing documentation must be provided to the Howard County Inspector prior to start of construction. The required bearing test shall be the Dynamic Cone Penetrometer test ASTM STP-399.
 - The suitability of fill material shall be confirmed by the on-site soils technician. Each 8" lift must be compacted to a minimum 95% standard proctor density and the testing report shall be made available to the Howard County Inspector upon completion of construction.
 - Walls shall not be constructed on uncertified fill materials.
 - Walls shall not be constructed within a Howard Co. right-of-way or easement.

PURPOSE NOTE:
THE PURPOSE OF THE REVISED SITE DEVELOPMENT PLAN WAS TO INCREASE THE BUILDING SIZE, CHANGE THE USE TO DAYCARE, OFFICE AND RESTAURANT AND ADD A FENCED PLAY AREA.

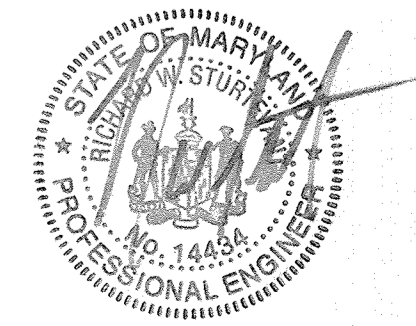
"REVISED SITE DEVELOPMENT PLAN"

RETAINING WALL CONSTRUCTION DETAILS	
THE WELLNESS CENTER OF HOWARD COUNTY	
P/O PARCEL 'A' RESTAURANT, DAYCARE & OFFICE ZONED PEC	
TAX MAP No. 37 P/O PARCEL No. 687 GRID No. 10 FIRST ELECTION DISTRICT HOWARD COUNTY, MARYLAND SCALE: AS SHOWN DATE: JANUARY, 2017	
SHEET 10 OF 20 SDP-13-065	

Address Chart	
BUILDING NO.	STREET ADDRESS
3	6050 MEADOWRIDGE CENTER DRIVE
PROJECT: THE WELLNESS CENTER OF HOWARD COUNTY	
DEED REF. PLAT #20885	SECTION/AREA: 10
BLOCK NO. 10	PARCELS: 687
ZONE: PEC	LOT: P/O P. 'A'
TAX MAP: 37	ELEC. DIST.: FIRST
CENSUS TR. 6030	

DEVELOPER/OWNER
100-103 CENTER, L.L.C.
100 OVERLOOK, L.L.C.
c/o LAND DESIGN AND DEVELOPMENT, INC.
5300 DORSEY HALL DRIVE
SUITE 102
ELLIOTT CITY, MARYLAND 21043
443-367-0422

DATE	DESCRIPTION	REVISION BLOCK
1/30/17	ADD NEW BUILDING AND REVISE THE USE TO DAYCARE, CHANGE BUILDING AREA AND REVISE SHARED PARKING ANALYSIS AND FENCED IN PLAY AREA AND GATE FOR DAYCARE. EXTEND SIDEWALK.	
APPROVED: DEPARTMENT OF PLANNING AND ZONING		
<i>[Signature]</i>	Date	8-19-17
Director, Department of Planning and Zoning		
<i>[Signature]</i>	Date	3-15-17
Chief, Division of Land Development		
<i>[Signature]</i>	Date	2-23-17
Chief, Development Engineering Division		



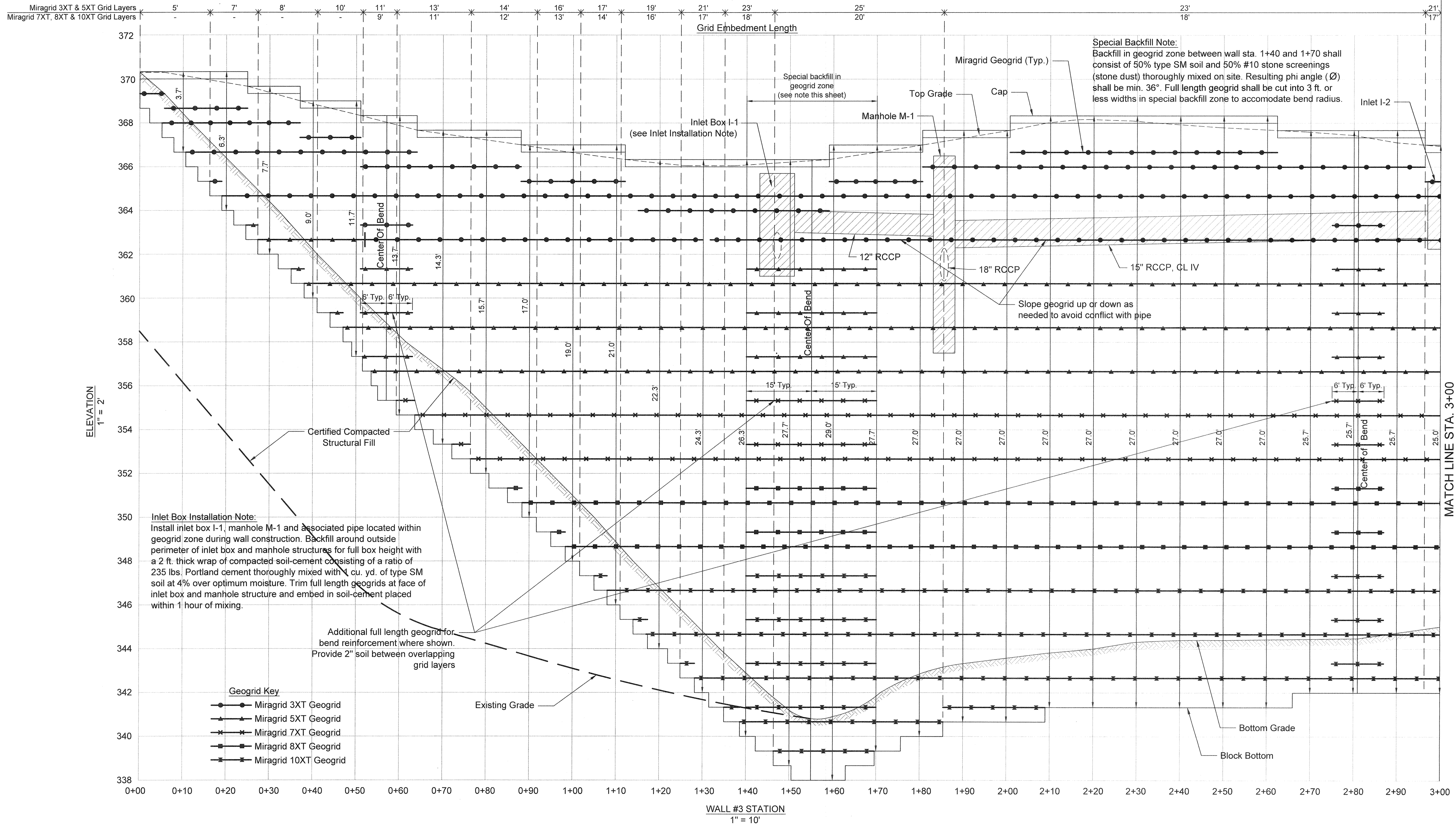
Professional Certification: I hereby certify that these documents were prepared by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland, License No. 14434, Expiration Date: May 13, 2017.

AS-BUILT CERTIFICATION	
Note: There is no "AS BUILT" information provided on this sheet.	
HCEA JOB NO.:	04198-B
DESIGNED BY:	HM
DRAWN BY:	HM
APPROVED BY:	RWS

FISHER, COLLINS & CARTER, INC.
CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
CENTENNIAL SQUARE OFFICE PARK - 10772 BALTIMORE NATIONAL PKWY
ELLIOTT CITY, MARYLAND 21042
(410) 461-2800

HILLIS-CARNES ENGINEERING ASSOCIATES
10975 Guilford Road, Suite A Annapolis Junction, Maryland
(410) 880-4788 WWW.HCEA.COM Fax: (410) 880-4098

THERE IS NO "AS-BUILT" INFORMATION PROVIDED ON THIS SHEET



Inlet Box Installation Note:
 Install inlet box I-1, manhole M-1 and associated pipe located within geogrid zone during wall construction. Backfill around outside perimeter of inlet box and manhole structures for full box height with a 2 ft. thick wrap of compacted soil-cement consisting of a ratio of 235 lbs. Portland cement thoroughly mixed with 1 cu. yd. of type SM soil at 4% over optimum moisture. Trim full length geogrids at face of inlet box and manhole structure and embed in soil-cement placed within 1 hour of mixing.

Additional full length geogrid for bend reinforcement where shown. Provide 2" soil between overlapping grid layers

- Geogrid Key**
- Miragrid 3XT Geogrid
 - ▲ Miragrid 5XT Geogrid
 - ✕ Miragrid 7XT Geogrid
 - Miragrid 8XT Geogrid
 - ✖ Miragrid 10XT Geogrid

Special Backfill Note:
 Backfill in geogrid zone between wall sta. 1+40 and 1+70 shall consist of 50% type SM soil and 50% #10 stone screenings (stone dust) thoroughly mixed on site. Resulting phi angle (ϕ) shall be min. 36°. Full length geogrid shall be cut into 3 ft. or less widths in special backfill zone to accommodate bend radius.

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 ELLICOTT CITY, MARYLAND 21042
 (410) 461-2855

HILLIS-CARNES ENGINEERING ASSOCIATES
 10975 Guilford Road, Suite A Annapolis Junction, Maryland
 (410) 880-4788 WWW.HCEA.COM Fax: (410) 880-4098

AS-BUILT CERTIFICATION
 Note: There is no "AS BUILT" information provided on this sheet.

Charles J. Crow
 CHARLES J. CROW, P.E. NO. 19704
 5/14/19
 Date

HCEA JOB NO.: 04198-B
 DESIGNED BY: HM
 DRAWN BY: HM
 APPROVED BY: RWS

Professional Certification: I hereby certify that these documents were prepared by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland, Licence No. 14434, Expiration Date: May 13, 2015.

Charles J. Crow
 CHARLES J. CROW, P.E.
 PROFESSIONAL ENGINEER

APPROVED: DEPARTMENT OF PLANNING AND ZONING

Director - Department of Planning and Zoning
David M. Law
 Date: 6/12/19

Chief, Division of Land Development
Christy Shulman
 Date: 5-27-19

Chief, Development Engineering Division
 NY

DEVELOPER/OWNER
 100-103 CENTER, L.L.C.
 c/o LAND DESIGN AND DEVELOPMENT, INC.
 5300 DORSEY HALL DRIVE
 SUITE 102
 ELLICOTT CITY, MARYLAND 21043
 443-367-0422

Address Chart

BUILDING NO.	STREET ADDRESS
1	6050 MEADOWRIDGE CENTER DRIVE

PROJECT	SECTION/AREA	PARCEL NO.	LOT
LYNDWOOD SQUARE	-	E-3	-
DEED REF.	BLOCK NO.	ZONE	TAX MAP
PLAT # 2009-06	10	POR	37
		ELEC. DIST.	CENSUS TR.
		FIRST	6030

RETAINING WALL #3 ELEV. STA. 0+00 - STA. 3+00

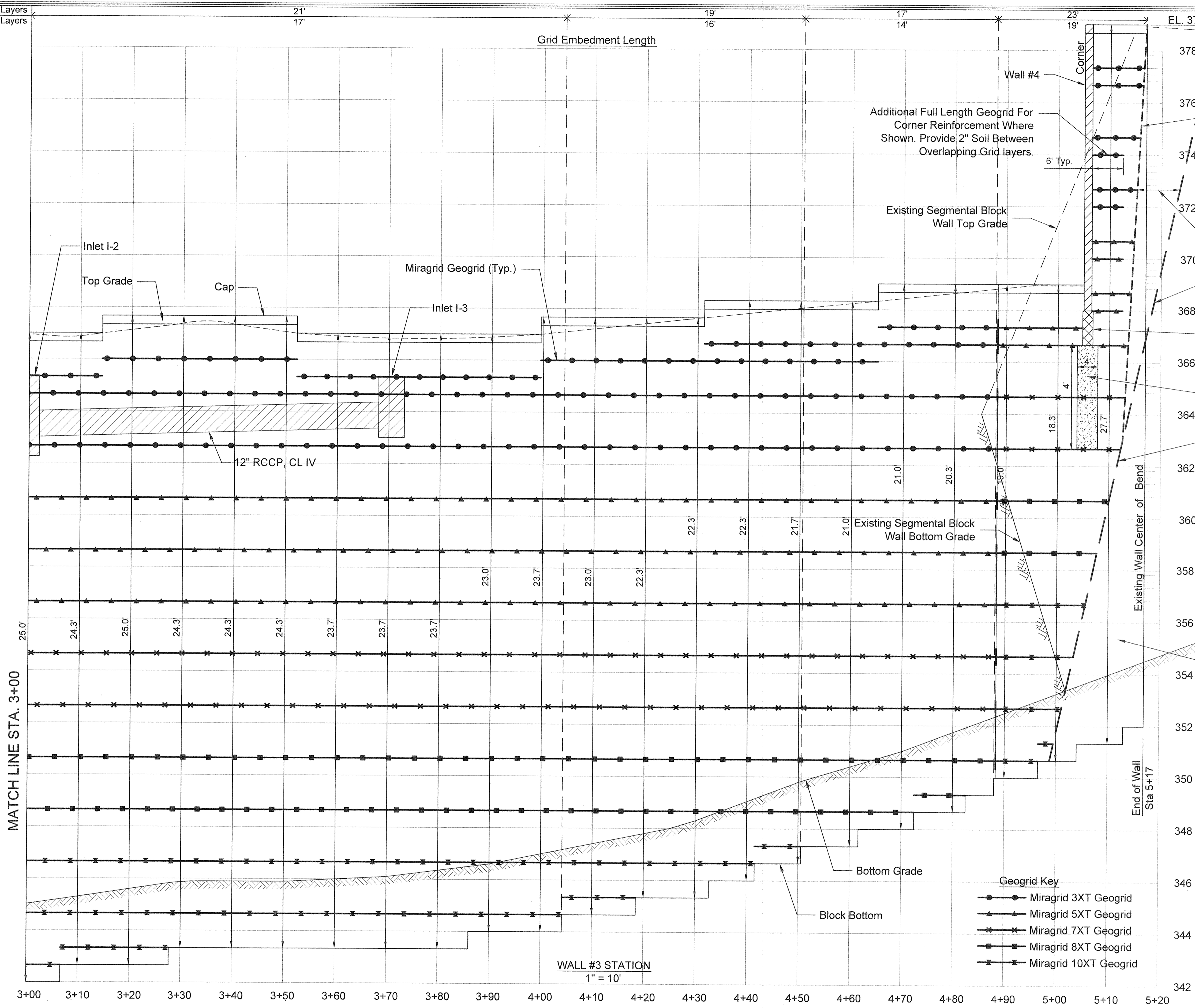
THE WELLNESS CENTER
 OF HOWARD COUNTY
 P/O PARCEL 'A'
 DAYCARE BUILDING
 ZONED PEC

TAX MAP No. 37 PARCEL No. 687 GRID No. 10
 FIRST ELECTION DISTRICT HOWARD COUNTY, MARYLAND
 SCALE: AS SHOWN DATE: AUGUST 7, 2013

SHEET # of 2
 SDP-13-065

THERE IS NO "AS-BUILT" INFORMATION PROVIDED ON THIS SHEET

Miragrid 3XT & 5XT Grid Layers
Miragrid 7XT, 8XT & 10XT Grid Layers



Existing Segmental Block Wall Top Grade

Extent of existing wall backfill excavation for installation of wall #4. Contractor to determine means and methods to provide for safe excavation.

Note:
Contractor to field confirm location and elevation of existing segmental block wall and establish new wall alignment accordingly resulting in seamless merging.

Leave existing geogrids intact during block removal and rejoin grids to new block face

Merge new wall to existing segmental block retaining wall at wall block dismantle line

16" x 24" x 12' long cast-in-place reinforced concrete grade beam (see wall #4 elevation)

Note:
Fill all block cells full block depth with 2000 psi strength grout in a 4' x 4' area centered under the grade beam.

Proposed wall dismantle line of existing segmental block wall. Contractor shall field determine specific location.

- Geogrid Key**
- Miragrid 3XT Geogrid
 - ▲ Miragrid 5XT Geogrid
 - × Miragrid 7XT Geogrid
 - Miragrid 8XT Geogrid
 - ⊠ Miragrid 10XT Geogrid

MATCH LINE STA. 3+00

WALL #3 STATION
1" = 10'

ELEVATION
1" = 2'

FISHER, COLLINS & CARTER, INC.
CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
CENTENNIAL SQUARE OFFICE PARK - 10272 BALTIMORE NATIONAL PIKE
ELICOTT CITY, MARYLAND 21042
(410) 461-2855

HILLIS-CARNES
ENGINEERING ASSOCIATES
10975 Guilford Road, Suite A Annapolis Junction, Maryland
(410) 880-4788 WWW.HCEA.COM Fax: (410) 880-4098

AS-BUILT CERTIFICATION
Note: There is no "AS BUILT" information provided on this sheet.

