

LEGEND

- 676 Existing Minor Contour
- 670 Existing Major Contour
- Existing Edge of Road
- Existing Trees/Tree Line
- Existing Curb & Gutter
- EX 15" D Existing Storm Drains
- EX 8" M Existing Water Main
- EX 8" S Existing Sanitary Sewer
- Existing Light
- Tract Boundary
- Utility Easement Line
- Existing Building
- Soils
- Steep Slopes, 15-24.9% Slope
- Matchline

Hydrologic Soil Group—Howard County, Maryland

Hydrologic Soil Group

Map unit symbol	Map unit name	Rating	Area in ACF	Percent of ACF
Gub	Glauville-Lewis land-lobethene complex, 0 to 8 percent slopes	C	1.0	17.7%
Mac	Minor loam, 8 to 15 percent slopes	B	0.0	0.0%
UaB	Urban land-lobethene complex, 0 to 8 percent slopes	D	4.8	82.3%
Totals for Area of Interest			5.8	100.0%

Description

Hydrologic soil groups are based on estimates of runoff potential. Soils are assigned to one of four groups according to the rate of water infiltration when the soils are not protected by vegetation, are thoroughly wet, and receive precipitation from long-duration storms.

The soils in the United States are assigned to four groups (A, B, C, and D) and three dual classes (AD, BD, and CD). The groups are defined as follows:

Group A. Soils having a high infiltration rate (low runoff potential) when thoroughly wet. These consist mainly of deep, well drained to excessively drained sands or gravely sands. These soils have a high rate of water transmission.

Group B. Soils having a moderate infiltration rate when thoroughly wet. These consist chiefly of moderately deep or deep, moderately well drained or well drained soils that have moderately fine texture to moderately coarse texture. These soils have a moderate rate of water transmission.

Group C. Soils having a slow infiltration rate when thoroughly wet. These consist chiefly of soils having a layer that impedes the downward movement of water or soils of moderately fine texture or fine texture. These soils have a slow rate of water transmission.

Group D. Soils having a very slow infiltration rate (high runoff potential) when thoroughly wet. These consist chiefly of clays that have a high shrink-swell potential, soils that have a high water table, soils that have a claypan or clay layer at or near the surface, and soils that are shallow over nearly impervious material. These soils have a very slow rate of water transmission.

If a soil is assigned to a dual hydrologic group (AD, BD, or CD), the first letter is for drained areas and the second is for undrained areas. Only the soils that in their natural condition are in group D are assigned to dual classes.

Rating Options

Aggregation Method: Dominant Condition

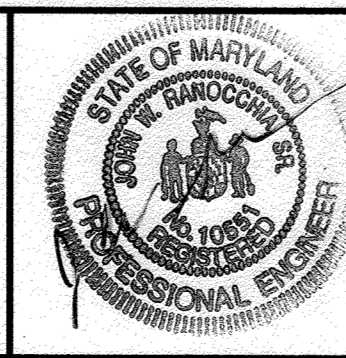
PROFESSIONAL CERTIFICATION

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.

LICENSE NUMBER: 10971 EXPIRATION DATE: 8-28-13
8-28-10

APPROVED: DEPARTMENT OF PLANNING AND ZONING
 Chief, Development Engineering Division
 Chief, Division of Land Development
 Director

M CENTURY ENGINEERING - PLANNERS
 CONSULTING ENGINEERS - PLANNERS
 10710 Gilroy Road, Hunt Valley, MD 21031
 Phone: 443.589.2400 Fax: 443.589.2401



DESIGN BY: M.J.P.	DATE: 1/14/13
DRAWN BY: M.S.S.	BY NO.
CHECKED BY:	REVISION
DATE: 1/14/13	DATE

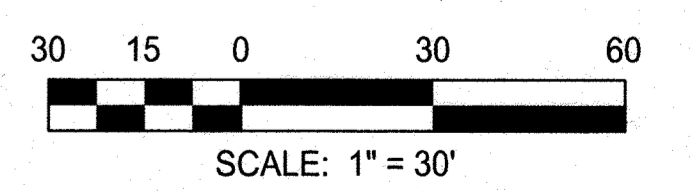
AS-BUILT CERTIFICATION FOR PSWM
 Note: There is no "AS-Built" information provided on this sheet.

DEVELOPER
GENERAL GROWTH PROPERTIES
 10440 LITTLE PATUXENT PARKWAY, SUITE 1000
 COLUMBIA, MARYLAND 21044
 410-992-6000

AS-BUILT

EXISTING CONDITIONS PLAN & SOILS MAP
THE MALL IN COLUMBIA
 BUILDING EXPANSION
 COLUMBIA TOWN CENTER
 TAX MAP: 30, 36 LOT: 47 GRID: 19, 20, 1, 2 ZONED: NT PARCEL: 460 F-04-045
 ELECTION DISTRICT 5 HOWARD COUNTY, MARYLAND
 SHEET 2 OF 73

C.E.I. PROJECT NUMBER
 28141.02
 SCALE:
 1"=30'

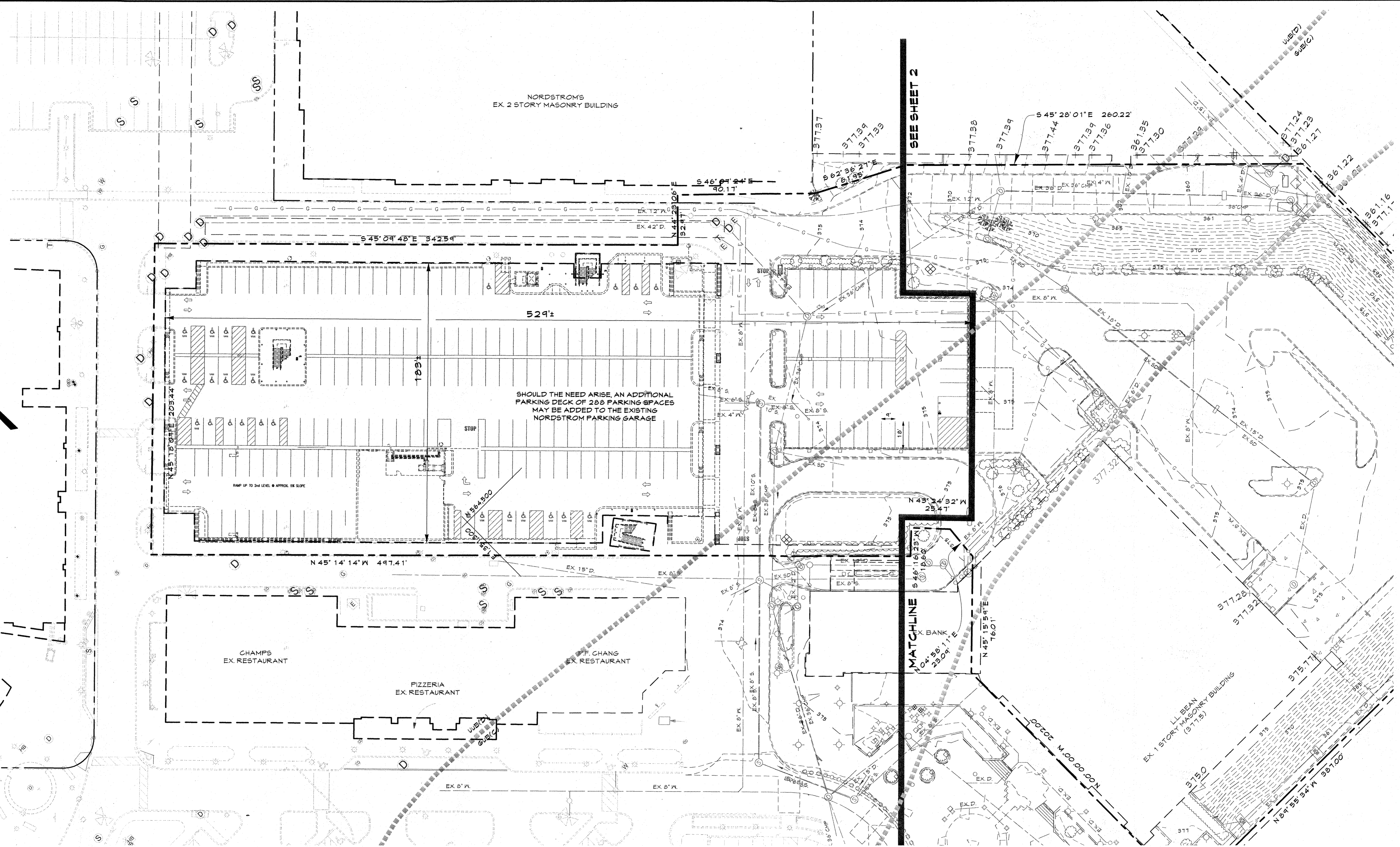


S:\2008\Facilities\28141.00\Columbia Mall\CIVIL\CADD\Drawings\SDP\28141.02(ExCond-01) Existing Conditions Planning Jan 11, 2013 9:07pm cddrion

LEGEND

- 676 Existing Minor Contour
- 670 Existing Major Contour
- Existing Edge of Road
- Existing Trees/
Tree Line
- Existing Curb & Gutter
- EX. 15" D. Existing Storm Drains
- EX. 8" W. Existing Water Main
- EX. 8" S. Existing Sanitary Sewer
- Existing Light
- Tract Boundary
- Utility Easement Line
- Existing Building

- HbB Soils
- Steep Slopes,
15-24.9%
Slope
- Matchline



PROFESSIONAL CERTIFICATION

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.

LICENSE NUMBER: 10571 EXPIRATION DATE: 8-25-19

Hydrologic Soil Group

Map unit symbol	Soil unit description	Rating	Acres in A.C.U.	Percent of A.C.U.
GUB	Ultimate Urban land Use/Stormwater complex, 0 to 8 percent slopes	C	1.0	17.7%
MBC	Minor lawn, 8 to 15 percent slopes	B	0.0	0.0%
UJB	Urban land Use/Stormwater complex, 0 to 8 percent slopes	D	4.8	82.3%
Totals for Area of Interest			5.8	100.0%

Description

Hydrologic soil groups are based on estimates of runoff potential. Soils are assigned to one of four groups according to the rate of water infiltration when the soils are not protected by vegetation, are thoroughly wet, and receive precipitation from long-duration storms.

The soils in the United States are assigned to four groups (A, B, C, and D) and three dual classes (A/D, B/D, and C/D). The groups are defined as follows:

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Group D. Soils having a very slow infiltration rate (high runoff potential) when thoroughly wet. These consist chiefly of clays that have a high shrink-swell potential, soils that have a high water table, soils that have a claypan or clay layer at or near the surface, and soils that are shallow over nearly impervious material. These soils have a very slow rate of water transmission.

If a soil is assigned to a dual hydrologic group (A/D, B/D, or C/D), the first letter is for drained areas and the second is for undrained areas. Only the soils that in their natural condition are in group D are assigned to dual classes.

Rating Options

Aggregation Method: Dominant Condition

AS-BUILT CERTIFICATION FOR PSWM
Note: There is no "AS-Built" information provided on this sheet.

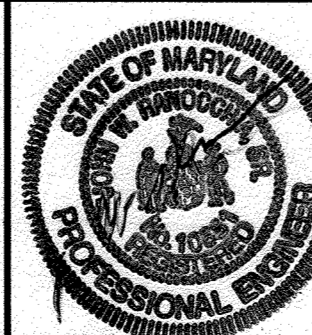


SCALE: 1" = 30'

APPROVED: DEPARTMENT OF PLANNING AND ZONING

Chief, Development Engineering Division
Date: 1/31/13
Chief, Division of Land Development
Date: 4-09-13
Director
Date: 4/11/13

CENTURY ENGINEERING
CONSULTING ENGINEERS - PLANNERS
10710 Gilroy Road, Hunt Valley, MD 21031
Phone: 443.589.2400 Fax: 443.589.2401

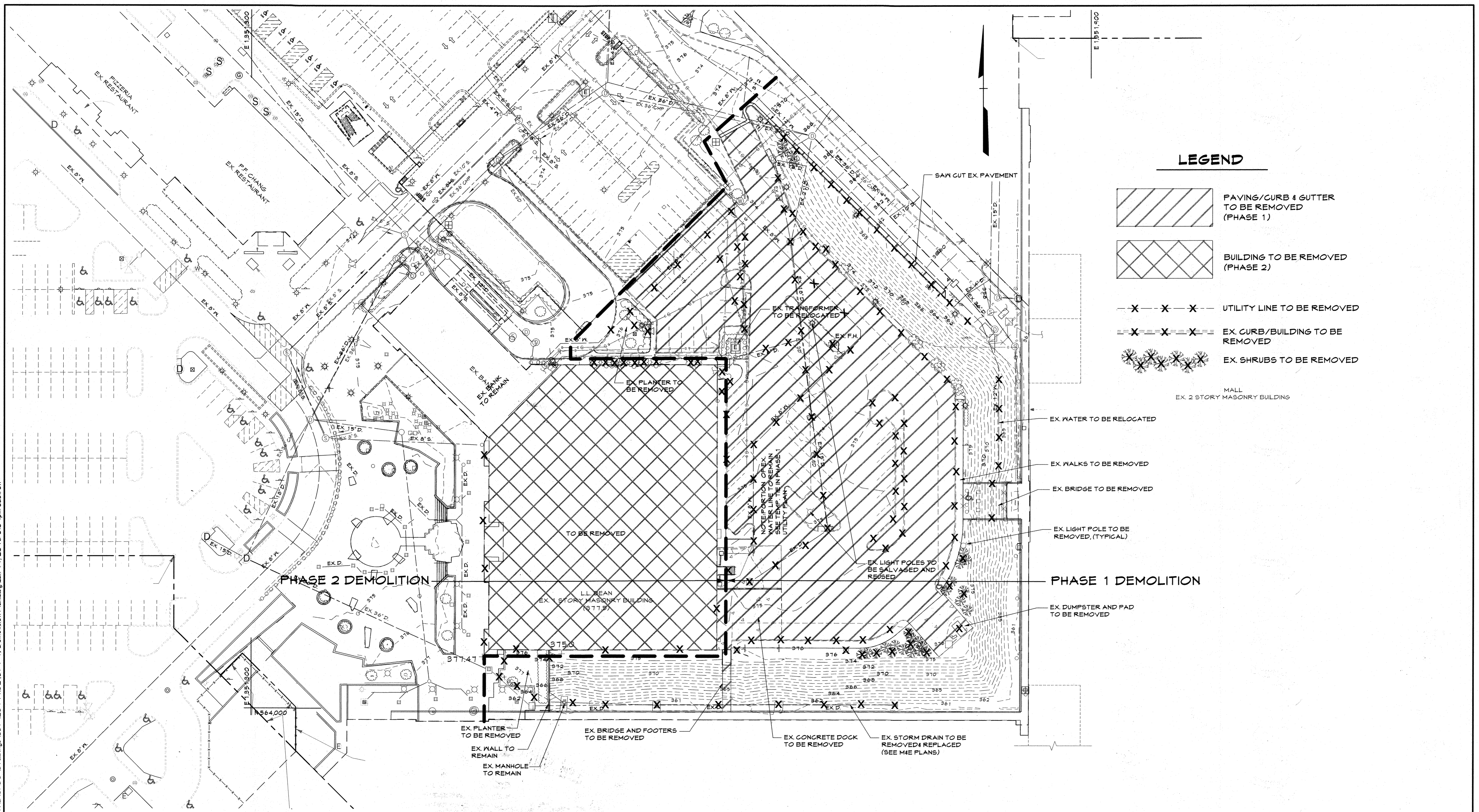


DESIGN BY:	CEJ	AS-BUILT	9/5/18
DRAWN BY:	M.S.S.		
CHECKED BY:			
DATE:	1/14/13		
BY NO.		REVISION	DATE

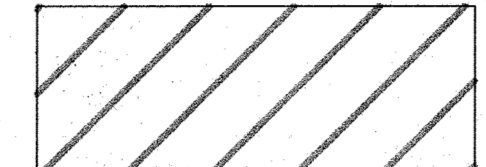

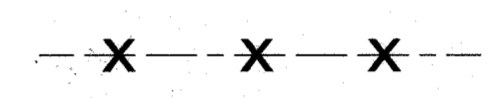


DEVELOPER
GENERAL GROWTH PROPERTIES
10440 LITTLE PATUXENT PARKWAY, SUITE 1000
COLUMBIA, MARYLAND 21044
410-992-6000

AS-BUILT EXISTING CONDITIONS PLAN & SOILS MAP
THE MALL IN COLUMBIA
BUILDING EXPANSION
COLUMBIA TOWN CENTER
TAX MAP: 30, 36 LOT: 47 GRID: 19, 20, 1, 2 ZONED: NT PARCEL: 460 F-04-045
ELECTION DISTRICT 5 HOWARD COUNTY, MARYLAND
SHEET 3 OF 73

C.E.I. PROJECT NUMBER
20141.02
SCALE:
1" = 30'



LEGEND

-  PAVING/CURB & GUTTER TO BE REMOVED (PHASE 1)
-  BUILDING TO BE REMOVED (PHASE 2)
-  UTILITY LINE TO BE REMOVED
-  EX. CURB/BUILDING TO BE REMOVED
-  EX. SHRUBS TO BE REMOVED

MALL
EX. 2 STORY MASONRY BUILDING

- EX. WATER TO BE RELOCATED
- EX. WALKS TO BE REMOVED
- EX. BRIDGE TO BE REMOVED
- EX. LIGHT POLE TO BE REMOVED, (TYPICAL)
- EX. LIGHT POLES TO BE SALVAGED AND REUSED
- EX. DUMPSTER AND PAD TO BE REMOVED

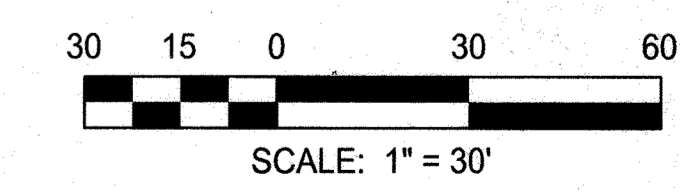
PHASE 2 DEMOLITION

PHASE 1 DEMOLITION

PROFESSIONAL CERTIFICATION
 I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.

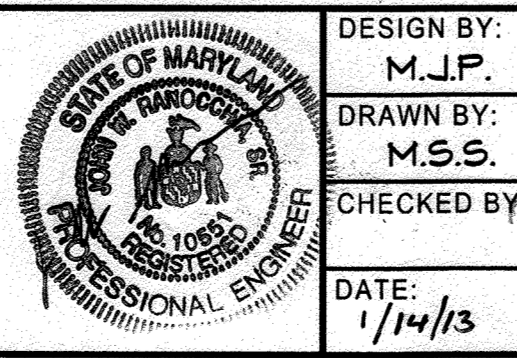
LICENSE NUMBER: 10591 EXPIRATION DATE: 8-28-13

AS-BUILT CERTIFICATION FOR PSWM
 Note: There is no "AS-Built" information provided on this sheet.



APPROVED: DEPARTMENT OF PLANNING AND ZONING
 Chief, Development Engineering Division
 Chief, Division of Land Development
 Director

CENTURY ENGINEERING
 CONSULTING ENGINEERS - PLANNERS
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 Phone: 443.589.2400 Fax: 443.589.2401

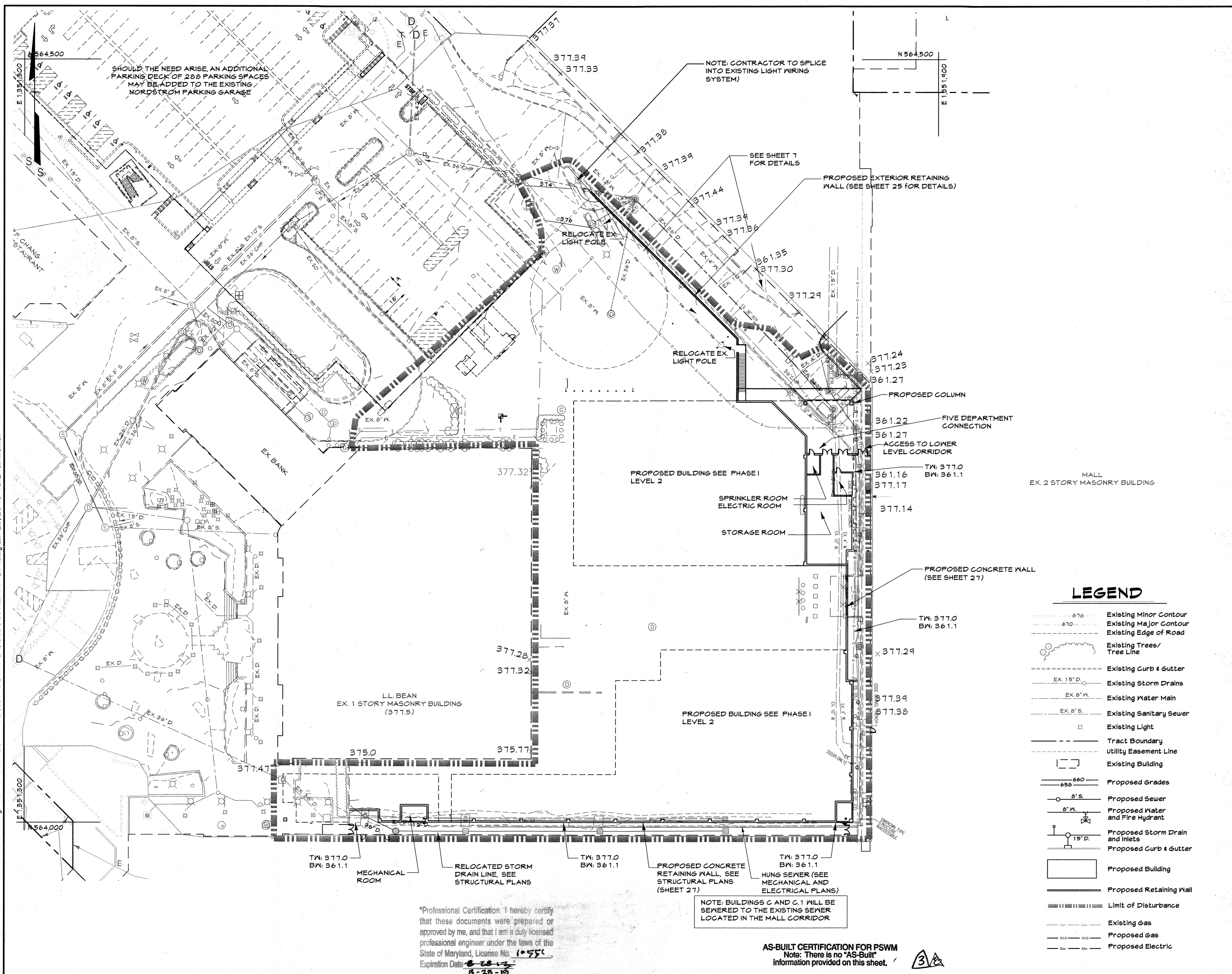


DESIGN BY:	M.J.P.	DATE:	1/14/13
DRAWN BY:	M.S.S.	BY:	NO.
CHECKED BY:		REVISION:	
		DATE:	

DEVELOPER
GENERAL GROWTH PROPERTIES
 10440 LITTLE PATUXENT PARKWAY, SUITE 1000
 COLUMBIA, MARYLAND 21044
 410-992-6000

AS-BUILT DEMOLITION PLAN
THE MALL IN COLUMBIA
 BUILDING EXPANSION
 COLUMBIA TOWN CENTER
 TAX MAP: 30, 36 LOT: 47 GRID: 19, 20, 1, 2 ZONED: NT PARCEL: 460 F-04-045
 ELECTION DISTRICT 5 HOWARD COUNTY, MARYLAND
 SHEET 4 OF 73

C.E.I. PROJECT NUMBER
 20141.02
 SCALE:
 1"=30'



Attachment A
Brief Summary of Downtown CEPPA Status for Requirements Relevant to The Mall in Columbia
For SDP-13-016

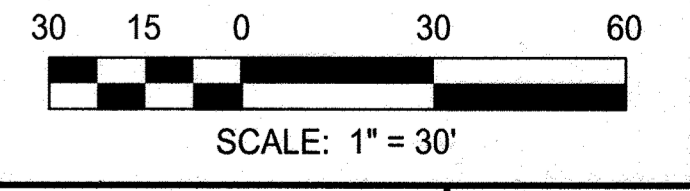
DOWNTOWN CEPPA STATUS FOR REQUIREMENTS RELEVANT TO SDP-13-016

ITEMS TO BE COMPLETED PRIOR TO SUBMISSION OF FIRST SDP			
No.	Brief Summary Description*	Summary of Deliverable*	Status
1	Environmental assessment of three sub-watersheds of Symphony Stream, Wilde Lake and Lake Kittamaquid located upstream from the Merrimether and Crescent Environmental Enhancements Study area.	The Merrimether and Crescent Environmental Study and the Best Management Practices for Symphony Stream and Lake Kittamaquid Watersheds Studies	Completed - Submitted September 2008
2	The Land Framework component of the Downtown Columbia Sustainability Program and a detailed outline for the Community Framework component of the Sustainability Program (Community Framework Outline).	Approved as Chapter 8 of the Downtown-Wide Design Guidelines (Council Resolution No. 138-2010)	Completed - Council Resolution No. 138-2010 passed on March 7, 2010.
3	Route 29 - Interchange Study for a third interchange located between Route 175 and Broken Land Parkway and options for a connection (potential bicycle, transit and multimodal improvements over Route 29 (Oakland Mills Bridge Connection))	<ul style="list-style-type: none"> 3rd Interchange Study Transit Center and Circulator Shuttle Study 	<ul style="list-style-type: none"> July 21, 2010 - Transportation study team introduced to County August 17, 2011 - Scope of Study and Methodology submitted to County for Interchange Study and the Transit Center and Circulator Shuttle Study December 2011 - Draft Transit Center and Circulator Shuttle Study submitted to County January 2012 - Draft Interchange Feasibility Study submitted to County June 2012 - Final County comments have been sent to Howard Hughes Corporation November 2012 - Awaiting final, minor comments
4	GGP will prepare Downtown-Wide Design Guidelines including Sustainability Provisions	Downtown-wide Design Guidelines	Completed - March 7, 2010 (Council Resolution No. 138-2010)
ITEMS TO BE COMPLETED PRIOR TO APPROVAL OF FIRST SDP			
5	Study for North-South Collector Road to connect Broken Land Parkway/Route 29 to Little Patuxent Parkway, and new Downtown Transit Center and Downtown Circulator Shuttle	North-South Collector Road Feasibility Study	Completed - Study submitted to County December 2011 for review June 2012 - Final County comments have been sent to Howard Hughes Corporation November 2012 - Study of North-South Collector-Complete, Study of Transit Center & Connector Shuttle-partially complete-awaiting final, minor comments
6	Jointly determine functions, organizational structure, implementation phasing, potential funding sources and projected funding needs of the Downtown Columbia Partnership, and for the Petitioner to provide the initial funding for the Downtown Partnership	<ul style="list-style-type: none"> Council passing legislation regarding Downtown Partnership Petitioner provided initial funding for Downtown Partnership released in a manner described in the legislation 	Complete
ITEMS TO BE COMPLETED PRIOR TO APPROVAL OF FIRST SDP			
7	GGP will submit a phasing schedule for implementation of the restoration work on GGP's property and a SDP for the 1st phase of the environmental restoration work described in CEPPA 15.	<ul style="list-style-type: none"> Phasing schedule Site Development Plan (SDP) for restoration work 	Phasing schedule has been submitted. SDP submitted 12/9/12. Under Review.
8	GGP in collaboration with the County, will establish the Downtown Arts and Culture Commission, an independent nonprofit organization, to promote and support Merrimether Post Pavilion's revitalization	<ul style="list-style-type: none"> Establish the Downtown Arts and Culture Commission 	Howard Hughes Corp. has established the Downtown Arts & Culture Commission. Articles of Incorporation & Bylaws have been agreed upon & the DACC will be incorporated as a private, non-profit organization in the State of Maryland by 12/31/12.
ITEMS TO BE COMPLETED PRIOR TO ISSUANCE OF FIRST BUILDING PERMIT			
9	Renovation of the Banneker Fire Station	GGP and the County shall cooperate to identify a site for the development of a temporary fire station while the Banneker Fire Station is being renovated.	Pending
10	GGP shall contribute \$1.5 million in initial funding for the Downtown Columbia Community Housing Fund.	Funding	Pending
PRIOR TO ISSUANCE OF BUILDING PERMIT FOR THE 500,000 ⁺ SF OF DEVELOPMENT			
12	GGP (at its expense) will complete the Downtown pedestrian & bicycle pathway system	Submit SDP	SDP-13-020 ("Downtown Multi-Use Pathway") has been submitted and is currently under review
13	GGP will enter into land records a declaration of covenants that shall prohibit the demolition of the former Rouse Company Headquarters & prohibit any exterior alterations, except as permitted by the Downtown-wide Design Gdns.	Recorded legal documents	Pending

PHASING NOTE:
PHASE 1, CONSTRUCT LOWER LEVEL RETAINING WALL AND RELOCATE EXISTING UTILITIES, BACKFILL SLOPE

LEGEND

- 676 --- Existing Minor Contour
- 670 --- Existing Major Contour
- --- Existing Edge of Road
- --- Existing Trees/ Tree Line
- --- Existing Curb & Gutter
- --- Existing Storm Drains
- --- Existing Water Main
- --- Existing Sanitary Sewer
- --- Existing Light
- --- Tract Boundary
- --- Utility Easement Line
- --- Existing Building
- --- Proposed Grades
- --- Proposed Sewer
- --- Proposed Water and Fire Hydrant
- --- Proposed Storm Drain and Inlets
- --- Proposed Curb & Gutter
- --- Proposed Building
- --- Proposed Retaining Wall
- --- Limit of Disturbance
- --- Existing Gas
- --- Proposed Gas
- --- Proposed Electric



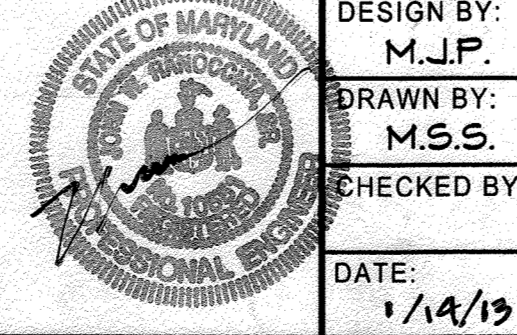
*Professional Certification I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland, License No. 10551, Expiration Date 8-28-10

NOTE: BUILDINGS C AND C.1 WILL BE SEWERED TO THE EXISTING SEWER LOCATED IN THE MALL CORRIDOR

AS-BUILT CERTIFICATION FOR PSWM
Note: There is no "AS-Built" information provided on this sheet.

APPROVED: DEPARTMENT OF PLANNING AND ZONING
Date: 1/31/13
Date: 4-09-13
Date: 4/14/13

CENTURY ENGINEERING
CONSULTING ENGINEERS - PLANNERS
10710 Gilroy Road, Hunt Valley, MD 21031
Phone: 443.589.2400 Fax: 443.589.2401

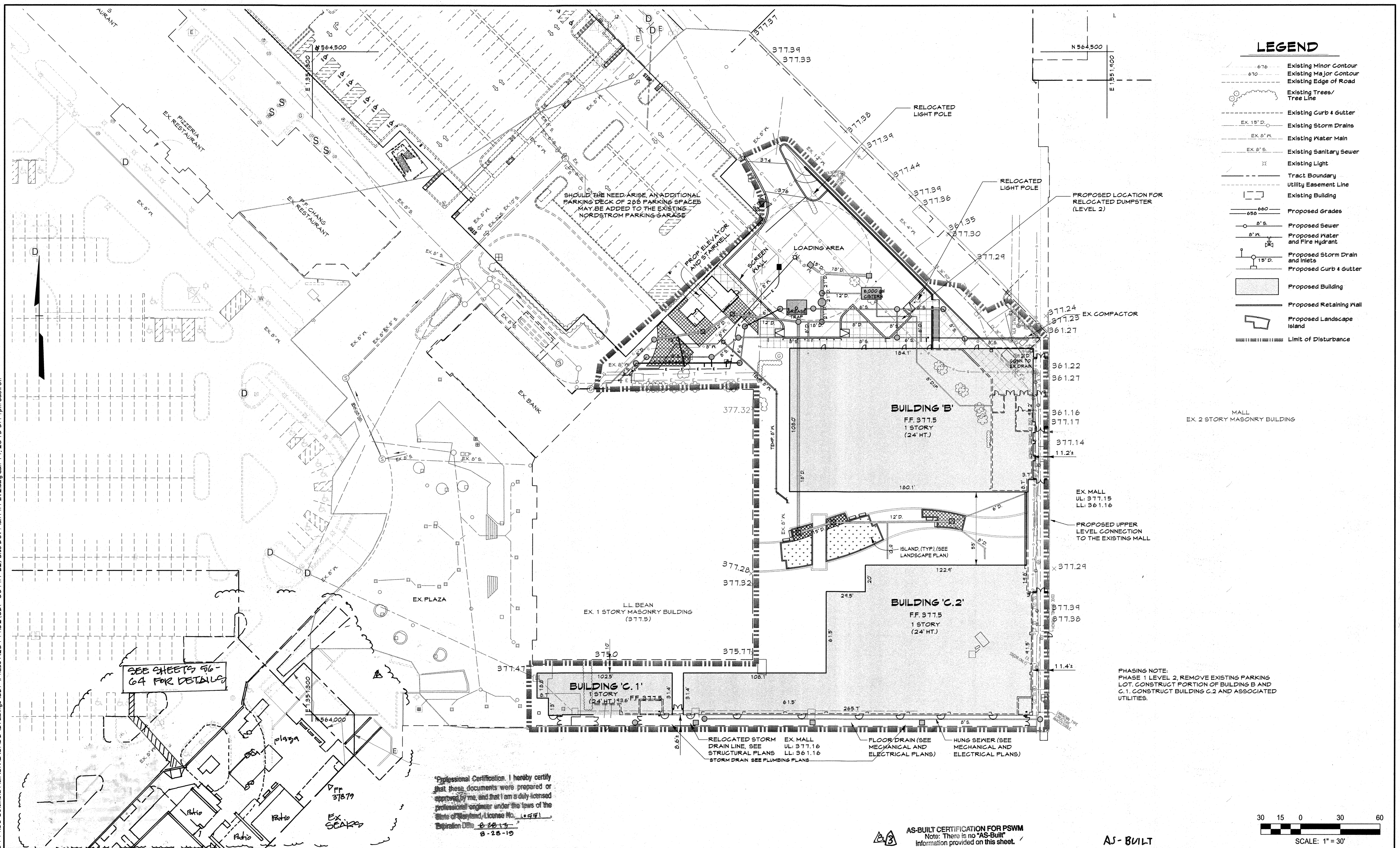


DESIGN BY: M.J.P.	DATE: 1/14/13	BY: NO.	REVISION	DATE
DRAWN BY: M.S.S.				
CHECKED BY:				
DATE:				

DEVELOPER
GENERAL GROWTH PROPERTIES
10440 LITTLE PATUXENT PARKWAY, SUITE 1000
COLUMBIA, MARYLAND 21044
410-992-6000

SITE DEVELOPMENT PLAN - PHASE 1 - LEVEL 1
THE MALL IN COLUMBIA
BUILDING EXPANSION
COLUMBIA TOWN CENTER
TAX MAP: 30 36 LOT: 47 GRID: 19, 20, 1, 2 ZONED: NT PARCEL: 460 F-04-045
ELECTION DISTRICT 5 HOWARD COUNTY, MARYLAND
SHEET 5 OF 77

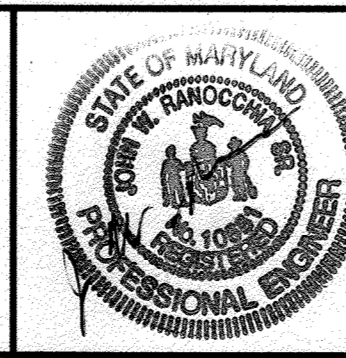
C.E.I. PROJECT NUMBER
28141.02
SCALE:
1" = 30'



APPROVED: DEPARTMENT OF PLANNING AND ZONING
 Chief, Development Engineering Division
 Chief, Division of Land Development
 Director

Date: 4/31/13
 Date: 4-09-13
 Date: 4/4/13

CENTURY ENGINEERING
 CONSULTING ENGINEERS - PLANNERS
 10710 Gilroy Road, Hunt Valley, MD 21031
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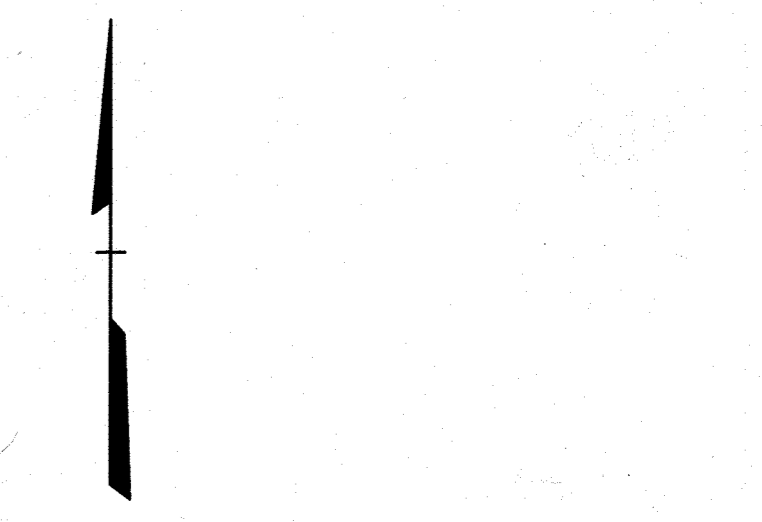
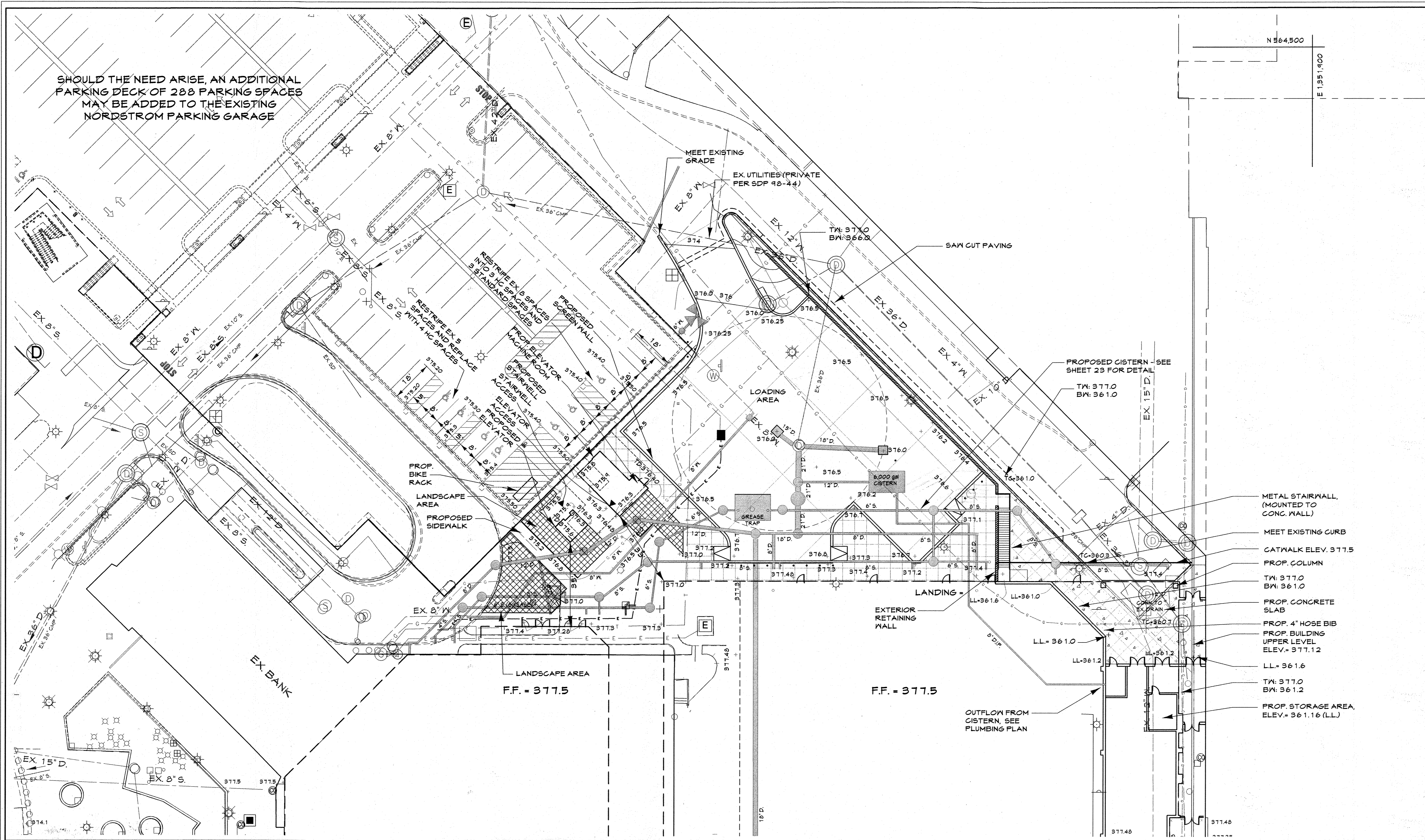


DESIGN BY: M.J.P.
 DRAWN BY: M.S.S.
 CHECKED BY: **CET** **AS-BUILT**
 DATE: 1/14/13
 BY NO. **CET** **AS-BUILT**
 REVISION: **show Sears revision, add plaza, delete Auto Ctr.** 8-4-17
 REVISION: **add 5 storm facility** DATE

DEVELOPER
GENERAL GROWTH PROPERTIES
 10440 LITTLE PATUXENT PARKWAY, SUITE 1000
 COLUMBIA, MARYLAND 21044
 410-992-6000

SITE DEVELOPMENT PLAN - PHASE 1 - LEVEL 2
THE MALL IN COLUMBIA
 BUILDING EXPANSION
 COLUMBIA TOWN CENTER
 TAX MAP: 30, 36 LOT: 47 GRID: 19, 20, 1, 2 ZONED: NT PARCEL: 460 F-04-045
 ELECTION DISTRICT 5 HOWARD COUNTY, MARYLAND
 SHEET 6 OF 73

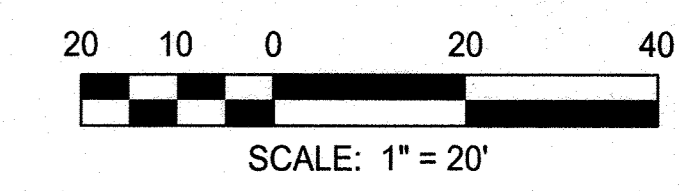
C.E.I. PROJECT NUMBER
 2814.102
 SCALE:
 1" = 30'



- LEGEND**
- 676 --- Existing Minor Contour
 - 670 --- Existing Major Contour
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 - Existing Trees/Tree Line
 - Existing Curb & Gutter
 - EX 15" D --- Existing Storm Drains
 - EX 8" W --- Existing Water Main
 - EX 8" S --- Existing Sanitary Sewer
 - Existing Light
 - Tract Boundary
 - Utility Easement Line
 - Proposed Building
 - 660 --- Proposed Grades
 - 650 --- Proposed Sewer
 - 8" W --- Proposed Water and Fire Hydrant
 - 15" D --- Proposed Storm Drain and Inlets
 - Proposed Curb & Gutter
 - Existing Building
 - Proposed Retaining Wall

LOADING DETAIL

SCALE: 1" = 20'

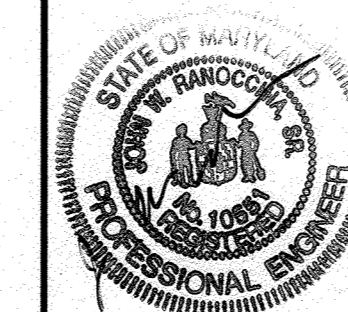


Professional Certification. I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland, License No. 16551. Expiration Date: 8-25-13

APPROVED: DEPARTMENT OF PLANNING AND ZONING
 Chief, Development Engineering Division
 Chief, Division of Land Development
 Director

Date: 12/13
 Date: 4-09-13
 Date: 7/4/13

CENTURY ENGINEERING
 CONSULTING ENGINEERS - PLANNERS
 10710 Gilroy Road, Hunt Valley, MD 21031
 Phone: 443.589.2400 Fax: 443.589.2401



DESIGN BY:	M.J.P.	DATE:	1/14/13
DRAWN BY:	M.S.S.	BY NO.	
CHECKED BY:		REVISION	
DATE:	1/14/13	DATE	

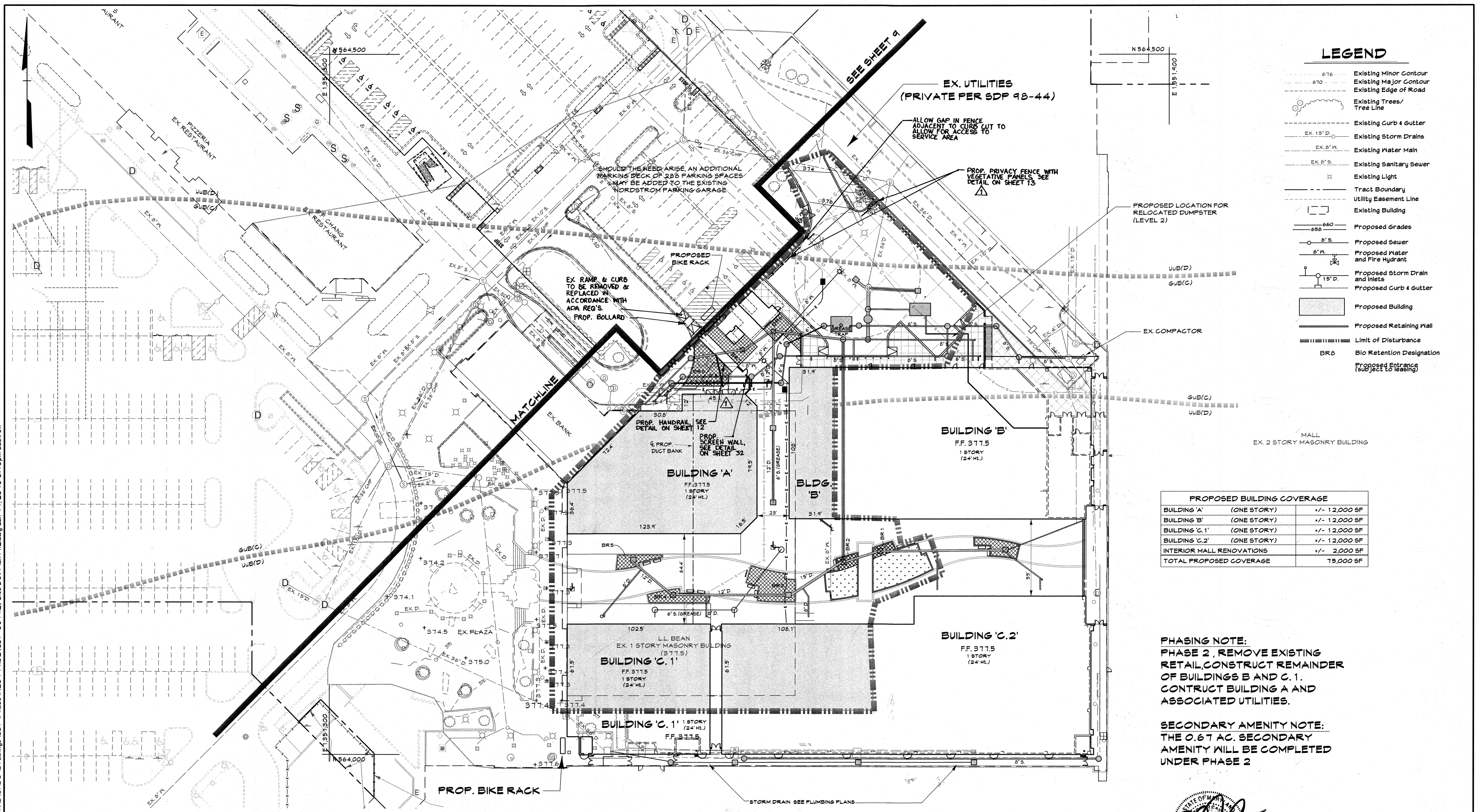
AS-BUILT CERTIFICATION FOR PSWM
 Note: There is no "AS-Built" information provided on this sheet.

AS-BUILT

DEVELOPER
GENERAL GROWTH PROPERTIES
 10440 LITTLE PATUXENT PARKWAY, SUITE 1000
 COLUMBIA, MARYLAND 21044
 410-992-6000

SITE DEVELOPMENT PLAN - PHASE 1 - DETAILS
THE MALL IN COLUMBIA
 BUILDING EXPANSION
 COLUMBIA TOWN CENTER
 TAX MAP: 30, 36 LOT: 47 GRID: 19, 20, 1, 2 ZONED: NT PARCEL: 460 F-04-045
 ELECTION DISTRICT 5 HOWARD COUNTY, MARYLAND
 SHEET 7 OF 73

C.E.I. PROJECT NUMBER
 28141.02
 SCALE:
 1" = 20'



LEGEND

- 676 Existing Minor Contour
- 670 Existing Major Contour
- Existing Edge of Road
- Existing Trees/Tree Line
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- EX 15" D. Existing Storm Drains
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- EX 8" S. Existing Sanitary Sewer
- Existing Light
- Tract Boundary
- Utility Easement Line
- Existing Building
- Proposed Grades
- Proposed Sewer
- Proposed Water and Fire Hydrant
- Proposed Storm Drain and Inlets
- Proposed Curb & Gutter
- Proposed Building
- Proposed Retaining Wall
- Limit of Disturbance
- BR5 Bio Retention Designation
- Proposed Entrance (subject to leasing)

PROPOSED BUILDING COVERAGE		
BUILDING 'A' (ONE STORY)		+/- 12,000 SF
BUILDING 'B' (ONE STORY)		+/- 12,000 SF
BUILDING 'C.1' (ONE STORY)		+/- 12,000 SF
BUILDING 'C.2' (ONE STORY)		+/- 12,000 SF
INTERIOR MALL RENOVATIONS		+/- 2,000 SF
TOTAL PROPOSED COVERAGE		75,000 SF

PHASING NOTE:
 PHASE 2, REMOVE EXISTING RETAIL, CONSTRUCT REMAINDER OF BUILDINGS B AND C.1. CONSTRUCT BUILDING A AND ASSOCIATED UTILITIES.

SECONDARY AMENITY NOTE:
 THE 0.67 AC. SECONDARY AMENITY WILL BE COMPLETED UNDER PHASE 2

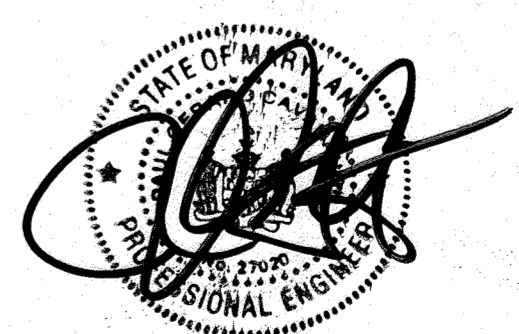
PROFESSIONAL CERTIFICATION

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.

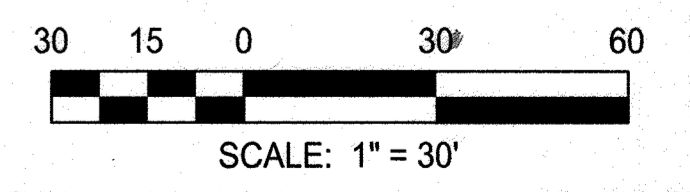
LICENSE NUMBER: 10581 EXPIRATION DATE: 8-28-13

AS-BUILT CERTIFICATION FOR PSWM
 Note: There is no "AS-Built" information provided on this sheet.

PROFESSIONAL CERTIFICATION
 I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NO. 27020 EXPIRATION DATE: JANUARY 28, 2016.



PAUL G. CAVANAUGH
 PROFESSIONAL ENGINEER NO. 27020



APPROVED: DEPARTMENT OF PLANNING AND ZONING
 Chief, Development Engineering Division
 Chief, Division of Land Development
 Director

CENTURY ENGINEERING
 CONSULTING ENGINEERS - PLANNERS
 10710 Gilroy Road, Hunt Valley, MD 21031
 Phone: 443.589.2400 Fax: 443.589.2401

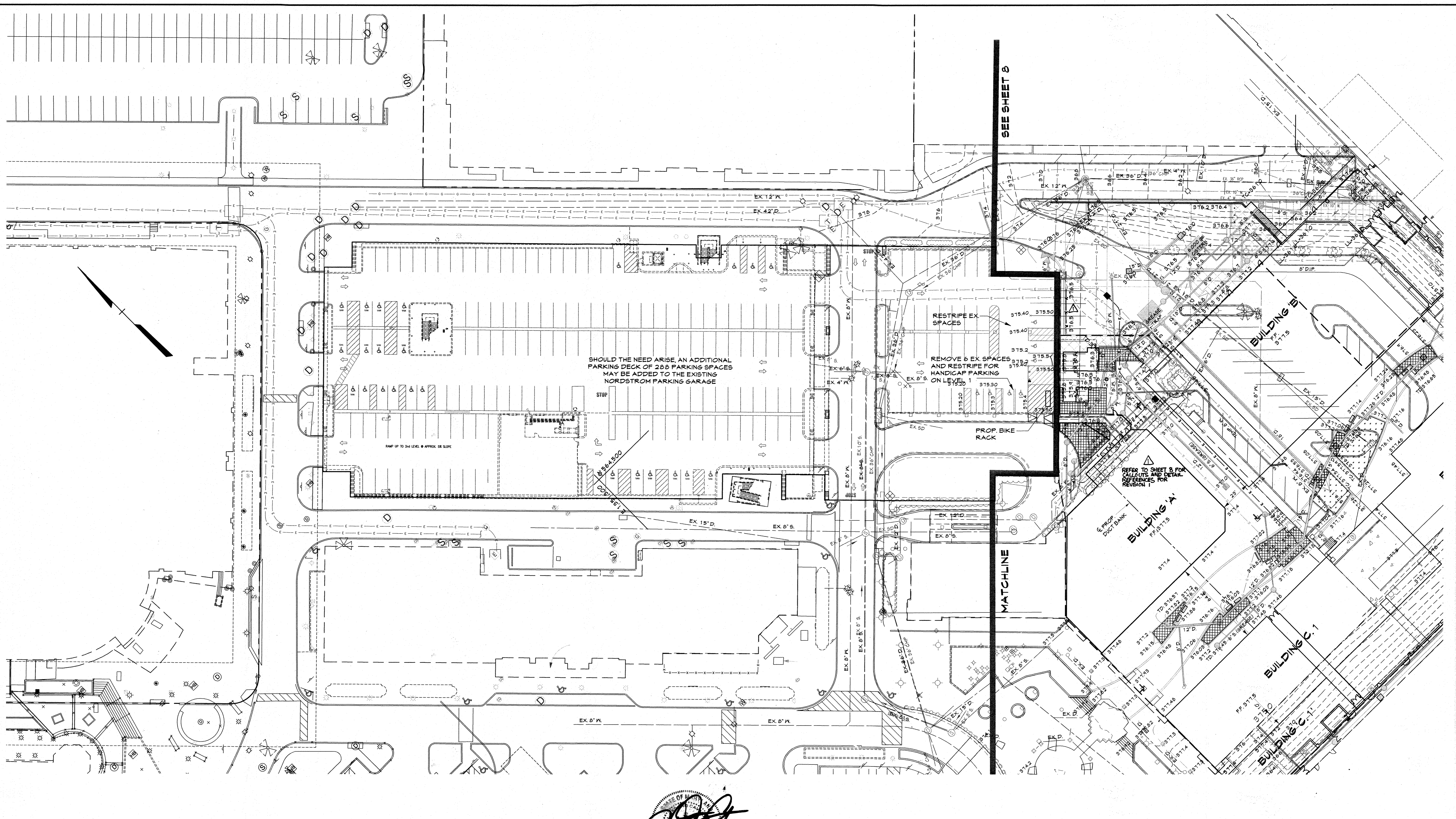
DESIGN BY:	DATE:	BY	NO.	REVISION	DATE
M.J.P.	1/14/13	CEP	1	REDLINE REVISION TO ADD SCREEN WALL, SCREEN FENCE, AND RECONSTRUCT RAMP	09/18/15
M.S.S.		CEP	2	AS-BUILT	9/3/18
CHECKED BY:					

DEVELOPER
GENERAL GROWTH PROPERTIES
 10440 LITTLE PATUXENT PARKWAY, SUITE 1000
 COLUMBIA, MARYLAND 21044
 410-992-6000

SITE DEVELOPMENT PLAN - PHASE II
THE MALL IN COLUMBIA
 BUILDING EXPANSION
 COLUMBIA TOWN CENTER
 TAX MAP: 30, 36 LOT: 47 GRID: 19, 20, 1, 2 ZONED: NT PARCEL: 460 F-04-045
 ELECTION DISTRICT 5 HOWARD COUNTY, MARYLAND
 SHEET 8 OF 73

C.E.I. PROJECT NUMBER 28141.02
 SCALE: 1"=30'

S:\2009\Facilities\2814.00 Columbia Mall\CADD\Drawings\SDP\Phase II\2814.02 (SDP-06 Ph2) Site Dev Plan Ph2.dwg Jan 11, 2013 9:10pm cdoilton



PROFESSIONAL CERTIFICATION

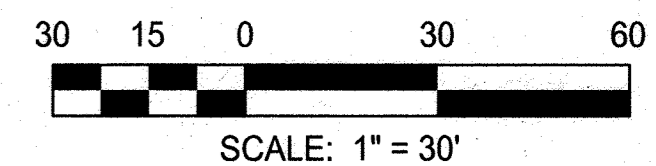
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.

LICENSE NUMBER: 16551 EXPIRATION DATE: 8-28-13
 8-28-10

PROFESSIONAL CERTIFICATION
 HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NO. 27020 EXPIRATION DATE: JANUARY 28, 2016

[Signature]
 PAUL J. CRANNAUGH
 PROFESSIONAL ENGINEER NO. 27020

AS-BUILT CERTIFICATION FOR PSWM
 Note: There is no "AS-Built" information provided on this sheet.



APPROVED: DEPARTMENT OF PLANNING AND ZONING
[Signature] 1/31/13
 Chief, Development Engineering Division
[Signature] 4-09-13
 Chief, Division of Land Development
[Signature] 4/16/13
 Director

CENTURY ENGINEERS
 CONSULTING ENGINEERS - PLANNERS
 10710 Gilroy Road, Hunt Valley, MD 21031
 Phone: 443.589.2400 Fax: 443.589.2401

DESIGN BY: M.J.P.
 DRAWN BY: M.S.S.
 CHECKED BY:
 DATE: 1/14/13

DDC	NO.	REVISION	DATE
3	1	REDLINE REVISION TO ADD SCREEN WALL, SCREEN FENCE, AND RECONSTRUCT RAMP	09/18/15
3	2	AS-BUILT	9/5/16

DEVELOPER
GENERAL GROWTH PROPERTIES
 10440 LITTLE PATUXENT PARKWAY, SUITE 1000
 COLUMBIA, MARYLAND 21044
 410-992-6000

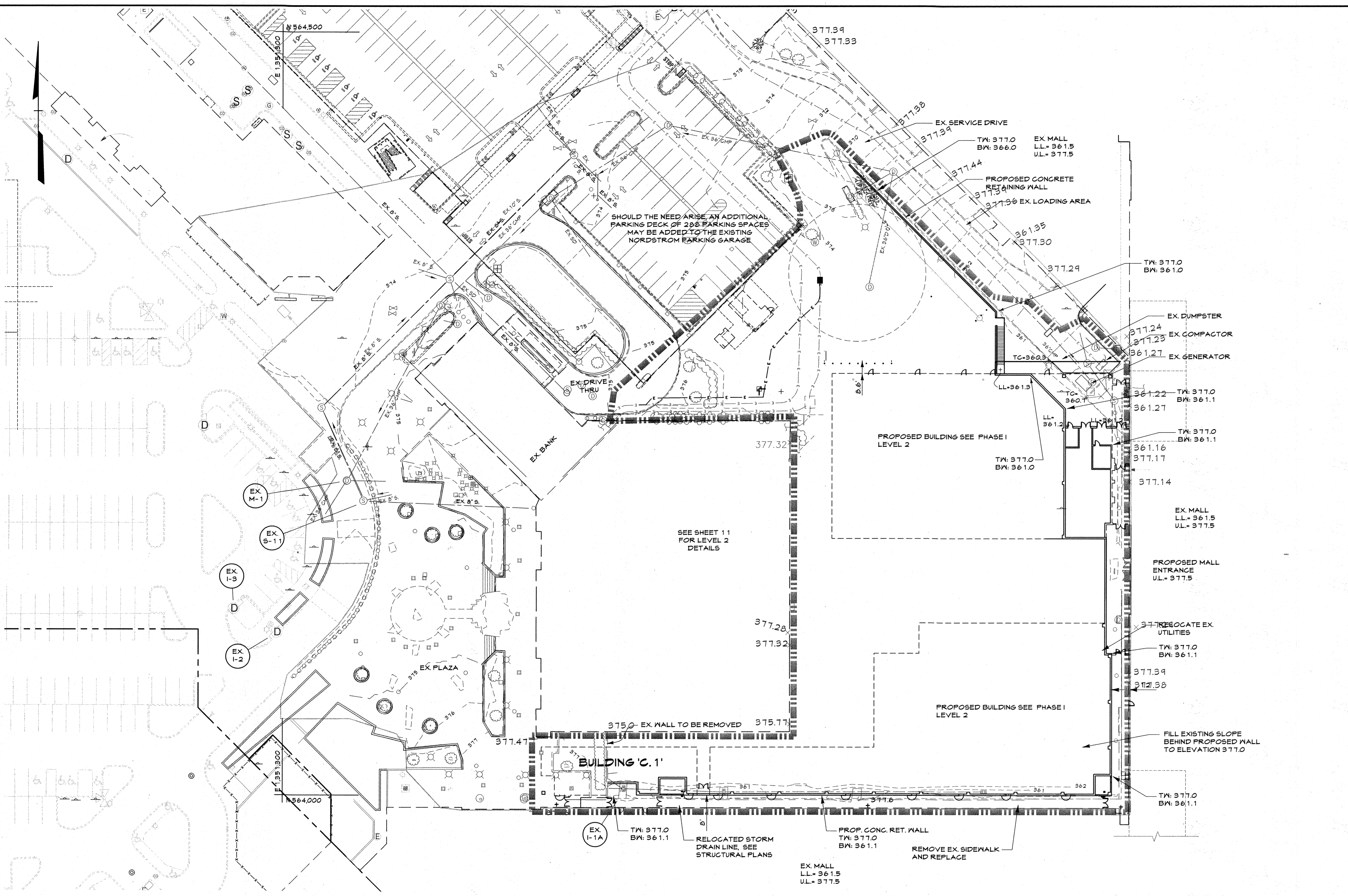
AS-BUILT
 SITE DEVELOPMENT PLAN - PHASE II
THE MALL IN COLUMBIA
 BUILDING EXPANSION
 COLUMBIA TOWN CENTER
 TAX MAP: 30, 36 LOT: 47 GRID: 19, 20, 1, 2 ZONED: NT PARCEL: 460 F-04-045
 ELECTION DISTRICT 5 HOWARD COUNTY, MARYLAND
 SHEET 9 OF 73

C.E.I. PROJECT NUMBER
 28141.02
 SCALE:
 1" = 30'

LEGEND

- Existing Minor Contour
- Existing Major Contour
- Existing Edge of Road
- Existing Trees/Tree Line
- Existing Curb & Gutter
- Existing Storm Drains
- Existing Water Main
- Existing Sanitary Sewer
- Existing Light
- Tract Boundary
- Utility Easement Line
- Existing Building
- Proposed Grades
- Proposed Sewer
- Proposed Water and Fire Hydrant
- Proposed Storm Drain and Inlets
- Proposed Curb & Gutter
- Proposed Building
- Proposed Retaining Wall
- Proposed Landscape Island
- Limit of Disturbance

S:\2008\Facilities\2014\1.00 Columbia Mall\CADD\Drawings\SDP\Phase I\2014\1.02 (68-JT-O1 Ph1-L1) Grading & Utility Plan Ph 1 L1-L1.dwg Jan 11, 2013 3:20pm cdoiron

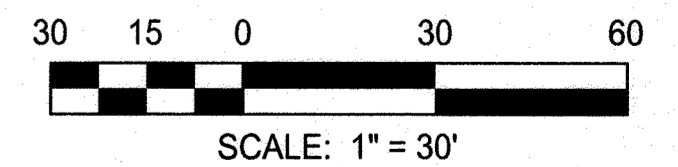


PROFESSIONAL CERTIFICATION

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.

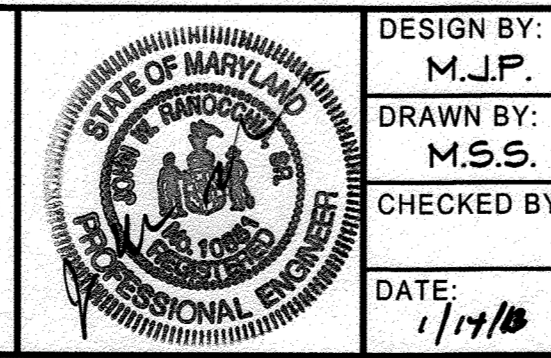
LICENSE NUMBER: 16571 EXPIRATION DATE: 8-28-13

AS-BUILT CERTIFICATION FOR PSWM
 Note: There is no "AS-Built" information provided on this sheet.



APPROVED: DEPARTMENT OF PLANNING AND ZONING
 Chief, Development Engineering Division
 Chief, Division of Land Development
 Director

CENTURY ENGINEERING
 CONSULTING ENGINEERS - PLANNERS
 10710 Gilroy Road, Hunt Valley, MD 21031
 Phone: 443.589.2400 Fax: 443.589.2401



DESIGN BY:	M.J.P.	DATE:	1/17/13
DRAWN BY:	M.S.S.	BY:	NO.
CHECKED BY:		REVISION:	
DATE:		DATE:	

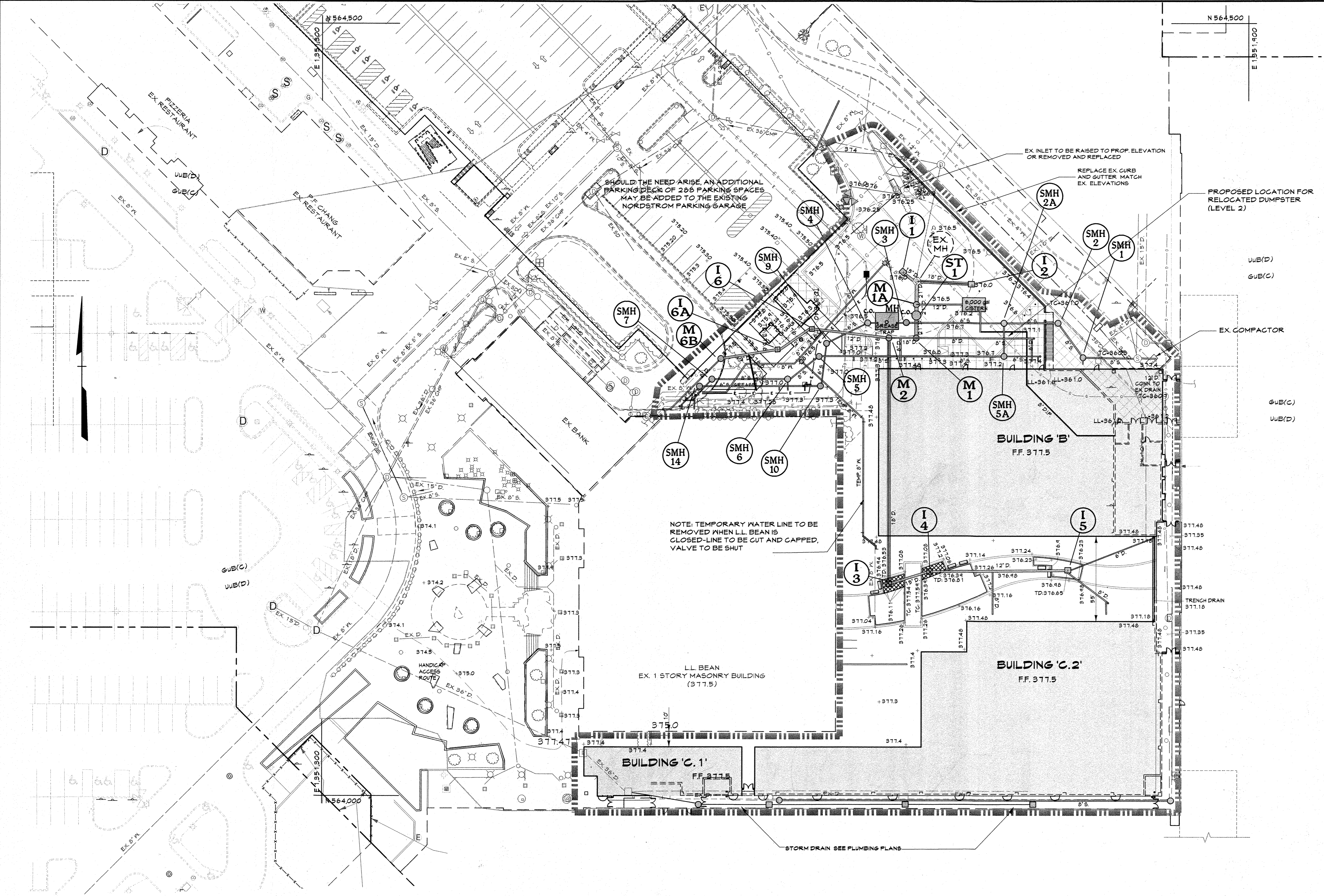
DEVELOPER
GENERAL GROWTH PROPERTIES
 10440 LITTLE PATUXENT PARKWAY, SUITE 1000
 COLUMBIA, MARYLAND 21044
 410-992-6000

GRADING & UTILITY PLAN - PHASE I - LEVEL 1
THE MALL IN COLUMBIA
 BUILDING EXPANSION
 COLUMBIA TOWN CENTER
 TAX MAP: 30, 36 LOT: 47 GRID: 19, 20, 1, 2 ZONED: NT PARCEL: 460 F-04-045
 ELECTION DISTRICT 5 HOWARD COUNTY, MARYLAND
 SHEET 10 OF 77

C.E.I. PROJECT NUMBER
 28141.02
 SCALE:
 1"=30'

LEGEND

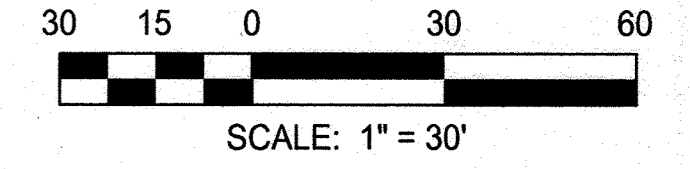
- - - 676 Existing Minor Contour
- - - 610 Existing Major Contour
- - - Existing Edge of Road
- Existing Trees/Tree Line
- - - Existing Curb & Gutter
- EX 15" D Existing Storm Drains
- EX 8" W Existing Water Main
- EX 8" S Existing Sanitary Sewer
- Existing Light
- - - Tract Boundary
- - - Utility Easement Line
- Existing Building
- Proposed Grades
- Proposed Sewer
- Proposed Water and Fire Hydrant
- Proposed Storm Drain and Inlets
- Proposed Curb & Gutter
- Proposed Building
- Proposed Retaining Wall
- Proposed Landscape Island
- Limit of Disturbance



PROFESSIONAL CERTIFICATION
 I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.

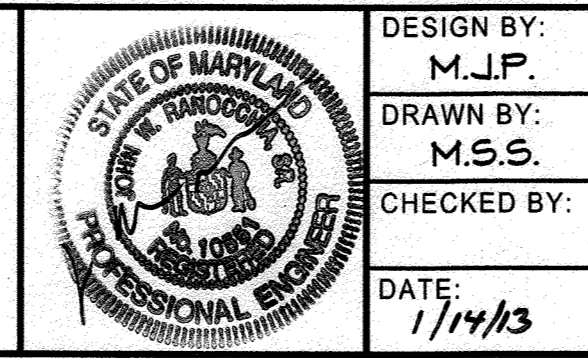
LICENSE NUMBER: 10591 EXPIRATION DATE: 8-25-10

AS-BUILT CERTIFICATION FOR PSWM
 Note: There is no "AS-Built" information provided on this sheet.



APPROVED: DEPARTMENT OF PLANNING AND ZONING
 Chief, Development Engineering Division
 Chief, Division of Land Development
 Director

MM CENTURY ENGINEERING
 CONSULTING ENGINEERS - PLANNERS
 10710 Gilroy Road, Hunt Valley, MD 21031
 Phone: 443.589.2400 Fax: 443.589.2401



DESIGN BY:	M.J.P.	DATE:	1/14/13
DRAWN BY:	M.S.S.	BY:	NO.
CHECKED BY:		REVISION:	
DATE:	1/14/13	DATE:	

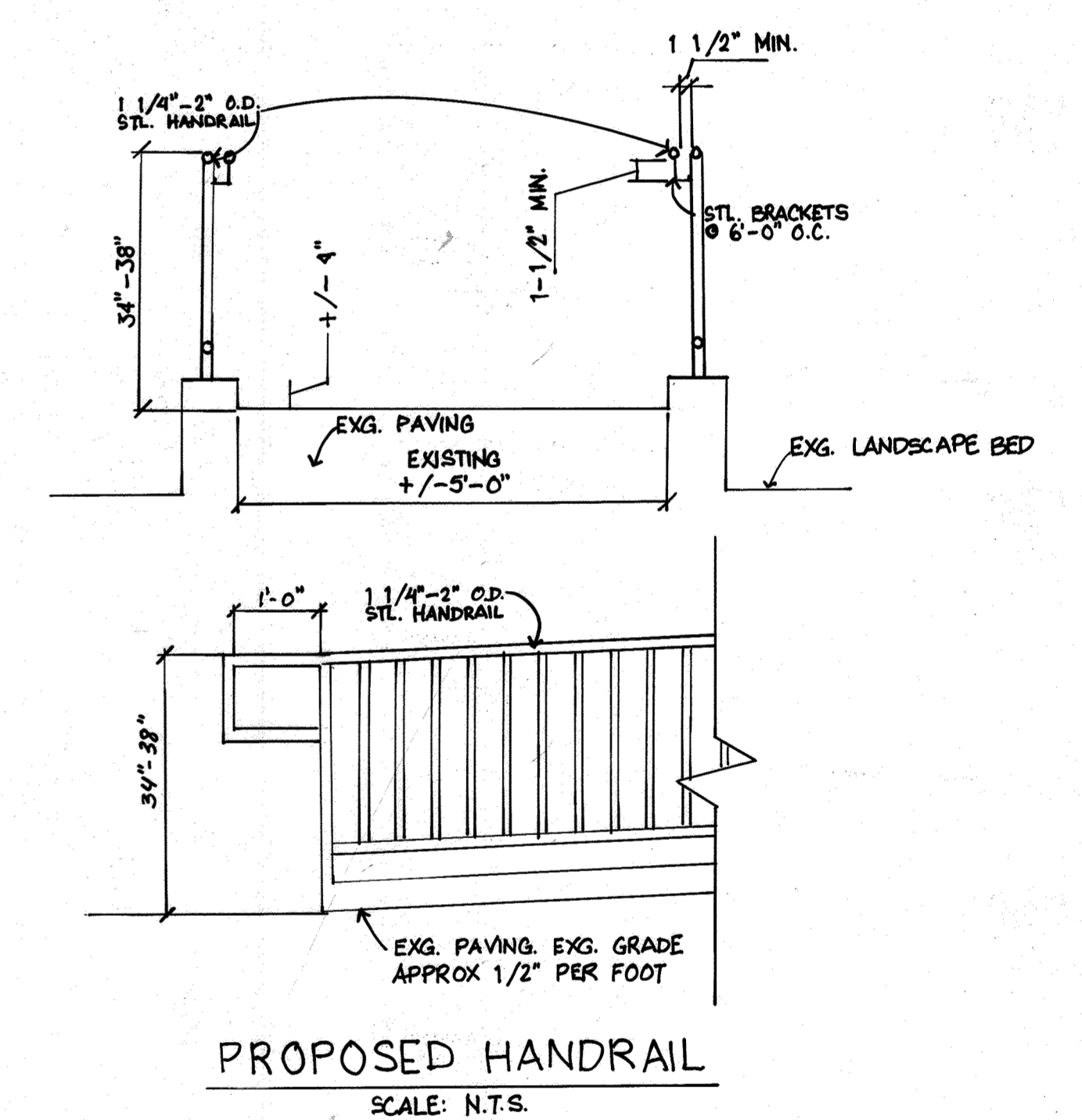
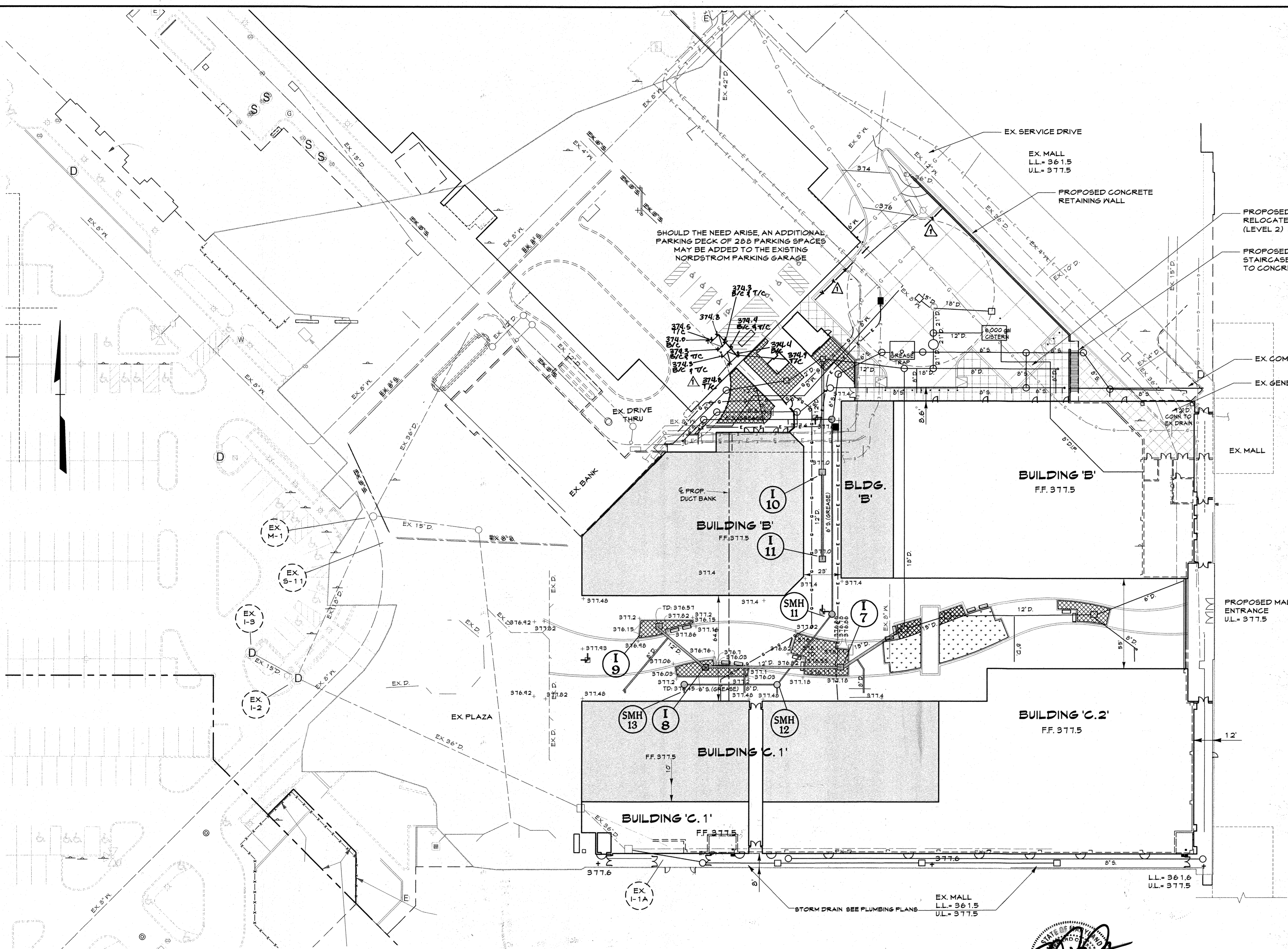
DEVELOPER
GENERAL GROWTH PROPERTIES
 10440 LITTLE PATUXENT PARKWAY, SUITE 1000
 COLUMBIA, MARYLAND 21044
 410-992-6000

GRADING & UTILITY PLAN - PHASE I - LEVEL 2
THE MALL IN COLUMBIA
 BUILDING EXPANSION
 COLUMBIA TOWN CENTER
 TAX MAP: 30, 36 LOT: 47 GRID: 19, 20, 1, 2 ZONED: NT PARCEL: 460 F-04-045
 ELECTION DISTRICT 5 HOWARD COUNTY, MARYLAND
 SHEET 11 OF 73

C.E.I. PROJECT NUMBER
 28141.02
 SCALE:
 1"=30'

LEGEND

- Existing Minor Contour
- Existing Major Contour
- Existing Edge of Road
- Existing Trees/ Tree Line
- Existing Curb & Gutter
- Existing Storm Drains
- Existing Water Main
- Existing Sanitary Sewer
- Existing Light
- Tract Boundary
- Utility Easement Line
- Existing Building
- Proposed Grades
- Proposed Sewer
- Proposed Water and Fire Hydrant
- Proposed Storm Drain and Inlets
- Proposed Curb & Gutter
- Proposed Building
- Proposed Retaining Wall
- Proposed Landscape Island
- Limit of Disturbance

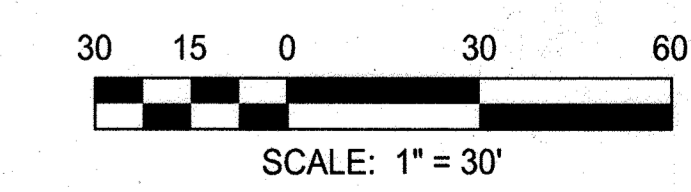


PROFESSIONAL CERTIFICATION
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.

PROFESSIONAL CERTIFICATION
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 27020, EXPIRATION DATE: JANUARY 25, 2016.

PAUL G. CAVANAUGH
PROFESSIONAL ENGINEER NO. 27020

AS-BUILT CERTIFICATION FOR PSWM
Note: There is no "AS-Built" information provided on this sheet.



APPROVED: DEPARTMENT OF PLANNING AND ZONING
Date: 1/31/13
Date: 4-09-13
Date: 4/14/13

MM CENTURY ENGINEERS - PLANNERS
CONSULTING ENGINEERS - PLANNERS
10710 Gilroy Road, Hunt Valley, MD 21031
Phone: 443.589.2400 Fax: 443.589.2401

DESIGN BY: M.J.P.
DRAWN BY: M.S.S.
CHECKED BY:
DATE: 1/14/13

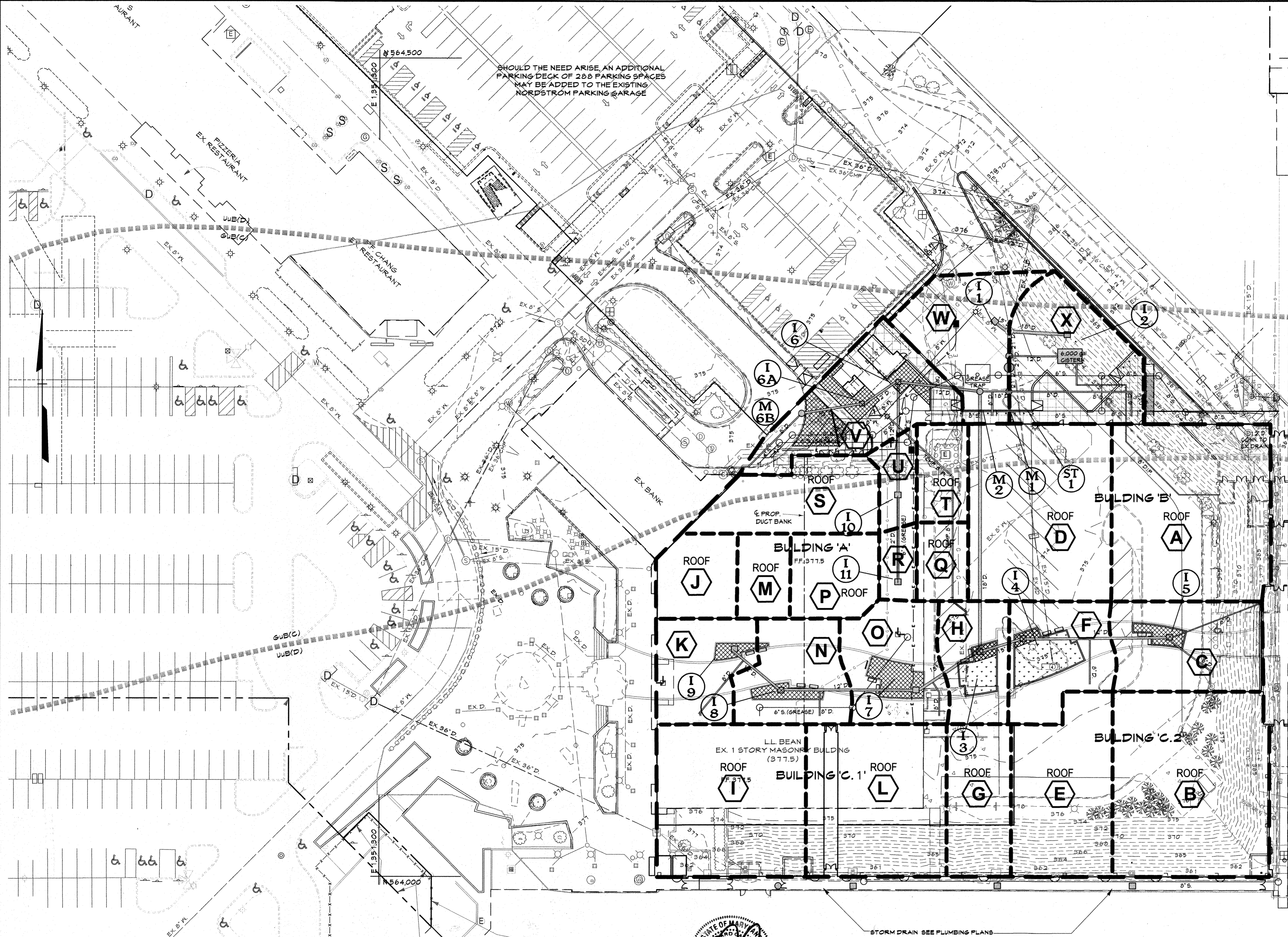
NO.	REVISION	DATE	
1	RELINE REVISION TO ADD SCREEN WALL, SCREEN FENCE, AND RECONSTRUCT RAMP	09/16/12	
3	AS-BUILT	7/6/12	
BY	NO.	REVISION	DATE

DEVELOPER
GENERAL GROWTH PROPERTIES
10440 LITTLE PATUXENT PARKWAY, SUITE 1000
COLUMBIA, MARYLAND 21044
410-992-6000

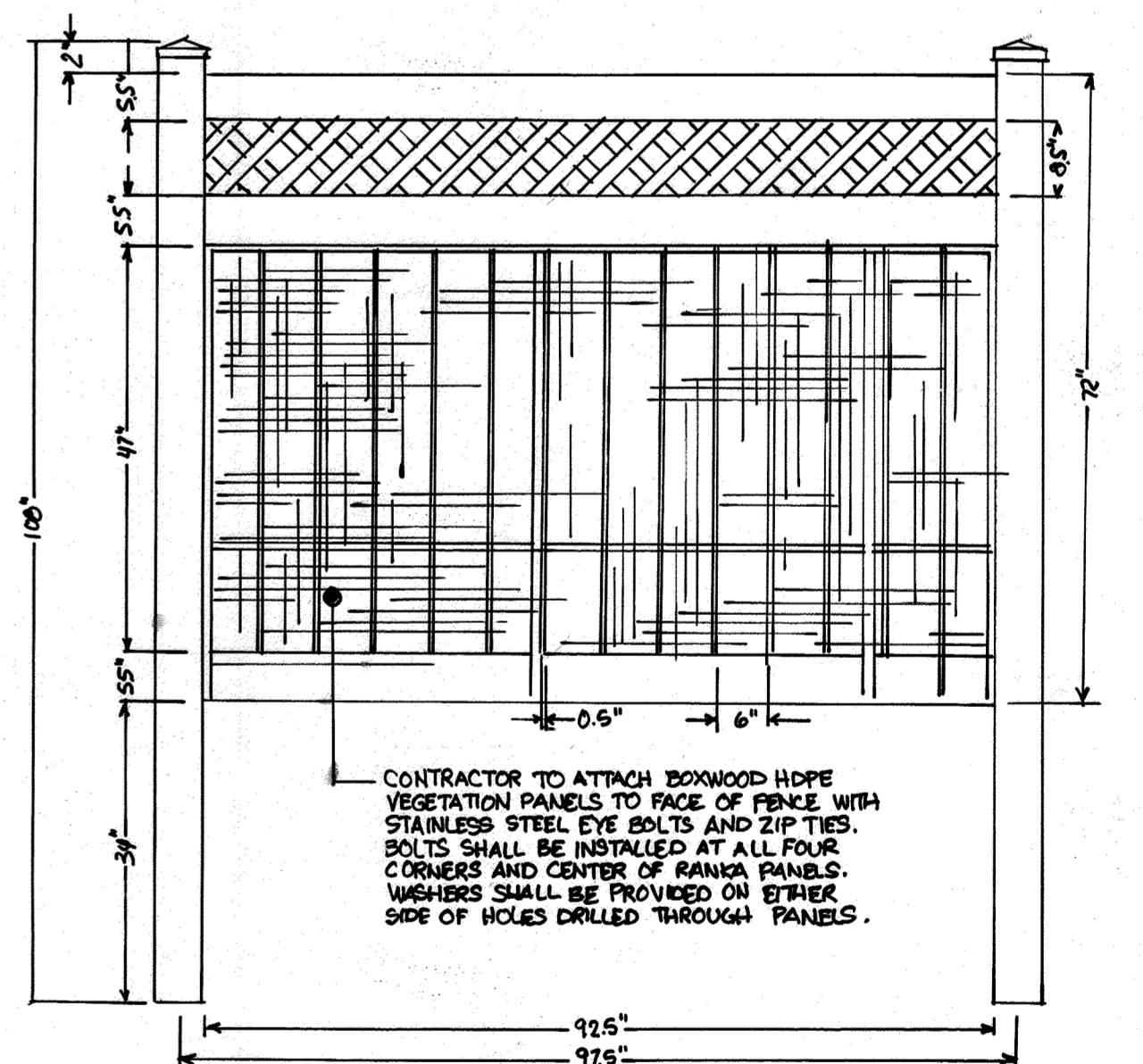
GRADING & UTILITY PLAN - PHASE II
THE MALL IN COLUMBIA
BUILDING EXPANSION
COLUMBIA TOWN CENTER
TAX MAP: 30, 36 LOT: 47 GRID: 19, 20, 1, 2 ZONED: NT PARCEL: 460 F-04-045
ELECTION DISTRICT 5 HOWARD COUNTY, MARYLAND
SHEET 12 OF 73

C.E.I. PROJECT NUMBER
28141.02
SCALE:
1"=30'

S:\2006\Facilities\2814100 Columbia Mall\CADD\Drawings\SDP\2814102 (SD-PAM) Storm Drains Drainage Area Map 11.2013 9:25pm cdehron



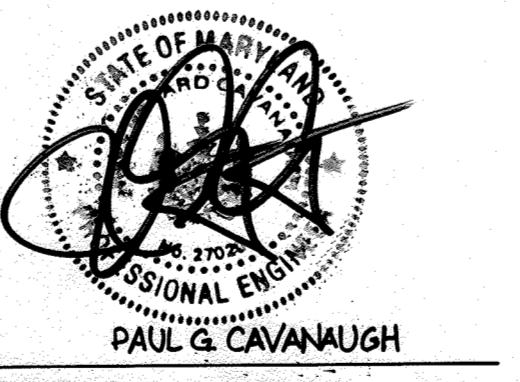
D.A.	AREA	'C'	% IMPERVIOUS
ROOFA	0.23	0.95	100
ROOFB	0.26	0.95	100
C	0.14	0.90	92
ROOFD	0.26	0.95	100
ROOFE	0.16	0.95	100
F	0.09	0.73	50
ROOFG	0.09	0.95	100
H	0.07	0.85	84
ROOFI	0.18	0.95	100
ROOFG	0.03	0.95	100
K	0.07	0.85	84
ROOFL	0.18	0.95	100
ROOFG	0.03	0.95	100
N	0.08	0.90	86
O	0.10	0.88	89
ROOFP	0.06	0.95	100
ROOFG	0.04	0.95	100
R	0.02	0.95	100
ROOFS	0.09	0.95	100
ROOFT	0.04	0.95	100
U	0.02	0.95	100
V	0.16	0.75	50
W	0.09	0.95	100
X	0.14	0.90	89



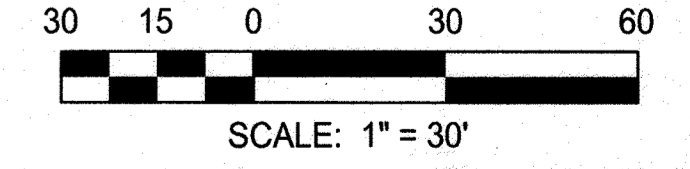
PROPOSED PRIVACY FENCE
 SCALE: N.T.S.
 FENCE SHALL BE VINYL PRIVACY FENCE BY ILLUSIONS WITH SMALL LATTICE TOPPER AND NEW ENGLAND POST CAPS. COLOR SHALL BE BROWN (110). FENCE POSTS SHALL BE INSTALLED PER MANUFACTURERS SPECIFICATIONS.

*Professional Certification. I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland, License No. 12551, Expiration Date 8-28-17.

PROFESSIONAL CERTIFICATION. I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 27020, EXPIRATION DATE: JANUARY 25, 2016.



AS-BUILT CERTIFICATION FOR PSWM
 Note: There is no "AS-Built" information provided on this sheet.



