

GENERAL NOTES

1. THE SURVEYED PROPERTY DELINEATED HEREON IS LOCATED ON HOWARD COUNTY, MARYLAND, TAX ASSESSMENT MAP NUMBER 24, GRID 4, PARCEL 1027, LOT OR PARCEL A1, AND IS ZONED B-2, GENERAL BUSINESS DISTRICT PER THE OCTOBER 6, 2013 COMPREHENSIVE ZONING REGULATIONS.
2. THE SURVEYED PROPERTY IS NOW IN THE NAME OF MYERS REALTY, LLC AND IS RECORDED IN LIBER 13138 AT FOLIO 231 AMONG THE LAND RECORDS OF HOWARD COUNTY, MARYLAND AND IS SHOWN ON PLAT BOOK 18 AT FOLIO 90 AND PLAT 5114. THE ADC MAP IS MAP 4815, GRID H6.
3. BOUNDARY INFORMATION AS SHOWN HEREON IS COMPILED FROM EXISTING LAND RECORDS OF HOWARD COUNTY, AND A FIELD SURVEY PERFORMED BY BOWMAN CONSULTING GROUP, LTD. ON JUNE 17, 2011.
4. THE HORIZONTAL AND VERTICAL DATUM AS REFERENCED HEREON WAS ESTABLISHED BY GPS RTK DIFFERENTIAL METHODS. THE HORIZONTAL DATUM IS REFERENCED TO THE MARYLAND COORDINATE SYSTEM, NAD83, AND IS REFERENCED IN U.S. SURVEY FEET AND THE VERTICAL DATUM IS REFERENCED TO NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88). THE HOWARD COUNTY MONUMENTS USED TO ESTABLISH THE HORIZONTAL AND VERTICAL DATUM WERE: (1) MONUMENT 24CA (2) MONUMENT 249B (3) MONUMENT 249C THE COMBINED SCALE FACTOR IS 1.00002569 FOR GRID TO GROUND CONVERSION. THE BASE POINT FOR THE PROJECT IS IDENTIFIED WITH COORDINATES OF N: 586506.2243 E: 1361634.2707, ELEV: 398.251 AND THIS COORDINATE IS THE SAME FOR BOTH GRID AND GROUND.
5. THE SURVEYED PROPERTY AS SHOWN HEREON IS SUBJECT TO ALL COVENANTS AND RESTRICTIONS OF RECORD AND THOSE RECORDED HEREMITH, BOWMAN CONSULTING GROUP, LTD., WAS PROVIDED A COMMITMENT FOR TITLE INSURANCE FROM CHICAGO TITLE INSURANCE COMPANY, AND SCHEDULE B - SECTION II IS ADDRESSED IN THE TITLE COMMITMENT REVIEW.
6. THE SURVEYED PROPERTY SHOWN HEREON LIES IN ZONE "C" (AREAS OF MINIMAL FLOODING) AS SHOWN ON FEMA FLOOD INSURANCE RATE MAP FOR HOWARD COUNTY, MARYLAND, COMMUNITY-PANEL NUMBER 24044 0023 B, DATED DECEMBER 4, 1986.
7. THE TOPOGRAPHICAL FEATURES AS SHOWN HEREON WERE COMPILED FROM CONVENTIONAL AND DIFFERENTIAL RTK SURVEY METHODS.
8. THE NEW METES AND BOUNDS DESCRIPTION OF THE SURVEYED PROPERTY AS SHOWN HEREON WAS WRITTEN SINCE THE REQUESTED HORIZONTAL REFERENCE DATUM IS DIFFERENT THAN THE PLATTED METES AND BOUNDS OF RECORD WHICH ARE 7'56'30" CLOCKWISE FROM THE REFERENCE DATUM.
9. THE LOCATION OF ALL VISIBLE BUILDINGS, STRUCTURES AND OTHER IMPROVEMENTS SITUATED ON THE SURVEYED PROPERTY, WHICH HAS BEEN CAREFULLY ESTABLISHED BY THE CLASSIFICATION AND SPECIFICATIONS FOR CADASTRAL SURVEYS ARE CORRECTLY SHOWN.
10. ALL EASEMENTS AND RIGHT-OF-WAY APPARENT FROM A CAREFUL PHYSICAL INSPECTION OF THE SURVEYED PROPERTY OR AS IDENTIFIED IN SCHEDULE B - SECTION II OF THE COMMITMENT FOR TITLE INSURANCE OR HAVE OTHERWISE BEEN ADVISED ARE CORRECTLY SHOWN.
11. THERE ARE NO VISIBLE ENCROACHMENTS ON ADJOINING PREMISES, STREETS OR EASEMENTS, BY VISIBLE BUILDINGS, STRUCTURES OR OTHER IMPROVEMENTS, NOR VISIBLE ENCROACHMENTS ON SAID PROPERTY BY VISIBLE STRUCTURES OR OTHER IMPROVEMENTS SITUATED ON ADJOINING PREMISES EXCEPT AS SHOWN.
12. BALTIMORE NATIONAL PIKE (U.S. ROUTE 40) IS MAINTAINED BY THE MARYLAND STATE HIGHWAY ADMINISTRATION AND ST JOHNS LANE IS MAINTAINED BY THE HOWARD COUNTY BUREAU OF HIGHWAYS.
13. THE CURRENT RECORD INSTRUMENT (LIBER 13138, FOLIO 231) OF THE "SURVEYED PROPERTY" INCLUDES AN AREA DEDICATED TO PUBLIC USE SHOWN IN PLAT BOOK 18, PAGE 90, WHICH APPEARS TO BE CONVEYED IN FEE SIMPLE TO THE STATE OF MARYLAND PER LIBER 780, FOLIO 407.
14. IN 1991 THE EXISTING SERVICE STATION UNDERWENT MAJOR RENOVATION AND FOUR EPOXY COATED STEEL UNDERGROUND STORAGE TANKS (ONE-6,000 GALLON, ONE-8,000 GALLON, ONE-10,000 GALLON AND ONE-550 GALLON) WERE REMOVED. A UNDERGROUND STORAGE TANK CLOSURE REPORT WAS PREPARED BY RALSTON AND ASSOCIATES, INC. DATED FEBRUARY 1991. IN 2006 THE EXISTING SERVICE STATION WAS DECOMMISSIONED AND FOUR 10,000 GALLON GASOLINE TANKS, ONE 550 GALLON HEATING TANK, ONE 1,000 GALLON WASTE OIL TANK, FOUR DISPENSERS, PRODUCT LINES AND ONE HYDRAULIC LIFT WERE REMOVED. AN UNDERGROUND STORAGE TANK CLOSURE REPORT WAS PREPARED BY ENVIRONMENTAL ALLIANCE, INC. DATED MARCH 10, 2006. ALL DOCUMENTATION FROM THE MARYLAND DEPARTMENT OF THE ENVIRONMENT ARE INCLUDED IN THE REPORTS.
15. NO GRADING, REMOVAL OF VEGETATIVE COVER, TREES, PAVING, AND NEW STRUCTURES SHALL BE PERMITTED OUTSIDE THE LIMITS OF DISTURBANCE.
16. ALL EXTERIOR SITE LIGHTING SHALL COMPLY WITH ZONING REGULATIONS SECTION 134 AND SHALL BE ORIENTED TO DIRECT OR REFLECT LIGHT INWARD AND DOWNWARD AWAY FROM ADJOINING PUBLIC STREETS. PROPOSED LIGHT LOCATIONS ARE SHOWN ON SHEET B.
17. THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE PROVISIONS OF SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL. \$6,120.00 LANDSCAPING SURETY IS PART OF THE DPW DEVELOPERS AGREEMENT.
18. HEALTH DEPARTMENT APPROVAL OF THE SITE DEVELOPMENT PLAN DOES NOT ENSURE APPROVAL OF BUILDING PERMIT APPLICATIONS ASSOCIATED WITH THIS PLAN. PERMIT PLANS FOR THE FOOD FACILITY TO BE CONSTRUCTED WITHIN THE LIMITS DESCRIBED BY THIS SITE DEVELOPMENT PLAN WILL REQUIRE REVIEW AND APPROVAL BY THE HEALTH DEPARTMENT.
19. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF HOWARD COUNTY PLUS MSHA STANDARDS AND SPECIFICATIONS IF APPLICABLE.
20. THE CONTRACTOR SHALL NOTIFY THE DEPARTMENT OF PUBLIC WORKS/BUREAU OF ENGINEERING/CONSTRUCTION INSPECTION DIVISION AT (410) 313-1880 AT LEAST FIVE (5) WORKING DAYS PRIOR TO THE START OF WORK.
21. THE CONTRACTOR SHALL NOTIFY "MISS UTILITY" AT 1-800-257-7777 AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION WORK BEING DONE.
22. TRAFFIC CONTROL DEVICES, MARKINGS AND SIGNING SHALL BE IN ACCORDANCE WITH THE LATEST MARYLAND EDITION OF THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES. ALL STREET AND ROAD SIGNS SHALL BE IN PLACE PRIOR TO THE PLACEMENT OF ANY ASPHALT. ALL SIGN POSTS USED FOR TRAFFIC CONTROL SIGNS INSTALLED IN THE COUNTY RIGHT-OF-WAY SHALL BE MOUNTED ON A 2" GALVANIZED STEEL PERFORATED (QUICK PUNCH TYPE), SQUARE TUBE POST (14 GAUGE) INSERTED INTO A 2-1/2" GALVANIZED STEEL PERFORATED, SQUARE TUBE SLEEVE (12 GAUGE) - 3' LONG. THE ANCHOR SHALL NOT EXTEND MORE THAN TWO QUICK PUNCH HOLES ABOVE GROUND LEVEL. A GALVANIZED STEEL POLE CAP SHALL BE MOUNTED ON TOP OF EACH POST.
23. ALL PLAN DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
24. THE EXISTING TOPOGRAPHY IS TAKEN FROM FIELD RUN SURVEY WITH ONE FOOT CONTOUR INTERVALS PREPARED BY BOWMAN CONSULTING DATED 07/06/2011.
25. WATER IS PUBLIC. WATER CONTRACT NO. 772-W
26. SEWER IS PUBLIC. SEWER CONTRACT NO. 31-S
27. THE PROPOSED STORMWATER QUALITY TREATMENT FACILITY (FILTRERA UNIT) WILL BE PRIVATELY MAINTAINED.
28. EXISTING UTILITIES ARE BASED ON AN ALTA/ACSM LAND TITLE SURVEY PERFORMED BY BOWMAN CONSULTING DATED 07/06/2011.
29. THERE ARE NO FLOODPLAIN, WETLANDS, STREAMS AND/OR THEIR BUFFERS LOCATED ON THIS SITE.
30. THE TRAFFIC STUDY FOR THIS PROJECT WAS PREPARED BY THE TRAFFIC GROUP DATED MARCH 27, 2012 AND REVISED SEPTEMBER 25, 2013. THE SHA TRACKING NUMBER IS 13APH0008X.
31. PROJECT BACKGROUND INFORMATION: TAX MAP 24, SECTION/AREA 4, PARCEL 1027, PARCEL A1, ZONING B-2, BA CASE REFERENCE BA-11-029V, ELECTION DISTRICT 2, SITE AREA 23,297 SF OR 0.5348 AC. SUBDIVISION NAME: ST JOHN'S PLAZA TAX MAP: 24 GRID: 4 PARCEL: 1027 LOT/PARCEL: A1 RECORDED: LIBER 13138, FOLIO 231, PLAT NO. 23446 ELECTION DISTRICT: #2 TOTAL TRACT AREA: 23,297 SF OR 0.5348 AC
32. THIS SITE IS EXEMPT FROM FOREST CONSERVATION BECAUSE IT IS A SINGLE LOT LESS THAN 40,000 SQUARE FEET IN AREA.
33. THE FOLLOWING MINIMUM STRUCTURE AND USE SETBACK REQUIREMENTS SHALL BE OBSERVED, PER THE B-2 ZONING DISTRICT: 30 FEET FROM PUBLIC STREET RIGHT OF WAY; 10 FEET FOR PARKING USES; A VARIANCE (BA-11-029V) TO REDUCE THE 30-FT STRUCTURE AND USE SETBACK FROM US ROUTE 40 AND ST. JOHN'S LANE TO 10-FEET AND 17-FEET, RESPECTIVELY, AND THE 10 FOOT PARKING SETBACK FROM ST. JOHN'S LANE TO 4 FEET, WAS GRANTED BY THE HEARING EXAMINER ON MARCH 29, 2012.
34. THE REQUIRED NUMBER OF PARKING SPACES (40) WAS REDUCED TO 28 SPACES THROUGH A VARIANCE THAT WAS GRANTED BY THE HEARING EXAMINER AS PART OF BA-11-029V ON MARCH 29, 2012. THE PETITIONER MUST EXECUTE AN OVERFLOW PARKING AGREEMENT WITH THE ST. JOHN'S SHOPPING CENTER IF PARKING CANNOT BE ACHIEVED ON SITE. AS REQUESTED BY SHA, 2 ADDITIONAL PARKING SPACES HAVE BEEN REMOVED. A TOTAL OF 26 SPACES IS NOW PROPOSED WHICH AGREES WITH THE PARKING NEEDS ANALYSIS SUBMITTED WITH THE ORIGINAL PARKING VARIANCE.
35. ENVIRONMENTAL CONCEPT PLAN ECP-12-034 WAS APPROVED MARCH 1, 2012.
36. A DESIGN MANUAL WAIVER WAS GRANTED ON JANUARY 30, 2014 BY THE DEVELOPMENT ENGINEERING DIVISION TO PROPOSE A COMMERCIAL DRIVEWAY 110.1 FEET FROM AN EXISTING DRIVEWAY WITH SPACING LESS THAN 250 FEET ON A MAJOR COLLECTOR (ST. JOHN'S LANE).
37. APPROVAL OF THIS SITE DEVELOPMENT PLAN IS SUBJECT TO ALL CONSTRUCTION ACCESS FROM ST. JOHN'S LANE OR FROM WITHIN THE SHOPPING CENTER WITH NO WORK ALLOWED WITHIN THE SHA RIGHT OF WAY UNTIL THE ACCESS PERMIT IS ISSUED.
38. THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH SECTION 16.156(b) OF THE LAND DEVELOPMENT REGULATIONS, A DESIGN ADVISORY PANEL (DAP) MEETING WAS HELD ON DECEMBER 14, 2011.

SITE DEVELOPMENT PLAN

CHIPOTLE MEXICAN GRILL #1759

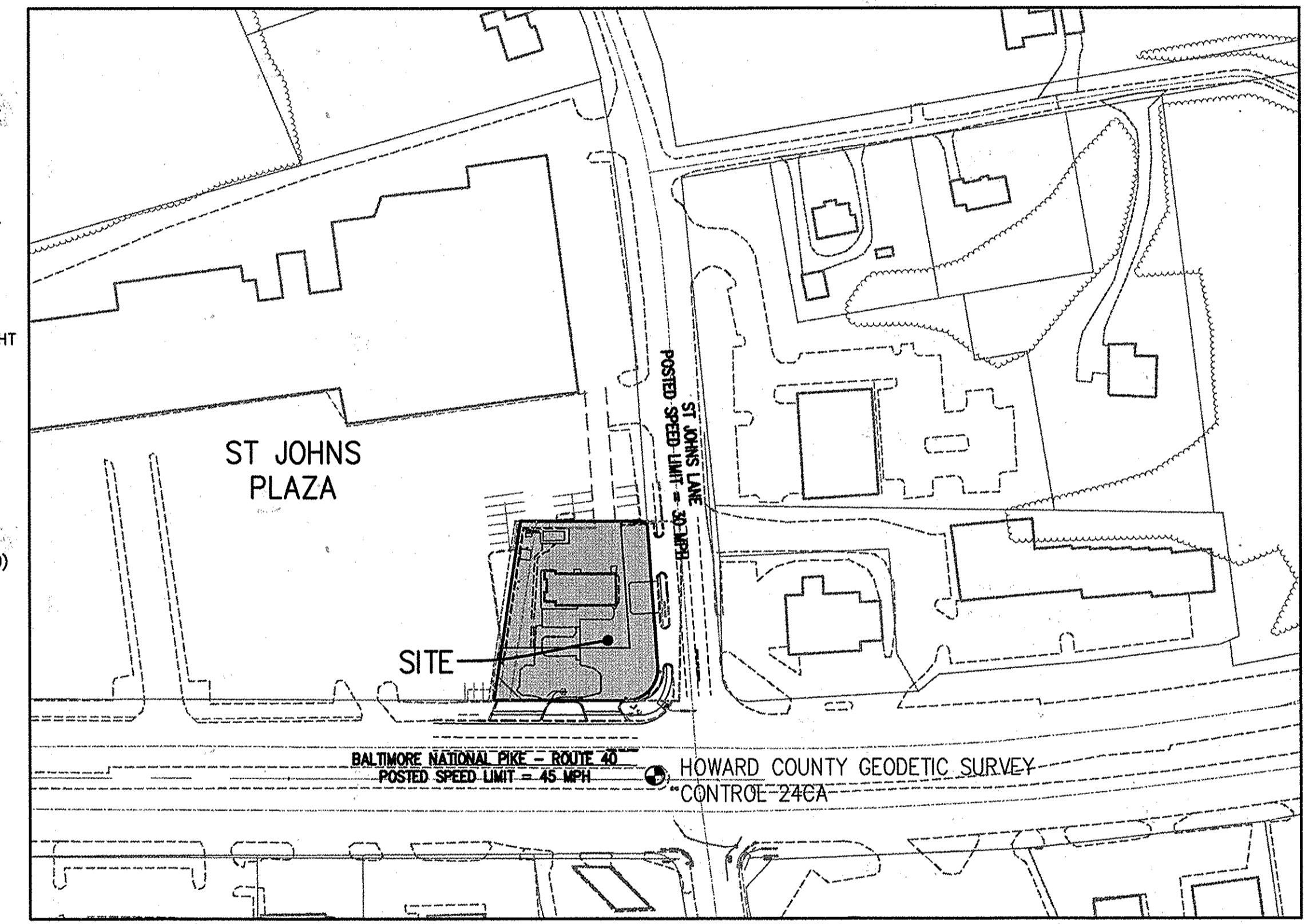
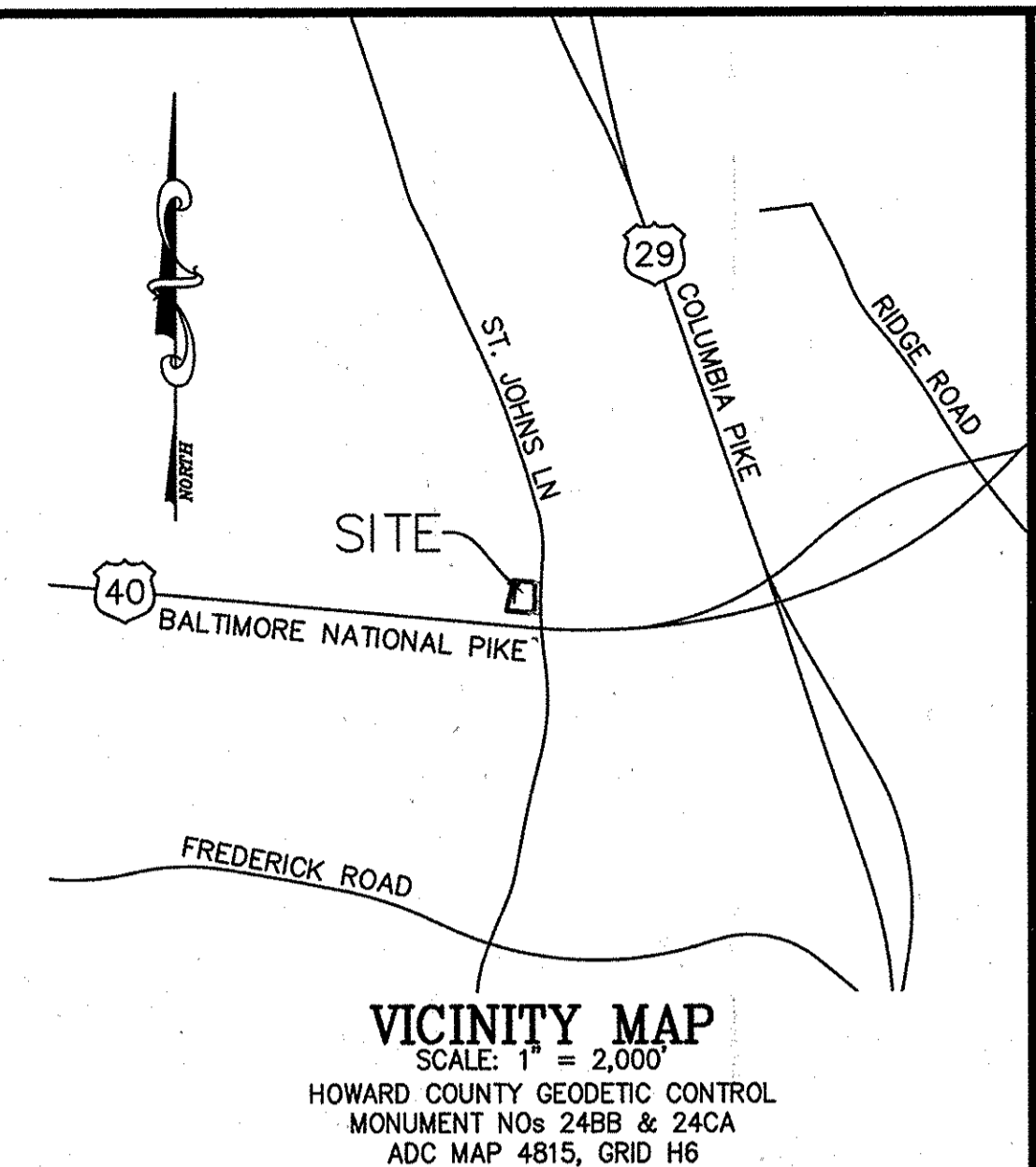
ST. JOHN'S PLAZA

TAX MAP 24, GRID 4, PARCEL 1027, PARCEL A1

ELECTION DISTRICT 2

9120 BALTIMORE NATIONAL PIKE

ELLCOTT CITY, HOWARD COUNTY, MARYLAND 21042



CIVIL ENGINEER
BOWMAN CONSULTING GROUP, LTD.
14020 THUNDERBOLT PLACE
SUITE 300
CHANTILLY, VA 20151
STEVEN LIAM, P.E.
703-464-1000
SLIAM@BOWMANCONSULTING.COM

DEVELOPER
CHIPOTLE MEXICAN GRILL
1401 WYNKOOP STREET, SUITE 500
DENVER, CO 80202
CHERYL HEIDORN
614-314-9253
CHEIDORN@CHIPOTLE.COM

ARCHITECT
RED ARCHITECTURE AND PLANNING, LLC
855 GRANDVIEW AVENUE, SUITE 295
COLUMBUS, OH 43215
DAVID EFAW
614-484-8770
DEFAW@REDARCHITECTS.COM

THE FOLLOWING STANDARDS (CONSTRUCTION AND TEMPORARY TRAFFIC CONTROL) ARE REQUIRED FOR THIS PROJECT (LIST THEM OUT AS SHOWN BELOW):
A. MD-104.04-09 - RIGHT LANE CLOSURE/DIVIDED UNCON. GREATER THAN 40 MPH

FOR ALL STANDARDS REFERRED TO ON THE PLANS THE CONTRACTOR MUST GO TO THE BOOK OF STANDARDS WHICH WILL HAVE THE MOST CURRENT VERSION. THE BOOK OF STANDARDS CAN BE ACCESSED AT: [HTTP://APPS.ROADS.MARYLAND.GOV/BUSINESSWITHSHA/BIZSTDSPESCS/DESMANUALSTD/PUB/PUBLICATIONSONLINE/OHD/BOOKSTD/INDEX.ASP](http://APPS.ROADS.MARYLAND.GOV/BUSINESSWITHSHA/BIZSTDSPESCS/DESMANUALSTD/PUB/PUBLICATIONSONLINE/OHD/BOOKSTD/INDEX.ASP)

ALL ITEMS ARE TO BE CONSTRUCTED IN ACCORDANCE WITH THE CURRENT VERSION OF THE REFERENCED STANDARD AT THE TIME OF CONSTRUCTION.

<p>APPROVED: DEPARTMENT OF PLANNING AND ZONING <i>[Signature]</i> 12-3-15 Chief, Development Engineering Division Date</p> <p>APPROVED: FOR PUBLIC HEALTH AND SAFETY WATER AND PUBLIC USES (SEE ONLY ONE) SEWERAGE SYSTEMS <i>[Signature]</i> 12-22-15 County Health Officer Date Howard County Health Department</p>	<p>APPROVED: DEPARTMENT OF PLANNING AND ZONING <i>[Signature]</i> 12-3-15 Chief, Division of Land Development Date</p> <p>APPROVED: FOR PUBLIC HEALTH AND SAFETY WATER AND PUBLIC USES (SEE ONLY ONE) SEWERAGE SYSTEMS <i>[Signature]</i> 12/15/2015 County Health Officer Date Howard County Health Department</p>
---	---

SITE ANALYSIS

SITE AREA:	23,297 SF OR 0.5348 AC
WETLAND AREA:	0 SF
FLOODPLAIN AREA:	0 SF
FORESTED AREA:	0 SF
STEEP SLOPES AREA:	0 SF
ERODIBLE SOILS AREA:	0 SF
LIMITS OF DISTURBANCE:	29,850 SF OR 0.685 AC
PROPOSED SITE USE:	COMMERCIAL/RESTAURANT
GREEN OPEN AREA:	6,305 SF OR 0.145 AC
PROPOSED IMPERVIOUS AREA:	16,992 SF OR 0.39 AC
PARKING SPACES REQUIRED:	40 SPACES
PARKING SPACES PROVIDED:	26 SPACES (SEE GENERAL NOTE 34)
MAX NUMBER OF EMPLOYEES:	8-10 PER SHIFT
BUILDING COVERAGE:	2,819 SF
BUILDING COVERAGE%:	12%
DPZ FILE REFERENCES:	F-82-69 F-98-133 ECP-12-034 F-15-109 BA-11-029V

DESIGN NARRATIVE

THE SITE IS LOCATED AT THE INTERSECTION OF BALTIMORE NATIONAL PIKE AND SAINT JOHNS LANE IN ELLICOTT CITY MARYLAND. THE EXISTING SITE DOES NOT CONTAIN NATURAL RESOURCES THAT REQUIRE PROTECTING SUCH AS VEGETATIVE COVER, INTERMITTENT STREAMS, SPRINGS, SEEPS, ENHANCED STREAM BUFFERS, AND HIGHLY ERODIBLE SOILS. THE EXISTING DRAINAGE DIVIDES AND NATURAL FLOW PATTERNS ARE MAINTAINED THROUGHOUT THE DEVELOPMENT, AS SHOWN ON THE DRAINAGE DIVIDES PLAN. THE EXISTING SITE CONTAINS 22,534 SQUARE FEET OF IMPERVIOUS AREA CONSISTING OF A BUILDING, GRAVEL AREA AND PARKING LOT. THE PROPOSED IMPROVEMENTS REDUCE THE IMPERVIOUS COVERAGE TO 16,992 SQUARE FEET THROUGH THE ADDITION OF GRASSED ISLANDS. EROSION AND SEDIMENT CONTROLS FOR THE SITE IS BEING PROVIDED THROUGH THE USE OF SILT FENCE, INLET PROTECTION AND A TEMPORARY CONSTRUCTION ENTRANCE. THE EXISTING SITE IS A VACANT GAS STATION WHICH IS CONSIDERED A "HOT SPOT" IN THE MDE STORMWATER DESIGN MANUAL. THE MANUAL ADVISES AGAINST THE USE OF INFILTRATION PRACTICES SUCH AS MICRO-BIORETENTION, PERMEABLE PAVEMENT, GRASSED FILTER STRIPS ETC. THEREFORE IN ORDER TO SATISFY THE ESD TARGETS FOR REDEVELOPMENT A FILTRERA TREE BOX FILTER HAS BEEN SELECTED.

SHEET INDEX

1. COVER SHEET
2. MISCELLANEOUS NOTES AND DETAILS
3. MISCELLANEOUS DETAILS
4. EXISTING CONDITIONS PLAN
5. DEMOLITION PLAN & EROSION AND SEDIMENT CONTROL PLAN - PHASE I
6. EROSION AND SEDIMENT CONTROL PLAN - PHASE II
7. EROSION AND SEDIMENT CONTROL NOTES, NARRATIVE, AND DETAILS
8. SITE DEVELOPMENT PLAN & MOT PLAN
9. GRADING PLAN
10. CURB RAMP DETAILS
11. BALTIMORE PIKE SIGHT DISTANCE PLAN AND PROFILE
12. ST JOHNS LANE SIGHT DISTANCE PLAN AND PROFILE
13. EXISTING DRAINAGE DIVIDES PLAN
14. PROPOSED DRAINAGE DIVIDES PLAN
15. STORM SEWER PROFILES AND COMPUTATIONS
16. SANITARY SEWER PROFILES
17. FILTRERA NOTES AND DETAIL
18. LANDSCAPE PLAN
19. LANDSCAPE NOTES AND DETAILS
20. FIRE SERVICE PLAN
21. PAVEMENT PLAN
22. ARCHITECTURAL SITE DETAILS (FOR INFORMATIONAL PURPOSES ONLY)
23. ELEVATIONS-EXTERIOR (FOR INFORMATIONAL PURPOSES ONLY)
24. ELEVATIONS-EXTERIOR (FOR INFORMATIONAL PURPOSES ONLY)

ADDRESS CHART	
LOT/PARCEL #	STREET ADDRESS
A-1	9120 BALTIMORE NATIONAL PIKE

PERMIT INFORMATION CHART					
Subdivision Name	St. John's Plaza	Section/Area	23,297 SF	Lot/Parcel No.	1027 A-1
Plat # or L.P.	4	Zoning	B-2	Tax Map No.	24
Water Code	772-W	Election District	#2	Census Tract	6022.00
		Sewer Code	31-S		

CHIPOTLE MEXICAN GRILL

<p>PROPERTY OWNER: MYERS REALTY LLC 2800 QUARRY LAKE DR SUITE 340 BALTIMORE, MD 21209-3764</p>	<p>PARCEL INFORMATION: 9120 BALTIMORE NATIONAL PIKE ELLCOTT CITY, MD 21042 TAX MAP 24, GRID 4, PARCEL 1027, LOT A1 ELECTION DISTRICT 2 ZONED: B-2 USE: COMMERCIAL</p>
---	--

Bowman CONSULTING
Bowman Consulting Group, Ltd.
14020 Thunderbolt Place
Suite 300
Chantilly, Virginia 20151
Telephone: (703) 464-1000
Fax: (703) 461-9270
www.bowmanconsulting.com

r e d
Architecture + Planning LLC
855 GRANDVIEW AVENUE SUITE 295
COLUMBUS, OHIO 43215
PHONE: 614-487-8770
FAX: 614-487-8777

COVER SHEET
SITE DEVELOPMENT PLAN
CHIPOTLE MEXICAN GRILL #1759:
ST. JOHN'S PLAZA-ELLCOTT CITY
ELECTION DISTRICT #2
ELLCOTT CITY, HOWARD COUNTY, MARYLAND

PROFESSIONAL CERTIFICATION:
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NO. 34211 EXPIRATION DATE: 04/15/2017

[Signature] 11/12/15
REGISTERED PROFESSIONAL ENGINEER

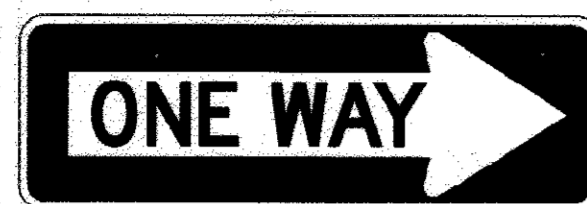
PLAN STATUS		
3/13/13	SDP 1ST SUBMITTAL	
10/01/13	SDP 2ND SUBMITTAL	
12/18/13	SDP 3RD SUBMITTAL	
5/13/14	SDP 4TH SUBMITTAL	
6/27/14	SDP 5TH SUBMITTAL	
11/12/15	MYLAR SUBMITTAL	

DATE	DESCRIPTION
DAP DESIGN	CDL DRAWN
SCALE	H: 1"=100' V:
JOB NO.	6533-02-001
DATE	NOVEMBER 2015
FILE NO.	6533-D-CP-003

JOB NO. 6533-02-001
DATE: NOVEMBER 2015
FILE NO. 6533-D-CP-003

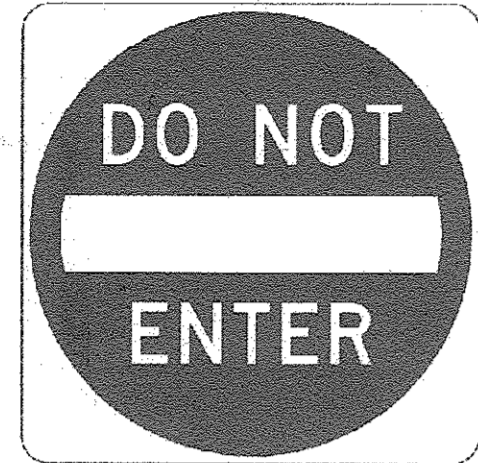
SHEET 1 OF 24
SDP-13-057

SIGN TYPE 'B'



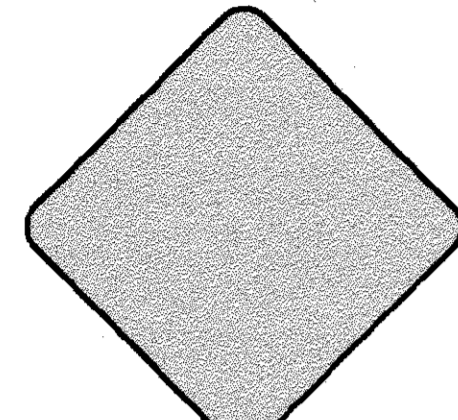
R6-1R

SIGN TYPE 'D'



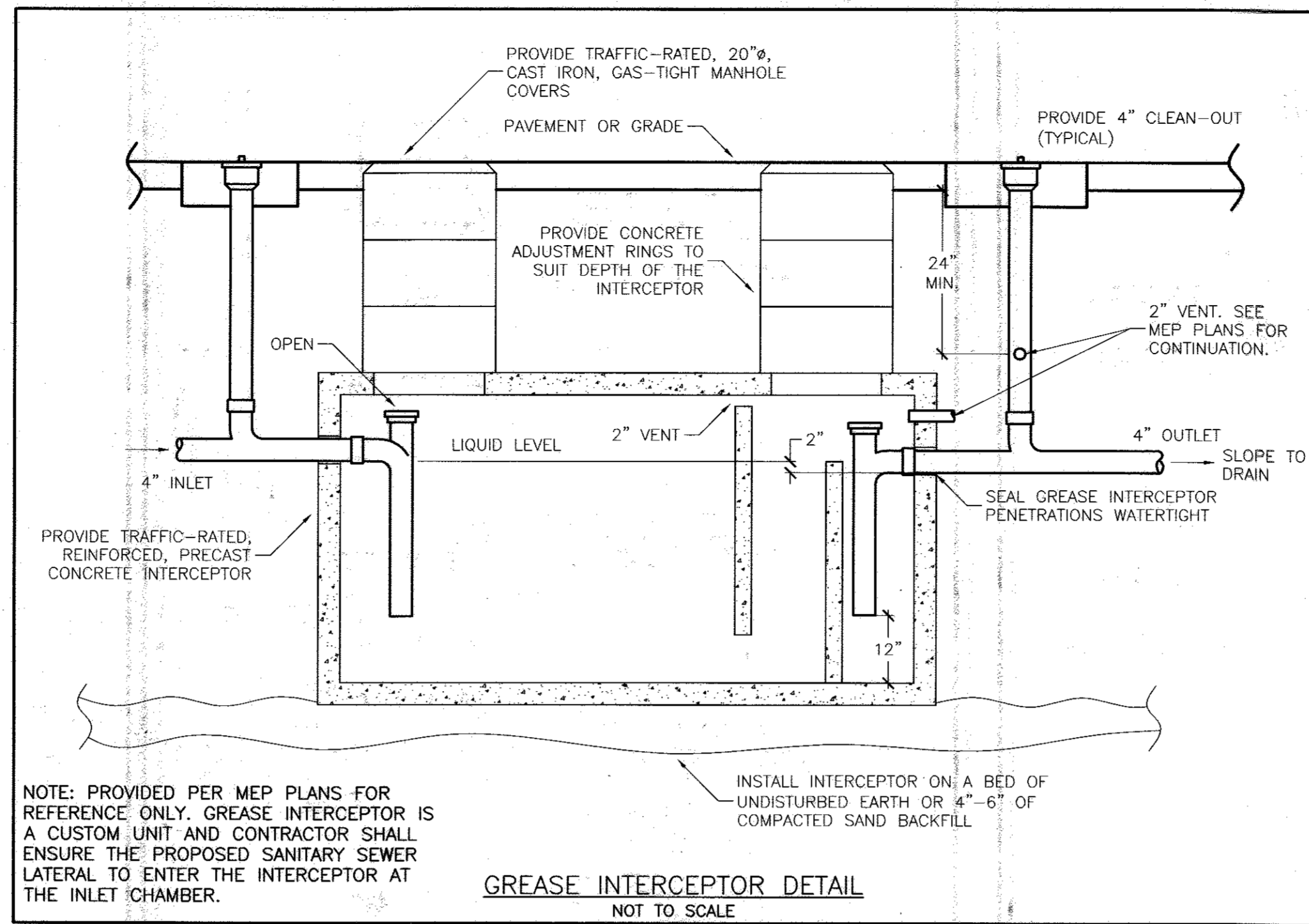
R5-1

SIGN TYPE 'C'



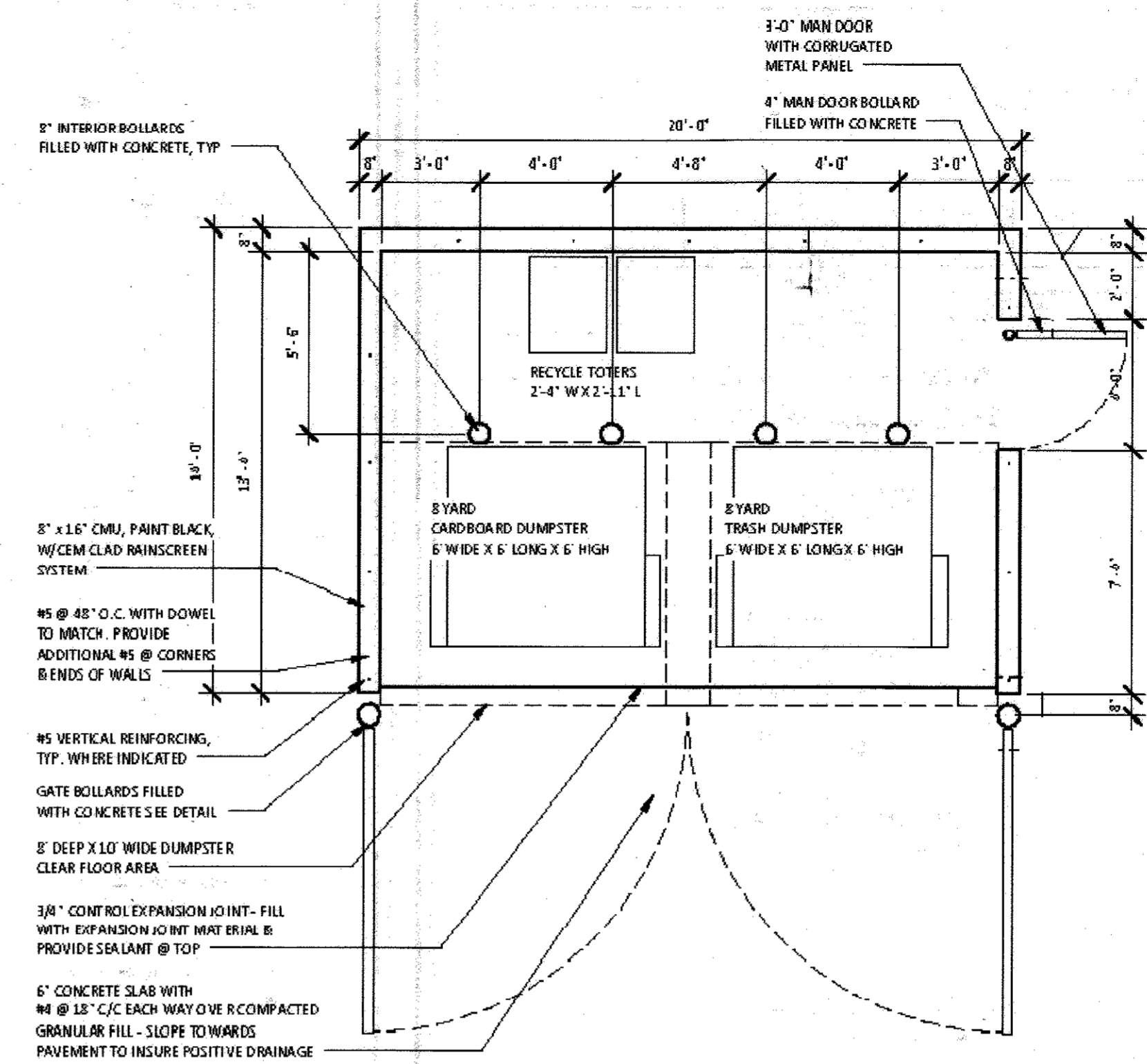
OM1-3

MARYLAND STATE HIGHWAY ADMINISTRATION TYPICAL SIGNAGE



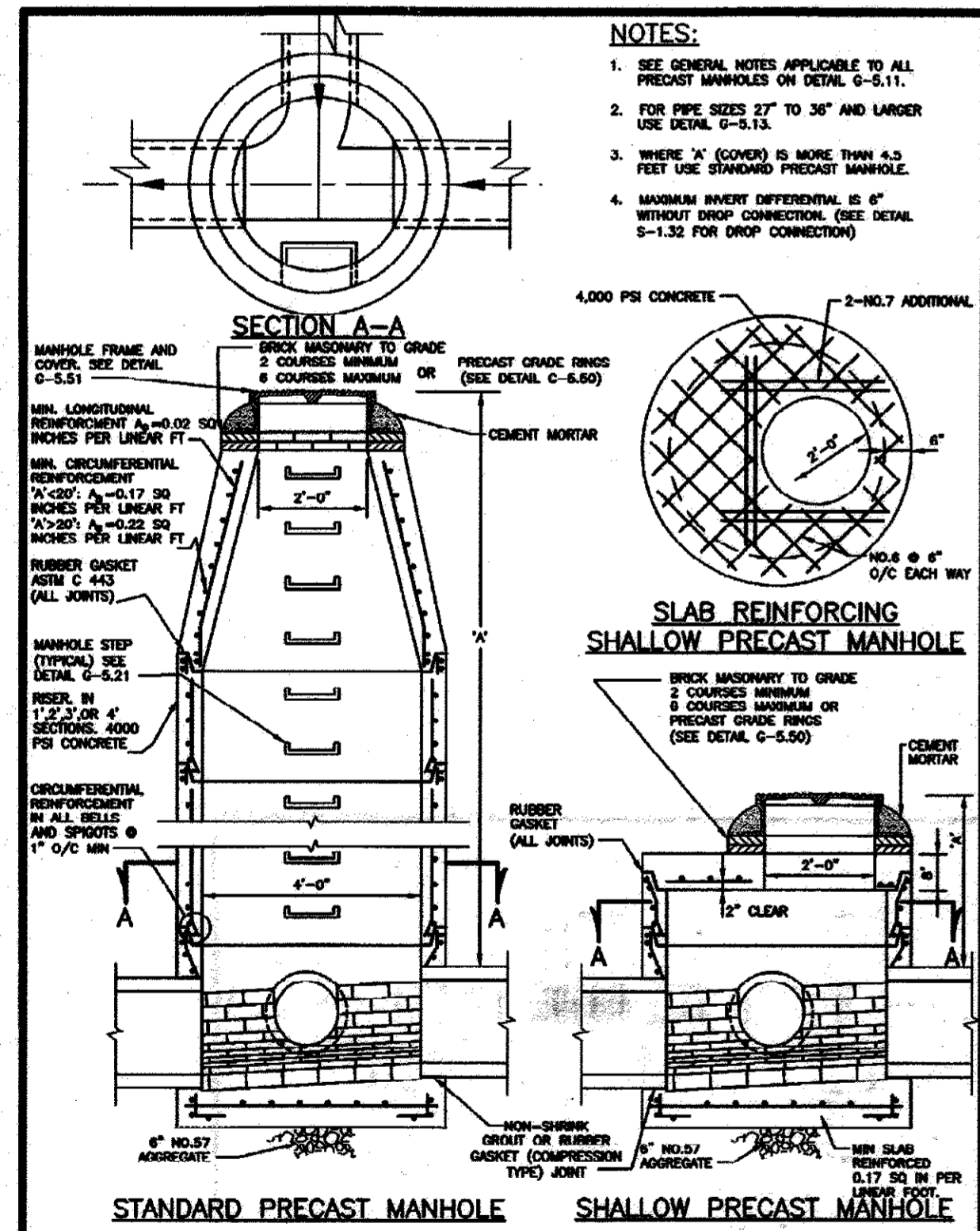
NOTE: PROVIDED PER MEP PLANS FOR REFERENCE ONLY. GREASE INTERCEPTOR IS A CUSTOM UNIT AND CONTRACTOR SHALL ENSURE THE PROPOSED SANITARY SEWER LATERAL TO ENTER THE INTERCEPTOR AT THE INLET CHAMBER.