Charles W. Craig, P.E. 5/14/19
Date

HCEA JOB NO.: 04198-B

DESIGNED BY: HM

DRAWN BY: HM

APPROVED BY: RWS

Professional Certification: I hereby certify that these documents were prepared by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland, Licence No. 14434, Expiration Date: May 13, 2015.

Mark A. Coughlin 6/12/14
Date
Director - Department of Planning and Zoning

Kate Beland 6-12-14
Date
Chief, Division of Land Development

Chad Smith 3-27-14
Date
Chief, Development Engineering Division

DATE	DESCRIPTION	REVISION	BLOCK

APPROVED: DEPARTMENT OF PLANNING AND ZONING

DEVELOPER/OWNER
100-103 CENTER, L.L.C.
c/o LAND DESIGN AND DEVELOPMENT, INC.
5300 DORSEY HALL DRIVE
SUITE 102
ELICOTT CITY, MARYLAND 21043
443-367-0422

Address Chart

BUILDING NO.	STREET ADDRESS
1	6050 MEADOWRIDGE CENTER DRIVE

PROJECT LYNDWOOD SQUARE **SECTION/AREA** **PARCEL NO.** E-3 **LOT**

DEED REF.	BLOCK NO.	ZONE	TAX MAP	ELEC. DIST.	CENSUS TR.
PLAT # 22505	10	POR	37	FIRST	6030

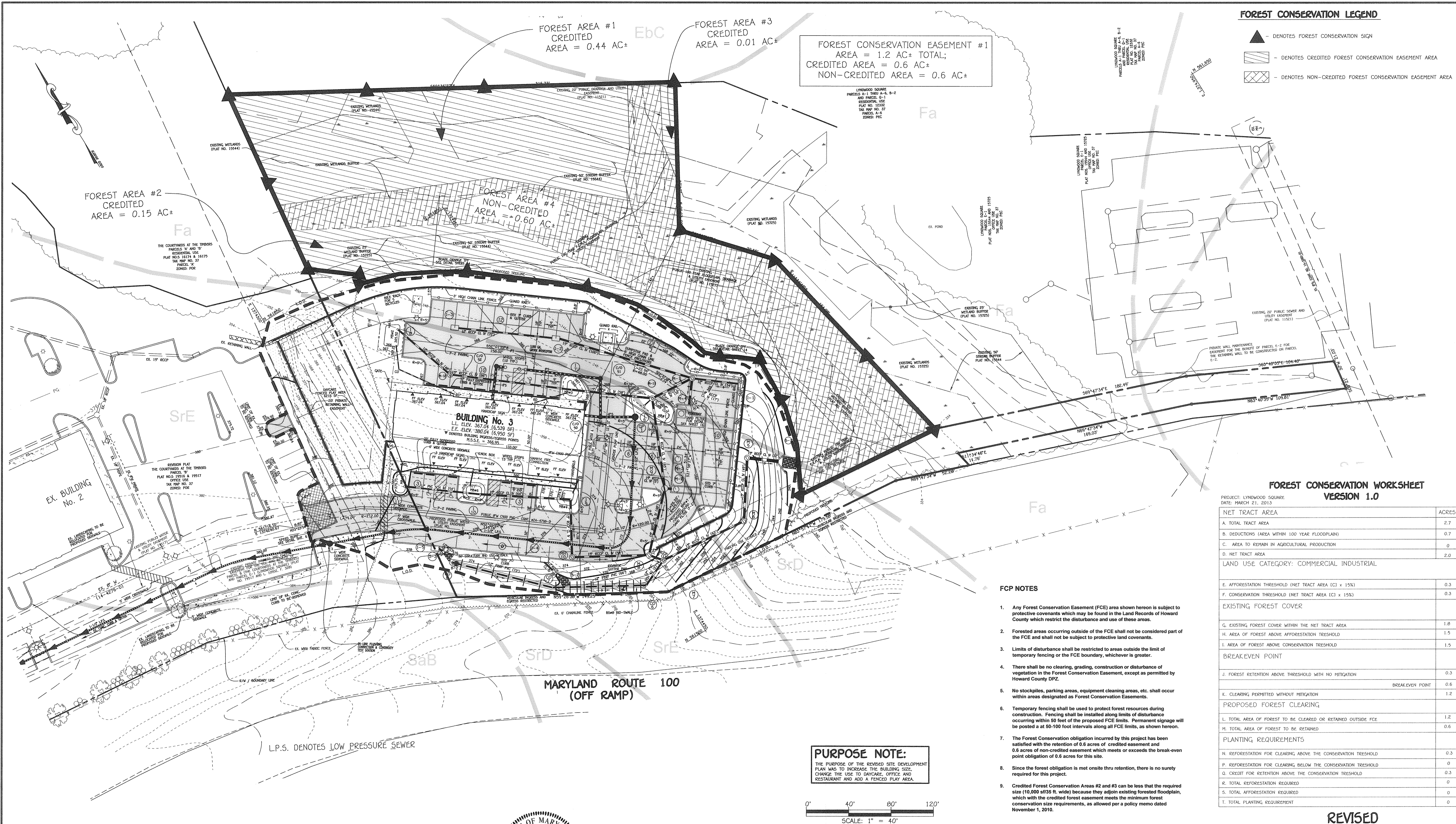
RETAINING WALL #3 ELEV. STA. 3+00 - STA. 5+17

THE WELLNESS CENTER OF HOWARD COUNTY
P/O PARCEL 'A'
DAYCARE BUILDING
ZONED PEC

TAX MAP No. 37 PARCEL No. 687 GRID No. 10
FIRST ELECTION DISTRICT HOWARD COUNTY, MARYLAND
SCALE: AS SHOWN DATE: AUGUST 7, 2013

SHEET 13 OF 20

THERE IS NO "AS-BUILT" INFORMATION PROVIDED ON THIS SHEET



FOREST CONSERVATION LEGEND

- ▲ - DENOTES FOREST CONSERVATION SIGN
- ▨ - DENOTES CREDITED FOREST CONSERVATION EASEMENT AREA
- ▩ - DENOTES NON-CREDITED FOREST CONSERVATION EASEMENT AREA

FOREST CONSERVATION EASEMENT #1
 AREA = 1.2 AC± TOTAL;
 CREDITED AREA = 0.6 AC±
 NON-CREDITED AREA = 0.6 AC±

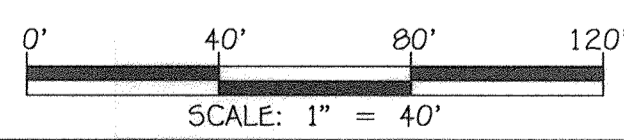
**FOREST CONSERVATION WORKSHEET
 VERSION 1.0**

PROJECT: LYNDWOOD SQUARE
 DATE: MARCH 21, 2013

NET TRACT AREA	ACRES
A. TOTAL TRACT AREA	2.7
B. DEDUCTIONS (AREA WITHIN 100 YEAR FLOODPLAIN)	0.7
C. AREA TO REMAIN IN AGRICULTURAL PRODUCTION	0
D. NET TRACT AREA	2.0
LAND USE CATEGORY: COMMERCIAL INDUSTRIAL	
E. AFFORESTATION THRESHOLD (NET TRACT AREA (C) x 15%)	0.3
F. CONSERVATION THRESHOLD (NET TRACT AREA (C) x 15%)	0.3
EXISTING FOREST COVER	
G. EXISTING FOREST COVER WITHIN THE NET TRACT AREA	1.8
H. AREA OF FOREST ABOVE AFFORESTATION THRESHOLD	1.5
I. AREA OF FOREST ABOVE CONSERVATION THRESHOLD	1.5
BREAK-EVEN POINT	
J. FOREST RETENTION ABOVE THRESHOLD WITH NO MITIGATION	0.3
K. CLEARING PERMITTED WITHOUT MITIGATION	BREAK-EVEN POINT
L. TOTAL AREA OF FOREST TO BE CLEARED OR RETAINED OUTSIDE FCE	1.2
M. TOTAL AREA OF FOREST TO BE RETAINED	0.6
PLANTING REQUIREMENTS	
N. REFORESTATION FOR CLEARING ABOVE THE CONSERVATION THRESHOLD	0.3
O. REFORESTATION FOR CLEARING BELOW THE CONSERVATION THRESHOLD	0
P. CREDIT FOR RETENTION ABOVE THE CONSERVATION THRESHOLD	0.3
R. TOTAL AFFORESTATION REQUIRED	0
S. TOTAL AFFORESTATION REQUIRED	0
T. TOTAL PLANTING REQUIREMENT	0

- FCP NOTES**
- Any Forest Conservation Easement (FCE) area shown hereon is subject to protective covenants which may be found in the Land Records of Howard County which restrict the disturbance and use of these areas.
 - Forested areas occurring outside of the FCE shall not be considered part of the FCE and shall not be subject to protective land covenants.
 - Limits of disturbance shall be restricted to areas outside the limit of temporary fencing or the FCE boundary, whichever is greater.
 - There shall be no clearing, grading, construction or disturbance of vegetation in the Forest Conservation Easement, except as permitted by Howard County DPZ.
 - No stockpiles, parking areas, equipment cleaning areas, etc. shall occur within areas designated as Forest Conservation Easements.
 - Temporary fencing shall be used to protect forest resources during construction. Fencing shall be installed along limits of disturbance occurring within 50 feet of the proposed FCE limits. Permanent signage will be posted at 50-100 foot intervals along all FCE limits, as shown hereon.
 - The Forest Conservation obligation incurred by this project has been satisfied with the retention of 0.6 acres of credited easement and 0.6 acres of non-credited easement which meets or exceeds the break-even point obligation of 0.6 acres for this site.
 - Since the forest obligation is met onsite thru retention, there is no surety required for this project.
 - Credited Forest Conservation Areas #2 and #3 can be less than the required size (10,000 sq ft 35 ft wide) because they adjoin existing forested floodplain, which with the credited forest easement meets the minimum forest conservation size requirements, as allowed per a policy memo dated November 1, 2010.

PURPOSE NOTE:
 THE PURPOSE OF THE REVISED SITE DEVELOPMENT PLAN WAS TO INCREASE THE BUILDING SIZE, CHANGE THE USE TO DAYCARE, OFFICE AND RESTAURANT AND ADD A FENCED PLAY AREA.



FISHER, COLLINS & CARTER, INC.
 CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
 CENTENNIAL SQUARE OFFICE PARK - 10272 BALTIMORE NATIONAL PIKE
 ELLICOTT CITY, MARYLAND 21042
 (410) 461-1200

MD DNR Qualified Professional
 USACOE Wetland Designer
 Certification # WDCP94MD06100448
JOHN P. CANOLES
 AS-BUILT CERTIFICATION
 Note: There is no "AS BUILT" information provided on this sheet.
 Date: 5/14/19
 CHARLES J. CROVO, P.E. NO. 13204

"Professional Certification. I hereby certify that I am a duly licensed professional engineer and approved by me, and that I am a duly licensed professional engineer in the State of Maryland, License No. 13204. Expiration Date: November 3, 2018."
CHARLES J. CROVO, JR., P.E.
 3/6/17 DATE

DATE	DESCRIPTION	REVISION BLOCK
11/29/16	ADD IN THE PLAY AREA FOR THE DAY CARE USE. REMOVE BEER COOLER, ELEVATOR AND DECK. REVISE THE BUILDING TO REFLECT NEW FOOTPRINT. REVISE SPOT ELEVATIONS.	
7/16/15	ADD ENCLOSED PATIO AND RELOCATED MICRO BIO-RETENTION FACILITY NUMBER 2 TO BE LOCATED NEXT TO THE BEER COOLER.	
4/13/15	REVISE SEWER MAIN OUTFALL. ADD BEER COOLER AND DECK. RAISE THE FIRST FLOOR BY 1 FOOT AND ADJUST PARKING AREA AND SPOTS. ADD GREASE TRAP TO PLANS. REVISE RETAINING WALL TO THE INTO PROPOSED BUILDING.	

APPROVED: DEPARTMENT OF PLANNING AND ZONING
 Director - Department of Planning and Zoning
 Date: 3-14-17
 Chief, Division of Land Development gmf
 Date: 3-15-17
 Chief, Development Engineering Division NY
 Date: 3-10-17

DEVELOPER/OWNER
 100-103 CENTER, L.L.C.
 100 OVERLOOK, L.L.C.
 c/o LAND DESIGN AND DEVELOPMENT, INC.
 5300 DORSEY HALL DRIVE
 SUITE 102
 ELLICOTT CITY, MARYLAND 21043
 443-367-0422

Address Chart

BUILDING NO.	STREET ADDRESS
3	6050 MEADOWRIDGE CENTER DRIVE

PROJECT: THE WELLNESS CENTER OF HOWARD COUNTY
 SECTION/AREA: -
 PARCELS: 687
 LOT: P/O P. 'A'
 DEED REF. PLAT #22805-22806 PLAT #20885
 BLOCK NO. 10
 ZONE PEC
 TAX MAP 37
 ELEC. DIST. FIRST
 CENSUS TR. 6030

REVISED FOREST CONSERVATION PLAN
THE WELLNESS CENTER OF HOWARD COUNTY
 P/O PARCEL 'A'
 RESTAURANT, DAYCARE & OFFICE
 ZONED PEC
 TAX MAP No. 37 P/O PARCEL No. 687 GRID No. 10
 FIRST ELECTION DISTRICT HOWARD COUNTY, MARYLAND
 SCALE: 1" = 30' DATE: JANUARY, 2017
 SHEET 13 OF 20
 SDP-13-065

THERE IS NO "AS-BUILT" INFORMATION PROVIDED ON THIS SHEET

T:\2014\008\dwg\LYNDWOOD SQUARE\Revision for New Building 11-28-16\REPLACEMENT MYLAR SHEET 13-14 FOREST CONSERVATION PLAN.dwg, 3/6/2017 11:42:16 AM, 11

CONSTRUCTION PERIOD PROTECTION PROGRAM

A. Forest Protection Techniques

1. Soil Protection Area (Critical Root Zone)

The soil protection area, or critical root zone, of a tree is that portion of the soil column where most of its roots may be found. The majority of roots responsible for water and nutrient uptake are located just below the soil surface. Temporary fencing shall be placed around the critical root zone of the forest in areas where the forest limits occur within 50 feet of the limit of disturbance.

2. Fencing and Signage

Existing forest limits occurring within 50 feet of the limits of disturbance shall be protected using temporary protective fencing. Permanent signage shall be placed around the afforestation area prior to plant installation, as shown on the plan.

B. Pre-Construction Meeting

Upon staking of limits of disturbance a pre-construction meeting will be held between the developer, contractor and appropriate County inspector. The purpose of the meeting will be to verify that all sediment control is in order, and to notify the contractor of possible penalties for non-compliance with the FCP.

C. Storage Facilities/Equipment Cleaning

All equipment storage, parking, sanitary facilities, material stockpiling, etc. associated with construction of the project will be restricted to those areas outside of the proposed Forest Conservation Easement. Cleaning of equipment will be limited to area within the LOD of the proposed homesites. Wastewater resulting from equipment cleaning will be controlled to prevent runoff into environmentally sensitive areas.

D. Sequence of Construction

The following timetable represents the proposed timetable for development of the subject property. The items outlined in the Forest Conservation Plan will be enacted within two (2) years of subdivision approval.

Below find a proposed sequence of construction.

1. Install all signage, tree protection fencing and sediment control devices.
2. Hold pre-construction meeting between developer, contractor and County inspector.
3. Build access roads, install water and sewer, and construct houses. Stabilize all disturbed areas accordingly.
4. Remove sediment control.
5. Hold post-construction meeting with County inspectors to assure compliance with FCP. Submit Certification of Retention.

E. Construction Monitoring

Eco-Science Professionals, or another qualified professional designated by the developer, will monitor construction of the project to ensure that all activities are in compliance with the Forest Conservation Plan.

F. Post-Construction Meeting

Upon completion of construction, Eco-Science Professionals, or another qualified professional designated by the developer, will notify the County that construction has been completed and arrange for a post-construction meeting to review the project site. The meeting will allow the County inspector to verify that forest retention requirements have been met.

POST-CONSTRUCTION MANAGEMENT PLAN

Howard County requires a two year post-construction management plan be prepared as part of the Forest Conservation Plan. The plan goes into effect upon acceptance of the construction certification of completion by the County. Eco-Science Professionals, or another qualified professional designated by the developer, will be responsible for implementation of the post-construction management plan.

The following items will be incorporated into the plan for the subject property:

A. Fencing and Signage

Permanent signage indicating the limits of the retention/planting area shall be maintained.

B. General Site Inspections

Site inspections will be performed to insure that retention of the forest is met in accordance with this plan and that the forest edge remains healthy and stable.