APPROVED: DEPARTMENT OF PLANNING AND ZONING
 Chief, Development Engineering Division
 Chief, Division of Land Development
 Director

CENTURY ENGINEERING
 CONSULTING ENGINEERS - PLANNERS
 10710 Gilroy Road, Hunt Valley, MD 21031
 Phone: 443.589.2400 Fax: 443.589.2401

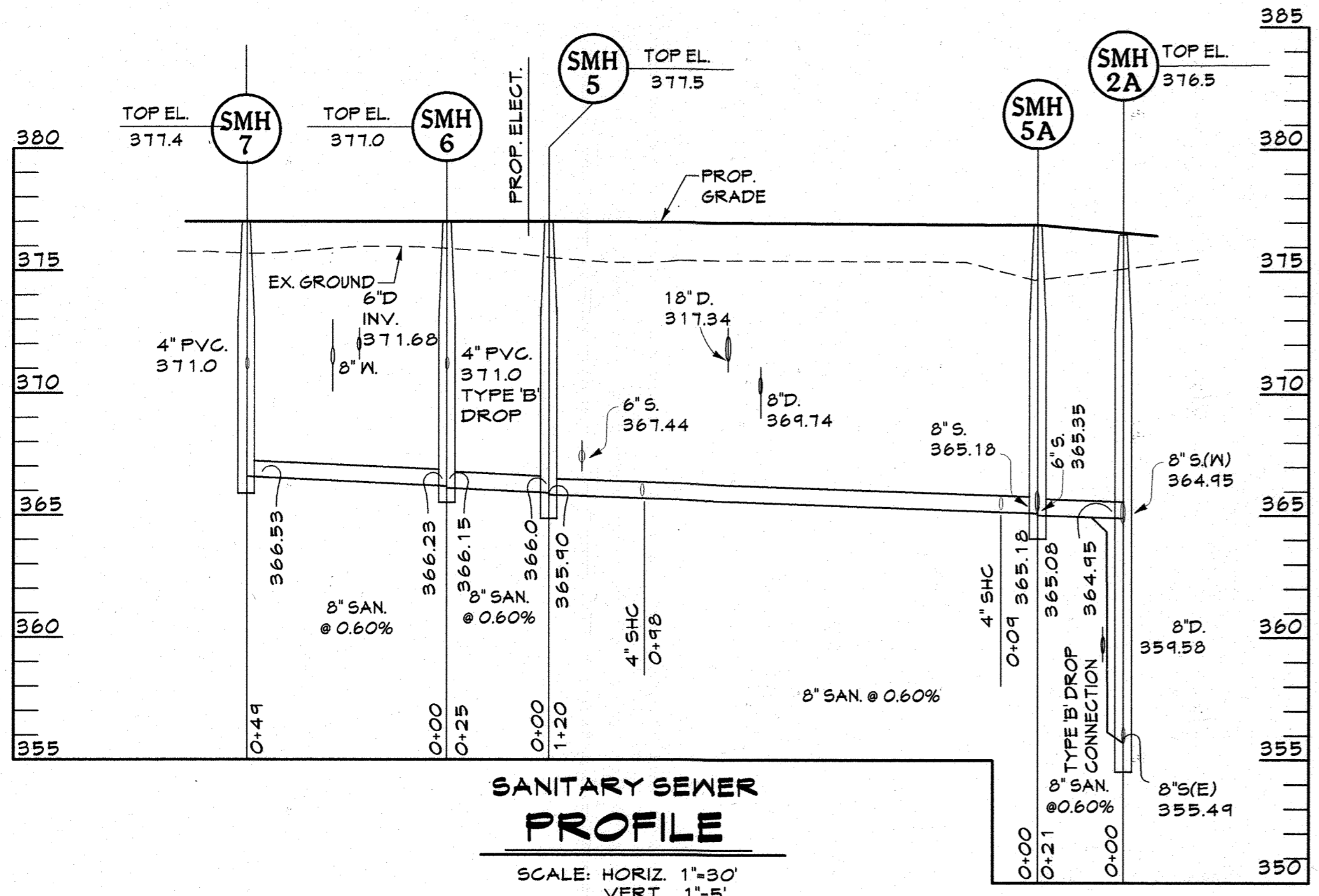


DESIGN BY:	M.J.P.	DATE:	1/11/13
DRAWN BY:	M.S.S.	BY:	NO.
CHECKED BY:		REVISION:	DATE
		DD	1
		CEI	3
			AS-BUILT
			09/16/13
			9/13/13

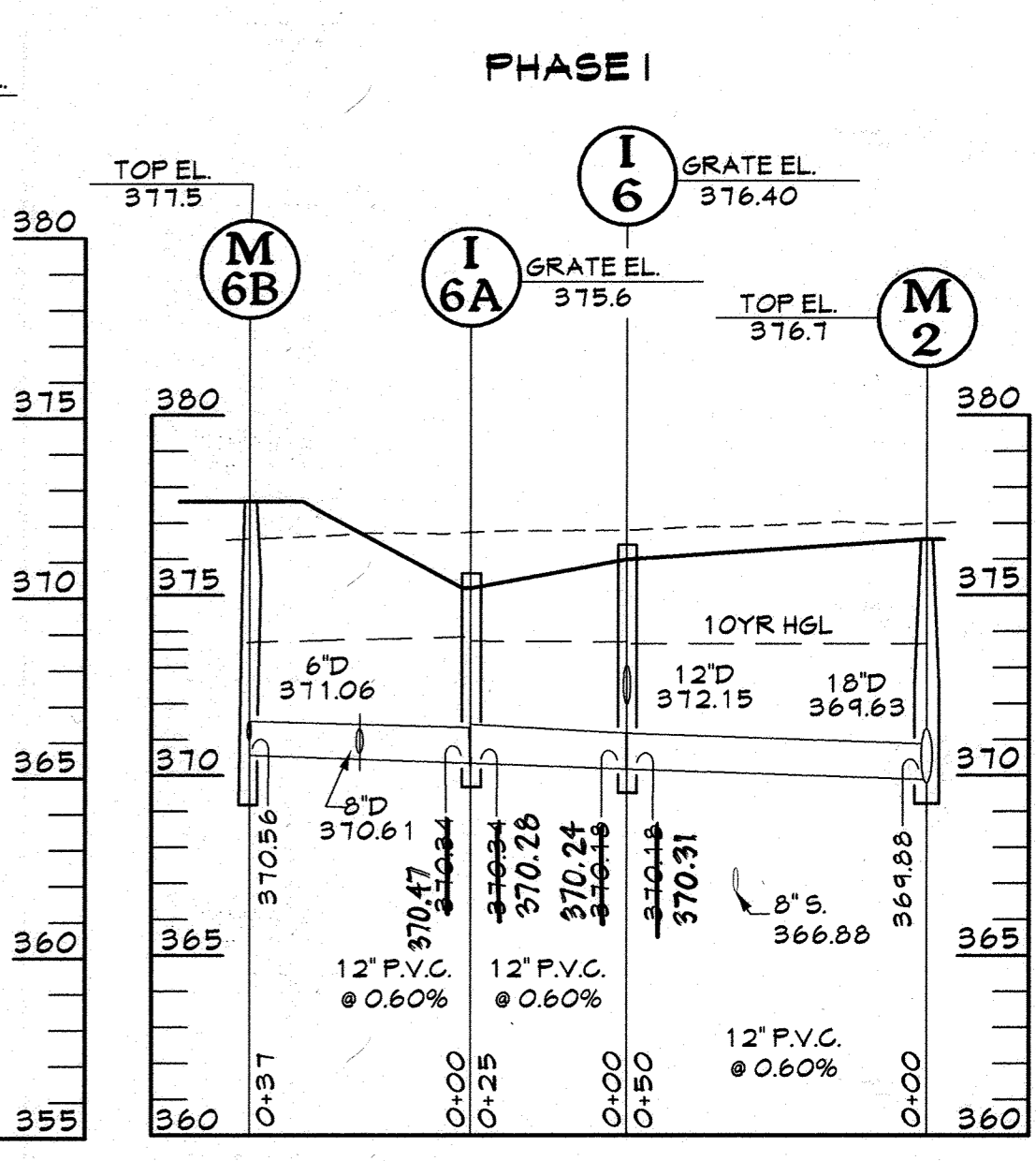
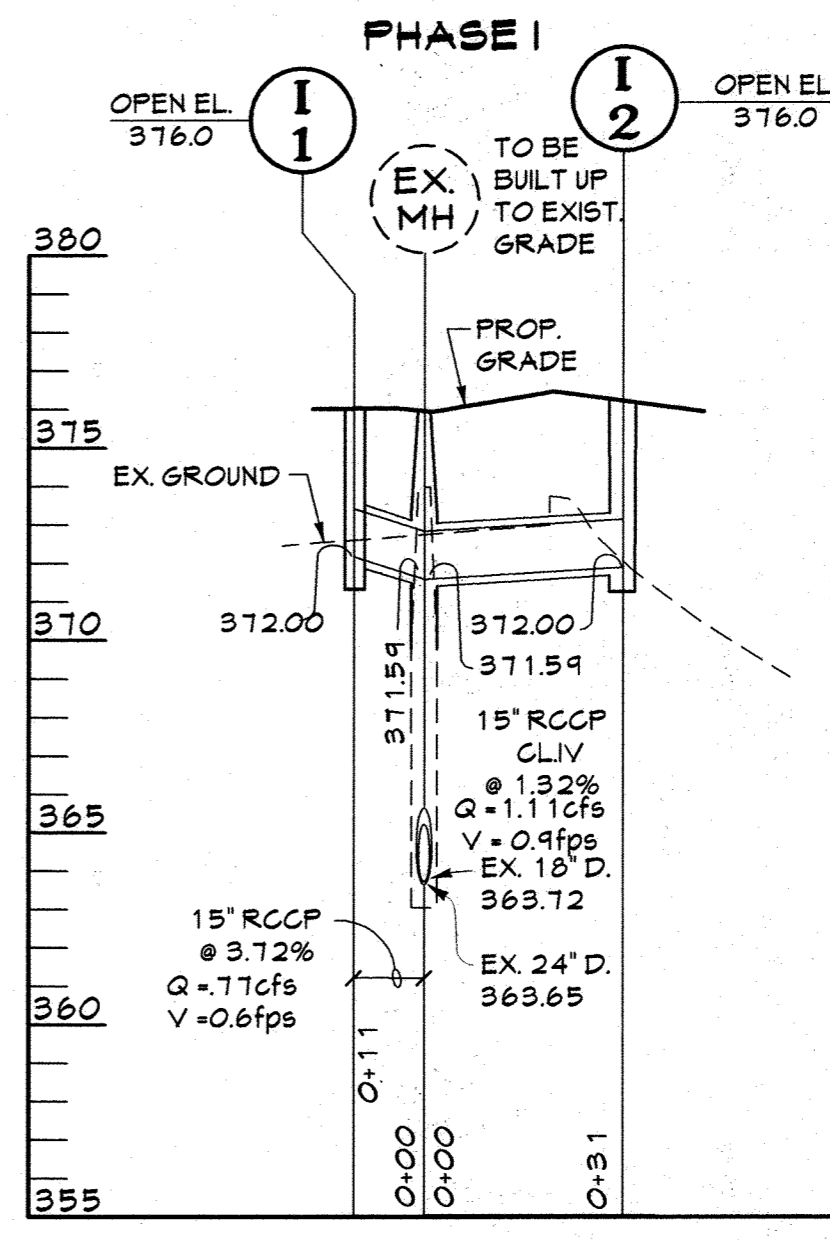
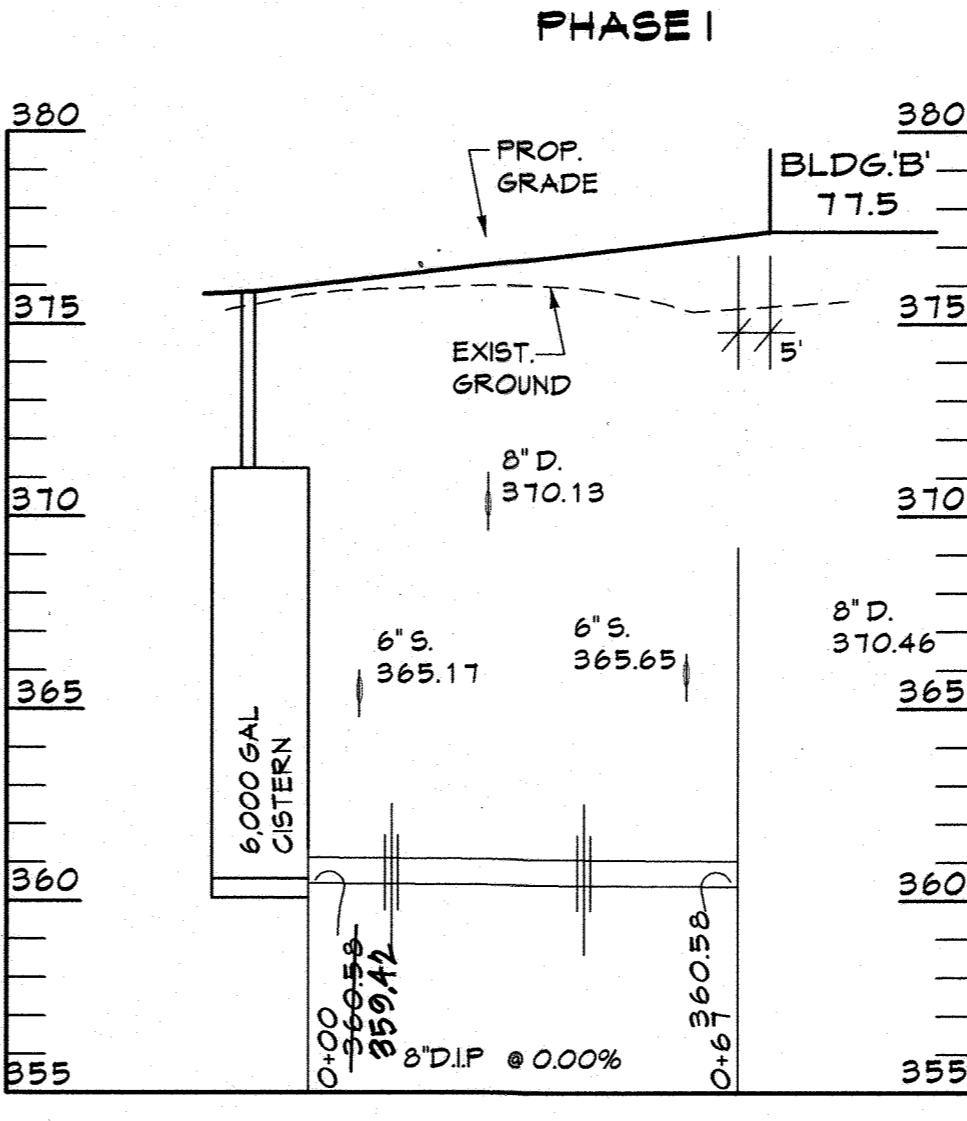
DEVELOPER
GENERAL GROWTH PROPERTIES
 10440 LITTLE PATUXENT PARKWAY, SUITE 1000
 COLUMBIA, MARYLAND 21044
 410-992-6000

STORM DRAINS DRAINAGE AREA MAP
THE MALL IN COLUMBIA
 BUILDING EXPANSION
 COLUMBIA TOWN CENTER
 TAX MAP: 30, 36 LOT: 47 GRID: 19, 20, 1, 2 ZONED: NT PARCEL: 460 F-04-045
 ELECTION DISTRICT 5 HOWARD COUNTY, MARYLAND
 SHEET 13 OF 73

C.E.I. PROJECT NUMBER
 28141.02
 SCALE:
 1" = 30'

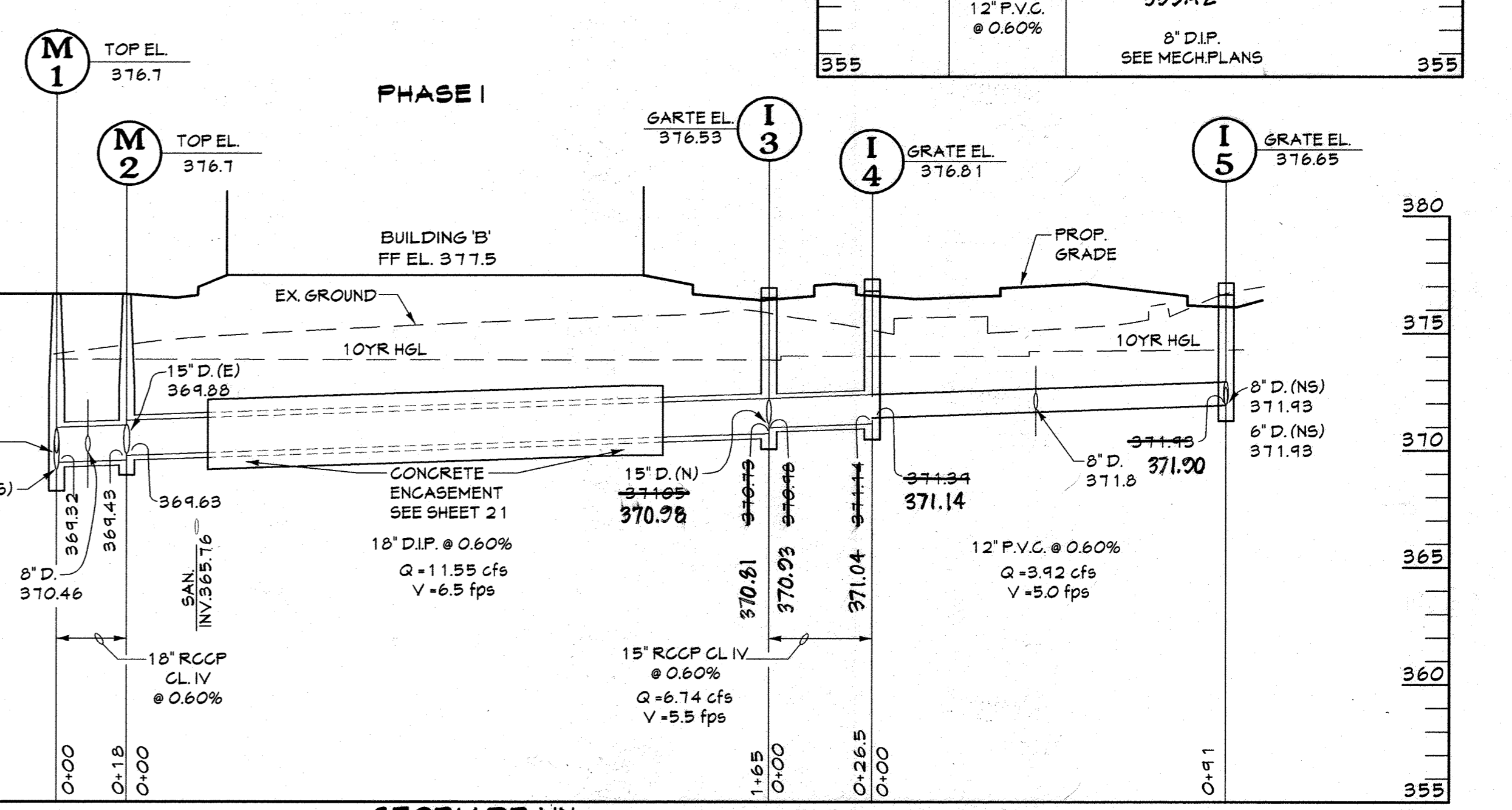
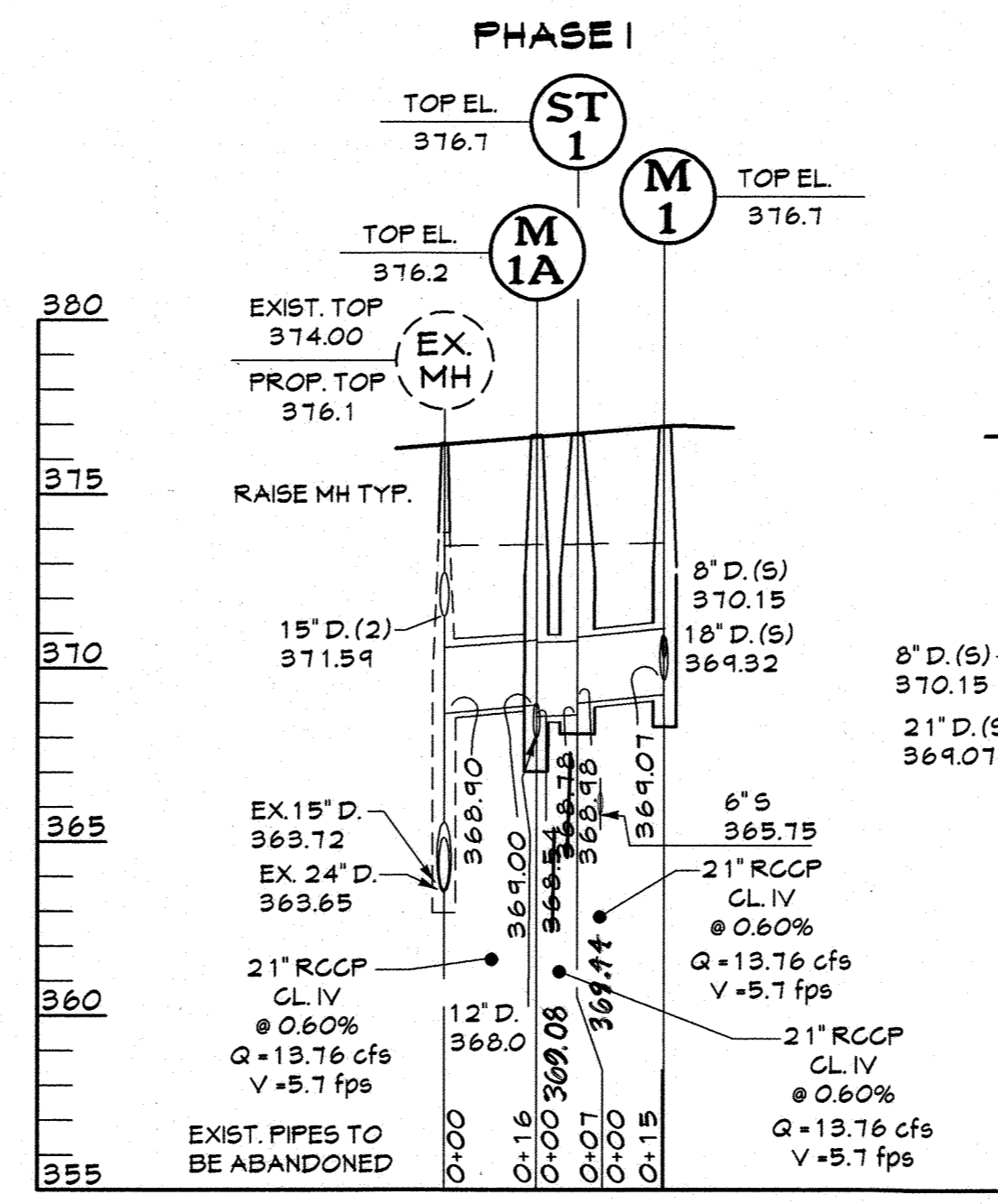
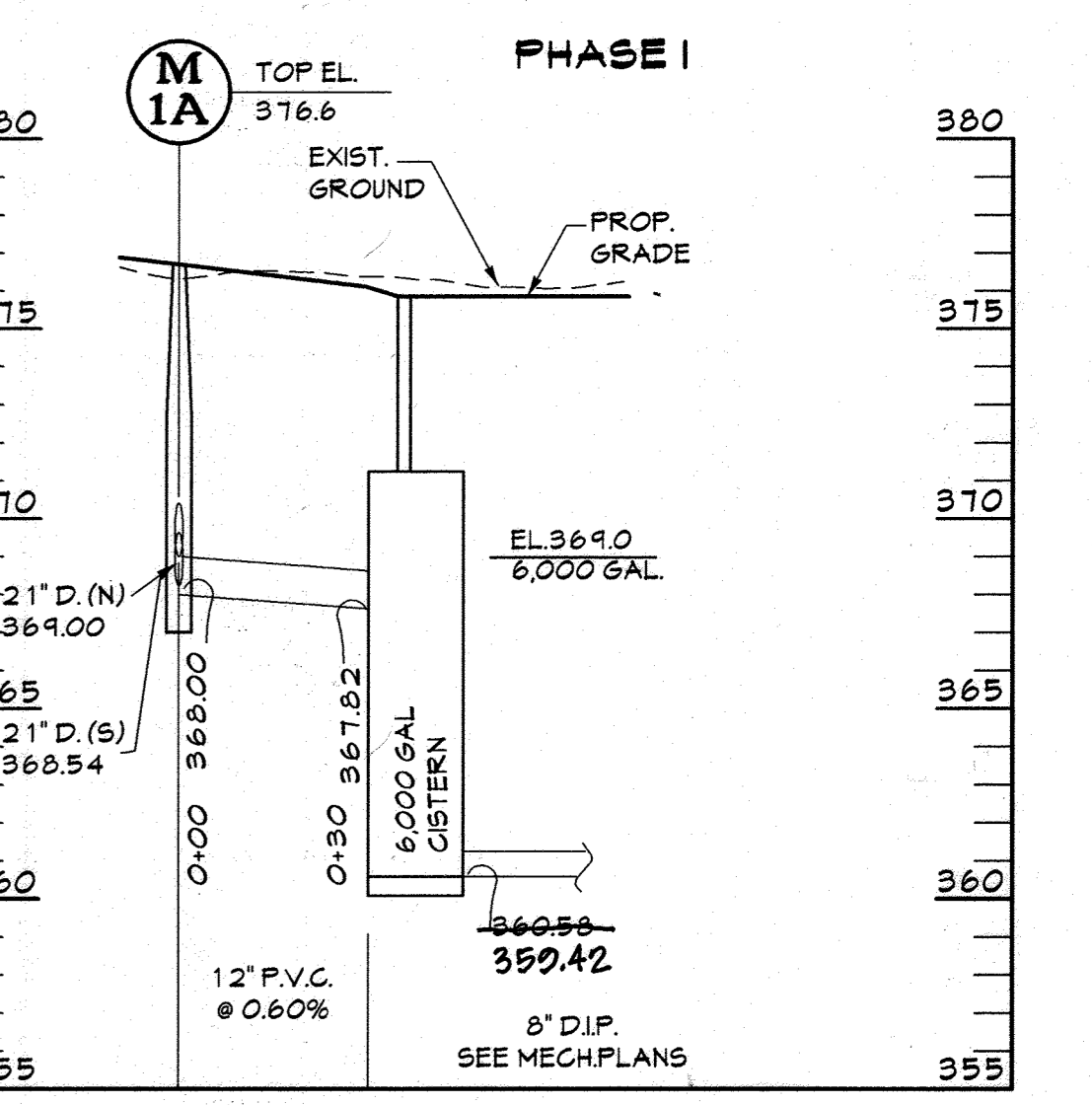
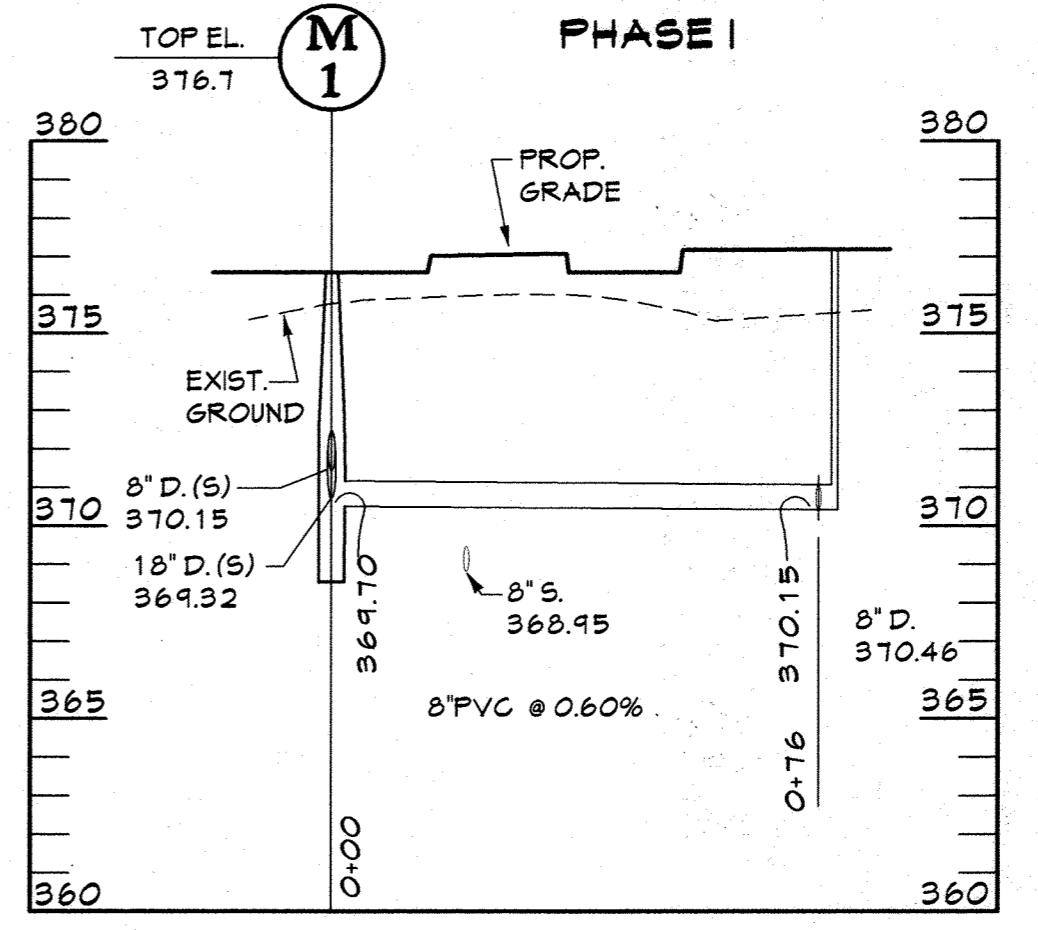
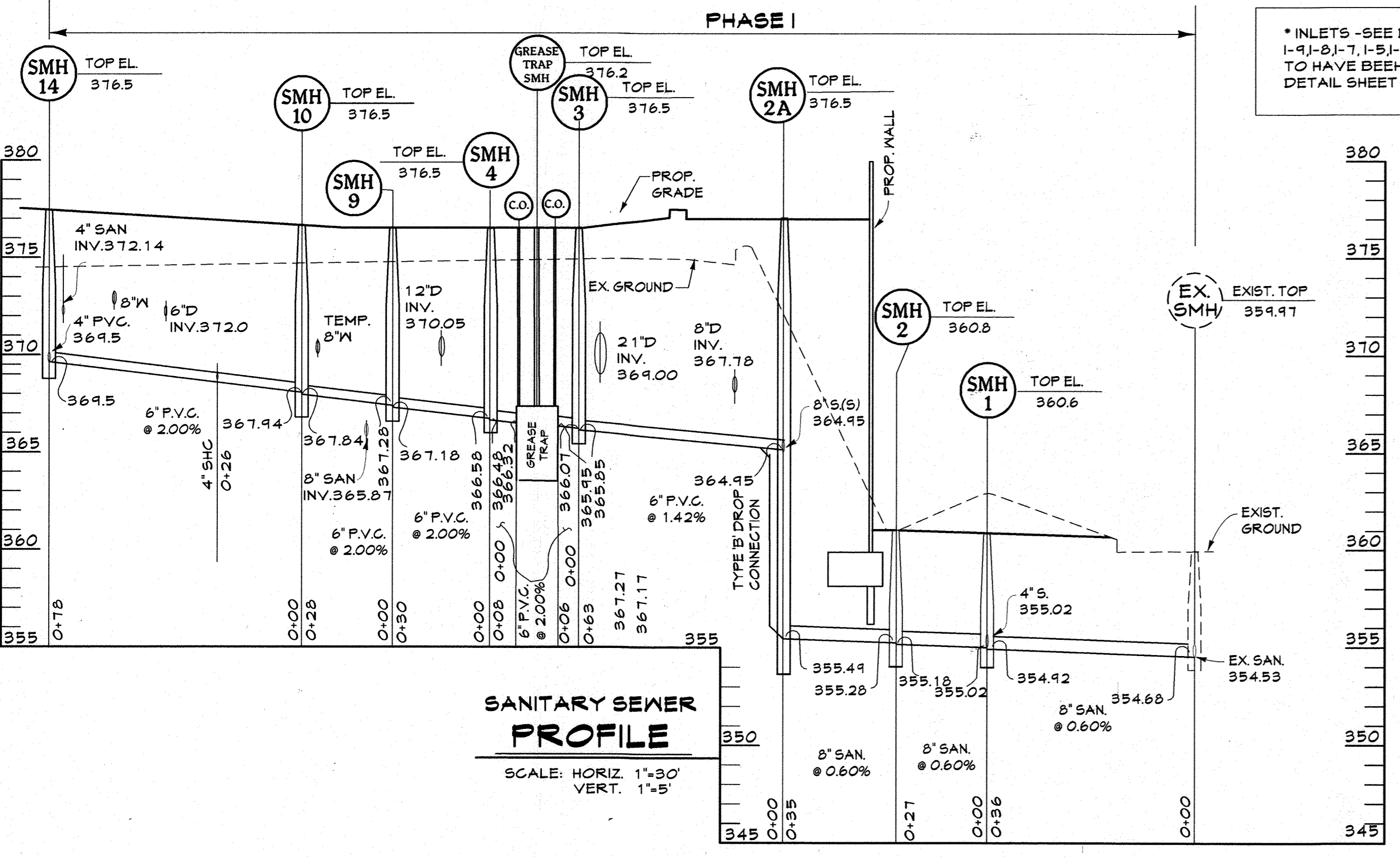


STRUCTURE SCHEDULE			
NO.	TYPE	SIZE	DETAIL
I-1	TYPE 'S'		HO. CO. STD. DETAIL SD.4.22
I-2	TYPE 'S'		HO. CO. STD. DETAIL SD.4.22
I-3	TYPE 'S'		HO. CO. STD. DETAIL SD.4.22
I-4	TYPE 'S'		HO. CO. STD. DETAIL SD.4.22
I-5	TYPE 'S'		HO. CO. STD. DETAIL SD.4.22
I-6	TYPE 'S'		HO. CO. STD. DETAIL SD.4.22
I-6A	TYPE 'S'		HO. CO. STD. DETAIL SD.4.22
M-1	STANDARD PRE-CAST MANHOLE	4'-0"	HO. CO. STD. DETAIL G.5.12
M-2	STANDARD PRE-CAST MANHOLE	4'-0"	HO. CO. STD. DETAIL G.5.12
M-6B	STANDARD PRE-CAST MANHOLE	4'-0"	HO. CO. STD. DETAIL G.5.12
M-1A	STANDARD PRE-CAST MANHOLE	4'-0"	HO. CO. STD. DETAIL G.5.12



PIPE SCHEDULE	
TYPE	LINER FEET
6" SAN	209
8" PVC-DRAIN	131
8" SAN	313
12" PVC-DRAIN	477
15" RCCP	68.5
18" D.I.P.	165
4" SAN	84
18" RCCP	18
21" RCCP	38
8" D.I.P.	147

* INLETS - SEE DETAIL SHEET 15, I-9-I-8J-7, I-5-I-6A-I-4 AND I-3 TO HAVE BEEHIVE GRATE-SEE DETAIL SHEET 15.



PROFESSIONAL CERTIFICATION
 I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.

LICENSE NUMBER: 10949 | EXPIRATION DATE: 8-28-10

STORM DRAIN PROFILE
 SCALE: HORIZ. 1"=30'
 VERT. 1"=5'

I HEREBY CERTIFY, BY MY SEAL, THAT THE INFORMATION SHOWN ON THE PLAN WAS CONSTRUCTED AS SHOWN ON THE "AS-BUILT" PLANS AND COMPLIES WITH THE APPROVED PLANS AND SPECIFICATIONS.

APPROVED: DEPARTMENT OF PLANNING AND ZONING
 Chief, Development Engineering Division
 Date: 1/2/13
 Chief, Division of Land Development
 Date: 4-09-13
 Director
 Date: 4/4/12

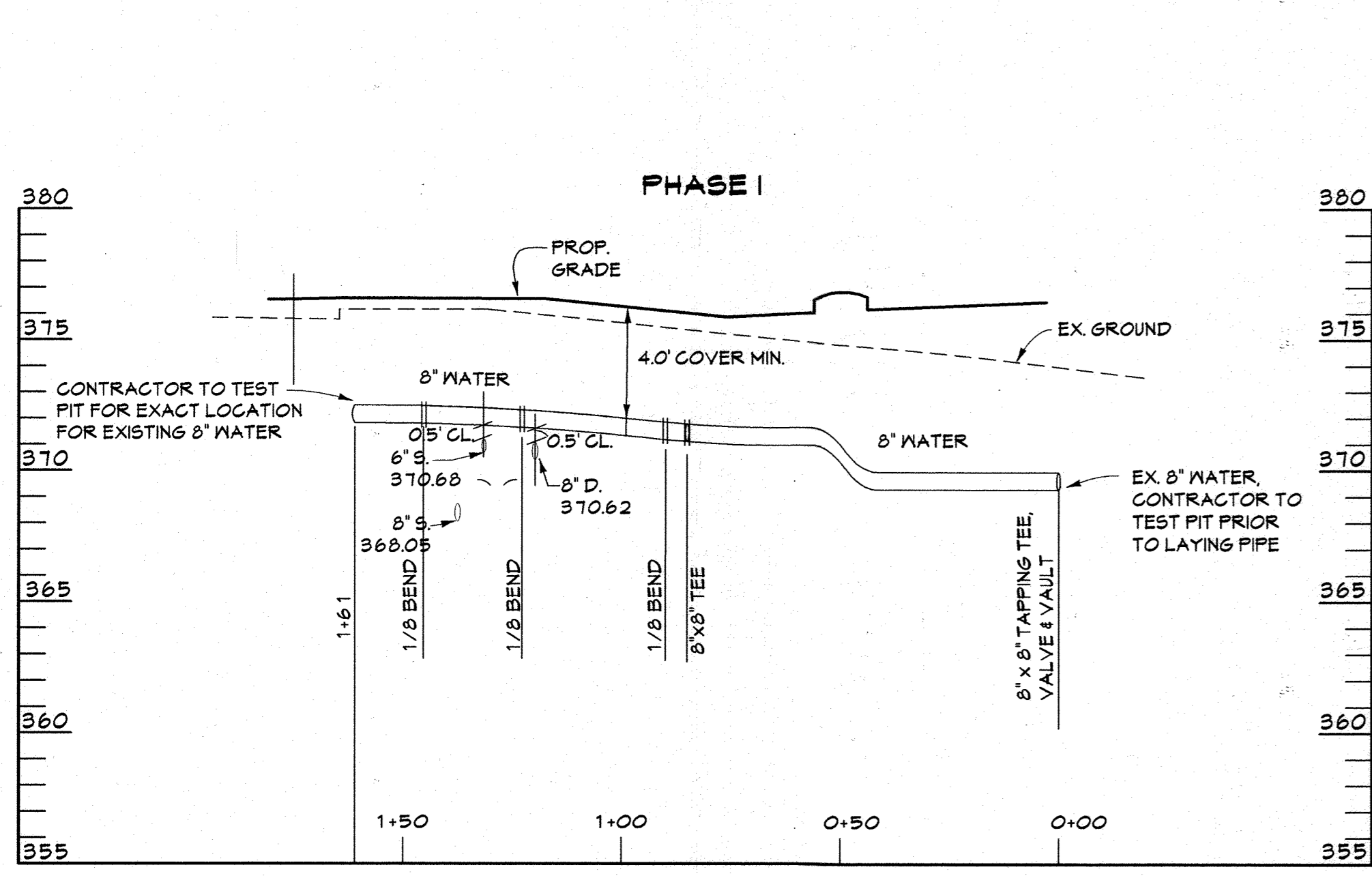
CENTURY ENGINEERING
 CONSULTING ENGINEERS - PLANNERS
 10710 Gilroy Road, Hunt Valley, MD 21031
 Phone: 443.589.2400 Fax: 443.589.2401



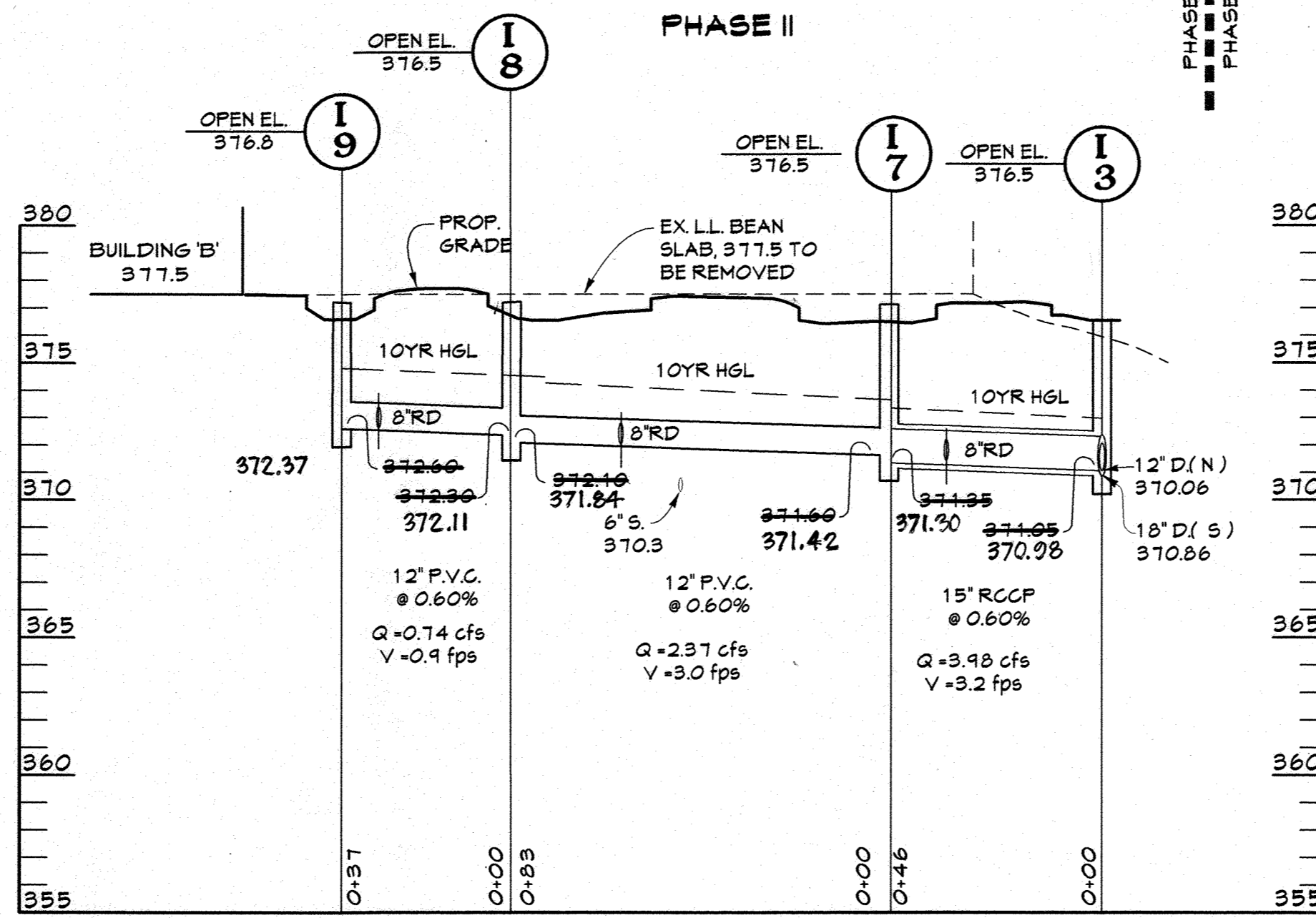
DESIGN BY:	M.J.P.	DATE:	9/5/10
DRAWN BY:	M.S.S.		
CHECKED BY:			
BY NO.		REVISION	DATE

DEVELOPER
GENERAL GROWTH PROPERTIES
 10440 LITTLE PATUXENT PARKWAY, SUITE 1000
 COLUMBIA, MARYLAND 21044
 410-992-6000

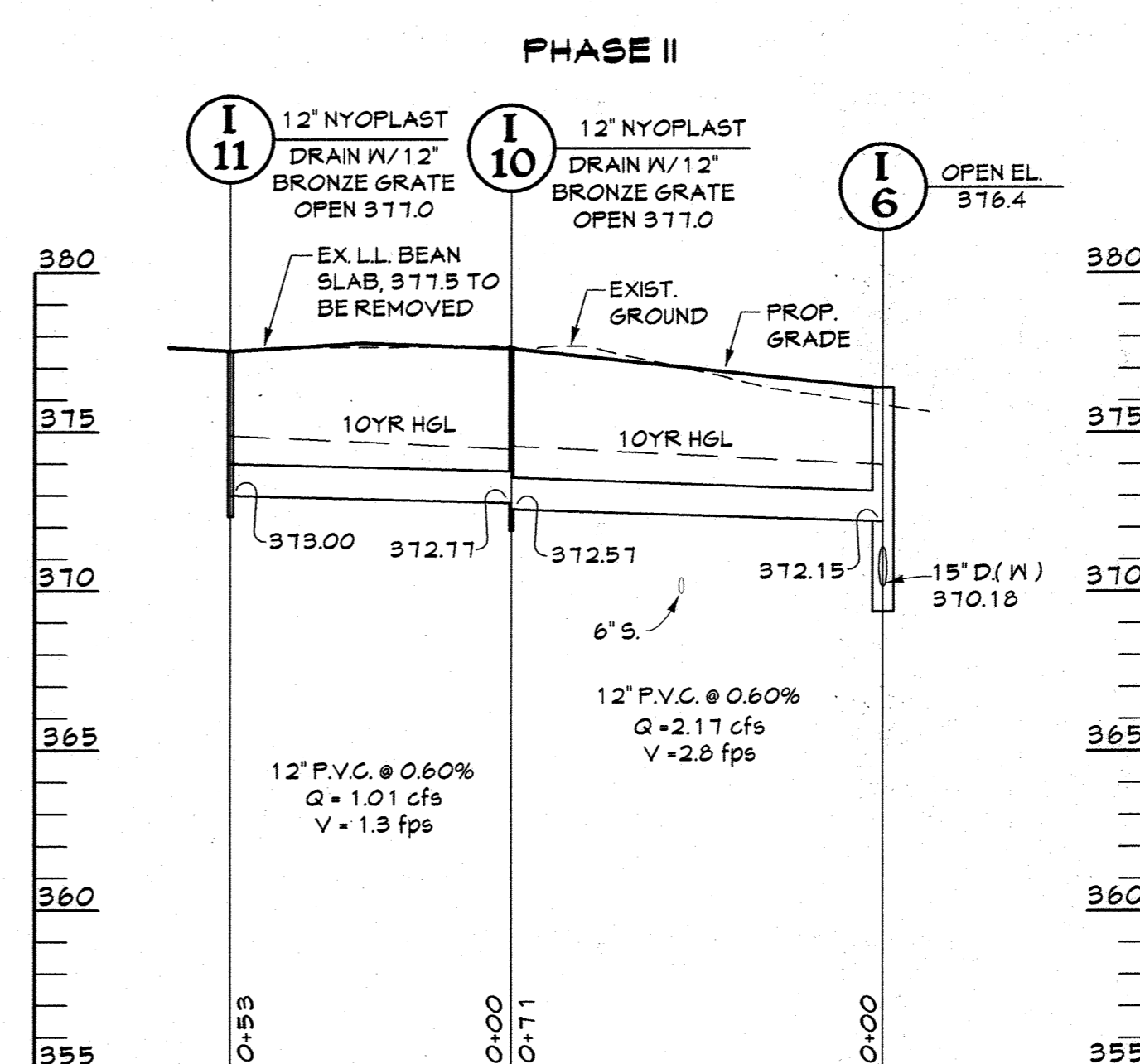
AS BUILT UTILITY PROFILES - PHASE I
THE MALL IN COLUMBIA
 BUILDING EXPANSION
 COLUMBIA TOWN CENTER
 TAX MAP: 30, 36 LOT: 47 GRID: 19, 20, 1, 2 ZONED: NT PARCEL: 460 F-04-045
 ELECTION DISTRICT 5 HOWARD COUNTY, MARYLAND
 SHEET 14 OF 73
 SCALE: As Shown
 C.E.I. PROJECT NUMBER: 28141.02



WATER LINE PROFILE
SCALE: HORIZ 1"=30'
VERT. 1"=5'



STORM DRAIN PROFILE
SCALE: HORIZ 1"=30'
VERT. 1"=5'



* YARD INLETS - SEE DETAIL THIS SHEET (I-9)-I-7)-I-6)-I-5)-I-4 AND I-3 TO HAVE BEEHIVE GRATE-SEE DETAIL THIS SHEET.

NO.	TYPE	SIZE	DETAIL
I-11		12'	NYOPLAST DRAIN
I-10		12'	NYOPLAST DRAIN
I-9	TYPE 'S'		HO. CO. STD. DETAIL SD.4.22
I-8	TYPE 'S'		HO. CO. STD. DETAIL SD.4.22
I-7	TYPE 'S'		HO. CO. STD. DETAIL SD.4.22

TYPE	LINER FEET
12" P.V.C.-DRAIN	244
8" WATER	161
15" R.C.P.	46

1000 GALLON HEAVY DUTY GREASE INTERCEPTOR

MODERN Environmental & Wastewater Division

GREASE TRAP DETAIL NOT TO SCALE

R-2590 Series Inlet Frame, Beehive Grate

R-2581 Inlet Frame, Beehive Grate

R-2581-A Inlet Frame, Beehive Grate

NEENAN FOUNDRY

Catalog No.	A	B	C	E	F	G	Frame/Lid
R-2581-A	18 1/4	11 1/4	18 3/4	3	4	1 3/4	R-2581-A
R-2581	22 1/2	11 1/2	22 1/2	3	4	1 3/4	R-2581
R-2581	22 1/2	11 1/2	22 1/2	3	4	1 3/4	R-2581

R-4995 - R-4996 Type M Trench Frame with Solid or Grated Cover

Heavy Duty

Read Carefully Before Ordering

Specify: 1. Complete catalog number, 2. Light or heavy duty, 3. Overall length of cover required, 4. Lid solid, flat grated, or diagonally barred convex grates, 5. Location of outlet, side, bottom, or end (give dimensional location and pipe size), 6. Whether one end or both ends.

FRAME ANCHORAGE DETAIL

SECTION A-A

SECTION B-B

GENERAL NOTES

- BOTTOM AND WALLS SHALL BE MIX NO.6 CONCRETE.
- REINFORCING-2 LAYERS OF #4x4 W4.0 WELDED WIRE FABRIC.
- 8-#4 WHERE A IS LESS THAN 8'
- 8-12" WHERE A IS 8' TO 14'
- TOP 4" OF WALLS SHALL BE BRICK MASONRY. ADDITIONAL BRICK SHALL BE USED TO BRING THE GRATE TO EXISTING GRADE IF REQUIRED.
- INVERTS SHALL BE APPROVED PRECAST, PLAN AND M3.3 CONCRETE OR BRICK LAD ON EDGE. INVERT TO SLOPE DOWN TOWARD OUTLET AT THE RATE OF 2" PER FOOT, OR AS SHOWN ON PLAN OR AS DIRECTED. INVERT BRICK SHALL BE ASTM C22-91 GRADE SS.
- WHERE A IS 3'-6" OR GREATER STANDARD MANHOLE STEPS SHALL BE INSTALLED AS SHOWN.

PROFESSIONAL CERTIFICATION

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.

LICENSE NUMBER: 10491 EXPIRATION DATE: 6-28-14

I HEREBY CERTIFY, BY MY SEAL, THAT THE INFORMATION ON THIS PLAN IS CONSTRUCTED AS SHOWN ON THE "AS-BUILT" PLANS AND COMPLIES WITH THE APPROVED PLANS AND SPECIFICATIONS.

30 15 0 30 60
SCALE: 1"=30'

APPROVED: DEPARTMENT OF PLANNING AND ZONING

Chief, Development Engineering Division

Chief, Division of Land Development

Director

Date: 1/21/13

Date: 6-09-13

Date: 4/1/10

CENTURY ENGINEERING

CONSULTING ENGINEERS - PLANNERS

10710 Gilroy Road, Hunt Valley, MD 21031

Phone: 443.589.2400 Fax: 443.589.2401

DESIGN BY: M.J.P. 9/5/12

DRAWN BY: M.S.S.

CHECKED BY:

DATE: 1/1/13

BY NO. REVISION DATE

DEVELOPER

GENERAL GROWTH PROPERTIES

10440 LITTLE PATUXENT PARKWAY, SUITE 1000

COLUMBIA, MARYLAND 21044

410-992-6000

AS BUILT UTILITY PROFILES - PHASE II

THE MALL IN COLUMBIA

BUILDING EXPANSION

COLUMBIA TOWN CENTER

TAX MAP: 30, 36 LOT: 47 GRID: 19, 20, 1, 2 ZONED: NT PARCEL: 460 F-04-045

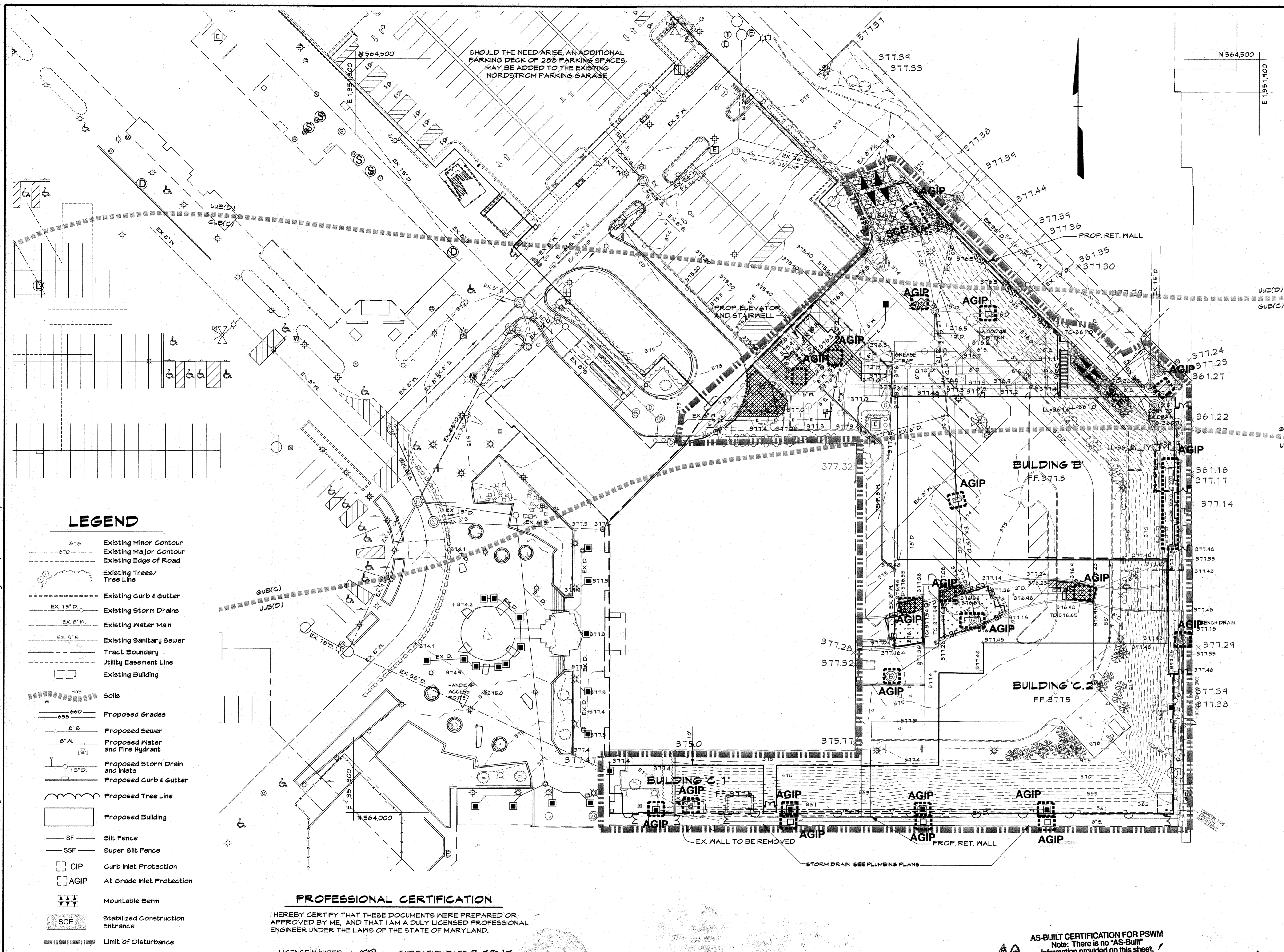
ELECTION DISTRICT 5 HOWARD COUNTY, MARYLAND

SHEET 15 OF 73

CE.I. PROJECT NUMBER 2814.1.02

SCALE: As Shown

SDP-13-016



SEQUENCE OF CONSTRUCTION

1. Obtain grading permits. (2 days)
- PHASE I
2. Install erosion and sediment control measures (Stabilized construction entrances, SSF, inlet protection to existing inlets). (5 days)
3. Contractor to relocate storm drain and other utilities in area of proposed retaining walls near existing mall. (15 days)
4. Contractor to build retaining walls. (15 days)
5. Contractor to backfill area behind retaining wall to elevation 377.1. Install SSF at top of retaining wall once backfill is complete in needed. (10 days)
6. Contractor to relocate water line to existing L.L. Bean building. Contractor to limit disturbance to water line and stabilize at the end of each day. (5 days)
7. Contractor to build storm drain from EX MH to I-3. Contractor to keep existing storm drain in service as long as possible. During a 3 day dry weather forecast, disconnect existing storm drain and connect proposed storm drain. install inlet protection at I-3. (10 days)
8. Rough grade remaining limits of phase I. Direct disturbed area to SSF, existing inlets or I-3. Construct remaining utilities, cisterns, stormceptor, micro bioretention facilities, parking lot, plaza and buildings. As inlets are installed install inlet protection. (60 days)
9. Upon completion of micro bioretention facilities install silt fence as shown until the drainage area to these facilities are stabilized. (20 days)
- PHASE II
10. Install erosion and sediment control measures (SF). (2 days)
11. Remove existing building. Rough grade remaining limits of phase II. Direct disturbed area to SF or existing inlets. Construct remaining utilities, micro bioretention facilities, plaza and buildings. As inlets are installed install inlet protection. (60 days)
12. Contractor to install permanent stabilization to disturbed areas. (7 days)
13. Upon completion of micro bioretention facilities install silt fence as shown until the drainage area to these facilities are stabilized. (20 days)
14. With approval from sediment control inspector contractor to remove remaining sediment control devices and permanently stabilize those areas disturbed by this process. (7 days)

NOTE: DEMOLITION WILL OCCUR WITHIN THE L.O.D. SHOWN. TEMPORARY STOCKPILES WITHIN THE L.O.D. WILL BE ESTABLISHED.

NOTE: SILT FENCE IS TO BE UPGRADED TO 'SUPER' SILT FENCE ON PAVEMENT AT THE DIRECTION OF THE SEDIMENT CONTROL INSPECTOR.

LEGEND

- 676 Existing Minor Contour
- 610 Existing Major Contour
- Existing Edge of Road
- Existing Trees/Tree Line
- Existing Curb & Gutter
- EX 15" D Existing Storm Drains
- EX 8" W Existing Water Main
- EX 8" S Existing Sanitary Sewer
- Tract Boundary
- Utility Easement Line
- Existing Building
- H18 Soils
- 660 Proposed Grades
- 8" S Proposed Sewer
- 8" W Proposed Water and Fire Hydrant
- 15" D Proposed Storm Drain and Inlets
- Proposed Curb & Gutter
- Proposed Tree Line
- Proposed Building
- SF Silt Fence
- SSF Super Silt Fence
- CIP Curb Inlet Protection
- AGIP At Grade Inlet Protection
- Mountable Berm
- SCE Stabilized Construction Entrance
- Limit of Disturbance

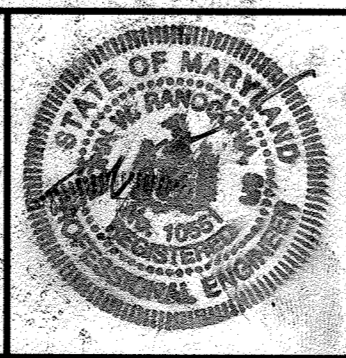
PROFESSIONAL CERTIFICATION

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.

LICENSE NUMBER: 42997 EXPIRATION DATE: 8-28-13

APPROVED: DEPARTMENT OF PLANNING AND ZONING
 Chief, Development Engineering Division
 Chief, Division of Land Development
 Director

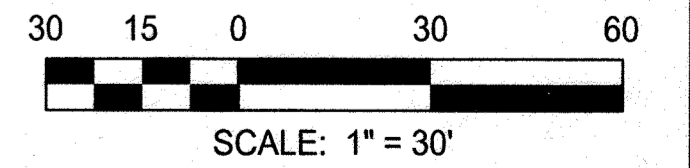
CENTURY ENGINEERS - PLANNERS
 CONSULTING ENGINEERS - PLANNERS
 10710 Gilroy Road, Hunt Valley, MD 21031
 Phone: 443.589.2400 Fax: 443.589.2401



DESIGN BY:	M.J.P.	DATE:	9/5/13
DRAWN BY:	M.S.S.		
CHECKED BY:			
BY	NO.	REVISION	DATE

AS-BUILT CERTIFICATION FOR PSWM
 Note: There is no "AS-Built" information provided on this sheet.

AS-BUILT



DEVELOPER'S CERTIFICATION

I/We certify that all development and construction will be done according to this plan, and that any responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of the Environment approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the Howard Soil Conservation District.

A. M. Miller 1-11-13
 Signature of Developer Date

ENGINEER'S CERTIFICATION

I certify that this plan for erosion and sediment control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District.

[Signature] 1/10/13
 Signature of Engineer Date

For the Howard Soil Conservation District

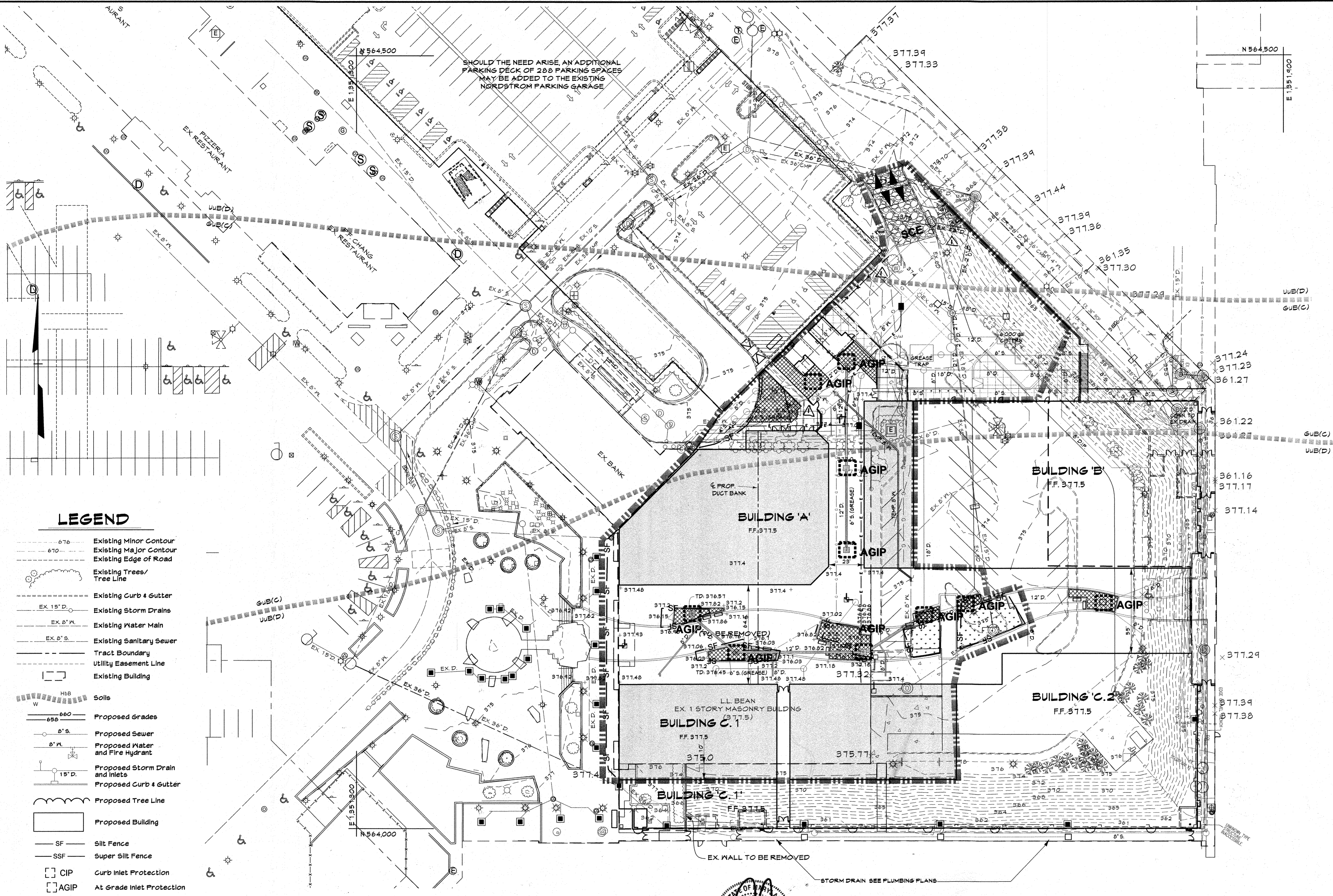
This development plan is approved for soil erosion and sediment control by the Howard Soil Conservation District.

[Signature] 1/13/13
 Signature of District Engineer Date

EROSION & SEDIMENT CONTROL PLAN - PHASE I
THE MALL IN COLUMBIA
 BUILDING EXPANSION
 COLUMBIA TOWN CENTER
 TAX MAP: 30, 36 LOT: 47 GRID: 19, 20, 1, 2 ZONED: NT PARCEL: 460 F-04-045
 ELECTION DISTRICT 5 HOWARD COUNTY, MARYLAND
 SHEET 16 OF 77

C.E.I. PROJECT NUMBER: 28141.02
 SCALE: 1" = 30'

S:\2008\Facilities\2014\1.00 Columbia Mall\CADD\Drawings\SDP\Phase II\2014.1.02 (ESC-02 Ph2) ESC Plan Ph2.dwg, Jan 11, 2013 12:27pm cdoiron



SHOULD THE NEED ARISE, AN ADDITIONAL PARKING DECK OF 200 PARKING SPACES MAY BE ADDED TO THE EXISTING NORDSTROM PARKING GARAGE

LEGEND

- 676 Existing Minor Contour
- 670 Existing Major Contour
- Existing Edge of Road
- Existing Trees/Tree Line
- Existing Curb & Gutter
- EX 15" D. Existing Storm Drains
- EX 8" M. Existing Water Main
- EX 8" S. Existing Sanitary Sewer
- Tract Boundary
- Utility Easement Line
- Existing Building
- H88 Soils
- W Proposed Grades
- 8" S. Proposed Sewer
- 8" M. Proposed Water and Fire Hydrant
- 15" D. Proposed Storm Drain and Inlets
- Proposed Curb & Gutter
- Proposed Tree Line
- Proposed Building
- SF Silt Fence
- SSF Super Silt Fence
- CIP Curb Inlet Protection
- AGIP At Grade Inlet Protection
- Mountable Berm
- SCE Stabilized Construction Entrance
- Limit of Disturbance

PROFESSIONAL CERTIFICATION

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.

PROFESSIONAL CERTIFICATION
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NO. 27020 EXPIRATION DATE: JANUARY 23 2016

PAUL C. CAVANAUGH
PROFESSIONAL ENGINEER NO. 27020

NOTE: DEMOLITION WILL OCCUR WITHIN THE L.O.D. SHOWN. TEMPORARY STOCKPILES WITHIN THE L.O.D. WILL BE ESTABLISHED.

NOTE: SILT FENCE IS TO BE UPGRADED TO SUPER SILT FENCE ON PAVEMENT AT THE DIRECTION OF THE SEDIMENT CONTROL INSPECTOR.

DEVELOPER'S CERTIFICATION

I/We certify that all development and construction will be done according to this plan, and that any responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of the Environment approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the Howard Soil Conservation District.

C. M. Hughes 1.11.13
Signature of Developer Date

ENGINEER'S CERTIFICATION

I certify that this plan for erosion and sediment control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District.

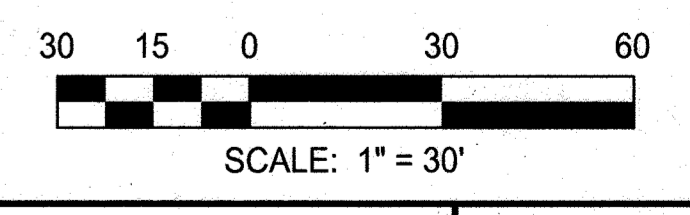
John R. White 1/15/13
Signature of Engineer Date

For the Howard Soil Conservation District

This development plan is approved for soil erosion and sediment control by the Howard Soil Conservation District.

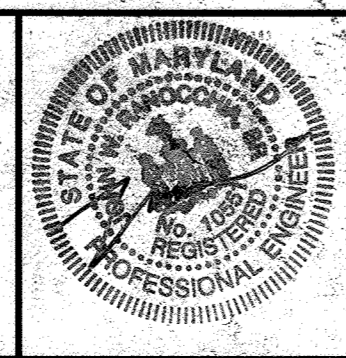
John R. White 1/15/13
Howard Soil Conservation District Date

AS-BUILT CERTIFICATION FOR PSWM
Note: There is no "AS-Built" information provided on this sheet.



APPROVED: DEPARTMENT OF PLANNING AND ZONING
Chief, Development Engineering Division
Chief, Division of Land Development
Director

CENTURY ENGINEERING
CONSULTING ENGINEERS - PLANNERS
10710 Gilroy Road, Hunt Valley, MD 21031
Phone: 443.589.2400 Fax: 443.589.2401

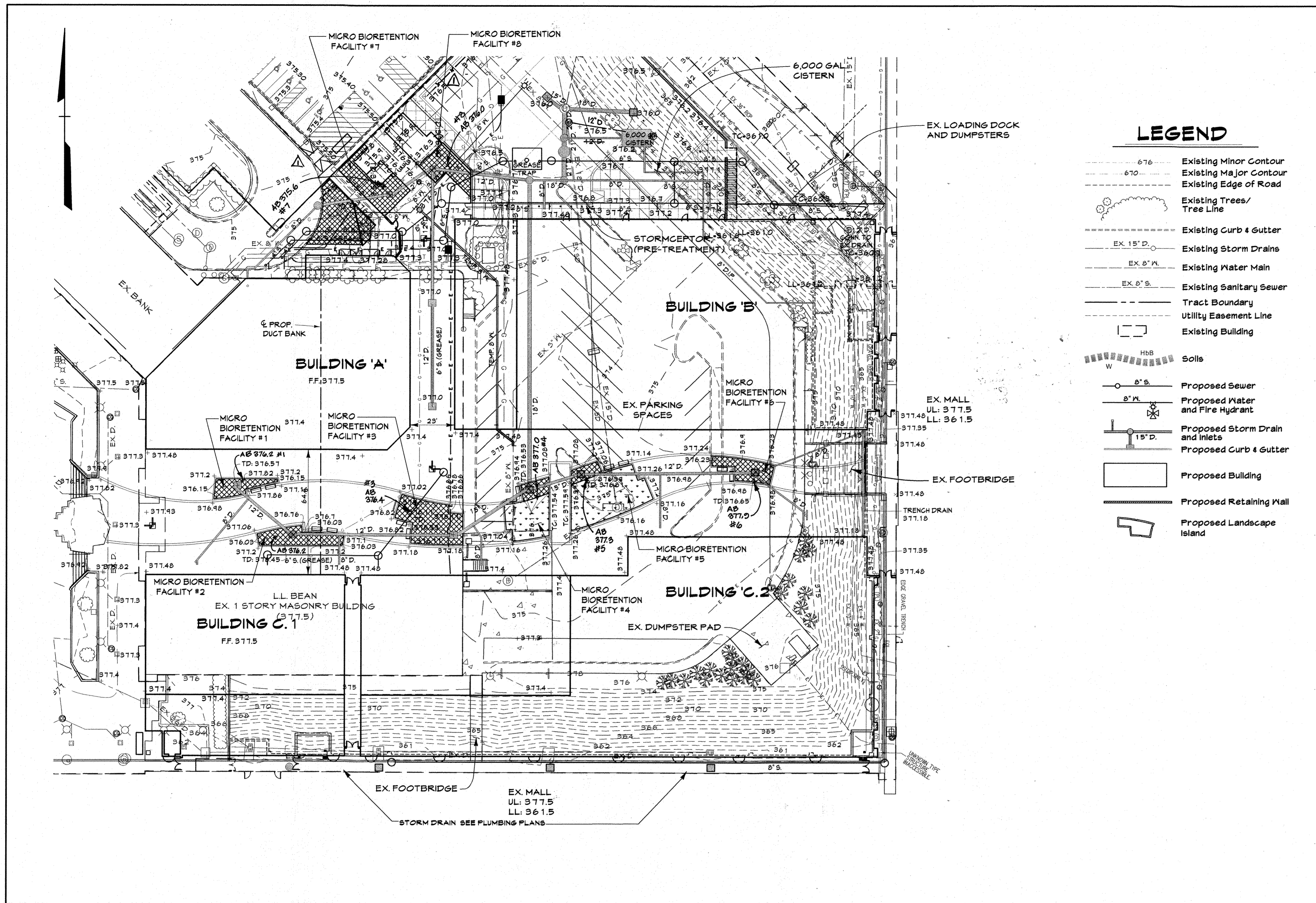


DESIGN BY:	M.J.P.	DATE:	07/16/15
DRAWN BY:	M.S.S.	DATE:	9/5/13
CHECKED BY:		DATE:	
DATE:		DATE:	
BY NO.		REVISION	DATE
		1	REVISE REVISION TO ADD SCREEN WALL, SCREEN FENCE, AND RECONSTRUCT RAMP 07/16/15
		2	AS-BUILT 9/5/13

DEVELOPER
GENERAL GROWTH PROPERTIES
10440 LITTLE PATUXENT PARKWAY, SUITE 1000
COLUMBIA, MARYLAND 21044
410-992-6000

EROSION & SEDIMENT CONTROL PLAN - PHASE II
THE MALL IN COLUMBIA
BUILDING EXPANSION
COLUMBIA TOWN CENTER
TAX MAP: 30.36 LOT: 47 GRID: 19.20, 1.2 ZONED: NT PARCEL: 460 F-04-045
ELECTION DISTRICT 5 HOWARD COUNTY, MARYLAND
SHEET 17 OF 73

C.E.I. PROJECT NUMBER
28141.02
SCALE:
1"=30'



SWM MANAGEMENT IS BEING PROVIDED BY THE FOLLOWING METHODS

- 8 MICRO BIO RETENTION FACILITIES WHICH ARE TREATING PART OF THE NEW ESD VOLUME.
- (1) 6,000 GALLON CISTERN WHICH IS TREATING PART OF THE ESD VOLUME. THE WATER FROM THE CISTERN WILL BE USED TO IRRIGATE THE EXISTING LANDSCAPE AREAS IN THE OVERALL MALL AREA AND SURROUNDING COMMUNITY AND TO WASH VEHICLES. THE CISTERN WATER WILL REPLACE POTABLE WATER NOW BEING USED FOR THIS PURPOSE.
- A STORMCEPTOR IS AN APPROVED PRACTICE FOR TREATING WATER QUALITY IN REDEVELOPMENT AREAS.

LEGEND

- 676 --- Existing Minor Contour
- 670 --- Existing Major Contour
- - - - - Existing Edge of Road
- Existing Trees/ Tree Line
- - - - - Existing Curb & Gutter
- EX. 15" D. Existing Storm Drains
- EX. 8" M. Existing Water Main
- EX. 8" S. Existing Sanitary Sewer
- - - - - Tract Boundary
- - - - - Utility Easement Line
- Existing Building
- Soils
- Proposed Sewer
- Proposed Water and Fire Hydrant
- Proposed Storm Drain and Inlets
- Proposed Curb & Gutter
- Proposed Building
- Proposed Retaining Wall
- Proposed Landscape Island

FACILITY	PHASE TO BE BUILT
STORMCEPTOR	
(M-6) M.B. #1	PHASE II
(M-6) M.B. #2	PHASE II
(M-6) M.B. #3	PHASE II
(M-6) M.B. #4	PHASE II
(M-6) M.B. #5	PHASE I
(M-6) M.B. #6	PHASE I
(M-6) M.B. #7	PHASE I
(M-6) M.B. #8	PHASE I
(M-6) CISTERN	PHASE I

SUMMARY TABLE

ESDv Required (new development):	4,813 C.F.
ESDv Provided:	4,811 C.F.
Pe:	1.0' (Redevelopment)
Pe:	1.84 (New Development)
Q10, Q100	Not Required
ESDv Required (redevelopment):	3,718 C.F.
ESDv Provided:	by stormceptor

PROFESSIONAL CERTIFICATION

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.

LICENSE NUMBER: 10981 EXPIRATION DATE: 8-28-16

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NO. 27020 EXPIRATION DATE: JANUARY 29, 2016



PAUL G. CAVANAUGH
PROFESSIONAL ENGINEER NO. 27020

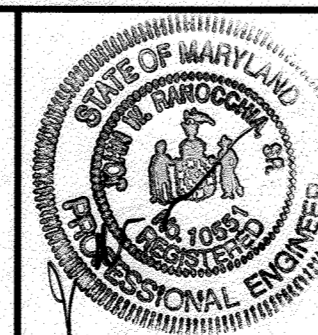
I hereby certify by my seal, that the facilities shown on the plan were constructed as shown on the "AS-BUILT" plans and comply with the approved plans and specifications.



SCALE: 1" = 30'

APPROVED: DEPARTMENT OF PLANNING AND ZONING
 Chief, Development Engineering Division
 Chief, Division of Land Development
 Director

CENTURY ENGINEERING
 CONSULTING ENGINEERS - PLANNERS
 10710 Gilroy Road, Hunt Valley, MD 21031
 Phone: 443.589.2400 Fax: 443.589.2401

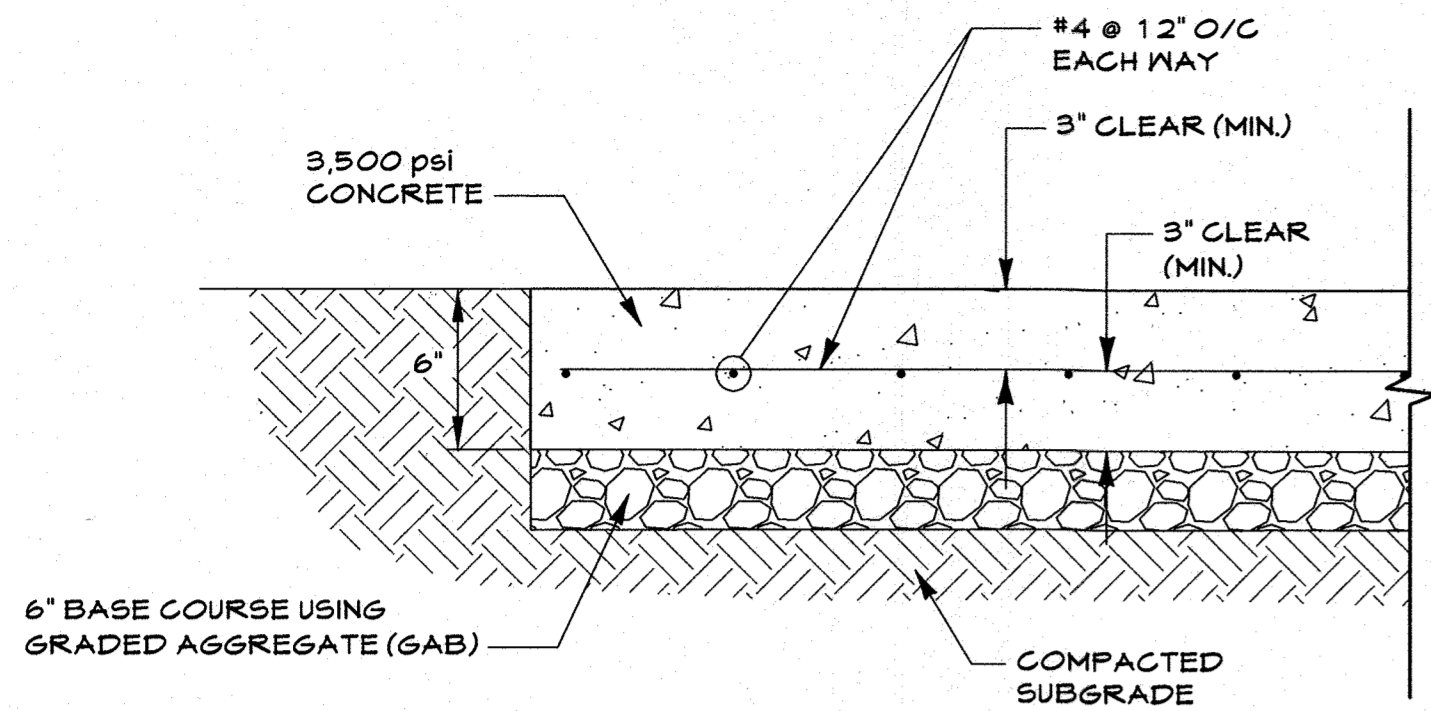


DESIGN BY:	M.J.P.	DATE:	1/14/13
DRAWN BY:	M.S.S.	BY:	NO.
CHECKED BY:		REVISION:	
DATE:	1/14/13	DATE:	09/18/15
			7/5/16
			AS-BUILT
			RECLINE REVISION TO ADD SCREEN WALL, SCREEN FENCE, AND RECONSTRUCT RAMP

DEVELOPER
GENERAL GROWTH PROPERTIES
 10440 LITTLE PATUXENT PARKWAY, SUITE 1000
 COLUMBIA, MARYLAND 21044
 410-992-6000

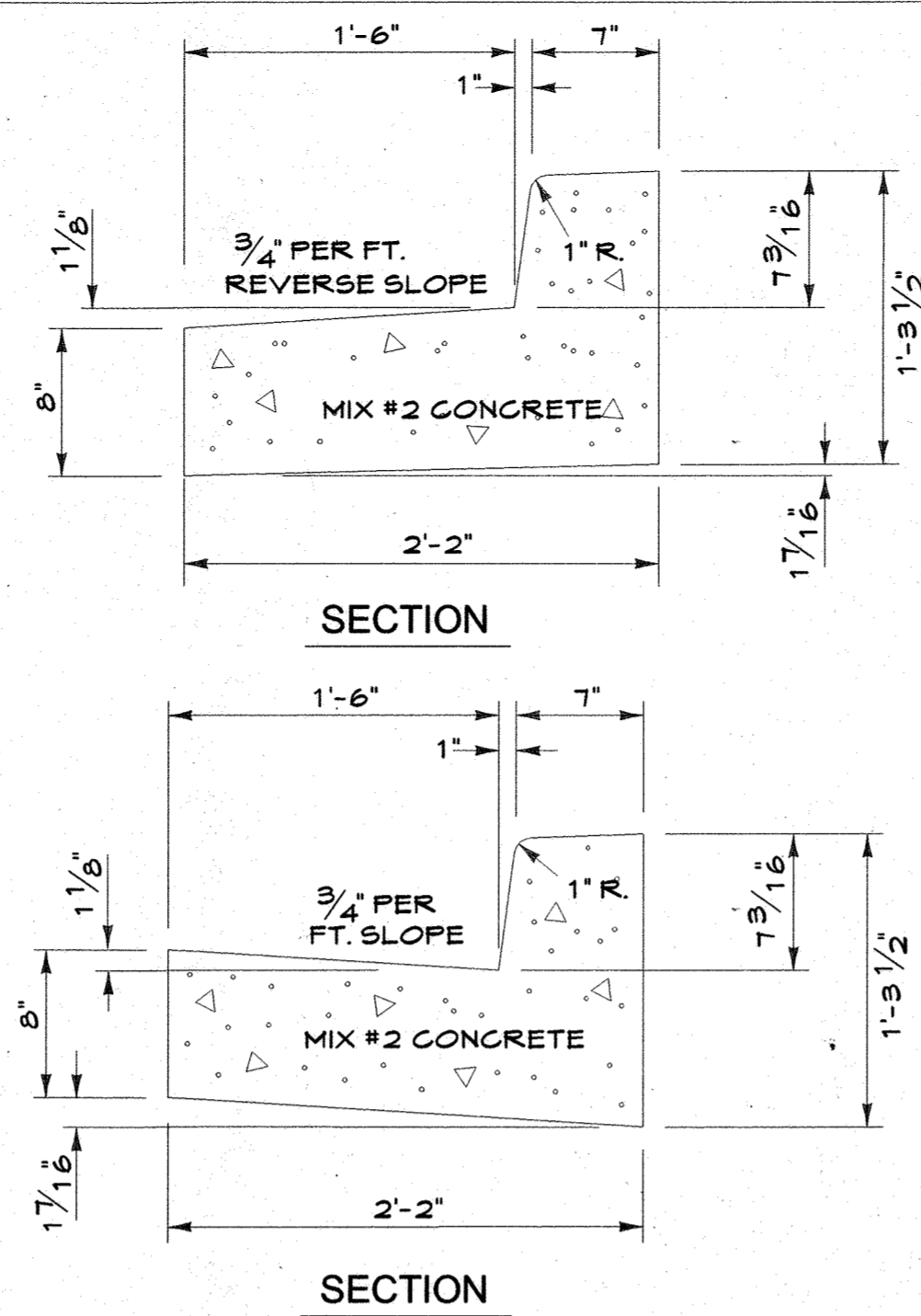
STORMWATER MANAGEMENT PLAN
THE MALL IN COLUMBIA
 BUILDING EXPANSION
 COLUMBIA TOWN CENTER
 TAX MAP: 30.38 LOT: 47 GRID: 19, 20, 1, 2 ZONED: NT PARCEL: 460 F-04-045
 ELECTION DISTRICT 5 HOWARD COUNTY, MARYLAND
 SHEET 20 OF 73

C.E.I. PROJECT NUMBER
 28141.02
 SCALE:
 1" = 30'



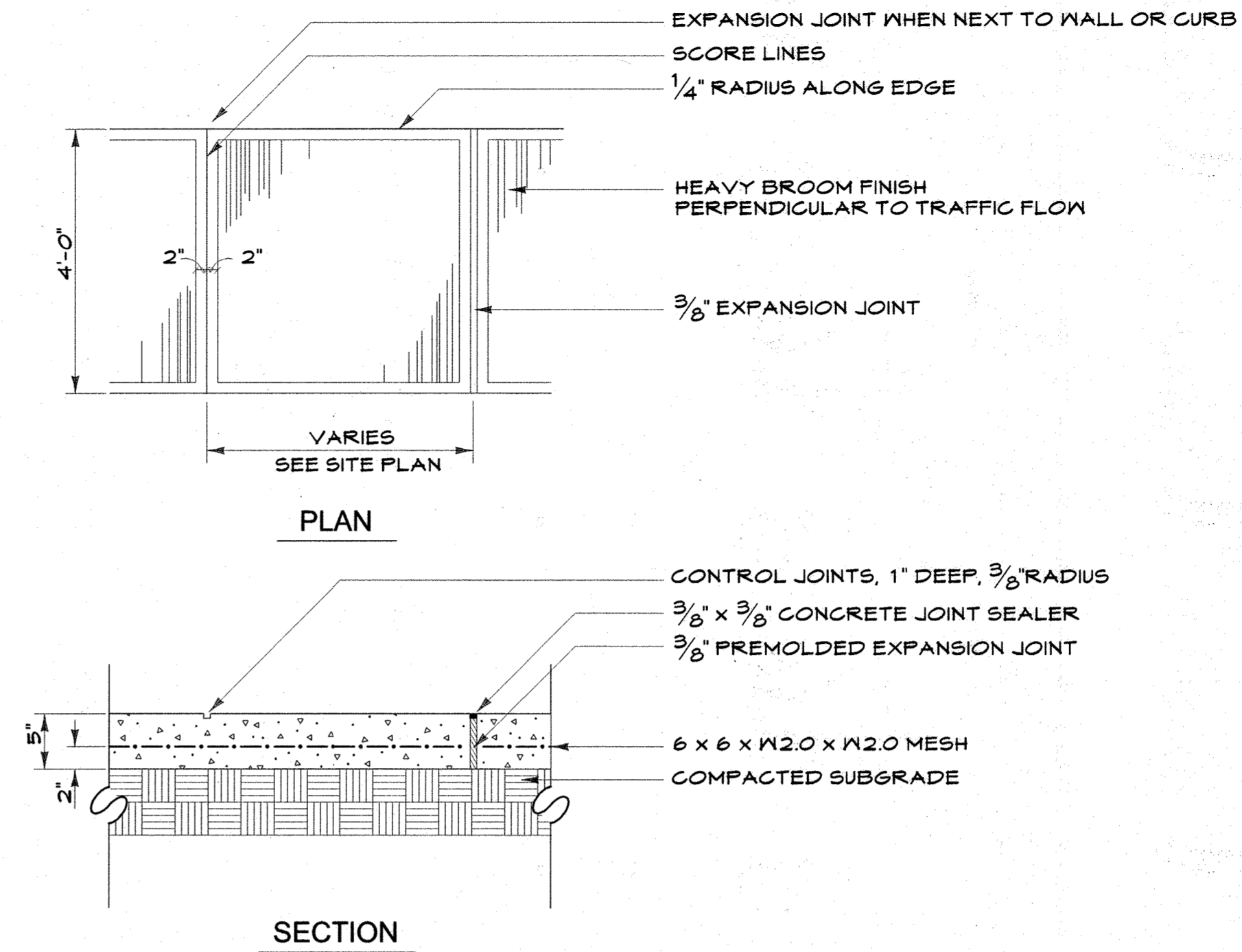
Heavy Duty Concrete Section

Not To Scale



7" Combination Curb and Gutter

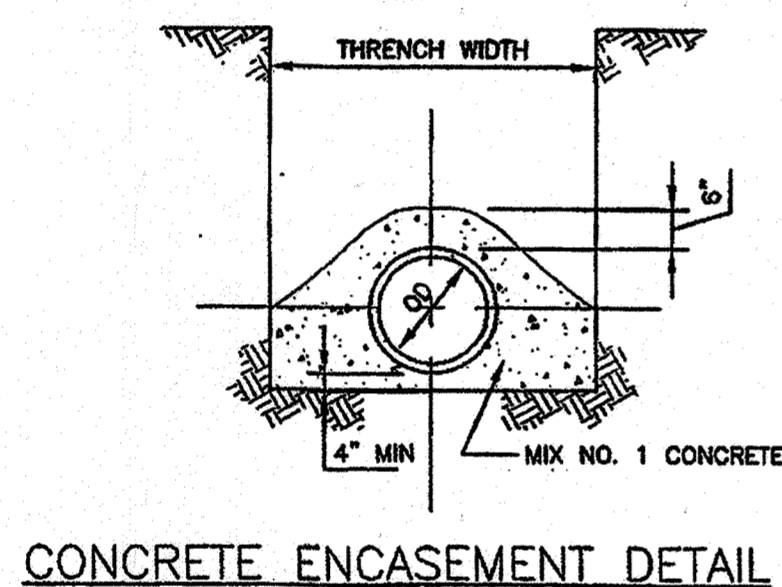
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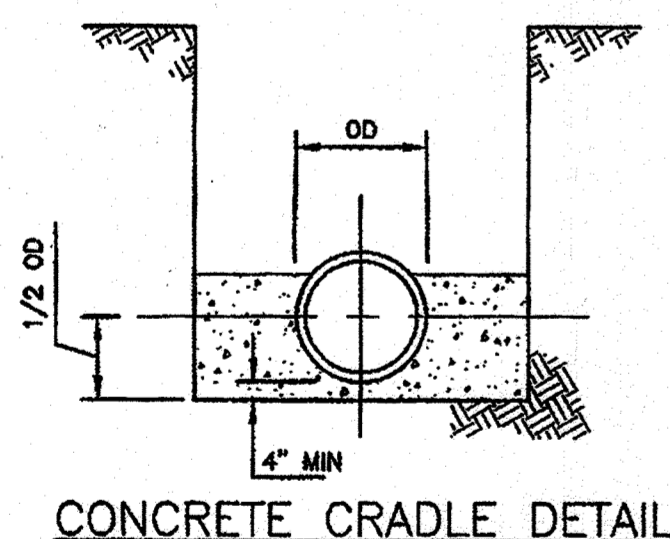
Concrete Walk

Not To Scale

NORMAL PIPE DIAMETER	MAXIMUM PAYMENT CUBIC FT PER LINEAR FT	
	CRADLE	CONCRETE ENCASEMENT
6"	1.28	1.53
8"	1.58	2.55
10"	1.86	2.95
12"	2.33	3.63
15"	2.82	4.20
18"	4.02	5.71
21"	4.52	6.35
24"	5.95	8.22
27"	6.58	8.94
30"	7.42	9.83
33"	9.42	12.16
36"	10.53	13.09
42"	12.30	15.22
48"	16.25	19.83
54"	18.46	22.97
60"	20.80	24.95
66"	23.08	27.71



CONCRETE ENCASEMENT DETAIL



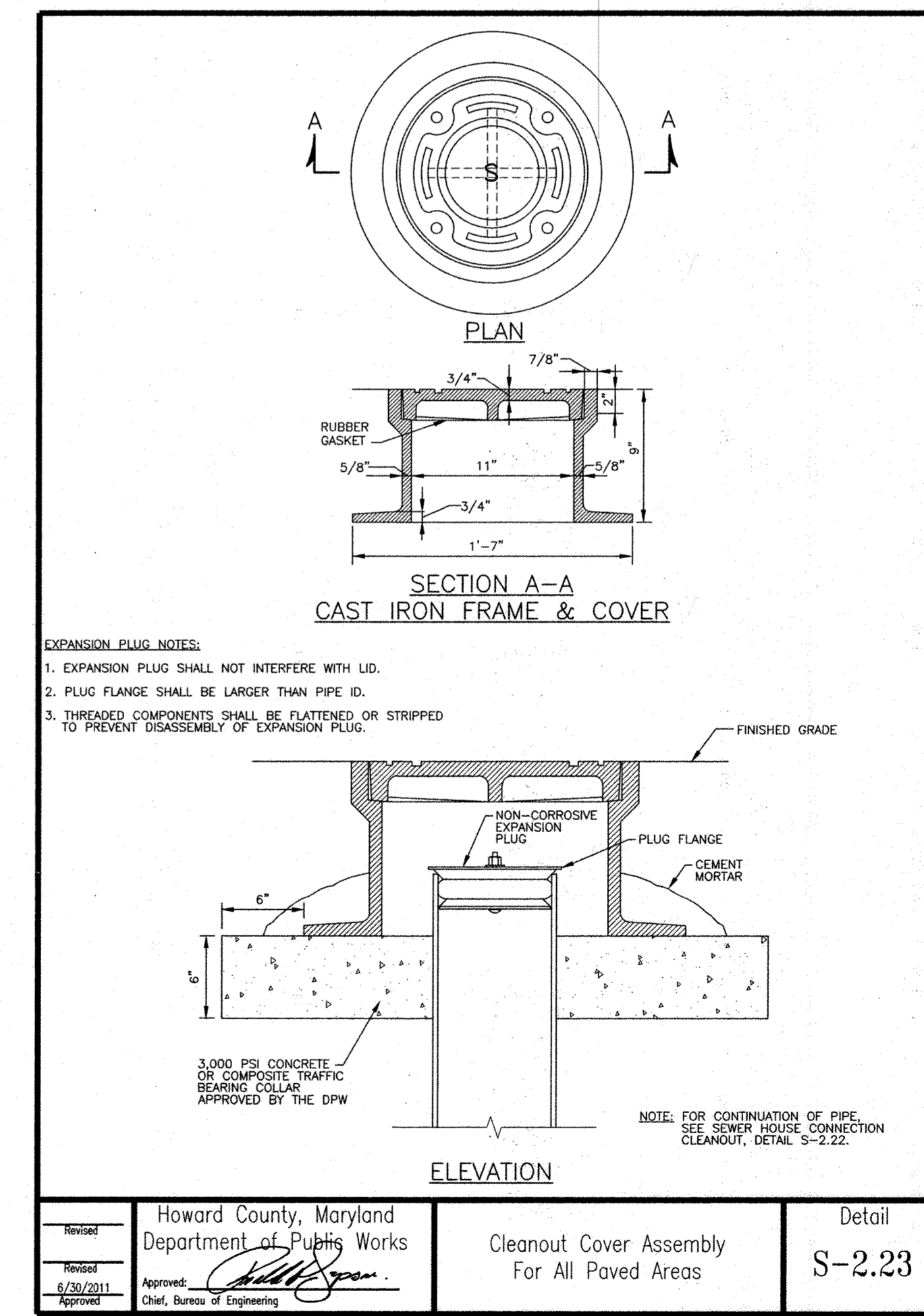
CONCRETE CRADLE DETAIL

NOTES:

- POUR CONCRETE TO UNDISTURBED EARTH.
- CONCRETE CRADLES AND ENCASEMENT SHALL BE MIX NO. 1 CONCRETE.
- ALL PAYMENT FOR CONCRETE ENCASEMENT OR CRADLES SHALL BE IN ACCORDANCE WITH THE TABLE ON THIS DETAIL. PAYMENT WILL NOT BE PER ACTUAL TRENCH WIDTH.
- CONCRETE ENCASEMENTS AND CRADLES FOR WATER AND SEWER LINES ARE NOT PERMITTED WITHOUT WRITTEN AUTHORIZATION FROM THE DEPARTMENT OF PUBLIC WORKS.
- SEE DETAIL S-3.11 AND S-3.12 FOR STREAM CROSSING DETAILS.

Professional Certification. I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland, License No. 16541. Expiration Date 8-25-10.

Howard County, Maryland Department of Public Works	Pipe Trench Cradle & Encasement	Detail G-2.13
---	------------------------------------	------------------

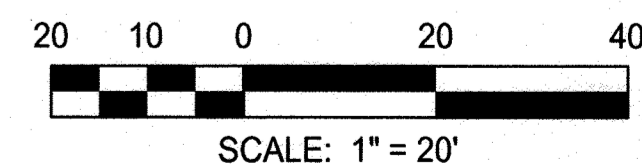


EXPANSION PLUG NOTES:

- EXPANSION PLUG SHALL NOT INTERFERE WITH LID.
- PLUG FLANGE SHALL BE LARGER THAN PIPE ID.
- THREADED COMPONENTS SHALL BE FLATTENED OR STRIPPED TO PREVENT DISASSEMBLY OF EXPANSION PLUG.

Howard County, Maryland Department of Public Works	Cleanout Cover Assembly For All Paved Areas	Detail S-2.23
---	--	------------------

AS-BUILT CERTIFICATION FOR PSWM
Note: There is no "AS-Built" information provided on this sheet.



APPROVED: DEPARTMENT OF PLANNING AND ZONING
Chief, Development Engineering Division
Chief, Division of Land Development
Director

CENTURY ENGINEERING
CONSULTING ENGINEERS - PLANNERS
10710 Gilroy Road, Hunt Valley, MD 21031
Phone: 443.589.2400 Fax: 443.589.2401



DESIGN BY: M.J.P.	CET 3A	AS-BUILT.	9/5/13
DRAWN BY: M.S.S.			
CHECKED BY:			
DATE: 1/14/13			
BY NO.		REVISION	DATE

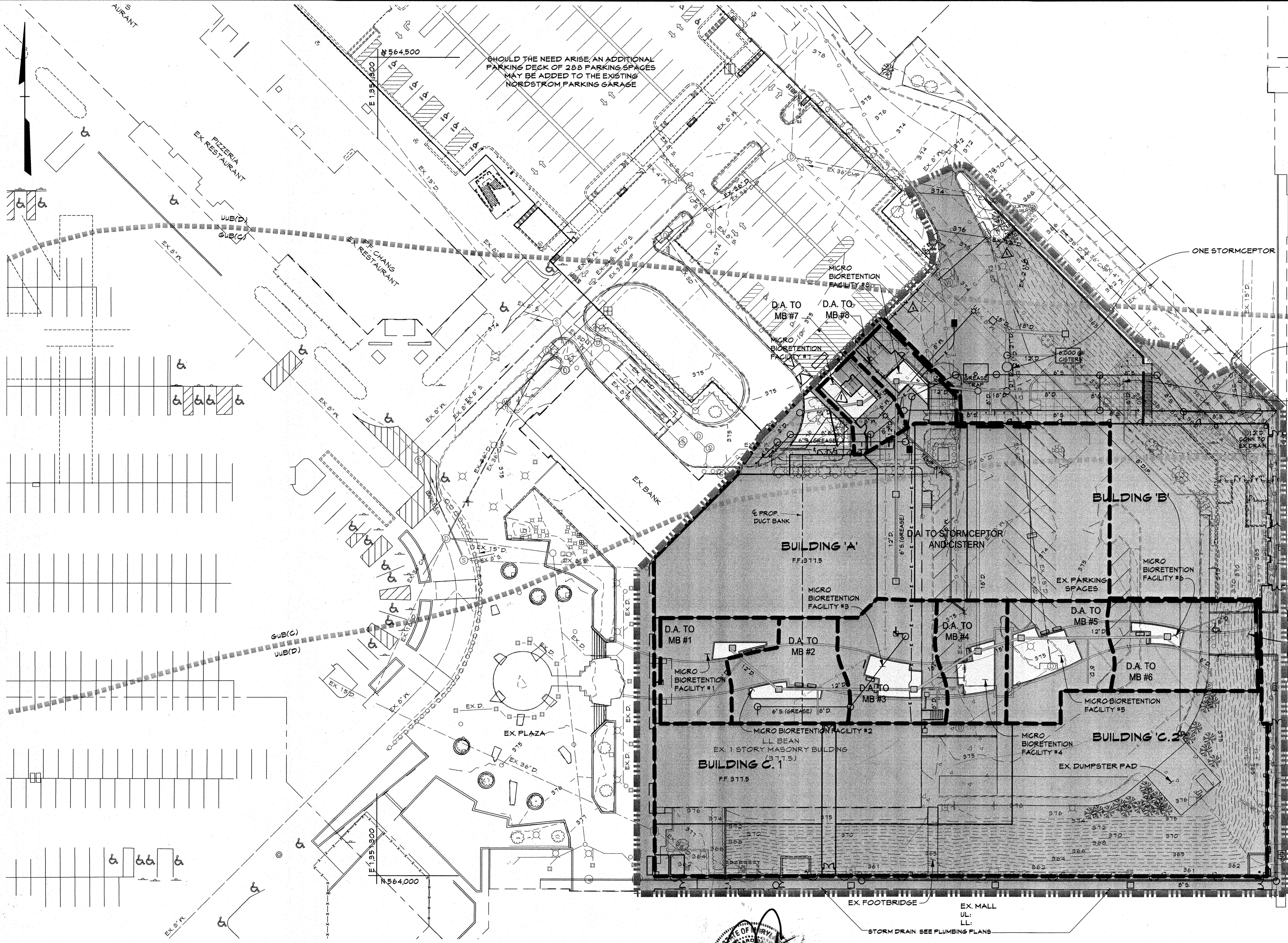
DEVELOPER
GENERAL GROWTH PROPERTIES
10440 LITTLE PATUXENT PARKWAY, SUITE 1000
COLUMBIA, MARYLAND 21044
410-992-6000

SITE DETAILS
THE MALL IN COLUMBIA
BUILDING EXPANSION
COLUMBIA TOWN CENTER
TAX MAP: 30.36 LOT: 47 GRID: 19.20, 1.2 ZONED: NT PARCEL: 460 F-04-045
ELECTION DISTRICT 5 HOWARD COUNTY, MARYLAND
SHEET 21 OF 77

C.E.I. PROJECT NUMBER
28141.02
SCALE:
1"=20'

LEGEND

- 676 Existing Minor Contour
- 670 Existing Major Contour
- Existing Edge of Road
- Existing Trees/Tree Line
- Existing Curb & Gutter
- EX. 15" D. Existing Storm Drains
- EX. 8" W. Existing Water Main
- EX. 8" S. Existing Sanitary Sewer
- Tract Boundary
- Utility Easement Line
- Existing Building
- HBB Soils
- Proposed Impervious Area
- Drainage Divide
- Drainage Area to Stormceptor and Cistern



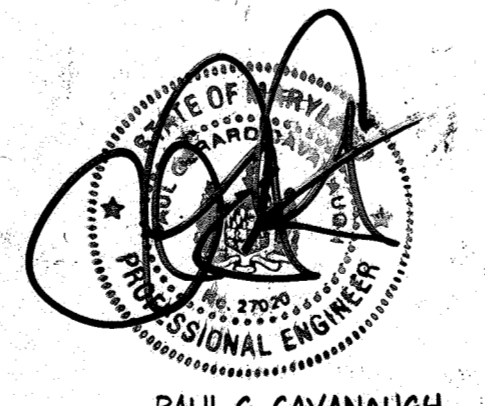
- SWM MANAGEMENT IS BEING PROVIDED BY THE FOLLOWING METHODS
- 8 MICRO BIO RETENTION FACILITIES WHICH ARE TREATING PART OF THE NEW ESD VOLUME.
 - 1 6,000 GALLON CISTERN WHICH IS TREATING PART OF THE ESD VOLUME. THE WATER FROM THE CISTERN WILL BE USED TO IRRIGATE THE EXISTING LANDSCAPE AREAS IN THE OVERALL MALL AREA AND SURROUNDING COMMUNITY AND TO WASH VEHICLES. THE CISTERN WATER WILL REPLACE POTABLE WATER NOW BEING USED FOR THIS PURPOSE.
 - A STORMCEPTOR IS AN APPROVED PRACTICE FOR TREATING WATER QUALITY IN REDEVELOPMENT AREA.

FACILITY	D.A. TO FACILITY (AC.)	IMPERVIOUS AREA	PERVIOUS AREA
stormceptor	2.17	2.07	0.1
(M-6) M.B. #1	0.07	0.06	0.01
(M-6) M.B. #2	0.08	0.07	0.01
(M-6) M.B. #3	0.10	0.09	0.01
(M-6) M.B. #4	0.07	0.06	0.01
(M-6) M.B. #5	0.09	0.06	0.03
(M-6) M.B. #6	0.13	0.12	0.01
(M-6) M.B. #7	0.04	0.03	0.01
(M-6) M.B. #8	0.04	0.03	0.01
(M-1) CISTERN	2.17	2.07	0.1

SUMMARY TABLE

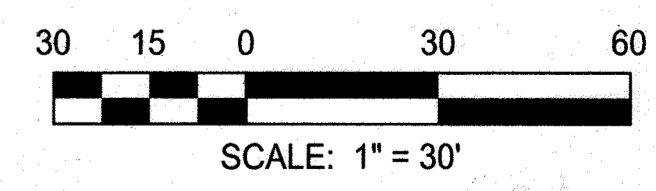
ESDv Required (new development):	4.813 C.F.
ESDv Provided:	4.877 C.F.
FE:	1.07 (Redevelopment)
FE:	1.84 (New Development)
Q10, Q100:	Not Required
ESDv Required (redevelopment):	3.718 C.F.
ESDv Provided:	by stormceptor

PROFESSIONAL CERTIFICATION
 I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.



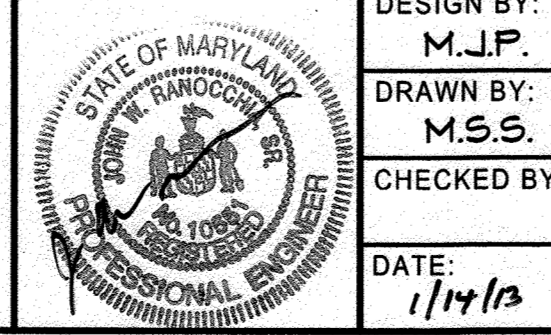
PROFESSIONAL CERTIFICATION
 I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NO. 27020 EXPIRATION DATE: JANUARY 24, 2016

AS-BUILT CERTIFICATION FOR PSWM
 Note: There is no "AS-Built" information provided on this sheet.



APPROVED: DEPARTMENT OF PLANNING AND ZONING
 Chief, Development Engineering Division
 Chief, Division of Land Development
 Date: 1/31/13
 Date: 4-09-13
 Date: 4/11/13

CENTURY ENGINEERING
 CONSULTING ENGINEERS - PLANNERS
 10710 Gilroy Road, Hunt Valley, MD 21031
 Phone: 443.589.2400 Fax: 443.589.2401



DESIGN BY:	M.J.P.	DATE:	1/14/13
DRAWN BY:	M.S.S.	BY NO.	
CHECKED BY:		REVISION	
DATE:		DATE	

DEVELOPER
GENERAL GROWTH PROPERTIES
 10440 LITTLE PATUXENT PARKWAY, SUITE 1000
 COLUMBIA, MARYLAND 21044
 410-992-6000

SWM PROPOSED CONDITIONS DRAINAGE AREA MAP
THE MALL IN COLUMBIA
 BUILDING EXPANSION
 COLUMBIA TOWN CENTER
 TAX MAP: 30, 36 LOT: 47 GRID: 19, 20, 1, 2 ZONED: NT PARCEL: 460 F-04-045
 ELECTION DISTRICT 5 HOWARD COUNTY, MARYLAND
 SHEET 22 OF 73

C.E.I. PROJECT NUMBER: 28141.02
 SCALE: 1"=30'

Appendix B.3. Construction Specifications for Sand Filters, Bioretention and Open Channels

B.3.B Specifications for Bioretention

1. Material Specifications

The allowable materials to be used in bioretention area are detailed in Table B.3.2.

2. Planting Soil

The soil shall be a uniform mix, free of stones, stumps, roots or other similar objects larger than two inches. No other materials or substances shall be mixed or dumped within the bioretention area that may be harmful to plant growth, or prove a hindrance to the planting or maintenance operations. The planting soil shall be free of Bermuda grass, Quackgrass, Johnson grass, or other noxious weeds as specified under COMAR 15.08.01.05.

The planting soil shall be tested and shall meet the following criteria:

pH range	5.2 - 7.0
organic matter	1.5 - 4% (by weight)
magnesium	35 lb./ac
phosphorus (phosphate - P ₂ O ₅)	75 lb./ac
potassium (potash - K ₂ O)	85 lb./ac
soluble salts	not to exceed 500 ppm

All bioretention areas shall have a minimum of one test. Each test shall consist of both the standard soil test for pH, phosphorus, and potassium and additional tests of organic matter, and soluble salts. A textural analysis is required from the site stockpiled topsoil. If topsoil is imported, then a texture analysis shall be performed for each location where the top soil was excavated.