GREASE INTERCEPTOR DETAIL NOT TO SCALE



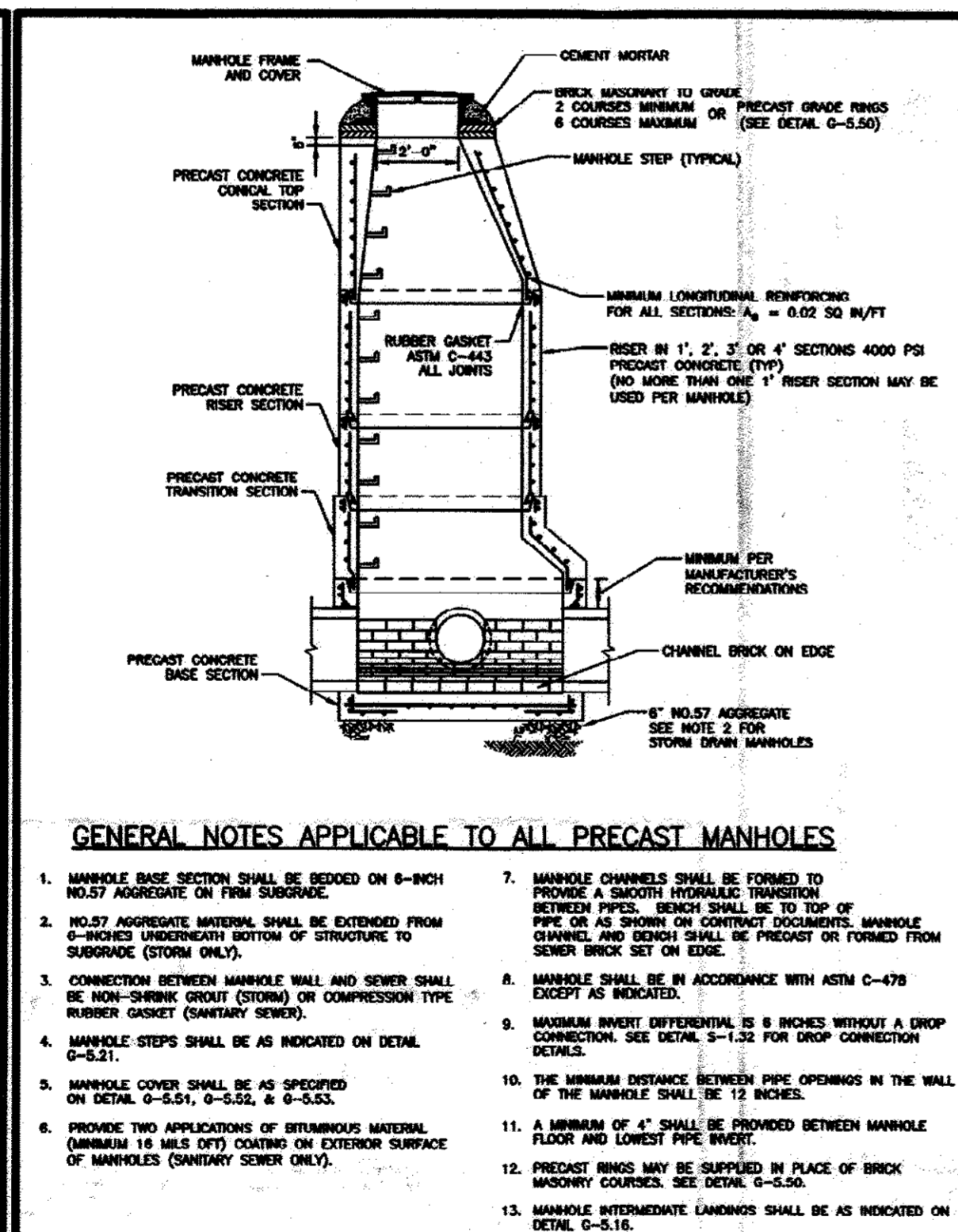
DUMPSTER PLAN

FOR FURTHER DETAILED INFORMATION PLEASE REFER TO ARCHITECTURAL PLANS.



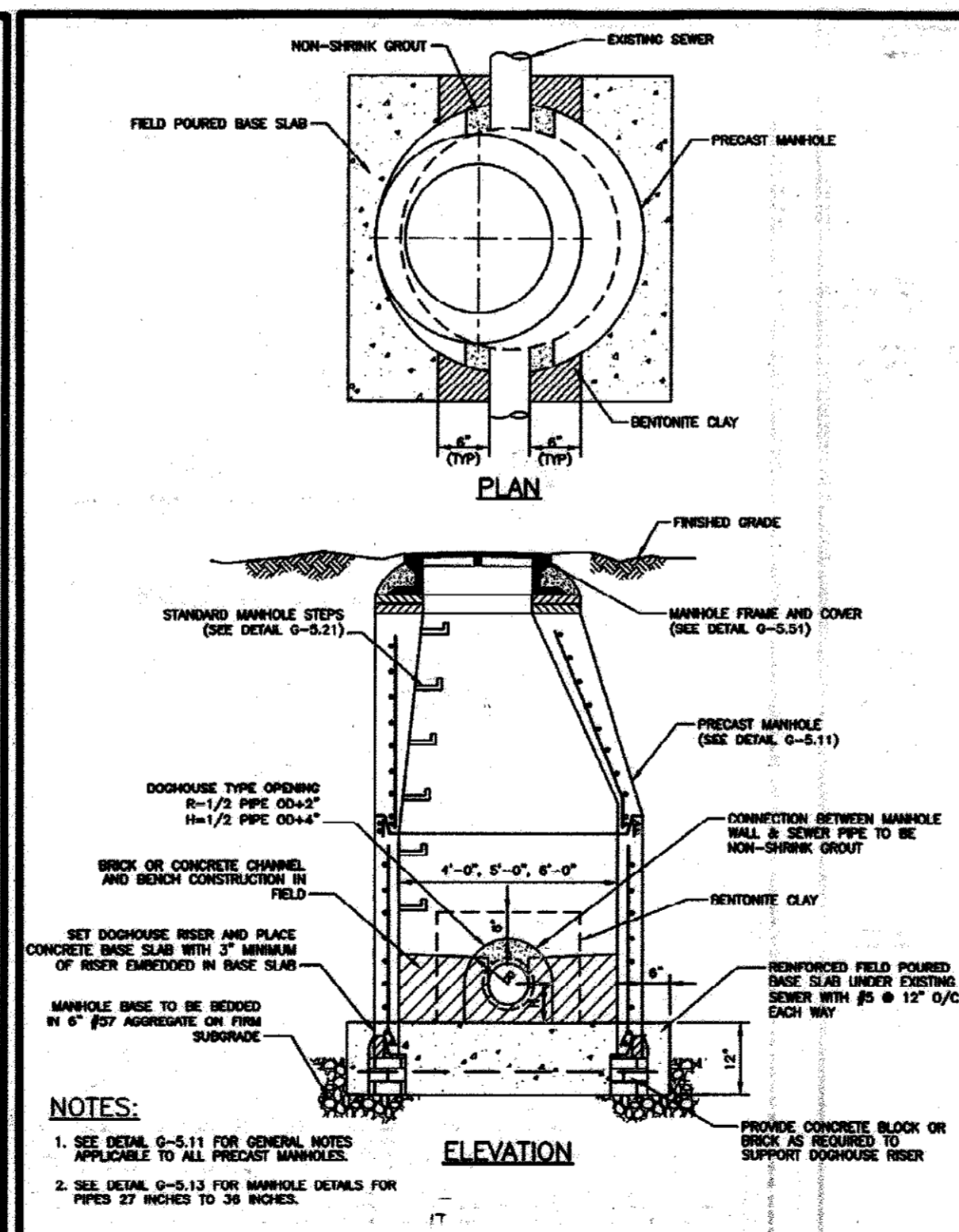
- NOTES:
- SEE GENERAL NOTES APPLICABLE TO ALL PRECAST MANHOLES ON DETAIL G-5.11.
 - FOR PIPE SIZES 24" TO 36" AND LARGER USE DETAIL G-5.13.
 - WHERE 'X' (COVER) IS MORE THAN 4.5 FEET USE STANDARD PRECAST MANHOLE.
 - MAXIMUM INVERT DIFFERENCE IS 6" WITHOUT DROP CONNECTION. (SEE DETAIL G-1.32 FOR DROP CONNECTION)

SLAB REINFORCING SHALLOW PRECAST MANHOLE



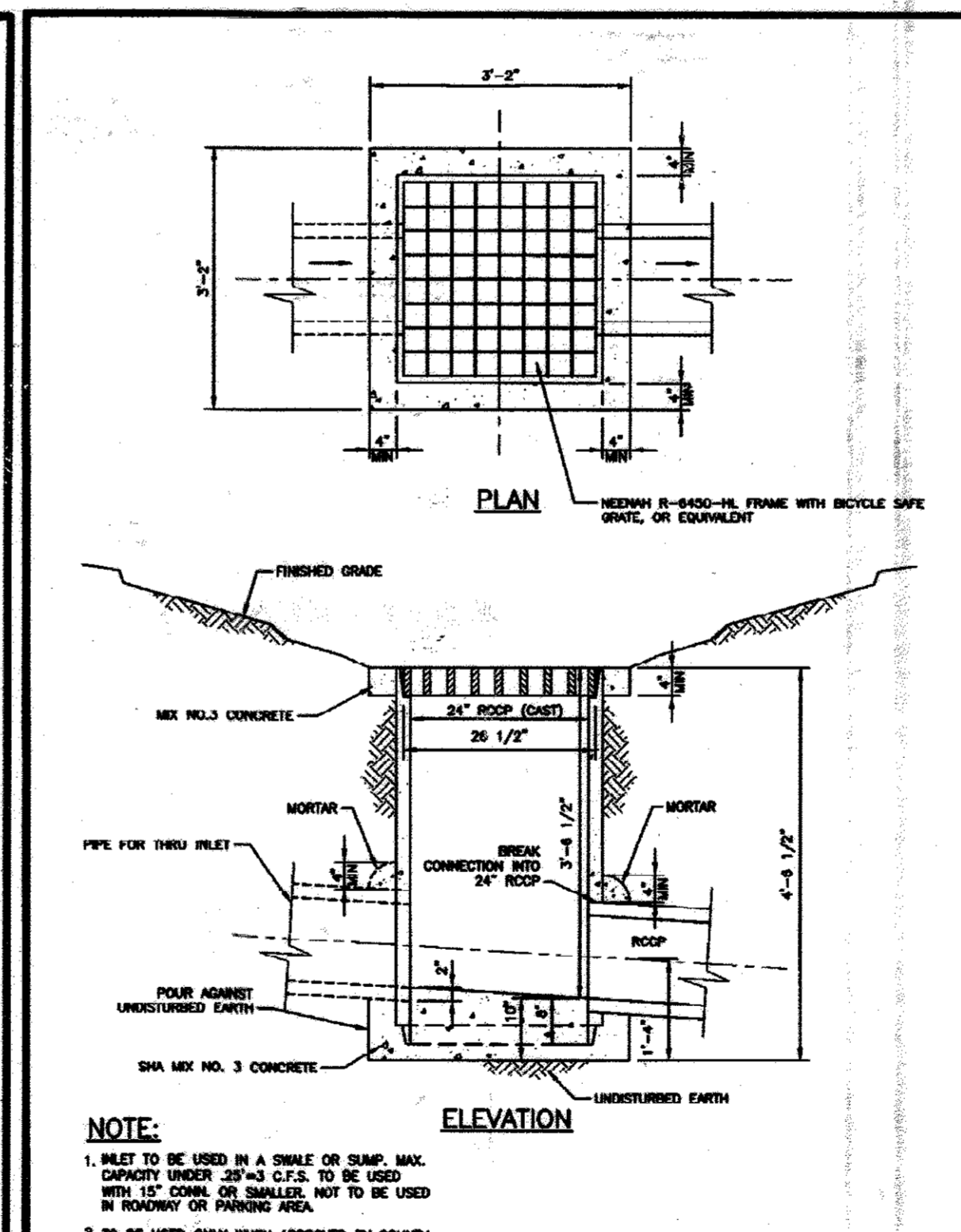
GENERAL NOTES APPLICABLE TO ALL PRECAST MANHOLES

- MANHOLE BASE SECTION SHALL BE SET ON 6-INCH NO.57 AGGREGATE ON FIRM SUBGRADE.
- NO.57 AGGREGATE MATERIAL SHALL BE EXTENDED FROM 6-INCHES UNDERNEATH BOTTOM OF STRUCTURE TO SUBGRADE (STORM ONLY).
- CONNECTION BETWEEN MANHOLE WALL AND SEWER SHALL BE NON-SHINK GROUT (STORM) OR COMPRESSION TYPE RUBBER GASKET (SEWERY SEWER).
- MANHOLE STEPS SHALL BE AS INDICATED ON DETAIL G-5.21.
- MANHOLE COVER SHALL BE AS SPECIFIED ON DETAIL G-5.01, G-5.02, & G-5.03.
- PROVIDE TWO APPLICATIONS OF BITUMINOUS MATERIAL (MINIMUM 18 MILS (0.7) COATING ON EXTERIOR SURFACE OF MANHOLES (SEWERY SEWER ONLY).
- MANHOLE CHAMBERS SHALL BE FORMED TO PROVIDE A SMOOTH HYDRAULIC TRANSITION BETWEEN AND SEWER SHALL BE TO TOP OF PIPE OR AS SHOWN ON CONTRACT DOCUMENTS. MANHOLE CHAMBER AND SEWER SHALL BE PRECAST OR FORMED FROM SEWER BRICK SET ON EDGE.
- MANHOLE SHALL BE IN ACCORDANCE WITH ASTM C-478 EXCEPT AS NOTED.
- MAXIMUM INVERT DIFFERENCE IS 6 INCHES WITHOUT A DROP CONNECTION. SEE DETAIL G-1.32 FOR DROP CONNECTION DETAILS.
- THE MINIMUM DISTANCE BETWEEN PIPE OPENINGS IN THE WALL OF THE MANHOLE SHALL BE 12 INCHES.
- A MINIMUM OF 4" SHALL BE PROVIDED BETWEEN MANHOLE FLOOR AND LOWEST PIPE INVERT.
- PRECAST RINGS MAY BE SUPPORTED IN PLACE OF BRICK MIDDLE COURSES. SEE DETAIL G-5.02.
- MANHOLE INTERMEDIATE LARGES SHALL BE AS INDICATED ON DETAIL G-5.16.



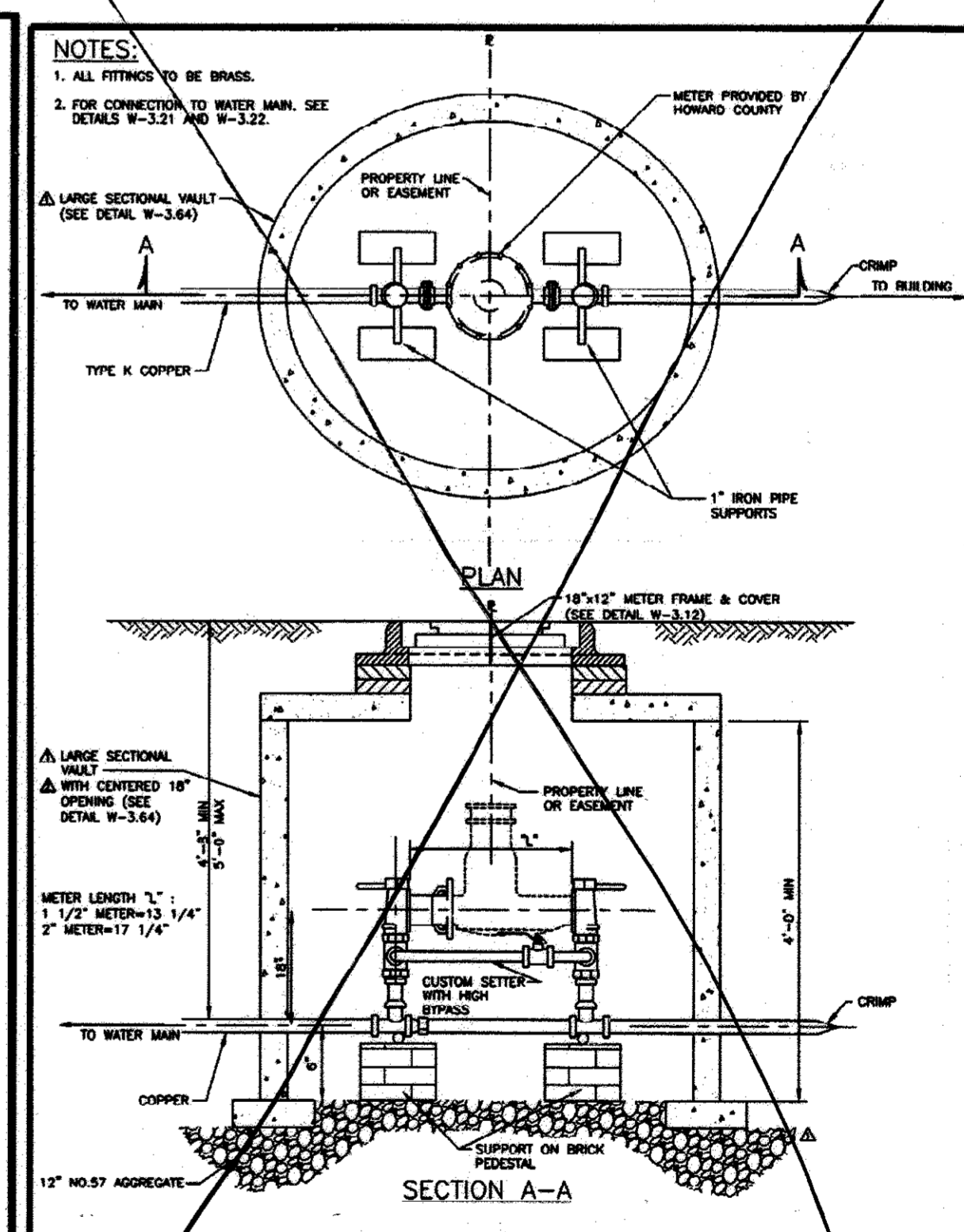
NOTES:

- SEE DETAIL G-5.11 FOR GENERAL NOTES APPLICABLE TO ALL PRECAST MANHOLES.
- SEE DETAIL G-5.13 FOR MANHOLE DETAILS FOR PIPES 27 INCHES TO 36 INCHES.



NOTE:

- INLET TO BE USED IN A SINGLE OR SHIP. MAX. CAPACITY UNDER 35"± C.F.S. TO BE USED WITH 15"± COVER OR SIMILAR. NOT TO BE USED IN ROADWAY OR PARKING AREA.
- TO BE USED ONLY WHEN APPROVED BY COUNTY.



NOTES:

- ALL FITTINGS TO BE BRASS.
- FOR CONNECTION TO WATER MAIN, SEE DETAILS W-3.21 AND W-3.22.

Howard County, Maryland Department of Public Works	PRECAST MANHOLE Standard and Shallow 4'-0" for 24" Pipe and smaller	Detail G-5.12
---	---	------------------

Howard County, Maryland Department of Public Works	PRECAST MANHOLE Notes	Detail G-5.11
---	--------------------------	------------------

Howard County, Maryland Department of Public Works	PRECAST MANHOLE Doghouse Over Existing Sewer 24" Pipe and smaller	Detail G-5.14
---	---	------------------

Howard County, Maryland Department of Public Works	Yard Inlet	Detail D-4.14
---	------------	------------------

Howard County, Maryland Department of Public Works	WATER METER 1 1/2" & 2" Outside Meter Settings	Detail W-3.34
---	--	------------------

APPROVED: DEPARTMENT OF PLANNING AND ZONING
 [Signature] 12/7/15
 Chief, Development Engineering Division
 [Signature] 12/21/15
 Chief, Division of Land Development
 [Signature] 12-22-15
 Director

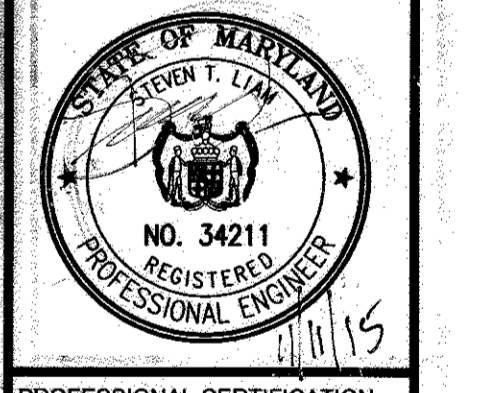
CHIPOTLE MEXICAN GRILL
 PROPERTY OWNER:
 MYERS REALTY LLC
 2800 QUARRY LAKE DR
 SUITE 340
 BALTIMORE, MD 21209-3764
 PARCEL INFORMATION:
 9120 BALTIMORE NATIONAL PIKE
 ELLICOTT CITY, MD 21042
 TAX MAP 24, GRID 4, PARCEL 1027, LOT A1
 ELECTION DISTRICT 2
 ZONED: B-2 USE: COMMERCIAL

DATE	DESCRIPTION
DAP DESIGN	SH DRAWN
SCALE	H: N/A V: N/A
JOB No.	6533-02-001
DATE	NOVEMBER 2015
FILE No.	6533-D-CP-003
SHEET	2 OF 24

Bowman CONSULTING
 Telephone: (703) 464-1000
 Fax: (703) 481-9720
 14020 Thunderbolt Place
 Suite 300
 Chantilly, Virginia 20151
 www.bowmanconsulting.com

red
 architecture + planning LLC
 855 GRANDVIEW AVENUE
 SUITE 285
 COLUMBUS, OHIO 43215
 PHONE: 614.487.8770
 FAX: 614.487.8777

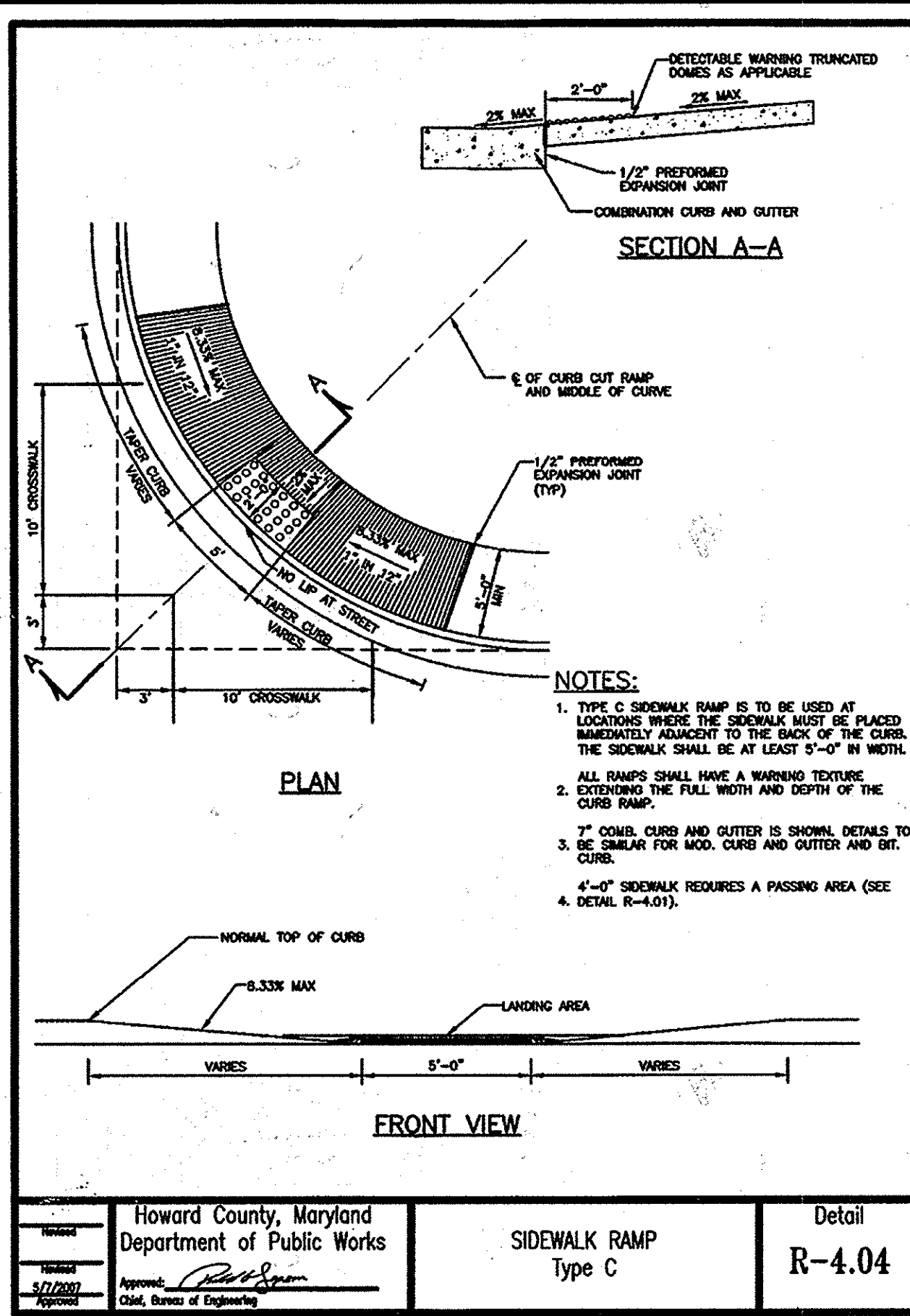
MISCELLANEOUS NOTES AND DETAILS
 SITE DEVELOPMENT PLAN
 CHIPOTLE MEXICAN GRILL #1759:
 ST. JOHN'S PLAZA-ELLCOTT CITY
 ELLICOTT CITY, HOWARD COUNTY, MARYLAND
 ELECTION DISTRICT #2



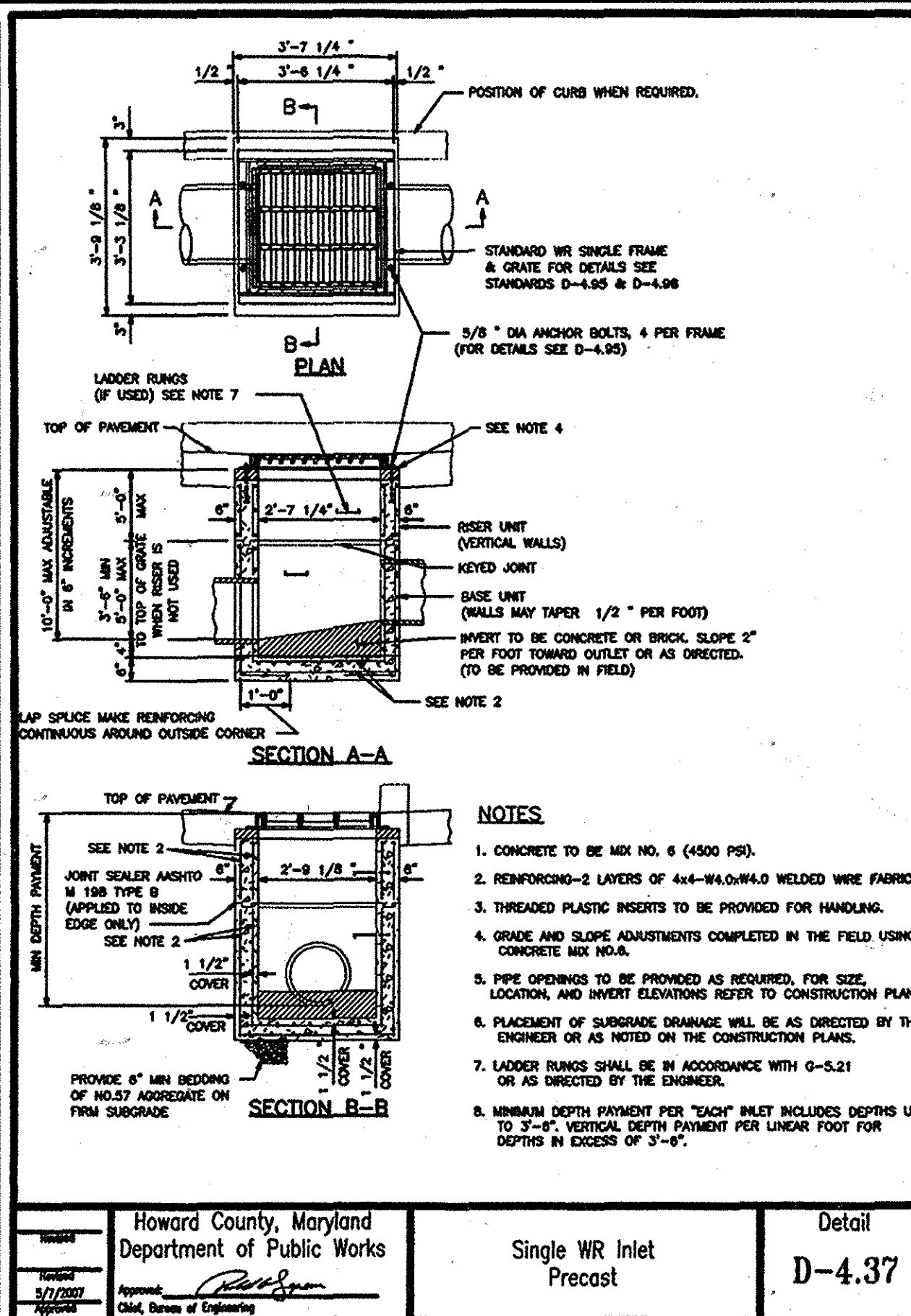
PROFESSIONAL CERTIFICATION
 I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.
 LICENSE NO. 34211
 EXPIRATION DATE: 04/15/2017

PLAN STATUS
 3/13/13 SDP 1ST SUBMITTAL
 10/01/13 SDP 2ND SUBMITTAL
 12/18/13 SDP 3RD SUBMITTAL
 5/13/14 SDP 4TH SUBMITTAL
 6/27/14 SDP 5TH SUBMITTAL
 11/12/15 MYLAR SUBMITTAL
 10/5/16 Revised 1

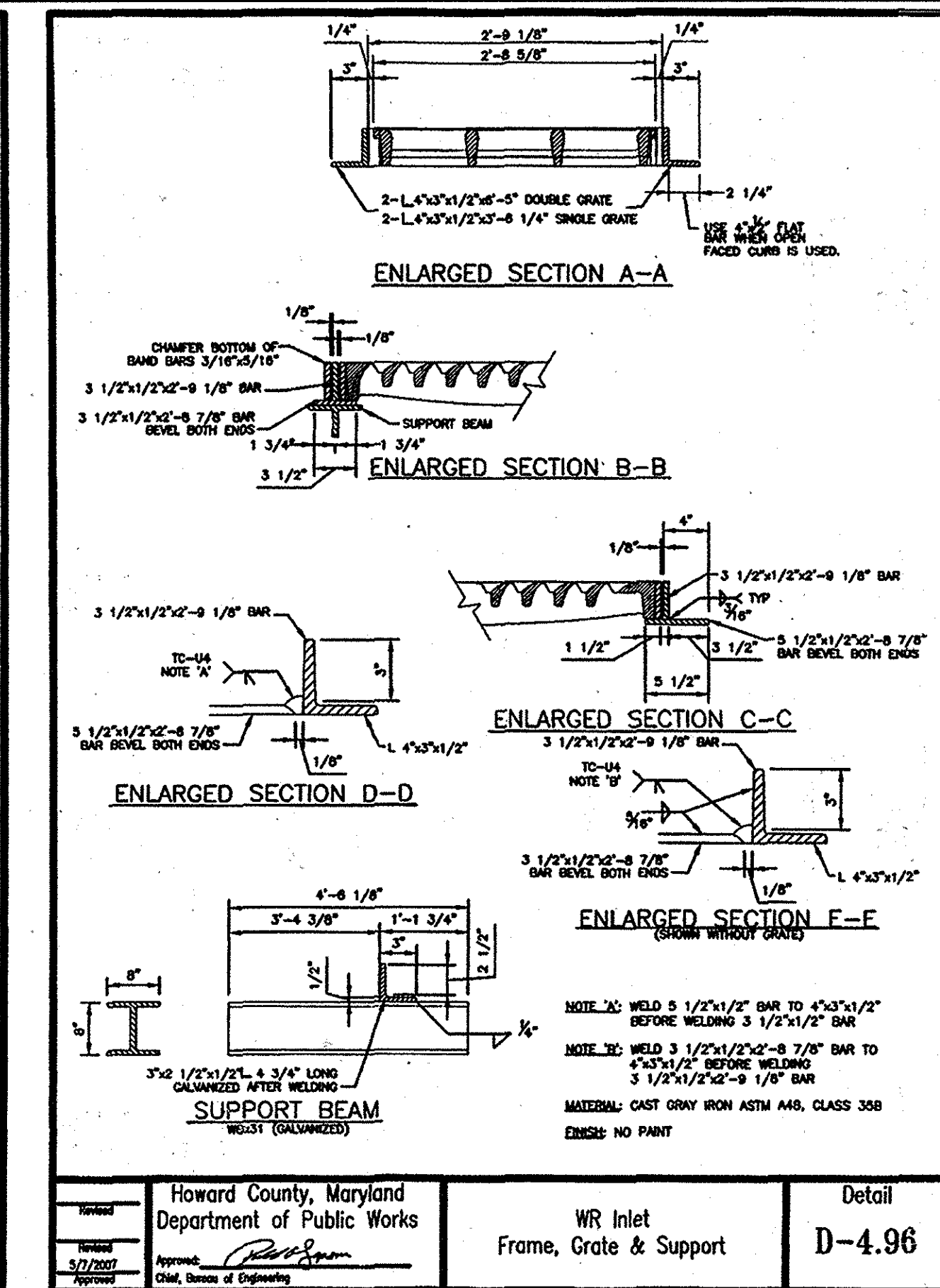
SHA - ACCESSIBILITY POLICY & GUIDELINES FOR PEDESTRIAN FACILITIES ALONG STATE HIGHWAYS



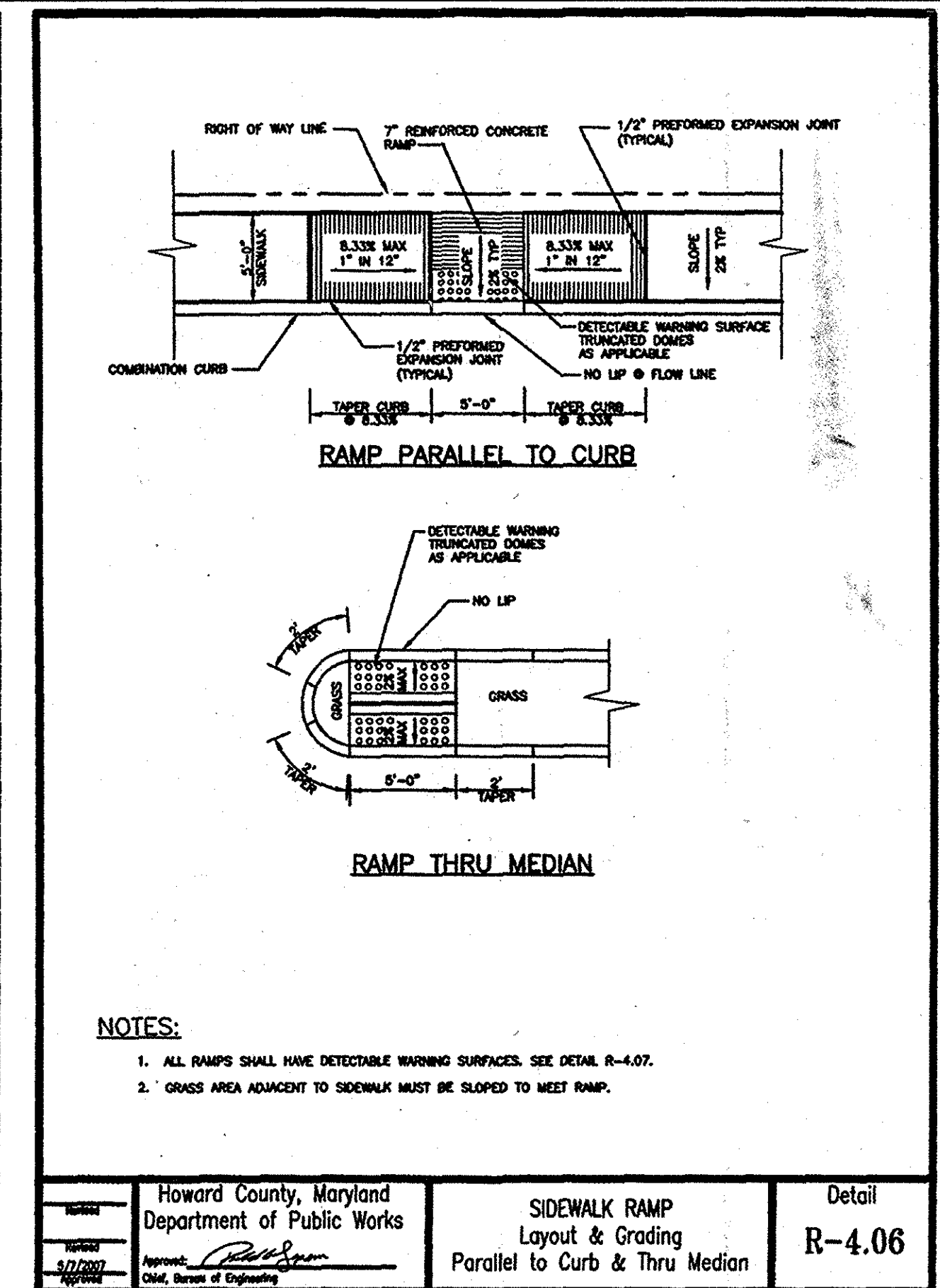
Howard County, Maryland Department of Public Works	Detail
SIDEWALK RAMP Type C	R-4.04



Howard County, Maryland Department of Public Works	Detail
Single WR Inlet Precast	D-4.37

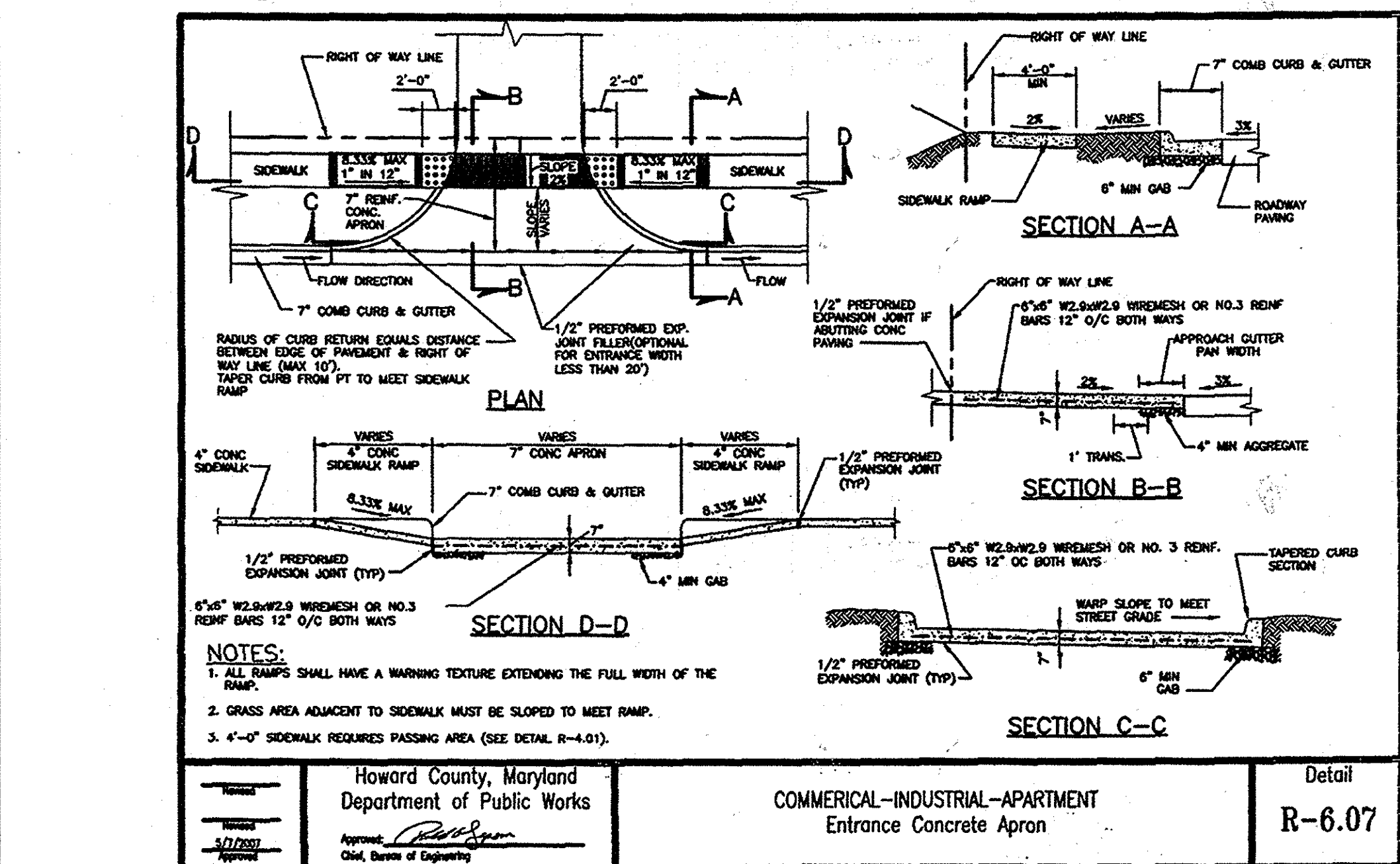
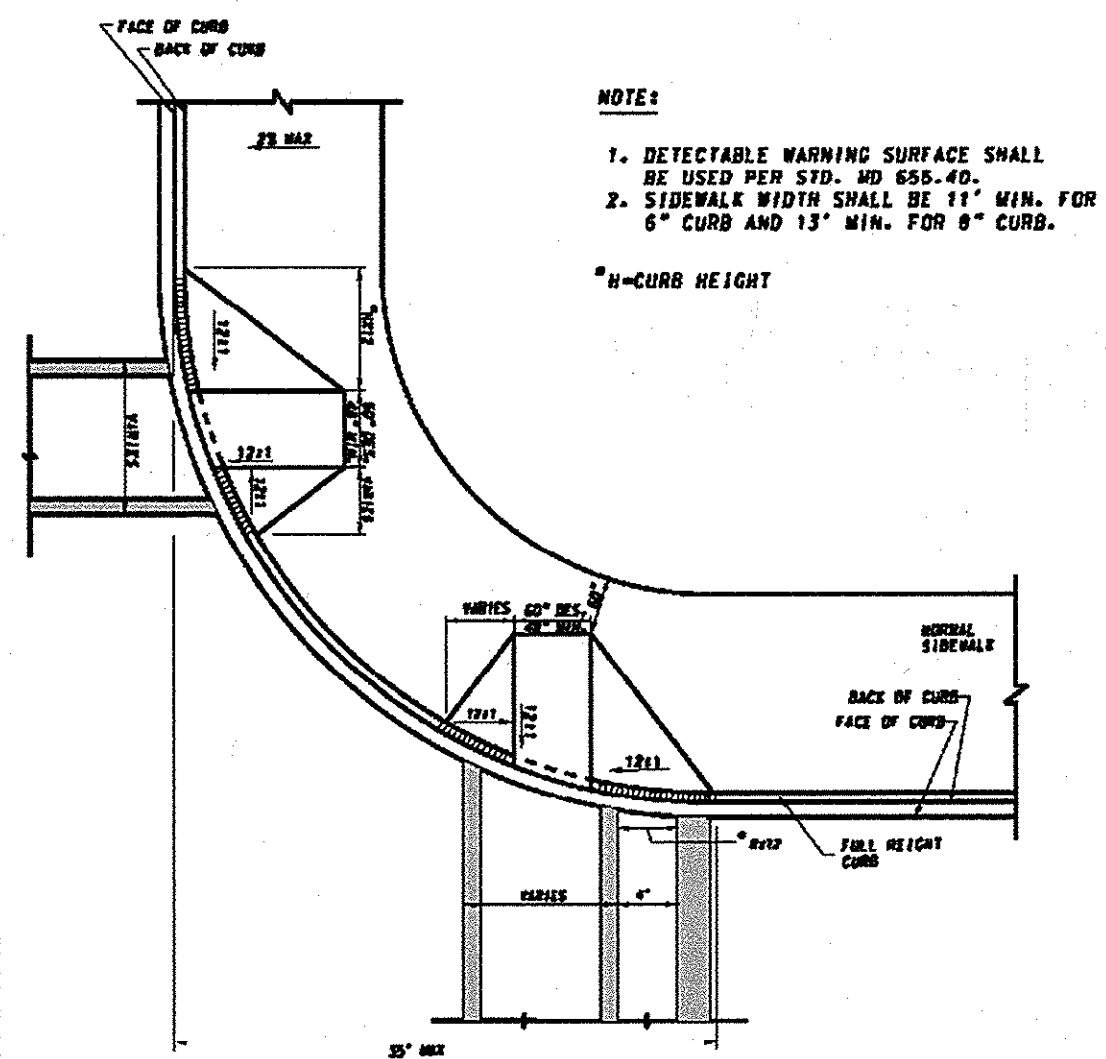


Howard County, Maryland Department of Public Works	Detail
WR Inlet Frame, Grate & Support	D-4.96

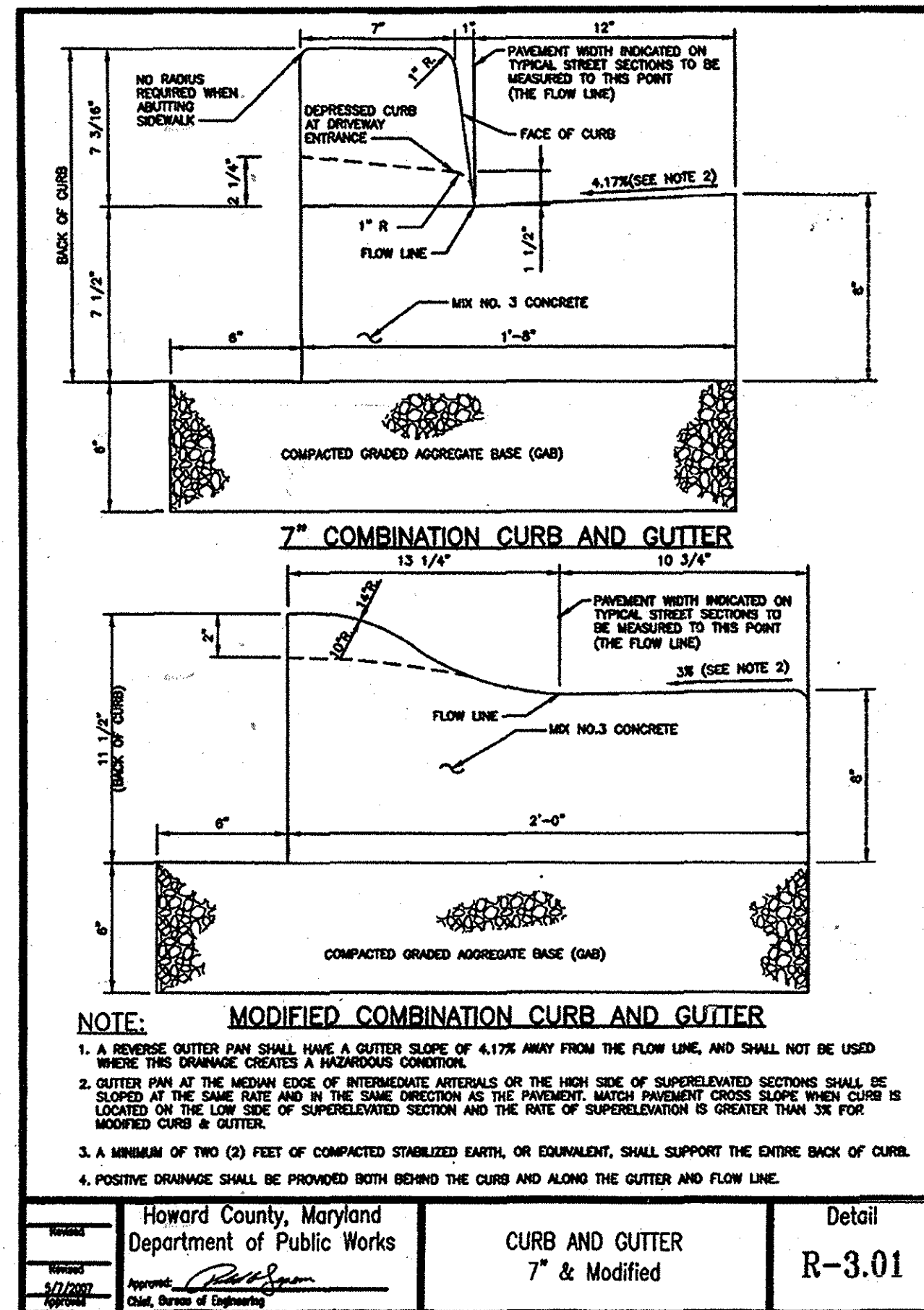


Howard County, Maryland Department of Public Works	Detail
SIDEWALK RAMP Layout & Grading Parallel to Curb & Thru Median	R-4.06