C. Education

The developer will provide appropriate materials to property owners informing them of the location and purpose of the forest conservation easement. Materials may include site plans and information explaining the intent of the forest conservation law.

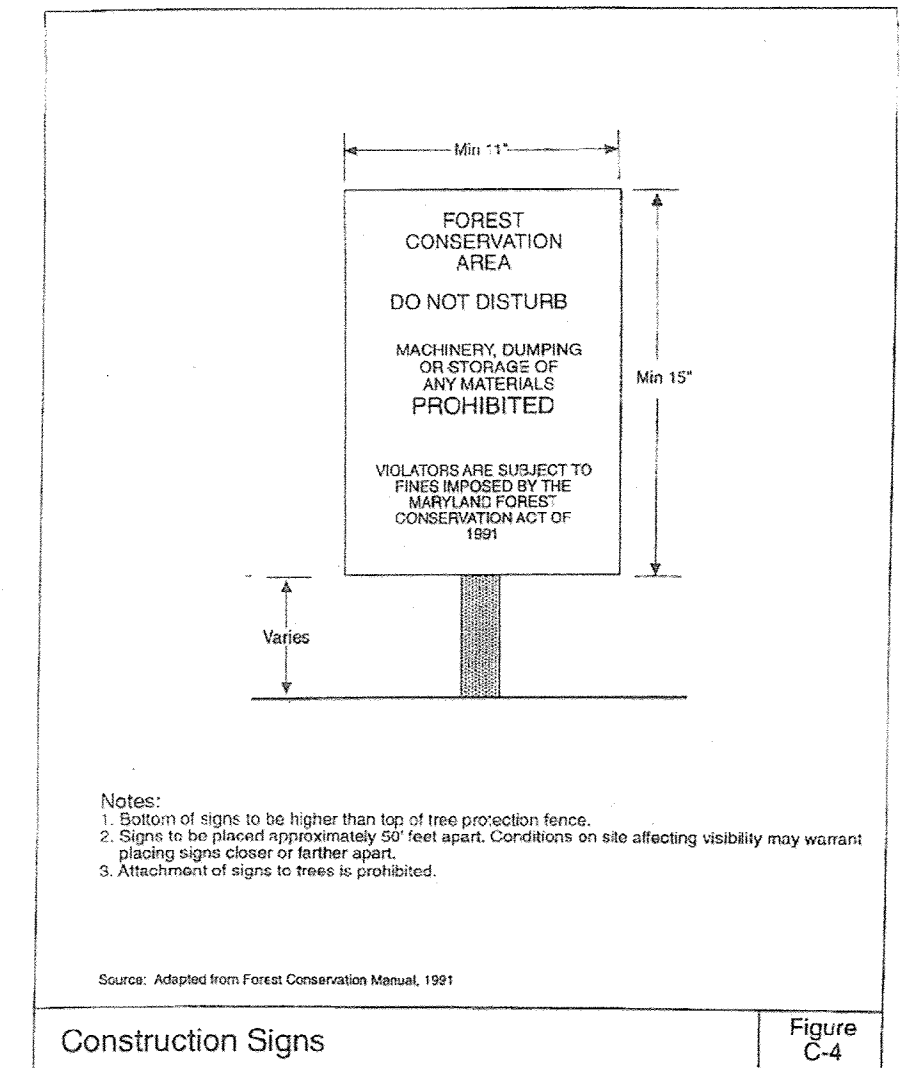
D. Final Inspection

At the end of the two year post-construction management period, Eco-Science Professionals, or another qualified professional, will submit to the administrator of the Howard County Forest Conservation Program certification that all retention/afforestation requirements have been met. Upon acceptance of this certification, the County will release the developer from all future obligations and release the developer's bond.

FOREST CONSERVATION EASEMENTS

Easements are a legal means of providing permanent protection of forests, farmland and open space. In accordance with the criteria outlined in the Howard County Forest Conservation Manual, a forest conservation easement will be recorded for the retention areas the subject property. Submission of the easements for recordation will occur prior to commencement of construction activities.

State Forest Conservation Manual
Appendix C: Sample Details and Specifications



Construction Signs Figure C-4 July 1995

Final Draft

173

July 1995

I:\2004\04008\dwg\LYNDWOOD SQUARE\13-14 FOREST CONSERVATION PLAN.dwg, SHEET 14, 9/27/2013 4:45:52 PM, 1:1

FISHER, COLLINS & CARTER, INC.
CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
CENTENNIAL SQUARE OFFICE PARK - 10272 BALTIMORE NATIONAL PIKE
ELICOTT CITY, MARYLAND 21042
(410) 461-2200

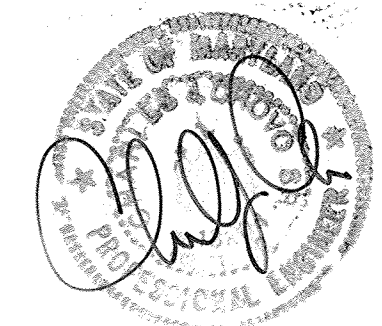
Eco-Science Professionals, Inc.
CONSULTING ECOLOGISTS

MD DNR Qualified Professional
USACOE Wetland Delineator
Certification # WDCP93MD06100448
JOHN P. CANOLES

AS-BUILT CERTIFICATION

Note: There is no "AS BUILT" information provided on this sheet.

CHARLES J. CROVO, P.E. NO. 19904 Date 6/14/14



"Professional Certification. I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland, License No. 19204, Expiration Date: November 3, 2014."

CHARLES J. CROVO, SR., P.E. 3/12/14 DATE

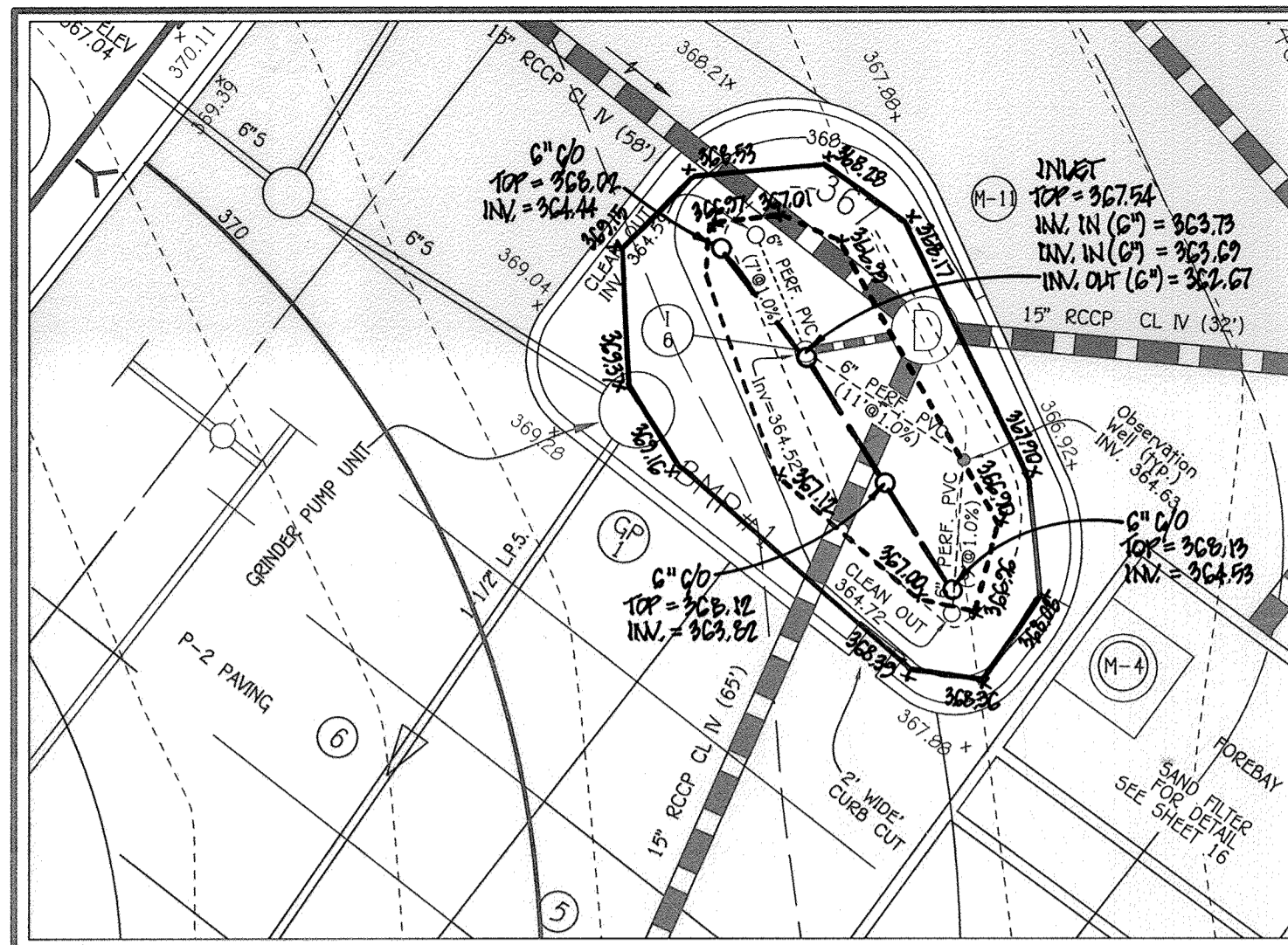
DATE	DESCRIPTION	REVISION BLOCK
APPROVED: DEPARTMENT OF PLANNING AND ZONING		
6/12/14	Maura M. Laughlin	Date
6/12/14	Keith L. Quirk	Date
3-27-14	Chief, Development Engineering Division	Date

DEVELOPER/OWNER
100-103 CENTER, L.L.C.
100 OVERLOOK, L.L.C.
c/o LAND DESIGN AND DEVELOPMENT, INC.
5300 DORSEY HALL DRIVE
SUITE 102
ELICOTT CITY, MARYLAND 21043
443-367-0422

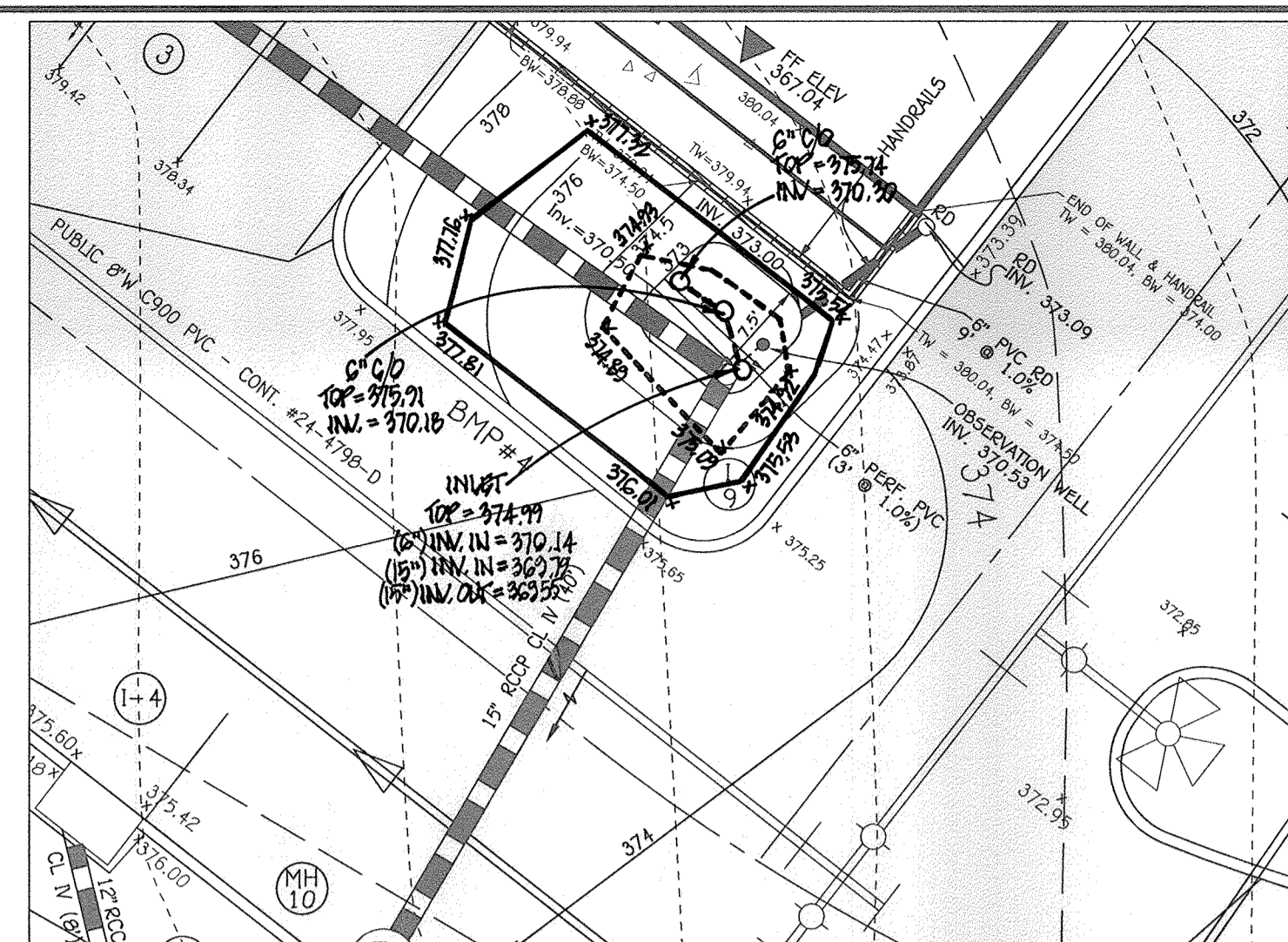
BUILDING NO.		STREET ADDRESS	
3		6050 MEADOWRIDGE CENTER DRIVE	
PROJECT: THE WELLNESS CENTER OF HOWARD COUNTY			
DEED REF. PLAT #20885 & 22806	BLOCK NO. 10	ZONE PEC	TAX MAP 37
SECTION/AREA -	PARCELS 687	P/O P. 'A'	LOT 6030

FOREST CONSERVATION NOTES AND DETAILS
THE WELLNESS CENTER OF HOWARD COUNTY
P/O PARCEL 'A'
DAY CARE BUILDING
ZONED PEC
TAX MAP No. 37 P/O PARCEL No. 687 GRID No. 10
FIRST ELECTION DISTRICT HOWARD COUNTY, MARYLAND
SCALE: 1" = 40' DATE: SEPTEMBER 30, 2013
SHEET 14 OF 20
SDP-13-065