Since different labs calibrate their testing equipment differently, all testing results shall come from the same testing facility.

Should the pH fall out of the acceptable range, it may be modified (higher) with lime or (lower) with iron sulfate plus sulfur.

3. Compaction

It is very important to minimize compaction of both the base of the bioretention area and the required backfill. When possible, use excavation hoes to remove original soil. If bioretention

B.3.4

Appendix B.3. Construction Specifications for Sand Filters, Bioretention and Open Channels

areas are excavated using a loader, the contractor should use wide track or marsh track equipment, or light equipment with turf type tires. Use of equipment with narrow tracks or narrow tires, rubber tires with large lugs, or high pressure tires will cause excessive compaction resulting in reduced infiltration rates and is not acceptable. Compaction will significantly contribute to design failure.

Compaction can be alleviated at the base of the bioretention facility by using a primary tilling operation such as a chisel plow, ripper, or subsoiler. These tilling operations are to restructure the soil profile through the 12 inch compaction zone. Substitute methods must be approved by the engineer. Rototillers typically do not till deep enough to reduce the effects of compaction from heavy equipment.

Rototill 2 to 3 inches of sand into the base of the bioretention facility before backfilling the optional sand layer. Pump any ponded water before preparing (rototilling) base.

When backfilling the topsoil over the sand layer, first place 3 to 4 inches of topsoil over the sand, then rototill the sand/topsoil to create a gradation zone. Backfill the remainder of the topsoil to final grade.

When backfilling the bioretention facility, place soil in lifts 12" to 18". Do not use heavy equipment within the bioretention basin. Heavy equipment can be used around the perimeter of the basin to supply soils and sand. Grade bioretention materials with light equipment such as a compact loader or a dozer/loader with marsh tracks.

4. Plant Material

Recommended plant material for bioretention areas can be found in Appendix A, Section A.2.3.

5. Plant Installation

Mulch should be placed to a uniform thickness of 2" to 3". Shredded hardwood mulch is the only accepted mulch. Pine mulch and wood chips will float and move to the perimeter of the bioretention area during a storm event and are not acceptable. Shredded mulch must be well aged (6 to 12 months) for acceptance.

Root stock of the plant material shall be kept moist during transport and on-site storage. The plant root ball should be planted so 1/8" of the ball is above final grade surface. The diameter of the planting pit shall be at least six inches larger than the diameter of the planting ball. Set and maintain the plant straight during the entire planting process. Thoroughly water ground bed cover after installation.

Trees shall be braced using 2" by 2" stakes only as necessary and for the first growing season only. Stakes are to be equally spaced on the outside of the tree ball.

B.3.5

Appendix B.3. Construction Specifications for Sand Filters, Bioretention and Open Channels

Grasses and legume seed should be drilled into the soil to a depth of at least one inch. Grass and legume plugs shall be planted following the non-grass ground cover planting specifications.

The topsoil specifications provide enough organic material to adequately supply nutrients from natural cycling. The primary function of the bioretention structure is to improve water quality. Adding fertilizer defeats, or at a minimum, impedes this goal. Only add fertilizer if wood chips or mulch are used to amend the soil. Rototill urea fertilizer at a rate of 2 pounds per 1000 square feet.

6. Underdrains

Underdrains are to be placed on a 3'-0" wide section of filter cloth. Pipe is placed next, followed by the gravel bedding. The ends of underdrain pipes not terminating in an observation well shall be capped.

The main collector pipe for underdrain systems shall be constructed at a minimum slope of 0.5%. Observation wells and/or clean-out pipes must be provided (one minimum per every 1000 square feet of surface area).

7. Miscellaneous

The bioretention facility may not be constructed until all contributing drainage area has been stabilized.

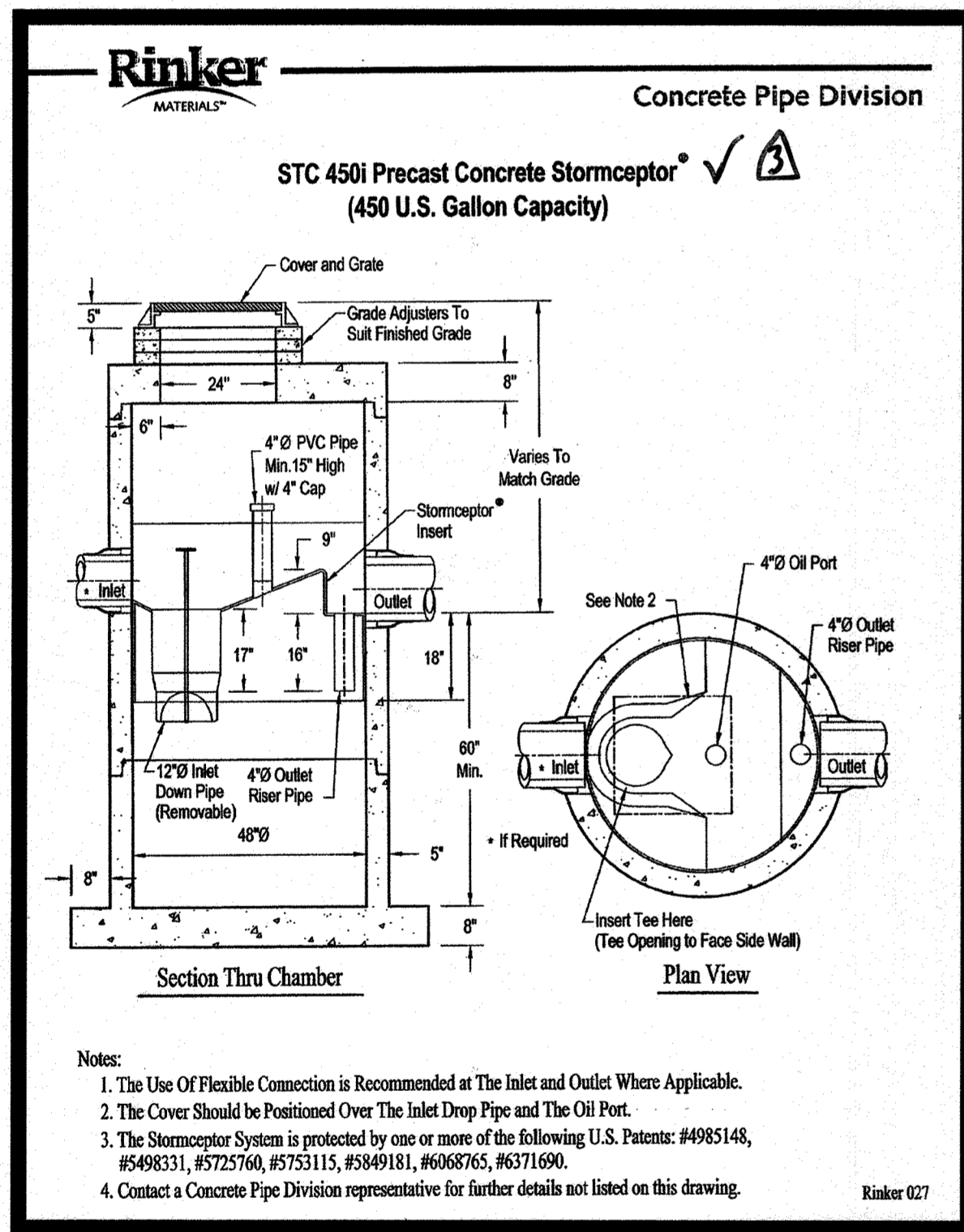
B.3.6

Table B.3.2. Materials Specifications for Bioretention

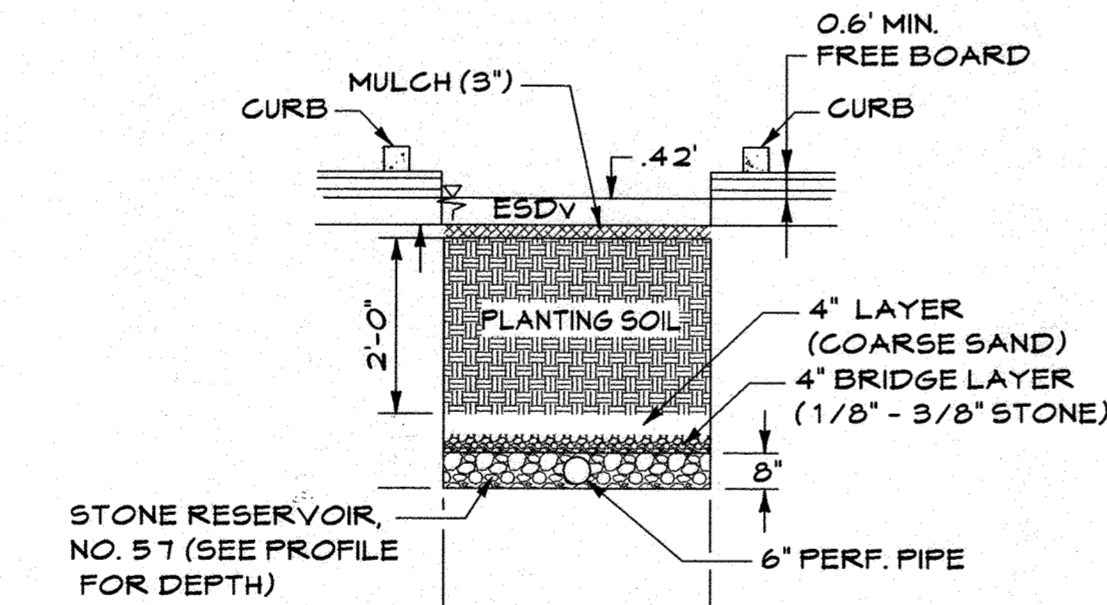
Material	Specification	Size	Notes
Plantings	see Appendix A, Table A.4	n/a	Plantings are site-specific
planting soil [2.5' to 4' deep]	sand 35 - 60% silt 30 - 55% clay 10 - 25%	n/a	USDA soil types loamy sand, sandy loam or loam
mulch	shredded hardwood	n/a	aged 6 months, minimum
pea gravel (diaphragm and curtain drain)	pea gravel: ASTM-D-448 ornamental stone: washed cobbles	pea gravel: No. 6 stone: 2" to 5"	
geotextile	Class "C" - apparent opening size (ASTM-D-4751), grab tensile strength (ASTM-D-4632), puncture resistance (ASTM-D-4833)	n/a	for use as necessary beneath underdrains only
underdrain gravel	AASHTO M-43	0.375" to 0.75"	
underdrain piping	F 758, Type PS 28 or AASHTO M-278	4" to 6" rigid schedule 40 PVC or SDR35	3/8" perf. @ 6" on center, 4 holes per row; minimum of 3" of gravel over pipes; not necessary underneath pipes
poured in place concrete (if required)	MSHA Mix No. 3; f'c = 3500 psi @ 28 days, normal weight, air-entrained; reinforcing to meet ASTM-615-60	n/a	on-site testing of poured-in-place concrete required: 28 day strength and slump test; all concrete design (cast-in-place or pre-cast) not using previously approved State or local standards requires design drawings sealed and approved by a professional structural engineer licensed in the State of Maryland - design to include meeting ACI Code 350.R/89; vertical loading (H-10 or H-20); allowable horizontal loading (based on soil pressures); and analysis of potential cracking
sand [1' deep]	AASHTO-M-6 or ASTM-C-33	0.02" to 0.04"	Sand substitutions such as Diabase and Graystone #10 are not acceptable. No calcium carbonated or dolomitic sand substitutions are acceptable. No "rock dust" can be used for sand.

OPERATION AND MAINTENANCE SCHEDULE FOR BIORETENTION

- THE OWNER SHALL MAINTAIN THE PLANT MATERIAL, MULCH LAYER, AND SOIL LAYER ANNUALLY. MAINTENANCE OF MULCH AND SOIL IS LIMITED TO CORRECTING AREAS OF EROSION OR WASH OUT. ANY MULCH REPLACEMENT SHALL BE DONE IN THE SPRING. PLANT MATERIAL SHALL BE CHECKED FOR DISEASE AND INSECT INFESTATION AND MAINTENANCE WILL ADDRESS DEAD MATERIAL AND PRUNING. ACCEPTABLE REPLACEMENT PLANT MATERIAL IS LIMITED TO THE FOLLOWING: 2000 MARYLAND STORMWATER DESIGN MANUAL VOLUME II, TABLE A.4.1 AND 2.
- THE OWNER SHALL PERFORM A PLANT INSPECTION IN THE SPRING AND FALL OF EACH YEAR. DURING THE INSPECTION, THE OWNER SHALL REMOVE DEAD AND DISEASED VEGETATION CONSIDERED BEYOND TREATMENT, REPLACE DEAD PLANT MATERIAL, TREAT DISEASED TREES AND SHRUBS, AND REPLACE ALL DEFICIENT STAKES AND WIRES.
- THE OWNER SHALL INSPECT THE MULCH EACH SPRING. THE MULCH SHALL BE REPLACED EVERY TWO TO THREE YEARS. THE PREVIOUS MULCH LAYER SHALL BE REMOVED BEFORE THE NEW LAYER IS APPLIED.
- THE OWNER SHALL CORRECT SOIL EROSION ON AN AS-NEEDED BASIS, WITH A MINIMUM OF ONCE PER MONTH AND AFTER EACH HEAVY STORM.



Practice	Frequency (and after major storm)	Maintenance Requirements
Rainwater Harvesting Cistern & Stormceptor	Seasonally (and after major storm).	Replace damaged components as necessary.
		Inspect facility for oil & sediment and Clean out if sediment is greater than 1 foot deep



PROFESSIONAL CERTIFICATION

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.

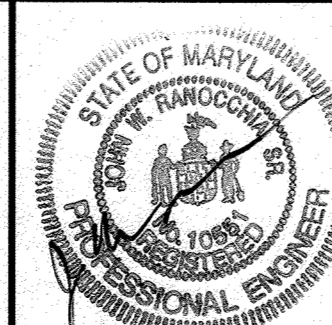
LICENSE NUMBER: 10951 EXPIRATION DATE: 8-28-17

AS-BUILT CERTIFICATION FOR PSWM

I HEREBY CERTIFY THAT THE FACILITY SHOWN ON THE PLAN WAS CONSTRUCTED AS SHOWN ON THE "AS-BUILT" PLANS AND COMPLIES WITH THE APPROVED PLANS AND SPECIFICATIONS. I HAVE VERIFIED THAT THE CONTRIBUTING DRAINAGE AREA IS SUFFICIENTLY STABILIZED TO PREVENT LOGGING OF THE UNDERGROUND FACILITY.

APPROVED: DEPARTMENT OF PLANNING AND ZONING
Date: 1/2/13
Date: 4-29-13
Date: 4/11/13

CENTURY ENGINEERING
CONSULTING ENGINEERS - PLANNERS
10710 Gilroy Road, Hunt Valley, MD 21031
Phone: 443.589.2400 Fax: 443.589.2401

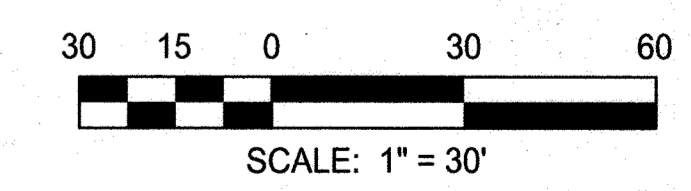


DESIGN BY:	M.J.P.	DATE:	1/19/13
DRAWN BY:	M.S.S.	BY:	NO.
CHECKED BY:		NO.	
DATE:		REVISION:	

DEVELOPER
GENERAL GROWTH PROPERTIES
10440 LITTLE PATUXENT PARKWAY, SUITE 1000
COLUMBIA, MARYLAND 21044
410-992-6000

ROTONDO Environmental Solutions LLC
4950 EISENHOWER AVE., UNIT C ALEXANDRIA, VA 22304
PHONE: 703-212-4830 FAX: 703-212-4832 WEB: www.rotondo-es.com

RES StormPod Cistern Century Engineering Howard County, MD



STORMWATER MANAGEMENT DETAILS
THE MALL IN COLUMBIA
BUILDING EXPANSION
COLUMBIA TOWN CENTER
TAX MAP: 30, 36 LOT: 47 GRID: 19, 20, 1, 2 ZONED: NT PARCEL: 460 F-04-045
ELECTION DISTRICT 5 HOWARD COUNTY, MARYLAND
SHEET 23 OF 73



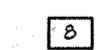

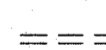
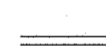
C.E.I. PROJECT NUMBER: 28141.02
SCALE: As Shown

LOT/PARCEL TABLE

- | | |
|--|--|
| 1 MALL IN COLUMBIA BUSINESS TRUST COLUMBIA TOWN CENTER SECTION 2, AREA 1, LOT 47 PARCEL 460, FLAT NO. 18607 MALL RETAIL & PARKING LOTS | 18 PARKVIEW OFFICE, LP COLUMBIA TOWN CENTER SECTION 2, AREA 5, PARCEL B FLAT 114/254, PARCEL 450 OFFICE |
| 2 CM H BUSINESS TRUST C/O THE MAY CO. - MACY'S INC. COLUMBIA TOWN CENTER SECTION 2, AREA 1, LOT 11 FLAT NO. 18, PAGE 39 PARCEL 460, RETAIL | 19 PARK SQUARE LIMITED PARTNERSHIP COLUMBIA TOWN CENTER SECTION 2, AREA 5 PARCEL C-4 C/O PROPERTY TAX DEPARTMENT FLAT 4423/286 OFFICE |
| 3 LOT 48 BUSINESS TRUST COLUMBIA TOWN CENTER SECTION 2, AREA 1, LOT 48 FLAT NO. 4855, PARCEL 460 UN-DEVELOPED | 20 PARKSIDE LIMITED PARTNERSHIP COLUMBIA TOWN CENTER SECTION 2, AREA 5 PARCEL C-1 FLAT NO. 8517 OFFICE |
| 4 LT PROPGO, LLC COLUMBIA TOWN CENTER SECTION 2, LOT 49, PARCEL 460 FLAT NO. 19111, RETAIL | 21 GMI CORPORATE PARKING BUSINESS TRUST COLUMBIA TOWN CENTER SECTION 2, AREA 1, PARCEL E FLAT 1893/346, PARCEL 382 PARKING DECK |
| 5 FF PATUXENT PKWY, LLC COLUMBIA TOWN CENTER SECTION 2, AREA 1, LOT 9 PARCEL 322, OFFICE | 22 SEVENTY COLUMBIA CORPORATE CENTER LP COLUMBIA TOWN CENTER SECTION 2, AREA 6 PARCEL B, FLAT NO. 9512 PARCEL 304, OFFICE |
| 6 J.C. PENNY COMPANY, INC. COLUMBIA TOWN CENTER SECTION 2, AREA 1, LOT 10 FLAT NO. 18, PAGE 39 PARCEL 322, RETAIL | 23 PARCEL D BUSINESS TRUST COLUMBIA TOWN CENTER SECTION 2, AREA 8 PARCEL D, UN-DEVELOPED |
| 7 SEARS ROEBUCK & CO COLUMBIA TOWN CENTER SECTION 2, AREA 1, LOT 22 FLAT NO. 4449, PARCEL 322 RETAIL | 24 COLUMBIA TOWN CENTER, LLC COLUMBIA TOWN CENTER SECTION 2, AREA 4 PARCEL A, FLAT NO. 17481 PARCEL 514, RESIDENTIAL |
| 8 CM THEATER BUSINESS TRUST COLUMBIA TOWN CENTER SECTION 2, AREA 1, LOT 45 FLAT NO. 15904, PARCEL 460 CINEMA | 25 THE WHITNEY 4 TOWN CENTER CONDOMINIUM COLUMBIA TOWN CENTER SECTION 2, AREA 4 PARCEL B, FLAT NO. 12669 PARCEL 514 (PH.748) RESIDENTIAL |
| 9 CM N BUSINESS TRUST COLUMBIA TOWN CENTER SECTION 2, AREA 1, LOT 44 FLAT NO. 13142, PARCEL 460 RETAIL | 26 MALL ENTRANCES BUSINESS TRUST COLUMBIA TOWN CENTER SECTION 2, AREA 1, LOT 40 FLAT NO. 12419 ENTRANCE DRIVE |
| 10 ONE MALL LLC COLUMBIA TOWN CENTER SECTION 2, AREA 1, LOT A-3 PARCEL 304, FLAT NO. 13780 COMMERCIAL | 27 PARCEL C BUSINESS TRUST COLUMBIA TOWN CENTER SECTION 2, AREA 8 PARCEL C UN-DEVELOPED |
| 11 COLUMBIA LAND HOLDINGS, INC. COLUMBIA TOWN CENTER SECTION 2, AREA 1, LOT 34 FLAT NO. 18609 UN-DEVELOPED | 28 GOVERNOR'S GRANT CONDOMINIUM COLUMBIA TOWN CENTER SECTION 2, AREA 8 PARCEL B, FLAT NO. 14689 SINGLE FAMILY ATTACHED PARCEL 514, RESIDENTIAL |
| 12 PARCEL A-2 COLUMBIA TOWN CENTER SECTION 2, AREA 4 FLAT NO. 4542, PARCEL 463 RESTAURANT/OFFICE | 29 HOWARD RESEARCH & DEVELOPMENT CORP. COLUMBIA TOWN CENTER SECTION 2, AREA 8 LOT 1 FLAT NO. 14021 OPEN SPACE |
| 13 20 CG BUSINESS TRUST COLUMBIA TOWN CENTER SECTION 2, AREA 4 PARCEL A-4, OFFICE | 30 THE EVERGREENS AT COLUMBIA TOWN CENTER, LLC COLUMBIA TOWN CENTER SECTION 2, AREA 8 PARCEL A FLAT NO. 14021, PARCEL 382 (LOT A) RESIDENTIAL |
| 14 GMI CORPORATE PARKING BUSINESS TRUST, PARCEL A-6 PARCEL 463, PARKING DECK | |
| 15 30 CG BUSINESS TRUST C/O PROPERTY TAX DEPT. COLUMBIA TOWN CENTER SECTION 2, AREA 4, PARCEL A-7 PARCEL 463, OFFICE | |
| 16 COLUMBIA TOWN CENTER SECTION 2, AREA 2 ENTRANCE DRIVE | |
| 17 GMI CORPORATE PARKING BUSINESS TRUST COLUMBIA TOWN CENTER PARCEL A, FLAT BOOK 6921 PARCEL 460, PARKING DECK | |

NOTE: ALL PROPERTIES ARE ZONED NT (NEW TOWN) - EMPLOYMENT CENTER COMMERCIAL.

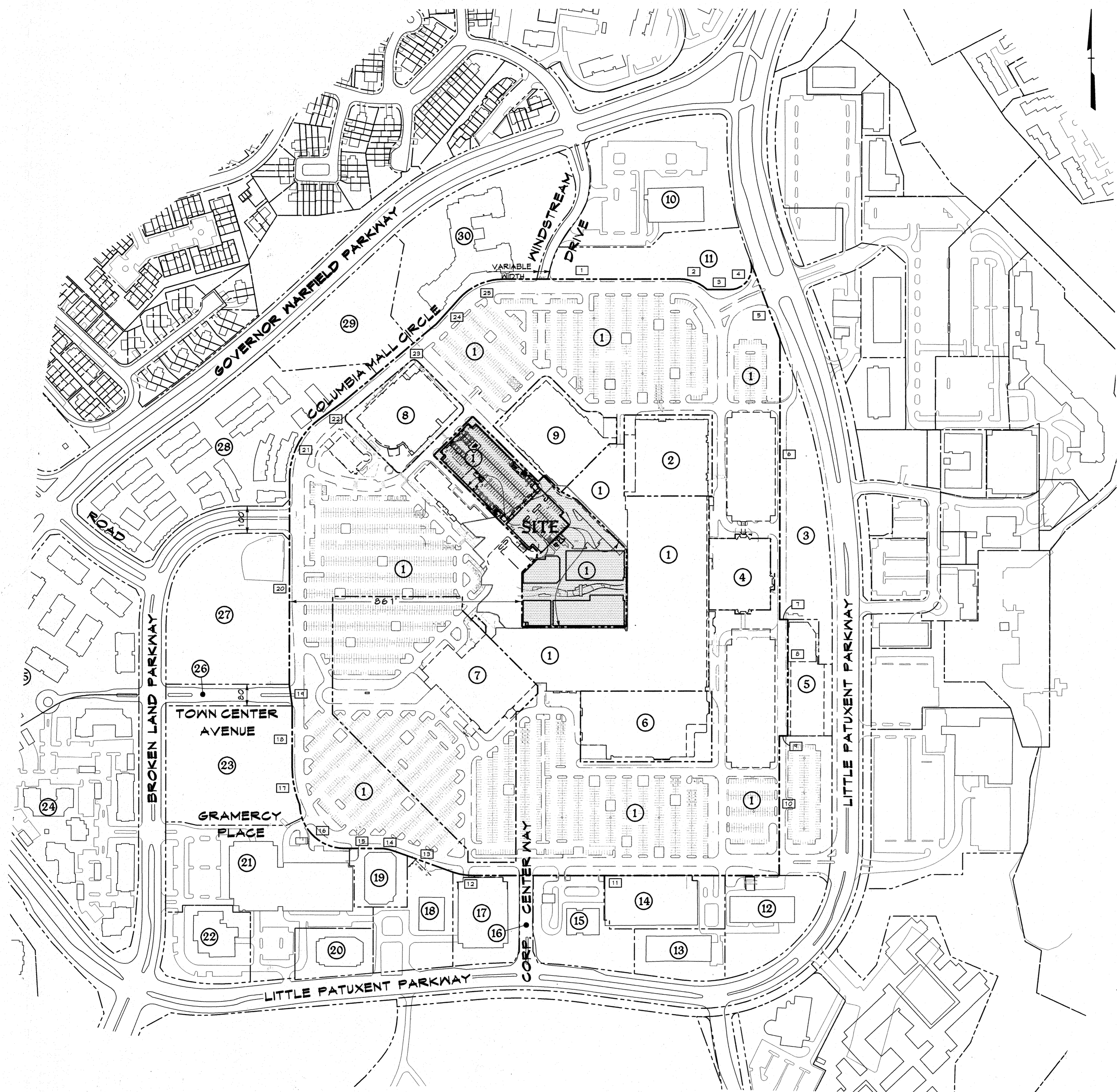
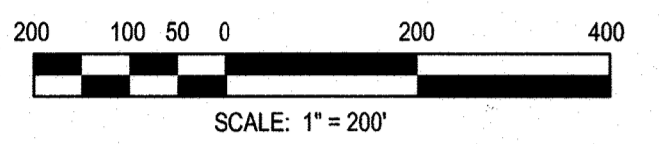
LEGEND

-  SITE LIMITS / LIMIT OF SUBMISSION
-  ADJACENT LOT/PARCEL NUMBER
-  PROPERTY BOUNDARY
-  PROPOSED BUILDING
-  EXISTING CURB AND GUTTER
-  PROPOSED CURB AND GUTTER

BOUNDARY INFORMATION

1 DUE EAST 45.11'	14 R-209.71 L-43.22
2 R-194.00 L-112.09'	15 DUE WEST 148.00'
3 DUE EAST 64.01'	16 R-188.00 L-258.85'
4 R-202.00 L-194.19'	17 R-240.00 L-149.02'
5 S-27.40 E-21.134'	18 DUE NORTH 24.92'
6 DUE SOUTH 30.00'	19 N 01° 48' 48" W 30.719'
7 DUE EAST 30.00'	20 DUE NORTH 162.84'
8 DUE SOUTH 180.00'	21 N 85° 00' 00" E 48.24'
9 DUE WEST 30.12'	22 N 84° 08' 51" W 104.60'
10 DUE SOUTH 180.00'	23 N 85° 00' 00" E 48.24'
11 DUE WEST 128.65'	24 N 42° 20' 02" E 124.49'
12 R-202.40' L-141.28'	25 R-233.85' L-196.64'
13 N 10° 24' 04" W 233.11'	

BOUNDARY INFORMATION SHOWN ON THIS PLAN IS FROM A ALTA/ACM LAND TITLE SURVEY OF PORTIONS OF THE COLUMBIA TOWN CENTER, DATED SEPTEMBER 31, 2007.
 EXAMPLE: \square = N 10° 24' 04" W 233.11' (SEE CHART ABOVE AND MAP)



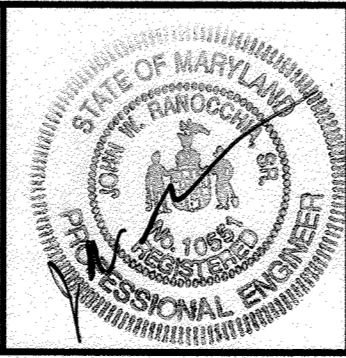
CONTEXT PLAN
Scale: 1"=200'

AS-BUILT CERTIFICATION FOR PSWM
Note: There is no "AS-Built" information provided on this sheet.

Professional Certification. I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland, License No. 10951.
 Expiration Date: 6-28-17
 6-25-19

APPROVED: DEPARTMENT OF PLANNING AND ZONING
 Chief, Development Engineering Division
 Chief, Division of Land Development
 Director

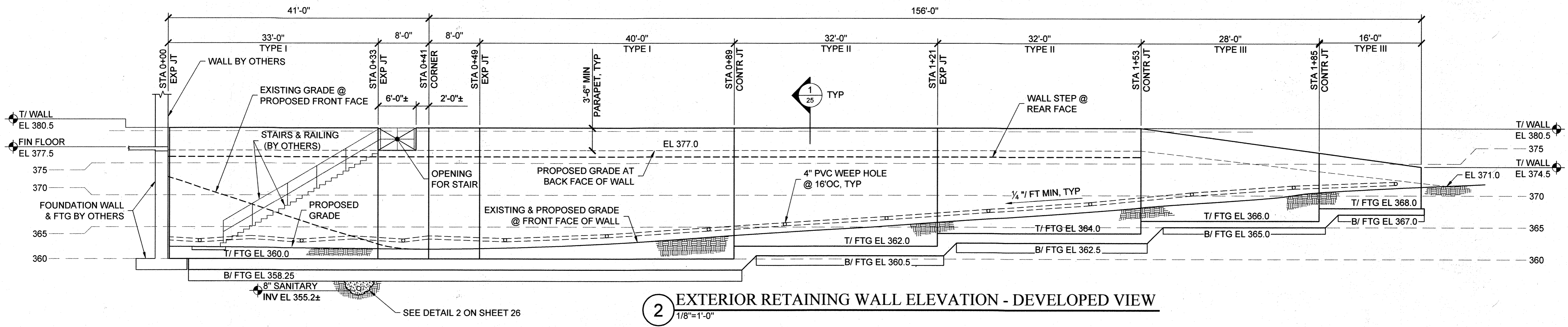
CENTURY ENGINEERING
 CONSULTING ENGINEERS - PLANNERS
 10710 Gilroy Road, Hunt Valley, MD 21031
 Phone: 443.589.2400 Fax: 443.589.2401



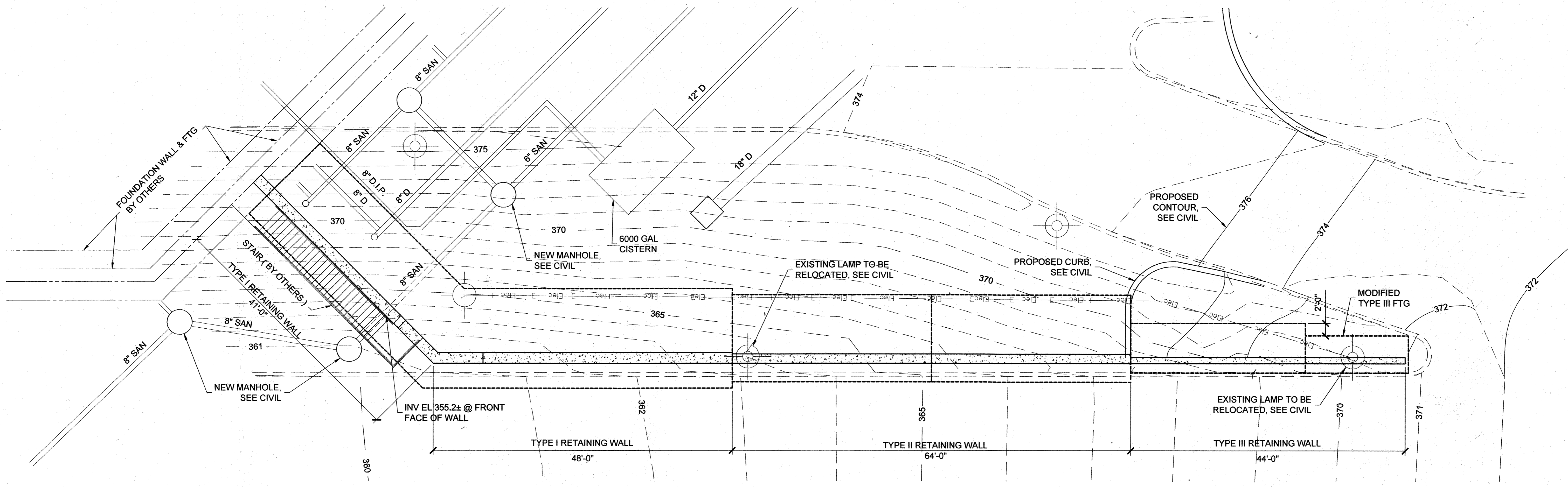
DESIGN BY: M.J.P.	DATE: 1/14/13
DRAWN BY: M.S.S.	
CHECKED BY:	
BY NO.	REVISION
DATE	

DEVELOPER
GENERAL GROWTH PROPERTIES
 10440 LITTLE PATUXENT PARKWAY, SUITE 1000
 COLUMBIA, MARYLAND 21044
 410-992-6000

PROPERTY INFORMATION	C.E.I. PROJECT NUMBER
THE MALL IN COLUMBIA	28141.02
BUILDING EXPANSION COLUMBIA TOWN CENTER	SCALE:
TAX MAP: 30, 36 LOT: 47 GRID: 19, 20, 1, 2 ZONED: NT PARCEL: 460 F-04-045 ELECTION DISTRICT 5 HOWARD COUNTY, MARYLAND	
SHEET 24 OF 73	



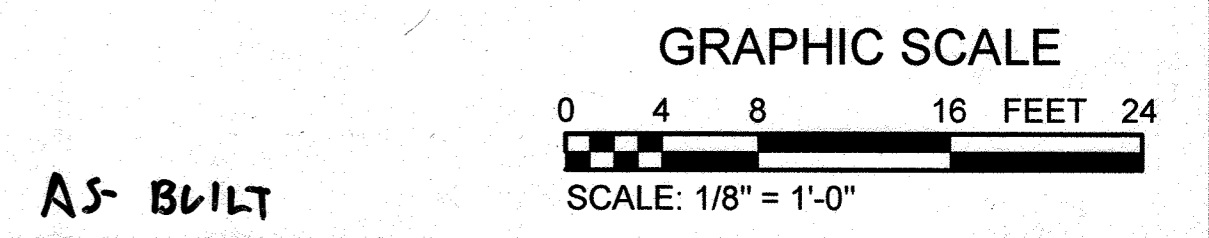
2 EXTERIOR RETAINING WALL ELEVATION - DEVELOPED VIEW
1/8"=1'-0"



1 EXTERIOR RETAINING WALL PLAN
1/8"=1'-0"

PROFESSIONAL CERTIFICATION
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.
LICENSE NUMBER: 22443 EXPIRATION DATE: 8/23/2013

AS-BUILT CERTIFICATION FOR PSWM
Note: There is no "AS-Built" information provided on this sheet.



APPROVED: DEPARTMENT OF PLANNING AND ZONING
Chief, Development Engineering Division
Chief, Division of Land Development
Director

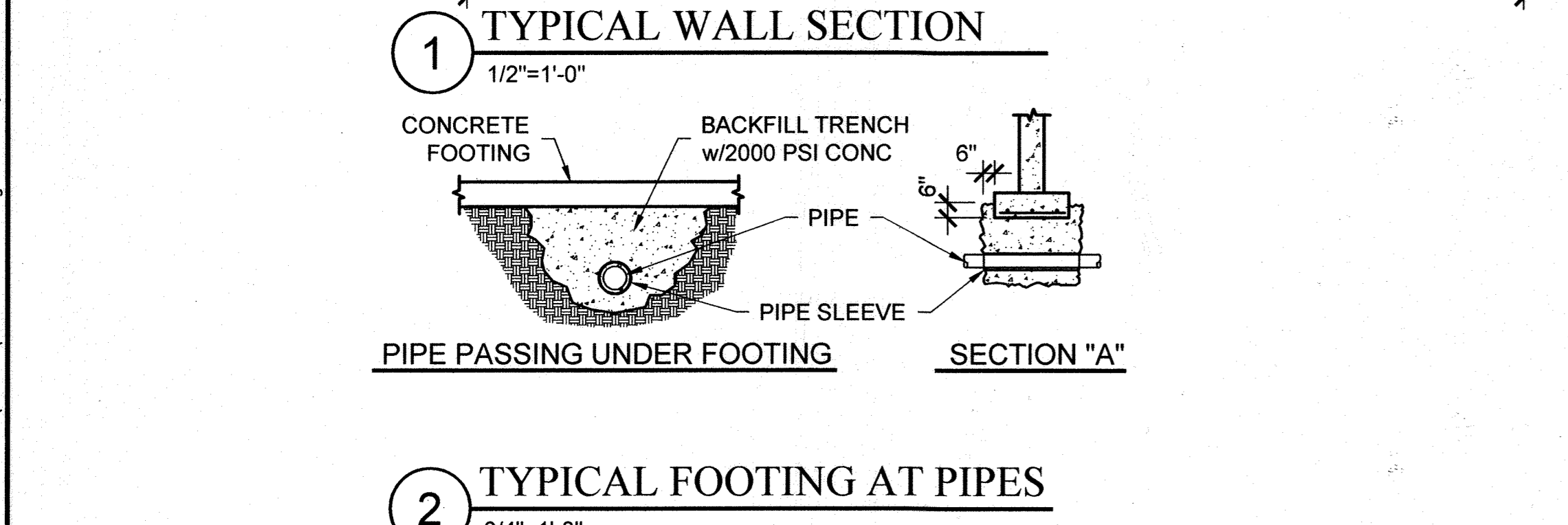
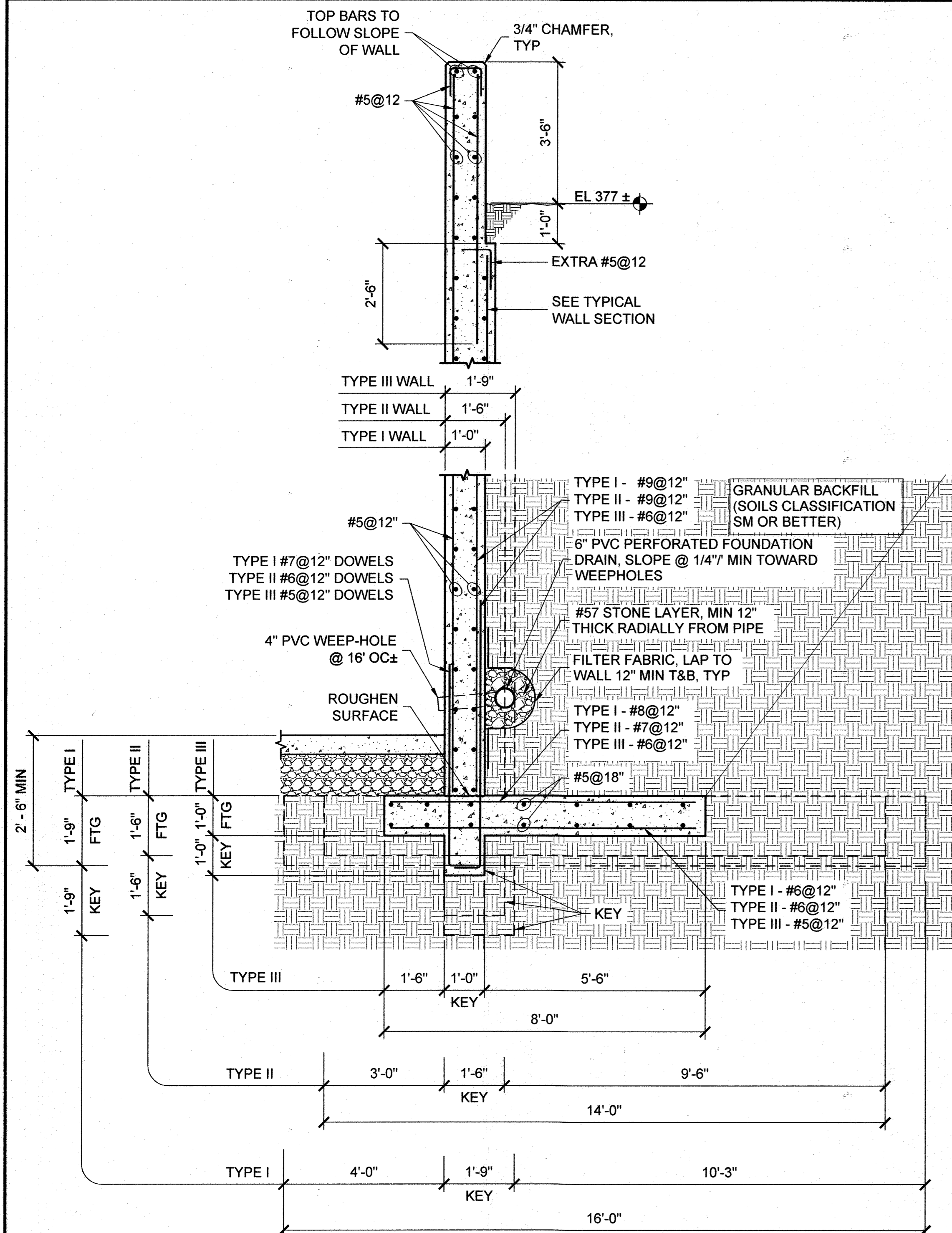
CENTURY ENGINEERING
CONSULTING ENGINEERS - PLANNERS
10710 Gilroy Road, Hunt Valley, MD 21031
Phone: 443.589.2400 Fax: 443.589.2401

DESIGN BY:	M.E.P.	9/5/13
DRAWN BY:	D.W.F.	
CHECKED BY:		
DATE:		
BY	NO.	REVISION
		DATE

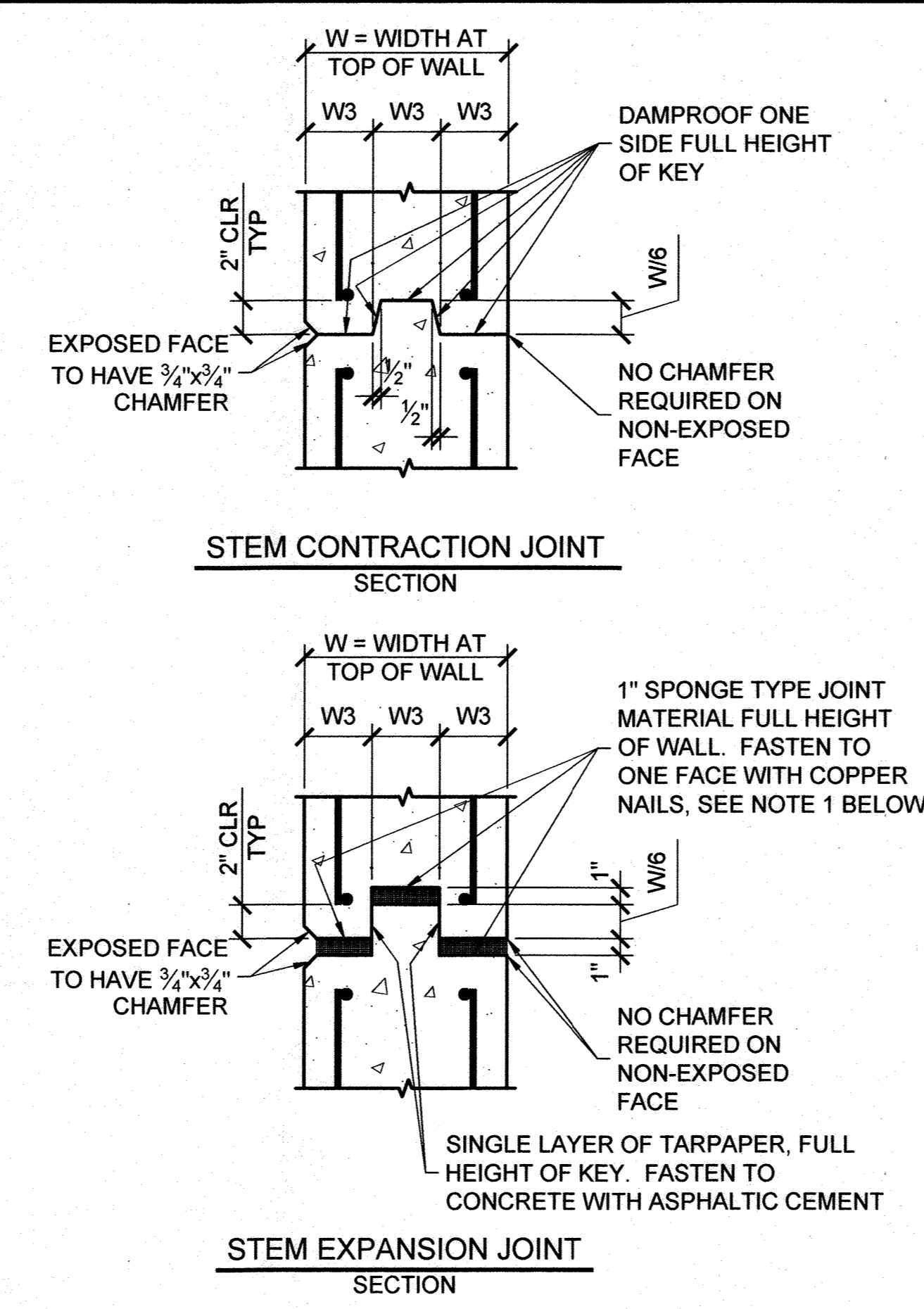
DEVELOPER
GENERAL GROWTH PROPERTIES
10440 LITTLE PATUXENT PARKWAY, SUITE 1000
COLUMBIA, MARYLAND 21044
410-992-6000

EXTERIOR RETAINING WALL PLAN
THE MALL IN COLUMBIA
COLUMBIA TOWN CENTER
TAX MAP: 30.36 LOT: 47 PARCEL: 480
ELECTION DISTRICT 5 HOWARD COUNTY, MARYLAND
SHEET 25 OF 73

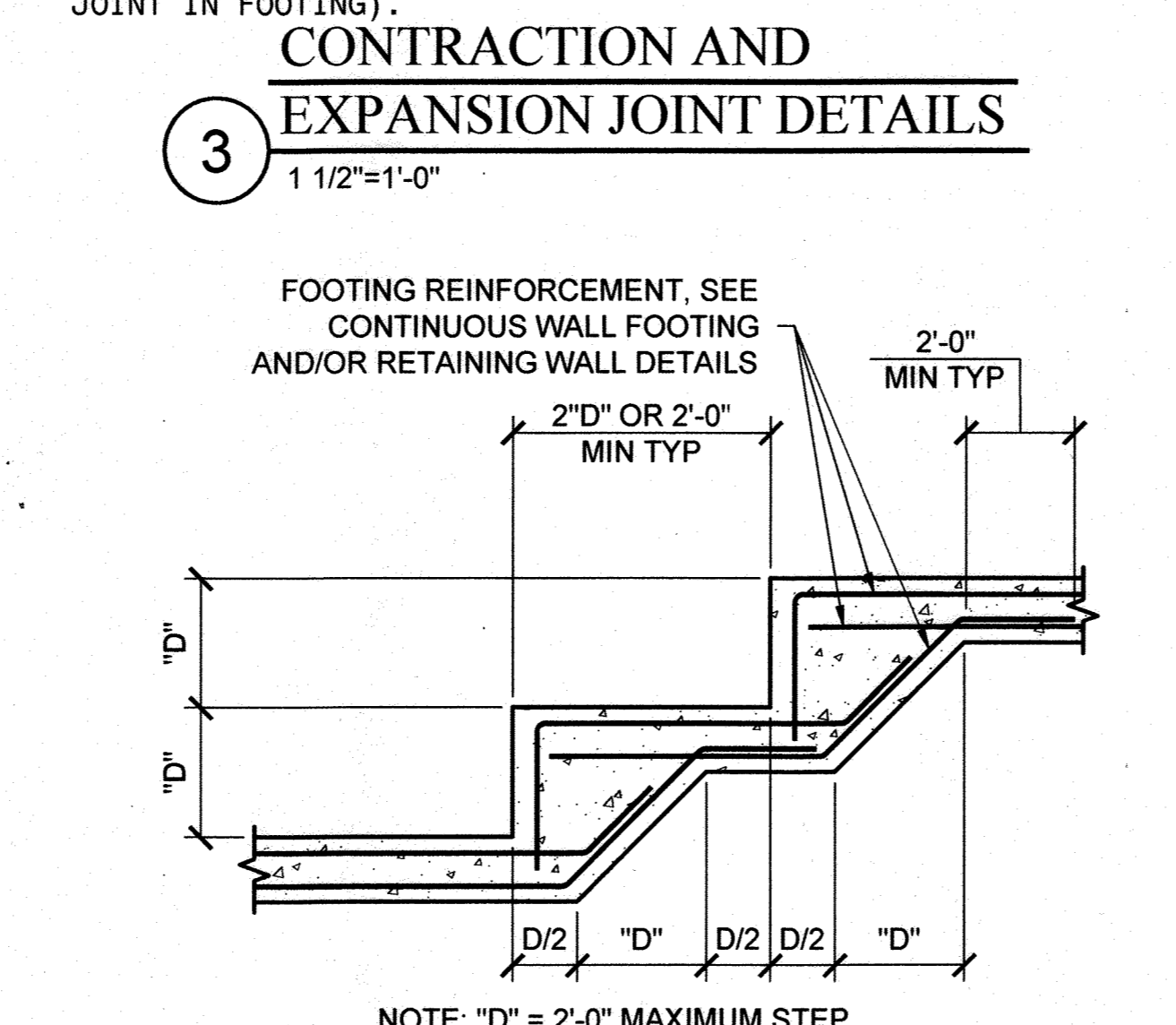
C.E.I. PROJECT NUMBER 28141.02
SCALE: AS NOTED



PROFESSIONAL CERTIFICATION
 I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.
 LICENSE NUMBER: 22443 EXPIRATION DATE: 8/23/2013



NOTES:
 1. JOINT LOCATIONS SHALL BE AS SHOWN ON CONTRACT DRAWING. IF NO LOCATIONS ARE GIVEN CONCRETE RETAINING WALLS SHALL HAVE CONTRACTION JOINTS A MAXIMUM OF EVERY 30'-0", AND EXPANSION JOINTS, WITH 1" SPONGE TYPE MATERIAL A MAXIMUM OF EVERY 90'-0".
 2. STOP KEY 9" BELOW TOP OF WALL.
 3. REINFORCING STEEL SHALL NOT PASS THROUGH CONTRACTION OR EXPANSION JOINT.
 4. ALL KEYS ARE NOMINAL SIZE.
 5. ONLY PLACE CONTRACTION AND EXPANSION JOINTS IN STEMS (NO JOINT IN FOOTING).



NOTE: "D" = 2'-0" MAXIMUM STEP

GENERAL NOTES

- DESIGN CRITERIA**
- THE DESIGN OF THE STRUCTURE IS IN ACCORDANCE WITH IBC 2009.
 - DESIGN LIVE LOADS:
 - 2' LIVE LOAD SURCHARGE
 - WIND DESIGN DATA: VEHICULAR IMPACT CONTROLS
 - EARTHQUAKE DESIGN DATA: SEISMIC DESIGN CATEGORY B. NO ADDITIONAL SEISMIC REQUIREMENTS.
 - HANDRAILS: 50 PLF OF 200 LB CONCENTRATED LOAD APPLIES IN ANY DIRECTION AT TOP PER 1607.7
 - GUARDS: 50 PLF OF 200 LB CONCENTRATED LOAD APPLIES IN ANY DIRECTION AT TOP PER 1607.7
 - VEHICULAR BARRIER SYSTEMS: 6000 LB CONCENTRATED LOAD APPLIED HORIZONTALLY IN ANY DIRECTION PER 1607.7

- MISCELLANEOUS**
- CONTRACTOR SHALL VERIFY CONDITIONS IN THE FIELD AND IMMEDIATELY NOTIFY ENGINEER OR ARCHITECT OF ANY CONDITIONS NOT AS SHOWN. CONTRACTOR SHALL TAKE FIELD MEASUREMENTS AS REQUIRED.
 - CONTRACTOR SHALL COORDINATE DETAILING, FABRICATION AND ERECTION WITH ALL RELATED TRADES PRIOR TO SUBMITTING SHOP DRAWINGS FOR APPROVAL. ALL SHOP DRAWINGS USED FOR WORK SHALL BEAR THE STAMP OF THE ARCHITECT/ENGINEER. NO SHOP DRAWINGS SHALL BE USED WHICH ARE MARKED "REVISE AND RESUBMIT", "REJECTED", "RETURNED FOR CORRECTION", OR WORDS TO THAT EFFECT.
 - ALL STRUCTURAL WORK SHALL BE COORDINATED WITH ARCHITECTURAL, MECHANICAL, AND CIVIL REQUIREMENTS. DISCREPANCIES AND/OR INTERFERENCES SHALL BE REPORTED TO THE ARCHITECT.
 - NO OPENINGS SHALL BE MADE IN ANY STRUCTURAL MEMBER UNLESS SPECIFICALLY SHOWN ON THE STRUCTURAL DRAWINGS OR UPON WRITTEN APPROVAL FROM THE STRUCTURAL ENGINEER.
 - THE DESIGN LIVE LOADS SHALL NOT BE EXCEEDED DURING CONSTRUCTION. CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ADEQUATE SHORING AND/OR BRACING DURING CONSTRUCTION TO ACCOUNT FOR ALL LOADING, INCLUDING BUT NOT LIMITED TO GRAVITY, WIND, EARTHQUAKE, EARTH AND CONSTRUCTION LOADING. BRACING MEMBERS SHOWN ARE THOSE REQUIRED FOR THE FINISHED STRUCTURE AND MAY NOT BE ADEQUATE FOR CONSTRUCTION LOADS.

- DEMOLITION NOTES**
- REMOVE EXISTING CONSTRUCTION AS SHOWN ON PLANS. SEE SECTIONS AND DETAILS FOR EXTENT OF STRUCTURE TO BE REMOVED. EXISTING STRUCTURAL STEEL FRAMING SHALL REMAIN UNLESS SPECIFICALLY NOTED TO BE REMOVED.
 - CONCRETE ENCASEMENT AROUND REMAINING STEEL WILL REMAIN, UNLESS NOTED OTHERWISE.
 - IF FIELD CONDITIONS DIFFER FROM THOSE SHOWN ON DRAWINGS, NOTIFY STRUCTURAL ENGINEER BEFORE PROCEEDING WITH DEMOLITION.

- EXISTING CONSTRUCTION**
- ALL DIMENSIONS AND ELEVATIONS OF EXISTING STRUCTURES SHOWN ON THE DRAWINGS ARE OBTAINED FROM AVAILABLE SOURCES, AND ARE NOT GUARANTEED TO BE TRUE AND EXACT. THE CONTRACTOR SHALL VERIFY THESE DIMENSIONS AND ELEVATIONS BY ACTUAL FIELD MEASUREMENTS PRIOR TO FABRICATION OF ANY MATERIALS AFFECTED AND PRIOR TO START OF WORK. REPORT ANY DISCREPANCIES TO THE ARCHITECT/ENGINEER.

- FOUNDATIONS**
- THE FOUNDATION DESIGN IS BASED ON SOILS REPORT BY CENTURY ENGINEERING INC. DATED JANUARY 5, 2011.
 - SHALLOW FOUNDATIONS SHALL BE SPREAD AND/OR CONTINUOUS FOOTINGS. THE FOLLOWING PROPERTIES ARE GIVEN IN THE REPORT:
 - BEARING STRATUM IS UNDISTURBED SILTY SAND.
 - MINIMUM SAFE BEARING CAPACITY = 2,500 PSF.
 - ACTIVE PRESSURE = 45 PCF EQUIVALENT FLUID PRESSURE.
 - PASSIVE PRESSURE = 315 PCF EQUIVALENT FLUID PRESSURE.
 - SLIDING FRICTION COEFFICIENT = 0.35
 - ALL EXISTING FILL MATERIALS, CONSISTING OF GRAVEL, BRICK FRAGMENTS, CONCRETE CHIPS, WOOD CHIPS, AND DEMOLITION DEBRIS SHALL BE REMOVED IN THE REGIONS OF ALL FOUNDATIONS.
 - THE TESTING AND INSPECTION AGENCY SHALL VERIFY SOIL BEARING CAPACITY AT EACH FOOTING PRIOR TO INSTALLATION OF FOOTING. NOTIFY ENGINEER OF ANY VARIATION FROM ANTICIPATED BEARING CAPACITY FOR APPROPRIATE REDESIGN OR LOWERING OF FOOTING.
 - THE BOTTOMS OF ALL FOOTINGS SHALL BE 2'-6" MINIMUM BELOW FINISHED GRADE UNLESS ROCK OF SPECIFIED BEARING CAPACITY IS ENCOUNTERED AT A HIGHER ELEVATION, IN WHICH CASE FOOTING MAY BE RAISED IF APPROVED BY THE ENGINEER.
 - EDGES OF FOOTINGS SHALL NOT BE PLACED AT A GREATER THAN 1 (VERTICAL) TO 2 (HORIZONTAL) SLOPE WITH RESPECT TO ANY ADJACENT FOOTING OR EXCAVATION, WITHOUT UNDERPINNING, SHORING OR BRACING.
 - ALL ADJACENT FOOTINGS THAT ABUT SHALL BE SEPARATED BY A PAPER JOINT TO PREVENT BOND.
 - BACKFILLING AGAINST WALLS SHALL NOT BE DONE UNTIL CONCRETE HAS BEEN CURED TO ATTAIN SUFFICIENT STRENGTH (7 DAYS MINIMUM).
 - THE CONTRACTOR SHALL SAFEGUARD AND PROTECT ALL EXCAVATIONS, AND ADJACENT STRUCTURES, PAVEMENTS, AND UTILITIES. ALL EXCAVATIONS SHALL BE KEPT FREE OF WATER. THE CONTRACTOR IS RESPONSIBLE FOR THE DESIGN, INSTALLATION, MAINTENANCE, AND REMOVAL OF ALL SHORING, BRACING, AND Dewatering REQUIRED TO PROPERLY CONSTRUCT THE FOUNDATIONS AND TO PROTECT ADJACENT STRUCTURES, PAVEMENTS AND UTILITIES. DO NOT REMOVE SHORING SUCH AS SHEET PILING IF IT WILL CAUSE SETTLEMENT OR DAMAGE TO EXISTING OR NEW STRUCTURES, PAVEMENT, AND/OR UTILITIES.
 - MAXIMUM LENGTH OF FOUNDATION WALL OR GRADE BEAM PLACED IN ONE OPERATION SHALL NOT EXCEED 60 FEET.
 - THE CONTRACTOR SHALL REFER TO THE CIVIL, ARCHITECTURAL, PLUMBING, MECHANICAL AND ELECTRICAL DRAWINGS FOR ALL LOCATIONS OF TRENCHES, PITS, CONDUITS, ETC. NOT SHOWN ON THE STRUCTURAL DRAWINGS.

CONCRETE

- ALL CONCRETE WORK SHALL BE IN ACCORDANCE WITH ACI 301 - "SPECIFICATIONS FOR STRUCTURAL CONCRETE" AND ACI 318 - "BUILDING CODE REQUIREMENTS FOR STRUCTURAL CONCRETE."
- CONCRETE DESIGN MIXES:

MIX NO	LOCATION	TYPE ^a	STRENGTH ^b (PSI)	W/C RATIO (BY WT.)	CEMENT (LBS/CY.)	AIR ENTRAINMENT (%)	ADDITIONAL REQUIREMENTS
3	FOOTINGS	N.W.T.	3500	0.50	580	5-8	(MD SHA MIX NO. 3)
3	WALLS	N.W.T.	4000	0.45	615	5-8	(MD SHA MIX NO. 6)

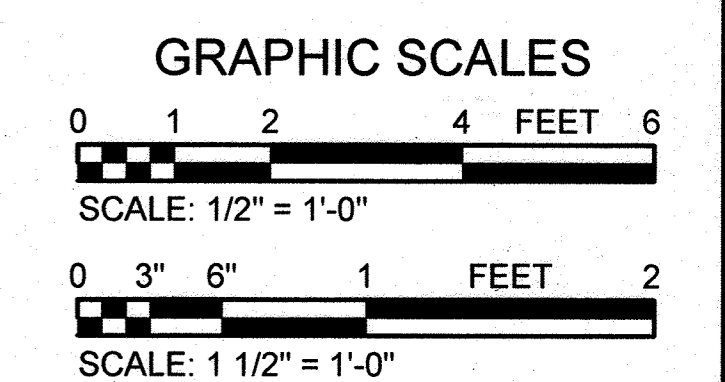
^a DESIGN COMPRESSIVE STRENGTH AT 28 DAYS.
^b N. WT = NORMAL WEIGHT CONCRETE
^c ALL CONCRETE SHALL CONTAIN A WATER-REDUCING ADMIXTURE.
^d CALCIUM CHLORIDE IS PROHIBITED.

- NO CONCRETE SHALL BE PLACED UNTIL CONCRETE DESIGN MIXES HAVE BEEN SUBMITTED FOR EACH CLASS OF CONCRETE NOTED ABOVE AND HAVE BEEN APPROVED BY THE ENGINEER. CONCRETE USED IN THE STRUCTURE SHALL CONFORM TO THE APPROVED DESIGN MIX. THE USE OF ANY ADDITIVES NOT IN THE APPROVED DESIGN MIX IS PROHIBITED.
- REPRESENTATIVE TEST CYLINDERS WILL BE TAKEN FROM THE CONCRETE PLACED EACH DAY IN ACCORDANCE WITH SPECIFICATIONS.
- REINFORCING STEEL SHALL BE DEFORMED BARS OF NEW BILLET STEEL CONFORMING TO ASTM A615, GRADE 60.
- ALL HOOKS SHALL BE STANDARD HOOKS, UNLESS OTHERWISE NOTED.
- CONCRETE COVER OVER REINFORCING SHALL BE 3" FOR FOOTINGS AND OTHER STRUCTURAL CONCRETE DEPOSITED AGAINST GROUND, 2" FOR CONCRETE PERMANENTLY EXPOSED TO EARTH OR WEATHER.
- ALL STRUCTURAL MEMBERS SHALL BE POURED FOR THEIR FULL DEPTHS IN ONE OPERATION. NO HORIZONTAL JOINTS SHALL BE PLACED IN WALLS EXCEPT AS SHOWN ON THE DRAWINGS WITHOUT APPROVAL OF THE ENGINEER.
- NO CONCRETE SHALL BE PLACED IN WATER OR ON FROZEN SUBGRADE.
- NO OPENINGS SHALL BE MADE IN ANY STRUCTURAL MEMBER, UNLESS SPECIFICALLY SHOWN ON THE STRUCTURAL DRAWINGS OR APPROVED BY THE ENGINEER IN WRITING.
- PROVIDE BAR SUPPORTS AND SPACERS IN ACCORDANCE WITH CRSI MANUAL OF STANDARD PRACTICE AND PROJECT SPECIFICATIONS.

STRUCTURAL TESTS AND SPECIAL INSPECTIONS

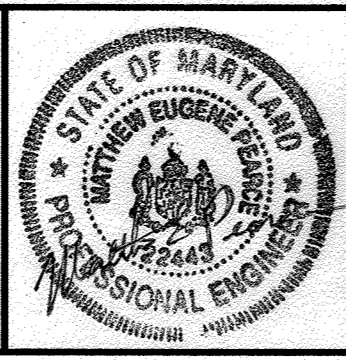
- AN APPROVED INDEPENDENT TESTING AND INSPECTION AGENCY SHALL INSPECT, MONITOR AND/OR TEST THE FOLLOWING: THE TESTING AND INSPECTION AGENCY WILL BE PAID BY THE OWNER. REPORTS OF INSPECTIONS SHALL BE SUBMITTED TO THE ARCHITECT AND BUILDING OFFICIAL.
 - FILL AND/OR BACKFILL PLACEMENT AND COMPACTION, INCLUDING TESTING OF IN-PLACE DENSITY.
 - VERIFICATION OF SOIL BEARING CAPACITY FOR FOOTINGS AND FOUNDATIONS.
- CONCRETE CONSTRUCTION
 - MONITOR, INSPECT AND TEST IN ACCORDANCE WITH TABLE 1704.4 OF IBC.
 - INSPECT REINFORCING STEEL.
 - SAMPLING AND TESTING OF CONCRETE MATERIALS.
 - INSPECTION OF CONCRETE PLACEMENT.
 - VERIFICATION OF CURING TEMPERATURES AND CURING METHODS.

- SUBMITTALS**
 SUBMIT THE FOLLOWING [IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS]:
- EARTHWORK
 - SUBMIT LABORATORY TESTS FROM QUALIFIED SOILS TESTING LABORATORY FOR SOIL CLASSIFICATION AND MOISTURE-DENSITY RELATIONSHIP FOR PROPOSED ON-SITE AND/OR BORROW MATERIAL TO BE USED AS FILL/BACKFILL.
 - CAST-IN-PLACE CONCRETE
 - CONCRETE DESIGN MIXES WITH SUPPORTING TEST DATA.
 - SHOP DRAWINGS: FABRICATION AND PLACING DRAWINGS FOR REINFORCING STEEL AND SUPPORTS FOR REINFORCING.
 - PRODUCT DATA FOR ADMIXTURES, AND CONCRETE ACCESSORIES.
 - MATERIAL TEST REPORTS FOR AGGREGATES.
 - MATERIAL CERTIFICATES FOR CEMENTITIOUS MATERIALS, ADMIXTURES, JOINT FILLERS, AND REPAIR MATERIALS.



APPROVED: DEPARTMENT OF PLANNING AND ZONING
 Chief, Development Engineering Division
 Chief, Division of Land Development
 Director

CENTURY ENGINEERING
 CONSULTING ENGINEERS - PLANNERS
 10710 Gilroy Road, Hunt Valley, MD 21031
 Phone: 443.589.2400 Fax: 443.589.2401



DESIGN BY:	M.E.P.	CEI	3/8	AS-BUILT	9/5/19
DRAWN BY:	D.W.F.				
CHECKED BY:					
DATE:					
BY	NO.	REVISION			DATE

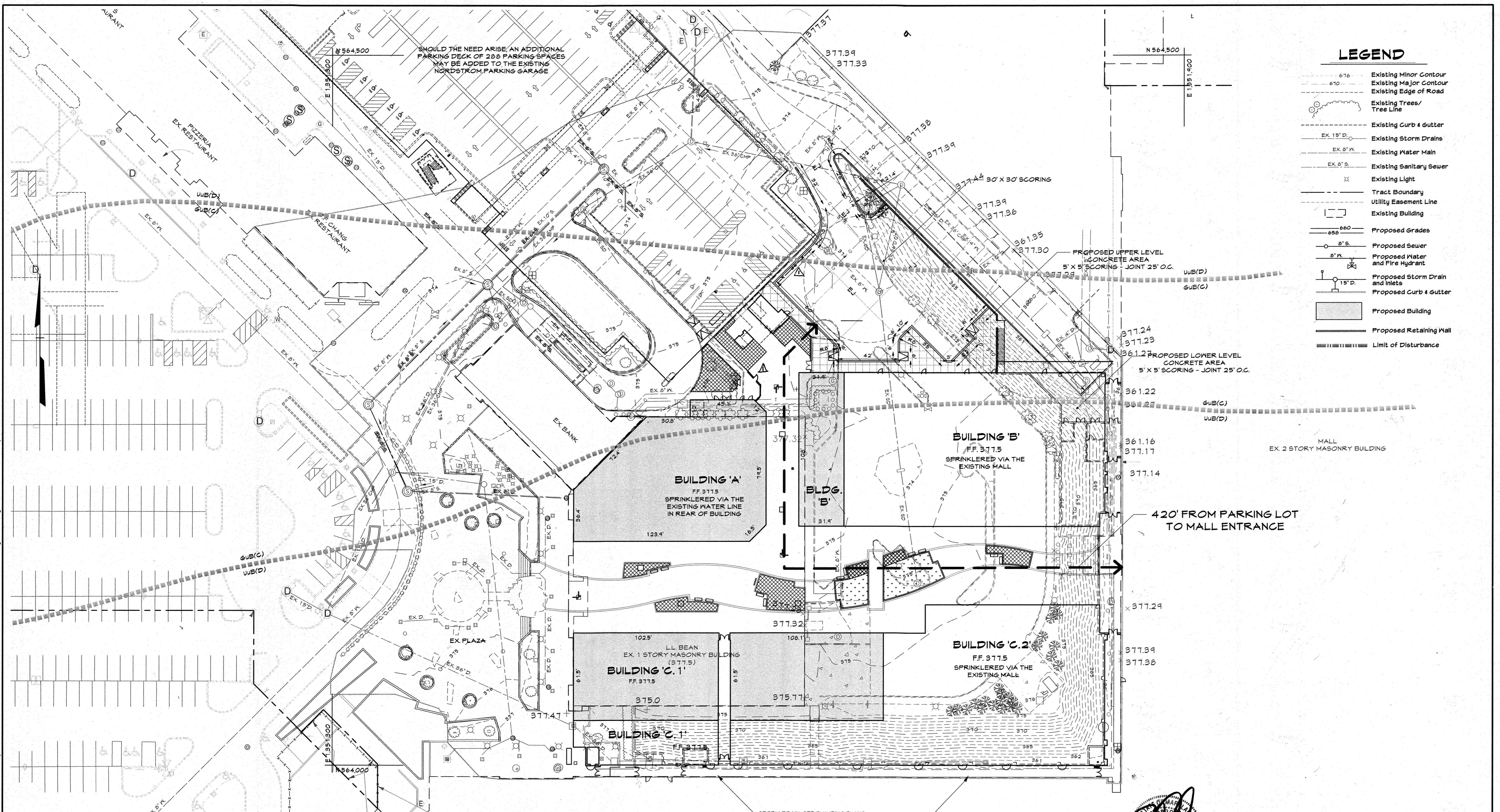
AS-BUILT CERTIFICATION FOR PSWM
 Note: There is no "AS-Built" information provided on this sheet.

DEVELOPER
GENERAL GROWTH PROPERTIES
 10440 LITTLE PATUXENT PARKWAY, SUITE 1000
 COLUMBIA, MARYLAND 21044
 410-992-6000

EXTERIOR RETAINING WALL DETAILS
THE MALL IN COLUMBIA
 COLUMBIA TOWN CENTER
 TAX MAP: 30, 36 LOT: 47 PARCEL: 460
 ELECTION DISTRICT 5 HOWARD COUNTY, MARYLAND
 SHEET 26 OF 73

C.E.I. PROJECT NUMBER: 28141.02
 SCALE: AS NOTED

S: 2008\Facilities\28141.00 Columbia Mall\STRUCTURES\CADD\28141 S-2.dwg Nov 09, 2012 11:14am mott



- ### LEGEND
- 676 Existing Minor Contour
 - 670 Existing Major Contour
 - - - Existing Edge of Road
 - ⊙ Existing Trees/Tree Line
 - - - Existing Curb & Gutter
 - EX 15" D. Existing Storm Drains
 - EX 8" W. Existing Water Main
 - EX 8" S. Existing Sanitary Sewer
 - ⊙ Existing Light
 - - - Tract Boundary
 - - - Utility Easement Line
 - ▭ Existing Building
 - 660 Proposed Grades
 - 650
 - 8" S. Proposed Sewer
 - 8" W. Proposed Water and Fire Hydrant
 - ⊙ Proposed Storm Drain and Inlets
 - 15" D. Proposed Curb & Gutter
 - ▭ Proposed Building
 - ▭ Proposed Retaining Wall
 - ▭ Limit of Disturbance

PROFESSIONAL CERTIFICATION

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.

LICENSE NUMBER: 0951 EXPIRATION DATE: 8-28-19

PROFESSIONAL CERTIFICATION
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NO. 27020 EXPIRATION DATE: JANUARY 25, 2016



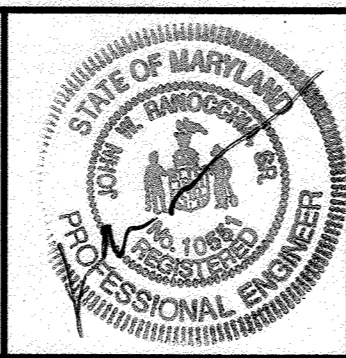
PAUL G. CAVANAUGH
PROFESSIONAL ENGINEER NO. 27020

AS-BUILT CERTIFICATION FOR PSWM
Note: There is no "AS-Built" information provided on this sheet.



AS-BUILT SCALE: 1" = 30'

APPROVED: DEPARTMENT OF PLANNING AND ZONING
Chief, Development Engineering Division
Chief, Division of Land Development
Director

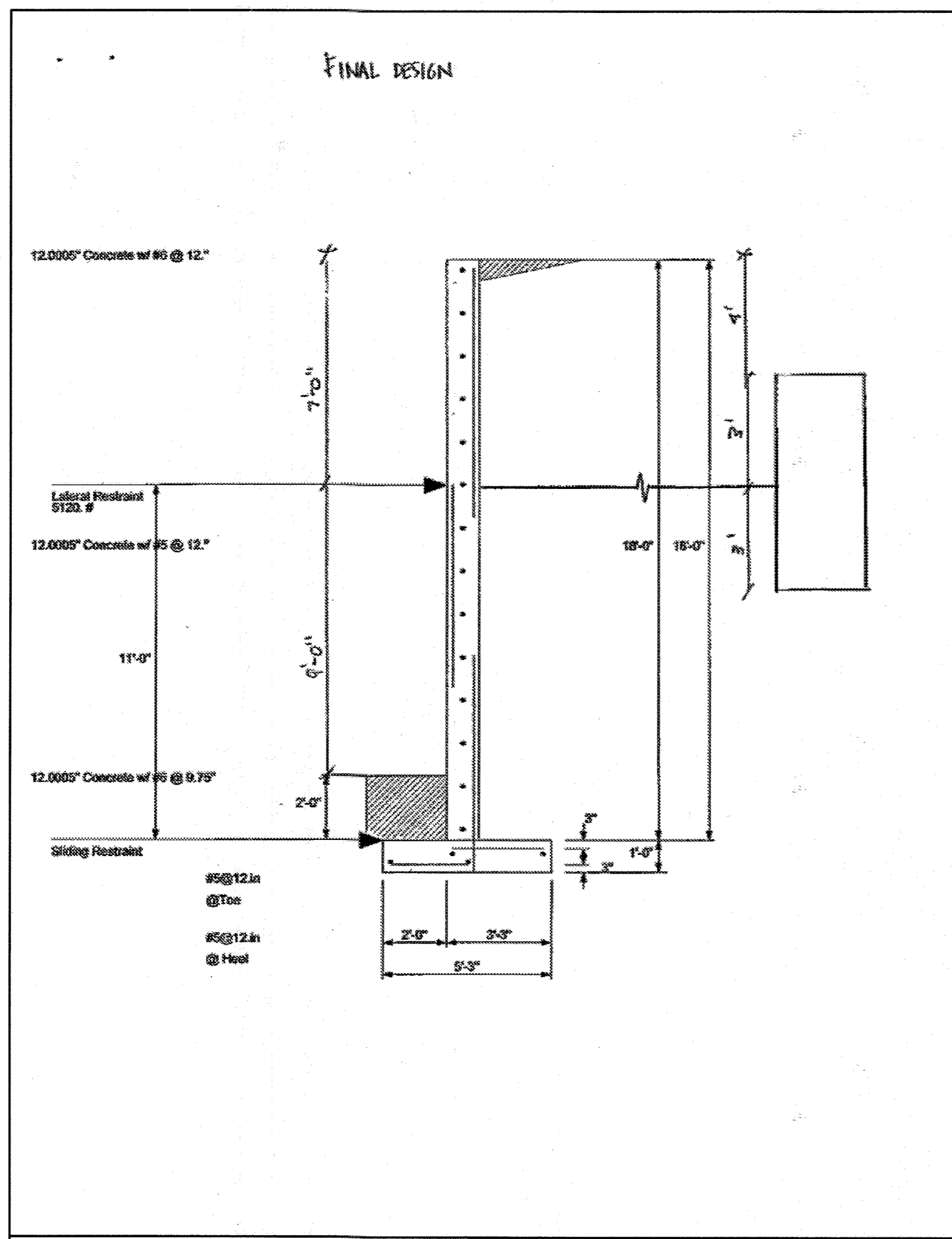


DESIGN BY:	DDC	1	REDLINE REVISION TO ADD SCREEN WALL, SCREEN FENCE, AND RECONSTRUCT RAMP	09/18/15
DRAWN BY:	M.S.S.	3/B	AS-BUILT	9/1/18
CHECKED BY:				
DATE:				
BY NO.			REVISION	DATE

DEVELOPER
GENERAL GROWTH PROPERTIES
10440 LITTLE PATUXENT PARKWAY, SUITE 1000
COLUMBIA, MARYLAND 21044
410-992-6000

FIRE ACCESS & LOADING AREA PAVING PLAN
THE MALL IN COLUMBIA
BUILDING EXPANSION
COLUMBIA TOWN CENTER
TAX MAP: 30, 36 LOT: 47 GRID: 19, 20, 1, 2 ZONED: NT PARCEL: 460 F-04-045
ELECTION DISTRICT 5 HOWARD COUNTY, MARYLAND
SHEET 27 OF 73

C.E.I. PROJECT NUMBER
28141.02
SCALE:
1" = 30'

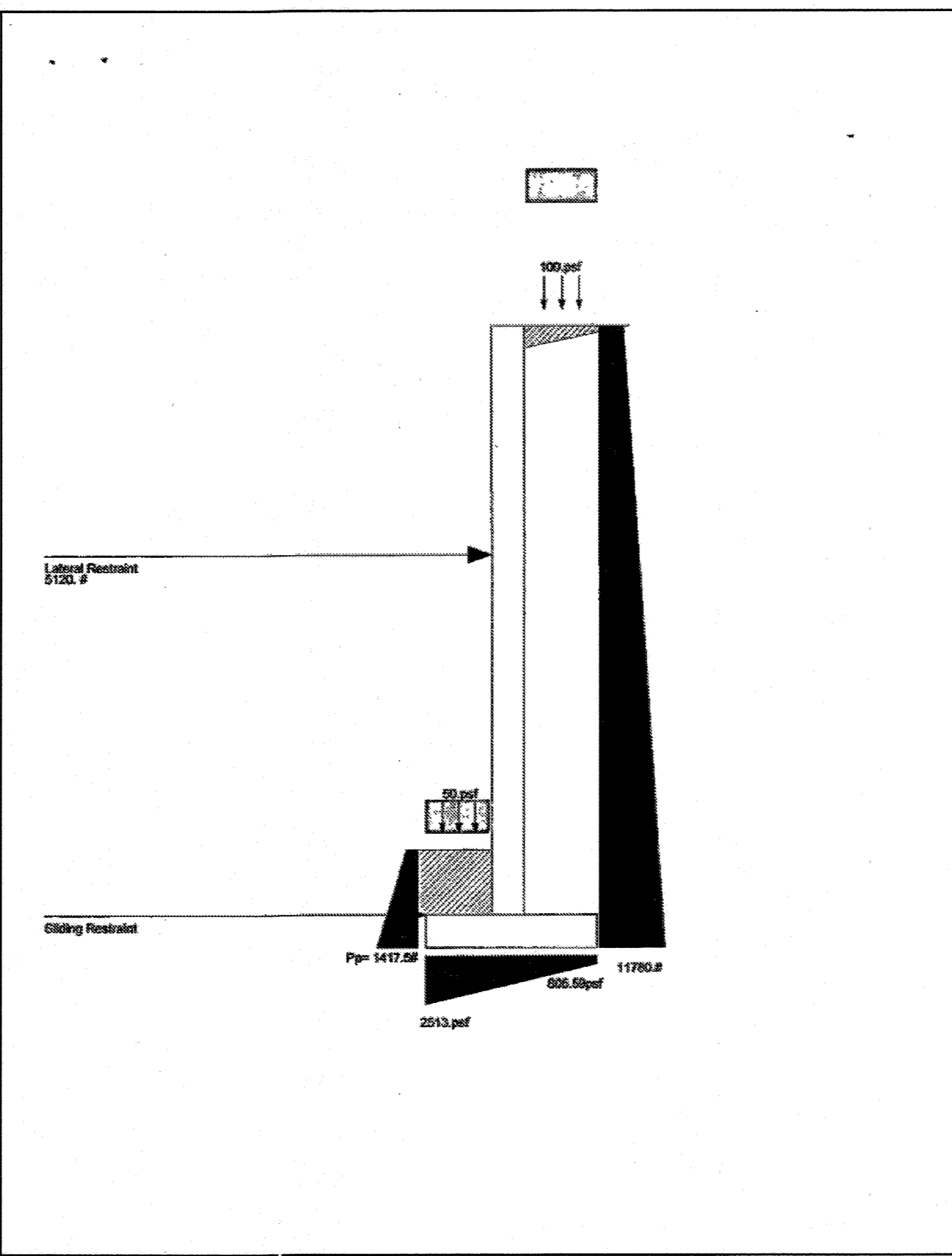


Title: Retained Retaining Wall Design
 Designer: [Redacted]
 Date: 4/18/12
 Job #: 4/18/12, 20 AUG 12
 Description: [Redacted]
 Scope: [Redacted]
 Code Ref: ACI 318-02, 1987 UBC, 2003 IBC, 2003 NFPA 5000

Criteria		Soil Data		Footing Strengths & Dimensions	
Retained Height	= 16.00 ft	Allow Soil Bearing	= 2,500.0 psf	$f_c = 3,000$ psi	$F_y = 60,000$ psi
Wall Height above soil	= 0.00 ft	Equivalent Fluid Pressure Method		Min. As %	= 0.0014
Total Wall Height	= 16.00 ft	Heat Active Pressure	= 0.0	Toe Width	= 2.00 ft
Top Support Height	= 11.00 ft	Top Active Pressure	= 0.0	Heel Width	= 3.25 ft
Stops Behind Wall	= 0.00:1	Passive Pressure	= 315.0	Total Footing Width	= 5.25 ft
Height of Soil over Toe	= 24.00 in	Footing/Soil Friction	= 0.300	Footing Thickness	= 12.00 in
Soil Density	= 120.00 pcf	Soil height to ignore for passive pressure	= 0.00 in	Key Width	= 0.00 in
Wind on Stem	= 0.0 psf			Key Depth	= 0.00 in
				Key Distance from Toe	= 0.00 ft
				Cover @ Top	= 3.00 in @ Stem, 3.00 in

Design Summary		Concrete Stem Construction	
Total Bearing Load	= 8,714 lbs	Thickness	= 12.00 in
...resistant ecc.	= 5.40 in	Wall Weight	= 145.0 pcf
Soil Pressure @ Toe	= 2,513 psf NG	Stem is FIXED to top of footing	
Soil Pressure @ Heel	= 850 psf OK		
Allowable	= 2,500 psf		
Soil Pressure Exceeds Allowable!			
ACI Factor @ Top	= 3.618 psf		
ACI Factor @ Heel	= 1.128 psf		
Footing Shear @ Top	= 35.0 psf OK		
Footing Shear @ Heel	= 75.1 psf OK		
Allowable	= 93.1 psf		
Reaction at Top	= 5,119.5 lbs		
Reaction at Bottom	= 6,593.5 lbs		
Sliding Criteria: Slab Resists All Sliding!			
Lateral Sliding Force	= 6,593.5 lbs		

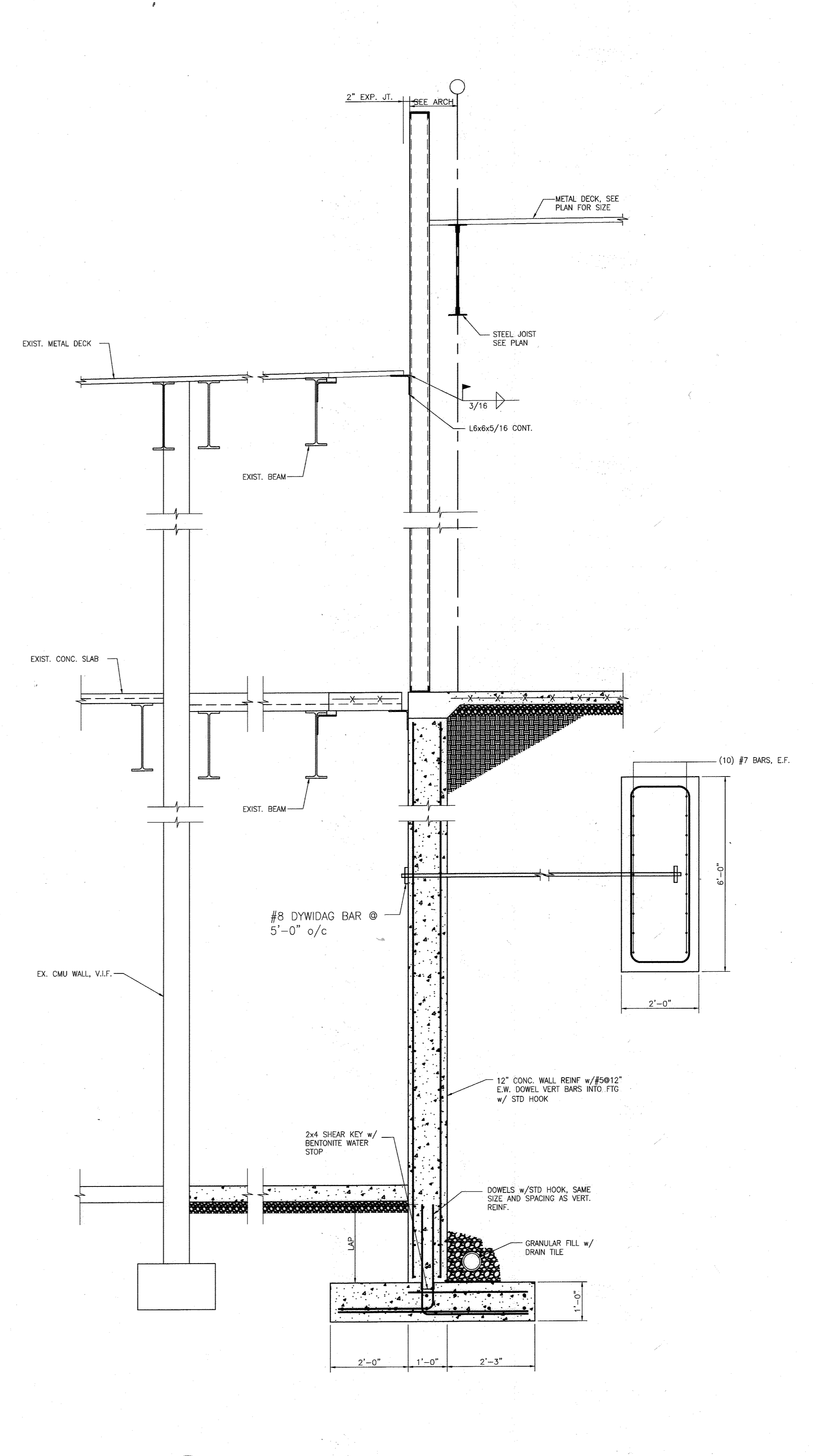
Footing Design Results	
Factored Pressure	= 3,975 psf
M ₁ Upward	= 6,429 ft-lb
M ₁ Downward	= 1,232 ft-lb
M ₂ Design	= 5,197 ft-lb
Actual 1-Way Shear	= 33.03
Allow 1-Way Shear	= 93.11



Title: Retained Retaining Wall Design
 Designer: [Redacted]
 Date: 4/18/12
 Job #: 4/18/12, 20 AUG 12
 Description: [Redacted]
 Scope: [Redacted]
 Code Ref: ACI 318-02, 1987 UBC, 2003 IBC, 2003 NFPA 5000

Summary of Forces on Footing: Slab RESISTS sliding, stem is FIXED at footing	
Forces acting on footing for soil pressure	
Load & Moment Summary For Footing: For Soil Pressure Cases	
Moment @ Top of Footing Applied from Stem	= -10,105.4 ft-lb
Surcharge Over Heel	= 0 lbs
Avial Dead Load on Stem	= 0 lbs
Soil Over Toe	= 480.0 lbs
Surcharge Over Toe	= 0 lbs
Stem Weight	= 2,810.0 lbs
Soil Over Heel	= 4,860.0 lbs
Footing Weight	= 781.3 lbs
Total Vertical Force	= 8,714.3 lbs
Soil Pressure Resulting Moment	= 3,921.2 ft-lb

2 RETAINING WALL CALCULATIONS
 Scale: NTS



1 SECTION AT RETAINING WALL
 Scale: 1/2" = 1'-0"

APPROVED: DEPARTMENT OF PLANNING AND ZONING
 Chief, Development Engineering Division
 Chief, Division of Land Development
 Director

CENTURY ENGINEERING
 CONSULTING ENGINEERS - PLANNERS
 10710 Gilroy Road, Hunt Valley, MD 21031
 Phone: 443.589.2400 Fax: 443.589.2401



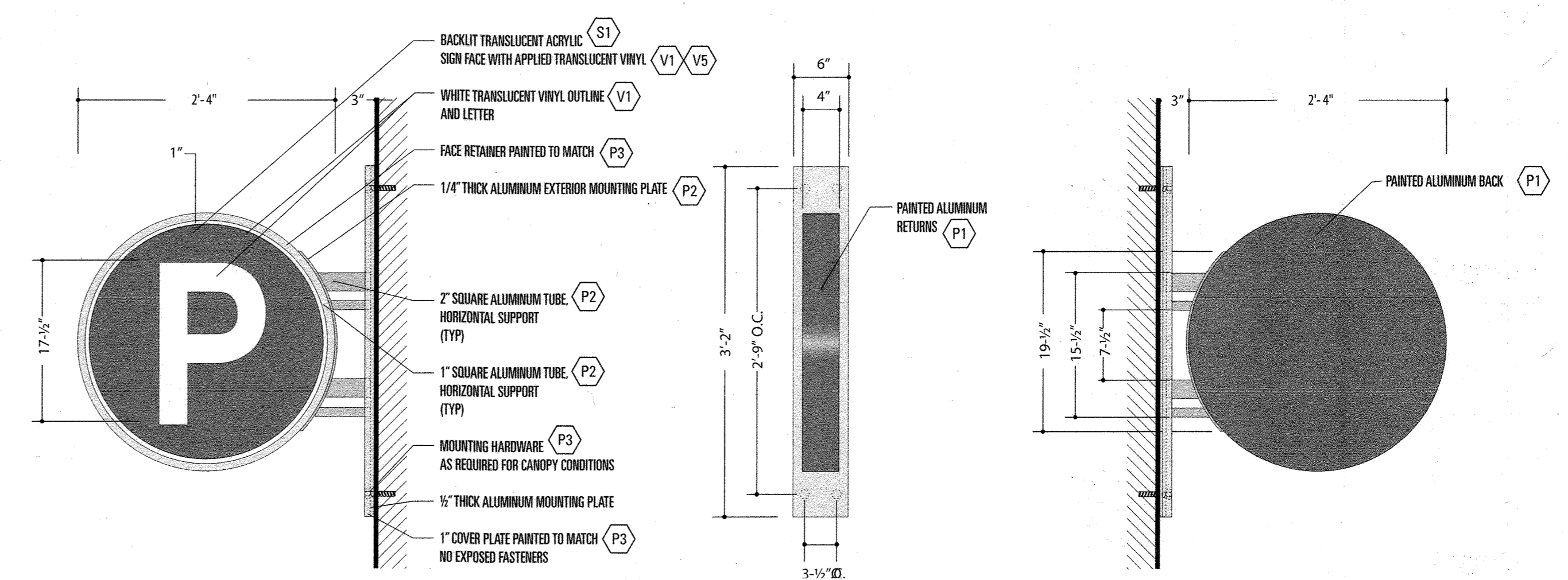
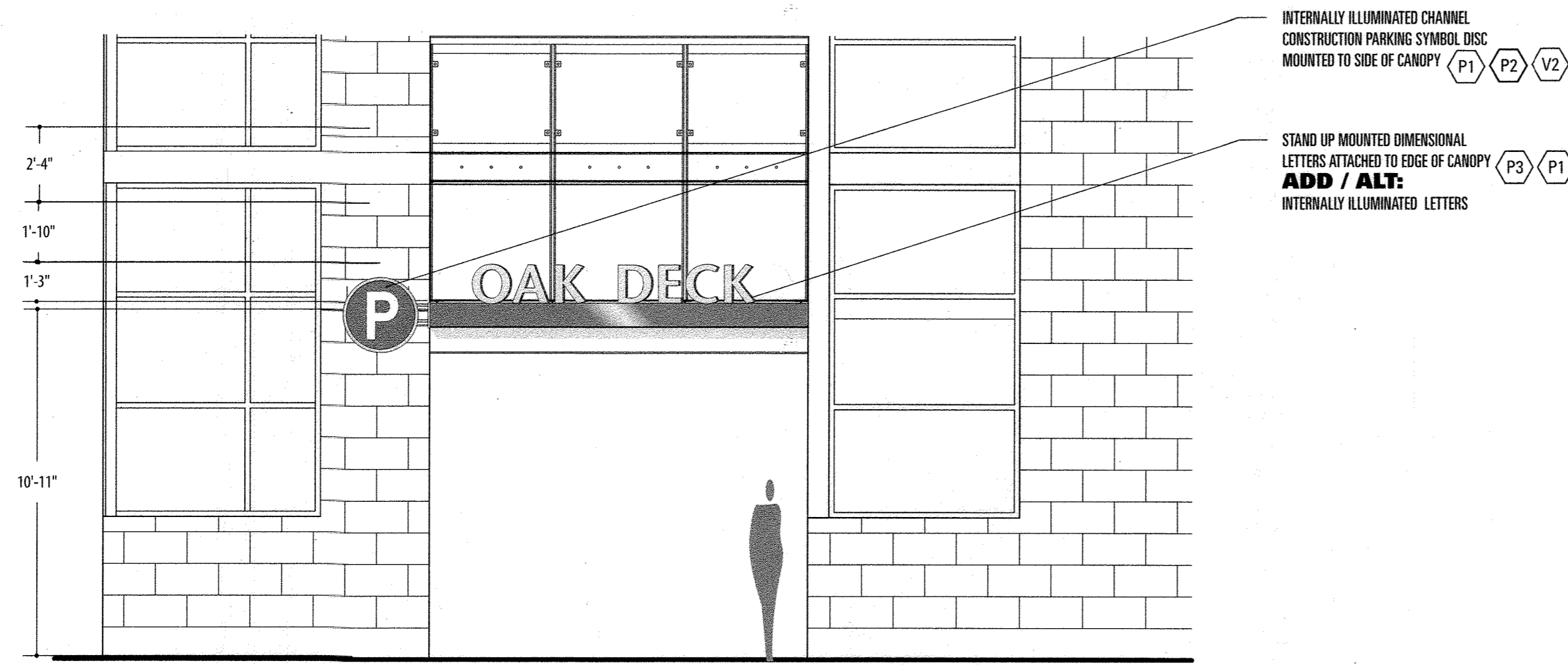
DESIGN BY:	CEI 3 AS-BUILT	DATE
M.J.P.		9/15/12
DRAWN BY:		
M.S.S.		
CHECKED BY:		
DATE:		
BY	NO.	REVISION

AS-BUILT CERTIFICATION FOR PSWM
 Note: There is no "AS-Built" information provided on this sheet.