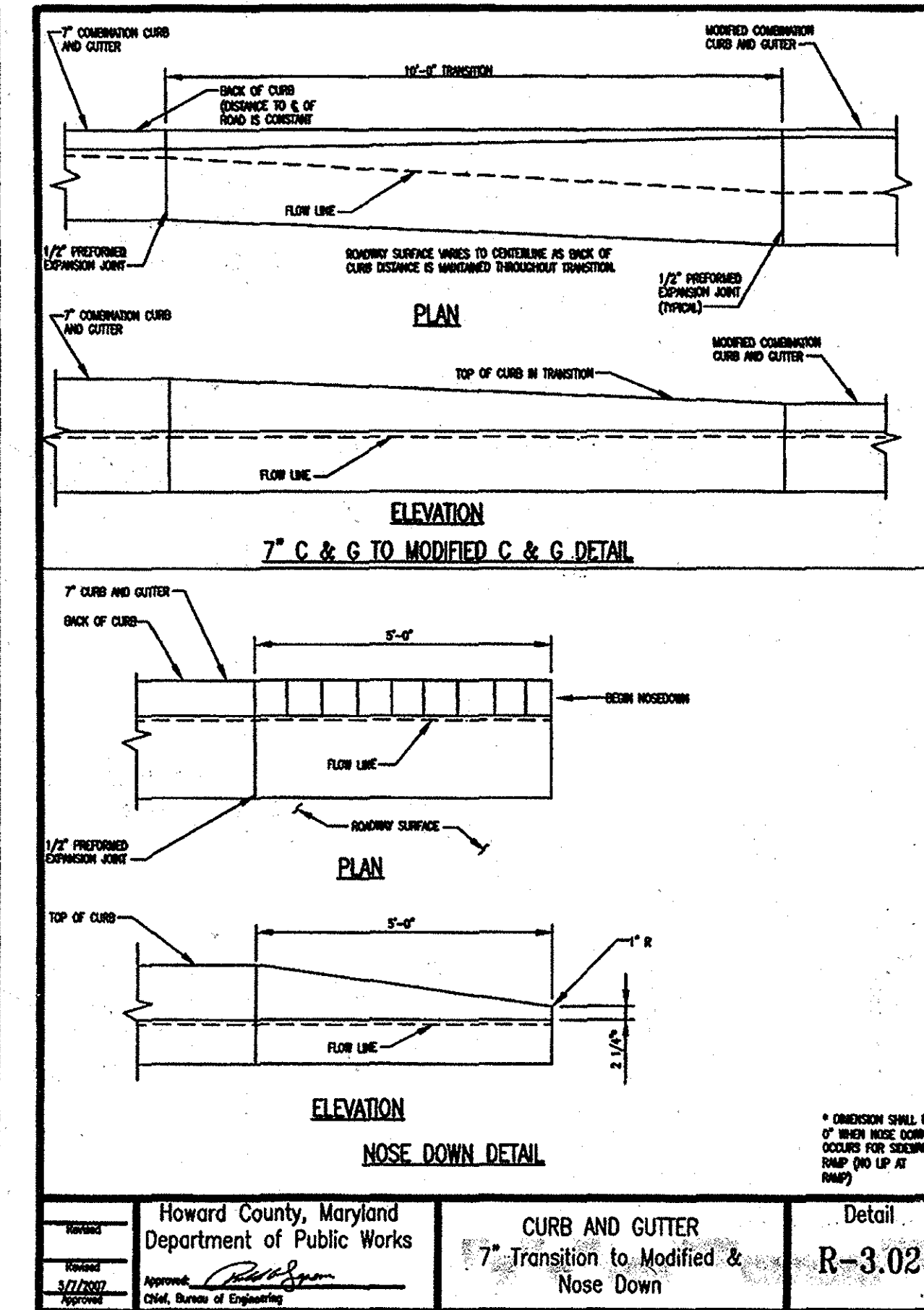
PAIRED PERPENDICULAR RAMP WITH OPTIMAL SEPARATION ON LONG RADIUS CURB RADIUS >= 35'



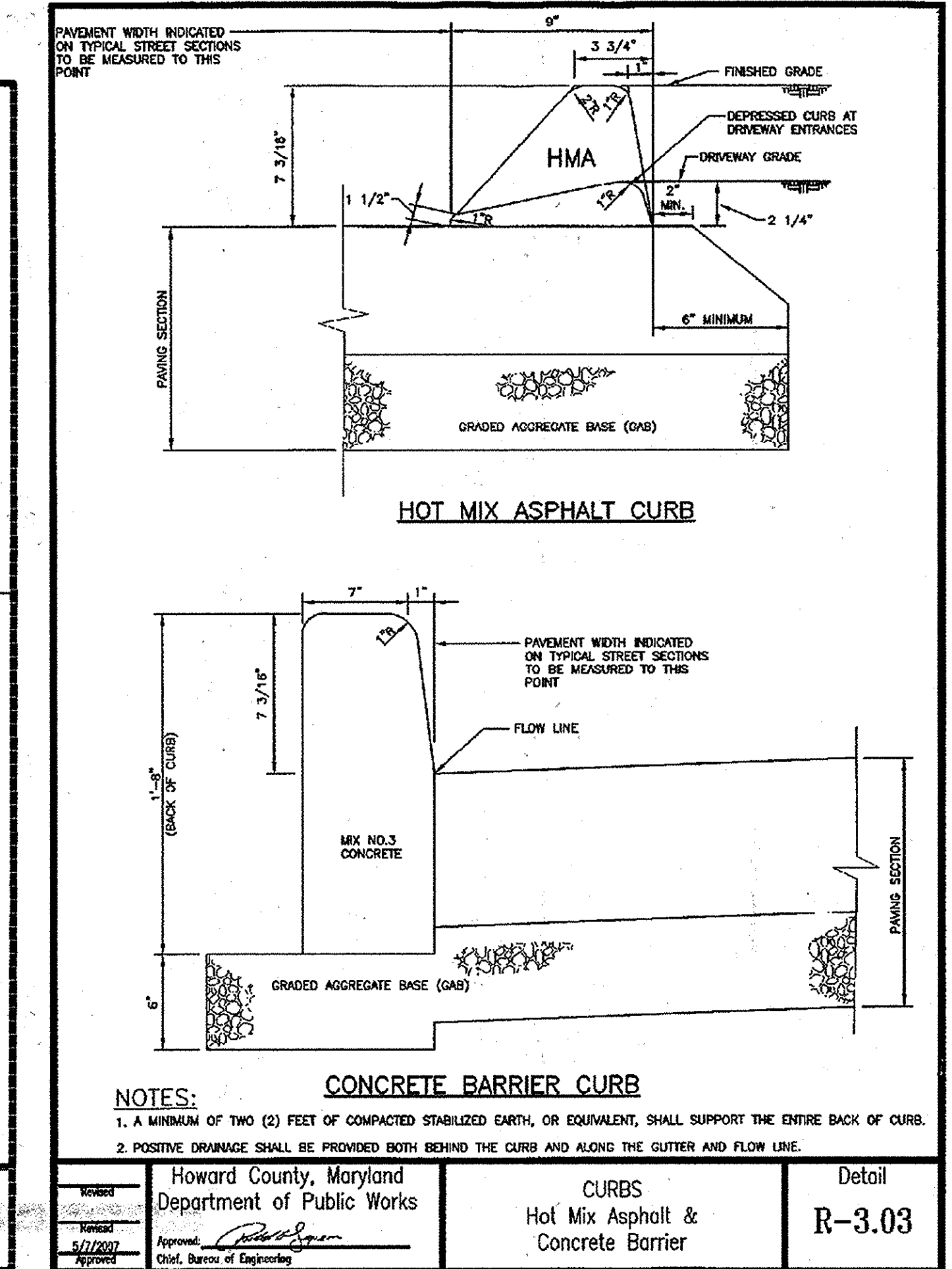
Howard County, Maryland Department of Public Works	Detail
COMMERCIAL-INDUSTRIAL-APARTMENT Entrance Concrete Apron	R-6.07



Howard County, Maryland Department of Public Works	Detail
CURB AND GUTTER 7" & Modified	R-3.01



Howard County, Maryland Department of Public Works	Detail
CURB AND GUTTER 7" Transition to Modified & Nose Down	R-3.02



Howard County, Maryland Department of Public Works	Detail
CURBS Hot Mix Asphalt & Concrete Barrier	R-3.03

APPROVED: DEPARTMENT OF PLANNING AND ZONING
 Chief, Development Engineering Division
 Chief, Division of Land Development
 Director

CHIPOTLE MEXICAN GRILL
 PROPERTY OWNER:
 MYERS REALTY LLC
 2800 QUARRY LAKE DR
 SUITE 340
 BALTIMORE, MD 21209-3764
 PARCEL INFORMATION:
 9120 BALTIMORE NATIONAL PIKE
 ELLICOTT CITY, MD 21042
 TAX MAP 24, GRID 4, PARCEL 1027, LOT A1
 ELECTION DISTRICT 2
 ZONED: B-2 USE: COMMERCIAL

Bowman CONSULTING
 Architecture + Planning LLC
 855 GRANDVIEW AVENUE SUITE 295
 COLUMBUS, OHIO 43215
 Telephone: (703) 864-1000
 Fax: (703) 481-9720
 www.bowmanconsulting.com

red
 Architecture + Planning LLC
 855 GRANDVIEW AVENUE SUITE 295
 COLUMBUS, OHIO 43215
 Telephone: (703) 864-1000
 Fax: (703) 481-9720
 www.bowmanconsulting.com

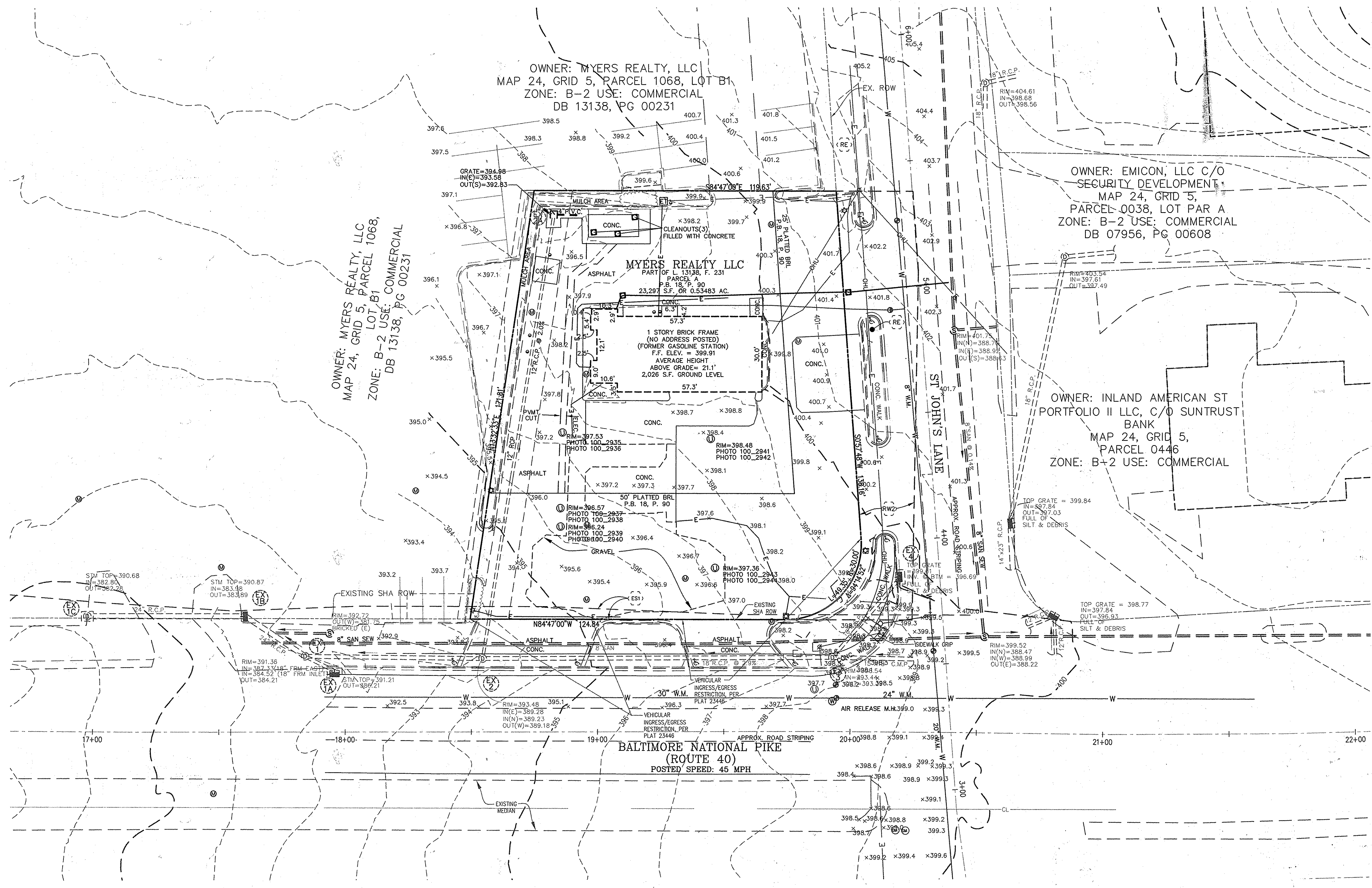
MISCELLANEOUS DETAILS
 SITE DEVELOPMENT PLAN
 CHIPOTLE MEXICAN GRILL #1759
 ST. JOHN'S PLAZA-ELLICOTT CITY
 ELECTION DISTRICT #2
 ELLICOTT CITY, HOWARD COUNTY, MARYLAND

PROFESSIONAL CERTIFICATION:
 I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 34211, EXPIRATION DATE: 04/15/2017

PLAN-STATUS
 3/13/13 SDP 1ST SUBMITTAL
 10/01/13 SDP 2ND SUBMITTAL
 12/18/13 SDP 3RD SUBMITTAL
 5/13/14 SDP 4TH SUBMITTAL
 6/27/14 SDP 5TH SUBMITTAL
 11/12/15 MYLAR SUBMITTAL

DATE	DESCRIPTION
DAP	SH STL
DESIGN	DRAWN CHKD
SCALE	H: N/A V: N/A
JOB No.	6533-02-001
DATE	NOVEMBER 2015
FILE No.	6533-D-CP-003

SHEET **3** OF **24**
 SDP-13-057



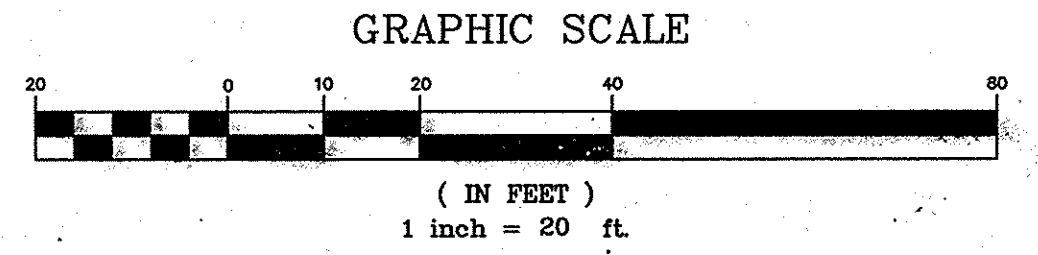
OWNER: MYERS REALTY, LLC
 MAP 24, GRID 5, PARCEL 1068, LOT B1
 ZONE: B-2 USE: COMMERCIAL
 DB 13138, PG 00231

OWNER: MYERS REALTY, LLC
 MAP 24, GRID 5, PARCEL 1068,
 LOT B1
 ZONE: B-2 USE: COMMERCIAL
 DB 13138, PG 00231

OWNER: EMICON, LLC C/O
 SECURITY DEVELOPMENT
 MAP 24, GRID 5,
 PARCEL 0038, LOT PAR A
 ZONE: B-2 USE: COMMERCIAL
 DB 07956, PG 00608

OWNER: INLAND AMERICAN ST
 PORTFOLIO II LLC, C/O SUNTRUST
 BANK
 MAP 24, GRID 5,
 PARCEL 0446
 ZONE: B-2 USE: COMMERCIAL

BALTIMORE NATIONAL PIKE
 (ROUTE 40)
 POSTED SPEED: 45 MPH

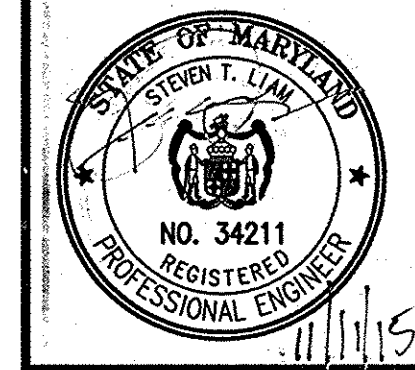


MD STATE GRID NAD 83/91

Bowman
 CONSULTING & PLANNING
 Telephone: (703) 764-1000
 Fax: (703) 481-9720
 14020 Thunderbolt Place
 Suite 300
 Chantilly, Virginia 20151

red
 Architecture + Planning LLC
 855 GRANDVIEW AVENUE
 SUITE 295
 COLUMBUS, OHIO 43215
 PHONE: 614-487-8770
 FAX: 614-487-8777

EXISTING CONDITIONS PLAN
 SITE DEVELOPMENT PLAN
 CHIPOTLE MEXICAN GRILL #1759:
 ST. JOHN'S PLAZA-ELLCOTT CITY
 ELECTION DISTRICT #2
 ELLCOTT CITY, HOWARD COUNTY, MARYLAND



PROFESSIONAL CERTIFICATION:
 I HEREBY CERTIFY THAT THESE
 DOCUMENTS WERE PREPARED OR
 APPROVED BY ME, AND THAT I AM
 A DULY LICENSED PROFESSIONAL
 ENGINEER UNDER THE LAWS OF
 THE STATE OF MARYLAND,
 LICENSE NO. 34211
 EXPIRATION DATE: 04/15/2017

PLAN STATUS	
3/13/13	SDP 1ST SUBMITTAL
10/01/13	SDP 2ND SUBMITTAL
12/18/13	SDP 3RD SUBMITTAL
5/13/14	SDP 4TH SUBMITTAL
6/27/14	SDP 5TH SUBMITTAL
11/12/15	MYLAR SUBMITTAL

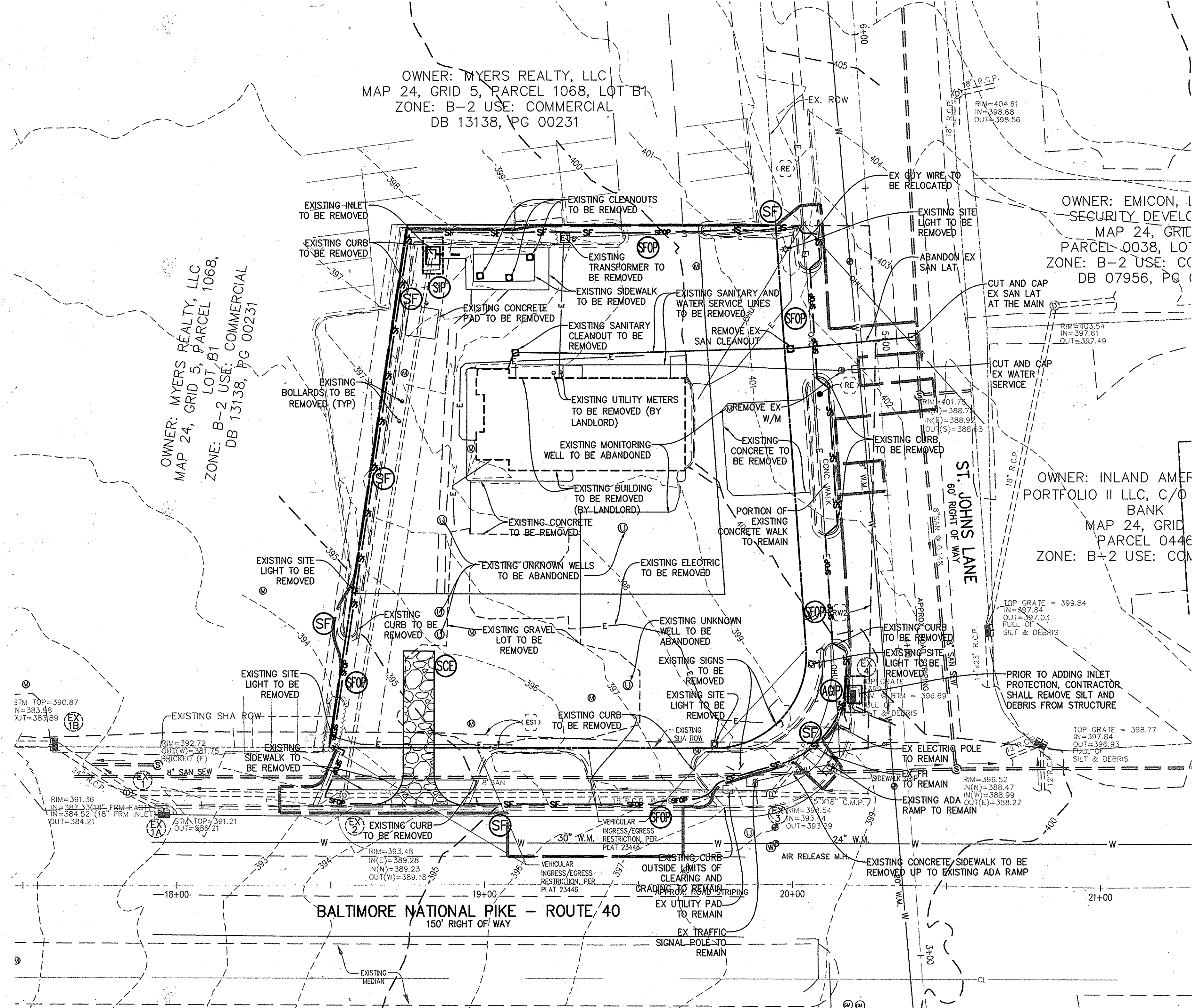
DATE	DESCRIPTION
DAP	SH STL
DESIGN	DRAWN CHKD
SCALE	H: 1"=20'
	V:
JOB No.	6533-02-001
DATE :	NOVEMBER 2015
FILE No.	6533-D-CP-003

APPROVED: DEPARTMENT OF PLANNING AND ZONING
[Signature] 12-3-15
 Chief, Development Engineering Division Date
[Signature] 12-21-15
 Chief, Division of Land Development Date
[Signature] 12-22-15
 Director Date

CHIPOTLE MEXICAN GRILL

PROPERTY OWNER:
 MYERS REALTY LLC
 2800 QUARRY LAKE DR
 SUITE 340
 BALTIMORE, MD 21209-3764

PARCEL INFORMATION:
 9120 BALTIMORE NATIONAL PIKE
 ELLCOTT CITY, MD 21042
 TAX MAP 24, GRID 4, PARCEL 1027, LOT A1
 ELECTION DISTRICT 2
 ZONED: B-2 USE: COMMERCIAL



OWNER: MYERS REALTY, LLC
 MAP 24, GRID 5, PARCEL 1068, LOT B1
 ZONE: B-2 USE: COMMERCIAL
 DB 13138, PG 00231

OWNER: MYERS REALTY, LLC
 MAP 24, GRID 5, PARCEL 1068,
 LOT B1
 ZONE: B-2 USE: COMMERCIAL
 DB 13138, PG 00231

OWNER: EMICON, I
 SECURITY DEVEL
 MAP 24, GRID
 PARCEL-0038, LO
 ZONE: B-2 USE: CO
 DB 07956, PG (

OWNER: INLAND AMER
 PORTFOLIO II LLC, C/O
 BANK
 MAP 24, GRID
 PARCEL 0446
 ZONE: B-2 USE: CO

BALTIMORE NATIONAL PIKE - ROUTE 40
 150' RIGHT OF WAY

- NOTES:**
- PROJECT AREA: 23,297 SF OR 0.535 AC.
 - DISTURBED AREA: 29,850 SF OR 0.685 AC.
 - THERE ARE NO STOCKPILE AREAS ANTICIPATED DUE TO CONSTRAINTS OF THE SITE. ALL MATERIAL WILL BE HAULED OFFSITE EACH DAY TO A LOCATION WITH AN APPROVED EROSION AND SEDIMENT CONTROL PLAN.
 - ALL EXISTING MONITORING WELLS ARE TO REMAIN UNLESS OTHERWISE NOTED.
 - ALL DEMOLITION IS TO BE BY TENANT GENERAL CONTRACTOR UNLESS SPECIFICALLY NOTED OTHERWISE.

ENGINEER'S CERTIFICATE
 I certify that this plan for sediment and erosion control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District.
 Signature of Engineer (print name below signature) *Cheryl L. Heider* 11/18/2015
DEVELOPER'S CERTIFICATE
 We certify that all development and construction will be done according to this plan for sediment and erosion control, and that all responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the Howard Soil Conservation District.
 Signature of Developer (print name below signature) *Cheryl L. Heider* 11/18/2015

APPROVED: FOR PUBLIC OR PRIVATE (print only one) WATER AND PUBLIC OR PRIVATE (print only one) SEWERAGE SYSTEMS
 Signature of County Health Officer *Cheryl L. Heider* Date 11/18/2015
 County Health Officer
 Howard County Health Department

APPROVED: DEPARTMENT OF PLANNING AND ZONING
 Signature of Chief, Development Engineering Division *W. Schuler* Date 12-3-15
 Chief, Development Engineering Division
 Signature of Chief, Division of Land Development *W. Schuler* Date 12-3-15
 Chief, Division of Land Development
 Signature of Director *W. Schuler* Date 12-22-15
 Director

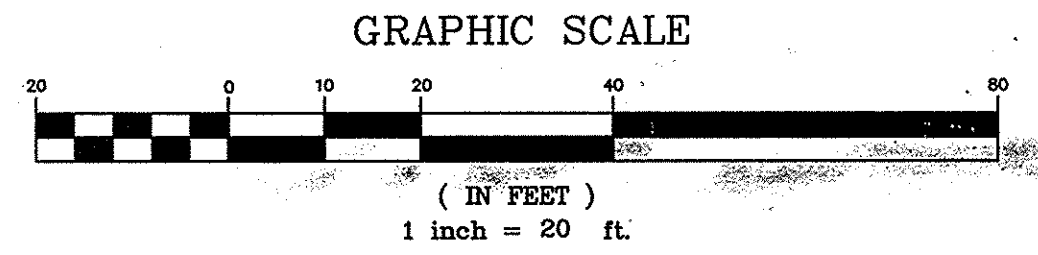
CHIPOTLE MEXICAN GRILL

PROPERTY OWNER:
 MYERS REALTY LLC
 2800 QUARRY LAKE DR
 SUITE 340
 BALTIMORE, MD 21209-3764

PARCEL INFORMATION:
 9120 BALTIMORE NATIONAL PIKE
 ELLICOTT CITY, MD 21042
 TAX MAP 24, GRID 4, PARCEL 1027, LOT A1
 ELECTION DISTRICT 2
 ZONED: B-2 USE: COMMERCIAL

EROSION AND SEDIMENT CONTROL LEGEND

NO.	TITLE	KEY	SYMBOL
DETAIL 22	SILT FENCE	SF	—SF—
DETAIL E-2	SILT FENCE ON PAVEMENT	SFOP	—SFOP—
DETAIL 23B	AT GRADE INLET PROTECTION	AGIP	[Symbol]
DETAIL 24	TEMPORARY STONE CONSTRUCTION ENTRANCE	SCE	[Symbol]



() By the Developer:
 "I/We certify that all development and construction will be done according to this plan, and that any responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of the Environment approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the Howard Soil Conservation District."
 Signature of Developer *Cheryl L. Heider* 11/18/2015
 Print name below signature
 CHERYL L. HEIDER

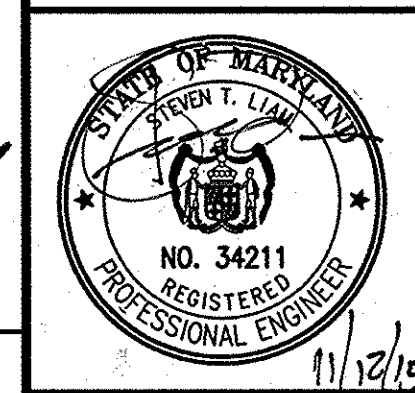
() By the Engineer:
 "I certify that this plan for erosion and sediment control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District."
 Signature of Engineer *Cheryl L. Heider* 11/12/15
 Print name below signature
 CHERYL L. HEIDER

() For the Howard Soil Conservation District:
 This development plan is approved for soil erosion and sediment control by the Howard Soil Conservation District.
 Signature of Howard Soil Conservation District *Cheryl L. Heider* 11/12/15
 Date

Bowman CONSULTING
 Bowman Consulting Group, Ltd.
 14020 Thunderbolt Place
 Suite 300
 Chantilly, Virginia 20151
 Telephone: (703) 464-1000
 Fax: (703) 481-9720
 www.bowmanconsulting.com

red
 Architecture + planning LLC
 855 GRANDVIEW AVENUE
 SUITE 295
 COLUMBUS, OHIO 43215
 PHONE: 614-487-8770
 FAX: 614-487-8777

DEMOLITION PLAN & EROSION AND SEDIMENT CONTROL PLAN - PHASE I
SITE DEVELOPMENT PLAN
CHIPOTLE MEXICAN GRILL #1759:
ST. JOHN'S PLAZA-ELLICOTT CITY
 ELLICOTT CITY, HOWARD COUNTY, MARYLAND
 ELECTION DISTRICT #2

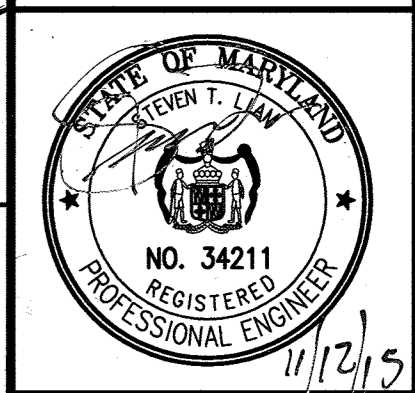


PROFESSIONAL CERTIFICATION:
 I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 34211 EXPIRATION DATE: 04/15/2017

PLAN STATUS

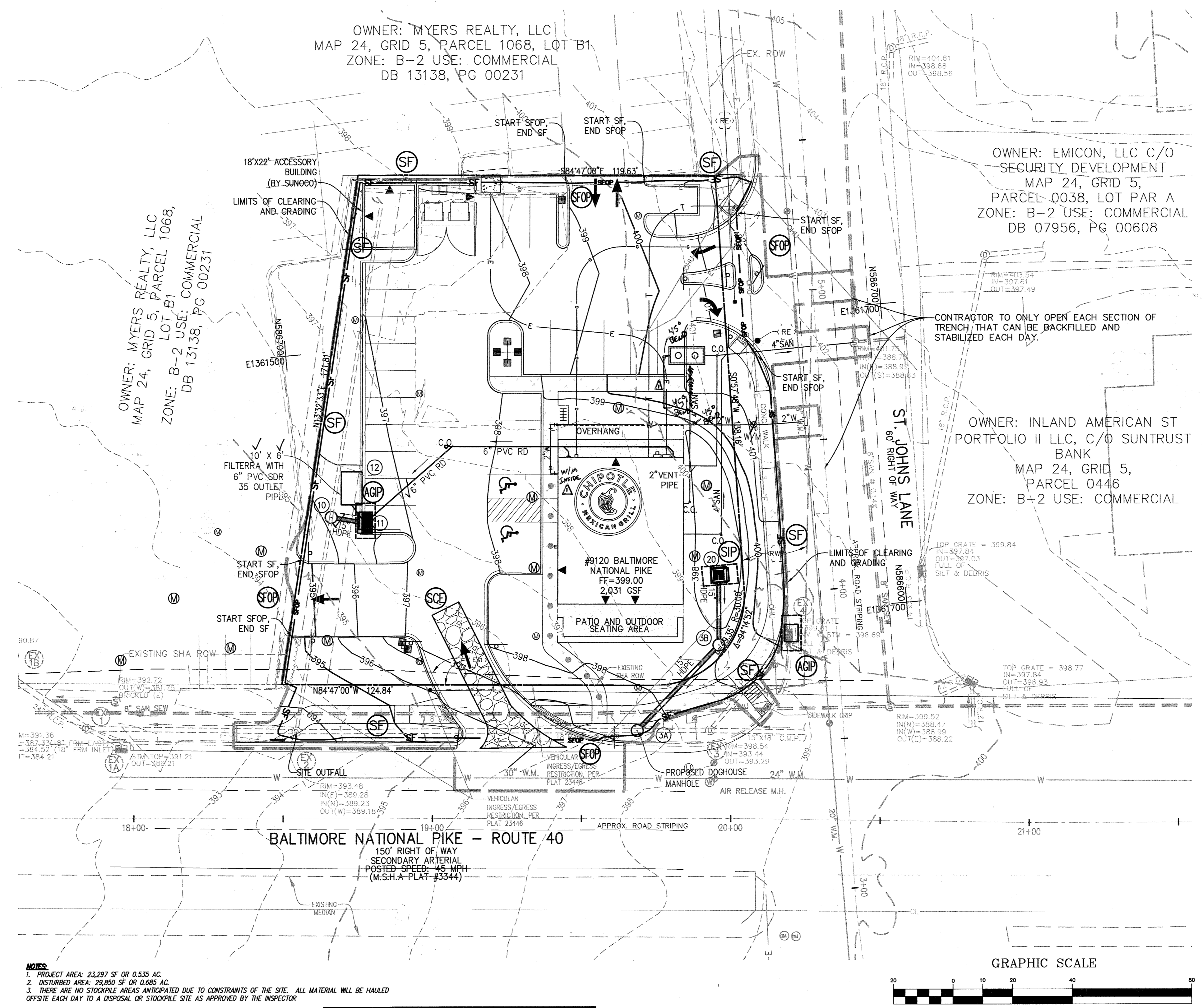
3/13/13	SDP 1ST SUBMITTAL
10/01/13	SDP 2ND SUBMITTAL
12/18/13	SDP 3RD SUBMITTAL
5/13/14	SDP 4TH SUBMITTAL
6/27/14	SDP 5TH SUBMITTAL
11/12/15	MYLAR SUBMITTAL

DATE	DESCRIPTION
DAP	SH STL
DESIGN	DRAWN CHKD
SCALE	H: 1"=20' V: N/A
JOB No.	6533-02-001
DATE	NOVEMBER 2015
FILE No.	6533-D-CP-003
SHEET	5 OF 24

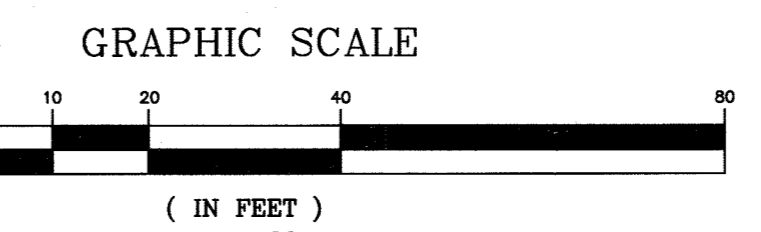


PROFESSIONAL CERTIFICATION
 I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.
 LICENSE NO. 34211
 EXPIRATION DATE: 04/15/2017

DATE	DESCRIPTION
DAP	SH
DESIGN	DRAWN
SCALE	H: 1"=20' V: 1"=2'
JOB NO.	6533-02-001
DATE	NOVEMBER 2015
FILE NO.	6533-D-CP-003
SHEET	6 OF 24



NOTES:
 1. PROJECT AREA: 23,297 SF OR 0.535 AC.
 2. DISTURBED AREA: 26,850 SF OR 0.685 AC.
 3. THERE ARE NO STOCKPILE AREAS ANTICIPATED DUE TO CONSTRAINTS OF THE SITE. ALL MATERIAL WILL BE HAULED OFFSITE EACH DAY TO A DISPOSAL OR STOCKPILE SITE AS APPROVED BY THE INSPECTOR.



() By the Developer:
 "I/We certify that all development and construction will be done according to this plan, and that any responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of the Environment approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the Howard Soil Conservation District."
 Signature of Developer: *Cheryl L. Heider*
 Print name below signature: CHERYL L. HEIDER
 Date: 11/18/2015

() By the Engineer:
 "I certify that this plan for erosion and sediment control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District."
 Signature of Engineer: *Steven Lian*
 Print name below signature: STEVEN LIAN
 Date: 11/12/15

() For the Howard Soil Conservation District:
 This development plan is approved for soil erosion and sediment control by the Howard Soil Conservation District.
 Signature of District: *John K. Roberts*
 Date: 11/21/15

EROSION AND SEDIMENT CONTROL LEGEND

NO.	TITLE	KEY	SYMBOL
DETAIL 22	SILT FENCE	SF	—SF—
DETAIL E-2	SILT FENCE ON PAVEMENT	SFOP	—SFOP—
DETAIL 23A	STORM DRAIN INLET PROTECTION	SIP	[Symbol]
DETAIL 23B	AT GRADE INLET PROTECTION	AGIP	[Symbol]
DETAIL 24	TEMPORARY STONE CONSTRUCTION ENTRANCE	SCE	[Symbol]

ENGINEER'S CERTIFICATE
 "I certify that this plan for sediment and erosion control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District."
 Signature of Engineer: *Steven Lian*
 Date: 11/21/15

DEVELOPER'S CERTIFICATE
 "I/We certify that all development and construction will be done according to this plan for sediment and erosion control, and that all responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of the Environment approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the Howard Soil Conservation District."
 Signature of Developer: *Cheryl L. Heider*
 Date: 11/18/2015

APPROVED: FOR PUBLIC OR PRIVATE (pick only one) WATER AND PUBLIC OR PRIVATE (pick only one) SEWERAGE SYSTEMS
 County Health Officer: _____
 Date: _____
 Howard County Health Department

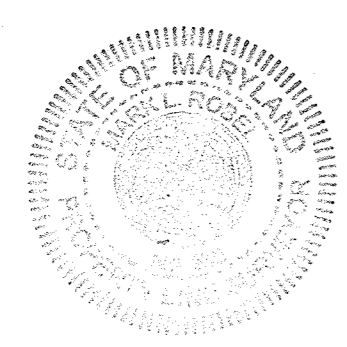
APPROVED: DEPARTMENT OF PLANNING AND ZONING
 Chief, Development Engineering Division: *Keith DeLeon*
 Date: 12-3-15
 Chief, Division of Land Development: *Walter J. J...*
 Date: 12-22-15
 Director

CHIPOTLE MEXICAN GRILL

PROPERTY OWNER:
 MYERS REALTY LLC
 2800 QUARRY LAKE DR SUITE 340
 BALTIMORE, MD 21209-3764

PARCEL INFORMATION:
 9120 BALTIMORE NATIONAL PIKE
 ELLICOTT CITY, MD 21042
 TAX MAP 24, GRID 4, PARCEL 1027, LOT A1
 ELECTION DISTRICT 2
 ZONED: B-2 USE: COMMERCIAL

AS-BUILT CERTIFICATION
 I hereby certify, by my seal, that the facilities shown on this plan were constructed as shown on this "AS BUILT" plan meet the approved plans and specifications.
 Mark L. Hohl
 Date: 12/16/19
 Mark L. Hohl

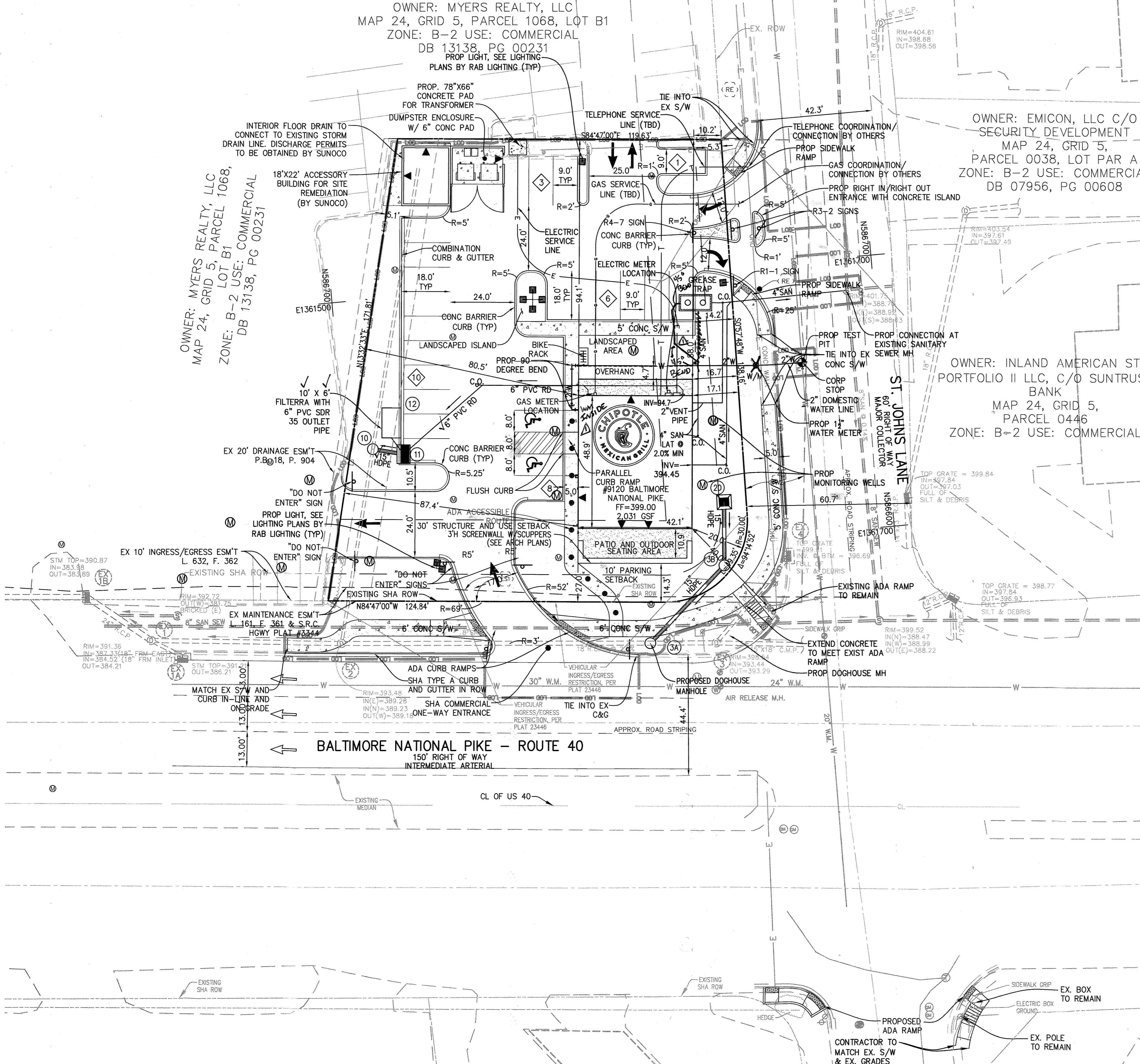


OWNER: MYERS REALTY, LLC
 MAP 24, GRID 5, PARCEL 1068, LOT B1
 ZONE: B-2 USE: COMMERCIAL
 DB 13138, PG 00231
 PROP LIGHT, SEE LIGHTING PLANS BY RAB LIGHTING (TYP)

OWNER: EMICON, LLC C/O SECURITY DEVELOPMENT
 MAP 24, GRID 5, PARCEL 0038, LOT PAR A
 ZONE: B-2 USE: COMMERCIAL
 DB 07956, PG 00608

OWNER: INLAND AMERICAN ST PORTFOLIO II LLC, C/O SUNTRUS BANK
 MAP 24, GRID 5, PARCEL 0446
 ZONE: B-2 USE: COMMERCIAL

OWNER: MYERS REALTY, LLC
 MAP 24, GRID 5, PARCEL 1068, LOT B1
 ZONE: B-2 USE: COMMERCIAL
 DB 13138, PG 00231



LEGEND

- EXISTING CURB & GUTTER
- EXISTING WATERMAIN
- EXISTING SANITARY SEWER
- EXISTING STORM SEWER
- EXISTING STORM SEWER INLET
- EXISTING STORM SEWER MANHOLE
- EXISTING STORM SEWER GRATE INLET
- EXISTING UTILITY MONITORING WELL
- PROPOSED UTILITY MONITORING WELL TO REMAIN
- PROPOSED UTILITY TEST PIT
- PROPOSED CONCRETE SIDEWALK
- PROPOSED COMBINATION CURB & GUTTER
- PROPOSED CONCRETE BARRIER CURB
- PROPOSED STORM SEWER
- PROPOSED STORM STRUCTURE NUMBER
- PROPOSED PARKING SPACE NUMBER
- PROPOSED PAINTED CROSSWALK

SITE TABULATIONS:

SITE AREA:	23,297 S.F.
EXISTING USE:	GASOLINE STATION
PROPOSED USE:	FAST FOOD RESTAURANT
TOTAL G.F.A. OF RESTAURANT USE:	2,819 S.F.
PROPOSED BUILDING AREA:	2,031 S.F.
PROPOSED REAR ENCLOSURE:	253 S.F.
PROPOSED PATIO AREA:	535 S.F.
PROPOSED BUILDING HEIGHT:	1-STORY, 20.2- FEET
F.A.R.	0.12
PARKING REQUIRED: (14 SPACES PER 1,000 G.F.A.)	40 SPACES
MODIFIED PARKING REQUESTED:	26 SPACES
(PER PARKING NEEDS ASSESSMENT SUBMITTED UNDER SEPARATE COVER)	
PARKING PROVIDED:	26 SPACES

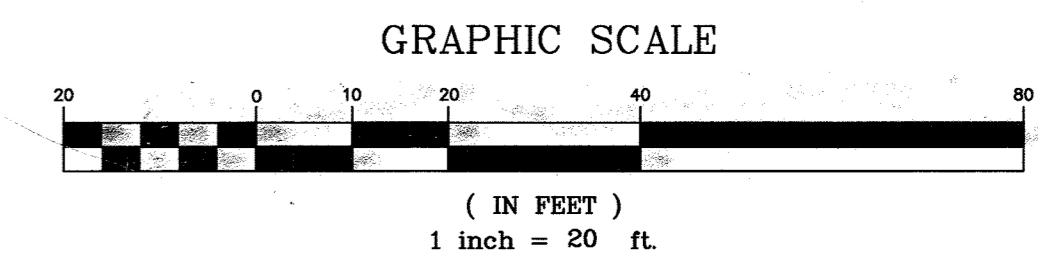
* A PARKING REDUCTION TO 28 SPACES WAS GRANTED BY THE HEARING EXAMINER UNDER THE VARIANCE FILED AS BA-11-029V. AN ADDITIONAL REDUCTION TO 26 SPACES IS REQUESTED ADMINISTRATIVELY.

B-2 ZONING REQUIREMENTS:

MAXIMUM HEIGHT:	ALLOWED:	PROVIDED:
	40 FEET	20.2 FEET
SETBACKS:	REQUIRED:	PROVIDED:
FROM PUBLIC STREET RIGHT-OF-WAY: EXCEPT FOR PARKING USES:	30 FEET 10 FEET	17.1 FEET* 5.3 FEET*
EXCEPT FOR DISPLAY OF FOR SALE PASSENGER CARS, TRUCKS, ETC.:	N/A	N/A
FROM RESIDENTIAL DISTRICTS OTHER THAN STREET RIGHT OF WAY:	N/A	N/A

*SEE GENERAL NOTES ON SHEET 1 FOR AN EXPLANATION OF THE SETBACK REDUCTIONS APPROVED UNDER BA-11-029V.