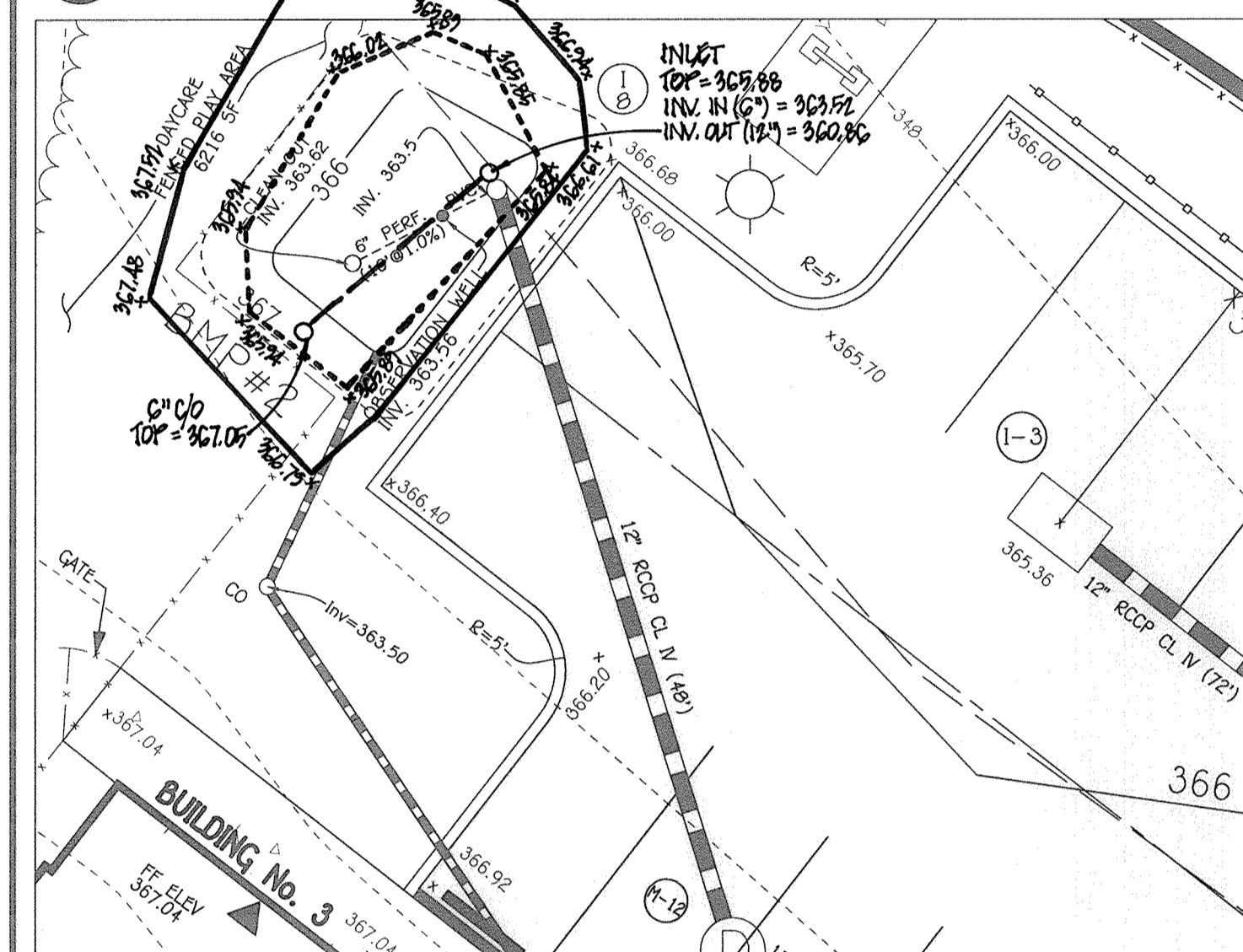
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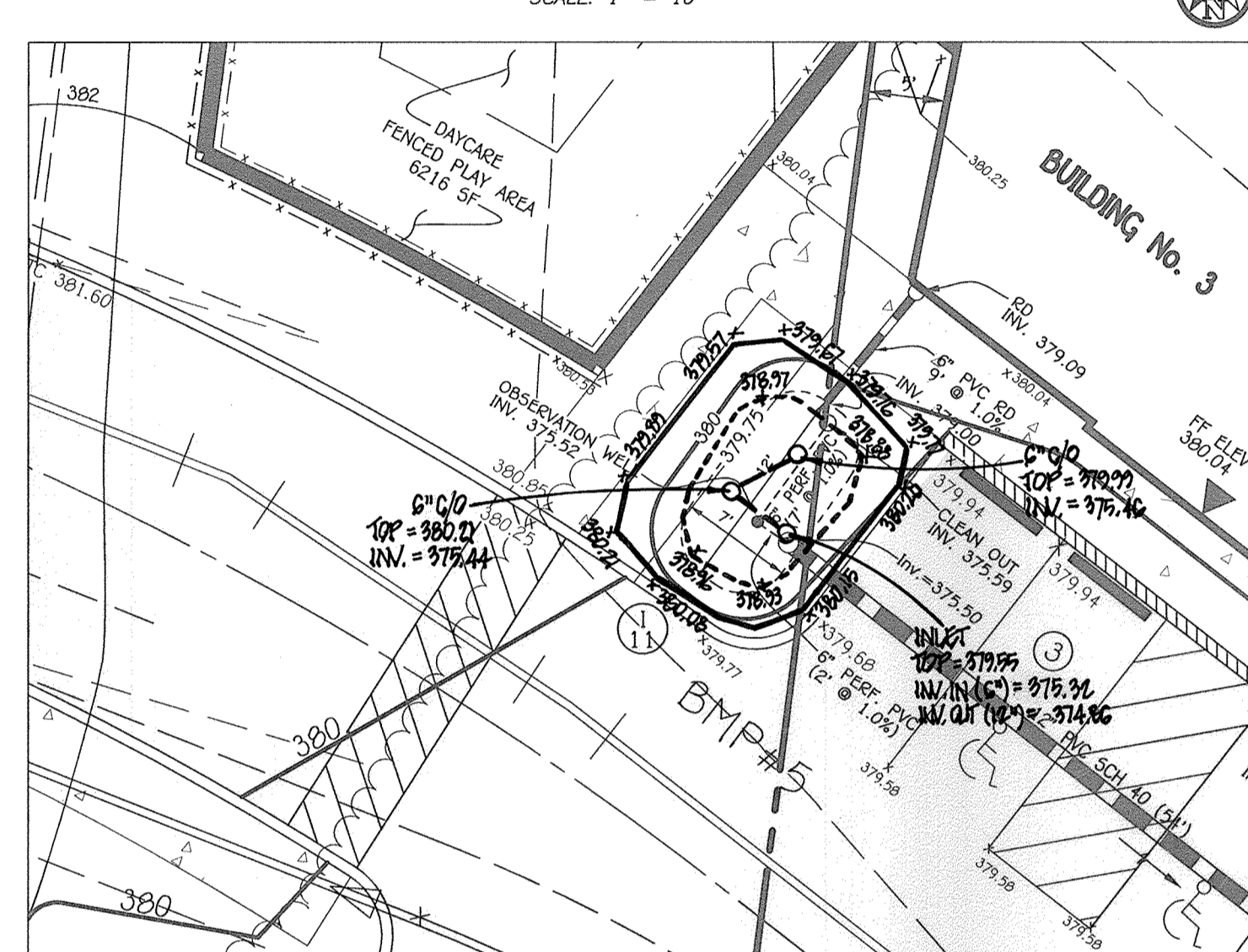
MICRO BIO-RETENTION (M-6) FACILITY No. 1 PLAN
SCALE: 1" = 10'



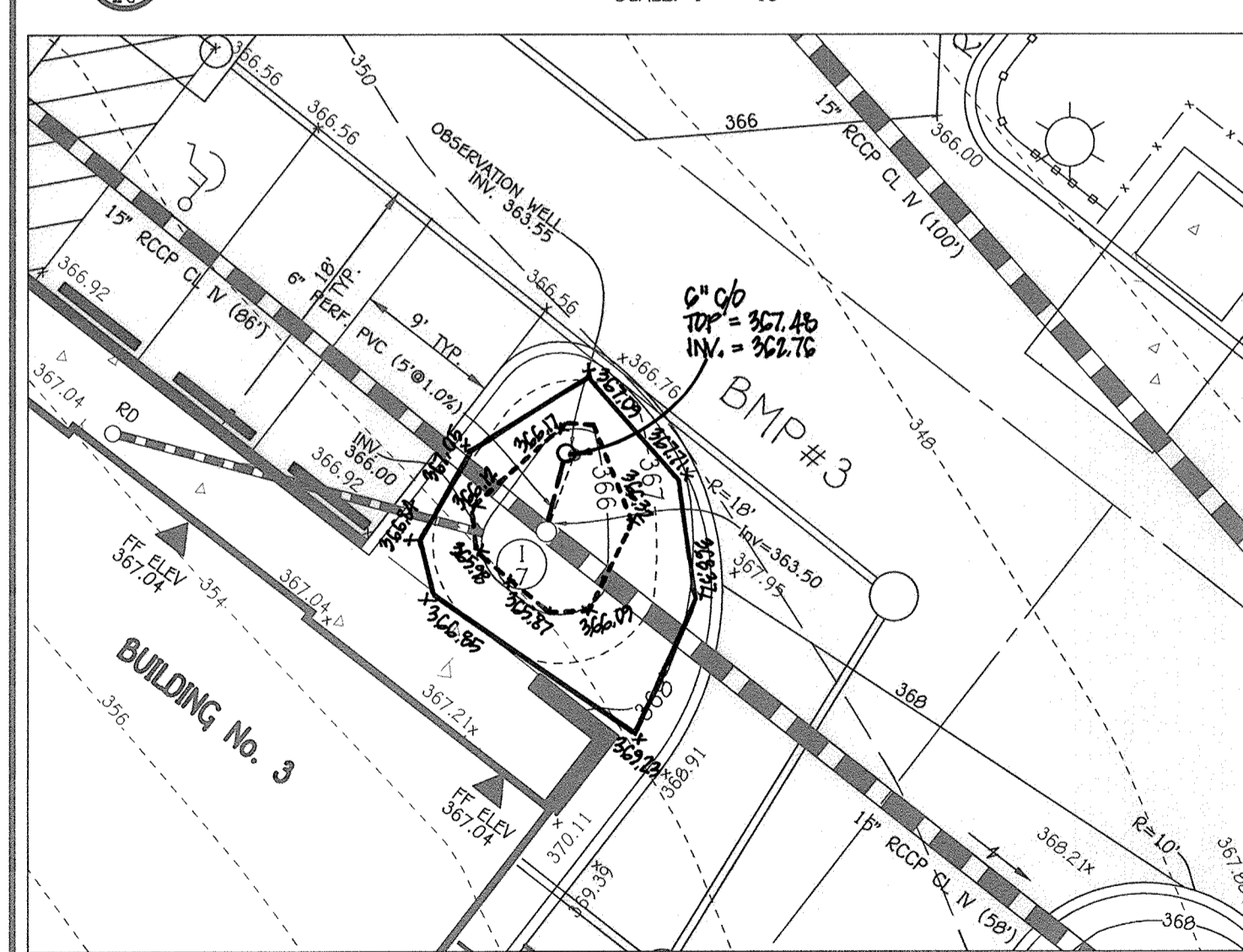
MICRO BIO-RETENTION (M-6) FACILITY No. 4 PLAN
SCALE: 1" = 10'



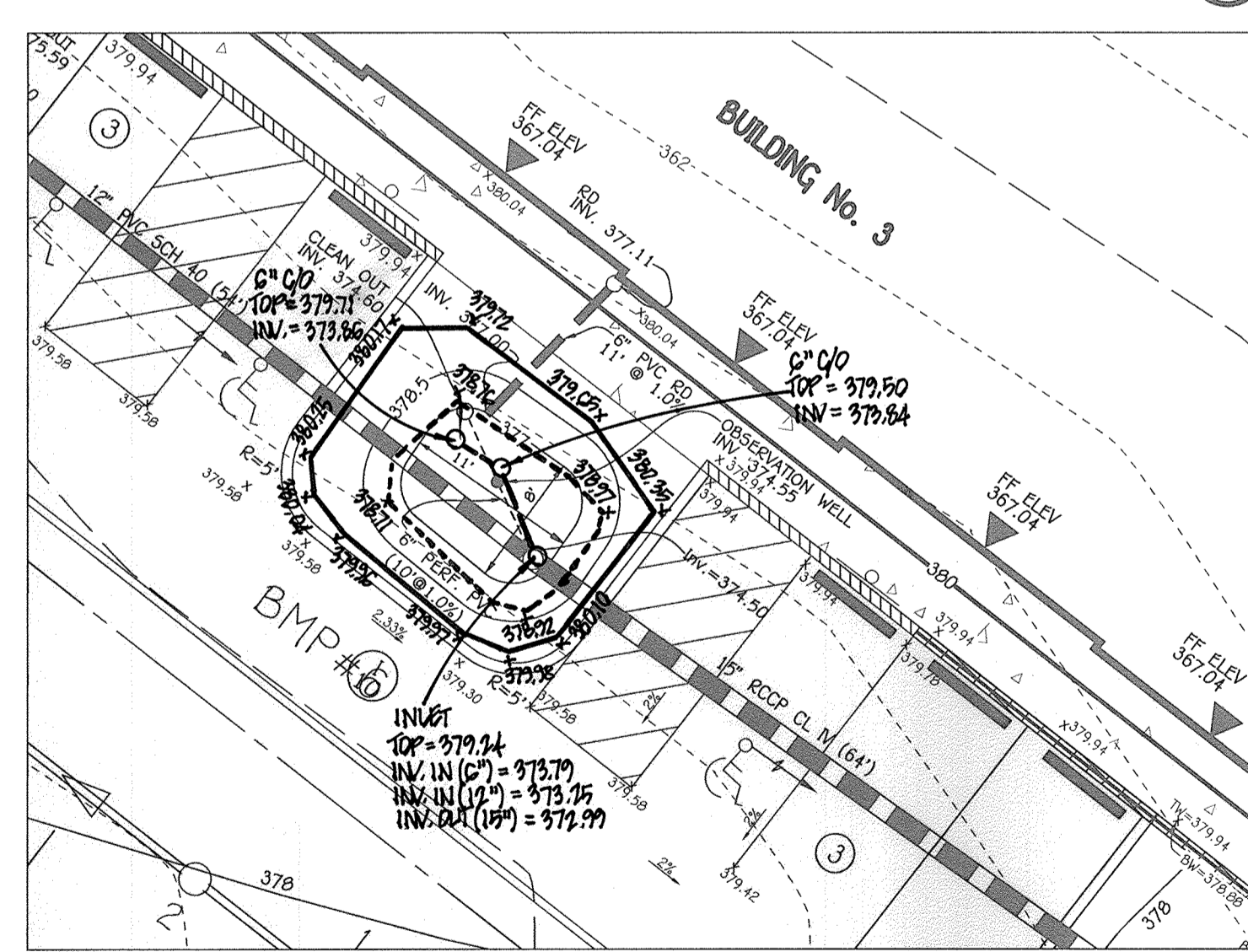
MICRO BIO-RETENTION (M-6) FACILITY No. 2 PLAN
SCALE: 1" = 10'



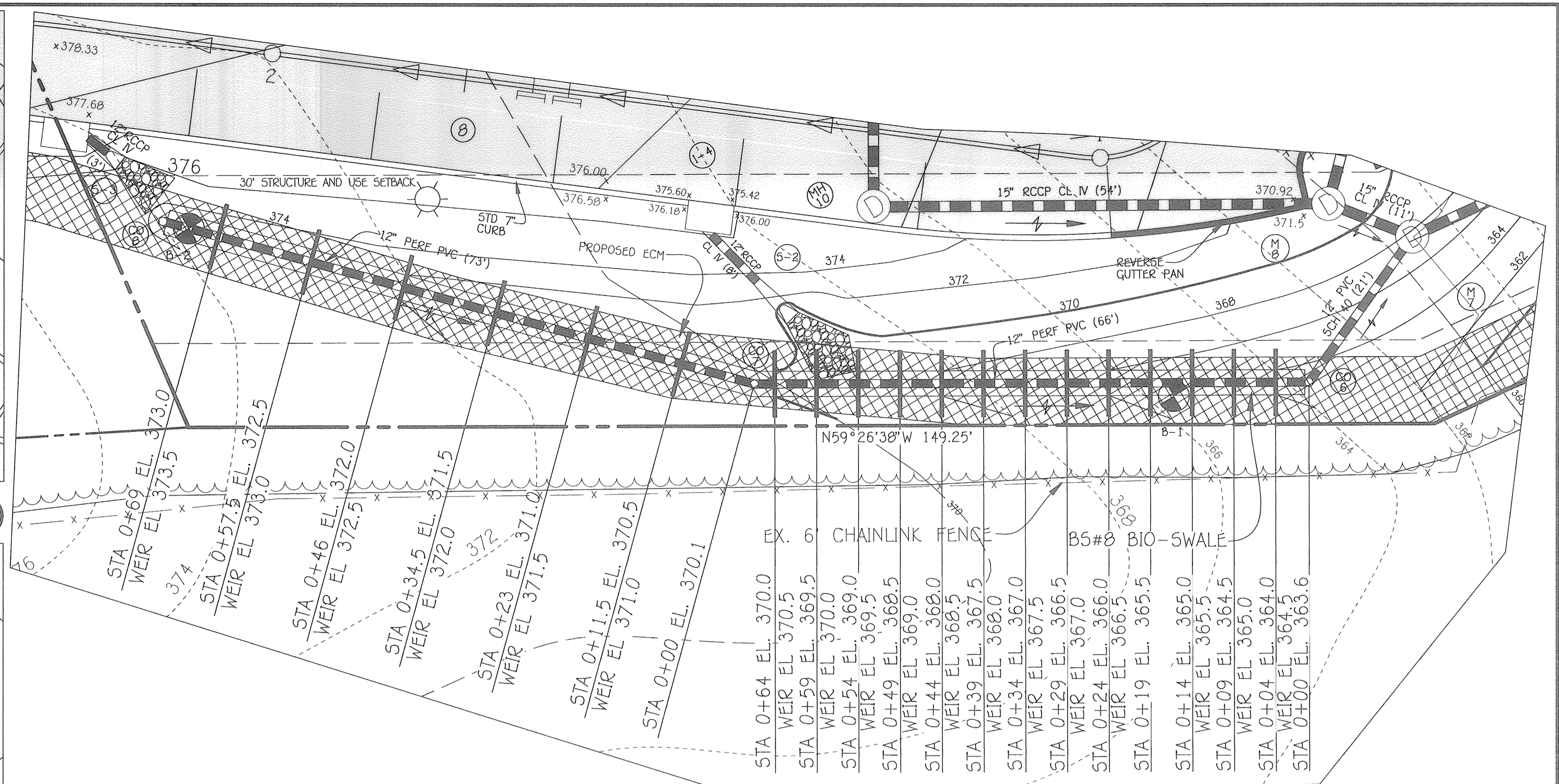
MICRO BIO-RETENTION (M-6) FACILITY No. 5 PLAN
SCALE: 1" = 10'