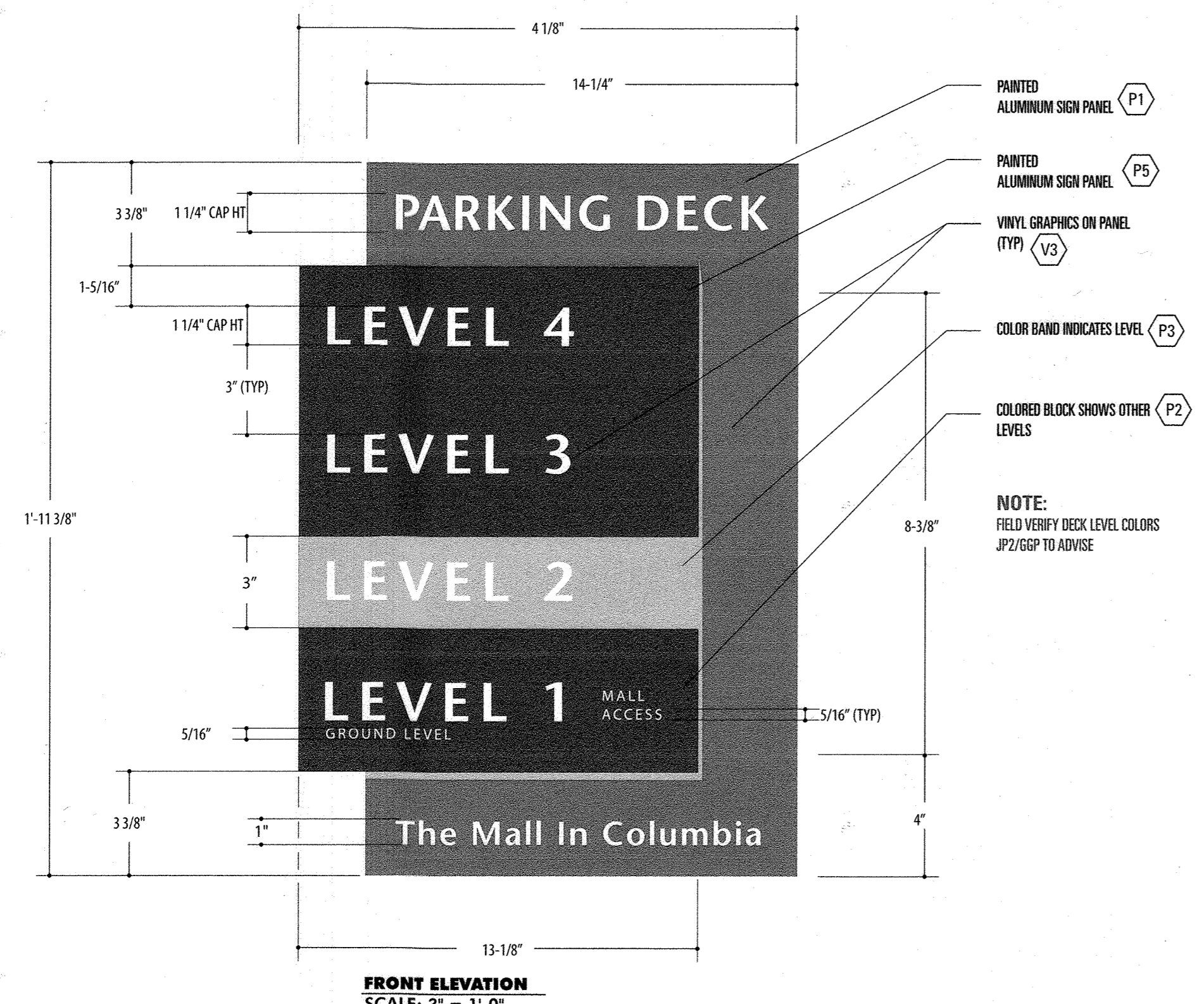
DEVELOPER
GENERAL GROWTH PROPERTIES
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AS-BUILT
STRUCTURAL WALL DETAILS
THE MALL IN COLUMBIA
 COLUMBIA TOWN CENTER
 TAX MAP: 30, 36 LOT: 47 PARCEL: 460
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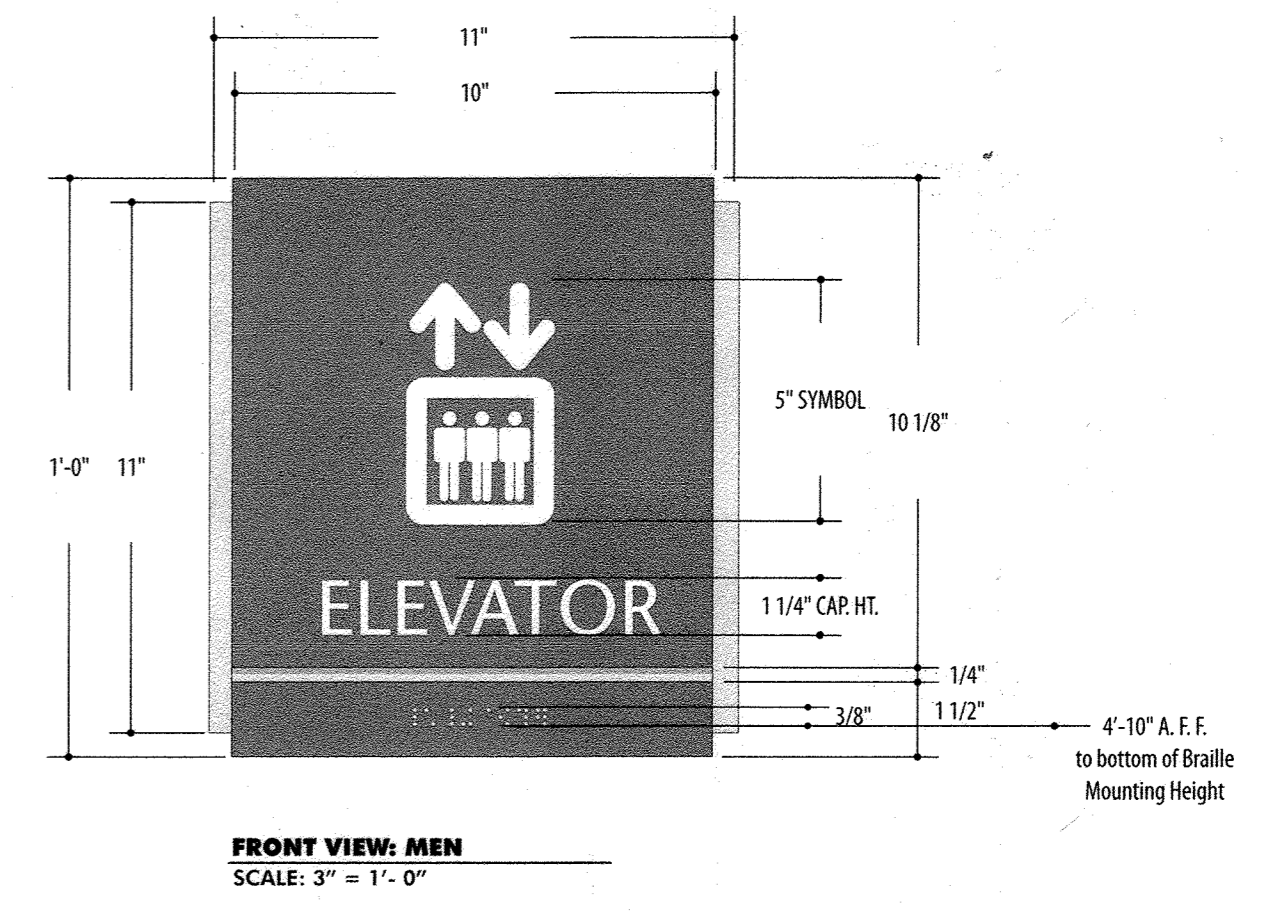
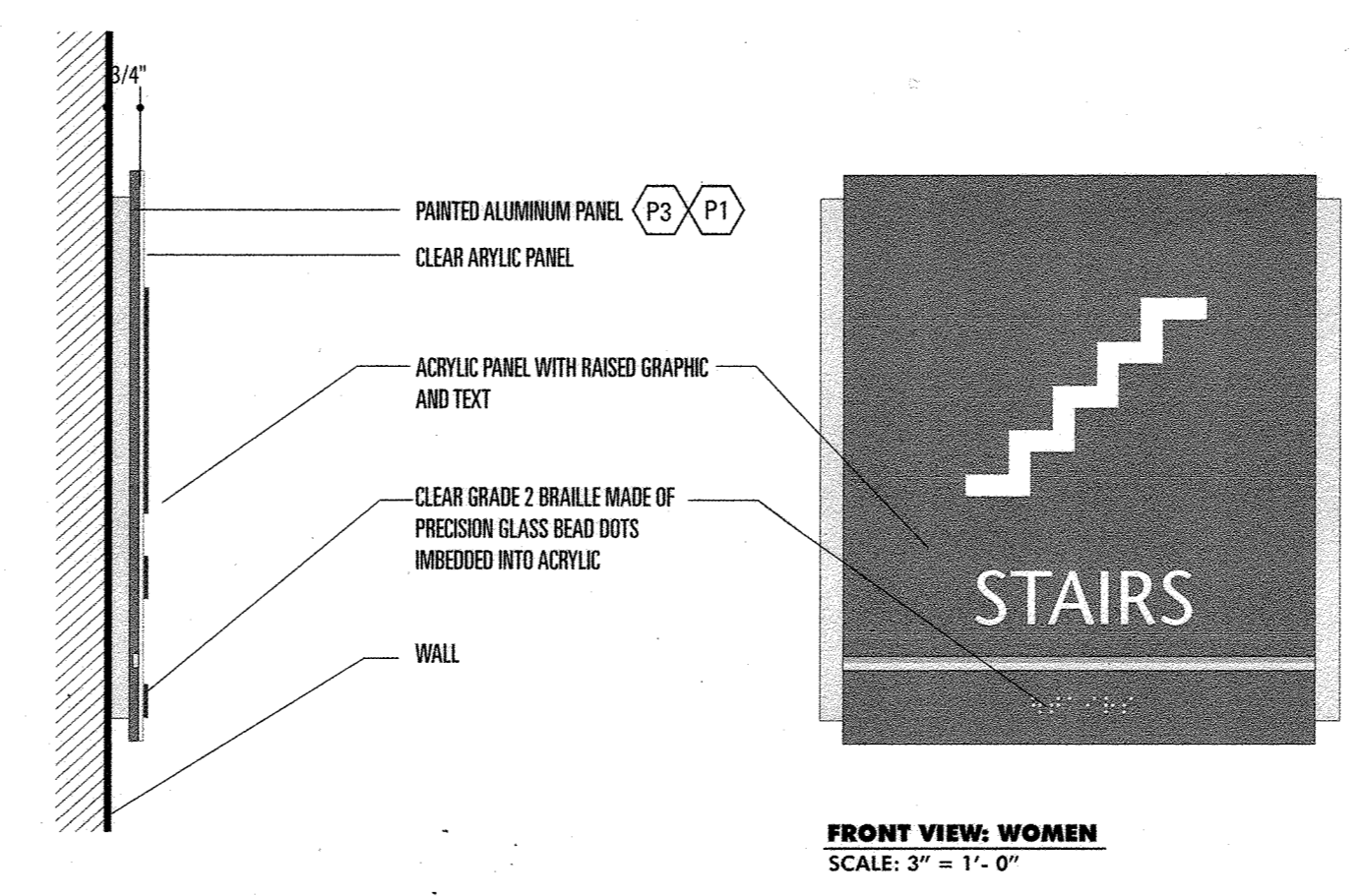
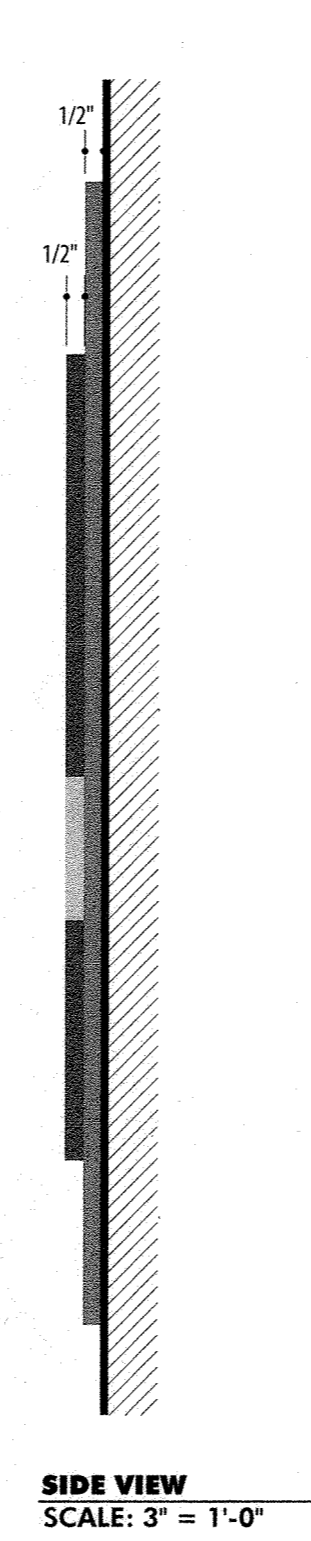
C.E.I. PROJECT NUMBER
 28141.02
 SCALE:



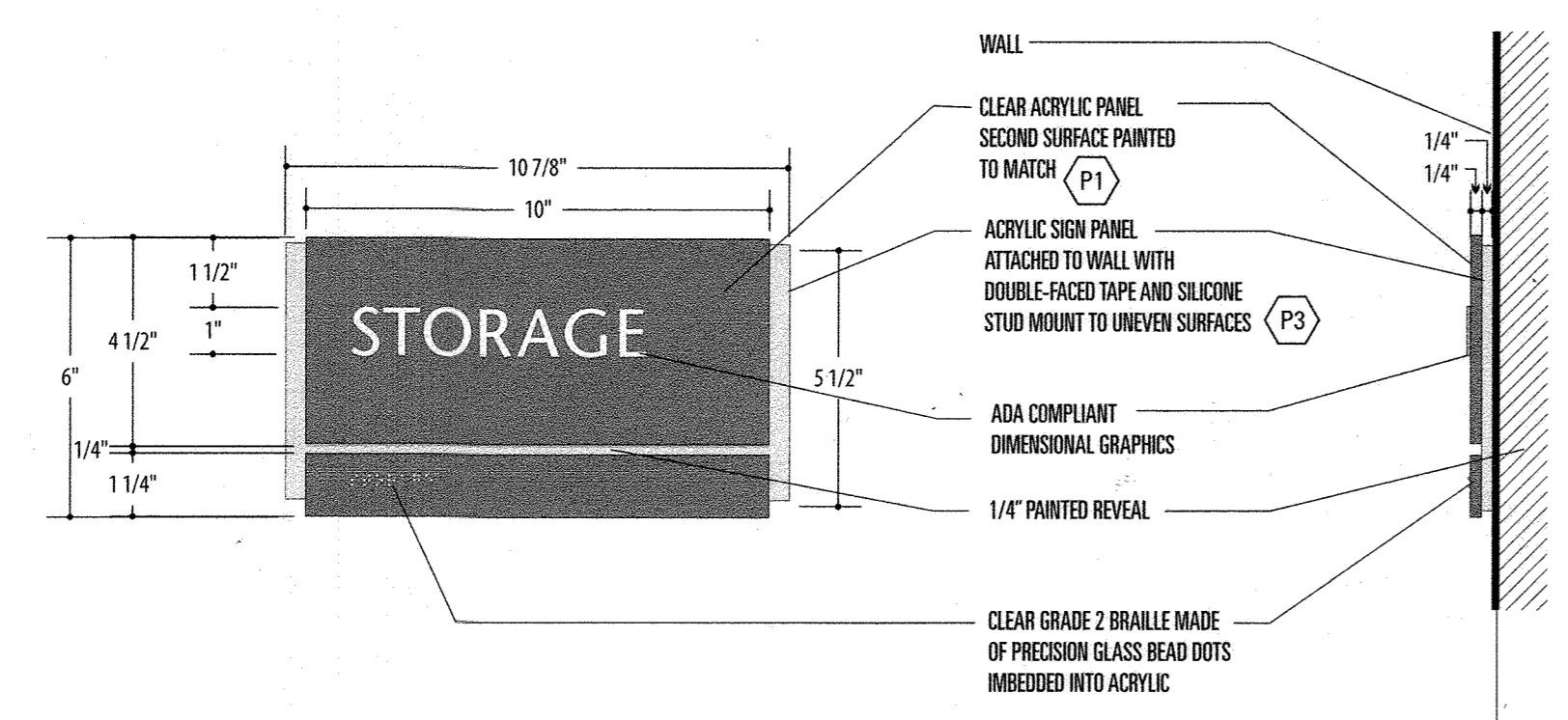
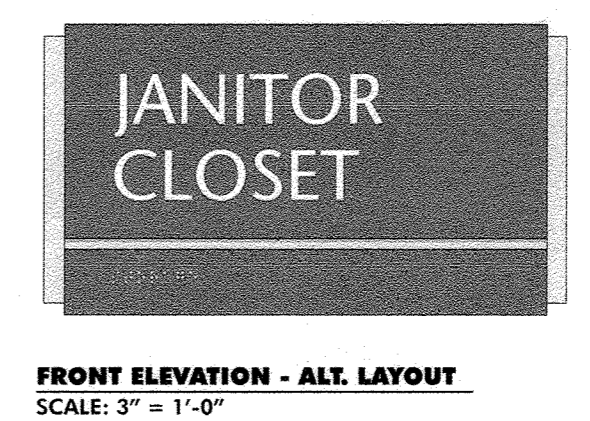
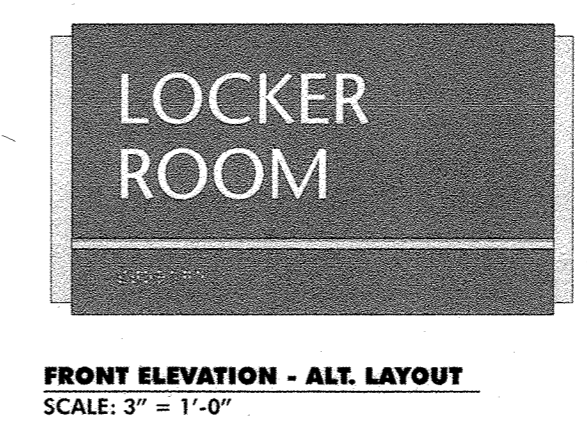
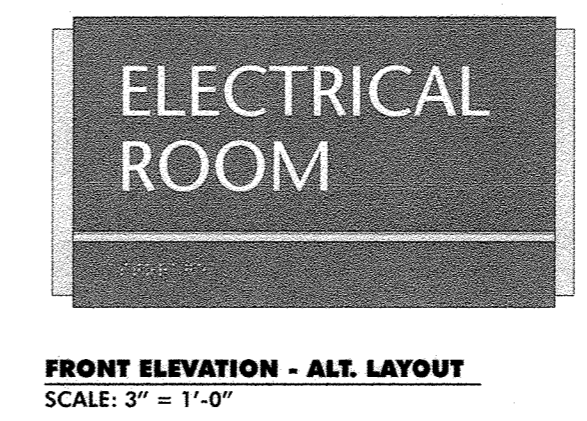
1 GARAGE TOWER SIGNAGE



2 DIRECTIONAL SIGNAGE DETAIL



3 DIRECTIONAL SIGNAGE DETAIL



4 ROOM SIGNAGE DETAIL

5 ROOM SIGNAGE DETAIL

AS-BUILT CERTIFICATION FOR PSWM
Note: There is no "AS-Built" information provided on this sheet.

AJ- BUILT

APPROVED: DEPARTMENT OF PLANNING AND ZONING
Chief, Development Engineering Division
Chief, Division of Land Development
Director

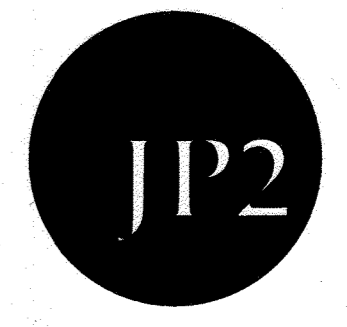
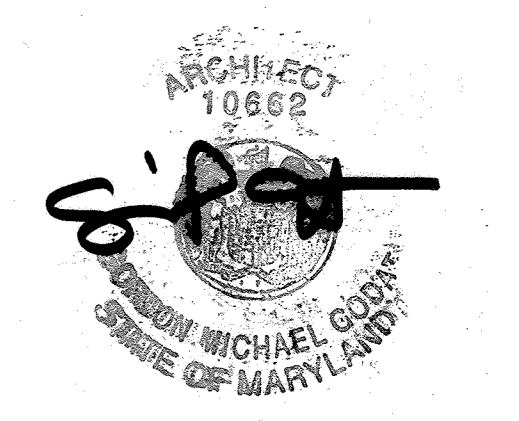
CENTURY ENGINEERING
CONSULTING ENGINEERS - PLANNERS
10710 Gilroy Road, Hunt Valley, MD 21031
Phone: 443.589.2400 Fax: 443.589.2401

DESIGN BY:	CES	3/2	AJ- BUILT	9/5/19
DRAWN BY:	M.S.S.			
CHECKED BY:				
DATE:				
BY	NO.	REVISION	DATE	

DEVELOPER
GENERAL GROWTH PROPERTIES
10440 LITTLE PATUXENT PARKWAY, SUITE 1000
COLUMBIA, MARYLAND 21044
410-992-6000

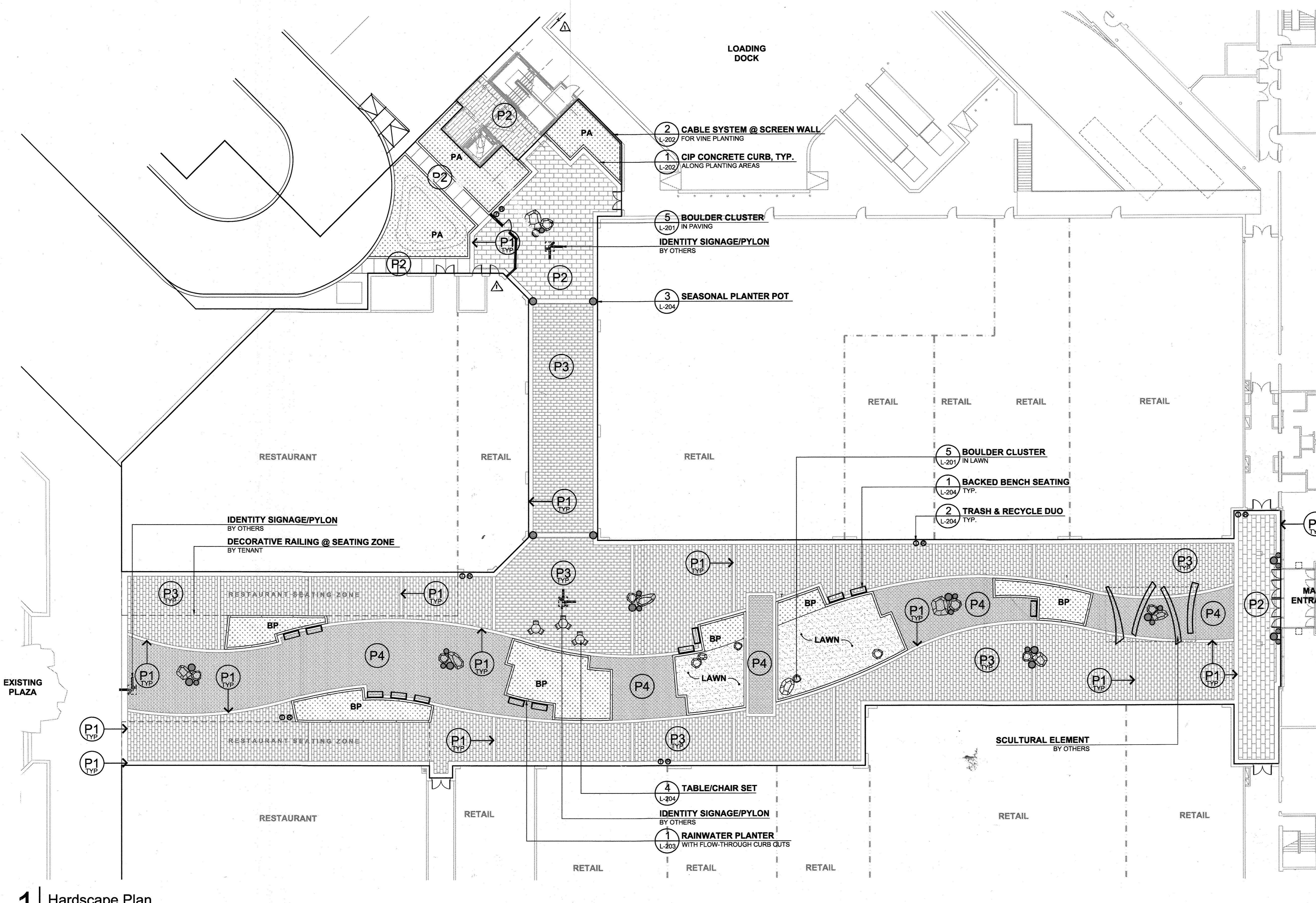
DIRECTIONAL SIGNAGE DETAILS
THE MALL IN COLUMBIA
COLUMBIA TOWN CENTER
TAX MAP: 30, 36 LOT: 47 PARCEL: 460
ELECTION DISTRICT 5 HOWARD COUNTY, MARYLAND
SHEET 30 OF 73

C.E.I. PROJECT NUMBER
28141.02
SCALE:



JP2 ARCHITECTS
2835 O'Donnell Street, Suite 300
Baltimore, MD 21224
t 410.276.7470
f 410.276.7471
www.JP2architects.com

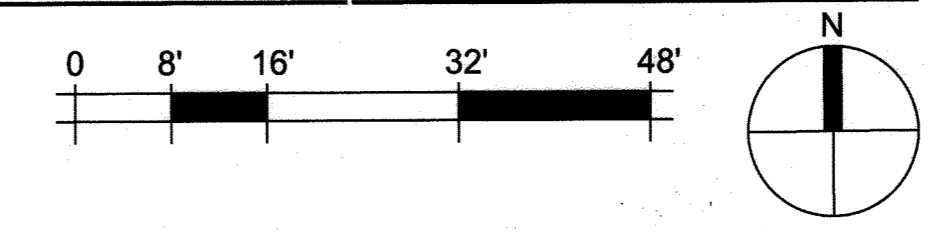
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- ### Hardscape Legend
- Paving**
- P1** ² _{L-201} CONCRETE BANDING
12", 18" OR 24" WIDE CONCRETE BAND
W/ DECORATIVE SCORING
 - P2** ³ _{L-201} CONCRETE PAVING
CONCRETE PAVING W/ DECORATIVE SCORING;
SEE L-104 FOR PATTERN
 - P3** ⁴ _{L-201} CONCRETE PAVERS
12"x24" RUNNING BOND PAVER FIELD
TO MATCH EXISTING MALL PAVERS;
SEE L-104 FOR PATTERN & TYPE
 - P4** ⁴ _{L-201} CONCRETE PAVERS
RANDOM RUNNING BOND PAVER FIELD
CONSISTING OF NEW COLOR PALETTE;
SEE L-104 FOR PATTERN & TYPE
- Furnishings**
- REFER TO SHEET L-204 FOR FURNISHING TYPES.

- HARDSCAPE NOTES:**
- REFER TO SHEETS L-102, L-103 & L-104 FOR LAYOUT INFORMATION.
 - PA = PLANTING AREA, SEE SHEET L-301 FOR PLANTING PLAN.
 - BP = BIORETENTION PLANTING AREA, SEE SHEET L-301 FOR PLANTING PLAN.
 - REFER TO LIGHTING PLANS FOR SITE LIGHTING.
 - REFER TO CIVIL PLANS FOR PLAZA GRADING.

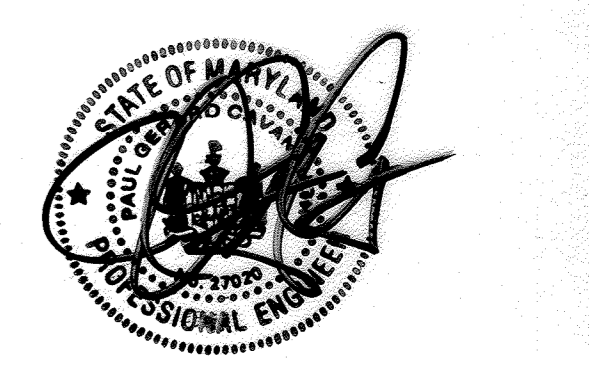
1 Hardscape Plan
Scale: 1/16" = 1'-0"



PROFESSIONAL CERTIFICATION
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND THAT I AM A FULLY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 27020 EXPIRATION DATE: JANUARY 25, 2016

REFER TO SHEET 8 FOR CALL-OUTS AND DETAIL REFERENCES FOR REVISION #1.

PAUL G. CAVANAUGH
PROFESSIONAL ENGINEER NO. 27020



POSTING OF SURETY FOR REQUIRED LANDSCAPING IN ACCORDANCE WITH DOWNTOWN GUIDELINES IN THE AMOUNT OF \$5,010.00 FOR 1 SHADE TREES, 6 ORNAMENTAL / EVERGREEN, 127 SHRUBS AND 0 LINEAR FEET OF FENCING/WALLS. FINANCIAL SURETY FOR THE REQUIRED LANDSCAPING MUST BE POSTED AS PART OF THE DEVELOPER'S AGREEMENT.

LANDSCAPE ARCHITECT SEAL



AS-BUILT CERTIFICATION FOR PSWM
Note: There is no "AS-Built" information provided on this sheet.

THE DESIGN IS IN COMPLIANCE WITH THE MALL IN COLUMBIA NEIGHBORHOOD DESIGN GUIDELINES - DOWNTOWN COLUMBIA.

MAHAN RYKIEL ASSOCIATES INC.
The Staff Silver Building, 820 Wyman Park Drive, Suite 100, Baltimore, MD 21211-410-255-0001

APPROVED: DEPARTMENT OF PLANNING AND ZONING

[Signature] 1/31/13
Chief, Development Engineering Division
Date

[Signature] 4-09-13
Chief, Division of Land Development
Date

[Signature] 4/11/13
Director
Date

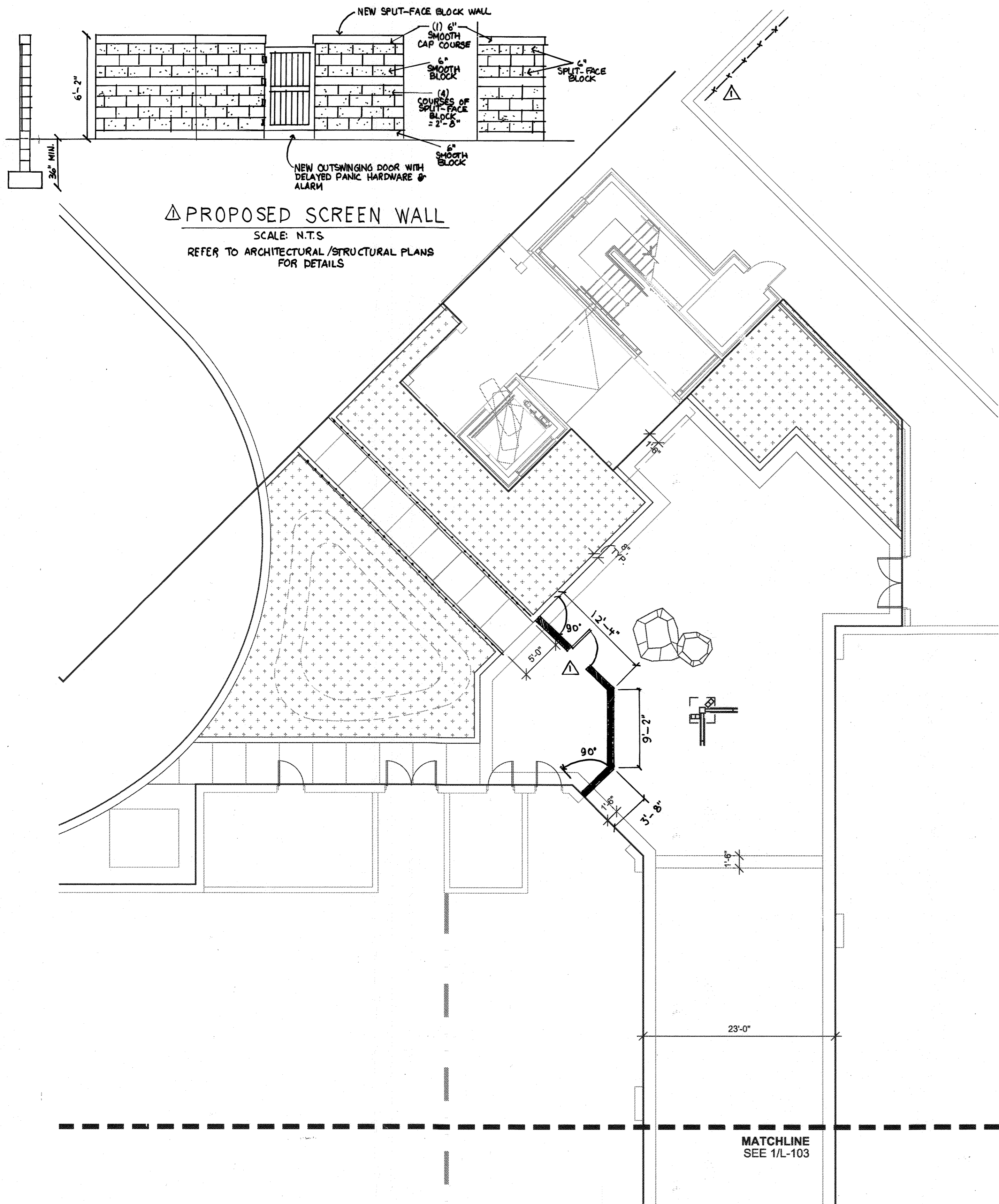
CENTURY ENGINEERING
CONSULTING ENGINEERS - PLANNERS
10710 Gilroy Road, Hunt Valley, MD 21031
Phone: 443.589.2400 Fax: 443.589.2401

DESIGN BY:	DDC	1	REDLINE REVISION TO ADD SCREEN WALL, SCREEN FENCE AND RECONSTRUCT RAMP	09/18/12
DRAWN BY:	CEB	3/8	AS-BUILT	7/5/13
CHECKED BY:				
DATE:	BY	NO.	REVISION	DATE

DEVELOPER
GENERAL GROWTH PROPERTIES
10440 LITTLE PATUXENT PARKWAY, SUITE 1000
COLUMBIA, MARYLAND 21044
410-992-6000

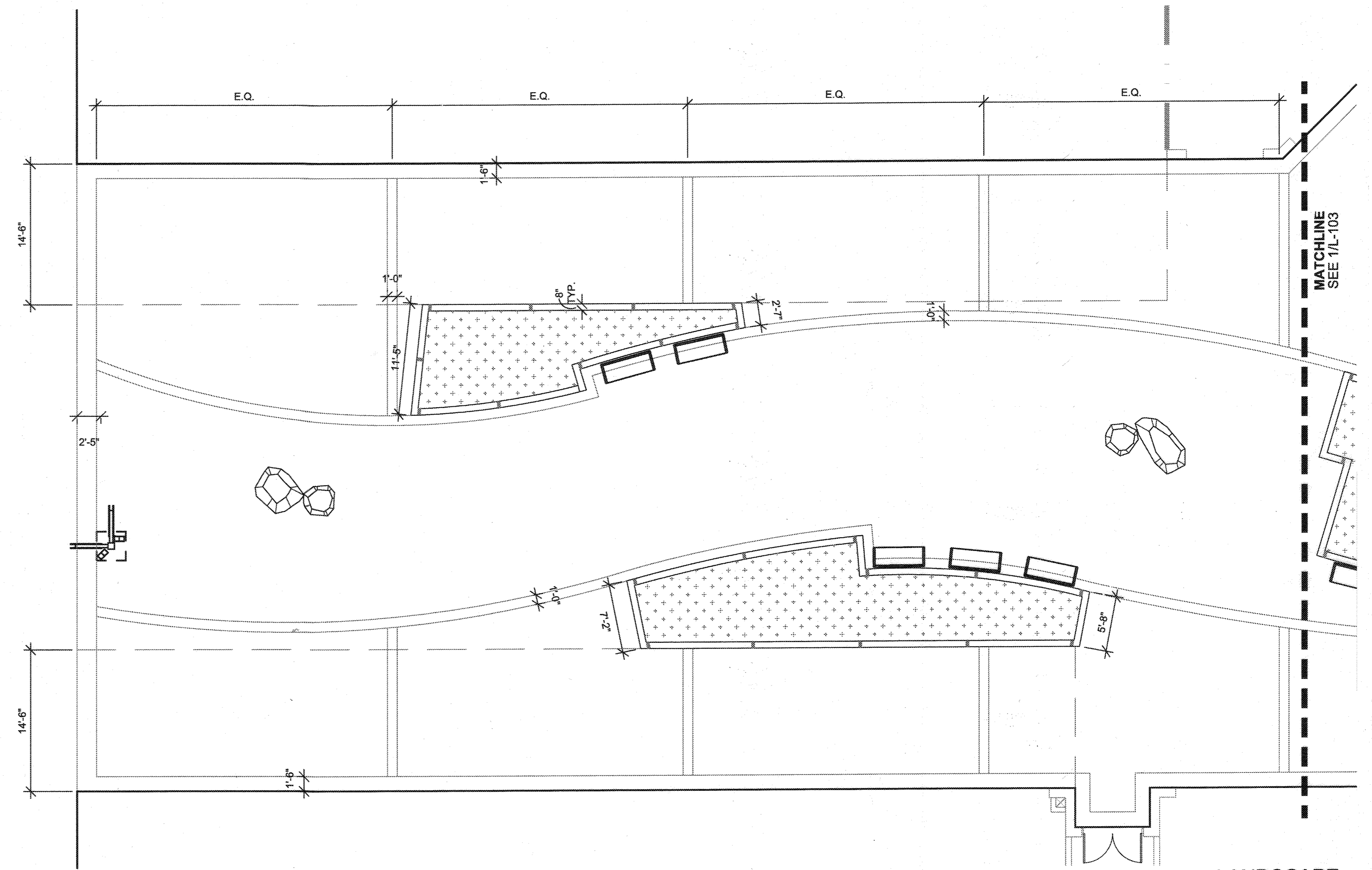
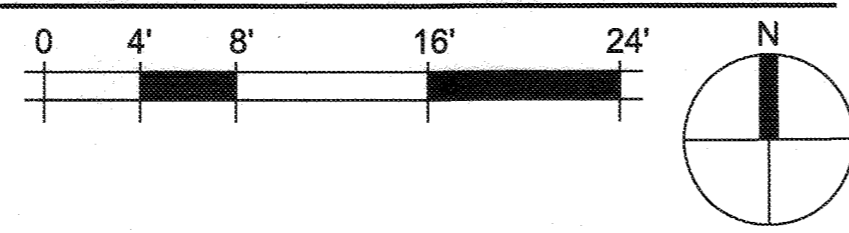
HARDSCAPE PLAN
THE MALL IN COLUMBIA
COLUMBIA TOWN CENTER
TAX MAP: 30, 36 LOT: 47 PARCEL: 460
ELECTION DISTRICT 5 HOWARD COUNTY, MARYLAND
SHEET 31 OF 73

C.E.I. PROJECT NUMBER
28141.02
SCALE:



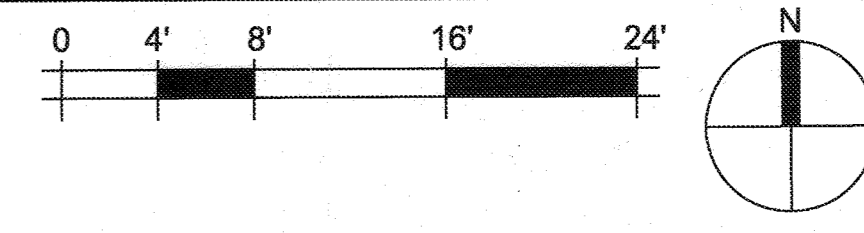
1 Layout Plan - North

Scale: 1/8" = 1'-0"



2 Layout Plan - West

Scale: 1/8" = 1'-0"



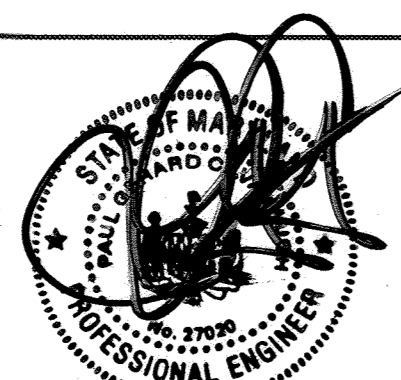
Layout Legend

- P.O.B. POINT OF BEGINNING
- F.O.B. FACE OF BUILDING
- B.O.C. BACK OF CURB
- P.O.C. POINT OF CENTER
- P.T. POINT OF TANGENCY
- CENTER LINE
- ALIGN
- EXPANSION JOINT (@ CONCRETE PAVING)
- EXPANSION JOINT (@ CONC. SLAB BELOW STONE PAVERS)
- CONTROL JOINT (@ CONCRETE PAVING)

LAYOUT NOTES:

1. REFER TO SHEET L-101 FOR HARDSCAPE MATERIALS PLAN & PAVING TYPES.
2. REFER TO CIVIL PLANS FOR ALL DRAINAGE & CONNECTION TO STORM WATER.
3. PROVIDE EXPANSION JOINTS ALONG ALL BUILDING & CURB EDGES; REFER TO STRUCTURAL DRAWINGS.
4. PROVIDE EXPANSION JOINTS EVERY 16' O.C. OR AS SHOWN; REFER TO STRUCTURAL DRAWINGS.
5. EXPANSION JOINTS @ CONCRETE PAVERS ARE LOCATED IN CONCRETE SLAB BELOW; REFER TO STRUCTURAL DRAWINGS.

PROFESSIONAL CERTIFICATION
I HEREBY CERTIFY THAT THESE DOCUMENTS
WERE PREPARED OR APPROVED BY ME AND
THAT I AM A FULLY LICENSED PROFESSIONAL
ENGINEER UNDER THE LAWS OF THE STATE
OF MARYLAND. LICENSE NO. 27020
EXPIRATION DATE: JANUARY 25, 2016



PAUL G. CAVANAUGH
PROFESSIONAL ENGINEER NO. 27020

CENTURY ENGINEERING
CONSULTING ENGINEERS - PLANNERS
10710 Gilroy Road, Hunt Valley, MD 21031
Phone: 443.589.2400 Fax: 443.589.2401

APPROVED: DEPARTMENT OF PLANNING AND ZONING
Chief, Development Engineering Division
Chief, Division of Land Development
Director

Date: 1/31/13
Date: 4-09-13
Date: 4/11/13

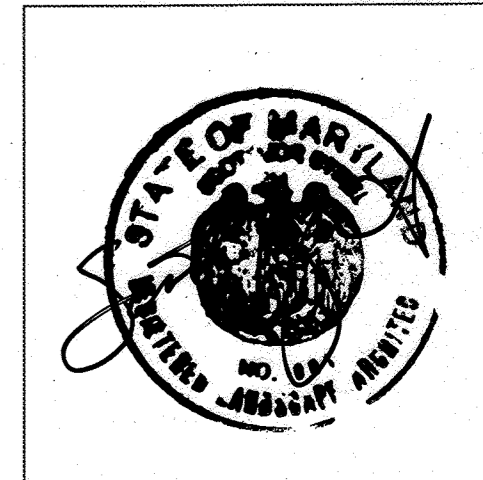
DESIGN BY:	M.J.P.	DATE:	9/5/12
DRAWN BY:	M.S.S.		
CHECKED BY:			
DATE:			
BY	NO.	REVISION	DATE

AS-BUILT CERTIFICATION FOR PSWM
Note: There is no "AS-Built" information provided on this sheet.

AS-BUILT

THE DESIGN IS IN COMPLIANCE WITH THE MALL IN COLUMBIA NEIGHBORHOOD DESIGN GUIDELINES - DOWNTOWN COLUMBIA.

LANDSCAPE ARCHITECT SEAL



MAHAN RYKIEL
ASSOCIATES INC.
The Staff Silver Building, 800 Wyman Park Drive, Suite 100, Baltimore, MD 21211 410.225.6001

DEVELOPER
GENERAL GROWTH PROPERTIES
10440 LITTLE PATUXENT PARKWAY, SUITE 1000
COLUMBIA, MARYLAND 21044
410-992-6000

LAYOUT PLAN
THE MALL IN COLUMBIA
COLUMBIA TOWN CENTER
TAX MAP: 30, 36 LOT: 47 PARCEL: 460
ELECTION DISTRICT 5 HOWARD COUNTY, MARYLAND
SHEET 32 OF 73

C.E.I. PROJECT NUMBER
28141.02

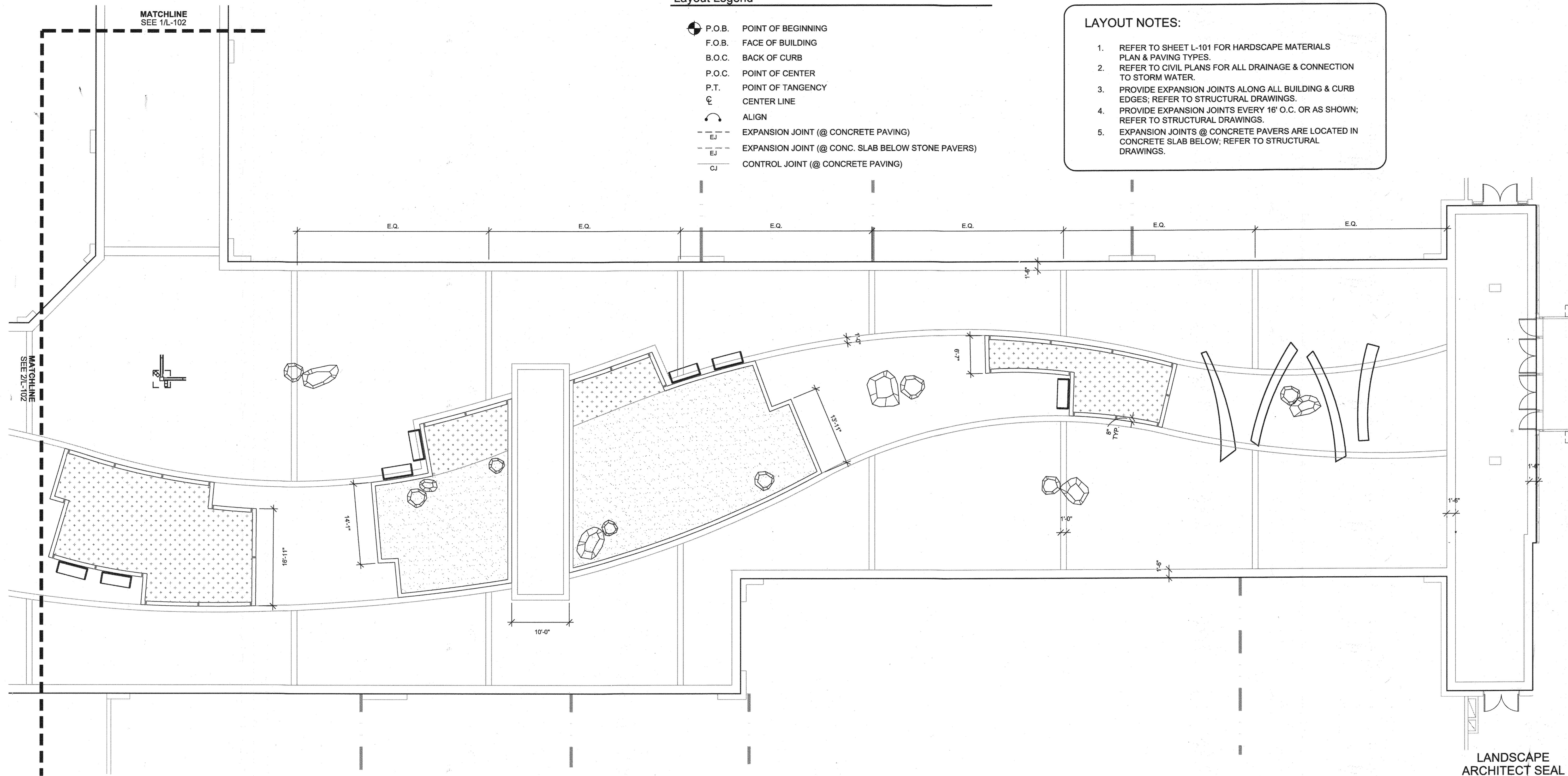
SCALE:

Layout Legend

- P.O.B. POINT OF BEGINNING
- F.O.B. FACE OF BUILDING
- B.O.C. BACK OF CURB
- P.O.C. POINT OF CENTER
- P.T. POINT OF TANGENCY
- CENTER LINE
- ALIGN
- EXPANSION JOINT (@ CONCRETE PAVING)
- EXPANSION JOINT (@ CONC. SLAB BELOW STONE PAVERS)
- CONTROL JOINT (@ CONCRETE PAVING)

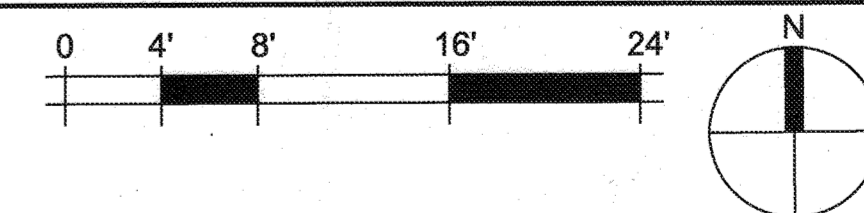
LAYOUT NOTES:

1. REFER TO SHEET L-101 FOR HARDSCAPE MATERIALS PLAN & PAVING TYPES.
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4. PROVIDE EXPANSION JOINTS EVERY 16' O.C. OR AS SHOWN; REFER TO STRUCTURAL DRAWINGS.
5. EXPANSION JOINTS @ CONCRETE PAVERS ARE LOCATED IN CONCRETE SLAB BELOW; REFER TO STRUCTURAL DRAWINGS.



1 | Layout Plan - East

Scale: 1/8"=1'-0"



LANDSCAPE ARCHITECT SEAL



AS-BUILT CERTIFICATION FOR PSWM
 Note: There is no "AS-Built" information provided on this sheet.

THE DESIGN IS IN COMPLIANCE WITH THE MALL IN COLUMBIA NEIGHBORHOOD DESIGN GUIDELINES - DOWNTOWN COLUMBIA.

MAHAN RYKIEL
 ASSOCIATES INC.
 The Silver Building, 500 Wyman Park Drive, Suite 100, Baltimore, MD 21211 410.235.6001

APPROVED: DEPARTMENT OF PLANNING AND ZONING
 Chief, Development Engineering Division
 Chief, Division of Land Development
 Director

CENTURY ENGINEERING
 CONSULTING ENGINEERS - PLANNERS
 10710 Gilroy Road, Hunt Valley, MD 21031
 Phone: 443.589.2400 Fax: 443.589.2401

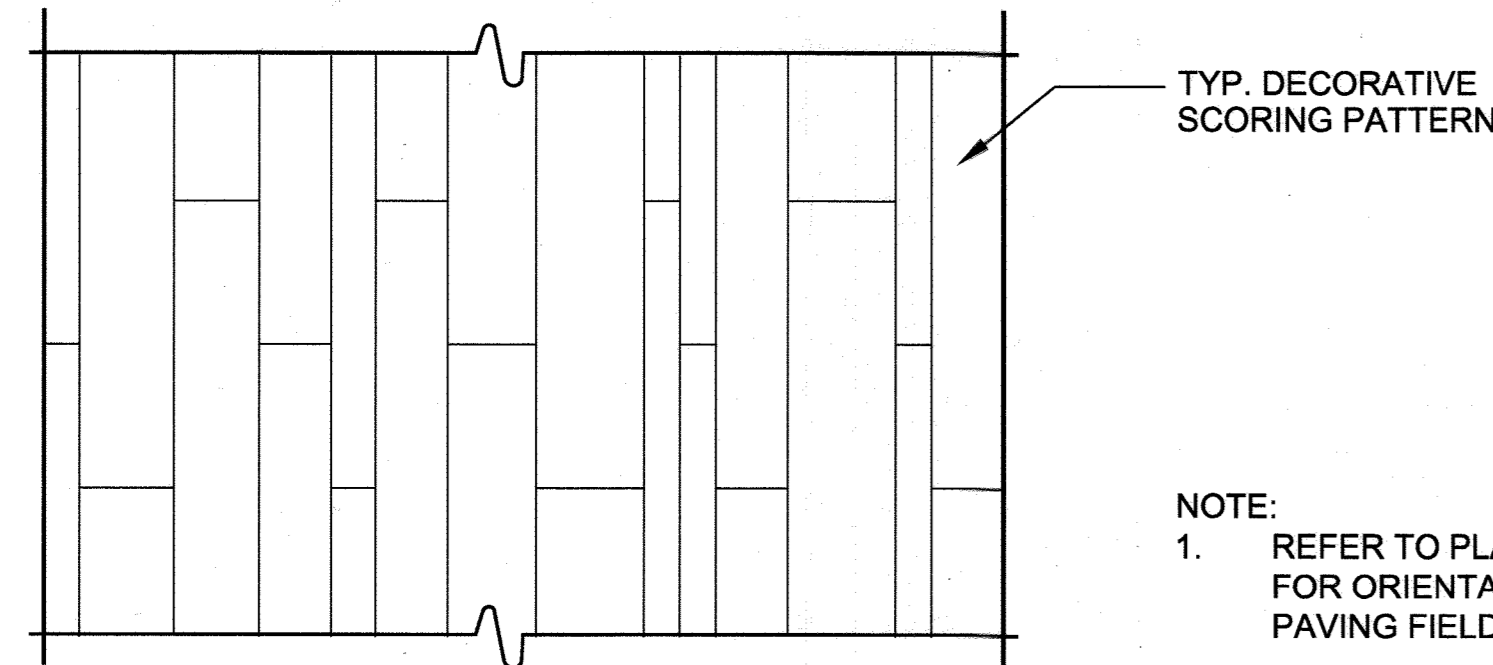
DESIGN BY:	M.J.P.	DATE:	9/5/12
DRAWN BY:	M.S.S.		
CHECKED BY:			
DATE:			
BY	NO.	REVISION	DATE

DEVELOPER
GENERAL GROWTH PROPERTIES
 10440 LITTLE PATUXENT PARKWAY, SUITE 1000
 COLUMBIA, MARYLAND 21044
 410-992-6000

LAYOUT PLAN **AS-BUILT**
THE MALL IN COLUMBIA
 COLUMBIA TOWN CENTER
 TAX MAP: 30, 36 LOT: 47 PARCEL: 460
 ELECTION DISTRICT 5 HOWARD COUNTY, MARYLAND
 SHEET 33 OF 73

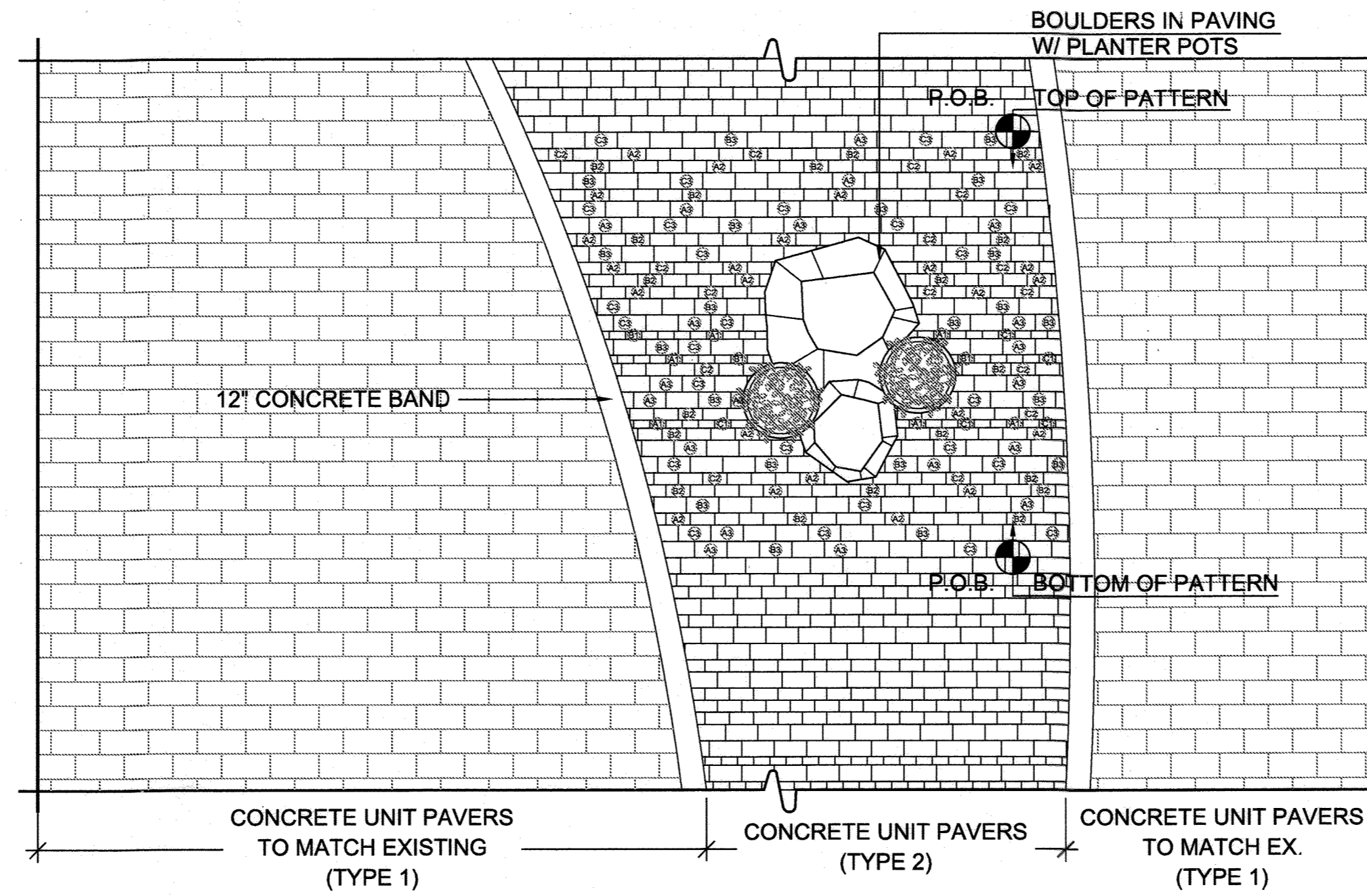
C.E.I. PROJECT NUMBER
 28141.02
 SCALE:

R:\11 Projects\11108 Columbia Mall - L. Bean\AD\WRA 02_30C - Submission\24x36 SDP_Summit\104 Layout Plan.dwg Oct. 25, 2012 5:36pm Heidi



TYP. DECORATIVE SCORING PATTERN

NOTE:
1. REFER TO PLAN 1/L-101 FOR ORIENTATION OF PAVING FIELD.



KEY - CONCRETE UNIT PAVERS TO MATCH EX. BY HANOVER

P3: MATRIX# M115 / FINISH 13 12"x24" = 40%
P3: MATRIX# M1913 / FINISH 13 12"x24" = 60%

KEY - CONCRETE UNIT PAVERS IN CENTER BY HANOVER

SIZE	COLOR
1: 4"x8"	P4/A: MATRIX# M1930 / FINISH 13
2: 6"x12"	P4/B: MATRIX# M115 / FINISH 13
3: 8"x16"	P4/C: LIMESTONE GREY TUDOR FINISH

NOTE:
1. PAVERS SELECTED IN ACCORDANCE W/ NEIGHBORHOOD DESIGN GUIDELINES & TO MATCH EXISTING PAVERS ON SITE.

Layout Legend

- P.O.B. POINT OF BEGINNING
- F.O.B. FACE OF BUILDING
- B.O.C. BACK OF CURB
- P.O.C. POINT OF CENTER
- P.T. POINT OF TANGENCY
- CENTER LINE
- ALIGN
- EXPANSION JOINT (@ CONCRETE PAVING)
- EXPANSION JOINT (@ CONC. SLAB BELOW STONE PAVERS)
- CONTROL JOINT (@ CONCRETE PAVING)

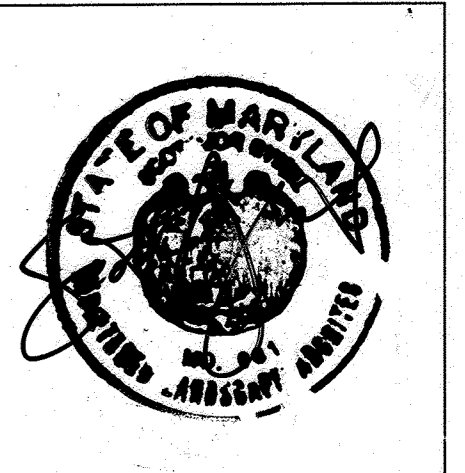
LAYOUT NOTES:

1. REFER TO SHEET L-101 FOR HARDSCAPE MATERIALS PLAN & PAVING TYPES.
2. REFER TO CIVIL PLANS FOR ALL DRAINAGE & CONNECTION TO STORM WATER.
3. PROVIDE EXPANSION JOINTS ALONG ALL BUILDING & CURB EDGES; REFER TO STRUCTURAL DRAWINGS.
4. PROVIDE EXPANSION JOINTS EVERY 16' O.C. OR AS SHOWN; REFER TO STRUCTURAL DRAWINGS.
5. EXPANSION JOINTS @ CONCRETE PAVERS ARE LOCATED IN CONCRETE SLAB BELOW; REFER TO STRUCTURAL DRAWINGS.

1 | P1 Concrete Paving Pattern
Scale: 3/16" = 1'-0"

2 | P2 & P3 Concrete Paver Pattern
Scale: 3/16" = 1'-0"

LANDSCAPE ARCHITECT SEAL



POSTING OF SURETY FOR REQUIRED LANDSCAPING IN ACCORDANCE WITH DOWNTOWN GUIDELINES IN THE AMOUNT OF \$5,000.00 FOR 1 SHADE TREES, 6 ORNAMENTAL / EVERGREEN, 12 SHRUBS AND 0' LINEAR FEET OF FENCING/WALLS. FINANCIAL SURETY FOR THE REQUIRED LANDSCAPING MUST BE POSTED AS PART OF THE DEVELOPER'S AGREEMENT.

AS-BUILT CERTIFICATION FOR PSWM
Note: There is no "AS-Built" information provided on this sheet.

THE DESIGN IS IN COMPLIANCE WITH THE MALL IN COLUMBIA NEIGHBORHOOD DESIGN GUIDELINES - DOWNTOWN COLUMBIA.

MAHAN RYKIEL ASSOCIATES INC.
The Staff Silver Building, 800 Wyman Park Drive, Suite 100, Baltimore, MD 21211-410, 255 0001

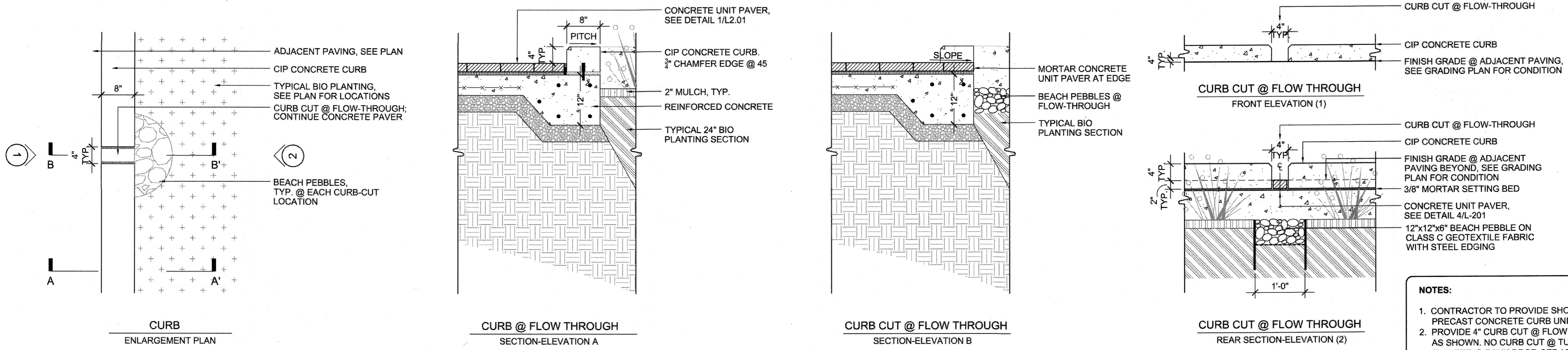
APPROVED: DEPARTMENT OF PLANNING AND ZONING
Chief, Development Engineering Division
Chief, Division of Land Development
Director

CENTURY ENGINEERING
CONSULTING ENGINEERS - PLANNERS
10710 Gilroy Road, Hunt Valley, MD 21031
Phone: 443.589.2400 Fax: 443.589.2401

DESIGN BY:	M.J.P.	DATE:	9/5/13
DRAWN BY:	M.S.S.		
CHECKED BY:			
DATE:			
BY	NO	REVISION	DATE

DEVELOPER
GENERAL GROWTH PROPERTIES
10440 LITTLE PATUXENT PARKWAY, SUITE 1000
COLUMBIA, MARYLAND 21044
410-992-6000

LAYOUT PLAN AS-BUILT
THE MALL IN COLUMBIA
COLUMBIA TOWN CENTER
TAX MAP: 30, 36 LOT: 47 PARCEL: 480
ELECTION DISTRICT 5 HOWARD COUNTY, MARYLAND
SHEET 34 OF 77
C.E.I. PROJECT NUMBER 28141.02
SCALE:

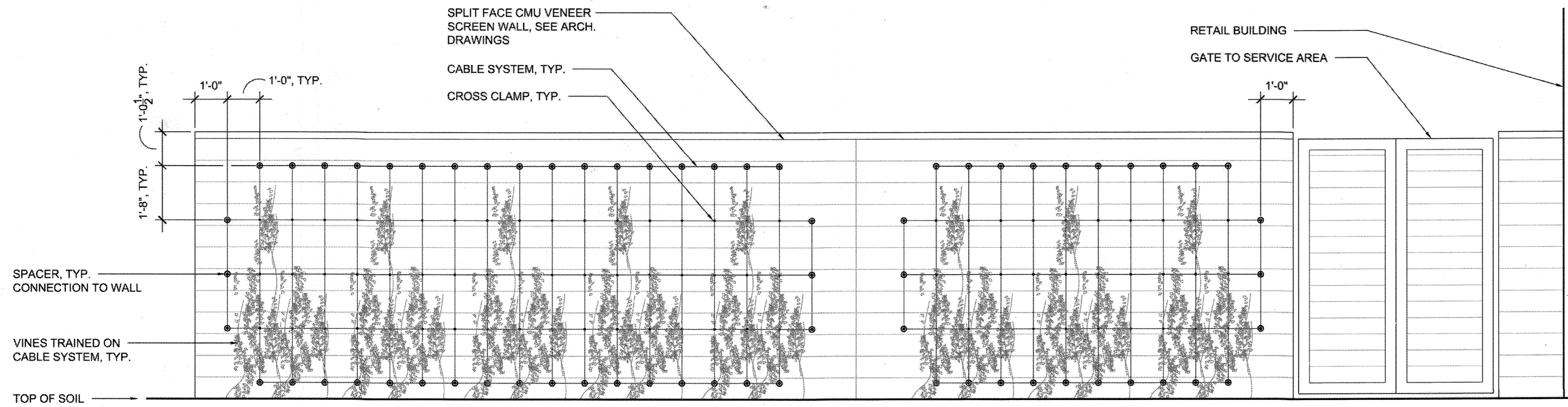


NOTES:

1. CONTRACTOR TO PROVIDE SHOP DRAWINGS FOR PRECAST CONCRETE CURB UNITS & JOINT LAYOUT.
2. PROVIDE 4" CURB CUT @ FLOW THROUGH PLANTERS AS SHOWN. NO CURB CUT @ TURF AREA & NW PLANTER @ BANK DROP-OFF AREA.

1 Cast-in-Place Concrete Curb

Scale: 1" = 1'-0"



JAKOB® ROPE SYSTEMS
 DORFSTRASSE 34
 CH-3555 TRUBSCHACHEN
 SWITZERLAND
 PHONE: +41 (0)34 495 10 10
 FAX: +41 (0)34 495 10 25
 WEB: WWW.JAKOB.CH

• MODEL: GREEN SOLUTIONS G1
 FACADE GREENING

2 Cable System for Vine Planting @ Screen Wall

N.T.S.

LANDSCAPE ARCHITECT SEAL



AS-BUILT CERTIFICATION FOR PSWM
 Note: There is no "AS-Built" information provided on this sheet.

THE DESIGN IS IN COMPLIANCE WITH THE MALL IN COLUMBIA NEIGHBORHOOD DESIGN GUIDELINES - DOWNTOWN COLUMBIA.

MAHAN RYKIEL
 ARCHITECT
 5000 WYMAN PARK DRIVE
 SUITE 100, BETHESDA, MD 20814

APPROVED: DEPARTMENT OF PLANNING AND ZONING
 Chief, Development Engineering Division
 Chief, Division of Land Development
 Director

Date: 1/31/13
 Date: 4-09-13
 Date: 4/11/13

CENTURY ENGINEERING
 CONSULTING ENGINEERS - PLANNERS
 10710 Gilroy Road, Hunt Valley, MD 21031
 Phone: 443.589.2400 Fax: 443.589.2401

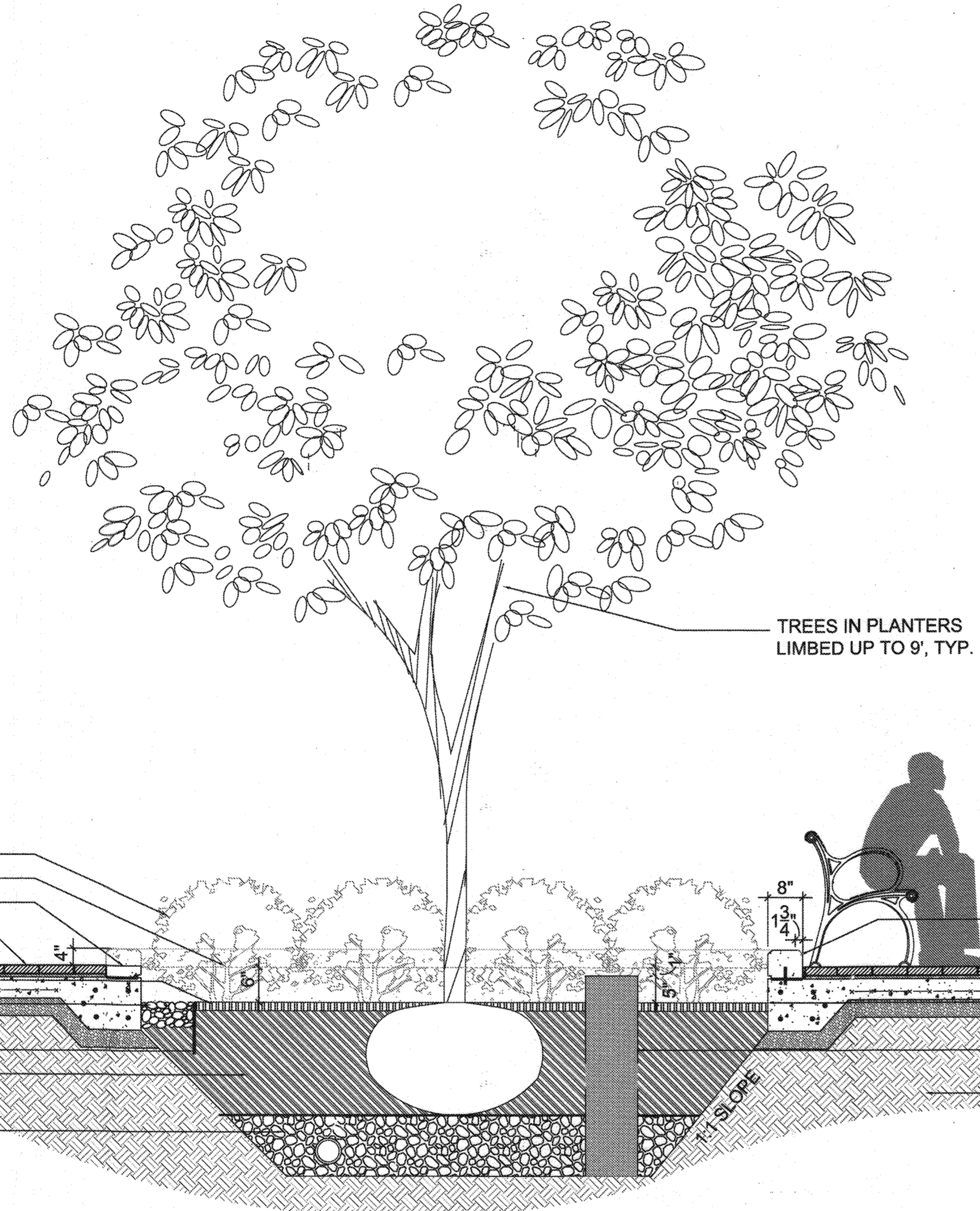
DESIGN BY:	M.J.P.	DATE:	9/5/12
DRAWN BY:	M.S.S.		
CHECKED BY:			
DATE:			
BY	NO.	REVISION	DATE

DEVELOPER
GENERAL GROWTH PROPERTIES
 10440 LITTLE PATUXENT PARKWAY, SUITE 1000
 COLUMBIA, MARYLAND 21044
 410-992-6000

HARDSCAPE DETAILS AS-BUILT
THE MALL IN COLUMBIA
 COLUMBIA TOWN CENTER
 TAX MAP: 30, 36 LOT: 47 PARCEL: 460
 ELECTION DISTRICT 5 HOWARD COUNTY, MARYLAND
 SHEET 36 OF 77

C.E.I. PROJECT NUMBER: 28141.02
 SCALE:

R:\11 Projects\1108 Columbia Mall - LL Bean\CAD\MRA\02_3000_Submission\24x36_SDP_Submittal_VL-203_Hdr-Jrscap Details.dwg Oct 25, 2012 1:53pm grace

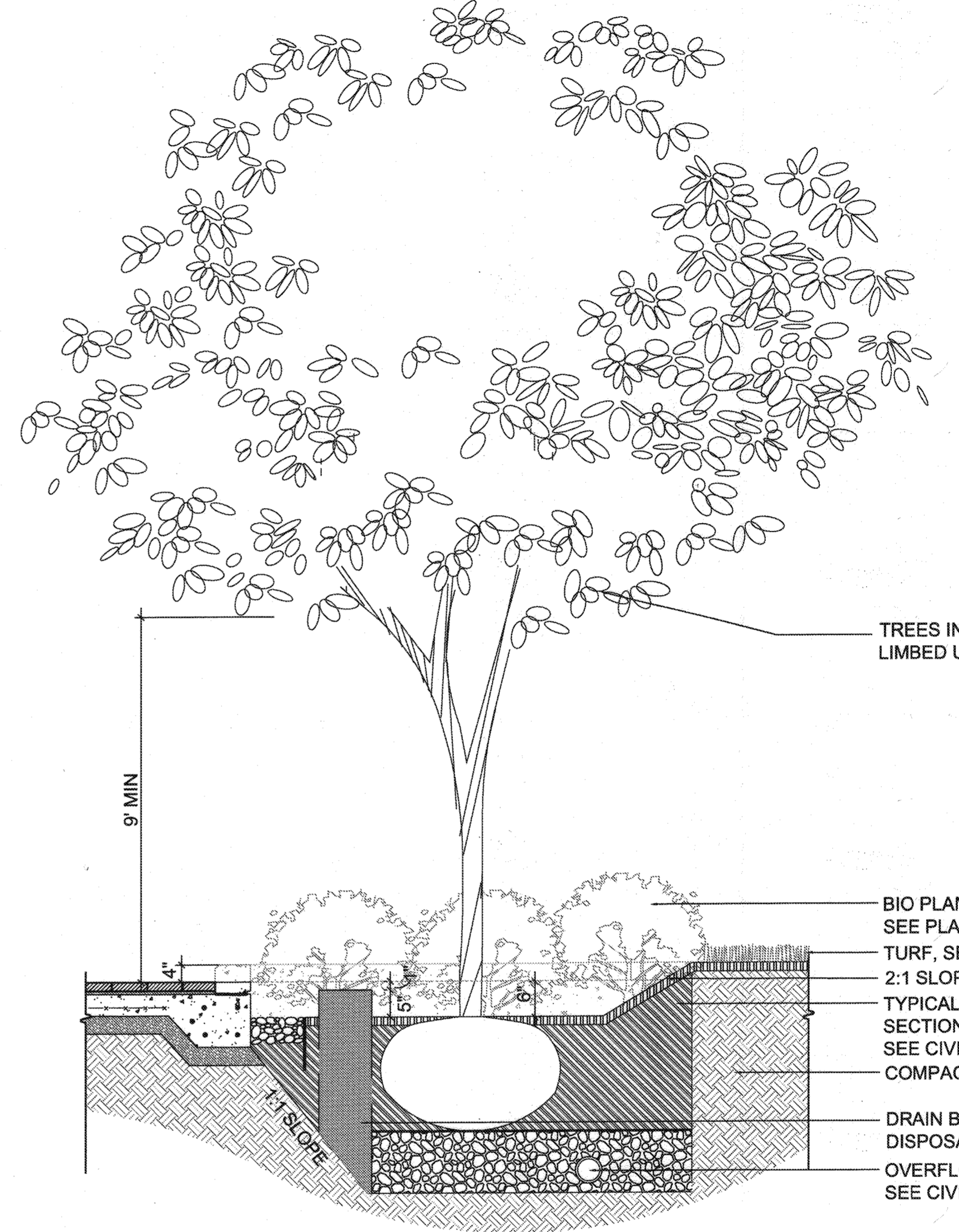


BIO PLANTING, SEE PLANTING PLAN
 WATER LEVEL FLUCTUATION ZONE
 CURB CUT, SEE DETAIL 8/L-201
 ADJACENT PAVING,
 SEE PLAN FOR LOCATION & TYPE
 2" MULCH
 12"x12"x8" BEACH PEBBLE ON CLASS C
 GEOTEXTILE FABRIC, SEE CIVIL DRAWINGS
 STEEL EDGING
 TYPICAL 24" BIO PLANTING SECTION
 W/ FILTER FABRIC, SEE CIVIL DWGS
 14" GRAVEL LAYER AND 6" PERF. PVC
 UNDERDRAIN CONNECTD TO OVERFLOW,
 SEE CIVIL DRAWINGS

TREES IN PLANTERS
 LIMBED UP TO 9', TYP.

CIP CONCRETE CURB,
 SEE DETAIL 7/L-201
 FINISHED PLANTING GRADE, SEE
 GRADING PLAN FOR CONDITION
 DRAIN BOX, PIPE TO APPROVED
 DISPOSAL POINT, SEE CIVIL DWGS
 COMPACTED SUBGRADE

1 Rainwater Planter w/ Flow-through Curb Cuts
 Scale: 1/2" = 1'-0"



TREES IN PLANTERS
 LIMBED UP TO 9', TYP.

BIO PLANTING,
 SEE PLANTING PLAN
 TURF, SEE PLANTING PLAN
 2:1 SLOPE TO LAWN
 TYPICAL BIO PLANTING
 SECTION W/ FILTER FABRIC,
 SEE CIVIL DWGS.
 COMPACTED SUBGRADE
 DRAIN BOX, PIPE TO APPROVED
 DISPOSAL POINT, SEE CIVIL DWGS
 OVERFLOW PIPE, CONNECT TO DRAIN,
 SEE CIVIL DRAWINGS

2 Rainwater Planter @ Lawn
 Scale: 1/2" = 1'-0"

LANDSCAPE
 ARCHITECT SEAL



AS-BUILT CERTIFICATION FOR PSWM
 Note: There is no "AS-Built"
 information provided on this sheet.

THE DESIGN IS IN COMPLIANCE WITH THE
 MALL IN COLUMBIA NEIGHBORHOOD DESIGN
 GUIDELINES - DOWNTOWN COLUMBIA.

MAHAN RYKIEL
 ASSOCIATES, INC.
 The Staff Silver Building, 3200 Wymen Park Drive,
 Suite 100, Baltimore, MD 21211 410.235.6001

APPROVED: DEPARTMENT OF PLANNING AND ZONING
 Chief, Development Engineering Division
 Chief, Division of Land Development
 Director
 Date: 1/31/13
 Date: 4-09-13
 Date: 8/11/13

MM CENTURY
 ENGINEERING
 CONSULTING ENGINEERS - PLANNERS
 10710 Gilroy Road, Hunt Valley, MD 21031
 Phone: 443.589.2400 Fax: 443.589.2401

DESIGN BY:	M.J.P.	9/5/12
DRAWN BY:	M.S.S.	
CHECKED BY:		
DATE:		
BY	NO.	REVISION
		DATE

DEVELOPER
GENERAL GROWTH PROPERTIES
 10440 LITTLE PATUXENT PARKWAY, SUITE 1000
 COLUMBIA, MARYLAND 21044
 410-992-6000

HARDSCAPE DETAILS **AS-BUILT**
THE MALL IN COLUMBIA
 COLUMBIA TOWN CENTER
 TAX MAP: 30, 36 LOT: 47 PARCEL: 460
 ELECTION DISTRICT 5 HOWARD COUNTY, MARYLAND
 SHEET 37 OF 73
 C.E.I. PROJECT NUMBER 28141.02
 SCALE:



- MODEL: MODIFIED (SLATTED) BARBARY
- SIZE: 24" x 63" x 30"
- COLOR: BRONZE POWDERCOAT W/CLEAR COAT
- SURFACE MOUNT PER MANUFACTURER SPECS

BENCHMARK DESIGN GROUP, INC.
 456 OSCEOLA AVE JACKSONVILLE
 BEACH, FL 32250
 PHONE: (904) 246-5060
 FAX: (904) 246-9008
 WEB: benchmarkdesigngroup.com



- MODEL: POE
- SIZE: 29"D x 39"H
- COLOR: SLIVER POWDERCOAT W/ SATIN CLEAR COAT
- SURFACE MOUNT PER MANUFACTURER SPECS

- RECYCLING RECEPTACLE TO MATCH LITTER RECEPTACLE WITH GRAPHIC TO INDICATE RECYCLING FUNCTION

LANDSCAPE FORMS, INC.
 431 LAWDALE AVE.
 KALAMAZOO, MI 49048
 PHONE: (800) 430.6209
 FAX: (269) 381.3455
 WEB: www.landscapeforms.com



- MODEL: CROWLEY
- SIZE: 30"D x 22"H
- COLOR: BRONZE POWDERCOAT W/ SATIN CLEAR COAT

- MODEL: RALIEGH/DRUM
- SIZE: 21"D x 32"H, 30"D x 42"H
- COLOR: BRONZE POWDERCOAT W/ SATIN CLEAR COAT

BENCHMARK DESIGN GROUP, INC.
 456 OSCEOLA AVE JACKSONVILLE
 BEACH, FL 32250
 PHONE: (904) 246-5060
 FAX: (904) 246-9008
 WEB: benchmarkdesigngroup.com

1 Bench
 N.T.S.

2 Litter and Recycle Receptacle
 N.T.S.

3 Planter Pot
 N.T.S.

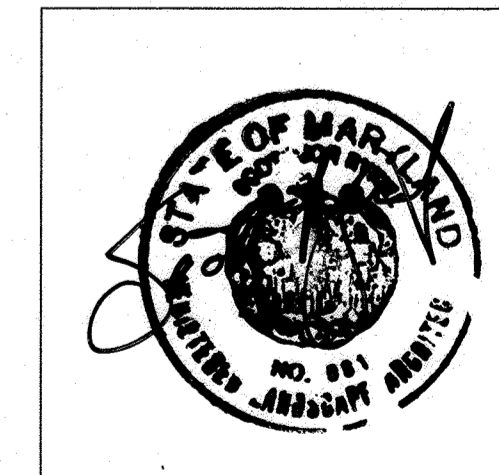


- MODEL: CHARLIE TABLE
 TABLE & CHAIR SET TO BE PROVIDED BY
 LANDSCAPE FORMS, INC.
- SURFACE MOUNT PER MANUFACTURER SPECS

LANDSCAPE FORMS, INC.
 431 LAWDALE AVE.
 KALAMAZOO, MI 49048
 PHONE: 800.430.6209
 FAX: 269.381.3455
 WEB: www.landscapeforms.com

4 Table/Chair Set
 N.T.S.

LANDSCAPE ARCHITECT SEAL



MAHAN RYKIEL ASSOCIATES, INC.
 The Steel Silver Building, 850 Wyman Park Drive,
 Suite 100, Baltimore, MD 21211 • 410.225.6001

AS-BUILT CERTIFICATION FOR PSWM
 Note: There is no "AS-Built" information provided on this sheet.

THE DESIGN IS IN COMPLIANCE WITH THE MALL IN COLUMBIA NEIGHBORHOOD DESIGN GUIDELINES - DOWNTOWN COLUMBIA.

APPROVED: DEPARTMENT OF PLANNING AND ZONING

 Chief, Development Engineering Division
 Date: 1/21/13

 Chief, Division of Land Development
 Date: 4-09-13

 Director
 Date: 4/11/13

CENTURY ENGINEERING
 CONSULTING ENGINEERS - PLANNERS
 10710 Gilroy Road, Hunt Valley, MD 21031
 Phone: 443.589.2400 Fax: 443.589.2401

DESIGN BY:	CET 3 A AS BUILT	DATE:	9/3/12
M.J.P.			
DRAWN BY:			
M.S.S.			
CHECKED BY:			
DATE:			
BY	NO.	REVISION	DATE

DEVELOPER
GENERAL GROWTH PROPERTIES
 10440 LITTLE PATUXENT PARKWAY, SUITE 1000
 COLUMBIA, MARYLAND 21044
 410-992-6000

HARDSCAPE DETAILS **AS-BUILT**
THE MALL IN COLUMBIA
 COLUMBIA TOWN CENTER
 TAX MAP: 30, 36 LOT: 47 PARCEL: 460
 ELECTION DISTRICT 5 HOWARD COUNTY, MARYLAND
 SHEET 38 OF 73

C.E.I. PROJECT NUMBER
 28141.02

SCALE:

PLANT SCHEDULE (THIS SHEET ONLY)

QTY.	KEY	BOTANICAL/COMMON NAME	SIZE	ROOT	COMMENTS
SHADE TREES					
1	AS	Acer saccharum 'Green Mountain'/ Green Mountain Sugar Maple	4" CAL.	B&B	Strong Central Leader, Full Canopy, Limb @ 6' Hl. Min.
1	GT	Gleditsia triacanthos var. inermis 'Shademaster4' CAL.	B&B	B&B	Strong Central Leader, Full Canopy, Limb @ 6' Hl. Min.
1	BN	Betula nigra 'Dura Heat'/ Dura Heat River Birch	10' Hl.	B&B	Multi Stem, 3 cane min., 5 cane max. Specimen Quality
4	PA	Platanus x acerifolia 'Bloodgood'/ London Planetree	4" Cal.	B&B	Strong Central Leader Matched Specimens
ORNAMENTAL TREES					
3	AG	Acer griseum/ Paperbark Maple	12' HT.	B&B	Matching Specimens, MultiStem 3 cane min., 5 cane max., Limb @ 5' Hl. Min.
3	LI	Lagerstroemia indica 'Tonto'/ Tonto Crape Myrtle	8' Hl.	B&B	Tree Form, Multi-Stem 3 cane min., 5 cane max., Matched
SHRUBS					
33	AR	Azalea x 'Roblem'/ Autumn Starlight Azalea	#3	Cont.	21" Spd. White Flower with Pink Flecks
10	AL	Azalea x 'Robles'/ Autumn Lilac Azalea	#3	Cont.	21" Spd.
12	HM	Hydrangea macrophylla 'Bailmer'/ Endless Summer Hydrangea	#5	Cont.	30" Spd.
54	IV	Itea virginica 'Sprich'/ Little Henry Sweetpire	#3	Cont.	18" Spd.
5	PM	Pinus mugo var. pumilio/ Dwarf Mugo Pine	#5	Cont.	30" Spd. Matched, Full
3	RP	Rhododendron 'PJM Compact Form'/ PJM Compact Form Rhododendron	#7	Cont.	30" Spd. Purple Flower Color
58	RR	Rosa 'Radrazz'/ Knock Out Rose	#3	Cont.	18" Spd. Red Flower Color
32	TD	Taxus x media 'Densiflora'/ Densiflora Yew	#7	Cont.	30" Spd.
GROUNDCOVERS + PERENNIALS					
12	AMH	Amsonia hubrichtii/ Thread-leaf Blue Star	#1	Cont.	24" O.C.
26	AST	Aster novae anglie 'Purple Dome'/ New England Aster	#1	Cont.	15" O.C.
37	HEM	Hemerocallis 'Gail's Fragrant Treasure'/ Gail's Fragrant Treasure Daylily	#1	Cont.	18" O.C.
77	IRV	Iris versicolor/ Blue Flag Iris	#1	Cont.	18" O.C.
145	LIR	Liriope spicata/ Spreading Lilyturf	#1	Cont.	12" O.C.
87	PAN	Panicum virgatum/ Switch Grass	#2	Cont.	36" O.C.
20	PEN	Pennisetum alopecuroides 'Hameln'/ Dwarf Fountain Grass	#1	Cont.	18" O.C.
13	RUD	Rudbeckia fulgida var. fulgida/ Black Eyed Susan	#1	Cont.	18" O.C.
ANNUALS, BULBS & VINES					
145	NAR	Narcissus 'Marieke'/ Daffodil	DN1	Bulb	12" O.C. Interplant with Liriope
4	WIS	Wisteria frutescens American Wisteria	#5	Cont.	8' O.C. 5' HT. Staked
360	ANN	Annuals/ Seasonal Annuals	SP#4	Cont.	6" O.C. Min. 3 Season Rotation

NOTE:
ALTERNATE PLANTING FOR TRANSPLANTED HONEYLOCUST

1	UL	Ulmus parviflora 'Allee'/ Allee Elm	8" Cal.	B&B	Strong Central Leader Specimen Quality
---	----	--	---------	-----	---

LANDSCAPE ARCHITECT SEAL



POSTING OF SURETY FOR REQUIRED LANDSCAPING IN ACCORDANCE WITH DOWNTOWN GUIDELINES IN THE AMOUNT OF \$5010 FOR 1 SHADE TREES, 6 ORNAMENTAL / EVERGREEN, 127 SHRUBS AND 7 LINEAR FEET OF FENCING/WALLS. FINANCIAL SURETY FOR THE REQUIRED LANDSCAPING MUST BE POSTED AS PART OF THE DEVELOPER'S AGREEMENT.

THE DESIGN IS IN COMPLIANCE WITH THE MALL IN COLUMBIA NEIGHBORHOOD DESIGN GUIDELINES - DOWNTOWN COLUMBIA.

MAHAN RYKIEL ASSOCIATES INC.
The Silver Building, 800 Wyman Park Drive, Suite 100, Baltimore, MD 21211-4103-255-9000

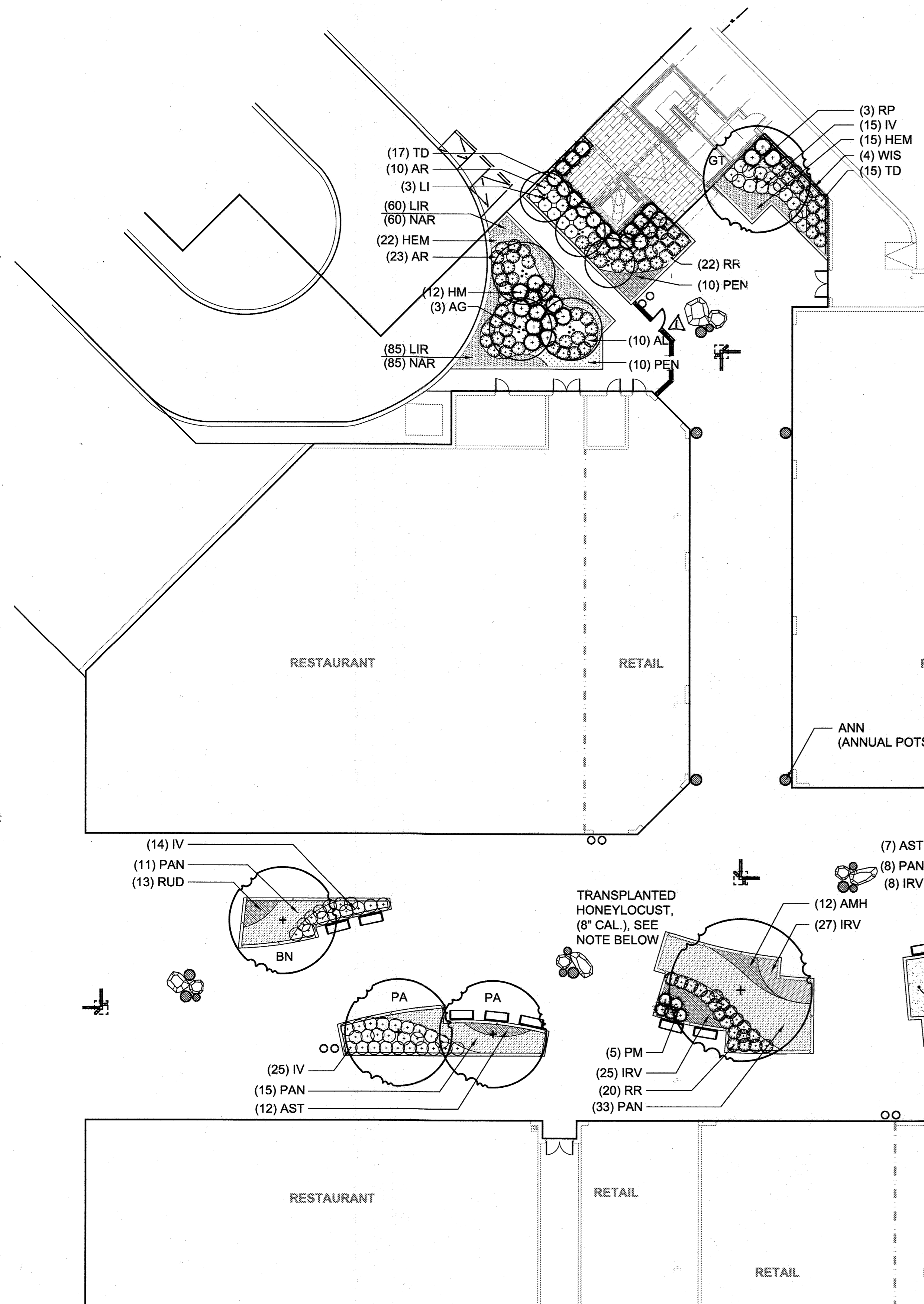
GENERAL NOTES:

1. THE OWNER, TENANT AND/OR THEIR AGENTS SHALL BE RESPONSIBLE FOR MAINTENANCE OF THE REQUIRED LANDSCAPING, INCLUDING BOTH PLANT MATERIALS AND BERMS, FENCES AND WALLS. ALL PLANT MATERIAL SHALL BE MAINTAINED IN GOOD GROWING CONDITION, AND WHEN NECESSARY, REPLACED WITH NEW MATERIALS TO ENSURE CONTINUED COMPLIANCE WITH APPLICABLE REGULATIONS. ALL OTHER REQUIRED LANDSCAPING SHALL BE PERMANENTLY MAINTAINED IN GOOD CONDITION AND WHEN NECESSARY, REPAIRED OR REPLACED.
2. AT THE TIME OF INSTALLMENT, ALL SHRUBS AND OTHER PLANTINGS HERewith LISTED AND APPROVED FOR THIS SITE, SHALL BE OF THE PROPER HEIGHT REQUIREMENTS IN ACCORDANCE WITH THE NEIGHBORHOOD DESIGN GUIDELINES, LANDSCAPING IN DOWNTOWN COLUMBIA MUST COMPLY WITH THE NEIGHBORHOOD GUIDELINES. AS SUCH, LANDSCAPE PLANS HAVE BEEN PREPARED BY A REGISTERED LANDSCAPE ARCHITECT AND ARE CERTIFIED TO CONFORM WITH THE MALL NEIGHBORHOOD DESIGN GUIDELINES RECORDED IN LAND RECORDS OF HOWARD COUNTY LIBER __, FOLIO __, NOT THE HOWARD COUNTY LANDSCAPE MANUAL. IN ADDITION, NO SUBSTITUTIONS OR RELOCATION OF REQUIRED PLANTINGS MAY BE MADE WITHOUT PRIOR REVIEW AND APPROVAL FROM THE DEPARTMENT OF PLANNING AND ZONING. ANY DEVIATION FROM THIS APPROVED LANDSCAPE PLAN MAY RESULT IN DENIAL OR DELAY IN THE RELEASE OF LANDSCAPE SURETY UNTIL SUCH TIME AS ALL REQUIRED MATERIALS ARE PLANTED AND/OR REVISIONS ARE MADE TO APPLICABLE PLANS AND CERTIFICATES.

DEVELOPER'S/BUILDER'S CERTIFICATE

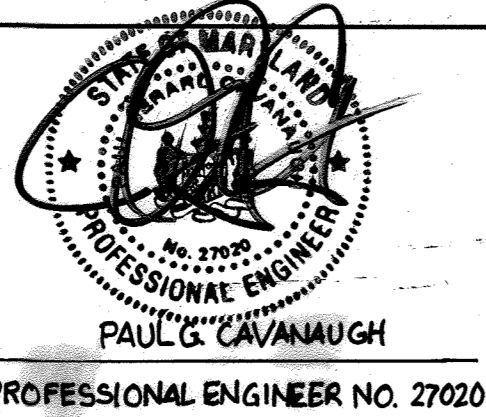
I/WE CERTIFY THAT THE LANDSCAPING SHOWN ON THIS PLAN WILL BE DONE ACCORDING TO THE PLAN, THE MALL NEIGHBORHOOD DESIGN GUIDELINES. I/WE FURTHER VERIFY THAT UPON COMPLETION A LETTER OF LANDSCAPE INSTALLATION, ACCOMPANIED BY AND EXECUTED ON YEAR GUARANTEE OF PLANT MATERIALS, WILL BE SUBMITTED TO THE DEPARTMENT OF PLANNING AND ZONING.

NAME: Carl M. Chubb DATE: 5.11.13



1 Planting Plan
Scale: 1/16" = 1'-0"

PROFESSIONAL CERTIFICATION
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 27020, EXPIRATION DATE JANUARY 29, 2016.



AS-BUILT CERTIFICATION FOR PSWM
Note: There is no "AS-Built" information provided on this sheet.

APPROVED: DEPARTMENT OF PLANNING AND ZONING
Date: 1/21/13
Date: 4-09-13
Date: 2/11/12

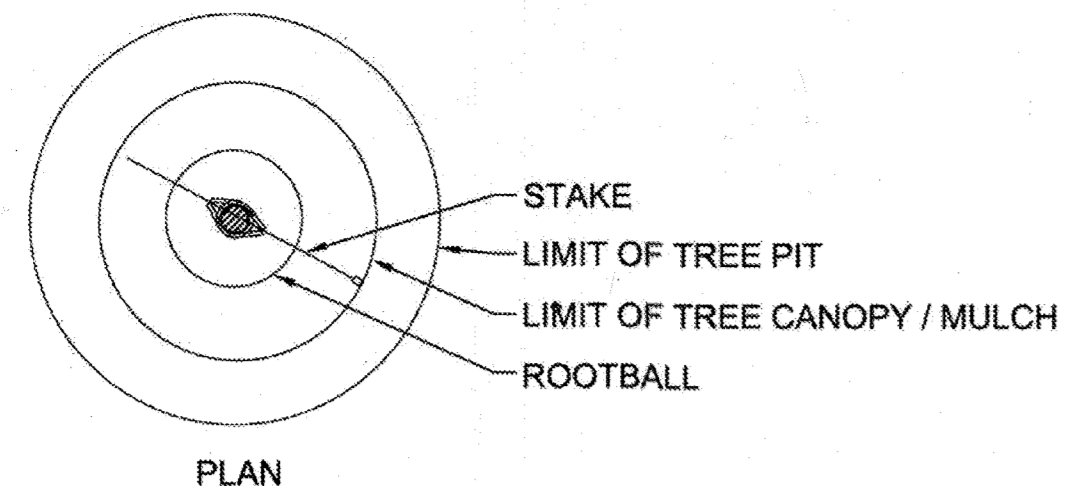
CENTURY ENGINEERING
CONSULTING ENGINEERS - PLANNERS
10710 Gilroy Road, Hunt Valley, MD 21031
Phone: 443.589.2400 Fax: 443.589.2401

DESIGN BY:	DATE:	BY	NO.	REVISION	DATE
M.J.P.	03/18/13				
M.S.S.	07/18/12				

DEVELOPER
GENERAL GROWTH PROPERTIES
10440 LITTLE PATUXENT PARKWAY, SUITE 1000
COLUMBIA, MARYLAND 21044
410-992-6000

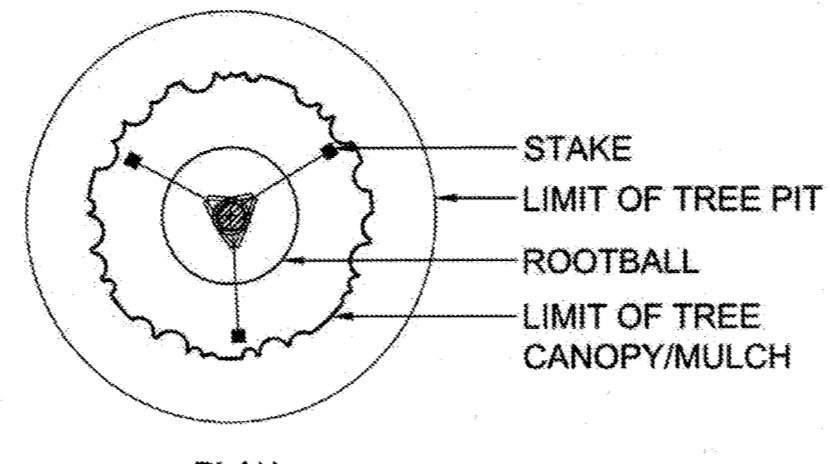
PLANTING PLAN **AS-BUILT**
THE MALL IN COLUMBIA
COLUMBIA TOWN CENTER
TAX MAP: 30, 36 LOT: 47 PARCEL: 460
ELECTION DISTRICT 5 HOWARD COUNTY, MARYLAND
SHEET 39 OF 73
(L-301)

C.E.I. PROJECT NUMBER
28141.02
SCALE:



PLAN

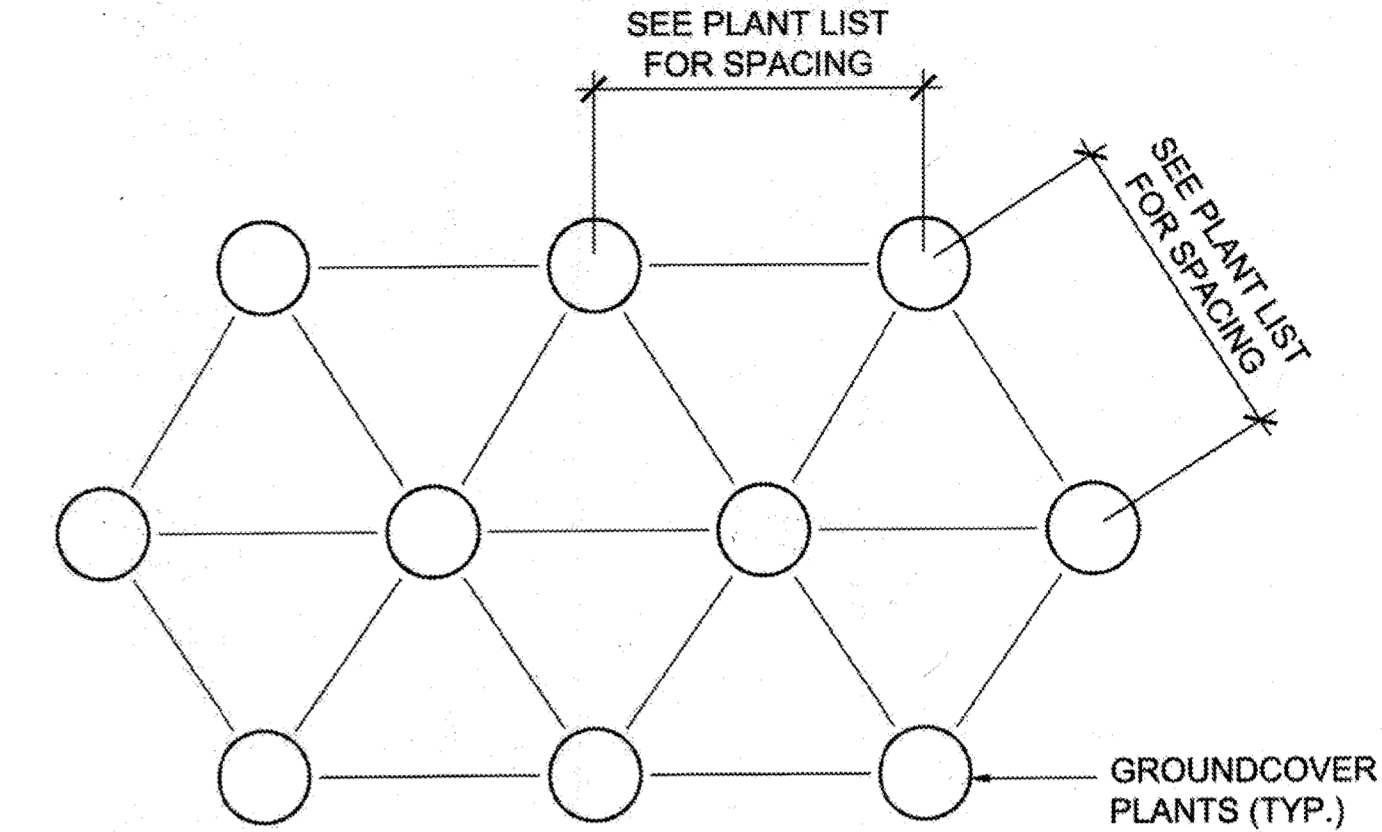
- NOTES:**
1. REFERENCE PLAN FOR ADJACENT PLANTING CONDITIONS.
 2. NEVER CUT DOMINANT LEADER(S).
 3. SET TREE WITH 1/8 OR 2" MAX. ROOTBALL ABOVE FINISH GRADE.



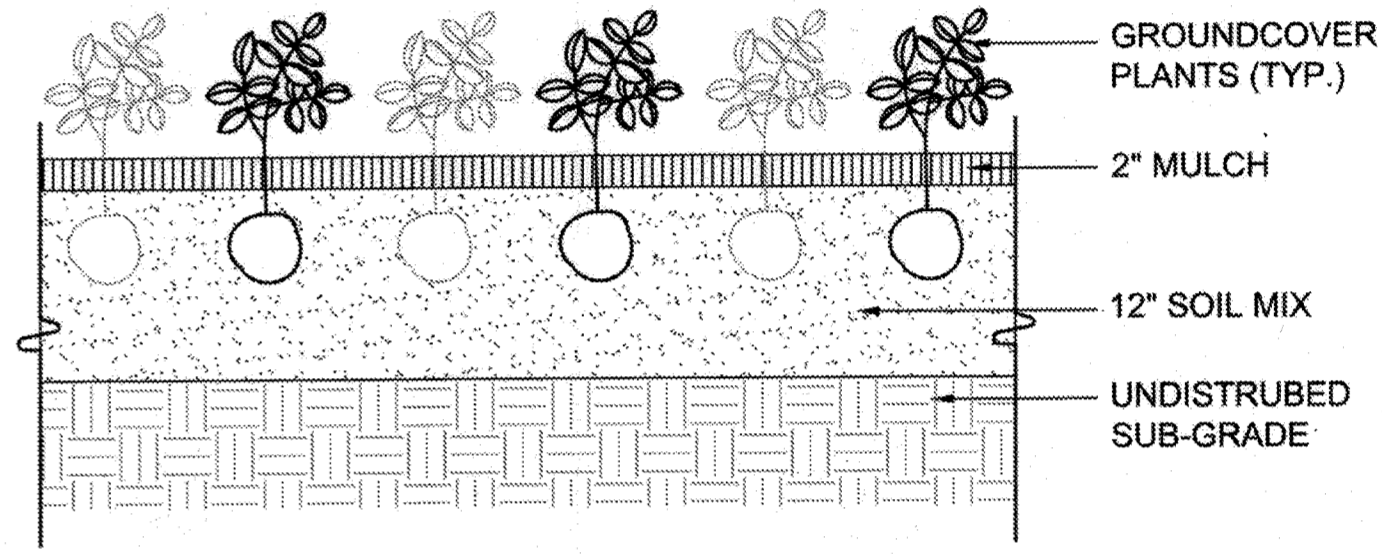
PLAN

- NOTES:**
1. REFERENCE PLAN FOR ADJACENT PLANTING CONDITIONS.
 2. NEVER CUT DOMINANT LEADER(S).
 3. FOR PLANTS IN WIRE BASKETS, REFER TO SPECIFICATIONS.
 4. SET TREE WITH 1/8 OR 2" MAX. ROOTBALL ABOVE FINISH GRADE.

GENERAL NOTE:
DETAIL ILLUSTRATED IS FOR USE OF PLANT GREATER THAN 14' IN HEIGHT AND MORE THAN 3" CALIPER.