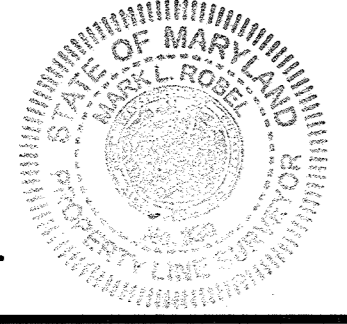
ADA IMPROVEMENTS NOTE:
 THE ADA IMPROVEMENTS AT THE INTERSECTION OF ST. JOHN'S LANE AND BALTIMORE NATIONAL PIKE SHOWN ON THIS PLAN ARE FOR SCHEMATIC PURPOSES ONLY. THE FINAL DESIGN WILL BE SUBMITTED WITH THE SHA ACCESS PERMIT PLANS.



MAINTENANCE OF TRAFFIC NOTES (HOWARD COUNTY)

- MAINTENANCE OF TRAFFIC SHALL BE PROVIDED BY THE CONTRACTOR FOR THE DEMOLITION AND CLOSURE OF THE EXISTING DRIVEWAYS ON ST. JOHN'S LANE AND THE CONSTRUCTION OF THE NEW RIGHT IN/RIGHT OUT DRIVEWAY, PER THE RIGHT LANE CLOSURE STANDARD DETAIL.
- ROAD WORK SHALL BE PERFORMED DURING MARYLAND STATE HIGHWAY ADMINISTRATION APPROVED WORK HOURS.

AS-BUILT CERTIFICATION
 I hereby certify, by my seal, that the facilities shown on this plan were constructed as shown on this "AS BUILT" plan meet the approved plans and specifications.
 Mark Z. Babel 12/16/19
 MARYLAND REGISTERED PROFESSIONAL ENGINEER



APPROVED: DEPARTMENT OF PLANNING AND ZONING
 Chief, Development Engineering Division 12-3-15
 Chief, Division of Land Development 12-22-15
 Director

APPROVED: FOR PUBLIC OR PRIVATE (plot-only) WATER SYSTEMS AND PUBLIC OR PRIVATE (plot-only) SEWERAGE SYSTEMS
 County Health Officer
 Howard County Health Department

CHIPOTLE MEXICAN GRILL
 PROPERTY OWNER: MYERS REALTY LLC, 2800 QUARRY LAKE DR, SUITE 340, BALTIMORE, MD 21209-3764
 PARCEL INFORMATION: 9120 BALTIMORE NATIONAL PIKE, ELLICOTT CITY, MD 21042, TAX MAP 24, GRID 4, PARCEL 1027, LOT A1, ELECTION DISTRICT 2, ZONED: B-2 USE: COMMERCIAL

DATE	DESCRIPTION
3/13/13	SDP 1ST SUBMITTAL
10/01/13	SDP 2ND SUBMITTAL
12/18/13	SDP 3RD SUBMITTAL
5/13/14	SDP 4TH SUBMITTAL
6/27/14	SDP 5TH SUBMITTAL
11/12/15	MYLAR SUBMITTAL
10/15/16	Revision 1

JOB NO. 6533-02-001
 DATE: NOVEMBER 2015
 FILE NO. 6533-DP-003

Bowman CONSULTING
 architecture + planning LLC
 655 GRANDVIEW AVENUE
 SUITE 205
 COLUMBUS, OHIO 43215
 PHONE: 614.487.8770
 FAX: 614.487.8777
 Telephone: (703) 464-1000
 Fax: (703) 481-9720
 www.bowmanconsulting.com
 Bowman Consulting Group, Ltd.
 14020 Thunderbolt Place
 Suite 300
 Chantilly, Virginia 20151

SITE DEVELOPMENT PLAN & MOT PLAN
 SITE DEVELOPMENT PLAN
 CHIPOTLE MEXICAN GRILL #1759:
 ST. JOHN'S PLAZA-ELLICOTT CITY
 ELECTION DISTRICT #2
 ELLICOTT CITY, HOWARD COUNTY, MARYLAND



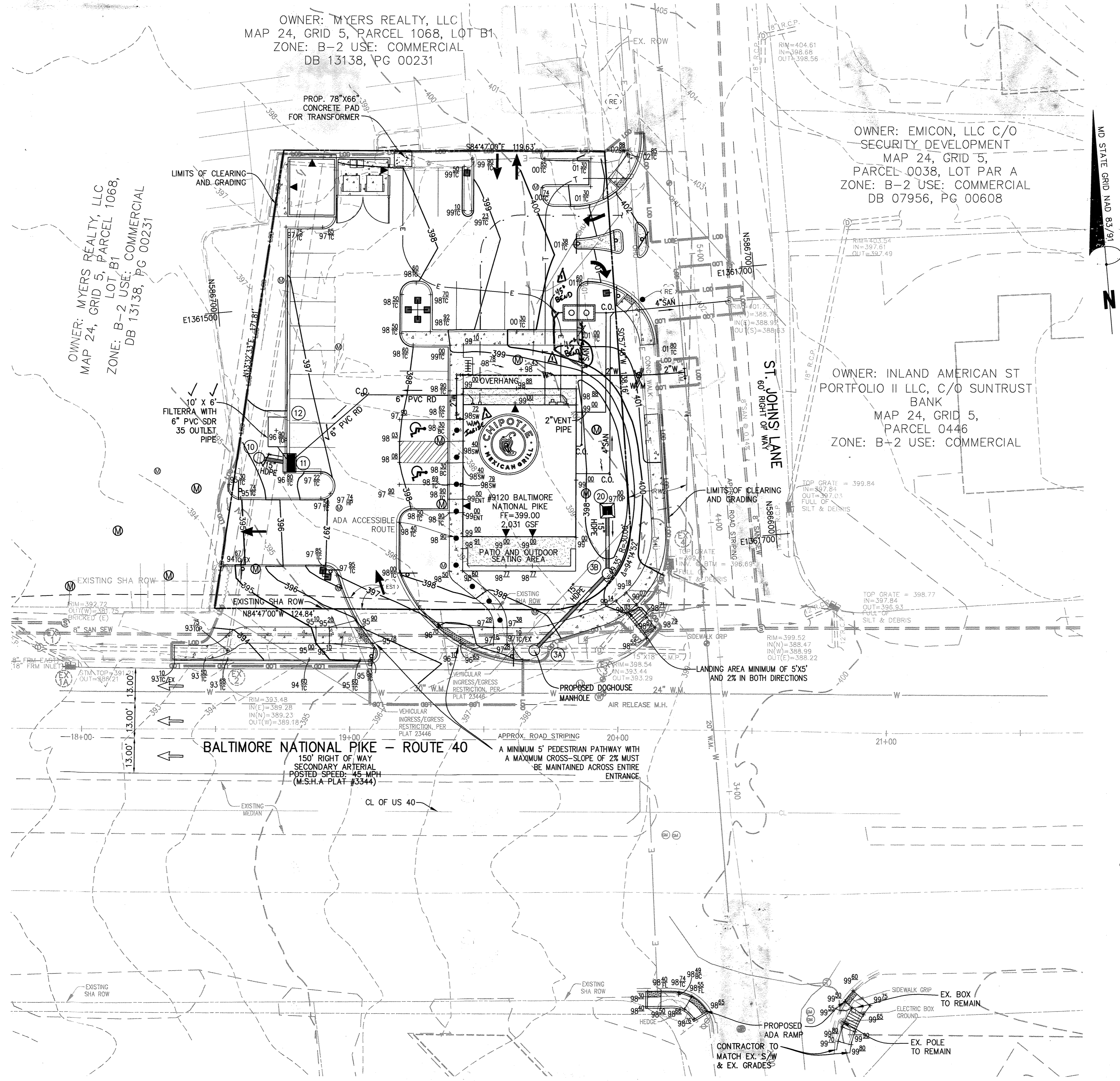
PROFESSIONAL CERTIFICATION.
 I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.
 LICENSE NO. 34211
 EXPIRATION DATE: 04/15/2017

OWNER: MYERS REALTY, LLC
 MAP 24, GRID 5, PARCEL 1068, LOT B1
 ZONE: B-2 USE: COMMERCIAL
 DB 13138, PG 00231

OWNER: MYERS REALTY, LLC
 MAP 24, GRID 5, PARCEL 1068,
 ZONE: B-2 USE: COMMERCIAL
 DB 13138, PG 00231

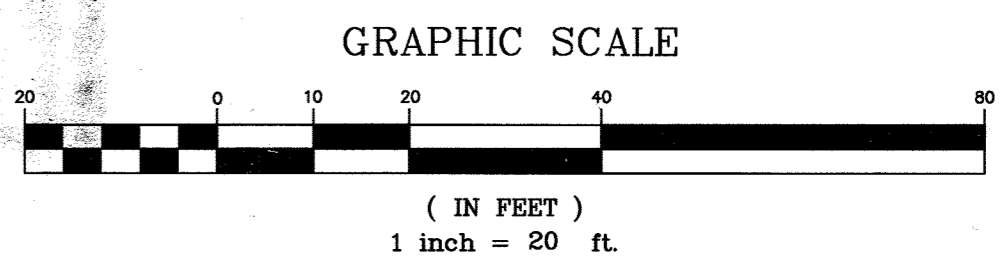
OWNER: EMICON, LLC C/O
 SECURITY DEVELOPMENT
 MAP 24, GRID 5,
 PARCEL 0038, LOT PAR A
 ZONE: B-2 USE: COMMERCIAL
 DB 07956, PG 00608

OWNER: INLAND AMERICAN ST
 PORTFOLIO II LLC, C/O SUNTRUST
 BANK
 MAP 24, GRID 5,
 PARCEL 0446
 ZONE: B-2 USE: COMMERCIAL



LEGEND

- EXISTING CURB & GUTTER
- EXISTING WATERMAIN
- EXISTING SANITARY SEWER
- EXISTING STORM SEWER
- EXISTING STORM SEWER INLET
- EXISTING STORM SEWER MANHOLE
- EXISTING STORM SEWER GRATE INLET
- EXISTING UTILITY MONITORING WELL
- EXISTING MAJOR INTERVAL CONTOUR
- EXISTING MINOR INTERVAL CONTOUR
- PROPOSED MAJOR INTERVAL CONTOUR
- PROPOSED MINOR INTERVAL CONTOUR
- PROPOSED TOP OF CURB SPOT ELEVATION
- PROPOSED CONCRETE SIDEWALK
- PROPOSED TYPE A CURB & GUTTER
- PROPOSED TYPE A CURB
- PROPOSED STORM SEWER
- PROPOSED STORM STRUCTURE NUMBER
- PROPOSED PARKING SPACE NUMBER
- PROPOSED PAINTED CROSSWALK
- ACCESSIBLE ROUTE



Bowman CONSULTING
 Architecture + planning, LLC
 855 GRANDVIEW AVENUE SUITE 205
 COLUMBUS, OHIO 43215
 Telephone: (703) 484-1000
 Fax: (703) 481-9720
 www.bowmanconsulting.com

GRADING PLAN
 SITE DEVELOPMENT PLAN
 CHIPOTLE MEXICAN GRILL #1759:
 ST. JOHN'S PLAZA-ELLCOTT CITY
 ELLICOTT CITY, HOWARD COUNTY, MARYLAND
 ELECTION DISTRICT #2



PROFESSIONAL CERTIFICATION
 I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 34211 EXPIRATION DATE: 04/15/2017

PLAN STATUS	
3/13/13	SDP 1ST SUBMITTAL
10/01/13	SDP 2ND SUBMITTAL
12/18/13	SDP 3RD SUBMITTAL
5/13/14	SDP 4TH SUBMITTAL
6/27/14	SDP 5TH SUBMITTAL
11/12/15	MYLAR SUBMITTAL
10/5/16	REVISED

DATE	DESCRIPTION
DAP DESIGN	SH STL
	DRAWN CHKD
SCALE:	H: 1"=20'
	V:
JOB No.	6533-02-001
DATE :	NOVEMBER 2015
FILE No.	6533-D-CP-003

CHIPOTLE MEXICAN GRILL

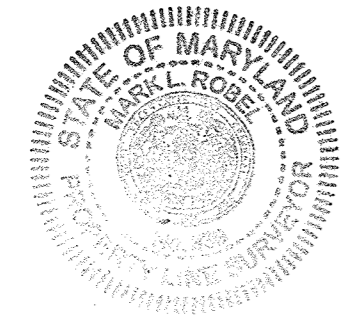
PROPERTY OWNER:
 MYERS REALTY LLC
 2800 QUARRY LAKE DR
 SUITE 340
 BALTIMORE, MD 21209-3764

PARCEL INFORMATION:
 9120 BALTIMORE NATIONAL PIKE
 ELLICOTT CITY, MD 21042
 TAX MAP 24, GRID 4, PARCEL 1027, LOT A1
 ELECTION DISTRICT 2
 ZONED: B-2 USE: COMMERCIAL

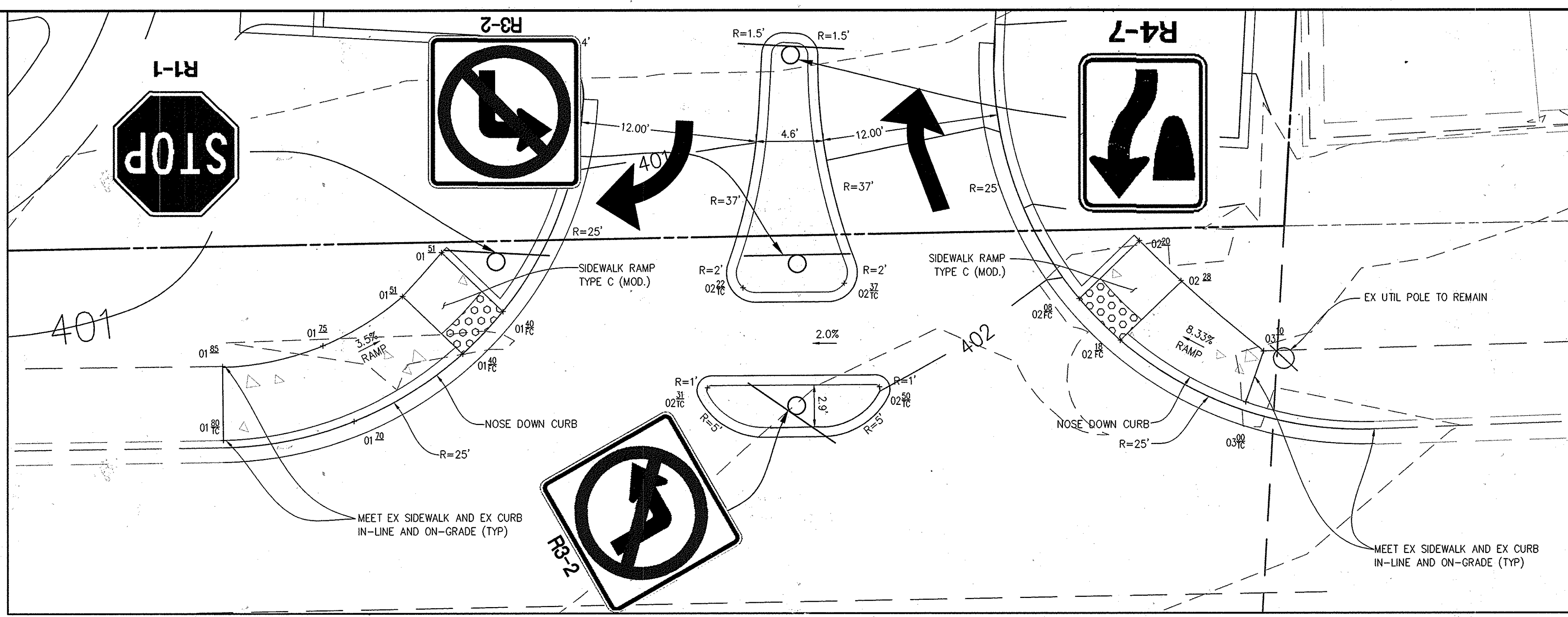
APPROVED: DEPARTMENT OF PLANNING AND ZONING
 Chief, Development Engineering Division
 Date: 12-3-15

APPROVED: FOR PUBLIC OR PRIVATE (pick one) WATER AND PUBLIC OR PRIVATE (pick one) SEWERAGE SYSTEMS
 County Health Officer
 Date: 12-22-15

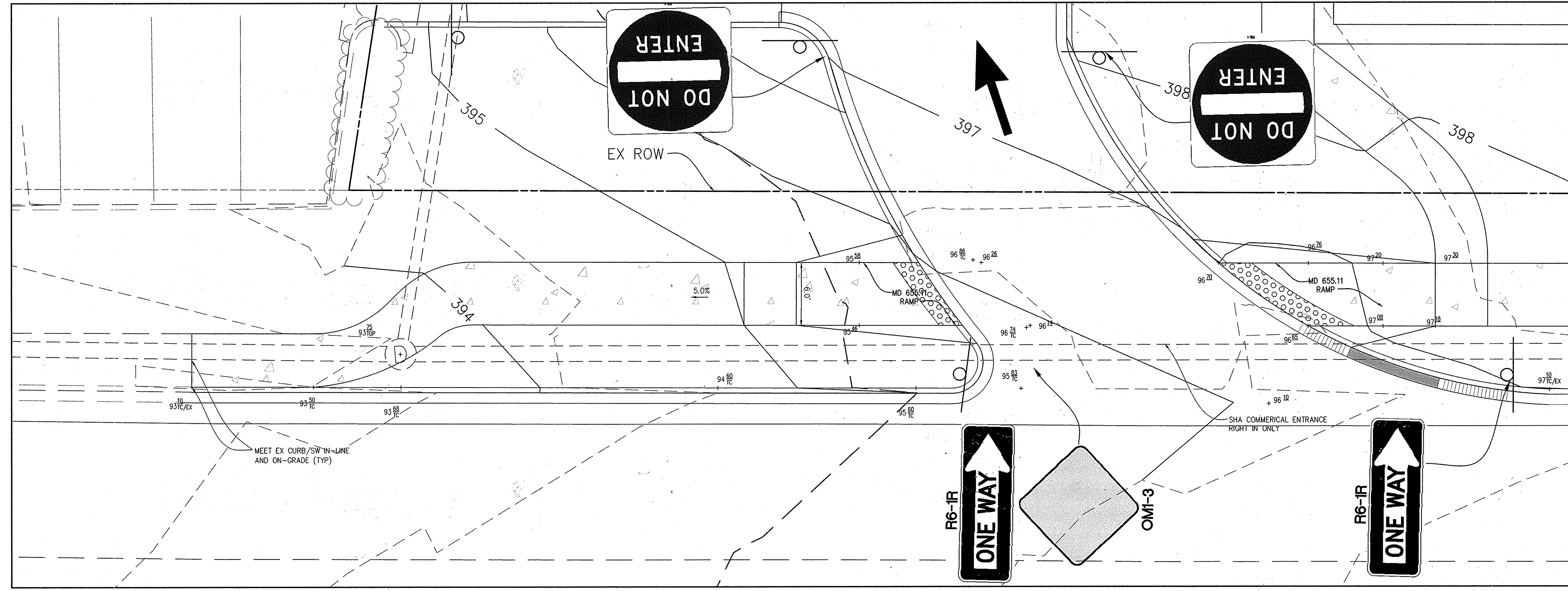
AS-BUILT CERTIFICATION
 I hereby certify, by my seal, that the facilities shown on this plan were constructed as shown on this "AS BUILT" plan meet the approved plans and specifications.
 Mark Z. Habel
 12/14/19
 Date



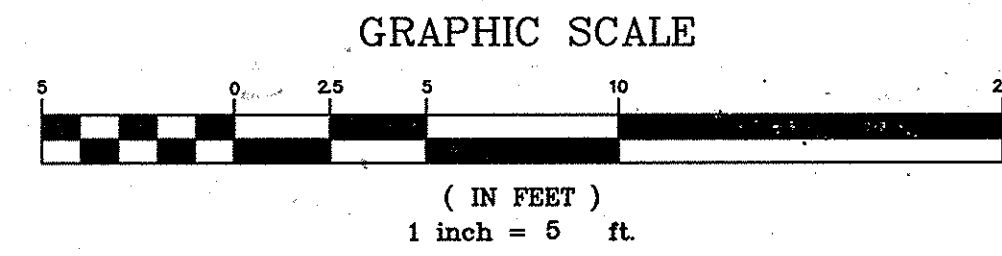
MD STATE GRID NAD 83/91



CROSSWALK AND CURB RAMP DETAILED GRADING



ROUTE 40 CROSSWALK AND CURB RAMP DETAILED GRADING



APPROVED FOR PUBLIC OR PRIVATE (pick only one) WATER AND PUBLIC OR PRIVATE (pick only one) SEWERAGE SYSTEMS

County Health Officer
Howard County Health Department

Date

APPROVED: DEPARTMENT OF PLANNING AND ZONING

[Signature] 12-7-15
Chief, Development Engineering Division Date

[Signature] 12-21-15
Chief, Division of Land Development Date

[Signature] 12-22-15
Director Date

CHIPOTLE MEXICAN GRILL

PROPERTY OWNER:
MYERS REALTY LLC
2800 QUARRY LAKE DR
SUITE 340
BALTIMORE, MD 21209-3764

PARCEL INFORMATION:
9120 BALTIMORE NATIONAL PIKE
ELLICOTT CITY, MD 21042
TAX MAP 24, GRID 4, PARCEL 1027, LOT A1
ELECTION DISTRICT 2
ZONED: B-2 USE: COMMERCIAL

DATE	DESCRIPTION
DAP DESIGN	SH DRAWN
STL	CHKD
SCALE: H: 1"=5'	
V:	
JOB No. 6533-02-001	
DATE: NOVEMBER 2015	
FILE No. 6533-DP-003	
SHEET	10 OF 24

Bowman CONSULTING
Bowman Consulting Group, Ltd.
14020 Thunderbolt Place
Suite 300
Chantilly, Virginia 20151

Telephone: (703) 464-1000
Fax: (703) 481-9720
www.bowmanconsulting.com

red
Architecture + Planning LLC
865 GRANDVIEW AVENUE
SUITE 295
COLUMBUS, OHIO 43215

PHONE: 614.487.8770
FAX: 614.487.8777

CURB RAMP DETAILS

SITE DEVELOPMENT PLAN
CHIPOTLE MEXICAN GRILL #1759:
ST. JOHN'S PLAZA-ELLICOTT CITY

ELECTION DISTRICT #2
ELLICOTT CITY, HOWARD COUNTY, MARYLAND



PROFESSIONAL CERTIFICATION:
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 34211 EXPIRATION DATE: 04/15/2017

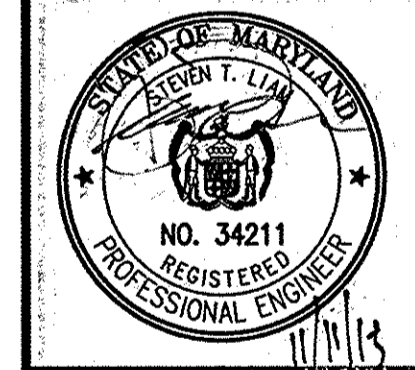
DATE	PLAN STATUS
3/13/13	SDP 1ST SUBMITTAL
10/01/13	SDP 2ND SUBMITTAL
12/18/13	SDP 3RD SUBMITTAL
5/13/14	SDP 4TH SUBMITTAL
6/27/14	SDP 5TH SUBMITTAL
11/12/15	MYLAR SUBMITTAL

THIS SHEET HAS BEEN REMOVED FROM
THE SUBMISSION SET AND IS
INTENTIONALLY LEFT BLANK

Bowman
CONSULTING
Bowman Consulting Group, Ltd.
14020 Thunderbolt Place
Suite 300
Chantilly, Virginia 20151
Telephone: (703) 464-1000
Fax: (703) 481-9720
www.bowmanconsulting.com
© Bowman Consulting Group, Ltd.

r e d
Architecture + planning LLC
865 GRANDVIEW AVENUE
SUITE 295
COLUMBUS, OHIO 43215
PHONE: 614.487.8770
FAX: 614.487.8777

BALTIMORE PIKE SIGHT DISTANCE PLAN AND PROFILE
SITE DEVELOPMENT PLAN
CHIPOTLE MEXICAN GRILL #1759:
ST. JOHN'S PLAZA-ELLCOTT CITY
ELECTION DISTRICT #2
ELLCOTT CITY, HOWARD COUNTY, MARYLAND



PROFESSIONAL CERTIFICATION:
I HEREBY CERTIFY THAT THESE
DOCUMENTS WERE PREPARED OR
APPROVED BY ME, AND THAT I AM
A DULY LICENSED PROFESSIONAL
ENGINEER UNDER THE LAWS OF
THE STATE OF MARYLAND,
LICENSE NO. 34211
EXPIRATION DATE: 04/15/2017

PLAN STATUS	
3/13/13	SDP 1ST SUBMITTAL
10/01/13	SDP 2ND SUBMITTAL
12/18/13	SDP 3RD SUBMITTAL
5/13/14	SDP 4TH SUBMITTAL
6/27/14	SDP 5TH SUBMITTAL
11/12/15	MYLAR SUBMITTAL

DATE	DESCRIPTION
DAP DESIGN	SH DRAWN STL CHKD
SCALE	H: 1"=20' V: 1"=2'
JOB No.	6533-02-001
DATE :	NOVEMBER 2015
FILE No.	6533-D-CP-003
SHEET	11 OF 24

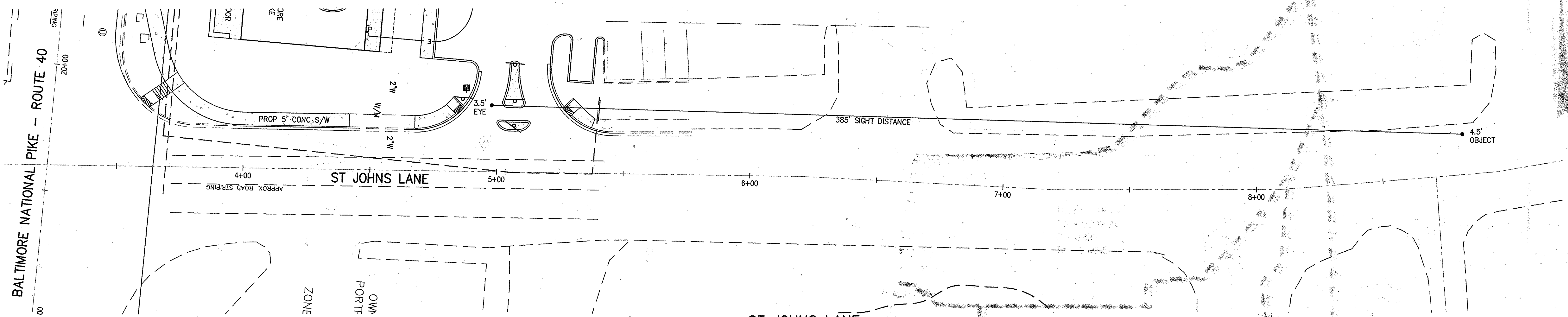
APPROVED: DEPARTMENT OF PLANNING AND ZONING
[Signature] 12-3-15
Chief, Development Engineering Division Date
[Signature] 12-21-15
Chief, Division of Land Development Date
[Signature] 12-22-15
Director Date

CHIPOTLE MEXICAN GRILL

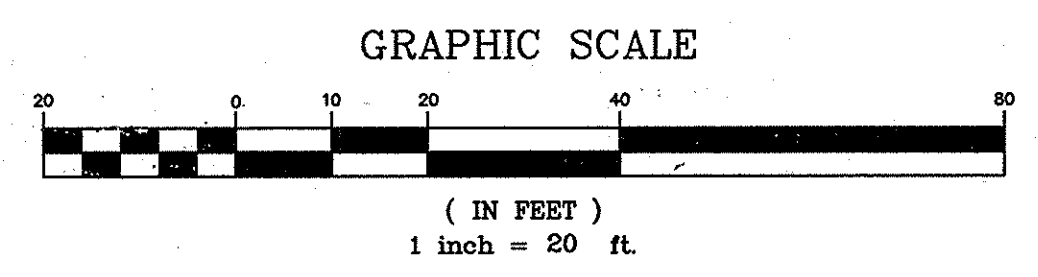
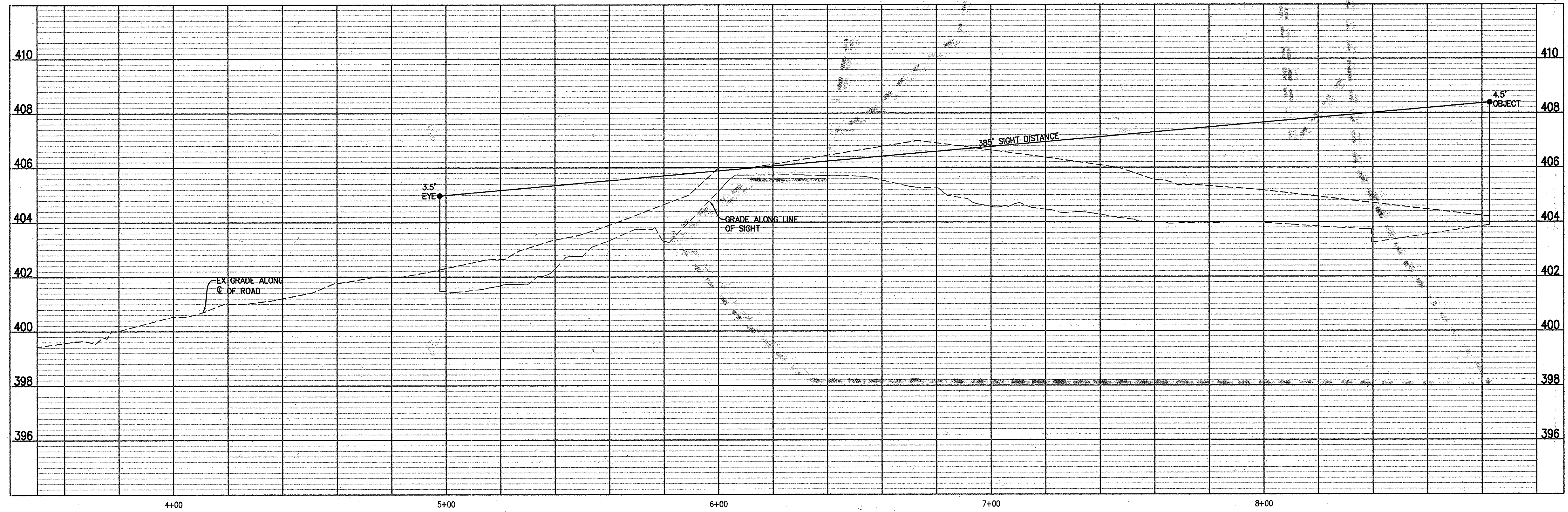
PROPERTY OWNER:
MYERS REALTY LLC
2800 QUARRY LAKE DR
SUITE 340
BALTIMORE, MD 21209-3764

PARCEL INFORMATION:
9120 BALTIMORE NATIONAL PIKE
ELLCOTT CITY, MD 21042
TAX MAP 24, GRID 4, PARCEL 1027, LOT A1
ELECTION DISTRICT 2
ZONED: B-2 USE: COMMERCIAL

APPROVED: ~~FOR PUBLIC OR PRIVATE (water-only and) WATER SYSTEMS AND PUBLIC OR PRIVATE (storm-only and) SEWERAGE SYSTEMS~~
~~County Health Officer~~ Date
~~Howard County Health Department~~



ST JOHNS LANE
 60' ROW
 POSTED SPEED=30 MPH
 DESIGN SPEED=40 MPH
 85th PERCENTILE SPEED=35MPH
 385' INTERSECTION SIGHT DISTANCE



APPROVED: FOR PUBLIC OR PRIVATE (pick only one) WATER AND PUBLIC OR PRIVATE (pick only one) SEWERAGE SYSTEMS
 County Health Officer _____ Date _____
 Howard County Health Department

APPROVED: DEPARTMENT OF PLANNING AND ZONING
 Chief, Development Engineering Division _____ Date 12-3-15
 _____ Date 12-21-15
 Chief, Division of Land Development _____ Date 12-22-15
 Director _____ Date _____

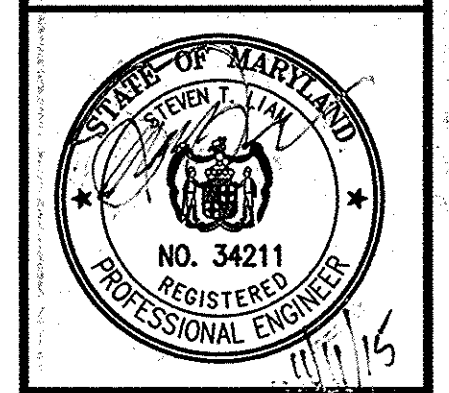
CHIPOTLE MEXICAN GRILL

PROPERTY OWNER:
 MYERS REALTY LLC
 2800 QUARRY LAKE DR
 SUITE 340
 BALTIMORE, MD 21209-3764

PARCEL INFORMATION:
 9120 BALTIMORE NATIONAL PIKE
 ELLICOTT CITY, MD 21042
 TAX MAP 24, GRID 4, PARCEL 1027, LOT A1
 ELECTION DISTRICT 2
 ZONED: B-2 USE: COMMERCIAL

DATE	DESCRIPTION
DAP DESIGN	SH DRAWN STL CHKD
SCALE	H: 1"=20' V: 1"=2'
JOB No.	6533-02-001
DATE	NOVEMBER 2015
FILE No.	6533-D-CP-003

ST JOHNS LANE SIGHT DISTANCE PLAN AND PROFILE
 SITE DEVELOPMENT PLAN
 CHIPOTLE MEXICAN GRILL #1759:
 ST. JOHN'S PLAZA-ELLICOTT CITY
 ELECTION DISTRICT #2
 ELLICOTT CITY, HOWARD COUNTY, MARYLAND



PROFESSIONAL CERTIFICATION:
 I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 34211 EXPIRATION DATE: 04/15/2017

PLAN STATUS

3/13/13	SDP 1ST SUBMITTAL
10/01/13	SDP 2ND SUBMITTAL
12/18/13	SDP 3RD SUBMITTAL
5/13/14	SDP 4TH SUBMITTAL
6/27/14	SDP 5TH SUBMITTAL
11/12/15	MYLAR SUBMITTAL

Bowman CONSULTING
 Bowman Consulting Group, Ltd.
 14020 Thunderbolt Place
 Suite 300
 Chantilly, Virginia 20151
 Telephone: (703) 664-1000
 Fax: (703) 481-9720
 www.bowmanconsulting.com

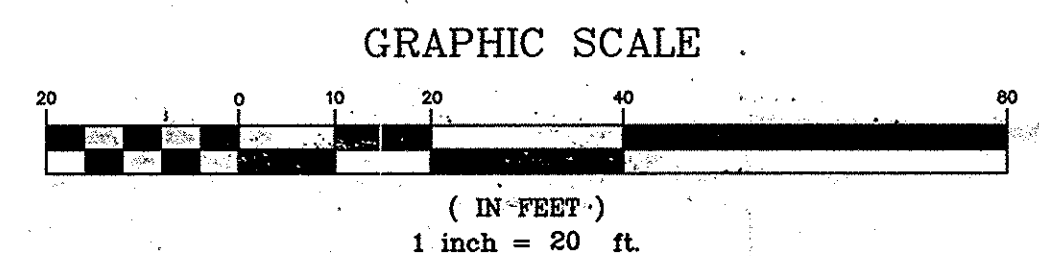
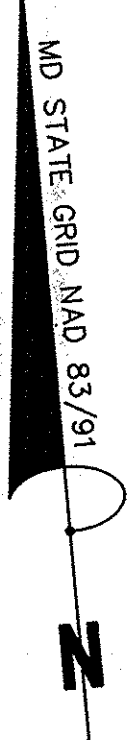
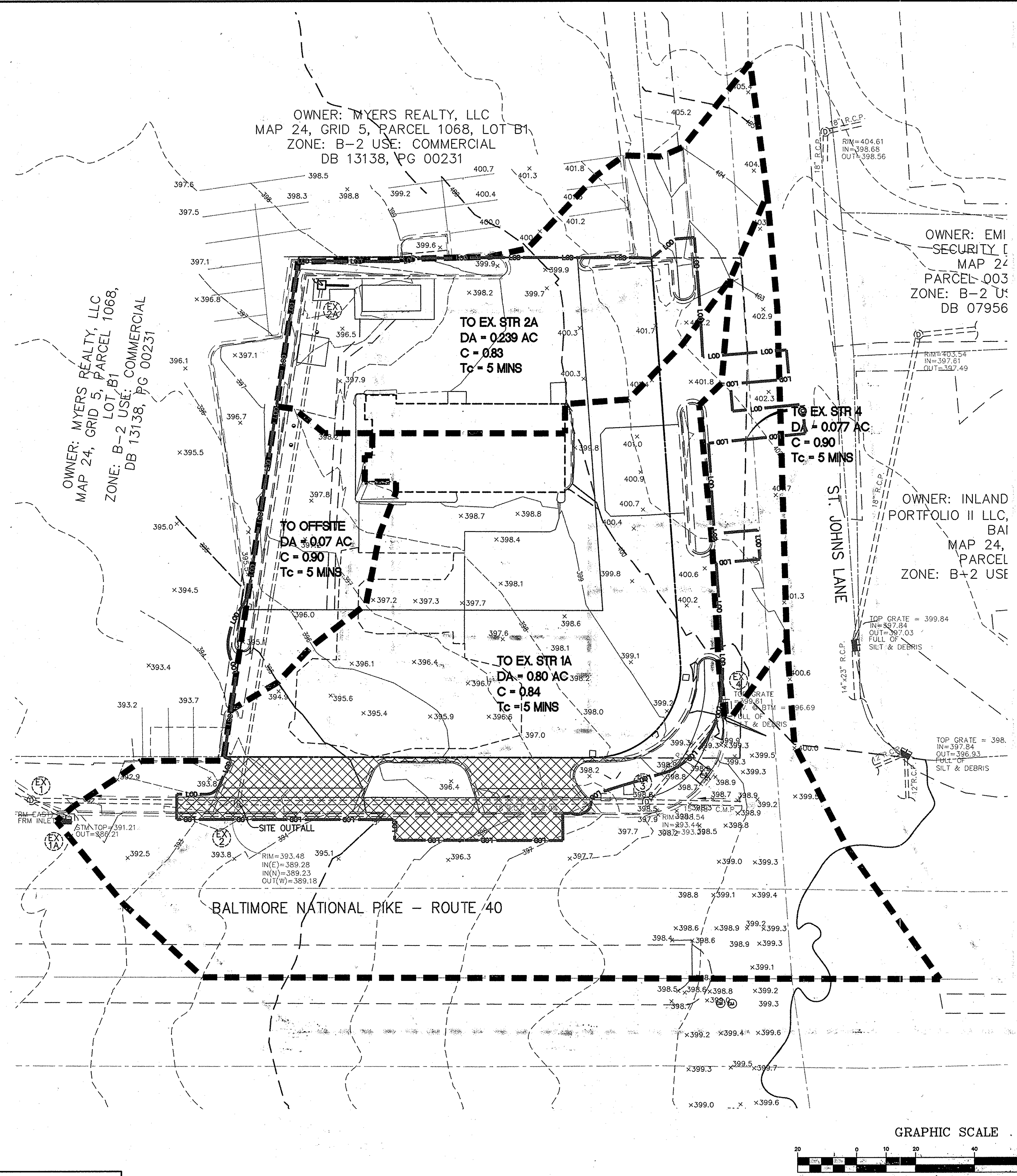
red
 Architecture + Planning LLC
 855 GRANDVIEW AVENUE
 SUITE 285
 COLUMBUS, OHIO 43215
 PHONE: 614.487.8770
 FAX: 614.487.8777



PROFESSIONAL CERTIFICATION:
 I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.
 LICENSE NO. 34211
 EXPIRATION DATE: 04/15/2017

DATE	DESCRIPTION
3/13/13	SDP 1ST SUBMITTAL
10/01/13	SDP 2ND SUBMITTAL
12/18/13	SDP 3RD SUBMITTAL
5/13/14	SDP 4TH SUBMITTAL
6/27/14	SDP 5TH SUBMITTAL
11/12/15	MYLAR SUBMITTAL

DATE	DESCRIPTION
DAP DESIGN	SH DRAWN
STL CHKD	CHKD
SCALE	H: 1"=20' V:
JOB No.	6533-02-001
DATE	NOVEMBER 2015
FILE No.	6533-D-CP-003



- NOTES**
- ONLY ONE SOIL TYPE, U_{0B} - URBAN LAND IS PRESENT ON SITE BASED ON THE NRCS SOIL MAP FOR HOWARD COUNTY, MD. THE HSG SOIL GROUP FOR U_{0B} SOIL IS HSG D.
 - THE ENTIRE SITE IS ZONED B-2.

LEGEND

DRAINAGE DIVIDE

EXISTING IMPERVIOUS AREA WITHIN ROUTE 40 RIGHT-OF-WAY (2,734 SF)

APPROVED: DEPARTMENT OF PLANNING AND ZONING
 Chief, Development Engineering Division
 Date: 12-2-15

APPROVED: FOR PUBLIC OR PRIVATE (pick only one) WATER AND PUBLIC OR PRIVATE (pick only one) SEWERAGE SYSTEMS
 Chief, Division of Land Development
 Date: 12-22-15

County Health Officer
 Howard County Health Department
 Date:

CHIPOTLE MEXICAN GRILL

PROPERTY OWNER:
 MYERS REALTY LLC
 2800 QUARRY LAKE DR
 SUITE 340
 BALTIMORE, MD 21209-3764

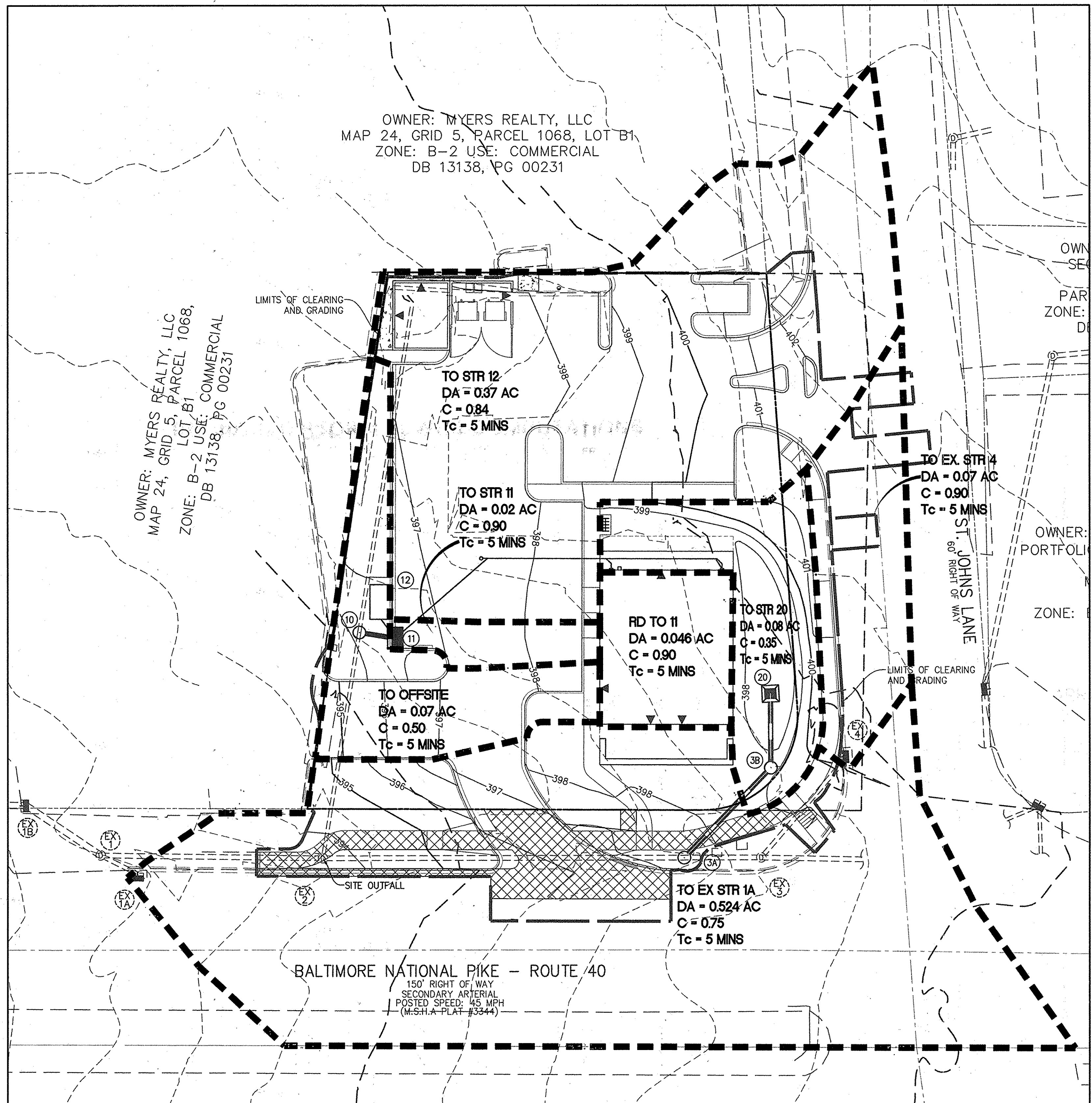
PARCEL INFORMATION:
 9120 BALTIMORE NATIONAL PIKE
 ELLCOTT CITY, MD 21042
 TAX MAP 24, GRID 4, PARCEL 1027, LOT A1
 ELECTION DISTRICT 2
 ZONED: B-2 USE: COMMERCIAL



PROFESSIONAL CERTIFICATION.
 I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.
 LICENSE NO. 34211
 EXPIRATION DATE: 04/15/2017

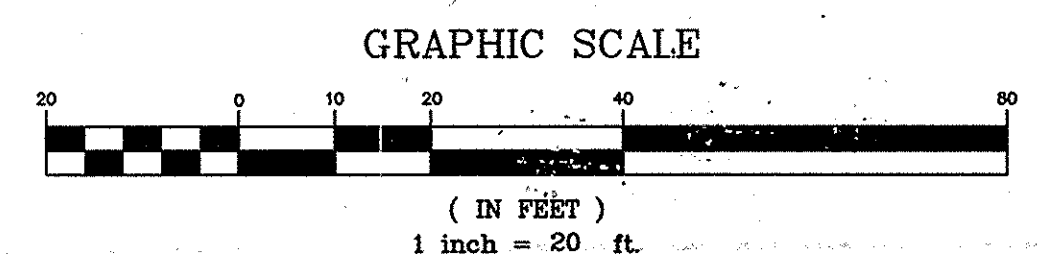
PLAN STATUS	
3/13/13	SDP 1ST SUBMITTAL
10/01/13	SDP 2ND SUBMITTAL
12/18/13	SDP 3RD SUBMITTAL
5/13/14	SDP 4TH SUBMITTAL
6/27/14	SDP 5TH SUBMITTAL
11/12/15	MYLAR SUBMITTAL

DATE	DESCRIPTION
DAP DESIGN	SH DRAWN
	STL CHKD
SCALE	H: 1"=20'
	V:
JOB No:	6533-02-001
DATE:	NOVEMBER 2015
FILE No:	6533-D-CP-003



- NOTES
- ONLY ONE SOIL TYPE, UuB - URBAN LAND IS PRESENT ON SITE BASED ON THE NRCS SOIL MAP FOR HOWARD COUNTY, MD. THE HSG SOIL GROUP FOR UuB SOIL IS HSG D.
 - THE ENTIRE SITE IS ZONED B-2.