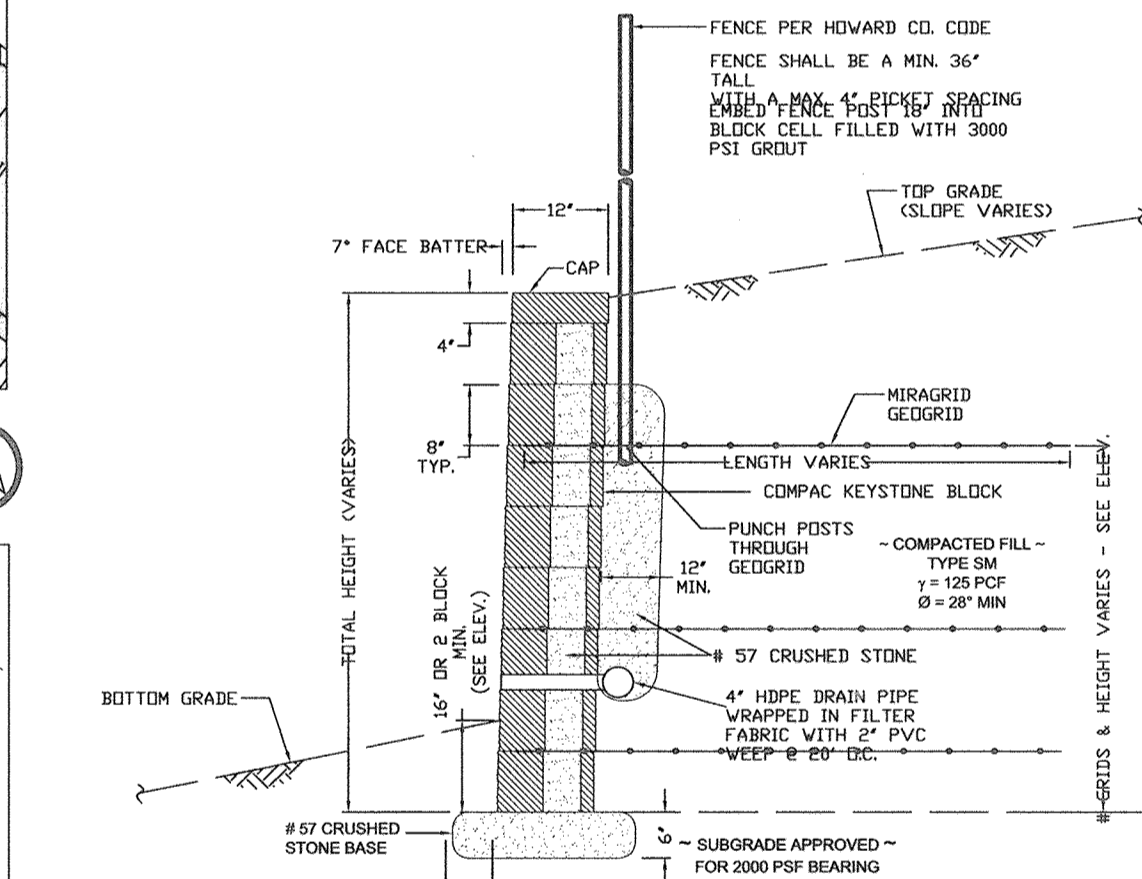
MICRO BIO-RETENTION (M-6) FACILITY No. 3 PLAN
SCALE: 1" = 10'



MICRO BIO-RETENTION (M-6) FACILITY No. 6 PLAN
SCALE: 1" = 10'



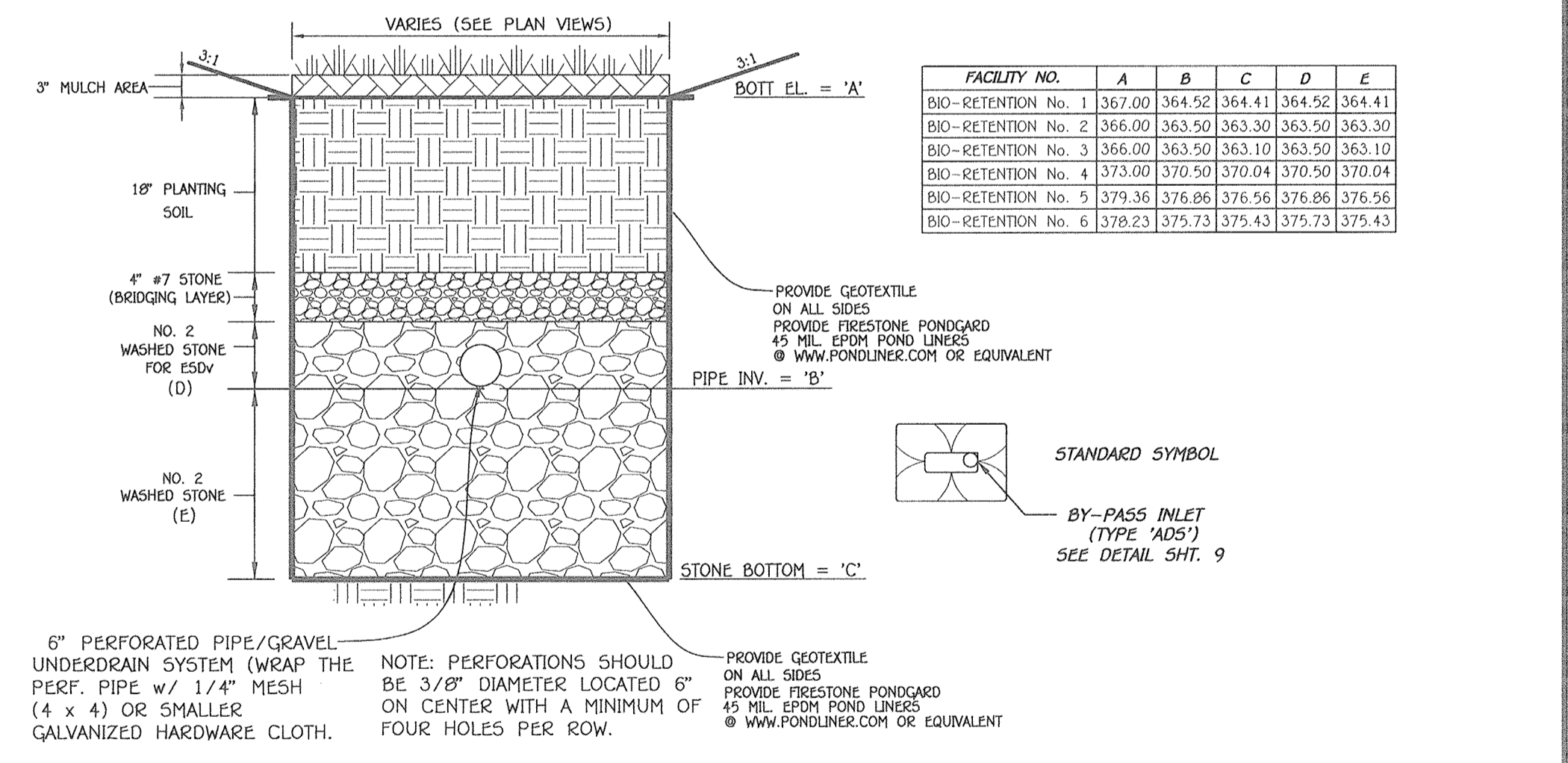
BIO-SWALE FACILITY (M-8) PLAN
SCALE: 1" = 10'



TYPICAL WALL SECTION W/ FENCE
N.T.S.

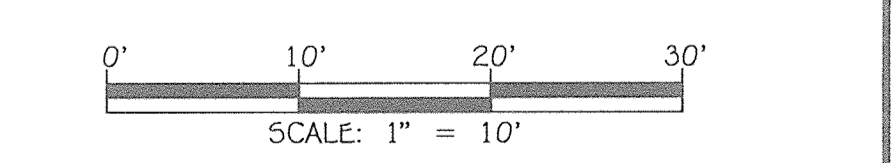
OPERATION AND MAINTENANCE SCHEDULE FOR BIO-RETENTION AREAS (M-6) & (M-8) (FACILITY Nos. 1 THRU 6 & 8)

- The owner shall maintain the plant material, mulch layer and soil layer annually; maintenance of mulch and soil is limited to correcting areas of erosion or wash out; Any mulch replacement shall be done in the spring. Plant material shall be checked for disease and insect infestation and maintenance will address dead material and pruning. Acceptable replacement plant material is limited to the following: 2000 Maryland stormwater design manual volume II, table A-4.1 and 2.
- The owner shall perform a plant in the spring and in the fall each year. During the inspection, the owner shall remove dead and diseased vegetation considered beyond treatment, replace dead plant material with acceptable replacement plant material. Treat diseased trees and shrubs and replace all deficient stakes and wires.
- The owner shall inspect the mulch each spring. The mulch shall be replaced every two to three years. The previous mulch layer shall be removed before the new layer is applied.
- The owner shall correct soil erosion on an as needed basis, with a minimum of once per month and after each heavy storm.



(FACILITY Nos. 1 THRU 6) MICRO BIO-RETENTION (M-6) SECTION
NO SCALE

PURPOSE NOTE:
THE PURPOSE OF THE REVISED SITE DEVELOPMENT PLAN WAS TO INCREASE THE BUILDING SIZE, CHANGE THE USE TO DAYCARE, OFFICE AND RESTAURANT AND ADD A FENCED PLAY AREA.



REVISED

FISHER, COLLINS & CARTER, INC.
CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
CENTRAL SQUARE OFFICE PARK - 10272 BALDWIN NATIONAL PIKE
ELLSWORTH CITY, MARYLAND 21042
(410) 461-2299

AS-BUILT CERTIFICATION
I hereby certify, by my seal, that the facilities shown on this plan were constructed as shown on this AS-BUILT plan meet the approved plans and specifications.

Charles J. Crowl, Sr.
CHARLES J. CROWL, SR., P.E. NO. 19242
5/14/19 Date

*Professional Certification. I hereby certify that this plan was prepared or approved by me, and that I am a duly licensed professional engineer under the laws of Maryland, License No. 13204.
Expiration Date: November 3, 2018.

Charles J. Crowl, Sr.
CHARLES J. CROWL, SR., P.E.
3/6/17 DATE

DATE	DESCRIPTION
11/29/16	ADD IN THE PLAY AREA FOR THE DAY CARE USE. REMOVE BEER COOLER, ELEVATOR AND DECK. REVISE THE BUILDING TO REFLECT NEW FOOTPRINT. REVISE SPOT ELEVATIONS.
9/22/15	ADD FENCE DETAIL TO PLAN FOR RETAINING WALL.
7/16/15	ENLARGE MICRO-BIORETENTION FACILITY #2.
4/13/15	ADD ENCLOSED PATIO AND RELOCATED MICRO BIO-RETENTION FACILITY NUMBER 2 TO BE LOCATED NEXT TO THE BEER COOLER. RAISE THE FIRST FLOOR BY 1 FOOT AND ADJUST PARKING AREA AND SPOTS.

APPROVED: DEPARTMENT OF PLANNING AND ZONING
Director - Department of Planning and Zoning
Chief, Division of Land Development
Chief, Development Engineering Division

Walter J. ... 8-19-17 Date
Walter J. ... 3-15-17 Date
Walter J. ... 3-10-17 Date

DEVELOPER/OWNER
100-103 CENTER, L.L.C.
100 OVERLOOK, L.L.C.
c/o LAND DESIGN AND DEVELOPMENT, INC.
5300 DORSEY HALL DRIVE
SUITE 102
ELLCOTT CITY, MARYLAND 21043
443-367-0422

Address Chart

BUILDING NO.	STREET ADDRESS
3	6050 MEADOWRIDGE CENTER DRIVE

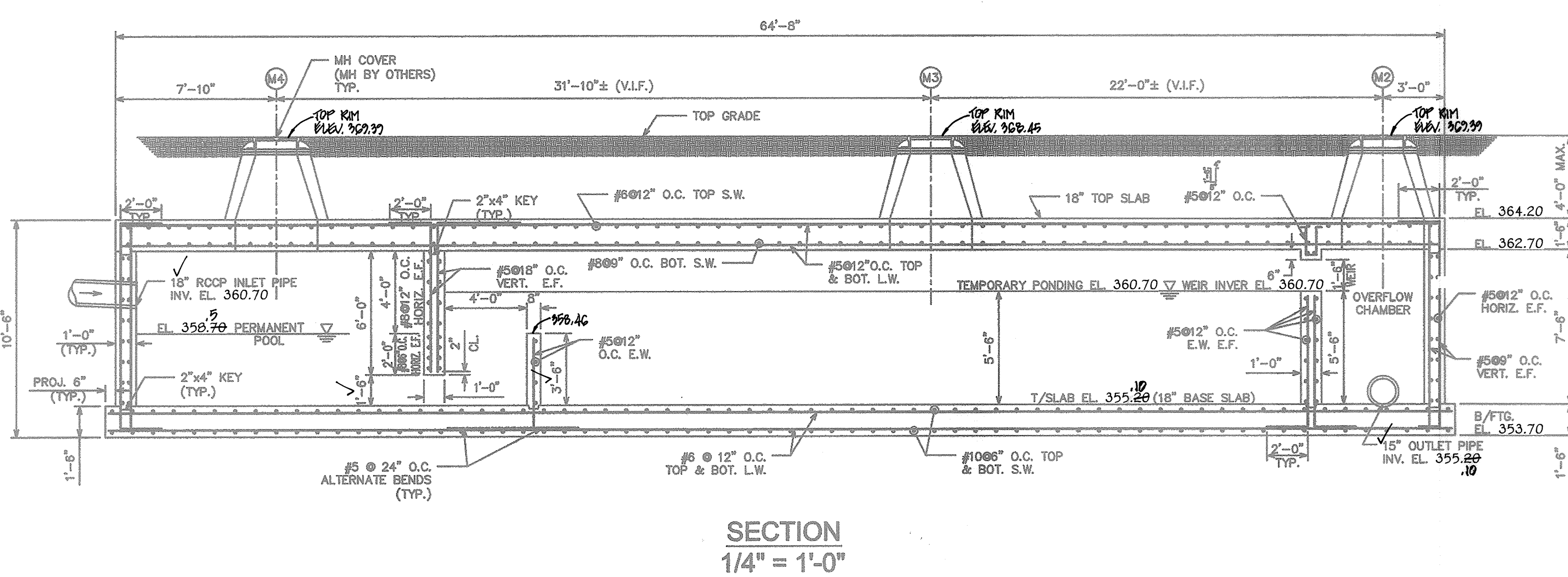
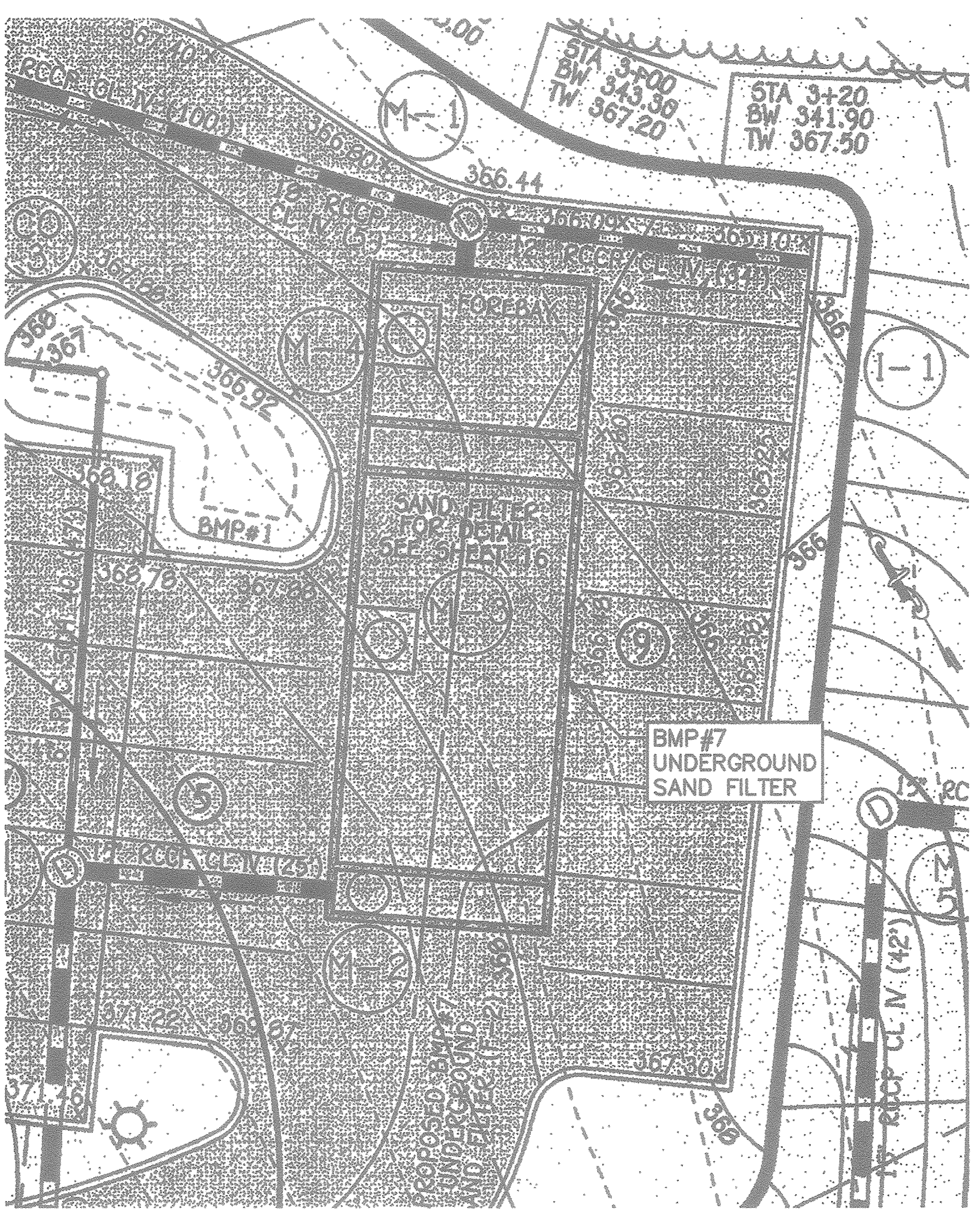
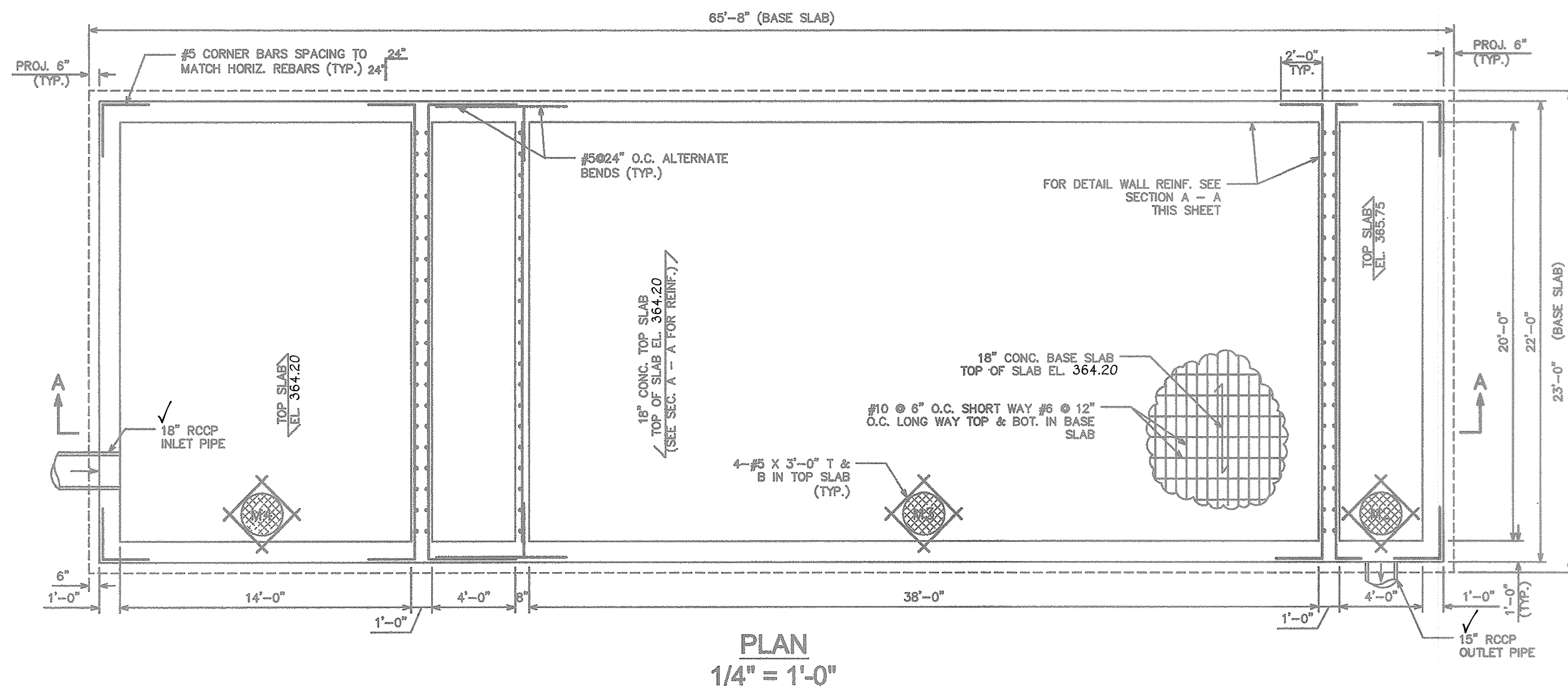
PROJECT	SECTION/AREA	PARCELS	LOT
THE WELLNESS CENTER OF HOWARD COUNTY		687	P/O P. 'A'