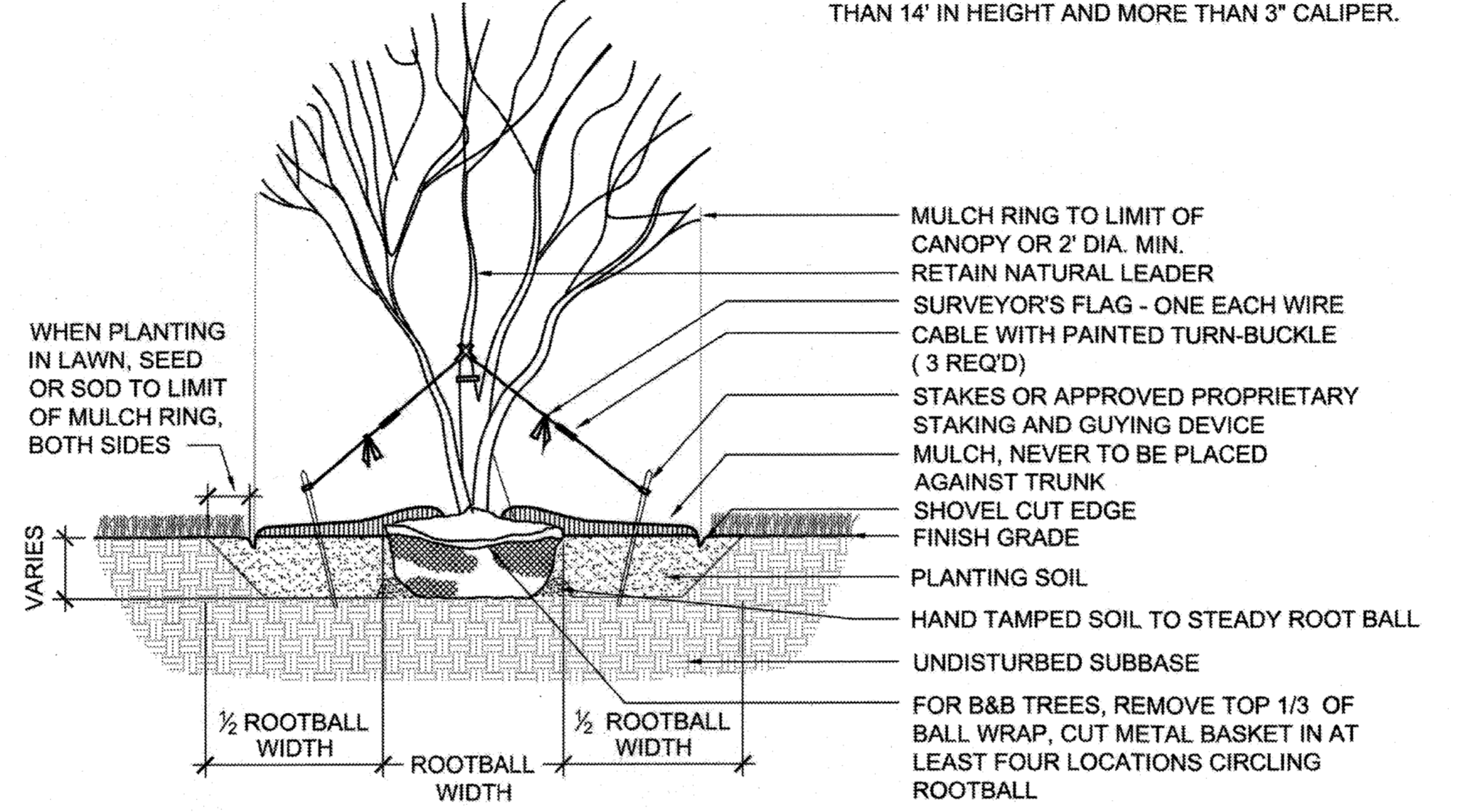
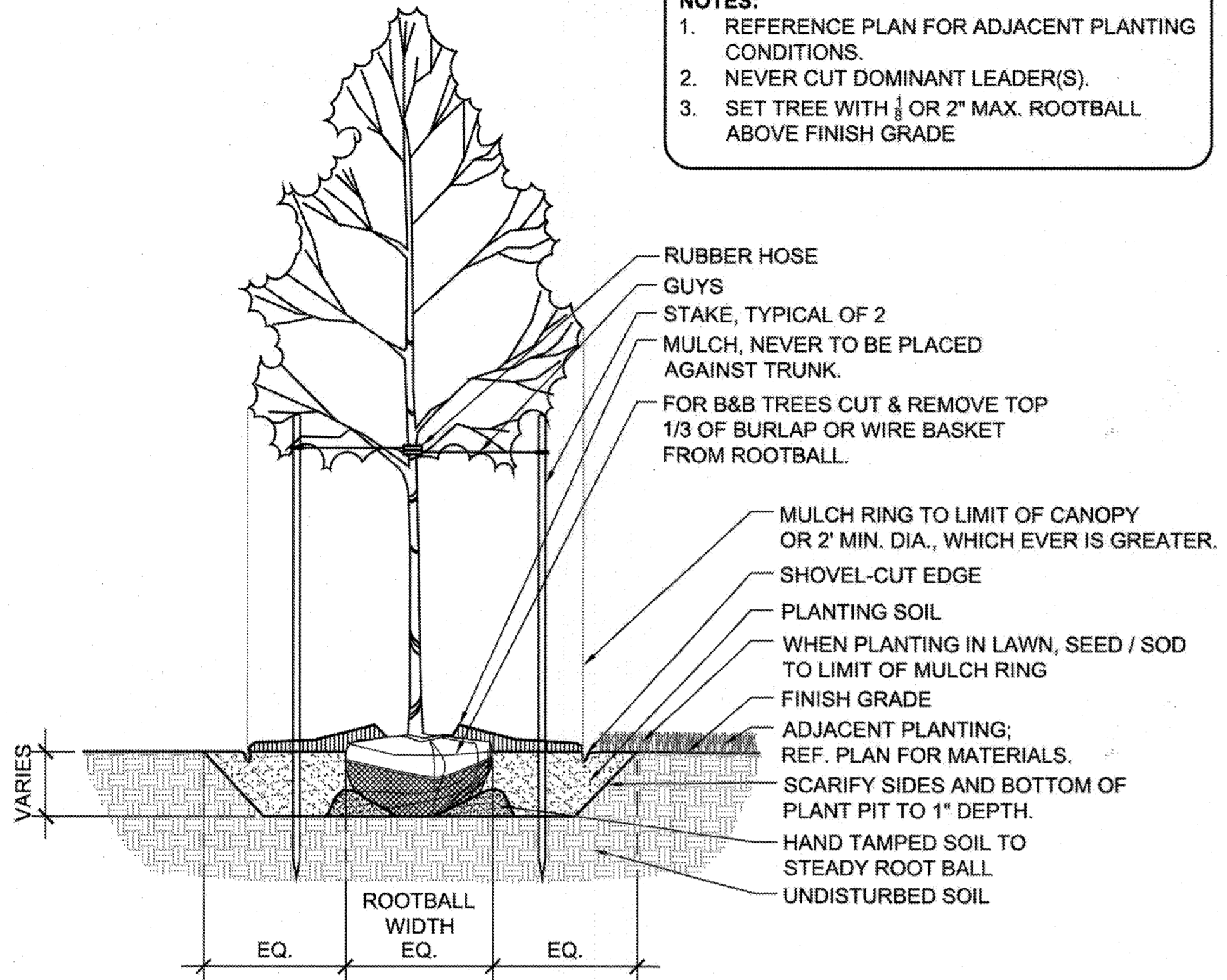


PLAN



SECTION

NOTE:
SET PLANTS WITH BOTTOM OF LEAVES AT GRADE AFTER MULCH



1 Shade / Specimen Tree

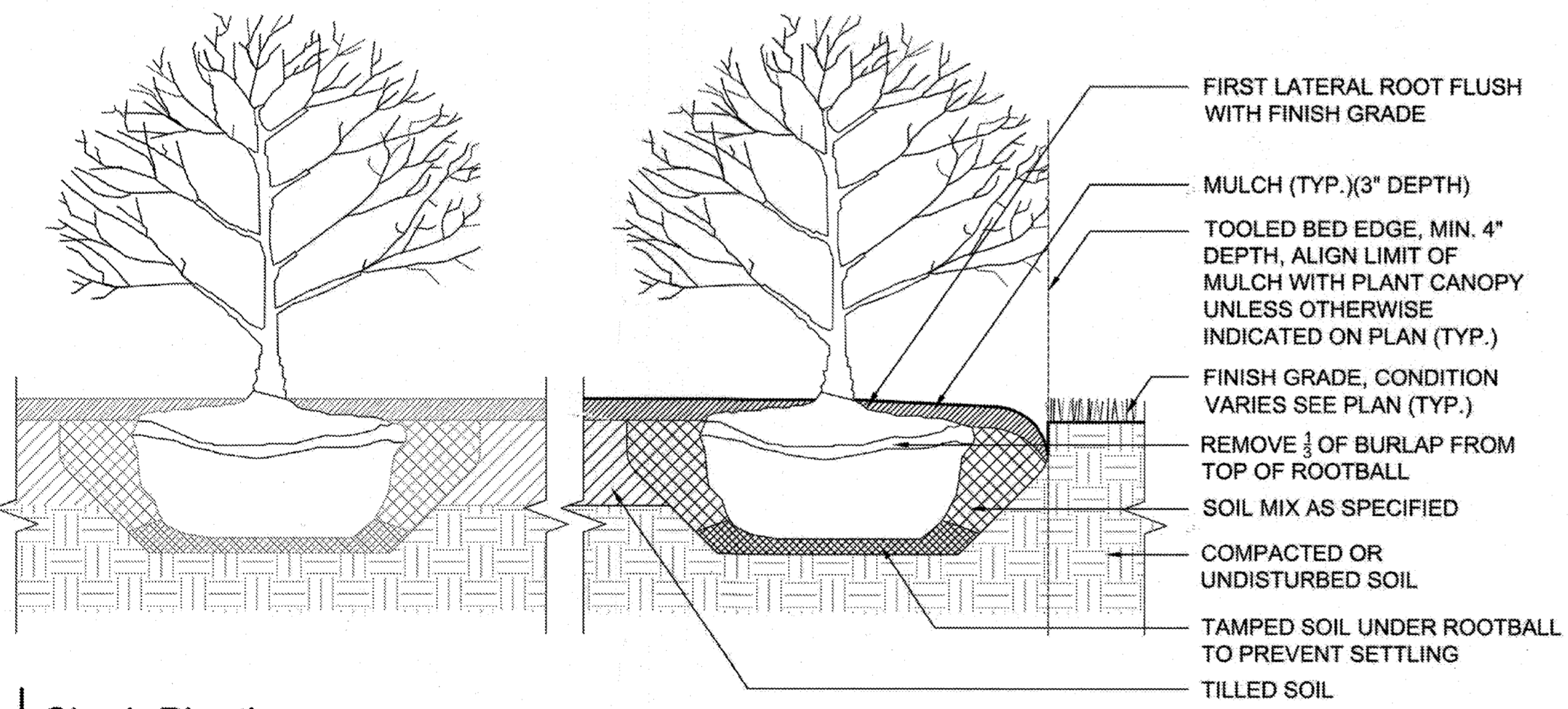
Scale: 1/2" = 1'-0"

2 Ornamental Tree

Scale: 1/2" = 1'-0"

3 Groundcover Planting

Scale: 1" = 1'-0"

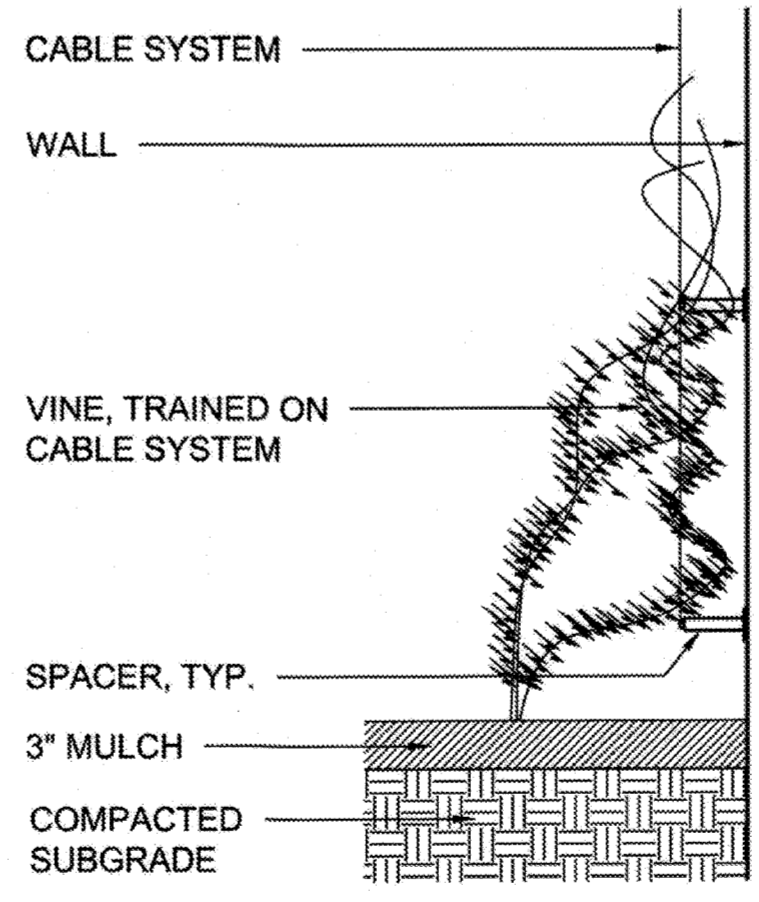


4 Shrub Planting

Scale: 1" = 1'-0"

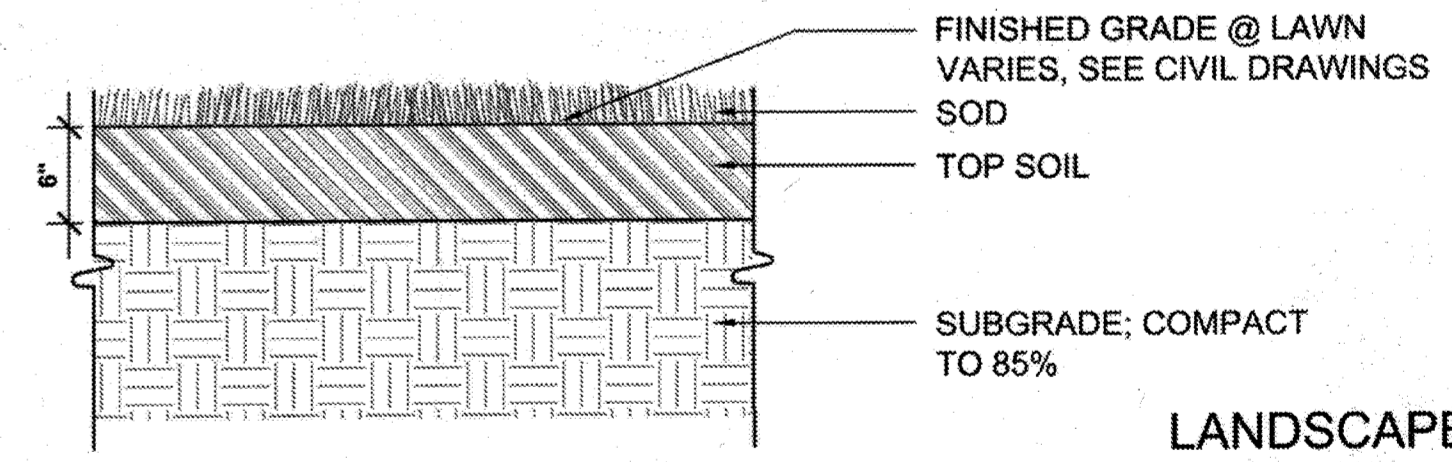
SEQUENCE OF CONSTRUCTION (GENERAL) REFER TO SPECIFICATIONS

1. STAKE OUT PLANT/BED LOCATIONS.
2. CUT EDGE OF PLANT BED
3. TILL SOIL AND APPLY AMENDMENTS TO ENTIRE PLANTING AREA.
4. APPLY PRE-EMERGENT HERBICIDE (TWO WEEKS PRIOR TO PLANTING).
5. INSTALL PLANTS.
6. INSTALL FERTILIZER TABLETS IN EACH PLANT PIT.
7. PLACE BACKFILL.
8. WATER EACH INDIVIDUAL PLANT THOROUGHLY.
9. PLACE MULCH OVER ENTIRE PLANT BED.
10. WATER ENTIRE PLANT BED THOROUGHLY.



5 Vine Planting

N.T.S.



6 Lawn

1" = 1'-0"

LANDSCAPE ARCHITECT SEAL



AS-BUILT CERTIFICATION FOR PSWM
Note: There is no "AS-Built" information provided on this sheet.

THE DESIGN IS IN COMPLIANCE WITH THE MALL IN COLUMBIA NEIGHBORHOOD DESIGN GUIDELINES - DOWNTOWN COLUMBIA.

MAHAN RYKIEL
ASSOCIATE ARCHITECT

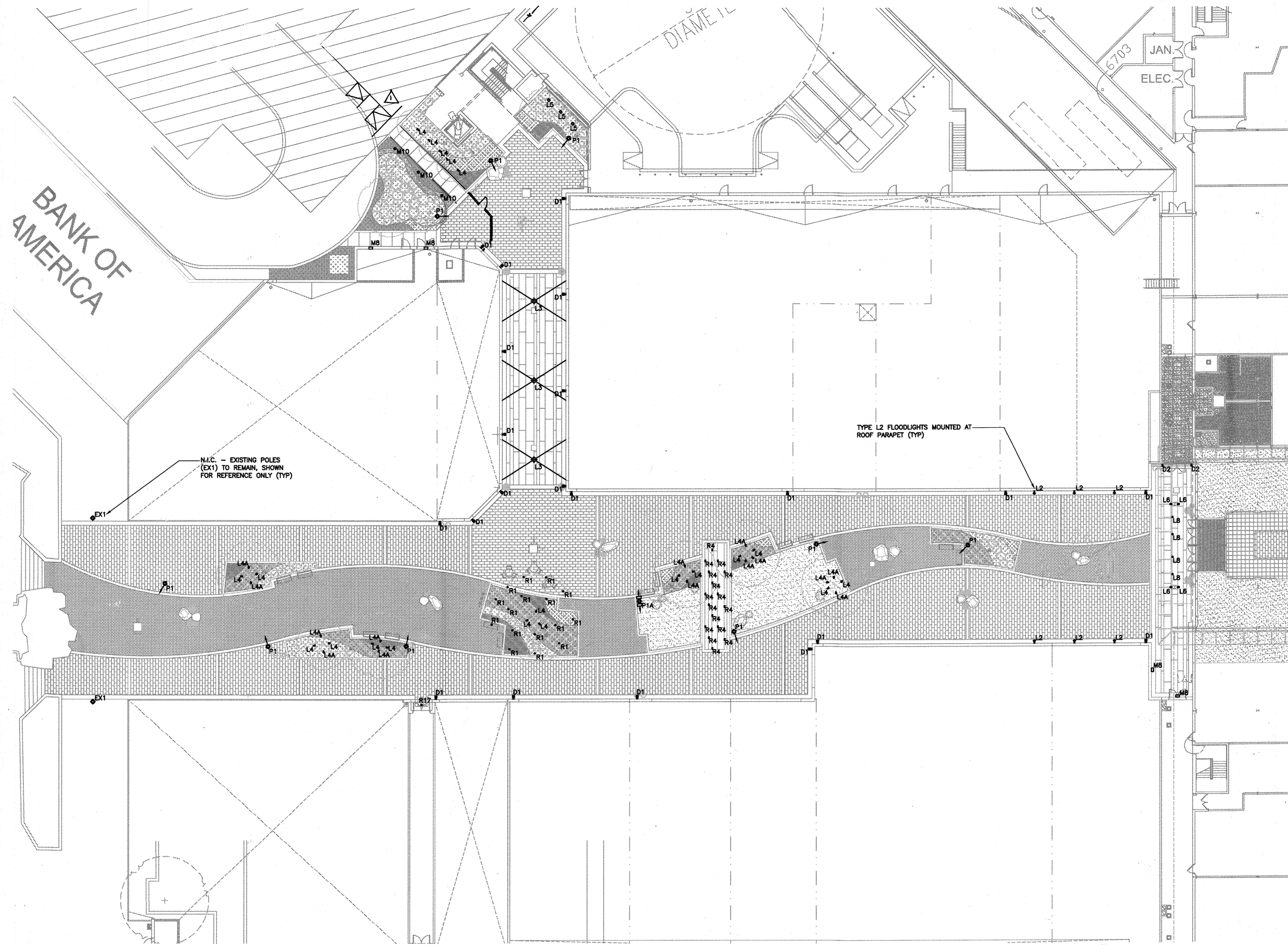
APPROVED: DEPARTMENT OF PLANNING AND ZONING
Chief, Development Engineering Division
Date: 1/31/13
Date: 4-09-13
Date: 2/11/12

CENTURY ENGINEERS - PLANNERS
CONSULTING ENGINEERS - PLANNERS
10710 Gilroy Road, Hunt Valley, MD 21031
Phone: 443.589.2400 Fax: 443.589.2401

DESIGN BY:	M.J.P.	DATE:	9/5/10
DRAWN BY:	M.S.		
CHECKED BY:			
DATE:			
BY	NO.	REVISION	DATE

DEVELOPER
GENERAL GROWTH PROPERTIES
10440 LITTLE PATUXENT PARKWAY, SUITE 1000
COLUMBIA, MARYLAND 21044
410-992-6000

PLANTING DETAILS **AS-BUILT**
THE MALL IN COLUMBIA
COLUMBIA TOWN CENTER
TAX MAP: 30, 36 LOT: 47 PARCEL: 460
ELECTION DISTRICT 5 HOWARD COUNTY, MARYLAND
SHEET 40 OF 73
SCALE: 28141.02
SDP-13-016



PAUL G. CAVANAUGH
PROFESSIONAL ENGINEER NO. 27020

PROFESSIONAL CERTIFICATION
I HEREBY CERTIFY THAT THESE DOCUMENTS
WERE PREPARED OR APPROVED BY ME AND
THAT I AM A DULY LICENSED PROFESSIONAL
ENGINEER UNDER THE LAWS OF THE STATE
OF MARYLAND. LICENSE NO. 27020
EXPIRATION DATE: JANUARY 25, 2016

THIS DESIGN IS IN COMPLIANCE WITH 'THE MALL NEIGHBORHOOD
DESIGN GUIDELINES' OF DOWNTOWN COLUMBIA (ver. 4/11/2012)



the lighting practice
THE LIGHTING PRACTICE
600 Chestnut Street
Suite 772
Philadelphia, PA 19106

AS-BUILT CERTIFICATION FOR PSWM
Note: There is no "AS-Built"
information provided on this sheet.

AS-BUILT

APPROVED: DEPARTMENT OF PLANNING AND ZONING
Chief, Development Engineering Division
Chief, Division of Land Development
Director

Date: 1/31/13
Date: 4-09-13
Date: 4/11/13

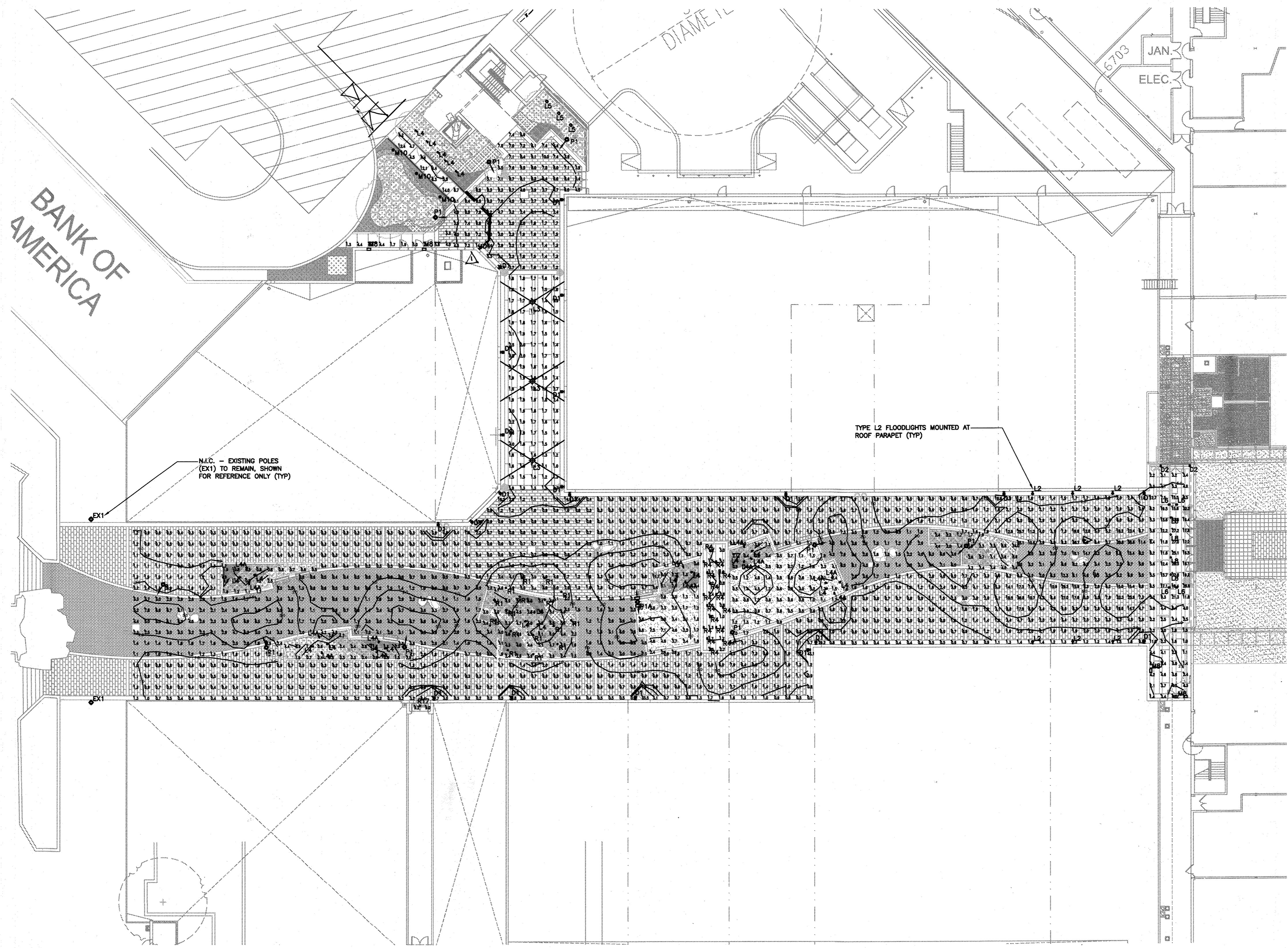
CENTURY ENGINEERING
CONSULTING ENGINEERS - PLANNERS
10710 Gilroy Road, Hunt Valley, MD 21031
Phone: 443.589.2400 Fax: 443.589.2401

NO.	REVISION	DATE
1	REDLINE REVISION TO ADD SCREEN WALL, SCREEN FENCE, AND RECONSTRUCT RAMP	09/18/15
2	CEI 3/0	9/5/18
3	AS-BUILT	

DEVELOPER
GENERAL GROWTH PROPERTIES
10440 LITTLE PATUXENT PARKWAY, SUITE 1000
COLUMBIA, MARYLAND 21044
410-992-6000

BUILDING AND SITE LIGHTING PLAN
THE MALL IN COLUMBIA
COLUMBIA TOWN CENTER
TAX MAP: 30, 36 LOT: 47 PARCEL: 460
ELECTION DISTRICT 5 HOWARD COUNTY, MARYLAND
SHEET 41 OF 73

C.E.I. PROJECT NUMBER
28141.02
SCALE:
1" = 20'



11082 LP SDP-Grand SDP-02 Building & Site Lighting Plan and Photometric Lighting Plan.dwg Oct 19, 2012 4:28pm jwidmer



PAUL G. CAVANAUGH
PROFESSIONAL ENGINEER NO. 27020

PROFESSIONAL CERTIFICATION
I HEREBY CERTIFY THAT THESE DOCUMENTS
WERE PREPARED OR APPROVED BY ME AND
THAT I AM A DULY LICENSED PROFESSIONAL
ENGINEER UNDER THE LAWS OF THE STATE
OF MARYLAND, LICENSE NO. 27020
EXPIRATION DATE: JANUARY 23, 2016

THIS DESIGN IS IN COMPLIANCE WITH 'THE MALL NEIGHBORHOOD
DESIGN GUIDELINES' OF DOWNTOWN COLUMBIA (ver. 4/11/2012)

Calculation Summary						
Label	CalcType	Units	Avg	Max	Min	Max/Min
Site	Illuminance	Fc	3.76	38.6	0.2	18.80

AS-BUILT CERTIFICATION FOR PSWM
Note: There is no "AS-Built"
information provided on this sheet.

AS-BUILT

APPROVED: DEPARTMENT OF PLANNING AND ZONING
[Signature] 1/31/13
Chief, Development Engineering Division
[Signature] 1/09/13
Chief, Division of Land Development
[Signature] 1/11/13
Director

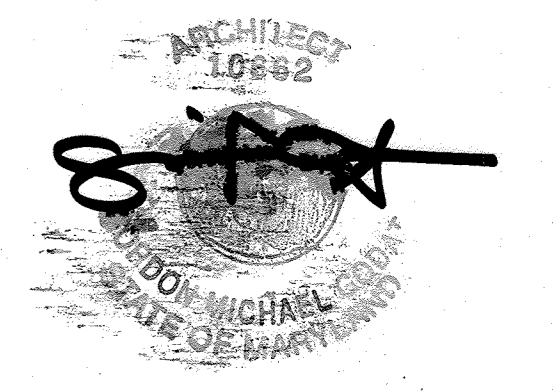
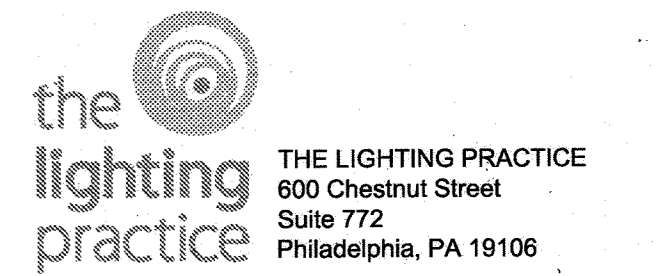
MM CENTURY ENGINEERING
CONSULTING ENGINEERS - PLANNERS
10710 Gilroy Road, Hunt Valley, MD 21031
Phone: 443.589.2400 Fax: 443.589.2401

DESIGN BY:	DATE:	BY	NO.	REVISION	DATE
M.J.P.	9/16/15				
M.S.S.	9/5/19				

DEVELOPER
GENERAL GROWTH PROPERTIES
10440 LITTLE PATUXENT PARKWAY, SUITE 1000
COLUMBIA, MARYLAND 21044
410-992-6000

EXTERIOR LIGHTING PHOTOMETRIC PLAN
THE MALL IN COLUMBIA
COLUMBIA TOWN CENTER
TAX MAP: 30, 36 LOT: 47 PARCEL: 460
ELECTION DISTRICT 5 HOWARD COUNTY, MARYLAND
SHEET 42 OF 73

C.E.I. PROJECT NUMBER
28141.02
SCALE:
1"=20'



SCHEDULE OF LIGHTING FIXTURES table with columns: TYPE, MFG., DESCRIPTION, LAMPING (QTY, LAMP DESIGNATION), LOAD (VA), VOLTS, MANUFACTURER, CATALOG NUMBER. Includes items D1 (Metal Halide Down/Up/Down), D2 (Decorative Fluorescent), L2 (Parapet-mounted Metal Halide), L3 (Catenary-mounted Metal Halide), L4 (Ground-mounted L.E.D.).

SCHEDULE OF LIGHTING FIXTURES table with columns: TYPE, MFG., DESCRIPTION, LAMPING (QTY, LAMP DESIGNATION), LOAD (VA), VOLTS, MANUFACTURER, CATALOG NUMBER. Includes items LA4 (Tree), L5 (Ground-mounted Adjustable), L6 (Surf), L8 (Pipe), M8 (Wall), M10 (Ground-mounted L.E.D.), P1 (Pole).

THIS DESIGN IS IN COMPLIANCE WITH 'THE MALL NEIGHBORHOOD DESIGN GUIDELINES' OF DOWNTOWN COLUMBIA (ver. 4/11/2012)

GENERAL NOTES:

- 1. ALL LIGHTING FIXTURES, LAMPS AND RELATED DEVICES FURNISHED UNDER THIS CONTRACT SHALL CARRY THE APPROVAL LABEL OF UL OR ETL FOR THE SPECIFIC APPLICATION IN WHICH THEY ARE USED.
2. THE STATEMENT 'FINISH SHALL BE SELECTED BY DESIGN PROFESSIONAL' SHALL BE INTERPRETED TO MEAN THAT THE FINISH OF THE LUMINAIRE SHALL MATCH THE APPEARANCE OF A PAINT CHIP, COLOR NUMBER, OR METAL SWATCH FURNISHED BY THE DESIGN PROFESSIONAL DURING THE SUBMITTAL REVIEW PROCESS.
3. UNLESS OTHERWISE INDICATED, ALL FLUORESCENT BALLASTS SHALL BE ELECTRONIC TYPE. ELECTRONIC BALLASTS FOR STRAIGHT AND U-BENT LAMPS SHALL BE PROGRAMMED START TYPE. ELECTRONIC BALLASTS FOR COMPACT FLUORESCENT LAMPS (TWIN TUBE, TRIPLE TUBE, AND QUAD TUBE) SHALL BE EQUIPPED WITH A PROTECTIVE SHUT DOWN CIRCUIT TO SHUT OFF THE BALLAST WHEN THE LAMP IS APPROACHING FAILURE. UNLESS OTHERWISE NOTED, FLUORESCENT AND COMPACT FLUORESCENT BALLASTS SHALL BE MANUFACTURED BY ADVANCE, UNIVERSAL LIGHTING TECHNOLOGIES, OSRAM SYLVANIA, OR GENERAL ELECTRIC. UNLESS OTHERWISE NOTED, FLUORESCENT LAMP DIMMING BALLASTS SHALL BE LUTRON HI-LUME SERIES. UNLESS OTHERWISE NOTED, HIGH WATTAGE H.I.D. LAMP BALLASTS SHALL BE CWA TYPE; LOW WATTAGE H.I.D. LAMP BALLASTS SHALL BE ELECTRONIC TYPE.
4. WHITE L.E.D.'S SHALL MEET, AT A MINIMUM, CHROMATICITY STANDARDS SET BY ANSI/NEMA/ANSI C79.377-2008. L.E.D. LUMEN MAINTENANCE SHALL BE MEASURED IN ACCORDANCE WITH IESNA LM-80 STANDARDS. PHOTOMETRIC TESTING FOR SOLID STATE LUMINAIRES SHALL BE IN ACCORDANCE WITH IESNA LM-79 STANDARDS.
5. UNLESS OTHERWISE NOTED, LAMP DESIGNATIONS ARE FOR LAMPS BY PHILIPS LIGHTING COMPANY. LAMPS OF EQUIVALENT CHARACTERISTICS WITH EQUAL OR BETTER PERFORMANCE FROM GENERAL ELECTRIC, OSRAM/SYLVANIA AND VENTURE LIGHTING ARE ACCEPTABLE ALTERNATIVES.
6. CONTRACTOR SHALL CONFIRM FIXTURE VOLTAGES, CEILING TRIMS, AND MOUNTING HARDWARE ARE COMPATIBLE WITH THEIR APPLICATION AS DETERMINED BY THE DESIGN PROFESSIONAL PRIOR TO ORDERING FIXTURES.
7. CONTRACTOR SHALL SELECT, FURNISH AND INSTALL THE CORRECT SIZE OF SECONDARY WIRING FROM REMOTE TRANSFORMERS AND/OR REMOTE BALLASTS AS REQUIRED TO KEEP VOLTAGE DROP IN THE SECONDARY WIRING BELOW 3% OF RATED VOLTAGE.
8. ALL DIMMABLE FLUORESCENT, CERAMIC METAL HALIDE, AND L.E.D. LAMPS SHALL BE BURNED CONTINUOUSLY FOR 100 HOURS PRIOR TO FOCUSING OF FIXTURES AND COMMISSIONING OF CONTROL SYSTEMS.
9. CONTRACTOR SHALL PROVIDE LABOR AND EQUIPMENT FOR FOCUSING OF ADJUSTABLE FIXTURES AND PRESETTING OF LIGHTING CONTROL SYSTEMS. FOCUSING AND PRESETTING SHALL BE DONE IN THE PRESENCE OF THE DESIGN PROFESSIONAL. CONTRACTOR SHALL FOCUS LIGHTING AFTER DARK IF DIRECTED BY THE OWNER'S REPRESENTATIVE. UNLESS OTHERWISE NOTED, CONTRACTOR SHALL PROVIDE AT LEAST ONE DAY OF A FACTORY-TRAINED AND CERTIFIED TECHNICIAN TO PROVIDE WARRANTY START UP AND PROGRAMMING FOR ALL LIGHTING CONTROL SYSTEMS AND PROGRAMMABLE LIGHTING FIXTURES.
10. CONTRACTOR SHALL PROVIDE THE FOLLOWING WITH THEIR BID:
A. THE UNIT PRICE, WITHOUT LAMP, FOR EACH LIGHTING FIXTURE TYPE LISTED WITHIN THE LIGHTING FIXTURE SCHEDULE. THE UNIT PRICE SHALL BE FOR ONE OF THE LISTED MANUFACTURER'S FOR THAT PARTICULAR FIXTURE. THE MANUFACTURER SHALL BE IDENTIFIED. SUBSTITUTIONS FOR FIXTURES PROVIDED BY MANUFACTURERS NOT LISTED IN THE SCHEDULE ARE NOT ACCEPTABLE. SEE BELOW FOR REQUIREMENTS ASSOCIATED WITH SUBMITTING LIGHTING FIXTURE SUBSTITUTIONS.
B. THE TOTAL QUANTITY OF EACH FIXTURE TYPE WITH THE EXTENDED COST FOR THAT QUANTITY.
C. THE UNIT PRICE, TYPE, AND QUANTITY OF LAMPS.
11. WITHIN 21 DAYS OF CONTRACT AWARD, THE CONTRACTOR SHALL FURNISH SUBMITTALS FOR ALL SPECIFIED LIGHTING FIXTURES FOR REVIEW BY THE DESIGN PROFESSIONAL. THE SUBMITTALS SHALL INCLUDE LUMINAIRE CATALOG CUTS, SUBMITTAL SHEETS, OR MANUFACTURERS SHOP DRAWINGS INDICATING THE FOLLOWING:
A. MANUFACTURER'S NAME AND COMPLETE CATALOG NUMBER
B. FIXTURE TYPE, DIMENSIONS AND FINISHES
C. FIXTURE PHOTOMETRIC TEST DATA FROM AN INDEPENDENT TEST LABORATORY
D. FIXTURE ACCESSORIES, COMPONENTS, AND HARDWARE WHEN SPECIFIED
E. LAMP TYPE, QUANTITY, WATTAGE, LUMEN OUTPUT, RATED LIFE, COLOR TEMPERATURE, COLOR RENDERING INDEX AND BEAM SPREAD AS APPLICABLE
F. BALLAST TYPE AND FIXTURE VOLTAGE
SUBMITTALS FOR LIGHTING FIXTURES MOUNTED WITHIN ARCHITECTURAL COVES OR CASEWORK, VARIABLE LENGTH FIXTURES, AND FOR NON-STANDARD, OR CUSTOM FIXTURES, SHALL ALSO INCLUDE SCALED DRAWINGS SHOWING THE LAYOUT AND DIMENSIONS OF ALL FIXTURE COMPONENTS AND ACCESSORIES, THE METHOD OF INSTALLATION, AND A COMPLETE BILL OF MATERIALS.
12. LIGHTING FIXTURE SUBSTITUTION REQUESTS MUST BE SENT TO AND RECEIVED BY THE LIGHTING DESIGNER FOR REVIEW 14 DAYS PRIOR TO BID DATE. FAILURE TO SUBMIT WITHIN THIS DEADLINE SHALL CONSTITUTE A GUARANTEE THAT THE SPECIFIED FIXTURES WILL BE SUPPLIED. THE SUBMITTAL SHALL INCLUDE THE FOLLOWING:
A. SIX HARD COPIES OF THE SUBMITTALS REQUIRED ABOVE FOR BOTH THE SPECIFIED FIXTURE AND THE PROPOSED SUBSTITUTION.
B. ONE NON-RETURNABLE WORKING SAMPLE OF THE PROPOSED SUBSTITUTE FIXTURE WITH CORD & PLUG CONNECTION FOR 120 VOLT OPERATION, AND SPECIFIED LAMP(S).
C. CONTRACTOR'S STATEMENT INDICATING THE EFFECT OF THE SUBSTITUTION ON THE CONSTRUCTION SCHEDULE COMPARED TO THE SCHEDULE WITHOUT THE APPROVAL OF THE PROPOSED SUBSTITUTION.
D. CONTRACTOR'S CERTIFICATION STATING THAT THE PROPOSED SUBSTITUTION CONFORMS TO THE REQUIREMENTS OF THE CONTRACT DOCUMENTS IN EVERY RESPECT AND IS APPROPRIATE FOR THE APPLICATIONS INDICATED IN THE DOCUMENTS.
E. CONTRACTOR'S CERTIFICATION STATING THAT ANY MODIFICATIONS TO ANY BUILDING SYSTEM OR EQUIPMENT THAT MAY RESULT FROM THE PROPOSED LIGHTING FIXTURE SUBSTITUTION WILL BE DESIGNED AND CONSTRUCTED AT THE CONTRACTOR'S EXPENSE.
F. CONTRACTOR'S WAIVER OF RIGHTS TO ADDITIONAL PAYMENT OR TIME THAT MAY BECOME NECESSARY SHOULD THE PROPOSED SUBSTITUTION FAIL TO PERFORM IN A MANNER THAT MATCHES THE SPECIFIED FIXTURE.
G. CONTRACTOR-NET UNIT PRICE FOR THE SPECIFIED FIXTURE AND FOR THE PROPOSED SUBSTITUTE FIXTURE.
THE LIGHTING DESIGNER SHALL BE REIMBURSED BY THE CONTRACTOR FOR ALL OF THE DESIGNER'S TIME ASSOCIATED WITH THE REVIEW OF THE PROPOSED FIXTURE SUBSTITUTION(S). PAYMENT SHALL BE MADE IN ADVANCE OF THE REVIEW, BASED ON THE DESIGNER'S ESTIMATE OF THE REQUIRED TIME. THE PAYMENT SHALL BE BASED ON THE DESIGNER'S STANDARD HOURLY RATES FOR THE PERSONNEL INVOLVED IN THE REVIEW.

AS-BUILT CERTIFICATION FOR PSWM
Note: There is no 'AS-Built' information provided on this sheet.



the lighting practice
THE LIGHTING PRACTICE
600 Chestnut Street
Suite 772
Philadelphia, PA 19106

APPROVED: DEPARTMENT OF PLANNING AND ZONING
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Chief, Division of Land Development
Director

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Revision table with columns: DESIGN BY, DRAWN BY, CHECKED BY, DATE, BY, NO., REVISION, DATE. Includes signature 'CET 3/21 AS BUILT' and date '9-5-16'.

DEVELOPER
GENERAL GROWTH PROPERTIES
10440 LITTLE PATUXENT PARKWAY, SUITE 1000
COLUMBIA, MARYLAND 21044
410-992-6000

EXTERIOR LIGHTING FIXTURE SCHEDULE
THE MALL IN COLUMBIA
COLUMBIA TOWN CENTER
TAX MAP: 30, 36 LOT: 47 PARCEL: 460
ELECTION DISTRICT 5 HOWARD COUNTY, MARYLAND
SHEET 43 OF 73
SDP - 13 - 016

F:\NIP\2011\11082\LP\SDP-03 Lighting Fixture Schedule.dwg Oct 19, 2012 4:29pm jwidmer

THE MALL IN COLUMBIA COLUMBIA, MARYLAND		TLP PROJECT NUMBER: 1106.00						
SCHEDULE OF LIGHTING FIXTURES								
TYPE	MTG.	DESCRIPTION	LAMPING		LOAD (VA)	VOLTS	MANUFACTURER	CATALOG NUMBER
			QTY.	LAMP DESIGNATION				
PIA	POLE	SIMILAR TO TYPE P1, EXCEPT DOUBLE-HEAD POLE WITH BACK-TO-BACK 180° MOUNTING OF HEADS. EACH HEAD SHALL MOUNT TO NOMINAL 20 INCH LONG ARMATURE.	2	CDM150/T6/830	322		HESS AMERICA	CA450-150MH-(VOLT)-B-13RT-CC/(FINISH)-N
R1	TREE	LED DECORATIVE LANTERN WITH METAL CYLINDRICAL HOUSING, NOMINAL 9 INCH LONG X 2 INCH DIAMETER PERFORATED ALUMINUM HOUSING WITH REGRESSED LIGHT ENGINE. 3000K WHITE LED LIGHT ENGINE PROVIDES A MINIMUM 300 INITIAL DELIVERED LUMENS IN A 60° WIDE FLOOD DISTRIBUTION. WEATHER-TIGHT CABLE CONNECTION, STAINLESS STEEL AIRCRAFT CABLE SUSPENSION WITH TANGENT POWER FEEDS. CONTRACTOR SHALL SECURE FEEDS AND CABLE WITH BLACK SHRINK WRAP. OVERALL FINISH OF HOUSING SHALL BE SELECTED BY DESIGN PROFESSIONAL. U.L. WET LOCATION LABEL. LUMINAIRE CONNECTS TO REMOTE POWER SUPPLY. REFER TO RIP FOR SPECIFICATION OF POWER. REFER TO DETAILS IN ELECTRICAL DRAWINGS FOR MOUNTING INFORMATION. MOUNTING HEIGHTS WITHIN TREE SHALL BE COORDINATED IN THE FIELD WITH DESIGN PROFESSIONAL.	-	LEDS BY MANUFACTURER	8		BK LIGHTING LUMIERE VISTA PRO	CUS-1404-11-(FINISH)
R4	GRND	SOLAR L.E.D. PAPER, NOMINAL 4 INCH WIDE X 8 INCH LONG X 2 INCH DEEP STAINLESS STEEL HOUSING WITH METAL EDGE TRIM HIGH IMPACT POLYCARBONATE TOP LENS, LED LIGHT ENGINE, LED COLOR SHALL BE SELECTED BY DESIGN PROFESSIONAL. INTEGRAL BATTERY PACK AND PHOTOCELL SENSOR FOR AUTOMATED DUSK TO DAWN OPERATION. ASSEMBLY INCLUDES BACK BOX HOUSING WITH ANCHOR PLATE FOR CONCRETE POUR INSTALLATIONS. U.L. WET LOCATION AND IP68 RATED. OVERALL METAL TRIM FINISH SHALL BE SELECTED BY DESIGN PROFESSIONAL. LUMINAIRE DOES NOT REQUIRE ELECTRICAL POWER. NO CIRCUITING REQUIRED.	-	LEDS BY MANUFACTURER	-		METEOR LIGHTING	SH-180C-(COLOR)-(FINISH)-H
R17	REC	RECESSED LED DOWNLIGHT, NOMINAL 4 INCH DIAMETER APERTURE X MAXIMUM 7 INCH DEEP HOUSING, 3000K WHITE LED LIGHT ENGINE WITH MINIMUM 800 INITIAL DELIVERED LUMENS, SEM-SPECULAR CLEAR LOW-IRIDESCENT ALZAK REFLECTOR WITH WHITE RETURN FLANGE, MEDIUM BEAM OPTICS WITH 45° VISUAL CUTOFF. INTEGRAL 0-10V DRIVER, U.L. WET LOCATION LABEL.	-	LEDS BY MANUFACTURER	15		PORTFOLIO GOTHAM LIGHTOLIER	LD409-D010-ERM4830-4LM1H-WF

GENERAL NOTES:

- ALL LIGHTING FIXTURES, LAMPS AND RELATED DEVICES FURNISHED UNDER THIS CONTRACT SHALL CARRY THE APPROVAL LABEL OF UL OR ETL FOR THE SPECIFIC APPLICATION IN WHICH THEY ARE USED.
- THE STATEMENT "FINISH SHALL BE SELECTED BY DESIGN PROFESSIONAL" SHALL BE INTERPRETED TO MEAN THAT THE FINISH OF THE LUMINAIRE SHALL MATCH THE APPEARANCE OF A PAINT CHIP, COLOR NUMBER, OR METAL SWATCH FURNISHED BY THE DESIGN PROFESSIONAL DURING THE SUBMITTAL REVIEW PROCESS.
- UNLESS OTHERWISE INDICATED, ALL FLUORESCENT BALLASTS SHALL BE ELECTRONIC TYPE. ELECTRONIC BALLASTS FOR STRAIGHT AND U-BENT LAMPS SHALL BE PROGRAMMED START TYPE. ELECTRONIC BALLASTS FOR COMPACT FLUORESCENT LAMPS (TWIN TUBE, TRIPLE TUBE, AND QUAD TUBE) SHALL BE EQUIPPED WITH A PROTECTIVE SHUT DOWN CIRCUIT TO SHUT OFF THE BALLAST WHEN THE LAMP IS APPROACHING FAILURE. UNLESS OTHERWISE NOTED, FLUORESCENT AND COMPACT FLUORESCENT BALLASTS SHALL BE MANUFACTURED BY ADVANCE, UNIVERSAL LIGHTING TECHNOLOGIES, OSRAM SYLVANIA, OR GENERAL ELECTRIC. UNLESS OTHERWISE NOTED, FLUORESCENT LAMP DIMMING BALLASTS SHALL BE LUTRON HI-LUME SERIES. UNLESS OTHERWISE NOTED, HIGH WATTAGE H.I.D. LAMP BALLASTS SHALL BE CWA TYPE; LOW WATTAGE H.I.D. LAMP BALLASTS SHALL BE ELECTRONIC TYPE.
- WHITE L.E.D.'S SHALL MEET, AT A MINIMUM, CHROMATICITY STANDARDS SET BY ANSI/NEMA/ANSI C79.377-2008. L.E.D. LUMEN MAINTENANCE SHALL BE MEASURED IN ACCORDANCE WITH IESNA LM-80 STANDARDS. PHOTOMETRIC TESTING FOR SOLID STATE LUMINAIRES SHALL BE IN ACCORDANCE WITH IESNA LM-79 STANDARDS.
- UNLESS OTHERWISE NOTED, LAMP DESIGNATIONS ARE FOR LAMPS BY PHILIPS LIGHTING COMPANY. LAMPS OF EQUIVALENT CHARACTERISTICS WITH EQUAL OR BETTER PERFORMANCE FROM GENERAL ELECTRIC, OSRAM/SYLVANIA AND VENTURE LIGHTING ARE ACCEPTABLE ALTERNATIVES.
- CONTRACTOR SHALL CONFIRM FIXTURE VOLTAGES, CEILING TRIMS, AND MOUNTING HARDWARE ARE COMPATIBLE WITH THEIR APPLICATION AS DETERMINED BY THE DESIGN PROFESSIONAL PRIOR TO ORDERING FIXTURES.
- CONTRACTOR SHALL SELECT, FURNISH AND INSTALL THE CORRECT SIZE OF SECONDARY WIRING FROM REMOTE TRANSFORMERS AND/OR REMOTE BALLASTS AS REQUIRED TO KEEP VOLTAGE DROP IN THE SECONDARY WIRING BELOW 3% OF RATED VOLTAGE.
- ALL DIMMABLE FLUORESCENT, CERAMIC METAL HALIDE, AND L.E.D. LAMPS SHALL BE BURNED CONTINUOUSLY FOR 100 HOURS PRIOR TO FOCUSING OF FIXTURES AND COMMISSIONING OF CONTROL SYSTEMS.
- CONTRACTOR SHALL PROVIDE LABOR AND EQUIPMENT FOR FOCUSING OF ADJUSTABLE FIXTURES AND PRESETTING OF LIGHTING CONTROL SYSTEMS. FOCUSING AND PRESETTING SHALL BE DONE IN THE PRESENCE OF THE DESIGN PROFESSIONAL. CONTRACTOR SHALL FOCUS LIGHTING AFTER DARK IF DIRECTED BY THE OWNER'S REPRESENTATIVE. UNLESS OTHERWISE NOTED, CONTRACTOR SHALL PROVIDE AT LEAST ONE DAY OF A FACTORY-TRAINED AND CERTIFIED TECHNICIAN TO PROVIDE WARRANTY START UP AND PROGRAMMING FOR ALL LIGHTING CONTROL SYSTEMS AND PROGRAMMABLE LIGHTING FIXTURES.
- CONTRACTOR SHALL PROVIDE THE FOLLOWING WITH THEIR BID:
 - THE UNIT PRICE, WITHOUT LAMP, FOR EACH LIGHTING FIXTURE TYPE LISTED WITHIN THE LIGHTING FIXTURE SCHEDULE. THE UNIT PRICE SHALL BE FOR ONE OF THE LISTED MANUFACTURER'S FOR THAT PARTICULAR FIXTURE. THE MANUFACTURER SHALL BE IDENTIFIED. SUBSTITUTIONS FOR FIXTURES PROVIDED BY MANUFACTURERS NOT LISTED IN THE SCHEDULE ARE NOT ACCEPTABLE. SEE BELOW FOR REQUIREMENTS ASSOCIATED WITH SUBMITTING LIGHTING FIXTURE SUBSTITUTIONS.
 - THE TOTAL QUANTITY OF EACH FIXTURE TYPE WITH THE EXTENDED COST FOR THAT QUANTITY.
 - THE UNIT PRICE, TYPE, AND QUANTITY OF LAMPS.
- WITHIN 21 DAYS OF CONTRACT AWARD, THE CONTRACTOR SHALL FURNISH SUBMITTALS FOR ALL SPECIFIED LIGHTING FIXTURES FOR REVIEW BY THE DESIGN PROFESSIONAL. THE SUBMITTALS SHALL INCLUDE LUMINAIRE CATALOG CUTS, SUBMITTAL SHEETS, OR MANUFACTURERS SHOP DRAWINGS INDICATING THE FOLLOWING:
 - MANUFACTURER'S NAME AND COMPLETE CATALOG NUMBER
 - FIXTURE TYPE, DIMENSIONS AND FINISHES
 - FIXTURE PHOTOMETRIC TEST DATA FROM AN INDEPENDENT TEST LABORATORY
 - FIXTURE ACCESSORIES, COMPONENTS, AND HARDWARE WHEN SPECIFIED
 - LAMP TYPE, QUANTITY, WATTAGE, LUMEN OUTPUT, RATED LIFE, COLOR TEMPERATURE, COLOR RENDERING INDEX AND BEAM SPREAD AS APPLICABLE
 - BALLAST TYPE AND FIXTURE VOLTAGE

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THIS DESIGN IS IN COMPLIANCE WITH 'THE MALL NEIGHBORHOOD DESIGN GUIDELINES' OF DOWNTOWN COLUMBIA (ver. 4/11/2012)

AS-BUILT CERTIFICATION FOR PSWM
Note: There is no "AS-Built" information provided on this sheet.



the lighting practice
THE LIGHTING PRACTICE
600 Chestnut Street
Suite 772
Philadelphia, PA 19106

APPROVED: DEPARTMENT OF PLANNING AND ZONING
Chief, Development Engineering Division
Chief, Division of Land Development
Director

1/24/13
4-09-13
4/11/10

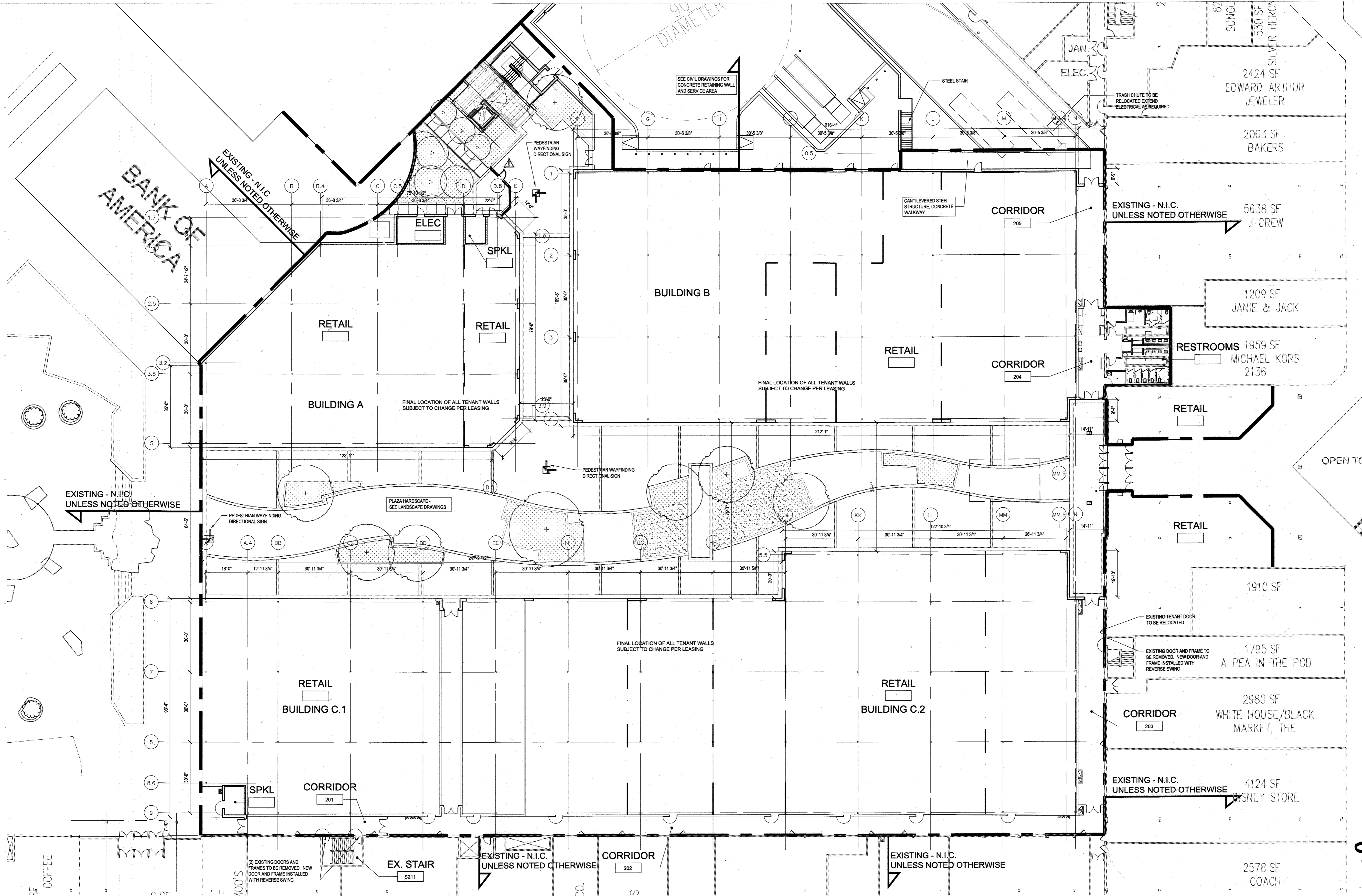
M CENTURY ENGINEERING
CONSULTING ENGINEERS - PLANNERS
10710 Gilroy Road, Hunt Valley, MD 21031
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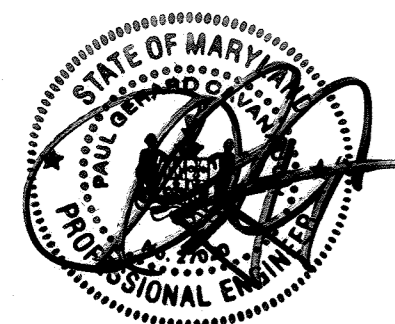
DESIGN BY:	M.J.P.	9/5/18
DRAWN BY:	M.S.S.	
CHECKED BY:		
DATE:		
BY	NO.	REVISION

DEVELOPER
GENERAL GROWTH PROPERTIES
10440 LITTLE PATUXENT PARKWAY, SUITE 1000
COLUMBIA, MARYLAND 21044
410-992-6000




AS-BUILT
EXTERIOR LIGHTING FIXTURE SCHEDULE
THE MALL IN COLUMBIA
COLUMBIA TOWN CENTER
TAX MAP: 30, 36 LOT: 47 PARCEL: 460
ELECTION DISTRICT 5 HOWARD COUNTY, MARYLAND
SHEET 44 OF 73

C.E.I. PROJECT NUMBER
28141.02
SCALE:
NO SCALE




PAUL G. CAVANAUGH
 PROFESSIONAL ENGINEER NO. 27020

PROFESSIONAL CERTIFICATION
 I HEREBY CERTIFY THAT THESE DOCUMENTS
 WERE PREPARED OR APPROVED BY ME, AND
 THAT I AM A DULY LICENSED PROFESSIONAL
 ENGINEER UNDER THE LAWS OF THE STATE
 OF MARYLAND, LICENSE NO. 27020
 EXPIRATION DATE: JANUARY 25, 2016

APPROVED: DEPARTMENT OF PLANNING AND ZONING

 Chief, Development Engineering Division (s)
 Date: 1/31/13

 Chief, Division of Land Development
 Date: 4-09-13

 Director
 Date: 2/14/10


CENTURY ENGINEERING
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 10710 Gilroy Road, Hunt Valley, MD 21031
 Phone: 443.589.2400 Fax: 443.589.2401

DESIGN BY:	DDC	1	RELINE REVISION TO ADD SCREEN WALL, SCREEN FENCE, AND RECONSTRUCT RAMP	08/16/15
M.J.P.	CEP	3/8	AS BUILT	9/5/17
DRAWN BY:	M.S.S.			
CHECKED BY:				
DATE:	BY	NO.	REVISION	DATE

1 OVERALL LEVEL TWO PLAN
 Scale: 1:20
AS-BUILT CERTIFICATION FOR PSWM
 Note: There is no "AS-Built" information provided on this sheet.

DEVELOPER
GENERAL GROWTH PROPERTIES
 10440 LITTLE PATUXENT PARKWAY, SUITE 1000
 COLUMBIA, MARYLAND 21044
 410-992-6000

The design is in compliance with The
 Mall in Columbia Neighborhood Design
 Guidelines - Downtown Columbia.

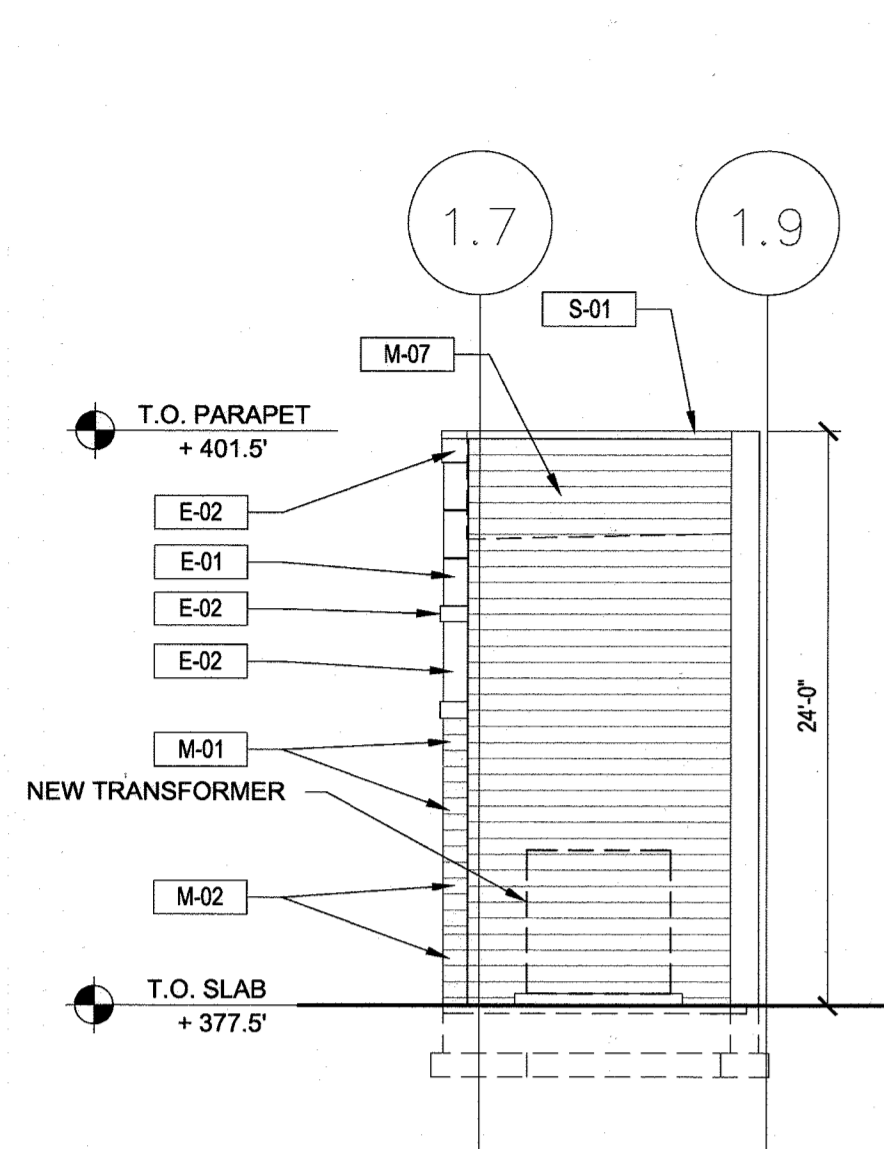


JP2 ARCHITECTS
 2835 O'Donnell Street, Suite 300
 Baltimore, MD 21224
 t 410.276.7470
 f 410.276.7471
 www.jp2architects.com

OVERALL PLAZA LEVEL PLAN
THE MALL IN COLUMBIA
 COLUMBIA TOWN CENTER
 TAX MAP: 30, 36 LOT: 47 PARCEL: 460
 ELECTION DISTRICT 5 HOWARD COUNTY, MARYLAND
SHEET 47 OF 73

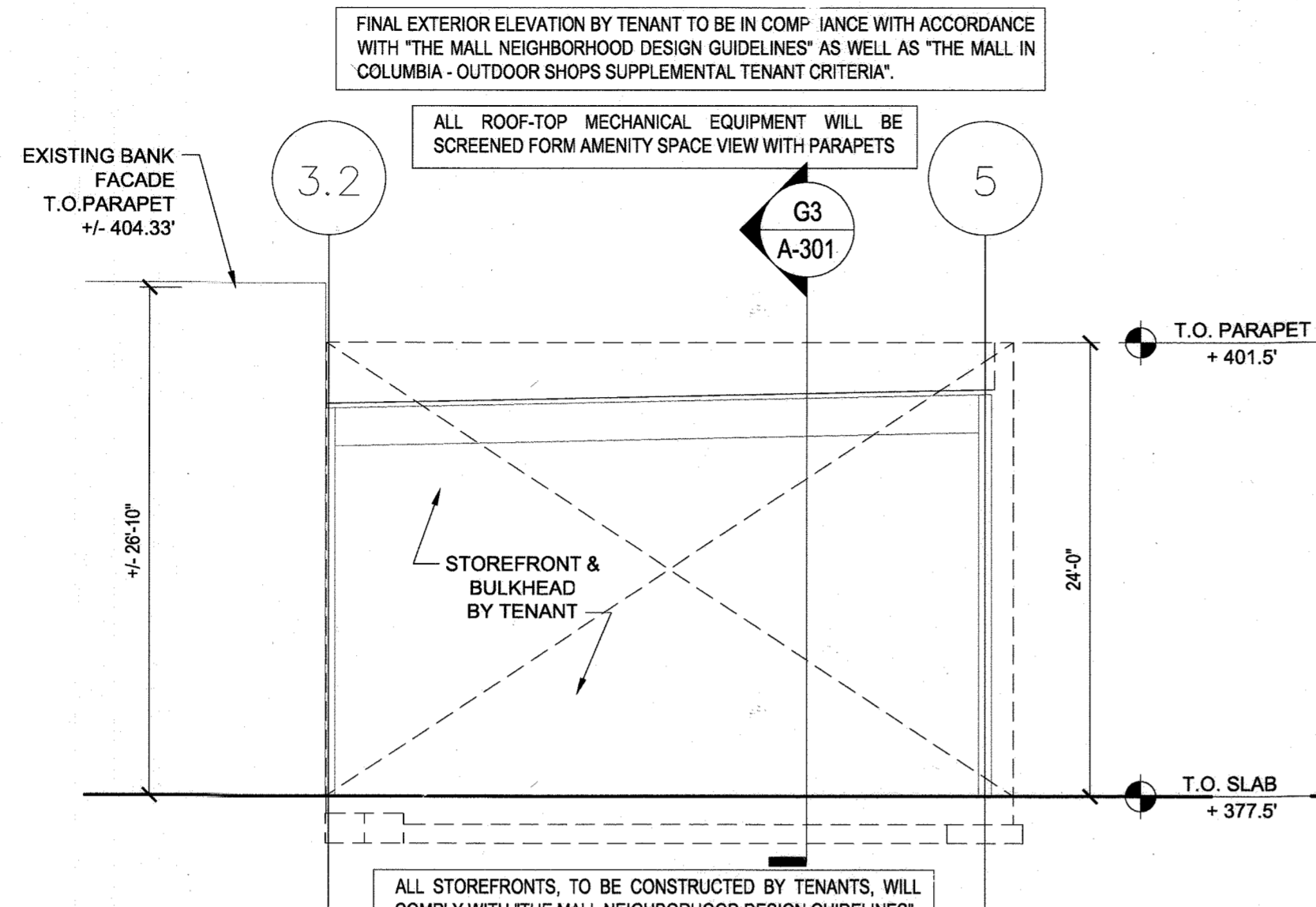
C.E.I. PROJECT NUMBER 28141.02

SCALE:



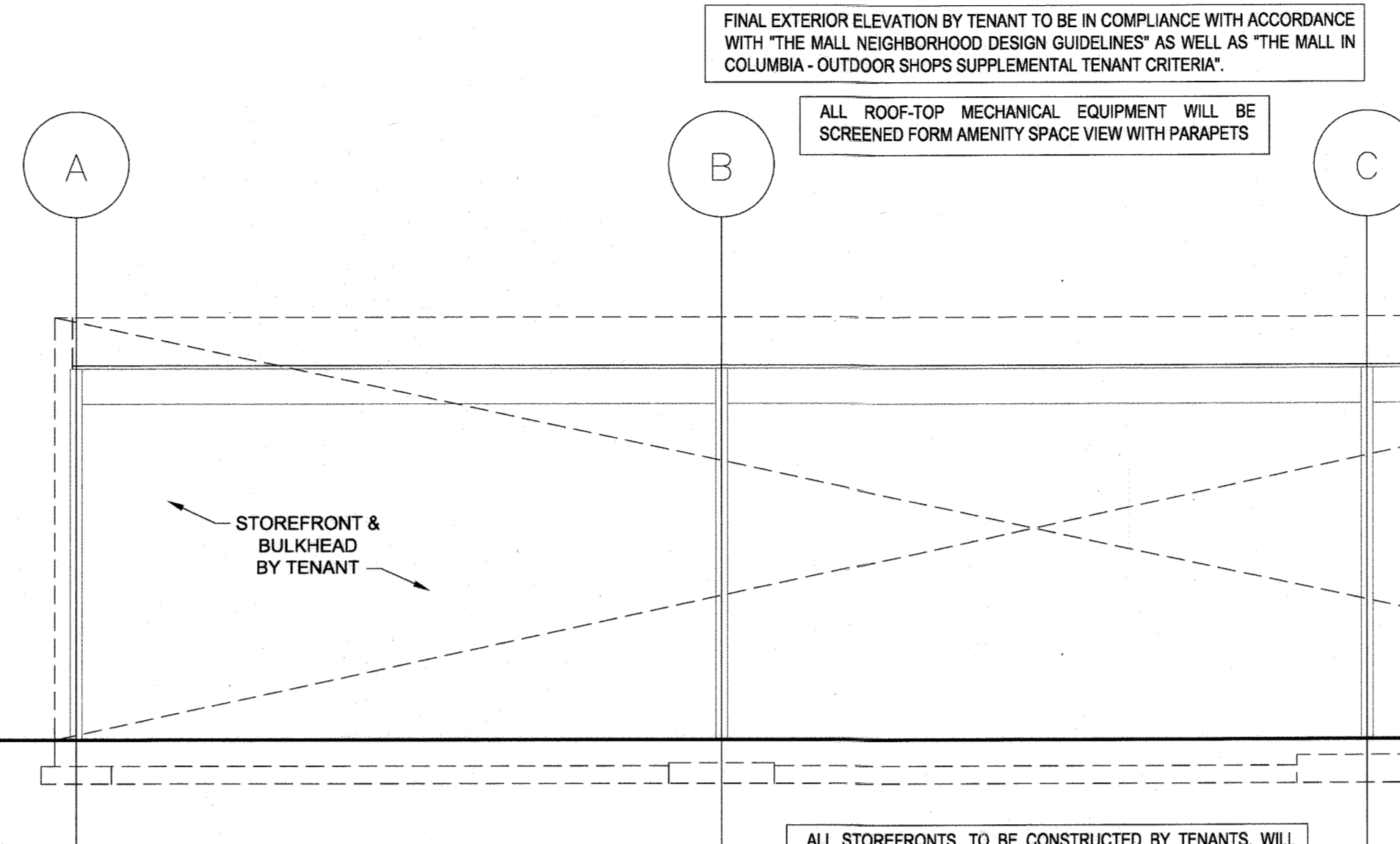
1 BUILDING A WEST ELEVATION

Scale: 1/8" = 1'-0"



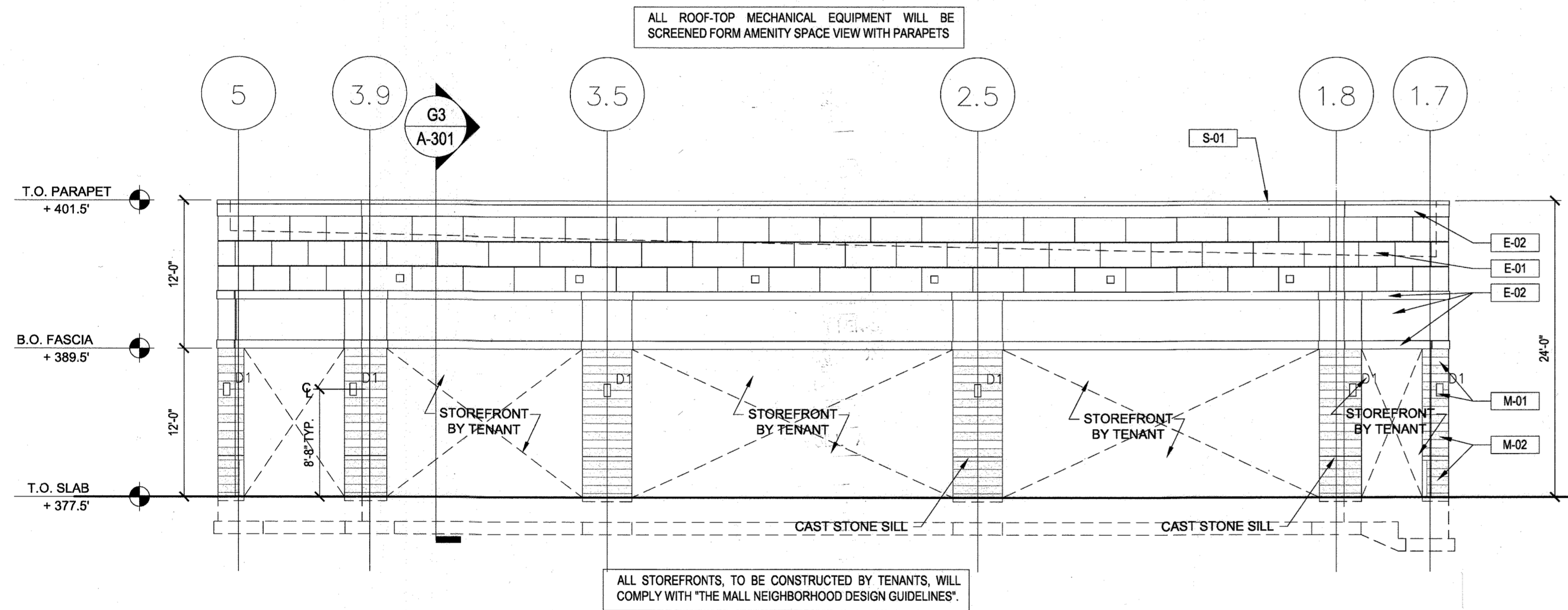
2 BUILDING A WEST ELEVATION

Scale: 1/8" = 1'-0"



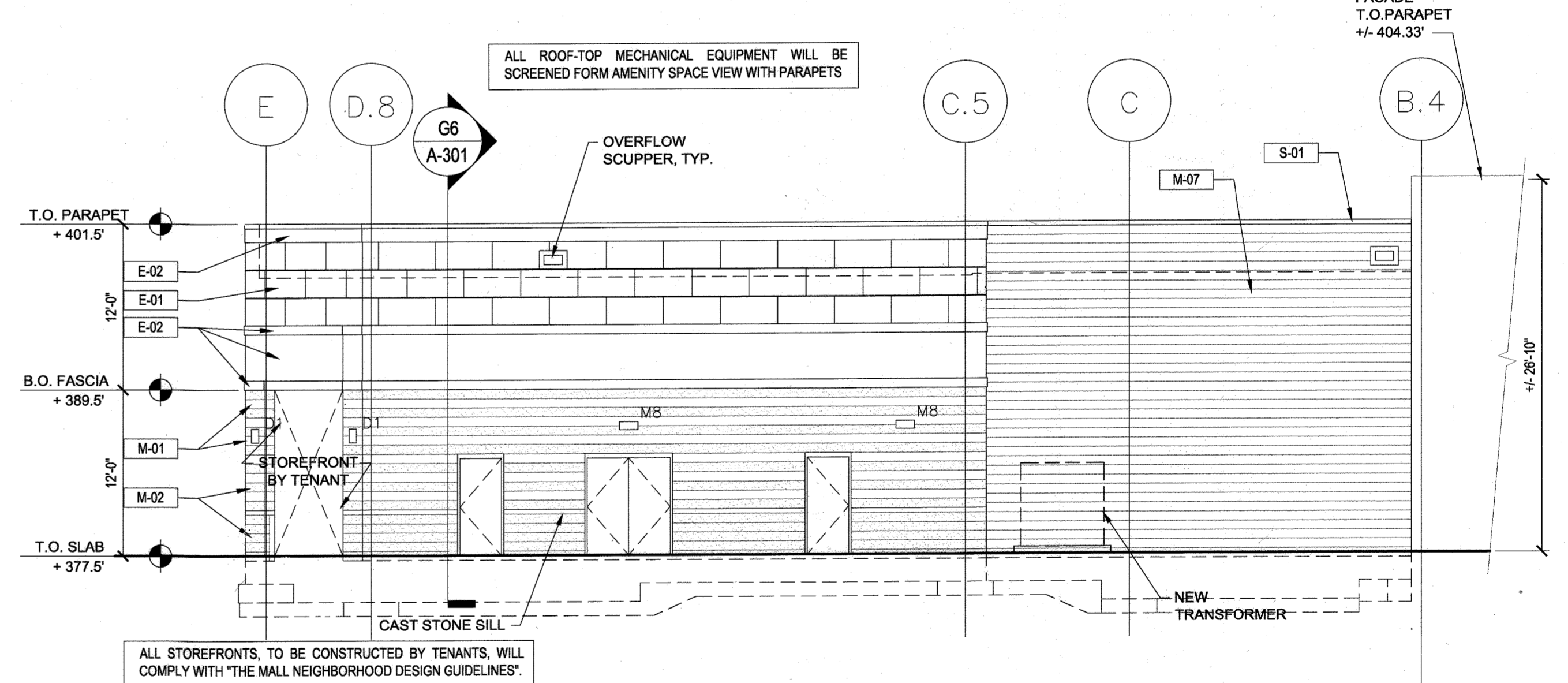
3 BUILDING A SOUTH ELEVATION

Scale: 1/8" = 1'-0"



4 BUILDING A EAST ELEVATION

Scale: 1/8" = 1'-0"



5 BUILDING A NORTH ELEVATION

Scale: 1/8" = 1'-0"

THESE ELEVATIONS REPRESENT THE PORTION OF BUILDING CONSTRUCTION UNDER THE CONTROL OF THE CLIENT AT THE TIME OF SUBMISSION FOR BUILDING PERMIT. FUTURE TENANTS, IN ACCORDANCE WITH "THE MALL NEIGHBORHOOD DESIGN GUIDELINES" AS WELL AS "THE MALL IN COLUMBIA - OUTDOOR SHOPS SUPPLEMENTAL TENANT CRITERIA" WILL BE RESPONSIBLE FOR CONSTRUCTING ITEMS SUCH AS: STOREFRONTS INCLUDING ENTRANCES AND GLAZED AREAS, AWNINGS, CANOPIES, PARAPET EXTENSIONS, EXTERIOR SIGNAGE AND FULL FACADE AREAS AS INDICATED ON BUILDING 'A' IN ACCORDANCE WITH "THE MALL NEIGHBORHOOD DESIGN GUIDELINES" AS WELL AS "THE MALL IN COLUMBIA - OUTDOOR SHOPS SUPPLEMENTAL TENANT CRITERIA".

AS-BUILT CERTIFICATION FOR PSWM
 Note: There is no "AS-Built" information provided on this sheet.

ALL ROOF-TOP MECHANICAL EQUIPMENT WILL BE SCREENED FORM AMENITY SPACE VIEW WITH PARAPETS
 ALL STOREFRONTS, TO BE CONSTRUCTED BY TENANTS, WILL COMPLY WITH "THE MALL NEIGHBORHOOD DESIGN GUIDELINES".

APPROVED: DEPARTMENT OF PLANNING AND ZONING
 Chief, Development Engineering Division
 Chief, Division of Land Development
 Director

1/31/13
 4-09-13
 2/11/13

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DESIGN BY:	CET 3A AS-BUILT	9/5/10
M.J.P.		
DRAWN BY:	M.S.S.	
CHECKED BY:		
DATE:		
BY NO.		REVISION DATE

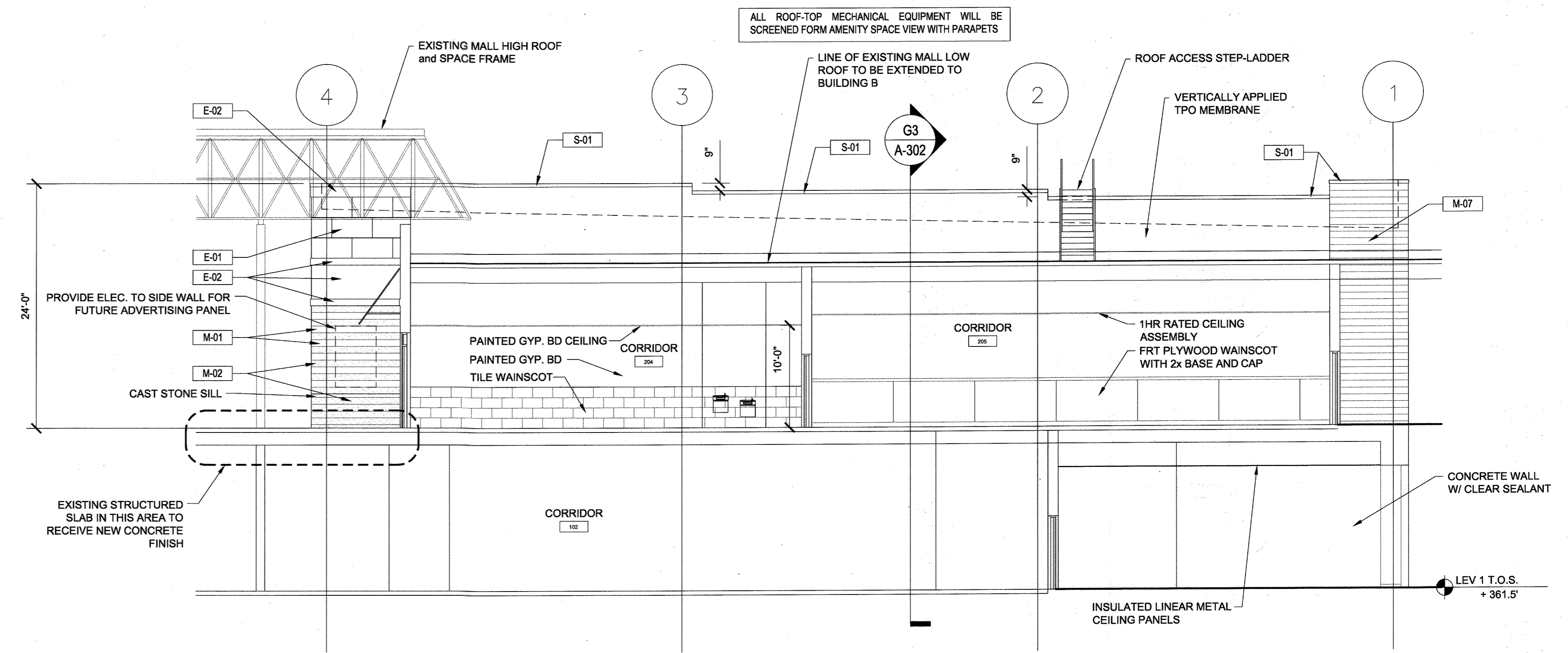
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The design is in compliance with The Mall in Columbia Neighborhood Design Guidelines- Downtown Columbia.

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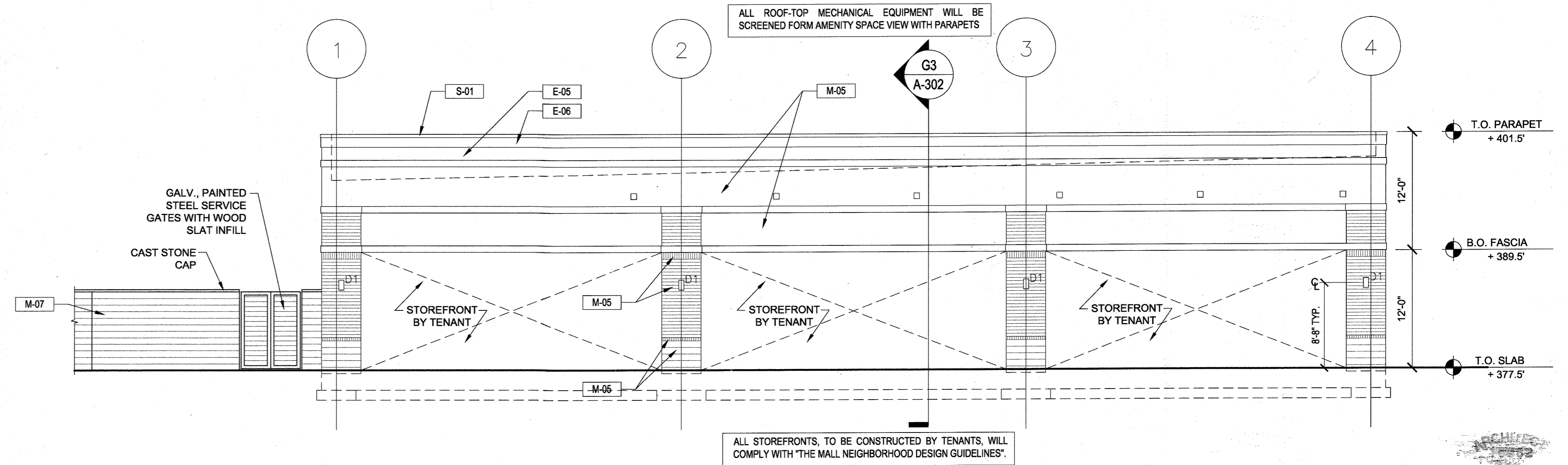
BUILDING A ELEVATIONS
THE MALL IN COLUMBIA
 COLUMBIA TOWN CENTER
 TAX MAP: 30, 36 LOT: 47 PARCEL: 460
 ELECTION DISTRICT 5 HOWARD COUNTY, MARYLAND
 SHEET 48 OF 73

C.E.I. PROJECT NUMBER
 28141.02
 SCALE:



1 BUILDING B EAST ELEVATION
Scale: 1/8" = 1'-0"

EXTERIOR MATERIAL SCHEDULE	
DESIG.	
E-01	EXTERIOR INSULATION FINISH SYSTEM (EIFS); DRYVIT: 434a CHLOE
E-02	EXTERIOR INSULATION FINISH SYSTEM (EIFS); DRYVIT: 465b HEIRLOOM
E-03	EXTERIOR INSULATION FINISH SYSTEM (EIFS); DRYVIT: 105 SUEDE
E-04	EXTERIOR INSULATION FINISH SYSTEM (EIFS); DRYVIT: 453a STAINLESS
E-05	EXTERIOR INSULATION FINISH SYSTEM (EIFS); DRYVIT: 461 TOAST
E-06	EXTERIOR INSULATION FINISH SYSTEM (EIFS); DRYVIT: 107 SUNSET YELLOW
M-01	MANUFACTURED STONE CLADDING SYSTEM - ARRISCRAFT : COLOR TO MATCH EXISTING GARAGE STAIR TOWER (SANDBLAST FINISH)
M-02	MANUFACTURED STONE CLADDING SYSTEM - ARRISCRAFT (ROCKED FINISH); SANDRIFT / ALTERNATE COLOR: WHEAT
M-03	MASONRY STARTER COURSE - ARRISCRAFT - ADAIR LIMESTONE
M-04	BRICK VENEER MASONRY - GLEN-GERY - PLUM IRONSPOT (MODULAR)
M-05	BRICK VENEER MASONRY - GLEN-GERY - TAWNY BEIGE (MODULAR)
M-06	STONE VENEER - LANDMARK STONE - MOUNTAIN LEDGE : WHEAT
M-07	SPLIT-FACE CMU VENEER - TRENWYTH: CAMBRIDGE
M-08	GROUND-FACE CMU VENEER - TRENSTONE BY TRENWYTH: CAMBRIDGE
M-09	MANUFACTURED STONE SILL - ARRISCRAFT - SANDRIFT
M-10	PRECAST WALL CAP
P-01	BENJAMIN MOORE - EXTERIOR COLUMNS : MILKY WAY
P-02	BENJAMIN MOORE - STEEL CHANNEL AT ENTRY : COLOR TBD
P-03	BENJAMIN MOORE - MISC. METALS : GLOUCESTER SAGE
S-01	COPING : ALUMINUM - SANDSTONE
S-02	METAL CANOPY
W-01	ALUMINUM STOREFRONT ENTRY SYSTEM



2 BUILDING B WEST ELEVATION
Scale: 1/8" = 1'-0"

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APPROVED: DEPARTMENT OF PLANNING AND ZONING
Chief, Development Engineering Division
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1/2/13
4-09-13
4/11/13

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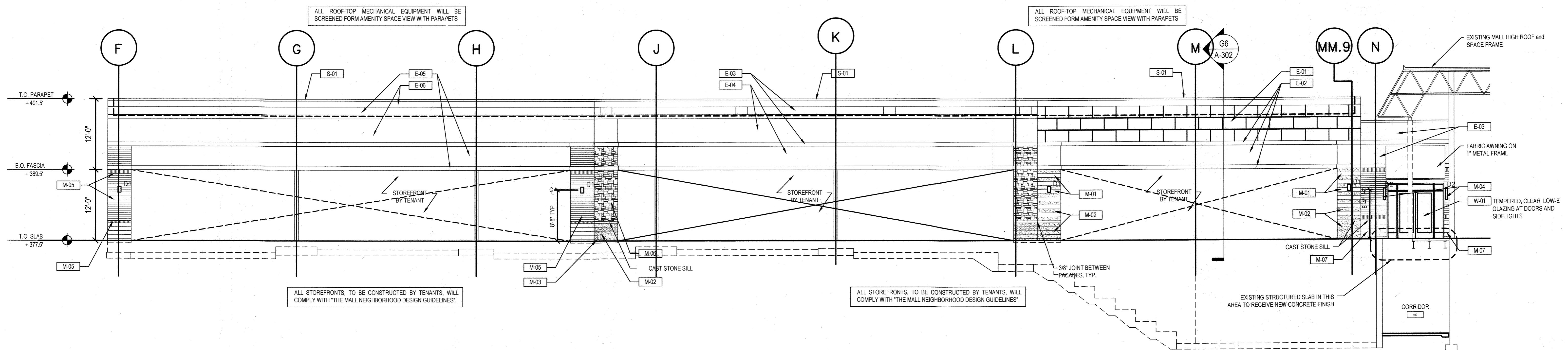
DESIGN BY:	CEJ 3/13 AS-BUILT	9/5/19
M.J.P.		
DRAWN BY:	M.S.S.	
CHECKED BY:		
DATE:		
BY	NO.	REVISION
		DATE

DEVELOPER
GENERAL GROWTH PROPERTIES
10440 LITTLE PATUXENT PARKWAY, SUITE 1000
COLUMBIA, MARYLAND 21044
410-992-6000

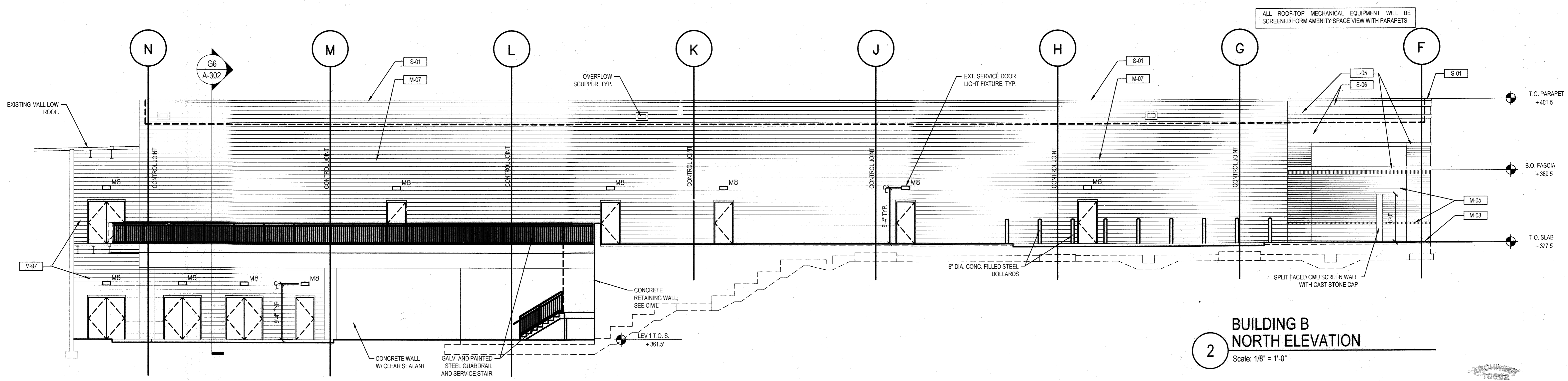
AS-BUILT BUILDING B ELEVATIONS
THE MALL IN COLUMBIA
COLUMBIA TOWN CENTER
TAX MAP: 30, 36 LOT: 47 PARCEL: 460
ELECTION DISTRICT 5 HOWARD COUNTY, MARYLAND
SHEET 49 OF 73

C.E.I. PROJECT NUMBER
28141.02
SCALE:





BUILDING B SOUTH ELEVATION
 1 Scale: 1/8" = 1'-0"



BUILDING B NORTH ELEVATION
 2 Scale: 1/8" = 1'-0"

THESE ELEVATIONS REPRESENT THE PORTION OF BUILDING CONSTRUCTION UNDER THE CONTROL OF THE CLIENT AT THE TIME OF SUBMISSION FOR BUILDING PERMIT. FUTURE TENANTS, IN ACCORDANCE WITH "THE MALL NEIGHBORHOOD DESIGN GUIDELINES" AS WELL AS "THE MALL IN COLUMBIA - OUTDOOR SHOPS SUPPLEMENTAL TENANT CRITERIA" WILL BE RESPONSIBLE FOR CONSTRUCTING ITEMS SUCH AS: STOREFRONTS INCLUDING ENTRANCES AND GLAZED AREAS, AWNINGS, CANOPIES, PARAPET EXTENSIONS, EXTERIOR SIGNAGE AND FULL FACADE AREAS ON BUILDING 'B' IN ACCORDANCE WITH "THE MALL NEIGHBORHOOD DESIGN GUIDELINES" AS WELL AS "THE MALL IN COLUMBIA - OUTDOOR SHOPS SUPPLEMENTAL TENANT CRITERIA".

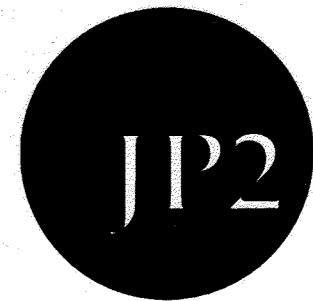
ALL ROOF-TOP MECHANICAL EQUIPMENT WILL BE SCREENED FROM AMENITY SPACE VIEW WITH PARAPETS

ALL STOREFRONTS, TO BE CONSTRUCTED BY TENANTS, WILL COMPLY WITH "THE MALL NEIGHBORHOOD DESIGN GUIDELINES".

AS-BUILT CERTIFICATION FOR PSWM
 Note: There is no "AS-Built" information provided on this sheet.

The design is in compliance with The Mall in Columbia Neighborhood Design Guidelines- Downtown Columbia.

AS-BUILT



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APPROVED: DEPARTMENT OF PLANNING AND ZONING
 Chief, Development Engineering Division
 Chief, Division of Land Development
 Director
 Date: 1/31/13
 Date: 4-09-13
 Date: 4/11/13

CENTURY ENGINEERING
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 10710 Gilroy Road, Hunt Valley, MD 21031
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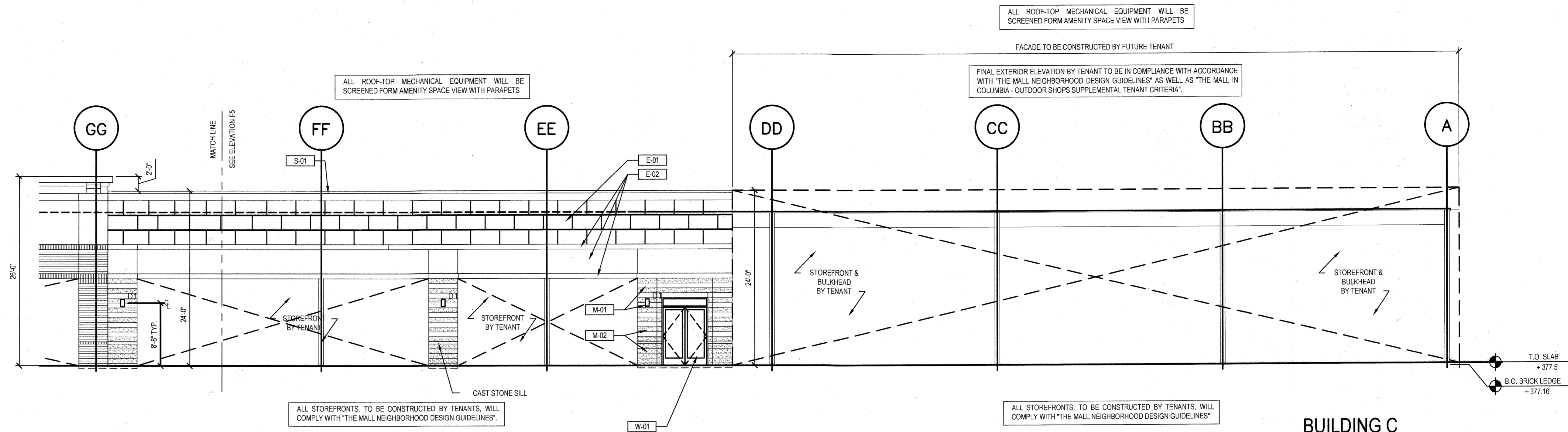
DESIGN BY:	M.J.P.	DATE:	9/5/09
DRAWN BY:	M.S.S.		
CHECKED BY:			
DATE:			
BY:	NO.	REVISION	DATE

DEVELOPER
GENERAL GROWTH PROPERTIES
 10440 LITTLE PATUXENT PARKWAY, SUITE 1000
 COLUMBIA, MARYLAND 21044
 410-992-6000

BUILDING B ELEVATIONS
THE MALL IN COLUMBIA
 COLUMBIA TOWN CENTER
 TAX MAP: 30, 36 LOT: 47 PARCEL: 460
 ELECTION DISTRICT 5 HOWARD COUNTY, MARYLAND
 SHEET 50 OF 77

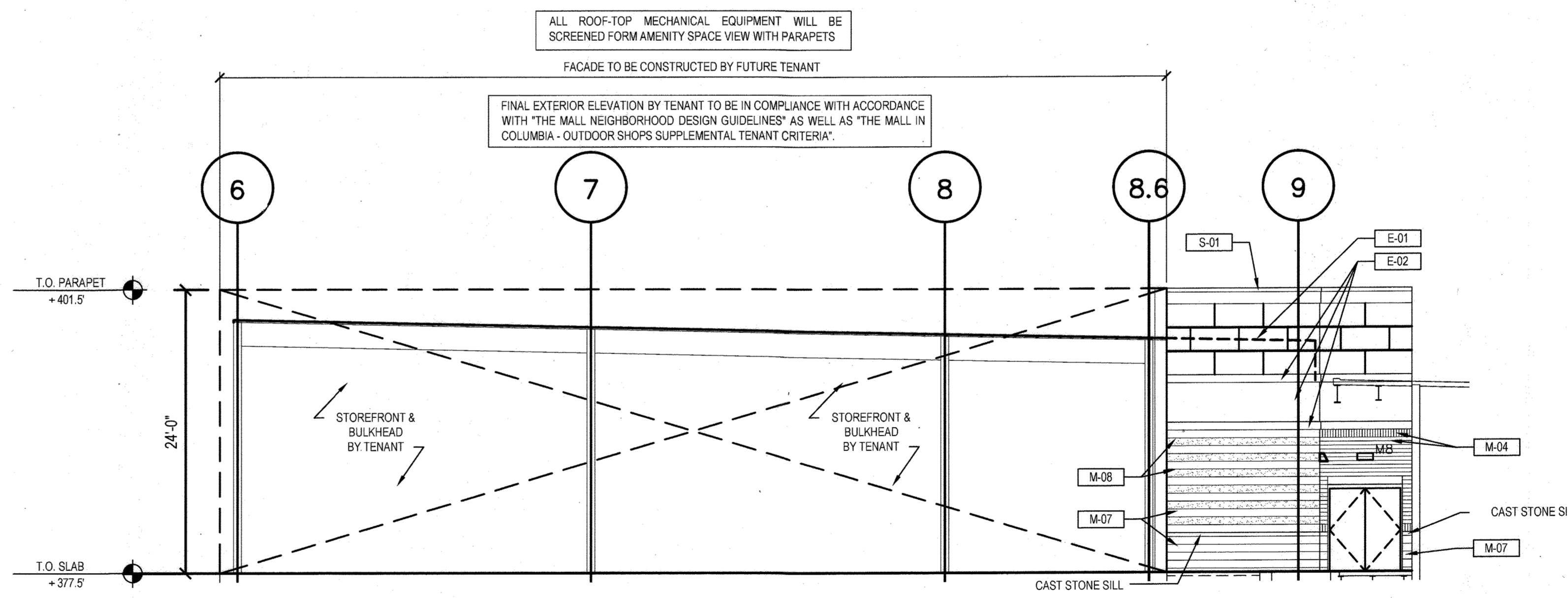
C.E.I. PROJECT NUMBER
28141.02

SCALE:



**BUILDING C
PARTIAL NORTH ELEVATION**
Scale: 1/8" = 1'-0"

EXTERIOR MATERIAL SCHEDULE	
DESIG.	
E-01	EXTERIOR INSULATION FINISH SYSTEM (EIFS): DRYVIT: 434a CHLOE
E-02	EXTERIOR INSULATION FINISH SYSTEM (EIFS): DRYVIT: 465b HEIRLOOM
E-03	EXTERIOR INSULATION FINISH SYSTEM (EIFS): DRYVIT: 105 SUEDE
E-04	EXTERIOR INSULATION FINISH SYSTEM (EIFS): DRYVIT: 453a STAINLESS
E-05	EXTERIOR INSULATION FINISH SYSTEM (EIFS): DRYVIT: 461 TOAST
E-06	EXTERIOR INSULATION FINISH SYSTEM (EIFS): DRYVIT: 107 SUNSET YELLOW
M-01	MANUFACTURED STONE CLADDING SYSTEM - ARRISCRAFT - COLOR TO MATCH EXISTING GARAGE STAIR TOWER (SANDBLAST FINISH)
M-02	MANUFACTURED STONE CLADDING SYSTEM - ARRISCRAFT (ROCKED FINISH): SANDRIFT / ALTERNATE COLOR: WHEAT
M-03	MASONRY STARTER COURSE - ARRISCRAFT - ADAIR LIMESTONE
M-04	BRICK VENEER MASONRY - GLEN-GERY - PLUM IRONSPOT (MODULAR)
M-05	BRICK VENEER MASONRY - GLEN-GERY - TAWNY BEIGE (MODULAR)
M-06	STONE VENEER - LANDMARK STONE - MOUNTAIN LEDGE - WHEAT
M-07	SPLIT-FACE CMU VENEER - TRENWYTH: CAMBRIDGE
M-08	GROUND-FACE CMU VENEER - TRENDSTONE BY TRENWYTH: CAMBRIDGE
M-09	MANUFACTURED STONE SILL - ARRISCRAFT - SANDRIFT
M-10	PRECAST WALL CAP
P-01	BENJAMIN MOORE - EXTERIOR COLUMNS: MILKY WAY
P-02	BENJAMIN MOORE - STEEL CHANNEL AT ENTRY: COLOR TBD
P-03	BENJAMIN MOORE - MISC. METALS: GLOUCESTER SAGE
S-01	COPING: ALUMINUM - SANDSTONE
S-02	METAL CANOPY
W-01	ALUMINUM STOREFRONT ENTRY SYSTEM



**BUILDING C
WEST ELEVATION**
Scale: 1/8" = 1'-0"

THESE ELEVATIONS REPRESENT THE PORTION OF BUILDING CONSTRUCTION UNDER THE CONTROL OF THE CLIENT AT THE TIME OF SUBMISSION FOR BUILDING PERMIT. FUTURE TENANTS, IN ACCORDANCE WITH "THE MALL IN COLUMBIA - OUTDOOR SHOPS SUPPLEMENTAL TENANT CRITERIA" WILL BE RESPONSIBLE FOR CONSTRUCTING ITEMS SUCH AS STOREFRONTS INCLUDING ENTRANCES AND GLAZED AREAS, AWNINGS, CANOPIES, PARAPET EXTENSIONS, EXTERIOR SIGNAGE AND FULL FACADE AREAS AS INDICATED ON BUILDING "C" IN ACCORDANCE WITH "THE MALL IN COLUMBIA - OUTDOOR SHOPS SUPPLEMENTAL TENANT CRITERIA".