PROPOSED DRAINAGE AREA MAP



APPROVED: DEPARTMENT OF PLANNING AND ZONING	
<i>[Signature]</i>	12-3-15
Chief, Development Engineering Division	Date
<i>[Signature]</i>	12-21-15
Chief, Division of Land Development	Date
<i>[Signature]</i>	12-22-15
Director	Date

CHIPOTLE MEXICAN GRILL	
PROPERTY OWNER: MYERS REALTY LLC 2800 QUARRY LAKE DR SUITE 340 BALTIMORE, MD 21209-3764	PARCEL INFORMATION: 9120 BALTIMORE NATIONAL PIKE ELLCOTT CITY, MD 21042 TAX MAP 24, GRID 4, PARCEL 1027, LOT A1 ELECTION DISTRICT 2 ZONED: B-2 USE: COMMERCIAL

APPROVED: FOR PUBLIC OR PRIVATE (not only one) WATER AND PUBLIC OR PRIVATE (not only one) SEWERAGE SYSTEMS	
<i>[Signature]</i>	Date
County Health Officer Howard County Health Department	Date

GUTTER SPREAD CALCULATIONS

Project Description
 Friction Method: Manning Formula
 Solve For: Normal Depth

Input Data
 Friction Coefficient: 0.013
 Channel Slope: 0.00730 ft/ft
 Normal Depth: 0.12 ft
 Left Side Slope: 24.00 mm (0.94")
 Right Side Slope: 24.00 mm (0.94")
 D Slope: 1.20 ft/ft

Cross Section Image

Results
 Normal Depth: 0.12 ft
 Flow Area: 0.74 ft²
 Wetted Perimeter: 0.72 ft
 Hydraulic Radius: 0.08 ft
 Top Width: 0.72 ft
 Critical Depth: 0.08 ft
 Critical Slope: 0.0082 ft/ft
 Velocity: 3.76 ft/s
 Velocity Head: 0.22 ft
 Specific Energy: 0.34 ft
 Froude Number: 2.73
 Flow Type: Supercritical

Site Runoff Computations

Pre-Development
 Weighted C Factor
 $C_{pre} = \frac{(763 * 0.35) + (22,534 * 0.90)}{23,297} = 0.88$
 $t = 5$ minutes
 $i_{10} = 8.5$ in/hr
 $A = 0.53$ acres
 $Q_{pre} = 0.88 * 8.5 * 0.53 = 3.96$ cfs

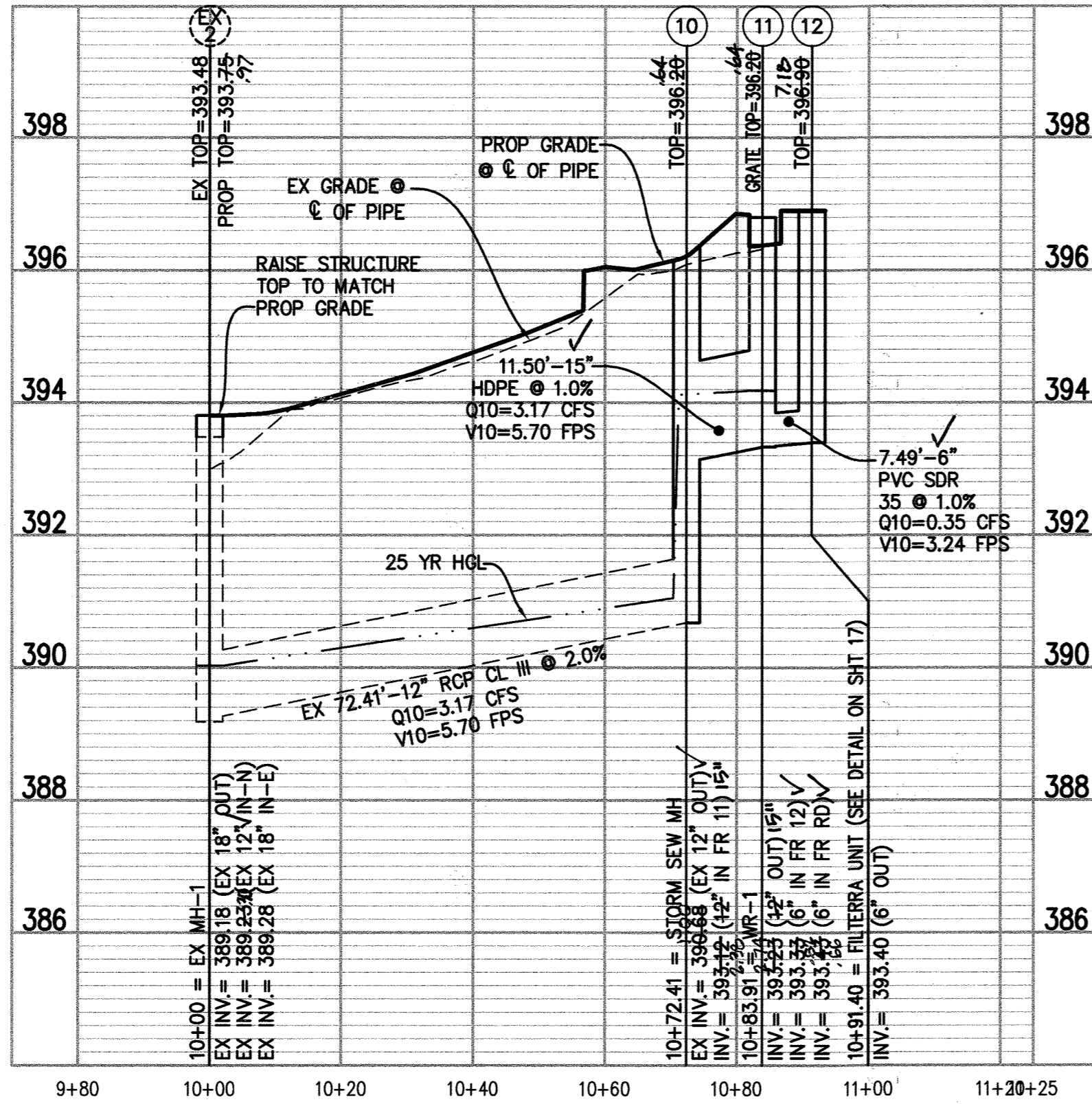
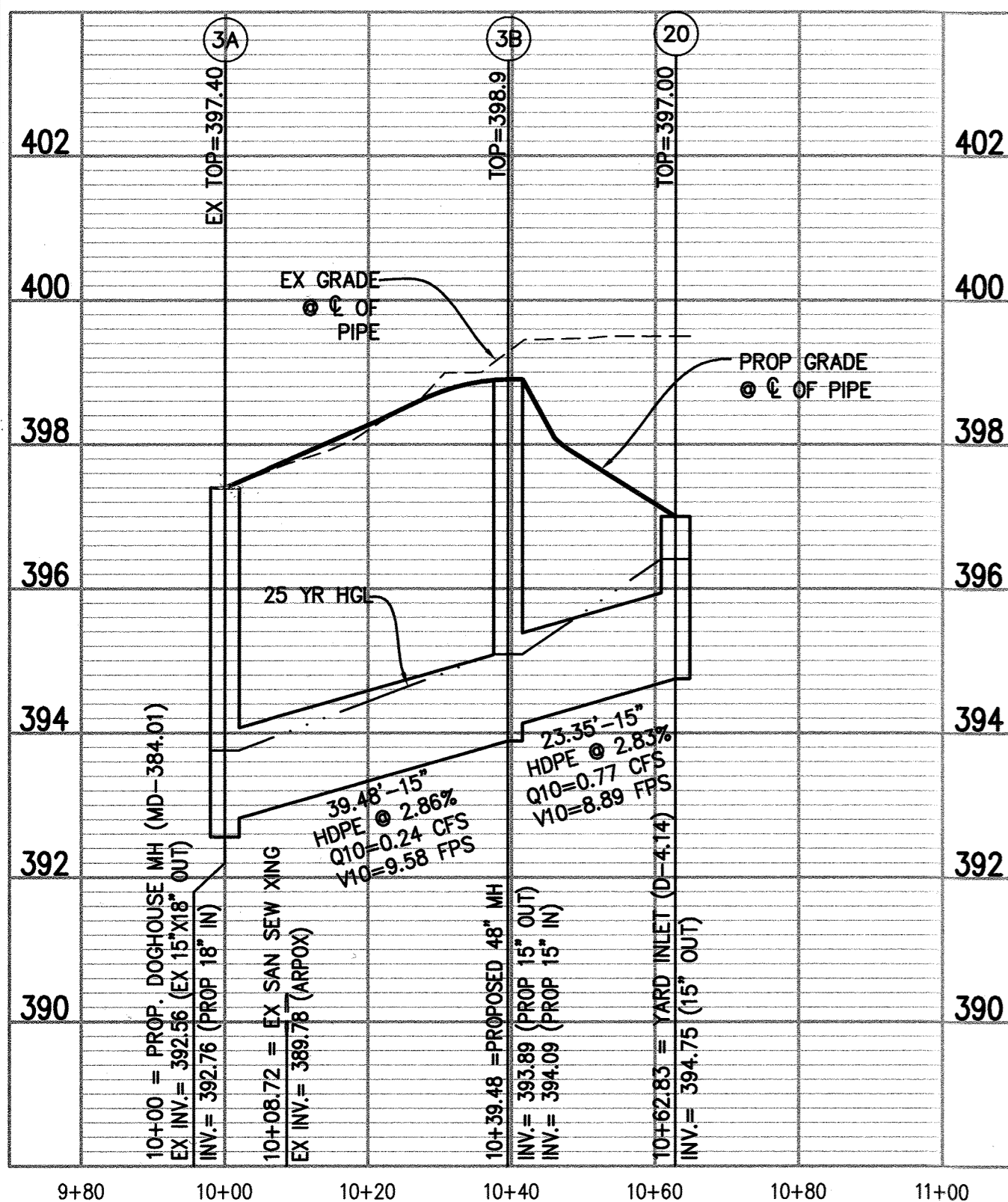
Post-Development
 Weighted C Factor
 $C_{post} = \frac{(6,305 * 0.35) + (16,992 * 0.90)}{23,297} = 0.75$
 $t = 5$ minutes
 $i_{10} = 8.5$ in/hr
 $A = 0.53$ acres
 $Q_{post} = 0.75 * 8.5 * 0.53 = 3.37$ cfs

25 YEAR JUNCTION LOSS COMPUTATIONS

INLET NO.	OUTLET WS	Do	Qo	Lo	Sf	Hf	Vo	Ho	Ql	Vi	QlVi	Vi^2	Hl	ANGLE	K	Hd	Ht	1.30	0.50	FINAL H	INLET WATER SURFACE ELEV.	RIM ELEV.
EX1B	384.40	24	4.53	62.5	0.04	0.025	9.392	0.342	4.53	6.443	29.1875	0.645	0.226	34	0.38	0.246	0.814	---	0.41	384.83	384.83	390.87
EX1	385.58	24	4.53	28.77	0.04	0.012	6.443	0.161	3.64	9.634	35.069	1.441	0.504	33	0.37	0.539	1.205	---	0.6	386.19	386.19	391.36
EX2	388.53	18	3.64	70.35	0.12	0.085	9.634	0.36	3.64	6.403	23.3066	0.637	0.223	82	0.67	0.425	1.008	---	0.5	389.12	389.12	393.75
10	390.03	12	3.64	72.41	1.044	0.756	6.403	0.159	0.4	5.696	2.27832	0.504	0.176	90	0.7	0.353	0.688	0.89	0.45	391.2	391.23	396.20
11	394.12	15	0.4	11.5	0.003	4E-04	5.696	0.126	0.4	0	0	0	0	0	0	0	0.126	---	0.06	394.2	394.18	396.20
3A	390.48	18	0.89	114.2	0.007	0.008	10.06	0.393	0.89	8.892	7.91345	1.228	0.43	46	0.47	0.579	1.402	---	0.7	391.2	391.19	397.40
3B	393.76	15	0.89	39.48	0.019	0.007	8.892	0.307	0.27	9.582	2.58709	1.426	0.499	44	0.46	0.653	1.459	1.9	0.95	394.7	394.72	398.90
20	395.09	15	0.27	22.35	0.001	3E-04	9.582	0.356	0	0	0	0	0	0	0	0	0.356	0.46	0.23	395.3	395.32	397.00

PROPOSED STORM SEWER COMPUTATIONS

STRUCTURE	DRAINAGE AREA	RUN-OFF COEF.	"CA"	INLET TIME	RAIN FALL	RUNOFF "Q" INCH	INVERT ELEVATIONS	LENGTH	SLOPE	MANNING'S "n" VALUE	DIAMETER	CAPACITY	Q _{runoff} / Q _{capacity}	VELOCITY	FLOW	TOP	REMARKS
From	To	(ACRES)	"A"	"C"	Increment	Accumulated	Upper End	Lower End	Feet	Feet/Feet	Inches	C.F.S.	%	F.P.S.	Seconds		
RD	11	0.046	0.90	0.04	0.04	0.04	394.70	393.43	114.76	0.011	0.012	6	0.64	55.26	3.24	35	396.9
11	10	0.390	0.85	0.33	0.37	0.37	393.23	393.12	11.50	0.010	0.012	15	6.99	45.35	5.70	2	396.2
10	EX 2	0.000	0.90	0.00	0.37	0.37	390.68	389.23	72.41	0.020	0.013	12	5.03	62.99	6.41	11	396.5
EX2	EX1	0.000	0.90	0.00	0.46	0.46	389.18	387.33	70.35	0.0263	0.013	18	17.02	23.16	9.63	7	391.36
EX1	EX1B	0.000	0.90	0.00	0.46	0.46	384.21	383.98	28.77	0.0080	0.013	24	20.23	19.49	6.44	4	390.87
20	3B	0.080	0.35	0.03	0.03	0.03	394.75	394.09	23.35	0.0283	0.012	15	11.75	2.03	9.58	2	397
3B	3A	0.070	0.90	0.06	0.09	0.09	393.89	392.76	39.48	0.0286	0.013	15	10.92	7.09	8.89	4	398.9
3A	EX2	0.000	0.67	0.00	0.09	0.09	392.56	389.28	114.23	0.0287	0.013	18	17.79	4.35	10.07	11	397.4



ESD VOLUME CALCULATIONS

SITE AREA = 23,297 SF OR 0.53 AC
 EX. PERVIOUS AREA = 763 SF
 EX. IMPERVIOUS AREA = 22,534 SF
 $i = 97\%$
 PROP. PERVIOUS AREA = 6,305 SF
 PROP. IMPERVIOUS AREA = 16,992 SF
 $i = 73\%$
 SITE IS CONSIDERED REDEVELOPMENT SINCE THE EXISTING IMPERVIOUS COVER IS GREATER THAN 40%; THEREFORE 50% OF THE IMPERVIOUS AREA WILL BE TREATED.
 $P_E = 1.0"$
 DECREASE IN IMPERVIOUS AREA
 $22,534 \text{ SF} - 16,992 \text{ SF} = 5,542 \text{ SF}$
 $\text{AREA} = (50\%)(22,534 \text{ SF}) = 11,267 \text{ SF}$
 $\text{AREA} = 11,267 \text{ SF} - 5,542 \text{ SF} = 5,725 \text{ SF} (0.13 \text{ AC})$
 $R_V = 0.05 + 0.009(1)$
 $R_V = 0.05 + 0.009(73)$
 $R_V = 0.707$
 $\text{ESD}_V = \frac{(P_E)(R)(A)}{12}$
 $\text{ESD}_V = 337 \text{ CF}$
 TREATMENT PROVIDED BY 10 X 6 FILTERRA
 AREA = 16,166 SF (0.37 AC)

DESIGN NARRATIVE

THE SITE IS LOCATED AT THE INTERSECTION OF BALTIMORE NATIONAL PIKE AND SAINT JOHNS LANE IN ELLICOTT CITY MARYLAND. THE EXISTING SITE DOES NOT CONTAIN NATURAL RESOURCES THAT REQUIRE PROTECTING SUCH AS VEGETATIVE COVER, INTERMITTENT STREAMS, SPRINGS, SEEPS, ENHANCED STREAM BUFFERS, AND HIGHLY ERODIBLE SOILS. THE EXISTING DRAINAGE DIVIDES AND NATURAL FLOW PATTERNS ARE MAINTAINED THROUGHOUT THE DEVELOPMENT, AS SHOWN ON THE DRAINAGE DIVIDES PLAN. THE EXISTING SITE CONTAINS 22,534 SQUARE FEET OF IMPERVIOUS AREA CONSISTING OF A BUILDING, GRAVEL AREA AND PARKING LOT. THE PROPOSED IMPROVEMENTS REDUCE THE IMPERVIOUS COVERAGE TO 16,992 SQUARE FEET THROUGH THE ADDITION OF GRASSED ISLANDS, EROSION AND SEDIMENT CONTROL FOR THE SITE IS BEING PROVIDED THROUGH THE USE OF SILT FENCE, INLET PROTECTION AND A TEMPORARY CONSTRUCTION ENTRANCE. THE EXISTING SITE IS A VACANT GAS STATION WHICH IS CONSIDERED A "HOT SPOT" IN THE MDE STORMWATER DESIGN MANUAL. THE MANUAL ADVISES AGAINST THE USE OF INFILTRATION PRACTICES SUCH AS MICRO-BIORETENTION, PERMEABLE PAVEMENT, GRASSED FILTER STRIPS ETC. THEREFORE IN ORDER TO SATISFY THE ESD TARGETS FOR REDEVELOPMENT A FILTERRA TREE BOX FILTER HAS BEEN SELECTED.

ADEQUATE OUTFALL NARRATIVE

DRAINAGE FROM 9120 BALTIMORE NATIONAL PIKE IN THE PROPOSED CONDITION SHEET FLOWS ACROSS THE LOT FROM NORTH TO SOUTH WHERE IT IS COLLECTED IN A CLOSED CONDUIT SYSTEM.
 THERE IS A TOTAL DECREASE OF 5,542 SF OF IMPERVIOUS AREA IN THE PROPOSED CONDITION. THE PROPOSED GRADING HONORS THE NATURAL FLOW PATTERNS OF THE SITE. THE EXISTING SITE PRODUCES A PEAK RUNOFF RATE OF 3.96 CFS FOR THE 10-YEAR STORM. IN THE PROPOSED CONDITION THE SITE HAS A PEAK RUNOFF RATE OF 3.37 CFS FOR THE 10-YEAR STORM. THEREFORE THERE IS A 0.59 CFS DECREASE IN RUNOFF IN THE PROPOSED CONDITION FOR THE 10-YEAR STORM.
 THE CLOSED CONDUIT SYSTEM WAS ANALYZED ONE PIPE SEGMENT DOWNSTREAM OF THE CONNECTION POINT TO VERIFY ADEQUACY. PLEASE SEE COMPUTATIONS ON THIS SHEET. THE EXISTING SYSTEM IS ABLE TO CONVEY THE RUNOFF MEETING THE VELOCITY REQUIREMENTS OF GREATER THAN 2 FPS AND LESS THAN 20 FPS, THE HYDRAULIC GRADIENT IS GREATER THAN 1' BELOW ALL GRATE AND CURB OPENINGS, AND THE INLETS ARE SIZED TO CAPTURE THE PROPOSED RUNOFF.
 BASED ON THE DOWNSTREAM REVIEW AND THE DECREASE IN RUNOFF IN THE PROPOSED CONDITION IT IS THE OPINION OF THE SUBMITTING ENGINEER (BOWMAN CONSULTING GROUP, LTD.) THAT AN ADEQUATE OUTFALL EXISTS FOR THE PROPOSED SITE DEVELOPMENT.

SITE IMPERVIOUS AREA ANALYSIS:

PRE-DEVELOPMENT
 PERVIOUS AREA: 743 SF
 IMPERVIOUS AREA: 22,534 SF
 $\%: 97\%$
POST-DEVELOPMENT
 PERVIOUS AREA: 6,305 SF
 IMPERVIOUS AREA: 16,992 SF
 $\%: 73\%$

EX 3 TO PROP 20

EX 2 TO PROP 12

AS-BUILT CERTIFICATION
 I hereby certify, by my seal, that the facilities shown on this plan were constructed as shown on this "AS BUILT" plan meet the approved plans and specifications.
 Mark L. Roper
 MAREX L. ROOPER
 12/16/19
 Date



APPROVED: DEPARTMENT OF PLANNING AND ZONING
 Chief, Development Engineering Division
 Date: 12-3-15
 Chief, Division of Land Development
 Date: 12-21-15
 Director
 Date: 12-22-15

CHIPOTLE MEXICAN GRILL

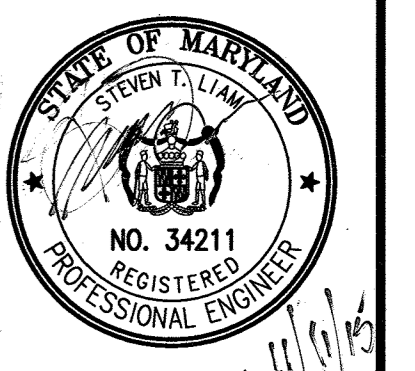
PROPERTY OWNER:
 MYERS REALTY LLC
 2800 QUARRY LAKE DR
 SUITE 340
 BALTIMORE, MD 21209-3764

PARCEL INFORMATION:
 9120 BALTIMORE NATIONAL PIKE
 ELLICOTT CITY, MD 21042
 TAX MAP 24, GRID 4, PARCEL 1027, LOT A1
 ELECTION DISTRICT 2
 ZONED: B-2 USE: COMMERCIAL

DATE	DESCRIPTION
DAP DESIGN	SH STL
	CHKD
SCALE: H: 1"=20'	
V: 1"=2'	
JOB No. 6533-02-001	
DATE: NOVEMBER 2015	
FILE No. 6533-D-CP-003	
SHEET 15 OF 24	

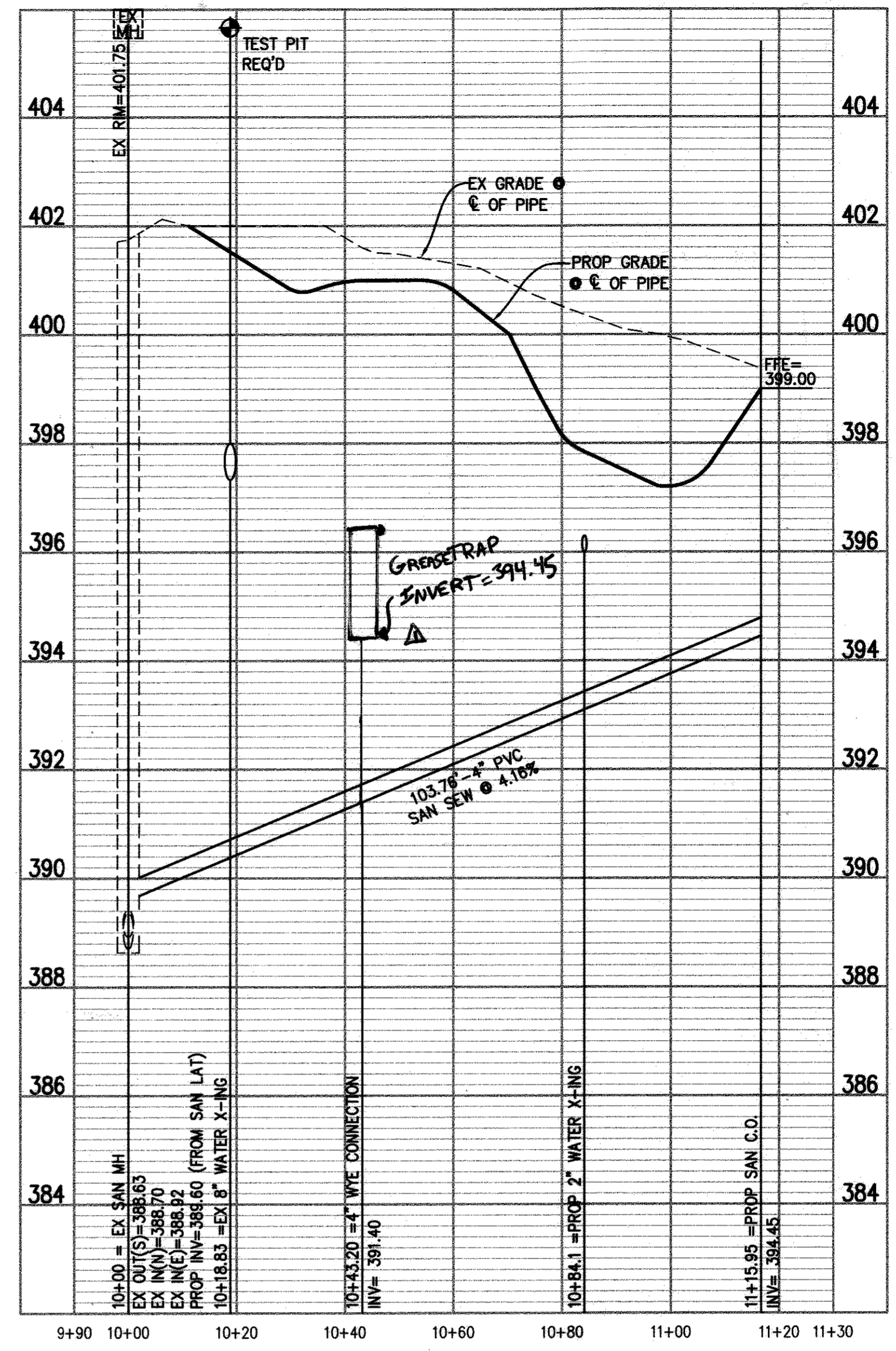
Bowman CONSULTING GROUP, LTD.
 Telephone: (703) 464-1000
 Fax: (703) 481-9720
 www.bowmanconsulting.com
 655 GRANDVIEW AVENUE SUITE 205
 COLUMBUS, OHIO 43215
 PHONE: 614.487.8770
 FAX: 614.487.8777

STORM SEWER PROFILES AND COMPUTATIONS
 SITE DEVELOPMENT PLAN
 CHIPOTLE MEXICAN GRILL #1759:
 ST. JOHN'S PLAZA-ELLICOTT CITY
 ELECTION DISTRICT #2
 ELLICOTT CITY, HOWARD COUNTY, MARYLAND



PROFESSIONAL CERTIFICATION:
 I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.
 LICENSE NO. 34211
 EXPIRATION DATE: 04/15/2017

DATE	DESCRIPTION
3/13/13	SDP 1ST SUBMITTAL
10/01/13	SDP 2ND SUBMITTAL
12/18/13	SDP 3RD SUBMITTAL
5/13/14	SDP 4TH SUBMITTAL
6/27/14	SDP 5TH SUBMITTAL
11/12/15	MYLAR SUBMITTAL



EX MH TO PROP C.O.

Bowman CONSULTING
 Bowman Consulting Group, Ltd.
 14220 Thunderbolt Place
 Suite 300
 Chantilly, Virginia 20151
 Telephone: (703) 464-1000
 Fax: (703) 481-9720
 www.bowmanconsulting.com
 © Bowman Consulting Group, Ltd.

red
 Architecture + Planning LLC
 865 GRANDVIEW AVENUE
 SUITE 205
 COLUMBUS, OHIO 43215
 PHONE: 614.487.8770
 FAX: 614.487.8777

SANITARY SEWER PROFILES
 SITE DEVELOPMENT PLAN
 CHIPOTLE MEXICAN GRILL #1759:
 ST. JOHN'S PLAZA-ELLCOTT CITY
 ELLCOTT CITY, HOWARD COUNTY, MARYLAND
 ELECTION DISTRICT #2



PROFESSIONAL CERTIFICATION.
 I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.
 LICENSE NO. 34211
 EXPIRATION DATE: 04/15/2017

PLAN STATUS	
3/13/13	SDP 1ST SUBMITTAL
10/01/13	SDP 2ND SUBMITTAL
12/18/13	SDP 3RD SUBMITTAL
5/13/14	SDP 4TH SUBMITTAL
6/27/14	SDP 5TH SUBMITTAL
11/12/15	MYLAR SUBMITTAL
10/5/16	REVISION 1

DATE	DESCRIPTION
DAP DESIGN	SH DRAWN STL CHKD
SCALE	H: 1"=20' V: 1"=2'
JOB No.	6533-02-001
DATE	NOVEMBER 2015
FILE No.	6533-D-CP-003
SHEET	16 OF 24

APPROVED: DEPARTMENT OF PLANNING AND ZONING
[Signature] 12.3.15
 Chief, Development Engineering Division Date

[Signature] 12-21-15
 Chief, Division of Land Development Date

[Signature] 12-22-15
 Director Date

CHIPOTLE MEXICAN GRILL

PROPERTY OWNER:
 MYERS REALTY LLC
 2800 QUARRY LAKE DR
 SUITE 340
 BALTIMORE, MD 21209-3764

PARCEL INFORMATION:
 9120 BALTIMORE NATIONAL PIKE
 ELLCOTT CITY, MD 21042
 TAX MAP 24, GRID 4, PARCEL 1027, LOT A1
 ELECTION DISTRICT 2
 ZONED: B-2 USE: COMMERCIAL

APPROVED: FOR PUBLIC OR PRIVATE (plot-only-use) WATER AND PUBLIC OR PRIVATE (plot-only-use) SEWERAGE SYSTEMS
 County Health Officer
 Howard County Health Department
 Date

Filterra Standard Plan Notes



Construction & Installation

- A. Each unit shall be constructed at the locations and elevations according to the sizes shown on the approved drawings. Any modifications to the elevation or location shall be at the direction of and approved by the Engineer.
- B. If the Filterra® is stored before installation, the top slab must be placed on the box using the 2x4 wood provided, to prevent any contamination from the site. All internal fittings supplied (if any), must be left in place as per the delivery.
- C. The unit shall be placed on a compacted sub-grade with a minimum 6-inch gravel base matching the final grade of the curb line in the area of the unit. The unit to be placed such that the unit and top slab match the grade of the curb in the area of the unit. Compact undisturbed sub-grade materials to 95% of maximum density at +1- 2% of optimum moisture. Unsuitable material below sub-grade shall be replaced to the site engineer's approval.
- D. Outlet connections shall be aligned and sealed to meet the approved drawings with modifications necessary to meet site conditions and local regulations.
- E. Once the unit is set, the internal wooden forms and protective mesh cover must be left intact. Remove only the temporary wooden shipping blocks between the box and top slab. The top lid should be sealed onto the box section before backfilling, using a non-shrink grout, butyl rubber or similar waterproof seal. The boards on top of the lid and boards sealed in the unit's throat must NOT be removed. The Supplier (Americast or its authorized dealer) will remove these sections at the time of activation. Backfilling should be performed in a careful manner, bringing the appropriate fill material up in 6" lifts on all sides. Precast sections shall be set in a manner that will result in a watertight joint. In all instances, installation of Filterra® unit shall conform to ASTM specification C891 "Standard Practice for Installation of Underground Precast Utility Structures", unless directed otherwise in contract documents.
- F. Curb and gutter construction (where present) shall ensure that the flow-line of the Filterra® units is at a greater elevation than the flow-line of the bypass structure or relief (drop inlet, curb cut or similar). Failure to comply with this guideline may cause failure and/or damage to the Filterra® environmental device.
- G. Each Filterra® unit must receive adequate irrigation to ensure survival of the living system during periods of drier weather. This may be achieved through gutter flow or through the tree grate.

06/28/05

www.filterra.com

Toll Free: (866) 349-3458

Activation



- A. Activation of the Filterra® unit is performed ONLY by the Supplier. Purchaser is responsible for Filterra® inlet protection and subsequent clean out cost. This process cannot commence until the project site is fully stabilized and cleaned (full landscaping, grass cover, final paving and street sweeping completed), negating the chance of construction materials contaminating the Filterra® system. Care shall be taken during construction not to damage the protective throat and top plates.
- B. Activation includes installation of plant(s) and mulch layers as necessary.

Maintenance

- A. Each correctly installed Filterra® unit is to be maintained by the Supplier, or a Supplier approved contractor for a minimum period of 1 year. The cost of this service is to be included in the price of each Filterra® unit. Extended maintenance contracts are available at extra cost upon request.
- B. Annual maintenance consists of a maximum of (2) scheduled visits. The visits are scheduled seasonally; the spring visit aims to clean up after winter loads including salts and sands. The fall visit helps the system by removing excessive leaf litter.
- C. Each maintenance visit consists of the following tasks.
 1. Filterra® unit inspection
 2. Foreign debris, silt, mulch & trash removal
 3. Filter media evaluation and recharge as necessary
 4. Plant health evaluation and pruning or replacement as necessary
 5. Replacement of mulch
 6. Disposal of all maintenance refuse items
 7. Maintenance records updated and stored (reports available upon request)
- D. The beginning and ending date of Supplier's obligation to maintain the installed system shall be determined by the Supplier at the time the system is activated. Owners must promptly notify the Supplier of any damage to the plant(s), which constitute(s) an integral part of the bioretention technology.

06/28/05

www.filterra.com

Toll Free: (866) 349-3458

Shannon Bell
Bowman Consulting
14020 Thunderbolt Place, Suite 300
Chantilly, VA 20151



March 30, 2012

**Plan Review of Filterra®
Chipotle Mexican Grill #1759, Ellicott City, MD**

Dear Sirs

Thank you for submitting the revised plans on 30 March 2012 for our review of the Chipotle Mexican Grill #1759 project.

Filterra® structure #12 (10x6) was studied for;

- Planned Filterra® box size
- Filterra® contributing drainage area meeting project's regional sizing specification
- Filterra® invert elevations are higher than effluent invert elevations
- The bypass is lower than the Filterra® elevation (spot elevations)
- The grading pattern encourages cross linear flow and not head-on flow
- The Filterra® outlet drain pipe is sized correctly and exits perpendicular to the wall
- For any conflicting structures such as storm drain pipes below Filterra®
- For most efficient placement of Filterra® units

The plan review concluded that the Filterra® structure listed above is sited and sized appropriately to treat stormwater to our published specifications.

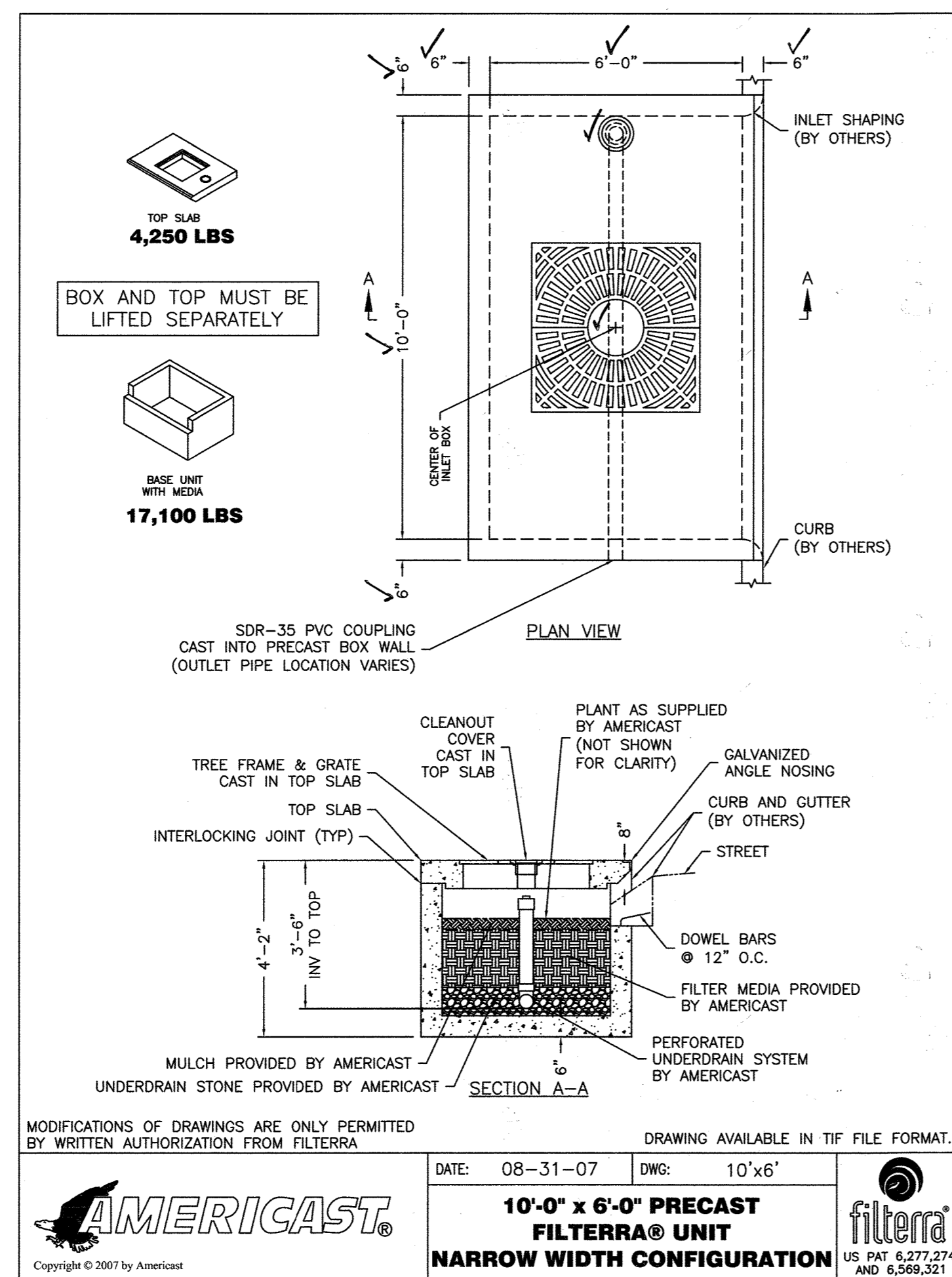
Operational consistency with these specifications is contingent upon the stormwater unit being installed correctly and according to the plans, as well as regular maintenance being performed. Installation Help documents will be forwarded to the Buyer at time of order. The Filterra® Installation, Operation and Maintenance Manual will be made available upon request.

Yours sincerely

Duane Vincent
Engineer Support
Filterra® Bioretention Systems

Manufactured by Americast
11352 Virginia Precast Road
Ashland, VA 23005

T: (804) 798-6068
F: (804) 798-8400
E: design@filterra.com



MODIFICATIONS OF DRAWINGS ARE ONLY PERMITTED BY WRITTEN AUTHORIZATION FROM FILTERRA. DRAWING AVAILABLE IN TIF FILE FORMAT.

DATE: 08-31-07 DWG: 10'x6'

10'-0" x 6'-0" PRECAST FILTERRA® UNIT NARROW WIDTH CONFIGURATION

AMERICAST logo and Filterra logo.

FILTERRA OPERATION AND MAINTENANCE STATEMENT
THE PROPERTY LEASEE WILL MAINTAIN THIS FACILITY IN PERPETUITY IN ACCORDANCE WITH THE SCHEDULE SHOWN UNDER THE MAINTENANCE SECTION.

APPROVED: DEPARTMENT OF PLANNING AND ZONING
[Signature] 12-3-15
Chief, Development Engineering Division Date

[Signature] 12-21-15
Chief, Division of Land Development Date

[Signature] 12-22-15
Director Date

CHIPOTLE MEXICAN GRILL

PROPERTY OWNER:
MYERS REALTY LLC
2800 QUARRY LAKE DR
SUITE 340
BALTIMORE, MD 21209-3764

PARCEL INFORMATION:
9120 BALTIMORE NATIONAL PIKE
ELLCOTT CITY, MD 21042
TAX MAP 24, GRID 4, PARCEL 1027, LOT A1
ELECTION DISTRICT 2
ZONED: B-2 USE: COMMERCIAL

DATE	DESCRIPTION
3/13/13	SDP 1ST SUBMITTAL
10/01/13	SDP 2ND SUBMITTAL
12/18/13	SDP 3RD SUBMITTAL
5/13/14	SDP 4TH SUBMITTAL
6/27/14	SDP 5TH SUBMITTAL
11/12/15	MYLAR SUBMITTAL

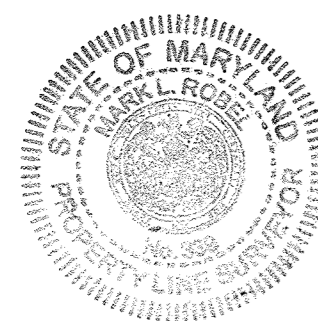
DATE	DESCRIPTION	
DAP	SH	STL
DESIGN	DRAWN	CHKD
SCALE	H: N/A	V: N/A
JOB No.	6533-02-001	
DATE	NOVEMBER 2015	
FILE No.	6533-D-CP-003	

SHEET 17 OF 24

AS-BUILT CERTIFICATION

I hereby certify, by my seal, that the facilities shown on this plan were constructed as shown on this "AS BUILT" plan meet the approved plans and specifications.