DEED REF.	BLOCK NO.	ZONE	TAX MAP	ELEC. DIST.	CENSUS TR.
PLAT #22805-22806 PLAT #22885	10	PEC	37	FIRST	6030

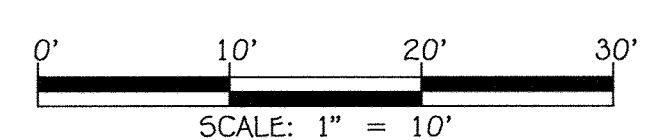
BIO-RETENTION FACILITIES
THE WELLNESS CENTER OF HOWARD COUNTY
P/O PARCEL 'A'
RESTAURANT, DAYCARE & OFFICE
ZONED PEC

TAX MAP No. 37 P/O PARCEL No. 687 GRID No. 10
FIRST ELECTION DISTRICT HOWARD COUNTY, MARYLAND
SCALE: AS SHOWN DATE: JANUARY, 2017

SHEET 15 OF 20



- NOTES**
1. ALL CONCRETE SHALL BE 4000 PSI (fc') AIR ENTRAINED.
 2. ALL REINFORCEMENT STEEL SHALL BE ASTM A615 GRADE 60.
 3. BACKFILL SHALL BE COMPACTED IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS.
 4. CONCRETE WORK SHALL COMPLY WITH THE LATEST ACI 318 BUILDING CODE REQUIREMENTS FOR STRUCTURAL CONCRETE.
 5. ALL REBAR SPLICES NOT SHOWN SHALL BE A MINIMUM 40 BAR DIAMETER.
 6. SEE PROJECT DRAWINGS BY FCC FOR SPECIFIC SAND FILTER DETAILS.



FISHER, COLLINS & CARTER, INC.
CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
CONDONAL SQUARE OFFICE PARK - 10272 BALTIMORE NATIONAL PIKE
ELICOTT CITY, MARYLAND 21042
(410) 481-2995

HILLIS-CARNES ENGINEERING ASSOCIATES
10975 Guilford Road, Suite 4 Annapolis Junction, Maryland
(410) 880-4188 WWW.HCEA.COM Fax: (410) 880-4098

AS-BUILT CERTIFICATION

I hereby certify, by my seal, that the facilities shown on this plan were constructed as shown on this "AS BUILT" plan meet the approved plans and specifications. **FOR ONLY EXAMINATION.**

DESIGNED BY: **JHM**
DRAWN BY: **JHM**
APPROVED BY: **RWS**

HCEA JOB NO: **04198-B**
Date: **5/14/19**

"Professional Certification. I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland, License No. 144-34-1. Expiration Date: **MAY 13, 2015**"

RICHARD W. STURTEVANT, P.E.
DATE: **3/13/14**

APPROVED: DEPARTMENT OF PLANNING AND ZONING
Director - Department of Planning and Zoning
Date: **4/16/14**

Chief, Division of Land Development
Date: **6-13-14**

Chief, Development Engineering Division
Date: **3-23-14**

DEVELOPER/OWNER
100-103 CENTER, L.L.C.
100 OVERLOOK, L.L.C.
c/o LAND DESIGN AND DEVELOPMENT, INC.
5300 DORSEY HALL DRIVE
SUITE 102
ELICOTT CITY, MARYLAND 21043
443-367-0422

Address Chart

BUILDING NO.	STREET ADDRESS
3	6050 MEADOWRIDGE CENTER DRIVE

PROJECT	SECTION/AREA	PARCELS	LOT		
THE WELLNESS CENTER OF HOWARD COUNTY	-	687	P/O P. 'A'		
DEED REF.	BLOCK NO.	ZONE	TAX MAP	ELEC. DIST.	CENSUS TR.
PLAT #20885 MAP #228024, 22802	10	PEC	37	FIRST	6030

UNDERGROUND SAND FILTER DESIGN

THE WELLNESS CENTER OF HOWARD COUNTY
P/O PARCEL 'A'
DAY CARE BUILDING
ZONED PEC

TAX MAP No. 37 P/O PARCEL No. 687 GRID No. 10
FIRST ELECTION DISTRICT HOWARD COUNTY, MARYLAND
SCALE: AS SHOWN DATE: MARCH, 2014

SHEET 16 OF 20

SDP-13-065
"AS-BUILT"

1:\2004\0408\49\LYNDWOOD SQUARE\0408 SHEET 16 UNDERGROUND SWM PLAN DETAILS.dwg, SHEET 16, 3/12/2014 11:27:46 AM, 1:1

Table B.3.1 Material Specifications for Sand filters

Material	Specifications/Test Method	Size	Notes
sand	clean AASHTO-M-6 of ASTM-C-concrete sand	0.02" to 0.04"	Sand substitutions such as Diabase and Graystone #10 are note acceptable. No calcium carbonated or dolomitic sand substitutions are acceptable. No "rock dust" can be used for sand.
peat	ash content: < 15% pH range: 5.2 to 4.9 loose bulk density 0.12 to 0.15 g/cc	N/a	The material must be reed-sedge hemic peat, shredded, uncompacted, uniform, and clean.
leaf compost		N/a	
underdrain gravel	AASHTO-M-43	0.375" to 0.75"	
geotextile fabric (if required)	ASTM-D-4833 (puncture strength lb.) ASTM-D-4632 (Tensile strength lb.)	0.08" thick equivalent opening size of #80 sieve	Must maintain 125 gpm per sq. ft. flow rate. Note: a 4" pea gravel layer may be substituted for geotextiles meant to "separate" sand filter layers.
impermeable liner (if required)	ASTM-D-4833 (thickness) ASTM-D-412 (tensile strength 1,100 lb., elongation 200%) ASTM-D-624 (Tear resistance - 150 lb./in) ASTM-D-471 (water adsorption: +8 to -2% mass)	30 mil thickness	Liner to be ultraviolet resistant. A geotextile fabric should be used to protect the liner from puncture.
underdrain piping	F 758, Type P5 28 or AASHTO-M-278	4" - 6" rigid schedule 40 PVC or 5DR35	3/8" perf. @ 6" on center, 4 holes per row; minimum of 3" of gravel over pipes; not necessary underneath pipes
concrete (cast-in-place)	MSHA Standards and Specs. Section 902, Mix No. 3, f'c = 3500 psi, normal weight, air-entrained; reinforcing to meet ASTM-615-60	N/a	on-site testing of poured-in-place concrete required: 28 day strength and slump test; all concrete design (cast-in-place or precast) not using previously approved state or local standards requires design drawings sealed and approved by a professional structural engineer licensed in the State of Maryland
concrete (pre-cast)	per pre-cast manufacturer	N/a	SEE ABOVE NOTE
non-rebar steel	ASTM A-36	N/a	structural steel to be hot-dipped galvanized ASTM-A-123

Sand Filter Specifications

1. Material Specifications for Sand Filters
The allowable materials for sand filter construction are detailed in Table B.3.1.
2. Sand Filter Testing Specifications

Underground sand filters, facilities within sensitive groundwater aquifers, and filters designed to serve urban hot spots are to be tested for water tightness prior to placement of filter media. Entrances and exits should be plugged and the system completely filled with water to demonstrate water tightness. Water tightness means no leakage for a period of 8 hours.

All overflow weirs, multiple orifices and flow distribution slots are to be field-tested to verify adequate distribution of flows.

3. Sand Filter Construction Specifications

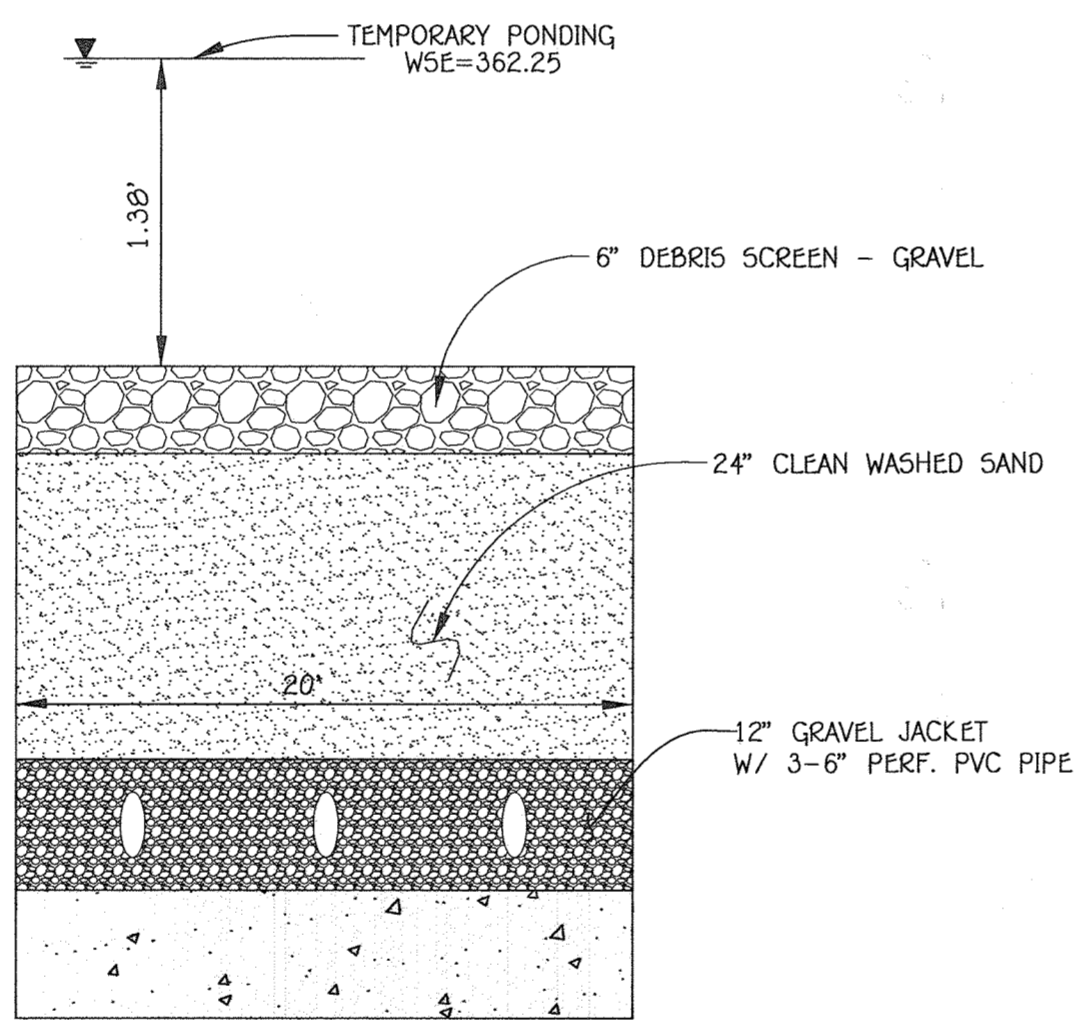
Provide sufficient maintenance access (i.e., 12-foot-wide road with legally recorded easement). Vegetated access slopes are to be a maximum of 10%; gravel slopes to 15%; paved slopes to 25%.

Absolutely no runoff is to enter the filter until all contributing drainage areas have been stabilized. Surface of filter bed is to be level.

All underground sand filters should be clearly delineated with signs so that they may be located when maintenance is due.