AS-BUILT CERTIFICATION FOR PSWM
Note: There is no "AS-Built" information provided on this sheet.

The design is in compliance with The Mall in Columbia Neighborhood Design Guidelines- Downtown Columbia.

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APPROVED: DEPARTMENT OF PLANNING AND ZONING
[Signature]
 Chief, Development Engineering Division
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 Chief, Division of Land Development
[Signature]
 Director

Date: 4-09-13
 Date: 4/11/13
 Date: 4/11/13

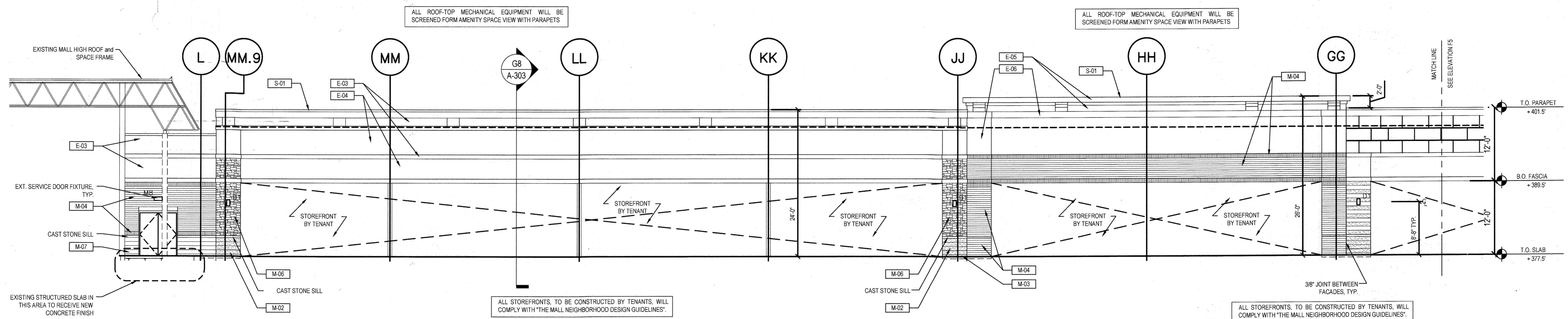
CENTURY ENGINEERING
CONSULTING ENGINEERS - PLANNERS
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DESIGN BY:	CEJ 3/A AS BUILT	9/5/12
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CHECKED BY:		
DATE:		
BY	NO.	REVISION
		DATE

DEVELOPER
GENERAL GROWTH PROPERTIES
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COLUMBIA, MARYLAND 21044
410-992-6000

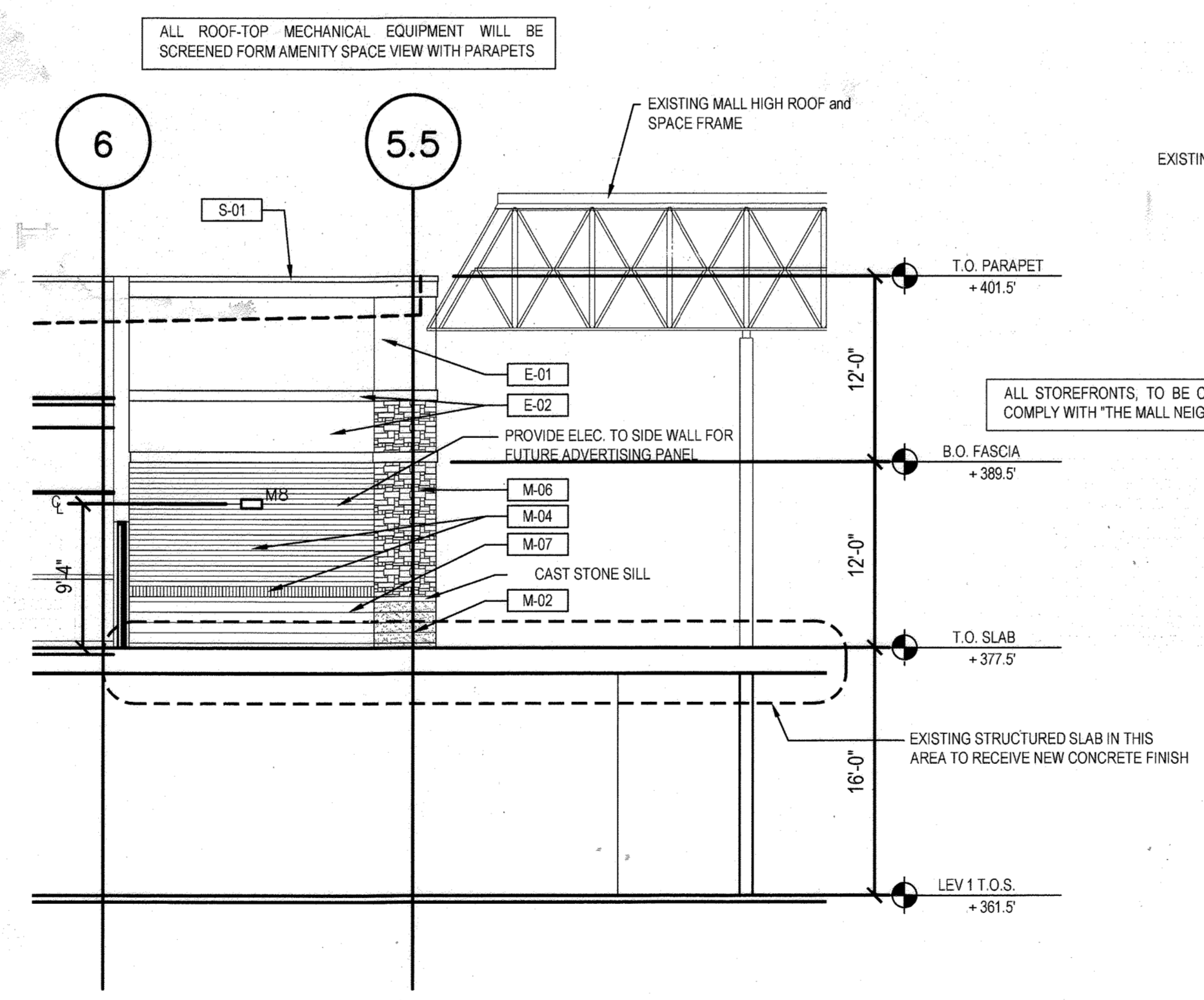
BUILDING C ELEVATIONS
THE MALL IN COLUMBIA
COLUMBIA TOWN CENTER
TAX MAP: 30, 36 LOT: 47 PARCEL: 460
ELECTION DISTRICT 5 HOWARD COUNTY, MARYLAND
SHEET 51 OF 73

C.E.I. PROJECT NUMBER
28141.02
SCALE:

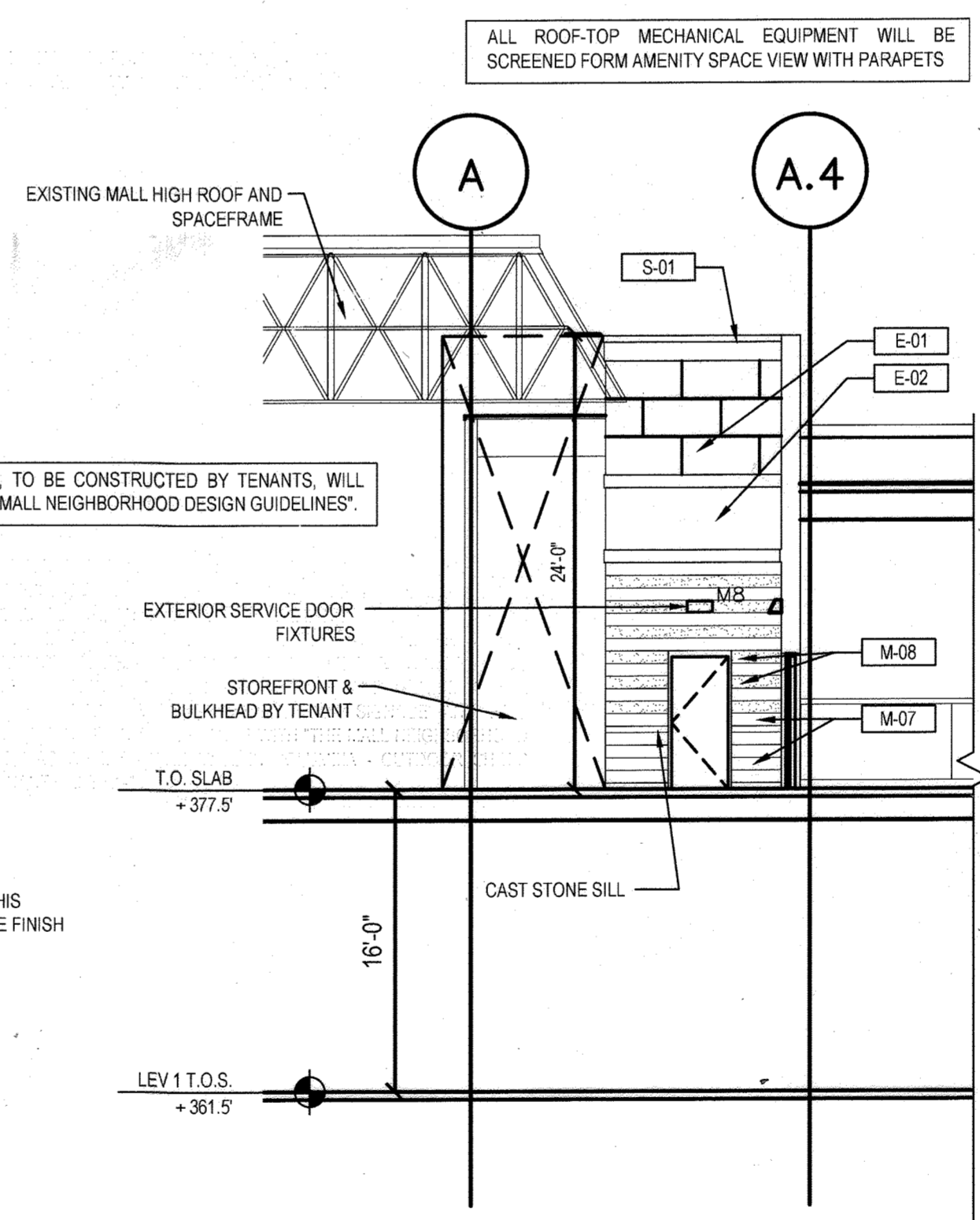


1 BUILDING C PARTIAL NORTH ELEVATION
Scale: 1/8" = 1'-0"

EXTERIOR MATERIAL SCHEDULE	
DESIG.	
E-01	EXTERIOR INSULATION FINISH SYSTEM (EIFS): DRYVIT: 434a CHLOE
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M-04	BRICK VENEER MASONRY - GLEN-GERY - PLUM IRONSPOT (MODULAR)
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P-03	BENJAMIN MOORE - MISC. METALS : GLOUCESTER SAGE
S-01	COPING : ALUMINUM - SANDSTONE
S-02	METAL CANOPY
W-01	ALUMINUM STOREFRONT ENTRY SYSTEM



3 BUILDING C EAST ELEVATION
Scale: 1/8" = 1'-0"



2 BUILDING C SOUTH ELEVATION
Scale: 1/8" = 1'-0"

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ALL ROOF-TOP MECHANICAL EQUIPMENT WILL BE SCREENED FORM AMENITY SPACE VIEW WITH PARAPETS

ALL STOREFRONTS, TO BE CONSTRUCTED BY TENANTS, WILL COMPLY WITH 'THE MALL NEIGHBORHOOD DESIGN GUIDELINES'.

AS-BUILT CERTIFICATION FOR PSWM
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APPROVED: DEPARTMENT OF PLANNING AND ZONING
Chief, Development Engineering Division
Chief, Division of Land Development
Director

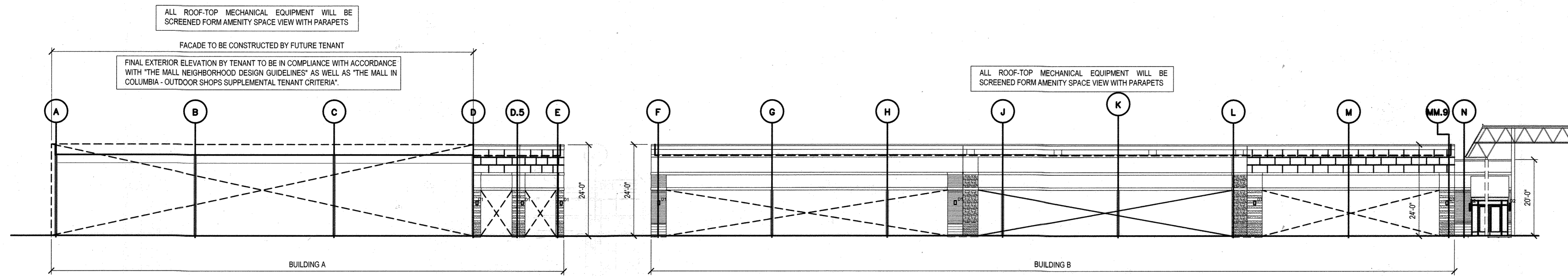
CENTURY ENGINEERING
CONSULTING ENGINEERS - PLANNERS
10710 Gilroy Road, Hunt Valley, MD 21031
Phone: 443.589.2400 Fax: 443.589.2401

DESIGN BY:	CEJ	3/A	AJ- BUILT	9-2-13
DRAWN BY:	M.J.P.			
CHECKED BY:	M.S.S.			
DATE:				
BY	NO.	REVISION	DATE	

DEVELOPER
GENERAL GROWTH PROPERTIES
10440 LITTLE PATUXENT PARKWAY, SUITE 1000
COLUMBIA, MARYLAND 21044
410-992-8000

THE MALL IN COLUMBIA
COLUMBIA TOWN CENTER
TAX MAP: 30, 36 LOT: 47 PARCEL: 460
ELECTION DISTRICT 5 HOWARD COUNTY, MARYLAND
SHEET 52 OF 73

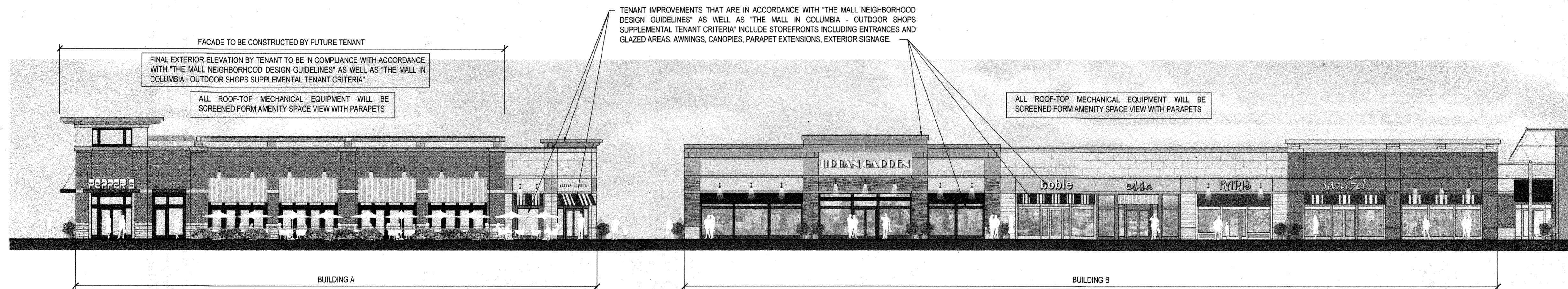
C.E.I. PROJECT NUMBER **28141.02**
SCALE:



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1 BUILDINGS A & B
NORTH ELEVATION, SHELL ONLY
Scale: 1/16" = 1'-0"



THIS RENDERED ELEVATION IS A REPRESENTATION OF THE COMPLETED BUILDING SHOWING BASE BUILDING CONSTRUCTION BY THE OWNER AS WELL AS TENANT IMPROVEMENTS THAT ARE IN ACCORDANCE WITH "THE MALL NEIGHBORHOOD DESIGN GUIDELINES" AS WELL AS "THE MALL IN COLUMBIA - OUTDOOR SHOPS SUPPLEMENTAL TENANT CRITERIA". TENANTS ARE RESPONSIBLE FOR CONSTRUCTING ITEMS SUCH AS: STOREFRONTS INCLUDING ENTRANCES AND GLAZED AREAS, AWNINGS, CANOPIES, PARAPET EXTENSIONS, EXTERIOR SIGNAGE AND FULL FACADE AREAS AS INDICATED ON BUILDING 'A' IN ACCORDANCE WITH "THE MALL NEIGHBORHOOD DESIGN GUIDELINES" AS WELL AS "THE MALL IN COLUMBIA - OUTDOOR SHOPS SUPPLEMENTAL TENANT CRITERIA".

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2 BUILDINGS A & B
NORTH ELEVATION AFTER FULL TENANT FIT OUT
Scale: 1/16" = 1'-0"



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The design is in compliance with The Mall in Columbia Neighborhood Design Guidelines- Downtown Columbia.



AS-BUILT

APPROVED: DEPARTMENT OF PLANNING AND ZONING
[Signature] 4/2/13
 Chief, Development Engineering Division
[Signature] 4-09-13
 Chief, Division of Land Development
[Signature] 4/11/13
 Director

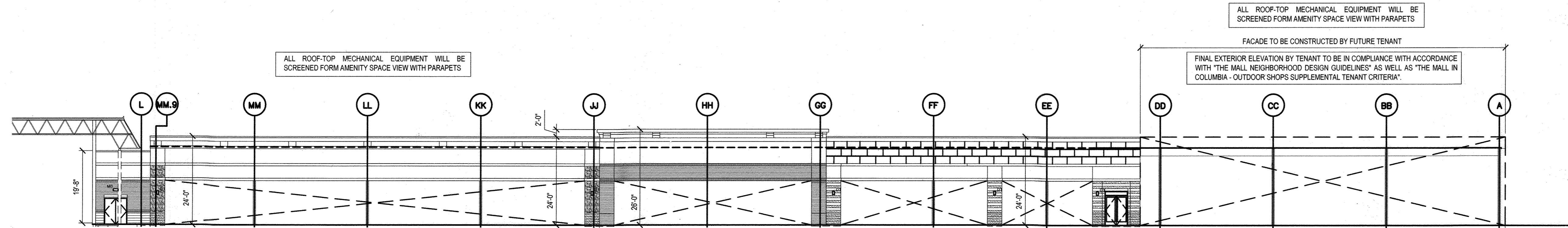
CENTURY ENGINEERING
CONSULTING ENGINEERS - PLANNERS
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DESIGN BY:	M.J.P.	9/5/18
DRAWN BY:	M.S.S.	
CHECKED BY:		
DATE:		
BY	NO.	REVISION

AS-BUILT INFORMATION FOR PSWM
 INFORMATION PROVIDED ON THIS SHEET.
 DEVELOPER
GENERAL GROWTH PROPERTIES
 10440 LITTLE PATUXENT PARKWAY, SUITE 1000
 COLUMBIA, MARYLAND 21044
 410-992-6000

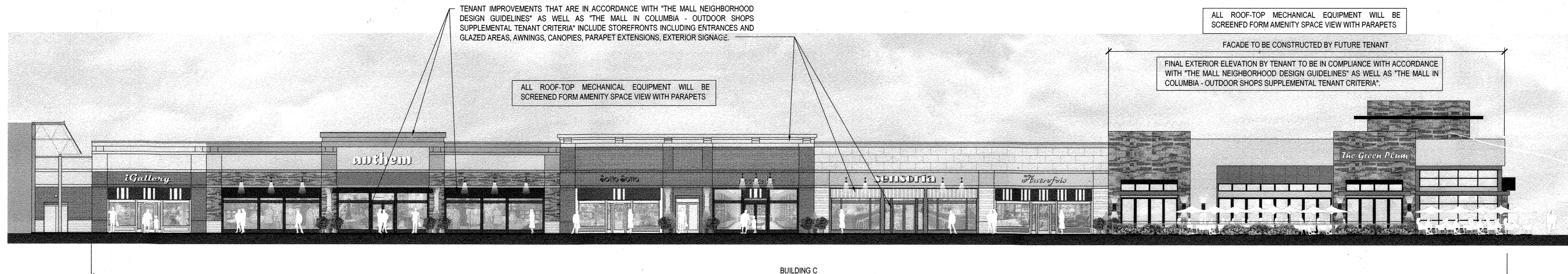
DAP PRESENTATION ELEVATIONS
THE MALL IN COLUMBIA
 COLUMBIA TOWN CENTER
 TAX MAP: 30, 36 LOT: 47 PARCEL: 480
 ELECTION DISTRICT 5 HOWARD COUNTY, MARYLAND
 SHEET 53 OF 73

C.E.I. PROJECT NUMBER
28141.02
SCALE:



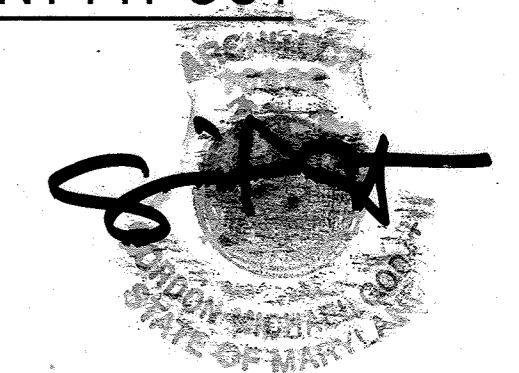
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1 BUILDING C
SOUTH ELEVATION, SHELL ONLY
Scale: 1/16" = 1'-0"

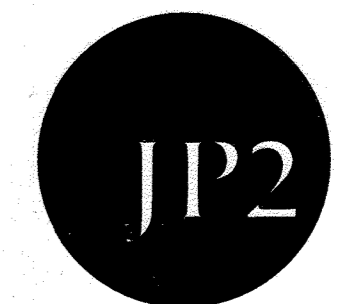


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2 BUILDING C
SOUTH ELEVATION AFTER FULL TENANT FIT OUT
Scale: 1/16" = 1'-0"



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AS-BUILT CERTIFICATION FOR PSWM
Note: There is no "AS-Built" information provided on this sheet.

APPROVED: DEPARTMENT OF PLANNING AND ZONING
[Signature]
Chief, Development Engineering Division
[Signature]
Chief, Division of Land Development
[Signature]
Director

Date: 1/31/13
Date: 4-09-13
Date: 2/11/14

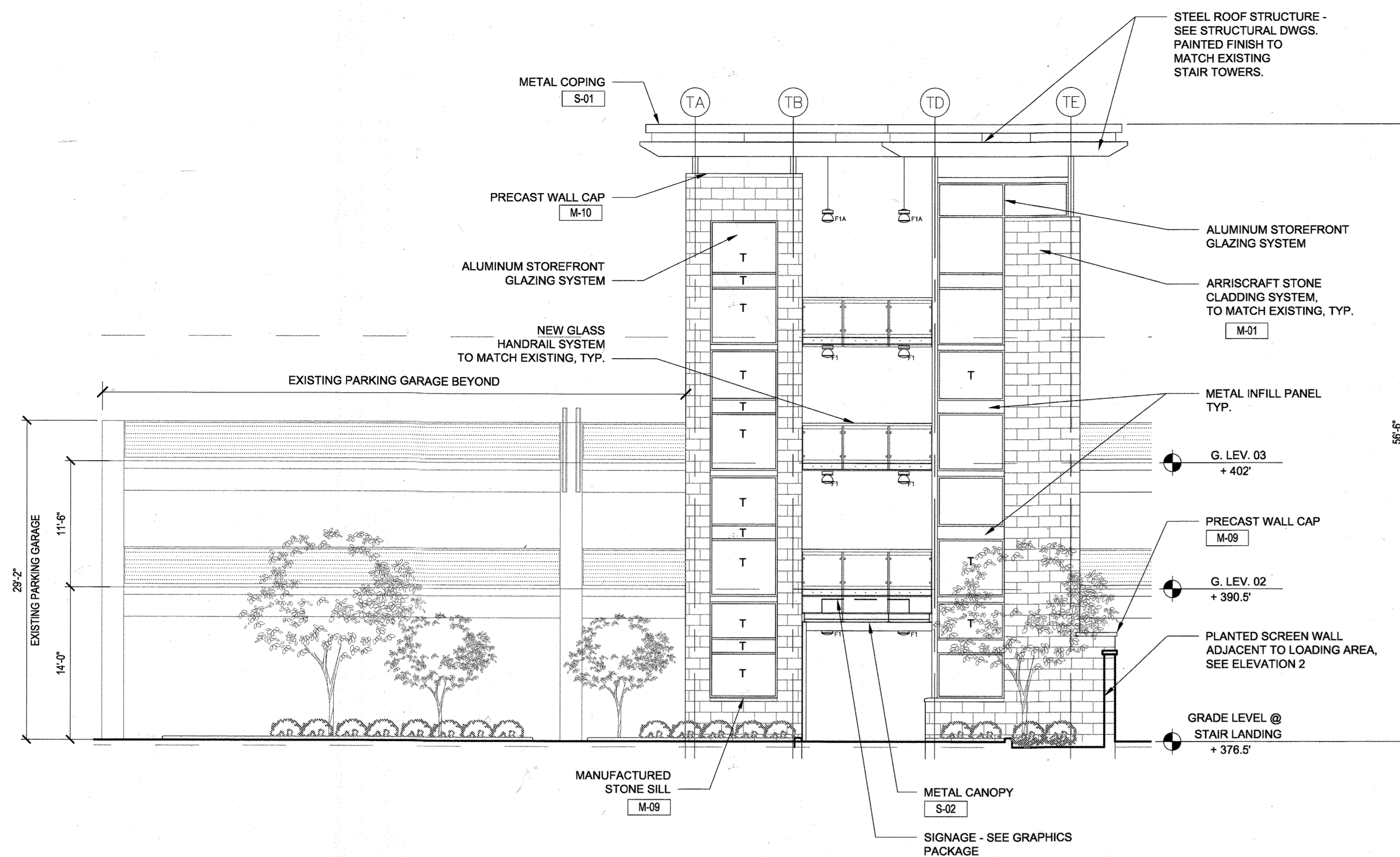
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DESIGN BY:	CEJ 30	AS-BUILT	9/5/13
DRAWN BY:	M.J.P.		
CHECKED BY:	M.S.S.		
DATE:			
BY	NO.	REVISION	DATE

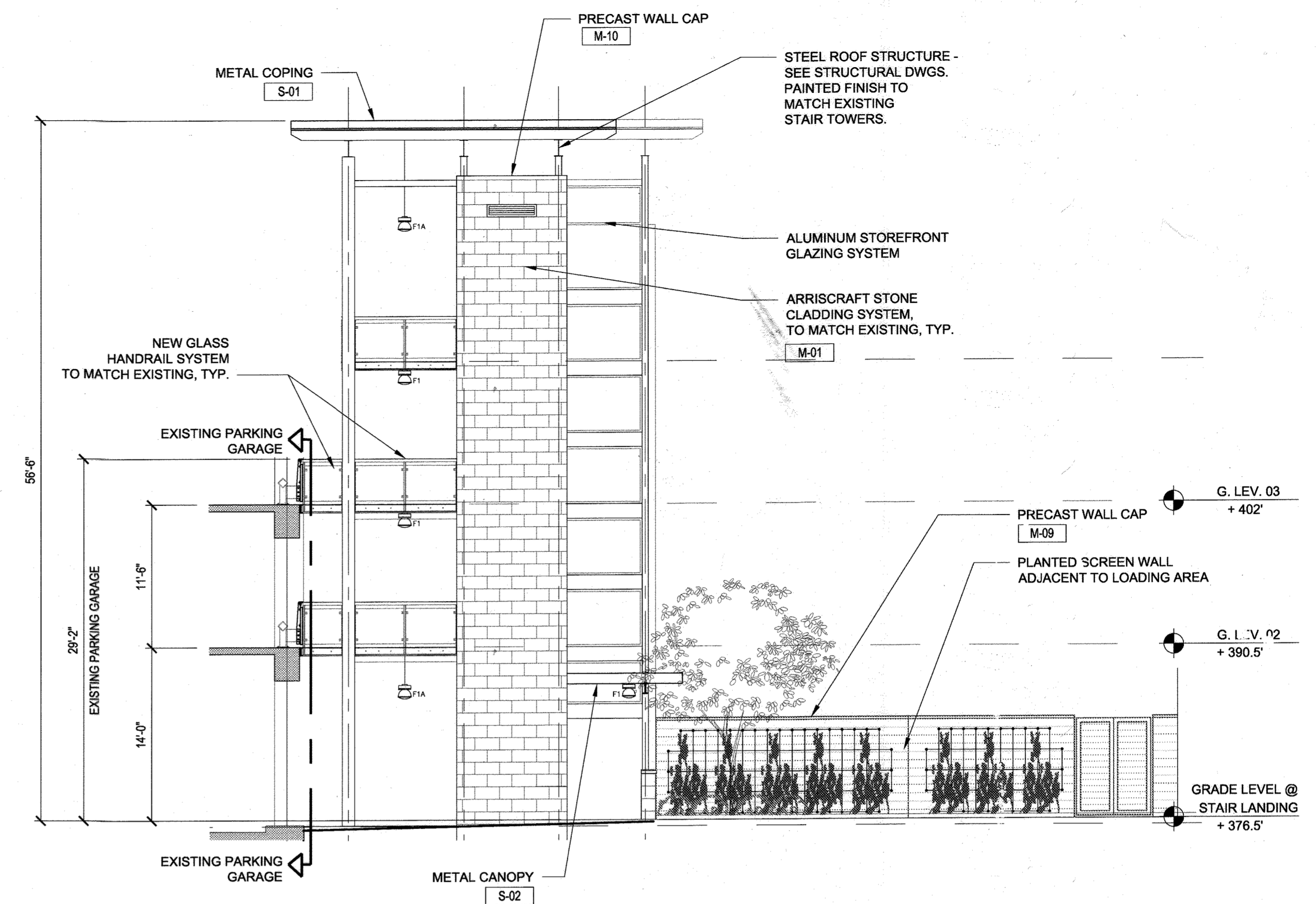
DEVELOPER
GENERAL GROWTH PROPERTIES
10440 LITTLE PATUXENT PARKWAY, SUITE 1000
COLUMBIA, MARYLAND 21044
410-992-6000

AS-BUILT DAP PRESENTATION ELEVATIONS
THE MALL IN COLUMBIA
COLUMBIA TOWN CENTER
TAX MAP: 30, 36 LOT: 47 PARCEL: 460
ELECTION DISTRICT 5 HOWARD COUNTY, MARYLAND
SHEET 54 OF 73

C.E.I. PROJECT NUMBER
28141.02
SCALE:



1 GARAGE ELEVATOR TOWER SOUTH ELEVATION
Scale: 1/8" = 1'-0"

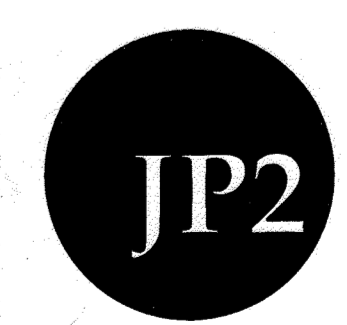


2 GARAGE ELEVATOR TOWER EAST ELEVATION
Scale: 1/8" = 1'-0"

EXTERIOR MATERIAL SCHEDULE	
DESIG.	
E-01	EXTERIOR INSULATION FINISH SYSTEM (EIFS): DRYVIT: 434a CHLOE
E-02	EXTERIOR INSULATION FINISH SYSTEM (EIFS): DRYVIT: 465b HEIRLOOM
E-03	EXTERIOR INSULATION FINISH SYSTEM (EIFS): DRYVIT: 105 SUEDE
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M-01	MANUFACTURED STONE CLADDING SYSTEM - ARRISCRAFT : COLOR TO MATCH EXISTING GARAGE STAIR TOWER (SANDBLAST FINISH)
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P-03	BENJAMIN MOORE - MISC. METALS : GLOUCESTER SAGE
S-01	COPING : ALUMINUM - SANDSTONE
S-02	METAL CANOPY
W-01	ALUMINUM STOREFRONT ENTRY SYSTEM



The design is in compliance with The Mall in Columbia Neighborhood Design Guidelines- Downtown Columbia.



JP2 ARCHITECTS
2835 O'Donnell Street, Suite 300
Baltimore, MD 21224
t 410.276.7470
f 410.276.7471
www.jp2architects.com

AS-BUILT CERTIFICATION FOR PSWM
Note: There is no "AS-Built" information provided on this sheet.

APPROVED: DEPARTMENT OF PLANNING AND ZONING
Chief, Development Engineering Division
Chief, Division of Land Development
Director

Date: 1/4/13
Date: 4-09-13
Date: 4/11/13

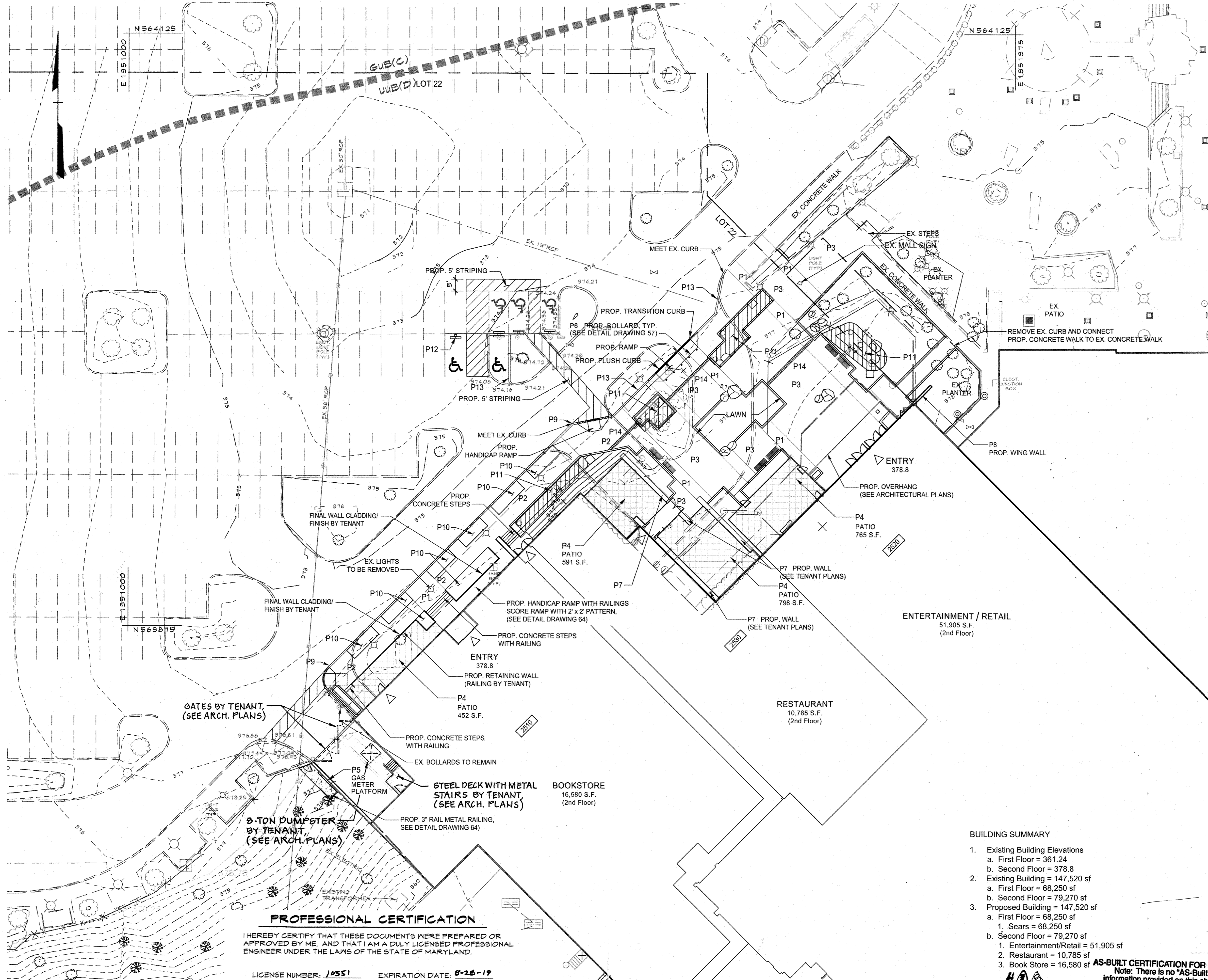
CENTURY ENGINEERING
CONSULTING ENGINEERS - PLANNERS
10710 Gilroy Road, Hunt Valley, MD 21031
Phone: 443.589.2400 Fax: 443.589.2401

DESIGN BY:	M. J. P.	DATE:	9-3-18
DRAWN BY:	M. S. S.	BY:	
CHECKED BY:		NO.	
DATE:		REVISION	

DEVELOPER
GENERAL GROWTH PROPERTIES
10440 LITTLE PATUXENT PARKWAY, SUITE 1000
COLUMBIA, MARYLAND 21044
410-992-6000

AS-BUILT GARAGE TOWER
THE MALL IN COLUMBIA
COLUMBIA TOWN CENTER
TAX MAP: 30, 36 LOT: 47 PARCEL: 480
ELECTION DISTRICT 5 HOWARD COUNTY, MARYLAND
SHEET 55 OF 73

C.E.I. PROJECT NUMBER
28141.02
SCALE:



LEGEND

- 676 --- Existing Minor Contour
- 670 --- Existing Major Contour
- - - - - Existing Edge of Road
- Soil Line
- EX. 15" D. Existing Storm Drain and Inlet
- EX. 12" W. Existing Water and Fire Hydrant
- EX. 8" S. Existing Sewer
- Existing Curb and Gutter
- Existing Tree Line
- Existing Drive
- Tract Boundary
- Utility Easement Line
- Existing Building
- Proposed Building
- Proposed Grades
- Proposed Sewer
- Proposed Water and Fire Hydrant
- Proposed Storm Drain and Inlets
- Proposed Curb & Gutter
- Proposed Bench (see Sheet 38)
- Proposed Boulders (see Sheet 35)
- Proposed ESD Plantings
- Proposed Patio

HARDSCAPE LEGEND

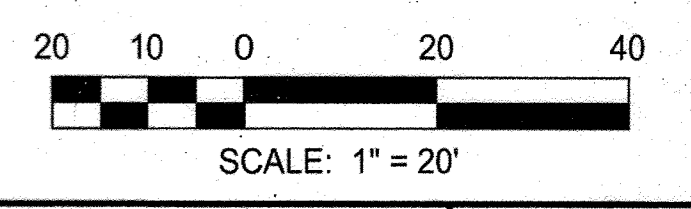
- P1 Proposed Concrete Banding 12", 18", or 24" wide concrete band with decorative scoring, (see landscape drawing)
- P2 Proposed Concrete Paving concrete paving with decorative scoring (see landscape drawing)
- P3 Proposed Concrete Paving (see landscape drawing)
- P4 Proposed Tenant Seating Area
- P5 Proposed Gas Meter Platform
- P6 Proposed Bollard (see drawing 55a for detail)
- P7 Proposed Walls (see tenant drawings)
- P8 Proposed Wing Wall (see architectural drawings)
- P9 Proposed 6" Curb and Gutter. Paint Red and label Fire Lane
- P10 Proposed Planters
- P11 Proposed Micro-Bioretenation Facilities
- P12 Flexible Handicap Sign Post
- P13 Proposed 6" Curb and Gutter
- P14 Proposed Trench Drain

BUILDING SUMMARY

1. Existing Building Elevations
 - a. First Floor = 361.24
 - b. Second Floor = 378.8
2. Existing Building = 147,520 sf
 - a. First Floor = 68,250 sf
 - b. Second Floor = 79,270 sf
3. Proposed Building = 147,520 sf
 - a. First Floor = 68,250 sf
 1. Sears = 68,250 sf
 - b. Second Floor = 79,270 sf
 1. Entertainment/Retail = 51,905 sf
 2. Restaurant = 10,785 sf
 3. Book Store = 16,580 sf

APPROVED
PLANNING BOARD
of HOWARD COUNTY
 DATE: July 6, 2017

NOTE: See Sheets 58 and 59 for site grading and layout.



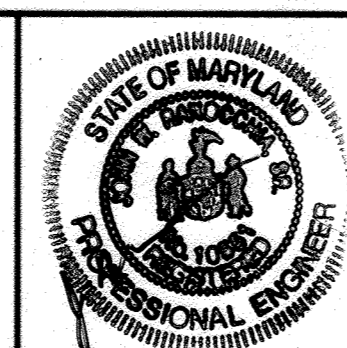
PROFESSIONAL CERTIFICATION

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.

LICENSE NUMBER: J0551 EXPIRATION DATE: 8-28-19

APPROVED: DEPARTMENT OF PLANNING AND ZONING
 Chief, Development Engineering Division
 Date: 8-31-17
 Chief, Division of Land Development
 Date: 9-5-17
 Director
 Date: 9-5-17

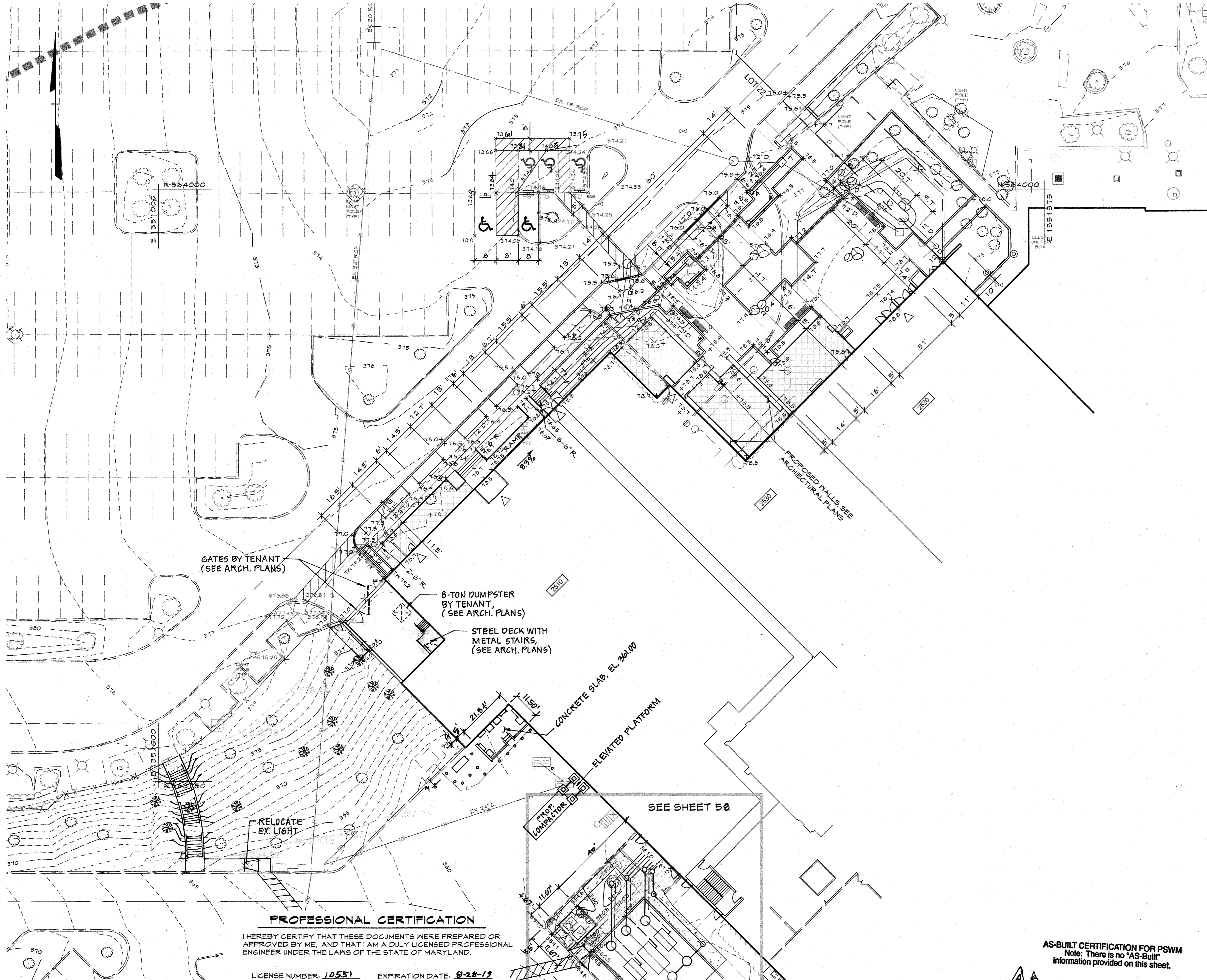
CENTURY ENGINEERING
 CONSULTING ENGINEERS - PLANNERS
 10710 Gilroy Road, Hunt Valley, MD 21031
 Phone: 443.589.2400 Fax: 443.589.2401



DESIGN BY:	M.J.P.
DRAWN BY:	M.S.S.
CHECKED BY:	CEI 4A AS-BUILT
DATE:	8/4/17
BY NO.	CEI 3
REVISION	ADD TENANT 2510 LOADING DOCK DETAILS
DATE	9-5-18

DEVELOPER
GENERAL GROWTH PROPERTIES
 10440 LITTLE PATUXENT PARKWAY, SUITE 1000
 COLUMBIA, MARYLAND 21044
 410-992-6000

REVISED SITE DEVELOPMENT PLAN
 SITE DEVELOPMENT PLAN
THE MALL IN COLUMBIA
 BUILDING EXPANSION COLUMBIA TOWN CENTER
 TAX MAP: 30, 36 LOT: 47 & 22 GRID: 19, 20, 1, 2 ZONED: NT PARCEL: 460 F-04-045
 ELECTION DISTRICT 5 HOWARD COUNTY, MARYLAND
 SHEET 56 OF 73
 C.E.I. PROJECT NUMBER 28141.06
 SCALE: 1" = 20'



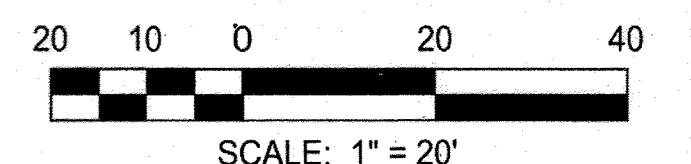
LEGEND

- Existing Minor Contour
- Existing Major Contour
- Existing Edge of Road
- Soil Line
-
-
-
- Existing Curb and Gutter
- Existing Tree Line
- Existing Drive
- Tract Boundary
- Utility Easement Line
- Existing Building
- Proposed Building
- Proposed Grades
- Proposed Sewer
- Proposed Water and Fire Hydrant
- Proposed Storm Drain and Inlets
- Proposed Curb & Gutter
- Limit of Disturbance
- Proposed Bench (see Sheet 35)
- Proposed Boulders (see Sheet 35)
- Proposed Patio

PROFESSIONAL CERTIFICATION
 I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.
 LICENSE NUMBER: 10551 EXPIRATION DATE: 8-28-19

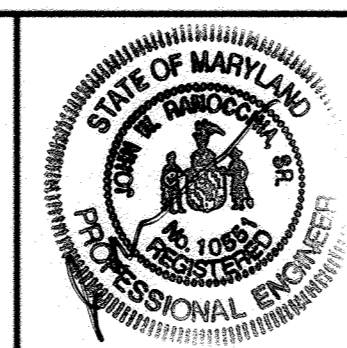
AS-BUILT CERTIFICATION FOR PSWM
 Note: There is no "As-Built" information provided on this sheet.

APPROVED
 PLANNING BOARD
 OF HOWARD COUNTY
 DATE: July 6, 2017



APPROVED: DEPARTMENT OF PLANNING AND ZONING
 Chief, Development Engineering Division
 Chief, Division of Land Development
 Director

CENTURY ENGINEERING
 CONSULTING ENGINEERS - PLANNERS
 10710 Gilroy Road, Hunt Valley, MD 21031
 Phone: 443.589.2400 Fax: 443.589.2401

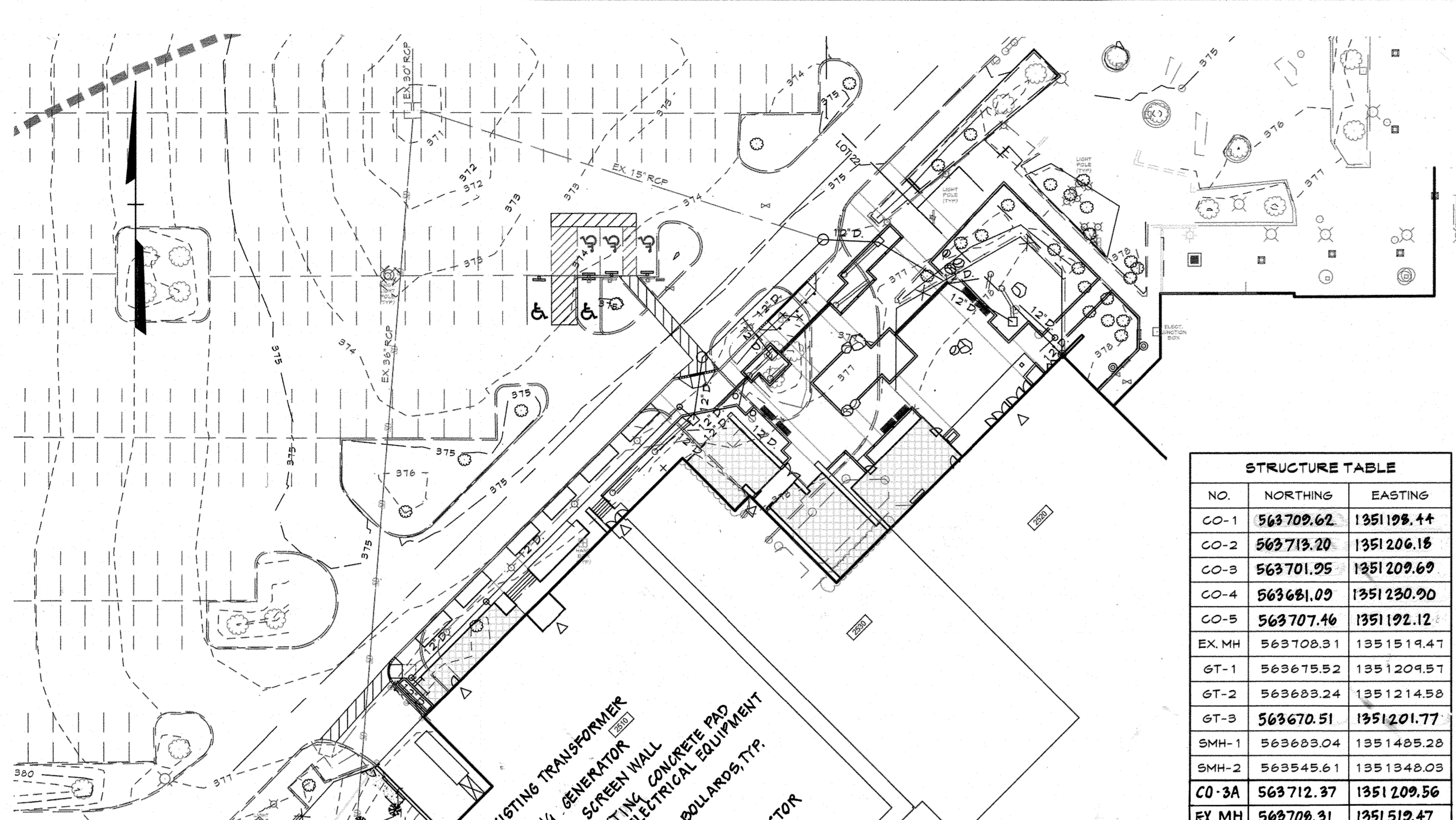


DESIGN BY:	M.J.P.		
DRAWN BY:	M.S.S.		
CHECKED BY:	CEI 4/2	AS-BUILT	9/5/18
	CEI	ADD TENANT 2510 LOADING DOCK DETAILS	3.8.18
	CEI 3	All exterior steps add compactor	9.28.17
DATE:	8/4/17		
BY	NO.	REVISION	DATE

DEVELOPER
GENERAL GROWTH PROPERTIES
 10440 LITTLE PATUXENT PARKWAY, SUITE 1000
 COLUMBIA, MARYLAND 21044
 410-992-6000

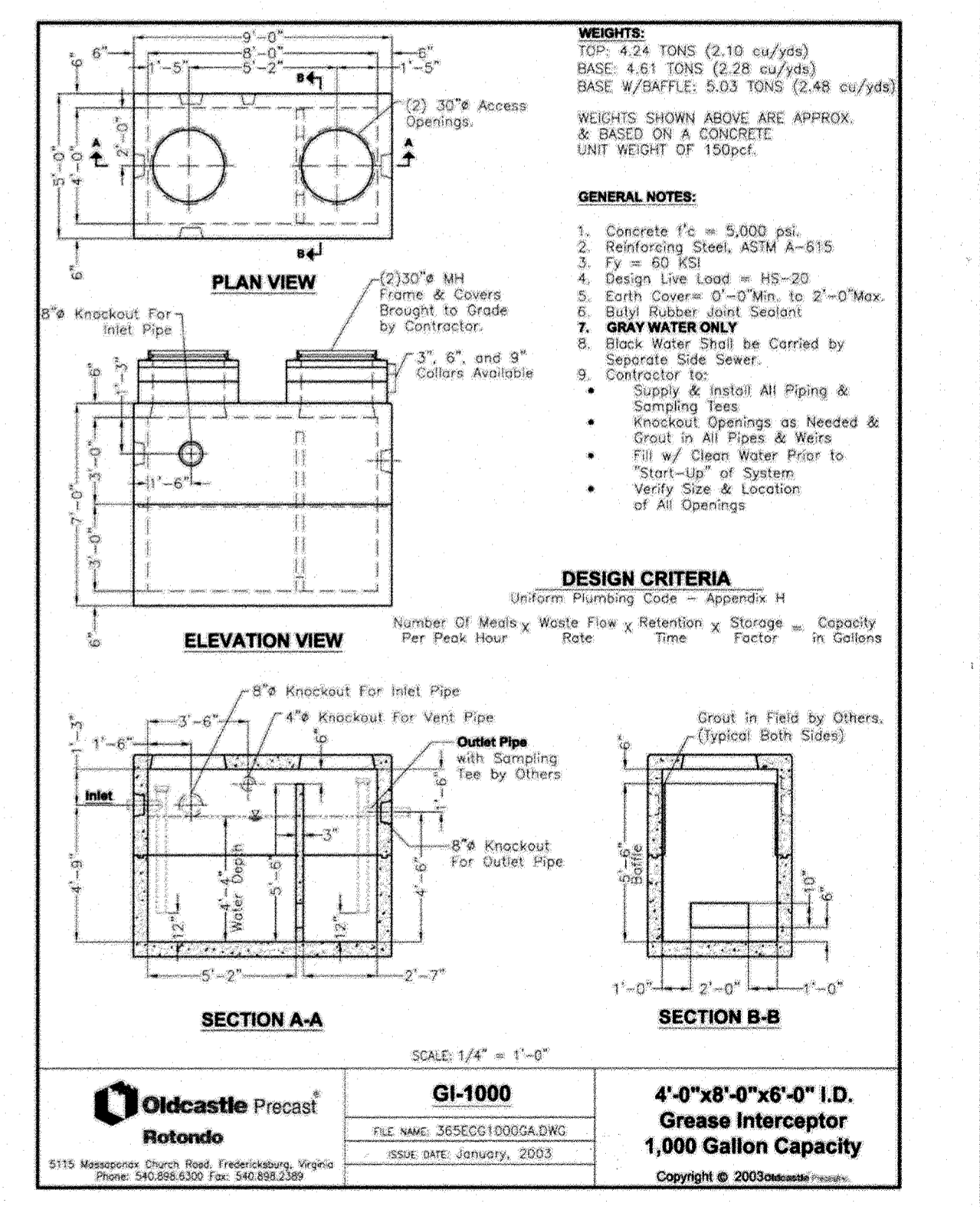
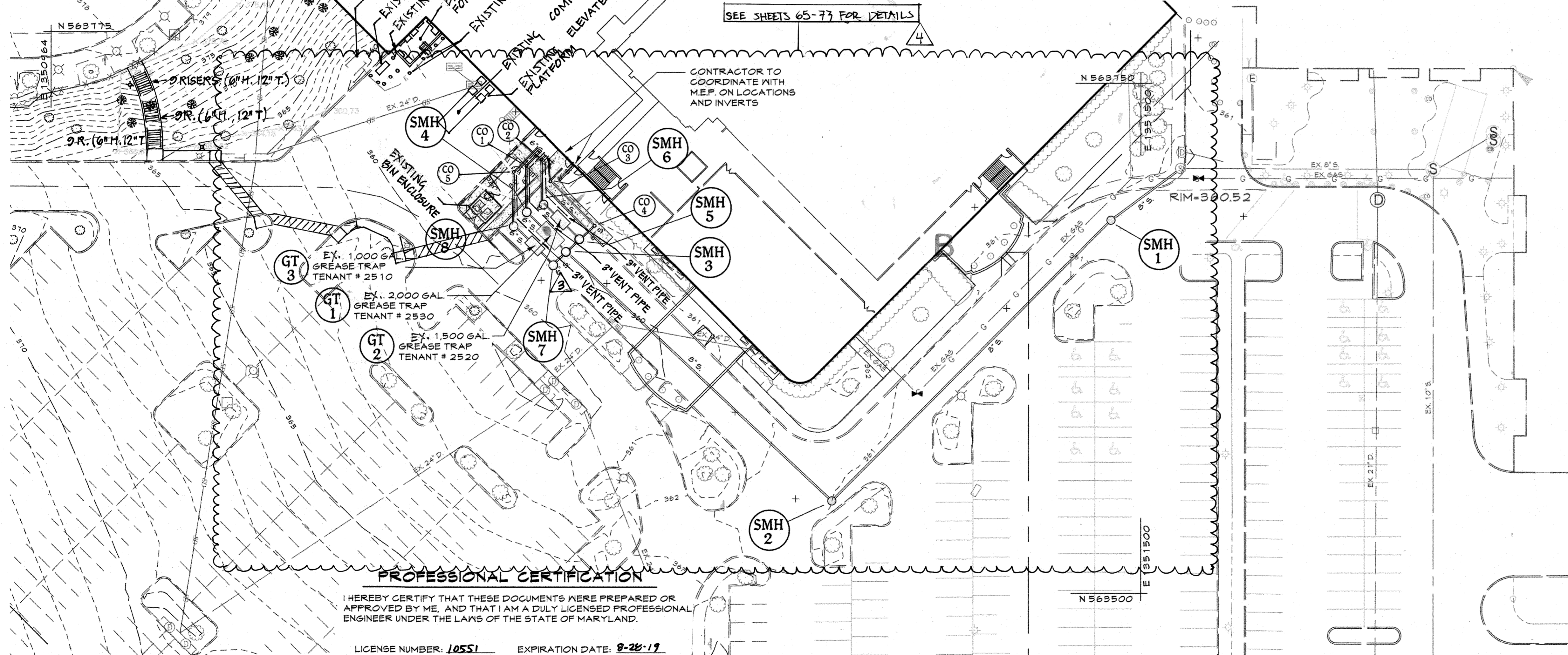
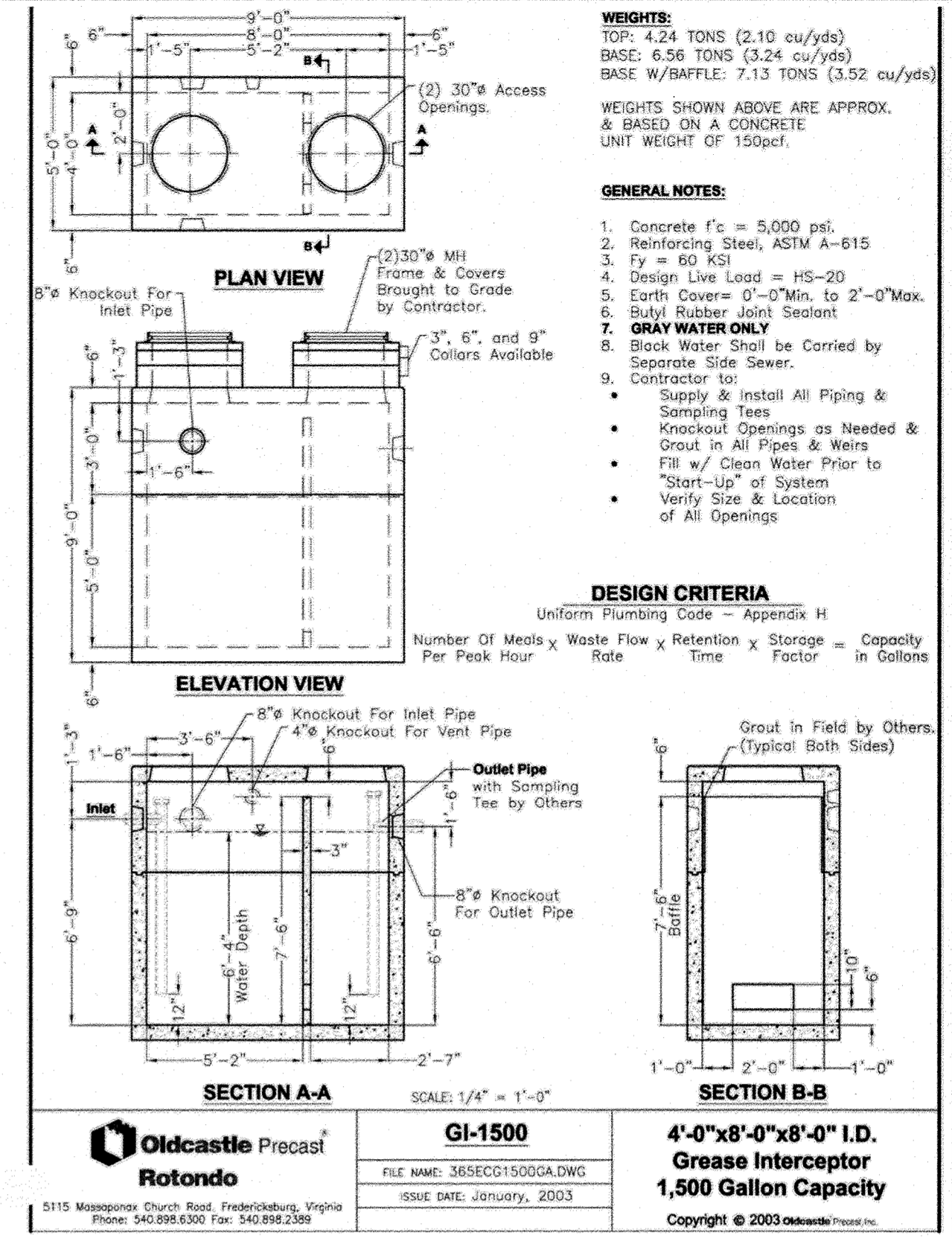
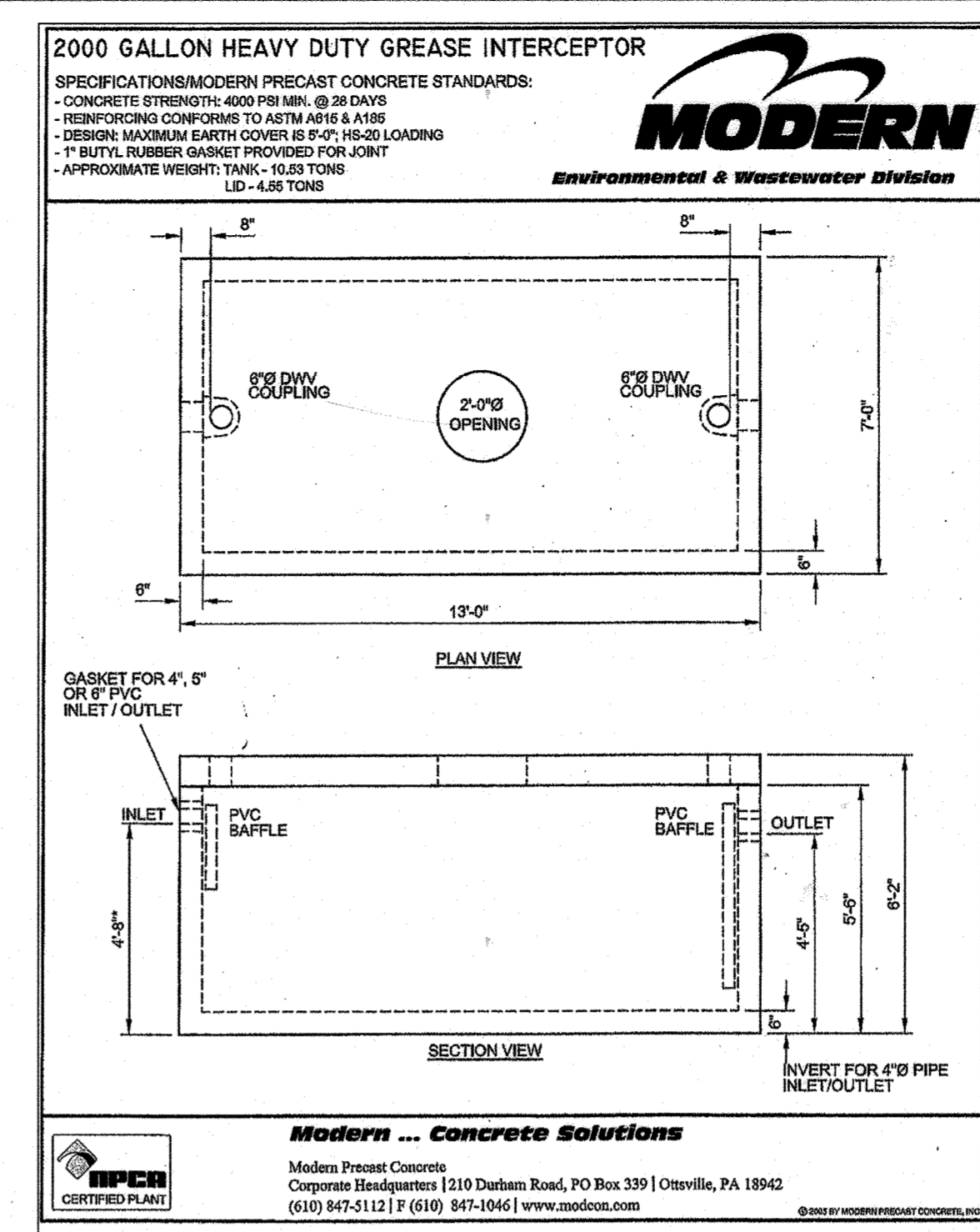
REVISED SITE DEVELOPMENT PLAN
 LAYOUT and GRADING PLAN
THE MALL IN COLUMBIA
 BUILDING EXPANSION COLUMBIA TOWN CENTER
 TAX MAP: 30, 36 LOT: 47 & 22 GRID: 19, 20, 1, 2 ZONED: NT PARCEL: 460 F-04-045
 ELECTION DISTRICT 5 HOWARD COUNTY, MARYLAND
SHEET 57 OF 73

C.E.I. PROJECT NUMBER: 28141.06
 SCALE: 1" = 20'



STRUCTURE TABLE		
NO.	NORTHING	EASTING
CO-1	563709.62	1351198.44
CO-2	563713.20	1351206.18
CO-3	563701.95	1351209.69
CO-4	563681.09	1351230.90
CO-5	563707.46	1351192.12
EX. MH	563708.31	1351519.47
GT-1	563675.52	1351204.57
GT-2	563683.24	1351214.58
GT-3	563670.51	1351201.77
SMH-1	563683.04	1351485.28
SMH-2	563545.61	1351348.03
CO-3A	563712.37	1351209.56
EX. MH	563708.31	1351519.47

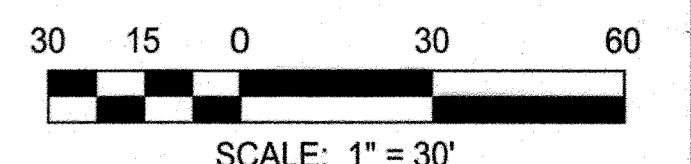
STRUCTURE TABLE		
NO.	NORTHING	EASTING
SMH-3	563667.57	1351217.60
SMH-4	563687.09	1351198.00
SMH-5	563673.99	1351223.92
SMH-6	563691.27	1351206.40
SMH-7	563661.15	1351211.28
SMH-8	563680.46	1351191.65
STUB 1	563717.70	1351206.68
STUB 2	563715.52	1351208.45
STUB 3	563713.57	1351210.74
STUB 4	563719.33	1351204.41



PROFESSIONAL CERTIFICATION
 I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.
 LICENSE NUMBER: 10551 EXPIRATION DATE: 8-26-17

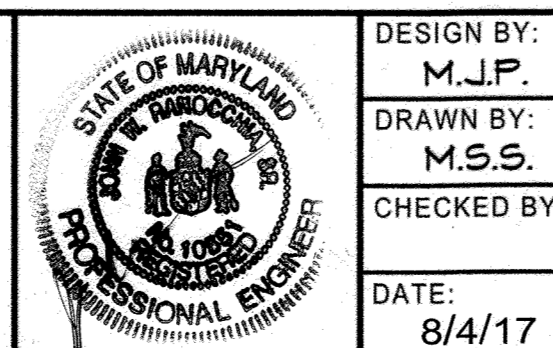
APPROVED
 PLANNING BOARD
 OF HOWARD COUNTY
 DATE: July 6, 2017

AS-BUILT CERTIFICATION FOR PSWM
 Note: There is no "AS-Built" information provided on this sheet.



APPROVED: DEPARTMENT OF PLANNING AND ZONING
 Chief, Development Engineering Division
 Chief, Division of Land Development
 Director

M CENTURY ENGINEERING
 CONSULTING ENGINEERS - PLANNERS
 10710 Gilroy Road, Hunt Valley, MD 21031
 Phone: 443.589.2400 Fax: 443.589.2401

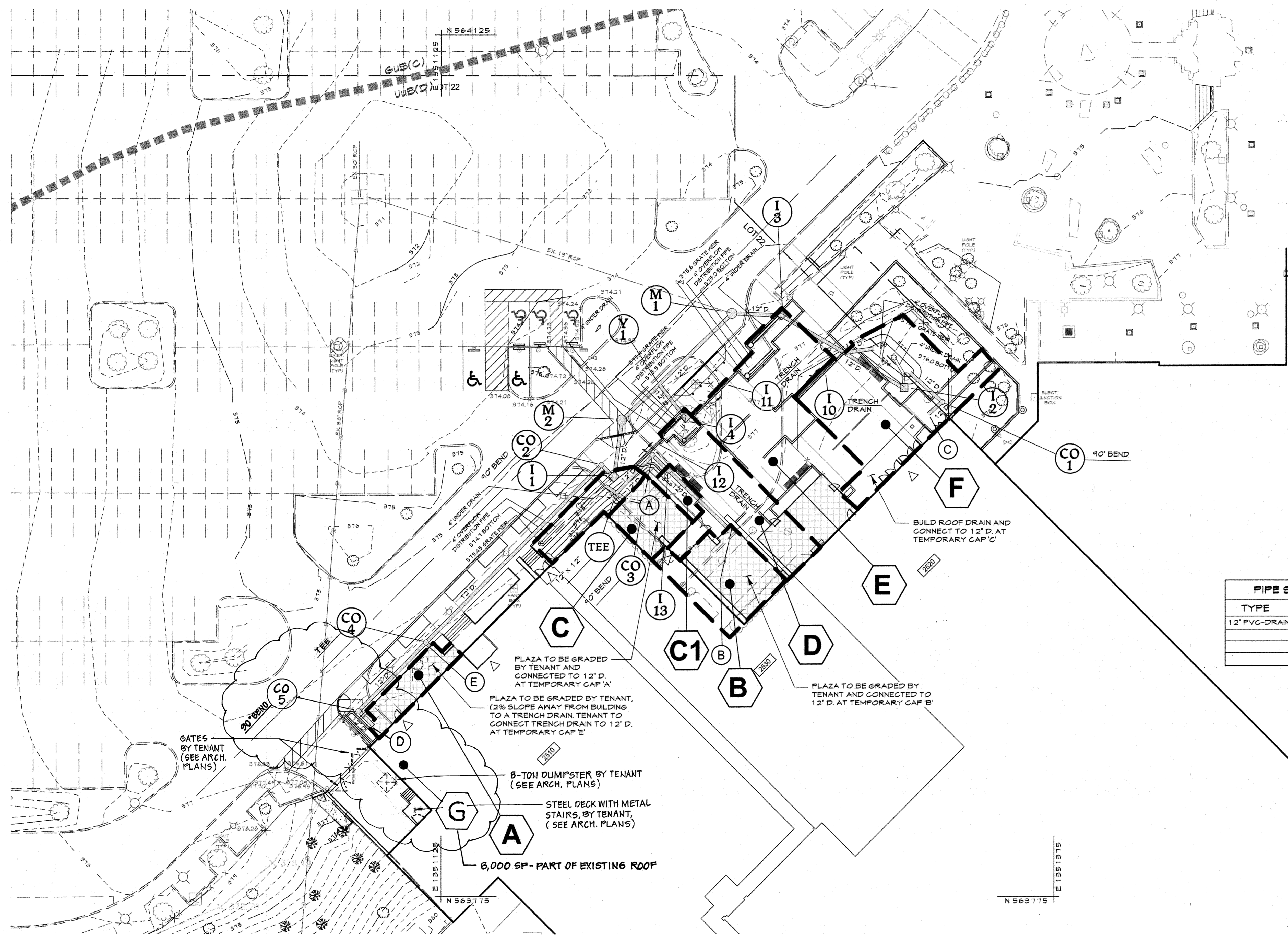


DESIGN BY:	DATE:
M.J.P.	8/4/17
CEI 4	ADDED STORM DRAIN / INLETS, SANITARY LINES, GREASE TRAP
CEI 4	AS-BUILT
CEI 3	ADDED VENT PIPES FROM GREASE INTERCEPTORS TO BUILDING
CEI 3	REVISE LOCATIONS OF CO 1, 2, 3, 5 AND ADDED CO 3A
CEI 3	REVISE LOCATIONS OF MANHOLES 4, 5, 6

DEVELOPER
GENERAL GROWTH PROPERTIES
 10440 LITTLE PATUXENT PARKWAY, SUITE 1000
 COLUMBIA, MARYLAND 21044
 410-992-6000

REVISED SITE DEVELOPMENT PLAN
 UTILITY PLAN - SANITARY SEWER
THE MALL IN COLUMBIA
 BUILDING EXPANSION COLUMBIA TOWN CENTER
 TAX MAP: 30, 36 LOT: 47 & 22 GRID: 19, 20, 1, 2 ZONED: NT PARCEL: 460 F-04-045
 ELECTION DISTRICT 5 HOWARD COUNTY, MARYLAND
 SHEET 58 OF 73

C.E.I. PROJECT NUMBER
 28141.06
 SCALE:
 1" = 30"



STRUCTURE TABLE		
No.	NORTHING	EASTING
M-1	564011.8474	1351243.5623
CO-1	563975.8520	1351329.4266
M-2	563968.5762	1351198.6188
CO-2	563950.2761	1351190.3678
CO-3	563954.2633	1351211.1829
CO-4	563878.1533	1351118.8176
CO-5	563850.16	1351091.19

D.A.	AREA	'C'	% IMPERVIOUS
A	0.01	0.95	100
B	0.02	0.95	100
C	0.01	0.95	100
C1	0.01	0.20	0
D	0.04	0.79	79
E	0.07	0.75	75
F	0.07	0.69	65
G	0.14	0.95	100

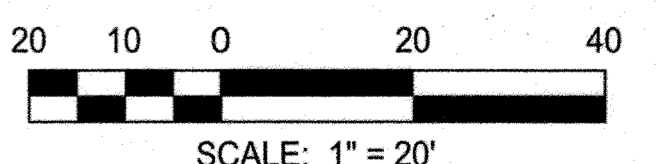
PIPE SCHEDULE	
TYPE	LINER FEET
12" PVC-DRAIN	497

STRUCTURE SCHEDULE			
NO.	TYPE	SIZE	DETAIL
I-1	BEEHIVE GRATE	12"	R-2560
I-2	BEEHIVE GRATE	12"	R-2560
I-3	BEEHIVE GRATE	12"	R-2560
I-4	BEEHIVE GRATE	12"	R-2560
I-10	TRENCH DRAIN	12"	NEENAH R-4996-A1
I-11	TRENCH DRAIN	12"	NEENAH R-4996-A1
I-12	TRENCH DRAIN	12"	NEENAH R-4996-A1
I-13	NYLOPLAST 12" DOME GRATE	12"	PART 12996GD
CO	CLEAN OUT	12"	S-3.21
M-1	STANDARD PRE-CAST MANHOLE	4'-0"	HQ. CO. STD. DETAIL 6.5.12
M-2	STANDARD PRE-CAST MANHOLE	4'-0"	HQ. CO. STD. DETAIL 6.5.12

PROFESSIONAL CERTIFICATION
 I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.
 LICENSE NUMBER: 10551 EXPIRATION DATE: 8-28-19

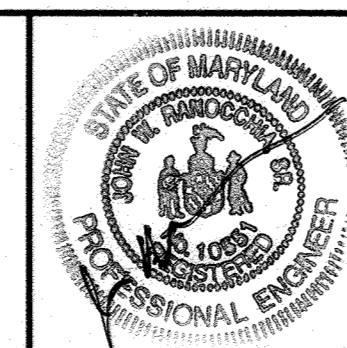
APPROVED
 PLANNING BOARD
 of HOWARD COUNTY
 DATE: July 6, 2017

AS-BUILT CERTIFICATION FOR PSWM
 Note: There is no "AS-Built" information provided on this sheet.



APPROVED: DEPARTMENT OF PLANNING AND ZONING
 Chief, Development Engineering Division
 Chief, Division of Land Development
 Director

CENTURY ENGINEERING
 CONSULTING ENGINEERS - PLANNERS
 10710 Gilroy Road, Hunt Valley, MD 21031
 Phone: 443.589.2400 Fax: 443.589.2401

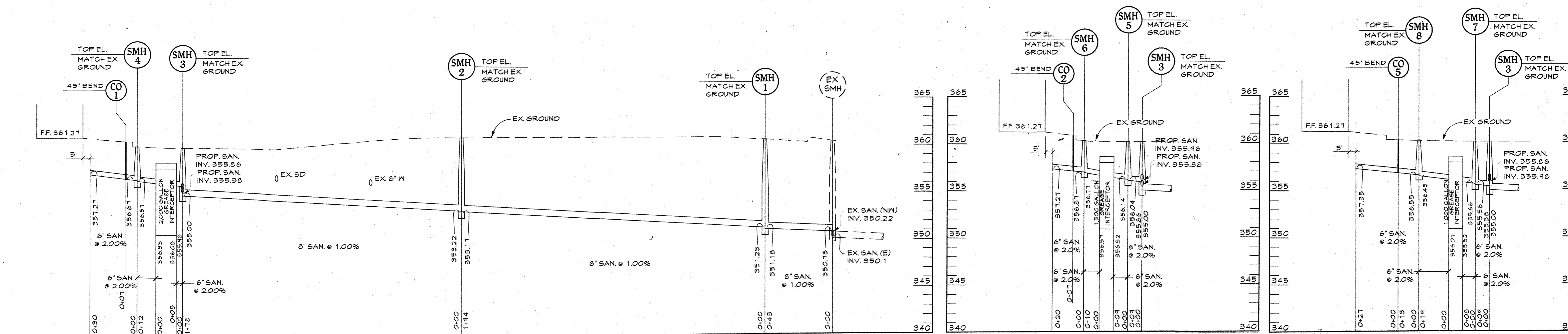
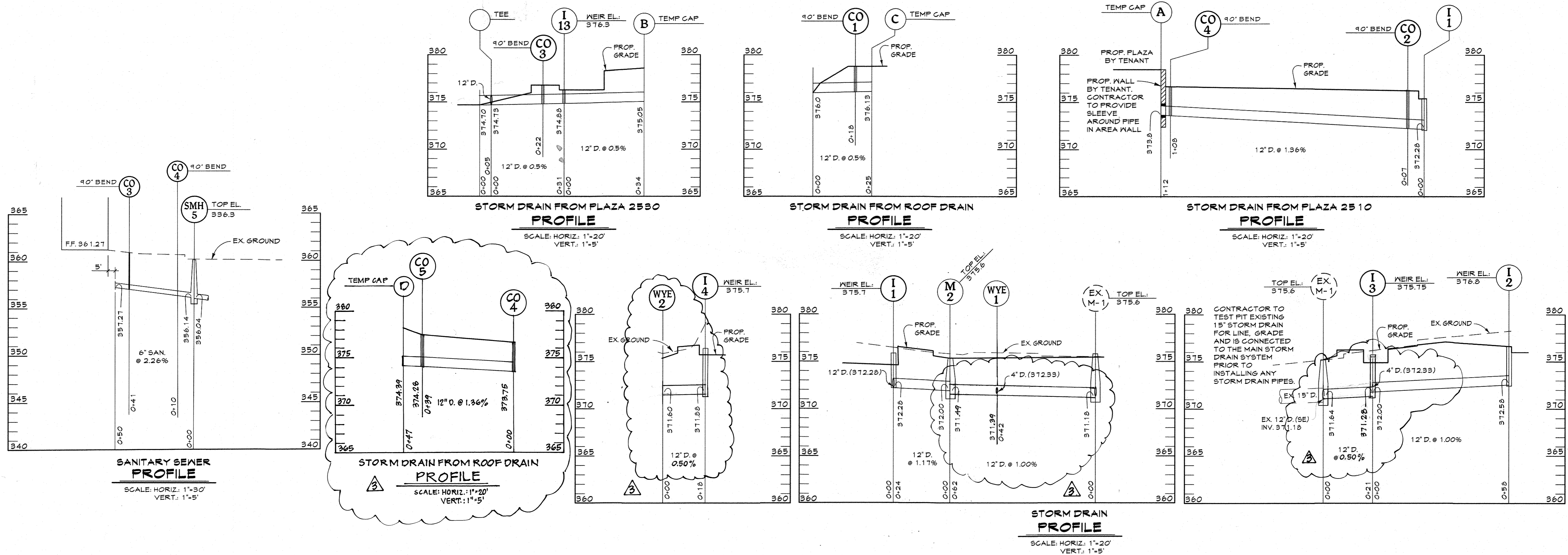


DESIGN BY:	M.J.P.		
DRAWN BY:	M.S.S.		
CHECKED BY:	CEI 4/A		
DATE:	8/4/17		
BY	NO.	REVISION	DATE
CEI	4/A	AS-BUILT	6-5-18
CEI	1	ADD TENANT 2510 LOADING DOCK DETAILS	3-8-10
CEI	3	ADD CO-5 AND D.A. 5 LABEL	9-28-17

DEVELOPER
GENERAL GROWTH PROPERTIES
 10440 LITTLE PATUXENT PARKWAY, SUITE 1000
 COLUMBIA, MARYLAND 21044
 410-992-6000

REVISED SITE DEVELOPMENT PLAN
 UTILITY PLAN - STORM DRAINS
THE MALL IN COLUMBIA
 BUILDING EXPANSION COLUMBIA TOWN CENTER
 TAX MAP: 30, 36 LOT: 47 & 22 GRID: 19, 20, 1, 2 ZONED: NT PARCEL: 460 F-04-045
 ELECTION DISTRICT 5 HOWARD COUNTY, MARYLAND
 SHEET 59 OF 73

C.E.I. PROJECT NUMBER
 28141.06
 SCALE:
 1" = 20'



PROFESSIONAL CERTIFICATION
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.
LICENSE NUMBER: 10251 EXPIRATION DATE: 8-28-19

SANITARY SEWER PROFILE
SCALE: HORIZ: 1"=30' VERT: 1"=5'

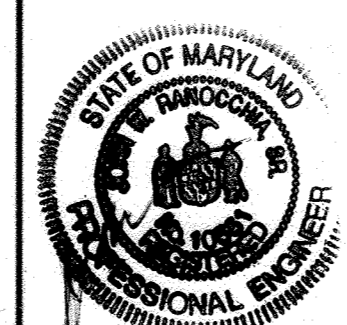
SANITARY SEWER PROFILE
SCALE: HORIZ: 1"=30' VERT: 1"=5'

APPROVED PLANNING BOARD OF HOWARD COUNTY
DATE: July 6, 2017

SANITARY SEWER PROFILE
SCALE: HORIZ: 1"=30' VERT: 1"=5'
AS-BUILT CERTIFICATION FOR PSWM
Note: There is no "AS-Built" information provided on this sheet.

APPROVED: DEPARTMENT OF PLANNING AND ZONING
Chief, Development Engineering Division
Date: 8-31-17
Chief, Division of Land Development
Date: 9-5-17
Director
Date: 9-5-17

CENTURY ENGINEERING
CONSULTING ENGINEERS - PLANNERS
10710 Gilroy Road, Hunt Valley, MD 21031
Phone: 443.589.2400 Fax: 443.589.2401

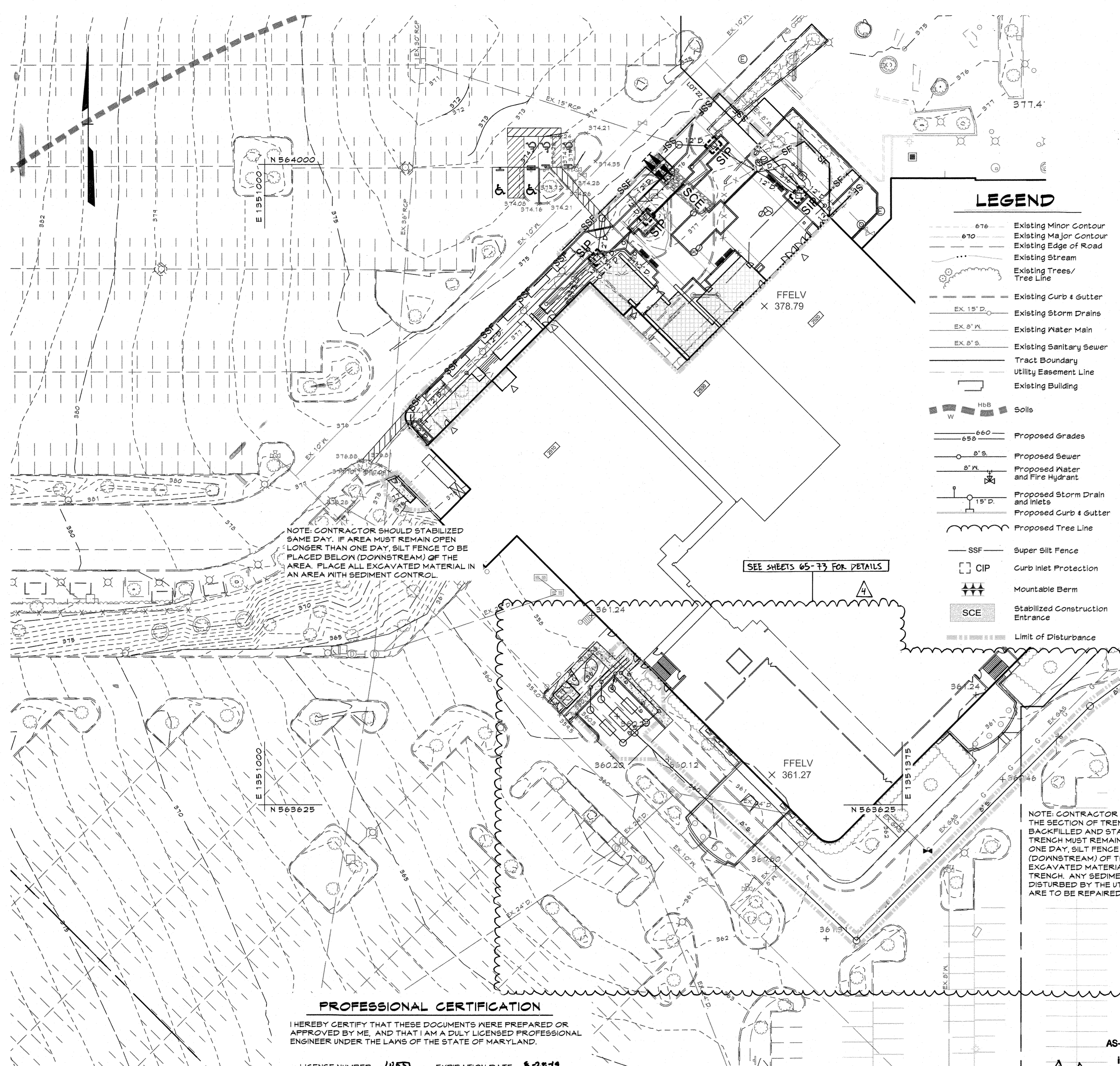


DESIGN BY:	M.J.P.
DRAWN BY:	M.S.S.
CHECKED BY:	CET 4/AJ-BLIT
DATE:	8/4/17
BY:	NO.
REVISION:	DATE
	9-5-18
	9-28-17

DEVELOPER
GENERAL GROWTH PROPERTIES
10440 LITTLE PATUXENT PARKWAY, SUITE 1000
COLUMBIA, MARYLAND 21044
410-992-6000

REVISED SITE DEVELOPMENT PLAN
UTILITY PROFILES
THE MALL IN COLUMBIA
BUILDING EXPANSION COLUMBIA TOWN CENTER
TAX MAP: 30, 36 LOT: 47 & 22 GRID: 19, 20, 1, 2 ZONED: NT PARCEL: 460 F-04-045
ELECTION DISTRICT 5 HOWARD COUNTY, MARYLAND
SHEET 60 OF 73

C.E.I. PROJECT NUMBER
28141.06
SCALE:
As Shown



HOWARD SOIL CONSERVATION DISTRICT (HSCD)
STANDARD SEDIMENT CONTROL NOTES

1. A pre-construction meeting must occur with the Howard County Department of Public Works, Construction Inspection Division (CID), 410-313-1855 after the future LOD and protected areas are marked clearly in the field. A minimum of 48 hour notice to CID must be given at the following stages:
 - a. Prior to the start of earth disturbance,
 - b. Upon completion of the installation of perimeter erosion and sediment controls, but before proceeding with any other earth disturbance or grading,
 - c. Prior to the start of another phase of construction or opening of another grading unit, d. Prior to the removal or modification of sediment control practices.

Other building or grading inspection approvals may not be authorized until this initial approval by the inspection agency is made. Other related state and federal permits shall be referenced, to ensure coordination and to avoid conflicts with this plan.
 2. All vegetative and structural practices are to be installed according to the provisions of this plan and are to be in conformance with the 2011 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL, and revisions thereto.
 3. Following initial soil disturbance or re-disturbance, permanent or temporary stabilization is required within three (3) calendar days as to the surface of all perimeter controls, dikes, swales, ditches, perimeter slopes, and all slopes steeper than 3 horizontal to 1 vertical (3:1); and seven (7) calendar days as to all other disturbed areas on the project site except for those areas under active grading.
 4. All disturbed areas must be stabilized within the time period specified above in accordance with the 2011 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL for topsoil (Sec. B-4-2), permanent seeding (Sec. B-4-5), temporary seeding (Sec. B-4-4) and mulching (Sec. B-4-3). Temporary stabilization with mulch alone can only be applied between the fall and spring seeding dates if the ground is frozen. Incremental stabilization (Sec. B-4-1) specifications shall be enforced in areas with >15' of cut and/or fill. Stockpiles (Sec. B-4-8) in excess of 20 ft. must be benched with stable outlet. All concentrated flow, steep slope, and highly erodible areas shall receive soil stabilization matting (Sec. B-4-6).
 5. All sediment control structures are to remain in place, and are to be maintained in operative condition until permission for their removal has been obtained from the CID.
6. Site Analysis:
 - Total Area of Site: 62.34 Acres
 - Area Disturbed: 0.48 Acres
 - Area to be roofed or paved: 0.38 Acres
 - Area to be vegetatively stabilized: 0.10 Acres
 - Total Cut: xx Cu. Yds.
 - Total Fill: xx Cu. Yds.
 - Offsite waste/borrow area location: N/A
 7. Any sediment control practice which is disturbed by grading activity for placement of utilities must be repaired on the same day of disturbance.
 8. Additional sediment control must be provided, if deemed necessary by the CID. The site and all controls shall be inspected by the contractor weekly, and the next day after each rain event. A written report by the contractor, made available upon request, is part of every inspection and should include:
 - Inspection date
 - Inspection type (routine, pre-storm event, during rain event)
 - Name and title of inspector
 - Weather information (current conditions as well as time and amount of last recorded precipitation)
 - Brief description of project's status (e.g., percent complete) and/or current activities
 - Evidence of sediment discharges
 - Identification of plan deficiencies
 - Identification of sediment controls that require maintenance
 - Identification of missing or improperly installed sediment controls
 - Compliance status regarding the sequence of construction and stabilization requirements
 - Photographs
 - Monitoring/sampling
 - Maintenance and/or corrective action performed
 - Other inspection items as required by the General Permit for Stormwater Associated with Construction Activities (NPDES, MOE).
 9. Trenches for the construction of utilities is limited to three pipe lengths or that which can and shall be back-filled and stabilized by the end of each workday, whichever is shorter.
 10. Any major changes or revisions to the plan or sequence of construction must be reviewed and approved by the HSCD prior to proceeding with construction. Minor revisions may be allowed by the CID per the list of HSCD-approved field changes.
 11. Disturbance shall not occur outside the L.O.D. A project is to be sequenced so that grading activities begin on one grading unit (maximum acreage of 20 ac. per grading unit) at a time. Work may proceed to a subsequent grading unit when at least 50 percent of the disturbed area in the preceding grading unit has been stabilized and approved by the HSCD. Unless otherwise specified and approved by the HSCD, no more than 30 acres cumulatively may be disturbed at a given time.
 12. Wash water from any equipment, vehicles, wheels, pavement, and other sources must be treated in a sediment basin or other approved washout structure.
 13. Topsoil shall be stockpiled and preserved on-site for redistribution onto final grade.
 14. All Silt Fence and Super Silt Fence shall be placed on-the-contour, and be imbricated at 25' minimum intervals, with lower ends curled uphill by 2' in elevation.
 15. Stream channels must not be disturbed during the following restricted time periods (inclusive):
 - Use I and IP March 1 - June 15
 - Use III and IIP October 1 - April 30
 - Use IV March 1 - May 31
 16. A copy of this plan, the 2011 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL, and associated permits shall be on-site and available when the site is active.

LEGEND

- 676 Existing Minor Contour
- 670 Existing Major Contour
- Existing Edge of Road
- Existing Stream/Tree Line
- Existing Trees/Tree Line
- Existing Curb & Gutter
- EX 15" D Existing Storm Drains
- EX 8" W Existing Water Main
- EX 8" S Existing Sanitary Sewer
- Tract Boundary
- Utility Easement Line
- Existing Building
- HbB Soils
- 650 Proposed Grades
- 8" S Proposed Sewer
- 8" W Proposed Water and Fire Hydrant
- 15" D Proposed Storm Drain and Inlets
- Proposed Curb & Gutter
- Proposed Tree Line
- SSF Super Silt Fence
- CIP Curb Inlet Protection
- Mountable Berm
- SCE Stabilized Construction Entrance
- Limit of Disturbance

NOTE: CONTRACTOR SHOULD STABILIZED SAME DAY. IF AREA MUST REMAIN OPEN LONGER THAN ONE DAY, SILT FENCE TO BE PLACED BELOW (DOWNSTREAM) OF THE AREA. PLACE ALL EXCAVATED MATERIAL IN AN AREA WITH SEDIMENT CONTROL.

SEE SHEETS 65-73 FOR DETAILS

NOTE: CONTRACTOR SHOULD OPEN ONLY THE SECTION OF TRENCH THAT CAN BE BACKFILLED AND STABILIZED EACH DAY. IF TRENCH MUST REMAIN OPEN LONGER THAN ONE DAY, SILT FENCE TO BE PLACED BELOW (DOWNSTREAM) OF THE TRENCH. PLACE ALL EXCAVATED MATERIAL ON UPHILL SIDE OF TRENCH. ANY SEDIMENT CONTROL DEVICES DISTURBED BY THE UTILITY CONSTRUCTION ARE TO BE REPAIRED IMMEDIATELY.

PROFESSIONAL CERTIFICATION

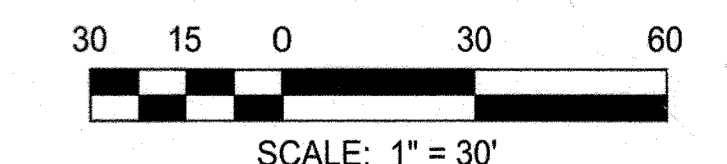
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.

LICENSE NUMBER: 10551 EXPIRATION DATE: 6-28-19

AS-BUILT CERTIFICATION FOR PSWM
Note: There is no "AS-Built" information provided on this sheet.