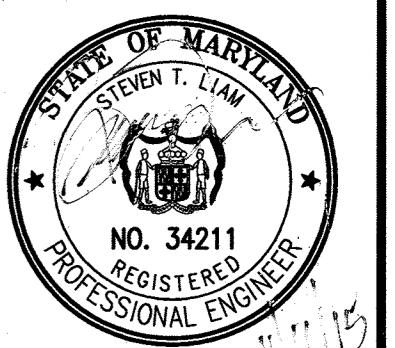
[Signature] 12/16/19
Date



Bowman CONSULTING
Bowman Consulting Group, Ltd.
14020 Thunderbolt Place
Suite 300
Chantilly, Virginia 20151
Telephone: (703) 464-1000
Fax: (703) 481-9720
www.bowmanconsulting.com
© Bowman Consulting Group, Ltd.

re d
Architecture + Planning LLC
655 GRANDVIEW AVENUE
SUITE 205
COLUMBUS, OHIO 43215
PHONE: 614.487.8770
FAX: 614.487.8777

FILTERRA NOTES AND DETAIL
SITE DEVELOPMENT PLAN
CHIPOTLE MEXICAN GRILL #1759:
ST. JOHN'S PLAZA-ELLCOTT CITY
ELLCOTT CITY, HOWARD COUNTY, MARYLAND
ELECTION DISTRICT #2



PROFESSIONAL CERTIFICATION.
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.
LICENSE NO. 34211
EXPIRATION DATE: 04/15/2017

DATE	DESCRIPTION
3/13/13	SDP 1ST SUBMITTAL
10/01/13	SDP 2ND SUBMITTAL
12/18/13	SDP 3RD SUBMITTAL
5/13/14	SDP 4TH SUBMITTAL
6/27/14	SDP 5TH SUBMITTAL
11/12/15	MYLAR SUBMITTAL

DATE	DESCRIPTION	
DAP	SH	STL
DESIGN	DRAWN	CHKD
SCALE	H: N/A	V: N/A
JOB No.	6533-02-001	
DATE	NOVEMBER 2015	
FILE No.	6533-D-CP-003	

SHA LANDSCAPE NOTES:

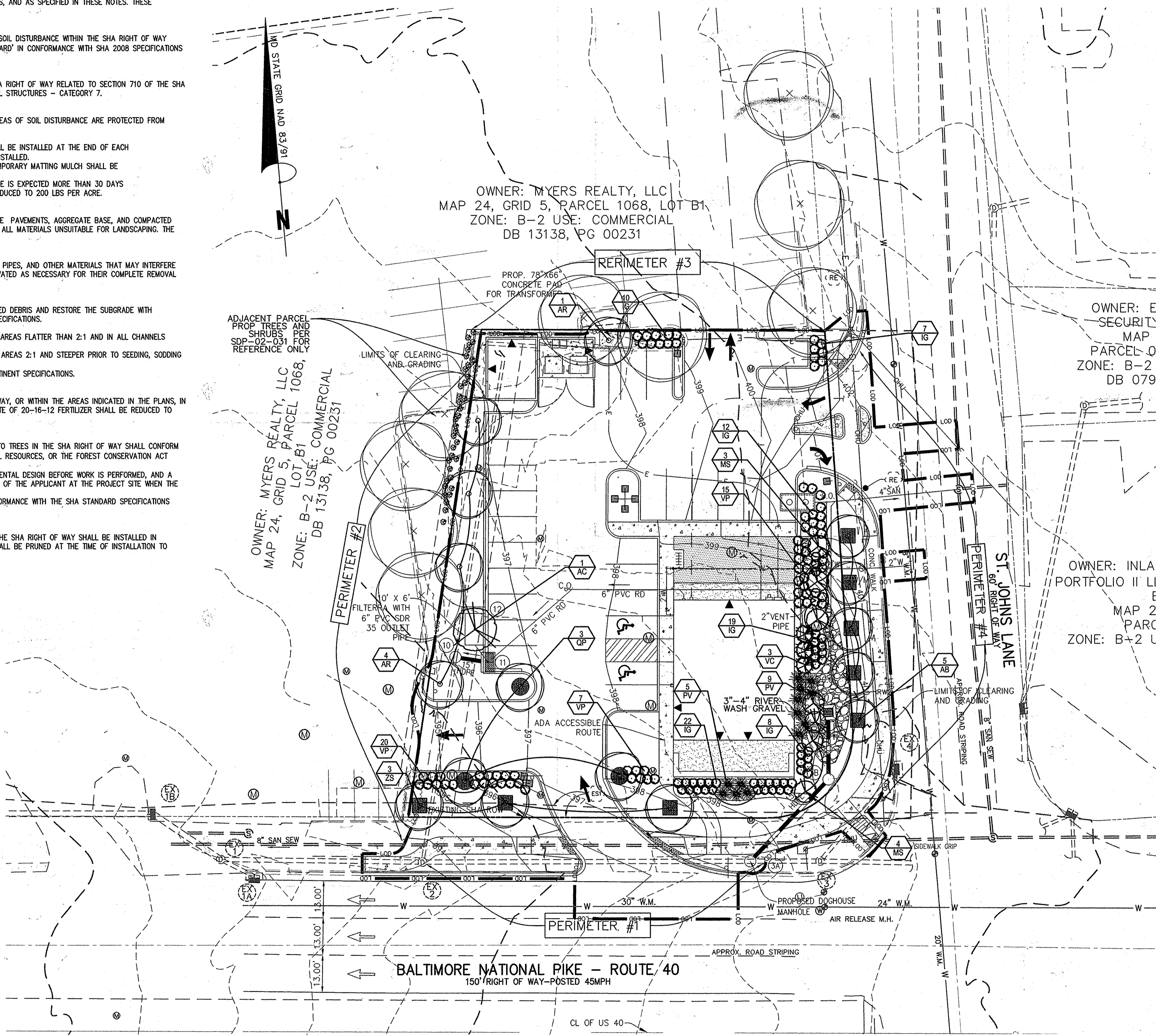
- 7.2 SHA STANDARD SPECIFICATIONS.**
LANDSCAPE CONSTRUCTION SHALL CONFORM TO SECTIONS 701 THROUGH 716 AND LANDSCAPE MATERIALS SHALL CONFORM TO SECTION 920 OF THE SHA 2008 STANDARD SPECIFICATIONS FOR CONSTRUCTION AND MATERIALS, INCLUDING ALL REVISIONS OR SUPPLEMENTS, AND AS SPECIFIED IN THESE NOTES. THESE REQUIREMENTS SHALL SUPERSEDE ALL OTHER SPECIFICATIONS FOR WORK WITHIN THE SHA RIGHT OF WAY.
- 7.3 EROSION & SEDIMENT CONTROL MANAGER.**
SOIL DISTURBANCE SUCH AS GRADING, EXCAVATION, SOIL PLACEMENT OR OTHER ACTIVITIES THAT INVOLVE SOIL DISTURBANCE WITHIN THE SHA RIGHT OF WAY SHALL BE SUPERVISED BY AN EROSION AND SEDIMENT CONTROL MANAGER WITH A VALID SHA "YELLOW CARD" IN CONFORMANCE WITH SHA 2008 SPECIFICATIONS FOR CONSTRUCTION AND MATERIALS AND ANY APPLICABLE EROSION AND SEDIMENT CONTROL PERMIT.
- 7.4 SHA STANDARD DETAILS FOR TREES, SHRUBS AND PLANTING BEDS.**
THE INSTALLATION OF TREES, SHRUBS, PLANTING BEDS, AND OTHER LANDSCAPE CONSTRUCTION IN THE SHA RIGHT OF WAY RELATED TO SECTION 710 OF THE SHA STANDARD SPECIFICATIONS SHALL CONFORM TO THE SHA BOOK OF STANDARDS FOR HIGHWAY & INCIDENTAL STRUCTURES - CATEGORY 7.
- 7.5 TEMPORARY STABILIZATION.**
TEMPORARY STABILIZATION SHALL BE INSTALLED IN CONFORMANCE WITH SECTION 704 TO ENSURE THAT AREAS OF SOIL DISTURBANCE ARE PROTECTED FROM RAINFALL AND FLOWING WATER UNTIL PERMANENT STABILIZATION IS INSTALLED.
1. TEMPORARY MULCH, EITHER AS TEMPORARY STRAW MULCH OR TEMPORARY MATTING MULCH, SHALL BE INSTALLED AT THE END OF EACH WORKING DAY TO PROVIDE "SAME DAY STABILIZATION" UNLESS OTHER APPROVED STABILIZATION IS INSTALLED.
 2. TEMPORARY STRAW MULCH SHALL BE INSTALLED ON AREAS AND SLOPES FLATTER THAN 4:1; TEMPORARY MATTING MULCH SHALL BE APPLIED ON SLOPES 4:1 AND STEEPER, AND TO AREAS WITHIN CHANNELS.
 3. TEMPORARY SEED SHALL BE INSTALLED IN LIEU OF TEMPORARY MULCH WHEN SOIL REDISTURBANCE IS EXPECTED MORE THAN 30 DAYS AFTER SOIL DISTURBANCE. THE REQUIRED APPLICATION RATE OF 20-16-12 FERTILIZER SHALL BE REDUCED TO 200 LBS PER ACRE.
- 7.6 ROADWAY PAVEMENT REMOVAL.**
AREAS OF ROADWAY PAVEMENT REMOVAL WITHIN THE SHA RIGHT OF WAY SHALL BE EXCAVATED TO REMOVE PAVEMENTS, AGGREGATE BASE, AND COMPACTED SOIL TO A MINIMUM DEPTH OF 10 INCHES BELOW THE PAVEMENT SURFACE, OR AS NECESSARY TO REMOVE ALL MATERIALS UNSUITABLE FOR LANDSCAPING. THE EXCAVATED AREAS SHALL BE RESTORED WITH SUBSOIL AND TOPSOIL AS PART OF SOIL RESTORATION.
- 7.7 EXCAVATION AND DEBRIS REMOVAL.**
DEBRIS RELATED TO THE DEMOLITION OF SIDEWALKS, DRIVEWAYS, CURBS, TREES, STUMPS, ROOTS, FENCING, PIPES, AND OTHER MATERIALS THAT MAY INTERFERE WITH LANDSCAPE INSTALLATION OR FUTURE MAINTENANCE WITHIN THE SHA RIGHT OF WAY SHALL BE EXCAVATED AS NECESSARY FOR THEIR COMPLETE REMOVAL AND DISPOSAL.
- 7.8 SOIL RESTORATION.**
AREAS OF PAVEMENT REMOVAL, EXCAVATION OR DRILLING IN LANDSCAPED AREAS SHALL REMOVE EXCAVATED DEBRIS AND RESTORE THE SUBGRADE WITH APPROVED SUBSOIL AND TOPSOIL PLACED IN CONFORMANCE WITH SECTION 701 OF THE SHA STANDARD SPECIFICATIONS.
1. A LAYER OF APPROVED TOPSOIL AT LEAST 4 INCH DEPTH SHALL BE PLACED ON ALL DISTURBED AREAS FLATTER THAN 2:1 AND IN ALL CHANNELS PRIOR TO SEEDING, SODDING OR OTHER LANDSCAPING, UNLESS OTHERWISE SPECIFIED.
 2. A LAYER OF APPROVED TOPSOIL AT LEAST 2 INCH DEPTH SHALL BE PLACED ON ALL DISTURBED AREAS 2:1 AND STEEPER PRIOR TO SEEDING, SODDING OR OTHER LANDSCAPING, UNLESS OTHERWISE SPECIFIED.
 3. BIORETENTION SOIL MIX (BSM) SHALL BE INSTALLED IN CONFORMANCE WITH THE PLANS AND PERTINENT SPECIFICATIONS.
- 7.9 TURFGRASS ESTABLISHMENT.**
TURFGRASS SOD ESTABLISHMENT SHALL BE PERFORMED IN ALL DISTURBED AREAS OF THE SHA RIGHT OF WAY, OR WITHIN THE AREAS INDICATED IN THE PLANS, IN CONFORMANCE WITH SECTION 709 OF THE SHA STANDARD SPECIFICATIONS. THE REQUIRED APPLICATION RATE OF 20-16-12 FERTILIZER SHALL BE REDUCED TO 200 LBS PER ACRE, AND NO FERTILIZER SHALL BE APPLIED FROM NOV. 15 TO MAR. 1.
- 7.14 ROADSIDE TREE PERMIT.**
TREE REMOVAL, TREE INSTALLATION, TREE ROOT AND BRANCH PRUNING, AND OTHER REGULATED IMPACTS TO TREES IN THE SHA RIGHT OF WAY SHALL CONFORM TO THE REQUIREMENTS OF THE ROADSIDE TREE PERMIT (RTP) OF THE MARYLAND DEPARTMENT OF NATURAL RESOURCES, OR THE FOREST CONSERVATION ACT (FCA) APPROVAL OF THE LOCAL AUTHORITY.
1. A COPY OF THE RTP OR FCA APPROVAL SHALL BE SUBMITTED TO THE SHA OFFICE OF ENVIRONMENTAL DESIGN BEFORE WORK IS PERFORMED, AND A COPY OF THE RTP OR FCA APPROVAL SHALL BE REPRODUCED IN THE PLANS OR BE IN POSSESSION OF THE APPLICANT AT THE PROJECT SITE WHEN THE PERMITTED WORK IS PERFORMED.
 2. A MARYLAND LICENSED TREE EXPERT SHALL PERFORM THE SPECIFIED TREE OPERATIONS IN CONFORMANCE WITH THE SHA STANDARD SPECIFICATIONS AND ANSI A300 STANDARDS FOR TREE CARE OPERATIONS.
- 7.15 TREES AND OTHER PLANT MATERIAL INSTALLATION.**
TREES, SHRUBS, PERENNIALS, ANNUALS, BULBS, LANDSCAPE BEDS AND SIMILAR MATERIALS INSTALLED IN THE SHA RIGHT OF WAY SHALL BE INSTALLED IN CONFORMANCE WITH SECTION 710 AND 711 OF THE SHA STANDARD SPECIFICATIONS. TREE AND SHRUBS SHALL BE PRUNED AT THE TIME OF INSTALLATION TO ENSURE SIDEWALK CLEARANCE FOR PEDESTRIANS IS MAINTAINED TO A HEIGHT OF 8 FEET.

LEGEND:

- PROPOSED PARKING LOT TREE
- PROPOSED STREET TREE
- PROPOSED LARGE DECIDUOUS TREE
- PROPOSED SMALL DECIDUOUS TREE
- PROPOSED SMALL EVERGREEN SHRUB
- PROPOSED ORNAMENTAL TREE
- PROPOSED SHRUB
- ADJACENT PROPERTY PROPOSED TREE PER SDP-02-031
- PROPOSED TURF SOD
- PROPOSED RIVER ROCK (3"-4")
- OVERHEAD ELECTRIC LINES (BGE)
- PROPERTY BOUNDARY/ROW

LANDSCAPE NOTE:

1. THE APPLICANT IS REQUIRED TO MAINTAIN THE STREET TREES PLANTED WITHIN THE PUBLIC RIGHT OF WAY ALONG ST. JOHN'S LANE.
2. LANDSCAPING CONTRACTOR SHALL EXERCISE CAUTION WHEN PLACING SHRUBS IN AREAS OF KNOWN UNDERGROUND UTILITIES.
3. SEE SHEETS 8&10 FOR SIGNAGE DESIGNATIONS.



OWNER: MYERS REALTY, LLC
MAP 24, GRID 5, PARCEL 1068, LOT B1
ZONE: B-2 USE: COMMERCIAL
DB 13138, PG 00231

OWNER: E SECURITY
MAP
PARCEL 0
ZONE: B-2
DB 079

OWNER: INLA PORTFOLIO II LI
MAP 2
PARCEL
ZONE: B-2 L

DEVELOPER'S/OWNER'S LANDSCAPE CERTIFICATE
I/WE CERTIFY THAT THE LANDSCAPING SHOWN ON THIS PLAN WILL BE DONE ACCORDING TO THE PLAN, SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL. I/WE FURTHER CERTIFY THAT UPON COMPLETION A LETTER OF LANDSCAPE INSTALLATION, ACCOMPANIED BY AN EXECUTED ONE-YEAR GUARANTEE OF PLANT MATERIALS, WILL BE SUBMITTED TO THE DEPARTMENT OF PLANNING AND ZONING.

Cheeryl L. Heidon
CHERYL L. HEIDON
DATE: 11/18/2015

APPROVED: DEPARTMENT OF PLANNING AND ZONING
Chief, Development Engineering Division
Date: 12-3-15

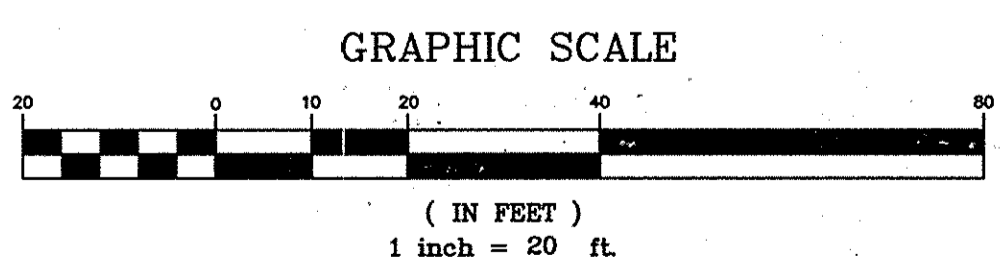
Veronica
Chief, Division of Land Development
Date: 12-21-15

Valerio
Director
Date: 12-22-15

CHIPOTLE MEXICAN GRILL

PROPERTY OWNER:
MYERS REALTY LLC
2800 QUARRY LAKE DR
SUITE 340
BALTIMORE, MD 21209-3764

PARCEL INFORMATION:
9120 BALTIMORE NATIONAL PIKE
ELLICOTT CITY, MD 21042
TAX MAP 24, GRID 4, PARCEL 1027, LOT A1
ELECTION DISTRICT 2
ZONED: B-2 USE: COMMERCIAL



Bowman Consulting Group, LLC
Telephone: (703) 464-1000
Fax: (703) 481-9720
www.bowmanconsulting.com

red
architecture + planning LLC
855 GRANDVIEW AVENUE SUITE 295
COLUMBUS, OHIO 43215
PHONE: 614-487-8770
FAX: 614-487-8777

LANDSCAPE PLAN
SITE DEVELOPMENT PLAN
CHIPOTLE MEXICAN GRILL #1759:
ST. JOHN'S PLAZA-ELLICOTT CITY
ELLICOTT CITY, HOWARD COUNTY, MARYLAND
ELECTION DISTRICT #2



PROFESSIONAL CERTIFICATION:
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL LANDSCAPE ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 3609 EXPIRATION DATE: 01/26/2017

DATE	DESCRIPTION
3/13/13	SDP 1ST SUBMITTAL
10/01/13	SDP 2ND SUBMITTAL
12/18/13	SDP 3RD SUBMITTAL
5/13/14	SDP 4TH SUBMITTAL
6/27/14	SDP 5TH SUBMITTAL
11/12/15	MYLAR SUBMITTAL

DATE	DESCRIPTION
DAP - SH	STL
DESIGN	DRAWN
SCALE	H: 1"-20"
	V: 1"-2"
JOB No.	6533-02-001
DATE	NOVEMBER 2015
FILE No.	6533-D-CP-003
SHEET	18 OF 24

SODDING

METHODS AND MATERIALS

- THE CLASS OF TURF GRASS SOD SHALL BE STATE CERTIFIED OR STATE APPROVED SOD.
- SOD SHALL BE MACHINE CUT AT A UNIFORM SOIL THICKNESS OF ONE INCH. PLUS OR MINUS 1/4 INCH AT A TIME OF CUTTING. MEASUREMENT FOR THICKNESS SHALL EXCLUDE TOP GROWTH AND THATCH.
- STANDARD SIZE SECTIONS OF SOD SHALL BE STRONG ENOUGH TO SUPPORT THEIR OWN WEIGHT AND RETAIN THEIR SIZE AND SHAPE WHEN SUSPENDED VERTICALLY FROM A FIRM GRASP ON THE UPPER 10% OF THE SECTION.
- INDIVIDUAL PIECES OF SOD SHALL BE CUT TO THE SUPPLIER'S WIDTH AND LENGTH. MAXIMUM ALLOWABLE DEVIATION FROM STANDARD WIDTHS AND LENGTHS SHALL BE 5%. BROKEN PADS AND TORN OR UNEVEN ENDS WILL NOT BE ACCEPTABLE.
- SOD SHALL NOT BE HARVESTED OR TRANSPORTED WHEN THE MOISTURE (EXCESSIVELY DRY OR WET) MAY ADVERSELY AFFECT ITS SURVIVAL.
- SOD SHALL BE HARVESTED, DELIVERED AND INSTALLED WITHIN A PERIOD OF 36 HOURS.

SOD INSTALLATION

- DURING PERIODS OF EXCESSIVELY HIGH TEMPERATURE, THE SOIL SHALL BE LIGHTLY IRRIGATED IMMEDIATELY PRIOR TO LAYING THE SOD.
- THE FIRST ROW OF SOD SHALL BE LAID IN A STRAIGHT LINE WITH SUBSEQUENT ROWS PLACED PARALLEL TO AND TIGHTLY WEDGED AGAINST EACH OTHER. LATERAL JOINTS SHALL BE STAGGERED TO PROMOTE MORE UNIFORM GROWTH AND STRENGTH. INSURE THAT SOD IS NOT STRETCHED OR OVERLAPPED AND THAT ALL JOINTS ARE BUTTED TIGHT IN ORDER TO PREVENT VOIDS WHICH WOULD CAUSE AIR DRYING OF THE ROOTS.
- ON SLOPING AREAS WHERE EROSION MAY BE A PROBLEM, SOD SHALL BE LAID WITH THE LONG EDGES PARALLEL TO THE CONTOUR AND WITH STAGGERED JOINTS. SECURE THE SOD BY TAMPING AND PEGGING OR OTHER APPROVED METHODS.
- AS SODDING IS COMPLETED IN ANY ONE SECTION, THE ENTIRE AREA SHALL BE ROLLED OR TAMPED TO INSURE SOLID CONTACT OF ROOTS WITH SOIL SURFACE. SOD SHALL BE WATERED IMMEDIATELY AFTER ROLLING OR TAMPING UNTIL THE UNDERSIDE OF THE NEW PAD AND SOIL SURFACE BELOW THE SOD ARE THOROUGHLY WET. THE OPERATIONS OF LAYING, TAMPING AND IRRIGATING FOR ANY PIECE OF SOD SHALL BE COMPLETED WITHIN EIGHT HOURS.

SEEDING SPECIFICATIONS

- SEEDING: ALL SEEDING SHALL BE PERFORMED PER SEEDING CHART. NO SEEDING SHALL BE DONE ON FROZEN GROUND OR WHEN TEMPERATURE IS 32° FAHRENHEIT OR LOWER.
- MULCHING: FOLLOWING SEEDING, APPLY A ONE INCH LAYER OF STRAW TO HASTEN GERMINATION. STRAW MULCH SHALL BE ANCHORED BY EITHER A MULCH TILLER, ASPHALT EMULSION, CHEMICAL MULCH BINDER, TWINE OR NETTING.
- FINAL ACCEPTANCE: FINAL ACCEPTANCE AND WARRANTY PER AGREEMENT BETWEEN OWNER AND CONTRACTOR.

SITE TABULATION FOR LAWN WITHOUT SOIL TESTING FERTILIZER AND LIME APPLICATION RATES SHALL BE DETERMINED BY SOIL TESTS. UNDER UNUSUAL CIRCUMSTANCES WHERE THERE IS INSUFFICIENT TIME FOR A COMPLETE SOIL TEST, FERTILIZER AND LIME MATERIALS MAY BE APPLIED IN AMOUNTS SHOWN UNDER #2 AND #3 BELOW.

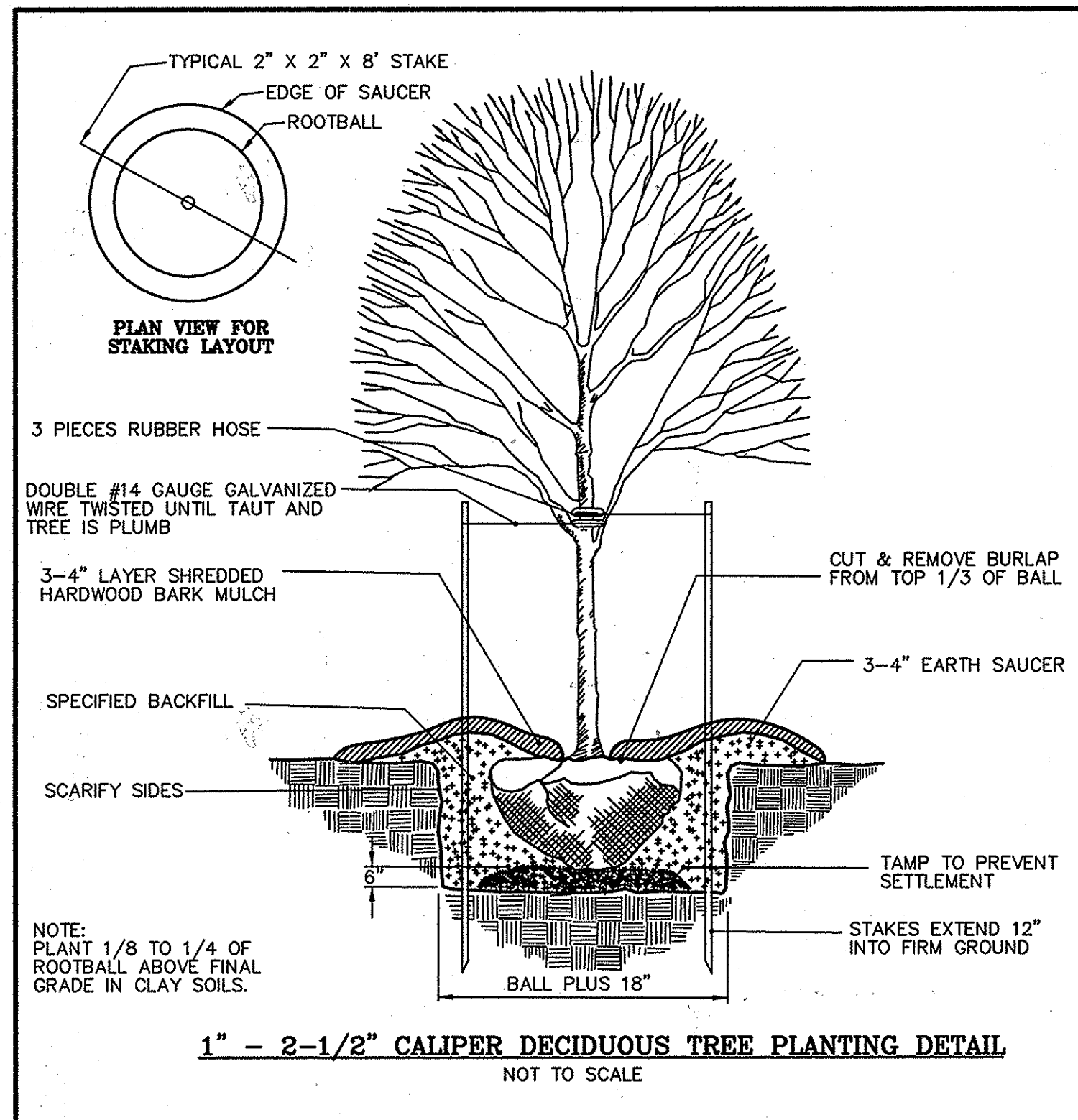
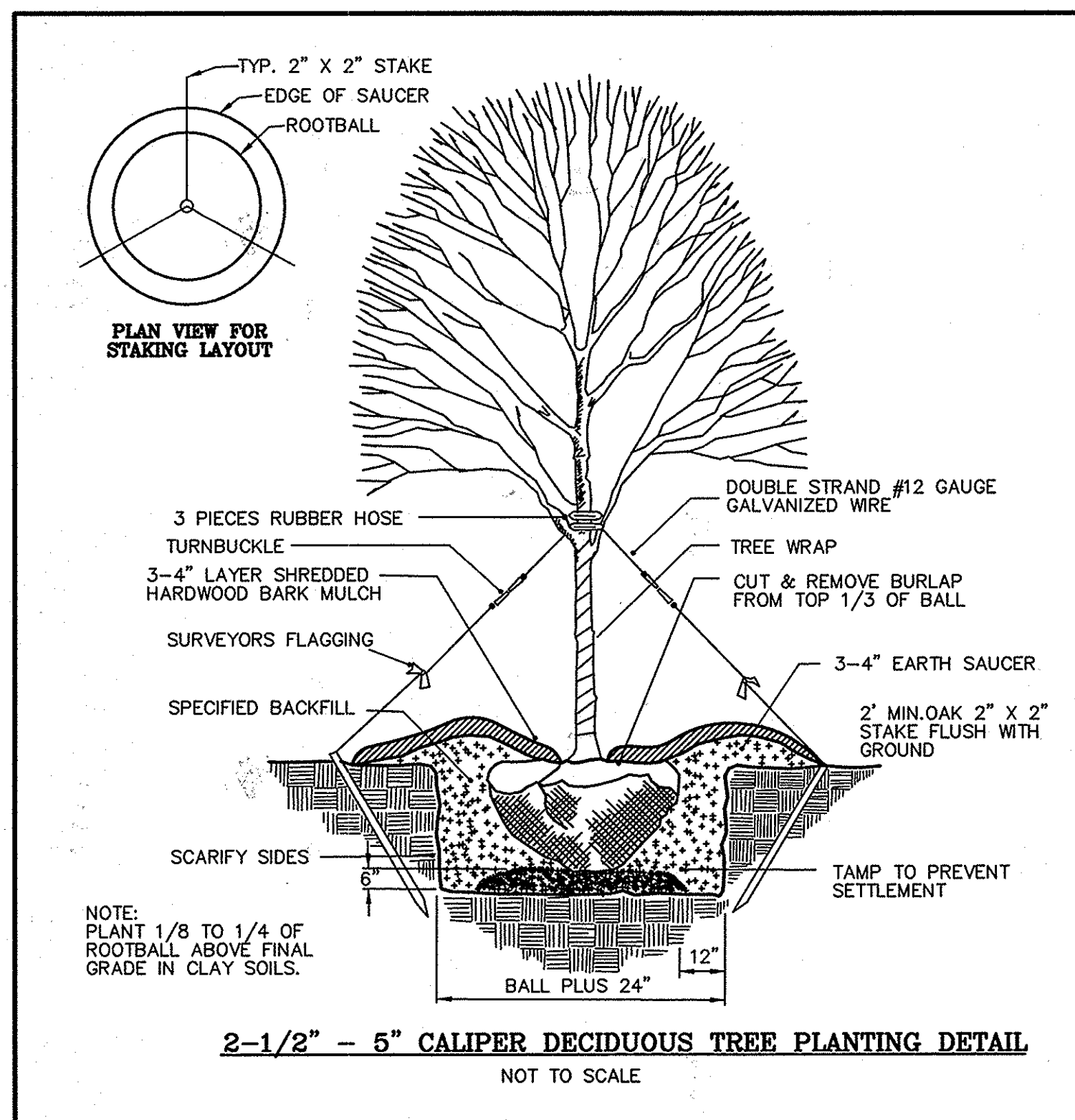
- PRIOR TO SODDING, THE SURFACE SHALL BE CLEARED OF ALL VEGETATION, TRASH, DEBRIS AND OF ALL ROOTS, BRUSH, WIRE, GRADE STAKES AND OTHER OBJECTS THAT WOULD INTERFERE WITH THE PLANTING, FERTILIZING OR MAINTENANCE OPERATIONS.
- WHERE THE SOIL IS ACIDIC OR COMPOSED OF HEAVY CLAYS, GROUND AGRICULTURAL LIMESTONE SHALL BE SPREAD AT THE RATE OF 100 POUNDS PER 1,000 SQUARE FEET.
- SLOW RELEASE NITROGEN AT THE RATE OF 3.5 POUNDS PER 1,000 SQUARE FEET SHALL BE APPLIED TO THE PREPARED SOIL JUST PRIOR TO SOD INSTALLATION. THIS MATERIAL SHALL BE APPROXIMATELY 1/3 IMMEDIATELY AVAILABLE AND 2/3 WATER INSOLUBLE NITROGEN. UREA FORMALDEHYDE (UF) AN ISOBUTYLIDENE UREA (BIU) MEET THESE STANDARDS.

SOIL PREPARATION FOR SEEDING OR SODDING

- EXISTING SOIL OR TOP SOIL STORED ON SITE AND SPREAD AT A 3"-4" DEPTH OVER AREAS TO BE SEEDS SHALL BE USED FOR ESTABLISHMENT OF TURF. ALL SUBGRADE AREAS TO BE SEEDS SHALL BE LOOSENED BY DISCING OR BY SCARIFYING TO A DEPTH OF NO LESS THAN 4 INCHES. ALL ESTABLISHED/EXISTING SITE GRADES MUST BE MAINTAINED. ANY ALTERATION OF EXISTING GRADES COULD CAUSE DRAINAGE PROBLEMS. THE AREA TO BE SEEDS SHALL BE FREE FROM ROOTS, BRUSH, STONES AND TRASH LARGER THAN 1-1/2" IN DIAMETER OR LENGTH.
- SOIL TESTS SHALL BE CONDUCTED TO DETERMINE EXACT REQUIREMENTS FOR BOTH LIME AND FERTILIZER. SOIL TESTS SHALL BE CONDUCTED BY A STATE LABORATORY OR RECOGNIZED COMMERCIAL LABORATORY.
 - FERTILIZER: ALL FERTILIZER SHALL BE UNIFORM IN COMPOSITION FREE FLOWING AND SUITABLE FOR APPLICATION WITH APPROVED EQUIPMENT. FERTILIZER APPLICATION RATES SHALL BE DETERMINED BY SOIL TESTS. FERTILIZER SHALL BE DISTRIBUTED EVENLY OVER THE ENTIRE AREA TO BE SEEDS.
 - LIME: LIME MATERIAL SHALL BE GROUND LIMESTONE (HYDRATED OR BURNT LIME MAY BE SUBSTITUTED) WHICH CONTAINS AT LEAST 50% TOTAL OXIDES (CALCIUM OXIDE PLUS MAGNESIUM OXIDE) APPLICATION RATES FOR LIMING MATERIALS SHALL BE DETERMINED BY SOIL TESTS. LIME SHALL BE DISTRIBUTED UNIFORMLY OVER THE ENTIRE AREA TO BE SEEDS.
- ALL LIME AND FERTILIZER SHALL BE UNIFORMLY MIXED INTO THE TOP 4 INCHES OF SOIL BY DISCING, HARROWING OR OTHER APPROVED METHODS. ANY UNIFORMITIES OR IRREGULARITIES IN THE SURFACE RESULTING FROM FERTILIZING, TILLING OR OTHER CAUSES SHALL BE LEVELED PRIOR TO SEEDING.

LANDSCAPE SPECIFICATIONS

- ALL PLANT MATERIAL SHALL CONFORM TO CURRENT AMERICAN ASSOCIATION OF NURSERYMEN'S STANDARDS AND TO "HORTUS THIRD" (1977 EDITION) FOR BOTANICAL AND COMMON NAMES.
- BALLED AND BURLAPPED PLANTS SHALL BE DUG WITH FIRM NATURAL BALLS OF EARTH. BALL SIZES SHALL BE IN ACCORDANCE WITH A.A.A. SPECIFICATIONS. ALL CONTAINER GROWN STOCK SHALL BE WELL ROOTED AND ESTABLISHED IN THE CONTAINER IN WHICH IT IS SOLD. AN ESTABLISHED CONTAINER GROWN PLANT SHALL HAVE A ROOT SYSTEM DEVELOPED SUFFICIENTLY TO RETAIN ITS SHAPE WHEN REMOVED.
- NO PRUNING SHALL BE DONE BEFORE PLANTING OR DURING THE PLANTING OPERATION EXCEPT FOR PRUNING OF DAMAGED OR DEAD BRANCHES.
- ALL PLANT MATERIAL SHALL BE COVERED AND PROTECTED FROM EXCESSIVE DRYING DURING TRANSIT AND DURING ON SITE STORAGE.
- ANTI-DESICCANTS SHALL BE APPLIED ON ALL MATERIAL DUG WHILE IN FOLIAGE.
- MULCH MATERIAL SHALL BE WITHER SHREDDED HARDWOOD MULCH, PINE BARK OR APPROVED EQUAL. MATERIAL SHALL BE MULCHING GRADE, UNIFORM IN SIZE AND FREE OF FOREIGN MATTER.
- TOPSOIL MIXTURE SHALL BE TWO PARTS EXISTING TOPSOIL MIXED EVENLY WITH ONE PART SPHAGNUM PEAT MOSS OR PEAT HUMUS. EXISTING TOPSOIL SHALL BE FREE OF STONES, LUMPS, PLANTS, ROOTS AND OTHER DEBRIS OVER 1-1/2 INCHES. IT SHALL NOT CONTAIN TOXIC SUBSTANCES HARMFUL TO PLANT GROWTH. TOPSOIL SHALL HAVE A PH RANGE OF 5.0 TO 7.0.
- PLANTING PROCEDURES FOR TREES AND SHRUBS:
 - PLANTING SHALL OCCUR IN ACCORDANCE WITH ALL DETAILS.
 - TREES AND SHRUBS SHALL BE PLACED IN THE PLANTING PIT, BY LIFTING FROM THE BALL (NEVER FROM THE BRANCHES OR TRUNK). ALL PLANT MATERIAL SHALL BE PLACED IN A STRAIGHT POSITION WITHIN THE PLANTING PIT WITH THE MOST DESIRABLE SIDE PLACED TOWARDS THE PROMINENT VIEW (SIDEWALK, STREET, ETC.).
 - THE TREE OR SHRUB PIT SHALL BE BACKFILLED WITH A SOIL MIXTURE, AS PER #7 OF THESE SPECIFICATIONS. THE PIT SHALL BE FILLED HALF WAY INITIALLY AND TAMPED FIRMLY. ALL ROPES, WIRES, ETC. ON THE ROOTBALL SHALL BE CUT AND THE BURLAP OR BALL WRAP PULLED BACK TO THE EDGE OF THE ROOTBALL. COMPLETE BACKFILLING THE PLANT PIT AND TAMP FIRMLY. BACKFILL SOILS SHALL NOT COVER THE TOP OF THE ROOTBALL. MULCH THE ROOTBALL AND SAUCER WITH A MINIMUM OF 3" SHREDDED HARDWOOD OR PINE BARK MULCH. WATER THOROUGHLY OR UNTIL PLANT PIT IS FILLED WITHIN ONE HOUR OF PLANTING.
 - REMOVE ALL TAGS, RIBBONS AND BINDING MATERIAL BEFORE PLANTING.
 - FINAL ACCEPTANCE AND WARRANTY PER AGREEMENT BETWEEN OWNER AND CONTRACTOR.



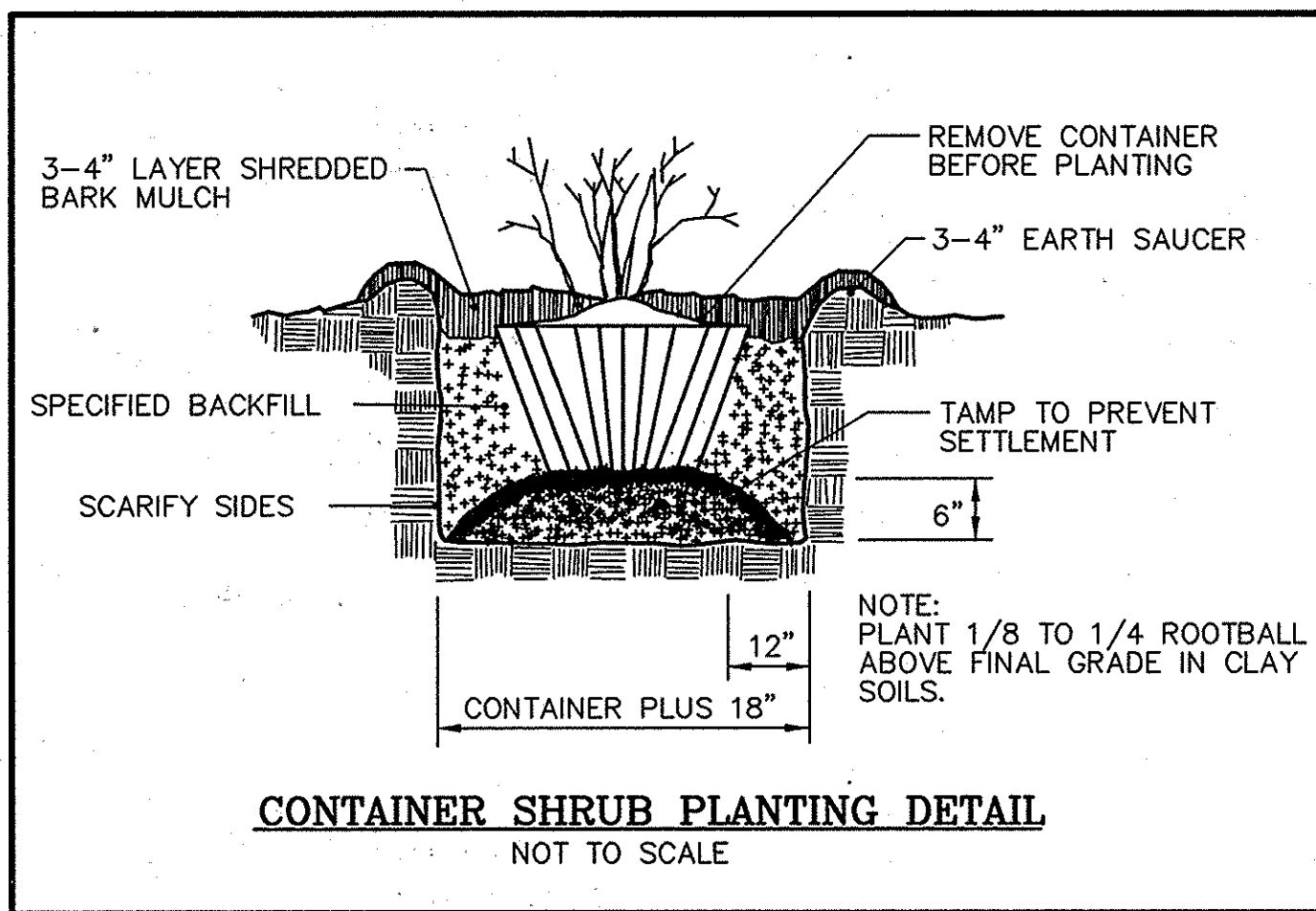
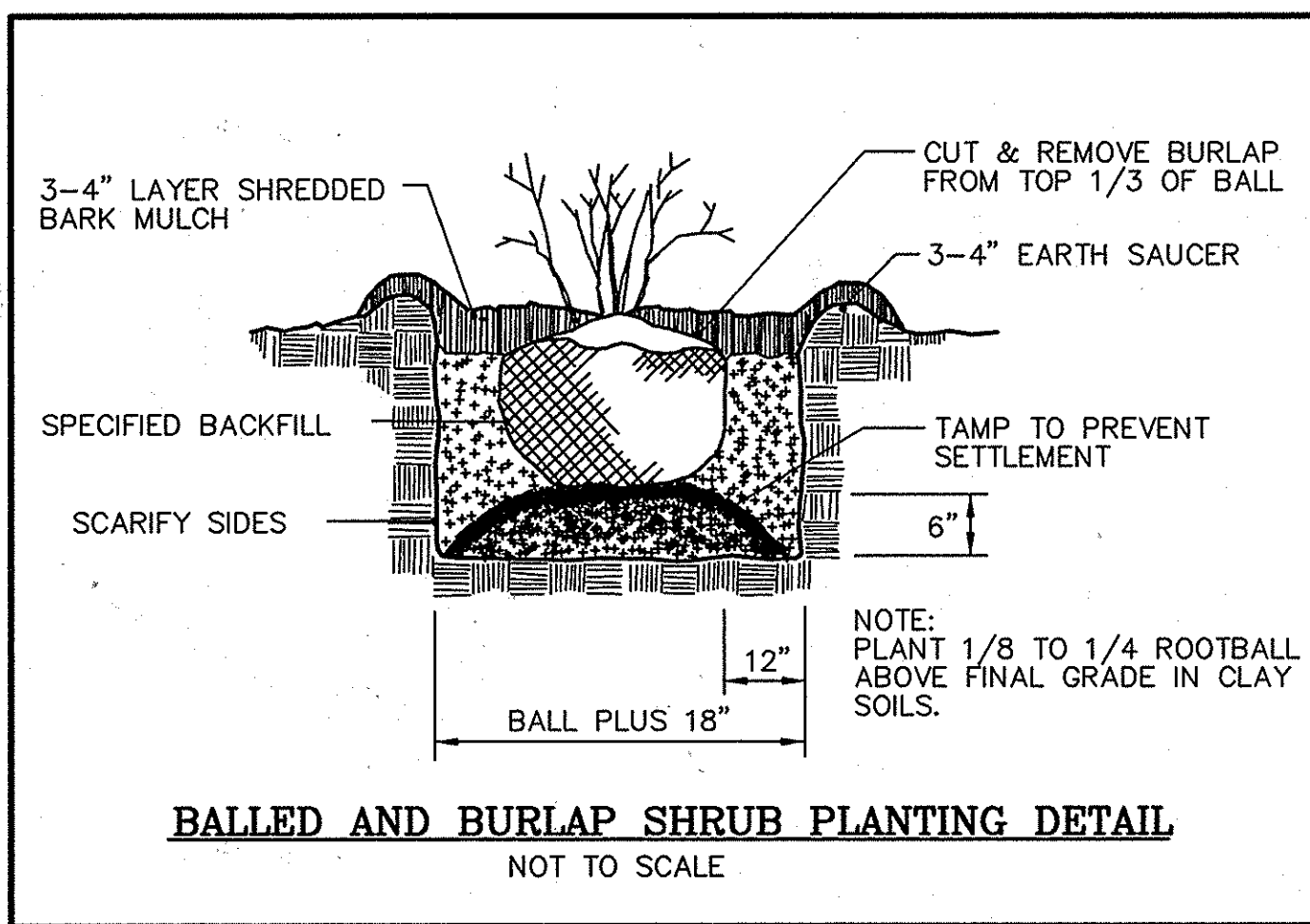
INSTALLATION, SURETY AND CERTIFICATION

- PLANT INSTALLATION MUST CONFORM TO THE MINIMUM STANDARDS CITED IN THE LATEST EDITION OF "LANDSCAPE SPECIFICATION GUIDELINES" PUBLISHED BY THE LANDSCAPE CONTRACTORS ASSOCIATION.
- TO OBTAIN A RELEASE OF SURETY, A PROFESSIONAL QUALIFIED TO PREPARE A LANDSCAPING PLAN MUST SUBMIT WRITTEN CERTIFICATION TO THE DEPARTMENT OF PLANNING AND ZONING THAT HEALTHY PLANT MATERIALS WERE PROPERLY INSTALLED IN ACCORDANCE WITH THE APPROVED LANDSCAPE PLAN AND THAT A ONE (1) YEAR GUARANTEE HAS BEEN EXECUTED.
- THE DEVELOPER IS RESPONSIBLE FOR MAINTENANCE OF THE LANDSCAPING DURING CONSTRUCTION AND IS RESPONSIBLE FOR OBTAINING A ONE (1) YEAR GUARANTEE THAT ENSURES THE SURVIVAL OR REPLACEMENT OF ALL REQUIRED PLANT MATERIALS FOR ONE (1) YEAR FROM THE DATE ON THE LANDSCAPE CERTIFICATION.

DEVELOPER'S/OWNER'S LANDSCAPE CERTIFICATE

I/WE CERTIFY THAT THE LANDSCAPING SHOWN ON THIS PLAN WILL BE DONE ACCORDING TO THE PLAN, SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL. I/WE FURTHER CERTIFY THAT UPON COMPLETION A LETTER OF LANDSCAPE INSTALLATION, ACCOMPANIED BY AN EXECUTED ONE-YEAR GUARANTEE OF PLANT MATERIALS, WILL BE SUBMITTED TO THE DEPARTMENT OF PLANNING AND ZONING.

Cheryl L. Heidorn **CHERYL L. HEIDORN** **DATE** 11/18/2015



LANDSCAPE NOTES

- AT THE TIME OF PLANT INSTALLATION, ALL SHRUBS AND TREES LISTED AND APPROVED ON THE LANDSCAPE PLAN SHALL COMPLY WITH THE PROPER HEIGHT REQUIREMENT IN ACCORDANCE WITH THE HOWARD COUNTY LANDSCAPE MANUAL. IN ADDITION, NO SUBSTITUTIONS OR RELOCATIONS OF THE REQUIRED PLANTINGS MAY BE MADE WITHOUT PRIOR REVIEW AND APPROVAL FROM THE DEPARTMENT OF PLANNING AND ZONING. ANY DEVIATIONS FROM THE APPROVED LANDSCAPE PLAN MAY RESULT IN DENIAL OR DELAY IN THE RELEASE OF LANDSCAPE SURETY UNTIL SUCH TIME AS ALL REQUIRED MATERIALS ARE PLANTED AND/OR REVISIONS ARE MADE TO THE APPLICABLE PLANS.
- NO SUBSTITUTIONS OF PLANT MATERIAL SHALL BE PERMITTED WITHOUT WRITTEN AUTHORIZATION OF THE LANDSCAPE ARCHITECT AND/OR HOWARD COUNTY PLANNING AND ZONING. THIS SHALL APPLY TO SUBSTITUTIONS OF SPECIES, SIZE, QUANTITY AND LOCATION.
- TREES SHALL BE LOCATED A MINIMUM OF 5' FROM SEWER/WATER CONNECTIONS. CONTRACTOR SHALL BE LIABLE FOR DAMAGE TO ANY AND ALL PUBLIC AND PRIVATE UTILITIES, WATER AND SEWER LINES.
- THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE PROVISIONS OF SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL.
- FINANCIAL SURETY FOR THE REQUIRED LANDSCAPING IN THE AMOUNT OF \$6,120.00 (14 SHADE TREES AT \$300 EACH; 7 EVERGREEN TREES AT \$150 EACH AND \$870 AT \$30 EACH) IS BASED ON THE TOTAL NUMBER OF REQUIRED PLANTINGS. THIS SURETY SHALL BE PART OF THE DPW DEVELOPERS AGREEMENT.

PARKING LOT INTERNAL LANDSCAPING - SCHEDULE B (NON-RESIDENTIAL)

NUMBER OF PARKING SPACES	26
NUMBER OF TREES REQUIRED (1 SHADE TREE/ 20 SPACES)	2
NUMBER OF TREES PROVIDED (SHADE TREES: OTHER TREES (2:1 SUBSTITUTION))	3

STREET TREE

LINEAR FEET OF ROADWAY FRONTAGE/PERIMETER	TOTAL=250 LF
BALTIMORE NATIONAL PIKE	120 LF
ST. JOHNS LANE	130 LF
STREET TREES REQUIRED	3 LARGE TREES (40 LF)
STREET TREES PROVIDED	3 LARGE TREES (40 LF)
STREET TREES PROVIDED	5 SMALL TREES (30 LF)
STREET TREES PROVIDED	5 SMALL TREES (30 LF)

LANDSCAPE PLANT LIST

Qty	Symbol	Botanical Name	Common Name	Size	Height	Spread	Comments
Canopy Trees							
5	AR	Acer rubrum 'October Glory'	October Glory Red Maple	3" cal.	14'-16'		B&B
3	QP	Quercus phellos	Willow Oak	3" cal.	14'-16'		B&B
3	ZS	Zelkova serrata 'Village Green'	Village Green Zelkova	3" cal.	14'-16'		B&B
Ornamental Trees							
1	AC	Amelanchier canadensis	Shadowblow Serviceberry		8'-10'		B&B, , symmetrical, dense branching, well matched
7	MS	Magnolia x soulangeana	Saucer Magnolia		6'-8'		B&B, multi stem (3 max), symmetrical, dense branching, well matched
5	AB	Acer buergerianum	Trident Maple	2" cal.	10'		B&B
Shrubs							
19	IG	Ilex glabra 'Shamrock'	Compact Shamrock Inkberry	#7 Cont.	24"	18"	Container grown.
59	IG	Ilex glabra 'Shamrock'	Compact Shamrock Inkberry	#7 Cont.	24"	18"	Container grown.
3	VC	Viburnum carlesii	Korean Viburnum	#15 Cont.	48"	30"	Container grown.
42	VP	Viburnum pragnese	Prague Viburnum	#7 Cont.	30"	21"	Container grown.
Perennials/Ornamental Grasses							
14	PV	Panicum Virgatum	Shenandoah Switchgrass	#5 Cont.	30"	21"	Container grown.

* SEE LANDSCAPE SPECIFICATIONS AND PLAN NOTES FOR ADDITIONAL PLANT REQUIREMENTS.