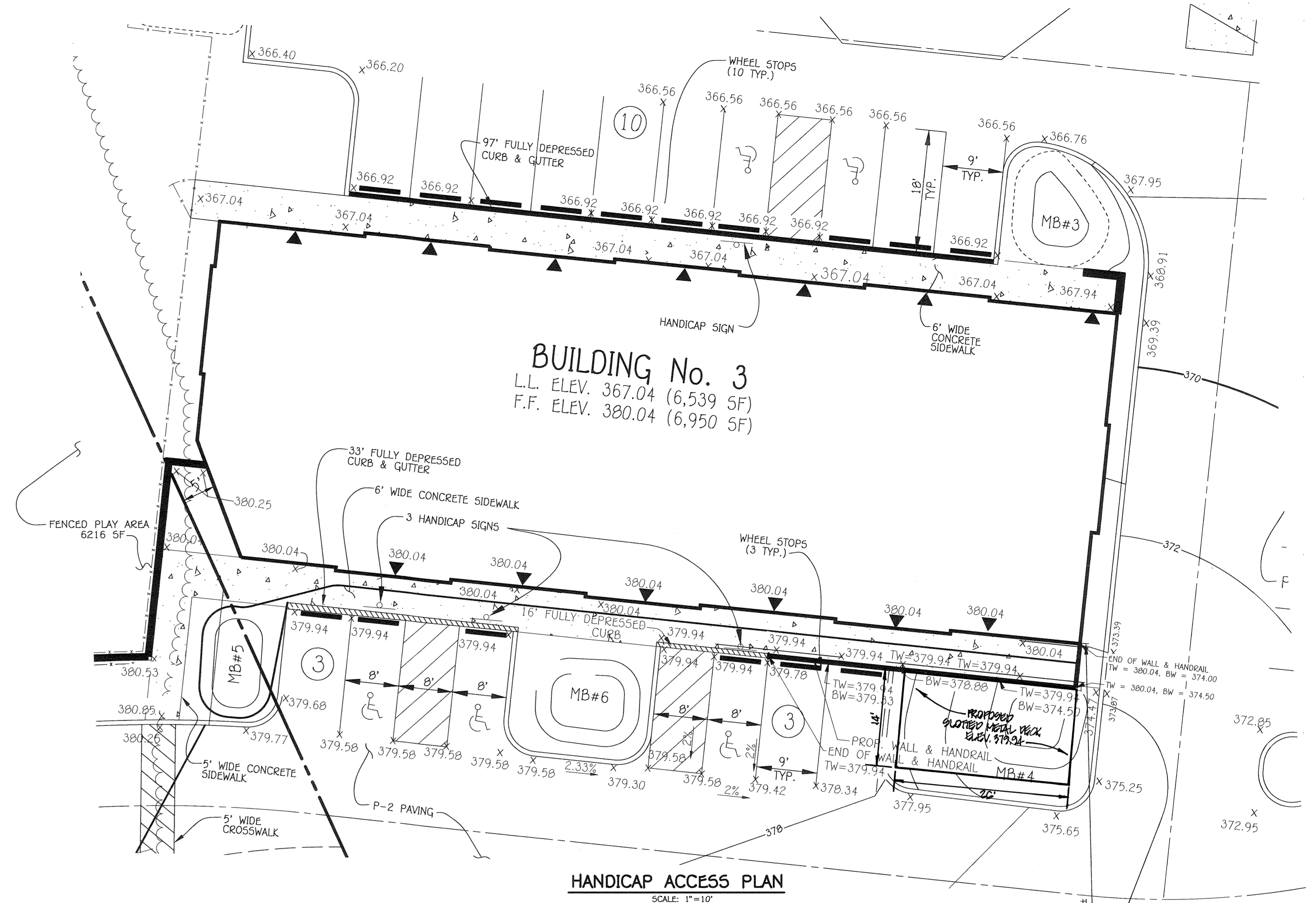
Surface sand filters may be planted with appropriate grasses; see Appendix A.

"Pocket" sandfilters (and residential bio-retention facilities treating areas larger than an acre) shall be sized with a stone "window" that covers approximately 10% of the filter area. This "window" shall be filled pea gravel (3/4 inch stone).



UNDERGROUND SAND FILTER FACILITY (F-2) SECTION A-A

SCALE: NOT TO SCALE



HANDICAP ACCESS PLAN

SCALE: 1" = 10'



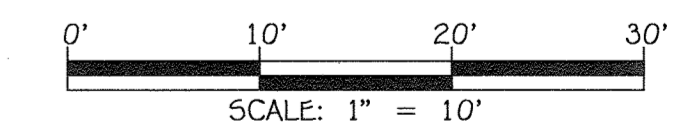
BUILDING ELEVATION

SCALE: 1" = 20'

PURPOSE NOTE:
ADD A SLOTTED METAL DECK OVER MB NO. 4
3/12/20.

REVISION BLOCK	
DATE	DESCRIPTION
3/12/20	ADDED METAL DECK OVER MB NO. 4

PURPOSE NOTE:
THE PURPOSE OF THE REVISED SITE DEVELOPMENT PLAN WAS TO INCREASE THE BUILDING SIZE, CHANGE THE USE TO DAYCARE, OFFICE AND RESTAURANT AND ADD A FENCED PLAY AREA.



REVISED

HANDICAP ACCESS PLAN, BUILDING ELEVATION, SAND FILTER DETAIL AND SPECS.

THE WELLNESS CENTER OF HOWARD COUNTY
P/O PARCEL 'A'
RESTAURANT, DAYCARE & OFFICE
ZONED PEC

TAX MAP No. 37 P/O PARCEL No. 687 GRID No. 10
FIRST ELECTION DISTRICT HOWARD COUNTY, MARYLAND
SCALE: 1" = 10' DATE: JANUARY, 2017

SHEET 17 OF 20

SDP-13-065

THERE IS NO "AS-BUILT" INFORMATION PROVIDED ON THIS SHEET

FISHER, COLLINS & CARTER, INC.
CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
CENTRAL SQUARE OFFICE PARK - 10272 BALDWIN NATIONAL PIKE
ELLSWORTH CITY, MARYLAND 21042
(410) 461-2895

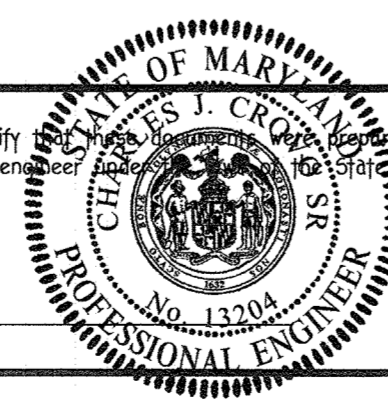
AS-BUILT CERTIFICATION

Note: There is no "AS BUILT" information provided on this sheet

Charles J. Crook
CHARLES J. CROOK, P.E., NO. 13204
5/19/19 Date

"Professional Certification. I hereby certify that I am a duly licensed professional engineer in the State of Maryland, License No. 13204. Expiration Date: November 20, 2018."

Charles J. Crook
CHARLES J. CROOK, P.E.
3/6/17 Date



11/29/16 ADD IN THE PLAY AREA FOR THE DAY CARE USE. REMOVE BEER COOLER, ELEVATOR AND DECK. REVISE THE BUILDING TO REFLECT NEW FOOTPRINT. REVISE SPOT ELEVATIONS.

9/22/15 REVISED THE LOCATION OF THE BEER COOLER.

7/16/15 RELOCATED MICRO BIO-RETENTION FACILITY NUMBER 2 TO BE LOCATED NEXT TO THE BEER COOLER. ADD ELEVATION TO CLOCK TOWER. ADD DETAILS FOR ELEVATOR TOWER BEER COOLER BUILDING AND ABOVE GROUND DECK.

DATE DESCRIPTION

REVISION BLOCK

APPROVED: DEPARTMENT OF PLANNING AND ZONING
William J. Miller
Director, Department of Planning and Zoning
3-14-17 Date

Kristle Owen
Chief, Division of Land Development
3-15-17 Date

John E. Smith
Chief, Development Engineering Division
3-10-17 Date

DEVELOPER/OWNER

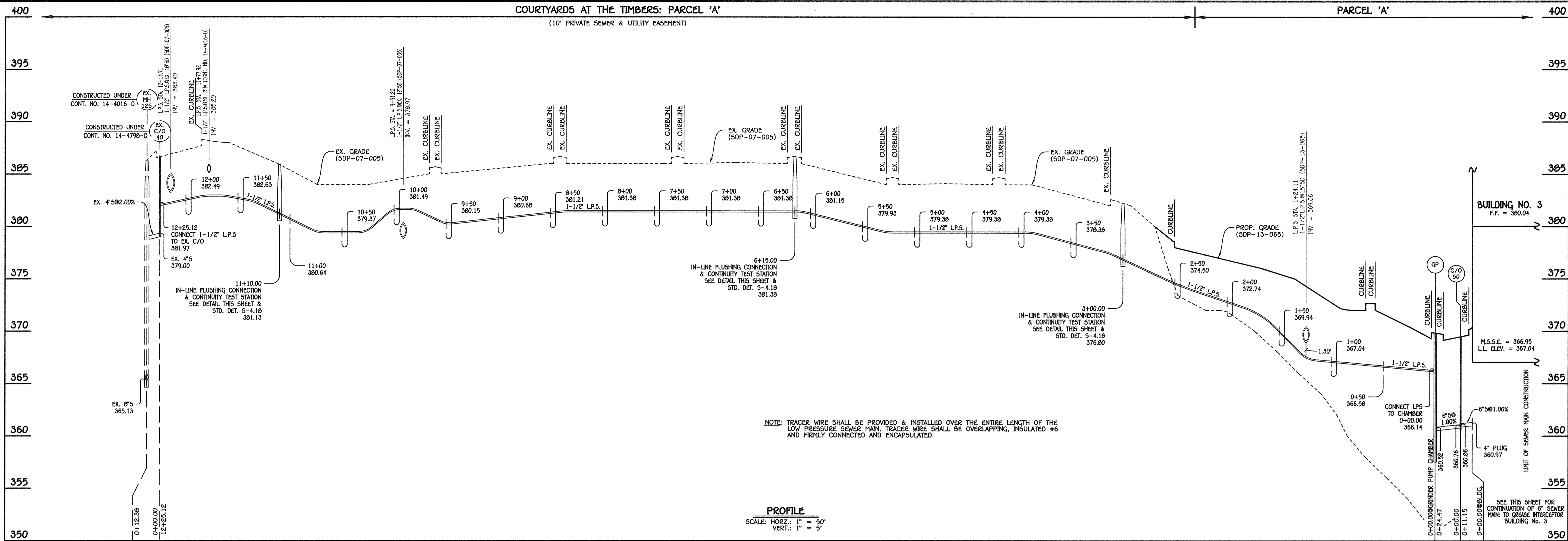
100-103 CENTER, L.L.C.
100 OVERLOOK, L.L.C.
c/o LAND DESIGN AND DEVELOPMENT, INC.
5300 DORSEY HALL DRIVE
SUITE 102
ELLSWORTH CITY, MARYLAND 21043
443-367-0422

Address Chart

BUILDING NO. 3
STREET ADDRESS 6050 MEADOWRIDGE CENTER DRIVE

PROJECT	SECTION/AREA	PARCELS	LOT
THE WELLNESS CENTER OF HOWARD COUNTY		687	P/O P. 'A'

DEED REF.	BLOCK NO.	ZONE	TAX MAP	ELEC. DIST.	CENSUS TR.
PLAT #22805-22806 PLAT #20885	10	PEC	37	FIRST	6030



PROFILE
SCALE: HORIZ.: 1" = 50'
VERT.: 1" = 5'

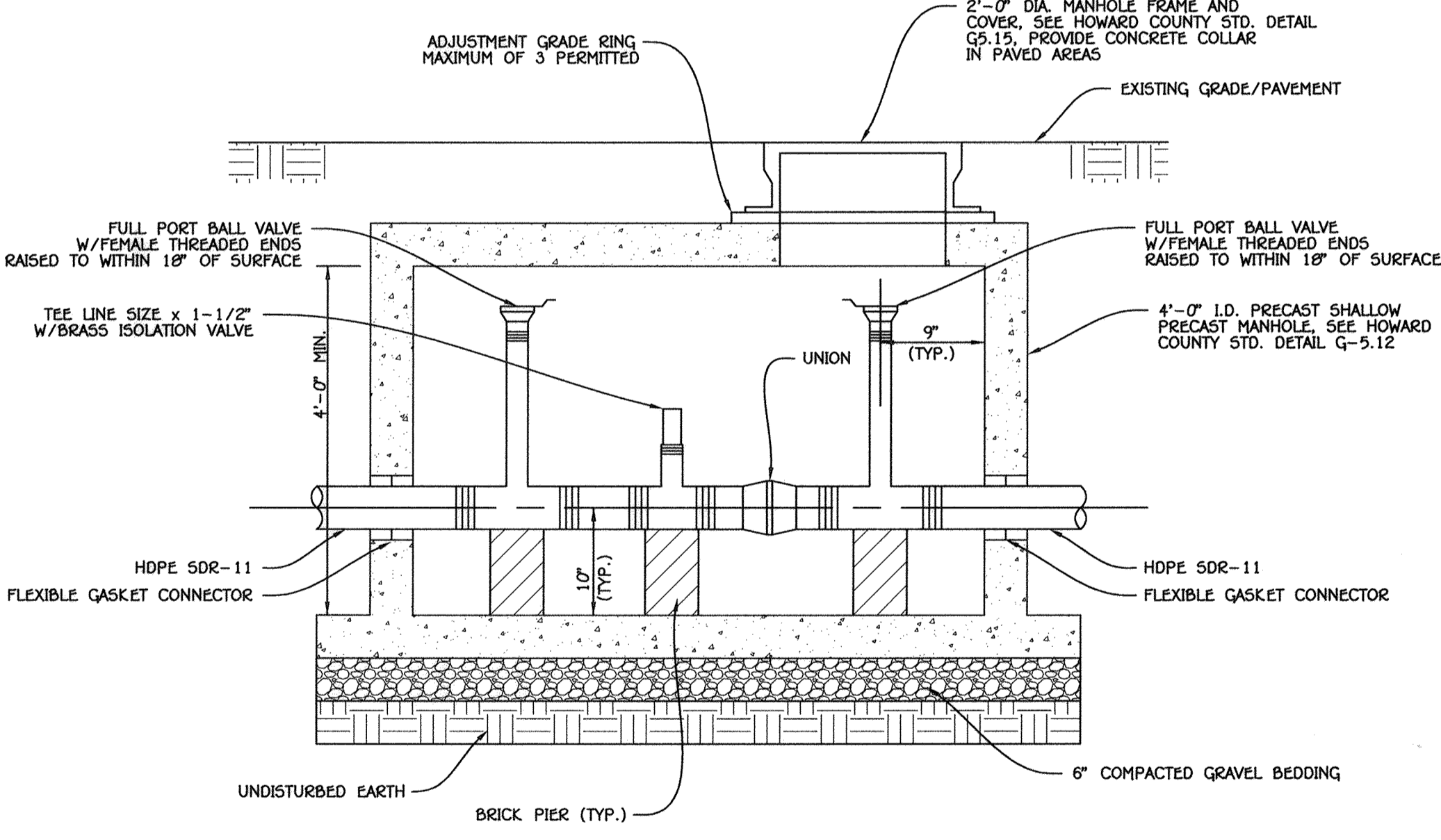
NOTE: TRACER WIRE SHALL BE PROVIDED & INSTALLED OVER THE ENTIRE LENGTH OF THE LOW PRESSURE SEWER MAIN. TRACER WIRE SHALL BE OVERLAPPING, INSULATED #6 AND FIRMLY CONNECTED AND ENCAPSULATED.