APPROVED
PLANNING BOARD
of HOWARD COUNTY

DATE July 6, 2017



APPROVED: DEPARTMENT OF PLANNING AND ZONING
Chief, Development Engineering Division
Chief, Division of Land Development
Director

Date: 8-31-17
Date: 9-5-17
Date: 9-5-17
Date:

M CENTURY ENGINEERING
CONSULTING ENGINEERS - PLANNERS
10710 Gilroy Road, Hunt Valley, MD 21031
Phone: 443.589.2400 Fax: 443.589.2401

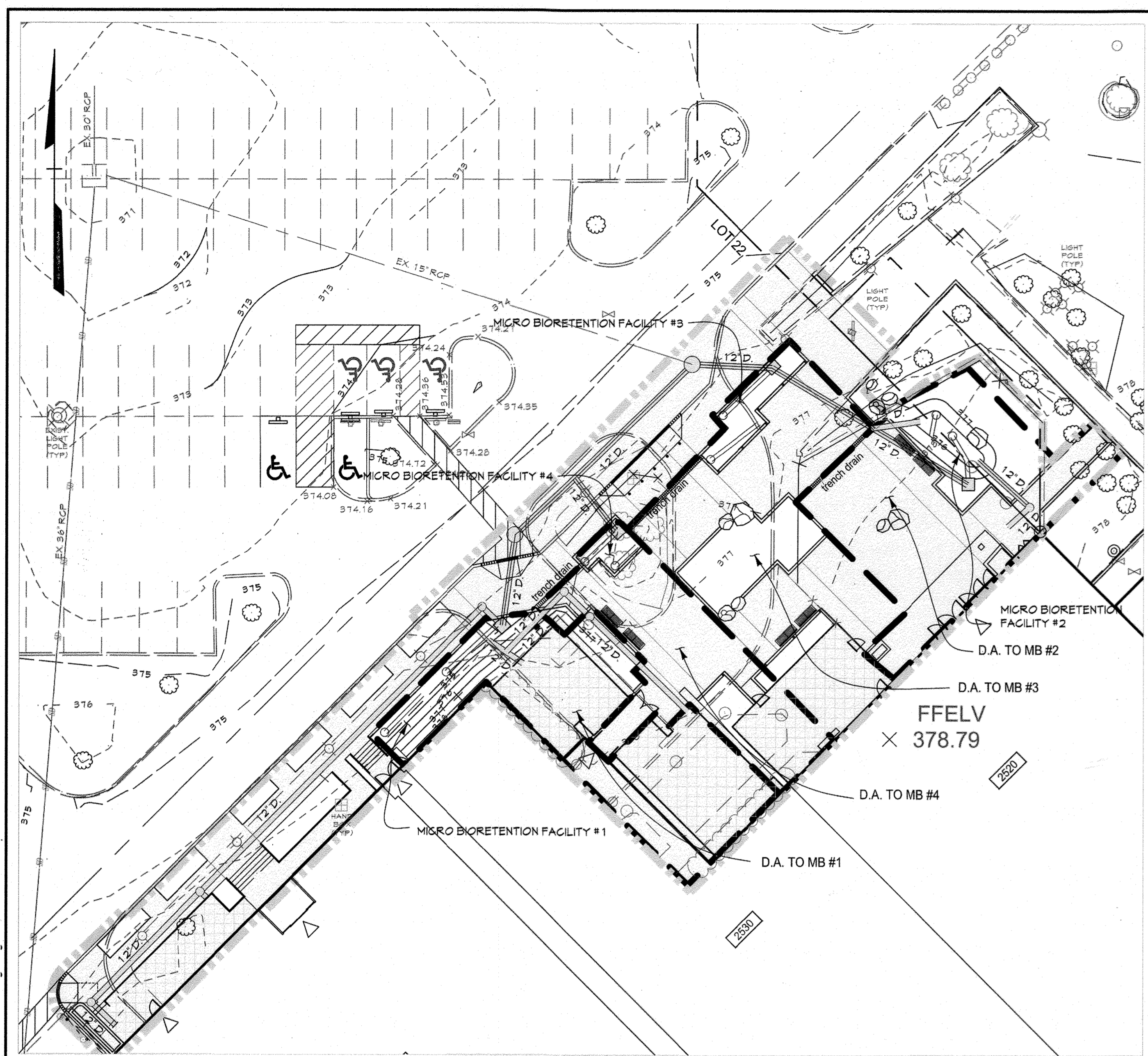


DESIGN BY:	M.J.P.	CEI 4A AS-BUILT	9-5-18
DRAWN BY:	M.S.S.	REVISIONS TO ESC MEASURES, DEMOLITION OF EXISTING CANOPIES	1-10-20
CHECKED BY:			
DATE:	8/4/17		
BY NO.		REVISION	DATE

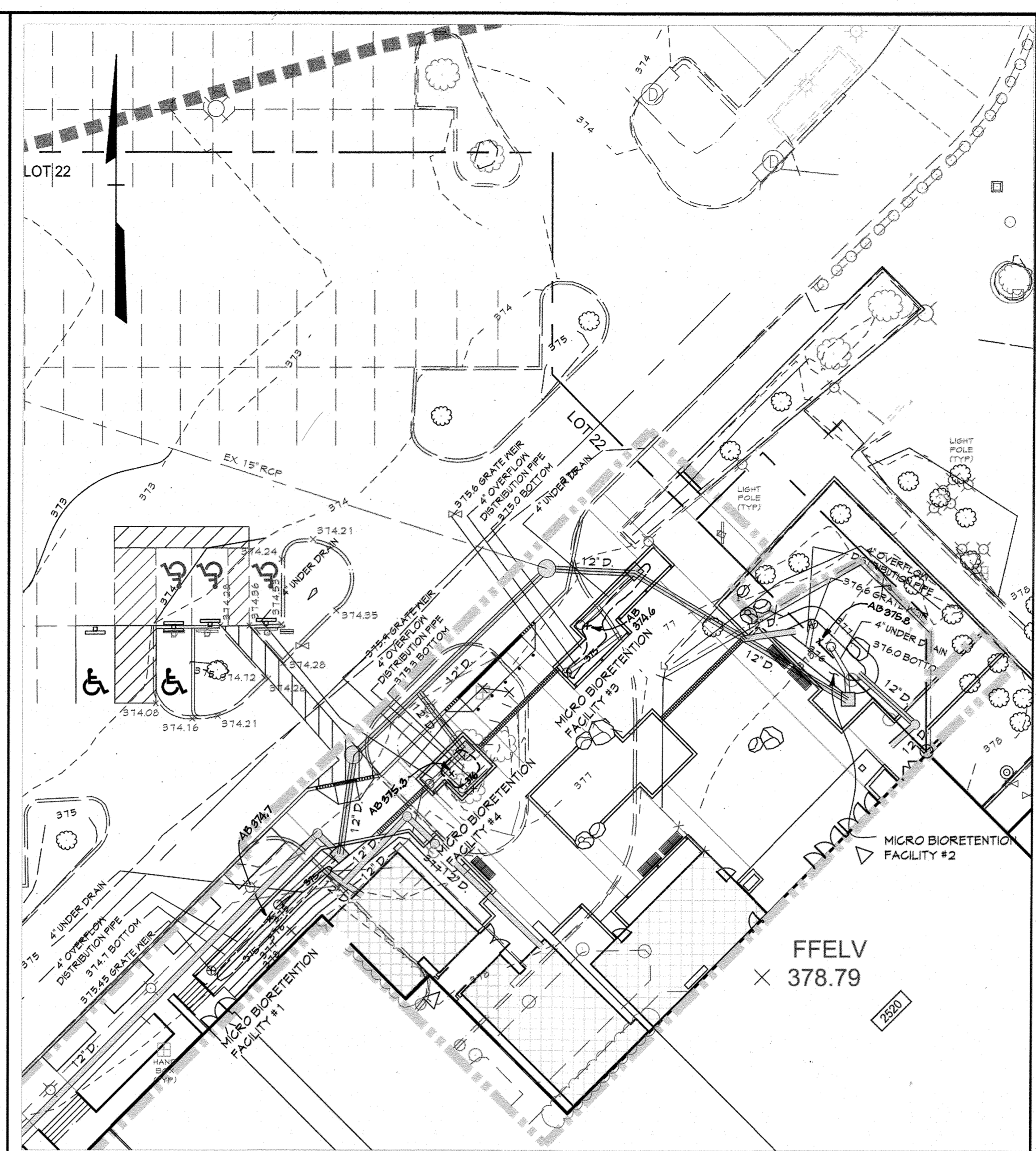
DEVELOPER
GENERAL GROWTH PROPERTIES
10440 LITTLE PATUXENT PARKWAY, SUITE 1000
COLUMBIA, MARYLAND 21044
410-992-6000

REVISED SITE DEVELOPMENT PLAN
EROSION & SEDIMENT CONTROL PLAN
THE MALL IN COLUMBIA
BUILDING EXPANSION COLUMBIA TOWN CENTER
TAX MAP: 30, 36 LOT: 47 & 22 GRID: 19, 20, 1, 2 ZONED: NT PARCEL: 460 F-04-045
ELECTION DISTRICT 5 HOWARD COUNTY, MARYLAND
SHEET 61 OF 73

C.E.I. PROJECT NUMBER: 28141.06
SCALE: 1" = 30'



STORM WATER MANAGEMENT PROPOSED CONDITIONS DRAINAGE AREA MAP PLAN
SCALE: 1"=20'



STORM WATER MANAGEMENT PLAN
SCALE: 1"=20'

LEGEND

- 676 Existing Minor Contour
- 670 Existing Major Contour
- Existing Edge of Road
- Existing Trees/Tree Line
- Existing Curb & Gutter
- EX. 15" D. Existing Storm Drains
- EX. 8" XL Existing Water Main
- Existing Building
- Hbb Soils
- W Soils
- Proposed Impervious Area
- Drainage Divide
- Limit of Disturbance
- Proposed Patio

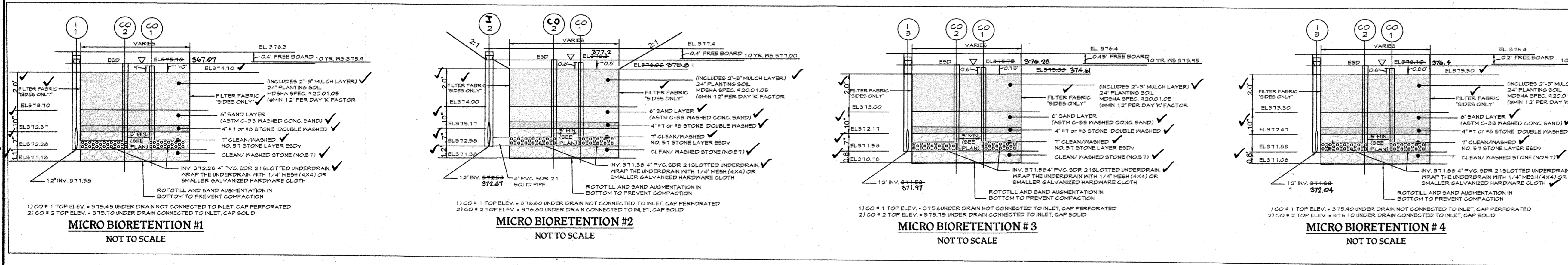
SEE GRADING AND LAYOUT PLAN FOR DIMENSIONS FOR SWM FACILITIES

ESD Summary Table

ESD # Facility Type	Drainage Area Ac.	Impervious Area Treated Ac.	PE Required	ESDv (req @ Pe=) cu.ft.	PE Achieved	Volume provided cu.ft.	ESDv (provided @ Achieved Pe=) cu.ft.
1 MB	0.060	0.032	1.00	116	1.92	222	222
2 MB	0.067	0.044	1.00	156	1.19	189	186
3 MB	0.078	0.057	1.00	201	1.17	251	235
4 MB	0.043	0.034	1.00	119	1.01	122	121
DA A	10,799 s.f. 0.25 Ac.	7,275 s.f. 0.17 Ac.		579		784 Provided	764

* The ESDv Required was obtained from the Environmental Site Design Requirements (redevelopment and new development) within LOD. See sheet 6.

SWM MANAGEMENT IS BEING PROVIDED BY THE FOLLOWING METHODS
4 MICRO BIO RETENTION FACILITIES WHICH ARE TREATING PART OF THE NEW ESD VOLUME.



SUMMARY TABLE

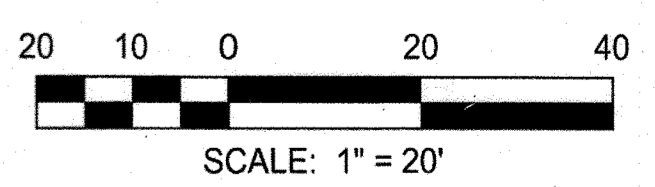
ESDv Required (new development):	104 C.F.
ESDv Provided: (Total)	784 C.F.
Pe:	1.0 (Redevelopment)
Pe:	1.8 (New Development)
Q10, Q100	Not Required
ESDv Required (redevelopment and new development):	579 C.F.
ESDv Provided:	Micro-Bioretention

FACILITY	D.A. TO FACILITY (AC.)	IMPERVIOUS AREA	PERVIOUS AREA
(M-6) M.B. #1	0.06	0.03	0.03
(M-6) M.B. #2	0.07	0.04	0.03
(M-6) M.B. #3	0.08	0.06	0.02
(M-6) M.B. #4	0.04	0.03	0.01

PROFESSIONAL CERTIFICATION
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.
LICENSE NUMBER: 12551 EXPIRATION DATE: 6-28-19

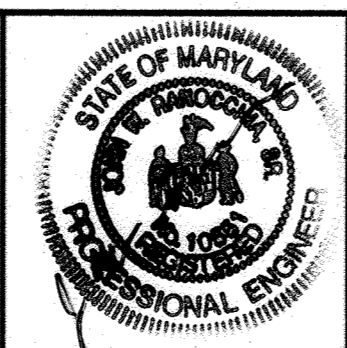
I HEREBY CERTIFY, BY MY SEAL, THAT THE FACILITIES SHOWN ON THE PLAN WERE CONSTRUCTED AS SHOWN ON THE "AS-BUILT" PLANS AND COMPLIES WITH APPROVED PLANS AND SPECIFICATIONS.

APPROVED PLANNING BOARD OF HOWARD COUNTY
DATE: July 6, 2017
AS BUILT



APPROVED: DEPARTMENT OF PLANNING AND ZONING
Chief, Development Engineering Division Date: 8/31/17
Chief, Division of Land Development Date: 9-5-17
Director Date: 9-5-17

CENTURY ENGINEERING
CONSULTING ENGINEERS - PLANNERS
10710 Gitroy Road, Hunt Valley, MD 21031
Phone: 443.589.2400 Fax: 443.589.2401

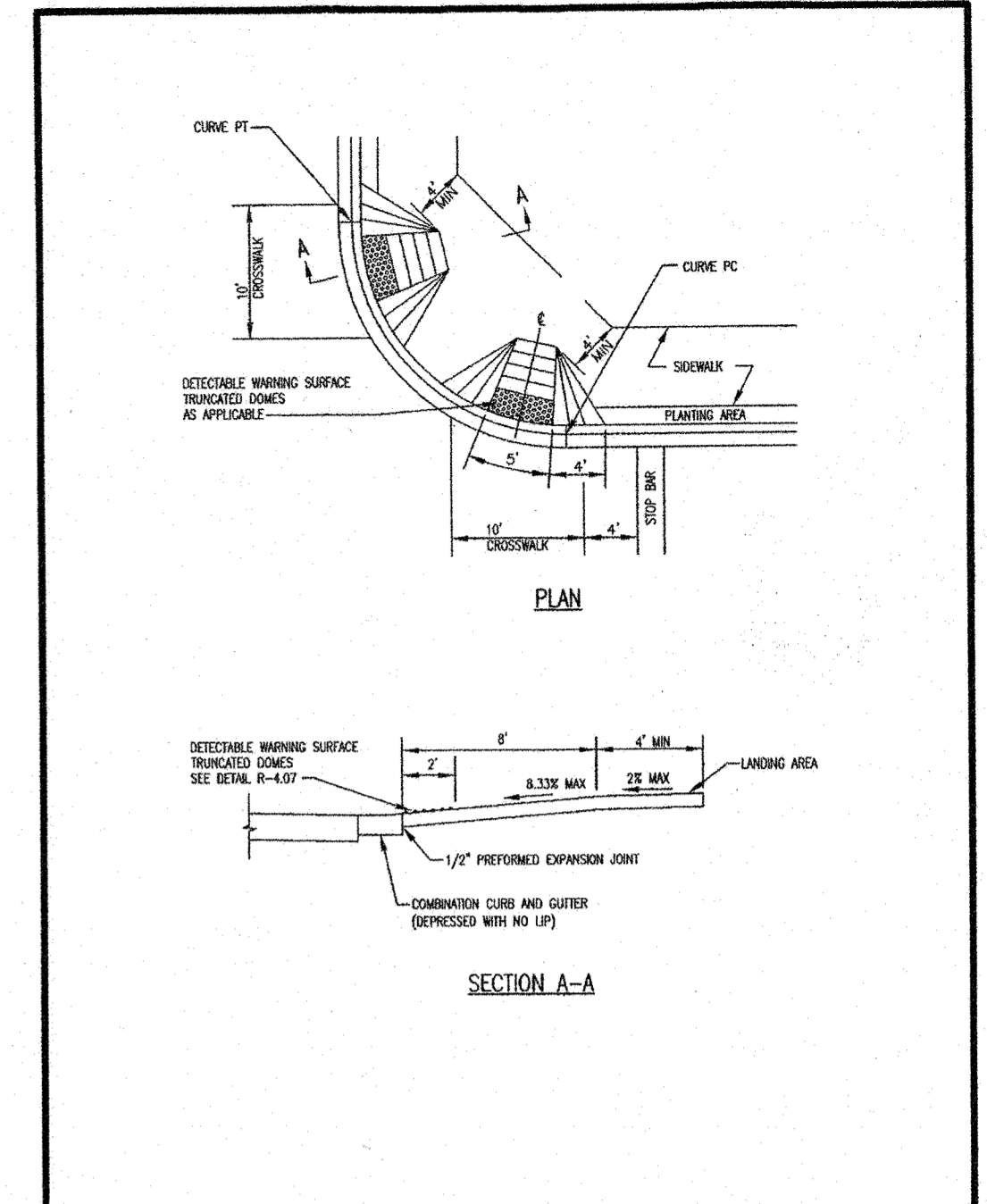
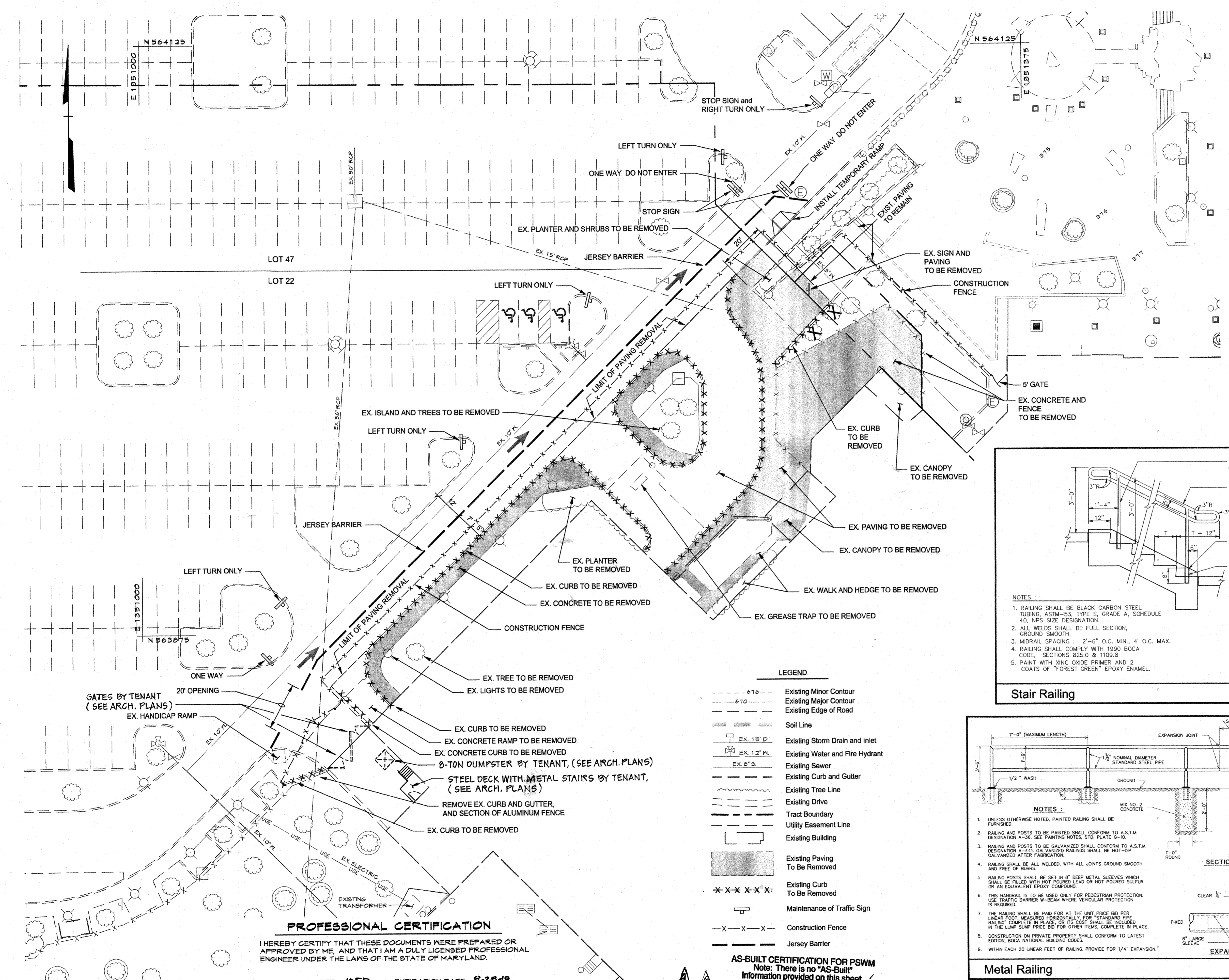


DESIGN BY:	DATE:	BY	NO.	REVISION	DATE
M.J.P.	8/4/17	CE1	4	As-Built	9/5/16
M.S.S.					

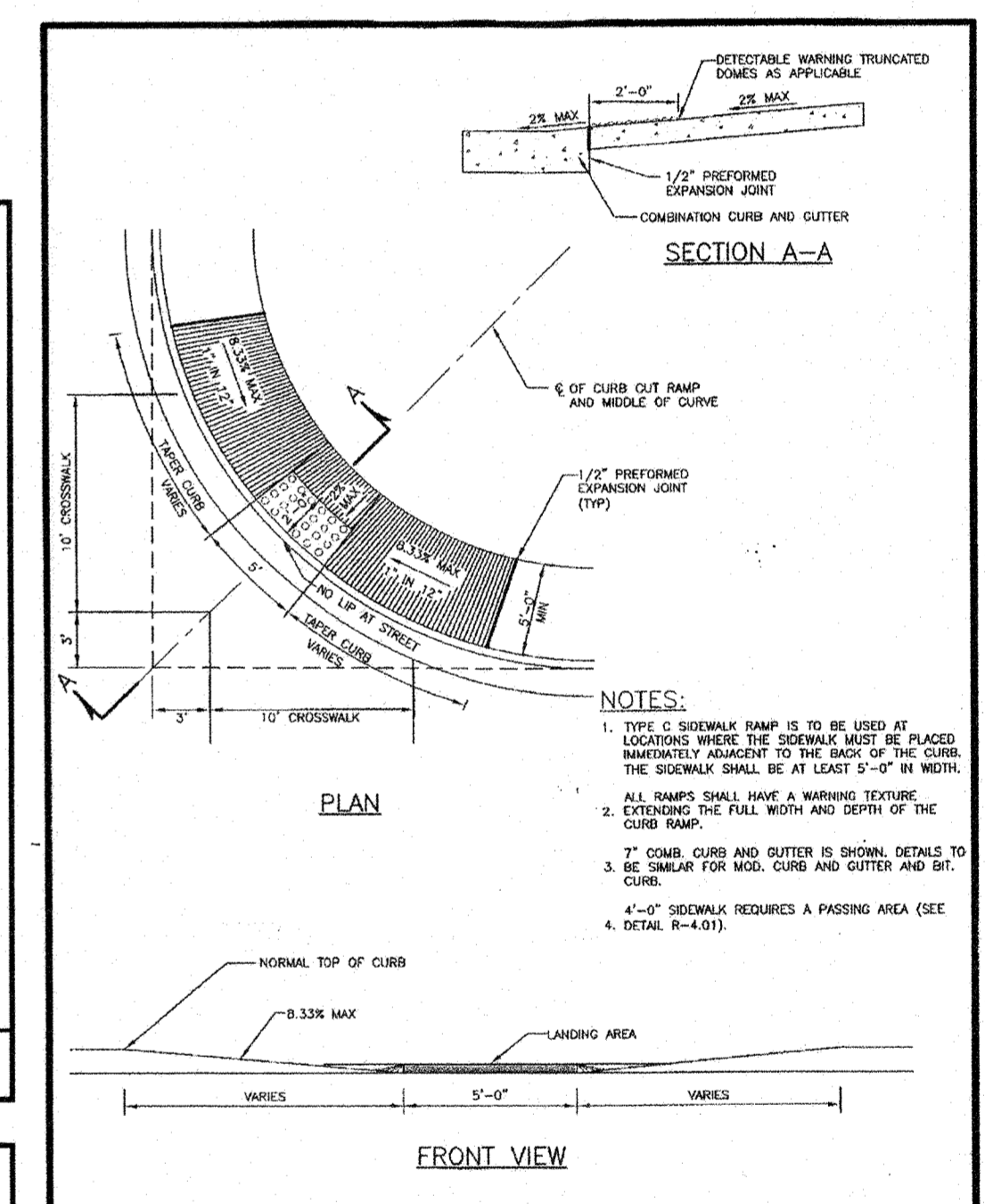
DEVELOPER
GENERAL GROWTH PROPERTIES
10440 LITTLE PATUXENT PARKWAY, SUITE 1000
COLUMBIA, MARYLAND 21044
410-992-6000

REVISED SITE DEVELOPMENT PLAN
STORMWATER MANAGEMENT PLAN
THE MALL IN COLUMBIA
BUILDING EXPANSION COLUMBIA TOWN CENTER
TAX MAP: 30, 36 LOT: 47 & 22 GRID: 19, 20, 1, 2 ZONED: NT PARCEL: 460 F-04-045
ELECTION DISTRICT 5 HOWARD COUNTY, MARYLAND
SHEET 62 OF 73
SCALE: 1"=20'
SDP-13-016

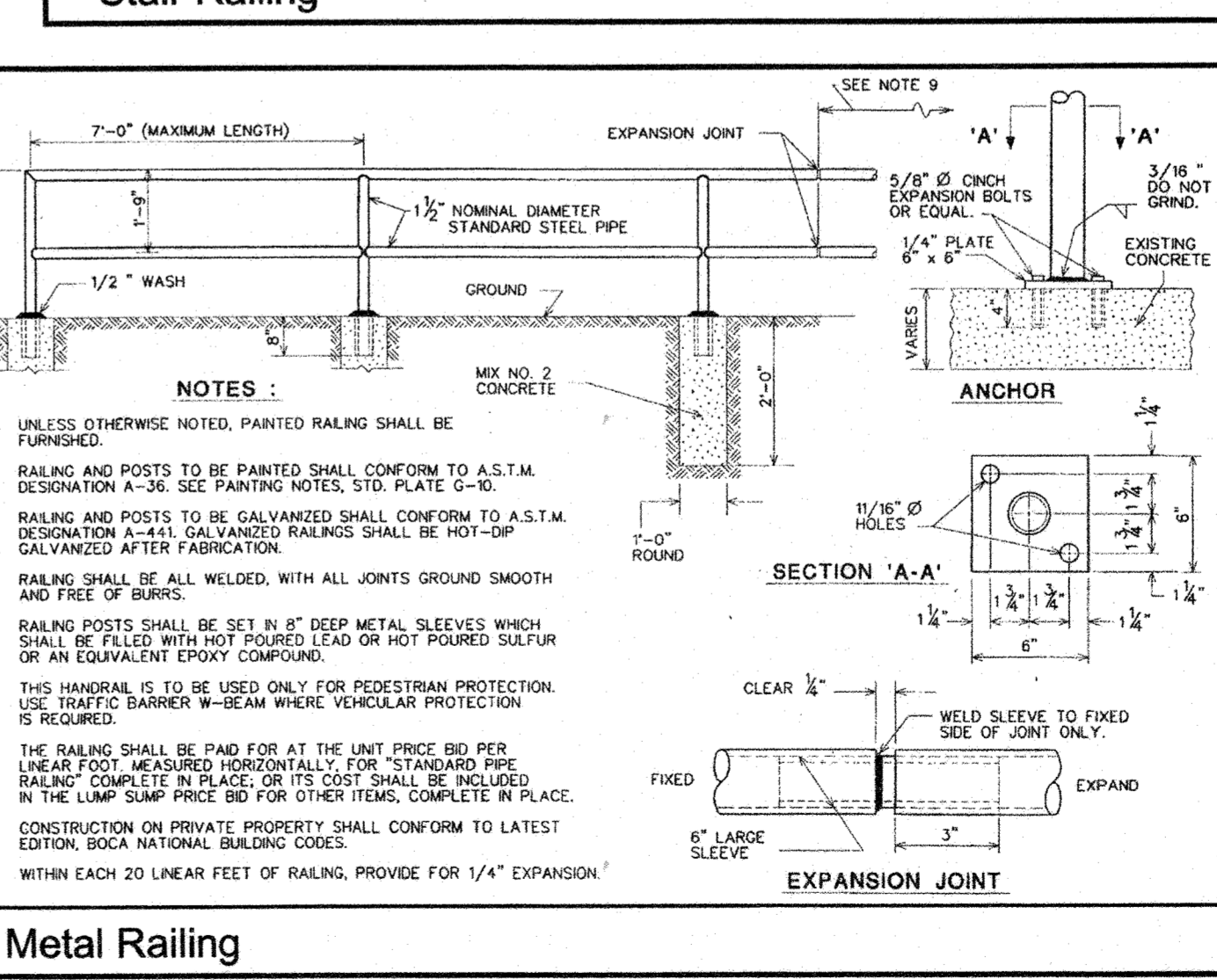
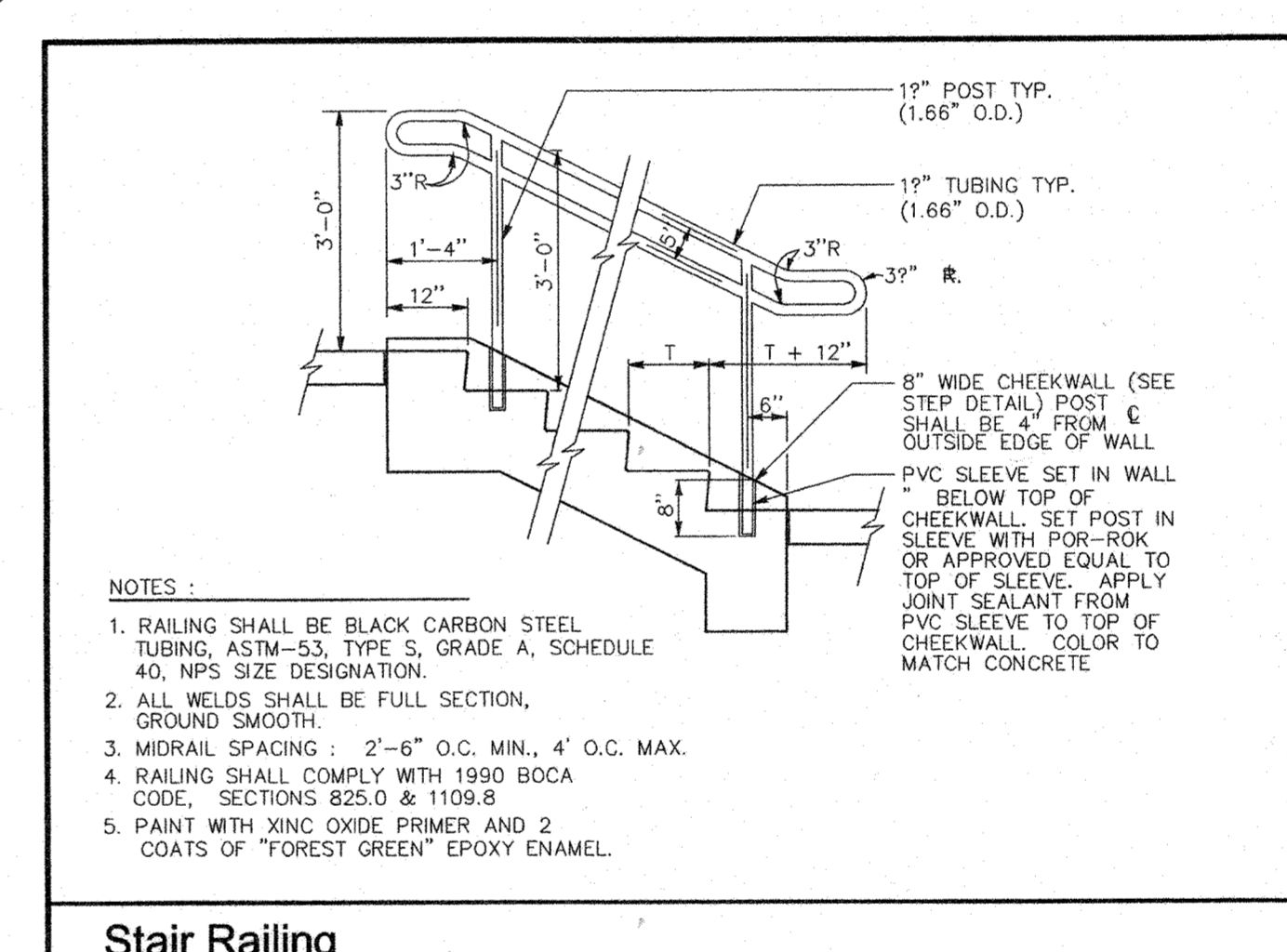
SA:2008\Facilities\2814.100 Columbia Mall\CADD\Drawings\Seans Rev\2814.1.06 (63).Demolition Plan.dwg Mar. 13, 2011 1:37pm msmith



Howard County, Maryland Department of Public Works Approved: [Signature] Chief, Bureau of Engineering	SIDEWALK RAMP Type B Dual Ramp	Detail R-4.03
--	--------------------------------------	------------------



Howard County, Maryland Department of Public Works Approved: [Signature] Chief, Bureau of Engineering	SIDEWALK RAMP Type C	Detail R-4.04
--	-------------------------	------------------



LEGEND

---	Existing Minor Contour
---	Existing Major Contour
---	Existing Edge of Road
---	Soil Line
EX. 15" P.	Existing Storm Drain and Inlet
EX. 12" P.	Existing Water and Fire Hydrant
EX. 8" S.	Existing Sewer
---	Existing Curb and Gutter
---	Existing Tree Line
---	Existing Drive
---	Tract Boundary
---	Utility Easement Line
---	Existing Building
---	Existing Paving To Be Removed
XXX-XXX	Existing Curb To Be Removed
---	Maintenance of Traffic Sign
-X-X-X-	Construction Fence
---	Jersey Barrier

PROFESSIONAL CERTIFICATION
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.
LICENSE NUMBER: 10551 EXPIRATION DATE: 8-28-19

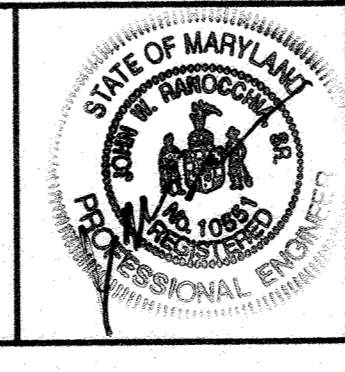
AS-BUILT CERTIFICATION FOR PSWM
Note: There is no "AS-Built" information provided on this sheet.

APPROVED PLANNING BOARD OF HOWARD COUNTY
DATE: July 6, 2017

AS-BUILT SCALE: 1" = 20'

APPROVED: DEPARTMENT OF PLANNING AND ZONING	
Chief, Development Engineering Division Date: 8-31-17	Chief, Division of Land Development Date: 9-5-17
Director Date: 9-5-17	

CENTURY ENGINEERING
CONSULTING ENGINEERS - PLANNERS
10710 Gilroy Road, Hunt Valley, MD 21031
Phone: 443.589.2400 Fax: 443.589.2401

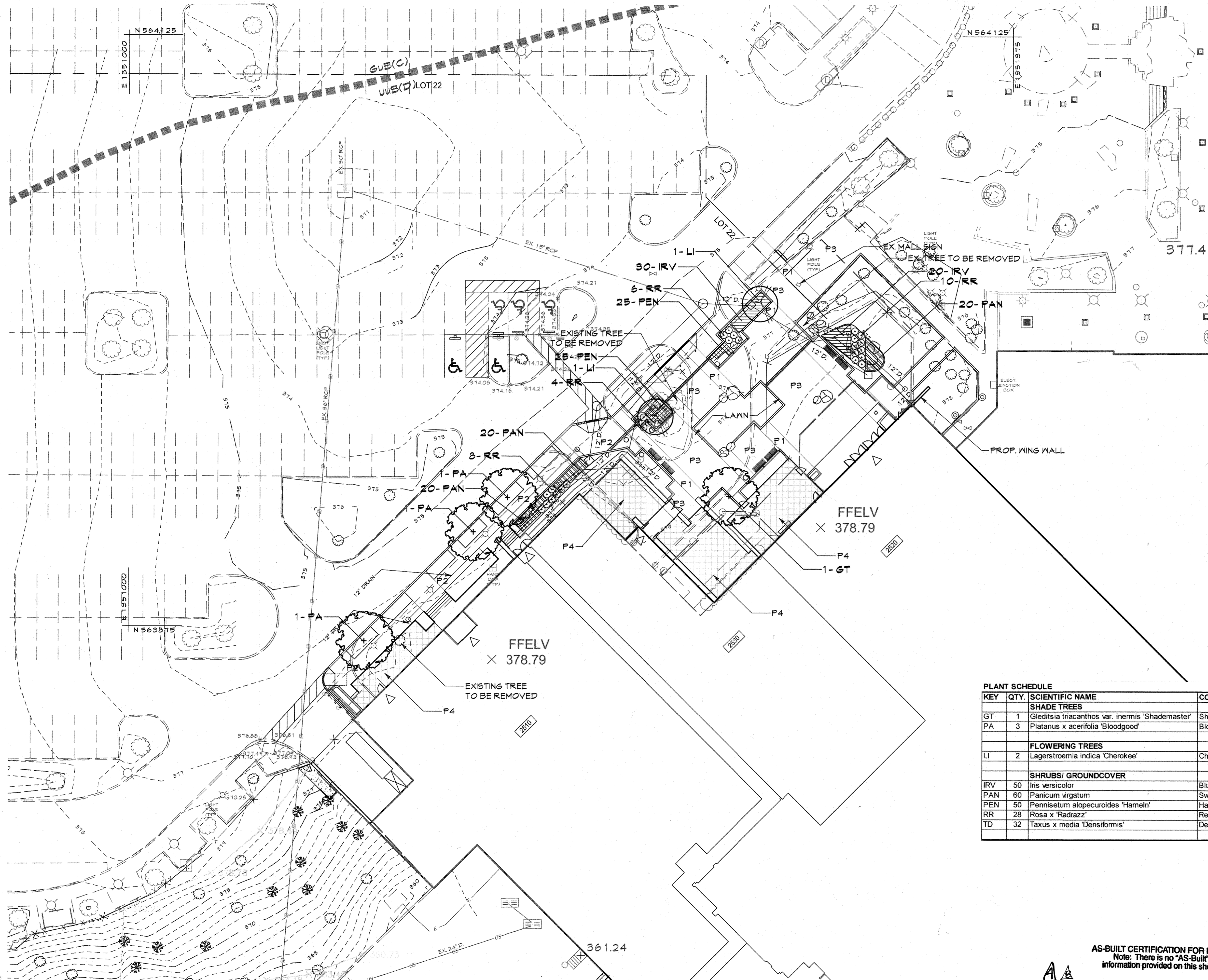


DESIGN BY: M.J.P.	
DRAWN BY: M.S.S.	
CHECKED BY: CEI 4A AS-BUILT	9-5-18
DATE: 8/4/17	3.8.18
BY NO.	REVISION

DEVELOPER
GENERAL GROWTH PROPERTIES
10440 LITTLE PATUXENT PARKWAY, SUITE 1000
COLUMBIA, MARYLAND 21044
410-992-6000

REVISED SITE DEVELOPMENT PLAN
DEMOLITION & MAINTENANCE OF TRAFFIC PLAN
THE MALL IN COLUMBIA
BUILDING EXPANSION COLUMBIA TOWN CENTER
TAX MAP: 30, 36 LOT: 47 & 22 GRID: 19, 20, 1, 2 ZONED: NT PARCEL: 460 F-04-045
ELECTION DISTRICT 5 HOWARD COUNTY, MARYLAND
SHEET 63 OF 73

C.E.I. PROJECT NUMBER 28141.06
SCALE: 1" = 20'



LEGEND

- - - 676 Existing Minor Contour
- - - 670 Existing Major Contour
- - - Existing Edge of Road
- Soil Line
- EX 15" D Existing Storm Drain and Inlet
- EX 12" W Existing Water and Fire Hydrant
- EX 8" S Existing Sewer
- Existing Curb and Gutter
- Existing Tree Line
- Existing Drive
- Tract Boundary
- Utility Easement Line
- Existing Building
- Proposed Building
- 650 Proposed Grades
- 8" S Proposed Sewer
- 8" W Proposed Water and Fire Hydrant
- 15" D Proposed Storm Drain and Inlets
- Proposed Curb & Gutter
- Proposed Bench (see Sheet 38)
- Proposed Boulders (see Sheet 35)
- O Proposed Trash Receptacle (see Sheet 38)

HARDSCAPE LEGEND

- P1 Proposed Concrete Banding 12", 18", or 24" wide concrete band with decorative scoring
- P2 Proposed Concrete Paving concrete paving with decorative scoring
- P3 Proposed Concrete Pavers 12"x24" running bond paver field to match existing mall pavers
- P4 Proposed Tenant Seating Area concrete paving with 24"x24" decorative scoring

See sheet 36 for bioretention edge-treatment.

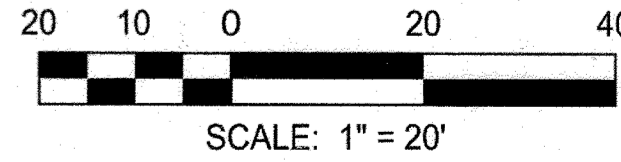
APPROVED
 PLANNING BOARD
 of HOWARD COUNTY
 DATE July 6, 2017

PLANT SCHEDULE

KEY	QTY.	SCIENTIFIC NAME	COMMON NAME	SIZE	ROOT	COMMENTS
SHADE TREES						
GT	1	Gleditsia triacanthos var. inermis 'Shademaster'	Shademaster Thornless Honeylocust	4" cal.	B & B	Strong central leader, full canopy, limb @ 6' ht. min.
PA	3	Platanus x acerifolia 'Bloodgood'	Bloodgood London Planetree	4" cal.	B & B	Strong central leader, matched specimens
FLOWERING TREES						
LI	2	Lagerstroemia indica 'Cherokee'	Cherokee Crape Myrtle	6'-8" ht.	B & B	Tree form, multi-stem, 3 cane min., 5 cane max., matched
SHRUBS/ GROUNDCOVER						
IRV	50	Iris versicolor	Blue Flag Iris	1 gal.	Cont.	18" o.c.
PAN	60	Panicum virgatum	Switch Grass	2 gal.	Cont.	36" o.c.
PEN	50	Pennisetum alopecuroides 'Hameln'	Hameln Dwarf Fountain Grass	1 gal.	Cont.	18" o.c.
RR	28	Rosa x 'Radrazz'	Red Knockout Rose	3 gal.	Cont.	18" o.c.
TD	32	Taxus x media 'Densiformis'	Densiformis Yew	7 gal.	Cont.	30" o.c.

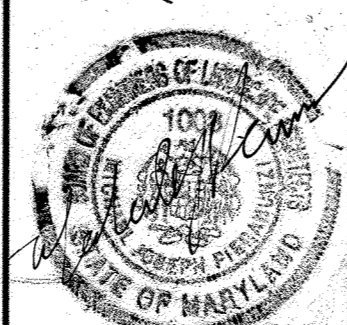
- NOTES**
- See Sheet 40 for Planting Notes and Details.
 - The surety for the required 5 trees will be posted as part of the Developers Agreement in the amount of \$1,500 (4 shades x \$300 + 2 flowering x \$150). This plan was prepared in accordance with Section 16.124 of the Howard County Code and the Howard County Landscape Manual.
 - Owner/ tenant to plant remaining beds.

AS-BUILT CERTIFICATION FOR PSWM
 Note: There is no "AS-Built" information provided on this sheet.



APPROVED: DEPARTMENT OF PLANNING AND ZONING
 Chief, Development Engineering Division
 Date 8-31-17
 Chief, Division of Land Development
 Date 9-5-17
 Director
 Date 9-5-17

M CENTURY ENGINEERING
 CONSULTING ENGINEERS - PLANNERS
 10710 Gilroy Road, Hunt Valley, MD 21031
 Phone: 443.589.2400 Fax: 443.589.2401

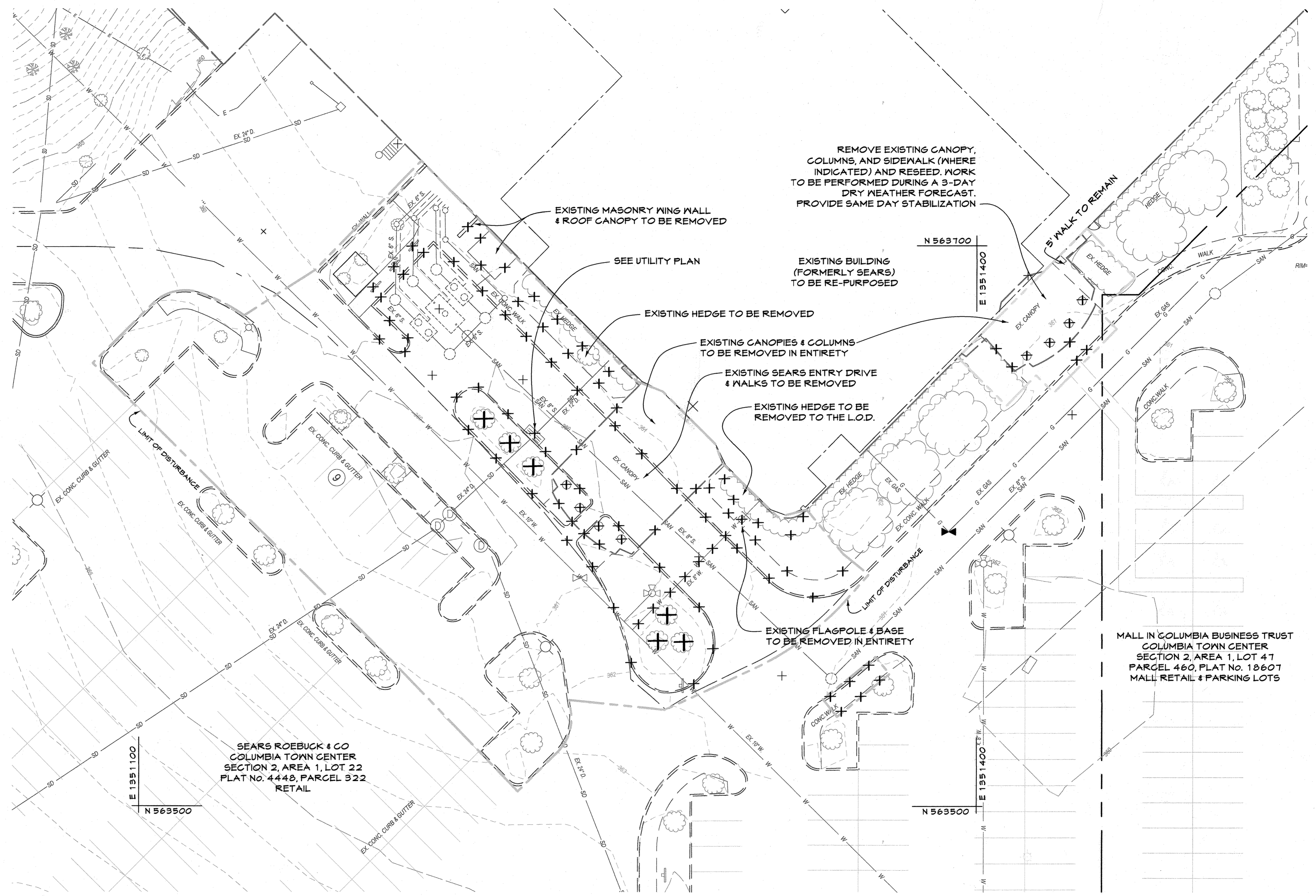


DESIGN BY: M.J.P.
 DRAWN BY: M.S.S.
 CHECKED BY:
 DATE: 8/4/17
 CEI 4A AS-BUILT
 9/5/18

DEVELOPER
GENERAL GROWTH PROPERTIES
 10440 LITTLE PATUXENT PARKWAY, SUITE 1000
 COLUMBIA, MARYLAND 21044
 410-992-6000

REVISOR SITE DEVELOPMENT PLAN
 LANDSCAPE PLAN
THE MALL IN COLUMBIA
 BUILDING EXPANSION COLUMBIA TOWN CENTER
 TAX MAP: 30, 36 LOT: 47 & 22 GRID: 19, 20, 1, 2 ZONED: NT PARCEL: 460 F-04-045
 ELECTION DISTRICT 5 HOWARD COUNTY, MARYLAND
 SHEET 64 OF 73

C.E.I. PROJECT NUMBER
 28141.06
 SCALE:
 1" = 20'



LEGEND

- Existing Minor Contour
- Existing Major Contour
- Existing Edge of Paving
- Soil Line
- Existing Storm Drain and Inlet
- Existing Water and Fire Hydrant
- Existing Sewer
- Existing Curb and Gutter
- Existing Underground Electric
- Existing Overhead Electric
- Existing Fiber Optic
- Existing Cable Television
- Existing Gas and Valve
- Existing BGE Light Pole
- Existing Sign
- Existing Electric Structure
- Existing Fence Line
- Existing Retaining Wall
- Existing Tree Line
- Existing Drive
- Existing Building
- Limit of Disturbance
- Curbs, Trees and Canopies To Be Removed

SEARS ROEBUCK & CO
COLUMBIA TOWN CENTER
SECTION 2, AREA 1, LOT 22
PLAT NO. 4448, PARCEL 322
RETAIL

MALL IN COLUMBIA BUSINESS TRUST
COLUMBIA TOWN CENTER
SECTION 2, AREA 1, LOT 47
PARCEL 460, PLAT No. 10607
MALL RETAIL & PARKING LOTS

PLAN

SCALE: 1"=20'

APPROVED
PLANNING BOARD
of HOWARD COUNTY

DATE: February 20, 2020

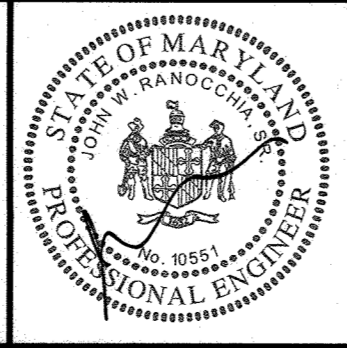
PROFESSIONAL CERTIFICATION

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.

LICENSE NUMBER: 10551 EXPIRATION DATE: 9/28/21

APPROVED: DEPARTMENT OF PLANNING AND ZONING
Chief, Development Engineering Division
Date: 7/27/20
Chief, Division of Land Development
Date: 6/23/20
Director
Date: 7/24/20

MM CENTURY ENGINEERING
CONSULTING ENGINEERS - PLANNERS
10710 Gilroy Road, Hunt Valley, MD 21031
Phone: 443.589.2400 Fax: 443.589.2401



DESIGN BY:	M.J.P.				
DRAWN BY:	M.S.S.				
CHECKED BY:					
DATE:	7/1/20	BY	NO.	REVISION	DATE

DEVELOPER
BROOKFIELD PROPERTIES
26300 CEDAR ROAD
BEECHWOOD, OHIO 44122
212-417-7000

DEMOLITION PLAN

REVISED SITE DEVELOPMENT PLAN
THE MALL IN COLUMBIA

SEARS - LOWER LEVEL COLUMBIA TOWN CENTER
TAX MAP: 30, 36 LOT: 47 & 22 GRID: 19, 20, 1, 2 ZONED: NT PARCEL: 460 F-04-045
ELECTION DISTRICT 5 HOWARD COUNTY, MARYLAND

C.E.I. PROJECT NUMBER: 28141.06
SCALE:
SHEET 65 OF 73

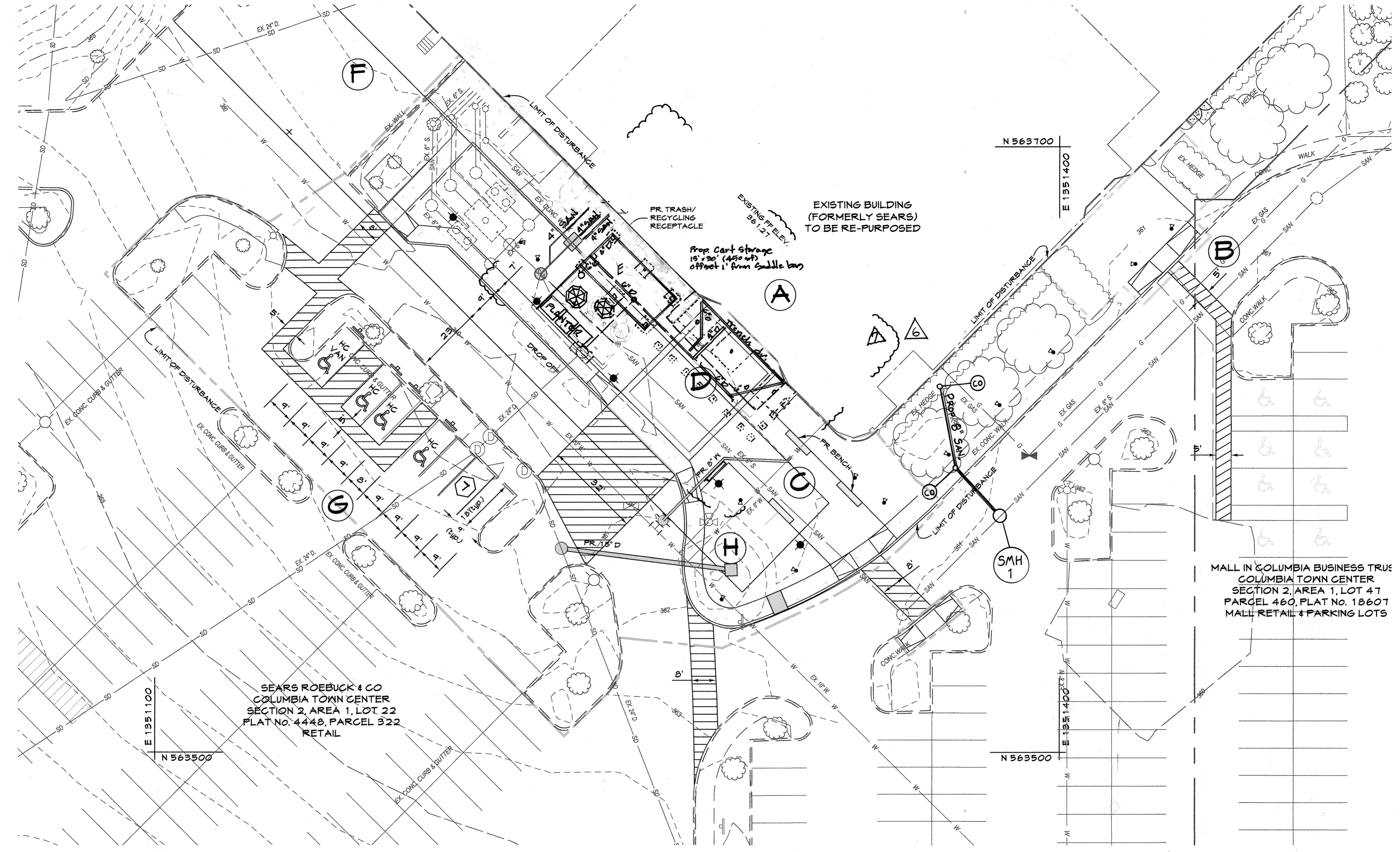
LEGEND

- Existing Minor Contour
- Existing Major Contour
- Existing Edge of Paving
- Av Soil Line
- SD Existing Storm Drain and Inlet
- W Existing Water and Fire Hydrant
- SAW Existing Sewer
- Existing Curb and Gutter
- E Existing Underground Electric
- ONE Existing Overhead Electric
- FO Existing Fiber Optic
- CTV Existing Cable Television
- G Existing Gas and Valve
- BGE#542497 Existing BGE Light Pole
- Existing Sign
- Existing Electric Structure
- X-X-X Existing Fence Line
- Existing Retaining Wall
- Existing Tree Line
- Existing Drive
- Existing Building
- Limit of Disturbance
- Limit of field run topo
- PR 6" S. Proposed Sewer
- PR 6" W. Proposed Water and Fire Hydrant
- PR 15" D. Proposed Storm Drain and Inlets
- Proposed Curb and Gutter
- Proposed Retaining Wall
- Proposed Edge of Pavement
- Proposed Sidewalk
- Proposed Lighting

LIMITS OF DISTURBANCE = 0.70 acres

SITE DEVELOPMENT PLAN NOTES

The color of the exterior building elevations will be selected by the tenants at a later date. The tenants will be made aware of the DAF motions on building design. DPZ will be notified at the appropriate time to review the tenant's proposed exterior color choices for comparison against the DAF motions. All tenants will coordinate together to ensure that the exterior paint colors will terminate in a logical manner.

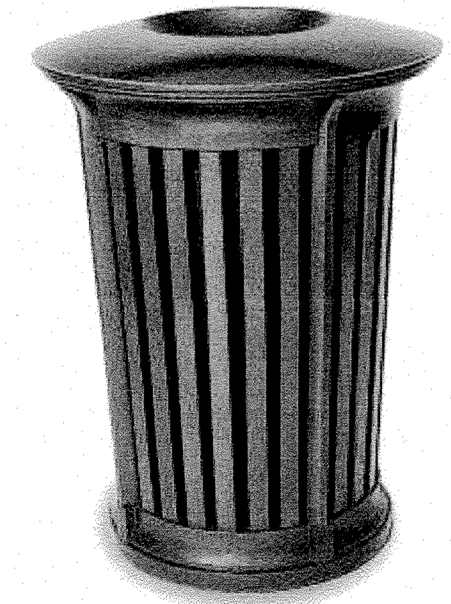


PLAN

SCALE: 1"=20'

SITE FEATURES

- A - EXISTING SEARS BUILDING
- B - ADA ACCESSIBILITY
- C - ACCENT PAVING 2
- D - ACCENT PAVING 1
- E - CART STORAGE
- F - TO REMAIN
- G - RECONFIGURE PARKING
- H - SWM ESD FACILITY

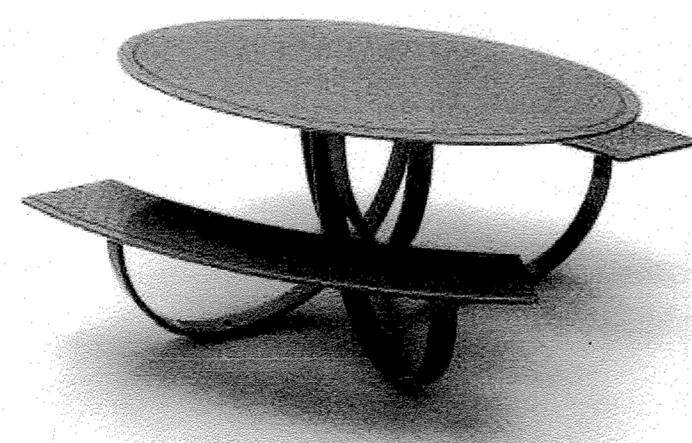


- MODEL: POE
- SIZE: 29" D x 39" H
- COLOR: SILVER POWDERCOAT W/ SATIN CLEAR COAT
- SURFACE MOUNT PER MANUFACTURER SPECS

- RECYCLING RECEPTACLE TO MATCH LITTER RECEPTACLE WITH GRAPHIC TO INDICATE RECYCLING FUNCTION

LANDSCAPE FORMS, INC.
431 LAINDALE AVE.
KALAMAZOO, MI 49048
PHONE: (800) 430-6209
FAX: (269) 381-3455
WEB: www.landscapeforms.com

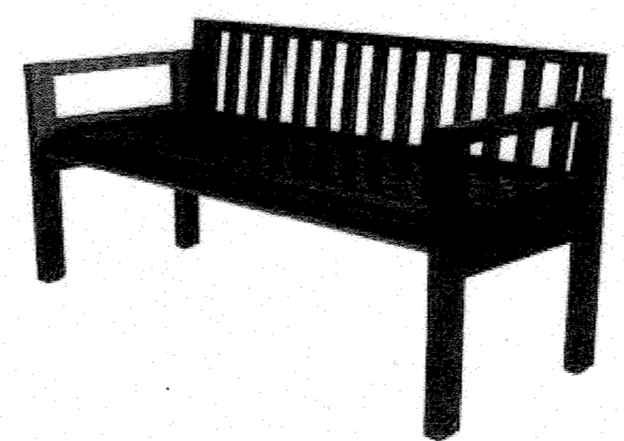
Litter and Recycle Receptacle
N.T.S.



- MODEL: CHARLIE TABLE
- TABLE & CHAIR SET TO BE PROVIDED BY LANDSCAPE FORMS, INC.
- SURFACE MOUNT PER MANUFACTURER SPECS

LANDSCAPE FORMS, INC.
431 LAINDALE AVE.
KALAMAZOO, MI 49048
PHONE: (800) 430-6209
FAX: (269) 381-3455
WEB: www.landscapeforms.com

Table/Chair Set
N.T.S.



- MODEL: MODIFIED-BLATTED BARBARY CUSTOM MONTEREY A1 BENCH / BACK
- SIZE: 24" x 63" x 39"
- COLOR: BRONZE POWDERCOAT W/ CLEAR COAT SPECTRUM LG 194 07 5A 1" BROWN
- SURFACE MOUNT PER MANUFACTURER SPECS

BENCHMARK DESIGN GROUP, INC.
456 OSCEOLA AVE JACKSONVILLE
BEACH, FL 32250
PHONE: (904) 246-5060
FAX: (904) 246-9006
WEB: benchmarkdesigngroup.com

Bench
N.T.S.

APPROVED
PLANNING BOARD
of HOWARD COUNTY

DATE: February 20, 2020

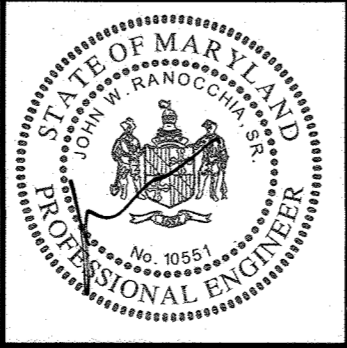
PROFESSIONAL CERTIFICATION

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.

LICENSE NUMBER: 10551 EXPIRATION DATE: 8/28/21

APPROVED: DEPARTMENT OF PLANNING AND ZONING
Chief, Development Engineering Division
Date: 8/24/2020
Chief, Division of Land Development
Date: 9/24/20
Director

CENTURY ENGINEERING
CONSULTING ENGINEERS - PLANNERS
10710 Gilroy Road, Hunt Valley, MD 21031
Phone: 443.589.2400 Fax: 443.589.2401

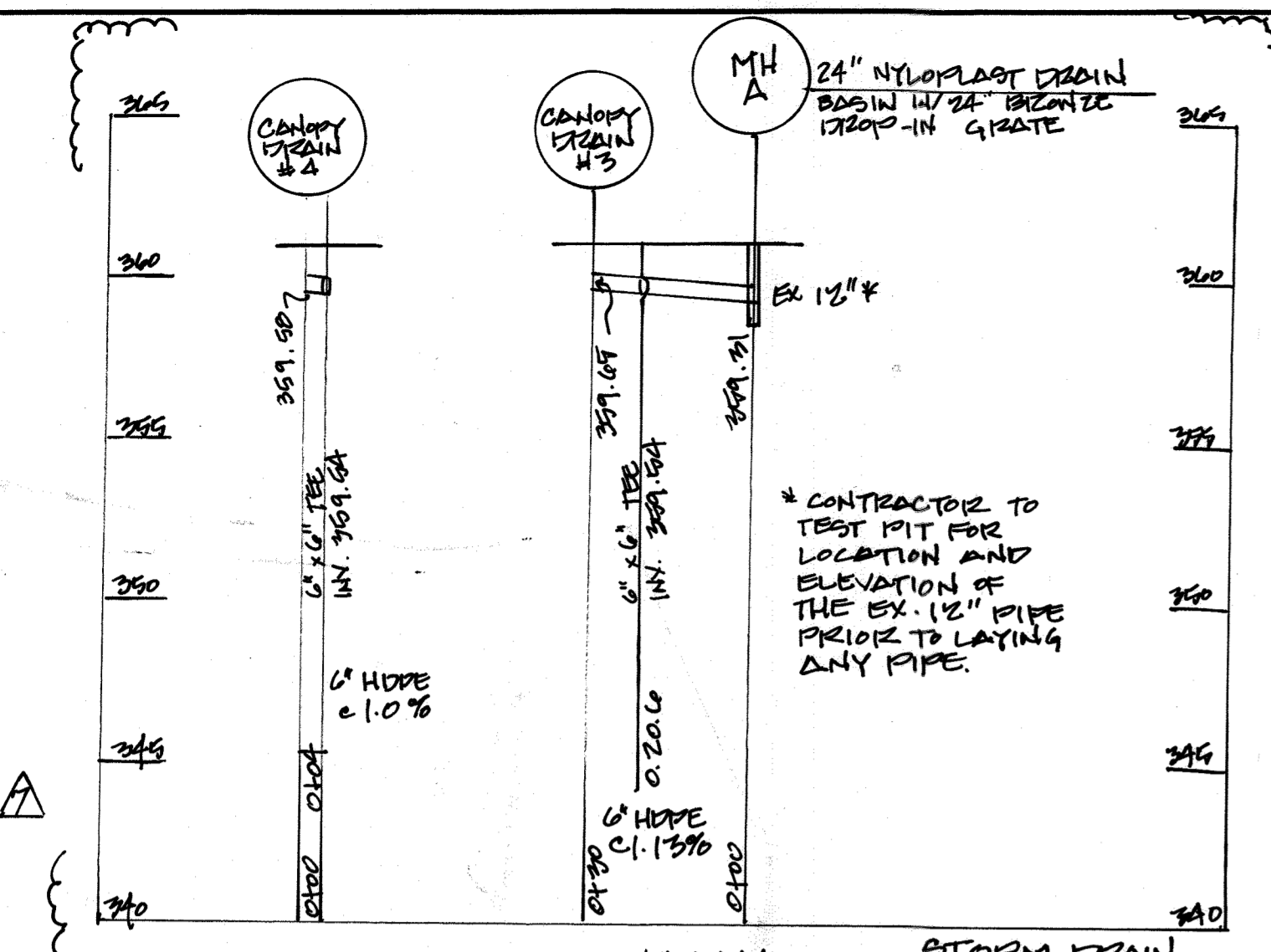


DESIGN BY:	M.J.P.
DRAWN BY:	M.S.S.
CHECKED BY:	CEL
DATE:	7/1/20
BY NO.	CEL 16
REVISION	1. SITE AMENITY AND UTILITY REVISIONS 12/23/20
	2. ADD SEWER CONNECTION TO WEST SIDE LOWER LEVEL (FORMERLY SEARS) 11/5/20

DEVELOPER
BROOKFIELD PROPERTIES
26300 CEDAR ROAD
BEECHWOOD, OHIO 44122
212-417-7000

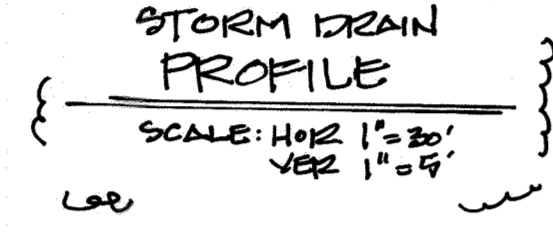
REVISED SITE DEVELOPMENT PLAN
THE MALL IN COLUMBIA
SEARS - LOWER LEVEL COLUMBIA TOWN CENTER
TAX MAP: 30, 36 LOT: 47 & 22 GRID: 19, 20, 1, 2 ZONED: NT PARCEL: 460 F-04-045
ELECTION DISTRICT 5 HOWARD COUNTY, MARYLAND
SHEET 66 OF 73
C.E.I. PROJECT NUMBER 28141.06
SCALE:

5/13/2008 \Facilities\28141.04 TMC\Seas\CADD\Drawings\TMC - Sears LL\Readings\28141.04 (UP-O)A Utility & Grading Plan_67 of 73.dwg Jul 01, 2020 4:03pm Kdaniel



LEGEND

- Existing Minor Contour
- Existing Major Contour
- Existing Edge of Paving
- Av Soil Line
- Existing Storm Drain and Inlet
- Existing Water and Fire Hydrant
- Existing Sewer
- Existing Curb and Gutter
- Existing Underground Electric
- Existing Overhead Electric
- Existing Fiber Optic
- Existing Cable Television
- Existing Gas and Valve
- Existing B&E Light Pole
- Existing Sign
- Existing Electric Structure
- Existing Fence Line
- Existing Retaining Wall
- Existing Tree Line
- Existing Drive
- Existing Building
- Limit of Disturbance
- Limit of field run topo
- Proposed Sewer
- Proposed Water and Fire Hydrant
- Proposed Storm Drain and Inlets
- Proposed Curb and Gutter
- Proposed Retaining Wall
- Proposed Edge of Pavement
- Proposed Sidewalk
- Proposed Lighting
- Proposed Grades
- Proposed Spot Elevations



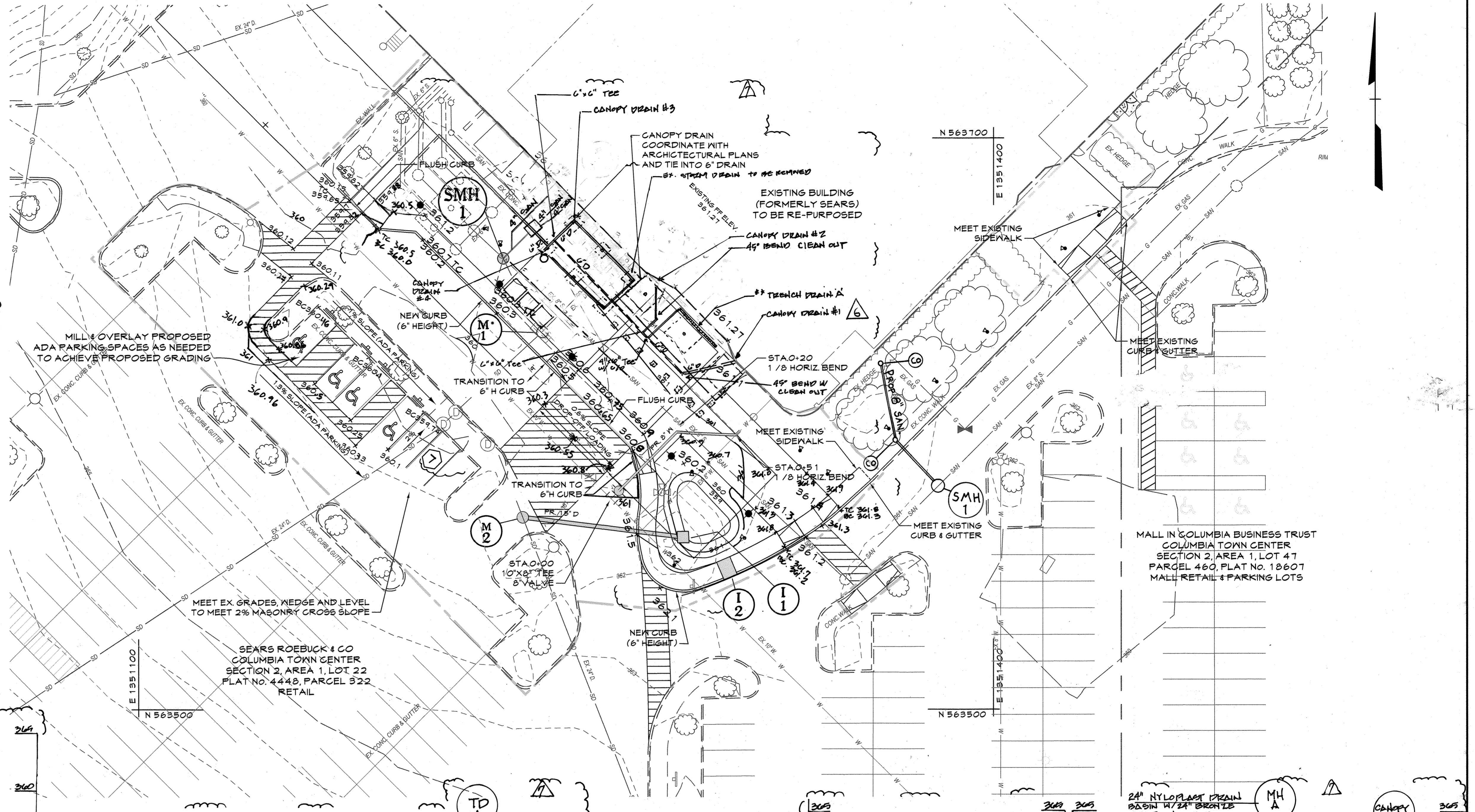
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LICENSE NUMBER: 10551 EXPIRATION DATE: 8/28/21

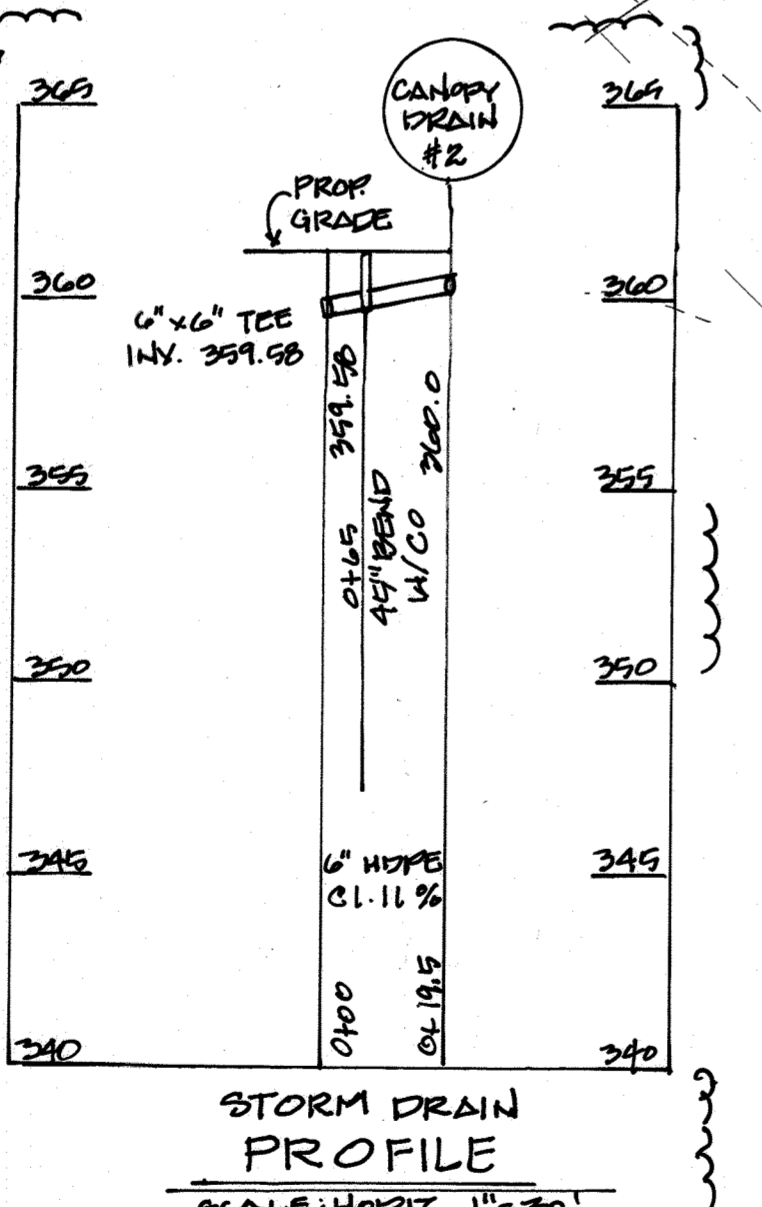
*CONTRACTOR TO RETROFIT EX. INLET. REMOVE HEADPIECE/GRATE/TOP SLAB AND REPLACE. PROVIDE NEW SLAB IF POSSIBLE OR REPLACE WITH STD. DETAIL D. 5.12

**Trench Drain 'a' centered within 2' wide concrete band. Construct 4" of concrete on each end.

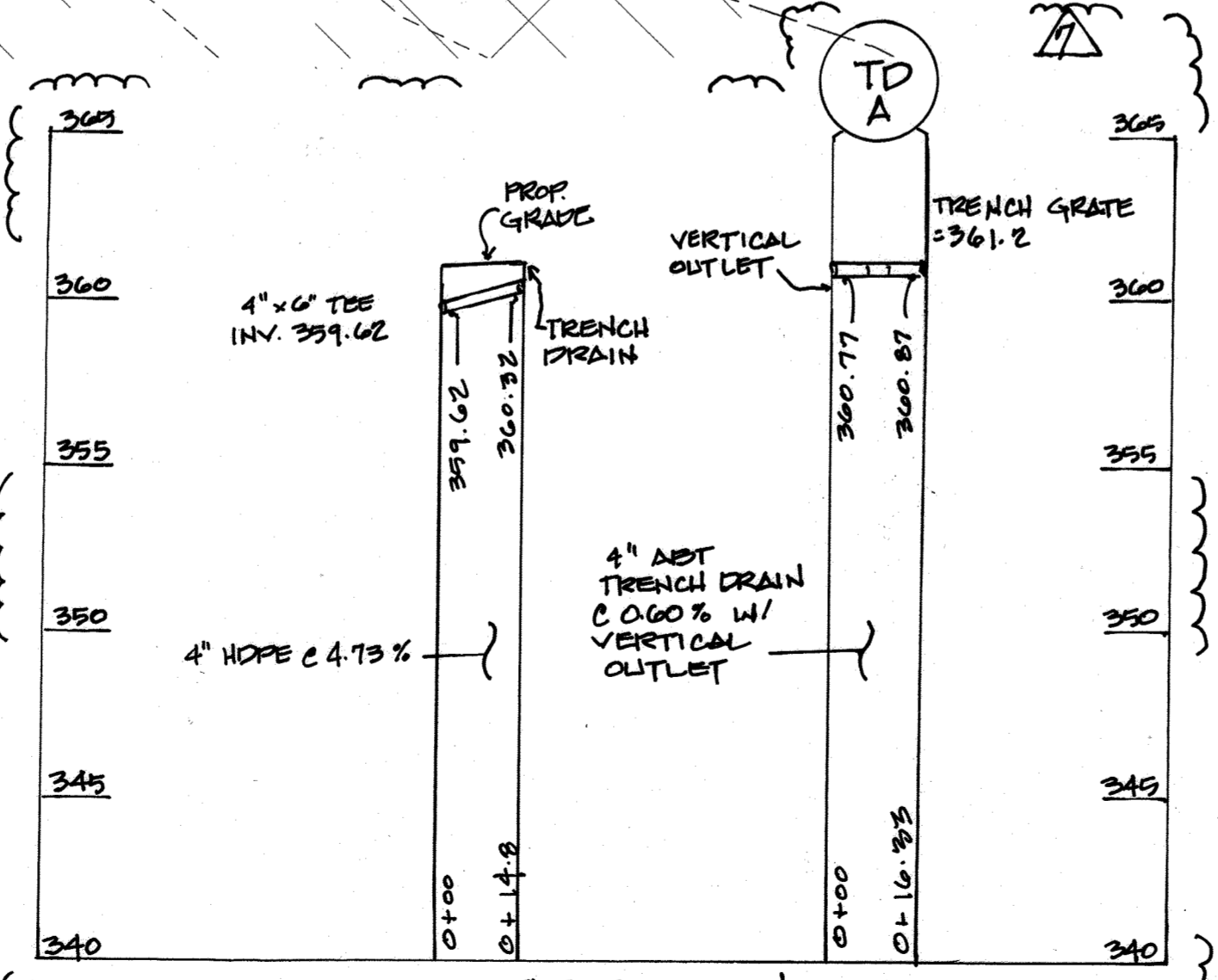


PLAN

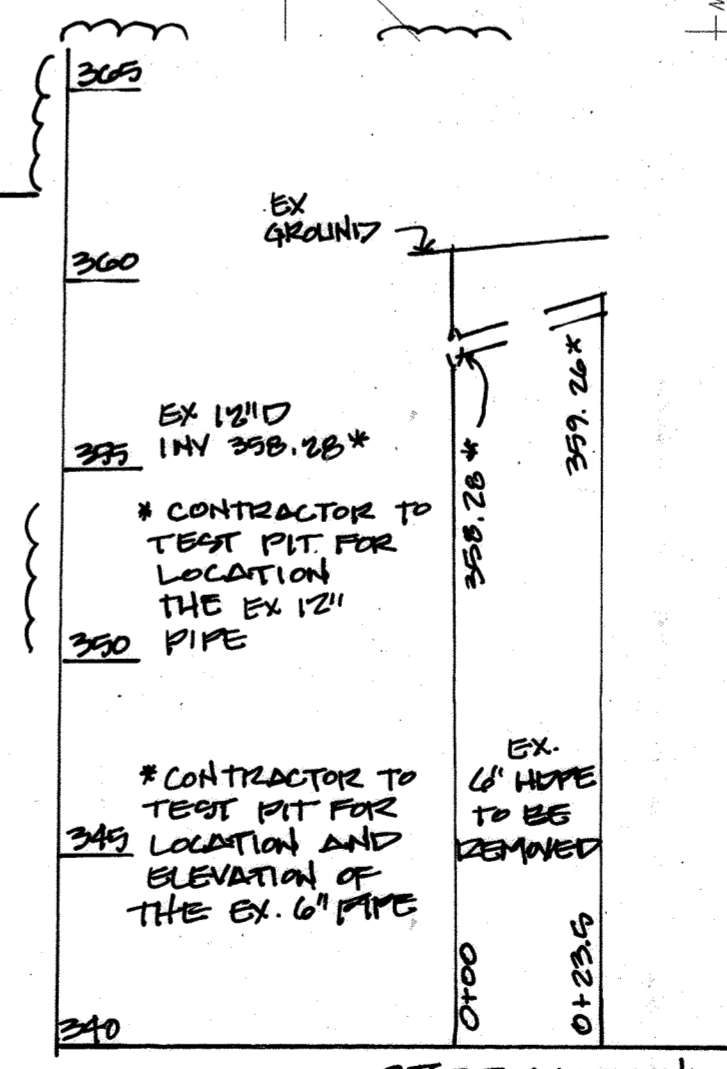
SCALE: 1"=20'



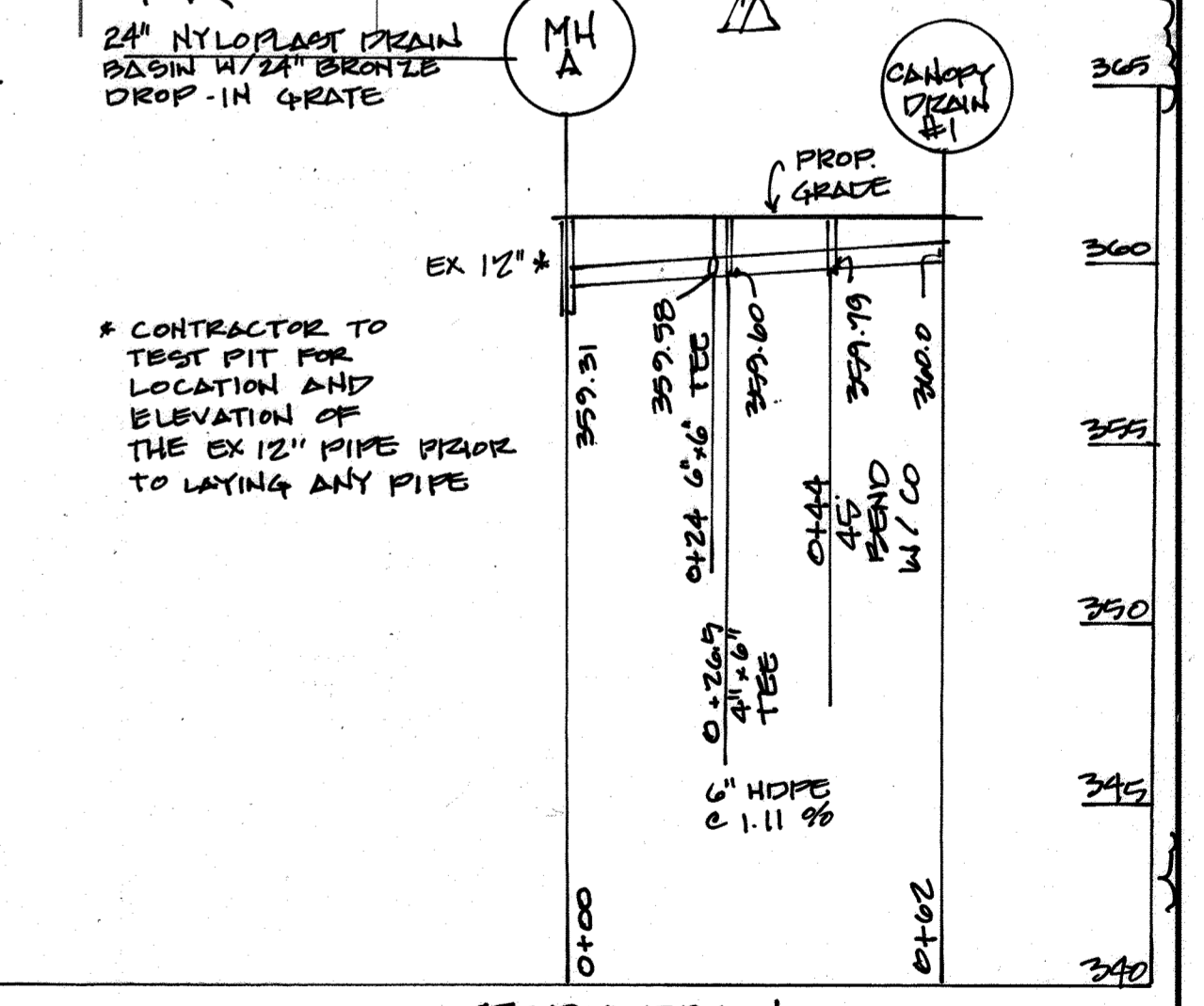
STORM DRAIN PROFILE
SCALE: HORIZ 1"=20'
VERT. 1"=5'



STORM DRAIN PROFILE
SCALE: HORIZ 1"=20'
VERT. 1"=5'



STORM DRAIN PROFILE
SCALE: HORIZ 1"=20'
VERT. 1"=5'



STORM DRAIN PROFILE
SCALE: HORIZ 1"=20'
VERT. 1"=5'

APPROVED PLANNING BOARD
OF HOWARD COUNTY
DATE: February 20, 2020

CENTURY ENGINEERING
CONSULTING ENGINEERS - PLANNERS
10710 Gilroy Road, Hunt Valley, MD 21031
Phone: 443.589.2400 Fax: 443.589.2401

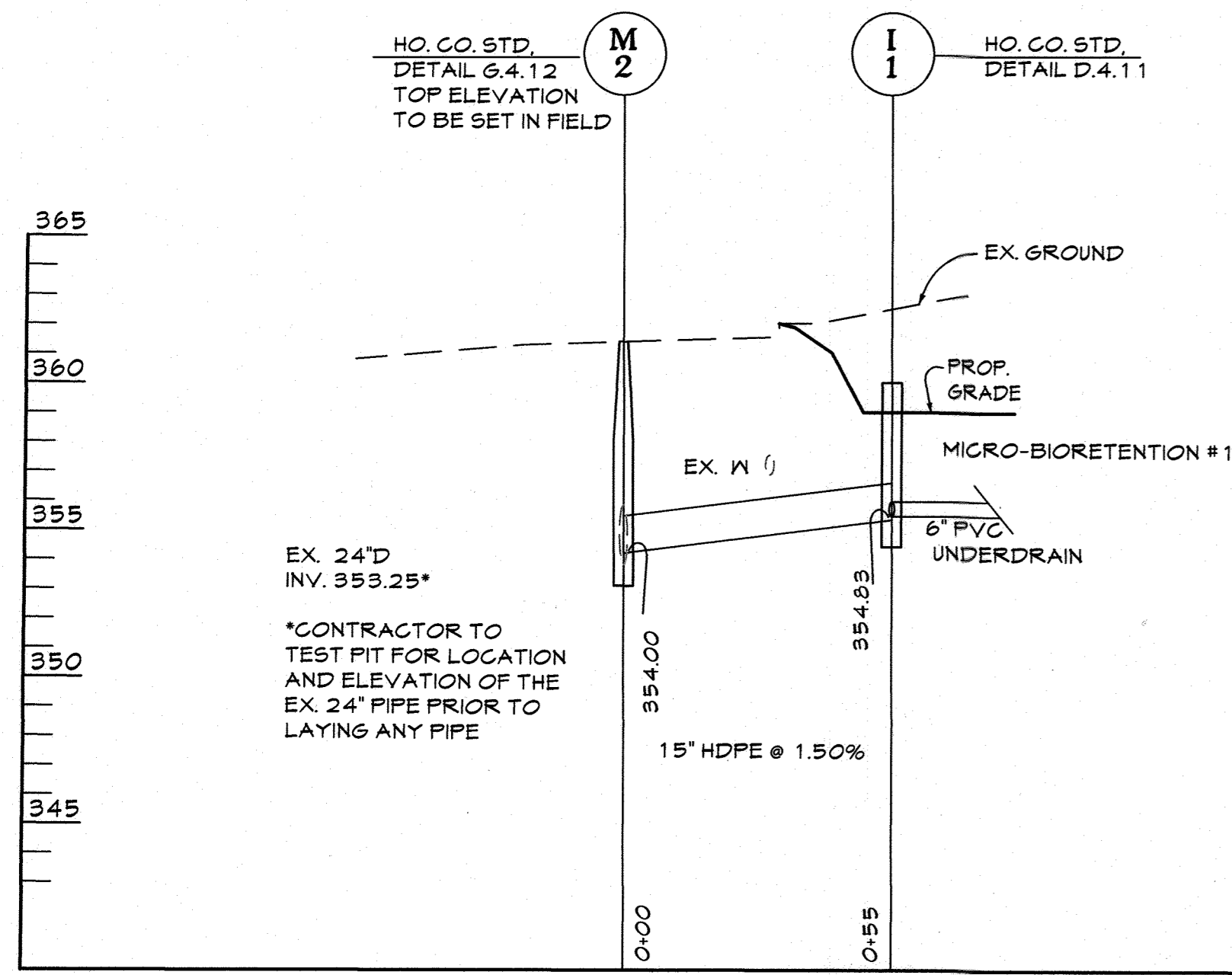
STATE OF MARYLAND
PROFESSIONAL ENGINEER
DESIGN BY: M.J.P.
DRAWN BY: M.S.S.
CHECKED BY: CEJ
DATE: 7/1/20

NO.	REVISION	DATE
1	Site Amenity & Utility Revisions; Additional Storm Drain Profiles 1/28/20	11/5/2020
2	ADD SEWER CONNECTION TO WEST SIDE LOWER LEVEL (FORMERLY SEARS)	

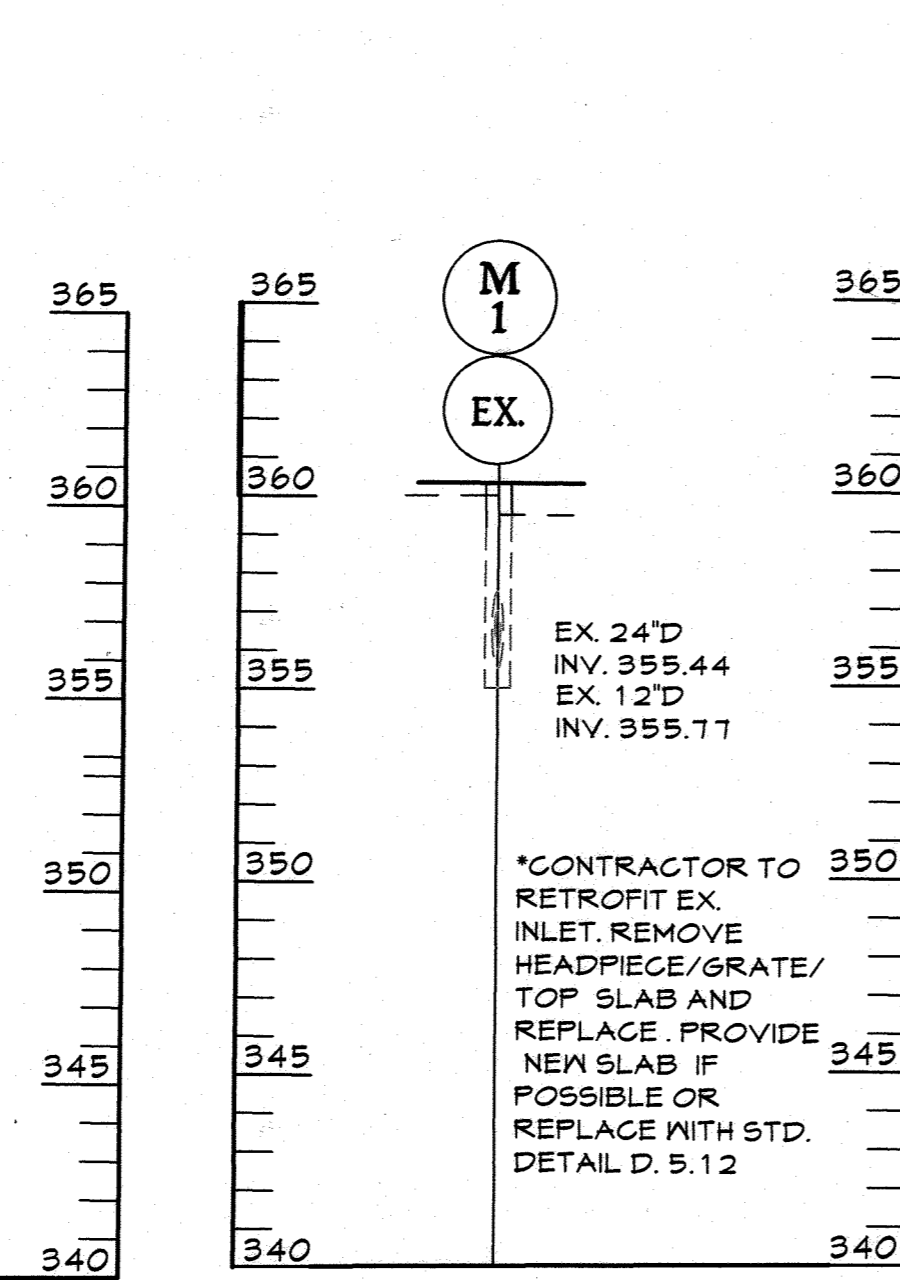
DEVELOPER
BROOKFIELD PROPERTIES
26300 CEDAR ROAD
BEECHWOOD, OHIO 44122
212-417-7000

REVISED SITE DEVELOPMENT PLAN
THE MALL IN COLUMBIA
SEARS - LOWER LEVEL COLUMBIA TOWN CENTER
TAX MAP: 30, 36 LOT: 47 & 22 GRID: 19, 20, 1, 2 ZONED: NT PARCEL: 460 F-04-045
ELECTION DISTRICT 5 HOWARD COUNTY, MARYLAND
SHEET 67 OF 73

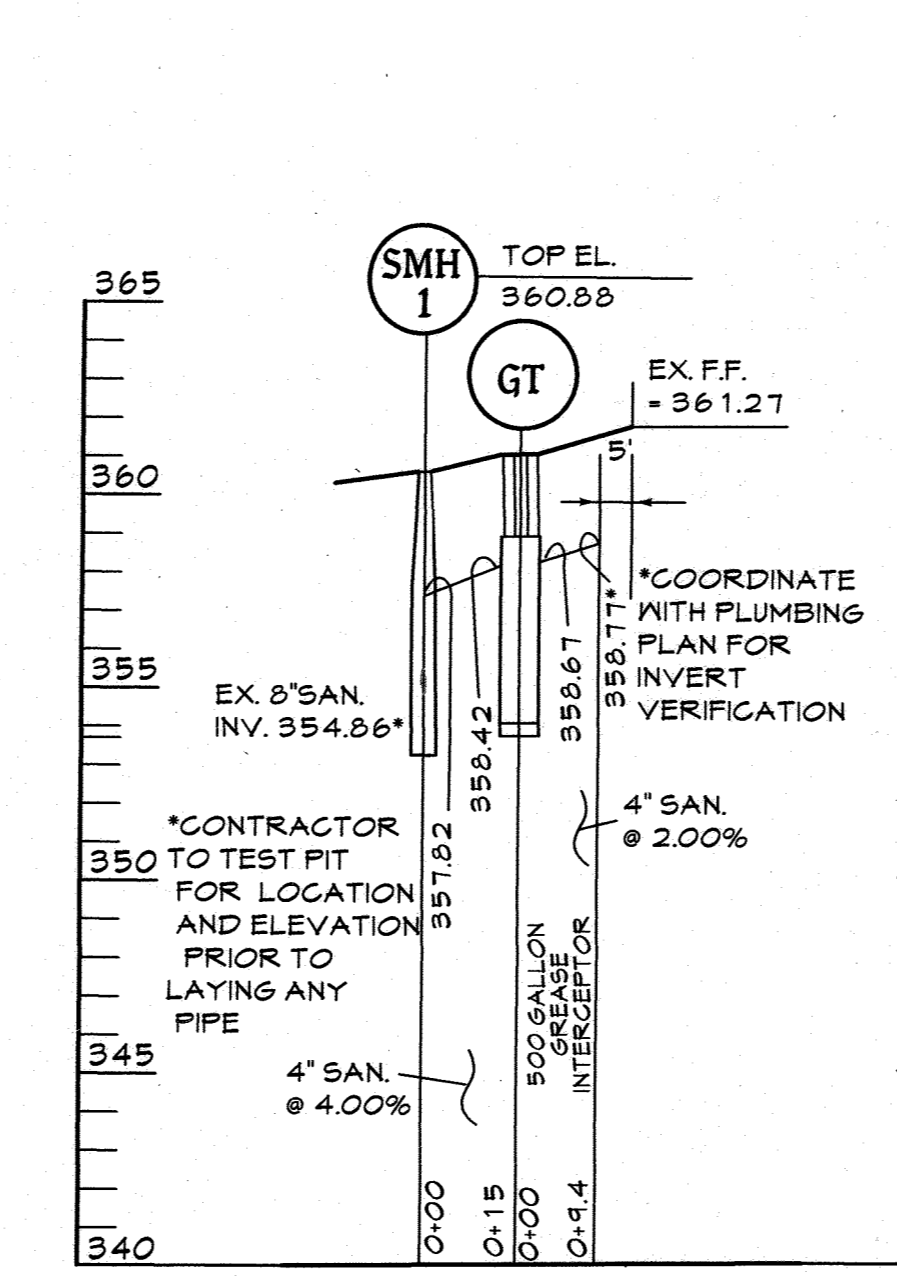
C.E.I. PROJECT NUMBER 28141.06
SCALE:



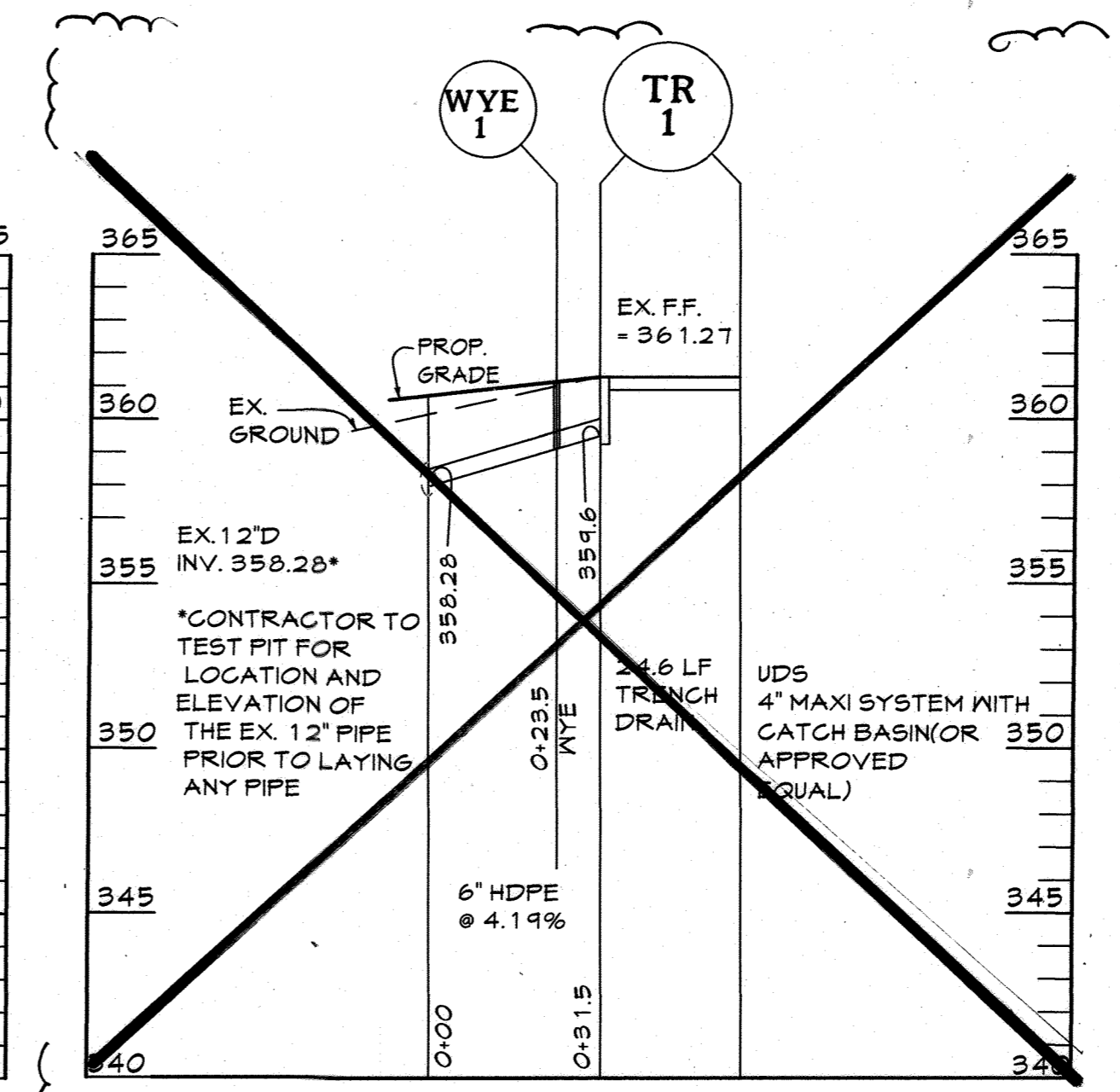
STORM DRAIN PROFILE
SCALE: HORIZ: 1"=30'
VERT: 1"=5'



STORM DRAIN PROFILE
SCALE: HORIZ: 1"=30'
VERT: 1"=5'



SANITARY SEWER PROFILE
SCALE: HORIZ: 1"=30'
VERT: 1"=5'



STORM DRAIN PROFILE
SCALE: HORIZ: 1"=30'
VERT: 1"=5'