PERIMETER #1 LANDSCAPE EDGE - SCHEDULE A

CATEGORY	PARKING ADJACENT TO ROADWAY	NON-RESIDENTIAL "SIDE" ADJACENT TO ROADWAY
LANDSCAPE TYPE	TYPE 'E'	TYPE 'B'
LINEAR FEET OF ROADWAY FRONTAGE/PERIMETER	80 LF	50 LF
CREDIT FOR EXISTING VEGETATION (YES, NO, LINEAR) (DESCRIBE BELOW IF NEEDED)	NO	NO
CREDIT FOR WALL, FENCE OR BERM (YES, NO, LINEAR) (DESCRIBE BELOW IF NEEDED)	NO	NO
NUMBER OF PLANTS REQUIRED (SHADE TREES: EVERGREEN TREES: SHRUBS)	1 SHADE TREE/40 LF = 2 TREES 1 SHRUB/4 LF = 20 SHRUBS	1 SHADE TREE/50 LF = 1 TREE 1 EVERGREEN/40 LF = 2 TREES
NUMBER OF PLANTS PROVIDED (SHADE TREES: EVERGREEN TREES: OTHER TREES (2:1 SUBSTITUTION) SHRUBS (10:1 SUBSTITUTION))	2 20	1 22

PERIMETER #2 LANDSCAPE EDGE - SCHEDULE A

CATEGORY	NON-RESIDENTIAL ADJACENT TO OTHER USES (NON-RESIDENTIAL)
LANDSCAPE TYPE	TYPE 'A'
LINEAR FEET OF ROADWAY FRONTAGE/PERIMETER	170 LF
CREDIT FOR EXISTING VEGETATION (YES, NO, LINEAR) (DESCRIBE BELOW IF NEEDED)	NO
CREDIT FOR WALL, FENCE OR BERM (YES, NO, LINEAR) (DESCRIBE BELOW IF NEEDED)	NO
NUMBER OF PLANTS REQUIRED (SHADE TREES: EVERGREEN TREES: SHRUBS)	1 SHADE TREE/60 LF = 3 TREES
NUMBER OF PLANTS PROVIDED (SHADE TREES: EVERGREEN TREES: OTHER TREES (2:1 SUBSTITUTION) SHRUBS (10:1 SUBSTITUTION))	4

PERIMETER #3 LANDSCAPE EDGE - SCHEDULE A

CATEGORY	NON-RESIDENTIAL ADJACENT TO OTHER USES (NON-RESIDENTIAL)
LANDSCAPE TYPE	TYPE 'A'
LINEAR FEET OF ROADWAY FRONTAGE/PERIMETER	120 LF
CREDIT FOR EXISTING VEGETATION (YES, NO, LINEAR) (DESCRIBE BELOW IF NEEDED)	NO
CREDIT FOR WALL, FENCE OR BERM (YES, NO, LINEAR) (DESCRIBE BELOW IF NEEDED)	NO
NUMBER OF PLANTS REQUIRED (SHADE TREES: EVERGREEN TREES: SHRUBS)	1 SHADE TREE/60 LF = 2 TREES
NUMBER OF PLANTS PROVIDED (SHADE TREES: EVERGREEN TREES: OTHER TREES (2:1 SUBSTITUTION) SHRUBS (10:1 SUBSTITUTION))	1 10

PERIMETER #4 LANDSCAPE EDGE - SCHEDULE A

CATEGORY	PARKING ADJACENT TO ROADWAY	NON-RESIDENTIAL "REAR" ADJACENT TO ROADWAY
LANDSCAPE TYPE	TYPE 'E'	TYPE 'C'
LINEAR FEET OF ROADWAY FRONTAGE/PERIMETER	35 LF	90 LF
CREDIT FOR EXISTING VEGETATION (YES, NO, LINEAR) (DESCRIBE BELOW IF NEEDED)	NO	NO
CREDIT FOR WALL, FENCE OR BERM (YES, NO, LINEAR) (DESCRIBE BELOW IF NEEDED)	NO	NO
NUMBER OF PLANTS REQUIRED (SHADE TREES: EVERGREEN TREES: SHRUBS)	1 SHADE TREE/40 LF = 1 TREE 1 SHRUB/4 LF = 9 SHRUBS	1 SHADE TREE/40 LF = 3 TREES 1 EVERGREEN/20 LF = 5 TREES
NUMBER OF PLANTS PROVIDED (SHADE TREES: EVERGREEN TREES: OTHER TREES (2:1 SUBSTITUTION) SHRUBS (10:1 SUBSTITUTION))	19	7 45

Bowman CONSULTING
Bowman Consulting Group, Ltd.
14020 Thunderbolt Place
Suite 300
Chantilly, Virginia 20151
Telephone: (703) 464-1000
Fax: (703) 481-9720
www.bowmanconsulting.com

red
Architecture + Planning LLC
855 GRANDVIEW AVENUE
SUITE 295
COLUMBUS, OHIO 43215
PHONE: 614-487-8770
FAX: 614-487-8777

LANDSCAPE NOTES AND DETAILS

SITE DEVELOPMENT PLAN

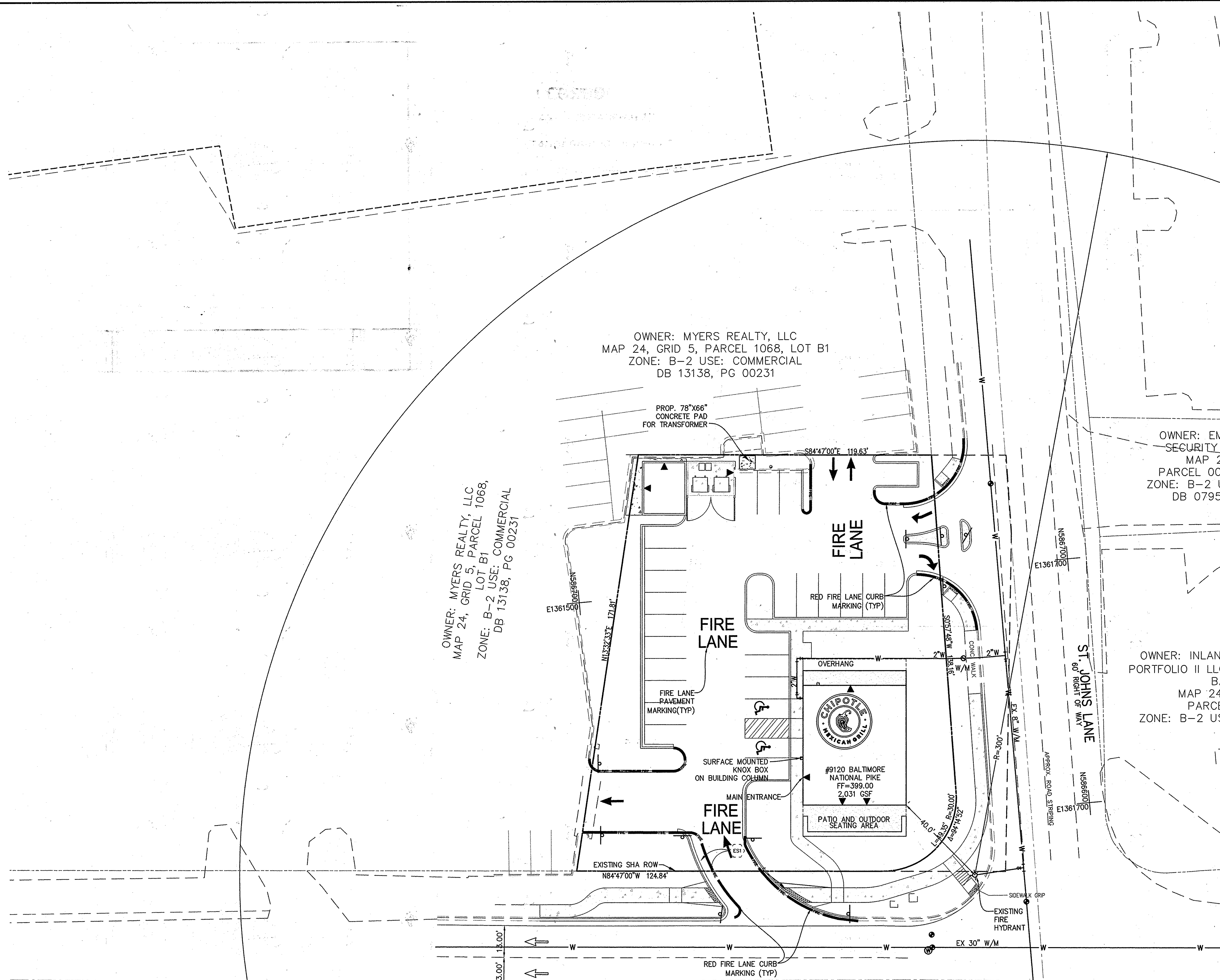
CHIPOTLE MEXICAN GRILL #1759:
ST. JOHN'S PLAZA-ELLCOTT CITY
ELLCOTT CITY, HOWARD COUNTY, MARYLAND
ELECTION DISTRICT #2

PROFESSIONAL CERTIFICATION. I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL LANDSCAPE ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NO. 3609 EXPIRATION DATE: 01/28/2017

PLAN STATUS

3/13/13	SDP 1ST SUBMITTAL
10/01/13	SDP 2ND SUBMITTAL
12/18/13	SDP 3RD SUBMITTAL
5/13/14	SDP 4TH SUBMITTAL
6/27/14	SDP 5TH SUBMITTAL
11/12/15	MYLAR SUBMITTAL

DATE	DESCRIPTION
DAP	SH STL
DESIGN	DRAWN CHKD
SCALE	H: N/A V: 1/4"
JOB No.	6533-02-001
DATE	FILE - NOVEMBER 2015
FILE No.	6533-D-CP-003



MD STATE GRID NAD 83/91
N

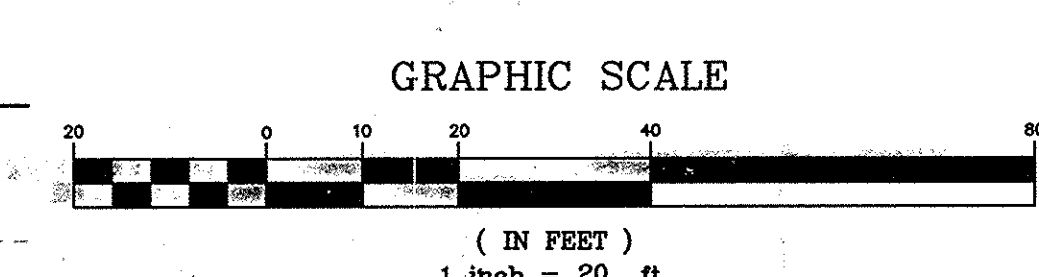
OWNER: MYERS REALTY, LLC
MAP 24, GRID 5, PARCEL 1068, LOT B1
ZONE: B-2 USE: COMMERCIAL
DB 13138, PG 00231

OWNER: EMI SECURITY I
MAP 24
PARCEL 003
ZONE: B-2 U
DB 07956

OWNER: INLANC PORTFOLIO II LLC
BA
MAP 24,
PARCEL
ZONE: B-2 U

OWNER: MYERS REALTY, LLC
MAP 24, GRID 5, PARCEL 1068,
LOT B1
ZONE: B-2 USE: COMMERCIAL
DB 13138, PG 00231

NOTES:
ALL RED PAINTED CURB AS SHOWN FOR FIRE LANE CONTROL SHALL NOT BE MAINTAINED BY SHA.



APPROVED: FOR PUBLIC OR PRIVATE (pick only one) WATER AND PUBLIC OR PRIVATE (pick only one) SEWERAGE SYSTEMS
County Health Officer: _____ Date: _____
Howard County Health Department

APPROVED: DEPARTMENT OF PLANNING AND ZONING
Chief, Development Engineering Division: _____ Date: 12-21-15
Chief, Division of Land Development: _____ Date: 12-21-15
Director: _____ Date: 12-22-15

CHIPOTLE MEXICAN GRILL

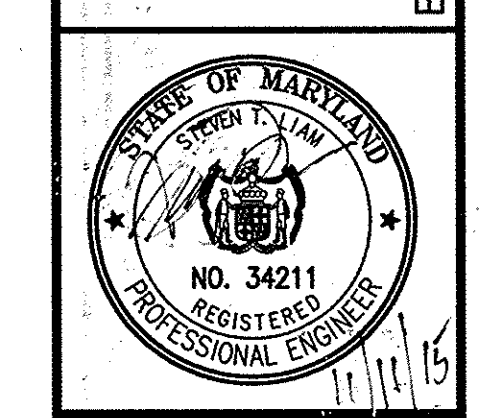
PROPERTY OWNER:
MYERS REALTY LLC
2800 QUARRY LAKE DR
SUITE 340
BALTIMORE, MD 21209-3764

PARCEL INFORMATION:
9120 BALTIMORE NATIONAL PIKE
ELLICOTT CITY, MD 21042
TAX MAP 24, GRID 4, PARCEL 1027, LOT A1
ELECTION DISTRICT 2
ZONE: B-2 USE: COMMERCIAL

Bowman CONSULTING
Bowman Consulting Group, Ltd.
14020 Thunderbolt Place
Suite 300
Chantilly, Virginia 20151
Telephone: (703) 464-1000
Fax: (703) 481-9720
www.bowmanconsulting.com

red
architecture + planning LLC
855 GRANDVIEW AVENUE
SUITE 285
COLUMBUS, OHIO 43215
PHONE: 614.487.8770
FAX: 614.487.8777

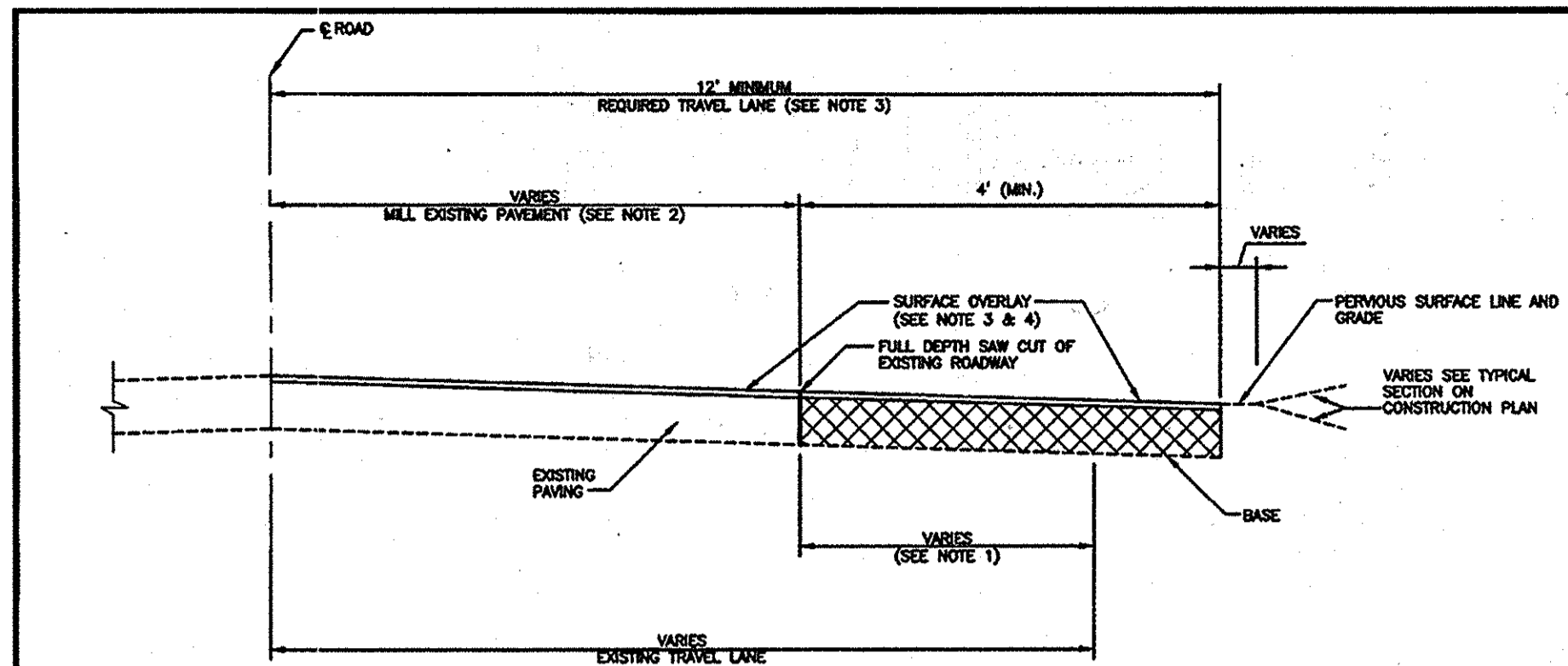
FIRE SERVICE PLAN
SITE DEVELOPMENT PLAN
CHIPOTLE MEXICAN GRILL #1759:
ST. JOHN'S PLAZA-ELLICOTT CITY
ELECTION DISTRICT #2
ELLICOTT CITY, HOWARD COUNTY, MARYLAND



PROFESSIONAL CERTIFICATION:
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 34211
EXPIRATION DATE: 04/15/2017

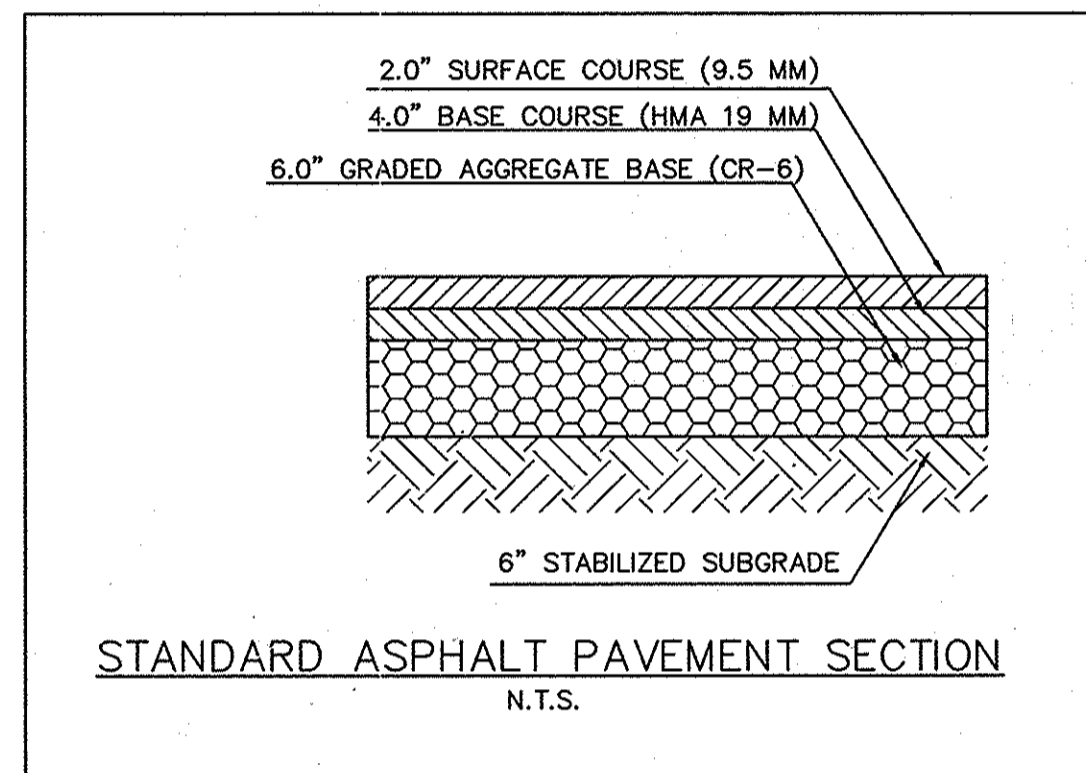
PLAN STATUS	
3/13/13	SDP 1ST SUBMITTAL
10/01/13	SDP 2ND SUBMITTAL
12/18/13	SDP 3RD SUBMITTAL
5/13/14	SDP 4TH SUBMITTAL
6/27/14	SDP 5TH SUBMITTAL
11/12/15	MYLAR SUBMITTAL

DATE	DESCRIPTION
DAP DESIGN	SH DRAWN STL CHKD
SCALE	H: 1"=20' V:
JOB No.	6533-02-001
DATE	NOVEMBER 2015
FILE No.	6533-DP-003
SHEET	20 OF 24

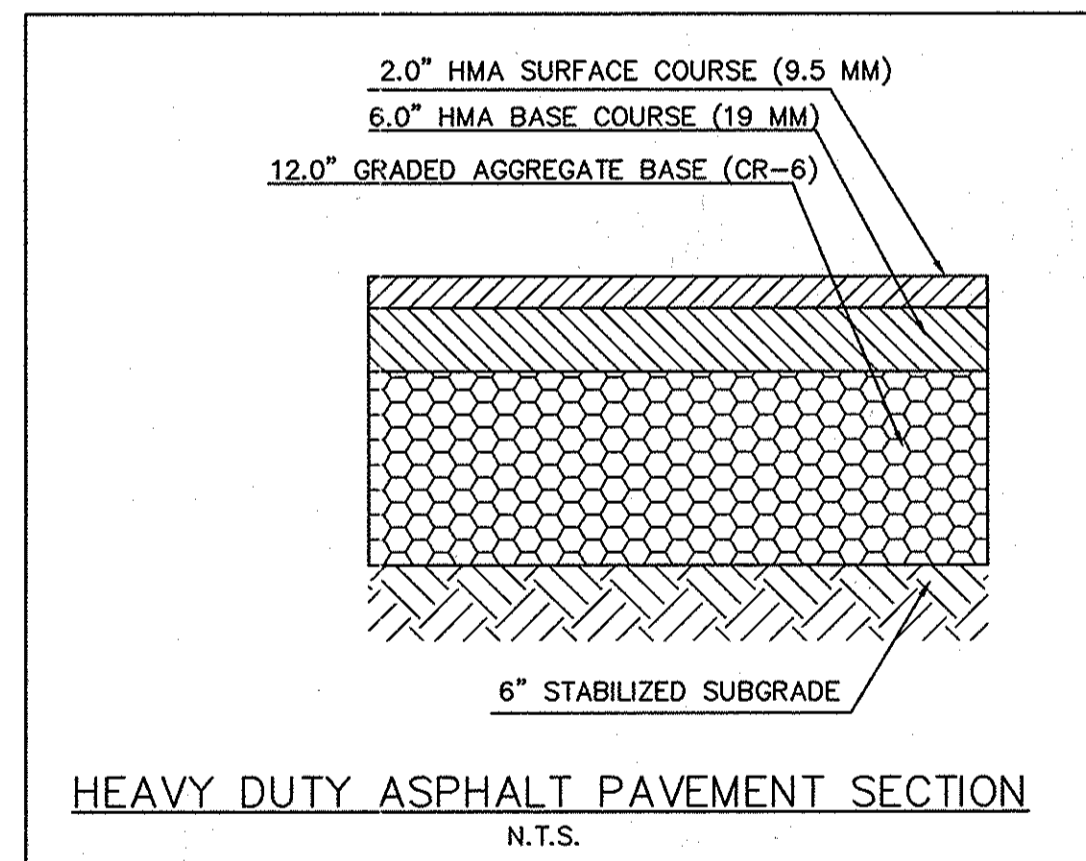


- NOTES:**
1. WHEN EXISTING TRAVEL LANE IS LESS THAN THE REQUIRED 12' LANE CONTRACTOR SHALL REMOVE A MINIMUM OF 1" FULL DEPTH OF THE EXISTING ROADWAY. IF CURB AND GUTTER IS INSTALLED, PROVIDE A MINIMUM OF 4" OF WIDENING FROM FACE OF GUTTER PAV.
 2. THE EXISTING PAVEMENT TO BE RESURFACED SHALL BE MILLED AT DEPTH OF 1 1/2" (MINIMUM).
 3. THE RESURFACING SHALL BE PLACED TO THE CENTERLINE OF THE ROADWAY.
 4. RESURFACING COURSE TO BE EQUAL TO THE SURFACE COURSE OF THE TYPICAL PAVEMENT SECTION.

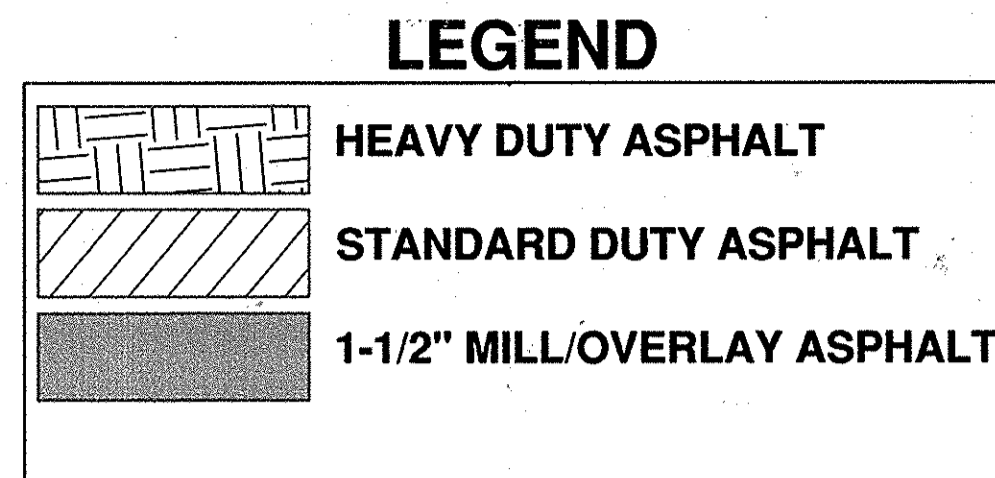
Howard County, Maryland
Department of Public Works
Existing Roadway
Widening Strip
Detail
R-1.08



PAVING NOTE:
PAVEMENT DESIGN IS BASED ON A CBR OF 7. FINAL PAVEMENT SECTION IS SUBJECT TO CHANGE PENDING GEOTECHNICAL REPORT AND CBR TESTING BY THE GENERAL CONTRACTOR.

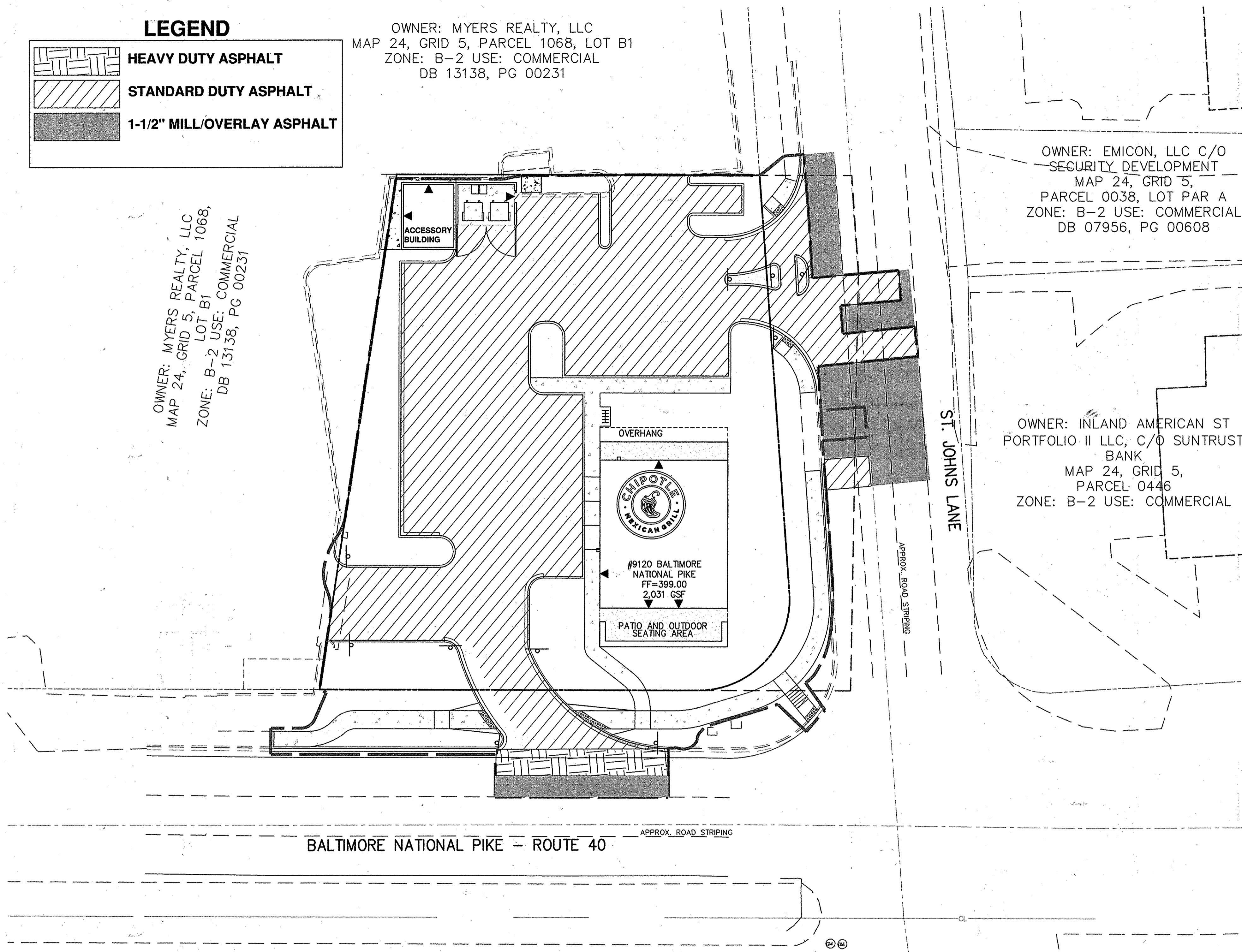


PAVING NOTE:
PAVEMENT DESIGN IS BASED ON A CBR OF 7. FINAL PAVEMENT SECTION IS SUBJECT TO CHANGE PENDING GEOTECHNICAL REPORT AND CBR TESTING BY THE GENERAL CONTRACTOR.



OWNER: MYERS REALTY, LLC
MAP 24, GRID 5, PARCEL 1068, LOT B1
ZONE: B-2 USE: COMMERCIAL
DB 13138, PG 00231

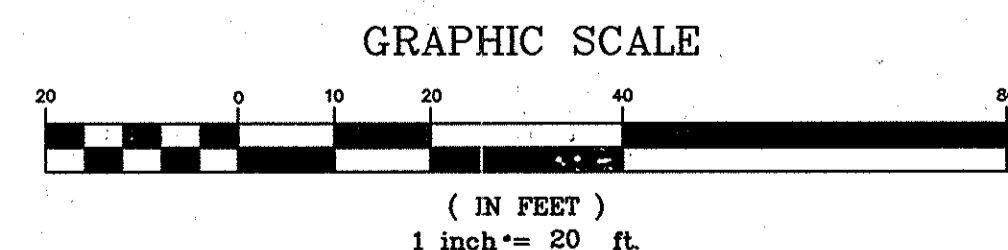
OWNER: MYERS REALTY, LLC
MAP 24, GRID 5, PARCEL 1068,
LOT B1
ZONE: B-2 USE: COMMERCIAL
DB 13138, PG 00231



OWNER: EMICON, LLC C/O
SECURITY DEVELOPMENT
MAP 24, GRID 5,
PARCEL 0038, LOT PAR A
ZONE: B-2 USE: COMMERCIAL
DB 07956, PG 00608

OWNER: INLAND AMERICAN ST
PORTFOLIO II LLC, C/O SUNTRUST
BANK
MAP 24, GRID 5,
PARCEL 0446
ZONE: B-2 USE: COMMERCIAL

- NOTES:**
1. PROPOSED ASPHALT PAVING AND MILL/OVERLAY PLACEMENT IS THE RESPONSIBILITY OF THE TENANTS GENERAL CONTRACTOR.
 2. CONTRACTOR TO VERIFY GRAVEL AGGREGATE BASE SHALL EXTEND 6" BEHIND THE BACK OF THE CURB AND GUTTER WITHIN SHA RIGHT-OF-WAY TO INSURE COMPACTION BEANEATH THE CURB AND GUTTER.
 3. CONTRACTOR TO VERIFY EXISTING PAVEMENT STRIPING AND CARRY MILLING AND/OR PAVING OUT TO NEAREST LANE STRIPING.



APPROVED: DEPARTMENT OF PLANNING AND ZONING
12-3-15
Chief, Development Engineering Division
Date
12-31-15
Chief, Division of Land Development
Date
12-22-15
Director

CHIPOTLE MEXICAN GRILL

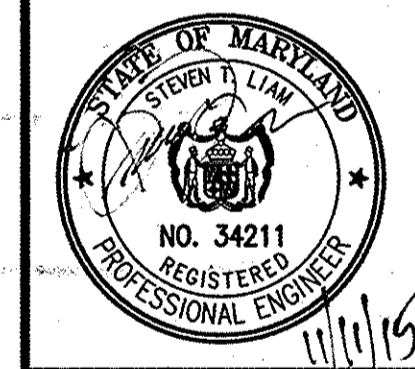
PROPERTY OWNER:
MYERS REALTY LLC
2800 QUARRY LAKE DR
SUITE 340
BALTIMORE, MD 21209-3764

PARCEL INFORMATION:
9120 BALTIMORE NATIONAL PIKE
ELLICOTT CITY, MD 21042
TAX MAP 24, GRID 4, PARCEL 1027, LOT A1
ELECTION DISTRICT 2
ZONED: B-2 USE: COMMERCIAL

APPROVED: FOR PUBLIC OR PRIVATE (not only one) WATER AND PUBLIC OR PRIVATE (not only one) SEWERAGE SYSTEMS
County Health Officer
Date
Howard County Health Department

Bowman CONSULTING
Bowman Consulting Group, Ltd.
14020 Thunderbolt Place
Suite 300
Chantilly, Virginia 20151
Telephone: (703) 464-1000
Fax: (703) 481-9720
www.bowmanconsulting.com
© Bowman Consulting Group, Ltd.

PAVEMENT PLAN
SITE DEVELOPMENT PLAN
CHIPOTLE MEXICAN GRILL #1759:
ST. JOHN'S PLAZA-ELLICOTT CITY
ELECTION DISTRICT #2
ELLICOTT CITY, HOWARD COUNTY, MARYLAND



PROFESSIONAL CERTIFICATION.
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 34211 EXPIRATION DATE: 04/15/2017

PLAN STATUS	
3/13/13	SDP 1ST SUBMITTAL
10/01/13	SDP 2ND SUBMITTAL
12/18/13	SDP 3RD SUBMITTAL
5/13/14	SDP 4TH SUBMITTAL
6/27/14	SDP 5TH SUBMITTAL
11/12/15	MYLAR SUBMITTAL

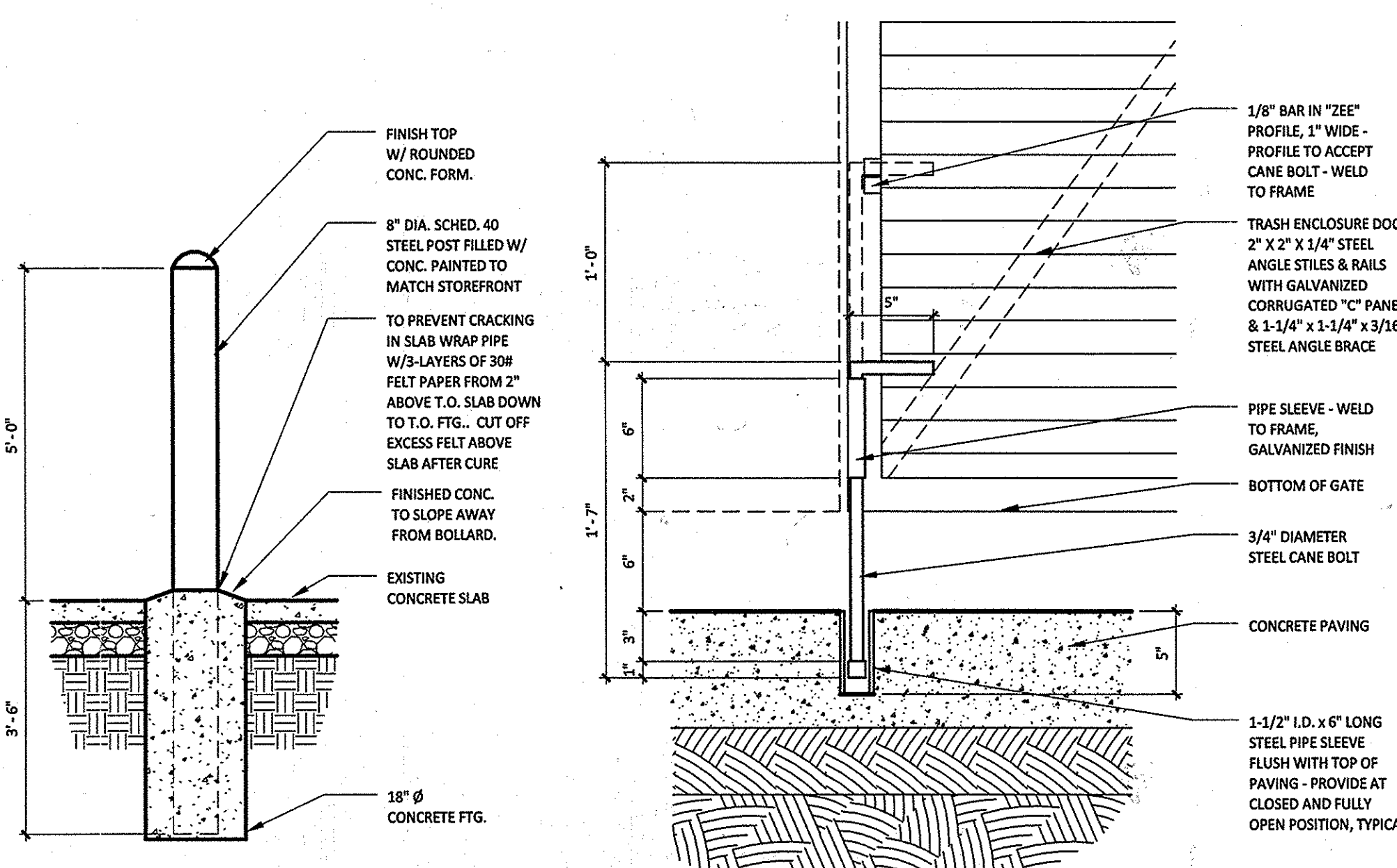
DATE	DESCRIPTION
DAP DESIGN	CDL DRAWN
	STL CHKD
SCALE	H: 1"=20'
	V: 1"=2'
JOB No.	6533-02-001
DATE :	NOVEMBER 2015
FILE No.	6533-D-CP-003
SHEET	21 OF 24

FOR INFORMATIONAL PURPOSES ONLY!

DUMPSTER ENCLOSURE FINISH SCHEDULE

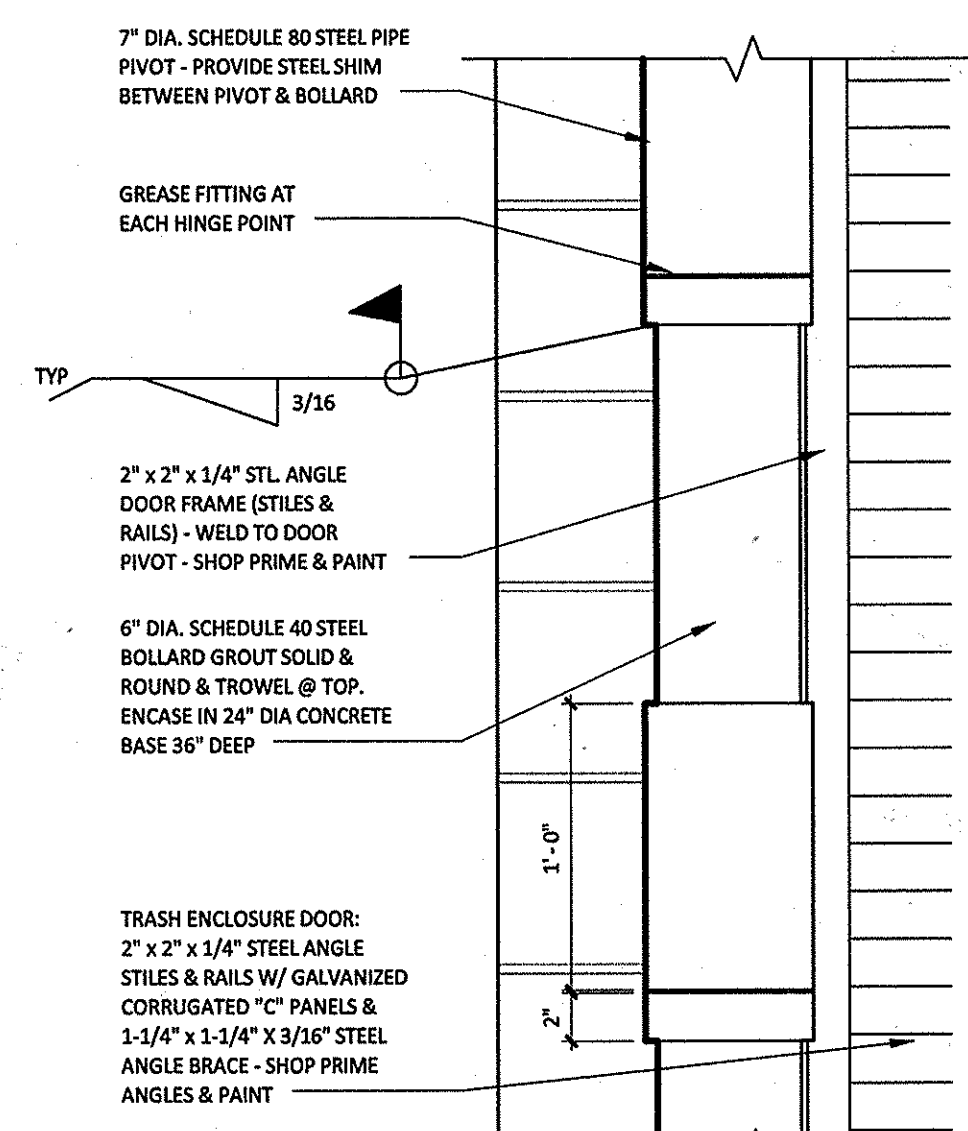
MATERIAL	COLOR/FINISH
CMU - EXTERIOR	SPLIT FACED CMU - COLOR TO MATCH MAIN BUILDING - SPEC TO BE APPROVED BY ARCHITECT
CMU - INTERIOR	SPLIT FACED CMU - COLOR TO MATCH MAIN BUILDING - SPEC TO BE APPROVED BY ARCHITECT
METAL COPING	PREFINISHED TO MATCH MAIN BUILDING
CORRUGATED METAL & DOOR FRAMES	PAINTED TO MATCH MAIN BUILDING STOREFRONT

APPROVED: DEPARTMENT OF PLANNING AND ZONING
 Chief, Development Engineering Division
 Chief, Division of Land Development
 Director

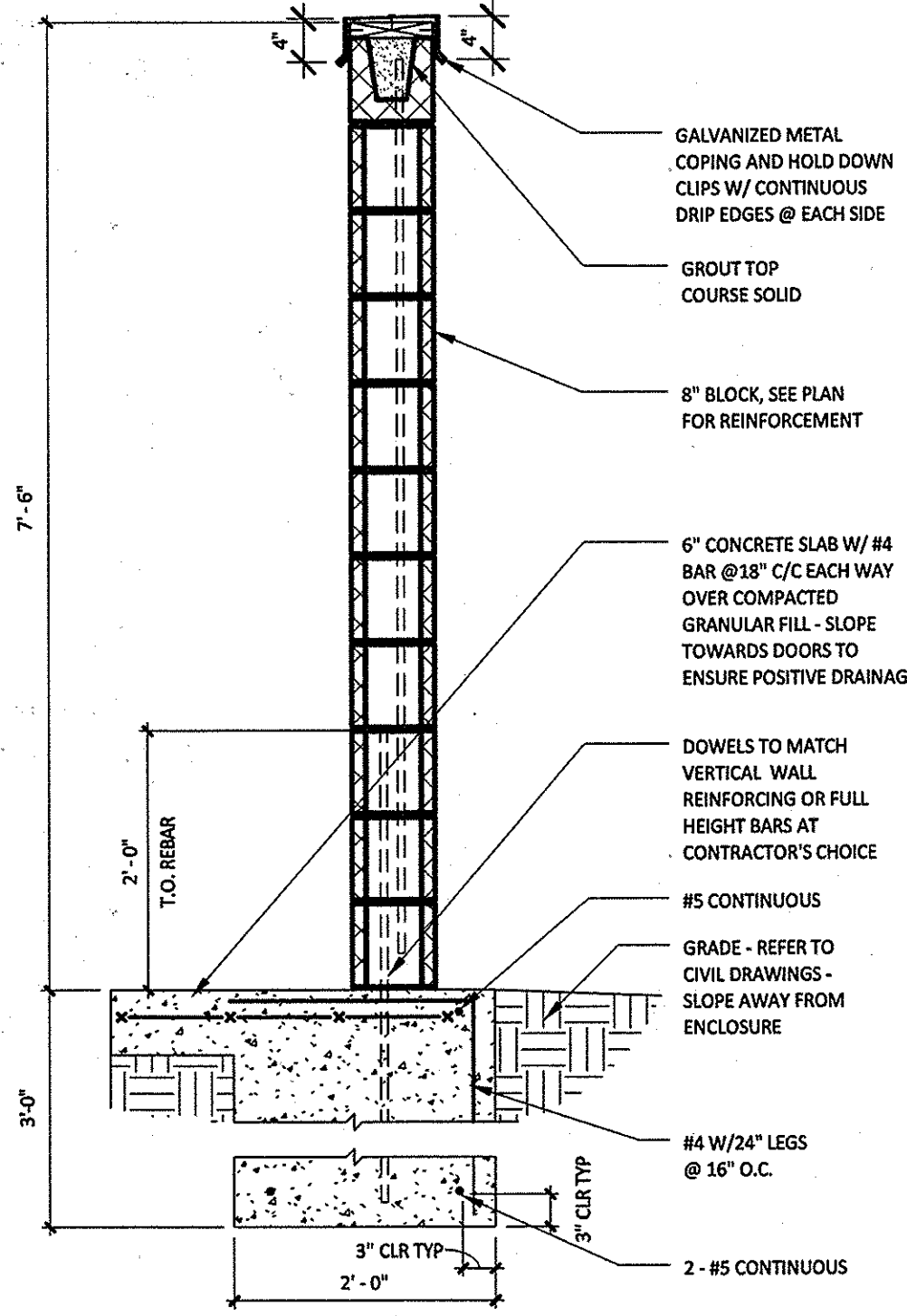


12 A101 TYP. BOLLARD DETAIL 1/2" = 1'-0"

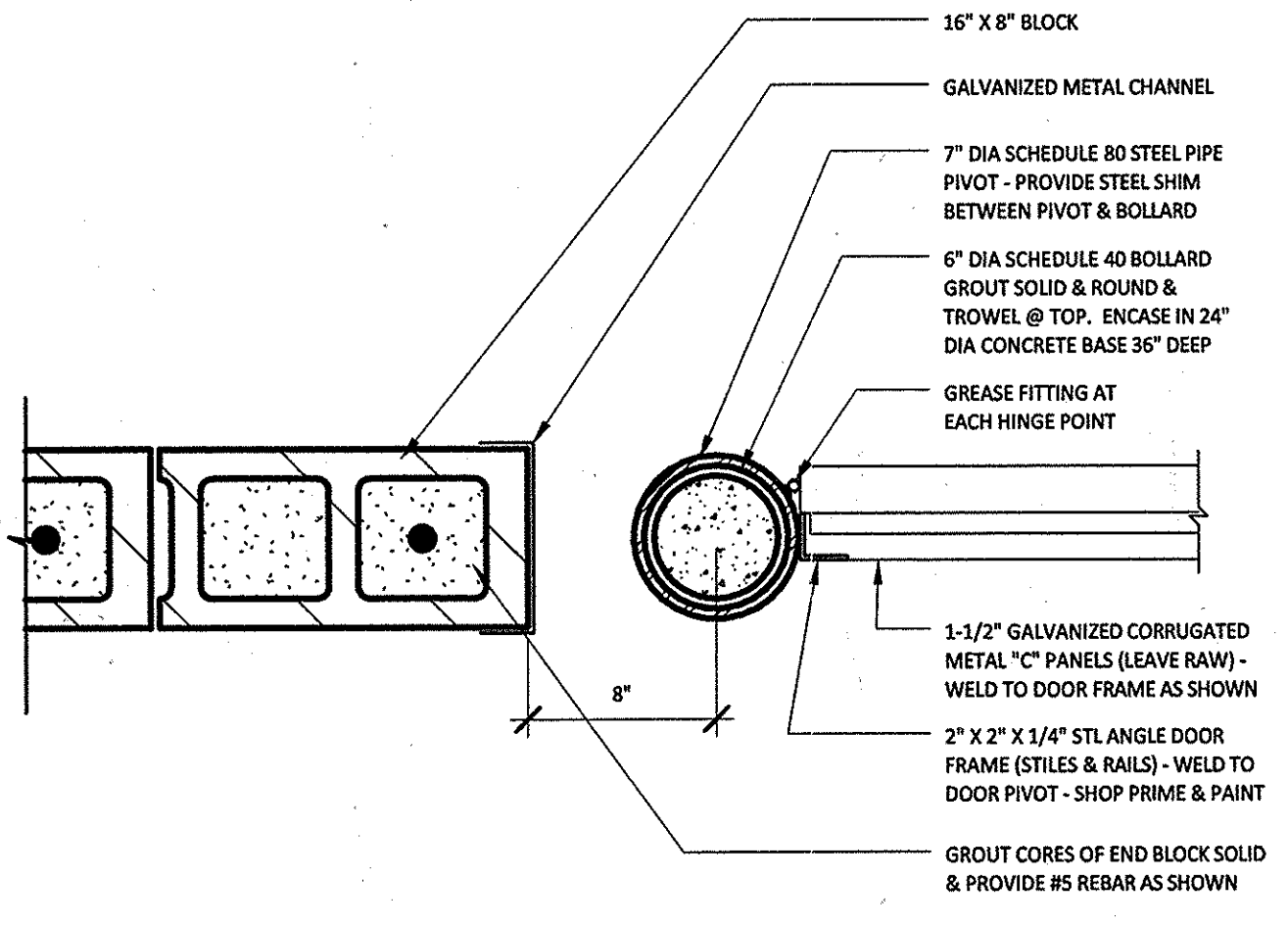
11 A101 TYPICAL CANE BOLT DETAIL 1 1/2" = 1'-0"