1-1/2" L.P.S. & 6" SEWER MAIN: BUILDING No. 3

L.P.S. STA.	APPURTENANCE	NORTHING	EASTING	RIM ELEVATION
1-1/2" L.P.S. & 6" SEWER MAIN: BUILDING NO. 3				
0+00.00	6" PLUG @ BLDG.	561673.56	1374457.76	
0+11.15 = 0+00.00	C/O 50	561666.70	1374466.55	369.47
0+24.47 = 0+00.00	GRINDER PUMP UNIT	561653.82	1374487.35	369.82
0+78.14	PC CRIMP RADIUS 15'	561589.53	1374442.93	
1+02.57	PT CRIMP RADIUS 15'	561586.24	1374421.36	
2+24.77	PC CRIMP RADIUS 100'	561661.44	1374325.03	
2+53.45	PT CRIMP RADIUS 100'	561675.63	1374300.22	
3+00.00	IN-LINE FLUSHING CONNECTION	561692.72	1374256.93	382.20
3+57.23	PC CRIMP RADIUS 100'	561713.74	1374203.70	
3+83.41	PT CRIMP RADIUS 100'	561720.07	1374178.37	
5+88.89	PC CRIMP RADIUS 50'	561743.49	1373974.23	
6+15.00	IN-LINE FLUSHING CONNECTION	561752.95	1373950.21	386.55
6+28.16	PT CRIMP RADIUS 50'	561762.07	1373940.77	
6+44.79	PC CRIMP RADIUS 725'	561775.09	1373930.43	
7+94.30	PT CRIMP RADIUS 725'	561902.92	1373893.38	
9+82.58	PC CRIMP RADIUS 100'	562078.02	1373784.20	
10+05.84	PT CRIMP RADIUS 100'	562098.47	1373773.23	
10+05.84	PC CRIMP RADIUS 1964'	562098.47	1373773.23	
11+10.00	IN-LINE FLUSHING CONNECTION	562185.45	1373715.94	395.85
11+47.56	PT CRIMP RADIUS 1964'	562217.54	1373696.41	
11+47.56	PC CRIMP RADIUS 25'	562217.54	1373696.41	
11+68.13	PT CRIMP RADIUS 25'	562237.37	1373693.91	
12+03.26	PC CRIMP RADIUS 25'	562271.08	1373703.81	
12+21.39	PT CRIMP RADIUS 25'	562285.22	1373714.51	
12+25.12	EX. C/O 40	562287.20	1373717.67	

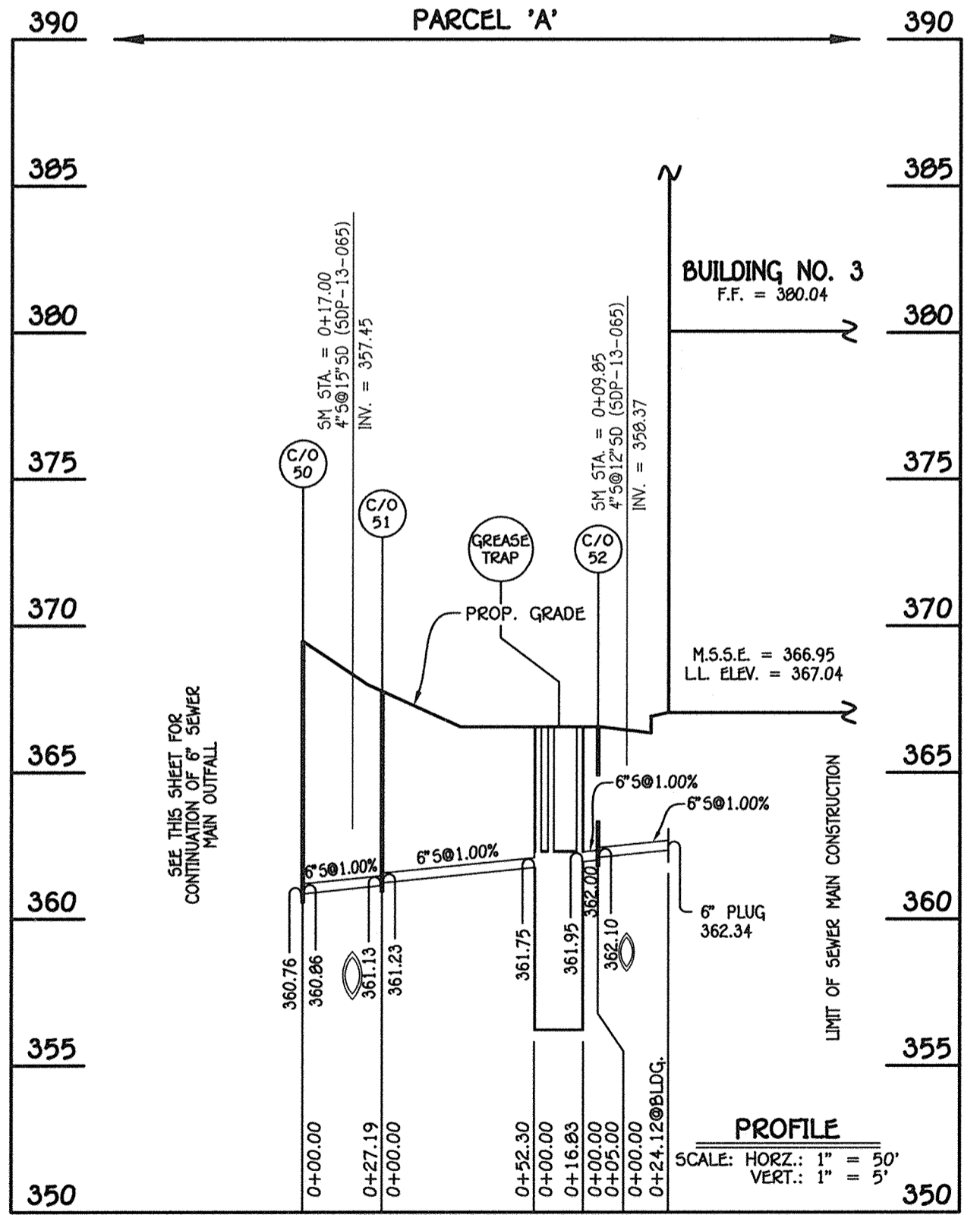
NO.	NORTHING	EASTING	RIM ELEVATION
C/O 50	561666.70	1374466.55	369.47
C/O 51	561689.82	1374480.86	367.77
@TANK WALL	561722.48	1374440.02	366.56
@TANK WALL	561733.00	1374426.88	366.56
C/O 52	561736.12	1374422.97	366.56
@6" PLUG	561717.28	1374407.91	----

NOTE: SET RIMS FLUSH W/PROPOSED GRADE.



IN-LINE FLUSHING CONNECTION

NO SCALE FOR REFERENCE PURPOSES L.P.S. DESIGN SHOWN ON (SDP-07-005); THE COURT YARDS AT THE TIMBERS PARCEL 'A' MEADOWRIDGE CENTER
SCALE: 1" = 50'



PROFILE
SCALE: HORIZ.: 1" = 50'
VERT.: 1" = 5'

6" SEWER MAIN: TO BUILDING No. 3

AS-BUILT CERTIFICATION
Note: There is no "AS BUILT" information provided on this sheet.
CHARLES J. CRAIG, SR., No. 13204
Date: 5/14/16

"Professional Certification. I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland, License No. 13204, Expiration Date: November 3, 2016."
CHARLES J. CRAIG, SR., P.E.
Date: 4/23/16

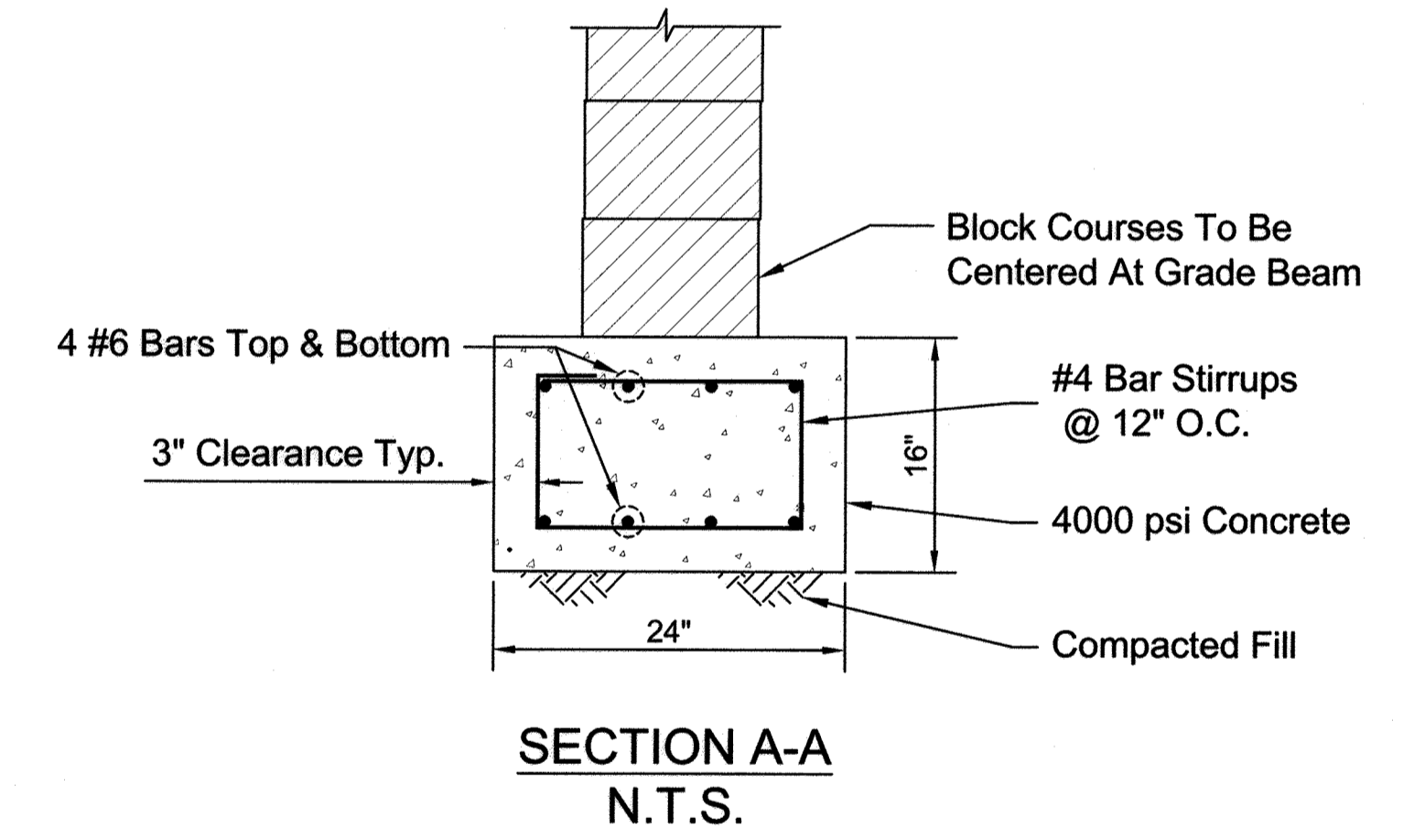
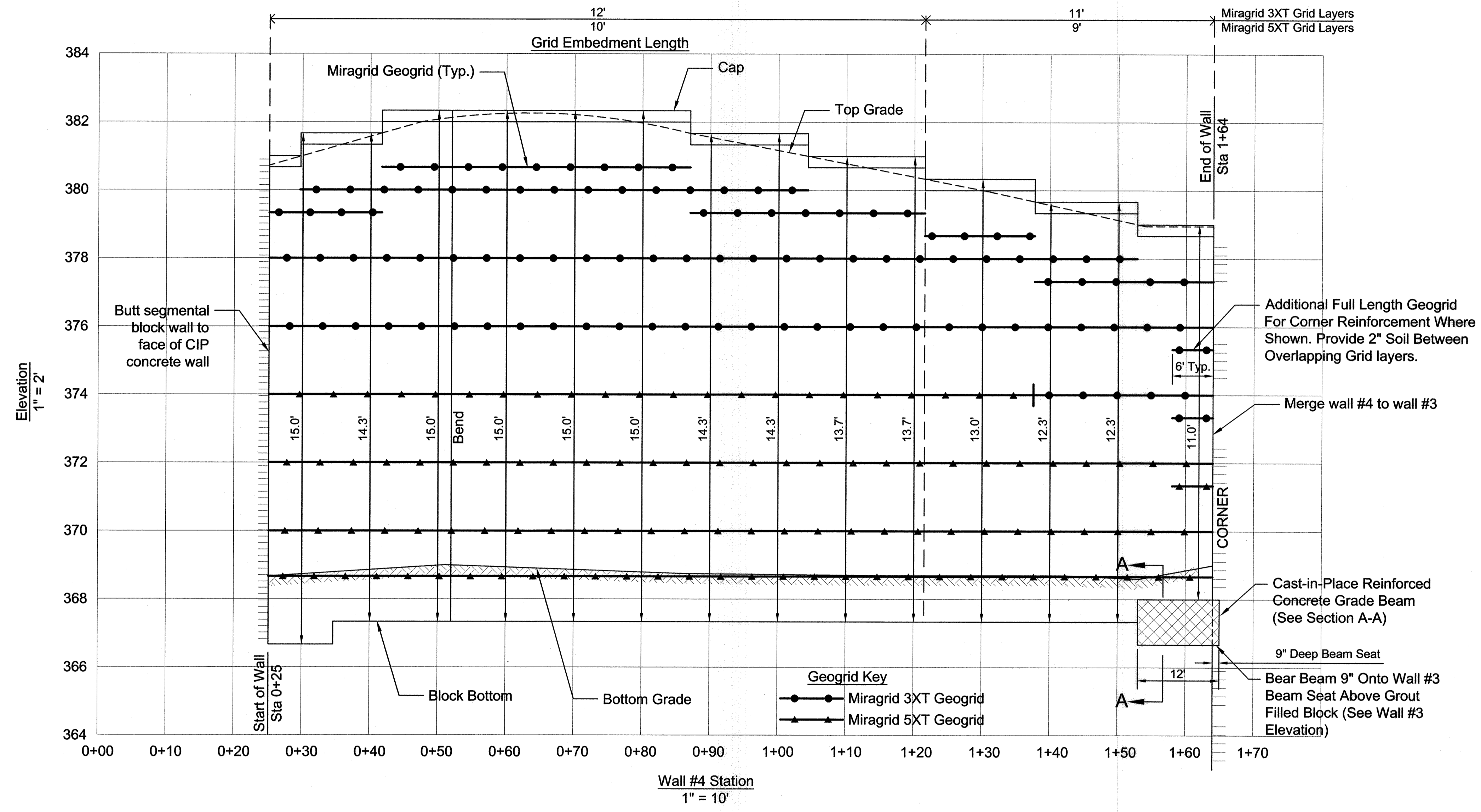
7/23/15 REVISE THE L.P.S. PROFILE TO REFLECT THE REVISED L.P.S. ALIGNMENT. ADD 3 IN-LINE FLUSHING CONNECTIONS. REVISE THE SIZE OF THE SEWER TO 6".
DATE DESCRIPTION REVISION BLOCK
APPROVED: DEPARTMENT OF PLANNING AND ZONING
Director - Department of Planning and Zoning Date: 4-4-16
Chief, Division of Land Development Date: 4-4-16
Chief, Development Engineering Division Date: 3-28-16

DEVELOPER/OWNER
100-103 CENTER, L.L.C.
100 OVERLOOK, L.L.C.
c/o LAND DESIGN AND DEVELOPMENT, INC.
5300 DORSEY HALL DRIVE
SUITE 102
ELLCOTT CITY, MARYLAND 21043
443-367-0422

BUILDING NO.	STREET ADDRESS
3	6050 MEADOWRIDGE CENTER DRIVE

REVISED
1-1/2" L.P.S. & 6" SEWER MAIN: PROFILES & CHARTS
THE WELLNESS CENTER OF HOWARD COUNTY
P/O PARCEL 'A'
RESTAURANT / OFFICE
ZONED PEC
TAX MAP No. 37 P/O PARCEL No. 687 GRID No. 10
FIRST ELECTION DISTRICT HOWARD COUNTY, MARYLAND
SCALE: 1" = 50' DATE: FEBRUARY, 2016
SHEET 19 OF 20 SDP-13-065

THERE IS NO "AS-BUILT" INFORMATION PROVIDED ON THIS SHEET



FISHER, COLLINS & CARTER, INC.
 CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
 CENTENNIAL SQUARE OFFICE PARK - 10272 BALTIMORE NATIONAL PIKE
 ELLICOTT CITY, MARYLAND 21042
 (410) 461-2855

HILLIS-CARNES
 ENGINEERING ASSOCIATES
 10975 Guilford Road, Suite A Annapolis Junction, Maryland
 (410) 880-4788 WWW.HCEA.COM Fax: (410) 880-4098

AS-BUILT CERTIFICATION
 Note: There is no "AS BUILT" information provided on this sheet.

DESIGNED BY: HM
 DRAWN BY: HM
 APPROVED BY: RWS

HCEA JOB NO.: 04198-B

Professional Certification: I hereby certify that these documents were prepared by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland, Licence No. 14434, Expiration Date: May 13, 2017.



2/23/2016 REVISION BLOCK
 DATE DESCRIPTION REVISION BLOCK

APPROVED: DEPARTMENT OF PLANNING AND ZONING

Director, Department of Planning and Zoning
 Chief, Division of Land Development
 Chief, Development Engineering Division

4-4-16 Date
 4-9-16 Date
 3-28-16 Date

DEVELOPER / OWNER
 100-103 CENTER, L.L.C.
 c/o LAND DESIGN AND DEVELOPMENT, INC.
 5300 DORSEY HALL DRIVE
 SUITE 102
 ELLICOTT CITY, MARYLAND 21043
 443-367-0422

Address Chart					
BUILDING NO.	STREET ADDRESS				
1	MEADOWRIDGE CENTER DRIVE				
PROJECT		SECTION/AREA	PARCEL NO.	LOT	
LYNDWOOD SQUARE		-	E-3	-	
DEED REF.	BLOCK NO.	ZONE	TAX MAP	ELEC. DIST.	CENSUS TR.
	10	POR	37	FIRST	6030

REVISED RETAINING WALL #4 ELEVATION

THE WELLNESS CENTER
 OF HOWARD COUNTY
 P/O PARCEL 'A'
 RESTAURANT/OFFICES
 ZONED PEC

TAX MAP No. 37 PARCEL No. 687 GRID No. 10
 FIRST ELECTION DISTRICT HOWARD COUNTY, MARYLAND
 SCALE: AS SHOWN DATE: AUGUST 7, 2013

SHEET 20 OF 20

THERE IS NO "AS-BUILT" INFORMATION PROVIDED ON THIS SHEET