Oldcastle Precast Water

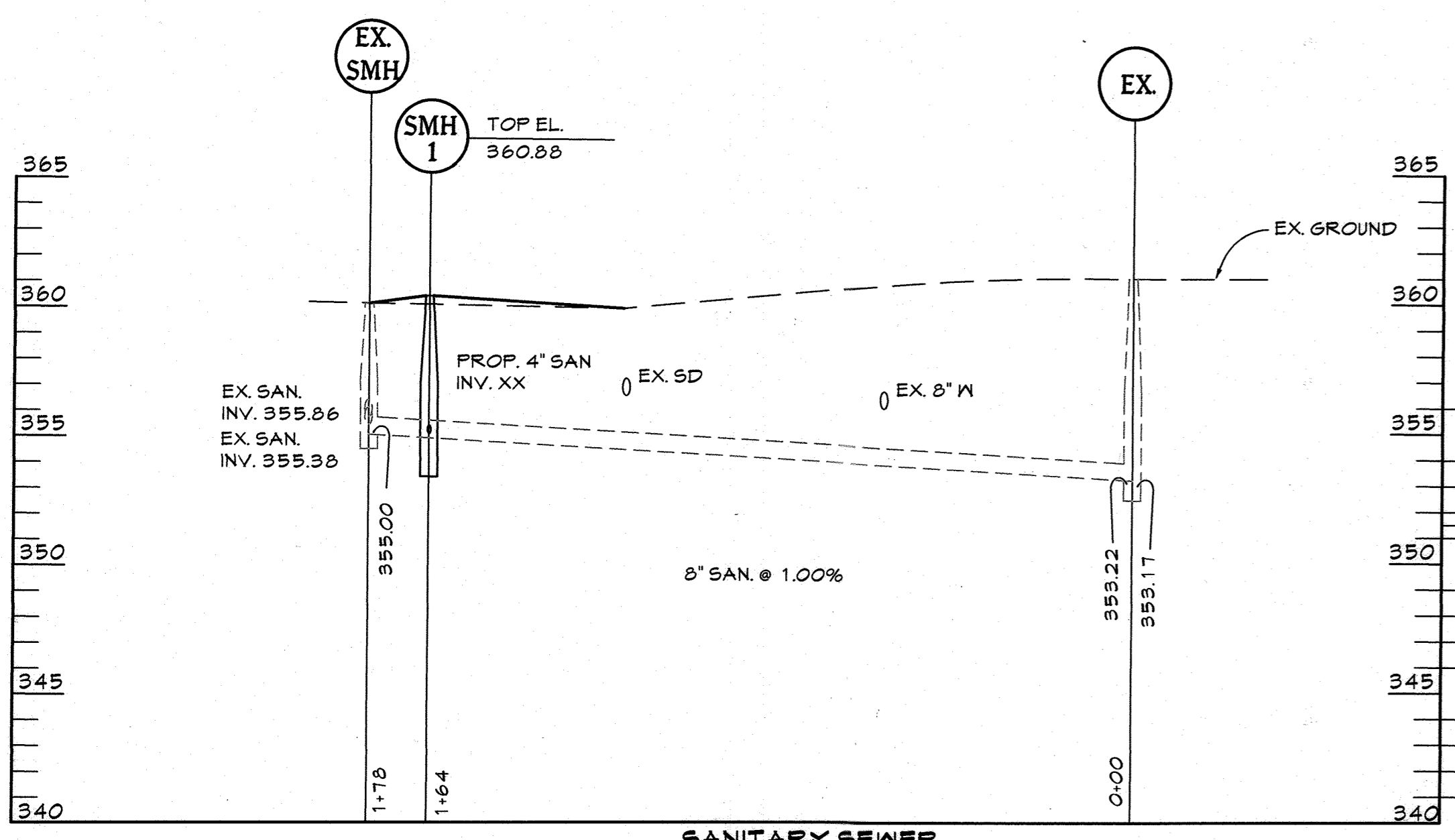
4'-0" x 5'-6" x 5'-6" I.D.
500 Gallon Grease Trap
Model GT-500

500 GT Top W/ Frame
Weight = 2,000 Lbs.
Item# = 1245420

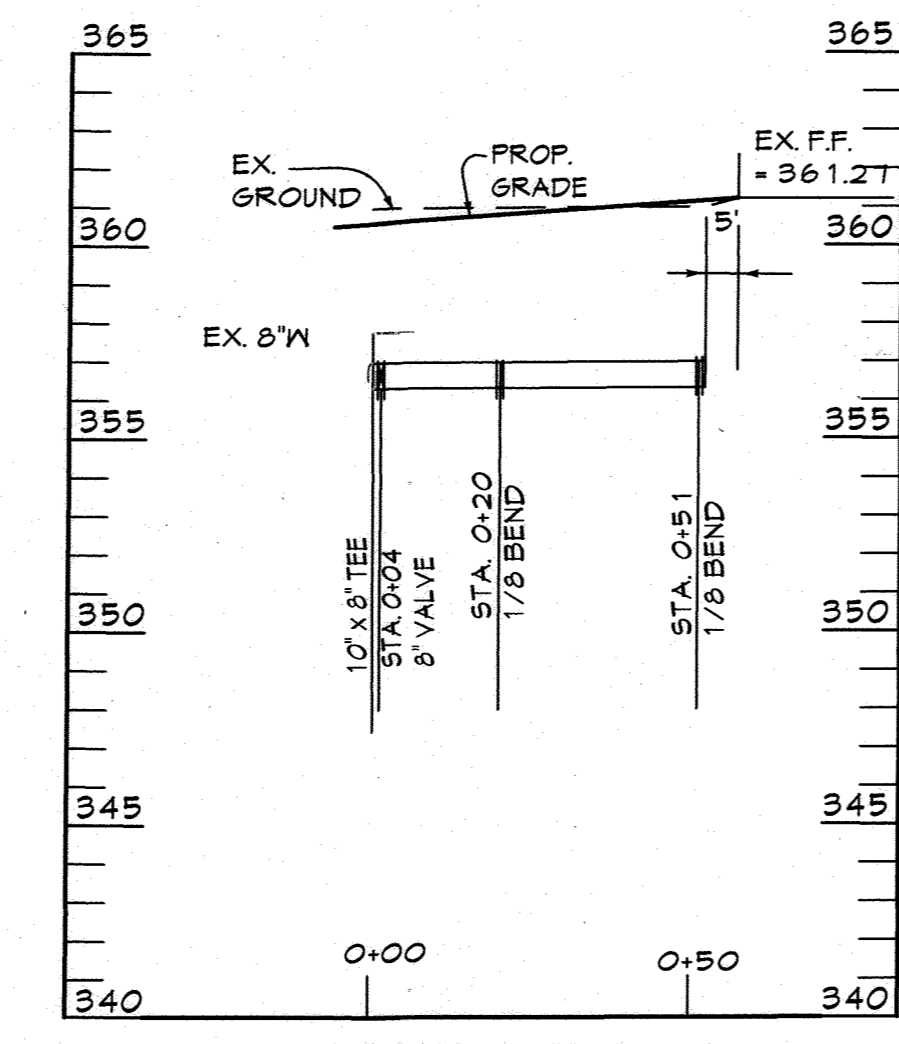
500 GT Body W/ Baffles
Weight = 8,200 Lbs.
Item# = 1242480

Texas Region
For more information about our products please visit us on the web at: oldcastleprecast.com
© 2013 Oldcastle Precast, Inc. WVA

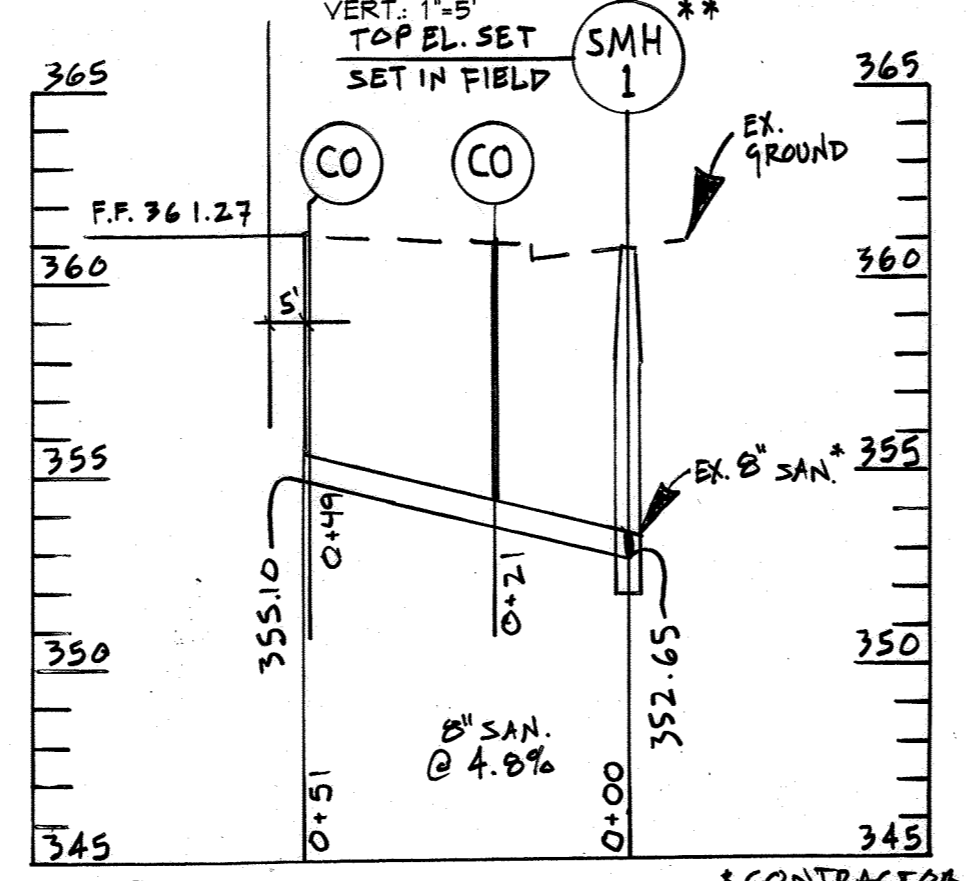
888-Oldcastle
(888-965-3227)



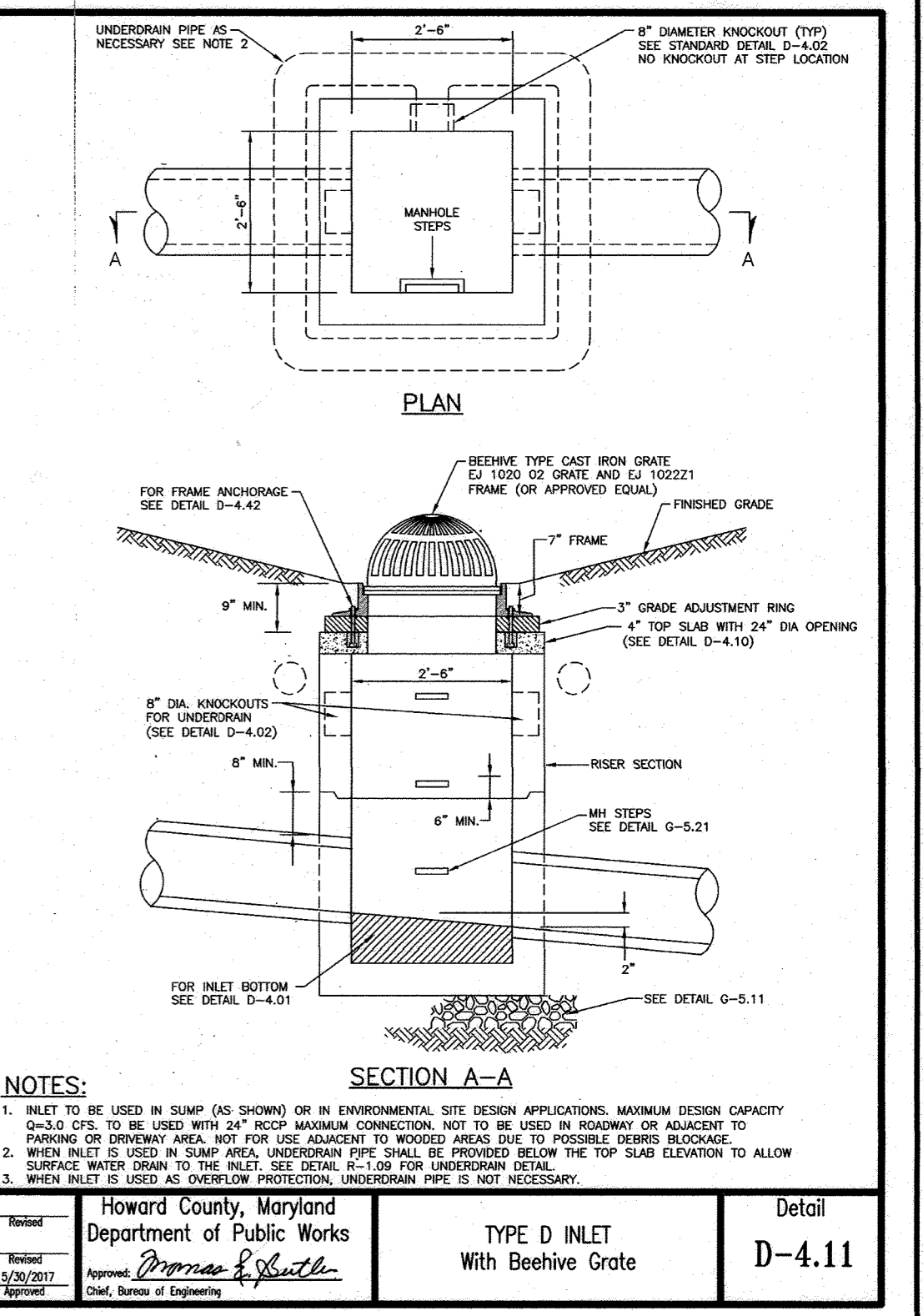
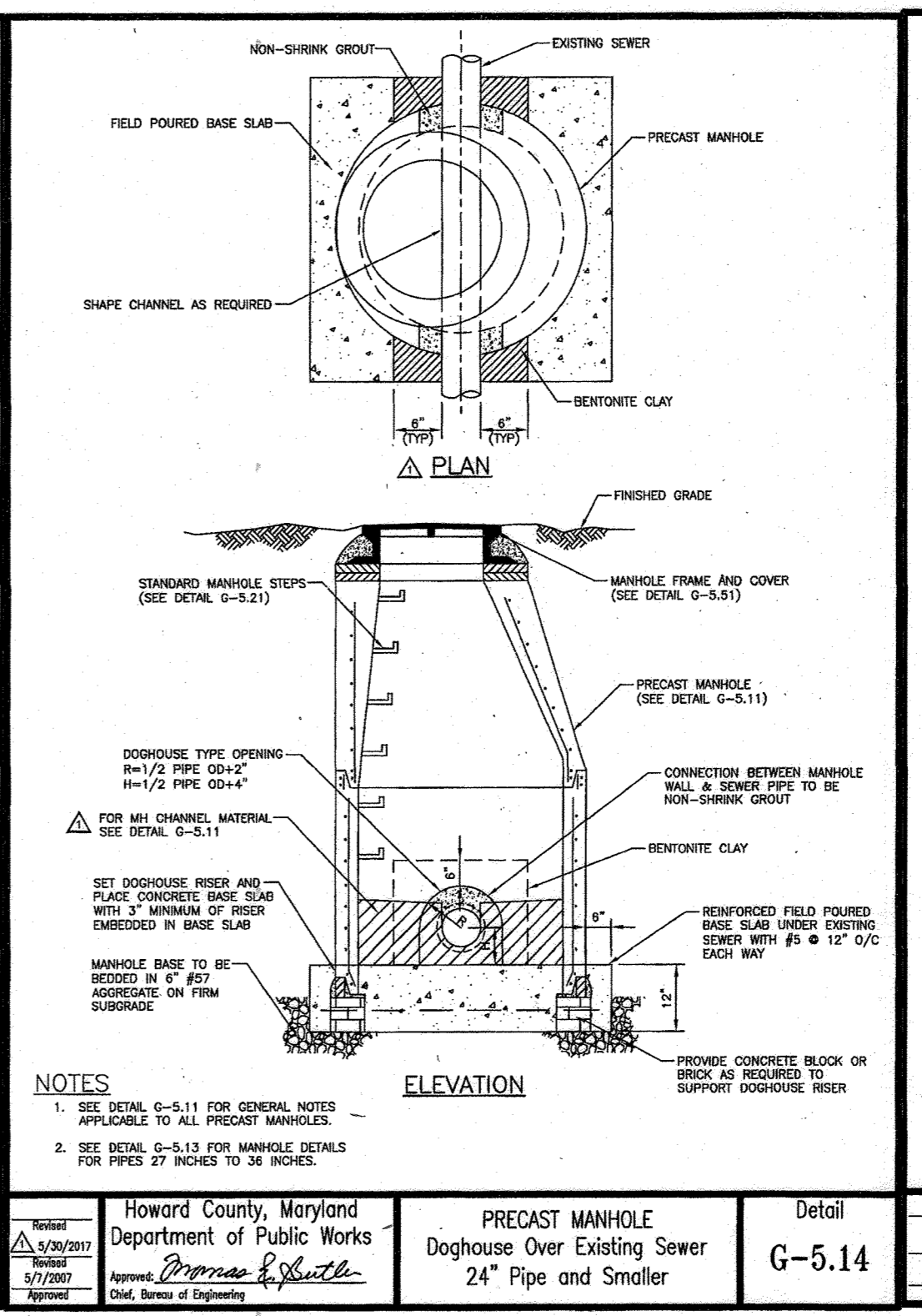
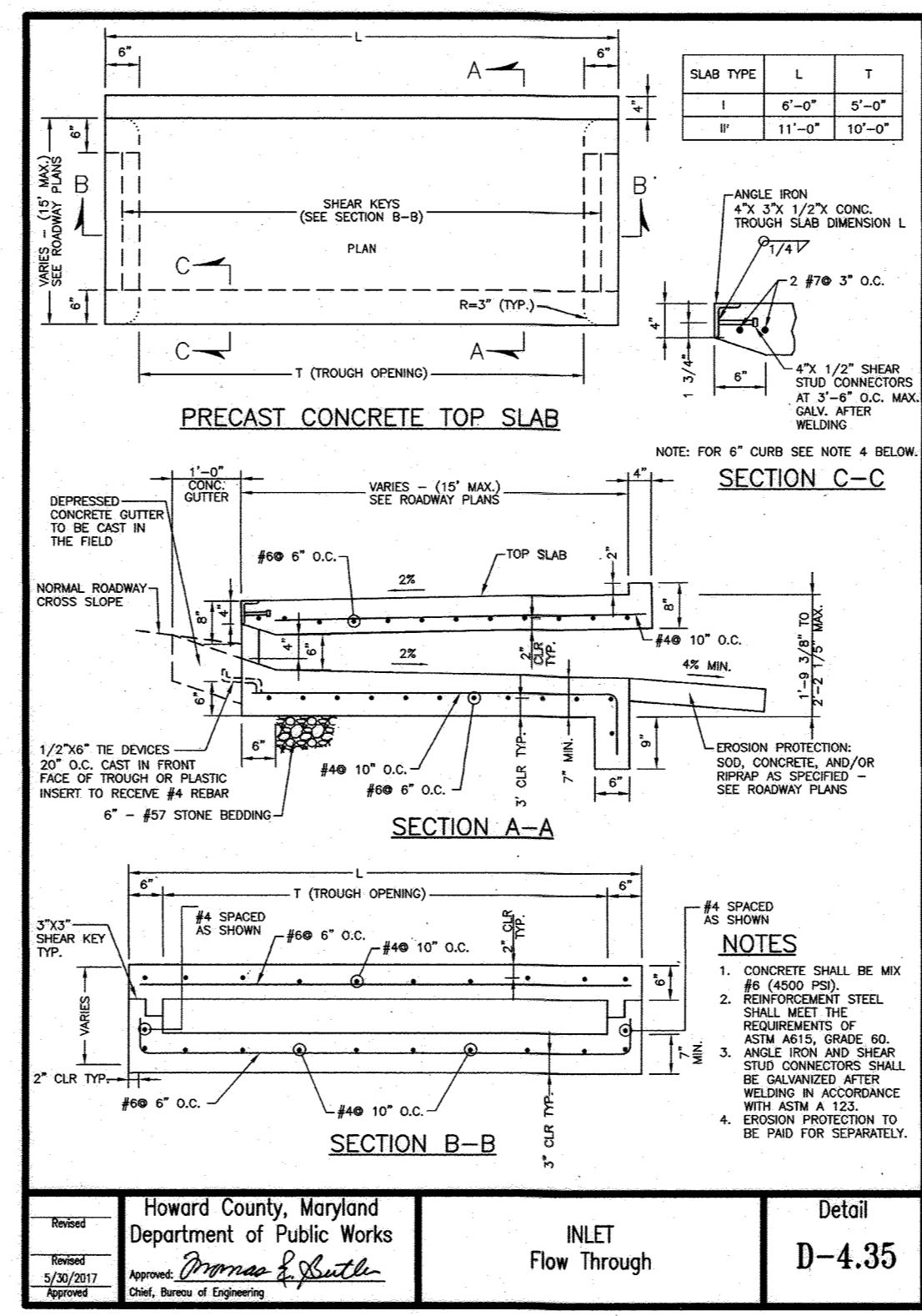
SANITARY SEWER PROFILE
SCALE: HORIZ: 1"=30'
VERT: 1"=5'



WATER LINE PROFILE
SCALE: HORIZ: 1"=30'
VERT: 1"=5'



SANITARY SEWER SET IN FIELD PROFILE
SCALE: HORIZ: 1"=30'
VERT: 1"=5'



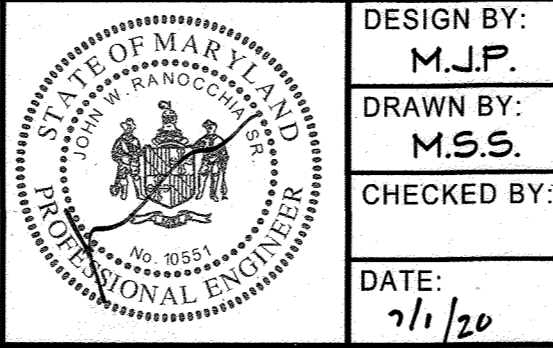
Howard County, Maryland Department of Public Works Approved: <i>Thomas J. Smith</i> Date: 5/26/2017 Title: Chief, Bureau of Engineering	INLET Flow Through Detail D-4.35	Howard County, Maryland Department of Public Works Approved: <i>Thomas J. Smith</i> Date: 5/26/2017 Title: Chief, Bureau of Engineering	PRECAST MANHOLE Doghouse Over Existing Sewer 24" Pipe and Smaller Detail G-5.14	Howard County, Maryland Department of Public Works Approved: <i>Thomas J. Smith</i> Date: 5/26/2017 Title: Chief, Bureau of Engineering	TYPE D INLET With Beehive Grate Detail D-4.11
---	--	---	---	---	---

APPROVED PLANNING BOARD OF HOWARD COUNTY
DATE: February 20, 2020

PROFESSIONAL CERTIFICATION
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.
LICENSE NUMBER: 10551 EXPIRATION DATE: 8/28/21

APPROVED: DEPARTMENT OF PLANNING AND ZONING
Chief, Development Engineering Division
Chief, Division of Land Development
Director

M CENTURY ENGINEERING
CONSULTING ENGINEERS - PLANNERS
10710 Gilroy Road, Hunt Valley, MD 21031
Phone: 443.589.2400 Fax: 443.589.2401

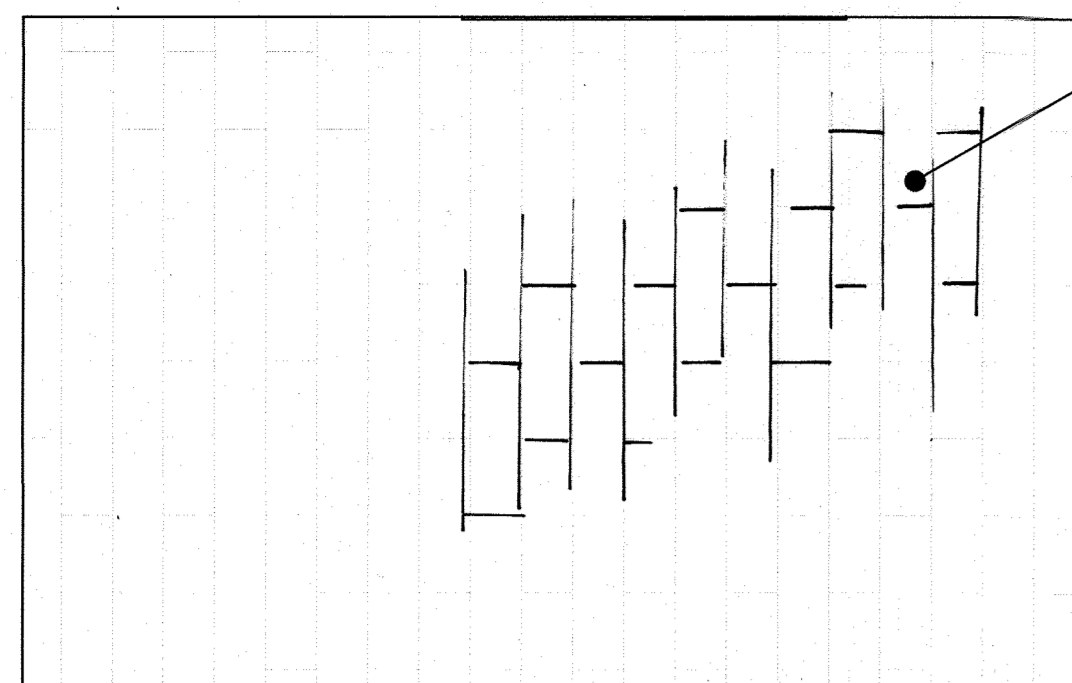


DESIGN BY: M.J.P.	
DRAWN BY: M.S.S.	
CHECKED BY: C.E.T.	
DATE: 7/1/20	
BY NO.:	
REVISION:	
DATE:	

DEVELOPER
BROOKFIELD PROPERTIES
26300 CEDAR ROAD
BEECHWOOD, OHIO 44122
212-417-7000

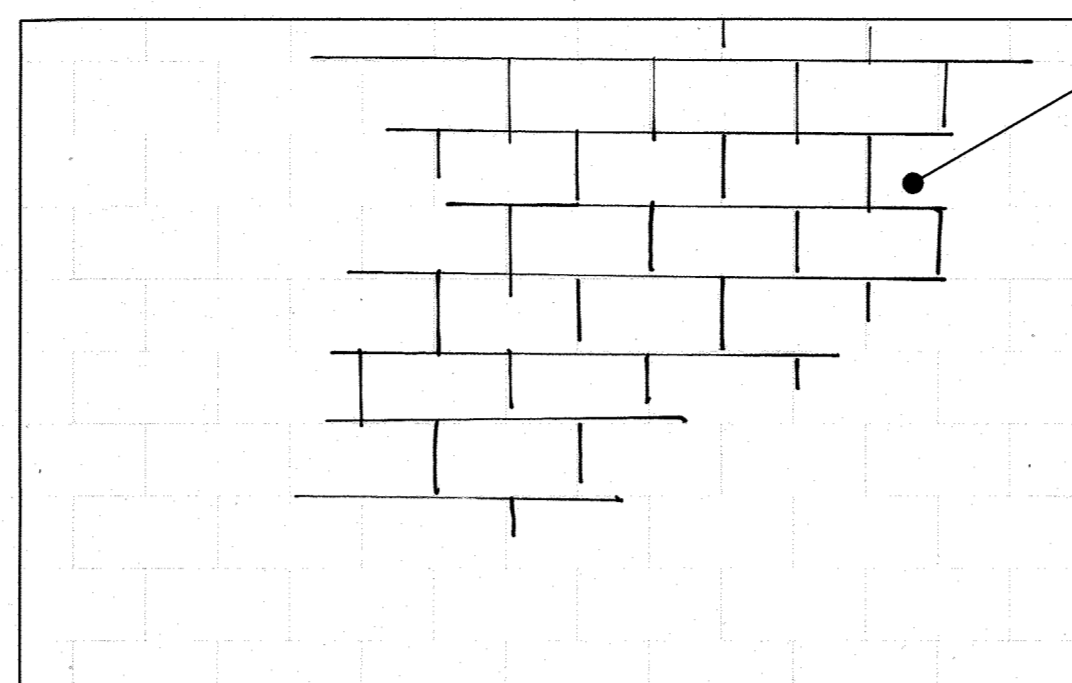
REVISED SITE DEVELOPMENT PLAN THE MALL IN COLUMBIA
SEARS - LOWER LEVEL COLUMBIA TOWN CENTER
TAX MAP: 30, 38 LOT: 47 & 22 GRID: 19, 20, 1, 2 ZONED: NT PARCEL: 460 F-04-045
ELECTION DISTRICT 5 HOWARD COUNTY, MARYLAND
SHEET 68 OF 73
SCALE: SDP-13-016

S:\3008 Facilities\28 14 1.04 TMC Sears\CADD\Drawings\TYMC - Sears LL\Reclines\28 14 1.08 (UP-02)AA Utility Profiles_68 of 79.dwg Jul 01, 2020 9:41 pm kdarley



TYP. DECORATIVE SCORING PATTERN

NOTE:
REFER TO PLAN (THIS SHEET)
FOR ORIENTATION OF
PAVING FIELD



TYP. DECORATIVE SCORING PATTERN

NOTE:
REFER TO PLAN (THIS SHEET)
FOR ORIENTATION OF
PAVING FIELD

NOTE:
PAVERS SELECTED IN ACCORDANCE
W/ NEIGHBORHOOD DESIGN GUIDELINES.

ACCENT PAVERS 1
CONCRETE UNIT PAVERS (BY HANOVER)
CHARCOAL TUDOR FINISH (CHT) 12"x24" = 40%
MATRIX # M2127T (TUDOR FINISH) 12"x24" = 60%

ACCENT PAVERS 2
CONCRETE UNIT PAVERS (BY HANOVER)
MATRIX # M1025 (TUDOR FINISH) 8" x 16" = 40%
MATRIX # M2127*F13 (FINISH 13) 8" x 16" = 60%

ACCENT PAVING 2 - CONCRETE PAVING PATTERN

Not To Scale

ACCENT PAVING 1 - CONCRETE PAVING PATTERN

Not To Scale

CONCRETE BAND,
LIGHT BROOM FINISH,
SCORE EVERY 5'
ADJACENT CONCRETE
PAVERS

24"
(SEE PLAN)

CONCRETE BANDING

Not To Scale

LEGEND

- Existing Minor Contour
- Existing Major Contour
- Existing Edge of Paving
- Av --- Soil Line
- SD --- Existing Storm Drain and Inlet
- W --- Existing Water and Fire Hydrant
- SAN --- Existing Sewer
- Existing Curb and Gutter
- E --- Existing Underground Electric
- OHE --- Existing Overhead Electric
- FO --- Existing Fiber Optic
- CTV --- Existing Cable Television
- G --- Existing Gas and Valve
- BGE#542497 --- Existing BGE Light Pole
- Existing Sign
- Existing Electric Structure
- X-X-X --- Existing Fence Line
- Existing Retaining Wall
- Existing Tree Line
- Existing Drive
- Existing Building
- Limit of field run topo
- Proposed Curb and Gutter
- Proposed Retaining Wall
- Proposed Edge of Pavement
- Proposed Sidewalk
- Proposed Lighting
- Proposed Bench

APPROVED
PLANNING BOARD
of HOWARD COUNTY

DATE: February 20, 2020

PROFESSIONAL CERTIFICATION

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.

LICENSE NUMBER: 10557 EXPIRATION DATE: 8/26/21

SEARS ROEBUCK & CO
COLUMBIA TOWN CENTER
SECTION 2, AREA 1, LOT 22
PLAT No. 4448, PARCEL 322
RETAIL

PLAN

SCALE: 1"=20'

TYP. DECORATIVE SCORING PATTERN

CONCRETE UNIT PAVERS (BY HANOVER)
MATRIX # M1142BT (TUDOR FINISH) 24"x48" = 100%

NOTE:
REFER TO PLAN (THIS SHEET)
FOR ORIENTATION OF
PAVING FIELD

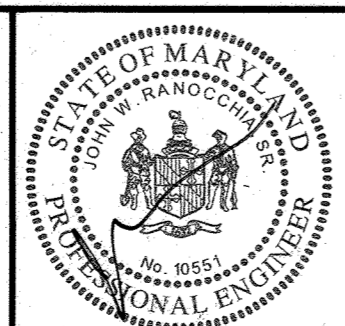
ACCENT PAVING 3 - CONCRETE PAVING PATTERN

Not To Scale

REVISED LAYOUT PLAN

APPROVED: DEPARTMENT OF PLANNING AND ZONING
Date: 7/27/20
Date: 6/24/20
Date: 2/24/20

M CENTURY ENGINEERING
CONSULTING ENGINEERS - PLANNERS
10710 Gilroy Road, Hunt Valley, MD 21031
Phone: 443.589.2400 Fax: 443.589.2401



DESIGN BY:	M.J.P.
DRAWN BY:	M.S.S.
CHECKED BY:	
DATE:	7/1/20
BY:	NO.
REVISION:	
DATE:	12/23/20

DEVELOPER
BROOKFIELD PROPERTIES
26300 CEDAR ROAD
BEECHWOOD, OHIO 44122
212-417-7000

REVISED SITE DEVELOPMENT PLAN
THE MALL IN COLUMBIA
SEARS - LOWER LEVEL COLUMBIA TOWN CENTER
TAX MAP: 30.36 LOT: 47 & 22 GRID: 19, 20, 1, 2 ZONED: NT PARCEL: 460 F-04-045
ELECTION DISTRICT 5 HOWARD COUNTY, MARYLAND
SHEET 69 OF 73

C.E.I. PROJECT NUMBER
28141.06
SCALE:

SEQUENCE OF CONSTRUCTION

1. Obtain grading permits (1 day)
2. Install erosion and sediment control measures (SCE, SFP and Inlet protection) (2 days)
3. Contractor to begin rough grading operations and removal of curbs, existing and existing paving. Repair as necessary any sediment controls at the end of each working day. (10 days)
4. Contractor to begin utility construction and building entrance work. Repair as necessary any sediment controls at the end of the day. (45 days)
5. Utility tie-ins to existing pipes to follow utility notes. Repair paving as necessary and tie-ins should be made during a 3 day dry weather forecast. (7 days)
6. Install inlet protection for I-1 and install filter media only when curbs and final paving is completed for area draining to the MBR. (4 days)
7. When construction is completed and with the permission of the inspector, remove SFP to install remaining full curb and new ramps. (7 days)
8. Stabilize all areas and install landscaping. (7 days)
9. Once all areas are stabilized, and with the permission of the sediment control inspector, remove SCE and repair driveway. (7 days)
10. With the approval of the sediment control inspector, permanently stabilize any remaining areas and remove remaining sediment control devices disturbed by this process. (2 days)

LEGEND

- | | |
|---|--|
| --- Existing Minor Contour | ---X---X--- Construction Fence |
| --- Existing Major Contour | ---SFOP--- Silt Fence on Paving |
| --- Existing Edge of Paving | ---SF--- Silt Fence |
| --- Soil Line | ---CIP--- Curb Inlet Protection |
| ---SD--- Existing Storm Drain and Inlet | ---SIP--- Standard Inlet Protection |
| ---W--- Existing Water and Fire Hydrant | ---SCE--- Stabilized Construction Entrance |
| ---SAN--- Existing Sewer | ---M--- Mountable Berm |
| --- Existing Curb and Gutter | |
| ---E--- Existing Underground Electric | |
| ---OHE--- Existing Overhead Electric | |
| ---FO--- Existing Fiber Optic | |
| ---CTV--- Existing Cable Television | |
| ---G--- Existing Gas and Valve | |
| ---BGEK42497--- Existing BGE Light Pole | |
| --- Existing Sign | |
| --- Existing Electric Structure | |
| ---X---X--- Existing Fence Line | |
| --- Existing Retaining Wall | |
| --- Existing Tree Line | |
| --- Existing Drive | |
| --- Existing Building | |
| --- Proposed Curb & Gutter | |
| --- Proposed Sidewalk | |
| --- Limit of Disturbance | |
| --- Drainage Divide | |

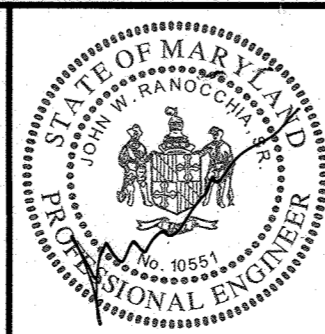
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LICENSE NUMBER: 10551 EXPIRATION DATE: 6/28/21

APPROVED
PLANNING BOARD
of HOWARD COUNTY

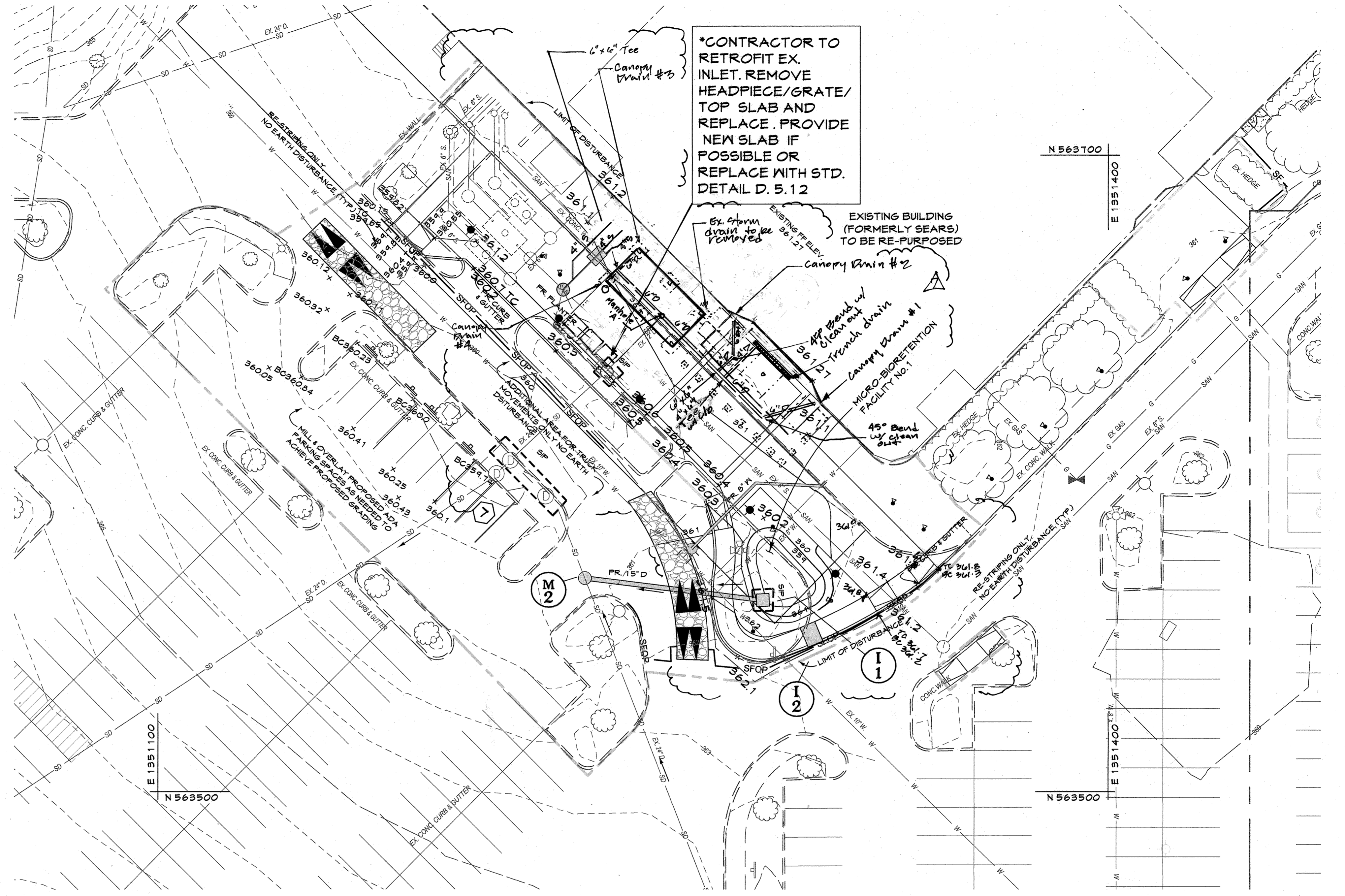
DATE: February 20, 2020
(Feb 20, 2020)



DESIGN BY:	M.J.P.
DRAWN BY:	M.S.S.
CHECKED BY:	
DATE:	7/1/20
BY:	CSE A Utility Revisions
NO.:	
REVISION:	
DATE:	7/1/20

M CENTURY ENGINEERING
CONSULTING ENGINEERS - PLANNERS
10710 Gilroy Road, Hunt Valley, MD 21031
Phone: 443.589.2400 Fax: 443.589.2401

*CONTRACTOR TO RETROFIT EX. INLET. REMOVE HEADPIECE/GRATE/ TOP SLAB AND REPLACE. PROVIDE NEW SLAB IF POSSIBLE OR REPLACE WITH STD. DETAIL D. 5.12



PLAN

SCALE: 1"=20'

For the Howard Soil Conservation District
This Development Plan is approved for Soil Erosion and Sediment Control by the Howard Soil Conservation District.
J. P. [Signature] 9/15/20
Howard Soil Conservation District Date

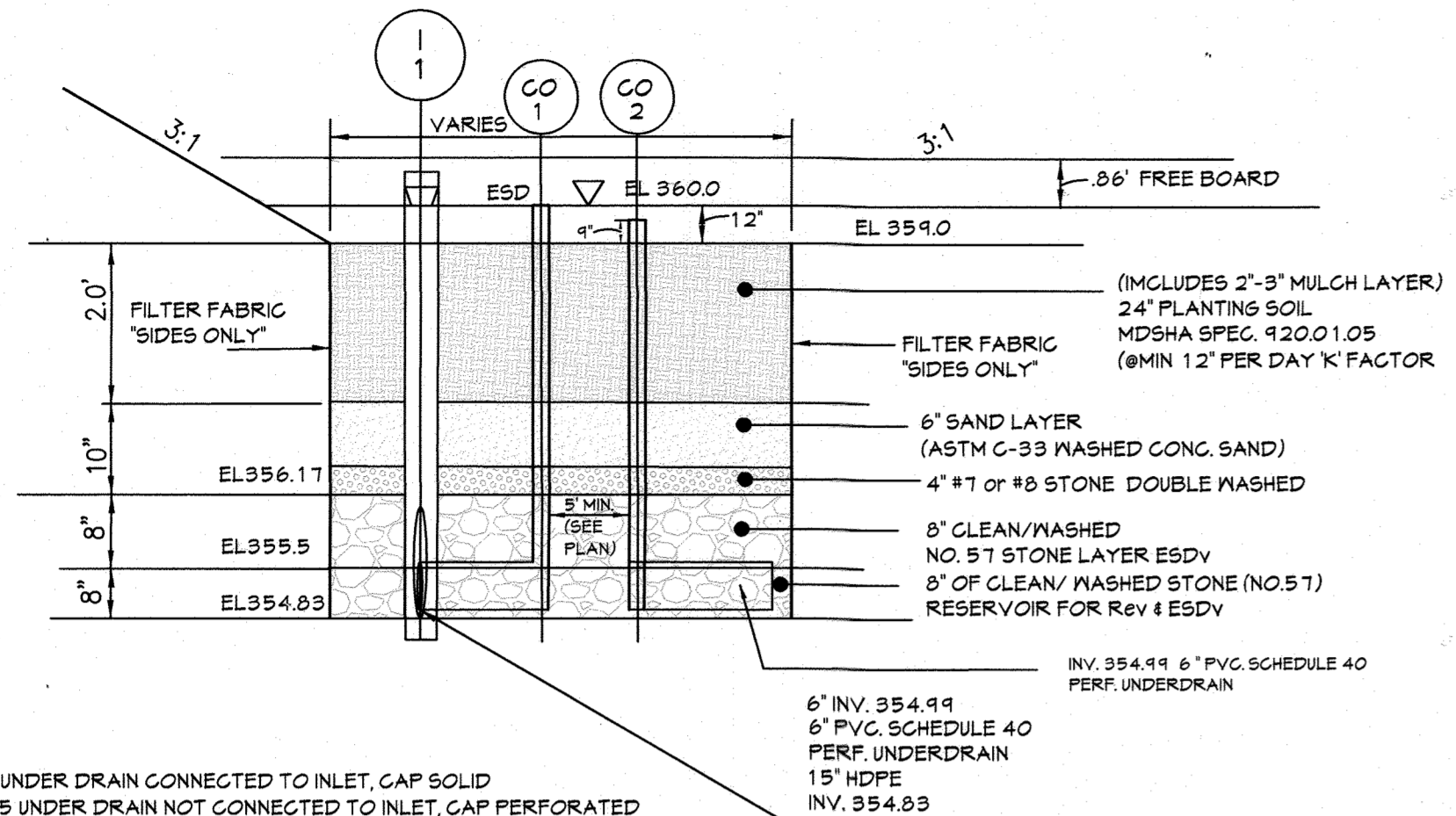
REVISED EROSION & SEDIMENT CONTROL PLAN

APPROVED: DEPARTMENT OF PLANNING AND ZONING
[Signature] 7.27.20
Chief, Development Engineering Division
Date
Chief, Division of Land Development *[Signature]* 8/26/2020
Date
Director *[Signature]* 9/24/20
Date

DEVELOPER
BROOKFIELD PROPERTIES
26300 CEDAR ROAD
BEECHWOOD, OHIO 44122
212-417-7000

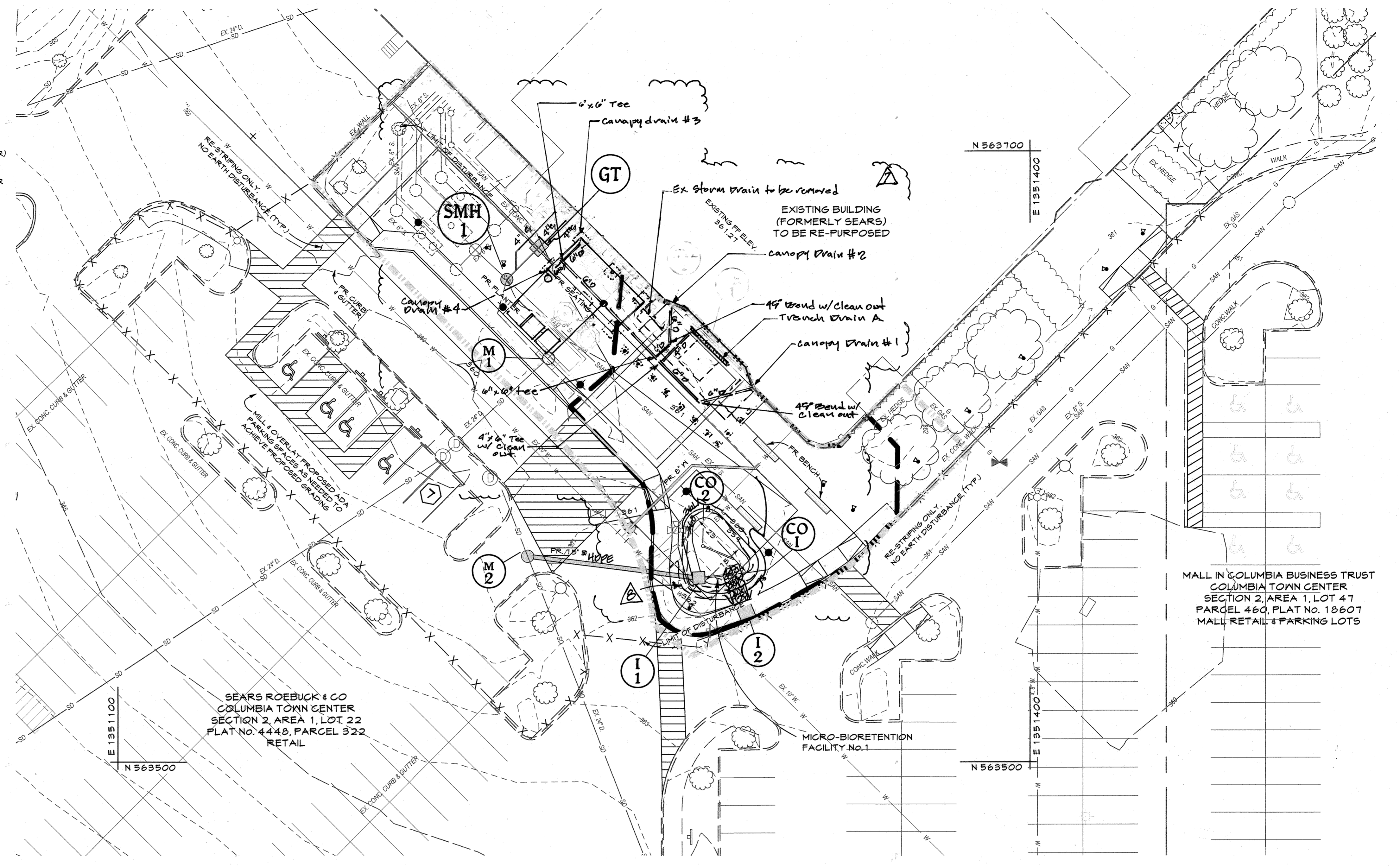
REVISED SITE DEVELOPMENT PLAN
THE MALL IN COLUMBIA
SEARS - LOWER LEVEL COLUMBIA TOWN CENTER
TAX MAP: 30, 36 LOT: 47 & 22 GRID: 19, 20, 1, 2 ZONED: NT PARCEL: 480 F-04-045
ELECTION DISTRICT 5 HOWARD COUNTY, MARYLAND
SHEET 70 OF 73

C.E.I. PROJECT NUMBER 28141.06
SCALE:



MICRO BIORETENTION #1
NOT TO SCALE

1) CO #1 TOP ELEV. = 360.0 UNDER DRAIN CONNECTED TO INLET, CAP SOLID
2) CO #2 TOP ELEV. = 354.75 UNDER DRAIN NOT CONNECTED TO INLET, CAP PERFORATED



PLAN
SCALE: 1"=20'

LEGEND

- Existing Minor Contour
- Existing Major Contour
- Existing Edge of Paving
- Av --- Soil Line
- SD --- Existing Storm Drain and Inlet
- W --- Existing Water and Fire Hydrant
- SAN --- Existing Sewer
- Existing Curb and Gutter
- E --- Existing Underground Electric
- OHE --- Existing Overhead Electric
- FO --- Existing Fiber Optic
- CTV --- Existing Cable Television
- G --- Existing Gas and Valve
- BGE642497 --- Existing BGE Light Pole
- Existing Sign
- Existing Electric Structure
- X-X-X --- Existing Fence Line
- Existing Retaining Wall
- Existing Tree Line
- Existing Drive
- Existing Building
- Proposed Curb & Gutter
- Proposed Sidewalk
- Limit of Disturbance
- Drainage Divide
- Proposed Lighting

PROFESSIONAL CERTIFICATION

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.
LICENSE NUMBER: 10551 EXPIRATION DATE: 9/29/21

APPROVED PLANNING BOARD OF HOWARD COUNTY

DATE: February 20, 2020

PROFESSIONAL CERTIFICATION

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.
LIC. # 24214 EXP. DATE 2-28-24



ESD FACILITY SUMMARY TABLE

Facility Number	Facility Type	Drainage Area	Impervious Area	Volume Calculated	75% Volume Required	Volume Proposed
1	Micro-Bio-retention	8,442 sf 8833 sq ft	3,502 sf 3,221 sq ft	617 cf 457 cf	463 cf 340 cf	600 cf 380 cf

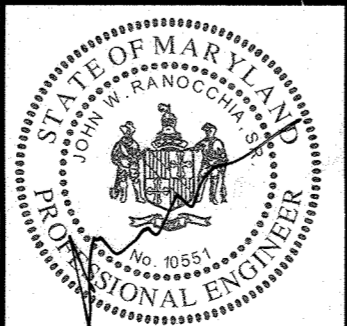
*600 cf of surface volume and 181 cf (25% x 617 cf) stone storage
*313 cf of surface volume and 170 cf (55% x 266 cf) stone storage

ESD volume required = 254 cf
*Impervious area required to be treated
**Impervious area draining to facility

REVISED STORMWATER MANAGEMENT PLAN

APPROVED: DEPARTMENT OF PLANNING AND ZONING
Chief, Development Engineering Division
Chief, Division of Land Development
Director

CENTURY ENGINEERING
CONSULTING ENGINEERS - PLANNERS
10710 Gilroy Road, Hunt Valley, MD 21031
Phone: 443.589.2400 Fax: 443.589.2401

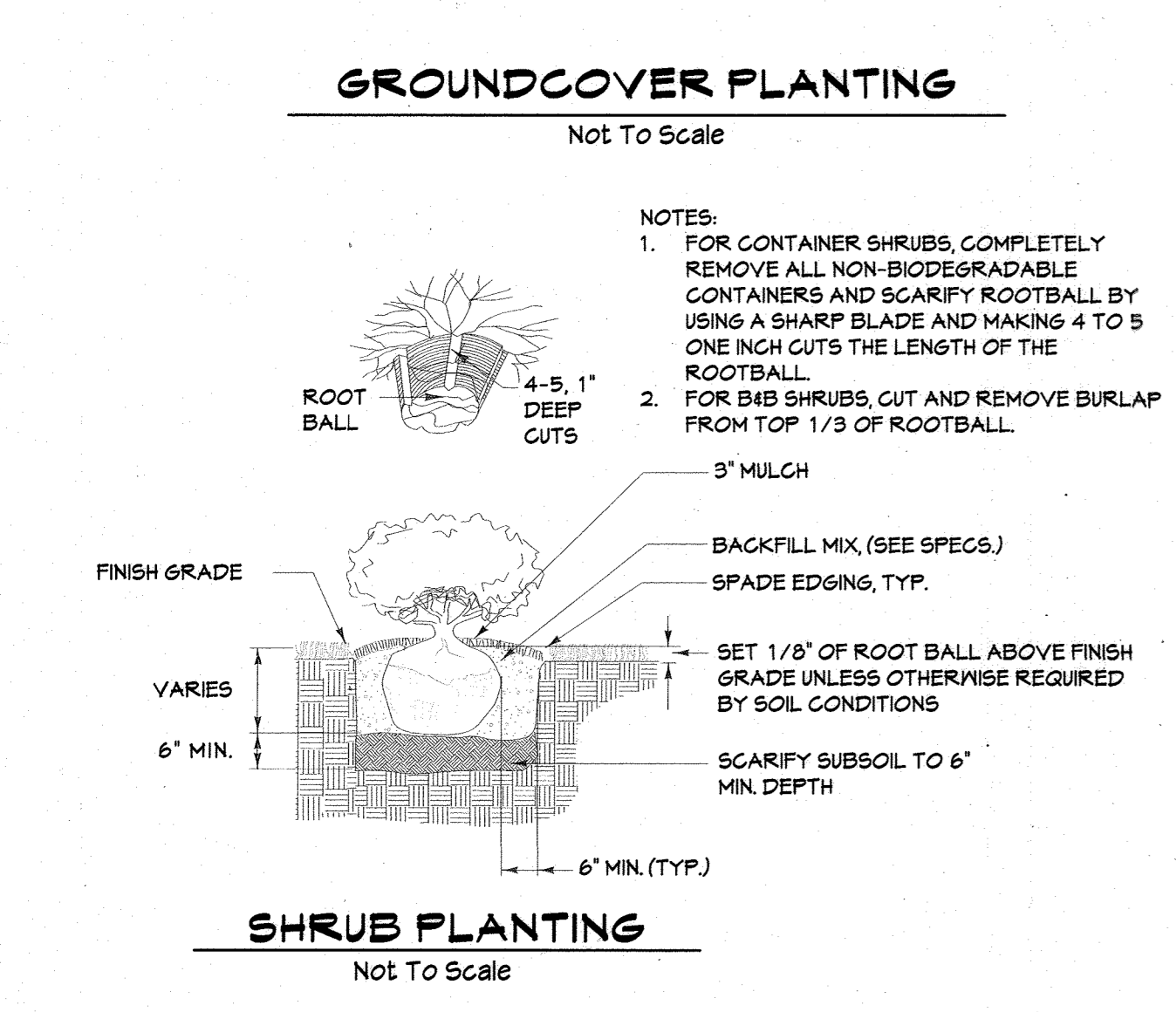
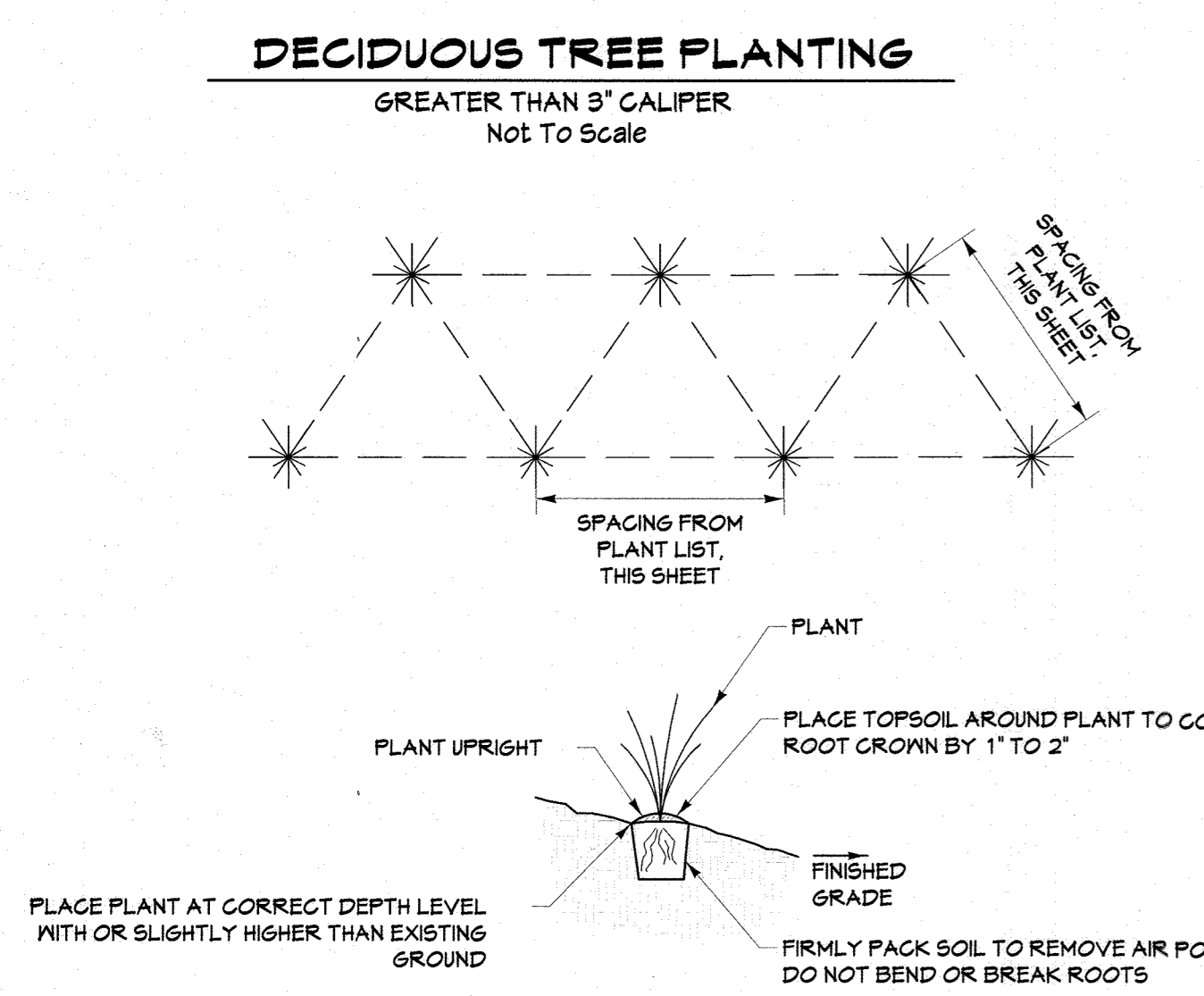
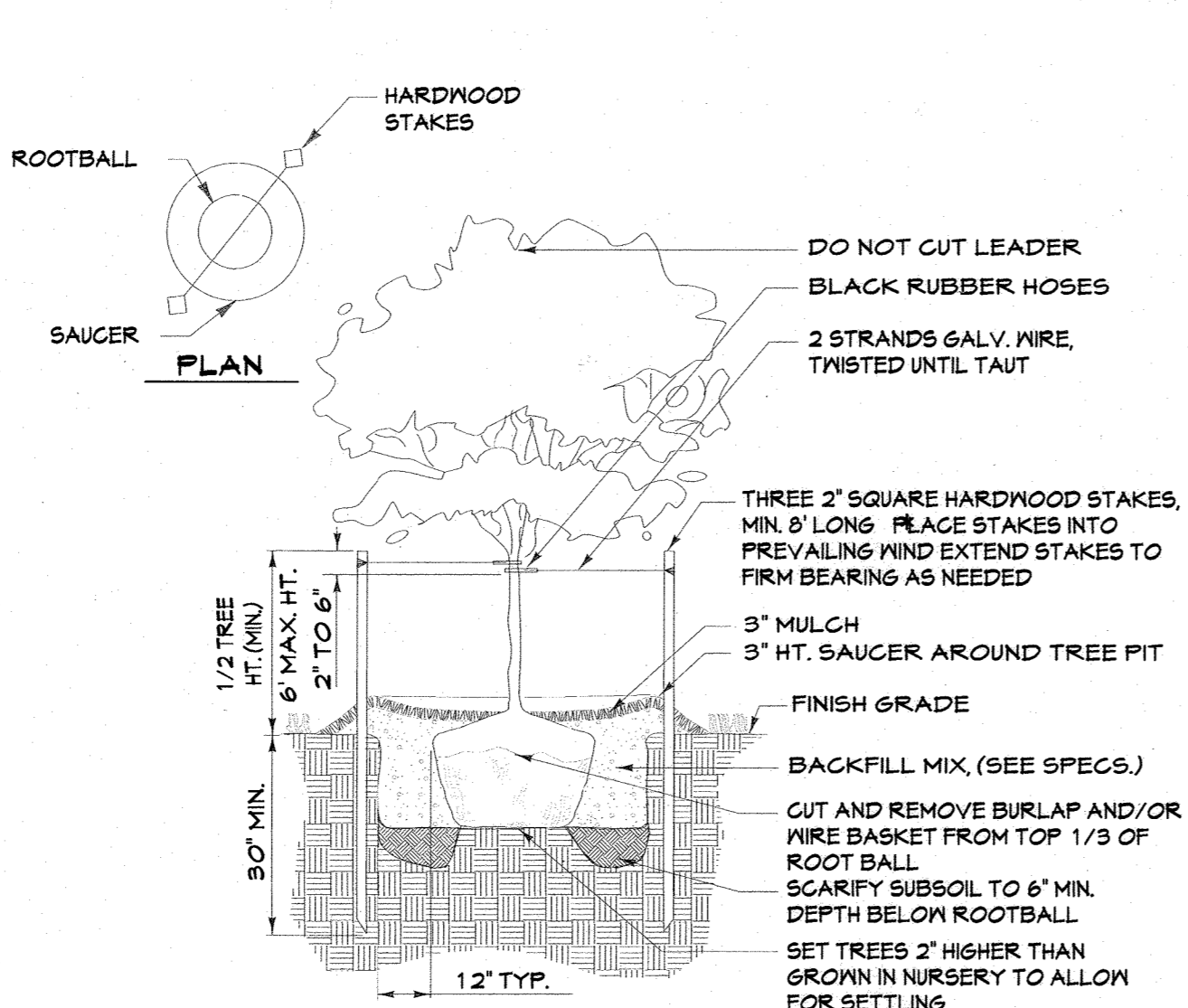
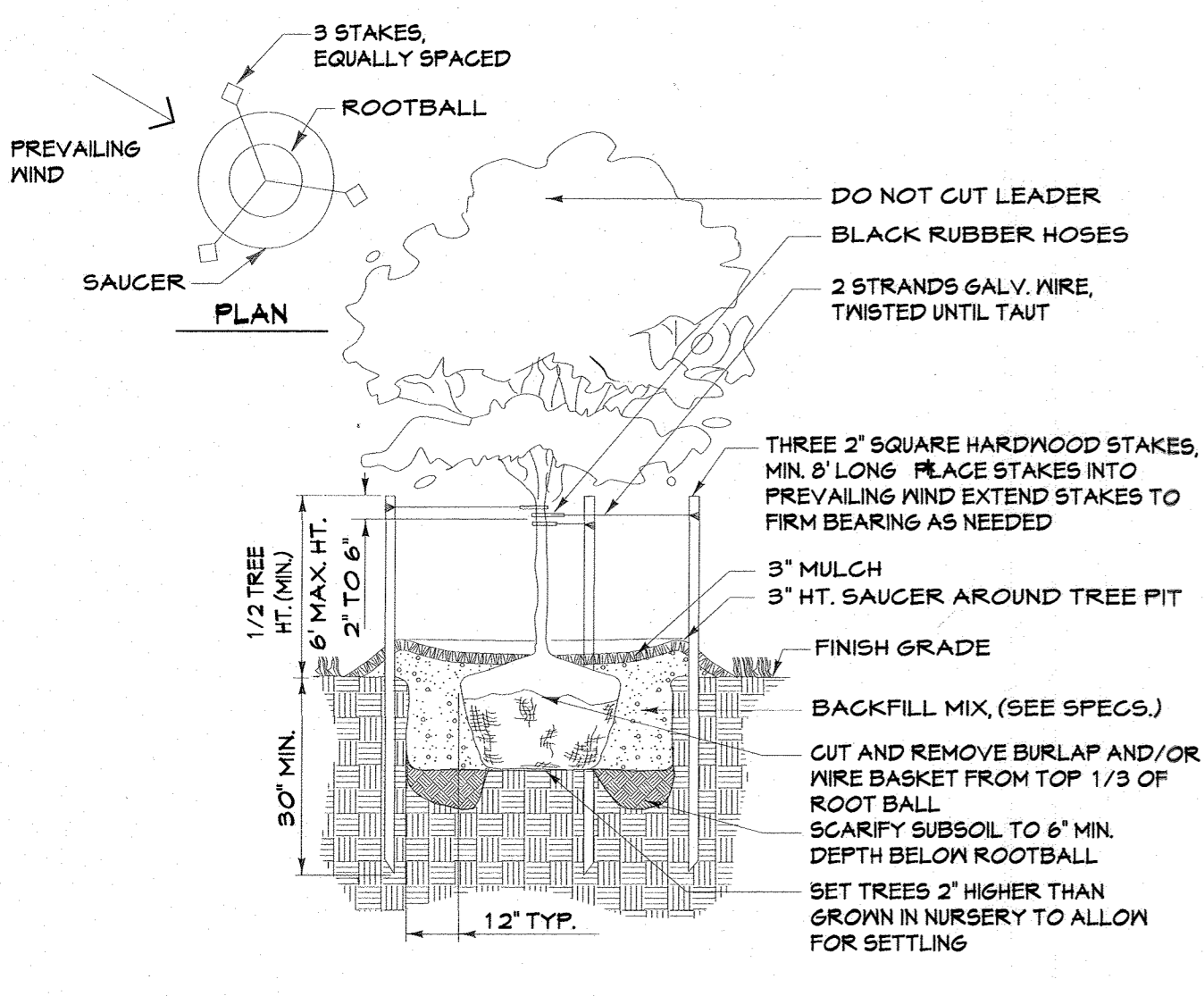


DESIGN BY:	M.J.P.
DRAWN BY:	M.S.S.
CHECKED BY:	CEI
DATE:	7/1/20
BY:	NO.
REVISION:	DATE

DEVELOPER
BROOKFIELD PROPERTIES
26300 CEDAR ROAD
BEECHWOOD, OHIO 44122
212-417-7000

REVISED SITE DEVELOPMENT PLAN
THE MALL IN COLUMBIA
SEARS - LOWER LEVEL COLUMBIA TOWN CENTER
TAX MAP: 30, 36 LOT: 47 & 22 GRID: 19, 20, 1, 2 ZONED: NT PARCEL: 460 F-04-045
ELECTION DISTRICT 5 HOWARD COUNTY, MARYLAND
SHEET 71 OF 73

C.E.I. PROJECT NUMBER: 28141.06
SCALE:



NOTES

- Should any tree designated for preservation for which landscaping credit is given, die prior to release of bonds, the owner will be required to replace the tree with the equivalent species or with a tree which will obtain the same height, spread and growth characteristics. The replacement tree must be a minimum of 3 inches in caliper and installed as required in the Howard County Landscape Manual.
- The owner, tenant and/or their agents shall be responsible for maintenance of the required landscaping, including both plant materials and berms, fences and walls. All plant materials shall be maintained in good growing condition, and when necessary, replaced with new materials to ensure continued compliance with applicable regulations. All other required landscaping shall be permanently maintained in good condition and when necessary, repaired or replaced.
- At the time of installation, all shrubs and other plantings herewith listed and approved for this site, shall be of the proper height requirements in accordance with the Howard County Landscaping Manual. In addition, no substitutions or relocation of required plantings may be made without prior review and approval from the Department of Planning & Zoning. Any deviation from this approved Landscape Plan may result in denial or delay in the release of landscape surety until such time as all required materials are planted and/or revisions are made to applicable plans and certificates.

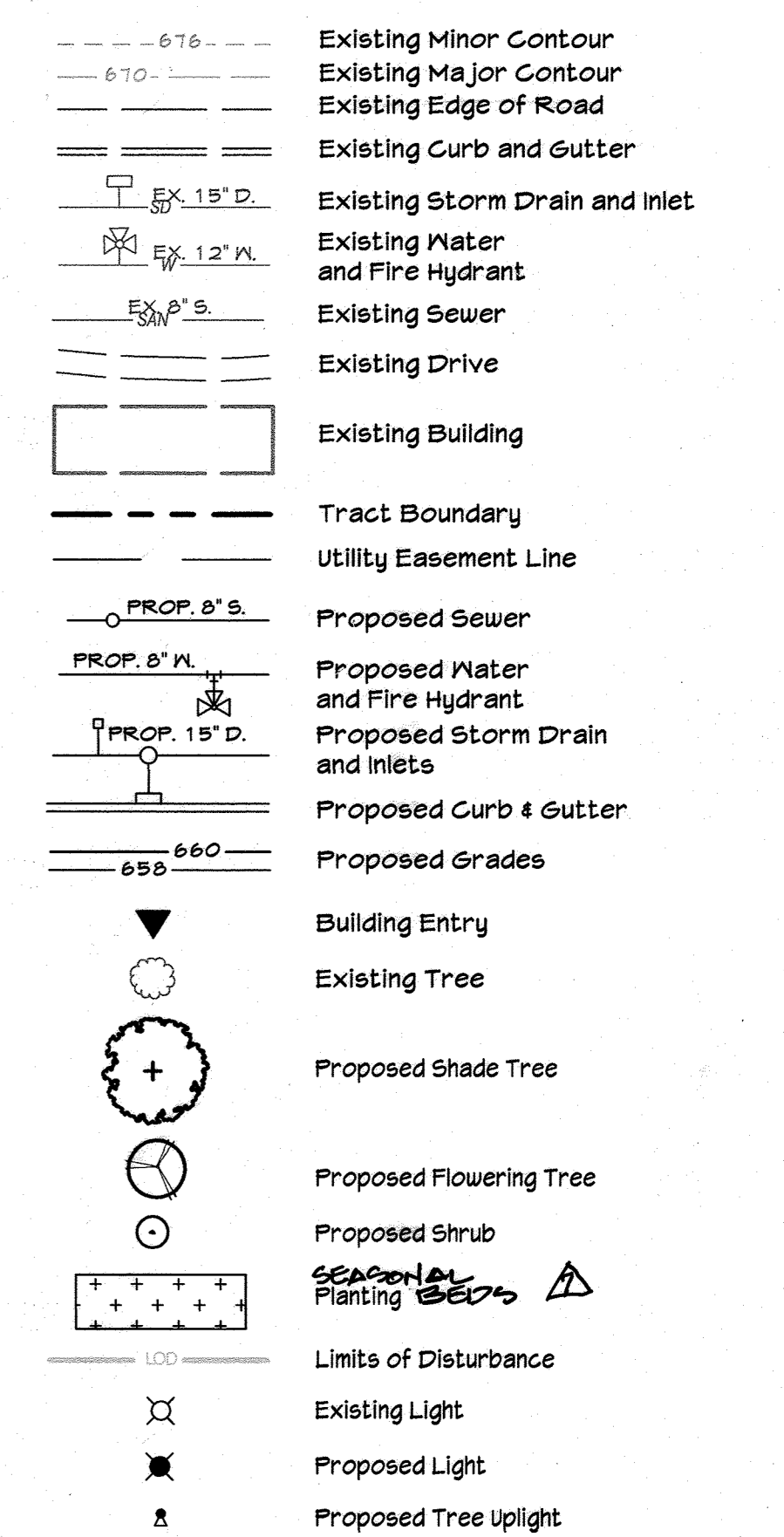
PLANTING NOTES

- Plant material substitutions will not be accepted without approval of the Landscape Architect.
- All shrubs and groundcover areas shall be planted in continuous prepared planting beds.
- All shrub beds shall be mulched with hardwood mulch as detailed and specified except where noted on plans.
- Maintain positive drainage out of planting beds at a minimum of two percent slope.
- Plant quantities are provided for the convenience of the contractor. If discrepancies exist between quantities shown on the plan and those shown on the plant list, the quantities on the plan shall take precedence.
- All areas within contract limits disturbed during or prior to construction not designated to receive plantings and mulch shall be fine graded and seeded in accordance with planting and construction.
- The contractor shall notify Miss Utility, (800-257-7111) a minimum of three working days prior to planting and construction.
- All plant material shall be nursery grown and shall conform to American Nurserymen Association Standards.
- All planting procedures shall conform to Landscape Contractors Association Specification Guidelines for Baltimore/Washington Metropolitan Area (latest edition) and Century Engineering, Inc. specifications.
- Contractor shall test pit prior to plant installation.

MINIMUM LANDSCAPE MAINTENANCE REQUIREMENTS

- Lawn areas shall be mowed to a height of 2 to 3 inches and not allowed to reach a height of 4 inches before mowing.
- All curbs and walks shall be edged as needed.
- All lawn areas adjacent to building faces or structures shall be trimmed.
- A slow release nitrogen balanced fertilizer with a 2-1-1 ratio shall be applied at a rate of 2 pounds of nitrogen per 1000 square feet in September, October, and February.
- Lime shall be applied at the rate determined by a soils report.
- It is recommended that lawn areas be treated in mid-March to early April with pre-emergent herbicide (Betanox) or equal applied at the manufacturer's rate.
- A post-emergent herbicide (Trimec) or equal is recommended to be sprayed on lawn areas in the late spring or early fall. Follow manufacturer's rates and recommendations.
- Insecticides and fungicides are recommended for insect and disease control.
- Reseed bare areas of lawn as necessary. Yearly aeration is recommended.
- All trash, litter, and debris shall be removed from lawn areas, parking lots, and shrub beds as needed.
- Mulch all shrub and groundcover beds yearly with 3 inches of shredded hardwood bark.
- Prune shrubs and trees to grow and enlarge to their design size. Consult project Landscape Architect for details.
- Prune trees in accordance with Landscape Specification Guidelines for Baltimore-Washington Metropolitan Areas.

LEGEND



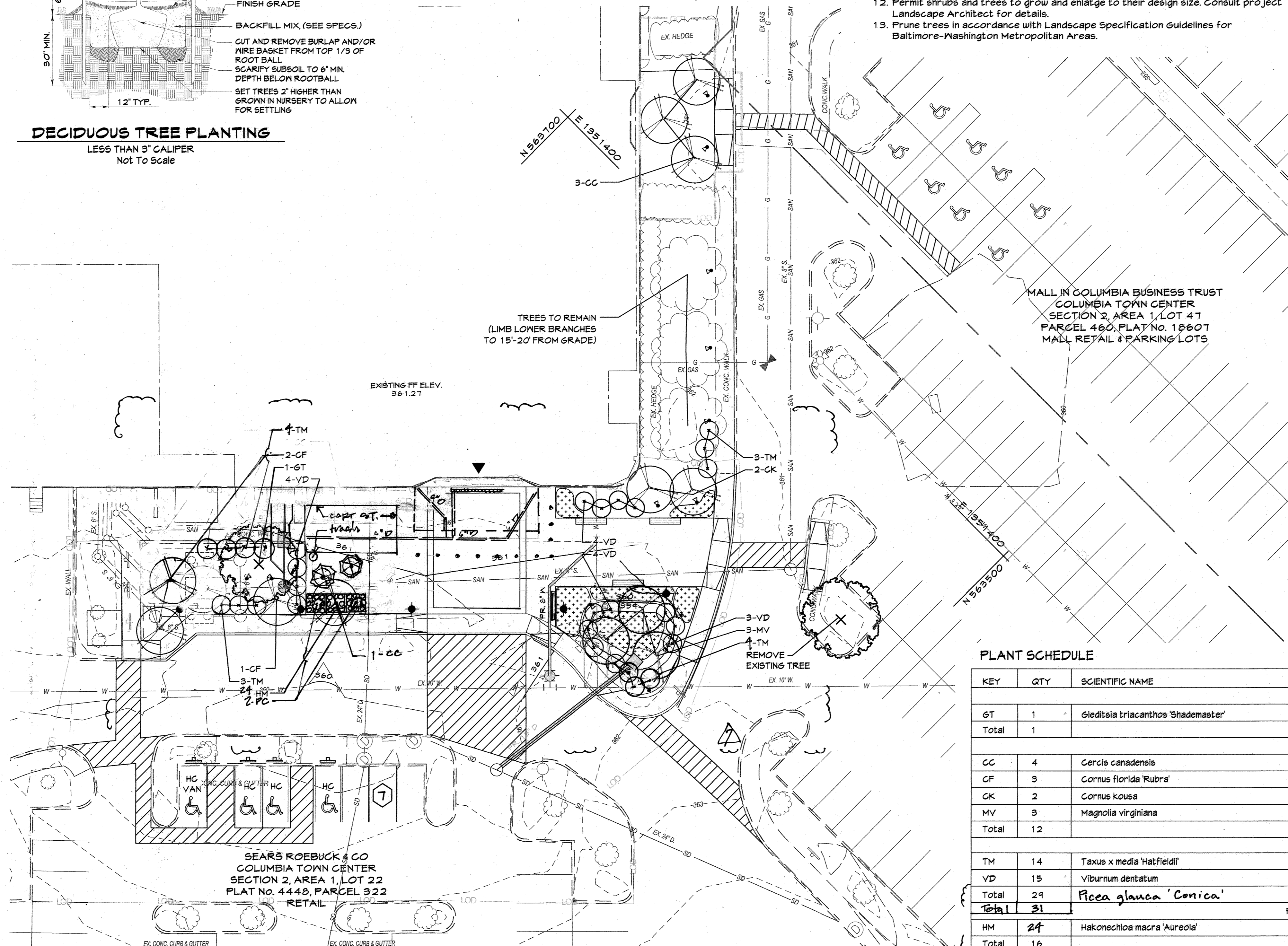
LANDSCAPE SURETY INFORMATION

Posting of landscape surety is required in accordance with the Downtown Guidelines for all areas outside of the bio-retention facilities in the amount of \$2,410 for 1 shade tree (\$300.00 each), 12 ornamental trees (\$1500.00 each), and 24 shrubs (\$50.00 each). Financial surety for the required landscaping must be posted as part of the developer's agreement. All planting shall be completed as shown on the landscape plan prior to release of any landscape surety.

LANDSCAPE DEVELOPER'S CERTIFICATE

I/We certify that the landscaping shown on this plan will be done according to the plan, Section 16.124 of the Howard County Code, and the Howard County Landscape Manual. I/We further certify that upon completion a letter of landscape installation accompanied by an executed one-year guarantee of plant materials will be submitted to the Department of Planning and Zoning.

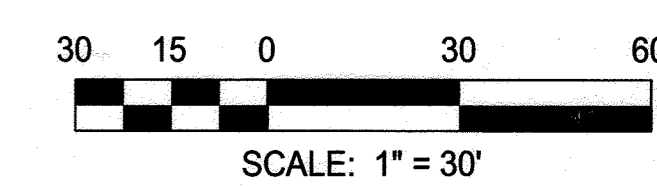
Name: Colleen Phillips Date: 1/26/20



PLANT SCHEDULE

KEY	QTY	SCIENTIFIC NAME	COMMON NAME	SIZE	COMMENTS
SHADE TREES					
GT	1	Gleditsia triacanthos 'Shademaster'	Shademaster Honeylocust	2 1/2' cal.	B & B, specimen
Total	1				
ORNAMENTAL TREES					
CC	4	Cercis canadensis	Eastern Redbud	6'-8' ht.	B & B
CF	3	Cornus florida 'Rubra'	Flowering Dogwood	6'-8' ht.	B & B
CK	2	Cornus kousa	Kousa Dogwood	6'-8' ht.	B & B
MV	3	Magnolia virginiana	Sweetbay Magnolia	6'-8' ht.	B & B
Total	12				
SHRUBS					
TM	14	Taxus x media 'Hatfield'	Hatfield Yew	30-36" ht.	B & B
VD	15	Viburnum dentatum	Arrowwood Viburnum	30-36" ht.	B & B
Total	29				
Total	31				
PERENNIALS / GROUNDCOVER					
HM	24	Hakonechloa macra 'Aureola'	Golden Variegated Hakonechloa	1 gal.	
Total	16				

Seasonal Planting Beds: 470 sq ft

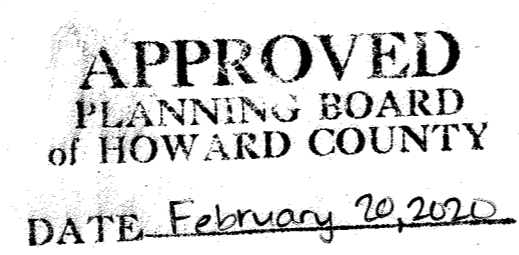


PROFESSIONAL CERTIFICATION

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED LANDSCAPE ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND.

DATE: February 26, 2020

LICENSE NUMBER: 1008 EXPIRATION DATE: 9/30/2020



APPROVED: DEPARTMENT OF PLANNING AND ZONING

Chief, Development Engineering Division: [Signature] Date: 7-27-20

Chief, Division of Land Development: [Signature] Date: 8/26/2020

Director: [Signature] Date: 8/24/20

CENTURY ENGINEERING

CONSULTING ENGINEERS - PLANNERS

10710 Gilroy Road, Hunt Valley, MD 21031
Phone: 443.589.2400 Fax: 443.589.2401

DESIGN BY: M.J.P.

DRAWN BY: M.S.S.

CHECKED BY: [Signature]

DATE: 1/26/20

BY: [Signature] NO. REVISIONS TO SITE PLANTINGS DATE: 1/26/20

DEVELOPER: BROOKFIELD PROPERTIES

26300 CEDAR ROAD
BEECHWOOD, OHIO 44122
212-417-7000

REVISED LANDSCAPE PLAN

REVISED SITE DEVELOPMENT PLAN
THE MALL IN COLUMBIA

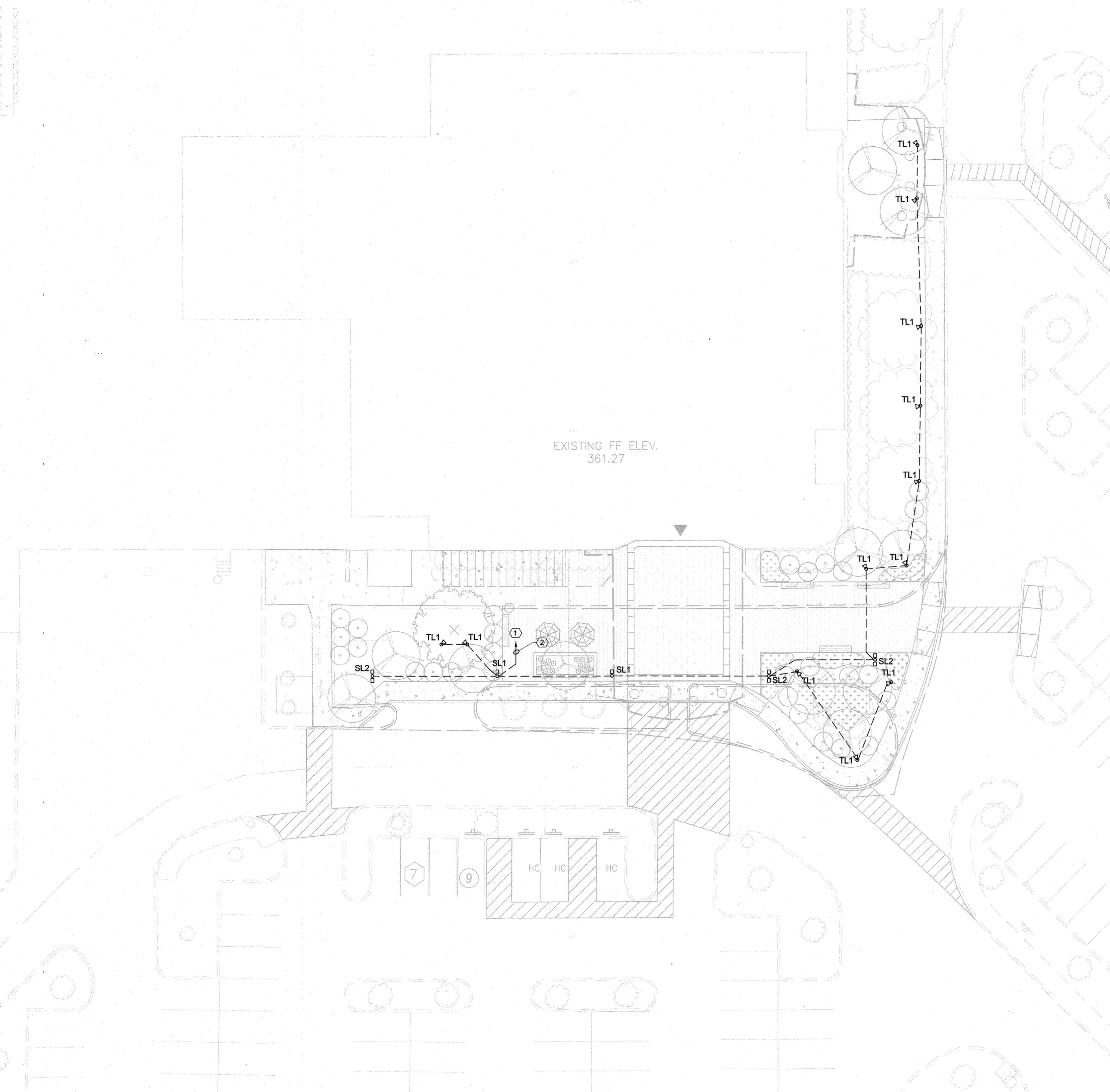
SEARS - LOWER LEVEL COLUMBIA TOWN CENTER

TAX MAP: 30, 36 LOT: 47 & 22 GRID: 19, 20, 1, 2 ZONED: NT PARCEL: 460 F-04-045 ELECTION DISTRICT 5 HOWARD COUNTY, MARYLAND

SHEET 72 OF 73

C.E.I. PROJECT NUMBER: 28141.06

SCALE:



ELECTRICAL SITE PLAN
SCALE: 1" = 20'-0"

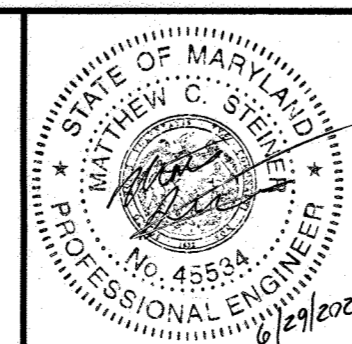
APPROVED
PLANNING BOARD
of HOWARD COUNTY
DATE: February 20, 2020

PROFESSIONAL CERTIFICATION

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.

LICENSE NUMBER: 45534 EXPIRATION DATE: 06/03/2020

MM CENTURY ENGINEERING
CONSULTING ENGINEERS - PLANNERS
10710 Gilroy Road, Hunt Valley, MD 21031
Phone: 443.589.2400 Fax: 443.589.2401



DESIGN BY: M.C.S.			
DRAWN BY: D.R.W.			
CHECKED BY: M.C.S.			
DATE: 12/13/19	BY	NO.	REVISION
			DATE

DEVELOPER
BROOKFIELD PROPERTIES
26300 CEDAR ROAD
BEECHWOOD, OHIO 44122
212-417-7000

SITE LIGHTING PLAN
THE MALL IN COLUMBIA
SEARS - LOWER LEVEL COLUMBIA TOWN CENTER
TAX MAP: 30, 36 LOT: 47 & 22 GRID: 19, 20, 1, 2 ZONED: NT PARCEL: 460 F-04-045
ELECTION DISTRICT 5 HOWARD COUNTY, MARYLAND
SHEET 73 OF 73

C.E.I. PROJECT NUMBER
28141.06
SCALE:
1" = 20'-0"

ELECTRICAL LEGEND

- NOTE:**
- MOUNTING HEIGHTS SHALL BE TO THE CENTER OF THE DEVICE ABOVE FINISHED FLOOR UNLESS OTHERWISE NOTED. MOUNTING HEIGHT ON PLAN SUPERCEDES THAT INDICATED IN LEGEND.
- BELOW GRADE CONDUIT AND WIRE, REFER TO PLANS FOR REQUIREMENTS
 - POLE MOUNTED LIGHTING FIXTURE - TYPE AS INDICATED, REFER TO LIGHT FIXTURE SCHEDULE FOR REQUIREMENTS.
 - ⊕ GRADE MOUNTED TREE UPLIGHT - TYPE AS INDICATED, REFER TO LIGHT FIXTURE SCHEDULE FOR REQUIREMENTS.
 - ① REVISION NOTE - REFER TO REVISION BLOCK
 - ② SPECIFIC NOTE - REFER TO SPECIFIC NOTES

ELECTRICAL ABBREVIATIONS

ABBREV.	DESCRIPTION	ABBREV.	DESCRIPTION
A	AMPERE	KW	KILOWATTS
AFF	ABOVE FINISHED FLOOR	LRA	LOCKED ROTOR AMPS
AIC	AMPERE INTERRUPTING CAPACITY	M.H.	MOUNTING HEIGHT
AL	ALUMINUM	MCB	MAIN CIRCUIT BREAKER
AWG	AMERICAN WIRE GAUGE	MGB	MAIN GROUND BAR
BPS	BOLTED PRESSURE SWITCH	MH	METAL HALIDE OR MOUNTING HEIGHT
C	CONDUIT	MLO	MAIN LUGS ONLY
CKT	CIRCUIT	MOD	MOTOR OPERATED DAMPER
CLG	CEILING	MTD	MOUNTED
CU	COPPER	N.C.	NORMALLY CLOSED
DAS	DISTRIBUTED ANTENNA SYSTEM	NEC	NATIONAL ELECTRICAL CODE
DC	DIRECT CURRENT	NFSS	NON-FUSED SAFETY SWITCH
DE/DT	DUAL ELEMENT / TIME DELAY	NIC	NOT IN CONTRACT
E	EMERGENCY	NL	NIGHT LIGHT (UNSWITCHED)
ECB	ENCLOSED CIRCUIT BREAKER	P	POLE
EF	EXHAUST FAN	PH	PHASE
EMS	ENERGY MANAGEMENT SYSTEM	PVC	POLYVINYL CHLORIDE
EMT	ELECTRICAL METALLIC TUBING	PWR	POWER
EV	ELECTRICAL VEHICLE	REC	RECEPTACLE
F	FUSED OR FUSIBLE	RM	ROOM
FLA	FULL LOAD AMPS	SCCR	SHORT CIRCUIT CURRENT RATING
FSS	FUSED SAFETY SWITCH	S.D.	SERVICE DISCONNECT
FT	FEET	TMS	THERMAL MANUAL SWITCH
G OR GRD	GROUND	SPD	SURGE PROTECTIVE DEVICE
GB	GROUND BAR	UL	UNDERWRITERS LABORATORY
H.I.D.	HIGH INTENSITY DISCHARGE	V	VOLTS
H.O.A.	HAND-OFF-AUTOMATIC	W	WATTS
HP	HORSEPOWER	W/	WITH
KV	KILOVOLTS	WCR	WITHSTAND AND CLOSE ON RATING
KVA	KILOVOLT-AMPERE	WH	WATER HEATER
		WP	WEATHERPROOF

GENERAL NOTES (APPLY TO WORK PROVIDED UNDER DIV. 26):

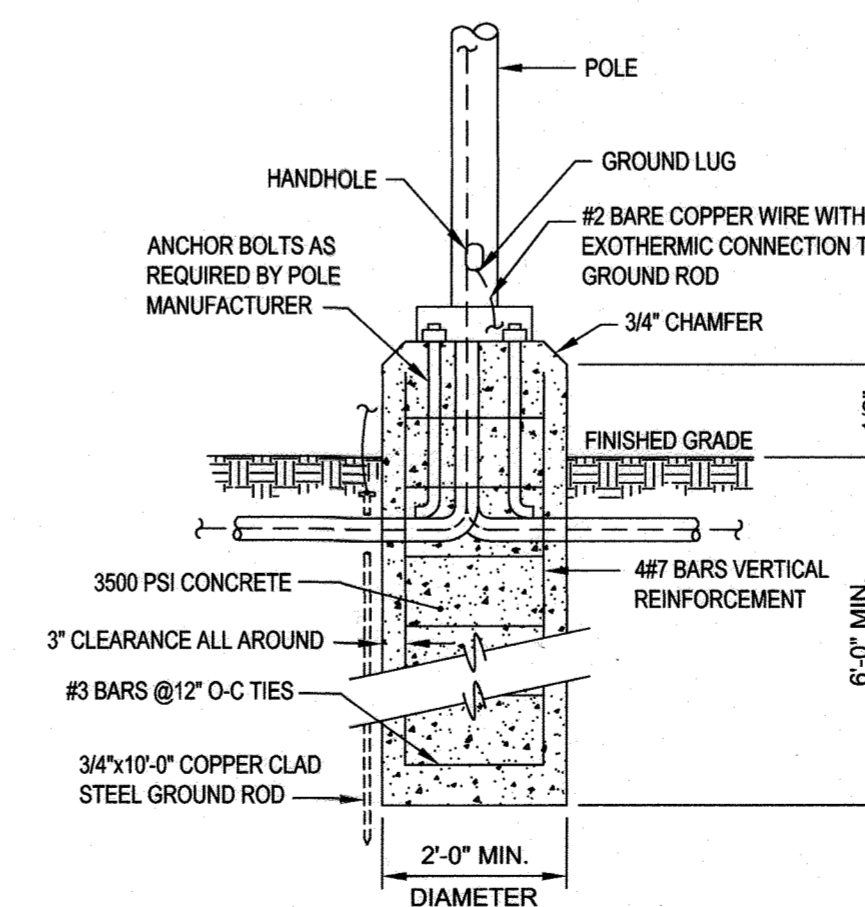
- SCOPE: FURNISH LABOR, EQUIPMENT AND MATERIALS NECESSARY FOR THE INSTALLATION OF THE COMPLETE ELECTRICAL SYSTEM AS SPECIFIED HEREIN AND SHOWN ON THE CONTRACT DRAWINGS. OUTLINE DESCRIPTION AND DIAGRAMMATIC REPRESENTATION OF SYSTEM OPERATION AND EQUIPMENT DOES NOT LIMIT CONTRACTOR LIABILITY FOR FURNISHING AND INSTALLING COMPLETE AND OPERABLE SYSTEMS.
- APPLICABLE CODES: THE INSTALLATION SHALL COMPLY WITH THE LATEST EDITION OF THE NATIONAL ELECTRICAL CODE AND CODE OF THE LOCAL AUTHORITY HAVING JURISDICTION.
- NOTE DEFINITIONS: "DRAWING NOTES" APPLY TO WORK ON THAT INDIVIDUAL DRAWING. "SPECIFIC NOTES" APPLY ONLY WHERE INDICATED WITH THE "SPECIFIC NOTE" SYMBOL. REFER TO LEGEND.
- COORDINATE UNDERGROUND CIRCUIT INSTALLATION WITH OTHER EXISTING AND PROPOSED UNDERGROUND UTILITIES. ENGAGE THE SERVICES OF A UTILITY LOCATING FIRM PRIOR TO EXCAVATION.
- CABLE AND CONDUIT SIZES ARE BASED ON COPPER CONDUCTORS UNLESS SPECIFICALLY NOTED OTHERWISE.
- VOLTAGE DROP CALCULATIONS ARE BASED ON CIRCUIT LOADINGS AND DISTANCES GENERALLY AS CIRCUITED ON PLAN. IF ALTERNATE CONDUIT ROUTING, CIRCUIT LOADING, OR CONDUCTOR MATERIAL IS PROVIDED, VERIFY VOLTAGE DROP.
- UNLESS OTHERWISE NOTED, CIRCUITS HAVE NOT BEEN DERATED FOR CONDUCTOR BUNDLING, NOR HAVE CONDUITS BEEN SIZED FOR MULTIPLE CIRCUITS. IF MULTIPLE CIRCUITS ARE INSTALLED IN A SINGLE RACEWAY, DERATE CONDUCTOR AMPACITY PER NEC, AND PROVIDE APPROPRIATE SIZE CONDUIT.
- PERMITS: INCLUDE IN THE BID PRICE THE PAYMENT OF NECESSARY PERMITS. FURNISH THE OWNER PRIOR TO THE FINAL PAYMENT A CERTIFICATE FROM THE ELECTRICAL INSPECTION DEPARTMENT HAVING JURISDICTION CERTIFYING THAT THE ELECTRICAL WORK MEETS THE REQUIREMENTS OF THE LOCAL INSPECTION AUTHORITIES AND/OR THE NATIONAL BOARD OF FIRE UNDERWRITERS.
- SCHEDULING: COORDINATE WITH THE OWNER FOR SCHEDULING OF WORK.
- WORK SHALL BE INSTALLED IN A NEAT AND WORKMANLIKE MANNER, PER NECA.
- KEEP THE WORK SITE AND SURROUNDING AREA FREE FROM ACCUMULATION OF WASTE MATERIALS OR RUBBISH GENERATED BY WORK FROM THIS CONTRACT. PROPERLY AND LEGALLY DISPOSE OF MATERIALS.
- SAFETY: JOB SITE SAFETY SHALL BE IN STRICT ACCORDANCE WITH LOCAL, STATE AND FEDERAL REQUIREMENTS.
- GROUNDING: SYSTEMS SHALL BE BONDED AND GROUNDED IN ACCORDANCE WITH THE REQUIREMENTS OF THE NATIONAL ELECTRICAL CODE, LOCAL CODES, THE UTILITY, AND SPECIAL SYSTEMS AND EQUIPMENT AS REQUIRED.
- VISIT THE SITE AND CAREFULLY EXAMINE EXISTING CONDITIONS THAT MAY AFFECT THE BID.
- FINAL CONNECTIONS TO ELECTRICAL EQUIPMENT, WHETHER FURNISHED UNDER THIS DIVISION, ANOTHER DIVISION, OR BY OTHERS, SHALL BE MADE UNDER THIS DIVISION.
- PROVIDE SUBMITTALS (SHOP DRAWINGS) FOR REVIEW FOR NEW MATERIALS AND EQUIPMENT. PRIOR TO SUBMITTING, REVIEW SUBMITTALS FOR COMPLIANCE WITH CONTRACT DOCUMENTS, CONFLICTS WITH OTHER TRADES, AND CONSTRUCTABILITY. IDENTIFY ANY DEVIATIONS IN SUBMITTALS FROM CONTRACT DOCUMENTS. ENGINEER'S REVIEW OF SUBMITTALS DOES NOT INCLUDE REVIEW OF DIMENSIONS, DETAILS, OR QUANTITIES. REVIEW DOES NOT WAIVE ANY REQUIREMENTS OF CONTRACT DOCUMENTS, INCLUDING REQUIREMENT TO PROVIDE A COMPLETE AND FUNCTIONAL SYSTEM.
- ELECTRICAL MATERIALS AND EQUIPMENT SHALL BE UL LISTED AND SHALL CONFORM TO FACTORY MUTUAL STANDARDS AS APPLICABLE.
- EQUIPMENT LOCATIONS: LOCATIONS OF ELECTRICAL EQUIPMENT AND CONDUIT ARE SHOWN DIAGRAMMATICALLY. DETERMINE EXACT LOCATIONS IN FIELD.
- GUARANTEE: THE ENTIRE ELECTRICAL INSTALLATION, MATERIAL AND WORKMANSHIP SHALL BE GUARANTEED FOR A PERIOD OF ONE YEAR FROM THE DATE OF SUBSTANTIAL COMPLETION.
- SEALING FITTINGS AND APPROVED SEALING COMPOUND SHALL BE INSTALLED IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE. SEAL AROUND CONDUIT PENETRATIONS OF FIRE-RATED WALLS WITH AN APPROVED SEALANT.

LIGHT FIXTURE SCHEDULE

TYPE	DESCRIPTION	VOLTS	PHASE	LAMP TYPE	WATTS	LUMENS	COLOR TEMP (K)	CRI	MOUNTING	MANUFACTURER	MODEL SERIES
SL1	LED POLE LIGHT, HIGH OUTPUT, SINGLE HEAD MOUNT, 13' ROUND TAPERED STEEL POLE, 0-10V DIMMING DRIVER, FINISH TO BE SELECTED BY OWNER.	277	1	LED	53	2530 LM	4000K	80	POLE MOUNT 13'-0" AFG	HESS	CA450
SL2	LED POLE LIGHT, HIGH OUTPUT, DUAL HEAD MOUNT @ 180 DEG, 13' ROUND TAPERED STEEL POLE, 0-10V DIMMING DRIVER, FINISH TO BE SELECTED BY OWNER.	277	1	LED	106	5060 LM	4000K	80	POLE MOUNT 13'-0" AFG	HESS	CA450
TL1	ARCHITECTURAL FLOOD LIGHT, IN GRADE POWER PIPE TRANSFORMER, FINISH TO BE SELECTED BY OWNER	277	1	LED	7	500 LM	4000K	80	MOUNTED ON IN-GRADE POWER PIPE	BK LIGHTING	DELTA STAR

SPECIFIC NOTES:

- CONNECT TO 20A-1P CIRCUIT BREAKER IN 480/277V PANEL. REFER TO INTERIOR ELECTRICAL DRAWINGS FOR SOURCE PANEL DESIGNATION, LOCATION, AND CONTROL METHOD.
- PROVIDE NEW WIRING, CONDUIT, BOXES AND SUPPORTS TO NEW LIGHT FIXTURES. UTILIZE 2#10, 1#10GRD - 1" FOR BRANCH CIRCUIT WIRING. BELOW GRADE CONDUIT SHALL BE SCHEDULE 40 PVC.



DETAIL - LIGHT POLE BASE DETAIL