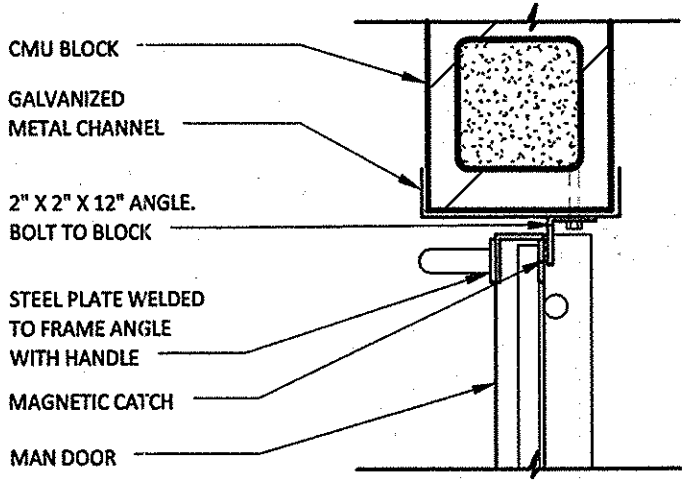
10 A101 DUMPSTER DOOR PIVOT 1 1/2" = 1'-0"



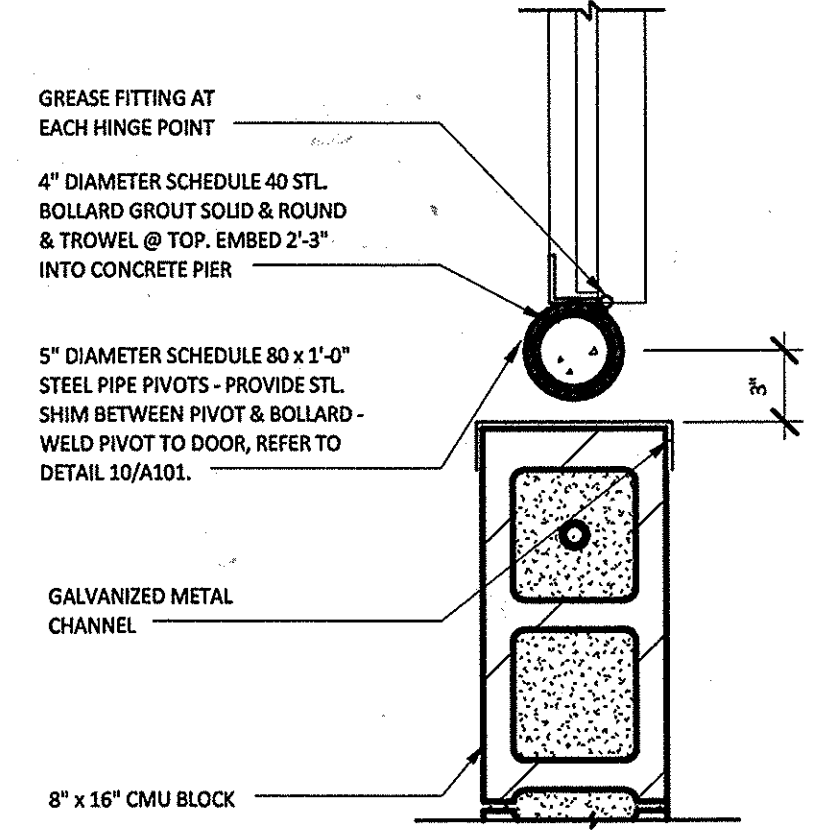
9 A101 DUMPSTER WALL DETAIL 3/4" = 1'-0"



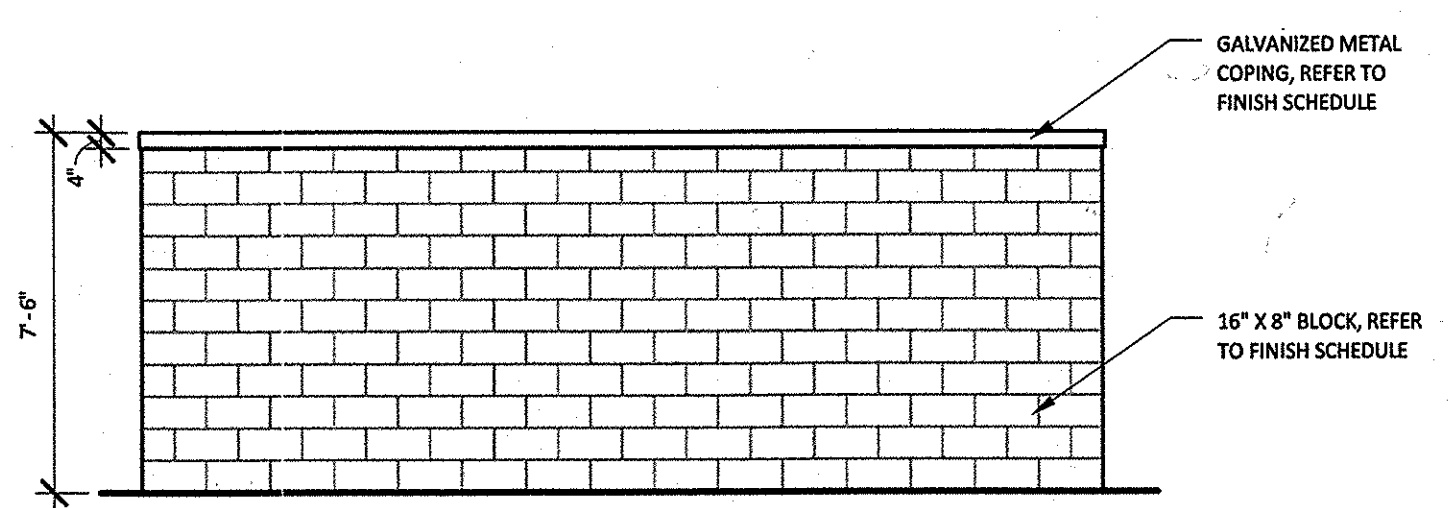
8 A101 DUMPSTER WALL DETAIL 1 1/2" = 1'-0"



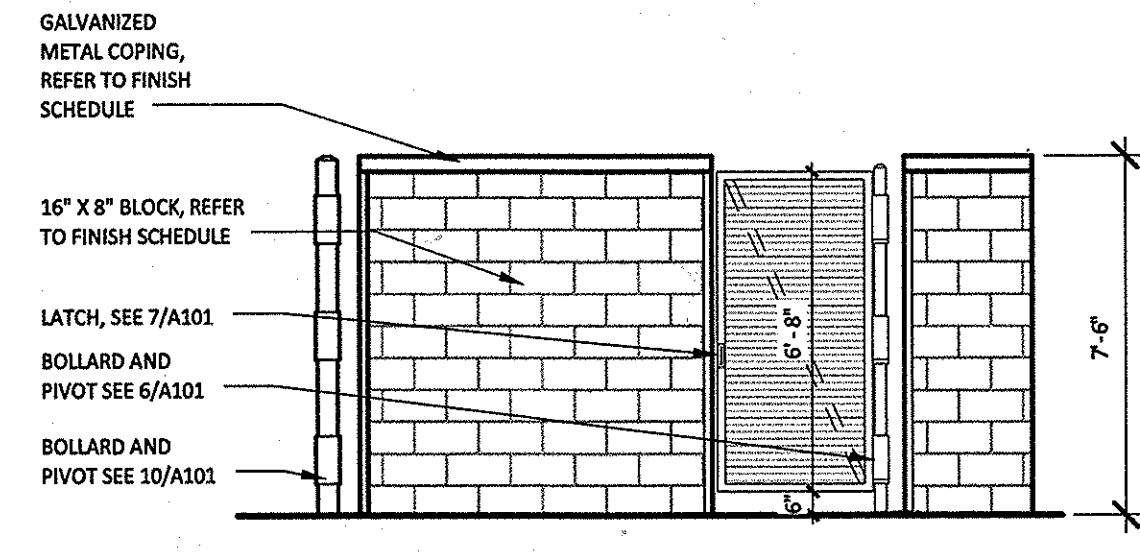
7 A101 MAN DOOR LATCH DETAIL 1 1/2" = 1'-0"



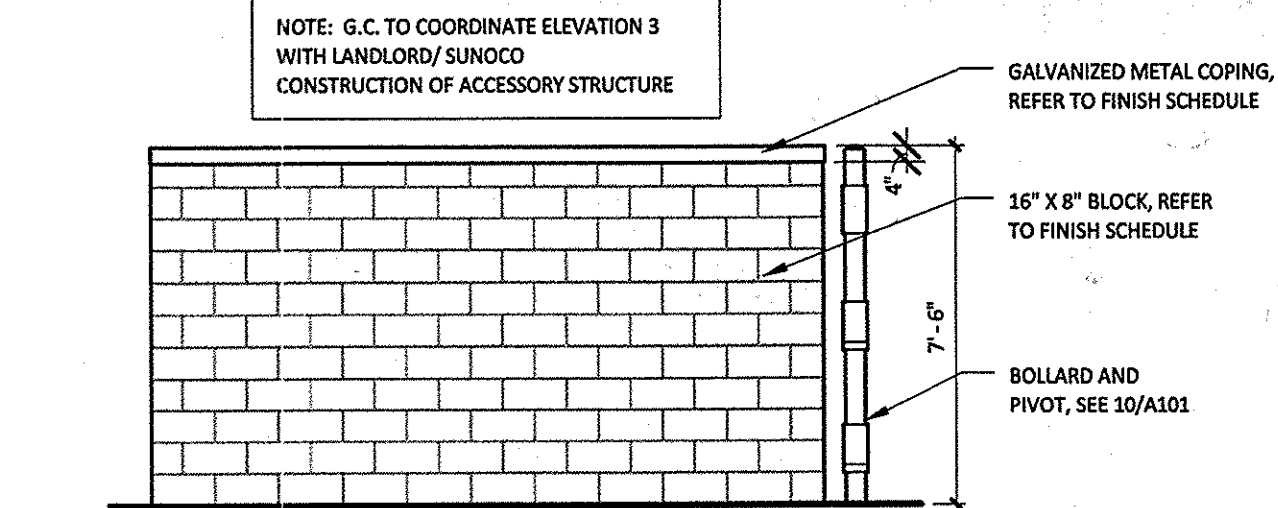
6 A101 MAN DOOR PIVOT DETAIL 1 1/2" = 1'-0"



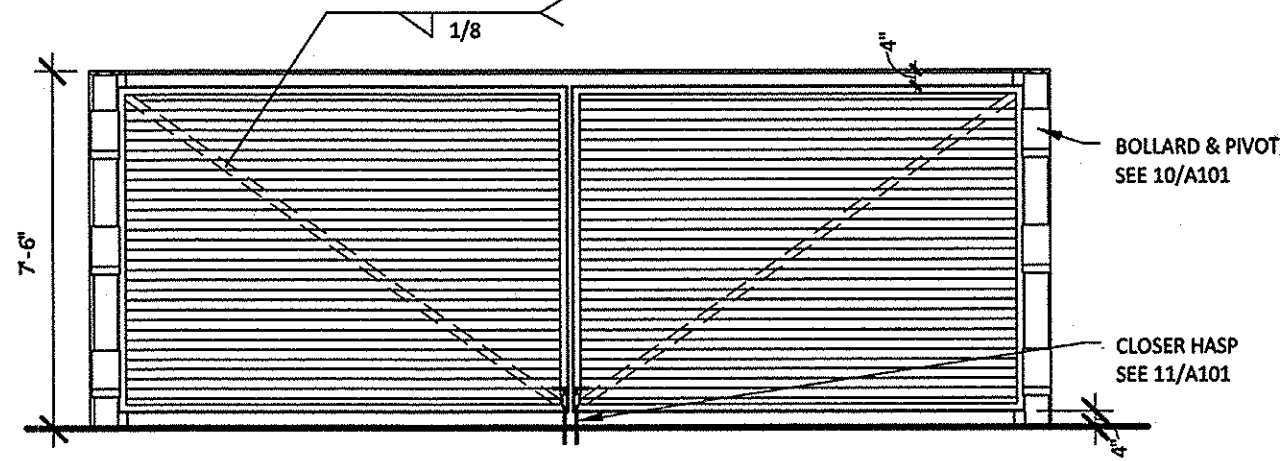
5 A101 DUMPSTER ELEVATION 1/4" = 1'-0"



4 A101 DUMPSTER ELEVATION 1/4" = 1'-0"



3 A101 DUMPSTER ELEVATION 1/4" = 1'-0"

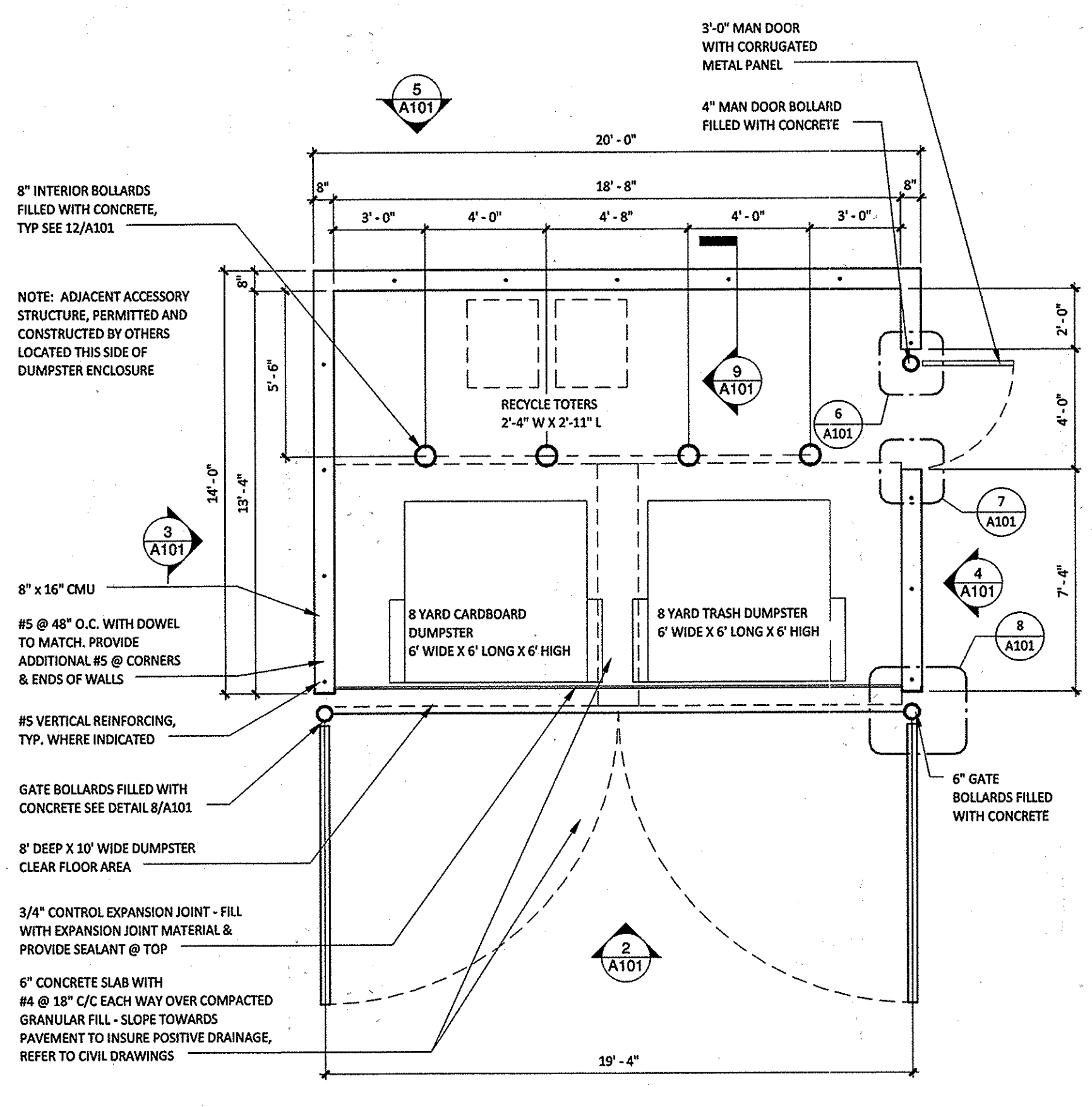


2 A101 DUMPSTER ELEVATION 1/4" = 1'-0"

- NOTE: DUMPSTER ENCLOSURE FINISHES ARE TO BE AS FOLLOWS UNLESS SPECIFIED OTHERWISE.
- ALL CORRUGATED METAL PANELS TO BE PAINTED TO MATCH STOREFRONT ON MAIN BUILDING.
 - BOLLARDS AND PIPE HINGES TO BE PAINTED WITH TWO (2) COATS CHARCOAL TO MATCH STOREFRONT SYSTEM.
 - CMU PAINTED TO MATCH BUILDING.
 - ANGLED FRAME WORK FOR CORRUGATED DUMPSTER DOOR PANELS ARE TO BE PAINTED WITH TWO (2) COATS OF CHARCOAL PAINT TO MATCH STOREFRONT SYSTEM.
 - METAL COPING TO MATCH METAL COPING ON BUILDING.

- NOTE: ADJACENT ACCESSORY STRUCTURE, PERMITTED AND CONSTRUCTED BY OTHERS LOCATED THIS SIDE OF DUMPSTER ENCLOSURE

1 A101 DUMPSTER PLAN 1/4" = 1'-0"



red architecture + planning
 855 GRANDVIEW AVENUE SUITE 295
 COLUMBUS, OHIO 43215
 PHONE: 614.487.8770
 FAX: 614.487.8777

PROFESSIONAL CERTIFICATION:
 I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NO. 19097, EXPIRATION DATE: 11.02.2015

CHIPOTLE MEXICAN GRILL, INC.
 1401 WINDOOP STREET, SUITE 500
 DENVER, COLORADO 80202
 TELEPHONE: (800) 595-4000
 FAX: (303) 359-4024
 INTERNET: WWW.CHIPOTLE.COM

STORE NO.: 1759
 ELLICOTT CITY
 9120 Baltimore National Pike
 Ellicott City, MD 21042

Issue Record:
 11.10.2015 MYLAR SUBMITTAL

Revisions:

Drawn: TC, BP
 Checked: TC

Project No.: CMG107

Contents:
 Architectural Site Details

A101
 Date of Last Print: 11.10.2015
 22 of 24 SDP.13-057

FOR INFORMATIONAL PURPOSES ONLY!

APPROVED: DEPARTMENT OF PLANNING AND ZONING
 Chief, Development Engineering Division
 Chief, Division of Land Development
 Director

Date: 12-3-15
 Date: 12-21-15
 Date: 12-22-15

EXTERIOR FINISH LEGEND

MATERIAL	COLOR/FINISH
EIFS	WHITE - COLOR MATCH PPG 518-1, "DELICATE WHITE"
CEM-CLAD PAINTED RED	PAINTED ONE OF THREE PPG RED COLORS; INSTALLED IN A STACKED BOND PATTERN AS SHOWN ON ELEVATIONS VERMILION #2002-10 RED ROCK #2005-10 BURNING BUSH #332-7
METAL COPING	PAINT PPG "KNIGHT'S ARMOR"
ROOF SCREEN	CHARCOAL
STOREFRONT	CHARCOAL

GENERAL NOTES

- REFER TO EXTERIOR ELEVATIONS THIS SHEET FOR EXTERIOR SIGNAGE LOCATIONS, SIZES & DESCRIPTIONS.
- EXTERIOR SIGNAGE PROVIDED BY TSV AND INSTALLED BY TSV. GC TO MAKE FINAL CONNECTION.
- METAL CANOPY AND ROOF SCREEN ARE AVAILABLE FROM AMERICAN PRODUCTS, INC. (API), PHONE: (813) 925-0344, E-MAIL: BIDS@AMERICANPROD.COM

red

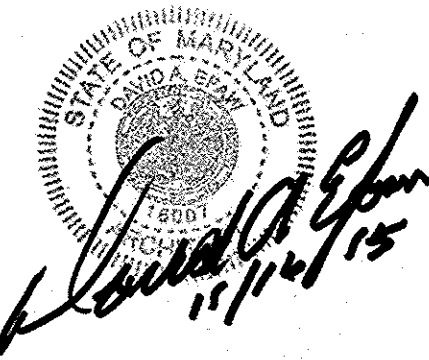
architecture + planning

855 GRANDVIEW AVENUE SUITE 295

COLUMBUS, OHIO 43215

PHONE: 614.487.8770

FAX: 614.487.8777



PROFESSIONAL CERTIFICATION
 I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NO. 16007, EXPIRATION DATE: 11.02.2016

COPYRIGHT 2015
 THIS DRAWING IS AN INSTRUMENT OF SERVICE AND AS SUCH REMAINS THE PROPERTY OF CHIPOTLE MEXICAN GRILL, INC. PERMISSION FOR USE OF THIS DOCUMENT IS LIMITED AND CAN BE EXTENDED ONLY BY WRITTEN AGREEMENT WITH CHIPOTLE MEXICAN GRILL, INC.



CHIPOTLE MEXICAN GRILL, INC.
 1401 WINDYKOPF STREET, SUITE 500
 DENVER, COLORADO 80202
 TELEPHONE: (303) 595-4000
 FAX: (303) 595-4004
 INTERNET: WWW.CHIPOTLE.COM

STORE NO.: 1759

ELLCOTT CITY
 9120 Baltimore National Pike
 Ellicott City, MD 21042

Issue Record:

11.10.2015 MYLAR SUBMITTAL

Revisions:

Drawn: TC, BP Checked: TC

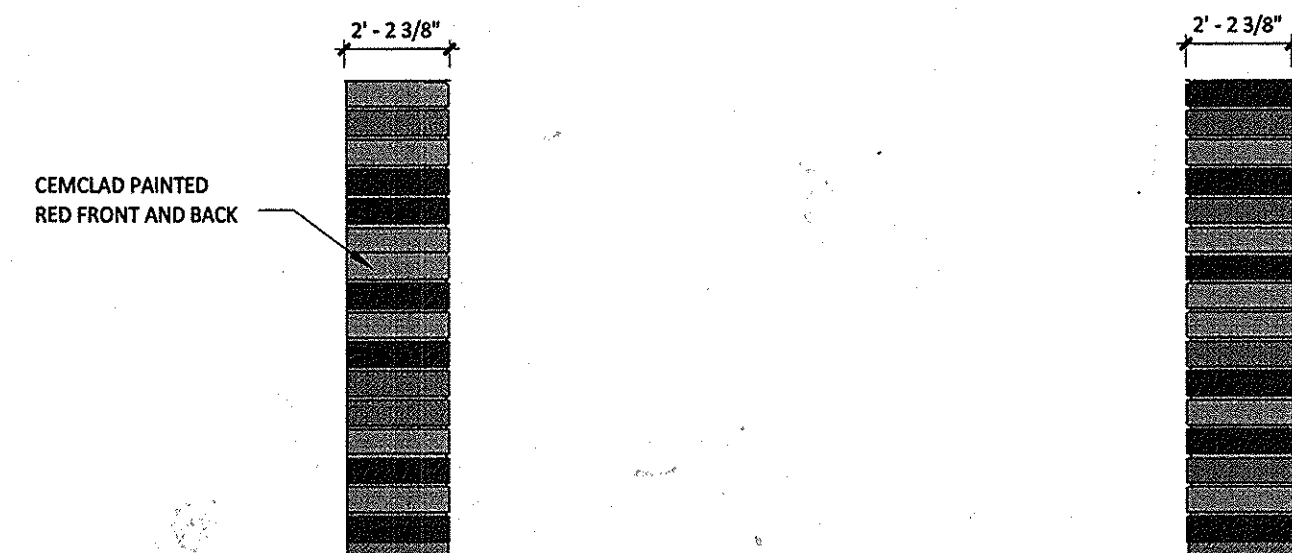
Project No. CMG107

Contents:

Exterior Elevations

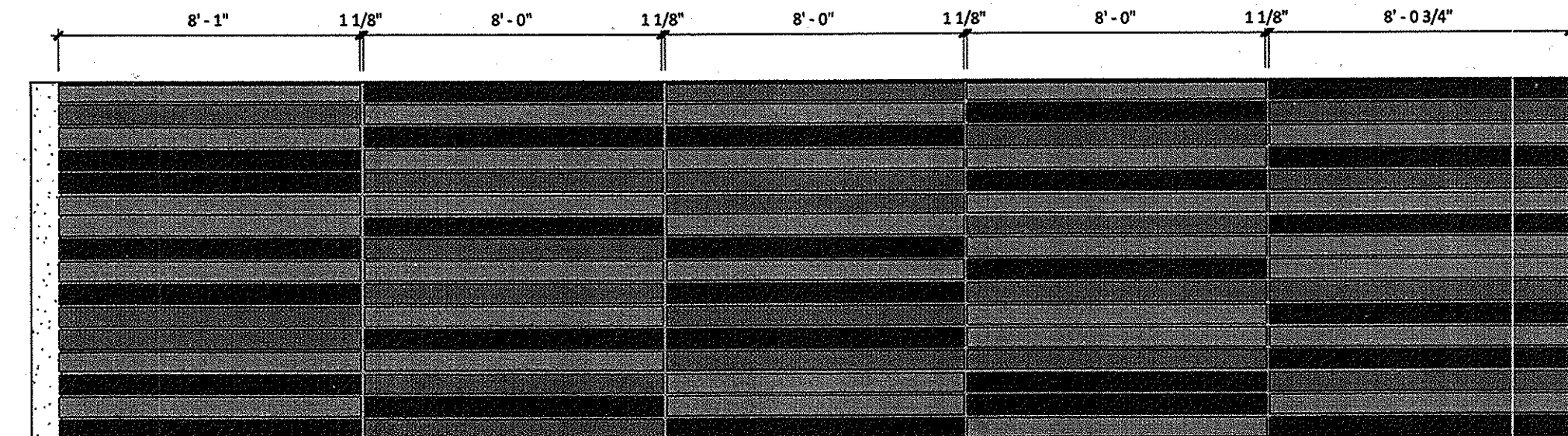
A200

Date of Last Print: 11.10.2015

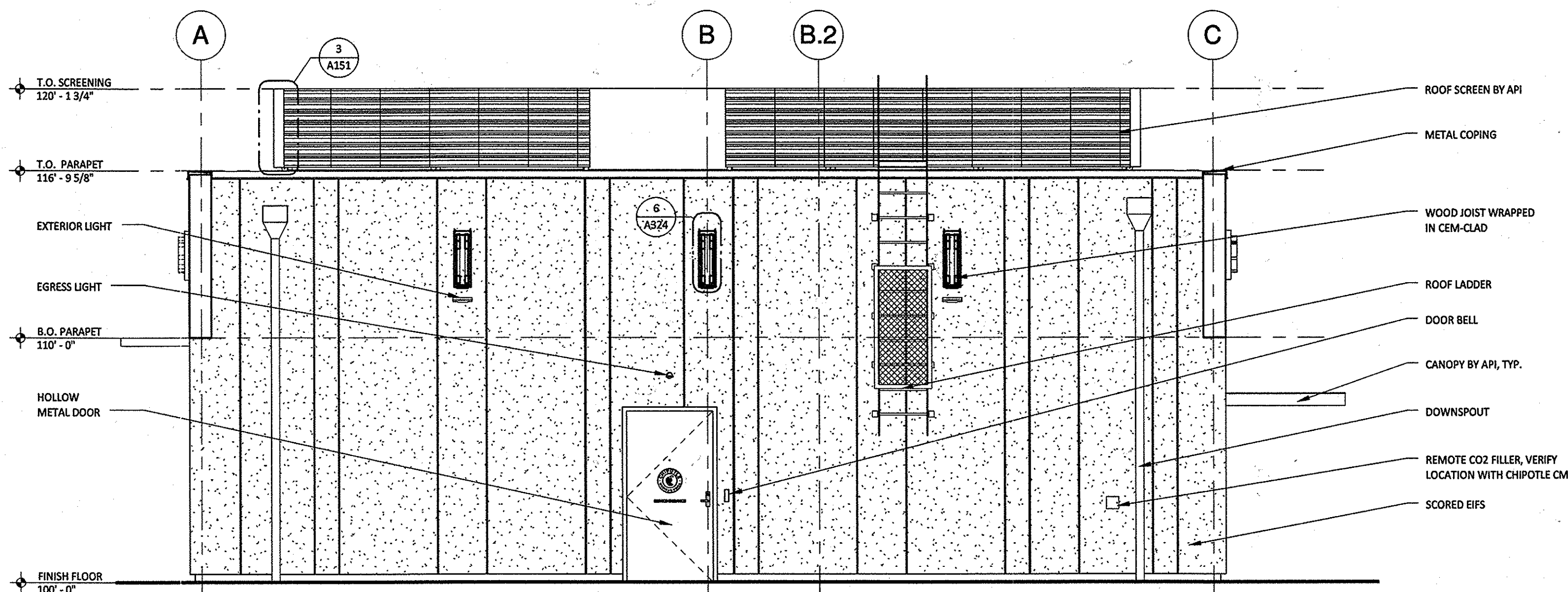


7 EXT ELEV - EAST
 1/4" = 1'-0"

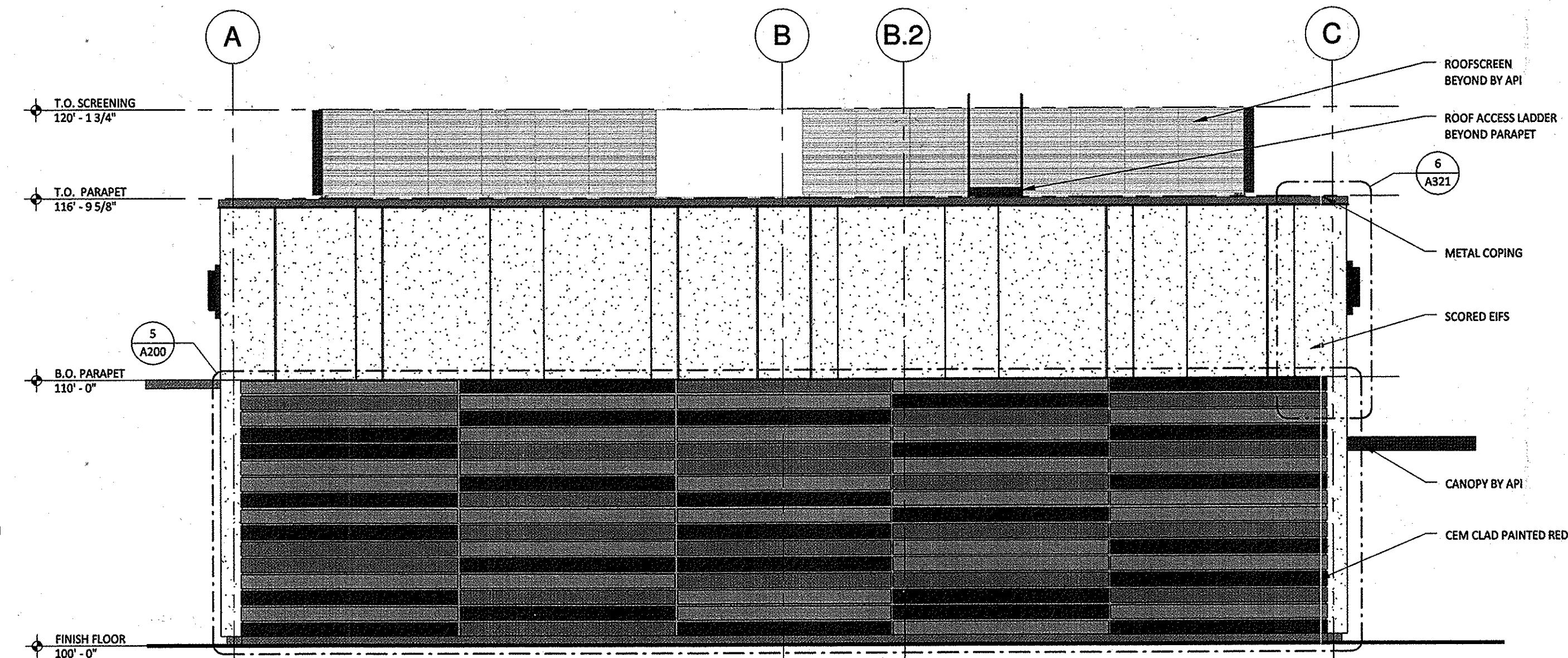
8 EXT ELEV - WEST
 1/4" = 1'-0"



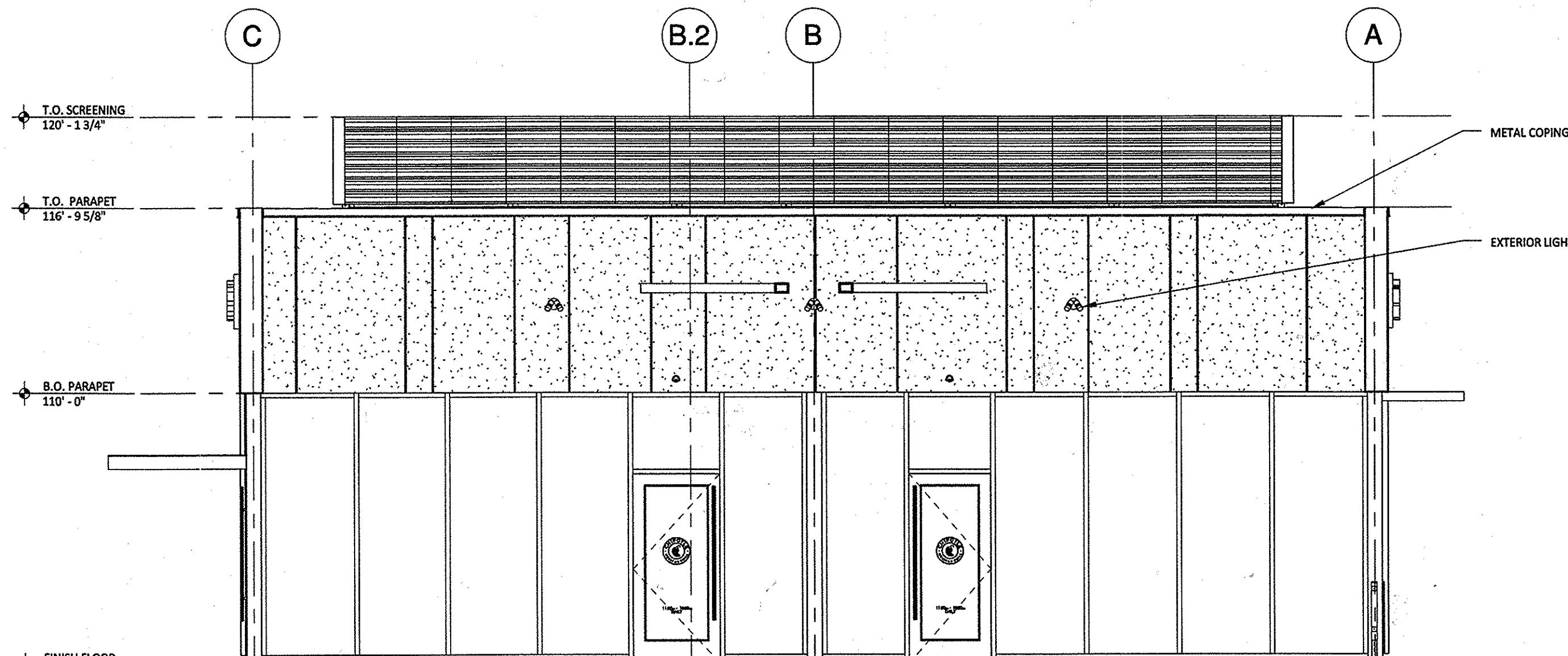
5 EXT ELEV - REAR SCREENING PATTERN DETAIL
 1/4" = 1'-0"



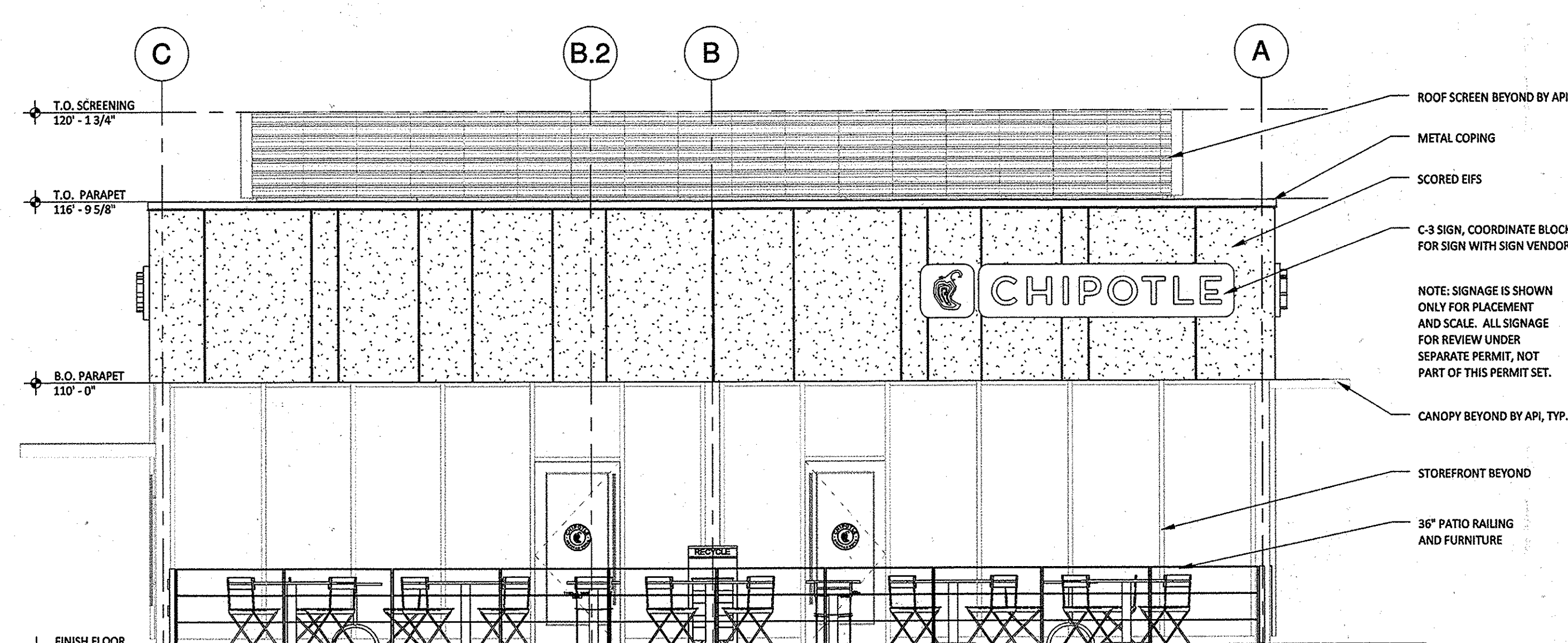
4 EXT ELEV - NORTH
 1/4" = 1'-0"



3 EXT ELEV - NORTH
 1/4" = 1'-0"



2 EXT ELEV - SOUTH
 1/4" = 1'-0"

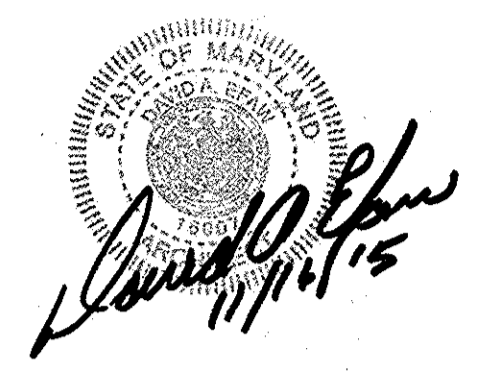


1 EXT ELEV - SOUTH
 1/4" = 1'-0"

FOR INFORMATIONAL PURPOSES ONLY!

APPROVED: DEPARTMENT OF PLANNING AND ZONING
 [Signature] 12-3-15
 Chief, Development Engineering Division Date
 [Signature] 12-21-15
 Chief, Division of Land Development Date
 [Signature] 12-22-15
 Director Date

r e d
 architecture + planning
 855 GRANDVIEW AVENUE
 SUITE 295
 COLUMBUS, OHIO 43215
 PHONE: 614.487.8770
 FAX: 614.487.8777



PROFESSIONAL CERTIFICATION:
 I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NO. 16007, EXPIRATION DATES: 11.02.2018

COPYRIGHT 2015
 THIS DRAWING IS AN INSTRUMENT OF SERVICE AND AS SUCH REMAINS THE PROPERTY OF CHIPOTLE MEXICAN GRILL, INC. PERMISSION FOR USE OF THIS DOCUMENT IS LIMITED AND CAN BE EXTENDED ONLY BY WRITTEN AGREEMENT WITH CHIPOTLE MEXICAN GRILL, INC.



CHIPOTLE MEXICAN GRILL, INC.
 1401 WYNNCOOP STREET, SUITE 500
 DENVER, COLORADO 80202
 TELEPHONE: (303) 595-4000
 FAX: (303) 595-4034
 INTERNET: WWW.CHIPOTLE.COM

STORE NO.: 1759
 ELLICOTT CITY
 9120 Baltimore National Pike
 Elliccott City, MD 21042

Issue Record:

Date	Description
11.10.2015	MYLAR SUBMITTAL

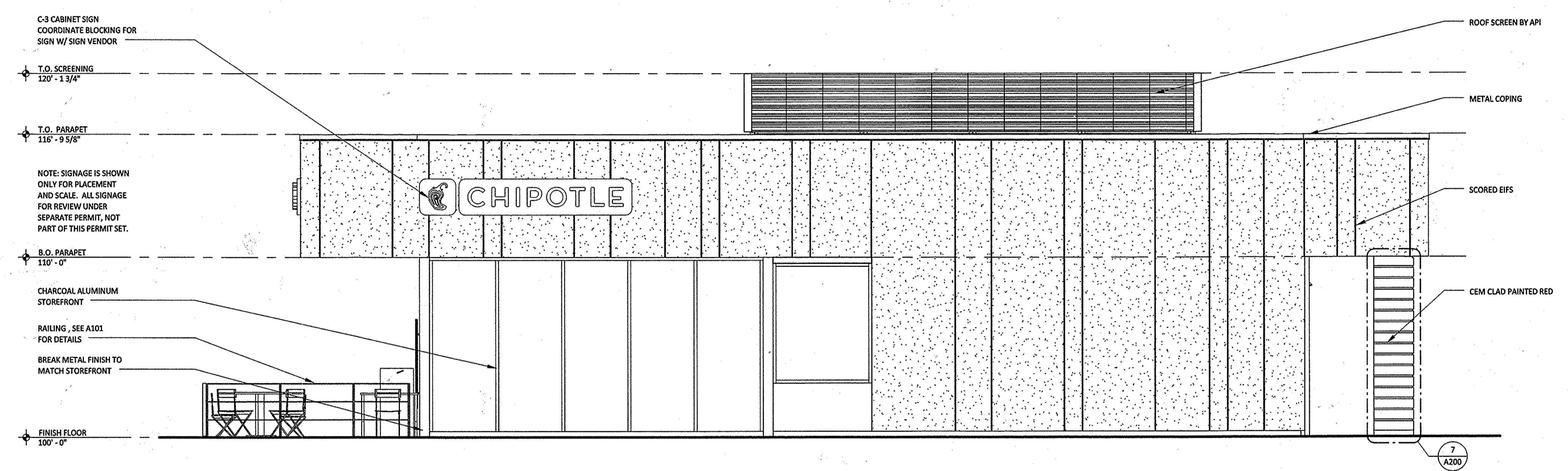
Revisions:

No.	Description

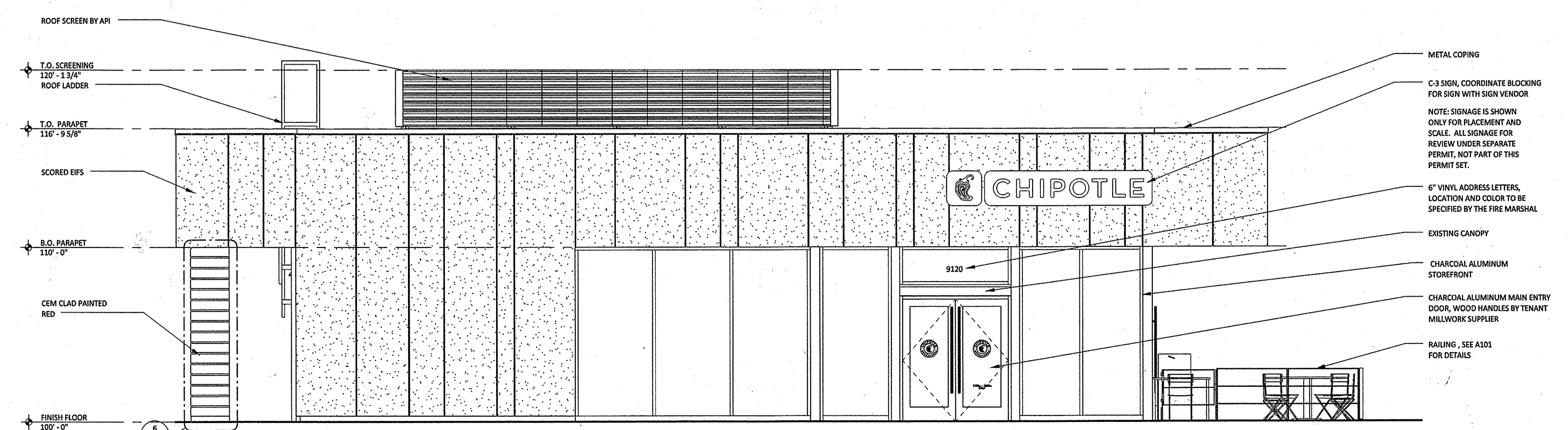
Drawn: _____ Checked: _____
 TC, BP _____ TC _____
 Project No. _____
 CMG107 _____
 Contents:
 Exterior Elevations

A201

Date of Last Print:
 11.10.2015



2 A201 1/4" = 1'-0"
EXT ELEV - EAST



6 A200
1 A201 1/4" = 1'-0"
EXT ELEV - WEST